

**Beverly Hills
Regular Village Council Meeting
Tuesday, March 5, 2019**

**Municipal Building
18500 W. 13 Mile Rd.
7:30 p.m.**

AGENDA

Roll Call/Call to order

Pledge of Allegiance

Amendments to Agenda/Approve Agenda

Community Announcements

Public Comments on items not on the published agenda

Consent Agenda

1. Review and consider approval of **minutes** of a regular Council meeting held February 19, 2019.
2. Review and consider approval of **minutes** of a joint Planning Commission and Council meeting held February 13, 2019.
3. Review and file **bills recapped** as of Monday, March 4, 2019.
4. Review and consider approval of landscaping **contract** with Jason's Outdoor Services for 2019.
5. Review and consider approval of pavement marking **contract extension** with R.S. Contracting for 2019.

Business Agenda

1. Review and consider **request** from Kensington Community Church to hold Easter Egg Hunt at Beverly Park on Saturday, April 13, 2019.
2. Second **announcement** of a Cable Board vacancy.
3. Public Hearing to receive comments on **request** from Detroit Country Day School, 22305 W. 13 Mile Road, for special land use approval and site plan approval to retain a playground and sports court and add a guard house at the Middle School grounds.
4. Review and consider **request** from Detroit Country Day School, 22305 W. 13 Mile Road, for special land use approval and site plan approval to retain a playground and sports court and add a guard house at the Middle School grounds.

Public comments

Manager's **report**

Council comments

The Village of Beverly Hills will provide necessary reasonable auxiliary aids and services, such as signers for the hearing impaired and audiotapes of printed materials being considered at the meeting, to individuals with disabilities attending the meeting upon three working days' notice to the Village. Individuals with disabilities requiring auxiliary aids or services should contact the Village by writing or phone, 18500 W. Thirteen Mile Beverly Hills, MI 48025 (248) 646-6404.

REGULAR COUNCIL MEETING MINUTES – FEBRUARY 19, 2019 - PAGE 1

Present: President Peddie; President Pro-Tem Abboud; Members: Mooney, Nunez, and Mueller

Absent: Members: George and Hrydziuszko

Also Present: Village Manager, Wilson
Public Safety Director, Torongeau

President Peddie called the regular Council meeting to order at 7:30 p.m. in the Village of Beverly Hills municipal building at 18500 W. Thirteen Mile Road. The Pledge of Allegiance was recited by those in attendance.

AMENDMENTS TO AGENDA/APPROVE AGENDA

Motion by Mooney, second by Nunez, to amend the agenda, moving Consent Agenda Item 3 “Review and Consider 2018 Special Assessment Roll for the Southfield Road Business Assessment District” to Business Item 5. With the submission of the letter of resignation after the publication of the agenda, amend Business Item 3. First announcement of vacancy on the Birmingham Area Cable Board to include “Accept the resignation of Rosemary Bayer and...”, and add Council Comments to the end of the agenda.

Motion passed.

Motion by Mooney, second by Mueller, to approve the agenda as amended.

Motion passed.

COMMUNITY ANNOUNCEMENTS

None.

PUBLIC COMMENTS

Casey Powell, Dunblaine, requested clarification on the status of the proposed modification to Section 22.08.100 Accessory Structures, Buildings and Uses in Residential Zone Districts to regulate mechanical units in side yards and to require zoning permit for small buildings 120 square feet and larger that are otherwise not required to obtain building permits. It was confirmed that the motion had failed, and no changes were made to the ordinance.

PUBLIC HEARING - SPECIAL ASSESSMENT ROLL FOR SOUTHFIELD ROAD BUSINESS ASSESSMENT DISTRICT

President Peddie declared the public hearing open at 7:34 pm to receive comments on the Special Assessment Roll for the Southfield Road Business Assessment District.

No one wished to be heard; therefore, the public hearing was closed at 7:34 pm.

CONSENT AGENDA

Motion by Mooney, second by Mueller, be it resolved that the Council for the Village of Beverly Hills approve the consent agenda.

1. Review and consider approval of minutes of a regular Council meeting held February 5, 2019.
2. Review and file bills recapped as of Friday, February 15, 2019.

Roll Call Vote:
Motion passed (5-0).

BUSINESS AGENDA

REVIEW AND CONSIDER APPOINTMENT OF KRISTIN RUTKOWSKI AS VILLAGE CLERK AND ASSISTANT VILLAGE MANAGER

Administration and the Personnel Committee recommend the appointment of Kristin Rutkowski to the position of Village Clerk and Assistant Village Manager. Rutkowski is a Michigan native and graduate of Cranbrook High School. She has a Bachelor of Arts in American Studies and Political Science from DePaul University in Chicago and a Master of Public Administration from the University of Colorado in Denver. Rutkowski worked as a Business Development Associate for the City and County of Denver, CO, as an Executive Assistant to the City Manager in Hamtramck, MI, and is currently working as Clerk in the Building Department for the City of Royal Oak.

Rutkowski was interviewed twice by the Personnel Committee and once by the Village Manager. She performed very well in all three interviews. She passed the background investigation by the Department of Public Safety. She serves as a volunteer and Event Coordinator for the Polish Legion of American Veterans and has served as an animal shelter and adoption center volunteer for PAWS Chicago.

Rutkowski agreed to a start date of Monday, February 25th. Starting salary will be at the rate of \$73,565 annually. This is the starting rate (step 1) as established for this pay grade (Grade 6) per the most recent salary survey commissioned by the Village. Other benefits will be the same as those provided to other non-union Village employees. There is a six (6) month probationary period. As Clerk and Assistant Manager Ms. Rutkowski will be directly supervised by the Village Manager. Per the Charter, her appointment as Clerk must be approved by the Village Council. Appointment of Rutkowski as the Village Clerk will also terminate Wilson's temporary appointment to the position of Village Clerk.

All members of Council welcomed Rutkowski and expressed their enthusiasm at working with her.

Motion by Abboud, second by Mooney, be it resolved that the Beverly Hills Village Council appoint Kristin Rutkowski to the position of Village Clerk effective February 25, 2019. Rutkowski will also serve in the capacity of Assistant Village Manager under the direction and supervision of the Village Manager. Annual salary for Rutkowski will be \$73,565, subject to periodic review and annual adjustment, with other employment benefits as equal to those provided to other nonunion Village employees.

Roll call vote:
Motion passed (5-0)

INSTRUCTIONS TO PLANNING COMMISSION

Peddie met with Administration and Erin LaPere, Planning and Zoning Administrator, after the joint meeting to draft instructions to the Planning Commission.

Administration

1. Marijuana Ordinance- Opt out. Village Attorney Tom Ryan to draft language
2. Compliance with State Regulations - LaPere will work with Ryan and Planning Consultant to review
 - a. Sign Ordinance
 - b. Notification Deadlines
 - c. Childcare facilities
3. Conflicting Sections
 - a. 22.08.090 and 22.08.130 - LaPere will work with Planning consultant
4. Site Plan Review Process - LaPere will review administrative processes
5. Outside Storage in Residential Zone Districts- Vehicles, wood storage - Ryan will draft Language

Planning Commission

1. Planned Unit Development (PUD)
 - a. Please include language for developers of properties concerning removal of “landmark” trees on properties.
 - b. Review existing cluster ordinance language and make recommendations
 - c. Establish subcommittee of Planning Commission to work with consultant on recommended language
2. Re-zoning Standards
 - a. Establish of Planning Commission to work with consultant on recommended language
3. Principal Uses and Special Land Uses
 - a. O- Office and B Business — Planning Commission will appoint a subcommittee to review and make recommendations by summer
 - b. Off-street Parking Regulations - Planning Commission will appoint a subcommittee to review and make recommendations based upon updates to commercial uses.

Council

1. Chickens
 - a. Is there agreement amongst Council to do the following:
 - i. Get an indication of whether we want to draft an ordinance
 - ii. Do we want to have a ballot proposal
 - iii. Get a sense of what the community thinks. Survey
2. Talk about sidewalks- connecting various destination points in our community
 - a. Funding
 - b. Get sense from Council
3. Re-visit Tree Ordinance
 - a. Looking at PUD and placing rules here may eliminate concern with developers clear cutting lots
4. Zoning Ordinance Overhaul

- a. Quote provided to us in 2016 was \$50,000 to \$60,000. There was discussion on a complete overhaul but considering the cost on the quote provided and that there are no funds allocated for such an endeavor, concentration will be centered on the updates proposed above. LaPere believes this will make the Zoning Ordinance text better.

ACCEPT THE RESIGNATION OF ROSEMARY BAYER AND MAKE THE FIRST ANNOUNCEMENT OF VACANCY ON THE BIRMINGHAM AREA CABLE BOARD

Rosemary Bayer has been a member on the Birmingham Area Cable Board since July 2017. We received notification that since she has been elected as State Senator of District 12, she is resigning from her position on the Board at the completion of the December 19, 2018 meeting. This is the first announcement of the vacancy; the term has an expiration date of June 30, 2020. The Cable Board meets on the third Wednesday of the month, at 7:45 a.m. in the Village Council chamber.

Application deadline:	Friday, March 29, 2019 at 4:30 p.m.
Term expires:	June 30, 2020
Cable Board Subcommittee:	Chairperson: Peddie
Members:	Abboud and George

Applications of interested persons will be delivered to subcommittee members with the April 9, 2019 packet.

Motion by Mooney, second by Muller, to regretfully accept the resignation of Rosemary Bayer from the Birmingham Area Cable Board.

Motion passed.

INSTRUCTIONS TO PARKS & RECREATION BOARD

Due to the proposal for Beverly Park funding not making it onto the November ballot, there are not any large projects planned for the 2019 season. Most of the budgeted funds for FYs 2019 and 2020 are allocated towards the buckthorn removal project.

1. Review maintenance, repair, and replacement schedule
 - a. Once the buckthorn has been removed discuss re-forestation. Possible hire of arborist/forestry expert to review soil and what are the best options for new trees
 - b. Find out what DEQ permits for Riverside Park would be needed
 - c. Hrydziuszko will reach out to MSU for re-planting options
2. DTE Grant use by May 30, 2019; matching funds \$1,500
3. Discussion of further funding for all Parks in Beverly Hills. 2020 Millage renewal consider separate millage for funding into the future
4. Continuation of the Park Ranger program and discussion of 2019 duties and projects
 - a. Woodchips
 - b. Disc golf course
 - c. Re-painting dugouts
 - d. Paint the fence
5. Discussion of expanded role of Administration and Parks and Recreation Board in yearly Village Wide celebrations: Memorial Day, Halloween Hoot

6. Holiday Lighting in Beverly Park
7. Long Term issues- Play structure is not in good shape. Need to plan. Est cost for replacement is \$276,000

Mooney reported the plaque commemorating the gazebo was reinstalled after the Eagle Scout project refurbishing the gazebo was completed.

Mueller reported that the Parks & Recreation Board has received species recommendations for the Beverly Park reforestation project, as well as additional grant monies and donations. The Lost and Found Pole at the Park will be replaced this year.

REVIEW AND CONSIDER 2018 SPECIAL ASSESSMENT ROLL FOR THE SOUTHFIELD ROAD BUSINESS ASSESSMENT DISTRICT

Motion by Mooney, second by Mueller, be it resolved that the Southfield Road Business District incurred the following costs for 2018: maintenance \$2,844.21, water costs for the sprinkling system \$1,514.36 and electric costs for Beverly Hills Grill \$312.19. In addition, each property incurred a 10% administrative fee for a total of \$467.08.

Therefore, the Village of Beverly Hills Council confirms the Village Business District Assessment Roll for the 2018 season in the amount of \$4,670.76 as follows:

Beverly Hills Club	\$1,183.07
Bed, Bath & Beyond	\$462.45
Beverly Hills Grill	\$520.63
C.G. Holdings, LLC	\$338.62
Emile Salon	\$491.03
Taco Bell	\$400.20
31333 Building	\$552.35
Beverly Venture	\$1,189.50
<u>Rounding</u>	<u>(0.01)</u>
TOTAL:	\$4,670.76

Roll Call Vote:
Motion passed. (5-0)

PUBLIC COMMENTS

None.

MANAGER'S REPORT

Cable Board Reimbursement – The Cable Board has determined the amount of their administrative grants for the four (4) member communities for FY 2018-19. In total, the Cable Board will be releasing \$293,491 in administrative grants. Of this amount, \$83,704 will be paid to the Village. These monies should be received this month. These funds will be received as revenue for the Village's General Fund.

Greening Scholarship – Forms are now available for the 2019 Donald and Patricia Greening Community Service Scholarship. This annual scholarship award in the amount of \$1000 is provided to one eligible male and female graduating high school student or student who plans to enroll at a college, community college, university or technical school in the fall of 2019. The scholarship is open to any graduating senior of Groves High School or any graduating senior who is a resident of the Village of Beverly Hills. Applicants should have completed charity work that benefits the Village of Beverly Hills, or any charitable organization located within the Village. To be considered, applicants are required to have an unweighted GPA of 3.0 or higher on a 4.0 scale and a minimum ACT score of 22. Applications can be found on the Village website, at the Village Offices or through your high school counselor.

March 5th Public Hearing – For the Council meeting of March 5th there is a Public Hearing scheduled to take comments on a revised site plan and special land use application for Detroit Country Day School (DCD). The applicant has submitted a revised site plan to get approval for a playground structure and sports court that were constructed with the middle school expansion project but were not approved as part of the original site plan. The Planning Commission also conducted a Public Hearing on this matter and recommend denial of the application by DCD. In the interim, DCD has been meeting with representatives of the adjoining neighborhood on potential modifications to the site/site plan. As of today, a revised site plan has not been submitted. Tickets were issued for DCD for non-compliance with the Village's zoning codes. These tickets were adjudicated on February 7th in the 46th District Court as civil infractions for three counts of zoning ordinance violations with fines totaling \$1,500. Ryan has advised that if there are issues remaining with non-compliance following the resolution of this matter before the Village Council, he can return to court with an order based upon the decision of the Village per the previous pleas entered.

COUNCIL COMMENTS

Mueller announced the February Parks & Recreation Board meeting was canceled.

Nunez commended Comeau for their excellent job of snow removal during recent storms.

Mooney thanked Comeau for their swift work on the snow removal during recent storms. He shared on the sad passing of Geraldine Hoover, wife to former Council member and president Al Hoover.

Abboud reported the Finance Committees met and the Village is in sound financial shape. He encouraged residents to attend meetings and get involved.

Motion by Mooney, second by Nunez, to adjourn the meeting at 8:08 p.m.

Motion passed.

Lee Peddie
Council President

Chris Wilson
Village Clerk

Elizabeth M. Lyons
Recording Secretary

JOINT PLANNING COMMISSION - COUNCIL MEETING MINUTES – FEBRUARY 13, 2019 – PAGE 1

Present: Planning Commission: Chairperson Ostrowski; Vice-Chairperson Westerlund;
Members: Borowski, Copeland, Drummond, Grinnan, Ruprich, and Stempien

Council: President Peddie; Members: George, Hrydziusko, Mueller, and Nunez

Absent: Council: President Pro-Tem Abboud and Mooney
Planning: Wilensky

Also Present: Planning and Zoning Administrator, LaPere

Chairperson Ostrowski called the joint Planning Commission and Council meeting to order at 7:30 p.m. in the Village of Beverly Hills municipal building at 18500 W. Thirteen Mile Road.

AMENDMENTS TO AGENDA/APPROVE AGENDA

Motion by Westerlund, second by Stempien, to approve the agenda as published.

Motion passed.

PUBLIC COMMENTS ON ITEMS NOT ON THE AGENDA

None.

RECAP OF 2018

The Planning Commission approved four signs in the Village, held five site plan hearings, and adopted bylaws. They formed subcommittees who did work on the development of a amendment to the fence ordinance, another developed lot coverage maximums, and a third worked on zoning compliance permits. A subcommittee was formed to study backyard chickens and pass their findings along to Council, one was also formed to research options with the recent ballot proposal passing that allows recreational marijuana.

MASTER PLAN ACTION ITEMS - PRIORITIZATION

Westerlund suggested a full overhaul of the Zoning Ordinance as opposed to changing it in parts.

Borowski stated the development of a Planned Unit Development (PUD) would assist with the development of the Southfield Corridor and other potential development.

Drummond would like to see the Village establish sidewalks throughout, opening pedestrian use.

Grinnan believes a focus on the enforcement of ordinances is necessary.

Copeland agrees with an ordinance clean up and would like to see a tree ordinance passed.

Stempien wants to see accommodations for sidewalks, cottage housing development, and the walkability index.

ZONING ORDINANCE UPDATES

a. Site Plan review process

The process for site plan review is item Z3 of Master Plan Actions and is identified as a short term priority. The Master Plan notes need for updates to incorporate Redevelopment Ready Best Practices, to incorporate graphics and tables to aide process, and to review current procedures to ensure process is clear and concise for applicants, etc. Some items listed, including updating forms and annual review of fee schedule have already been implemented. Other areas of improvement, such as notification deadlines, submittal processes, etc. need to be reviewed and formally updated in the ordinance. Administration and Attorney will draft updates to these sections for review.

b. Conflicting Sections

1. 22.08.090 and 22.08.130.

Administration is aware of two sections with conflicting requirements for the minimum distance between buildings on adjacent properties, Sections 22.08.090 and 22.08.130. Upon reviewing the file of the various amendments to the Zoning Ordinance, Section 22.08.090 is the original language in place dictating spacing between residences tied to the minimum setback requirements of the Zone District. Section 22.08.130 was drafted and adopted by Council in response to concerns about spacing between homes during Zoning Ordinance updates that occurred in 2007. There was no reference to the existing language in the discussion recorded in the meeting minutes, therefore Administration is assuming that it was an oversight to create additional language. In addition, the language in Section 22.08.130 conflicts with setback requirements and effectively imposes greater setback standards than the adopted minimums of 22.24. Furthermore, strict interpretation of the language "...within 15 feet of any structure..." could result in significant nonconformity throughout the Zone Districts identified in that section as our ordinance defines a structure as "Anything constructed or erected, the use of which requires location on the ground or attachments to something having location on the ground." Section 22.04 Definitions further defines accessory structures and gives examples as children's playhouse or play equipment. Based on discussion at the meeting the language was drafted, it does not appear the intent was to prohibit a residence where the abutting property may have a swing set less than 15 feet away, therefore Administration is proposing we eliminate Section 22.08.130 and review the language of 22.08.090 to ensure it meets the needs of protecting public safety and welfare. Administration and Attorney will draft proposed updates to these sections.

c. Principal Uses and Special Land Uses

1. O – Office
2. B – Business
3. Single Family Residential

The various sections of the Zoning Ordinance which address principal and special land uses by Zone District are dated and updates to those sections is identified as item Z10 in Master Plan Action Items. A majority of the language is from the last Zoning Ordinance overhaul, which took place in 1985. There have been some minor updates in the interim, for example, added exterior storage for gas stations in 2012, and added language about in-home child care in 1991. However, the uses do not address many modern commercial activities and do not reflect changes to state statute that have occurred, such as updates to regulations on in-home childcare

facilities and the public school exemption from local zoning.

d. Parking regulations

The review of parking standards is item Z11 in the Master Plan Action Items and the last review and update to our parking regulations was in 2000. Periodically, the typical uses and associated parking regulations need review to ensure our ordinance requirements are in line with current needs.

e. Compliance with State regulations

1. Childcare facilities
2. Sign ordinance
3. Notification deadlines

The sections that regulate in-home childcare facilities were last updated in 1991. Current statutory language (MZEa) regulating in-home child care facilities was last updated in 2006 and we need to ensure our ordinance matches requirements by the state.

The Supreme Court Case, *Reed v. Town of Gilbert*, impacted all sign ordinances throughout the Country. Administration and Attorney will review current language to ensure it complies with content neutral requirements and draft updates as needed.

Sections that enumerate notification deadlines for Special Land Use requests and the Zoning Board of Appeals should match the state regulations for those actions. The MZEa was updated in 2006, and notification deadlines in our ordinance do not match statutory requirements. While the notifications are being sent in accordance with state regulations, it is important our ordinance language matches for clarity and consistency to the reader who may be unaware. Administration and Attorney will draft updates to these sections.

f. Outside storage in Residential Zone Districts

At the study session held in January, Council identified outside storage regulations as an area that needed clearer regulations to aid enforcement action for both wood storage and vehicle storage. Administration and Attorney were asked to begin drafting language relative to those topics and will prepare draft language for review.

g. Chickens

The topic of whether there is Council and Village wide support to modify the Ordinance to allow the keeping of farm animals, specifically chickens, is ongoing.

h. Marijuana Ordinance

Administration and Attorney will draft ordinance language opting-out of commercial activities.

i. Planned Unit Development (PUD) Ordinance

Creating a Planned Unit Development ordinance is item Z2 in the Master Plan Action items list, with stated priority of short-term goal. The Village's current cluster ordinance was last updated in 1992. Attached is a description of goals and benefits of PUD and cluster developments prepared by the Michigan Planning Association. Tremont is the most recent development that occurred under the Village's cluster development option. Updating the

language to meet anticipated development patterns to provide the Village with flexibility and protection is essential to retain the character of the Village and encourage positive development and redevelopment in the community.

j. Rezoning Standards

Village does not have clear, enumerated standards for approving rezoning or conditional rezoning requests. This is an item Z7 and Z8 in the Master Plan Action Items as mid-term priority, by 2020. These are powers that are granted to the Village by the MZEA but officials should have clear standards by which they make the decision to approve or deny any such requests. Administration has seen an increase in inquiries about rezoning opportunities, especially for existing institutional uses.

All of Council supports PUD, updates to the ordinance, and the tree ordinance redraft. There is limited support for chickens, but more research needs to be done on the scope of resident support.

Both the Commission and Council agree that change should be considered related to business permitting, but do not want to put into place restrictions that limit or strain the relationship between the Village and business owners who give back to the community. It is important to consider long term visions for what the Village can grow into.

PUBLIC COMMENTS

Christina Delpizzo, Birwood, is looking to open an in-home childcare to meet a demand that exists in the Village. She would like to see updates to the ordinance to reflect State allowances and mandates.

David Moore, believes the Council and Commission need to better develop the vision for the Village; is the goal to preserve what exists or develop and change. He also thanked LaPere for all of her assistance in regard his questions.

ADMINISTRATION COMMENTS

None.

COMMISSIONERS COMMENTS

All the Commissioners thanked members of Council for attending the joint meeting and all of the collaboration being done.

Drummond would like more consideration given to a tree survey, tree plantings, and a revision to the tree ordinance. He believes that decisions related to the marijuana laws need to be made swiftly. He encourages Council to review decisions made by the Commission pointing out that split votes are often an indicator of conflict of decisions. He reiterated that the decision made related to Detroit Country Day was their failure to show all the modifications to the site on the initial site plan.

Grinnan and Copeland echoed Drummonds dissatisfaction with Detroit Country Day.

Westerlund wholly supports the need for a PUD ordinance.

COUNCIL COMMENTS

All of Council thanked the Commission for their work on some difficult issues this past year.

George would like the Commission subcommittees to attend the Council meetings when issues are discussed to help Council better understand the goal and process by which they come to their decisions for recommendation. He would also like to see further discussion on sidewalks, inspection processes, and full-time code enforcement.

Motion by Borowski, second by Westerlund, to adjourn the meeting at 9:42 p.m.

Motion passed.

George Ostrowski
Planning Commission Chairperson

Lee Peddie
Council President

Chris Wilson
Village Clerk

Elizabeth Lyons
Recording Secretary

TO PRESIDENT PEDDIE & MEMBERS OF THE VILLAGE COUNCIL. THE FOLLOWING IS A LIST OF
EXPENDITURES FOR APPROVAL. ACCOUNTS PAYABLE RUN FROM 2/19/2019 THROUGH 3/4/2019.

ACCOUNT TOTALS:

101	GENERAL FUND	\$52,788.65
202	MAJOR ROAD FUND	\$34,655.09
203	LOCAL STREET FUND	\$21,225.20
205	PUBLIC SAFETY DEPARTMENT FUND	\$96,365.16
285	RETIREE HEALTH CARE FUND	\$3,196.29
592	WATER & SEWER FUND	\$259,586.11
701	TRUST & AGENCY FUND	\$1,240.32
	TOTAL	<u>\$469,056.82</u>
	MANUAL CHECKS- COMERICA	\$0.00
	MANUAL CHECKS- INDEPENDENT	\$0.00
	ACCOUNTS PAYABLE	<u>\$469,056.82</u>
	GRAND TOTAL	<u><u>\$469,056.82</u></u>

CHECK DATE FROM 03/04/2019 - 03/04/2019

Check Date	Bank	Check	Vendor	Vendor Name	Invoice Vendor	Amount
Bank COM COMERICA						
03/04/2019	COM	79852	58731	ADVANCED SECURITY & FIRE	ADVANCED SECURITY & FIRE	96.00
03/04/2019	COM	79853	31164	APOLLO FIRE APPARATUS	APOLLO FIRE APPARATUS	843.92
03/04/2019	COM	79854	53284	APPLIED IMAGING	APPLIED IMAGING	36.24
03/04/2019	COM	79855	51802	ARROW OFFICE SUPPLY CO.	ARROW OFFICE SUPPLY CO.	99.57
03/04/2019	COM	79856	59992	BARBARA DEHART	BARBARA DEHART	206.85
03/04/2019	COM	79857	58754	BELLINGER BUILDING	BELLINGER BUILDING	200.00
03/04/2019	COM	79858	51409	BEVERLY HILLS ACE	BEVERLY HILLS ACE	24.97
03/04/2019	COM	79859	30861	BLUE CARE NETWORK	BLUE CARE NETWORK	32,255.36
03/04/2019	COM	79860	52071	BLUE CROSS BLUE SHIELD	BLUE CROSS BLUE SHIELD	36,619.41
03/04/2019	COM	79861	58959	CADILLAC ASPHALT, LLC	CADILLAC ASPHALT, LLC	599.15
03/04/2019	COM	79862	32933	CHAD TRUSSLER	CHAD TRUSSLER	74.19
03/04/2019	COM	79863	51419	CHRISTOPHER WILSON	CHRISTOPHER WILSON	3,196.29
03/04/2019	COM	79864	59347	CINTAS CORPORATION #31	CINTAS CORPORATION #31	62.02
03/04/2019	COM	79865	31925	COALITION OF PUBLIC SAFE	COALITION OF PUBLIC SAFE	19,030.73
03/04/2019	COM	79866	51439	COMCAST	COMCAST	50.50
03/04/2019	COM	79867	04500	COMEAU EQUIPMENT CO INC.	COMEAU EQUIPMENT CO INC.	39,060.81
03/04/2019	COM	79868	50826	CONSUMERS ENERGY	CONSUMERS ENERGY	1,744.07
03/04/2019	COM	79869	50826	CONSUMERS ENERGY	CONSUMERS ENERGY	1,645.11
03/04/2019	COM	79870	50826	CONSUMERS ENERGY	CONSUMERS ENERGY	760.23
03/04/2019	COM	79871	58648	CTS-COMPANIES	CTS-COMPANIES	95.00
03/04/2019	COM	79872	58820	CUMMINS BRIDGEWAY LLC	CUMMINS BRIDGEWAY LLC	2,989.47
03/04/2019	COM	79873	52025	DETROIT SALT COMPANY	DETROIT SALT COMPANY	6,998.70
03/04/2019	COM	79874	59993	ELEVEN 22 LLC	ELEVEN 22 LLC	1,250.00
03/04/2019	COM	79875	51568	FOUNDATION SYSTEMS OF MI	FOUNDATION SYSTEMS OF MI	500.00
03/04/2019	COM	79876	59618	GITTLEMAN CONSTRUCTION	GITTLEMAN CONSTRUCTION	1,470.00
03/04/2019	COM	79877	53489	GREAT AMERICA FINANCIAL	GREAT AMERICA FINANCIAL	622.42
03/04/2019	COM	79878	53583	GUARDIAN	GUARDIAN	6,637.05
03/04/2019	COM	79879	58625	HALT FIRE	HALT FIRE	312.00
03/04/2019	COM	79880	31202	HOME DEPOT CREDIT SERVICE	HOME DEPOT CREDIT SERVICE	477.42
03/04/2019	COM	79881	59716	HOME DEPOT USA INC	HOME DEPOT USA INC	100.00
03/04/2019	COM	79882	08500	HUBBELL ROTH & CLARK INC	HUBBELL ROTH & CLARK INC	16,130.12
03/04/2019	COM	79883	59839	J.C. EHRLICH	J.C. EHRLICH	45.00
03/04/2019	COM	79884	39070	J.H. HART URBAN FORESTRY	J.H. HART URBAN FORESTRY	405.00
03/04/2019	COM	79885	59374	JACK RIPPER AND ASSOCIATES	JACK RIPPER AND ASSOCIATES	1,635.00
03/04/2019	COM	79886	59211	JAMES BALAGNA	JAMES BALAGNA	175.00
03/04/2019	COM	79887	59995	JAMES GILLIS	JAMES GILLIS	200.00
03/04/2019	COM	79888	59324	JCR SUPPLY, INC.	JCR SUPPLY, INC.	184.22
03/04/2019	COM	79889	59991	MATHEEW MCKEE	MATHEEW MCKEE	722.62
03/04/2019	COM	79890	59936	MDEQ-SWPF	MDEQ-SWPF	3,000.00
03/04/2019	COM	79891	58737	MICHIGAN FIRE INSPECTORS	MICHIGAN FIRE INSPECTORS	175.00
03/04/2019	COM	79892	52030	MICHIGAN GRAPHICS & AWAP	MICHIGAN GRAPHICS & AWAP	36.00
03/04/2019	COM	79893	59045	MICRO CENTER	MICRO CENTER	48.99
03/04/2019	COM	79894	59112	NEXT	NEXT	1,066.87
03/04/2019	COM	79895	51751	O.C.W.R.C.	O.C.W.R.C.	31,289.00
03/04/2019	COM	79896	30658	OAKLAND COUNTY CLERKS ASSOCIATION	OAKLAND COUNTY CLERKS ASSOCIATION	25.00
03/04/2019	COM	79897	51472	OAKLAND COUNTY MUTUAL ASSOCIATION	OAKLAND COUNTY MUTUAL ASSOCIATION	3,200.00
03/04/2019	COM	79898	50830	OAKLAND COUNTY TREASURER	OAKLAND COUNTY TREASURER	17,007.19
03/04/2019	COM	79899	53279	PACIFIC TELEMANAGEMENT	PACIFIC TELEMANAGEMENT	78.00
03/04/2019	COM	79900	59422	RENEWAL BY ANDERSON	RENEWAL BY ANDERSON	600.00
03/04/2019	COM	79901	16100	ROAD COMMISSION FOR OAKLAND	ROAD COMMISSION FOR OAKLAND	425.16
03/04/2019	COM	79902	59713	RUSZKOWSKI CONSTRUCTION	RUSZKOWSKI CONSTRUCTION	800.00
03/04/2019	COM	79903	16500	S.O.C.R.R.A.	S.O.C.R.R.A.	28,575.00
03/04/2019	COM	79904	59994	SENTRY CONTRACTORS	SENTRY CONTRACTORS	400.00
03/04/2019	COM	79905	51356	SOUTHFIELD MUFFLER & BRAKE	SOUTHFIELD MUFFLER & BRAKE	660.82
03/04/2019	COM	79906	38145	SOUTHFIELD POSTAL SERVICE	SOUTHFIELD POSTAL SERVICE	235.00
03/04/2019	COM	79907	59752	TALLON CONSTRUCTION	TALLON CONSTRUCTION	300.00
03/04/2019	COM	79908	18000	TERMINIX	TERMINIX	48.00
03/04/2019	COM	79909	50823	THE BANK OF NEW YORK MELLON	THE BANK OF NEW YORK MELLON	200,109.31
03/04/2019	COM	79910	38874	U.S. POSTAL SERVICE	U.S. POSTAL SERVICE	2,000.00
03/04/2019	COM	79911	50767	VERIZON WIRELESS	VERIZON WIRELESS	33.26
03/04/2019	COM	79912	38205	VERIZON WIRELESS MESSAGING	VERIZON WIRELESS MESSAGING	626.02
03/04/2019	COM	79913	59357	WALLSIDE WINDOWS	WALLSIDE WINDOWS	200.00
03/04/2019	COM	79914	53572	WOW! BUSINESS	WOW! BUSINESS	563.76

COM TOTALS:

Total of 63 Checks:	469,056.82
Less 0 Void Checks:	0.00
Total of 63 Disbursements:	469,056.82

MEMO

To: Honorable President Peddie
Members of Village Council
Chris Wilson, Village Manager

From: Elizabeth Lyons, Administrative Support

Re: 2019 Beverly Park Landscaping

Date: February 25, 2019

For the last two years, Beverly Hills engaged the services of Jason's Outdoor Services to provide landscaping maintenance at Beverly Park. In addition to weeding, trimming and clean up, they also installed a new bed and new plant material.

We are in receipt of a proposal from Jason's to perform landscaping maintenance at Beverly Park for 2019. This proposal includes mulching and edging all beds, spring cleanup, bush trimming, weed control and fall clean up. A copy of the proposal is attached.

Resolution

The Beverly Hills Village Council approves Jason's Outdoor Services to provide landscaping maintenance at Beverly Park for 2019 in the amount of \$4,287.00. Services include application of 37 yards of mulch, bed edging, equipment rental, one spring cleanup, two bush trimmings, four weed killer applications and weeding, and one fall clean up.

Attachment

Jason's Outdoor Services

32360 Sylvan In

Beverly Hills, MI 48025 US

(248) 342-9273

jasonsservices48025@gmail.com

Jasonsoutdoorservices.com



ESTIMATE

ADDRESS

Village of Beverly Hills

18500 W 13 Mile Road

Beverly Hills, MI 48025

ESTIMATE # 1001**DATE 02/19/2019**

ACTIVITY	QTY	RATE	AMOUNT
Mulch double shred brown	37	33.00	1,221.00
Mulch Application	37	23.00	851.00
Bed Edge	1	75.00	75.00
Bed edge area around pavilion, front entrance, gazebo, and playground			
On-site machine charge	1	385.00	385.00
Spring Cleanup	1	175.00	175.00
Clear all foreign derbies and remove perennials in the following areas;			
Beds Near playground			
• Beds around trees near playground area			
• Gazebo beds			
• West entrance flower beds on both sides of gate			
• All flower beds around the pavilion			
• Parking lot islands			
Bush Trimming	2	275.00	550.00
Trim hedges once in the spring and once in the summer. Areas included are;			
• Beds Near playground			
• Beds around trees near playground area			
• Gazebo beds			
• West entrance flower beds on both sides of gate			
• All flower beds around the pavilion			
• Parking lot islands			
Weed application	4	45.00	180.00
Apply in areas described in line 7			
Weeding	4	150.00	600.00
provide weeding services four (4) times through out the year. Spring, Summer twice and fall once			
Beds Near playground			
• Beds around trees near playground area			
• Gazebo beds			
• West entrance flower beds on both sides of gate			
• All flower beds around the pavilion			

ACTIVITY

QTY

RATE

AMOUNT

- Parking lot islands and litter control

Fall Cleanup

1

250.00

250.00

Preform one full fall cleanup of all the following areas;

Beds Near playground

- Beds around trees near playground area

- Gazebo beds

- West entrance flower beds on both sides of gate

- All flower beds around the pavilion

- Parking lot islands

Price per quantity is unchanged from 2016-2018 proposal's.

TOTAL**\$4,287.00****Accepted By****Accepted Date**

MEMO

To: Chris Wilson, Village Manager

From: Thomas Meszler, Director of Public Services

Date: February 25, 2019

Re: Extension Pavement Marking Bids

Background

Bids were solicited in 2011 for our annual pavement markings, which includes center lines, edge lines, and miscellaneous hand painting. R.S. Contracting provided a bid for \$81,000 for three years, 2011, 2012 and 2013 or \$27,000 per year. They held their price for 2014, 2015, 2016, 2017, 2018 and has offered to perform the same work for the same price again in 2019. We have been satisfied with their work.

Recommendation

Administration recommends accepting and approving R.S. Contracting's offer to extend their current contract price of \$27,000 for pavement marking for the 2019 season.

Suggested Resolution

Be it resolved that the Beverly Hills Village Council accepts R.S. Contracting's contract extension in the amount of \$27,000 for 2019 to provide pavement marking services including painting centerlines, edge markings and hand painting on Village roads.

THM/ktr

Attachment

A R.S.
CONTRACTING INC.
PAVEMENT MARKING
SPECIALIST

November 1, 2018

City of: VILLAGE OF BEVERLY HILLS
18500 WEST 13 MILE RD
BEVERLY HILLS, MI 48025

Attention: ELLEN MARSHALL

Re: 2019 Pavement Marking Proposal
2019 Pavement Special Marking Proposal

Dear: Ellen Marshall

This letter is to inform you that R.S. Contracting, Inc., upon consent from Village of Beverly Hills, is willing to extend the contract prices for pavement marking from the year 2018 through the year 2019.

Very truly yours,



Al Leone
President

___ WE ACCEPT THE ABOVE PROPOSAL

___ WE DO NOT ACCEPT THE ABOVE PROPOSAL

Representative signature for Village of Beverly Hills

Date

**Please make a copy for your files. Please return original to R.S. Contracting, Inc. in the enclosed self addressed stamped envelope.

MEMO

To: Honorable President Peddie
Members of Village Council
Chris Wilson, Village Manager

From: Elizabeth Lyons, Administrative Support

Re: Kensington Community Church Egg Hunt

Date: February 25, 2019

On February 19, 2019, Claire South of Kensington Community Church emailed the Village Office and requested to host an Easter Egg Hunt in Beverly Park on Saturday, April 13, 2019. They are requesting use of the park from 9:00 am until 5:00 pm. The event is open to all members of the community.

This will be the 12th year that Kensington has sponsored the Easter Egg Hunt. Kensington has a presence in the Beverly Hills area where they rent space at Groves High School. There will be activities planned for the whole family. A banner publicizing the Easter Egg Hunt will be hung on the park fence, starting Saturday, April 6, 2019.

Kensington has asked that the Village provide three portable restrooms for the event.

Recommended resolution:

Be it resolved that the Beverly Hills Village Council approves the request from Kensington Community Church to utilize Beverly Park for the purposes of conducting an Easter Egg Hunt in Beverly Park on Saturday, April 13, 2019 between 9:00 a.m. and 5:00 p.m. Further it is recommended that the pavilion rental fees be waived and that the Village provide three portable restrooms for the event. A certificate of insurance will be provided upon approval of the Easter Egg Hunt.

Attachment



February 19, 2019

To the Members of the Village Council of Beverly Hills:

The members of Kensington Birmingham hereby request the usage of Beverly Park on Saturday, April 13, 2019 for the Beverly Park Easter Egg Hunt that was last held in 2018

We request the park be used beginning at 9:00 a.m. the day of the event for setup. We will have the event cleared from the park no later than 5:00 p.m. on Saturday, April 13, 2019, the day of the event.

In addition, we would request permission to place a banner sign on the park's fence on Saturday, April 6, 2019 advertising the event to the community. The event will be open to all members of the community.

Some, or possibly all of the following activities may be a part of the Easter egg hunt.

Cookie decorating

Face painting

Petting Zoo

Inflatables

Live bunnies from – Premier Pets

Kensington Birmingham will sponsor this event. There is no request from the council for funding, however, given the large number of village residents attending the event, we would like to request additional bathroom facilities (port-a-potties) be provided by the village. We would greatly appreciate the Council's support of this matter.

We look forward to having this event for our neighbors and friends in Beverly Hills. We truly appreciate your approval.

Sincerely,

Claire South

Event Coordinator – Kensington Birmingham

248-884-5572

claire.south@kensingtonchurch.org

MEMO

To: Honorable President Peddie
Members of Village Council
Chris Wilson, Village Manager

From: Elizabeth Lyons, Administrative Support

Re: Cable Board Vacancy

Date: February 25, 2019

Tonight is the second announcement of a vacancy on the Cable Board; the term has an expiration date of June 30, 2020. The Cable Board meets on the third Wednesday of the month, at 7:45 a.m. in the Village Council chamber.

Application deadline: Friday, March 29, 2019 at 4:30 p.m.

Term expires: June 30, 2020

Cable Board Subcommittee: Chairperson: Peddie
Members: Abboud and George

Applications of interested persons will be delivered to subcommittee members with the April 9, 2019 packet.

MEMO

To: Honorable President Peddie; Village Council
Chris D. Wilson, Village Manager

From: Erin LaPere, Planning & Zoning Administrator

Date: February 28, 2019

Re: Special Land Use and Site Plan Approval for Detroit Country Day School

The Village has received revised plans, dated December 13, 2018, from Detroit Country Day School (DCDS) for approval to keep a playground and basketball court on the Middle School grounds, and add a guard house in the Middle School parking lot. Village Ordinance, Section 22.14.030 requires special land use approval for accessory structures at a private school in a Single Family Residential Zone District. Additionally, Section 22.08.300 (j) requires any modifications to the site after approval that are not in accordance with the approved site plan to obtain special land use approval.

The Planning Commission held a public hearing on October 24, 2018 for plans submitted by DCDS to retain the playground and basketball court previously installed on the Middle School grounds. A recommendation on the request was postponed due to the incomplete submittal. In the interim, the school has revised their request and is also seeking approval to add an additional accessory structure, a guard house, in the Middle School parking lot area concurrent with the request to retain the recreational structures already installed.

Due to the addition of a new structure, the Village held a public hearing on the revised submittal before the Planning Commission at the meeting held January 23, 2019. Upon receiving public comments and reviewing the submittal, the Planning Commission made a recommendation that the Village Council deny the site plan and the special land use requests due to failure to demonstrate compliance with the Village Ordinance, Chapter 22, Section 22.08.300 Procedures and Standards for Principal Uses Permitted Subject to Special Conditions. Procedurally, a public hearing on the special land use request must be held by the Council prior to issuing a decision on the requests for special land use and site plan approval. A public hearing has been scheduled and noticed for the Council meeting to be held Tuesday, March 5, 2019.

Detroit Country Day School has submitted plans for Council's review that also include an optional Landscape Plan that notes the addition of seven (7) Norway Spruce to be installed along the western border near the playground and sports court. Additionally, in the cover letter from Cunningham-Limp, they have requested the Village Council postpone decision to allow time for the school and property owners to come to a mutually agreeable resolution.

Attached is the cover letter, specifications for guard house and site plan submitted by Detroit Country Day School, the review letters from safeBuilt Studio dated October 15, 2018 and January 17, 2019, excerpts of the minutes of the October 24, 2018 and January 23, 2019 Planning Commission meetings, and the letter received in January 2019 from 63 residents in opposition to the project.

Additionally, I have included correspondence sent to the Village upon request from the Michigan DEQ regarding work conducted on site, a copy of the approved site plan dated August 12, 2016, and excerpts of the minutes of the Zoning Board of Appeals, Planning Commission, and Council meetings held in 2016 relative to the approval of the variance, special land use, and site plan for the addition to the Middle School.

eel



February 22, 2019

Ms. Erin Lapere
Planning and Zoning Administrator
Village of Beverly Hills
18500 W. 13 Mile Road
Beverly Hills, Michigan 48025

RE: Detroit Country Day Schools ("DCDS")
22305 W. 13 Mile Road
Village Council Public Hearing for special land use and site plan approval
For play structure, sports court, and guard house
Date of Village Council Meeting: March 5, 2019

Dear Erin,

As a follow up to the Planning Commission Meeting of January 23, 2019 and upcoming Village Council meeting and public hearing scheduled for March 5, 2019, attached are the Site and Landscape Plans for the play structure, sports court, and guard house. Included with this submittal for consideration is an optional Landscape Plan that offers additional landscaping screening.

The optional plan address concerns raised by the Planning Commission and residents regarding the only remaining issues of concern regarding the sports court and play structure: i.e. the "potential impact on adjacent properties" due to the "adequacy of landscaping and fencing" (See Village planner's report of January 17, 2019).

DCDS requests that the matter be "tabled" until the April 16, 2019 Village Council meeting. DCDS and the nearby Georgetown residents are in the process of working out a mutually agreeable solution for the buffering of the play structure and sports court. On February 12, 2019 DCDS Board Members met with Georgetown residents who occupy homes directly abutting the area near the play structure and sports court in an effort to discuss mutually agreeable solutions. Although a final agreement was not reached at that time, we are hopeful that future meetings and negotiations will result in a global resolution of the matter. A follow-up meeting is currently being scheduled with the Georgetown residents and it is likely that this and other meetings will be scheduled after the March 5, 2019 hearing. Therefore, it is premature for the Village Council to make a final decision at the March 5, 2019 meeting.

Please include this letter and the attachments in the administrative record for this matter. If you have any questions or require additional information, please contact our office.

Sincerely,

CUNNINGHAM-LIMP COMPANY

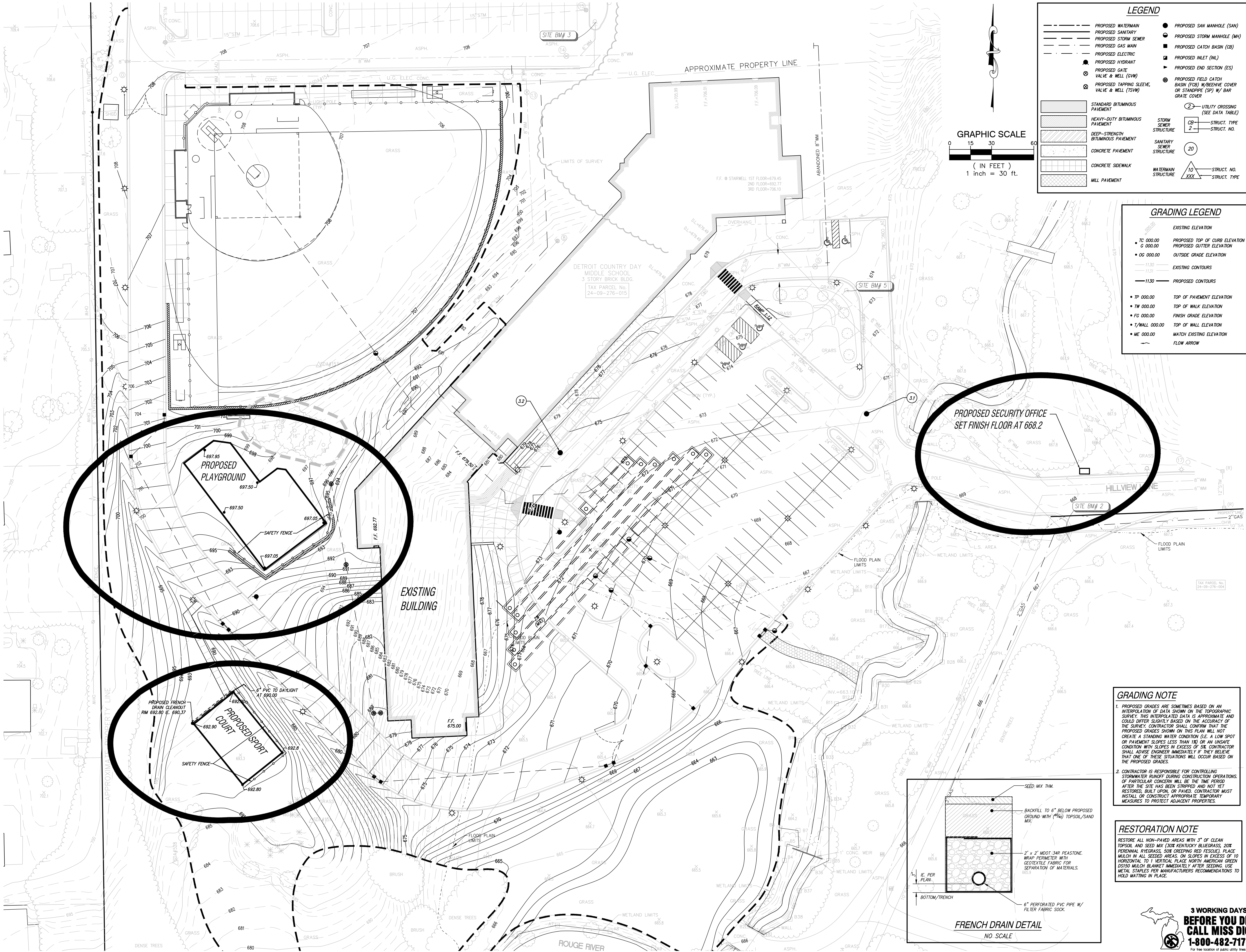
A handwritten signature in black ink, appearing to read 'B. Roeser', followed by a long, sweeping horizontal line that extends to the right.

Barton D. Roeser

Project Manager

cc: Glen Shilling, Headmaster, Detroit County Day School
Samuel J. Ashley, Jr., Vice President, Cunningham-Limp Company
Tyler D. Tennent, Dawda, Mann, Mulcahy & Sadler, PLC





LEGEND

--- PROPOSED WATERMAIN	● PROPOSED SAN MANHOLE (SAN)
--- PROPOSED SANITARY	● PROPOSED STORM MANHOLE (MH)
--- PROPOSED STORM SEWER	■ PROPOSED CATCH BASIN (CB)
--- PROPOSED GAS MAIN	■ PROPOSED INLET (NL)
--- PROPOSED ELECTRIC	▶ PROPOSED END SECTION (ES)
● PROPOSED HYDRANT	⊕ PROPOSED FIELD CATCH BASIN (FCB) W/BEEHIVE COVER OR STANDPIPE (SP) W/ BAR GRATE COVER
⊗ PROPOSED GATE VALVE & WELL (GVW)	2- UTILITY CROSSING (SEE DATA TABLE)
⊗ PROPOSED TAPPING SLEEVE, VALVE & WELL (TSVW)	CB 2- STRUCT. TYPE
	20- STRUCT. NO.
	10 XXX- STRUCT. TYPE

STANDARD BITUMINOUS PAVEMENT	STORM SEWER STRUCTURE
HEAVY-DUTY BITUMINOUS PAVEMENT	SANITARY SEWER STRUCTURE
DEEP-STRENGTH BITUMINOUS PAVEMENT	
CONCRETE PAVEMENT	
CONCRETE SIDEWALK	
MILL PAVEMENT	

GRADING LEGEND

● TC 000.00	PROPOSED TOP OF CURB ELEVATION
● G 000.00	PROPOSED GUTTER ELEVATION
● OG 000.00	OUTSIDE GRADE ELEVATION
--- 11.30	EXISTING CONTOURS
--- 11.31	PROPOSED CONTOURS
● TP 000.00	TOP OF PAVEMENT ELEVATION
● TW 000.00	TOP OF WALK ELEVATION
● FG 000.00	FINISH GRADE ELEVATION
● T/WALL 000.00	TOP OF WALL ELEVATION
● ME 000.00	MATCH EXISTING ELEVATION
---	FLOW ARROW

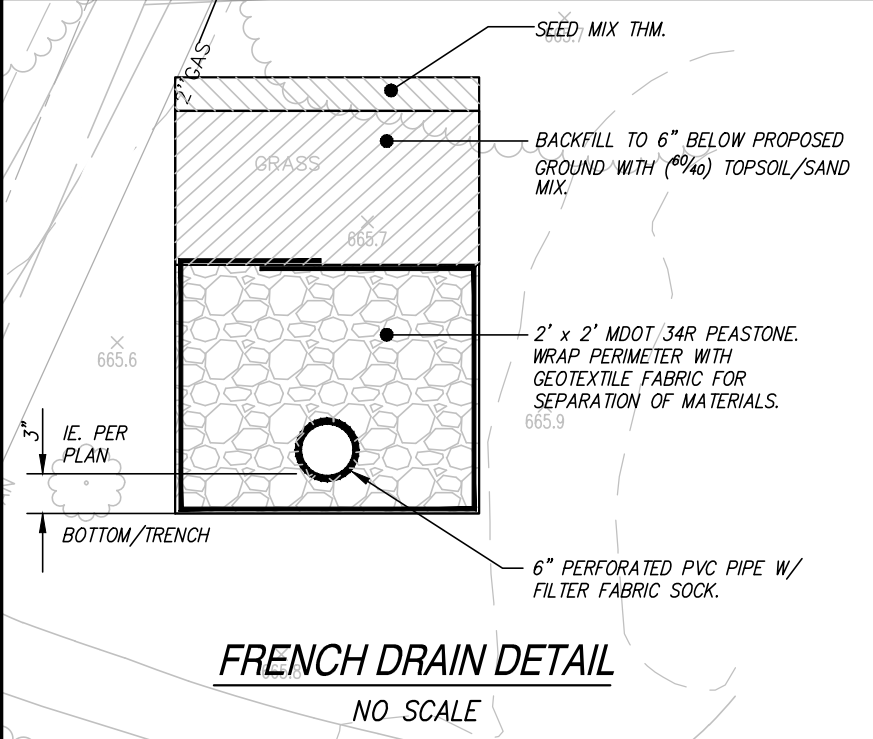
GRADING NOTE

1. PROPOSED GRADES ARE SOMETIMES BASED ON AN INTERPOLATION OF DATA SHOWN ON THE TOPOGRAPHIC SURVEY. THIS INTERPOLATED DATA IS APPROXIMATE AND COULD DIFFER SLIGHTLY BASED ON THE ACCURACY OF THE SURVEY. CONTRACTOR SHALL CONFIRM THAT THE PROPOSED GRADES SHOWN ON THIS PLAN WILL NOT CREATE A STANDING WATER CONDITION (I.E. A LOW SPOT OR PAVEMENT SLOPES LESS THAN 1% OR AN UNSAT CONDITION WITH SLOPES IN EXCESS OF 5%). CONTRACTOR SHALL ADVISE ENGINEER IMMEDIATELY IF THEY BELIEVE THAT ONE OF THESE SITUATIONS WILL OCCUR BASED ON THE PROPOSED GRADES.

2. CONTRACTOR IS RESPONSIBLE FOR CONTROLLING STORMWATER RUNOFF DURING CONSTRUCTION OPERATIONS. OF PARTICULAR CONCERN WILL BE THE TIME PERIOD AFTER THE SITE HAS BEEN STRIPPED AND NOT YET RESTORED, BUILT UPON, OR PAVED. CONTRACTOR MUST INSTALL OR CONSTRUCT APPROPRIATE TEMPORARY MEASURES TO PROTECT ADJACENT PROPERTIES.

RESTORATION NOTE

RESTORE ALL NON-PAVED AREAS WITH 3" OF CLEAN TOPSOIL AND SEED MIX (30% KENTUCKY BLUEGRASS, 20% PERENNIAL RYEGRASS, 50% CREEPING RED FESCUE). PLACE MULCH IN ALL SEEDING AREAS. ON SLOPES IN EXCESS OF 10 HORIZONTAL TO 1 VERTICAL PLACE NORTH AMERICAN GREEN D550 MULCH BLANKET IMMEDIATELY AFTER SEEDING. USE METAL STAPLES PER MANUFACTURERS RECOMMENDATIONS TO HOLD MULCH IN PLACE.



TMAP ARCHITECTURE INC
1391 WEST SQUARE LAKE ROAD
BLOOMFIELD HILLS, MICHIGAN 48302
PH 248.868.4541 FX 248.868.0023
EM INFO@TMAP-ARCHITECTURE.COM

REGISTRATION SEAL

CONSULTANT

Engineering and Surveying
Excellence Since 1954

905 South Blvd. East
Rochester Hills, MI 48307
Phone: (248) 844-5400
Fax: (248) 844-5404
www.sda-eng.com
(800) 598-1600

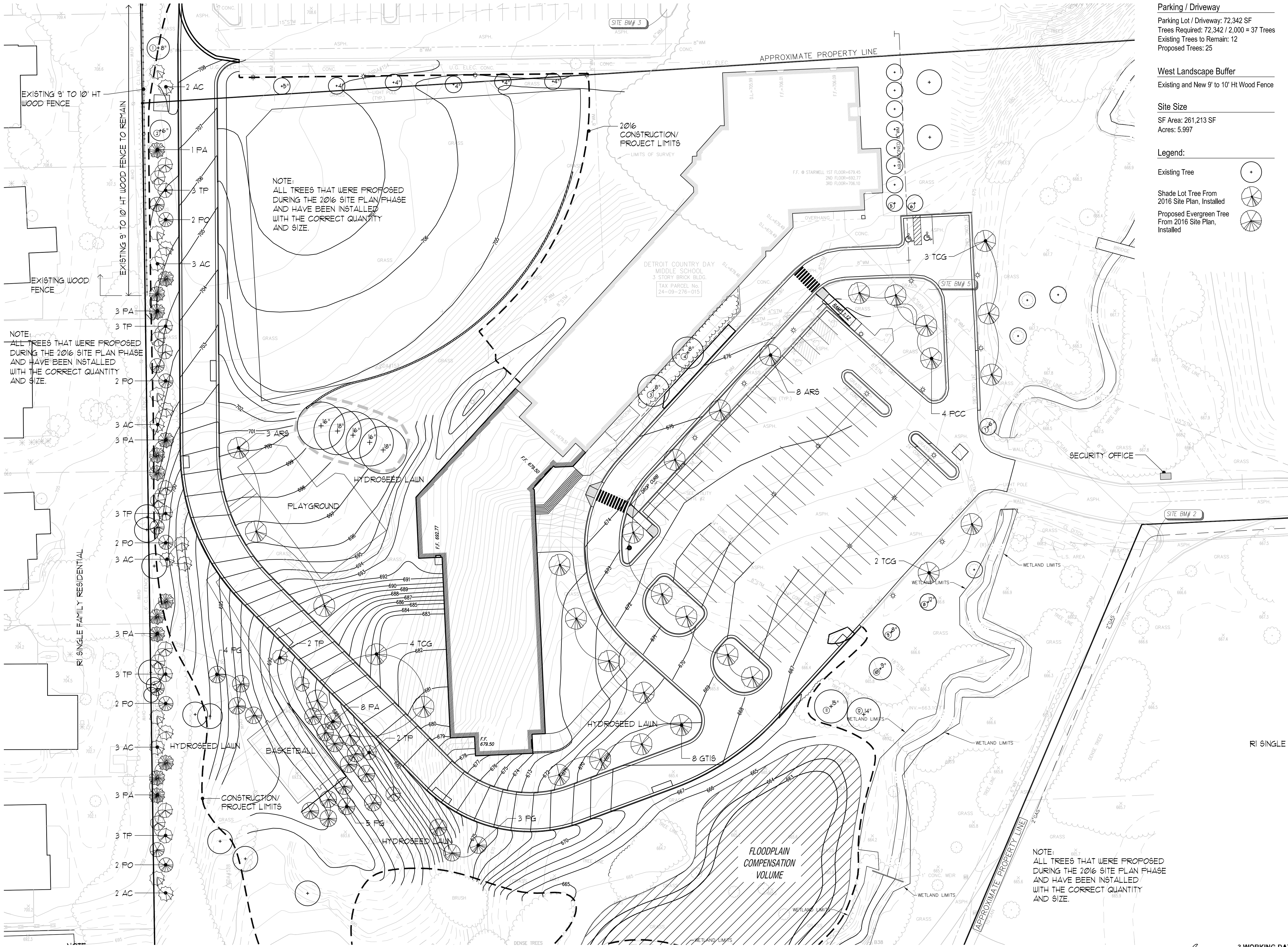
PROJECT TITLE
Detroit Country Day M.S. Playground and Security Office
Detroit Country Day School

DRAWING TITLE
Grading Plan

ISSUE DATES
12-13-18 REVISED PLAYGROUND/SECURITY OFFICE

DATE ISSUED FOR:
DRAWN PJK
CHECKED TJS
APPROVED TJS

PROJECT NO.
16028
NP16023
DRAWING NO.
C2.1



Parking / Driveway

Parking Lot / Driveway: 72,342 SF
Trees Required: 72,342 / 2,000 = 37 Trees
Existing Trees to Remain: 12
Proposed Trees: 25

West Landscape Buffer

Existing and New 9' to 10' Ht Wood Fence

Site Size

SF Area: 261,213 SF
Acres: 5.997

Legend:

Existing Tree



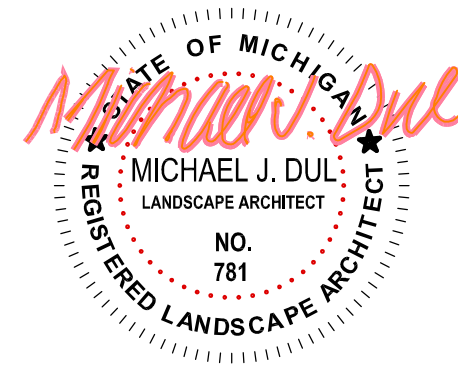
Shade Lot Tree From
2016 Site Plan, Installed



Proposed Evergreen Tree
From 2016 Site Plan,
Installed



REGISTRATION SEAL



CONSULTANT
LANDSCAPE
ARCHITECTURE

MICHAEL J. DUL
& ASSOCIATES, INC

212 DAINES STREET
BIRMINGHAM
MICHIGAN 48009

P 248 644 3410
F 248 644 0819

info@mjdul.com

PROJECT TITLE
**Middle School
Addition**

22400 Hillview Lane
Beverly Hills, MI 48025

**Detroit Country
Day School**

DRAWING TITLE

Overall Site Plan

ISSUE DATES	REVISED PLAYGROUND / SECURITY OFFICE RESUBMITTAL
12-13-18	AS-BUILT
10-24-18	ISSUE FOR CONSTRUCTION
8-30-17	PLAN REVIEW
5-22-17	SITE PLAN REVISIONS
8-10-16	SITE PLAN REVISIONS
8-8-16	SITE PLAN SUBMITTAL RESPONSE
6-6-16	SITE PLAN APPROVAL
4-1-16	

DATE: ISSUED FOR:

DRAWN: MC

CHECKED: MD

APPROVED: MD

PROJECT NO.

TMP
SD NP16023

DRAWING NO.

L1



A Landscape Plan
L1 Plan

MATCHLINE - SEE SHEET L2

1"=30'-0"



Plot Date: 12-17-2018, 3:48 PM by user: mjdul - Scale: 1/2"=30'-0" by user: mjdul
X:\2018 Jobs\1619 MP - DCD Middle School\AutoCAD\Bans Drawings\Drawing 6-New Playground 10-17-18\L-1 12-10-18.dwg

PLANT & MATERIAL SCHEDULE

Sym.	Qty.	Botanical Name	Common Name	Size	Root	Comments
Deciduous Trees						
ARS	11	Acer rubrum 'Sunset'	Sunset Red Maple	3" cal.	B4B	Full, matched heads
GTIS	8	Gleditsia Triacanthos var. Inermis 'Skyline'	Skyline Thornless Honeylocust	3" cal.	B4B	Full, matched heads
PCC	4	Pyrus calleryana 'Cleveland Select'	Cleveland Select Callery Pear	3" cal.	B4B	Full, matched heads
TCG	9	Tilia cordata 'Greenspire'	Greenspire Littleleaf Linden	3" cal.	B4B	Full, matched heads
Evergreen Trees						
AC	16	Abies concolor	Concolor Fir	6'-7' ht.	B4B	Single straight trunk, branched to ground
FA	21	Picea Abies	Norway Spruce	6'-7' ht.	B4B	Single straight trunk, branched to ground
FO	10	Picea omorika	Serbian Spruce	6'-7' ht.	B4B	Single straight trunk, branched to ground
FG	12	Picea Glauca	White Spruce	6'-7' ht.	B4B	Single straight trunk, branched to ground
TP	19	Thuja plicata	Western Red Cedar	6'-7' ht.	B4B	Single straight trunk, branched to ground

Materials

Planting mix - 3 parts well drained screened imported topsoil, to 1 part clean sand, to 1 part Canadian sphagnum peat moss, to 1 part natural compost (weed-free), and 10% poultry manure
Shredded hardwood bark mulch (seasoned, dark brown) 4" depth in ALL PLANTING BEDS (SHRUB AND TREE).
Hydroseeded lawn

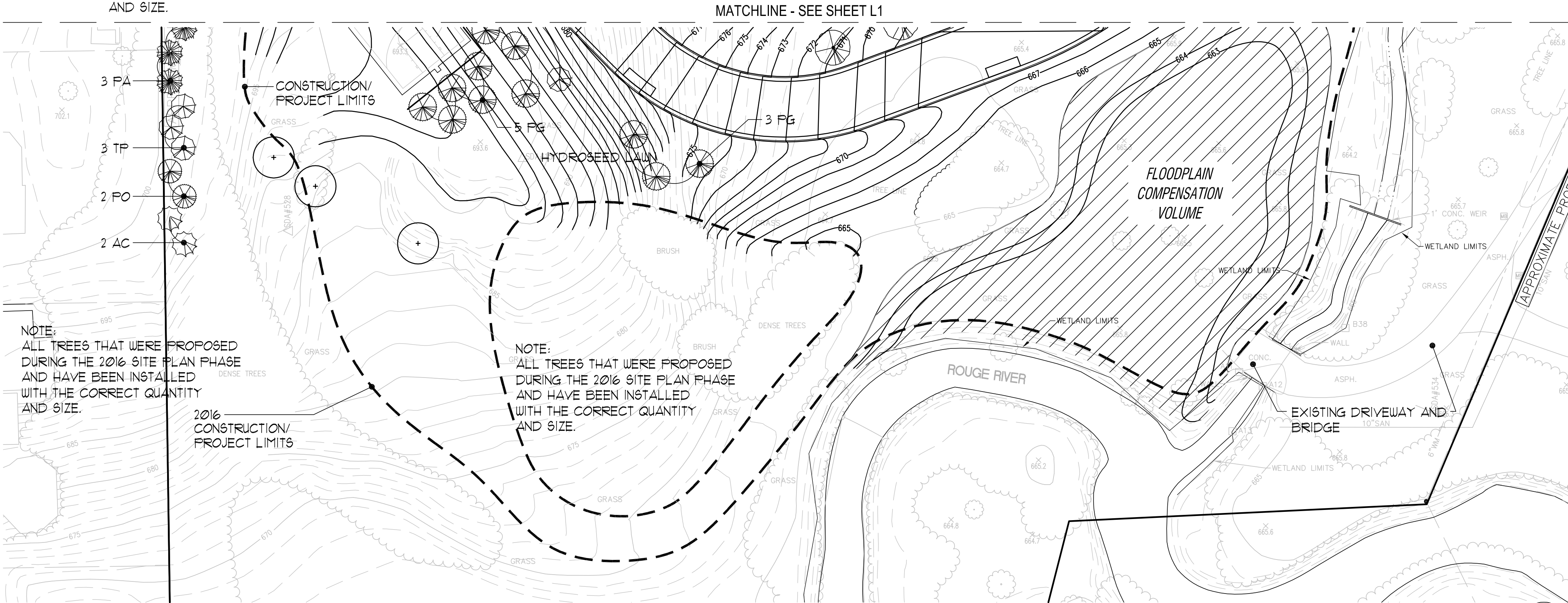
MAINTENANCE

- 1.) ALL NEW AND EXISTING LANDSCAPE TO BE MAINTAINED REGULARLY UNDER CURRENT DETROIT COUNTRY DAY MAINTENANCE PROGRAM AND CONTRACTS.
- 2.) ALL DISEASED, DAMAGED, OR DEAD MATERIALS SHALL BE REMOVED AND REPLACED. ALL LANDSCAPED AREAS SHALL BE KEPT FREE FROM REFUSE AND DEBRIS. PLANT MATERIALS AND LAWN SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION, NEAT AND ORDERLY IN APPEARANCE.
- 3.) ALL LANDSCAPE TO BE IRRIGATED WITH AUTOMATIC IRRIGATION SYSTEM.

IRRIGATION

- 1.) ALL LANDSCAPE TO BE IRRIGATED WITH AUTOMATIC IRRIGATION SYSTEM.
- 2.) DURING INSTALLATION AND CONSTRUCTION, THE CONTRACTOR MUST PROVIDE A TEMPORARY WATERING METHOD FOR ALL PLANT MATERIAL UNTIL AUTOMATED IRRIGATION SYSTEM IS UP AND RUNNING FULLY.

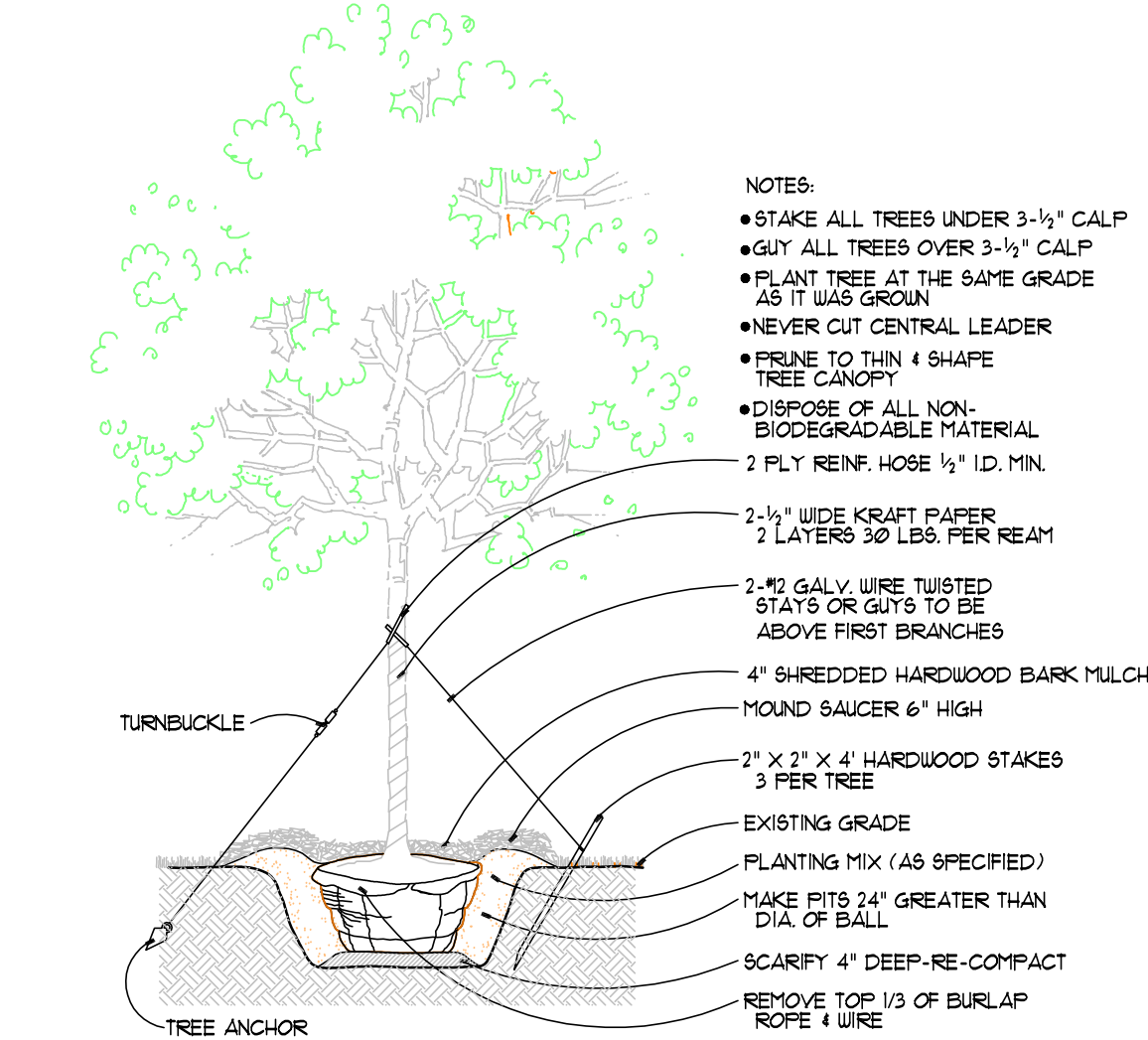
NOTE:
ALL TREES THAT WERE PROPOSED DURING THE 2016 SITE PLAN PHASE AND HAVE BEEN INSTALLED WITH THE CORRECT QUANTITY AND SIZE.



A Landscape Plan
L2 Plan

LANDSCAPE DEVELOPMENT NOTES

- 1.) ALL EXISTING AND/OR PROPOSED SITE UTILITIES SHALL BE FIELD LOCATED, FLAGGED, AND VERIFIED PRIOR TO ANY LANDSCAPE OR IRRIGATION CONSTRUCTION.
- 2.) ALL SPECIFIED AND INSTALLED PLANT MATERIAL SHALL BE IN FULL AND STRICT ACCORDANCE WITH AMERICAN NURSERYMAN STANDARDS (LATEST EDITION) AND BE:
A.) NURSERY GROWN.
B.) STATE DEPARTMENT OF AGRICULTURE INSPECTED AND APPROVED.
C.) NO 1 GRADE WITH STRAIGHT, UNSCARRED TRUNKS.
D.) WELL-DEVELOPED UNIFORM CROWNS ON TREES.
E.) WARRANTED FOR A MIN. 1 YEAR FROM DATE OF ACCEPTANCE BY OWNER.
- 3.) SPECIFIED PLANTING SOIL MIXTURE FOR ALL SPECIFIED BEDS SHALL BE THREE (3) PARTS IMPORTED WELL-DRAINED, SCREENED ORGANIC TOPSOIL, TO ONE (1) PART IMPORTED CLEAN SAND, TO ONE (1) PART CANADIAN SPHAGNUM PEAT MOSS, TO ONE (1) PART NATURAL COMPOST (WEED-FREE)-COMPLETE WITH 10% NATURAL POULTRY MANURE. INSTALL 9-12" MINIMUM DEPTH IN ALL PERENNIAL, GROUNDCOVER, ANNUAL, AND SHRUB BEDS. ALL BEDS MUST BE EXCAVATED, REMOVE AND DISPOSE (OFF-SITE) EXISTING EARTH/SOIL TO ACCEPT PROPOSED PLANT MIXTURE.
- 4.) SPECIFIED PLANTING SOIL MIXTURE FOR ALL TREES, SHRUBS, HEDGES, AND VINES SHALL BE FIVE (5) PARTS IMPORTED WELL-DRAINED SCREENED ORGANIC TOPSOIL, TO ONE (1) PART SPHAGNUM PEAT MOSS. SEE PLANTING DETAILS.
- 5.) PROPOSED SHREDDED HARDWOOD BARK MULCH SHALL BE SEASONED FOR A MINIMUM 6 MONTHS, DARK BROWN IN COLOR, AND INSTALLED 4" DEEP UNDER ALL PROPOSED TREES, 4" DEEP IN ALL SHRUB AND TREE BEDS, AND 4" DEEP IN ALL PERENNIAL AND GROUNDCOVER BEDS.
- 6.) ALL PROPOSED LAWN AND LANDSCAPE AREAS SHALL BE WATERED BY AN AUTOMATICALLY OPERATED SPRINKLER IRRIGATION SYSTEM.
- 7.) ALL DEAD AND UNACCEPTABLE PLANT MATERIALS SHALL BE REPLACED BY THE LANDSCAPE CONTRACTOR DURING THE WARRANTY PERIOD. THE WARRANTY PERIOD SHALL BE ONE (1) YEAR FROM THE ACCEPTANCE OF INSTALLATION ISSUED BY THE HOMEOWNER OR THEIR REPRESENTATIVE.
- 8.) ANY HARDWOODS WITH A D.B.H. OF 4" CAL. OR GREATER SHALL BE SAVED IF POSSIBLE.
- 9.) ALL PLANT I.D. TAGS ARE TO REMAIN UNTIL ALL PLANTS ARE ACCEPTED ON SITE.



B Deciduous Tree Planting
L2 Section No Scale



REGISTRATION SEAL



CONSULTANT
LANDSCAPE
ARCHITECTURE

MICHAEL J. DUL
& ASSOCIATES, INC

212 DAINES STREET
BIRMINGHAM
MICHIGAN 48009

P 248 644 3410
F 248 644 0819

info@mjdul.com

PROJECT TITLE
**Middle School
Addition**

22400 Hillview Lane
Beverly Hills, MI 48025

**Detroit Country
Day School**

DRAWING TITLE

Plant List & Details

ISSUE DATES	
12-13-16	REVISED PLAYGROUND / SECURITY OFFICE RESUBMITTAL
10-24-16	AS-BUILT
8-30-17	ISSUE FOR CONSTRUCTION
5-22-17	PLAN REVIEW
8-10-16	SITE PLAN REVISIONS
8-8-16	SITE PLAN REVISIONS
6-8-16	SITE PLAN SUBMITTAL RESPONSE
4-1-16	SITE PLAN APPROVAL

DATE:	ISSUED FOR:
DRAWN	MC
CHECKED	MD
APPROVED	MD

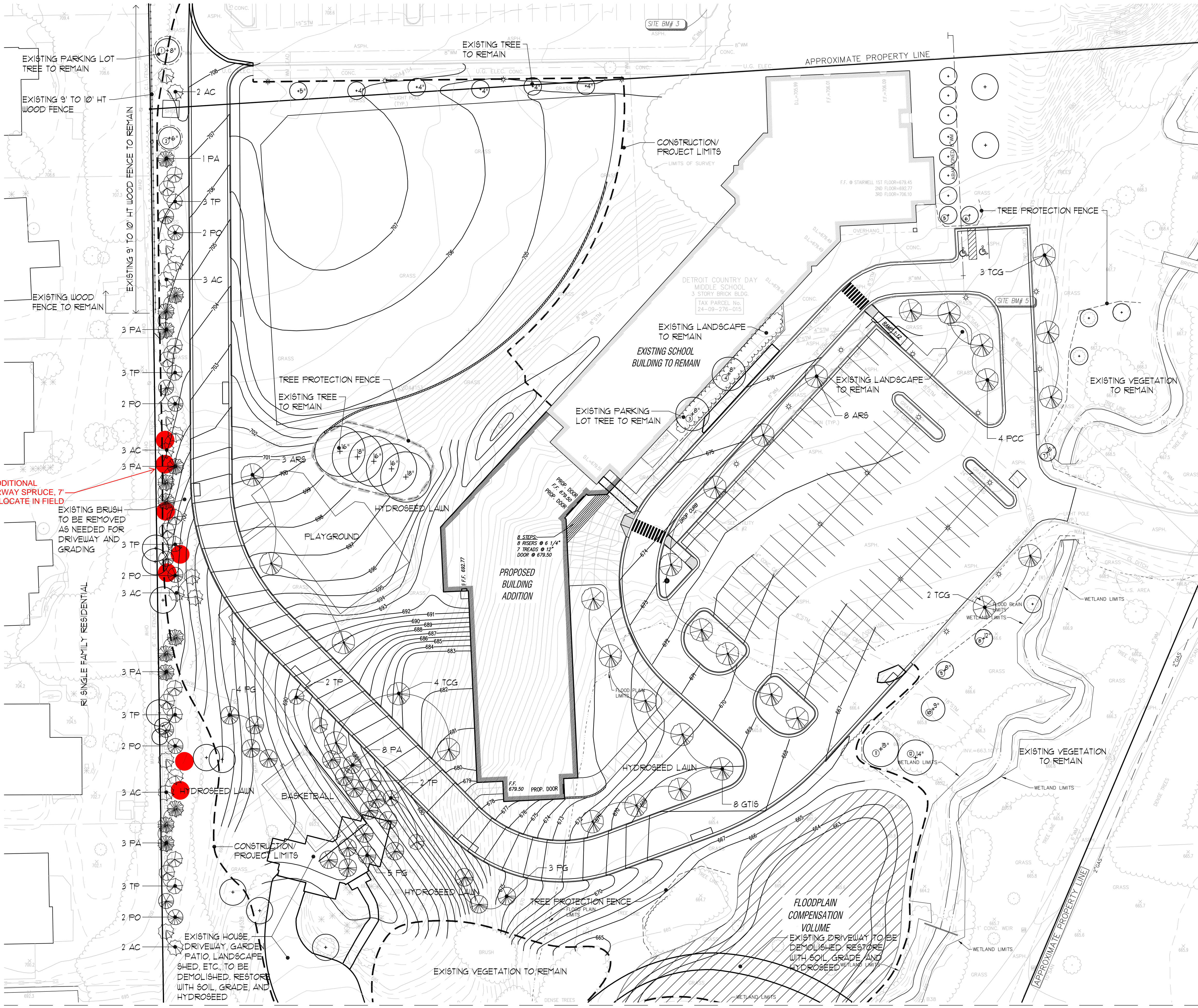
PROJECT NO.

TMP
SD NP16023

DRAWING NO.

L2





Parking / Driveway
Parking Lot / Driveway: 72,342 SF
Trees Required: 72,342 / 2,000 = 37 Trees
Existing Trees to Remain: 12
Proposed Trees: 25

West Landscape Buffer
Existing and New 9' to 10' Ht Wood Fence

Site Size
SF Area: 261,213 SF
Acres: 5.997

Legend:

- Existing Tree to Remain
- Proposed Shade Lot Tree
- Proposed Evergreen Tree

TMP ARCHITECTURE INC
1191 WEST SQUARE LAKE ROAD
BLOOMFIELD HILLS, MICHIGAN 48302
PH: 248.338.4361 FX: 248.338.0223
E-MAIL: INFO@TMP-ARCHITECTURE.COM

REGISTRATION SEAL

CONSULTANT
LANDSCAPE
ARCHITECTURE

MICHAEL J. DUL
& ASSOCIATES, INC

212 DAINES STREET
BIRMINGHAM
MICHIGAN 48009

P 248 644 3410
F 248 644 0819
info@mjdul.com

PROJECT TITLE

Middle School Addition

22400 Hillview Lane
Beverly Hills, MI 48025

Detroit Country Day School

DRAWING TITLE

Overall Site Plan

ISSUE DATES

10-24-18	AS-BUILT
8-30-17	ISSUE FOR CONSTRUCTION
5-22-17	PLAN REVIEW
8-10-16	SITE PLAN REVISIONS
8-8-16	SITE PLAN REVISIONS
6-6-16	SITE PLAN SUBMITTAL RESPONSE
4-1-16	SITE PLAN APPROVAL

DATE: ISSUED FOR:

DRAWN: MC

CHECKED: MD

APPROVED: MD

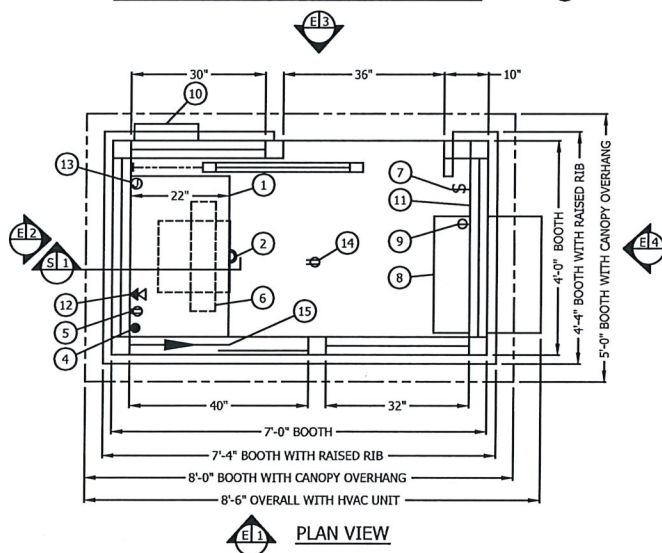
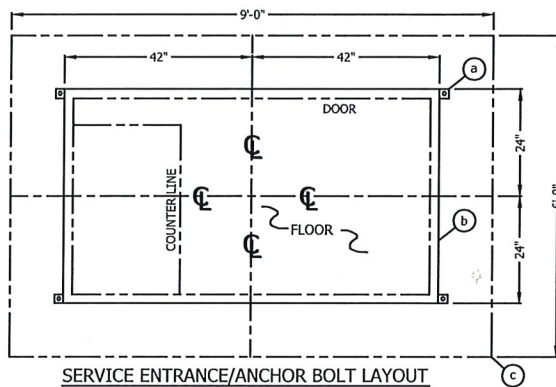
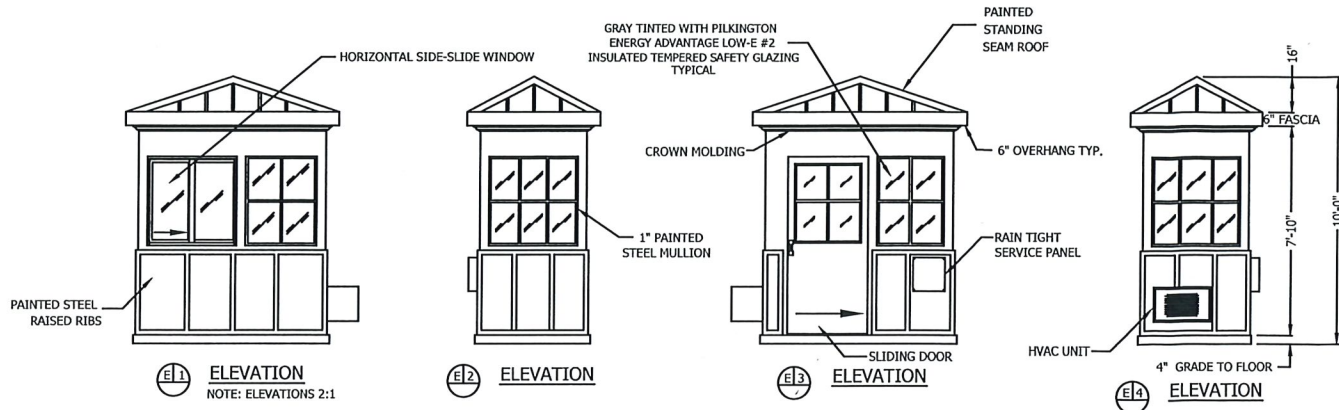
PROJECT NO.

TMP
SD NP16023

DRAWING NO.

L1

Plot Date: Oct 24, 2018, 03:13 AM by user: mjdul - Saved: 10/24/2018 by user: mjdul
X:\2018 Jobs\1619 TMP - DCD Middle School\AutoCAD\Bans Drawings\Drawing 6-New Playground 10-17-18\L1 10-24-18.dwg



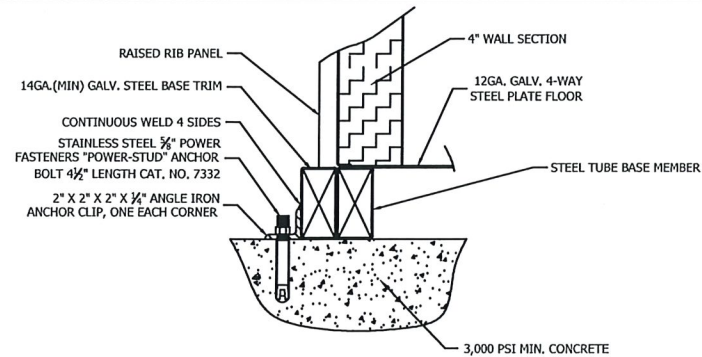
- 2" X 2" X 1/4" (MIN) STEEL ANCHOR CLIP WITH A 3/4" ANCHOR BOLT HOLE, 4-REQ'D. ONE EACH CORNER. ANCHOR BUILDING AFTER FINAL LOCATION. ANCHOR BOLTS NOT INCLUDED.
- OUTER EDGE OF BUILDING.
- SUGGESTED MINIMUM FOUNDATION/SLAB.

GENERAL SITE INSTALLED ITEMS PROVIDED BY OTHERS

- PROVIDE 120V/240V, SINGLE PHASE, 3-WIRE SERVICE WITH GROUND.
- CONCRETE FOUNDATION/SLAB MINIMUM 6" DEEP, 3,000 PSI MINIMUM (28 DAY ACI 318). THE FOUNDATION/SLAB SHOULD BE A MINIMUM OF 24" WIDER THAN THE BUILDING FOOT PRINT DIMENSIONS. THIS IS TO PROVIDE A 12" CONCRETE BORDER ON EACH SIDE OF THE BUILDING.
- ADEQUATE SIZE DRILLED ANCHOR BOLTS. SUGGESTED SIZE: 3/8" X 4 1/2" POWER FASTENERS "POWER STUD" CATALOG #7332.
- COUNTER 22" DEEP PAINTED GALVANIZED STEEL MOUNTED AT SILL.
- PAINTED STORAGE DRAWER.
- DOOR - 36" WIDE SLIDING STEEL WITH WEATHER-STRIPPING, BALL BEARING HANGERS, HEAVY DUTY TRACK, SAFETY GLAZING, HOOK BOLT LOCK, AND HARDWARE.
- 2" DIAMETER HOLE IN COUNTER FOR DROP CORDS.
- DUPLEX OUTLET MOUNTED BELOW COUNTER.
- INTERIOR LIGHT - LITHONIA #FMLWL24-840, 20 WATT LED LIGHT FIXTURE WITH ACRYLIC LENS.
- WALL SWITCH FOR INTERIOR LIGHT.
- HVAC UNIT - GE COMBO 240V/11,600 BTU THROUGH WALL MOUNTED WITH HANDHELD REMOTE CONTROL.
- SINGLE RECEPTACLE FOR HVAC UNIT.
- RAIN TIGHT CIRCUIT BREAKER PANEL - SQUARE-D #QO112M100RB, 120/240V, 12 SPACE, 10-3 WIRE WITH GROUND BAR, 100 AMP MAIN BREAKER AND BRANCH BREAKERS FOR FACTORY INSTALLED DEVICES PROVIDED.
- LOCATION OF STATE LABEL/INSIGNIA AND MANUFACTURER DATA PLATE.
- DATA/PHONE PREP MOUNTED BELOW COUNTER WITH 1/2" RACEWAY TO JUNCTION BOX ITEM #13.
- JUNCTION BOX MOUNTED UNDER COUNTER FOR COMMUNICATIONS CONDUIT TERMINATION.
- WEATHER RESISTANT GFCI RECEPTACLE WITH WEATHERPROOF IN-USE FLIP COVER.
- 40"W X 40"H HORIZONTAL SIDE-SLIDE WINDOW MOUNTED AT SILL.

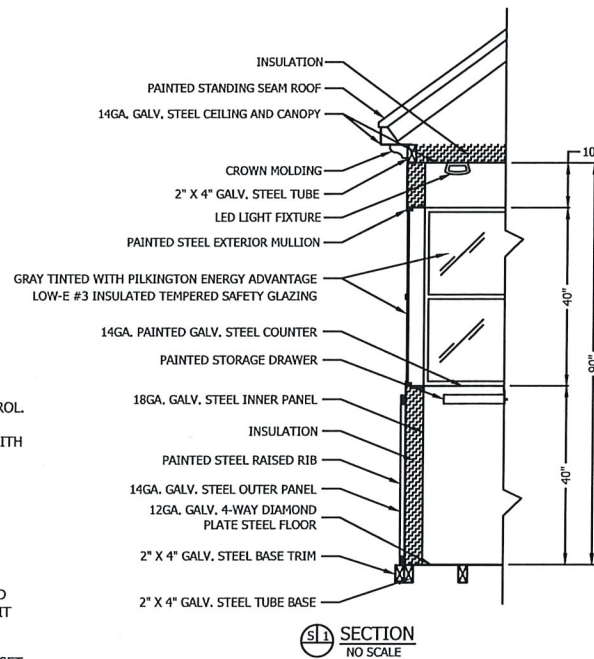
NOTE: PAR-KUT BOOTHS ARE OF SINGLE UNIT WELDED STEEL CONSTRUCTION, FACTORY ASSEMBLED AND DELIVERED SET UP. FAILURE TO SECURELY ANCHOR BOOTH MAY RESULT IN OVERTURNING OF UNIT AND SERIOUS INJURY TO OCCUPANT.

- GLAZING - GRAY PILKINGTON ENERGY ADVANTAGE LOW-E #3 INSULATED TEMPERED SAFETY GLAZING SET IN PAINTED STEEL EXTERIOR WINDOW FRAMES WITH REMOVABLE INTERIOR ALUMINUM GLAZING STOPS.
- PAINT - FINISH SHALL BE SINGLE COLOR OF CHOICE, AXALTA IMRON POLYURETHANE HIGH GLOSS INDUSTRIAL COATING. SHALL BE APPLIED TO ALL EXPOSED METAL SURFACES. THIS EXCLUDES ROOF SURFACE, ALUMINUM WINDOW FRAMES AND ANY STAINLESS STEEL COMPONENTS (IF USED).
- ELECTRICAL - ALL WIRING BY PAR-KUT TO BE #12(MIN) STRANDED COPPER, THHN ENCLOSED IN 1/2" (MIN) E.M.T. PER NATIONAL ELECTRIC CODE. ALL ELECTRICAL EQUIPMENT WILL BE LISTED BY U.L. OR EQUIVALENT RECOGNIZED NATIONAL TESTING LABORATORY. ALL WIRING TO TERMINATE AT C.B. PANEL. ALL CIRCUITS HAVE GREEN GROUND WIRE.
- BOOTH WILL HAVE A 6" CANOPY OVERHANG ON ALL SIDES.
- LIFTING RING(S) ARE PROVIDED ON ROOF.
- NO ON SITE WORK BY PAR-KUT.
- ACTUAL LOCATION OF ELECTRICAL DEVICES MAY VARY DUE TO INSTALLATION CONSTRAINTS, SHIPPING RESTRICTIONS, OR FOR PROPER PLACEMENT TO SATISFY APPLICABLE CODES.



FIELD DRILLED ANCHOR BOLT DETAIL NO SCALE

THIS DRAWING IS FOR REFERENCE PURPOSES ONLY. PAR-KUT BUILDINGS MUST BE SECURELY ANCHORED IN PLACE AND MUST BE PROPERLY GROUND. ADEQUATE SIZED ANCHOR BOLTS SHALL BE USED. THE SIZE AND DEPTH OF THE ANCHORS SHOULD BE OF SUFFICIENT DESIGN TO WITHSTAND THE HIGHEST RECORDED WIND SPEEDS/SEISMIC DESIGN CATEGORY IN THE AREA OF INSTALLATION. CONSULT A PROFESSIONAL ENGINEER FAMILIAR WITH THE WEATHER CONDITIONS IN THE AREA.



NOTE: THIS PRINT AND DESIGN ARE THE PROPERTY OF PAR-KUT INTERNATIONAL, INC. IT MUST NOT BE REPRODUCED IN ANY MANNER, NOR SHALL IT BE SUBMITTED TO OUTSIDE PARTIES FOR EXAMINATION WITHOUT OUR CONSENT. IT SHALL BE USED ONLY AS A MEANS OF REFERENCE TO WORK DESIGNED AND FURNISHED BY PAR-KUT. PAR-KUT RESERVES THE RIGHT TO MAKE CHANGES TO DESIGN FOR ENGINEERING PURPOSES WITHOUT NOTICE. REVISIONS MAY NOT BE NOTED.

PAR-KUT INTERNATIONAL, INC.
40961 Production Drive
Harrison Twp., Mich.
48045-1351
PH. (586) 468-2947
www.parkut.com

DWG# 18-275 SHEET A-1

DETROIT COUNTRY DAY
BEVERLY HILLS, MI

PO# SCALE 3/8"=12" DRAWN BY DPH REVISED DATE 10-05-2018 SIZE 4' X 7' QTY 1 CH'D BY SALES REPRESENTATIVE GARY HURST

GENERAL NOTES	
PAINT COLOR:	TBD
STANDING SEAM ROOF COLOR:	TBD
GLAZING TINT COLOR:	GRAY
OVERALL SHIPPING DIMENSIONS:	5'W X 8'-6"L X 10'H
TOTAL ESTIMATED WEIGHT:	2500 LBS. (+/-)



October 15, 2018

Planning Commission
Village of Beverly Hills
18500 W. 13 Mile Road
Beverly Hills, MI 48025

Attention:	Erin Saur, Planning and Zoning Administrator
Subject:	Detroit Country Day School special use and site plan review
Location:	22305 West 13 Mile Road – southwest corner of the 13 Mile and Lahser intersection
Zoning:	R-1 Single Family Residential District

Dear Commissioners:

At the Village's request, we have reviewed the submittal from Detroit Country Day School (DCDS) for a playground and sport court associated with the Middle School (plans dated 9/18/18).

The proposed outdoor recreation facilities are located in the southwestern portion of the DCDS property and west/southwest of the recently expanded Middle School building, which was approved in 2016.

Private schools and accessory elements are permitted with special land use approval in the R-1 District. In accordance with Section 22.08.300, modifications to the site after approval require a new special land use approval, as well as site plan review/approval.

Procedurally, following the public hearing, the Commission may make its recommendation to Village Council on both the special land use and site plan.

It is important to note that both structures were built prior to obtaining approval to do so.

We offer the following comments for your consideration in accordance with the applicable standards of the Village Zoning Ordinance. Items in need of attention or additional discussion are underlined to ease navigation through this letter.

Special use review. Section 22.08.300(h) provides the following standards for consideration by the Commission in its review of uses permitted after special approval:

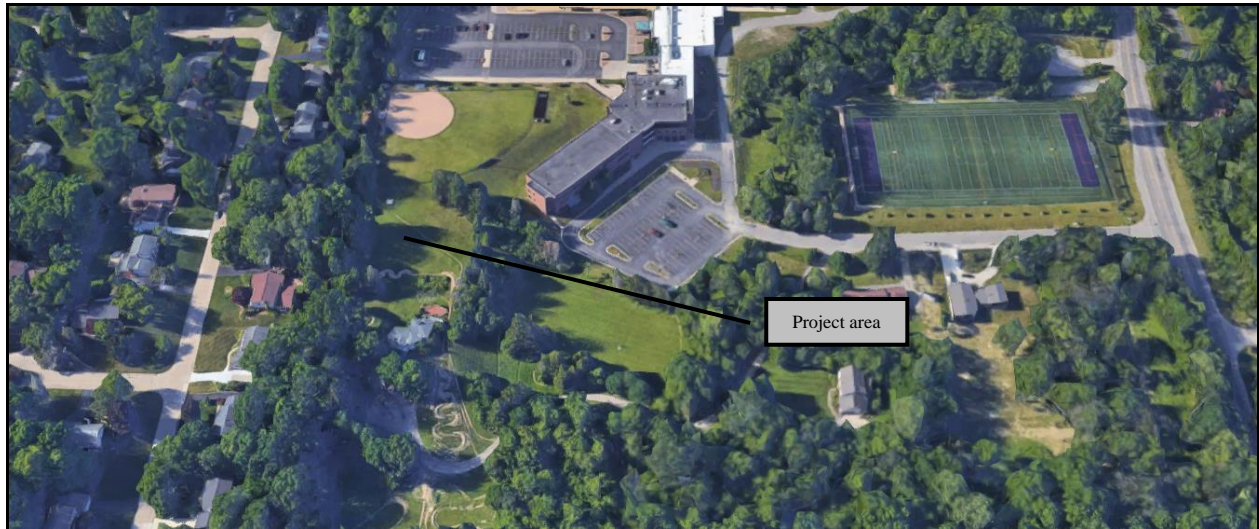
1. In location, size and intensity of the principal and/or accessory operations, be compatible with adjacent uses and zoning of land.

Use of the property as a private school is generally compatible with the primarily residential nature of the Village.

The proposed inclusion of a playground and sport court with the Middle School is not expected to alter operations of the relatively large property. With that being said, concerns are outlined below that relate to potential impacts upon the adjacent residences and the need for additional information.

2. Be compatible with and promote the intent and purpose of this Ordinance.

The current and proposed use of the property are generally consistent with the host of institutional uses that help create the character of the Village.



Aerial view of site and surroundings (looking north prior to Middle School expansion)

3. Be compatible with the natural environment and conserve natural resources and energy.

The project area is not within a flood plain or wetland. Inclusion of these structures resulted in some modifications to the most recently approved landscape plan (2016). As such, a revised landscape plan is required with this submittal. Any trees that were removed to accommodate the structures, must also be identified.

4. Be consistent with existing and future capabilities of public services and facilities affected by the proposed use.

The inclusion of a playground and sport court on a school site is not expected to have any impacts on public services and facilities.

5. Protect the public health, safety, and welfare as well as the social and economic well-being of those who will use the land use, activity, residents, businesses and landowners immediately adjacent and the Village as the whole.

The primary concerns related to outdoor recreation facilities are light intrusion and noise generation. The proposal does not depict any new lighting beyond what was approved along the emergency access drive in 2016; however, we request the applicant confirm that neither facility will be lit.

Additionally, given the proximity of the facilities to the adjacent residences, screening is another important element of the project. As previously noted, the submittal does not include a landscape plan, which is required for this project.

The applicant should provide for additional screening (landscaping, walls or fencing) in the project area to help protect the nearby residences from excessive noise generation.

Lastly, we request the applicant provide an operational description of how and when these structures will be used.

6. Promote the use of land in a socially and economically desirable manner.

DCDS is a well-established institutional use in the community and outdoor recreation facilities are relatively common as accessory elements of a school site.

With that being said, we are of the opinion that a favorable finding under this criterion is dependent upon the applicant addressing the lighting and screening comments noted above.

7. Not be in conflict with convenient, safe and normal neighborhood vehicular and pedestrian traffic routes, flows, intersections, and general character and intensity of neighborhood development.

The inclusion of a playground and sport court on a school site is not expected to impact vehicular and pedestrian circulation.

8. Be of such design and impact that the location and height of buildings, the location, nature and height of walls, fences and the nature and extent of landscaping on the site shall not hinder or discourage the appropriate development and use of adjacent land and buildings or impair the value thereof.

As noted above, additional information is needed with respect to existing and proposed screening. Additionally, both facilities include chain link fencing; however, no details are provided.

9. In the nature, location, size and site layout of the use, be a harmonious part of the district in which it is situated taking into account, among other things, prevailing shopping habits, convenience of access by prospective patrons, the physical and economic relationship of one type of use to another and characteristic groupings of uses of said district.

Similar to comments above, the primary concerns are related to light and noise. Provided the applicant can adequately mitigate off-site impacts, the case may be made that the proposal will be harmonious with the area.

10. In the location, size, intensity and site layout be such that operations will not be objectionable to nearby dwellings, by reason of noise, fumes, glare or flash of lights.

Similar to comments above, the primary concerns under this criterion is the potential off-site impact of light and noise. The applicant must mitigate these impacts to the Village's satisfaction.

11. Be consistent with the character, nature and type of residential districts surrounding the proposed special uses.

Provided the concerns described above can be properly mitigated, the proposal is not expected to alter the character of the DCDS property or the surrounding area.

Site plan review. Section 22.08.290 identifies the process and review standards applicable to site plans. We have reviewed the proposal for compliance with the applicable Ordinance standards, as follows:

- 1. Dimensional Requirements.** The proposed playground and sport court are located west of the Middle School building and outside of required R-1 District setbacks (60.5' and 64.1', respectively). There are no other dimensional standards applicable to the request.
- 2. Pedestrian Circulation.** A 5-foot wide sidewalk connects the emergency service drive to the sport court. The sidewalk design/materials match that of other sidewalks elsewhere around the Middle School.
- 3. Lighting.** The submittal does not identify any exterior lighting proposed in conjunction with the playground or sport court. Similar to our special land use review above, we request the applicant confirm that no new lighting is proposed as part of this project.

4. **Landscaping and Screening.** As previously noted, the submittal does not identify existing or proposed landscaping/screening within the project area. This information must be provided to determine the impacts of the request, as well as compliance with current Ordinance standards.
5. **Fencing.** As noted under the special land use review above, fencing is proposed as part of this project, but details are not provided. Depending on the specific details, Section 22.08.150(E) requires Planning Commission authorization for fencing taller than 7 feet that encloses an institutional playground, athletic field or similar use.
6. **Engineering.** We defer review of site grading, drainage and utilities to the Director of Public Services and Village Engineer.
7. **Miscellaneous Comments.** The plans include several elements that were part of the 2016 special land use/site plan approval for the Middle School addition that are already constructed.

In order to ensure clarity and consistency, we request the applicant amend the plans such that these items are identified/depicted as existing, as opposed to new or reconfigured.

Should you have any questions concerning this matter, please do not hesitate to contact our office. We can be reached by phone at (248) 586-0505, or via e-mail at bborden@safebuilt.com and steve.hannon@safebuilt.com.

Respectfully,

SAFEBUILT STUDIO



Brian V. Borden, AICP
Planning Manager



Stephen Hannon, AICP
Planner



January 17, 2019

Planning Commission
Village of Beverly Hills
18500 W. 13 Mile Road
Beverly Hills, MI 48025

Attention:	Erin Saur, Planning and Zoning Administrator
Subject:	Detroit Country Day School – Special Use and Site Plan Review #2
Location:	22305 West 13 Mile Road – southwest corner of the 13 Mile and Lahser intersection
Zoning:	R-1 Single Family Residential District

Dear Commissioners:

At the Village's request, we have reviewed the revised submittal from Detroit Country Day School (DCDS) for a playground, sport court and security guard station associated with the Middle School (plans most recently dated 12/13/18).

The proposed outdoor recreation facilities are located in the southwestern portion of the DCDS property and west/southwest of the recently expanded Middle School building (approved in 2016). The proposed security office, which entails a relatively small building (28 square feet), is located on the north side of Hillview Lane, approximately 100 feet east of the parking lot.

Private schools and accessory elements are permitted with special land use approval in the R-1 District. In accordance with Section 22.08.300, modifications to the site after approval require a new special land use approval, as well as site plan review/approval.

As was discussed at the October 2018 Planning Commission meeting, both the playground and sport court were built prior to obtaining Village approvals. The security office was just recently added to the request. Given the inclusion a new accessory element, the Commission must conduct another public hearing on the special land use request.

Procedurally, following the public hearing, the Commission may make its recommendation to Village Council on both the special land use and site plan.

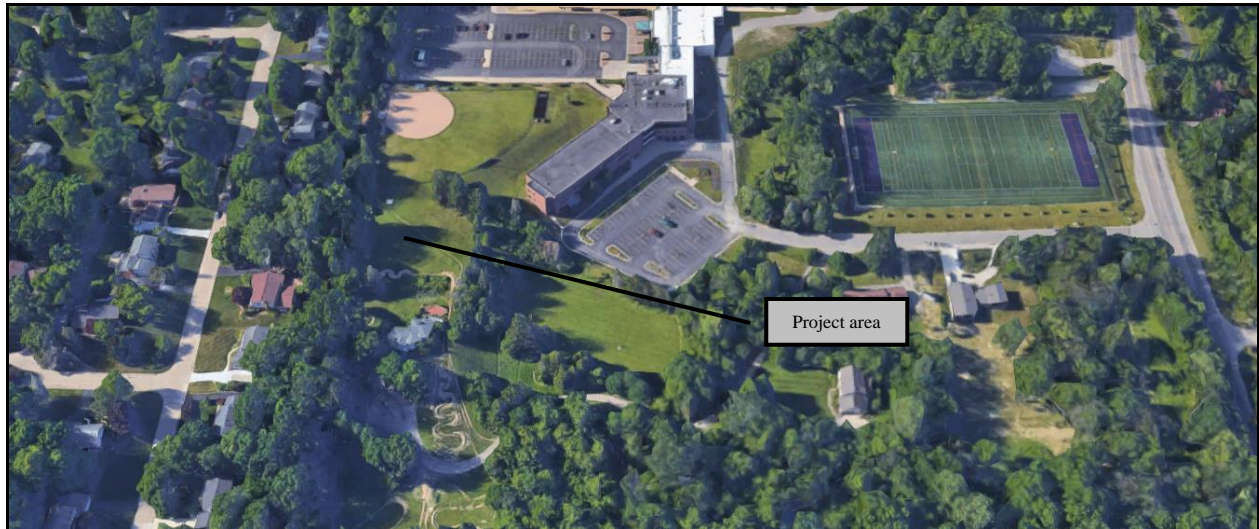
We offer the following comments for your consideration in accordance with the applicable standards of the Village Zoning Ordinance. Items in need of attention or additional discussion are underlined to ease navigation through this letter.

Special use review. Section 22.08.300(h) provides the following standards for consideration by the Commission in its review of uses permitted after special approval:

1. In location, size and intensity of the principal and/or accessory operations, be compatible with adjacent uses and zoning of land.

Use of the property as a private school is generally compatible with the primarily residential nature of the Village.

The proposed inclusion of a playground and sport court with the Middle School is not expected to alter the overall operations of the site; however, there are concerns (outlined below) related to potential impacts upon the adjacent residences.



Aerial view of site and surroundings (looking north prior to Middle School expansion)

2. Be compatible with and promote the intent and purpose of this Ordinance.

The proposed structures are relatively common accessory elements found on large, private school sites. So long as the potential impacts upon adjacent residences can be properly mitigated, we anticipate the project will be compatible with the intent and purpose of the Zoning Ordinance.

3. Be compatible with the natural environment and conserve natural resources and energy.

The proposed structures are located outside of floodplain and wetland areas and will not impact the natural environment.

4. Be consistent with existing and future capabilities of public services and facilities affected by the proposed use.

The inclusion of a playground and sport court on a school site is not expected to have any impacts on public services and facilities. Furthermore, given the nature, design and location of the proposed security office, this element of the project is not expected to impact public services and facilities.

5. Protect the public health, safety, and welfare as well as the social and economic well-being of those who will use the land use, activity, residents, businesses and landowners immediately adjacent and the Village as the whole.

The primary concerns related to outdoor recreation facilities are light intrusion and noise generation. As part of the revised submittal, the applicant has confirmed that no lighting is proposed for either structure.

As was previously discussed, given the proximity of the facilities to the adjacent residences, screening is another important element of the project. The revised submittal includes an updated landscape plan demonstrating that the site is in compliance with the site plan approval from 2016 for the Middle School addition.

In our opinion, the inclusion of two new recreational structures relatively near adjacent residential uses warrants additional landscaping/buffering. While the property line is relatively well landscaped, there is sufficient area for additional plantings between the structures and westerly property line. Furthermore, consideration should be given to the inclusion of screen fencing.

There is an existing wood screen fence along the westerly property line that ends approximately 100 feet north of the playground. Extension of the fence could help to mitigate noise impacts, though its current height (9' to 10') would require additional approvals.

6. Promote the use of land in a socially and economically desirable manner.

DCDS is a well-established institutional use in the community and outdoor recreation facilities are relatively common as accessory elements of a school site.

With that being said, we are of the opinion that a favorable finding under this criterion is dependent upon the applicant addressing the screening comments noted above.

7. Not be in conflict with convenient, safe and normal neighborhood vehicular and pedestrian traffic routes, flows, intersections, and general character and intensity of neighborhood development.

The inclusion of a playground, sport court and relatively small security office building on a large school site is not expected to impact vehicular and pedestrian circulation.

8. Be of such design and impact that the location and height of buildings, the location, nature and height of walls, fences and the nature and extent of landscaping on the site shall not hinder or discourage the appropriate development and use of adjacent land and buildings or impair the value thereof.

As noted above, the revised plan includes all of the landscaping required by the 2016 approval.

Additionally, the revised submittal notes the use of 4-foot (playground) and 6-foot (sport court) tall fencing. Both fences are black, vinyl coated chain-link style.

9. In the nature, location, size and site layout of the use, be a harmonious part of the district in which it is situated taking into account, among other things, prevailing shopping habits, convenience of access by prospective patrons, the physical and economic relationship of one type of use to another and characteristic groupings of uses of said district.

Similar to comments above, the primary concerns are related to light and noise. Provided the applicant can adequately mitigate off-site impacts, the case may be made that the proposal will be harmonious with the area.

10. In the location, size, intensity and site layout be such that operations will not be objectionable to nearby dwellings, by reason of noise, fumes, glare or flash of lights.

As stated throughout this review letter, concerns under this criterion are the potential off-site impact of light and noise. The applicant must mitigate these impacts to the Village's satisfaction.

11. Be consistent with the character, nature and type of residential districts surrounding the proposed special uses.

Provided the concerns described above can be properly mitigated, the proposal is not expected to alter the character of the DCDS property or the surrounding area.

Site plan review. Section 22.08.290 identifies the process and review standards applicable to site plans. We have reviewed the proposal for compliance with the applicable Ordinance standards, as follows:

1. **Dimensional Requirements.** The proposed playground and sport court are located west of the Middle School building and outside of required R-1 District setbacks (60.5' and 64.1', respectively).

The proposed security office is situated approximately 400 feet from Lahser Road. There are no other dimensional standards applicable to the request.

2. **Building Design.** The proposed security office building is a relatively small metal building with a tan and green color scheme consistent with the property. A photo of the building is included for reference; however, the applicant should be required to provide an elevation drawing of the building within the site plan submittal.
3. **Pedestrian Circulation.** A 5-foot wide sidewalk connects the emergency service drive to the sport court. The sidewalk design/materials match that of other sidewalks elsewhere around the Middle School.
4. **Lighting.** As was previously requested, the applicant has confirmed in writing that no new lighting is proposed as part of this project.
5. **Landscaping and Screening.** As previously noted, the revised submittal includes an updated landscape plan demonstrating compliance with the 2016 approval.


In order to adequately mitigate the potential impacts of the recreational structures upon the adjacent residential uses, we are of the opinion that additional screening is warranted. As such, we suggest additional plantings and screen fencing be provided.

5. **Engineering.** We defer review of site grading, drainage and utilities to the Director of Public Services and Village Engineer.

Should you have any questions concerning this matter, please do not hesitate to contact our office. We can be reached by phone at (248) 586-0505, or via e-mail at bborden@safebuilt.com and steve.hannon@safebuilt.com.

Respectfully,
SAFEBUILT STUDIO


Brian V. Borden, AICP
Planning Manager


Stephen Hannon, AICP
Planner

**EXCERPT OF REGULAR PLANNING COMMISSION MEETING MINUTES – OCTOBER 24, 2018 –
PAGE 1**

Present: Chairperson Ostrowski; Vice-Chairperson Westerlund; Members: Borowski, Copeland, Drummond, Grinnan, Ruprich, and Wilensky

Absent: Member: Stempien

Also Present: Planning and Zoning Administrator, Saur
Planning Consultant, Borden
Council Liaison, Abboud

PUBLIC HEARING ON REQUEST FROM DETROIT COUNTRY DAY (DCD) SCHOOL, 22305 W 13 MILE ROAD, FOR SPECIAL LAND USE APPROVAL TO ADD A PLAYGROUND AND SPORTS COURT AT THE MIDDLE SCHOOL GROUNDS

Borden reviewed the submittal from Detroit Country Day School for a playground and sport court associated with the Middle School (plans dated 9/18/18). The proposed outdoor recreation facilities are located in the southwestern portion of the DCDS property and west/southwest of the recently expanded Middle School building, which was approved in 2016. Private schools and accessory elements are permitted with special land use approval in the R-1 District. In accordance with Section 22.08.300, modifications to the site after approval require a new special land use approval, as well as site plan review/approval.

Special use review. Section 22.08.300(h) provides the following standards for consideration by the Commission in its review of uses permitted after special approval:

Be compatible with the natural environment and conserve natural resources and energy.

The project area is not within a flood plain or wetland. Inclusion of these structures resulted in some modifications to the most recently approved landscape plan (2016). As such, a revised landscape plan is required with this submittal. Any trees that were removed to accommodate the structures, must also be identified.

Protect the public health, safety, and welfare as well as the social and economic well-being of those who will use the land use, activity, residents, businesses and landowners immediately adjacent and the Village as the whole.

The primary concerns related to outdoor recreation facilities are light intrusion and noise generation. The proposal does not depict any new lighting beyond what was approved along the emergency access drive in 2016; however, the applicant must confirm that neither facility will be lit. Additionally, given the proximity of the facilities to the adjacent residences, screening is another important element of the project. The submittal does not include a landscape plan, which is required for this project. The applicant should provide for additional screening (landscaping, walls or fencing) in the project area to help protect the nearby residences from excessive noise generation. Lastly, the applicant must provide an operational description of how and when these structures will be used.

Be of such design and impact that the location and height of buildings, the location, nature and height of walls, fences and the nature and extent of landscaping on the site shall not hinder or discourage the appropriate development and use of adjacent land and buildings

or impair the value thereof.

Additional information is needed with respect to existing and proposed screening. Additionally, both facilities include chain link fencing; however, no details are provided.

Site plan review. Section 22.08.290 identifies the process and review standards applicable to site plans. The proposal has been reviewed for compliance with the applicable Ordinance standards:

The plans include several elements that were part of the 2016 special land use/site plan approval for the Middle School addition that are already constructed. In order to ensure clarity and consistency, the applicant must amend the plans such that these items are identified/depicted as existing, as opposed to new or reconfigured.

Lighting

The submittal does not identify any exterior lighting proposed in conjunction with the playground or sport court. The applicant must confirm that no new lighting is proposed as part of this project.

Landscaping and Screening

The submittal does not identify existing or proposed landscaping/screening within the project area. This information must be provided to determine the impacts of the request, as well as compliance with current Ordinance standards.

Fencing

Fencing is proposed as part of this project, but details are not provided. Depending on the specific details, Section 22.08.150(E) requires Planning Commission authorization for fencing taller than 7 feet that encloses an institutional playground, athletic field or similar use.

Engineering

The review of site grading, drainage and utilities is deferred to the Director of Public Services and Village Engineer.

Ostrowski opened the Public hearing at 7:51 p.m.

The following residents spoke against the approval of the playground and sports court on the middle school property.

John Fath, Lincolnshire
Jon Everly, Lincolnshire
Stewart Mandell, Highbank Drive
Natalia Petraszezok, Lincolnshire
Carl Gilmer-Hill, Lincolnshire
Don McDonald, Foxboro Way
Dawn Moss, Lincolnshire
David Ruby, Lincolnshire

Each of the residents explained that the playground and sports court were already constructed, and this construction was not approved with the middle school site plan submission, or permitted with the approvals provided by the Planning Commission and Village Council in 2016. They contend that DCD was not working with the neighbors, and had no intention of doing so. Each cited the high levels of noise multiple times a day, the height and expanse of the equipment, the lack of green screen as previously promised, the violation of the DEQ flood plain requirements, lights in the evenings on the property, and the continued events creating traffic and noise in the evenings.

A letter was submitted signed by the residents listed outlining their opposition to the proposed site plan deviation. Cited in the letter was the lack of conversation with neighbors related to the proposed site plan, noise concerns, that an agreed upon good faith compromised was reached between themselves and DCD, which was approved by the Planning Commission and Village Council in 2016. Despite that DCD constructed two retaining walls in the sloping area that had been previously deemed too steep for a play area, erected a large playscape and full sized basketball court closely behind and adjacent to the Georgetown neighborhood homes in a portion of the land that on the Village approved original site plan called for the installation of a landscaped sloping greenbelt buffer between the school and its Georgetown neighbors.

Mary and Michael Ryan, Lincolnshire
John and Wendy Kreitz, Lincolnshire
Tristian and Dawn Moss, Lincolnshire
John Kalt and Natalia Petraszczuk, Lincolnshire
Jon and Amy Everly, Lincolnshire
Carl D. Gilmer-Hill, Lincolnshire
Peter and Bettina Denner, Lincolnshire
Pauline O'Shaughnessy, Lincolnshire
John and Camille Fath, Lincolnshire
Tom and Meg Gordy, Lincolnshire
Erica Cambridge, Lincolnshire
Dave and Sue Ruby, Lincolnshire
Stewart and Barbara Mandell, Highbank Drive
David and Adrine Dulio, Highbank Drive
Amy and Mike Kruntovski, Highbank Drive
Josh and Catherine Emerick, Cedar Hollow
Steve and Laurie Hix, Lincolnshire
Jeff Rogers and Anne Feighan, Lincolnshire
Tracy and Brian Frink, Highbank Drive

No one else wished to be heard; therefore Ostrowski closed the Public Hearing at 8:22 p.m.

**REVIEW AND CONSIDER RECOMMENDATION ON SPECIAL LAND USE
APPROVAL AND AN AMENDMENT TO A SITE PLAN TO ADD A PLAYGROUND
AND SPORTS COURT AT THE MIDDLE SCHOOL GROUNDS AT DETROIT
COUNTRY DAY SCHOOL, 22305 W 13 MILE ROAD.**

Sam Ashley, Cunningham-Limp, spoke representing DCD, he explained that the residents,

representatives from DCD and his company, and a landscape architect reviewed and verified all plantings and plans for plantings. Scrub trees and bushes were removed, per homeowners' request, and before the completion of the project the intention is to complete all the plantings in compliance with the original site plan. The only deviation from the original plan is the construction of the playscape and sports courts. He explained that final inspections by the DEQ have not been performed as construction continues and the permits remain open.

Borowski, Drummond, Wilensky, Grinnan, and Westerlund all questioned the decision by DCD to violate their initial site plan. They expressed disappointment that DCD would build, without permission, structures not represented on the approved site plans.

Ruprich requested that Administration review all past motions related to construction and site plan approval to verify compliance by DCD. He requested that DCD submit a landscape plan, as well as documents from the DEQ related to compliance.

Motion by Borowski, second by Grinnan, to table the discussion until further information can be provided by Detroit Country Day.

Roll call vote:

Motion passed (8-0)

**EXCERPT OF REGULAR PLANNING COMMISSION MEETING MINUTES – JANUARY 23, 2019 –
PAGE 1**

Present: Chairperson Ostrowski; Members: Copeland, Drummond, Grinnan, Ruprich, and Wilensky

Absent: Vice-Chairperson Westerlund; Member: Borowski and Stempien

Also Present: Village Manager, Wilson
Planning Consultant, Borden
Council Liaison, Hrydziusko

PUBLIC HEARING ON REQUEST FROM DETROIT COUNTRY DAY SCHOOL, 22305 W 13 MILE ROAD, FOR SPECIAL LAND USE APPROVAL TO RETAIN A PLAYGROUND AND SPORTS COURT AND ADD A GUARD HOUSE AT THE MIDDLE SCHOOL GROUNDS

The Village has received revised plans, dated December 13, 2018, from Detroit Country Day School (DCDS) for approval to keep a playground and basketball court on the Middle School grounds, and add a guard house in the Middle School parking lot. Village Ordinance, Section 22.14.030 requires special land use approval for accessory structures at a private school in a Single-Family Residential Zone District. Additionally, Section 22.08.300, j requires any modifications to the site after approval that are not in accordance with the approved site plan to obtain special land use approval.

The Planning Commission held a public hearing on October 24, 2018 for plans submitted by DCDS to keep the playground and basketball court previously installed on the Middle School grounds. In the interim, the school has revised their request and is also seeking approval to add an additional accessory structure, guard house, in the Middle School parking lot area concurrent with the request to retain the recreational structures already installed. Due to the addition of a new structure, the Village has noticed a public hearing on the revised submittal for the Planning Commission meeting to be held January 23, 2019.

Procedurally, after conducting a public hearing on the special land use request, the Planning Commission can make their recommendations for approval, approval with conditions, or denial of the site plan and/or special land use requests to the Village Council. A public hearing on the special land use request will be held by the Council prior to rendering a decision on the requests for special land use and site plan approval.

In addition to the revised site plan and response letter, the Commission was provided with documentation from DCDS, there is a review letter from the Village's Planning Consultant, correspondence sent to the Village upon request from the Michigan DEQ regarding work conducted on site, a copy of the approved site plan dated August 12, 2016, and excerpts of the minutes of the Zoning Board of Appeals, Planning Commission, and Council meetings held in 2016 relative to the approval of the variance, special land use, and site plan for the addition to the Middle School.

Ostrowski opened the Public hearing at 7:36 p.m.

The following residents spoke in opposition of the playground and sports court on the middle

school property.

John Fath, Lincolnshire
Jon Everly, Lincolnshire
Natalia Petraszczuk, Lincolnshire
Camille Fath, Lincolnshire
Dawn Moss, Lincolnshire
Paul Prentis, Lincolnshire
Tyrone Henry, Hillview

Each of the residents explained that the playground and sports court were already constructed, and this construction was not approved with the middle school site plan submission or permitted with the approvals provided by the Planning Commission and Village Council in 2016. They contend that DCD was not working with the neighbors and had no intention of doing so. Each cited the high levels of noise multiple times a day, the height and expanse of the equipment, the lack of green screen as previously promised, the violation of the DEQ flood plain requirements, lights in the evenings on the property, and the continued events creating traffic and noise in the evenings.

A letter was submitted signed by 63 residents listed outlining their opposition to the proposed site plan deviation. Cited in the letter was the lack of conversation with neighbors related to the proposed site plan, noise concerns, and a violation of an agreed upon good faith compromise that was reached between themselves and DCD, which was approved by the Planning Commission and Village Council in 2016. DCD constructed two retaining walls in the sloping area that had been previously deemed too steep for a play area, erected a large playscape and full sized basketball court closely behind and adjacent to the Georgetown neighborhood homes in a portion of the land that on the Village approved original site plan called for the installation of a landscaped sloping greenbelt buffer between the school and its Georgetown neighbors.

A complete copy of this letter and all signatures is available for review at the Village Offices.

No one else wished to be heard, therefore, Ostrowski closed the public hearing at 8:08 pm.

**REVIEW AND CONSIDER RECOMMENDATION ON SPECIAL LAND USE
APPROVAL TO RETAIN A PLAYGROUND AND SPORTS COURT AND ADD A
GUARD HOUSE AT THE MIDDLE SCHOOL GROUNDS AT DETROIT COUNTRY
DAY SCHOOL, 22305 W 13 MILE ROAD**

Sam Ashley, Cunningham-Limp, spoke representing DCD, he explained that the residents, representatives from DCD his company, and a landscape architect reviewed and verified all plantings and plans for plantings. Scrub trees and bushes were removed, per homeowners' request, and before the completion of the project the intention is to complete all the plantings in compliance with the original site plan. The sports court and playground areas are being used by the middle schoolers, with hours limited to 10:30 am - 12:30 pm, and occasional after school use from 3:30 pm - 4:30 pm. The only deviation from the original plan is the construction of the playscape and sports courts. He explained that final inspections by the DEQ have not been performed as construction continues and the permits remain open.

Following a third-party safety and security audit commissioned by DCD, they discovered that there was a need for the security shack at its proposed location. They were unwilling to share the results of the security study due to confidentiality reasons.

The Commission questioned the decision by DCD to violate their initial site plan. They expressed disappointment that DCD would build, without permission, structures not represented on the approved site plans.

Grinnan expressed disappointment that a redacted copy of the security audit was not provided for review by the Commission. She continues to be frustrated with DCD on their lack of communication with neighbors, and blatant disrespect for the site plan review policies in place.

Drummond questioned whether other locations had been considered on the property. He also expressed frustration at the lack of adherence to the site plan review process in the Village. Although he could support the placement of the security shack, he cannot support the full site plan approval. Ashley explained that although other spaces were considered, due to safety and security reasons it was constructed in that location.

Ruprich was surprised by the lack of additional green screening along the retaining wall and property line. Ashley explained that plantings are planned for the spring.

Ostrowski suggested more greenscreen for the sports court and that DCD work with the neighbors to mitigate the impact of the playground.

Wilensky continues to be troubled with why DCD chose to not follow the appropriate procedure for changes to approved site plan.

Copeland questioned the current security measures in place and Ashley explained that they have a patrol truck.

Motion by Drummond, second by Grinnan, that the Planning Commission recommends the Village of Beverly Hills Council deny the special land use request to retain a playground and sports court and add a guard house at the middle school grounds at Detroit Country Day School, 22305 W 13 Mile Road, due to non-compliance with Village requirements for approval including the violation of Section 22.08.300(h) which says in location, size and intensity of the principal and/or accessory operations, the land use must be compatible with adjacent uses and zoning of land.

Roll Call Vote:

Copeland	yes
Drummond	yes
Grinnan	yes
Ostrowski	no
Ruprich	yes
Wilensky	yes

Motion passed (5-1)

**REVIEW AND CONSIDER RECOMMENDATION ON AN AMENDMENT TO A SITE
PLAN TO RETAIN A PLAYGROUND AND SPORTS COURT AND ADD A GUARD
HOUSE AT THE MIDDLE SCHOOL GROUNDS AT DETROIT COUNTRY DAY
SCHOOL, 22305 W 13 MILE ROAD**

Motion by Drummond, second by Grinnan, that the Planning Commission recommends the Village of Beverly Hills Council deny the special land use request to retain a playground and sports court and add a guard house at the middle school grounds at Detroit Country Day School, 22305 W 13 Mile Road, due proximity to nearby neighbors.

Roll Call Vote:

Motion passed (6-0)

Dear Planning Commission Members,

The undersigned homeowners and/or residents in Georgetown oppose the proposed variance to the approved site plan for the Detroit Country Day School (“DCD”) addition. As neighbors, we have gathered and compiled this statement to help guide the Planning Commission's evaluation of DCD's request for a variance. Many Commissioners will undoubtedly recall the gradual evolution of DCD's 2016 site plan to expand its middle school and its road to approval. For completeness, we provide a recap, and summarize the events that have since occurred:

- DCD initially sought approval of its site plan without consulting its neighbors. The plan included many objectionable elements. The Planning Commission directed DCD to speak with its neighbors and come up with a better plan.
- In discussions with the Commission, Glen Shilling of DCD assured Commissioners that their concerns about noise and other issues arising from young children playing in the space between the middle school addition and nearby Georgetown neighborhood houses were unwarranted because the slope of the land was so steep.
- The Planning Commission encouraged DCD and the affected Georgetown neighbors to modify the site plan to create an appropriate “buffer” between the school and adjacent houses to mitigate the adverse impact of the addition, and to address environmental concerns raised by the Georgetown neighbors.
- DCD, its contractors, the Georgetown neighbors, and a landscape architect hired by the Georgetown neighbors held several meetings throughout 2016 and negotiated modifications to the DCD site plan.
- A significant amount of time, money, and effort was expended by all parties to reach an agreed upon, good-faith compromise to the DCD site plan.
- The Planning Commission and Village Council approved this negotiated, final version of the DCD site plan on October 4, 2016. The Commission also encouraged DCD to remain in contact with the Georgetown neighbors as construction progressed.
- As the project neared completion in 2018 **DCD constructed two retaining walls in the sloping area that DCD had previously assured Commissioners was too steep for a play area, and erected both a large playscape and a full-sized basketball court closely behind and adjacent to the bordering Georgetown neighborhood houses, in a portion of the area for which the Village-approved site plan called for the installation of a landscaped, sloping greenbelt buffer between the school and its Georgetown neighbors.** DCD students now use the playscape and basketball court throughout school hours virtually every day.
- Additionally, the Commission should be aware that there are other ways that DCD has adversely impacted its neighbors. In the site plan approval process, there was discussion of minimizing light pollution from the street lights. Not discussed was that the school would be leaving its interior lights on all night, as has been occurring. We request that the use of interior lights be subject to reasonable limitations.

The unauthorized structural additions erected by DCD are not minor variations to the Village-approved site plan. Rather, they are permanent features DCD has added to the site which wholly subvert the agreed upon greenbelt buffer and violate the Village’s building code, as well as the Village's noise and zoning ordinances. By adding these features without notice and in contravention of the negotiated site plan, DCD has disregarded both the authority of the Village over DCD's construction projects, and the dramatic impact DCD's construction projects have on its neighbors.

DCD's currently requested variance, belatedly seeking permission to now retain these unauthorized structural additions in their current location, completely undermines the compromise represented by the negotiated, Village-approved site plan. Granting the variance would only embolden DCD to continue acting without consent or approval presently and on future projects. **The only appropriate outcome in this circumstance is for DCD to remove the unauthorized structures outright, (or, minimally, move them to a location completely removed from the border with its Georgetown neighbors), and conform the remainder of its project and premises to the Village-approved site plan,** including remedying any other non-conforming features on the site that are discovered upon a more full review. In this latter regard, the Georgetown neighbors formally request either copies of documents reflecting relevant environmental

approvals of the work performed on the DCD middle school project, or that an evaluation of the site be performed by the Department of Environmental Quality (DEQ) and/or other appropriate authorities to ascertain whether DCD has complied with the environmental provisions of the Village-approved site plan.

Everyone below supports these requests and asks the Planning Commission to deny DCD all that it has requested. Importantly, the list below encompasses all who border DCD between Shagbark to the north, and Highbank to the South:

Name & Address	
1.	Michael & Mary Ryan 30444 Lincolnshire East
2.	John & Wendy Kreitz 30422 Lincolnshire East
3.	Tristan & Dawn Moss 30400 Lincolnshire East
4.	John Kalt & Natalia Petraszczuk 30354 Lincolnshire East
5.	Jon & Amy Everly 30332 Lincolnshire E.
6.	Carl D. Gilmer-Hill 30310 Lincolnshire East
7.	Peter & Bettina Denner 30188 Lincolnshire East
8.	Pauline O'Shaugnessy 30166 Lincolnshire East
9.	John & Camille Fath 30144 Lincolnshire East
10.	Tom & Meg Gordy 30102 Lincolnshire East
11.	Erica Cambridge 30429 Lincolnshire East
12.	Dave & Sue Ruby 30120 Lincolnshire East
13	Stewart & Barbara Mandell 22601 Highbank Drive
14	David & Adrienne Dulio 22615 Highbank Drive
15.	Amy and Mike Kruntovski 22627 Highbank Drive
16.	Josh & Catherine Emerick 30291 Cedar Hollow
17.	Steve & Laurie Hix 30337 Lincolnshire East

18.	Jeff Rodgers and Anne Feighan 30359 Lincolnshire East
19.	Tracy and Bryan Frink 22643 Highbank Drive
20.	Peggy and Tom Brady 30603 Pebblestone Ct.
21.	Brigitte Imhoff 30700 Lincolnshire E.
22.	Eric and Stacey Rolf 30124 Hobnail Ct.
23.	Eric and Elizabeth Rademacher 30693 Banbury Ct.
24.	Stephen W Love 22803 Highbank Dr.
25.	Jason & Alison Mush 30557 Georgetown
26.	James and Caitlin Busch 30414 Georgetown Dr
27.	Dennis and Linda Sinclair 30637 Pebblestone Ct.
28.	Sam & Sara Locricchio 30320 Georgetown Dr.
29.	Amy and David Kappaz 22822 Highbank
30.	Nancy & Michael Shiner 30744 Lincolnshire E.
31.	Paul and Michele Prentice 30101 Lincolnshire
32.	Mike & Nancy Shiner 30744 Lincolnshire E
33.	David and Tracy Kachel 30564 Georgetown Dr.
34.	Susan and Douglas Cosenza 30350 Fox Run
35.	Dan & Stephanie Drapal 22855 Shagbark
36.	Debra DeSantis 22825 Highbank Dr.
37.	Rick and Cathy Mazur 30451 Lincolnshire E

38.	Dave and Stacey Lazor 30536 Georgetown Dr.
39.	Sharon Pawlik 30306 Georgetown Dr.
40.	Kurt & Rebecca Robertson 22831 Shagbark Drive
41.	Nell and Elliott Beattie 30180 Hobnail Ct.
42.	James Kim and Yuson Jung 22847 Highbank
43.	Kyle and Lisa Lamb 30792 Lincolnshire
44.	Gina Kim and S. C. Goh 30851 Lincolnshire E
45.	Donald Smith and Jane Digneit-Smith 22680 Highbank Drive
46.	Joseph and Sandra Jacobson 22869 Highbank
47.	Thad and Laura Chmielewski 30043 Fox Run Dr.
48.	Elayne Galin 30554 Lincolnshire E.
49.	Robert & Danielle Schindler 30344 Georgetown
50.	Amanda & Bernhard Janisch 30141 Lincolnshire
51.	Mark & Naoko McKelvey 30166 Hobnail Ct.
52.	Linda H. Remington 30575 Lincolnshire E.
53.	Molly Borgon and Paul Kleppert 30665 Pebblestone Ct.
54.	Theodore R Hale & Amy Williams 22665 Highbank

55. Margaret Douglass
30895 Lincolnshire

56. Fred and Pat Bennie
30553 E. Lincolnshire

57. Joseph and Susan Butkovich
22800 Highbank

58. Heidi & Rahul Gogate
30619 Pebblestone Ct.

59. George & Aletha Kimbrough
30550 Georgwtown

60. Tom & Wendy Sims
30532 Lincolnshire

61. Jeff & Katie Baetz
22830 Shagbark Drive

62. Jolie Kaufmann
30720 Georgetown Drive

63. Jabari Long
30508 Georgetown Dr.

Erin Saur

From: Durack, Patrick (DEQ) <DURACKP@michigan.gov>
Sent: Friday, November 30, 2018 10:06 AM
To: Hartz, Andrew (DEQ)
Cc: Tepatti, Susan (DEQ)
Subject: FW: Detroit Country Day School, WRD 004101
Attachments: 63-22400 Hillview Lane Signed Permit WRP004101.pdf; Detroit Country Day School Photos 11-12-18.pdf

FYI

From: Matt Stone-Palmquist <mSP@king-macgregor.com>
Sent: Tuesday, November 20, 2018 9:48 AM
To: Durack, Patrick (DEQ) <DURACKP@michigan.gov>
Cc: Bart Roeser <broeser@clc.build>
Subject: Detroit Country Day School, WRD 004101

Hi Pat:

I was on-site last week at Detroit County Day School in Beverly Hills to observe the recently completed construction activities included in the above-referenced MDEQ permit (a copy is also attached as an FYI). As you may recall, there were two primary tasks with this permit: 1) removal of a log jam and stabilization of a section of bank of the Rouge River and 2) floodplain fill and construction of a compensating cut.

I found the project had been constructed in accordance with the plans produced by King & MacGregor that were included in the permit (and stamped "approved" as Plans 5 of 6 and 6 of 6). Attached are a few pictures for your information. Please let us know if you require any additional documentation before you can consider this permit "done."

As a heads-up, this project has attracted attention from some of the neighbors and it would not surprise us if you get a phone call or two asking questions about the work in the river. If you would like to see the work first hand, please let me know and I'd be happy to meet you out there.

Thanks,
Matt

Matt Stone-Palmquist, LLA

King & MacGregor Environmental, Inc. | 43050 Ford Road, Suite 130, Canton, MI 48187
 P 734-645-0830 | mSP@king-macgregor.com



**MICHIGAN DEPARTMENT OF ENVIRONMENTAL QUALITY
WATER RESOURCES DIVISION
PERMIT**

ISSUED TO:

Detroit Country Day School
Glen Shilling, Headmaster
22305 West 13 Mile Road
Beverly Hills, MI 48025

Permit No: WRP004101 v1.0
Issued: August 31, 2016
Extended:
Revised:
Expires: August 31, 2021

This permit is being issued by the Michigan Department of Environmental Quality (MDEQ) under the provisions of the Natural Resources and Environmental Protection Act, 1994 PA 451, as amended (NREPA), and specifically:

- | | |
|--|---|
| <input checked="" type="checkbox"/> Part 301, Inland Lakes and Streams | <input type="checkbox"/> Part 315, Dam Safety |
| <input type="checkbox"/> Part 325, Great Lakes Submerged Lands | <input type="checkbox"/> Part 323, Shorelands Protection and Management |
| <input type="checkbox"/> Part 303, Wetlands Protection | <input type="checkbox"/> Part 353, Sand Dunes Protection and Management |
| <input checked="" type="checkbox"/> Part 31, Floodplain/Water Resources Protection | |

Permission is hereby granted, based on permittee assurance of adherence to State of Michigan requirements and permit conditions, to:

Permitted Activity:

The applicant proposes to place 1055 cubic yards of fill and 1128 cubic yards of cut within the 100-year floodplain of the Rouge River for the purpose of constructing a building addition, parking lot expansion, access drive, ancillary structures, removal of existing structures and relocation of existing baseball field, and removal of a log jam.

Streambank work shall cut a bankfull shelf at elevation 663.0 NAVD 88.

All work shall be in accordance with the attached plans and the specific terms and conditions of this permit.

Water Course Affected: Rouge River

Property Location: 22400 Hillview Lane, Beverly Hills, Oakland County, Section: 9

Subdivision: N/A, **Lot:** N/A, **Town:** T01N, **Range:** R10E, **Property Tax No.:** 24-09-276-015

Authority granted by this permit is subject to the following limitations:

- A. Initiation of any work on the permitted project confirms the permittee's acceptance and agreement to comply with all terms and conditions of this permit.
- B. The permittee, in exercising the authority granted by this permit, shall not cause unlawful pollution as defined by Part 31, Water Resources Protection, of the NREPA.
- C. This permit shall be kept at the site of the work and available for inspection at all times during the duration of the project or until its date of expiration.
- D. All work shall be completed in accordance with the approved plans and specifications submitted with the application and/or plans and specifications attached to this permit.
- E. No attempt shall be made by the permittee to forbid the full and free use by the public of public waters at or adjacent to the structure or work approved.
- F. It is made a requirement of this permit that the permittee give notice to public utilities in accordance with Act 53 of the Public Act of 1974 and comply with each of the requirements of that Act.
- G. This permit does not convey property rights in either real estate or material, nor does it authorize any injury to private property or invasion of public or private rights, nor does it waive the necessity of seeking federal assent, all local permits, or complying with other state statutes.
- H. This permit does not prejudice or limit the right of a riparian owner or other person to institute proceedings in any circuit court of this state when necessary to protect his rights.

- I. Permittee shall notify the MDEQ within one week after the completion of the activity authorized by this permit, by completing and forwarding the attached preaddressed postcard to the office addressed thereon.
- J. This permit shall not be assigned or transferred without the written approval of the MDEQ.
- K. Failure to comply with conditions of this permit may subject the permittee to revocation of permit and criminal and/or civil action as cited by the specific state act, federal act, and/or rule under which this permit is granted.
- L. All dredged or excavated materials shall be disposed of in an upland site (outside of floodplains, unless exempt under Part 31, and wetland).
- M. In issuing this permit, the MDEQ has relied on the information and data that the permittee has provided in connection with the submitted application for permit. If, subsequent to the issuance of a permit, such information and data prove to be false, incomplete, or inaccurate, the MDEQ may modify, revoke, or suspend the permit, in whole or in part, in accordance with the new information.
- N. The permittee shall indemnify and hold harmless the State of Michigan and its departments, agencies, officials, employees, agents, and representatives for any and all claims or causes of action arising from acts or omissions of the permittee, or employees, agents, or representative of the permittee, undertaken in connection with this permit. The permittee's obligation to indemnify the State of Michigan applies only if the State (1) provides the permittee or its designated representative written notice of the claim or cause of action within 30 days after it is received by the State and (2) consents to the permittee's participation in the proceeding on the claim or cause of action. It does not apply to contested case proceedings under the Administrative Procedures Act challenging the permit. This permit shall not be construed as an indemnity by the State of Michigan for the benefit of the permittee or any other person.
- O. Noncompliance with these terms and conditions and/or the initiation of other regulated activities not specifically authorized shall be cause for the modification, suspension, or revocation of this permit, in whole or in part. Further, the MDEQ may initiate criminal and/or civil proceedings as may be deemed necessary to correct project deficiencies, protect natural resource values, and secure compliance with statutes.
- P. If any change or deviation from the permitted activity becomes necessary, the permittee shall request, in writing, a revision of the permitted activity from the MDEQ. Such revision request shall include complete documentation supporting the modification and revised plans detailing the proposed modification. Proposed modifications must be approved, in writing, by the MDEQ prior to being implemented.
- Q. This permit may be transferred to another person upon written approval of the MDEQ. The permittee must submit a written request to the MDEQ to transfer the permit to the new owner. The new owner must also submit a written request to the MDEQ to accept transfer. The new owner must agree, in writing, to accept all conditions of the permit. A single letter signed by both parties which includes all the above information may be provided to the MDEQ. The MDEQ will review the request and if approved, will provide written notification to the new owner.
- R. Prior to initiating permitted construction, the permittee is required to provide a copy of the permit to the contractor(s) for review. The property owner, contractor(s), and any agent involved in exercising the permit are held responsible to ensure that the project is constructed in accordance with all drawings and specifications. The contractor is required to provide a copy of the permit to all subcontractors doing work authorized by the permit.
- S. Construction must be undertaken and completed during the dry period of the wetland. If the area does not dry out, construction shall be done on equipment mats to prevent compaction of the soil.
- T. Authority granted by this permit does not waive permit requirements under Part 91, Soil Erosion and Sedimentation Control, of the NREPA, or the need to acquire applicable permits from the County Enforcing Agent.
- U. Authority granted by this permit does not waive permit requirements under the authority of Part 305, Natural Rivers, of the NREPA. A Natural Rivers Zoning Permit may be required for construction, land alteration, streambank stabilization, or vegetation removal along or near a natural river.
- V. The permittee is cautioned that grade changes resulting in increased runoff onto adjacent property is subject to civil damage litigation.
- W. Unless specifically stated in this permit, construction pads, haul roads, temporary structures, or other structural appurtenances to be placed in a wetland or on bottomland of the waterbody are not authorized and shall not be constructed unless authorized by a separate permit or permit revision granted in accordance with the applicable law.
- X. For projects with potential impacts to fish spawning or migration, no work shall occur within fish spawning or migration timelines (i.e., windows) unless otherwise approved in writing by the MDNR, Fisheries Division.
- Y. Work to be done under authority of this permit is further subject to the following special instructions and specifications:

Authority granted by this permit does not waive permit or program requirements under Part 91, Soil Erosion and Sedimentation Control, of the NREPA, or the need to acquire applicable permits from the County Enforcing Agent (CEA), if applicable. To locate the Soil Erosion Program Administrator for your county visit www.mi.gov/soilerosion and look for Soil Erosion and Sedimentation Control Agencies under "SESC Info".

A storm water discharge permit may be required under the Federal Clean Water Act for construction activities that disturb one or more acres of land and discharge to surface waters. For sites over five (5) acres, the permit coverage may be obtained by a Part 91, Soil Erosion and Sedimentation Control

(SESC) permit, or coverage as an Authorized Public Agency (APA), and filing a "Notice of Coverage" form to the MDEQ's Water Resource Division. For sites with disturbance from one acre up to five acres, storm water coverage is automatic once the SESC permit is obtained or if work is being conducted by an APA. These one to five acre sites are not required to apply for coverage, but are required to comply with storm water discharge permit requirements. Information on the storm water discharge permit is available from the Water Resource Division's Storm Water Permit Program at www.michigan.gov/soilerosion under the "Construction Storm Water Info".

All raw areas in uplands resulting from the permitted construction activity shall be effectively stabilized with sod and/or seed and mulch (or other technology specified by this permit or project plans) in a sufficient quantity and manner to prevent erosion and any potential siltation to surface waters or wetlands. Temporary stabilization measures shall be installed before or upon commencement of the permitted activity, and shall be maintained until permanent measures are in place. Permanent measures shall be in place within five (5) days of achieving final grade.

If the project, or any portion of the project, is stopped and lies incomplete for any length of time other than that encountered in a normal work week, every precaution shall be taken to protect the incomplete work from erosion, including the placement of temporary gravel bag riprap, temporary seed and mulch, or other acceptable temporary protection.

No work shall be done in the stream during periods of above-normal flows except as necessary to prevent erosion.

All other exposed slopes, ditches, and other raw areas draining directly to the stream may be protected with riprap, sod and/or seed and mulch as may be necessary to provide effective erosion protection. The placement of riprap shall be limited to the minimum necessary to ensure proper stabilization of the side slopes and fill in the immediate vicinity of the structure.

Prior to the start of construction, all adjacent non-work wetland areas shall be protected by properly trenched sedimentation barrier to prevent sediment from entering the wetland. Orange construction fencing shall be installed as needed to prohibit construction personnel and equipment from entering or performing work in these areas. Fence shall be maintained daily throughout the construction process. Upon project completion, the accumulated materials shall be removed and disposed of at an upland site, the sedimentation barrier shall then be removed in its entirety and the area restored to its original configuration and cover.

This permit is limited to authorizing the construction as specified above and carries with it no assurances or implications that associated lake, stream, wetland or floodplain areas can be developed and serviced by the structures authorized by this permit.


The authority to conduct the activity as authorized by this permit is granted solely under the provisions of the governing act as identified above. This permit does not convey, provide, or otherwise imply approval of any other governing act, ordinance, or regulation, nor does it waive the permittee's obligation to acquire any local, county, state or federal approval or authorization, necessary to conduct the activity.

This permit placard shall be kept posted at the work site, in a prominent location at all times for the duration of the project, or until permit expiration.

This permit is being issued for the maximum time allowed and no extensions of this permit will be granted. Initiation of the construction work authorized by this permit indicates the permittee's acceptance of this condition. The permit, when signed by the MDEQ, will be for a five-year period

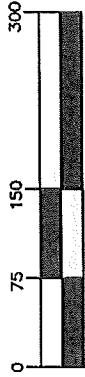
beginning at the date of issuance. If the project is not completed by the expiration date, a new permit must be sought.

This permit is being issued for the maximum time allowed and no extensions of this permit will be granted. Initiation of the construction work authorized by this permit indicates the permittee's acceptance of this condition. The permit, when signed by the MDEQ, will be for a five-year period beginning at the date of issuance. If the project is not completed by the expiration date, a new permit must be sought.

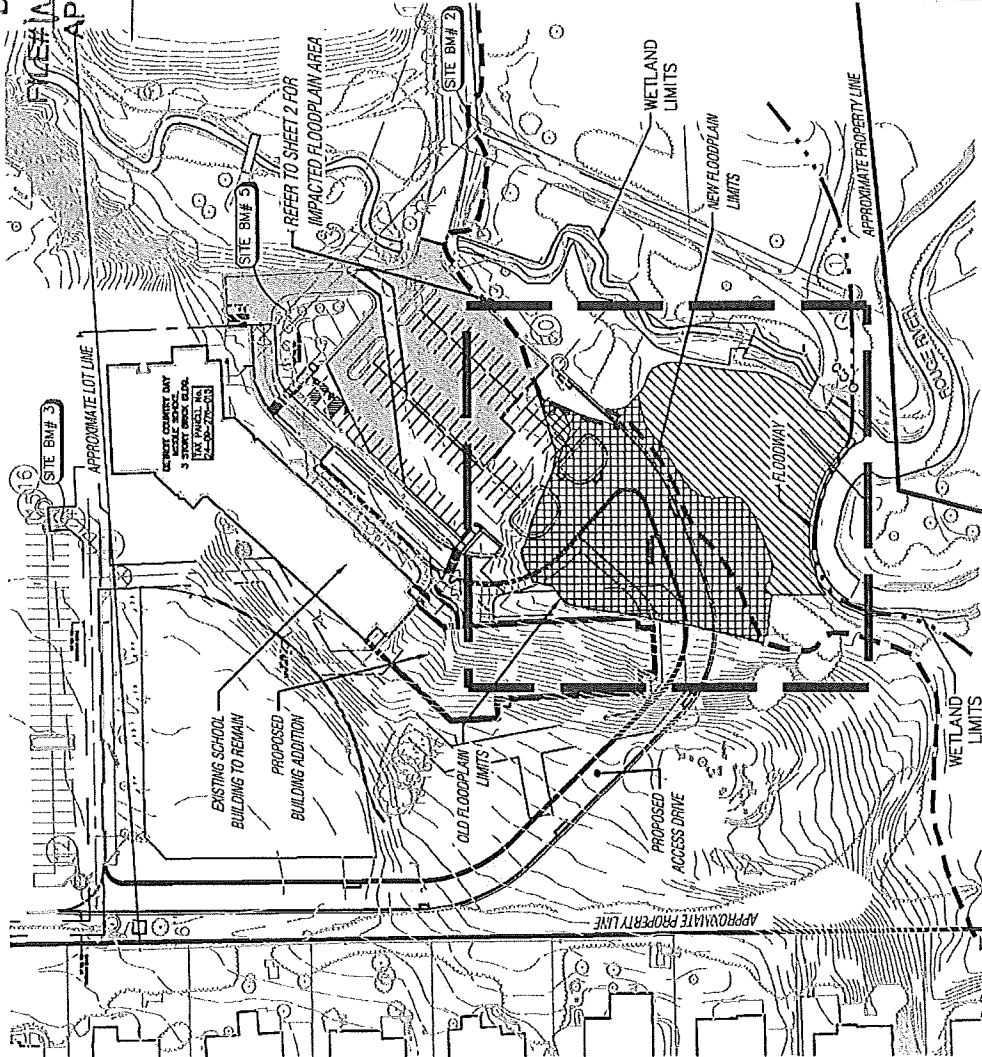
By: 
Pat Durack
Water Resources Division
586-256-7273

cc: Beverly Hills Building Department
Tom Sovel, Spalding DeDeker
Jeff King, King and McGregor

GRAPHIC SCALE



DEQ-WRD-WRU
FILE# IN/RP 604101
APPROVED PLANS
OF 6
SEMI DIST.



NOTE:

DATUM: HPCN
100-YEAR FLOODPLAIN ELEVATION: 667.0
PROP. BUILDING FINISHED FLOOR: 679.50
WATER ELEVATION: 660.0
SITE IS 5' ABOVE OBSERVED WATER
LEVEL (OBSERVED 02-15-16).

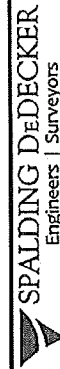
BENCHMARK DESCRIPTIONS

- SITE BM#2** SCRIBED "4" ON A SANITARY RIM (STRUCTURE No. 2),
LOCATED ±50' EAST OF A UTILITY POLE AND AT THE WEST
SIDE OF A DRIVE APPROACH TO THE SOUTH. ELEV.=668.22
- SITE BM#3** ARROW ON A HYDRANT, LOCATED ON THE SOUTH SIDE OF
A PARKING ISLAND, LOCATED ±58' NORTHWEST OF THE NORTHWEST
BUILDING CORNER OF THE MIDDLE SCHOOL. ELEV.=708.02
- SITE BM#4** SCRIBED "4" ON THE NORTH SIDE OF A SANITARY RIM,
LOCATED ±968' NORTH OF THE SITE AND WEST OF LAHSER ROAD.
ELEV.=705.41
- SITE BM#5** ARROW ON A HYDRANT, LOCATED ±42' NORTHEAST OF A
FLAG POLE AND ±75' SOUTHEAST OF THE EASTERN BUILDING
CORNER OF THE MIDDLE SCHOOL. ELEV.=676.67

**DETROIT COUNTRY DAY - MIDDLE SCHOOL
LEGAL DESCRIPTION
PER OAKLAND COUNTY EQUALIZATION**

PARCEL ID: 24-09-276-015

PART OF SE 1/4 OF NE 1/4 OF SECTION 9, TOWN 1 NORTH, RANGE 10 EAST,
BEVERLY HILLS, OAKLAND COUNTY, MICHIGAN; SAID LAND BEING MORE PARTICULARLY
DESCRIBED AS:
BEGINNING AT A POINT DISTANT N 00-13-45 E 994.66 FEET FROM E 1/4 CORNER OF
SAID SECTION 9, THENCE N 00-13-45 E 340 FEET, THENCE S 89-04-45 W 1196.53
FEET, THENCE S 01-52-15 W 912.44 FEET, THENCE S 89-49-45 E 306 FEET, THENCE
N 17-02-00 E 253.13 FEET, THENCE DUE EAST 148 FEET, THENCE N 25-37-30 E
390 FEET, THENCE S 89-49-45 E 528 FEET TO THE POINT OF BEGINNING,
CONTAINING 15.79 ACRES --- 8-17-88 FROM 001, 002, 003, 008 & 009



SPALDING DECKER

Engineers | Surveyors

905 South Blvd. East
Rochester Hills, MI 48307
Phone: (248) 844-5400
Fax: (248) 844-5404
www.sda-eng.com

DRAWN
J.SERBINSKI

CHECKED
T.SOVEL

DATE
05-01-16

DATE
05-01-16

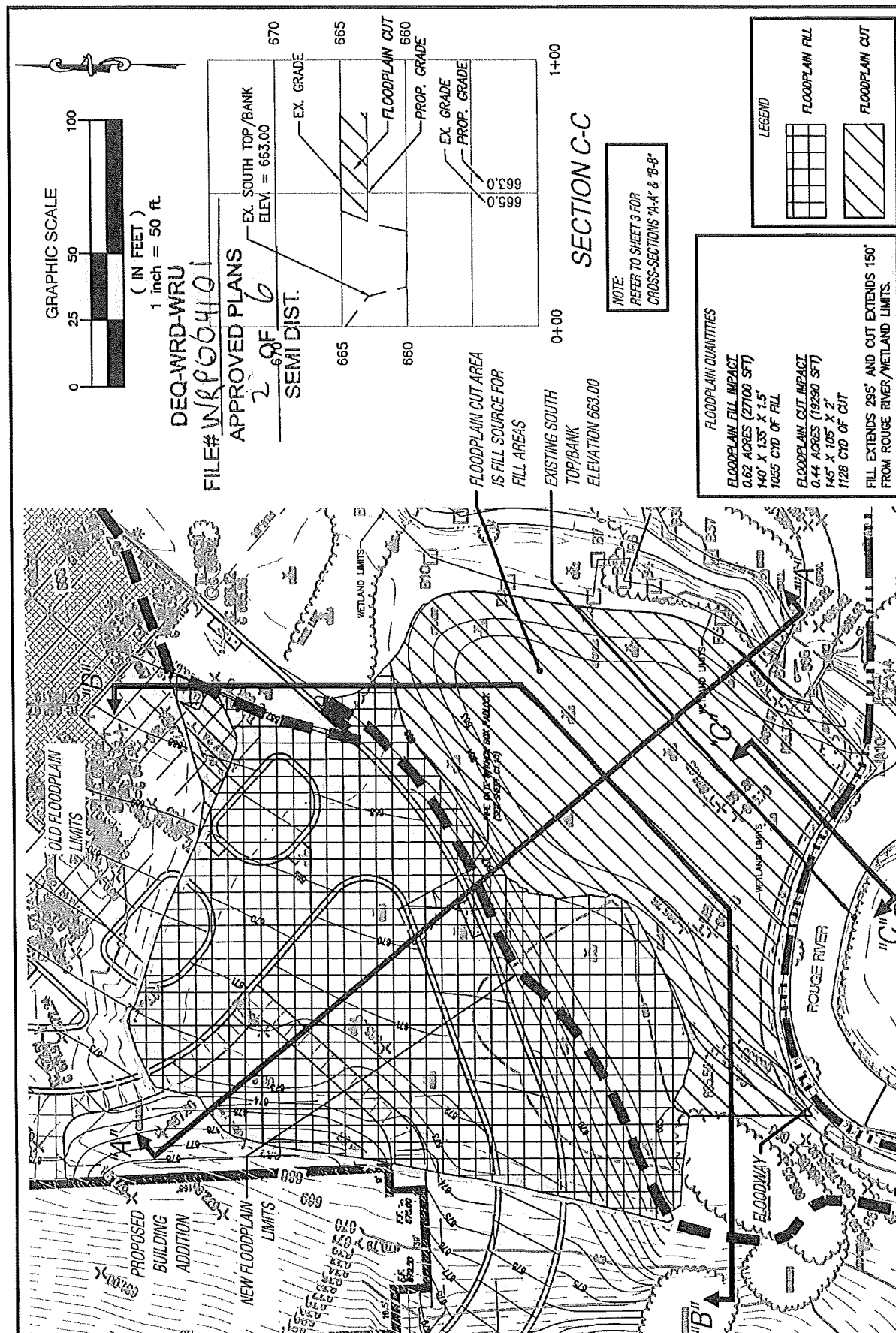
OVERALL SITE PLAN
MIDDLE SCHOOL ADDITION
DETROIT COUNTRY DAY SCHOOL
BEVERLY HILLS, MI

JOB NO.
NP16023

DRAWING NO.
NP16023FLP

SCALE:
1" = 150'

SHEET
2 OF 5



GRAPHIC SCALE



(IN FEET)
1 inch = 50 ft.

DEQ-WRD-WRU

FILE# W9006401

APPROVED PLANS

2 OF 6

SEMI DIST.

670	EX. SOUTH TOP/BANK ELEV. = 663.00
665	EX. GRADE
660	FLOODPLAIN CUT
660	PROP. GRADE
665	EX. GRADE
665	PROP. GRADE
0+00	0' 2.99
1+00	0' 2.99

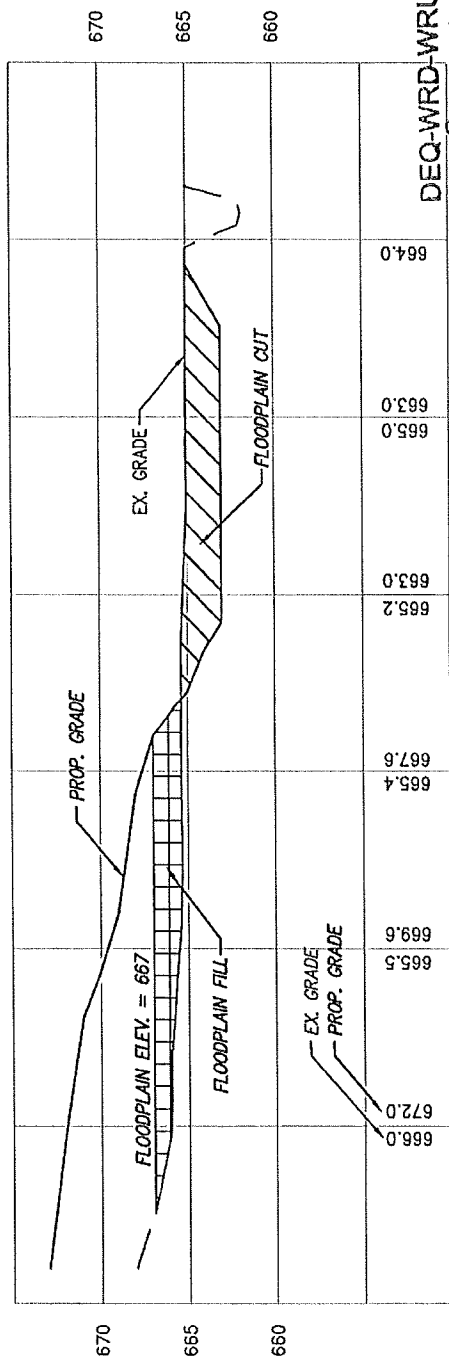
SECTION C-C

NOTE:
REFER TO SHEET 3 FOR
CROSS-SECTIONS "A-A" & "B-B"

FLOODPLAIN QUANTITIES
FLOODPLAIN FILL IMPACT 0.62 ACRES (27100 SFT) 140' X 135' X 15'
1055 CTD OF FILL
FLOODPLAIN CUT IMPACT 0.44 ACRES (19280 SFT) 145' X 105' X 2'
1128 CTD OF CUT
FILL EXTENDS 295' AND CUT EXTENDS 150' FROM ROUGE RIVER/WETLAND LIMITS.

LEGEND
FLOODPLAIN FILL
FLOODPLAIN CUT

DRAWN J.SERBINSKI	DATE 05-01-16	SPALDING DEDECKER Engineers Surveyors 905 South Blvd. East Rochester Hills, MI 48307 Phone: (248) 844-5400 Fax: (248) 844-5404 www.sda-eng.com	FLOODPLAIN IMPACT PLAN MIDDLE SCHOOL ADDITION DETROIT COUNTRY DAY SCHOOL BEVERLY HILLS, MI	
			JOB NO. NP16023	DRAWING NO. NP16023FLP
CHECKED T.SOVEL	DATE 05-01-16		SCALE: 1" = 50'	SHEET 3 OF 5



DEQ-WRD-WRU

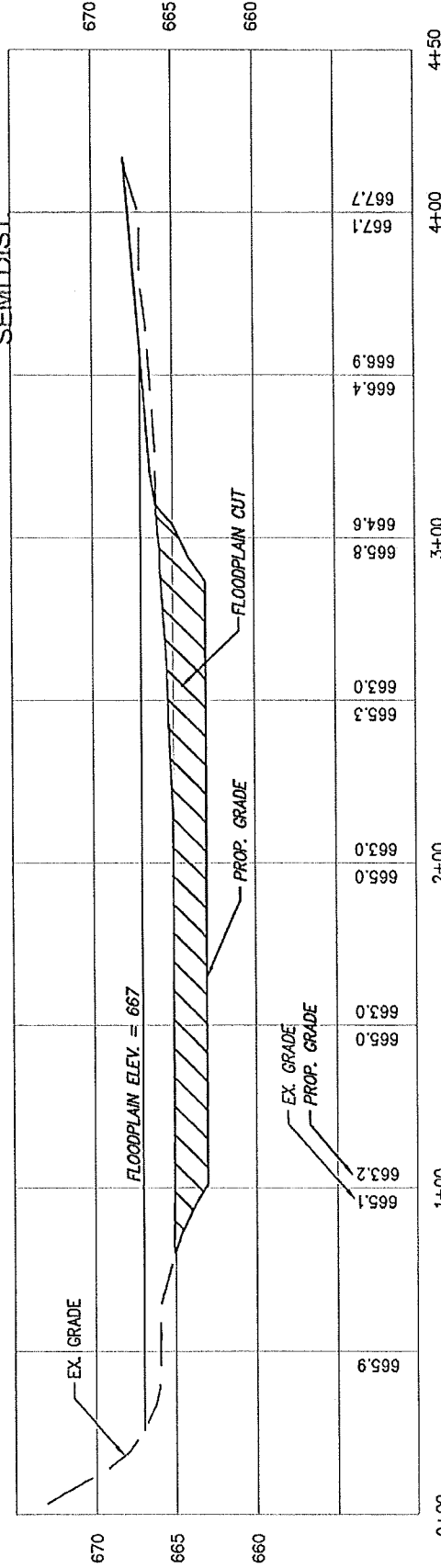
FILE# WRPO30401

APPROVED PLANS

3 OF 6

SEMDIST

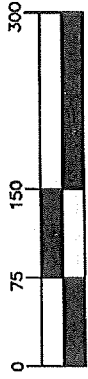
SECTION A-A



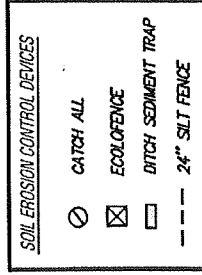
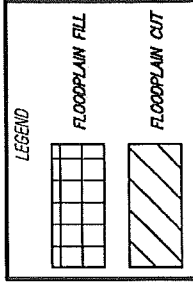
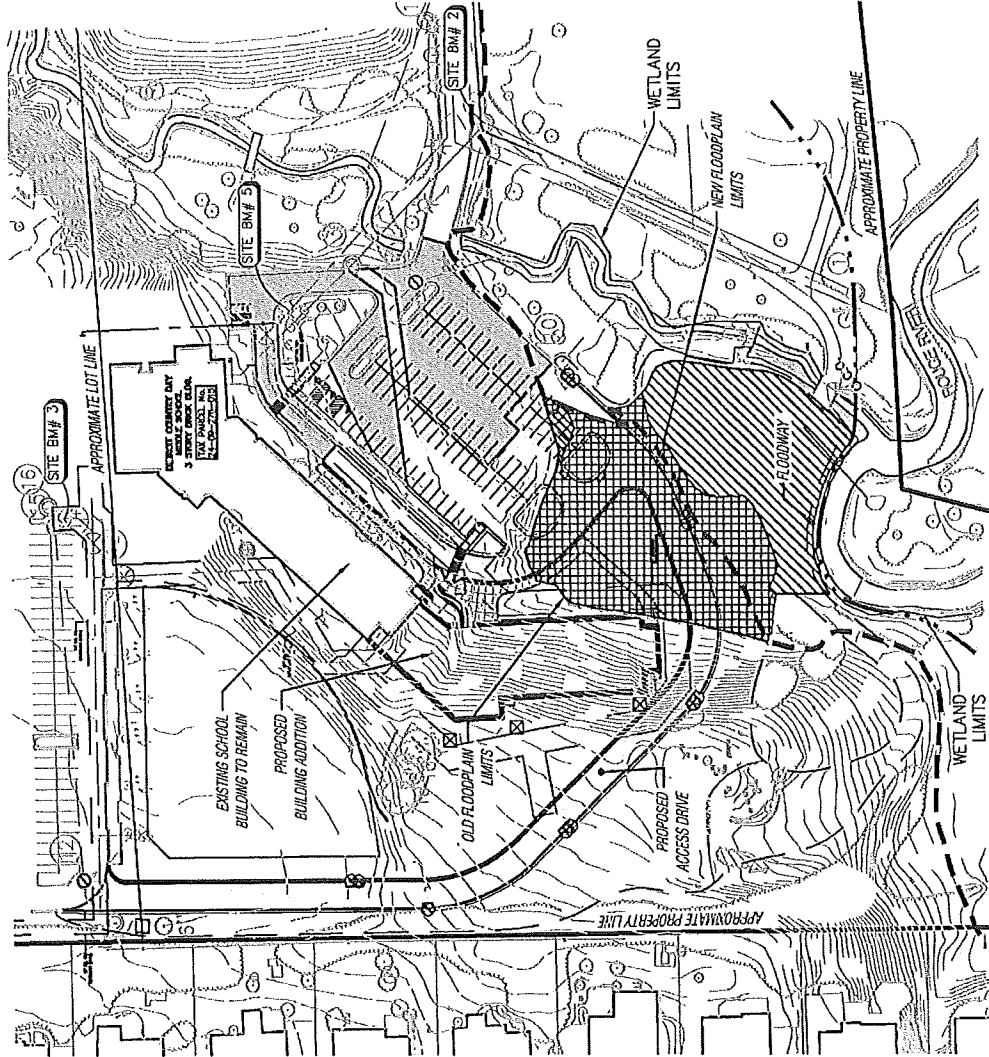
SECTION B-B

DRAWN J.SERBINSKI	DATE 05-01-16	SPALDING DEDECKER Engineers Surveyors 905 South Blvd. East Rochester Hills, MI 48307 Phone: (248) 844-5400 Fax: (248) 844-5404 www.sda-eng.com		FLOODPLAIN CROSS SECTIONS MIDDLE SCHOOL ADDITION DETROIT COUNTRY DAY SCHOOL BEVERLY HILLS, MI		JOB NO. NP16023	DRAWING NO. NP16023FLP
		CHECKED T.SOVEL	DATE 05-01-16	SCALE: HORIZ: 1"=50' VERT: 1"=10'	SHEET 4 OF 5		

GRAPHIC SCALE



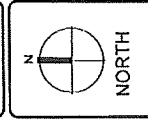
DEQ-WRD-WRU
FILE# WRP004101
APPROVED PLANS
4 OF 6
SEMI DIST.



NOTE:
THIS PROJECT SHALL BE CONSTRUCTED
IN COMPLIANCE WITH PART 91 OF ACT
451 OF 1994, AS AMENDED. THE SOIL
EROSION AND SEDIMENT CONTROL ACT.

SOIL TYPE ON SITE
GROSS ACREAGE DISTURBED DURING
SITE DEVELOPMENT: \pm 4.4 AC
32B - BLOUNT LOAM, 0 TO 4 PERCENT SLOPES
43 - SLOAN-MARLETTE ASSOCIATION

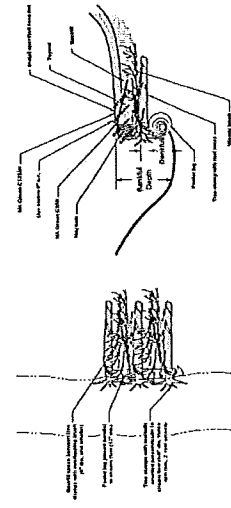
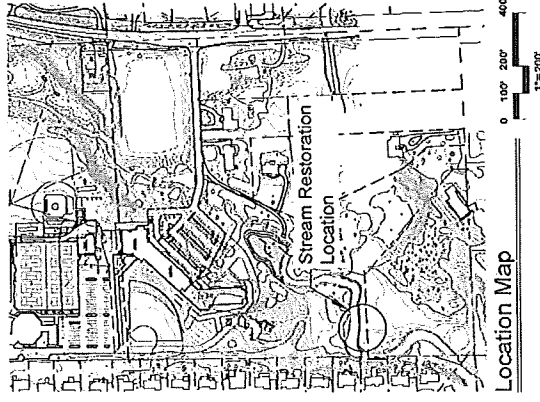
DRAWN J. SERBINSKI	DATE 05-01-16	SPALDING DEDECKER Engineers Surveyors 905 South Blvd. East Rochester Hills, MI 48307 Phone: (248) 844-5400 Fax: (248) 844-5404 www.sda-eng.com		SOIL EROSION AND SEDIMENTATION CONTROL MIDDLE SCHOOL ADDITION DETROIT COUNTRY DAY SCHOOL BEVERLY HILLS, MI		JOB NO. NP16023	DRAWING NO. NP16023FLP
		CHECKED T. SOVEL	DATE 05-01-16	SCALE: 1" = 150'	SHEET 5 OF 5		



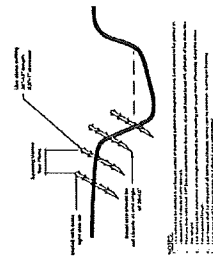
Stream Restoration Plan For:
Detroit Country Day
Village of Beverly Hills, Oakland County, Michigan
MOEA File No. XX-XX-XXXX-P

DATE	REVISION	BY	CHKD
07/27/01	1	WJL	WJL
08/01/01	2	WJL	WJL
08/01/01	3	WJL	WJL
08/01/01	4	WJL	WJL
08/01/01	5	WJL	WJL
08/01/01	6	WJL	WJL
08/01/01	7	WJL	WJL
08/01/01	8	WJL	WJL
08/01/01	9	WJL	WJL
08/01/01	10	WJL	WJL

PROJECT NUMBER 16031
SHEET NAME Stream Restoration Grading Plan
SHEET NUMBER 1

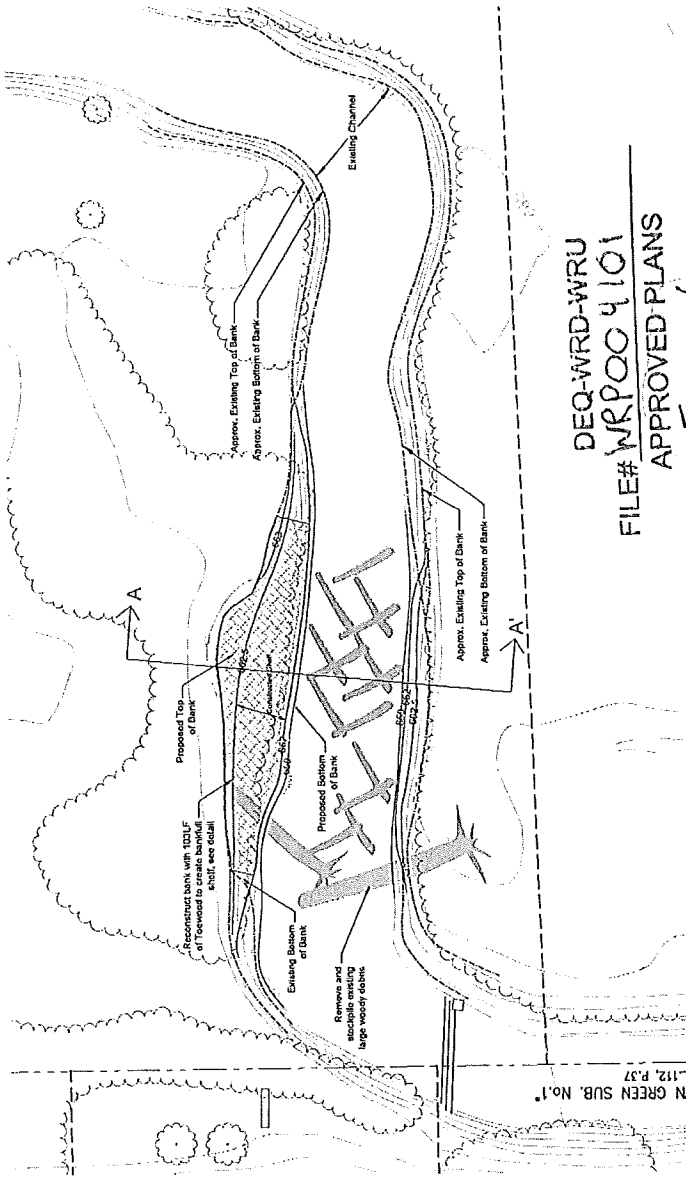


1 Toe Wood Installation



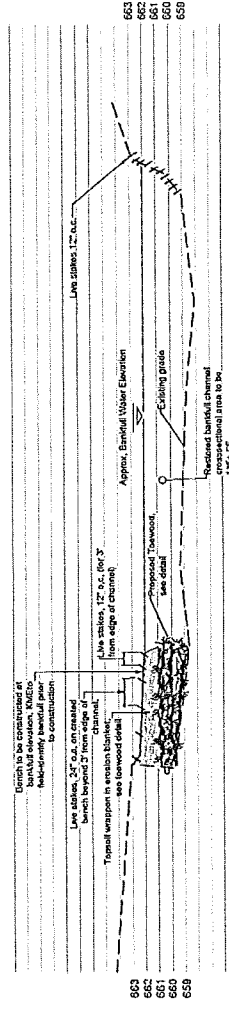
2 Live Stake Planting

Preliminary
Not for
Construction

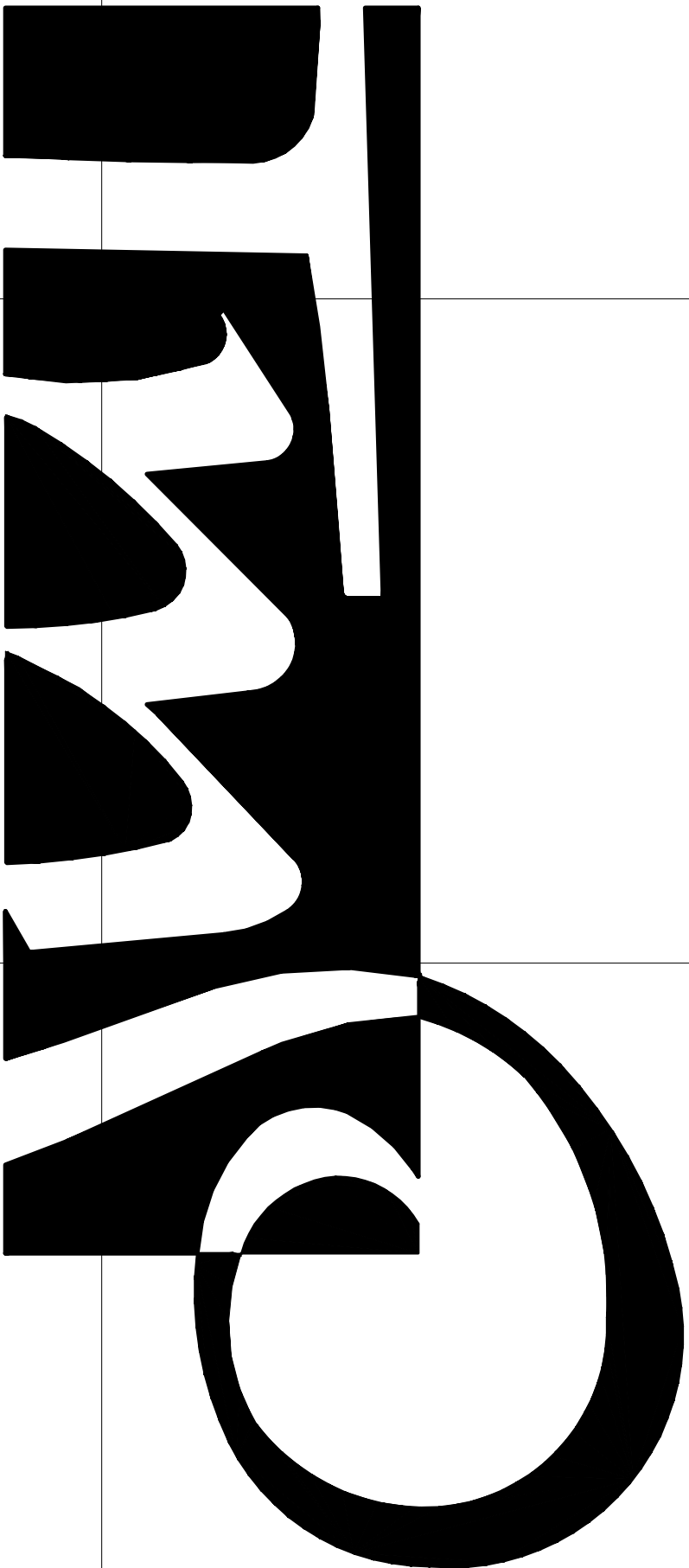


Grading Plan

DEQ-WRD-WRU
FILE# WRPOC 4101
APPROVED PLANS
5 OF 6
SEMI DIST.




Section A-A'




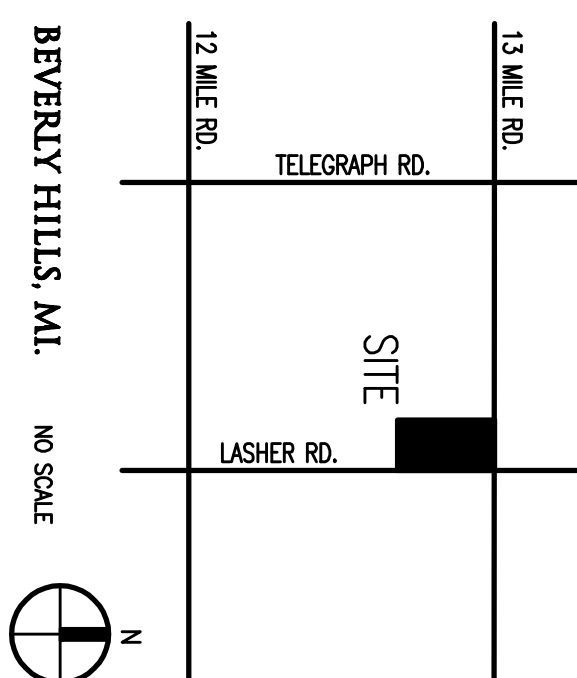
ARCHITECTURE
TMF ARCHITECTURE INC
1191 WEST SQUARE LAKE ROAD · BLOOMFIELD HILLS · MICHIGAN · 48302
PH · 248.338.4561 FX · 248.338.0223 EM · INFO @ TMF-ARCHITECTURE.COM

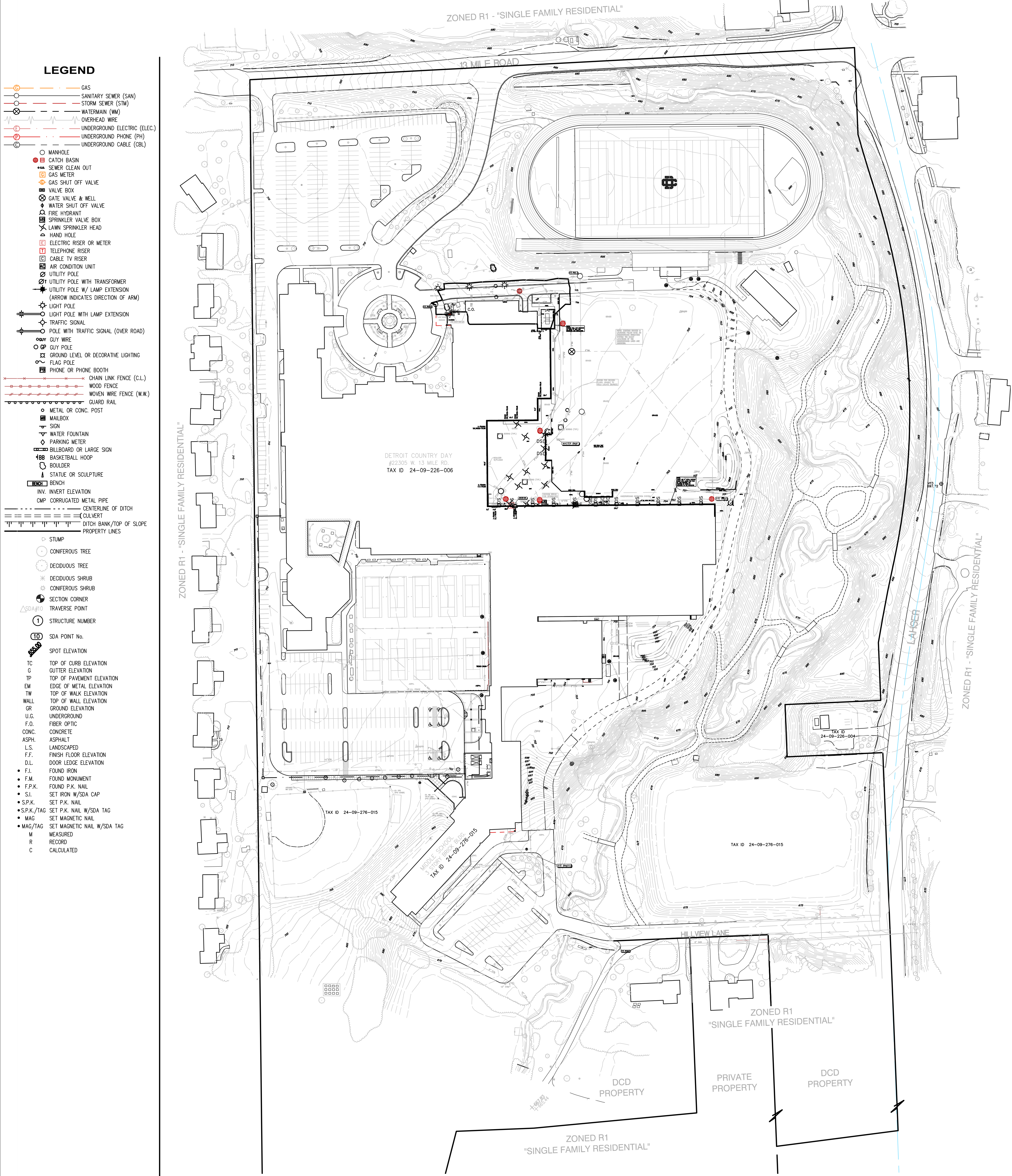
LANDSCAPE
ARCHITECTURE
MICHAEL J. DUL
& ASSOCIATES, INC.



DETROIT COUNTRY DAY SCHOOL
MIDDLE SCHOOL ADDITION

BEVERLY HILLS, MICHIGAN 48025
PROJECT NUMBER 16028
SITE PLAN REVIEW (REVISED 08/12/16)

CONSULTANTS:			
CIVIL ENGINEER SPALDING DEDERCKER ASSOCIATES, INC. CIVIL ENGINEERS 565 SOUTH BURLINGAME AVE BLOOMFIELD HILLS, MI 48307 PHONE: (248) 244-5400 FAX: (248) 244-5044			
LANDSCAPE ARCHITECT MICHAEL J. DUL & ASSOCIATES, INC. LANDSCAPE ARCHITECTURE 212 DUNES STREET BIRMINGHAM 35203 PHONE: (205) 944-3410 FAX: (205) 944-8819			
ELECTRICAL ENGINEER ELECTRICAL POWER & DESIGN, INC. ELECTRICAL ENGINEERS 18940 WOODCROFT BIRMINGHAM, AL 35240 PHONE: (205) 337-8800 FAX: (205) 337-8800			
		LIST OF DRAWINGS GENERAL INFORMATION TS.1 TITLE SHEET CIVIL C1.1 OVERALL TOPOGRAPHICAL SURVEY C1.2 BOUNDARY SURVEY C1.3 GENERAL PLAN C1.4 DEDICATION PLAN C1.5 SURVEY NOTES C1.6 UTILITY PLAN C1.7 UTILITY NOTES AND DETAILS AND SANITARY SEWER PROFILE C1.8 STORM SEWER PROFILES C1.9 STORMWATER MANAGEMENT PLAN AND CALCULATIONS C1.9A STORMWATER MANAGEMENT DETAILS C1.10 FLOOD AND DRAINAGE PLAN C1.10A ROAD IMPROVEMENTS ATTILVEN LANE C1.11 PAVING DETAILS C1.12 GRADING PLAN C1.13 SOIL EROSION AND SEDIMENTATION CONTROL PLAN R1 STREAM RESTORATION GRADING PLAN R2 STREAM RESTORATION PLANNING PLAN LANDSCAPE L1 OVERALL SITE PLAN L2 PLANT LIST AND DETAILS	
LICENSEE'S STATEMENT: This Document has been prepared under the supervision of the Architect, as the person in Responsible Charge with the firm of TMAP ARCHITECTURE, INC.. An original embossed or rubber stamp seal and original signature of the Architect is required and shall be affixed to any copy of this Document submitted to a governmental agency for approval or record. This is in conformance with the State of Michigan's PA 299, Article 20 and the General Rules of the Board of Architects. The Architect's seal provided herein does not take responsibility for certain portions of the Documentation or project requiring the services of a licensed Professional Engineer or other design professional. An original embossed or rubber stamp seal and original signature of the Professional Engineer is required and shall be affixed to any copy of this or other Document submitted to a governmental agency for approval or record. The engineering firms associated with this document are listed above as Consultants.		REGISTRATION SEALS 	
		ARCHITECTURAL AS.1 OVERALL CAMPUS SITE PLAN A1.1 FIRST LEVEL FLOOR PLAN A1.2 SECOND LEVEL FLOOR PLAN A1.3 THIRD LEVEL FLOOR PLAN A3.1 EXTERIOR ELEVATIONS - EAST, SOUTHEAST, SOUTH A3.2 EXTERIOR ELEVATIONS - WEST, NORTHWEST, LARGE EAST A3.3 BUILDING SECTIONS	
		ELECTRICAL E402 ELECTRICAL PARKING LOT PHOTO-METRIC	
COPYRIGHT © The "architectural work" displayed on these documents is owned exclusively by TMAP Architecture, Inc. and may not be used for any purpose without their involvement or express written consent.		<div>PROJECT DATA: LOCATION MAP  BEVERLY HILLS, MI. NO SCALE ADDRESS: DETROIT COUNTRY DAY SCHOOL 22305 WEST THIRTEEN MILE ROAD BEVERLY HILLS, MI 48025</div>	
PROJECT TITLE Detroit Country Day Middle Sch. Addition PROJECT NO. 16028 DRAWING NO. TS.1		<div>BUILDING: BUILDING AREA(S) = 48,465 SQ. FT. (ADDITION) 65,472 SQ. FT. (EXISTING) 113,937 SQ. FT. (TOTAL)</div> <div>CODE: GOVERNING CODES : - 2016 SCHOOL FIRE SAFETY RULES - 2016 INTERNATIONAL BUILDING CODE (International) - 2012 MICHIGAN PLUMBING CODE - 2012 MICHIGAN MECHANICAL CODE - 2009 MICHIGAN ELECTRICAL CODE - 2009 MICHIGAN MECHANICAL CODE (ANSI/ASHRAE/IESNA Standard 90.1-2007) - 2014 MICHIGAN ELECTRICAL RULES (2014 NEC, plus Part 8 Rules) (NESC A17.1-2010, IEEE A18.1-2011) - MICHIGAN BARBER FRET CODE - 2016 MICHIGAN FIRE ALARM & 12C A11.1-2009 - 2013 MICHIGAN ELECTRICAL CODE (NESC Boiler and Pressure Vessel Code, 2010 edition, plus 2011a addenda) (National Board Inspection Code [NBIC], 2011 edition)</div> <div>CONSTRUCTION CLASSIFICATION : USE GROUP CLASSIFICATION :</div> <div>DATE ISSUED FOR: _____ DATE SITE PLAN REVIEW: _____ DATE SITE PLAN REVIEW: _____</div>	



BENCHMARK DESCRIPTIONS

SITE BM#2	SCRIBED "+" ON A SANITARY RM (STRUCTURE No. 2), LOCATED ±50' EAST OF A UTILITY POLE AND AT THE WEST SIDE OF A DRIVE APPROACH TO THE SOUTH.	ELEV.=668.22
SITE BM#3	ARROW ON A HYDRANT, LOCATED ON THE SOUTH SIDE OF A PARKING ISLAND, LOCATED ±58' NORTHWEST OF THE NORTHWEST BUILDING CORNER OF THE MIDDLE SCHOOL.	ELEV.=708.02
SITE BM#4	SCRIBED "+" ON THE NORTH SIDE OF A SANITARY RM, LOCATED ±968' NORTH OF THE SITE AND WEST OF LAHSER ROAD.	ELEV.=705.41
SITE BM#5	ARROW ON A HYDRANT, LOCATED ±42' NORTHEAST OF A FLAG POLE AND ±75' SOUTHEAST OF THE EASTERN BUILDING CORNER OF THE MIDDLE SCHOOL.	ELEV.=676.67

FLOOD PLAIN NOTE

PER THE FLOOD INSURANCE RATE MAP (F.I.R.M.) FOR THE VILLAGE OF BEVERLY HILLS, OAKLAND COUNTY, MICHIGAN, MAP NUMBER 2812500519F, PANEL 519 OF 704, DATED SEPTEMBER 29, 2006, PORTIONS OF THE SITE ARE IN A DESIGNATED FLOOD ZONE.

WETLAND NOTE:

THIS PROJECT DOES NOT IMPACT ANY WETLANDS.

UTILITY PROVIDERS

DTE ENERGY (EDISON) :	JASMINE EARLY (313) 235-5632
CONSUMERS ENERGY :	consumersenergy.com
AT&T :	STEVE WYKO (248) 972-0009
COMCAST CABLE :	RICK NELSON (248) 359-6506
WATER/SEWER/STORM (BEVERLY HILLS WATER & SEWER)	TOM MESZLER (248) 646-6404

DETROIT COUNTRY DAY - MIDDLE SCHOOL LEGAL DESCRIPTION PER OAKLAND COUNTY EQUALIZATION

PARCEL ID: 24-09-276-015

PART OF SE 1/4 OF NE 1/4 OF SECTION 9, TOWN 1 NORTH, RANGE10 EAST, BEVERLY HILLS, OAKLAND COUNTY, MICHIGAN; SAID LAND BEING MORE PARTICULARLY DESCRIBED AS:
BEGINNING AT A POINT DISTANT N 00-13-45 E 994.66 FEET FROM E 1/4 CORNER OF SAID SECTION 9, THENCE N 00-13-45 E 340 FEET, THENCE S 89-04-45 W 1196.53 FEET, THENCE S 01-52-15 W 912.44 FEET, THENCE S 89-49-45 E 306 FEET, THENCE N 17-02-00 E 253.13 FEET, THENCE DUE EAST 148 FEET, THENCE N 25-37-30 E 390 FEET, THENCE S 89-49-45 E 528 FEET TO THE POINT OF BEGINNING. CONTAINING 15.79 ACRES -- 8-17-88 FROM 001, 002, 003, 008 & 009

NOTE:
THE PROPERTY LINES SHOWN ARE BASED UPON A COMBINATION OF RECORD DESCRIPTION, FOUND MONUMENTATION AND OCCUPATION. PROPERTY CORNERS HAVE NOT BEEN SET IN THE FIELD.

UTILITY NOTES

- UTILITIES SHOWN ARE BASED UPON A COMBINATION OF SDA FIELD MEASUREMENTS AND RECORD UTILITY COMPANY INFORMATION.
- THE LOCATIONS AND ROUTES OF THE UNDERGROUND ELECTRIC LINES TO THE LIGHT POLES COULD NOT BE DETERMINED FROM INFORMATION PROVIDED BY DTE ENERGY OR FIELD SURVEY.

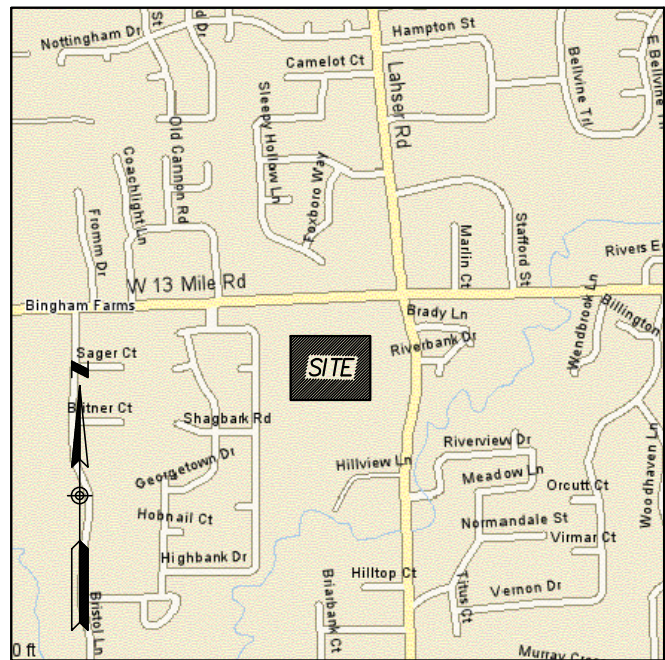
CIVIL SHEET INDEX

*C1.1	- TOPOGRAPHICAL SURVEY
*C1.2	- BOUNDARY SURVEY
*C1.3	- GENERAL PLAN
*C1.4	- DEMOLITION PLAN
*C1.5	- SURVEY NOTES
*C1.6	- UTILITY PLAN
*C1.7	- UTILITY NOTES AND DETAILS AND SANITARY SEWER PROFILE
*C1.8	- STORM SEWER PROFILES
*C1.9	- STORMWATER MANAGEMENT PLAN AND CALCULATION
*C1.9A	- STORMWATER MANAGEMENT DETAILS
*C1.10	- PAVING AND LAYOUT PLAN
C1.10A	- ROAD IMPROVEMENTS - HILLVIEW LANE
*C1.11	- PAVING NOTES AND DETAILS
*C1.12	- GRADING PLAN
*C1.13	- SOIL EROSION AND SEDIMENTATION CONTROL PLAN
*R.1	- STREAM RESTORATION GRADING PLAN
*R.2	- STREAM RESTORATION PLANTING PLAN
C1.14	- OCWRC - STORM DRAIN NOTES & DETAILS (1 OF 1)
C1.15	- OCWRC - WATER MAIN STANDARD DETAILS (1 OF 3)
C1.16	- OCWRC - WATER MAIN STANDARD DETAILS (2 OF 3)
C1.17	- OCWRC - WATER MAIN STANDARD DETAILS (3 OF 3)
C1.18	- OCWRC - SANITARY SEWER DETAILS AND NOTES (1 OF 2)
C1.19	- OCWRC - SANITARY SEWER DETAILS AND NOTES (2 OF 2)
C1.20	- OCWRC - SOIL EROSION AND SEDIMENTATION CONTROL DETAILS

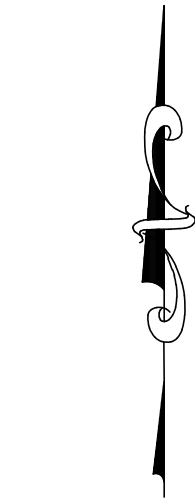
* INCLUDED WITH SITE PLAN SUBMITTAL

OWNER:
DETROIT COUNTRY DAY SCHOOL
22305 W 13 MILE ROAD,
BEVERLY HILLS MI, 48025
PHONE: (248) 646 7717

NOTE
REFER TO SHEET C1.2 FOR LEGAL DESCRIPTION
AND BOUNDARY DIMENSIONS.



LOCATION MAP
NOT TO SCALE

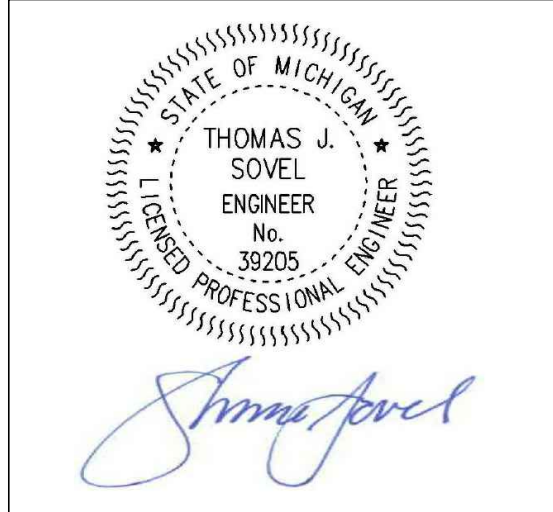


GRAPHIC SCALE
0 50 100 200
(IN FEET)
1 inch = 100 ft.



TMP ARCHITECTURE INC
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Fax: (248) 844-5404

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(800) 598-1600

PROJECT TITLE

Middle School Addition

Detroit Country Day School

DRAWING TITLE

Overall Topographical Survey

ISSUE DATES

DATE:	ISSUED FOR:
08-12-16	SITE PLAN REVIEW #2
06-22-16	OWNER REVIEW
04-01-16	SITE PLAN REVIEW
03-25-16	ARCH/CM REVIEW
DRAWN	PJK
CHECKED	TJS
APPROVED	TJS

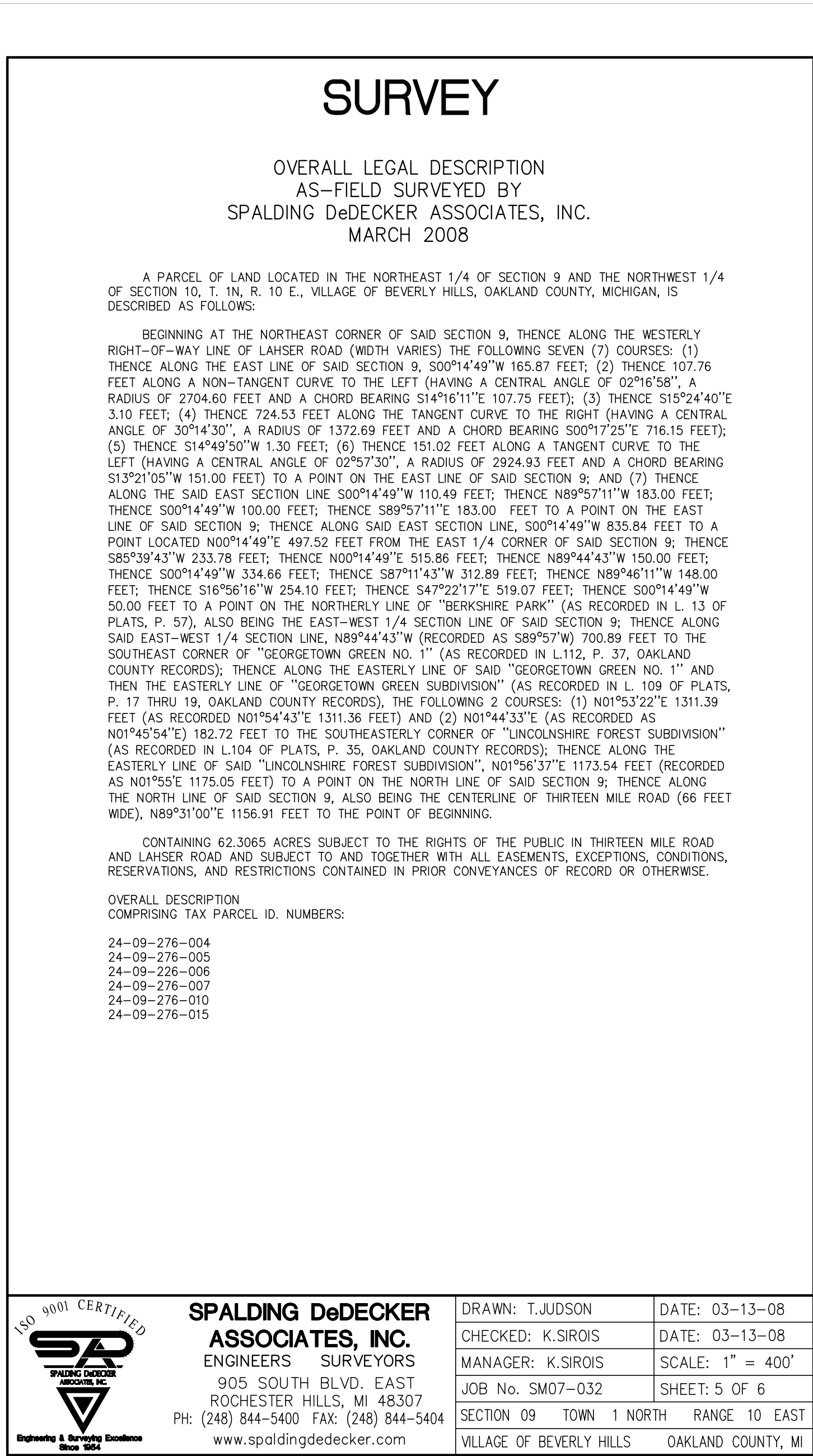
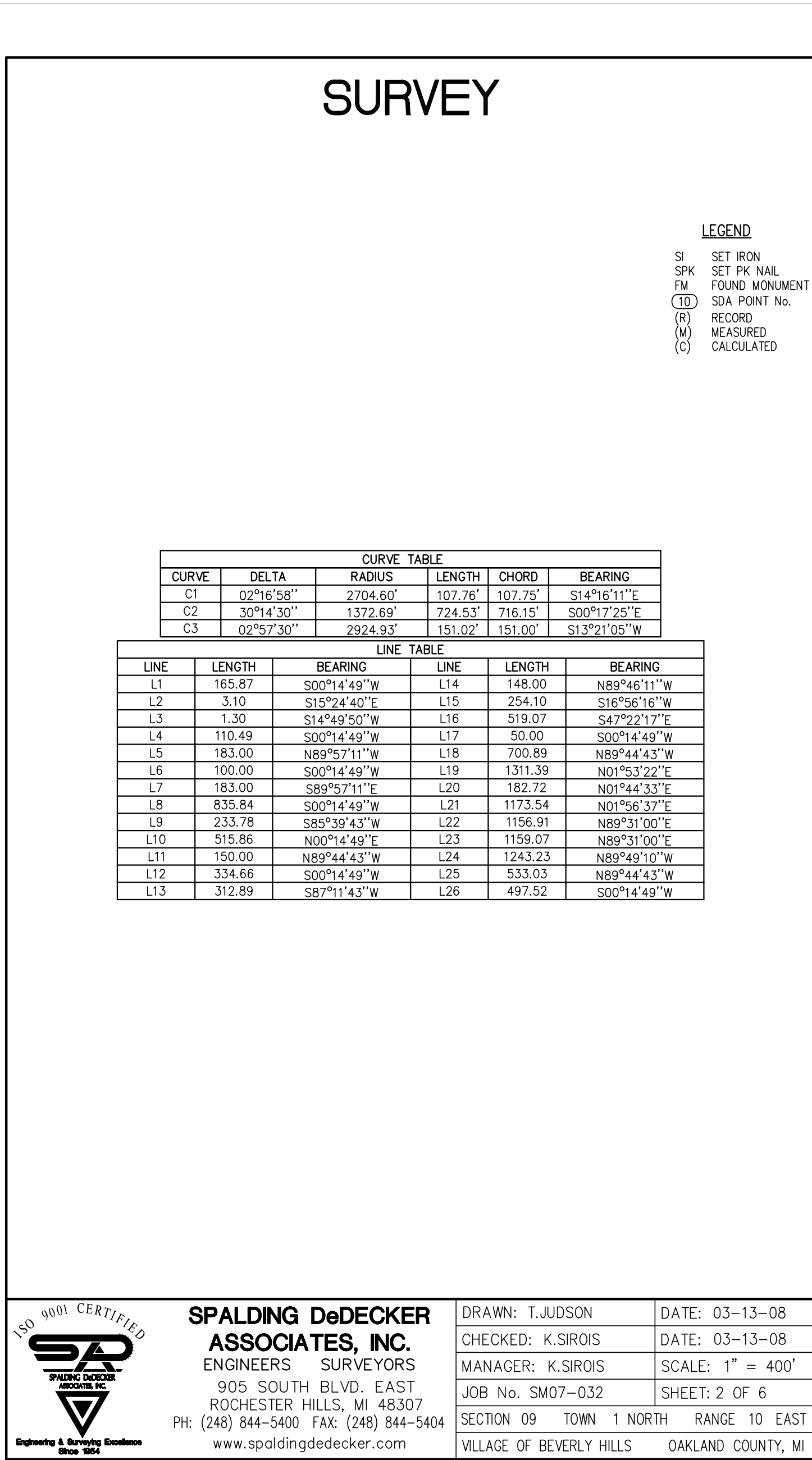
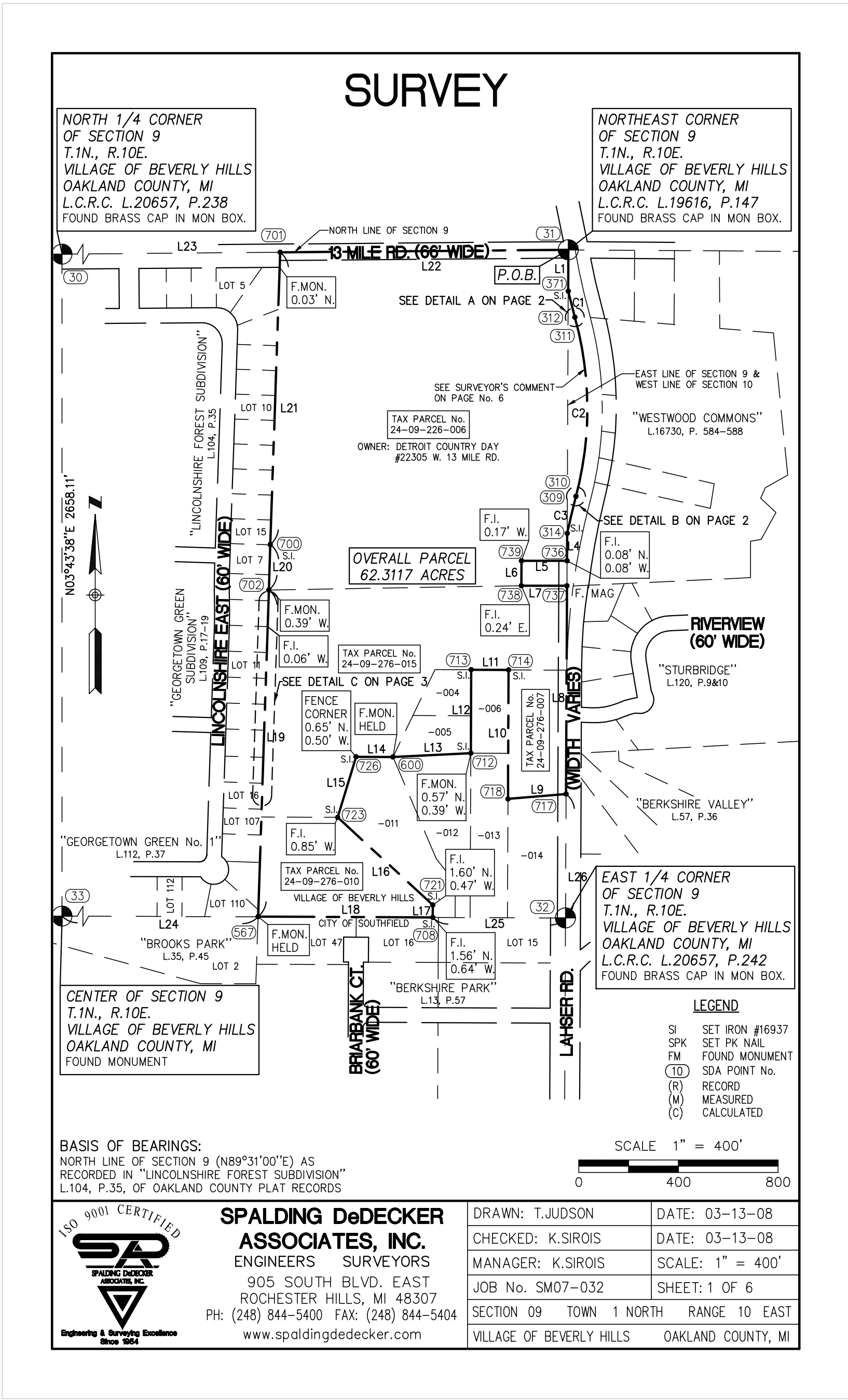
PROJECT NO.


TMP
SD NP16023

DRAWING NO.

C1.1

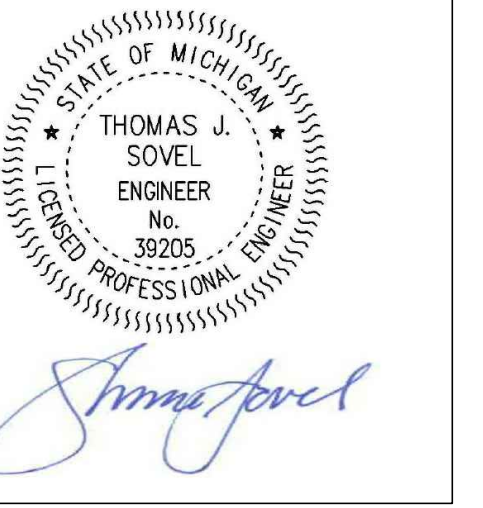







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PROJECT TITLE

Middle School Addition

Detroit Country Day School

DRAWING TITLE

Boundary Survey

ISSUE DATES

08-12-16	SITE PLAN REVIEW #2
06-22-16	OWNER REVIEW
04-01-16	SITE PLAN REVIEW
03-25-16	ARCH/CM REVIEW


DATE: ISSUED FOR:

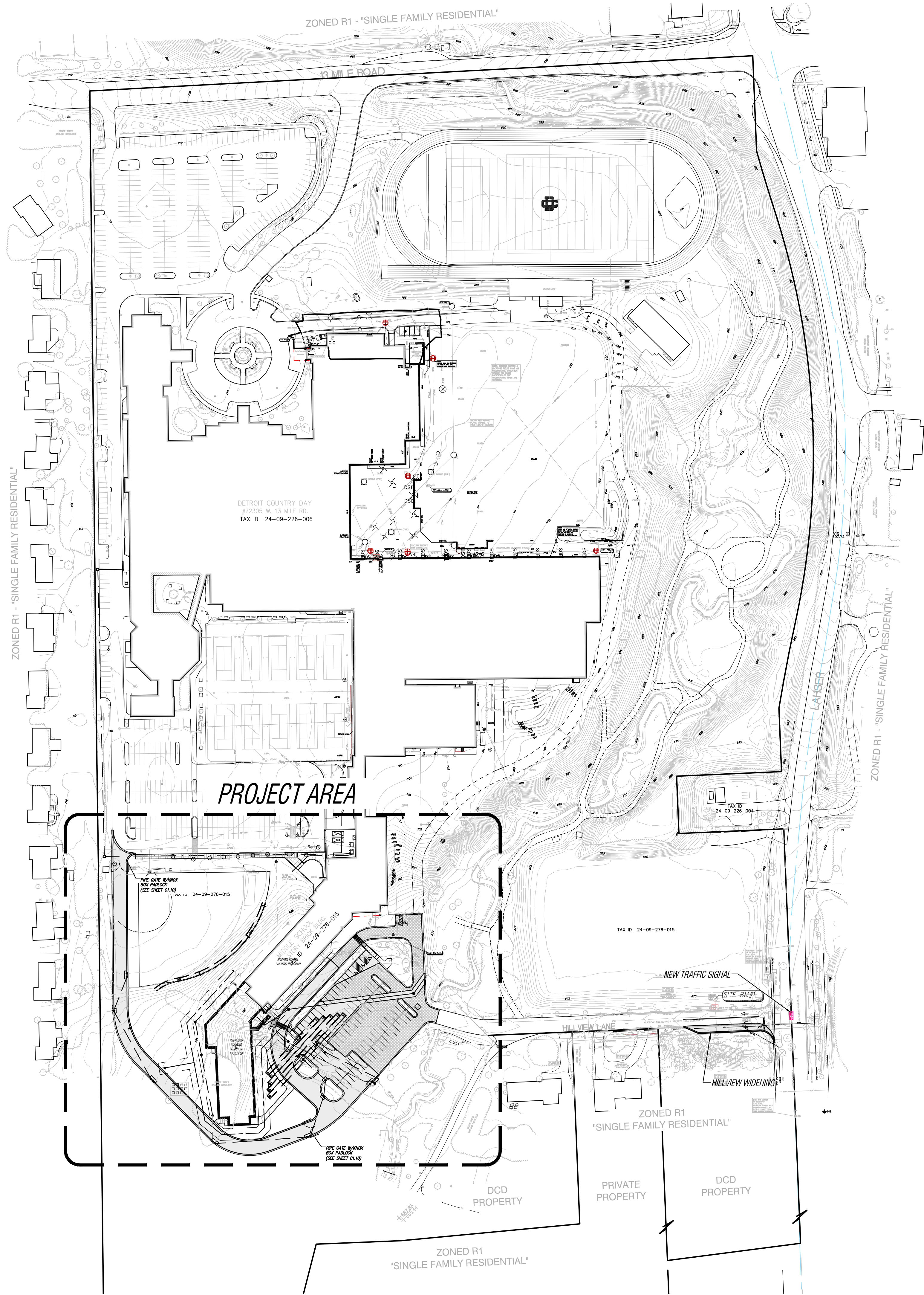
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CHECKED	TJS
APPROVED	TJS

PROJECT NO.

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SD NP16023
DRAWING NO.

C1.2





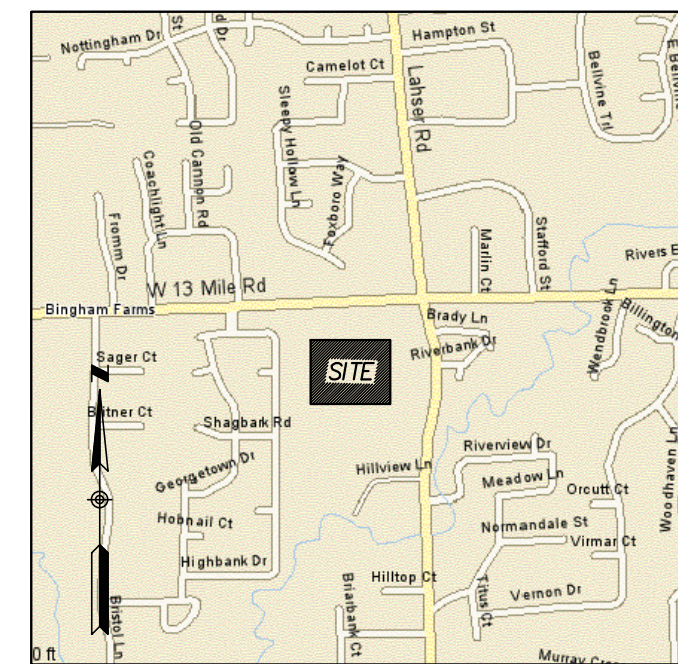
LEGEND

PROPOSED WATERMAIN	PROPOSED SAN MANHOLE (SAN)
PROPOSED SANITARY	PROPOSED STORM MANHOLE (SM)
PROPOSED STORM SEWER	PROPOSED CATCH BASIN (CB)
PROPOSED GAS MAIN	PROPOSED INLET (NL)
PROPOSED ELECTRIC	PROPOSED END SECTION (ES)
PROPOSED HYDRANT	PROPOSED FIELD CATCH BASIN (FCB) W/BEEHIVE COVER OR STANDPIPE (SP) W/ BAR GRATE COVER
PROPOSED GATE VALVE & WELL (GVW)	UTILITY CROSSING (SEE DATA TABLE)
PROPOSED TAPPING SLEEVE, VALVE & WELL (TSVW)	CB — STRUCT. TYPE
	2 — STRUCT. NO.
STANDARD BITUMINOUS PAVEMENT	20
HEAVY-DUTY BITUMINOUS PAVEMENT	10 — STRUCT. NO.
DEEP-STRENGTH BITUMINOUS PAVEMENT	XXX — STRUCT. TYPE
CONCRETE PAVEMENT	
CONCRETE SIDEWALK	
MILL PAVEMENT	
STORM SEWER STRUCTURE	
SANITARY SEWER STRUCTURE	
WATERMAIN STRUCTURE	

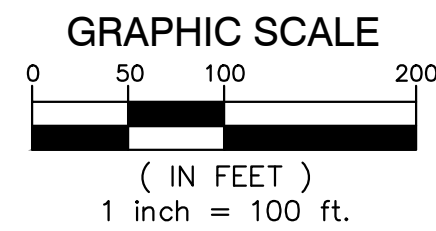
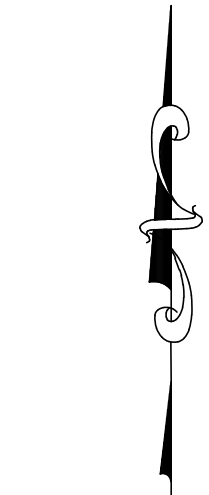


SOIL TYPE
32B - BLOUNT LOAM, 0 TO 4 PERCENT SLOPES
43 - SLOAN-MARLETTE ASSOCIATION

TOTAL PROJECT AREA = 4.4 ACRES



LOCATION MAP
NOT TO SCALE



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PROJECT TITLE
Middle School Addition

Detroit Country Day School

DRAWING TITLE
General Plan

ISSUE DATES

08-12-16	SITE PLAN REVIEW #2
06-22-16	OWNER REVIEW
04-01-16	SITE PLAN REVIEW
03-25-16	ARCH/CM REVIEW

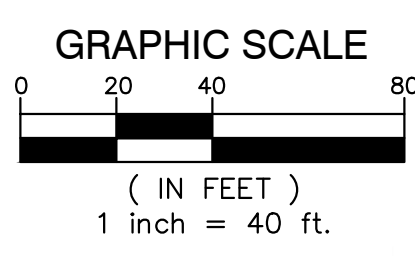
DATE:	ISSUED FOR:
DRAWN	PJK
CHECKED	TJS
APPROVED	TJS

PROJECT NO.
TMP SD NP16023
DRAWING NO.
C1.3















OWNER:
DETROIT COUNTRY DAY SCHOOL
22305 W 13 MILE ROAD,
BEVERLY HILLS MI, 48025
PHONE: (248) 646 7717

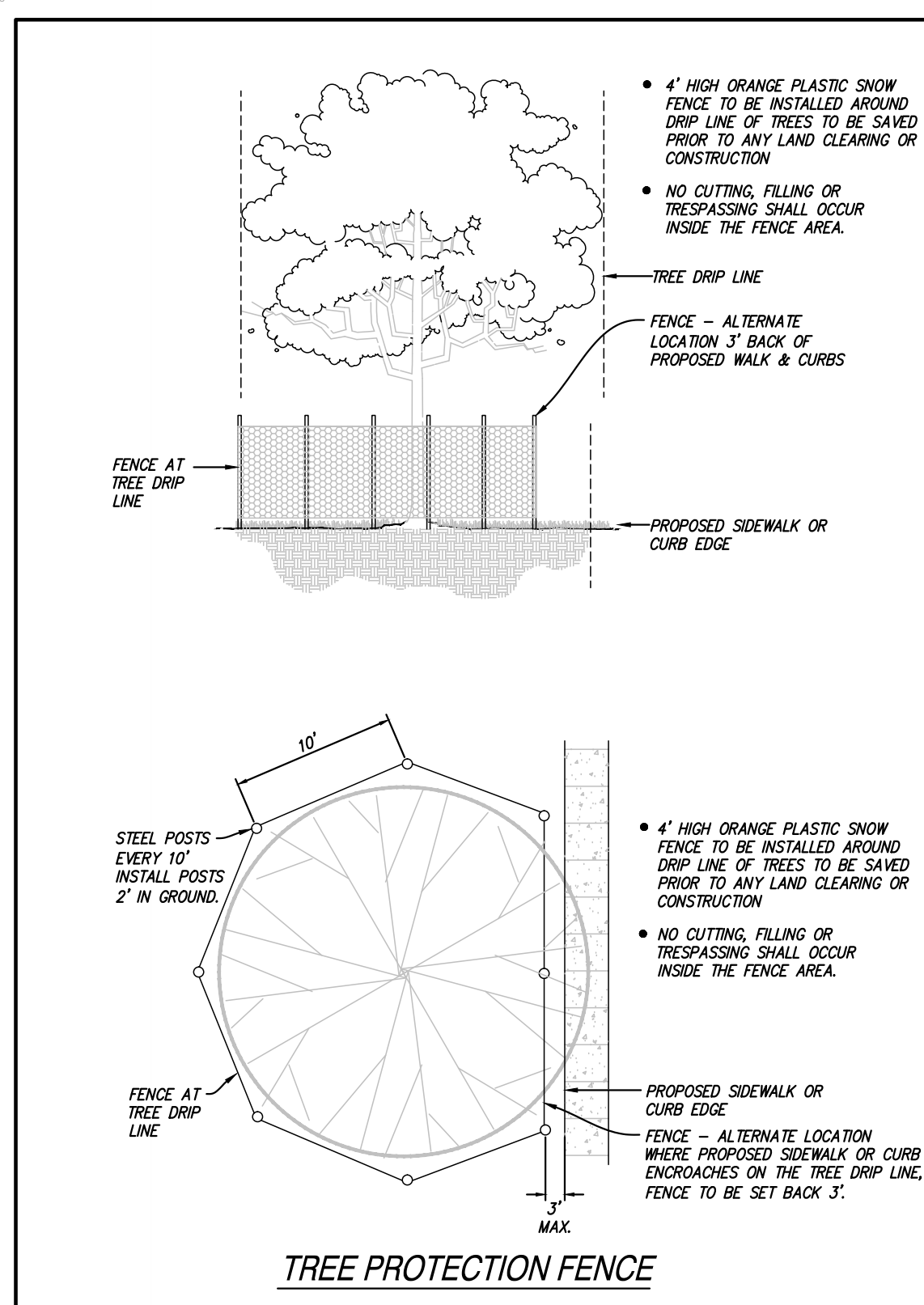


Plotted: Aug 10, 2016, 10:25 AM by user: 262 - Scaled: 8/9/2016 by user: 262
N:\NP\NLD Projects\NP16023 - Det Country Day - Middle School UWD\NP160231P.dwg




DEMOLITION NOTES

-  **1** REMOVE ASPHALT PAVEMENT TO FULL DEPTH. SAWCUT FULL DEPTH WHERE NEW PAVEMENT WILL BE PLACED ADJACENT TO EXISTING PAVEMENT. INCLUDE REMOVAL OF CONCRETE CURB AND GUTTER WHERE SHOWN.
 -  **2** REMOVE CONCRETE PAVEMENT TO FULL DEPTH. SAWCUT FULL DEPTH WHERE NEW PAVEMENT WILL BE PLACED ADJACENT TO EXISTING PAVEMENT. INCLUDE REMOVAL OF CONCRETE CURB AND GUTTER WHERE SHOWN.
 -  **3** MILL AND REMOVE ASPHALT PAVEMENT TO 1.5" DEPTH. CREATE VERTICAL BUTT JOINT WHERE NEW PAVEMENT WILL BE PLACED ADJACENT TO EXISTING PAVEMENT. MILLED SURFACE SHALL BE REVENUED AND APPROVED PRIOR TO FINAL WEARING COURSE PAVING.
 -  **4** CLEAR AND GRUB TO THE LIMITS SHOWN. INCLUDE REMOVAL OF ALL SIGNS, POSTS, FOOTINGS, GRAVEL, BRUSH, SHRUBS, GRASS, AND TREES NOT INDICATED FOR PROTECTION INCLUDING ROOTS. STRIP TOPSOIL AND STOCKPILE ON SITE IN DESIGNATED LOCATION.
 -  **5** REMOVE EXISTING LIGHT POLES INCLUDING BASE AND FOOTING
 -  **6A** REMOVE EXISTING UTILITY POLES AND OVERHEAD WIRES.
 -  **6** PROTECT EXISTING UTILITIES AND UTILITY STRUCTURES TO REMAIN.
 -  **7** REMOVE EXISTING UTILITIES COMPLETE, WHERE NOTED. BACKFILL WITH CLASS II FILL AND COMPACT TO 95% OF MAXIMUM DENSITY. INCLUDE UTILITY STRUCTURES AS APPLICABLE. DO NOT REMOVE STORM SEWER UNTIL NEW STORM LINE AROUND BUILDING IS IN PLACE. FILL STRUCTURE OPENINGS WHERE STORM PIPE HAS BEEN REMOVED.
 -  **8** REMOVE EXISTING WATER MAIN AND STRUCTURES.
 -  **9** REMOVE EXISTING CHAIN LINK FENCE, INCLUDING ALL GATES, POSTS, AND FOOTINGS. RESTORE DISTURBED AREA PER RESTORATION NOTE ON SHEET C1.17.
 -  **10** REMOVE AND DISPOSE OF RECREATIONAL PLAYGROUND AND ATHLETIC EQUIPMENT, BENCHES, BLEACHERS, PLAY AREA BORDERS, ETC. THAT FALL WITHIN THE CONSTRUCTION AREA UNLESS OTHERWISE INDICATED ON PLANS.
 -  **11** DEMOLISH EXISTING BUILDING. CAP ALL UTILITIES AS REQUIRED BY CODES. REFER ARCHITECT DEMOLITION PLANS FOR ADDITIONAL DETAILS.
 -  **X** REMOVE EXISTING TREE (INCLUDING STUMPS AND ROOTS).
 -  **○** PROTECT EXISTING TREES AND LANDSCAPING TO REMAIN DURING CONSTRUCTION. SEE TREE PROTECTION DETAIL SHEET C1.5.
- EXISTING SIGNAGE AND MAILBOXES WITHIN THE CLEARING LIMITS ARE TO BE REMOVED AND SALVAGED. STAGE IN ON SITE LOCATION AS SPECIFIED BY OWNER.
- ALL DEPRESSIONS CREATED BY DEMOLITION PROCEDURES SHALL BE BACKFILLED WITH CLASS II FILL MATERIAL IN 4" LIFTS COMPACTED TO 95% OF MAXIMUM UNIT WEIGHT, UP TO PROPOSED SUBGRADE.
- CONTRACTOR IS RESPONSIBLE FOR DOING AN EARTHWORK CALCULATION FOR CUT AND FILL REQUIREMENTS, AND IS RESPONSIBLE FOR INCLUDING IMPORT AND EXPORT OF MATERIALS IN THEIR BID. ALL EXCESS MATERIAL (INCLUDING TOPSOIL, CLEAN FILL, AND WASTE MATERIAL) SHALL BE REMOVED FROM THE SITE.
- CONTRACTOR TO PROVIDE UNIT PRICES (\$/CYD) IN THE BID DOCUMENTS FOR UNDERCUT AND REPLACEMENT OF POOR SOILS. UNIT PRICE TO INCLUDE DISPOSAL OF POOR SOILS AND IMPORT AND PLACEMENT OF CLASS II ENGINEERED FILL IN 8" LIFTS, COMPACTED TO 95% OF MAXIMUM UNIT WEIGHT, UP TO PROPOSED SUBGRADE.
- EXISTING SUPPORTED SLABS AT BUILDING ENTRY/DOORS TO REMAIN, UNLESS OTHERWISE DIRECTED. CONTRACTOR TO VERIFY LIMITS OF EXISTING SUPPORTED SLAB AND REMOVE ADJACENT WALKS AS SHOWN ON PLANS.
- CONTRACTOR TO PROTECT EXISTING WALKS, PAVEMENT, CURBS, GUTTERS, WALLS, FENCES, GATES, LANDSCAPING AND TREES TO REMAIN DURING CONSTRUCTION.

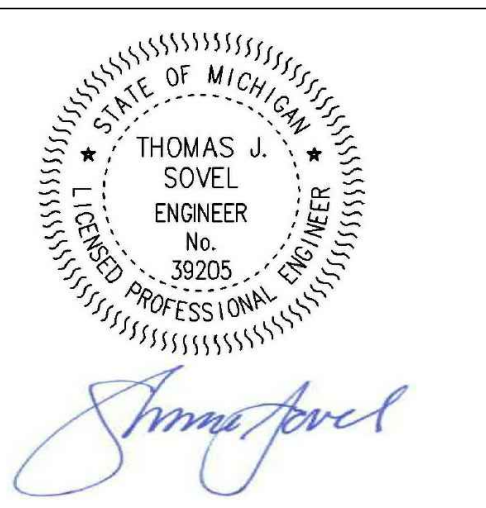


REFER TO SHEET C1.5 FOR STRUCTURE TABLE AND NOTES




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PROJECT TITLE

Middle School Addition

Detroit Country Day School

DRAWING TITLE

Demolition Plan

ISSUE DATES

DATE	ISSUED FOR:
08-12-16	SITE PLAN REVIEW #2
06-22-16	OWNER REVIEW
04-01-16	SITE PLAN REVIEW
03-25-16	ARCH/CM REVIEW


DRAWN PJK
CHECKED TJS
APPROVED TJS

PROJECT NO.

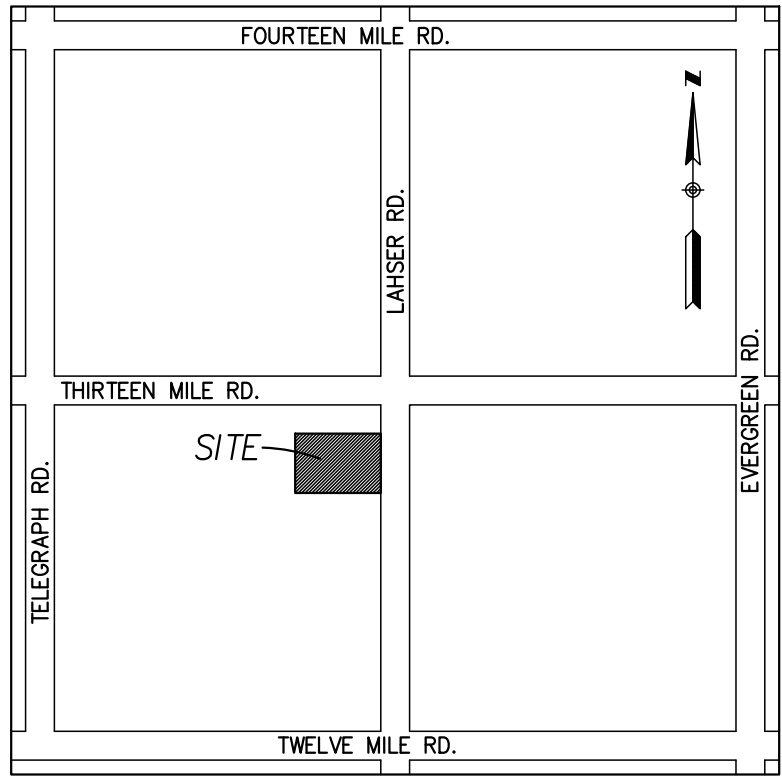
TMP SD NP16023

DRAWING NO.

C1.4



3 WORKING DAYS BEFORE YOU DIG
CALL MISS DIG.
1-800-482-7171
For tree location of public utility lines



LOCATION MAP
NOT TO SCALE

BENCHMARK DESCRIPTIONS

SITE BM#2	SCRIBED "4" ON A SANITARY RIM (STRUCTURE No. 2), LOCATED ±50' EAST OF A UTILITY POLE AND AT THE WEST SIDE OF A DRIVE APPROACH TO THE SOUTH.	ELEV.=668.22
SITE BM#3	ARROW ON A HYDRANT, LOCATED ON THE SOUTH SIDE OF A PARKING ISLAND, LOCATED ±58' NORTHWEST OF THE NORTHWEST BUILDING CORNER OF THE MIDDLE SCHOOL.	ELEV.=708.02
SITE BM#4	SCRIBED "4" ON THE NORTH SIDE OF A SANITARY RIM, LOCATED ±968' NORTH OF THE SITE AND WEST OF LAHSER ROAD.	ELEV.=705.41
SITE BM#5	ARROW ON A HYDRANT, LOCATED ±42' NORTHEAST OF A FLAG POLE AND ±75' SOUTHEAST OF THE EASTERN BUILDING CORNER OF THE MIDDLE SCHOOL.	ELEV.=676.67

CONTROL POINTS

POINT	NORTHING	EASTING	ELEV	DESCRIPTION
150	27162.17	18150.68	667.63	CP150
151	26996.9	17847.68	692.83	CP151
153	27320.73	17852.67	705.53	CP153
154	27519.89	17847.1	707.70	CP154
528	26966.45	17750.86	688.10	CP528
534	26891.44	18224.69	665.07	CP534

DETROIT COUNTRY DAY – MIDDLE SCHOOL
LEGAL DESCRIPTION
PER OAKLAND COUNTY EQUALIZATION

PARCEL ID: 24–09–276–015

PART OF SE 1/4 OF NE 1/4 OF SECTION 9., TOWN 1 NORTH, RANGE10 EAST, BEVERLY HILLS, OAKLAND COUNTY, MICHIGAN; SAID LAND BEING MORE PARTICULARLY DESCRIBED AS:
BEGINNING AT A POINT DISTANT N 00–13–45 E 994.66 FEET FROM E 1/4 CORNER OF SAID SECTION 9, THENCE N 00–13–45 E 340 FEET, THENCE S 89–04–45 W 1196.53 FEET, THENCE S 01–52–15 W 912.44 FEET, THENCE S 89–49–45 E 306 FEET, THENCE N 17–02–00 E 253.13 FEET, THENCE DUE EAST 148 FEET, THENCE N 25–37–30 E 390 FEET, THENCE S 89–49–45 E 528 FEET TO THE POINT OF BEGINNING. CONTAINING 15.79 ACRES — 8–17–88 FROM 001, 002, 003, 008 & 009

NOTE:
THE PROPERTY LINES SHOWN ARE BASED UPON A COMBINATION OF RECORD DESCRIPTION, FOUND MONUMENTATION AND OCCUPATION. PROPERTY CORNERS HAVE NOT BEEN SET IN THE FIELD.

UTILITY NOTES

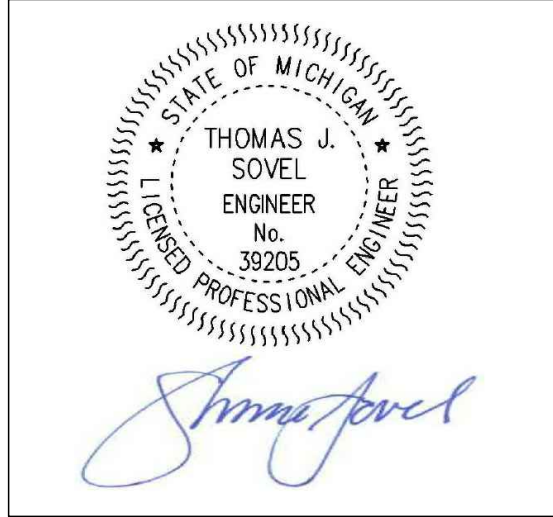
1. UTILITIES SHOWN ARE BASED UPON A COMBINATION OF SDA FIELD MEASUREMENTS AND RECORD UTILITY COMPANY INFORMATION.
2. THE LOCATIONS AND ROUTES OF THE UNDERGROUND ELECTRIC LINES TO THE LIGHT POLES COULD NOT BE DETERMINED FROM INFORMATION PROVIDED BY DTE ENERGY OR FIELD SURVEY.

EXISTING STRUCTURE TABLE

#	TYPE	RIM	SIZE	PIPE	INVERT	TO	STRUCTURE/ BEARING	NOTES
1	SANITARY MANHOLE	665.16	10"	METAL	657.64	TO	WEST	
			10"	METAL	657.56	TO	SAN MH 2 / NE	
			10"	PVC	660.00	TO	WEST	90° BEND DOWN MEASURED TO T/P
2	SANITARY MANHOLE	668.35	10"	METAL	656.47	TO	SAN MH 1 / SW	
			10"	METAL	656.41	TO	EAST	
			6"	PVC	657.07	TO	SAN MH #3 / NW	
3	SANITARY MANHOLE	671.17	6"	PVC		TO	TO BUILDING / NW	BUILDING SERVICE LID BOLTED SHUT
			6"	PVC		TO	SAN MH 2 / SE	
4	SQUARE CATCH BASIN	668.73	8"	CONC.	664.93	TO	STM MH 11 / NW	
			12"	CONC.	664.79	TO	(R) ES / SE	TOP OF PIPE
5	GATE VALVE & WELL	675.65	-	-	668.79	TO	EAST	TOP OF PIPE, -8.04 TO BOTTOM
			-	-	668.79	TO	WEST	TOP OF PIPE, -8.04 TO BOTTOM
6	STORM MANHOLE	672.43	8"	CLAY	667.55	TO	STM MH 7 / NW	
			8"	CLAY	666.55	TO	STM MH 10 / SE	
7	STORM MANHOLE	686.87	8"	CLAY	682.13	TO	(R) STM MH / 335°	
			8"	CLAY	674.10	TO	STM MH 6 / SE	
8	BEEHIVE	691.97	8"	CLAY	686.97	TO	(R) STM MH / SW	
9	SQUARE CATCH BASIN	665.65	12"	CONC.	663.73	TO	STM MH 10 / NE	90° BEND DOWN TOP OF PIPE
10	STORM MANHOLE	666.44	18"	CONC.	662.78	TO	ES / SE	
			12"	CONC.	662.81	TO	SQ CB 9 / SW	
			8"	CONC.	662.94	TO	STM MH 6 / NW	
11	STORM MANHOLE	676.48	8"	CLAY	669.92	TO	SQ CB 4 / SE	5.81 TOP OF PIPE
			8"	CLAY		TO	NE	BUILDING SERVICE
			8"	CLAY		TO	SW	BUILDING SERVICE
			4"	PVC		TO	SW	BUILDING SERVICE
12	ROUND CATCH BASIN	707.98	15"	CONC.	699.12	TO	EAST	
			15"	CONC.	699.29	TO	NORTH	
13	GATE VALVE & WELL	704.92	-	-	699.28	TO	NORTH	TOP OF PIPE
			-	-	699.28	TO	SOUTH	TOP OF PIPE
14	GATE VALVE & WELL	704.95	8"	IRON	696.23	TO	EAST	TOP OF PIPE
			8"	IRON	696.23	TO	WEST	TOP OF PIPE
15	ROUND CATCH BASIN	705.02	15"	CONC.	697.70	TO	WEST	
			-	-	697.02	TO	NE	
16	STORM MANHOLE	705.02	-	-	-	TO	-	NOT OPENED
17	SANITARY MANHOLE	668.24	-	-	-	TO	-	NOT OPENED



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PROJECT TITLE

Middle School
Addition

Detroit Country
Day School

DRAWING TITLE

Survey Notes

ISSUE DATES

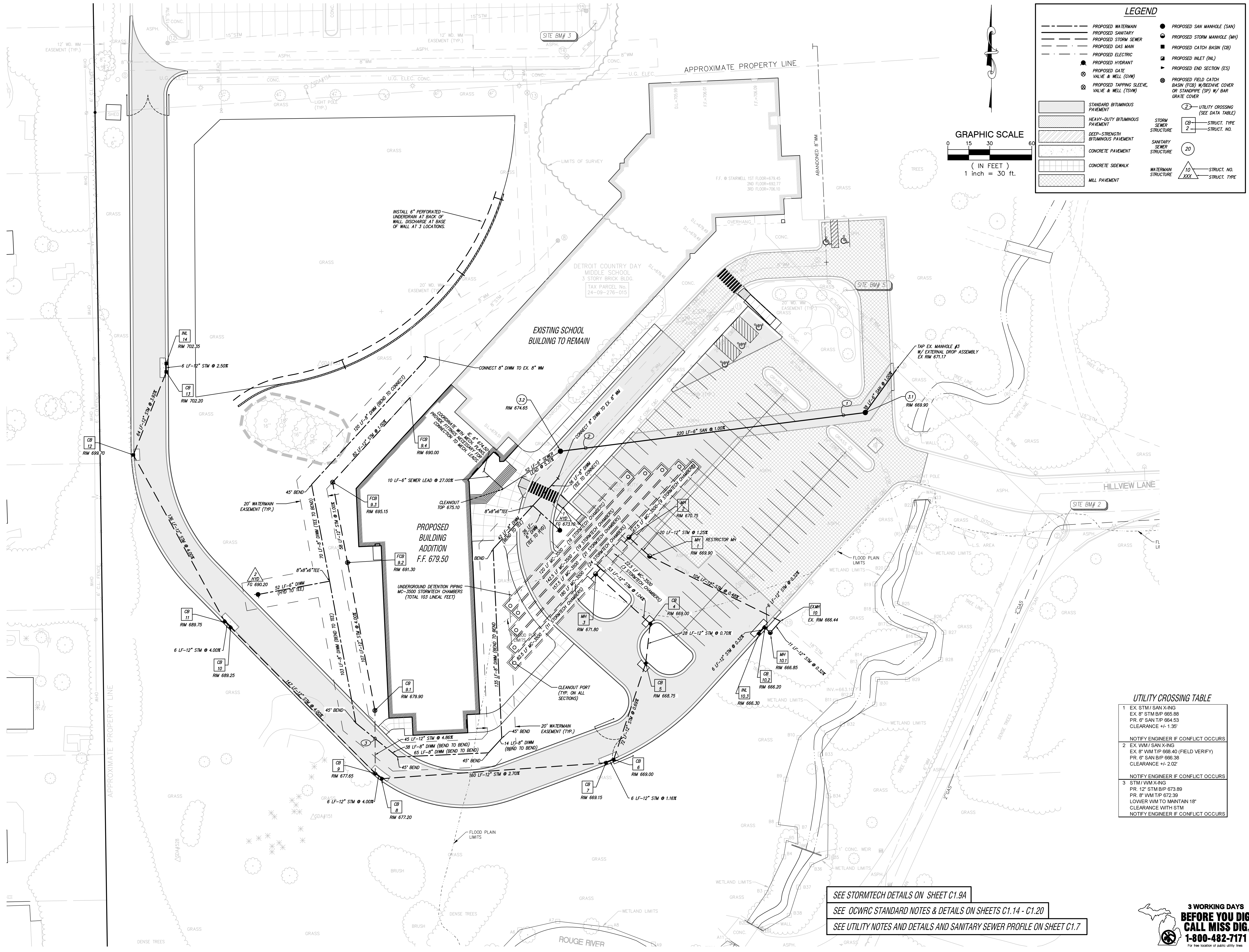
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_____	_____
08–12–16	SITE PLAN REVIEW #2
06–22–16	OWNER REVIEW
04–01–16	SITE PLAN REVIEW
03–25–16	ARCH/CM REVIEW
DATE:	ISSUED FOR:
DRAWN	PJK
CHECKED	TJS
APPROVED	TJS

PROJECT NO.

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SD NP16023
DRAWING NO.

C1.5



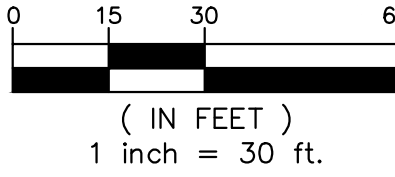


LEGEND

---	PROPOSED WATERMAIN	●	PROPOSED SAN MANHOLE (SAN)
---	PROPOSED SANITARY	●	PROPOSED STORM MANHOLE (MH)
---	PROPOSED STORM SEWER	■	PROPOSED CATCH BASIN (CB)
---	PROPOSED GAS MAIN	■	PROPOSED INLET (INL)
---	PROPOSED ELECTRIC	▶	PROPOSED END SECTION (ES)
●	PROPOSED HYDRANT	⊕	PROPOSED FIELD CATCH BASIN (FCB) W/BEEHIVE COVER OR STANDPIPE (SP) W/ BAR GRATE COVER
⊕	PROPOSED GATE VALVE & WELL (GVW)	2	UTILITY CROSSING (SEE DATA TABLE)
⊕	PROPOSED TAPPING SLEEVE, VALVE & WELL (TSVW)	CB	STRUCT. TYPE
		2	STRUCT. NO.
		20	
		10	STRUCT. NO.
		XXX	STRUCT. TYPE

STANDARD BITUMINOUS PAVEMENT	STORM SEWER STRUCTURE
HEAVY-DUTY BITUMINOUS PAVEMENT	SANITARY SEWER STRUCTURE
DEEP-STRENGTH BITUMINOUS PAVEMENT	
CONCRETE PAVEMENT	
CONCRETE SIDEWALK	
MILL PAVEMENT	

GRAPHIC SCALE



UTILITY CROSSING TABLE

1	EX STM / SAN X-ING EX 8" STM B/P 665.88 PR 6" SAN T/P 664.53 CLEARANCE +/- 1.35'
	NOTIFY ENGINEER IF CONFLICT OCCURS
2	EX WM / SAN X-ING EX 8" WM T/P 668.40 (FIELD VERIFY) PR 6" SAN B/P 666.38 CLEARANCE +/- 2.02'
	NOTIFY ENGINEER IF CONFLICT OCCURS
3	STM / WM X-ING PR 12" STM B/P 673.89 PR 8" WM T/P 672.39 LOWER WM TO MAINTAIN 18" CLEARANCE WITH STM NOTIFY ENGINEER IF CONFLICT OCCURS

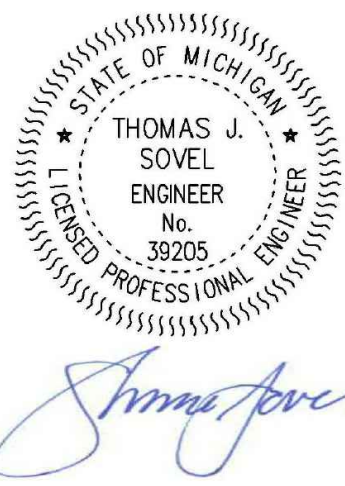
SEE STORMTECH DETAILS ON SHEET C1.9A

SEE OCWRC STANDARD NOTES & DETAILS ON SHEETS C1.14 - C1.20

SEE UTILITY NOTES AND DETAILS AND SANITARY SEWER PROFILE ON SHEET C1.7



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PROJECT TITLE

Middle School Addition

Detroit Country Day School

DRAWING TITLE

Utility Plan

ISSUE DATES

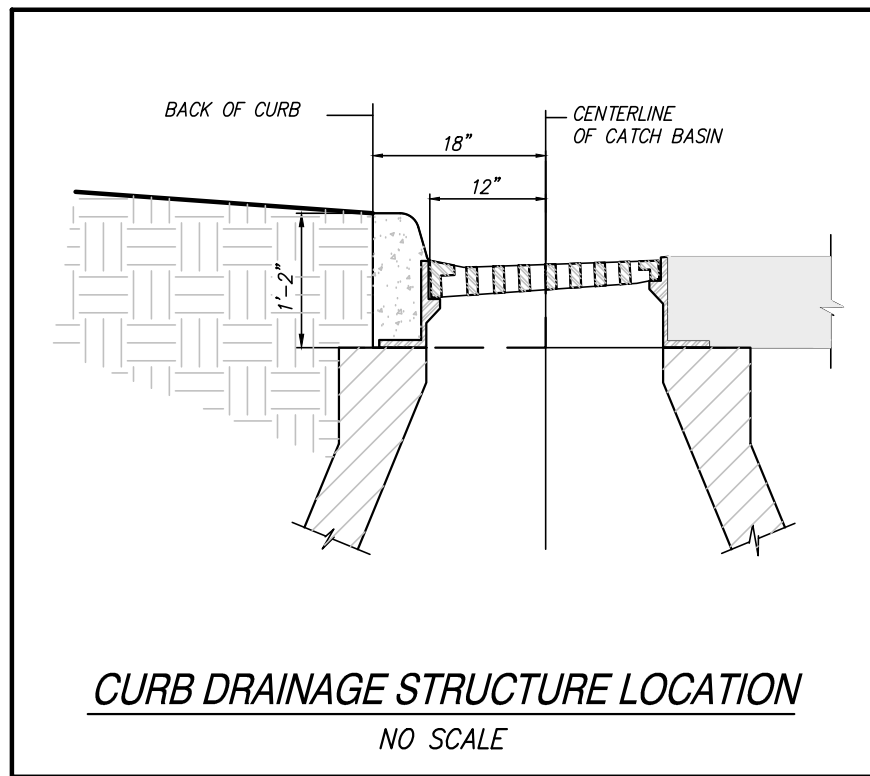
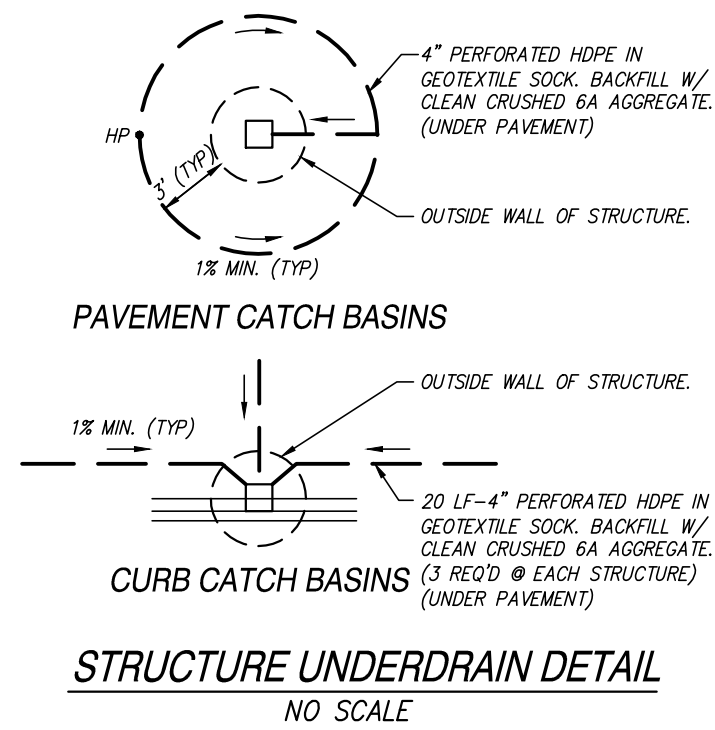
DATE	ISSUED FOR:
08-12-16	SITE PLAN REVIEW #2
06-22-16	OWNER REVIEW
04-01-16	SITE PLAN REVIEW
03-25-16	ARCH/CM REVIEW
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CHECKED	TJS
APPROVED	TJS

PROJECT NO.

TMP SD NP16023

DRAWING NO.

C1.6

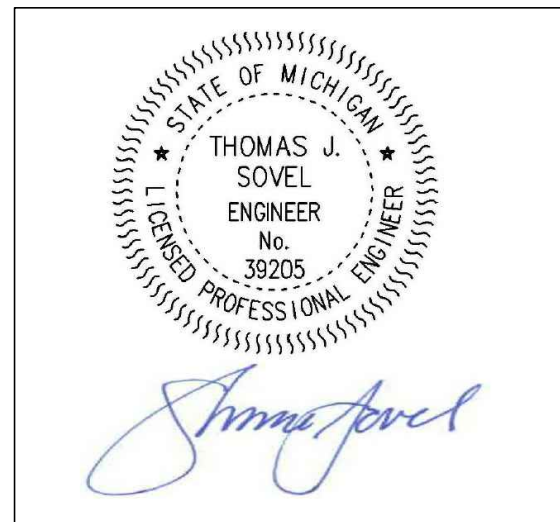


- UTILITY NOTES**
1. STORM SEWER 12" AND LARGER SHALL BE C76 CL IV (PREM.JT.) UNLESS OTHERWISE NOTED ON THE PLAN.
 2. STORM SEWER 6" AND SMALLER SHALL BE PVC SDR 23.5. STORM SEWER GREATER THAN 6" THROUGH 10" SHALL BE PVC SDR 26.
 3. DETENTION SYSTEM SHALL BE STORMTECH MC-3500 CHAMBERS OR EQUAL.
 4. SANITARY SEWER SHALL BE SOLID WALL, PVC, SDR 26.
 5. WATER MAIN SHALL BE CLASS 54 DUCTILE IRON. WATER MAINS SHALL BE LEAKAGE AND PRESSURE TESTED IN ACCORDANCE WITH AWWA STANDARD C600. WATER MAINS SHALL BE DISINFECTED IN ACCORDANCE WITH AWWA STANDARD C651 PRIOR TO BEING PUT INTO SERVICE.
 6. ALL UTILITY TRENCHES THAT FALL WITHIN A 1'-ON-1 INFLUENCE OF PAVEMENT AREAS SHALL BE BACKFILLED WITH CLASS 2 SAND AND COMPACTED TO 95% OF MAXIMUM DENSITY.
 7. ALL WATER MAIN SHALL BE BURIED WITH 6' OF COVER FROM PROPOSED GRADES. USE 22.5" BENDS TO LOWER WATER MAIN WHERE NOTED AT UTILITY CROSSING.
 8. WHERE HYDRANTS ARE INDICATED ON THE PLAN, COMPLETE HYDRANT ASSEMBLIES ARE REQUIRED, INCLUDING SHUT-OFF VALVE AND BOX (REFER TO THE STANDARD DETAIL SHEET FOR DETAILED REQUIREMENTS) THE ELEVATION OF THE VALVE BOX SHALL BE EQUAL TO THE FINISH GRADE (FG) ELEVATION OF THE HYDRANT UNLESS OTHERWISE NOTED.
 9. ALL UTILITIES SHALL BE INSTALLED IN ACCORDANCE WITH THE STANDARDS AND SPECIFICATIONS OF THE VILLAGE OF BEVERLY HILLS.
 10. ALL UTILITIES SHALL BE INSTALLED ON CLASS "B" BEDDING OR BETTER.
 11. ALL HYDRANTS MUST BE AT LEAST 5' FROM THE BACK OF CURB OR EDGE OF PAVEMENT.
 12. ALL UTILITIES SHALL BE PLACED AT LEAST 10' FROM OTHER UTILITIES, SIGNIFICANT TREES, AND FIXED STRUCTURES.
 13. UNLESS OTHERWISE NOTED, ALL STORM SEWER STRUCTURES SHALL BE 4' DIAMETER (INLETS SHALL BE 2' DIAMETER). UNLESS OTHERWISE INDICATED ON THE STANDARD DETAIL SHEETS CASTINGS SHALL BE:
P.V.M.T. CATCH BASINS - E.J.W 5105 - "M" (FRAMES WITH CURB BOXES WILL NOT BE ALLOWED)
YARD CATCH BASINS - E.J.W 1040 - "02"
MANHOLES - E.J.W 1040 - "A"
 14. PLACEMENT OF EDGE DRAINS AND FINGER DRAINS AT ALL CATCH BASINS IS REQUIRED. SEE STRUCTURE UNDERDRAIN DETAIL THIS SHEET.
 15. FOR CURB CATCH BASINS, SEE BASIN LOCATION DETAIL FOR BASIN STAKING RELATIVE TO THE CURB.
 16. SANITARY MANHOLE COVERS SHALL BE LABELED "SANITARY SEWER" ONLY. REFER TO STANDARD DETAIL SHEET FOR REQUIRED TEXT OF UTILITY CASTINGS.
 17. LOCATIONS OF LIGHT POLES, IF SHOWN ON THESE DRAWINGS, MAY BE APPROXIMATE. CONFIRM EXACT LOCATION (I.E. CURB OFFSETS, SIDEWALK OFFSETS, ETC.) PRIOR TO STAKING AND CONSTRUCTION. REFER TO SITE ELECTRICAL PLAN FOR DETAILS AND COORDINATE WITH ELECTRICAL ENGINEER, ARCHITECT, AND CIVIL ENGINEER TO DETERMINE PROPER PLACEMENT.
 18. WHERE THESE PLANS DIFFER FROM THE STANDARD DETAILS OR STANDARD SPECIFICATIONS OF THE COMMUNITY, THE COMMUNITY REQUIREMENTS SHALL GOVERN.



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PROJECT TITLE

Middle School Addition

Detroit Country Day School

DRAWING TITLE

Utility Notes and Details and Sanitary Sewer Profile

ISSUE DATES

08-12-16	SITE PLAN REVIEW #2
06-22-16	OWNER REVIEW
04-01-16	SITE PLAN REVIEW
03-25-16	ARCH/CM REVIEW

DATE: ISSUED FOR:

DRAWN PJK

CHECKED TJS

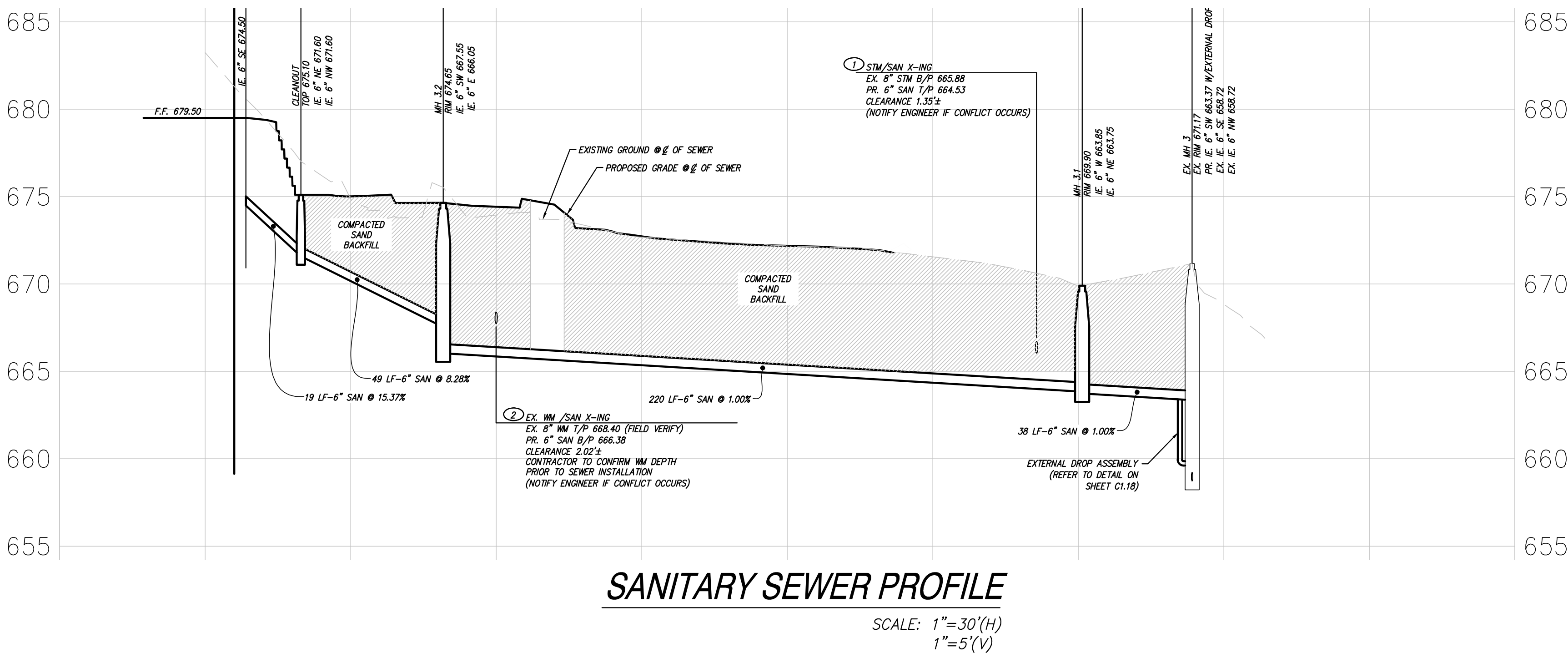
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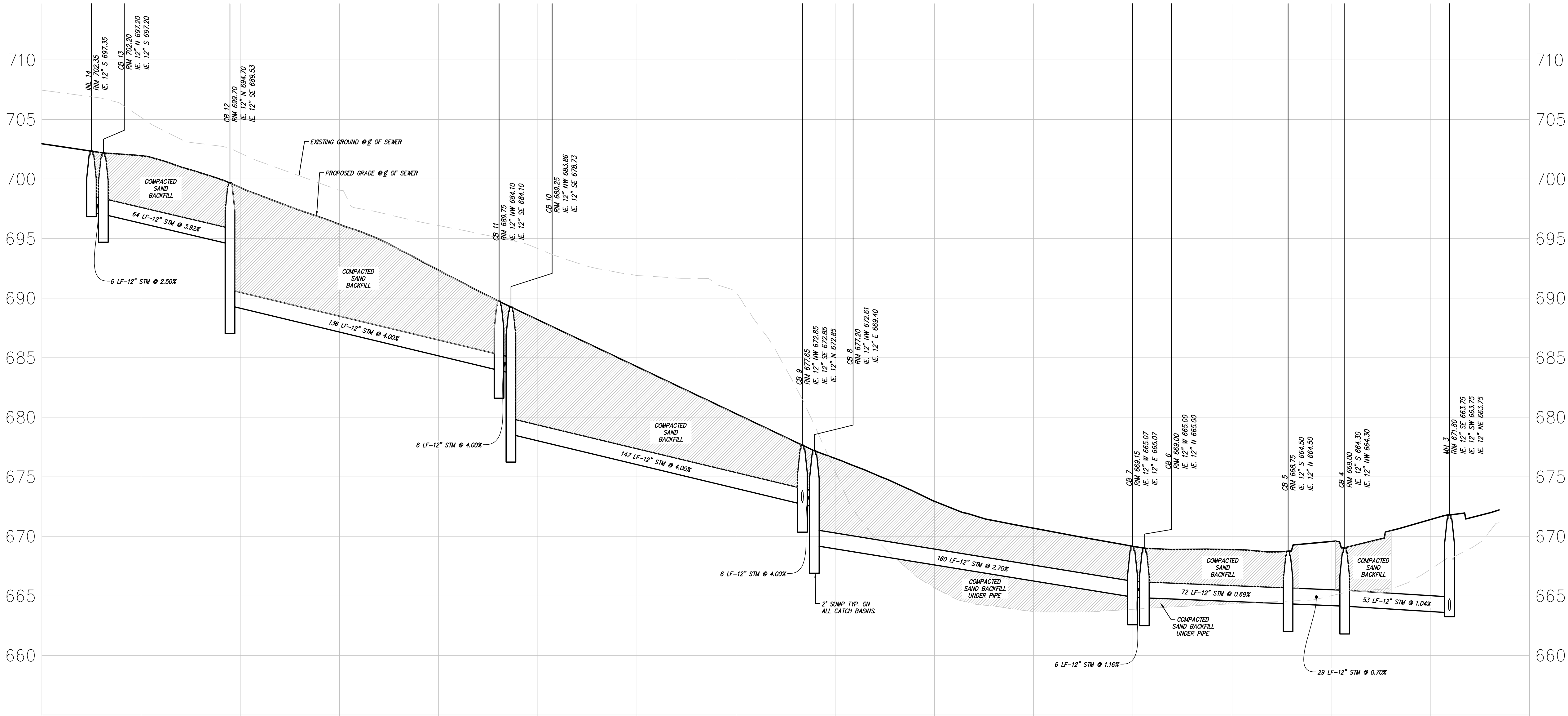
PROJECT NO.

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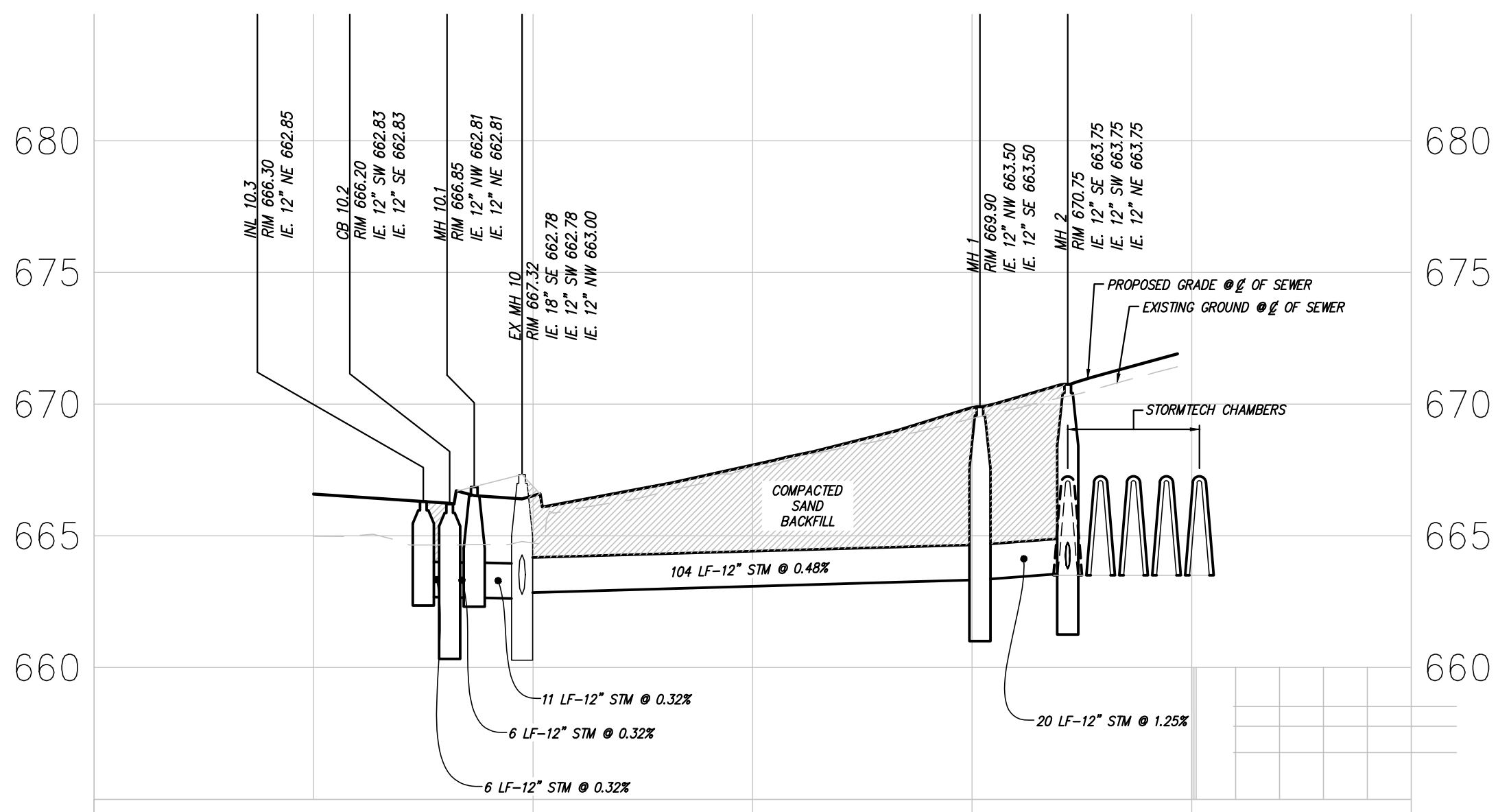
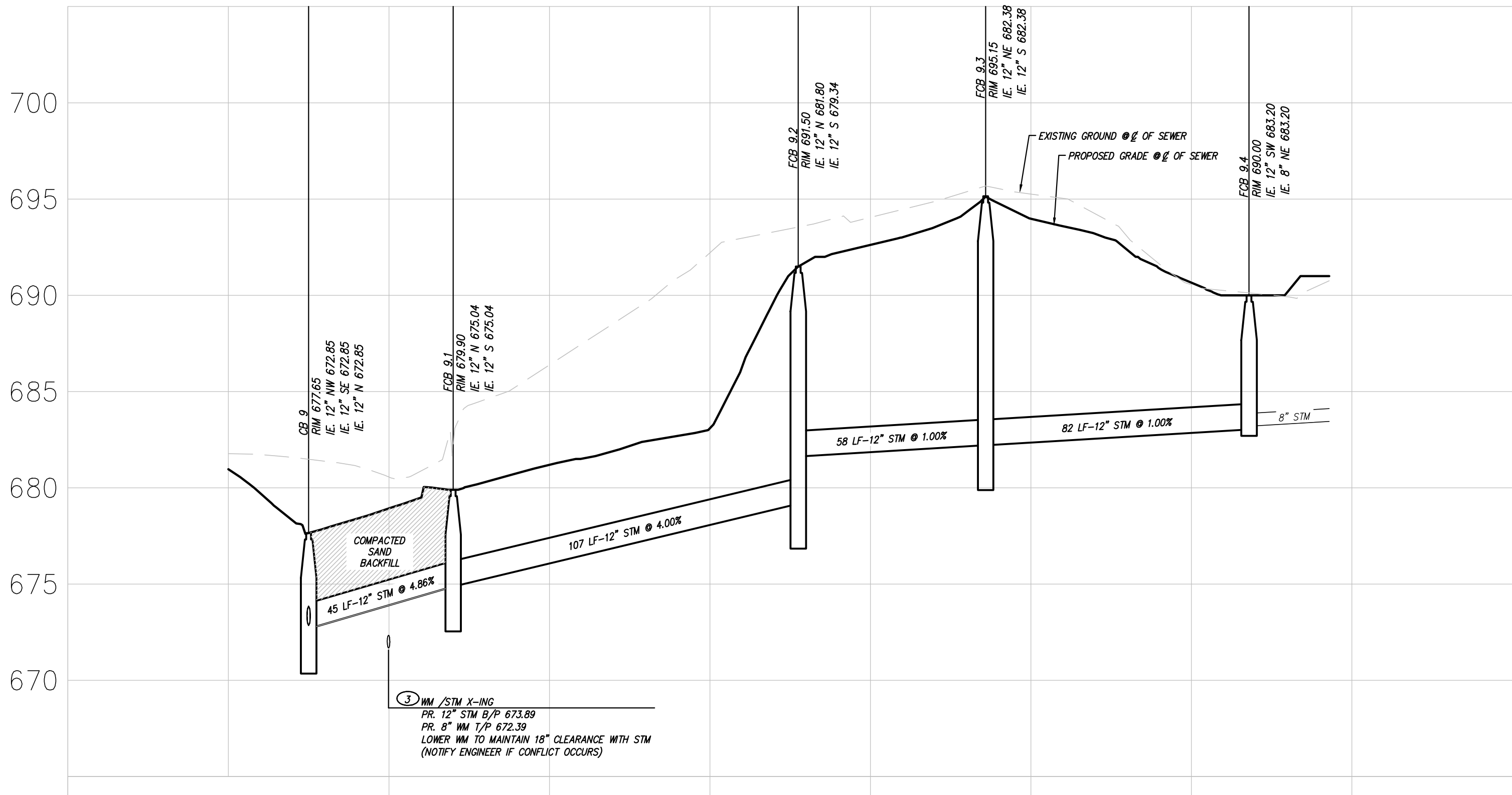
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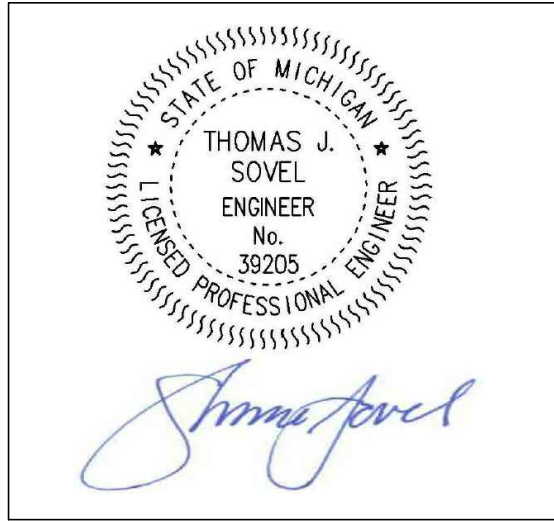




ALL STORM SEWER SHALL BE
C76 CL IV REINFORCED
CONCRETE PIPE



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PROJECT TITLE

Middle School Addition

Detroit Country Day School

DRAWING TITLE

Storm Sewer Profiles

ISSUE DATES

DATE	ISSUED FOR:
08-12-16	SITE PLAN REVIEW #2
06-22-16	OWNER REVIEW
04-01-16	SITE PLAN REVIEW
03-25-16	ARCH/CM REVIEW
DRAWN	PJK
CHECKED	TJS
APPROVED	TJS

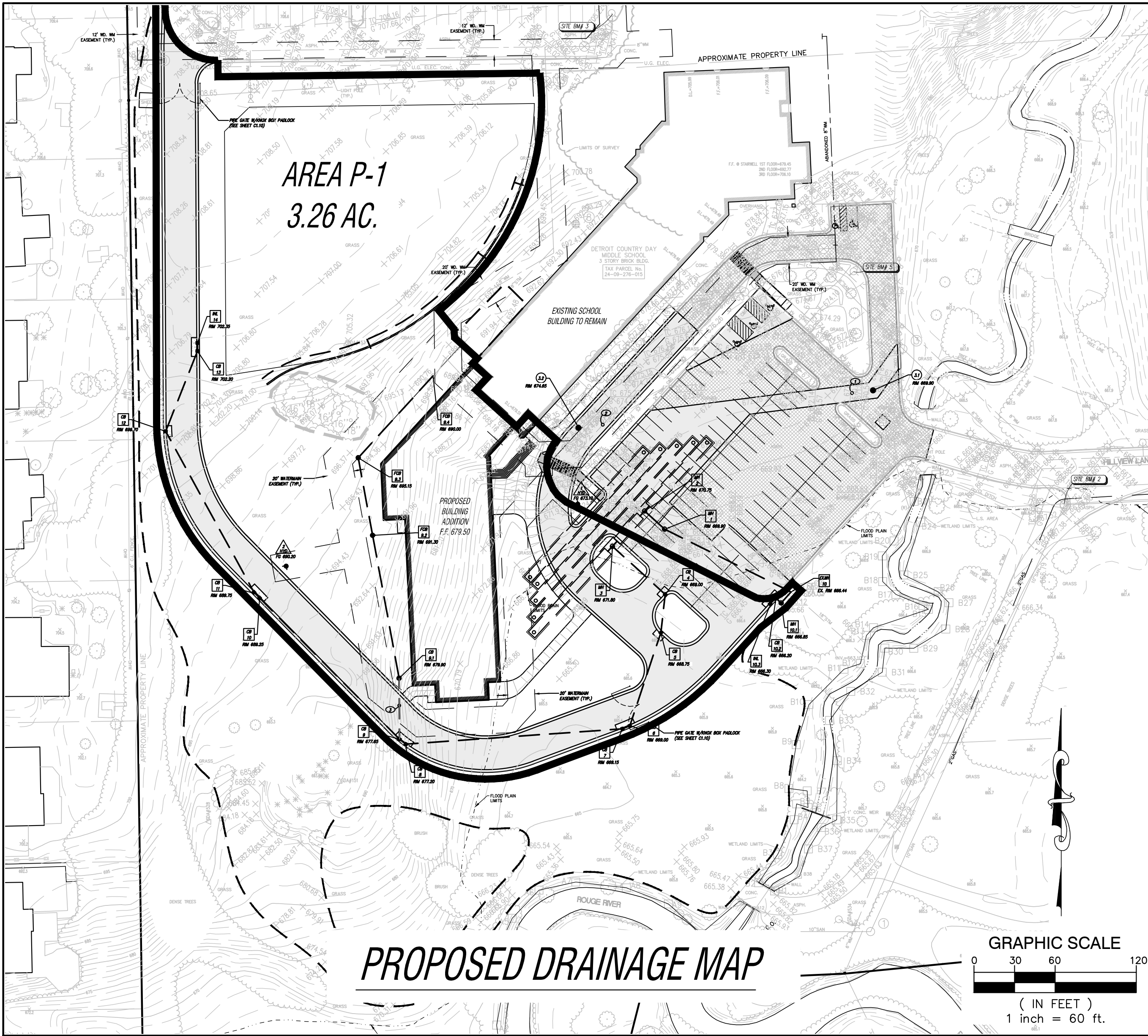
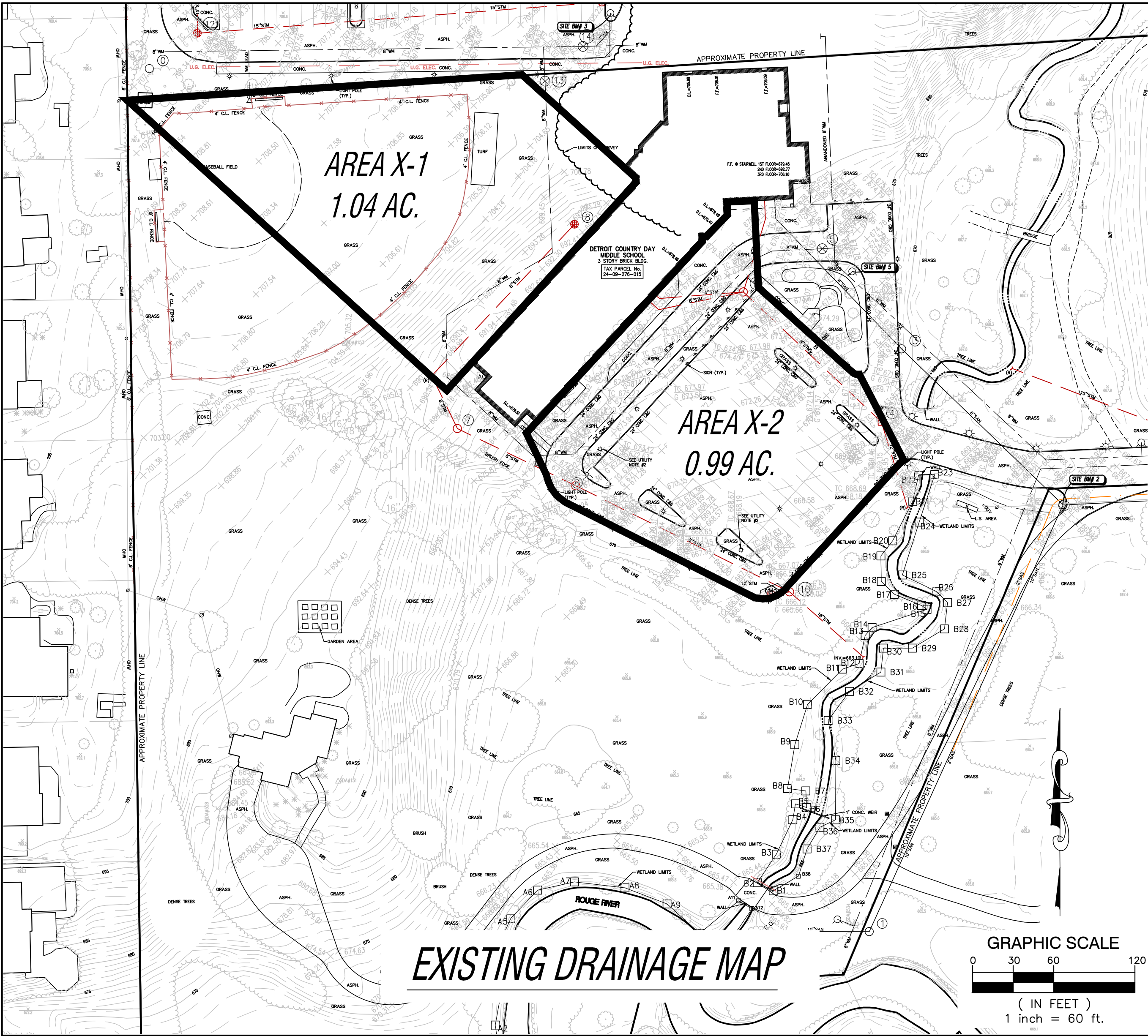
PROJECT NO.

TMP SD NP16023

DRAWING NO.

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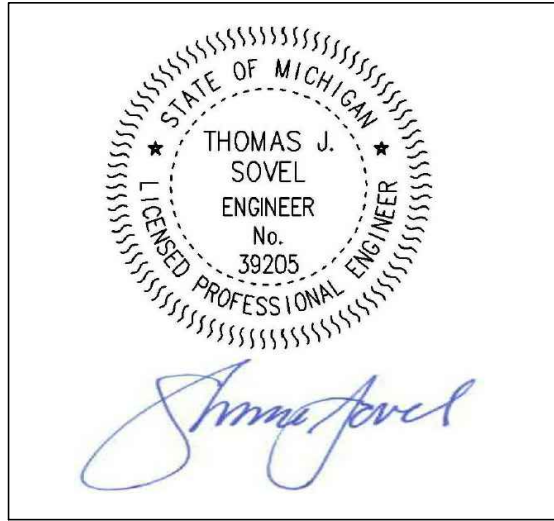


STORMWATER MANAGEMENT CALCULATIONS			
EXISTING DRAINAGE MAP INDICATES AREAS THAT CURRENTLY DRAIN TO THE 18" DISCHARGE STORM SEWER (X1 & X2). THIS PROJECT WILL UTILIZE THAT SAME DISCHARGE POINT AND RESTRICT THE DISCHARGE FOR A 100-YEAR STORM NOT TO EXCEED THE EXISTING FLOW.			
FIRST, WE'LL CALCULATE THE EXISTING DISCHARGE:			
TWO AREAS DRAIN THROUGH THE 18" STORM, LABELED AS X1 AND X2.			
X1 =	1.04 ACRES		
C-VALUE (COEFF OF IMPERVIOUSNESS) FOR X1=	0.35 (MOWED LAWN)		
X2 =	0.99 ACRES		
C-VALUE (COEFF OF IMPERVIOUSNESS) FOR X2=	0.95 (PAVEMENT)		
COMPOSITE C-VALUE - Cv =	0.64		
CALCULATE EXISTING FLOW, Q = C ¹ *A, WHERE I (intensity) = 175/(Tc+25)			
ESTIMATE TIME OF CONCENTRATION, Tc =	20 MINUTES		
INTENSITY, I =	3.89 INCHES PER HOUR		
Q = C ¹ *A =	5.07 CUBIC FEET PER SECOND (CFS)		
CONSIDER THIS THE TOTAL ALLOWABLE OUTFLOW.			
NEXT, WE'LL CALCULATE THE DETENTION REQUIREMENT BASED ON TOTAL OUTFLOW OF 5.07 CFS.			
THE EXISTING PARKING AREA (X2) WILL CONTINUE TO DRAIN THROUGH THE DISCHARGE PIPE UNRESTRICTED. EST. TIME OF CONCENTRATION = 20 MINUTES, THEREFORE, INTENSITY (I) = 3.89 INCHES PER HOUR, AND FLOW, Q = 3.86 CFS.			
THEREFORE, TOTAL ALLOWABLE OUTFLOW FOR THE NEWLY DEVELOPED AREA =			
Qallow =	5.07 MINUS 3.86	EQUALS	1.42 CFS
DETENTION CALCULATION (OAKLAND COUNTY FORMULA - 100-YEAR STORM)			
Total Area Tributary (A) = 3.26 ac			
Area Label	A (sq)	C	A*C
Area P-1 (Lawn Area)	90,605	0.35	31,712
Area P-1 (Building)	15,682	0.90	14,113
Area P-1 (Pavement/Walk)	35,719	0.90	32,147
Sum	142,006	2.15	77,972
Overall site average C factor:			0.65
Enter Standard Allowable Discharge (q):			0.43
Overall site C factor:			0.55
Overall site acreage contributing to the basin (A):			3.26 Ac.
Maximum allowable outflow, Qa (q * A):			1.42 CFS

DETENTION VOLUME CALCULATIONS			
Qo = [(allowable outflow, Qa) / (acreage)(runoff coefficient)]			
			0.792 CFS/(acre*imperviousness)
Storage time calculation:			
T = 25 + sqrt(10312.5 / Qo)			(100 year storm)
T =	89.11 min.		
Maximum volume of storage per acre imperviousness:			
Vs = (16,500 (T) / (T + 25)) - 40(Qo)(T)			(100 year storm)
Vs =	10062.17 CF/(acre*imperviousness)		
Total volume of storage REQUIRED for the entire site:			
Vt = (Vs)(site acreage)(runoff coefficient)			
Vt =	18,041.47 CF	(VOLUME REQUIRED)	
STORAGE CALCULATION			
STORAGE WILL BE PROVIDED IN MC-3500 STORMTECH CHAMBERS. CHAMBERS PROVIDE 24.5 CUBIC FEET OF STORAGE PER LINEAL FOOT (INCL. STONE STORAGE)			
FOR Vt =	18,041.47 CFT VOLUME,	736	LINEAL FEET REQ'D.
CHAMBER LENGTH = 90' =	7.5 FEET		THEREFORE
98	CHAMBERS ARE REQUIRED.		
RESTRICTOR SIZING CALCULATION			
Enter design depth of storage for the basin:			
ORIFICE AREA ("A") = Qa / (0.62xSORT(2GH)) =		0.131 square feet	
		18.86 square inches	
AREA = PI x R squared, SOLVE FOR R =		2.45 in. (radius)	
RESTRICTOR SIZE REQUIRED =		5 in.	
RESTRICTOR SIZE PROVIDED =			



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PROJECT TITLE

Middle School Addition

Detroit Country Day School

DRAWING TITLE

Stormwater Management Plan and Calculations

ISSUE DATES

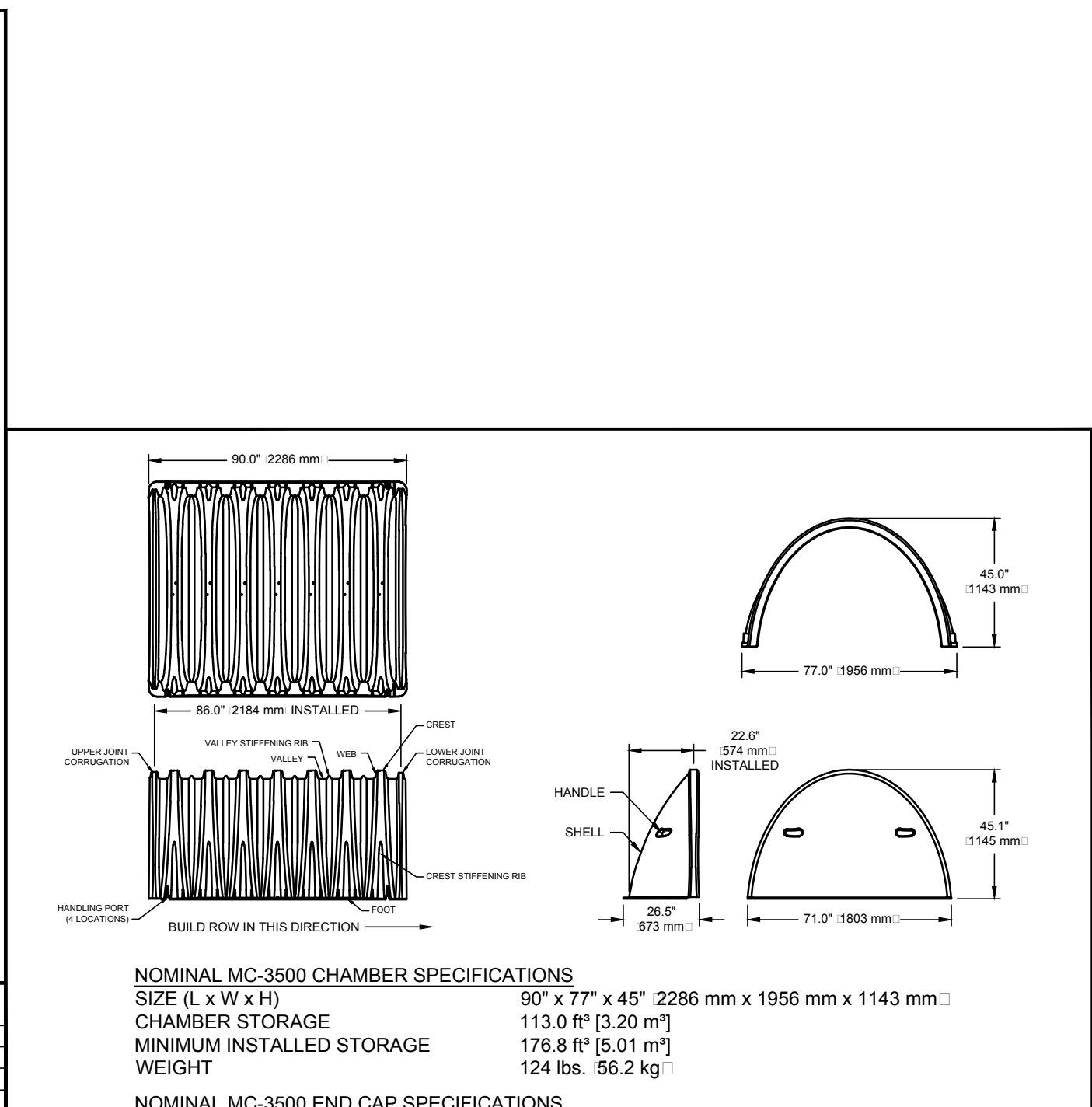
08-12-16	SITE PLAN REVIEW #2
06-22-16	OWNER REVIEW
04-01-16	SITE PLAN REVIEW
03-25-16	ARCH/QM REVIEW
DATE:	ISSUED FOR:
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APPROVED	TJS

PROJECT NO.


**TMP
SD NP16023**

DRAWING NO.

C1.9



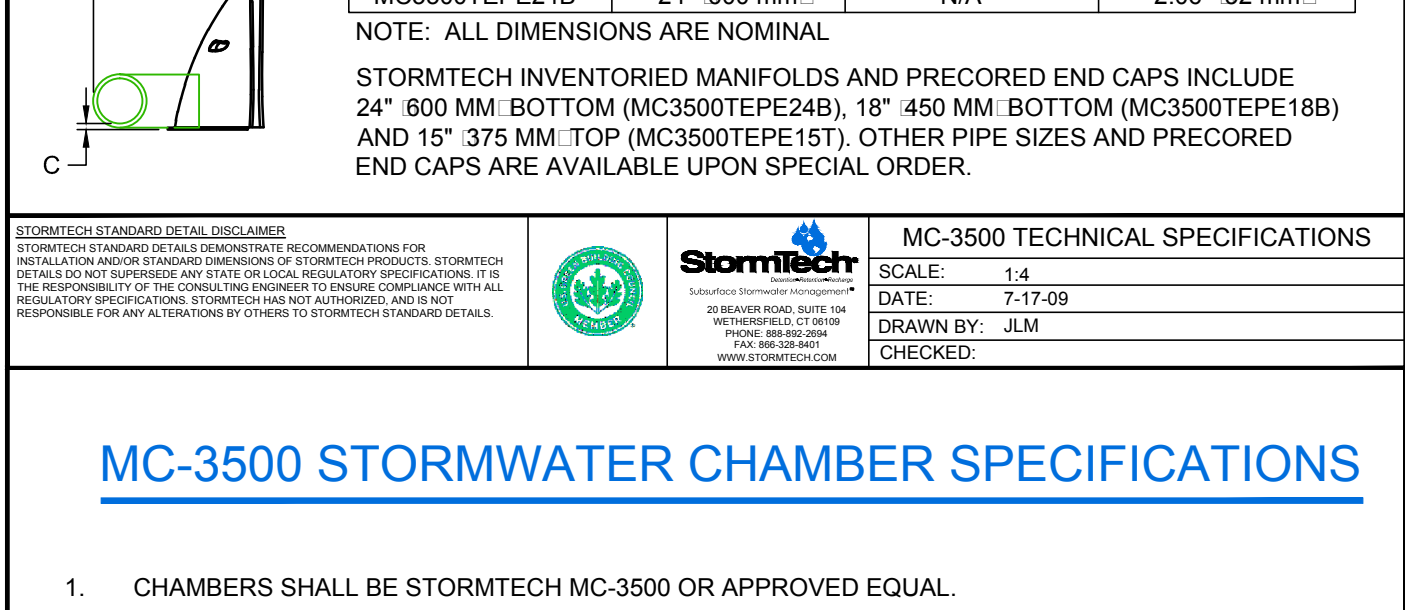
SIZE (L x W x H)	26.5" x 71" x 45" 673 mm x 1803 mm x 1143 mm
ENDCAP STORAGE	15.6 ft ² [0.44 m ²]
MINIMUM INSTALLED STORAGE	45.6 ft ² [1.29 m ²]
WEIGHT	43 lbs. 19.5 kg



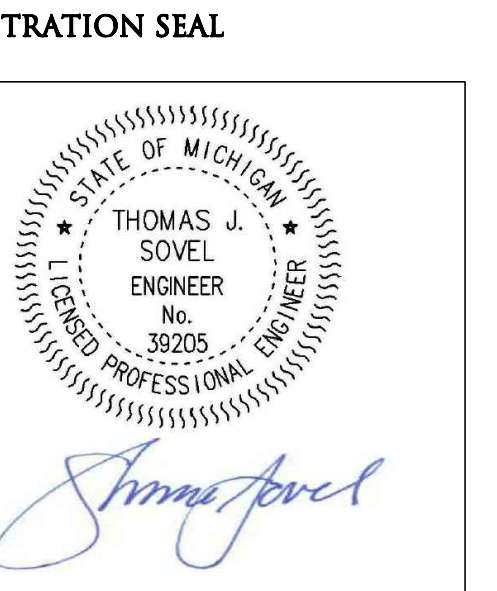
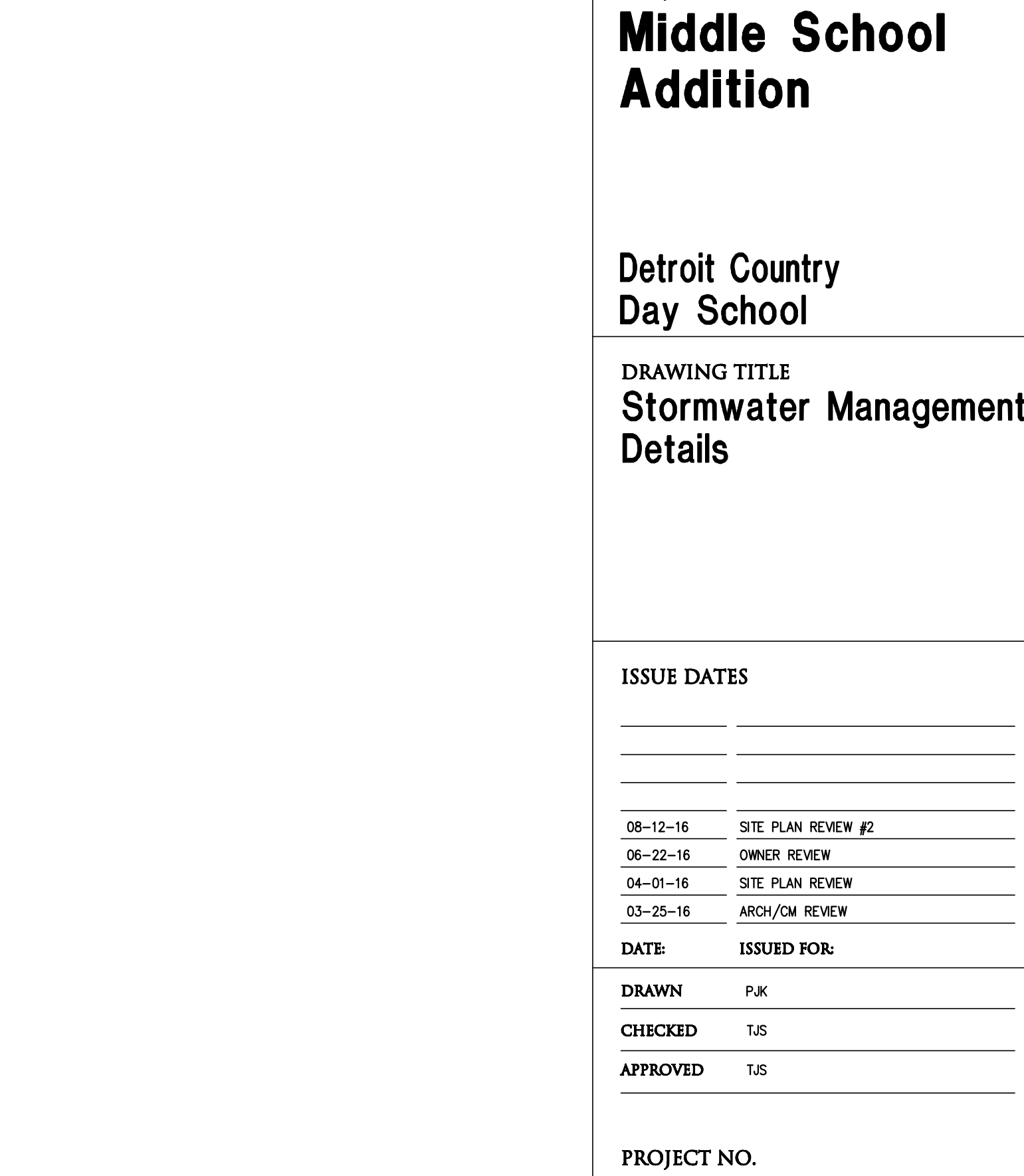
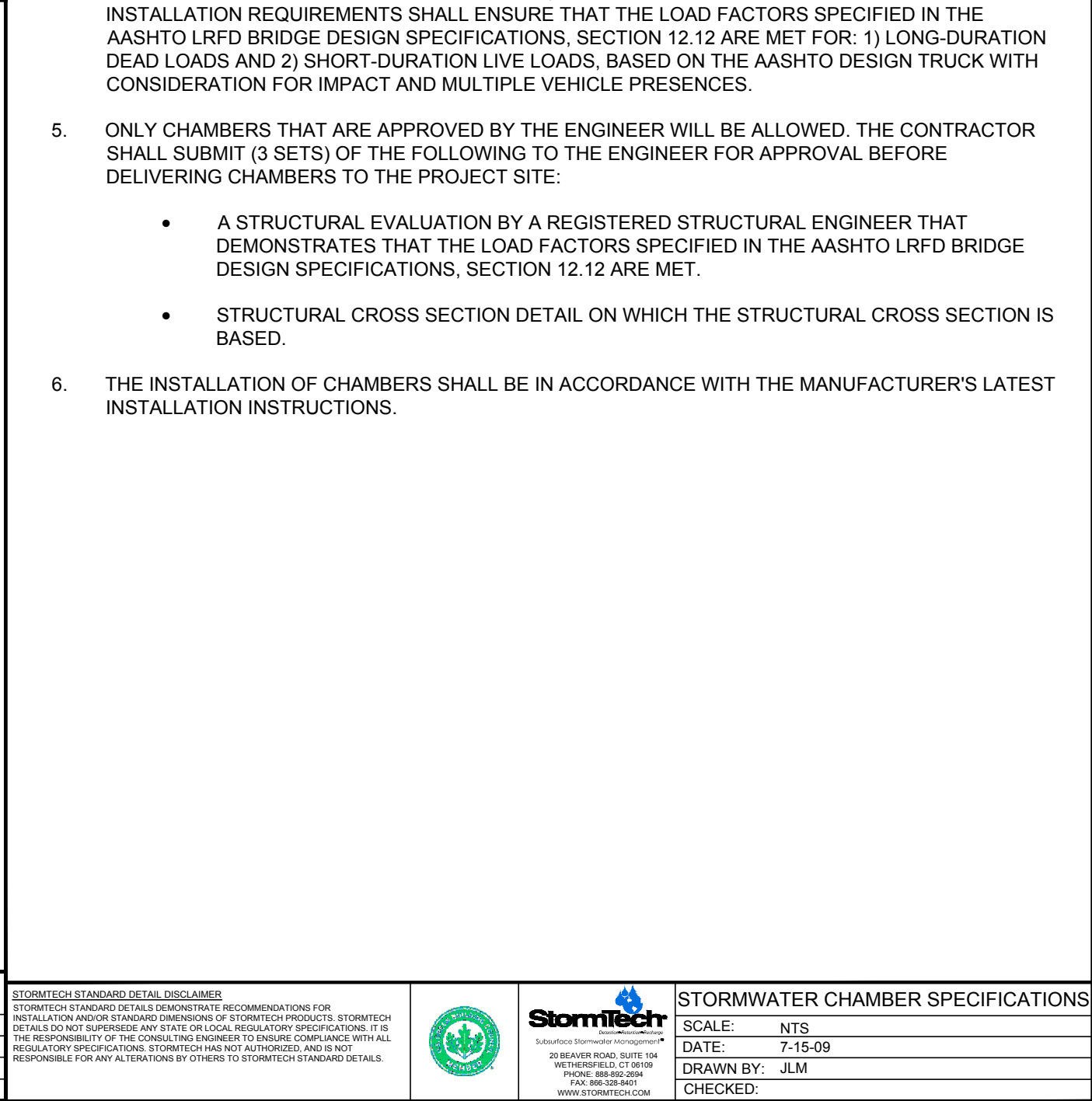
PART NUMBERS ENDING WITH "B" ARE FOR STUBS AT BOTTOM OF END CAP.

PART NUMBERS ENDING WITH "T" ARE FOR STUBS AT TOP OF END CAP.

PART#	STUB	B	C
MC3500T EPE12T	12" 300 mm	26.36" (670 mm)	N/A
MC3500T EPE12B	12" 300 mm	N/A	1.35" 34 mm
MC3500T EPE15T	15" 375 mm	23.39" 594 mm	N/A
MC3500T EPE15B	15" 375 mm	N/A	1.50" 38 mm
MC3500T EPE18T	18" 450 mm	20.03" 509 mm	N/A
MC3500T EPE18B	18" 450 mm	N/A	1.77" 45 mm
24" TOP STUB CORED ENDCAP NOT AVAILABLE			
MC3500T EPE24B	24" 600 mm	7.06" 180 mm	N/A



2. CHAMBERS SHALL BE MADE FROM VIRGIN, IMPACT-MODIFIED POLYPROPYLENE COPOLYMERS.
3. CHAMBER ROWS SHALL PROVIDE CONTINUOUS, UNOBSTRUCTED INTERNAL SPACE WITH NO INTERNAL SUPPORT PANELS THAT WOULD IMPEDE FLOW.
4. THE STRUCTURAL DESIGN OF THE CHAMBERS, THE STRUCTURAL BACKFILL AND THE



PROJECT TITLE

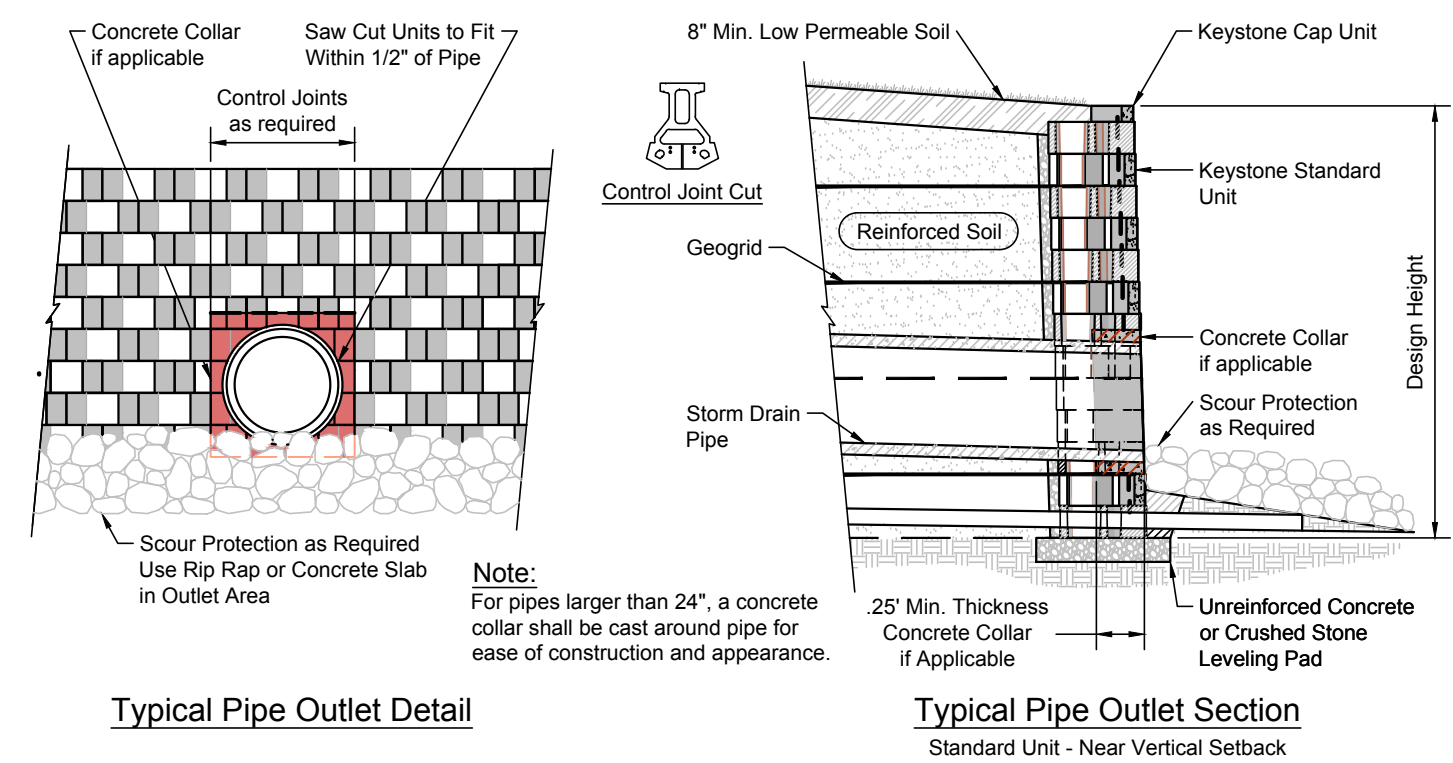
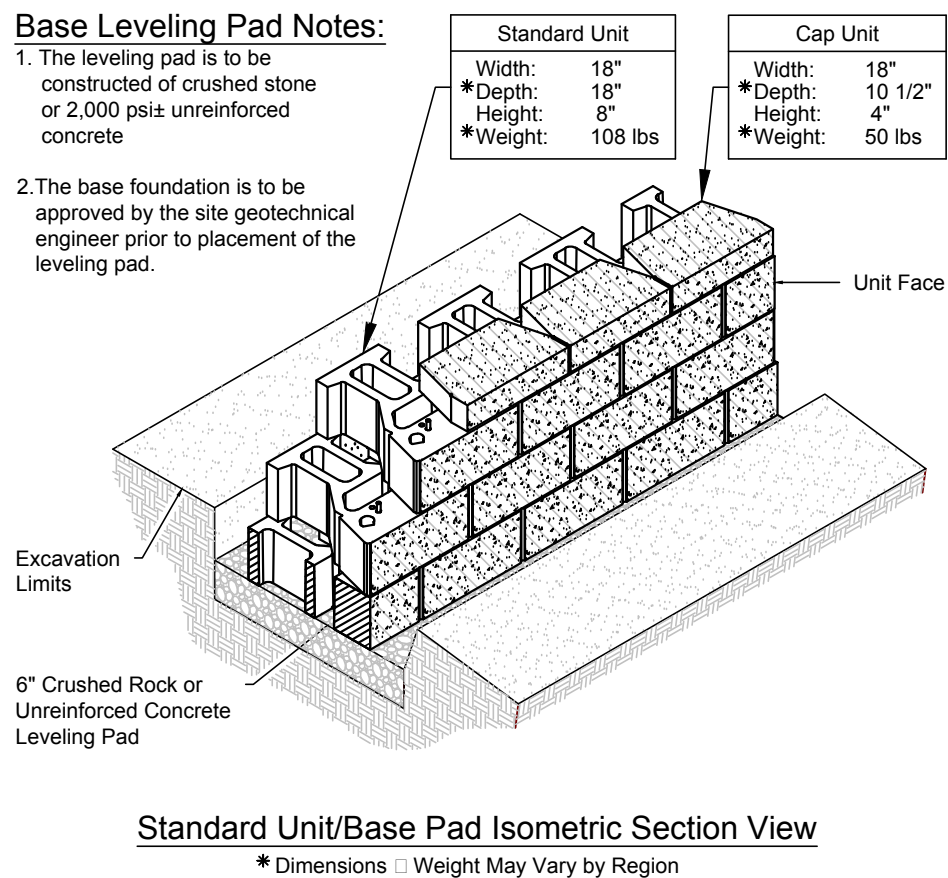
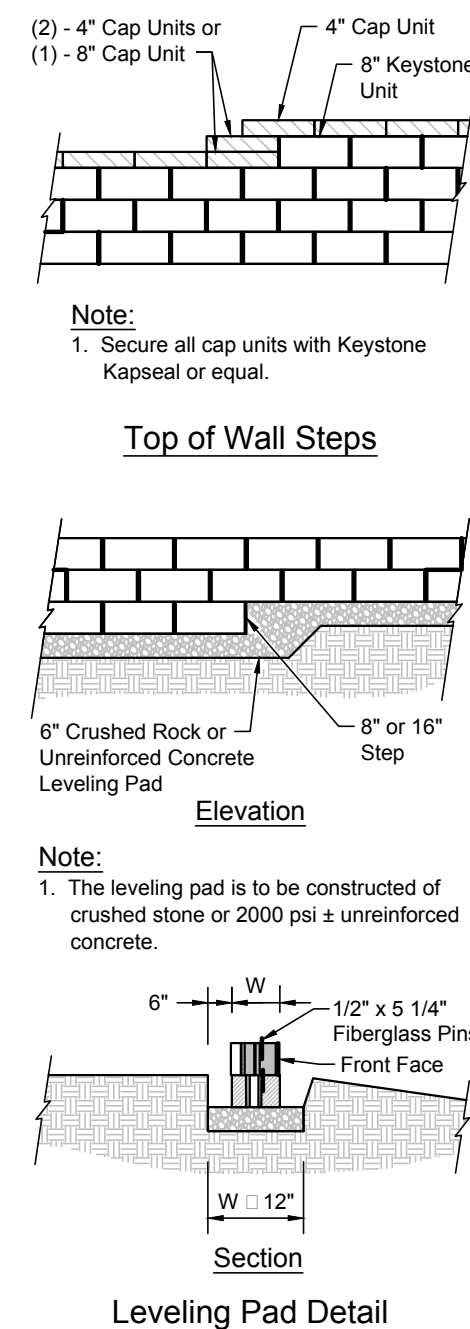
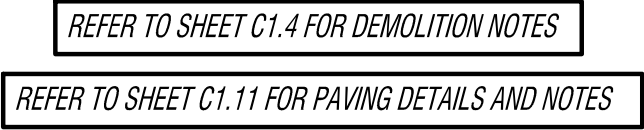
**Middle School
Addition**

**Detroit Country
Day School**


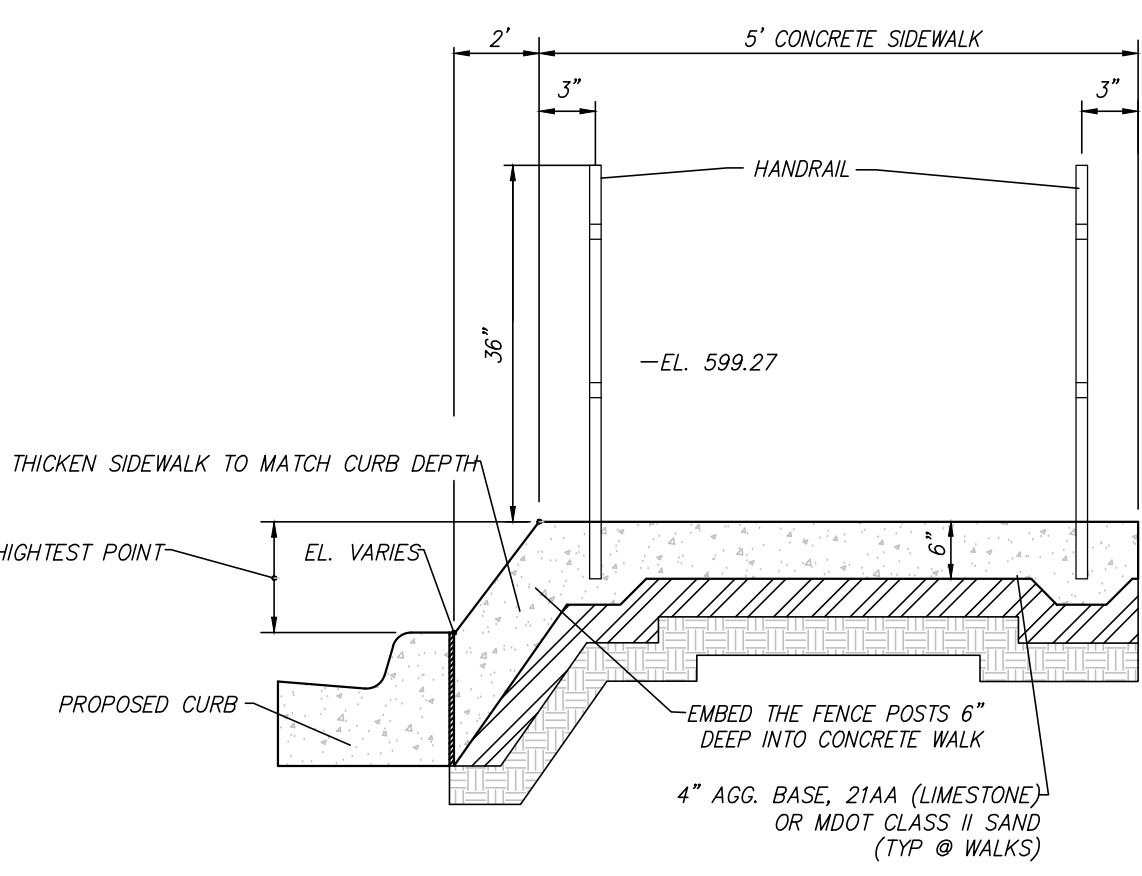
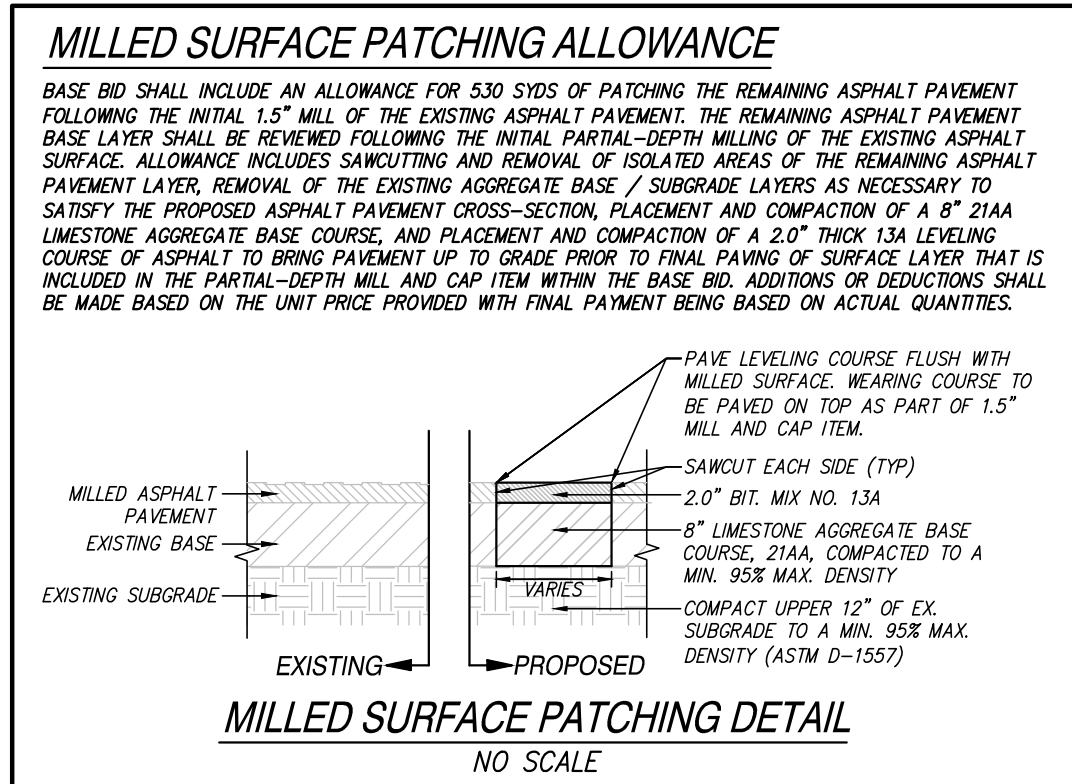
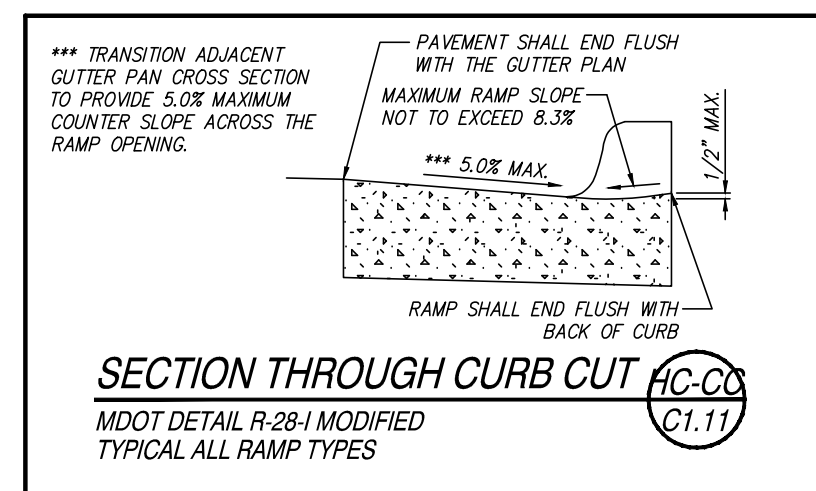
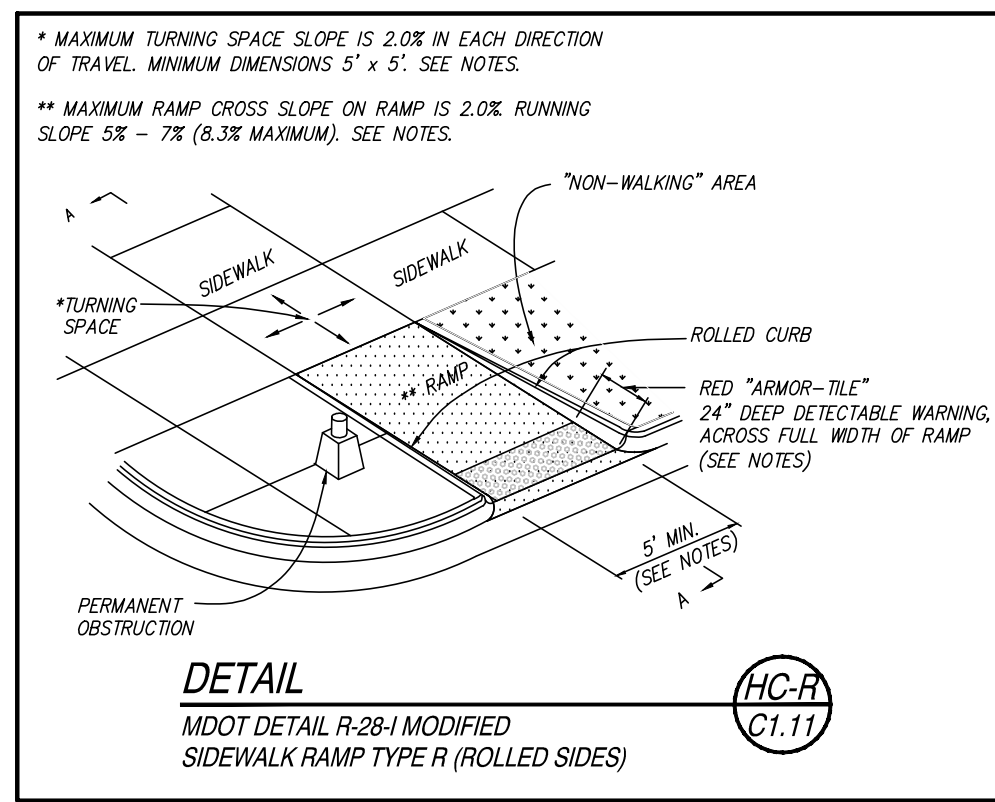
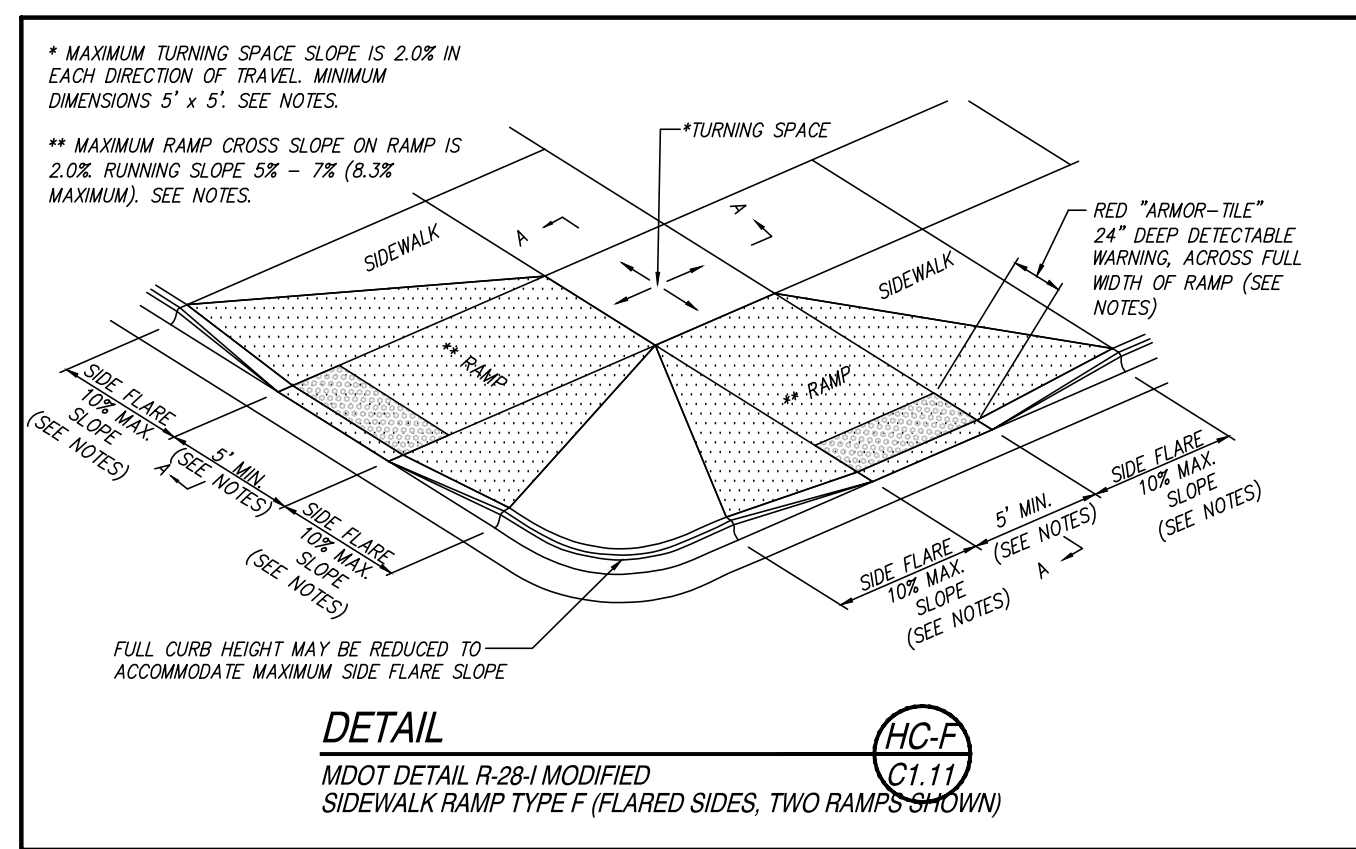
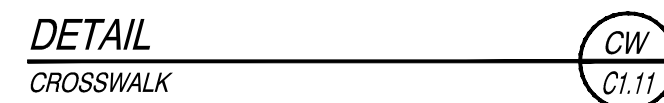
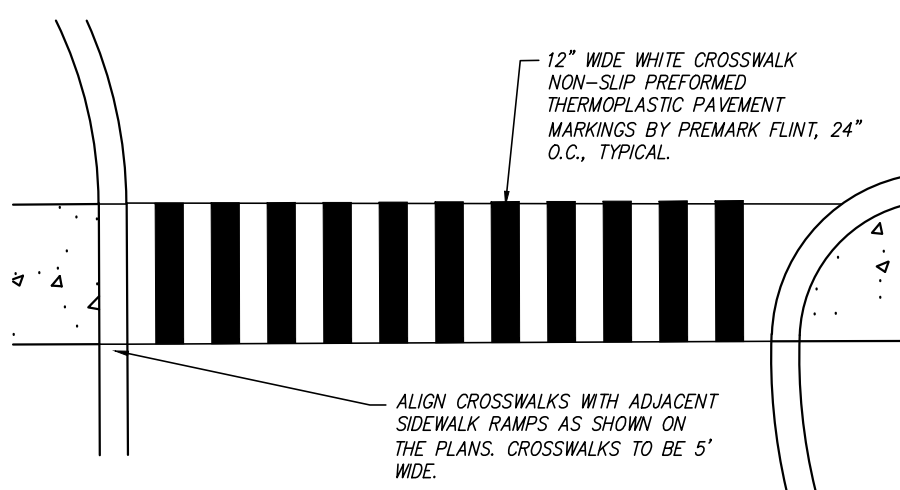
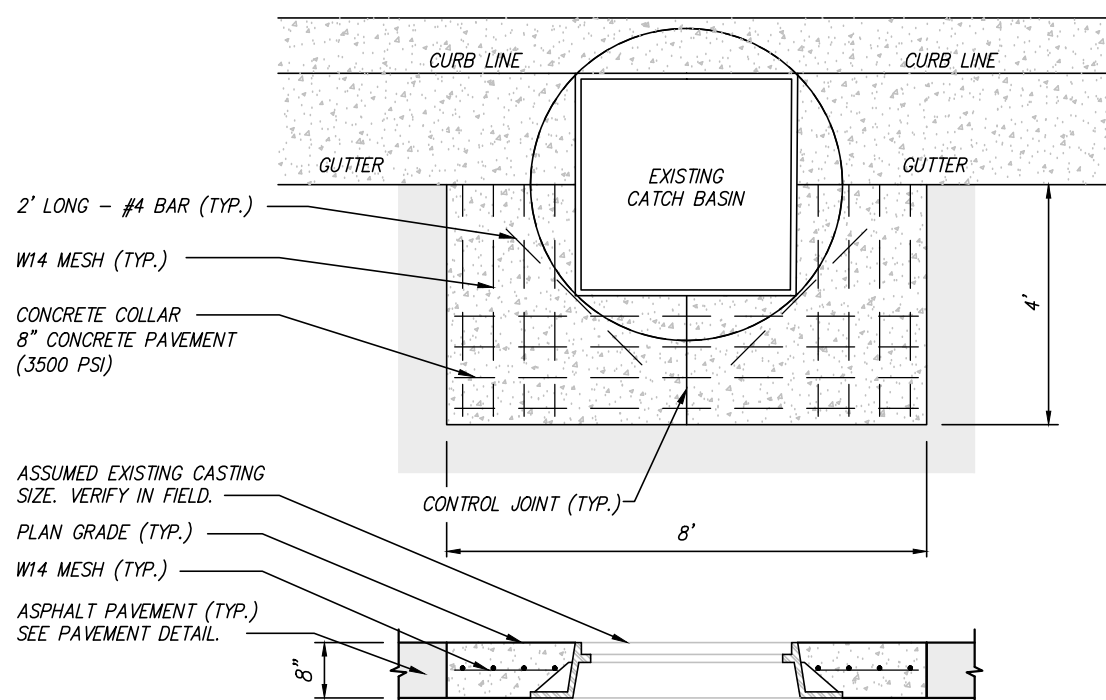
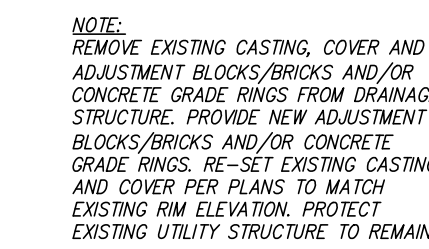
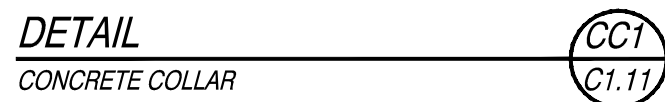
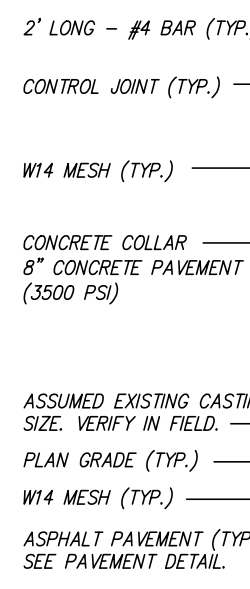
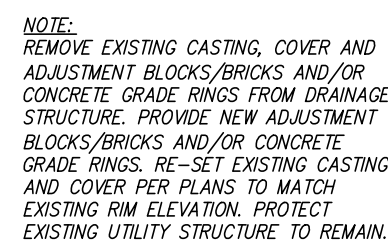
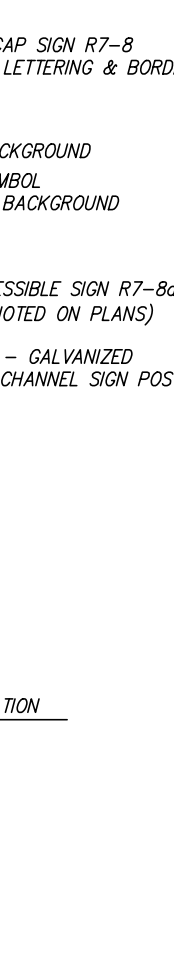
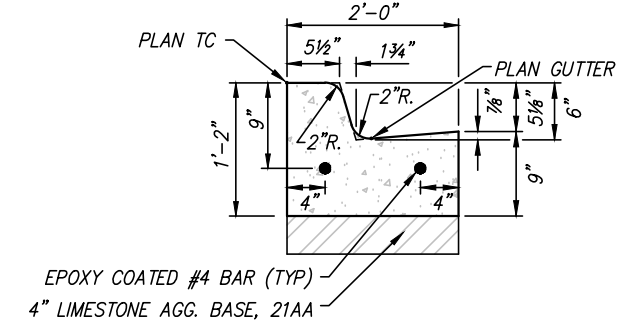
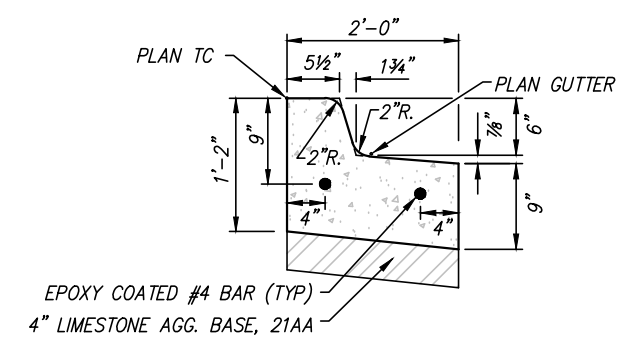
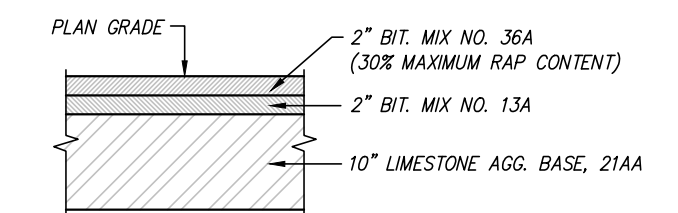
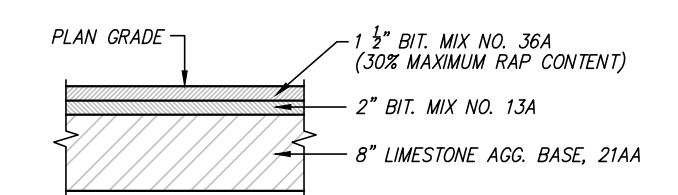
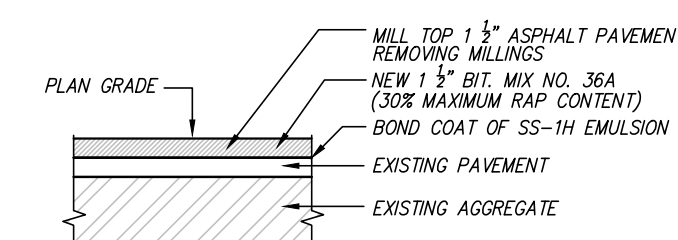
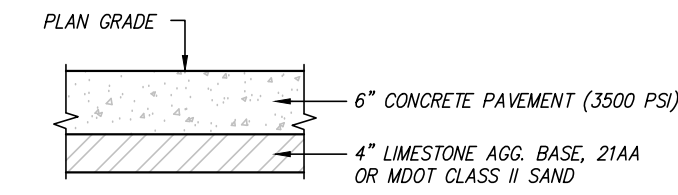
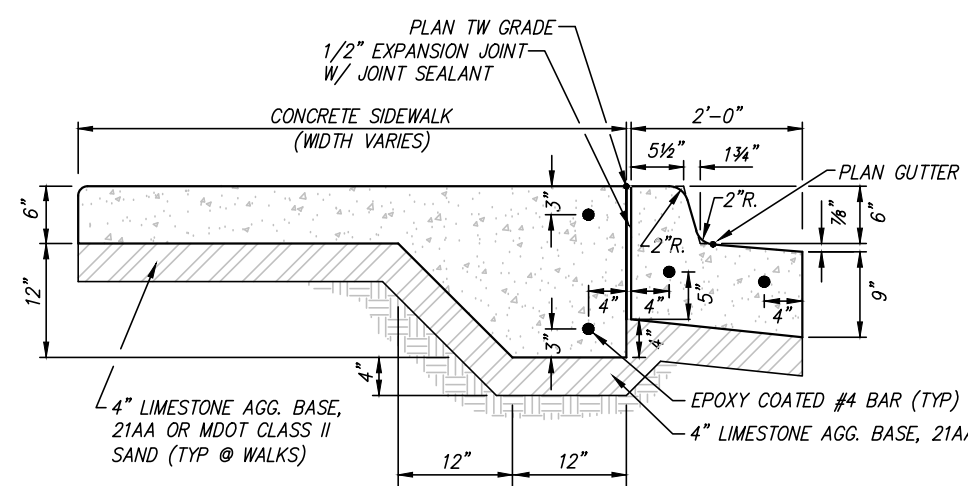
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08-12-16	SITE PLAN REVIEW #2
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PROJECT TITLE

Middle School Addition

**Detroit Country
Day School**

DRAWING TITLE

Paving Details

ISSUE DATES

08-12-16	SITE PLAN REVIEW #2
06-22-16	OWNER REVIEW
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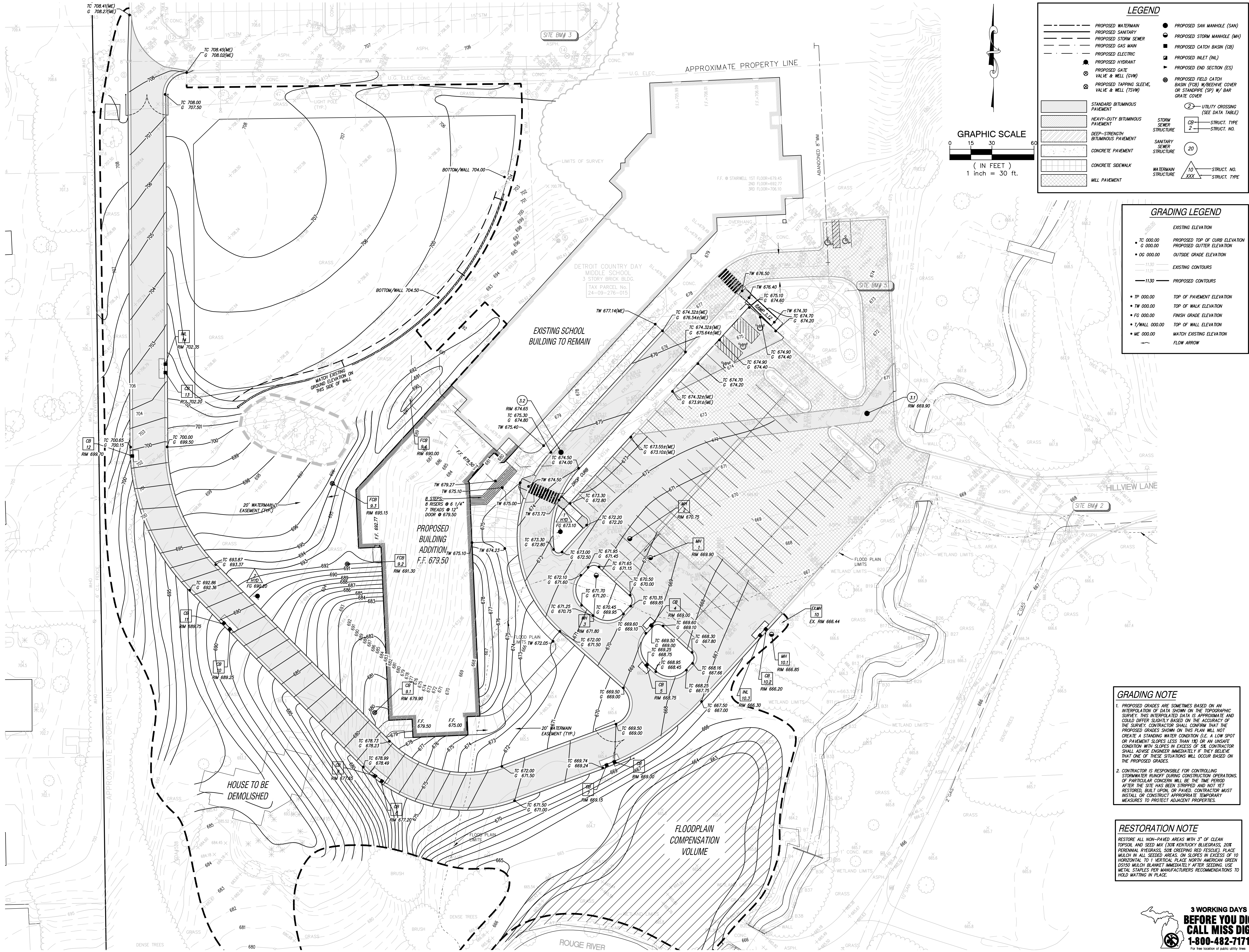
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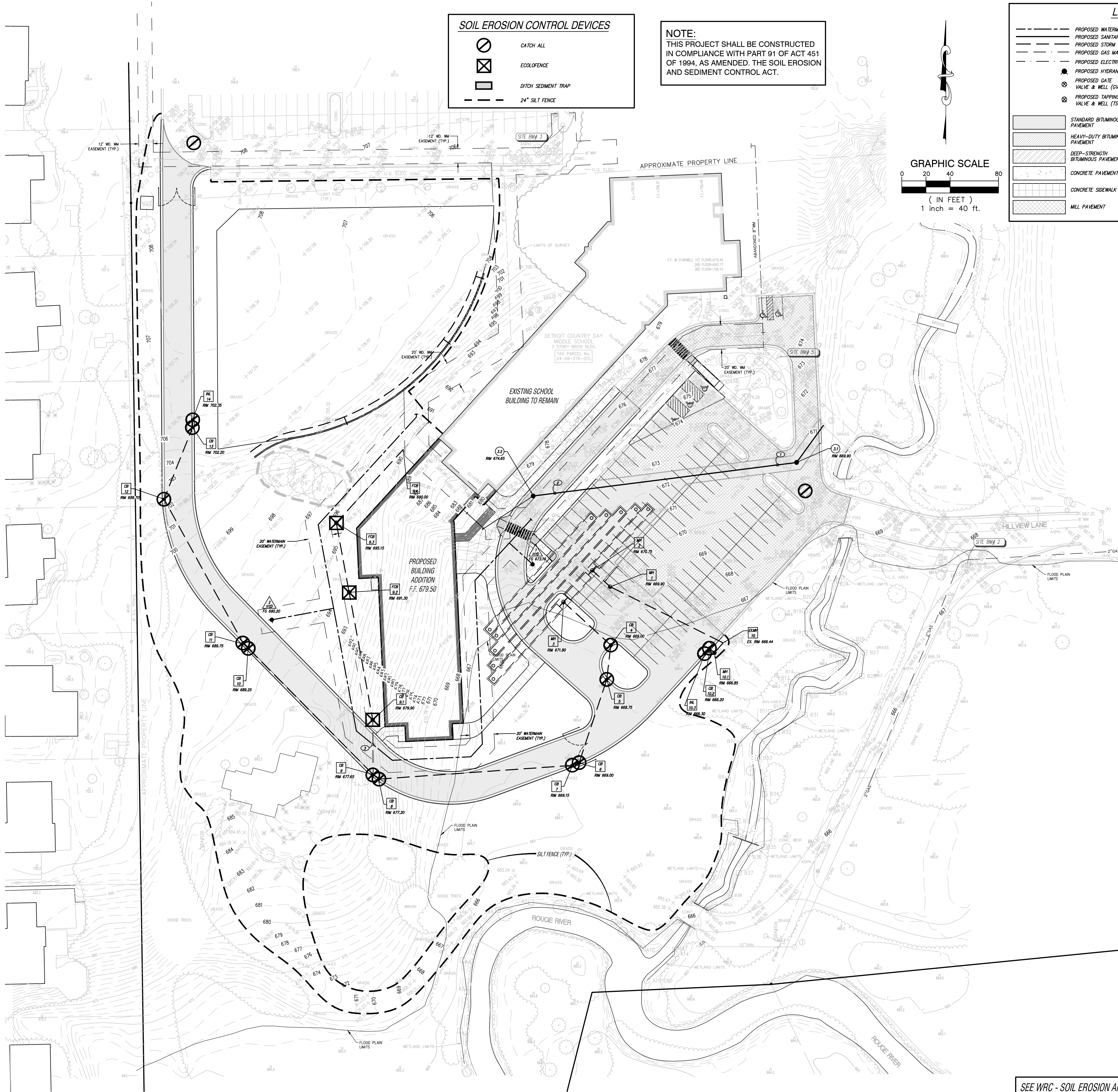
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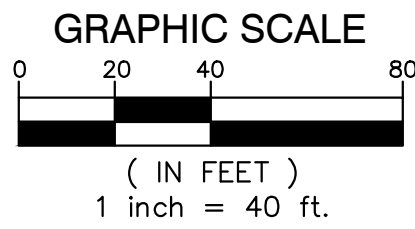




SOIL EROSION CONTROL DEVICES

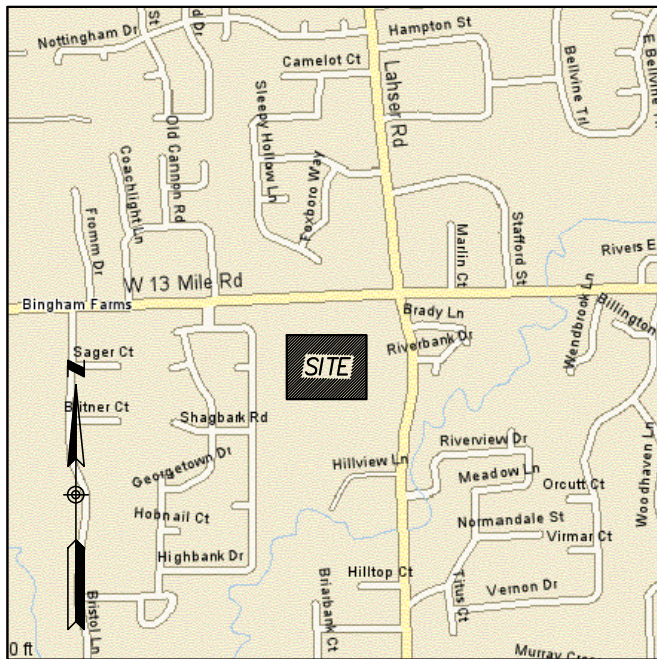
- CATCH ALL
- ECOFENCE
- DITCH SEDIMENT TRAP
- 24" SILT FENCE

NOTE:
THIS PROJECT SHALL BE CONSTRUCTED IN COMPLIANCE WITH PART 91 OF ACT 451 OF 1984, AS AMENDED. THE SOIL EROSION AND SEDIMENT CONTROL ACT.



LEGEND

- PROPOSED WATERMAIN
- PROPOSED SANITARY
- PROPOSED STORM SEWER
- PROPOSED GAS MAIN
- PROPOSED ELECTRIC
- PROPOSED HYDRANT
- PROPOSED GATE VALVE & WELL (GVW)
- PROPOSED TAPPING SLEEVE, VALVE & WELL (TSVW)
- PROPOSED SAN MANHOLE (SAN)
- PROPOSED STORM MANHOLE (MH)
- PROPOSED CATCH BASIN (CB)
- PROPOSED INLET (NL)
- PROPOSED END SECTION (ES)
- PROPOSED FIELD CATCH BASIN (FCB) W/BEEHIVE COVER OR STANDPIPE (SP) W/ BAR GRATE COVER
- UTILITY CROSSING (SEE DATA TABLE)
- STRUCT. TYPE
- STRUCT. NO.
- STORM SEWER STRUCTURE
- SANITARY SEWER STRUCTURE
- WATERMAIN STRUCTURE
- STANDARD BITUMINOUS PAVEMENT
- HEAVY-DUTY BITUMINOUS PAVEMENT
- DEEP-STRENGTH BITUMINOUS PAVEMENT
- CONCRETE PAVEMENT
- CONCRETE SIDEWALK
- MILL PAVEMENT



SOIL EROSION/SEDIMENTATION CONTROL CONSTRUCTION SEQUENCE

- INSTALL INLET FILTER AT EXISTING CATCH BASIN (#30). CONSTRUCT TEMPORARY CONSTRUCTION ACCESS.
 - CLEAR, GRUB AND STRIP TOPSOIL IN AREAS OF EARTH DISRUPTION.
 - COMPLETE LAND BALANCING OPERATIONS.
 - INSTALL UNDERGROUND UTILITIES.
 - PERFORM PAVING OPERATIONS, FINE GRADING, LANDSCAPING.
 - EROSION CONTROL MEASURES ARE NOT TO BE REMOVED UNTIL THE VILLAGE OF BEVERLY HILLS AND/OR OAKLAND COUNTY GRANTS ITS APPROVAL. INLET FILTERS SHALL BE PERIODICALLY INSPECTED AND CLEANED/REPLACED AS NECESSARY.
- ALL EROSION CONTROL MEASURES SHALL BE INSTALLED APPROXIMATELY ACCORDING TO THE FOLLOWING SEQUENCE OF CONSTRUCTION.
- PROJECT COMMENCEMENT ON OR ABOUT SEPTEMBER 15, 2016.
- SCHEDULE**
- | | |
|---|----------|
| A. INSTALL INLET FILTER AND CONSTRUCT ACCESS DRIVE. | 1 DAY |
| B. STRIP AND STOCKPILE TOPSOIL AND ROUGH GRADE SITE. | 1 WEEK |
| C. INSTALL UNDERGROUND UTILITIES. | 1 WEEK |
| D. FINE GRADE SITE, PAVE, INSTALL LANDSCAPING AND ESTABLISH VEGETATION. | 4 WEEKS |
| E. CONSTRUCT BUILDING ADDITION | 6 MONTHS |
| F. CLEAN PAVEMENTS, WALKS, CULVERTS, AND WATERCOURSES OF ALL ACCUMULATED SEDIMENT IN CONJUNCTION WITH REMOVING ALL TEMPORARY DEVICES. | 1 WEEK |
- PROJECT COMPLETION ON OR ABOUT NOVEMBER 15, 2017.

SOIL EROSION/SEDIMENTATION CONTROL NOTES

- ALL EROSION AND SEDIMENT CONTROL WORK SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE VILLAGE OF BEVERLY HILLS AND/OR OAKLAND COUNTY.
- DAILY INSPECTIONS SHALL BE MADE BY THE CONTRACTOR TO DETERMINE EFFECTIVENESS OF EROSION AND SEDIMENTATION CONTROL DEVICES, AND ANY NECESSARY REPAIRS SHALL BE PERFORMED WITHOUT DELAY.
- EROSION AND ANY SEDIMENT FROM WORK ON THIS SITE SHALL BE CONTAINED ON THE SITE AND NOT ALLOWED TO COLLECT ON ANY OFF-SITE AREAS OR IN WATERWAYS. WATERWAYS INCLUDE BOTH NATURAL AND MANMADE OPEN DITCHES, STREAMS, STORM DRAINS, LAKES AND PONDS.
- EROSION AND SEDIMENT CONTROL DEVICES ARE TO BE PLACED PRIOR TO OR AS THE FIRST STEP IN CONSTRUCTION; SEDIMENT CONTROL PRACTICES WILL BE APPLIED AS A PERIMETER DEFENSE AGAINST ANY TRANSPORTING OF SILT OFF THE SITE.
- CONTRACTOR SHALL APPLY TEMPORARY EROSION AND SEDIMENTATION CONTROL DEVICES AS REQUIRED AND AS DIRECTED ON THESE PLANS. HE SHALL REMOVE TEMPORARY DEVICES AS SOON AS PERMANENT STABILIZATION OF SLOPES, DITCHES, AND OTHER EARTH CHANGES HAVE BEEN ACCOMPLISHED AND APPROVED BY THE VILLAGE OF BEVERLY HILLS AND/OR OAKLAND COUNTY.
- DEBRIS FROM PROJECT WILL BE LEFT ON THE SITE BY DELIVERY OR CONSTRUCTION VEHICLES THROUGH THE USE OF CLEAN STONE EXITS. SHOULD THE STONE BECOME LESS EFFECTIVE IT WILL BE REPLACED. ALL CONSTRUCTION TRAFFIC WILL USE THE CLEAN STONE EXIT.
- DUST CONTROL WILL BE EXERCISED AT ALL TIMES WITHIN THE PROJECT BY THE CONTRACTORS. SPRINKLING TANK TRUCKS WILL BE AVAILABLE AT ALL TIMES TO BE USED ON HAUL ROUTES OR OTHER PLACES WHERE DUST BECOMES A PROBLEM.
- IMMEDIATELY AFTER SEEDING, MULCH ALL SEEDING AREAS WITH UNWEATHERED SMALL GRAIN STRAW OR HAY. SPREAD UNIFORMLY AT A RATE OF 1 1/2 TO 2 TONS PER ACRE OR 0.10 POUNDS PER SQUARE FOOT. ANCHOR MULCH WITH DISC TYPE MULCH ANCHORING TOOL.
- ALL MUD, DIRT, AND DEBRIS TRACKED ONTO EXISTING ROADS FROM THIS SITE SHALL BE PROMPTLY REMOVED BY THE CONTRACTOR OR BUILDER. ALL MUD, DIRT, AND DEBRIS TRACKED OR SPILLED ONTO PAVED SURFACES WITHIN THIS SITE SHALL BE PROMPTLY REMOVED BY THE CONTRACTOR.
- PERMANENT SOIL EROSION CONTROL DEVICES FOR ALL SLOPES, CHANNELS, DITCHES OR ANY DISTURBED LAND AREA SHALL BE COMPLETED WITHIN 15 CALENDAR DAYS AFTER FINAL GRADING OR FINAL EARTH CHANGES HAVE BEEN COMPLETED. WHEN IT IS NOT POSSIBLE TO PERMANENTLY STABILIZE A DISTURBED AREA AFTER AN EARTH CHANGE HAS BEEN COMPLETED, OR WHERE SIGNIFICANT EARTH CHANGE ACTIVITY CEASES TEMPORARY SOIL EROSION CONTROL DEVICES SHALL BE IMPLEMENTED WITHIN 30 CALENDAR DAYS. ALL TEMPORARY SOIL EROSION CONTROL DEVICES SHALL BE MAINTAINED UNTIL PERMANENT SOIL EROSION DEVICES ARE IMPLEMENTED AND/OR ESTABLISHED. ALL PERMANENT SOIL EROSION CONTROL DEVICES WILL BE IMPLEMENTED AND ESTABLISHED BEFORE A CERTIFICATE OF INSURANCE IS ISSUED.
- ALL CONTRACTORS ARE TO KEEP EXCAVATED MATERIAL ON SITE. PARTICULAR CARE SHOULD BE TAKEN WORKING ALONG THE PERIMETER OF THE SITE. IN NO EVENT SHALL THE WORK AREA EXTEND BEYOND THE LIMITS INDICATED ON THE PLANS.
- THE SOIL EROSION CONTROLS WILL BE MAINTAINED WEEKLY AND AFTER EVERY STORM EVENT BY THE CONTRACTOR.

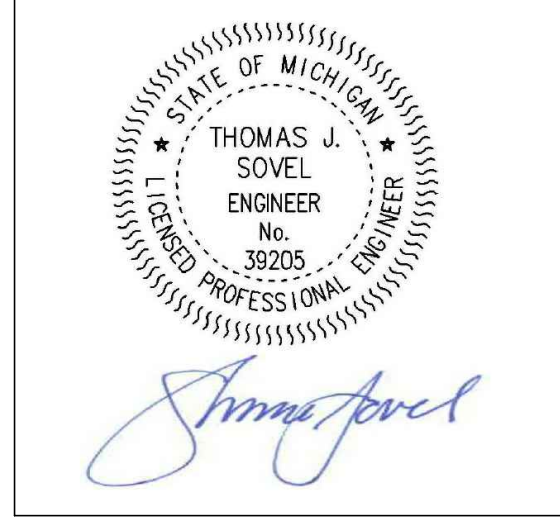


SOIL TYPE ON SITE
GROSS ACREAGE DISTURBED DURING SITE DEVELOPMENT: ± 4.4 AC
32B - BLOUNT LOAM, 0 TO 4 PERCENT SLOPES
43 - SLOAN-MARLETTE ASSOCIATION

SEE WRC - SOIL EROSION AND SEDIMENTATION CONTROL DETAILS ON SHEET C1.20



REGISTRATION SEAL



CONSULTANT



PROJECT TITLE

Middle School Addition

Detroit Country Day School

DRAWING TITLE

Soil Erosion and Sedimentation Control Plan

ISSUE DATES

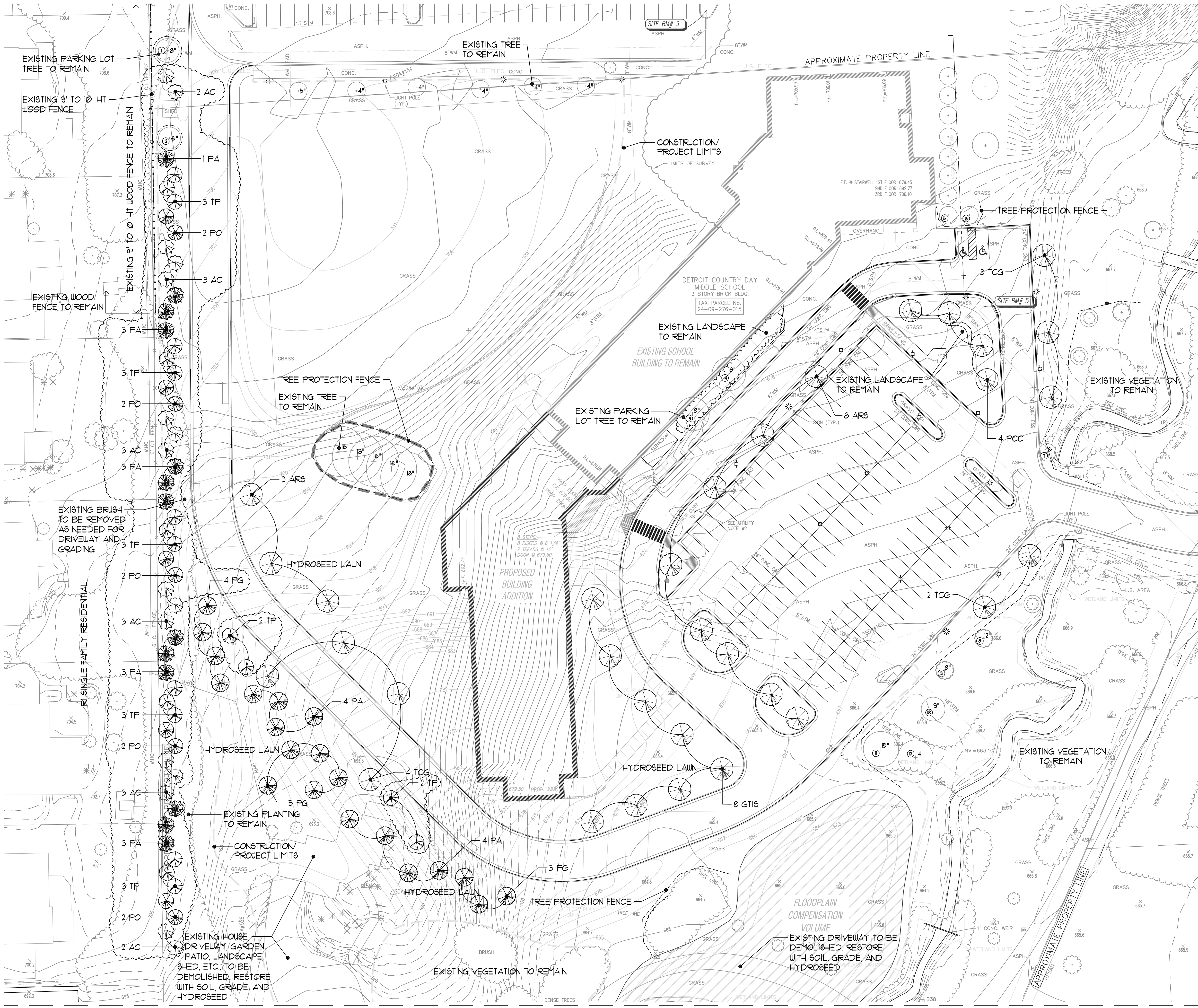
08-12-16	SITE PLAN REVIEW #2
06-22-16	OWNER REVIEW
04-01-16	SITE PLAN REVIEW
03-25-16	ARCH/QM REVIEW
DATE:	ISSUED FOR:
DRAWN:	PJK
CHECKED:	TJS
APPROVED:	TJS

PROJECT NO.

TMP SD NP16023

DRAWING NO.

C1.13



Parking / Driveway
Parking Lot / Driveway: 72,342 SF
Trees Required: 72,342 / 2,000 = 37 Trees
Existing Trees to Remain: 12
Proposed Trees: 25

West Landscape Buffer
Existing and New 9' to 10' Ht Wood Fence

Site Size
SF Area: 261,213 SF
Acres: 5.997

Legend:

- Existing Tree to Remain
- Proposed Shade Lot Tree
- Proposed Evergreen Tree



REGISTRATION SEAL



CONSULTANT
LANDSCAPE
ARCHITECTURE

MICHAEL J. DUL
& ASSOCIATES, INC

212 DAINES STREET
BIRMINGHAM
MICHIGAN 48009

P 248 644 3410
F 248 644 0819

info@mjdul.com

PROJECT TITLE
**Middle School
Addition**

22400 Hillview Lane
Beverly Hills, MI 48025

Detroit Country
Day School

DRAWING TITLE

Overall Site Plan

ISSUE DATES

8-10-18	SITE PLAN REVISIONS
8-8-18	SITE PLAN REVISIONS
6-6-18	SITE PLAN SUBMITTAL RESPONSE
4-1-18	SITE PLAN APPROVAL

DATE: ISSUED FOR:

DRAWN

MC

CHECKED

MD

APPROVED

MD

PROJECT NO.

TMP
SD NP16023

DRAWING NO.

L1



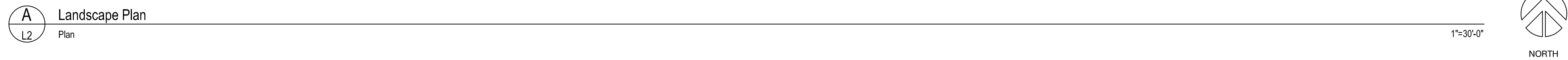
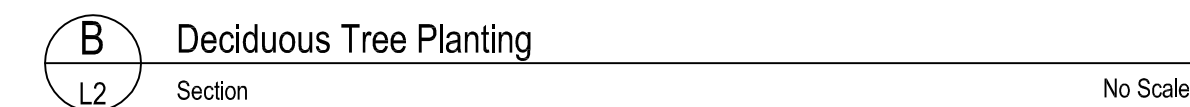
Sym.	Qty.	Botanical Name	Common Name	Size	Root	Comments
Deciduous Trees						
ARS	11	<i>Acer rubrum</i> 'Sunset'	Sunset Red Maple	3" cal.	B4B	Full, matched heads
GT16	8	<i>Gleditsia Triacanthos</i> var. <i>Inermis</i> 'Skyline'	Skyline Thornless Honeylocust	3" cal.	B4B	Full, matched heads
PCC	4	<i>Fyrus calleryana</i> 'Cleveland Select'	Cleveland Select Callery Pear	3" cal.	B4B	Full, matched heads
TCG	9	<i>Tilia cordata</i> 'Greenspire'	Greenspire Littleleaf Linden	3" cal.	B4B	Full, matched heads
Evergreen Trees						
AC	16	<i>Abies concolor</i>	Concolor Fir	6-7' ht.	B4B	Single straight trunk, branched to ground
PA	21	<i>Picea Abies</i>	Norway Spruce	6-7' ht.	B4B	Single straight trunk, branched to ground
PO	10	<i>Picea omorika</i>	Serbian Spruce	6-7' ht.	B4B	Single straight trunk, branched to ground
PG	12	<i>Picea Glauca</i>	White Spruce	6-7' ht.	B4B	Single straight trunk, branched to ground
TP	19	<i>Thuja plicata</i>	Western Red Cedar	6-7' ht.	B4B	Single straight trunk, branched to ground
Materials						
Planting mix - 3 parts well drained screened imported topsoil, to 1 part clean sand, to 1 part Canadian sphagnum peat moss, to 1 part natural compost (weed-free), and 10% poultry manure						
Shredded hardwood bark mulch (seasoned, dark brown) 4" depth in ALL PLANTING BEDS (SHRUB AND TREE).						
Hydroseed lawn						

- 1) ALL NEW AND EXISTING LANDSCAPE TO BE MAINTAINED REGULARLY UNDER CURRENT DETROIT COUNTRY DAY MAINTENANCE PROGRAM AND CONTRACTS.
- 2) ALL DISEASED, DAMAGED, OR DEAD MATERIALS SHALL BE REMOVED AND REPLACED. ALL LANDSCAPED AREAS SHALL BE KEPT FREE FROM REFUSE AND DEBRIS. PLANT MATERIALS AND LAWN SHALL BE MAINTAINED IN A HEALTHY GROWING CONDITION, NEAT AND ORDERLY IN APPEARANCE.
- 3) ALL LANDSCAPE TO BE IRRIGATED WITH AUTOMATIC IRRIGATION SYSTEM.

1.) ALL LANDSCAPE TO BE IRRIGATED WITH AUTOMATIC IRRIGATION SYSTEM.

2.) DURING INSTALLATION AND CONSTRUCTION, THE CONTRACTOR MUST PROVIDE A TEMPORARY WATERING METHOD FOR ALL PLANT MATERIAL UNTIL AUTOMATED IRRIGATION SYSTEM IS UP AND RUNNING FULLY.

- 1.) ALL EXISTING AND/OR PROPOSED SITE UTILITIES SHALL BE FIELD LOCATED, FLAGGED, AND VERIFIED PRIOR TO ANY LANDSCAPE OR IRRIGATION CONSTRUCTION.
- 2.) ALL SPECIFIED AND INSTALLED PLANT MATERIAL SHALL BE IN FULL AND STRICT ACCORDANCE WITH AMERICAN NURSERYMAN STANDARDS (LATEST EDITION) AND BE:
 - A.) NURSERY GROWN.
 - B.) STATE DEPARTMENT OF AGRICULTURE INSPECTED AND APPROVED.
 - C.) NO. 1 GRADE WITH STRAIGHT, UNSCARRED TRUNKS & WELL-DEVELOPED UNIFORM CROWNS ON TREES.
 - D.) WARRANTED FOR A MIN. 1 YEAR FROM DATE OF ACCEPTANCE BY OWNER
- 3.) SPECIFIED PLANTING SOIL MIXTURE FOR ALL SPECIFIED BEDS SHALL BE THREE (3) PARTS IMPORTED WELL-DRAINED, SCREENED ORGANIC TOPSOIL, TO ONE (1) PART IMPORTED CLEAN SAND, TO ONE (1) PART CANADIAN SPHAGNUM PEAT MOSS, TO ONE (1) PART NATURAL COMPOST (WEED-FREE)-COMPLETE WITH 10% NATURAL POULTRY MANURE. INSTALL 8-12" MINIMUM DEPTH IN ALL PERENNIAL, GROUNDCOVER, ANNUAL, AND SHRUB BEDS. ALL BEDS MUST BE EXCAVATED, REMOVE AND DISPOSE (OFF-SITE) EXISTING EARTH/SOIL TO ACCEPT PROPOSED PLANT MIXTURE.
- 4.) SPECIFIED PLANTING SOIL MIXTURE FOR ALL TREES, SHRUBS, HEDGES, AND VINES SHALL BE FIVE (5) PARTS IMPORTED WELL-DRAINED SCREENED ORGANIC TOPSOIL, TO ONE (1) PART SPHAGNUM PEAT MOSS, SEE PLANTING DETAILS.
- 5.) PROPOSED SHREDDED HARDWOOD BARK MULCH SHALL BE SEASONED FOR A MINIMUM 6 MONTHS, DARK BROWN IN COLOR, AND INSTALLED 4" DEEP UNDER ALL PROPOSED TREES, 4" DEEP IN ALL SHRUB AND TREE BEDS, AND 4" DEEP IN ALL PERENNIAL AND GROUNDCOVER BEDS.
- 6.) ALL PROPOSED LAWN AND LANDSCAPE AREAS SHALL BE WATERED BY AN AUTOMATICALLY OPERATED SPRINKLER IRRIGATION SYSTEM.
- 7.) ALL DEAD AND UNACCEPTABLE PLANT MATERIALS SHALL BE REPLACED BY THE LANDSCAPE CONTRACTOR DURING THE WARRANTY PERIOD. THE WARRANTY PERIOD SHALL BE ONE (1) YEAR FROM THE ACCEPTANCE OF INSTALLATION ISSUED BY THE HOMEOWNER OR THEIR REPRESENTATIVE.
- 8.) ANY HARDWOODS WITH A D.B.H. OF 4" CAL. OR GREATER SHALL BE SAVED IF POSSIBLE.
- 9.) ALL PLANT I.D. TAGS ARE TO REMAIN UNTIL ALL PLANTS ARE ACCEPTED ON SITE.



MICHAEL J. DUL
& ASSOCIATES, INC

P	248	644	3410
F	248	644	0819

PROJECT TITLE
**Middle School
Addition**

Detroit Country
Day School

Plant List & Details

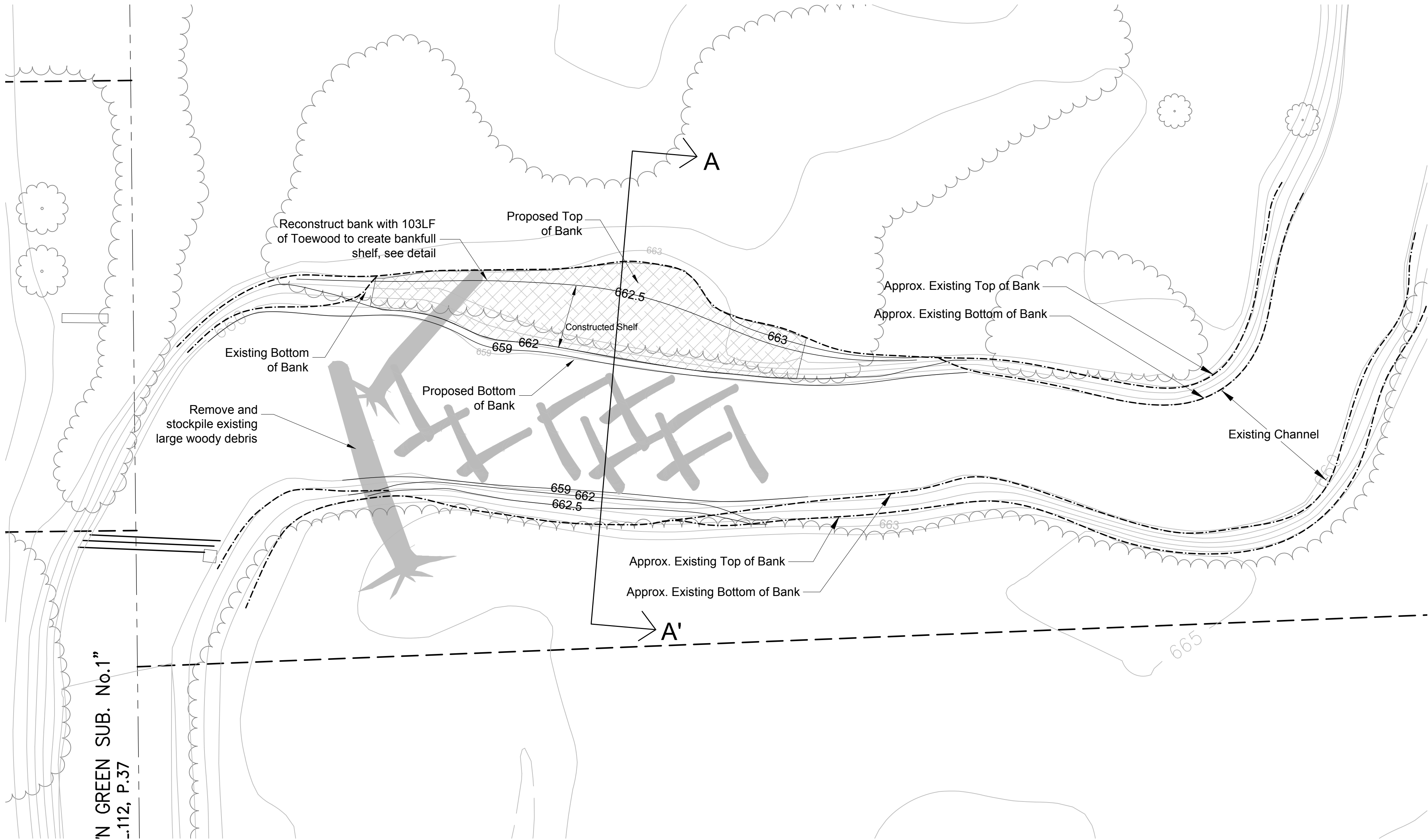
8-10-16	SITE PLAN REVISIONS
8-8-16	SITE PLAN REVISIONS
8-6-16	SITE PLAN SUBMITTAL RESPONSE
4-1-16	SITE PLAN APPROVAL

PROJECT NO.

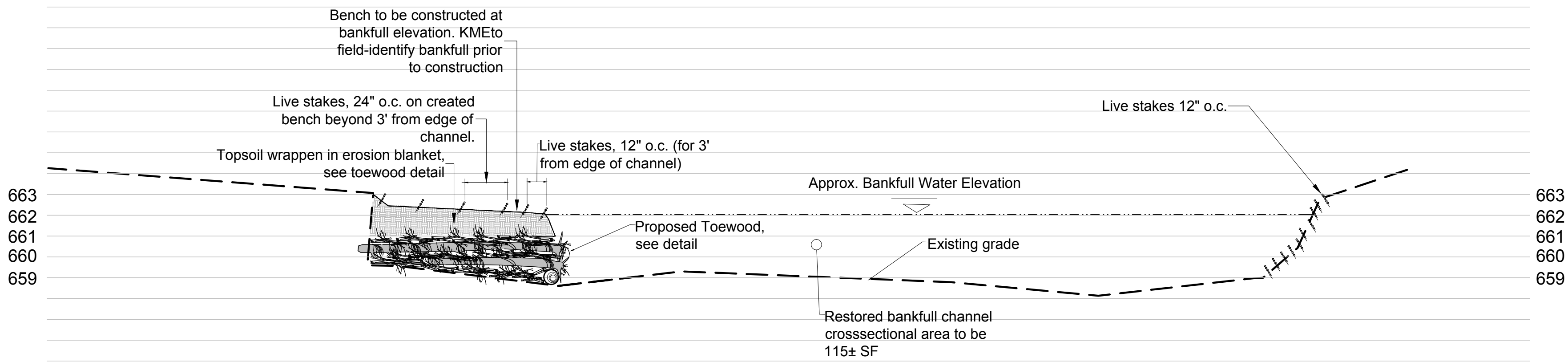
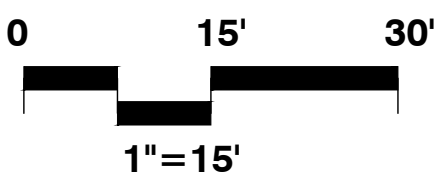
DRAWING NO.

L2

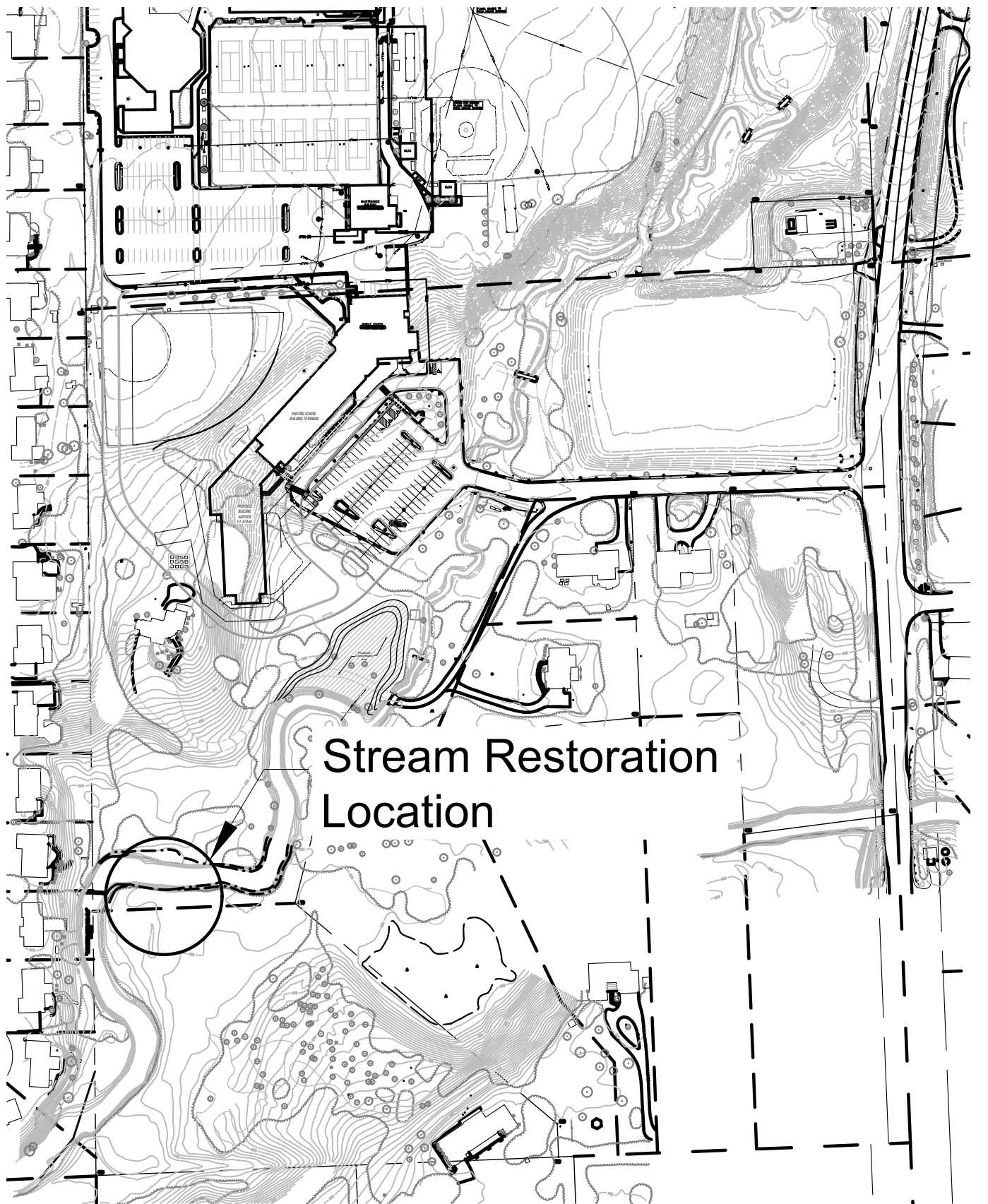
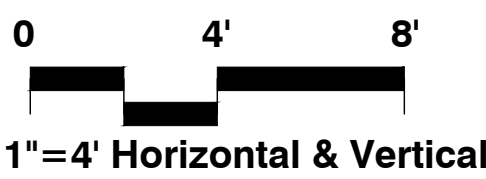




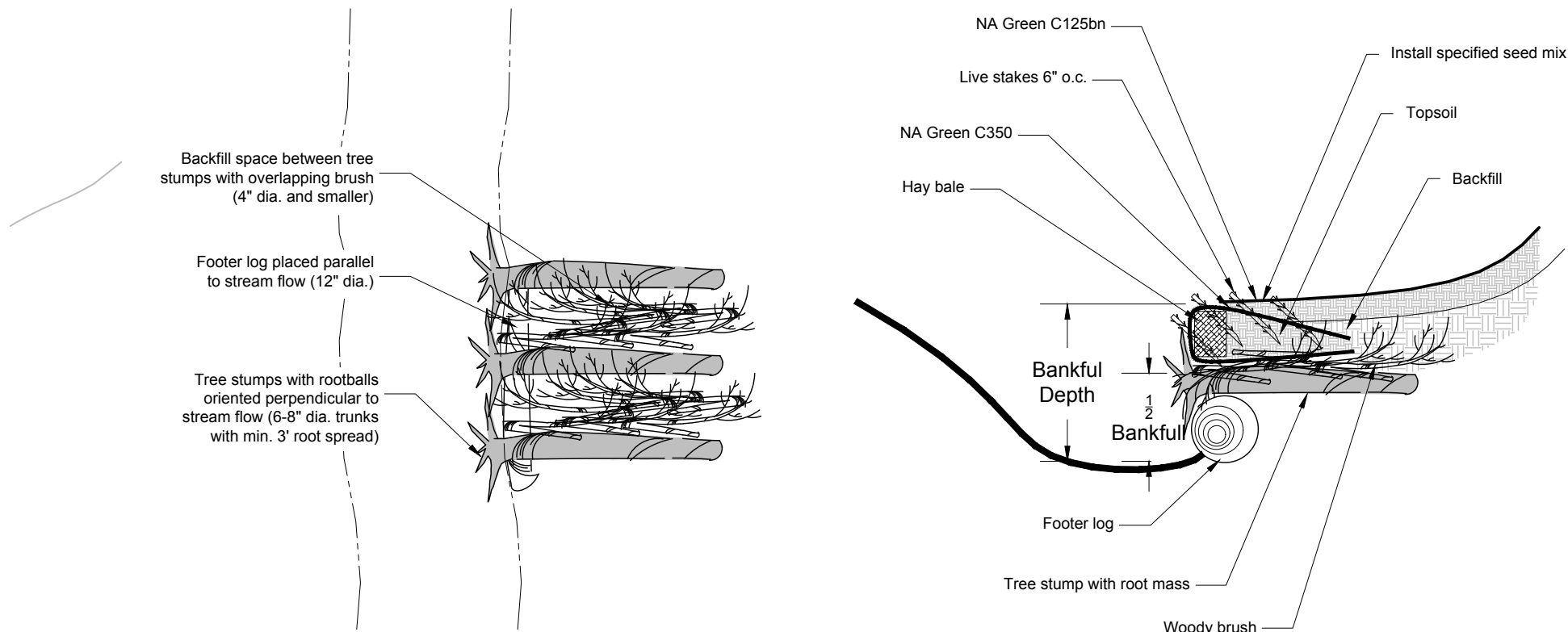
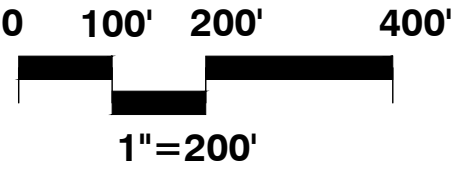
Grading Plan



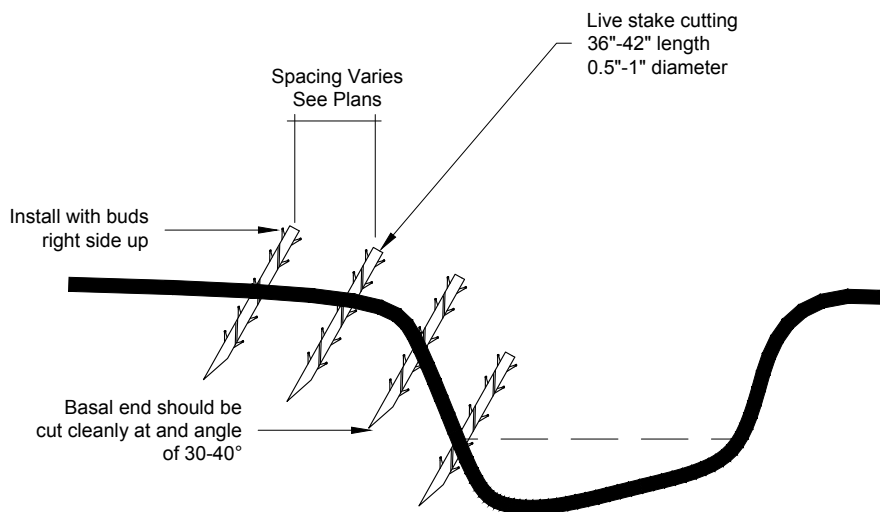
Section A-A'



Location Map



1 Toe Wood Installation



2 Live Stake Planting

- NOTES:
1. Live stakes to be planted 6 inches on center in diamond pattern in designated areas. Live stakes to be planted in clusters of 5-12 plants of one species.
 2. Pre-bore hole with rebar 1/4" less in diameter than live stake. Use soft mallet to tap 4/5 of length of live stake into the ground.
 3. Live stakes to be positioned at an angle off vertical so that rooting can occur more effectively along the entire below ground length.
 4. Live stakes shall be stripped of all stems and leaves, taking care to minimize scarring or bruising.
 5. Live stakes shall be kept in water in a shaded area until planted.

Preliminary
Not for
Construction

King & MacGregor Environmental Inc.
2520 Woodmeadow SE
Grand Rapids, MI 49546
Phone: (616) 957-1231
43050 Ford Road, Suite 130
Canton, MI 48187
Phone: (734) 354-0894

Stream Restoration Plan For:
Detroit Country Day
Village of Beverly Hills, Oakland County, Michigan

DATE: 07/29/16
ISSUED FOR: Client Review

P.I.C.	JK
P.M.	MSP
DESIGN	MSP
TECH.	MJS
CHECKED	MSP

PROJECT NUMBER
16031
SHEET NAME
Stream Restoration Grading Plan
SHEET NUMBER
R.1



SEED MIX:		
SPECIES	COMMON NAME	RATE (PLS LBS./AC.)
Alisma subcordatum	Water Plantain	0.3
Andropogon gerardii	Big Blue Stem	5.0
Andropogon scoparius	Little Blue Stem	5.0
Aster nova-angiae	New England Aster	0.2
Buteloua curtipendula	Side Oats Gramma	5.0
Elymus canadensis	Canada Wild-Rye	8.0
Carex vulpinoidea	Fox Sedge	0.5
Eleocharis spp.	Spike Rush	0.2
Elymus virginicus	Virginia Wild-Rye	8.0
Glyceria striata	Fowl Manna Grass	1.0
Helium autumnale	Sneezeweed	0.2
Juncus spp.	Rush species	0.2
Leersia oryzoides	Rice Cut Grass	1.0
Lolium multiflorum	Annual Rye	20.0
Panicum virgatum	Switch Grass	1.0
Scirpus validus	Great Bulrush	0.2
Sorghastrum nutans	Indian Grass	10.0
Spartina pectinata	Prairie Cord Grass	0.5

LIVE STAKES:

SPECIES	COMMON NAME	QUANTITY
Cornus amomum	Silky Dogwood	
Cornus stolonifera	Red Osier Dogwood	
Salix discolor	Pussy Willow	
Salix exigua	Sandbar Willow	
	TOTAL	900

General

1. The contractor shall inspect all required erosion control measures daily, when working, and notify the owner or his representative of any problems.
2. The contractor is responsible for maintaining all erosion control measures until released by the regulatory authority responsible for inspecting the erosion control measures. The contractor is responsible for the removal of all soil erosion control measures once released by the inspection authority.
3. Any unanticipated soil or sub soil conditions encountered by the contractor during construction shall be brought to the attention of the owner or his representative. The contractor shall not proceed with the relocation/restoration work until direction from the owner's representative is received.

1. The contractor shall hold an on-site meeting with all parties involved, minimum one (1) week prior to the start of construction. The contractor shall examine the site to ascertain the state and conditions under which the work is to be done and review conditions of all permits.
2. The contractor shall stake the centerline of the proposed limits, identifying each key feature, grading limits and access routes (as applicable) as shown on the plans. The contractor shall identify if/where conditions do not match the conditions as shown on the plans.
3. The owners representative reserves the right to make adjustments to the layout of the bank restoration, and/or grading as deemed necessary to ensure the stability of the restoration/relocation design.

1. The contractor shall install soil erosion control measures per the plans.
2. The contractor shall remove all large woody debris currently located in identified logjam area. The contractor shall stockpile large woody material suitable for toewood construction. Owners representative reserves the right to accept or reject any large woody material as suitable for toewood construction. All large woody debris not suitable for toewood construction, or in excess of that required for toewood construction, shall be disposed of legally as directed by Owner.
3. The contractor shall construct the project using his staking which has been reviewed and approved by the owner's
4. Based upon the progress of construction and known or unknown conditions which are discovered during the construction process the owner's representative may make changes to the location, length, size or quantity of the in-stream features and/or bank stabilization methods.
5. Contractor shall immediately upon completion of grading and bankfull stream channel construction work, install landscaping and seeding unless otherwise directed.
6. The location of all landscaping and the area of seeding are shown on the plans. The contractor shall notify the owner's representative one (1) week prior to beginning any landscaping/seeding work for the owner's representative to review the areas for the proposed work, plant material, seed specification tags, depths of topsoil and overall final grading. The contractor shall not proceed with any landscaping/seeding until approved by the owner's representative.
7. Prior to leaving the site for periods of greater than two (2) days the contractor shall stabilize all constructed channel sections per the plans and specifications.
8. Erosion control measures throughout the project area may only be removed once the entire reach is stabilized in accordance with the planting plan, or as otherwise directed by the soil erosion control enforcing agency with jurisdiction over the project.

General Notes


1. Contractor shall furnish all labor, materials, equipment, transportation, services and necessary incidental work required to complete work as shown on the Drawings and/or as specified herein.
2. Plants shall comply with the recommendations and requirements of ANSI Z60.1, "American Standard for Nursery Stock". Plants shall be healthy, vigorous stock, grown in a recognized nursery in accordance with good horticultural practice and free of disease, insects, eggs, larvae and defects such as knots, sunscald, injuries, abrasions, or disfigurement.
3. Planting shall be done by a single Contractor specializing and experienced in landscape work.
4. Plant material shall be the size and true native genus and species shown and scheduled on the drawings. No hybrids or cultivars will be accepted.
5. Warranty Period shall be at the end of the first full growing season. A full growing season is defined as the beginning of May through the end of October of the same year. If installation occurs after June 15, the warranty period shall be extended through the end of October of the next year so as to achieve a full growing season.

1. Contractor shall notify Owner's Representative, minimum of three business days, prior to planting to assist in the layout of the woody plant material and provide a copy of plant material order and receipt.
2. Complete all plantings between May 1 - June 1 or October 31 - November 31 or when plants are dormant and soil is not frozen.
3. All livestock to be planted as shown on details.
4. Warranty shall include a 60% survival rate for each species. Replace all plants in accordance with specifications.
5. Plant maintenance shall be begin immediately after each plant is installed and shall continue as required until the end of the warranty period. Maintenance will include watering and cultivation.

1. Stake limits of seeding and provide seed mix submittals to Design Consultant for approval.
2. Approval of Design Consultant must be obtained for seed bed preparation and staking prior to seeding.
3. Install seed immediately following livestock planting.
4. Install seed between the dates of May 1 through June 15 or October 1 through November 30 or as conditions permit. If seeding occurs between June 15 through October 1, the Contractor is responsible to adequately water the sites on a consistent basis for seed germination and establishment. Contractor shall notify the Design Consultant for the timing of seed installation.
5. Uniformly broadcast specified seed over the specified areas at the specified rates. Provide a carrier (silica sand or other approved material) to ensure uniform distribution of seed.
6. Immediately following seeding, apply specified erosion control blanket.

1. Contractor shall provide to the Wetland Consultant the following submittals:
 - a. Seed Mix
 - b. Woody Plant Material order and receipt.

1. Contractor is responsible for maintaining all soil erosion and sedimentation control measures.
2. Maintenance shall include any and all activities necessary for the project to remain in compliance with the Soil Erosion and Sedimentation Control permit issued for the project.



**King & MacGregor
Environmental Inc.**

2520 Woodmeadow SE
Grand Rapids, MI 49546
Phone: (616) 957-1231

43050 Ford Road, Suite 130
Canton, MI 48187
Phone: (734) 354-0594



Stream Restoration Plan For:

Detroit Country Day

MDEQ File No. XX-XX-XXXX-P Village of Beverly Hills, Oakland County, Michigan

DATE:	ISSUED FOR:
07/29/16	Client Review
P.I.C.	JK
P.M.	MSP
DESIGN	MSP
TECH.	MJS
CHECKED	MSP

PROJECT NUMBER

16031

SHEET NAME

Stream Restoration Planting Plan

SHEET NUMBER

R.2



TMAP ARCHITECTURE INC
199 WEST SQUARE LANE ROAD
BLOOMFIELD HILLS - MICHIGAN - 48302
BAI - INFO@TMAPARCHITECTURE.COM

REGISTRATION SEAL

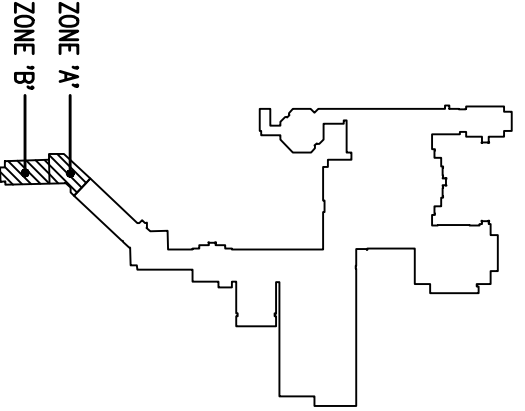


CONSULTANT

PROJECT TITLE
**Detroit Country Day
Middle Sch. Addition**

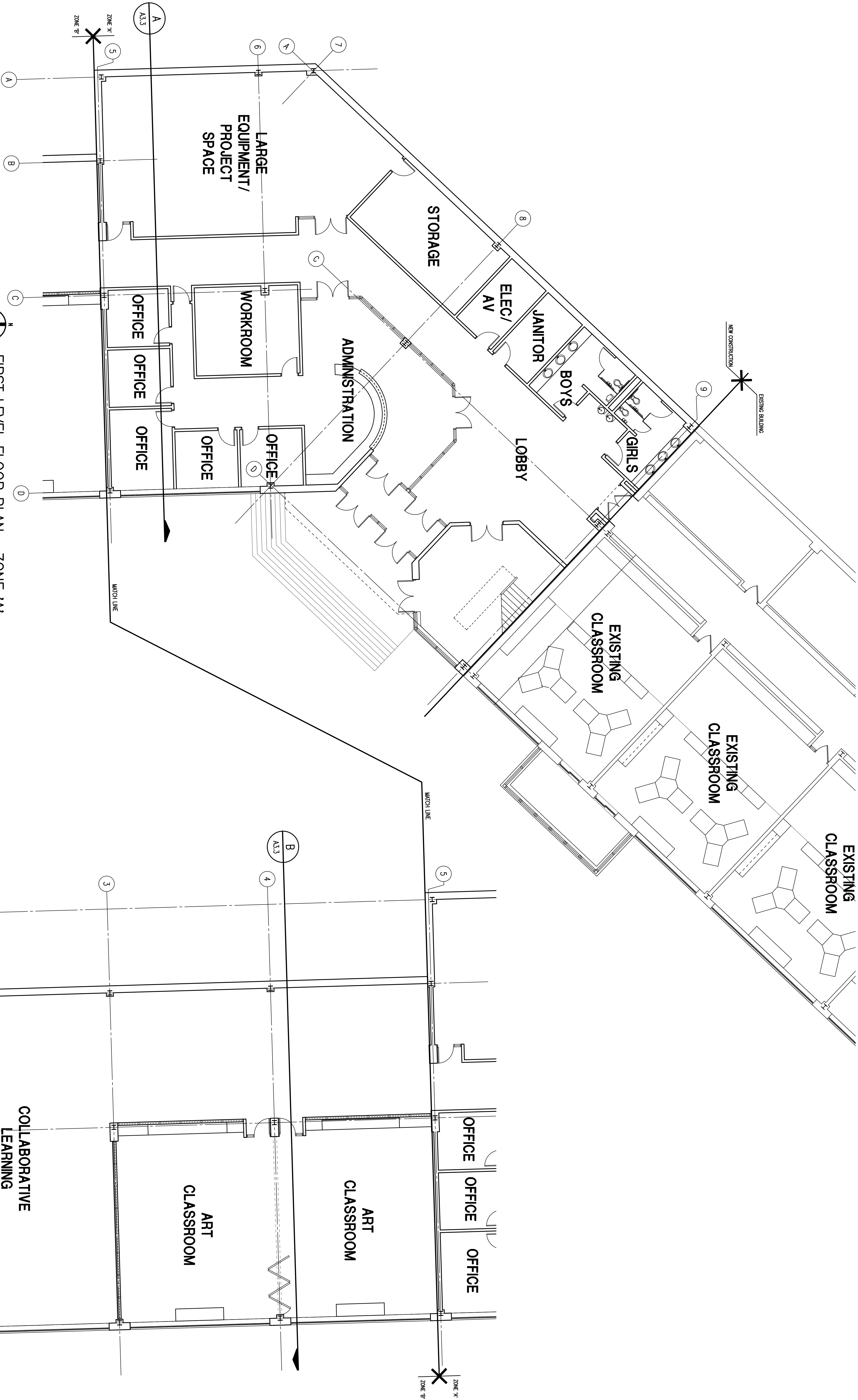
**Detroit Country Day
School**

DRAWING TITLE
First Level Floor Plan



ISSUE DATES	
-	-
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-	-
-	-
-	-
-	-
DATE	ISSUED FOR:
06/07/16	SITE PLAN REVIEW
DRAWN	MM
CHECKED	TAC
APPROVED	TAC

PROJECT NO.
16028
DRAWING NO.
A1.1



SECOND LEVEL FLOOR PLAN - ZONE 'B'

SCALE: 1/8" = 1'-0"



A

B

C



TMP ARCHITECTURE

191 WEST EQUINE LANE ROAD
BLOOMFIELD HILLS, MICHIGAN • 48302
PH - 248.338.6561 FX - 248.338.0223
EM-INFO-TMP-ARCHITECTURE.COM

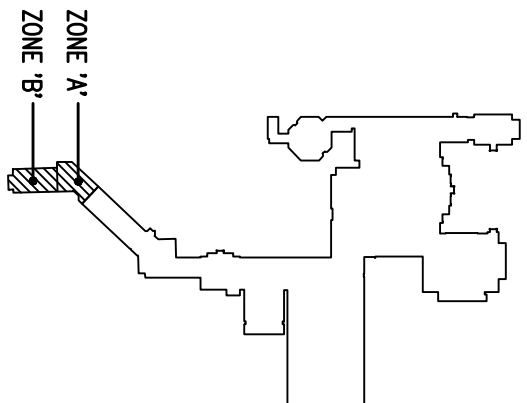
REGISTRATION SEAL

CONSULTANT

PROJECT TITLE
**Detroit Country Day
Middle Sch. Addition**

Detroit Country Day School

DRAWING TITLE
Second Level Floor Plan

[illegible]

PROJECT NO.

16028

DRAWING NO.

A1.2



T M P ARCHITECTURE INC
199 WEST SQUARE LANE ROAD
BLOOMFIELD HILLS - MICHIGAN - 48302
BAI - INFO@TMAPARCHITECTURE.COM

REGISTRATION SEAL

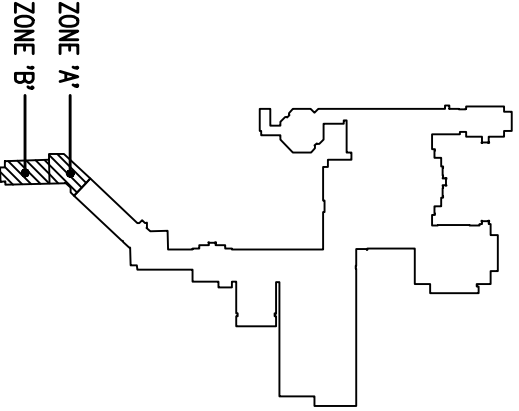


CONSULTANT

PROJECT TITLE
**Detroit Country Day
Middle Sch. Addition**

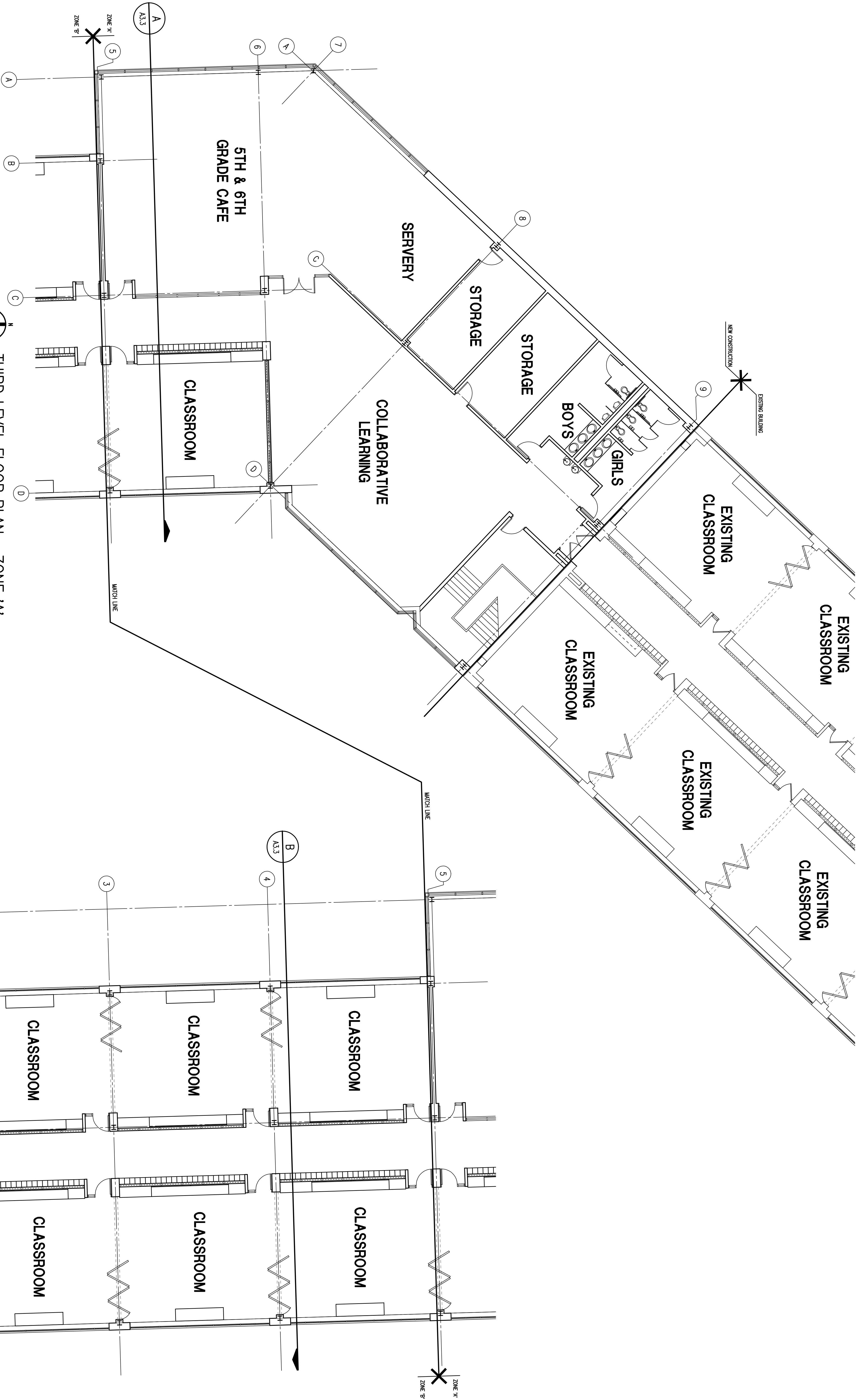
**Detroit Country Day
School**

DRAWING TITLE
Third Level Floor Plan



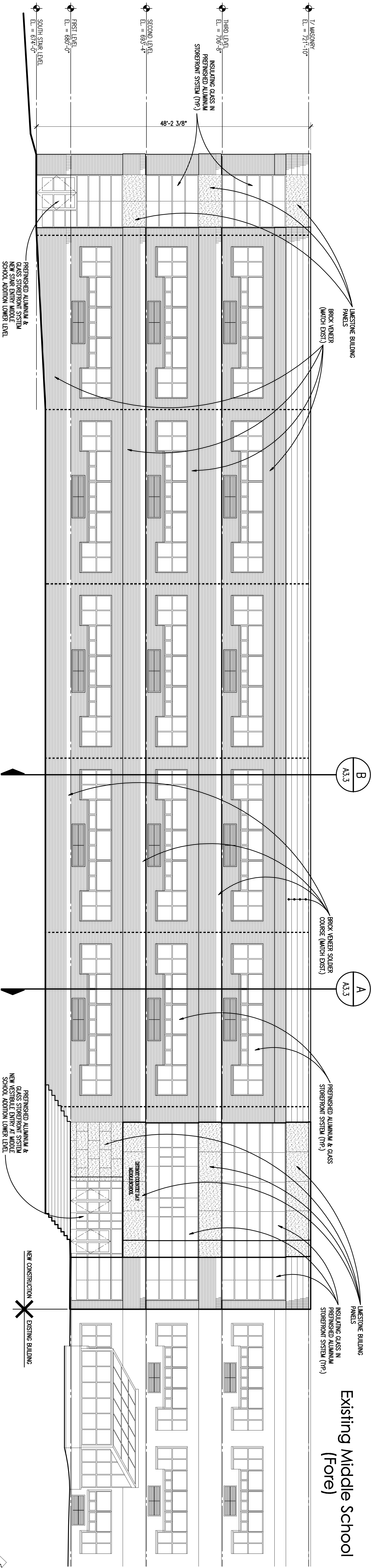
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-	-	-	-
06/07/16	SITE PLAN REVIEW		
DATE	ISSUED FOR:		
DRAWN	MM		
CHECKED	TNC		
APPROVED	TNC		

PROJECT NO.
16028
DRAWING NO.
A1.3



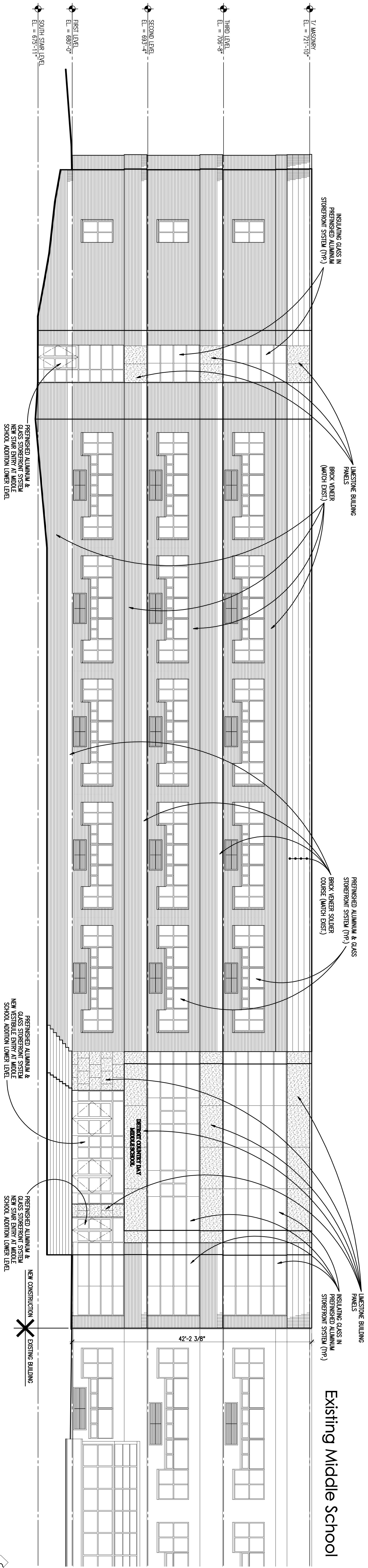
THIRD LEVEL FLOOR PLAN - ZONE 'A'
SCALE: 1/8" = 1'-0"

THIRD LEVEL FLOOR PLAN - ZONE 'B'
SCALE: 1/8" = 1'-0"



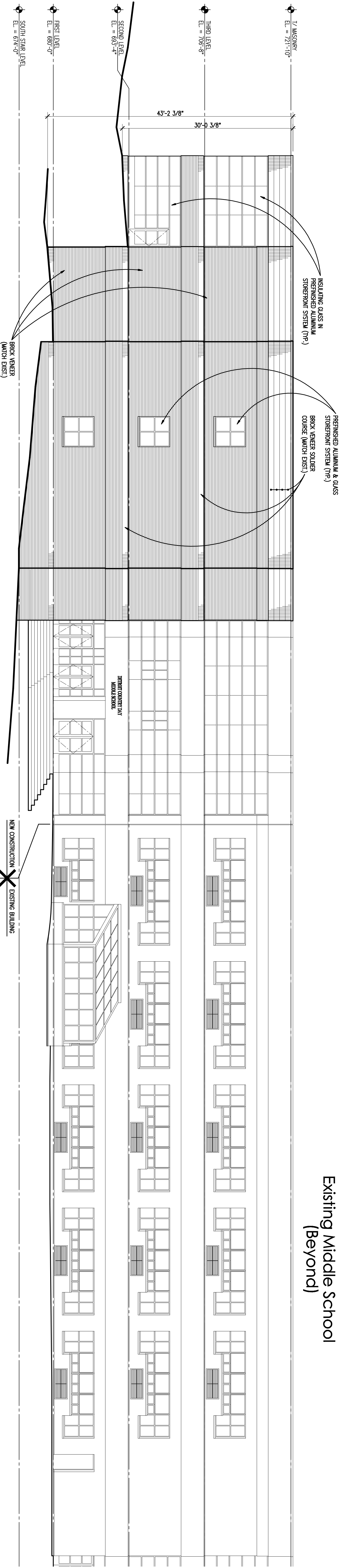
EAST ELEVATION

SCALE 1/8"=1'-0"



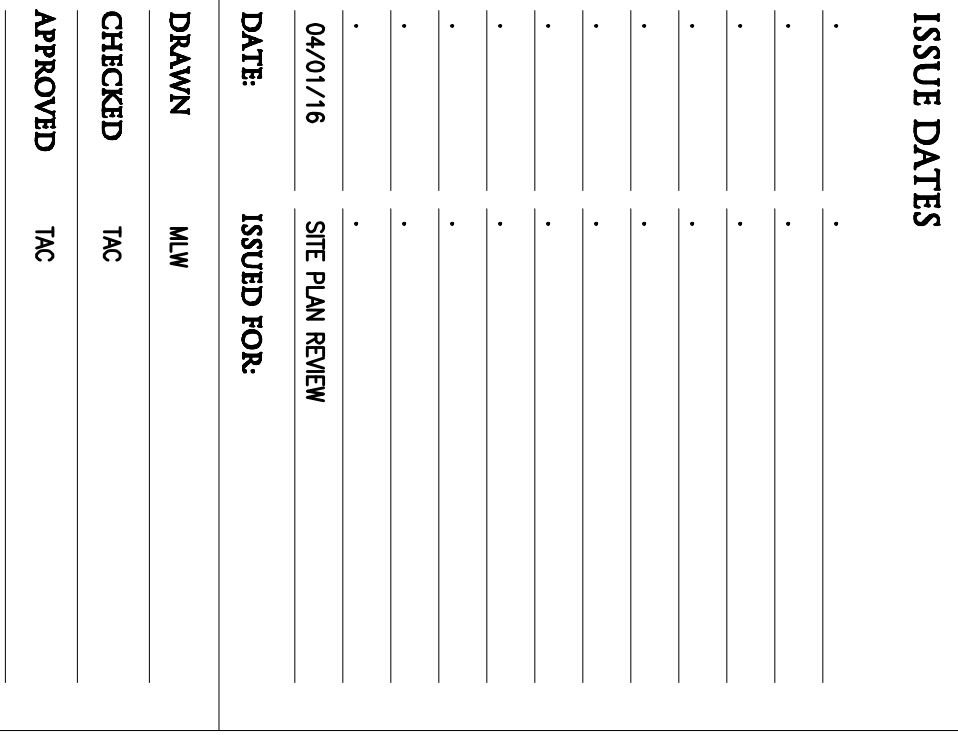
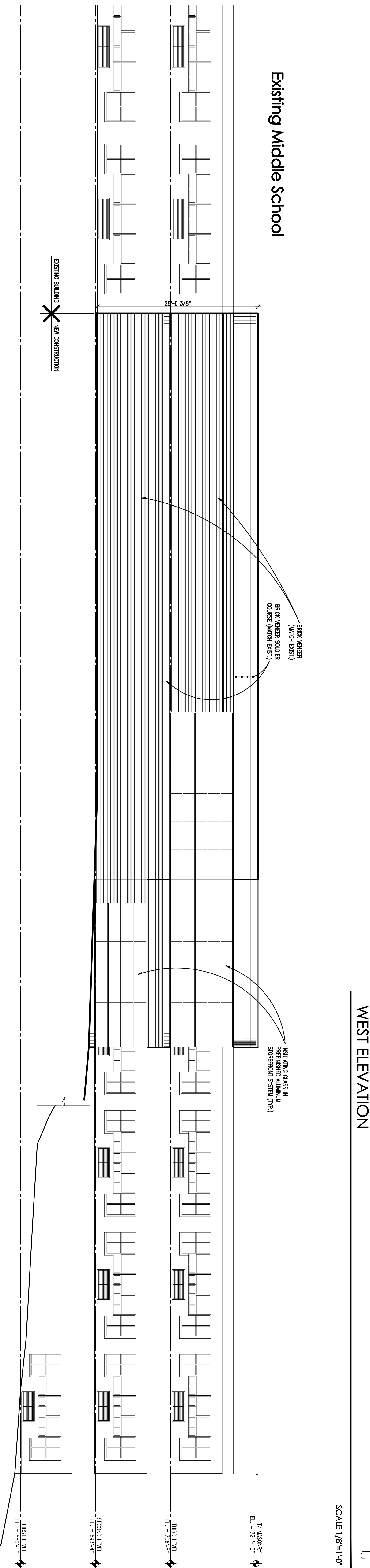
SOUTHEAST ELEVATION

SCALE 1/8"=1'-0"



SOUTH ELEVATION

SCALE 1/8"=1'-0"



PROJECT NO.
16028
DRAWING NO.
A3.3

SEE CIVIL DRAWING FOR LEGAL DESCRIPTION
ZONED R-1

R-1 ZONING

TOTAL SPACES REQUIRED (EXISTING MIDDLE SCHOOL) =

TOTAL SPACES REQUIRED (EXISTING MIDDLE SCHOOL WITH ADDITION) =

TOTAL LOWER PARKING LOT SPACES AVAILABLE (INCLUDES 5 HANDICAPPED) =	101 SPACES
TOTAL UPPER PARKING LOT SPACES AVAILABLE (INCLUDES 4 HANDICAPPED) =	14 SPACES
TOTAL MIDDLE SCHOOL PARKING AVAILABLE (WITH PROPOSED PARKING LOT RECONFIGURE) =	115 SPACES

HANDICAPPED SPACES REQUIRED =

TOTAL SPACES REQUIRED =

1 SPACE PER 4 STUDENTS OF DRIVING AGE (300/4) =

PREVIOUS SITE PLAN REVIEW (MORE STRINGENT REQUIREMENTS) =
SPACES REQUIRED PER ORDINANCE =
SPACES PROVIDED ABOVE AND BEYOND ORDINANCE =
TOTAL UPPER SCHOOL PARKING AVAILABLE =

TOTAL EXISTING SPACES AVAILABLE (INCLUDES HANDICAPPED SPACES) = 562 SPACES

ALLOWABLE LDI COVERAGE = 30%

EXISTING MIDDLE SCHOOL FOOT PRINT =
EXISTING UPPER SCHOOL FOOT PRINT =
EXISTING FIELD HOUSE FOOT PRINT =

TOTAL BUILDING FOOT PRINT =
UPPER AND MIDDLE SCHOOL SITE AREA (52.9 ACRES) +
TOTAL PROPOSED BUILDING LOT COVERAGE = 15.20%

TOTAL BUILDING FOOT PRINT =	350,310 SF
UPPER AND MIDDLE SCHOOL SITE AREA (52.9 ACRES) =	2,304,324 SF
TOTAL PROPOSED BUILDING LOT COVERAGE = 15.20%	

EXISTING MIDDLE SCHOOL SQ. FT. =
MIDDLE SCHOOL ADDITION SQ. FT. (PROPOSED) =
TOTAL MIDDLE SCHOOL SQ. FT. =

LAHSEB RD

R-1 ZONING

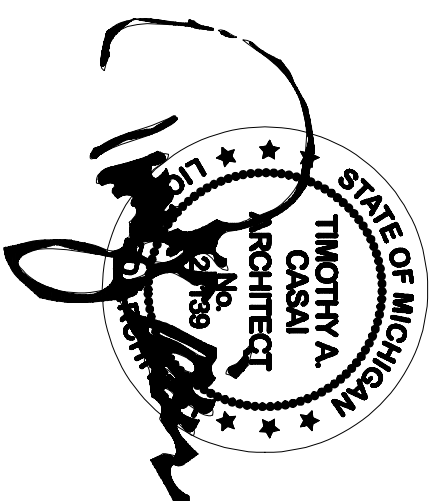
R-1 ZONING

Detroit Country Day School

DRAWING TITLE
Overall Campus Site Plan

PROJECT TITLE
Detroit Country Day
Middle Sch. Addition

CONSULTANT



REGISTRATION SEAL

T M P A R C H I T E C T U R E I N C .
1191 WEST SQUARE LAKE ROAD
BLOOMFIELD HILLS, MICHIGAN • 48302
PH • 248.338.4561 FX • 248.338.0223
EM • INFO@TMP-ARCHITECTURE.COM

16028

DRAWING NO.

AS 1

USE DATES

END

SLIDE PLAN

DETROIT COUNTRY DAY SCHOOL
MIDDLE SCHOOL ADDITION
PARKING LOT LIGHT PHOTO-METRICS
BEVERLY HILLS, MICHIGAN

PROJECT NAME:

ISSUED FOR:

DATE:

REV. #

SHEET TITLE:

DRAWN BY:
TJD, WDD, ADH
DRAWING DATE:
03/28/16
CHECKED BY:
TJD
PRINTED DATE:
03/28/16

This drawing, as an instrument of service, remains the property of Electrical Power & Design, Inc. Any changes, publication, or unauthorized use is prohibited unless expressly approved.

PROJECT NUMBER:

2902C

SHEET NUMBER:

E402

ELECTRICAL
PARKING LOT
PHOTO-METRIC

System	Label	QTY	Item/Notes	Catalog Number	Description	Lamp	Mounting Luminaire	Photometric Luminaire	Control gear	LLF	Footcandle
EX-1	EX-1	8	Whisper Lighting	18000-000-000 180 T8 W800T 180	18000-000-000 180 T8 W800T 180 18000-000-000 180 T8 W800T 180	LED	1	18000-000-000 180 T8 W800T 180 18000-000-000 180 T8 W800T 180	18000-000-000 180 T8 W800T 180 18000-000-000 180 T8 W800T 180	0.8	12
EX-2	EX-2	6	Whisper Lighting	18000-000-000 180 T8 W800T 180	18000-000-000 180 T8 W800T 180 18000-000-000 180 T8 W800T 180	LED	1	18000-000-000 180 T8 W800T 180 18000-000-000 180 T8 W800T 180	18000-000-000 180 T8 W800T 180 18000-000-000 180 T8 W800T 180	0.8	12
EX-3	EX-3	12	Whisper Lighting	18000-000-000 180 T8 W800T 180	18000-000-000 180 T8 W800T 180 18000-000-000 180 T8 W800T 180	LED	1	18000-000-000 180 T8 W800T 180 18000-000-000 180 T8 W800T 180	18000-000-000 180 T8 W800T 180 18000-000-000 180 T8 W800T 180	0.8	144
NW-1	NW-1	4	Whisper Lighting	18000-000-000 180 T8 W800T 180	18000-000-000 180 T8 W800T 180 18000-000-000 180 T8 W800T 180	LED	1	18000-000-000 180 T8 W800T 180 18000-000-000 180 T8 W800T 180	18000-000-000 180 T8 W800T 180 18000-000-000 180 T8 W800T 180	0.8	12
NW-3	NW-3	2	Whisper Lighting	18000-000-000 180 T8 W800T 180	18000-000-000 180 T8 W800T 180 18000-000-000 180 T8 W800T 180	LED	1	18000-000-000 180 T8 W800T 180 18000-000-000 180 T8 W800T 180	18000-000-000 180 T8 W800T 180 18000-000-000 180 T8 W800T 180	0.8	144
NW-4	NW-4	6	Whisper Lighting	18000-000-000 180 T8 W800T 180	18000-000-000 180 T8 W800T 180 18000-000-000 180 T8 W800T 180	LED	1	18000-000-000 180 T8 W800T 180 18000-000-000 180 T8 W800T 180	18000-000-000 180 T8 W800T 180 18000-000-000 180 T8 W800T 180	0.8	12

Description	Avg	Max	Min	Max/Min	Avg/Min	Symbol
parking/drives	3.4 fc	6.9 fc	0.5 fc	13.8:1	6.8:1	+
property line	0.0 fc	0.0 fc	0.0 fc	N/A	N/A	+

Luminaire Locations											
Location			Aim								
No.	Label	X	Y	Z	Mt	Orientation	Tilt	X	Y	Z	
1	EX-1	18155.40	27122.88	14.00	14.00	42.14	0.00	18156.08	27123.43	0.00	
2	EX-1	18126.26	27147.63	14.00	14.00	42.08	0.00	18126.94	27148.38	0.00	
3	EX-1	18090.38	27178.64	14.00	14.00	42.00	0.00	18091.06	27179.39	0.00	
4	EX-1	18053.97	27214.77	14.00	14.00	42.07	0.00	18054.65	27215.52	0.00	
5	EX-1	18205.21	27101.31	14.00	14.00	310.71	0.00	18204.45	27101.97	0.00	
1	EX-2	18451.91	27657.00	14.00	14.00	180.00	0.00	18451.91	27655.99	0.00	
2	EX-2	18371.85	27657.47	14.00	14.00	180.00	0.00	18371.85	27656.46	0.00	
3	EX-2	18292.39	27655.79	14.00	14.00	180.00	0.00	18292.39	27654.78	0.00	
4	EX-2	18133.25	27638.59	14.00	14.00	158.32	0.00	18133.66	27638.65	0.00	
5	EX-2	18214.39	27656.79	14.00	14.00	180.00	0.00	18214.39	27655.78	0.00	
1	EX-3	18198.32	27140.94	14.00	14.00	225.00	0.00				
2	EX-3	18242.32	27187.94	14.00	14.00	225.00	0.00				
3	EX-3	18169.32	27187.94	14.00	14.00	225.00	0.00				
4	EX-3	18213.32	27214.94	14.00	14.00	225.00	0.00				
5	EX-3	18130.32	27204.94	14.00	14.00	225.00	0.00				
6	EX-3	18171.32	27250.94	14.00	14.00	225.00	0.00				
7	EX-3	18096.32	27234.94	14.00	14.00	225.00	0.00				
8	EX-3	18157.32	27280.94	14.00	14.00	225.00	0.00				
9	EX-3	18291.00	27233.00	14.00	14.00	221.19	0.00				
10	EX-3	18241.00	27269.00	14.00	14.00	221.19	0.00				
11	EX-3	18207.00	27302.00	14.00	14.00	221.19	0.00				
12	EX-3	18171.68	27332.83	14.00	14.00	221.19	0.00				
1	NW-1	18065.21	27579.75	14.00	14.00	133.52	0.00	18065.94	27579.05	0.00	
2	NW-1	17995.32	27512.48	14.00	14.00	133.52	0.00	17996.05	27511.79	0.00	
3	NW-1	17964.96	27338.53	14.00	14.00	68.53	0.03	17965.90	27338.90	0.00	
4	NW-1	17943.00	27430.20	14.00	14.00	98.83	0.00	17944.00	27430.08	0.00	
1	NW-3	18046.00	27283.00	14.00	14.00	42.51	0.00				
2	NW-3	18096.94	27332.34	14.00	14.00	42.51	0.00				
1	NW-4	18317.74	27164.98	14.00	14.00	50.00	0.00	18318.75	27164.98	0.00	
2	NW-4	18254.00	27111.00	14.00	14.00	0.00	0.00	18254.00	27112.01	0.00	
3	NW-4	18315.00	27115.00	14.00	14.00	0.00	0.00	18315.00	27116.01	0.00	
4	NW-4	18244.00	27184.00	14.00	14.00	316.74	0.00	18243.31	27184.74	0.00	
5	NW-4	18287.00	27200.00	14.00	14.00	316.74	0.00	18286.31	27200.74	0.00	

PARKING LOT PHOTO-METRIC PLAN

SCALE: 1" = APPROX. 45'



EXCERPT OF REGULAR ZONING BOARD OF APPEALS MEETING MINUTES – AUGUST 8,
2016 – PAGE 1

Present: Members: Crossen, Donnelly, Maxwell, Mitchell, Raeder, Verdi-Hus; Alternates: Gatowski, Hynes

Absent: Chairperson Eifrid; Vice-Chairperson Tillman; Member Lepidi

Also Present: Planning and Zoning Administrator, Wilks
Council Liaison, Abboud

Zoning Board Member Raeder called the regular Zoning Board of Appeals meeting to order at 7:30 p.m. in the Southfield Township municipal building at 18550 W. Thirteen Mile Road.

CASE NO. 1306

Petitioner: Glen Shilling, Headmaster

Property: 22305 W 13 Mile Road, Detroit Country Day School Middle School building

Village Ordinance: 22.24 Schedule of Regulations. Zoning District R-1 limits building height to 30 feet and 2 stories.

Deviation Requested: To build an addition onto the existing Middle School building that will be 42 feet high and 3 stories.

Wilks explained that petitioner Glen Shilling, Headmaster, is seeking a variance from requirements of Section 22.24 to build an addition onto the existing Middle School building at Detroit Country Day School. The property is zoned R-1, Single Family Residential and is used as a private school as a special land use. Village Ordinance, Chapter 22, Section 22.24 Area, Height, Bulk, and Placement limits buildings in R-1 to 30 feet and 2 stories.

The petitioner is proposing to build an addition onto the existing Middle School building which is 42 feet high and 3 stories. There is significant grade differential where the building is located therefore only a portion of the building is 3 stories and 42 feet in height. The original building and site plan were approved with a variance granted on June 22, 1987, Case No. 660. Given the historical record of the building, Planning Commission and LSL Planning determined a variance for this addition was warranted. The entire site plan is being reviewed by the Planning Commission and recommendation to Village Council has been tabled pending the Zoning Board of Appeals decision. Planning Commission recommended special land use for this addition be approved. The proposed addition will accommodate a 5th grade level and an additional 70-75 students which will bring the total student count to approximately 140 students, and add over 48,000 square feet of space across the three stories (ground square footage is over 16,000 square feet).

Richard Taubman, attorney for Detroit Country Day (DCD) explained that the Board could grant a variance or decide that a variance is unnecessary based on established grade. He explained that DCD faces the practical difficulty of an extreme grade change, and they have a strong desire to accommodate wishes of the residents. He explained that the established grade should be set based on the western most point of the addition at 692 feet. Taubman pointed out that had they extended the building straight, it would be closer to the Georgetown residents, and the plans show the emergency fire access road will have crash gates, making it only available to

emergency vehicles. Referencing plans on display, Taubman pointed out that the view from the east shows the roof remaining at the same level, and that the building will be located in the side of a hill, similar to a walk out basement. He pointed out the topography is both a practical difficulty and acts as a shield for the neighborhood.

Raeder asked how the residents of Hillview will be affected by this being a three story building. Shilling explained that Hillview is owned by DCD as a private road, and there is one resident who has an easement.

Peggy Brady, resident, 30603 Pebblestone Ct., inquired what the distance was between the building and the subdivision to the west side. Taubman explained that it was compliant and they have plans to put in greenscaping between the building and the subdivision.

Tyrone Henry, resident 22105 Hillview Lane, is not opposed to DCD, he is just opposed to all of the traffic, it is nothing close to the environment that was there when he bought the property. He expressed a desire to have a rear access option to his property. He expressed frustration with the situation and his feelings of not being heard. It was explained to Henry that the plans will still go before the Village Council for consideration before it is approved.

Raeder pointed out that this is a three story building and he feels it is nearing the capacity of the space available. He suggested that there could have been a two story addition with a 3,000 sqft building.

Maxwell questioned if the third level would be necessary, or if the offices planned for that space could be located elsewhere. Shilling explained that these offices would be for principals and teachers who need to be onsite.

Motion by Maxwell, second by Crossen, that the Zoning Board of Appeals approves a variance from the height requirements of section 22.24 to allow the petitioner to build an addition onto the existing Middle School building which will be no more than 42 feet above grade and 3 stories tall due to practical difficulties of the topography and creating minimal impact on the neighboring subdivision.

Roll Call Vote:
Motion passed (8 – 0).

CASE NO. 1307

Petitioner: Glen Shilling, Headmaster

Property: 22305 W 13 Mile Road, Detroit Country Day School Middle School

Village Ordinance: 22.08.150 Fences, Walls, and Privacy Screens Fences with vertical surface area that is at least 35% open to air and light are permitted subject to the following: c. Rear Yard: A fence in a rear yard shall not exceed 48 inches in height above grade...

Deviation Requested: To extend an existing fence that is 9-10ft above grade and less than 35% open to air and light.

Petitioner Glen Shilling explained that after meeting with the neighbors it has been established that they do not want a fence, but would prefer to work with the school and a landscape architect

to create a greenscape that satisfies everyone involved. He requested this be tabled pending site plan approval.

Motion by Crossen, second by Maxwell, to table this appeal.

Roll Call Vote:

Motion passed (8 – 0).

EXCERPT OF REGULAR PLANNING COMMISSION MEETING MINUTES – MAY 25, 2016
– PAGE 1

Present: Vice-Chairperson Westerlund; Members: Borowski, Drummond, Grinnan, Jensen, Ruprich, and Stempien

Absent: Chairperson Ostrowski, Member Chegash

Also Present: Planning and Zoning Administrator, Wilks
Planning Consultant, Borden
Council Liaison, Abboud

Vice-Chairperson Westerlund called the regular Planning Commission meeting to order at 7:30 p.m. in the Southfield Township Hall building at 18550 W. Thirteen Mile Road.

PUBLIC HEARING FOR SITE PLAN AND SPECIAL LAND USE REQUEST FOR ADDITION TO MIDDLE SCHOOL FACILITY AND COMPLETION OF FIRE DEPARTMENT ACCESS ROUTE FOR DETROIT COUNTRY DAY SCHOOL, 22305 W 13 MILE ROAD

Sam Ashley, Vice-President, Cunningham-Limp, accompanied by Glen Shilling, Headmaster of Detroit Country Day School, presented the proposed addition to the existing middle school, extending off the existing structure. Additional parking will be added, as well as a mandatory fire lane. They wish to expand the middle school building to accommodate fifth grade, in addition to the current sixth, seventh, and eighth grades in the building. This change would take the student headcount to approximately 140. Ashley presented floor plans, elevation plans, and a campus map. He explained it is currently a three level building, with the lowest level built into the hill, and the façade is made of the same materials as the existing school. Landscaping improvements have been incorporated into the plans.

Borden explained there are two components; special land use and review of the site plan. One of the special land use concerns would be mitigation of potential impact on residents to the west. He suggested there needs to be protection through landscaping or usage changes. The emergency access drive should only be used for emergency access and it needs to be ensured that it is only used for that purpose. He stated there is a potential for traffic increase due to an increase in students and faculty. A traffic study was done, and some modifications will need to be made to the Hillview and Lahser intersection. The final concern is that the large hill they will cut into is a flood plain, and they will need approval from MDEQ to grant permits for the flood plain activity.

Regarding the site plan; the height of the building from the walk out level is 42 feet high, this is not compliant with the Village ordinance. The original middle school building had to secure a variance for their building height, there may be a variance needed again. There are no issues with the volume of parking, however, it is suggested that if there is not clear access to the building for barrier free entrance at the upper lot, those spaces be moved to the lower lot. Regarding the emergency access loop; Detroit Country Day must ensure that this is used as an emergency access drive only and not used as a shortcut across the property. He stated there are buffer and screening requirements in the Village ordinance, the plans are not clear as to what vegetation is existing or will be added. There is a masonry wall requirement in the ordinance of four to six feet tall that matches the materials of the building. In the current plans it is proposed to continue an existing nine-foot wooden fence. The

EXCERPT OF REGULAR PLANNING COMMISSION MEETING MINUTES – MAY 25, 2016
– PAGE 2

proposed lighting plan meets the Village ordinance and all zero out well before the west lot lines. He would like to see more details of the fixtures to ensure compliance. It appears there are no new signs or sign modifications, clarification is needed if there are any new or modified signs.

Vice Chairperson Westerlund opened the public hearing at 7:56 p.m.

Daniel Tatarian, 30166 Lincolnshire E., expressed concern that there is a piece of property zoned as residential that is being built on as commercial. He stated the ball field creates noise pollution and there is an area where they have built bike trenches in the wet lands that also generate noise pollution. He would like to see them build upward on the other side of the campus and move the playing fields to the center to protect the wet lands and ward off the noise pollution. He also suggested a nature walk along the river might be better suited than a bike bath.

Tyrone Henry, 22105 Hillview, said there is so much traffic from the athletic field it is difficult to get in and out of his home. People park on both sides of the street and he hears traffic noise at all hours of the day and night. He would like to see a change in access to his property by accessing it from the rear, which would help alleviate his problems.

Dave Ruby, 30120 Lincolnshire, shared photos of a dam that has grown over the last year and is causing erosion on the river bank. He felt the bike paths along the banks are not safe. Children are riding their bikes through the yards and along the paths, which is a potential liability. Children are climbing on the dam and it does not seem safe. He expressed concerns about the changes to the flow of water in the flood plain, causing the loss of several feet of river bank to erosion. He stated in the last few years the creation of more paved areas changes the run offs from the land; there are fewer trees and less grass which increases the run off into the river. He also expressed concern that if the emergency access road becomes a south to north egress, the headlights from automobiles will shine directly into homes. There needs to be a screen as well as a fence.

Camille Fath, 30144 Lincolnshire, stated that the bike path has been deforested and all of the trees have been bulldozed and cut down, creating full visibility. She says there was a previous dam that was created from the trees along the shore line falling down, and it floods the river causing more erosion.

Stewart Mandell, 22601 Highbank Drive, stated that he really likes his neighborhood, but is very concerned about flooding in the area, noise pollution, light pollution, and increased traffic. He stated that he would like to see the neighborhood better protected in the future from encroachment and expansion.

Mary Ryan, 30444 Lincolnshire, suggested that Detroit Country Day look into staggered start times for their buildings. The softball field is behind her home, and she is aware of the noise, but is concerned about the families and children who walk through the property to school, and are now crossing that emergency road. She pointed out that there is noise at all hours for things like plowing and trash pick-up. She encouraged the Commission to remember that the residents are the taxpayers and they have been good neighbors to the school.

Dave Dulio, 22615 Highbank, stated that he was there in support of the neighbors and his neighborhood.

No one else wished to be heard, therefore, the public hearing was closed at 8:20 p.m.

Ashley clarified that the emergency road is required by the state and will only be used as an emergency access road. The existing softball field is being moved away from residential properties, and there will be an expansion of the green space that creates a barrier. He stated he does not know anything about the bike paths or dams that were created, but agreed to look into the situation and problem solve dam removal and protection for the area. They are required by the county and the state to have permits for all drainage, and cannot get those permits without meeting specific requirements. There is a storm water retention area on the property which is maintained via an agreement with the Village. He stated they plan to comply with the suggestions made in the traffic study. He agreed to look into options to ensure the emergency road was only available to be used in emergency situations. He clarified that with the current barrier free parking arrangement there is easy access to nearby doors. He stated that they would not be using any new signage, and would include lighting specifics on the next plan submission. He agreed to survey the existing vegetation and review what improvements could be made. Regarding the height of the building, in previous years they have used an established grade.

REVIEW SITE PLAN AND SPECIAL LAND USE REQUEST FOR ADDITION TO MIDDLE SCHOOL FACILITY AND COMPLETION OF FIRE DEPARTMENT ACCESS ROUTE FOR DETROIT COUNTRY DAY SCHOOL, 22305 W 13 MILE ROAD

Borowski expressed concern that Detroit Country Day is adding 48,000 square feet of space to accommodate the addition of 74 more students. This addition has the potential for a substantial increase in students.

Shilling explained they keep their class sizes in the mid-teens, and are currently utilizing the building at 100% capacity. There are teachers sharing rooms, and the goal is for each teacher to have their own room. There is a need for creative space, orchestra space, lab space, and builder space. Ashley explained that the addition would create a total of approximately 40 rooms, 30 of them for academics.

Motion by Jensen, second by Ruprich, to recommend approval on the request by Detroit Country Day for special land use at the middle school facility.

Roll Call Vote:

Motion passed (6-1)

Stempien clarified that the school is an R-1 Zone, and the current maximum height limitation is 30 feet from the established grade. Currently it is 30 feet at the lowest, and 42 at the highest. Based on this, the applicant would need to go before the Zoning Board for a height variance. Borden explained that the current plan does match the existing middle school design, and that a variance was granted at that time for the building. A copy of that previous variance decision could be made available to the Commission and Zoning Board.

Stempien reinforced the importance of creating harmony with the neighbors; suggesting that a well-planned green belt would be a solution that could meet the needs of both parties.

Grinnan stated she felt it is important to maintain the emergency road as an emergency road only. Westerlund suggested Ashley speak to the Public Safety about options for the road.

Jensen asked for clarification as to whose property the river is on and who is responsible for the river and the log jams created on it. It appears that the river is on both Detroit Country Day and private homeowner property; however the dam is located on Detroit Country Days property. He would like to see the issue of river maintenance and log issues addressed.

Homeowner Camille Fath explained that there are two creeks that come together and form the river, and now that there is so much more water flowing, it is eroding the banks, undercutting the trees and they fall into the river. When the water rises it rises up to her backyard.

Westerlund suggested that when they speak to MDEQ on the river flow and flood plain issues to include that information in their submission.

Borowski stated that he is concerned about the residents and impact of Detroit Country Day's practice over time. They have reached the saturation point of use for this property. He expressed concern for the balance between property rights, and responsibilities to your neighbors. He felt that the residents pay taxes, and they have the right to have their property protected.

Jensen reminded everyone that five or six years ago, Detroit Country Day came before the board to clear a field for a baseball diamond. They listened to the concerns of residents and did not return to the board, but made a decision to build elsewhere on the property.

Westerlund stated that Hillview Lane is a private road, and the concern is the parking that happens there. There needs to be an improvement in the traffic problems and parking in that area. Measures need to be taken so that Hillview Lane is left open for driving. If the softball field is moved, the high netting should be discussed. There is a nine or ten-foot fence along the property line, and decisions would need to be made about the continuation of the fence by the Zoning Board.

Westerlund read a letter received from homeowner Elaine Galin, 30554 Lincolnshire, who expressed concern that the proposed emergency access road would be used for driving and increase the traffic along that road.

Ruprich stated concerns about the river and the steps taken to ensure its protection. He also would like to see measures put into place to maintain the emergency access road for emergency use only.

Drummond suggested that Detroit Country Day keep that road closed, and work with the neighbors, possibly push back plowing times.

EXCERPT OF REGULAR PLANNING COMMISSION MEETING MINUTES – MAY 25, 2016
– PAGE 5

Motion by Stempien, second by Grinnan, to table the decision on site plan approval until the applicant makes all plan modifications as requested tonight and submits an updated plan without beginning any work.

Roll Call Vote:

Motion passed (7-0)

EXCERPT OF REGULAR PLANNING COMMISSION MEETING MINUTES – JUNE 22, 2016
– PAGE 1

Present: Chairperson Ostrowski; Vice-Chairperson Westerlund; Members: Borowski, Chegash, Drummond, Grinnan, Jensen, and Stempien

Absent: Ruprich

Also Present: Planning and Zoning Administrator, Wilks
Planning Consultant, Borden

Chairperson Ostrowski called the regular Planning Commission meeting to order at 7:30 p.m. in the Southfield Township municipal building at 18550 W. Thirteen Mile Road.

REVIEW AND CONSIDER SITE PLAN FOR ADDITION TO MIDDLE SCHOOL FACILITY AND COMPLETION OF FIRE DEPARTMENT ACCESS ROUTE FOR DETROIT COUNTRY DAY SCHOOL, 22305 W 13 MILE ROAD

Borden explained that on May 25, 2016 the special land use was approved for recommendation to the Council by the Commission. The two issues that remain to be sufficiently addressed are the proposed nine foot tall screen fence along the rear of the property and the height of the building. The proposed fence is nine feet tall and the current ordinance requires a variance for any fence over six feet. Therefore, this would need to go before the Zoning Board for a variance. A four foot tall masonry wall is the ordinance requirement, however, Borden expressed concern whether this would provide sufficient screening. The building addition is 42 feet tall and three stories which is larger than the Village ordinance allows, and a variance request would need to go before the Zoning Board. The original building was granted a variance by the Zoning Board.

Ostrowski clarified that the public hearing on this was held at the May 25, 2016 meeting.

Sam Ashley, Vice-President, Cunningham-Limp, accompanied by Glen Shilling, Headmaster of Detroit Country Day School, presented their response to the letters and comments presented at the May 25, 2016 meeting. He stated that along the emergency access drive vegetation screening has been added, as well as crash gates to ensure emergency use only. There were 14 evergreen trees removed from the area, and 78 new trees will be added. There is an existing wood fence along some of the property line, the plan would be to expand that fence along the line created. There are already dense trees there that would be left when the fence is built. He explained that in relation to building height, the building is only two stories at the highest grade. He responded to the concern regarding the structure in the river; they are in the process of having MDEQ assess the structure.

Ostrowski announced that a letter was received from resident David Ruby, and although Ruby is not in attendance, his concerns will be shared by a fellow resident on his behalf.

John Everly, 30332 Lincolnshire, stated that the proposed extension of the fence was unknown to the three homeowners that would be affected by this fence until days before the meeting. There has been no outreach by Detroit Country Day to these homeowners regarding this fence. He expressed concern about the usage of the emergency road; it is possible that what is presented by Detroit Country Day for approval and how the road is used would differ. He stated that he would rather see a green belt than a nine foot fence. He shared that the residential house located on the property is in

EXCERPT OF REGULAR PLANNING COMMISSION MEETING MINUTES – JUNE 22, 2016
– PAGE 2

terrible disrepair. He would like to see more communication from Detroit Country Day and a commitment to work with the neighbors.

Dave Dulio, 22615 Highbank, expressed concern that once this project is approved, there is no going back. He feels that the green screening that has been proposed is not enough screening, and the net of 36 trees is not enough trees. He expressed disbelief when the applicant claims that they did not put cut trees in the river; there are trees in the river that are clearly cut trees in the photos submitted. He stated he feels Detroit Country Day has not been a good neighbor to the residents and continues to be a poor neighbor. He asked the commissioners to give more regard to the tax payers.

Elayne Galin, 30554 Lincolnshire East, expressed concern about the function of the emergency road, and how Detroit Country Day plans to ensure it is used for emergency use only.

Camille Fath, 30144 Lincolnshire, finds it disconcerting that Detroit Country Day has refused to admit the damage they have done to the Rouge River. The river flooded five years ago and eroded the foundation of her home. She stated that last year Detroit Country Day spent the summer bulldozing and building a large bike trail (photos submitted). She expressed concern about the building being done in the flood plain. She stated she felt the issue of the log jam was not adequately addressed. She feels this log jam is a direct result of deforestation by Detroit Country Day. She stated she has witnessed the cutting of the trees and the dropping off of cut logs. Fath stated she has seen the edge of the river bulldozed, creating a mudslide (photos provided). She shared there was a previous log jam that was lifted up by the force of the water and carried down the river where the logs eventually became stuck on a sewer pipe located three feet over the top of the river. Eventually these logs went over the top of the pipe (photos provided). She expressed concern about the lack of visibility in the river, the lack of aquatic animals and bugs. She feels that they will offer to preserve a small area, however the area is all being impacted by the erosion, her property and neighbors' properties are being swamped. She would like to see an environmental impact study done before they move forward. She expressed concern about when the development will stop, and how much more Detroit Country Day can develop.

Stewart Mandell 22601 Highbank Drive, has four issues with the site plan. His first is the building height, he feels if Detroit Country Day had to go before the Zoning Board previously they should again. His second concern is whether the site plan protects residents living north of Cedar Hollow, whether the green screen does enough to protect residents to the south of Cedar Hollow. His third concern is what happens when they come back with more buildings and more changes in the future. His fourth concern is the impact of this building on the river, not just during construction, but after. In his opinion, the relationship between the neighbors and Detroit Country Day has not been great, however with communication it could be salvaged. He feels there needs to be more dialogue between Detroit Country Day and the neighbors.

Westerlund was glad to hear from neighbors regarding the fence and the green screen along the rear of the property. One of the three homes impacted has stated they are not in favor of the fence, he would like to hear more from these neighbors and explore alternative options.

Borowski remains concerned that there will be an increase in the size of the Detroit Country Day student body. He is skeptical of a large building being built for a small student body.

Stempien expressed that there is a lot of concern from the residents and harmony needs to be created between Detroit Country Day and the neighbors. He expressed that there needs to be more collaboration and communication between the two.

Grinnan would like to see the discussion regarding the wall and green space decisions take place between Detroit Country Day and the neighbors. She feels confident that the breakaway emergency gates would keep the road as an emergency use only road and wants to see that specified in the site plan. She finds the photos of the river concerning, and would like to see the MDEQ input on what is happening along the river's edge.

Ostrowski seconds the thoughts expressed by Grinnan. He reminds those present that the commission must be cognizant that the ordinances they must comply with do not give the option to work with each individual adjacent property owner, but that they are dealing with the property being developed. He would encourage the applicant to meet with the neighbors, but stated that asking the applicant to assign each individual home a quantity of trees on the property is unrealistic. He stated the Village has ordinances that are written and are to be followed; there is room for negotiation between both parties. He said he would like to see the Village present when Detroit Country Day meets with the MDEQ.

Chegash agrees a variance for the building height should be required. He stated he would encourage a meeting between Detroit Country Day and the neighbors to come to an agreement. He felt that maintenance on the site is not something that falls under the approval of a site plan. If there are illegal activities happening with regard to the river, it should be taken up with the proper authorities in the county or state. He stated that the school cannot control the flow of the river, and it is hard to say for certain if the flow increase is created by the school. He also would like to see the breakaway gates clearly defined on the site plan.

Jensen clarified that the river is on Detroit Country Day's property, and he feels what they do with the property they own is not the concern of this site plan. The ordinance states there is an obligation to screen with either a masonry wall or a green belt. He would be inclined to suggest a green belt; with the reminder that green belts are proposed based on how they grow in, looking at long term coverage. Based on the building height, he would like to see it put before the Zoning Board for a variance approval. He feels Detroit Country Day has an obligation as a good neighbor to address the issues that have been brought up regarding the river.

Drummond agrees the building height variance needs to go before the Zoning Board. He would like to see the site plan updated to show the breakaway crash gates. He encouraged a dialogue between Detroit Country Day and the neighbors to come to an understanding of the plan for the green belt. He feels that the river is not something the Planning Commission can rule on. He expressed concern that the proposed tree line on the site plan follows the emergency road as opposed to the fence line.

Ashley explained there is a dense canopy along the property line. He stated the fence was proposed in an effort to remain compliant with the Village ordinance, however if the ordinance allows them to keep the existing greenbelt and expand it, that would be their preferred approach. Based on a suggestion at the previous meeting, they would include a series of offset evergreen trees that, over

time, would grow in and provide coverage. He explained if approval was given by the Village, then they would move forward with their soil erosion sedimentation control plan which would show how they mitigate the erosion from the construction activities, which would be provided to the Village.

Westerlund stated the Commission would like a better understanding of the diameter and spread of the six foot evergreens, as well as the growth rate of the evergreens, to help residents understand what the green belt will look like. He would like to see state approval on the crash gate installation.

Ostrowski explained it is less about the size of the spruce trees, but where they are planted. Material needs to be planted that will screen and be allowed to grow and flourish where they are planted.

Ashley said they will reconsider the fence in relationship to the ordinance, and reach out to the neighbors to have a positive dialogue to solve this situation. The crash gate will be added to the site plans and the final style of crash gate will be dictated by the State of Michigan. The former headmaster home will be demolished as part of this construction, and replaced by green space. He stated they are willing to go through and create a better map to show the density of the tree line. He shared that they incorporated the evergreens along the emergency drive to meet the residents' concerns about light pollution when a vehicle is on the emergency road. Regarding the flood plain, he explained the building itself is not in the flood plain, however the drive would be part of the flood plain and they will meet all state requirements. The area to the south is a flood plain and will never be developed. Regarding the retention system, it will be put in and is required by Oakland County; those plans have been submitted and approved by Oakland County. The system is an underground retention system with a maintenance agreement on file with the Village. He stated that he can see there is a cut tree in the river, and he suspects that this tree is causing the pile up. Regarding the mountain bike course, it was created to keep the mountain biking team on campus, but with the construction of this building access to that course will be cut off. He stated that they plan to maintain a 50 foot buffer along the river bed line to protect against erosion. He explained that a DTE line runs along the western property line. There are trees that have been cut in that area. Those trees have been cut by DTE as part of their line maintenance program.

Jensen reminded everyone the major impact would be if they cut down the trees and just built a masonry wall, instead they are working to preserve the existing trees and build in a compatible screen to meet the needs of both themselves and the residents.

Borden clarified that the Village ordinance requires landscaping, the masonry wall is discretionary, and that the wooden fence is proposed, but would require a variance.

Motion by Borowski, second by Chegash, to table the decision on site plan approval until the applicant addresses all comments made this evening as well as those in the letter from LSL.

Roll Call Vote:

Motion passed (8-0)

Jensen left the meeting at 9:30 pm.

Present: Chairperson Ostrowski; Vice-Chairperson Westerlund; Members: Drummond, Grinnan, Jensen, Ruprich, Stempien, Wilensky

Absent: Member Borowski

Also Present: Planning and Zoning Administrator, Wilks
Planning Consultant, Borden
Council Liaison, Abboud

Chairperson Ostrowski called the regular Planning Commission meeting to order at 7:30 p.m. in the Southfield Township municipal building at 18550 W. Thirteen Mile Road.

REVIEW AND CONSIDER SITE PLAN FOR ADDITION TO MIDDLE SCHOOL FACILITY AND COMPLETION OF FIRE DEPARTMENT ACCESS ROUTE FOR DETROIT COUNTRY DAY SCHOOL, 22305 W 13 MILE ROAD

Borden explained that Detroit Country Day (DCD) received a variance from the Village Zoning Board for the building height. Borden also stated that there have been concerns regarding the landscape buffer. DCD met with homeowners to discuss what kind of greenscaping would best meet their needs. The current plan is deficient on shrubs but has a 14 tree surplus. The Planning Commission has the discretion to modify the requirements of the landscape buffer. Upon concerns from surrounding homeowners regarding a log jam in the river, DCD met with the Michigan Department of Environmental Quality (MDEQ) and developed a mediation/mitigation plan that includes removing debris and reinforcing the river bank. The permits for this work will be provided by the MDEQ.

Commissioners commended DCD for meeting with the neighbors, making them part of the process both in designing the greenscape, and in the meeting with the MDEQ.

Sam Ashley, Cunningham-Limp, explained the revisions and updates made on the site plan. The style of crash gates for the fire department access route are represented on the plan. Residents and Wilks joined DCD and the MDEQ on the river inspection. DCD plans to remove the debris causing the log jam, and create a 50 foot setback to rehabilitate the river banks. Ashley reported the site height variance was approved by the Zoning Board, and DCD requested to table the fence variance as they reached a design consensus between themselves and the neighbor's landscape architect which contains as much vertical screening as possible with plant material.

Ruprich asked if the log removal was part of the overall permit process or if it is its own permit. Ashley explained that the MDEQ permit allows for the log removal as well as the flood plain work. They hope to remove the logs this fall and begin stabilization work on the river banks.

Ostrowski inquired about the anticipated timeline for the construction of the middle school. Glen Shilling, Headmaster, explained that there is still a process ahead that includes approval from the Village of Beverly Hills, approval from the DCD Board of Directors and significant fundraising.

Stempien encouraged DCD to remain in contact with the residents as this project progresses, maintaining the newly established relationship.

Westerlund inquired if the special land use request had gone before the Village Council yet. Borden explained that DCD would go before Council for both the special land use and the site plan at the

same time.

Drummond expressed appreciation that DCD is willing to remove the log jam and rehabilitate the river banks despite it not being a requirement of the site plan.

Motion by Westerlund, second by Stempien, to recommend approval of the addition to the middle school facility and completion of fire department access route for Detroit Country Day School, 22305 W. 13 Mile Road, subject to DEQ permits and engineering approval; including the provision of additional trees in lieu of shrubs based on a decision between the residents and Detroit Country Day. Additionally, the Planning Commission recommends approval for the allowance of clearing and maintenance of the Rouge River occurring prior to the execution of the engineering plan, based on MDEQ permit approval.

Roll Call Vote:

Motion passed (8-0)

EXCERPT OF REGULAR COUNCIL MEETING MINUTES – SEPTEMBER 6, 2016 – PAGE
1

Present: President Mooney; President Pro-Tem Peddie; Members: Abboud, Borgon, Delaney, and Oen

Absent: Mueller

Also Present: Manager, Wilson
Assistant Manager/Clerk, Marshall
Village Attorney, Ryan
Public Safety Director, Torongeau

Council President Mooney called the regular Council meeting to order at 7:30 p.m. in the Southfield Township municipal building at 18550 W. Thirteen Mile Road.

SET PUBLIC HEARING DATE FOR OCTOBER 4, 2016 FOR SPECIAL LAND USE APPROVAL ON A REQUEST FROM DETROIT COUNTRY DAY, 22305 W. 13 MILE ROAD TO BUILD AN ADDITION ON THE MIDDLE SCHOOL

Mooney explained Detroit Country Day has submitted a proposal to expand their existing Middle School building and complete an emergency access route. The Planning Commission held a public hearing regarding the special land use in accordance with the Municipal Code. It is necessary for the Village Council to also set a public hearing prior to granting approval for special land use.

Motion by Abboud, second by Oen, to set a public hearing date of October 4, 2016 for the Village Council to receive comments on the special land use request from Detroit Country Day School.

Motion passed.

EXCERPT OF REGULAR COUNCIL MEETING MINUTES – OCTOBER 4, 2016 – PAGE 1

Present: President Mooney; President Pro-Tem Peddie; Members: Abboud, Borgon, Delaney, Mueller and Oen

Absent: None

Also Present: Manager, Wilson
Village Attorney, Ryan
Public Safety Director, Torongeau

Council President Mooney called the regular Council meeting to order at 7:30 p.m. in the Southfield Township municipal building at 18550 W. Thirteen Mile Road.

PUBLIC HEARING TO RECEIVE COMMENTS ON A REQUEST FROM DETROIT COUNTRY DAY FOR SPECIAL LAND USE APPROVAL TO BUILD AN ADDITION ON THE MIDDLE SCHOOL

Abboud explained Detroit Country Day School has submitted a proposal to expand their existing Middle School building and complete an emergency access route. The property is zoned R-1 which permits private schools upon special land use approval. The site plan details an expansion of the school footprint by approximately 16,305 sq ft and total expansion over three floors of 48,465 sq ft. The proposal also includes expansion of the existing parking lot and completion of a required emergency access route. The school seeks to add a grade level (5th) to the student population as part of this expansion.

On Wednesday, May 25, 2016 at their regular meeting, the Planning Commission held a public hearing regarding the special land use in accordance with Section 22.08.300. At that meeting, the Planning Commission recommended approval of the special land use. On Monday, August 8, 2016 at their regular meeting, the Zoning Board of Appeals granted a variance from height requirements of Section 22.24, which limits buildings in an R-1 district to two stories and 30 feet maximum to allow the addition that will be 42 feet high and 3 stories. The addition matches the size of the original building. A variance was granted for the original building in 1987. On Wednesday, August 24, 2016 the Planning Commission recommended approval of the site plan with a provision allowing Detroit Country Day School to commence work on a log jam at the south end of the property following permit issuance from the Department of Environmental Quality (DEQ). The voluntary removal of a log jam was added to the proposal upon receiving input from neighboring residents.

Detroit Country Day School commissioned a traffic study that recommended improvements to the intersection at Hillview Lane and Lahser Road. The school has included those improvements with their site plan. In cooperation with Beverly Hills Public Safety, the site plan includes crash gates at both access points to the emergency drive to prohibit general vehicle traffic. Additionally, the site plan has been reviewed by Hubbell, Roth & Clark and LSL Planning.

Sam Ashley, Cunningham-Limp, explained that the need for expansion is based on the growth of Detroit Country Day (DCD) school's population causing them to outgrow their current building. The new building will house 19 assigned classrooms in addition to specialty classrooms, and offices. In June 2016, DCD and surrounding residents were able to meet to discuss the residents'

concerns. DCD is voluntarily removing the log jam located in the river and plans to have a control signal put into place to combat the traffic flow concerns. On July 15, 2016, they hosted a community meeting and feel that the communication between DCD and the residents has greatly improved.

President Mooney opened the Public Hearing at 8:00 p.m.

Don MacDonald, Foxboro Way, feels the traffic at 13 Mile and Lahser is already so congested he cannot support this expansion. He stated that DCD holds activities on the field every evening using the lights which were not there when he bought his home.

Camille Fath, Lincolnshire, would like written verification that DCD is not encroaching on the flood zone, and that they have the appropriate measures in place to control the watershed.

Dave Ruby, Lincolnshire, would like to know if a study was done on the impact of the roof water being piped directly into the river or the effectiveness of the retention ponds.

Ashley explained that once site plan approval is granted, every project has to submit civil engineering plans, and those plans have to meet state of Michigan, Oakland County and the Village of Beverly Hills codes. All plans are verified and signed by the engineers who design and check them. All work is inspected and verified that it meets the requirements and follows the approved plans. He explained there is an underground storm water retention area on the property as required by the State, the County, and the Village. Like the other water retention areas on the property, this one will be maintained via an agreement with the Village. He suggested that the high quantity of rain that had been received in the last week may have contributed to the sudden rise in water levels in the river.

Ashley stated the traffic study that was conducted on Lahser concluded that the addition would add another 80 cars to the roadway. He agrees that it is a busy roadway, and explained that their influence on changing the road is limited; those decisions are made by the Road Commission for Oakland County. He does feel that installing the light will help improve the flow of the traffic.

Ashley explained that the mountain bike path was initially built to keep the DCD students on campus and out of the surrounding neighborhoods. The bike path will be closed when construction begins, and will not be reopened. Based on DEQ recommendations, there will be a 50-foot conservation area and green belt along the riverbank to help counter erosion.

Stewart Mandell, Highbank Drive, stated that the flooding and erosion has gotten worse since May, and wondered if a larger retention pond could be built.

Ashley explained that compensatory storage is being included in addition to the storm water retention system. When work is done in and around a floodplain it creates a lower recess and compensatory storage is used to offset any loss of flood storage capacity. This plan has been approved by the DEQ.

Fath feels that the bulldozed bike paths are what has caused the erosion. She expressed concern that DCD is not accurately calculating their water retention needs and that is why the river keeps rising.

No one else wished to be heard, Mooney closed the public hearing at 8:28 p.m.

REVIEW AND CONSIDER SPECIAL LAND USE APPROVAL FOR ADDITION TO MIDDLE SCHOOL FACILITY AND COMPLETION OF FIRE DEPARTMENT ACCESS ROUTE FOR DETROIT COUNTRY DAY SCHOOL, 22305 W. THIRTEEN MILE ROAD

Delaney suggested that in the best interest of the residents this item should be tabled until protection of the residents' property can be assured.

Mueller confirmed that the water retention plan must be approved by the DEQ, County, and Village before DCD can proceed with their project. Ryan stated that water retention is a site plan issue, and all water retention designs and specifications are mandated at the County level.

Peddie stated that she is in favor of the addition, but would like to see the residents protected and have some assurances for their property protection.

Abboud pointed out that this proposal has been before the Planning Commission and the Zoning Board of Appeals with support and approval.

Oen stated that if approved the plan will still be evaluated and modified to meet all requirements. Delaying the approval of the special land use or site plan will not assist in expediting a storm water study.

Motion by Abboud, second by Oen, be it resolved that Village Council approves the special land use request for Detroit Country Day to build an addition onto their existing Middle School building.

Roll Call Vote

Motion passed (7 – 0).

REVIEW AND CONSIDER SITE PLAN FOR ADDITION TO MIDDLE SCHOOL FACILITY AND COMPLETION OF FIRE DEPARTMENT ACCESS ROUTE FOR DETROIT COUNTRY DAY SCHOOL, 22305 W. THIRTEEN MILE ROAD

Wilson explained Council has approved special land use. If the site plan is approved, there is a process that requires several engineers' approval on the plan. The Rouge River is a major drainage basin, and due to high rain fall there has been flooding in several areas in the county. Any building built has to meet storm water standards set by the DEQ. Wilson stated that it is not reasonable to hold DCD responsible for all of the erosion that is happening along the river. The responsibility of DCD is to maintain and prevent erosion on their property.

Mooney stated that the mitigation of rain water that falls on hard surfaces is a standard set by Oakland County and has to be approved by their engineering team. The DEQ also has standards and requirements for water retention that must be met.

Ryan explained that although the Village could request that DCD create a larger water retention pool, they can decline; the Village cannot require more than the DEQ standards.

Wilson explained that the size retention basin that would be needed for the kind of control being discussed is beyond the scope of the DCD project; it would become a large scope public works project.

Fath feels that residents are already overwhelmed by the current river problems and that approving the site plan would add more problems to an already serious problem.

Mandell agreed that all of the problems are not the fault of DCD. His concern is that once the site plan is approved it cannot be undone, and he would not want it to generate more problems in the future; his goal is to mitigate damage to homeowners.

Ruby suggested that instead of building for a 100 year flood occurrence as mandated, they could consider 150 year flood. He reiterated concern about the erosion along the banks of the river. Wilson suggested that residents contact the DEQ to address the issues of erosion.

Ostrowski explained the impact on river flow is a multi-jurisdiction problem. He stated the Planning Commission reviewed this site plan extensively, DCD met with the neighbors as well as the DEQ and at the August 24, 2016, Planning Commission meeting it appeared that DCD and the neighbors had reached a consensus.

Ashley stated that DCD commissioned a drainage study that was provided to Council, and received approval from the DEQ to remove the logs and reinforce the banks.

MacDonald stated that the only Public Hearing notice he received was the one for this Council meeting. He reiterated that when DCD school is not in session he sees a significant drop in the amount of traffic at the intersection.

Ashley explained that DCD met with the residents of the Georgetown neighborhood on the west side of the property and their landscape architect, Jim Scott. A green scape was designed and agreed upon; foregoing the short shrubs as required by the ordinance for taller evergreens that would provide better coverage.

Mueller thanked DCD and Ashley for working with the neighbors. He inquired about the grade of the emergency access road in relation to the neighbors. Ashley stated that the road slopes north to south and is below the property line grade along the entire road. The road will not be visible to the neighbors. The bi-fold gates extend across the road at both ends which are locked by Knox box as supplied by the Public Safety Department, landscaping prohibits anyone from driving around the gates. Ashley confirmed that the planting along the former bike path area would begin in the Spring of 2017.

Motion by Abboud, second by Oen, be it resolved that Village Council approves site plan dated August 12, 2016 for Detroit Country Day to build an addition onto their existing

Middle School building and completion of emergency access route. This approval includes the permanent removal of the bike path, removal of a log jam in the Rouge River, bank stabilization per DEQ permit and regulations, and planting along the bike path area based on consultation and consensus with neighbors. The site plan is subject to final engineer review relative to the storm water management plan. Along the west side, the greenscape design as approved by residents and DCD will forego short shrubs and replace them with taller evergreens which provide better sightline coverage.

Roll Call Vote

Motion passed (7 – 0).

VILLAGE MANAGER'S REPORT
CHRIS D. WILSON
MARCH 1, 2019

Beverly Park Buckthorn Project – The contractors for the buckthorn removal project at Beverly Park have made significant progress in the last two weeks. Village Administration was on site with the contractor for a walk through on Tuesday the 26th. There are areas of the project that are very sparsely populated with standing vegetation at this time. This is due to the predominance of buckthorn in these areas. According to the contractor, some of the areas had likely been growing unchecked for 40+ years. It was also reported that the contractor encountered some of the largest buckthorn they had ever treated during this project.

The contractor is completing the mowing process this week and will begin treating the remaining stumps. The existing pathways are being cleared of debris and the shredded material is being cleaned and piled as space allows. I am hopeful that some of the larger debris can be chipped and used as material for the walking paths this season. The smaller debris that cannot be chipped will biodegrade.

With the area exposed there will likely be a lot of germination of existing seed bed this spring. This will result in some rapid regrowth of some areas of buckthorn. Accordingly, there will be another cutting in the spring followed by a broadcast treatment to eliminate this round of buckthorn. Once that is completed, the Village can begin with the planned replanting and reforestation project.

Per the recommendation of the contractor, a buffer area along residential areas on Mayfair have been spot treated but not cut and removed at this time. The contractor suggested, and Village Administration agreed that it was best to treat these areas to kill the buckthorn, but leave the plants standing as they are to create a bit of a buffer from the sparser areas. As this buckthorn has been treated it will not spread to the areas that were totally removed. The treated plants in the buffer area will either eventually fall or if needed can be cut down and/or removed later; hopefully after some successful regrowth has taken place to lessen the transition to residential yards.

Another issue that has been brought up by Comeau is that some of the areas that have been cut have exposed some old dead ash trees. These trees are now exposed to more wind than before and are at greater risk of failure. Village Administration plans to work with Comeau to identify these trees and have them felled for safety.

Overall, the project will be successful in removing the expansive overgrowth of buckthorn and eventually providing a situation that can be adequately addressed by the Village. In the interim there will be a period of a drastic reduction in overall vegetation. The buckthorn growth was at a stage in some areas that removal of all the buckthorn left very little behind. This can and will be remedied over time, but it will require some patience.

Old McDonald's Site – Late this week the Village received a site plan from Robertson Brothers Builders for a residential development on the site of the old McDonald's property. Village Administration and SAFEbuilt are in the preliminary stages of reviewing the proposed development.

SOCWA and SOCRRRA Quarterly Reports – Attached please find the most recent quarterly reports for the Southeastern Oakland County Water Authority (SOCWA) and SOCRRRA.



Berkley • Beverly Hills • Birmingham • Clawson • Ferndale • Hazel Park • Huntington Woods • Lathrup Village • Oak Park • Pleasant Ridge • Royal Oak • Troy

QUARTERLY REPORT January 2019

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January 2019

Board of Trustees
SOCRRA

Subject: Quarterly Report - January 2019

Board Members:

Attached is a copy of SOCRRA's Quarterly Report covering the first six months operation of the 2018/19 fiscal year. The report contains a financial statement of SOCRRA's operation and an outline of projects in progress or completed during the quarter. The report also contains statistical information and other information of general interest to the members of the Board of Trustees, and the members of the governing body of each of the member municipalities of this Authority.

FINANCIAL STATEMENT

The total net income for the first 6 months of 2018/19 was \$1,335,731 before depreciation. This is an increase from the net income of \$473,612 that was recorded for the first 6 months of 2016/17. The net income for the first 6 months was \$349,554 less than budgeted.

	<u>Actual</u>	<u>Compared to Budget</u>
Revenue	\$11,842,091	-\$ 434,515
Expenses	\$10,506,359	-\$ 84,961
Net Income	+\$1,335,732	-\$ 349,554

Revenue was higher than planned due to increased revenue from the member communities (+\$108,000), higher than planned non-member yard waste (+\$30,000) and miscellaneous income (+\$6,000). These increases were offset by lower than planned revenue from non-member refuse from Advanced Disposal, Car Trucking, Dinverno, Rizzo Services and Tringali Sanitation and our other cash customers (-\$214,000), lower than planned revenue from the sale of recyclables (-\$356,000) and lower interest on investments (-\$10,000).

Expenses were lower than budget primarily due to lower than planned costs for non-labor Administrative and General Expenses (-\$132,000), labor (-\$151,000), utilities (-\$30,000) and supplies (-\$6,000) which were partially offset by higher than planned costs for contractor expenses (+\$189,000) and maintenance (+\$44,000).

Total revenue for the first six months of 2018/19 increased by \$813,000 compared to the first six months of 2017/18. This increase was due to increased revenue from sale of recyclables due to the reopening of the MRF (+\$711,000), higher member revenue (+\$191,000), higher compost sales (+\$27,000), increased yard waste from non-members (+\$20,000) and increased miscellaneous revenue (+\$13,000). These increases were partially offset by decreases in non-member refuse revenue due to construction at the Troy Transfer Station (-\$129,000) and interest income due to the bond funds being spent for the MRF conversion project (-\$20,000).

Operating expenses for the first six months of 2018/19 were \$217,000 lower compared to the first six months of 2017/18. The decrease in expenses was primarily due to reduced contractor costs.

Additional financial detail is attached.

MATERIAL HANDLED

SOCRRA processed 112,325 tons of refuse, yard waste and recyclables during the first six months of the current fiscal year. This represents a decrease of 0.5% or 595 total tons compared to the same period last year. Member recycling increased by 5.4% due to our residents making continued use of the new recycling carts. Member refuse decreased by 2.0% which is also partially due to the increase in member recycling tonnage. Non-member refuse decreased by 28% compared to last year due to the limited capacity at the Troy Transfer Station due to the replacement of one of the two refuse compactors, see discussion below.

Our recent history of tonnage handled for the first half of the fiscal year is displayed in the table below:

	2014/15	2015/16	2016/17	2017/18	2018/19
Member Refuse	77,447	55,460	56,159	53,517	52,445
Non-Member Refuse	19,389	18,985	27,723	18,874	13,601
Member Recycling	9,005	9,729	10,018	11,841	12,483
Non-Member Recycling	263	227	257	591	272
Yard Waste	30,362	32,564	29,739	26,907	33,524
TOTAL	136,466	116,965	123,897	111,730	112,325

CAPITAL EXPENDITURES

Capital expenditures for the first six months of the fiscal year totaled \$150,793 and for the rehabilitation of the Troy Transfer Station (\$140,000) and for the replacement of the roof for one of the rental houses adjacent to the Compost Site (\$10,000).

MAJOR PROJECTS

MRF OPERATIONS

Overall, the new MRF continues to operate very well. The commodity markets, especially the paper market, continue to be very unstable due to a series of actions taken by the Chinese government that have severely restricted the import of recycled materials and by trade tariff actions taken by the US and China. We are continuing to receive very strong prices for our plastics and metals, particularly natural PE and PET plastics. We conducted a request for proposals for paper brokering services in October. As a result, we entered into a three-year agreement with Royal Oak Paper to broker all of our paper materials. This contract pays us a premium over market-based prices for all of our paper products and will result in additional revenue for SOCRRA. Having the Royal Oak Paper facility located so close to our MRF also enables us to promptly remove our completed materials when required, which is a significant advantage.

We are shipping a load of Sorted Office Paper each month. This material is from the paper shredder at the drop-off center and from the bags of shredded paper that are pulled off at the MRF pre-sort stations. This product is currently being sold for well over \$200 per ton, which is over 5 times the price we receive for our newspaper product.

Our glass is being recycled by Strategic Materials, which is located near Chicago. We will be working with Strategic and Machinex to determine if we need to keep running the glass clean-up system in its current configuration in order to meet Strategic's quality requirements as part of the development of an agreement with Strategic.

The curbside recycling tonnage has significantly increased as a result of the recycling carts being used by our residents. For the first six months of the fiscal year, the amount of recycling from the member communities increased by 5.4% compared to the same period last year. Trash tonnage from the member communities decreased by 2.0% for the same period continuing the trend that we have been observing since the recycling carts were distributed.

We have been awarded a \$45,000 grant by our insurance provider, the MMRMA, for a supplemental fire suppression system for the MRF. This system shoots foam at a hot spot identified by thermal imaging cameras that has been verified as a potential fire by a manual operator. It would be in the MRF tipping floor area and would monitor the feed hopper. This system should be installed in the first quarter of 2019.

We will be accepting recyclables from other communities during the first quarter of 2019. It appears that there is substantial demand for that service in the Metro Detroit area.

RECYCLING DROP-OFF CENTER

We have received a \$50,000 grant from the Foam Recycling Coalition for a Styrofoam densifier and for some minor MRF modifications to allow us to recover Styrofoam from the material collected at curbside. We are currently developing plans for the installation of the densifier. SOCRRA recycled over 42,000 pounds of Styrofoam during 2018 making us the largest recycler of Styrofoam in Michigan. The densifier will make it much easier to handle this large volume of material and will greatly reduce the costs of transporting Styrofoam for recycling.

We conducted a request for proposals for Household Hazardous Waste (HHW) service for the materials we receive from residents at the drop-off center. The new HHW vendor began service on November 1 at a substantially reduced cost. The change in vendors was transparent to our residents.

We are also beginning to evaluate whether we should relocate our recycling drop-off center or construct an additional center at another location.

WASTE WIZARD

The Waste Wizard feature on our website has been completed and has been live since August 15. It is also available as a smart phone app. The Wizard allows resident to determine the proper methods of recycling or disposing of a huge range of materials. Having the Wizard available appears to have reduced the volume of phone calls being made to the SOCRRA office.

TROY TRANSFER STATION

We are continuing to work on the refurbishment of the Troy Transfer Station. The first phase of this project was the replacement of one of the compactors and replacing the concrete tipping floor near the compactor. This work was completed, and the compactor was put into service on December 18. SOCRRA personnel built the steel push wall and chute assembly that is used to get refuse to the compactor. This saved us a significant amount of money. The next phase of this project will be doing similar concrete replacement and the repair or replacement of the old compactor. We plan to complete this work during the winter months when the trash tonnage is lower than average.

FALL LEAF SEASON

The recently completed fall leaf season went very well. Our municipal crews and contractors were able to almost completely clean up the leaves before December 21 when curbside collection of yard waste was completed for the year. During the winter months, residents of the SOCRRA communities can bring in up to 10 kraft paper bags of yard waste to our Troy Transfer Station for disposal. We will be continuing this service until curbside pickup of yard waste begins again on Monday April 1. This service was used very heavily by our residents during the warmer period of early January.

PENSION FUNDING

The SOCRRA Board approved some additional funding for the MERS Union pension plan and for the plan that provides pension benefits for the retired and active salaried employees that provided services to both SOCRRA and SOCWA. We have made incremental contributions to the salaried plan for the past 6 years and have significantly improved the plan funding level. This was the second incremental contribution to the union plan, which remains significantly underfunded. MERS will complete their actuarial study to determine the funding status of the pension plans before June 2019.

ANNUAL AUDIT

The audit report for the 2017/18 fiscal year was completed by our auditors, Plante & Moran. The audit found the Authority to be in complete conformity with generally accepted accounting practices. The auditors concluded that the Authority's level of working capital decreased by \$1.9 million, which reduced the working capital to 3.7% of annual expenditures, which is below the goal level of 7.5%. We will be taking measures to increase our level of working capital in 2018/19. The net position of SOCRRA decreased by \$710,000 during 2017/18. The pension and OPEB funding levels as of June 30, 2018 were 67.1% for the union pension plan, 91.5% for the salaried pension plan, 84.8% for the union OPEB plan and 97.5% for the salaried OPEB plan. Each of these plans has been additionally funded in the current fiscal year.

Respectfully submitted,

Jeffrey A. McKeen, P.E.
General Manager



* Berkley * Beverly Hills * Bingham Farms * Birmingham
 * Clawson * Huntington Woods * Lathrup Village * Pleasant Ridge
 * Royal Oak * Southfield * Southfield Township

QUARTERLY REPORT JANUARY 2019

BOARD OF TRUSTEES	
Representative	Municipality
D. Schueller	City of Berkley
C. Wilson	Village of Beverly Hills
K. Jones	Village of Bingham Farms
P. T. O'Meara	City of Birmingham
H. Drinkwine	City of Clawson
R. Fortura	City of Huntington Woods
S. Mitchell	City of Lathrup Village
S. Pietrzak	City of Pleasant Ridge
G. Rassel	City of Royal Oak
L. Sirls	City of Southfield
C. Wilson	Township of Southfield

OFFICERS	
Chairman:	H. Drinkwine
Vice Chairman:	G. Rassel
Secretary:	C. Wilson
Advisory Committee:	H. Drinkwine, S. Pietrzak, G. Rassel, C. Wilson

J. A. McKeen	General Manager
R. Jackovich	Operations Manager

January 2019

Board of Trustees
Southeastern Oakland County Water Authority

Subject: Quarterly Report - January 2019

Board Members:

Attached is a copy of the Southeastern Oakland County Water Authority's Quarterly Report covering the first six months operation of the fiscal year 2018/19. The report contains a financial statement of the Authority's operation and an outline of projects in progress or completed during the second quarter. The report also contains statistical information and other information of general interest to the members of this Authority.

FINANCIAL STATEMENT

The total net operating income before depreciation for the first 6 months of 2018/19 was \$1,568,199, which was \$213,391 lower than budgeted. This was a decrease from the net income of \$1,897,022 for the first six months of 2017/18.

	Actual	Compared to Budget
Revenue	\$14,962,849	- \$550,857
Expenses	\$13,394,650	- \$337,467
Net Income (before depreciation)	\$ 1,568,199	- \$213,390

SOCWA's working capital was 23.0% as of December 31, 2018. This is higher than the 8.3% working capital goal approved by the Board but a decrease from the 28.5% working capital as of December 31, 2017 due to the money expended on capital projects in 2018/19, see discussion below.

The decrease in revenue was primarily due to lower (-3.5%) than planned water sales to both the member communities (-\$127,000) and to Bloomfield Hills and Bloomfield Twp. (-\$422,000). Revenue from rentals (-\$25,000) were below budget while interest revenue (+\$22,000) was greater than budget. Water sales volumes for the six-month period were 1.2% lower than the actual water sales for the same period in 2017/18.

The decrease in expenses was due largely to decreased cost for water purchased (-\$283,000) and lower than planned expenses for maintenance (-\$29,000), utilities (-\$14,000), supplies (-\$9,000), regulatory required water testing (-\$9,000) and non-labor Administrative & General (-\$9,000) which were partially offset by increased costs for Miss Dig service (+\$12,000).

Capital expenditures for the first six months of the fiscal year totaled \$1,232,185 and were for the rehabilitation of the 16" water main in Coolidge from 13 Mile to 14 Mile (\$1,191,200), the initial engineering expenses for the replacement of the 16" water main in 14 Mile between

Greenfield and east of Coolidge (\$37,000) and partial expenses for the replacement of a two water meter locations (\$4,000) meter.

Additional financial detail is attached.

The following is the Authority's record of revenues and expenditures based on the average cost per 1,000 cu. ft. of water.

	2016/17	2017/18	2018/19	Over or Under 2017/18
Total Sales (MCF)	763,173	737,417	728,542	-8,875
Water Sales	\$19.90	\$20.06	\$20.42	+0.36
Other Income	<u>0.07</u>	<u>0.10</u>	<u>0.12</u>	<u>+0.02</u>
Total Income	\$19.97	\$20.16	\$20.54	+\$0.38
Water Purchased for Resale	15.45	16.32	16.84	+0.52
Operating Expenses	1.24	1.27	1.55	+0.28
Total Operating Expenses	\$16.69	\$17.59	\$18.39	+\$0.80
Available for Improvements	\$3.28	\$2.57	\$2.15	-\$0.42

COMPARATIVE STATEMENT

The following is a comparison of the first six months operation of the current fiscal year with the same period of the previous fiscal year.

Revenues From the Sale of Water	+ \$84,225	
Revenues From Other Sources	+ <u>14,613</u>	
TOTAL REVENUES		+ <u>\$ 98,838</u>
<u>Operating Expenses</u>		
Water Purchased for Resale	+ \$234,435	
Other Operating Expenses	+ 193,272	
TOTAL EXPENDITURES		+ <u>\$427,707</u>
NET INCOME BEFORE DEPRECIATION		- \$328,869

The following is the record of water sales to member municipalities for the period July 1 through December 31. The six month record shows a decrease in water sales of 3.3% during the current fiscal year compared with the same period of the previous fiscal year. For the six month period, our sales were almost exactly the same as the budgeted sales.

WATER CONSUMPTION – DAILY AVERAGE (MGD) JULY 1 THROUGH DECEMBER 31						
Month	2014	2015	2016	2017	2018	Over or Under 2017
July	36.61	34.59	45.77	40.71	43.59	+2.88
August	32.91	37.06	41.54	38.40	38.31	-0.09
September	28.27	33.86	32.96	33.87	31.95	-1.92
October	23.09	25.69	23.82	25.37	22.80	-2.57
November	21.76	21.19	20.80	20.57	20.54	-0.03
December	21.24	20.66	21.42	20.85	20.30	-0.55
Average	27.34	28.86	31.10	29.99	29.62	-0.37
Variance		+5.6%	+7.8%	-3.6%	-1.2%	

The following is the precipitation record, as recorded at the Webster Station:

PRECIPITATION – INCHES					
Month	2014	2015	2016	2017	2018
July	2.70	1.30	2.85	1.10	1.08
August	7.20	2.10	2.80	2.30	1.36
September	2.20	1.30	4.49	0.70	4.34
October	1.70	1.80	1.80	5.70	5.37
November	2.40	1.30	1.35	4.30	2.71
December	<u>1.20</u>	<u>1.50</u>	<u>1.70</u>	<u>1.50</u>	<u>1.60</u>
Total:	17.40	9.30	14.99	15.60	16.46

MAJOR PROJECTS

GLWA WATER RATES

GLWA will be announcing the rates for 2019/20 in late January. GLWA is budgeting water sales for 2019/20 that will be slightly higher than the 2018/19 budget. GLWA also reduced their interest costs on some of their outstanding bonds through a refinancing completed in the fall of 2018. SOCWA was also able to renegotiate our contract with GLWA to include lower water demands. Those three factors should help to mitigate the rate increases from GLWA that we have received in the past several years. SOCWA water rate estimates will be provided to the SOCWA Board at their February meeting.

GLWA ISSUES

GLWA Customer Outreach

GLWA has adopted the same Customer Outreach Program that DWSD has used for many years. SOCWA staff is continuing to participate in the GLWA Customer Outreach Process. I have been serving as one of five elected customer co-chairs of the Technical Advisory Committee that guides this process. Significant progress has been made in improving the level of

communication and understanding between GLWA and its customers through this process, which will be a continuing effort. SOCWA continues to be a strong proponent of GLWA's customer partnering process. The principals of Project Innovations, the third-party facilitator that ran the Customer Outreach Program, retired in mid-2018. The third-party facilitation role has been assumed by Bridgeport Consulting. Bridgeport has done an excellent job in getting up to speed on the many Customer Outreach activities. The Customer Outreach Program continues to be very important in continuing the excellent relationship between GLWA and its customers.

GLWA Board of Directors

Mr. Brian Baker, the GLWA Director representing Macomb County was elected Board Chair for 2019. Mr. Baker replaces Mr. Freman Hendrix, one of the City of Detroit representatives, who was Board Chair for 2018.

Highland Park

Highland Park continues to owe GLWA approximately \$6.5 million in unpaid water bills and \$34 million in unpaid sewer bills. Highland Park continues to make partial payments to GLWA but these payments are not large enough to keep the total balance owed from continuing to grow. GLWA is continuing to pursue collection of the unpaid amounts.

GLWA Website

The GLWA website, www.glwater.org, is a great source of information regarding GLWA. The agendas and minutes for all Board and Board Committee meetings are posted along with procurement information about all projects being performed by GLWA.

PENSION FUNDING

The Board continued to take additional steps to address the underfunded status of SOCWA's pension plans by contributing additional funding to both the salaried and union pension plans. SOCWA has been contributing substantially above the actuarially required amounts to the salaried pension plan for six years and the unfunded liability for that plan has been significantly reduced. The 2018 incremental contribution to the Union plan was the third year we have made an incremental contribution. MERS will complete their actuarial study to determine the funding status of the pension plans before June 2019.

COOLIDGE AND 14 MILE ROAD WATER MAIN REHABILITATION PROJECTS

SOCWA has completed the rehabilitation of a one-mile section of 16" cast iron water main in Coolidge between 13 Mile and 14 Mile by installing a 16" polyethylene plastic liner inside of the old cast iron water main. This is the first installation of this type and size in Michigan. The contractor will be returning in the spring of 2019 to finish a small punch list of items including the final restoration of the areas excavated during construction.

We have also taken proposals for the replacement of approximately 2 miles of 16" cast iron in 14 Mile Road from Greenfield to just east of Coolidge. This section of 14 Mile is being repaved by Birmingham and Royal Oak in the spring of 2019. Our existing water main is under the pavement for the majority of the repaving project. This project, which will be performed by pipe bursting the existing 16" cast iron main and replacing it with 16" polyethylene plastic main, was awarded to Verdeterre Contracting at the December SOCWA Board meeting. The project is scheduled to be completed before the repaving work starts. Included in this project is the replacement of a pressure reducing valve currently located in the intersection of 14 Mile and

Coolidge, which is a very difficult location to service. This valve is being relocated south of 14 Mile. The total cost of this project is approximately \$2 million and it will be funded through retained earnings.

SALE OF WATER TO THE VILLAGE OF FRANKLIN

The village of Franklin is exploring alternatives to supply water to the commercial area on Franklin Road south of 14 Mile. Under SOCWA's Articles of Incorporation, which date to 1993, Franklin can become a member of SOCWA when a water system is installed. The Articles need to be updated to reflect the many changes that have occurred since 1993. Franklin becoming a member of SOCWA could provide the opportunity to update the Articles. SOCWA staff and legal counsel are working on revised Articles that will be reviewed by the SOCWA Board. Revising the Articles will require the unanimous approval by the governing bodies of all SOCWA member communities.

ANNUAL AUDIT

The audit report for the 2017/18 fiscal year was completed by our auditors, Plante & Moran, and was reviewed at the November SOCWA Board meeting. The audit found the Authority to be in complete conformity with generally accepted accounting practices. The auditors concluded that the Authority's level of working capital increased by \$1,285,000 during the fiscal year and that working capital continues to be maintained above the goal level established by the Board. The net position of SOCWA increased by \$1,429,000 during the year. We will be spending a significant portion of our working capital on the water main projects discussed above.

Respectfully submitted,

Jeffrey A. McKeen, P.E.
General Manager



February 19, 2019

Mr. Chris Wilson
Village Clerk
Village of Beverly Hills
18500 W. 13 Mile Road
Beverly Hills, MI 48025

Dear Mr. Wilson,

As part of our ongoing efforts to keep you informed of changes that impact our customers, I want to share an upcoming change in our channel line-up offering.

Effective on or after March 26, 2019, QVC (Ch.12) will be included as part of WOW! Small Cable.

As a result of this change, customers subscribing to WOW! Small Cable will have access to QVC for no additional charge. We will communicate this change to our customers by placing a notice in the local newspaper and on our website.

Thank you for your continued support and cooperation. If you have any questions, please contact me at 248-677-9080.

Sincerely,

A handwritten signature in black ink, appearing to read "T. Priester".

Terrell Priester
Everyone's Friend, Family Focused, Sports Fan
Director, Operations of WOW! Southeast Michigan
WOW! Internet, Cable and Phone

Beverly Hills Public Safety Activity Report

February 14th – 28th, 2019

- The Public Safety Department is currently looking for applicants for Public Safety Officer. Please visit our website, www.beverlyhillspolice.com to see if you qualify.
- Check your smoke detectors and CO Alarms.

CALLS FOR SERVICE

- 176 Calls for Service
- 10 Arrests
- 113 Tickets issued.
- 3 Walk in PBTs.
- 8 Prescription pill drop offs.
- Vacation checks.
- 1 Prisoner transports to and from the Birmingham Police Department.
- Walk in Gun Permits issued
- Crossing Guard on Beverly
- Car Seat Safety Inspection
- 2 Traffic Accidents on 13 Mile Rd.
- Medicals on 13 Mile Rd.
- 2 Suspicious Vehicles complaints on 13 Mile Rd.
- Vehicle Lockout on 13 Mile Rd.
- Alarm on 13 Mile Rd.
- 3 Animal complaints on 13 Mile Rd.
- Suspicious Circumstance complaint on 13 Mile Rd.
- Suspicious Persons complaint on 13 Mile Rd.
- Road Hazard on 13 Mile Rd.
- 3 Motorist Assists on 13 Mile Rd.
- Suspicious Circumstance complaint on Southfield
- 4 Suspicious Persons complaints on Southfield
- Animal complaint on Evergreen
- Suspicious Persons complaint on Greenfield
- Medical on Saxon
- Juvenile complaint on 14 Mile Rd.
- Medical on Lahser
- Suspicious Vehicle complaint on Beverly
- Suspicious Vehicle complaint on Southfield
- Alarm on Nottingham
- Fraud complaint on Amherst
- Suspicious Persons complaint on Kennoway Ct.
- Motorist Assist on Embassy
- Alarm on E. Rutland
- Alarm on Birwood

Beverly Hills Public Safety Activity Report

February 14th – 28th, 2019

- Neighbor Trouble on Birwood
- Alarm on Birwood
- 2 Alarms on Crossbow
- Citizen Assist on Buttonwood
- Assist Franklin Police with an Alarm
- Animal complaint on Auburn
- Officers stopped a vehicle for a traffic violation on Southfield. The driver was operating on a suspended license. The driver was arrested without incident.
- Animal complaint on Birwood
- Medical on Friartuck
- Alarm on Fairfax
- Alarm on Village Pines
- 2 Medicals on Nottingham
- Animal complaint on Billington Ct.
- Suspicious Vehicle complaint on Embassy
- Assist Royal Oak Police with a traffic accident on 14 Mile Rd.
- Carbon Monoxide Alarm on Amherst
- Medical on W. Rutland
- 2 Medicals on Stellamar
- Medical on Westlady
- Medical on Nixon
- Officers stopped a vehicle on 13 Mile for a traffic violation. The driver was operating on a suspended license. The driver was arrested without incident.
- Citizen Assist on Birwood
- Fraud complaint on E. Bellvine Trail
- Suspicious Vehicles complaint on Beverly
- Abandon Vehicle complaint on Huntley Sq. E.
- Alarm on Cline
- Suspicious Persons complaint on Amherst
- Officers stopped a vehicle for a traffic violation on 13 Mile. The driver was operating on a suspended license. The driver was arrested without incident.
- Citizen Assist on Walmer
- Suspicious Persons complaint on Kirkshire
- Medical on Amherst
- Medical on Warwick
- Citizen Assist on E. Rutland
- Officers stopped a vehicle on Greenfield for a traffic violation. The driver was operating on a suspended license and had warrants for her arrest. The arrest was conducted without incident.
- Officers stopped a vehicle on 13 Mile for a traffic violation. The driver was suspected of operating while intoxicated. The driver was arrested.
- Alarm on Fairfax

Beverly Hills Public Safety Activity Report

February 14th – 28th, 2019

- Solicitor complaint on embassy
- Medical on Dunblaine
- Alarm on Rivers Edge Ct
- Suspicious circumstance complaint on Glencoe
- 2 Road Hazards on 14 Mile
- Found property on Southfield
- Identity theft complaint on Huntley Sq
- Officer stopped at vehicle on 13 Mile for a traffic violation. The driver was operating on a suspended license and a warrant for his arrest. The driver was arrested without incident.
- Medical on Kinross
- Medical on Riverside
- Road Hazard on Beverly
- Assist Franklin-Bingham Police with an alarm
- Medical on Kennoway
- Down wire complaint on Kennoway
- Animal complaint on Evergreen
- Alarm on Embassy
- Citizen Assist on Embassy
- Alarm on E. Rutland
- Noise complaint on Huntley Sq. E.
- Alarm on Birwood
- Medical on Hampstead
- Road Hazard on Sheridan
- Parking complaint on Kennoway
- Suspicious Persons complaint on Elizabeth
- Alarm on Smallwood
- Officers stopped a vehicle on 13 Mile for a traffic violation. The driver was operating on a suspended license. The driver was arrested without incident.
- Medical on Eastlady
- Suspicious Circumstance complaint on Buckingham
- Officers stopped a vehicle on Lahser for a traffic violation. The driver was operating on a suspended license.
- Traffic Accident on Devonshire
- Suspicious Persons complaint on Smallwood
- Officers responded to Bloomfield Twp. Police where they arrested an individual on a Beverly Hills Warrant. The arrest was completed without incident.
- Fraud complaint on Downing
- Medical on Kennoway
- Officers stopped a vehicle on 13 Mile for a traffic violation. The driver was operating on a suspended license and warrants for his arrest. The driver was arrested without incident.

Beverly Hills Public Safety Activity Report

February 14th – 28th, 2019

- Medical on Beverly

FIRE AND EMS

- Host Fire Company Officer Training.
- Fire Marshal completed Fire Instructor II Course
- MABAS meetings
- Fire Governance
- Fire Inspections
- Continue to outfit apparatus

INVESTIGATIONS

- CFS Closed and Reviewed-167
- Followed up and reviewed cases, of which 5 were closed
- 8 cases were assigned
- 28 Current active investigations
- 5 Current pending investigations
- Investigate CSAM-Berkshire Student
- Interviewed Victim in CSAM
- SLO attended Pep Rally at Groves
- Arraignment on OWI High BAC
- SLO attended Groves Basketball Game 2/25, 2/27
- Drug Burn at OC
- DV case sent to Village Prosecutor for Review
- Gun Shot Case Sent to Tom Ryan for review-Disorderly
- 2 Search Warrants executed for Fraud Case
- Blood Kit Sent out for OWI
- Issued Ticket for Possession of Marijuana-Person under 18