

Village of Beverly Hills
Regular Village Council Meeting
Tuesday, October 19, 2021

Municipal Building
18500 W. 13 Mile Road
7:30 p.m.

Zoom link: <https://us02web.zoom.us/j/85676731937>

Meeting ID: 856 7673 1937

Dial in: 1-646-876-9923 (US)

AGENDA

Roll Call/Call to order

Pledge of Allegiance

Amendments to Agenda/Approve Agenda

Community Announcements

Public Comments on items not on the published agenda

Consent Agenda

1. Review and consider approval of **minutes** of a regular Council meeting held October 5, 2021.
2. Review and file **bills** recapped as of Monday, October 11, 2021.
3. Set public hearing **date** to receive comments on 2022 Community Development Block Grant funding allocation for Tuesday, November 16, 2021.

Business Agenda

1. Review and consider subcommittee's **recommendation** for an appointment to the Zoning Board of Appeals.
2. Review and consider Parks & Recreation Board's **recommendation** to reinstate a Buy-a-Brick Fundraising Program.
3. Review and consider **request** for site plan approval for a mixed-use development at 31655 Southfield Road, Goddard School.
4. Review and consider **resolution** authorizing the cooperative purchase of self-contained breathing apparatus for the Public Safety Department through the Assistance to Firefighters Grant Program.
5. Review and consider hiring Village Manager **search firm**.

Public comments

Manager's **report**

Council comments

Adjournment

This will be a hybrid meeting held in person in the Village Council Chambers with a remote participation option available via Zoom due to the COVID-19 pandemic.

The Village of Beverly Hills will provide necessary reasonable auxiliary aids and services, such as signers for the hearing impaired and audiotapes of printed materials being considered at the meeting, to individuals with disabilities attending the meeting upon three working days' notice to the Village. Individuals with disabilities requiring auxiliary aids or services should contact the Village by writing or phone, 18500 W. Thirteen Mile Beverly Hills, MI 48025 (248) 646-6404.

REGULAR COUNCIL MEETING MINUTES – OCTOBER 5, 2021 – PAGE 1

Present: President George; President Pro-Tem Hrydziuszko; Members: Abboud, Kecskemeti, Mooney, O’Gorman, and Peddie
George participated remotely via Zoom from Beverly Hills, Michigan due to the COVID-19 pandemic.

Absent: None

Also Present: Village Manager, Wilson via Zoom
Village Clerk / Assistant Manager, Rutkowski via Zoom
Village Attorney, Ryan
Public Safety Director, Torongeau

President George called the regular Village Council meeting to order at 7:34 p.m. in the Village Council Chambers located at 18500 W. Thirteen Mile Road, Beverly Hills, MI 48025 and via Zoom. The Pledge of Allegiance was recited by those in attendance.

AMENDMENTS TO AGENDA/APPROVE AGENDA

Motion by Mooney, second by Hrydziuszko, to amend the agenda to remove Business Agenda Item #6: Review and consider request for site plan approval for a mixed-use development at 31655 Southfield Road, Goddard School, based on the appeal filed.

Motion passed.

Motion by Mooney, second by Hrydziuszko, to approve the agenda as amended.

Motion passed.

COMMUNITY ANNOUNCEMENTS

None.

PUBLIC COMMENTS

None.

CONSENT AGENDA

Motion by Mooney, second by Peddie, be it resolved, the consent agenda is approved as published.

1. Review and consider approval of minutes of a regular Council meeting held September 21, 2021.
2. Review and file bills recapped as of Monday, September 27, 2021.

Roll Call Vote:

Motion passed (7-0)

BUSINESS AGENDA**ACCEPT VILLAGE MANAGER CHRIS WILSON’S LETTER OF RESIGNATION**

George referenced Mr. Wilson’s resignation letter that was provided in the Council meeting packet. He stated that Wilson had been at the Village for thirteen years and has done great work. Wilson will continue in his role as Village Manager until November 30, 2021.

Motion by Mooney, second by Abboud, the Beverly Hills Village Council accepts the resignation of Village Manager Chris Wilson effective November 30, 2021.

Motion passed.

DISCUSS VILLAGE MANAGER SEARCH PROCESS

Mooney provided an update on behalf of the Personnel Committee, which is made up of President George, Councilmember Kecskemeti, and Councilmember Mooney. The Committee put together a timeline of action items which includes accepting Mr. Wilson's resignation, conducting a search for a new Village Manager, and establishing duties for an Interim Village Manager. The Committee is working to obtain a scope of services, capabilities, and pricing references for search firms and plans to bring a recommendation to Council at the October 19, 2021 regular Council meeting. They anticipate the search will stretch into the first quarter of 2022. They are discussing candidates for the interim position and plan to have formalized assignments by the first meeting in November. All Council members will be involved in the interview process. They welcomed Council input on the process.

Karen Gilbert, Amherst, asked if the community would be involved in the Village Manager search process.

Mooney confirmed that the community would be involved in the process and actions related to hiring a Village Manager would be taken at open meetings.

Motion by Mooney, second by Peddie, the Beverly Hills Village Council authorizes the Personnel Committee to implement the presented outline regarding the Village Manager search. Moreover, the Committee requests input from the Council by email and such email will be directed to the Personnel Committee and will copy the Village Clerk for the record. Further, the Committee intends to report back at the next regularly scheduled meeting regarding the search firm and will discuss the Interim Village management team on November 2, 2021.

Motion passed.

SECOND ANNOUNCEMENT OF A VACANCY ON THE ZONING BOARD OF APPEALS

Rutkowski stated that there is a full-member vacancy on the Zoning Board of Appeals for a partial term ending June 30, 2023.

The ZBA meets the second Monday of the month at 7:30 p.m. as necessary. The ZBA hears appeals of applicants who request exceptions from or official interpretations of the Zoning Ordinance. Members must decide whether or not a physical hardship or practical difficulty exists which justifies the granting of a variance.

All interested and eligible residents of Beverly Hills are encouraged to apply to become a member of the ZBA. Applications are available on the Village website or by emailing the Village Clerk at krutkowski@villagebeverlyhills.com. Applications may be submitted to the Clerk's office via email, regular mail, in person, or using the drop box located outside the Village office (18500 W. 13 Mile Road, Beverly Hills, MI 48025).

THESE MINUTES ARE NOT OFFICIAL. THEY HAVE NOT BEEN APPROVED BY THE VILLAGE COUNCIL.

Applications are due Friday, October 8, 2021.

This constitutes the second announcement of a vacancy on the Zoning Board of Appeals.

REVIEW AND CONSIDER RESOLUTION SUPPORTING THE VILLAGE OF BEVERLY HILLS PATHWAYS PROJECT GRANT APPLICATION

George gave an overview of the proposed pathways project, grant application, and resolution of support. The resolution spells out the projected cost of the project, the requested grant amount and the costs to the Village should the grant be awarded and accepted. As stated previously, submission of the grant application does not obligate the Village to accept the award or make any expenditures.

Motion by Abboud, second by Hrydziusko, be it resolved, the Beverly Hills Village Council adopts the following Resolution to Support the Village of Beverly Hills Pathways Plan to Connect 13 Mile Road, Evergreen Road, and 14 Mile Road with a 40 Percent Match for the Transportation Alternatives Program (TAP) Grant:

WHEREAS, The Village of Beverly Hills desires to expand and enhance its safe pathway network and create a critically needed connection for bicyclists and pedestrians along 13 Mile Road, 14 Mile Road, and Evergreen Road;

WHEREAS, The proposed pathways will provide a safe route along 13 Mile Road, 14 Mile Road, and Evergreen Road and provide residents access to schools and public parks;

WHEREAS, The federally funded Transportation Alternatives Program (TAP) provides grants for projects such as bicycle facilities and shared use paths;

WHEREAS, The Village deems it would be in the best interest of the public safety and welfare and promote the connectedness of transit, residential and commercial areas of the Village.

THEREFORE, BE IT RESOLVED, that the Beverly Hills Village Council hereby authorizes:

1. To support a \$3,550,000.00 project to improve access and safety between public, residential, and commercial areas of the Village.
2. To pursue the design and construction of path connections dedicated for bicyclists and pedestrians along 13 Mile Road, 14 Mile Road, and Evergreen Road providing connections to portions of the Village's existing pathway network.
3. To pursue a Transportation Alternatives Program grant with the Michigan Department of Transportation for 60% of the \$2,800,000.00 construction cost, which is \$1,680,000.00.

THESE MINUTES ARE NOT OFFICIAL. THEY HAVE NOT BEEN APPROVED BY THE VILLAGE COUNCIL.

4. To commit to pay the local match for the TAP grant for an amount equal to 40% of the construction cost, which is \$1,120,000.00.
5. To commit to pay the cost of engineering, financial, legal and administrative services to design and supervise construction of the paths in the amount of \$750,000.
6. To utilize local funding totaling \$1,870,000.00 to implement a project that will benefit both the residents and visitors to the Village.

Roll Call Vote:

Motion passed (7-0)

DISCUSS HALLOWEEN HOOT

Rutkowski stated that there have not been any COVID-19 safety protocol updates for outdoor gatherings issued by the County since the last meeting and that the Parks & Recreation Board is planning on moving forward with the modified Halloween Hoot as discussed at the last regular Village Council meeting.

Abboud stated that if things get worse in relation to the COVID-19 pandemic, that there is a chance that the event could be further modified or even canceled.

PUBLIC COMMENTS

None.

MANAGER'S REPORT

Consumers Greenfield Road Closure – The Village received notice this week that Consumers Energy has requested to extend their permit for a partial closure of Greenfield Rd. through the end of October. I have requested a conference call with the Road Commission to discuss this request. This project has been delayed and the road closure already extended multiple times. Consumers is also working on another project on 13 Mile and the Village has been unable to obtain a projected completion date for this project. These projects along our major roads and in proximity to our schools continue to cause disruption to daily traffic and are a significant inconvenience to residents in the impacted area. I want some assurance from Consumers that restoration of traffic flow is part of their consideration in their project management. I will update Council as to how these discussions proceed.

Concrete Pavement Repair Program – The Village held a pre-construction meeting with Cipparrone Contracting for this fall's concrete repair program. Weather permitting, the project will begin on October 11th. The contractor will be replacing sections of concrete pavement on Chelton Dr., Carriage Lane, Old Post Rd, Old Coach Rd, Red Oaks Trail, White Oaks Trail and Cline Drive. The project is scheduled to be completed by November 19th. One way traffic will be maintained at all times for the duration of the project. HRC will begin the notification process to impacted homeowners.

ARPA Funds – The Village has yet to receive our \$1.086 million payment due from the American Rescue Plan Act (ARPA). Finance Director McCarthy is in communication with the Michigan Department of Treasury and the funds should be arriving soon. Per communication with our

auditors, these funds will be deposited in a Special Revenue Fund, Fund 287. From that fund, the Council can allocate the proceeds to any project so desired. The report on ARPA funds deadline has been extended. Village Administration will report back as to the contents and submission of this report. As discussed at previous Council meetings, the Village will need, at some point, to make decisions about how to allocate these funds per the terms of the American Rescue Plan Act.

Beverly Park Bike Trail Inspection – Village Administration met with a representative from MMRMA to inspect the bike trail. MMRMA provided useful guidance on trail construction and maintenance as well as signage that will be incorporated into the trail. Many of the suggestions regarding maintenance schedules and record keeping are applicable not just to the bike trail but other features in the park and will be incorporated where appropriate.

OPEB Report – Wilson provided for Council's review a copy of an analysis done by Nyhart to evaluate our current contribution levels to our Retiree Health Care Fund. As a reminder, the Village currently pays for all annual Retiree Health Care (RHC) from our Retiree Health Care Fund and contributes an amount of \$400,000 to the Fund. This \$400,000 is split between the General Fund and the Public Safety Fund, with the majority coming from the Public Safety Fund. Nyhart ran two separate projections. The first was based on a continued contribution level of \$400,000 until the fund was 100% funded. This projection would have all OPEB costs fully funded by FY 2032. With no additional contributions the fund would have a surplus for a period of a few years and would end in FYE 2053 at a funding level of 91.5% with net position of \$6.6 million and an unfunded liability of just over \$600,000.

The second analysis was more aggressive with the Village fully funding all current RCH costs (pay as you go) until all OPEB costs were fully funded. This would occur in FYE 2029, at which point there would be no further contributions to the RHC fund. Annual contributions would vary from \$665,000 to \$890,000. Under this scenario the fund would be over funded to the tune of around \$3.2 million as of FYE 2030. Due to projected fund returns, the overfunding would grow to \$13.9 million by FYE 2053. Once funds are dedicated to OPEB costs they cannot, under current legal statutes, be reallocated for other purposes. Accordingly, such levels of overfunding should be avoided.

Based upon these two scenarios, Village Administration would recommend continuing the contribution level of \$400,000 annually for the next 2-3 budget years. At that time this analysis should be done again to determine if modifications to the contribution level are appropriate.

COUNCIL COMMENTS

Peddle provided an update on the Planning Commission's discussion from their last meeting regarding fences and trees. Specifically, she commented on the vegetation exception for fences and possibly requiring the Village's arborist to review requests. She commented on concerns over the 200' rule as it pertains to the vegetation exception. She suggested a Council subcommittee meet with Administration on these concerns and bring a recommendation back to Council. Finally, she asked if there was any appetite from Council for the Planning Commission to revisit the tree ordinance because there have been concerns over clear cutting lots.

Abboud stated that the SEMCOG General Assembly meeting will be held October 14, 2021. He reported on his attendance at the MML Convention on September 22-24 in Grand Rapids. The theme of the Convention was Trust and Belonging. He also attended the Elected Officials

Academy Board of Directors meeting where they recommended various ways to obtain credits for the different EOA levels. He encouraged residents to check on their neighbors during storms. He stated October is Cancer Awareness Month and sends his blessings to all those who are struggling.

Mooney gave a history of Village finances from around the time when Manager Wilson was hired. He stated that Wilson worked diligently to help get the millage renewal passed during the recession. He stated that Wilson's presentations and efforts were remarkable and eventually the millage passed in 2010. He said Wilson played a key part in helping to save the library and maintain the Public Safety Department at a decent level. In short, Wilson helped make the Village fiscally sound and reduce debt, specifically in its retirement and health care obligations. He thanked Wilson for helping make Beverly Hills one of the safest communities in Michigan and his work to help secure dash cams and state of the art technology for the Public Safety Department. He applauded Wilson for being hands-on working in the parks, hanging signs during the pandemic, and even assisting with garbage collection. He thanked Wilson for everything he has done for the Village of Beverly Hills.

Hrydziusko stated that the Movie in the Park has been rescheduled for Saturday, October 9th. She echoed Mooney's sentiments regarding Mr. Wilson. She said Wilson has taught her a lot and he leaves big shoes to fill. She appreciates his friendship and hard work. While she is sad to see him go, she is happy for him and his family.

George stated that he will miss Wilson's humor. He hopes to obtain as much institutional knowledge from Wilson as he can while he is still at the Village. He noted that he is attending the meeting virtually via Zoom because he was in contact with someone who tested positive for the coronavirus, does not have symptoms, but is playing it safe.

ADJOURNMENT

Motion by Mooney, second by Abboud, to adjourn the meeting at 8:25 p.m.

Motion passed.

John George
Council President

Kristin Rutkowski
Village Clerk



TO PRESIDENT GEORGE & MEMBERS OF THE VILLAGE COUNCIL. THE FOLLOWING IS A LIST OF
EXPENDITURES FOR APPROVAL. ACCOUNTS PAYABLE RUN FROM 09/28/2021 THROUGH 10/11/2021.

ACCOUNT TOTALS:

101	GENERAL FUND	\$167,521.81
202	MAJOR ROAD FUND	\$11,159.55
203	LOCAL STREET FUND	\$34,216.36
205	PUBLIC SAFETY DEPARTMENT FUND	\$40,289.67
208	PARK IMPROVEMENT FUND	\$1,743.34
401	CAPITAL PROJECTS FUND	\$81,744.00
592	WATER/SEWER OPERATION FUND	\$283,081.33
701	TRUST & AGENCY FUND	\$236.00
	TOTAL	<u>\$619,992.06</u>
	MANUAL CHECKS- COMERICA	\$0.00
	MANUAL CHECKS- INDEPENDENT	\$0.00
	ACCOUNTS PAYABLE	<u>\$619,992.06</u>
	GRAND TOTAL	<u><u>\$619,992.06</u></u>

10/07/2021 02:26 PM
User: JAY
DB: Beverly Hills

CHECK REGISTER FOR VILLAGE OF BEVERLY HILLS
CHECK DATE FROM 10/11/2021 - 10/11/2021

Page: 1/1

Check Date	Bank	Check	Vendor	Vendor Name	Amount
Bank COM COMERICA					
10/11/2021	COM	84396	60217	AMAZON CAPITAL SERVICES	99.05
10/11/2021	COM	84397	60568	ANDREW MCCULLOCH	250.00
10/11/2021	COM	84398	51802	ARROW OFFICE SUPPLY CO.	160.80
10/11/2021	COM	84399	60559	ASCENSION OF CHRIST LUTHERAN CHURCH	250.00
10/11/2021	COM	84400	58906	BENJAMIN MCKINNEY	250.00
10/11/2021	COM	84401	53585	BERGER CHEVROLET	81,744.00
10/11/2021	COM	84402	51409	BEVERLY HILLS ACE	31.57
10/11/2021	COM	84403	52071	BLUE CROSS BLUE SHIELD	35,226.17
10/11/2021	COM	84404	50489	BOB ADAMS TOWING	125.00
10/11/2021	COM	84405	60557	BRIAN WOOD	145.00
10/11/2021	COM	84406	60567	CAROLINE OLSEN	250.00
10/11/2021	COM	84407	59347	CINTAS CORPORATION #31	23.83
10/11/2021	COM	84408	59323	CLEANNET	858.00
10/11/2021	COM	84409	51439	COMCAST	45.01
10/11/2021	COM	84410	04500	COMEAU EQUIPMENT CO INC.	28,390.48
10/11/2021	COM	84411	59925	DEBORAH KENT	250.00
10/11/2021	COM	84412	51385	DTE ENERGY	6,437.68
10/11/2021	COM	84413	60562	DUSTIN WHITE	250.00
10/11/2021	COM	84414	60372	EAGLE LANDSCAPING & SUPPLY	347.00
10/11/2021	COM	84415	60569	ELI BAYLESS	80.83
10/11/2021	COM	84416	60563	GAIL DISNER	250.00
10/11/2021	COM	84417	08500	HUBBELL ROTH & CLARK INC	17,733.47
10/11/2021	COM	84418	58950	HYDROCORP	290.00
10/11/2021	COM	84419	59839	J.C. EHRLICH	51.00
10/11/2021	COM	84420	39070	J.H. HART URBAN FORESTRY	8,126.25
10/11/2021	COM	84421	59423	JAMES HEALY	640.00
10/11/2021	COM	84422	59158	JASON'S OUTDOOR SERVICES LLC	2,543.00
10/11/2021	COM	84423	60560	JENNIFER SHAND	250.00
10/11/2021	COM	84424	53316	LANG'S ON-SITE SERVICES	270.00
10/11/2021	COM	84425	60334	LATOYA TILLMAN	250.00
10/11/2021	COM	84426	60570	LORI LANGEVIN BROWN	334.00
10/11/2021	COM	84427	60558	MARY CALLAHAN	250.00
10/11/2021	COM	84428	59703	MATTHEW GOODRICH	28.94
10/11/2021	COM	84429	49556	MELISSA RINGEY	250.00
10/11/2021	COM	84430	52030	MICHIGAN GRAPHICS & AWARDS	25.00
10/11/2021	COM	84431	59330	MIKE SAVOIE CHEVROLET	1,466.92
10/11/2021	COM	84432	58903	MUNIWEB	236.00
10/11/2021	COM	84433	59073	NATIONAL ASSOC. OF CHIEFS OF POLICE	60.00
10/11/2021	COM	84434	51182	NELSON BROTHERS SEWER &	153.00
10/11/2021	COM	84435	59112	NEXT	43,375.00
10/11/2021	COM	84436	51799	NYE UNIFORM EAST	976.50
10/11/2021	COM	84437	50830	OAKLAND COUNTY TREASURER'S	205,367.10
10/11/2021	COM	84438	30035	PLANTE & MORAN, PLLC	13,410.00
10/11/2021	COM	84439	60386	PTS COMMUNICATIONS	60.00
10/11/2021	COM	84440	59122	RAPID RESPONSE	179.97
10/11/2021	COM	84441	60495	RYAN BILLS	600.00
10/11/2021	COM	84442	16500	S.O.C.R.R.A.	35,451.00
10/11/2021	COM	84443	16600	S.O.C.W.A.	70,875.41
10/11/2021	COM	84444	59282	SAFEBUILT INC.	51,070.24
10/11/2021	COM	84445	59649	SHANTEL BELL	250.00
10/11/2021	COM	84446	60566	SHARON KIRSCH	250.00
10/11/2021	COM	84447	60565	SHERRY TSAI	250.00
10/11/2021	COM	84448	60561	TANYA DUNCAN	250.00
10/11/2021	COM	84449	31043	THOMAS J RYAN PC.	8,000.00
10/11/2021	COM	84450	38205	VERIZON WIRELESS MESSAGING	266.39
10/11/2021	COM	84451	60564	WILLIAM WEGERT	280.00
10/11/2021	COM	84452	53572	WOW! BUSINESS	658.45

COM TOTALS:

Total of 57 Checks:	619,992.06
Less 0 Void Checks:	0.00
Total of 57 Disbursements:	619,992.06



To: Honorable President George; Members of Village Council
Chris Wilson, Village Manager

From: Kristin Rutkowski, Village Clerk/Assistant Village Manager

Subject: 2022 Community Development Block Grant Public Hearing

Date: October 14, 2021

The Village of Beverly hills participates as a sub-recipient for Community Development Block Grant (CDBG) funding through a partnership with Oakland County. The County has notified us that applications for Program Year 2022 are due on December 17, 2021. One of the requirements for receiving Community Development Block Grant funding is to hold a public hearing to review the upcoming year's CDBG proposal prior to submittal. Therefore, it is recommended that we schedule a public hearing date of Tuesday, November 16, 2021 for review of the Program Year 2022 Community Development Block Grant proposal.

Suggested Motion

Village Council directs Administration to notice a Public Hearing to be held on Tuesday, November 16, 2021 at 7:30 p.m. to receive comments on the proposal for the 2022 Community Development Block Grant funding allocation.



To: Honorable President George; Village Council Members
Chris Wilson, Village Manager

From: Kristin Rutkowski, Village Clerk/Assistant Village Manager

Subject: Zoning Board of Appeals Appointment

Date: October 14, 2021

There is a vacancy on the Zoning Board of Appeals for a partial term ending June 30, 2023. Announcements of the vacancy were made at the September 21 and October 5, 2021 Village Council meetings.

The Village received 3 applications for the vacancy. We appreciate everyone who applied to serve on the Board.

A subcommittee has been formed consisting of members O’Gorman (chair), Mooney, and Peddie to review the applications and make a recommendation to Council. The subcommittee will meet with the applicants at 7:00 p.m. on Tuesday, October 19, 2021 in the conference room at the Village Office located at 18500 W. 13 Mile Road, Beverly Hills, MI 48025 and then offer a recommendation during the regularly scheduled Council meeting.

Suggestion resolution:

Be it resolved, the Beverly Hills Village Council appoints _____ to the Zoning Board of Appeals for a partial term ending June 30, 2023.



To: Honorable President George, Village Council Members

From: Kristin Rutkowski, Village Clerk/Assistant Village Manager

Subject: Buy-A-Brick Program at Beverly Park

Date: October 14, 2021

The Parks & Recreation Board has been discussing reinstating the Buy-A-Brick Program at Beverly Park. The fundraising program was most recently suspended in 2018. Through this program, residents and local businesses can purchase engraved bricks to be installed at Beverly Park. In the past, individual orders were submitted to the Village and then Administration placed a large order with the vendor once many orders were compiled. The intent is to temporarily open the ordering window for a few months this fall/winter to have bricks ready to be installed next spring.

Administration and Board members researched different vendors that provide the brick engraving fundraising service. At their September 15, 2021 meeting, the Parks & Recreation Board reviewed vendors and selected Brick Markers USA. The Board took into consideration all of the additional services provided by Brick Markers USA when making their decision, such as website and form creation and free shipping. These services are outlined in the attached email dated August 5, 2021.

The Board also discussed the cost of bricks and how much to charge donors. The funds raised by this program will go toward the Tree Fund for the purchase of trees in Village parks. The Village of Beverly Hills Parks and Recreation Board recommended Council approve their request to reinstate the Buy-A-Brick Fundraising Program at Beverly Park with the rate of \$60.00 for a 4x8 engraved brick and \$120.00 for an 8x8 engraved brick.

Village Attorney Ryan has reviewed a proposed agreement with the vendor and has prepared a memo for your review as well (attached).

While it has not been used in a few years, the Village does have a line item created for the Buy-a-Brick pass through funds (Account Number 101-000-675.04).

Suggested Resolution:

Be it resolved, the Beverly Hills Village Council approves the Parks & Recreation Board's request to reinstate the Buy-a-Brick Fundraising Program at Beverly Park with the rate of \$60.00 for a 4x8" engraved brick and \$120.00 for an 8x8" engraved brick. Be it further resolved that that Council authorizes Village Administration to execute the agreement with Brick Markers USA for the purchase of engraved bricks.

Attachments

Law Office of Thomas J. Ryan, P.C.
2055 Orchard Lake Road, Sylvan Lake, MI 48320
(248)334-9938

To: President George and Members of Village Council
From: Thomas J. Ryan, Village Attorney
Date: October 14, 2021
Re: Agreement for Brick Fundraiser

Dear President George and Members of Council,

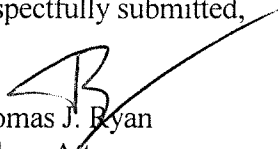
The Parks and Recreation Board wishes to continue the brick fundraising program for Beverly Park. They have selected a company from Florida, Brick Markers USA, Inc., which is competitively priced and which manufactures the two (2) requisite sizes for the park program.

As this is a specialty market with a limited amount of vendors, the Parks and Recreation Board is recommending Brick Markers USA because of the availability of products and the extra features the price includes (shipping, website forms created, online payment options). This will be a pass through fundraising project for the Village. The Village involvement would be to approve the contract and to collect the funds for the project. This project was initially begun in 1999 and continued by the Village Women's Club and thereafter by the Parks and Recreation Board.

If Council is agreeable to restarting this program, the Resolution suggested by the Village Clerk would be appropriate.

I would be pleased to answer any questions.

Respectfully submitted,


Thomas J. Ryan
Village Attorney

October 13, 2021

Ms. Kristin Rutkowski
Village of Beverly Hills
18500 W. 13 Mile Rd
Beverly Hills, MI 48025

Dear Ms. Rutkowski:

Welcome to Brick Markers USA, Inc. (BMI). We want to thank you for choosing us as your brick engraving company. We are very excited about working with you and making your campaign a complete success!

All of us at BMI are committed to providing you, our client, with superior customer service and satisfaction. We will work closely with you from the beginning stages of creating your brochure to confirming the completed product has arrived as promised.

Choosing BMI as your brick engraving company means you have chosen a company that guarantees uncompromising quality and will provide valuable, innovative fund raising and marketing ideas.

We have attached our agreement for your review and signature. This agreement will guarantee our current pricing structure for one year, regardless of any cost increase we may incur from our suppliers.

Please sign the original and return via email. I will also sign the agreement and send you a fully executed agreement via email for your records. Once the executed agreement is received by you / your organization, we will send you text compiling documents for your ordering convenience.

If you should have any questions, or if we can be of further assistance, please feel free to contact your sales representative, Jack Benigno, at 1-800-634-8948 ext. 227.

Sincerely,

Sharon Rieck
President

SJR/ch
enclosure

AGREEMENT

THIS AGREEMENT is made this day by and between Village of Beverly Hills ("Buyer") and Brick Markers USA®, Inc., (BMI) a Florida Corporation ("Seller").

1. **Description of Products, Services, Price:** Subject to the terms and conditions set forth in this Agreement, Buyer hereby agrees to purchase all engraved bricks, pavers and/or tiles, together with the services of Seller for the duration of the Village of Beverly Hills brick/tile campaign project. Buyer will not purchase engraved bricks, pavers and/or tiles or services from any other vendor for the brick/tile campaign project. Brick Markers USA®, Inc. will honor the following pricing structure for a period of one year from the executed date of this agreement - Standard sized unit pricing is based on a combination of bricks and tiles, and of sizes. Example: (95) 4x8x2¼ bricks and (5) 8x8x2¼ bricks equate to a 100 brick order combination:

Order Quantity	Description of Process	Brick or Tile Size/Color	Unit Price
2501-5000	Vitalase®/Vitrix® - 3 lines / 20 characters	4x8/TBD	\$16.00
100-2500	Vitalase®/Vitrix® - 3 lines / 20 characters	4x8/TBD	\$18.00
50-99	Vitalase®/Vitrix® - 3 lines / 20 characters	4x8/TBD	\$20.00
5-49	Vitalase®/Vitrix® - 3 lines / 20 characters	4x8/TBD	\$35.00
1-4*	Vitalase®/Vitrix® - 3 lines / 20 characters	4x8/TBD	\$35.00*
2501-5000	Vitalase®/Vitrix® - 6 lines / 20 characters	8x8/TBD	\$26.00
100-2500	Vitalase®/Vitrix® - 6 lines / 20 characters	8x8/TBD	\$30.00
50-99	Vitalase®/Vitrix® - 6 lines / 20 characters	8x8/TBD	\$32.00
5-49	Vitalase®/Vitrix® - 6 lines / 20 characters	8x8/TBD	\$44.00
1-4*	Vitalase®/Vitrix® - 6 lines / 20 characters	8x8/TBD	\$44.00*

*A \$15.00 per brick handling fee applies

Mini-brick unit pricing is based on a combination of sizes. Example: (85) 1x3x5/8 bricks and (15) 3x3x5/8 bricks equate to a 100 mini-brick order combination:

Order Quantity	Description of Process	Brick Size/Color	Unit Price
2501-5000	Vitalase®/Vitrix® - 3 lines / 20 characters	1x3/TBD	\$5.50
100-2500	Vitalase®/Vitrix® - 3 lines / 20 characters	1x3/TBD	\$6.00
2501-5000	Vitalase®/Vitrix® - 6 lines / 20 characters	3x3/TBD	\$7.50
100-2500	Vitalase®/Vitrix® - 6 lines / 20 characters	3x3/TBD	\$8.00

2. **Payment Terms:** Payment is required within 14 days of the invoice date to schedule your order for processing. All laser engraving is considered custom and is subject to payment in advance.
3. **Delivery of Finished Products, Shipping:** Seller will engrave all ordered product in the Helvetica font unless otherwise specified in writing by the Buyer. Provided that Seller has been paid in full, Seller shall sell, transfer, and deliver to Buyer, at the address set forth below or at a separate address stipulated by the Buyer. The finished products (engraved bricks, pavers and/or tiles) will be delivered on or before date to be determined, unless such time for delivery is otherwise extended in accordance with the terms of this Agreement. Seller shall cause the finished products to be packaged for delivery in accordance with the manufacturers and the selected carrier's recommended specifications for shipping goods of the same or substantially the same size and type. Buyer is 100% responsible for any damaged product and related cost if the Steps to Take When Receiving Shipment document (See Exhibit "A") are not followed. Buyer is 100% responsible for any charges related to special requests for "inside delivery". Seller will invoice Buyer for any charges related to "inside delivery". Seller's stipulated pricing above includes the shipping within the 48 contiguous U.S.

The terms of this agreement shall be governed by the laws of the State of Florida. The parties agree that jurisdiction and venue for any dispute arising out of this agreement is shall be in the state or federal courts of the State of Florida. The Parties agree that any and all confidential information produced as a result of this Agreement or divulged under this Agreement shall be maintained confidential both with regards to their employees and with regards to any 3rd Parties. No 3rd Party shall be allowed to review the confidential information.

In witness whereof, the parties have executed this Agreement on the _____ day of _____, 2021.

Seller: Brick Markers USA®, Inc.

Buyer: Village of Beverly Hills

Executed by: Sharon J. Rieck

Executed by: Print: _____

Authorized Signature: _____

Authorized Signature: _____

Title: President

Title: _____

Address: 4430 W. Tiffany Drive
West Palm Beach, FL 33407

Address: _____



EXHIBIT "A"

STEPS TO TAKE WHEN RECEIVING SHIPMENT

**MUST READ IN ITS
ENTIRETY. CLIENT'S
RESPONSIBILITY AT
TIME OF DELIVERY**

Brick Markers® USA (BMI) developed its own award-winning methods when preparing items for shipping, and it is rare that an order will experience damage in transit. However, if you feel there is damage to an order upon arrival, **DO NOT REFUSE DELIVERY**. Instead please carefully read and follow the steps below to avoid being billed for shipping fees incurred for delivery back to Brick Markers and/or the return trip to your location.

WITH EVERY SHIPMENT WHETHER YOU SEE OR SUSPECT DAMAGES

FREIGHT DELIVERED ON LIFTGATE TRUCK - (Hydraulically lowers the pallets to ground level) Choose your location carefully as they cannot be moved by the driver.

ALL CARRIERS ARE REQUIRED TO DELIVER ON LIFTGATE TRUCK EXCEPT LOADPOWER (FLAT BED TRUCK). If your order does not arrive on a Liftgate truck, instruct the driver to return at an agreed upon time.

View the pallets and their structure carefully, checking that the product has not shifted on the pallet, wrapped in anything other than clear plastic, has straps of an inconsistent color or a crushed/damaged "Do Not Stack cone". (See photo below).

- AFTER VISUAL INSPECTION AND THERE IS SUSPICION FOR DAMAGE, YOU HAVE THE RIGHT TO INSPECT THE ENTIRE SHIPMENT. IF THE DRIVER REFUSES TO WAIT, CALL THE FREIGHT COMPANY (ESTES 800-378-3748, SAIA 800-765-7242, FEDEX 866-393-4585, AAA 800-252-0246, ABF 800-874-2061). **IF THE DRIVER STILL MUST LEAVE, WRITE "DAMAGED – QTY UNKNOWN" ON THE FREIGHT RECEIPT.** IF YOU CHOOSE NOT TO INSPECT THE ENTIRE SHIPMENT, YOU WILL NOT BE REIMBURSED FOR DAMAGES OTHER THAN WHAT WAS NOTED ON THE FREIGHT RECEIPT YOU SIGN.
- TAKE PHOTOS OF PACKAGING AND/OR PRODUCTS IMMEDIATELY WHILE ON PALLET.
- BEFORE THE DRIVER LEAVES WRITE "DAMAGED" ON BOTH COPIES OF THE DELIVERY RECEIPT. DO NOT SPECIFY THE DAMAGES OR ALLOW THE DRIVER TO COMPEL YOU TO DO SO AS THIS WILL LIMIT YOUR CLAIM TO WHAT WAS SPECIFIED.
- NOTIFY YOUR SALES REPRESENTATIVE AS SOON AS POSSIBLE PRIOR TO INSTALLATION AND WITHIN 3 DAYS OF DELIVERY.
- UNTIL YOU RECEIVE SPECIFIC DIRECTION FROM YOUR SALES REPRESENTATIVE, DO NOT CONTINUE TO UNPACK OR ATTEMPT TO INSTALL ANY DAMAGED ITEMS.
- RETAIN ANY AND ALL PACKAGING INCLUDING THE BOX(ES), DAMAGED BROKEN ITEMS, EVERYTHING! WITHOUT THE PACKAGING WE ARE UNABLE TO SUBMIT A CLAIM FOR DAMAGES.
- DO NOT ASSIST THE DRIVER IN ANYWAY. UNLOADING IS THEIR SOLE RESPONSIBILITY. PLEASE NOTE THERE IS A FEE FOR INSIDE DELIVERY AND YOU WILL BE BILLED FOR THIS SERVICE IF REQUESTED.
- IF NO SUSPICION OF DAMAGES FOLLOWING VISUAL INSPECTION, YOU HAVE THE RIGHT TO EXAMINE THE TOP TWO LAYERS OF BRICKS BEFORE THE DRIVER LEAVES. WE STRONGLY RECOMMEND YOU DO THIS. IF DRIVER REFUSES, REMEMBER TO FOLLOW 1ST BULLET POINT.

FREIGHT DELIVERED ON FLAT BED (Referred as LOADPOWER)

- YOU MUST HAVE A FORKLIFT WITH ADJUSTABLE FORKS AND A FORKLIFT DRIVER ON SITE TO UNLOAD THE DELIVERY.
- TAKE PHOTOS OF PACKAGING AND/OR PRODUCTS IMMEDIATELY WHILE ON TRUCK.
- BEFORE THE DRIVER LEAVES WRITE "DAMAGED" ON BOTH COPIES OF THE DELIVERY RECEIPT. DO NOT SPECIFY THE DAMAGES OR ALLOW THE DRIVER TO COMPEL YOU TO DO SO AS THIS WILL LIMIT YOUR CLAIM TO WHAT WAS SPECIFIED.
- ONCE YOU TAKE POSSESSION OF THE DELIVERY BY UNLOADING THE TRUCK, YOU TAKE FULL RESPONSIBILITY FOR ANY AND ALL DAMAGES.

**BMI'S GOAL IS TO PROTECT AND SUPPORT
YOU FROM FREIGHT CARRIER MISHAPS.
PLEASE READ AND FOLLOW THESE STEPS.**

**Order Size Varies per Client.
Images are only an example of how
your Order should arrive.**



Brick Order



Tile Order



Blank Brick Order

Kristin Rutkowski

From: Jack Benigno <jack@brickmarkers.com>
Sent: Thursday, August 5, 2021 4:26 PM
To: Kristin Rutkowski
Subject: Brick Markers USA - Pricing & Basic Information
Attachments: Michigan.doc

Kristin,

It was a pleasure speaking with you today and I look forward to the possibility of working with you. As we discussed, I am sending some basic information and pricing for your immediate needs. I am sending our full brochure with three options for viewing as well as a list of some projects we have done in the state of Michigan. I will have the brochure and samples shipped out right away.



High Quality PDF: <http://www.brickmarkersusa.com/BrochureHiRes.pdf>

Download Our Brochure: <http://www.brickmarkersusa.com/BrochureHiRes.zip>

To assist you in making the best decision for your engraving needs, the following is some information about the services we offer as well as just a few of the advantages of working with Brick Markers® USA, Inc.

ADVANTAGES:

- Brick Markers® provides a lifetime guarantee to our clientele. We guarantee that the engraved text and graphics will not fade, chip, oxidize, peel, separate or change in any way for the life of the surface of the brick or tile. Since inception of our company in 1997, none of our engraved products have ever been replaced or needed to be replaced due to the engraving fading, chipping, oxidizing, peeling or separating.
- Our Vitralase®/Vitrix® processes can be achieved on any clay brick, paver or tile. Brick Markers® has the ability to engrave just about anything you want on a brick or tile. We can program custom logos for corporate level sponsors, clipart and centerpiece arrays for your project.
- We offer various size brick and tile products to enable your organization to maximize revenue potential. By offering multiple products, donors will contribute more to support your cause.
- Our patented laser engraving and its color are both a result of 100% natural inorganic earth element materials and use no solvents, paints, plastics or VOCs (volatile organic compounds). This is the ultimate in "Green" technology and we are happy to do our part in sustaining the environment.

FREE SERVICES:

- **Free Brochure/Order Form Samples:** We will provide you with example order forms that other organizations have created. These will help you to see, not only what others have offered, but the design of their fliers as well.

- **Free Donor Website:** We will create a custom website for your fundraising program. Your donors will have the ability to purchase their engraved brick/tile online with ease. We will design and host a unique website for your group or organization and will work with you to create a site with images and wording that best represent your vision.
- **Free Proprietary Ordering System:** Our custom POS is a very "user friendly" system making it easy to compile the donor's engraving information. Once you have completed the engraving information for your order, simply attach it to an email to your Sales Representative and we will take it from there!
- **Free Marketing Ideas:** We can provide options to differentiate levels of giving as well as marketing ideas and examples to help sell the bricks and increase your overall profit margins.
- **Free Shipping Within the 48 Contiguous United States:** All prices include, the brick, engraving and shipping within the 48 contiguous United States so there are no hidden fees which enables you to easily determine at what price you need to sell the engraved bricks, pavers or tiles to achieve your fund raising goals.
- **Free Greek Letters & Spanish Accent Marks**
- **Free True Type Fonts**
- **Free Clipart Library:** Sports, Arts & Education, Animal, Miscellaneous, Religious, Holiday, Seals & Badges, Zoo & Lettering
- **Competitive Pricing & NO MINIMUM ORDERS**
- **Exemplary & Friendly Customer Service:** We are proud to provide our clientele with the most competent customer service support in the industry. Our experienced and devoted team of professionals is truly committed to continuing this tradition. It is our policy that we will always respond to your phone calls or emails within 24 hours.

FEE-BASED CAMPAIGN SUPPORT:

- **Order Processing Center**
- **Management Reporting**
- **Brick/Tile Locator**
- **Master Section Compiling**
- **Replicas & Certificates of Authenticity**
- **Brick/Tile Display Cases**
- **Tile Name Plates**

VITRALASE®/VITRIX® PRICING:

4x8x2¼ Engraved (Brick) or 3 5/8x7 5/8x1/2 (Tile)

100-2500	\$18.00 each
50-99	\$20.00 each
5-49	\$35.00 each
1-4	\$35.00 each*

8x8x2¼ Engraved (Brick) or 7 5/8x7 5/8 x1/2 (Tile)

100-2500	\$30.00 each
50-99	\$32.00 each
5-49	\$44.00 each
1-4	\$44.00 each*

1.5x3 Engraved Mini Bricks

100-2500	\$6.00 each
50-99	\$8.50 each
5-49	\$12.00 each
1-4	\$12.00 each**

3x3 Engraved Mini Bricks

100-2500	\$8.00 each
50-99	\$10.50 each

5-49 \$12.00 each
1-4 \$12.00 each**

* A \$15.00 per brick handling charge will be applied only to orders consisting of 1-4 engraved bricks (4x8 and 8x8 only).
** A \$7.00 per mini brick handling charge will be applied only to orders consisting of 1-4 engraved bricks (1.5x3 and 3x3 only).

All prices include, the brick, engraving and shipping within the 48 contiguous United States. You can combine the count of 4x8 & 8x8 bricks in order to meet the quantity discounts and you can combine the count of 1.5 & 3x3 mini bricks to meet the quantity discounts but cannot combine the counts of the mini bricks with the larger bricks. The standard amount of characters offered on a 4x8 is 3 lines with 20 characters per line, which includes spacing and punctuation and 6 lines with 20 characters per line on an 8x8, which also includes spacing and punctuation. The mini bricks can be exact replicas and have the same amount of characters.

PROCESSING TIME:

Many of our clients have specific EVENT DATES, we ask that you notify us IMMEDIATELY so that we can set up a timeline for you and work with you to meet any event or dedication dates. Our beginning processing time fluctuates throughout the year depending on our schedule at that time. What is most important to Brick Markers USA, Inc. (BMI) is that we meet YOUR required timeframe.

If you should have questions or need my assistance, please feel free to contact me at 1-800-634-8948 ext. 227 or e-mail jack@brickmarkers.com.

Thank you and have a great day,

Sincerely,

Brick Markers® USA laser engraving technology is covered by the following U.S. & Foreign Patents: 6,064,034, 6,635,846, 7,238,396, GB2349609, CA2474284 and 5,554,335



Jack Benigno
Sales Manager

4430 W. Tiffany Drive, West Palm Beach, FL 33407
800-634-8948 x227 ~ Fax: 561-848-7266
jack@brickmarkers.com www.brickmarkers.com



Important Note: Due to the enormous amount of computer viruses, please be sure to indicate the name of your project on the subject line within your e-mail. We certainly do not want to omit your very important e-mail. Thank you for your cooperation in this matter.



To: Village President George, Village Council
Chris Wilson, Village Manager

From: Mark D. Lloyd, Planning & Zoning Administrator

Date: October 13, 2021 (updated)

Re: Proposed Redevelopment of Vacant Lot at 31655 Southfield – Goddard School of Beverly Hills

THIS ITEM WAS TABLED FROM THE OCTOBER 5, 2021, VILLAGE COUNCIL MEETING

Project History:

On July 21, 2021, the Village Council reviewed plans and application materials to develop a childcare facility, The Goddard School of Beverly Hills, at 31655 Southfield Road in the B-Business District and within the Village Center Overlay District (VCOD). The property is approximately 1.5 acres in size, irregularly shaped and located on the west side of Southfield north of 13 Mile. The proposal includes a mixed-use development project consisting of 2 buildings. Building 1 (located at the rear of the site) is a two-story, 16,000 square foot childcare/preschool building with multiple classrooms and facilities and includes a screened mechanical room on top. Building 2 (at the front of the site) is also two-stories consisting of 5,000 square feet of floor area with mixed uses including office and retail. Upon review of the proposal, the Village Council requested the Planning Commission review the project and provide a recommendation on the proposed development.

The Planning Commission conducted two meetings on the matter: July 28, 2021, and August 25, 2021. Upon completion of the review, the Planning Commission recommended Village Council approval of the project subject to the applicant receiving variances for the size of the outdoor play area and separation from another facility providing similar service.

On September 13, 2021, the Zoning Board of Appeals conducted two public hearings on the above-noted variances as follows: (Both Variances Were Granted)

Case No. 1390 – Relief from Section 22.08.370(b) requiring 150 square feet for each person cared for; Required – 30,000 square feet; Proposed – 10,240 square feet.

Case No. 1391 – Relief from Section 22.08.370(c) requiring 1,500-foot separation from another State Licensed Facility; Proposed - adjacent Petitioner:

Project Background:

The review, approval and recommendation of this project was extensive and comprehensive. Following is a list of documents included in the first link below which provides reports and pertinent documentation from the Village Council, Planning Commission and ZBA. These documents provide detailed background and review information on the proposed project.

- September 13, 2021, ZBA agenda packet, application and report with attachments, includes
 - o PC Report dated August 20, 2021 Cover only – see additional link

- PC Report dated July 23, 2021, cover only see additional link
- July 14, 2021 VC report (July 21st meeting)
 - Project description, application and plans
 - Compliance with intent of VCOD (Hobbs & Black July 14, 2021)
 - Traffic Study (Storey Engineering, June 30, 2021)
- Color Renderings

Project Link (ZBA report and noted attachments):

<https://documentcloud.adobe.com/link/track?uri=urn:aaid:scds:US:cd2babf9-d62c-4210-8517-7b24d0b1e201>

Following is a list of documents included in the second link below which provides additional reports and pertinent documentation from the Planning Commission. These documents provide detailed background and review information on the proposed project.

<https://documentcloud.adobe.com/link/track?uri=urn:aaid:scds:US:c52c2014-d40c-4d2e-a89a-99c6af567429>

- August 20, 2021 PC report and attachments for the August 25 meeting
 - PC Report dated August 20, 2021, complete with attachments
 - August 20, 2021 Review letter from HRC
 - August 12 response to planner letter from Hobbs & Black
 - August 12, 2021 response to engineering comments Storey Engineering
 - August 12, 2021 response to landscape comments, Storey Engineering
 - Detailed floor and development plans
 - Planner comments

A copy of the proposed Development Agreement has been submitted, and reviewed by the Village Manager, Village Attorney, Planning and Zoning Administrator and Contract Planner. Edits have been made and returned to the developer for review and comment. All edits have been accepted, agreed upon and incorporated into the Development Agreement distributed along with this report.

A project presentation will be made at the meeting. In addition, the applicant and their team will be available to answer any questions and to discuss the project. Please contact staff at your earliest convenience if there are any questions or comments which might need additional research prior to the meeting.

Suggested Resolution:

The Village Council accepts the Planning Commission's recommendation and hereby approves the site plan for development of a child-care center at 31655 Southfield Road located in the B-Business District and within the Village Center Overlay District finding that the project has received required variances from the Zoning Board of Appeals and that the project meets the requirements of the B-Business District and the intent of the Village Center Overlay District. Furthermore, the Village Council hereby approves the associated Development Agreement and authorizes the Village President to execute on behalf of the Village Council.

Law Office of Thomas J. Ryan, P.C.
2055 Orchard Lake Road, Sylvan Lake, MI 48320
(248)334-9938

To: Village Council
From: Thomas J. Ryan, Village Attorney
Date: October 14, 2021
Re: Goddard Development Agreement

Dear President George and Members of Council,

On the Agenda for the October 19th meeting is the Site Plan and possible approval for the Goddard Development under the Village overlay ordinance, and for a Development Agreement which is mandated by the Village overlay ordinance, Chapter 22, Section 23.1 of the Village Zoning Ordinance.

As this is the first Development Agreement under this ordinance, I would be pleased to answer any questions that the Village Council has, but I will try to outline several pertinent points for the Council.

The Development Agreement is required in the ordinance under 23.11(D) which states “Development Agreement – Development approved according to this section shall enter into a development agreement with the Village, in a form acceptable to the Village Attorney, that specifies the required improvements, commitments and obligations of the development as it relates to the overall Village Center district. The development agreement shall specify any recognized benefits provided by the developer, flexibility granted by the Village, and maintenance provisions for all site improvements.”

The Development Agreement before you this evening is a collaboration between the developer, the developer’s attorney, myself, Mr. Wilson, Mr. Lloyd and our planner, Brian Borden. The Village team believes this Agreement fairly represents the roadmap for the development of this property, which will be recorded in the Oakland County Register of Deeds, and is binding on any heirs or successors in title to this subject property.

The Development Agreement recites the process to reach this agreement, the approvals granted, the recommended approvals by Planning Commission and approval by Village Council. These approvals involve certain flexibility deviations which are deemed appropriate by the Village Planning Commission and Village Council under the standards of the ordinance and the circumstances of the proposed development and subject property.

The recognized development, as noted by the Planning Commission, Village Council and administration, has been incorporated into the Development Agreement, per the ordinance, and the conditions and standards have been memorialized in the Development Agreement as well.

As the Council is aware as mentioned at the last council meeting, the adjacent property owner the Village of Beverly Hills Club, has challenged the two (2) variances granted by the Village of Beverly Hills Zoning Board on September 13, 2021. Our village ordinance indicates that site plans

President George and Members of Village Council

October 14, 2021

Page 2

and variances are valid for one (1) year from and after the date of approval, but because of the referenced lawsuit the applicant will not be able to close on the purchase of the property until and unless the lawsuit is favorably resolved.

It is the intention of the Village to support the action by the Zoning Board in the Oakland County Circuit Court by filing the appropriate and necessary legal papers to hopefully resolve that matter in support of the variances granted. If that litigation is successfully concluded supporting the Zoning Board's variances, the applicant will close on the real estate and the one (1) year time period will begin. If Council is agreeable to approving the Site plan and Development Agreement, a resolution would be in order.

I would be pleased to answer any questions.

Respectfully submitted,

A handwritten signature in black ink, appearing to read 'Thomas J. Ryan', with a long, sweeping horizontal line extending to the right.

Thomas J. Ryan
Village Attorney

VILLAGE OF BEVERLY HILLS

**RESOLUTION OF THE VILLAGE OF BEVERLY HILLS REGARDING
A DEVELOPMENT AGREEMENT BETWEEN JMAX CAPITAL, LLC,
DOING BUSINESS AS THE GODDARD SCHOOL OF BEVERLY HILLS
AND THE VILLAGE OF BEVERLY HILLS**

At a regular meeting of the Village Council, Oakland County, Michigan, held at the Village Office at 18600 W. Thirteen Mile Road, Beverly Hills, Michigan 48025, on Thursday, October 19, 2021, at 7:30 p.m.

PRESENT: _____

ABSENT: _____

The following Resolution was offered by _____
and supported by _____ to approve the Development Agreement between the Village of Beverly Hills and JMAX Capital, LLC, a Michigan Limited Liability Company doing business as the Goddard School of Beverly Hills to become effective upon the successful completion of the pending litigation in the Oakland County Circuit Court Case No. 21-190294-AA.

AYES: _____

NAYS: _____

RESOLUTION DECLARED ADOPTED.

CERTIFICATION

I, Kristin Rutkowski, being the duly appointed and qualified Clerk of the Village of Beverly Hills, Oakland County, Michigan, do hereby certify and declare that the foregoing is a true and correct copy of a Resolution adopted by the Village Council of the Village of Beverly Hills at a regular meeting thereof held on October 19, 2021.

Kristin Rutkowski, Village Clerk

THE GODDARD SCHOOL OF BEVERLY HILLS

DEVELOPMENT AGREEMENT

Entered into between:

The Village of Beverly Hills, a Michigan municipal corporation

and

**JMAX Capital, LLC, a Michigan Limited Liability Company doing business as The
Goddard School of Beverly Hills**

Dated: _____, 2021

DEVELOPMENT AGREEMENT

THIS DEVELOPMENT AGREEMENT ("**Agreement**") is made and entered into as of _____, 2021, by and between the VILLAGE OF BEVERLY HILLS, a Michigan municipal corporation ("**Village**") and JMAX Capital, LLC, a Michigan Limited Liability Company doing business as The Goddard School of Beverly Hills ("**Developer**").

WITNESSETH:

A. Developer owns a legal interest in the real property at 31655 Southfield Road, tax i.d. # 2402427006, and as legally described on the attached **Exhibit A**, which contains approximately 1.5 acres, and is located in the Village ("**Property**").

B. Developer has submitted various applications (together the "**Application**") to develop the Property under the B and Village Center Overlay District ("**VCOD**") as provided in Section 22.23 of the Village Zoning Ordinance ("**Ordinance**") as set forth in the approved Project Plan.

C. The matter was referred by the Village Council to the Village Planning Commission at the Council's July 20, 2021 meeting. The Village Planning Commission discussed the matter at its July 28, 2021 meeting and at its August 25, 2021 meeting the Village Planning Commission recommended to the Village Council approval of the Application and related site plan subject to Developer obtaining necessary variances from the Village of Beverly Hills Zoning Board of Appeals.

D. On September 13, 2021 the Village of Beverly Hills Zoning Board of Appeals conducted two (2) duly noticed public hearings and granted certain variances to the Developer; to-wit:

- a. Variance 1390 to allow an outdoor childcare center play area of 10,240 square feet versus the 30,000 square feet required by the Ordinance;
- b. Variance 1391 to allow a childcare center at the Property within the minimum 1500' foot distance from another state licensed childcare facility required by the Ordinance.

E. Thereafter this matter was returned to Village Council for consideration at its October 19, 2021 meeting for Resolution and the approval of this Development Agreement.

F. The Property is zoned B Business District and Village Center Overlay District (Mixed Use Zone). Developer has applied to the Village to develop the Property as zoned as an integrated mixed-use development in accordance with the approved Site Plan attached at **Exhibit B** ("**Project Plan**"), with a mixture of childcare center, preschool commercial day care, commercial, retail and office which are all permitted by right by the Village Zoning Ordinance under current zoning. The Project Plan depicts and is hereby approved for a 2 story 16,422 square foot childcare/preschool building and a 2 story 4,902 square foot mixed use

commercial/office/retail building and the collective associated site improvements, parking and circulation fields and landscaping (“Project”).

G. The Village and Developer agree, and the Village has so found in public meetings before its Planning Commission, Zoning Board of Appeals and Village Council, that the Project satisfies all of the qualifying conditions for use of the approval and flexibility standards of the VCOD Ordinance pursuant to Section 22.23 *et seq.* and that Developer has otherwise obtained all necessary site plan approvals from the Village Planning Commission, certain variances from the Ordinance from the Zoning Board of Appeals and final development approvals from the Village Council to proceed to develop the Project pursuant to this Agreement.

H. The Project is consistent with the intent of and satisfies all of the conditions of the VCOD Ordinance required for approval of the Project, including but not limited to Sections: (i) 22.23.3; (ii) 22.23.4; (iv) 22.23.5; (v) 22.23.7; (vi) 22.23.8 and (vii) 22.33.11 (including certain Dimensional Flexibility and Recognized Benefits noted in the public record, the Application and the Project Plan and here in).

I. The Village Council, after giving proper notice, held a public meeting on October 19, 2021 at which time the Developer’s Application and the form of this Agreement were considered along with prior action of the Village Planning Commission and Zoning Board of Appeals, and comments and recommendations of the public were heard, and the Village Council adopted a binding Resolution approving this Agreement, the Project Plan, and the Project.

J. The VCOD Ordinance requires the execution and recording of this Agreement in connection with the final approval of the Project and Project Plan, setting forth the conditions upon which such approval is based.

K. The Village desires to ensure that the Property is developed and used in accordance with the Agreement, the approved Project Plan, the VCOD, certain variances from the Ordinance from the Zoning Board of Appeals and all other applicable laws, ordinances and regulations not inconsistent with this Agreement.

L. The Village considers the Goddard School component of the Project Plan and this particular Developer integral to the approval of this Project.

NOW, THEREFORE, the Developer and the Village, in consideration of the mutual covenants described herein, and with the express understanding that this Agreement contains important and essential terms as part of the final approval of the Project and Project Plan, agree as follows:

Section 1. Incorporation of Recitals. The parties acknowledge and represent that the foregoing recitals are true and accurate and are hereby incorporated into this Agreement to be binding upon the parties.

Section 2. Project and Project Plan Approval. The parties acknowledge and agree that the Project and Project Plan have been granted final approvals in all respects under the VCOD by the Village Council, Planning Commission and Zoning Board of Appeals subject to compliance with

the conditions set forth in Section 3 below (“**Project Approval**”). Such Project Approval includes approval of the Application, the Project Plan, this Agreement and all exhibits attached to this Agreement, which take precedence over and supersede any and all prior reports, agreements, plans and other submissions to the Village relative to the Property:

Exhibit A. Property Legal Description

Exhibit B. Project Plan and Phasing Plan

Exhibit C. Architectural Elevation Drawings

Developer’s rights to develop the Property for the Project consistent with the Project Approval as provided for in this Agreement are fully vested: (i) upon the execution of this Agreement and; (ii) upon Developer’s receipt of a permit from the Village to commence substantial construction related activity on the Property consistent with the Project Approval which must occur within one (1) year of this Agreement, which construction efforts shall then be diligently pursued thereafter by Developer. Except as provided in the Agreement, no subsequent zoning action by the Village shall impair the rights of Developer hereunder, and the uses and development permitted by this Agreement shall be deemed to be lawful, conforming uses. Developer shall fully comply with the Village’s design and engineering standards and other local, state and federal laws, codes and regulations in effect at the time of construction of the Project, to the extent they do not conflict with this Agreement or the Project Plan.

Section 3. Conditions of Project Approval. The Project Approval shall be subject to the following conditions with which Developer and Village must comply:

a. Developer will develop the Project in compliance with the Project Plan and the Project Approval.

b. Developer will obtain all necessary final approvals and permits for the Project from the Road Commission for Oakland County in connection with any work in the public right of way on Southfield Road.

c. Developer will not seek division of the Property under the Michigan Land Division Act without Village Council approval and amendment of this Agreement, which approval will not be unreasonably withheld by the Village.

d. Developer adheres to HRC’s recommendations in its letter dated August 20, 2021.

e. Developer adheres to the final engineering approval by the Village engineer and the Fire Marshall letter dated August 23, 2021 as well as any related and consistent updated requirement.

f. Developer agrees to a future north-south only “vehicular cross-access easement” agreement across to be determined portions of the Property (“the Easement”). The location of the Easement will be proposed by the Village in the public interest of compatible and cohesive future commercial development, developed under the VCOD, along Southfield Road. The location of the Easement will not impair the use, parking, vehicular access, development or

operation of the Property consistent with the Project for its intended purposes. The parties agree to act reasonably and in good faith with regard to this provision in the future.

Section 4. Zoning Ordinance Requirements. Except as set forth in this Agreement and the Project Plan and Project Approval, the Project shall be developed in accordance with the Ordinance. In the event the express provisions of this Agreement or the Project Plan and Project Approval are inconsistent with the Ordinance, regulations or design standards in existence on the date of this Agreement, then this Agreement and Project Plan and Project Approval shall control. Except for any such conflict, the provisions of the Ordinance shall apply.

Section 5. Flexibility to VCOD Ordinance Requirements. As set forth in the Application, Project Plan and Project Approval, pursuant to Section 22.33.11 of the VCOD Ordinance, and the Village's recognition of certain Recognized Benefits as required at Section 22.33.11, the following Dimensional Flexibility modifications to the strict requirements of the B and VCOD Ordinance are approved by the Village without further review:

- a. not requiring a sidewalk along Gould Court;
- b. a reduction to 59% vs 75% building frontage along Southfield Road;
- c. a reduction in window/façade % per the Project Plan;
- d. reduction in distance of the drive/approach from another driveway;
- e. lighting that is proposed in a right-of-way is subject to approval by the Road Commission for Oakland County;
- f. the Project will be developed according to the approved Project Plan.

Section 6. Zoning Variances. These zoning variances are valid for one (1) year unless extended by application to the Zoning Board of Appeals. As set forth in the Application, Project Plan and Project Approval, pursuant to the Ordinance and the Michigan Zoning Enabling Act, and the Village's recognition of certain Developer practical difficulties through its Zoning Board of Appeals, the following variances to the strict requirements of the B and VCOD Ordinance are recognized as approved by the Village without further review:

- a. Variance 1390 to allow an outdoor childcare center play area of 10,240 square feet versus the required 30,000 square feet required by the Ordinance;
- b. Variance 1391 to allow a childcare center at the Property within the minimum 1500' foot distance from another state licensed childcare facility required by the Ordinance.

Section 7. Modifications. Minor modifications to the Project Plan and Project Approval, which involve a reduction of five (5%) percent or less of building area or minor architectural changes, may be approved administratively by the Village Planning Department at the request of the Developer. Major modifications to the Project Plan and Project Approval of more than five

(5%) percent of building area or major architectural changes must be approved by Village Council. Any request for a modification of the Project Plan by Developer shall be made in writing to the Village Planning Department, which shall determine whether the requested modification is a minor or a major modification, in its sole and reasonable discretion. Minor modifications to any other plans, specifications, signage, drawings or other related documents may be approved administratively by the Village Planning Department.

Section 8. Village Plan Review. The Village shall review and approve all Project plans and construction drawings for demolition, clearing, grading, utilities, landscaping, site improvements, buildings and related approvals and permits pursuant to the Ordinance. The Village will review Project plans and drawings and provide comment and approval within an ordinary course period following each submission of Project plans or drawings.

Section 9. Consent/Approvals. Whenever the consent, approval or permit issuance of the Village Council or any Village commission, department, staff, attorney or representative is required for the Project, such consent, approval or permit issuance shall not be unreasonably withheld, delayed or conditioned.

Section 10. Sale of Property. Developer shall have the right to sell, transfer, assign and/or mortgage all or any portion of the Property within its legal interests subject to the terms and conditions of this Agreement. All such conveyances shall be in accordance with state law and local ordinances, as may be modified by this Agreement. In the event all or any portion of the Property changes ownership or control, the terms and conditions of this Agreement shall be binding on any successor owner of all or any portion of the Property. The Village acknowledges that this Agreement may be relied upon for the future land use and development of the Property by Developer and its successors and assigns and transferees. Any material change in land use with respect to the Project, Project Plan or the Project Approvals that substantially affects day-to-day operations of the Goddard School childcare business or other use permitted by right in the B or VCOD zoning districts must be approved by the Village, said approval not to be unreasonably withheld. Notwithstanding anything in the Agreement to the contrary, Developer and its successors and assigns and transferees shall have no obligation to develop any part or all of the Project.

Section 11. Public Benefit. This Development Agreement comprises elements that satisfies the qualifying conditions of the VCOD to provide flexibility and to provide a public benefit to meet the Village's long-term goals and objectives for the development in this area. The public benefits are:

- a. The Developer will permit the use of the parking area of the Property for public purpose assembly for charitable or civic purposes (such as fundraising walks/runs, school bake sales/carwashes) at the request of the Village up to two days in any calendar year to occur only on a weekend or legal holiday and after receipt of not less than 90 days written notice that such assembly and usage is requested.
- b. Developer and the Village have agreed to cooperate in good faith on future agreement to the following future possible area improvements to the VCOD area for the benefit of the continued cohesive and compatible commercial development of the VCOD, the Village,

its commercial ad valorem tax base and the convenience and benefit of the public in general:

- i. the Easement along Southfield Road as discussed in the Section 3(f) above;
- ii. the potential sale of the northerly 6' feet of the Property by Developer or its successors to the Village or a third party as part of a cohesive and compatible re-development of Gould Court under the VCOD and its associated residential properties for the benefit of the Village and its residents so long as the future proposed sale does not impair the use, parking, vehicular access, development or operation of the Property consistent with the Project for its intended purposes. The parties agree to act reasonably and in good faith with regard to this provision in the future for the mutual benefit of the Village and the Developer.

Section 12. Phasing. Subject to the requirements of Section 2, the Project may be constructed by the Developer and issued permits by the Village in accordance with attached phasing plan. A Certificate of Occupancy for phase I shall not be issued unless or until construction of phase II is underway which shall constitute installation and approval of the building foundation at a minimum. All landscaping shall be installed at time of issuance of Certificate of Occupancy for phase I or a cash bond in the amount of \$75,000.00 shall be deposited with the Village to ensure completion of landscape improvements.

Section 13. Performance and Completion Assurances. Developer shall provide performance and completion assurances in accordance with applicable Village's ordinances. Prior to undertaking any construction activities, Developer shall obtain a bond in the amount of \$200,000.00 that may be used to demolish or finish any incomplete construction that has been abandoned prior to completion of the Project or to secure the site to protect the public health, safety and welfare. The bond shall be in a form acceptable to the Village's attorney. Such bond shall be returned to Developer at such time as a certificate of occupancy is issued for any part of the Project.

Section 14. Integration/Amendments. This Agreement and its exhibits set forth the entire agreement between the parties relative to the subject matter hereof. No prior or contemporaneous oral or written representations, statements, promises, agreements or undertaking made by either party or agent of either party, that are not contained in the Agreement shall be valid or binding. This Agreement may not be amended except in writing signed by the parties and recorded in the same manner as this Agreement.

Section 15. Severability. It is understood and agreed by the parties that if any part, term or provision of the Agreement is held by the courts to be illegal or in conflict with any statute, ordinance, rule, regulation or other applicable law, the validity of the remaining portions or provisions of the Agreement shall not be affected, and the rights and obligations of the parties shall be construed and enforced as if this Agreement did not contain the particular part, term or provision held to be invalid.

Section 16. Governing Law. This Agreement shall be governed by the laws of the State of Michigan, both as to interpretation and performance. Any and all suits for any and every breach of this Agreement may be instituted and maintained in any court of competent jurisdiction in the County of Oakland, State of Michigan.

Section 17. Waiver. No waiver of any breach of this Agreement shall be held to be a waiver of any other or subsequent breach.

Section 18. Inconsistency. To the extent that this Agreement and/or the Project Plan or Project Approval conflict with requirements of the Ordinance, the terms of this Agreement and the Project Plan or Project Approval will control. Any clerical errors or mistakes in the Agreement or its exhibits may be corrected by any of the parties, and all parties agree to cooperate in making such corrections in order effectuate the intent of the parties in entering into this Agreement. In all events any reference to the Ordinance shall mean the existing Ordinance at time of execution of this Agreement.

Section 19. Authority. The signatories of this Agreement warrant and represent that they have the authority to sign this Agreement on behalf of their respective principals and the authority to bind each party to this Agreement according to its terms. Further, each of the parties represents that the execution of this Agreement has been duly authorized and is binding on such party.

Section 20. Binding Effect. This Agreement shall be effective upon execution and shall be recorded in the office of the Oakland County Register of Deeds. This Agreement shall run with the land constituting the Property and be binding upon and inure to the benefit of the parties, their heirs, successors, assigns and transferees. It is also understood that the members of the Village Council and/or the Village Administration and/or its departments may change, but the Village shall nonetheless remain bound by the Agreement.

Section 21. Agreement Jointly Drafted. The parties have negotiated the terms of this Agreement, and such documentation represents the product of the joint efforts and mutual agreements of the parties. Accordingly, neither party shall be deemed to be the author of this Agreement and this Agreement shall not be construed against either party.

Section 22. Notices. Notices under this Agreement will be provided to the following addressees, which may be modified by delivering notice of such change to the other party at the following address:

To Developer: Kellie McDonald
JMAX Capital, LLC
935 E. Silverbell Road
Lake Orion, MI 48360

With a copy to: Richard E. Rassel
Williams Williams Rattner & Plunkett, P.C.
380 North Old Woodward Avenue
Suite 300
Birmingham, MI 48009

To Village: Village Manager
18500 W. 13 Mile Road
Beverly Hills, MI 48025

With a copy to: Village Attorney
Thomas J. Ryan, Esq.
2055 Orchard Lake Road
Sylvan Lake, MI 48320

[signatures on following pages]

IN WITNESS WHEREOF, the parties have caused this Agreement to be executed on the day and year recited above.

VILLAGE OF BEVERLY HILLS
a Michigan municipal corporation

By: _____
Village President

By: _____
Village Clerk

ACKNOWLEDGEMENT

STATE OF MICHIGAN)
) ss
COUNTY OF OAKLAND)

The foregoing Agreement was acknowledged before me on the _____ day of _____, 2021, by Village President for the Village of Beverly Hills, a Michigan municipal corporation, on behalf of the corporation. _____

_____, Notary Public
Oakland County, Michigan
My Commission Expires: _____
Acting in Oakland County

ACKNOWLEDGEMENT

STATE OF MICHIGAN)
) ss
COUNTY OF OAKLAND)

The foregoing Agreement was acknowledged before me on the _____ day of _____, 2021, by Village Clerk for the Village of Beverly Hills, a Michigan municipal corporation, on behalf of the corporation.

_____, Notary Public
Oakland County, Michigan
My Commission Expires: _____
Acting in Oakland County

[Signatures continued on next page]

By: _____

Kellie McDonald

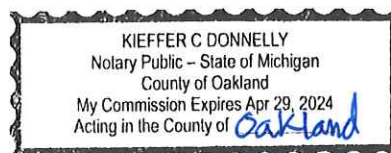
Title: Manager of JMAX Capital, LLC, a
Michigan Limited Liability Company doing
business as The Goddard School of Beverly
Hills

ACKNOWLEDGEMENT

STATE OF MICHIGAN)
) ss
COUNTY OF OAKLAND)

The foregoing Agreement was acknowledged before me this 14th day of October,
2021, by Kellie McDonald, Manager of JMAX Capital, LLC, a Michigan Limited Liability
Company doing business as The Goddard School of Beverly Hills.

Kieffer Donnelly, Notary Public
Oakland, Michigan
My Commission expires: 04/29/2024
Acting in Oakland County



Prepared by and when recorded return to:

Richard E. Rassel
Williams Williams Rattner & Plunkett, P.C.
380 North Old Woodward Avenue
Suite 300
Birmingham, MI 48009

Exhibit A

Property Legal Description

Exhibit B

Project Plan and Phasing Plan

See Attached

Exhibit C

Architectural Elevation Drawings

See Attached

EXHIBIT A – LEGAL DESCRIPTION

DATE: October 14, 2021

RE: Goddard of Beverly Hills Development Agreement

Legal Description:

Per Title Agency, Fidelity National Insurance Company, Title Commitment No. A0765944,
Effective February 4, 2021:

Land Situated in the State of Michigan, County of Oakland, Village of Beverly Hills.

Lot 6, except the east 200 feet of the south 56.66 feet, and Outlot A, Supervisor's Plat
of Gould Court, as recorded in Liber 65 of Plats, Page 11, Oakland County Records.

PRELIMINARY SITE PLAN DRAWINGS

THE GODDARD SCHOOL OF BEVERLY HILLS

31655 SOUTHFIELD ROAD
BEVERLY HILLS, MICHIGAN

LEGAL DESCRIPTION (AS PROVIDED)

(PER TITLE AGENCY: FIRST AMERICAN TITLE INSURANCE COMPANY,
TITLE COMMITMENT NO: 899970,
EFFECTIVE DATE: AUGUST 11, 2020)

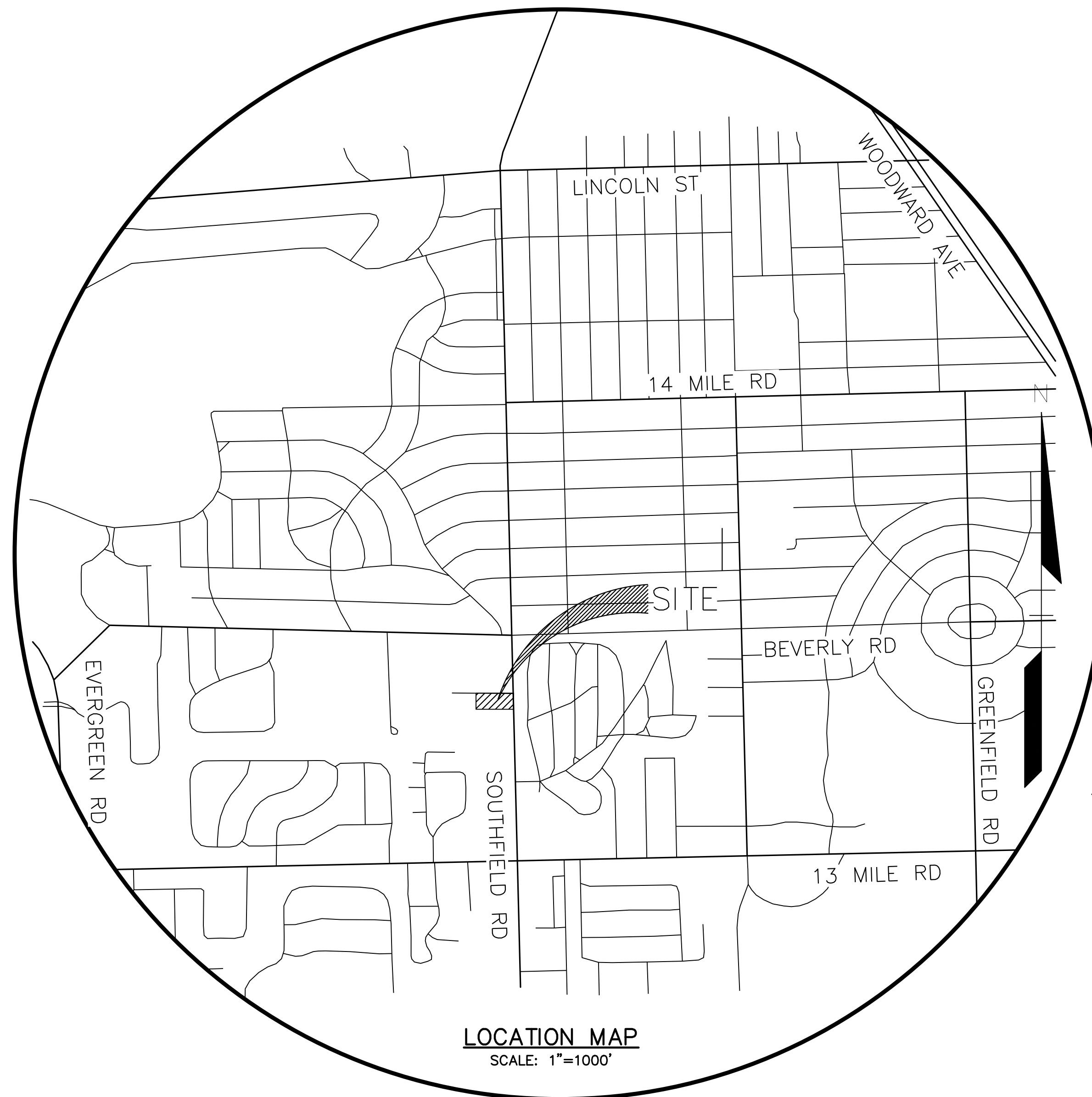
EXHIBIT C DESCRIPTION:

LAND IN THE VILLAGE OF BEVERLY HILLS, OAKLAND COUNTY, MI,
DESCRIBED AS FOLLOWS:

LOT(S) 6, EXCEPT THEREFROM THE EAST 200 FEET OF THE SOUTH 56.66 FEET AND ALL OF OUT LOT A OF SUPERVISOR'S PLAT OF GOULD COURT ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 65 OF PLATS, PAGE 11 OF OAKLAND COUNTY RECORDS.

BEARING REFERENCE

BEARINGS ARE BASED ON PROJECT COORDINATE SYSTEM:
MICHIGAN STATE PLANE COORDINATE SYSTEM, NAD83 (CONUS)
(MOL) (GRS80), SOUTH ZONE 2113, INTERNATIONAL FEET, GROUND
(LAT: 42°31'19.52" N, LON: 83°13'28.62" W, ELEV: 728,
SCALE FACTOR: 1.00010792).



UTILITY NOTES:

1. ALL WATER MAINS, STRUCTURES AND HYDRANTS SHALL BE CONSTRUCTED IN ACCORDANCE WITH OCWRC STANDARD DETAILS.
2. ALL SANITARY SEWERS SHALL BE CONSTRUCTED IN ACCORDANCE WITH OCWRC STANDARD DETAILS.

INDEX OF DRAWINGS:

- C-0.0 COVER SHEET
- C-1.0 TOPOGRAPHIC & BOUNDARY SURVEY
- C-2.0 SITE DEMOLITION PLAN
- C-3.0 PROPOSED SITE PLAN
- C-3.1 PUBLIC OPEN SPACE PLAN
- C-4.0 PROPOSED GRADING PLAN
- C-5.0 PROPOSED UTILITY PLAN
- C-6.1 NOTES + DETAILS-1
- C-6.2 DETAILS-2
- C-6.3 DETAILS-3
- C-6.4 DETAILS-4
- C-6.5 DETENTION SYSTEM DETAILS
- C-7.0 SESC PLAN
- C-8.0 PROPOSED DRAINAGE PLAN

- | | |
|-------|--|
| A1.1 | GODDARD SCHOOL FLOOR PLANS |
| A1.1A | GODDARD ANNEX FLOOR PLANS |
| A2.1 | GODDARD SCHOOL EXTERIOR ELEVATIONS AND CROSS SECTION |
| A2.1A | GODDARD ANNEX EXTERIOR ELEVATIONS AND CROSS SECTION |

- | | |
|--------|-------------------|
| LS-1.0 | LANDSCAPE PLAN |
| LS-2.0 | LANDSCAPE DETAILS |
| LS-3.0 | SITE AMENITY PLAN |

- PH-1.0 SITE PHOTOMETRIC PLAN

- GSI-1.0 PLAYGROUND DETAILS – 1
- GSI-2.0 PLAYGROUND DETAILS – 2

STANDARD DETAILS

- | | |
|---|-----------------------------------|
| OAKLAND COUNTY WATER RESOURCES COMMISSIONER | – SESC DETAILS (1 OF 1) |
| OAKLAND COUNTY WATER RESOURCES COMMISSIONER | – SANITARY SEWER DETAILS (1 OF 2) |
| OAKLAND COUNTY WATER RESOURCES COMMISSIONER | – SANITARY SEWER DETAILS (2 OF 2) |
| OAKLAND COUNTY WATER RESOURCES COMMISSIONER | – STORM DETAILS (1 OF 1) |
| OAKLAND COUNTY WATER RESOURCES COMMISSIONER | – WATER MAIN DETAILS (1 OF 7) |
| OAKLAND COUNTY WATER RESOURCES COMMISSIONER | – WATER MAIN DETAILS (2 OF 7) |
| OAKLAND COUNTY WATER RESOURCES COMMISSIONER | – WATER MAIN DETAILS (3 OF 7) |
| OAKLAND COUNTY WATER RESOURCES COMMISSIONER | – WATER MAIN DETAILS (4 OF 7) |

CONSTRUCTION PERMITS REQUIRED:

- VILLAGE OF BEVERLY HILLS – ENGINEERING/PLANNING APPROVAL
OAKLAND COUNTY WATER RESOURCES COMMISSIONER – SESC PERMIT
ROAD COMMISSION FOR OAKLAND COUNTY – RIGHT OF WAY PERMIT (SOUTHFIELD ROAD)
MDEQ – PUBLIC WATER MAIN PERMIT (FIRE HYDRANT)

DEVELOPER:

THE GODDARD SCHOOL OF BEVERLY HILLS
935 E SILVERBELL ROAD
LAKE ORION, MI 48360
PHONE: (248) 318-2007
CONTACT: MS. KELLIE MCDONALD
EMAIL: lakeorionmi@goddardschools.com

ARCHITECT:

HOBBS + BLACK ARCHITECTS
100 N STATE STREET
ANN ARBOR, MI 48104
PHONE: (734) 663-4189
CONTACT: BRIAN BAGNICK
EMAIL: bbagnick@hobbs-black.com

LANDSCAPE ARCHITECT:

FELINO A. PASCUAL + ASSOCIATES, RLA
24333 ORCHARD LAKE ROAD, STE G
FARMINGTON HILLS, MI 48336
PHONE: (248) 557-5588
CONTACT: FELINO PASCUAL (JOEL), RLA
EMAIL: felino@fpa.design

ENGINEER:

STOREY ENGINEERING GROUP, LLC
48264 MANCHESTER
MACOMB, MI 48044
PHONE: (586) 216-1043
CONTACT: TIM S. STOREY, PE
EMAIL: timsstorey@gmail.com

[illegible]

LEGAL DESCRIPTION (AS PROVIDED)

(PER TITLE AGENCY: FIRST AMERICAN TITLE INSURANCE COMPANY,
TITLE COMMITMENT NO: 899970,
EFFECTIVE DATE: AUGUST 11, 2020)

EXHIBIT C DESCRIPTION:

LAND IN THE VILLAGE OF BEVERLY HILLS, OAKLAND COUNTY, MI,
DESCRIBED AS FOLLOWS:

LOT(S) 6, EXCEPT THEREFROM THE EAST 200 FEET OF THE SOUTH 56.66 FEET AND
ALL OF OUT LOT A OF SUPERVISOR'S PLAT OF GOULD COURT ACCORDING TO THE
PLAT THEREOF RECORDED IN LIBER 65 OF PLATS, PAGE 11 OF OAKLAND COUNTY
RECORDS.

BEARING REFERENCE

BEARINGS ARE BASED ON PROJECT COORDINATE SYSTEM:
MICHIGAN STATE PLANE COORDINATE SYSTEM, NAD83 (CONUS)
(MOL) (GRS80), SOUTH ZONE 2113, INTERNATIONAL FEET, GROUND
(LAT: 42°31'19.52" N, LON: 83°13'28.62" W, ELEV: 728,
SCALE FACTOR: 1.00010792).

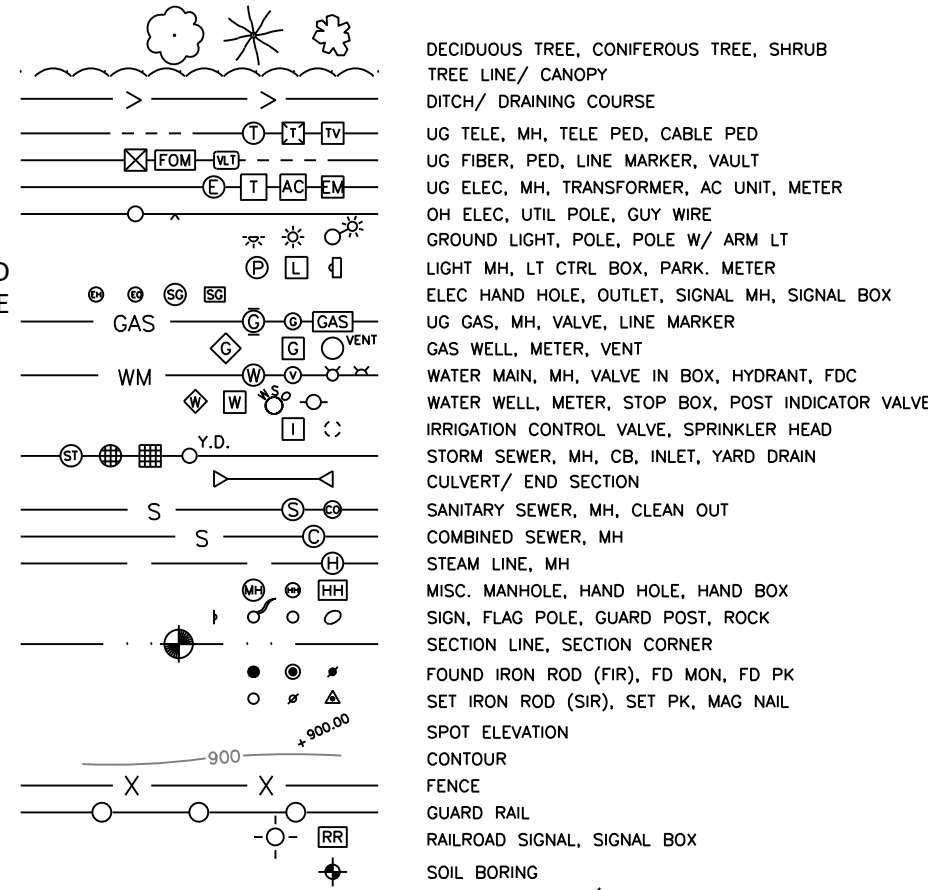
SURVEYOR'S OBSERVATIONS

AT THE TIME OF THIS SURVEY, EVIDENCE WAS OBSERVED OF
POTENTIAL ENCROACHMENTS. OTHER ENCROACHMENTS MAY OR
MAY NOT STILL EXIST ON OR OFF THE SUBJECT PROPERTY.

THE FOLLOWING OBSERVATIONS WERE MADE AT THE TIME
OF SURVEY:

- AN EXISTING WALL ALONG THE WEST LINE OF THE SUBJECT
PROPERTY APPEARS TO STRADDLE THE PROPERTY LINE.
- A WELL CROSSES THE SOUTH LINE OF THE PARCEL.
- AN ASPHALT RAMP THAT, BASED ON HISTORICAL IMAGERY,
WAS USED BY THE MCDONALDS THAT USED TO EXIST ON
THE SUBJECT PARCEL APPEARS TO ALLOW ACCESS TO THE
SUBJECT PARCEL FROM THE SOUTHERN ADJOINER.
- A SET OF CONCRETE STEPS ALLOWS ACCESS TO THE SITE
FROM THE SOUTHERN ADJOINER.

EXISTING LEGEND



BENCHMARKS

DATUM: NAVD88

BM A:
ARROW ON HYDRANT, 51'± WEST OF CENTERLINE SOUTHFIELD ROAD & 49'± NORTH FROM
CENTERLINE OF NORTH ACCESS DRIVE TO SUBJECT'S SITE.
ELEV = 727.57

BM B:
ARROW ON HYDRANT, 53'± WEST OF CENTERLINE SOUTHFIELD ROAD & 29'± SOUTH FROM
CENTERLINE OF THE SOUTH ADJOINER'S ACCESS DRIVE.
ELEV = 726.91

BM C:
60D NAIL IN EAST FACE UTILITY POLE, 428'± WEST OF CENTERLINE SOUTHFIELD ROAD & 100'± NORTH
OF SUBJECT'S SOUTH PROPERTY LINE.
ELEV = 729.78

MISCELLANEOUS NOTES

- THERE IS DIRECT ACCESS TO THE SUBJECT PROPERTY VIA SOUTHFIELD ROAD, A PUBLIC
RIGHT-OF-WAY.
- THE PROPERTY SURVEYED AND SHOWN HEREON IS THE SAME PROPERTY DESCRIBED IN EXHIBIT
A OF TITLE AGENCY: FIRST AMERICAN TITLE INSURANCE COMPANY,
TITLE COMMITMENT NO: 899970, EFFECTIVE DATE: AUGUST 11, 2020.
- REFERENCE SURVEY BY: NOWAK & FRAUS ENGINEERS, JOB NO.: H831, DATED: 12/2/2013.

SCHEDULE B-SECTION II EXCEPTIONS

TITLE AGENCY: FIRST AMERICAN TITLE INSURANCE COMPANY
TITLE COMMITMENT NO: 899970
EFFECTIVE DATE: AUGUST 11, 2020

7. Joint R/W in favor of The Detroit Edison Company and Michigan Bell
Telephone Company and the Covenants, Conditions and
Restrictions contained in instrument recorded in Liber 4341, page
375.
(PLOTTED AND SHOWN HEREIN)

8. U.G.L. Permit in favor of The Detroit Edison Company and the
Covenants, Conditions and Restrictions contained in instrument
recorded in Liber 4440, page 327
(IT IS NOT ON, OR DOES NOT TOUCH, THE SURVEYED PROPERTY)

9. Easement Agreement in favor of the Village of Beverly Hills and the
Covenants, Conditions and Restrictions contained in instrument
recorded in Liber 4889, page 192.
(PLOTTED AND SHOWN HEREIN)

10. Covenants, conditions, restrictions and other provisions but
omitting restrictions, if any, based on race, color, religion, sex,
handicap, familial status or national origin as contained in
instrument recorded in Liber 5200, page 701.
(ZONING RECLASSIFICATION)

11. Easement Agreement in favor of the Village of Beverly Hills and the
Covenants, Conditions and Restrictions contained in instrument
recorded in Liber 6081, page 127.
(PLOTTED AND SHOWN HEREIN)

12. Easement Agreement in favor of the Board of Road Commissioners
of the County of Oakland and the Covenants, Conditions and
Restrictions contained in instrument recorded in Liber 6118, page
721.
(PLOTTED AND SHOWN HEREIN)

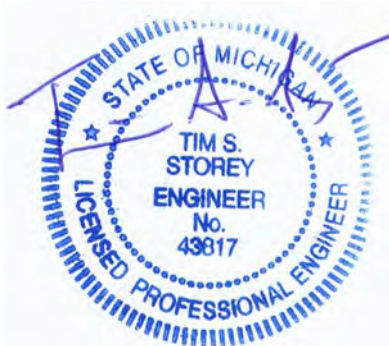
13. Easement for Sidewalk in favor of the Village of Beverly Hills and the
Covenants, Conditions and Restrictions contained in instrument
recorded in Liber 11156, page 769.
(THE LOCATION CANNOT BE DETERMINED FROM THE RECORD
DOCUMENT)

EX. STORM SEWER	STRUCTURE	RIM ELEV.	PIPES
(25163) CBR	724.11	DEBR FILLED SILT= 723.9	
(25212) CBR	727.01	15" S IE= 720.39 12" W IE= 722.04 12" E IE= 720.78	
(25224) CBR	725.17	12" S IE= 721.20 12" N IE= 721.44	
(25270) CBS	724.15	8" N IE= 723.25 12" S IE= 719.77	
(25306) CBR	724.27	1" WATER= 723.52 SILT= 722.02	
(25454) CBR	725.64	12" S IE= 721.63	
(25507) CBR	727.62	10" S IE= 724.43	
(25540) CBR	727.46	10" N IE= 723.93 12" E IE= 723.69	
(25628) STMH	728.43	18" SE IE= 719.63 15" N IE= 719.70	
(25641) CBB	726.26	NOT INVENTORED AT TIME OF SURVEY	
(25650) CBR	724.87	18" NW IE= 719.23 18" S IE= 719.23	

EX. SANITARY SEWER	STRUCTURE	RIM ELEV.	PIPES
(25065) SAN	724.91	10" W IE= 715.53 10" S IE= 715.48	
(25269) SAN	724.74	10" S IE= 714.51 10" N IE= 714.55	



VICINITY MAP (1"=3500')



CAUTION!
THE LOCATIONS AND ELEVATIONS OF EXISTING
UNDERGROUND UTILITIES AS SHOWN ON THIS
DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS
OFFERED FOR THE COMPLETENESS OR ACCURACY THEREOF.
THE USER OF THIS DRAWING SHALL BE RESPONSIBLE FOR
DETERMINING THE EXACT UTILITY LOCATIONS AND
ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.

CONSTRUCTION CONTRACTOR AGREES THAT IN
ACCORDANCE WITH GENERALLY ACCEPTED
CONSTRUCTION PRACTICES, CONSTRUCTION
CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE
AND COMPLETE RESPONSIBILITY FOR JOB SITE
CONDITIONS DURING THE COURSE OF CONSTRUCTION.
THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE
COMPLETENESS OF THE INFORMATION PROVIDED
AND PROPERTY THAT THE REQUIREMENT SHALL BE
MADE TO THE CONTRACTOR AND NOT BE LIMITED
TO NORMAL WORKING HOURS AND CONSTRUCTION
CONTRACTOR FURTHER AGREES TO DEFEND,
INDEMNIFY AND HOLD DESIGN PROFESSIONAL
HARMLESS FROM ANY AND ALL LIABILITY, REAL OR
ALLEGED, IN CONNECTION WITH THE PERFORMANCE
OF WORK ON THIS PROJECT EXCEPT LIABILITY
ARISING FROM THE SOLE NEGLIGENCE OF THE DESIGN
PROFESSIONAL.

3 FULL WORKING DAYS
BEFORE YOU DIG CALL

811
Know what's below
Call before you dig
MISS DIG System, Inc.
1-800-482-7171 www.missdig.net
(TOLL FREE)



STOREY
ENGINEERING
GROUP, LLC
48264 MANCHESTER
MACOMB, MI 48044
(586) 216-1043
www.storeyengineering.com

THE GODDARD SCHOOL OF BEVERLY HILLS
935 E SILVERBELL ROAD
LAKE ORION, MI 48060
TOPOGRAPHIC & BOUNDARY SURVEY
THE GODDARD SCHOOL - BEVERLY HILLS
31655 SOUTHFIELD ROAD
TIN RIVE, SE 1/4 SECTION 2, VILLAGE OF BEVERLY HILLS, OAKLAND COUNTY, MI
DES. TSS DN. TSS SUR. TSS P.M. TSS
PROJECT NO. 2021-008
ORIGINAL ISSUE DATE: 7/9/2021
SCALE: 1" = 20'
DRAWING NUMBER: C-1.0

UTILITY/REFERENCE INFO

WM:
CONTACT: SE OAKLAND CO. WATER AUTHORITY
PHONE: BOB JACKOVICH
RECEIVED: 248-288-5150
N/A

WM/SAN/STORM:
CONTACT: BEVERLY HILLS VILLAGE
PHONE: KEVIN LAWRENCE
RECEIVED: 248-646-6404
N/A

GAS:
CONTACT: CONSUMERS ENERGY
PHONE: KURT GOLDING
RECEIVED: 517-374-2002
4/8/21

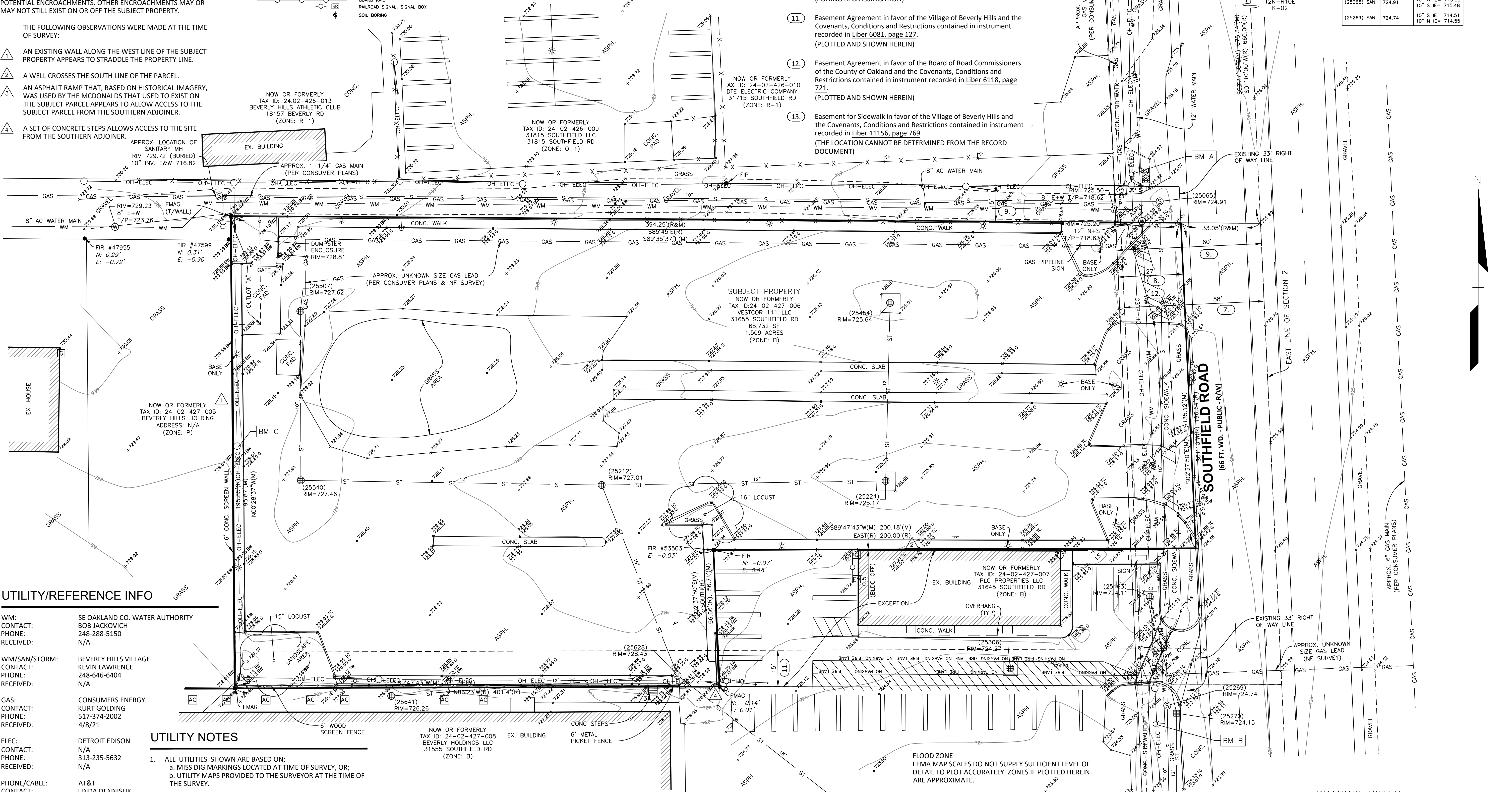
ELEC:
CONTACT: DETROIT EDISON
PHONE: N/A
RECEIVED: 313-235-5632
N/A

PHONE/CABLE:
CONTACT: AT&T
PHONE: LINDA DENNISUK
RECEIVED: 248-456-8256
4/7/21

PHONE/CABLE:
CONTACT: COMCAST
PHONE: CRAIG PUDAS
RECEIVED: 248-809-2715
N/A

UTILITY NOTES

- ALL UTILITIES SHOWN ARE BASED ON;
a. MISS DIG MARKINGS LOCATED AT TIME OF SURVEY, OR;
b. UTILITY MAPS PROVIDED TO THE SURVEYOR AT THE TIME OF
THE SURVEY.
- THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND
UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY
APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR
IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF.
THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR
DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS
PRIOR TO THE START OF CONSTRUCTION.



FLOOD ZONE
FEMA MAP SCALES DO NOT SUPPLY SUFFICIENT LEVEL OF
DETAIL TO PLOT ACCURATELY. ZONES IF PLOTTED HEREIN
ARE APPROXIMATE.

BY SCALED MAP LOCATION AND GRAPHIC PLOTTING
ONLY, THE SUBJECT PROPERTY APPEARS TO LIE ENTIRELY
IN ZONE (X) AREA DETERMINED TO BE OUTSIDE OF THE
0.2% ANNUAL CHANCE FLOOD PLAIN ACCORDING TO THE
FLOOD INSURANCE RATE MAP FOR THE COUNTY OF
OAKLAND, COMMUNITY PANEL NO. (26125C0538F),
EFFECTIVE DATE SEPTEMBER 29, 2006.



(IN FEET)
1 inch = 20 ft.

NOT TO BE USED AS CONSTRUCTION DRAWINGS

LEGAL DESCRIPTION (AS PROVIDED)

(PER TITLE AGENCY: FIRST AMERICAN TITLE INSURANCE COMPANY,
TITLE COMMITMENT NO: 899970,
EFFECTIVE DATE: AUGUST 11, 2020)

EXHIBIT C DESCRIPTION:

LAND IN THE VILLAGE OF BEVERLY HILLS, OAKLAND COUNTY, MI,
DESCRIBED AS FOLLOWS:

LOT(s) 6, EXCEPT THEREFROM THE EAST 200 FEET OF THE SOUTH 56.66 FEET AND
ALL OF OUT LOT A OF SUPERVISOR'S PLAT OF GOULD COURT ACCORDING TO THE
PLAT THEREOF RECORDED IN LIBER 65 OF PLATS, PAGE 11 OF OAKLAND COUNTY
RECORDS.

BEARING REFERENCE

BEARINGS ARE BASED ON PROJECT COORDINATE SYSTEM:
MICHIGAN STATE PLANE COORDINATE SYSTEM, NAD83 (CONUS)
(MOL) (GRS80), SOUTH ZONE 2113, INTERNATIONAL FEET, GROUND
(LAT: 42°31'19.52" N, LON: 83°13'28.62" W, ELEV: 728,
SCALE FACTOR: 1.00010792).

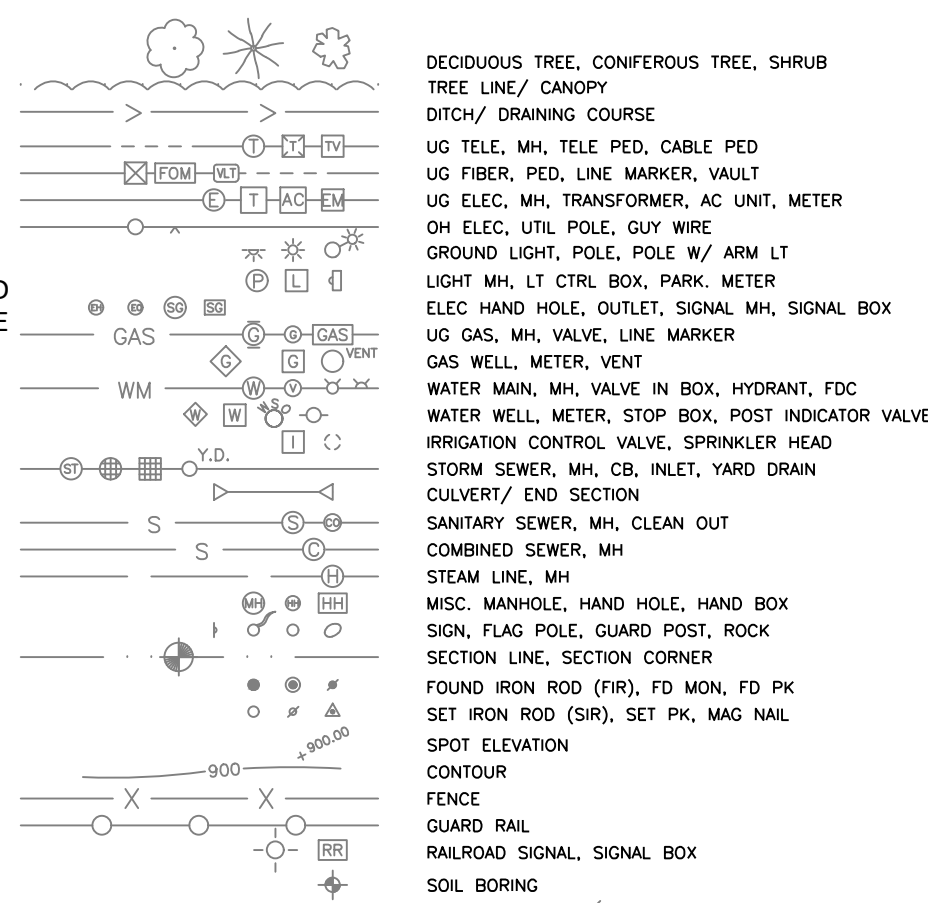
SURVEYOR'S OBSERVATIONS

AT THE TIME OF THIS SURVEY, EVIDENCE WAS OBSERVED OF
POTENTIAL ENCROACHMENTS. OTHER ENCROACHMENTS MAY OR
MAY NOT STILL EXIST ON OR OFF THE SUBJECT PROPERTY.

THE FOLLOWING OBSERVATIONS WERE MADE AT THE TIME
OF SURVEY:

- AN EXISTING WALL ALONG THE WEST LINE OF THE SUBJECT
PROPERTY APPEARS TO STRADDLE THE PROPERTY LINE.
- A WELL CROSSES THE SOUTH LINE OF THE PARCEL.
- AN ASPHALT RAMP THAT, BASED ON HISTORICAL IMAGERY,
WAS USED BY THE MCDONALDS THAT USED TO EXIST ON
THE SUBJECT PARCEL APPEARS TO ALLOW ACCESS TO THE
SUBJECT PARCEL FROM THE SOUTHERN ADJOINER.
- A SET OF CONCRETE STEPS ALLOWS ACCESS TO THE SITE
FROM THE SOUTHERN ADJOINER.

EXISTING LEGEND



BENCHMARKS

DATUM: NAVD83

BM A:
ARROW ON HYDRANT, 51'± WEST OF CENTERLINE SOUTHFIELD ROAD & 49'± NORTH FROM
CENTERLINE OF NORTH ACCESS DRIVE TO SUBJECT'S SITE.
ELEV = 727.57

BM B:
ARROW ON HYDRANT, 53'± WEST OF CENTERLINE SOUTHFIELD ROAD & 29'± SOUTH FROM
CENTERLINE OF THE SOUTH ADJOINER'S ACCESS DRIVE.
ELEV = 726.91

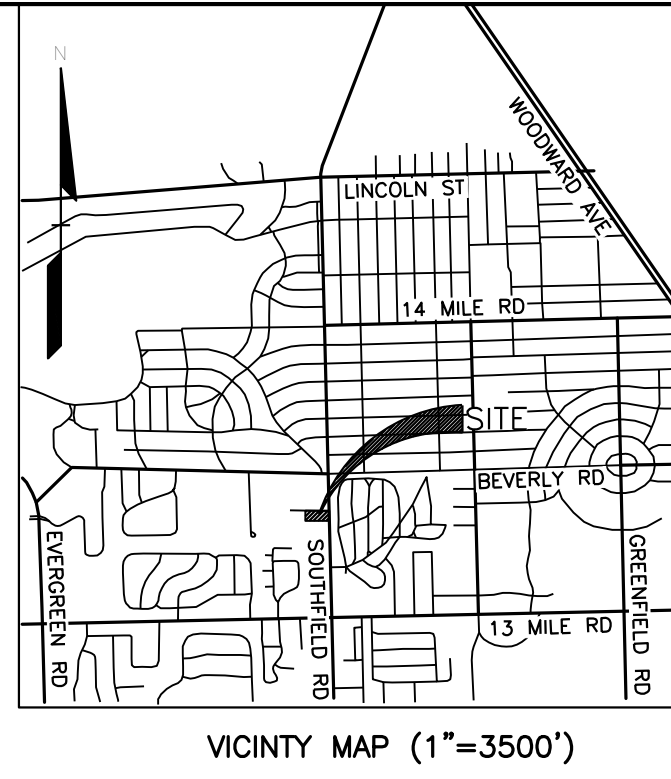
BM C:
60D NAIL IN EAST FACE UTILITY POLE, 428'± WEST OF CENTERLINE SOUTHFIELD ROAD & 100'± NORTH
OF SUBJECT'S SOUTH PROPERTY LINE.
ELEV = 729.78

MISCELLANEOUS NOTES

- THERE IS DIRECT ACCESS TO THE SUBJECT PROPERTY VIA SOUTHFIELD ROAD, A PUBLIC
RIGHT-OF-WAY.
- THE PROPERTY SURVEYED AND SHOWN HEREON IS THE SAME PROPERTY DESCRIBED IN EXHIBIT
A OF TITLE AGENCY: FIDELITY NATIONAL TITLE INSURANCE COMPANY,
TITLE COMMITMENT NO: A0765944, EFFECTIVE DATE: FEBRUARY 4, 2021.
- REFERENCE SURVEY BY: NOWAK & FRAUS ENGINEERS, JOB NO.: H831, DATED: 12/2/2013.

EX. STORM SEWER		
STRUCTURE	RIM ELEV.	PIPES
(25163) CBR	724.11	DEBR FILLED SILT= 723.91
(25212) CBR	727.01	15" S IE= 720.39 12" W IE= 722.04 12" E IE= 720.78
(25224) CBR	725.17	12" W IE= 721.20 12" S IE= 721.44
(25270) CBS	724.15	8" N IE= 723.25 12" S IE= 719.77
(25306) CBR	724.27	1" WATER= 723.52 SILT= 722.02
(25454) CBR	725.64	12" S IE= 721.63
(25507) CBR	727.62	10" S IE= 724.43
(25540) CBR	727.46	10" N IE= 723.93 12" E IE= 723.69
(25628) STMH	728.43	18" SE IE= 719.63 15" N IE= 719.70 12" W IE= 720.26
(25641) CBB	726.26	NOT INVENTORED AT TIME OF SURVEY
(25650) CBR	724.87	18" NW IE= 719.23 18" S IE= 719.23

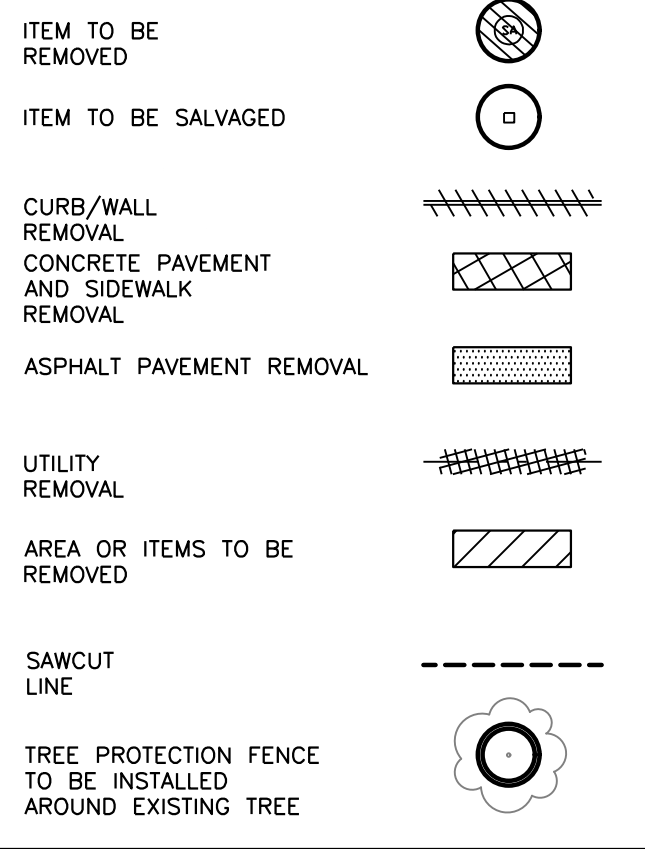
EX. SANITARY SEWER		
STRUCTURE	RIM ELEV.	PIPES
(25065) SAN	724.91	10" W IE= 715.53 10" S IE= 715.48
(25269) SAN	724.74	10" S IE= 714.55



ADDITIONAL NOTES:

- CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE ON SITE DURING ALL DEMOLITION
WORK.
- CONTRACTOR SHALL BACKFILL ALL EXCAVATIONS AND TRENCHES WITH VILLAGE
APPROVED MATERIAL PRIOR TO THE END OF THE WORKING DAY.
- CONTRACTOR SHALL OBTAIN DEMOLITION PERMIT FROM BUILDING DEPARTMENT PRIOR TO
WORK, IF REQUIRED.

DEMOLITION LEGEND:



GENERAL DEMOLITION NOTES:

THESE NOTES APPLY TO ALL CONSTRUCTION ACTIVITIES ON THIS PROJECT:

- ALL MATERIAL TO BE REMOVED, WHETHER SPECIFICALLY NOTED IN THE PLANS OR
NOT, SHALL BE REMOVED FROM THE SITE BY THE CONTRACTOR AND DISPOSED OF
OFF-SITE IN A LEGAL MANNER. NO ON-SITE BURY OR BURN PITS SHALL BE
ALLOWED.
- ALL DEMOLITION WORK SHALL CONFORM TO ALL LOCAL CODES AND ORDINANCES.
- STAGING/PHASING OF DEMOLITION AND CONSTRUCTION IS TO BE COORDINATED
WITH THE OWNER AND THE CONTRACTOR AT THE PRE-CONSTRUCTION MEETING.
- SPECIFIC DEMOLITION ITEMS HAVE BEEN INDICATED ON THE PLANS AS A GUIDE TO
THE GENERAL SCOPE OF THE WORK, IT IS THE INTENT THAT THESE ITEMS SHALL
BE COMPLETELY REMOVED BY THE CONTRACTOR ABOVE AND BELOW GROUND,
UNLESS SPECIFICALLY NOTED OTHERWISE, AND THAT DEMOLITION WILL INCLUDE
BUT NOT NECESSARILY BE LIMITED TO THESE ITEMS. CONTRACTOR SHALL VISIT
SITE TO VERIFY EXISTING CONDITIONS AND EXTENTS OF THE DEMOLITION THAT
WILL BE REQUIRED.
- REMOVE ALL STRUCTURES DESIGNATED FOR REMOVAL ACCORDING TO THE
DEMOLITION PLAN. THIS INCLUDES UNDERGROUND UTILITIES, CONCRETE, ASPHALT,
TREES ETC.
- THE CONTRACTOR SHALL, AS A MINIMUM, PROVIDE TREE PROTECTION FENCING
AROUND EXISTING TREES TO BE SAVED THAT ARE WITHIN 15' OF CONSTRUCTION
ACTIVITIES AND AS INDICATED IN THE PLANS OR PER LOCAL AGENCY
REQUIREMENTS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR CLEAN UP, NOISE, DUST
CONTROL, STREET SWEEPING AND HOURS OF OPERATION IN ACCORDANCE WITH
THE LOCAL CODES.
- THE CONTRACTOR SHALL PROVIDE ALL NECESSARY BARRICADES, SIGNAGE,
MARKINGS, LIGHTS AND OTHER TRAFFIC CONTROL DEVICES TO PROTECT THE WORK
ZONE AND SAFELY MAINTAIN TRAFFIC PER AGENCY REQUIREMENTS AND THE
MICHIGAN MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES (LATEST EDITION).
- THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL AND REPLACEMENT OF
SIGNS AND SUPPORTS WITHIN THE WORK AREA, AS NECESSARY TO FACILITATE
CONSTRUCTION. SIGNS SHALL BE PROTECTED AND STOCKPOILED FOR REUSE AS
SPECIFIED IN THE PLANS OR AS REQUIRED BY THE AGENCY OF JURISDICTION. THE
CONTRACTOR SHALL REPLACE ANY DAMAGED SIGNS AND SUPPORTS AT NO
ADDITIONAL COST TO THE OWNER.
- THE CONTRACTOR SHALL NOTIFY THE AUTHORITY HAVING JURISDICTION 3 BUSINESS
DAYS PRIOR TO THE BEGINNING OF CONSTRUCTION.

UTILITY/REFERENCE INFO

WM:
CONTACT:
PHONE:
RECEIVED:

SE OAKLAND CO. WATER AUTHORITY
BOB JACKOVICH
248-288-5150
N/A

WM/SAN/STORM:
CONTACT:
PHONE:
RECEIVED:

BEVERLY HILLS VILLAGE
KEVIN LAWRENCE
248-646-6404
N/A

GAS:
CONTACT:
PHONE:
RECEIVED:

CONSUMERS ENERGY
KURT GOLDING
517-374-2002
4/8/21

ELEC:
CONTACT:
PHONE:
RECEIVED:

DETROIT EDISON
N/A
313-235-5632
N/A

PHONE/CABLE:
CONTACT:
PHONE:
RECEIVED:

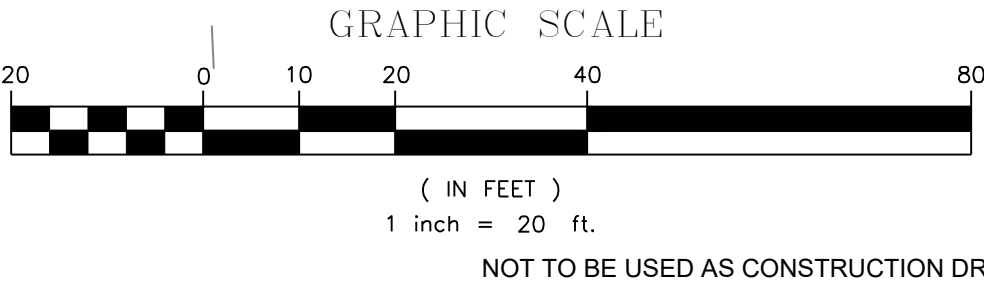
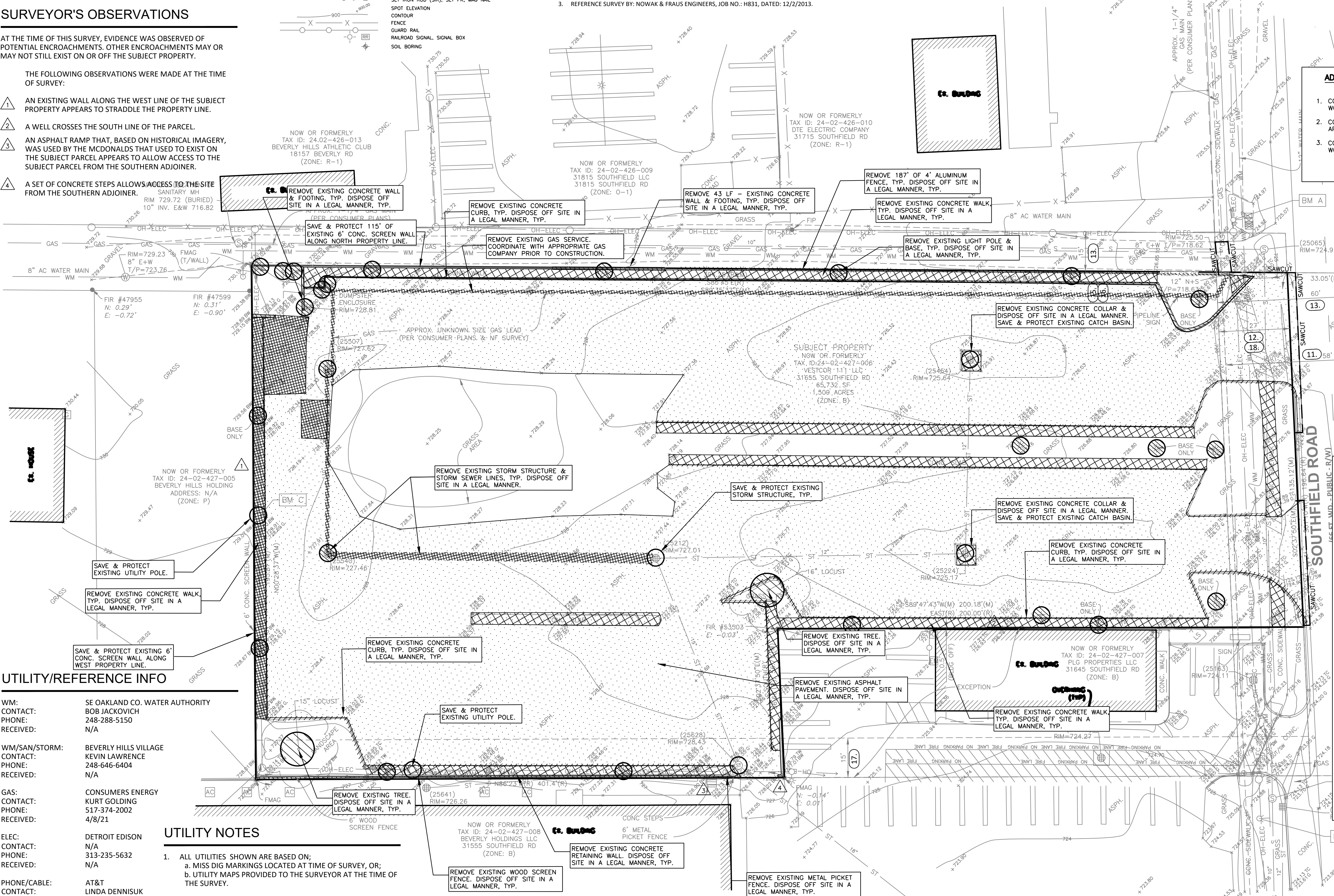
AT&T
LINDA DENNISUK
248-456-8256
4/7/21

PHONE/CABLE:
CONTACT:
PHONE:
RECEIVED:

COMCAST
CRAIG PUDAS
248-809-2715
N/A

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CONSTRUCTION CONTRACTOR AGREES THAT IN
ACCORDANCE WITH GENERALLY ACCEPTED
CONSTRUCTION PRACTICES, CONSTRUCTION
CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE
AND COMPLETE RESPONSIBILITY FOR JOB SITE
CONDITIONS DURING THE COURSE OF CONSTRUCTION,
OTHER THAN THOSE EXPRESSLY AND EXPLICITLY
AND PROPERTY THAT THIS REQUIREMENT SHALL BE
MADE BY THE CONTRACTOR AND NOT BE LIMITED
TO NORMAL WORKING HOURS AND CONSTRUCTION
CONTRACTOR FOR FURTHER AGREES TO DEFEND,
INDEMNIFY AND HOLD DESIGN PROFESSIONAL,
HARBORER FROM ANY AND ALL LIABILITY, REAL OR
ALLEGED, IN CONNECTION WITH THE PERFORMANCE
OF WORK ON THIS PROJECT EXCEPT LIABILITY
ARISING FROM THE SOLE NEGLIGENCE OF THE DESIGN
PROFESSIONAL.

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(TOLL FREE)



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GROUP, LLC
48264 MANCHESTER
MACOMB, MI 48044
(586) 216-1043
www.storeyengineering.com

THE GODDARD SCHOOL OF BEVERLY HILLS
935 E SILVERBELL ROAD
LAKE ORION, MI 48060

SITE DEMOLITION PLAN
THE GODDARD SCHOOL - BEVERLY HILLS
31655 SOUTHFIELD ROAD
TIN RIVE, SE 1/4 SECTION 2, VILLAGE OF BEVERLY HILLS, OAKLAND COUNTY, MI

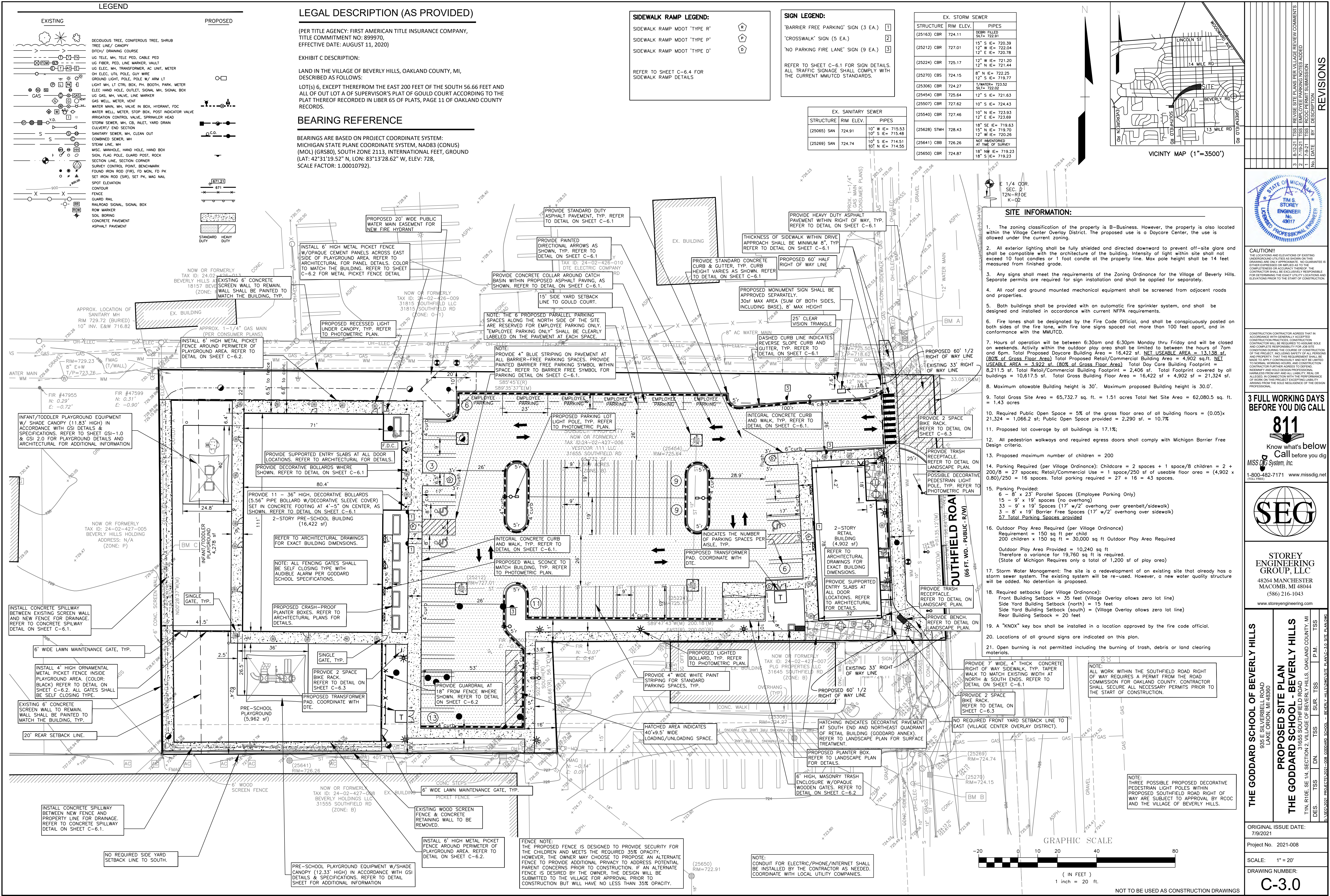
DES. TSS DN. TSS SUR. TSS P.M. TSS

ORIGINAL ISSUE DATE:
7/9/2021

Project No. 2021-008

SCALE: 1" = 20'

DRAWING NUMBER:
C-2.0



LEGEND

EXISTING

- DECIDUOUS TREE, CONIFEROUS TREE, SHRUB
- TREE LINE / CANOPY
- OTVW/ DRAWING COURSE
- UG TELE, MH, TELE PED, CABLE PED
- UG FIBER, PED, LINE MARKER, VAULT
- OH ELEC, MH, TRANSFORMER, AC UNIT, METER
- OH ELEC, UTL, POLE, GUY WIRE
- GROUND LIGHT, POLE, W/ ARM LT
- LIGHT MH, LT CTRL BOX, PH, BOOTH, PARK, METER
- ELEC HAND HOLE, OUTLET, SIGNAL MH, SIGNAL BOX
- UG GAS, MH, VALVE, LINE MARKER
- GAS WELL, METER, VENT
- WATER MAIN, MH, VALVE IN BOX, HYDRANT, FDC
- WATER WELL, METER, STOP BOX, POST INDICATOR VALVE
- IRRIGATION CONTROL, VALVE, SPRINKLER HEAD
- STORM SEWER, MH, CS, INLET, YARD DRAIN
- CULVERT/ END SECTION
- SANITARY SEWER, MH, CLEAN OUT
- COMBINED SEWER, MH
- STEAM LINE, MH
- MISC. MANHOLE, HAND HOLE, HAND BOX
- SIGN, FLAG POLE, GUARD POST, ROCK
- SECTION LINE, SECTION CORNER
- SURVEY CONTROL POINT, BENCHMARK
- FOUND IRON ROD (FIR), FD MON, FD PK
- SET IRON ROD (SIR), SET PK, MAG NAIL
- SPOT ELEVATION
- CONTOUR
- FENCE
- RAILROAD SIGNAL, SIGNAL BOX
- ROW MARKER
- SOIL BORING
- CONCRETE PAVEMENT
- ASPHALT PAVEMENT

PROPOSED

- STANDARD DUTY
- HEAVY DUTY

LEGAL DESCRIPTION (AS PROVIDED)

(PER TITLE AGENCY: FIRST AMERICAN TITLE INSURANCE COMPANY, TITLE COMMITMENT NO: 899970, EFFECTIVE DATE: AUGUST 11, 2020)

EXHIBIT C DESCRIPTION:

LAND IN THE VILLAGE OF BEVERLY HILLS, OAKLAND COUNTY, MI, DESCRIBED AS FOLLOWS:

LOT(S) 6, EXCEPT THEREFROM THE EAST 200 FEET OF THE SOUTH 56.66 FEET AND ALL OF OUT LOT A OF SUPERVISOR'S PLAT OF GOULD COURT ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 65 OF PLATS, PAGE 11 OF OAKLAND COUNTY RECORDS.

BEARING REFERENCE

BEARINGS ARE BASED ON PROJECT COORDINATE SYSTEM: MICHIGAN STATE PLANE COORDINATE SYSTEM, NAD83 (CONUS) (MOL) (GRS80), SOUTH ZONE 2113, INTERNATIONAL FEET, GROUND (LAT: 42°31'19.52" N, LON: 83°13'28.62" W, ELEV: 728, SCALE FACTOR: 1.00010792).

SIDEWALK RAMP LEGEND:

- SIDEWALK RAMP MDOT 'TYPE R'
- SIDEWALK RAMP MDOT 'TYPE P'
- SIDEWALK RAMP MDOT 'TYPE D'

REFER TO SHEET C-6.4 FOR SIDEWALK RAMP DETAILS

SIGN LEGEND:

- 'BARRIER FREE PARKING' SIGN (3 EA.)
- 'CROSSWALK' SIGN (5 EA.)
- 'NO PARKING FIRE LANE' SIGN (9 EA.)

REFER TO SHEET C-6.1 FOR SIGN DETAILS. ALL TRAFFIC SIGNAGE SHALL COMPLY WITH THE CURRENT MMUTCD STANDARDS.

EX. STORM SEWER

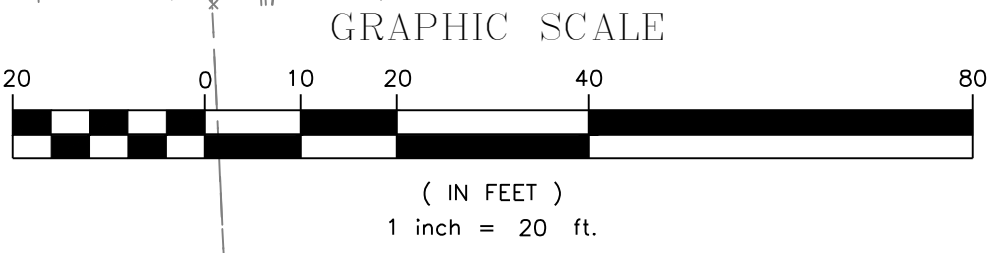
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STRUCTURE	RIM ELEV.	PIPES
(25065) SAN	724.91	10" W IE= 715.53 10" S IE= 715.48
(25269) SAN	724.74	10" S IE= 714.51 10" N IE= 714.55

SITE INFORMATION:

- The zoning classification of the property is B-Business. However, the property is also located within the Village Center Overlay District. The proposed use is a Daycare Center, the use is allowed under the current zoning.
- All exterior lighting shall be fully shielded and directed downward to prevent off-site glare and shall be compatible with the architecture of the building. Intensity of light within site shall not exceed 10 foot candles or 1 foot candle at the property line. Max pole height shall be 14 feet measured from finished grade.
- Any signs shall meet the requirements of the Zoning Ordinance for the Village of Beverly Hills. Separate permits are required for sign installation and shall be applied for separately.
- All roof and ground mounted mechanical equipment shall be screened from adjacent roads and properties.
- Both buildings shall be provided with an automatic fire sprinkler system, and shall be designed and installed in accordance with current NFPA requirements.
- Fire lanes shall be designated by the Fire Code Official, and shall be conspicuously posted on both sides of the fire lane, with fire lane signs spaced not more than 100 feet apart, and in conformance with the MMUTCD.
- Hours of operation will be between 6:30am and 6:30pm Monday thru Friday and will be closed on weekends. Activity within the outdoor play area shall be limited to between the hours of 7am and 6pm. Total Proposed Daycare Building Area = 16,422 sq. ft. NET USEABLE AREA = 13,138 sq. ft. (80% of Gross Floor Area) Total Proposed Retail/Commercial Building Area = 4,902 sq. ft. NET USEABLE AREA = 3,922 sq. ft. (80% of Gross Floor Area) Total Day Care Building Footprint = 8,211.5 sq. ft. Total Retail/Commercial Building Footprint = 2,406 sq. ft. Total Footprint covered by all buildings = 10,617.5 sq. ft. Total Gross Building Floor Area = 16,422 sq. ft. + 4,902 sq. ft. = 21,324 sq. ft.
- Maximum allowable Building height is 30'. Maximum proposed Building height is 30'.
- Total Gross Site Area = 65,732.7 sq. ft. = 1.51 acres Total Net Site Area = 62,080.5 sq. ft. = 1.43 acres
- Required Public Open Space = 5% of the gross floor area of all building floors = (0.05) x 21,324 = 1,066.2 sq. ft. Public Open Space provided = 2,290 sq. ft. = 10.7%
- Proposed lot coverage by all buildings is 17.1%.
- All pedestrian walkways and required egress doors shall comply with Michigan Barrier Free Design criteria.
- Proposed maximum number of children = 200
- Parking Required (per Village Ordinance): Childcare = 2 spaces + 1 space/8 children = 2 + 200/8 = 27 spaces; Retail/Commercial Use = 1 space/250 sq. ft. of useable floor area = (4,902 x 0.80)/250 = 16 spaces. Total parking required = 27 + 16 = 43 spaces.
- Parking Provided:
 - 6 - 8' x 23' Parallel Spaces (Employee Parking Only)
 - 15 - 9' x 19' spaces (no overhang)
 - 33 - 9' x 19' Spaces (17' w/2' overhang over greenbelt/sidewalk)
 - 3 - 8' x 19' Barrier Free Spaces (17' w/2' overhang over sidewalk)
 - 57 Total Parking Spaces provided
- Outdoor Play Area Required (per Village Ordinance): Requirement = 150 sq ft per child 200 children x 150 sq ft = 30,000 sq ft Outdoor Play Area Required Outdoor Play Area Provided = 10,240 sq ft Therefore a variance for 19,760 sq ft is required. (State of Michigan Requires only a total of 1,200 sq. ft. of play area)
- Storm Water Management: The site is a redevelopment of an existing site that already has a storm sewer system. The existing system will be re-used. However, a new water quality structure will be added. No detention is proposed.
- Required setbacks (per Village Ordinance): Front Building Setback = 35 feet (Village Overlay allows zero lot line) Side Yard Building Setback (north) = 15 feet Side Yard Building Setback (south) = (Village Overlay allows zero lot line) Rear Building Setback = 20 feet
- A "KNOX" key box shall be installed in a location approved by the fire code official.
- Locations of all ground signs are indicated on this plan.
- Open burning is not permitted including the burning of trash, debris or land clearing materials.



REVISIONS

NO.	DATE	BY	DESCRIPTION
1	8-12-21	TSS	REVISE SITE PLANS PER VILLAGE REVIEW COMMENTS
2	7-19-21	TSS	EMPLOYEE PARKING NOTES ADDED
3	8-12-21	TSS	ACCIDENT SUBMISSION
4	8-12-21	TSS	ACCIDENT SUBMISSION

CAUTION!

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3 FULL WORKING DAYS BEFORE YOU DIG CALL

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SEG

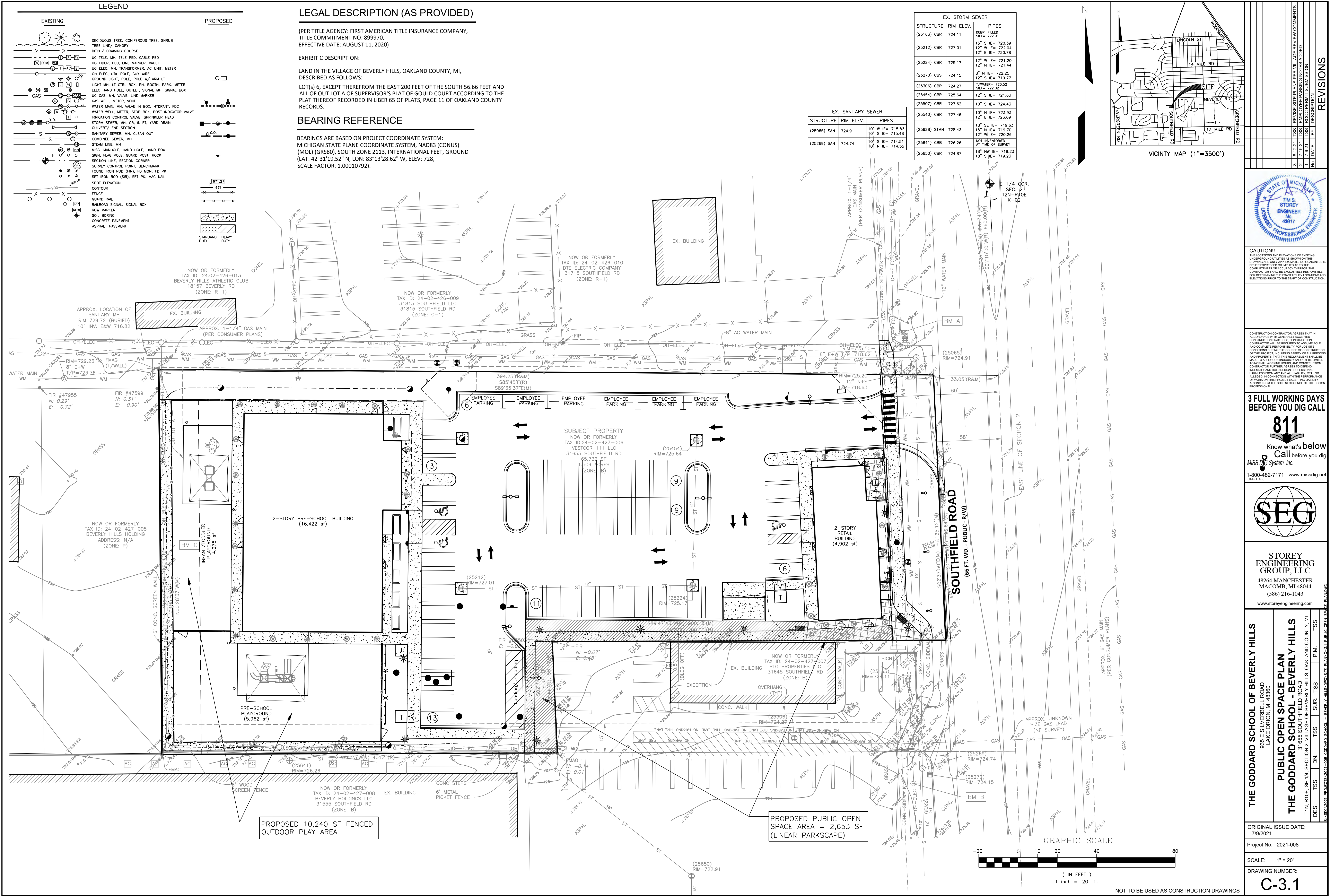
STOREY ENGINEERING GROUP, LLC
48264 MANCHESTER
MACOMB, MI 48044
(586) 216-1043
www.storeyengineering.com

THE GODDARD SCHOOL OF BEVERLY HILLS
935 E SILVERBELL ROAD
LAKE ORION, MI 48060

PROPOSED SITE PLAN
THE GODDARD SCHOOL - BEVERLY HILLS
TIN RIVE, SE 1/4 SECTION 2, VILLAGE OF BEVERLY HILLS, OAKLAND COUNTY, MI

ORIGINAL ISSUE DATE: 7/9/2021
Project No: 2021-008
SCALE: 1" = 20'
DRAWING NUMBER: C-3.0

NOT TO BE USED AS CONSTRUCTION DRAWINGS



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MACOMB, MI 48044
(586) 216-1043
www.storeyengineering.com

THE GODDARD SCHOOL OF BEVERLY HILLS
935 E SILVERBELL ROAD
LAKE UNION, MI 48360

PUBLIC OPEN SPACE PLAN

THE GODDARD SCHOOL - BEVERLY HILLS
TIN RIVE, SE 1/4 SECTION 2, VILLAGE OF BEVERLY HILLS, OAKLAND COUNTY, MI

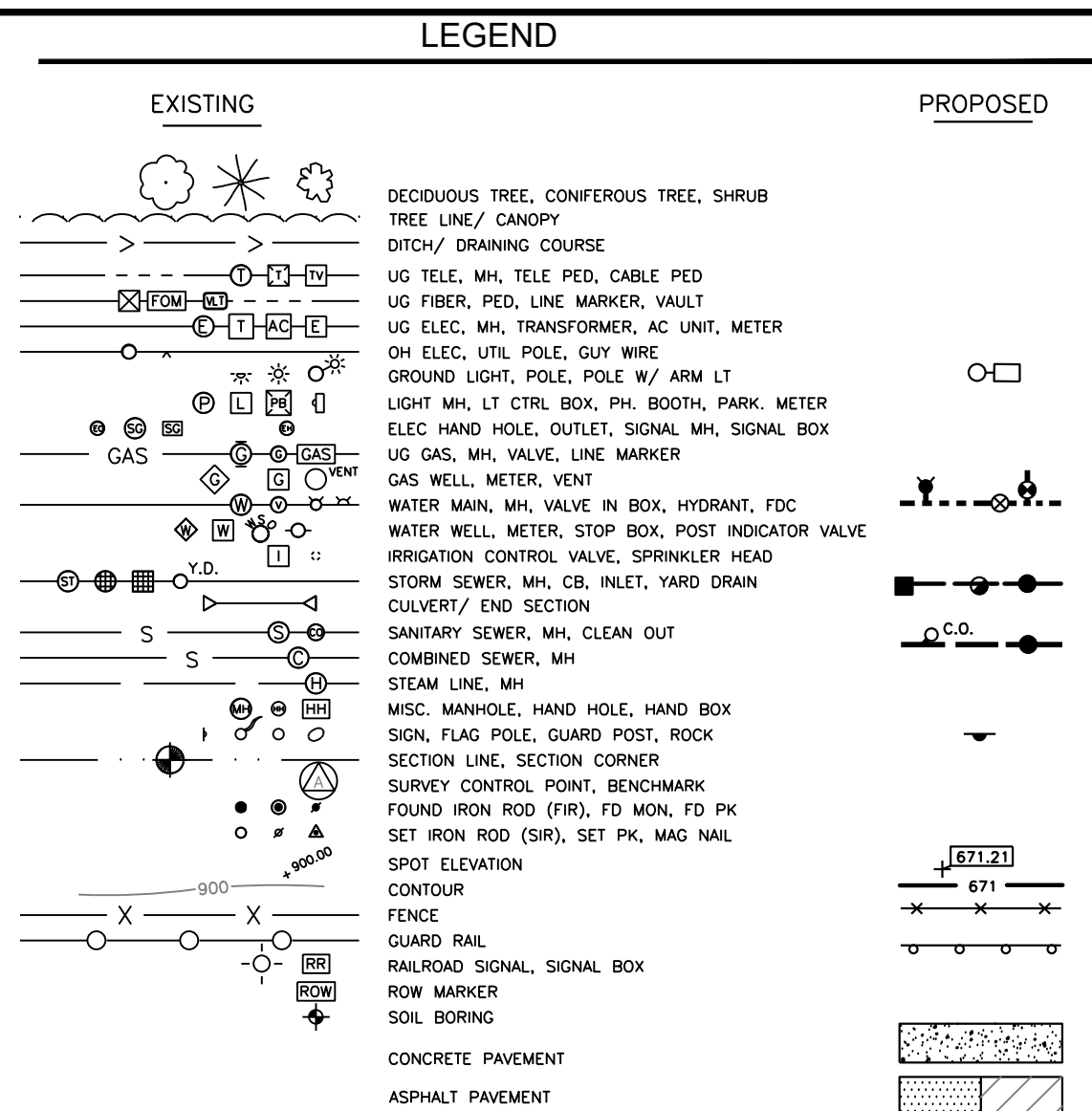
DES.	TSS	DN.	TSS	SUR.	TSS	P.M.	TSS
8-15-2021	PROJECT	3-15-2021	008	CONCEPT PLAN	3-15-2021	008	CONCEPT PLAN

ORIGINAL ISSUE DATE:
7/9/2021

Project No. 2021-008

SCALE: 1" = 20'

DRAWING NUMBER:
C-3.1



LEGAL DESCRIPTION (AS PROVIDED)

(PER TITLE AGENCY: FIRST AMERICAN TITLE INSURANCE COMPANY
TITLE COMMITMENT NO: 899970,
EFFECTIVE DATE: AUGUST 11, 2020)

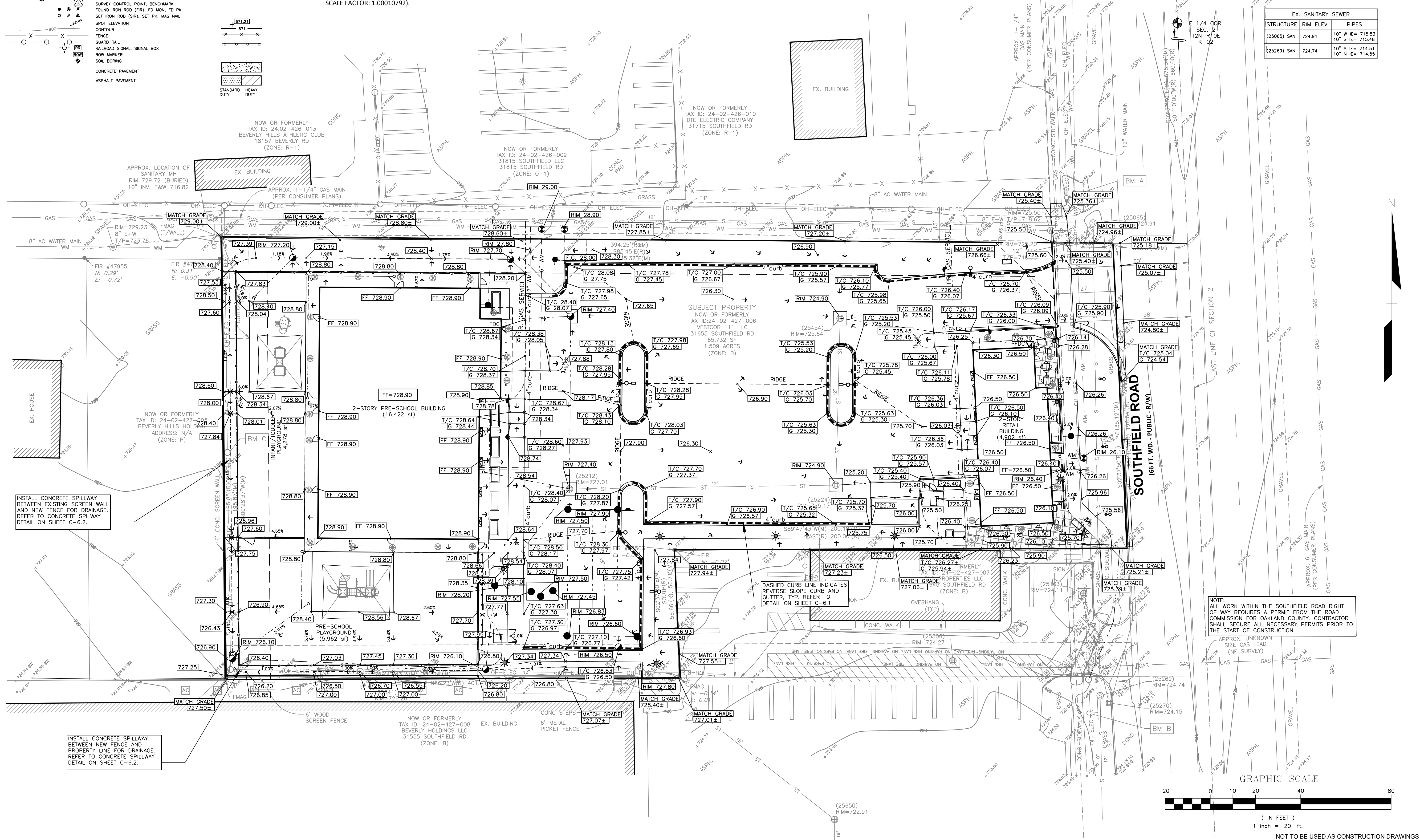
EXHIBIT C DESCRIPTION

LAND IN THE VILLAGE OF BEVERLY HILLS, OAKLAND COUNTY, MI,
DESCRIBED AS FOLLOWS:

LOT(s) 6, EXCEPT THEREFROM THE EAST 200 FEET OF THE SOUTH 56.66 FEET AND ALL OF OUT LOT A OF SUPERVISOR'S PLAT OF GOULD COURT ACCORDING TO THE PLAT THEREOF RECORDED IN LIBER 65 OF PLATS, PAGE 11 OF OAKLAND COUNTY RECORDS.

BEARING REFERENCE

BEARINGS ARE BASED ON PROJECT COORDINATE SYSTEM:
MICHIGAN STATE PLANE COORDINATE SYSTEM, NAD83 (CONUS)
(MOL) (GRS80), SOUTH ZONE 2113, INTERNATIONAL FEET, GROUND
(LAT: 42°31'19.52" N, LON: 83°13'28.62" W, ELEV: 728,
SCALE FACTOR: 1.00010792).



EX. STORM SEWER		
STRUCTURE	RIM ELEV.	PIPES
(25163) CBR	724.11	DEBR FILL: 722.91 1" S" E = 720.39
(25212) CBR	727.01	12" W" E = 722.04 1" S" E = 720.78
(25224) CBR	725.17	12" W" E = 721.20 12" N" E = 721.44
(25270) CBS	724.15	1" S" E = 722.25 12" W" E = 718.77
(25306) CBR	724.25	B" T/N" E: 723.52 S" E = 722.02
(25454) CBR	725.64	1" S" E = 721.63
(25507) CBR	727.62	1" S" E = 724.43
(25540) CBR	727.46	10" N" E = 723.93 1" E = 723.69
(25628) STMH	728.63	18" SE E = 719.63 12" W" E = 719.70 12" W" E = 720.26
(25641) CBB	726.26	NOT MENTIONED AT THIS LOCATION
(25650) CBR	724.87	18" NW E = 719.23 18" S" E = 719.23

EX. SANITARY SEWER		
STRUCTURE	RIM ELEV.	PIPES
(25065) SAN	724.91	10" W IE= 715.53 10" S IE= 715.48
(25269) SAN	724.74	10" S IE= 714.51 10" N IE= 714.55



REVISIONS		
No.	DATE	DESCRIPTION
3	8-12-21	ISSUE SITE PLANS PER VILLAGE REVIEW COMMENTS
2	7-19-21	ISSUE PERMIT ADDENDUM
1	7-19-21	ISSUE PERMIT
0	7-19-21	PCOQ PERMIT SUBMISSION

CAUTION!!
THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.

CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS ON THE PROJECT. THE CONTRACTOR SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND CONSTRUCTION CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD DESIGN PROFESSIONAL HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE DESIGN

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THE GODDARD SCHOOL OF BEVERLY HILLS

936 E SILVERBELL ROAD
LAKE ORION, MI 48050

PROPOSED GRADING PLAN

THE GODDARD SCHOOL - BEVERLY HILLS

31655 SOUTHLIFE ROAD
N IN RTE SE 1/4 SECTION 2 VILLAGE OF BEVERLY HILLS, OKLAND COUNTY.

S. TSS DN SUR. TSS P.M. TSS
#297 PROPOSED #297-000 29000000 \$00000 - BEVELY HILLS SITE PLANNING & GRADING

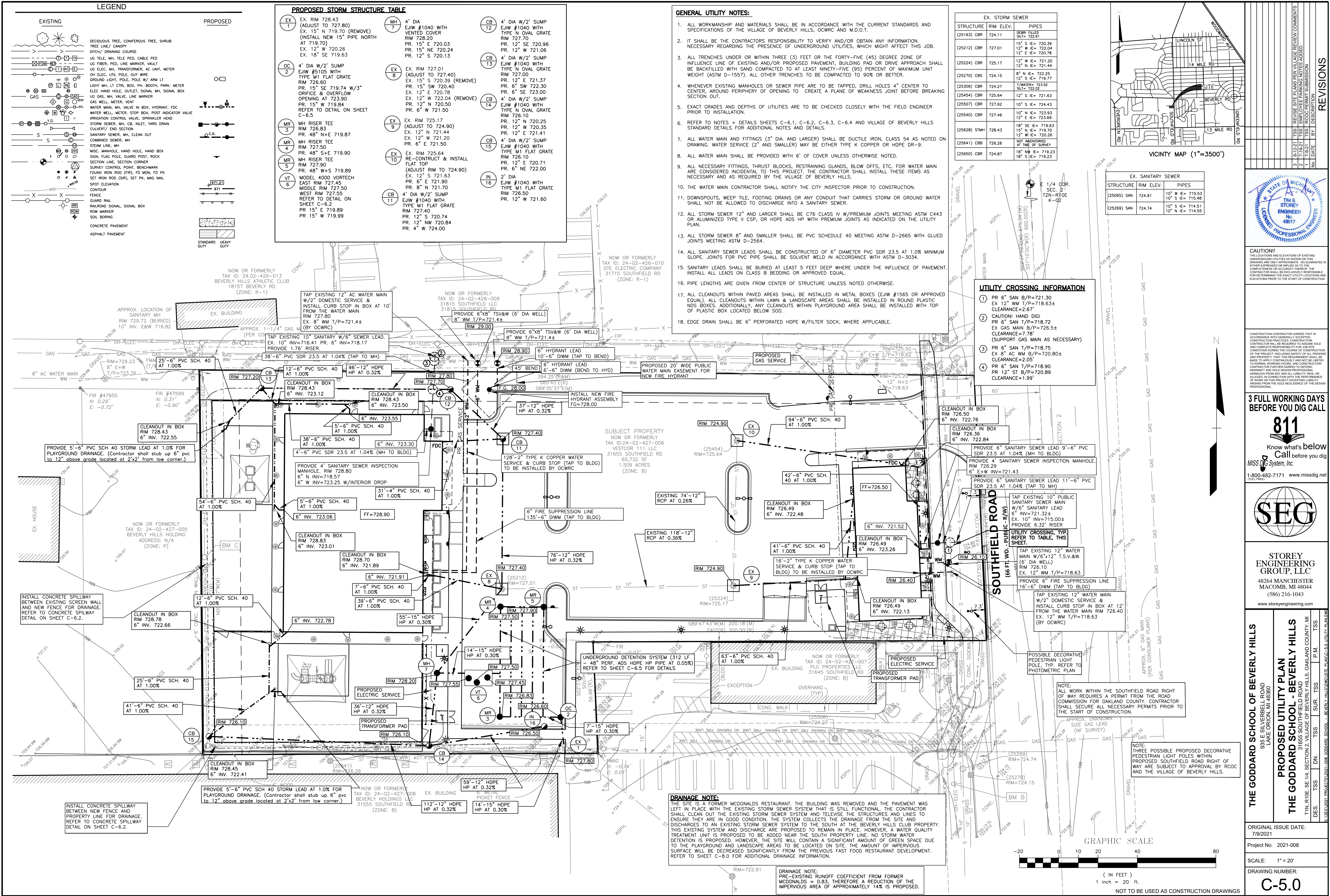
ORIGINAL ISSUE DATE:
7/9/2021

Project No. 2021-008

SCALE: 1" = 20'

DRAWING NUMBER:

C-4.0



REVISIONS

NO.	DATE	BY	DESCRIPTION
1	7/20/21	TSS	PROJECT SUBMISSION
2	7/20/21	TSS	EMPLOYEE PERMITS SUBMITTED
3	8/12/21	TSS	REVISED SITE PLANS PER VILLAGE REVIEW COMMENTS

CAUTION!!

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THE GODDARD SCHOOL OF BEVERLY HILLS

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LAKE ORION, MI 48060

PROPOSED UTILITY PLAN

THE GODDARD SCHOOL - BEVERLY HILLS
31655 SOUTHFIELD ROAD
TIN RIDE SE 1/4 SECTION 2, VILLAGE OF BEVERLY HILLS, OAKLAND COUNTY, MI

ORIGINAL ISSUE DATE:

7/9/2021

Project No:

2021-008

SCALE:

1" = 20'

DRAWING NUMBER:

C-5.0

GENERAL UTILITY NOTES:

- ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF THE VILLAGE OF BEVERLY HILLS, OCWRC AND M.D.O.T.
- IT SHALL BE THE CONTRACTORS RESPONSIBILITY TO VERIFY AND/OR OBTAIN ANY INFORMATION NECESSARY REGARDING THE PRESENCE OF UNDERGROUND UTILITIES, WHICH MIGHT AFFECT THIS JOB.
- ALL TRENCHES UNDER OR WITHIN THREE (3) FEET OR THE FORTY-FIVE (45) DEGREE ZONE OF INFLUENCE LINE OF EXISTING AND/OR PROPOSED PAVEMENT, BUILDING PAD OR DRIVE APPROACH SHALL BE BACKFILLED WITH SAND COMPACTED TO AT LEAST NINETY-FIVE (95) PERCENT OF MAXIMUM UNIT WEIGHT (ASTM D-1557). ALL OTHER TRENCHES TO BE COMPACTED TO 90% OR BETTER.
- WHENEVER EXISTING MANHOLES OR SEWER PIPE ARE TO BE TAPPED, DRILL HOLES 4" CENTER TO CENTER, AROUND PERIPHERY OF OPENING TO CREATE A PLANE OF WEAKNESS JOINT BEFORE BREAKING SECTION OUT.
- EXACT GRADES AND DEPTHS OF UTILITIES ARE TO BE CHECKED CLOSELY WITH THE FIELD ENGINEER PRIOR TO INSTALLATION.
- REFER TO NOTES + DETAILS SHEETS C-6.1, C-6.2, C-6.3, C-6.4 AND VILLAGE OF BEVERLY HILLS STANDARD DETAILS FOR ADDITIONAL NOTES AND DETAILS.
- ALL WATER MAIN AND FITTINGS (3" DIA. AND LARGER) SHALL BE DUCTILE IRON, CLASS 54 AS NOTED ON DRAWING. WATER SERVICE (2" AND SMALLER) MAY BE EITHER TYPE K COPPER OR HDPE DR-9.
- ALL WATER MAIN SHALL BE PROVIDED WITH 6" OF COVER UNLESS OTHERWISE NOTED.
- ALL NECESSARY FITTINGS, THRUST BLOCKS, RESTRAINING GLANDS, BLOW OFFS, ETC. FOR WATER MAIN ARE CONSIDERED INCIDENTAL TO THIS PROJECT. THE CONTRACTOR SHALL INSTALL THESE ITEMS AS NECESSARY AND AS REQUIRED BY THE VILLAGE OF BEVERLY HILLS.
- THE WATER MAIN CONTRACTOR SHALL NOTIFY THE CITY INSPECTOR PRIOR TO CONSTRUCTION.
- DOWNSPOUTS, WEEP TILE, FOOTING DRAINS OR ANY CONDUIT THAT CARRIES STORM OR GROUND WATER SHALL NOT BE ALLOWED TO DISCHARGE INTO A SANITARY SEWER.
- ALL STORM SEWER 12" AND LARGER SHALL BE C78 CLASS IV W/PREMIUM JOINTS MEETING ASTM C443 OR ALUMINIZED TYPE II CSP, OR HDPE ADH HP WITH PREMIUM JOINTS AS INDICATED ON THE UTILITY PLAN.
- ALL STORM SEWER 8" AND SMALLER SHALL BE PVC SCHEDULE 40 MEETING ASTM D-2865 WITH GLUED JOINTS MEETING ASTM D-2564.
- ALL SANITARY SEWER LEADS SHALL BE CONSTRUCTED OF 6" DIAMETER PVC SDR 23.5 AT 1.0% MINIMUM SLOPE. JOINTS FOR PVC PIPE SHALL BE SOLVENT WELD IN ACCORDANCE WITH ASTM D-3034.
- SANITARY LEADS SHALL BE BURIED AT LEAST 5 FEET DEEP WHERE UNDER THE INFLUENCE OF PAVEMENT. INSTALL ALL LEADS ON CLASS B BEDDING OR APPROVED EQUAL.
- PIPE LENGTHS ARE GIVEN FROM CENTER OF STRUCTURE UNLESS NOTED OTHERWISE.
- ALL CLEANOUTS WITHIN PAVED AREAS SHALL BE INSTALLED IN METAL BOXES (EJW #1565 OR APPROVED EQUAL). ALL CLEANOUTS WITHIN LAWN & LANDSCAPE AREAS SHALL BE INSTALLED IN ROUND PLASTIC NDS BOXES. ADDITIONALLY, ANY CLEANOUTS WITHIN PLAYGROUND AREA SHALL BE INSTALLED WITH TOP OF PLASTIC BOX LOCATED BELOW SOD.
- EDGE DRAIN SHALL BE 6" PERFORATED HDPE W/FILTER SOCK, WHERE APPLICABLE.

UTILITY CROSSING INFORMATION

- PR 6" SAN B/P=721.30
EX 12" WM T/P=718.63±
CLEARANCE=2.67'
- CAUTION: HAND DIG!
PR 6" SAN T/P=718.72
EX GAS MAIN B/P=726.5±
CLEARANCE=7.78'
(SUPPORT GAS MAIN AS NECESSARY)
- PR 6" SAN T/P=718.75
EX 8" AC WM B/P=720.80±
CLEARANCE=2.05'
- PR 6" SAN T/P=718.90
PR 12" ST B/P=720.89
CLEARANCE=1.99'

DRAINAGE NOTE:

THE SITE IS A FORMER MCDONALDS RESTAURANT. THE BUILDING WAS REMOVED AND THE PAVEMENT WAS LEFT IN PLACE WITH THE EXISTING STORM SEWER SYSTEM THAT IS STILL FUNCTIONAL. THE CONTRACTOR SHALL CLEAN OUT THE EXISTING STORM SEWER SYSTEM AND TELEVIEW THE STRUCTURES AND LINES TO ENSURE THEY ARE IN GOOD CONDITION. THE SYSTEM COLLECTS THE DRAINAGE FROM THE SITE AND DISCHARGES TO AN EXISTING STORM SEWER SYSTEM TO THE SOUTH AT THE BEVERLY HILLS CLUB PROPERTY. THIS EXISTING SYSTEM AND DISCHARGE ARE PROPOSED TO REMAIN IN PLACE. HOWEVER, A WATER QUALITY TREATMENT UNIT IS PROPOSED TO BE ADDED NEAR THE SOUTH PROPERTY LINE. NO STORM WATER DETENTION IS PROPOSED. HOWEVER, THE SITE WILL CONTAIN A SIGNIFICANT AMOUNT OF GREEN SPACE DUE TO THE PLAYGROUND AND LANDSCAPE AREAS TO BE LOCATED ON SITE. MORE AMOUNT OF IMPERVIOUS SURFACE WILL BE DECREASED SIGNIFICANTLY FROM THE PREVIOUS FAST FOOD RESTAURANT DEVELOPMENT. REFER TO SHEET C-8.0 FOR ADDITIONAL DRAINAGE INFORMATION.

DRAINAGE NOTE:
PRE-EXISTING RUNOFF COEFFICIENT FROM FORMER MCDONALDS = 0.83, THEREFORE A REDUCTION OF THE IMPERVIOUS AREA OF APPROXIMATELY 14% IS PROPOSED.



(IN FEET)
1 inch = 20 ft.

NOT TO BE USED AS CONSTRUCTION DRAWINGS

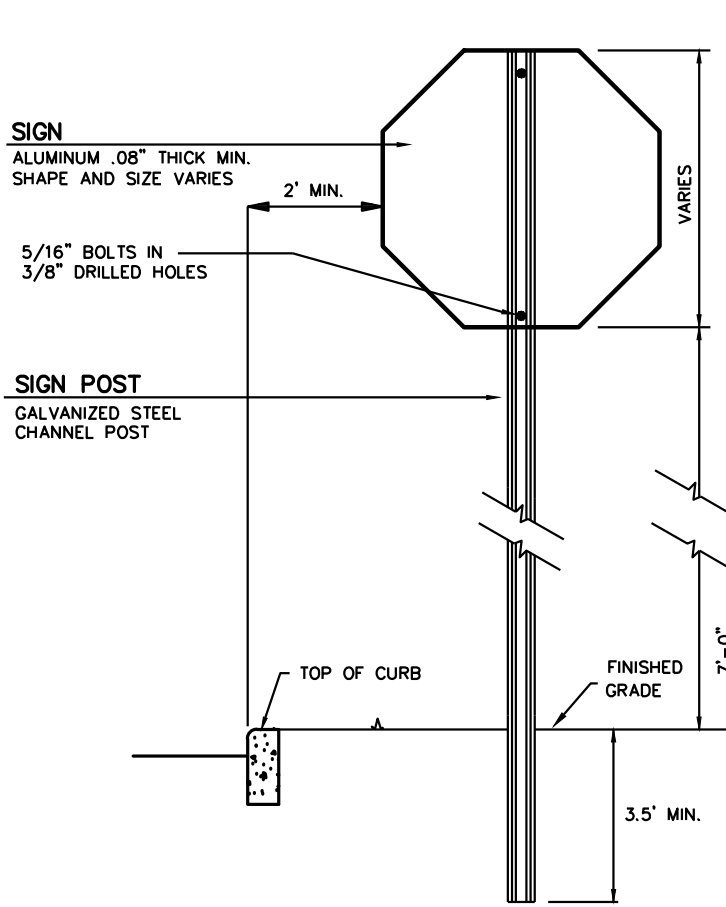
- GENERAL NOTES:
1. ALL CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF THE VILLAGE OF BEVERLY HILLS & OAKLAND COUNTY WATER RESOURCE COMMISSION.
 2. ALL NECESSARY PERMITS, BONDS AND INSURANCES ETC., SHALL BE PAID FOR BY THE CONTRACTOR. THE OWNER SHALL PAY FOR ALL MUNICIPAL INSPECTION FEES.
 3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DUST CONTROL DURING THE PERIODS OF CONSTRUCTION. THIS SHALL BE CONSIDERED INCIDENTAL TO THE JOB.
 4. PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL CONTACT MISS DIG (1-800-482-7171) TO VERIFY THE LOCATION OF ANY EXISTING UNDERGROUND UTILITIES AND SHALL NOTIFY OTHER REPRESENTATIVES OF OTHER UTILITIES IN THE VICINITY OF THE WORK.
 5. ALL PROPERTIES OR FACILITIES IN THE SURROUNDING AREAS, PUBLIC OR PRIVATE, DESTROYED OR OTHERWISE DISTURBED DUE TO CONSTRUCTION, SHALL BE REPLACED AND/OR RESTORED TO THE ORIGINAL CONDITION BY THE CONTRACTOR.
 6. MANHOLE, CATCH BASIN, GATE VALVES AND HYDRANT FINISH GRADES MUST BE CLOSELY CHECKED AND APPROVED BY THE ENGINEER BEFORE THE CONTRACTOR'S WORK IS CONSIDERED COMPLETE.
 7. CONTRACTOR SHALL REMOVE AND DISPOSE OF OFF-SITE ANY TREES, BRUSH, STUMPS, TRASH OR OTHER UNWANTED DEBRIS AT THE OWNER'S DIRECTION, INCLUDING OLD BUILDING FOUNDATIONS AND FLOORS. BURNING OF TRASH, STUMPS OR OTHER DEBRIS SHALL NOT BE PERMITTED.
 8. THE CONTRACTOR SHALL PROVIDE ALL NECESSARY BARRICADING, LIGHTS AND TRAFFIC CONTROL DEVICES TO PROTECT THE WORK AND SAFELY CONTAIN TRAFFIC IN ACCORDANCE WITH "MMUTOC".
 9. ALL EXCAVATIONS SHALL BE SLOPED, SHORED OR BRACED IN ACCORDANCE WITH MI-OSHA REQUIREMENTS. THE CONTRACTOR SHALL PROVIDE AN ADEQUATELY CONSTRUCTED AND BRACED SHORING SYSTEM FOR EMPLOYEES WORKING IN AN EXCAVATION THAT MAY EXPOSE EMPLOYEES TO THE DANGER OF MOVING GROUND.
 10. ALL REFERENCES TO M.D.O.T. SPECIFICATIONS ARE TO BE IN ACCORDANCE WITH THE LATEST EDITION OF THE MDOT STANDARD SPECIFICATIONS FOR CONSTRUCTION.

- PAVING NOTES:
1. ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF THE VILLAGE OF BEVERLY HILLS.
 2. IN AREAS WHERE NEW PAVEMENTS ARE BEING CONSTRUCTED, THE TOPSOIL AND SOIL CONTAINING ORGANIC MATTER SHALL BE REMOVED PRIOR TO PAVEMENT CONSTRUCTION.
 3. SUBGRADE UNDERCUTTING, INCLUDING BACKFILLING SHALL BE PERFORMED TO REPLACE MATERIALS SUSCEPTIBLE TO FROST HEAVING AND UNSTABLE SOIL CONDITIONS. ANY EXCAVATIONS THAT MAY BE REQUIRED BELOW THE TOPSOIL IN FILL SECTIONS OR BELOW SUBGRADE IN CUT SECTIONS, WILL BE CLASSIFIED AS SUBGRADE UNDERCUTTING.
 4. SUBGRADE UNDERCUTTING SHALL BE PERFORMED WHERE NECESSARY AND THE EXCAVATED MATERIAL SHALL BECOME THE PROPERTY OF THE CONTRACTOR. ANY SUBGRADE UNDERCUTTING SHALL BE BACKFILLED WITH SAND OR OTHER SIMILAR APPROVED MATERIAL. BACKFILL SHALL BE COMPACTED TO 95% OF THE MAXIMUM UNIT WEIGHT (PER ASTM D-1557) UNLESS OTHERWISE SPECIFIED.
 5. BACKFILL UNDER PAVED AREAS SHALL BE AS SPECIFIED ON DETAILS.
 6. ANY SUB-GRADE WATERING REQUIRED TO ACHIEVE REQUIRED DENSITY SHALL BE CONSIDERED INCIDENTAL TO THE JOB.

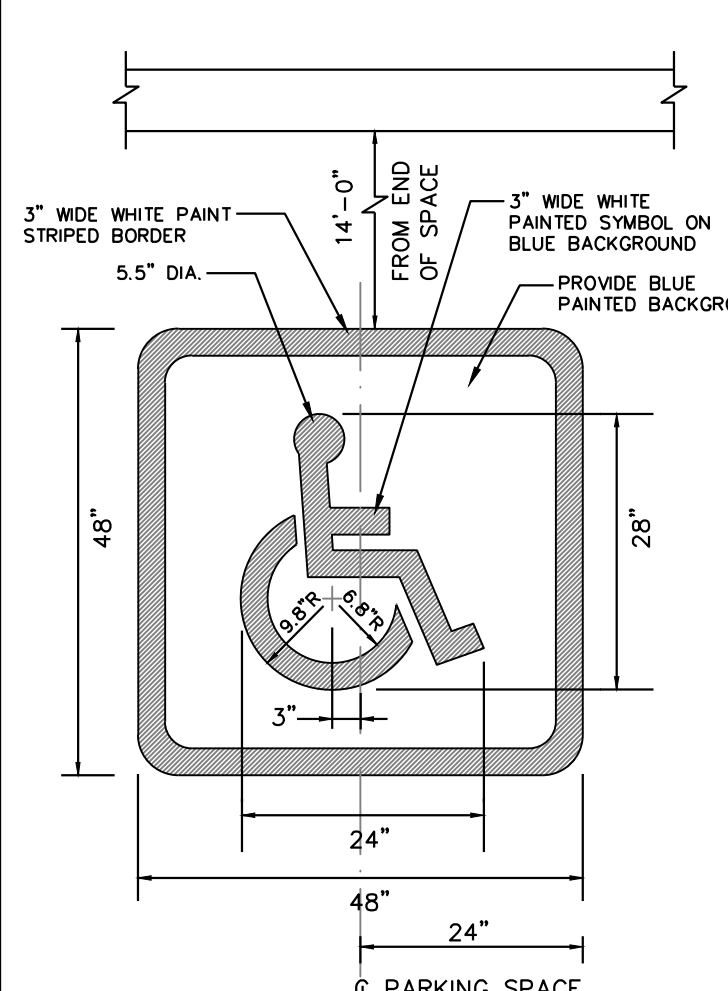
- GENERAL UTILITY NOTES:
1. ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE VILLAGE OF BEVERLY HILLS AND M.D.O.T.
 2. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY AND/OR OBTAIN ANY INFORMATION NECESSARY REGARDING THE PRESENCE OF UNDERGROUND UTILITIES, WHICH MIGHT AFFECT THIS JOB.
 3. ALL TRENCHES UNDER OR WITHIN THREE (3) FEET OR THE FORTY-FIVE (45) DEGREE ZONE OF INFLUENCE LINE OF EXISTING AND/OR PROPOSED PAVEMENT, BUILDING PAD OR DRIVE APPROACH SHALL BE BACKFILLED WITH SAND COMPACTED TO AT LEAST NINETY-FIVE (95) PERCENT OF MAXIMUM UNIT WEIGHT (ASTM D-1557). ALL OTHER TRENCHES TO BE COMPACTED TO 90% OR BETTER.
 4. WHENEVER EXISTING MANHOLES OR SEWER PIPE ARE TO BE TAPPED, DRILL HOLES 4" CENTER TO CENTER, AROUND PERIPHERY OF OPENING TO CREATE A PLANE OF WEAKNESS JOINT BEFORE BREAKING SECTION OUT.
 5. EXACT GRADES AND DEPTHS OF UTILITIES ARE TO BE CHECKED CLOSELY WITH THE FIELD ENGINEER PRIOR TO INSTALLATION.

- STORM SEWER NOTES:
1. ALL STORM SEWER SHALL BE INSTALLED ON STANDARD BEDDING OR BETTER.
 2. JOINTS FOR ALL STORM SEWER 12" AND LARGER SHALL BE PREMIUM JOINT TONGUE AND GROOVE WITH RUBBER GASKETS, UNLESS SPECIFIED OTHERWISE.
 3. ALL STORM SEWER 12" AND LARGER SHALL BE RCP CLASS IV, ALUMINIZED CSP OR HDPE N-12 HP, UNLESS OTHERWISE NOTED.
 4. CULVERTS SHALL BE ALUMINIZED TYPE II CSP WITH BANDED JOINTS MEETING MANUFACTURERS SPECS.
 5. STORM LEADS 6" & SMALLER SHALL BE PVC SCH 40 WITH GLUED JOINTS BEDDED ON SAND OR STONE AGGREGATE. (8" LEADS SHALL BE PVC SDR-26).
 6. REFER TO THE OCWR STANDARD DETAILS FOR WATER MAIN CONSTRUCTION FOR ADDITIONAL INFORMATION.

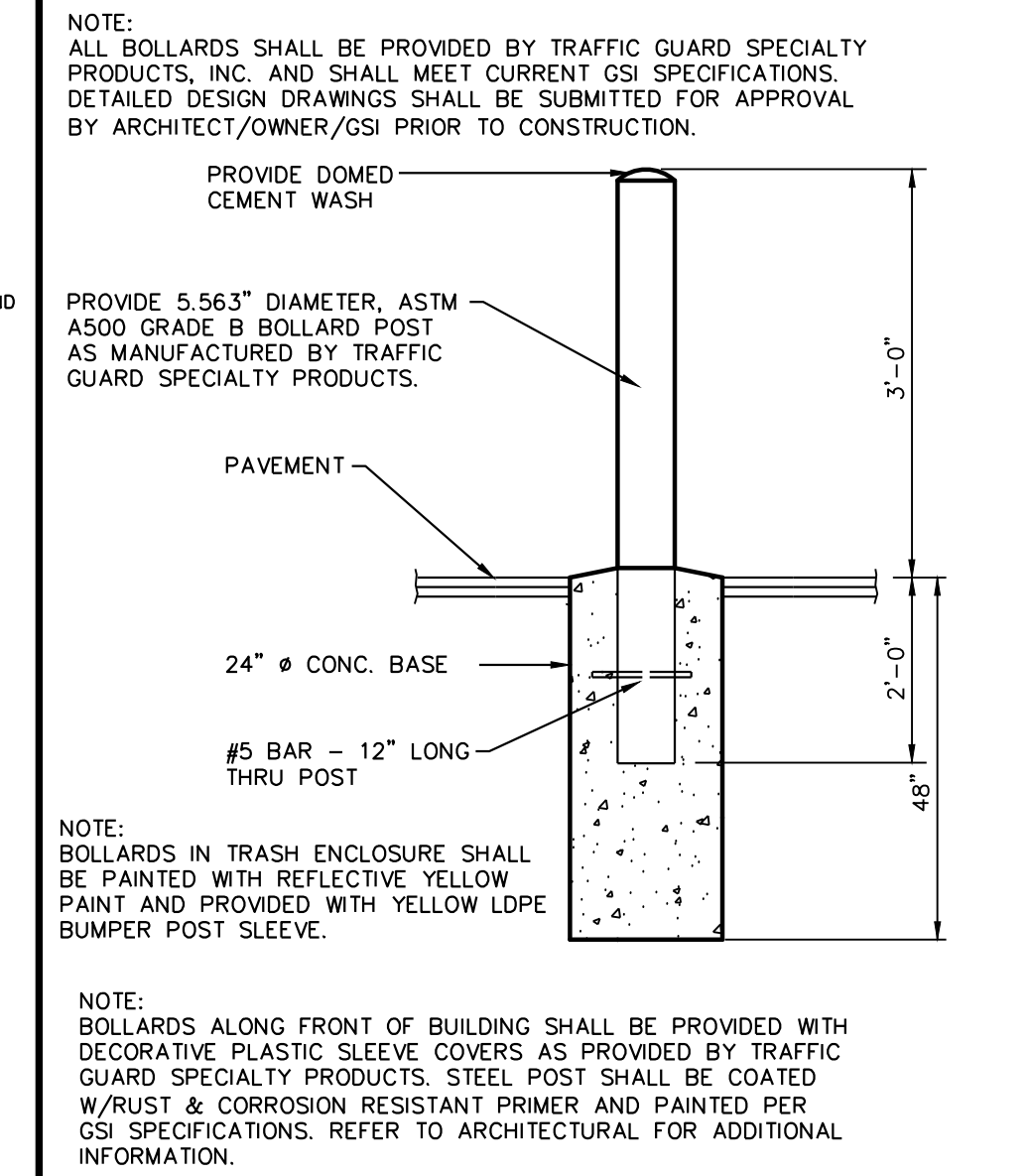
- WATER MAIN NOTES:
1. ALL WATER MAIN SHALL BE INSTALLED WITH A MINIMUM COVER OF 6.0' BELOW FINISH GRADE. WHEN WATER MAINS MUST DIP TO PASS UNDER A STORM SEWER OR SANITARY SEWER, THE SECTIONS WHICH ARE DEEPER THAN NORMAL, SHALL BE KEPT TO A MINIMUM LENGTH BY THE USE OF VERTICAL TWENTY TWO AND A HALF (22.5) DEGREE BENDS, PROPERLY ANCHORED.
 2. ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF THE VILLAGE OF BEVERLY HILLS.
 3. ALL TRENCHES UNDER OR WITHIN THREE (3) FEET OR THE FORTY-FIVE (45) DEGREE ZONE OF INFLUENCE LINE OF EXISTING AND/OR PROPOSED PAVEMENT, BUILDING PAD OR DRIVE APPROACH SHALL BE BACKFILLED WITH SAND COMPACTED TO AT LEAST NINETY-FIVE (95) PERCENT OF MAXIMUM UNIT WEIGHT (ASTM D-1557). ALL OTHER TRENCHES TO BE COMPACTED TO 90% OR BETTER.
 4. ALL TEE'S, BENDS, CONNECTIONS, ETC. ARE CONSIDERED INCIDENTAL TO THE JOB.
 5. PHYSICAL CONNECTIONS SHALL NOT BE MADE BETWEEN EXISTING AND NEW WATER MAINS UNTIL TESTING IS SATISFACTORILY COMPLETED.
 6. MAINTAIN 10' HORIZONTAL CLEARANCE BETWEEN OUTER EDGE OF WATERMAIN AND ANY SANITARY SEWER OR STRUCTURE.
 7. ALL WATER MAIN SHALL BE DUCTILE IRON CLASS 54 WITH POLYETHYLENE WRAP (IF REQUIRED BY THE VILLAGE OF BEVERLY HILLS OR OCWR).
 8. REFER TO THE OCWR STANDARD DETAILS FOR WATER MAIN CONSTRUCTION FOR ADDITIONAL INFORMATION.



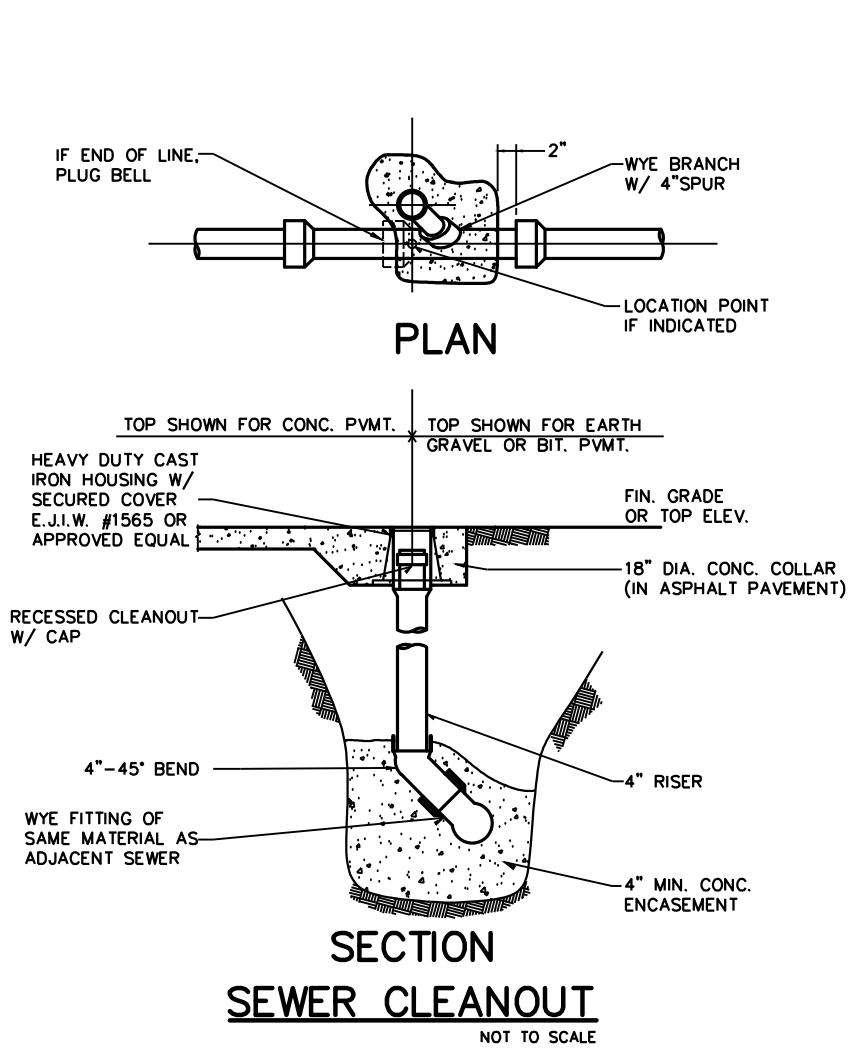
**SIGN AND POST INSTALLATION
IN LANDSCAPED AREAS**
NOT TO SCALE



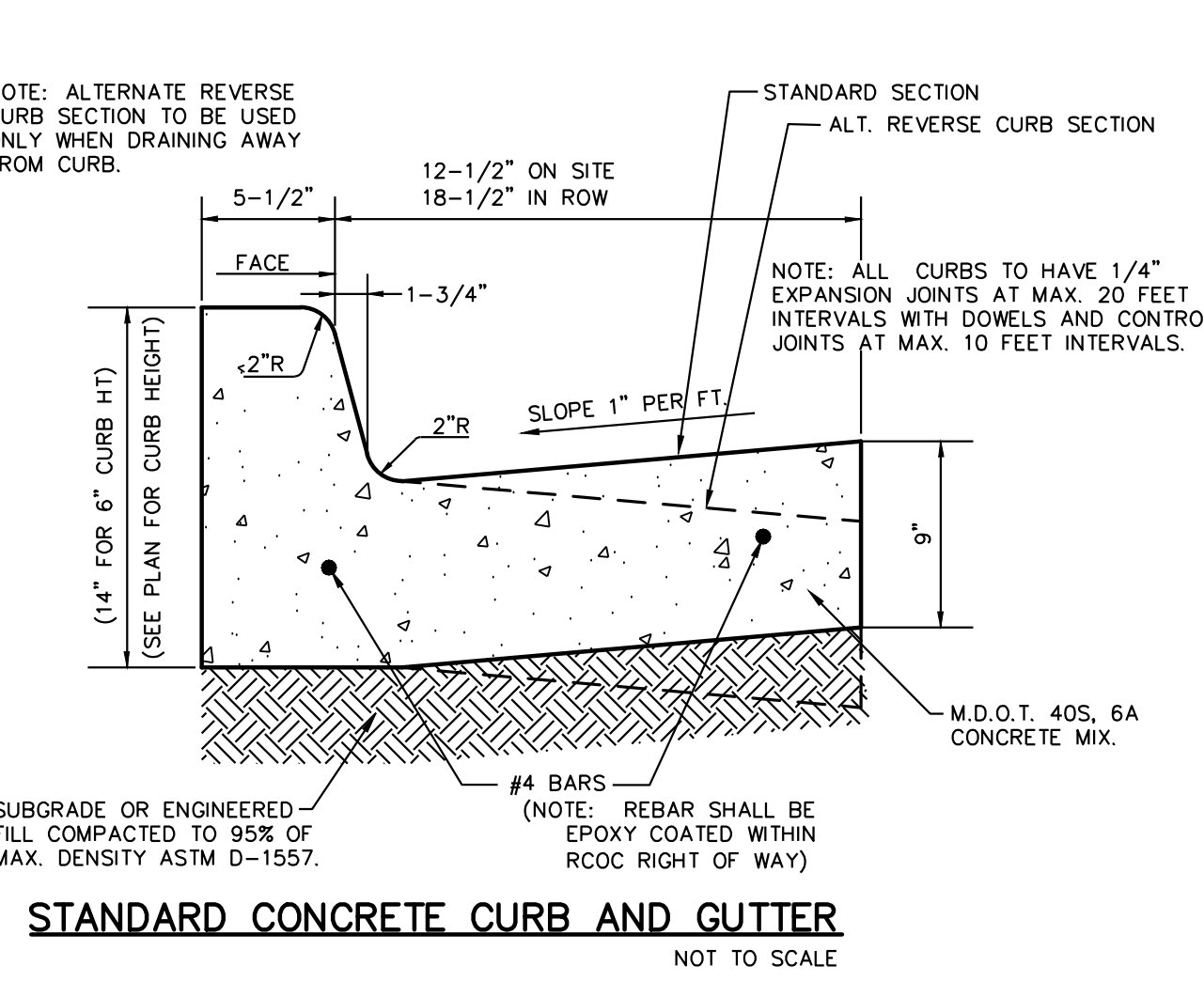
**STANDARD BARRIER FREE SYMBOL
FOR PARKING SPACE**
NOT TO SCALE



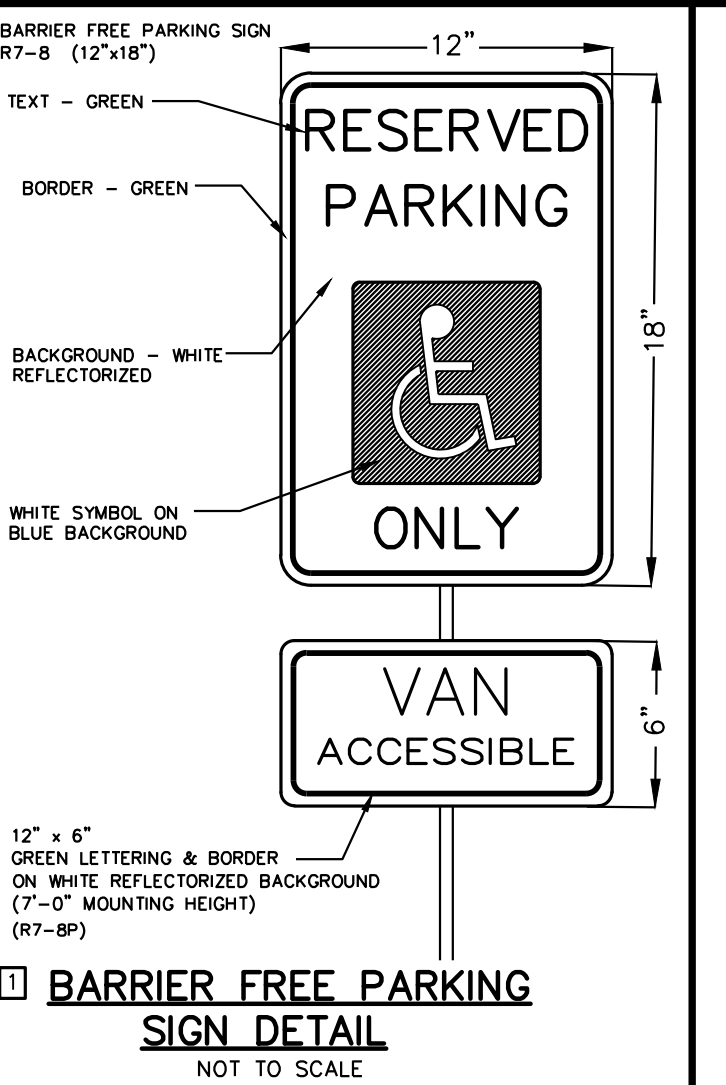
BOLLARD DETAIL
NOT TO SCALE



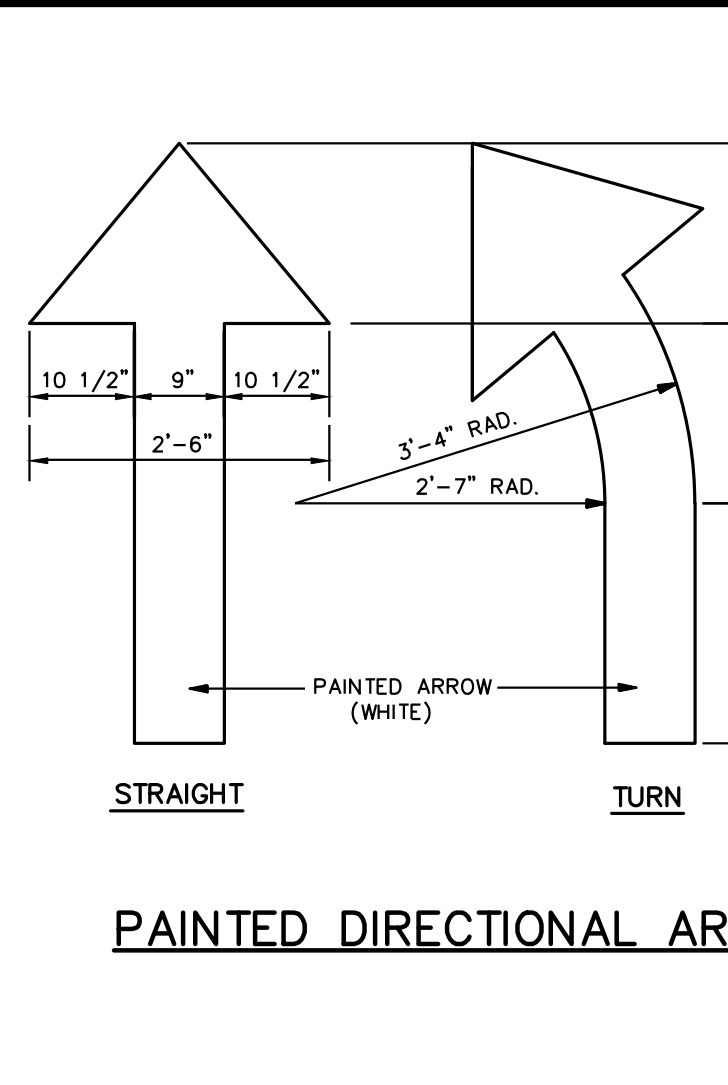
SEWER CLEANOUT
NOT TO SCALE



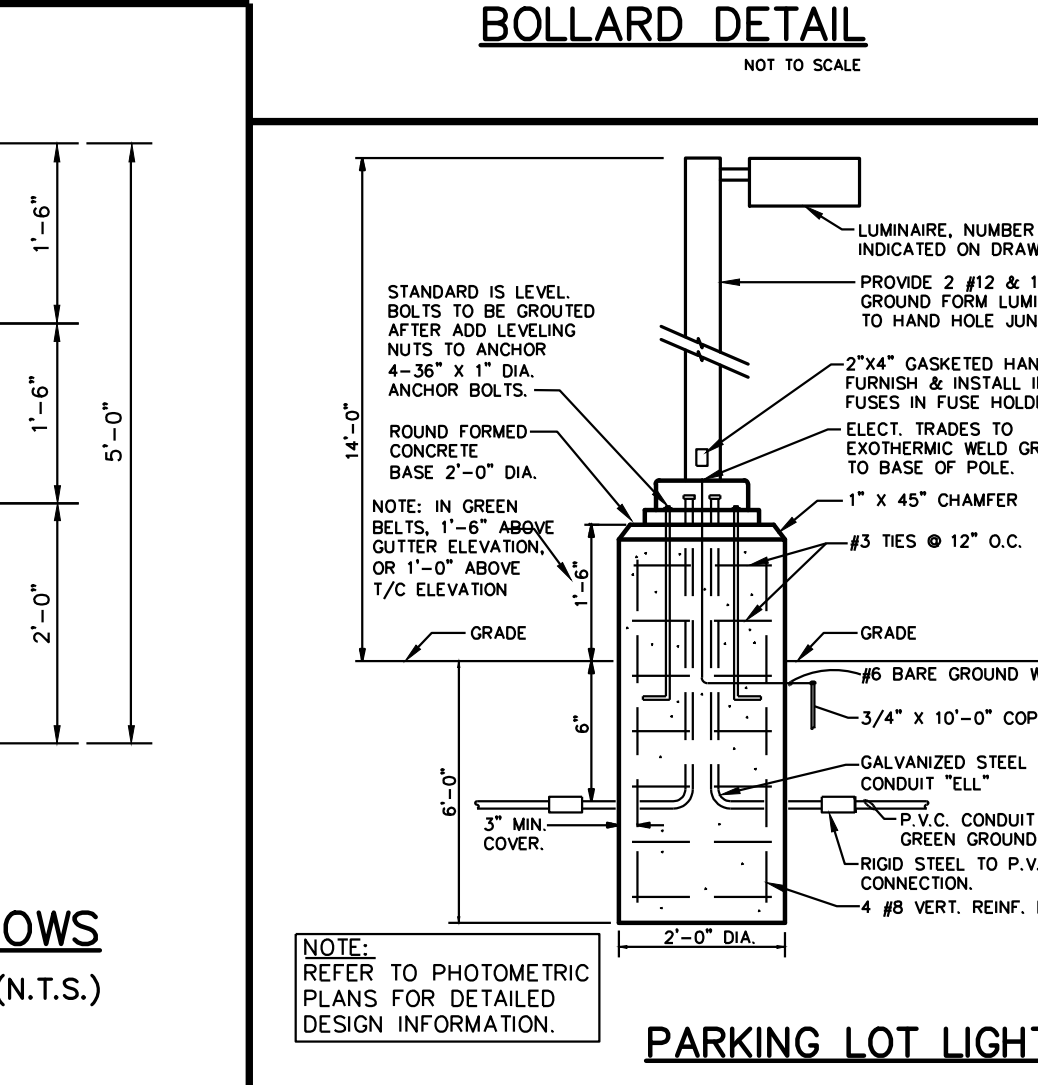
STANDARD CONCRETE CURB AND GUTTER
NOT TO SCALE



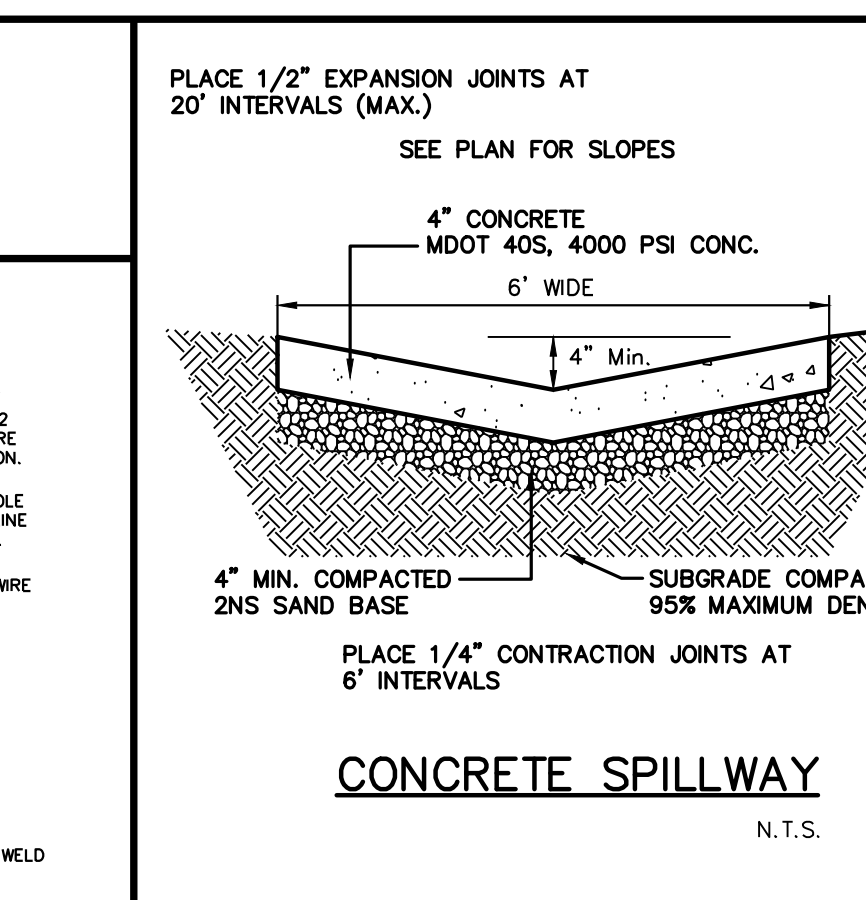
**BARRIER FREE PARKING
SIGN DETAIL**
NOT TO SCALE



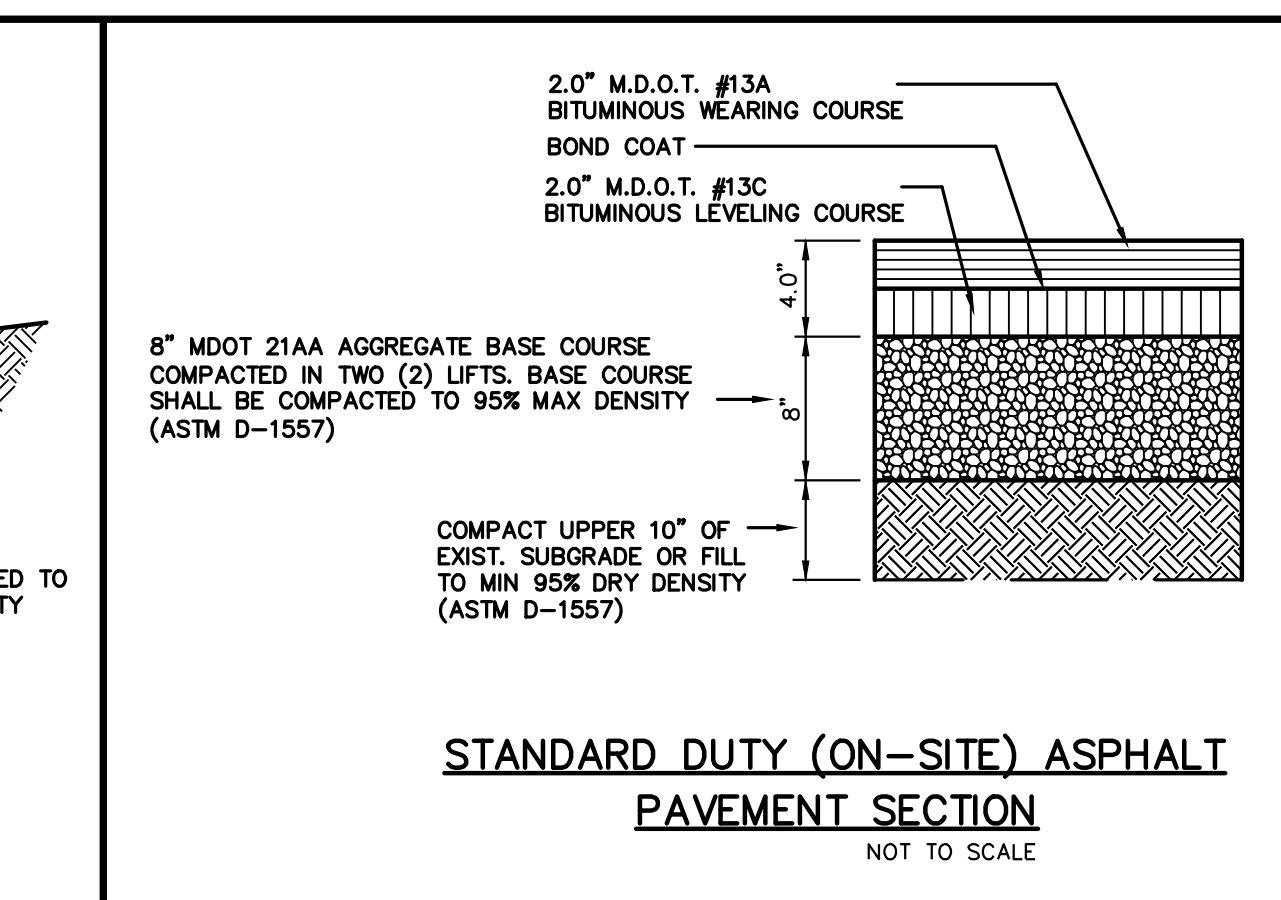
PAINTED DIRECTIONAL ARROWS
(N.T.S.)



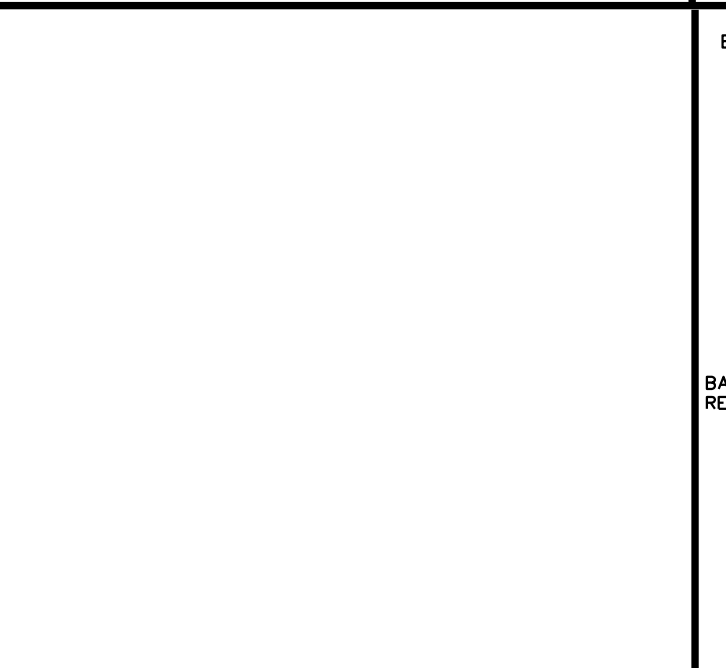
PARKING LOT LIGHT POLE DETAIL
NOT TO SCALE



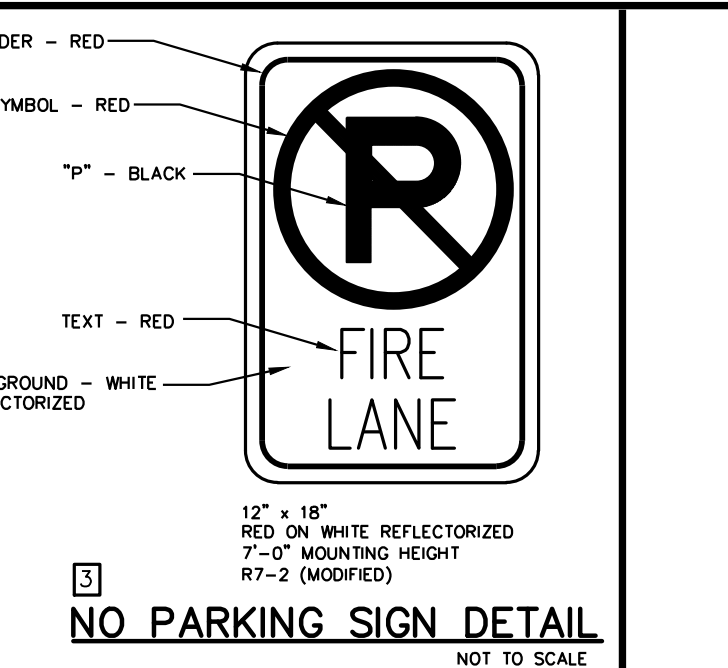
CONCRETE SPILLWAY
N.T.S.



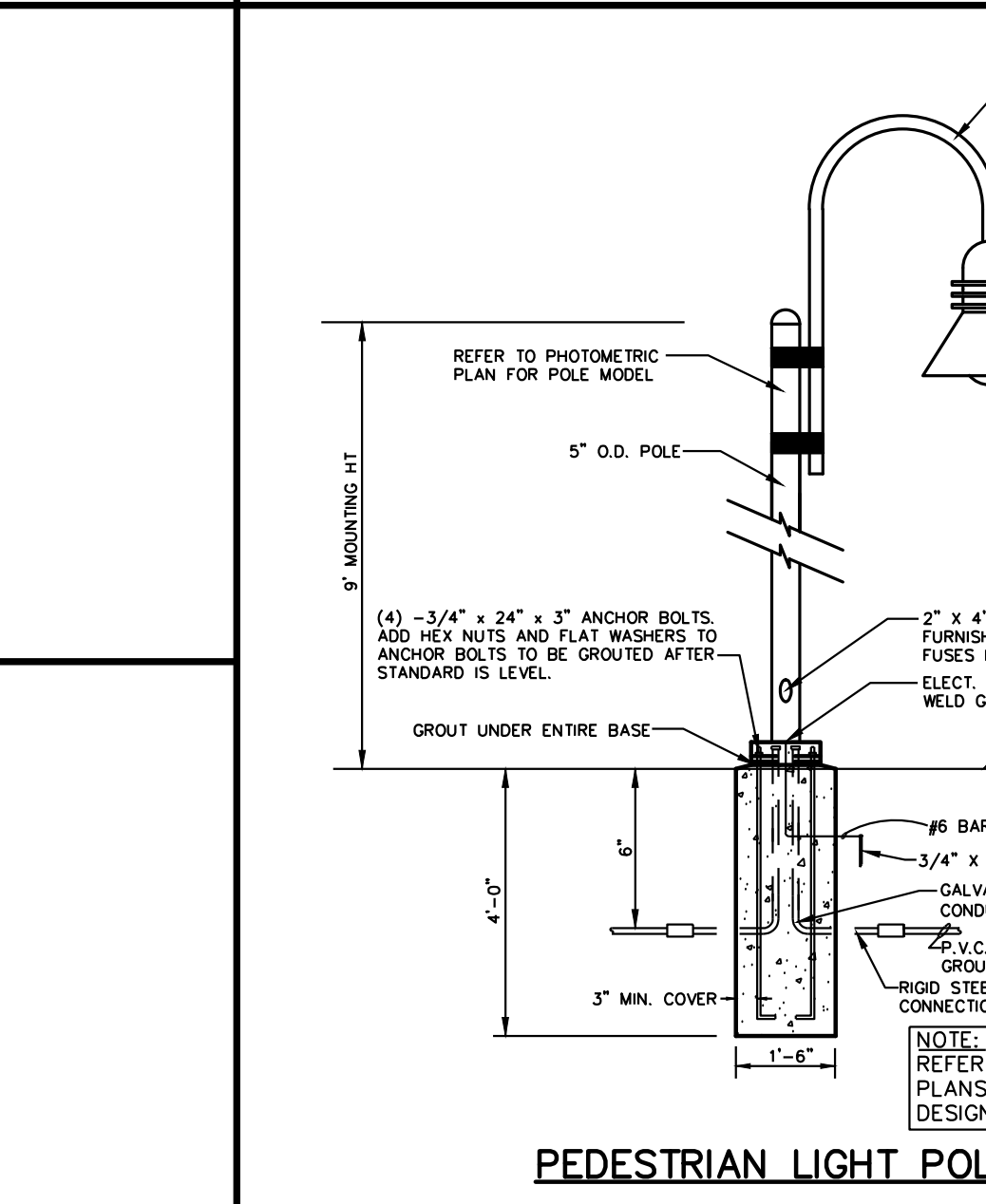
**STANDARD DUTY (ON-SITE) ASPHALT
PAVEMENT SECTION**
NOT TO SCALE



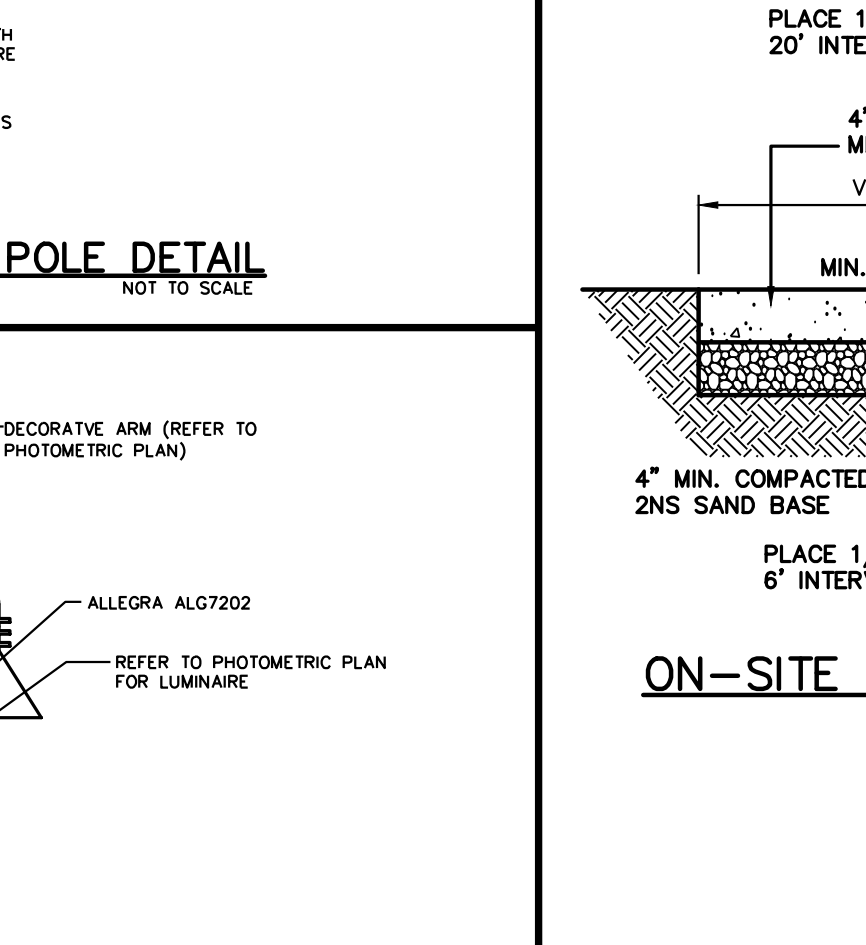
**BARRIER FREE PARKING
SIGN DETAIL**
NOT TO SCALE



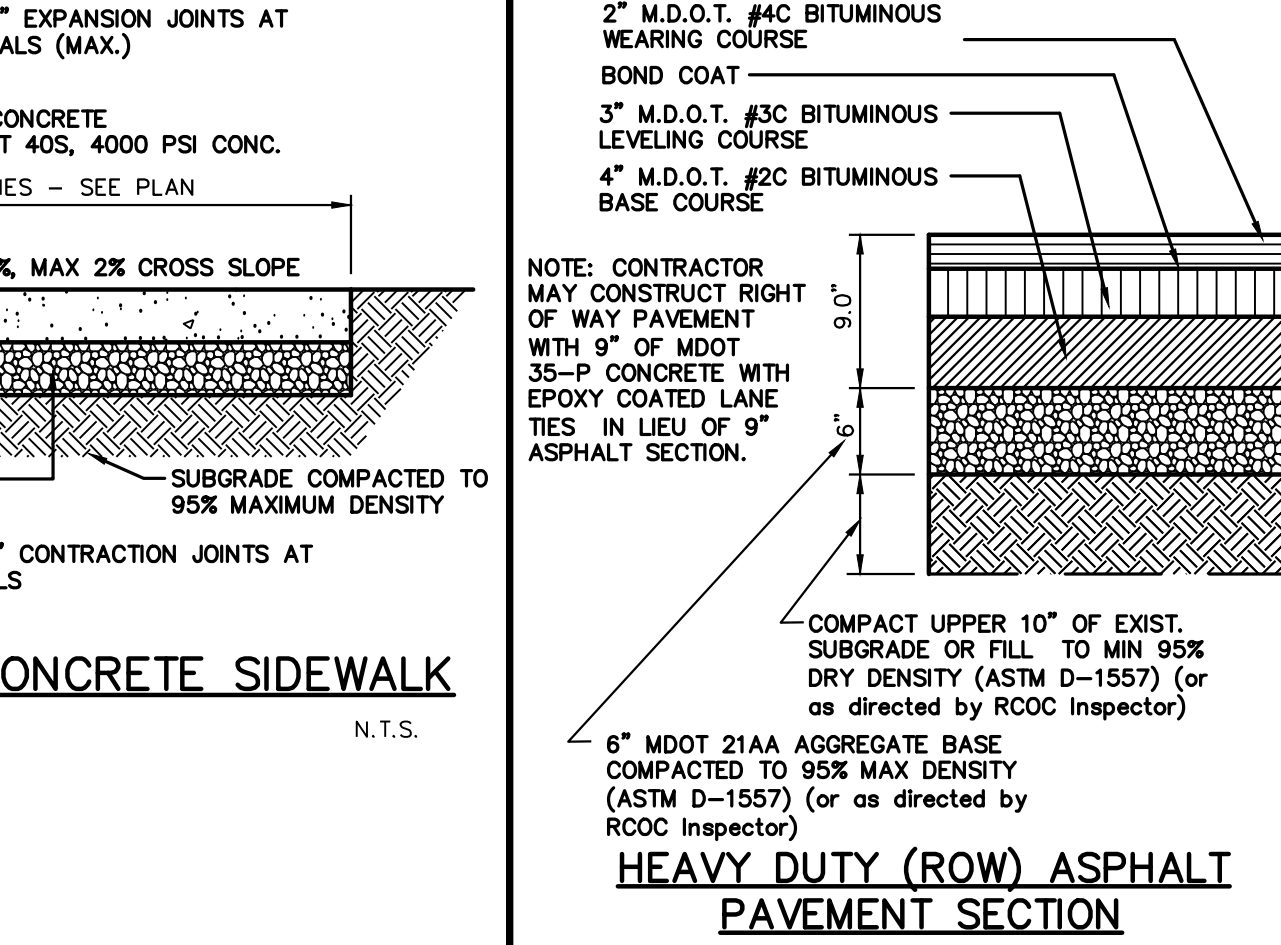
NO PARKING SIGN DETAIL
NOT TO SCALE



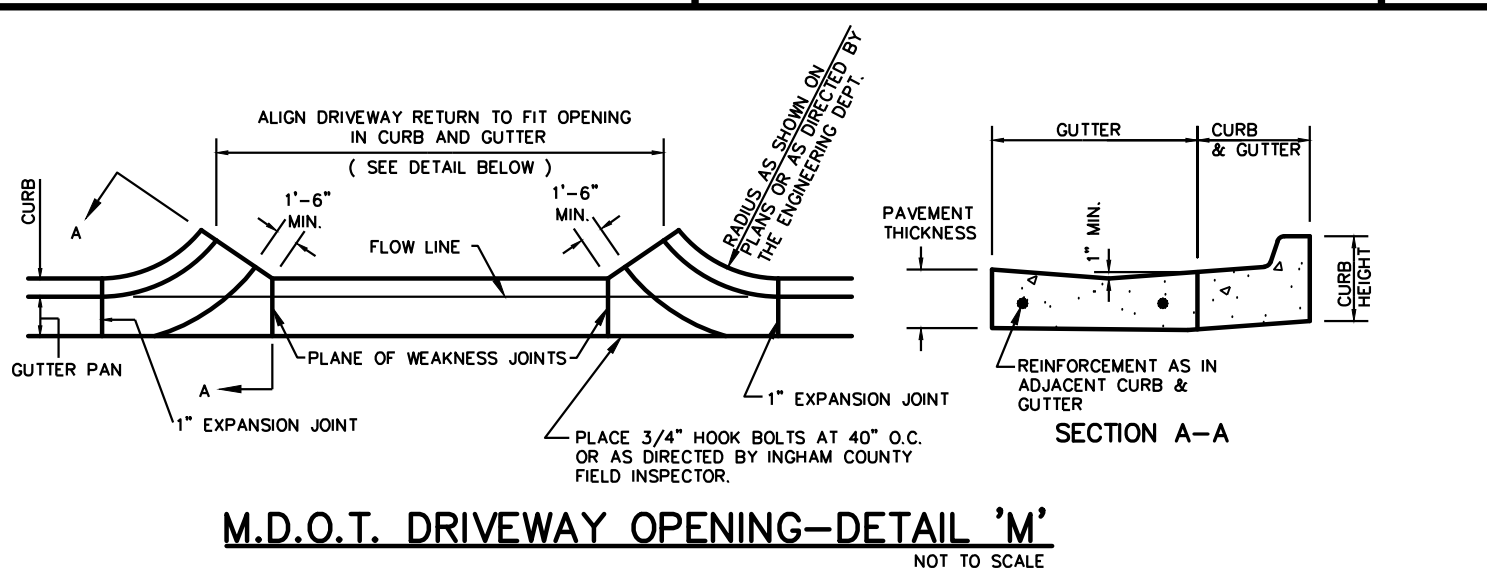
PEDESTRIAN LIGHT POLE DETAIL
NOT TO SCALE



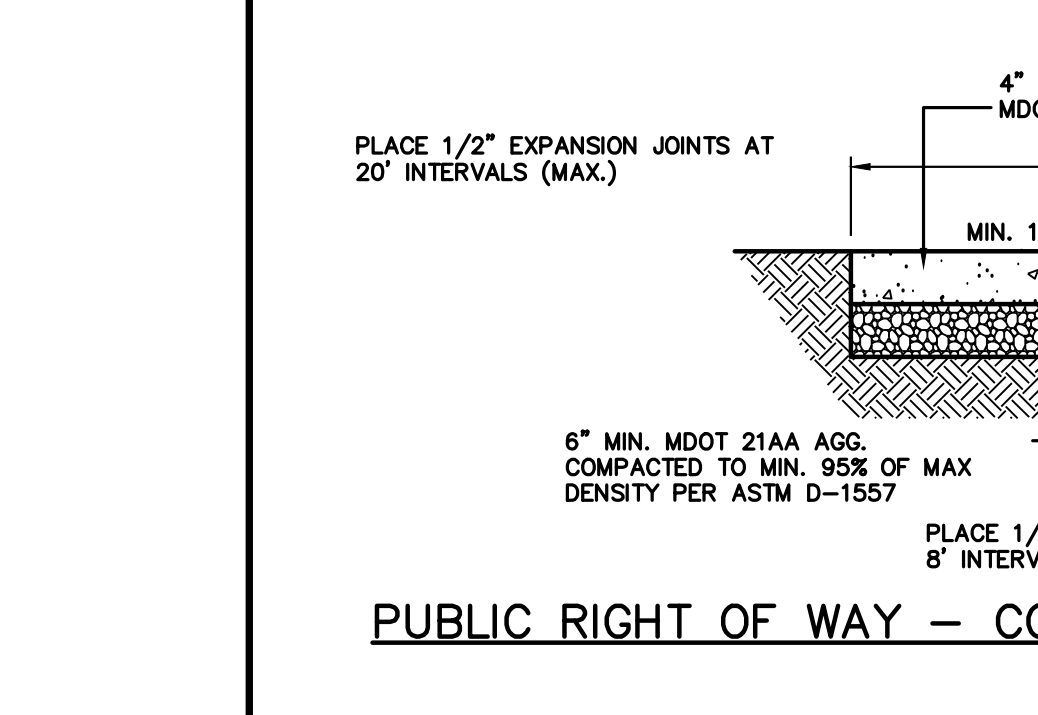
ON-SITE CONCRETE SIDEWALK
N.T.S.



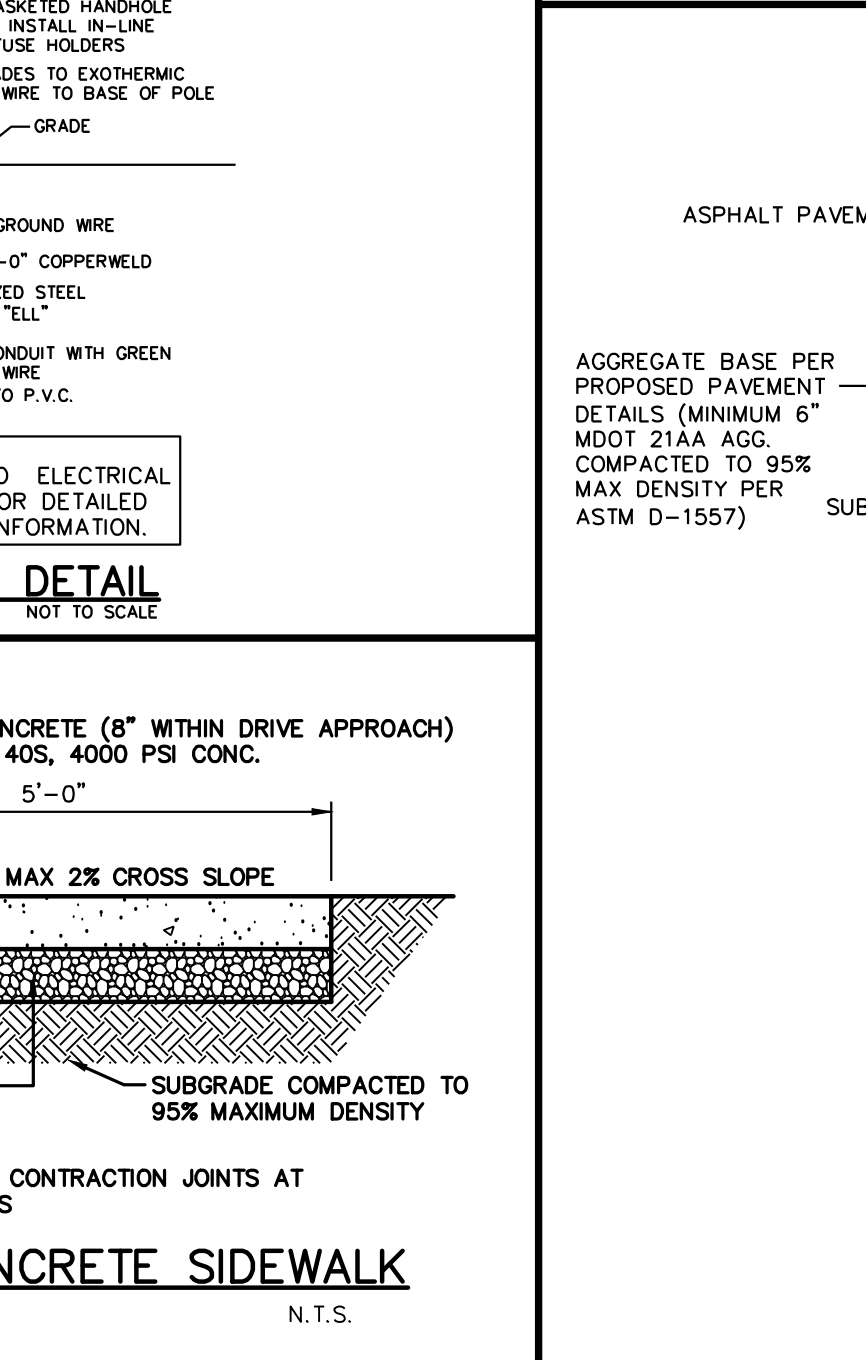
**HEAVY DUTY (ROW) ASPHALT
PAVEMENT SECTION**
NOT TO SCALE



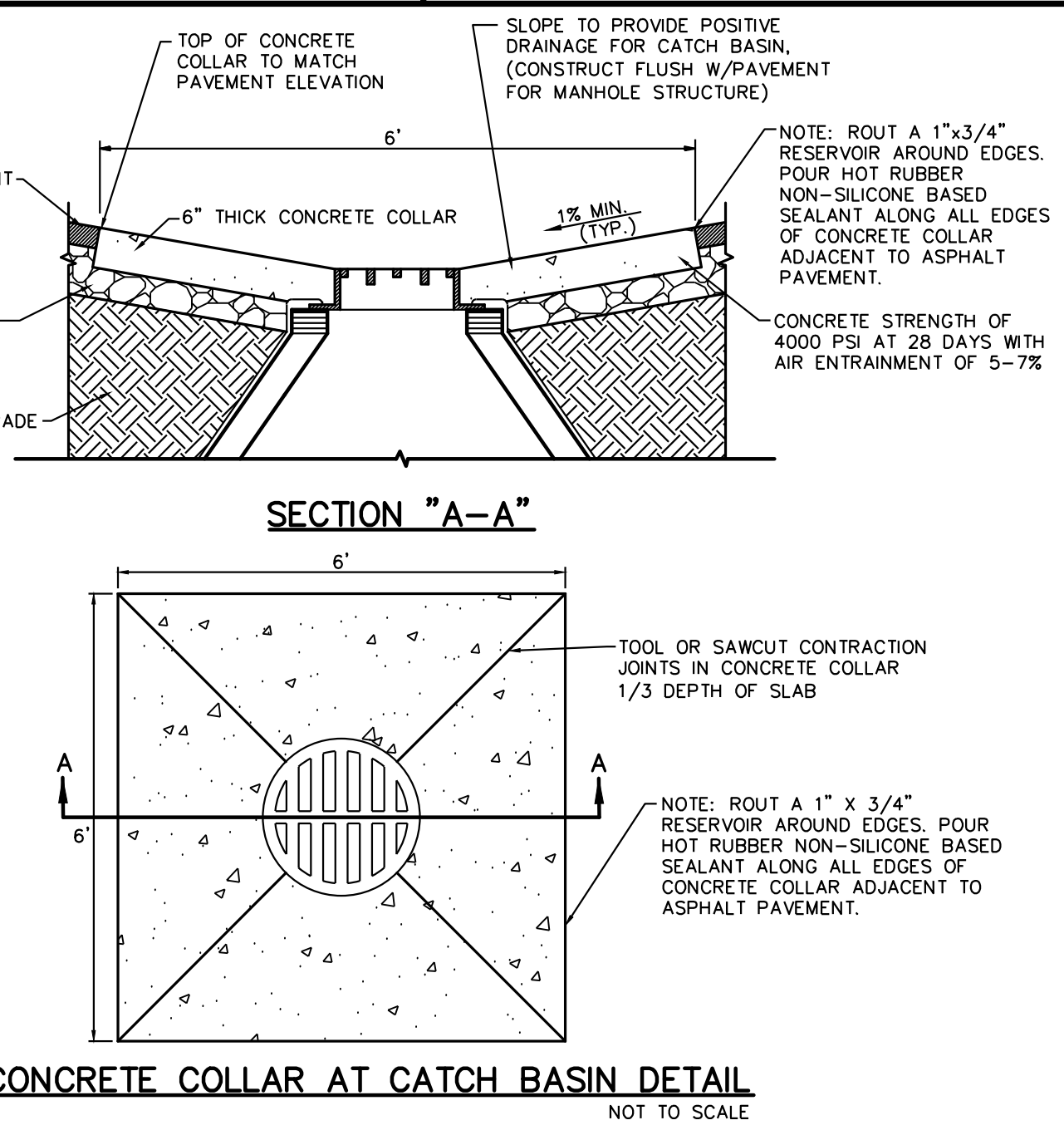
M.D.O.T. DRIVEWAY OPENING-DETAIL 'M'
NOT TO SCALE



PUBLIC RIGHT OF WAY - CONCRETE SIDEWALK
N.T.S.



CONCRETE COLLAR AT CATCH BASIN DETAIL
NOT TO BE USED AS CONSTRUCTION DRAWINGS



CONCRETE COLLAR AT CATCH BASIN DETAIL
NOT TO BE USED AS CONSTRUCTION DRAWINGS

REVISIONS			
NO.	DATE	BY	DESCRIPTION
3	8-12-21	TSS	REVISE SITE PLANS PER VILLAGE REVIEW COMMENTS
2	7-19-21	TSS	EMPLOYEE PARKING NOTES ADDED
1	7-19-21	TSS	FINAL SUBMISSION

CAUTION!!
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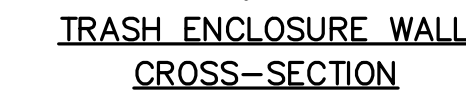
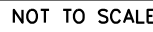
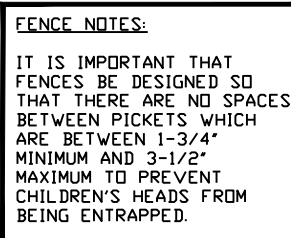
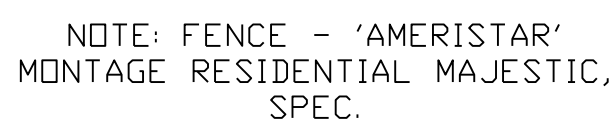
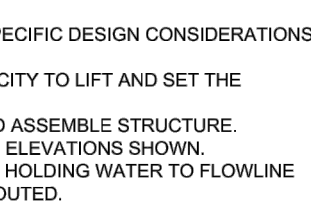
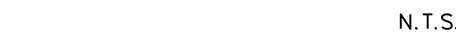
THE GODDARD SCHOOL OF BEVERLY HILLS			
NOTES + DETAILS-1			
THE GODDARD SCHOOL - BEVERLY HILLS			
31655 SOUTHFIELD ROAD			
TIN RIDE, SE 1/4, SECTION 2, VILLAGE OF BEVERLY HILLS, OAKLAND COUNTY, MI			
DES.	TSS	DN.	TSS
PROJECT: 2021-008 GODDARD SCHOOLS - BEVERLY HILLS WASTE PLANT-41 NOTES + DETAILS-1.DWG			

ORIGINAL ISSUE DATE:
7/9/2021

Project No. 2021-008

SCALE: 1" = 30'

DRAWING NUMBER:
C-6.1



A circular professional engineer seal for the State of Michigan. The outer ring contains the text "STATE OF MICHIGAN" at the top and "LICENSED PROFESSIONAL ENGINEER" at the bottom, separated by two stars. The center of the seal contains the name "TIM S. STOREY", the title "ENGINEER", and the license number "No. 43917". The seal is stamped in blue ink on a white background.

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DETAILS - 2
SCHOOL - BEVERLY HILLS

31655 SOUTHFIELD ROAD
J, R10E, SE 1/4, SECTION 2, VILLAGE OF BEVERLY HILLS, OAKLAND COUNTY, MI

Project No. 2021-008

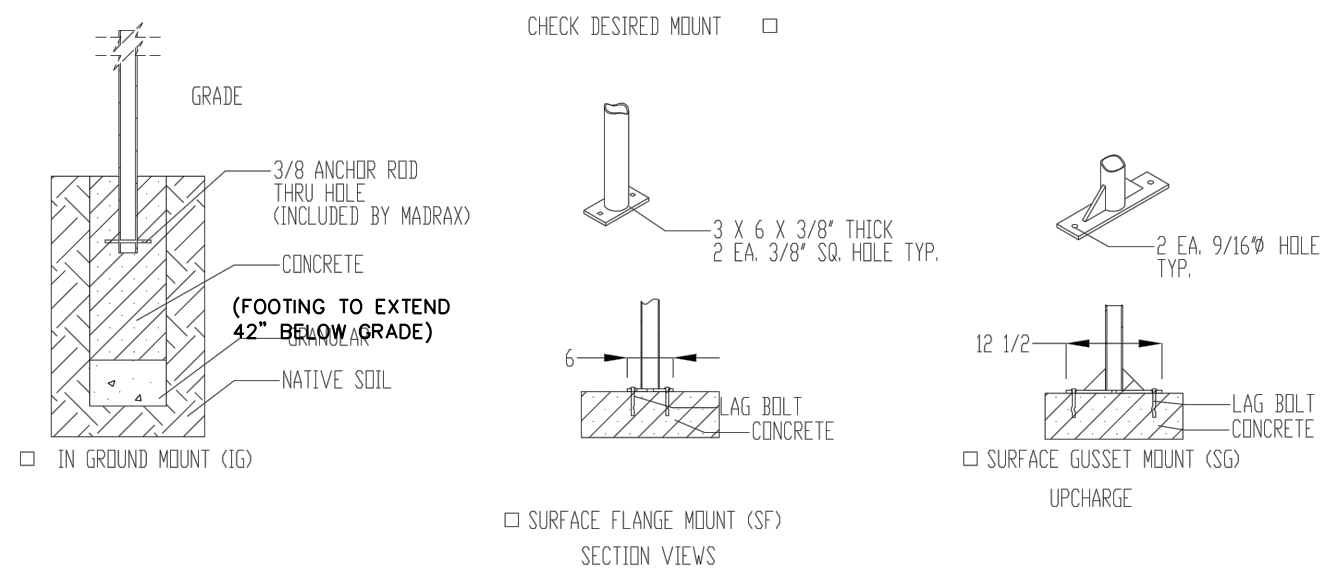
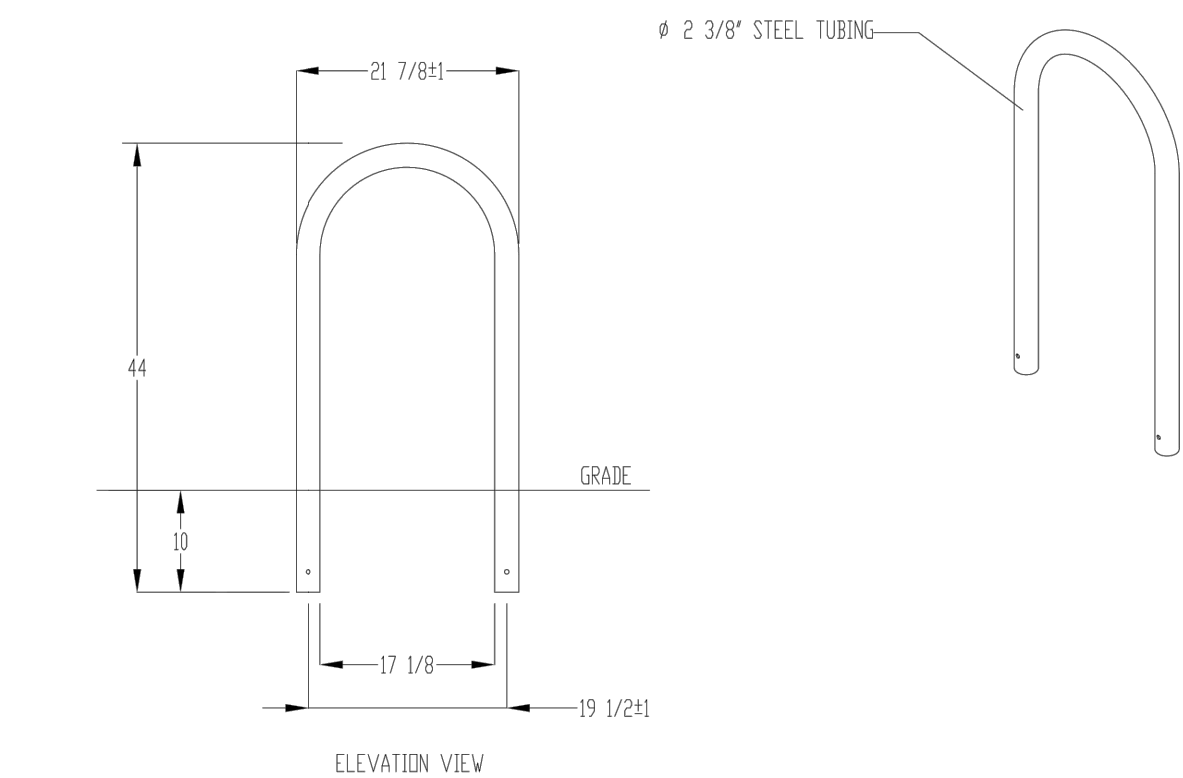
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GRABER MANUFACTURING, INC.
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WADSWORTH, WI 53091
P(800) 448-7931, P(608) 849-1000, F(608) 849-1001
WWW.MADRAX.COM, E-MAIL: SALES@MADRAX.COM



PRODUCT: U238-16(SF,SG)
DESCRIPTION: "U" BIKE RACK
DATE: 8-8-14
ENG: SMC

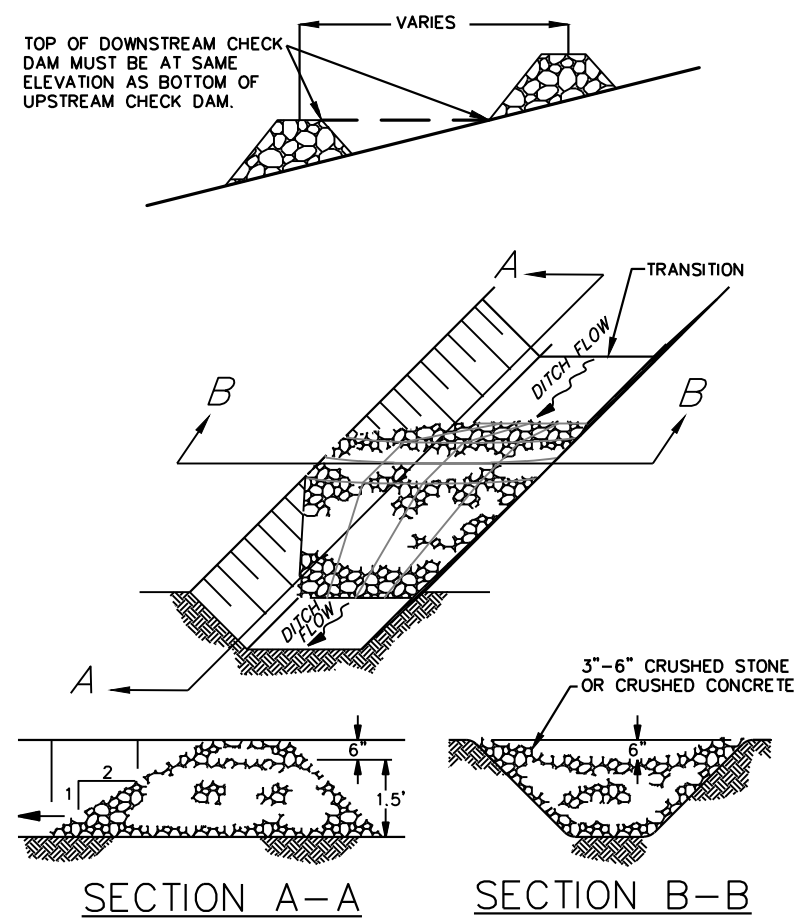
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BIKE RACK DETAIL

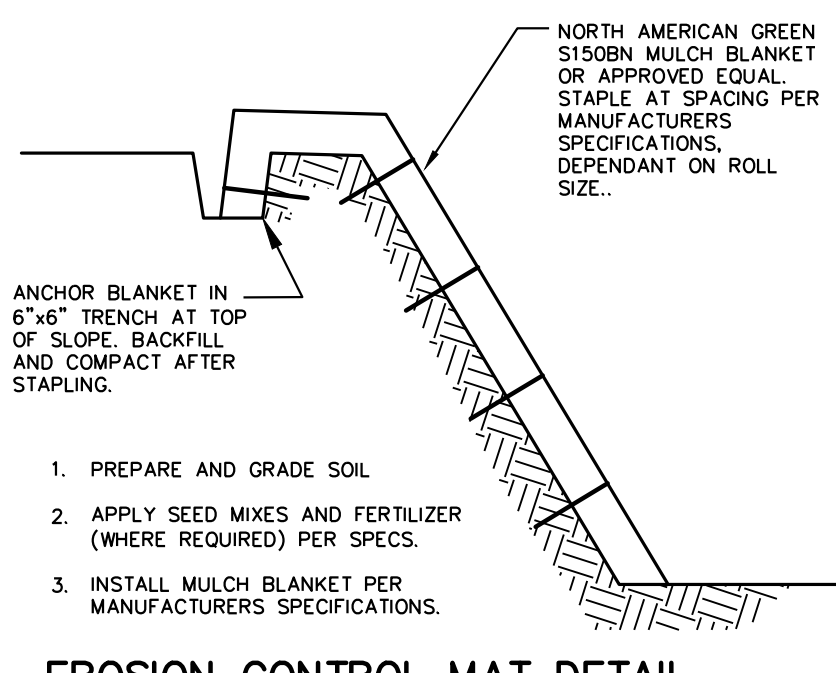
NOT TO SCALE

- NOTES:
1. INSTALL BIKE RACKS ACCORDING TO MANUFACTURER'S SPECIFICATIONS.
 2. CONSULTANT TO SELECT COLOR/PINISH, SEE MANUFACTURER'S SPECIFICATIONS.
 3. SEE SITE PLAN FOR LOCATION OR CONSULT OWNER.



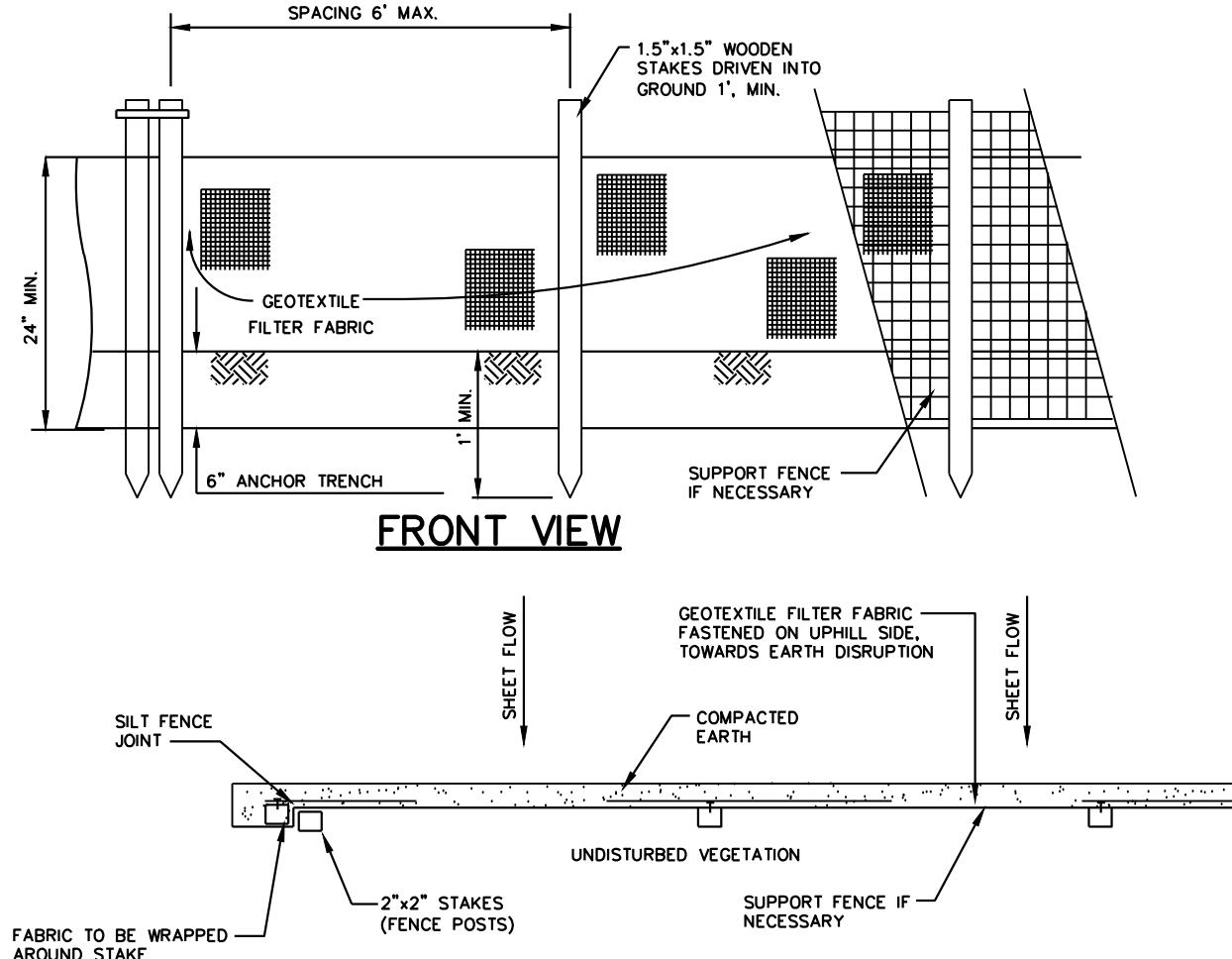
TEMPORARY STONE CHECK DAM DETAIL

(TO BE USED WHERE SHOWN ON PLAN)



EROSION CONTROL MAT DETAIL

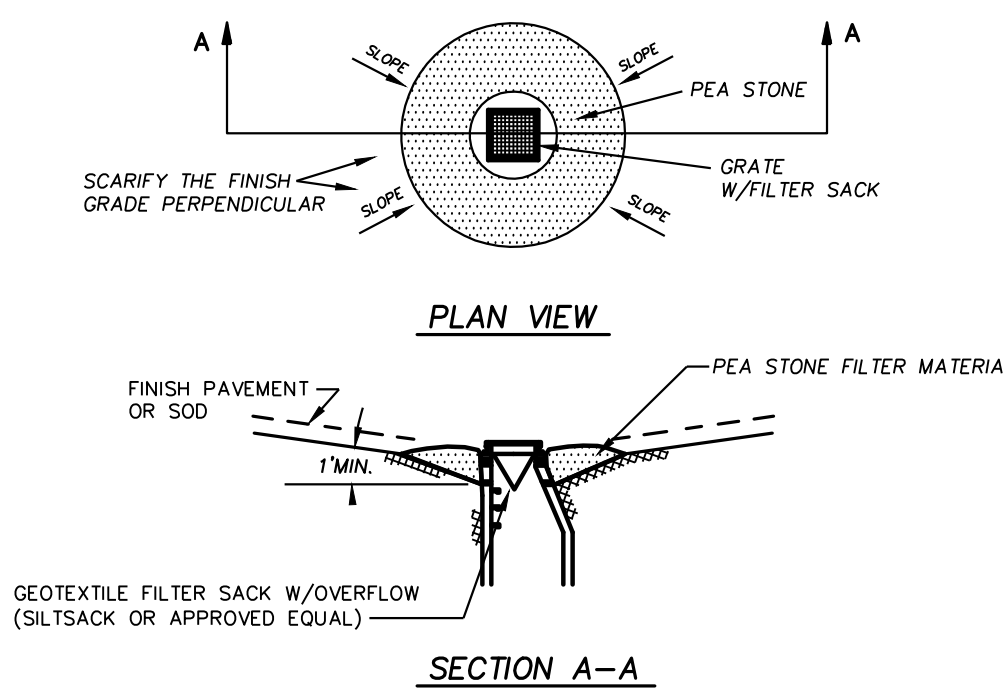
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PLAN VIEW

SILT FENCE DETAIL

NOT TO SCALE



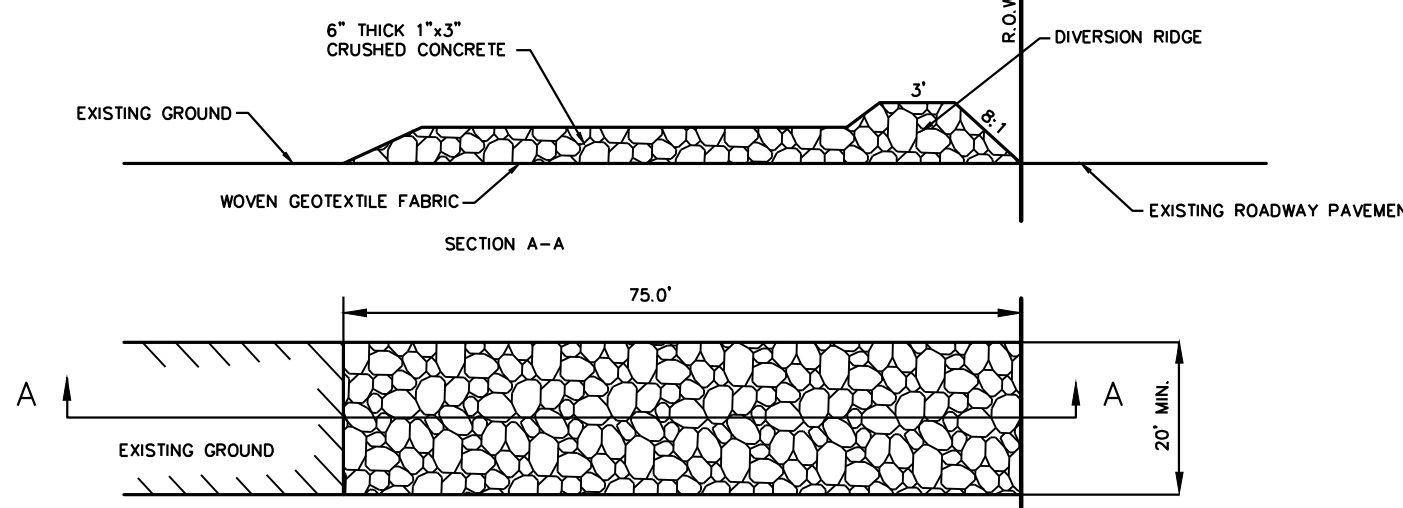
LOW POINT INLET FILTER SACK

FOR SOIL EROSION & SEDIMENTATION CONTROL

NOT TO SCALE

MAINTENANCE NOTES:

1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT PACKING OR FLOWING OF SEDIMENTS ONTO THE RIGHT-OF-WAY. THIS MAY REQUIRE CLEANING, TOP DRESSING, REPAIR, ETC. WHEN NECESSARY WHEELS SHALL BE CLEANED BEFORE ENTERING ONTO ROAD RIGHT-OF-WAY (ROW). WASHING SHALL BE DONE IN AN AREA THAT DRAINS INTO AN APPROVED SEDIMENT TRAP/BASIN.
2. WHERE ACCESS TO THE CONSTRUCTION SITE IS LIMITED IN LENGTH (AS IN URBAN AREAS), DAILY STREET SWEEPING MAY BE NEEDED TO KEEP SOILS TRACKED ONTO ROADS FROM REACHING THE STREET SEWER SYSTEM AND FACILITIES.
3. MAINTENANCE MAY INCLUDE ADDING EXTRA LAYERS OF STONE OR BITUMINOUS WHEN THE ORIGINAL LAYERS BECOME COVERED WITH MUD OR PARTIALLY DETEIORATED. AFTER EACH STORM EVENT, THE ROADS SHALL BE INSPECTED AND ALL DEBRIS AND SEDIMENTS DROPPED OR ERODED ONTO ROADS SHALL BE REMOVED IMMEDIATELY BY SWEEPING EFFECTIVELY.
4. TEMPORARY ACCESS, IF NOT CONSTRUCTED WITHIN PROPOSED DRIVE APPROACH, SHALL BE REMOVED AND ROW RESTORED UPON PROJECT COMPLETION OR AS SPECIFIED ON THE PLAN OR PERMIT.



TEMPORARY CONSTRUCTION ACCESS DETAIL

NOT TO SCALE

NOT TO BE USED AS CONSTRUCTION DRAWINGS



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DES.	TSS	DN	TSS	SUR.	TSS	P.M.	TSS		
8, 15, 20, 2021, PROJECTS 2021-2021-008, GODDARD SCHOOL - BEVERLY HILLS WASTE PLANT - 3, 3, 3, 3, 3, 3, 3, 3, 3, 3									

ORIGINAL ISSUE DATE:
7/9/2021

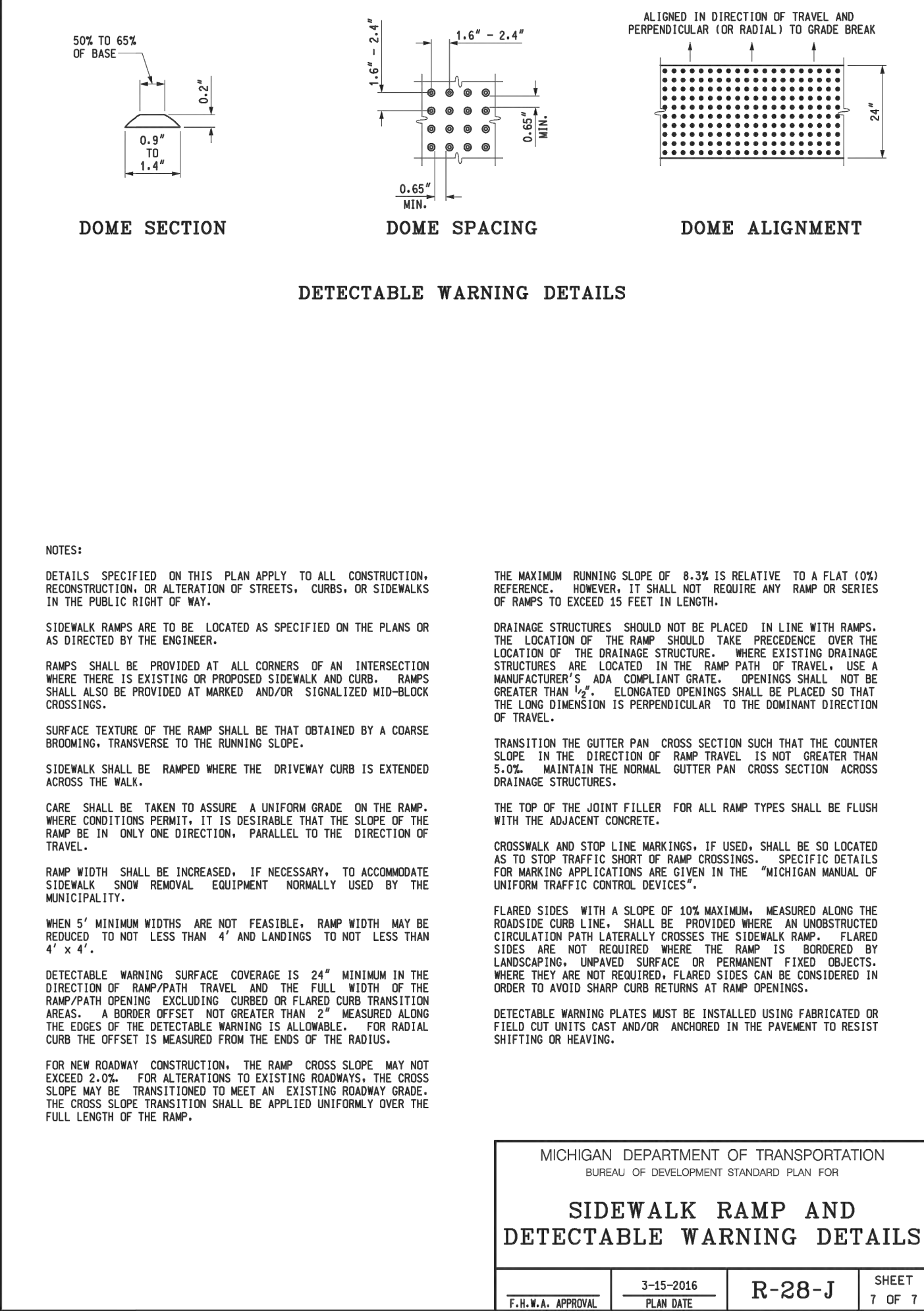
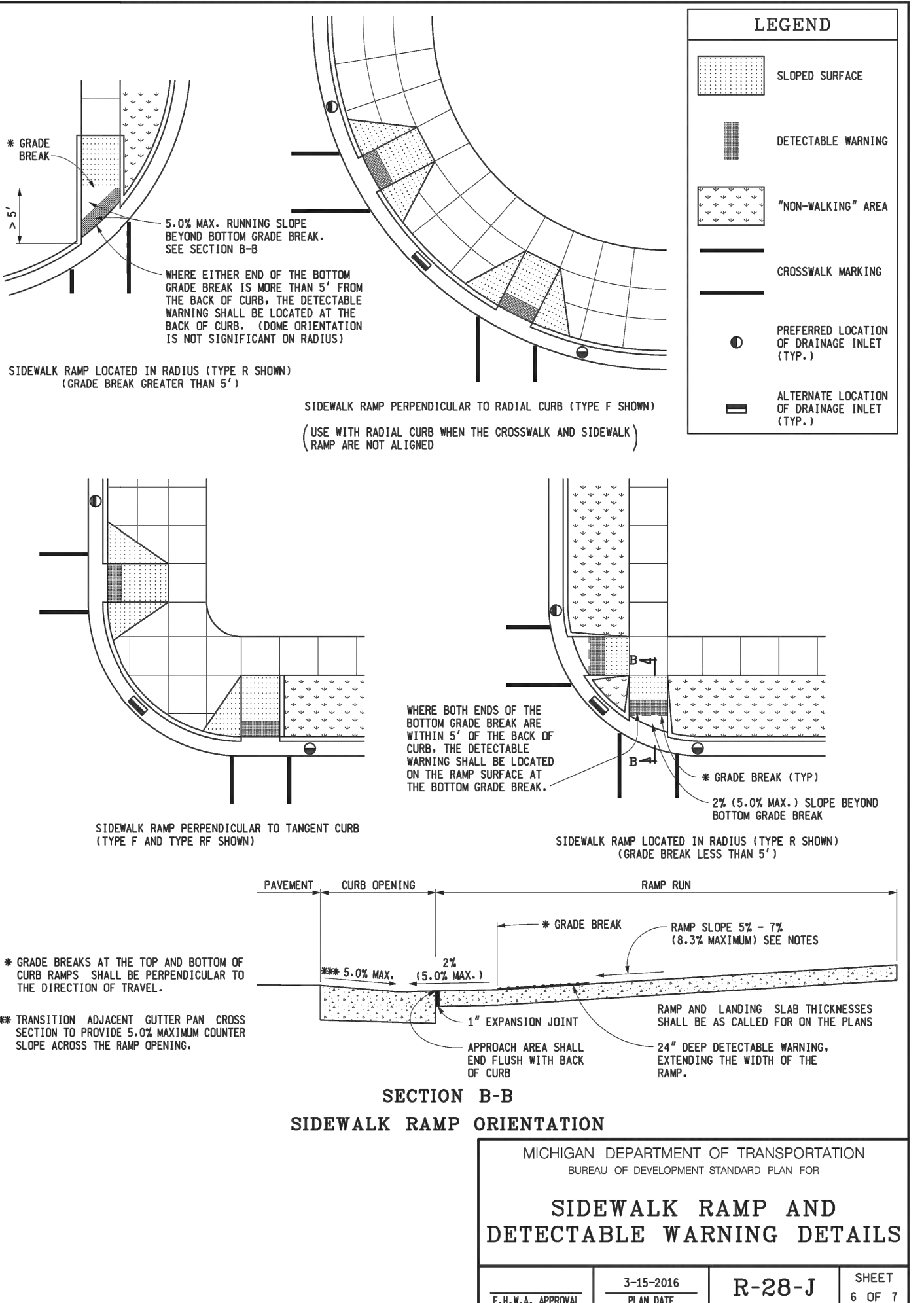
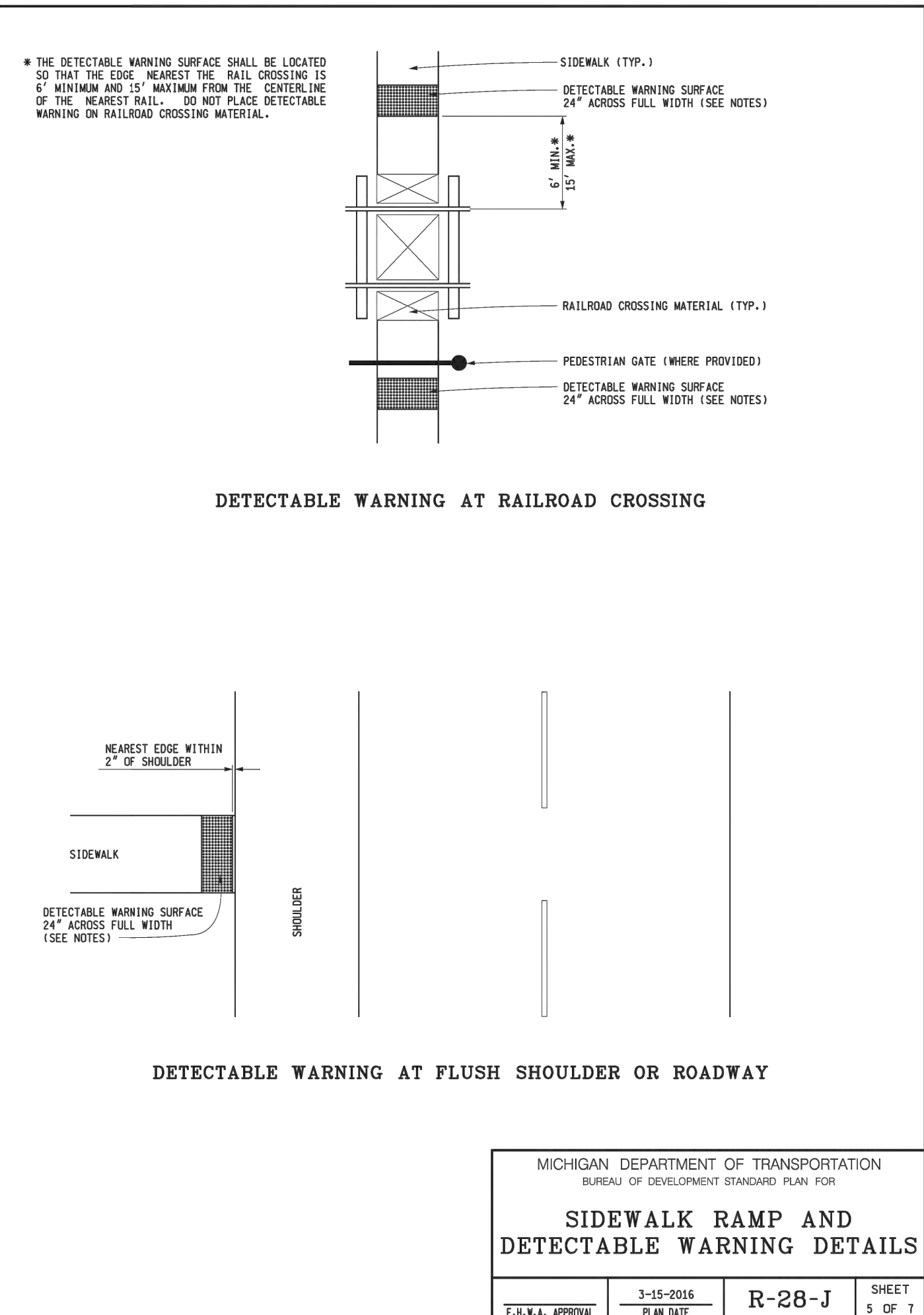
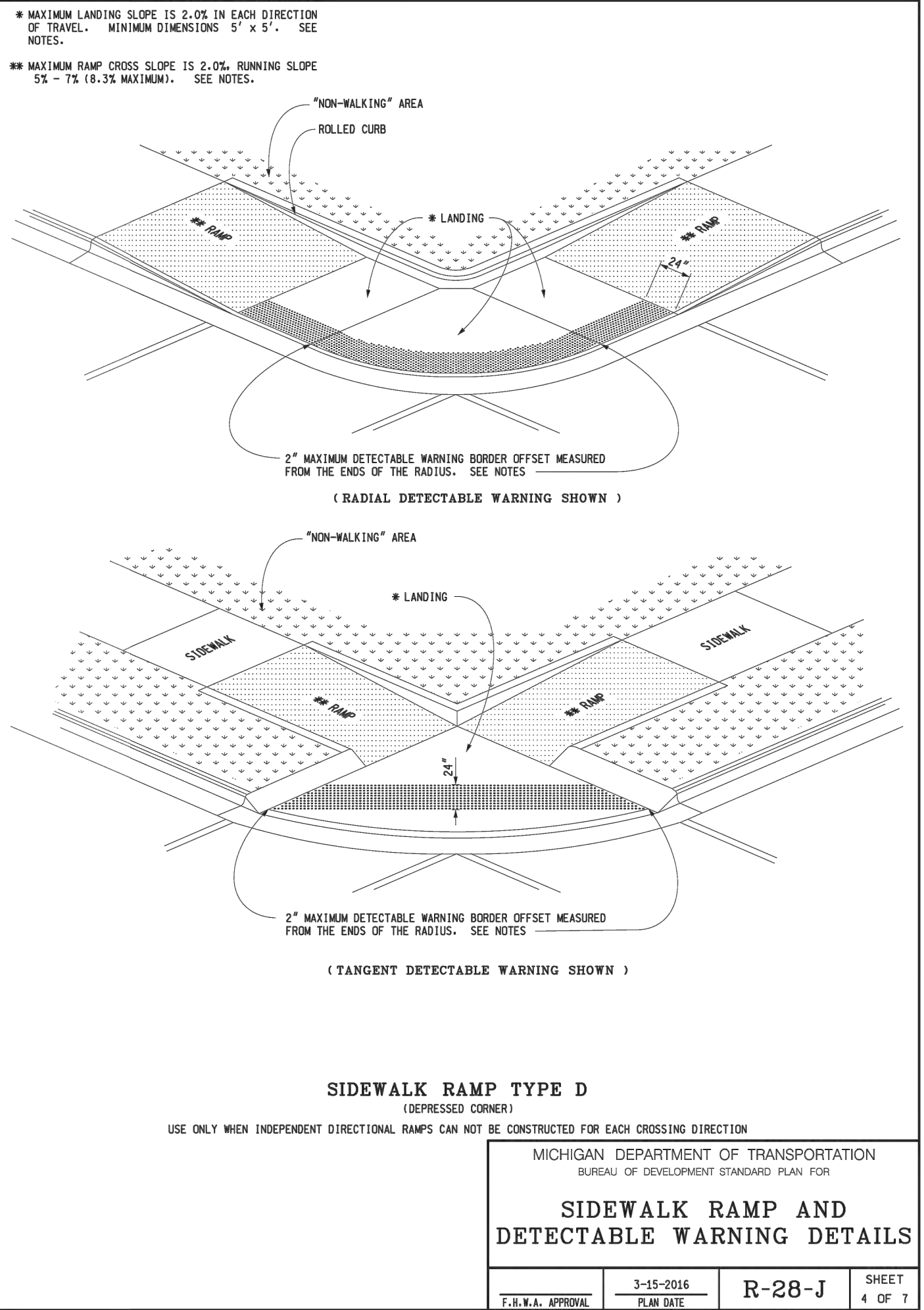
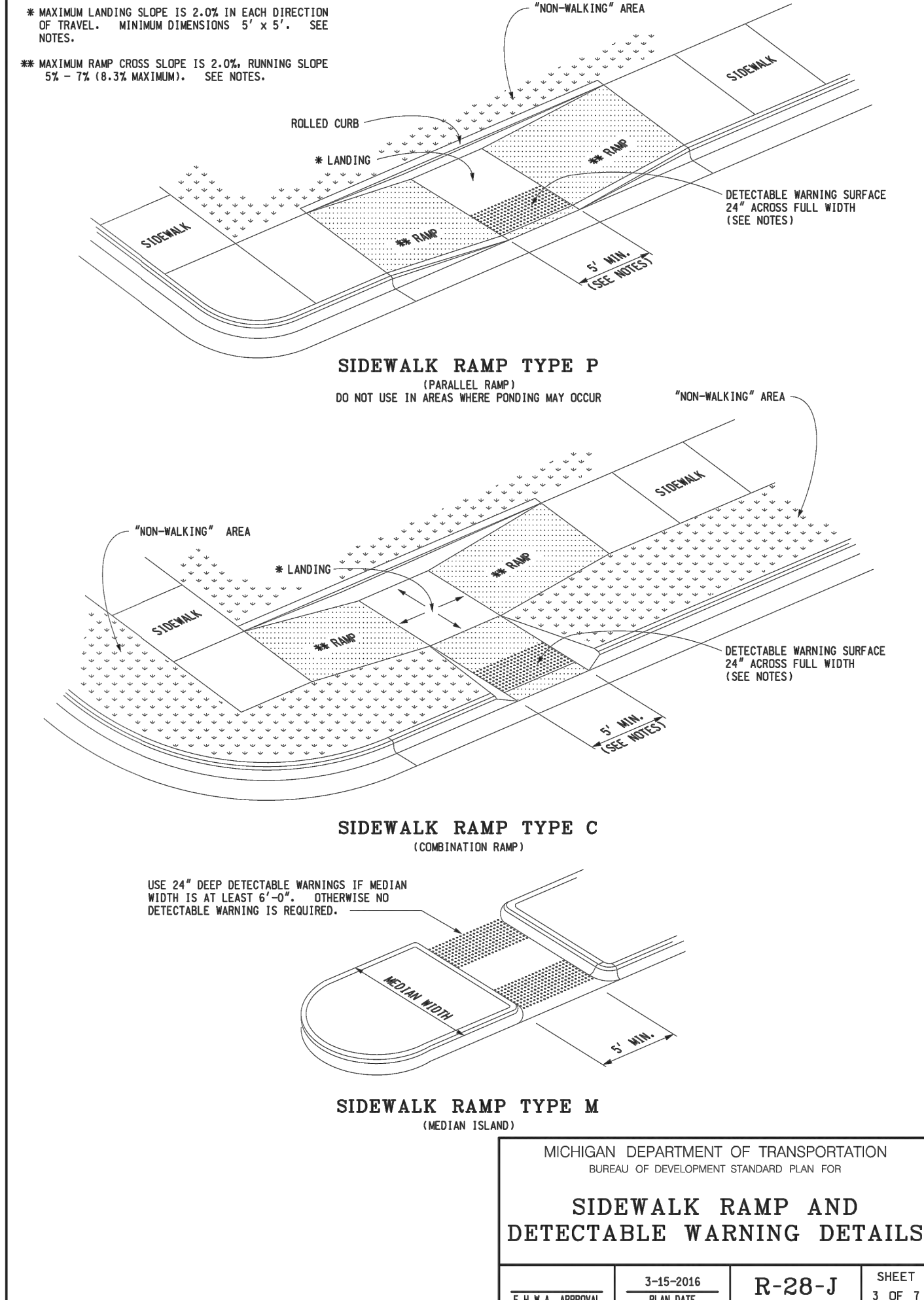
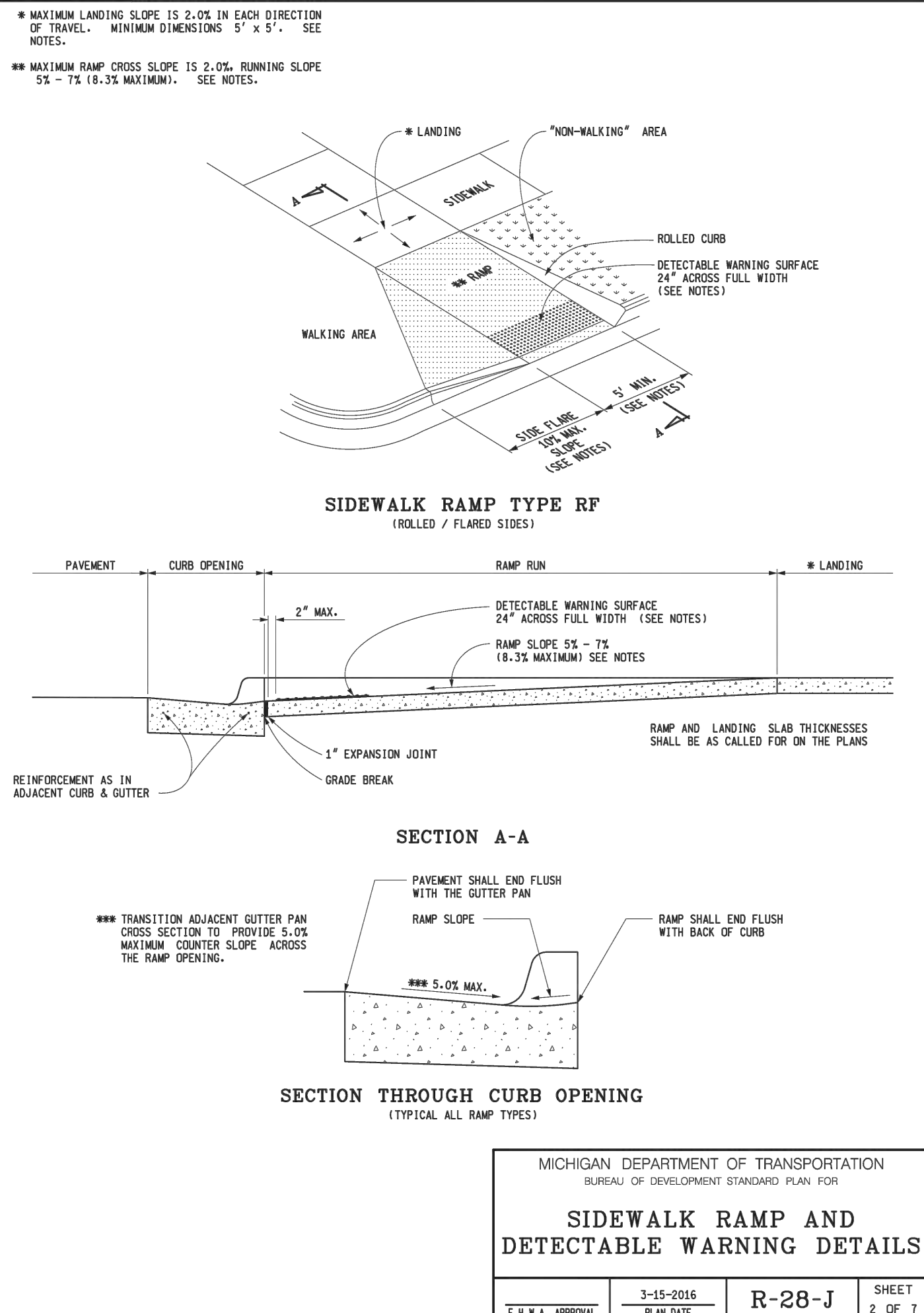
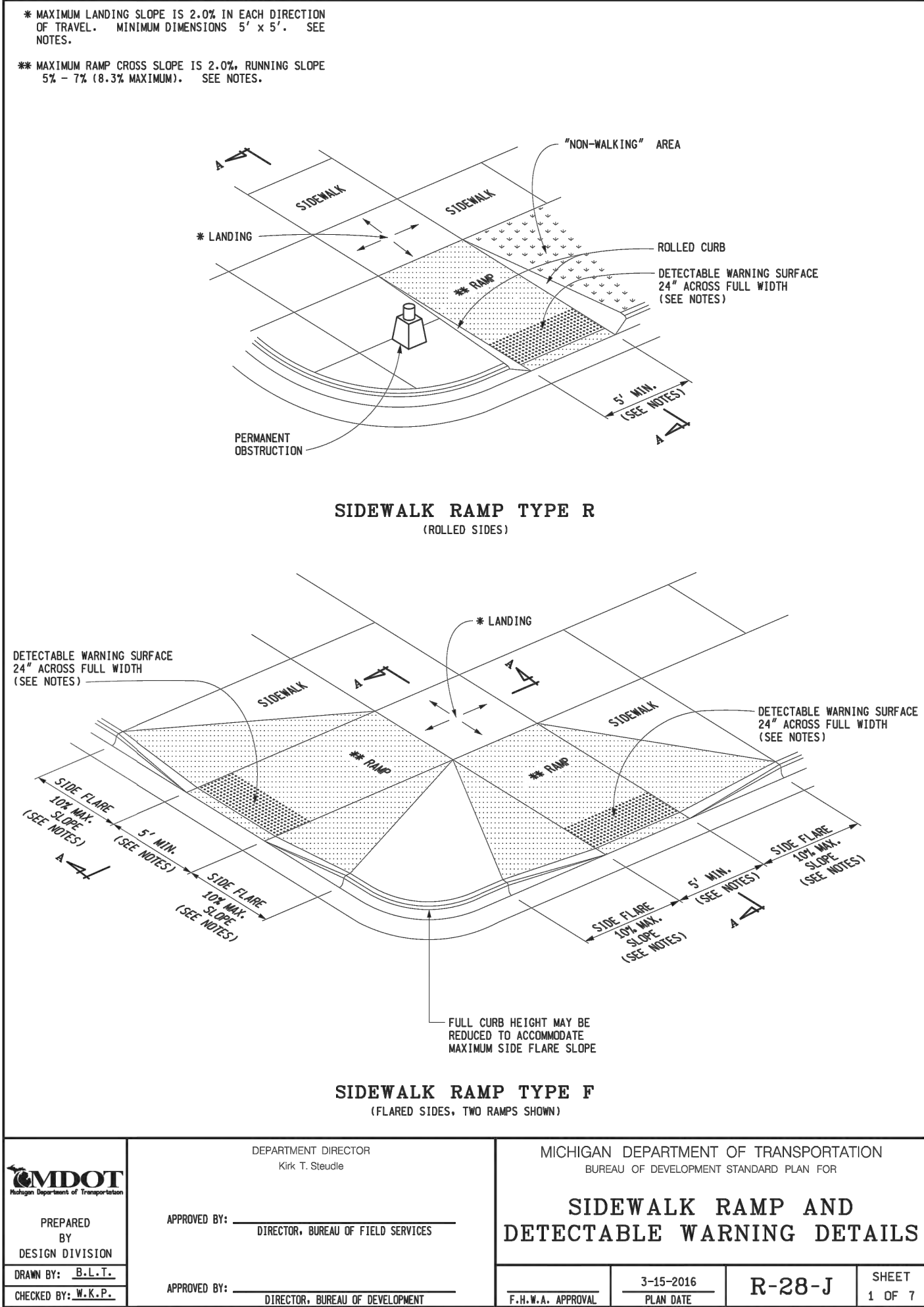
Project No. 2021-008

SCALE: 1" = 30'

DRAWING NUMBER:

C-6.3

REVISIONS									
3	8-12-21	TSS	REVISE SITE PLANS PER VILLAGE REVIEW COMMENTS						
2	7-19-21	TSS	EMPLOYEE PARKING NOTES ADDED						
1	7-9-21	TSS	ACCIDENT SUBMISSION						
NO.	DATE	BY	DESCRIPTION						



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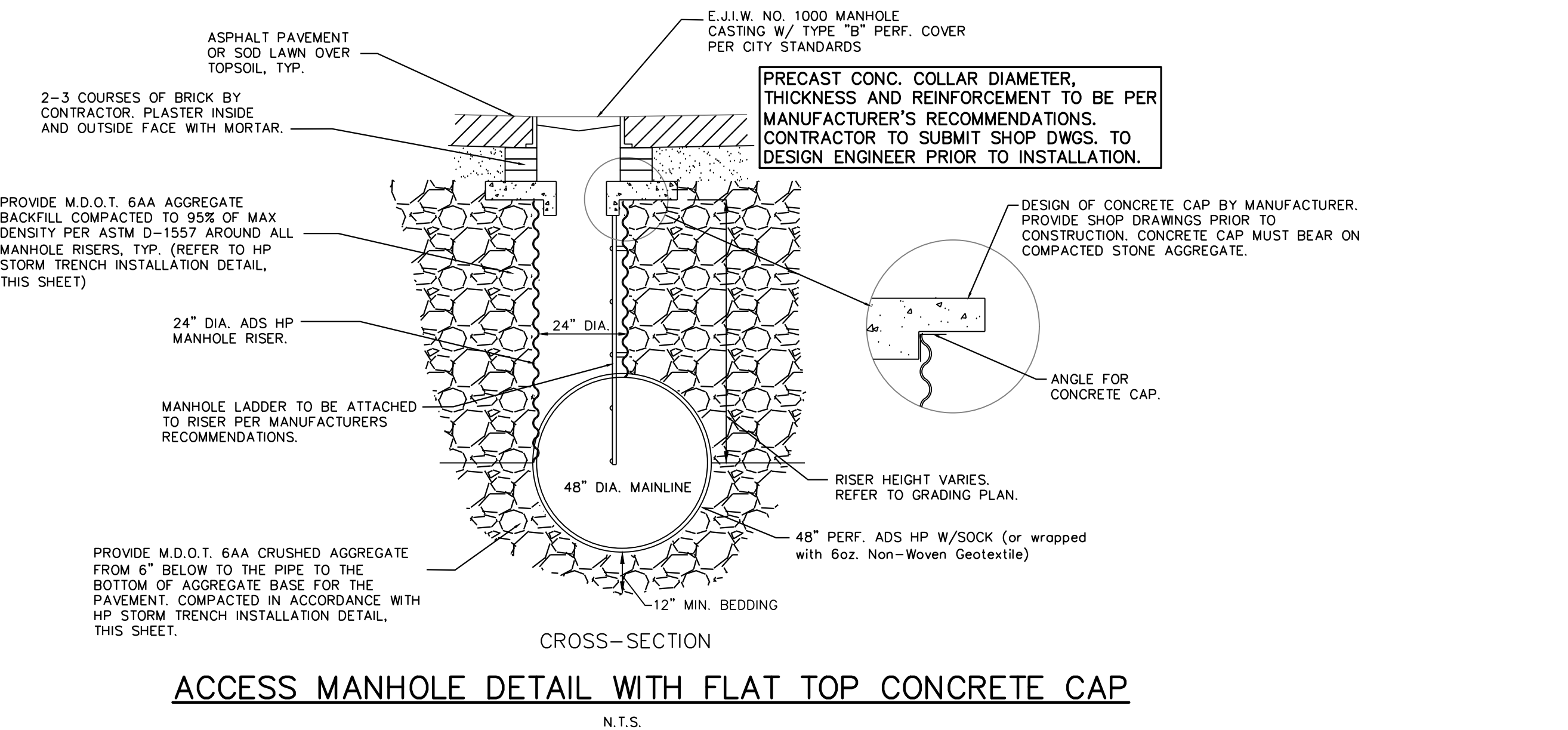
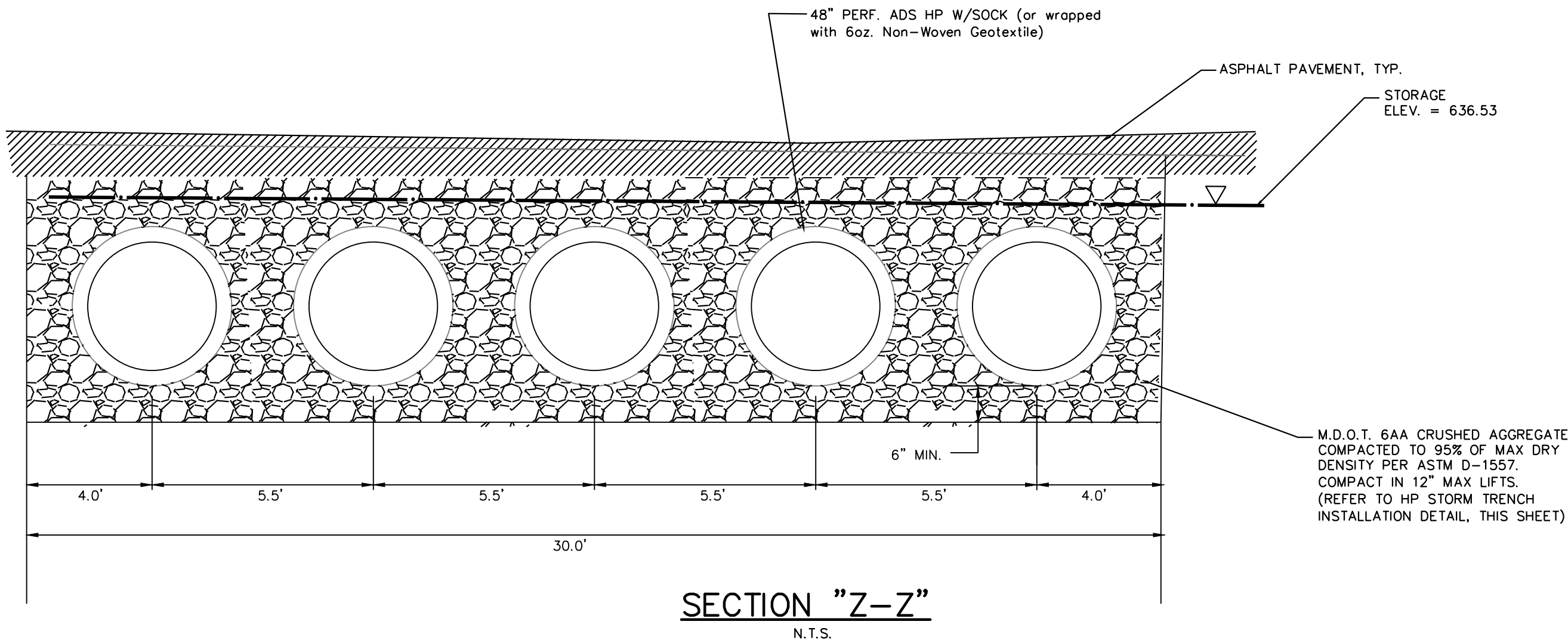
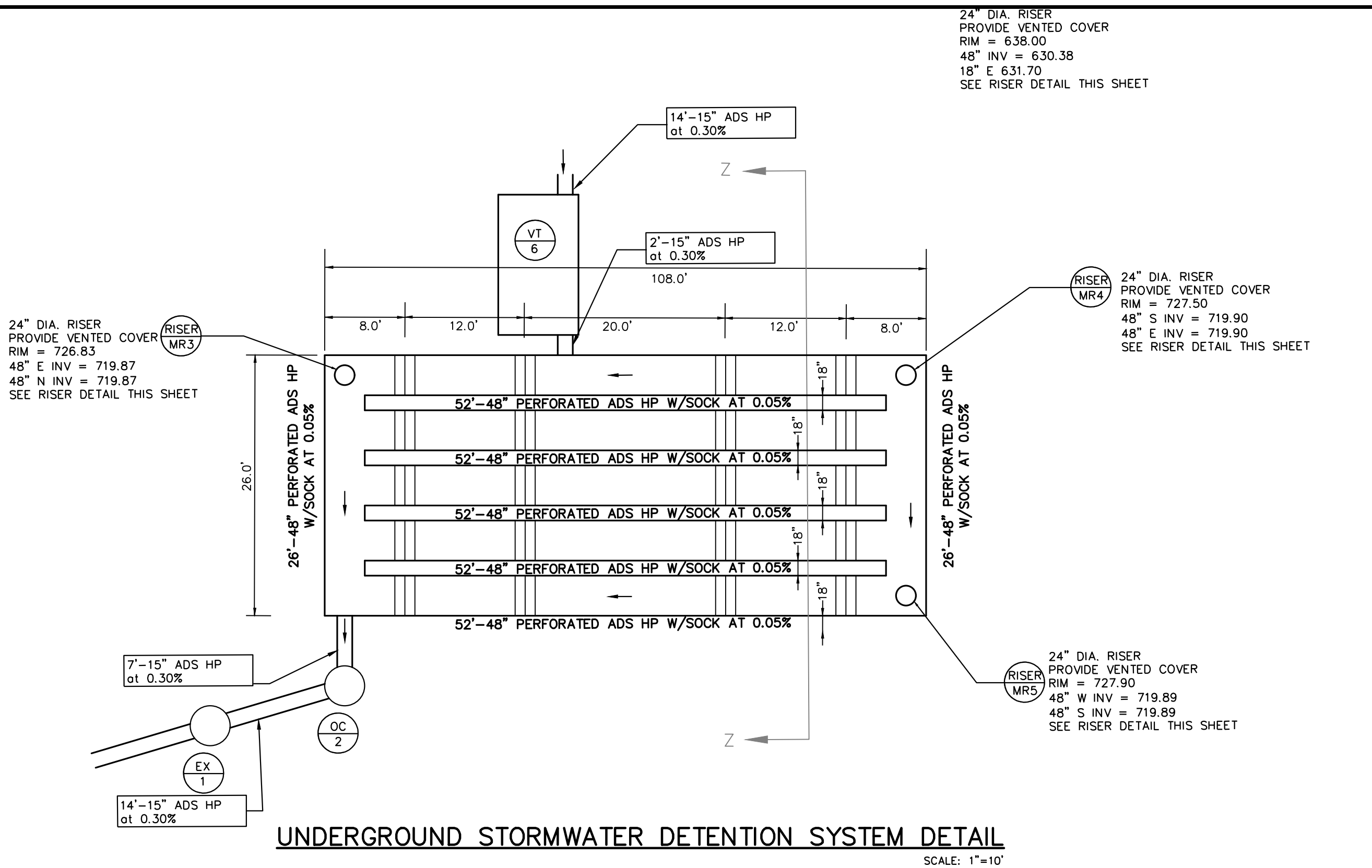
ORIGINAL ISSUE DATE:
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Project No. 2021-008

SCALE: 1" = 30'

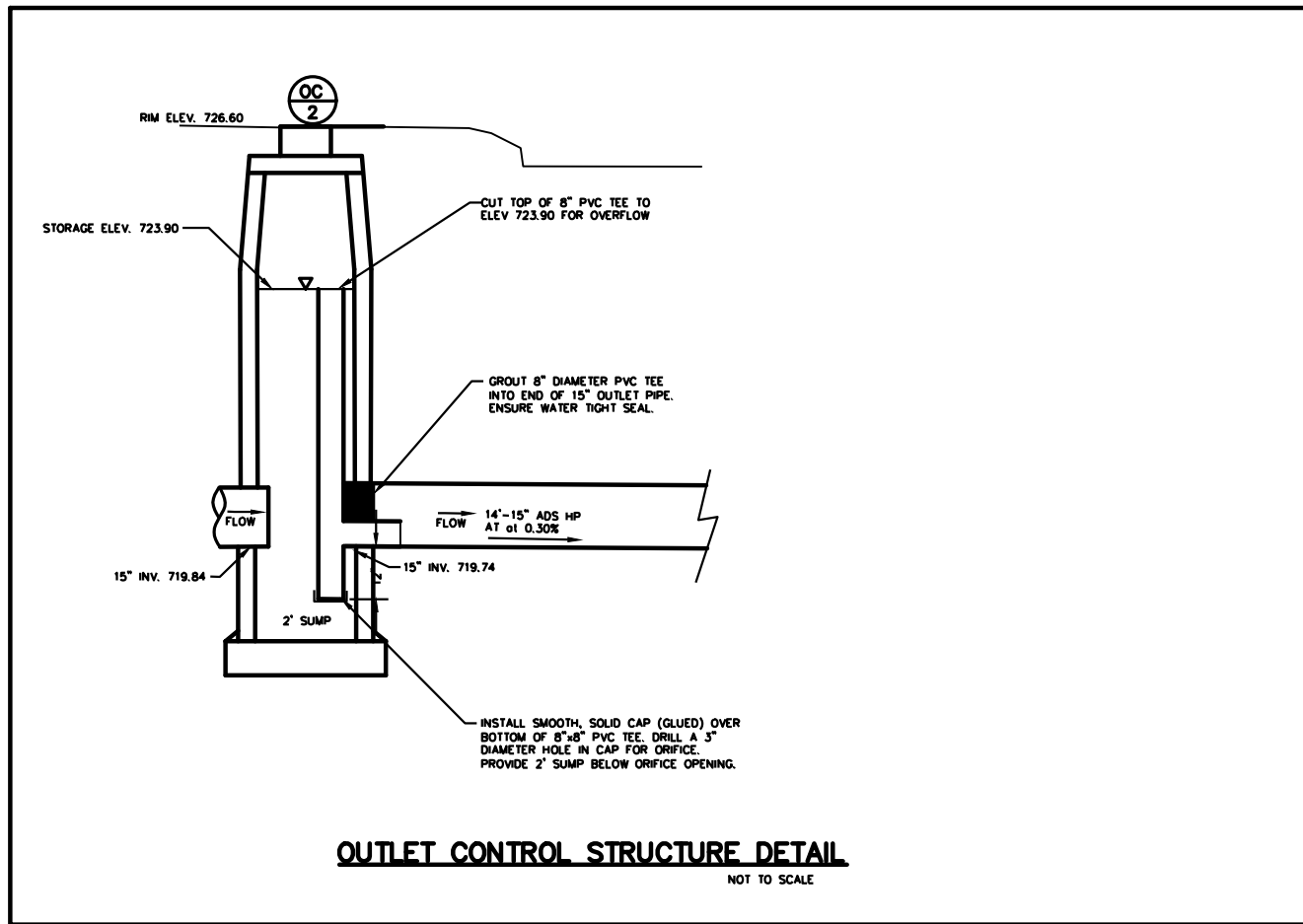
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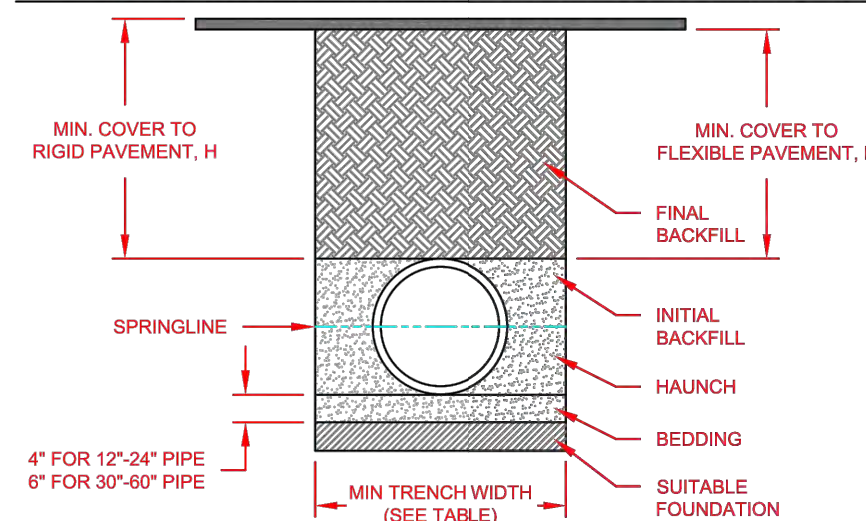


STORM STRUCTURE TABLE

EX 1	EX. RIM 728.43 (ADJUST TO 727.80) EX. 15\" N 719.70 EX. 12\" W 720.26 EX. 18\" SE 719.63
OC 2	4\" DIA W/2\" SUMP EJW #5105 WITH TYPE M1 FLAT GRATE RIM 726.60 PR. 15\" SE 719.74 W/3\" ORIFICE & OVERFLOW OPENING AT 723.90 PR. 15\" W 719.84 REFER TO DETAIL ON SHEET C-6.5
MR 3	MH RISER TEE RIM 726.83 PR. 48\" N+E 719.87
MR 4	MH RISER TEE RIM 727.50 PR. 48\" S+E 719.90
MR 5	MH RISER TEE RIM 727.90 PR. 48\" W+S 719.89
VT 6	MODEL 4000 VORTECH EAST RIM 727.45 MIDDLE RIM 727.55 WEST RIM 727.55 REFER TO DETAIL ON SHEET C-6.2 PR 15\" E 719.89 PR 15\" W 719.99



HP STORM TRENCH INSTALLATION DETAIL



NOTES:

1. ALL PIPE SYSTEMS SHALL BE INSTALLED IN ACCORDANCE WITH ASTM D2321, "STANDARD PRACTICE FOR UNDERGROUND INSTALLATION OF THERMOPLASTIC PIPE FOR SEWERS AND OTHER GRAVITY FLOW APPLICATIONS". LATEST EDITION, WITH THE EXCEPTION THAT THE INITIAL BACKFILL MAY EXTEND TO THE CROWN OF THE PIPE. SOIL CLASSIFICATIONS ARE PER THE LATEST VERSION OF ASTM D2321. CLASS IV MATERIALS (MH, CH) AS DEFINED IN PREVIOUS VERSIONS OF ASTM D2321 ARE NOT APPROPRIATE BACKFILL MATERIALS.
2. MEASURES SHOULD BE TAKEN TO PREVENT MIGRATION OF NATIVE FINES INTO BACKFILL MATERIAL, WHEN REQUIRED.
3. FOUNDATION: WHERE THE TRENCH BOTTOM IS UNSTABLE, THE CONTRACTOR SHALL EXCAVATE TO A DEPTH REQUIRED BY THE ENGINEER AND REPLACE WITH SUITABLE MATERIAL, AS SPECIFIED BY THE ENGINEER, AS AN ALTERNATIVE AND AT THE DISCRETION OF THE DESIGN ENGINEER, THE TRENCH BOTTOM MAY BE STABILIZED USING A GEOTEXTILE MATERIAL.
4. BEDDING: SUITABLE MATERIAL SHALL BE CLASS I, II, III, OR IV, THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER. COMPACTION SHALL BE SPECIFIED BY THE ENGINEER IN ACCORDANCE WITH TABLE 3 FOR THE APPLICABLE FILL HEIGHTS LISTED. UNLESS OTHERWISE NOTED BY THE ENGINEER, MINIMUM BEDDING THICKNESS SHALL BE 4\" (100mm) FOR 12\"-24\" (300mm-600mm) DIAMETER PIPE; 6\" (150mm) FOR 30\"-60\" (750mm-1500mm) DIAMETER PIPE. THE MIDDLE 1/3 BENEATH THE PIPE INVERT SHALL BE LOOSELY PLACED. PLEASE NOTE, CLASS IV MATERIAL HAS LIMITED APPLICATION AND CAN BE DIFFICULT TO PLACE AND COMPACT; USE ONLY WITH THE APPROVAL OF A SOIL EXPERT.
5. INITIAL BACKFILL: SUITABLE MATERIAL SHALL BE CLASS I, II, III, OR IV IN THE PIPE ZONE EXTENDING TO THE CROWN OF THE PIPE. THE CONTRACTOR SHALL PROVIDE DOCUMENTATION FOR MATERIAL SPECIFICATION TO ENGINEER. MATERIAL SHALL BE INSTALLED AS REQUIRED IN ASTM D2321, LATEST EDITION. COMPACTION SHALL BE SPECIFIED BY THE ENGINEER. MATERIAL HAS LIMITED APPLICATION AND CAN BE DIFFICULT TO PLACE AND COMPACT; USE ONLY WITH THE APPROVAL OF A SOIL EXPERT.
6. MINIMUM COVER: MINIMUM COVER, H, IN NON-TRAFFIC APPLICATIONS (GRASS OR LANDSCAPE AREAS) IS 12\" (300mm) FROM THE TOP OF PIPE TO GROUND SURFACE. ADDITIONAL COVER MAY BE REQUIRED TO PREVENT FLOTATION. FOR TRAFFIC APPLICATIONS, CLASS I OR II MATERIAL, COMPACTED TO 90% SPD AND CLASS III COMPACTED TO 80% SPD IS REQUIRED. FOR TRAFFIC APPLICATIONS, MINIMUM COVER, H, IS 12\" (300mm) UP TO 48\" (1200mm) DIAMETER PIPE AND 24\" (600mm) OF COVER FOR 60\" (1500mm) DIAMETER PIPE, MEASURED FROM TOP OF PIPE TO BOTTOM OF FLEXIBLE PAVEMENT OR TO TOP OF RIGID PAVEMENT.
7. FOR ADDITIONAL INFORMATION SEE TECHNICAL NOTE 2.04.

TABLE 1. RECOMMENDED MINIMUM TRENCH WIDTHS

PIPE DIAM. WIDTH	MIN. TRENCH WIDTH
12\" (300mm)	30\" (762mm)
15\" (375mm)	34\" (864mm)
18\" (450mm)	38\" (965mm)
24\" (600mm)	48\" (1219mm)
30\" (750mm)	60\" (1524mm)
36\" (900mm)	72\" (1829mm)
42\" (1050mm)	84\" (2134mm)
48\" (1200mm)	96\" (2438mm)
60\" (1500mm)	120\" (3048mm)

TABLE 2. MINIMUM RECOMMENDED COVER BASED ON VEHICLE LOADING CONDITIONS

PIPE DIAM.	SURFACE LIVE LOADING CONDITION (75\" AXLE LOAD)	
	H-25	HEAVY CONSTRUCTION (75\" AXLE LOAD)
12\" - 48\" (300mm - 1200mm)	24\" (300mm)	48\" (1219mm)
60\" (1500mm)	60\" (1524mm)	60\" (1524mm)

TABLE 3. MAXIMUM COVER FOR ADS HP STORM PIPE, ft

TABLE 3. MAXIMUM COVER FOR ADS HP STORM PIPE, IN.								
CLASS I		CLASS II		CLASS III		CLASS IV		
PIPE DIA. (in.)	COMPLETED	95%	90%	65%	95%	90%	90%	
12 (300mm)	41 (12.5m)	28 (8.5m)	21 (6.4m)	16 (4.9m)	20 (6.1m)	16 (4.9m)	16 (4.9m)	
15 (375mm)	42 (12.8m)	29 (8.8m)	21 (6.4m)	16 (4.9m)	21 (6.4m)	16 (4.9m)	16 (4.9m)	
18 (450mm)	44 (13.4m)	30 (9.1m)	21 (6.4m)	16 (4.9m)	21 (6.4m)	16 (4.9m)	16 (4.9m)	
24 (600mm)	37 (11.3m)	26 (7.9m)	18 (5.5m)	14 (4.3m)	18 (5.5m)	14 (4.3m)	14 (4.3m)	
30 (750mm)	36 (11.3m)	27 (8.2m)	18 (5.5m)	14 (4.3m)	19 (5.8m)	14 (4.3m)	14 (4.3m)	
36 (900mm)	28 (8.5m)	20 (6.1m)	14 (4.3m)	10 (3.0m)	14 (4.3m)	11 (3.4m)	10 (3.0m)	
42 (1050mm)	30 (9.1m)	21 (6.4m)	14 (4.3m)	10 (3.0m)	15 (4.6m)	11 (3.4m)	10 (3.0m)	
48 (1200mm)	29 (8.8m)	20 (6.1m)	14 (4.3m)	10 (3.0m)	14 (4.3m)	11 (3.4m)	10 (3.0m)	
60 (1500mm)	29 (8.8m)	20 (6.1m)	14 (4.3m)	10 (3.0m)	14 (4.3m)	11 (3.4m)	10 (3.0m)	

FILL HEIGHT TABLE GENERATED USING AASHTO SECTION 12. LOAD RESISTANCE FACTOR DESIGN (LRFD) PROCEDURE WITH THE FOLLOWING ASSUMPTIONS:
NO HYDROSTATIC PRESSURE
UNIT WEIGHT OF SOIL (γ_s) = 120 PCF

REV	DESCRIPTION	BY	CHKD	DATE
1	REV. MAXIMUM COVER HEIGHTS	RWD	01/11/17	
2	DESCRIPTION	MM/DD/YY	CHKD	
3	TRENCH INSTALLATION DETAIL (HP STORM)			
4	DRAWING NUMBER: STD-101D			

NOTE: MDOT 6AA CRUSHED AGGREGATE MEETS CLASS 1 BACKFILL REQUIREMENTS AND MDOT 22A & MDOT CLASS II SAND MEETS CLASS 2 BACKFILL REQUIREMENTS.

NO.	DATE	BY	DESCRIPTION
1	7/19/21	TSS	REVISIONS
2	7/19/21	TSS	REVISIONS
3	8/1/21	TSS	REVISIONS



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THE GODDARD SCHOOL - BEVERLY HILLS
31655 SOUTHFIELD ROAD
VILLAGE OF BEVERLY HILLS, OKLAND COUNTY, MI
TIN. RIVE SE 1/4, SECTION 2, TOWNSHIP 36 N, RANGE 14 E, MERIDIAN 83 W
DES: TSS DN: TSS SUR: TSS
DATE: 7/19/21
PROJECT: C62-008 GODDARD SCHOOL - BEVERLY HILLS DETENTION SYSTEM DETAILS

ORIGINAL ISSUE DATE:
7/19/2021

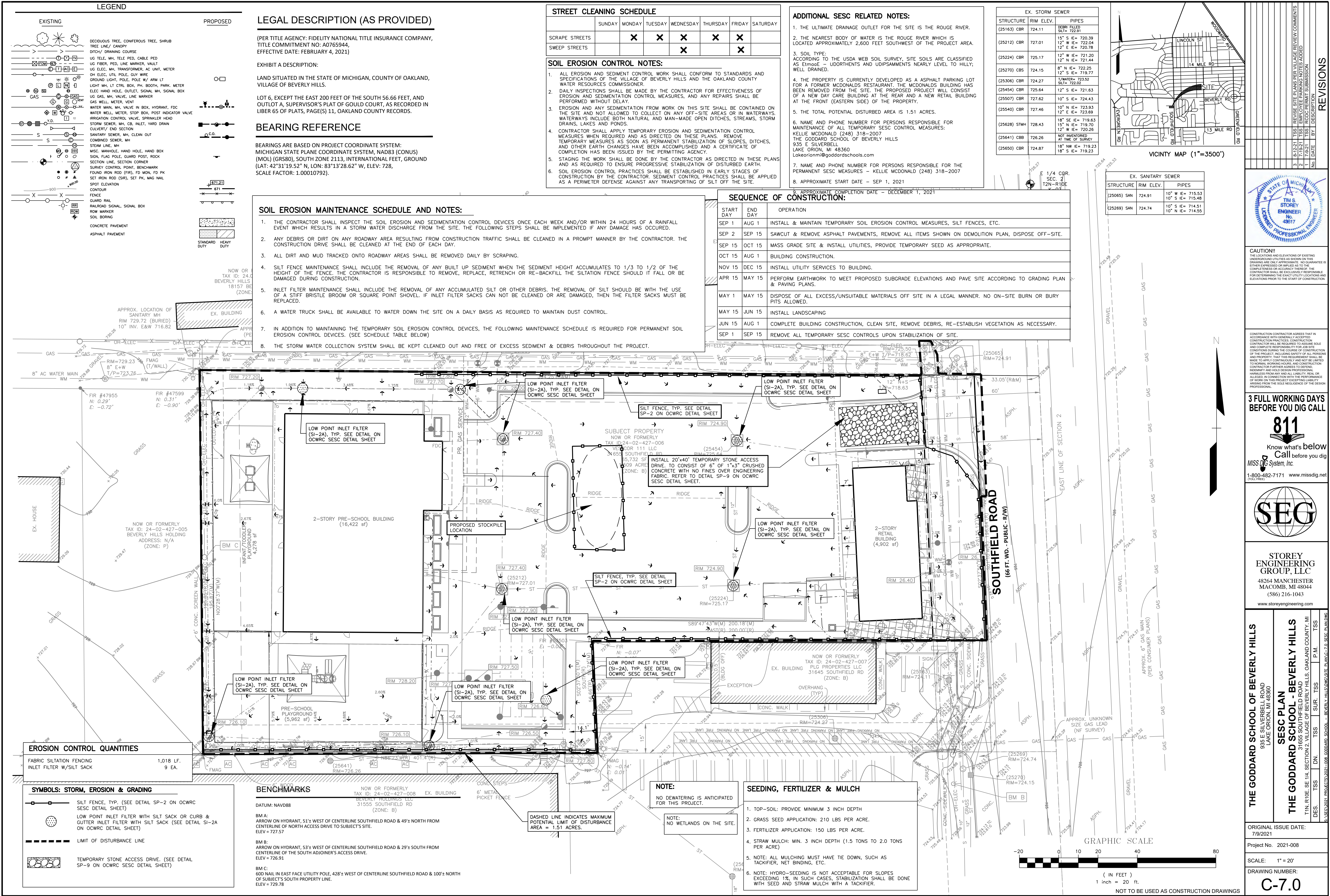
Project No. 2021-008

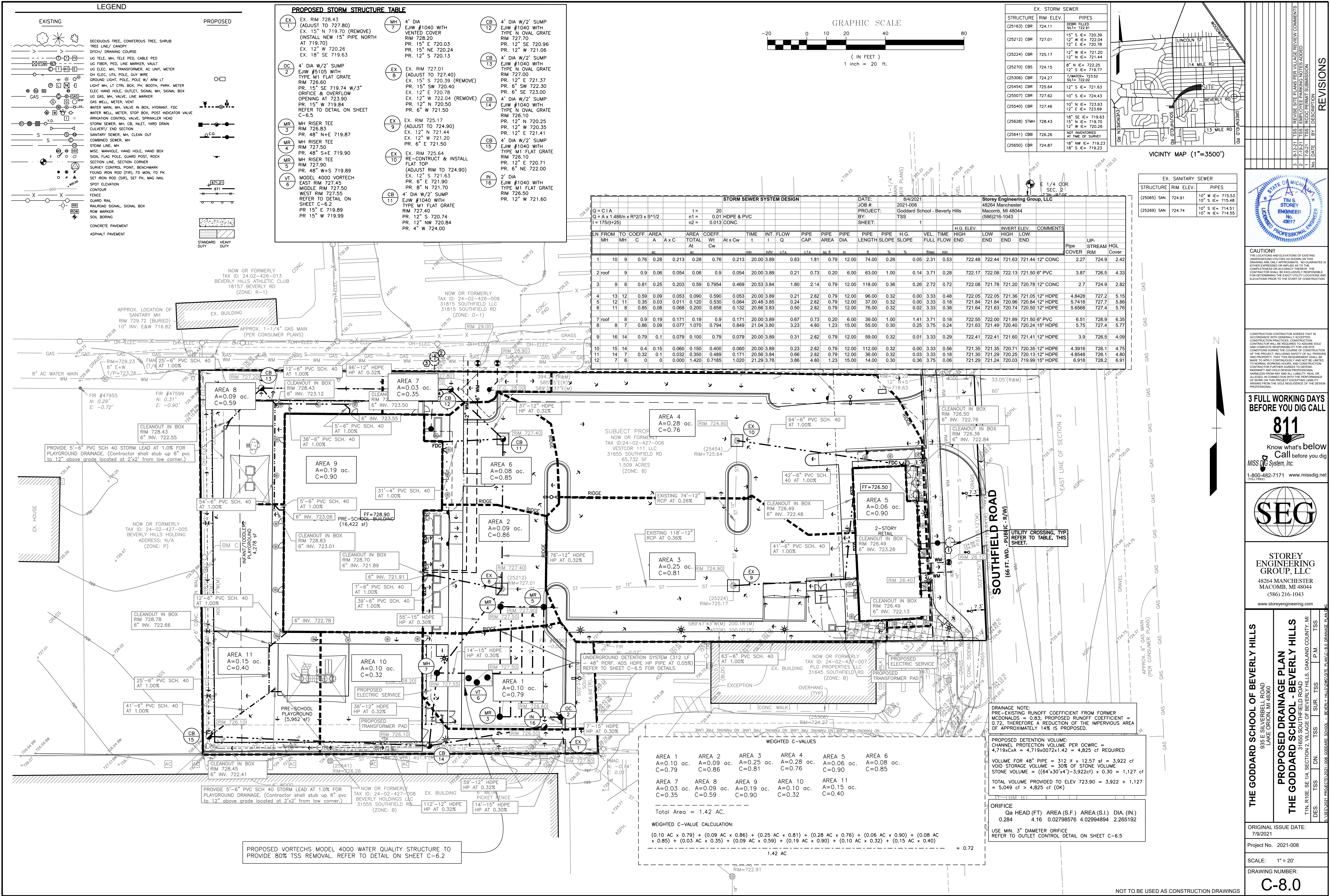
SCALE: (REFER TO DETAIL)

DRAWING NUMBER:

C-6.5

NOT TO BE USED AS CONSTRUCTION DRAWINGS





PROPOSED STORM STRUCTURE TABLE			
EX 1	EX. RIM 728.43 (ADJUST TO 727.80) EX. 15" N 719.70 (REMOVE) (INSTALL NEW 15" PIPE NORTH AT 719.70) EX. 12" W 720.26 EX. 18" SE 719.63	MH 7	EX. RIM 727.01 (ADJUST TO 727.40) EX. 15" S 720.39 (REMOVE) EX. 12" W 720.40 EX. 12" E 720.78 EX. 12" W 722.04 (REMOVE) PR. 12" S 720.13
OC 2	4" DIA W/2" SUMP EJW #5105 WITH TYPE M1 FLAT GRATE RIM 726.60 PR. 15" SE 719.74 W/3" ORIFICE & OVERFLOW OPENING AT 723.90 PR. 15" W 719.84 REFER TO DETAIL ON SHEET C-6.5	EX 8	EX. RIM 727.01 (ADJUST TO 727.40) EX. 15" S 720.39 (REMOVE) EX. 12" W 720.40 EX. 12" E 720.78 EX. 12" W 722.04 (REMOVE) PR. 12" S 720.50 PR. 6" W 721.50
MR 3	MH RISER TEE RIM 726.83 PR. 48" N+E 719.87	EX 9	EX. RIM 725.17 (ADJUST TO 724.90) EX. 12" S 721.44 EX. 12" W 721.20 PR. 6" E 721.50
MR 4	MH RISER TEE RIM 727.50 PR. 48" S+E 719.90	EX 10	EX. RIM 725.64 RE-CONSTRUCT & INSTALL FLAT TOP (ADJUST RIM TO 724.90) EX. 12" S 721.63 PR. 6" E 721.90 PR. 8" N 721.70
MR 5	MH RISER TEE RIM 727.90	CB 11	4" DIA W/2" SUMP EJW #1040 WITH TYPE M1 FLAT GRATE RIM 726.50 PR. 12" S 720.74 PR. 12" NW 720.84 PR. 4" W 724.00
VT 6	MODEL 4000 VORTECH EAST RIM 727.45 MIDDLE RIM 727.50 WEST RIM 727.55 REFER TO DETAIL ON SHEET C-6.2 PR. 15" E 719.89 PR. 15" W 719.99		

STORM SEWER SYSTEM DESIGN															DATE: 8/4/2021			JOB #: 2021-008			PROJECT: Goddard School - Beverly Hills			SHEET: 1			H.G. ELEV.			INVERT ELEV.			COMMENTS																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																						
Q = C I A Q = A x 1.486 n x R ^{2/3} x S ^{1/2} I = 175/(L+25)															t = 20 n1 = 0.01 HDPE & PVC n2 = 0.013 CONC.			BY: TSS			Macomb, MI 48044 (586)216-1043																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																		
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WEIGHTED C-VALUES										
AREA 1	AREA 2	AREA 3	AREA 4	AREA 5	AREA 6	AREA 7	AREA 8	AREA 9	AREA 10	AREA 11
A=0.10 ac.	A=0.09 ac.	A=0.25 ac.	A=0.28 ac.	A=0.06 ac.	A=0.08 ac.	A=0.03 ac.	A=0.09 ac.	A=0.19 ac.	A=0.10 ac.	A=0.15 ac.
C=0.79	C=0.86	C=0.81	C=0.76	C=0.90	C=0.85	C=0.35	C=0.59	C=0.90	C=0.32	C=0.40
Total Area = 1.42 AC.										
WEIGHTED C-VALUE CALCULATION:										
(0.10 ac x 0.79) + (0.09 ac x 0.86) + (0.25 ac x 0.81) + (0.28 ac x 0.76) + (0.06 ac x 0.90) + (0.08 ac x 0.85) + (0.03 ac x 0.35) + (0.09 ac x 0.59) + (0.19 ac x 0.90) + (0.10 ac x 0.32) + (0.15 ac x 0.40)										
1.42 AC										
= 0.72										

DRAINAGE NOTE:
PRE-EXISTING RUNOFF COEFFICIENT FROM FORMER MCDONALDS = 0.83; PROPOSED RUNOFF COEFFICIENT = 0.72. THEREFORE A REDUCTION OF THE IMPERVIOUS AREA OF APPROXIMATELY 14% IS REQUIRED.

PROPOSED DETENTION VOLUME:
CHANNEL PROTECTION VOLUME PER OCWR = 4.719x10³ = 4,719 cu ft
VOLUME FOR 48" PIPE = 312 ft x 12.57 sf = 3,922 cu ft
VOID STORAGE VOLUME = 30% OF STONE VOLUME
STONE VOLUME = ((64'x30'x4')-3,922cu ft) x 0.30 = 1,127 cu ft
TOTAL VOLUME PROVIDED TO ELEV 723.90 = 3,922 + 1,127 = 5,049 cu ft > 4,719 cu ft (OK)

ORIFICE
Qa HEAD (FT) AREA (S.F.) AREA (S.I.) DIA. (IN.)
0.284 4.16 0.02798576 4.02994894 2.265192

USE MIN. 3" DIAMETER ORIFICE
REFER TO OUTLET CONTROL DETAIL ON SHEET C-6.5

REVISIONS

NO.	DATE	BY	DESCRIPTION
3	8-12-21	TSS	REVISE SITE PLANS PER VILLAGE REVIEW COMMENTS
2	7-19-21	TSS	EMPLOYEE PARKING NOT ADDED
1	7-29-21	TSS	ADDC PERMIT SUBMISSION

CAUTION!!

THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. IT IS THE RESPONSIBILITY OF THE USER OF THIS DRAWING TO DETERMINE THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.

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811

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(586) 216-1043
www.storeyengineering.com

THE GODDARD SCHOOL OF BEVERLY HILLS

935 E SILVERBELL ROAD
LAKE ORION, MI 48060

PROPOSED DRAINAGE PLAN

THE GODDARD SCHOOL - BEVERLY HILLS

TIN RIVE SE 1/4 SECTION 2 VILLAGE OF BEVERLY HILLS OAKLAND COUNTY, MI

DES.	TSS	DN.	TSS	SUR.	TSS	P.M.	TSS
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ORIGINAL ISSUE DATE: 7/9/2021
Project No. 2021-008
SCALE: 1" = 20'
DRAWING NUMBER: C-8.0

seal:



client:

THE GODDARD
SCHOOL OF LAKE
ORION
935 E. Silverbell Road
Lake Orion Michigan
48360

project:

THE
GODDARD
SCHOOL
Beverly Hills

project location:

Village of Beverly
Hills, Michigan
31655 Southfield Rd.

sheet title:

LANDSCAPE
PLANTING DETAIL

job no./issue/revision date:

LS21.076.06 REVIEW 6-11-2021
SPA 6-30-2021
LS21.076.06 SPA 8-12-2021

drawn by:

JP, DK

checked by:

FP

date:

6-08-2021

notice:

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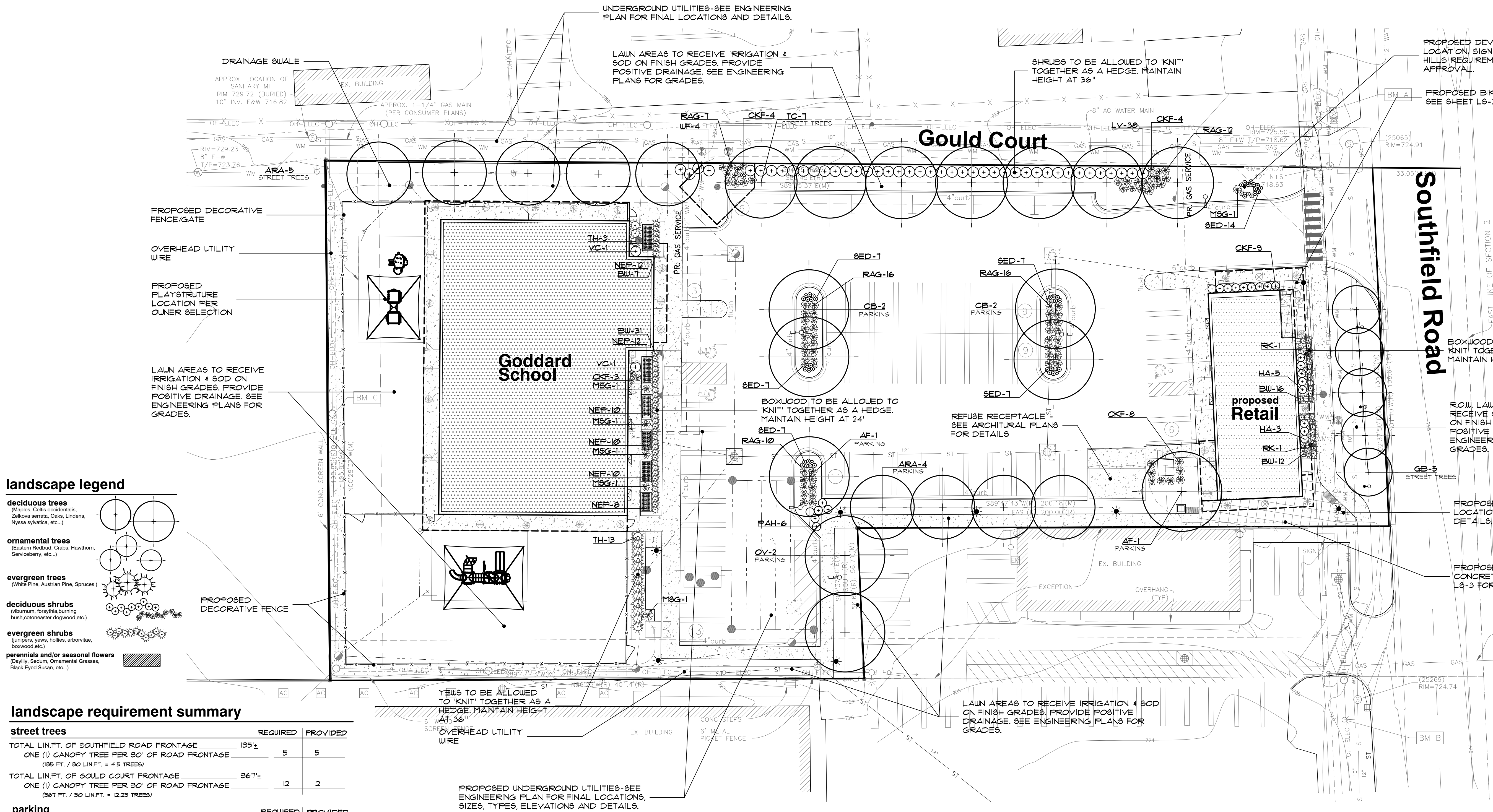
The location and elevations of existing
underground utilities as shown on this
drawing are only approximate. no guarantee
is either expressed or implied as to the
completeness of accuracy. contractor shall be
exclusively responsible for determining the
exact location and elevation prior to the start
of construction

project no:

LS21.076.06

sheet no:

LS-3 of 3



landscape legend

deciduous trees

(Maples, Cereus occidentalis,
Zelkova serrata, Oaks, Lindens,
Nyssa sylvatica, etc...)

ornamental trees

(Eastern Redbud, Crab, Hawthorn,
Serviceberry, etc...)

evergreen trees

(White Pine, Austrian Pine, Spruces)

deciduous shrubs

(Viburnum, Forsythia, Burning
bush, Cotoneaster, Dogwood, etc...)

evergreen shrubs

(Junipers, Yews, Hollies, Arborvitae,
Boxwood, etc...)

perennials and/or seasonal flowers

(Daylily, Sedum, Ornamental Grasses,
Black Eyed Susan, etc...)

landscape requirement summary

street trees	REQUIRED	PROVIDED
TOTAL LIN.FT. OF SOUTHFIELD ROAD FRONTAGE	135'±	5
ONE (1) CANOPY TREE PER 30' OF ROAD FRONTAGE (135 FT. / 30 LIN.FT. = 4.5 TREES)	5	5
TOTAL LIN.FT. OF GOULD COURT FRONTAGE	367'±	12
ONE (1) CANOPY TREE PER 30' OF ROAD FRONTAGE (361 FT. / 30 LIN.FT. = 12.3 TREES)	12	12
parking	REQUIRED	PROVIDED
TOTAL AREA OF PARKING AND DRIVE AISLE	22,423 SQ.FT.	11
ONE (1) DECIDUOUS OR EVERGREEN TREE PER 2,000 SQ.FT. (22,423 SPACES / 2,000 SQ.FT. PER TREE = 11.46 TREES)	11	12
3' HIGH SHRUB HEDGE VISIBLE FROM STREET OR ACCESS DRIVE (200' (GOULD COURT VISIBILITY) / 3.5' PER SHRUB = 57.1 SHRUBS)	57	61

landscape plan for:

“The Goddard School” Village of Beverly Hills, Michigan

note:

unless noted otherwise, numerical value on landscape
quantities specified on plan take precedence over
graphic representation.

scale: 0' 20' 40' 80' 120'
1" = 40' - 0"

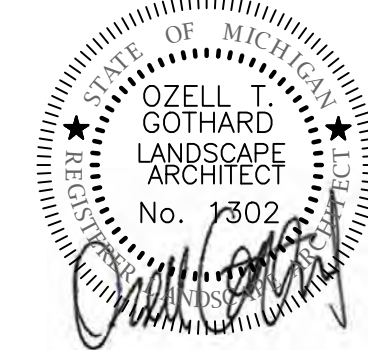
general landscape notes:

- LANDSCAPE CONTRACTOR SHALL VISIT THE SITE, INSPECT EXISTING CONDITIONS, REVIEW PROPOSED PLANTINGS AND RELATED WORK. CONTACT THE OWNER AND/OR LANDSCAPE ARCHITECT WITH ANY CONCERNS OR DISCREPANCY BETWEEN THE PLAN, PLANT MATERIAL LIST, AND/OR SITE CONDITIONS.
- PRIOR TO BEGINNING OF CONSTRUCTION ON ANY WORK, CONTRACTORS SHALL VERIFY LOCATIONS OF ALL ON SITE UTILITIES: GAS, ELECTRIC, TELEPHONE, CABLE TO BE LOCATED BY CONTACTING MISS DIG 1-800-482-7171. ANY DAMAGE OR INTERRUPTION OF SERVICES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. COORDINATE ALL RELATED WORK ACTIVITIES WITH OTHER TRADES AND REPORT ANY UNACCEPTABLE JOB CONDITIONS TO OWNER PRIOR TO COMMENCING.
- NUMERICAL VALUE ON THE LANDSCAPE QUANTITIES SPECIFIED ON THE PLAN TAKE PRECEDENCE OVER GRAPHIC REPRESENTATION. VERIFY ANY CONCERN/DISCREPANCY WITH LANDSCAPE ARCHITECT.
- ALL CONSTRUCTION AND PLANT MATERIAL LOCATION TO BE ADJUSTED ON SITE IF NECESSARY.
- ALL SUBSTITUTIONS OR DEVIATIONS FROM THE LANDSCAPE PLAN MUST BE APPROVED BY VILLAGE OF BEVERLY HILLS AND LANDSCAPE ARCHITECT.
- ALL LARGE TREES AND EVERGREENS TO BE STAKED, GUYED AND WRAPPED AS DETAILED, SHOWN ON PLAN.
- PLANT BEDS TO BE DRESSED WITH MIN. 4" OF FINELY DOUBLE SHREDDED HARD BARK MULCH.
- DIG SHRUB FITS 1' LARGER THAN SHRUB ROOT BALLS AND TREE FITS 2' LARGER THAN ROOT BALL. BACK FILL WITH ONE PART TOP SOIL AND ONE PART SOIL FROM EXCAVATED PLANTING HOLE.
- NATURAL COLOR, FINELY SHREDDED HARDWOOD BARK MULCH REQUIRED FOR ALL PLANTINGS.
- REMOVE ALL TWINE, WIRE AND BURLAP FROM TREE AND SHRUB EARTH BALLS, AND FROM TREE TRUNKS. 4" THICK BARK MULCH FOR TREES IN 4" DIA. CIRCLE WITH 3" PULLED AWAY FROM TRUNK. 4" THICK BARK MULCH FOR SHRUBS AND 4" THICK BARK MULCH FOR PERENNIALS.
- PLANT MATERIAL QUALITY & INSTALLATION SHALL BE IN ACCORDANCE WITH THE CURRENT AMERICAN ASSOCIATION OF NURSEMTEN LANDSCAPE STANDARDS.
- PROVIDE PEAT SOD FOR ALL NEW AND DISTURBED LAWN AREAS UNLESS NOTED OTHERWISE.
- ALL PLANTING AREAS TO BE PREPARED WITH APPROPRIATE SOIL MIXTURES AND FERTILIZER BEFORE PLANT INSTALLATION.
- PLANT TREES AND SHRUBS GENERALLY NO CLOSER THAN THE FOLLOWING DISTANCES FROM SIDEWALKS, CURBS AND PARKING STALLS:
a) SHADE TREES 5 FT.
b) ORNAMENTAL AND EVERGREEN TREES 10 FT.
c) SHRUBS THAT ARE LESS THAN 1 FOOT TALL AND WIDE AT MATURITY 2 FT.
- NO TREES OR EVERGREENS TO BE INSTALLED OVER ANY PROPOSED OR EXISTING UTILITY LINES AS SHOWN ON THE OVERALL LANDSCAPE PLAN. SEE ENGINEERING PLANS FOR LOCATION AND DETAILS.

- NATURAL COLOR, FINELY SHREDDED HARDWOOD BARK MULCH REQUIRED FOR ALL PLANTINGS.
- REMOVE ALL TWINE, WIRE AND BURLAP FROM TREE AND SHRUB EARTH BALLS, AND FROM TREE TRUNKS. 4" THICK BARK MULCH FOR TREES IN 4" DIA. CIRCLE WITH 3" PULLED AWAY FROM TRUNK. 4" THICK BARK MULCH FOR SHRUBS AND 4" THICK BARK MULCH FOR PERENNIALS.
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a) SHADE TREES 5 FT.
b) ORNAMENTAL AND EVERGREEN TREES 10 FT.
c) SHRUBS THAT ARE LESS THAN 1 FOOT TALL AND WIDE AT MATURITY 2 FT.
- NO TREES OR EVERGREENS TO BE INSTALLED OVER ANY PROPOSED OR EXISTING UTILITY LINES AS SHOWN ON THE OVERALL LANDSCAPE PLAN. SEE ENGINEERING PLANS FOR LOCATION AND DETAILS.

- ALL LAWN AREAS AND LANDSCAPE BEDS TO BE FULLY IRRIGATED WITH AN AUTOMATIC UNDERGROUND SYSTEM. IRRIGATION SYSTEM TO HAVE SEPARATE ZONES FOR LAWN AREAS, PARKING ISLANDS, AND SHRUB BEDS WITH DIFFERENT CONTROL MOISTURE LEVEL ADJUSTMENT PER ZONE AS REQUIRED.
- UNLESS NOTED OTHERWISE, LANDSCAPE BEDS ADJACENT TO LAWN TO RECEIVE EDGING, EDGING SHALL BE 4" X 1/8" METAL (FINISH BLACK OR GREEN) OR APPROVED EQUAL AND TO BE INSTALLED WITH HORIZONTAL METAL STAKES AT 32" O.C. OR PER MANUFACTURER'S SPECIFICATION.
- ALL NEW PARKING ISLANDS AND LANDSCAPE BEDS ADJACENT AND NEXT TO BUILDING SHALL BE EXCAVATED OF ALL BUILDING MATERIALS AND POOR SOILS A MIN. OF 16"-18" DEPTH, BACK FILL WITH GOOD, MEDIUM TEXTURED PLANTING SOILS. ADD A MIN. 4" OF TOPSOIL OVERFILL TO FINISH GRADE. PROVIDE POSITIVE DRAINAGE.
- WATERING OF ALL PLANTS AND TREES TO BE PROVIDED IMMEDIATELY AND MULCHING WITHIN 24 HOURS AFTER INSTALLATION.
- ALL TREE FITS TO BE TESTED FOR PROPER DRAINAGE PRIOR TO TREE PLANTING. PROVIDE APPROPRIATE DRAINAGE SYSTEM AS REQUIRED IF THE TREE PIT DOES NOT DRAIN SUFFICIENTLY.
- THE LANDSCAPE CONTRACTOR SHALL GUARANTEE ALL LANDSCAPE PLANT MATERIALS AND IRRIGATION INSTALLATION FOR A PERIOD OF TWO YEAR BEGINNING AFTER THE COMPLETION OF LANDSCAPE INSTALLATION DATE APPROVED BY THE CITY OR LANDSCAPE ARCHITECT. THE CONTRACTOR SHALL REPLACE DURING AND AT THE END OF THE GUARANTEE PERIOD, ANY DEAD OR UNACCEPTABLE PLANTS, AS DETERMINED BY THE CITY OR LANDSCAPE ARCHITECT, WITHOUT COST TO THE OWNER.

seal:



client:

**THE GODDARD
SCHOOL OF LAKE
ORION**
935 E. Silverbell Road
Lake Orion Michigan
48360

project:

**THE
GODDARD
SCHOOL**
Beverly Hills

project location:

Village of Beverly
Hills, Michigan
31655 Southfield Rd.

sheet title:

AMENITY PLAN

job no./issue/revision date:

LS21.076.06 REVIEW 6-11-2021

SPA 6-30-2021

LS21.076.06 SPA 8-12-2021

drawn by:

JP, DK

checked by:

FP

date:

6-08-2021

notice:

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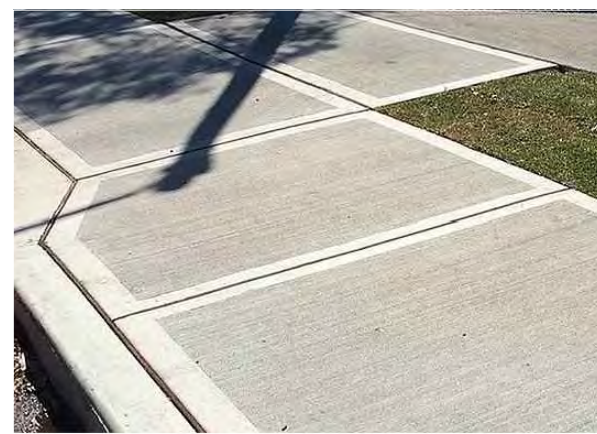
The location and elevations of existing
underground utilities as shown on this
drawing are only approximate. no guarantee
is either expressed or implied as to the
completeness of accuracy. contractor shall be
exclusively responsible for determining the
exact location and elevation prior to the start
of construction

project no:

LS21.076.06

sheet no:

LS-3 of 3



**A decorative pedestrian
concrete walk**
BROOM FINISH WITH 3" SMOOTH
TROWEL FINISH BETWEEN SCORING



B concrete planter
TOTAL OF 6-CONDITIONS
CONCRETE PLANTER MANUFACTURER, SIZE
AND COLOR PER OWNER SELECTION



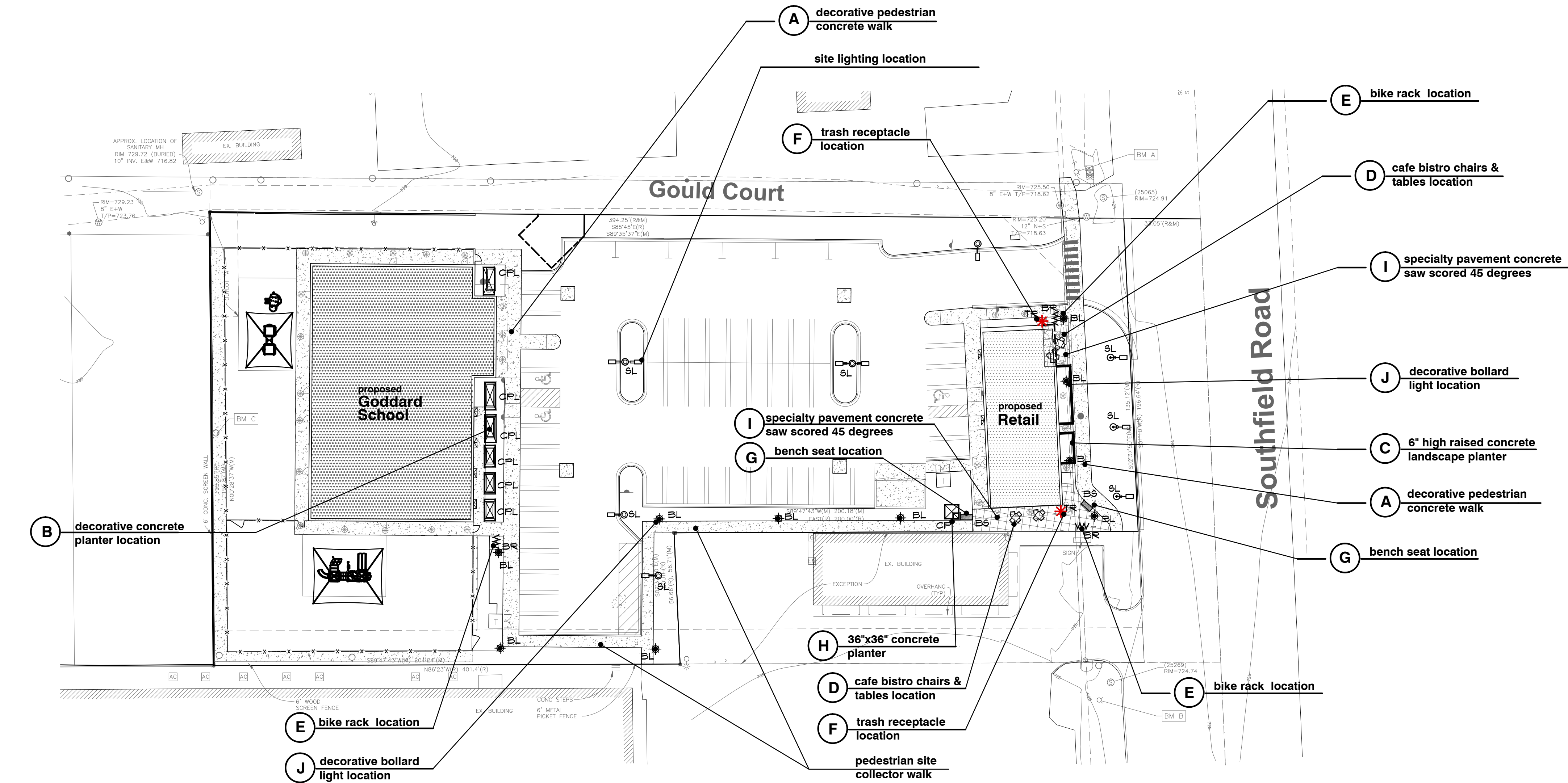
C 6" high concrete planter
6" HIGH CONCRETE PLANTER BETWEEN
SIDE WALK AND RETAIL BUILDING



D cafe bistro chairs and tables
MANUFACTURED BY BY ANOVA, INC.
211 NORTH LINDBERGH BLVD. SUITE 200 ST. LOUIS, MISSOURI
63141-7804
TOLL FREE NO. (800)291-1321 WWW.ANOVAFURNISHINGS.COM
1- BISTRO TABLE
MODEL NO. T223TR OR EQUAL
(31"H X 34"W X 36"L)
4-BAR CHAIRS
MODEL NO. T223SR OR EQUAL
(39"H X 20"W X 23"L)
SLAT COLOR: CEDAR
FRAME COLOR: TEXTURED PENTER



E bicycle rack
(3-CONDITIONS)
BIKE RACK BY MADRAX.
MODEL NO. 1U238-1G (9F,8G)
SURFACE PLATE MOUNT) 2 3/8"
OD.
BLACK POWDER-COATED LOOP
OR EQUAL



site amenity reference location plan

SCALE: 1"=30'-0"

- | | | | |
|--|------------------------------------|--|---------------------------|
| | BIKE RACK | | TRASH RECEPTICAL |
| | BENCH SEAT
(WITH BACKS) | | CAFE SEATING
AND TABLE |
| | BOLLARD LIGHT FIXTURE | | CONCRETE PLANTER |
| | DECORATIVE POLE &
LIGHT FIXTURE | | 36"X 36" CONCRETE PLANTER |



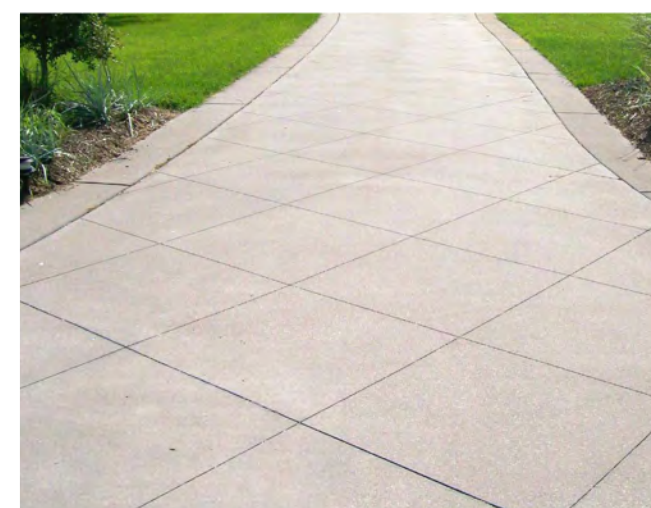
F trash receptacle
(2-CONDITIONS)
MANUFACTURED BY ANOVA, INC.
OR EQUAL
211 NORTH LINDBERGH BLVD.
SUITE 200
ST. LOUIS, MISSOURI 63141-7804
TOLL FREE NO. (800)291-1321
WWW.ANOVAFURNISHINGS.COM
MODEL NO. LEX33 OR EQUAL
SIZE CAPACITY: 33 GALLON
FINISH COLOR: TEXTURED PENTER



**G decorative bench
seating**
TOTAL OF 2-CONDITION
MANUFACTURED BY BY
ANOVA, INC.
WWW.ANOVAFURNISHINGS.COM
MODEL NO. 51PL OR EQUAL
DESCRIPTION: 6" WIDE BENCH
FINISH: TEXTURED PENTER



**H decorative upright
concrete planter**
MANUFACTURED BY MAUSAU OR EQUAL
PO BOX 1520 MAUSAU, WI. 54402-1520
TOLL FREE NO. (800)398-8128
WWW.MAUSAUTILE.COM
MODEL TF416 OR EQUAL
SIZE 36"X36"X36" HIGH



I specialty pavement
concrete saw scored 45 degrees



J decorative bollard light
(see photometric plan for details)

HOLOPHANE
LIGHTS BY THE WAY WE LIVE

GLSFL3
GlasWorks™ Luminescent LED Headlamp*

General Description
The architectural luminaire consists of a flat LED optical assembly mounted to a decorative, round housing and a mounting arm. The luminaire is designed to provide a high quality, uniform, and consistent light output. The luminaire is designed to provide a high quality, uniform, and consistent light output. The luminaire is designed to provide a high quality, uniform, and consistent light output.

Optical Assembly
The optical assembly consists of an adaptive, square, flat LED optical assembly mounted to a decorative, round housing and a mounting arm. The luminaire is designed to provide a high quality, uniform, and consistent light output. The luminaire is designed to provide a high quality, uniform, and consistent light output. The luminaire is designed to provide a high quality, uniform, and consistent light output.

Mounting Style
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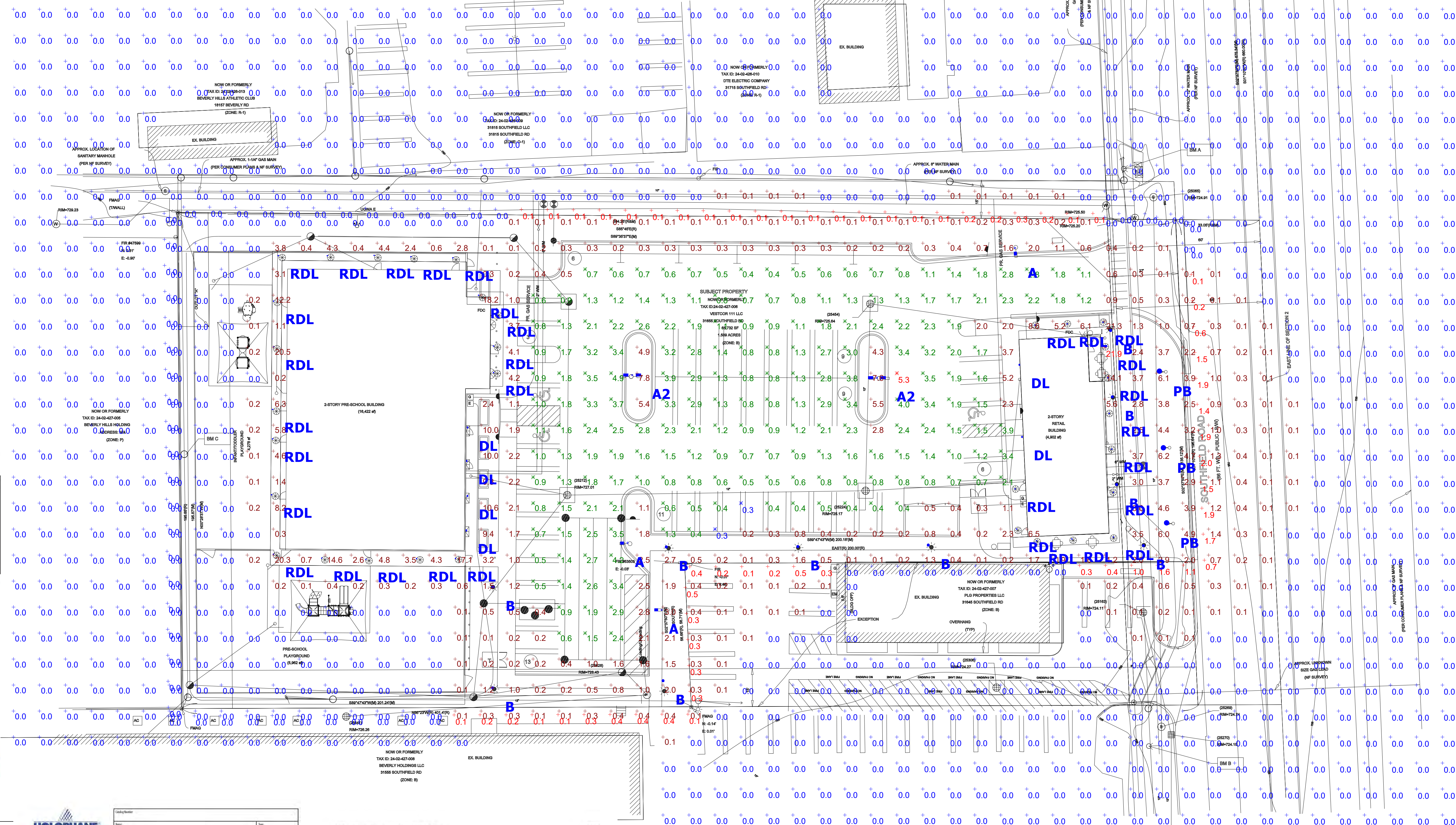
Electrical Assembly
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HOLOPHANE
LIGHTS BY THE WAY WE LIVE

KAD LED
LED Area Luminaire

General Description
The KAD LED is a decorative luminaire which provides a fully adjustable LED luminaire to complement the full line of decorative lighting. The luminaire is designed to provide a high quality, uniform, and consistent light output. The luminaire is designed to provide a high quality, uniform, and consistent light output. The luminaire is designed to provide a high quality, uniform, and consistent light output.

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HOLOPHANE
LIGHTS BY THE WAY WE LIVE

CHBOLED
Character LED Series
Cast Aluminum Ballast

General Description
The Character LED Series is a decorative luminaire which provides a fully adjustable LED luminaire to complement the full line of decorative lighting. The luminaire is designed to provide a high quality, uniform, and consistent light output. The luminaire is designed to provide a high quality, uniform, and consistent light output. The luminaire is designed to provide a high quality, uniform, and consistent light output.

Optical Assembly
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HOLOPHANE
LIGHTS BY THE WAY WE LIVE

LED wall luminaire - symmetric light distribution

General Description
The LED wall luminaire is a decorative luminaire which provides a fully adjustable LED luminaire to complement the full line of decorative lighting. The luminaire is designed to provide a high quality, uniform, and consistent light output. The luminaire is designed to provide a high quality, uniform, and consistent light output. The luminaire is designed to provide a high quality, uniform, and consistent light output.

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Schedule

Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lumens	Wattage	MH
A	A	3	Lithonia Lighting	KAD LED 200 700 40K	KAD LED	4417	45	14'-0"
A2	A2	2	Lithonia Lighting	KAD LED 300 700 40K	KAD LED	8369	138	14'-0"
B	B	10	Holophane	CHBOLED P30 40K xxxxx	CHBOLED	1037	24	3'-6"
DL	DL	6	BEGA Converted by LUMICA	22 392	22392K4	2909	22.9	9'-0"
PB	PB	3	Holophane	GLSFL P10 40K XXXXX	GlasWorks Luminescent LED	4256	30	9'-0"
RDL	RDL	32	Focal Point	FLC4D-RD-1000L-120	FLC4D-RD	1103	11.37	10'-0"

Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min	Avg/Max
PROPERTY LINE	+	0.2 fc	2.0 fc	0.0 fc	N/A	N/A	0.1:1
PARKING LOT	X	1.6 fc	5.3 fc	0.3 fc	17.7:1	5.3:1	0.3:1

General Note
1. SEE SCHEDULE FOR LUMINAIRE MOUNTING HEIGHT.
2. CALCULATIONS ARE SHOWN IN FOOTCANDLES AT 0' - 0"

Drawing Note
THIS DRAWING WAS GENERATED FROM AN ELECTRONIC IMAGE FOR ESTIMATION PURPOSE ONLY. LAYOUT TO BE VERIFIED IN FIELD BY OTHERS.

Mounting Height Note
MOUNTING HEIGHT IS MEASURED FROM GRADE TO FACE OF FIXTURE. POLE HEIGHT SHOULD BE CALCULATED AS THE MOUNTING HEIGHT LESS BASE HEIGHT.

Ordering Note
FOR INQUIRIES CONTACT GASSER BUSH AT QUOTES@GASSERBUSH.COM OR 734-266-6705.

Plan View
Scale - 1" = 20ft

General Note
1. SEE SCHEDULE FOR LUMINAIRE MOUNTING HEIGHT.
2. CALCULATIONS ARE SHOWN IN FOOTCANDLES AT 0' - 0"

Drawing Note
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Ordering Note
FOR INQUIRIES CONTACT GASSER BUSH AT QUOTES@GASSERBUSH.COM OR 734-266-6705.

THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING / FUTURE FIELD CONDITIONS. THIS LIGHTING LAYOUT REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS. MOUNTING HEIGHTS INDICATED ARE FROM GRADE AND/OR FLOOR UP.

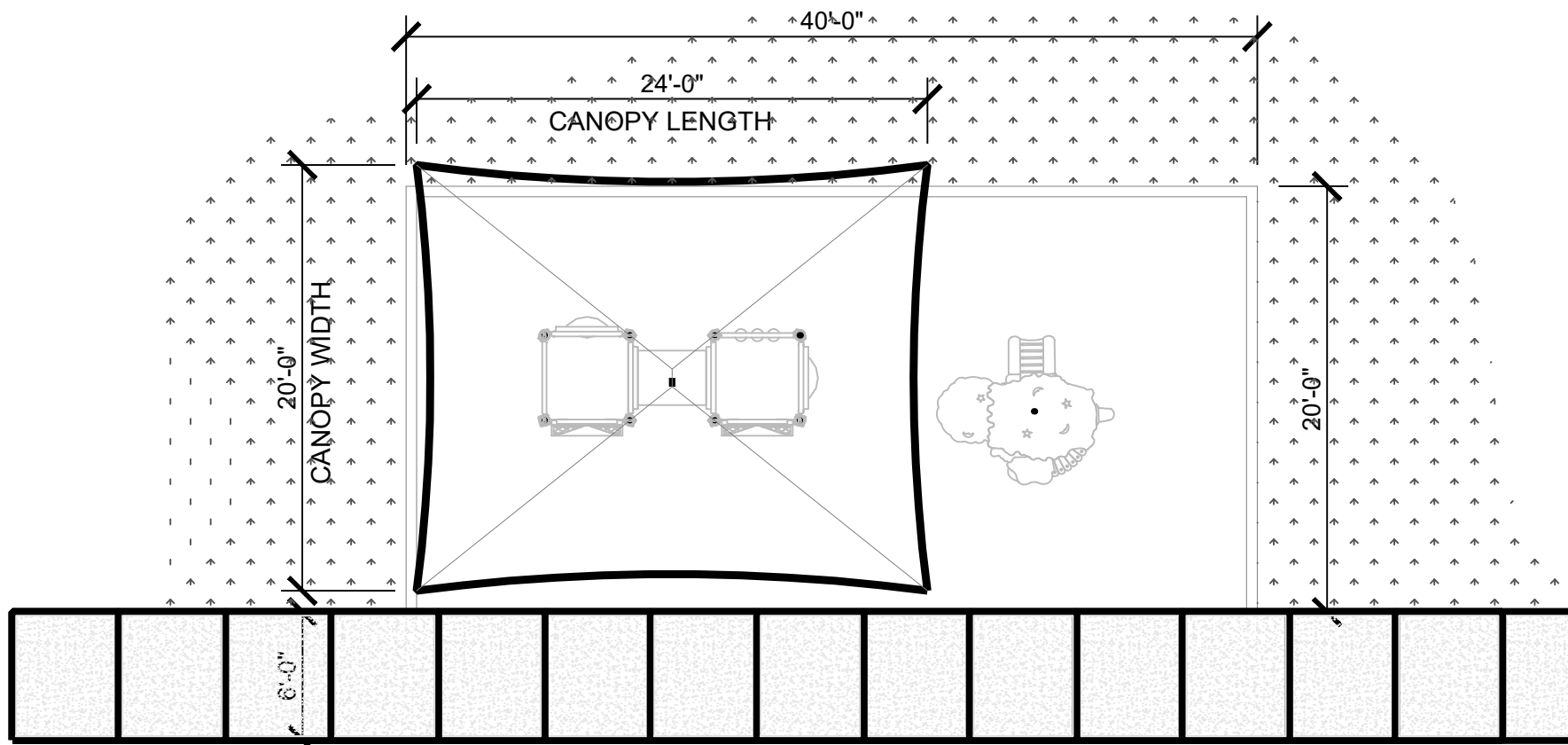
THESE LIGHTING CALCULATIONS ARE NOT A SUBSTITUTE FOR INDEPENDENT ENGINEERING ANALYSIS OF LIGHTING SYSTEM SUITABILITY AND SAFETY. THE ENGINEER AND/OR ARCHITECT IS RESPONSIBLE TO REVIEW FOR MICHIGAN ENERGY CODE AND LIGHTING QUALITY COMPLIANCE.

UNLESS EXEMPT, PROJECT MUST COMPLY WITH LIGHTING CONTROLS REQUIREMENTS DEFINED IN ASHRAE 90.1 2013. FOR SPECIFIC INFORMATION CONTACT GBA CONTROLS GROUP AT ASG@GASSERBUSH.COM OR 734-266-6705.

GBA

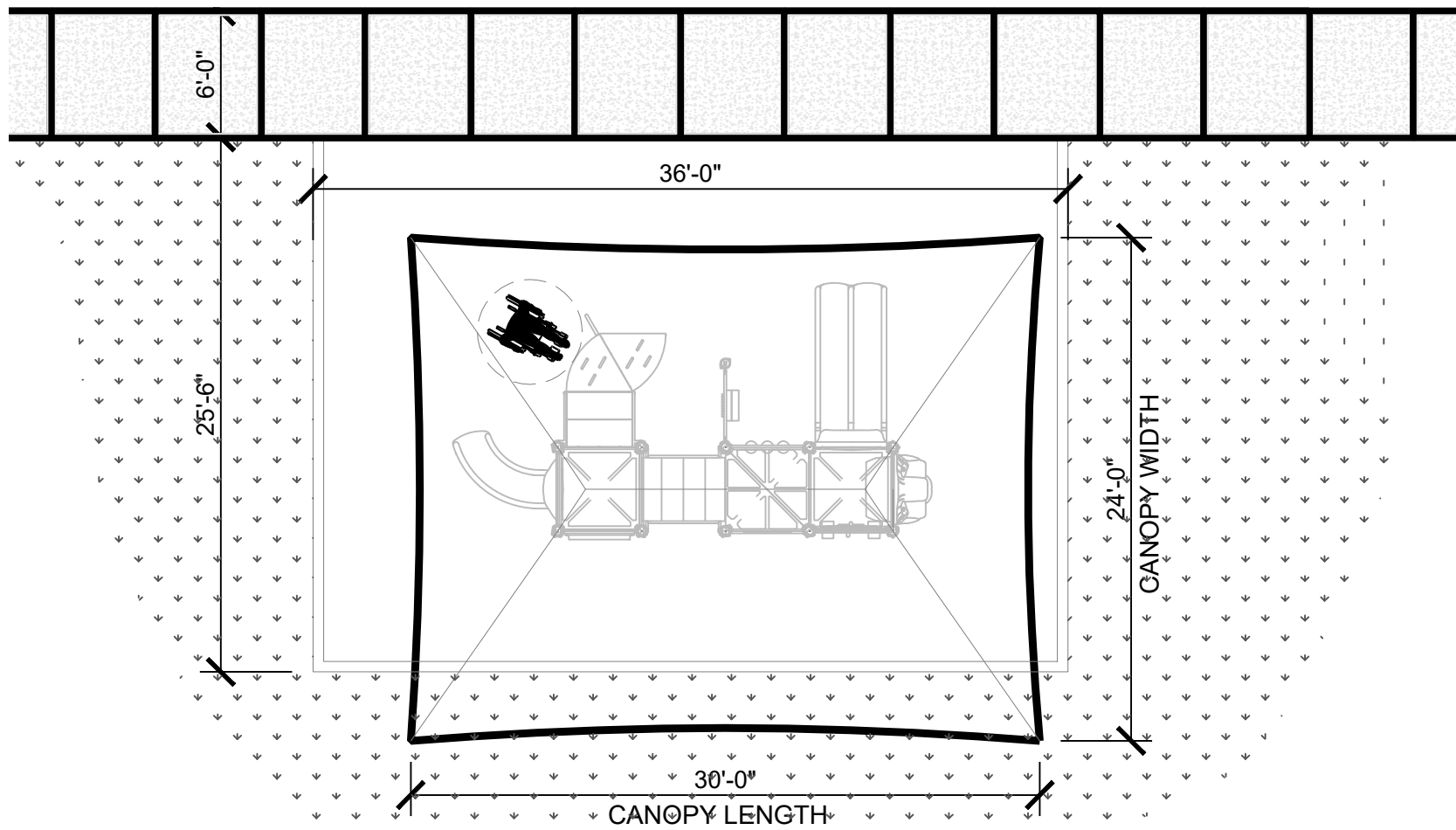
DESIGNER
JD/KB/nae
Date
6/16/2021
Scale
Not to Scale
Drawing No.
#21-63485-V3
1 of 1

GODDARD SCHOOL - BEVERLY HILLS
PHOTOMETRIC SITE PLAN
PREPARED FOR: STOREY ENGINEERING GROUP, LLC.
GASSER BUSH ASSOCIATES
WWW.GASSERBUSH.COM



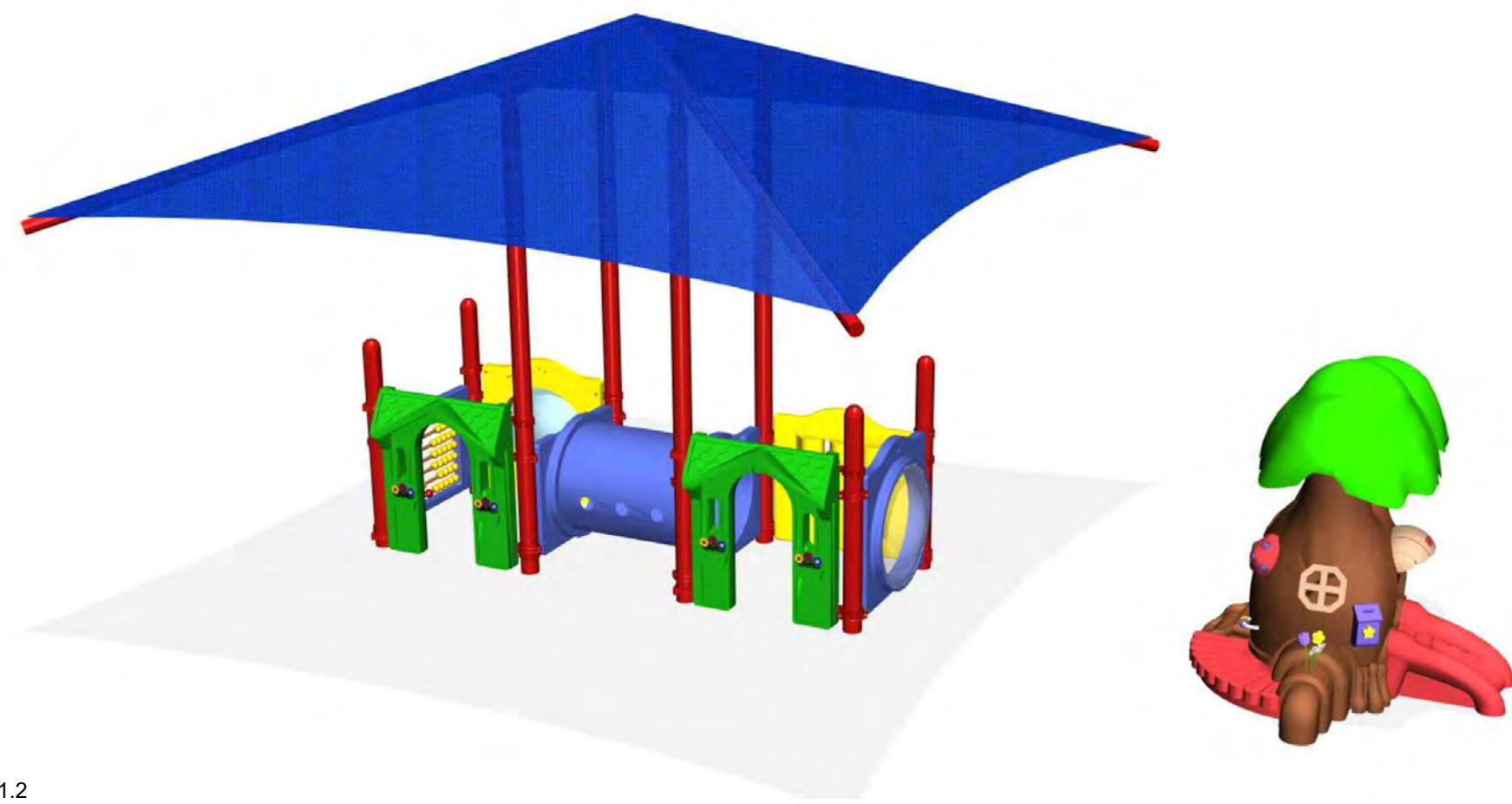
09 INFANT/ TODDLER PLAY STRUCTURE

SCALE: 1/8" = 1'-0"



10 PRESCHOOL PLAY STRUCTURE

SCALE: 1/8" = 1'-0"



REFER TO 09/C1.2

11 TODDLER PLAYGROUND RENDERING

SCALE: N.T.S.



REFER TO 10/C1.2

12 PRESCHOOL PLAYGROUND RENDERING

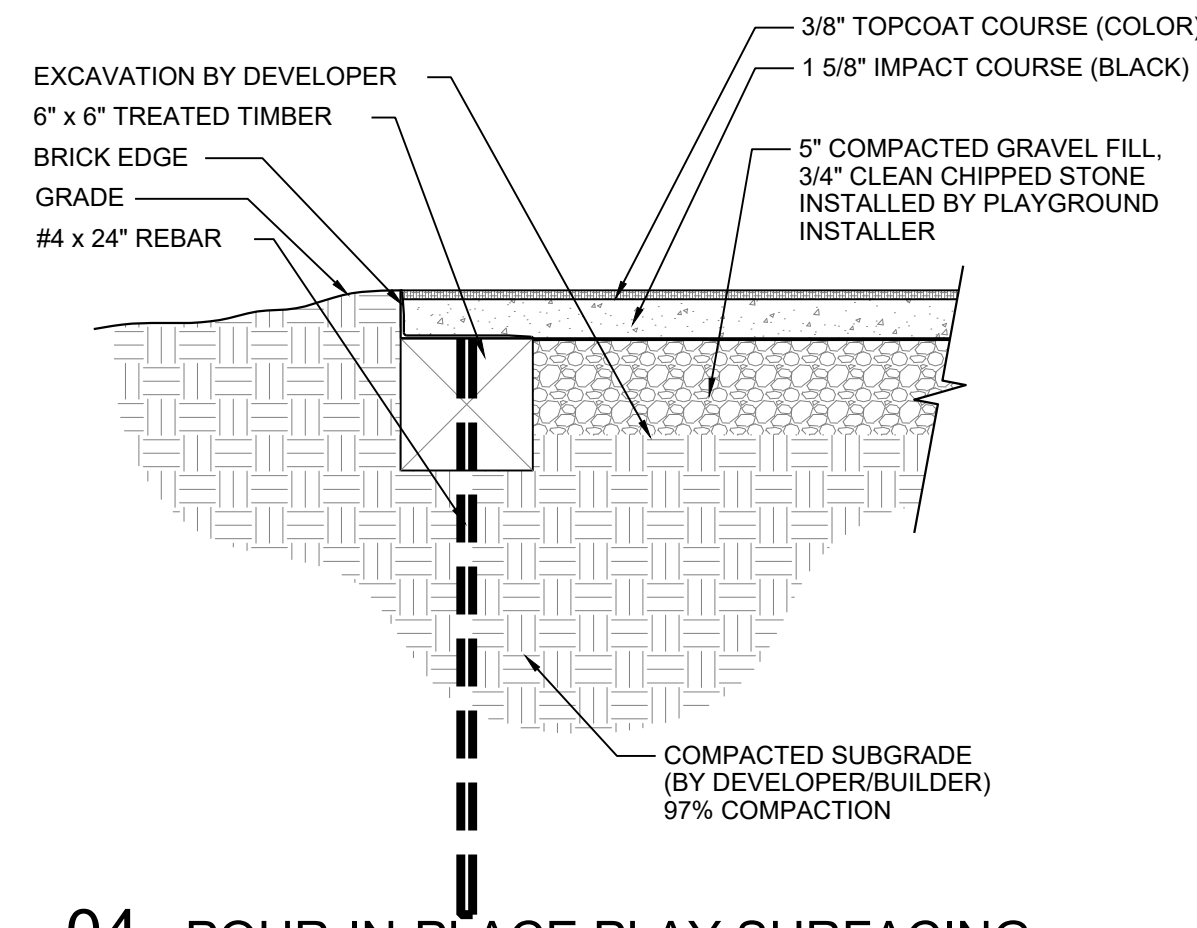
SCALE: N.T.S.

DEVELOPER / GENERAL CONTRACTOR'S PLAYGROUND RESPONSIBILITIES

1. PLAYGROUND STRUCTURE AND SHADE STRUCTURE APPROVALS OR PERMITS IF REQUIRED. APPROVALS AND PERMITTING MAY BE REQUIRED FOR COLOR SCHEME, HEIGHT, MANUFACTURER DESIGN METHODS, ETC.
2. UTILITIES CANNOT BE LOCATED UNDER OR OVER PLAYGROUND BOXES.
3. ELECTRIC AND WATER ARE NEEDED ON SITE. FOR THE PLAYGROUND INSTALLERS USE. IF NOT, OTHER PRIOR ARRANGEMENTS SHALL BE MADE.
4. SOILS WITHIN THE PLAYGROUND BOX DIMENSIONS SHOULD BE SUITABLE FOR SLAB AT GRADE INSTALLATIONS. SOILS SHOULD NOT CONTAIN DEBRIS AND COMPACTED TO 97% IN ACCEPTED INCREMENTS CONTAINING SUITABLE SOIL.
5. PROVIDE GODDARD SYSTEM INC.'S PROJECT MANAGER WITH A TIMELINE FOR PLAYGROUND INSTALLATION. ROUGH GRADE IS REQUIRED AND SIDEWALKS SHALL BE INSTALLED PRIOR TO PLAYGROUND INSTALLATION, SOD, FENCE AND PARKING LOT TOP COAT.
6. LOCATE PLAYGROUND BOXES PER SITE PLAN, EXCAVATED 7" DEEP. PLAYGROUND BOXES CANNOT EXCEED A MAXIMUM 2% GRADE. (DTL. 2/C3.1)
7. SUB-GRADE BACKFILL MUST BE COMPACTED TO AT LEAST 97% AND SHOULD NOT CONTAIN MATERIALS SUCH AS LARGE ROCKS, SCRAP WOOD, CONCRETE SPOILS, ETC. PLAYGROUND INSTALLERS NEED TO DRILL ACCURATE HOLES FOR PLAYGROUND POLE INSTALLATION.
8. INSTALL DRAINAGE SYSTEM TO EXCAVATED PLAYGROUND BOXES PER SITE PLAN. (DTL. 13/C3.1)
9. ENSURE ADEQUATE AREA FOR PLAYGROUND INSTALLERS. STAGING AREA NEEDED TO UNLOAD AND PRE-ASSEMBLE APPROX. 1,000 CUBIC FOOT SHIPMENT OF PLAYGROUND EQUIPMENT. HOLDING AREA NEEDED TO RECEIVE DELIVERY OF APPROXIMATELY 40-50 TONS OF CRUSHED STONE. PARKING AREA NEEDED FOR TWO TRUCKS AND ONE 30' TRAILER OF EXCAVATING EQUIPMENT.
10. IN ORDER TO AVOID POSSIBLE DAMAGE, PARKING LOTS SHOULD NOT HAVE TOPCOAT APPLIED AND FENCING SHOULD NOT BE INSTALLED UNTIL PLAYGROUND IS COMPLETE. IF FENCING IS INSTALLED, LEAVE OUT NECESSARY SECTIONS TO PROVIDE ACCESS TO PLAYGROUND AREA.
11. ONCE COMPACTED CRUSH STONE BASE, BORDER, AND EQUIPMENT ARE IN PLACE, THEY SHOULD NOT BE DRIVEN OR WALKED ON AND SHOULD NOT BE USED FOR STORAGE AREA.
12. PLAYGROUND INSTALLATION DESCRIBED ABOVE SHOULD TAKE APPROXIMATELY ONE TO FIVE DAYS, DEPENDING ON SITE CONDITIONS, WEATHER, INSTALLER CREW SIZE, ETC.
13. INSTALLATION OF POUR-IN-PLACE SURFACING USUALLY TAKES PLACE ONE TO TWO WEEKS AFTER PLAYGROUND IS INSTALLED, DEPENDING MAINLY ON WEATHER CONDITIONS.
14. GENERALLY ONLY THREE OR FOUR PARKING SPACES ARE NEEDED FOR SURFACING INSTALLERS. (ONE OR TWO VEHICLES AND A MIXER STAGING AREA)
15. TYPICALLY, TWO MEN MIX THE SURFACING PRODUCT IN THE PARKING LOT AND TRANSPORT BY WHEELBARROW TO PLAYGROUNDS WHERE IT IS POURED AND TROWELED. THEREFORE, NO SPECIAL ALLOWANCES ARE NECESSARY (FENCING CAN BE INSTALLED AND FINISH LANDSCAPING CAN BE COMPLETED)
16. THIS IS USUALLY A TWO-DAY INSTALLATION, DEPENDING MAINLY ON WEATHER CONDITIONS. IMPACT COURSE APPLIED ON DAY ONE, AND TOPCOAT (COLOR) APPLIED ON DAY TWO.
17. ONCE THE TOPCOAT APPLICATION IS COMPLETE, THE BINDING AGENTS WILL TAKE A MINIMUM 24 HOURS TO CURE. DURING THAT TIME THERE IS TO BE ABSOLUTELY NO WALKING ON, PLACING OBJECTS ON, OR ALLOWING ANY DUST TO ACCUMULATE ON THE TOPCOAT SURFACE.
18. FINISH GRADING AND LANDSCAPING MUST BE THE SAME ELEVATION AT THE PLAYGROUND BORDERS.
19. ENSURE THAT THE SITE IS SECURE AND THAT OTHER CONTRACTORS WILL NOT BE STORING, WORKING, WALKING, ETC. ON FINISHED PLAYGROUNDS, SURFACES OR BORDERS.

GENERAL NOTES:
DEVELOPER/GENERAL CONTRACTOR SHOULD BE IN CONSTANT COMMUNICATION WITH GSI TO SCHEDULE DELIVERY AND INSTALLATION OF THE PLAYGROUND STRUCTURES. PLAYGROUND INSTALLERS TRAVEL LONG DISTANCES AND IT IS IMPERATIVE THE SITE IS PROPERLY PREPARED AS SPECIFIED TO AVOID COSTLY MOBILIZATION, SHIPPING AND STORAGE FEES.

GSI'S PLAYGROUND INSTALLERS TRAVEL GREAT DISTANCES, INCURRING EXPENSES FOR BOTH TRANSPORTATION AND LODGING. IN ADDITION THEY ARE REQUIRED TO RESERVE RENTAL MACHINERY. IF THEY ARE TURNED AWAY BECAUSE THE SITE IS NOT READY, A TRAVEL CHARGE WILL APPLY. THIS CHARGE COULD BE SIGNIFICANT (\$50.00 PER MAN-HOUR FOR A CREW OF FIVE, LODGING AT \$175 PER ROOM PER NIGHT, AND EQUIPMENT RENTAL DEPOSITS). THEREFORE, FOLLOWING ALL OF THE ABOVE GUIDELINES, ESPECIALLY WITH RESPECT TO DISCLOSING EXCESSIVELY ROCKY CONDITIONS, PROHIBITING THE USE OF LARGE ROCKS, CEMENT, ETC. IN BACKFILL MATERIALS, AND PROVIDING THE PROJECT MANAGER AN ACCURATE TIMELINE, WILL SAVE BOTH MONEY AND TIME.



04 POUR-IN-PLACE PLAY SURFACING

SCALE: 1 1/2" = 1'-0"

NO.	DATE	BY	DESCRIPTION
3	8-12-21	TSS	REVISE SITE PLANS PER VILLAGE REVIEW COMMENTS
2	7-19-21	TSS	EMPLOYEE PARKING NOTES ADDED
1	7-19-21	TSS	ACCCEPT PERMIT SUBMISSION



CAUTION!
THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS GIVEN FOR THE ACCURACY OF THE INFORMATION. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.

CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND CONSTRUCTION CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD DESIGN PROFESSIONAL HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT EXISTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE DESIGN PROFESSIONAL.

3 FULL WORKING DAYS BEFORE YOU DIG CALL

811
Know what's below
Call before you dig
Miss Dig System, Inc.
1-800-482-7171 www.missdig.net
(TOLL FREE)



STOREY
ENGINEERING
GROUP, LLC
48264 MANCHESTER
MACOMB, MI 48044
(586) 216-1043
www.storeyengineering.com

THE GODDARD SCHOOL OF BEVERLY HILLS 935 E SILVERBELL ROAD LAKE UNION, MI 48560	PLAYGROUND DETAILS - 1 THE GODDARD SCHOOL - BEVERLY HILLS T1N 1R1E, SE 1/4, SECTION 2, VILLAGE OF BEVERLY HILLS, OAKLAND COUNTY, MI	TSS P.M.
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ORIGINAL ISSUE DATE:
7/9/2021

Project No. 2021-008

SCALE: N/A

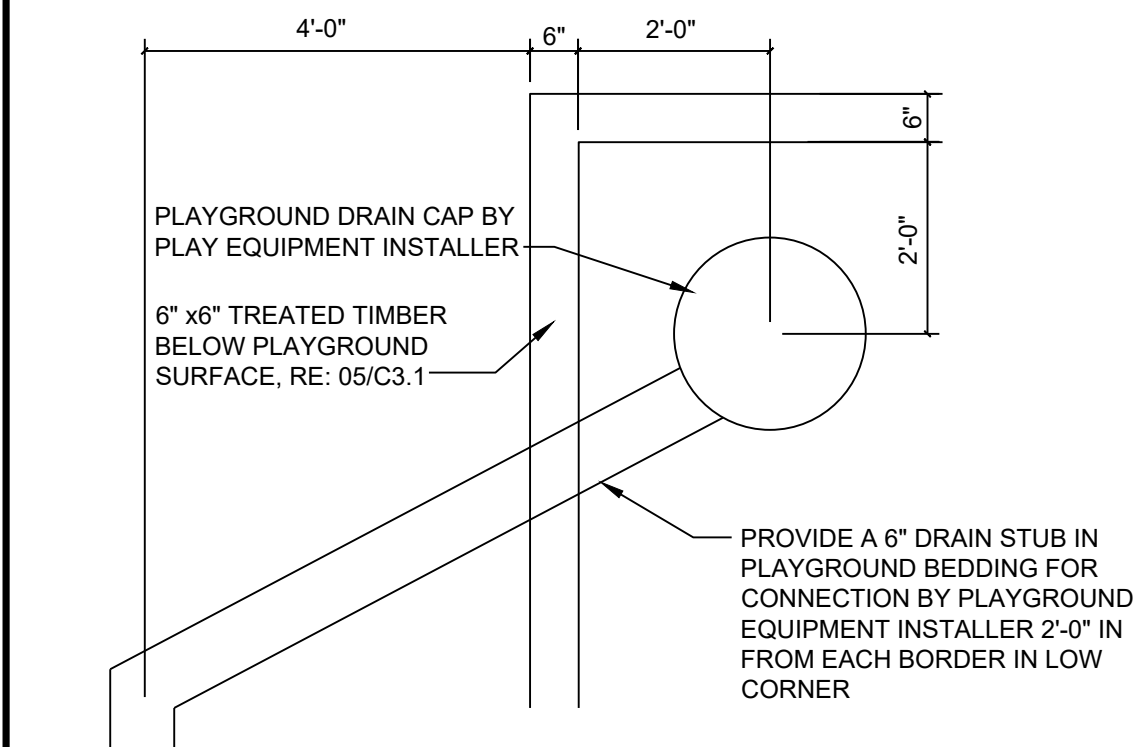
DRAWING NUMBER:

GSI-1.0

NOT TO BE USED AS CONSTRUCTION DRAWINGS

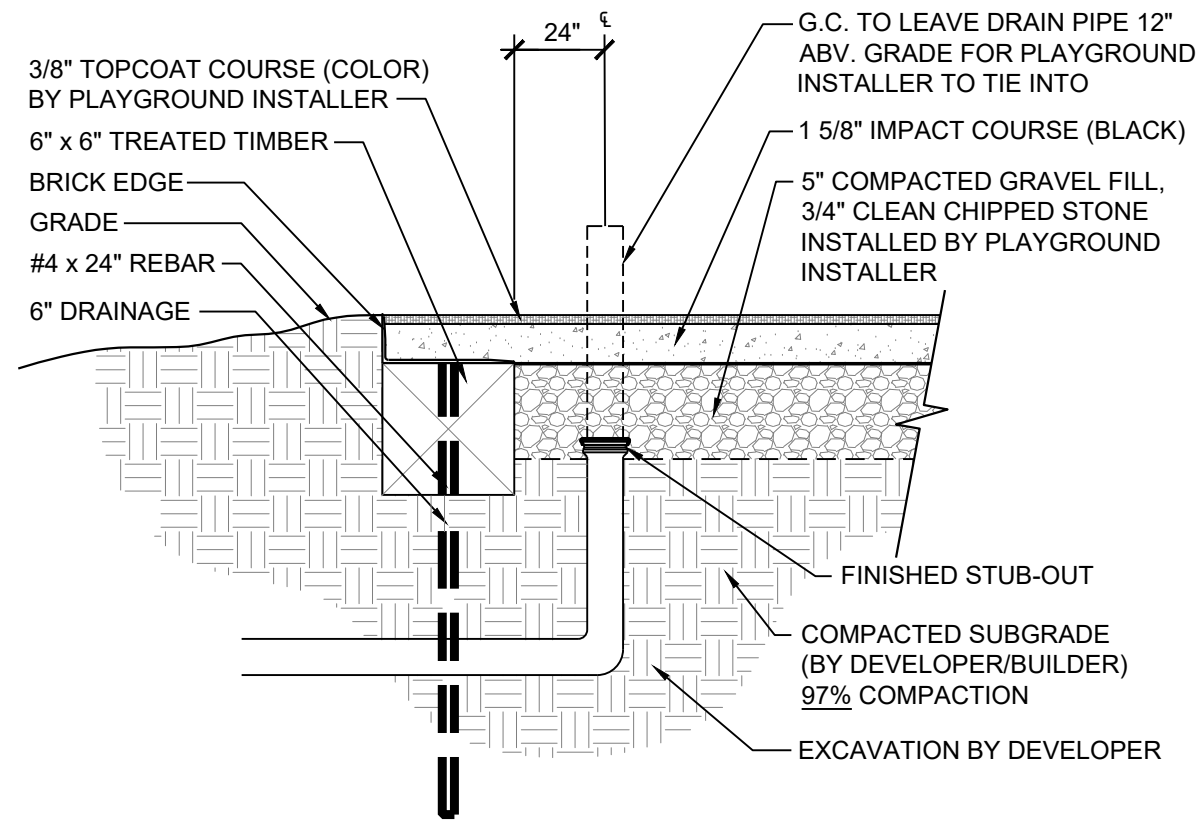
UTILITY NOTES

1. THERE SHALL BE NO UTILITIES RUN UNDER PLAYGROUND AREAS.
2. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE AND ORDER ALL NEW SERVICES, LOCATE AND MAINTAIN IN SERVICE ALL EXISTING UTILITIES ENCOUNTERED DURING CONSTRUCTION UNLESS OTHERWISE INDICATED IN THE DRAWINGS. ANY PIPING, WHICH CAN BE REMOVED DURING CONSTRUCTION WITHOUT UNDUE INTERRUPTION OF SERVICE MAY BE REMOVED AND REPLACED BY THE CONTRACTOR, AT HIS EXPENSE WITH THE PERMISSION OF THE OWNER.
3. BEFORE WORKING WITH OR AROUND EXISTING UTILITIES, THE APPLICABLE UTILITY COMPANY SHALL BE CONTACTED BY THE CONTRACTOR.
4. WHEN CONNECTIONS ARE TO BE MADE TO EXISTING PIPING AND STRUCTURES OR WHERE CONSTRUCTION IS IN THE VICINITY OF EXISTING PIPING, THE LOCATION AND ELEVATION OF THE EXISTING PIPING SHALL BE FIELD VERIFIED. NOTIFICATION SHALL BE GIVEN TO THE OWNER IF THE EXISTING PIPING IS FOUND TO BE DIFFERENT THAN THAT SHOWN ON THE DRAWINGS.
5. FOR CLARITY OF THESE DRAWINGS, PIPES MAY NOT BE DRAWN TO SCALE OR EXACTLY LOCATED.
6. CONTRACTOR TO PROVIDE SURFACE MOUNT EXTERIOR GRADE PHONE CABINET AND PHONE. 48" MIN. TO 60" MAX. AFF. TO PROTRUDE 4" MAX. FROM FACE OF WALL. SEE HOFFMAN ATC12124S TYPE 1 STEEL CABINET. PAINT TO MATCH ADJACENT WALL COLOR.
7. CONTRACTOR TO COORDINATE INTERNET SERVICE AND COAX INSTALL AND LOCATIONS WITH OWNER AND GSI REPRESENTATIVE.



09 PLAYGROUND DRAINAGE DETAIL

SCALE: 1/2" = 1'-0"



05 PLAYGROUND DRAINAGE DETAIL

SCALE: 1-1/2" = 1'-0"



CAUTION!!
THE LOCATIONS AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OR ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT UTILITY LOCATIONS AND ELEVATIONS PRIOR TO THE START OF CONSTRUCTION.

CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, CONSTRUCTION CONTRACTOR WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT INCLUDING SAFETY OF ALL PERSONS AND PROPERTY. THAT THIS REQUIREMENT SHALL BE MADE TO APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS, AND CONSTRUCTION CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD DESIGN PROFESSIONAL HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE DESIGN PROFESSIONAL.

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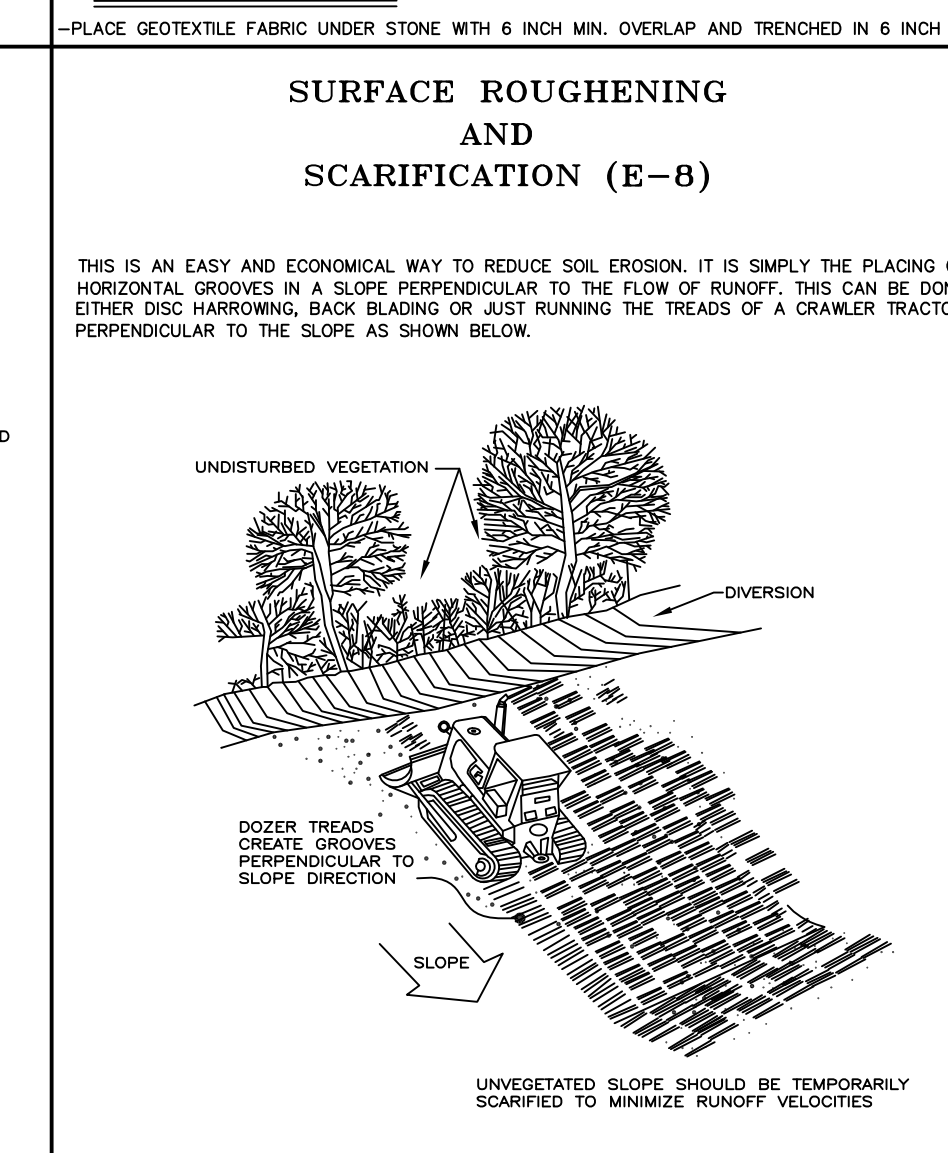
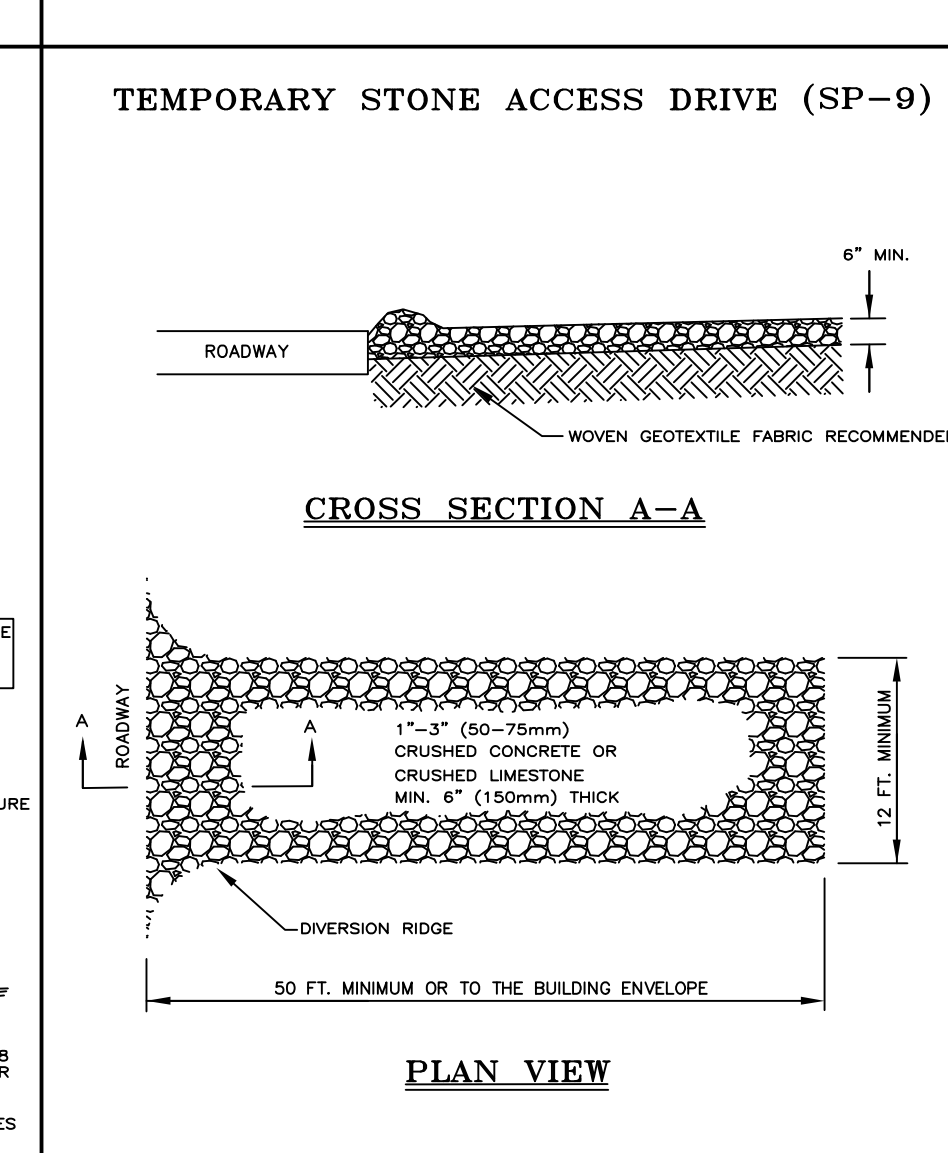
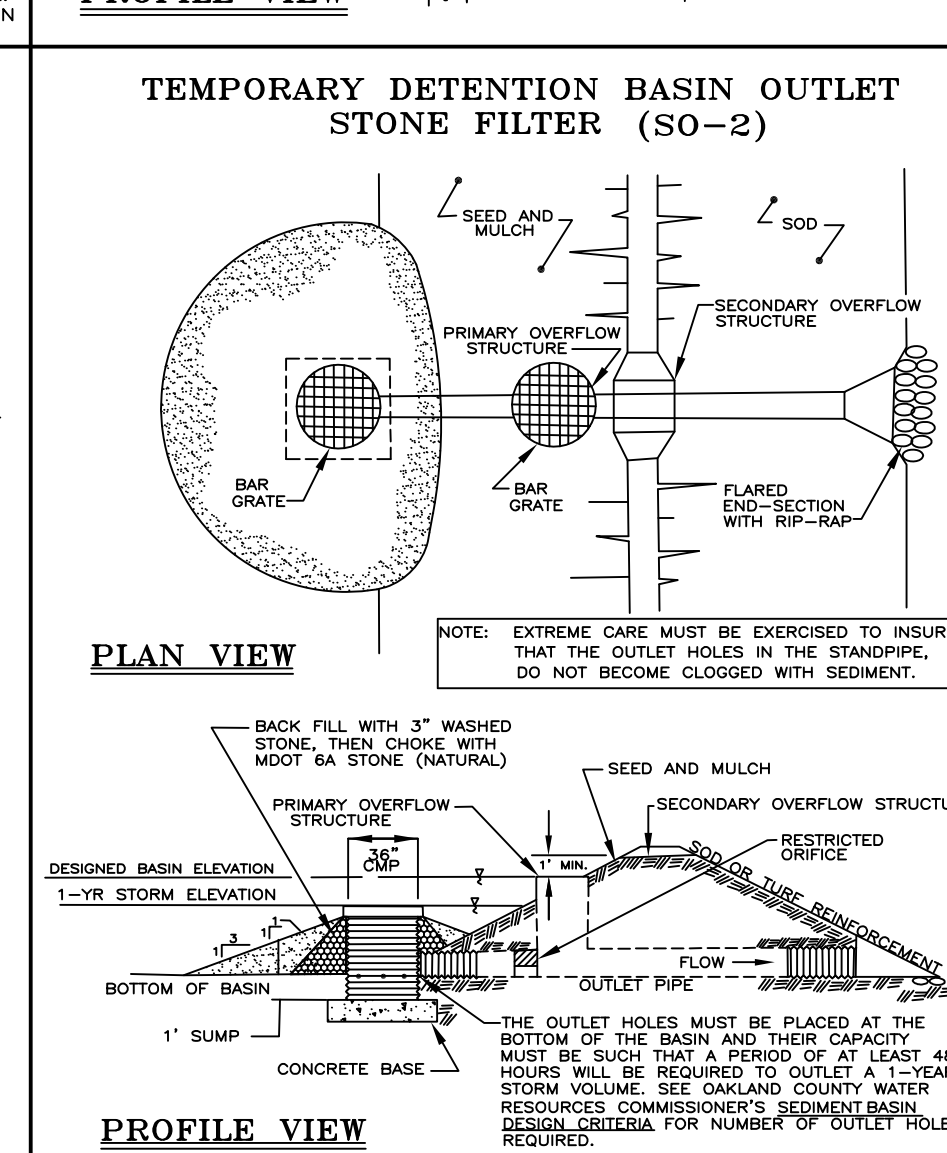
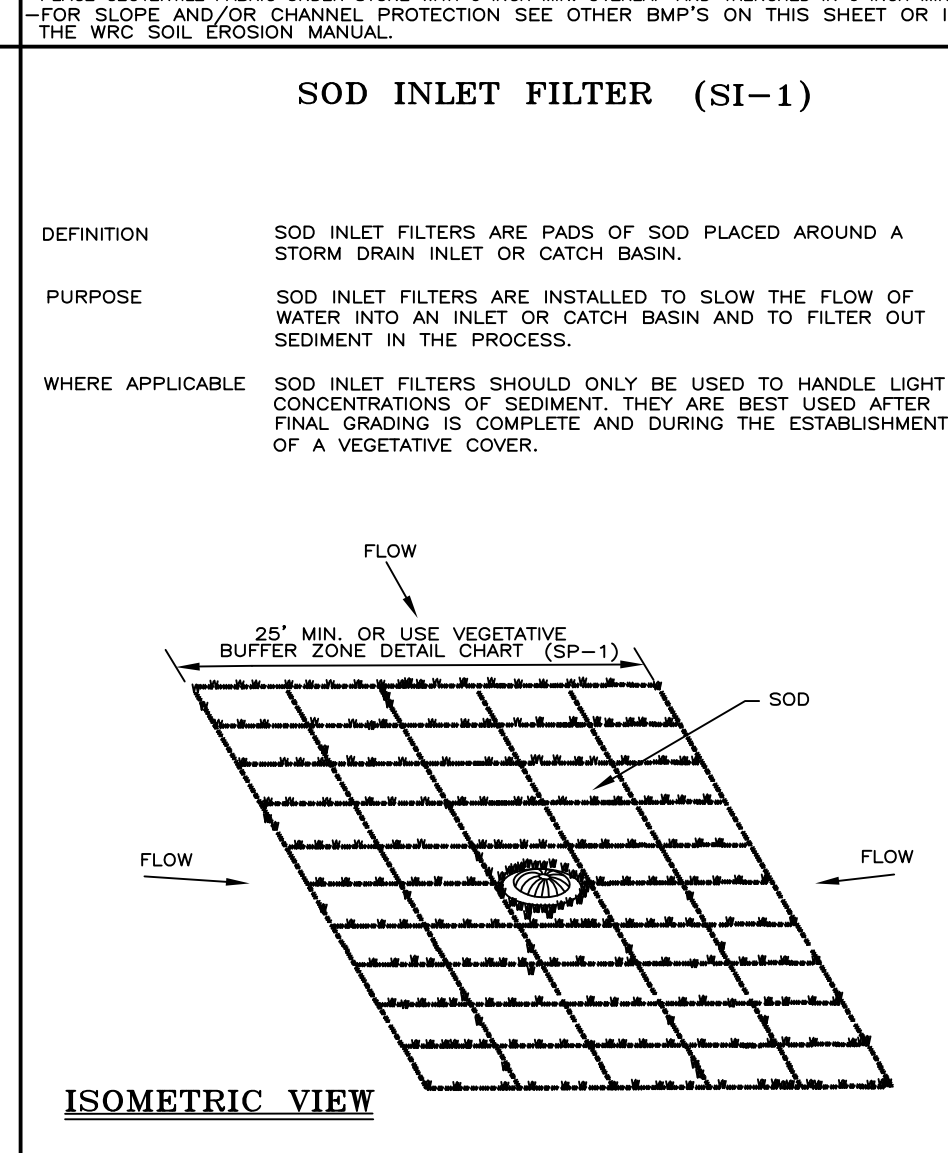
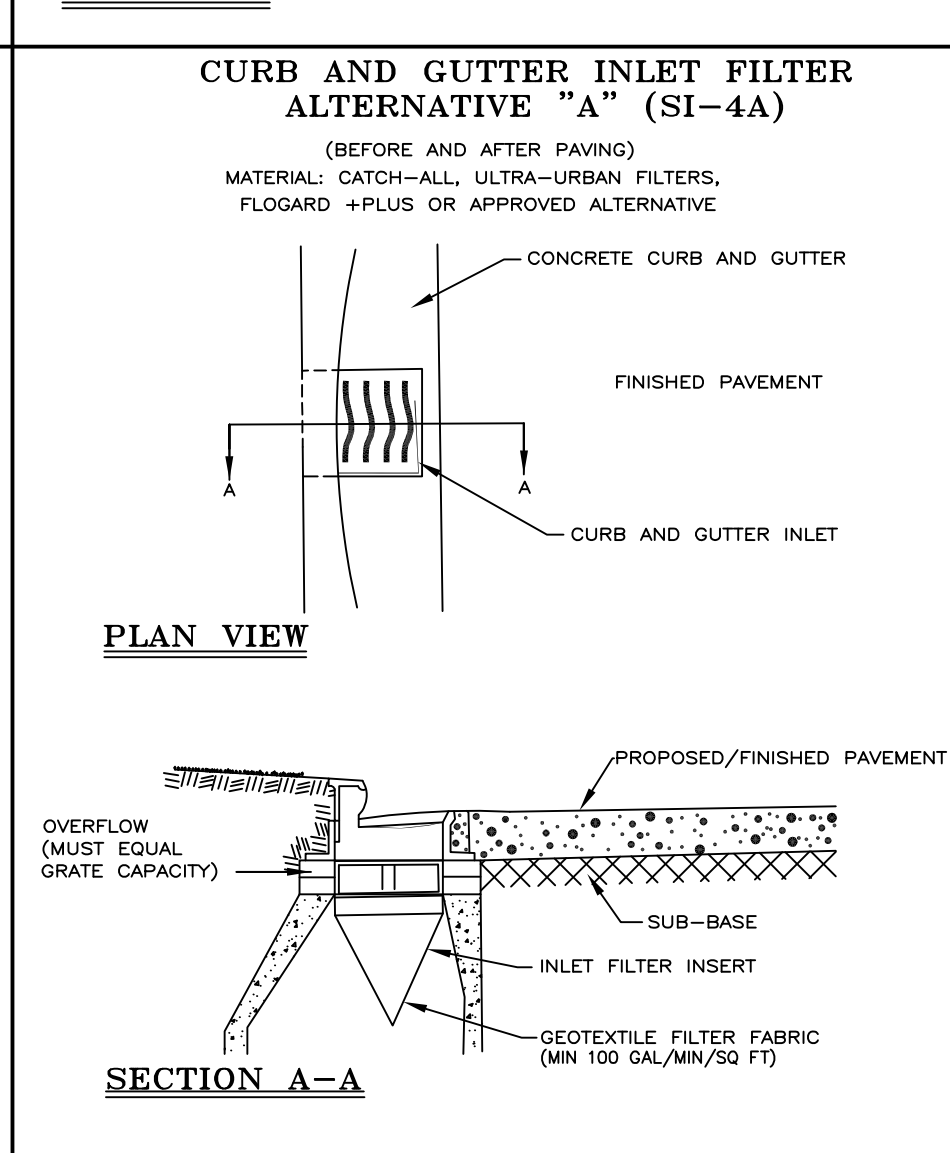
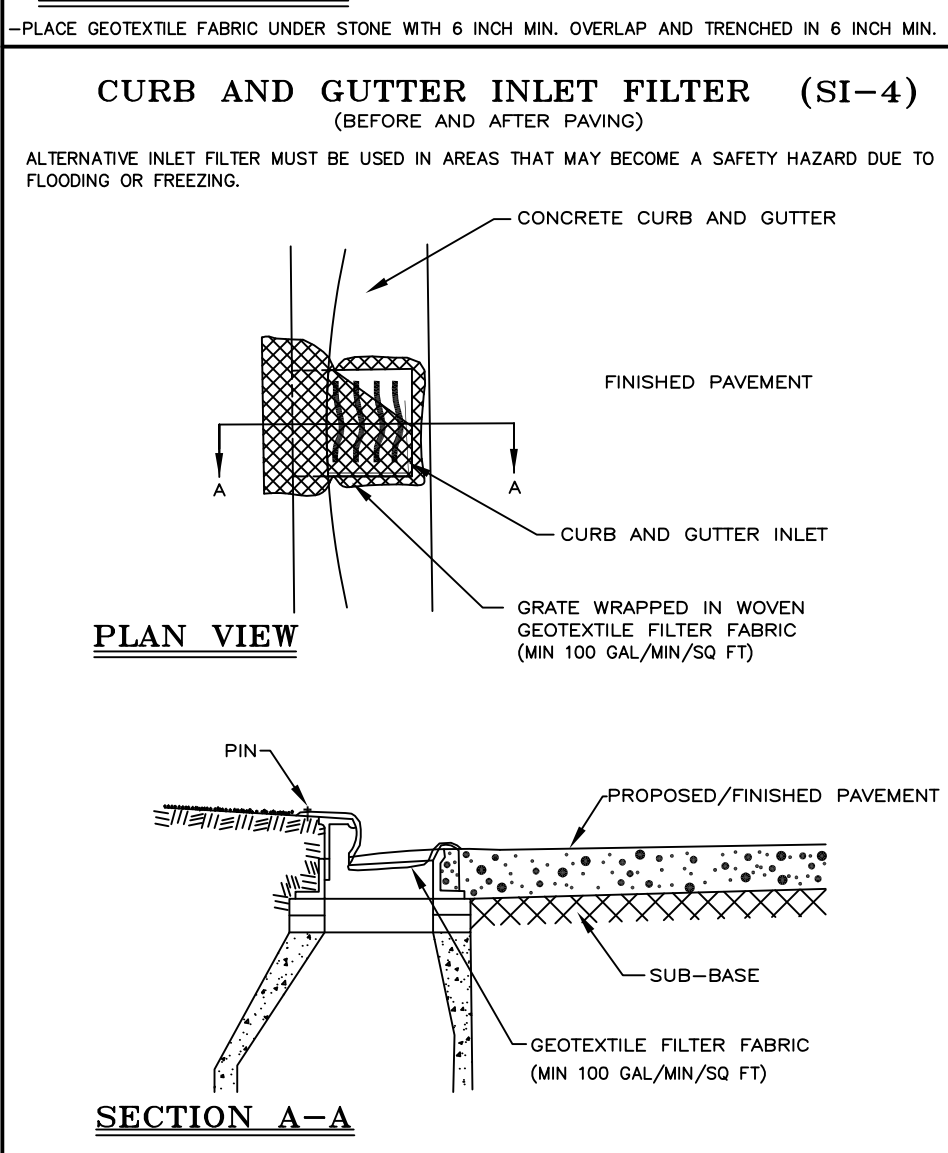
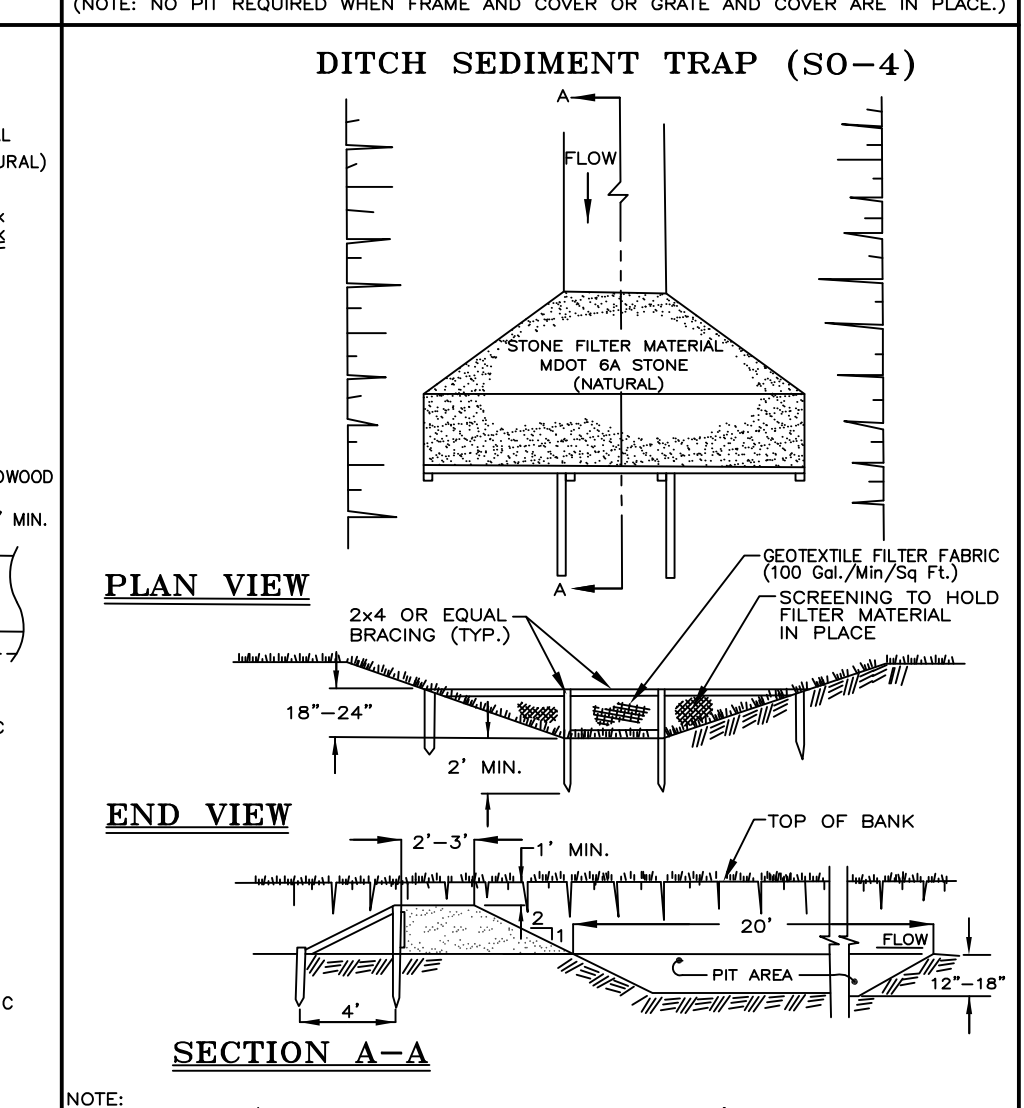
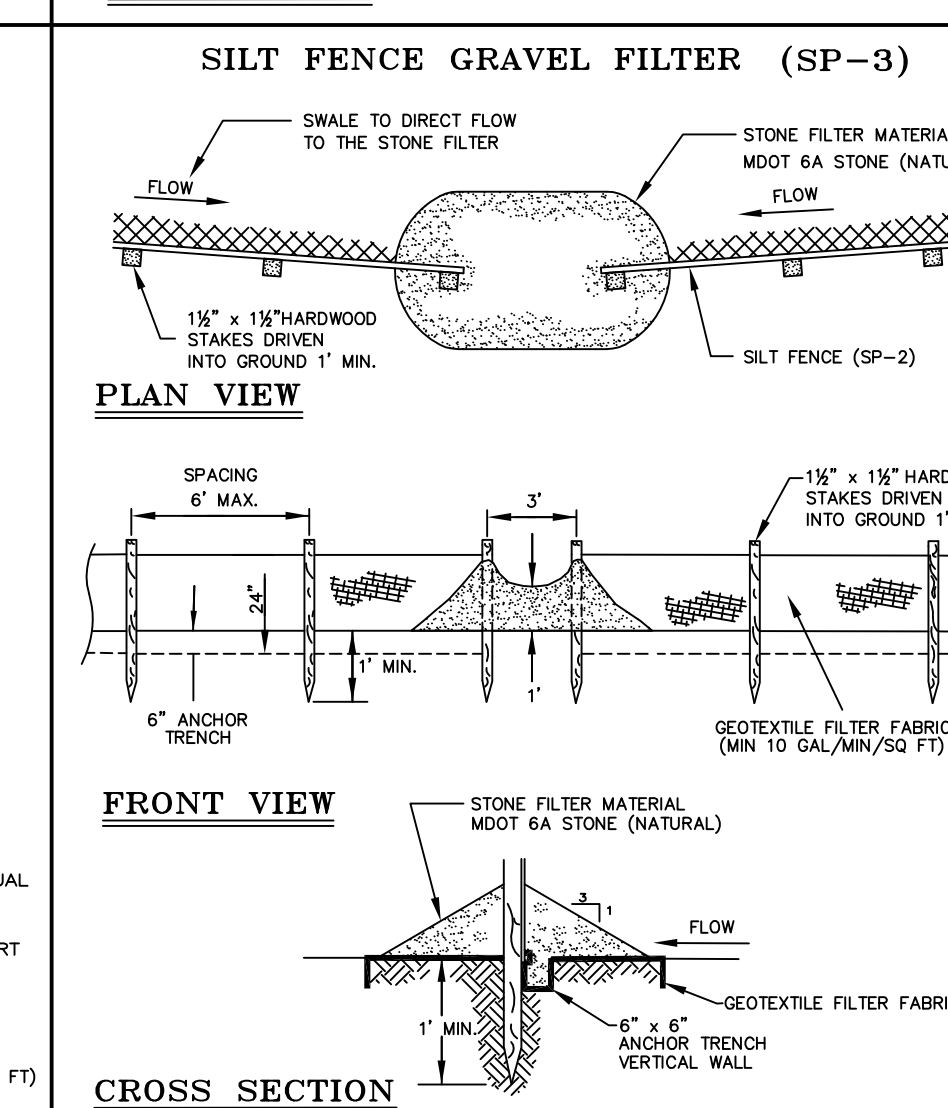
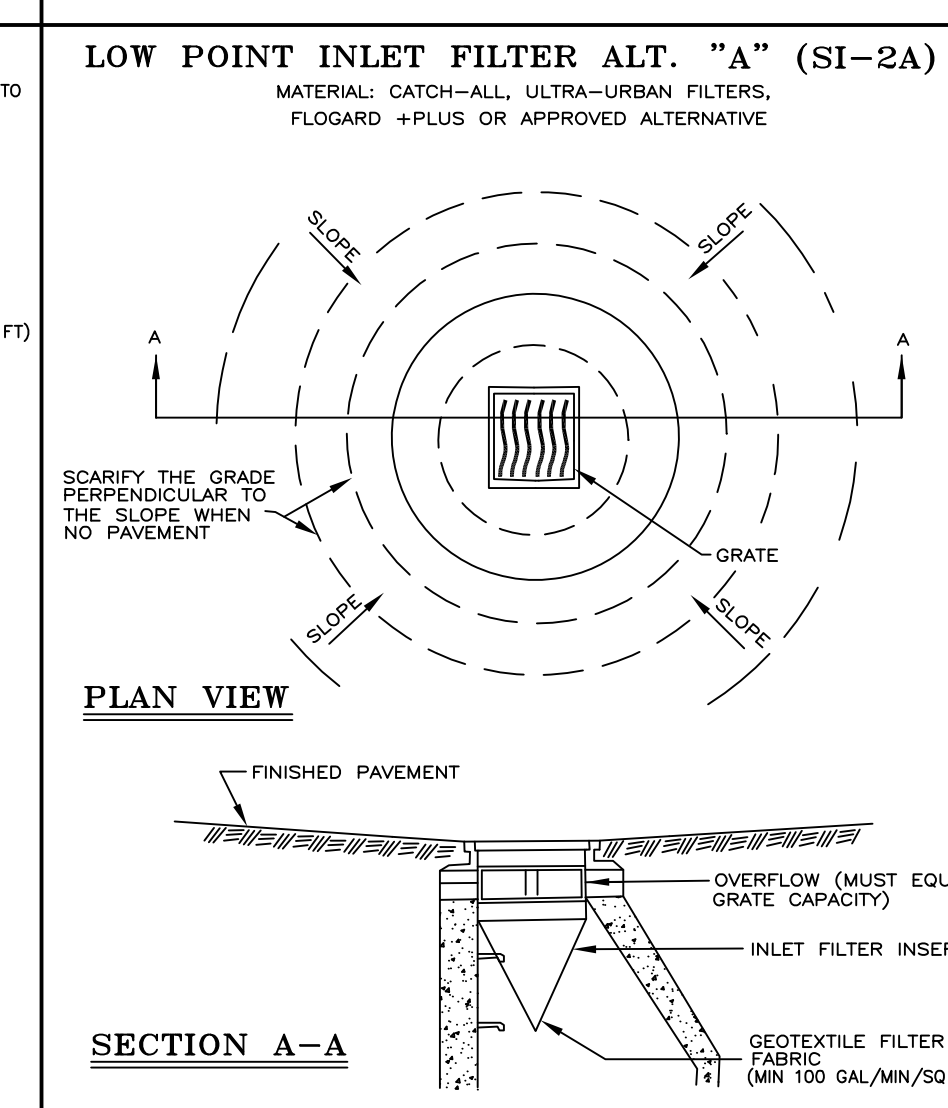
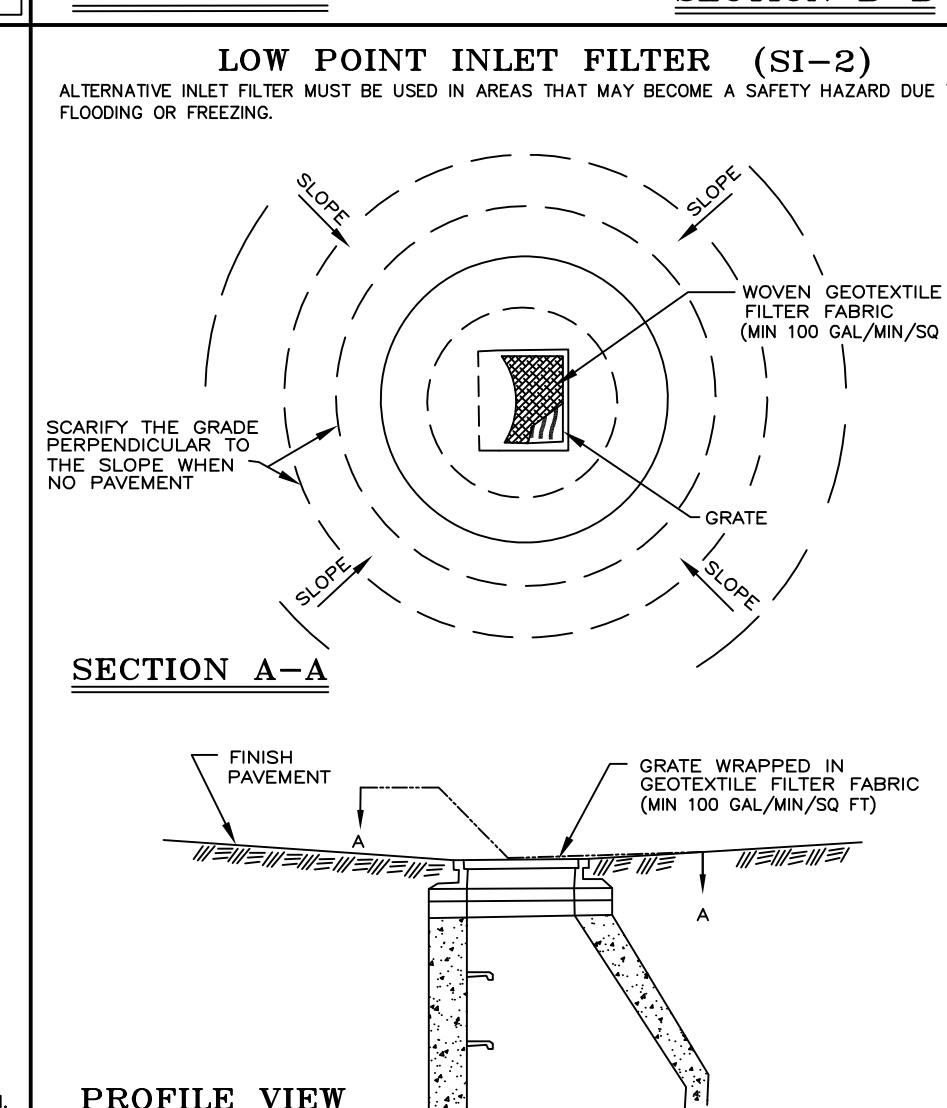
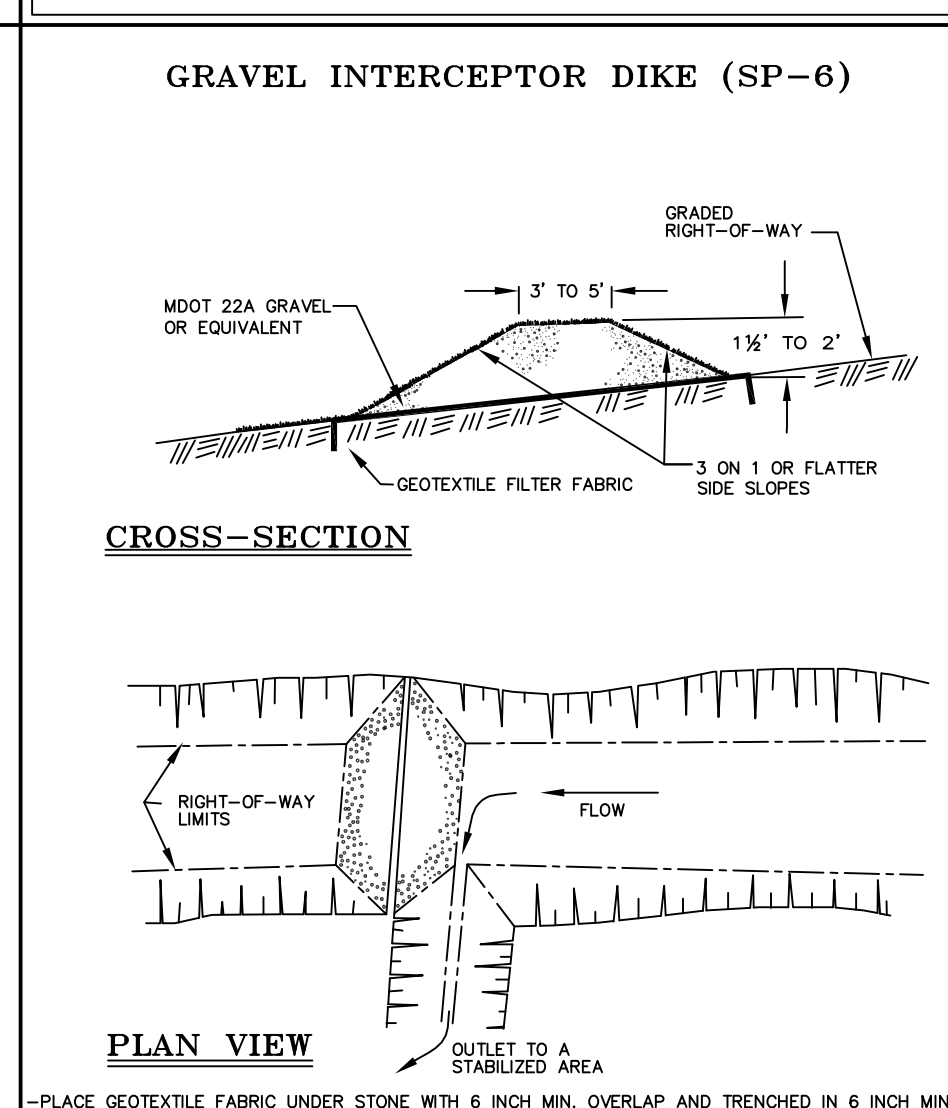
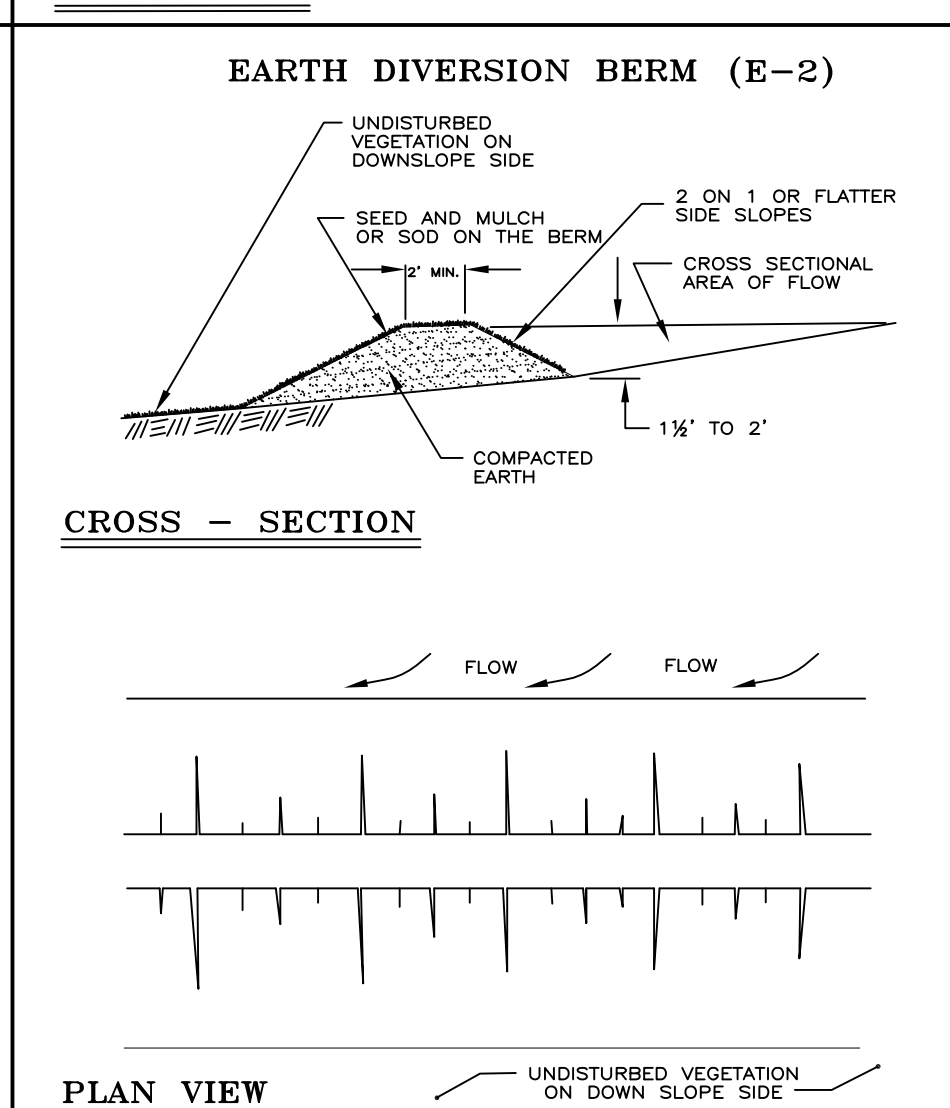
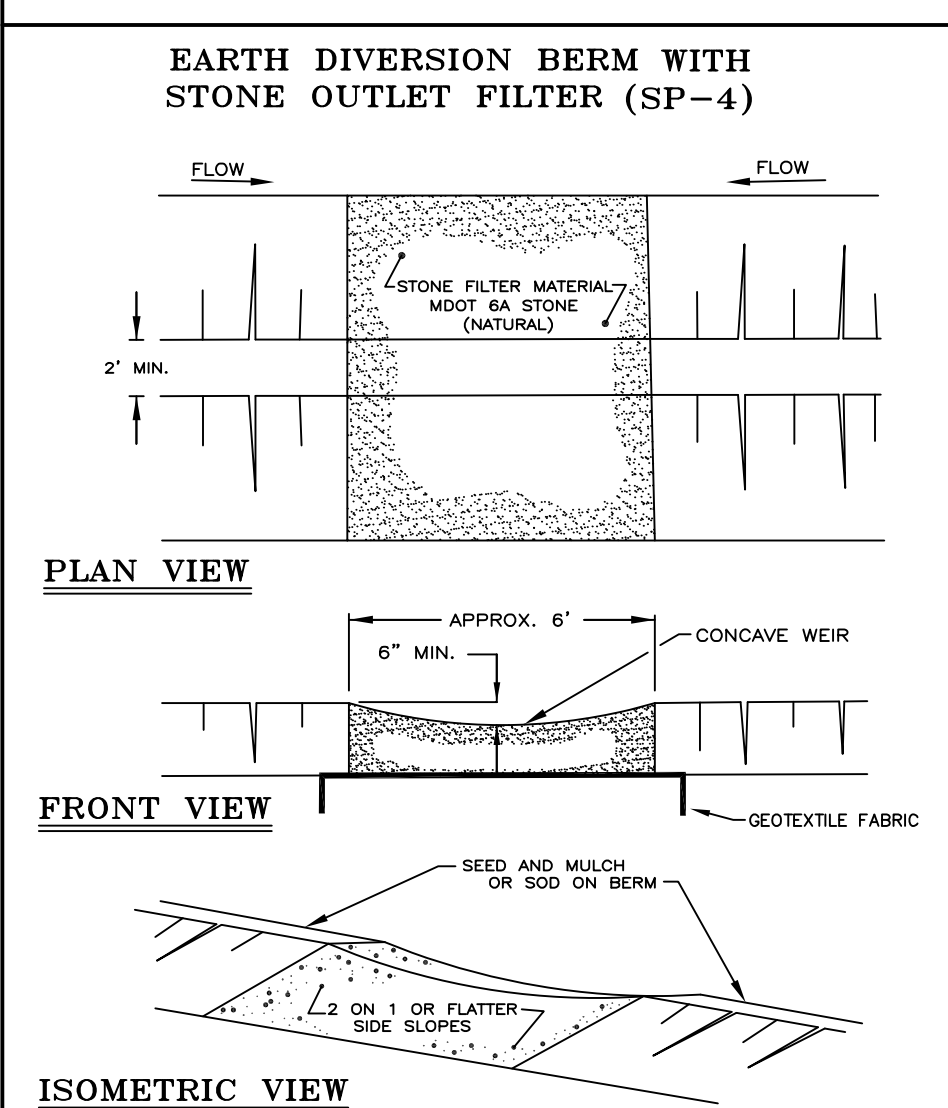
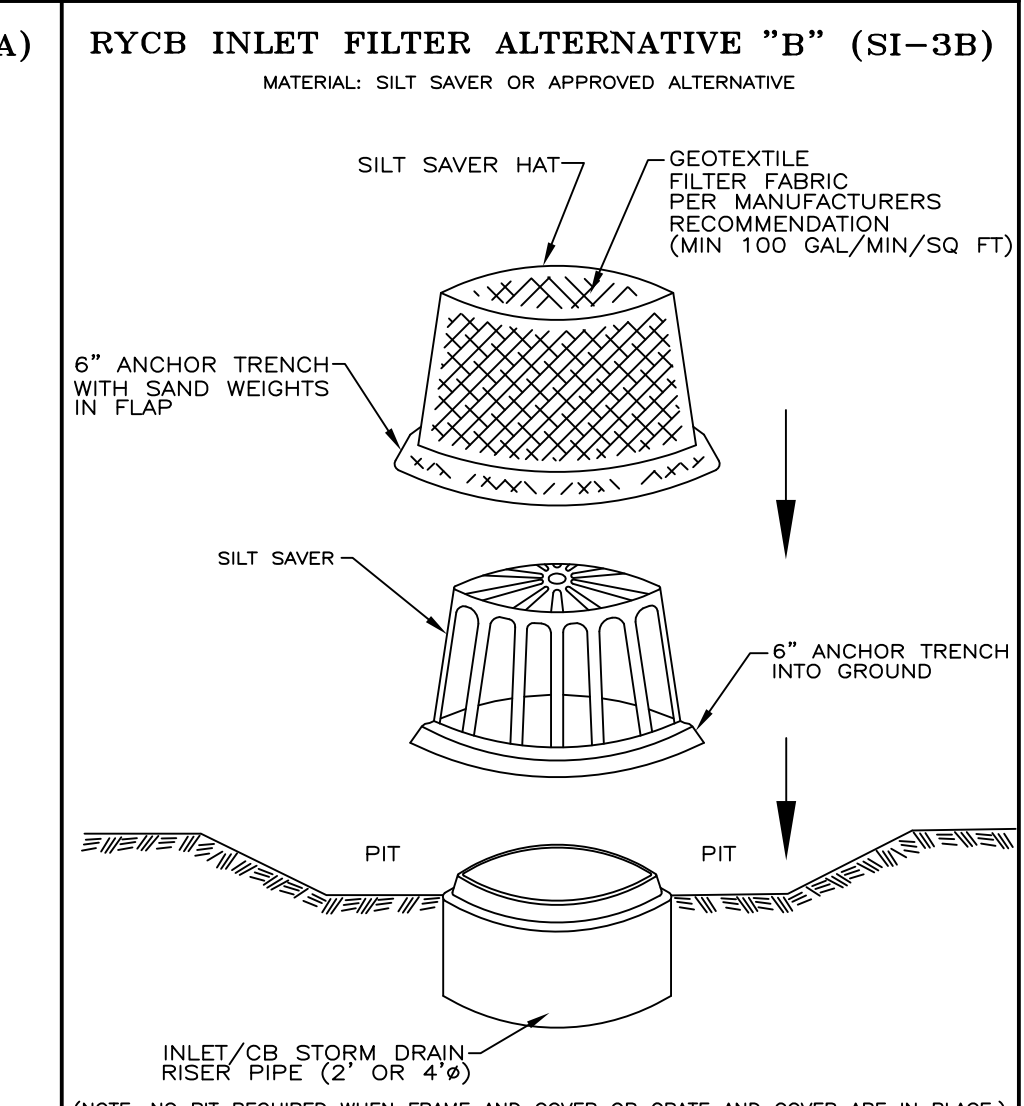
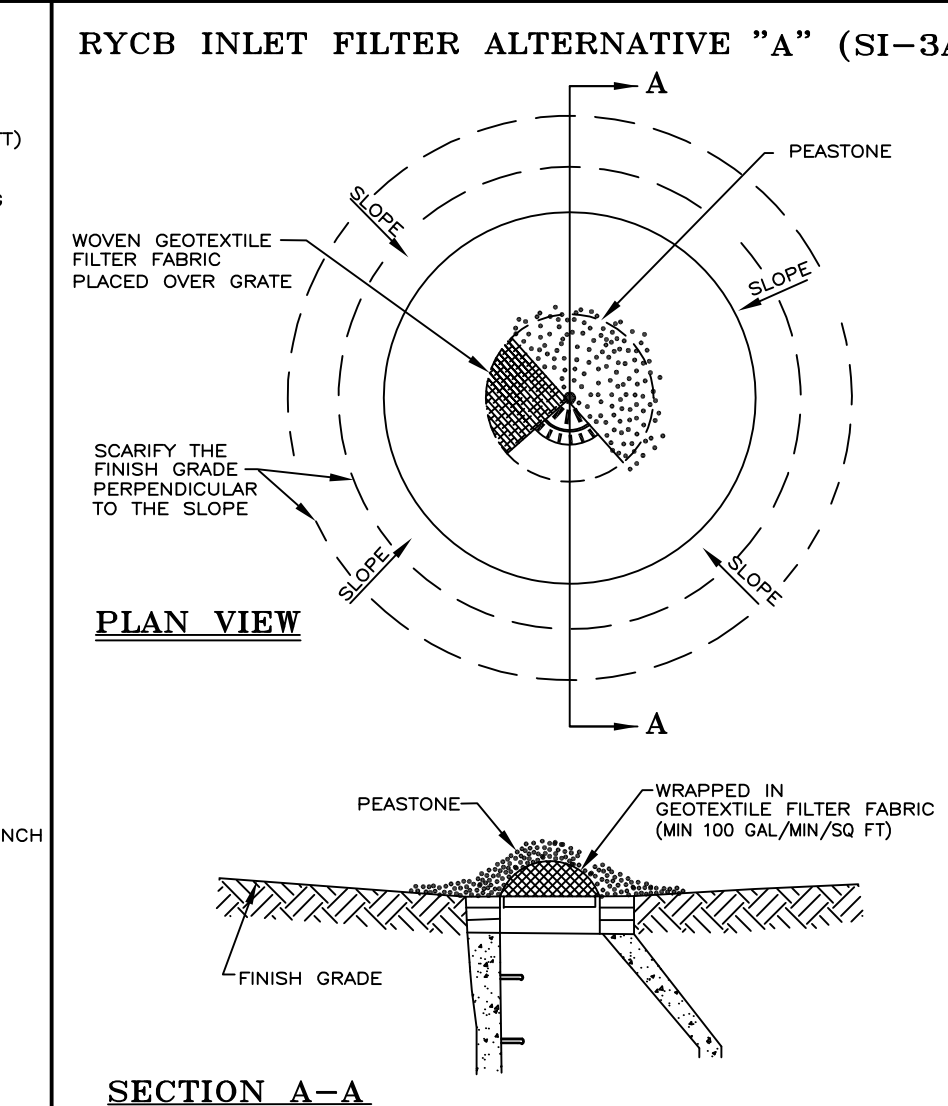
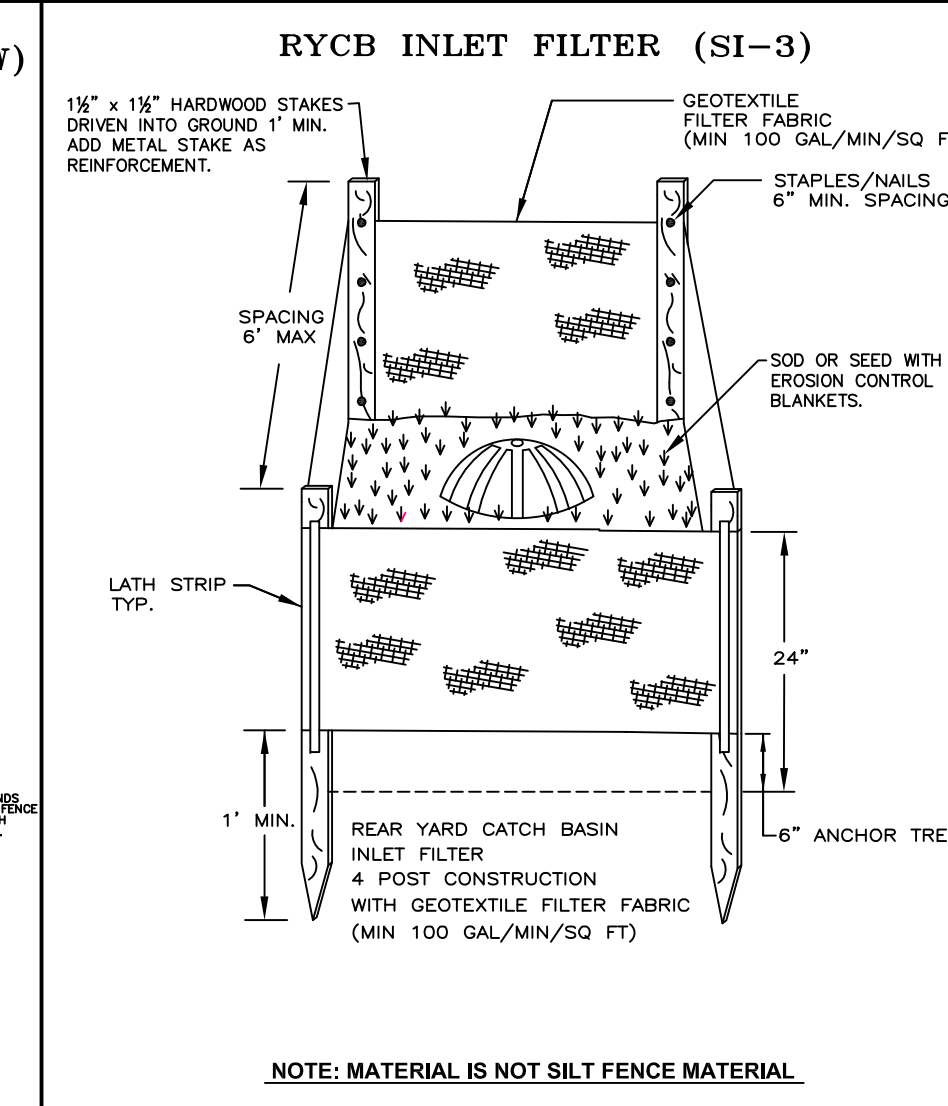
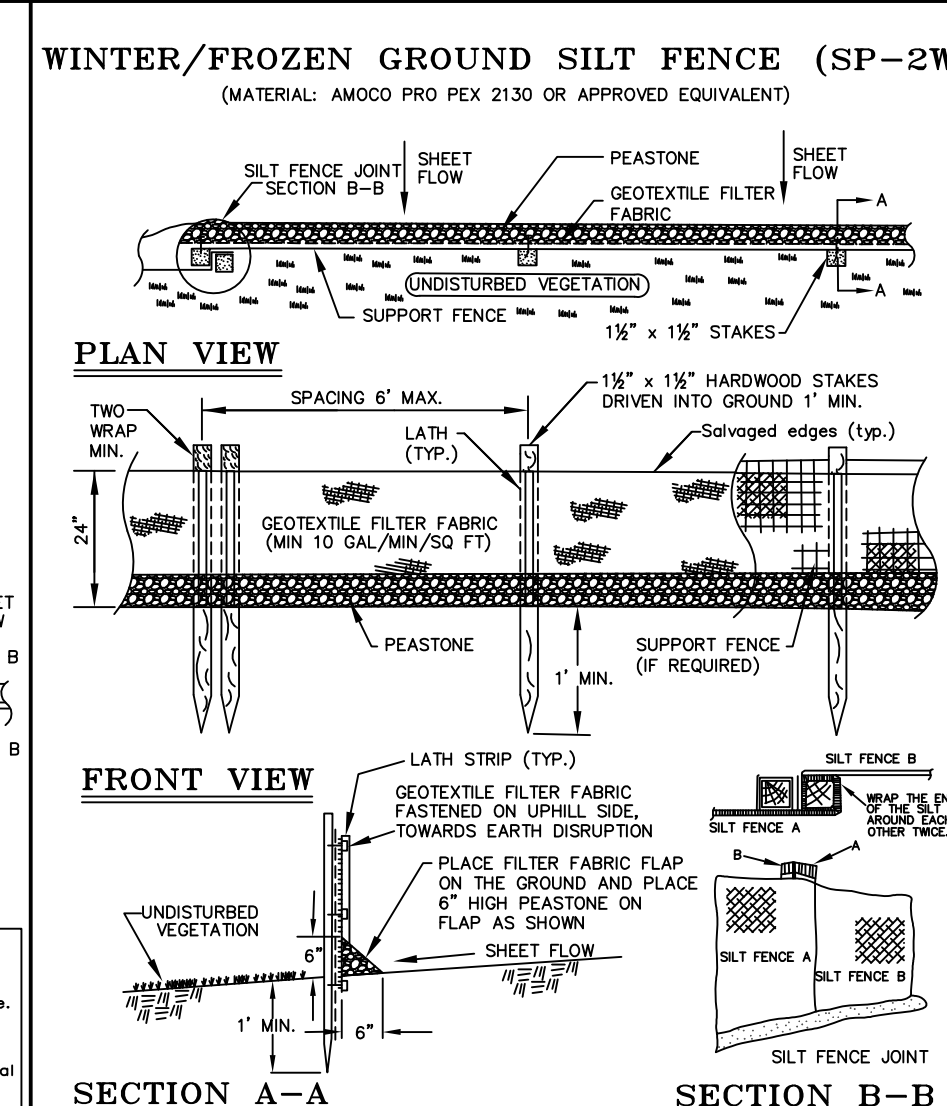
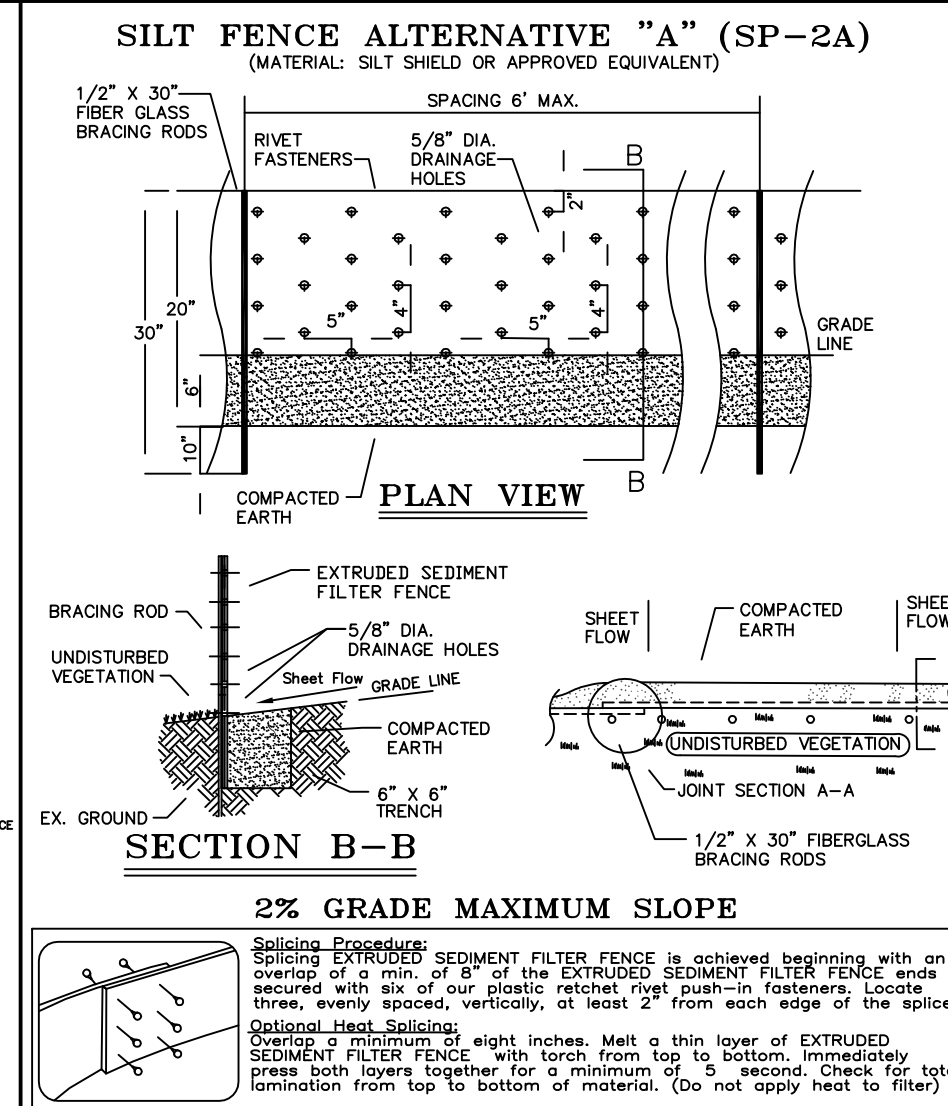
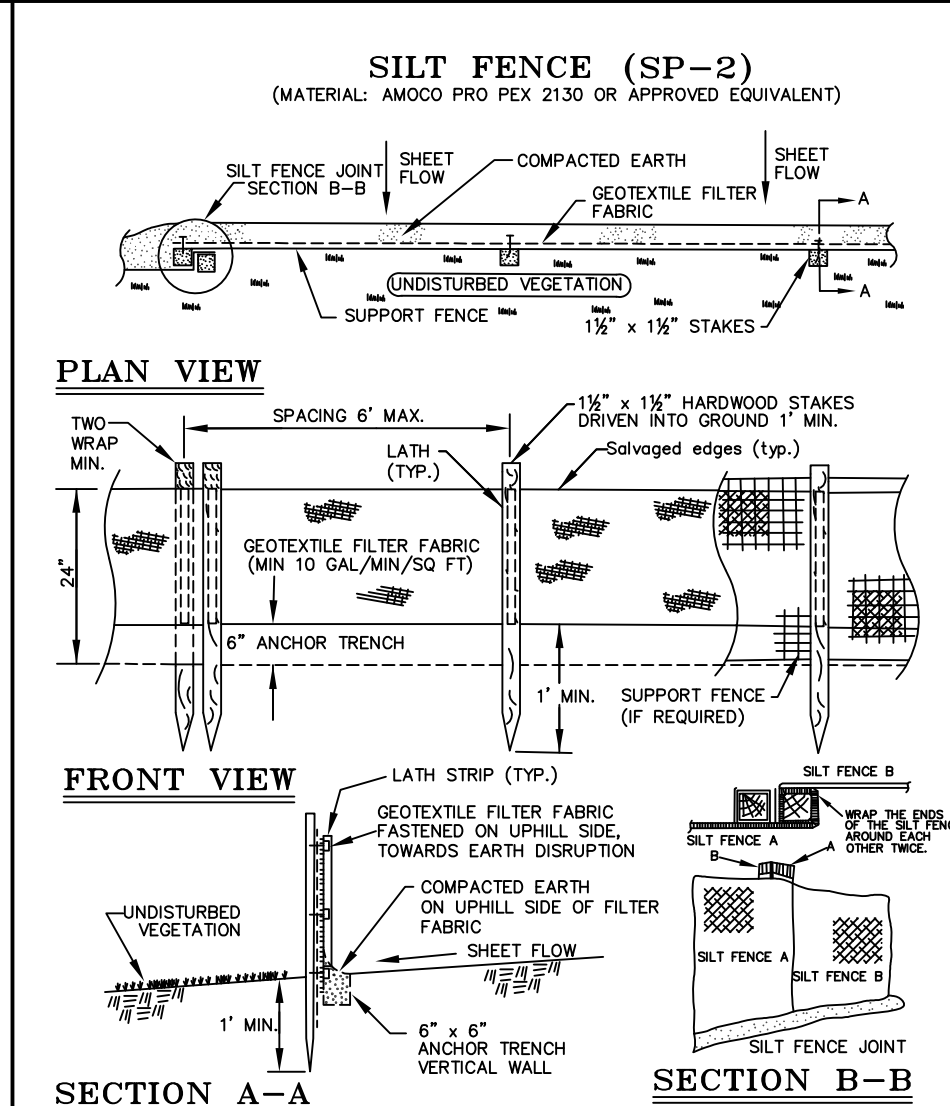
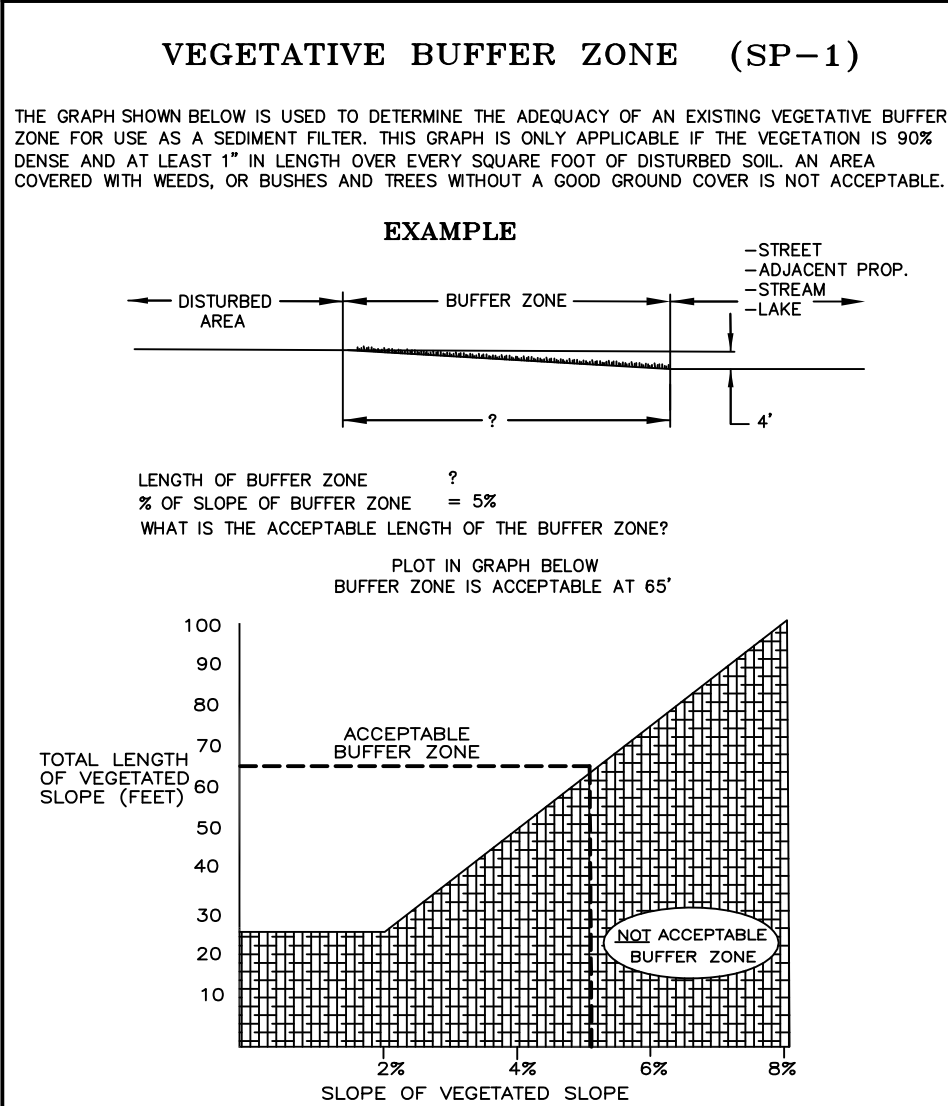
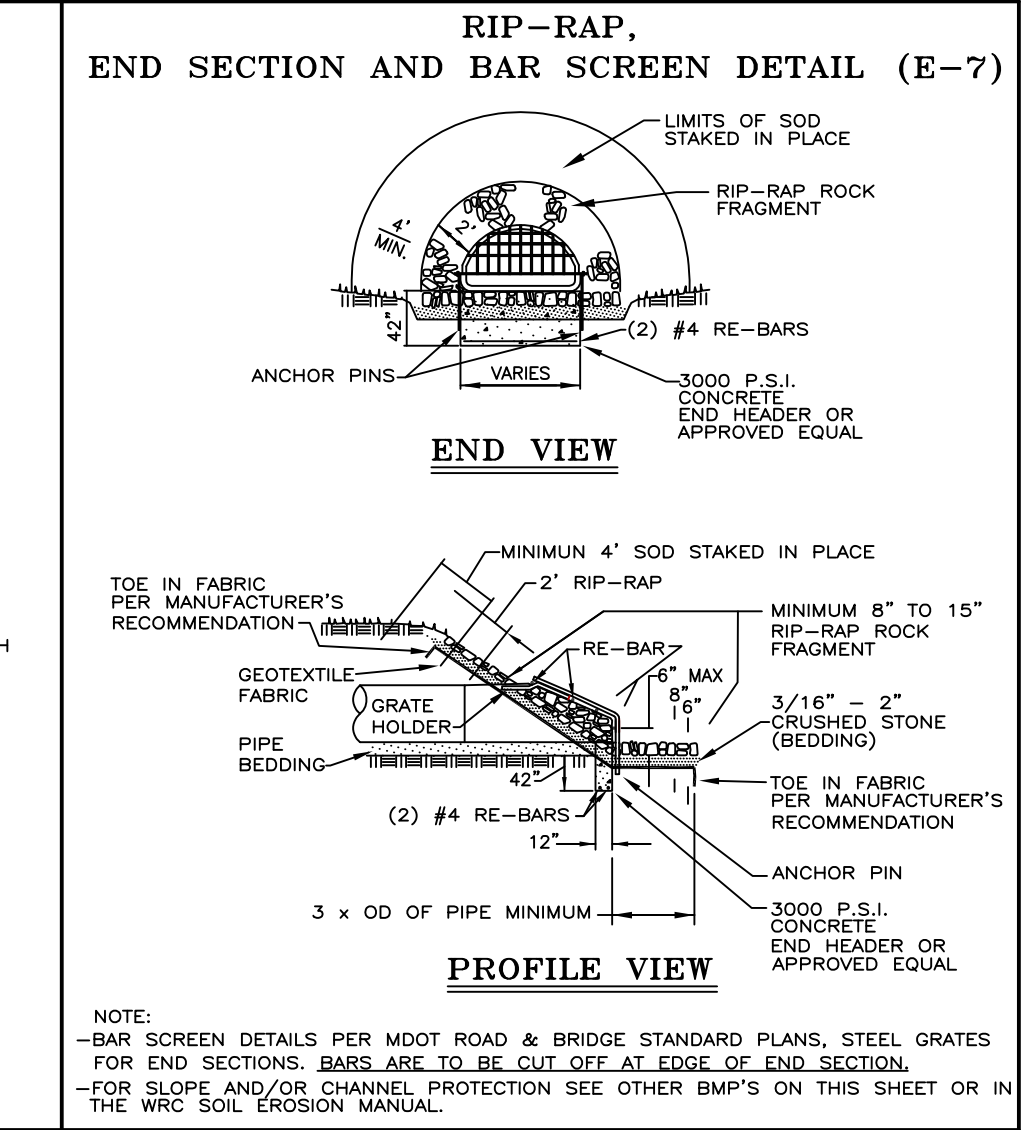
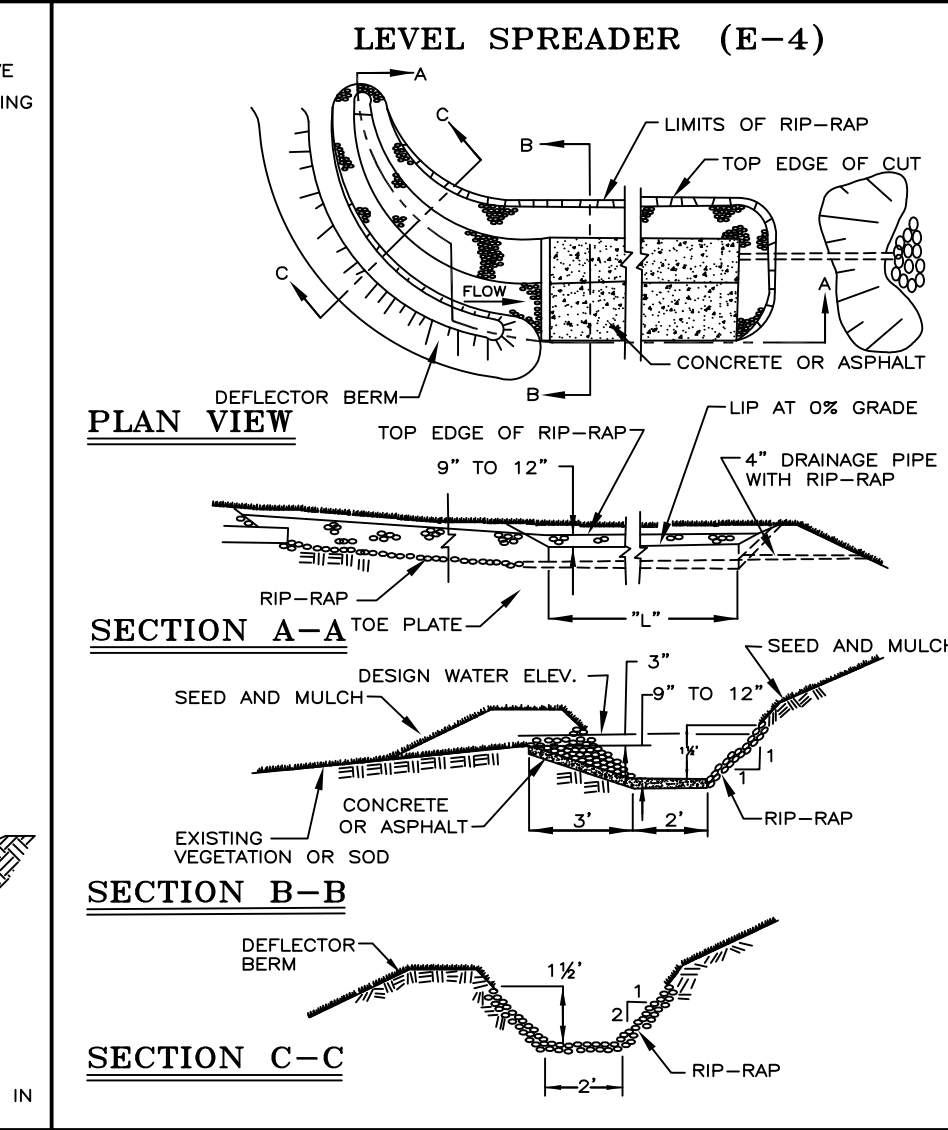
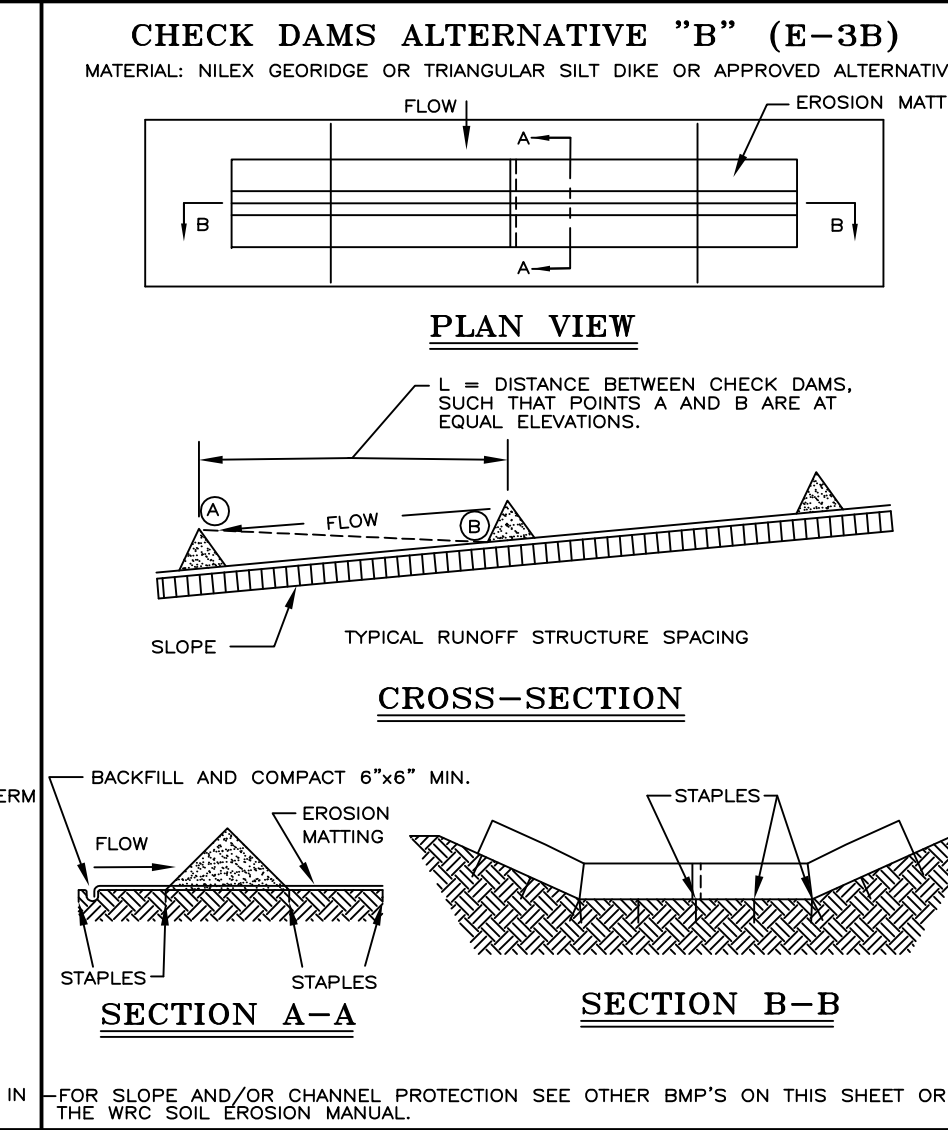
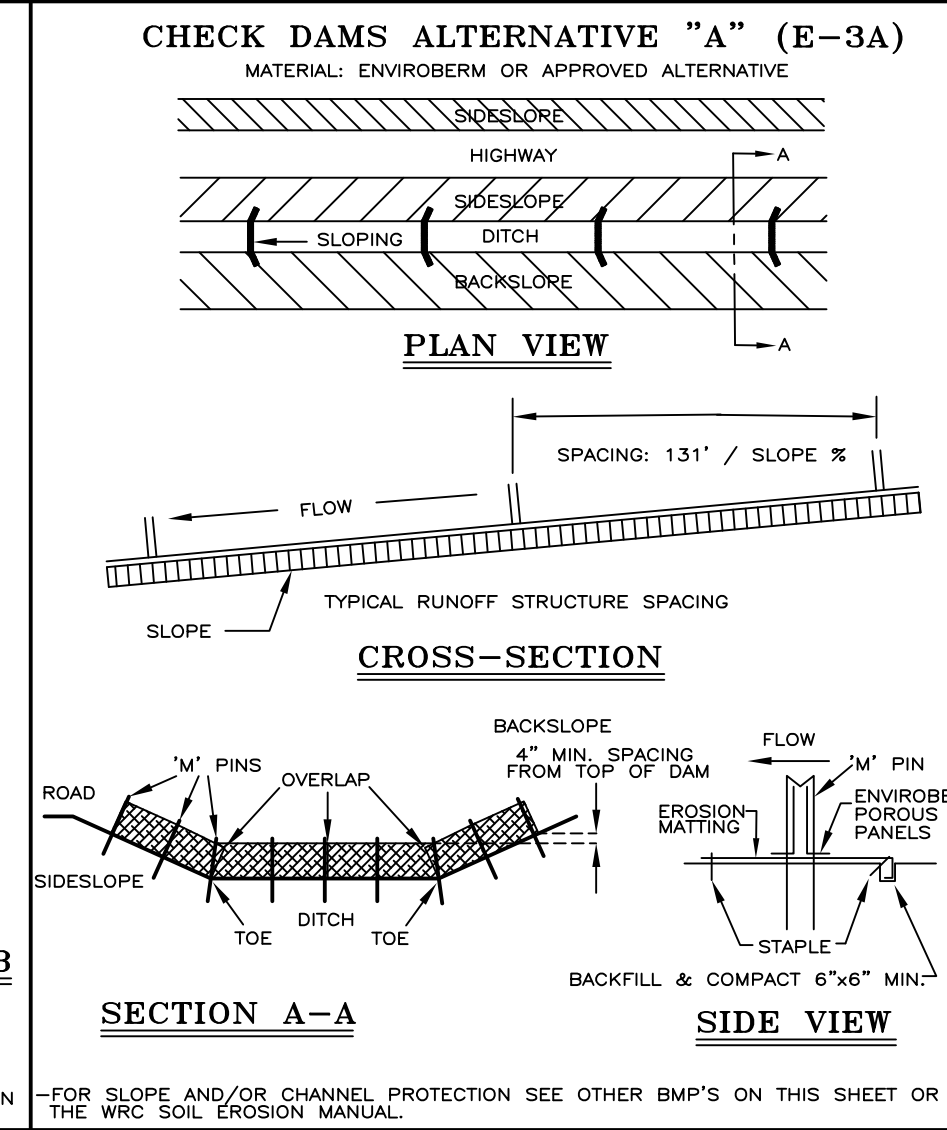
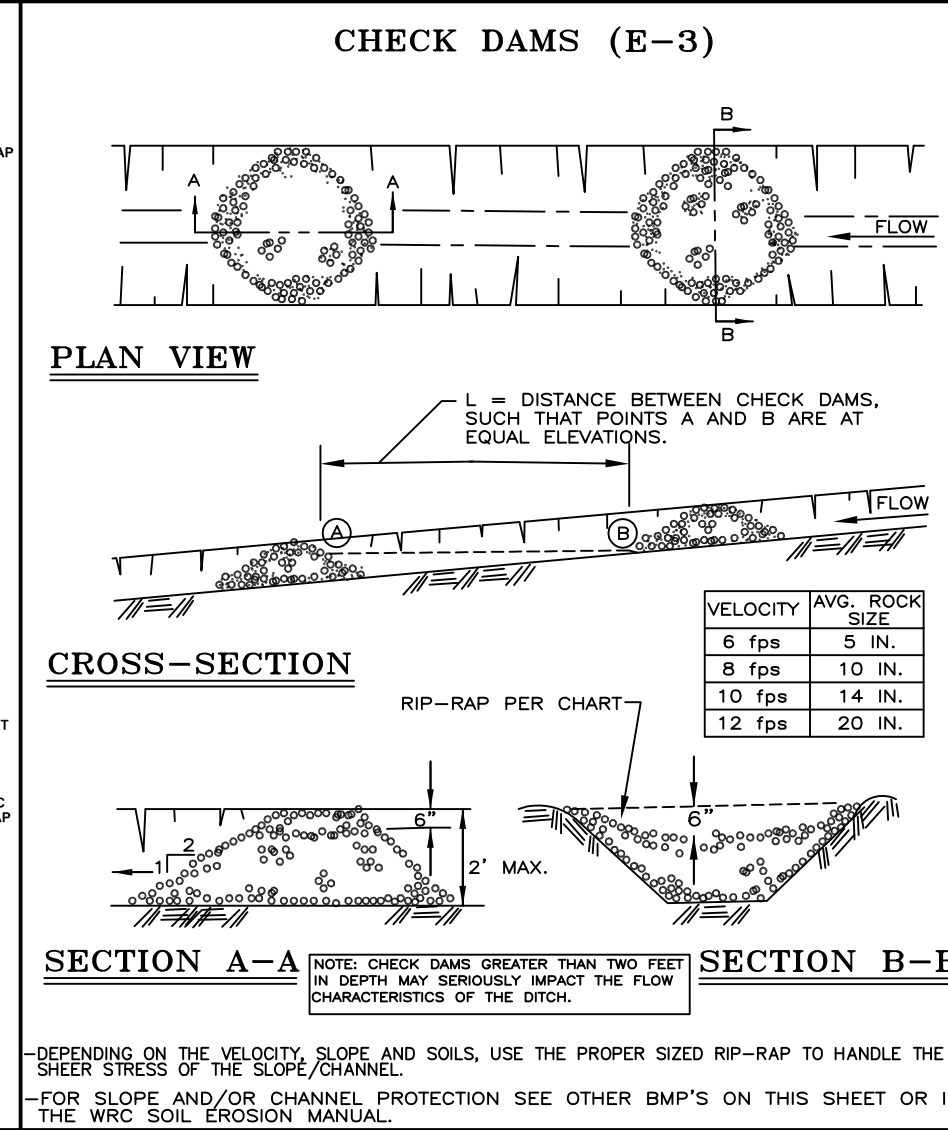
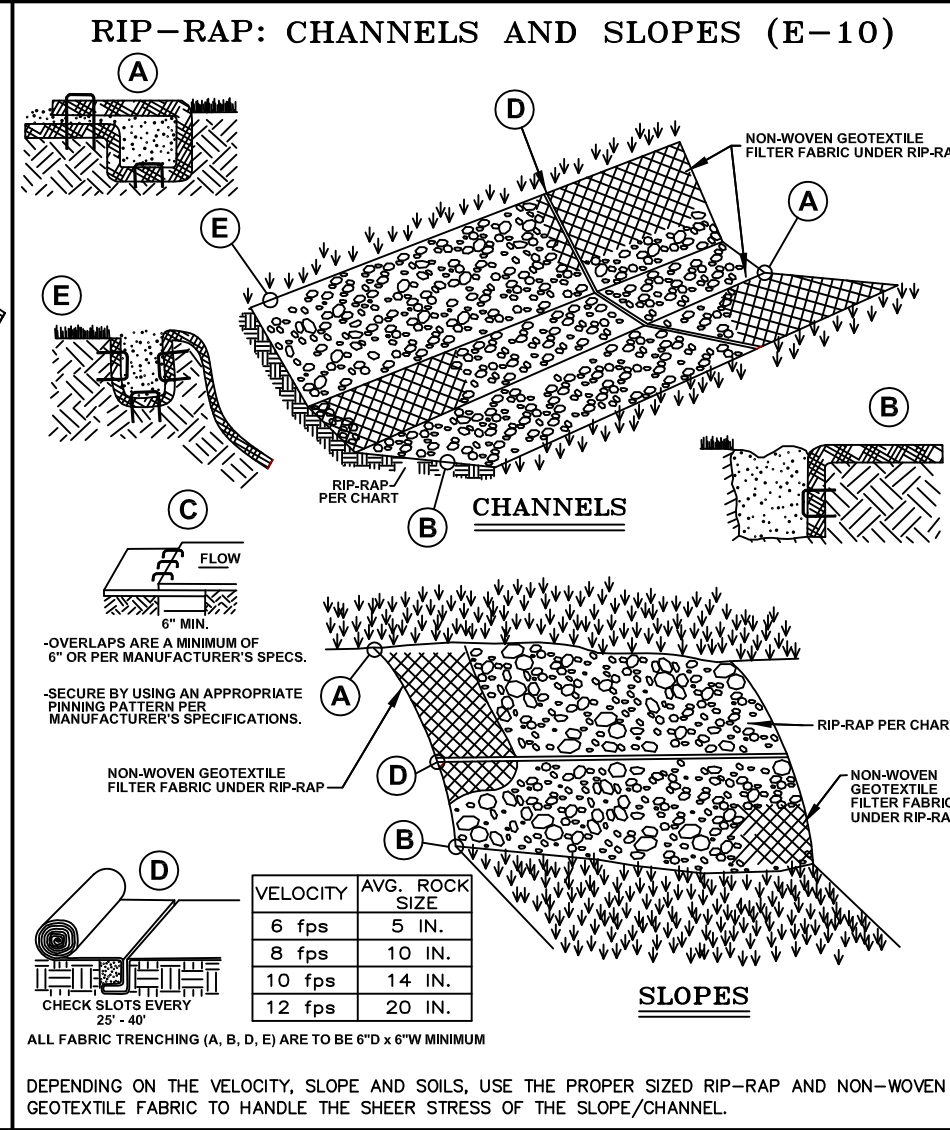
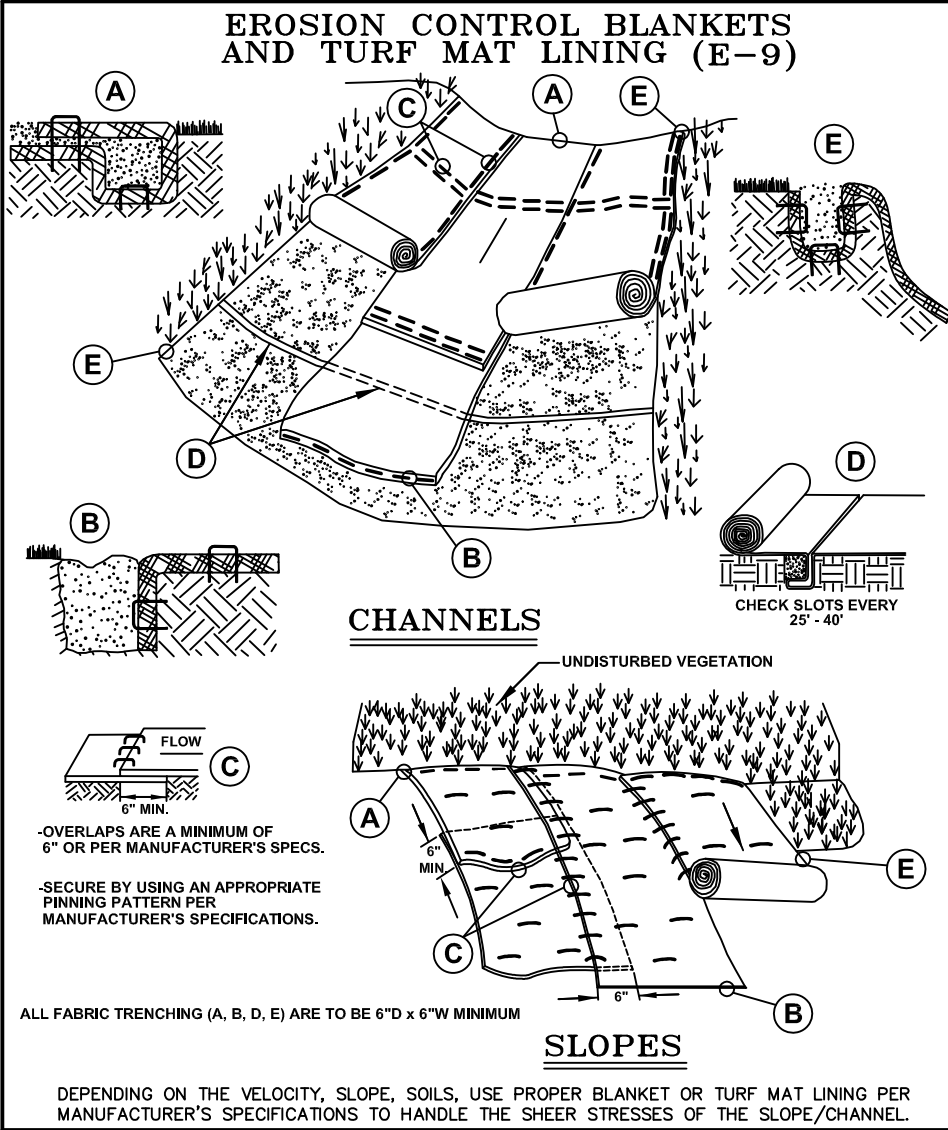
THE GODDARD SCHOOL OF BEVERLY HILLS		935 E SILVERBELL ROAD LAKE ORION, MI 48060		PLAYGROUND DETAILS - 2		THE GODDARD SCHOOL - BEVERLY HILLS		TIN RIDE SE 1/4 SECTION 2, VILLAGE OF BEVERLY HILLS, OAKLAND COUNTY, MI	
DES.	TSS	DN	TSS	SUR.	TSS	P.M.	TSS	8/30/2021 08:00:00 PROJECTS 2021-008 GODDARD SCHOOL - BEVERLY HILLS SITE PLANS GSI-2.0 PLAYGROUND DETAILS	

ORIGINAL ISSUE DATE:
7/9/2021

Project No. 2021-008

SCALE: N/A'

DRAWING NUMBER:
GSI-2.0



NOTE:

WHILE PERFORMING WORK INVOLVING GROUNDS MAINTENANCE AND/OR THE CONSTRUCTION/MAINTENANCE OF ANY INFRASTRUCTURE, INCLUDING ROADS, WATER MAINS, SANITARY SEWERS, STORM DRAINS AND STORM WATER BEST MANAGEMENT PRACTICES (BMPs), CONTRACTORS SHALL MINIMIZE POLLUTION FROM STORM WATER RUNOFF THAT CAN AFFECT WATER QUALITY RELATED TO WORK ACTIVITIES. POLLUTANTS THAT COULD IMPAIR WATER QUALITY MAY INCLUDE FUEL, GREASE AND OIL, NUTRIENTS, BACTERIA AND PATHOGENS, LITTER AND DEBRIS, AND SOIL EROSION AND SEDIMENTATION. APPLICABLE BMPs SHALL BE IMPLEMENTED BY THE CONTRACTOR TO THE MAXIMUM EXTENT PRACTICABLE TO PROTECT WATER QUALITY AND WILDLIFE HABITAT.

SOIL EROSION AND SEDIMENTATION CONTROL DETAILS

REVISION BLOCK

Rev.	By	Desc.
1	WRC	DESIGNED
2	WRC	REVIEWED
3	WRC	APPROVED

ORIG. DATE: 01/01/01

SCALE: NONE

DESIGNED BY: WRC

DRAWN BY: Mapping

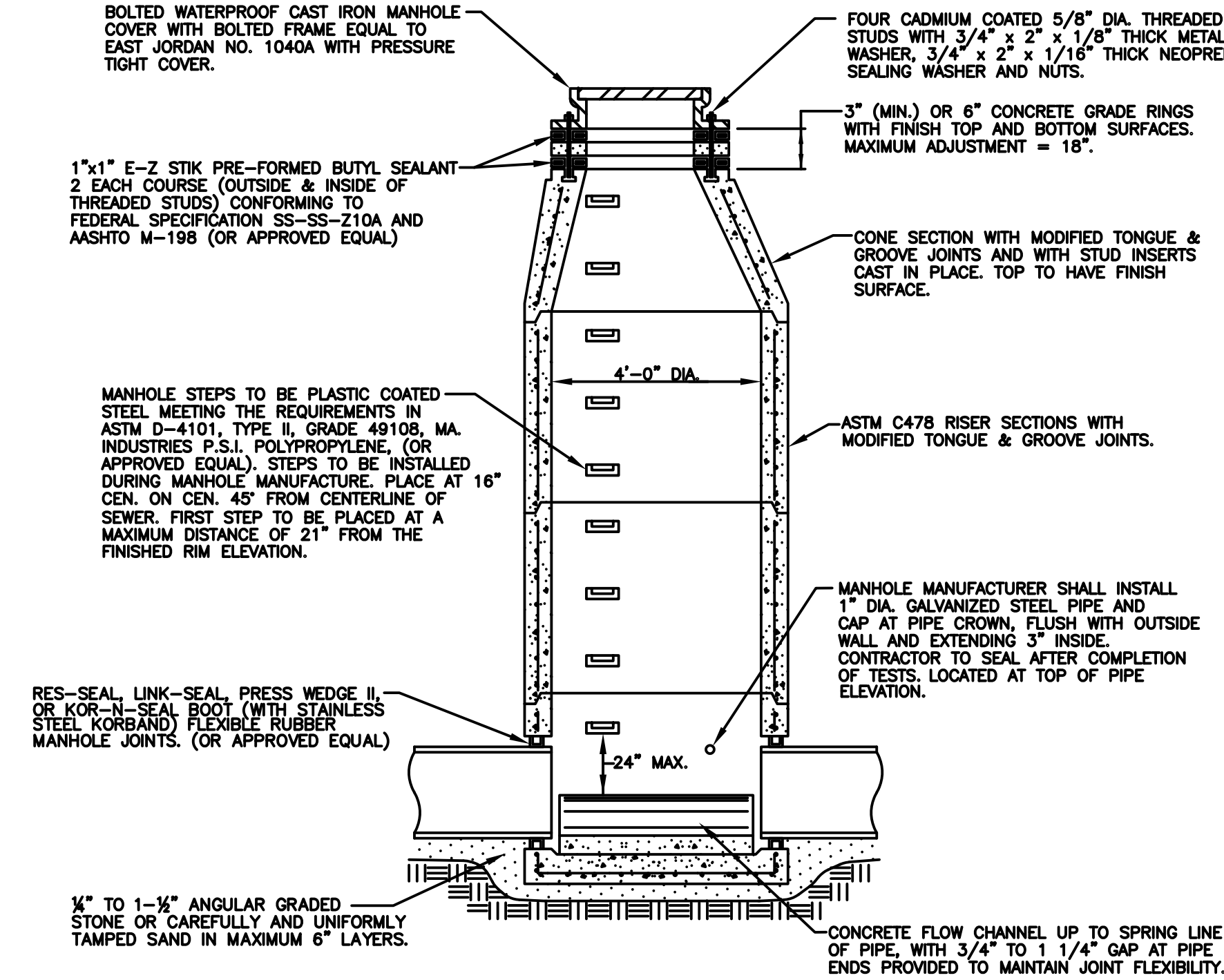
WATER RESOURCES COMMISSION

ONE PUBLIC WORKS DRIVE, BLDG 95 WEST WATERFORD, MICHIGAN 48328-1907

SHEET NO.: 1 of 1

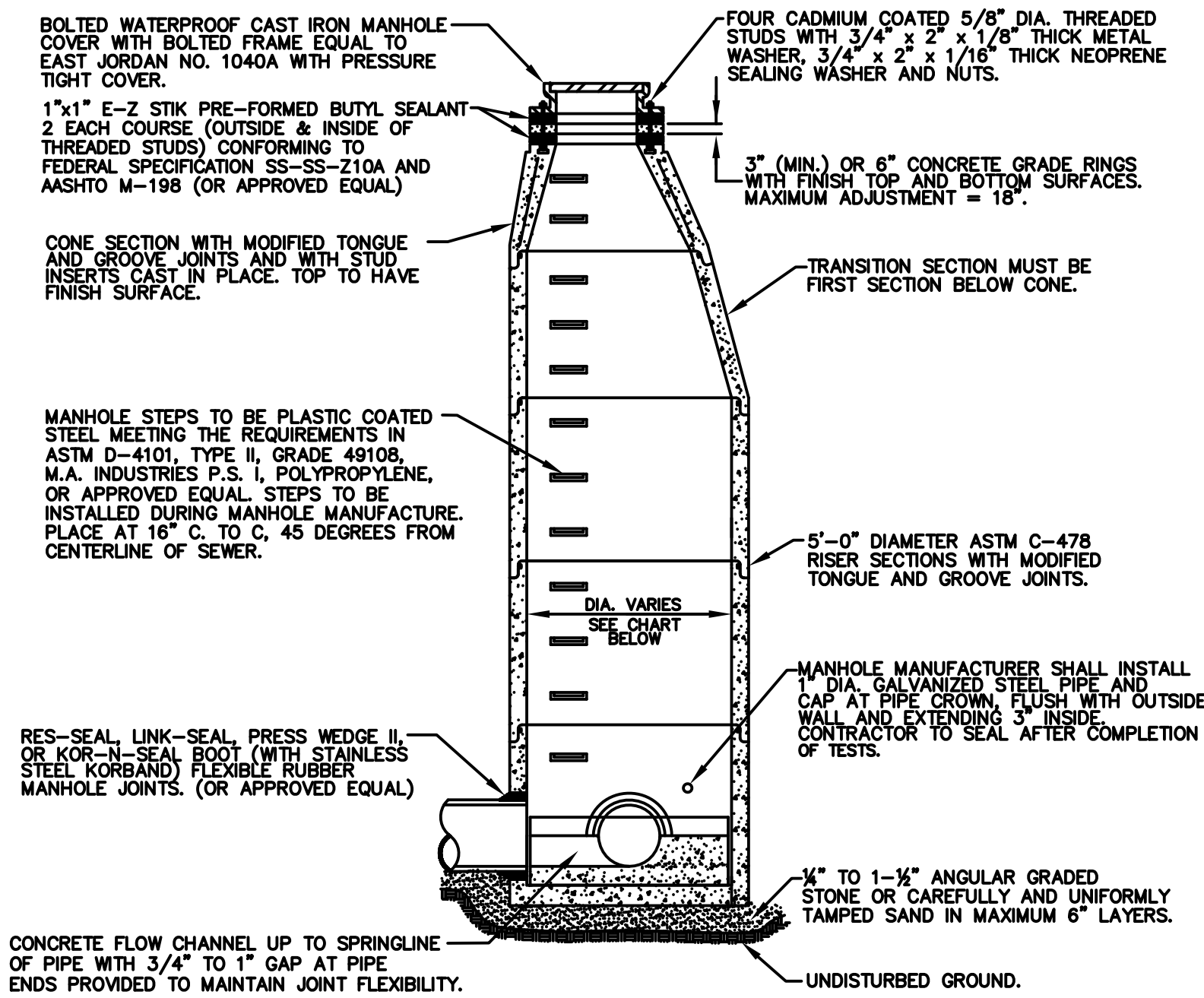
SANITARY SEWER CONSTRUCTION NOTES

1. ALL CONSTRUCTION SHALL CONFORM TO THE CURRENT STANDARDS AND SPECIFICATIONS OF THE LOCAL UNIT OF GOVERNMENT AND THE WATER RESOURCES COMMISSIONER (WRC). ALL SANITARY SEWER CONSTRUCTION SHALL HAVE FULL-TIME INSPECTION SUPERVISED BY A STATE OF MICHIGAN LICENSED PROFESSIONAL ENGINEER PROVIDED BY, OR CAUSED TO BE PROVIDED BY, THE LOCAL UNIT OF GOVERNMENT.
2. AT ALL CONNECTIONS TO WRC SEWERS OF EXTENSIONS, AND BEFORE START OF CONSTRUCTION, THE CONTRACTOR MUST OBTAIN A SEWER INSPECTION PERMIT ISSUED BY WRC. GRAVITY SEWER PERMIT CHARGES ARE \$250 FOR EACH CONNECTION PLUS \$25 FOR EACH MANHOLE CONSTRUCTED. PRESSURE SEWER PERMIT CHARGES ARE \$250 PER 2,460 L.F. OF FORCE MAIN WITH A MINIMUM PERMIT FEE OF \$250. FAILURE TO PASS ANY TEST SEGMENT WILL RESULT IN AN ADDITIONAL CHARGE TO THE CONTRACTOR FOR EACH RETEST, IN ACCORDANCE WITH THE ABOVE PRICE SCHEDULE. THE CONTRACTOR SHALL ALSO HAVE POSTED WITH WRC A \$5,000 SURETY BOND AND \$500 CASH DEPOSIT. THE CONTRACTOR SHALL NOTIFY THE LOCAL UNIT OF GOVERNMENT AND WRC (248-858-1105) 24 HOURS PRIOR TO THE BEGINNING OF ANY CONSTRUCTION. FINAL ACCEPTANCE TESTS MUST BE WITNESSED BY COUNTY PERSONNEL AND MUST BE SCHEDULED BY MUNICIPALITY OR ITS CONSULTANT IN ADVANCE WITH 24 HOUR NOTICE AT 248-858-1105.
3. NO SEWER INSTALLATION SHALL HAVE AN INFILTRATION EXCEEDING 100 GALLONS PER INCH DIAMETER PER MILE OF PIPE IN A 24 HOUR PERIOD, AND NO SINGLE RUN OF SEWER BETWEEN MANHOLES SHALL EXCEED 100 GALLONS PER INCH DIAMETER PER MILE. AIR TESTS IN LIEU OF INFILTRATION TESTS SHALL BE AS SPECIFIED IN THE WATER RESOURCES COMMISSIONER STANDARDS. ONLY PIPE AND PIPE JOINTS APPROVED BY WRC MAY BE USED FOR SANITARY SEWER CONSTRUCTION.
4. LOCATED IN THE FIRST MANHOLE UPSTREAM FROM THE POINT OF ALL CONNECTIONS TO AN EXISTING WRC SEWER, OR EXTENSION THERETO, A TEMPORARY 12-INCH DEEP SUMP SHALL BE PROVIDED IN THE FIRST MANHOLE ABOVE THE CONNECTION WHICH WILL BE FILLED IN AFTER SUCCESSFUL COMPLETION OF ANY ACCEPTANCE TEST UP TO THE STANDARD FILLET PROVIDED FOR THE FLOW CHANNEL. A WATERTIGHT BULKHEAD SHALL BE PROVIDED ON THE DOWNSTREAM SIDE OF THE SUMP MANHOLE.
5. AT ALL TIMES WHEN LAYING OF NEW PIPE IS NOT ACTUALLY IN PROGRESS, THE UPSTREAM OPEN END OF THE PIPE SHALL BE CLOSED BY TEMPORARY WATERTIGHT PLUGS OR BY OTHER APPROVED MEANS. IF WATER IS IN THE TRENCH WHEN WORK IS RESUMED, THE PLUG SHALL NOT BE REMOVED UNTIL THE DANGER OF WATER ENTERING THE PIPE HAS PASSED.
6. ALL BUILDING LEADS AND RISERS SHALL BE SIX INCH SDR 23.5 ABS PIPE WITH CHEMICALLY FUSED JOINTS OR AN APPROVED EQUAL PIPE AND JOINT. BUILDING LEADS TO BE FURNISHED WITH REMOVABLE AIRTIGHT AND WATERTIGHT STOPPERS.
7. ALL RIGID SEWER PIPE SHALL BE INSTALLED IN CLASS "B" BEDDING OR BETTER. ALL FLEXIBLE, SEMI-FLEXIBLE, OR COMPOSITE SEWER PIPE SHALL BE INSTALLED IN CONFORMANCE TO WRC SPECIFICATIONS.
8. ALL NEW MANHOLES SHALL HAVE WRC APPROVED FLEXIBLE, WATERTIGHT SEALS WHERE PIPES PASS THROUGH WALLS. MANHOLES SHALL BE OF PRE CAST SECTIONS WITH MODIFIED GROOVE TONGUE AND RUBBER GASKET TYPE JOINTS. PRE CAST MANHOLE CONE SECTIONS SHALL BE WRC APPROVED MODIFIED ECCENTRIC CONE TYPE. ALL MANHOLES SHALL BE PROVIDED WITH BOLTED, WATERTIGHT COVERS.
9. AT ALL CONNECTIONS TO MANHOLES ON WRC SEWERS, OR EXTENSIONS THERETO, DROP CONNECTIONS WILL BE REQUIRED WHEN THE DIFFERENCE IN INVERT ELEVATIONS EXCEEDS 18 INCHES.
10. TAPS TO EXISTING MANHOLES SHALL BE MADE BY CORING. THE CONTRACTOR SHALL PLACE A KOR-N-SEAL BOOT (OR WRC APPROVED EQUAL) AFTER CORING IS COMPLETED. BLIND DRILLING WILL ONLY BE PERMITTED IN LIEU OF CORING WITH PRIOR WRC APPROVAL.
11. MANHOLES CONSTRUCTED DIRECTLY ON WRC SEWERS SHALL BE PROVIDED WITH COVERS READING "WATER RESOURCES COMMISSIONER-SANITARY" IN RAISED LETTERS.
12. NO GROUND WATER, STORM WATER, CONSTRUCTION WATER, DOWN SPOUT DRAINAGE OR WEEP TILE DRAINAGE SHALL BE ALLOWED TO ENTER ANY SANITARY SEWER INSTALLATION.
13. PRIOR TO ANY EXCAVATION, THE CONTRACTOR SHALL TELEPHONE MISS DIG (800-482-7171) FOR THE LOCATION OF UNDERGROUND PIPELINE AND CABLE FACILITIES AND SHALL ALSO NOTIFY REPRESENTATIVES OF OTHER UTILITIES LOCATED IN THE VICINITY OF THE WORK.
14. AN 18 INCH MINIMUM VERTICAL SEPARATION AND A 10 FOOT MINIMUM HORIZONTAL SEPARATION MUST BE MAINTAINED BETWEEN SANITARY SEWER AND WATER MAIN.
15. NEW MANHOLES BUILT OVER AN EXISTING SANITARY SEWER SHALL HAVE MONOLITHIC POURED BOTTOMS.
16. IF THE STRUCTURE FALLS WITHIN THE ROADBED OF A GRAVEL ROAD OR WITHIN THE UNPAVED SHOULDER OF A PAVED ROAD, THE COVER SHALL BE SIX (6") INCHES BELOW THE FINISHED GRAVEL SURFACE.



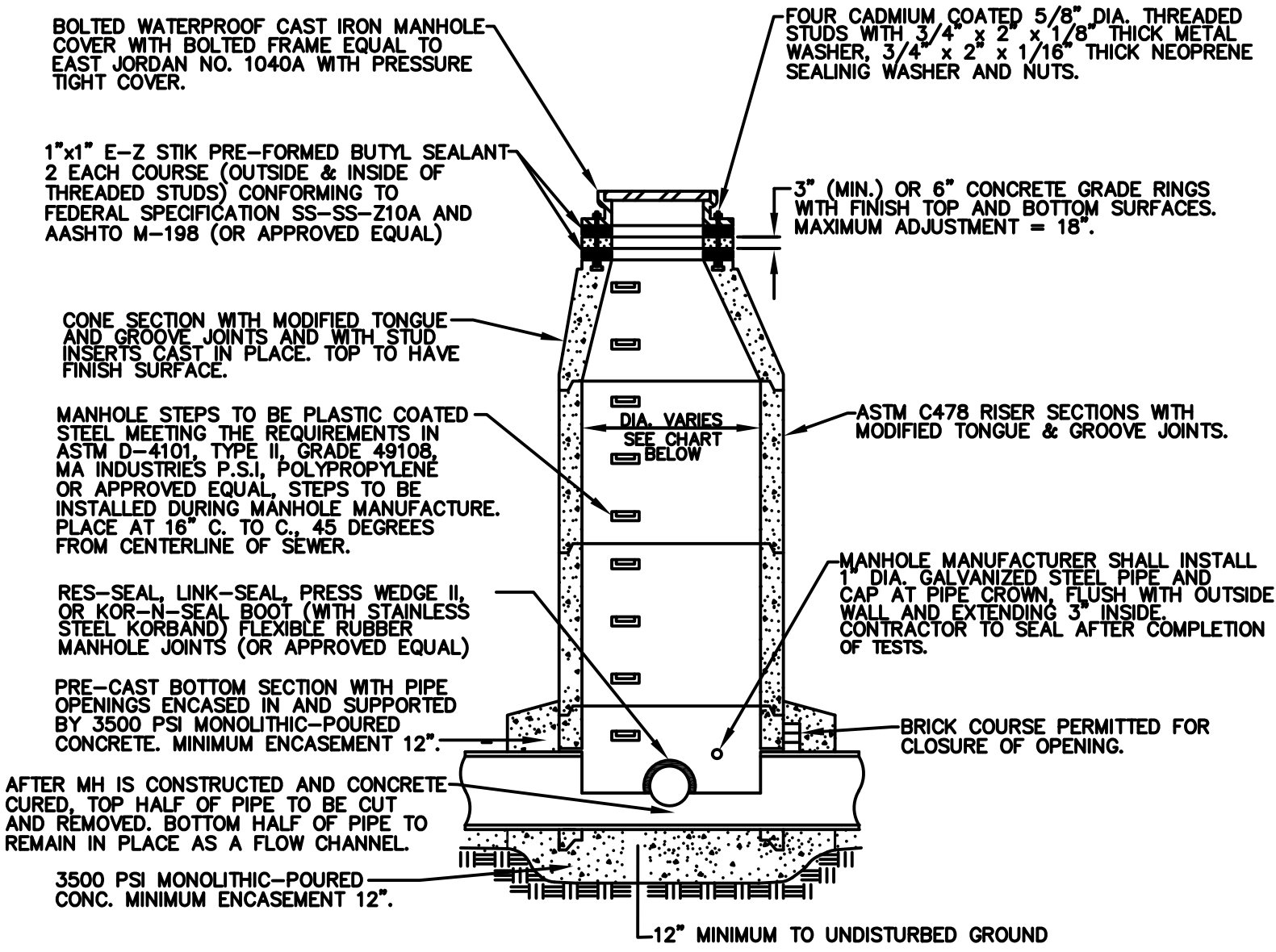
STANDARD MANHOLE

MAX. PIPE SIZE FOR STRAIGHT THRU INSTALLATION	MAX. PIPE SIZE FOR RIGHT ANGLE INSTALLATION
24"	18"



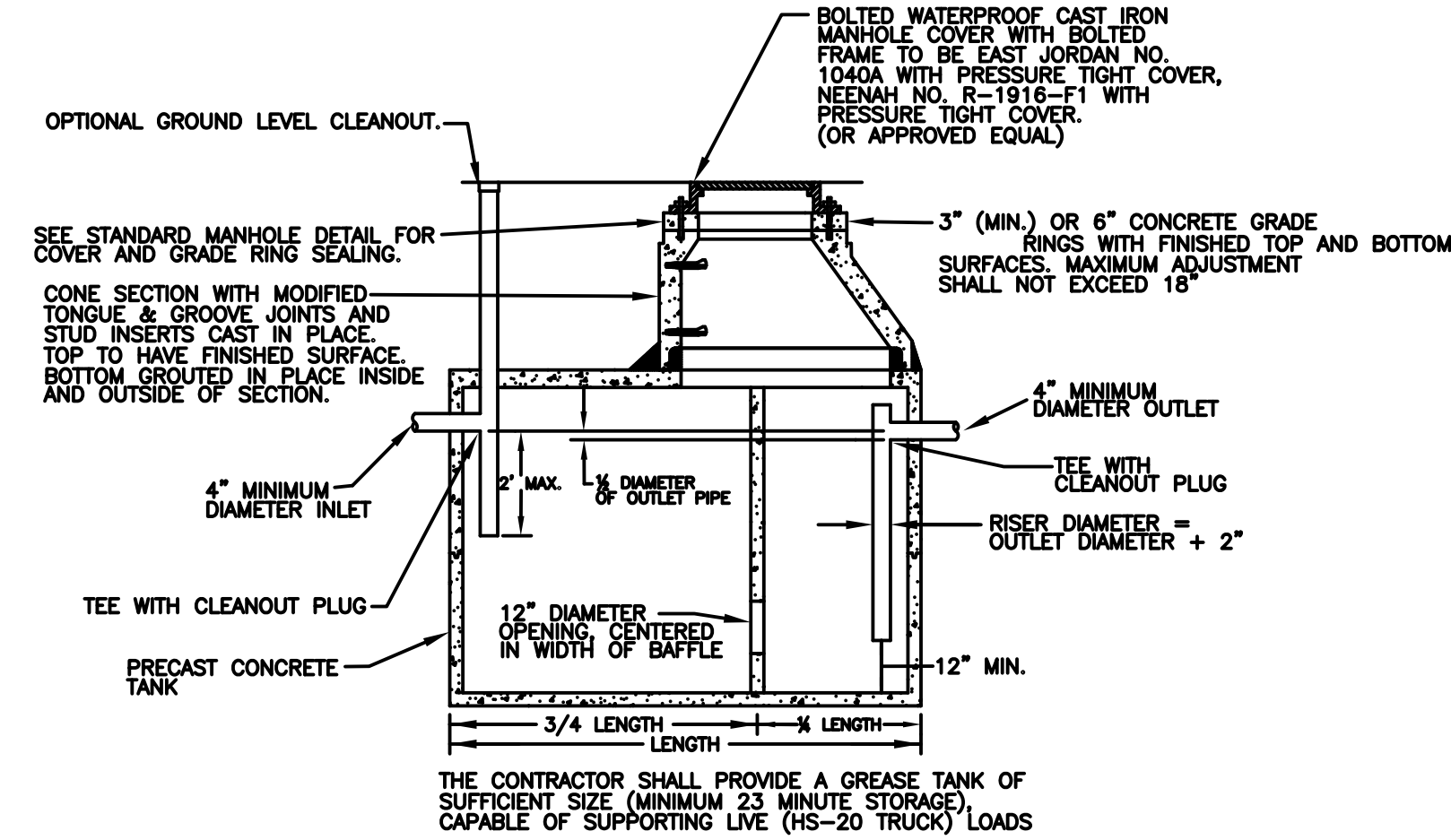
STANDARD OVERSIZED MANHOLE

MANHOLE SIZING CHART		
MANHOLE DIAMETER	MAX. PIPE SIZE FOR STRAIGHT THRU INST.	MAX. PIPE SIZE FOR RIGHT ANGLE INST.
5'	36"	24"
6'	42"	36"
7'	60"	42"

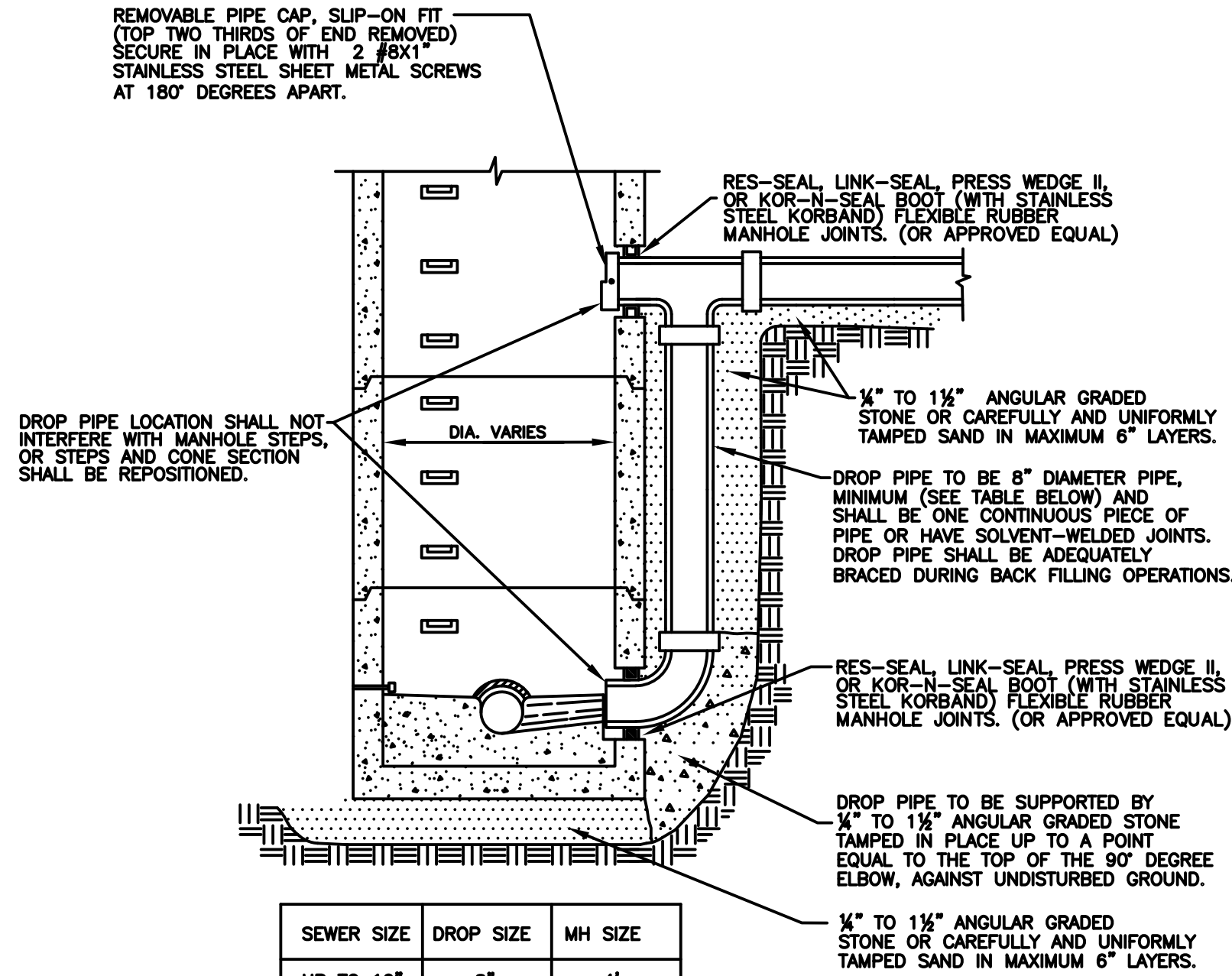


MANHOLE CONSTRUCTED OVER EXISTING SEWER

MANHOLE SIZING CHART	
MANHOLE DIAMETER	MAX. PIPE SIZE FOR STRAIGHT THRU INST.
4'	24"
5'	36"
6'	42"
7'	60"

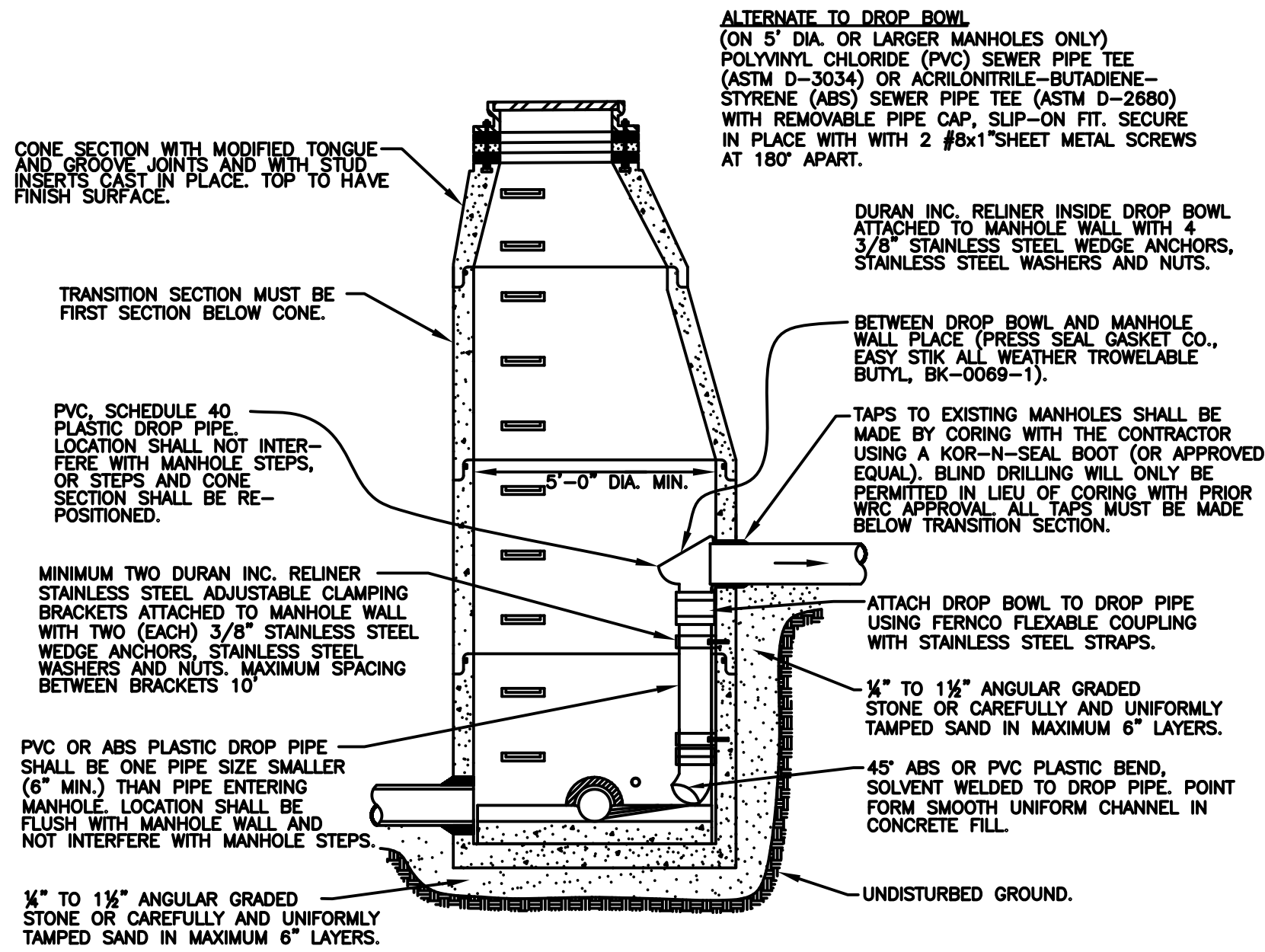


DOUBLE-COMPARTMENT GREASE INTERCEPTOR TANK FOR OUTLET PIPE BURIAL 42" AND DEEPER



SEWER SIZE	DROP SIZE	MH SIZE
UP TO 10"	8"	4'
UP TO 18"	10"	4'
UP TO 30"	18"	5'

EXTERIOR DROP CONNECTION (REQUIRES ADVANCED APPROVAL BY WRC)



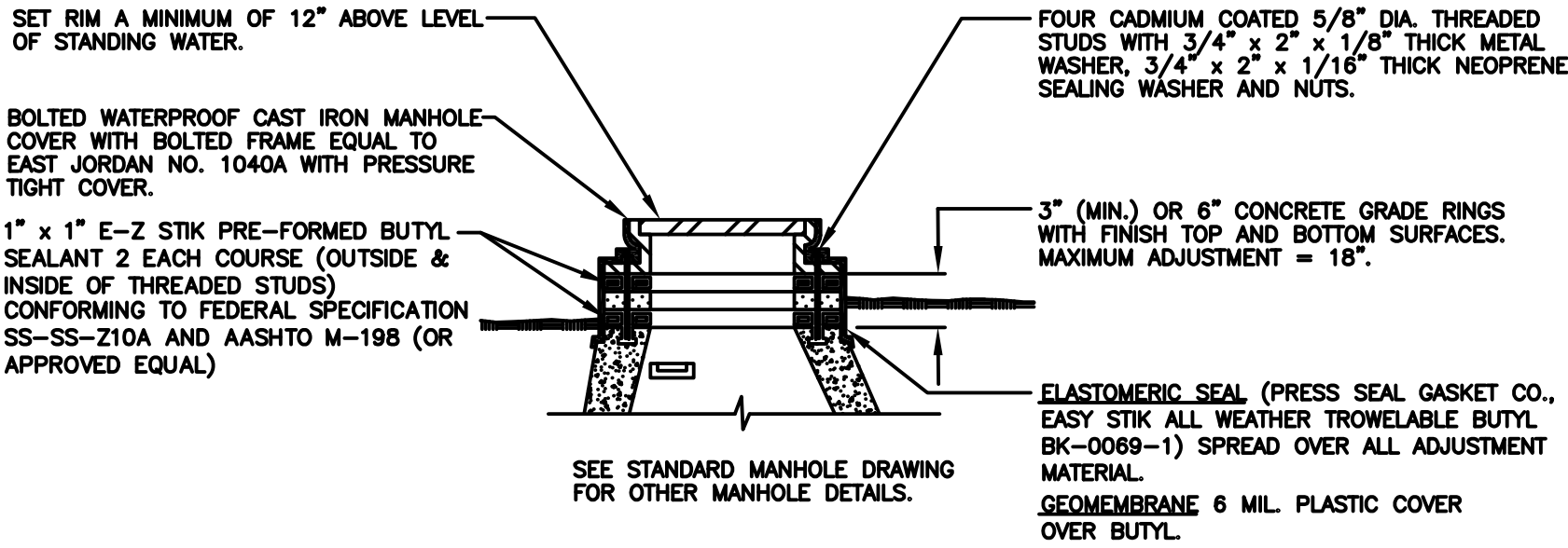
INTERIOR DROP CONNECTION

REVISION BLOCK			
Parcel Base / Source Date:	N/A		
Rev. No.:	Rev. By:	Rev. Date:	Description:
1	RRH	8-31-10	FIXED NOTES THAT HAD "GROOVE TONGUE" TO READ "TONGUE AND GROOVE"
2	CS	3-23-11	REMOVED STANDARD MONITORING MANHOLE
3	KB	6-21-16	ADDED NOTE "REQUIRES ADVANCED APPROVAL BY WRC" AND UPDATE PHONE # IN NOTE #2
4	KB	7-22-20	UPDATED MH STEPS TO ASTM D-4101

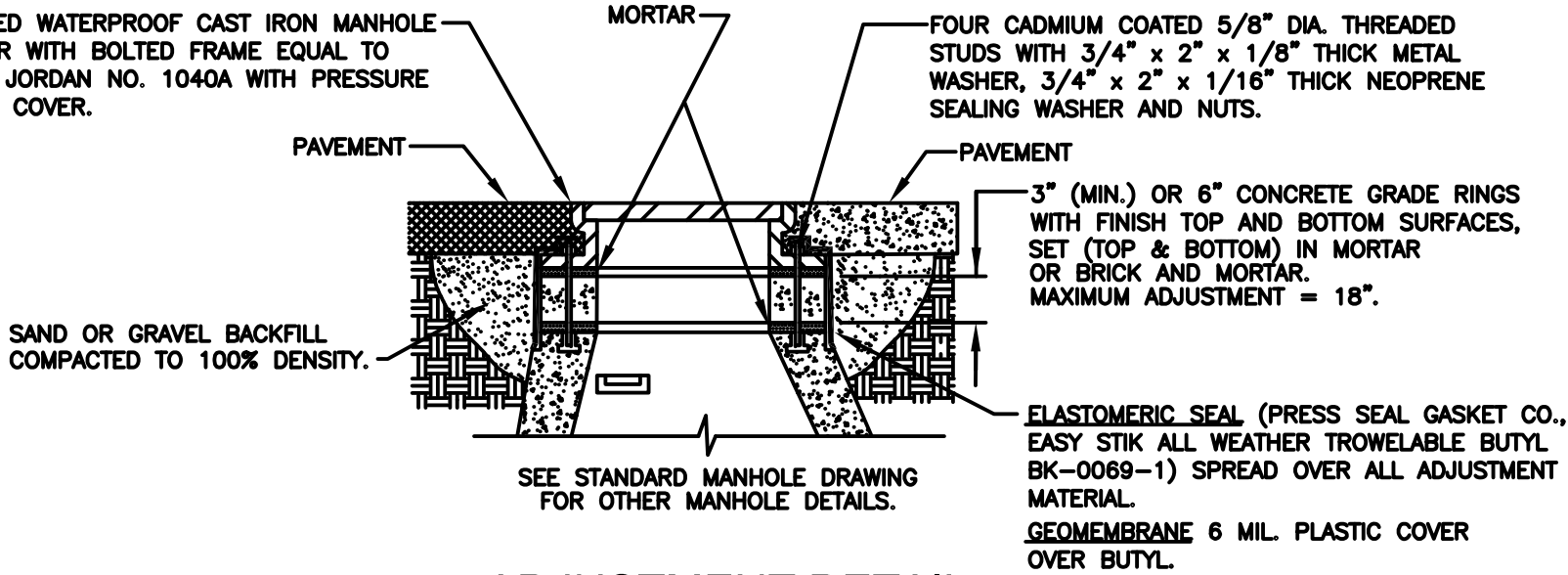
SANITARY SEWER DETAILS AND NOTES

ORIG. DATE:	08/21/02		ONE PUBLIC WORKS DRIVE, BLDG 95 WEST WATERFORD, MICHIGAN 48328-1907
SCALE:	NO SCALE		
DESIGNED BY:	WRC		
DRAWN BY:	WRC Mapping		
SHEET NO.:			1 of 2

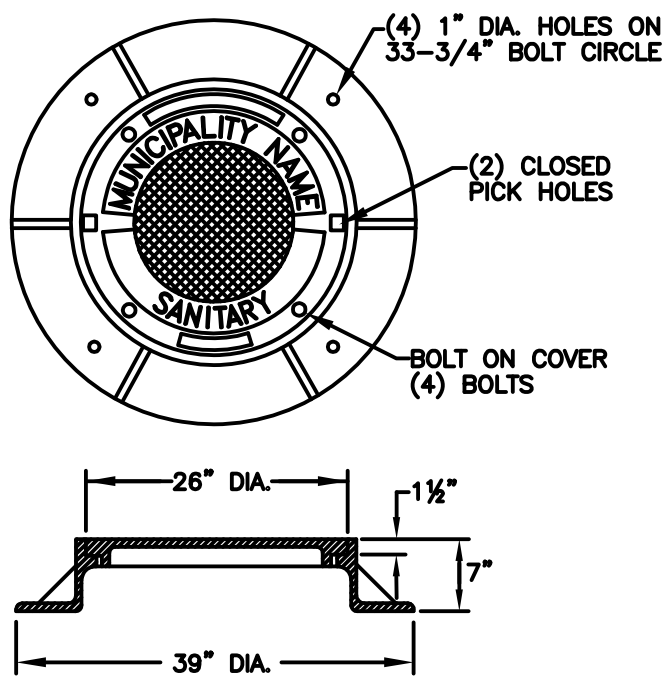
MANHOLE RIM ADJUSTMENT CHART	
MANHOLE LOCATION	SET RIM ELEVATION
DITCH	12" ABOVE FINISH GRADE
FLOOD PLAIN	12" ABOVE STANDING WATER
GRAVEL ROAD / SHOULDER	6" BELOW FINISH GRADE
PAVEMENT / GREENBELT	FLUSH WITH FINISH GRADE



ADJUSTMENT DETAIL FOR
MANHOLE TOPS WITHIN FLOOD PRONE AREAS

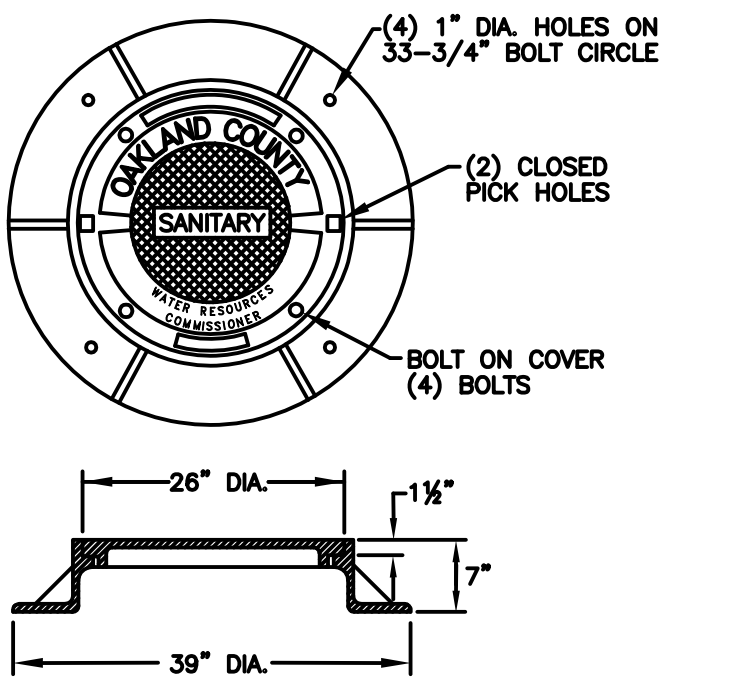


ADJUSTMENT DETAIL
MANHOLE TOPS WITHIN PAVEMENT AREAS



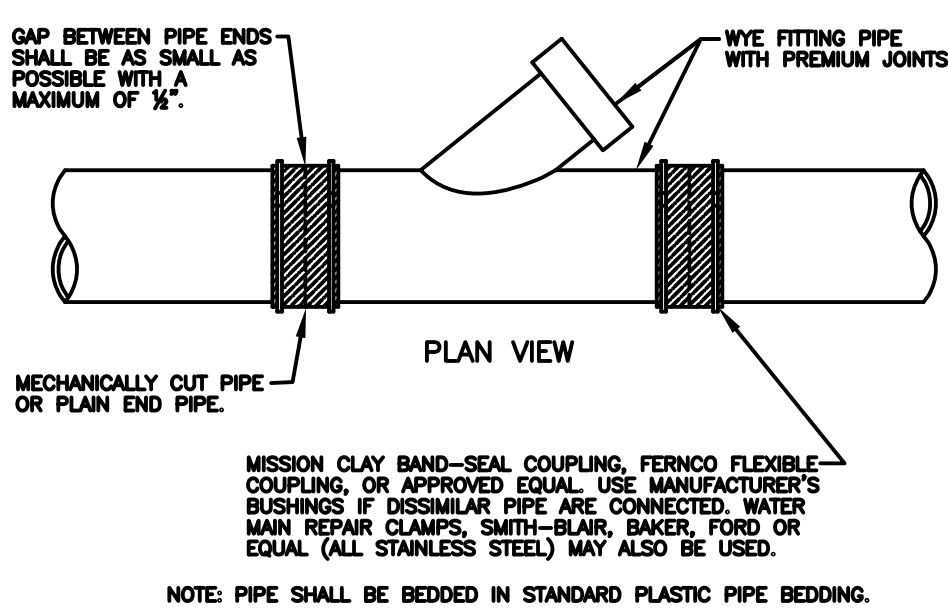
EAST JORDAN IRON WORKS
HEAVY DUTY MATERIAL ASTM A48 CL.35
COVER WT., 150 LBS., CATALOG NO. 1040A
PATTERN NO. 1040A, PRODUCT NO. 1040XX OAKCOSTD.
2" RAISED LETTERS, 1" RAISED LETTERS
ALL RECESSED FLUSH.

LOCAL MUNICIPALITIES MANHOLE COVER

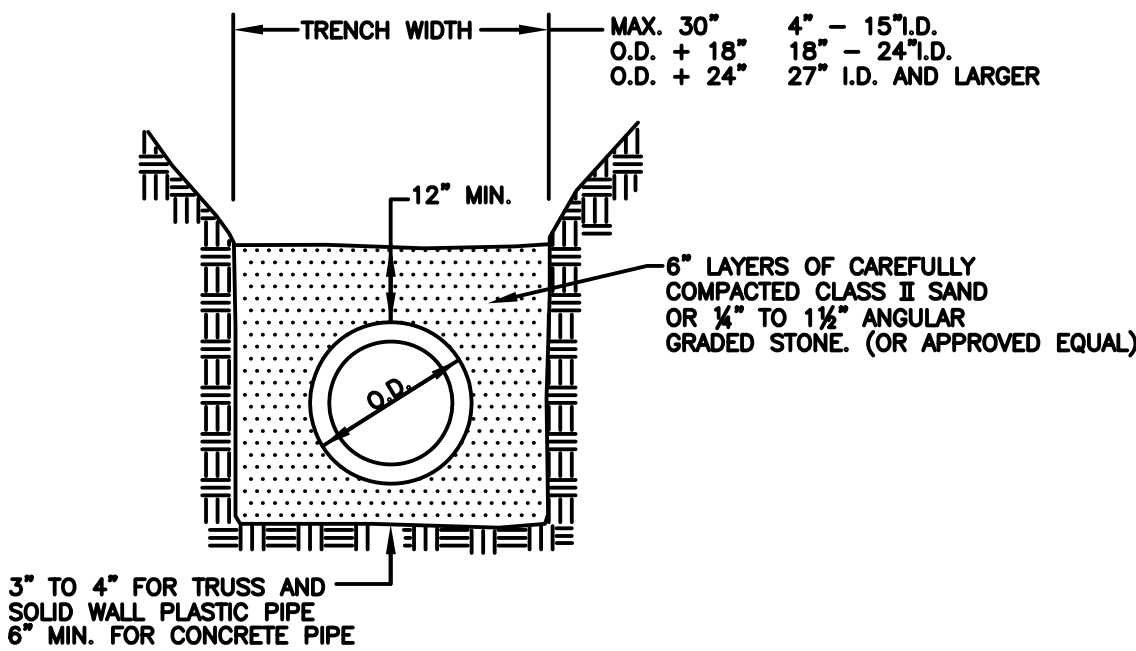


EAST JORDAN IRON WORKS
HEAVY DUTY MATERIAL ASTM A48 CL.35
COVER WT., 150 LBS., CATALOG NO. 1040APT
PATTERN NO. 1040A, PRODUCT NO. NCR09-1280 C
2" RAISED LETTERS, 1" RAISED LETTERS, 3/4" RAISED LETTERS
ALL RECESSED FLUSH.

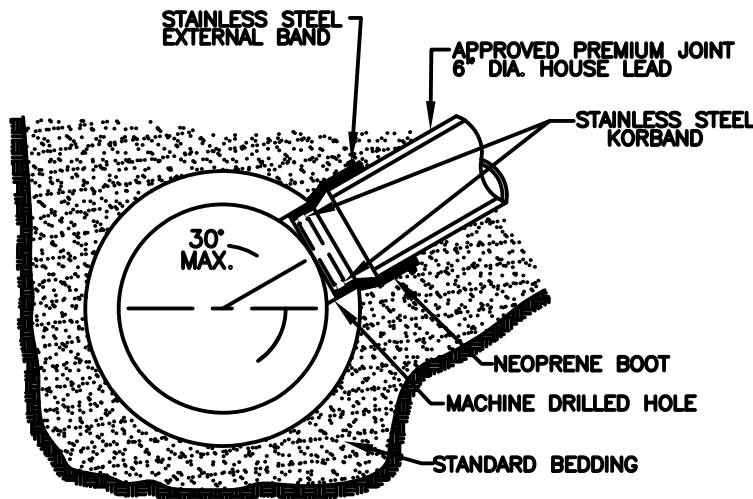
W.R.C. LETTERED MANHOLE COVER



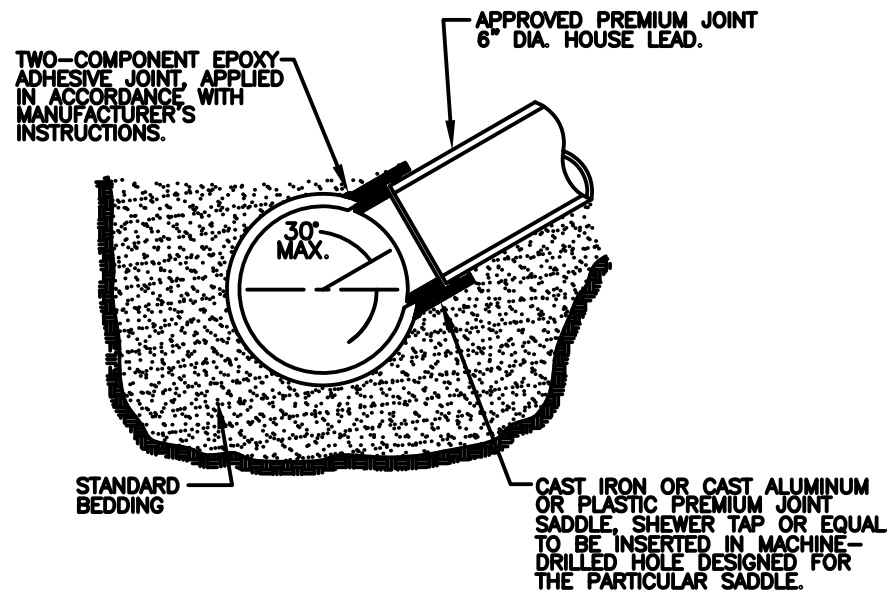
WYE PIPE INSERTION WITH FLEXIBLE COUPLINGS
(RIGID PIPE)



STANDARD BEDDING
(CLASS B)

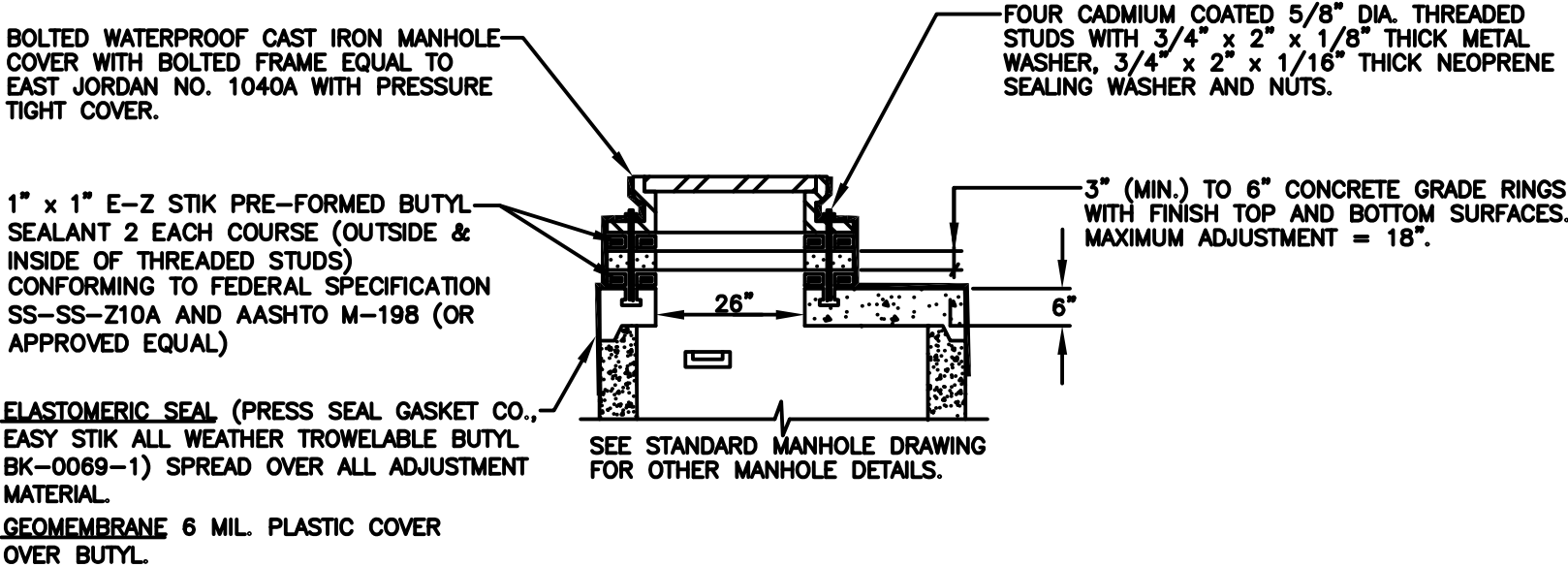


KOR-N-TEE TAP FOR CONCRETE PIPE

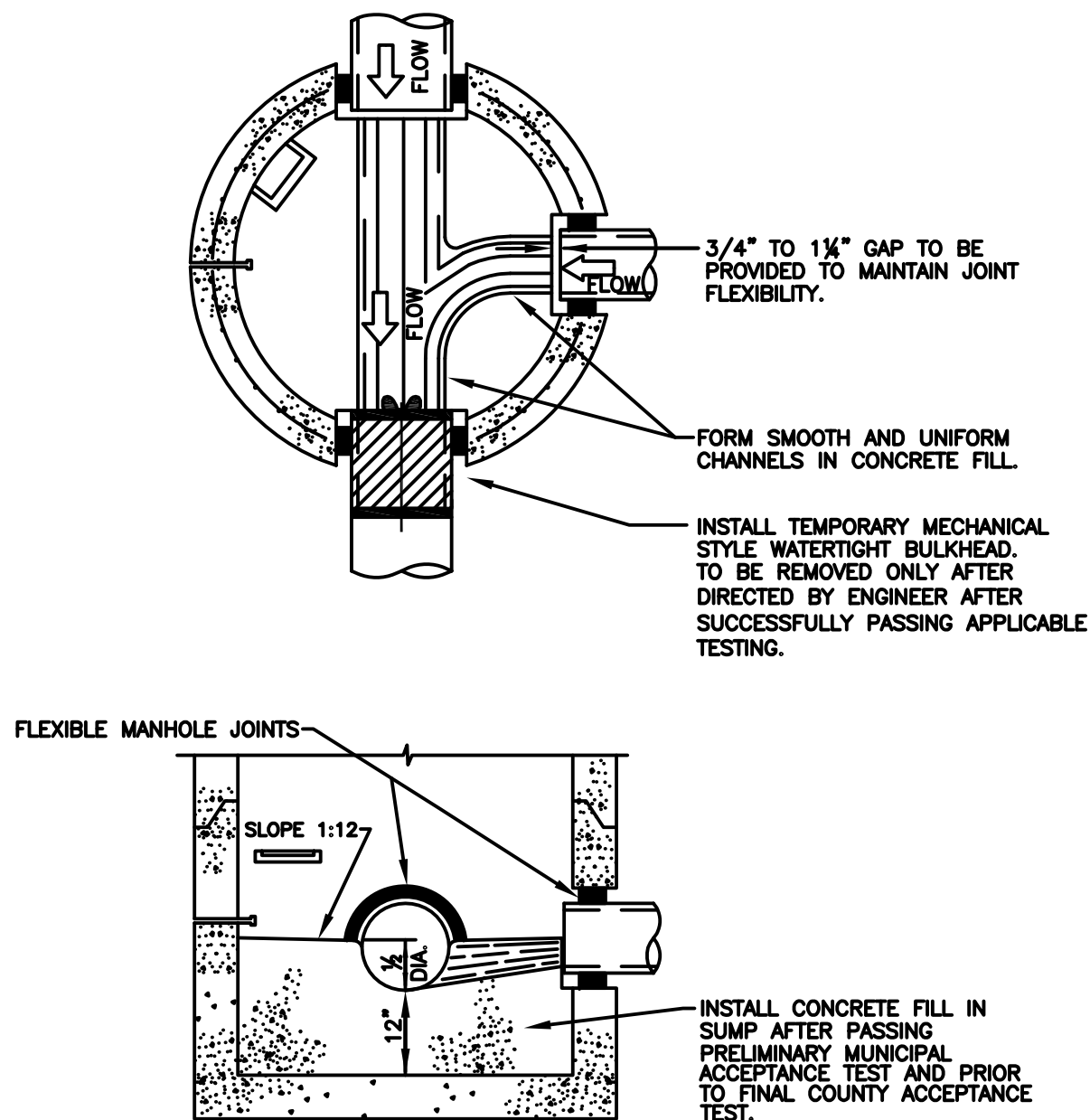


NOTE: SURFACE OF MAIN SEWER SHALL BE CLEANED WITH AN ABRASIVE GRINDER PRIOR TO EPOXY APPLICATION. DUE TO VARIATION OF SET-UP TIME OF EPOXY ADHESIVE, TEMPERATURE, ANCHOR STRAPS SHALL BE USED TO SECURE SADDLE IN POSITION IN COLD WEATHER OR WHENEVER WORK IS TO PROCEED PRIOR TO COMPLETE CURE OF EPOXY.

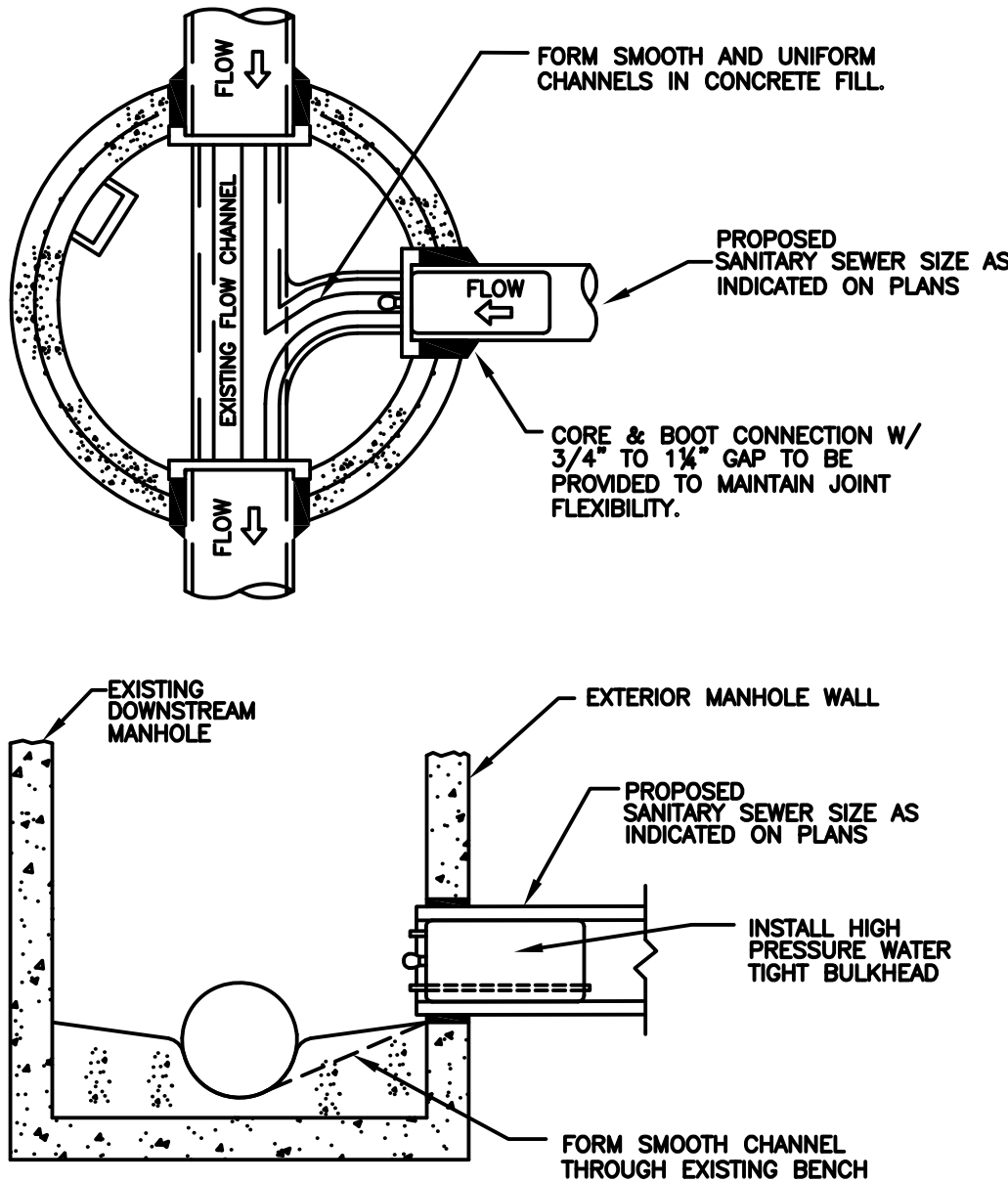
SEWER TAP-ALL SIZES OF MAIN SEWER PIPES
VITRIFIED CLAY



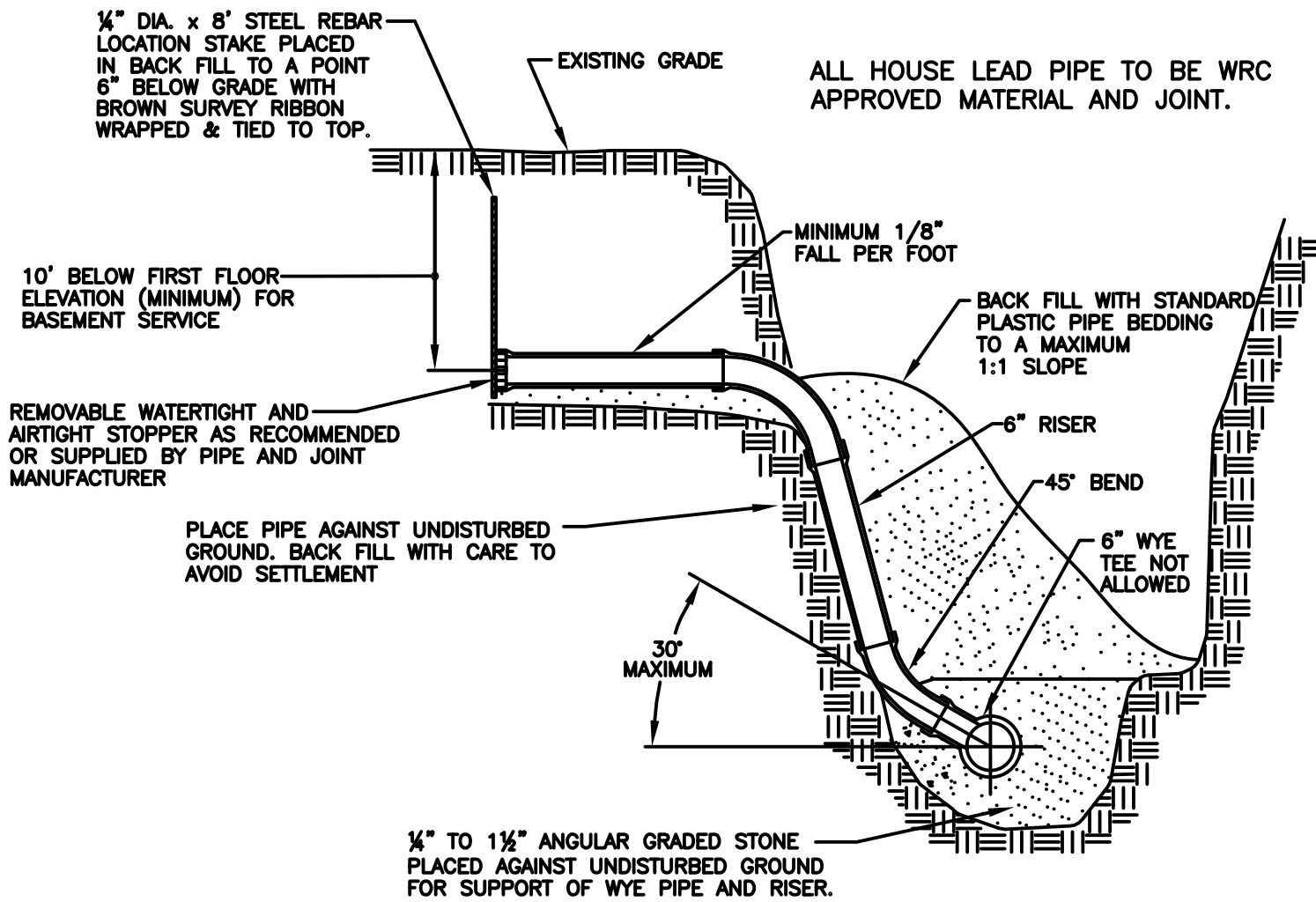
FLAT TOP MANHOLE



SUMP MANHOLE FOR TESTING,
CLEANING AND DEWATERING



TESTING BULKHEAD WITH PIPE TAP

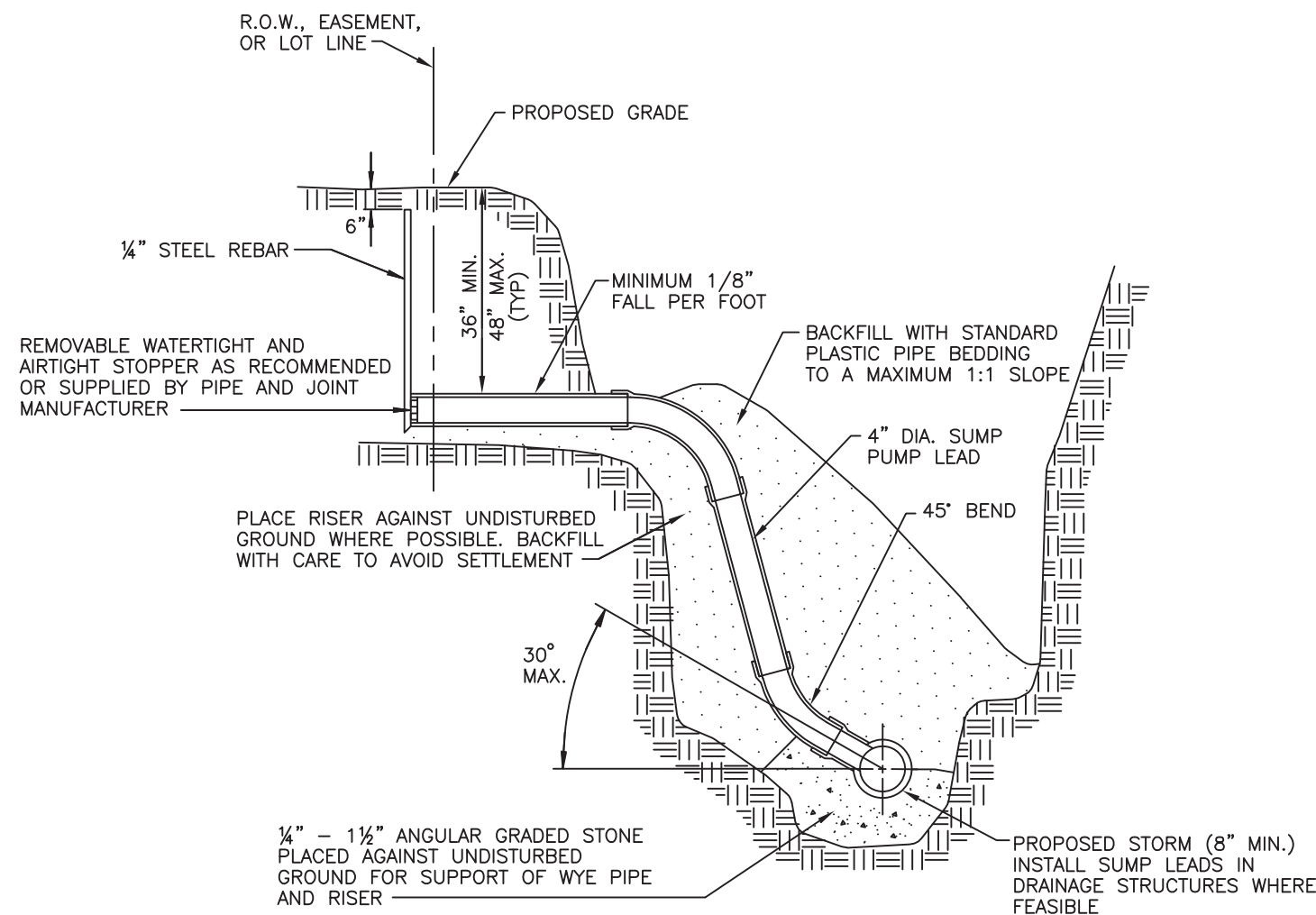


HOUSE LEAD DETAIL

REVISION BLOCK			
Parcel Base / Source Date:	N/A		
Rev. No.	Rev. By:	Rev. Date:	Description:
1	DS	06/28/06	ADDED TESTING BULKHEAD WITH PIPE TAP DETAIL
2	IZ	05/28/09	MOVED DETAILS FROM SHEET 1 ONTO SHEET 2
3	IZ	07/14/09	STANDARDIS COMMITTEE APPROVAL FOR DETAIL CHANGES
4	DS	02/03/14	REPLACE UPDATE CDDG WITH WRC FOR THE MANHOLE COVER DETAIL

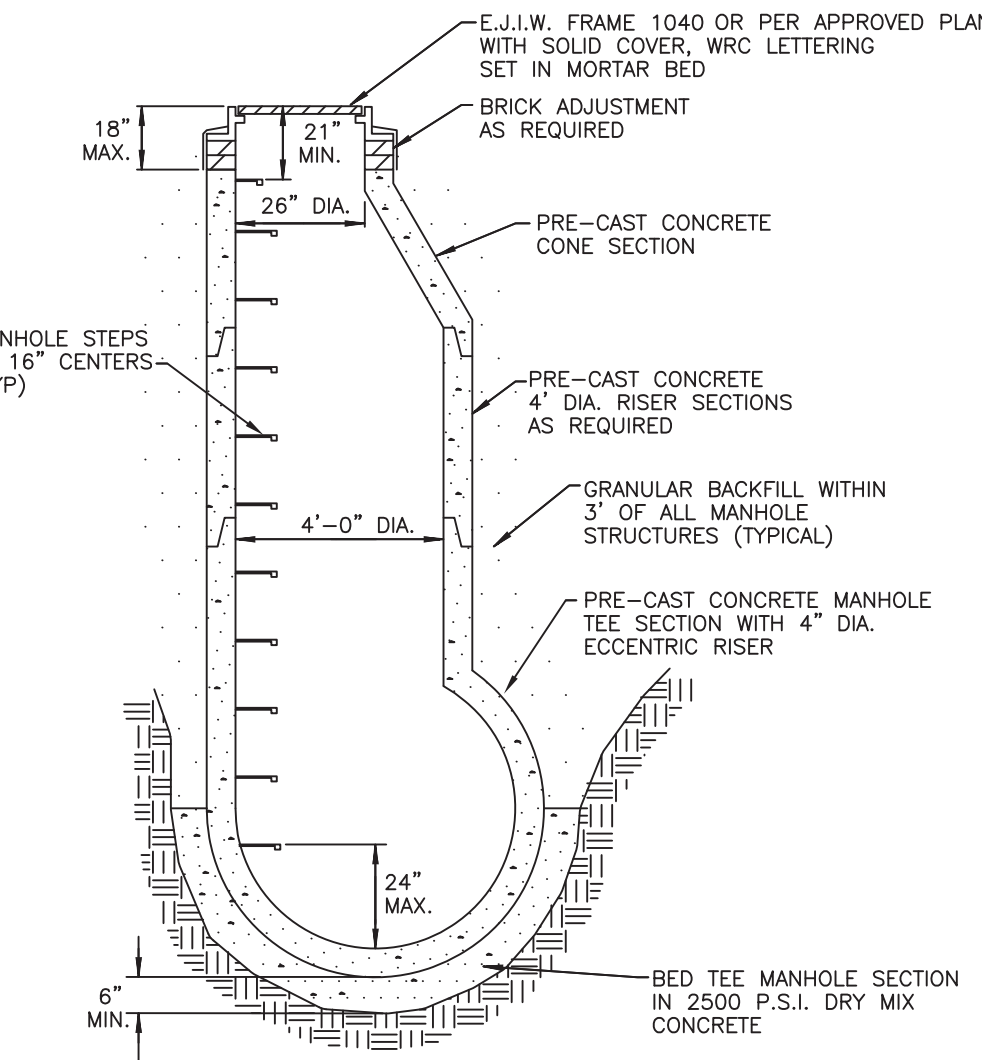
SANITARY SEWER DETAILS AND NOTES

ORIG. DATE:	05-09-03	 WATER RESOURCES COMMISSIONER <i>Jim Nash</i>	ONE PUBLIC WORKS DRIVE, BLDG 95 WEST WATERFORD, MICHIGAN 48328-1907
SCALE:	NO SCALE		
DESIGNED BY:	MWD		SHEET NO.:
DRAWN BY:	Mapping Staff		2 of 2



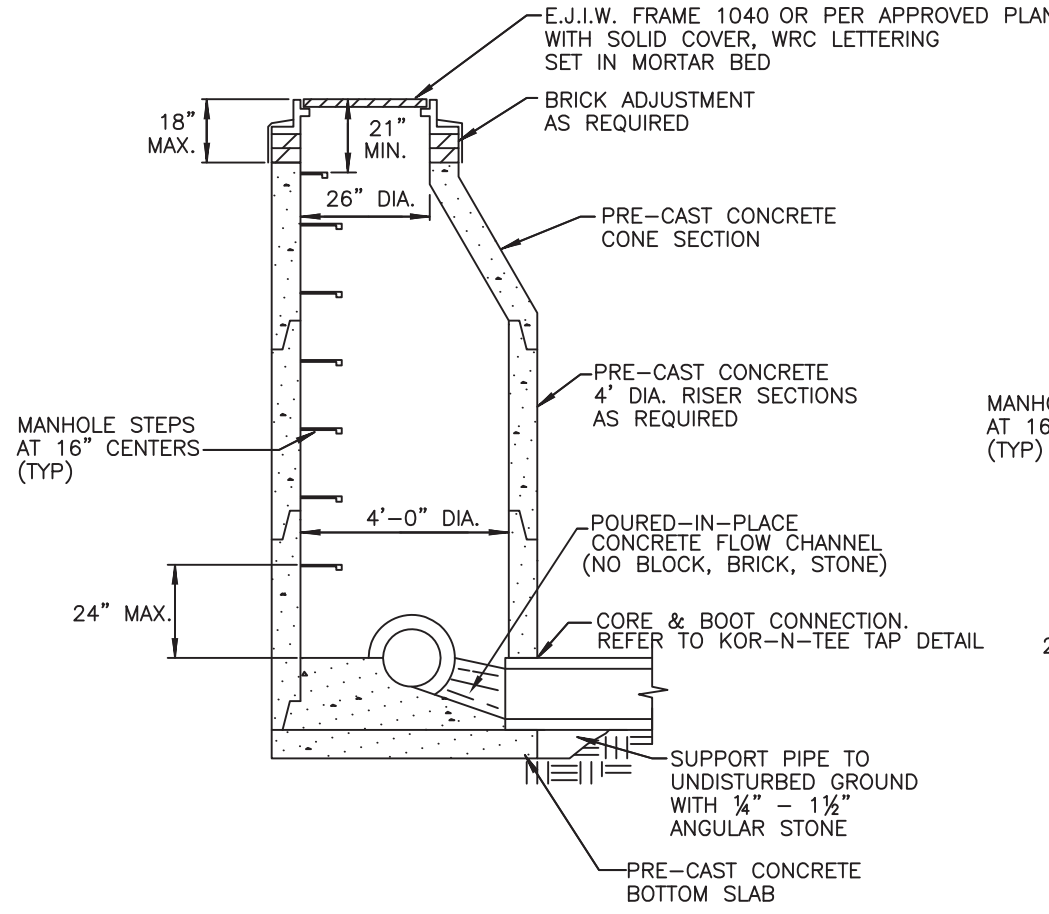
HOUSE LEAD DETAIL FOR 4" DIA.
PLASTIC SUMP PUMP LEADS

NO SCALE



PRE-CAST TEE MANHOLE DETAIL

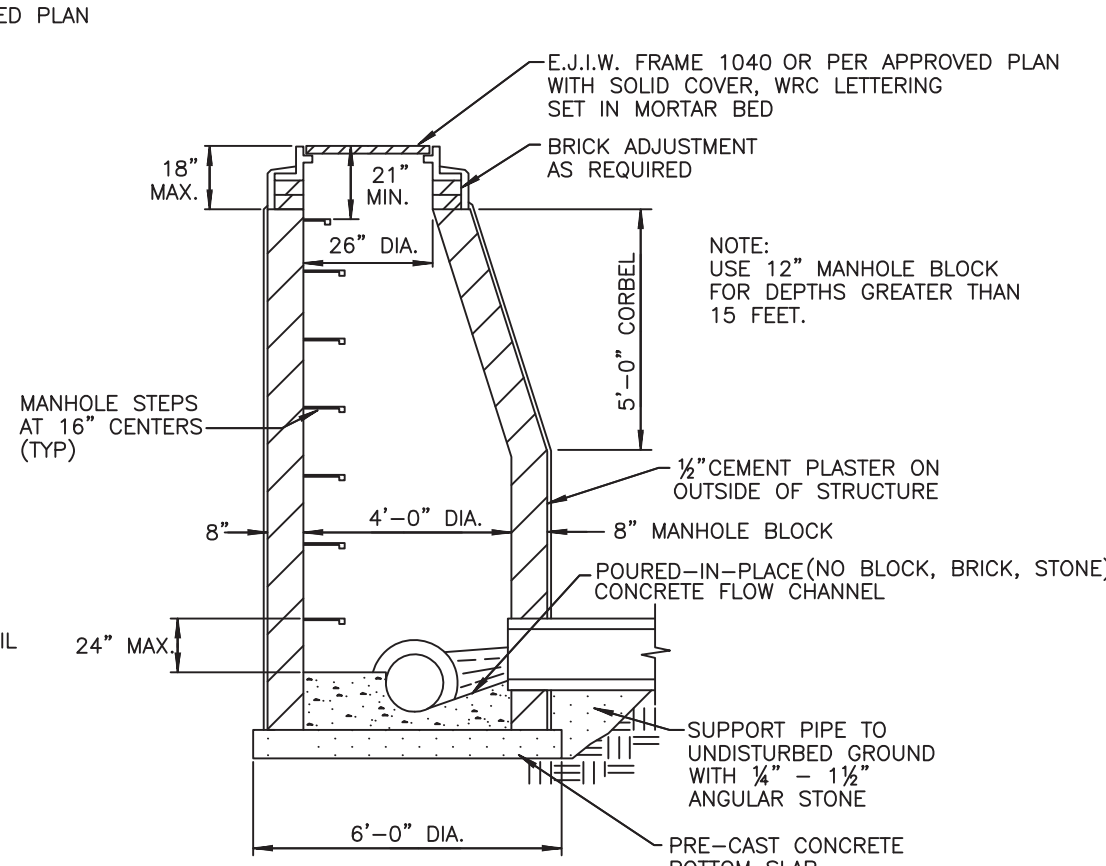
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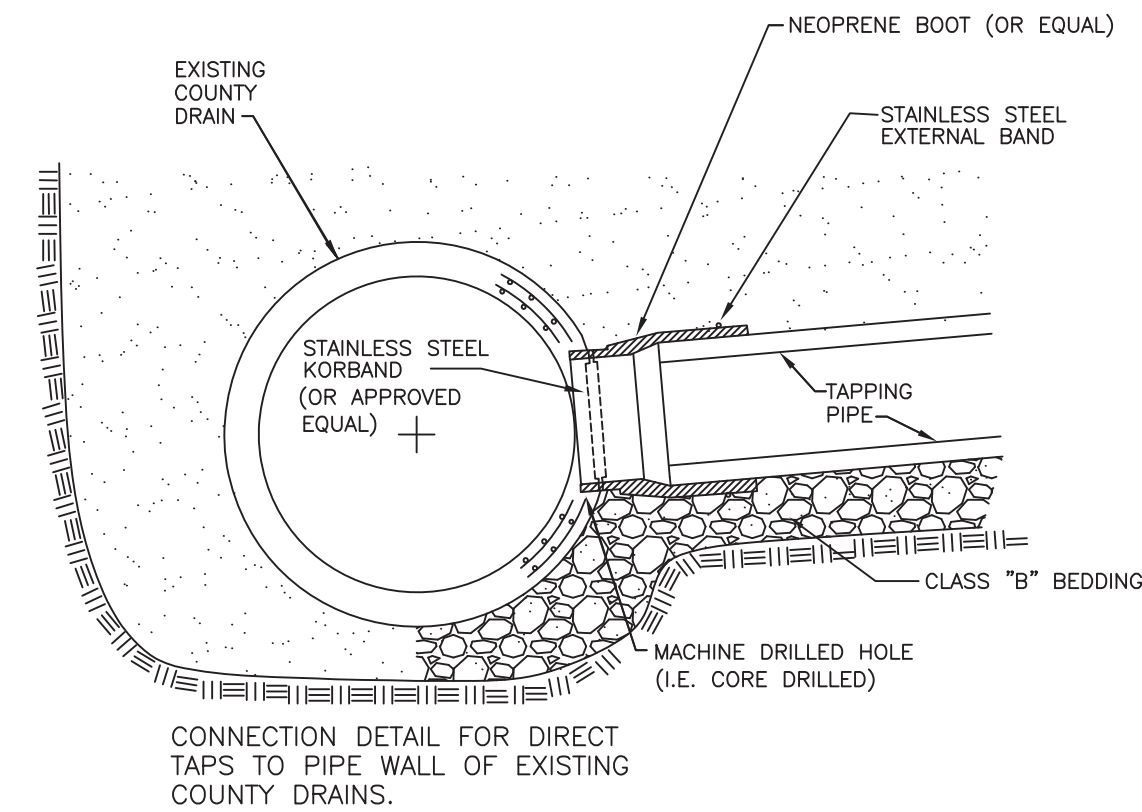
PRE-CAST MANHOLE

STANDARD MANHOLE DETAILS

NO SCALE



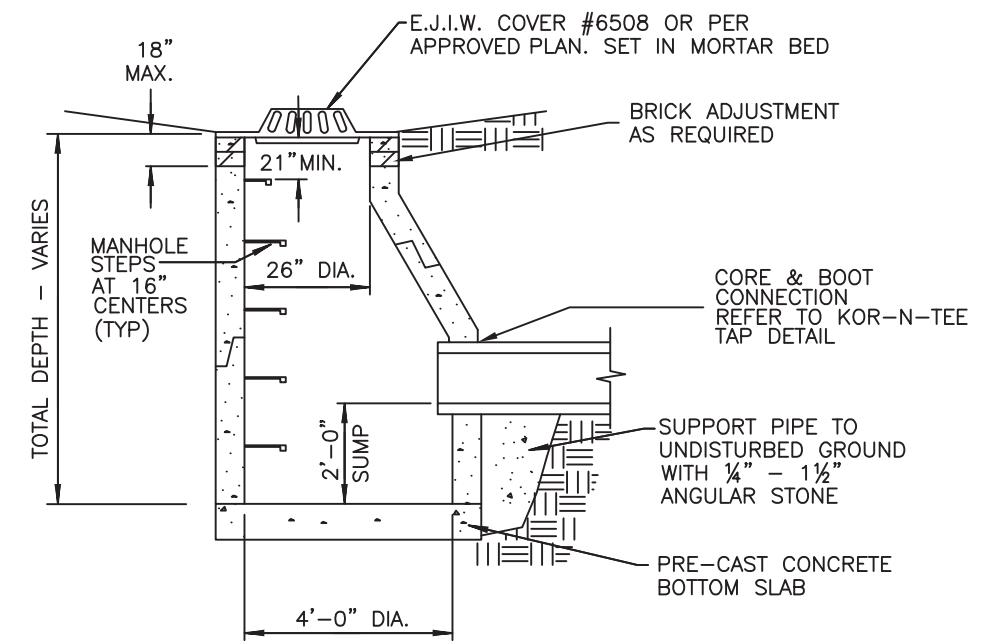
BLOCK MANHOLE (PRIOR APPROVAL ONLY)



KOR-N-TEE TAP (OR APPROVED EQUAL)

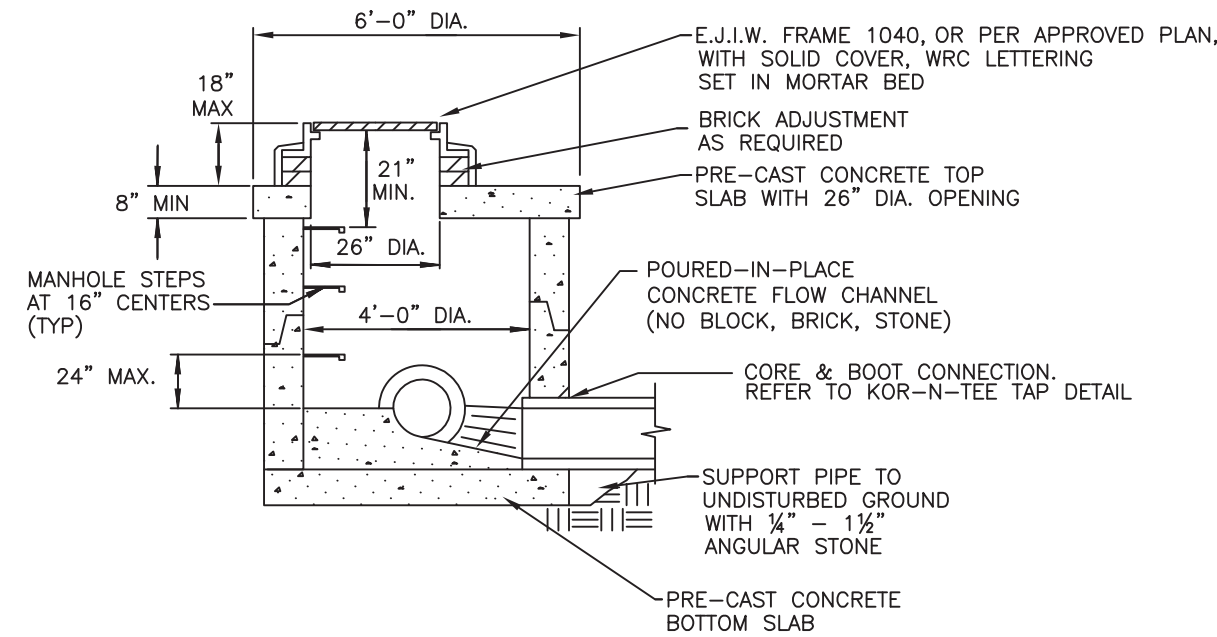
NO SCALE

- * For non-concrete to concrete taps.
- * Use link-seal, A-lock or approved equal for concrete to concrete taps.



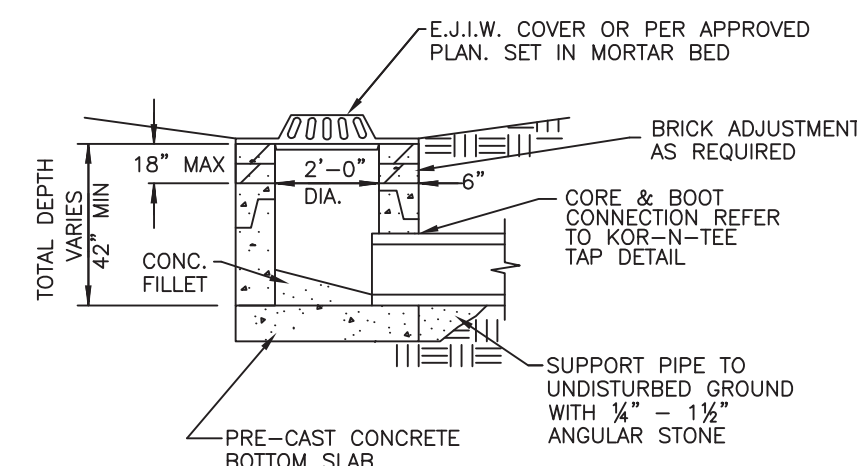
PRE-CAST CATCH BASIN DETAIL

NO SCALE



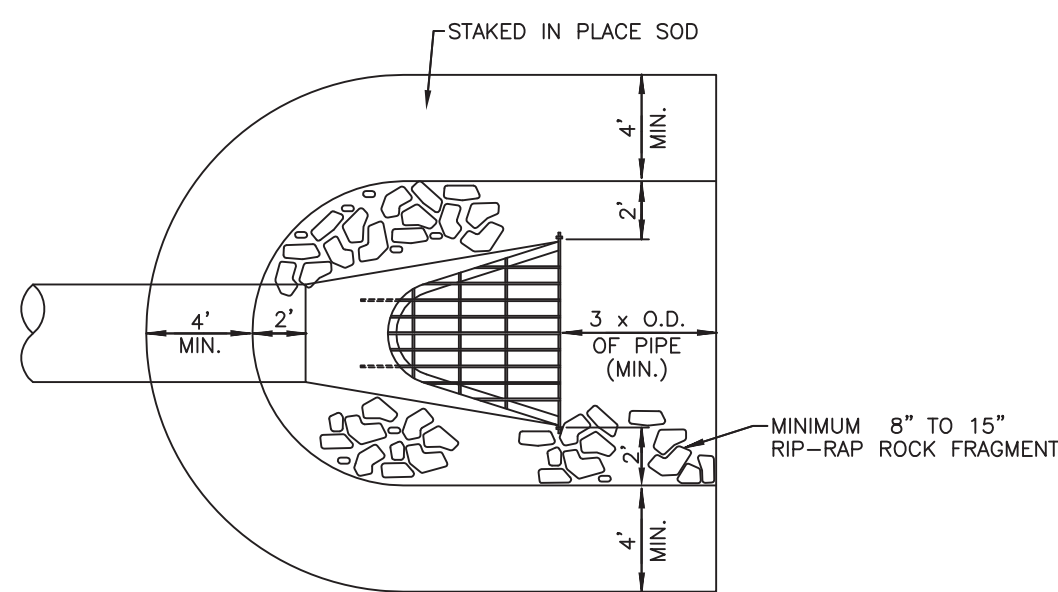
PRE-CAST LOW HEAD MANHOLE DETAIL

NO SCALE
(PRIOR APPROVAL ONLY)

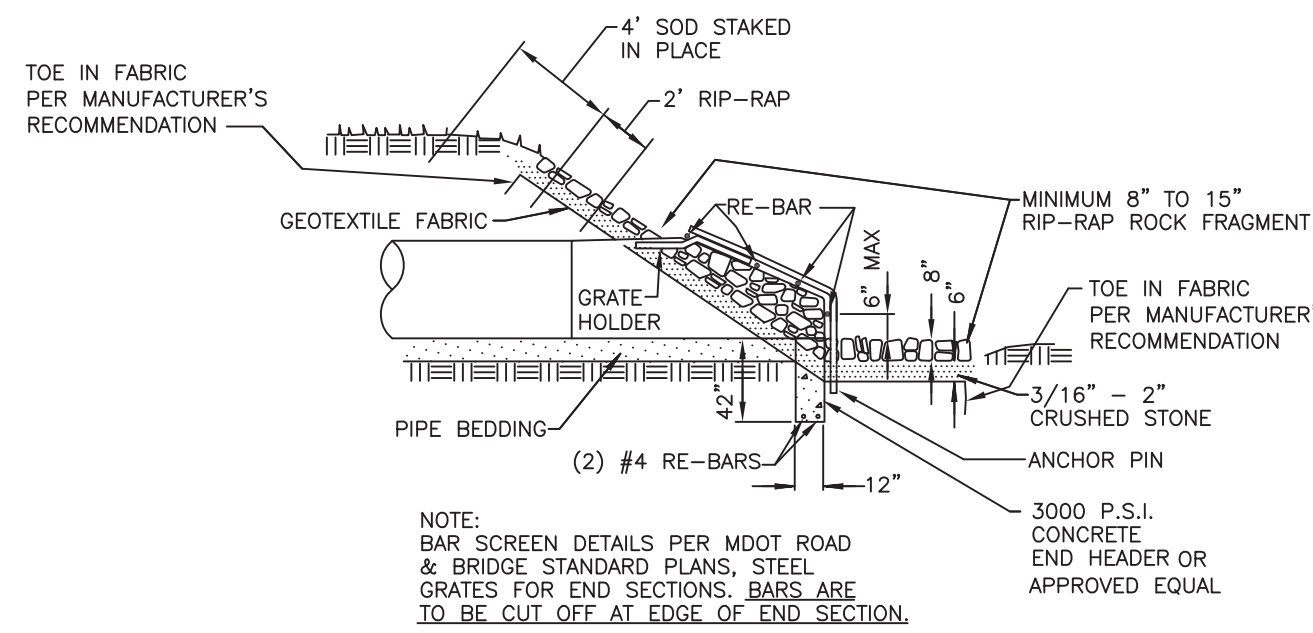


PRE-CAST INLET DETAIL

NO SCALE



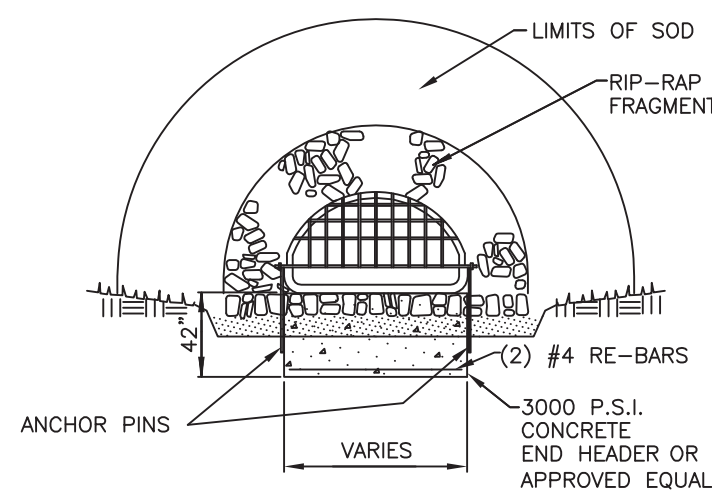
PLAN VIEW



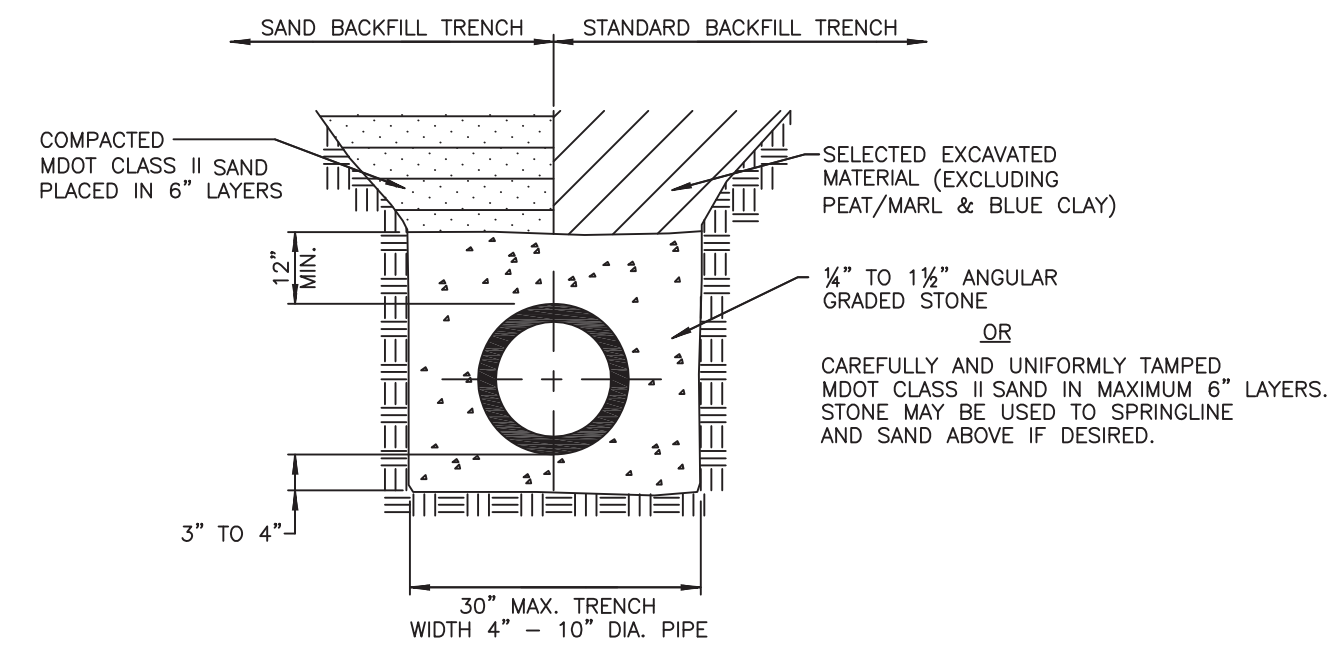
PROFILE VIEW

END SECTION AND BAR SCREEN DETAIL

NO SCALE

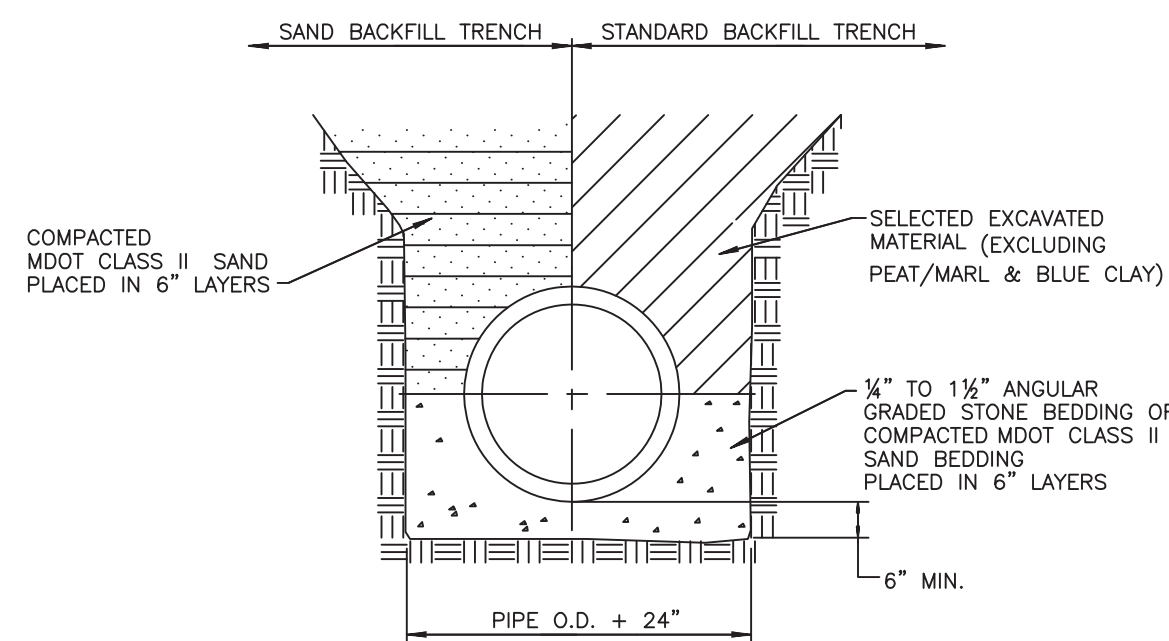


END VIEW



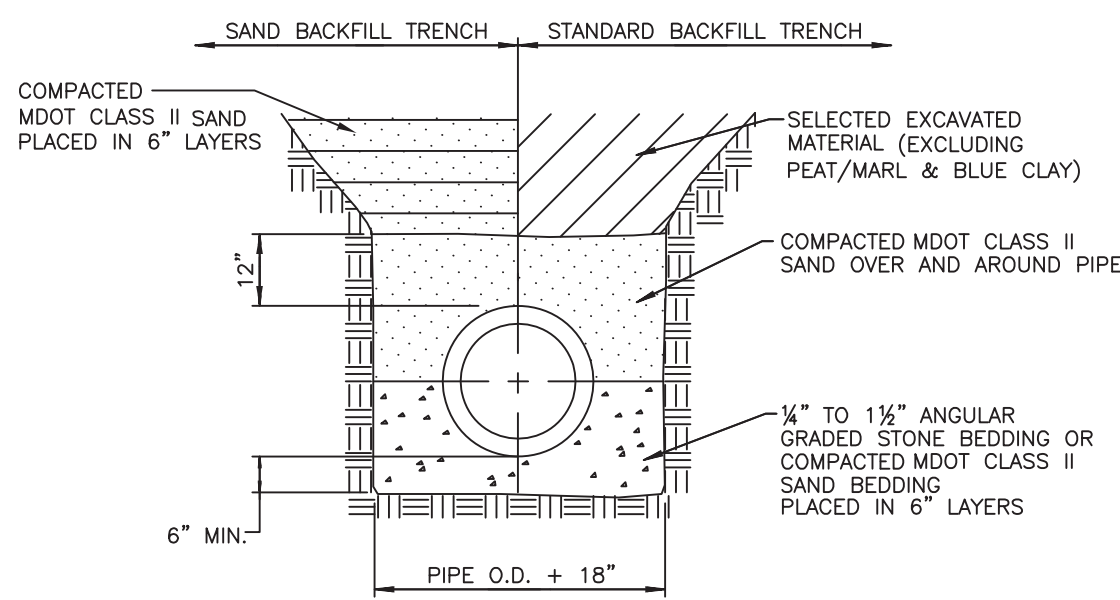
ABS (TRUSS AND SOLID WALL),
PVC (TRUSS, SOLID WALL, A2000),
ADS N-12 WT PIPE BEDDING DETAIL

NO SCALE



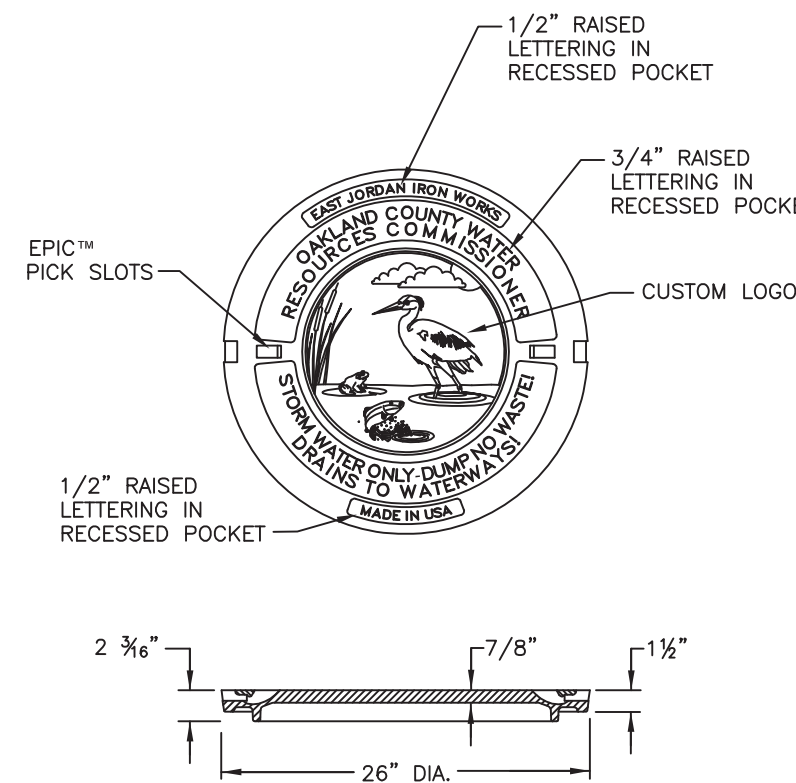
CLASS "B" BEDDING TRENCH DETAIL
FOR 27" DIAMETER AND LARGER
CONCRETE PIPE

NO SCALE



CLASS "B" BEDDING TRENCH DETAIL
FOR 24" DIAMETER AND SMALLER
CONCRETE PIPE

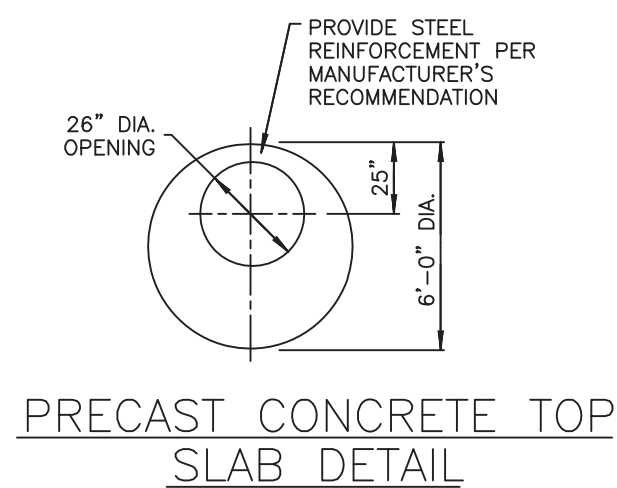
NO SCALE



LETTERED MANHOLE COVER
FOR WRC

NO SCALE

EAST JORDAN IRON WORKS OR APPROVED EQUAL
HEAVY DUTY MATERIAL ASTM A48 CL35B
CATALOG NO. 1040A
PATTERN NO. 1040A, PRODUCT NO. 104718 OAKCOSTD.
2" HIGH RAISED LETTERS, 1" WIDE RAISED LETTERS
ALL IN RECESSED POCKET.



PRECAST CONCRETE TOP
SLAB DETAIL

GENERAL NOTES

- Type and class of pipe shall be as specified on plans.
- Class "B" bedding shall be used throughout, unless otherwise specified on the plan.
- All end sections 18" and larger shall be provided with a bar screen unless otherwise approved.
- Standard rip-rap shall be 8"-15" fragmented rock, heavy rip-rap shall be 16"-24" fragmented rock. (No Broken Concrete)
- MANHOLE REQUIREMENTS:
 - All new catch basins, inlets, and manholes are to be manufactured to ASTM C-478 specifications.
 - All new catch basins, inlets, and manholes shall have WRC approved flexible, watertight seals where pipes pass through walls. Manholes shall be of precast sections with modified groove tongue and rubber gasket type joints. Pre cast manhole cone sections shall be WRC approved modified eccentric cone type.
 - Taps through manhole joints or cone sections are prohibited unless otherwise approved.
 - Manhole steps to be plastic coated steel meeting the requirements in ASTM D 2146, Type II, Grade 49108, MA. Industries P.S.I. Polypropylene, (or approved equal). Steps to be installed during manhole manufacture. Place at 16" centers 45' from centerline of sewer.
 - Cone section with modified groove tongue joints and with stud inserts cast in place. Top to have flush surface.
 - ASTM C-478 riser section with modified groove tongue joints.
 - Res-seal, link-seal, press wedge II, or kor-n-seal boot (with stainless steel korbard) flexible rubber manhole joints. (or approved equal).
 - The inside joints of manholes, catch basins, and pipe sizes over 42" and larger in diameter shall be pointed up with mortar upon completion of backfilling.
- CONCRETE PIPE REQUIREMENTS:
 - Concrete pipe to be per ASTM C76 standards.
 - It will be required to TV all pipe 30 days after installation
 - The contractor shall provide reinforced concrete pipe as specified on the plans.
 - All reinforced concrete pipe shall have modified grooved tongue joints with o-ring type rubber gasket, per A.S.T.M. specifications C443.
 - The inside joints of manholes, catch basins, and pipe sizes over 42" and larger in diameter shall be pointed up with mortar upon completion of backfilling.
- SUMP PUMP LEAD REQUIREMENTS:
 - All sump pump leads connected to a County Drain pipe shall be pre-manufactured.
 - Sump pump leads connected to a manhole shall be cored and booted. Refer to Kor-N-Tee Tap Detail.
 - Sump pump mains and leads shall be ADS (truss and solid wall), PVC (truss, solid wall , A2000), ADS N-12 WT with premium joints.
 - Ends of all 4" sump pump leads shall be temporarily capped and their location staked, witnessed and recorded.
 - All sump pump leads to be taken to the property line, easement line or as indicated on the plan.
 - Sump pump mains must have a cleanout with a minimum inside diameter of 24" and be constructed at changes of alignment, ends of sump pump mains or as indicated on the plan.
- RESTORATION REQUIREMENTS:
 - All disturbed area within the County Drain right-of-way shall be restored as follows:
 - Under roads, sidewalks, driveways and parking areas, backfill material shall be placed loosely into trenches in six (6) inch layers with each layer compacted to not less than 95% of maximum dry density as determined by the ASTM D 1557 Compaction Standard (modified proctor compaction test). All other areas shall have each layer compacted to not less than 90% of maximum dry density.
 - Finish subgrade
 - Place 3" thickness clean topsoil acceptable to the engineer to attain finished grade. Topsoil must not be contaminated and may not be a mixture of natural underlying soils, subbase materials, or other materials. It must consist of natural loam, sandy loam, silty loam or clay loam humus-bearing soil adapted to the sustenance of plant life. Topsoil must be neither excessively acidic nor excessively alkaline. It must be of mineral origin, exclusive of any peat or muck.
 - Apply seed and fertilizer as follows:*

Location	Seeding Requirements	Fertilizer Requirement
Slopes and Ditch, Banks, Etc.	M.D.O.T. "Roadside Mix" Turf Seed Mixture TGM (10% Kentucky Blue, 20% Perennial Rye, 30% Hard Fescue, 40% Creeping Red Fescue) applied at 220 lb/acre	M.D.O.T. Seeding and Sodding Fertilizers, Class A
Other Areas	M.D.O.T. "Roadside Mix" Turf Seed Mixture THM (30% Kentucky Blue, 20% Perennial Rye, 50% Creeping Red Fescue) applied at 220 lb/acre	M.D.O.T. Seeding and Sodding Fertilizers, Class A

- * Sod is required in maintained lawn areas. Refer to WRC General Specifications for additional requirements and information.
- apply straw or marsh hay mulch in an air-dry condition to all seeded areas over the surface to a uniform thickness at 2 tons/acre.
- mulch shall be anchored in place with biodegradable netting, not larger than 1 1/2" by 2" nor smaller than 1/2" by 1/2".
- The contractor shall be responsible to insure the growth of all seeded areas, and shall re-seed as necessary to accomplish this.

- The Storm Drain Notes and Details Sheet shall be a supplement to WRC Standards and Specifications, which are available on the WRC website (www.oakgov.com/water/).

STORM DRAIN NOTES AND DETAILS

REVISION BLOCK			
Data Source / Source Date: N/A			
Rev. No.	Rev.	Date	Description
1	1	3/17/08	PROPOSED DETAIL CHANGES: NEW LOGO
2	1	06/12/09	APPROVAL PER STANDARDS COMMITTEE
3	1	03/28/10	REVISED MH COVER DETAIL
4	05	04/27/10	REVISED GENERAL NOTES
ORIG. DATE: 05/05/97			
SCALE: NONE			
DESIGNED BY: WRC			
DRAWN BY: Mapping			



ONE PUBLIC WORKS DRIVE, BLDG 95 WEST
WATERFORD, MICHIGAN
48328-1907

SHEET NO.:

1 of 1

GENERAL NOTES

- ALL CONSTRUCTION PROCEDURES AND MATERIALS SHALL CONFORM TO THE CURRENT STANDARDS AND SPECIFICATIONS OF THE WATER RESOURCES COMMISSIONER'S OFFICE AND/OR THE LOCAL MUNICIPALITY.
- THE CONTRACTOR SHALL OBTAIN AN WATER RESOURCES COMMISSIONER'S OFFICE WATER INSPECTION PERMIT PRIOR TO THE START OF CONSTRUCTION. SEE CORRESPONDING WATER MAIN CONSTRUCTION PERMIT REQUEST LETTER FOR COST OF THE PERMIT.
- A PRE-CONSTRUCTION MEETING SHALL BE HELD PRIOR TO THE START OF CONSTRUCTION AND SHALL BE SCHEDULED BY THE LOCAL MUNICIPAL ENGINEER. THOSE IN ATTENDANCE SHALL INCLUDE 1) LOCAL MUNICIPAL ENGINEER, 2) DESIGN ENGINEER, 3) OWNER/DEVELOPER, 4) ROAD COMMISSION FOR OAKLAND COUNTY, 5) OAKLAND COUNTY WATER RESOURCES COMMISSIONER'S OFFICE (WATER, SEWER AND STORM DIVNSIONS) AND 6) ALL UTILITY COMPANIES. CONTRACTOR SHALL PROVIDE MATERIALS LISTING FOR APPROVAL BY MUNICIPAL ENGINEER AND OCWRC.
- CONTRACTOR MUST CONTACT MISS DIG (1-800-482-7171) THREE WORKING DAYS BEFORE THE START OF CONSTRUCTION FOR UNDERGROUND UTILITY LOCATIONS. ALL UTILITIES SHALL BE STAKED BEFORE CONSTRUCTION STARTS.
- ALL NECESSARY EASEMENTS FOR WATER MAINS SHALL BE PROVIDED IN THE NAME OF THE OWNER OF THE WATER MAIN PRIOR TO CONSTRUCTION AND ACCEPTANCE OF THE WATER DISTRIBUTION SYSTEM FOR OPERATION.
- ALL WATER MAINS SHALL BE CONSTRUCTED WITH A MINIMUM COVER OF FIVE AND ONE-HALF (5-1/2) FEET BELOW FINISHED GRADES INCLUDING OPEN DRAINAGE COURSES.
- ALL TRENCHES UNDER OR WITHIN A 1:1 RATIO OF EXISTING OR PROPOSED PAVEMENT OR DRIVEWAYS SHALL BE BACKFILLED WITH THOROUGHLY COMPACTED CLASS II SAND TO GRADE AT NOT LESS THAN 95% OF THE MAXIMUM UNIT WEIGHT
- WHERE TWO UTILITIES CROSS, PROVIDE CLASS II BACKFILL MATERIAL IN TWELVE (12) INCH COMPACTED LAYERS TO THE UNDERSIDE OF THE HIGHER UTILITY.
- WHERE WATER MAINS MUST DIP TO PASS UNDER OTHER UTILITIES, THE SECTIONS WHICH ARE DEEPER THAN NORMAL SHALL BE KEPT TO A MINIMUM LENGTH AND SHALL BE CONSTRUCTED WITH ELEVEN AND ONE-QUARTER (11-1/4) DEGREE VERTICAL BENDS, PROPERLY ANCHORED. BENDS GREATER THAN 11-1/4° MUST HAVE ROD RESTRAINTS.
- ALL PRECAST CONCRETE GATE WELL SECTIONS SHALL BE MANUFACTURED TO CONFORM WITH A.S.T.M. C478, STANDARD SPECIFICATIONS FOR PRECAST REINFORCED CONCRETE MANHOLE SECTIONS, EXCEPT WALL THICKNESS SHALL BE AS SHOWN ON THESE DETAILS. ALL JOINTS FOR PRECAST CONCRETE GATE WELL SECTIONS SHALL BE "MODIFIED GROOVE TONGUE" WITH GASKET MANUFACTURED TO CONFORM WITH A.S.T.M. C 443, STANDARD SPECIFICATION FOR JOINTS FOR CIRCULAR CONCRETE SEWER AND CULVERT PIPE USING RUBBER GASKETS.
- CONTRACTOR SHALL INSTALL VALVES, TAPPING SLEEVES AND GATE WELL STRUCTURES IN STRICT COMPLIANCE WITH MEASUREMENTS PROVIDED ON SHEET 2 (i.e. 2'-0" BETWEEN GATE WELL WALL & CENTERLINE OF OPERATING NUT) TO ALLOW PROPER OPERATION OF VALVE THROUGH GATEWELL OPENING. FAILURE TO DO SO WILL REQUIRE CONTRACTOR TO CORRECT AT HIS EXPENSE.
- ALL CROSS-CONNECTION CONTROL DEVICES SHALL BE INSTALLED AS REQUIRED BY THE LOCAL PLUMBING INSPECTOR AND IN ACCORDANCE WITH THE STANDARDS OF THE WATER RESOURCES COMMISSIONER'S OFFICE OPERATION AND MAINTENANCE DIVISION AND THE MICHIGAN DEPARTMENT OF ENVIRONMENT, GREAT LAKES AND ENERGY, DIVISION OF DRINKING WATER AND ENVIRONMENTAL HEALTH DIVISION
- ALL WATER SERVICE CONNECTIONS TWO (2) INCHES AND SMALLER SHALL BE MADE BY THE WATER RESOURCES COMMISSIONER'S OFFICE, OPERATIONS AND MAINTENANCE DIVISION AFTER WATER MAIN ACCEPTANCE AND APPLICABLE TAP PERMITS ARE OBTAINED.
- ALL FITTINGS AND BENDS SHOULD BE BLOCKED IN ACCORDANCE WITH THRUST BLOCK DETAILS, UNLESS ALTERNATE THRUST RESTRAINT SYSTEM AS INDICATED IN PLANS AND SPECIFICATIONS, IS APPROVED BY WATER RESOURCES COMMISSIONER'S OFFICE AND THE LOCAL MUNICIPALITY.
- ALL STEEL AND IRON MATERIAL AND PRODUCTS FOR PERMANENT INCORPORATION INTO THE WORK SHELL MEET BUY AMERICA REQUIREMENT, FEDERAL CODE OF REGULATIONS SECTION 635.410

WATER MAIN MATERIALS NOTES

- WATER SUPPLY SYSTEM PIPING (3-INCH & LARGER) SHALL BE DUCTILE IRON OR HIGH DENSITY POLYETHYLENE (HDPE) UNLESS OTHERWISE APPROVED BY THE LOCAL COMMUNITY.
- DUCTILE IRON PIPE SHALL BE CLASS 54 FOR SIZES THREE (3) INCH THROUGH EIGHTEEN (18) INCH, CLASS 55 FOR TWENTY (20) INCH, AND CLASS 56 FOR TWENTY-FOUR (24) INCH AND LARGER. (ABBREVIATED "D.I." IN DETAILS AND ON THIS SHEET).
- PIPES OF SIZES LARGER THAN TWENTY-FOUR (24) INCHES IN NOMINAL DIAMETER SHALL MEET ALL THE REQUIREMENTS OF THE CURRENT AWWA C100 FOR DUCTILE IRON WATER PIPE.
- THE DUCTILE IRON PIPE TO BE FURNISHED AND DELIVERED UNDER THIS SPECIFICATION SHALL MEET ALL THE REQUIREMENTS OF THE CURRENT AWWA C151 (ANSI A21.5), EXCEPT AS OTHERWISE SPECIFIED HEREIN. PIPE SHALL BE DOUBLE CEMENT-LINED AND SEAL COATED WITH AN APPROVED BITUMINOUS SEAL COAT IN ACCORDANCE WITH AWWA C104 (ANSI A21.4).
- REFER TO SHEET 5 FOR HDPE MATERIAL REQUIREMENTS.
- MECHANICAL AND SLIP-ON JOINTS FOR DUCTILE IRON WATER MAIN SHALL BE IN ACCORDANCE WITH AWWA C111 (ANSI A21.11).
- FLANGE JOINTS FOR DUCTILE IRON WATER MAIN SHALL BE IN ACCORDANCE WITH AWWA C110 (ANSI A21.10).
- FITTINGS FOR DUCTILE IRON PIPE SHALL BE DUCTILE IRON OR CAST IRON AND SHALL MEET REQUIREMENTS OF AWWA C110 (ANSI A21.10) OR AWWA C153 (ANSI A21.53). DUCTILE IRON FITTINGS SHALL BE RATED FOR 350 PSI, PIPE SIZES TWENTY-FOUR (24) INCH DIAMETER AND LESS AND 250 PSI FOR PIPE SIZES OVER TWENTY-FOUR (24) INCH DIAMETER. DUCTILE IRON FLANGE FITTINGS SHALL BE RATED FOR 250 PSI FOR ALL PIPE DIAMETERS.
- INSTALL BRASS WEDGES AT ALL PUSH ON JOINTS IN DUCTILE IRON PIPE INSTALLATIONS. TWO (2) WEDGES PER JOINT FOR PIPES 12 INCH IN DIAMETER AND LESS, FOUR WEDGES PER JOINT FOR PIPES GREATER THAN 12 INCHES IN DIAMETER.
- ALL WATER MAINS SHALL BE DESIGNED FOR 150 PSI MINIMUM WORKING PRESSURE.
- ALL BURIED BOLTS, NUTS, AND WASHERS SHALL BE AWWA C111 LOW ALLOY STEEL COATED WITH A MINIMUM OF TWO (2) COATS OF FLUOROPOLYMER EPOXY COATING AND HEAT CURED (COR-BLUE OR APPROVED EQUAL) AND POLY-WRAPPED WHEN SPECIFIED.
- ALL BURIED BOLTS, NUTS, AND WASHERS FOR ALL FLANGED CONNECTIONS SHALL BE STAINLESS STEEL (ASTM A320, GRADE B8M) AND HAVE A NEVER SEIZE TYPE COMPOUND APPLIED TO THE THREADS PRIOR TO INSTALLATION.
- CORPORATION STOPS USED FOR INSERTION INTO MAINS SHALL BE MUELLER TYPE H-15000, FORD METER BOX FB-1000-X-Q-NL OR FORD METER BOX FB1000-4-Q-NL. ALL STOPS SHALL HAVE BRONZE CAST BODIES, KEYS, STEM WASHERS AND NUTS. INLET THREADS SHALL CONFORM TO THE LATEST VERSION OF AWWA C800.
- TEMPORARY CONNECTIONS, WHICH MAY BE MADE FOR CHLORINATING AND FLUSHING PURPOSES, SHALL INCLUDE A TESTABLE REDUCE PRESSURE ZONE (RPZ) VALVE WITH CURRENT CERTIFICATION.

VALVE AND SLEEVE NOTES

- GATE VALVES, SIZES THREE (3) INCH THROUGH SIXTEEN (16) INCH AND TAPPING VALVES SHALL BE LOCAL MUNICIPAL STANDARD AS DETAILED WITH NON-RISING STEM.
- ALL IN LINE GATE VALVES THREE (3) INCH AND LARGER SHALL BE IN WELLS AS DETAILED. SPECIFICATIONS SHALL INCLUDE THE DIRECTION OF OPERATION OF ALL VALVES.
- ALL GATE WELL COVERS SHALL BE LOCAL MUNICIPAL STANDARD AS DETAILED.
- ALL GATE VALVES WITH OPERATING NUTS AT A DISTANCE GREATER THAN FIVE (5) FEET BELOW GROUND SURFACE SHALL BE PROVIDED WITH A STAINLESS STEEL EXTENSION STEM. THE LENGTH OF THE EXTENSION STEM SHALL REACH WITHIN FIVE (5) FEET FROM THE GROUND SURFACE. WHEN AN EXTENSION STEM IS USED, IT SHALL BE HELD IN PLACE BY A STAINLESS STEEL EXTENSION STEM GUIDE SUITABLY FASTENED TO THE WALL OF THE GATE WELL. THE EXTENSION STEM SHALL BE MECHANICALLY ATTACHED TO THE OPERATING NUT. DETAILS OF THE EXTENSION SYSTEM AND THE METHOD OF INSTALLATION SHALL BE APPROVED BY THE ENGINEER PRIOR TO INSTALLATION.
- TAPPING VALVES SHALL BE AWWA C515 FL X MJ AS MANUFACTURED BY EJ WITH RESILIENT SEATED GATE VALVES AS APPROVED BY LOCAL MUNICIPALITY.
- TAPPING SLEEVES SHALL BE ALL STAINLESS STEEL (BODY, FLANGE AND HARDWARE), MANUFACTURED BY ROMAC INDUSTRIES SST; JCM 432; SMITH-BLAIR 663/665 OR APPROVED EQUAL BY THE WATER RESOURCES COMMISSIONER'S OFFICE.

HYDRANT REQUIREMENTS

- ALL HYDRANTS SHALL BE CONSTRUCTED WITH A SIX (6) INCH COMPANION GATE VALVE IN A THREE (3) PIECE, ADJUSTABLE DUCTILE IRON VALVE BOX, WHICH SHALL INCLUDE A FIVE AND ONE-QUARTER (5-1/4) INCH SCREW SHAFT. VALVE BOXES SHALL BE SERIES 8860 AS MANUFACTURED BY TYLER PIPE. EJ VALVE BOX NO. 8560 OR APPROVED EQUAL.
- ALL HYDRANTS SHALL BE EJ 5BR250 TRAFFIC MODEL, OR APPROVED EQUAL WITH A MINIMUM OF 6'-0" DEPTH OF BURY UNLESS OTHERWISE INDICATED. SELF-DRAINING HYDRANTS SHALL NOT BE USED. ALL HYDRANTS SHALL BE LOCAL MUNICIPAL STANDARD AS DETAILED. HYDRANTS SHALL HAVE BREAKAWAY FLANGE.
- ALL HYDRANTS SHALL BE PAINTED RED ABOVE GROUND AND BLACK BELOW GROUND WITH A FINISH COAT OF GLAMORTEK 501 ENAMEL, COLOR 314 VERMILION OR APPROVED EQUAL. HYDRANT CAP SHALL BE PAINTED SAME COLOR AS THE HYDRANT. FOR PONTIAC: YELLOW RUST-OLEUM #7543 SAFETY YELLOW.

ACCEPTANCE OF NEW WATER MAINS

- PRIOR TO WATER MAIN ACCEPTANCE THE FOLLOWING CONDITIONS MUST BE MET:
 - PRESSURE TESTING AND BACTERIA TESTING MUST BE COMPLETED IN ACCORDANCE WITH THE WATER RESOURCES COMMISSIONER'S OFFICE REQUIREMENTS
 - ALL EASEMENT AND RIGHT-OF-WAY ACQUISITION MUST BE ACCEPTED BY THE WATER RESOURCES COMMISSIONER'S OFFICE, RIGHT-OF-WAY DIVISION
 - THE LOCAL MUNICIPALITY MUST BE PROVIDED WITH THE BILL OF SALE
 - ALL "RECORD DRAWINGS" MUST BE ACCEPTED AND APPROVED BY THE WATER RESOURCES COMMISSIONER'S OFFICE, OPERATIONS AND MAINTENANCE DIVISION. THE WATER RESOURCES COMMISSIONER'S OFFICE AND LOCAL ENGINEER MUST WITNESS THE CONNECTION OF THE WATER MAIN TO THE EXISTING WATER MAIN, AFTER WHICH RESIDENTIAL AND COMMERCIAL TAPS WILL BE ALLOWED.
- THE CONTRACTOR SHALL NOTIFY THE WATER RESOURCES COMMISSIONER'S OFFICE, OPERATIONS AND MAINTENANCE DIVISION THROUGH THE LOCAL ENGINEER FOR NEW CONSTRUCTION TAP, PRESSURE TESTING, BACTERIOLOGICAL SAMPLING, CONNECTIONS TO EXISTING WATER MAIN AND FINAL FIELD REVIEW. A SEVENTY-TWO (72) HOUR ADVANCE NOTICE IS REQUIRED.
- THE CONTRACTOR SHALL DISINFECT AND PRESSURE TEST ALL NEW WATER MAIN CONSTRUCTION PURSUANT TO THE CURRENT STANDARDS SPECIFIED BY THE WATER RESOURCES COMMISSIONER'S OFFICE.
- HYDROSTATIC TESTING FOR DUCTILE IRON WATER MAIN SHALL BE COMPLETED IN ACCORDANCE WITH ANSI/AWWA C600, SEC 5.2. THE SPECIFIED TEST PRESSURE IS 150 PSI OR 1.5 TIMES THE MAXIMUM ALLOWABLE OPERATING PRESSURE (MAOP) OF THE TEST SECTION, WHICHEVER IS GREATER. THE TEST METHOD IS GENERALLY SUMMARIZED AS FOLLOWS:
 - SLOWLY FILL PIPELINE WITH WATER, VENTING ENTRAPPED AIR AS NECESSARY.
 - REPAIR ANY VISIBLE LEAKS THAT OCCUR DURING FILLING OR AT ANY POINT DURING THE TEST.
 - GRADUALLY APPLY PRESSURE UP TO THE SPECIFIED WORKING PRESSURE USING A SUITABLE PUMP CONNECTED TO THE PIPELINE, BLEEDING TRAPPED AIR, AND ADDING WATER AS NECESSARY UNTIL A STABLE PRESSURE IS HELD.
 - HYDROSTATIC TEST BEGINS AFTER THE PIPELINE IS STABILIZED AT THE WORKING PRESSURE BY INCREASING THE PRESSURE UP TO THE SPECIFIED TEST PRESSURE AND HOLD IT WITHIN PLUS/MINUS 5 PSI FOR THE DURATION OF THE TEST, OR A MINIMUM OF TWO HOURS.
 - CAREFULLY RECORD THE AMOUNT OF MAKEUP WATER ADDED DURING THE TEST. THE HYDROSTATIC TEST PASSES IF THE AMOUNT OF MAKEUP WATER DOES NOT EXCEED THE TESTING ALLOWANCE.
 - IF THE TESTING ALLOWANCE IS EXCEEDED, LOCATE AND REPAIR ANY LEAKS AND REPEAT TEST.
- REFER TO SHEET 5 FOR HYDROSTATIC TESTING REQUIREMENTS FOR HDPE PIPE.
- PRESSURE TESTING AGAINST VALVES PHYSICALLY CONNECTED TO AN EXISTING WATER SUPPLY SYSTEM IS STRICTLY PROHIBITED.
- WHERE CONTRACTOR SUPPLIED GAUGES ARE REQUIRED, MINIMUM SIZE SHALL BE 3/4" DIAMETER OR LARGER GRADUATED IN ONE (1) OR TWO (2) POUND INCREMENTS FROM 1 TO 160 P.S.I. OR HIGHER.
- PRESSURE TESTING AND BACTERIA TESTING MUST BE SUCCESSFULLY COMPLETED PRIOR TO CONNECTING TO THE EXISTING WATER SUPPLY SYSTEM.

WATER RESOURCES COMMISSIONER
WATER SYSTEM STANDARDS –
GATE VALVES

COMMUNITY	DIRECTION TO OPEN	VALVE TYPE	
		STD. GATE VALVE	TAPPING VALVE
BINGHAM FARMS	RIGHT	C515	C515
BLOOMFIELD HILLS	RIGHT	C515	C515
COMMERCE TOWNSHIP	LEFT	C515	C515
FARMINGTON HILLS	RIGHT	C515	C515
HIGHLAND TOWNSHIP	LEFT	C515	C515
KEEGO HARBOR	RIGHT	C515	C515
OAKLAND TOWNSHIP	LEFT	C515	C515
ORCHARD LAKE VILLAGE	LEFT	C515	C515
OXFORD TOWNSHIP	LEFT	C515	C515
PONTIAC	LEFT	C515	C515
ROYAL OAK TOWNSHIP	RIGHT	C515	C515
SPRINGFIELD TOWNSHIP	LEFT	C515	C515
WALLED LAKE	LEFT	C515	C515

1.) C515 RESILIENT SEATED GATE VALVE – MANUFACTURED BY U.S. PIPE, MUELLER, EAST JORDAN IRON WORKS, AMERICAN FLOW CONTROL OR APPROVED EQUAL.

FIRE HYDRANT NOZZLE SIZE AND
THREAD SPECIFICATIONS

CVT	PUMPER NOZZLE	HOSE NOZZLE	OPERATING NUT	DEPTH OF BURY	STYLE	MODEL #
BINGHAM FARMS	(1) – 3-3/4"-DFD	(2) – 2-1/2"-DFD	1-1/8"	5'-6"	5BR250	54826D
BLOOMFIELD HILLS	(1) – 3-3/4"-DFD	(2) – 2-1/2"-DFD	1-1/8"	6'-0"	5BR250	55825D
COMMERCE TWP/ WOLVERINE LAKE	(1) – 5"-STORZ	(2) – 2-1/2"-NST	1-1/2"	5'-6"	5BR250	54913D
FARMINGTON HILLS	(1) – 3-3/4"-DFD	(2) – 2-1/2"-NST	1-1/8"	5'-6"	5BR250	54329D
HIGHLAND TWP	(1) – 5"-STORZ	(2) – 2-1/2"-NST	1-1/2"	5'-6"	5BR250	54913D
KEEGO HARBOR	(1) – 3-3/4"-DFD	(2) – 2-1/2"-DFD	1-1/8"	5'-6"	5BR250	54826D
OAKLAND TWP	(1) – 4"-STORZ	(2) – 2-1/2"-DFD	1-1/2"	5'-6"	5BR250	54831D
ORCHARD LAKE	(1) – 3-3/4"-DFD	(2) – 2-1/2"-DFD	1-1/8"	6'-0"	5BR250	55825D
OXFORD TWP	(1) – 5"-STORZ (1) – 4-1/2"-NST		1-1/2"	6'-0"	5BR250	55601D
PONTIAC	(1) – 3-3/4"-DFD	(2) – 2-1/2"-DFD	1-1/2"	6'-0"	5BR250	55822D
ROYAL OAK TWP	(1) – 3-3/4"-DFD	(2) – 2-1/2"-NST	1-1/8"	5'-6"	5BR250	54329D
SPRINGFIELD TWP	(1) – 5"-STORZ	(2) – 2-1/2"-NST	1-1/2"	5'-6"	5BR250	54913D
WALLED LAKE	(1) – 4-1/2"-NST	(2) – 2-1/2"-NST	1-1/8"	5'-6"	5BR250	54534D

- D.F.D. – DETROIT FIRE DEPARTMENT THREAD
- N.S.T. – NATIONAL STANDARD THREAD
- STORZ NOZZLES SHALL BE COMPATIBLE WITH STORZ COUPLED LARGE DIAMETER FIRE HOSE. NOZZLES SHOULD BE MADE OF "LEAD FREE" BRASS OR ALUMINUM, AS APPROVED BY LOCAL CITY, VILLAGE OR TOWNSHIP. THE NOZZLE SHALL BE AN INTEGRAL PART OF THE HYDRANT, RESISTANT TO TAMPER AND REMOVAL. ENGAGEMENT LUGS SHALL BE ON THE NOZZLE AND CAP TO PREVENT FAILURE UNDER HIGH PRESSURE. NOZZLE AND CAP SHALL MEET AWWA C502 SPECIFICATIONS. NOZZLE SHALL BE COMPATIBLE WITH HOSE LOCK TO PREVENT HOSE FROM DISCONNECTING WHILE IN USE.

WATER RESOURCES COMMISSIONER'S OFFICE
WATER SYSTEMS OPERATIONS AND MAINTENANCE DIVISION
RECORD DRAWING SPECIFICATIONS

IN AREAS WHERE WATER SYSTEMS ARE OPERATED AND MAINTAINED BY THE WATER RESOURCES COMMISSIONER'S OFFICE, OPERATIONS AND MAINTENANCE DIVISION, FINAL ACCEPTANCE OF THE WATER SYSTEM MUST BE RENDERED BY THE WATER RESOURCES COMMISSIONER'S OFFICE, OPERATIONS AND MAINTENANCE DIVISION, BEFORE THE SYSTEM CAN BE USED FOR THE SERVICE INTENDED.

ONE ITEM REQUIRED FOR FINAL ACCEPTANCE SHALL BE THE SUBMISSION OF RECORD DRAWINGS TO THE WATER RESOURCES COMMISSIONER, OPERATIONS AND MAINTENANCE DIVISION, BY THE DESIGN ENGINEER. RECORD DRAWINGS SHALL BE DEFINED AS AND CONTAIN THE FOLLOWING INFORMATION:

- THE DESIGN ENGINEER SHALL FURNISH "RECORD DRAWINGS" WATER MAIN PLANS UPON JOB COMPLETION. "RECORD DRAWINGS" SHALL BE FORWARDED TO THE WATER RESOURCES COMMISSIONER BY THE LOCAL MUNICIPAL ENGINEER AFTER THEIR REVIEW AND APPROVAL.
- THE COVER SHEET SHALL BE SIGNED AND SEALED BY THE PROJECT DESIGN ENGINEER AND INCLUDE THE FOLLOWING CERTIFICATION STATEMENT:

HEREBY CERTIFY THAT OUR FIRM HAS PREPARED THESE RECORD DRAWINGS OF THE IMPROVEMENTS AS CONSTRUCTED, AND THAT TO THE BEST OF MY KNOWLEDGE THOSE IMPROVEMENTS NOTED AS "RECORD DRAWINGS" WERE CONSTRUCTED IN SUBSTANTIAL CONFORMANCE WITH THE APPROVED CONSTRUCTION PLANS; AND ALSO THAT THE WATER MAIN AND STRUCTURES, AS CONSTRUCTED, LIE WITHIN THE EASEMENT DESCRIPTIONS REQUIRED BY THE WATER RESOURCES COMMISSIONER'S OFFICE.

(COMPANY NAME)

(ENGINEER'S SIGNATURE)

PROFESSIONAL ENGINEER NO. _____

ENGINEER SEAL

- THE MINIMUM SCALE SHALL BE ONE (1) INCH EQUALS FIFTY (50) FEET.
- THE SIZE, LENGTH, CLASS AND MANUFACTURER OF PIPE INSTALLED SHALL BE INDICATED.
- THE SIZE, BRAND AND MODEL NUMBERS OF ALL VALVES AND HYDRANTS INSTALLED SHALL BE INDICATED.
- A TOTAL RECORD DRAWING QUANTITY LIST SHALL BE INCLUDED, AS WELL AS A RECORD DRAWING QUANTITY LIST ON EACH INDIVIDUAL SHEET.
- THE LOCATIONS SHALL BE SHOWN ON THE PLANS WITH AN ACCURACY OF ONE (1) FOOT.
- THE OFFSET OF THE WATER MAIN FROM PROPERTY LINES SHALL BE INDICATED.
- ALL GATE VALVE WELLS, HYDRANTS AND ALL WATER SYSTEM APPURTENANCES SHALL BE LOCATED FROM THE NEAREST PROPERTY CORNER.
- ALL UNDERGROUND APPURTENANCES, SUCH AS GATE VALVE WELLS, METER PITS, PRESSURE REDUCING VALVE PITS, ETC. SHALL BE LOCATED FROM THE NEAREST HYDRANT THAT IS CONNECTED TO THE SAME WATER MAIN AS THE APPURTENANCE.
- THE LOCATION, SIZE, BRAND AND MODEL NUMBER OF EVERY RESTRAINED JOINT SHALL BE NOTED.
- THE ACCURATE LOCATION OF ALL UTILITY CROSSINGS WHERE THE RECOMMENDED SEPARATION, VERTICALLY OR HORIZONTALLY, IS LESS THAN THE TEN STATE STANDARDS SHALL BE NOTED.
- WATER MAINS 12" AND LARGER IN DIAMETER SHALL BE DRAWN IN PROFILE VIEW IN ADDITION TO PLAN VIEW ON THE CONSTRUCTION PLANS.

WATER MAIN
STANDARD DETAILS

REVISION BLOCK

Date Source / Source Date: N/A

Rev. No.: By: Rev. Date: Description:

1 DL 03/23/15 FINAL CHANGES TO GATE VALVE STANDARDS, HYDRANT SPECIFICATIONS AND PIPE CLASS UPDATES

2 DL 01/03/17 UPDATE DIRECTION TO OPEN COMMERCE TOWNSHIP FROM RIGHT TO LEFT

3 KB 02/14/18 MARKUPS PER G. APPEL


4 WRC 08/01/20 GENERAL UPDATE

ORIG. DATE: 01/01/01

SCALE: NONE

DESIGNED BY: WRC

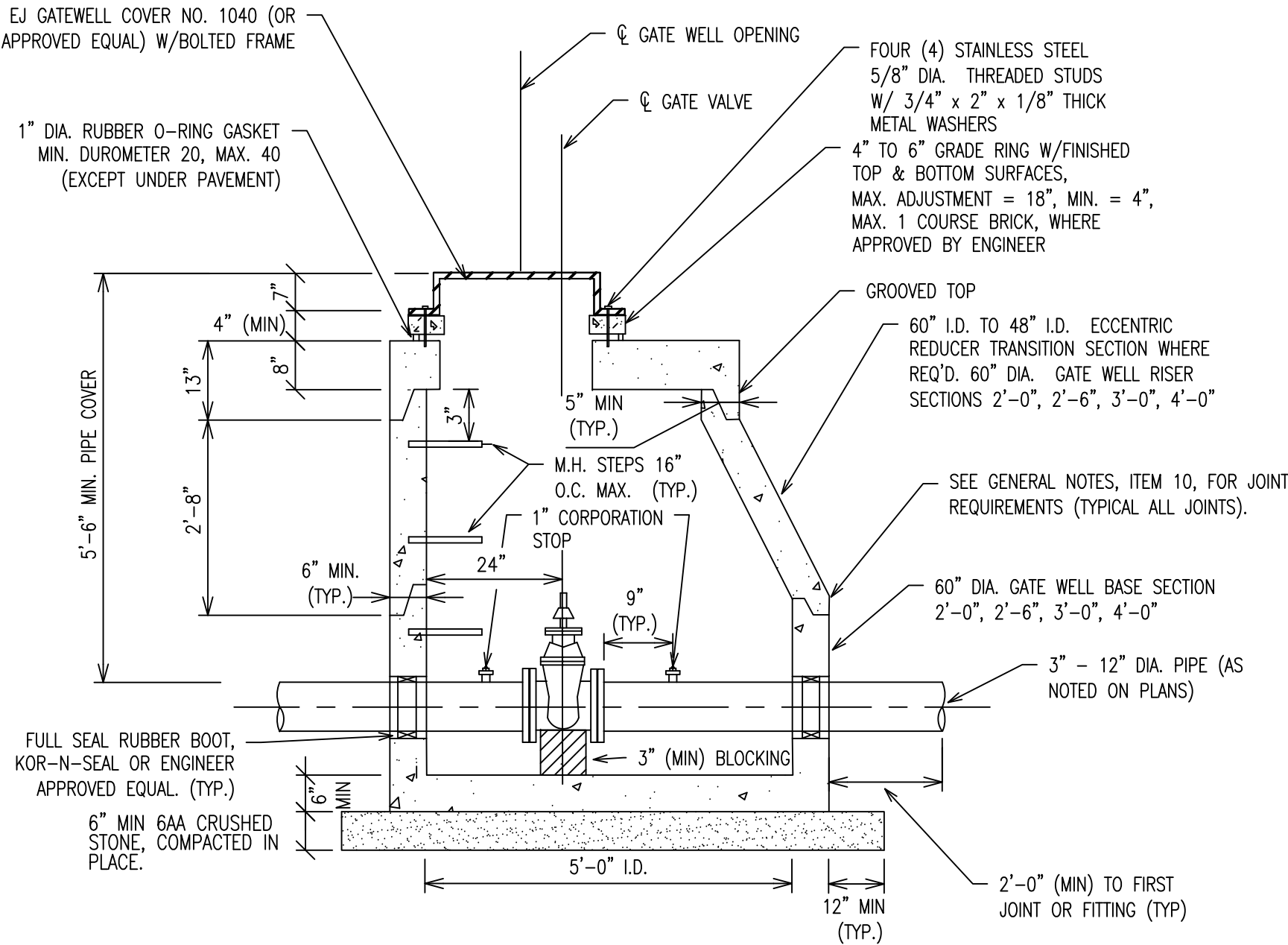
DRAWN BY: WRC Mapping

 WATER RESOURCES COMMISSIONER
Jim Nash

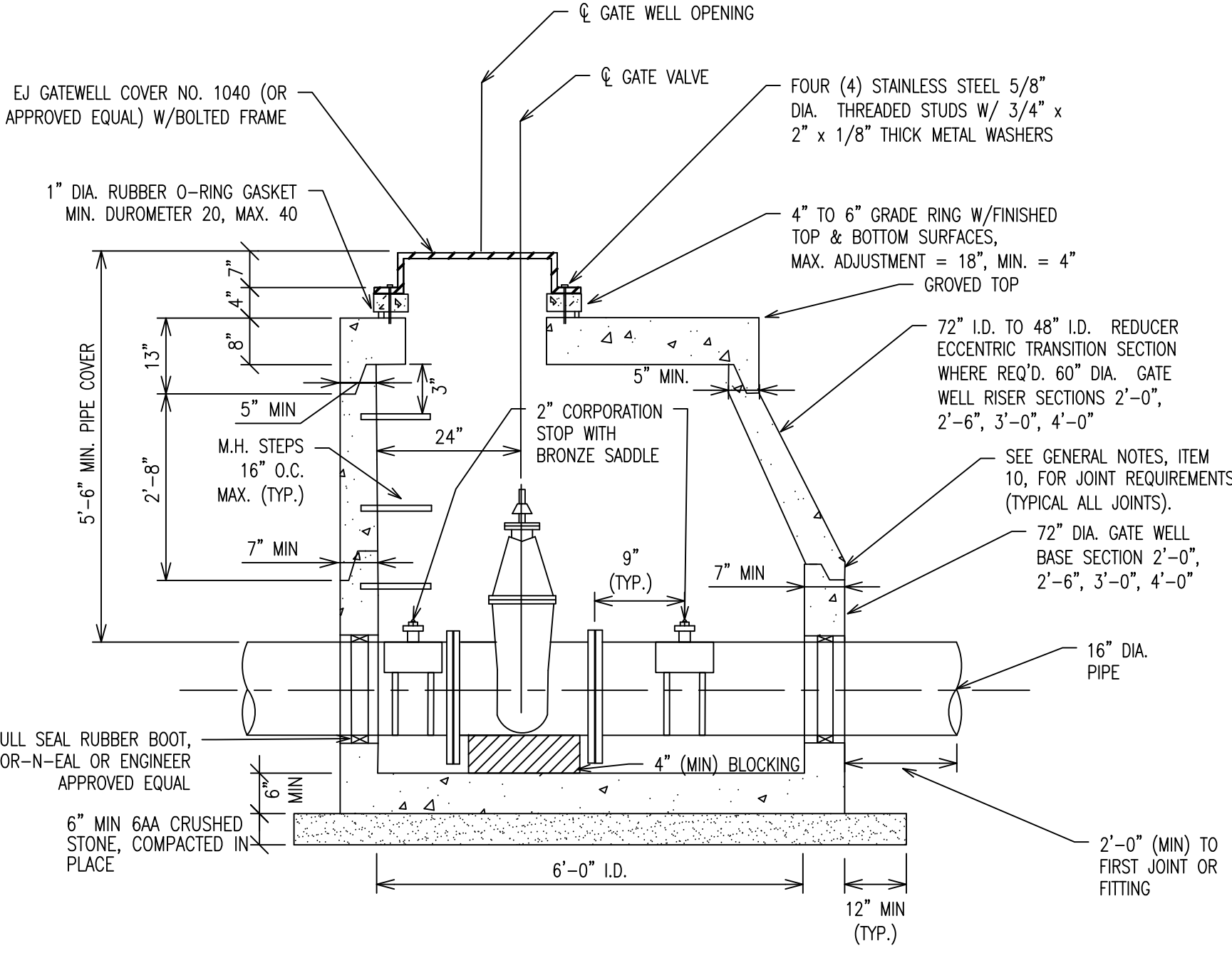
ONE PUBLIC WORKS DRIVE, BLDG 95 WEST
WATERFORD, MICHIGAN
48329-1907

SHEET NO.: 1 of 7

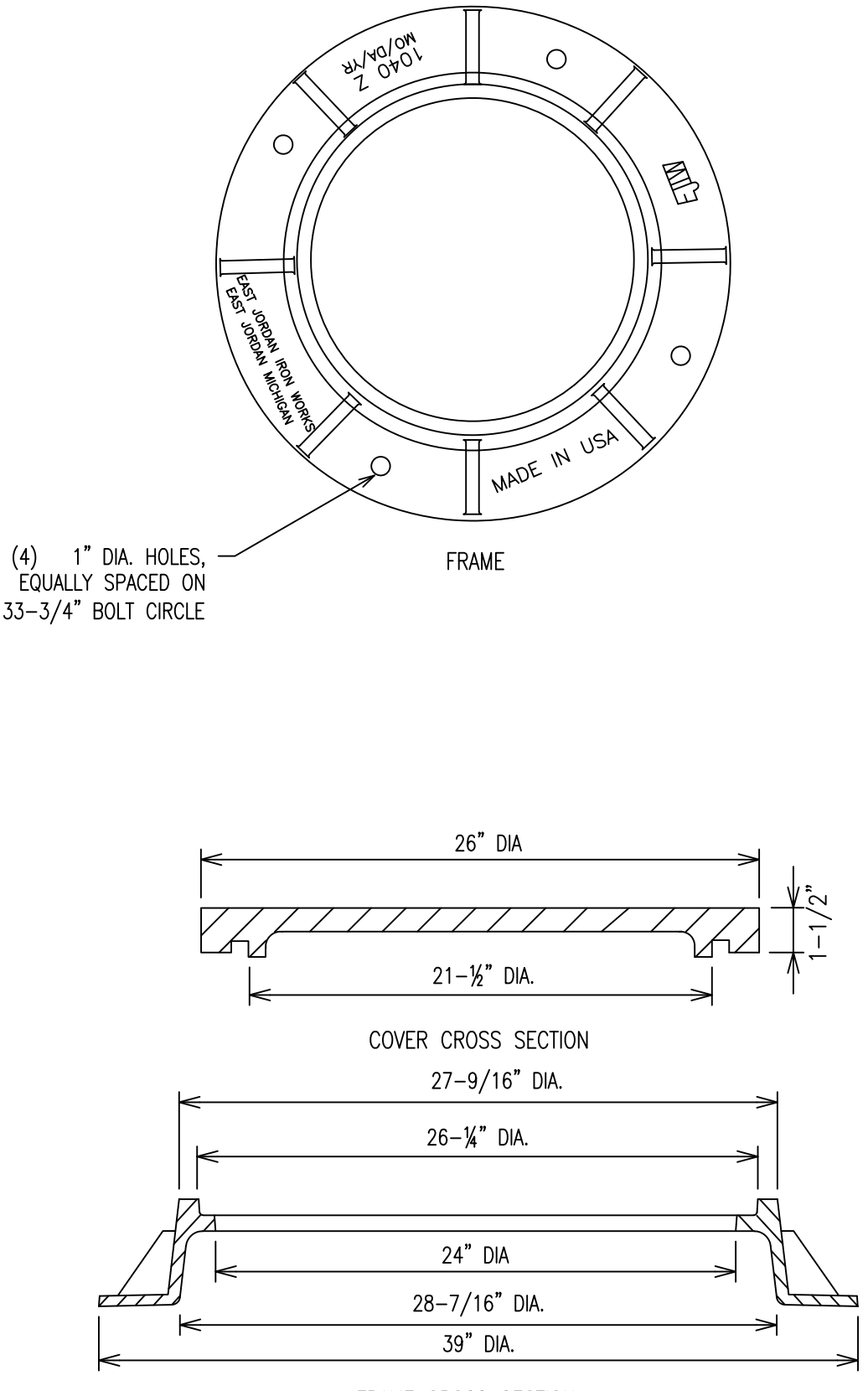
GATE VALVE & WELL DETAILS



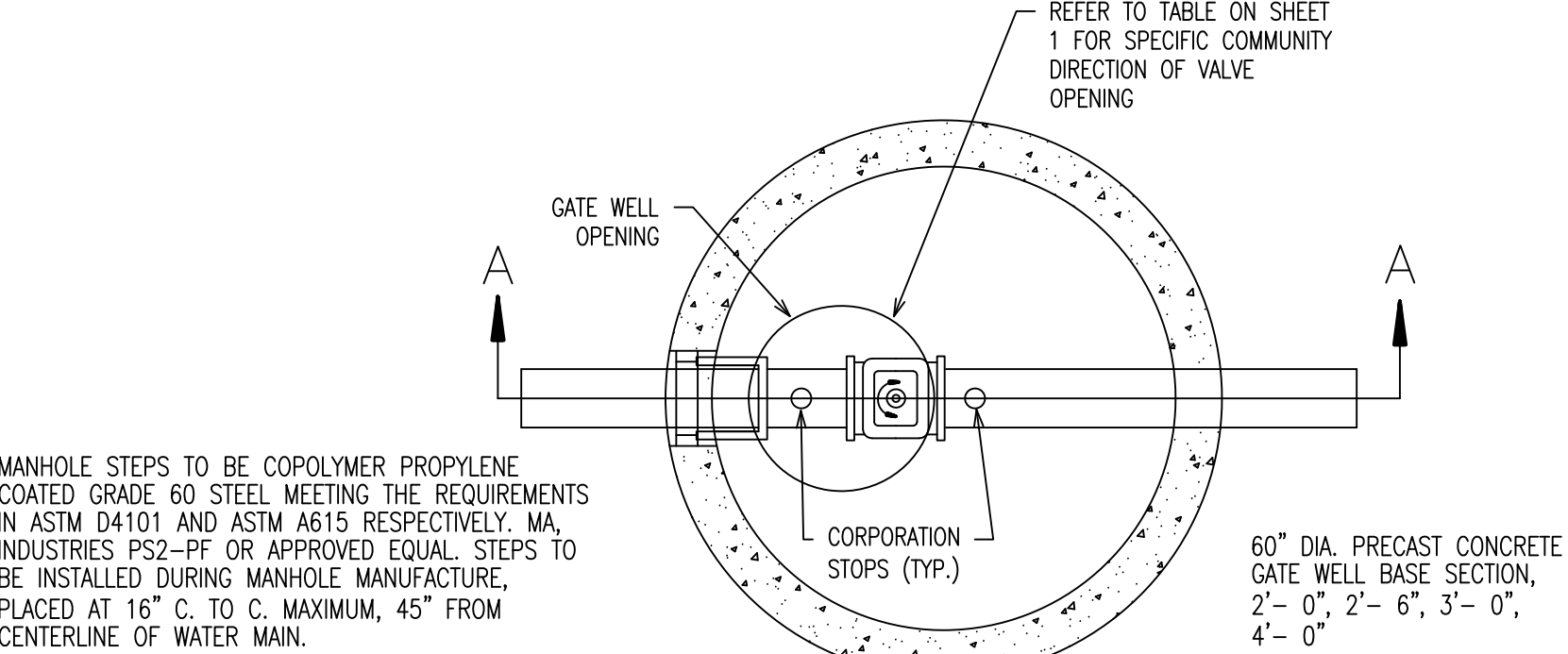
3" THRU 12" GATE WELL



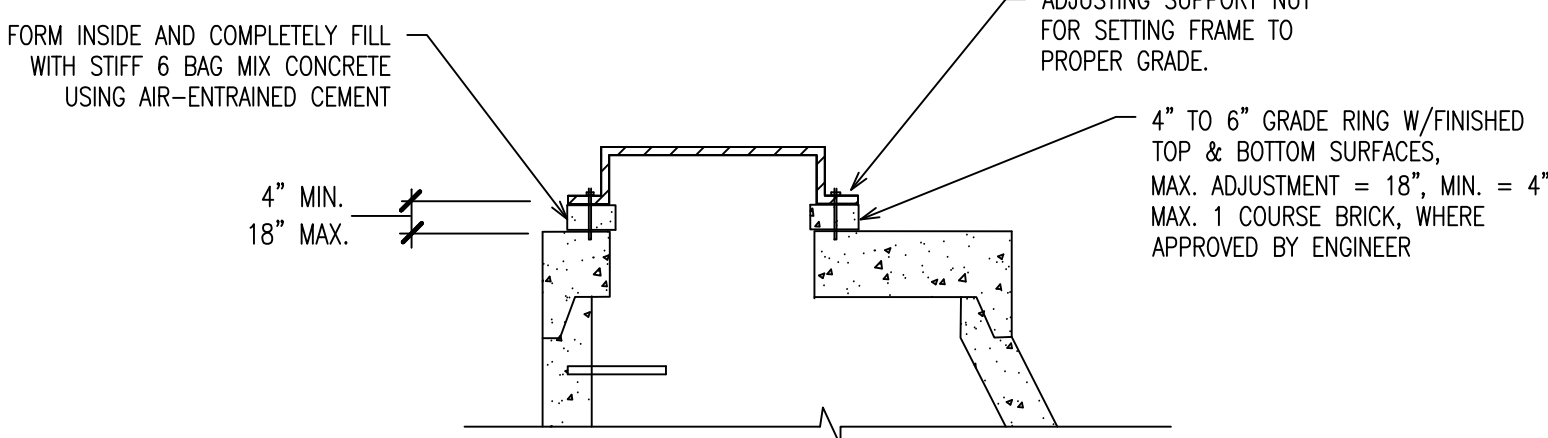
16" GATE WELL



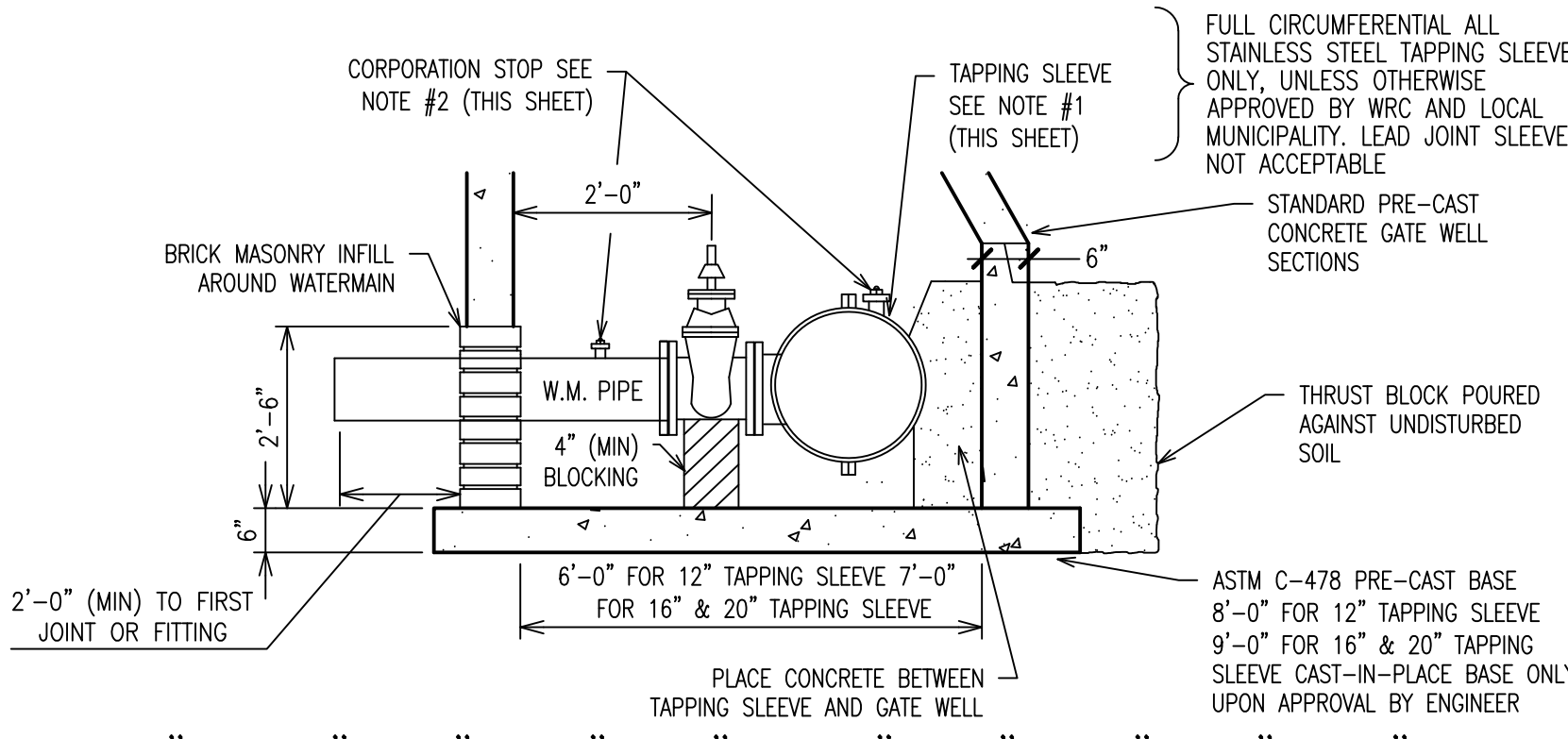
FRAME



PLAN GATE WELL TYPICAL



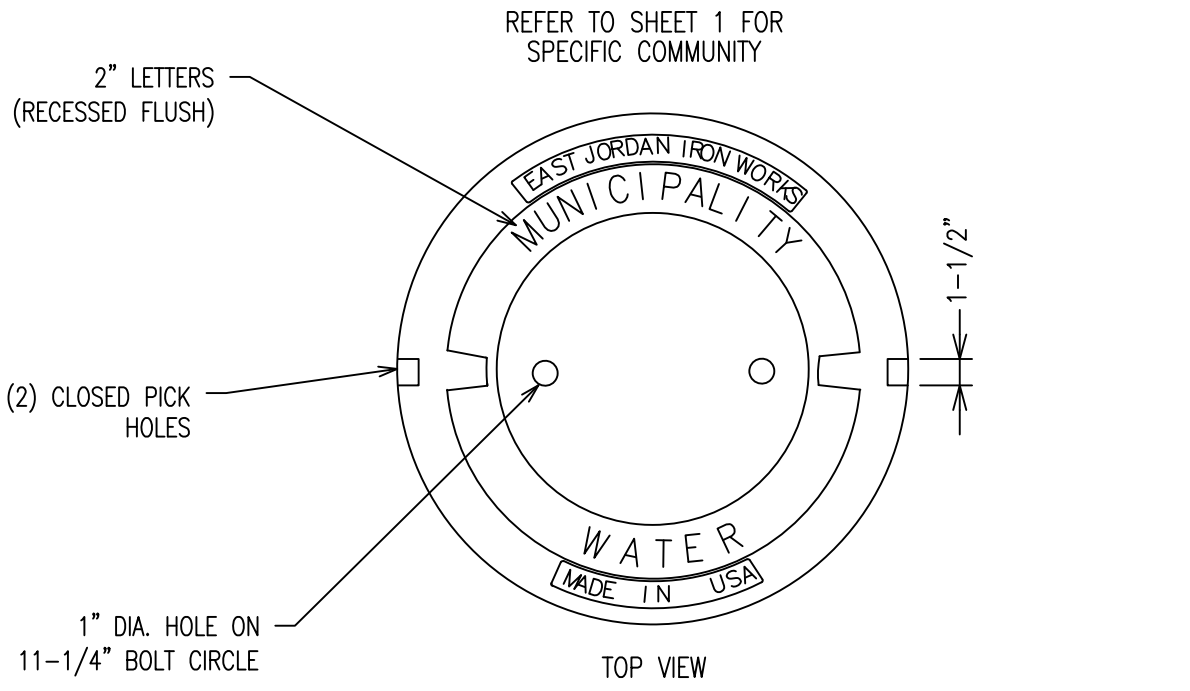
GATE WELL TOPS WITHIN PAVEMENT AREAS



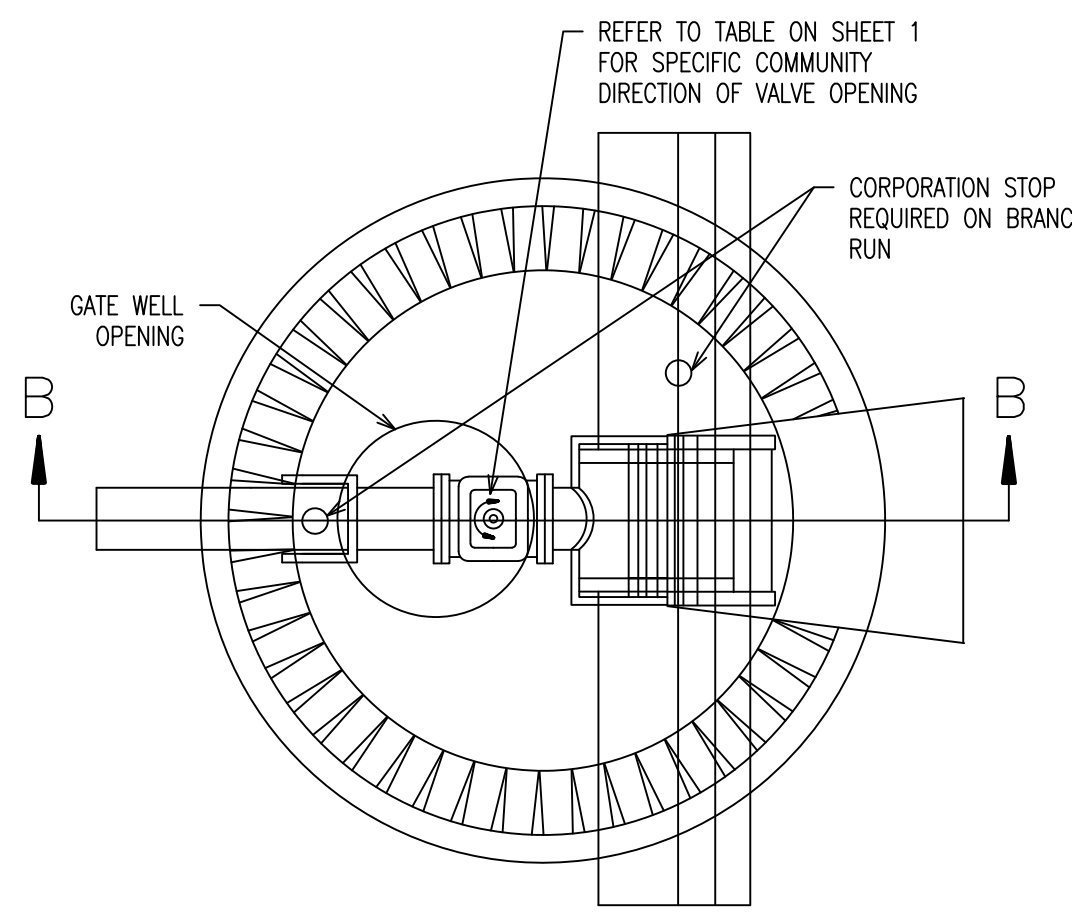
20" x 12", 20" x 8", 16" x 12", 16" x 8", 12" x 8"

TAPPING SLEEVE, VALVE & WELL

- NOTES:
1. REFER TO NOTE 7 OF "VALVE AND SLEEVE NOTES" ON SHEET 1.
 2. FOR PIPE SMALLER THAN 16" USE 1" CORPORATION STOP, FOR 16" PIPE OR LARGER USE 2" CORPORATION STOP WITH BRONZE SADDLE.
 3. WRC DOES NOT RECOMMEND SIZE ON SIZE TAPPING.




LETTERING LAYOUT FOR GATEWELL COVERS

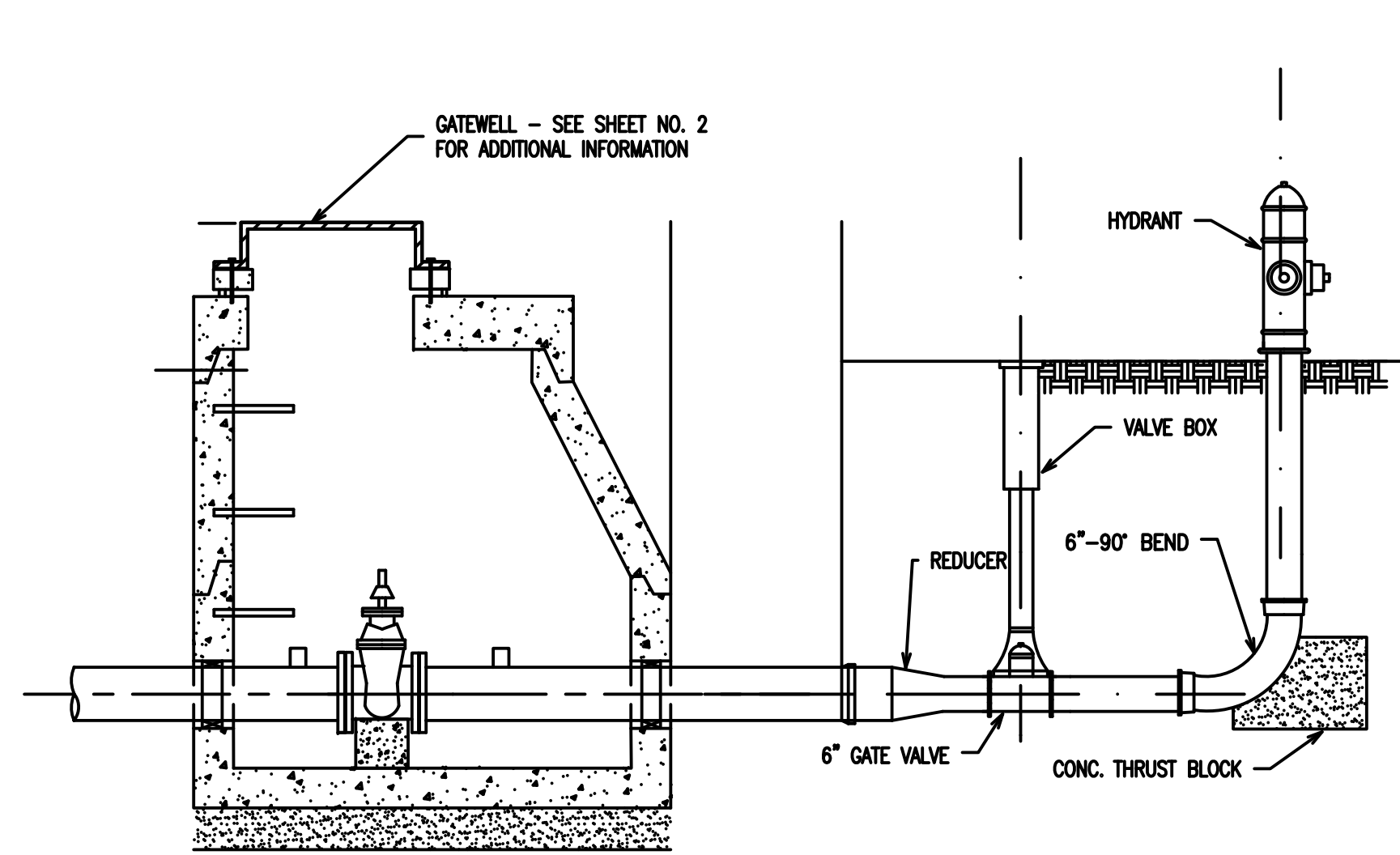


PLAN TAPPING SLEEVE VALVE & WELL (TYPICAL)

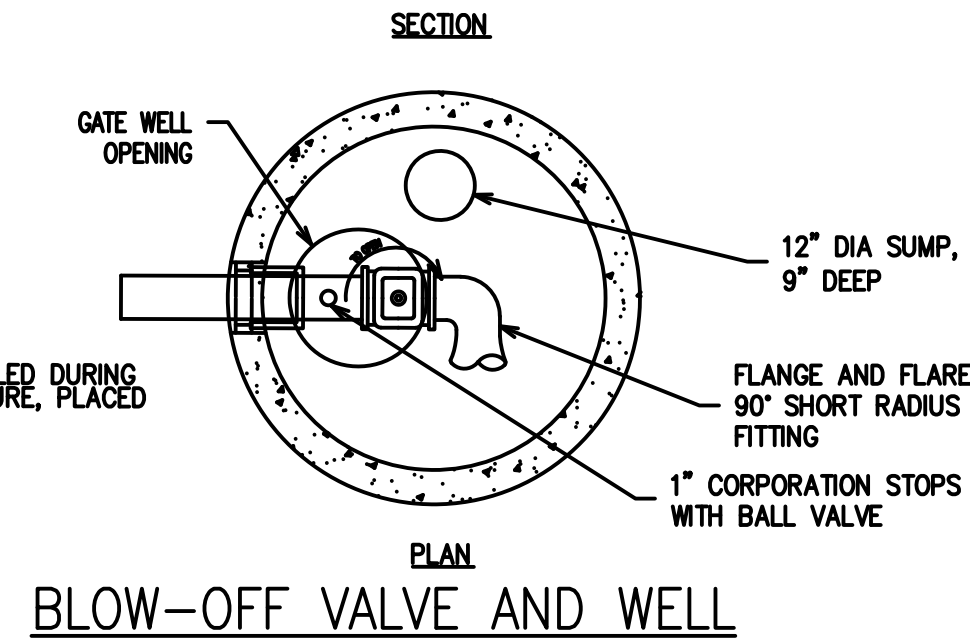
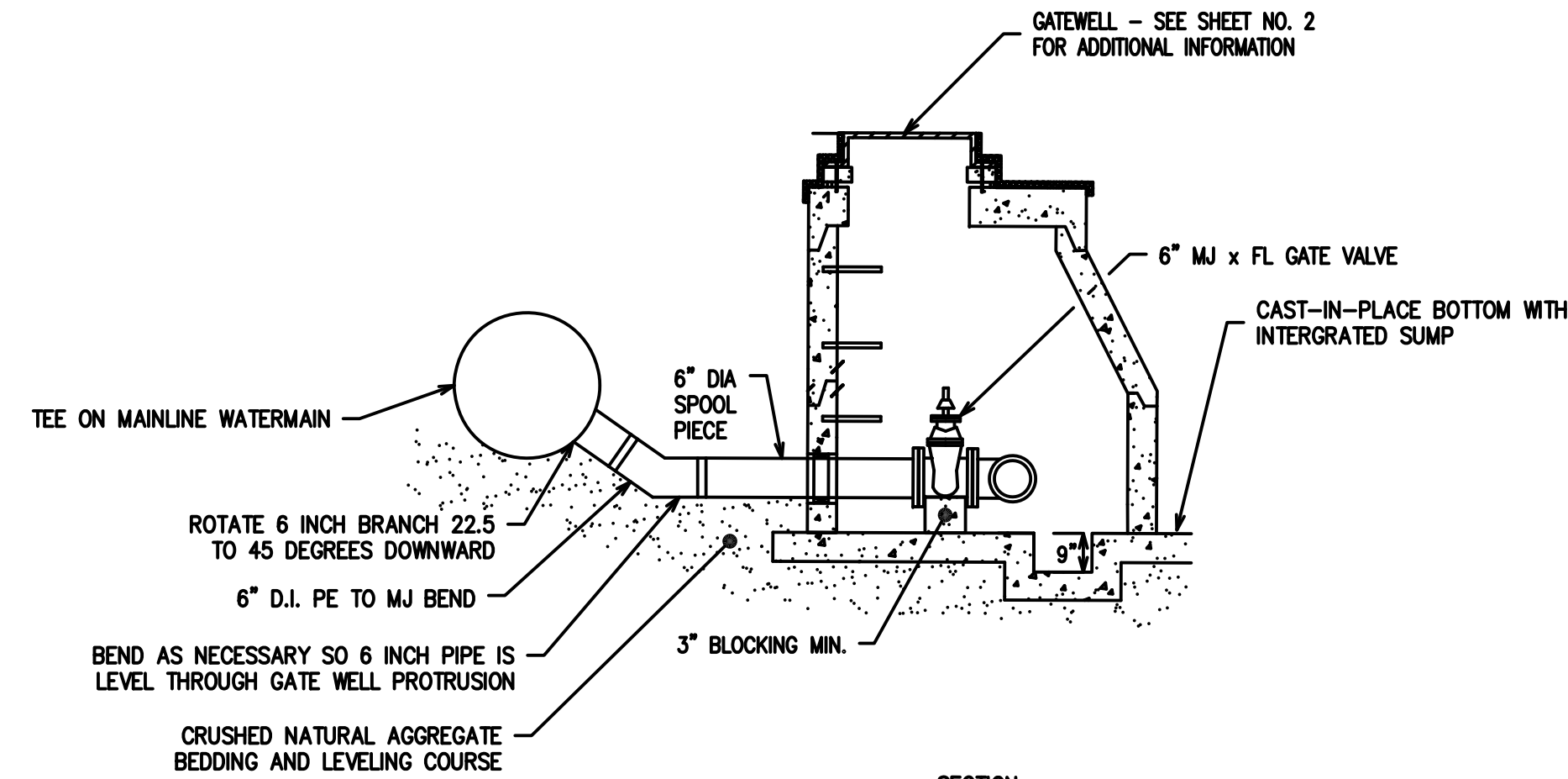
REVISION BLOCK			
Rev.	By.	Date	Description
1	DL	03/23/15	FINAL CHANGES TO GATE VALVE STANDARDS, HYDRANT SPECIFICATIONS AND PIPE CLASS UPDATES
2	DL	01/03/17	UPDATE TO CORRECTION TO OPEN COMMERCE TOWNSHIP FROM RIGHT TO LEFT
3	DL	07/14/18	MARKINGS PER G. APPLIC.
4	HRC	08/12/20	GENERAL UPDATE

ORIG. DATE:	01/01/01	 WRC WATER RESOURCES COMMISSIONER Jim Nash	ONE PUBLIC WORKS DRIVE, BLDG 96 WEST WATERFORD, MICHIGAN 48328-1907
SCALE:	NONE		
DESIGNED BY:	WRC		
DRAWN BY:	WRC Mapping		

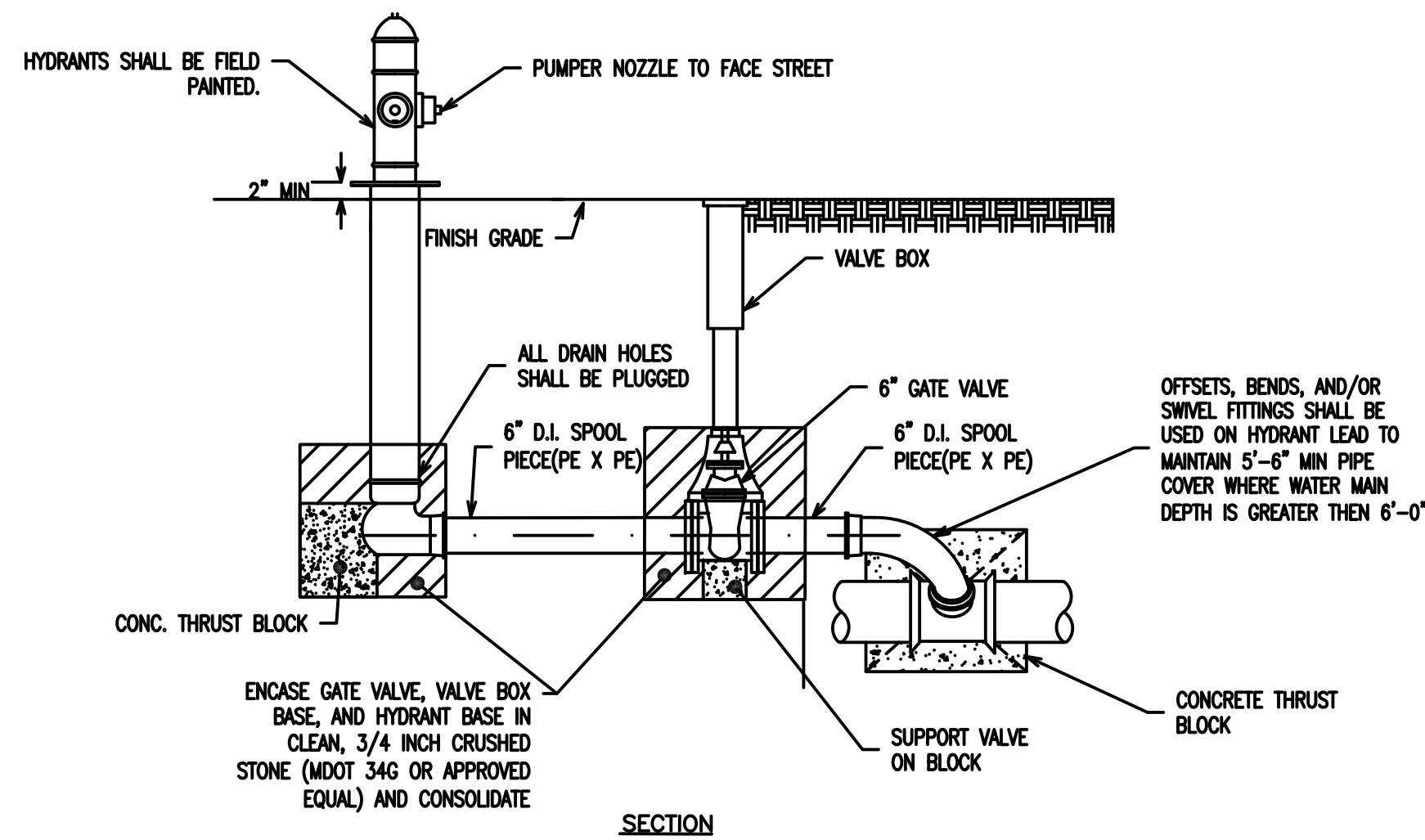
SHEET NO.:	2 of 7
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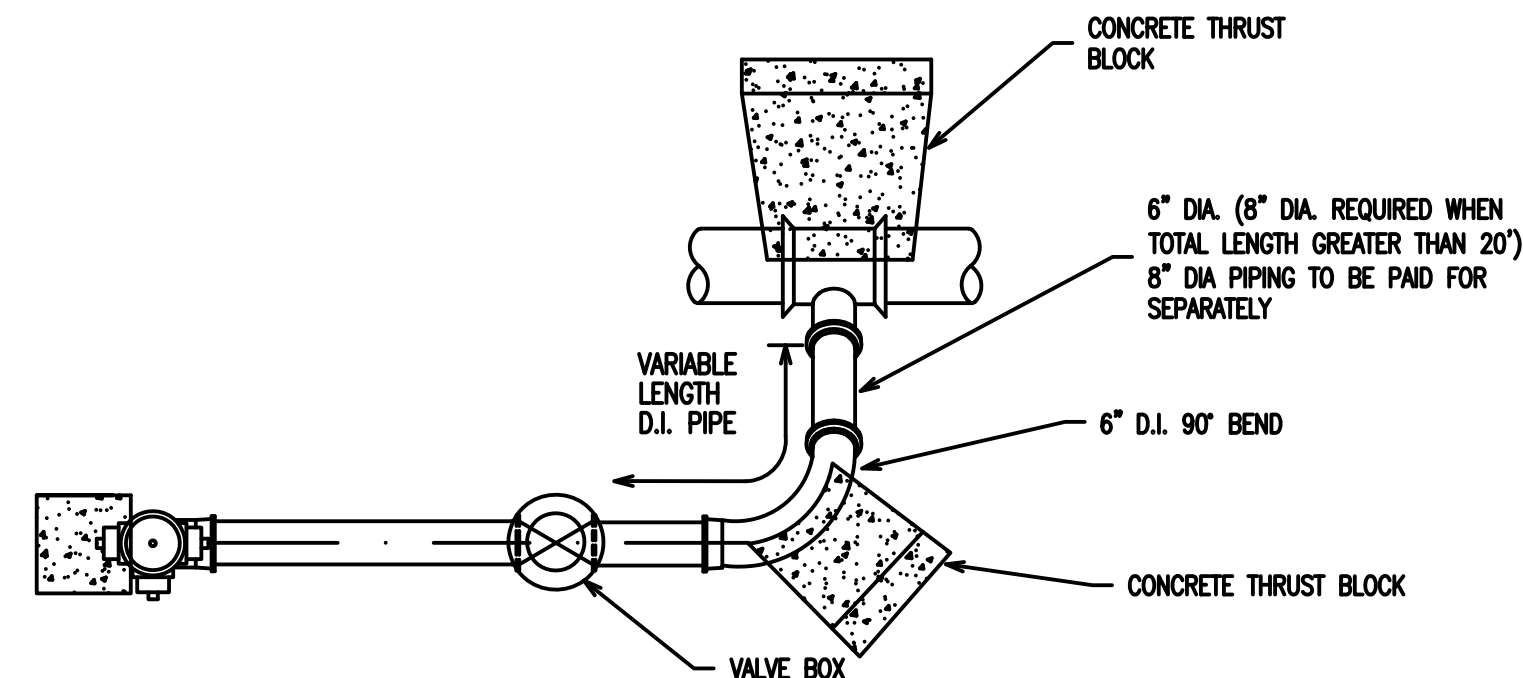
DEAD END BLOWOFF CONNECTION



BLOW-OFF VALVE AND WELL



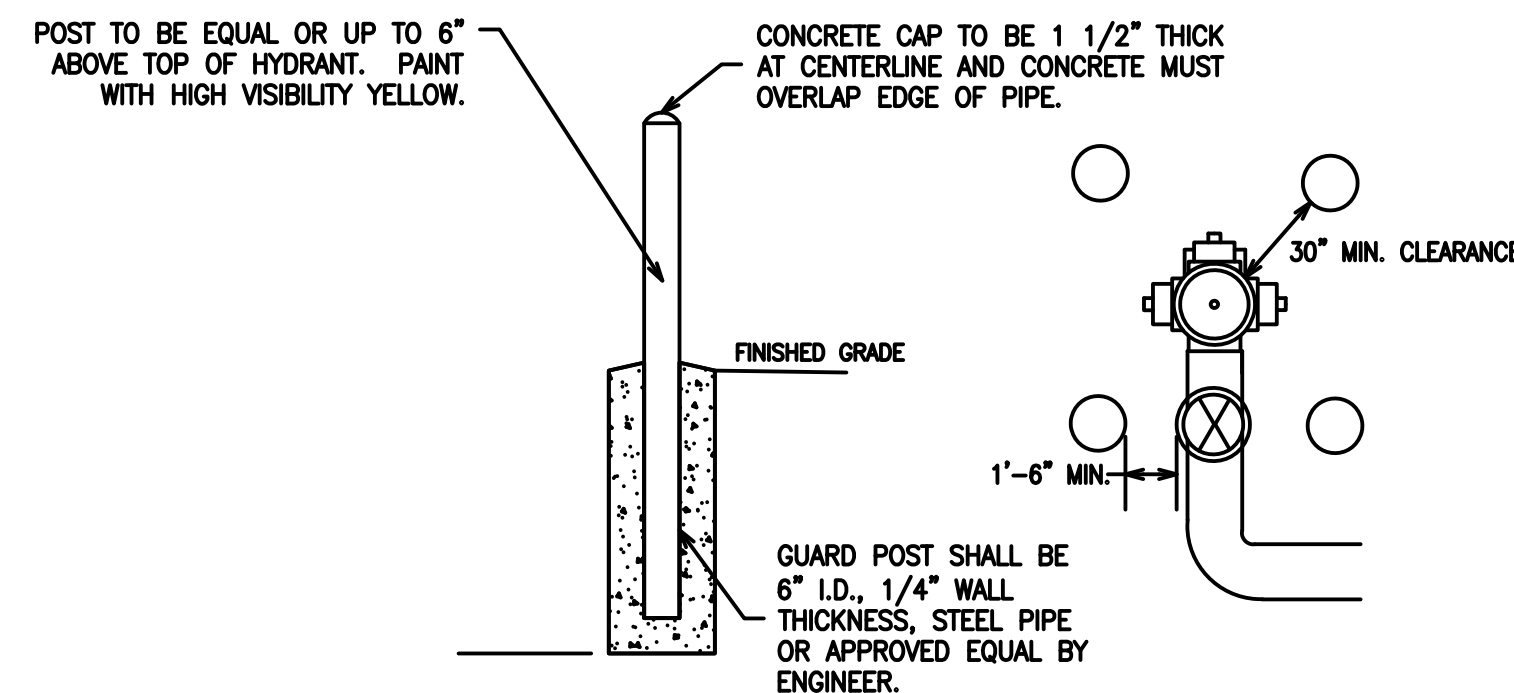
SECTION



PLAN

6" HYDRANT SIDE OUTLET

- NOTES:
1. HYDRANT EXTENSIONS BETWEEN THE STANDPIPE LOWER SECTION & STANDPIPE UPPER ARE LIMITED TO 18 INCHES
 2. ALL HYDRANTS COMPANION VALVES, BENDS, AND TEES TO BE FULLY RESTRAINED BY MECHANICAL JOINT RESTRAINT SYSTEM FITTINGS (MEGA-LUG OR APPROVED EQUAL).
 3. THRUST BLOCKS ARE REQUIRED AT ALL TEES, BENDS AND ENDS.
 4. ALL HARDWARE (BOLTS, NUTS, WASHERS, ETC.) FOR HYDRANT ASSEMBLIES SHALL BE COR-BLUE OR APPROVED EQUAL



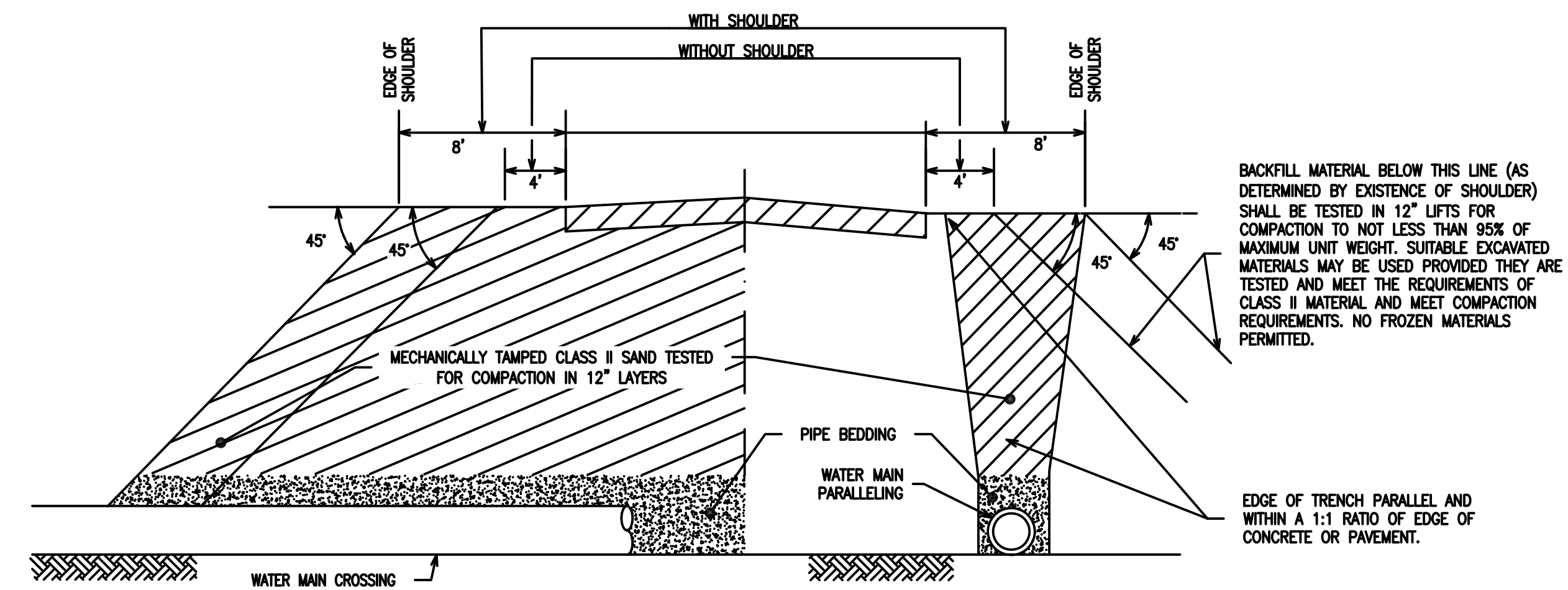
GUARD POST

- NOTES:
1. GUARD POST SHALL NOT INTERFERE WITH HYDRANT OPERATION
 2. TO BE INSTALLED IN ALL PAVED AREAS PARKING LOTS, PARKS, PLAZAS, ETC. (NOT RIGHT-OF-WAYS) SPACE WHERE VEHICLE EQUIPMENT DAMAGE TO HYDRANT IS POSSIBLE.

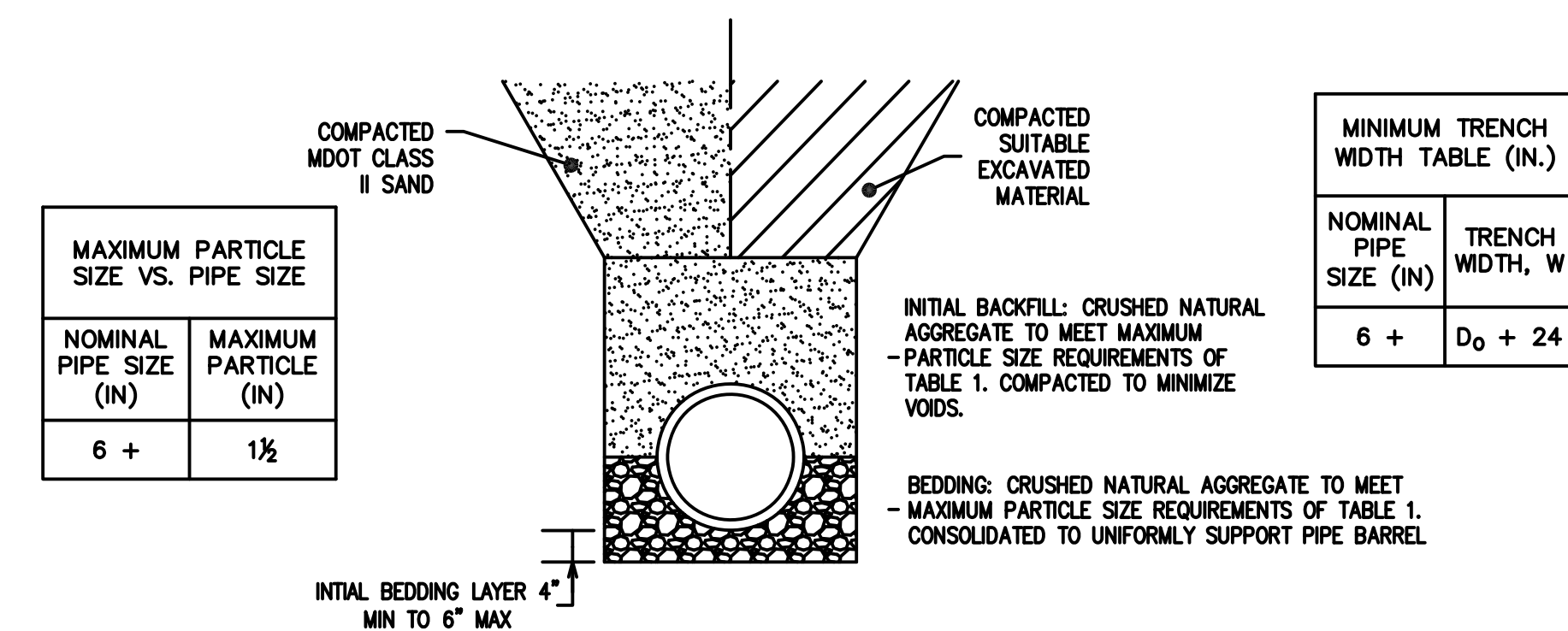
FOR 90° BENDS OR SMALLER					FOR PLUGS				FOR TEES				
D	A	B	C	E MIN.	D	A	B	C MIN.	D	A	B	C	E MIN.
20"	8"	6.5"	3.5"	2.5"	20"	7"	5"	2.5"	20"	6.5"	4.5"	3.5"	3"
16"	6"	4"	2.5"	2"	16"	4'-10"	4'-10"	2"	16"	4'-8"	4'-8"	2.5"	2.75"
12"	4"	3"	2"	1.75"	12"	4'-4"	3"	1'-9"	12"	4"	3"	2.5"	2.5"
10"	3"	3"	2"	1.75"	10"	3"	2"	1'-6"	10"	3"	2"	2"	2.25"
8"	3"	2"	2"	1.5"	8"	2'-10"	2'-6"	1'-6"	8"	2'-6"	2"	2"	2.25"
6"	2"	1.5"	2"	1.25"	6"	1'-6"	1'-6"	3"	6"	2"	2"	2"	2.25"

THRUST BLOCK DETAILS

- NOTE:
1. 3000 PSI CONCRETE TO BE USED. THRUST BLOCK TO ABUT & REST AGAINST UNDISTURBED SOIL OR EARTH COMPACTED TO 95% MODIFIED PROCTER.



MINIMUM BACKFILL UNDER OR NEAR PAVEMENT



DUCTILE IRON PIPE TRENCH DETAIL

- NOTES:
1. DUCTILE IRON PIPE IS CONSIDERED A FLEXIBLE PIPE THAT WHEN INSTALLED UNDERGROUND IS DESIGNED TO DEFLECT UNDER LOAD.
 2. DO NOT COMPACT INNER BEDDING OF INITIAL BEDDING LAYER.
 3. CAREFULLY EXCAVATE BELL OR COUPLING HOLES FROM THE INITIAL BEDDING LAYER.
 4. SHOVEL SLICE BEDDING MATERIAL IN THE HAUNCH AREA ALONG THE BOTTOM CIRCUMFERENCE OF THE PIPE TO CONSOLIDATE BEDDING AND UNIFORMLY SUPPORT THE PIPE BARREL.
 5. COMPACT INITIAL BACKFILL MATERIALS IN LIFTS NOT EXCEEDING 6 INCHES BY HAND TAMPING AROUND AND DIRECTLY ABOVE PIPE TO MINIMIZE VOIDS.
 6. DO NOT USE MECHANICAL COMPACTION EQUIPMENT DURING INITIAL BACKFILL OPERATIONS UNTIL MATERIAL HAS BEEN BROUGHT TO 12 INCHES ABOVE THE TOP OF PIPE BARREL.
 7. COMPACT SAND BACKFILL AND STANDARD TRENCHES OUTSIDE OF PIPE ZONE TO NOT LESS THAN 95% OF THE MAXIMUM UNIT WEIGHT IN LIFTS NOT EXCEEDING 12 INCHES.
 8. FOR MINIMUM TRENCH WIDTHS, REFER TO TABLE 2, MAXIMUM TRENCH WIDTH = $D_0 + 2D_0$ UNLESS MINIMUM TRENCH WIDTH IS GREATER.
 9. IF THE PIPE IS LOCATED BENEATH THE GROUND WATER TABLE, THE PIPE ZONE SHALL BE WRAPPED IN A GEOTEXTILE SEPARATOR TO MINIMIZE MIGRATION OF SOIL INTO THE PIPE ZONE.

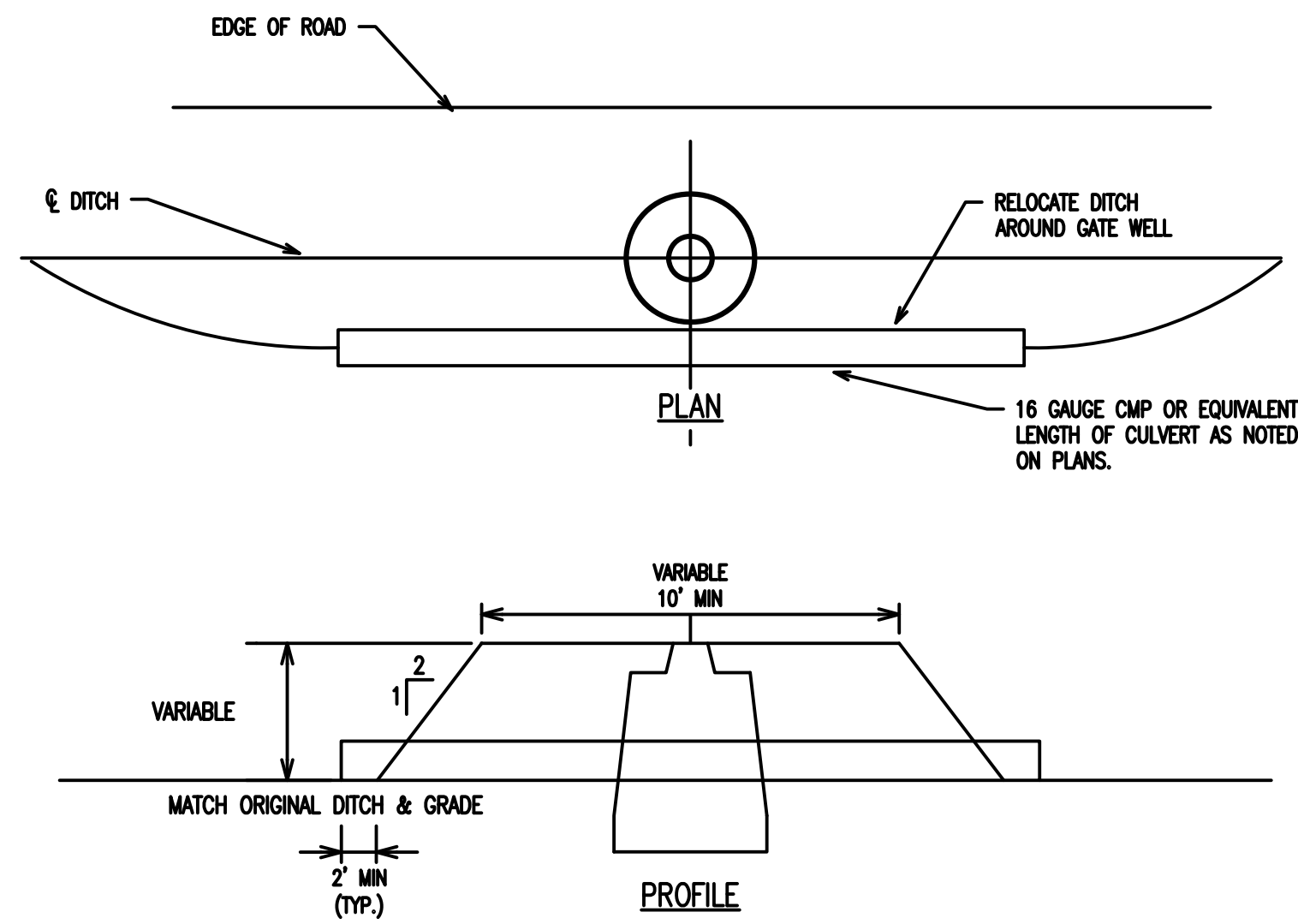
WATER MAIN STANDARD DETAILS

REVISION BLOCK			
Rev. No.	Rev. By:	Rev. Date:	Description:
1	DL	11/02/14	PROPOSED CHANGE TO DELETE REFERENCE TO BOTTLE SLEEVE MANUFACTURER
2	DL	10/29/14	FINAL CHANGE TO DELETE REFERENCE TO BOTTLE SLEEVE MANUFACTURER
3	WRC	02/14/18	MARKUPS PER G. APPEL
4	WRC	01/01/20	GENERAL UPDATE
ORIG. DATE: 01/01/01			
SCALE: NONE			
DESIGNED BY: WRC			
DRAWN BY: WRC Mapping			

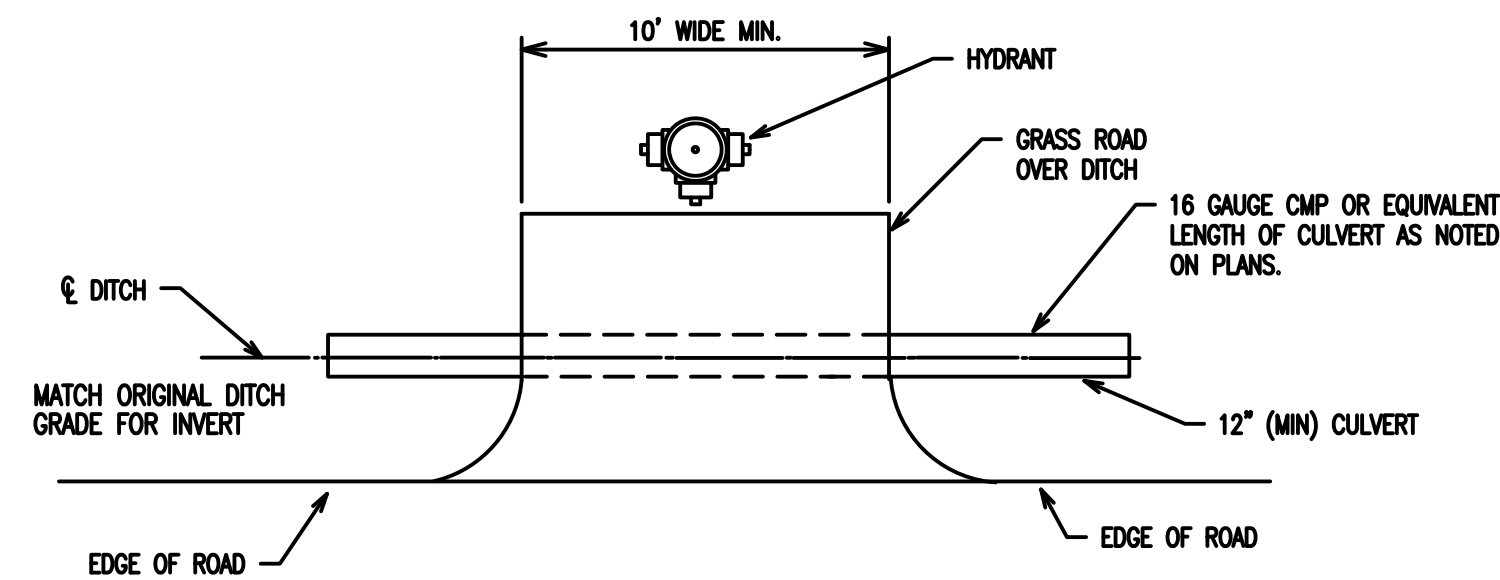


ONE PUBLIC WORKS DRIVE, BLDG 95 WEST
WATERFORD, MICHIGAN
48326-1907

SHEET NO.: 3 of 7



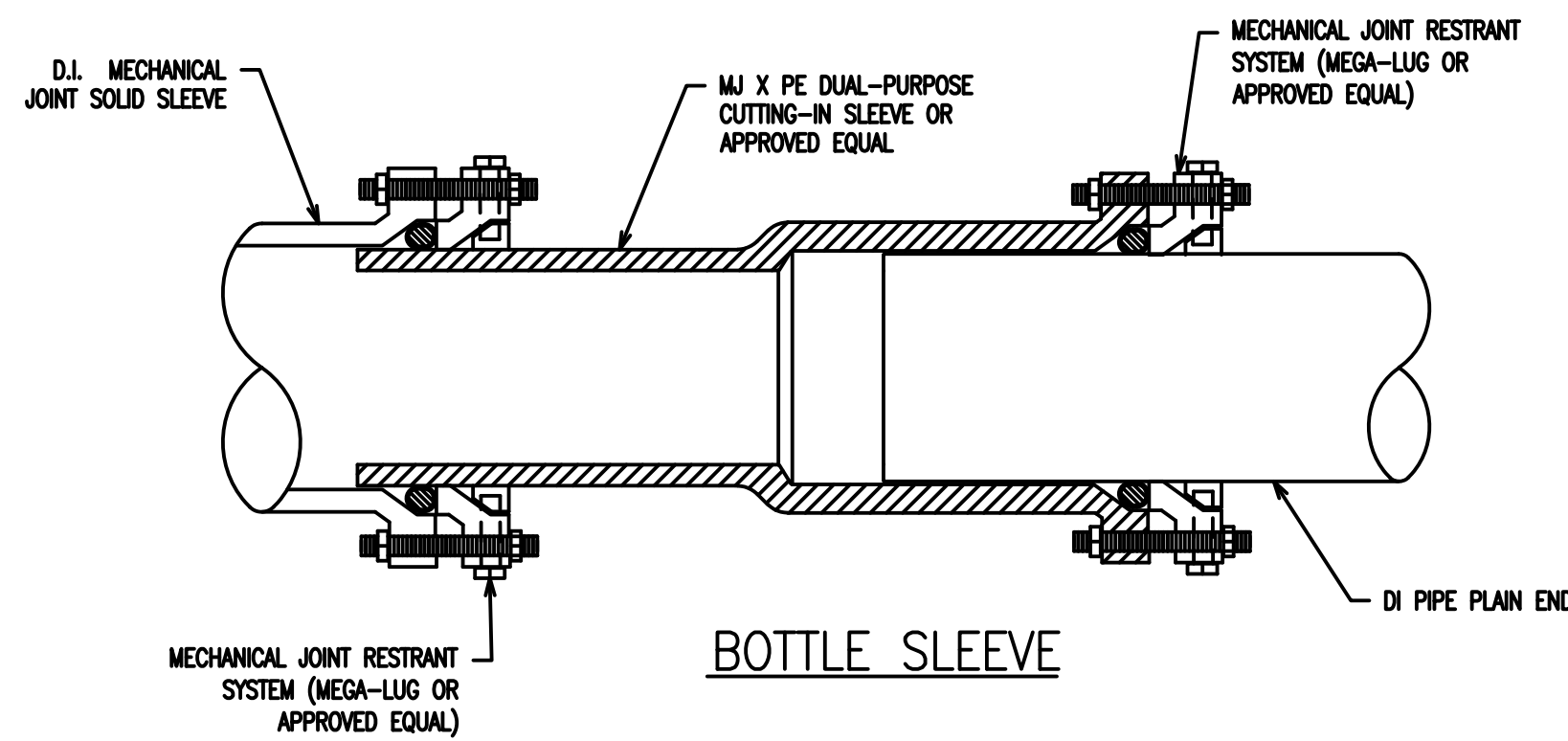
DITCH ENCLOSURE AT GATE WELL



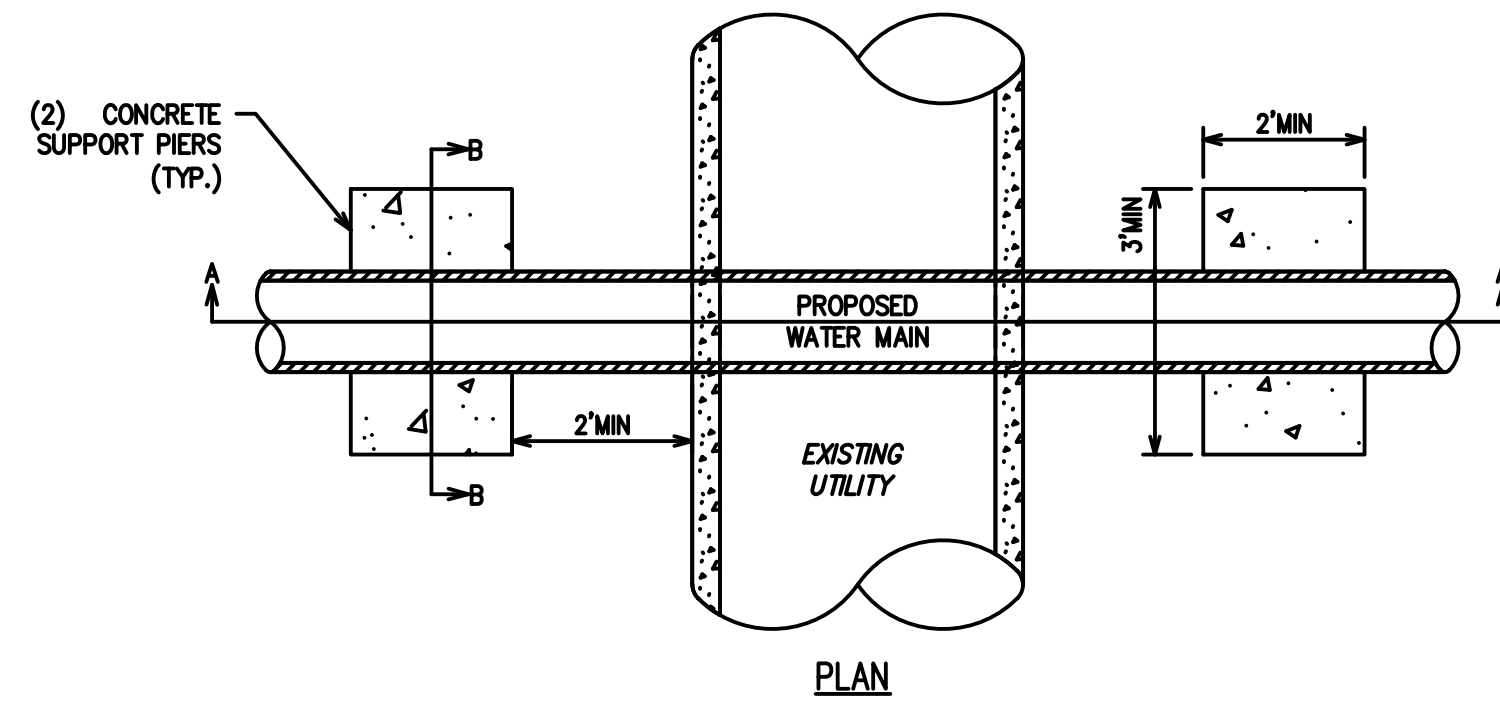
DITCH ENCLOSURE AT HYDRANT

NOTES:

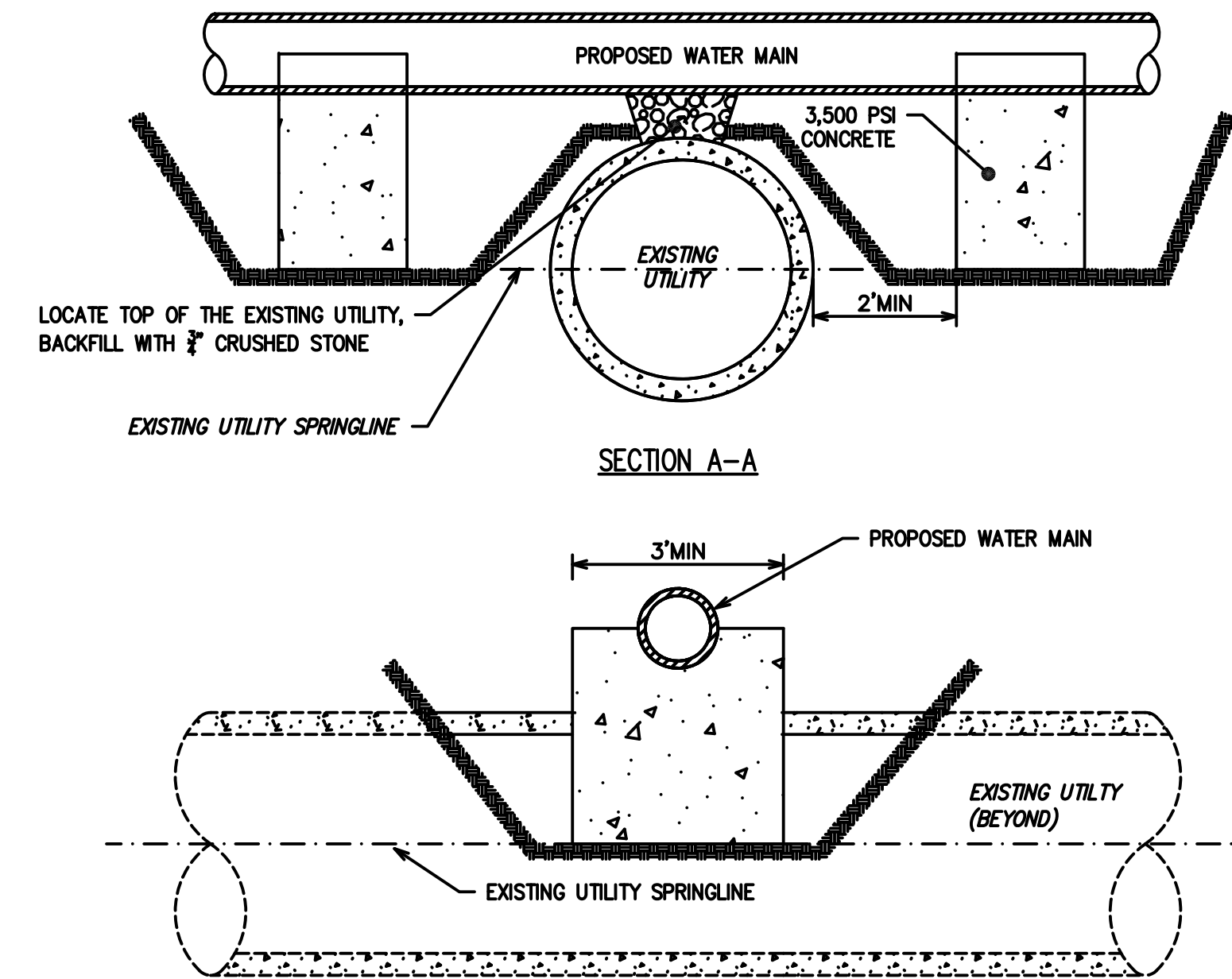
- 1) REQUIRED FOR DITCHES GREATER THAN 18 INCHES IN DEPTH.
- 2) CULVERT SHALL BE SIZED BASED ON THE EXISTING CARRY CAPACITY OF THE DITCH OR AS REQUIRED BY THE PERMITTING AUTHORITY FOR THE LOCAL ROAD AGENCY. STAMPED ENGINEERING CALCULATIONS ARE REQUIRED FOR ALL CULVERT INSTALLATION.
- 3) MINIMUM DEPTH OF COVER FOR CULVERT PIPE IS 12 INCHES UNLESS OTHERWISE AUTHORIZED BY CULVERT MANUFACTURER.
- 4) END SECTIONS ON CULVERTS GREATER THAN 12 INCHES IN DIAMETER.



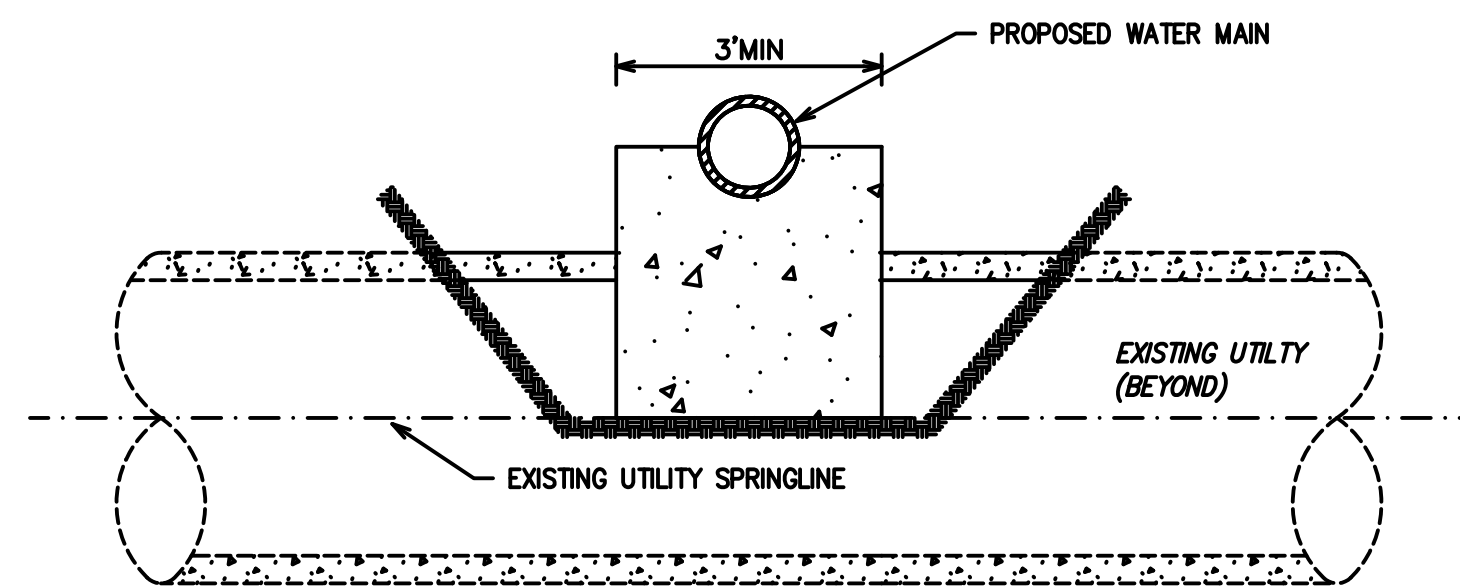
BOTTLE SLEEVE



PLAN



SECTION A-A

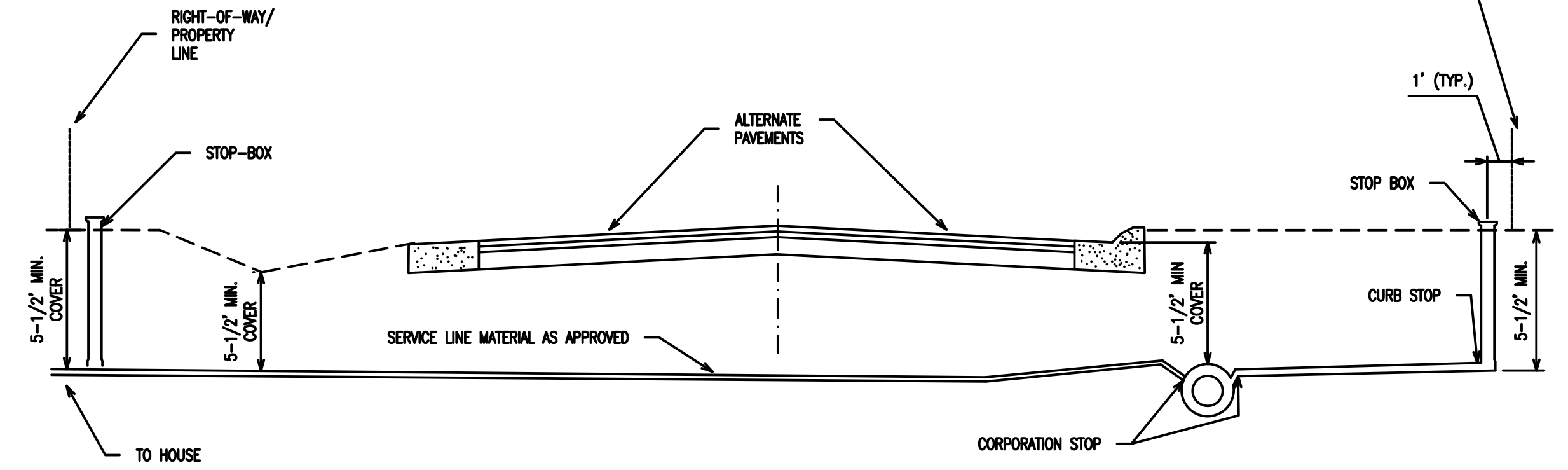


SECTION B-B

WATER MAIN CROSSING BRIDGE

NOTES:

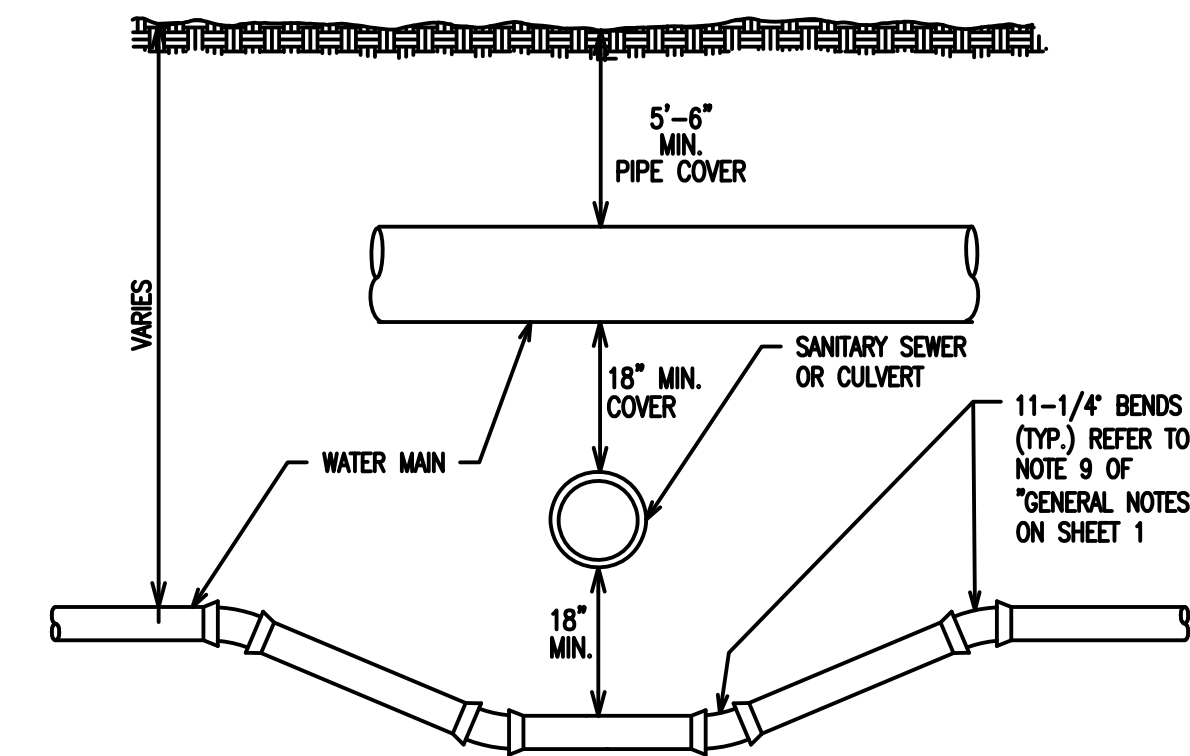
1. CROSSING BRIDGE IS REQUIRED WHEN 18 INCHES OF CLEARANCE OR GREATER ABOVE (WITHIN A 1:1 INFLUENCE OF THE SPRING LINE) AN EXISTING UTILITY CANNOT BE MAINTAINED.
2. WATER MAIN PIPE SPANNING THE EXISTING UTILITY MUST BE CENTERED BETWEEN JOINTS OVER THE EXISTING UTILITY.
3. ALL WORK NECESSARY TO INSTALL THE WATER MAIN CROSSING BRIDGE AS SHOWN SHALL BE CONSIDERED INCLUDED IN THE COST OF THE PROJECT UNLESS OTHERWISE NOTED.
4. CROSSING FOR PROPOSED WATER MAIN 16-INCH AND LARGER SHALL BE DESIGNED BY A LICENSED PROFESSIONAL ENGINEER.



TYPICAL PUBLIC ROAD WATER SERVICE CONNECTION

NOTES:

1. WATER SERVICE CURB STOP TO BE PLACED ONE (1) FOOT OFF THE PROPERTY LINE.
2. LATERAL LOCATION SHALL BE AS REQUESTED BY THE ABUTTING PROPERTY OWNER.
3. SERVICE TAP LOCATION TO BE AT CLOCK POSITION 10:30 OR 1:30 UNLESS OTHERWISE INDICATED.



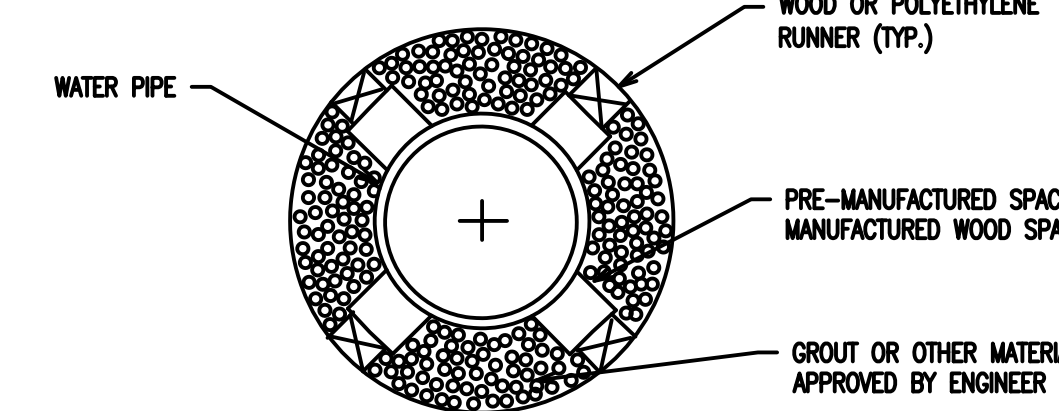
SEWER OR CULVERT CROSSING

UNLESS OTHERWISE SPECIFIED, MINIMUM CASING PIPE SHALL BE ASTM A-139 GRADE B, WALL THICKNESS AS FOLLOWS:

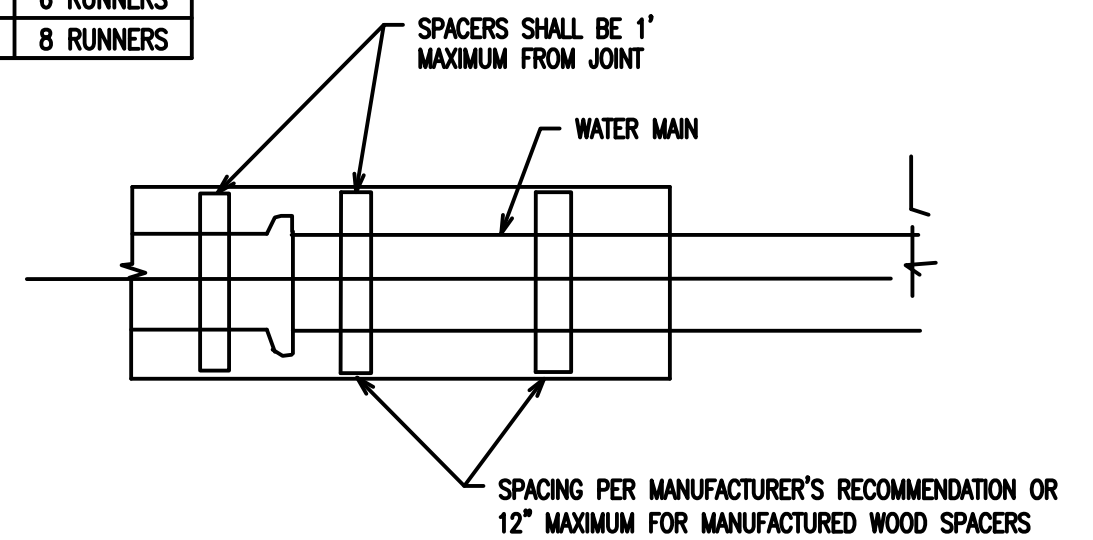
NOMINAL SIZE	MINIMUM WALL THICKNESS
8" - 42"	0.375
48" - 60"	0.500

REQUIRED QUANTITY OF RUNNERS IN ACCORDANCE WITH SIZE

TO 14" DIA.	4 RUNNERS
16" TO 36" DIA.	6 RUNNERS
38" TO 48" DIA.	8 RUNNERS



SUPPORT FOR WATER MAIN
CONSTRUCTED IN CASING PIPE



WATER MAIN IN CASING SECTION

WATER MAIN IN CASING DETAILS

WATER MAIN
SPECIAL DETAILS


REVISION BLOCK			
Rev.	By	Date	Description
1	WRC	03/18/19	MARKUPS PER G. APPEL
2	WRC	08/11/20	GENERAL UPDATE
3			
4			
ORIG. DATE:		01/01/01	
SCALE:		NONE	
DESIGNED BY:		OCDC	
DRAWN BY:		OCDC Mapping	
			
		ONE PUBLIC WORKS DRIVE, BLDG 95 WEST WATERFORD, MICHIGAN 48328-1907	
		SHEET NO.: 4 OF 7	

EXHIBIT B - PHASING PLAN

DATE: October 14, 2021

RE: Goddard of Beverly Hills Development Agreement
Proposed Construction Phasing Plan

The following outlines the proposed milestones for the construction phasing plan for the Goddard of Beverly Hills Preschool and Annex Building.

The Preschool and all supporting sitework, including the entrance drive represents Phase 1 of the Construction; while the Annex and all ROW work directly in front of the Annex represents Phase 2 of the construction.

A. Phase 1 - Preschool and supporting sitework:

1. October 2021; Issue for Bids and Permits
2. November 2021; Bids Due
3. November 2021; Award Construction Contract
4. March 2022; Foundations Complete
5. May 2022; Building Shell Complete
6. July 2022; Interior Complete/Temporary Certificate of Occupancy
7. October 2022; Landscape Complete

B. Phase 2 – Annex and Sitework adjacent to Annex:

1. October 2021; Issue for Bids and Permits
2. November 2021; Bids Due
3. November 2021; Award Construction Contract
4. April 2022; Foundations Complete
5. July 2022; Building Shell Complete
6. September 2022; Vanilla Box Interior Complete
7. October 2022; Landscape Complete.

cc: Kellie McDonald, Goddard of Beverly Hills



AERIAL - NORTHEAST

2021.07.28



CONCEPT IMAGE - NORTHEAST ENTRY





CONCEPT IMAGE - NORTH

2021.07.28



HOBBS + BLACK ARCHITECTS

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GODDARD SCHOOL

BEVERLY HILLS | MICHIGAN

21-705



CONCEPT IMAGE - SOUTH

2021.07.28



HOBBS + BLACK ARCHITECTS

GODDARD SCHOOL

BEVERLY HILLS | MICHIGAN

21-705



CONCEPT IMAGE - WEST

2021.07.28



HOBBS + BLACK ARCHITECTS

GODDARD SCHOOL

BEVERLY HILLS | MICHIGAN

21-705



CONCEPT IMAGE - PLAZA VIEW 1

2021.07.28



CONCEPT IMAGE - PLAZA VIEW 2

2021.07.28



TO: DIR Richard Torongeau

FROM: LT Robert Ginther *R. Ginther*

DATE: October 14, 2021

RE: Self-Contained Breathing Apparatus Regional Grant Award #EMW-2020-FG-11012 Purchase

BACKGROUND:

Beverly Hills Public Safety, as the lead agency, along with four other partner public safety agencies (Berkley, Bloomfield Hills, Farmington, and Huntington Woods) applied for a regional grant under FEMA's Assistance to Firefighter Grant (AFG) program and council recently resolved to accept the grant award of **\$608,163.64** on behalf of the consortium and act as the fiduciary.

SCBA ASSESSMENT:

The Partner Agencies Purchasing Committee, comprised of a representative from each participating agency, reviewed various Self-Contained Breathing Apparatus (SCBA) manufacturers. Through discussions and evaluations based on safety, fit, form, function, and cost of ownership. The committee narrowed their selection and field tested two manufacturers' product – the MSA G-1 and the Scott X-3. The committee chose to use our semi-annual training evolution at the Combined Regional Emergency Services Training (CREST) facility at Oakland Community College (OCC) to evaluate the two SCBA's.

This allowed our personnel to evaluate these units while crawling and climbing in darkness and around obstacles as well as live fire conditions. After the public safety officer's that were participating in the training wore each of the SCBA, they indicated their preferred choice on an evaluation to capture the data. The criteria that was used included visibility, communications, ease of donning/doffing the units with the face mask, regulator connection, air cylinder change, buddy breathing/RIC use, heads-up display, Thermal Imaging Camera (TIC) low air alarm, and overall ease of use.

Upon conclusion of the evaluation process, the MSA G-1 was clearly the highest rated SCBA. The evaluation data showed that this particular unit outperformed the Scott in every criteria. The committee then met to review and discuss all of the data, and unanimously decided that the MSA G-1 SCBA best suited our needs. Furthermore, the MSA G-1 system significantly increases our communications and interoperability with neighboring departments, as many are already using this system. As improved communications and interoperability is also a performance benchmark of the grant award, the MSA G-1 should be selected as the replacement SCBA for our consortium.

PURCHASE OUTLINE:

After careful consideration and review by the Partner Agencies Purchasing Committee the MSA G-1 was selected as the preferred system. Due to the vendor distribution model of MSA, **Apollo Fire Equipment, 12584 Lakeshore Drive, Romeo, MI 48065** is the only vendor able to sell MSA SCBA products within Oakland County. Because of this, the Partner Agencies Purchasing Committee is requesting that council waive competitive bids in order to award this purchase to the **sole source meeting specifications**, as allowed for in Chapter 12.1 of the Village Charter, to **Apollo Fire Equipment, 12584 Lakeshore Drive, Romeo, MI 48065**.

In order for funds not to be co-mingled, as required by FEMA as it relates to this grant, there will be two invoices per municipality that are deposited into two separate accounts. The first set of invoices will be for the Local Match Amount of a minimum of \$60,816.36 for the FEMA purchase of 94 SCBA's and 36 additional face pieces as outlined in the grant award. The total Local Match Amount for all five communities combined will be **\$67,489.88** and will be deposited in and paid out of a specific account for the grant as outlined in the attached project order budget.

The second set of invoices will be for the necessary additional equipment that goes with the MSA G-1 SCBA system that is not part of the grant award. The amount for all five communities is **\$159,540.02** for the purchase of additional equipment as outlined in the attached project order budget and quoted separately from the grant award. These funds will be deposited in and paid out of the South Oakland Fire Association (SOFA) fiduciary account that the Village of Beverly Hills already maintains on behalf of that organization, of which the village is a member.

The entire order will be delivered to the Beverly Hills Public Safety Department to be inventoried, as this is a required component of the grant.

RECOMMENDATION:

Based upon the Background, SCBA Assessment, and Purchase Outline sole source justification detailed in this memo; as well as the council's long term vision of providing a high level of fire protection and rescue response to both the residents and those visiting the village, the recommendation to purchase the necessary quantity of MSA G-1 SCBA and appurtenances for the SOFA Public Safety Purchasing Consortium from **Apollo Fire Equipment, 12584 Lakeshore Drive, Romeo, MI 48065**, is put forth for the council's review and consideration.

MUNICIPALITY	LOCAL MATCH AMOUNT	LOCAL NON-GRANT FUNDED AMOUNT
Berkley	\$17,604.93	\$45,106.06
Beverly Hills	\$15,926.93	\$54,467.93
Bloomfield Hills	\$11,053.02	\$15,240.41
Farmington	\$13,352.36	\$33,099.72
Huntington Woods	\$9,552.65	\$11,625.90
TOTAL	\$67,489.88	\$159,540.02

ATTACHMENTS:

- (1) Proposed Resolution
- (1) FEMA Award Notification Letter
- (1) Apollo Fire Equipment Sole Source Recognition Letter
- (1) Apollo Fire Equipment Quote – Grant Funded
- (1) Apollo Fire Equipment Quote – Additional Equipment
- (6) Project Order Budget

PROPOSED RESOLUTION

A Resolution of the council of the Village of Beverly Hills

Self-Contained Breathing Apparatus Regional Cooperative Purchase through the Assistance to Firefighters Grant Program Grant Application # EMW-2020-FG-11012 October 19, 2021

- BE IT RESOLVED that based upon the recommendation of the Partnering Agencies Purchasing Committee, which evaluated different SCBA manufacturers with safety, interoperability, communications, function, compatibility, and cost of ownership being the primary criteria for acceptance, the purchase of MSA G1 SCBA's and ancillary equipment through Apollo Fire Equipment, 12584 Lakeshore Drive, Romeo, MI 48065 for the total amount of \$835,193.54 be approved, and;
- BE IT FURTHER RESOLVED that the Local Match Amount portions of the consortium grant funded purchase for the partner agencies of the Cities of Berkley, Bloomfield Hills, Farmington, and Huntington Woods, and the Village of Beverly Hills, which totals \$67,489.88, and is individually outlined in the project purchase budget, be invoiced to those municipalities by the village respectively, and;
- BE IT FURTHER RESOLVED that the Local Non-Grant Funded Cost portions of the consortium purchase for the partner agencies of the Cities of Berkley, Bloomfield Hills, Farmington, and Huntington Woods, and the village of Beverly Hills, which totals \$159,540.02, and is individually outlined in the project purchase budget, be invoiced to those municipalities by the village respectively, and;
- BE IT FINALLY RESOLVED that the Village of Beverly Hills pay for its Local Match Amount and Total Local Non-Grant Funded Costs of the consortium purchase, which totals \$70,394.86, utilizing available funds in Capital Expenditures account number 401-905-981.05.

Award Letter

U.S. Department of Homeland Security
Washington, D.C. 20472

Effective date: 08/27/2021



Robert Ginther
BEVERLY HILLS, VILLAGE OF
18500 WEST 13 MILE ROAD
BEVERLY HILLS, MI 48025

EMW-2020-FG-11012

Dear Robert Ginther,

Congratulations on behalf of the Department of Homeland Security. Your application submitted for the Fiscal Year (FY) 2020 Assistance to Firefighters Grant (AFG) Grant funding opportunity has been approved in the amount of \$608,163.64 in Federal funding. As a condition of this grant, you are required to contribute non-Federal funds equal to or greater than 10.0% of the Federal funds awarded, or \$60,816.36 for a total approved budget of \$668,980.00. Please see the FY 2020 AFG Notice of Funding Opportunity for information on how to meet this cost share requirement.

Before you request and receive any of the Federal funds awarded to you, you must establish acceptance of the award through the FEMA Grants Outcomes (FEMA GO) system. By accepting this award, you acknowledge that the terms of the following documents are incorporated into the terms of your award:

- Summary Award Memo - included in this document
- Agreement Articles - included in this document
- Obligating Document - included in this document
- 2020 AFG Notice of Funding Opportunity (NOFO) - incorporated by reference

Please make sure you read, understand, and maintain a copy of these documents in your official file for this award.

Sincerely,

A handwritten signature in black ink, appearing to read "C Logan", with a stylized flourish at the end.

Christopher Logan
Acting Assistant Administrator
Grant Programs Directorate

Summary Award Memo

Program: Fiscal Year 2020 Assistance to Firefighters Grant

Recipient: BEVERLY HILLS, VILLAGE OF

DUNS number: 082772856

Award number: EMW-2020-FG-11012

Summary description of award

The purpose of the Assistance to Firefighters Grant program is to protect the health and safety of the public and firefighting personnel against fire and fire-related hazards. After careful consideration, FEMA has determined that the recipient's project or projects submitted as part of the recipient's application and detailed in the project narrative as well as the request details section of the application - including budget information - was consistent with the Assistance to Firefighters Grant Program's purpose and was worthy of award.

Except as otherwise approved as noted in this award, the information you provided in your application for FY 2020 Fiscal Year (FY) 2020 Assistance to Firefighters Grants funding is incorporated into the terms and conditions of this award. This includes any documents submitted as part of the application.

Amount awarded table

The amount of the award is detailed in the attached Obligating Document for Award.

The following are the budgeted estimates for object classes for this award (including Federal share plus your cost share, if applicable):

Object Class	Total
Personnel	\$0.00
Fringe benefits	\$0.00
Travel	\$0.00
Equipment	\$668,980.00
Supplies	\$0.00
Contractual	\$0.00
Construction	\$0.00
Other	\$0.00
Indirect charges	\$0.00
Federal	\$608,163.64
Non-federal	\$60,816.36
Total	\$668,980.00
Program Income	\$0.00

Approved scope of work

After review of your application, FEMA has approved the below scope of work. Justifications are provided for any differences between the scope of work in the original application and the approved scope of work under this award. You must submit scope or budget revision requests for FEMA's prior approval, via an amendment request, as appropriate per 2 C.F.R. § 200.308 and the FY2020 AFG NOFO.

Approved request details:

Personal Protective Equipment (PPE)

SCBA: SCBA Unit includes: Harness/Backpack, Face Piece and 2 cylinders

DESCRIPTION

94 - 4500 PSI SCBA, w/standard harness, chest strap, adjustable swiveling lumbar, w/two (2) 45 min low profile air bottle cylinders w/quick-connect and a mask @ \$7295.00 per unit = \$696,710.00 and 36 - Additional masks w/4pt harness so that every fire fighter has a personal face piece @ \$305.00 per unit = \$10,980.00

	QUANTITY	UNIT PRICE	TOTAL	BUDGET CLASS
Cost 1	94	\$7,000.00	\$658,000.00	Equipment

CHANGE FROM APPLICATION

Quantity from 1 to 94

Price from \$696,710.00 to \$7,000.00

JUSTIFICATION

This reduction is because the cost you requested for SCBA units exceeds the average price range calculated from market research and prior awards for the same item.

Face Pieces (not associated with SCBA requests)

DESCRIPTION

36 - Additional masks w/4pt harness so that every fire fighter has a personal face piece @ \$305.00 per unit = \$10,980.00

	QUANTITY	UNIT PRICE	TOTAL	BUDGET CLASS
Cost 1	36	\$305.00	\$10,980.00	Equipment

CHANGE FROM APPLICATION

Item created

JUSTIFICATION

The award reflects a change from the amount requested in the application. Items were originally grouped together in one-line item. Each item requested is now listed as a separate line item.

Agreement Articles

Program: Fiscal Year 2020 Assistance to Firefighters Grant

Recipient: BEVERLY HILLS, VILLAGE OF

DUNS number: 082772856

Award number: EMW-2020-FG-11012

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Article 1**Assurances, Administrative Requirements, Cost Principles, Representations and Certifications**

DHS financial assistance recipients must complete either the Office of Management and Budget (OMB) Standard Form 424B Assurances – Non-Construction Programs, or OMB Standard Form 424D Assurances – Construction Programs, as applicable. Certain assurances in these documents may not be applicable to your program, and the DHS financial assistance office (DHS FAO) may require applicants to certify additional assurances. Applicants are required to fill out the assurances applicable to their program as instructed by the awarding agency. Please contact the DHS FAO if you have any questions. DHS financial assistance recipients are required to follow the applicable provisions of the Uniform Administrative Requirements, Cost Principles, and Audit Requirements for Federal Awards located at Title 2, Code of Federal Regulations (C.F.R.) Part 200, and adopted by DHS at 2 C.F.R. Part 3002. By accepting this agreement, the recipient and its executives, as defined in 2 C.F.R. § 170.315, certify that the recipient policies are in accordance with OMB guidance located at 2 C.F.R. Part 200, all applicable federal laws, and relevant Executive guidance.

Article 2**DHS Specific Acknowledgements and Assurances**

All recipients, subrecipients, successors, transferees, and assignees must acknowledge and agree to comply with applicable provisions governing DHS access to records, accounts, documents, information, facilities, and staff. 1. Recipients must cooperate with any compliance reviews or compliance investigations conducted by DHS. 2. Recipients must give DHS access to, and the right to examine and copy, records, accounts, and other documents and sources of information related to the federal financial assistance award and permit access to facilities, personnel, and other individuals and information as may be necessary, as required by DHS regulations and other applicable laws or program guidance. 3. Recipients must submit timely, complete, and accurate reports to the appropriate DHS officials and maintain appropriate backup documentation to support the reports. 4. Recipients must comply with all other special reporting, data collection, and evaluation requirements, as prescribed by law or detailed in program guidance. 5. Recipients of federal financial assistance from DHS must complete the DHS Civil Rights Evaluation Tool within thirty (30) days of receipt of the Notice of Award or, for State Administrative Agencies, thirty (30) days from receipt of the DHS Civil Rights Evaluation Tool from DHS or its awarding component agency. After the initial submission for the first award under which this term applies, recipients are required to provide this information once every two (2) years if they have an active award, not every time an award is made. Recipients should submit the completed tool, including supporting materials, to CivilRightsEvaluation@hq.dhs.gov. This tool clarifies the civil rights obligations and related reporting requirements contained in the DHS Standard Terms and Conditions. Subrecipients are not required to complete and submit this tool to DHS. The evaluation tool can be found at <https://www.dhs.gov/publication/dhs-civil-rights-evaluation-tool>. The DHS Office for Civil Rights and Civil Liberties will consider, in its discretion, granting an extension if the recipient identifies steps and a timeline for completing the tool. Recipients should request extensions by emailing the request to CivilRightsEvaluation@hq.dhs.gov prior to expiration of the 30-day deadline.

Article 3**Acknowledgement of Federal Funding from DHS**

Recipients must acknowledge their use of federal funding when issuing statements, press releases, requests for proposal, bid invitations, and other documents describing projects or programs funded in whole or in part with federal funds.

Article 4**Activities Conducted Abroad**

Recipients must ensure that project activities carried on outside the United States are coordinated as necessary with appropriate government authorities and that appropriate licenses, permits, or approvals are obtained.

Article 5	<p>Age Discrimination Act of 1975</p> <p>Recipients must comply with the requirements of the Age Discrimination Act of 1975, Pub. L. No. 94-135 (1975) (codified as amended at Title 42, U.S. Code, § 6101 et seq.), which prohibits discrimination on the basis of age in any program or activity receiving federal financial assistance.</p>
Article 6	<p>Americans with Disabilities Act of 1990</p> <p>Recipients must comply with the requirements of Titles I, II, and III of the Americans with Disabilities Act, Pub. L. No. 101-336 (1990) (codified as amended at 42 U.S.C. §§ 12101–12213), which prohibits recipients from discriminating on the basis of disability in the operation of public entities, public and private transportation systems, places of public accommodation, and certain testing entities.</p>
Article 7	<p>Best Practices for Collection and Use of Personally Identifiable Information</p> <p>Recipients who collect personally identifiable information (PII) are required to have a publicly available privacy policy that describes standards on the usage and maintenance of the PII they collect. DHS defines PII as any information that permits the identity of an individual to be directly or indirectly inferred, including any information that is linked or linkable to that individual. Recipients may also find the DHS Privacy Impact Assessments: Privacy Guidance at http://www.dhs.gov/xlibrary/assets/privacy/privacy_pia_guidance_june2010.pdf and Privacy Template at https://www.dhs.gov/sites/default/files/publications/privacy_pia_template_2017.pdf as useful resources respectively.</p>
Article 8	<p>Civil Rights Act of 1964 – Title VI</p> <p>Recipients must comply with the requirements of Title VI of the Civil Rights Act of 1964 (codified as amended at 42 U.S.C. § 2000d et seq.), which provides that no person in the United States will, on the grounds of race, color, or national origin, be excluded from participation in, be denied the benefits of, or be subjected to discrimination under any program or activity receiving federal financial assistance. DHS implementing regulations for the Act are found at 6 C.F.R. Part 21 and 44 C.F.R. Part 7.</p>

Article 9**Civil Rights Act of 1968**

Recipients must comply with Title VIII of the Civil Rights Act of 1968, Pub. L. No. 90-284, as amended through Pub. L. 113-4, which prohibits recipients from discriminating in the sale, rental, financing, and advertising of dwellings, or in the provision of services in connection therewith, on the basis of race, color, national origin, religion, disability, familial status, and sex (see 42 U.S.C. § 3601 et seq.), as implemented by the U.S. Department of Housing and Urban Development at 24 C.F.R. Part 100. The prohibition on disability discrimination includes the requirement that new multifamily housing with four or more dwelling units—i.e., the public and common use areas and individual apartment units (all units in buildings with elevators and ground-floor units in buildings without elevators)—be designed and constructed with certain accessible features. (See 24 C.F.R. Part 100, Subpart D.)

Article 10**Copyright**

Recipients must affix the applicable copyright notices of 17 U.S.C. §§ 401 or 402 and an acknowledgement of U.S. Government sponsorship (including the award number) to any work first produced under federal financial assistance awards.

Article 11**Debarment and Suspension**

Recipients are subject to the non-procurement debarment and suspension regulations implementing Executive Orders (E.O.) 12549 and 12689, which are at 2 C.F.R. Part 180 as adopted by DHS at 2 C.F.R. Part 3000. These regulations restrict federal financial assistance awards, subawards, and contracts with certain parties that are debarred, suspended, or otherwise excluded from or ineligible for participation in federal assistance programs or activities.

Article 12**Drug-Free Workplace Regulations**

Recipients must comply with drug-free workplace requirements in Subpart B (or Subpart C, if the recipient is an individual) of 2 C.F.R. Part 3001, which adopts the Government-wide implementation (2 C.F.R. Part 182) of Sec. 5152-5158 of the Drug-Free Workplace Act of 1988 (41 U.S.C. §§ 8101-8106).

Article 13**Duplication of Benefits**

Any cost allocable to a particular federal financial assistance award provided for in 2 C.F.R. Part 200, Subpart E may not be charged to other federal financial assistance awards to overcome fund deficiencies; to avoid restrictions imposed by federal statutes, regulations, or federal financial assistance award terms and conditions; or for other reasons. However, these prohibitions would not preclude recipients from shifting costs that are allowable under two or more awards in accordance with existing federal statutes, regulations, or the federal financial assistance award terms and conditions.

Article 14	Education Amendments of 1972 (Equal Opportunity in Education Act) – Title IX Recipients must comply with the requirements of Title IX of the Education Amendments of 1972, Pub. L. 92-318 (1972) (codified as amended at 20 U.S.C. § 1681 et seq.), which provide that no person in the United States will, on the basis of sex, be excluded from participation in, be denied the benefits of, or be subjected to discrimination under any educational program or activity receiving federal financial assistance. DHS implementing regulations are codified at 6 C.F.R. Part 17 and 44 C.F.R. Part 19.
Article 15	Energy Policy and Conservation Act Recipients must comply with the requirements of the Energy Policy and Conservation Act, Pub. L. 94- 163 (1975) (codified as amended at 42 U.S.C. § 6201 et seq.), which contain policies relating to energy efficiency that are defined in the state energy conservation plan issued in compliance with this Act.
Article 16	False Claims Act and Program Fraud Civil Remedies Recipients must comply with the requirements of the False Claims Act, 31 U.S.C. §§ 3729-3733, which prohibit the submission of false or fraudulent claims for payment to the federal government. (See 31 U.S.C. §§ 3801-3812, which details the administrative remedies for false claims and statements made.)
Article 17	Federal Debt Status All recipients are required to be non-delinquent in their repayment of any federal debt. Examples of relevant debt include delinquent payroll and other taxes, audit disallowances, and benefit overpayments. (See OMB Circular A-129.)
Article 18	Federal Leadership on Reducing Text Messaging while Driving Recipients are encouraged to adopt and enforce policies that ban text messaging while driving as described in E.O. 13513, including conducting initiatives described in Section 3(a) of the Order when on official government business or when performing any work for or on behalf of the federal government.
Article 19	Fly America Act of 1974 Recipients must comply with Preference for U.S. Flag Air Carriers (air carriers holding certificates under 49 U.S.C. § 41102) for international air transportation of people and property to the extent that such service is available, in accordance with the International Air Transportation Fair Competitive Practices Act of 1974, 49 U.S.C. § 40118, and the interpretative guidelines issued by the Comptroller General of the United States in the March 31, 1981, amendment to Comptroller General Decision B-138942.

Article 20	Hotel and Motel Fire Safety Act of 1990 In accordance with Section 6 of the Hotel and Motel Fire Safety Act of 1990, 15 U.S.C. § 2225a, recipients must ensure that all conference, meeting, convention, or training space funded in whole or in part with federal funds complies with the fire prevention and control guidelines of the Federal Fire Prevention and Control Act of 1974, (codified as amended at 15 U.S.C. § 2225.)
Article 21	Limited English Proficiency (Civil Rights Act of 1964, Title VI) Recipients must comply with Title VI of the Civil Rights Act of 1964, (42 U.S.C. § 2000d et seq.) prohibition against discrimination on the basis of national origin, which requires that recipients of federal financial assistance take reasonable steps to provide meaningful access to persons with limited English proficiency (LEP) to their programs and services. For additional assistance and information regarding language access obligations, please refer to the DHS Recipient Guidance: https://www.dhs.gov/guidance-published-help-department-supported-organizations-provide-meaningful-access-people-limited and additional resources on http://www.lep.gov .
Article 22	Lobbying Prohibitions Recipients must comply with 31 U.S.C. § 1352, which provides that none of the funds provided under a federal financial assistance award may be expended by the recipient to pay any person to influence, or attempt to influence an officer or employee of any agency, a Member of Congress, an officer or employee of Congress, or an employee of a Member of Congress in connection with any federal action related to a federal award or contract, including any extension, continuation, renewal, amendment, or modification.
Article 23	National Environmental Policy Act Recipients must comply with the requirements of the National Environmental Policy Act of 1969 (NEPA), Pub. L. 91-190 (1970) (codified as amended at 42 U.S.C. § 4321 et seq.) and the Council on Environmental Quality (CEQ) Regulations for Implementing the Procedural Provisions of NEPA, which require recipients to use all practicable means within their authority, and consistent with other essential considerations of national policy, to create and maintain conditions under which people and nature can exist in productive harmony and fulfill the social, economic, and other needs of present and future generations of Americans.
Article 24	Nondiscrimination in Matters Pertaining to Faith-Based Organizations It is DHS policy to ensure the equal treatment of faith-based organizations in social service programs administered or supported by DHS or its component agencies, enabling those organizations to participate in providing important social services to beneficiaries. Recipients must comply with the equal treatment policies and requirements contained in 6 C.F.R. Part 19 and other applicable statutes, regulations, and guidance governing the participations of faith-based organizations in individual DHS programs.

Article 25	Non-Supplanting Requirement Recipients receiving federal financial assistance awards made under programs that prohibit supplanting by law must ensure that federal funds do not replace (supplant) funds that have been budgeted for the same purpose through non-federal sources.
Article 26	Notice of Funding Opportunity Requirements All the instructions, guidance, limitations, and other conditions set forth in the Notice of Funding Opportunity (NOFO) for this program are incorporated here by reference in the award terms and conditions. All recipients must comply with any such requirements set forth in the program NOFO.
Article 27	Patents and Intellectual Property Rights Recipients are subject to the Bayh-Dole Act, 35 U.S.C. § 200 et seq, unless otherwise provided by law. Recipients are subject to the specific requirements governing the development, reporting, and disposition of rights to inventions and patents resulting from federal financial assistance awards located at 37 C.F.R. Part 401 and the standard patent rights clause located at 37 C.F.R. § 401.14.
Article 28	Procurement of Recovered Materials States, political subdivisions of states, and their contractors must comply with Section 6002 of the Solid Waste Disposal Act, Pub. L. 89-272 (1965), (codified as amended by the Resource Conservation and Recovery Act, 42 U.S.C. § 6962.) The requirements of Section 6002 include procuring only items designated in guidelines of the Environmental Protection Agency (EPA) at 40 C.F.R. Part 247 that contain the highest percentage of recovered materials practicable, consistent with maintaining a satisfactory level of competition.
Article 29	Rehabilitation Act of 1973 Recipients must comply with the requirements of Section 504 of the Rehabilitation Act of 1973, Pub. L. 93-112 (1973) (codified as amended at 29 U.S.C. § 794) which provides that no otherwise qualified handicapped individuals in the United States will, solely by reason of the handicap, be excluded from participation in, be denied the benefits of, or be subjected to discrimination under any program or activity receiving federal financial assistance.
Article 30	Reporting of Matters Related to Recipient Integrity and Performance If the total value of any currently active grants, cooperative agreements, and procurement contracts from all federal awarding agencies exceeds \$10,000,000 for any period of time during the period of performance of this federal award, then the recipients must comply with the requirements set forth in the government-wide Award Term and Condition for Recipient Integrity and Performance Matters located at 2 C.F.R. Part 200, Appendix XII, the full text of which is incorporated here by reference in the award terms and conditions.

Article 31	Reporting Subawards and Executive Compensation Recipients are required to comply with the requirements set forth in the government-wide award term on Reporting Subawards and Executive Compensation located at 2 C.F.R. Part 170, Appendix A, the full text of which is incorporated here by reference in the award terms and conditions.
Article 32	SAFECOM Recipients receiving federal financial assistance awards made under programs that provide emergency communication equipment and its related activities must comply with the SAFECOM Guidance for Emergency Communication Grants, including provisions on technical standards that ensure and enhance interoperable communications.
Article 33	Terrorist Financing Recipients must comply with E.O. 13224 and U.S. laws that prohibit transactions with, and the provisions of resources and support to, individuals and organizations associated with terrorism. Recipients are legally responsible to ensure compliance with the Order and laws.
Article 34	Trafficking Victims Protection Act of 2000 (TVPA) Recipients must comply with the requirements of the government-wide financial assistance award term which implements Section 106(g) of the Trafficking Victims Protection Act of 2000 (TVPA), codified as amended at 22 U.S.C. § 7104. The award term is located at 2 C.F.R. § 175.15, the full text of which is incorporated here by reference.
Article 35	Universal Identifier and System of Award Management Recipients are required to comply with the requirements set forth in the government-wide financial assistance award term regarding the System for Award Management and Universal Identifier Requirements located at 2 C.F.R. Part 25, Appendix A, the full text of which is incorporated here by reference.
Article 36	USA PATRIOT Act of 2001 Recipients must comply with requirements of Section 817 of the Uniting and Strengthening America by Providing Appropriate Tools Required to Intercept and Obstruct Terrorism Act of 2001 (USA PATRIOT Act), Pub. L. No. 107-56, which amends 18 U.S.C. §§ 175–175c.
Article 37	Use of DHS Seal, Logo and Flags Recipients must obtain permission from their DHS FAO prior to using the DHS seal(s), logos, crests or reproductions of flags or likenesses of DHS agency officials, including use of the United States Coast Guard seal, logo, crests or reproductions of flags or likenesses of Coast Guard officials.

Article 38**Whistleblower Protection Act**

Recipients must comply with the statutory requirements for whistleblower protections (if applicable) at 10 U.S.C § 2409, 41 U.S.C. § 4712, and 10 U.S.C. § 2324, 41 U.S.C. §§ 4304 and 4310.

Article 39**Acceptance of Post Award Changes**

In the event FEMA determines that changes are necessary to the award document after an award has been made, including changes to period of performance or terms and conditions, recipients will be notified of the changes in writing. Once notification has been made, any subsequent request for funds will indicate recipient acceptance of the changes to the award. Please call the FEMA/GMD Call Center at (866) 927-5646 or via e-mail to ASK-GMD@fema.dhs.gov if you have any questions.

Article 40**Prior Approval for Modification of Approved Budget**

Before making any change to the FEMA approved budget for this award, you must request prior written approval from FEMA where required by 2 C.F.R. § 200.308. FEMA is also utilizing its discretion to impose an additional restriction under 2 C.F.R. § 200.308(f) regarding the transfer of funds among direct cost categories, programs, functions, or activities. Therefore, for awards with an approved budget where the federal share is greater than the simplified acquisition threshold (currently \$250,000), you may not transfer funds among direct cost categories, programs, functions, or activities without prior written approval from FEMA where the cumulative amount of such transfers exceeds or is expected to exceed ten percent (10%) of the total budget FEMA last approved. You must report any deviations from your FEMA approved budget in the first Federal Financial Report (SF-425) you submit following any budget deviation, regardless of whether the budget deviation requires prior written approval.

Article 41**Disposition of Equipment Acquired Under the Federal Award**

When original or replacement equipment acquired under this award by the recipient or its subrecipients is no longer needed for the original project or program or for other activities currently or previously supported by a federal awarding agency, you must request instructions from FEMA to make proper disposition of the equipment pursuant to 2 C.F.R. § 200.313.

Article 42**Environmental Planning and Historic Preservation (EHP) Review**

DHS/FEMA funded activities that may require an EHP review are subject to the FEMA Environmental Planning and Historic Preservation (EHP) review process. This review does not address all federal, state, and local requirements.

Acceptance of federal funding requires recipient to comply with all federal, state, and local laws. DHS/FEMA is required to consider the potential impacts to natural and cultural resources of all projects funded by DHS/FEMA grant funds, through its EHP Review process, as mandated by the National Environmental Policy Act; National Historic Preservation Act of 1966, as amended; National Flood Insurance Program regulations; and, any other applicable laws and Executive Orders. To access the FEMA EHP screening form and instructions, go to the DHS/FEMA website at:

<https://www.fema.gov/media-library/assets/documents/90195>. In order to initiate EHP review of your project(s), you must complete all relevant sections of this form and submit it to the Grant Programs Directorate (GPD) along with all other pertinent project information. The EHP review process must be completed before funds are released to carry out the proposed project; otherwise, DHS/FEMA may not be able to fund the project due to noncompliance with EHP laws, executive order, regulations, and policies. If ground disturbing activities occur during construction, applicant will monitor ground disturbance, and if any potential archeological resources are discovered, applicant will immediately cease work in that area and notify the pass-through entity, if applicable, and DHS/FEMA.

Article 43**Award Performance Goals**

FEMA will measure the recipient's performance of the grant by comparing the number of items requested in its application, the numbers acquired (ordered, paid, and received) within the period of performance. In order to measure performance, FEMA may request information throughout the period of performance. In its final performance report submitted at closeout, the recipient is required to report on the recipients compliance with the applicable industry, local, state and national standards described in the NOFO.

Obligating document

1. Agreement No. EMW-2020-FG-11012	2. Amendment No. N/A	3. Recipient No. 386032091	4. Type of Action AWARD	5. Control No. WX00641N2021T		
6. Recipient Name and Address BEVERLY HILLS, VILLAGE OF 18500 W 13 MILE RD FRANKLIN, MI 48025		7. Issuing FEMA Office and Address Grant Programs Directorate 500 C Street, S.W. Washington DC, 20528-7000 1-866-927-5646		8. Payment Office and Address FEMA, Financial Services Branch 500 C Street, S.W., Room 723 Washington DC, 20742		
9. Name of Recipient Project Officer Robert Ginther		9a. Phone No. 2487210758	10. Name of FEMA Project Coordinator Assistance to Firefighters Grants Grant Program		10a. Phone No. 1-866-274-0960	
11. Effective Date of This Action 08/27/2021	12. Method of Payment OTHER - FEMA GO	13. Assistance Arrangement COST SHARING		14. Performance Period 09/03/2021 to 09/02/2023 Budget Period 09/03/2021 to 09/02/2023		
15. Description of Action a. (Indicate funding data for awards or financial changes)						
Program Name Abbreviation	Assistance Listings No.	Accounting Data (ACCS Code)	Prior Total Award	Amount Awarded This Action + or (-)	Current Total Award	Cumulative Non-Federal Commitment
AFG	97.044	2021-F0-GB01 - P410-xxxx-4101-D	\$0.00	\$608,163.64	\$608,163.64	\$60,816.36
Totals			\$0.00	\$608,163.64	\$608,163.64	\$60,816.36
b. To describe changes other than funding data or financial changes, attach schedule and check here: N/A						
16. FOR NON-DISASTER PROGRAMS: RECIPIENT IS REQUIRED TO SIGN AND RETURN THREE (3) COPIES OF THIS DOCUMENT TO FEMA (See Block 7 for address) This field is not applicable for digitally signed grant agreements						

17. RECIPIENT SIGNATORY OFFICIAL (Name and Title)	DATE
18. FEMA SIGNATORY OFFICIAL (Name and Title)	DATE
Christopher Logan, Acting Assistant Administrator Grant Programs Directorate	08/27/2021



September 16, 2021

MSA Corporate Center
1000 Cranberry Woods Drive
Cranberry Township, PA 16066
800.MSA.2222
www.MSAnet.com

To Whom It May Concern:

This letter confirms that Apollo Fire Equipment Co is the sole authorized distributor of MSA SCBA, SCBA Cylinders, and other SCBA accessories for the Municipal Fire Service Market for Oakland County, Michigan.

By way of background, in the fire service / first responder markets, MSA imposes specific requirements upon our distributors, which can result in a small number of distributors authorized to call upon a particular region. We impose these requirements because the equipment we manufacture and sell requires the involvement of partners with special knowledge, training and experience. Accordingly MSA's distributors are obligated to acquire and maintain extensive knowledge, training, and experience necessary to properly educate, assist and service our end user customers before, during and after the sale. MSA's fire service / first responder distributor qualification requirements are likewise intended to ensure the highest possible end user customer experience.

If you desire additional information about MSA, its product lines, or channel partners, please do not hesitate to contact me. Thank you for your interest in our products.

Sincerely,

A handwritten signature in blue ink that reads "Scott McGuire". The signature is written in a cursive, flowing style.

Scott McGuire
North American Sales Channels Specialist
Phone: 724-742-8028
Email: scott.mcguire@MSAsafety.com



Quotation

Apollo Fire Equipment Company
Apollo Fire Apparatus Repair, Inc.
 12584 Lakeshore Drive, Romeo, MI 48065
 Phone: (800) 626-7783 Fax: (586) 752-6907

DATE: 9/16/2021
TERMS: 30 days net
F.O.B.:
VALID FOR: until October 27, 2021
LEAD TIME: TBD

QUOTE #:

BILL TO: Beverly Hills Public Safety
ADDRESS:
ATTN: Robert Ginther

SHIP TO: Beverly Hills Public Safety
ADDRESS: 18600 West Thirteen Mile Rd, Beverly Hills, MI 48025
ATTN: Robert Ginther

PHONE: **FAX:** **E-MAIL:**

QTY	PART NUMBER	DESCRIPTION	UNIT PRICE	TOTAL
		MSA G1 SCBA		
94	A-G1FS 442MD2C2LAR	G1 SCBA - 4500psi, Standard Harness, Chest Strap, Extendaire II, Adjustable swiveling Lumbar, Rechargeable Battery, Piurge Cover Regulator, Buddy Breathing Quick Connect, and Voice Box integrated into pack strap	\$4,926.40	\$463,081.60
188	10175708	Low Profile Cylinder, Quick Connect, 4500psi, 45 minute	\$940.39	\$176,793.32
94	10161810	G1 Facepiece, Nose Cup, Cloth Neck Strap	\$275.22	\$25,870.68
36	10161810	Additional G1 Facepiece, Nose Cup, Cloth Neck Strap	\$275.22	\$9,907.92
		In-Service Training	N/C	
			SUBTOTAL	\$675,653.52
Thank you for the opportunity to quote on your Fire Department needs.			SHIPPING	N/C
			TAX	N/A
			OTHER	N/A
			TOTAL	\$675,653.52

Jo Ellen Pavoni, VP Sales & Marketing
 Cell: (616) 291-6534
jpavoni@apollofire.com



DATE:	10/11/2021
TERMS:	30 days net
F.O.B.:	
VALID FOR:	until October 27, 2021
LEAD TIME:	TBD

SHIP TO:	Beverly Hills Public Safety
ADDRESS:	18600 West Thirteen Mile Rd, Beverly Hills, MI 48025
ATTN:	Robert Ginther

QTY	PART NUMBER	DESCRIPTION	UNIT PRICE	TOTAL
		MSA G1 SCBA		
59	A-G1FS 442MD2C2LER	G1 SCBA same with TIC - additional cost per pack with TIC	\$830.90	\$49,023.10
5	10175708	Low Profile Cylinder, Quick Connect, 4500psi, 45 minute	\$940.39	\$4,701.95
33	10161810	G1 Facepiece, Nose Cup, Cloth Neck Strap	\$275.22	\$9,082.26
66	10148741-SP	Rechargeable Spare Battery	\$275.35	\$18,173.10
12	10158385	G1 Smart Charger - 6 Bank for rechargeable batteries	\$533.30	\$6,399.60
10	10206313	G1 RIT System	\$3,207.76	\$32,077.60
10	RBL303	True North L3 RIT Bag	\$244.63	\$2,446.30
10	10175710	G1 60 minute, 4500psi, RIT Cylinder	\$1,156.15	\$11,561.50
9	10162403	Adapter Asembly, QC to 1/4 NPT F	\$349.43	\$3,144.87
125	10144231-SP	APR G1 Adapter, (single canister)	\$83.22	\$10,402.50
125	10046570	CBRN Canister	\$59.94	\$7,492.50
8	10042346	Type H Filter Cartridge (20 pack)	\$332.48	\$2,659.84
127	LXFB30-B	Lightening X Mask Bag (black)	\$13.50	\$1,714.50
8	DSD1100	True North Soft Duffle Bags (black)	\$82.55	\$660.40
			SUBTOTAL	\$159,540.02
Thank you for the opportunity to quote on your Fire Department needs.			SHIPPING	N/C
			TAX	N/A
			OTHER	N/A
			TOTAL	\$159,540.02

Jo Ellen Pavoni, VP Sales & Marketing
Cell: (616) 291-6534
jpavoni@apollofire.com

**Self Contained Breathing Apparatus Regional Cooperative Purchase
through the Assistance to Firefighters Grant Program
Grant Application # EMW-2020-FG-11012**

COMBINED TOTAL - FEMA SCBA GRANT EMW-2020-FG-11012

SCBA (1 harness, 2 bottles, 1 mask)	COST	QTY	TOTAL	SEATED POSITIONS
4500 PSI SCBA, STANDARD HARNESS, CHEST STRAP, EXTENDAIRE II, ADJUSTABLE SWIVELING LUMBAR, RECHARGEABLE BATTERY, PURGE COVER REGULATOR, BUDDY BREATHING QUICK CONNECT, AND VOICE BOX INTEGRATED INTO PACK STRAP	\$4,926.40	94	\$463,081.60	98
MSA G1 4500 PSI 45 MIN LOW PROFILE BOTTLE W/QUICK CONNECT	\$940.39	188	\$176,793.32	
FACEPIECE W/4PT HARNESS	\$275.22	94	\$25,870.68	
ADDITIONAL FACEPIECE W/4PT HARNESS	\$275.22	36	\$9,907.92	
		TOTAL COST	\$675,653.52	
		FEDERAL FUNDING ASSITANCE	\$608,163.64	
Minimum 10% Local Match Amount Per Award Letter	\$60,816.36	LOCAL MATCH AMOUNT	\$67,489.88	

COMBINED TOTAL - NON-GRANT FUNDED ADDITIONAL SYSTEM EQUIPMENT

ADDITION OF MSA G1 TIC OPTION	\$830.90	59	\$49,023.10
ADDITIONAL MSA G1 4500 PSI 45 MIN LOW PROFILE BOTTLE W/QUICK CONNECT	\$940.39	5	\$4,701.95
ADDITIONAL FACEPIECE W/4PT HARNESS	\$275.22	33	\$9,082.26
MSA G1 RECHARGEABLE BATTERY	\$275.35	66	\$18,173.10
MSA G1 6 BANK RECHARGEABLE BATTERY SMART CHARGER	\$533.30	12	\$6,399.60
MSA G1 RIT SYSTEM	\$3,207.76	10	\$32,077.60
TRUE NORTH L3 RIT BAG	\$244.63	10	\$2,446.30
MSA G1 60 Min 4500PSI RIT Bottle	\$1,156.15	10	\$11,561.50
MSA G1 ADAPTER ASSEMBLY - QC TO 1/4" NPT	\$349.43	9	\$3,144.87
APR ADAPTER (large single canister model)	\$83.22	125	\$10,402.50
CBRN CANISTER	\$59.94	125	\$7,492.50
P100 CANISTER (20 pack)	\$332.48	8	\$2,659.84
LIGHTING X MASK BAG (black)	\$13.50	127	\$1,714.50
SOFT DUFFLE BAGS (black)	\$82.55	8	\$660.40
		TOTAL LOCAL NON-GRANT FUNDED COST	\$159,540.02

**Self Contained Breathing Apparatus Regional Cooperative Purchase
through the Assistance to Firefighters Grant Program
Grant Application # EMW-2020-FG-11012**

BERKLEY - FEMA SCBA GRANT EMW-2020-FG-11012

SCBA (1 harness, 2 bottles, 1 mask)	COST	QTY	TOTAL	SEATED POSITIONS
4500 PSI SCBA, STANDARD HARNESS, CHEST STRAP, EXTENDAIRE II, ADJUSTABLE SWIVELING LUMBAR, RECHARGEABLE BATTERY, PURGE COVER REGULATOR, BUDDY BREATHING QUICK CONNECT, AND VOICE BOX INTEGRATED INTO PACK STRAP	\$4,926.40	22	\$108,380.80	22
4500 PSI 45 MIN LOW PROFILE BOTTLE W/QUICK CONNECT	\$940.39	44	\$41,377.16	
FACEPIECE W/4PT HARNESS	\$275.22	22	\$6,054.84	
ADDITIONAL FACEPIECE W/4PT HARNESS	\$275.22	15	\$4,128.30	
		TOTAL COST	\$159,941.10	
		FEDERAL FUNDING ASSITANCE	\$142,336.17	
Amount to be invoiced to the City of Berkley Invoice description to be - FEMA AFG SCBA GRANT EMW-2020-FG-11012 Local Match Amount			LOCAL MATCH AMOUNT	\$17,604.93

BERKLEY - NON-GRANT FUNDED ADDITIONAL SCBA SYSTEM EQUIPMENT

ADDITION OF MSA G1 TIC OPTION	\$830.90	22	\$18,279.80
ADDITIONAL MSA G1 4500 PSI 45 MIN LOW PROFILE BOTTLE W/QUICK CONNECT	\$940.39	0	\$0.00
ADDITIONAL FACEPIECE W/4PT HARNESS	\$275.22	0	\$0.00
MSA G1 RECHARGEABLE BATTERY	\$275.35	18	\$4,956.30
MSA G1 6 BANK RECHARGEABLE BATTERY SMART CHARGER	\$533.30	3	\$1,599.90
MSA G1 RIT SYSTEM	\$3,207.76	3	\$9,623.28
TRUE NORTH L3 RIT BAG	\$244.63	3	\$733.89
MSA G1 60 Min 4500PSI RIT Bottle	\$1,156.15	3	\$3,468.45
MSA G1 ADAPTER ASSEMBLY - QC TO 1/4" NPT	\$349.43	2	\$698.86
APR ADAPTER (large single canister model)	\$83.22	32	\$2,663.04
CBRN CANISTER	\$59.94	32	\$1,918.08
P100 CANISTER (20 pack)	\$332.48	2	\$664.96
LIGHTING X MASK BAG (black)	\$13.50	37	\$499.50
SOFT DUFFLE BAGS (black)	\$82.55	0	\$0.00
Amount to be invoiced to the City of Berkley Invoice description to be - Non-Grant Funded Additional SCBA System Equipment			TOTAL LOCAL NON-GRANT FUNDED COST
			\$45,106.06

**Self Contained Breathing Apparatus Regional Cooperative Purchase
through the Assistance to Firefighters Grant Program
Grant Application # EMW-2020-FG-11012**

BEVERLY HILLS - FEMA SCBA GRANT EMW-2020-FG-11012

SCBA (1 harness, 2 bottles, 1 mask)	COST	QTY	TOTAL	SEATED POSITIONS
4500 PSI SCBA, STANDARD HARNESS, CHEST STRAP, EXTENDAIRE II, ADJUSTABLE SWIVELING LUMBAR, RECHARGEABLE BATTERY, PURGE COVER REGULATOR, BUDDY BREATHING QUICK CONNECT, AND VOICE BOX INTEGRATED INTO PACK STRAP	\$4,926.40	26	\$128,086.40	22
4500 PSI 45 MIN LOW PROFILE BOTTLE W/QUICK CONNECT	\$940.39	52	\$48,900.28	
FACEPIECE W/4PT HARNESS	\$275.22	26	\$7,155.72	
ADDITIONAL FACEPIECE W/4PT HARNESS	\$275.22	0	\$0.00	
		TOTAL COST	\$184,142.40	
		FEDERAL FUNDING ASSITANCE	\$168,215.47	
Amount to be invoiced to the Village of Beverly Hills Invoice description to be - FEMA AFG SCBA GRANT EMW-2020-FG-11012 Local Match Amount		LOCAL MATCH AMOUNT	\$15,926.93	

BEVERLY HILLS - NON-GRANT FUNDED ADDITIONAL SCBA SYSTEM EQUIPMENT

ADDITION OF MSA G1 TIC OPTION	\$830.90	26	\$21,603.40
ADDITIONAL MSA G1 4500 PSI 45 MIN LOW PROFILE BOTTLE W/QUICK CONNECT	\$940.39	5	\$4,701.95
ADDITIONAL FACEPIECE W/4PT HARNESS	\$275.22	6	\$1,651.32
MSA G1 RECHARGEABLE BATTERY	\$275.35	18	\$4,956.30
MSA G1 6 BANK RECHARGEABLE BATTERY SMART CHARGER	\$533.30	3	\$1,599.90
MSA G1 RIT SYSTEM	\$3,207.76	3	\$9,623.28
TRUE NORTH L3 RIT BAG	\$244.63	3	\$733.89
MSA G1 60 Min 4500PSI RIT Bottle	\$1,156.15	3	\$3,468.45
MSA G1 ADAPTER ASSEMBLY - QC TO 1/4" NPT	\$349.43	2	\$698.86
APR ADAPTER (large single canister model)	\$83.22	27	\$2,246.94
CBRN CANISTER	\$59.94	27	\$1,618.38
P100 CANISTER (20 pack)	\$332.48	2	\$664.96
LIGHTING X MASK BAG (black)	\$13.50	30	\$405.00
SOFT DUFFLE BAGS (black)	\$82.55	6	\$495.30
Amount to be invoiced to the Village of Beverly Hills Invoice description to be - Non-Grant Funded Additional SCBA System Equipment		TOTAL LOCAL NON-GRANT FUNDED COST	\$54,467.93

**Self Contained Breathing Apparatus Regional Cooperative Purchase
through the Assistance to Firefighters Grant Program
Grant Application # EMW-2020-FG-11012**

BLOOMFIELD HILLS - FEMA SCBA GRANT EMW-2020-FG-11012

SCBA (1 harness, 2 bottles, 1 mask)	COST	QTY	TOTAL	SEATED POSITIONS
4500 PSI SCBA, STANDARD HARNESS, CHEST STRAP, EXTENDAIRE II, ADJUSTABLE SWIVELING LUMBAR, RECHARGEABLE BATTERY, PURGE COVER REGULATOR, BUDDY BREATHING QUICK CONNECT, AND VOICE BOX INTEGRATED INTO PACK STRAP	\$4,926.40	14	\$68,969.60	17
4500 PSI 45 MIN LOW PROFILE BOTTLE W/QUICK CONNECT	\$940.39	28	\$26,330.92	
FACEPIECE W/4PT HARNESS	\$275.22	14	\$3,853.08	
ADDITIONAL FACEPIECE W/4PT HARNESS	\$275.22	9	\$2,476.98	
		TOTAL COST	\$101,630.58	
		FEDERAL FUNDING ASSITANCE	\$90,577.56	
Amount to be invoiced to the City of Bloomfield Hills Invoice description to be - FEMA AFG SCBA GRANT EMW-2020-FG-11012 Local Match Amount			LOCAL MATCH AMOUNT	\$11,053.02

BLOOMFIELD HILLS - NON-GRANT FUNDED ADDITIONAL SCBA SYSTEM EQUIPMENT

ADDITION OF MSA G1 TIC OPTION	\$830.90	0	\$0.00
ADDITIONAL MSA G1 4500 PSI 45 MIN LOW PROFILE BOTTLE W/QUICK CONNECT	\$940.39	0	\$0.00
ADDITIONAL FACEPIECE W/4PT HARNESS	\$275.22	3	\$825.66
MSA G1 RECHARGEABLE BATTERY	\$275.35	12	\$3,304.20
MSA G1 6 BANK RECHARGEABLE BATTERY SMART CHARGER	\$533.30	2	\$1,066.60
MSA G1 RIT SYSTEM	\$3,207.76	1	\$3,207.76
TRUE NORTH L3 RIT BAG	\$244.63	1	\$244.63
MSA G1 60 Min 4500PSI RIT Bottle	\$1,156.15	1	\$1,156.15
MSA G1 ADAPTER ASSEMBLY - QC TO 1/4" NPT	\$349.43	3	\$1,048.29
APR ADAPTER (large single canister model)	\$83.22	26	\$2,163.72
CBRN CANISTER	\$59.94	26	\$1,558.44
P100 CANISTER (20 pack)	\$332.48	2	\$664.96
LIGHTING X MASK BAG (black)	\$13.50	0	\$0.00
SOFT DUFFLE BAGS (black)	\$82.55	0	\$0.00
Amount to be invoiced to the City of Bloomfield Hills Invoice description to be - Non-Grant Funded Additional SCBA System Equipment			TOTAL LOCAL NON-GRANT FUNDED COST
			\$15,240.41

**Self Contained Breathing Apparatus Regional Cooperative Purchase
through the Assistance to Firefighters Grant Program
Grant Application # EMW-2020-FG-11012**

FARMINGTON - FEMA SCBA GRANT EMW-2020-FG-11012

SCBA (1 harness, 2 bottles, 1 mask)	COST	QTY	TOTAL	SEATED POSITIONS
4500 PSI SCBA, STANDARD HARNESS, CHEST STRAP, EXTENDAIRE II, ADJUSTABLE SWIVELING LUMBAR, RECHARGEABLE BATTERY, PURGE COVER REGULATOR, BUDDY BREATHING QUICK CONNECT, AND VOICE BOX INTEGRATED INTO PACK STRAP	\$4,926.40	20	\$98,528.00	22
4500 PSI 45 MIN LOW PROFILE BOTTLE W/QUICK CONNECT	\$940.39	40	\$37,615.60	
FACEPIECE W/4PT HARNESS	\$275.22	20	\$5,504.40	
ADDITIONAL FACEPIECE W/4PT HARNESS	\$275.22	4	\$1,100.88	
		TOTAL COST	\$142,748.88	
		FEDERAL FUNDING ASSITANCE	\$129,396.52	
Amount to be invoiced to the City of Farmington		LOCAL MATCH	\$13,352.36	
Invoice description to be - FEMA AFG SCBA GRANT EMW-2020-FG-11012 Local Match Amount		AMOUNT		

FARMINGTON - NON-GRANT FUNDED ADDITIONAL SCBA SYSTEM EQUIPMENT

ADDITION OF MSA G1 TIC OPTION	\$830.90	9	\$7,478.10
ADDITIONAL MSA G1 4500 PSI 45 MIN LOW PROFILE BOTTLE W/QUICK CONNECT	\$940.39	0	\$0.00
ADDITIONAL FACEPIECE W/4PT HARNESS	\$275.22	16	\$4,403.52
MSA G1 RECHARGEABLE BATTERY	\$275.35	12	\$3,304.20
MSA G1 6 BANK RECHARGEABLE BATTERY SMART CHARGER	\$533.30	2	\$1,066.60
MSA G1 RIT SYSTEM	\$3,207.76	2	\$6,415.52
TRUE NORTH L3 RIT BAG	\$244.63	2	\$489.26
MSA G1 60 Min 4500PSI RIT Bottle	\$1,156.15	2	\$2,312.30
MSA G1 ADAPTER ASSEMBLY - QC TO 1/4" NPT	\$349.43	2	\$698.86
APR ADAPTER (large single canister model)	\$83.22	40	\$3,328.80
CBRN CANISTER	\$59.94	40	\$2,397.60
P100 CANISTER (20 pack)	\$332.48	2	\$664.96
LIGHTING X MASK BAG (black)	\$13.50	40	\$540.00
SOFT DUFFLE BAGS (black)	\$82.55	0	\$0.00
Amount to be invoiced to the City of Farmington		TOTAL LOCAL	\$33,099.72
Invoice description to be - Non-Grant Funded Additional SCBA System Equipment		NON-GRANT FUNDED COST	

**Self Contained Breathing Apparatus Regional Cooperative Purchase
through the Assistance to Firefighters Grant Program
Grant Application # EMW-2020-FG-11012**

HUNTINGTON WOODS - FEMA SCBA GRANT EMW-2020-FG-11012

SCBA (1 harness, 2 bottles, 1 mask)	COST	QTY	TOTAL	SEATED POSITIONS
4500 PSI SCBA, STANDARD HARNESS, CHEST STRAP, EXTENDAIRE II, ADJUSTABLE SWIVELING LUMBAR, RECHARGEABLE BATTERY, PURGE COVER REGULATOR, BUDDY BREATHING QUICK CONNECT, AND VOICE BOX INTEGRATED INTO PACK STRAP	\$4,926.40	12	\$59,116.80	15
4500 PSI 45 MIN LOW PROFILE BOTTLE W/QUICK CONNECT	\$940.39	24	\$22,569.36	
FACEPIECE W/4PT HARNESS	\$275.22	12	\$3,302.64	
ADDITIONAL FACEPIECE W/4PT HARNESS	\$275.22	8	\$2,201.76	
		TOTAL COST	\$87,190.56	
		FEDERAL FUNDING ASSITANCE	\$77,637.91	
Amount to be invoiced to the City of Huntington Woods Invoice description to be - FEMA AFG SCBA GRANT EMW-2020-FG-11012 Local Match Amount			LOCAL MATCH AMOUNT	\$9,552.65

HUNTINGTON WOODS - NON-GRANT FUNDED ADDITIONAL SCBA SYSTEM EQUIPMENT

ADDITION OF MSA G1 TIC OPTION	\$830.90	2	\$1,661.80
ADDITIONAL MSA G1 4500 PSI 45 MIN LOW PROFILE BOTTLE W/QUICK CONNECT	\$940.39	0	\$0.00
ADDITIONAL FACEPIECE W/4PT HARNESS	\$275.22	8	\$2,201.76
MSA G1 RECHARGEABLE BATTERY	\$275.35	6	\$1,652.10
MSA G1 6 BANK RECHARGEABLE BATTERY SMART CHARGER	\$533.30	2	\$1,066.60
MSA G1 RIT SYSTEM	\$3,207.76	1	\$3,207.76
TRUE NORTH L3 RIT BAG	\$244.63	1	\$244.63
MSA G1 60 Min 4500PSI RIT Bottle	\$1,156.15	1	\$1,156.15
MSA G1 ADAPTER ASSEMBLY - QC TO 1/4" NPT	\$349.43	0	\$0.00
APR ADAPTER (large single canister model)	\$83.22	0	\$0.00
CBRN CANISTER	\$59.94	0	\$0.00
P100 CANISTER (20 pack)	\$332.48	0	\$0.00
LIGHTING X MASK BAG (black)	\$13.50	20	\$270.00
SOFT DUFFLE BAGS (black)	\$82.55	2	\$165.10
Amount to be invoiced to the City of Huntington Woods Invoice description to be - Non-Grant Funded Additional SCBA System Equipment			TOTAL LOCAL NON-GRANT FUNDED COST
			\$11,625.90



To: Honorable President George; Village Council Members

From: Kristin Rutkowski, Village Clerk/Assistant Village Manager

Subject: Village Manager Search Firm

Date: October 15, 2021

The Personnel Committee has met and reviewed potential search firms to assist with the Village Manager hiring process. The Committee will present more information on this matter during the October 19, 2021 Council meeting.

Suggested resolution:

Be it resolved, the Beverly Hills Village Council agrees to hire _____ to assist with the search process for a Village Manager at a cost not to exceed \$_____ and authorizes Administration to execute an agreement with said firm subject to review by the Village Attorney. Funds are available in Account 101-248-831.00 (Professional Services).



To: Honorable President George; Village Council Members
Chris Wilson, Village Manager

From: Kristin Rutkowski, Village Clerk/Assistant Village Manager

Subject: Manager's Report

Date: October 15, 2021

Village Manager Wilson is currently out of the office. He will present a verbal manager's report at the October 19, 2021 regular Village Council meeting.

Beverly Hills Public Safety

Activity Report

Oct. 01-14, 2021

- The Public Safety Department is currently looking for applicants for Public Safety Officer. Please visit our website, www.beverlyhillspolice.com to see if you qualify.
- Please remember to slow down as schools are back in session. The crossing guards are out there too. Kudos to them and all that make this a safe community.
- For more information on Coronavirus Disease and vaccine please visit;
<https://www.cdc.gov/coronavirus/2019-ncov/index.html>
<https://www.ready.gov/>
- <https://www.Michigan.gov/coronavirus>
- <https://www.oakgov.com/covid/Pages/default.aspx>
- <https://oaklandcountyvaccine.com>

CALLS FOR SERVICE

- 177 Calls for Service.
- 58 Tickets issued.
- 6 Arrests:
- Crime Prevention in Huntley square Apartments.
- Suspicious Vehicle on Buckingham.
- Crime Prevention on Rutland.
- Open Building found on Saxon.
- Extra Patrol at Beverly School at drop off.
- Medical on Wetherby.
- Radar Detail on 14 Mile.
- Noise Complaint at Detroit Country Day.
- School Liaison at Groves' football game.
- Traffic Complaint on Chelton.
- Extra Patrol at Oktoberfest OLQM.
- Medical at Mission Point.
- Suspicious Vehicle on Buckingham.
- Closed down Beverly Park.
- Domestic Disturbance on 13 Mile.
- Drunk driver arrested on Crossbow Drive without incident.

- Medical on Dover Court.
- Fire Alarm on Dunblaine.
- Suspicious Person on Friartuck.
- Animal Complaint on Birwood.
- School Liaison at Groves Homecoming.
- A driver was arrested for Driving While License Suspended on 13 Mile and Southfield, without incident.
- Traffic Complaint on Verona and Greenfield.
- Radar Detail on Evergreen.
- Radar Detail on 14 Mile.
- Beverly Park closed down.
- Extra Patrol at groves High School.
- Extra Patrol on Pierce and Beverly.
- Radar Detail on 14 Mile and Southfield.
- Extra Patrol on Beverly and Evergreen.
- Radar Detail on Southfield.
- Radar Detail on 13 Mile and Churchill.
- Welfare Check on Devonshire.
- Carbon Monoxide Alarm on Carlelder.
- Found Property on Stafford.
- Assist Motorist on Southfield.
- Traffic Accident 13 Mile at Huntley Square.
- Vehicle Lockout on Warwick.
- Vehicle Lockout on Birwood.
- Medical on Greenfield and Buckingham.
- Car Seat Check at the station.
- Extra Patrol at Detroit Country Day.
- Traffic Accident at Greenfield and Verona.
- Closed down Beverly Park.
- Medical on Riverside.
- Radar Detail at 13 Mile and Evergreen.
- Extra Patrol on Churchill and Downing Place.
- Extra Patrol in Huntley Square Apartments.
- Extra Patrol on Norchester and Devonshire.
- Fire Truck Inspections at the station.
- Radar Detail on 14 Mile.
- Animal Complaint on Bellvine Trail.
- Extra Patrol at Beverly School for drop off.
- Suspicious Circumstance on Wetherby.
- Welfare Check on pedestrian on 13 Mile.
- Suspicious Circumstance at BP Gas Station.
- Prisoner Transport from 46th District Court.
- Extra Patrol on Beverly and Norchester.
- Beverly School Extra Patrol at pick up.

- Greenfield School Extra Patrol at pick up.
- Assist Motorist on Embassy.
- Suspicious Person on Beverly and Evergreen.
- Radar Detail on Lahser and Riverview.
- DWLS Arrest on Lahser and 13 Mile, without incident.
- Beverly Park closed down.
- Extra Patrol in Georgetown Sub.
- Assist Motorist on 13 Mile and Southfield.
- Injury Accident on Lahser and Metamora.
- Extra Patrol at Beverly School for drop of.
- Radar Detail on Greenfield.
- Citizen assist on Bellvine Trail.
- Traffic Accident on 13 Mile and Southfield.
- Medical on Hummel Court.
- Medical on Buckingham.
- Reckless Driving Complaint at Groves High School.
- Traffic Accident Report at the Station.
- Extra Patrol at Beverly School for pick up.
- Parking Complaint on Riverside.
- School Liaison at Groves High School.
- Animal Complaint in Huntley square apartments.
- Traffic Accident on 14 Mile and Pierce.
- Animal Complaint in Huntley Square Apartments.
- Radar Detail Lahser and Riverview.
- Radar Detail on Pierce and 14 Mile.
- Suspicious Vehicle on Amherst.
- Extra Patrol Edgewood and Kirkshire.
- Crossing Guard Detail at Beverly School.
- Extra Patrol at Greenfield School for drop off.
- Medical on Warwick.
- Welfare Check on Amherst.
- Extra Patrol at Market Fresh Center.
- Medical on Southfield.
- Alarm on Beechwood.
- Odor Investigation on East Valley Woods.
- Radar Detail on Southfield.
- Radar Detail on 14 Mile.
- Extra Patrol 14 Mile and Birmingham.
- Assist Royal Oak PD on Greenfield and 13 Mile.
- Alarm on 14 Mile Road.
- Assist Citizen on Sheridan.
- Extra Patrol at Beverly School for drop off.
- Extra Patrol at Greenfield School for drop off.
- Prisoner Transport from the 46th District Court.

- Medical on Southfield.
- Animal Complaint on Southfield.
- Medical on Verona Court.
- Operation Medicine Cabinet.
- Injury Accident at Beverly & Southfield. A drunk driver was arrested without incident.
- Medical on Birwood.
- Civil Matter in Huntley Square Apartments.
- Carbon Monoxide Alarm on Birwood.
- Alarm on Valley Oaks Drive.
- Civil Matter in Huntley Square apartments.
- Animal Complaint on Rutland.
- Car Accident at Groves High School.
- Alarm on Inglewood.
- Animal Complaint on Sunnyslope.
- Medical at Mission Point.
- Traffic Accident at 13 Mile and Lahser.
- Assist Motorist at Lahser and 13 Mile.
- Extra Patrol at Beverly School for pick up.
- Fraud on Beechwood.
- Citizen Assist on Marguerite.
- Lift Assist on Marguerite.
- Peace Officer Standby in Huntley Square Apartments.
- Extra Patrol in Huntley Square Apartments.
- Carbon Monoxide Alarm on Birwood.
- Beverly Park closed down.
- Suspicious Persons in Beverly Park.
- DWLS Arrest on Southfield and Buckingham without incident.
- Radar Detail on Beverly.
- A driver was arrested for Driving While License Suspended on 13 Mile and Southfield without incident.
- Suspicious Vehicle on Fairfax.
- Sudden Death on Sunset Drive.
- Suspicious Circumstances on Beverly.
- Traffic Enforcement at Beaconsfield and Saxon.
- Fire Alarm on Southfield.
- Welfare Check on Marimoor.
- Suspicious Person on Elizabeth.
- Assist Southfield PD on 13 Mile.
- Public relations at a Halloween Party Fire Engine on Robinhood.
- Traffic Complaint on Allerton.
- Medical at Mission Point.

- Reckless Driving Complaint on Lahser.
- Citizen Assist at Huntley Square East.
- Medical at Mission Point.
- Traffic Detail Greenfield and Beverly.
- Suspicious Vehicle at Beverly Park.
- Drunk driver was arrested at Evergreen and 13 Mile without incident.
- Beverly Park closed down.
- Alarm at Groves High School.
- Extra Patrol at Beverly School.
- Traffic Enforcement at Beverly and Norchester.
- Traffic Accident Marguerite and Pierce.
- Medical on Southview.
- Suspicious Person at Groves High School.
- Fraud Report on Birwood Street.
- Turkey Complaint at Southfield and 13 Mile.
- Fraud Report on Verona Circle.
- Wires Down on Beverly and Evergreen.
- Odor Investigation on Bellvine Trail.
- Fire Truck Inspections.
- Beverly Parked closed down.
- Radar Detail Churchill and 13 Mile.
- Road Hazard on Lahser.
- Extra Patrol at Beverly School for drop off.
- Alarm on 13 Mile.
- Extra Patrol at Market Fresh Center.
- Medical on Sunset Drive.
- Extra Patrol at Beverly school for pick up.
- Threats Complaint Report at the Station.
- Extra Patrol at T.J.MAXX Center.
- Wires Down on Beverly.
- Assist Southfield with Accident on 13 Mile.
- Crime Prevention at Beverly and Pierce.
- Traffic Accident on 13 Mile and Lahser.
- Officers arrested a subject for Driving While License Suspended at Southfield and 13 Mile Road, without incident.
- Suspicious Circumstance on Woodhaven.
- Extra Patrol at Detroit Country Day.
- Extra Patrol in Huntley Square Apartments.
- Extra Patrol in Acacia Cemetery.
- Extra Patrol in Rutland Subdivision.
- Traffic Offense report on 14 Mile and Southfield.
- Traffic Accident on 14 Mile and Lahser.

- Extra Patrol at Greenfield School drop off.
- Beverly School Crossing Guard Detail
- Vehicle Lockout at Corners Shopping center.
- Alarm on Wendbrook Lane.
- Medical on Rivers Edge Court.
- Wild Turkey Complaint at Books a Million.
- Medical on Southfield Road.
- Extra Patrol at Market Fresh Shopping Center.
- Extra Patrol at Beverly School for pick up.
- Animal Complaint in Huntley Square Apartments.
- Extra Patrol at T.J.MAXX parking lot.
- Wild Turkey Complaint 13 Mile and Southfield.
- Trouble with Customer at KFC.
- Medical on Robinhood.
- Lift Assist on West Rutland.
- Extra Patrol at Groves High School after hours.
- Officers arrested a subject for Driving While License Suspended at 13 Mile and Southfield without incident.
- Radar Detail on Lahser and Hillview.
- Beverly Park closed down.
- Suspicious Vehicle at Beverly Park.
- Suspicious Persons on Southfield Road.
- Extra Patrol at Berkshire School after hours.
- Radar Detail on Southfield Road.
- Welfare Check on Sunnyslope Street.
- Extra Patrol at Apostolic Church after hours.

- **New FEMA Disaster Recovery Center opens in Southfield, will service residents after severe weather events** Robin Murdoch, FOX210.6.21. A new disaster recovery center that will assist residents in Metro Detroit manage the fallout from flooding and extreme weather events will open in Southfield Wednesday. The new center will act as a resource for disaster victims, housing representatives from FEMA, the U.S. Small Business Administration, Michigan State Police, and others who can walk people through assistance programs and answer questions about how to make a home more disaster-resistant. The Oct. 6 opening of the Disaster Recovery Center arrives only

days after the application for getting financial help from the June floods this year was extended. After they were initially rejected for federal assistance after intense rain flooded homes across Southeast Michigan on June 25 and 26, damaged households in Oakland and Macomb counties [were approved](#). The approval opens residents up to the opportunity of securing money for replacing important appliances while offering low-cost loans and grants for temporary housing and home repairs. The same residents also now qualify for federal disaster unemployment benefits. The deadline for applying for aid is Nov. 12. The new FEMA facility in Southfield will be located inside the Parks and Rec facility on 26000 Evergreen Road.

FIRE & EMERGENCY MEDICAL SERVICES.

- 48 Fire/EMS reports reviewed.
- 28 Fire training hours entered into ISO records.
- 32 EMS training hours entered into continuing education records.
- 5 Kitchen Suppression Inspection reports reviewed.
- 11 training courses approved in the SMOKE system.
- Bi-Weekly NFIRS data export uploaded to FEMA.
- Supervise Platoon 3 and 4.
- Attend South Oakland Fire Association meeting.
- Attend OAKWAY/SOFA combined training meeting.
- Attend and Chair Oakland County Training Committee meeting.
- Attend Wednesday Wrap hosted by the State Fire Marshal.
- Attend Oakland County Association of Arson and Fire Investigators quarterly training.
- Attend Michigan Fire Fighters Training Council meeting
- 2 EMS Continuing Education Training audits conducted for re-licensure.
- Submit EQIP Data Reporting Form - 2021 Quarter 3 to the Oakland County Medical Control Authority.

- Complete and submit the Partner Agencies Purchasing Committee FEMA Assistance to Firefighters Grant (AFG) project budget and purchase request.

DETECTIVE ACTIVITY

- 207 calls for service reviewed and closed.
- School Liaison Officers provided a presentation To Greenfield and Beverly Elementary school.
- Dropped off cell phone and search warrant to Oakland County Computer Crimes.
- Sent drunk driver and driving while license suspend to Oakland County Prosecutor for warrants.
- Domestic Violence warrant arraignment at 46 District Court.
- Det/Sgt Baller attended Groves football homecoming dance.
- Basic airway training.
- Chest trauma training.
- Oakland County denied.
- Subpoena obtained for Fraud case.
- Subpoena obtained for ID Theft case.
- Subpoena obtained for Hit and Run accident.
- Traffic conference at the 46 District t court
- Officer wellbeing training.
- Sent stolen car complaint for warrant at Prosecutor office.
- Picked up evidence from Oakland county forensic lab.

The Bureau of Justice Assistance (BJA) is pleased to inform the Public Safety Department of Beverly Hills will receive an award under the fiscal year of (FY) 2021 Patrick Leahy Bulletproof Vest Partnership solicitation. The funds have been posted to our account. More details to follow.



September 25, 2021
DR-4607-MI NR-028
FEMA News Desk: 312-408-4455,
FEMA-R5-news-desk@fema.dhs.gov

News Release

Residents of Macomb and Oakland Counties May Now Be Eligible for FEMA Assistance

CHICAGO – Michigan homeowners and renters in Macomb and Oakland counties, who have disaster-related losses from the severe storms and flooding of June 25-26, 2021, may now apply for federal disaster assistance.

Federal assistance may include grants for temporary lodging and home repairs and other programs to help with uninsured or underinsured necessary expenses and serious, unmet needs that resulted from the disaster.

FEMA offers multiple options to apply:

- **Call 800-621-3362.** If you use a relay service, such as video relay service (VRS), captioned telephone service or others, give FEMA the number for that service. The toll-free numbers are open from 7 a.m. to 11 p.m. ET, seven days a week.
- **Go online to www.DisasterAssistance.gov.**
- **Download the [FEMA App](#).**

If you live in Macomb or Oakland county and have already registered with FEMA since July 15, 2021, **you do not need to apply again**. If you're unsure whether you've submitted an application, call the FEMA Helpline at 800-621-3362 to verify your status.

When you apply for assistance, have the following information readily available:

- A current phone number where you can be contacted;
- Your address at the time of the disaster and the address where you are now staying;
- Your Social Security number;
- A general list of damage and losses, and
- Private insurance information, if available.

Individuals in Washtenaw and Wayne counties can already apply for help if they have uninsured or underinsured losses from the late June disaster. The deadline to apply is October 13, 2021. For more information about Michigan's disaster recovery, visit FEMA's website www.fema.gov/disaster/4607.

###

Disaster recovery assistance is available without regard to race, color, religion, nationality, sex, age, disability, English proficiency, or economic status. Reasonable accommodations, including translation and American Sign Language interpreters via Video Relay Service will be available to ensure effective communication with applicants with limited English proficiency, disabilities, and access and functional needs. If you or someone you know has been discriminated against, call FEMA toll-free at 800-621-3362 (including 711 or Video Relay). If you are deaf, hard of hearing or have a speech disability and use a TTY, call 800-462-7585.

FEMA's mission is helping people before, during, and after disasters.



Oakland County CISMA Recommended Invasive Species Treatment Timing

Whether you treat invasive species on your property or hire a contractor to do treatment, it is important to apply the correct treatment method in the correct time of year. This calendar is a planning tool that provides a general overview of the correct time of year for various treatment types and species. Before selecting a herbicide and treatment type, be sure to review the details as more exact timing is often required based on the selected herbicide. Foliar spray stops at or several weeks before the first frost. This table displays appropriate timing for southeast Michigan.

Species	Treatment	Jan	Feb	March	April	May	June	July	Aug	Sept	Oct	Nov	Dec
Garlic Mustard, Dame's Rocket													
Reed Canary Grass													
Swallow-wort, spp.*													
Knotweeds**													
Asian Bittersweet													
Flowering Rush													
Phragmites													
Purple Loosestrife													
Invasive Shrubs/Vines													

Invasive shrubs/vines include: Glossy and common buckthorn, autumn olive, invasive honeysuckles, multiflora rose, Asian bittersweet, Norway maple, tree of heaven, black alder, Japanese barberry.

If you find **giant hogweed** or **wild parsnip**, DO NOT TOUCH the plants! Send CISMA a photo and we'll help you with treatment. If you have **European frog-bit**, take a photo and contact the CISMA for treatment assistance.

*Optimal **swallow-wort** treatment time is June through early July, before seeds mature.

****Knotweeds include:** Japanese knotweed and giant knotweed. July to mid-August treatment with herbicides **Clearcast** or **Milestone**, later August and September effective with other herbicides.

Recommended Treatment Times

Possible Treatment Times

Non-Recommended Treatment Times



Hand Pull



Foliar Spray



Biocontrol



Cut Stump/Basal Bark

Kristin Rutkowski

From: Comcast Heartland <Comcast_Heartland@comcast.com>
Sent: Friday, October 15, 2021 10:19 AM
Cc: Mazurek, Kyle
Subject: Comcast Programming Advisory

Good morning,

As part of our ongoing commitment to keep you and our customers informed about changes to Xfinity TV services, we wanted to update you that effective November 16, 2021, G4 will be added to Digital Starter and the Entertainment Genre Pack (channel 1413). G4 will feature gaming and pop culture shows plus live special programming.

HD service and IP-capable equipment is required to view the channel. A limited number of customers may still have older devices that do not support these channels and will not be able to view them until the devices are replaced.

Please feel free to contact me at 734-359-2038 if you have any questions.

Sincerely,

Kyle V. Mazurek
Manager of External Affairs
Comcast, Heartland Region
41112 Concept Drive
Plymouth, MI 48170