

AGENDA

Roll Call/Call to order

Pledge of Allegiance

Amendments to Agenda/Approve Agenda

Community Announcements

Public Comments on items not on the published agenda

Consent Agenda

1. Review and consider approval of **minutes** of a regular Council meeting held November 5, 2019.
2. Review and file **bills** recapped as of Monday, November 11, 2019.
3. Review and consider **request** from Beverly Hills Lions Club to solicit donations for their Annual Candy Cane Collection from November 27 to December 24, 2019.

Business Agenda

1. Public Hearing to receive comments on proposed Community Development Block Grant funding reallocation for Program Year 2017.
2. Review and consider **resolution** to reprogram Community Development Block Grant funding for Program Year 2017.
3. Review and consider Friends of the Rouge's funding **request** for sampling sites in Beverly Hills.
4. Review and consider preliminary condominium **site plan** for Beverly Square, vacant parcel TH-24-02-427-006, located at 31655 Southfield Road.

Public comments

Manager's **report**

Council comments

Adjournment

REGULAR COUNCIL MEETING MINUTES – NOVEMBER 5, 2019 - PAGE 1

Present: President Peddie; President Pro-Tem Abboud; Members: George, Hrydziusko, Mooney, Mueller, and Nunez

Absent: None

Also Present: Village Manager, Wilson
Village Clerk / Assistant Manager, Rutkowski
Village Attorney, Ryan
Public Safety Director, Torongeau

Peddie called the regular Council meeting to order at 7:30 p.m. in the Village of Beverly Hills municipal building at 18500 W. Thirteen Mile Road. The Pledge of Allegiance was recited by those in attendance.

AMENDMENTS TO AGENDA/APPROVE AGENDA

Motion by Mooney, second by Mueller, to approve the agenda as published.

Motion passed.

COMMUNITY ANNOUNCEMENTS

None.

PUBLIC COMMENTS

Ulysses Garrison, Birwood, and Patricia Gedy, Birwood, would like the Council to consider regulations related to Airbnb homes. There is a home on the street being used as an Airbnb and the users of the home have been disruptive.

Ryan advised them to contact Public Safety if there are noise or traffic disruptions.

Molly Borgon, Cobblestone Ct., expressed concern about the Georgetown and 13 Mile Road intersection. She would like to see a safe path marked for kids who walk and bike to school.

CONSENT AGENDA

Motion by Mooney, second by Nunez, to approve the consent agenda as published.

1. Review and consider approval of minutes of a regular Council meeting held October 15, 2019.
2. Review and file bills recapped as of Monday, October 28, 2019.
3. Review and consider amending Kick Cancer Inc.'s charitable donation solicitation dates.

Roll Call Vote:

Motion passed (7-0)

BUSINESS AGENDA

PUBLIC HEARING TO RECEIVE COMMENTS ON THE PROPOSED 2020 COMMUNITY DEVELOPMENT BLOCK GRANT FUNDING ALLOCATION

Beverly Hills has participated in the federally funded Community Development Block Grant (CDBG) program for more than 25 years. We are currently in a three-year contract (2018, 2019

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and 2020) with Oakland County to participate in this program which is administered through Oakland County's Community & Home Improvement Division.

The Village's estimated allocation for Program Year 2020 is \$13,049. The annual CDBG allocation is based on a formula that uses several objective measures of community needs. HUD has established three national objectives, at least one of which must be met, to determine eligibility for a community to engage in any specific program. Additionally, the Village must comply with several rules, including a limit on our allocation for public service projects to a maximum of 30% of the total 2020 allocation and a minimum of allocation of \$3,500 for each project.

This year Council is being asked to consider allocating funds for Minor Home Repair services and Public Services - Yard Services for low-income and low-moderate-income level citizens. This year we are recommending allocating \$9,135 for minor home repair and \$3,914 for yard services through the CDBG program. The Village outsources the administration of these programs through a bid process, and NEXT has been the service provider for many years. NEXT continues to be a valued partner and ensures the program is administered per the extensive CDBG requirements.

The Village has received a request from HAVEN seeking a contribution for their program that provides services for victims of domestic violence, dating violence, sexual assault or stalking. Due to CDBG requirements and limitations for project funding, we cannot allocate funds to both the Yard Services program and to HAVEN. Therefore, without Council objection, administration is recommending the Village make a General Fund contribution for the same amount, \$3,914.00, to HAVEN, as it has done in the past to support their program.

The following is a breakdown of the proposed allocation:

Minor Home Repair	\$ 9,135
Public Services – Yard Services	\$ 3,914
TOTAL	\$13,049

Peddie opened the Public Hearing at 7:54 p.m.

No one wished to be heard, therefore the hearing was closed at 7:58 p.m.

REVIEW AND CONSIDER RESOLUTION AUTHORIZING THE VILLAGE OF BEVERLY HILLS' COMMUNITY DEVELOPMENT BLOCK GRANT APPLICATION FOR PROGRAM YEAR 2020

Motion by Mueller, second by Mooney, that the Village of Beverly Hills Council adopt the following Resolution:

Whereas, Oakland County is preparing an Annual Action Plan to meet application requirements for the Community Development Block Grant (CDBG) program, and other Community Planning and Development (CPD) programs, and;

Whereas, Oakland County has requested CDBG-eligible projects from participating communities for inclusion in the Action Plan, and

Whereas, the Village of Beverly Hills has duly advertised and conducted a public hearing as follows:

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President Peddie opened the Public Hearing at 7:54 p.m.

Comments: None

President Peddie closed the Public Hearing at 7:58 p.m. on November 5, 2019 for the purpose of receiving public comments regarding the proposed use of PY 2020 Community Development Block Grant funds in the approximate amount of \$13,049.00, and

Whereas, the Village of Beverly Hills found that the following projects meet the federal objectives of the CDBG program and are prioritized by the community as high priority need.

Account	Project Name	Amount
172170-731227	Minor Home Repair	\$9,135
172160-732170	Public Services – Yard Services	\$3,914

Therefore Be It Resolved, that the Village of Beverly Hills' CDBG application is hereby authorized to be submitted to Oakland County for inclusion in Oakland County's Annual Action Plan to the U.S. Department of Housing and Urban Development, and that the Council President is hereby authorized to execute all documents, agreements, or contracts which result from this application to Oakland County.

Roll Call Vote:
Motion passed (7-0)

REVIEW AND CONSIDER RESOLUTION AUTHORIZING INFORMATION TECHNOLOGY SERVICE AGREEMENT RENEWAL WITH OAKLAND COUNTY

Oakland County has been reviewing and updating their agreements with local units of government for various services that are shared or provided collaboratively. Accordingly, a revised agreement for Information Technology (IT) Services between Oakland County and the Village has been provided for our review and consideration.

The Village and Oakland County work collaboratively on many IT functions. The Courts and Law Enforcement Management Information Systems (CLEMIS) is a vital law enforcement tool operated by Oakland County allowing local agencies to share and access data. The Public Safety Department is a CLEMIS agency and uses this information daily in police operations. The Village Building Department also utilizes Geographic Information Systems (GIS) services through Oakland County for mapping, assessing, planning and zoning, and infrastructure records. Oakland County maintains ESRI software licensing that the Village also utilizes on a daily basis.

Village Administration has reviewed the agreement provided by Oakland County and finds that it does a good and thorough job of memorializing the current state of IT services between the Village and County.

Motion by Hrydziuszko, second by Mooney, be it resolved that the Village Council of Beverly Hills approves and authorize the Village Manager to execute the Interlocal Agreement for Information Technology Services between Oakland County and the Village of Beverly Hills as submitted.

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Roll Call Vote:
Motion passed (7-0)

REVIEW AND CONSIDER FISCAL YEAR 2019-2020 BUDGET AMENDMENTS

Administration provided the proposed FY 2019-2020 Village of Beverly Hills Budget Amendments. There are General Fund amendments relating to adjusting revenue and expenses to more accurately reflect projected actuals for FY20.

In Major Roads there are amendments for expenditures budgeted in FY19 but not incurred until FY20 as well as expense reallocation and adjustments to more accurately reflect projected actuals for FY20. In addition, there are 2 amendments relating to the Federal Road Project on 13 Mile. One amendment relates to engineering fees to be incurred in the projected amount of \$220,000. The other amendment relates to the 50% reimbursement of the engineering fees, \$110,000, from the City of Southfield to the Village of Beverly Hills. The Village is pursuing Federal reimbursement for the engineering expenditures. When further information is received, and the amount is known a budget amendment will be presented to Council to record the amount of the reimbursement. In Local Roads there is an amendment for expenditures budgeted in FY19 and incurred in FY20 and an amendment to adjust to expected actuals.

These proposed FY 2019-2020 Budget Amendments have been reviewed by Village Administration and are recommended for approval.

Motion by Abboud, second by Hrydziuszko, be it resolved that the Village Council of Beverly Hills authorizes Village Administration to transfer or adjust monies reserved in the General, Major Roads and Local Roads as reflected in the October 30, 2019 memorandum from Finance Director, Sheila McCarthy.

Roll Call Vote:
Motion passed (7-0)

PUBLIC COMMENTS

None.

MANAGER'S REPORT

Metamora Subdivision Concrete Replacement – Work has begun on the concrete replacement project in the Metamora subdivision. The contractor is working on the replacement of the sewer around the intersection of Foxboro and Sleepy Hollow. This work has been delayed because of weather and some utility conflicts. Once the sewer work is completed, we will begin removing sections of concrete to be replaced. This work is still scheduled to be completed by the end of November. Due to the tight time schedule and potential for weather delays we may work with the contractor to allow some work to be done on Sundays.

2020 13 Mile Reconstruction – The Village has been approved for federal funding for the 2020 reconstruction of 13 Mile from Southfield to Evergreen, including the intersection of 13 Mile and Southfield. We are proceeding with the design engineering at this point. We anticipate this project to be put out to bid in late April with construction starting mid-June after school is out. The project will run through the beginning of school next September. One-way traffic will be maintained west

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bound through the duration of the project. We are working with the City of Southfield and the Road Commission of Oakland County on signage and posted detour routes.

The design phase of the project is ongoing but will include a dedicated left turn lane throughout the length of the road. The final project will be a mixture of five (5) lanes and three (3) lanes with right turn taper lanes in multiple locations. All existing traffic signals will be maintained and upgraded. The City of Southfield will install a sidewalk along their side of 13 Mile at their expense. Once a preliminary design is drafted, I would like to make a public presentation of the road design at either a regular Council meeting or a special meeting.

31655 Southfield Road – At their regular October meeting the Planning Commission did review a revised site plan for a residential development from Robertson Brothers on the site of the former McDonald's on Southfield. By a vote of 5-2 the Planning Commission did recommend referring this preliminary site plan to the Village Council for their review and consideration. The motion recommending referral of this matter was quite lengthy with five (5) recommended deviations from the existing Overlay District regulations. Due to the length and complexity of this motion Village Administration is still in the process of review this submittal, resolution, deviation requests and underlying code in order to present this matter to the Council. It is anticipated that this matter will be on the agenda for the regular Council meeting of November 19.

Crosswalk Upgrade – Village Administration received a request to investigate crosswalk upgrades on 13 Mile by Groves High School. Administration examined the crosswalk in this area and has ordered signage similar to that installed at other crosswalks in the Village. A small section of sidewalk would normally be added on the south side of 13 Mile to connect to this crosswalk. Upon examination of the area and given the sidewalk work planned on the Southfield side on 13 Mile next year, Village Administration would request the installation of sidewalk from this crosswalk just east of Embassy to the intersection at Evergreen.

Yard Waste Collection – Yard waste collection is ongoing and will continue throughout the week of December 9th. As this is a very busy time of the year for yard waste collection, some of the typical trash and yard waste collection routes may be altered. Please make sure that all yard waste is placed at the curb, along with recycling and trash, no later than 7:00 AM to ensure timely pickup.

COUNCIL COMMENTS

George reported positive feedback on the new crosswalks. He would like Council to separate the accessory structures and side yard unit ordinances and work to get them passed. He also would like to work on a contractor code of conduct.

Hrydziusko thanked all the residents who helped and attended the Halloween Hoot.

Mueller thanked the Oen family and all of the Parks and Recreation Board for their work on a successful Halloween Hoot.

Abboud reported on the various committees he represents the Village at.

Motion by Mooney, second by Nunez, to adjourn the meeting at 8:24 pm.

Motion passed.

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Lee Peddie
Council President

Kristin Rutkowski
Village Clerk

Elizabeth M. Lyons
Recording Secretary



TO PRESIDENT PEDDIE & MEMBERS OF THE VILLAGE COUNCIL. THE FOLLOWING IS A LIST OF
EXPENDITURES FOR APPROVAL. ACCOUNTS PAYABLE RUN FROM 10/28/2019 THROUGH 11/11/2019.

ACCOUNT TOTALS:

101	GENERAL FUND	\$76,393.34
202	MAJOR ROAD FUND	\$27,327.61
203	LOCAL STREET FUND	\$19,496.34
205	PUBLIC SAFETY DEPARTMENT FUND	\$19,611.03
592	WATER/SEWER OPERATION FUND	\$50,572.10
701	TRUST & AGENCY FUND	\$517.50
	TOTAL	<u>\$193,917.92</u>
	MANUAL CHECKS- COMERICA	\$0.00
	MANUAL CHECKS- INDEPENDENT	\$2,207.21
	ACCOUNTS PAYABLE	<u>\$193,917.92</u>
	GRAND TOTAL	<u>\$196,125.13</u>

Check Date	Bank	Check	Vendor	Vendor Name	Invoice Vendor	Amount
Bank COM COMERICA						
11/11/2019	COM	81178	58787	ABEL ELECTRONICS	ABEL ELECTRONICS	270.00
11/11/2019	COM	81179	MISC	ALLEN BROTHERS INC	ALLEN BROTHERS INC	300.00
11/11/2019	COM	81180	51160	ALLIANCE MOBILE HEALTH	ALLIANCE MOBILE HEALTH	905.00
11/11/2019	COM	81181	60186	ALLISON CURIS	ALLISON CURIS	148.70
11/11/2019	COM	81182	MISC	APK INVESTMENTS	APK INVESTMENTS	2,500.00
11/11/2019	COM	81183	31164	APOLLO FIRE APPARATUS	APOLLO FIRE APPARATUS	255.00
11/11/2019	COM	81184	01100	APOLLO FIRE EQUIPMENT	APOLLO FIRE EQUIPMENT	593.42
11/11/2019	COM	81185	53284	APPLIED IMAGING	APPLIED IMAGING	205.01
11/11/2019	COM	81186	51802	ARROW OFFICE SUPPLY CO.	ARROW OFFICE SUPPLY CO.	123.71
11/11/2019	COM	81187	MISC	BADHORN, JAMES P	BADHORN, JAMES P	200.00
11/11/2019	COM	81188	MISC	BALBES CUSTOM BUILDERS	IBALBES CUSTOM BUILDERS I	2,250.00
11/11/2019	COM	81189	30920	BELLE TIRE	BELLE TIRE	769.31
11/11/2019	COM	81190	51409	BEVERLY HILLS ACE	BEVERLY HILLS ACE	148.56
11/11/2019	COM	81191	53417	BLUELINE IRRIGATION	BLUELINE IRRIGATION	125.00
11/11/2019	COM	81192	50822	BS&A SOFTWARE	BS&A SOFTWARE	6,150.00
11/11/2019	COM	81193	58959	CADILLAC ASPHALT, LLC	CADILLAC ASPHALT, LLC	1,037.70
11/11/2019	COM	81194	59779	CANFIELD EQUIPMENT SERVI	CANFIELD EQUIPMENT SERVI	99.00
11/11/2019	COM	81195	59347	CINTAS CORPORATION #31	CINTAS CORPORATION #31	69.12
11/11/2019	COM	81196	59323	CLEANNET	CLEANNET	858.00
11/11/2019	COM	81197	30909	CMP DISTRIBUTORS	CMP DISTRIBUTORS	320.00
11/11/2019	COM	81198	51439	COMCAST	COMCAST	175.41
11/11/2019	COM	81199	04500	COMEAU EQUIPMENT CO INC.	COMEAU EQUIPMENT CO INC.	23,159.86
11/11/2019	COM	81200	50826	CONSUMERS ENERGY	CONSUMERS ENERGY	124.79
11/11/2019	COM	81201	MISC	COWING, ROBERT L	COWING, ROBERT L	200.00
11/11/2019	COM	81202	60185	COX & WINFREE TIRE INC	COX & WINFREE TIRE INC	260.00
11/11/2019	COM	81203	59193	DETROIT COUNTRY DAY	DETROIT COUNTRY DAY	200.00
11/11/2019	COM	81204	51385	DTE ENERGY	DTE ENERGY	2,727.54
11/11/2019	COM	81205	MISC	EUROTECH CONSTRUCTION	EUROTECH CONSTRUCTION	300.00
11/11/2019	COM	81206	59721	FEDEX OFFICE	FEDEX OFFICE	24.29
11/11/2019	COM	81207	MISC	FOUNDATION SYSTEMS OF MI	FOUNDATION SYSTEMS OF MI	500.00
11/11/2019	COM	81208	60130	FROM THE DESK OF LIZ LYC	FROM THE DESK OF LIZ LYC	153.75
11/11/2019	COM	81209	31202	HOME DEPOT CREDIT SERVIC	HOME DEPOT CREDIT SERVIC	172.74
11/11/2019	COM	81210	MISC	HOME DEPOT USA, INC	HOME DEPOT USA, INC	100.00
11/11/2019	COM	81211	MISC	HOME INSPECTION PLUS INC	HOME INSPECTION PLUS INC	300.00
11/11/2019	COM	81212	08500	HUBBELL ROTH & CLARK INC	HUBBELL ROTH & CLARK INC	26,855.43
11/11/2019	COM	81213	58950	HYDROCORP	HYDROCORP	284.00
11/11/2019	COM	81214	31052	ICMA MEMBERSHIP RENEWALS	ICMA MEMBERSHIP RENEWALS	985.60
11/11/2019	COM	81215	59839	J.C. EHRLICH	J.C. EHRLICH	47.00
11/11/2019	COM	81216	39070	J.H. HART URBAN FORESTRY	J.H. HART URBAN FORESTRY	988.75
11/11/2019	COM	81217	59324	JCR SUPPLY, INC.	JCR SUPPLY, INC.	282.37
11/11/2019	COM	81218	60047	KAREN SCHMEECKLE	KAREN SCHMEECKLE	200.00
11/11/2019	COM	81219	31003	KEARN'S BROTHERS INC.	KEARN'S BROTHERS INC.	95.00
11/11/2019	COM	81220	MISC	KEARNS BROTHERS	KEARNS BROTHERS	200.00
11/11/2019	COM	81221	51792	LEXISNEXIS RISK SOLUTION	LEXISNEXIS RISK SOLUTION	150.00
11/11/2019	COM	81222	51350	LOU'S TRANSPORT INC.	LOU'S TRANSPORT INC.	2,412.97
11/11/2019	COM	81223	49491	MAINS LANDSCAPE SUPPLY	MAINS LANDSCAPE SUPPLY	283.81
11/11/2019	COM	81224	39087	MAMC	MAMC	650.00
11/11/2019	COM	81225	58727	MARTINO ENTERPRISES	MARTINO ENTERPRISES	87.50
11/11/2019	COM	81226	MISC	MARTINO ENTERPRISES INC.	MARTINO ENTERPRISES INC.	200.00
11/11/2019	COM	81227	12300	MICHIGAN MUNICIPAL LEAGU	MICHIGAN MUNICIPAL LEAGU	1,972.00
11/11/2019	COM	81228	59467	MICHIGAN OVERHEAD DOOR &	MICHIGAN OVERHEAD DOOR &	60.00
11/11/2019	COM	81229	51182	NELSON BROTHERS SEWER &	NELSON BROTHERS SEWER &	130.00
11/11/2019	COM	81230	51540	O'REILLY AUTO PARTS	O'REILLY AUTO PARTS	69.67
11/11/2019	COM	81231	MISC	OAKES ROOFING SIDING & W	OAKES ROOFING SIDING & W	200.00
11/11/2019	COM	81232	59735	OAKLAND COMMUNITY COLLEGE	OAKLAND COMMUNITY COLLEGE	100.00
11/11/2019	COM	81233	30658	OAKLAND COUNTY CLERKS AS	OAKLAND COUNTY CLERKS AS	30.00
11/11/2019	COM	81234	50830	OAKLAND COUNTY TREASURER	OAKLAND COUNTY TREASURER	2,022.09
11/11/2019	COM	81235	60184	OAKLAND MACOMB FIRE PREV	OAKLAND MACOMB FIRE PREV	500.00
11/11/2019	COM	81236	53279	PACIFIC TELEMAGEMENT	PACIFIC TELEMAGEMENT	60.00
11/11/2019	COM	81237	16500	S.O.C.R.R.A.	S.O.C.R.R.A.	33,660.00
11/11/2019	COM	81238	16600	S.O.C.W.A.	S.O.C.W.A.	44,239.55
11/11/2019	COM	81239	59282	SAFEBUILT INC.	SAFEBUILT INC.	16,501.36
11/11/2019	COM	81240	MISC	SMOLYANOV HOME IMPROVEME	SMOLYANOV HOME IMPROVEME	300.00
11/11/2019	COM	81241	51356	SOUTHFIELD MUFFLER & BR	SOUTHFIELD MUFFLER & BR	1,496.62
11/11/2019	COM	81242	38145	SOUTHFIELD POSTAL SERVIC	SOUTHFIELD POSTAL SERVIC	455.84
11/11/2019	COM	81243	17700	SUNSET MAINTENANCE SERVI	SUNSET MAINTENANCE SERVI	1,000.00
11/11/2019	COM	81244	31043	THOMAS J RYAN PC.	THOMAS J RYAN PC.	9,125.00
11/11/2019	COM	81245	MISC	TRANSITIONS REMODELING	TRANSITIONS REMODELING	300.00
11/11/2019	COM	81246	MISC	TRESNAK CONSTRUCTION, IN	TRESNAK CONSTRUCTION, IN	200.00
11/11/2019	COM	81247	38205	VERIZON WIRELESS MESSAGI	VERIZON WIRELESS MESSAGI	415.30
11/11/2019	COM	81248	MISC	WINDOW PRO HOLDINGS LLC	WINDOW PRO HOLDINGS LLC	400.00
11/11/2019	COM	81249	53572	WOW! BUSINESS	WOW! BUSINESS	1,232.15

COM TOTALS:

Total of 72 Checks:	193,917.92
Less 0 Void Checks:	0.00
Total of 72 Disbursements:	193,917.92

11/08/2019 10:20 AM
User: KARRIE
DB: Beverly Hills

CHECK REGISTER FOR VILLAGE OF BEVERLY HILLS
CHECK DATE FROM 10/28/2019 - 11/11/2019

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Check Date	Bank	Check	Vendor	Vendor Name	Invoice Vendor	Amount
Bank IND INDEPENDENT BANK						
10/28/2019	IND	1118	50719	MARKET FRESH		1,400.00
10/31/2019	IND	1119	59433	PERFORMANCE CREATIVE RES		110.00
10/31/2019	IND	1120	59763	SIGNS & MORE		35.00
10/31/2019	IND	1121	59312	TRISH OEN		662.21

IND TOTALS:

Total of 4 Checks:	2,207.21
Less 0 Void Checks:	0.00
Total of 4 Disbursements:	2,207.21



To: Honorable President Peddie; Village Council Members
Chris Wilson, Village Manager

From: Kristin Rutkowski, Village Clerk/Assistant Village Manager

Subject: Beverly Hills Lions Club Candy Cane Collection

Date: November 13, 2019

Administration received a request from the Beverly Hills Lions Club to solicit charitable donations in Beverly Hills for their annual Candy Cane Collection from November 27 to December 24, 2019. The Lions Club would primarily solicit donations at the Corners Shopping Center and Market Fresh (13 Mile and Southfield Road). Funds raised from this collection will support organizations related to sight and hearing-impaired individuals, such as the Leader Dog School for the Blind.

The Lions Club has also requested administration display the following notice on the sign outside of the Village Offices: Support Lions Candy Cane Collection, November 27 to December 24.

Suggested Motion

The Beverly Hills Village Council hereby authorizes the Beverly Hills Lions Club to solicit charitable donations for their annual Candy Cane Collection from November 27 to December 24, 2019 and approves the request for the message board to read "Support Lions Candy Cane Collection, November 27 to December 24," provided there are no conflicts.



To: Honorable President Peddie; Village Council
Chris Wilson, Village Manager

From: Erin LaPere, Planning & Zoning Administrator

Date: November 12, 2019

Re: Reprogramming of Community Development Block Grant (CDBG)

The Village allocated funds in Program Year (PY) 2017 for the CDBG project Remove Architectural Barriers in anticipation of renovations to the Beverly Park to meet requirements of the Americans with Disabilities Act. We did replace the sidewalk at the park, however, due to numerous issues with the contractor that project did not expend the CDBG allocation.

We originally allocated funds in this project to be used for sidewalk and related infrastructure improvements to provide ADA accessible pedestrian paths at Beverly Park. The CDBG program requires contractors to comply with federal government mandates in order for CDBG funds to be used. In addition to the contractor being unable and unwilling to comply with those requirements, he was unable to complete the project per the contract. We are seeking relief for the expenses incurred through the surety bond that was provided with the project.

At this time, we are seeking to reprogram Community Development Block Grant Funds from Program Year 2017. The CDBG program has a number of project categories, however, Beverly Hills does not meet the low income criteria for expending funds on most of those types of projects. Therefore, I am proposing that we reprogram all of the funds from Remove Architectural Barriers to the Minor Home Repair program which is administered by NEXT for Beverly Hills. The total amount of funds to be reprogrammed is \$13,801.00. The 2017 funds may become eligible to be recaptured by the federal government if they are not expended. Due to HUD restrictions on various projects, we do not have an alternate project to recommend reprogramming other than to transfer them into Minor Home Repair (MHR).

Recommendation

Administration is recommending Village Council reprogram \$13,801.00 of the Community Development Block Grant Program Year 2017 from Remove Architectural Barriers to Minor Home Repair.

Suggested Resolution

Be it resolved by the Beverly Hills Village Council to reprogram \$13,801.00 of the Community Development Block Grant Program Year 2017 from Remove Architectural Barriers to Minor Home Repair.

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To: Honorable President Peddie; Village Council Members
Chris Wilson, Village Manager

From: Kristin Rutkowski, Village Clerk/Assistant Village Manager

Subject: Friends of the Rouge Request for Funding

Date: November 13, 2019

Administration received a request from Friends of the Rouge (FOTR) for financial support for their Benthic Macroinvertebrate Monitoring Program (Bug Hunts and Stonefly Searches). The Friends of the Rouge is a non-profit organization that relies on grants and donations to fund their work. Through this program, they are able to collect data on the health of the watershed over time. The program is also used to educate watershed residents about water quality and develop good stewards.

The Friends of the Rouge collect samples at two sites in Beverly Hills: the Main Rouge at Douglas Evans Nature Preserve (Evergreen/13 Mile Road) and Nottingham Creek at Detroit Country Day Middle School (Lahser/13 Mile Road). FOTR conducts sampling events twice a year in spring and fall at both sites. The cost per sampling event is \$550.00.

The Friends of the Rouge have requested a \$2,200.00 contribution from the Village of Beverly Hills so sampling in our community may continue. Funds for this contribution would be available from the Community Action Programs fund 101-747-890.10.

Suggested Resolution

Be it resolved, the Beverly Hills Village Council hereby authorizes a contribution in the amount of \$2,200.00 to the Friends of Rouge for their Benthic Macroinvertebrate Monitoring Program at two sites in Beverly Hills. Funds for this contribution are available in fund 101-747-890.10.

Attachment

Kristin Rutkowski

From: Sally Petrella <spetrella@therouge.org>
Sent: Monday, November 4, 2019 11:21 AM
To: Kristin Rutkowski
Cc: Erin Lapere
Subject: Friends of the Rouge Benthic Macroinvertebrate Monitoring Program Request
Attachments: 2019 Spring Benthic Report.pdf

Follow Up Flag: Follow up
Flag Status: Completed

Dear Kristin,

Friends of the Rouge is a non-profit organization that relies on grants, donations, memberships, foundations, corporate support etc. to fund our work. Since 1998, we engage volunteers in data collection through our Benthic Macroinvertebrate Monitoring Program (Bug Hunts and Stonefly Searches). Through this program, we collect data on the health of the watershed over time. The program is also a great way to educate watershed residents and develop good stewards.

The number of sensitive and tolerant species we find enables us to calculate a score for each site and track change over time. In addition to collecting the bugs that help us track water quality, our volunteers are trained to look for and report illicit discharges and check for invasive species. It was one of our volunteers who found and reported the first Asian clam, an invasive species, in the Main Rouge River at Douglas Evans Nature Preserve as well as finding some large native mussels there. Our volunteers are also trained to report illicit discharges discovered at monitoring sites, which is a benefit to the watershed, and to municipal illicit discharge elimination efforts.

Due to a lack of consistent long-term funding for this important work, FOTR is reaching out to the communities in the Rouge River watershed for financial support. If communities like yours are willing to provide financial support for monitoring the sites in their community on an annual basis, this would be instrumental in helping FOTR to continue the program.

There are two sites in Beverly Hills that are sampled on a rotating basis. The cost for each site is \$550 for each sampling event and we hold two sampling events per year - Spring and Fall. The cost of monitoring both sites two times a year is \$2200. Washtenaw County and the cities of Southfield and Novi already sponsor sites in their communities and we are in the process of approaching other Rouge River watershed communities to do the same.

Below are the two sites FOTR monitors in your community. We are also open to adding additional sites if you are interested.

Stream	FieldID	Site Name	Nearest Roads	Latitude	Longitude
Main Rouge	Main5	Douglas Evans Nature Preserve	Evergreen/13 Mile	42.52219	-83.24692
Nottingham Creek	Nott	Detroit Country Day Middle School	Lahser/13 Mile	42.51149	-83.26463

Please let me know if you are willing to sponsor the two sites so we can continue sampling them. I would be happy to meet with you to discuss this partnership and the program. I have attached a sample report. I will call you next week to follow up and to answer any questions that you have.

Thank you for your support.

Sincerely,

Sally Petrella

734-927-4904

--

Sally Petrella,

Manager, Monitoring Programs

Friends of the Rouge

650 Church Street Suite 209

Plymouth, MI 48170

734-927-4904

www.therouge.org

*Friends of the Rouge's mission is to restore, protect and enhance
the Rouge River watershed through stewardship, education and collaboration.*

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To: Honorable President Peddie; Village Council
Chris Wilson, Village Manager

From: Erin LaPere, Planning & Zoning Administrator

Date: November 14, 2019

Re: Proposed redevelopment to the vacant lot at 31655 Southfield Road

Robertson Brothers Homes has submitted a proposal for preliminary site plan approval to redevelop the vacant lot at 31655 Southfield Road to construct 24 attached single family residential townhomes. This project is within the Village Overlay District, where the Village has adopted a plan to encourage mixed-use development and associated zoning regulations to create a pedestrian-friendly, downtown area. The minutes from the December 3, 2013 Council meeting at which the Overlay District regulating language was adopted are included for Council's review. The intent of the District is to regulate development in a way that is consistent with the vision of the Village Center Overlay Plan (Appendix A of the Village Master Plan).

This project was reviewed by the Village Fire Marshal and Planning Consultant, comments attached. The Village Engineer has conducted a preliminary review; however engineering approval will be required before construction could commence. The Planning Commission discussed the proposal at their meeting held August 28, 2019, excerpt of minutes attached, at which time they postponed recommendation to allow the applicant to make revisions to their proposal. At the meeting held October 23, 2019, the Commission reviewed the revised submittal and recommended conditional approval of the preliminary site plan, excerpt of minutes attached.

Procedurally, as a condominium development this requires a multi-step approval process as described in Village Ordinance, Section 22.25. This request is for preliminary site plan approval, which requires Planning Commission recommendation and Village Council approval. The second stage is final approval which will also require Planning Commission recommendation and Village Council approval. The proposal as submitted details five modifications from the Ordinance to be granted at the discretion of the Village upon finding that the standards of Section 22.33.11 are met. Additionally, the Planning Commission has recommended imposing conditions of approval beyond the deviations requested.

eel

attachments

Present: President Mercer; President Pro-Tem Briggs; Members: Burry, Kelly, LaFerriere and Mooney

Absent: Oen

Also Present: Village Manager, Wilson
Assistant Manager/Clerk, Marshall
Public Safety Director, Torongeau
Village Attorney, Ryan

President Mercer called the regular Council meeting to order at 7:30 p.m. in the Village of Beverly Hills municipal building at 18500 W. Thirteen Mile Road. The Pledge of Allegiance was recited by those in attendance.

ADDITIONS TO AGENDA/APPROVE AGENDA

Motion by Mooney, second by Briggs, to approve the agenda as published.

Motion passed.

COMMUNITY ANNOUNCEMENTS

None

CONSENT AGENDA

Briggs asked that item (b) be moved to the Business Agenda.

Motion by Mooney, second by LaFerriere, to approve the consent agenda as amended.

a. Consider approval of minutes of a regular Council meeting held November 5, 2013.

Motion passed.

REVIEW AND CONSIDER REQUEST FROM AMNESTY/ANIMAL RIGHTS CLUB AT GROVES HIGH SCHOOL TO USE BEVERLY PARK FOR THEIR FOURTH ANNUAL TAILS-N-TRAILS DOG WALK FUNDRAISER ON SATURDAY, MAY 3, 2014

Co-Presidents of the Groves Amnesty International/Animal Rights Club, Sarah Horvath and Erica Gardner, requested the use of Beverly Park on Saturday, May 3, 2014 from 9:30 am until 12:30 pm to host their 2014 Tails-n-Trails Dog Walk fundraiser to raise awareness and funds for the Paws-n-Claws Animal Rescue. The main event is a dog walk that will take place along the Beverly Park trail. They will also have a raffle, bake sale, pet competitions, and agility demonstrations from My Hero Dog Training. The Parks and Recreation Board has reviewed this request and unanimously recommended Council approval.

Motion by Mooney, second by Burry, that the Beverly Hills Village Council approve the request of Groves High School Amnesty/Animal Rights Club to hold a Dog Walk Fundraiser to benefit Paws-n-Claws Animal Rescue on Saturday, May 3, 2014 at Beverly Park from 9:30 am to 12:30 pm. Fees for use of the pavilion will be waived for this event as well as the restriction on sales. A certificate of insurance will be provided upon approval of the Walk/Fundraiser.

Roll Call Vote:
Motion passed (6 – 0).

REVIEW AND CONSIDER REQUEST FROM THE GROVES HIGH SCHOOL ORCHESTRA TO USE VILLAGE STREETS, SIDEWALKS AND BEVERLY PARK FOR A 5K RUN ON SUNDAY, MAY 18, 2014

Groves Symphony Orchestra members Clair Westerlund and Elizabeth Lohr presented a proposal to hold the second annual Forte 5K Run and Walk on Village streets and at Beverly Park on Sunday, May 18, 2014 from 7:30 am to 11:30 am to benefit Groves Orchestra programs. Registration will begin at 8:00 am in the Park and the Run would take place between 9:00 and 10:00 am along Village streets in the West Beverly subdivision. The route is a certified course in the West Beverly neighborhood, and coordination will occur with the Public Safety Department.

After the run, participants will return to the pavilion at Beverly Park for food and entertainment along with the possibility of selling smoothies. The Parks and Recreation Board has reviewed the proposal and recommends Council approval of the Forte 5K Run and Walk.

Motion by Mooney, second by Burry, that the Beverly Hills Village Council approve the request of the Groves High School Orchestra to hold a 5K Run on Sunday, May 18, 2014. This event will begin and end at the Beverly Park pavilion, and they will utilize Village streets and sidewalks for the run. Fees for use of the pavilion will be waived for this event as well as the restriction on sales. A certificate of insurance naming the Village of Beverly Hills as an additional insured will be provided upon approval of the run.

Resident Bob Golden of 30625 Stellamar questioned the time of the event, which was answered by Mercer.

Roll Call Vote:
Motion passed (6 – 0).

PUBLIC HEARING TO RECEIVE COMMENTS ON SOUTHFIELD CORRIDOR VILLAGE CENTER OVERLAY DISTRICT

Wilson reviewed that the Planning Commission and LSL Planning have drafted and presented a proposal for a Village Center Overlay District after working on a plan for redevelopment of the Southfield Road corridor for many months. Planning consultants Brad Strader and Sherrin Hood were in attendance at the November 19, 2013 Council meeting to give a comprehensive presentation of the Overlay District followed by a first reading of an ordinance amendment to adopt the Village Center Form-Based Code. Sherrin Hood was present tonight to answer any questions from Council and the public along with Planning Commission chairperson George Ostrowski.

Council President Mercer opened the public hearing on the Southfield Corridor Village Center Overlay District at 7:45 pm. No one wished to be heard; therefore, the public hearing was closed at 7:46 pm.

SECOND READING OF ORDINANCE #348 ESTABLISHING THE SOUTHFIELD CORRIDOR VILLAGE CENTER OVERLAY DISTRICT

Council is in receipt of proposed Ordinance No. 348, An Ordinance to Amend the Village Municipal Code, Chapter 22, the Zoning Ordinance for the Village of Beverly Hills to Add a Village Center Overlay District. Village Attorney Ryan prefaced the second reading of this Ordinance Amendment with comments in support of the Village Center Plan encompassing the business district located on the west side of Southfield Road north of 13 Mile Road and south of Beverly Road. Ryan emphasized that the underlying zoning will remain in place until redevelopment occurs, at which time developers may take advantage of the incentives offered in this ordinance.

The purpose of this District is to accomplish the following:

- a. Define a Village Center area for Beverly Hills that will create an identity for its commercial core
- b. Implement the Village Center Vision as illustrated in the Beverly Hills Village Center Plan
- c. Promote development of an integrated, mixed-use, pedestrian-oriented environment with buildings containing commercial, residential and office uses
- d. Provide street linkages and internal drives to serve the development within the district, and logical street connections to developments outside the district
- e. Regulate building height and require appropriate landscaping and screening to achieve appropriate scale along streetscapes and ensure proper transition to nearby residential neighborhoods
- f. Create a definable sense of place for the Village with a pedestrian oriented, traditional urban form that encourages residents to visit, stay, and enjoy the district
- g. Encourage development consistent with the desired vision through incentives that will encourage use of the form-based code option

Ordinance Section 1.01 adds the definition of “Articulation”. Section 2.01 adds Section 22.23, Village Center Overlay District, to the Municipal Code. Attorney Ryan highlighted each ordinance section including the Form Based Code encompassing graphs, charts, diagrams and a Regulating Plan. The Planning Commission held a public hearing on the Village Center Overlay District on September 25, 2013. If Council approves the ordinance amendment at this meeting, the effective date of the ordinance will be 20 days after publication of the ordinance or summary of the ordinance in the Eccentric Newspaper pursuant to the Village Charter.

Copies of Ordinance No. 348 in its entirety are available for public review at the Village offices or on the Village website.

Motion by Mooney, second by Burry, that the Village of Beverly Hills Council adopt Ordinance No. 348, An Ordinance to Amend the Village Municipal Code, Chapter 22, the Zoning Ordinance for the Village of Beverly Hills to Add a Village Center Overlay District.

Chairperson George Ostrowski said he is proud of LSL and the Planning Commission. The document before Council for consideration is a culmination of several years of work on a comprehensive plan that will benefit the Village going forward.

Roll Call Vote:
Motion passed (6 – 0).

REVIEW AND CONSIDER RECOMMENDATION FROM THE PARKS AND RECREATION BOARD TO CONSTRUCT A STORAGE SHED AT BEVERLY PARK

Council liaison to the Parks and Recreation Board John Mooney stated that there has been discussion with regard to the request of the Beverly Hills Little League to provide a storage shed for equipment used by approximately 400 young people who live in the Village and surrounding area. The Parks and Recreation Board has reviewed a proposal from Paul Turner from the Little League for construction of a storage shed in Beverly Park and has made a recommendation to Council.

The Parks and Recreation Board recommended that Council approve the expenditure of park dedicated millage funds in an amount not to exceed \$15,000 for the construction of a storage shed in Beverly Park as outlined in the material submitted by the Beverly Hills Little League with the use of the structure to be determined by the Village Administration. The Board also suggested submission of the site plan to the Village Planning Commission and Council for approval.

Mooney asked that Council refer the proposed site plan for a storage facility in Beverly Park to the Planning Commission for review and recommendation. He suggested addressing the financing of the structure following this action.

Mooney referred to the storage shed proposal submitted at the November 11 Parks and Recreation Board meeting. The Beverly Hills Little League engaged an architect to design and draw a plan for the shed at no charge. The resulting drawing was revised from the original 12' x 16' facility to indicate a building size of 10' x 12'. The 12' x 16' size shed had been staked out in the proposed park location adjacent to the north field. Mooney listed the items that need to be stored in a secure facility including helmets, gloves, balls, bats, catcher's equipment, pitching machines, etc. It was noted that the documentation submitted with the plan shows an inside view with shelving units that are 15 ft. long.

Motion by Mooney, second by Burry, that the Village of Beverly Hills Council refer a site plan request submitted by the Beverly Hills Little League to the Planning Commission for review of a storage facility in Beverly Park as set forth in documents presented to the Parks and Recreation Board with a building size not to exceed 12' x 16' at the location indicated in the proposal. Further, Village Administration is directed to assist the Beverly Hills Little League with preparing an appropriate presentation for submission to the Planning Commission.

Council members discussed the motion and the need to consider financing for this project.

Bob Golden of 30625 Stellamar questioned the location of the shed and proposed materials. He was concerned about public safety issues related to a storage shed in the park. Tyrone Henry of 22105 Hillview Lane suggested using a metal storage container as a cost saving measure. Paul Balogh of 32255 Auburn expressed concern with the possibility of rat infestation associated with a shed built in the park.

Motion passed.

Mooney stated that the Parks and Recreation Board has recommended funding this storage shed with dedicated millage funds in an amount not to exceed \$15,000. Issues have been raised as to whether it is appropriate to spend public funds to construct a storage facility that will be used exclusively by the Beverly Hills Little League.

Motion by Mooney, second by Briggs, that the Beverly Hills Council refer the funding of a storage shed to be constructed in Beverly Park for use by the Beverly Hills Little League to Village Attorney Tom Ryan for review and an opinion for Council consideration at its January 21, 2014 meeting.

Mooney suggested certain parameters for this review. It should be determined whether or not use of public funds would be appropriate for construction of a storage shed to be used exclusively by the Beverly Hills Little League. Beverly Park deed restrictions require that the park be open to little league play. Mooney mentioned that the BHLL is the only organization that provides recreation for young people in the park. Mooney requested information based on State Law and the Village Charter that would suggest whether it was in the power of the Village to fund the construction of this facility and under what circumstances it would be allowed. Council will make a decision on the funding of this project or consider making a contribution towards this storage shed based on the information received.

Motion passed.

REVIEW AND CONSIDER INTERGOVERNMENTAL AGREEMENT FOR BUILDING OFFICIAL AND INSPECTION SERVICES WITH THE CITY OF ROYAL OAK

Wilson stated that the Village has been exploring how it should proceed in terms of providing building department services that historically were provided by Beverly Hills through a building official. That position was eliminated in 2009 due to lack of revenue and other budgetary constraints. Since that time, these services have been performed by either a part-time contractor(s) or through another municipality. Recently, the Village has used the City of Royal Oak building department to provide plan review and most inspection services, with the exception of electrical inspections, which have been provided by the City of Birmingham. The Village and Southfield Township have been working on an agreement with the City of Royal Oak that would formalize the current situation and include some services that the Village has been providing.

Before Council for consideration is a proposed Intergovernmental Agreement with the City of Royal Oak for Building Official and Inspection Services. Under this agreement, the City of Royal Oak would be responsible for the issuance of permits and inspections for all activities governed by the building code (State of Michigan Single State Construction Code). This would include building, mechanical, electrical and plumbing permits, as well as demolition permits, swimming pools, and sewer permits. Building plan reviews would be performed by the City of Royal Oak. LSL Planning would continue to conduct site plan reviews and the Public Services Department, through HRC, would handle grade and drainage issues. Upon the completion of all projects, the City of Royal Oak would return all documents to the Village while also maintaining electronic copies for themselves.

The Village would continue to maintain responsibility for permits for fences, signs, driveways, garage sales and for Code Enforcement. Water taps will be handled through Oakland County, as is currently the case. Contractors who are registered through the City of Royal Oak will be eligible to perform work in both communities. Village Administration will continue to take applications for Zoning Board of Appeal cases and will be responsible for the staffing and administration of the Planning Commission and ZBA. This also designates the Building Official for the City of Royal Oak as the Building Official for the Village of Beverly Hills and Southfield Township as required by state law.

As the City of Royal Oak has been performing all inspection and plan review services for some time now (with the exception of electrical inspections which have been performed by Birmingham), the primary change in adopting this agreement will be that permit applications will be accepted and permits issued for all building code related functions at the City of Royal Oak and not at the Village. Those pulling permits will do so at Royal Oak City Hall using their staff and the City of Royal Oak building fee schedule, which is an attachment to the proposed Intergovernmental Agreement. Permits still being issued by the Village will be issued at Village Hall.

As building department activity has increased, the related workload has begun to be more than the current manpower capacities can handle. However, given the size, resources and activity level in the Village, Wilson did not believe that he could justify maintaining a full service building department without doing this at a significant loss. Properly maintaining a full service building department and providing a proper level of service to meet future demands would require more than one or two employees. The staffing, resources and expertise of a full-time Building Department in a community such as Royal Oak would be impractical for the Village to replicate. Wilson maintained that this contract strikes an appropriate balance in the community that allows Village staff to handle the majority of permits and contracts that originate from local residents while transitioning the majority of permits and interaction with contractors to a larger building department with more resources.

This agreement would commence on January 1, 2014 and run for a period of three years. Any party can terminate the agreement with sixty (60) day notice. Currently, the City of Royal Oak plans on voting on this agreement at their meeting of December 16th. Southfield Township has this agreement on the agenda for its meeting of December 10th. Implementation of the agreement is contingent upon agreement by all three parties.

Wilson and Attorney Ryan have reviewed the Agreement. Wilson recommended that the Village Council approve and authorize Village Administration to execute the Intergovernmental Agreement for Building Official and Inspection Services with the City of Royal Oak as presented. Ryan said that State Law allows intergovernmental agreements and Governor Snyder has been promoting consolidation of services among municipalities. This is a policy decision by the Village Council. This document would formalize the agreement in place with the City of Royal Oak.

Motion by Burry, second by Mooney, that the Village of Beverly Hills Council approve the Intergovernmental Agreement for Building Official and Inspection Services between the City of Royal Oak, the Village of Beverly Hills, and the Township Southfield and

authorize Village Administration to execute the Agreement. Council hereby adopts the City of Royal Oak Fee Schedule attached to the Intergovernmental Agreement.

Council discussed this Agreement and how it would affect the Village. Wilson addressed questions on the following topics: Expected changes in Village office staffing and operation; code enforcement and rental inspection processes; financial impact of the agreement; possible reduction in future personnel costs; loss of direct control; level of service issues; and the Request for Proposal process.

Wilson replied to inquiries from LaFerriere and Kelly regarding the financial impact on the Village of implementing this contractual arrangement. State Law says that communities cannot generate revenue through the building department; fees can be assessed only to cover the cost of services. Most building departments have to be subsidized due to unfixed quantity of permits received and staffing needs. The Village will not be paying for a full time building official and the overhead costs of a building department. Wilson outlined the revenue and expenses involved in many aspects of operating a building department. He said that building department expenditures will decrease in the 2014-15 budget.

Wilson was asked if the Village is going to reduce personnel costs in the future because of the implementation of this Agreement. He talked about administrative issues being addressed in the office including a new accounting software package that will dramatically change the work load. Wilson will be making a recommendation to Council to conduct a professional analysis of work load and staffing levels and job assignments in the Village offices based on this building department change and a change in accounting software.

Wilson remarked that the finances of this arrangement are secondary to the level of service that the Village will be able to provide to the community. What is important is the consolidation of services and the professionalism and economies of scale that will be gained by going with a larger community like Royal Oak. In response to an inquiry, Wilson said that Beverly Hills has always provided building department services to Southfield Township property including The Corners commercial strip and a small residential area.

Resident Bob Golden questioned how this consolidation would tie in with overlay district development on Southfield Road. Wilson replied that the primary responsibility for analyzing commercial site plans will remain with LSL Planning, a firm retained by the Village. Commercial building plan review and inspections will be done by the City of Royal Oak. The impact of the zoning overlay district will be managed by Village administration and LSL Planning.

Roll Call Vote:

Kelly	- no
LaFerriere	- yes
Mercer	- yes
Mooney	- yes
Briggs	- yes
Burry	- yes

Motion passed (5 – 1).

REVIEW AND APPROVE HUBBELL, ROTH & CLARK INVOICES FOR PAYMENT

Motion by Mooney, second by Briggs, to allow Council member Kelly to abstain from voting on the invoices received from Hubbell, Roth & Clark based on her business relationship with the vendor.

Motion passed.

Motion by Briggs, second by Mooney, that the Village of Beverly Hills Council approve the invoices submitted by Hubbell, Roth & Clark Inc. for professional services in the amount of \$10,795.94 through November 16, 2013.

Roll Call Vote:

LaFerriere	- yes
Mercer	- yes
Mooney	- yes
Briggs	- yes
Burry	- yes
Kelly	- abstain

Motion passed (5 yes – 1 abstention).

REVIEW AND FILE BILLS RECAPPED AS OF MONDAY, DECEMBER 2, 2013

Motion by Mercer, second by Mooney, to remove from the summary report invoices from Hubbell, Roth & Clark (#08500) for professional services in the amount of \$10,795.94.

Motion passed.

Motion by Briggs, second by Mooney, to approve the bills recapped as of Monday, December 2, 2013.

Motion passed.

PUBLIC COMMENTS

Bob Golden of 30625 Stellamar, long time resident of Beverly Hills, had a comment regarding a Public Service Department policy. He objected to the fact that the Village does not pick up tree limbs that fall after a storm if the tree is on private property. Following a recent storm in the area, Golden dragged limbs from a tree located on his front lawn to the curb. The Village's code enforcement officer contacted Mr. Golden and informed him that he would have to make arrangements to remove the branches or have them chipped. Golden did not think this policy was fair and petitioned the Village Council to reimburse him for the cost of removing the tree limbs.

Tyrone Henry of 22105 Hillview Lane near Lahser Road stated that he purchased his property 28 years ago on a private road with a peaceful setting. Over the years, his neighbors sold their property, and they moved. Mr. Henry is now surrounded by the Detroit Country Day School campus. He related recurring issues with heavy traffic, noise, sports fields and lack of privacy.

His mailbox is often blocked by traffic. Henry asserted that his quality of life has suffered. He asked Council if they could intervene and provide some help to improve his situation.

Mercer clarified that Council does not address issues brought forth during the public comment portion of the meeting. He advised Mr. Tyrone to contact the Village Manager and the Public Safety Department regarding some of the issues he is experiencing.

Paul Balogh of 32255 Auburn raised a number of Village issues and faulted a number of individuals. He mentioned the lack of response to his calls to the Village office regarding various items. As a real estate agent, Balogh talked about the poor condition of the various Village intersections and berms and the fact that they need work. He complained about what he believes to be the undue attention he receives from the Village's code enforcement officer, who visits his property regularly. Balogh commented on drainage issues on his property, tall vegetation planted in the ditch, firewood stacked on his lot, a vehicle parked in his driveway with no plates, and a notice for a court appearance.

REPORTS – MANAGER

Yard Waste Pickup – The final days of yard waste pickup will be Monday, December 9th and Tuesday, December 10th. All bagged yard waste that residents want collected will need to be to the curb for regular pickup along with trash and recycling. Beginning December 23rd, Village residents may take bagged yard waste to the SOCRRA facility on Coolidge for no charge.

Trees in Beverly Park – Village Administration has received an estimate from JH Hart for the cutting of dead and potentially dangerous trees in Beverly Park. Based upon their preliminary review of the area JH Hart is estimating a price of \$3,400 for removal of all hazardous trees adjacent to the path and trimming of live trees that also may be a hazard.

JH Hart did not recommend going forward with the removal of all dead and fallen trees. It was their opinion that removal of all existing dead and fallen trees that do not pose a hazard to the trail would significantly reduce the amount of coverage in the area and require the removal of most if not all of the existing underbrush to allow for equipment to access the area. The end result of the removal of all this material would, in their opinion, produce an area that would be significantly different than the wooded path area that exists today. JH Hart also indicated that they do not have the equipment to accomplish the removal of all dead and fallen trees. Mr. Hart offered to coordinate this work with another provider if the Village wanted to pursue this.

Given the typical ground conditions in the area, it would be best to do this work in the winter when the ground is frozen. If there are no objections from Council, Administration will review this with the Parks and Recreation Board and move forward with removal of hazardous trees adjacent to the park path.

13 Mile Road – Thirteen Mile Road reopened to traffic on Wednesday, November 27th. The bridge will remain open to traffic throughout the winter. All construction has not been completed and work will be ongoing with completion and restoration in the spring.

Village Calendars – The 2014 Village Calendars will be delivered to the Post Office by Monday, December 2nd and should begin being delivered to Village residents during the week.

Ryan commented on the adjournment and rescheduling of Mr. Balogh's court ordered appearance relative to his default on a ticket.

Kelly questioned the status of a traffic study of the Norchester and Saxon intersection to be conducted by the Traffic Improvement Association. Wilson responded that the TIA traffic analysis study is near completion. Administration recommended following up with an intersection analysis for the reason that this is a multijurisdictional intersection between the Village and the City of Birmingham.

Mercer suggested to the Village Manager that this may be a good time to review building department related fees that are being kept in house.

REPORTS – COUNCIL

Kelly commented that the ordinance establishing the Southfield Corridor Village Center Overlay District is a great accomplishment. She hopes to see the results of this urban planning endeavor. Kelly mentioned receiving emails about disclosures on crimes in the Village. She encouraged residents to contact Chief Torongeau if they have any questions.

Mercer acknowledged the high school students who spoke earlier in the meeting. These young people have great commitment and convictions and will mostly likely be future leaders. They are outstanding members of the community.

Motion by Mooney, second by Briggs, to adjourn the meeting at 9:47 pm.

Motion passed.

Tim Mercer
Council President

Ellen E. Marshall
Village Clerk

Susan Bernard
Recording Secretary



To: Erin LaPere, Planning & Zoning Administrator

From: Robert Ginther, Fire Marshal

Date: October 22, 2019

Subject: 31655 Southfield Road – Plan Review

I have completed a preliminary plan review for the proposed development submitted for 31655 Southfield Road. I am identifying them as preliminary as it is my understanding that this is a proposed plan for comment and not the final submission for the project.

I have the following concerns regarding the plans as submitted.

- Water Supply – Based upon previous discussions I see that a hydrant has been noted at the back of the property; however, due to the layout of the property, an additional hydrant will be needed on the main street between Southfield Road and back of the property. Exact setback placement from the road will also need to be approved to take into consideration any possible overhang of fire apparatus.
- Water Supply - The water mains were not noted on the plans that I received; and based upon the type of construction that is being proposed any hydrant in this development shall need to be capable of providing a minimum of 2000 Gallons Per Minute (GPM).
- Access – The council, planning commission, and developer should all be aware that due to access, on-street parking will only be allowed in the designated parking spaces; and no other on-street parking will be allowed and will be posted No Parking-Fire Lane on either side of the street.
- Access – There are issues regarding the landscaping in regards to some of the trees that will be planted on the cornered edges of the due to overhang and height of aerial apparatus.

If you, or anyone else, have any questions please let me know.



November 11, 2019

Village Council
Village of Beverly Hills
18500 W. 13 Mile Road
Beverly Hills, MI 48025

Attention:	Chris Wilson, Village Manager
Subject:	Beverly Square – Preliminary Condominium Plan Review
Location:	31655 Southfield Road – southwest corner of the Southfield and Gould Court intersection
Zoning:	B Business District / VCOD Village Center Overlay District

Dear Councilmembers:

At the Village's request, we have reviewed the revised preliminary condominium plan submittal from Robertson Brothers Homes proposing a townhouse development on the former McDonald's site (plans most recently dated 10/4/19).

The project entails redevelopment of the site, including 24 residential units contained in 6 separate buildings, landscaping, a small greenspace, and vehicular and bicycle parking.

The VCOD identifies the site as a Mixed Use Zone, which allows for any of the uses permitted in the underlying zones of the Overlay District, including attached multiple family residences (permitted by right in the RM District, which is one of the underlying districts in the VCOD).

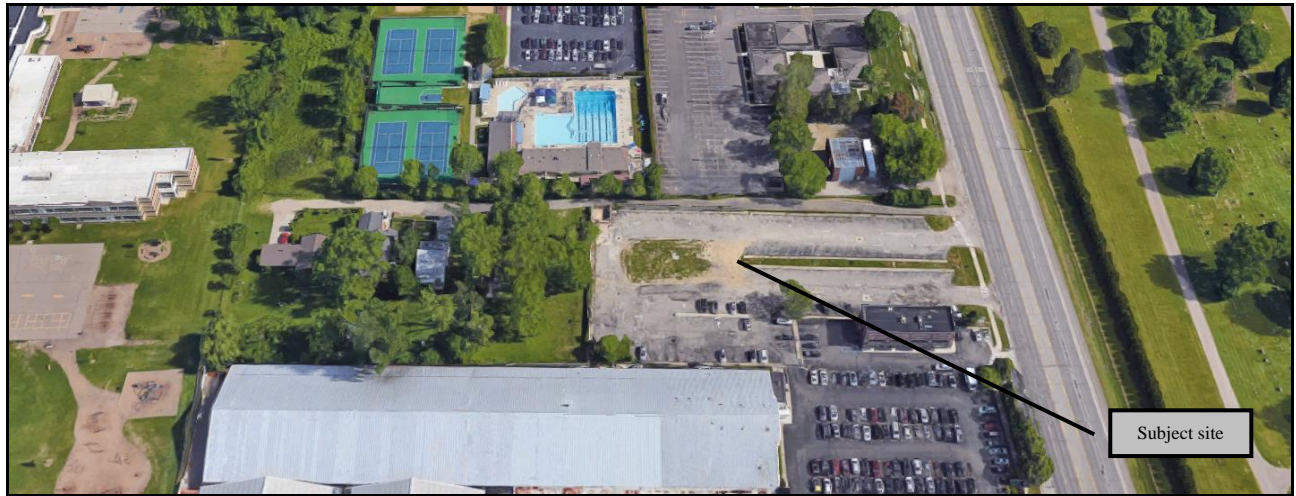
Per Section 22.25, condominium projects require a two-step review process – preliminary and final – both of which are presented to the Planning Commission for a recommendation to Village Council.

The plans currently before Council include 5 modifications from the standards of the VCOD, which are allowed upon a finding that they meet the Allowed Flexibility standards of Section 22.33.11. The modifications sought are as follows:

- To allow an overall density of 15.9 units per acre, where conventional standards are limited to 7.5 units per acre;
- To allow a building/street frontage ratio along Southfield Road of 59.3%, where a minimum of 75% is required;
- To allow a building setback of up to 24 feet along Southfield Road, where a maximum setback of 20 feet is permitted;
- To allow 3-story buildings at the rear of the site (Units 13-20), where the regulating plan calls for 2-story buildings; and
- To allow a partial cross-access easement in lieu of providing a physical north/south street connection along with future consideration for an east/west connection to the adjacent property to the west.

The Planning Commission reviewed the current submittal at their October 23, 2019 meeting and put forth a recommendation of approval with conditions. The motion included a finding that the modifications requested by the applicant meet the Allowed Flexibility standards of Section 22.33.11. (For your reference, these standards are enumerated in paragraph 13 at the end of this review letter.)

Conditions included review of architectural details with a subcommittee of the Planning Commission, as well as full engineering and public safety review at the time of final condominium plan submittal (provided preliminary approval is obtained).



Aerial view of site and surroundings (looking north)

Preliminary Plan review. The proposal was reviewed for compliance with the VCOD requirements of the Village Zoning Ordinance (Section 22.23). Items in need of attention or additional discussion are underlined to ease navigation through this letter.

- 1. Streets and access.** Access is provided by a proposed driveway connection to Southfield Road. The curb cut location and design are subject to review by the Village Engineer, while approval ultimately lies with the Road Commission for Oakland County.

No new streets are proposed as part of this project, though the VCOD Regulating Plan depicts a north/south street connection for cross-access. The Village has the discretion to modify this requirement based upon the standards in Section 22.33.11 Allowed Flexibility.

The revised plan does include an 11-foot wide cross-access easement adjacent to the rear parking area for the development immediately south of the subject site along Southfield Road. The intent is to provide a half width easement that could be matched by the adjacent property, should it be redeveloped at some point in the future, allowing a north/south connection to the remainder of the VCOD.

- 2. Public open space.** The plan provides a greenspace that is the equivalent of 10.2% of the total floor area of all buildings, while the Ordinance requires this area to be 5%.
- 3. Uses.** The Mixed Use Zone of the VCOD allows for any of the uses permitted in the underlying zoning districts. In this instance, the corresponding use is that of a multiple family development under the RM District, which is permitted by right.

However, the proposal entails a density of 15.9 units per acre, while the RM District allows up to 7.5 units per acre. As such, the applicant requests a modification in accordance with Section 22.33.11 Allowed Flexibility.

- 4. Streetscaping.** The plans have been reviewed for compliance with the standards of Section 22.23.8(a), as follows:
 - a. Sidewalks.** The revised plan includes a 7-foot wide concrete sidewalk along the Southfield Road frontage, as well as a 5-foot wide concrete sidewalk along the fronts of Units 8-16, which face Gould Court.

- b. **Street trees.** The Ordinance requires 5 street trees along Southfield Road and 13 along Gould Court. The revised landscape plan provides 8 deciduous trees along Southfield Road (3 canopy and 5 ornamental trees), as well as 13 deciduous trees along Gould Court (9 canopy, 3 columnar and 1 ornamental).
- c. **Street lights.** Decorative street lighting is required along the primary street frontage (Southfield Road) with spacing at 30' intervals. The revised plan includes 2 decorative lights, as opposed to the 4 that are required. The submittal does not include details of said fixtures, but indicates that the applicant will work with the Village to provide the type of fixture desired by the Village.

Lastly, the revised submittal states that each unit will include coach lights on the front and rear of each Unit.

5. Site layout. The plans have been reviewed for compliance with the standards of Section 22.23.8(b), as follows:

- a. **Minimum street frontage.** The Ordinance requires that buildings occupy not less than 75% of a Primary Street frontage, while the plan provides a ratio of 59.3% along Southfield Road. As such, the applicant requests modification by the Village in accordance with Section 22.33.11 Allowed Flexibility.
- b. **Minimum building depth.** Each of the proposed buildings are 30' deep, which complies with the minimum Ordinance standard.
- c. **Lot size/coverage.** The VCOD does not provide minimum lot size or maximum lot coverage regulations; however, stormwater management requirements must be met. We defer to the Village Engineer for review/comment on this aspect of the proposal.
- d. **Building placement.** As noted above, the minimum building street frontage along a Primary Street is not met. This standard also requires that building be parallel to the street, which the front building along Southfield Road is.
- e. **Parking circulation and driveways.** Given that 84% of the off-street parking is provided internally via garages, the yard location requirements are met. The guest parking spaces are provided in side and rear yards, per Ordinance standards.

The Ordinance also requires a 10' minimum setback from all property lines for parking spaces. The revised plan complies with this requirement.

Lastly, driveways are to provide not less than 150' spacing from other driveways, though the plan provides spacing of approximately 62' (center to center) from the existing driveway to the south. We defer to the Village Engineer for review/comment on the driveway placement.

6. Building requirements. The plans have been reviewed for compliance with the standards of Section 22.23.8(c), as follows:

- a. **Front yard build-to zone.** The Ordinance requires buildings to be within 20' of the front lot line. The building fronting Southfield Road provides a front yard setback that ranges from 20 to 24 feet (from north to south).

As such, the applicant requests modification by the Village in accordance with Section 22.33.11 Allowed Flexibility.

- b. Minimum building depth.** As previously noted, each building provides the minimum required depth of 30’.
- c. Side yard setback.** A minimum of 10’ is required from non-Primary Streets and other property lines. Each of the proposed buildings meets this standard.
- d. Rear yard setback.** No rear setback is required.
- e. Building height.** Each of the proposed buildings exceeds the minimum 2-story height requirement via 3-story buildings. The VCOD identifies the majority of the site as 3-story, though a portion of the rear of the site is within the 2-story category.

Based on our estimation, Units 13-20 lie within the 2-story area and modification from this standard is needed in accordance with Section 22.33.11 Allowed Flexibility.

- f. Minimum residential floor area.** Each of the proposed residential units exceeds the minimum floor area required (800 SF).
- h. Building design and facades.** The Ordinance includes requirements for articulation, windows, entrances, and building materials.

The revised submittal includes a letter from the project architect, as well as color renderings, example materials and floor plans.

The primary building materials are to be brick, stone, or fiber cement (or better) siding, while the submittal includes brick and different types of vinyl siding.

The applicant must explain to the Village how the use of vinyl siding is in keeping with the standards of the VCOD.

- 7. Signs.** The revised plan depicts a ground sign adjacent to the driveway along Southfield Road, including a sign detail. The proposed height and area comply with the standards of the Village’s sign regulations, though a sign permit must be obtained prior to installation.
- 8. Parking.** The Ordinance requires 54 parking spaces for the proposed development, while the plan provides a total of 57 spaces – 48 within garage spaces and 9 surface spaces throughout the development.

The notes on Sheet SP2 indicate 58 spaces are provided, though 1 space has been removed in the revised plans. The plans must be corrected for consistency.

Additionally, the drive aisles and parking space dimensions meet or exceed the dimensional standards of Section 22.08.030 and the plan includes the required bicycle parking.

- 9. Loading.** As a residential development, we do not believe a dedicated loading zone is necessary. There is sufficient room around the site for short term delivery vehicles and the plan provides mailbox kiosks, as opposed to individual mailboxes on each unit.

The revised plans include a truck turning plan and removal of the existing asphalt ramp connecting with the adjacent site (to be replaced with lawn/landscaping). However, Sheet SP3 must be revised to remove the need for a truck to cross over the property line as part of the circulation plan.

11. Landscaping and Screening. The revised submittal includes a more detailed landscape plan and notes that full details will be included with the final condominium plan submittal.

In total, the plan includes 24 deciduous trees, 6 ornamental trees, 6 evergreen trees and 153 deciduous shrubs, along with ornamental grasses and large perennials.

There are 3-foot tall decorative fence segments proposed in front of the 4 units fronting Southfield Road. Additionally, a detail and note are included for 6-foot privacy fencing along portions of the southerly lot line, while the existing fencing in this area will be removed.

Lastly, notes have been added that the existing masonry walls along the northerly and westerly lot will be retained and refinished.

12. Additional Considerations. The plans must be reviewed by the Village Engineer and Fire Marshal. The applicant must address any concerns raised.

In response to our initial review letter, the applicant has indicated that refuse and recycling will be accommodated by individual unit pickup via the Village's waste hauler.

Additionally, the applicant has noted that bins will be required to be stored within individual garages except for pickup days.

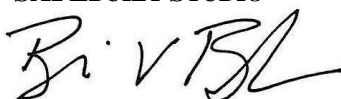
13. Allowed Flexibility. As referenced throughout this review, the VCOD includes a section allowing flexibility from the specific requirements given that certain site conditions may preclude strict compliance.

The instances where the applicant seeks flexibility are to be evaluated in consideration of the following criteria:

- The proposed development is consistent with the Village Center Plan, as amended.
- The proposed development is consistent with the Purpose and Development Principles listed in Section 22.23.3.
- The proposed modification will not prevent or complicate logical extensions of streets, parking, open space, or development of adjacent properties consistent with the Village Center Plan and Regulating Plan.
- The modification is the minimum necessary to allow reasonable development that is consistent with the purpose of the Village Center.
- The proposed development will not impair public safety.
- The modification is not simply for the convenience of the development.

Should you have any questions concerning this matter, please do not hesitate to contact our office.

Respectfully,
SAFEBUILT STUDIO



Brian V. Borden, AICP
Planning Manager

EXCERPT OF REGULAR PLANNING COMMISSION MEETING MINUTES – AUGUST 28, 2019 – PAGE 1

Present: Chairperson Drummond; Vice-Chairperson Westerlund; Members: Borowski, Copeland, Grinnan, Ostrowski, Ruprich, and Wilensky

Absent: Member: Stempien

Also Present: Planning and Zoning Administrator, LaPere
Planning Consultant, Borden
Council Liaison, Hrydziusko

REVIEW AND CONSIDER RECOMMENDATION TO COUNCIL ON PRELIMINARY CONDOMINIUM SITE PLAN FOR BEVERLY SQUARE, VACANT PARCEL TH-24-02-427-006, LOCATED AT 31655 SOUTHFIELD ROAD

Prior to discussion, Ostrowski stated that his employer is the engineering firm on record for this project. He clarified that he has no involvement to this project as he is employed as a landscape architect and the project will employ the firm for surveying and civil engineering only. He stated he has no direct financial stake in the property or project, but was giving the opportunity for the Commission to discuss whether he should be recused from the matter.

Upon discussion, the Commission decided there was no conflict of interest that would necessitate Ostrowski to be recused.

Robertson Brothers Homes has submitted a proposal for preliminary site plan approval to redevelop the vacant lot at 31655 Southfield Road, parcel ID TH-24-02-427-006, to construct 24 attached single-family residential homes. This is proposed as a condominium development with individual ownership of the townhouse unit while the open space will be maintained by a homeowner's association. A copy of the plans and additional submittal details were provided to the Commissioners for review.

This project is within the Village Overlay District (VCOD), where the Village has adopted a plan to encourage mixed-use development and associated zoning regulations to create a pedestrian-friendly, downtown area. As a condominium development this requires a multi-step approval process as described in Village Ordinance, Section 22.25. This request is for preliminary site plan approval, which requires Planning Commission recommendation and Village Council approval. The second stage is final approval which will also require Planning Commission recommendation and Village Council approval.

The Village Planning Consultant, Village Fire Marshal, and the Village Engineer have reviewed the preliminary submittal for compliance with applicable codes and provided feedback to the applicant. The detailed comments from the Planning Consultant were provided. The Fire Marshal noted two primary concerns, first, the truck turning radius calculations must be based upon a 44ft long truck and second, the requirement for a hydrant to be installed at the rear of the property. The Village Engineer noted they will be required to submit calculations on the outputs to the existing sanitary line and details regarding onsite storm water management. Robertson Brothers submitted a written response to all the comments which was provided to the Commission.

THESE MINUTES ARE NOT OFFICIAL. THEY HAVE NOT BEEN APPROVED.

EXCERPT OF REGULAR PLANNING COMMISSION MEETING MINUTES – AUGUST 28, 2019 – PAGE 2

Tim Loughlin and Jim Clarke, Robertson Brothers, presented an overview of the proposal. The Beverly Square development is intended for the younger profile professional demographic looking to purchase a maintenance free, first-time home in the community. The homes will be approximately 1,500 square feet in size and each unit will feature an attached two-car garage. Over the past several years, Robertson Brothers has had success with similar developments in neighboring areas and is confident the homes and community will be well-received in Beverly Hills.

The community will be constructed on a vacant property that was a former McDonald's restaurant. The property is under contract with one owner, totaling approximately 1.5 acres. The community will be located along the west side of Southfield Road just south of the private road, Gould Court. The property is a vacant lot, zoned B – Business and is within the Village Center Overlay District which regulates the development requirements.

Loughlin noted that the VCOD plan has envisioned the area as a redeveloped mixed-use village concept which will create a walkable destination for residents and visitors. There is currently substantial retail, office, and restaurant uses within this district. He argued that new residential is lacking in the vicinity and this proposal will provide for that missing component. The Village of Beverly Hills' Master Plan specifically notes the need for a residential component of the Village Center in order to support the activities of the mixed-use redevelopment through increased residential densities and a pedestrian-oriented design. He also stated that this is intended to provide a transition between the taller mixed-use buildings proposed near Southfield and Thirteen Mile Roads.

Loughlin contends that the proposed Beverly Square community will serve as a catalyst for future redevelopment of the Southfield Road corridor and begin to implement the ideas and vision contained within the Village Center concept plan. He noted the Beverly Hills Master Plan specifically calls for townhouse-style urban residential at the edges of the Village Center plan area.

He provided an overview of the site design. The buildings along Southfield Road are oriented parallel to the street with the entrances facing the street, and are an appropriate massing based on the provisions of the Village's plan. The concept plan encourages bicycle parking therefore bike racks have been provided. The landscape plan has been planted above and beyond the Village's requirements, and over 40% of the site will be open space to be maintained by the homeowner's association.

Borden reviewed the preliminary condominium plan submittal from Robertson Brothers Co. proposing a townhouse development on the former McDonald's site (plans most recently dated 5/20/19). He noted the project entails a full redevelopment of the site, including 24 residential units contained in six buildings, landscaping, greenspace, and vehicular and bicycle parking. The VCOD identifies the site as a Mixed-Use Zone, which allows for any use permitted in the underlying zones of the Overlay, including attached single-family residences.

The proposal has been reviewed for compliance with the VCOD requirements of Section 22.23, as follows:

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EXCERPT OF REGULAR PLANNING COMMISSION MEETING MINUTES – AUGUST 28, 2019 – PAGE 3

1. Streets and access. Access is provided by a proposed driveway connection to Southfield Road. The curb cut location and design are subject to review by the Village Engineer, while approval ultimately lies with the Road Commission for Oakland County. No new streets are proposed as part of this project, though the VCOD Regulating Plan depicts a north/south street connection for cross-access. The Village has the discretion to modify this requirement based upon the standards in Section 22.23.11. The Village may wish to require that the applicant provide a cross-access easement for connection to the south in the event of future redevelopment for adjacent and nearby parcels.

2. Public open space. The site plan provides a greenspace that is the equivalent of 10.2% of the total floor area of all buildings, while the Ordinance requires the area to be only 5%.

3. Uses. The Mixed Use Zone allows for any of the uses permitted in the underlying zoning districts of the VCOD. In this instance, the corresponding use is that of a multiple-family development under the RM District, which allows up to 7.5 dwelling units per acre. The proposal entails a density of 15.9 dwelling units per acre. As such, the applicant requests a modification in accordance with Section 22.33.11 Allowed Flexibility.

4. Streetscaping. The plans have been reviewed for compliance with the standards of Section 22.23.8(a), as follows:

a. Sidewalks. The plan proposes a 5' wide concrete sidewalk along the Southfield Road frontage. The Ordinance requires a 7' wide sidewalk along Southfield Road (Primary Frontage) and a 5' sidewalk along Gould Court.

b. Street trees. The Ordinance requires 5 street trees along Southfield Road and 13 along Gould Court. The proposed landscape plan provides the equivalent of 5 large canopy along Southfield (3 canopy and 4 ornamental trees), though the Gould Court frontage provides 9 canopy trees and 4 evergreen trees. Neither the street tree nor the general planting regulations of the Ordinance include substitution of evergreen trees for canopy trees. As such, 4 additional canopy trees (or the equivalent) are required along the Gould Court frontage.

c. Street lights. Decorative street lighting is required along all sidewalks, with spacing at 30' intervals. However, the plan does not depict any exterior site lighting.

5. Site layout. The plans have been reviewed for compliance with the standards of Section 22.23.8(b), as follows:

a. Minimum street frontage. The Ordinance requires that buildings occupy not less than 75% of a Primary Street frontage, while the plan provides only 59.3% along Southfield Road. As such, the plan must either be modified for compliance or the applicant must request modification by the Village in accordance with Section 22.33.11 Allowed Flexibility.

b. Minimum building depth. The proposed buildings are 30' in depth, which complies with the minimum Ordinance standard.

c. Lot size/coverage. The VCOD does not provide minimum lot size or maximum lot coverage regulations; however, stormwater management requirements must be met.

d. Building placement. As noted above, the minimum building street frontage along a Primary Street is not met. This standard also requires that building be parallel to the street, which the front building along Southfield Road is.

e. Parking circulation and driveways. Given that 87% of the off-street parking is provided via garages, the yard location requirements are met. The Ordinance requires a 10' minimum setback from all property lines for parking spaces, though the plan proposes a minimum setback of approximately 3' from the southerly side lot line. Additionally, driveways are to provide not less than 150' spacing from other driveways, though the plan provides spacing of approximately 62' (center to center) from the existing driveway to the south.

6. Building requirements. The plans have been reviewed for compliance with the standards of Section 22.23.8(c), as follows:

a. Front yard build-to zone. The Ordinance requires buildings to be within 20' of the front lot line. The building fronting Southfield Road has a maximum setback of 24'; therefore, this standard is not met.

b. Minimum building depth. As previously noted, each building provides the minimum required depth of 30'.

c. Side yard setback. A minimum of 10' is required from non-Primary Streets and other property lines. Each of the proposed buildings meets this standard.

d. Rear yard setback. No rear setback is required.

e. Building height. Each of the proposed buildings provides the minimum 2-story height requirement.

f. Minimum residential floor area. Each of the proposed residential units exceeds the minimum floor area required (800 SF).

h. Building design and facades. The Ordinance includes requirements for articulation, windows, entrances, and building materials; however, no building elevation drawings are included in the submittal. The applicant must provide building elevation drawings with sufficient detail/narrative addressing all of the building design requirements.

7. Signs. The plan depicts a ground sign adjacent to the driveway along Southfield Road; however, no details are provided. For the applicant's reference, such signs are regulated by Section 22.32.

8. Lighting. The submittal does not identify any exterior site lighting.

9. Parking. The Ordinance requires 54 parking spaces for the proposed development, while the plan provides a total of 58 spaces – 48 within garage spaces and 10 surface spaces throughout the development. Additionally, the drive aisles and parking space dimensions meet or exceed the dimensional standards of Section 22.08.030. Lastly, the plan includes the required bicycle parking with space for up to 20 bicycles.

10. Loading. As a residential development, we do not believe a dedicated loading zone is necessary. There is ample room around the site for short term delivery vehicles and the plan provides mailbox kiosks, as opposed to individual mailboxes on each unit. With that being said, the submittal does include a truck turning plan; however, the plan depicts a large truck crossing

EXCERPT OF REGULAR PLANNING COMMISSION MEETING MINUTES – AUGUST 28, 2019 – PAGE 5

over the property line to the south via an existing asphalt ramp. The applicant must obtain an easement allowing this movement; otherwise, we suggest the portion of asphalt on the site be removed and replaced with lawn area.

11. Landscaping and Screening. The submittal includes a conceptual landscape plan and notes that full details will be included with the final plan submittal. In total, the plan provides 21 deciduous trees, 4 ornamental trees, 10 evergreen trees, 56 deciduous shrubs and an additional 24 plantings that are not identified. There are 4' tall decorative fence segments proposed in front of 3 of the 4 units fronting Southfield Road. The conventional fence regulations would limit these to 3' in height, though the site is not within a single-family zoning district. Additionally, a detail and note are included for a 6' privacy fence, though the specific location and length are not clearly depicted.

12. Additional Consideration. The plans must be reviewed by the Village Engineer and Fire Marshal. The applicant must address any concerns raised. We also request the applicant identify how refuse/recycling removal will occur.

Loughlin addressed questions from the Commission. He explained that this could be considered mixed-use in relationship to the use of the area overall and noted that there is not a market for main floor retail with residential above on this small of a scale. There is the intention for trees on the right-of-way, but these are contingent on utilities and visibility. The proposed building height measures 33 feet to the midpoint with no chimney. The estimated market value for these homes would be \$200,000 to \$300,000 and all perimeter barriers would remain where they are located but be replaced.

Loughlin noted that a letter responding to Borden concerns was submitted, and the intention is to update the site plan after this meeting. There was discussion on the density proposed compared to allowable density per Zoning and VCOD regulations.

Discussion took place regarding the VCOD requirement for cross-connectivity and potential easements for future interior road development. Ostrowski expressed concern for the road standards for easements being met. He also would like to see the overall size of the building specified on the plans. There appears to be minimal guest parking and there is no apron space behind the garage. The area that is being referred to as public space appears to be located in a space that suggests it is for the residents only and should be considered private.

Borowski is concerned about density and has concerns about the height of the buildings in relationship to the surrounding buildings. Overall the concept is good, but he would like to see the updated site plan before moving it forward to Council.

Drummond noted that Commissioner Stempien submitted comments electronically due to his absence in which he expressed concerns including the conditions of the existing property screening and regarding architectural elements of the plan relative to the VCOD requirements.

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EXCERPT OF REGULAR PLANNING COMMISSION MEETING MINUTES – AUGUST 28, 2019 – PAGE 6

Grinnan expressed concerns about the materials being proposed and would like to see pedestrian openings in the walls for access to the businesses. Loughlin stated there was space where it could be created and will be determined based on the grading.

Westerlund agrees with Grinnan that connectivity for pedestrian access to surrounding businesses is essential for a walkable area. The rear of the homes that are visible from Southfield Road create a blank wall of siding that is not aesthetically pleasing. The fencing at the visitor parking spaces would need to turn the corner to the south to create a separation between the development and the parking for the Nail Salon. Grade adjustments are necessary to blend with the surrounding area. The proposed parking creates a challenge for the density.

Ostrowski believes that the higher density has to be allowed to develop the downtown area in the way it was envisioned.

Wilensky agrees broadly, and doesn't have an issue with the density as this is a space that could accommodate the higher density. He did not believe it would be necessary to focus on parking. He agreed that a pedestrian cut-through would be a priority to potential residents to reach surrounding businesses. This walkability would be in line with the intention of the Master Plan.

Loughlin explained that they do not anticipate parking problems as there are multiple lots around this area none of which are used to capacity and there is potential for a shared parking agreement with these surrounding lot owners.

A letter was submitted from the residents of Gould Court outlining their concerns with the project including cross-access, use and density, streetscaping including trees and lights, layout of the site, parking, and other elements of the development that they contend do not meet Village Ordinances.

Amber Abboud, Gould Ct., noted that the green space appears to be a private space and not for public use. She stressed that the Commission needs to look ahead as these are permanent buildings. She is concerned that this development would inhibit any potential development on Gould Ct and noted the street itself is only 13 feet wide which is well below the requirements. She stated that there needs to be more awareness for parking and safety.

Ted Peterson, Gould Ct., argued that the homes located on Gould Ct. will become landlocked with this development and it will degrade the value of their homes. He mentioned that the residents could be willing to sell.

John Mooney, Devonshire, stated the Commission planned a downtown development area and these buildings do not fit with that vision. This is not what was intended by Council when they approved the downtown development as the intention is to see the development of retail and residential space combined. The decisions made here will have a 70-year lasting impact. The design is great, however; this has the potential to become investment properties that are leased to renters. This space is rich in potential for development but that should be retail with residential above, similar to surrounding communities.

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EXCERPT OF REGULAR PLANNING COMMISSION MEETING MINUTES – AUGUST 28, 2019 – PAGE 7

Ron Reynolds, Attorney, representing the residents of Gould Ct., explained that these residents are concerned that their homes will become isolated and lose property value. The initial Village Plan called for all properties to be connected which is not accomplished by this plan. He noted that there is no mention of allowing higher density in the Master Plan. He stressed that its important to work with the residents to ensure the plan addresses the VCOD and Master Plan goals.

Clarke, Robertson Bros, clarified that they do not have legal authority to improve Gould Court and contends that this development will provide the residents needed for the downtown area. He stressed that it is not financially viable to develop this site as first floor commercial with residential above.

Rock Abboud, Gould Ct., expressed concern that this development would negatively impact property values and stated that Beverly Hills is not comparable to Royal Oak or other communities. He would like the Commission to consider the vision of the Master Plan they created in reviewing this project.

Phil Vestivitch, property owner, contends that based on the evaluation by Gibbs of the proposed VCOD that the current regulations are not feasible from a ROI since they suggested five-story and high-density buildings. He noted that Gould Court has existed since the 1950s and is a private road. He questioned the intent of 60ft wide easements throughout the district properties to provide interconnectivity and the density regulations in the VCOD.

Mooney mentioned several existing properties that he believes may redevelop in the upcoming years and felt that could create opportunity to actualize the VCOD. He does not believe this project supports the existing commercial uses.

Ostrowski questioned whether the higher density could be approved and noted the connectivity layout was a concept plan.

Borowski noted that Gould Ct is existing and the considerations for all property owners must be weighed, including the potential buyer of the vacant lot. He felt some statements were speculative and stressed the VCOD was meant to encompass the entire area not solely realized in one lot. Westerlund noted that there are numerous property owners within the entire VCOD and unless the Village takes ownership of a property, Planning Commission cannot dictate development or use outside the limits of the Ordinance. Ruprich would like to see the plan address the VCOD and Master Plan and the concerns about connectivity.

Borden confirmed that there are several areas which would require Planning Commission approval to deviate from the Ordinance.

Commissioners would like the applicant to update their site plan submittal to address the concerns raised by administration and the comments raised in the discussion before making a recommendation on the project.

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**EXCERPT OF REGULAR PLANNING COMMISSION MEETING MINUTES – AUGUST 28,
2019 – PAGE 8**

Motion by Borowski, second by Grinnan, that the Planning Commission postpone recommendation to allow the applicant to address the changes requested.

Roll Call Vote:

Ostrowski	no
Ruprich	yes
Westerlund	yes
Wilensky	no
Borowski	yes
Copeland	yes
Drummond	yes
Grinnan	yes

Motion passed (6-2)

**EXCERPT OF REGULAR PLANNING COMMISSION MEETING MINUTES – OCTOBER 23, 2019 –
PAGE 1**

Present: Vice-Chairperson Westerlund; Members: Borowski, Grinnan, Ostrowski, Ruprich, Stempien, and Wilensky

Absent: Chairperson Drummond; Member: Copeland

Also Present: Planning and Zoning Administrator, LaPere
Planning Consultant, Borden
Village Attorney, Ryan
Council Liaison, Hrydziusko
Council Member, George

**REVIEW AND CONSIDER RECOMMENDATION TO COUNCIL ON
PRELIMINARY CONDOMINIUM SITE PLAN FOR BEVERLY SQUARE, VACANT
PARCEL TH-24-02-427-006, LOCATED AT 31655 SOUTHFIELD ROAD**

Robertson Brothers Homes has submitted revisions to their proposal for preliminary site plan approval to redevelop the vacant lot at 31655 Southfield Road, parcel ID TH-24-02-427-006, to construct 24 attached single-family residential homes. This is proposed as a condominium development with individual ownership of the townhouse unit while the open space will be maintained by a homeowner's association. A copy of the revised plans and additional submittal details are attached.

This project is within the Village Overlay District (VCOD), where the Village has adopted a plan to encourage mixed-use development and associated zoning regulations to create a pedestrian-friendly, downtown area. As a condominium development this requires a multi-step approval process as described in Village Ordinance, Section 22.25. This request is for preliminary site plan approval and requires review and recommendation by Planning Commission and Village Council review and consideration for approval.

The second stage is final approval which will also require review and recommendation by Planning Commission to Village Council for final review and consideration for approval. Robertson Brothers submitted a written response to the comments and feedback from the Planning Commission meeting held August 28, 2019. The Village Planning Consultant, Village Fire Marshal, and the Village Engineer have reviewed the revised submittal for compliance with applicable codes.

Borden reviewed the revised preliminary condominium plan submittal from Robertson Brothers Homes proposing a townhouse development on the former McDonald's site (plans most recently dated 10/4/19). The project entails a full redevelopment of the site, including 24 residential units contained in 6 separate buildings, landscaping, a small greenspace, and vehicular and bicycle parking. The VCOD identifies the site as a Mixed-Use Zone, which allows for any of uses permitted in the underlying zones of the Overlay, including attached single-family residences.

1. Streets and access. Access is provided by a proposed driveway connection to Southfield Road. The curb cut location and design are subject to review by the Village Engineer, while approval ultimately lies with the Road Commission for Oakland County. No new streets are proposed as part of this project, though the VCOD Regulating Plan depicts a north/south street

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connection for cross-access. The Village has the discretion to modify this requirement based upon the standards in Section 22.33.11(b) Allowed Flexibility.

In response, the applicant has added an 11-foot wide cross-access easement adjacent to the rear parking area for the development immediately south of the subject site along Southfield Road. The intent is to provide a half width easement that could be matched by the adjacent property should it be redeveloped at some point in the future.

3. Uses. The Mixed-Use Zone of the VCOD allows for any of the uses permitted in the underlying zoning districts. In this instance, the corresponding use is that of a multiple-family development under the RM District, which allows up to 7.5 dwelling units per acre. The proposal entails a density of 15.9 dwelling units per acre. As such, the applicant requests a modification in accordance with Section 22.33.11(b) Allowed Flexibility.

4. Streetscaping. The plans have been reviewed for compliance with the standards of Section 22.23.8(a), as follows:

a. Sidewalks. The revised plan includes a 7' wide concrete sidewalk along the Southfield Road frontage, as well as a 5' wide concrete sidewalk along the fronts of Units 8-16, which face Gould Court. If deemed necessary, the Village may require extension of the sidewalk along Gould Court from the westerly property line to the Southfield Road sidewalk.

c. Street lights. Decorative street lighting is required along the primary street frontage (Southfield Road) with spacing at 30' intervals. The revised plan includes 2 decorative lights, as opposed to the 4 that are required. The submittal does not include details of said fixtures, but indicates that the applicant will work with the Village to provide the type of fixture desired by the Village. Lastly, the revised submittal states that each unit will include coach lights on the front and rear of each Unit.

5. Site layout. The plans have been reviewed for compliance with the standards of Section 22.23.8(b), as follows:

a. Minimum street frontage. The Ordinance requires that buildings occupy not less than 75% of a Primary Street frontage, while the plan provides a ratio of 59.3% along Southfield Road. As such, the plan must either be modified for compliance or the applicant must request modification by the Village in accordance with Section 22.33.11(b) Allowed Flexibility.

c. Lot size. The VCOD does not provide minimum lot size or maximum lot coverage regulations; however, stormwater management requirements must be met. We defer to the Village Engineer for review/comment on this aspect of the proposal.

e. Parking circulation and driveways. Driveways are to provide not less than 150' spacing from other driveways, though the plan provides spacing of approximately 62' (center to center) from the existing driveway to the south. We defer to the Village Engineer for review/comment on the driveway placement.

6. Building requirements. The plans have been reviewed for compliance with the standards of Section 22.23.8(c), as follows:

a. Front yard build-to zone. The Ordinance requires buildings to be within 20' of the front lot line. The building fronting Southfield Road provides a front yard setback of 20' to 24' (from north to south). As such, the majority of the building does not meet this requirement and the

plan must either be modified for compliance or the applicant must request modification by the Village in accordance with Section 22.33.11(b) Allowed Flexibility.

e. Building height. Each of the proposed buildings exceeds the minimum 2-story height requirement by providing 3-story buildings. The VCOD identifies the majority of the site as 3-story, though a portion of the rear of the site is the rear portion is within the 2-story category. Based on our estimation, Units 13-20 lie within the 2-story area and modification from this standard is needed in accordance with Section 22.33.11(b) Allowed Flexibility.

h. Building design and facades. The Ordinance includes requirements for articulation, windows, entrances, and building materials. The revised submittal includes a letter from the project architect, as well as color renderings, example materials and floor plans. The primary building materials are to be brick, stone, or fiber cement (or better) siding, while the submittal includes brick and different types of vinyl siding. The applicant must explain to the Village how the use of vinyl siding is in keeping with the standards of the VCOD.

8. Parking. The Ordinance requires 54 parking spaces for the proposed development, while the plan provides a total of 57 spaces – 48 within garage spaces and 9 surface spaces throughout the development. The notes on Sheet SP2 indicate 58 spaces are provided, though 1 space has been removed in the revised plans. The plans must be corrected for consistency.

9. Loading. As a residential development, we do not believe a dedicated loading zone is necessary. There is sufficient ample room around the site for short term delivery vehicles and the plan provides mailbox kiosks, as opposed to individual mailboxes on each unit. The revised plans include a truck turning plan and the existing asphalt ramp connecting with the adjacent site to the south will be removed and replaced with lawn/landscaping. However, Sheet SP3 must be revised to remove the need for a truck to cross over the property line.

11. Landscaping and Screening. The revised submittal includes a more detailed landscape plan and notes that full details will be included with the final plan submittal. There are 3' tall decorative fence segments proposed in front of 3 of the 4 units fronting Southfield Road. Additionally, a detail and note are included for 6' privacy fencing along portions of the southerly lot line, while the existing fencing in this area will be removed. Lastly, notes have been added that the existing masonry walls along the northerly and westerly lot will be retained and refinished.

12. Additional Considerations. In response to our initial review letter, the applicant has indicated that refuse and recycling will be accommodated by individual unit pickup via the Village's waste hauler. Additionally, the applicant has noted that bins will be required to be stored within individual garages except for pickup days.

13. Allowed Flexibility. As referenced throughout this review, the VCOD includes a section allowing flexibility from the specific requirements given that certain site conditions may preclude strict compliance. The instances where the applicant seeks flexibility are to be evaluated in consideration of the following criteria:

- The proposed development is consistent with the Village Center Plan, as amended.
- The proposed development is consistent with the Purpose and Development Principles listed in Section 22.23.3.

- The proposed modification will not prevent or complicate logical extensions of streets, parking, open space, or development of adjacent properties consistent with the Village Center Plan and Regulating Plan.
- The modification is the minimum necessary to allow reasonable development that is consistent with the purpose of the Village Center.
- The proposed development will not impair public safety.
- The modification is not simply for the convenience of the development.

Tim Loughrin and Jim Clarke from Robertson Brothers reviewed the revised submittal as outlined by Borden. They noted the density requested is the minimum necessary to have a viable project.

Commissioners inquired about ordinance requirements for items including fencing, street frontage ratios, and interconnectivity. Borden clarified that the fencing is within VCOD requirements; however the building closest to Southfield Road only provides 59.3% street frontage while 75% is required and the proposal calls for a partial access easement, both of which require deviations to be granted. Upon further questions, Borden explained that items such as lighting details and architectural requirements (e.g. siding material) are typically addressed during final site plan approval.

Borowski expressed his concerns about the density and height of the buildings and the impact that will have on surrounding properties. There was discussion relative to the findings by CORE group and the permissibility of the proposed building heights at the west side of the development. Grinnan inquired whether pedestrian access was fully considered.

Ron Reynolds, legal representative of the Gould Ct. residents, believes that east-west connectivity should be a priority as this would allow access for Gould Ct. residence. The residents continue to be concerned about impacts of the development due to the increased traffic and parking, and impacts to property values. Reynolds cited sections of language from the Master Plan and Village Center Overlay District as evidence that this development was not in line with the Village's vision for this area.

Steven Satovsky, owner of the Beverly Hills Club and Lot 5 on Gould Court, has been in conversations with Robertson Brothers and is hopeful that an agreement can be reached between them. He believes that a fair market rate is being offered to the residents of Gould Court. His major concern is avoiding landlocking Gould Court.

Laura Lamb, Embassy, is concerned that the density is not compatible with the density of the Village. She also believes that six spots would not be enough guest parking.

Clarke stated that they have been advised by their title company and legal counsel that they have no access rights to improve Gould Court. He also pointed out that they are proposing 10% open space, above the VCOD requirements, and that the property is within a commercial area. He contends that this development has low density for an urban/downtown area.

Ostrowski referred to the proforma that was submitted by CORE Properties which noted projected costs made the area unrealistic to develop and the suggestion by CORE was to increase allowable density. He believes increased density is in keeping with the vision for a walkable downtown area.

Westerlund and Borowski expressed concerns about the traffic circulation on site, especially for larger delivery or refuse trucks and emergency vehicles.

Stempien acknowledged the challenges related to this specific lot; therefore, the modifications in building street frontage and build to setback does not concern him. However, he noted concerns about the design of first floor garages, density relative to massing at the street, and generally whether the architectural design is in keeping with the character of the Village.

Grinnan thanked Loughrin and Clarke for their responsiveness in answering questions providing revisions. She noted that Robertson Brothers is known for quality building, generally and is not overly concerned with the density proposed. She expressed her concerns about the height of the buildings as well as the six-foot fence potentially cutting off pedestrian traffic.

Wilensky observed that the majority of the concerns related to this project are minor, and the submittal of plan revisions show the good faith and due diligence of the Robertson Brothers. He contends that this design is keeping with the Master Plan, and the density is appropriate and is beneficial for development of this entire area. He opined that this development could spur demand for additional redevelopment and that no project will be perfect. He is concerned that the space will continue to be an eyesore.

Clarke committed to working with a subcommittee of Planning Commission to ensure the architectural design and materials are agreeable to the Village. He reiterated that the building height and overall density are necessary to make this a viable project for Robertson Brothers.

Satovsky inquired about potential east-west connectivity via Gould Court and expansion of the road to the north versus to the south. There was discussion about the feasibility of DTE relinquishing rights to property at the existing substation.

Ostrowski noted that the role of the Planning Commission is to make a recommendation to Village Council that is based on the ordinance requirements and the vision and intent of the Village Overlay District.

Upon the Commission finding each requested modification meets the Allowed Flexibility standards of Section 22.33.11 enumerated below:

- The proposed development is consistent with the Village Center Plan, as amended.
- The proposed development is consistent with the Purpose and Development Principles listed in Section 22.23.3.
- The proposed modification will not prevent or complicate logical extensions of streets, parking, open space, or development of adjacent properties consistent with the Village Center Plan and Regulating Plan.

- The modification is the minimum necessary to allow reasonable development that is consistent with the purpose of the Village Center.
- The proposed development will not impair public safety.
- The modification is not simply for the convenience of the development.

Motion by Borowski, second by Wilensky, to recommend conditional approval of the preliminary condominium site plan for Beverly Square, vacant parcel TH-24-02-427-006, located at 31655 Southfield Road, with the following modifications:

- To allow an overall density of 15.9 units per acre, where conventional standards are limited to 7.5 units per acre;
- To allow a building/street frontage ratio along Southfield Road of 59.3%, where a minimum of 75% is required;
- To allow a building setback of up to 24 feet along Southfield Road, where a maximum setback of 20 feet is permitted;
- To allow 3-story buildings at the rear of the site (Units 13-20), where the regulating plan calls for 2- story buildings; and
- To allow a partial cross-access easement in lieu of providing a physical north/south street connection along with future consideration for an east/west connection to the adjacent property to the west.

The recommended approval is conditional upon final architectural details to be in harmony with the Village Character as determined by a subcommittee of the Planning Commission and upon compliance with any and all Village Engineering and Public Safety requirements.

Roll Call Vote:

Ruprich	no
Stempien	yes
Westerlund	no
Wilensky	yes
Borowski	yes
Grinnan	yes
Ostrowski	yes

Motion passed (5-2)



October 4, 2019

Village of Beverly Hills, MI
Planning Department

Re: Site Plan Resubmittal Project Narrative
Beverly Square
Former McDonald's Property at 31655 Southfield Road
Beverly Hills, MI

Robertson Brothers Homes is pleased to resubmit a Site Plan application for a long vacant property at 31655 Southfield Road on the grounds of a former McDonald's restaurant. Robertson has been working with Village staff to prepare a plan that will bring an exciting new option for homebuyers in the area. The Beverly Square neighborhood will include 24 new for-sale single family attached residential homes. Beverly Square will cater to the younger profile professional demographic looking to purchase a maintenance free, first-time home in the community and enjoy all that Beverly Hills has to offer. The homes will be approximately 1,500 square feet in size and each unit will feature an attached two car garage. Over the past several years, Robertson Brothers has had success with these communities in similar urbanized areas and is confident the homes and community will be well received in Beverly Hills.

The community will be constructed on a vacant property that was a former McDonald's restaurant. The property is under contract with one owner, totaling approximately 1.5 acres. The community will be located along the west side of Southfield Road just south of the private Gould Court. The property is a vacant parking lot and zoned Business (B), but is in the Village Center Overlay District, which regulates the development requirements. Depictions of the exterior architecture of the homes have been attached for consideration.

There will be an established homeowner's association which will be responsible for open space maintenance. The proposed use of the land will provide for a seamless transition from existing lower density residential to the west to more intense commercial developments to the north and south.



Robertson Brothers went before the Planning Commission on August 28th, 2019 and received feedback on several elements of the plan which have been addressed. The plan has been revised to address all fire and engineering comments that were received from staff, including the addition of underground stormwater detention and accommodation of the fire turning radius requirements. Additionally, with very few exceptions that relate to building placement due to the narrow configuration of the parcel, most deviations as previously requested have been eliminated with the new design. We have included more detail for signage and fencing as requested. Additionally, we have proposed two additional color packages intended to address the Planning Commission's concern for building design variation, and we are open to further discussion in this respect.

There appeared to be concern that the plan would remove access to existing homeowners to the west of the site. However, the proposed plan does not involve modification of Gould Court and all homeowners will maintain the same access they have had for several decades. Our legal and title professionals have provided opinions that our parcel does not have vehicular access to Gould Court and the development will simply not hinder the current access that the existing residents maintain to their properties.

Additionally, there appeared to be concern that the Medical Village located to the north of the site was recently sold and there were rumors of a high density development coming at that site. This is simply not true and a letter was sent to the Village by the majority owner of the Medical Village providing support for our development and confirming that these rumors are unfounded.

Village Center Overlay District

While the site is zoned Business (B) district, it is governed by the City's Village Center Overlay District. The City has envisioned the area as a redeveloped mixed-use village concept which will create a walkable destination for residents and visitors. There is currently substantial retail, office and restaurant uses within this district. What is lacking in order to create a mix of uses is new residential. While the proposed Beverly Square community does not provide a vertical mix of uses, which is not supportable in today's marketplace, it does provide for an integral missing component of residents that are necessary to



create a true village concept. The Village of Beverly Hills' Master Plan specifically notes the need for a residential component of the Village Center in order to *support the activities of the mixed-use redevelopment through increase residential densities and pedestrian-oriented design. It is also intended to provide a transition between the taller mixed-use buildings proposed near Southfield and Thirteen Mile Roads.*

The Beverly Hills Master Plan specifically calls for townhouse-style urban residential at the edges of the Village Center plan area. Staff has confirmed that residential is a permitted principal use for the parcel, and similar to a restaurant or retail building that could also be proposed for the site, would not require a vertical mixed-use element. We feel that the proposed Beverly Square community will serve as a catalyst for future redevelopment of the Southfield Road corridor and begin to implement the ideas and vision contained within the Beverly Hills Town Center concept plan.

Design

The site has been designed in consideration of the Town Center concept plan. The buildings along Southfield Road are oriented parallel to the street with the entrances facing the street, and are an appropriate massing based on the provisions of the Village's plan. The concept plan encourages bicycle parking and bike racks have been provided. We have met with several neighboring property owners and believe that there is the potential to provide for cross easements for pedestrian and bicycles between developments. Due to direction from the Planning Commission, a pedestrian connection has been added to the property to the south. Additionally, Robertson is amenable to providing for a future easement to allow for a vehicular connection to the south in the event the surrounding property owners redevelopment in the future, thus providing for a logical connection between developments when they may occur in the future.

The landscape plan has been planted above and beyond the Village's requirements, and over 40% of the site will be open space to be maintained by the homeowner's association.

The homes have been designed so that each unit contains a private two-car attached garage, which provides for a pedestrian oriented front entry at the front



of the units. The primary building materials proposed consist of generous brick along the first and second floors of the building. High-quality vinyl horizontal and shake siding is proposed for the upper portions of the building. This serves two purposes. The first is that it provides for a low maintenance building for future homeowners, while ensuring that the community will continue to look in good condition through the years. The second purpose of the horizontal and shake siding is that it provides for a better price point of the units, which will lead to a faster sales and build cycle and more importantly provide for a more affordable option for the targeted “missing middle” buyers that will be interested in buying into the Village’s Town Center concept.

In order to address the Planning Commission’s concern regarding variety in architecture, this resubmittal adds two color packages to the previous single color package proposal. The new proposal adds a blue and a green color package to the previous beige color package, with varying brick materials to complement the alternating colors. Each building would be predetermined with one of these color packages in order to provide the appropriate variety in design.

Market Concept and Project Feasibility

Beverly Square is designed to appeal to the young professional demographic which is underserved and underrepresented in the Beverly Hills area. Specifically, the development seeks to provide for a new first-time housing option for those seeking to live within the area. This buyer is looking for convenience of both location and the lack of maintenance that comes with attached single family condominium living. The buyers value the security and convenience that comes with an attached garage and prefer a living option that does not involved stacked unit living with one house above another, which is typical of apartment construction. The homeowners will own the entire townhouse, from the foundation to the roof, and a homeowners association will be established to maintain all building exteriors and open space areas.

For many, this will be their first new home, which bodes well for all of Beverly Hills as these first time homeowners start families and look to stay in the



area. While pricing has not yet been determined, with indications from other recently completed projects from Robertson in similar communities as a guide, we would hope to start in the high \$200,000s. This is significantly less than buyers would expect to pay for new homes in single family settings in the area. Robertson has a very successful track record with this housing product in several communities within the region, such as Royal Oak, Ferndale, Troy, and Wixom.

Modifications from the underlying zoning category of Business (B) is shown below. An additional table shows the modification from the R-M zoning district, which is an identified zoning district within the Village Center Overlay District.

Schedule of Regulations and Modifications Compared to B Beverly Square			
	B	Proposed Townhome Development	Deviations From B
Max. Density	N/A	15.89 du/ac	N/A
Min. Lot Area	N/A	N/A	N/A
Max. Building Lot Coverage	N/A	25.6%	N/A
Min. Building Setbacks			
Front Setback	35'	17.6' to Building / 13' to Front Porch	22'
Side Setback	N/A	15'	N/A
Rear Setback Principal	20'	15'	5'
Principal Building Height	30' Measured to Highest Point 2 Stories	33' 8 1/16" Measured to Midpoint of Roof 3 Stories	3' 8 1/16" 1 Story



Schedule of Regulations and Modifications Compared to R-M Beverly Square			
	R-M	Proposed Townhome Development	Deviations From R-M
Max. Density	7.5 du/ac	15.89 du/ac	8.39 du/ac
Min. Floor Area	1,000 sf	1,499	In Conformance
Min. Parking Spaces Per Unit (Onstreet and Offstreet Parking)	2 Per Unit	2.5 Per Unit	In Conformance
Max. Building Lot Coverage	30%	25.6%	In Conformance
Min. Building Setbacks			
Front Setback	40' Max	17.6' to Building / 13' to Front Porch	27'
Side Setback	20'	15'	5'
Rear Setback Principal	35'	15'	20'
Principal Building Height	30' Measured to Highest Point 2 Stories	33' 8 1/16" Measured to Midpoint of Roof 3 Stories	3' 8 1/16" 1 Story

There are several public benefits to the project overall, such as:

- Development of a vacant and difficult underutilized property
- Potential cross easement for bikes and pedestrians
- Meeting the intent of the Village's Master Plan
- Inclusion of ADA accessible sidewalks to provide for community connection
- Housing option for residents that are currently underserved
- Quality architecture and design that will enhance the area



The outside consultants involved with the project are as follows:

Engineering Consultant: Brad Brickel, Nowak and Fraus Engineering
46777 Woodward Avenue, Pontiac, MI 48342
248-332-7931

Planning Consultant: Tad Krear, Land Design Studio
750 Forest Avenue, Suite 101, Birmingham, MI 48346
248-594-3220

Architect: Brian Neeper, Brian Neeper Architecture PC
630 N Old Woodward, Suite 203, Birmingham, MI 48009
248-259-1784

Robertson Brothers Homes is pleased to present the Beverly Square site plan for consideration by the City. We believe the development will ultimately become a point of pride for responsible development in a solid area, and will provide for a housing need in the community.

Please let me know if any additional information is required at this time.

Thank you.

Respectfully,

A handwritten signature in blue ink, appearing to read 'Tim Loughrin', with a stylized flourish at the end.

Tim Loughrin | Director of Land Acquisition

Robertson Brothers Homes
6905 Telegraph Rd, Suite 200, Bloomfield Hills, MI 48301
Direct Dial: 248.282.1428 | Mobile: 248.752.7402
tloughrin@robertsonhomes.com



October 4, 2019

Erin Lapere
Village of Beverly Hills, MI
Planning Department

Re: Site Plan Response Comments - **Updated**
Beverly Square
Former McDonald's Property at 31655 Southfield Road
Beverly Hills, MI

Erin,

We are in receipt of comments from Safebuilt Studio dated July 11, 2019 in regard to our Beverly Square site plan submittal. Below are responses to specific comments that were received. **Highlighted items are in response to the previous Planning Commission meeting discussion.**

1. Streets and access. *Access is provided by a proposed driveway connection to Southfield Road. The curb cut location and design are subject to review by the Village Engineer, while approval ultimately lies with the Road Commission for Oakland County.*

No new streets are proposed as part of this project, though the VCOD Regulating Plan depicts a north/south street connection for cross-access. The Village has the discretion to modify this requirement based upon the standards in Section 22.23.11.

The Village may wish to require that the applicant provide a cross-access easement for connection to the south in the event of future redevelopment for adjacent and nearby parcels.

RB Response: Due to the very narrow width that exists for a connection due to the existing placement of the Beverly Hills Club building and the Nail Salon parking area, there is no plausible way to provide a vehicular connection between the sites. We are open to discussion of a potential ½ street easement in the event that the nail salon is redeveloped in the future, which could provide



an internal connection through the properties. However, it is our understanding that neither Engineering nor the Fire Marshal are requiring any access connection at this point.

Update: Included in this submittal is an exhibit prepared by Nowak & Fraus depicting a proposed easement for a future connection at the point that surrounding properties redevelop.

2. Public open space. *The site plan provides a greenspace that is the equivalent of 10.2% of the total floor area of all buildings, while the Ordinance requires the area to be only 5%.*

RB Response: Noted, and we believe the additional open space may help any concerns over the request for increased density and provides justification for the proposed modifications as part of the development plan.

3. Uses. *The Mixed Use Zone allows for any of the uses permitted in the underlying zoning districts of the VCOD. In this instance, the corresponding use is that of a multiple-family development under the RM District, which allows up to 7.5 dwelling units per acre.*

The proposal entails a density of 15.9 dwelling units per acre. As such, the applicant requests a modification in accordance with Section 22.33.11 Allowed Flexibility.

RB Response: This proposed townhome product typically builds at a density of 15 to 20 dwelling units per acre. The RM District density calculations were not designed for this building typology and we do not believe it should be applicable in the VCOD district. Additionally, we are exceeding the minimum open space and parking requirements, and providing for a quality for-sale housing product that will be a benefit to the community as a whole. The increase in density is necessary to cover the costs associated with infill development, such as storm water detention, relocation of utilities, etc. As such, we request a modification in accordance with Section 22.33.11 - Allowed Flexibility.

4. Streetscaping. *The plans have been reviewed for compliance with the standards of Section 22.23.8(a), as follows:*



a. Sidewalks. *The plan proposes a 5' wide concrete sidewalk along the Southfield Road frontage. The Ordinance requires a 7' wide sidewalk along Southfield Road (Primary Frontage) and a 5' sidewalk along Gould Court.*

RB Response: We believe the 5' wide sidewalk along Southfield Road is appropriate given the conditions of the existing developments. We would, however, be amenable to increasing the width to 7' if desired by the Village. A 5' sidewalk is depicted along the Gould Court frontage.

Update: We have revised the plans to include a 7' sidewalk along Southfield Road, eliminating the need for a deviation for this requirement.

b. Street trees. *The Ordinance requires 5 street trees along Southfield Road and 13 along Gould Court. The proposed landscape plan provides the equivalent of 5 large canopy along Southfield (3 canopy and 4 ornamental trees), though the Gould Court frontage provides 9 canopy trees and 4 evergreen trees. Neither the street tree nor the general planting regulations of the Ordinance include substitution of evergreen trees for canopy trees. As such, 4 additional canopy trees (or the equivalent) are required along the Gould Court frontage.*

RB Response: We do not object to this requirement and will add to the next site plan submittal.

Update: We have revised the landscape plans to provide for the additional trees as requested, eliminating the need for a deviation for this requirements.

c. Street lights. *Decorative street lighting is required along all sidewalks, with spacing at 30' intervals. However, the plan does not depict any exterior site lighting.*

RB Response: In discussions with Staff, this requirement would only apply to the Southfield Road frontage. We are amenable to providing decorative street lights as proposed by the Village, with details to be worked out during the final site plan stage. Our preference would be to install two streetlights near the intersection of Gould Court and at the development entrance rather than every



30', if agreeable by the Village. This is requested due to the residential nature of the project and existence of photocell operated coach lights on all buildings.

Update: The two streetlight locations as previously discussed have been added to the plan set.

5. Site layout. *The plans have been reviewed for compliance with the standards of Section 22.23.8(b), as follows:*

a. Minimum street frontage. *The Ordinance requires that buildings occupy not less than 75% of a Primary Street frontage, while the plan provides only 59.3% along Southfield Road. As such, the plan must either be modified for compliance or the applicant must request modification by the Village in accordance with Section 22.33.11 Allowed Flexibility.*

RB Response: The driveway on Southfield Road intended for vehicular access limits the ability to meet the requirement, and we are reducing the number of existing curb cuts by one and cannot access the site without this modification. As such we request a modification by the Village in accordance with Section 22.33.11 - Allowed Flexibility.

b. Minimum building depth. *The proposed buildings are 30' in depth, which complies with the minimum Ordinance standard.*

RB Response: Noted

c. Lot size/coverage. *The VCOD does not provide minimum lot size or maximum lot coverage regulations; however, stormwater management requirements must be met.*

RB Response: Noted, and the final site plan submittal will include underground stormwater detention to meet Village requirements.

Update: The preliminary engineering plans have been revised to include underground detention that meets the Village's requirements for 100 year event storage.



d. Building placement. *As noted above, the minimum building street frontage along a Primary Street is not met. This standard also requires that building be parallel to the street, which the front building along Southfield Road is.*

RB Response: As stated above, the driveway on Southfield Road intended for vehicular access limits the ability to meet the requirement. As such, we request a modification by the Village in accordance with Section 22.33.11 - Allowed Flexibility.

e. Parking circulation and driveways. *Given that 87% of the off-street parking is provided via garages, the yard location requirements are met. The Ordinance requires a 10' minimum setback from all property lines for parking spaces, though the plan proposes a minimum setback of approximately 3' from the southerly side lot line. Additionally, driveways are to provide not less than 150' spacing from other driveways, though the plan provides spacing of approximately 62' (center to center) from the existing driveway to the south.*

RB Response: There is one location where a parking space is less than 10' to a setback line. Since the development technically exceeds the minimum parking requirements, this one parking space could be removed. However, we would request a modification due to the fact that this space is essentially next to another parking lot (for the nail salon), and would enable Beverly Square to provide for additional guest parking.

Update: The site has been modified to eliminate the parking space that was less than 10' to the property line, eliminating the need for a deviation for this requirements. The minimum parking spaces required are still exceeded with the current plan.

We also request a modification from the spacing for the entrance driveway. We have located the driveway on Southfield as far as possible from Gould Court. There is very limited traffic on Gould Court (servicing only four single family homes) and we do not believe this will cause any impact due to its proximity to the development entrance.

6. Building requirements. *The plans have been reviewed for compliance with the standards of Section 22.23.8(c), as follows:*



a. Front yard build-to zone. *The Ordinance requires buildings to be within 20' of the front lot line. The building fronting Southfield Road has a maximum setback of 24'; therefore, this standard is not met.*

RB Response: We request a modification as this cannot be accomplished due to the location of the driveways and the need to locate the building outside of the visibility triangle for Gould Court. The building has been located as close as possible to Southfield Road, while still providing the residents living on Gould Court adequate setbacks to exit onto Southfield Road.

b. Minimum building depth. *As previously noted, each building provides the minimum required depth of 30'.*

RB Response: Noted.

c. Side yard setback. *A minimum of 10' is required from non-Primary Streets and other property lines. Each of the proposed buildings meets this standard.*

RB Response: Noted.

d. Rear yard setback. *No rear setback is required.*

RB Response: Noted.

e. Building height. *Each of the proposed buildings provides the minimum 2-story height requirement.*

RB Response: Noted.

f. Minimum residential floor area. *Each of the proposed residential units exceeds the minimum floor area required (800 SF).*

RB Response: Noted.



h. Building design and facades. *The Ordinance includes requirements for articulation, windows, entrances, and building materials; however, no building elevation drawings are included in the submittal.*

The applicant must provide building elevation drawings with sufficient detail/narrative addressing all of the building design requirements.

RB Response: A more detailed building elevation was provided after this comment was received. We are prepared to discuss the merits of the proposed building design and materials. Further, the architect (Bogaerts and Associates) will provide a narrative demonstrating compliance with Ordinance 22.32.C. We would be amenable to alternating three distinct color packages in order to provide additional visual interest to the development if so desired by the Village.

Update: The architect provided a narrative as requested. Note that additional color elevations have been provided as well as a revised matrix that identifies three distinct color and material packages for the project. Each building will be predetermined to alternate these colors and materials to provide for a varied design look to the project, rather than the original proposal of only one beige color package.

7. Signs. *The plan depicts a ground sign adjacent to the driveway along Southfield Road; however, no details are provided. For the applicant's reference, such signs are regulated by Section 22.32.*

RB Response: We will provide sign details during the final site plan stage which will meet the requirements of Section 22.32.

Update: A conceptual development sign is now shown on Sheet L-3.

8. Lighting. *The submittal does not identify any exterior site lighting.*

RB Response: The only pole lighting proposed is along Southfield Road. We will provide porch lighting in the front of the units and rear coach lighting above the garages, which will provide for sufficient pedestrian lighting.



9. Parking. *The Ordinance requires 54 parking spaces for the proposed development, while the plan provides a total of 58 spaces – 48 within garage spaces and 10 surface spaces throughout the development.*

Additionally, the drive aisles and parking space dimensions meet or exceed the dimensional standards of Section 22.08.030.

Lastly, the plan includes the required bicycle parking with space for up to 20 bicycles.

RB Response: Noted.

10. Loading. *As a residential development, we do not believe a dedicated loading zone is necessary. There is ample room around the site for short term delivery vehicles and the plan provides mailbox kiosks, as opposed to individual mailboxes on each unit.*

With that being said, the submittal does include a truck turning plan; however, the plan depicts a large truck crossing over the property line to the south via an existing asphalt ramp. The applicant must obtain an easement allowing this movement; otherwise, we suggest the portion of asphalt on the site be removed and replaced with lawn area.

RB Response: Noted, and the final site plan will meet the Village requirements for truck turning movements.

Update: The plan has been revised to accommodate the required turning radius. Refer to Sheet SP3.

11. Landscaping and Screening. *The submittal includes a conceptual landscape plan and notes that full details will be included with the final plan submittal.*

In total, the plan provides 21 deciduous trees, 4 ornamental trees, 10 evergreen trees, 56 deciduous shrubs and an additional 24 plantings that are not identified.



There are 4' tall decorative fence segments proposed in front of 3 of the 4 units fronting Southfield Road. The conventional fence regulations would limit these to 3' in height, though the site is not within a single-family zoning district.

Additionally, a detail and note are included for a 6' privacy fence, though the specific location and length are not clearly depicted.

RB Response: The 4' tall decorative fences are intended to provide a sense of separation from the traffic along Southfield Road. We would be amenable to 3' tall fences if the Village desires.

Update: The 4' tall decorative fences have been revised to 3', eliminating the need for a deviation for this requirements.

The 6' privacy fence is shown on the plans adjacent to the parking area for the nail salon and is intended as a visual screen.

Update: The new fence locations have been better called out on the landscape plan set. As discussed by the Planning Commission, the plans have been updated to note removal of the existing fence that is in disrepair on the south property line and will be replaced with a new 6' tall fence. Note that the existing walls to the west and north will remain and be refinished. The plan also shows these perimeter areas to be planted with an attractive landscape screen.

12. Additional Consideration. *The plans must be reviewed by the Village Engineer and Fire Marshal. The applicant must address any concerns raised. We also request the applicant identify how refuse/recycling removal will occur.*

RB Response: The refuse and recycling will be accommodated by individual pickup service. Each homeowner will be required to store their individual bins within the garages except for scheduled pickup days.

Robertson has met with the Village Engineer and Fire Marshal and we have discussed the following items:

Engineering:



Calculations identifying that the 8" sanitary sewer line will support the development is required. This will be provided with the final site plan and we do not believe that this will be a problem.

Storm water detention is required. As stated above, Robertson will provide for an underground storm detention system with the final site plan to meet all Village and County requirements.

Update: The preliminary engineering plans have been revised to include underground detention that meets the Village's requirements for 100 year event storage.

Fire:

A 44' truck turning radius is required in lieu of the provided 40' radius. This will only slightly alter the development plan and will be shown on the final site plan submittal.

Update: The plan has been revised to accommodate the required turning radius. Refer to Sheet SP3.

An 8' outrigger must be accommodated on the drive aisles. This requirement can be met within the drive aisles as proposed.

The connection to the Beverly Hills Club is not necessary for fire access. This will be removed from the final site plan.

Update: The vehicular connection has been removed from the plans. However, per direction from the Planning Commission, a pedestrian connection has been added to the plans for interconnectivity.

A fire hydrant is required at the western end of the development. This will be added to the final site plan.

Update: The fire hydrant has been added to the plans per the requirement.



Please let me know if any additional information is required at this time.

Thank you.

Respectfully,

A handwritten signature in blue ink, appearing to be 'Tim Loughrin'.

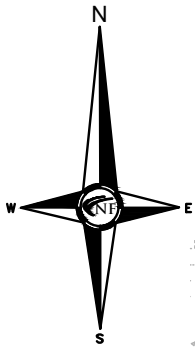
Tim Loughrin | Director of Land Acquisition

Robertson Brothers Homes

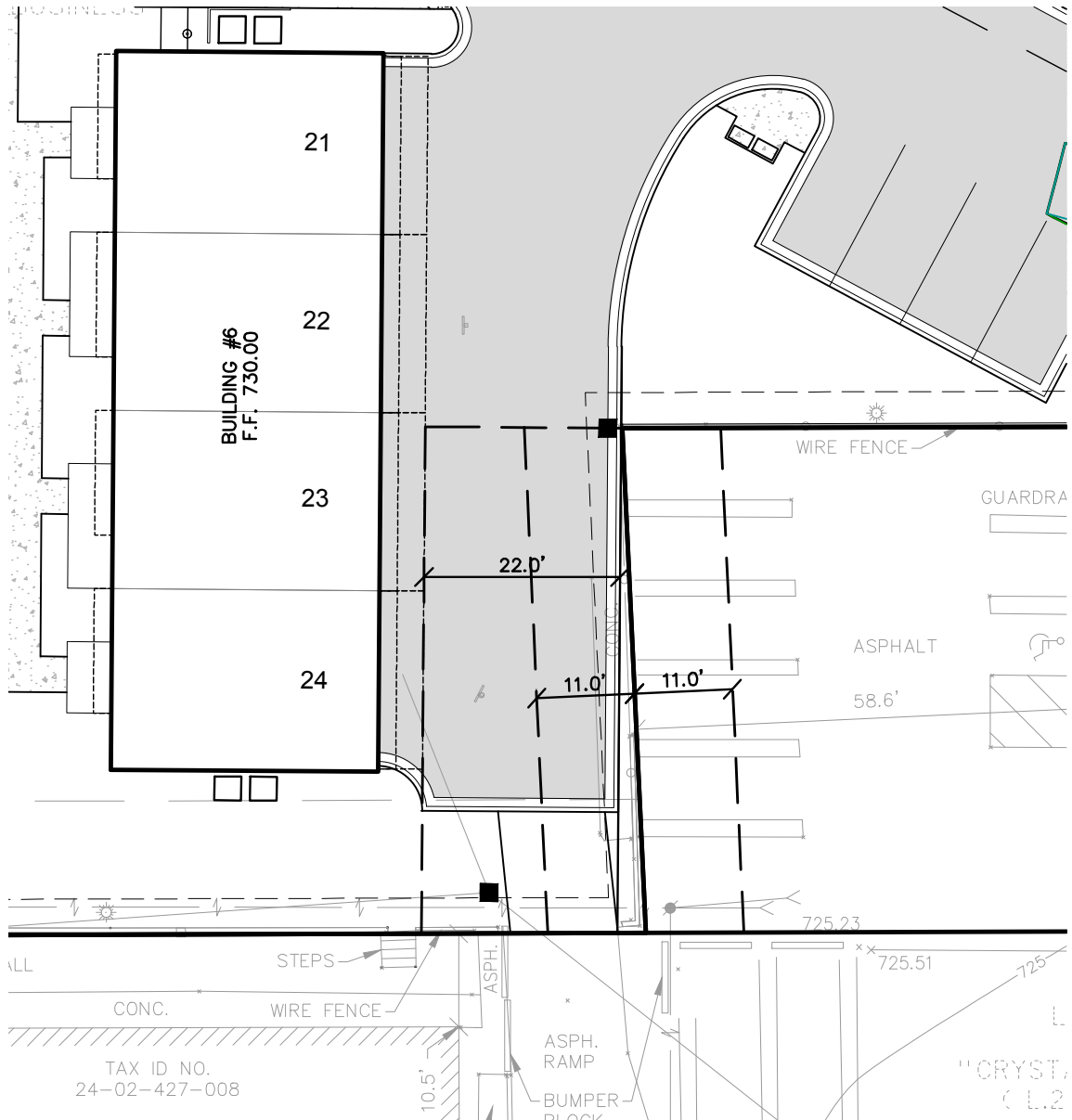
6905 Telegraph Rd, Suite 200, Bloomfield Hills, MI 48301

Direct Dial: 248.282.1428 | Mobile: 248.752.7402

tloughrin@robertsonhomes.com



E A
P E



ENGINEERS

NOWAK & FRAUS ENGINEERS

46777 WOODWARD AVE.

PONTIAC, MI 48342-5032

TEL. (248) 332-7931

FAX. (248) 332-8257

WWW.NOWAKFRAUS.COM

PREPARED FOR:

ROBERTSTON BROS.

SCALE

1" = 20'

DATE

08-15-19

DRAWN

RJJ

JOB NO.

H831-03

SHEET

1 of 1



ALEXANDER V. BOGAERTS & ASSOCIATES, P.C.

Architecture

Planning

Interior Design

2445 Franklin Rd.
Bloomfield Hills, MI 48302
248/ 334-5000
fax: 248/ 334-0092

August 26, 2019,

City of Beverly Hills

Village Center Plan – Architectural Design Narrative for Beverly Square

Beverly Square Townhomes architectural design is traditional in nature with the goal of being harmonious with the architectural character of Beverly Hills. The design is pedestrian oriented with emphasis on walk ability while deemphasizing motor vehicles. The garages were specifically located on the rear of the building and the primary unit entry doors are located on either a street front elevation or greenspace.

All of the unit primary first floor entry doors are individually detailed with covered entry porches. The entry porches have a mixture of shed, hip or gable roofs with accent shake siding in the gables and decorative columns; the columns are a mixture of full height columns, or half columns that sit on brick piers with stone caps. Our front porches exceed the minimum ordinance 6' width requirements; they are 8' and 14' wide. The design goal for all this detailing was to put a strong emphasis on the unit entry door.

We have a mix of 2 and 3 bedroom unit options with 2 car attached garages; all of the units have state of the art floor plan designs and high quality finishes. Our units exceed the minimum ordinance 2 bedroom floor area requirements of 800 sq ft; our 2 and 3 bedroom units are +/- 1500 sq ft.

The façade massing is broken up with a series of large two story projected cantilevered elements with gable and hip roof detailing and decorative brackets at the bottom of projections. The gable details of these two story projected elements vary with full roof returns or open gables with different gable venting details, and a mixture of horizontal and shake siding. The projected cantilevered elements create shadow lines, relief, and architectural interest emphasizing a strong architectural rhythm across the façade.

The window detailing for the project is a mix of traditional double hung windows in groupings of two or three windows, or stand-alone windows; all of the windows have mullions in the upper sections and are taller than they are wide. The window detailing creates an established rhythm across the building's façade. Header detailing at the windows will be soldier course in the brick areas and decorative trim boards with drip edges at the horizontal siding and shake siding areas; all of the windows in siding areas will have trim surrounds.

The three story townhomes facades have a mix of various traditional materials. Brick is located at the majority of the first floors and extends up into the second floors in partial locations; maintenance free horizontal siding with accents of shake siding make up the balance of the facade material detailing. In areas that aren't brick, the shake siding is strategically located

throughout the façade to break up areas of the horizontal siding to create additional design interest rather than just having large fields of horizontal siding. The horizontal and shake siding used on the project will be a very attractive durable maintenance free vinyl siding. Today's vinyl siding products are so realistic it is very difficult to tell them apart from painted or stained wood. Another important factor to consider with today's vinyl sidings is that they do not need to be repainted as wood products or cement-based products must be every several years. All of the roofs will be asphalt shingles, and we exceed the minimum ordinance 4/12 roof pitch, our roof pitches are 6/12 & 12/12.

Color selections for the project will reinforce the variety of architectural detailing; from the first floor entry doors with their covered entry porches, to the two story projected elements on decorative brackets, to the variety of window detailing. All of these design elements will work in harmony to create a variety of interest and strong design rhythms across the building's façade.

We believe the attention to detail in the architectural design of Beverly Square meets the spirit and intent of the Village Center Overlay district design goals, and will be a wonderful addition to the community.

Sincerely

Mark Abanatha

Mark Abanatha
Architect

Cedar & Oak Exterior Elevation



RB

ROBERTSON
BROTHERS
HOMES

www.RobertsonHomes.com

All information herein was accurate at the time of publication. We reserve the right to make changes in price, specification, or materials, or to change or discontinue models without notice or obligation.



Cedar & Oak Exterior Elevation



RB

ROBERTSON
BROTHERS
HOMES

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Cedar & Oak Exterior Elevation



www.RobertsonHomes.com

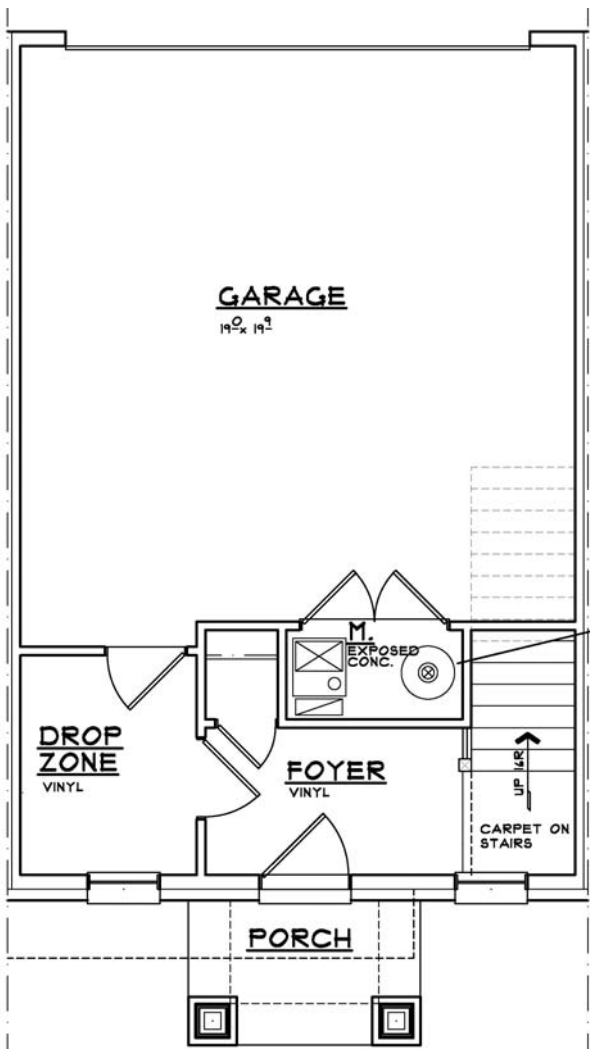
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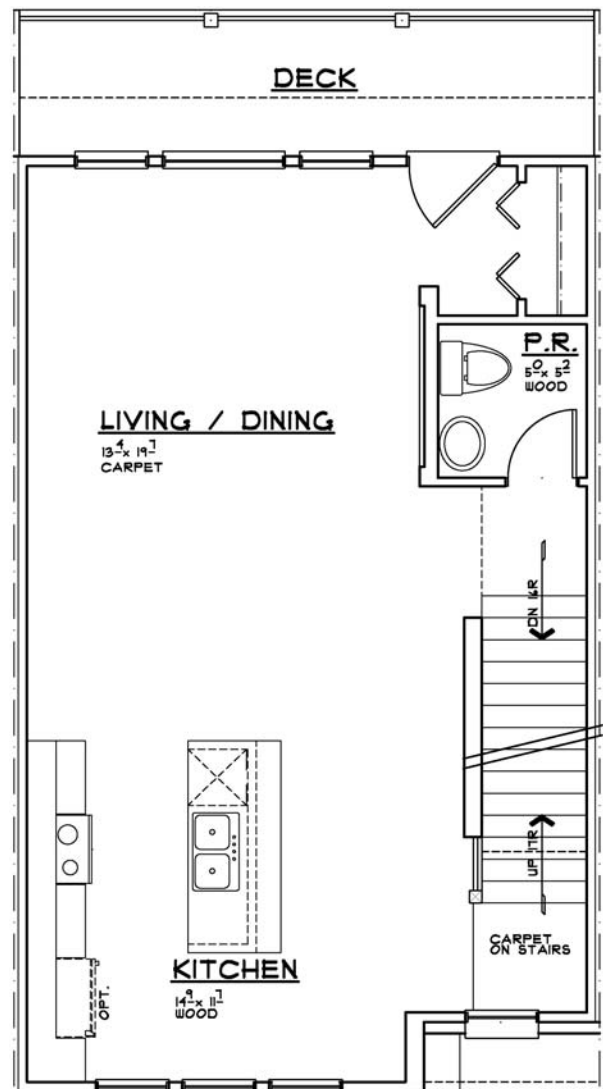
Cedar & Oak

1,500 sqft.

Entry Level

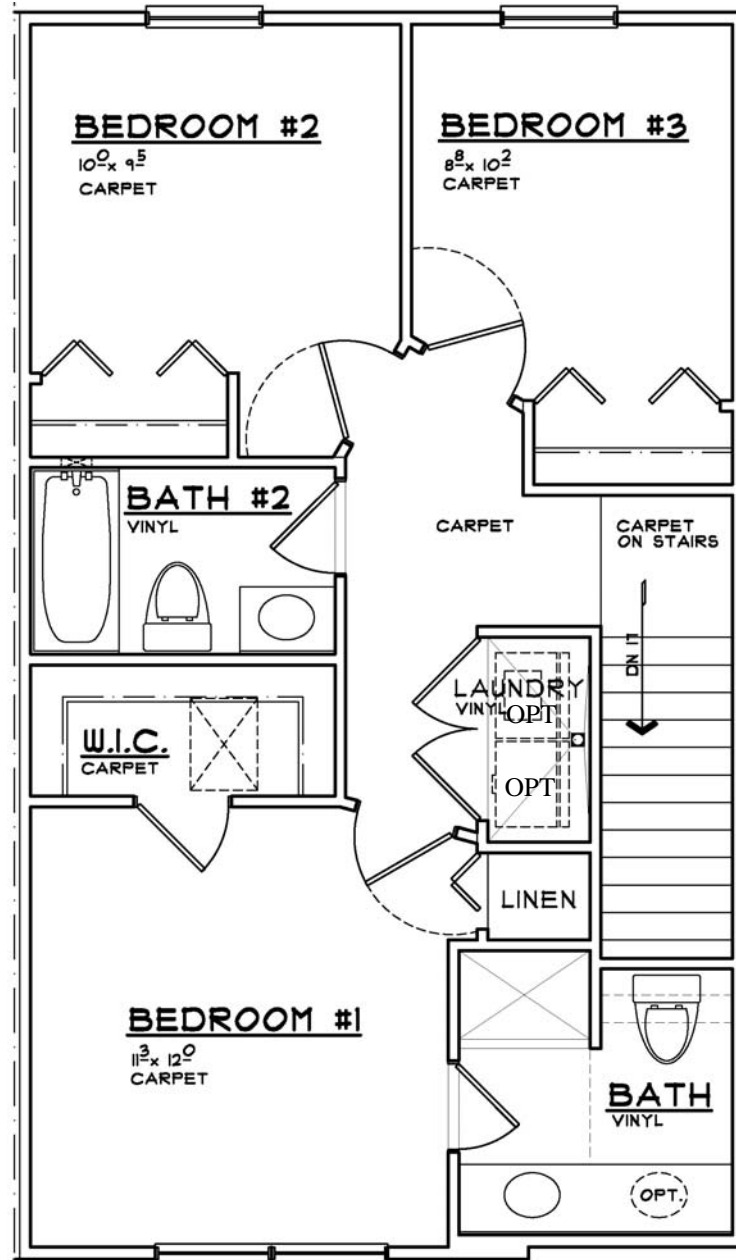


Main Level



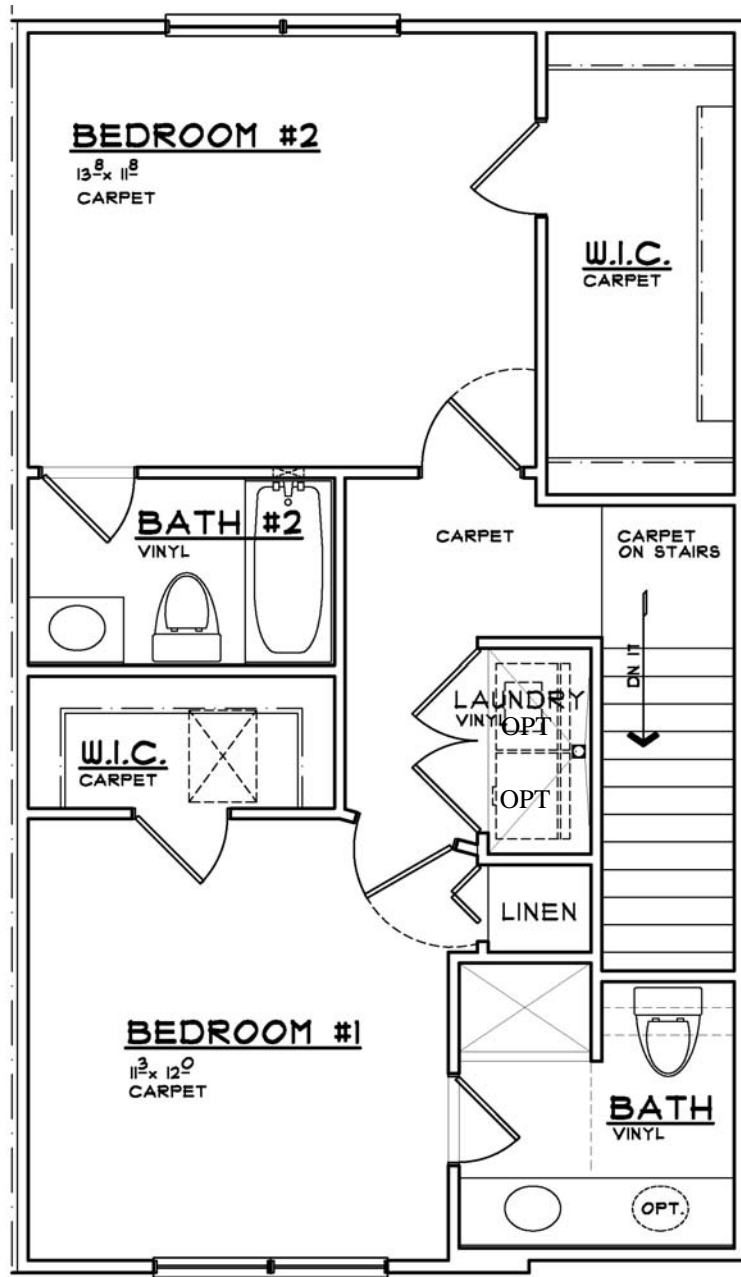
The Oak

Bedroom Level



The Cedar

Bedroom Level



Exterior Packages - Proposed Beverly Square

	<i>Siding - Horizontal</i>	<i>Siding - Shake (varies per elevation)</i>	<i>Roof (tamko or equal)</i>	<i>Brick - Queen Size</i>	<i>Trim and corners</i>	<i>Garage Door</i>	<i>Front Door</i>
<i>Package 1</i>	Seagrass (Certainteed or equal)	Desert Tan (Certainteed or equal)	Weathered Wood	Brownstone	White	White	Turkish Coffee - SW6076
<i>Package 2</i>	Country Beige (Crane or equal)	Clay (Crane or equal)	Weathered Wood	Grey Ash	White	White	French Roast - SW6069
<i>Package 3</i>	Flagstone (Certainteed or equal)	Sterling Gray (Certainteed or equal)	Rustic Slate	Petoskey	White	White	Turkish Coffee - SW6076





Desert Tan

SW 6076
Turkish Coffee
Interior / Exterior
Locator Number: 277-C3



Package 1



SW 6069
French Roast
Interior / Exterior
Locator Number: 196-C7



Package 2



Sterling Gray

Flagstone

SW 6076
Turkish Coffee
Interior / Exterior
Locator Number: 277-C3



Package 3



Beverly Square

Village of Beverly Hills, Michigan

October 2019

Owner / Developer
ROBERTSON BROTHERS CO.
6905 TELEGRAPH ROAD
SUITE 200
BLOOMFIELD HILLS, MI 48301
CONTACT:
MR. TIM LOUGHRIN
PH: 248-282-1428
FAX: 248-282-1423

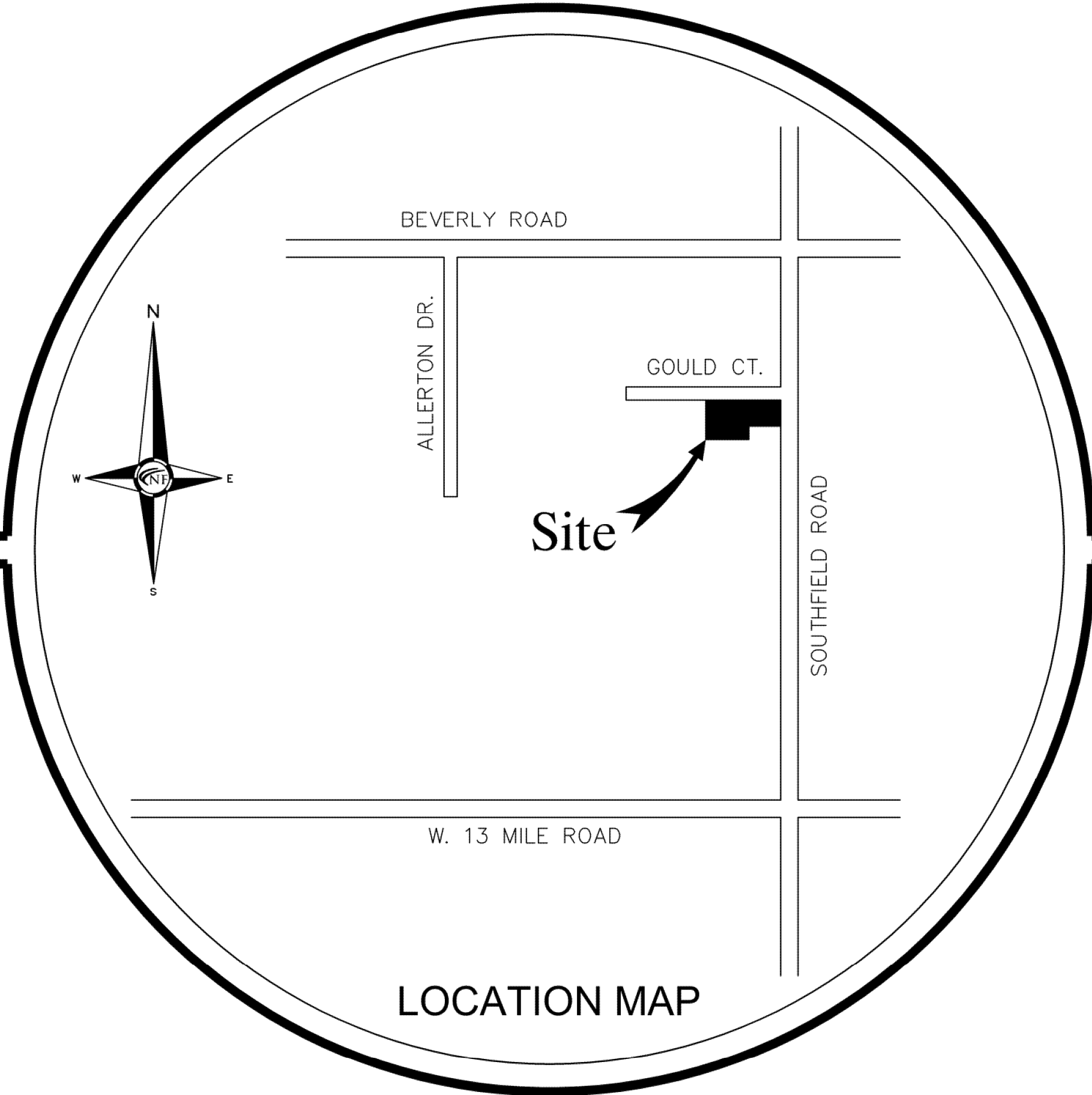
Civil Engineer
NOWAK & FRAUS ENGINEERS
46777 WOODWARD AVENUE
PONTIAC, MI 48342
CONTACT:
MR. BRAD W. BRICKEL, P.E.
248-332-7931 PHONE
248-332-8257 FAX

Architect
ALEXANDER V. BOGAERS + ASSOCIATES, P.C.
2445 FRANKLIN ROAD
BLOOMFIELD HILLS, MI 48302
CONTACT:
248.334.5000 PHONE

Landscape Architect
LAND DESIGN STUDIO
18161 W. THIRTEEN MILE RD., SUITE B-4
SOUTHFIELD, MI 48076
CONTACT:
MR. TAD KREAR
248.594.3220 PHONE
248.230.4168 FAX

City of Beverly Hills,
Oakland County, Michigan
PRELIMINARY SITE PLAN PACKAGE DOCUMENTS
Prepared For
Robertson Brothers Co.

PART OF THE - OF SECTION SE $\frac{1}{4}$ of Section 2,
T.1N., R.10E., CITY OF Beverly Hills,
OAKLAND COUNTY, MICHIGAN



Project Name

Beverly Square
31655 Southfield Road
Beverly Hills, MI 48025



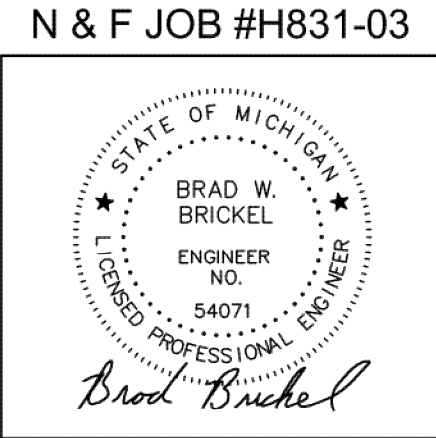
SHEET INDEX	
SP0	Cover Sheet
SP1	Boundary / Topographic / Tree Survey
SP2	Engineering Site Plan
SP3	Truck Turning Plan
L1	Overall Landscape Plan
L2	Public Open Space Calculation Plan
L3	Southfield Frontage Enlargement and Details
L4	Details & Notes

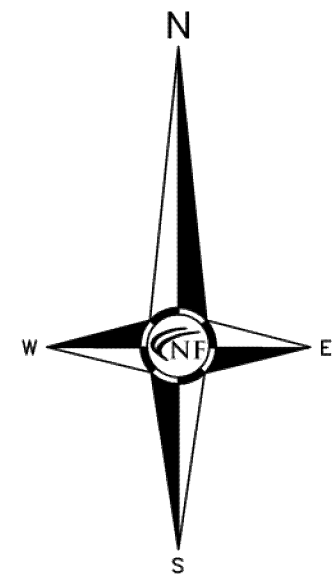
REVISIONS:	
02-26-19	ISSUED FOR SITE PLAN REVIEW
06-20-19	ISSUED FOR SITE PLAN REVIEW
10-04-19	REVISED PER SITE PLAN REVIEW



CIVIL ENGINEERS
LAND SURVEYORS
LAND PLANNERS

NOWAK & FRAUS ENGINEERS
46777 WOODWARD AVE.
PONTIAC, MI 48342-5032
TEL. (248) 332-7931
FAX. (248) 332-8257
WWW.NOWAKFRAUS.COM





MISS DIG / UTILITY DISCLAIMER NOTE

A MISS DIG TICKET NUMBER A082640697, PURSUANT TO MICHIGAN PUBLIC ACT 174 WAS ENTERED FOR THE SURVEYED PROPERTY. DUE TO THE EXTENDED REPORTING PERIOD FOR UNDERGROUND FACILITY OWNERS TO PROVIDE THEIR RECORDS, THE SURVEY MAY NOT REFLECT ALL THE UTILITIES AT THE TIME THE SURVEY WAS ISSUED ON SEPTEMBER 26, 2018. THE SURVEY ONLY REFLECTS THOSE UTILITIES WHICH COULD BE OBSERVED BY THE SURVEYOR IN THE FIELD OR AS DEPICTED BY THE UTILITY COMPANY RECORDS FURNISH PRIOR TO THE DATE THIS SURVEY WAS ISSUED. THE CLIENT AND/OR THEIR AUTHORIZED AGENT SHALL VERIFY WITH THE FACILITY OWNERS AND/OR THEIR AUTHORIZED AGENTS, THE COMPLETENESS AND EXACTNESS OF THE UTILITIES LOCATION.

DTE DISCLAIMER NOTE

PLEASE NOTE THAT DTE HAS NEW REGULATIONS THAT MAY IMPACT DEVELOPMENT OUTSIDE THEIR EASEMENT OR THE PUBLIC RIGHT OF WAY. CLIENT SHALL CONTACT DTE TO DETERMINE THE "NEW STRUCTURES AND POWER LINE" REQUIREMENTS AS THEY MAY APPLY TO ANY FUTURE BUILDING OR RENOVATION OF A STRUCTURE. DTE ENERGY CAN BE CONTACTED AT 800-477-4747

ALTA SURVEY NOTES

THERE IS NO VISIBLE EVIDENCE OF CURRENT EARTH MOVING WORK, BUILDING CONSTRUCTION OR BUILDING ADDITIONS.

THERE IS NO PROPOSED CHANGES IN STREET RIGHT OF WAY LINES AND THERE IS NO EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIR.

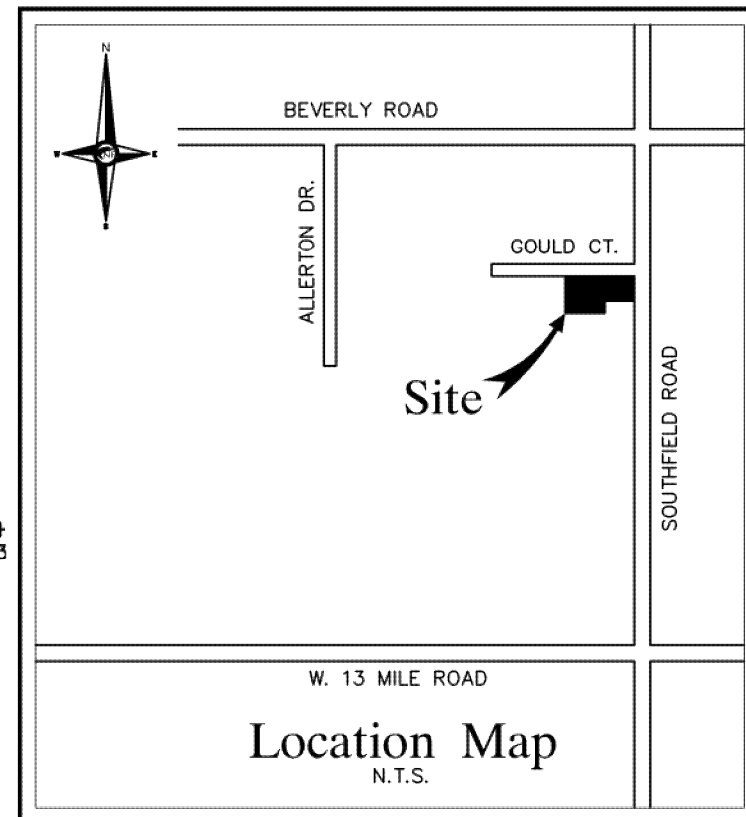
THERE IS NO VISIBLE EVIDENCE OF SITE USE AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL.

THERE IS NO VISIBLE EVIDENCE OF ANY REGULATED WETLAND AREAS ON SUBJECT PROPERTY.

THIS PROPERTY HAS DIRECT ACCESS TO SOUTHFIELD ROAD, BEING A PUBLICLY DEDICATED RIGHT-OF-WAY.

LEGAL DESCRIPTION - PER TITLE COMMITMENT

LOT 6, EXCEPT THEREFROM THE EAST 200 FEET OF THE SOUTH 56.66 FEET AND ALL OF OUT LOT A, OF SUPERVISOR'S PLAT OF GOULD COURT, ACCORDING TO THE PLAT THEREOF AS RECORDED IN LIBER 65 OF PLATS, PAGE 11, OAKLAND COUNTY RECORDS.



NOWAK & FRAUS ENGINEERS

CIVIL ENGINEERS
LAND SURVEYORS
LAND PLANNERS

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46777 WOODWARD AVE.
PONTIAC, MI 48342-5032
TEL. (248) 332-7931
FAX. (248) 332-8257
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SEAL

PROJECT

Beverly Square
31655 Southfield Road
Beverly Hills, MI 48025

CLIENT

Robertson Brothers Homes
6905 Telegraph Road,
Suite 200
Bloomfield Hills, MI 48301

Contact: Tim Loughrin
248.282.1432 - Phone

PROJECT LOCATION

Part of the Southeast 1/4
of Section 2
T. 1 North, R. 10 East
Village of Beverly Hills,
Oakland County, Michigan

SHEET

Boundary / Topographic /
Tree Survey



DATE ISSUED/REVISED

02-26-19 ISSUED FOR SITE PLAN REVIEW
06-20-19 ISSUED FOR SITE PLAN REVIEW
10-04-19 REVISED PER SITE PLAN REVIEW

DRAWN BY:
M. Carnaghi

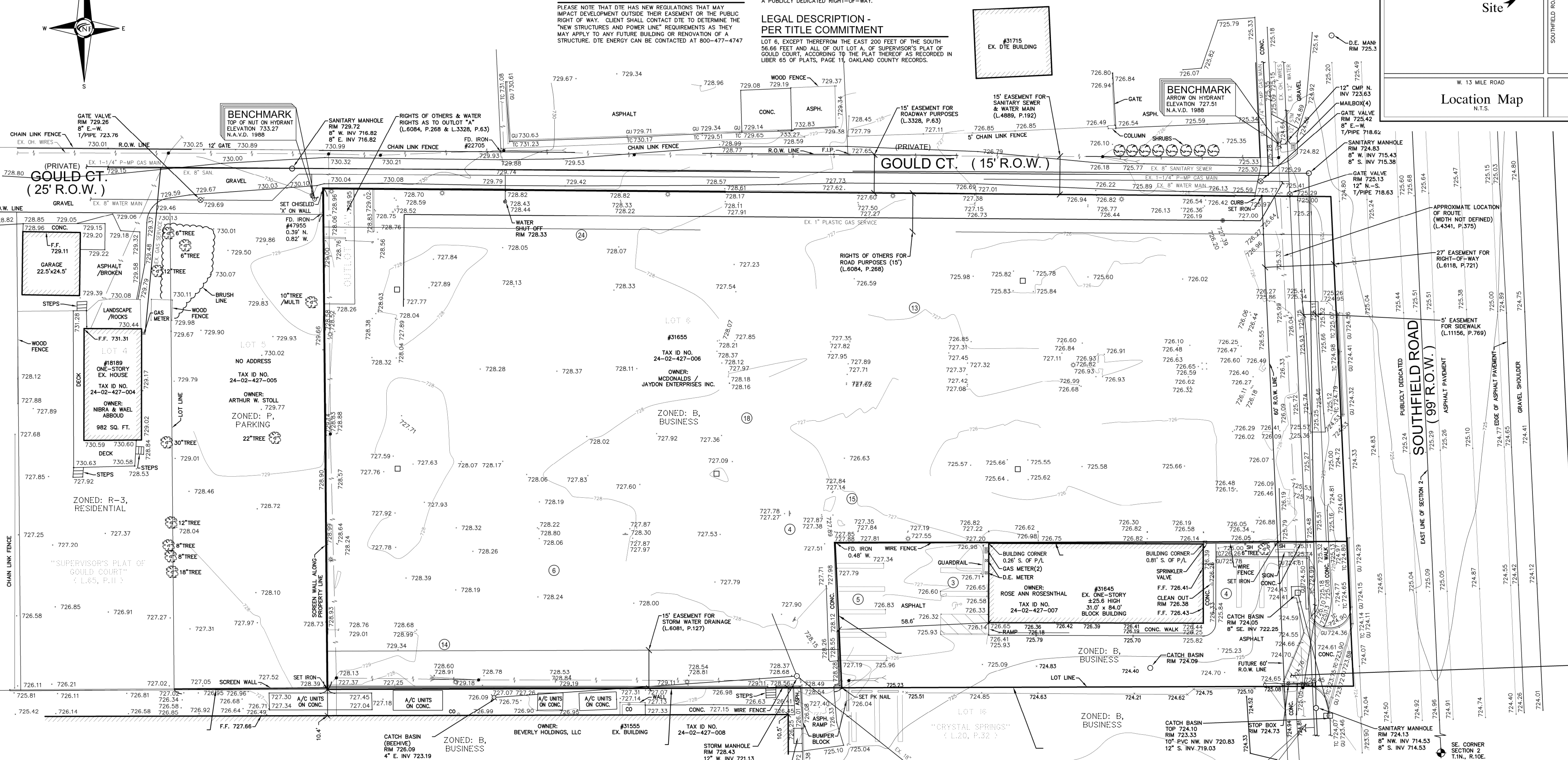
DESIGNED BY:
B. Brickel

APPROVED BY:
B. Brickel

DATE:
February 12, 2019

SCALE: 1" = 20'

NFE JOB NO. SHEET NO.
H831-03 SP1



TITLE NOTES

- Any facts, rights, interests, or claims that are not shown by the Public Records but that could be ascertained by making inquiry of persons in possession of the Land.
- Easements, liens or encumbrances, or claims thereof, not shown by the Public Records.
- Existing water rights in well located on subject property as disclosed by instrument recorded in Liber 3328, Page 63. [SAID EASEMENT IS PLOTTED HEREON].
- Joint R/W in favor of The Detroit Edison Company and the Covenants, Conditions and Restrictions contained in instrument recorded in Liber 4341, Page 375. Subordination of Mortgage Lien as disclosed by instrument recorded in Liber 4359, Page 114. [Liber 4341, Page 375. APPROXIMATE LOCATION OF ROUTE OF LINE FACILITIES IS PLOTTED HEREON. NO WIDTH DESCRIBED. Liber 4359, Page 114. NOT A PLOTTABLE EXCEPTION].
- U.G.L. Permit in favor of The Detroit Edison Company and the Covenants, Conditions and Restrictions contained in instrument recorded in Liber 4440, Page 327. Subordination of Mortgage Lien as disclosed by instrument recorded in Liber 4454, Page 74. [SAID ROUTE IS NOT ON OR ADJACENT TO PARCEL NO. 24-02-427-006].
- Terms and Conditions contained in Easement Agreement as disclosed by instrument recorded in Liber 4889, Page 192. [SAID EASEMENT IS PLOTTED HEREON].
- Covenants, conditions and restrictions and other provisions but omitting restrictions, if any, based on race, color, religion, sex, handicap, familial status or national origin as contained in instrument recorded in Liber 5200, Page 701. [NOT A PLOTTABLE EXCEPTION].
- Terms and Conditions contained in Easement Agreement as disclosed by instrument recorded in Liber 6081, Page 127. [SAID EASEMENT IS PLOTTED HEREON].
- Terms and Conditions contained in Easement Agreement as disclosed by instrument recorded in Liber 6118, Page 721. [SAID EASEMENT IS PLOTTED HEREON].
- Easement for Sidewalk in favor of The Village of Beverly Hills and the Covenants, Conditions and Restrictions contained in instrument recorded in Liber 11156, Page 769. [SAID EASEMENT IS PLOTTED HEREON].

All exceptions shown or noted on this survey were obtained from Title Commitment No. 825105, with an effective date of August 17, 2018, issued by First American Title Insurance Company.

FLOOD HAZARD NOTE

The Property described on this survey does not lie within a Special Flood Hazard Area as defined by the Federal Emergency Management Agency, the property lies within Zone X of the Flood Insurance Rate Map identified as Map No. 26125C0538P bearing an effective date of 09/29/2006.

CEMETERY NOTE

There was no observable evidence of cemeteries or burial grounds within the subject property.

UTILITY NOTE

All utilities are underground unless otherwise noted. The utilities shown on this survey were determined by field observation. All locations are approximate. The location of any other underground services which may exist can only be depicted if a Utility Plan is furnished to the surveyor.

BASIS OF BEARING NOTE

All Bearings are in relation to the previously established East line of Section 2, Town 1 North, Range 10 East of "Superior's Plot of Gould Court" as recorded in Liber 65 of Plats, Page 11, Oakland County Records. (S.0110°00'W.)

SURVEYOR'S CERTIFICATION

To:

- Robertson Brothers, Co., a Michigan corporation, or its/their nominee or assignee
- Vestcor II, LLC
- First American Title Insurance Company

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2016 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes items 1, 2, 3, 4, 6(a), 6(b), 7(a), 7(b), 7(c), 8, 9, 11, 13, 14, 16, 17, 18 and 20 of Table A thereof.

The field work was completed on 9-24-2018.

Kevin Navaroli

Kevin Navaroli, P.S.
No. 53503
Dated: 9-26-2018
Revised: 10-29-2018



TOPOGRAPHIC SURVEY NOTES

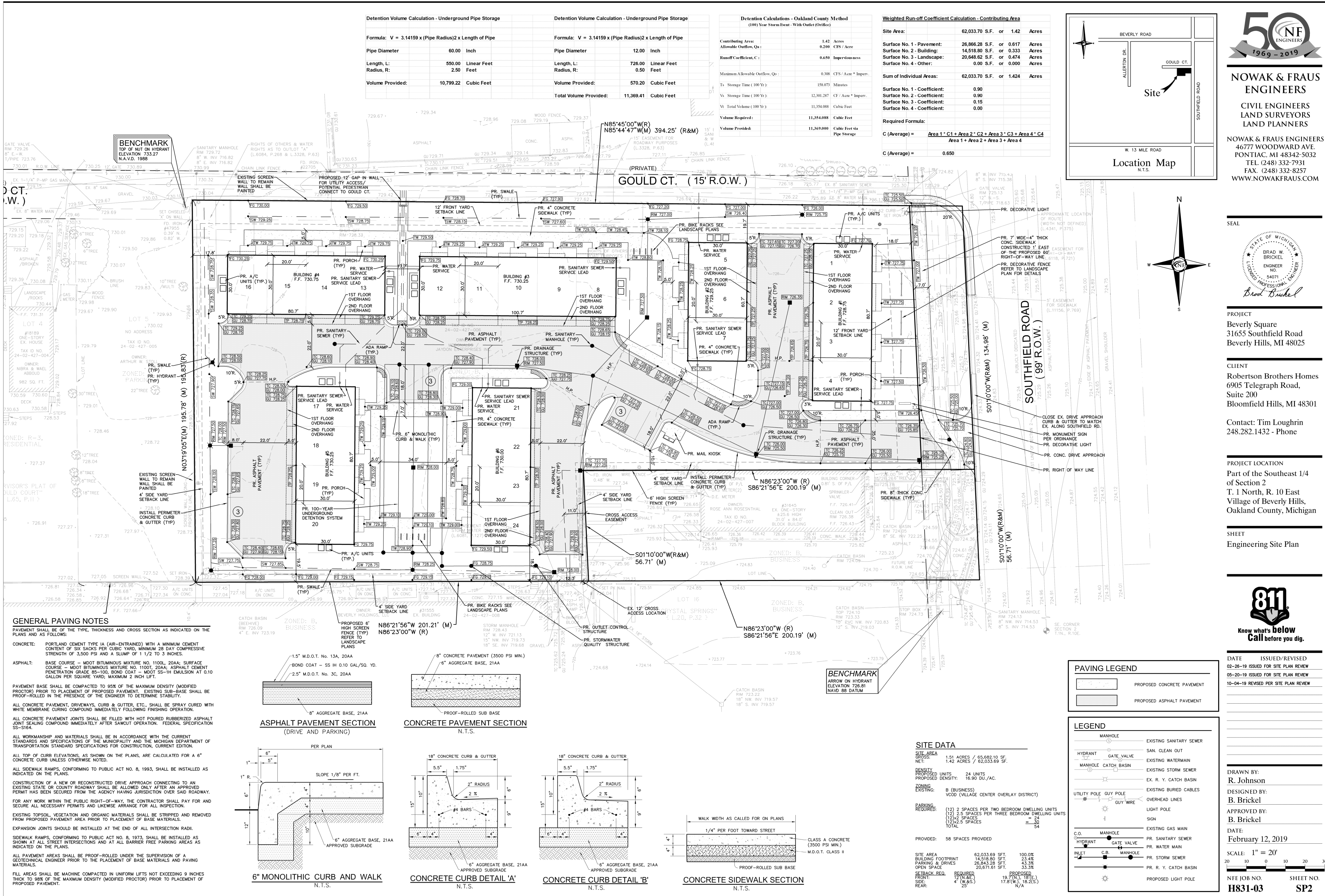
ALL ELEVATIONS ARE EXISTING ELEVATIONS, UNLESS OTHERWISE NOTED.

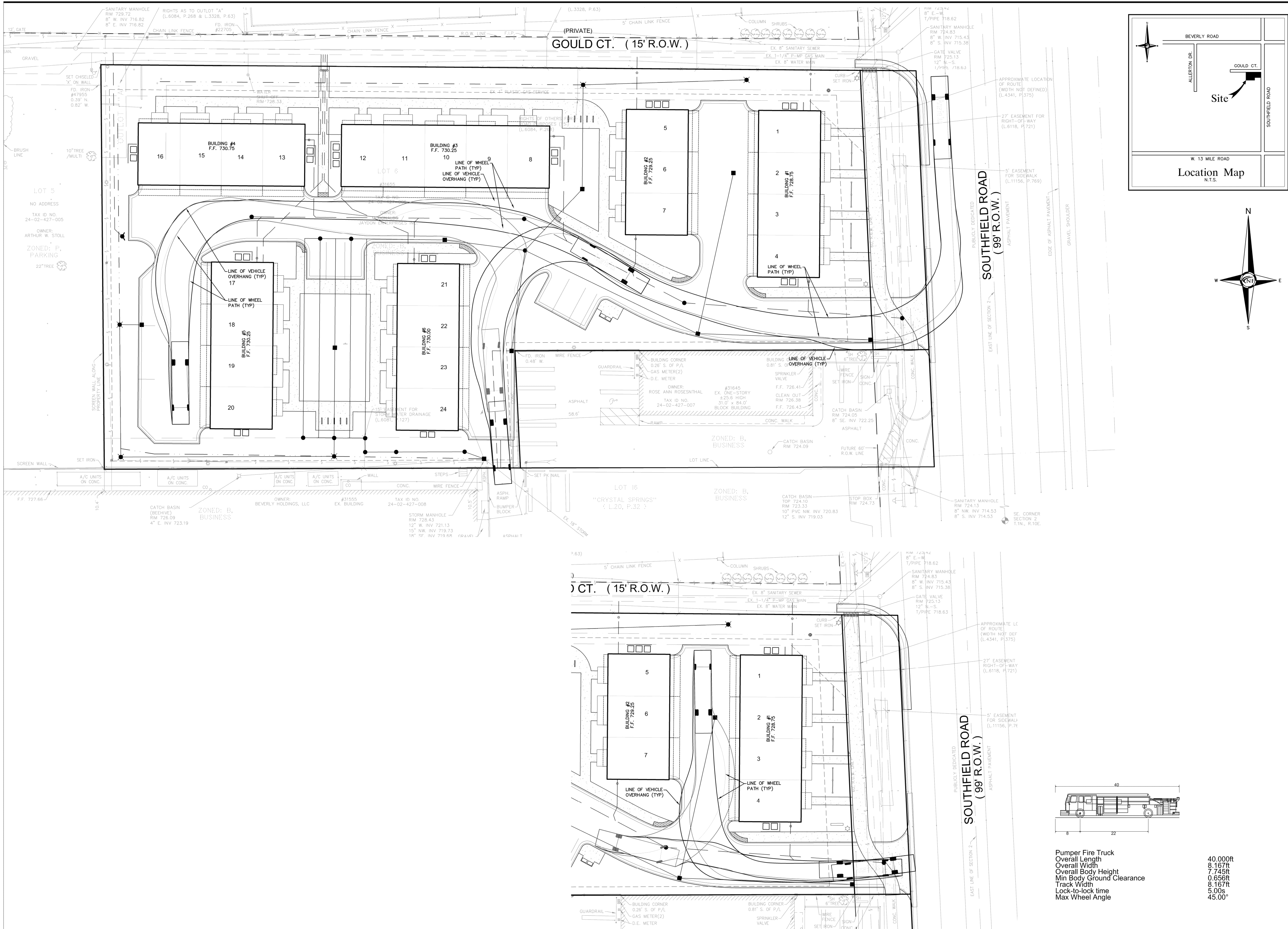
UTILITY LOCATIONS WERE OBTAINED FROM MUNICIPAL OFFICIALS AND RECORDS OF UTILITY COMPANIES, AND NO GUARANTEE CAN BE MADE TO THE COMPLETENESS, OR EXACTNESS OF LOCATION.

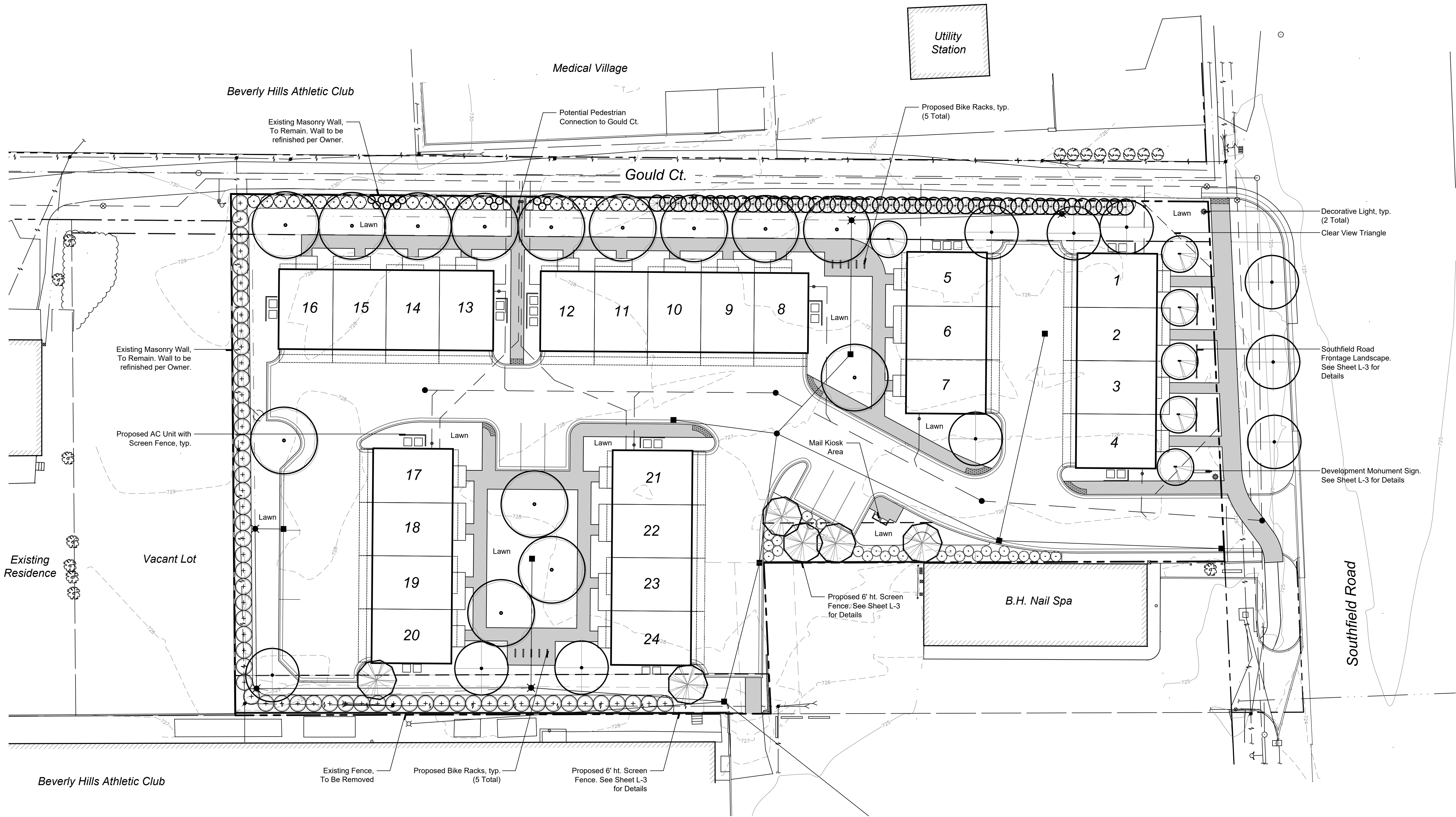
THIS SURVEY MAY NOT SHOW ALL EASEMENTS OF RECORD UNLESS AN UPDATED TITLE POLICY IS FURNISHED TO THE SURVEYOR BY THE OWNER.

LEGEND

MANHOLE	EXISTING SANITARY SEWER
HYDRANT	EXISTING SAN. CLEAN OUT
GATE VALVE	EXISTING WATER MAIN
MANHOLE	EXISTING STORM SEWER
CATCH BASIN	EX. R.Y. CATCH BASIN
UTILITY POLE	EXISTING BURIED CABLES
GUY POLE	OVERHEAD LINES
GUY WIRE	LIGHT POLE
SIGN	EXISTING GAS MAIN







■ sheet title:

Overall Landscape Plan

■ project title:

Beverly Square

Village of Beverly Hills, MI

■ prepared for:

Robertson Brother Homes
6905 Telegraph Rd. - Suite 200
Bloomfield Hills, MI 48301

Phone: 248.644.3460

■ job number:

15022

■ date:

05.17.2019

■ drawn by:

EMJ

■ checked by:

WTK

■ revisions:

09.26.2019 Per Municipal Review



Know what's below.
Call before you dig.



sheet no.

L-1

Landscape Summary

Parking Lot Landscape

Parking Area: 1,649.85 SF (Parking Spaces)
Required: 1 Tree / 2,000 SF of Parking Area (Min. 2 Trees)
Required: 2 Trees
Provided: 2 Trees

Street Trees

Required: 1 Tree / 30 LF of Frontage
Southfield Rd.:
Length of Frontage: 135.27 LF
Required: 5 Trees
Provided: 5 Trees (3 Canopy & 4 Ornamental)
Gould Ct.:
Length of Frontage: 367.21 LF
Required: 13 Trees
Provided: 13 Trees (12 Canopy & 2 Ornamental)
*2 Ornamental trees = 1 Required Canopy

Bike Racks

Total Rooms: 60 Rooms
- 2 Room Units: 12 (24 Total)
- 3 Room Units: 12 (36 Total)
Required: 1 Rack / 3 Rooms
Required: 10 Spaces
Provided: 10 Spaces
*2 Bike Parking Spaces per Rack

Buffer Strip Requirements

Required: 15' width Buffer
1 Tree / 30 LF of Buffer
4 Shrubs / 30 LF of Buffer
Adjacent to B.H. Nail Spa
Length of Buffer: 173.16 LF
Required: 15' width Buffer
6 Trees
24 Shrubs
Provided: 10' minimum width Buffer
4 Trees
27 Shrubs
Adjacent to Beverly Hills Athletic Club
Length of Buffer: 201.01 LF
Required: 15' width Buffer
7 Trees
27 Shrubs
Provided: 15' width Buffer
5 Trees
28 Shrubs

General Notes

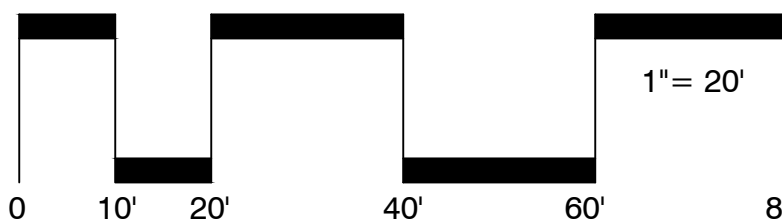
This Landscape Plan is Conceptual and further details, calculations, and enlargements shall be determined and included for Final Site Plan Approval.

Plant Diversity Calculations shall be provided for Final Site Plan Approval.

Details for the Decorative Lights shall be provided for Final Site Plan Approval (2 Total).

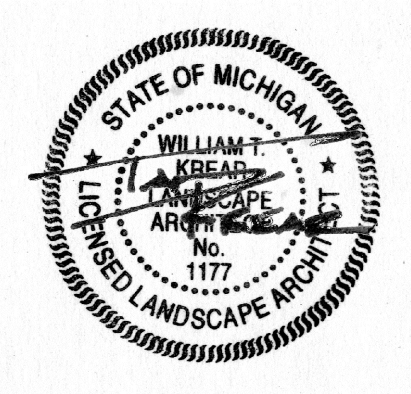
Legend

- = Proposed Deciduous Canopy Tree
- = Proposed Deciduous Columnar Tree
- = Proposed Evergreen Tree
- = Proposed Ornamental Tree
- = Proposed Deciduous Shrub
- = Proposed Ornamental Grass or Large Perennial



LEGEND

= Area Used in Public Open Space Calculations



■ sheet title:

Public Open Space
Calculation Plan

■ project title:

Beverly Square

Village of Beverly Hills, MI

■ prepared for:

Robertson Brother Homes
6905 Telegraph Rd. - Suite 200
Bloomfield Hills, MI 48301

Phone: 248.644.3460

■ job number: ■ date:

15022 05.17.2019

■ drawn by: ■ checked by:

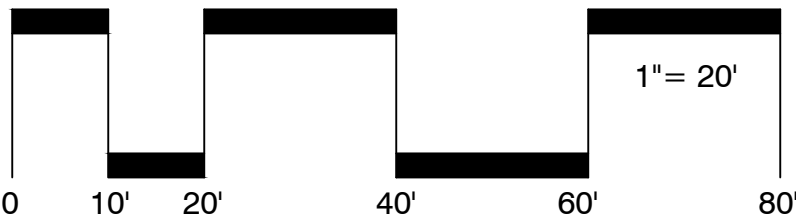
EMJ WTK

■ revisions:

09.26.2019 Per Municipal Review

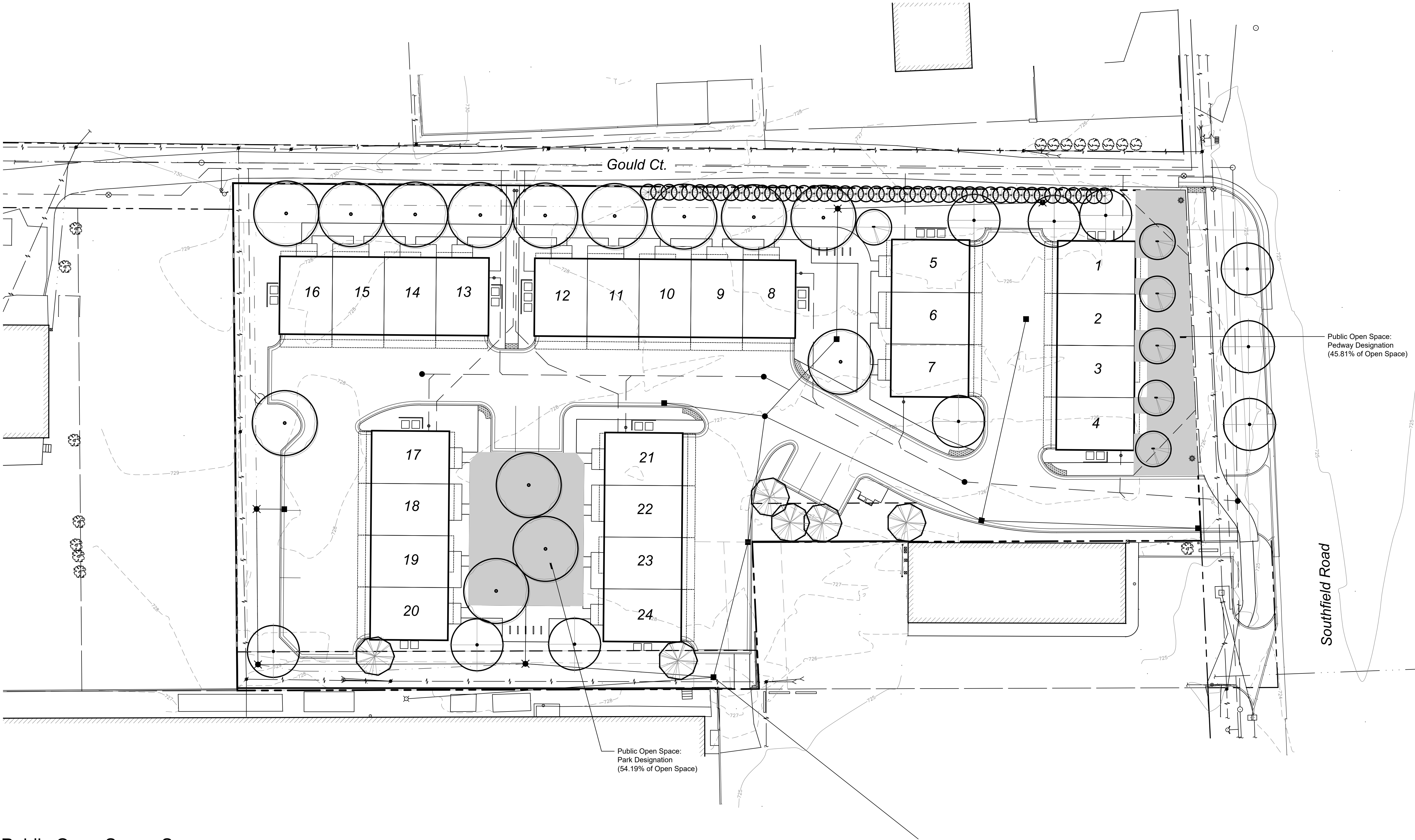


Know what's below.
Call before you dig.



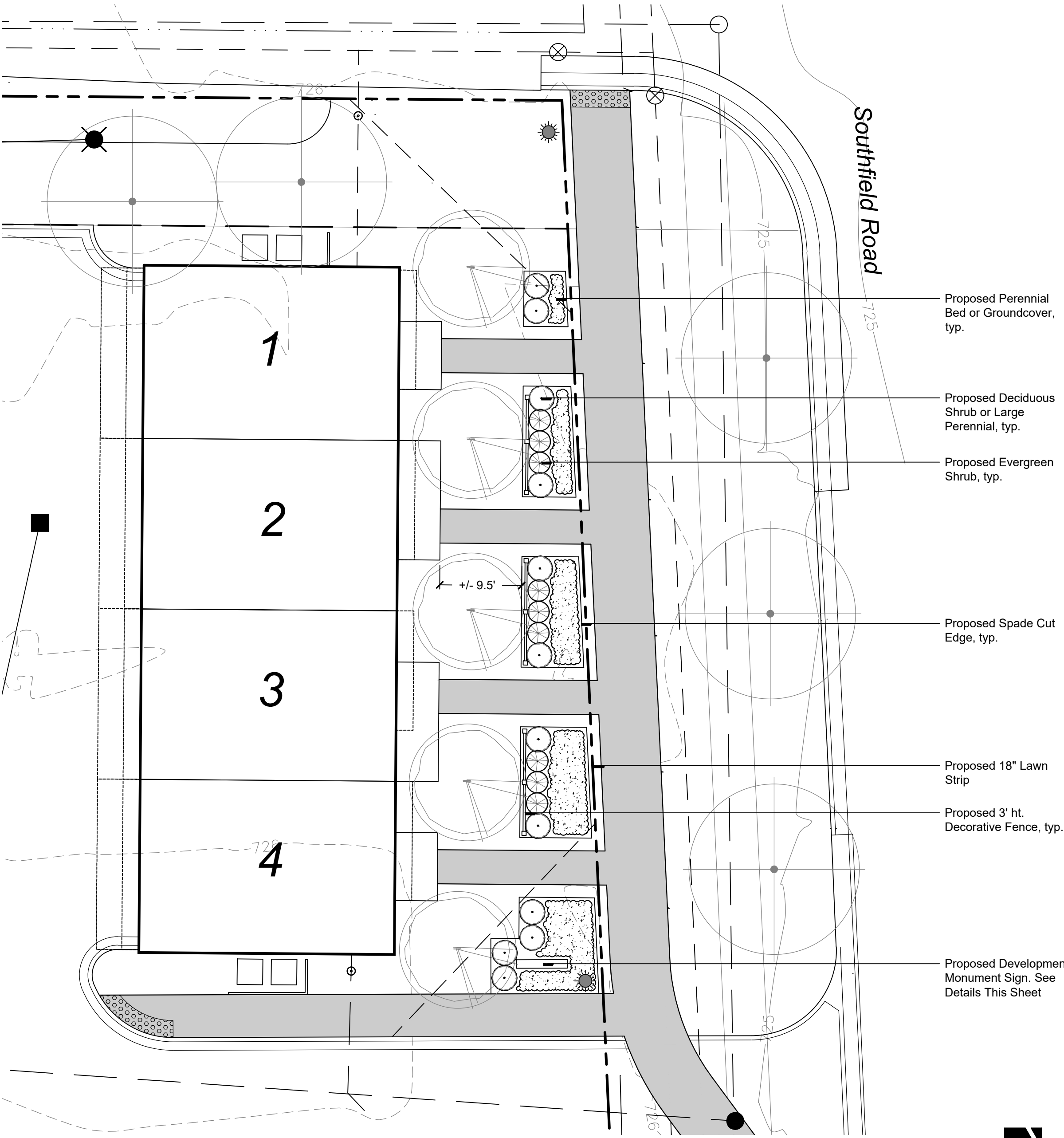
sheet no.

L-2

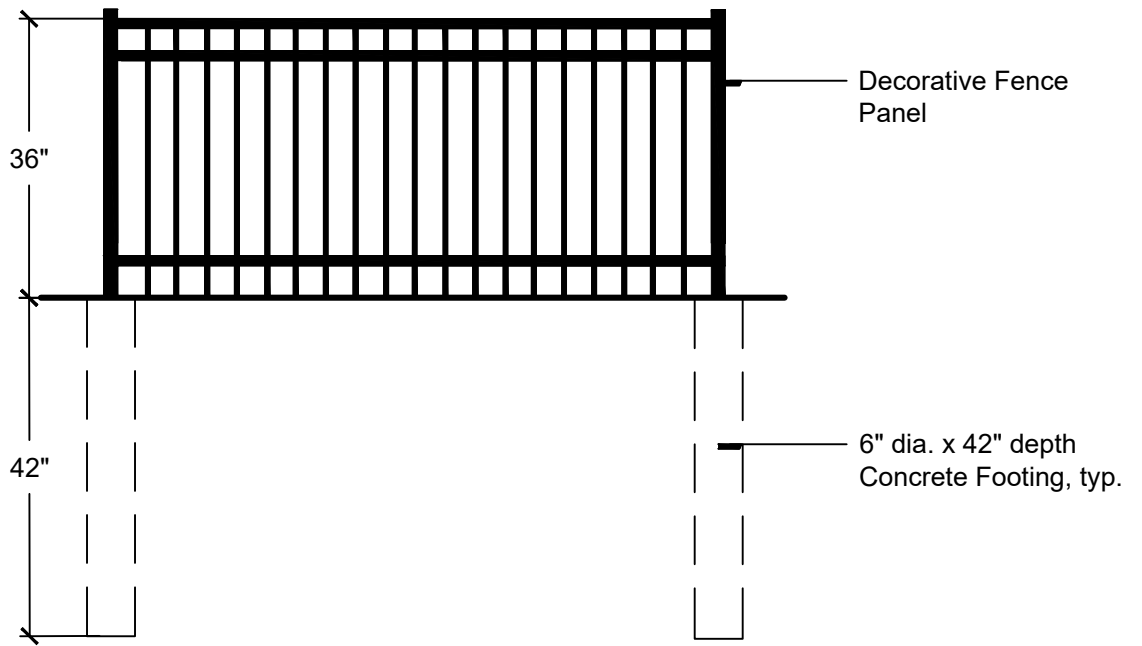
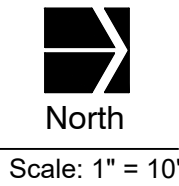


Public Open Space Summary

Required: Minimum of 5% of the gross floor area of all stories
of proposed buildings.
Total Floor Area: 43,912.80 SF
Required: 2,195.64 SF
Provided: 4,768.66 SF (10.86% of Floor Area)



Southfield Road Frontage Enlargement Plan



Decorative Fence Detail

Manufacturer: Elegant Aluminum Products
16965 Masonic
Fraser, MI 48026
www.elegantaluminum.com
800.546.3362
Model: F-Signature (3-Channel)
Architecture Line Fence
Black

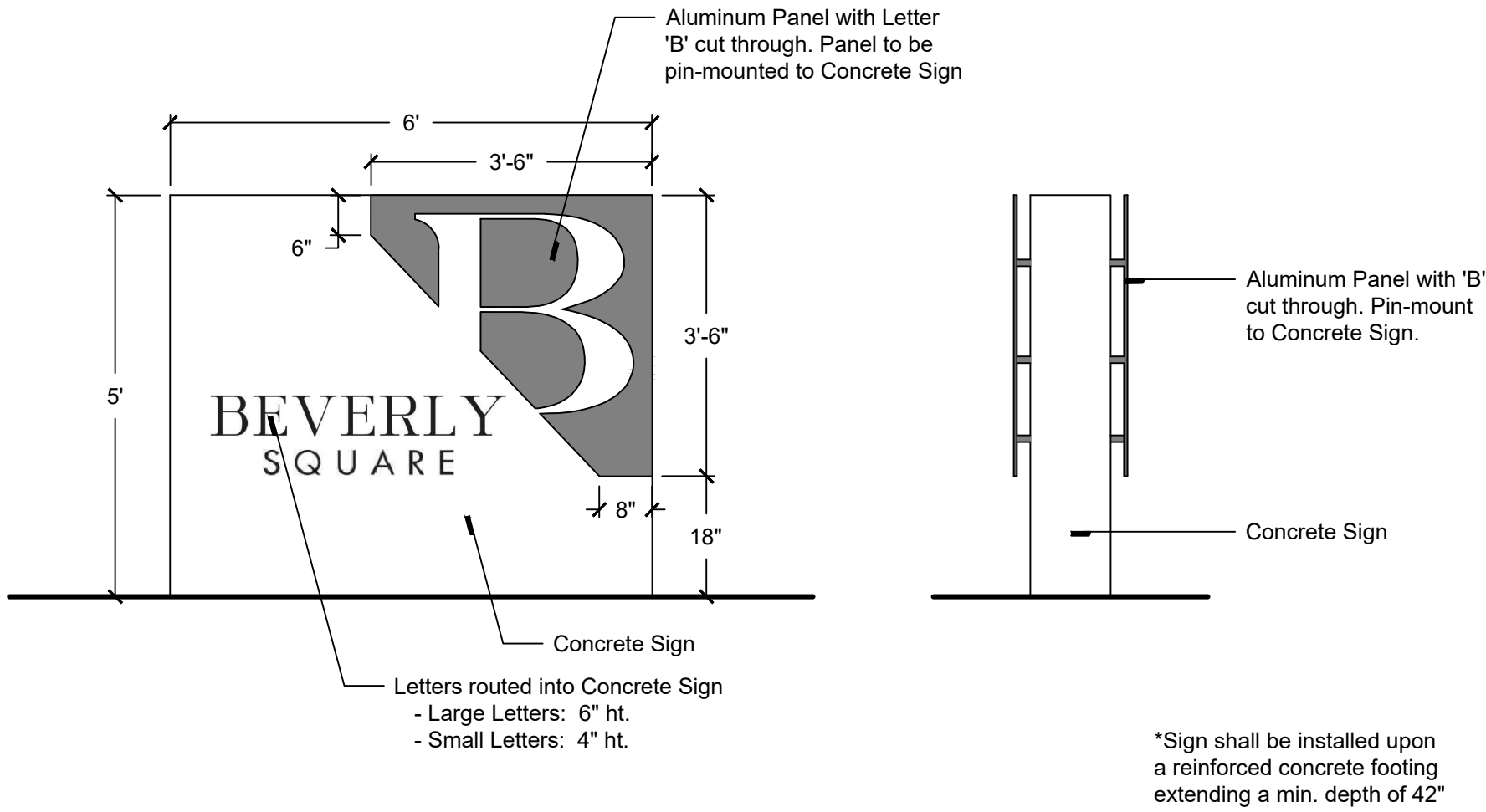
Scale: $\frac{3}{4}$ " = 1'



6' ht. Screen Fence Detail

Available From: Anchor Fence & Supply Co.
26345 Plymouth Rd.
Redford, MI 48239
www.anchorfenceonline.com
Model: Chesterfield CertaGrain
Arbor Blend

NTS



Conceptual Development Sign Details

Sign Data:
- Allowable Height: 8'
- Proposed Height: 5'
- Allowable Area: 30 sf
- Proposed Area: 30 sf

Notes:
- Sign shall be double sided with each side bearing the same content
- These Sign Details are representative only.
- A sign permit shall be obtained prior to Development Sign construction
- Sign shall be illuminated with landscape ground-mounted lighting

Scale: $\frac{3}{4}$ " = 1'



sheet title:

Southfield Frontage Enlargement & Details

project title:

Beverly Square

Village of Beverly Hills, MI

prepared for:

Robertson Brother Homes
6905 Telegraph Rd. - Suite 200
Bloomfield Hills, MI 48301

Phone: 248.644.3460

job number: date:

15022 05.17.2019

drawn by: checked by:

EMJ WTK

revisions:

09.26.2019 Per Municipal Review



Know what's below.
Call before you dig.

sheet no.

L-3

Landscape Maintenance Notes

All Landscape Maintenance shall be performed by Owner or Owner's desired Landscape Contractor or Landscape Maintenance Company.

Overall

- The owner of the property shall be responsible for the regular maintenance of all landscaping. Landscaped areas and plant materials required by the Beverly Hills Ordinance shall be kept free from refuse and debris. Plant materials, including lawn, shall be maintained in a healthy growing condition, neat and orderly in appearance per the intent of the approved site plan.
- If any plant material required with an approved site plan dies or becomes diseased, it shall be replaced within thirty (30) days of receiving written notice from the Village or within an extended time period as specified in said notice.

Lawn & Turf

- Lawn shall not be irrigated the prior to scheduled mowing
- Maintain a lawn height or 2-1/2" to 3-1/2"
- Lawn shall be mowed with a mulching mower or mower affixed with a mulching blade. Grass clippings shall be left on the lawn to decompose and release nutrients back into the soil
- Inspect Irrigation system after mowing to ensure no damage has been done to the components
- Maintenance Contractor shall maintain clean equipment to prevent potential spread of unwanted seeds, pests, and pathogens

Shrubs

- Prune shrubs on an as-needed basis and only to maintain the plant's natural appearance
- Allow shrubs to mature and fill planting areas as designed
- Allow designed hedges to grow together prior to pruning into a uniform shape

Groundcovers

- Keep free of weeds, grass, and refuse
- Prune lightly to maintain natural appearance
- Allow groundcovers to fill the intended planting area

Perennials

- Prune dead flower stalks that emerge during the summer to encourage foliage growth
- Perform seasonal pruning, weeding, and dead-heading as necessary to maintain a neat appearance and encourage flowering

Trees

- Remove weeds and suckers from around the base of trees
- Prune trees for safety, health, or structural clearance. Remove crossing and damaged branches
- Do not top trees for any reason
- Check on tree staking on a regular basis to ensure that ties and stakes are not damaging the trees. Maintain tree stakes until the tree can stand on its own. Upon reaching this point, remove and properly dispose of all tree stakes, ties, and wiring

Mulch

- Maintain hardwood mulch at a 3" depth and replenish as needed
- Keep mulch at least 3" away from plant stems and tree trunks
- Maintain clean-cut mulch edges and tree rings that match the designed edges

Weed Management

- Remove and properly dispose of any weeds and tree suckers that appear in planting beds. Use the least destructive methods possible

Fertilization

When fertilizing, use organic or non-chemical alternatives whenever possible to reduce the runoff into the Paint Creek

Pest Control

- When using pesticides, use organic or non-chemical alternatives whenever possible to reduce the runoff into the Paint Creek

Bed Edging

- Maintain Spade Cut Edges as designed, as necessary

Landscape Notes

- All plant material shall be true to name and free from physical damage and wind burn.
- Plants shall be full, well-branched, and in a healthy, vigorous growing condition.
- Plants shall be watered before and after planting is complete.
- All trees must be staked, fertilized, and mulched and shall be guaranteed to exhibit a normal growth cycle for at least one (1) full year following planting.
- All material shall conform to the guidelines established in the most recent edition of the American Standard for Nursery Stock.
- Provide clean backfill soil, using material stockpiled on site. Soil shall be screened and free of any debris, foreign material, or stone.
- "Agriform" tabs or similar slow-release fertilizer shall be added to the planting pits before being backfilled.
- Amended planting mix shall consist of 1/3 screened topsoil, 1/3 sand, and 1/3 peat.
- All plantings shall be mulched with shredded hardwood bark, spread to a minimum depth of 3". Mulch is to be free from debris and foreign material and shall contain no pieces of inconsistent size.
- The Landscape Contractor shall be responsible for all work shown on the landscape drawings and specifications.
- No substitutions or changes of location, or plant types shall be made without the approval of the Landscape Architect or Owner's representative.
- The Landscape Architect shall be notified of any discrepancies between the plans and field conditions prior to installation.
- The Landscape Contractor shall be responsible for maintaining all plant material in a vertical condition throughout the guaranteed period.
- The Landscape Architect shall have the right at any stage of the installation to reject any work or material that does not meet the requirements of the plans and specifications, if requested by the owner. The Contractor shall be responsible for checking plant quantities to ensure quantities on drawings and plant list are the same. In the event of a discrepancy, the quantities on the plans shall prevail.
- The Landscape Contractor shall seed and mulch or sod (as indicated on plans) all areas disturbed during construction, throughout the contract limits.
- A pre-emergent weed control agent, "Preen" or equal, shall be applied uniformly to all planting beds prior to mulching.
- All lawn areas to be irrigated.
- The Developer and Landscape Architect reserve the right to change location of plant material and alter plant species/variety at the time of installation based upon availability and quantity of material as well as site conditions. Materials will be of similar size, appearance and growth habit.
- All Lawn areas shall be Seeded or Sodded
- All Landscape Areas shall be irrigated by an automatic irrigation system with separate zones for Lawn and Plants.



Decorative Mailbox - 16 Gang CBU

Manufacturer: Salsbury Industries
1010 E. 62nd St.
Los Angeles, CA 90001
www.mailboxes.com

Model: Regency Decorative CBU
#3316R
Black

Quantity: 1

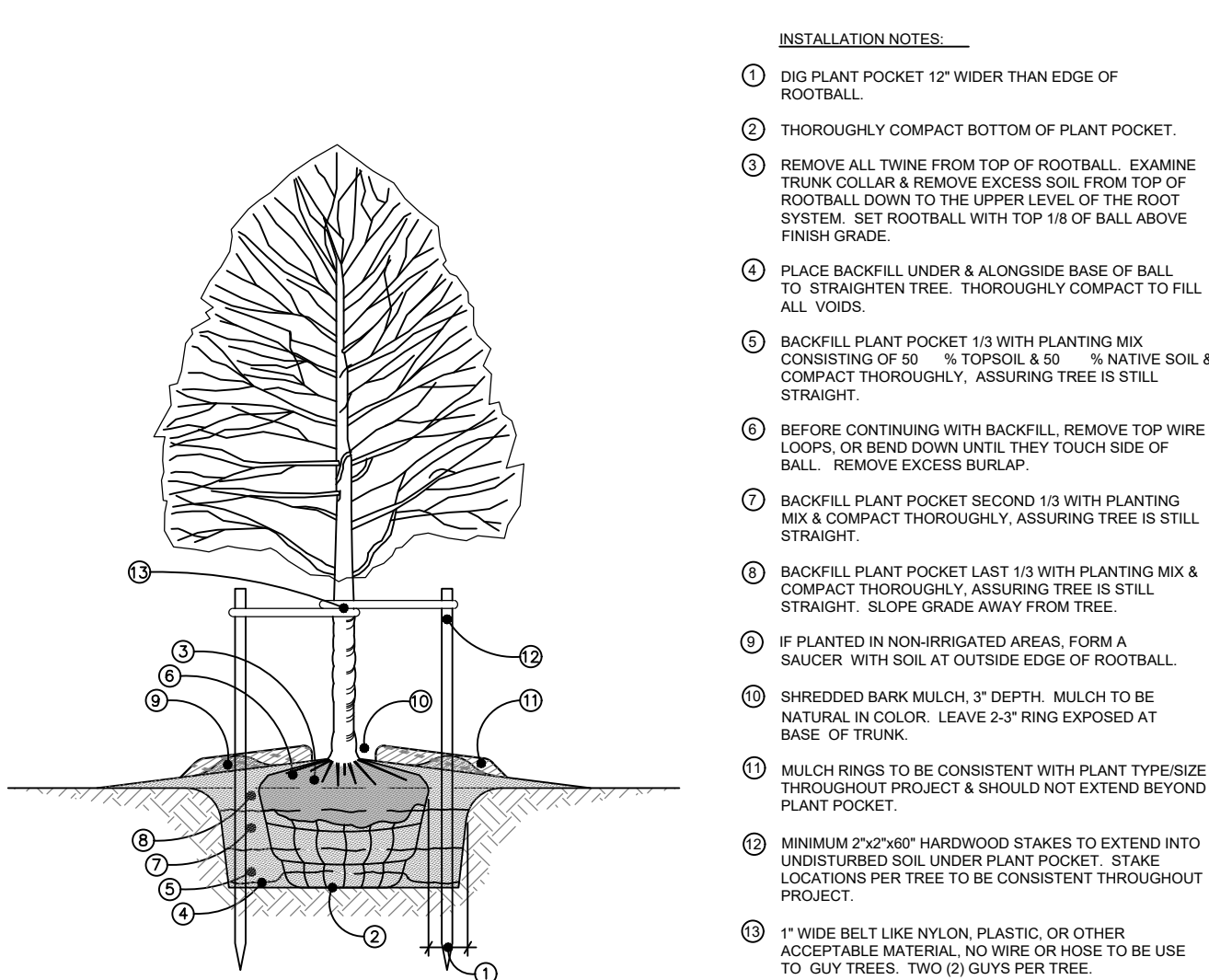


Decorative Mailbox - 12 Gang CBU

Manufacturer: Salsbury Industries
1010 E. 62nd St.
Los Angeles, CA 90001
www.mailboxes.com

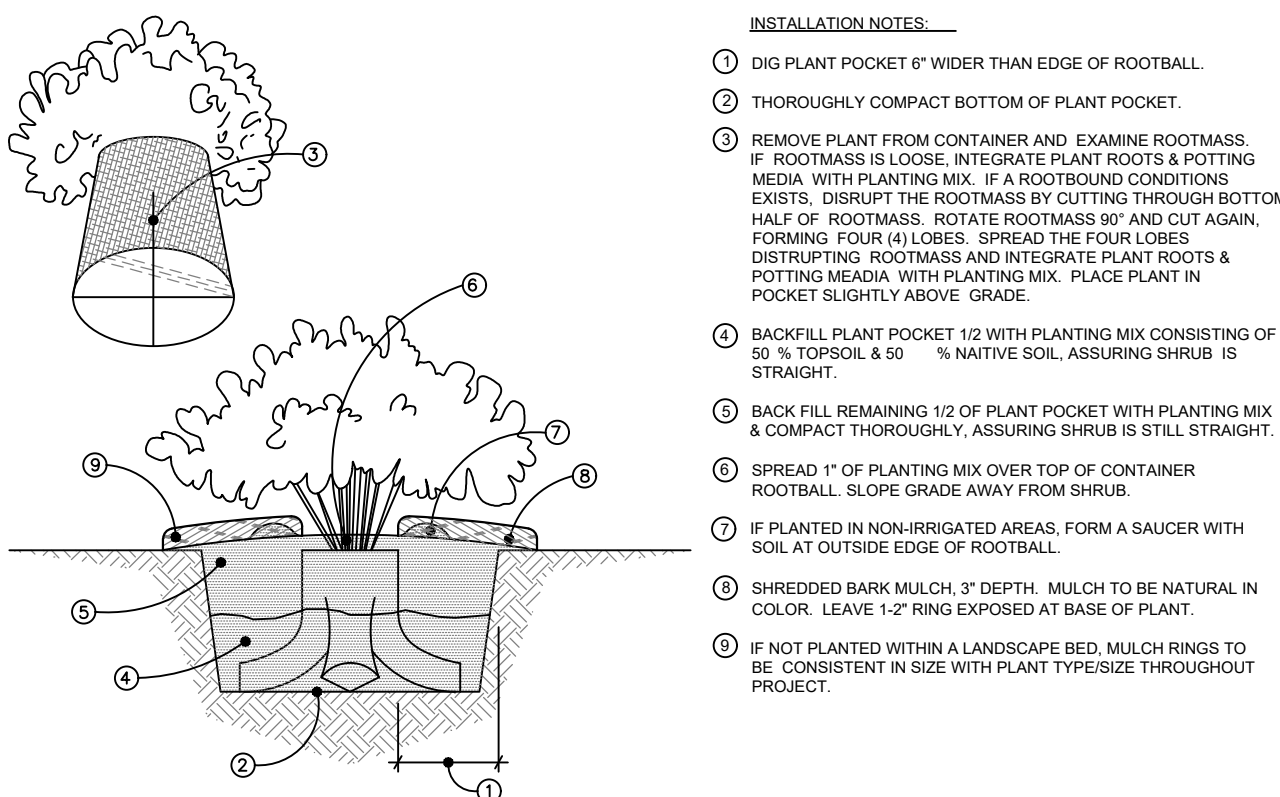
Model: Regency Decorative CBU
#3312R
Black

Quantity: 1



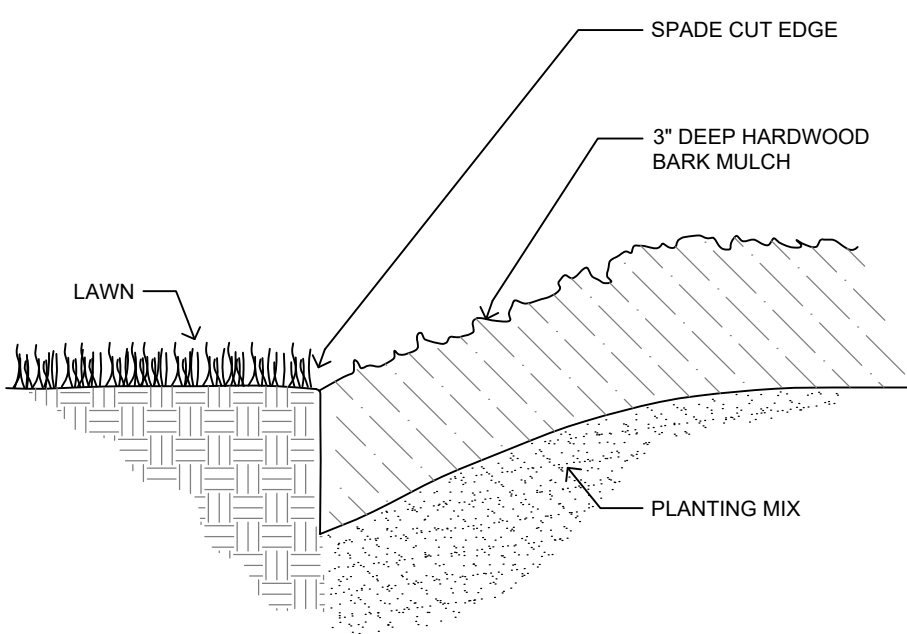
Deciduous Tree Planting Detail - 4" Cal. and Under

Scale: NTS



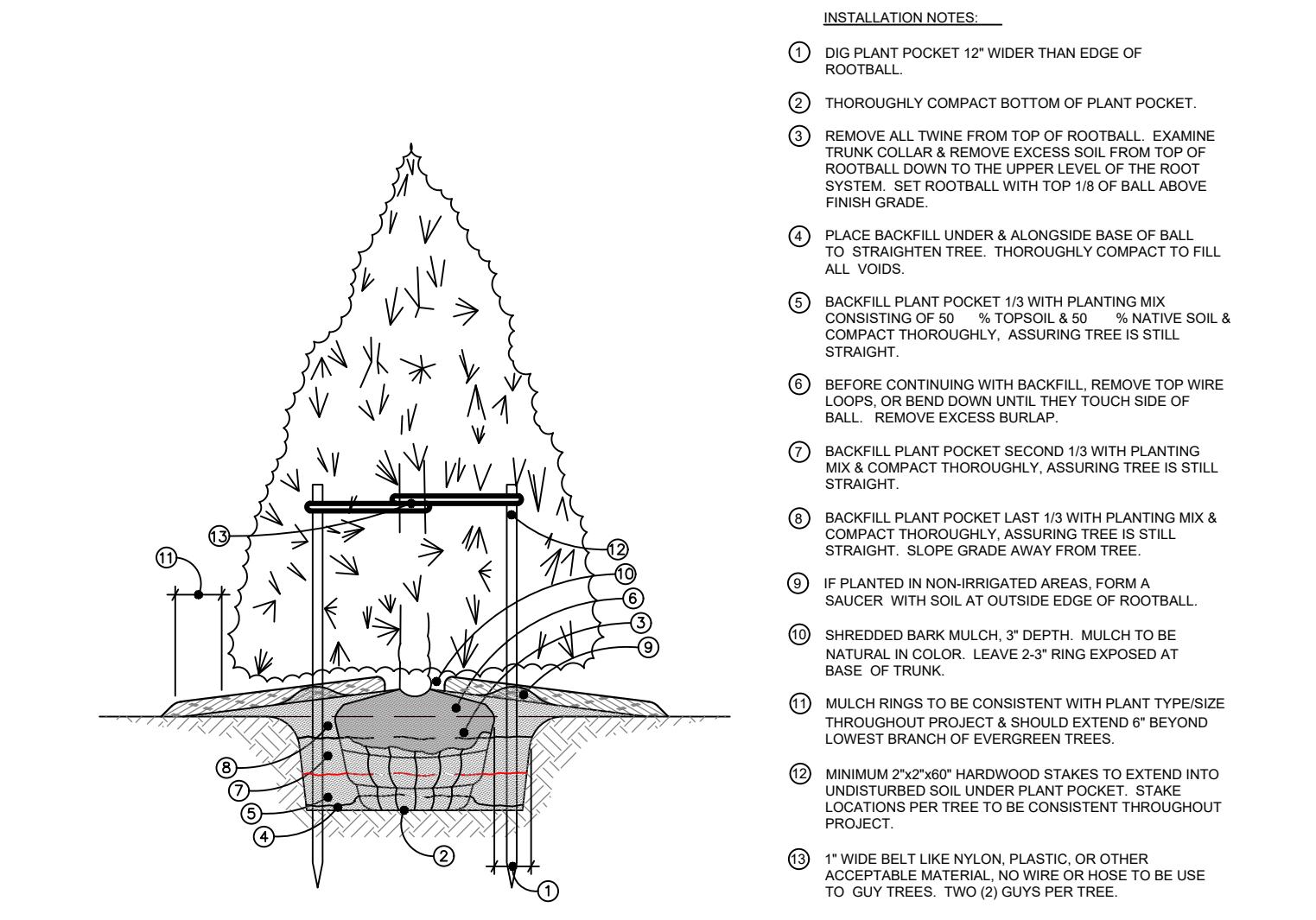
Shrub Planting Detail - Container

Scale: NTS



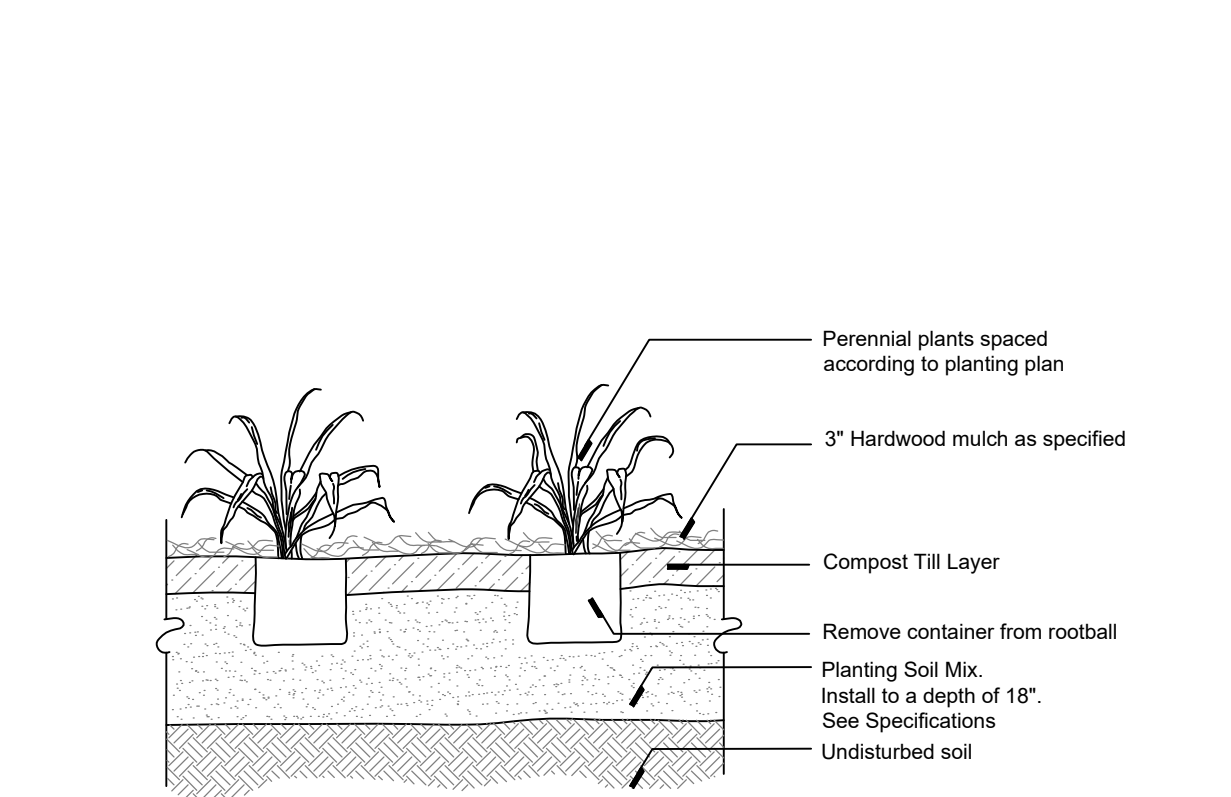
Spade Cut Edging Detail

NTS



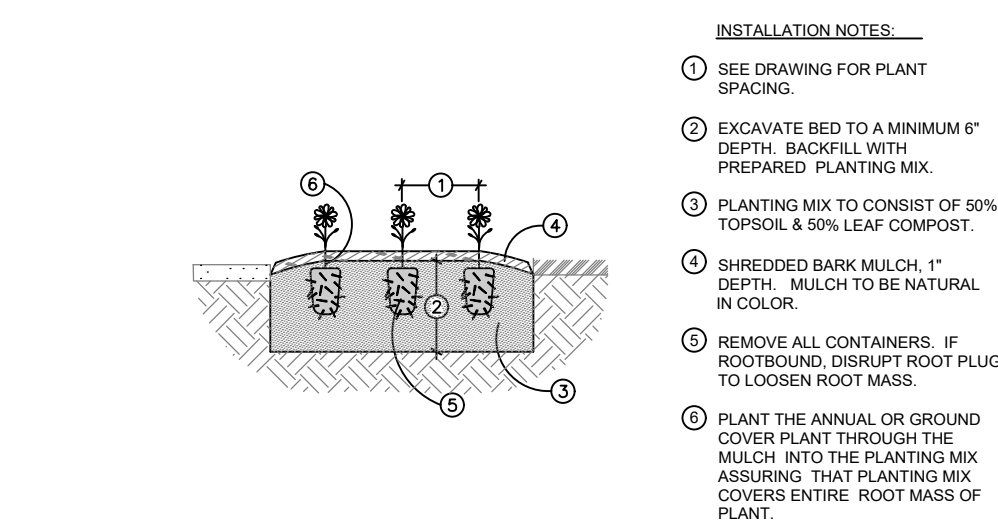
Evergreen Tree Planting Detail - 10' Ht. and Under

Scale: NTS



Perennial Planting Detail

NTS



Annual & Ground Cover Planting Detail

Scale: NTS

750 Forest Ave. - Suite 101
Birmingham, MI 48009
T.: 248.594.3220

LEGEND



sheet title:

Details & Notes

project title:

Beverly Square

Village of Beverly Hills, MI

prepared for:

Robertson Brother Homes
6905 Telegraph Rd. - Suite 200
Bloomfield Hills, MI 48301

Phone: 248.644.3460

job number:

15022

date:

05.17.2019

drawn by:

EMJ

checked by:

WTK

revisions:

09.26.2019 Per Municipal Review



sheet no.

BEVERLY SQUARE

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&'7 Uf'; UfU[Y
CU_'UbX'7 YXUf

OWNERS:

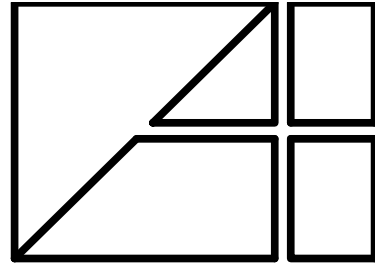
ROBERTSON BROTHERS
6905 TELEGRAPH ROAD
SUITE 200
BLOOMFIELD HILLS, MI 48301
248.282.1456 (P)

ARCHITECT:

ALEXANDER V. BOGAERTS + ASSOCIATES, P.C.
2445 FRANKLIN ROAD
BLOOMFIELD HILLS, MI 48302
248.334.5000 (P) 248.334.0092 (F)

	SHEET INDEX	
T-1	TITLE SHEET	
N-1	GENERAL NOTES	
N-2	TRUSS NOTES / WALL TIEDOWN DETAILS	
N-3	AIR BARRIER DETAILS	
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2	UNIT ELEVATIONS	1/4" = 1'-0"
3	UNIT ELEVATIONS (REAR) & BLDG. SECTION	1/4" = 1'-0"
4	NOT ISSUED	
5	NOT ISSUED	
6	NOT ISSUED	
7	NOT ISSUED	
8	NOT ISSUED	
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15	NOT ISSUED	
16	NOT ISSUED	
17	NOT ISSUED	
18	NOT ISSUED	
19	NOT ISSUED	
	UNITS 17-18-19	
20	3-UNIT PLANS	1/8" = 1'-0"
21	3-UNIT BUILDING ELEVATIONS	1/8" = 1'-0"
D-1	WALL SECTIONS & FIRE RATING INFORMATION	
D-2	TYP. DETAILS	

	CODE COMPLIANCE
	CODE: 2015 MICHIGAN RESIDENTIAL CODE TOWNHOUSE OPTION TENANT SEPARATION: 2 HOUR FIRE SUPPRESSION: N/A TYPE B DWELLING UNITS: N/A (MULTI-STORY DWELLING UNITS) TYPE A DWELLING UNITS: N/A



Interior Design
2445 Franklin Road
Bloomfield Hills, MI 48302
248.334.5000

TITLE SHEET

ROBERTSON BROTHERS

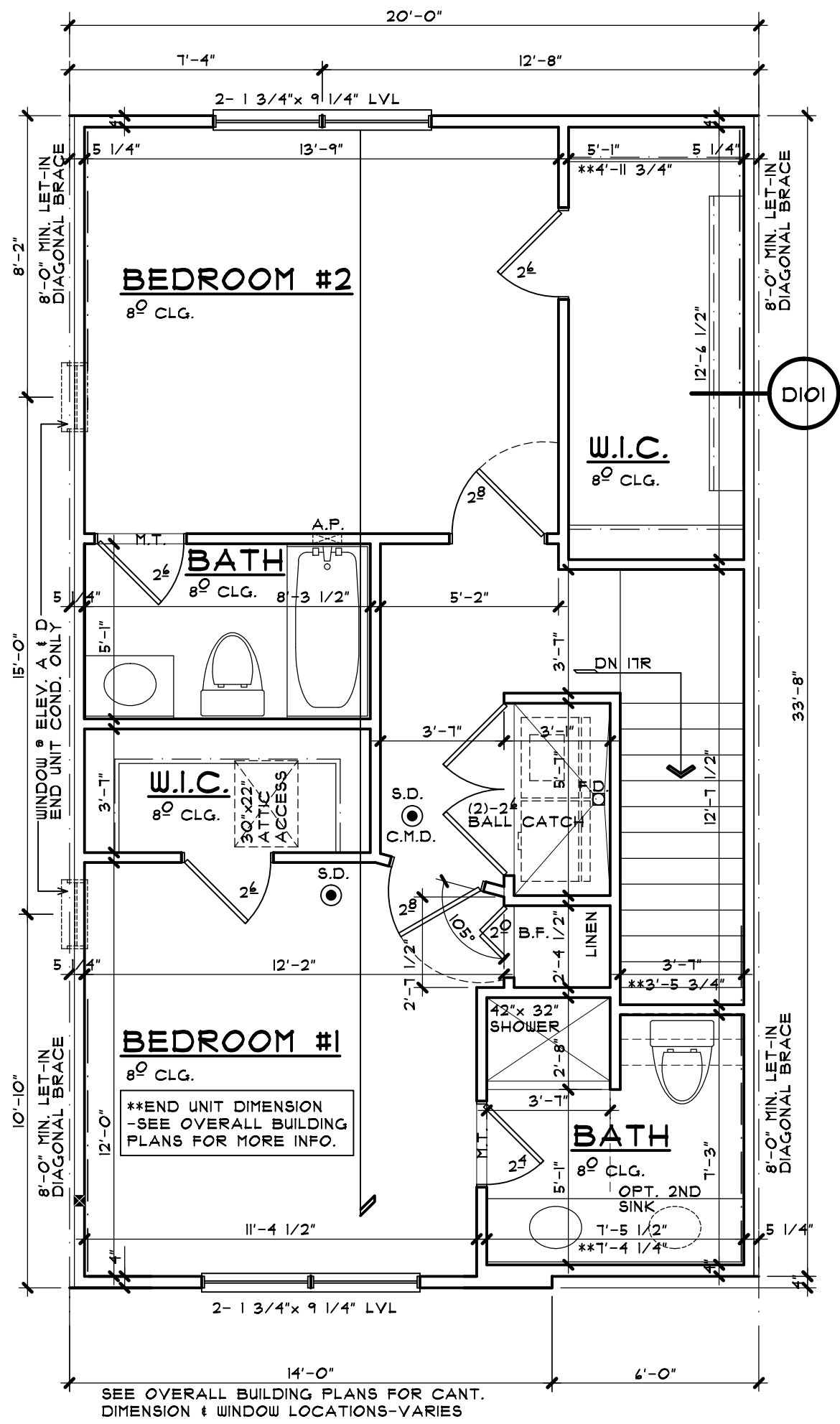
COPYRIGHT 2016
ALEXANDER V.
BOGAERTS + ASSOC.

PRELIMINARY
04-14-17
BIDS
05-05-17
PERMITS
09-06-18
CONSTRUCTION
09-06-18

REVISIONS

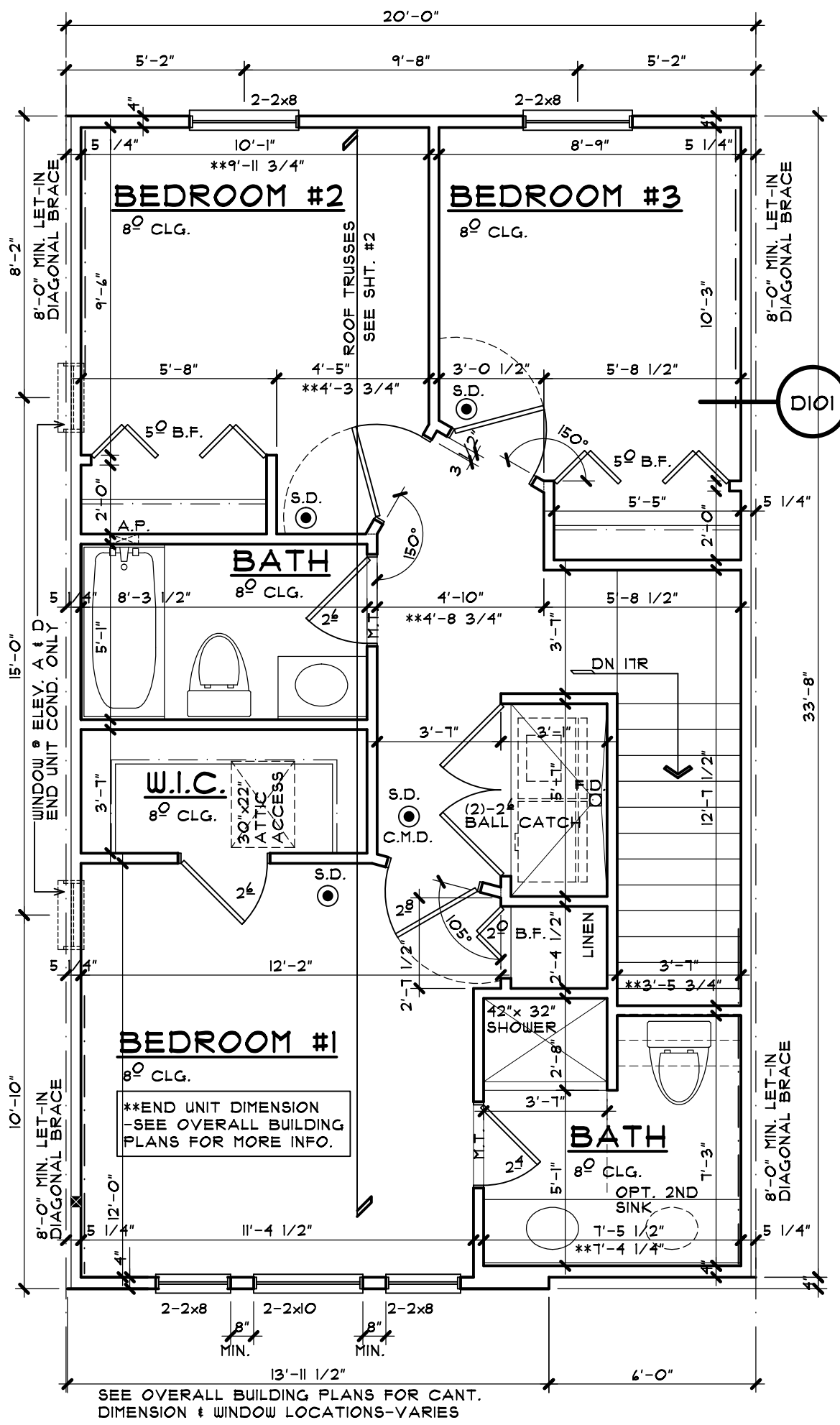
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CAD FILENAME
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CHECKED BY
JOB NUMBER
DATE
09-06-18
SHEET NUMBER

T-7



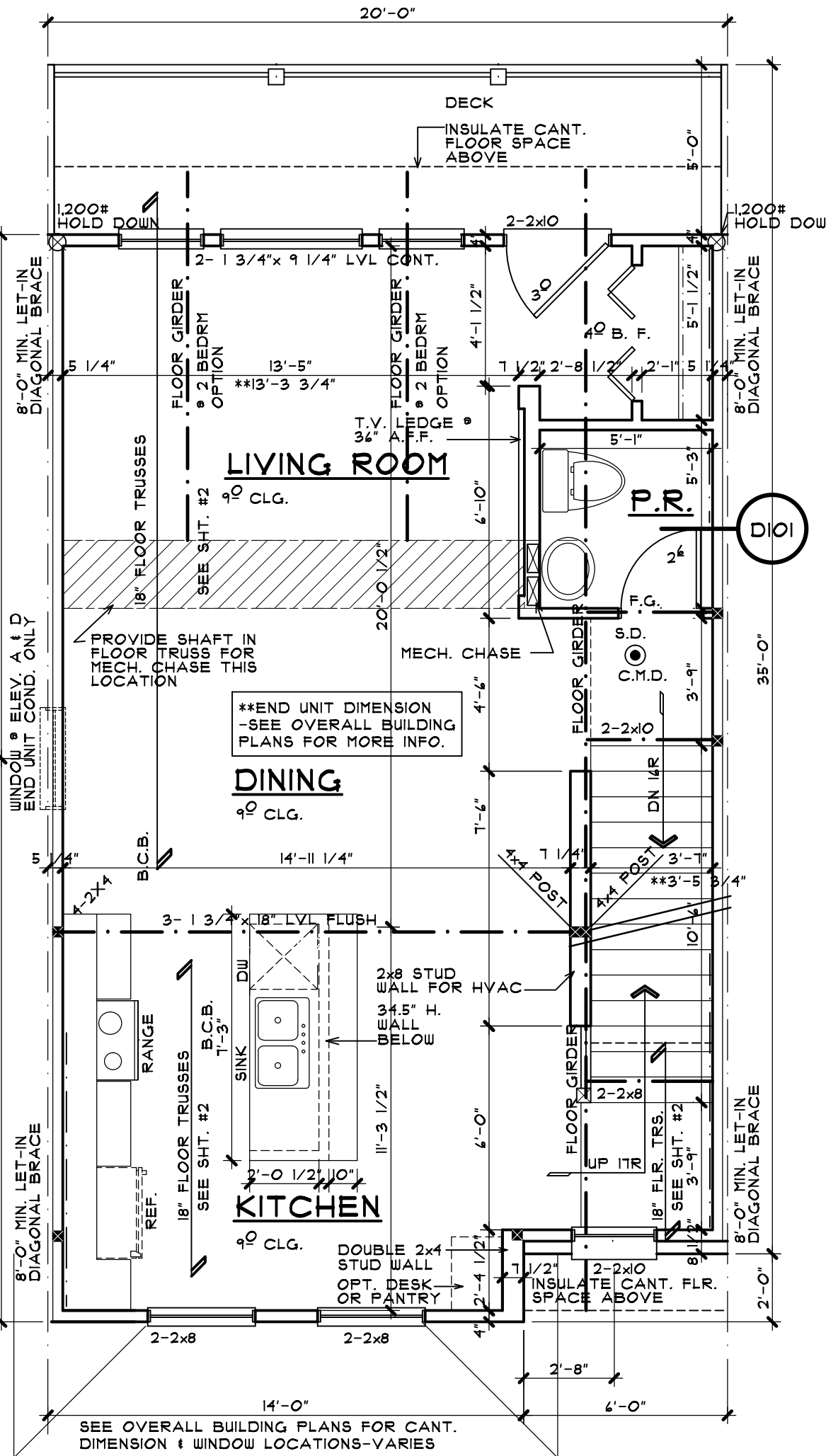
THIRD FLOOR PLAN-2 BDRM.

ELEVATION 'D' SCALE: 1/4" = 1'-0"



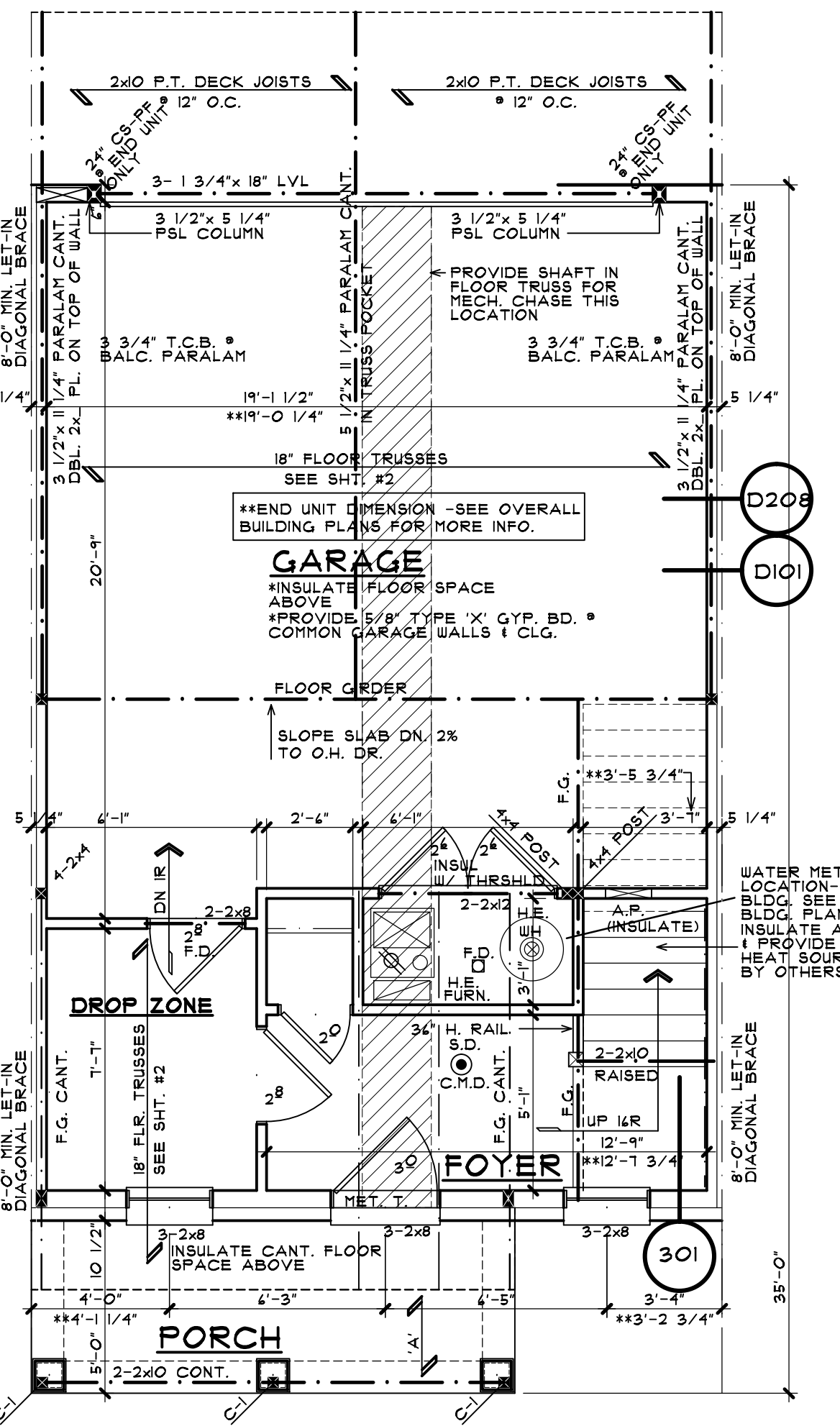
THIRD FLOOR PLAN-3 BDRM.

ELEVATION 'C' SCALE: 1/4" = 1'-0"



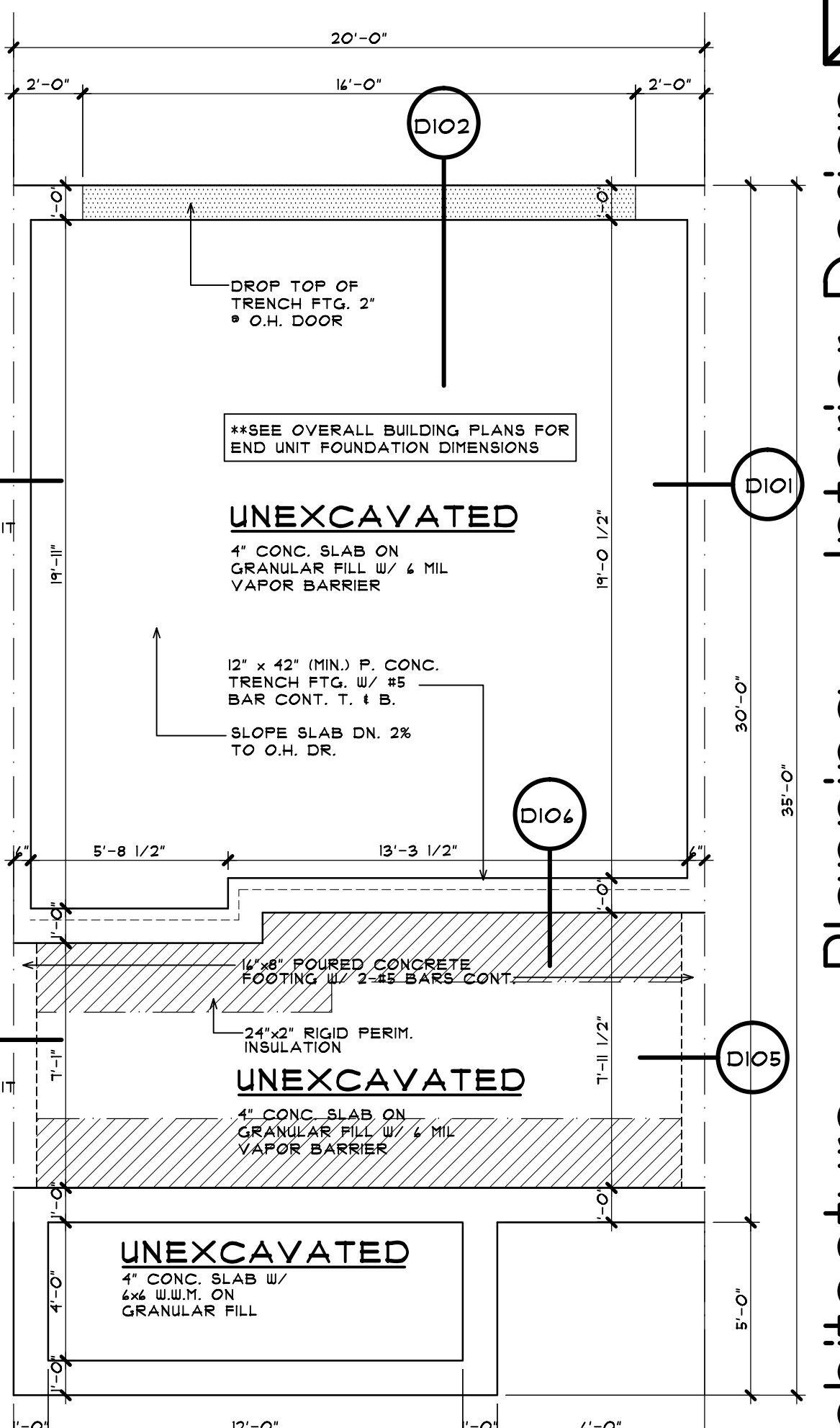
SECOND FLOOR PLAN

ELEVATION 'C' SCALE: 1/4" = 1'-0"



FIRST FLOOR PLAN

ELEVATIONS 'B'/'C' SCALE: 1/4" = 1'-0"



FOUNDATION PLAN

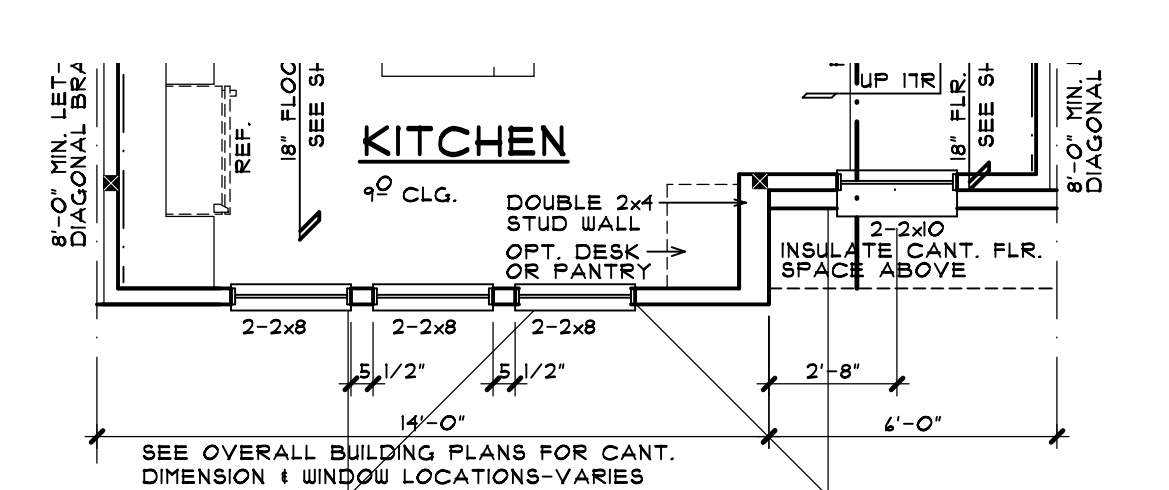
ELEVATIONS 'B'/'C' SCALE: 1/4" = 1'-0"

STRUCTURAL NOTES:

- (2) 2x8 HEADERS TO BEAR ON (1) ONE JACK STUD UNLESS NOTED OTHERWISE.
- (2) 2x10 (LARGER HEADERS TO BEAR ON (2) TWO JACK STUDS UNLESS NOTED OTHERWISE.
- ALL PRE-ENGINEERED HEADERS FRAMED PERPENDICULAR TO WALL LINE SHALL BEAR ON REQUIRED NUMBER OF STUDS TO MATCH WIDTH OF HEADER MATERIAL.
- ALL PRE-ENGINEERED HEADERS FRAMED PARALLEL TO WALL LINE SHALL BEAR ON A MINIMUM (2) TWO JACK STUDS UNLESS NOTED OTHERWISE.
- ALL PRE-ENGINEERED LUMBER HEADERS SHALL BE BUILT-UP FROM THE NUMBER OF HEADERS INDICATED ON DRAWINGS. ALL MEMBERS SHALL BE SECURED WITH NAILS OR BOLTS AS SPECIFIED BY THE MANUFACTURER FOR SIZES INDICATED.
- ALL GIRDER TRUSSES TO BEAR ON (2) TWO STUDS MINIMUM OR AS REQUIRED TO MATCH NUMBER OF TRUSS PLYS, WHICH EVER IS GREATER.
- TRUSS FABRICATOR/CONTRACTOR TO PROVIDE ALL HANGERS W/ MODEL NO. CLEARLY STAMPED (LAYOUT DRAWINGS CLEARLY INDICATING LOCATION OF VARIOUS HANGERS REQUIRED).
- CARPENTER CONTRACTOR TO INSTALL NAIL SIZES (NUMBER REQ'D. AS SPECIFIED FOR EACH TYPE OF HANGER).
- LVL DESIGN VALUES FOR MODULUS OF ELASTICITY (E) SHALL BE 2,000,000 PSI (2.0 E)

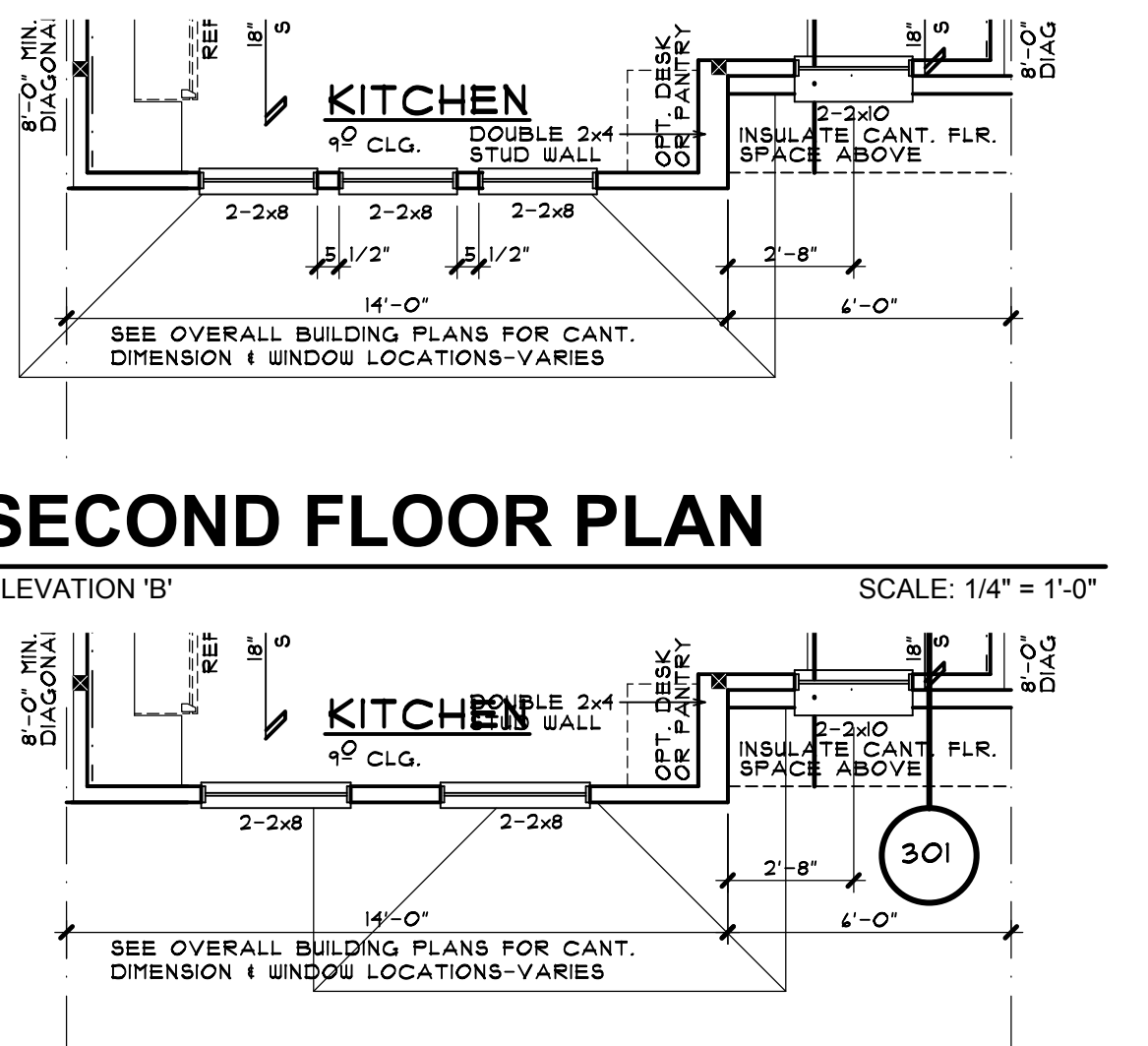
ELECTRICAL NOTES:

- ALL RECESSED LIGHT ARE TO BE IC (INSULATION CONTACT) RATED.
- ALL RECESSED FIXTURES ARE TO BE SEALED TO LIMIT AIR LEAKAGE BETWEEN CONDITIONED AND UNCONDITIONED SPACES
- PROVIDE GROUND-FAULT CIRCUIT-INTERRUPTER PROTECTION FOR ALL 25-VOLT, SINGLE-PHASE, 15- AND 20-AMPERE RECEPTACLES INSTALLED IN GARAGES AND UNFINISHED BASEMENTS AREAS EXCEPT THOSE FOR FIRE OR BURGLAR ALARM SYSTEMS.
- A MINIMUM OF 15% OF ALL PERMANENTLY INSTALLED LIGHTING FIXTURES MUST USE CFL BULBS OR OTHER HIGH EFFICIENCY LAMPS
- ALL INTERIOR TREADS AND LANDINGS MUST BE ILLUMINATED WITH NOT LESS THAN 1 FOOT CANDLE.
- EXTERIOR STAIRWAYS SHALL BE PROVIDED WITH AN ARTIFICIAL LIGHT SOURCE LOCATED AT THE TOP OF THE LANDING.



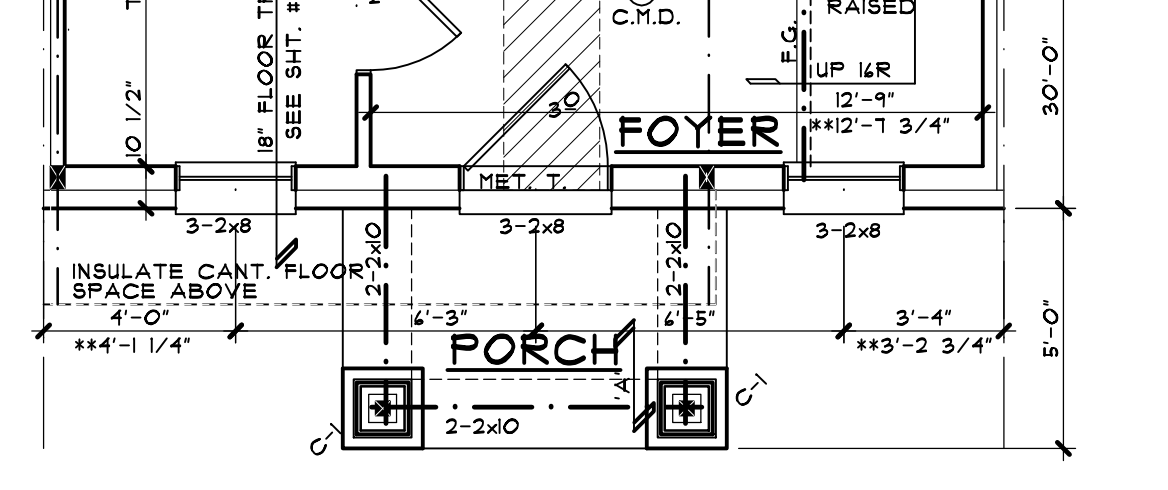
SECOND FLOOR PLAN

ELEVATION 'D' SCALE: 1/4" = 1'-0"



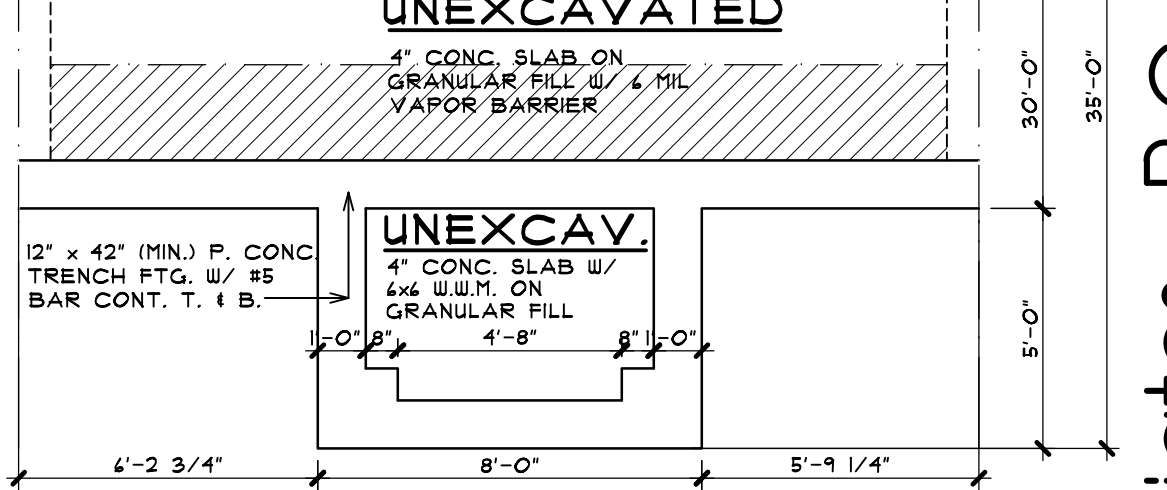
SECOND FLOOR PLAN

ELEVATION 'A' SCALE: 1/4" = 1'-0"



FIRST FLOOR PLAN

ELEVATIONS 'A'/'D' SCALE: 1/4" = 1'-0"



FOUNDATION PLAN

ELEVATIONS 'A'/'D' SCALE: 1/4" = 1'-0"

SQUARE FOOTAGE	
1ST FLOOR	193 SQ. FT.
2ND FLOOR	428 SQ. FT.
3RD FLOOR	478 SQ. FT.
TOTAL	1499 SQ. FT.

WALL BRACING METHOD: CS-WSP (WOOD STRUCTURAL PANEL) AT ALL EXT. WALLS U.N.O.

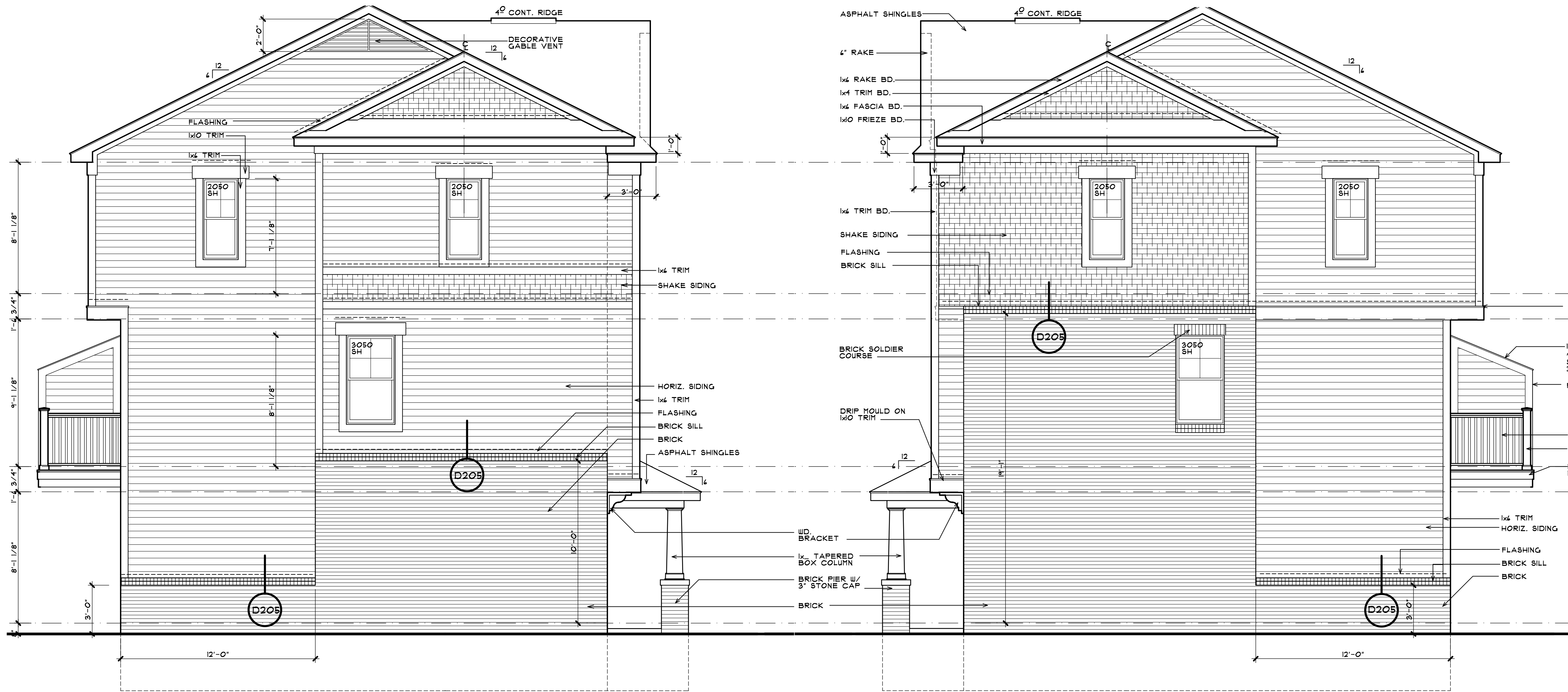
CHAPTER II: ENERGY EFFICIENCY

BUILDER'S OPTIONS FOR COMPLIANCE CLIMATE ZONE 5A

PROVIDE A SIMULATED PERFORMANCE ALTERNATIVE (BY OTHERS) AS PRESCRIBED IN SECTION NIOS (PERFORMANCE), PLUS ALL MANDATORY PROVISIONS LISTED IN SECTION NIOS. INSULATION VALUES WILL BE DETERMINED AS PART OF THIS PERFORMANCE METHOD OF COMPLIANCE.

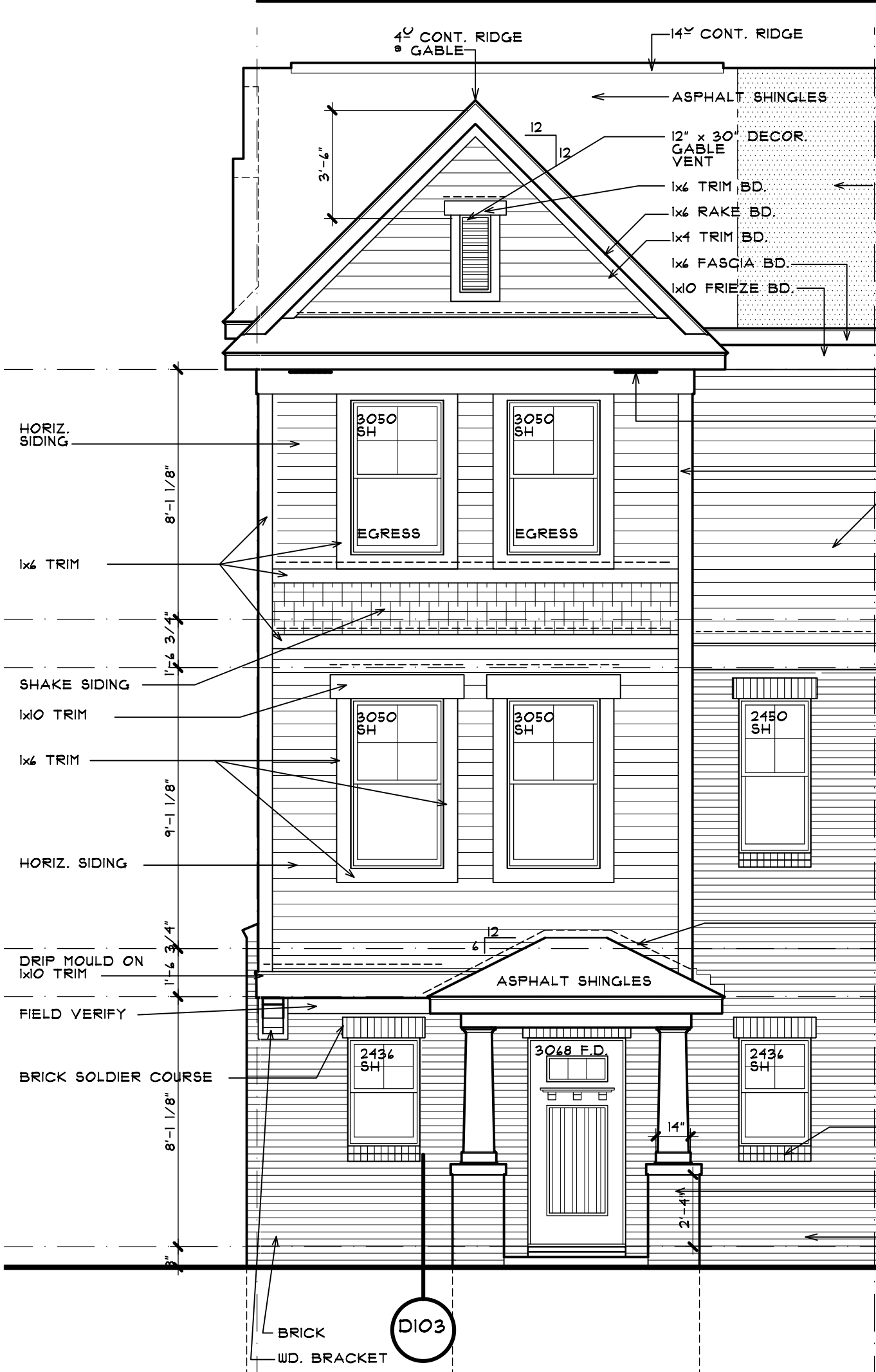
NOTES:

- THE BUILDER/GC SHALL HAVE A COPY OF THE CURRENT MI RESIDENTIAL CODE ON SITE FOR REFERENCE BY STAFF AND TRADES FOR THE ENTIRE DURATION OF CONSTRUCTION.
- REFER TO CHAPTER II, ENERGY EFFICIENCY FOR ALL MANDATORY.
- A MINIMUM OF 15% OF PERMANENTLY INSTALLED LIGHT FIXTURES TO BE HIGH EFFICACY LAMPS. THE BUILDER/GENERAL CONTRACTOR, ELECTRICIAN, CONTRACTOR, OR INTERIOR DESIGNER SHALL PROVIDE A LIGHT FIXTURE SCHEDULE DEMONSTRATING COMPLIANCE.
- ALL DUCTS TO BE SEALED BY THE MECHANICAL CONTRACTOR. DUCTS SHALL BE PRESSURE TESTED TO DETERMINE AIR LEAKAGE BY ONE OF THE TWO LISTED OPTIONS UNLESS EXCEPTED BY THIS SECTION.
- THE BUILDER/GENERAL CONTRACTOR TO PERMANENTLY AFFIX AN ENERGY FEATURES CERTIFICATE ON THE ELECTRIC PANEL. THE CERTIFICATE TO INCLUDE A LIST OF THE PREDOMINANT R-VALUES INSTALLED, U-FACTORS FOR FENESTRATION ITEMS, HVAC AND WATER HEATER TYPES AND EFFICIENCIES.
- ALL BALANCING AND COMMISSIONING OF MECH. EQUIP. IS NOT PART OF THE ARCHITECT'S SCOPE AND IS BY OTHERS.
- R-10 INSUL. IS REQ'D AT EDGE OF ALL PERIMETER CONC. SLABS. INSULATION MUST RUN VERTICAL FROM TOP OF SLAB TO BELOW GRADE THEN EITHER VERTICAL OR HORIZONTAL FOR REMAINDER OF REQUIRED DISTANCE.
- INSTALLATION OF CARPET USING A TACK STRIP AT THE SLAB EDGE MUST USE A GLUED DOWN TACK STRIP - DO NOT RAIL SET TACK STRIP.



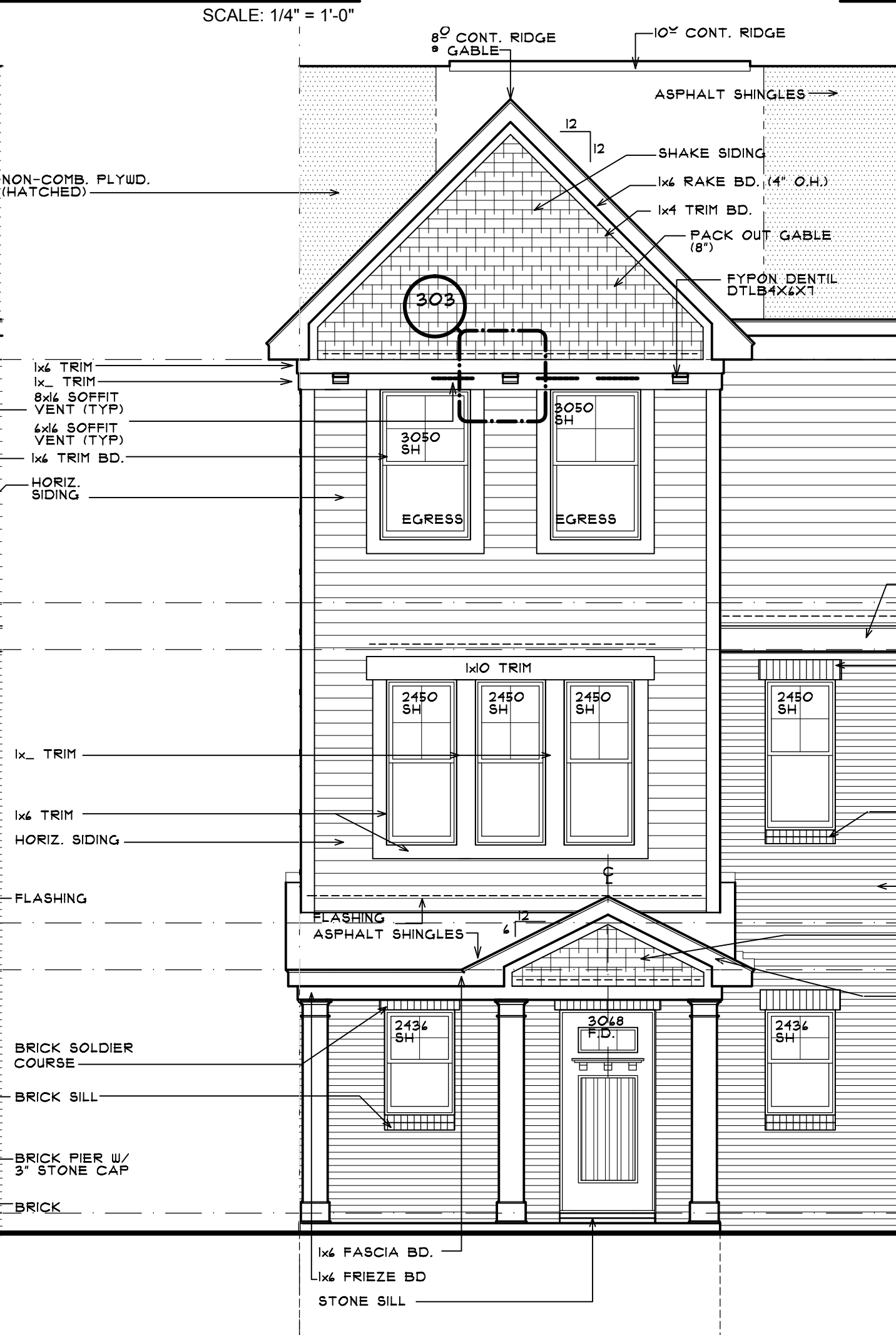
LEFT SIDE ELEVATION 'A'

RIGHT SIDE ELEVATION 'D'



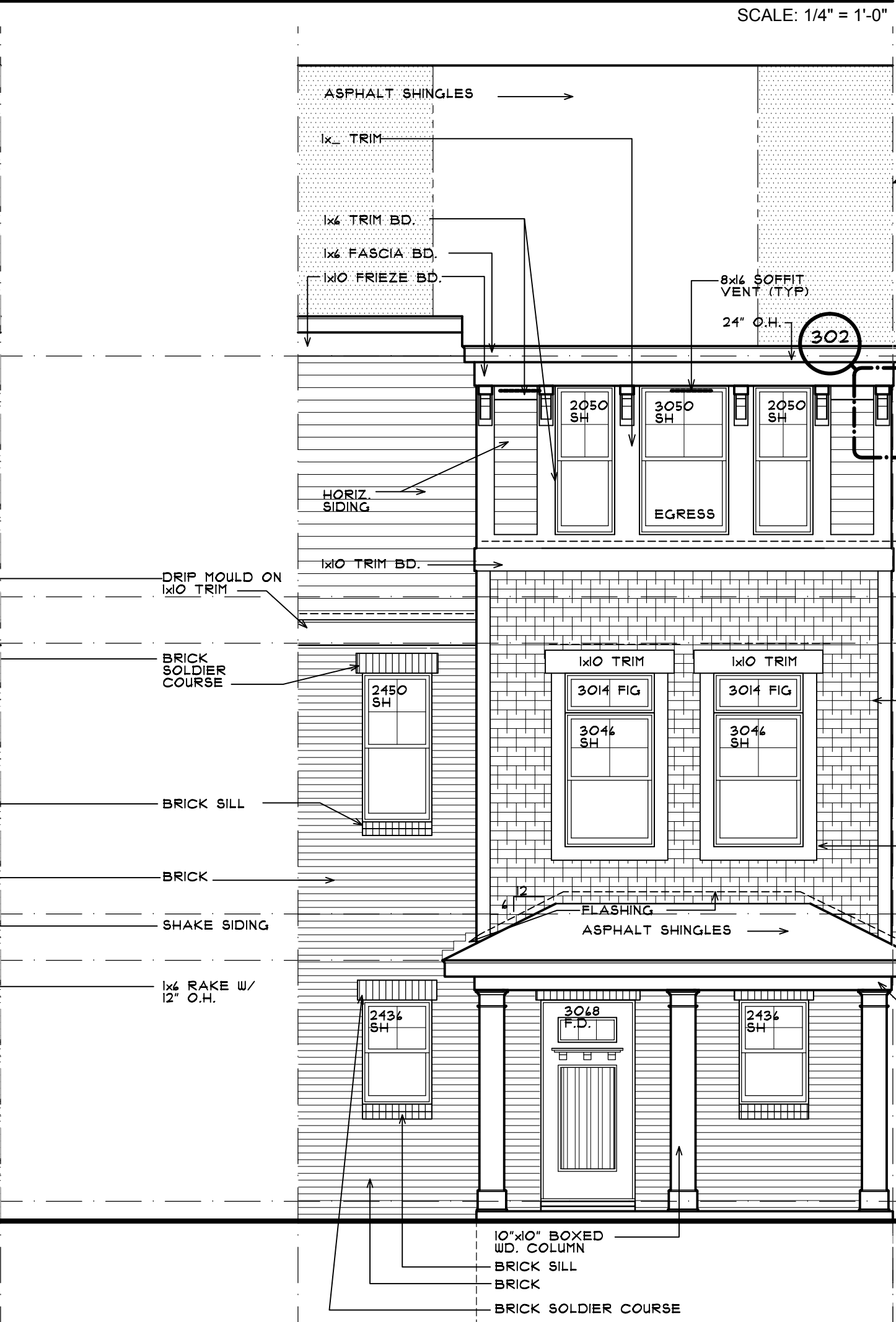
FRONT ELEVATION 'A'

SCALE: 1/4" = 1'-0"



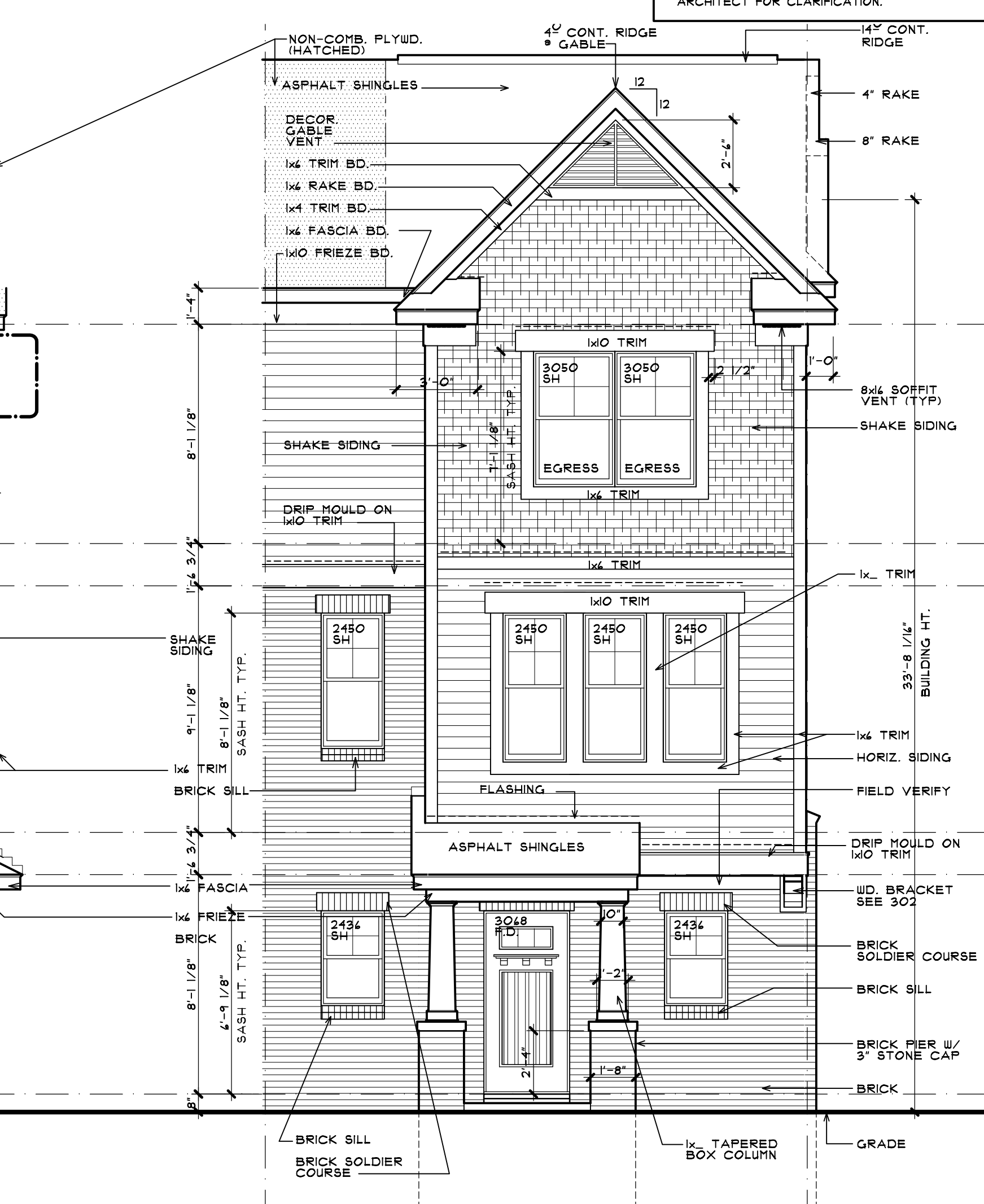
FRONT ELEVATION 'B'

SCALE: 1/4" = 1'-0"



FRONT ELEVATION 'C'

SCALE: 1/4" = 1'-0"



FRONT ELEVATION 'D'

SCALE: 1/4" = 1'-0"

STEEL LINTEL SCHEDULE

MAX CLEAR SPAN	LINTEL SIZE
5'-0" OR LESS	3 1/2" x 3 1/2" x 5/16"
7'-0" OR LESS	4" x 3 1/2" x 5/16"
8'-0" OR LESS	5" x 3 1/2" x 5/16"
9'-0" OR LESS	5" x 3 1/2" x 3/8"
10'-0" OR LESS	6" x 3 1/2" x 3/8"

NOTE: THIS SCHEDULE APPLIES UNLESS NOTED OTHERWISE ON THE PLANS AND/OR ELEVATIONS.
NOTE: STEEL ANGLE LINTELS REQUIRE A SHOP COAT OF RUST-INHIBITIVE PAINT EXCEPT FOR LINTELS FACE OF CORROSION-RESISTANT STEEL.

WINDOW SILLS

IN DWELLING UNITS, WHERE THE OPENING OF AN OPERABLE WINDOW IS LOCATED MORE THAN 12" ABOVE FINISHED GRADE OR SURFACE BELOW, THE LOWEST PART OF THE CLEAR OPENING OF THE WINDOW SHALL BE A MINIMUM OF 24" INCHES ABOVE THE FINISHED FLOOR OF THE ROOM IN WHICH THE WINDOW IS LOCATED, GLAZING BETWEEN THE FLOOR AND 24" SHALL BE FIXED OR HAVE OPENINGS THROUGH WHICH A 4" INCH DIAMETER SPHERE CANNOT PASS. EXCEPTIONS:
1. WINDOWS WHOSE OPENINGS WILL NOT ALLOW A 4" DIA. SPHERE TO PASS THROUGH THE OPENING WHERE THE OPENING IS IN ITS LARGEST OPENED POSITION.
2. OPENINGS THAT ARE PROVIDED WITH WINDOW GUARDS THAT COMPLY WITH ASTM F 2000 OR F 2090.

OVERHANGS & DRAINAGE

PROVIDE GUTTERS & DOWNSPOUTS FOR DRAINAGE OF ROOF WATER. DOWNSPOUTS ARE TO BE LOCATED SO THAT THE DISCHARGE WILL NOT SPILL ON OR FLOW ACROSS ANY PORCHES, WALKS OR DRIVES.
UNLESS NOTED OTHERWISE OVERHANG DIMENSIONS ARE 12" FROM RAKE, RAKE DIMENSIONS ARE 4" AT BRICK AND 6" AT SIDING.

TYP. WINDOW DESIGNATION

GENERAL REFERENCE FOR WINDOW OPENING SIZES ONLY. CONSULT WITH WINDOW MANUFACTURER FOR EXACT WINDOW SIZES & REQUIREMENTS.

EGRESS WINDOW

EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE WINDOW OR EXTERIOR DOOR APPROVED FOR EMERGENCY EGRESS OR RESCUE. THE WINDOW MUST BE OPERABLE FROM THE INSIDE TO A FULL CLEAR OPENING WITHOUT THE USE OF SEPARATE TOOLS. WHERE WINDOWS ARE PROVIDED AS A MEANS OF EGRESS OR RESCUE, THEY SHALL HAVE SILL HEIGHT OF NOT MORE THAN 44" INCHES ABOVE THE FLOOR. ALL EGRESS OR RESCUE WINDOWS FROM SLEEPING ROOMS MUST HAVE A MINIMUM NET CLEAR OPENING HEIGHT DIMENSION SHALL BE 24" INCHES AND WIDTH OF 20" INCHES.

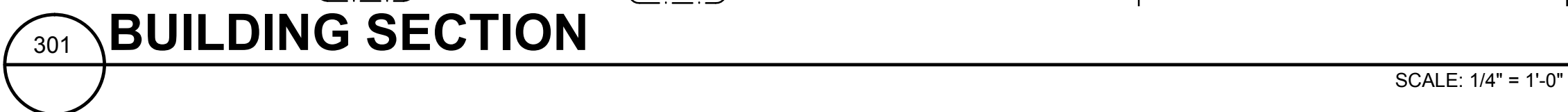
BEFORE CONSTRUCTION OBTAIN WINDOW & DOOR ROUGH OPENING SIZES FROM WINDOW/DOOR SUPPLIER.

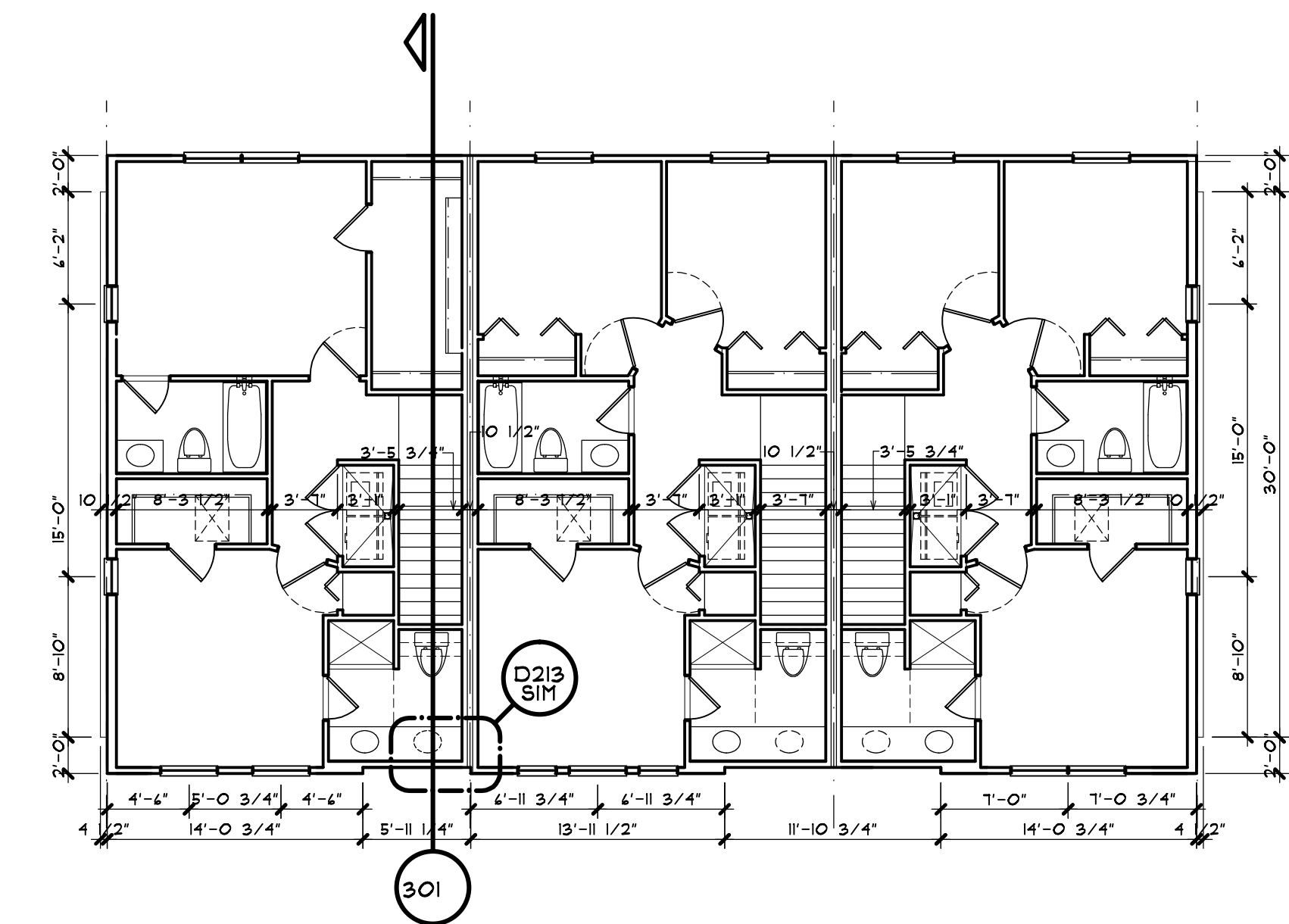
TRUSS DESIGNER/FABRICATOR SEE SHEET N-2 FOR ADDITIONAL NOTES & INFORMATION

SEE SHEETS N-3, D-1, & D-2 FOR ADDITIONAL DETAILS REGARDING DRAWINGS & CONSTRUCTION

SEE SHEET N-1 FOR ADDITIONAL NOTES REGARDING DRAWINGS & CONSTRUCTION.

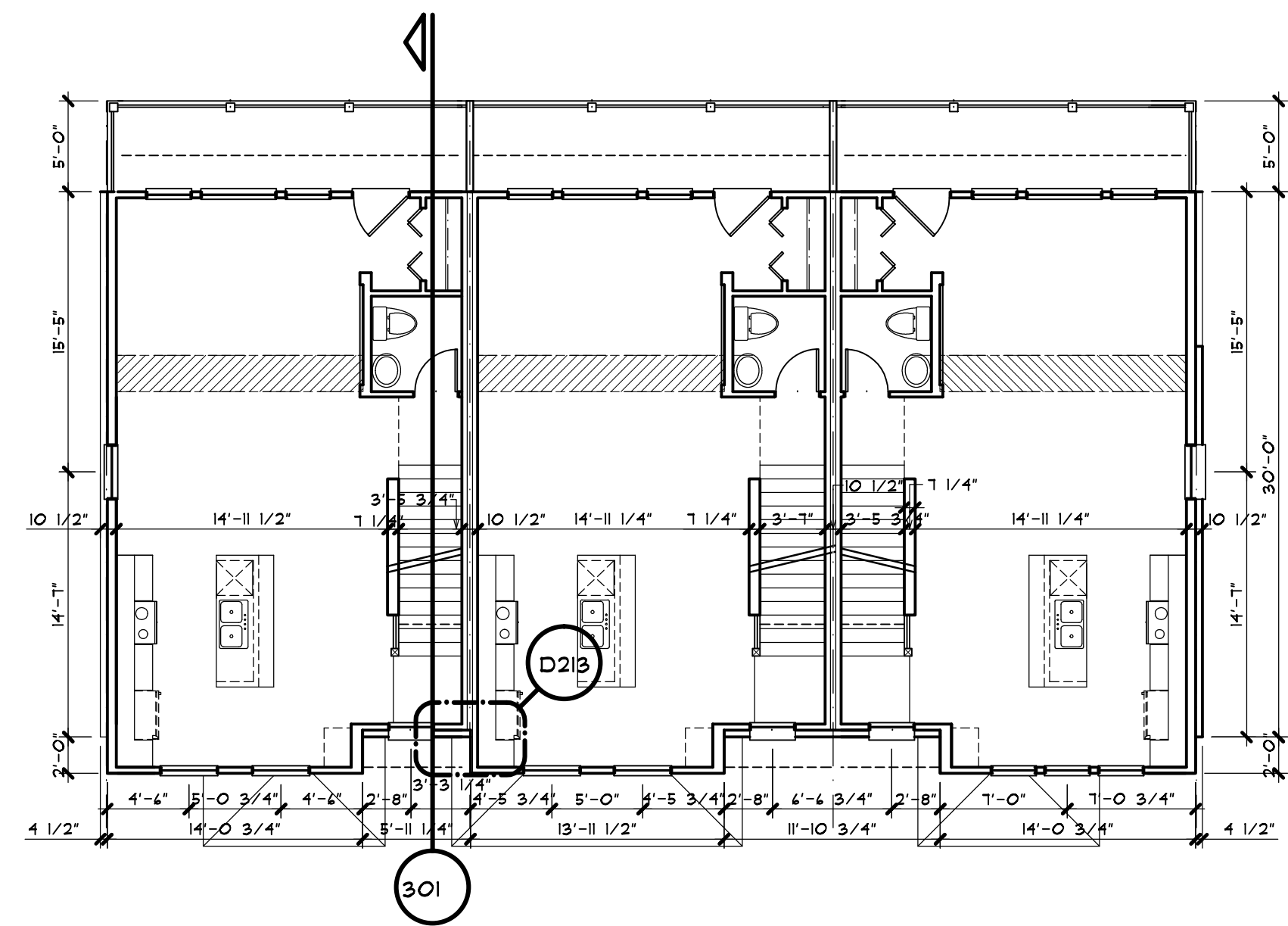
DO NOT SCALE THESE DRAWINGS. USE CALCULATED DIMENSIONS. IF VARIATIONS OCCUR CONTACT ARCHITECT FOR CLARIFICATION.





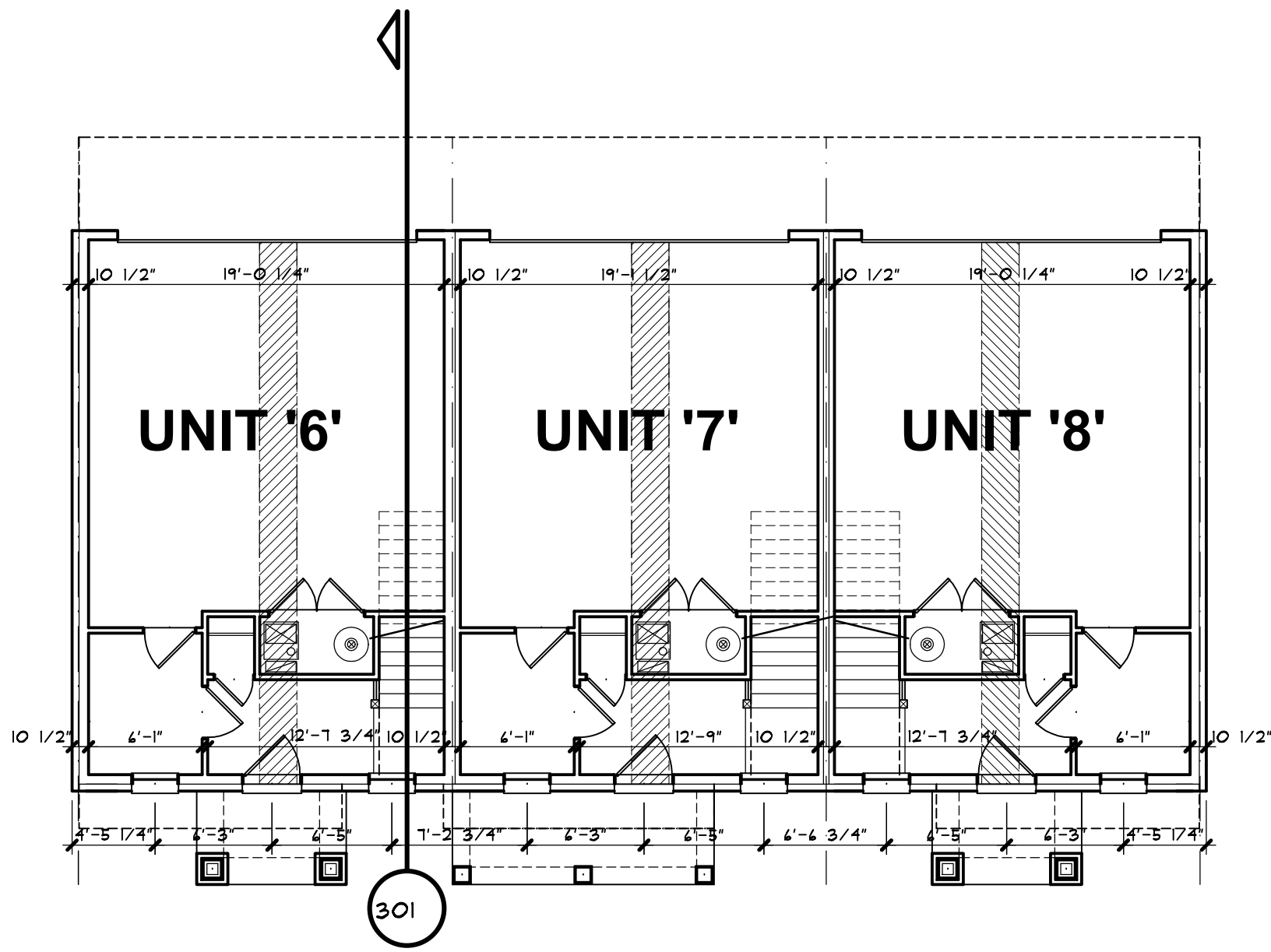
THIRD FLOOR PLAN

SCALE: 1/8" = 1'-0"



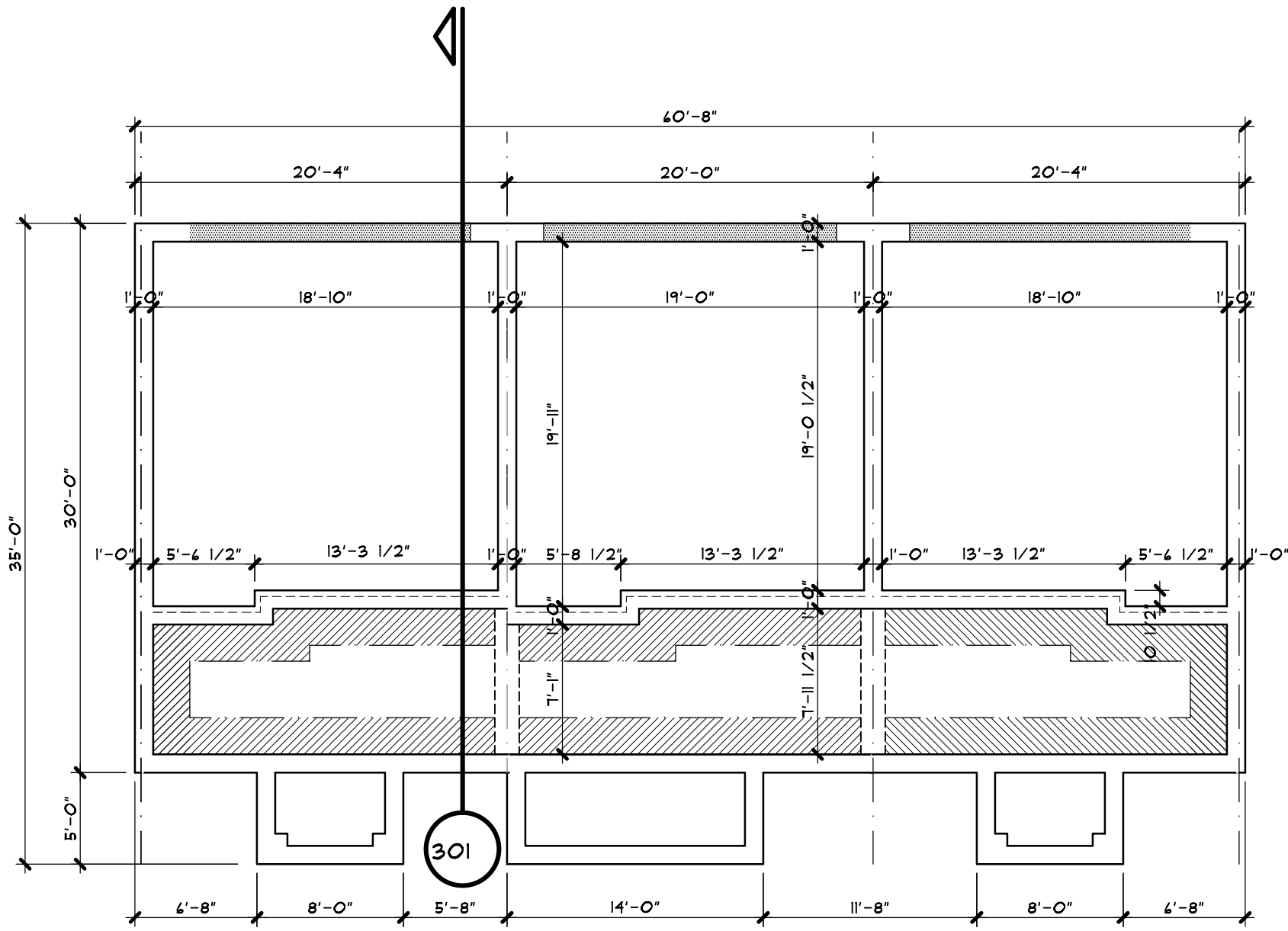
SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"



FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"



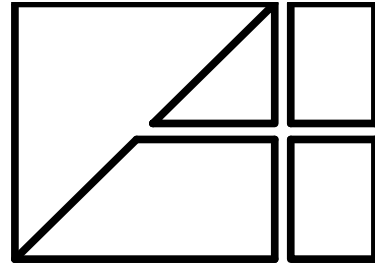
FOUNDATION PLAN

SCALE: 1/8" = 1'-0"

REFER TO 1/4" SCALE PLANS FOR
ADDITIONAL NOTES, DIMENSIONS,
STRUCTURAL SIZES & ALL OTHER
INFO. NOT SHOWN.

BUILDER RESERVES RIGHT TO
CHANGE 2 BEDROOM & 3 BEDROOM
UNITS AS MARKET DICTATES.

SEE CIVIL ENGINEER'S DWG# FOR
ALL FINAL A/C UNIT, ELECTRICAL
METER & GAS METER LOCATIONS.



Alexander V. Bogaerts + Associates, P.C. • Architecture • Planning • Interior Design

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Bloomfield Hills, MI 48302

248 • 334 • 5000

SHEET TITLE
3-UNIT BUILDING PLANS

UNITS 6-1-8

CLIENT/PROJECT
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06-08-17

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JOB NUMBER

DATE

SHEET NUMBER

12



SCALE: 1/8" = 1'-0"



SCALE: 1/8" = 1'-0"



SCALE: 1/8" = 1'-0"



SCALE: 1/8" = 1'-0"

STEEL LINTEL SCHEDULE	
LOOSE STEEL LINTELS FOR MASONRY - EXTERIOR ANGLES FOR BRICK OR STONE (NO FLOOR LOAD)	
MAX. CLEAR SPAN	LINTEL SIZE
5'-0" OR LESS	3 1/2" x 3 1/2" x 5/16"
5'-0" OR LESS	4" x 3 1/2" x 5/16"
8'-0" OR LESS	5" x 3 1/2" x 5/16"
9'-0" OR LESS	5" x 3 1/2" x 3/8"
10'-0" OR LESS	4" x 3 1/2" x 3/8"
NOTE: THIS SCHEDULE APPLIES UNLESS NOTED OTHERWISE ON THE PLAN AND/OR ELEVATIONS.	
NOTE: STEEL ANGLE LINTELS REQUIRE A SHOP COAT OF RUST-INHIBITIVE PAINT EXCEPT FOR LINTELS MADE OF CORROSION-RESISTANT STEEL.	

REFER TO 1/4" SCALE ELEVATIONS
FOR ADDITIONAL NOTES.
DIMENSIONS, & ALL OTHER INFO.
NOT SHOWN.

BUILDER RESERVES RIGHT TO
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UNITS AS MARKET DICTATES.

SEE CIVIL ENGINEER'S DWG. FOR
ALL FINAL A/C UNIT, ELECTRICAL
METER & GAS METER LOCATIONS

WINDOW SILLS

IN DWELLING UNITS, WHERE THE OPENING OF AN OPERABLE WINDOW IS LOCATED MORE THAN 12' ABOVE FINISHED GRADE OR SURFACE BELOW, THE LOWEST PART OF THE CLEAR OPENING OF THE WINDOW SHALL BE A MINIMUM OF 24 INCHES ABOVE THE FINISHED FLOOR OF THE ROOM IN WHICH THE WINDOW IS LOCATED. GLAZING BETWEEN THE FLOOR AND 24" SHALL BE FIXED OR HAVE OPENINGS THROUGH WHICH A 4 INCH DIAMETER SPHERE CANNOT PASS. EXCEPTIONS:

OVERHANGS & DRAINAGE

PROVIDE GUTTERS & DOWNSPOUTS FOR DRAINAGE OF ROOF WATER. DOWNSPOUTS ARE TO BE LOCATED SO THAT THE DISCHARGE WILL NOT SPILL ON OR FLOW ACROSS ANY PORCHES, WALKS OR DRIVES.

UNLESS NOTED OTHERWISE OVERHANG DIMENSIONS ARE 12" FROM FRAME. RAKE DIMENSIONS ARE 4" AT BRICK AND 6" AT SIDING.

TYP. WINDOW DESIGNATION

GENERAL REFERENCE FOR
ROUGH OPENING SIZES ONLY.
CONSULT WITH WINDOW
MANUFACTURER FOR EXACT
WINDOW SIZES & REQUIREMENTS.

3'-0"

6'-0"

3050

EGRESS WINDOW

EVERY SLEEPING ROOM SHALL HAVE AT LEAST ONE OPERABLE WINDOW OR EXTERIOR DOOR APPROVED FOR EMERGENCY EGRESS OR RESCUE. THE UNIT(S) MUST BE OPERABLE FROM THE INSIDE TO A FULL CLEAR OPENING OF THE ROOM. FIRE ESCAPE TOOLS, WHERE WINDOWS ARE PROVIDED AS A MEANS OF EGRESS, OR RESCUE, THEY SHALL HAVE SLIP HEIGHT OF NOT MORE THAN 44 INCHES ABOVE THE FLOOR. ALL EGRESS OR RESCUE WINDOWS FROM SLEEPING ROOMS MUST HAVE A MINIMUM NET CLEAR OPENING HEIGHT DIMENSION SHALL BE 24 INCHES AND WIDTH OF 20 INCHES.

BEFORE CONSTRUCTION OBTAIN WINDOW & DOOR ROUGH
OPENING SIZES FROM WINDOW/DOOR SUPPLIER.

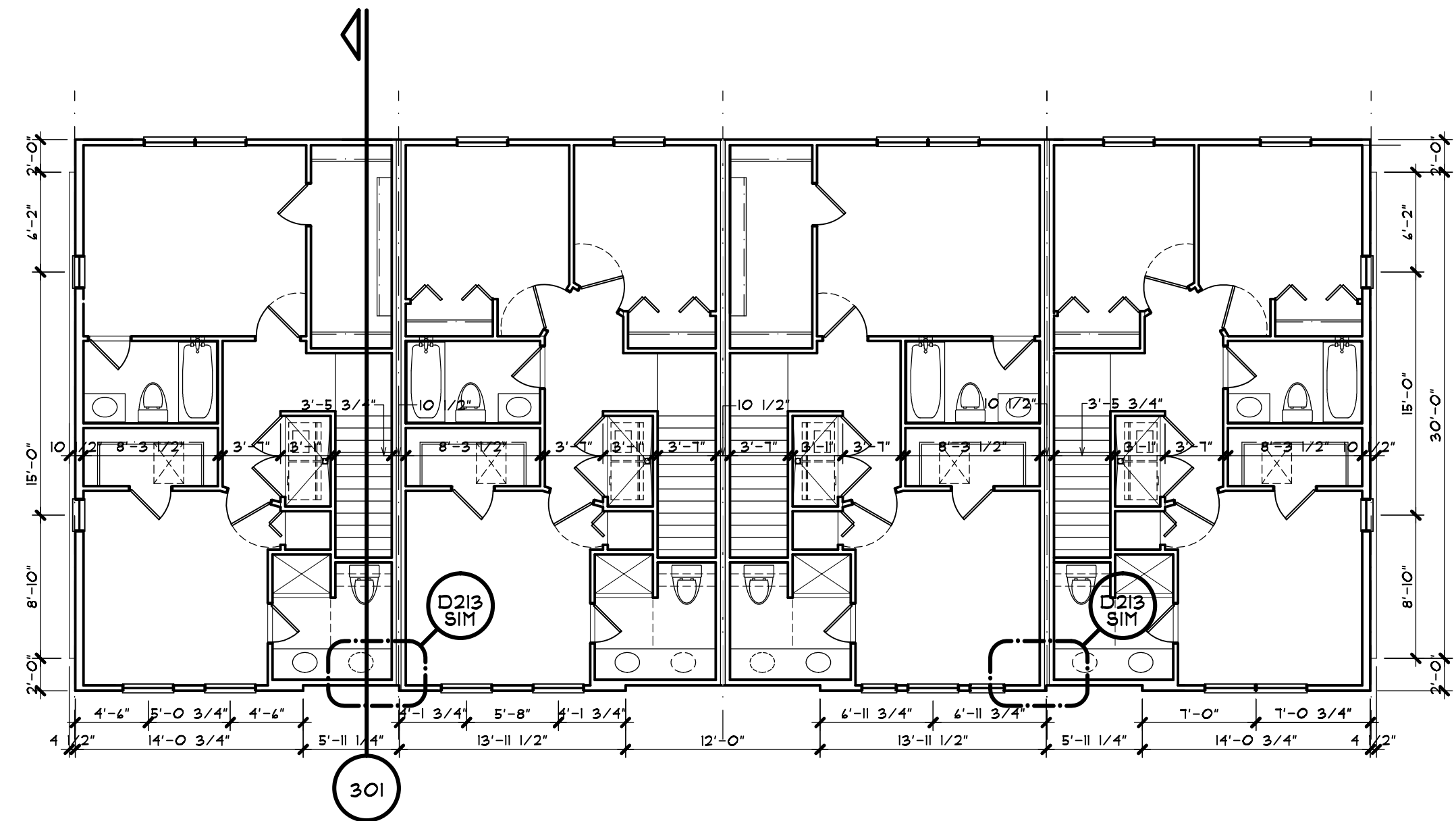
TRUSS DESIGNER/FABRICATOR SEE SHEET N-2
FOR ADDITIONAL NOTES & INFORMATION

SEE SHEETS N-3, D-1, & D-2 FOR ADDITIONAL
DETAILS REGARDING DRAWINGS & CONSTRUCTION

SEE SHEET N-1 FOR ADDITIONAL NOTES
REGARDING DRAWINGS & CONSTRUCTION

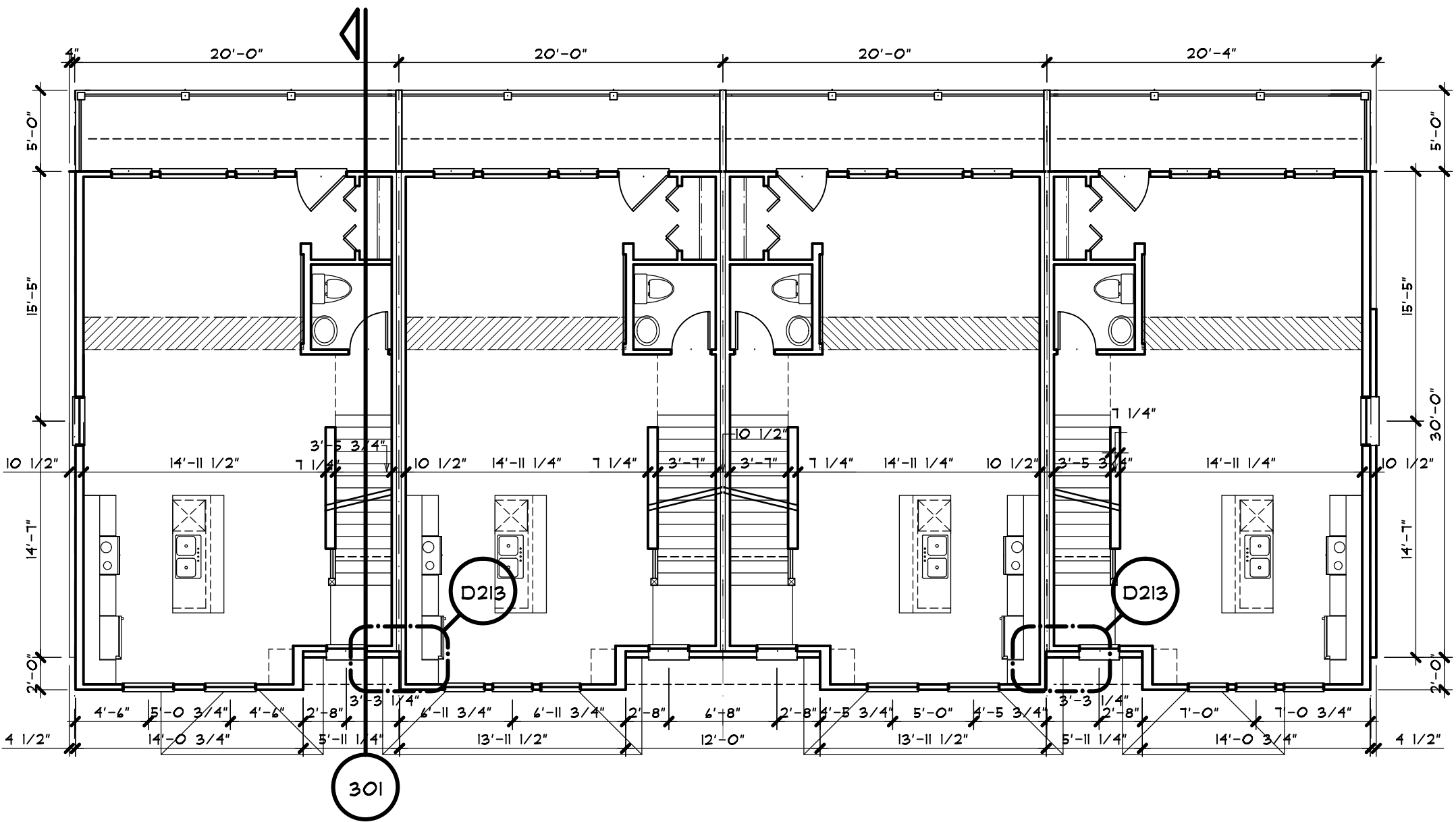
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ARCHITECT FOR CLARIFICATION.

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Architecture • Planning		2445 Franklin Road Bloomfield Hills, MI 48302 248•334•5000
ROBERTSON BROTHERS		SHEET TITLE 3-UNIT BUILDING ELEVATIONS
		UNITS 6-7-8
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<input checked="" type="checkbox"/> PERMITS 05-10-17		
<input checked="" type="checkbox"/> CONSTRUCTION 06-08-17		
REVISIONS		
DRAWN BY	EAF	
CAD FILENAME	NORMANDY.dwg	
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JOB NUMBER		
DATE		
SHEET NUMBER	13	



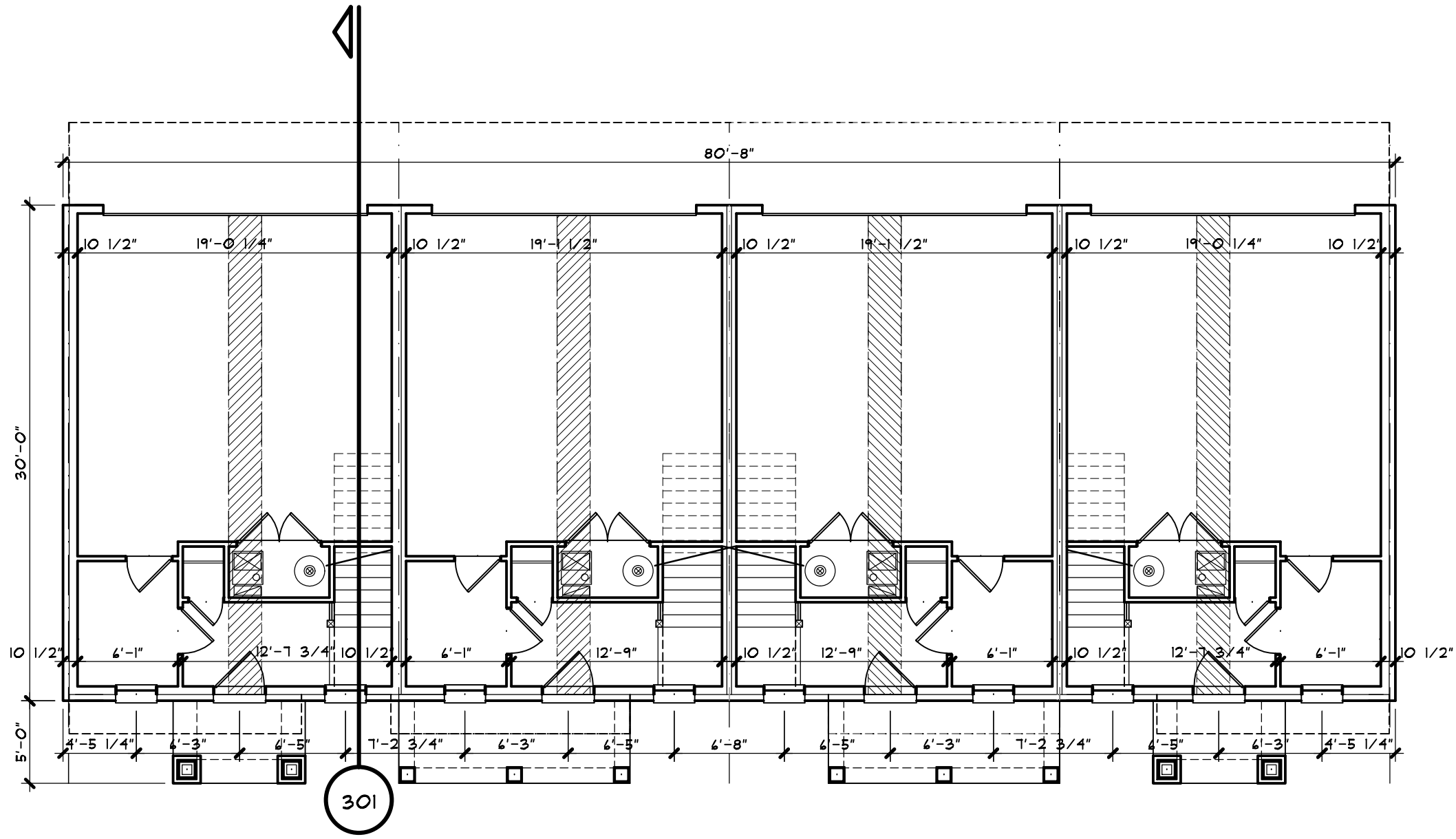
THIRD FLOOR PLAN

SCALE: 1/8" = 1'-0"



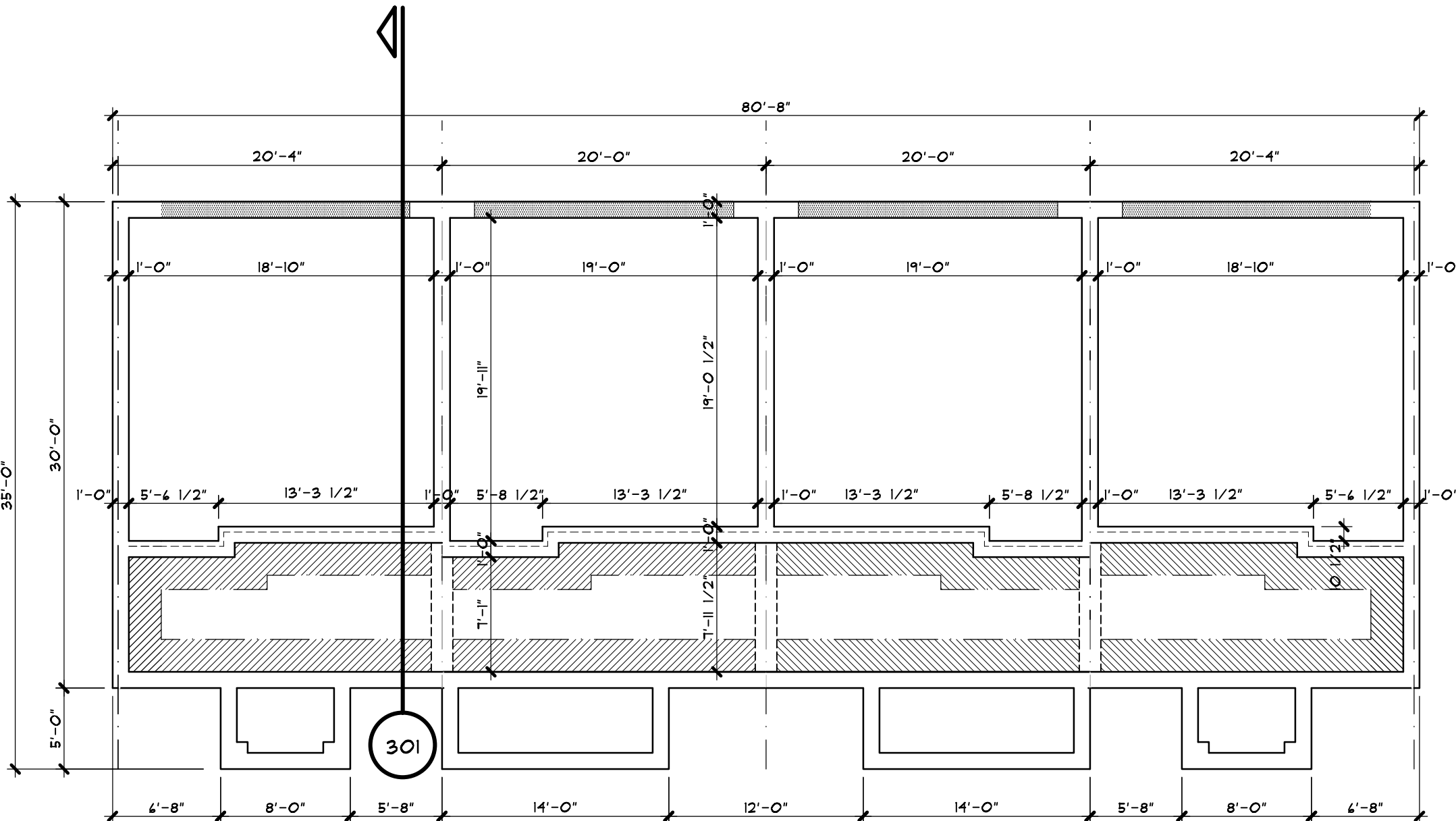
SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"



FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"



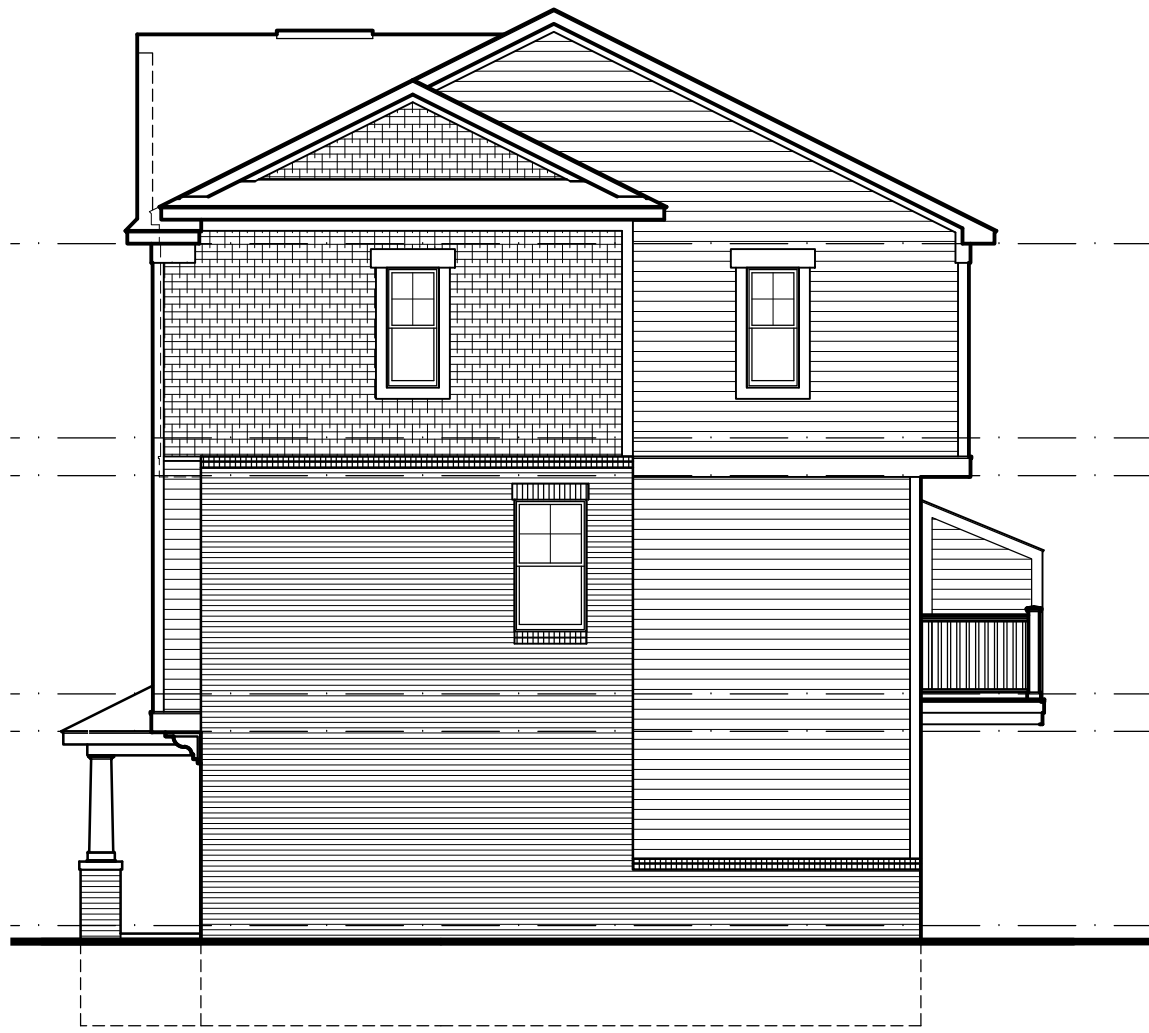
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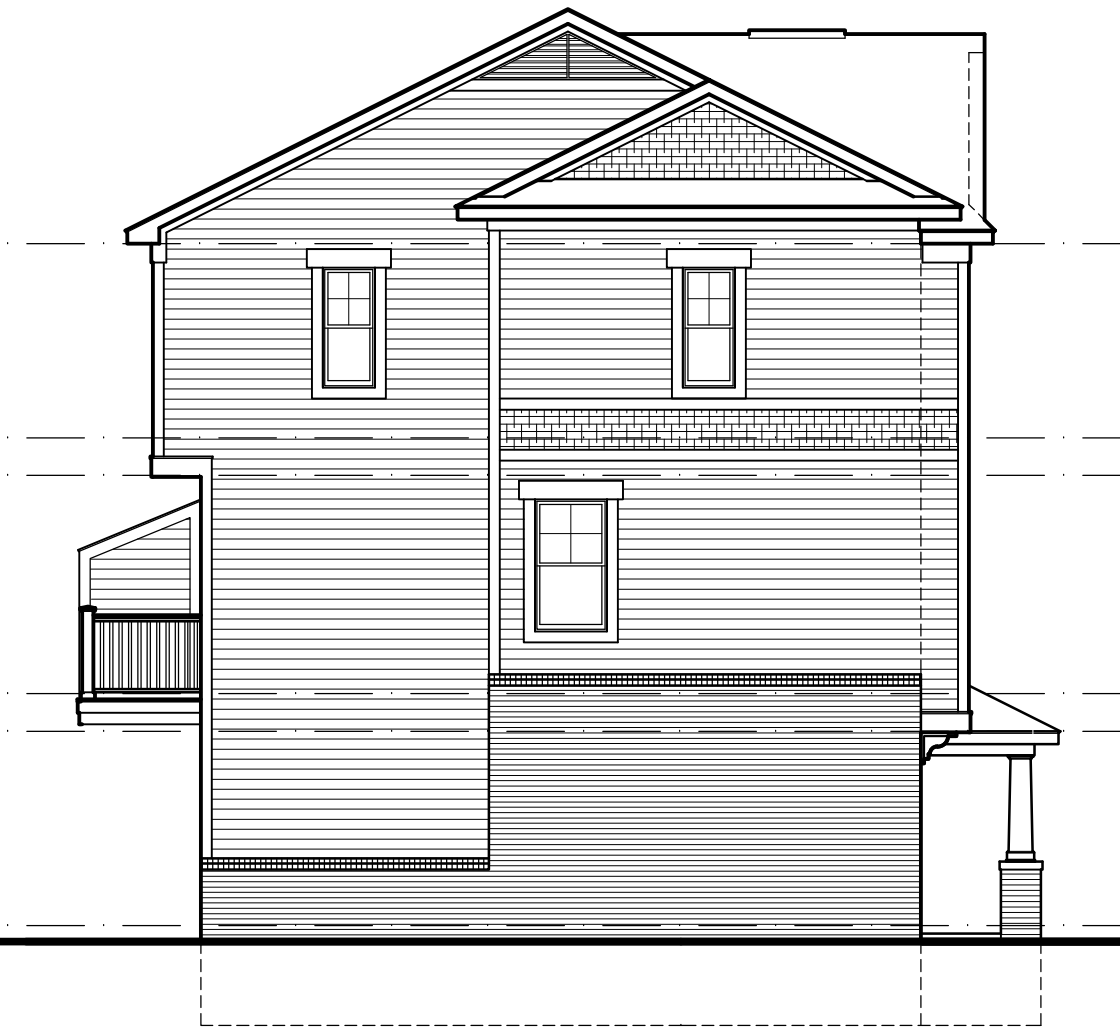
RIGHT SIDE ELEVATION

SCALE: 1/8" = 1'-0"



REAR ELEVATION

SCALE: 1/8" = 1'-0"



LEFT SIDE ELEVATION

SCALE: 1/8" = 1'-0"



FRONT ELEVATION

SCALE: 1/8" = 1'-0"

STEEL LINTEL SCHEDULE	
LOOSE STEEL LINTELS FOR MASONRY - EXTERIOR ANGLES FOR BRICK OR STONE (NO FLOOR LOAD)	
MAX. CLEAR SPAN	LINTEL SIZE
1'-0" OR LESS	3 1/2" x 3 1/2" x 5/16"
1'-0" OR LESS	4" x 3 1/2" x 5/16"
1'-0" OR LESS	5" x 3 1/2" x 5/16"
1'-0" OR LESS	5" x 3 1/2" x 3/8"
1'-0" OR LESS	6" x 3 1/2" x 3/8"
NOTE: THIS SCHEDULE APPLIES UNLESS NOTED OTHERWISE ON THE PLANS AND/OR ELEVATIONS.	
NOTE: STEEL ANGLE LINTELS REQUIRE A SHOP COAT OF RUST-INHIBITIVE PAINT EXCEPT FOR LINTELS MADE OF CORROSION-RESISTANT STEEL.	

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OVERHANGS & DRAINAGE	
PROVIDE GUTTERS & DOWNSPOUTS FOR DRAINAGE OF ROOF WATER. DOWNSPOUTS ARE TO BE LOCATED SO THAT THE DISCHARGE WILL NOT SPILL ON OR FLOW ACROSS ANY PORCHES, WALKS OR DRIVES.	
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TRUSS DESIGNER/FABRICATOR SEE SHEET N-2 FOR ADDITIONAL NOTES & INFORMATION

SEE SHEETS N-3, D-1, & D-2 FOR ADDITIONAL DETAILS REGARDING DRAWINGS & CONSTRUCTION

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05-10-17

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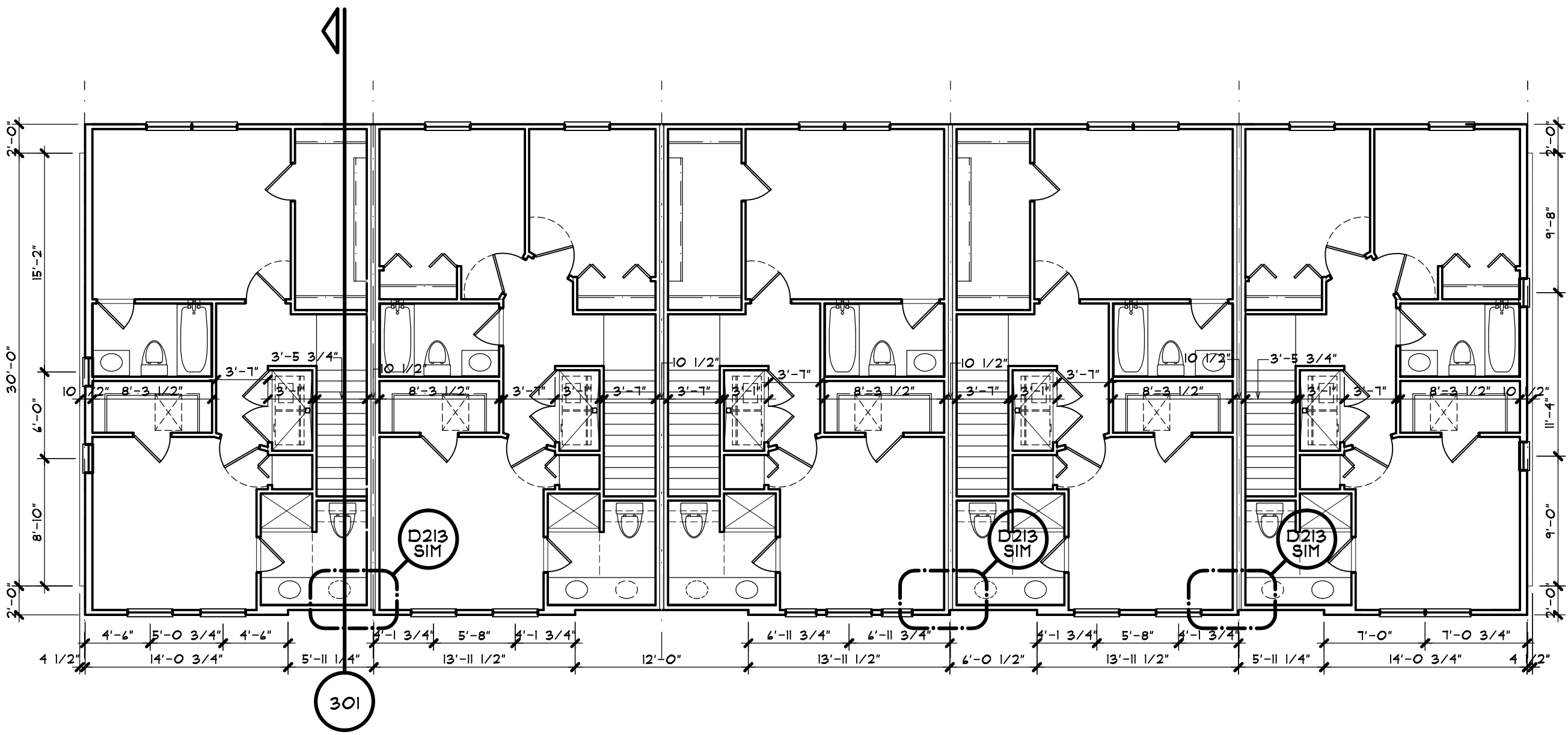
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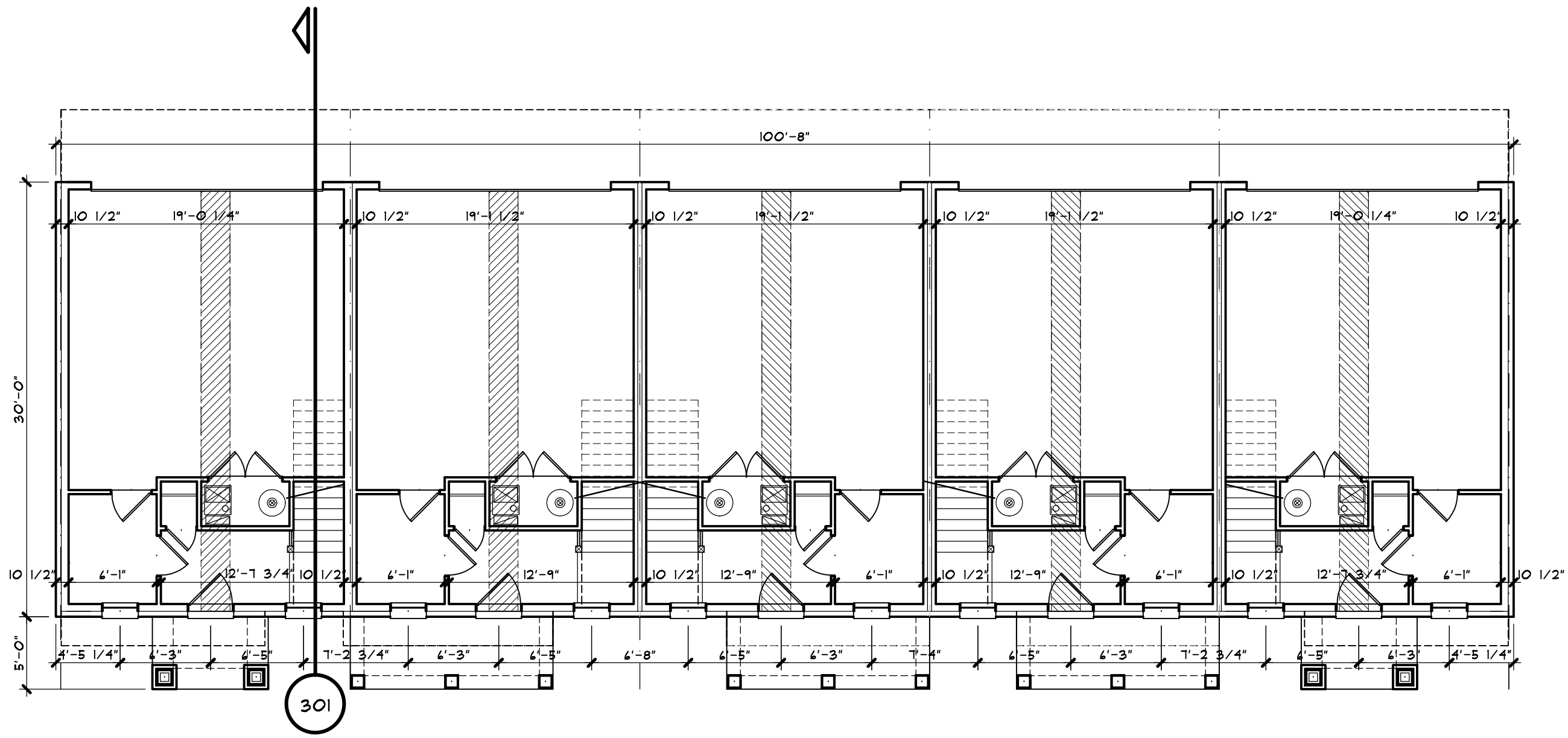
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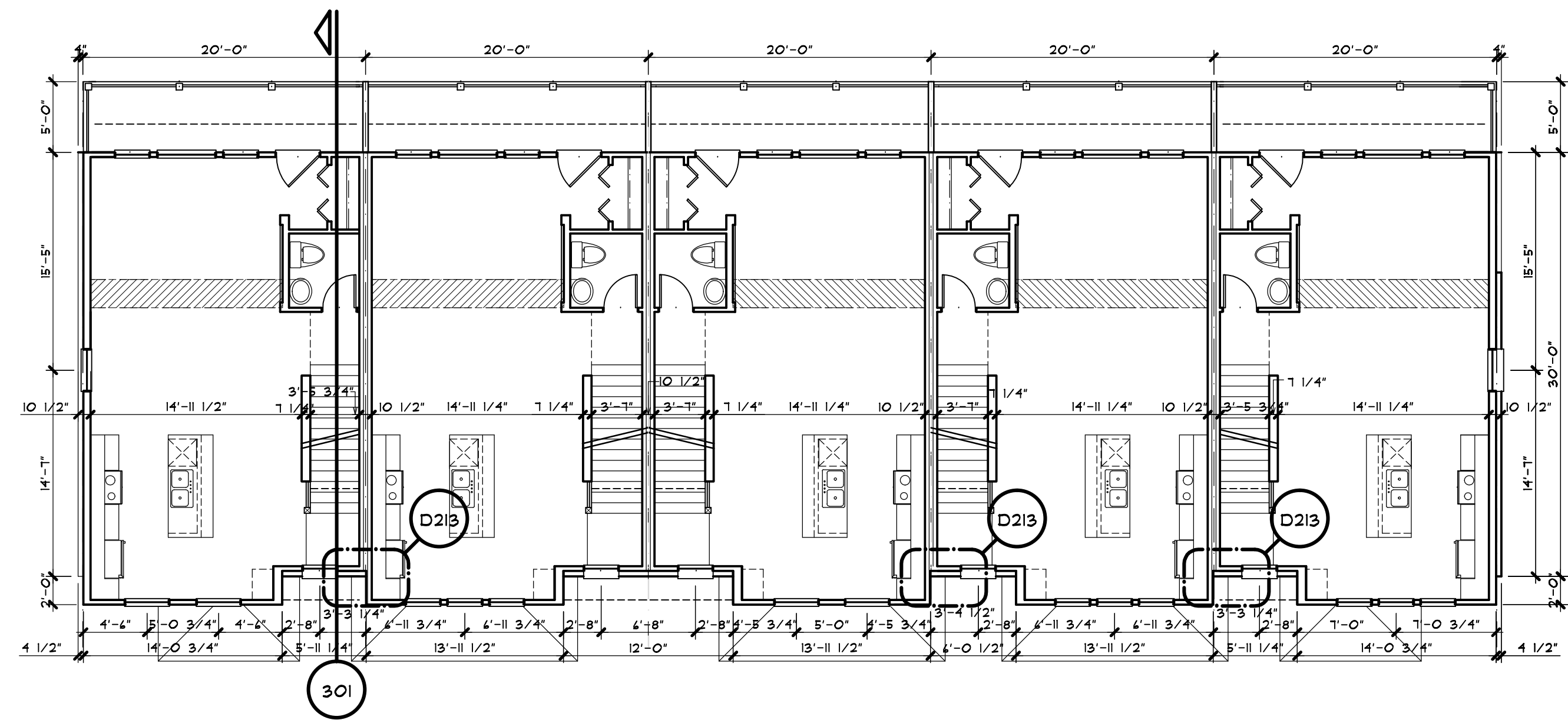
THIRD FLOOR PLAN

SCALE: 1/8" = 1'-0"



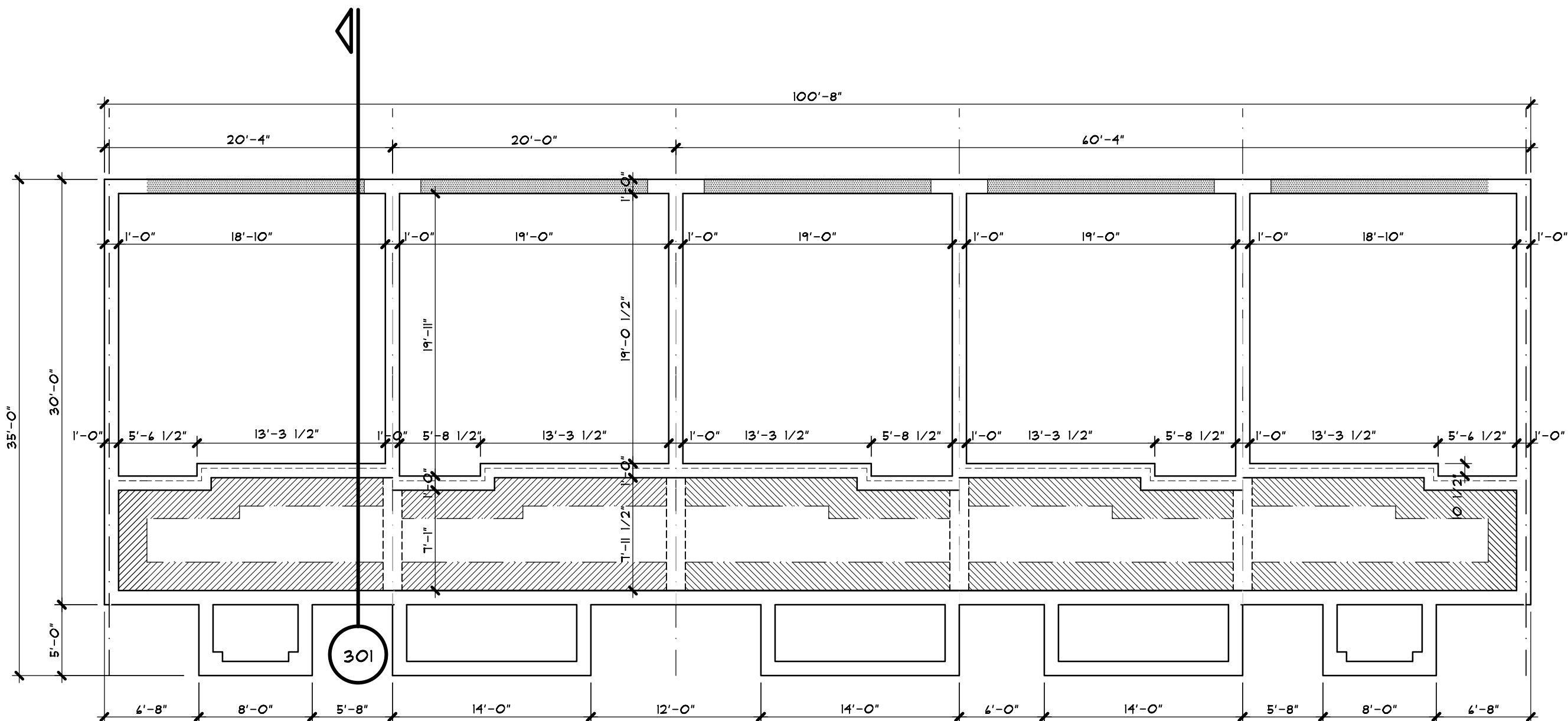
FIRST FLOOR PLAN

SCALE: 1/8" = 1'-0"



SECOND FLOOR PLAN

SCALE: 1/8" = 1'-0"



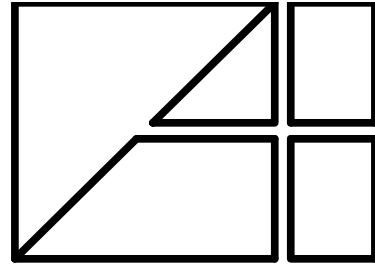
FOUNDATION PLAN

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BUILDER RESERVES RIGHT TO
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UNITS AS MARKET DICTATES.

SEE CIVIL ENGINEER'S DWG# FOR
ALL FINAL A/C UNIT, ELECTRICAL
METER & GAS METER LOCATIONS.



Interior Design
2445 Franklin Road
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248.334.5000

SHEET TITLE
5-UNIT BUILDING PLANS

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SCALE: 1/8" = 1'-0"



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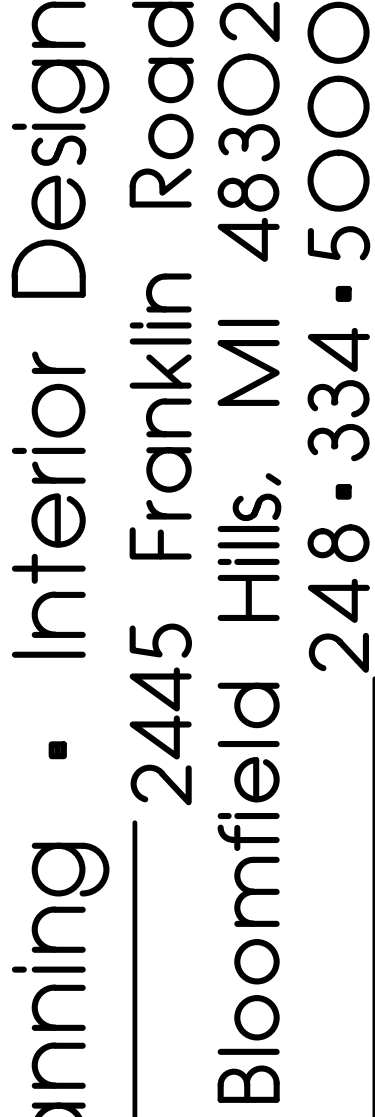
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SEE CIVIL ENGINEER'S DWG'S FOR
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SHEET TITLE **5-UNIT BUILDING ELEVATIONS**

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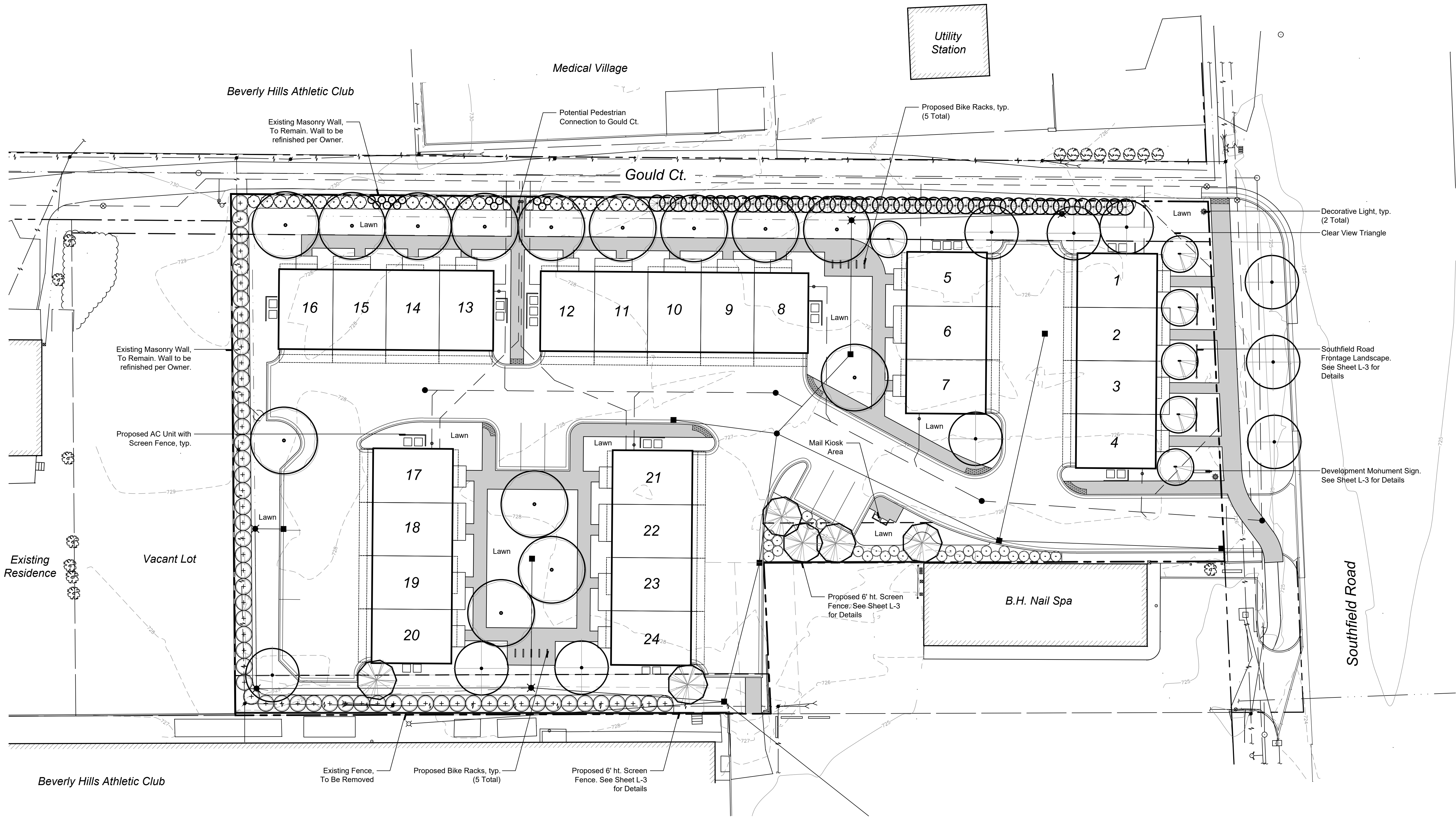
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 JOB NUMBER _____

 DATE _____

 SHEET NUMBER _____

11



■ sheet title:

Overall Landscape Plan

■ project title:

Beverly Square

Village of Beverly Hills, MI

■ prepared for:

Robertson Brother Homes
6905 Telegraph Rd. - Suite 200
Bloomfield Hills, MI 48301

Phone: 248.644.3460

■ job number:

15022

■ date:

05.17.2019

■ drawn by:

EMJ

■ checked by:

WTK

■ revisions:

09.26.2019 Per Municipal Review



Know what's below.
Call before you dig.



sheet no.

L-1

Landscape Summary

Parking Lot Landscape

Parking Area: 1,649.85 SF (Parking Spaces)
Required: 1 Tree / 2,000 SF of Parking Area (Min. 2 Trees)
Required: 2 Trees
Provided: 2 Trees

Street Trees

Required: 1 Tree / 30 LF of Frontage
Southfield Rd.:
Length of Frontage: 135.27 LF
Required: 5 Trees
Provided: 5 Trees (3 Canopy & 4 Ornamental)
Gould Ct.:
Length of Frontage: 367.21 LF
Required: 13 Trees
Provided: 13 Trees (12 Canopy & 2 Ornamental)
*2 Ornamental trees = 1 Required Canopy

Bike Racks

Total Rooms: 60 Rooms
- 2 Room Units: 12 (24 Total)
- 3 Room Units: 12 (36 Total)
Required: 1 Rack / 3 Rooms
Required: 10 Spaces
Provided: 10 Spaces
*2 Bike Parking Spaces per Rack

Buffer Strip Requirements

Required: 15' width Buffer
1 Tree / 30 LF of Buffer
4 Shrubs / 30 LF of Buffer
Adjacent to B.H. Nail Spa
Length of Buffer: 173.16 LF
Required: 15' width Buffer
6 Trees
24 Shrubs
Provided: 10' minimum width Buffer
4 Trees
27 Shrubs
Adjacent to Beverly Hills Athletic Club
Length of Buffer: 201.01 LF
Required: 15' width Buffer
7 Trees
27 Shrubs
Provided: 15' width Buffer
5 Trees
28 Shrubs

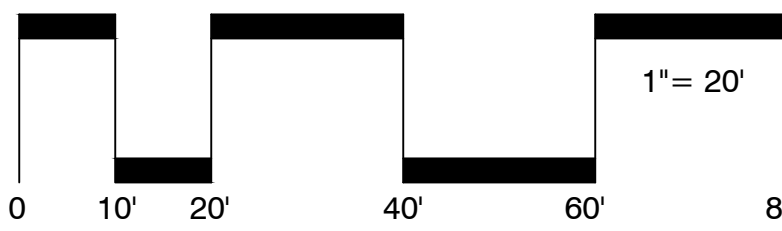
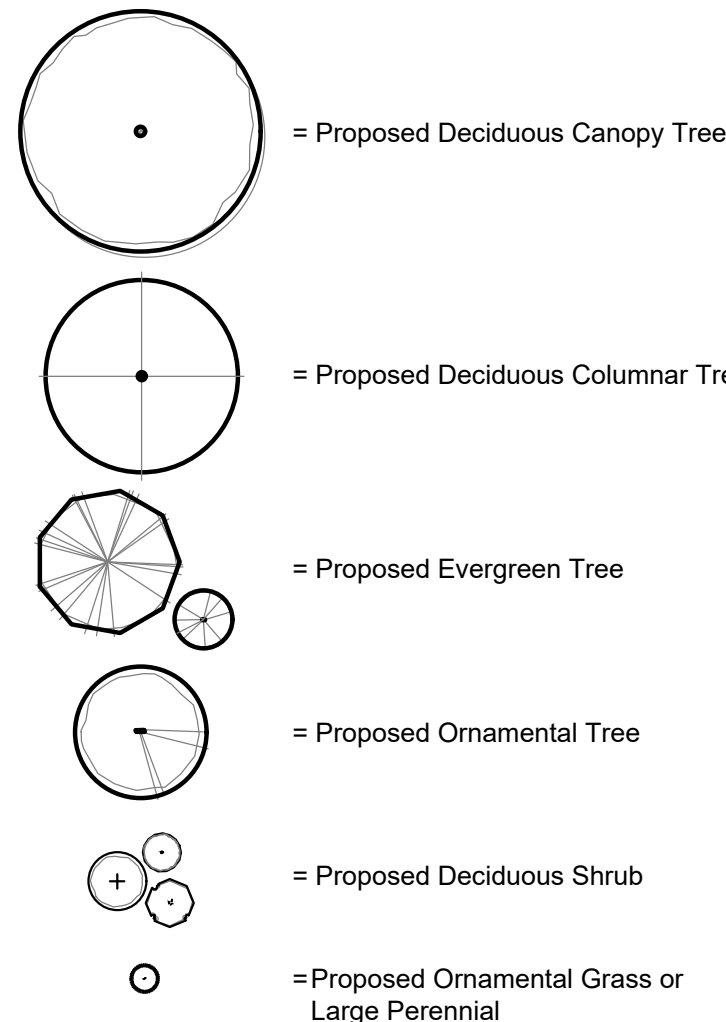
General Notes

This Landscape Plan is Conceptual and further details, calculations, and enlargements shall be determined and included for Final Site Plan Approval.

Plant Diversity Calculations shall be provided for Final Site Plan Approval.

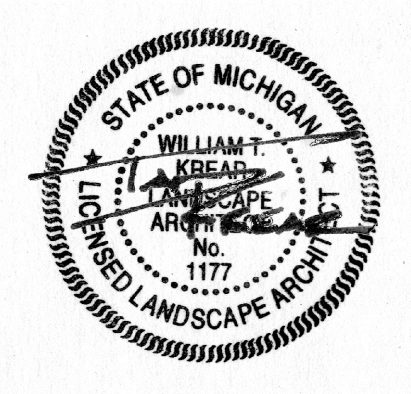
Details for the Decorative Lights shall be provided for Final Site Plan Approval (2 Total).

Legend



LEGEND

= Area Used in Public Open Space Calculations



■ sheet title:

Public Open Space
Calculation Plan

■ project title:

Beverly Square

Village of Beverly Hills, MI

■ prepared for:

Robertson Brother Homes
6905 Telegraph Rd. - Suite 200
Bloomfield Hills, MI 48301

Phone: 248.644.3460

■ job number: ■ date:

15022 05.17.2019

■ drawn by: ■ checked by:

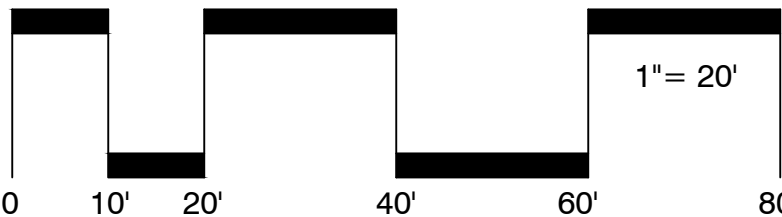
EMJ WTK

■ revisions:

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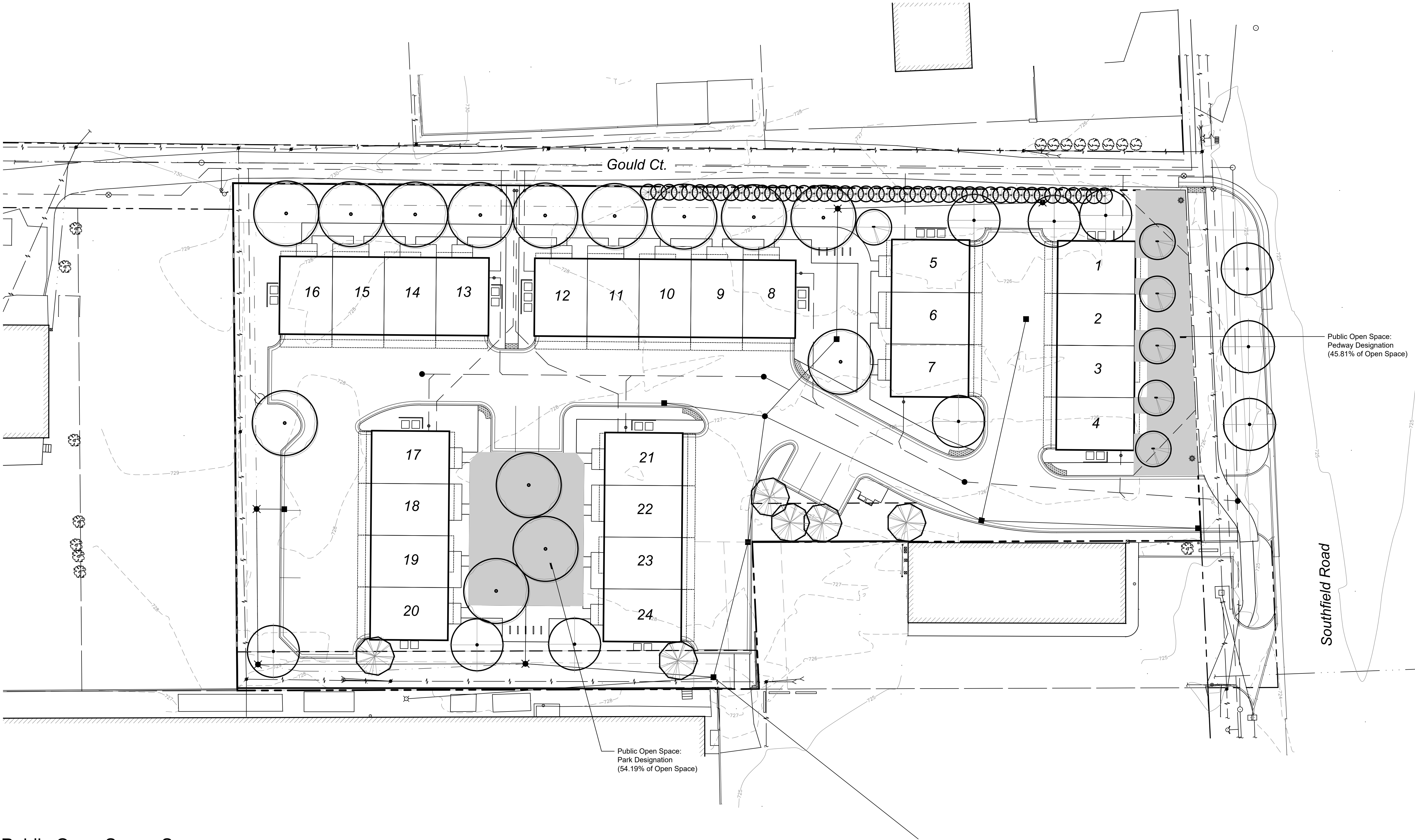


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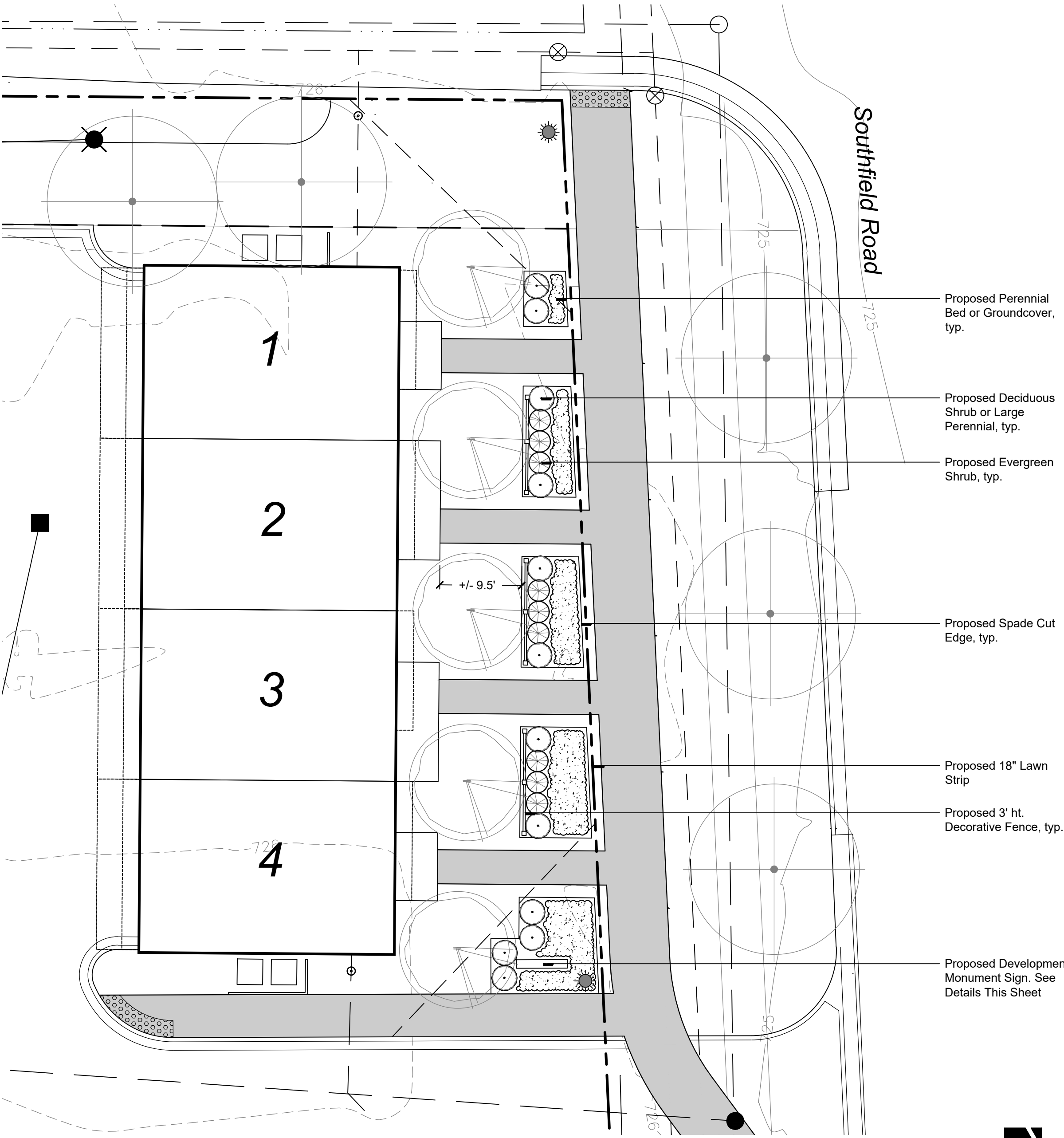
sheet no.

L-2

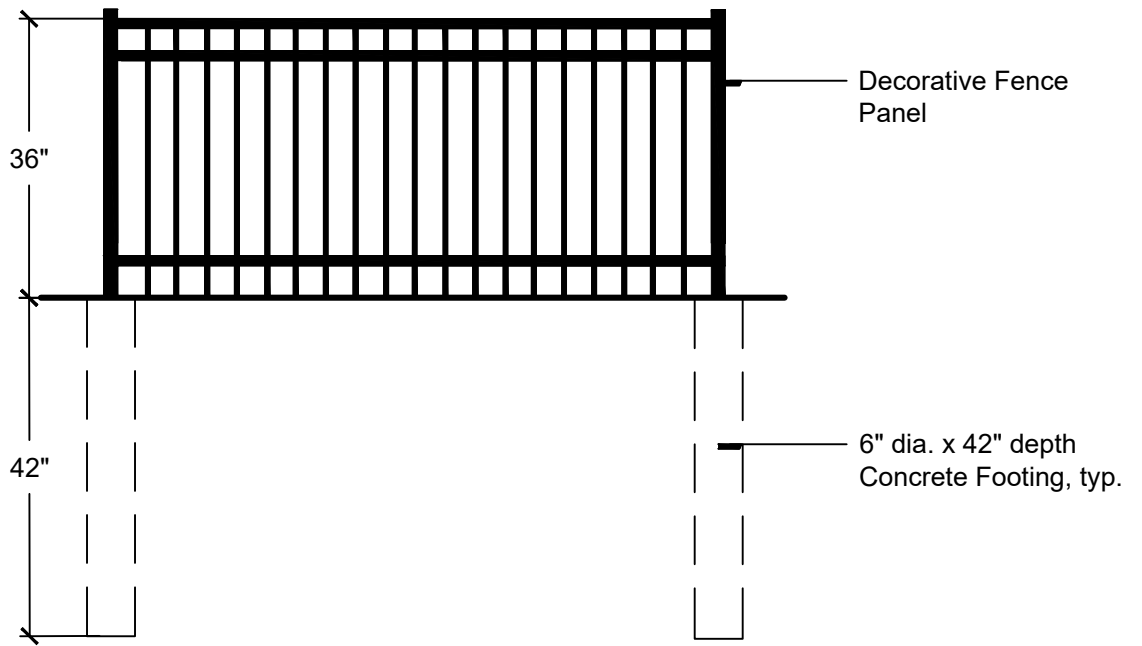
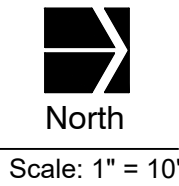


Public Open Space Summary

Required: Minimum of 5% of the gross floor area of all stories
of proposed buildings.
Total Floor Area: 43,912.80 SF
Required: 2,195.64 SF
Provided: 4,768.66 SF (10.86% of Floor Area)



Southfield Road Frontage Enlargement Plan



Decorative Fence Detail

Manufacturer: Elegant Aluminum Products
16965 Masonic
Fraser, MI 48026
www.elegantaluminum.com
800.546.3362
Model: F-Signature (3-Channel)
Architecture Line Fence
Black

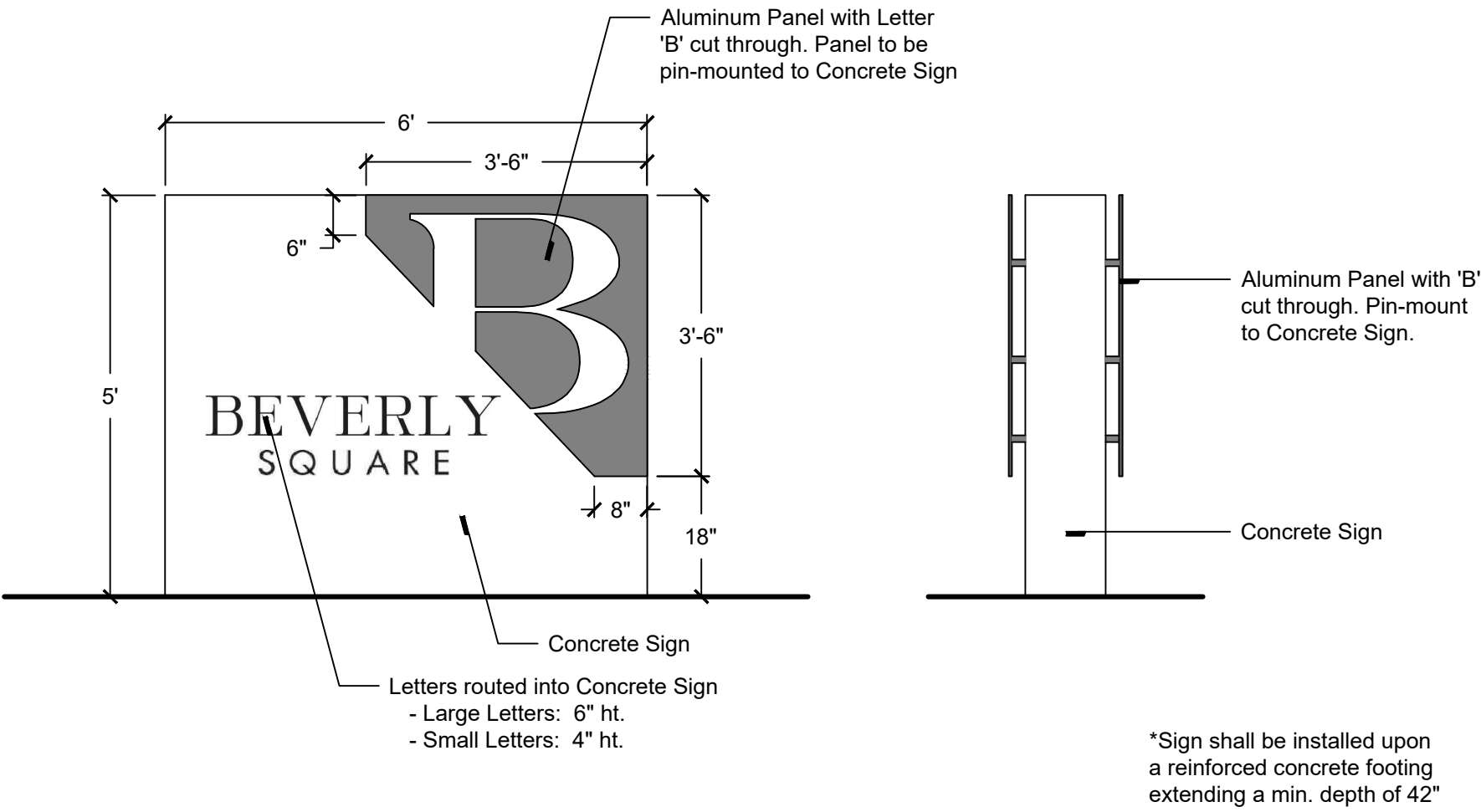
Scale: $\frac{3}{4}$ " = 1'



6' ht. Screen Fence Detail

Available From: Anchor Fence & Supply Co.
26345 Plymouth Rd.
Redford, MI 48239
www.anchorfenceonline.com
Model: Chesterfield CertaGrain
Arbor Blend

NTS



Conceptual Development Sign Details

Sign Data:
- Allowable Height: 8'
- Proposed Height: 5'
- Allowable Area: 30 sf
- Proposed Area: 30 sf

Notes:
- Sign shall be double sided with each side bearing the same content
- These Sign Details are representative only.
- A sign permit shall be obtained prior to Development Sign construction
- Sign shall be illuminated with landscape ground-mounted lighting

Scale: $\frac{3}{4}$ " = 1'



sheet title:

Southfield Frontage Enlargement & Details

project title:

Beverly Square

Village of Beverly Hills, MI

prepared for:

Robertson Brother Homes
6905 Telegraph Rd. - Suite 200
Bloomfield Hills, MI 48301

Phone: 248.644.3460

job number: date:

15022 05.17.2019

drawn by: checked by:

EMJ WTK

revisions:

09.26.2019 Per Municipal Review

sheet no.

L-3



Know what's below.
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Landscape Maintenance Notes

All Landscape Maintenance shall be performed by Owner or Owner's desired Landscape Contractor or Landscape Maintenance Company.

Overall

- The owner of the property shall be responsible for the regular maintenance of all landscaping. Landscaped areas and plant materials required by the Beverly Hills Ordinance shall be kept free from refuse and debris. Plant materials, including lawn, shall be maintained in a healthy growing condition, neat and orderly in appearance per the intent of the approved site plan.
- If any plant material required with an approved site plan dies or becomes diseased, it shall be replaced within thirty (30) days of receiving written notice from the Village or within an extended time period as specified in said notice.

Lawn & Turf

- Lawn shall not be irrigated the prior to scheduled mowing
- Maintain a lawn height or 2-1/2" to 3-1/2"
- Lawn shall be mowed with a mulching mower or mower affixed with a mulching blade. Grass clippings shall be left on the lawn to decompose and release nutrients back into the soil
- Inspect Irrigation system after mowing to ensure no damage has been done to the components
- Maintenance Contractor shall maintain clean equipment to prevent potential spread of unwanted seeds, pests, and pathogens

Shrubs

- Prune shrubs on an as-needed basis and only to maintain the plant's natural appearance
- Allow shrubs to mature and fill planting areas as designed
- Allow designed hedges to grow together prior to pruning into a uniform shape

Groundcovers

- Keep free of weeds, grass, and refuse
- Prune lightly to maintain natural appearance
- Allow groundcovers to fill the intended planting area

Perennials

- Prune dead flower stalks that emerge during the summer to encourage foliage growth
- Perform seasonal pruning, weeding, and dead-heading as necessary to maintain a neat appearance and encourage flowering

Trees

- Remove weeds and suckers from around the base of trees
- Prune trees for safety, health, or structural clearance. Remove crossing and damaged branches
- Do not top trees for any reason
- Check on tree staking on a regular basis to ensure that ties and stakes are not damaging the trees. Maintain tree stakes until the tree can stand on its own. Upon reaching this point, remove and properly dispose of all tree stakes, ties, and wiring

Mulch

- Maintain hardwood mulch at a 3" depth and replenish as needed
- Keep mulch at least 3" away from plant stems and tree trunks
- Maintain clean-cut mulch edges and tree rings that match the designed edges

Weed Management

- Remove and properly dispose of any weeds and tree suckers that appear in planting beds. Use the least destructive methods possible

Fertilization

When fertilizing, use organic or non-chemical alternatives whenever possible to reduce the runoff into the Paint Creek

Pest Control

- When using pesticides, use organic or non-chemical alternatives whenever possible to reduce the runoff into the Paint Creek

Bed Edging

- Maintain Spade Cut Edges as designed, as necessary

Landscape Notes

- All plant material shall be true to name and free from physical damage and wind burn.
- Plants shall be full, well-branched, and in a healthy, vigorous growing condition.
- Plants shall be watered before and after planting is complete.
- All trees must be staked, fertilized, and mulched and shall be guaranteed to exhibit a normal growth cycle for at least one (1) full year following planting.
- All material shall conform to the guidelines established in the most recent edition of the American Standard for Nursery Stock.
- Provide clean backfill soil, using material stockpiled on site. Soil shall be screened and free of any debris, foreign material, or stone.
- "Agriform" tabs or similar slow-release fertilizer shall be added to the planting pits before being backfilled.
- Amended planting mix shall consist of 1/3 screened topsoil, 1/3 sand, and 1/3 peat.
- All plantings shall be mulched with shredded hardwood bark, spread to a minimum depth of 3". Mulch is to be free from debris and foreign material and shall contain no pieces of inconsistent size.
- The Landscape Contractor shall be responsible for all work shown on the landscape drawings and specifications.
- No substitutions or changes of location, or plant types shall be made without the approval of the Landscape Architect or Owner's representative.
- The Landscape Architect shall be notified of any discrepancies between the plans and field conditions prior to installation.
- The Landscape Contractor shall be responsible for maintaining all plant material in a vertical condition throughout the guaranteed period.
- The Landscape Architect shall have the right at any stage of the installation to reject any work or material that does not meet the requirements of the plans and specifications, if requested by the owner. The Contractor shall be responsible for checking plant quantities to ensure quantities on drawings and plant list are the same. In the event of a discrepancy, the quantities on the plans shall prevail.
- The Landscape Contractor shall seed and mulch or sod (as indicated on plans) all areas disturbed during construction, throughout the contract limits.
- A pre-emergent weed control agent, "Preen" or equal, shall be applied uniformly to all planting beds prior to mulching.
- All lawn areas to be irrigated.
- The Developer and Landscape Architect reserve the right to change location of plant material and after plant species/variety at the time of installation based upon availability and quantity of material as well as site conditions. Materials will be of similar size, appearance and growth habit.
- All Lawn areas shall be Seeded or Sodded
- All Landscape Areas shall be irrigated by an automatic irrigation system with separate zones for Lawn and Plants.



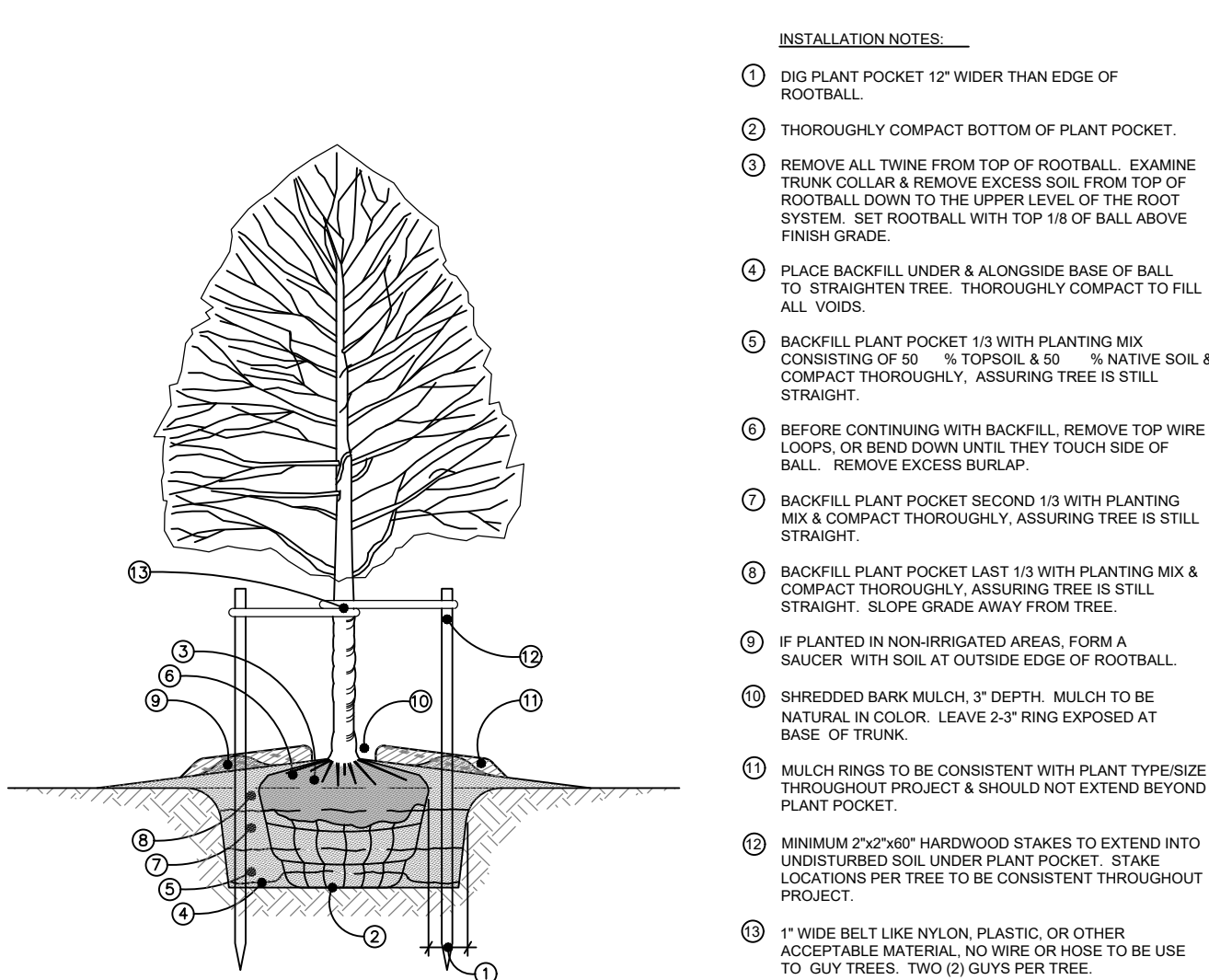
Decorative Mailbox - 16 Gang CBU

Manufacturer: Salsbury Industries
1010 E. 62nd St.
Los Angeles, CA 90001
www.mailboxes.com
Model: Regency Decorative CBU
#3316R
Black
Quantity: 1



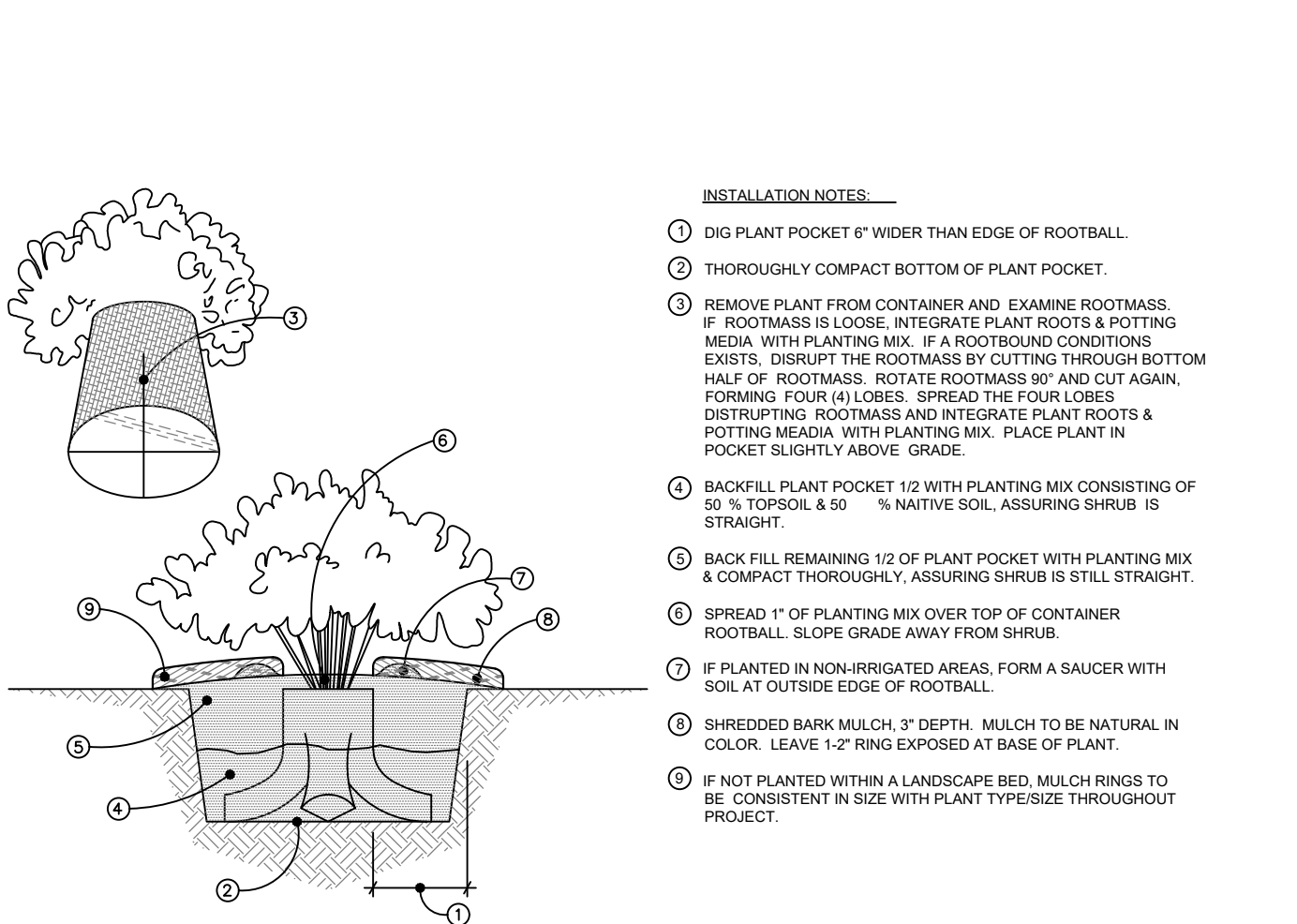
Decorative Mailbox - 12 Gang CBU

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1010 E. 62nd St.
Los Angeles, CA 90001
www.mailboxes.com
Model: Regency Decorative CBU
#3312R
Black
Quantity: 1



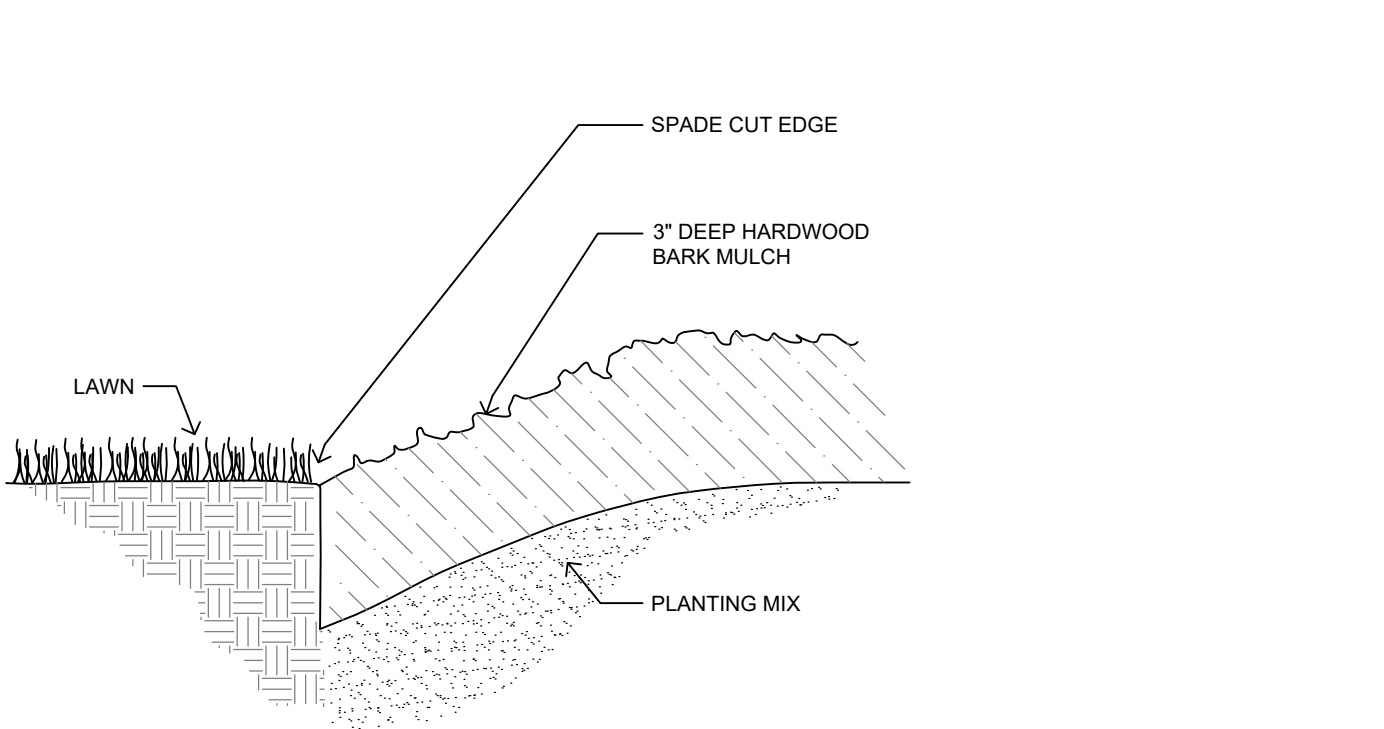
Deciduous Tree Planting Detail - 4" Cal. and Under

Scale: NTS



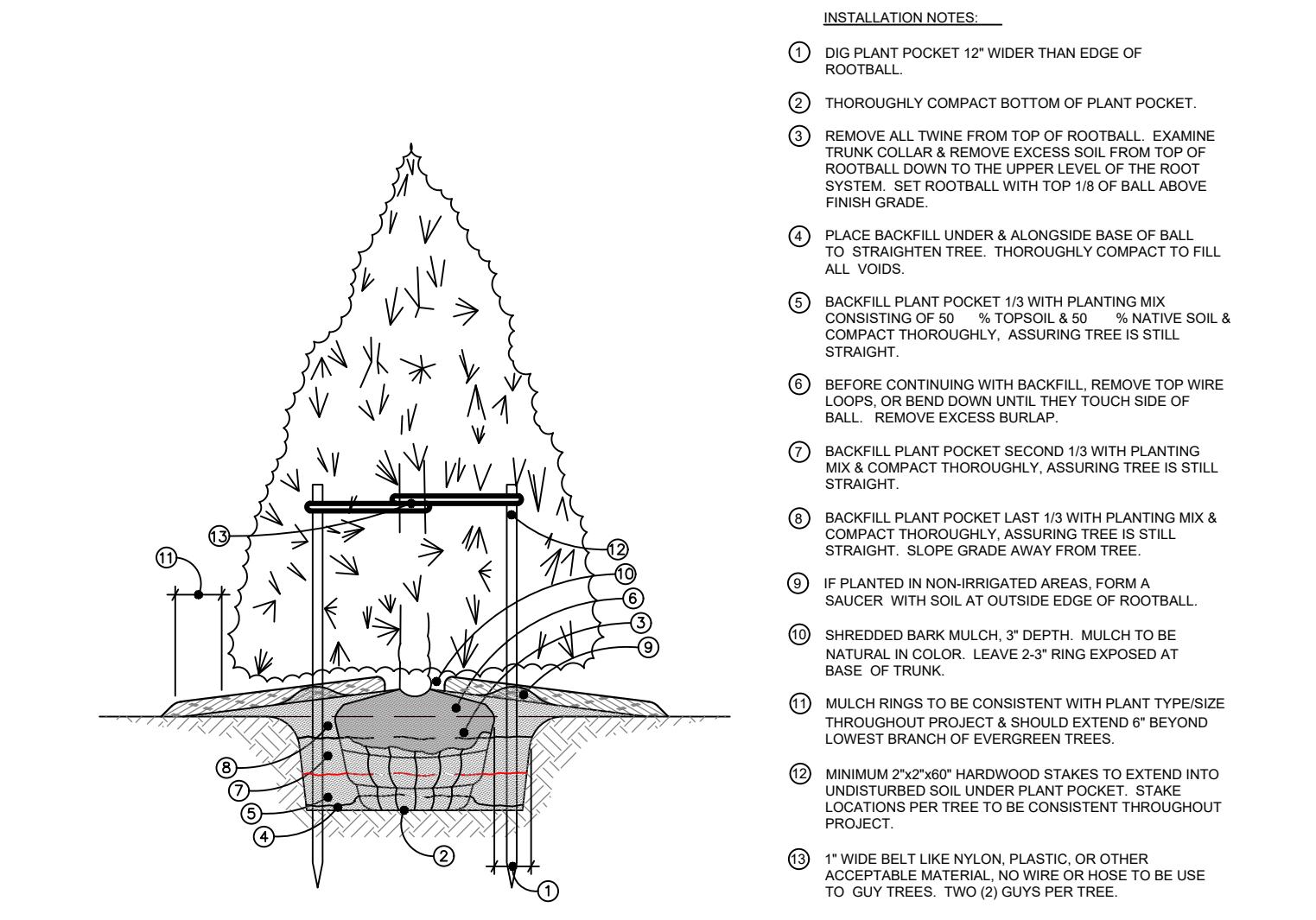
Shrub Planting Detail - Container

Scale: NTS



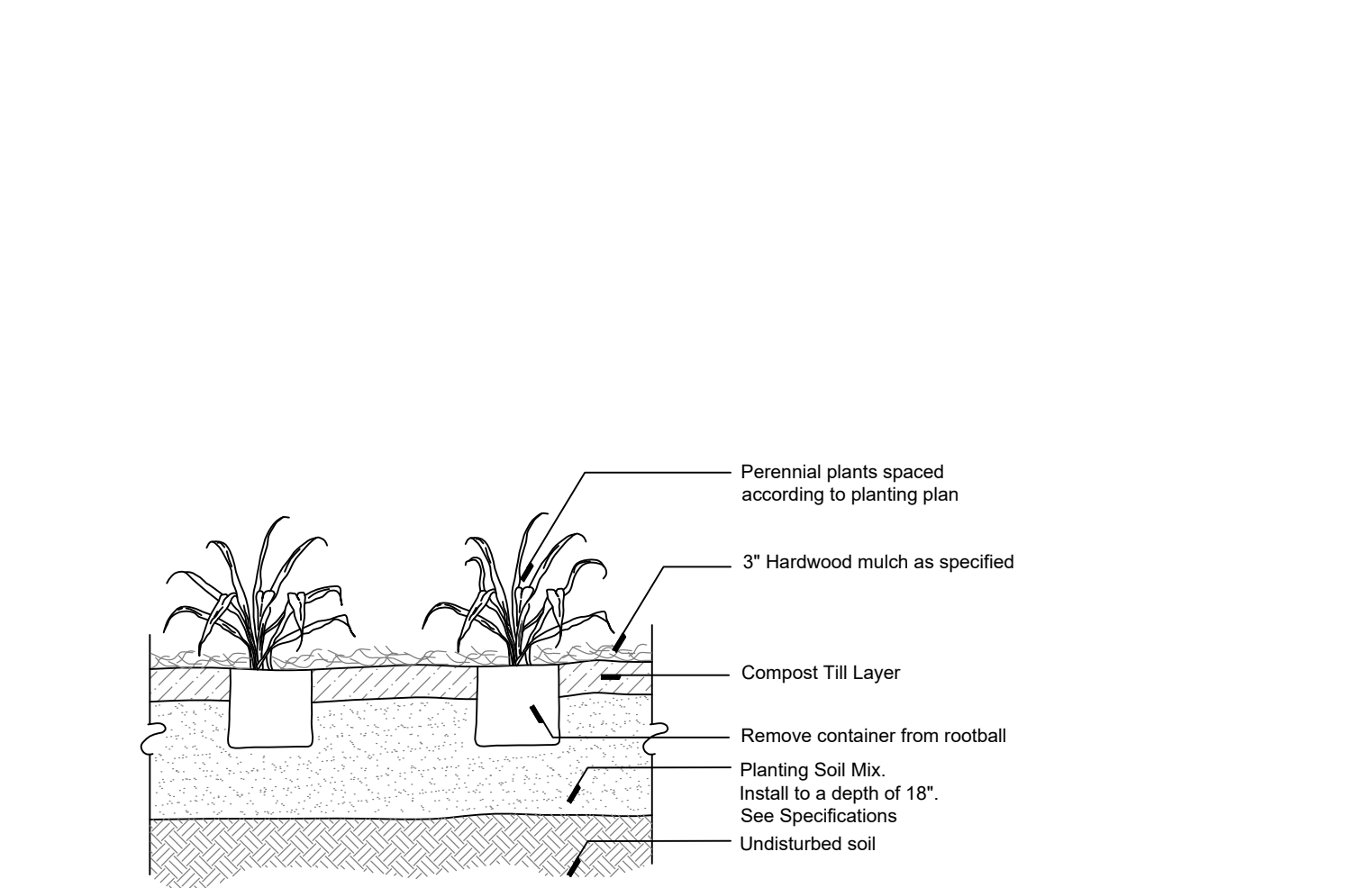
Spade Cut Edging Detail

Scale: NTS



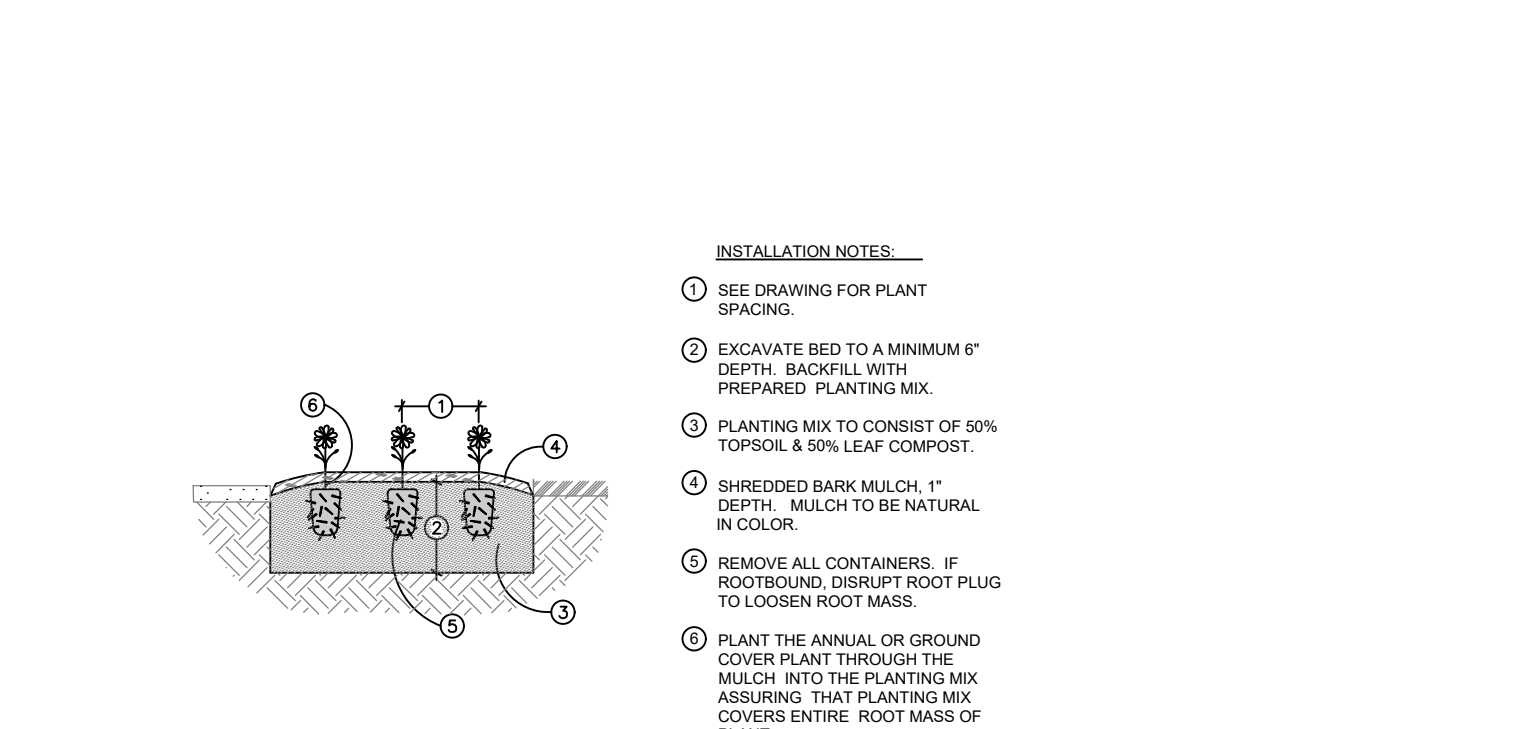
Evergreen Tree Planting Detail - 10' Ht. and Under

Scale: NTS



Perennial Planting Detail

Scale: NTS



Annual & Ground Cover Planting Detail

Scale: NTS

750 Forest Ave. - Suite 101
Birmingham, MI 48009
T.: 248.594.3220

LEGEND



sheet title:

Details & Notes

project title:

Beverly Square

Village of Beverly Hills, MI

prepared for:

Robertson Brother Homes
6905 Telegraph Rd. - Suite 200
Bloomfield Hills, MI 48301

Phone: 248.644.3460

job number:

15022

date:

05.17.2019

drawn by:

EMJ

checked by:

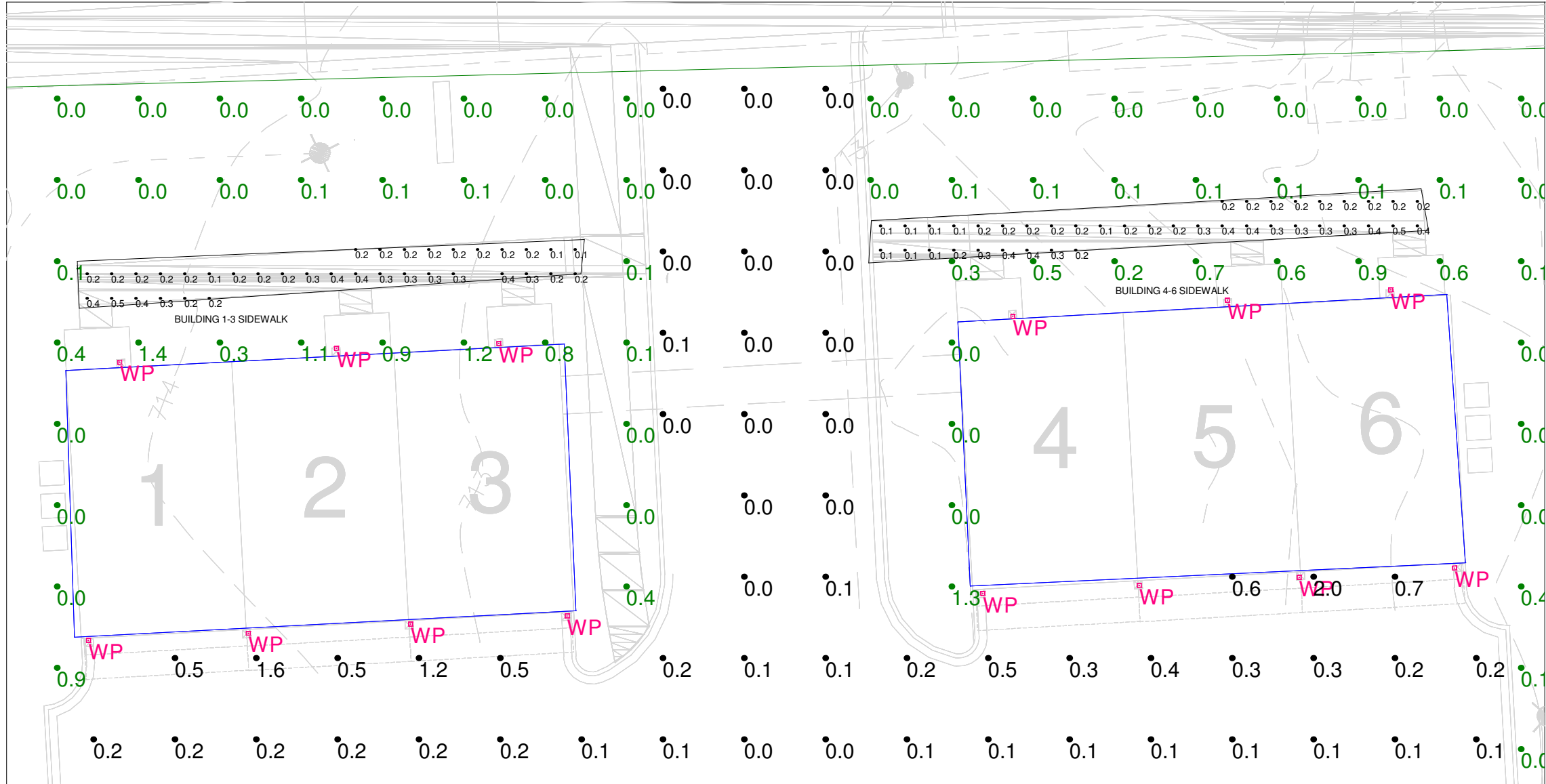
WTK

revisions:

09.26.2019 Per Municipal Review



sheet no.



View 1:BUILDINGS 1-4 & 4-6
Scale: 1 inch= 16 Ft.

Luminaire Schedule							Filename	
Symbol	Qty	Label	Arrangement	Lumens/Lamp	LLF	Description		
	61	WP	SINGLE	800	0.800	9290011969 G4 .IES Photometric_bare lamp	9290011969 G4 .IES Photometric file_v1-realbulb 800lm_3000K.IES	


Calculation Summary								
Label	CalcType	Units	Avg	Max	Min	Avg/Min	Max/Min	Description
	Illuminance	Fc	0.19	0.5	0.0	N.A.	N.A.	readings taken at grade
	Illuminance	Fc	0.23	0.7	0.0	N.A.	N.A.	readings taken at grade
	Illuminance	Fc	0.25	0.5	0.1	2.50	5.00	readings taken at grade
	Illuminance	Fc	0.26	0.6	0.1	2.60	6.00	readings taken at grade
	Illuminance	Fc	0.27	0.5	0.1	2.70	5.00	readings taken at grade
	Illuminance	Fc	0.23	0.5	0.1	2.30	5.00	readings taken at grade
	Illuminance	Fc	0.19	0.5	0.0	N.A.	N.A.	readings taken at grade
	Illuminance	Fc	0.23	0.6	0.0	N.A.	N.A.	readings taken at grade
	Illuminance	Fc	0.23	2.0	0.0	N.A.	N.A.	readings taken at grade
	Illuminance	Fc	0.14	1.9	0.0	N.A.	N.A.	readings taken at grade

- TYPE WP IS A BARE LAMP IES FILE AND VALUES ARE TO BE CONSIDERED APPROXIMATE
- ALL LUMINAIRES ARE MOUNTED AT 6' AFF
- ALL BUILDINGS BUILT AS 25' TALL (ASSUMED)

- NOTES:
- 1) EXACT MOUNTING DETAILS TO BE DETERMINED AT JOBSITE BY OTHERS.
 - 2) CALCULATIONS DO SHOW THE EFFECT OF SHADOWING CAUSED BY OBJECTS WITHIN THE AREA.
 - 3) READINGS SHOWN ARE MAINTAINED HORIZONTAL FOOTCANDLES TAKEN AS SHOWN IN NUMERIC SUMMARY
 - 4) FIXTURE ORIENTATION IS SUCH THAT 0 IS TO THE RIGHT OF THE DRAWING AND 90 IS TO THE TOP OF THE DRAWING AS SHOWN.
 - 5) TILT ANGLE IS THE RAISING AND LOWERING OF THE FIXTURE HEAD.
 - 6) THE LAYOUT DRAWING MUST BE COORDINATED WITH THE SITE LOCATION FOR CORRECT FIXTURE ORIENTATION.
 - 7) CHECK GRAPHIC SCALE. DOCUMENTS PRINTED OR PLOTTED FROM ELECTRONIC FILES MAY OCCUR AT OTHER THAN THE DESIRED OR ASSUMED GRAPHIC SCALES. IT IS THE RESPONSIBILITY OF THE RECIPIENT TO VERIFY THAT THE PRINTED OR PLOTTED-TO-SCALE DRAWING IS PRINTED TO SCALE.
 - 8) LUMINAIRE LUMENS = LUMENS LEAVING LUMINAIRE WITH EFFICIENCY CONSIDERED.
 - 9) PDF CONVERTED INTO WORKING DRAWING FILE AND VALUES ARE TO BE CONSIDERED APPROXIMATE

Building Mounted Fixture

Barrie Collection
Outdoor Wall 1Lt BK
49183BK (Black (Painted))



Project Name: _____
Location: _____
Type: _____
Qty: _____
Comments: _____

Ordering Information
Product ID 49183BK
Finish Black (Painted)
Available Finishes BK, TZ
Collection Barrie Collection

Dimensions
Extension 6.50"
Height from center of Wall opening 2.50"
Base Backplate 4.375 X 5.125
Weight 2.60 LBS

Specifications
Material Cast Aluminum
Glass Description Clear Beveled

Electrical
Voltage 120V

Qualifications
Safety Rated Wet
Warranty www.kichler.com/warranty

Primary Lighting
Light Source Incandescent
Lamp Included Not Included
Number of Lights/LEDs 1
Max or Nominal Watt 100W
Socket Wire 150
Socket Type Medium
Lamp Type A19

Alternate Lamps

Lamp Included	Bulb Listing	Light Source	Max Wattage/Range	Bulb Product ID	Dimming
No	Alternate	INCA	60W	407 CLR	
No	Hybrid	CFL	23-30W		

Quantity: 61

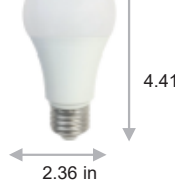
Kichler
7711 East Pleasant Valley Road
Cleveland, Ohio 44133-6010
Tel: 888.686.2706 or kichler.com

Notes:
All information provided is subject to change without notice.
All values are design or typical values when measured under specified conditions.
23' maximum height is typical. The maximum height is not intended to be an approximate number and is for reference only.


KICHLER

Light Bulb for Building Mounted Fixture

LED A19



810 Lumen 9 Watt 4000K
A19 Omni LED – Commercial Pack




PRODUCT DESCRIPTION

9 watt A19 Omni-directional EarthBulb LED provides 810 lumens and replaces 60 watt incandescent directional bulbs for over 80% energy savings. 4000K cool white color of light. Great for use in table lamps, floor lamps, wall sconce, and task lighting applications. Multi-Chipset LED and an advanced cooling system provides for 15,000 hours of LED life. Medium screw base. Energy Star rated product (ES V2.0). Suitable for outdoor use, damp location, when installed in fixtures and not directly exposed to weather.

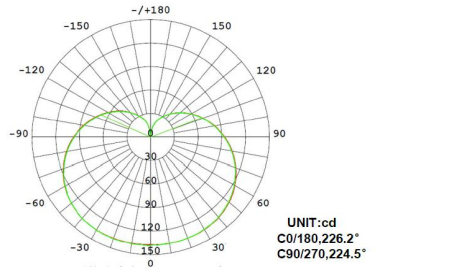
PRODUCT FEATURES

- This A bulb is Energy Star (V2.0) and provides 810 lumens, capable of dimming to less than 5%
- > 0.9
- Omni directional beam angle provides full radial illumination
- Chipset provides 4000K cool white with a high color rendering rating of over 81
- New heat sync system provides improved aesthetics and performance
- Suitable for outdoor use, damp location, when installed in fixtures and not directly exposed to weather

PRODUCT APPLICATIONS




LUMINOUS DISTRIBUTION INTENSITY DIAGRAM



Quantity: 61

Individual Inner Pack Master Pack





MODEL NUMBER: LA19940V2

Order Code	Pack Size	Individual UPC	Inner Pack UPC	Qty	Master Pack UPC	Qty
10329	1	840791103296	0460791103296	12	8407911032900	48
Dimensions (Inches - Length x Width x Height)						
10329	1	2.44 x 2.44 x 4.72	10.47 x 7.91 x 5.38	12	21.73 x 16.61 x 6.73	48
Weight (lbs)						
10329	1	0.39	3.02	12	12.89	48

Earthtronics 380 W. Western Ave. Suite 301 Muskegon, Michigan 49440
PH 231.332.1188 Toll Free 866.632.7940 Fax 231.726.5029
www.earthtronics.com

Revised 11/2/2016



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DATE: 2/1/2019

BEVERLY SQUARE
LIGHTING LAYOUT
USING GIVEN LOCATIONS

TITLE

SCALE: AS SHOWN

REFERENCE: I09315.AGI

AG132 Version 19.4.18

Page 1 of 2

DESIGNED BY:

LIGHTING APPLICATION
SCIENCES
380 W. WESTERN AVE.
SUITE 301
MUSKEGON, MI 49440
PH: 231.332.1188
TOLL FREE: 866.632.7940
FAX: 231.726.5029

VILLAGE MANAGER'S REPORT
CHRIS D. WILSON
NOVEMBER 15, 2019

Metamora Subdivision Paving Project – Despite less than ideal weather, progress was still made on the concrete replacement project in the Metamora Subdivision. By the end of this week (Nov. 15) the sections of concrete to be replaced on the west side of all subdivision streets will have been removed. Base repairs have been made and new base materials have been put in place. The contractor is planning on pouring on Saturday the 16th or Monday the 18th. The timing of the pouring will be dependent on the weather and temperature. Village Administration will continue to monitor this project.

Early Snowstorm – The Village made it through our first snowstorm of Winter, it just so happens to have occurred in fall. On Veterans Day, all throughout the day, we received approx. eight inches of snow. Crews were out that evening clearing and plowing the major roads and began early the next morning clearing residential streets. All areas schools were closed on the Tuesday after the storm, which did help with cleanup efforts. As in previous years, the Village requests that all vehicles be removed from side streets until cleanup has been finished.

2020 Village Calendar – The 2020 Village of Beverly Hills Calendar is being finalized will be mailed out to residents by mid-December.

4th Quarter Newsletter – The Village newsletter for the 4th quarter of 2019 has been completed and will be mailed out the first week of December.

Yard Waste Collection – Yard waste collection is ongoing and will continue throughout the week of December 9th. As this is a very busy time of the year for yard waste collection, some of the typical trash and yard waste collection routes may be altered. Please make sure that all yard waste is placed at the curb, along with recycling and trash, no later than 7:00 AM to ensure timely pickup.

Offices Closed – Village Offices will be closed on Thursday and Friday, November 28th and 29th in observance of Thanksgiving.

Beverly Hills Public Safety Activity Report

October 31st – November 14th, 2019

- The Public Safety Department is currently looking for applicants for Public Safety Officer. Please visit our website, www.beverlyhillspolice.com to see if you qualify.
- PSO Jeff Moore has been promoted to the Detective Bureau.
- PSO John Kronner is now at the Medical First Responders class for the new two weeks after graduating from Oakland Community College.
- Remember to lock your car and house doors.
- Do not leave valuables inside your car. Do not leave your keys in your car.

The Top 25 Passwords in 2018 Are an Embarrassment to Humankind

A couple years back, Russia hacked an election. You might recall that. In 2018, [billions of people](#) were affected by massive security breaches across the world. Our collective wariness of artificial intelligence, data mining, and even voting machines has been heightened. And yet, we dumbass humans of the cyber world are still "securing" our digital entities with passwords so basic a precocious monkey with one (1) typewriter could hack them.

For the seventh year running, SplashData, which makes password manager applications, released a list of the 25 most used passwords in the last year, per [Gizmodo](#). They also happen to be the worst passwords you can use. In 2018, new entries to the list included "princess" and "sunshine"—what lovely imagery—and "donald"—no thank you! And here's a hearty shout out to all those "admins" and "football" fanatics among us. But for most computer users, it seems the only criteria their password had to fill was "can my fingers reach it without my brain getting involved?" Check out the full list:

1. 123456
2. password
3. 123456789
4. 12345678
5. 12345
6. 111111
7. 1234567
8. sunshine
9. qwerty
10. iloveyou
11. princess
12. admin
13. welcome
14. 666666
15. abc123
16. football

17. 123123
18. monkey
19. 654321
20. !@#\$\$%^&*
21. charlie
22. aa123456
23. donald
24. password1
25. qwerty123

And now for a Security 101 lesson, free of charge: Take four random words and mash them together into a phrase. For instance, a password like "blanketmusktargetcrap" is easy to remember and nearly impossible to guess. Tack on a special character if you must. Do not settle for "123456" or "password," unless you like making your financial and private information an easy target.

CALLS FOR SERVICE

- 218 Calls for Service.
- 19 Arrests.
- 108 Tickets issued.
- 4 Walk in PBT's .
- 10 Prescription pill drop offs.
- Vacation checks.
- Car Seat Checks.
- Gun Permit.
- Crossing Guard on Beverly.
- Motor Carrier enforcement.
- 4 Prisoner transports to and from the Birmingham Police Department.
- 10 Medicals on 13 Mile Rd.
- 5 Accidents on 13 Mile Rd.
- Traffic complaint on 13 Mile Rd.
- Traffic Investigation on 13 Mile Rd.
- Larceny on 13 Mile Rd.
- Welfare Check on 13 Mile Rd.
- Animal complaint on 13 Mile Rd.
- Found Property on 13 Mile Rd.
- Suspicious Persons on 13 Mile Rd.
- Suspicious Vehicle on 13 Mile Rd.
- Vehicle Lockout on 13 Mile Rd.
- Citizen Assist on 13 Mile Rd.
- Assist Royal Oak Police with an accident on 13 Mile Rd.
- Citizen Assist on 14 Mile Rd.
- Traffic Investigation on 14 Mile Rd.
- Motorist Assist on 14 Mile Rd.

- Suspicious Persons on 14 Mile Rd.
- Motorist Assist on Southfield.
- Lost Property on Southfield.
- Traffic control on Southfield.
- Fire Alarm on Southfield.
- Suspicious Persons on Southfield.
- 3 Traffic Accidents on Southfield.
- Medical on Beverly Ct.
- Suspicious Circumstance on Beverly.
- Traffic Investigation on Beverly.
- Animal complaint on Beverly.
- Traffic Accident on Greenfield.
- Motorist Assist on Greenfield.
- Traffic Investigation on Greenfield.
- Carbon Monoxide Alarm on Evergreen.
- 4 Traffic Accidents on Evergreen.
- Suspicious Vehicle on Evergreen.
- Alarm on Evergreen.
- Medical on Evergreen.
- Assist Bloomfield Hills with an accident on Lahser.
- 2 Accidents on Lahser.
- Reckless Driving on Lahser.
- Lift Assist on Lahser.
- Traffic Accident on Pierce.
- Lift Assist on Westlady.
- Alarm on Nottingham.
- Officers stopped a vehicle on 13 Mile for a traffic violation. The driver was operating on a suspended license. The driver was arrested without incident.
- Citizen Assist on Kinross.
- Suspicious persons on Wilshire.
- Officers stopped a vehicle on 13 Mile for a traffic violation. The driver was suspected of operating while intoxicated and the passenger was suspected of MIP. The driver was arrested without incident and the passenger was ticketed.
- Accident on Norwood.
- Officers stopped a vehicle on Southfield for a traffic violation. The driver was suspected of operating while intoxicated. The driver was arrested without incident.
- Suspicious Circumstance on Arlington.
- Lift Assist on Buckingham.
- Alarm on Coryell.
- Officers stopped a vehicle on 14 Mile for a traffic violation. The driver was operating on a suspended license. The driver was arrested without incident.
- 2 Alarms on Huntley Sq. N.
- Suspicious Persons on Lauderdale.

- Citizen Assist on Madoline.
- Suspicious Persons on Bellvine Trail.
- Fraud on Sheridan.
- Medical on Verona.
- Alarm on Rivers Edge.
- Parking complaint on Birwood.
- Officers stopped a vehicle on Greenfield for a traffic violation. The driver was suspected of operating while intoxicated. The driver was arrested without incident.
- Medical on Marguerite.
- Medical on Nottingham.
- Animal complaint on Fairfax.
- Citizen Assist on Kinross.
- Medical on Bedford.
- Suspicious Circumstance on Warwick.
- Assist MDOC on Riverside.
- Officers stopped a vehicle on Lahser for a traffic violation. The driver was operating on a suspended license and had a warrant for his arrest. The driver was arrested without incident.
- Medical on W. Rutland.
- Alarm on Westlady.
- Larceny on Camelot Ct.
- Alarm on Wetherby.
- Medical on Glencoe.
- Alarm on Wendbrook.
- Solicitor complaint on Chelton.
- Citizen Assist on Birwood.
- Officers stopped a vehicle on Southfield for a traffic violation. The driver was operating on a suspended license. The driver was arrested without incident.
- Medical on Hampstead.
- Family Trouble on Locherbie.
- Medical on Buckingham.
- Family Trouble on Beechwood.
- Abandon Auto on Madoline.
- Citizen Assist on Walmer.
- Suspicious Circumstance on Crimson Crossing.
- Assist Franklin Police with a larceny.
- Medical on Kinross.
- Officers stopped a vehicle on Lahser for a traffic violation. The driver had a warrant for his arrest. The driver was arrested without incident.
- Suspicious Persons on E. Rutland.
- Medical on Nottingham.
- Medical on Buckingham.
- Alarm on Vernon.

- Fraud on Huntley Sq. E.
- Alarm on Sleepy Hollow.
- Officers stopped a vehicle on Southfield for a traffic violation. The driver was operating on a suspended license and warrants for his arrest. The driver was arrested without incident.
- Down Wire on Eastlady.
- Animal complaint on Leemoore.
- Officers stopped a vehicle on 13 Mile for a traffic violation. The driver was operating on a suspended license. The driver was arrested without incident.
- Odor Investigation on Waltham.
- Medical on Mayfair.
- Officers stopped a vehicle on Pierce for a traffic violation. The driver was suspected of operating while intoxicated. The driver was arrested without incident.
- Natural Gas Leak on Pierce.
- Citizen Assist on Arlington.
- Fraud on Spruce Ln.
- Motorist Assist on Riverside.
- Officers stopped a vehicle on Southfield for a traffic violation. The driver was operating on a suspended license. The passenger was wanted by Lathrup Village Police. The driver and passenger were arrested without incident.
- Medical on Nottingham.
- Alarm on King Richard Ct.
- Alarm on Kinross.
- Suspicious Persons on Marguerite.
- Officers stopped a vehicle on 13 Mile for a traffic violation. The driver was operating on a suspended license. The driver was arrested without incident.
- Medical on Verona.
- Motorist Assist on Sunnyslope.
- Fire Alarm on Huntley Sq. N.
- Officers stopped a vehicle on 14 Mile for a traffic violation. The passenger had a warrant for his arrest. The passenger was arrested without incident and released to the holding jurisdiction.
- Officers stopped a vehicle on 13 Mile for a traffic violation. The driver was operating on a suspended license. The driver was arrested without incident.
- Medical on Huntley Sq. E.
- Officers stopped a vehicle on Greenfield for a traffic violation. The driver was operating on a suspended license. The driver was arrested without incident.
- Officers responded to Locherbie on the report of an assault. Subsequent investigation revealed enough evidence to suggest an assault took place. One person was arrested without incident.
- Medical on Arlington.
- Alarm on Charrington.
- Citizen Assist on Charrington.
- Traffic complaint on Riverview.

- Officers stopped a vehicle on 14 Mile for a traffic violation. The driver was operating on a suspended license. The driver was arrested without incident.
- Medical on Stellamar.
- Welfare Check on Riverside.
- Medical on Birwood.
- Officers responded to Southfield Rd. on the report of an assault. Subsequent investigation revealed enough evidence to suggest an assault took place. One person was arrested without incident.

INVESTIGATION

- CFS Closed and Reviewed 211.
- Reviewed 45 case reports for a disposition.
- Followed up and reviewed cases; of which 36 were closed and 8 remain open.
- 8 Cases were assigned.
- 8 Reports written on current cases.
- 27 Current active investigations.
- 9 Current pending investigations
- Investigate CPS complaint.
- Investigate B&E and follow up.
- Follow Up Domestic, received warrant/arraigned.
- Follow Up on Larceny.
- Follow Up on B&E of business, received video, put out Patrol Alert, SNAP Image.
- Follow Up on ID Theft.
- Wrote search warrant for cell phone, death investigation, and UDAA Drop off at MSP.
- DV sent to juvenile court.
- SLO/DB attended annual SRO training.
- SLO attended Groves Football Game.
- Det. Moore attended advanced police training.

FIRE PREVENTION

- 49 Fire/EMS Reports reviewed.
- 3 Fire Inspections Completed.
- 3 C/E Sponsorship curriculum updated.
- 5 C/E Sponsorship Courses Administrated.
- 4 SMOKE Fire Training Courses closed out and finalized.
- 1 County Medical Control Training course assigned.
- 2 County Medical Control Knowledge Assessments assigned.
- Attended South Oakland Fire Association Meeting.
- Bi-Weekly NFIRS data export uploaded to FEMA.
- Submitted Letter of Compliance to Medical Control Authority.

- Two 8-hour courses of Live Fire training completed at the Combined Regional Emergency Services Training Center (CREST) at OCC with Automatic Aid partners Berkley and Huntington Woods.
- Michigan Department of Health & Human Services EMS Agency e-licensing Submitted.
- Engine 32 and Vehicle 305 inspected and licensed by the State of Michigan as non-transport vehicles to respond to medical emergencies.
- Special Use Plan Approval for Kensington Church Christmas Services.
- Attend Fire Academy Graduation of PSO Kronner.
- Begin data compilation for 2019 Assistance to Firefighter Grant (AFG) submission.
- Road Patrol Supervisor coverage.

Enforcement List - Inspection Summary

11/14/19

Enforcement Number	Address	Filed	Status	Closed	
E190189	19777 BEVERLY RD	10/03/19	Notice Sent		
WE HAVE REC'D COMPLAINTS ON PLAY STRUCTURES LOCATED ON FRONT AREA OF YOUR PROPERTY. THE VILLAGE CODE DOES NOT ALLOW FOR STRUCTURES LCOATED IN FRONT AREA OF PROPERTY. THERE INCLUDE TWO ORANGE SLIDES AND A METAL STRUCTURE ON WHEELS. ALONG WITH CONSTRUCTION TRAILER STORED ON DRIVEWAY PLEASE REMOVE THESE ITEMS FROM PROPERTY.					
Code	Date Next Action		Next Action		
22.08.100	11/20/2019		SITE INSPECTION		
Inspection Type	Status	Result	Scheduled	Completed	Inspector
CORRECTION	Completed	04	11/13/19	11/13/19	Dan Gosselin

Enforcement Number	Address	Filed	Status	Closed	
E190190	30400 E LINCOLNSHIRE ST	10/09/19	Resolved	11/13/19	
REMOVE BUSHES FROM FIRE HYDRANT. AREA. CANNOT BLOCK FIRE HYDRANT. PER FIRE CODE.					
Code	Date Next Action		Next Action		
27.06					
Inspection Type	Status	Result	Scheduled	Completed	Inspector
Final	Completed	02	10/10/19	11/13/19	Dan Gosselin

Enforcement Number	Address	Filed	Status	Closed	
E190191	31175 DOWNING PL	10/09/19	Resolved	11/13/19	
PLEASE REMOVE WORK TRAILER FROM PROPERTY, ONLY RECREATIONAL VEHICLES OR TRAILERS ARE ALLOWED ON PROPERTY. THE VILLAGE HAS ALLOWED THIS TRAILER FOR MONTHS SO YOU COULD COMPLETE YOUR PROJECT. WE CANNOT EXTEND THE TIEM ANY LONGER. REMOVE FROM PROPERTY IN 5 DAYS.					
Code	Date Next Action		Next Action		
22.08.330					
Inspection Type	Status	Result	Scheduled	Completed	Inspector
Final	Completed	02	10/14/19	11/13/19	Dan Gosselin

Enforcement Number	Address	Filed	Status	Closed	
E190192	16961 BIRWOOD AVE	10/14/19	Closed	11/12/19	
PLEASE STOP FEEDING BIRDS, AND REMOVE ALL BIRD FOOD ON GROUND, IN FEEDERS OR IN CANS OR BAGS. IT APPEARS YOU HAVE ANIMAL HOLES ALL ALONG THE WEST SIDE OF YOUR GARAGE. RATS HAVE BEEN SEEN IN A FEW SURROUNDING YARDS.					
Code	Date Next Action		Next Action		
29.302.5					
Inspection Type	Status	Result	Scheduled	Completed	Inspector
CORRECTION	Completed	05	11/01/19	11/13/19	Dan Gosselin

Enforcement List - Inspection Summary

11/14/19

Enforcement Number	Address	Filed	Status	Closed	
E190193	15509 BIRWOOD AVE	10/22/19	Resolved	11/13/19	
THIS DATE WE REC'D COMPLAINTS ON TALL GRASS FRONT AND REAR PLEASE CUT AND TRIM.CH 29 SEC 302.04					
Code 29.302.04	Date Next Action		Next Action		
Inspection Type	Status	Result	Scheduled	Completed	Inspector
Final	Completed	02	10/25/19	11/13/19	Dan Gosselin

Enforcement Number	Address	Filed	Status	Closed	
E190194	31721 VERONA CIR	10/31/19	Resolved	11/13/19	
PLEASE DO NOT PUSH TREE DEBRIS ONTO RIGHT OF WAY ALONG GREENFIELD RD TO STORE LEAF DEBRIS. PLEASE REMOVE AND PLACE INTO BROWN LEAF BAGS. PER CODE CH 29 SEC 302.04					
Code	Date Next Action		Next Action		
29.302.04					
Inspection Type	Status	Result	Scheduled	Completed	Inspector
Correction Noti	Completed	02	11/13/19	11/13/19	Dan Gosselin

Enforcement Number	Address	Filed	Status	Closed	
E190195	32212 WESTLADY DR	11/04/19	Closed	11/14/19	
PLEASE REMOVE ALL CONSTRUCTION EQUIPMENT FROM PROPERTY					
Code	Date Next Action		Next Action		
22.08.330					
Inspection Type	Status	Result	Scheduled	Completed	Inspector
SITE INSPECT	Completed	05	11/14/19	11/14/19	Dan Gosselin

Enforcement Number	Address	Filed	Status	Closed	
E190196	18153 KINROSS AVE	10/31/19	Notice Sent		
WE HAVE REC'D COMPLAINTS ABOUT THE LOCATION OF THE PORTABLE RESTROOM ON DRIVEWAY SO CLOSE TO NEIGHBORS PROPERTY. IS IT POSSIBLE TO MOVE TOWARDS YOUR HOUSE.					
Code	Date Next Action		Next Action		
22.08.220	11/15/2019		SITE INSPECTION		
Inspection Type	Status	Result	Scheduled	Completed	Inspector
Correction Noti	Scheduled	00	11/15/19		Dan Gosselin

Enforcement Number	Address	Filed	Status	Closed
E190197	16961 BIRWOOD AVE	11/01/19	Notice Sent	
REMOVE ALL BIRD FOOD FROM PROPERTY, LAST INSPECTION SHOWED LOTS OF BIRD AND OTHER ANIMALS AT FEEDER. WE MUST REMOVE FOOD SOURCE UNTIL PROBLE ENDS. SECOND NOTICE				

Enforcement List - Inspection Summary

11/14/19

Code	Date Next Action	Next Action
29.302.5	11/20/2019	SITE INSPECTION

Inspection Type	Status	Result	Scheduled	Completed	Inspector
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SITE INSPECT	Scheduled	00	11/20/19		Dan Gosselin
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Enforcement Number	Address	Filed	Status	Closed
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E190198	31300 SOUTHFIELD RD STE 1	10/31/19	Notice Sent	
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PLEASE CLEAN UP AND REMOVE ALL PILES OF DEBRIS ALONG PROPERTY LINES AND ON TOP OF BERM ON EAST END OF CEMETERY. COMPLAINTS FROM SEVERAL NEIGHBORS.

Code	Date Next Action	Next Action
22.08.280	11/14/2019	SITE INSPECTION

Inspection Type	Status	Result	Scheduled	Completed	Inspector
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SITE INSPECT	Scheduled	00	11/14/19		Dan Gosselin
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Enforcement Number	Address	Filed	Status	Closed
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E190199	18135 DUNBLAINE AVE	11/05/19	Notice Sent	
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VILLAGE ORD. CALLS FOR A FENCE PERMIT FOR NEW FENCE. PLEASE CONTACT BUILDING DEPT FOR PROPER PERMITS.

Code	Date Next Action	Next Action
22.08.1501A	11/19/2019	LETTER MAILED TO HOMEOWNER

Inspection Type	Status	Result	Scheduled	Completed	Inspector
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Enforcement Number	Address	Filed	Status	Closed
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E190200	18105 KIRKSHIRE AVE	11/14/19	Notice Sent	
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CLEAR SNOW FROM ALL SIDEWALKS PER CODE.

Code	Date Next Action	Next Action
5.05	11/15/2019	SITE INSPECTION

Inspection Type	Status	Result	Scheduled	Completed	Inspector
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SITE INSPECT	Scheduled	00	11/15/19		Dan Gosselin
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Enforcement Number	Address	Filed	Status	Closed
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E190201	18110 KIRKSHIRE AVE	11/14/19	Notice Sent	
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CLEAR SNOW FROM ALL SIDEWALKS PER CODE.

Code	Date Next Action	Next Action
5.05	11/15/2019	SITE INSPECTION

Inspection Type	Status	Result	Scheduled	Completed	Inspector
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Final	Scheduled	00	11/15/19		Dan Gosselin
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Enforcement List - Inspection Summary

11/14/19

Enforcement Number	Address	Filed	Status	Closed
E190202	32212 WESTLADY DR	11/14/19	Notice Sent	

PER OUR CONVERSATION TWO WEEKS AGO AND THE CHANGE IN WEATHER WE ARE REQUESTING CONSTRUCTION EQUIPMENT BE REMOVED FROM PROPERTY UNTIL PROJECT IS GOING TO RESUME

SECOND/FINAL NOTICE

Code	Date Next Action	Next Action
22.08.230	11/18/2019	SITE INSPECTION/ NOTICE

Inspection Type	Status	Result	Scheduled	Completed	Inspector
Correction Noti	Scheduled	00	11/18/19		Dan Gosselin

Population: All Records

Enforcement.DateFiled Between 10/1/2019 12:00:00 AM AND 11/14/2019 11:59:59 PM

How the 2020 Census will invite everyone to respond



Every household will have the option of responding online, by mail, or by phone.

Nearly every household will receive an invitation to participate in the 2020 Census from either a postal worker or a census worker.



95% of households will receive their census invitation in the mail.



Almost 5% of households will receive their census invitation when a census taker drops it off. In these areas, the majority of households may not receive mail at their home's physical location (like households that use PO boxes or areas recently affected by natural disasters).



Less than 1% of households will be counted in person by a census taker, instead of being invited to respond on their own. We do this in very remote areas like parts of northern Maine, remote Alaska, and in select American Indian areas that ask to be counted in person.

Note: We have special procedures to count people who don't live in households, such as students living in university housing or people experiencing homelessness.

How the 2020 Census will invite everyone to respond



What to Expect in the Mail

When it's time to respond, most households will receive an invitation in the mail.

Every household will have the option of responding online, by mail, or by phone.

Depending on how likely your area is to respond online, you'll receive either an invitation encouraging you to respond online or an invitation along with a paper questionnaire.

Letter Invitation

- Most areas of the country are likely to respond online, so most households will receive a letter asking you to go online to complete the census questionnaire.
- We plan on working with the U.S. Postal Service to stagger the delivery of these invitations over several days. This way we can spread out the number of users responding online, and we'll be able to serve you better if you need help over the phone.

Letter Invitation and Paper Questionnaire

- Areas that are less likely to respond online will receive a paper questionnaire along with their invitation. The invitation will also include information about how to respond online or by phone.

WHAT WE WILL SEND IN THE MAIL	
On or between	You'll receive:
March 12-20	An invitation to respond online to the 2020 Census. (Some households will also receive paper questionnaires.)
March 16-24	A reminder letter.
If you haven't responded yet:	
March 26-April 3	A reminder postcard.
April 8-16	A reminder letter and paper questionnaire.
April 20-27	A final reminder postcard before we follow up in person.

We understand you might miss our initial letter in the mail.

- Every household that hasn't already responded will receive reminders and will eventually receive a paper questionnaire.
- It doesn't matter which initial invitation you get or how you get it—we will follow up in person with all households that don't respond.



November 1, 2019

Ms. Kristin Rutkowski, Clerk
Village of Beverly Hills
18500 W. 13 Mile Road
Beverly Hills, MI 48025

Re: Xfinity TV Channel Updates

Dear Ms. Rutkowski:

We are committed to keeping you and our customers informed about changes to Xfinity TV services.

We are committed to keeping you and our customers informed about Xfinity TV changes and enhancements. Below we share details regarding the removal of FM cable network from our line-up and a general reminder about expiring programming contracts.

Loss of FM Network Effective January 1, 2020

In addition to the regular updates we've posted on the programming contracts web page referenced below, we want to confirm for you that Comcast's programming agreement with cable network FM expires on December 31, 2019, and this channel will no longer be available starting on January 1, 2020. We are communicating this change to our customers through a bill message.

General Reminder About Programming Contract Expirations

We regularly inform our customers in their bills and annual notices that we maintain a website (www.xfinitytv.com/contractrenewals) and toll free number ((866) 216-8634)) that are updated regularly to provide notice of the programming contracts that are set to expire in the coming months and the channels we might or will lose the rights to continue carrying.

Please feel free to contact me at 734-359-2308 if you have any questions.

Sincerely,

Kyle V. Mazurek
Manager of External Affairs
Comcast, Heartland Region
41112 Concept Drive
Plymouth, MI 48170