

Village of Beverly Hills  
Regular Village Council Meeting  
Tuesday, January 16, 2024

Municipal Building  
18500 W. 13 Mile Road  
7:30 p.m.

Zoom link: <https://us02web.zoom.us/j/83322681858>

Meeting ID: 833 2268 1858

Dial in: 1-646-876-9923 (US)

### AGENDA

Roll Call/Call to order

Pledge of Allegiance

Amendments to Agenda/Approve Agenda

Community Announcements

Public Comments on items not on the published agenda

Consent Agenda

1. Review and consider approval of [minutes](#) of a regular Council meeting held January 2, 2024.
2. Review and file [bills](#) recapped as of Tuesday, January 16, 2024.
3. Refer [site plans](#) for 31215 & 31201 Southfield Road to the Planning Commission for review and recommendation.

Business Agenda

1. Review and consider approval of Metro Act [Permit](#) from ExteNet Systems for Beverly Road.
2. Review and consider [proposal](#) for Riverside Bridge Repairs.
3. Review and consider [amendment](#) to the Building Department Fee Schedule.
4. Review and consider publishing [Request for Proposals](#) for Legal Services.
5. Review and consider updating membership on the [Sign Subcommittee](#).
6. Receive and file Cash and Investment [Summary](#) and Revenue and Expenditure [Report](#) ending December 31, 2023.

Public Comments

Manager's [report](#)

Council comments

Adjournment

This will be a hybrid meeting held in person in the Village Council Chambers with a remote participation option available via Zoom due to the COVID-19 pandemic.

The Village of Beverly Hills will provide necessary reasonable auxiliary aids and services, such as signers for the hearing impaired and audiotapes of printed materials being considered at the meeting, to individuals with disabilities attending the meeting upon three working days' notice to the Village. Individuals with disabilities requiring auxiliary aids or services should contact the Village by writing or phone, 18500 W. Thirteen Mile Beverly Hills, MI 48025 (248) 646-6404.

## REGULAR COUNCIL MEETING MINUTES – JANUARY 2, 2024 – PAGE 1

Present: President George; President Pro-Tem Hrydziusko; Members: Abboud, Drummond, Kecskemeti, and Mooney

Absent: O’Gorman

Also Present: Village Manager, Campbell  
Village Clerk/Assistant Manager, Rutkowski  
Village Attorney, Ryan  
Public Safety Director, Torongeau

**ROLL CALL/CALL TO ORDER/PLEDGE OF ALLEGIANCE**

President George called the regular Village Council meeting to order at 7:30 p.m. in the Village Council Chambers located at 18500 W. Thirteen Mile Road, Beverly Hills, MI 48025. The Pledge of Allegiance was recited by those in attendance.

**AMENDMENTS TO AGENDA/APPROVE AGENDA**

Motion by Mooney, second by Abboud, to approve the agenda as published.

Motion passed.

**COMMUNITY ANNOUNCEMENTS**

None.

**PUBLIC COMMENTS**

None.

**CONSENT AGENDA**

Motion by Mooney, second by Hrydziusko, be it resolved, the consent agenda is approved.

1. Review and consider approval of minutes of a regular Council meeting held December 19, 2023.
2. Review and file bills recapped as of Tuesday, January 2, 2024.

Roll Call Vote:

Motion passed (6-0)

**BUSINESS AGENDA****REVIEW AND CONSIDER APPROVAL OF METRO ACT PERMIT FROM EXTENET SYSTEMS FOR SOUTHFIELD ROAD**

Campbell provided an overview. The Village of Beverly Hills is in receipt of a Metro Act Permit Application from ExteNet Systems. The application is to place a small cell wireless device on an existing utility pole in the right of way just north of Independent Bank. The address with the application is 32800 Southfield Road, Beverly Hills, MI 48025. This Permit anticipates the addition of a short antenna, two radio, associated electrical components and a mounting bracket. The device shall be placed on an existing DTE pole in the Village. This application is for access and ongoing use of public ways as regulated by the Telecommunications Providers under Metropolitan Extension Telecommunications right-of-way oversight ACT 202 PA 48, MCLA sections 484.3101 to 484.3120. (Metro Act) and the Small Wireless Communications Facilities Deployment Act, MCLA Sections 460.1301 to 460.1339.

The Village Attorney has reviewed the application and found it to be in order. The \$500 application fee has been submitted. Administration recommended approval of the Metro Act Permit.

Motion by Hrydziuszko, second by Mooney, be it resolved, the Beverly Hills Village Council approves the Metro Act Permit Application submitted by ExteNet Systems, LLC dated December 6, 2023 and authorizes the Village Manager to sign the Right-of-Way Telecommunications Permit.

Roll Call Vote:  
Motion passed (6-0)

### **REVIEW AND CONSIDER APPROVAL OF METRO ACT PERMIT FROM EXTENET SYSTEMS FOR BEVERLY ROAD**

Campbell gave an overview. There was a discrepancy between the application and plans submitted, so Administration has asked the applicant for supplemental information. Administration recommends tabling the item until the next meeting to give the applicant an opportunity to respond. Under the statute, the Village has to render a decision on or about January 20, 2024.

Motion by Mooney, second by Hrydziuszko, the Village of Beverly Hills Council tables the Metro Act Permit Application from ExteNet Systems for Beverly Road until a time that the Administration sees fit.

Motion passed.

### **PUBLIC COMMENTS**

None.

### **MANAGER'S REPORT**

Christmas Tree Chipping - Comeau will be chipping Christmas trees the weeks of January 2 and January 8, 2024. Please remove all decorations and plastic bags and place trees at the curb to be chipped. If residents fail to put their Christmas trees out by the week of January 8, 2024, the Village will allow you to drop your tree off at Village Hall until January 27, 2024. Residents will be able drop their trees off in a designated and signed area in the Village Hall parking lot.

Joint Council/Parks & Recreation Board Meeting - The joint Council/Parks & Recreation Board meeting will be held on Thursday, January 18, 2024 at 7:30 p.m. in the Village Council Chambers.

Offices Closed - Village Offices will be closed on Monday, January 15, 2024 in observance of Martin Luther King, Jr. Day. Trash collection will not be interrupted.

Municode Update - On December 22, 2023, the attorney from Municode sent final proofs of an updated code for review by the Village Attorney and Village Administration. Municode is the company the Village retained for recodification services, including setting up the hosting for the Village code online. Over the next month, the Administration and Village Attorney will review the proofs provided to the Village and make final comments prior to presenting amended code provisions to Council for review and consideration. It is anticipated the Municode process shall be completed and accessible by April of this year.

Opioid Settlement – Additional “Special Circumstances” funding through the National Opioid Settlement has been awarded to the Village of Beverly Hills. The Village intends to use the funding to purchase another LUCAS device and additional AEDs for the Public Safety Department.

Best Places to Live – Beverly Hills was recently named the 3<sup>rd</sup> Best Place to Live in the Detroit Area by Niche. Thank you to the residents, Council, and Administration for making Beverly Hills a great place to live.

### **COUNCIL COMMENTS**

Abboud commented on Connected Automated Vehicles (CAV) and new corridors proposed in Wayne and Washtenaw Counties. He said that Next is hosting Birmingham’s Night Out fundraiser on April 4, 2024. He reminded everyone that the annual strategy session will be held on January 20, 2024 at 9:00 a.m.

Mooney said that the Village Woman’s Club of Beverly Hills provides senior citizens funding for Knox boxes in collaboration with the Public Safety Department. He said that the Woman’s Club also provides Valentine’s Day packages for seniors in the community who live alone. He encouraged residents to reach out to Janet Mooney at jmooney1214@gmail.com or call the Village Office if they know a senior who may benefit from receiving a Valentine’s Day care package.

Hrydziusko wished everyone a Happy New Year.

George said Happy New Year and reminded everyone that the Joint Parks & Recreation/Council meeting will be held on January 18<sup>th</sup> and the Council strategy session will be held on January 20<sup>th</sup>.

### **ADJOURNMENT**

Motion by Mooney, second by Hrydziusko, to adjourn the meeting at 7:47 p.m.

Motion passed.

**John George**  
**Council President**

**Kristin Rutkowski**  
**Village Clerk**





TO PRESIDENT GEORGE & MEMBERS OF THE VILLAGE COUNCIL. THE FOLLOWING IS A LIST OF EXPENDITURES FOR APPROVAL. ACCOUNTS PAYABLE RUN FROM 01/03/2023 THROUGH 01/16/2024.

ACCOUNT TOTALS:

101	GENERAL FUND	\$99,066.04
202	MAJOR ROAD FUND	\$26,012.54
203	LOCAL STREET FUND	\$23,172.34
205	PUBLIC SAFETY DEPARTMENT FUND	\$67,466.96
592	WATER/SEWER OPERATION FUND	\$278,520.25
701	TRUST & AGENCY FUND	\$371.29
	TOTAL	<u>\$494,609.42</u>
	MANUAL CHECKS- COMERICA	\$0.00
	MANUAL CHECKS- INDEPENDENT	\$0.00
	ACCOUNTS PAYABLE	<u>\$494,609.42</u>
	GRAND TOTAL	<u>\$494,609.42</u>

01/12/2024 08:55 AM  
User: JAY  
DB: Beverly Hills

CHECK REGISTER FOR VILLAGE OF BEVERLY HILLS  
CHECK DATE FROM 01/03/2024 - 01/16/2024

Page: 1/1

Check Date	Bank	Check	Vendor Name	Invoice Vendor	Amount
Bank COM COMERICA					
01/16/2024	COM	88145	44TH DISTRICT COURT	44TH DISTRICT COURT	750.00
01/16/2024	COM	88146	AMAZON CAPITAL SERVICES	AMAZON CAPITAL SERVICES	139.45
01/16/2024	COM	88147	BADGER METER INC	BADGER METER INC	577.36
01/16/2024	COM	88148	BARBARA TANNEY	BARBARA TANNEY	354.52
01/16/2024	COM	88149	BELFOR PROPERTY RESTORATION	BELFOR PROPERTY RESTORATION	1,000.00
01/16/2024	COM	88150	BELLE TIRE	BELLE TIRE	2,039.90
01/16/2024	COM	88151	BOB ADAMS TOWING	BOB ADAMS TOWING	280.00
01/16/2024	COM	88152	CINTAS CORPORATION #31	CINTAS CORPORATION #31	139.55
01/16/2024	COM	88153	COLMAN-WOLF SANITARY	COLMAN-WOLF SANITARY	439.46
01/16/2024	COM	88154	COMCAST	COMCAST	238.00
01/16/2024	COM	88155	COMEAU EQUIPMENT CO INC.	COMEAU EQUIPMENT CO INC.	19,249.27
01/16/2024	COM	88156	CTS-COMPANIES	CTS-COMPANIES	457.75
01/16/2024	COM	88157	D'ANGELO BROTHERS	D'ANGELO BROTHERS	3,281.72
01/16/2024	COM	88158	DIMAMBRO CONSTRUCTION	DIMAMBRO CONSTRUCTION	3,000.00
01/16/2024	COM	88159	DTE ENERGY	DTE ENERGY	6,872.44
01/16/2024	COM	88160	FOUNDATION SYSTEMS OF MICHIGAN	FOUNDATION SYSTEMS OF MICHIGAN	300.00
01/16/2024	COM	88161	GREAT AMERICA FINANCIAL SVC	GREAT AMERICA FINANCIAL SVC	600.00
01/16/2024	COM	88162	HANSONS WINDOWS	HANSONS WINDOWS	600.00
01/16/2024	COM	88163	HIGH TECH RECYCLING	HIGH TECH RECYCLING	150.00
01/16/2024	COM	88164	HURON VALLEY GUNS	HURON VALLEY GUNS	430.49
01/16/2024	COM	88165	HYDROCORP	HYDROCORP	346.00
01/16/2024	COM	88166	INDIANA PRINTING & PUBLISHING	INDIANA PRINTING & PUBLISHING	5,856.99
01/16/2024	COM	88167	JANICE MORSE DESIGNS UNLIMITED	JANICE MORSE DESIGNS UNLIMITED	500.00
01/16/2024	COM	88168	JOSEPH DONNELLY	JOSEPH DONNELLY	115.00
01/16/2024	COM	88169	KEATON PUBLICATION GROUP LIKEATON	KEATON PUBLICATION GROUP LIKEATON	1,000.00
01/16/2024	COM	88170	KELLETT BUILDERS INC	KELLETT BUILDERS INC	700.00
01/16/2024	COM	88171	KRISTIN RUTKOWSKI	KRISTIN RUTKOWSKI	102.97
01/16/2024	COM	88172	LEXISNEXIS RISK SOLUTIONS	LEXISNEXIS RISK SOLUTIONS	200.00
01/16/2024	COM	88173	MARGARET A.S. BEKE	MARGARET A.S. BEKE	181.30
01/16/2024	COM	88174	MICHIGAN MUNICIPAL RISK	MICHIGAN MUNICIPAL RISK	47,126.75
01/16/2024	COM	88175	MICHIGAN MUNICIPAL RISK	MICHIGAN MUNICIPAL RISK	150.00
01/16/2024	COM	88176	MICHIGAN MUNICIPAL RISK	MICHIGAN MUNICIPAL RISK	300.00
01/16/2024	COM	88177	MIKE SAVOIE CHEVROLET	MIKE SAVOIE CHEVROLET	2,168.58
01/16/2024	COM	88178	MUNIWEB	MUNIWEB	189.99
01/16/2024	COM	88179	NATIONAL ASSOC. OF CHIEFS OF POLICE	NATIONAL ASSOC. OF CHIEFS OF POLICE	60.00
01/16/2024	COM	88180	NEXT	NEXT	750.00
01/16/2024	COM	88181	O'REILLY AUTO PARTS	O'REILLY AUTO PARTS	131.99
01/16/2024	COM	88182	OAKLAND COUNTY CLERKS ASSOCIATION	OAKLAND COUNTY CLERKS ASSOCIATION	35.00
01/16/2024	COM	88183	OAKLAND COUNTY TREASURER'S OFFICE	OAKLAND COUNTY TREASURER'S OFFICE	222,304.91
01/16/2024	COM	88184	OFFICE EXPRESS	OFFICE EXPRESS	492.99
01/16/2024	COM	88185	PELLA WINDOWS & DOORS INC	PELLA WINDOWS & DOORS INC	300.00
01/16/2024	COM	88186	PRESSURE VESSEL TESTING	PRESSURE VESSEL TESTING	200.00
01/16/2024	COM	88187	RENEWAL BY ANDERSEN	RENEWAL BY ANDERSEN	900.00
01/16/2024	COM	88188	ROAD COMMISSION FOR OAKLAND	ROAD COMMISSION FOR OAKLAND	32,920.53
01/16/2024	COM	88189	S.O.C.R.R.A.	S.O.C.R.R.A.	38,538.00
01/16/2024	COM	88190	S.O.C.W.A.	S.O.C.W.A.	48,245.67
01/16/2024	COM	88191	SAFE BUILT INC.	SAFE BUILT INC.	16,238.92
01/16/2024	COM	88192	SOUTHFIELD POSTAL SERVICE	SOUTHFIELD POSTAL SERVICE	570.45
01/16/2024	COM	88193	STRYKER SALES CORP	STRYKER SALES CORP	11,720.00
01/16/2024	COM	88194	SUNSET MAINTENANCE SERVICE	SUNSET MAINTENANCE SERVICE	1,200.00
01/16/2024	COM	88195	THOMAS J RYAN PC.	THOMAS J RYAN PC.	8,343.75
01/16/2024	COM	88196	TRANSPORTATION IMPROVEMENT	TRANSPORTATION IMPROVEMENT	4,481.00
01/16/2024	COM	88197	WEX BANK	WEX BANK	4,357.70
01/16/2024	COM	88198	WOW! BUSINESS	WOW! BUSINESS	1,481.02
01/16/2024	COM	88199	ZYSKOWSKI, PHILLIP A	ZYSKOWSKI, PHILLIP A	1,500.00

COM TOTALS:

Total of 55 Checks:	494,609.42
Less 0 Void Checks:	0.00
Total of 55 Disbursements:	494,609.42



**To: Jeffery Campbell, Village Manager**

**From: Mark Stec, Planning & Zoning Administrator**

**Date: 1/10/24**

**RE: PC Case 24-01-01\_Site Plan Reivew\_31215 & 31201 Southfield Road**

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The Planning Office has received the attached revised site plans for improvements to the building and exterior site amenities to the shopping complex located to the north of Market Fresh and the pharmacy building at the northwest corner of 13 Mile and Southfield Road. These plans are being provided to you for consideration of referral to the Planning Commission for review and recommendation to council. The applicant is John Karmo of Market Fresh Properties, LLC, who also owns the Market Fresh and pharmacy buildings.

The plans for the site were previously approved by the village council at its July 5, 2023, meeting. The owner/applicant is now proposing the following revisions to the plans:

1. In the 7/5/23 approved plans, the addition to the northern end of the building was indicated to be for two retail tenants for a combined total new floor area of 3,634 square feet. The proposed revised plans now show the addition being combined into a single 3,594 square foot addition for a new restaurant tenant.
2. The exterior materials for the front façade of the addition have been revised to be a lighter tone brick and the canopy has been lowered.
3. The northern side façade of the addition has been revised to partially include the same lighter tone brick proposed for the front façade. Additional windows and a man door are also proposed to be included on the northern façade.

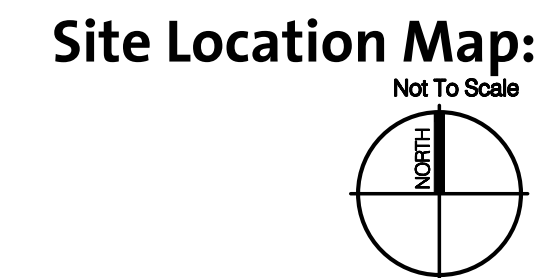
**Action Requested:**

Refer PC Case 24-01-01 Site Plan Review submitted by John Karmo of Market Square Properties, LLC for site improvements to the property located at 31215 & 31201 Southfield Road to the Planning Commission for review and recommendation to the Village Council.

**Attachments:**

- **Application**
- **1/10/24 Revised Site Plans**

A  
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B  
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C  
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D  
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E  
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G  
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H



## COVER SHEET





A

B

C

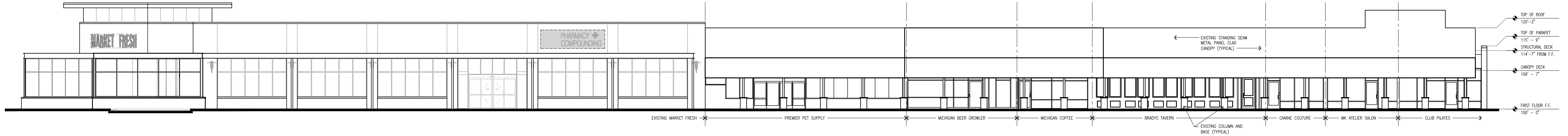
D

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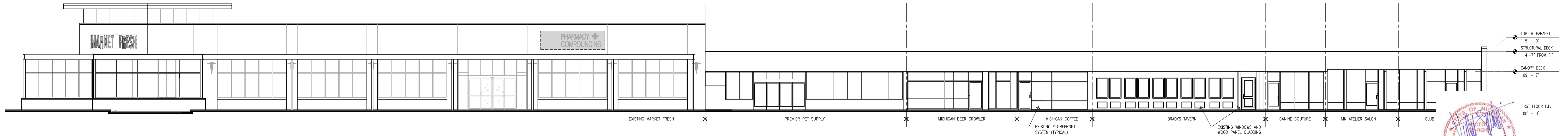
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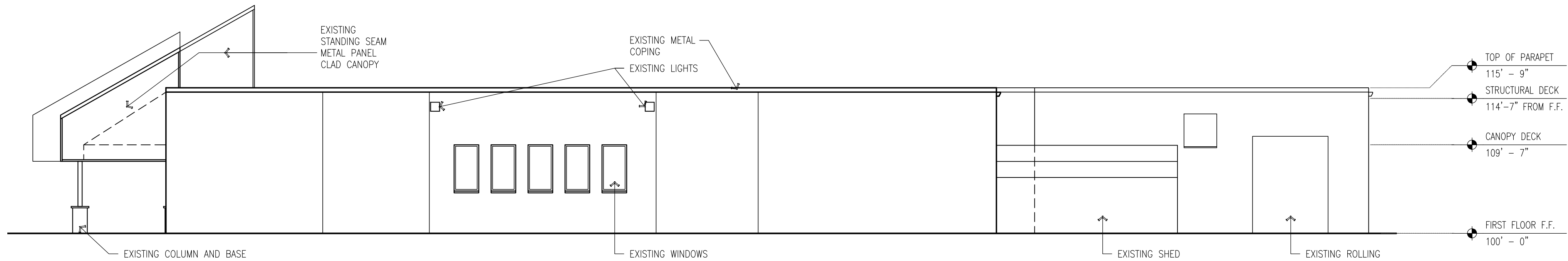
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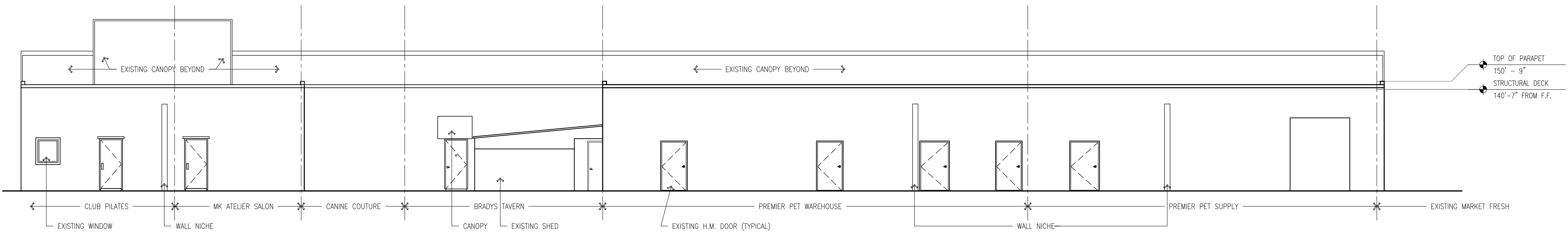
C6 Existing East Elevation  
SCALE: Not to Scale



E6 Existing East Elevation - No Canopy Shown  
SCALE: Not to Scale



F6 Existing North Elevation  
SCALE: 1/8" = 1'-0"



H6 Existing West Elevation  
SCALE: 1/8" = 1'-0"



**SAROKI**  
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BIRMINGHAM, MI 48009  
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**Project:**  
Market Fresh Shopping  
Center  
31225 Southfield Road,  
Beverly Hills, MI 48025

**Date:**      **Issued For:**  
2023-03-10    SITE PLAN APPROVAL  
2023-05-05    SITE PLAN APPROVAL  
2023-06-14    SITE PLAN APPROVAL  
2024-01-10    SITE PLAN APPROVAL

**Sheet No.:**  
**XA200**  
EXISTING ELEVATIONS



<b>*GENERAL NOTES*</b>	1. IF BUILDING ILLUMINATION IS PROVIDED, IT SHALL BE MOUNTED TO PROPOSED LIGHT POLES, ON A SEPARATE TIMER TO REGULATE THE HOURS OF ILLUMINATION. 2. PLANS WILL COMPLY WITH ALL ENGINEERING DEPARTMENT REQUIREMENTS.
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<b>PARKING REQUIREMENTS</b>	
RETAIL < 25,000 sq. ft. = One parking space for each 250 sq. ft. of usable retail floor area	
<b>EXISTING PARKING SPACES</b>	<b>112</b>
<b>REQUIRED PARKING SPACES</b>	<b>69</b>

EXISTING MARKET FRESH AREA:	24,367 G.S.F.
EXISTING SHOPPING CENTER AREA:	19,985 G.S.F.
<u>TOTAL AREA:</u>	<u>44,352 G.S.F.</u>
44,352 X 10% = 4,435 S.F. MAXIMUM AREA FOR ADDITION/RENOVS.	

[illegible]

### PARKING REQUIREMENTS

STORE NAME	LAND USE CATEGORY	TOTAL AREA (S.F.)	USABLE FLOOR AREA (70%)	REQUIRED PARKING SPACES
PREMIER PET SUPPLY	RETAIL <25,000 S.F.	10365	7256	29
MICHIGAN BEER	RETAIL <25,000 S.F.	1320	924	4
BROWN DOG CREAMERY	RETAIL <25,000 S.F.	1002	702	3
CANINE COUTURE	VETERINARY REL.	608	426	2
MIK ATELIER	BEAUTY PARLOR	1657	1160	4
CLUB PILATES	AEROBICS CLUB	1967	1377	7
BRADY'S TAVERN	RESTAURANT	3522	2465	25
SUPINO PIZZERIA	RESTAURANT	3594	2516	26
			TOTAL REQUIRED PARK. SPACES	100

MARKET FRESH + SHOPPING CENTER REQUIRED PARKING SPACES	100 + 69 = 169
MARKET FRESH + SHOPPING CENTER PROPOSED PARKING SPACES	54 + 112 = 166

TOTAL BARRIER FREE PARKING SPACES REQUIRED	4
BARRIER FREE PARKING SPACES PROVIDED	3
VAN ACCESSIBLE BARRIER FREE PARKING SPACES PROV.	1
<b>TOTAL BARRIER FREE PARKING SPACES PROVIDED</b>	<b>4</b>



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Market Fresh Shopping  
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**2023-05-05 SITE PLAN APPROVAL**

2023-06-14 SITE PLAN APPROVAL

2024-01-10 SITE PLAN APPROVAL

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Sheet No.:

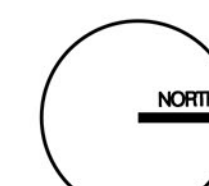
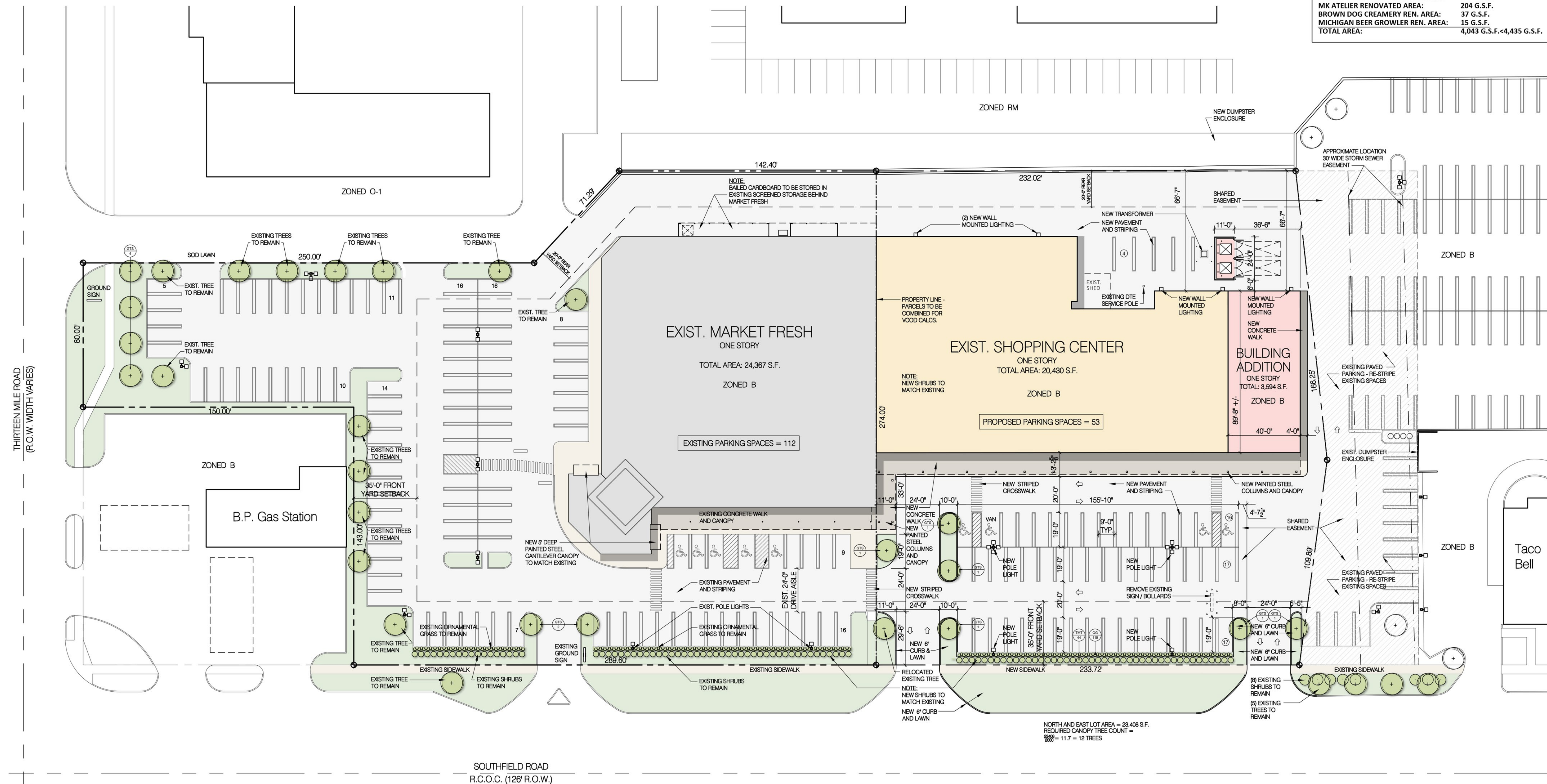
A050

A050

1000

ARCHITECTURAL

## SITE PLAN

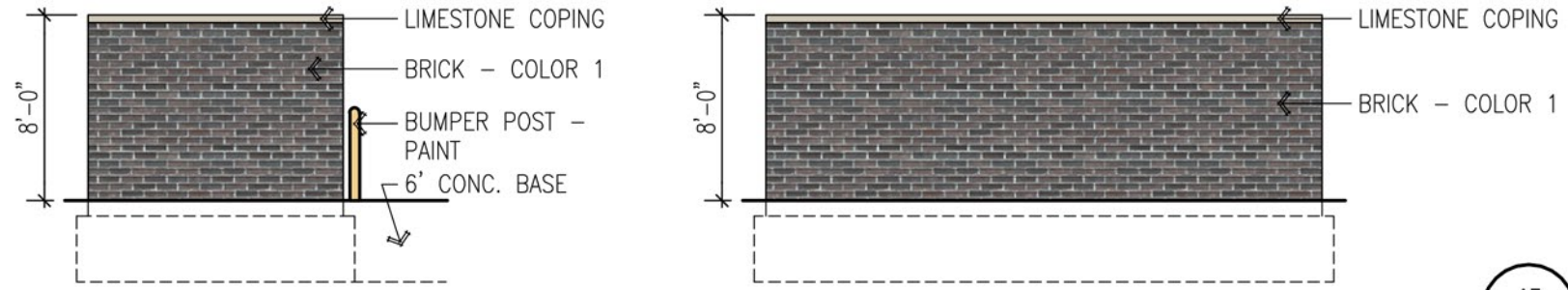
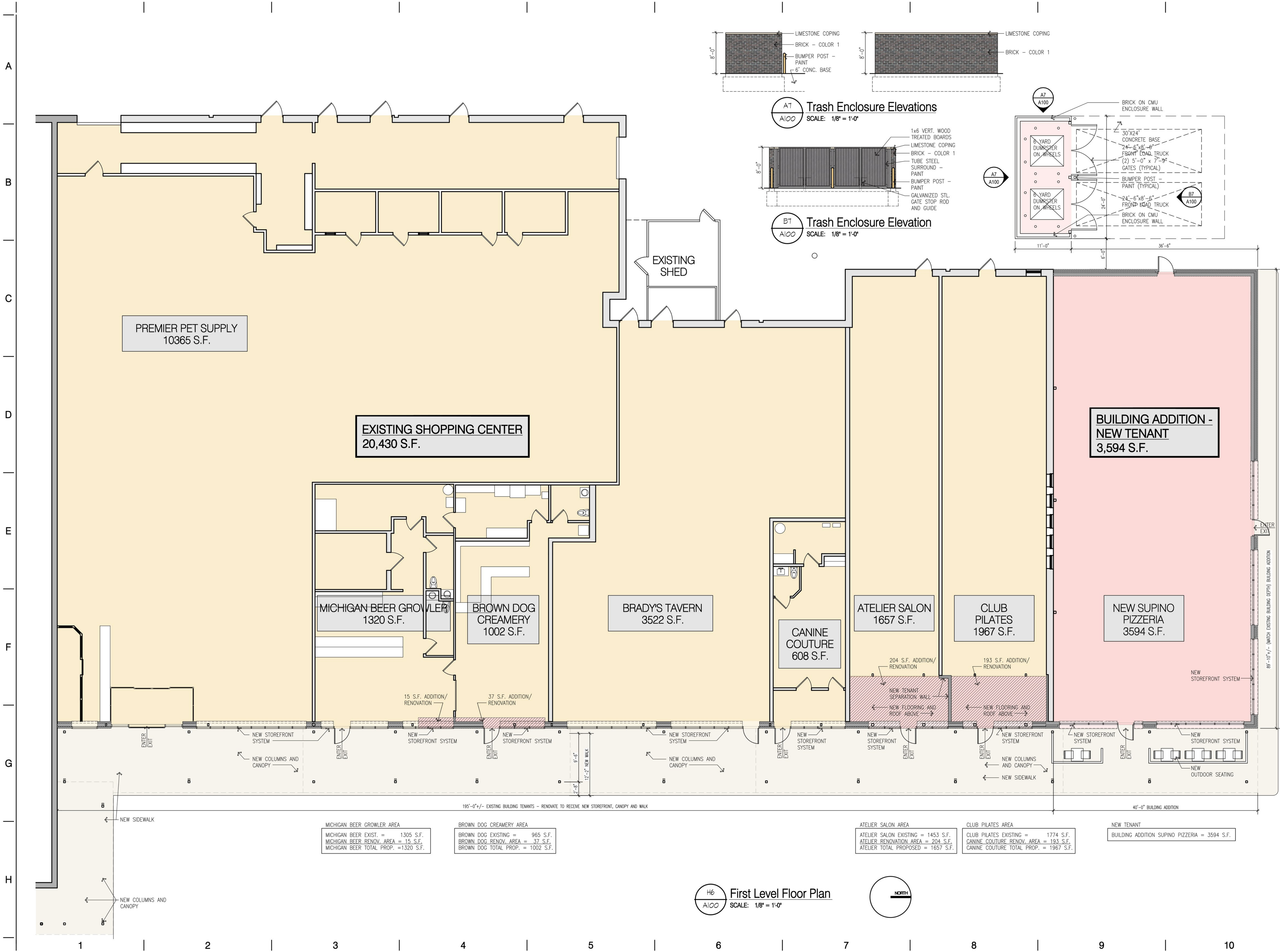


Sheet No.:

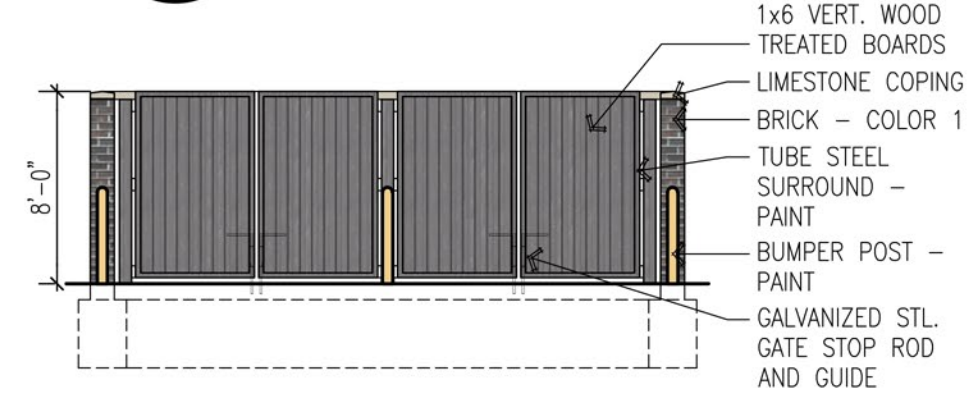
A050

ARCHITECTURAL  
SITE PLAN

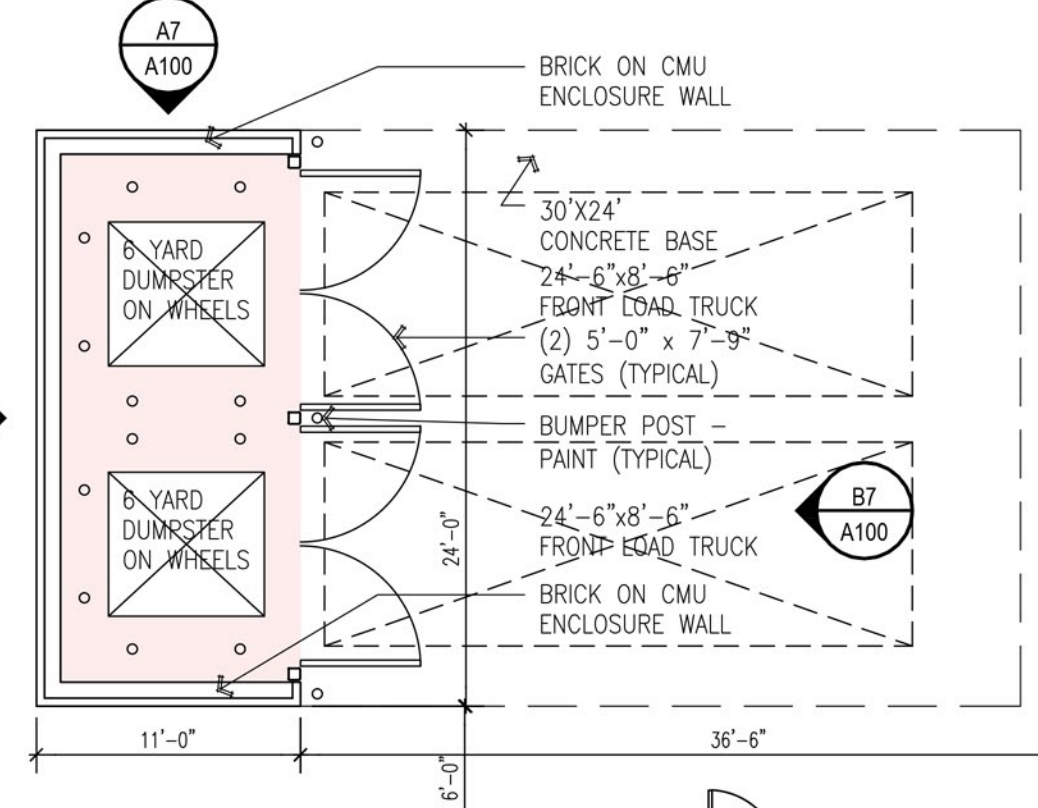




A7 Trash Enclosure Elevations  
SCALE: 1/8" = 1'-0"



B7 Trash Enclosure Elevation  
SCALE: 1/8" = 1'-0"



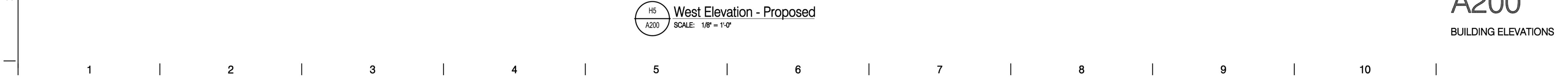
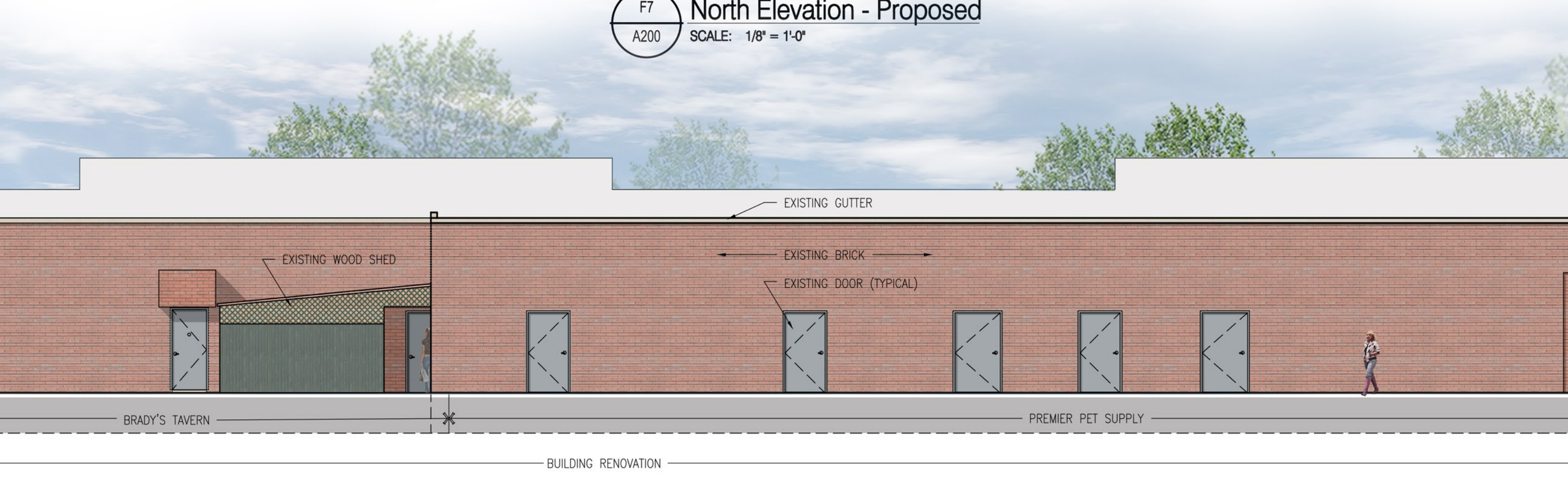
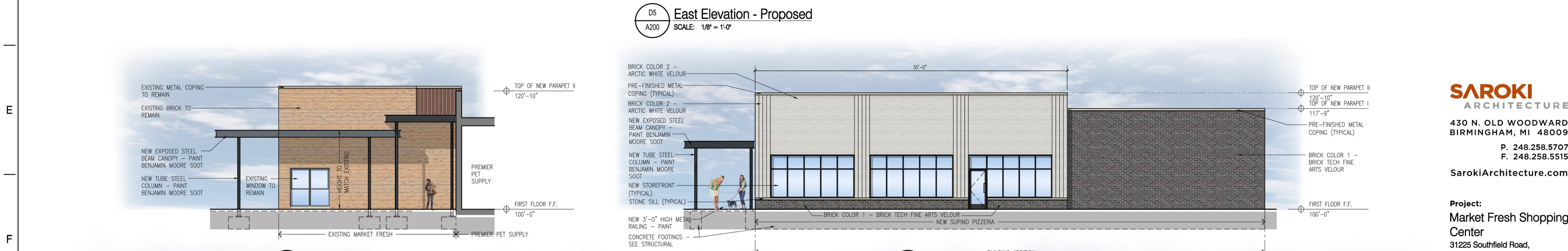
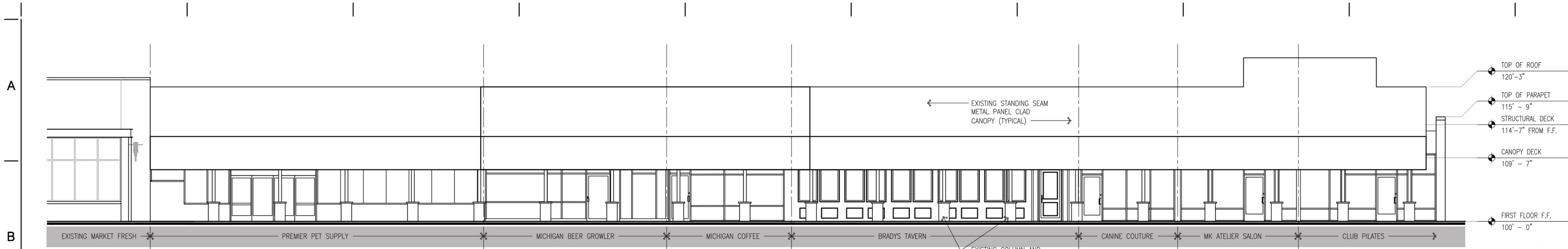
**SAROKI**  
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Beverly Hills, MI 48025

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2023-05-05 SITE PLAN APPROVAL  
2023-06-14 SITE PLAN APPROVAL  
2024-01-10 SITE PLAN APPROVAL

**Sheet No.:**  
**A100**  
FIRST LEVEL FLOOR PLAN





**SAROKI**  
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2023-06-14    SITE PLAN APPROVAL  
2024-01-10    SITE PLAN APPROVAL

**Sheet No.:**  
**A200**  
BUILDING ELEVATIONS



**B**

C

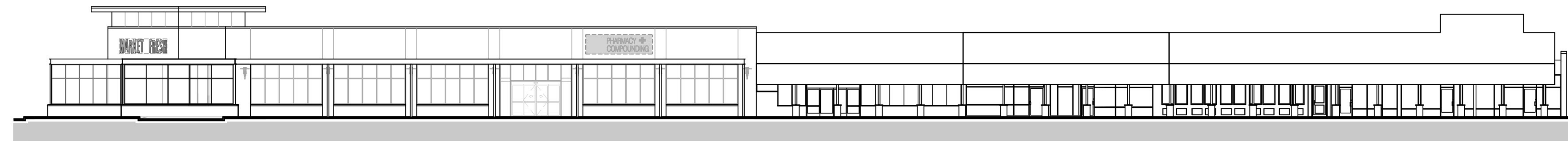
D

E

F

G

H



SarokiArchitecture.com

**Date:**            **Issued For:**

2023-03-10 SITE PLAN APPROVAL

2023-05-05 SITE PLAN APPROVAL

2023-06-14 SITE PLAN APPROVAL

2024-01-10 SITE PLAN APPROVAL



Sheet No.:

### ELEVATIONS COMPARISON



1	2	3	4	5	6	7	8	9	10
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B

C

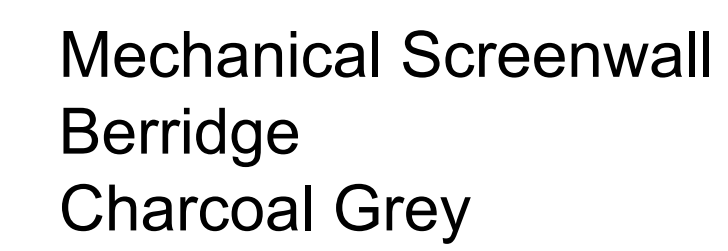
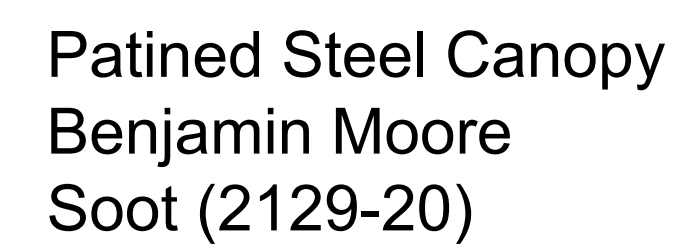
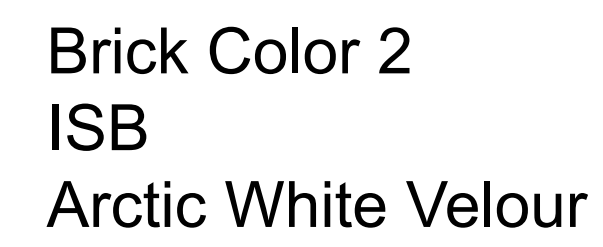
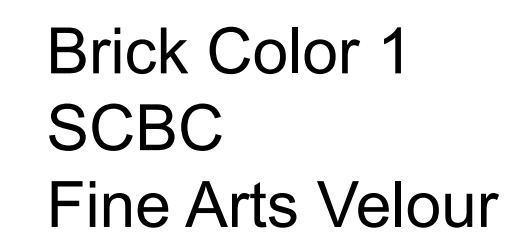
D

E

**F**

G

H





Statistics						
Description	Symbol	Avg	Max	Min	Avg/Min	Max/Min
Grade @0'	+	0.7 fc	9.0 fc	0.0 fc	N/A	N/A
North Property Line	+	0.1 fc	0.1 fc	0.0 fc	N/A	N/A
Parking Lot	X	1.8 fc	7.4 fc	0.1 fc	18.0:1	74.0:1

Schedule								
Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lumens Per Lamp	Light Loss Factor	Wattage
	A	2	Lithonia Lighting	DSX0 LED P2 40K 80CRI T4M	D-Series Size 0 Area Luminaire P2 Performance Package 4000K CCT 80 CRI Type 4 Medium	5755	0.9	135.42
	B	2	Lithonia Lighting	DSX0 LED P4 40K 80CRI BLC3	D-Series Size 0 Area Luminaire P4 Performance Package 4000K CCT 80 CRI Type 3 Extreme Backlight Control	7428	0.9	93.04
	C	3	Lithonia Lighting	DSXW1 LED 20C 700 40K TFTM MVOLT	DSXW1 LED WITH (2) 10 LED LIGHT ENGINES, TYPE TFTM OPTIC, 4000K, @ 700mA.	5554	0.9	45.7
	D	2	Lithonia Lighting	DSXW1 LED 20C 700 40K T2M MVOLT	DSXW1 LED WITH (2) 10 LED LIGHT ENGINES, TYPE T2M OPTIC, 4000K, @ 700mA.	5309	0.9	45.7
	E	14	Gotham Architectural Lighting	EVO6PC 35/07 AR MD LSS	EVO 6IN ROUND CYLINDER, PENDANT STEM, 80 CRI, 3500K, 750LM, MED DIST, CLEAR, SEMI-SPEC	759	0.9	8.2

- General Note**
- SEE DRAWING FOR LUMINAIRE MOUNTING HEIGHT.
  - CALCULATIONS ARE SHOWN IN FOOTCANDLES AT: 0' - 0"
  - LIGHTING ALTERNATES REQUIRE NEW PHOTOMETRIC CALCULATION AND RESUBMISSION TO CITY FOR APPROVAL.

THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING / FUTURE FIELD CONDITIONS. THIS LIGHTING LAYOUT REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS. MOUNTING HEIGHTS INDICATED ARE FROM GRADE AND/OR FLOOR UP.

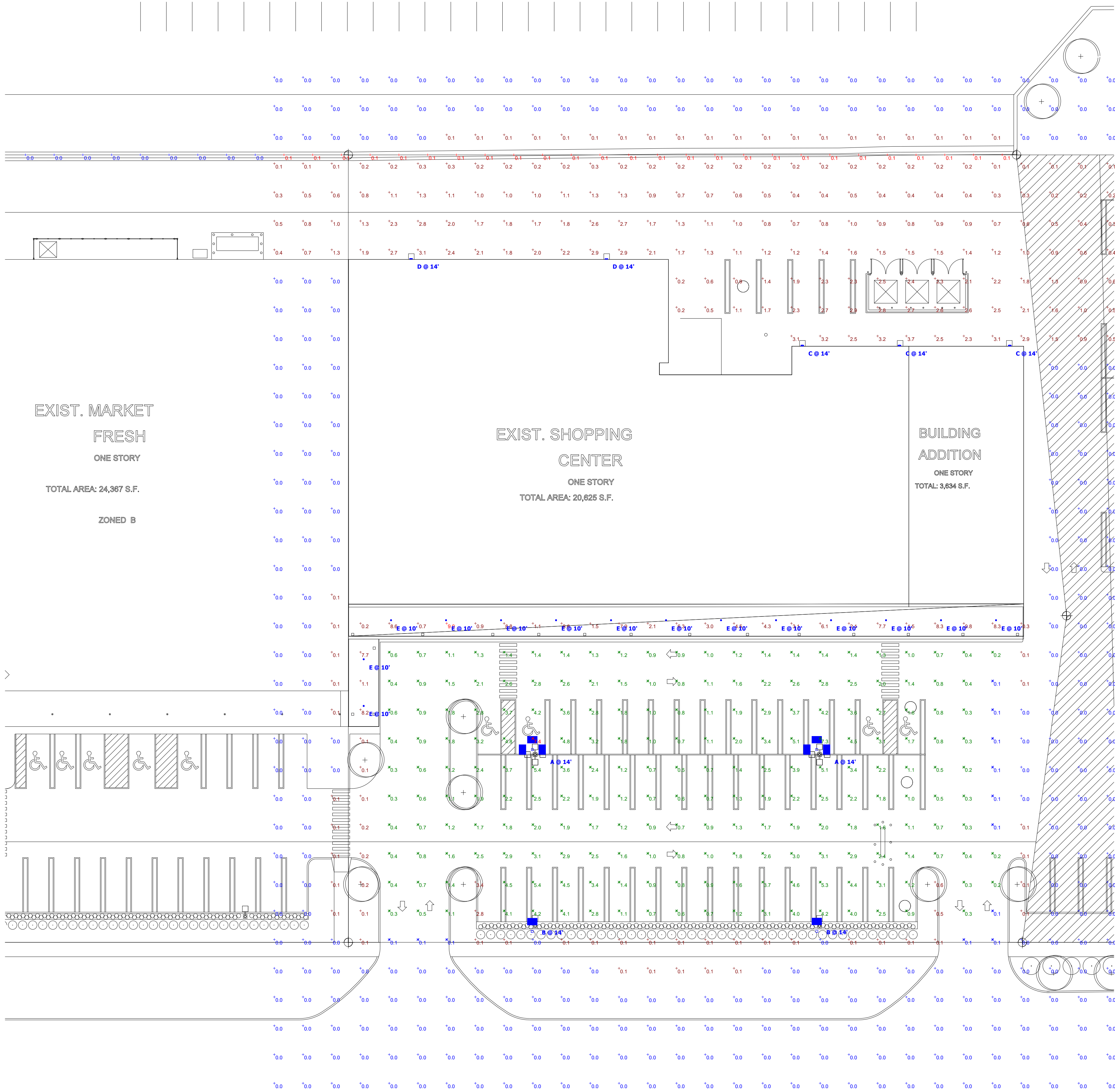
THESE LIGHTING CALCULATIONS ARE NOT A SUBSTITUTE FOR INDEPENDENT ENGINEERING ANALYSIS OF LIGHTING SYSTEM SUITABILITY AND SAFETY. THE ENGINEER AND/OR ARCHITECT IS RESPONSIBLE TO REVIEW FOR MICHIGAN ENERGY CODE AND LIGHTING QUALITY COMPLIANCE.

UNLESS EXEMPT, PROJECT MUST COMPLY WITH LIGHTING CONTROLS REQUIRMENTS DEFINED IN ASHRAE 90.1 2013. FOR SPECIFIC INFORMATION CONTACT GBA CONTROLS GROUP AT ASG@GASSERBUSH.COM OR 734-266-6705.

FOR ORDERING INQUIRIES CONTACT GASSER BUSH AT QUOTES@GASSERBUSH.COM OR 734-266-6705.

THIS DRAWING WAS GENERATED FROM AN ELECTRONIC IMAGE FOR ESTIMATION PURPOSE ONLY. LAYOUT TO BE VERIFIED IN FIELD BY OTHERS.

MOUNTING HEIGHT IS MEASURED FROM GRADE TO FACE OF FIXTURE. POLE HEIGHT SHOULD BE CALCULATED AS THE MOUNTING HEIGHT LESS BASE HEIGHT.



Plan View

Scale - 1" = 20ft



MARKET FRESH SHOPPING CENTER  
PHOTOMETRIC PLAN  
PREPARED FOR: SAKOKI ARCH.  
GASSER BUSH ASSOCIATES  
WWW.GASSERBUSH.COM



**To: Honorable President George and Village Council**

**From: Jeff Campbell, Village Manager**

**Date: 1/12/24**

**RE: Metro Act Permit Application for 18906 Beverly Road**

---

At the last meeting, at the Administration's recommendation, the Council tabled the Metro Act permit for a small cell node at 18906 Beverly Road because there were discrepancies between the application and the plan. The applicant has submitted a revised memorandum and plan. Please be advised that on the revised plan, the load center is attached to the pole. All apparatuses are attached to pole. Based on the revised plan and application, the Administration recommends approving the Metro Act permit for Extenet for the small node device to be placed on the existing pole at 18906 Beverly Road. The applicable documents are attached for your review.

#### **SUGGESTED RESOLUTION**

Be it resolved, the Beverly Hills Village Council approves the Metro Act Permit Application submitted by ExteNet Systems, LLC dated December 6, 2023, for the small cell node at 18906 Beverly Road and authorizes the Village Manager to issue the Right-of-Way Telecommunications Permit.

**Law Office of Thomas J. Ryan, P.C.**  
**2055 Orchard Lake Road, Sylvan Lake, MI 48320**  
**(248)334-9938**

**To:** Kristin Rutkowski, Village Clerk, Jeff Campbell, Village Manager & Members of Council  
**From:** Thomas J. Ryan, Village Attorney  
**Date:** December 6, 2023  
**Re:** Metro Act Permit Application

---

Dear Ms. Rutkowski, Mr. Campbell and Village Council:

On December 6, 2023, Clerk Rutkowski received a Metro Permit application from ExteNet Systems, LCC. The application is to place a small cell wireless device on an existing utility pole in the right of way on the north side of Beverly Road, just east of Mayfair Lane. The address with the application is 18906 Beverly Road Road, Beverly Hills, MI 48025. This Permit anticipates the addition of a short antenna, two radio, associated electrical components and a mounting bracket. The device will be installed on an existing AT&T pole in the Village. This application is for access and ongoing use of public ways as regulated by the Telecommunications Providers under Metropolitan Extension Telecommunications right-of-way oversight ACT 202 PA 48, MCLA sections 484.3101 to 484.3120. (Metro Act) and the Small Wireless Communications Facilities Deployment Act, MCLA Sections 460.1301 to 460.1339.

I have reviewed the Application and the application is complete. The Five Hundred (\$500.00) Dollar application fee as required by the statute has been provided as well as the Certificate of Insurance naming the Village on the insurance policy. The applicant provided construction drawings with its application. The drawing shows the location of the pole and the location of the small cell device components on the pole. The permit is valid for an initial period of 15 years. The permit may be revoked for six months of inactivity on the part of the permittee, upon notice from the permittee, and a default of the application by either party that is not cured within 60 days.

Under the Metro Act, the Village has 45 days to either approve or deny the request and I find the Application and attachments are in order and would recommend approval by Village Council. Under the statute the Village has to render a decision on or about January 20, 2024.

I would be pleased to answer any questions of Council and would recommend a Resolution approving said Application.

**Suggested Resolution:**

Be it resolved, the Beverly Hills Village Council approves the Metro Act Permit Application submitted by ExteNet Systems, LLC dated December 6, 2023, and authorizes the Village Manager to sign the Right-of-Way Telecommunications Permit.

**METRO Act Permit Application Form**  
**Revised February 2, 2015**

**Village of Beverly Hills, MI**

**Name of Local Unit of Government**

**APPLICATION FOR  
ACCESS TO AND ONGOING USE OF PUBLIC WAYS BY  
TELECOMMUNICATIONS PROVIDERS  
UNDER  
METROPOLITAN EXTENSION TELECOMMUNICATIONS  
RIGHTS-OF-WAY OVERSIGHT ACT  
2002 PA 48  
MCL SECTIONS 484.3101 TO 484.3120**

**BY**

**ExteNet Systems, LLC**  
**("APPLICANT")**

**Unfamiliar with METRO Act?--Assistance:** Municipalities unfamiliar with Michigan Metropolitan Extension Telecommunications Rights-of-Way Oversight Act ("METRO Act") permits for telecommunications providers should seek assistance, such as by contacting the Telecommunications Division of the Michigan Public Service Commission at 517-284-8190 or via its web site at [http://www.michigan.gov/mpsc/0,4639,7-159-16372\\_22707---,00.html](http://www.michigan.gov/mpsc/0,4639,7-159-16372_22707---,00.html).

**45 Days to Act—Fines for Failure to Act:** The METRO Act states that "A municipality shall approve or deny access under this section within 45 days from the date a provider files an application for a permit for access to a public right-of-way." MCL 484.3115(3). The Michigan Public Service Commission can impose fines of up to \$40,000 per day for violations of the METRO Act. It has imposed fines under the Michigan Telecommunications Act where it found providers or municipalities violated the statute.

**Where to File:** Applicants should file copies as follows [municipalities should adapt as appropriate—unless otherwise specified service should be as follows]:

-- Three (3) copies (one of which shall be marked and designated as the master copy) with the Clerk at [insert address].

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**Village of Beverly Hills, MI**

Name of local unit of government

**APPLICATION FOR  
ACCESS TO AND ONGOING USE OF PUBLIC WAYS BY  
TELECOMMUNICATIONS PROVIDERS**

**By**

**ExteNet Systems, LLC**

**("APPLICANT")**

*This is an application pursuant to Sections 5 and 6 of the Metropolitan Extension Telecommunications Rights-of-Way Oversight Act, 2002 PA 48 (the "METRO Act") for access to and ongoing usage of the public right-of-way, including public roadways, highways, streets, alleys, easements, and waterways ("Public Ways") in the Municipality for a telecommunications system. The METRO Act states that "A municipality shall approve or deny access under this section within 45 days from the date a provider files an application for a permit for access to a public right-of-way." MCL 484.3115(3).*

*This application must be accompanied by a one-time application fee of \$500, unless the applicant is exempt from this requirement under Section 5(3) of the METRO Act, MCL 484.3105(3).*

**1 GENERAL INFORMATION:**

1.1 Date: **12/6/2023**

1.2 Applicant's legal name: **ExteNet Systems, LLC (Philip Bys o/b/o ExteNet)**  
Mailing Address: **5844 John Hickman Pkwy, Suite 600**  
**Frisco TX 75034**

Telephone Number: **972-972-7200**  
Fax Number: **630-577-1332**  
Corporate website: **https://extenet.com**

Name and title of Applicant's local manager (and if different) contact person regarding this application: **William Vorce**

Mailing Address: **5844 John Hickman Pkwy, Suite 600**  
**Frisco TX 75034**



Telephone Number: 248-882-4360

Fax Number: \_\_\_\_\_

E-mail Address: bvorce@extenetsystems.com

1.3 Type of Entity: (Check one of the following)

- \_\_\_\_ Corporation  
\_\_\_\_ General Partnership  
\_\_\_\_ Limited Partnership  
☒ Limited Liability Company  
\_\_\_\_ Individual  
\_\_\_\_ Other, please describe: \_\_\_\_\_

1.4 Assumed name for doing business, if any: \_\_\_\_\_

1.5 Description of Entity:

1.5.1 Jurisdiction of incorporation/formation; Delaware

1.5.2 Date of incorporation/formation; October 1, 2002

1.5.3 If a subsidiary, name of ultimate parent company; N/A

1.5.4 Chairperson, President/CEO, Secretary and Treasurer (and equivalent officials for non-corporate entities).

-President/CEO: Richard Coyle

• General Counsel & Corporate Secretary: Telisa Webb Schelin

• Chief Financial Officer: Saroosh Ahmed

1.6 Attach copies of Applicant's most recent annual report (with state ID number) filed with the Michigan Department of Licensing and Regulatory Affairs and certificate of good standing with the State of Michigan. For entities in existence for less than one year and for non-corporate entities, provide equivalent information.

-Annual Report: N/A

• See attached Certificate of Good Standing

1.7 Is Applicant aware of any present or potential conflicts of interest between Applicant and Municipality? If yes, describe: No

1.8 In the past three (3) years, has Applicant had a permit to install telecommunications facilities in the public right of way revoked by any Michigan municipality?

Circle: Yes No

*If "yes," please describe the circumstances.*

1.9 In the past three (3) years, has an adverse finding been made or an adverse final action been taken by any Michigan court or administrative body against Applicant under any law or regulation related to the following:

1.9.1 A felony; or **No**

1.9.2 A revocation or suspension of any authorization (including cable franchises) to provide telecommunications or video programming services?

Circle: Yes **No**

*If "yes," please attach a full description of the parties and matters involved, including an identification of the court or administrative body and any proceedings (by dates and file numbers, if applicable), and the disposition of such proceedings.*

1.10 [If Applicant has been granted and currently holds a license to provide basic local exchange service, no financial information needs to be supplied.] If publicly held, provide Applicant's most recent financial statements. If financial statements of a parent company of Applicant (or other affiliate of Applicant) are provided in lieu of those of Applicant, please explain.

**See Attached CLEC and CAP designations.**

1.10.1 If privately held, and if Municipality requests the information within 10 days of the date of this Application, the Applicant and the Municipality should make arrangements for the Municipality to review the financial statements.

*If no financial statements are provided, please explain and provide particulars.*

**ExteNet is a privately owned Company.**

---

## **2 DESCRIPTION OF PROJECT:**

2.1 Provide a copy of authorizations, if applicable, Applicant holds to provide telecommunications services in Municipality. If no authorizations are applicable, please explain.

**-See attached CLEC and CAP designations.**

2.2 Describe in plain English how Municipality should describe to the public the telecommunications services to be provided by Applicant and the telecommunications facilities to be installed by Applicant in the Public Ways.

**- A SMALL CELL SYSTEM TELECOMMUNICATIONS NETWORK, TO BE CONSTRUCTED, OWNED AND OPERATED BY EXTENET SYSTEMS, IN THE PUBLIC RIGHT OF WAY PURSUANT TO AUTHORITY GRANTED BY THE MICHIGAN METRO ACT. THE MAIN COMPONENTS OF THIS INSTALLATION ARE: THE INSTALLATION OF ONE**

(1) OMNI ANTENNA, TWO (2) RADIOS, ASSOCIATED ELECTRICAL COMPONENTS, AND MOUNTING BRACKETS AS REQUIRED, Two conduits (one for fiberoptic and one for power) that will have to be installed underground, but will be attached to the pole. A load center will also be installed on the pole. ALL COMPONENTS WILL BE ATTACHED ON AN AT&T EXISTING WOOD UTILITY POLE LOCATED AT 18906 BEVERLY RD, BEVERLY HILLS, MI 48025

2.3 Attach route maps showing the location (including whether overhead or underground) of Applicant's existing and proposed facilities in the public right-of-way. To the extent known, please identify the side of the street on which the facilities will be located. (If construction approval is sought at this time, provide engineering drawings, if available, showing location and depth, if applicable, of facilities to be installed in the public right-of-way).

-Construction drawings attached

2.4 Please provide an anticipated or actual construction schedule.

-Construction is anticipated to begin prior to the end of mid 2024.

2.5 Please list all organizations and entities which will have any ownership interest in the facilities proposed to be installed in the Public Ways.

- ExteNet Systems, LLC

2.6 Who will be responsible for maintaining the facilities Applicant places in the Public Ways and how are they to be promptly contacted? If Applicant's facilities are to be installed on or in existing facilities in the Public Ways of existing public utilities or incumbent telecommunications providers, describe the facilities to be used, and provide verification of their consent to such usage by Applicant. ExteNet Systems, LLC

### **3 TELECOMMUNICATION PROVIDER ADMINISTRATIVE MATTERS:**

*Please provide the following or attach an appropriate exhibit.*

3.1 Address of Applicant's nearest local office;

William Vorce  
5844 John Hickman Pkwy, Suite 600  
Frisco TX 75034

3.2 Location of all records and engineering drawings, if not at local office;

William Vorce  
5844 John Hickman Pkwy, Suite 600  
Frisco TX 75034

3.3 Names, titles, addresses, e-mail addresses and telephone numbers of contact person(s) for Applicant's engineer or engineers and their responsibilities for the telecommunications system;

SMJ International  
49030 Pontiac Trail,  
Wixom, MI 48393

3.4 Provide evidence of self-insurance or a certificate of insurance showing Applicant's insurance coverage, carrier and limits of liability for the following:

- COI will be issued to city.

3.4.1 Worker's compensation;

3.4.2 Commercial general liability, including at least:

3.4.2.1 Combined overall limits;

3.4.2.2 Combined single limit for each occurrence of bodily injury;

3.4.2.3 Personal injury;

3.4.2.4 Property damage;

3.4.2.5 Blanket contractual liability for written contracts, products, and completed operations;

3.4.2.6 Independent contractor liability;

3.4.2.7 For any non-aerial installations, coverage for property damage from perils of explosives, collapse, or damage to underground utilities (known as XCU coverage);

3.4.2.8 Environmental contamination;

3.4.3 Automobile liability covering all owned, hired, and non-owned vehicles used by Applicant, its employee, or agents.

3.5 Names of all anticipated contractors and subcontractors involved in the construction, maintenance and operation of Applicant's facilities in the Public Ways.

#### 4 **CERTIFICATION:**

*All the statements made in the application and attached exhibits are true and correct to the best of my knowledge and belief.*

**NAME OF ENTITY ("APPLICANT")**

Extenet Systems

*Philip Bys*

By:

12/6/23

Date

Type or Print Name: Philip Bys

Applicant for Extenet  
Title

S:\metroapplicationform.doc




MI-S000000017

TMO ID: DE0825BA\_61LAB

18906 BEVERLY RD, BEVERLY HILLS, MI 48025


PROJECT DESCRIPTION	VICINITY MAP	DRAWING INDEX
<p>THESE DRAWINGS DEPICT A PORTION OF A SMALL CELL SYSTEM TELECOMMUNICATIONS NETWORK, TO BE CONSTRUCTED, OWNED AND OPERATED BY EXTENET SYSTEMS, IN THE PUBLIC RIGHT OF WAY PURSUANT TO AUTHORITY GRANTED BY THE MICHIGAN METRO ACT.</p> <p>THE MAIN COMPONENTS OF THIS INSTALLATION ARE: THE INSTALLATION OF ONE (1) OMNI ANTENNA, TWO (2) RADIOS, ASSOCIATED ELECTRICAL COMPONENTS, AND MOUNTING BRACKETS AS REQUIRED, LOCATED ON REPLACEMENT AT&amp;T 30'-0" WOOD UTILITY POLE.</p>		<div><div>T1</div><div>TITLE SHEET AND PROJECT INFORMATION</div></div> <div><div>T2</div><div>GENERAL NOTES, LEGEND, AND SYMBOLS</div></div> <div><div>A1</div><div>SITE PLANS</div></div> <div><div>A2</div><div>SITE ELEVATIONS</div></div> <div><div>D1</div><div>EQUIPMENT DETAILS</div></div> <div><div>D2</div><div>EQUIPMENT DETAILS</div></div> <div><div>D3</div><div>EQUIPMENT DETAILS</div></div> <div><div>MDOT</div><div>TRAFFIC CONTROL PLAN</div></div>
PROPRIETARY INFORMATION		
<p>THE INFORMATION CONTAINED IN THIS SET OF CONSTRUCTION DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO CARRIER SERVICES IS STRICTLY</p>		
PROJECT INFORMATION		
<div><div>SITE NAME:</div><div>DE_NEW_NODE 23 (DE0825BA_61LAB) 18906</div></div> <div><div>ADDRESS:</div><div>BEVERLY RD, BEVERLY HILLS, MI 48025</div></div> <div><div>LATITUDE:</div><div>42.524359</div></div> <div><div>LONGITUDE:</div><div>-83.232722</div></div> <div><div>JURISDICTIONS:</div><div>BEVERLY HILLS VILLAGE</div></div> <div><div>A.P.N./ TAX ID:</div><div>TBD</div></div> <div><div>LOCATION:</div><div>PUBLIC RIGHT OF WAY</div></div> <div><div>HUB NAME:</div><div>DE03841M</div></div> <div><div>HUB ADDRESS:</div><div>TBD</div></div> <div><div>HUB LATITUDE:</div><div>TBD</div></div> <div><div>HUB LONGITUDE:</div><div>TBD</div></div>	<div><div>CODE COMPLIANCE</div></div> <div><p>ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUCTED TO PERMIT WORK NOT CONFORMING TO THESE CODES.</p><div><div><ul style="list-style-type: none"><li>2017 NATIONAL ELECTRICAL CODE</li><li>2015 INTERNATIONAL BUILDING CODE</li><li>2015 INTERNATIONAL MECHANICAL CODE</li><li>2018 INTERNATIONAL PLUMBING CODE</li></ul></div><div><ul style="list-style-type: none"><li>2012 INTERNATIONAL FIRE CODE</li><li>CITY AND/OR COUNTY ORDINANCES</li><li>LOCAL BUILDING CODE(S)</li></ul></div></div></div>	<div><div>PROJECT TEAM</div></div> <div><div>PROPERTY OWNER:</div><div>NAME: PUBLIC RIGHT OF WAY</div><div>ADDRESS:</div><div>18906 BEVERLY RD</div><div>BEVERLY HILLS, MI 48025</div><div>APPLICANT:</div><div>EXTENET SYSTEMS, INC.</div><div>5844 JOHN HICKMAN PKWY,</div><div>SUITE 600</div><div>FRISCO, TX 75034</div><div>PHONE: (630) 505-3800</div><div>FAX: (630) 577-1332</div></div> <div><div>PLANNING/ZONING:</div><div>EXTENET SYSTEMS INC.</div><div>CONTACT: ERIC LOVVORN</div><div>PHONE: (770) 337-5760</div><div>CONSTRUCTION MANAGER:</div><div>EXTENET SYSTEMS INC.</div><div>CONTACT: BILL VORCE</div><div>PHONE: (248) 882-4360</div></div> <div><div>ROW/DOT/DPW:</div><div>EXTENET SYSTEMS INC.</div><div>CONTACT: ERIC LOVVORN</div><div>PHONE: (770) 337-5760</div><div>ARCHITECT/ENGINEER:</div><div>PETER LICHOMSKI, ARCHITECT</div><div>49030 PONTIAC TRAIL, SUITE 100,</div><div>WIXOM, MI 48393</div><div>PH: (248) 705-9212</div></div>
<div><div>LOCATION OF FIBER HUB TBD</div></div>	<div><div>E911 INFORMATION</div></div> <div>18906 BEVERLY RD, BEVERLY HILLS, MI 48025</div>	<div><div>PERMITTING AGENCY</div></div> <div><div>POLE OWNER:</div><div>AT&amp;T</div><div>PLANNING/ZONING:</div><div>AGENCY</div><div>CONTACT:</div><div>PHONE:</div><div>RD,</div><div>CITY, ST ZIP</div><div>ROW/DOT/DPW:</div><div>AGENCY</div><div>CONTACT:</div><div>PHONE:</div><div>RD,</div><div>CITY, ST ZIP</div></div>

APPLICANT



5844 JOHN HICKMAN PKWY, SUITE 600  
FRISCO, TX 75034  
www.extenet.com

ARCHITECT/ENGINEER



49030 PONTIAC TRAIL, SUITE 100  
WIXOM, MI 48393

REVISIONS:

D	01/11/24	REVISED CD	RC
C	07/28/23	REVISED CD	RC
B	04/17/23	REVISED CD	RC
A	04/11/23	CD	RC
#	DATE	DESCRIPTION	INT.

PROFESSIONAL STAMP

PROJECT NAME:

MI-S000000017

SMALL CELL NETWORK

TMO ID:

DE0825BA\_61LAB

PROJECT LOCATION:

18906 BEVERLY RD

BEVERLY HILLS, MI 48025

SHEET TITLE:

TITLE SHEET & PROJECT INFO

SHEET NUMBER:

T1



GENERAL NOTES

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SURVEY MONUMENTS AND/OR VERTICAL CONTROL BENCHMARKS WHICH ARE DISTURBED OR DESTROYED BY CONSTRUCTION. A LAND SURVEYOR MUST FIELD LOCATE, REFERENCE, AND/OR PRESERVE ALL HISTORICAL OR CONTROLLING MONUMENTS PRIOR TO ANY EARTHWORK. IF DESTROYED, SUCH MONUMENTS SHALL BE REPLACED WITH APPROPRIATE MONUMENTS BY A LAND SURVEYOR. A CORNER RECORD OR RECORD OF SURVEY, AS APPROPRIATE, SHALL BE FILED AS REQUIRED BY THE PROFESSIONAL LAND SURVEYORS ACT.
2. IMPORTANT NOTICE: CALL MICHIGAN 811, TOLL FREE 1-800-482-7171, THREE DAYS BEFORE YOU DIG.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR THE POT HOLE AND LOCATING OF ALL EXISTING UTILITIES THAT CROSS THE PROPOSED TRENCH LINE AND MUST MAINTAIN MINIMUM VERTICAL AND HORIZONTAL CLEARANCES AS CALLED FOR BY LOCAL CODES AND/OR ORDINANCES.
4. IF ANY EXISTING HARDSCAPE OR LANDSCAPE INDICATED ON THE APPROVE PLANS IS DAMAGED OR REMOVED DURING DEMOLITION OR CONSTRUCTION, IT SHALL BE REPAIRED AND/OR REPLACED IN KIND PER THE APPROVED PLANS.
5. CONTRACTOR SHALL REPLACE OR REPAIR ALL TRAFFIC SIGNAL LOOPS, CONDUIT, AND LANE STRIPING DAMAGED DURING CONSTRUCTION.
6. THIS PROJECT WILL BE INSPECTED BY ENGINEERING AND FIELD ENGINEERING DIVISION.
7. MANHOLES OR COVERS SHALL BE LABELED COMMUNICATIONS.
8. CONTRACTOR SHALL IMPLEMENT AN EROSION CONTROL PROGRAM DURING THE PROJECT CONSTRUCTION ACTIVITIES. THE PROGRAM SHALL MEET THE APPLICABLE REQUIREMENTS OF THE STATE WATER RESOURCE CONTROL BOARD.
9. THE CONTRACTOR SHALL HAVE EMERGENCY MATERIALS AND EQUIPMENT ON HAND FOR UNFORESEEN SITUATIONS, SUCH AS DAMAGE TO UNDERGROUND WATER, SEWER, AND STORM DRAIN FACILITIES WHEREBY FLOWS MAY GENERATE EROSION AND SEDIMENT POLLUTION.



SPECIAL NOTES

1. INDEMNIFICATION CLAUSE: THE CONTRACTOR AGREES AND SHALL: ASSUME SOLE AND COMPLETE RESPONSIBILITY OF THE JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING THE SAFETY OF ALL PERSONS AND PROPERTIES. THAT THESE REQUIREMENTS SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS AND CONDITIONS. THE CONTRACTOR FURTHER AGREES TO DEFEND INDEMNITY AND HOLD EXTENET, REPRESENTATIVES, AND ENGINEERS HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF THE WORK ON THIS PROJECT.
2. PRIOR TO THE BEGINNING OF ANY CONSTRUCTION AND THROUGHOUT THE COURSE OF CONSTRUCTION WORK, THE CONTRACTOR SHALL FULLY COMPLY WITH "MICHIGAN OCCUPATIONAL SAFETY AND HEALTH" ACT OF 1973 INCLUDING ALL REVISIONS AND AMENDMENTS THERETO.
3. ALL WORK SHALL CONFORM TO THE LATEST STANDARD "SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION" AS ADOPTED BY THE CITY, COUNTY OR STATE AS MODIFIED BY STANDARD PLANS AND ADDENDUMS.
4. THE EXISTENCE AND LOCATION OF UTILITIES AND OTHER AGENCY'S FACILITIES AS SHOWN HERON ARE OBTAINED BY A SEARCH OF AVAILABLE RECORDS. OTHER FACILITIES MAY EXIST. THE CONTRACTOR SHALL VERIFY PRIOR TO THE START OF CONSTRUCTION AND SHALL USE EXTREME CARE AND PROTECTIVE MEASURES TO PREVENT DAMAGE TO THESE FACILITIES. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL UTILITY OR AGENCY FACILITIES WITHIN THE LIMITS OF WORK, WHETHER THEY ARE SHOWN ON THIS PLAN OR NOT.
5. THE CONTRACTOR SHALL NOTIFY THE CITY, COUNTY OR STATE ENGINEER INSPECTION DEPARTMENT, AT LEAST TWO DAYS BEFORE START OF ANY WORK REQUIRING THEIR INVOLVEMENT.
6. THE CITY, COUNTY OR STATE SHALL SPECIFY THE EXPIRATION PERIOD OF THE PERMIT FOR THIS CONSTRUCTION PROJECT.
7. THE MINIMUM COVER FOR ALL CONDUITS PLACED UNDERGROUND SHALL BE 48 INCHES TO THE FINISHED GRADE AT ALL TIMES UNLESS OTHERWISE APPROVED.
8. THE CONTRACTOR SHALL TUNNEL ALL CURB AND GUTTERS AND BORE ALL CONCRETE DRIVEWAYS AND WALKWAYS AT THE DIRECTION OF THE CITY, COUNTY OR STATE ENGINEER.
9. ALL A C AND/OR CONCRETE PAVEMENT SHALL BE REPLACED AT THE DIRECTION OF THE CITY, COUNTY OR STATE ENGINEERS.
10. ALL SHRUBS, PLANTS OR TREES THAT HAVE BEEN DAMAGED OR DISTURBED DURING THE COURSE OF THE WORK, SHALL BE REPLANTED AND/OR REPLACED SO AS TO RESTORE THE WORK SITE TO ITS ORIGINAL CONDITION.
11. THE CONTRACTOR WILL BE RESPONSIBLE FOR THE PROCESSING OF ALL APPLICANT PERMIT FORMS ALONG WITH THE REQUIRED LIABILITY INSURANCE FORMS. CLEARLY DEMONSTRATING THAT EXTENET, THE CITY, COUNTY OR STATE IS ALSO INSURED WITH THE REQUIRED LIABILITY INSURANCE FOR THIS CONSTRUCTION PROJECT.
12. VAULTS, PEDESTALS, CONDUITS AND OTHER TYPES OF SUBSTRUCTURE ARE EITHER SPECIFIED ON THIS PLAN OR WILL BE SPECIFIED BY THE CONSTRUCTION ENGINEER. ANY AND ALL DEVIATIONS FROM THE SPECIFIED TYPES OF MATERIAL MUST BE APPROVED BY THE SYSTEM ENGINEER, IN WRITING BEFORE INSTALLATION THEREOF.
13. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES, INCLUDING SEWER LATERALS & WATER SERVICES TO INDIVIDUAL LOTS BOTH VERTICAL AND HORIZONTAL PRIOR TO COMMENCING IMPROVEMENT OPERATIONS.
14. CONTRACTOR SHALL MAKE EXPLORATION EXCAVATIONS AND LOCATE EXISTING FACILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS TO PLANS IF REVISION IS NECESSARY BECAUSE OF LOCATION OF EXISTING UTILITIES.
15. THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THESE PLANS ARE FROM EXISTING RECORDS AND CORROBORATED, WHERE POSSIBLE, WITH FIELD TIES. THE CONTRACTOR IS RESPONSIBLE FOR CONFIRMING THE LOCATIONS SHOWN, BOTH HORIZONTAL AND VERTICALLY. PRIOR TO CONSTRUCTION, IF EXISTING LOCATIONS VARY SUBSTANTIALLY FROM THE PLANS, THE ENGINEER SHOULD BE NOTIFIED TO MAKE ANY CONSTRUCTION CHANGES REQUIRED.

SPECIAL NOTES

- TEMPORARY EROSION/SEDIMENT CONTROL PRIOR TO COMPLETION OF FINAL IMPROVEMENTS, SHALL BE PERFORMED BY THE CONTRACTOR OR QUALIFIED PERSON AS INDICATED BELOW:
1. ALL REQUIREMENTS OF THE CITY, COUNTY AND STATE "STORM WATER STANDARDS" MUST BE INCORPORATED INTO THE DESIGN AND CONSTRUCTION OF THE PROPOSED GRADINGS/IMPROVEMENTS CONSISTENT WITH THE APPROVED STORM WATER POLLUTION PREVENTION PLAN (SWPPP), WATER QUALITY TECHNICAL REPORT (WQTR), AND/OR WATER POLLUTION CONTROL PLAN (WPCL).
2. FOR STORM DRAIN INLETS, PROVIDE A GRAVEL BAG SILT BASIN IMMEDIATELY UPSTREAM OF INLET AS INDICATED ON DETAILS.
3. FOR INLETS LOCATED AT SUMPS ADJACENT TO TOP OF SLOPES, THE CONTRACTOR SHALL ENSURE THAT WATER DRAINING TO THE SUMP IS DIRECTED INTO THE INLET AND THAT A MINIMUM OF 1.00' FREEBOARD EXISTS AND IS MAINTAINED ABOVE THE TOP OF THE INLET. IF FREEBOARD IS NOT PROVIDED BY GRADING SHOWN ON THESE PLANS THE CONTRACTOR SHALL PROVIDE IT VIA TEMPORARY MEASURES, I.E. GRAVEL BAGS OR DIKES.
4. THE CONTRACTOR OR QUALIFIED PERSON SHALL BE RESPONSIBLE FOR CLEANUP OF SILT AND MUD ON ADJACENT STREET(S) AND STORM DRAIN SYSTEM DUE TO CONSTRUCTION ACTIVITY.
5. THE CONTRACTOR OR QUALIFIED PERSON SHALL CHECK AND MAINTAIN ALL LINED AND UNLINED DITCHES AFTER EACH RAINFALL.
6. THE CONTRACTOR SHALL REMOVE SILT AND DEBRIS AFTER EACH MAJOR RAINFALL.
7. EQUIPMENT AND WORKERS FOR EMERGENCY WORK SHALL BE MADE AVAILABLE AT ALL TIMES DURING THE RAINY SEASON. ALL NECESSARY MATERIALS SHALL BE STOCKPILED ON SITE AT CONVENIENT LOCATIONS TO FACILITATE RAPID CONSTRUCTION OF TEMPORARY DEVICES WHEN RAIN IS IMMINENT.
8. THE CONTRACTOR SHALL RESTORE ALL EROSION/SEDIMENT CONTROL DEVICES TO WORKING ORDER TO THE SATISFACTION OF THE CITY ENGINEER OF RESIDENT ENGINEER AFTER EACH RUN-OFF PRODUCING RAINFALL.
9. THE CONTRACTOR SHALL INSTALL ADDITIONAL EROSION/SEDIMENT CONTROL MEASURES AS MAY BE REQUIRED BY THE RESIDENT ENGINEER DUE TO UNCOMPLETED GRADING OPERATIONS OR UNFORESEEN CIRCUMSTANCES, WHICH MAY ARISE.
10. THE CONTRACTOR SHALL BE RESPONSIBLE AND SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT PUBLIC TRESPASS ONTO AREAS WHERE IMPOUNDED WATERS CREATE A HAZARDOUS CONDITION.
11. ALL EROSION/SEDIMENT CONTROL MEASURES PROVIDED PER THE APPROVED GRADING PLAN SHALL BE INCORPORATED HERON. ALL EROSION/SEDIMENT CONTROL FOR INTERIM CONDITIONS SHALL BE DONE TO THE SATISFACTION OF THE RESIDENT ENGINEER.
12. GRADED AREAS AROUND THE PROJECT PERIMETER MUST DRAIN AWAY FROM THE FACE OF THE SLOPE AT THE CONCLUSION OF EACH WORKING DAY.
13. ALL REMOVABLE PROTECTIVE DEVICES SHOWN SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN RAIN IS IMMINENT.
14. THE CONTRACTOR SHALL UNDO GRADE, INCLUDING CLEARING AND GRUBBING FOR THE AREAS FOR WHICH THE CONTRACTOR OR QUALIFIED PERSON CAN PROVIDE EROSION/SEDIMENT CONTROL MEASURES.

ABBREVIATIONS

AL	ALUMINUM	(F)	FUTURE	PRELIM	PRELIMINARY
ALY	ALLOY	FLR	FLOOR	PWR	POWER
ANT	ANTENNA	FOC	FACE OF CURB	QTY	QUANTITY
AGL	ABOVE GROUND	FT	FOOT	R	RADIUS
	LEVEL	FS	FARSIDE	RAD	RADIATION
AMSL	ABOVE MEAN	FSTNR	FASTENER	RC	RAD CENTER
	SEA LEVEL	GALV	GALVANIZED	RCVR	RECEIVER
APVD	APPROVED	GA	GAUGE	RELOC	RELOCATED
APPROX	APPROXIMATE	GEN	GENERATOR	REOD	REQUIRED
AR, AIR	AS REQUIRED	GND	GROUND/GROUNDING	ROW	RIGHT OF WAY
BAT	BATTERY	ID	INSIDE DIAMETER	SH	SHEET
BC	BOLT CIRCLE	MATL	MATERIAL	SPLY	SUPPLY
BLDG	BUILDING	MFR	MANUFACTURER	SS	STAINLESS STL
BRKT	BRACKET	MTD	MOUNTED	STD	STANDARD
CAB	CABINET	MTG	MOUNTING	STL	STEEL
CL	CENTERLINE	MTR	METER	STRL	STRUCTURAL
CONC	CONCRETE	MAX	MAXIMUM	SQ	SQUARE
CND	CONDUIT	MIN	MINIMUM	SW	SWITCH
DN	DOWN	(N)	NEW	THD	THREAD
(E)	EXISTING	NS	NEARSIDE	THK	THICK
EA	EACH	NTS	NOT TO SCALE	TNND	TINNED
EL	ELEVATION	OC	ON CENTER	TYP	TYPICAL
EMBED	EMBEDMENT	OD	OUTSIDE DIAMETER	UBC	UNIFORM
EMER	EMERGENCY	(P)	PROPOSED		BUILDING CODE
ENCL	ENCLOSURE	PLYWD	PLYWOOD	W/	WITH
EP EOP	EDGE OF PAVEMENT	PL	PLACES	W/O	WITHOUT
EOP	EQUIPMENT	PNL	PANEL	XMFR	TRANSFORMER
EQ SP	EQUAL SPACE	P/O	PART OF	XMTR	TRANSMITTER
HGT	HEIGHT	POSN	POSITION		

GENERAL NOTES

ROW GROUND CONSTRUCTION NOTES:

1. GC TO REMOVE/CLEAN ALL DEBRIS, NAILS, STAPLES, OR NON-USED VERTICALS OFF THE POLE.
2. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH MUNICIPAL, COUNTY, STATE, AND FEDERAL STANDARDS AND REGULATIONS.
3. CALL MICHIGAN 811 72 HOURS PRIOR TO EXCAVATING AT (800) 482-7171.
4. ALL LANDSCAPING TO BE RESTORED TO ORIGINAL CONDITION OR BETTER.
5. ALL EQUIPMENT TO BE BONDED.
6. METERING CABINET(IF PLACED) REQUIRES 3' CLEARANCE AT DOOR OPENING.
7. CAULK CABINET BASE AT PAD.

CAULK CABINET BASE AT PAD, STANDARD GROUNDING NOTES:

1. GROUND TESTED AT 25 OHMS OR LESS.
2. 5/8"x8" ROD, CAD WELD OR UL LISTED DIRECT BURY CLAMP BELOW GRADE
3. #6 GROUND AND BOND WIRE.
4. MOLDING, STAPLED EVERY 1' AND AT EACH END
5. GROUND RODS 3' FROM POLE.

STANDARD CONDUIT NOTES:

1. FOR UNDERGROUND USE SCHEDULE 40.
2. FOR RISERS USE SCHEDULE 80.
3. PLACE 2" SDR-11 RED CONDUIT FOR UG POWER APPLICATIONS.
4. RISERS TO BE ATTACHED TO POLE WITH STANDARD U-CLAMPS AND LAG SCREWS.
5. RISER U-CLAMPS TO BE INSTALLED EVERY 5'.
6. CONDUIT UNDER 1" MAY BE ATTACHED WITH GROUND WIRE MOLDING STAPLES.
7. ALL CONDUIT WILL BE PROOFED WITH A MANDREL AND EQUIPPED WITH PULL ROPE OR MULE TAPE.

STANDARD TRENCHING NOTES:

1. MAINTAIN 24" MINIMUM COVER FOR ELECTRICAL CONDUIT.
2. MAINTAIN 48" MINIMUM COVER FOR COMMUNICATIONS CONDUIT.
3. IN STREET SLURRY TO GRADE AND MILL DOWN 1-1/2" FOR AC CAP.
4. IN DIRT SLURRY 18" FROM GRADE, AND FILL WITH 95% COMPACTION IN NATIVE SOIL FOR BALANCE.
5. PLACE WARNING TAPE IN TRENCH 12" ABOVE ALL CONDUITS AND #18 WARNING TAPE ABOVE GROUND RING.

ROW UTILITY POLE CONSTRUCTION NOTES:

1. NO BOLT THREADS TO PROTRUDE MORE THAN 1-1/2".
2. FILL ALL HOLES LEFT IN POLE FROM REARRANGEMENT OF CLIMBERS.
3. ALL CLIMB STEPS NEXT TO CONDUIT SHALL HAVE EXTENDED STEPS.
4. CABLE NOT TO IMPEDE 15" CLEAR SPACE OFF POLE FACE (12:00).
5. 90° SHORT SWEEPS UNDER ANTENNA ARM. ALL CABLES MUST ONLY TRANSITION ON THE INSIDE OR BOTTOM OF ARMS (NO CABLE ON TOP OF ARMS).
6. USE CABLE CLAMPS TO SECURE CABLE TO ARMS; PLACE 2" CARRIER CABLE ID TAGS ON BOTH SIDES OF ARMS.
7. USE 90° CONNECTOR AT CABLE CONNECTION TO ANTENNAS.
8. USE 1/2" CABLE ON ANTENNAS UNLESS OTHERWISE SPECIFIED.
9. FILL VOID AROUND CABLES AT CONDUIT OPENING WITH FOAM SEALANT TO PREVENT WATER INTRUSION.

— GAS —	(E) UG GAS
— OIL —	(E) UG PETROLEUM
— W —	(E) UG WATER
— R —	(E) UG STORM
— S —	(E) UG SANITARY
— TV —	(E) UG CABLE TV
— T —	(E) UG TELEPHONE
— FO —	(E) UG FIBER OPTIC
— E —	(E) UG POWER
— PWR —	(E) OVERHEAD POWER
— OH —	(E) OVERHEAD COMM
— — — — —	(E) BUILDING
— . . . — —	(E) WATER BODY
— — — — —	(E) WASH/WETLAND
== == ==	(E) CULVERT
— o — o —	(E) FENCE
— o — o —	(E) BLOCK WALL
— + — + —	(E) GUARDRAIL
— — — — —	(E) ROAD EDGE/CURB
— — — — —	(E) LIP OF GUTTER
— — — — —	(E) DIRT ROAD
— — — — —	(E) DRIVEWAY
— — — — —	(E) SIDEWALK

— — — — —	(E) RIGHT OF WAY
— — — — —	(E) PROPERTY LINE
+++++	(E) RAILROAD
← → STOP	(E) LANE STRIPE
— NB —	(P) AERIAL NEW BUILD
— OL —	(P) AERIAL OVERLASH
— DB —	(P) DIRECTIONAL BORE
— TR —	(P) OPEN TRENCH
— PL —	(P) FLOW
X 00+00	(P) STATIONING
IV	(P) VAULT
+	BUSH
+	DECIDUOUS TREE
+	CONIFEROUS TREE
—	ELECTRIC SIGN
I	BIKE RACK
o	TRASHCAN
•	POST/MARKER
+	MAILBOX
Ⓢ	UNKNOWN MANHOLE
Ⓢ	UNKNOWN VAULT
F	FIBER VAULT
F	FIBER PED

Ⓢ	TELEPHONE MANHOLE
Ⓢ	TELEPHONE VAULT
Ⓢ	TELEPHONE LARGE PED
Ⓢ	TELEPHONE SMALL PED
Ⓢ	CATV HAND HOLE
Ⓢ	CATV VAULT
Ⓢ	CATV LARGE PED
Ⓢ	CABLE SMALL PED
Ⓢ	SANITARY SEWER MANHOLE
Ⓢ	STORM SEWER MANHOLE
Ⓢ	STORM CATCH BASIN
Ⓢ	WATER BLOW OFF
Ⓢ	WATER VALVE
Ⓢ	WAIER CURB BOX
Ⓢ	WATER GATE AND VALVE
Ⓢ	FIRE HYDRANT
Ⓢ	WATER VAULT
Ⓢ	BACKFLOW VALVE
Ⓢ	AIR RELIEF VALVE
Ⓢ	WATER WELL MONITOR
Ⓢ	PLUG & CAP
Ⓢ	PRESSURE REDUCING VALVE
Ⓢ	NON-POTABLE VALVE

Ⓢ	NON-POTABLE MANHOLE
Ⓢ	CATHODIC PROT TEST
Ⓢ	JUNCTION BOX
Ⓢ	PULL BOX
Ⓢ	SUBSURFACE XFR
Ⓢ	PADMOUNTED 3PH XFR
Ⓢ	PAD MOUNTED SWITCHING
Ⓢ	PAD MOUNTED JUNCTION
Ⓢ	PAD MOUNTED SECTIONALIZER
Ⓢ	PAD MOUNTED CAPACITOR
Ⓢ	PAD MOUNTED BREAK SWITCH
Ⓢ	PAD MOUNTED FUSE DISCONNECT
Ⓢ	RECTANGLE POWER MANHOLE
Ⓢ	LARGE POWER PED
Ⓢ	POWER MANHOLE
Ⓢ	ELECTRIC CABINET
Ⓢ	POWER POLE
Ⓢ	POWER POLE WITH TRANSFORMER
Ⓢ	JOINT POLE
Ⓢ	JOINT POLE WITH TRANSFORMER
Ⓢ	TELEPHONE POLE
Ⓢ	CATV POLE
Ⓢ	METAL POLE

C	CONCRETE POLE
Ⓢ	TRAFFIC SIGNAL
Ⓢ	POWER METER
Ⓢ	CROSS WALK POLE
Ⓢ	LOW LEVEL LIGHT POLE
Ⓢ	HIGH LEVEL LIGHT POLE LARGE
Ⓢ	TRAFFIC SIGNAL POLE
Ⓢ	GAS VALVE
Ⓢ	GAS MANHOLE
Ⓢ	NORTH ARROW
Ⓢ	SPOT ELEVATION (DATUM)
Ⓢ	FLAG NOTE
Ⓢ	ITEM BALLOON (DETAIL SHEETS)
Ⓢ	DETAIL REFERENCE
Ⓢ	SECTION REFERENCE

ROW CONSTRUCTION GENERAL NOTES

SCALE	3
NTS	

LEGEND & SYMBOLS

SCALE	1
NTS	

APPLICANT



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ARCHITECT/ENGINEER



49030 PONTIAC TRAIL, SUITE 100  
WIXOM, MI 48393

REVISIONS:

D	01/11/24	REVISED CD	RC
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B	04/17/23	REVISED CD	RC
A	04/11/23	CD	RC
#	DATE	DESCRIPTION	INT.

PROFESSIOINAL STAMP

PROJECT NAME:

MI-S000000017  
SMALL CELL NETWORK  
TMO ID:  
DE0825BA\_61LAB

PROJECT LOCATION:

18906 BEVERLY RD  
BEVERLY HILLS, MI 48025

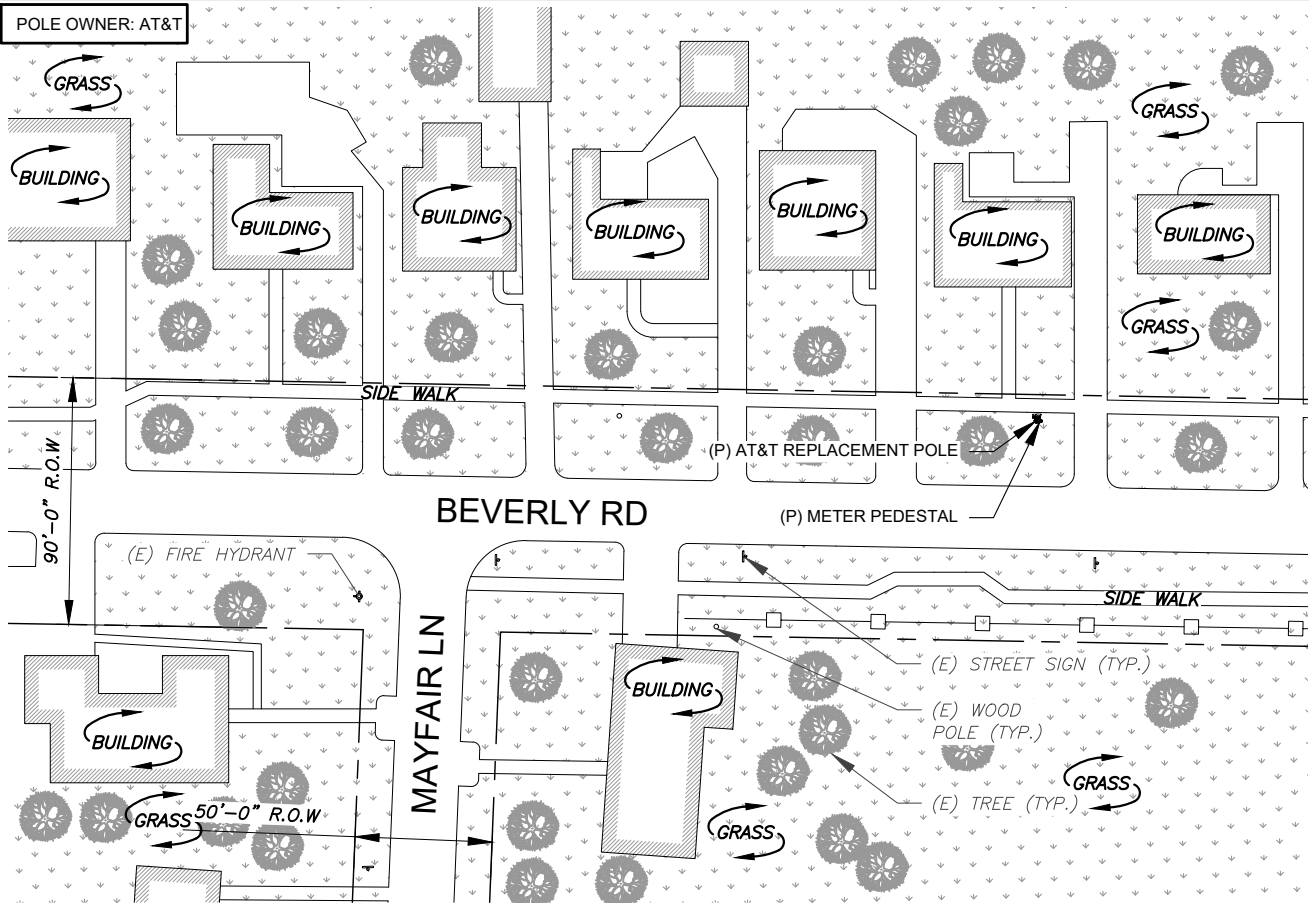
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GENERAL NOTES,  
LEGEND, AND SYMBOLS

SHEET NUMBER:

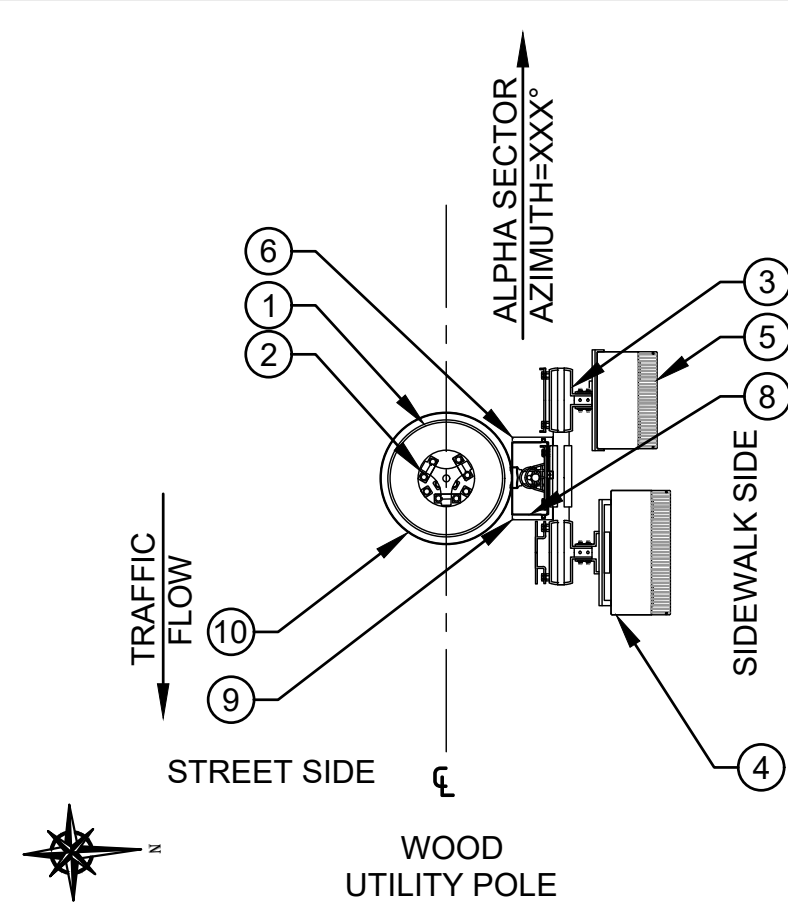
T2





SITE PLAN

B-SCALE NTS 4  
D-SCALE NTS



EQUIPMENT PLAN VIEW

B-SCALE 1/2"=1'-0" 2  
D-SCALE 1"=1'-0"

FLAGNOTE LEGEND		
FLAGNOTE	DESCRIPTION	DETAIL
1	PANEL/OMNI ANTENNA	1/D1
2	ANTENNA MOUNTING BRACKET	2/D1
3	RADIO BRACKET	2/D3
4	RADIO - AZHL	2/D3
5	RADIO - AHFIB	2/D3
6	LOAD CENTER	2/D2
7	METER PEDISTAL	-
8	FIBER NID	1/D3
9	FUSED DISCONNECT	1/D2
10	PROPOSED AT&T REPLACEMENT POLE	-
11	U-GUARD RISER FOR COAX/FIBER	-
12	CONDUIT FOR PWR	-
13	CONDUIT FOR FIBER	-

APPLICANT

**extenet**  
CONNECTIONS FOR LIFE

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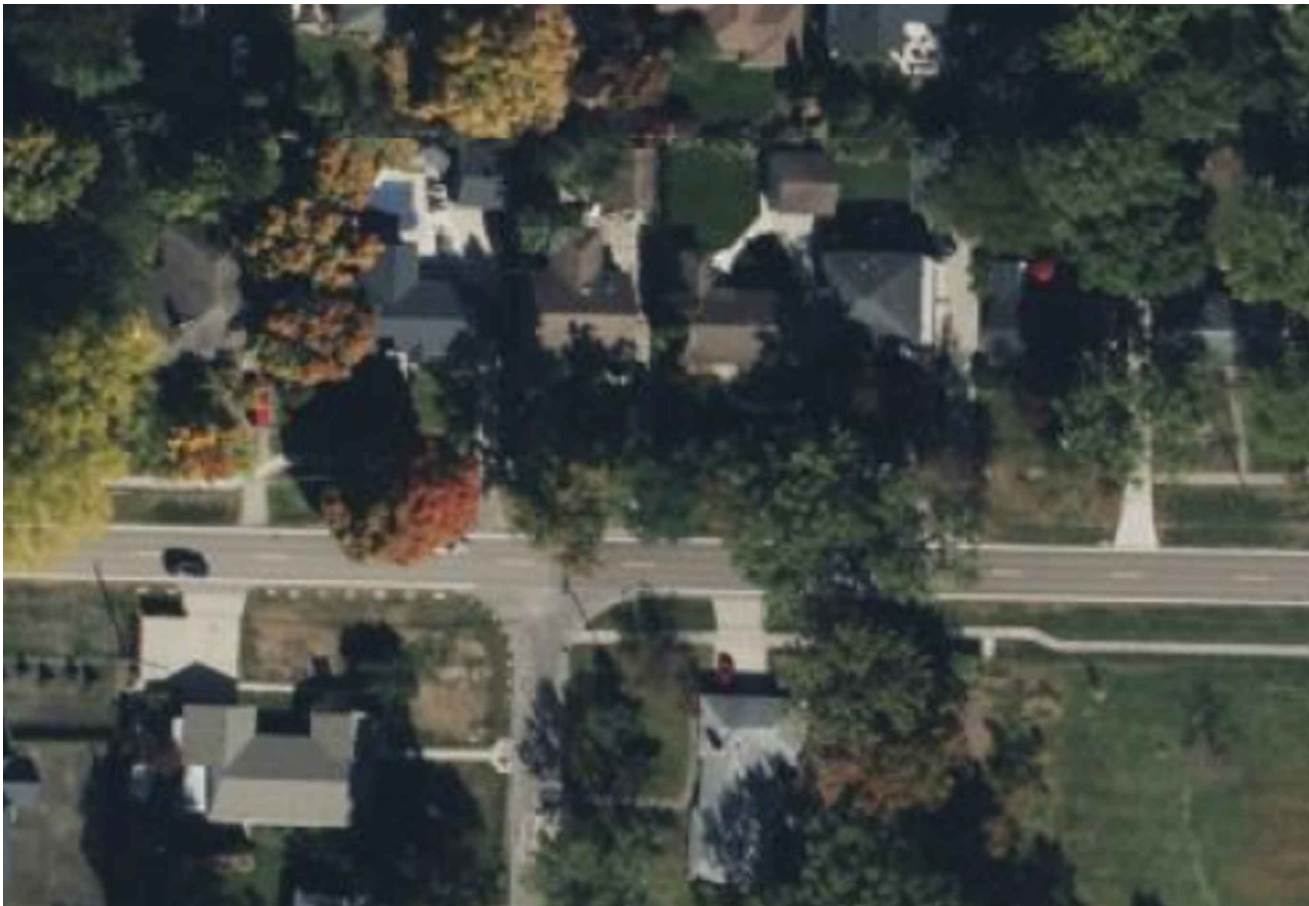
18906 BEVERLY RD  
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SHEET TITLE:

SITE PLANS

SHEET NUMBER:

A1



SITE PLAN AERIAL OVERVIEW

B-SCALE NTS 3  
D-SCALE NTS

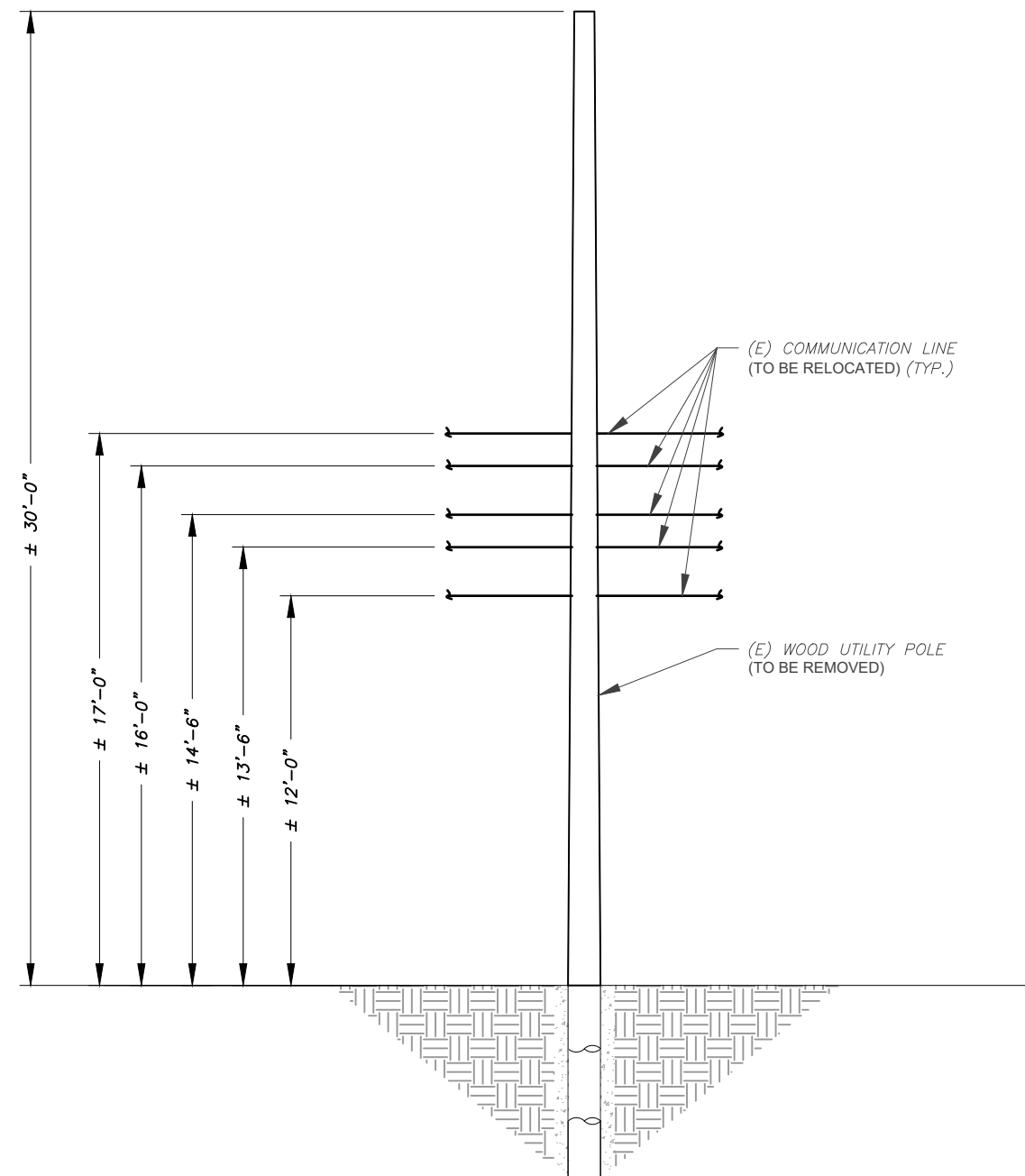


EXISTING SITE PHOTO

B-SCALE NTS 1  
D-SCALE NTS



POLE OWNER: AT&T



EXISTING ELEVATION

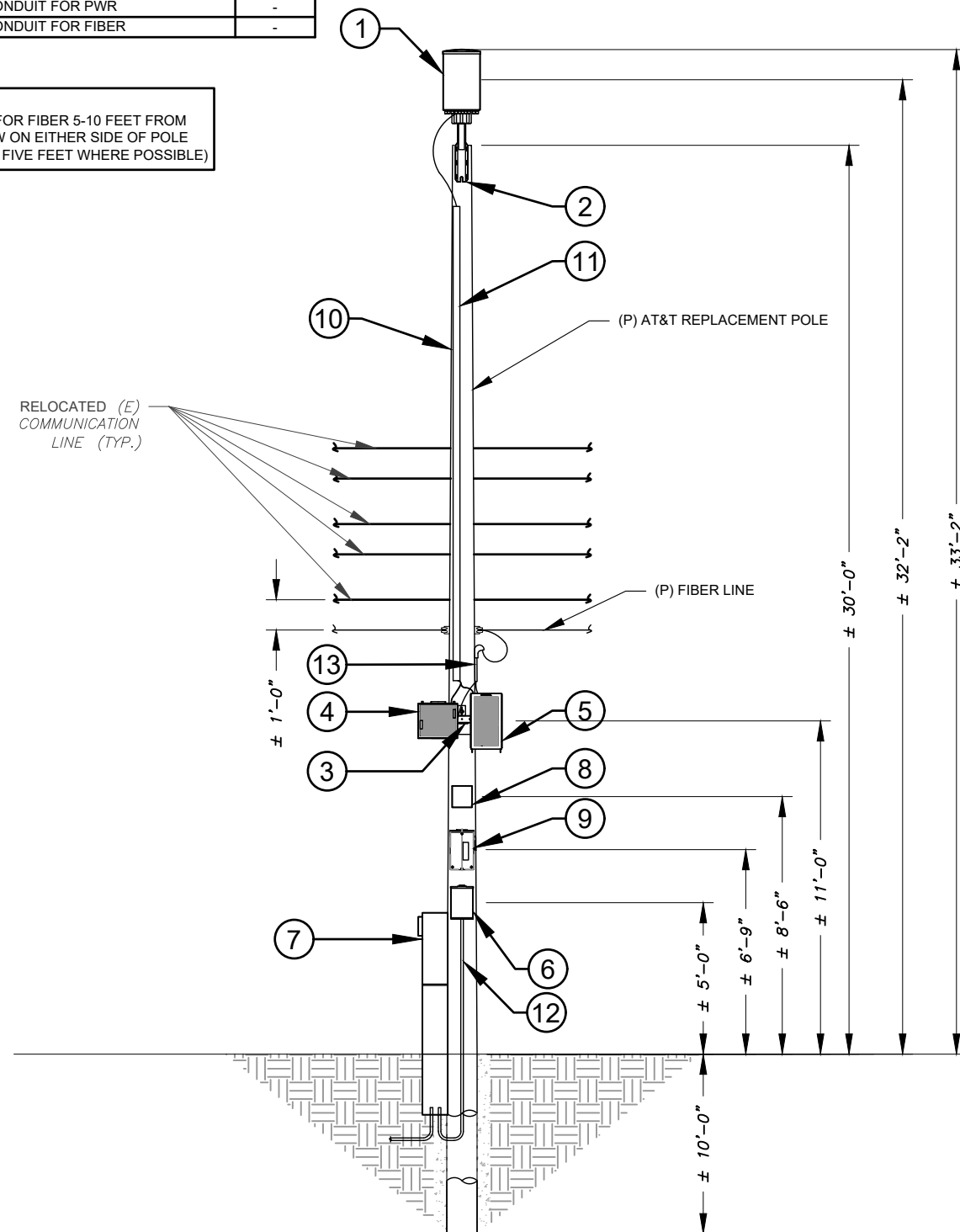
B-SCALE 3/16"=1'-0"  
D-SCALE 3/8"=1'-0"

2

PROPOSED ELEVATION

FLAGNOTE LEGEND		
FLAGNOTE	DESCRIPTION	DETAIL
1	PANEL/OMNI ANTENNA	1/D1
2	ANTENNA MOUNTING BRACKET	2/D1
3	RADIO BRACKET	2/D3
4	RADIO - AZHL	2/D3
5	RADIO - AHFIB	2/D3
6	LOAD CENTER	2/D2
7	METER PEDISTAL	-
8	FIBER NID	1/D3
9	FUSED DISCONNECT	1/D2
10	PROPOSED AT&T REPLACEMENT POLE	-
11	U-GUARD RISER FOR COAX/FIBER	-
12	CONDUIT FOR PWR	-
13	CONDUIT FOR FIBER	-

NOTE:  
HANDHOLE FOR FIBER 5-10 FEET FROM  
POLE IN ROW ON EITHER SIDE OF POLE  
(CLOSER TO FIVE FEET WHERE POSSIBLE)



B-SCALE 3/16"=1'-0"  
D-SCALE 3/8"=1'-0"

1

APPLICANT



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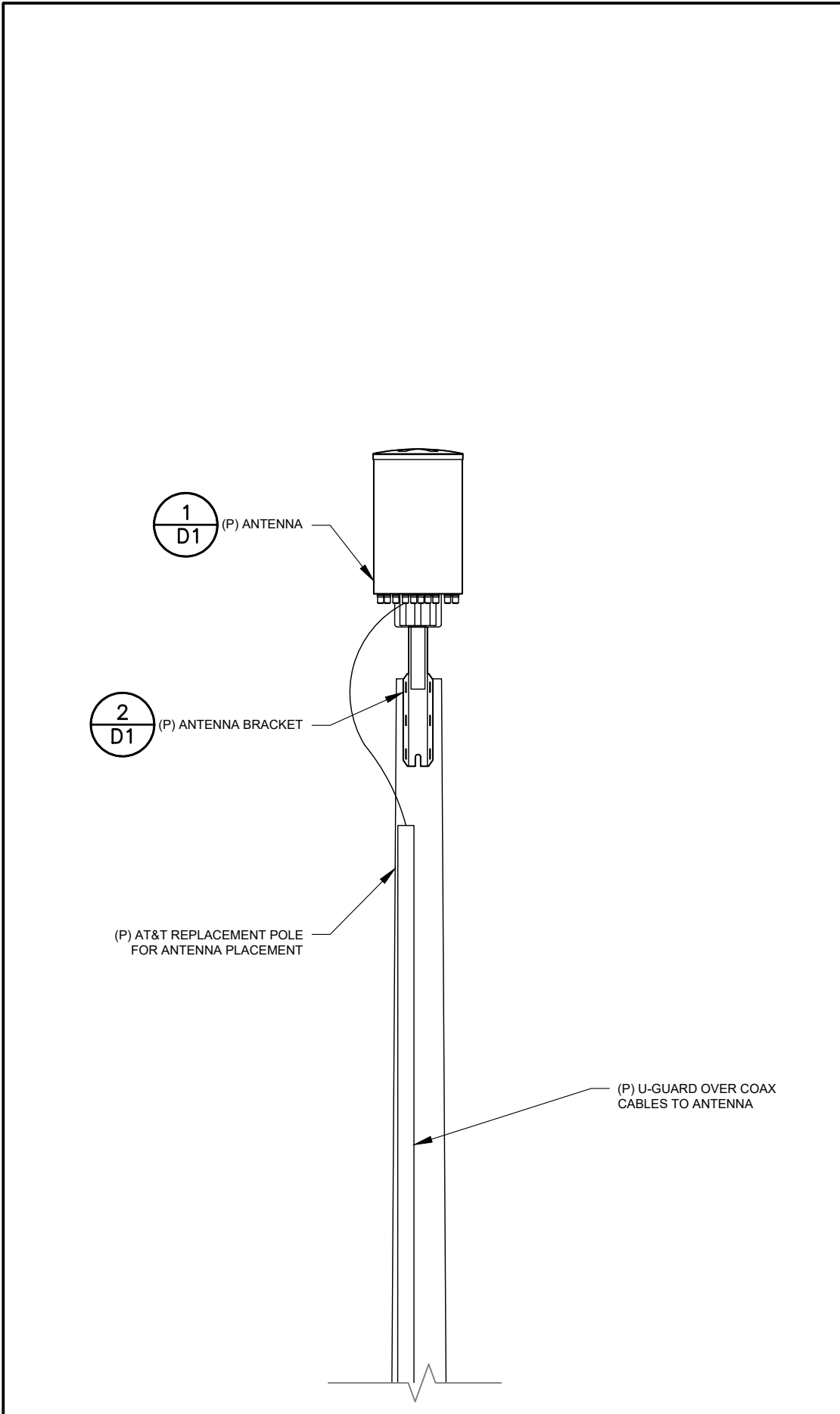
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BEVERLY HILLS, MI 48025

SHEET TITLE:

SITE ELEVATIONS

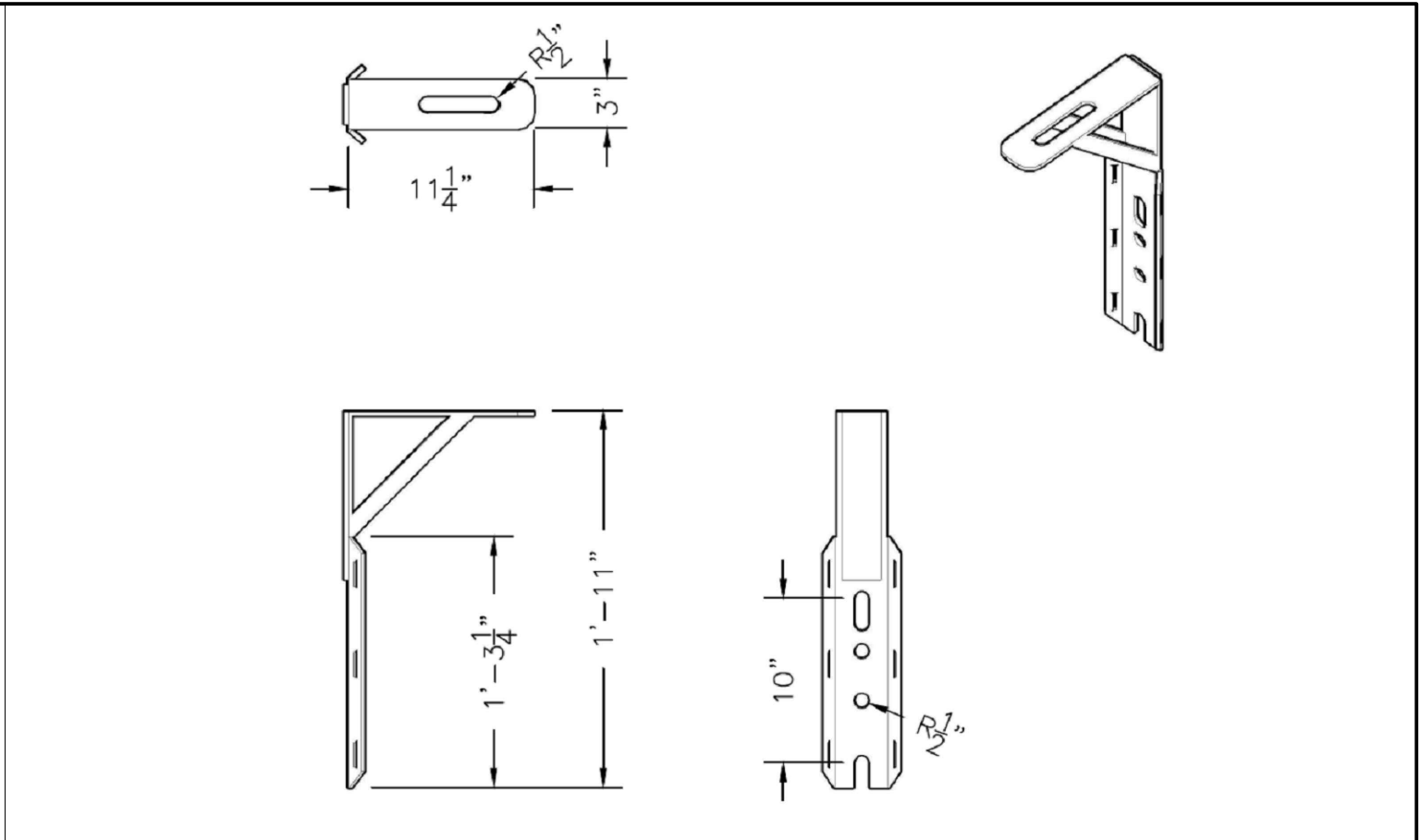
SHEET NUMBER:

A2



ANTENNA MOUNT ASSEMBLY

B-SCALE 1/2"=1'-0"  
D-SCALE 1"=1'-0"



ANTENNA MOUNTING BRACKET

B-SCALE NTS  
D-SCALE NTS

16-Port Canister Antenna  
(4x) 1695-2700 | (4x) 3300-4200 MHz  
OMNI 23.9 IN FIXED TILT

### 4U4VT360X06Fxs4

**Features**

- Pseudo omni configuration with 16 connectors
- Ideal for multi-carrier or MIMO deployments
- Broadband networks 1695-2700 and 3300-4200 MHz
- Easily removable lifting ring
- Improvements in gain, port isolation and VSWR
- Can be ordered with an integrated GPS unit
- Available for order with a grey, brown or black radome

**MECHANICAL SPECIFICATIONS**

Antenna	Height	mm (in)	608 (23.9)
	Diameter	mm (in)	371 (14.6)
Net Weight - Antenna Only		kg (lbs)	13.2 (29)
Windload	Calculation	km/h (mph)	160 (100)
	Frontal	N (lbf)	191 (43)
Survival Wind Speed		km/h (mph)	241 (150)
Wind Area		m² (ft²)	0.22 (2.4)
Volume		m³ (ft³)	0.07 (2.3)
Connector	Type	(16x) 4.3-10 Female; (1x) N-Type Female with optional GPS Unit	
	Position	Bottom	
Radome Color		Grey (Pantone 420 C), Brown (Pantone 476 C), Black (RAL 9011)	
Lightning Protection (Grounding Type)		Direct Ground	

AMPHENOL 4U4VT360X06Fxs4 ANTENNA

B-SCALE NTS  
D-SCALE NTS

APPLICANT

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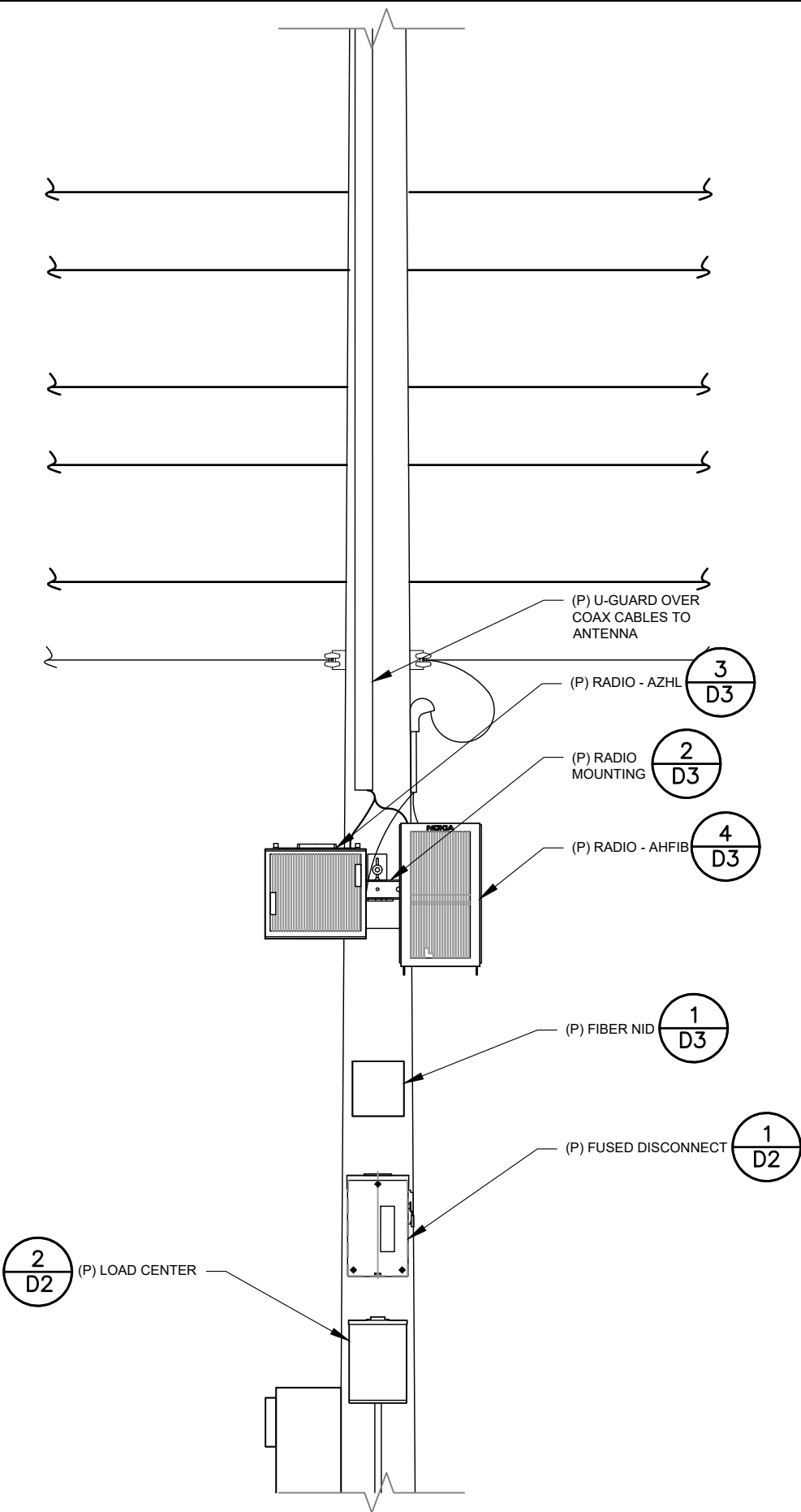
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SHEET TITLE:

EQUIPMENT DETAILS

SHEET NUMBER:

D1



POLE MOUNTED EQUIPMENT ASSEMBLY RADIO AREA

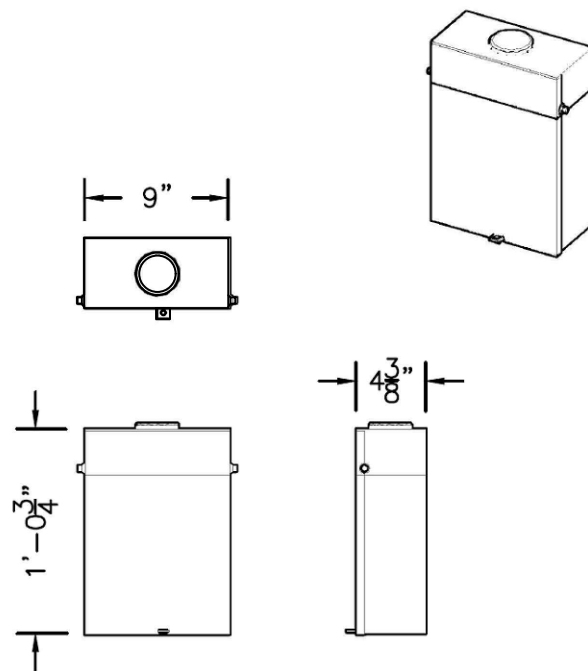
B-SCALE 1/2"=1'-0"  
D-SCALE 1"=1'-0"

3

FUSED DISCONNECT (TG4323R)

B-SCALE NTS  
D-SCALE NTS

1

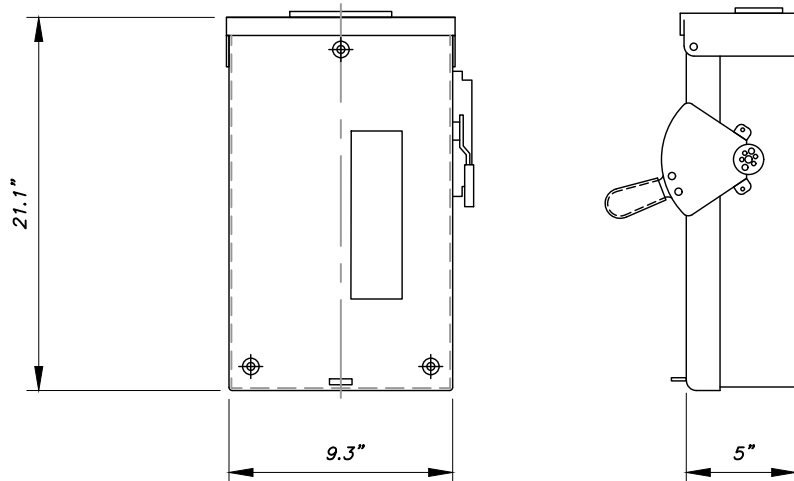


SQUARE D QO6-12L100RB  
LOAD CENTER

LOAD CENTER

B-SCALE NTS  
D-SCALE NTS

2



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FRISCO, TX 75034  
www.extenet.com

ARCHITECT/ENGINEER



49030 PONTIAC TRAIL, SUITE 100  
WIXOM, MI 48393

REVISIONS:

#	DATE	DESCRIPTION	INT.
D	01/11/24	REVISED CD	RC
C	07/28/23	REVISED CD	RC
B	04/17/23	REVISED CD	RC
A	04/11/23	CD	RC

PROFESSIONAL STAMP

PROJECT NAME:

MI-S000000017  
SMALL CELL NETWORK  
TMO ID:  
DE0825BA\_61LAB

PROJECT LOCATION:

18906 BEVERLY RD  
BEVERLY HILLS, MI 48025

SHEET TITLE:

EQUIPMENT DETAILS

SHEET NUMBER:

D2

AHFIB AirScale RRH 4T4R B25/66 160W

Product name	AirScale Dual RRH 4T4R B25/66 320W, AHFIB – 474216A
Supported Frequency bands	3GPP Bands 25 and 66
Frequencies	Band 25: DL 1930–1995MHz, UL 1850–1915MHz Band 66: DL 2110–2200MHz, UL 1710–1780MHz
Number of TX/RX ports	4/4
Instantaneous Bandwidth IBW	Band 25/ Band 66 – full band
Occupied Bandwidth OBW	Band 25: full band, Band 66: 80MHz
Output Power	40W per band, 80W per TX
Supply Voltage / Voltage Range	DC-48 V / -36V to -60V
Typical Power Consumption	525W (ETSI 24h Avg – 4x20W per band, 40W per TX port)
Antenna Ports	4 ports, 4.3–10+
Optical Ports	2 x CPRI 9.8 Gbps
ALD Control Interfaces	AlSG3.0 from ANT 1,2,3,4 and RET (Power supply ANT1 and ANT3)
Other Interfaces	External Alarm MDR-26 Serial connector (4 inputs, 1 Output) DC Circular Power Connector
Operational Temperature Range	-40°C to 55°C (with no solar load)
Dimensions (mm)	560x308x149 mm (without covers or mounting bracket)
Height x width x depth	
Volume (liters)	< 26 (without covers or mounting bracket)
Weight (kg)	< 30 (without covers or mounting bracket)
Ingress protection class	IP65
Installation options	Pole, Wall; Book mount: Vertical wall/pole, Horizontal wall
Surge protection	Class II 5kA

AirScale Multiband RRH



AHFIB 474216A

NOKIA

RADIO - AHFIB

B-SCALE	NTS
D-SCALE	NTS

4

AZHL AirScale RRH 8T8R B41 320W  
Technical data

Specification	Details
Standard	3GPP compliant, TDD
Band / Frequency range	N41/B41 2496 – 2690MHz
Max. supported modulation	256 QAM
Number of TX/RX paths	8T / 8R
Instantaneous bandwidth IBW	194 MHz
Occupied bandwidth OBW	190 MHz
Max. output power per TRX	40 W / TRX (320 W total)
Dimensions	350 mm (H) x 395 mm (W) x 190 mm (D)
Volume	26.3 l
Weight	23 kg (without mounting bracket)
Supply voltage / Connector type	DC -36 V ... -60 V / 2 pole connector
Power consumption	559 W typical (75% DL duty cycle, ETSI 24H Average) 1140 W max (75% DL duty cycle, 100% RF load)
Antenna ports, Calibration port	8 x 4.3–10, 1 x 4.3–10
ALD Control Interfaces	Control AlSG2.0/3.0,
Optical ports	2 x SFP28, 9.8G CPRI, 10/25GE eCPRI (Octis Boot)
Other interfaces / Connector type	External Alarms / MDR26,
Operational temperature range	-40 °C ... +55 °C
Cooling	Natural convection cooling
Installation options	Pole, Wall, Book
Ingress / Surge protection	IP65, DC-port Class II +/- 5kA
Supported RAT	TD-LTE, NR

AirScale High Power RRH  
benefits

- Connectivity with AirScale BBU (via CPRI/eCPRI) – Initial release with CPRI
- Beamforming capable 8T8R with 8x 40 W
- Various operating modes: 8T8R, 2x 4T4R and 4x 2T2R
- Deployment flexibility for different use cases with multiple mounting options



AZHL 475432A

NOKIA

RADIO - AZHL

B-SCALE	NTS
D-SCALE	NTS

3

POLE MOUNTED FIBER NID (FIS-Z1602FTTX)

FIS FTTX INTERCONNECT ENCLOSURES -  
Z1602FTTX



- FEATURES**
- Provides slack 3 meters storage for minor repairs and testing
  - Accommodates up to 6 drop connections
  - Can be mounted indoors or outdoors where space is limited
  - Protects fiber and connections for long life

This FIS fiber transition housing (FTH) provides an optical demarcation and interconnection point for fiber-to-the-premises (FTTP) applications. Suitable for indoor or outdoor locations, the FTH provides physical protection for the transition between provider and customer, and facilitates system testing. Fiber entering and exiting the housing may be secured using the internal lances with the tie wraps. Slack cable is held neatly and securely using the backplate with integrated slack routing/management guides. The backplate also incorporates mounting clips for fusion or mechanical splices. The housings are molded from an engineering grade thermoplastic selected to withstand harsh outdoor environments. These housings may be installed on a wall or secured to a vertical conduit. Unauthorized access is deterred by the security screw latch. For added security, a lock may be installed on the integrated locking hasp.

SPECIFICATIONS

Dimensions	8.42"H x 7.92"W x 2.5"D
Temperature Range, Storage	-10 °C - 60 °C (14 °F - 140 °F)
Housing Material	Thermoplastic
Number of Adapters/Drop Cables	(6) SC Simplex or (6) LC Duplex Adapters and (6) Pre Term Drop Cables
Ground Configuration	Ground Post
Security Fasteners	Standard 3/8-in hex screw

B-SCALE	NTS
D-SCALE	NTS

1

APPLICANT



5844 JOHN HICKMAN PKWY, SUITE 600  
FRISCO, TX 75034  
www.extenet.com

ARCHITECT/ENGINEER



49030 PONTIAC TRAIL, SUITE 100  
WIXOM, MI 48393

REVISIONS:

D	01/11/24	REVISED CD	RC
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PROFESSIOINAL STAMP

PROJECT NAME:

MI-S000000017  
SMALL CELL NETWORK  
TMO ID:  
DE0825BA\_61LAB

PROJECT LOCATION:

18906 BEVERLY RD  
BEVERLY HILLS, MI 48025

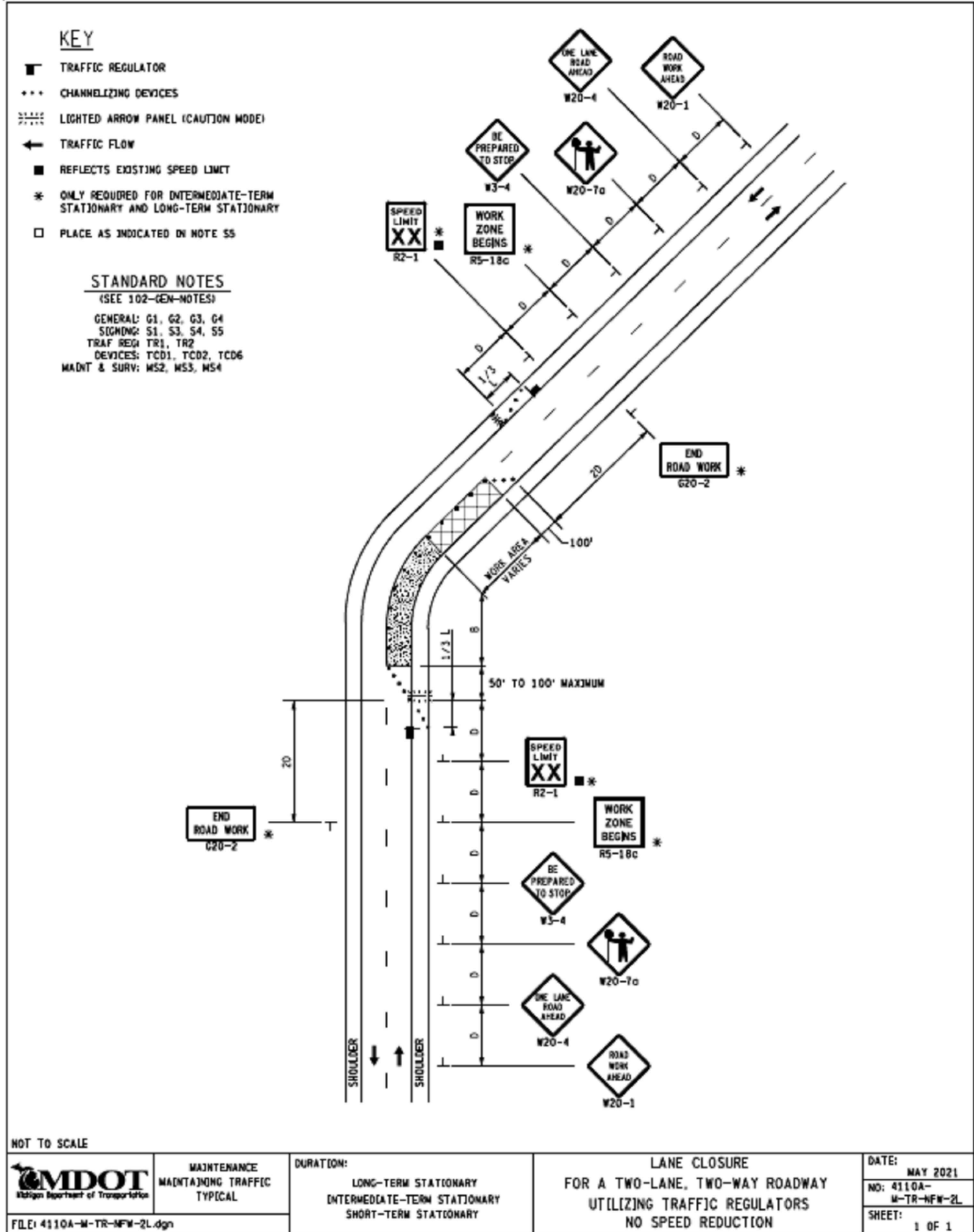
SHEET TITLE:

EQUIPMENT DETAILS

SHEET NUMBER:

D3





APPLICANT

CONNECTIONS FOR LIFE

5844 JOHN HICKMAN PKWY, SUITE 600  
FRISCO, TX 75034  
www.extenet.com

ARCHITECT/ENGINEER

SMJ International  
49030 PONTIAC TRAIL, SUITE 100  
WIXOM, MI 48393

REVISIONS:

#	DATE	DESCRIPTION	INT.
D	01/11/24	REVISED CD	RC
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PROFESSIONAL STAMP

PROJECT NAME:

MI-S000000017  
SMALL CELL NETWORK  
TMO ID:  
DE0825BA\_61LAB

PROJECT LOCATION:

18906 BEVERLY RD  
BEVERLY HILLS, MI 48025

SHEET TITLE:

TRAFFIC CONTROL  
PLAN

SHEET NUMBER:

MDOT



**To: Honorable President George and Village Council**

**From: Jeff Campbell, Village Manager**

**Date: 1/12/24**

**RE: Riverside Bridge Rehabilitation Project Proposal**

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The Riverside Bridge is in need of repairs. Over the last several months, Council has discussed the scope of the proposed rehabilitation of Riverside Bridge. Attached for your review and consideration is the proposal from HRC that sets forth the rehabilitation work to be done on the bridge. This proposal was finalized after several discussions with Council. The anticipated construction budget is \$342,000 with an engineering budget of \$88,920 for a total project cost of \$430,920. Approximately half of the engineering costs will be expended in fiscal year 2024. A budget amendment will be required for these engineering costs. There are ample funds in the Major Road Fund (Fund 202) for said amendment. Brad Shepler from HRC will be present at the meeting to answer any additional questions or concerns.

#### **RESOLUTION FOR CONSIDERATION**

Be it resolved that the Beverly Hills Village Council approves HRC's proposal to conduct repairs to Riverside Bridge and authorizes Administration to go out to bid for the project. The total project cost, including engineering services, shall not exceed \$430,920. Funding is available in Fund 202 (Major Roads).



December 14, 2023

Village of Beverly Hills  
18500 W. 13 Mile Rd.  
Beverly Hills, MI 48025

Attn: Jeffrey Campbell, Village Manager

Re: Proposal for Professional Engineering Services:  
Riverside Bridge Rehabilitation Project

HRC Job No. 20230111

Dear Mr. Campbell:

In accordance with your request, Hubbell, Roth and Clark, Inc. (HRC) is pleased to submit this budgetary engineering services proposal for preliminary, design and construction engineering services for the Riverside Bridge Rehabilitation Project crossing the Rouge River in the Village of Beverly Hills. This bridge rehabilitation project is based on Village authorization to proceed with Option B as described in HRC's Memorandum, dated November 2, 2023 (attached).

**PROJECT UNDERSTANDING:**

HRC will provide contract documents for the bridge deck rehabilitation work as described in HRC's Memorandum dated November 2, 2023, for Option B, the removal and offsite disposal of the bridge deck barriers' inlaid sandstone façade, and for repairs to the barrier concrete inlaid area (behind the sandstone facade) as necessary. HRC understands this project shall be constructed in the 2024 construction season after July 1<sup>st</sup> (FY25) and that during construction, the bridge will be closed to vehicular and pedestrian traffic. In addition, HRC will provide bidding assistance, construction engineering, full-time construction observation, material testing and contract administration.

**SCOPE OF SERVICES:**

HRC will provide the following engineering services for this rehabilitation project:

- Task 1 Conduct and review preliminary design engineering.
- Task 2 Communicate with the Village personnel throughout the design process, including status meetings.
- Task 3 Prepare contract plans, specifications and update the construction cost estimate. We will prepare these documents based on repair priorities and assign individual pay items. This approach will provide the Village with the most flexibility to not exceed the anticipated construction budget.
  - a. Provide the Village with a 60% Owners Review set of contract documents.
  - b. Provide the Village with a 90% Owners Review set of contract documents.
  - c. Provide the Village with a 100% Issued for Bids set of contract documents.
- Task 4 Prepare, submit, and obtain all necessary permit applications.
- Task 5 Assist the Village through the advertising and bidding process.
- Task 6 Evaluate bids, prepare bid tabulations, and make recommendations for the contract award.
- Task 7 Conduct and memorialize the pre-construction meeting.
- Task 8 Review all construction documentation submitted by the Contractor such as steel reinforcement shop drawings, material types, grades, and material certificates for project approval.
- Task 9 Provide full time construction observation during construction.
- Task 10 Perform concrete material testing.
- Task 11 Hold and document bi-weekly construction progress meetings.

- Task 12 Address all construction issues, including RFI's and RFQ's throughout the duration of the project.
- Task 13 Provide contract administration include review and authorization of Contractors' requests for payment.
- Task 14 Hold and document final punch list and site restoration meeting.
- Task 15 Final Contract Administration.

**FEE OF SERVICES:**

We would anticipate the construction cost to be approximately: Option B \$282,000 plus bridge barrier inlay removal at \$60,000, for a total construction cost of about \$342,000. Our bridge rehabilitation preliminary and detailed design fees typically average about 10% and construction engineering and administration typically average about 16%, of the total construction cost. Therefore, we would propose a bridge rehabilitation engineering services budget, not to exceed without prior Village authorization, of \$88,920. A breakdown of the items of work within each task along with our estimated hours and associated fees are provided in Table 1 (attached).

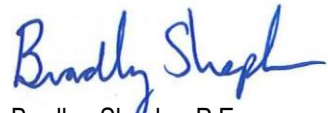
Our bridge rehabilitation design team would consist of Daniel Mitchell, P.E., President will be the Principal In-Charge, Bradley Shepler as the Managing Engineer, Richard B. Nacey, P.E. Structural Department Head, Krista Schoonveld, P.E. Staff Structural Engineer and Jack Nagle, P.E. Project Civil Engineer. We believe you are familiar with all these individuals but can provide detailed resumes upon request.

We will provide a detailed schedule of design and construction events based on an April 2024 bid award, upon authorization of this proposal.

Thank you again for the opportunity to submit this proposal. If you have any questions or require any additional information, please contact the undersigned.

Very truly yours,

HUBBELL, ROTH & CLARK, INC.



Bradley Shepler, P.E.  
Senior Associate

RBN/ bws

Attachment: HRC Memo Deck Options 11/02/2023

pc: Village of Beverly Hills; Neil Johnston  
HRC; D. Mitchell, R. Nacey, J. Nagle, K. Schoonveld, File



**VILLAGE OF BEVERLY HILLS  
RIVERSIDE BRIDGE REHABILITATION PROJECT  
ENGINEERING SERVICES**

**TABLE 1  
ESTIMATED HOURS AND FEES**

December 13, 2023

HRC Job No. 20230111

Task Description		Senior Associate	Structural Department Head	Structural Engineer	Civil Engineer	CADD Technician	Construction Observer	Total Hours	Estimated Fees
Design	1 Preliminary Design Engineering	6	4	15		-		25	\$ 3,533
	2 Communications with the Village Throughout Project	6				-		6	\$ 1,020
	3 Prepare Contract Plans:							-	
	a. 60% Owners review	1	5	25	20	40		91	\$ 11,115
	b. 90% Owners Review	1	5	30	25	40		101	\$ 12,335
	c. 100% Issued for Bids	1	5	15	5	25		51	\$ 6,340
	4 Permit Applications	2		5	15	2		24	\$ 3,038
	5 Advertisement and Bidding Assistance	1	2	2	2			7	\$ 1,022
	6 Evaluation of Bids and Recommendations	1		3	1			5	\$ 652
								310	\$ 39,055
Construction	7 Pre Construction Meeting	2		2	2			6	\$ 828
	8 Shop Drawing and Materials Review		2	25	5			32	\$ 3,964
	9 Full Time Construction Observation						280	280	\$ 33,040
	10 Concrete Material Testing						35	35	\$ 4,130
	11 Bi-Weekly Meetings	10		10				20	\$ 2,890
	12 Address RFIs & RFQ		2	10				12	\$ 1,554
	13 Contract Administration including Payment Requests	10		2				12	\$ 1,938
	14 Final Punch list Site Restoration Meeting	2		2	2			6	\$ 828
	15 Final Contract Administration	2		3				5	\$ 697
								408	\$ 49,869
<b>ENGINEERING SERVICES PROJECT TOTALS</b>		<b>45</b>	<b>25</b>	<b>149</b>	<b>77</b>	<b>107</b>	<b>315</b>	<b>718</b>	<b>\$ 88,924</b>

718

**ESTIMATED FEE SUMMARY**

Notes:

- 1 Anticipate construction duration of 8 weeks
- 2 Observation full time except first and last week
- 3

PERSONNEL	HOURS	RATE	TOTAL
Senior Associate	45	\$170.00	\$ 7,650.00
Structural Department Head	25	\$182.00	\$ 4,550.00
Structural Engineer	149	\$119.00	\$ 17,731.00
Civil Engineer	77	\$125.00	\$ 9,625.00
CADD Technician	107	\$114.00	\$ 12,198.00
Construction Observer	315	\$118.00	\$ 37,170.00
	718		
			<b>\$ 88,924.00</b>

# Memorandum

---

To: Brad Shepler, P.E.

From: Krista Schoonveld, P.E. and Rich Nacey, P.E.

Date: November 2, 2023

Subject: Village of Beverly Hills  
Riverside Bridge Deck Rehabilitation Options

HRC Job No. 20230111

As requested, on July 7, 2023, Rich Nacey and Krista Schoonveld completed an updated site investigation regarding the deterioration observed in the deck and sidewalk of the Riverside Bridge crossing over the Rouge River, just east of Evergreen Road. This bridge consists of 36" wide x 33" deep reinforced concrete box beams and a 6" reinforced concrete deck.

Site observations include reflective longitudinal cracking in the deck full span length, diagonal and random deck cracking in each quadrant, as well as several transverse cracks mostly along the east approach joint, spalling and delamination of the concrete deck in the northeast and northwest quadrants, and minor efflorescence between the adjacent box beam joints on the underside of the deck. The majority of efflorescence noted on the underside was noted along the second joint from the upstream fascia beam below the sidewalk, along with some minor longitudinal cracking in the beams at this joint. Efflorescence and cracking were also observed in the post-tensioning grout pockets.

## Observations of Significance:

- Cracking, deterioration, and delamination of the deck noted in the northeast and northwest quadrants.
  - Northeast quad approximately 95 square feet
  - Northwest quad approximately 35 square feet
- Cracking located along the deck and approach joint was noted.
- Significant deterioration and delaminations noted in the upstream sidewalk. Totalling approximately 380 square feet.
- Deterioration and delamination noted along the deck joint of the downstream sidewalk. Totalling approximately 170 square feet.
- Efflorescence along the box beam underside below the upstream sidewalk.
- Cracking and spalling along the top of the concrete railing.
  - Upstream rail approximately 34 linear feet.
  - Downstream rail approximately 16 linear feet.
- Overall good condition of the underside of all box beams.
- Efflorescence and cracking in post-tensioned grout pockets.
- Box Beams are in exceptionally good condition, considering their age.
- Substructure units noted to be in good condition, with small local spalls and a few hairline cracks.

### **Evaluation:**

Moisture and salt laden water has migrated under the concrete sidewalk along the sidewalk/deck joint and due to freeze-thaw cycles has caused the concrete sidewalk surface to deteriorate, scale and delaminate from the deck. In addition, moisture and salt laden water has also migrated under the concrete deck along the approach joints and due to freeze thaw cycles, has caused the concrete deck surface to delaminate from the box beams. It is our opinion that the deterioration is likely limited to the concrete deck and sidewalk and does not extend into the top flange of the box beam. The efflorescence noted along the box beam joints indicates the water is likely leaking under the sidewalk and deck and migrating through the box beam joints. The box beams were noted to be in good condition, considering their age, but if the water migration is not addressed, continued deterioration of the concrete sidewalk and deck will persist, and detrimental deterioration of the box beams is expected.

### **Prioritized Recommendations (Higher to lower):**

1. Replace cracked and delaminated concrete deck in the northeast and northwest quadrant along the approach joint. During removal operations the box beam top flanges should be evaluated.
2. Replace cracked, spalled and delaminated concrete sidewalks.
3. Clean, repair and apply hot pour joint sealant to each approach joint.
4. Clean, repair and reestablish the sidewalk to deck joint and apply hot pour joint sealant.
5. Apply a silane-based penetrating sealant to all exposed surfaces of the concrete deck, sidewalk, and railing to seal all cracks.
6. Replace cracked and spalled concrete along top of bridge railing.
7. Replace deteriorated grout in post-tensioned pockets.

The above noted repairs should be combined into a bridge maintenance project.

### **Note:**

The grouted sandstone inlaid façade in the bridge barrier railing has experienced significant deterioration. While not a structural component of the bridge, the facade deterioration impacts the aesthetic value of the bridge and replacement is recommended, should budget allow.

### **Comparison: Preliminary Opinion of Construction Costs:**

For comparison purposes, cost estimates were prepared for an entire superstructure replacement and a rehabilitation option. Future dollars were not part of this comparison. The estimated service life of each option provides the estimated life span of the structure given appropriate maintenance be completed. A life cycle cost comparison for two options is as follows considering anticipated maintenance and any required rehabilitation to extend the service life is completed:

**Option A – Superstructure Replacement:** Reuse existing substructure, no substructure repairs, new box beams, new deck and railing and minor approach pavement work:

Estimated Service Life .....	30 years
Estimated Construction Costs .....	\$1,400,000
Estimated Maintenance Costs (≈\$9,300/yr) .....	\$280,000
<b>Total at End of 30 Years .....</b>	<b>\$1,680,000</b>

**Option B – Rehabilitation of the Superstructure:** Repair deck delaminations, partial sidewalk replacement, partial barrier replacement using concrete form liners, beam grout pocket repairs, pressure injection of cracks in beams:

Estimated Service Life.....	15 years
Estimated Construction Costs .....	\$285,000
Estimated Maintenance Costs (≈\$13,600/yr) .....	\$410,000
Estimated Future Rehabilitation Costs .....	<u>\$270,000</u>
<b>Subtotal at End of 30 Years (without Partial Barrier Replacement) ..</b>	<b>\$965,000</b>

Estimated Partial Barrier/Facade Replacement.....	<u>\$130,000</u>
<b>Total at End of 30 Years .....</b>	<b>\$1,095,000</b>

Note: All Cost Estimates are based on 2023 dollars (ENR CCI: 13497.97).

### **Recommendation:**

Given the condition of the existing box beams and substructure units and the lower life cycle costs, we recommend the Village pursue the bridge rehabilitation option (Option B) for repair of the Riverside Bridge. We do not feel that complete superstructure replacement of the bridge (Option A) is necessary at this time.

## PURPOSE

Engineer's #8223 Riverside Bridge

Owner:	City of Beverly Hills	Est. Date:	11/1/2023
Project:	2023 Riverside Bridge Repairs	Project No.	20230111
Work:	Option A - Superstructure Replacement	Prepared By:	K. Schoonveld
		Checked By:	R. Nacey

Basis of Estimate:	Concept:	BOD:	Design:
	Prelim: x	Revised:	Final:

<u>Item No.</u>	<u>Prioritized Item</u>	<u>Quantity</u>	<u>Unit</u>	<u>Unit Price</u>	<u>Sub Total</u>
1	Structures, Rem	1	LS	\$ 165,000.00	\$ 165,000
2	Backfill, Structure, CIP	65	CY	\$ 23.33	\$ 1,516
3	Excavation, Fdn	130	CY	\$ 17.50	\$ 2,274
4	Aggregate Base, LM	65	Cyd	\$ 80.00	\$ 5,200
5	HMA Surface, Rem	195	SY	\$ 15.00	\$ 2,925
6	HMA, 5E10	7	TON	\$ 400.00	\$ 2,800
7	Prest Conc Box Beam, Furn, 33 inch	1148	Ft	\$ 475.00	\$ 545,300
8	Prest Conc Box Beam, Erect, 33 inch	1148	Ft	\$ 70.00	\$ 80,360
9	Superstructure Conc	130	Cyd	\$ 350.00	\$ 45,500
10	Superstructure Conc, Form, Finish, and Cure	1	LSUM	\$ 145,000.00	\$ 145,000
11	Bridge Railing, Aesthetic Parapet Tube	164	Ft	\$ 260.00	\$ 42,640
12	Reinforcement, Steel, Epoxy Coated	29250	LB	\$ 2.00	\$ 58,500
13	Underdrain, Fdn, 4 inch	170	Ft	\$ 15.00	\$ 2,550
14	Water Repellent Treatment, Penetrating	640	SY	\$ 58.32	\$ 37,325
15	Traffic Control	1	LS	\$ 11,664.00	\$ 11,664
	<u>Mobilization</u>	10%			\$ 114,855
	<u>Contingencies</u>	10%			\$ 114,855
<b><u>Superstructure Replacement Construction Subtotal:</u></b>					<b>\$ 1,400,000</b>
*1	Deck and Approach Joint Repairs (every 2 years)	10	LS	\$ 7,650.00	\$ 76,500
*2	Water Repellent Treatment, Penetrating, Future (every 5 years)	4	LS	\$ 37,325.00	\$ 149,300
	<u>Mobilization</u>	10%			\$ 22,580
	<u>Contingencies</u>	10%			\$ 22,580
<b><u>Future Preventative Maintenance Construction Subtotal:</u></b>					<b>\$ 280,000</b>
<b><u>Engineer's Preliminary Opinion of Probable Construction Cost:</u></b>					<b>\$ 1,680,000</b>
<b><u>Engineer's Preliminary Opinion of Probable Cost per year:</u></b>					<b>\$ 56,000</b>

Engineer's Note: This estimate does not include design fees or project management fees. This estimate is for construction costs only. Estimate is based on 2023 dollars. This option assumes no modifications of the substructure are required to replace the superstructure in kind and full closure of the bridge will occur during construction. Replacement of the superstructure assumes a 30 year service life before rehabilitation is required. Maintenance items up to 30 years are included.  
\* Likely not required the first 10 years after superstructure replacment



## PURPOSE

Engineer's Preliminary Opinion of Probable Construction Cost

Owner:	City of Beverly Hills	Est. Date:	11/1/2023
Project:	#8223 Riverside Bridge Rehab	Project No.	20230111
Work:	Option B - Deck, Sidewalk, & Barrier	Prepared By:	K. Schoonveld
		Checked By:	R. Nacey

Basis of Estimate:	Concept:	BOD:	Design:
	Prelim: x	Revised:	Final:

Item No.	Prioritized Item	Quantity	Unit	Unit Price	Sub Total
1	Deck Delamination Repair	130	SF	\$ 438.00	\$ 56,940
2	Concrete Sidewalk Repair	550	SF	\$ 205.00	\$ 112,750
3	Deck and Approach Joint Repairs	250	Ft	\$ 30.00	\$ 7,500
5	Water Repellent Treatment, Penetrating	600	SY	\$ 59.00	\$ 35,400
4	Railing Coping Repair	50	Ft	\$ 175.00	\$ 8,750
6	Post Tension Grout Pocket Repairs	10	SF	\$ 175.00	\$ 1,750
7	Pressure Injection	200	LF	\$ 59.00	\$ 11,800
	Mobilization	10%			\$ 23,489
	Contingencies	10%			\$ 23,489
<b>Current Rehabilitation Construction Subtotal:</b>					<b>\$ 282,000</b>
1	Deck and Approach Joint Repairs (every 2 years)	15	LS	\$ 7,650.00	\$ 114,750
2	Water Repellent Treatment, Penetrating, Future (every 5 years)	6	LS	\$ 37,325.00	\$ 223,950
	Mobilization	10%			\$ 33,870
	Contingencies	10%			\$ 33,870
<b>Future Preventative Maintenance Construction Subtotal:</b>					<b>\$ 410,000</b>
1	Deck Delamination Repair	200	SF	\$ 438.00	\$ 87,600
2	Concrete Sidewalk Repair	550	SF	\$ 205.00	\$ 112,750
3	Railing Coping Repair	50	Ft	\$ 175.00	\$ 8,750
4	Post Tension Grout Pocket Repairs	10	SF	\$ 175.00	\$ 1,750
5	Pressure Injection	200	LF	\$ 59.00	\$ 11,800
	Mobilization	10%			\$ 22,265
	Contingencies	10%			\$ 22,265
<b>Future Major Maintenance Construction Subtotal:</b>					<b>\$ 270,000</b>
1	Superstructure Conc	17	Cyd	\$ 350.00	\$ 5,950
2	Aesthetic Texturing	55	Syd	\$ 900.00	\$ 49,500
3	Structures, Rem, Portion	1	LS	\$ 50,000.00	\$ 50,000
	Mobilization	10%			\$ 39,772
	Contingencies	10%			\$ 39,772
<b>Partial Barrier Replacement Construction Subtotal:</b>					<b>\$ 190,000</b>
<b>Engineer's Preliminary Opinion of Probable Construction Cost:</b>					<b>\$ 1,152,000</b>
<b>Engineer's Preliminary Opinion of Probable Cost per year:</b>					<b>\$ 38,400</b>

Engineer's Note: This estimate does not include design fees or project management fees. This estimate is for construction costs only. Estimate is based on 2023 dollars.  
Major maintenance of the deck, sidewalk and barrier coping assumes a 15 year service life before rehabilitation is required.  
Preventative maintenance items and future anticipated major maintenance for 30 years are included.



**To: Honorable President George and Village Council**

**From: Mark Stec, Planning & Zoning Administrator**

**Date: 1/12/24**

**RE: Amendment to Building Permit Fee Schedule**

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In May of 2020, Village Council approved a Building Permit Fee Schedule. Over the last six months, the Building Department discovered that there is an instance where the Village permit fees are extremely high compared to all our neighboring communities. Specifically, for example, when a resident replaces all of the windows in their home, they are charged as if they were structurally altering all the windows. This results in a high permit fee for non-structural changes in a house requiring only one inspection by the building official. Other surrounding communities have specific fees for non-structural replacements of roofs, windows, door, and siding replacements to ensure their typical building fees do not apply to non-structural modifications to a home.

Thus, the Administration is requesting approval to amend the Building Department Fee Schedule passed by resolution in May of 2020 to establish a maximum permit fee in the amount of \$400 for residential projects that do not involve structural alterations. The types of projects that would be affected may include, but are not limited to, the following: window and door replacements, siding replacement, and roof replacements. The permit fee would be calculated based on the valuation of the project as currently established in the Fee Schedule but would be limited to a maximum fee of \$400.

In addition, there have recently been situations where damage has occurred to village roads during new construction and addition projects. When damage has occurred, such as most recently was the case on Embassy Street, the Village is left to bear the costs of repair. To deter such damage from being caused to village roads, and/or to cover the costs of repair when damage does occur, the Building Department is requesting approval to amend the Building Department Fee Schedule to include a refundable "Road Preservation Bond" in the amount of \$5,000.

#### **RESOLUTION FOR CONSIDERATION**

Be it resolved that the Beverly Hills Village Council approves the proposed amendments to Building and Planning Department Fee Schedule, establishing a maximum permit fee of Four Hundred Dollars (\$400) for residential projects that do not require structural alterations and establishing a Road Preservation Bond of Five Thousand Dollars (\$5,000) for new construction or addition projects that abut Village roads.



**To: Village Council**

**From: John George, Council President**

**Date: 1/12/24**

**RE: RFP for Legal Services**

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## **Legal Services Request for Proposal**

### **Background**

Periodic reviews of the services purchased by the Village are a healthy way to assure that we are buying the appropriate level of services from the most appropriate vendors at a market-competitive price. It has been a stated goal of this council to review all professional service contracts that have not been reviewed or marketed recently.

### **Proposed Format of the Request for Proposal (RFP)**

The current format for legal services provided to the village is composed of

- a) legal services to Village Council
- b) Legal Services to Public Safety

The RFP will consist of Legal Services to Village Council with the option to include Legal Services to Public Safety should, after consultation with the Director of Public Safety, they wish to participate.

The RFP document has been reviewed and modified by the Personnel Committee for the needs of the Village.

A suggested timeline:

Council approval of RFP	January 16, 2024
RFP posted to Michigan Intergovernmental Trade Network (MITN)	January 19, 2024
Deadline for responses to RFP	February 20, 2024
Personnel Committee reviews RFP responses and interviews most qualified respondents	Feb – March 2024
Personnel Committee makes vendor recommendation to Council	March 19 or April 2

### **Proposed Resolution**

Be it resolved that the Village of Beverly Hills Council authorize the posting of the Legal Services RFP on MITN and tasks the Village Council Personnel Committee to interview respondents and to make a recommendation of best fit for legal services provider.

**REQUEST FOR PROPOSALS**  
**FOR**  
**VILLAGE OF BEVERLY HILLS, MICHIGAN**

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January 2024

Prepared By:

Village of Beverly Hills  
18500 W. 13 Mile Road  
Beverly Hills, MI 48025  
(248) 646-6404

## **VILLAGE OF BEVERLY HILLS**

### **LEGAL SERVICES/ATTORNEY SERVICES**

#### **SPECIFICATIONS**

##### **I. INTENT**

The Village of Beverly Hills seeks qualified law firms to serve as contracted Village Attorney and provide other legal services encompassing the traditional scope of work including legal counsel, opinions, consultation, and coordination with special counsel.

Preference will be given to those submittals demonstrating extensive experience in municipal law. The successful applicant(s) shall possess sufficient resources to ensure that the demands for the Village's legal needs will be met on a timely basis. This relationship will be on a consulting or contractual basis, as opposed to a staff position.

The Village Attorney will provide general legal counsel to the Village Council, the Village Manager, and appointed officers of the Village; provide written opinions, draft ordinances and ordinance amendments and provide legal assistance to all Village departments in their conduct of Village business.

The Village of Beverly Hills seeks a fixed fee arrangement, payable in equal monthly installments, for identified legal services. The Village also wishes to identify a fee schedule or other identified services. However, the Village is open to alternate fee arrangements.

For information about The Village of Beverly Hills, visit [www.villagebeverlyhills.com](http://www.villagebeverlyhills.com).

##### **II. TERM OF AGREEMENT**

This contract is for a two-year period starting \_\_\_\_\_ and expiring \_\_\_\_\_. The Village shall have the right to extend this contract for one additional two-year term. Renewal of the appointment/contract will require reauthorization by the Village Council. If both parties cannot agree on prices for a contract extension, the existing contract will be allowed to expire and the contract work will be rebid.

##### **III. SCOPE OF WORK**

Under the proposed agreement, the Village Attorney will provide the following services on a fixed fee arrangement:

1. Provide legal advice, counsel, services, and consultation to the Village Manager, Village Council, elected officials, appointed department heads, boards and commissions, and all levels of Village government on a wide variety of civil assignments, including but not limited to: general municipal law, general state and federal laws relating to Village government, public disclosure issues, laws against

discrimination, ordinance and resolution development and interpretation, land use law, municipal leases, and interpretation of the Village Charter.

2. As prosecutor, represent the Village and the Department of Public Safety in all misdemeanor and Civil Infraction cases before the 46<sup>th</sup> District Court, and all related duties.
3. Answer requests for legal opinions, in writing and verbally. Prepare written legal opinions at the request of the Village Council, or the Village Manager. Availability to answer staff questions by telephone.
4. Appear before courts and administrative agencies to represent the Village's interests.
5. Cooperate with any special legal counsel retained by the Village for special projects. Coordinate with other special counsel, as needed, to assure proper management of legal issues, and proper coordination and transition of legal information among special counsel.
6. Provide guidance and legal advice on the Open Meetings Act, the Freedom of Information Act, Robert's Rules of Order, and Board rules and procedures.
7. Assist officials and employees to understand the legal roles and duties of their respective offices and interrelationships with others.
8. Assist Village officials and employees to maintain awareness of ethical standards and appearance of fairness standards, and to avoid potential conflicts of interest, prohibited transactions and the appearance of prohibited transactions.
9. Prepare and review ordinances and resolutions for legal correctness and acceptability.
10. Prepare and review contracts, leases, and other documents for legal correctness and acceptability. Negotiates said contracts, leases, and other documents upon request.
11. Review and redraft various Village policies for legal correctness and acceptability if necessary
12. Attendance at all Village Council meetings – others, as necessary.
13. Performs other legal services and tasks, as requested.

#### **IV. GENERAL SPECIFICATIONS**

The following provisions will also apply.

1. Timeliness of response and accessibility to the Village Attorney is an important aspect of this service. Accessibility and responsiveness are of greatest importance, although these elements will also be considered in relation to other attorney(s) as well. Accessibility includes the ability to be generally available to attend meetings in person on short notice and the ability to be reached promptly by telephone, cell phone, or e-mail.



2. Service response is also of high importance. When the Village requests legal services, the Village Attorney should provide some estimated time of completion and keep the requesting party apprised of any delays or special considerations.
3. The Village does not offer space for offices in a Village location.
4. Describe malpractice insurance coverage: carrier, limits, and exemptions.
5. The service provider shall provide detailed itemized statements on a monthly basis.

## **V. CONTRACT ETHICS**

1. No elected official or employee of the Village who exercises any responsibilities in the review, approval, or implementation of the proposal or contract shall participate in any decisions, which affects his or her direct or indirect personal or financial interest.
2. It is a breach of ethical standards for any person to offer, give or agree to give any Village employee or elected official, or for any Village employee or elected official to solicit, demand, accept, or agree to accept from another person or firm, a gratuity or an offer of employment whenever a reasonably prudent person would conclude that such consideration was motivated by an individual, group or corporate desire to obtain special, preferential, or more favorable treatment than is normally accorded to the general public.
3. The firm shall not assign any interest in this contract and shall not transfer any interest in the same without the prior written consent of the Village.
4. The firm shall not accept any client or project that places it in a conflict of interest with its representation of the Village of Beverly Hills.

## **VI. PROPOSAL SUBMISSION**

Proposals received after the deadline will not be accepted. It is the responder's responsibility to assure that a proposal is received in a timely manner.

The Village will not reimburse any expenses incurred by the responder including, but not limited to, expenses associated with the preparation and submission of the response and/or attendance at interviews.

Interested firms shall submit a fixed fee price for identified legal services. The fixed fee price shall include all labor, material, and equipment necessary for the performance of this contract. Interested firms shall also submit a fee schedule for legal services outside of the Scope of Work.

The Village expects all submitting firms to consent to the Scope of Work and General Specifications. Exceptions desired must be clearly noted in the proposal submittal.

The Village reserves the right to reject any and all proposals, to waive irregularities and informalities, to request additional information from all responders, and further reserves

the right to select the proposal which furthers the best interests of the Village of Beverly Hills.

Each proposal shall be considered binding and in effect for a period of ninety (90) days following the proposal opening.

All proposals shall contain the following information:

1. **Firm Experience**

- Provide a brief background history of the firm, and number of attorneys employed. An organizational chart or description of office organization would be helpful.
- Identify the specific experience of the firm in specialized areas, including but not limited to municipal issues including parliamentary procedures, open meetings, FOIA, elected official, municipal finance, land use, zoning, growth management, environmental law, inter-local agreements, Building Code, and any additional legal areas that will identify the focus of the firm.
- The firm should have adequate office space, staff, equipment, and resource materials and library that are readily available. Indicate the location of the primary office and attorneys assigned to service this account. Provide the address, phone number(s), e-mail address, and FAX number(s) of the firm.

2. **Proposed Attorney, Team**

- Designate the primary contact and identify those who would be working in more specialized areas. Describe the current principal responsibilities for the individual designated as Village Attorney.
- Include a current resume for each attorney who will be primarily assigned to the Village of Beverly Hills. This information should include relevant academic training and degrees, description of prior experience in law areas described in the scope of services, number of years with the firm, areas of responsibility with the firm, and other background or experience which may be helpful in evaluating your proposal.
- If specialty attorney(s) or additional resources are available through your firm (in addition to the named team) to meet special or unusual needs, please briefly identify such individuals, specialties, and resources.
- Provide information regarding the number of paralegals by their specialties and the number and position titles of support personnel; specifically, those who may be providing services to the Village.

3. **Accessibility and Responsiveness**

- Provide an assessment of the availability of the attorney and other professional staff to be assigned to a contract to the Village of Beverly Hills. This includes availability of back-up attorneys in case of illness, turnover, or other loss of personnel.

- Provide a statement of how the workload of the Village of Beverly Hills will be accommodated. Be sure to address items outlined in the scope of services section. The proposal should set forth the firm's ability to carry out each activity. Include a description of the proposed allocation of work between the attorney(s) and support personnel identified.

#### **4. Proposed Fee Structure**

- All fees should be clearly stated in the proposal. Please provide billing structure information for a period of the past two years.
- Propose a set, fixed fee that inclusive of all service costs for the identified Scope of Work and General Specifications. Also state separately the rate for any other cost items proposed to be itemized and billed. The Village will pay the annual fixed fee in equal monthly installments.
- The Village will select the finalist by considering the proposed compensation as a "best and final offer," although the Village reserves the right to negotiate terms as needed to improve elements of the proposal to best meet the needs of the Village, including cost.

#### **5. References**

- Provide a reference list of three (3) recent (within five years) municipal government clients. If municipal government clients are not available, other major clients may be submitted. Particular attention will be given to municipal government client references. Please provide contact information including, address, phone number and e-mail address
- The Village may contact any other known governmental clients, whether offered as references or otherwise, to obtain information that will assist the Village in evaluating this Proposal.
- The Village retains the right to use reference information to make selection decisions. Submittal of a proposal is agreement that the Village may contact and utilize such information.

#### **6. Contract**

- Submitting firms are expected to submit a proposed contract for services with their proposal that will govern the relationship between the firm and the Village.

#### **7. Conflict of Interest**

- Indicate whether your firm currently represents or has represented any client where representation may conflict with your ability to serve as the Village Attorney for the Village of Beverly Hills.
- Indicate if your firm currently represents any real estate developers doing business with or anticipating doing business with the Village of Beverly Hills.
- Indicate whether you currently represent any other local units of government having jurisdiction within, or contiguous to the Village of Beverly Hills.

## **VII. Submission**

Submissions should be contained in a sealed package or envelope. The exterior of the package or envelope should clearly be labeled LEGAL SERVICES PROPOSAL.

The entire proposal and other components requested in this document should be received by 4 p.m. Tuesday, February 20, 2024 at the Beverly Hills Village Office. Proposals received after this deadline will be considered late and not opened or considered.

Proposals may be submitted in-person, by mail or by email to:

Hard Copy: Village of Beverly Hills  
ATTN: Jeffrey Campbell, Village Manager  
18500 W. 13 Mile Road,  
Beverly Hills, MI 48025

Electronic: [jcampbell@villagebeverlyhills.com](mailto:jcampbell@villagebeverlyhills.com)

## **VIII. CLARIFICATIONS**

Should any responder find discrepancies in or omissions from this request for proposals or should any responder be in doubt as to the meaning of any requirement or instruction, questions should be directed to:

Jeffrey Campbell, Village Manager  
Village of Beverly Hills  
18500 W. 13 Mile Road,  
Beverly Hills, MI 48025  
(248) 646-6404

[jcampbell@villagebeverlyhills.com](mailto:jcampbell@villagebeverlyhills.com)

Clarifications of any questions received will be sent to all interested parties. The Village of Beverly Hills shall not be responsible for any oral instructions. Interested parties must notify the Village of any omissions or errors in this document prior to the submission deadline so a corrective addendum may be issued in a timely manner to all interested parties.



**To:** Honorable President George; Village Council Members

**From:** Kristin Rutkowski, Village Clerk/Assistant Village Manager

**Subject:** Sign Subcommittee

**Date:** January 12, 2024

The Village Council previously established a Sign Subcommittee consisting of members O’Gorman, Abboud, and White. Since Mr. White’s resignation in 2023, there is an open spot on the subcommittee. Mr. Drummond has expressed interest in filling the spot on said committee.

**Suggested Motion:**

The Beverly Hills Village Council updates the membership of the Sign Subcommittee to include members Abboud, Drummond, and O’Gorman.



From: Sheila McCarthy, Finance Director

Subject: Cash and Investment Summary as of December 31, 2023  
Revenue and Expenditure Report for the 6 months ended December 31, 2023

Date: January 12, 2024

Presented is the *Cash and Investment Summary* which includes all cash accounts and CD's as of December 31, 2023, for all funds.

Also presented is the *Revenue and Expenditure Report* which includes revenue and expenditures for the General Fund, Major Road Fund, Local Street Fund, Public Safety Department, Park Improvement Fund, Library Fund, ARPA Fund and Water/Sewer Operation Fund for the 6 months ended December 31, 2023. The *Revenue and Expenditure Report* does not include prepaid and accrual adjustments that are reflected in the year end audited financial statements or other year end entries. Actual compared to budget financial results are monitored and budget amendments will be presented for approval, as necessary.



01/12/2024

## CASH SUMMARY BY FUND FOR VILLAGE OF BEVERLY HILLS

FROM 07/01/2023 TO 12/31/2023

FUND: 101 103 105 202 203 205 208 265 271 287 301 392 393 401 402 403 404 405 408 592 593 701 703 730 732 806 901

## CASH AND INVESTMENT ACCOUNTS

Fund	Description	Beginning Balance 07/01/2023	Total Debits	Total Credits	Ending Balance 12/31/2023
101	GENERAL FUND	5,154,451.73	3,796,544.42	2,702,971.77	6,248,024.38
103	VACATION RESERVE FUND	67,005.24	41,228.08	1,771.12	106,462.20
105	SICK PAY FUND	150,370.67	14,258.31	0.00	164,628.98
202	MAJOR ROAD FUND	769,514.05	485,383.72	666,148.60	588,749.17
203	LOCAL STREET FUND	945,653.57	558,850.26	377,351.08	1,127,152.75
205	PUBLIC SAFETY DEPARTMENT	4,016,623.27	7,913,467.69	4,086,975.75	7,843,115.21
208	PARK IMPROVEMENT FUND	241,322.88	249,328.40	360,932.51	129,718.77
265	DRUG LAW ENFORCEMENT FUND	52,519.27	0.00	0.00	52,519.27
271	LIBRARY FUND	37,547.58	630,471.43	339,931.40	328,087.61
287	ARPA FUNDS	680,134.22	0.00	283,660.59	396,473.63
401	CAPITAL PROJECTS FUND	618,346.64	322,638.25	249,028.15	691,956.74
403	STAFFORD SAD	0.00	0.00	2,590.21	(2,590.21)
404	HUMMELL/CORYELL SAD	55,964.34	1,547.34	0.00	57,511.68
592	WATER/SEWER OPERATION FUND	191,733.86	3,486,664.08	2,764,040.07	914,357.87
701	TRUST & AGENCY FUND	438,069.61	328,702.35	353,733.98	413,037.98
730	RETIREE HEALTH CARE TRUST FUND	136,789.36	25,832.87	27,889.52	134,732.71
	TOTAL - ALL FUNDS	13,556,046.29	17,854,917.20	12,217,024.75	19,193,938.74

01/11/2024

REVENUE AND EXPENDITURE REPORT FOR VILLAGE OF BEVERLY HILLS  
PERIOD ENDING 12/31/2023

GL NUMBER	DESCRIPTION	END BALANCE	YTD BALANCE	2023-24
		06/30/2023	12/31/2023	
NORMAL (ABNORMAL)NORMAL (ABNORMAL)				
Fund 101 - GENERAL FUND				
Net - Dept 000 - FUND REVENUE		4,461,040.58	3,483,209.26	4,631,368.00
Net - Dept 101 - VILLAGE COUNCIL		(16,602.95)	(14,485.29)	(30,462.00)
Net - Dept 171 - VILLAGE MANAGER		(257,997.88)	(130,922.59)	(281,050.00)
Net - Dept 191 - VILLAGE ACCOUNTING AND FINANCE		(263,309.99)	(140,293.55)	(284,846.00)
Net - Dept 215 - CLERK		(127,401.52)	(64,551.88)	(134,641.00)
Net - Dept 248 - GENERAL ADMINISTRATION		(381,167.57)	(240,982.62)	(393,611.00)
Net - Dept 265 - BUILDING & GROUNDS MAINTENANCE		(66,586.03)	(29,149.43)	(86,895.00)
Net - Dept 371 - BUILDING INSPECTION DEPARTMENT		(509,287.60)	(265,664.73)	(492,086.00)
Net - Dept 441 - DEPARTMENT OF PUBLIC WORKS (DPW)		(218,244.99)	(80,358.85)	(175,437.00)
Net - Dept 528 - RUBBISH COLLECTION/DISPOSAL		(991,055.61)	(455,194.52)	(927,188.00)
Net - Dept 693 - COMMUNITY ACTION PROGRAM		(132,578.59)	(112,470.18)	(131,432.00)
Net - Dept 701 - PLANNING		(41,098.57)	(23,662.08)	(51,364.00)
Net - Dept 702 - ZONING		(35,810.27)	(17,980.56)	(41,445.00)
Net - Dept 728 - ECONOMIC DEVELOPMENT		(29,898.27)	(33,348.38)	(78,888.00)
Net - Dept 751 - PARKS AND RECREATION DEPARTMENT		(201,824.80)	(116,688.67)	(189,030.00)
Net - Dept 900 - CAPITAL OUTLAY		(33,187.01)	(35,240.87)	(66,635.00)
Net - Dept 966 - TRANSFERS OUT TO OTHER FUNDS		(600,000.00)	(500,000.00)	(500,000.00)
Fund 101 - GENERAL FUND:				
TOTAL REVENUES		4,461,040.58	3,483,209.26	4,631,368.00
TOTAL EXPENDITURES		3,906,051.65	2,260,994.20	3,865,010.00
NET OF REVENUES & EXPENDITURES		554,988.93	1,222,215.06	766,358.00
Fund 202 - MAJOR ROAD FUND				
Net - Dept 000 - FUND REVENUE		1,028,945.40	324,299.63	936,696.00
Net - Dept 449 - ROAD COMMISSION/STREET DEPT (ACT 51)		(1,763,889.47)	(229,005.42)	(249,732.00)
Net - Dept 463 - ROAD/STREET MAINTENANCE		(141,819.36)	(73,125.78)	(209,300.00)
Net - Dept 474 - TRAFFIC SERVICES		(43,393.07)	(14,801.29)	(61,500.00)
Net - Dept 478 - WINTER MAINTENANCE - ROAD/STREET		(60,689.76)	(3,627.19)	(81,809.00)
Net - Dept 482 - GENERAL ADMIN - ROAD/STREET		(9,225.65)	(2,240.50)	(10,500.00)
Net - Dept 900 - CAPITAL OUTLAY		(1,596.53)	(16,283.08)	(7,530.00)
Fund 202 - MAJOR ROAD FUND:				

01/11/2024

REVENUE AND EXPENDITURE REPORT FOR VILLAGE OF BEVERLY HILLS  
PERIOD ENDING 12/31/2023

GL NUMBER	DESCRIPTION	END BALANCE	YTD BALANCE	2023-24 AMENDED BUDGET
		06/30/2023 NORMAL (ABNORMAL)	12/31/2023 NORMAL (ABNORMAL)	
TOTAL REVENUES		1,028,945.40	324,299.63	936,696.00
TOTAL EXPENDITURES		2,020,613.84	339,083.26	620,371.00
NET OF REVENUES & EXPENDITURES		(991,668.44)	(14,783.63)	316,325.00
Fund 203 - LOCAL STREET FUND				
Net - Dept 000 - FUND REVENUE		1,073,699.66	479,687.67	789,517.00
Net - Dept 449 - ROAD COMMISSION/STREET DEPT (ACT 51)		(20,491.08)	(299,028.50)	(700,000.00)
Net - Dept 463 - ROAD/STREET MAINTENANCE		(332,408.64)	(291,887.97)	(478,595.00)
Net - Dept 474 - TRAFFIC SERVICES		(16,172.16)	(11,892.73)	(22,866.00)
Net - Dept 478 - WINTER MAINTENANCE - ROAD/STREET		(25,548.37)	(3,766.16)	(39,404.00)
Net - Dept 482 - GENERAL ADMIN - ROAD/STREET		(7,684.20)	(85.20)	(13,000.00)
Net - Dept 900 - CAPITAL OUTLAY		0.00	(19,002.00)	(17,577.00)
Fund 203 - LOCAL STREET FUND:				
TOTAL REVENUES		1,073,699.66	479,687.67	789,517.00
TOTAL EXPENDITURES		402,304.45	625,662.56	1,271,442.00
NET OF REVENUES & EXPENDITURES		671,395.21	(145,974.89)	(481,925.00)
Fund 205 - PUBLIC SAFETY DEPARTMENT				
Net - Dept 000 - FUND REVENUE		7,125,795.21	7,255,398.19	7,530,804.00
Net - Dept 345 - PUBLIC SAFETY DEPARTMENT		(5,646,863.15)	(3,018,618.19)	(6,340,184.00)
Net - Dept 346 - SCHOOL RESOURCE OFFICER		(135,899.01)	(72,698.49)	(141,999.00)
Net - Dept 900 - CAPITAL OUTLAY		(306,516.32)	(133,464.02)	(260,000.00)
Net - Dept 906 - DEBT SERVICE		(98,860.38)	(98,860.38)	(98,860.00)
Net - Dept 966 - TRANSFERS OUT TO OTHER FUNDS		(100,000.00)	(100,000.00)	(100,000.00)
Fund 205 - PUBLIC SAFETY DEPARTMENT:				
TOTAL REVENUES		7,125,795.21	7,255,398.19	7,530,804.00
TOTAL EXPENDITURES		6,288,138.86	3,423,641.08	6,941,043.00
NET OF REVENUES & EXPENDITURES		837,656.35	3,831,757.11	589,761.00
Fund 208 - PARK IMPROVEMENT FUND				
Net - Dept 000 - FUND REVENUE		232,672.50	231,014.70	584,422.00
Net - Dept 900 - CAPITAL OUTLAY		(123,367.70)	(337,860.81)	(659,188.00)
Fund 208 - PARK IMPROVEMENT FUND:				
TOTAL REVENUES		232,672.50	231,014.70	584,422.00
TOTAL EXPENDITURES		123,367.70	337,860.81	659,188.00
NET OF REVENUES & EXPENDITURES		109,304.80	(106,846.11)	(74,766.00)
Fund 271 - LIBRARY FUND				
Net - Dept 000 - FUND REVENUE		553,741.91	583,626.53	594,673.00
Net - Dept 790 - LIBRARY		(543,940.00)	(293,086.50)	(586,173.00)

01/11/2024

REVENUE AND EXPENDITURE REPORT FOR VILLAGE OF BEVERLY HILLS  
PERIOD ENDING 12/31/2023

		END BALANCE	YTD BALANCE	
		06/30/2023	12/31/2023	2023-24
GL NUMBER	DESCRIPTION	NORMAL (ABNORMAL)	NORMAL (ABNORMAL)	AMENDED BUDGET
Fund 271 - LIBRARY FUND:				
TOTAL REVENUES		553,741.91	583,626.53	594,673.00
TOTAL EXPENDITURES		543,940.00	293,086.50	586,173.00
NET OF REVENUES & EXPENDITURES		9,801.91	290,540.03	8,500.00
Fund 287 - ARPA FUNDS				
Net - Dept 000 - FUND REVENUE		420,892.62	199,753.85	51,000.00
Net - Dept 538 - WATER/SEWER SYSTEM - ARPA ONLY		(420,892.62)	(250,753.85)	(51,000.00)
Fund 287 - ARPA FUNDS:				
TOTAL REVENUES		420,892.62	199,753.85	51,000.00
TOTAL EXPENDITURES		420,892.62	250,753.85	51,000.00
NET OF REVENUES & EXPENDITURES		0.00	(51,000.00)	0.00
Fund 401 - CAPITAL PROJECTS FUND				
Net - Dept 000 - FUND REVENUE		121,282.10	322,638.25	320,000.00
Net - Dept 900 - CAPITAL OUTLAY		(120,505.14)	(236,899.43)	(495,615.00)
Fund 401 - CAPITAL PROJECTS FUND:				
TOTAL REVENUES		121,282.10	322,638.25	320,000.00
TOTAL EXPENDITURES		120,505.14	236,899.43	495,615.00
NET OF REVENUES & EXPENDITURES		776.96	85,738.82	(175,615.00)
Fund 592 - WATER/SEWER OPERATION FUND				
Net - Dept 000 - FUND REVENUE		6,128,183.96	2,296,535.16	7,165,924.00
Net - Dept 228 - INFORMATION TECHNOLOGY		0.00	(1,997.13)	(7,904.00)
Net - Dept 536 - DIRECT CHARGES - WATER/SEWER SYSTEMS		(3,376,476.82)	(1,490,932.87)	(3,642,759.00)
Net - Dept 540 - OFFICE/ADMINISTRATION CHARGES		(239,060.55)	(152,176.90)	(315,470.00)
Net - Dept 543 - REPAIR & MAINTENANCE		(1,283,769.35)	(762,354.45)	(1,592,640.00)
Net - Dept 550 - OTHER EXPENSES		5,949.33	(1,559.94)	(17,000.00)
Net - Dept 559 - DEPRECIATION EXPENSE		(538,529.54)	(269,263.50)	(538,427.00)
Net - Dept 900 - CAPITAL OUTLAY		0.00	0.00	(900,000.00)
Net - Dept 906 - DEBT SERVICE		(15,360.58)	(26,386.96)	(65,115.00)
Fund 592 - WATER/SEWER OPERATION FUND:				
TOTAL REVENUES		6,128,183.96	2,296,535.16	7,165,924.00
TOTAL EXPENDITURES		5,447,247.51	2,704,671.75	7,079,315.00
NET OF REVENUES & EXPENDITURES		680,936.45	(408,136.59)	86,609.00



**To:** Honorable President George; Village Council Members

**From:** Jeff Campbell, Village Manager

**Subject:** Manager's Report

**Date:** January 12, 2024

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#### **Christmas Tree Chipping**

While curbside chipping has ended, if residents wish, they can drop off their Christmas tree at Village Hall in the area where compost is available to the general public. You may drop off trees until January 27, 2024.

#### **Joint Council/Parks & Recreation Board Meeting and Council Strategy Session**

The joint Council/Parks & Recreation Board meeting will be held on Thursday, January 18, 2024 at 7:30 p.m. in the Village Council Chambers.

The annual Village Council Strategy Session will be held on Saturday, January 20, 2024 at 9:00 a.m.

#### **Dropping Temperatures and Potential Snowstorm.**

##### *Avoid Freezing or Bursting Pipes*

The weather temperatures will be dropping significantly over the next few days. Please make sure you have taken proper precautions to avoid bursting pipes. Make sure all the proper areas are heated and/or insulated. Further, make sure your outside hoses have been removed and the water has been turned off to the outside faucet.

##### *Check on Your Neighbor*

As we prepare for a snowstorm and dropping temperatures over the next week, please check on your neighbors to make sure they have what they need. In addition, if there are any power outages, please click here to see a list of available warming centers open to Beverly Hills residents:

<https://www.oakgov.com/home/showpublisheddocument/20541/638391984618262051>

**Ice Rink in Beverly Park**

Weather permitting, the temporary ice rink at Beverly Park should be open for public use by January 15, 2024.

**SOCRRA and SOCWA Executive Director Update**

On Wednesday, January 10, 2024, the Southeast Oakland County Recycling and Refuse Authority (SOCRRA) and Southeast Oakland County Water Authority (SOCWA) Boards both approved the employment agreement to hire Eric Griffin to serve as the new Executive Director for SOCWA and SOCRRA. Mr. Griffin previously worked for the Great Lakes Water Authority. He will start as Executive Director in February. Jeff McKeen, the retiring Executive Director, will assist Mr. Griffin during a currently undefined transition period. The Village of Beverly Hills wants to welcome Mr. Griffin and thank Mr. McKeen for all of his work with SOCRRA and SOCWA.

**Cybersecurity Update**

Last year, the Village hired UHY to do a cybersecurity assessment and penetration test of the Village's IT systems. Much of the assessment and penetration test has been completed. An executive summary of the assessment and test results, as well as recommendations, is being prepared by UHY and will be presented to Council in March of 2024.

**Quarterly Code Enforcement Report**

Attached to the Manager's Report is the Code Enforcement Report that covers July of 2023 to December 12, 2023. The Report sets forth the Complaint. It also includes the Source of the Complaint, whether the Complaint comes from a resident call, an email, a visit to the Village Hall Counter, or found by the Code Officer (CO). The report indicates which street the complaint was found on, and whether the complaint has been closed or remains open. The report does not include daily tasks, which include responding to emails, voicemails, or taking phone calls. It may not include routine inspections of areas throughout the Village of Beverly hills on a daily basis. The Administration will submit its next Code Enforcement Report in April.

# Code Enforcement List

7/3/2023 – 7/14/23, PT. 1

Address	Source of Complaint	Complaint	Closed or Open
VILLAGE	CO	PICKED UP SIGNAGE IN ROWs.	C
VERONA	CALL	ANSWERED QUESTIONS REGARDING HVAC AND TRANSFERRED TO ELECTRICAL INSPECTOR.	C
BELLVINE	CO	INVESTIGATION AND CONVERSATION WITH RESIDENT ABOUT CLEAN UP OF PROPERTY.	C
HUNTLEY	CO	INVESTIGATION AND NOTIFICATION OF ROGUE SPRINKLER CAUSING SIDEWALK FLOODING.	C
RIVERSIDE	EMAIL	CHECKED ON COMPLAINT FOR FENCE VIOLATIONS.	O
WARWICK	CO	INVESTIGATING UNPERMITTED WORK ON APPROACHES. CONTRACTOR HAD PERMITS.	C
STELLAMAR	EMAIL/CALL	INVESTIGATION ON TREE TRUNK ON PROPERTY. NOTICE SENT.	C
KIRKSHIRE	CALL	ANSWERED RESIDENT'S PERMITTING REQUIREMENTS TO DISCUSS WITH CONTRACTORS.	C
AMHERST	EMAIL	INVESTIGATING COMPLAINT ABOUT BASKETBALL HOOP IN THE STREET.	C
PIERCE	CO	FOLLOW UP ON NOTICE FOR TALL GRASS. GRASS CUT.	C
VERONA	CO	FOLLOW UP ON NOTICE TO CUT BACK BUSHES AND TREES FROM SIDEWALK. WORK DONE.	C



# Code Enforcement List

7/3/2023 – 7/14/23, PT. 2

Address	Source of Complaint	Complaint	Closed or Open
MADOLINE	CO	FOLLOW UP ON NOTICE FOR STORAGE POD ON GRASS. POD MOVED.	C
AMHERST	CO	FOLLOW UP ON HOOP ISSUE. NOTICE SENT.	C
AUBURN	CO	FOLLOW UP ON NOTICE TO CUT BACK BUSHES AND TREES FROM SIDEWALK. WORK DONE.	C
BIRWOOD	CO	FOLLOW UP ON NOTICE REGARDING GROUND FEEDING OF BIRDS. RESOLVED.	C
SUNSET	CO	FOLLOW UP ON BOAT STORED/PARKED IN DRIVEWAY. BOAT MOVED.	C
13 MILE	EMAIL	INVESTIGATING LONG WEEDS IN THE BACKYARD. FOLLOW UP NECESSARY.	C
NOTTINGHAM	CO	FOLLOW UP ON NOTICE OF LAWN REFUSE PILED UP IN BACKYARD.	C
BELLVINE	CO	FOLLOW UP ON REQUIRED REPLACEMENT OF CULVERT AND DRAINAGE. WORK COMPLETED.	C
BELLVINE	CO	INVESTIGATING WHETHER WORK IS BEING PERFORMED WITHOUT A PERMIT. PERMIT IN ORDER.	C
WALMER	CO	FOLLOW UP SITE INSPECTION TWO IMPROPERLY STORED TRAILERS. TRAILERS MOVED.	C

# Code Enforcement List

7/3/2023 – 7/14/23, PT. 3

Address	Source of Complaint	Complaint	Closed or Open
WALMER	CO	DISCOVERED WORK BEING DONE WITHOUT A PERMIT. INSPECTOR NOTIFIED. PERMIT APPLIED FOR AND GRANTED TWO DAYS LATER.	C
13 MILE	CALL	INVESTIGATED OVERGROWN THISTLE. NOTICE ISSUED.	C
13 MILE	EMAIL	INVESTIGATED OVERGROWN THISTLE. NOTICE ISSUED.	C
13 MILE	CO	INVESTIGATED OVERGROWN THISTLE. NOTICE ISSUED.	C
13 MILE	CO	INVESTIGATED OVERGROWN THISTLE. NOTICE ISSUED.	C
13 MILE	CALL	NOISE COMPLAINT. UTILIZATION OF SOUND SYSTEM BY PEOPLE RENTING THE FIELD. SCHOOL NOTIFIED AND MATTER RESOLVED.	C
SOUTHFIELD	CALL	NOISE COMPLAINT.	C
SOUTHFIELD	PUBLIC SAFETY	CALLED COMPANY TO REMOVE DUMPED CLOTHING COLLECTION BOX.	C
RIVERSIDE	CO	INVESTIGATING WHETHER WORK IS BEING PERFORMED WITHOUT A PERMIT. PERMITS IN ORDER.	C
BEDFORD	CO	INVESTIGATING WHETHER APPROACH WORK IS BEING PERFORMED WITHOUT A PERMIT. PERMIT IN ORDER.	C
BEDFORD	CO	SITE VISIT. PREVIOUS NOISE COMPLAINT RESOLVED.	C
BELLVINE	CO	DISCUSS NOTICE RECEIVED WITH OWNER AND MR. JOHNSTON ABOUT IMPROPER SURFACE DRAINAGE.	C

# Code Enforcement List

7/17/2023 – 7/31/23, PT. 1

Address	Source of Complaint	Complaint	Closed or Open
RIVERSIDE	CO	DISCUSSION OF IMPROPERLY INSTALLED FENCE WITH RESIDENT.	O
NOTTINGHAM	CO	INVESTIGATING WHETHER WORK IS BEING PERFORMED WITHOUT A PERMIT. PERMIT IN ORDER.	C
ROBINHOOD	CO	INVESTIGATING WHETHER WORK IS BEING PERFORMED WITHOUT A PERMIT. PERMIT IN ORDER.	C
WARWICK	CO	OBSERVED UNAPPROVED APPROACH POURED BY CONTRACTOR. NOTIFIED MR. JOHNSTON.	C
13 MILE	CO	FOLLOW UP SITE INSPECTION ON LONG THISTLE. THISTLE CUT.	C
13 MILE	CO	FOLLOW UP SITE INSPECTION ON TALL GRASS. GRASS CUT.	C
MAYFAIR	CO	FOLLOW UP SITE INSPECTION ON LONG WEEDS. WEEDS CUT.	C
NOTTINGHAM	CO	FOLLOW UP SITE INSPECTION ON IMPROPER STORAGE OF LAWN REFUSE. REFUSE MOVED.	C
DOUGLAS CT.	CO	DISCOVERED VEHICLE PARKED ON GRASS AND THISTLE GROWING UNDERNEATH GRASS. CAR MOVED AND WEEDS ADDRESSED.	C
VILLAGE	CO	PICKED UP SIGNAGE IN ROWs.	
MARIMOOR	CO	FOLLOW UP SITE INSPECTION ON LONG WEEDS. WEEDS CUT.	C
MAYFAIR	CO	FOLLOW UP SITE INSPECTION ON TALL GRASS. GRASS CUT.	R

# Code Enforcement List

7/17/2023 – 7/31/23, PT. 2

Address	Source of Complaint	Complaint	Closed or Open
BELLVINE	CO	MET WITH OWNER, CONTRACTOR AND MR. JOHNSTON TO ADDRESS DRAINAGE ISSUES.	C
WESTLADY	CO	DISCOVERED ROOF WORK BEING DONE WITHOUT A PERMIT. PERMIT THEN PULLED.	C
LAHSER	EMAIL	RESPONDING TO COMPLAINT OF IMPROPER DUMPING.	O
AMHERST	ADMINISTRATION	CONVERSATION ABOUT BASKETBALL HOOP NEAR ROAD.	C
WALMER	CO	INVESTIGATING WHETHER WORK IS BEING PERFORMED WITHOUT A PERMIT. PERMITS IN ORDER.	C
NO ADDRESS	COUNTER	ANSWERING QUESTIONS REGARDING THE DUMPING OF DOG WASTE.	C
ELWOOD	CO	FOLLOW UP ON FENCE. PERMIT OBTAINED AN JOB COMPLETED.	C
ROBINHOOD	CO	INVESTIGATING WHETHER MECHANICAL PERMIT SUBMITTED FOR REPLACEMENT FURNACE. PERMIT OBTAINED AND JOB COMPLETED.	C
BEVERLY	CALLER	COMPLAINT ABOUT IMPROPER STORAGE, ABANDONED AUTO AND BUSHES GOING OVER THE SIDEWALK.	C
ELIZABETH	CO	INVESTIGATING LARGE WOOD CHIP PILES AND LONG THISTLE. NOTICE SENT.	C
SHERIDAN	EMAIL	INVESTIGATING JUNK AND DEBRIS AND GRASS COMPLAINT. NOTICE SENT.	C
STELLAMAR	CO	CONVERSATION WITH RESIDENT ABOUT JUNK AND DEBRIS IN YARD. CITATION ISSUED.	C

# Code Enforcement List

7/17/2023 – 7/31/23, PT. 3

Address	Source of Complaint	Complaint	Closed or Open
13 MILE	CO	THISTLE PARTIALLY REMOVED. SPOKE TO OWNER ABOUT COMPLETE REMOVAL.	C
13 MILE	CO	INVESTIGATION OF TALL GRASS. GRASS CUT.	C
KIRKSHIRE	CO	FOLLOW UP ON REMOVED SIDEWALK THAT IS NOT REPAIRED. SIDEWALK REPAIRED.	C
14 MILE	CO	FOLLOW UP ON BOX TRUCK IMPROPERLY STORED. TRUCK MOVED.	C
KIRKSHIRE	CO	INVESTIGATING GRADING AND WEED ISSUE WITH BUILDING OFFICIAL.	C
KIRKSHIRE	CO	INVESTIGATION OF TALL GRASS. GRASS CUT.	C
ARLINGTON	CO	INVESTIGATING WHETHER WORK IS BEING PERFORMED WITHOUT A PERMIT. PERMITS IN ORDER.	C
LAHSER	CO	CHECKING FOR DUMPING OF MATTRESSES AT HILLTOP AND HILLVIEW.	C
McKENZIE	CO	INVESTIGATING WHETHER WORK IS BEING PERFORMED WITHOUT A PERMIT. PERMITS IN ORDER.	C
AMHERST	CO	INVESTIGATING WHETHER WORK IS BEING PERFORMED WITHOUT A PERMIT. PERMIT IN ORDER.	C
WALTHAM	CALL	INVESTIGATING COMPLAINT LOCATION OF GENERATOR AND AC UNIT IN YARD. COMPLAINT UNFOUNDED.	C
DUNBLAINE	CALL	INVESTIGATING BUSHES AND TREES ENCROACHING ON SIDEWALK. NOTICE ISSUED.	C
BEECHWOOD	CALL	INVESTIGATING BUSHES AND TREE ENCROACHING ON SIDEWALK. NOTICE ISSUED.	C

# Code Enforcement List

8/1/2023 – 8/11/23, PT. 1

Address	Source of Complaint	Complaint	Closed or Open
BEECHWOOD	CO	FOLLOW UP SITE INSPECTION ON NOTICE TO TRIM BUSHES AND TREES. WORK DONE.	C
KIRKSHIRE	CO	FOLLOW UP SITE INSPECTION ON SIDEWALK THAT NEEDS TO BE POURED. WORK DONE.	C
KIRKSHIRE	CO	SITE INSPECTION ON VACANT LOT. FOLLOW UP ON GRASS OVER THE SUMMER.	C
KIRKSHIRE	CO	FOLLOW UP SITE INSPECTION ON TALL GRASS. GRASS CUT.	C
KIRKSHIRE	CO	FOLLOW UP SITE INSPECTION ON SITE CLEAN UP AND INOPERABLE VEHICLE STORED IN DRIVEWAY. CLEAN UP PROCESS IS UNDERWAY.	C
BEVERLY	CO	FOLLOW UP SITE INSPECTION ON TABLE SITTING NEXT TO SIDEWALK. TABLE REMOVED.	C
13 MILE	CO	FOLLOW UP SITE INSPECTION ON LONG THISTLES. WEEDS CUT.	C
HILLCREST	CO	INVESTIGATION OF WEEDS AT RESIDENCE.	C
BELLVINE	CO	FOLLOW UP INVESTIGATION ON DRAINAGE ISSUE. WORK BEING PERFORMED. MATTER RESOLVED.	C
WARWICK	CO	FOLLOW UP ON IMPROPERLY CONSTRUCTED DRIVEWAY APPROACH. INFORMED N. JOHNSTON.	
WENDBROOK	CO	CHECK ON WHETHER DRIVE APPROACH IS BEING CONSTRUCTED WITHOUT A PERMIT. PERMIT IN ORDER.	C
LOCHERBIE	CO	INVESTIGATING WHETHER BOAT BEING IMPROPERLY STORED ON FRONT DRIVE. BOAT MOVED.	C

# Code Enforcement List

8/1/2023 – 8/11/23, PT. 2

Address	Source of Complaint	Complaint	Closed or Open
DUNBLAINE	CO	FOLLOW UP ON TRIMMING OF BUSHES ENCROACHING ON SIDEWALK. MORE NEEDS TO BE TRIMMED.	C
DUNBLAINE	CO	INVESTIGATING BOAT PARKED ACROSS SIDEWALK AND BEING IMPROPERLY STORED. BOAT REMOVED.	C
KINROSS	CALL	INVESTIGATING INOPERABLE CARS STORED IN DRIVEWAY AND GRASS AND WEEDS ISSUE. DISCUSSED WITH OWNER.	C
REEDMERE	ADMIN.	INVESTIGATING BASKETBALL HOOP AT THE END OF THE DRIVEWAY.	C
REEDMERE	ADMIN.	INVESTIGATING BASKETBALL HOOP AT THE END OF THE DRIVEWAY.	C
SUNSET	COUNTER	RECEIVING COMPLAINT ABOUT TALL GRASS AND WEEDS IN BACKYARD. NOTICE ISSUED.	C
13 MILE	ADMIN.	STOP WORK ORDER ON IMPROPER FENCE BEING BUILT.	C
14 MILE	CALL	INVESTIGATING OVERGROWN BRANCHES ENCROACHING ON SIDEWALK.	C
14 MILE	ADMIN.	ADDRESSING TRALER PARKED IN DRIVEWAY. TRAILER REMOVED.	C
14 MILE	CO	CUT WEEDS IN YARD. WEEDS CUT.	C



# Code Enforcement List

8/14/2023 – 8/31/23 PT. 1

Address	Source of Complaint	Complaint	Closed or Open
MARGUERITE	CO	CHECKING ON BERM NEXT TO HOUSE. MET WITH RESIDENT.	C
LOCHERBIE	CO	FOLLOW UP ON IMPROPER STORAGE OF BOAT. BOAT MOVED.	C
ELIZABETH	CO	FOLLOW UP SITE INSPECTION ON CLEANING UP CHIP MOUNDS AND GARBAGE CANS. SITE CLEANED.	C
DUNBLAINE	CO	FOLLOW UP SITE INSPECTION ON BUSHES ENCROACHING ON SIDEWALK. BUSHES TRIMMED.	C
14 MILE	CO	FOLLOW UP SITE INSPECTION ON TRAILER STORED ON DRIVEWAY. TRAILER MOVED.	C
14 MILE	CO	FOLLOW UP SITE INSPECTION ON TALL WEEDS. WEEDS CUT.	C
KIRKSHIRE	CO	FOLLOW UP SITE INSPECTION ON TRIMMING BUSHES ENCROACHING ON SIDEWALK. BUSHES TRIMMED.	C
13 MILE	CO	INVESTIGATION ON ERECTING OF A FENCE WITHOUT A PERMIT. NOTICE ISSUED.	C
CHELSEA	CO	TORN AND HEAVY YARD BAGS AT HOUSE. OWNER ADVISED OF THE MESS. CLEANED UP.	C
ORCHARD WAY	ADMIN.	SITE INSPECTION AT REQUEST OF ADMINISTRATION. NO ISSUE.	C
MEADOW LANE		CHECK ON WHETHER WORK PERFOED WITHOUT A PERMIT. PERMIT IN ORDER.	C
AMHERST	CO	FOLLOW UP SITE INSPECTION ON SIGNAGE. RESOLVED.	C

# Code Enforcement List

8/14/2023 – 8/31/23, PT. 2

Address	Source of Complaint	Complaint	Closed or Open
DUNBLAINE	CO	FOLLOW UP ON TREE TRIMMING. TREES TRIMMED.	C
RIVERSIDE	CALL	COMPLAINT OF TREES IMPROPERLY BEING CUT DOWN ON PRIVATE PROPERTY. COMPLAINT UNFOUNDED.	C
KINROSS	CO	TALL GRASS COMPLAINT. RESOLVED.	C
KINROSS	CO	TRIMMED BRANCHES BLOCKING THE SIDEWALK. RESOLVED.	C
LOCHERBIE	CALL	COMPLAINT OF LARGE DIRT PILE IN THE STREET. UPON ARRIVAL, NO DIRT PILE.	C
KIRKSHIRE	CO	INVESTIGATION INTO WORK BEING DONE WITHOUT A PERMIT. PERMIT APPLIED FOR BUT NOT GRANTED.	C
BELLVINE	CO	FOLLOW UP SITE INSPECTION ON WORK TO ADDRESS DRAINAGE ISSUE. NOT COMPLETE.	C
SUNSET	CO	FOLLOW UP SITE INSPECTION ON CAMPER IN DRIVEWAY. CAMPER MOVED.	C
KINROSS	CO	FOLLOW UP SITE INSPECTION ON WOOD PILE REMOVAL. WOOD PILE REMOVED.	C
13 MILE	CO	FOLLOW UP SITE INSPECTION ON TALL GRASS. GRASS NOT CUT. WORK ORDER ISSUED.	C
14 MILE	CO	FOLLOW UP SITE INSPECTION ON BUSHES ENCROACHING ON SIDEWALK. SPOKE TO OWNER WHO RECEIVED A QUOTE FROM CONTRACTOR.	C
14 MILE	CO	FOLLOW UP SITE INSPECTION ON TALL WEEDS. WEEDS CUT.	C
KIRKSHIRE	CO	FOLLOW UP SITE INSPECTION ON BUSHES ENCROACHING ON SIDEWALK. BUSHES TRIMMED.	C

# Code Enforcement List

8/14/2023 – 8/31/23, PT. 3

Address	Source of Complaint	Complaint	Closed or Open
RIVERSIDE	CO	FOLLOW UP DISCUSSION ON IMPROPER FENCE	C
13 MILE	CO	CALL TO OWNER ABOUT TALL GRASS. MEETING HIM AT HIS HOME.	C
EVERGREEN	CALL	INVESTIGATING WHETHER THERE ARE PERMITS FOR WORK ON SITE. NO PERMITS.	C
WARWICK	CALL	INVESTIGATING DIRT PILES LEFT IN THE STREET. DIRT PILES REMOVED.	C
DUNBLAINE	CALL	INVESTIGATING TRALER ACROSS A SIDEWALK. TRAILER MOVED.	C
13 MILE	CO	CARS PARKED ON GRASS IN EASEMENT. CARS MOVED.	C
DUNBLAINE	CO	INVESTIGATING BOAT PARKED IN SIDE YARD. BOAT MOVED.	C
KIRKSHIRE	CO	INVESTIGATION ON LOT CLEAN UP. GRASS GETTING LONG.	C
WOODHAVEN	CALL	INVESTIGATION OF ALARM GOING OFF. RESOLVED.	C
MARGUERITE	CO	FOLLOW UP ON WATER DRAINAGE. RESOLVED.	C
MARGUERITE	CALL	INVESTIGATING TALL GRASS AND CAR PARKED ON GRASS. SITE CLEANED UP.	C
KIRKSHIRE	CALL	INVESTIGATION POTENTIAL RAT PROBLEM. PROPERTY CLEANED UP.	C
BEVERLY	CO	INVESTIGATION ON WORK WITHOUT PERMITS. PERMITS IN ORDER.	C

# Code Enforcement List

Address	Source of Complaint	Complaint	09/01/23-09/15/23, PT. 1	
			Closed or Open	
KIRKSHIRE	CO	SITE INPSECTION OF OPEN LOT. CONCERN ABOUT WATER AND ACCESS TO LOT.	C	
KIRKSHIRE	CO	INSPECTION AND STOP WORK ORDER ISSUED ON PROCH BEING BUILT WITH NO PERMITS.	C	
BIRWOOD	CO	INVESTIGATING TALL GRASS NOTICE SENT. WORK ORDER ISSUED. GRASS CUT.	C	
NORMANDALE	Admin.	INVESTIGATING HIGH WATER USAGE AND SOUND OF RUNNING WATER ON SITE. CONFERRED WITH N. JOHNSTON.	C	
BIRWOOD	CO	FOLLOW-UP ON TALL GRASS. WORK ORDER ISSUED.	C	
EASTLADY	Counter	FOLLOW-UP CALL FROM RESIDENT CONCERNING PROPER FUNCTIONING OF CULVERT.	C	
LAHSER	Call	INVESTIGATION AND CALL INTO ANIMAL CONTROL FOR DEAD DEER ON LAHSER.	C	
DEVONSHIRE	CO	CHECK ON WORK DONE WITHOUT A PERMIT. PERMIT WAS OBTAINED.	C	
MEADOW LANE	CO	CHECK ON WORK DONE WITHOUT A PERMIT. PERMIT WAS OBTAINED.	C	
14 MILE	CO	SITE INSPECTION REGARDING BUSINESS NEEDING TO TRIM BUSHES.	C	
BEVERLY	CO	SPOKE TO OWNER ABOUT CUTTING BACK OF BUSHES. WORK DELAYED DUE TO CONTRACTOR SCHEDULE.	C	
SUNSET	CO	SITE INSPECTION TO CONFIRM NO CAMPER LEFT IN DRIVEWAY.	C	
13 MILE	CO	SITE INSPECTION TO CONFIRM LARGE TREE TRUNK REMOVED FROM FRONT YARD.	C	
WARWICK	CO	SITE INSPECTION TO CONFIRM WITH DIRT PILES REMOVED FROM STREET. PILES GONE.	C	

# Code Enforcement List

09/01/23-09/15/23, PT. 2

Address	Source of Complaint	Complaint	Closed or Open
WALTHAM	Email	CHECK ON LARGE GARBAGE PUT OUT DUE TO APPARENT MOVE FROM THE HOME.	C
RIVERSIDE	Email	SITE INSPECTION TO VIEW OVERGROWTH BETWEEN FENCES. COMPLAINT UNFOUNDED.	C
EVERGREEN	Email	INVESTIGATING TALL GRASS ON PROPERTY AND PARKING OF VEHICLE ON GRASS. FOLLOW UP REQUIRED.	C
13 MILE	CO	CONVERSATION WITH NEW REGIONAL MANAGER ABOUT ESTABLISHING CONTACT TO ADDRESS CODE RELATED ISSUES AT THE PROPERTY, INCLUDING ASPHALT REPAIR.	C
KIRKSHIRE	CO	SITE INSPECTION TO ADDRESS TREE CLEAN UP AND BACKYARD CONCERNS. TOOK PHOTOS.	C
KENNOWAY	Counter	MET WITH RESIDENT TO DISCUSS PROPOSED FENCE QUESTIONS AND REQUIREMENTS RELATED TO FENCE POST HOLES.	C
WALTHAM	Call	SPOKE TO RESIDENT ABOUT PUTTING THE GARBAGE OUT TO EARLY.	C
SUNSET	CO	SITE INSPECTION FOR WEED REMOVAL. SPOKE TO RESIDENT. THE RESIDENT STATED SHE IS ON A SCHEULE WITH HER CONTRACTOR FOR A LATER DATE DUE TO SIZE OF REMOVAL JOB.	C
EVERGREEN	CO	FOLLOW UP ON CUTTING OF GRASS AND PARKING ON GRASS. VEHICLE MOVED.	C
HUNTLEY	CO	SITE INSPECTION FOR PICKUP TRUCK PARKED IN A MANNER THAT IS BLOCKING THE ROADWAY.	C
WESTLADY	CO	INVESTIGATION OF COMMERCIAL TRUCK PARKED IN A RESIDENTIAL ZONE. TRUCK MOVED.	C
HILLCREST	Call	CONSTRUCTION OF A FIRE PIT BEING BUILT. COMPLAINT UNFOUNDED.	C
WARREN, MI		ATTENDING MACEO MEETING.	

# Code Enforcement List

09/18/23-09/29/23, PT. 1

Address	Source of Complaint	Complaint	Closed or Open
FAIRFAX	CO	ANSWERED RESIDENT'S QUESTIONS ABOUT THE STORAGE OF TRAILER.	C
CHURCHILL	CO	INVESTIGATING ILLEGALLY PARKED CAR. CAR PARKED LEGALLY.	C
BUCKINGHAM	Call	INVESTIGATING COMPLAINT ABOUT CAT HUNTING BIRDS AND RABBITS IN HER YARD.	C
KENNOWAY	Call	INVESTIGATING THE INSTALLATION OF A FENCE WITHOUT A PERMIT. SPOKE WITH RESIDENT ABOUT THE FENCE.	C
EMBASSY	CO	CHECK ON WORK DONE WITHOUT A PERMIT. PERMIT WAS OBTAINED.	C
WESTON	Call	COMPLAINT ABOUT PONTOON BOAT IN DRIVEWAY. BOAT MOVED.	C
13 MILE	CO	INVESTIGATING GARBAGE ALL OVER ALL OVER THE GROUND AND NON-SECURE LIDS. SPOKE TO RESIDENT.	C
BEVERLY	Call	MET WITH RESIDENT ON GRADING ISSUES, FENCE ISSUES, GARBAGE IN THE YARD, AND RESPOND TO SEWER ISSUES. RESOLVED.	C
LEENMOOR	CO	INVESTIGATION OF GROUND FEEDING FERILE CATS AND KITTENS.	C
KENNOWAY	Call	INVESTIGATING THE INSTALLATION OF A FENCE WITHOUT A PERMIT. SPOKE WITH RESIDENT ABOUT THE FENCE.	C
KIRKSHIRE	Call	MET WITH RESIDENT ABOUT NIEGHBOR TRASH IN THEIR CAN.	C
13 MILE	CO	INVESTIGATING ANOTHER COMPLAINT ABOUT GARBAGE LYING ON THE STREET.	C
SHAGBARK	Email	INVESTIGATING SPILLED PAINT IN THE STREET. CLEANED UP.	C

# Code Enforcement List

09/15/23-09/29/23, PT. 2			
Address	Source of Complaint	Complaint	Closed or Open
14 MILE	CO	SITE INSPECTION FOR TREE TRIMMING. DISCOVERED TRIP HAZARD. HAZARD REMOVED. FOLLOW UP ON TRIMMING.	C
KIRKSHIRE	CO	INVESTIGATING TREES LIMBS ENCROACHING ON THE SIDEWALK. TREES TRIMMED.	C
BEVERLY	Call	ADDRESSING WATER RUN-OFF COMPLAINT WITH RESIDENT. MATTER ADDRESSED.	C

# Code Enforcement List

Address	Source of Complaint	Complaint	10/02/23-10/13/23, PT. 1	Closed or Open
RIVERSIDE	Call	INVESTIGATION OF OVERGROWN VEGETATION. NO OVERGROWTH.		C
LOCHERBIE	CO	ANSWERED RESIDENT'S QUESTIONS AND CONCERNS ABOUT BUCKTHORN.		C
MAYFAIR	CO	INVESTIGATING TALL GRASS. GRASS CUT.		C
RIVERSIDE	CO	SPOKE TO REISDENT ABOUT ILLEGALLY INSTALLED FENCE ON HIS PROPERTY.		O
SHERIDAN	CO	DISCOVERED BRANCHES NOT AT THE CURBSIDE. SPOKE TO RESIDENT. BRANCHES MOVED TO CURB.		C
KINROSS	Email	INVESTIGATION OF MARIJUANA RULES AND NUISANCE REGULATIONS. RESEARCH REGARDING SAME. SPOKE WITH COMPLAINTANT AND NEIGHBOR REGARDING CONCERNS.		C
EASTLADY	CO	VISIT PROPERTY TO DISCUSS FALLEN TREE ON ROUGE RIVERBANK.		C
KENNOWAY	CO	VISIT PROPERTY TO DISCUSS FALLEN TREE ON OTHER SIDE OF ROUGE RIVERBANK.		C
STELLAMAR	CO	FOLLOW UP ON ORDER FROM COURT FOR RESIDENT TO REMOVE LOGS FROM FRONT YARD.		C
VERNON	CO	SPOKE TO RESIDENT ABOUT ALLEGED WORK WITH NO PERMITS. PERMITS WERE PULLED.		C
MARIMOOR	CO	INSPECTION ON ROOF WORK WITHOUT A PERMIT. PERMIT IN ORDER.		C
KINROSS	CO	INSPECTION ON WORK WITHOUT PERMIT. CONTRACTOR HAD A PERMIT.		C
VILLAGE	CO	PICKED UP IMPROPER SIGNAGE IN ROW.		



# Code Enforcement List

Address	Source of Complaint	Complaint	10/02/23-10/13/23, PT. 2	Closed or Open
LASHER	CO	RESPONDING TO OWNER WITH LOT CLEAN UPS AT NEIGHBORING LOTS.		C
LIVONIA, MI		MACEO MINI CONFERENCE.		

# Code Enforcement List

Address	Source of Complaint	Complaint	10/16/23-10/31/23, PT. 1	Closed or Open
KINROSS	Admin.	INVESTIGATING NUISANCE ACTIVITIES AT PROPERTY.		C
VERNON	CO	CHECKED ON RENTAL STATUS. SPOKE WITH ELECTRICAL CONTRACTOR.		C
BELLVINE	CO	DISCOVERED UNPERMITTED WORK ON THE ROOF. PERMIT PULLED LATER THAT DAY.		C
VILLAGE		PICKED UP SIGNS IN THE VILLAGE ROW. ALSO LOOKED INTO VEGETATION MAINTENANCE AT THE ROUNDABOUT.		
BELLVINE	CO	FOLLOW UP ON WORK ORDER PERFORMED ON SITE FOR GRADING AND CULVERT. WORK DONE.		C
EASTLADY	CO	FOLLOW UP ON NOISE COMPLAINT.		C
BELLVINE	CO	FOLLOW UP ON CULVERT REPAIR. CULVERT WORKING.		C
DEVONSHIRE	CO	INVESTIGATION ON ROOF WORK BEING PERFORMED WITHOUT A PERMIT. PERMIT IN ORDER.		C
KIRKSHIRE	CO	CONTACTED CONTRACTOR ABOUT SIDEWALK NOT BEING MAINTAINED DURING CONSTRUCTION. CONTACTED OWNER AND CONTRACTOR. MATTER RECTIFIED.		C
OLD STAGE	CO	INVESTIGATION ON WORK DONE IN DRIVE APPROACH WITHOUT A PERMIT. PERMIT PULLED.		C
LAHSER	CO	INVESTIGATION OF POSSIBLE ABANDONED CAR IN THE DRIVEWAY AND A CAMPER PARKED IN THE DRIVEWAY. VEHICLES MOVED.		C

## Code Enforcement List

Address	Source of Complaint	Complaint	10/16/23-10/31/23, PT. 2	
			Closed or Open	
LEEMOOR	CO	SPOKE TO OWNER ABOUT TALL GRASS. FOLLOWED UP. GRASS CUT.	C	
BEVERLY	CALL	NOTICE ISSUED TO CUT BUSHES BACK FROM SIDEWALK. BUSHES CUT.	C	
METAMORA	CALL	INVESTIGATING UTILITY TRAILER STORED IN THE DRIVEWAY. TRAILER MOVED.	C	
BEVERLY	CALL	MET WITH RESIDENT ABOUT FENCE LINE ISSUE. ISSUED NOTICE TO RESIDENT.	O	

# Code Enforcement List

Address	Source of Complaint	Complaint	11/01/23-11/17/23, PT. 1	Closed or Open
KIRKSHIRE	CO	INVESTIGATED AND WROTE NOTICE REGARDING FENCE. FENCE REPAIRED.		C
BEVERLY	CO	INVESTIGATED AND WROTE NOTICE REGARDING FENCE.		O
VILLAGE		PICKED UP SIGNS IN ROWs.		
13 MILE	CO	FOLLOWED UP ON CLEAN UP OF HOME. OBSERVED CLEAN UP CREW OUTSIDE OUT OF THE HOUSE.		C
BHPS		ASSIST PUBLIC SAFETY WITH VEHICLE ISSUES.		C
KENNOWAY	CO	INVESTIGATED AND WROTE NOTICE REGARDING FENCE.		C
13 MILE	CO	FOLLOW UP ON NOTICE FOR GARBAGE REMOVAL.		C
14 MILE	CO	FOLLOW UP ON NOTICE FOR OBSTRUCTIVE BUSHES. TOLD IT WILL BE DONE IN TWO WEEKS.		C
CAMELOT	CO	INVESTIGATED UNREGISTERED CAR AT HOME. CAR MOVED.		C.
BEVERLY	CO	WITNESSED AND ORDERED DPW TO PICK UP OVERSIZED BEAN BAG ILLEGALLY DUMPED NEAR THE INTERSECTION OF SOUTHFIELD AND BEVERLY.		C
ELWOOD	Email	CHECK LEAF DEBRIS IN STREET. NO LEAVES IN STREET ON INSPECTION.		C

# Code Enforcement List

Address	Source of Complaint	Complaint	11/01/23-11/17/23, PT. 2	
			Closed or Open	
WESTLADY	CO	INVESTIGATING DEBRIS IN DRIVEWAY. DRIVEWAY CLEANED.	C	
BEVERLY	CO	FOLLOW UP ON FENCE ISSUE. RESIDENT STATED NOT HIS FENCE.	O	
FOX RUN	Call	INVESTIGATING NOSIE COMPLAINT RELATING TO ALLEGED SIDE LANDSCAPING BUSINESS AT RESIDENCE. COMPLAINT UNFOUNDED.	C	
KIRKSHIRE	CO	SITE INSPECTION. INFORMED RESIDENT THE HOME NEEDS NUMBERS TO IDENTIFY ADDRESS ON HOME.	C	
KIRKSHIRE	CO	SITE INSPECITON OF SIDEWALK AND LOT CLEANLINESS. SITE LOOKS GOOD.	C	
CHELTON	Call	INVESTIGATING LEAVES PUSHED INTO THE STREET. STREET CLEAR.	C	
BEVERLY	CO	INVESTIGATING CARS PARKED ON GRASS. CAR MOVED.	C	
13 MILE	CO	CONFERENCE WITH BUSINESS OWNER ABOUT ESTABLISHING RELIABLE CONTACT.	C	
14 MILE	CO	FOLLOW UP ON OVERGROWN BUSHES. STILL NOT CUT.	C	
ELIZABETH	CO	CHECKING CONDITION OF VACANT LOT. GRASS CUT.	C	
13 MILE	CO	SITE INSPECITON BASED ON COMPLAINT. NO ISSUES.	C	
14 MILE	CO	BOULDER CAUSING TRIP HAZARD ON SIDEWALK. BOULDER REMOVED.	C	
LINCOLNSHIRE	CO	ISSUED NOTICE TO REMOVE OR PAIR CAR SITTING ON JACKS IN THE DRIVEWAY.	C	
VILLAGE	CO	PICKED UP SIGNS IN VILLAGE ROWs.	C	

# Code Enforcement List

Address	Source of Complaint	Complaint	11/20/23-11/30/23, PT. 1	
			Closed or Open	
WARWICK	Call	LEAF COMPOST ISSUES. MATTER DISCUSSED AND RESIDENT RESOLVED ISSUE.	C	
BIRWOOD	Email	INVESTIGATE ABANDONED HOUSE. OWNER WAS ON WORKING ON HOUSE UPON VISIT. COMPLAINT UNFOUNDED.	C	
RIVERSIDE	CO	IMPROPER BAMBOO FENCE NOT REMOVED.	O	
DRURY LANE	CO	SITE INSPECTION TO ENSURE FALL CLEANUP. SITE CLEAN.	C	
LINCOLNSHIRE	CO	FOLLOW UP ON INOPERABLE CAR IN DRIVEWAY. CAR MOVED.	C	
CAMELOT	CO	INVESTIGATION OF IMPROPER STORAGE OF VEHICLE. VEHICLE GONE.	C	
CHELTON	CO	FOLLOW UP ON DEBRIS IN STREET. STREET CLEAN.	C	
CARRIAGE LANE	CO	CHECK ON WORK TO MAKE SURE CONTRACTOR HAD PERMITS. PERMITS IN ORDER.	C	
BEVERLY	Call	COMPLAINT ABOUT ORANGE CONES IN A YARD.	C	
PEIRCE	CO	RESPONING TO PERMIT QUESTION FROM PROPERTY MAINTENANCE COMPANY	C	
BIRWOOD	Call	LOOKING INTO CAT KILLING RABBITS AND BIRDS IN AREA	C	
13 MILE	CO	ANSWER A REALTOR'S QUESTION REGARDING CODE MATTER.	C	
ELIZABETH	CO	INVESTIGATING THAT TALL GRASS CUT. GRASS IS CUT.	C	
NORMANDALE	CO	INVESTING AN OPEN HOLE AND FOUNDATION WITH NO FENCE AROUND HOLE	C	

# Code Enforcement List

Address	Source of Complaint	Complaint	11/20/23-11/30/23, PT. 2	
			Closed or Open	
PLUMWOOD	CO	INVESTIGATE COMPLAINT. NO ISSUES AT THE SITE.		
BEVERLY	CO	MET WITH OWNER TO DISCUSS SURVEY STAKES AND INSPECT FENCE LINE		O
RUTLAND	Admin	INVESTIGAION OF PUMPING OF WATER RUNOFF ONTO STREET. WATER PUMP STOPPED. DEBRIS IN YARD.		O
RIVERSIDE	CO	ADDRESSING FENCE ISSUE WITH RESIDENT. CITATION ISSUED.		O
EVERGREEN	Email	CHECKING CAR PARKED ON GRASS. NO CAR ON GRASS.		C

## Code Enforcement List

12/4/23 – 12/13/23, PT.1

[illegible]



# Code Enforcement List

		12/4/23 – 12/13/23, PT. 2	
Address	Source of Complaint	Complaint	Closed or Open
DUNBLAINE	CO	CLEAN LEAF DEBRIS IN YARD. NOTICE ISSUED.	C
14 MILE	CO	SITE INSPECTION TO MAKE SURE BUSHES TRIMMED. RESIDENT IN COMPLIANCE.	C
MARGUERITE	CO	SITE INSPECTION AND CONVERSATION WITH RESIDENT ABOUT EQUIPMENT IN DRIVEWAY. RESIDENT TO MOVE EQUIPMENT. SITE IN COMPLIANCE.	C
WARREN, MI		MACEO MEETING	
MARGUERITE	CALL	INVESTIGATING BARKING DOG COMPLAINT. SPOKE TO RESIDENT.	C
BIRWOOD	CALL	LEAF DEBRIS IN YARD. ADDRESSED COMPLAINT.	C
MARGUERITE	CO	ADDRESSING JUNK IN FRONT YARD. JUNK MOVED.	C
MARGUERITE	CO	ADDRESSING JUNK IN DRIVEWAY YARD. JUNK MOVED.	C
BIRWOOD	CO	CLEAN LEAF DEBRIS IN YARD. NOTICE ISSUED.	C
BIRWOOD	CO	CLEAN LEAF DEBRIS IN YARD. NOTICE ISSUED.	C
BIRWOOD	CO	CLEAN LEAF DEBRIS IN YARD. NOTICE ISSUED.	C
SAXON	COUNTER	MOVE ROCKS FOR ELDERLY IN ROW THAT WERE ACCIDENTALLY HIT BY CAR TRUCKING.	C
RUTLAND	CO	ADDRESS MUD AND LEAF DEBRIS IN THE STREET. MUD AND DEBRIS REMOVED.	C

# Code Enforcement List

Source of		12/4/23 – 12/13/23, PT. 3	
Address	Complaint	Complaint	Closed or Open
BIRWOOD	CO	SITE INSPECTION FOR LEAF DEBRIS FOLLOW UP. SITE CLEAN.	C
KIRKSHIRE	CO	SITE INSPECTION FOR LEAF DEBRIS FOLLOW UP. SITE CLEAN.	C
COUNTER	CO	DISCUSSION WITH RESIDENT ABOUT CODE MATTERS	C
WARWICK		SPOKE WITH RENTER ABOUT OUTSTANDING ISSUES WITH HOME AND WATER RUNOFF.	
13 MILE	CO	SITE INSPECTION ON SECOND NOTICE. WORK ORDER ISSUED.	C
13 MILE	CO	SITE INSPECTION ON SECOND NOTICE. WORK ORDER ISSUED.	C
KIRKSHIRE	CO	SITE INSPECTION FOR LEAF DEBRIS FOLLOW UP. SITE CLEAN.	C
KIRKSHIRE	CO	SITE INSPECTION FOR LEAF DEBRIS FOLLOW UP. WORK NEEDS TO BE DONE.	C
KIRKSHIRE	CO	SITE INSPECTION FOR LEAF DEBRIS FOLLOW UP. SITE CLEAN.	C
KIRKSHIRE	CO	SITE INSPECTION FOR LEAF DEBRIS FOLLOW UP. SITE CLEAN.	C
KIRKSHIRE	CO	SITE INSPECTION FOR LEAF DEBRIS FOLLOW UP. SITE CLEAN.	C
KIRKSHIRE	CO	SITE INSPECTION FOR LEAF DEBRIS FOLLOW UP. SITE CLEAN.	C
BIRWOOD	CO	SITE INSPECTION FOR LEAF DEBRIS FOLLOW UP. SITE CLEAN.	C
BIRWOOD	CO	SITE INSPECTION FOR LEAF DEBRIS FOLLOW UP. SITE CLEAN	C

# Code Enforcement List

12/4/23 – 12/13/23, PT. 4			
Address	Source of Complaint	Complaint	Closed or Open
BIRWOOD	CO	SITE INSPECTION FOR LEAF DEBRIS FOLLOW UP. SITE CLEAN.	C
BIRWOOD	CO	SITE INSPECTION FOR LEAF DEBRIS FOLLOW UP. SITE CLEAN.	C
DUNBLAINE	CO	SITE INSPECTION FOR LEAF DEBRIS FOLLOW UP. SITE CLEAN.	C
RIVERSIDE	CO	SITE INSPECTION FOR LEAF DEBRIS FOLLOW UP. LEAF DEBRIS CLEARED.	C
RIVERSIDE	CO	SITE INSPECTION FOR LEAF DEBRIS FOLLOW UP. LEAF DEBRIS CLEARED.	C
RIVERSIDE	CO	SITE INSPECTION FOR FENCE. FENCE TAKEN DOWN. HOWEVER, REMAINING FENCE NEEDS TO BE REPAIRED. CITATION ISSUED.	O
DEVONSHIRE	CO	FOLLOW UP ON YARD DEBRIS AND WINDOWS. CLEANED UP AND WINDOWS ORDERED.	C
BEVERLY	CO	CAR PARKED ON GRASS. CAR MOVED.	C
BEVERLY	CO	CAR PARKED ON GRASS. CAR MOVED.	C

# **Beverly Hills Public Safety** **Activity Report**

**Jan 2<sup>nd</sup> to Jan 11<sup>th</sup>, 2024**

The Public Safety Department has changed vendors for crime mapping, CrimeDar went out of business. If you are interested in crime mapping the Village, go to **CLEMIS Public Crime Search (arcgis.com)**. You have 6 months of data loaded and showing a crime as recent as yesterday.

The Beverly Hills Public Safety Department is hiring Public Safety Officers again, please go to our webpage at **BeverlyHillsPolice.com** and see if you qualify.

## **CALLS FOR SERVICE**

- **187 Calls for Service.**
- **43 Tickets issued.**
- **6 Arrests.**
- Traffic Enforcement at Lahser and Nottingham.
- Welfare Check on Amherst.
- Medical on Elizabeth.
- Assisted Birmingham PD with an arrest on Southfield.
- Beverly Park closed for the night.
- Extra Patrol in Huntley Square Apartments.
- Traffic Enforcement at 13 Mile and Southfield.
- Radar Detail at Southfield and Locherbie.
- Officers stopped a driver for a minor traffic violation at Southfield and Birwood. The driver was arrested for warrants and Driving While License Suspended. The arrest was without incident.
- Medical on Plumwood.
- Traffic Accident at Greenfield and Verona.
- Crime Prevention at Beverly School.
- Crime Prevention at Greenfield School.
- Found Property on Blossom.
- Extra Patrol around Shagbark and Georgetown.
- Citizen Assist at Mission Point.

- Found Property reported on Beaconsfield.
- Firearm turned in for destruction at the station.
- Officers stopped a driver for a minor traffic violation at Southfield and 13 Mile. The driver was arrested for Driving While License Suspended and taken into custody without incident.
- Medical at Mission Point.
- Radar Detail at Lahser and Hillview.
- Medical at Mission Point.
- Beverly Park closed for the night.
- Plate Confiscation at 13 Mile and Southfield.
- Traffic Enforcement at 14 Mile and Pierce.
- Animal Complaint on Beverly.
- Suspicious Vehicles at 13 Mile and Southfield.
- Extra Patrol around Norchester and Warwick.
- Radar Detail at Lahser and Hampton.
- Extra Patrol at Market Fresh.
- Extra Patrol at Beverly School.
- Extra Patrol in Huntley Square Apartments.
- Extra Patrol at the Corners Shopping Mall.
- Traffic Enforcement at Churchill and 13 Mile.
- Extra Patrol around Sheridan and Madison.
- Traffic Enforcement at 13 Mile and Greenfield.
- Extra Patrol around Lincolnshire and Shagbark.
- Traffic enforcement at Greenfield and Beverly.
- Traffic Accident at 13 Mile and Lahser.
- Crime Prevention at Greenfield School.
- Suspicious Circumstances on Westlady.
- Crime Prevention at Greenfield School.
- Crime Prevention at Groves High School.
- Alarm on Birwood.
- Crime Prevention at Queen of Martyrs School.
- Crime Prevention at Beverly School.
- Crime Prevention at Greenfield School.
- Radar Detail on 14 Mile.
- Traffic Accident at Lahser and 1 Mile.
- Radar Detail at Lahser and Hillview.
- Extra Patrol around Lincolnshire and 13 Mile.
- Radar Detail at Beverly and Pierce.
- Traffic Enforcement at Evergreen and Ronsdale.
- Beverly Park closed for the night.
- Extra Patrol around 13 Mile and Rutland.
- Extra Patrol around Eastlady and Smallwood.
- Traffic Report at 14 Mile and Greenfield.

- Suspicious Circumstances on Rivers Edge.
- Extra Patrol around Kennoway Circle.
- Extra Patrol around Warwick and Riverside.
- Traffic Enforcement at Greenfield and Auburn.
- Extra Patrol in Huntley Square Apartments.
- Extra Patrol around Waltham and Sunset.
- Extra Patrol around Rutland and Elizabeth.
- Crime Prevention at Berkshire School.
- Crime Prevention at Beverly School.
- Crime Prevention at Greenfield School.
- Traffic Enforcement at Evergreen and 13 Mile.
- Vehicle Lockout on Warwick.
- Medical at Mission Point.
- Alarm on Wilshire.
- Traffic Enforcement at Pierce and 14 Mile.
- Parking Complaint on Ronsdale.
- Crime Prevention at Greenfield School.
- Crime Prevention at Beverly School.
- Alarm on 13 Mile.
- Reckless Driving reported on Southfield.
- Fraud reported on Dundee Court.
- Alarm on Tremont Lane.
- Traffic Accident on 14 Mile.
- Traffic Enforcement at 14 Mile and Bellvine Trail.
- Officers stopped a driver for a minor traffic offense at Southfield and 14 Mile. The driver was arrested for warrants and Driving While License Suspended. The arrest was without incident.
- Juvenile Complaint on Old Post.
- Beverly Park closed for the night.
- Extra Patrol at the Village Offices.
- Extra Patrol around Saxon and Southfield.
- Lift Assist on Valley Oaks Drive.
- Crime Prevention at Groves High School.
- Extra Patrol in Huntley Square Apartments.
- Extra Patrol around Pierce and Beechwood.
- Extra Patrol around Beverly and Mayfair.
- Extra Patrol in Beverly Park after hours.
- Extra Patrol around Mayfair and Nixon.
- Medical on 14 Mile.
- Larceny reported on 13 Mile.
- Suspicious Circumstances on Buckingham.
- Juvenile Complaint on Chelton.
- Traffic Enforcement at Evergreen and Waltham.

- Extra Patrol in the Corners Shopping Mall.
- Traffic Enforcement at Beverly and Norchester.
- Crime Prevention at Beverly School.
- Traffic Enforcement at 13 Mile and Southfield.
- Extra Patrol around Bedford and Norchester.
- Medical on Elizabeth.
- Extra Patrol around Pierce and Dunblaine.
- Fire Truck Checks.
- Medical on Ronsdale.
- Traffic Accident on Foxboro Way.
- Suspicious Circumstances in Huntley Square Apartments.
- Radar Detail at 14 Mile and Lahser.
- Traffic Accident on Riverbank.
- Crime Prevention at Berkshire School.
- Beverly Park closed for the night.
- Extra Patrol around Pierce and Birwood.
- Crime Prevention around Detroit Country Day.
- Suspicious Persons on Elizabeth.
- Medical on Pemberly Court.
- Traffic Enforcement at 14 Mile and Lahser.
- Extra Patrol around 13 Mile and Tremont Lane.
- Extra Patrol at Market Fresh.
- Suspicious Persons on Evergreen.
- Crime Prevention at Greenfield School.
- Crime Prevention at Beverly School.
- Crime Prevention at Queen of Martyrs School.
- Radar Detail at Churchill and 13 Mile.
- Welfare Check on Westlady.
- Odor Investigation on Quail Ridge.
- Operation Medicine Cabinet.
- Radar Detail at Hillview and Lahser.
- Prisoner Transport to the 46<sup>th</sup> District Court.
- Informational Report taken on Woodhaven.
- Medical at Mission Point.
- Crime Prevention at Berkshire School.
- Crime Prevention at Beverly School.
- Crime Prevention at Greenfield School.
- Fraud reported on Buckingham.
- Medical on Lauderdale.
- Crime Prevention at Groves High School.
- Welfare Check on Wendbrook.
- Traffic Enforcement at 14 Mile and Pierce.
- Extra Patrol in the Corners Shopping Mall.

- Medical in Huntley Square Apartments.
- Officers stopped a driver for a traffic violation at 13 Mile and Greenfield. The driver was arrested for warrants and taken into custody without incident.
- Traffic Enforcement at Riverside and Norchester.
- Extra Patrol around 13 Mile and Greenfield.
- Extra Patrol around Groves High School.
- Extra Patrol in Huntley Square Apartments.
- Medical on Elizabeth.
- Medical on Lahser.
- Crime Prevention at Beverly School.
- Extra Patrol at Medical Village.
- Traffic Accident at Southfield and Locherbie.
- Extra Patrol at the Beverly Hills Club.
- Prisoner Transport to the 46<sup>th</sup> District Court.
- Officers were dispatched to the Lincoln Park Parole Office to pick up a subject with a warrant. The arrest was without incident.
- Medical at Mission Point.
- Officers were dispatched to Novi PD to pick up a subject with a warrant. The arrest was without incident.
- Crime Prevention at Beverly School.
- Medical at Mission Point.
- Radar Detail at 14 Mile and Lahser.
- Traffic Enforcement at 14 Mile and Southfield.
- Beverly Park closed for the night.
- Suspicious Persons at Westlady and Bellvine Trail.
- Assisted Berkley PD on Metamora.
- Extra Patrol around Ronsdale and Evergreen.
- Extra Patrol in Huntley Square Apartments.
- Suspicious Circumstances at Southfield and Gould.
- Crime Prevention at Queen of Martyrs School.
- Sudden Death at Mission Point.
- Crime Prevention at Berkshire School.
- Crime Prevention at Greenfield School.
- Crime Prevention at Beverly School.
- Traffic Enforcement at Evergreen and 13 Mile.
- Traffic Enforcement at Lahser and Nottingham.
- Medical on Lahser.
- Injury Accident at Evergreen and 13 Mile.
- Fire Alarm at Groves High School.
- Crime Prevention at Greenfield School.



- Officers were dispatched to Detroit PD to pick up a subject on a warrant. The arrest was without incident.
- Medical at Mission Point.
- Suspicious Persons on Lincolnshire.

### **Fire & Emergency Medical Services**

- 31 EMS Calls.
- 4 Lift Assist.
- 2 Smoke Investigations.
- 1 Fire Alarm.
- 2 Weekly Apparatus Checks.
- Supervise Midnight Platoons 3 and 4.
- NFIRS data uploaded to FEMA.
- 21 Hours Fire Training Completed.
- 11 Hours EMS Training Completed.
- Annual Fit testing Completed.
- County Training Committee administration.
- Fire Instructor I 2024-2-63-H07C-0217 Course administration.
- Fire Instructor I 2024-2-63-H07C-0219 Course administration.

### **Detective Bureau and School Liaison**

- Court Innovations at 46th District Court.
- Hit & Run case sent to Village Attorney for review.
- Investigate new evidence discovered in assault case.
- New evidence sent to Oakland County Prosecutor.
- PSO Cazan at 46th District Court for Possession of Meth case.
- Det/Sgt Baller at Groves High School-School security detail-1/08/2024.
- Swear to for OWI 2nd at 46th District Court.
- Swear to for FA/Domestic Violence at 46th District Court.
- Swear to for FA/Assault with intent to cause great bodily harm-Amended.
- In-custody arraignment for Obstructing.
- Stress and your health training completed.
- Sexual harassment at the workplace training completed.
- Firefighter safety training completed.

- Incident and crew management fire training completed.
- Bloodborne pathogens training completed.
- Det. Balagna attended Oakland County SWAT training.

## **Preparing Your Vehicle for the winter**

### **NHTSA excerpts 2023**

**[nhtsa.gov/winter-driving-tips](https://nhtsa.gov/winter-driving-tips)**

#### **Lights**

Check your headlights, brake lights, turn signals, emergency flashers and interior lights. Be sure to also check your trailer brake lights and turn signals, if necessary.

#### **Windshield Wipers**

You can quickly go through a lot of windshield wiper fluid in a single snowstorm. Make sure your vehicle's reservoir is full of high-quality "winter" fluid with de-icer before winter weather hits. Make sure defrosters and all windshield wipers work and replace any worn blades. Consider installing heavy-duty winter wipers if you live in an area that gets a lot of snow and ice.

#### **Floor Mats**

Due to slushy winter conditions, you might consider switching out your usual floor mats for thicker material or rubbery ones. Improperly installed floor mats in your vehicle could interfere with the operation of the accelerator or brake pedal, increasing the risk of a crash. Follow the manufacturer's instructions for mat installation and use retention clips to secure the mats. Always use mats that are the correct size and fit for your vehicle.

#### **Stock Your Vehicle**

Carry items in your vehicle to handle common winter driving-related tasks, and supplies you might need in an emergency, including:

- a snow shovel, broom, and ice scraper;
- abrasive material (sand or kitty litter), in case your vehicle gets stuck in the snow;
- jumper cables, flashlight, and warning devices (flares and emergency markers);
- blankets for protection from the cold; and
- a cell phone and charger, water, food, and any necessary medicine.

## **Gas Up or Plug It In**

Keep your gas tank close to full whenever possible.

Similarly, in electric and hybrid-electric vehicles, it is important keep your battery charged and to also minimize the drain on the battery. In general, batteries with liquid electrolyte have reduced energy storage and delivery capabilities at lower temperatures, which is why most all vehicle batteries use battery power for self-heating in low temperatures. The battery drain due to heating can be minimized by keeping your electric vehicle as warm as possible during freezing temperatures. A common way to do this is plugging your vehicle in at night during the winter – keeping the battery in its optimal temperature ranges.

## **Plan Your Route**

Check your local weather and traffic reports before heading out. If your roads are not in good shape, consider postponing non-essential travel until the roads are cleared. If you do have to go out, make sure you are prepared in case you become delayed while traveling. If making a long road trip when winter weather is forecasted, consider leaving early or changing your departure to avoid being on the roads during the worst of the storm.

Familiarize yourself with directions and maps before you go—even if you use a GPS—and let others know your route and anticipated arrival time. On longer trips, plan enough time to stop to stretch, get something to eat, check your phone, and change drivers or rest if you feel drowsy.

## **What to Do in an Emergency**

If you are stopped or stalled in wintry weather, stay focused on yourself and your passengers, your car, and your surroundings.

- Stay with your car and don't overexert yourself.
- Let your car be seen. Put bright markers on the antenna or windows and keep the interior dome light on.
- Be mindful of carbon monoxide poisoning. Make sure your exhaust pipe is clear of any snow and run your car only sporadically — just long enough to stay warm. Don't run your car for long periods of time with the windows up or in an enclosed space.

# NATIONAL RADON ACTION MONTH



HEALTH DIVISION  
**DAVID COULTER**  
OAKLAND COUNTY EXECUTIVE



## TEST FOR RADON

Radon is a naturally occurring gas you can't see, smell, or taste. It can be harmful when present in buildings. Be sure to test your home this winter.

**NORTH**  
**OAKLAND HEALTH CLINIC**  
1200 N. Telegraph Bldg #34E  
Pontiac, MI 48341

**SOUTH**  
**OAKLAND HEALTH CLINIC**  
27725 Greenfield Rd.  
Southfield, MI 48076

**SPECIAL FOR  
THE MONTH OF JANUARY:**

**\$5**

**To purchase more than 15 radon kits,  
please call 248-858-1312.**

*For more information, call Nurse on Call at 800.848.5533 or visit [oakgov.com/health](http://oakgov.com/health)*

NURSE ON CALL PUBLIC HEALTH INFORMATION  
800.848.5533 NOC@OAKGOV.COM  
[OAKGOV.COM/HEALTH](http://OAKGOV.COM/HEALTH)



The Oakland County Health Division will not deny participation in its programs based on race, sex, religion, national origin, age or disability. State and federal eligibility requirements apply for certain programs. 23-428



Register at  
**BeverlyHillsLittleLeague.org**

or scan this QR Code:



**Registration is now open for  
 our Spring 2024 Season!**

## DIVISIONS

Division	Age Group	Registration	Late Registration (after 2/15/24)
Tee Ball	4 - 6	\$150	\$175
Youth	7 - 8	\$150	\$175
Minors	9 - 10	\$175	\$200
Majors	11 - 13	\$175	\$200
Intermediate	13 - 14	\$175	\$200

**\* Tournament team opportunities will be announced later; additional fees apply**

Please verify your players age according to official Little League rules at:

<https://www.littleleague.org/play-little-league/determine-league-age/>

## EVALUATIONS

Where	When
All Fields Hitting Baseball 21315 Bridge St, Southfield, MI 48033	Early March Dates to be announced shortly

**MANDATORY EVALUATIONS** FOR ALL MINOR, MAJORS, & INTERMEDIATE PLAYERS  
 THERE ARE NO EVALUATIONS FOR TEE BALL OR YOUTH

## TENTATIVE SCHEDULE

March 2nd, 3rd	Evaluations	May 24-27th	Memorial Day Break
March 9th	Coaches Safety Meeting	May 27th	Memorial Day Parade
March 18th	Teams/Schedule Announced	May 28th	Majors Championship
April 1st	Practices Begin	May 29th	Minors Championship
April 8th	Games Begin	June 1st	All Star Game
April 27th	Family Fun Opener	June 6th	Last Day of BPS School
May 13th	Playoffs Begin		

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