AGENDA

PLANNING COMMISSION OF THE CITY OF BRADBURY

REGULAR MEETING

Wednesday, April 27, 2022 – 7:00 P.M.

BRADBURY CIVIC CENTER

600 Winston Avenue, Bradbury, CA 91008

Pursuant to California Government Code Section 54953(e)(1), the City is allowing Planning Commissioners, staff, and the public to participate in this Planning Commission Meeting by means of a Zoom video or telephone call. You will be able to hear the entire proceedings (other than a Closed Session) and to speak during Public Comment, Public Hearings, and other authorized times. Members of the public must maintain silence and mute their microphones and telephones except during those times. The Zoom information is: https://us02web.zoom.us/j/8591600704. One tap mobile is +16699009128, 8591600704# or dial +1 (669) 900-9128 and enter the Meeting ID: 859 160 0704# or find your local number at https://us02web.zoom.us/u/kd210Rb6QC.

The City of Bradbury will gladly accommodate disabled persons wishing to communicate at a City public meeting. If you need special assistance to participate in this meeting, please call the City Manager's Office at 1 (626) 358-3218 at least 48 hours prior to the scheduled meeting.

Materials related to an item on this Agenda submitted to the Planning Commission after distribution of the agenda packet are available for public review at City Hall, 600 Winston Avenue, Bradbury, CA 91008, during normal business hours; 8:30 am - 5:00 pm, Monday through Friday.

1. **CALL TO ORDER / PLEDGE OF ALLEGIANCE**

2. **ROLL CALL**
   Chairperson: Robert Jones
   Vice-Chairperson: Chelsea Hunt
   Commissioners: Darlene Kuba, Bill Novodor and Frank Hernandez

3. **SUPPLEMENTAL INFORMATION FROM STAFF REGARDING AGENDA ITEMS**

4. **APPROVE AGENDA** Chairperson to approve the agenda as presented or as modified.

5. **MINUTES** Approve the minutes for the regular meeting of February 23, 2022.

6. **FAIR POLITICAL PRACTICES ACT** In compliance with the California State Fair Political Practices Act, each Planning Commissioner has the responsibility of disclosing any direct or indirect potential for a personal financial impact that could result from participation in the decision-making process of development applications.

   RECOMMENDATION: Receive and file the report as presented or as modified.

7. **PUBLIC COMMENT** Anyone wishing to address the Planning Commission on any matter that is not on this agenda for a public hearing may do so at this time. Please state your name and address clearly for the record and limit your remarks to five minutes.

   Please note that while the Planning Commission values your comments, the Planning Commission cannot respond, nor take action until such time as a matter may appear on a forthcoming agenda.

   Routine requests for action should be referred to City staff during normal business hours; 8:30 am to 5:00 pm, Monday through Friday at City Hall, 600 Winston Avenue, Bradbury, CA 91008, or by calling (626) 358-3218, or by email to CityHall@CityofBradbury.org.

8. PUBLIC HEARINGS

A. 28 DOVETAIL LANE – PLANNING COMMISSION RESOLUTION NO. PC 22-301

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF BRADBURY, CALIFORNIA, SETTING FORTH THE FINDINGS OF FACT AND DECISION WITH A CATEGORICAL EXEMPTION UNDER THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) TO CONDITIONALLY APPROVE ARCHITECTURAL REVIEW NO. AR 22-002 FOR A NEW TWO-STORY 8,000 SQUARE-FOOT RESIDENCE WITH AN OVERALL HEIGHT OF 35 FEET AND WITH A 720 SQUARE-FOOT ATTACHED THREE-CAR GARAGE, AND TO HAVE THE EXISTING 1,811 SQUARE-FOOT ONE-STORY RESIDENCE BE A GUEST HOUSE, AND WITH VARIANCE NO. V 22-001 FOR A PERIMETER WALL AND FENCE HEIGHT OF SEVEN FEET AT 28 DOVETAIL LANE.

B. 158 SAWPIT LANE – PLANNING COMMISSION RESOLUTION NO. PC 22-302

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF BRADBURY, CALIFORNIA, SETTING FORTH THE FINDINGS OF FACT AND DECISION WITH A CATEGORICAL EXEMPTION UNDER THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) TO CONDITIONALLY APPROVE ARCHITECTURAL REVIEW NO. AR 22-003 FOR 10,325 SQUARE FEET OF TWO-STORY AND BASEMENT ADDITIONS AT 158 SAWPIT LANE

C. 1433 LEMON AVENUE – PLANNING COMMISSION RESOLUTION NO. PC 22-303

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF BRADBURY, CALIFORNIA, SETTING FORTH THE FINDINGS OF FACT AND DECISION WITH A CATEGORICAL EXEMPTION UNDER THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) TO CONDITIONALLY APPROVE ARCHITECTURAL REVIEW NO. AR 22-004 FOR THE REMODELING OF THE EXTERIOR OF THE RESIDENCE AND GARAGE AT 1433 LEMON AVENUE

9. ITEMS FROM STAFF AND COMMISSIONERS

A. Development Project Status Report

B. Upcoming agenda items and other matters

10. ADJOURNMENT

The Planning Commission will adjourn this regular meeting to the regular meeting of **Wednesday, May 25, 2022**.

"I, Claudia Saldana, City Clerk, hereby certify that this agenda was duly posted at the Bradbury Civic Center entrance no later than 5:00 p.m. on Friday, April 22, 2022."

Claudia Saldana

Claudia Saldana, City Clerk
City of Bradbury

MINUTES OF A REGULAR MEETING OF THE PLANNING COMMISSION OF THE CITY OF BRADBURY, HELD ON FEBRUARY 23, 2022 AT 7:00 PM IN THE BRADBURY CIVIC CENTER

Executive Order N-25-20:

Pursuant to Governor Newsom's Executive Order N-25-20, the City of Bradbury is allowing Planning Commissioners, Staff and the public to participate in this meeting by means of a Zoom video or telephone call. Participants will be able to hear the entire proceedings and be able to speak during Public Comment, Public Hearing, and other authorized times. Members of the public must maintain silence and mute their microphones and telephones except during those times.

Meeting Called to Order and Pledge of Allegiance:

The regular meeting of the Planning Commission of the City of Bradbury was called to order by Chairman Hernandez at 7:00 p.m. followed by the Pledge of Allegiance.

Roll Call:

PRESENT: Chairman Hernandez, Vice-Chairman Jones, Commissioners Hunt, Kuba and Novodor

ABSENT: None

STAFF: City Manager Kearney (remote), City Planner Kasama, City Clerk Saldana and Management Analyst Musa

Planning Commission Reorganization:

Section 2.04.250 of the Bradbury Municipal Code stipulates that the Planning Commission shall select its Chairperson and Vice-Chairperson at its first regular meeting in the month of June of each year from among its appointed members for a term of one year. The Planning Commission Vice-Chair shall become the Chair, and the most senior member of the Planning Commission who has not previously served as Chair, shall be selected as Vice-Chair.

City Planner Kasama stated that the last Planning Commission meeting was held in May 2021, therefore the Reorganization for 2021 is on the agenda for tonight.

Appointment of Chairperson and Vice-Chairperson:

Pursuant to BMC Section 2.04.250 Vice-Chairman Jones was appointed to the position of Planning Chairman and Commissioner Hunt to the position of Vice-Chair.

New Roll Call:

Chairman Jones, Vice-Chairperson Hunt, Commissioners Kuba, Novodor and Hernandez

Supplemental Information:

City Planner Kasama stated that the Fair Political Practices Memo was not included in the agenda packet. A copy was supplied to the Commissioners for review and approval.

Approval of Agenda:

Chairperson Jones moved to approve the agenda as presented. Vice-Chairperson Hunt seconded the motion which carried.

Approval of May 26, 2021 Minutes:

Commissioner Hernandez moved to approve the Planning Commission meeting minutes of May 26, 2021. Commissioner Kuba seconded the motion which carried.

Compliance with Fair Political Practices Act: In compliance with the California State Fair Political Practices Act, each Commissioner has the responsibility to disclose direct or indirect potential for a personal financial impact as a result of participation in the decision-making process concerning development applications:

Public Hearing for 23 Woodlyn Lane – Resolution No. PC 22-300
Commissioners residing within 500 of 23 Woodlyn Lane:
None

Motion: Commissioner Novodor made a motion to order the Fair Political Practices Report for the February 23, 2022 Planning Commission meeting received and filed. Commissioner Kuba seconded the motion which carried.

Public Comment: None

Public Hearing: **23 WOODLYN – RESOLUTION NO. PC 22-300**

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF BRADBURY, CALIFORNIA, SETTING FORTH THE FINDINGS OF FACT AND DECISION WITH A CATEGORICAL EXEMPTION UNDER THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) TO CONDITIONALLY APPROVE ARCHITECTURAL REVIEW NO. AR 22-001 FOR A NEW TWO-STORY CONTEMPORARY-PRAIRIE-STYLE 6,321 SQUARE FOOT RESIDENCE WITH AN OVERALL HEIGHT OF 28 FEET AND A 1,036.50 SQUARE FOOT ATTACHED FOUR-CAR GARAGE, AND A NEW SWIMMING POOL AND COVERED PATIO AT 23 WOODLYN LANE

City Planner's Report: City Planner Kasama stated that Architect Jeffrey A. Dahl submitted plans for a new two-story single-family residence with an overall height of 28 feet with 6,321 square feet of living space, a 1,036.50 square foot attached four-car garage, a new swimming pool, and a 444 square foot detached patio cover at 23 Woodlyn Lane. The subject property is zoned A-2 and is subject to the City's Hillside Development Standards.

Background: The subject property is an irregular shaped lot with an existing graded building area of approximately 20,000 square feet at the middle of the lot. The building area has access from Woodlyn Lane by a paved driveway along the westerly side of the lot and extending through an easement along the westerly side of the adjacent lot to the south (16 Woodlyn Lane). Per the Los Angeles County Assessor's data, the property has an area of approximate 4.96 acres.

Project Description: The proposed project is to construct a new two-story Contemporary-Prairie-style single-family residence with an overall height of 28 feet with approximately 6,321 square feet of living space, a 1,036.50 square-foot attached four-car garage, a 444 square-foot detached patio cover, and a swimming pool. The project will situate the new residence at the rear/north of existing graded building area with the swimming pool and patio in front to take advantage of the view to the south. Grading will be minimal, balanced on-site, and in conformance with the City's Hillside Development Standards.

Landscaping: The proposed landscaping plans have been reviewed by the City's Landscape Architect and are in conformance with the City's standards, including water efficiency requirement.

Oak Trees to be Preserved:	There are 10 mature oak trees around the building area, and these are to be preserved. A certified arborist visited the site in May 2021 and evaluated the oak trees around the building area. Tree protection is to be provided during construction, and conditions of approval are included in Resolution No. PC 22-300 to ensure compliance with all requirements.
Environmental Review:	It is recommended that the project be determined to qualify as Categorically Exempt under the provisions of the California Environmental Quality Act (CEQA) pursuant to Section 15303(a) of the CEQA Guidelines for the construction of one single-family residence in an urbanized area.
Recommendation:	It is recommended that the Planning Commission open a public hearing and solicit testimony on the proposed project, close the public hearing and determine that the findings can be made for conditional approval for the proposed project and find that the project is Categorically Exempt under CEQA and approve a motion to adopt Resolution No. PC 22-300 as presented or modified by the Commission.
Questions from the Commission:	Vice-Chairperson Hunt had a question about the driveway. City Planner Kasama stated that the current driveway is 18 feet wide.
Public Hearing Open:	Chairman Jones opened public hearing open and asked those speaking in favor or opposition to come forward and be heard.
Public Testimony:	Architect Jeffrey A. Dahl, 1102 Main Street, Huntington Beach, CA 92648, stated that the planning process for the project started over a year ago. The applicant is still waiting for driveway approval from the Fire Department. Mr. Dahl stated that the proposed project will also include a koi pond and small retaining walls. The grading will be minimal. Chairman Jones inquired about how to properly to support the swimming pool. Mr. Dahl replied that the contractor will be top notch and that the pool will not fall off the hill. Gary Richter, 17 Woodlyn Lane, asked where the pool would come down if it slid down the hill. Mr. Dahl replied that the pool is situated above the applicant's driveway. Mr. Richter also inquired if the building pad will be increased. The answer was no.
Public Hearing Closed:	There being no further public testimony, Chairman Jones declared the public hearing closed.
Motion to Adopt Resolution No. PC 22-300 for 23 Woodlyn Lane:	There being no further discussion, Commissioner Kuba made a motion to adopt Resolution No. 22-300: A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF BRADBURY, CALIFORNIA, SETTING FORTH THE FINDINGS OF FACT AND DECISION WITH A CATEGORICAL EXEMPTION UNDER THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) TO CONDITIONALLY APPROVE ARCHITECTURAL REVIEW NO. AR 22-001 FOR A NEW TWO-STORY CONTEMPORARY-PRAIRIE-STYLE 6,321 SQUARE FOOT RESIDENCE WITH AN OVERALL HEIGHT OF 28 FEET AND A 1,036.50 SQUARE FOOT ATTACHED FOUR-CAR GARAGE, AND A NEW SWIMMING POOL AND COVERED PATIO AT 23 WOODLYN LANE

Commissioner Novodor seconded the motion, which was carried by the following roll call vote:

Approved:

AYES: Chairman Jones, Vice-Chairperson Hunt, Commissioners Kuba, Novodor and Hernandez

NOES: None

The motion passed by a 5:0 vote

Items from Staff:

City Planner Kasama presented the Development Project Status Report for February 2022. The Planning Commission had no questions regarding the Status Report.

City Planner Kasama reported that the City Council met for a Study Session on February 7th to discuss planning matters related to the Housing Element Update, which is due on October 15, 2022. A second Study Session has been scheduled for March 7th with the City's Housing Element Consultant, Veronica Tam and Associates.

Items from Commissioners:

Commissioner Novodor asked if and when there will be another joint Study Session with the City Council and the Planning Commission. City Planner Kasama replied not anytime soon, maybe after the Housing Element Update.

Future Agenda Items and Other Matters:

City Planner Kasama stated that the Bradbury Estates HOA recently approved plans for 673 Deodar Lane. The plans have not yet been submitted to the City for Planning Commission review.

Adjournment:

At 7:26 pm Chairman Jones adjourned the meeting to Wednesday, March 23, 2022 at 7:00 p.m.

Robert Jones – Chairman

ATTEST:

Claudia Saldana - City Clerk

Memo

To: Chairperson and Members of the Planning Commission;
City Manager and City Planner

From: Claudia Saldana, City Clerk

Date: 04/22/22

Re: **April 27, 2022 Planning Commission Meeting**

FAIR POLITICAL PRACTICES ACT

In compliance with the California State Fair Political Practices Act, each Planning Commissioner has the responsibility of disclosing any direct or indirect potential of a personal financial impact that could result from their participation in the decision-making process.

8. PUBLIC HEARING:

28 Dovetail Lane – RESOLUTION NO. PC 22-301

Commissioners residing within 500 feet of 28 Dovetail Lane:

None

158 Sawpit Lane – RESOLUTION NO. PC 22-302

Commissioners residing within 500 feet of 158 Sawpit Lane:

None

1433 Lemon Avenue – RESOLUTION NO. PC 22-303

Commissioners residing within 500 feet of 1433 Lemon Lane:

None

Robert Jones, Chairperson (District 4)
Chelsea Hunt, Vice Chairperson (District 5)
~~Frank Hernandez, Commission Member (District 1)~~
Darlene Kuba, Commission Member (District 3)
Bill Novodor, Commission Member (District 2)

City of Bradbury
Planning Commission
Agenda Report

TO: **Honorable Chairperson and Commission Members**

FROM: **Jim Kasama, City Planner**

DATE: **April 27, 2022**

SUBJECT: **28 DOVETAIL LANE – RESOLUTION NO. PC 22-301**

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF BRADBURY, CALIFORNIA, SETTING FORTH THE FINDINGS OF FACT AND DECISION WITH A CATEGORICAL EXEMPTION UNDER THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) TO CONDITIONALLY APPROVE ARCHITECTURAL REVIEW NO. AR 22-002 FOR A NEW TWO-STORY 8,000 SQUARE-FOOT RESIDENCE WITH AN OVERALL HEIGHT OF 35 FEET AND WITH A 720 SQUARE-FOOT ATTACHED THREE-CAR GARAGE, AND TO HAVE THE EXISTING 1,811 SQUARE-FOOT ONE-STORY RESIDENCE BE A GUEST HOUSE, AND WITH VARIANCE NO. V 22-001 FOR A PERIMETER WALL AND FENCE HEIGHT OF SEVEN FEET AT 28 DOVETAIL LANE

AGENDA ITEM NO. 8.A.

INTRODUCTION

Mr. Twen Ma, Architect submitted plans for a new, two-story, single-family residence with an overall height of 35 feet with 8,000 square feet of living space, a 720 square-foot, attached, three-car garage, a new swimming pool and jacuzzi. The subject property is zoned A-5. As part of the Bradbury Estates, the proposed project was reviewed and conditionally approved by the Homeowner Association and Community Services District.

BACKGROUND

The subject property is an irregular shaped lot with the rear or east portion being a mostly flat area developed with an 1,811 square-foot, one-story residence built in 1950, and a 3,100 square-foot accessory building comprised of 2,100 square feet of stables and a 1,000 square-foot, four-car garage. The property has access from Dovetail Lane by a paved driveway that enters the north side of the lot. Per the Los Angeles County

Assessor's data, the property has an area of approximately 2.6 acres. Attached are the Assessor Map and Aerial Photo.

PROJECT DESCRIPTION

The proposed project is to construct a new, two-story, contemporary single-family residence with an overall height of 35 feet with approximately 8,000 square feet of living space, and a 720 square-foot, attached, three-car garage. The project will situate the new residence near the middle of the lot on the existing flat area to the west of the existing one-story 1,811 square-foot residence. A swimming pool and jacuzzi will be built at the north side of the lot. The existing residence will become a guest house. Grading will be minimal, balanced on-site, and in conformance with the City's guidelines.

ANALYSIS

Planning and Zoning

The property is zoned A-5. The proposed project is allowed with Architectural Review, Neighborhood Compatibility, and Ridgeline Preservation approvals. The following is a summary of the site characteristics:

Address	28 Dovetail Lane
Assessor Parcel Numbers	8527-026-035, 037 & 038
Zone	A-5 – Agriculture Residential Estate
General Plan Designation	Agricultural Estate Residential – Five Acres
Lot Area	2.6 Acres – 113,256 Square Feet
Average Slope	6.79 Percent
Lot Width at Building Area	180 Feet
Lot Depth	Approximately 600 Feet

The proposed single-family residence is to be comprised of the following:

1st Floor: 3,966 sq. ft. – foyer, living room with bar area, dining room, library, kitchen with breakfast area, powder room, 2 bedroom suites, laundry room, and a 720 square-foot, 3-car garage.

2nd Floor: 4,034 sq. ft. – 2 bedroom suites, a master bedroom suite, family room, den, and tearoom.

The following table indicates that the proposed project meets the development standards of the A-5 zone. The proposed new residence will be situated to provide for privacy and to not affect any views. The proposed design provides setbacks of over 50 feet.

Development Feature	A-5 Zone Requirement	Proposed Project	Meets Requirement?
Lot Area	5 acres	acres	Yes
Lot Width	250 feet	180 ft.	No*
Front Setback	50 feet	53 feet	Yes
Side Setbacks	25 feet	50 feet	Yes
Rear Setback	25 feet	210 feet	Yes
Dwelling Size	2,500 sq. ft.	8,000 sq. ft.	Yes
Height	35 feet	35 feet	Yes
Parking	3 garage spaces	7 spaces	Yes

* Existing legal-nonconforming

Architectural Review

The City of Bradbury Design Guidelines, Architectural Review, Neighborhood Compatibility, and Ridgeline Preservation standards are intended to establish functional sites with quality design and functional interrelationships of buildings and improvements by ensuring that the siting, design, and massing of all new or remodeled structures and developments are compatible with existing uses, designs, and developments in surrounding neighborhoods, and may include the use of a variety of forms and materials with innovative and alternative design solutions while preserving trees, ridgeline vistas, canyon views and other aspects of the rural environment and scenic character of the City.

The proposed new residence with two stories and 8,000 square feet of living area is architecturally consistent all around and is also consistent with the newer residences in this area. The proposed design complies with the A-5 requirements to allow a maximum height of 35 feet, and the new residence will be situated on a relatively flat buildable area that is sufficiently distant from surrounding developments so as not to impose on the neighbors or their privacy.

Landscaping

The proposed project will be on a relatively flat buildable area that has been used for equestrian activities and is accessed by an existing paved roadway. The proposed landscaping plans have been reviewed by the City's Landscape Architect, and are in conformance with the City's standards, including water efficiency requirements. There are mature oak trees and other prominent trees around the building area, and these are to be preserved. A certified arborist visited the site in May 2021 and evaluated the trees around the building area. The arborist's findings and recommendations are provided in the attached report and the Tree Preservation and Removal Plan is included as Sheet A-0.2 of the attached plans. Tree protection is to be provided during construction, and conditions of approval are included in the attached draft resolution to ensure compliance with all requirements.

Engineering

The area of the proposed project is a relatively flat buildable area that is accessed by an existing paved roadway. Some grading work will be done to facilitate construction and contemporary erosion and drainage control features will be added to the site. The property is to be connected to the sewer line in Dovetail Lane. The preliminary grading plans have been reviewed by the City Engineer and found to be in accordance with City guidelines. Detailed grading and drainage plans are to be provided for plan check and conditions of approval are included in the attached draft resolution to assure full compliance.

Bradbury Estates Homeowner Association and Community Services District

The proposed project was reviewed and conditionally approved by the Bradbury Estates Homeowner Association (HOA) and Community Services District (CSD) at their meetings on July 20, 2020. The attached letter was issued stating the approval and listing the conditions of approval, which have been incorporated into the draft resolution.

FENCE/WALL HEIGHT VARIANCE REQUEST

The proposed perimeter fence and wall are designed to be seven feet tall – see Sheet A-0.1 of the attached plans. The maximum height per the Bradbury Development Code for perimeter walls and fences is six feet [Sections 9.100.040.(1) & (2)]. Entry gates are allowed to be seven feet tall [Section 9.100.040.(5)]. The seven-foot height is a condition of the HOA/CSD and is in response to security concerns due to the level of traffic and activity on Bradbury Road/Wildrose Avenue, and the extensive open spaces of the subject site and adjacent properties.

ENVIRONMENTAL REVIEW

It is recommended that the project be determined to qualify as Categorically Exempt under the provisions of the California Environmental Quality Act (CEQA) pursuant to Section 15303(a) of the CEQA Guidelines for the construction of one single-family residence in an urbanized area, and Section 15305 for minor alterations in land use limitations for the wall and fence height.

FINDINGS

The Planning Commission must make a series of findings when issuing decisions on Architectural Reviews, Neighborhood Compatibility, Ridgeline Preservation, and a Variance. The proposed project meets the required findings stated in Section 9.34.040 of Chapter 34 of the Bradbury Development Code for Architectural Review, Neighborhood Compatibility, and Ridgeline Preservation; and for a Variance as stated in Section 9.46.030 of Chapter 46. The recommended findings and reasons are included in the attached draft resolution, and it is recommended that the Planning Commission approve the proposed project as it is consistent with the City's development standards and procedures.

PLANNING COMMISSION ALTERNATIVES

The Planning Commission is to open a public hearing and solicit testimony on the proposed project. After the testimony, the Commission will have the following options:

Option 1. Close the public hearing and determine that the findings can be made for conditional approval of the proposed project and that the project is Categorically Exempt under CEQA and approve a motion to adopt the attached Resolution No. PC 22-301 as presented or as modified by the Commission.

Option 2. Close the public hearing and determine that the findings cannot be made for approval of the proposed project and/or a Categorical Exemption under CEQA, and approve a motion to deny the proposed project with statements of the specific findings and the reasons why the findings cannot be met, and direct staff to prepare the appropriate resolution for adoption at the next regular meeting.

Option 3. If the Planning Commission determines that the proposed project as presented cannot be approved, but with additional information could satisfy the requisite findings for approval and a Categorical Exemption under CEQA, then the Commission may approve a motion to continue the public hearing as open to the regular meeting of Wednesday, May 25, 2022, and direct the applicant to provide the necessary information to the City by Monday, May 9, 2022.

RECOMMENDATION

Option 1 is recommended; that the Planning Commission close the public hearing and determine that the findings can be made for conditional approval of the proposed project and that the project is Categorically Exempt under CEQA and approve a motion to adopt the attached Resolution No. PC 22-301 as presented.

ATTACHMENTS

1. Resolution No. PC 22-301
2. Assessor Map & Aerial Photo
3. HOA/CSD Letter
4. Arborist Report
5. Proposed Plans

ATTACHMENT NO. 1

PLANNING COMMISSION RESOLUTION NO. PC 22-301

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF BRADBURY, CALIFORNIA, SETTING FORTH THE FINDINGS OF FACT AND DECISION WITH A CATEGORICAL EXEMPTION UNDER THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) TO CONDITIONALLY APPROVE ARCHITECTURAL REVIEW NO. AR 22-002 FOR A NEW TWO-STORY 8,000 SQUARE-FOOT RESIDENCE WITH AN OVERALL HEIGHT OF 35 FEET AND WITH A 720 SQUARE-FOOT ATTACHED THREE-CAR GARAGE, AND TO HAVE THE EXISTING 1,811 SQUARE-FOOT ONE-STORY RESIDENCE BE A GUEST HOUSE, AND WITH VARIANCE NO. V 22-001 FOR A PERIMETER WALL AND FENCE HEIGHT OF SEVEN FEET AT 28 DOVETAIL LANE

PLANNING COMMISSION RESOLUTION NO. PC 22-301

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF BRADBURY, CALIFORNIA, SETTING FORTH THE FINDINGS OF FACT AND DECISION WITH A CATEGORICAL EXEMPTION UNDER THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) TO CONDITIONALLY APPROVE ARCHITECTURAL REVIEW NO. AR 22-002 FOR A NEW TWO-STORY 8,000 SQUARE-FOOT RESIDENCE WITH AN OVERALL HEIGHT OF 35 FEET AND WITH A 720 SQUARE-FOOT ATTACHED THREE-CAR GARAGE, AND TO HAVE THE EXISTING 1,811 SQUARE-FOOT ONE-STORY RESIDENCE BE A GUEST HOUSE, AND WITH VARIANCE NO. V 22-001 FOR A PERIMETER WALL AND FENCE HEIGHT OF SEVEN FEET AT 28 DOVETAIL LANE

WHEREAS, the Planning Commission considered Architectural Design Review No. AR 22-002 that was filed by Mr. Steven Li, the owner, for a new, single-family residence at 28 Dovetail Lane, which is zoned A-5.

WHEREAS, the Bradbury Estates Homeowners Association and Community Services District considered the proposed plans at their meetings on July 20, 2020, and conditionally approved the project.

NOW, THEREFORE, THE PLANNING COMMISSION OF THE CITY OF BRADBURY, DOES HEREBY RESOLVE, FIND, AND DETERMINE AS FOLLOWS:

SECTION A. The Planning Commission finds that a duly noticed public hearing has been conducted at the regular meeting on April 27, 2022, in accordance with the provisions of the Bradbury Municipal Code relative to this matter.

SECTION B. The Planning Commission finds and declares that the information in the agenda report, and the testimony at the public hearing are incorporated in this Resolution and comprises the bases on which the findings have been made.

SECTION C. The Planning Commission declares that the project meets the following required findings stated in Section 9.34.040 of Chapter 34 (Architectural Review) of the Bradbury Development Code:

1. That the proposed development is designed and will be developed to preserve to the greatest extent practicable the natural features of the land, including the existing topography and landscaping. The proposed residence is to be built on a relatively flat area that has been used for equestrian activities. Extensive grading is not needed for the construction of the new residence. The existing natural terrain at the west portion of the property will be preserved.

2. That the proposed development is designed and will be developed in a manner which will be reasonably compatible with the existing neighborhood character in terms of scale of development in relation to surrounding residences and other structures. The proposed new residence is in scale with other new residences on the surrounding

properties and is of a size that is to be expected of new residences in the area. The proposed new residence will be situated to be sufficiently distant from the front of the property and the surrounding developments so as not to impose on the neighborhood.

3. That the proposed development is designed and will be developed in a manner which will preserve to the greatest extent practicable the privacy of persons residing on adjacent properties. The proposed residence will be on an existing flat area that is situated in the middle of the lot and sufficiently distant from the residences on the adjacent properties so as not to impose on their privacy.

4. The requirements of the ridgeline and view preservation regulations have been met. The subject property and proposed new residence are situated such that the new residence will not interfere with any important views of the neighboring properties.

5. That the proposed development is designed and will be developed in a manner to the extent reasonably practicable so that it does not unreasonably interfere with neighbors' existing views, view of ridgelines, valleys, or vistas. The location of the proposed new residence is well back from the front of the lot and sufficiently distant from the residences on the adjacent properties so as not to interfere with any important views.

6. The requirements of the tree preservation and landscaping regulations have been met. The proposed residence will not necessitate the removal of oak trees or other prominent trees. The landscaping plan provides for plants and materials that are appropriate for the site and area. The City's Landscape Architect has reviewed the proposed plans and has provided comments and recommendations that have been incorporated as conditions of approval, which will assure compliance with City requirements.

7.a. That the design minimizes the appearance of over or excessive building substantially in excess of existing structures in the neighborhood, in that the square footage of the structure(s) and the total lot coverage of the development shall reflect the uncrowded character of the City and the neighborhood. The size of the proposed residence is consistent with other newer residences in the area. The new residence will be on an existing flat area that is well separated from any surrounding developments.

7.b. That the design minimizes the appearance of over or excessive building substantially in excess of existing structures in the neighborhood, in that the height(s) of the structure(s) shall maintain to the extent reasonably practicable, consistency with the heights of structures on neighboring properties. The proposed residence complies with the allowed building height of 35 feet, which is consistent with the heights of newer residences in the area.

8. That the proposed development is designed and will be developed in a manner that is consistent with the City's Design Guidelines. The proposal provides a quality design that maintains architectural consistency throughout in accordance with the City's Design Guidelines.

SECTION D. The Planning Commission finds and declares that the project meets the following criteria for a building height of 35 feet as stated in Section 9.73.040(5)b of Chapter 73 (A-5 Development Standards) of the Bradbury Development Code:

1. The proposed structure is at least 8,000 square feet in size.

2. The proposed structure does not contain more than two stories.

3. The interior ceiling height of each story is at least ten feet.

4. The proposed roof will have a minimum roof pitch of 5:12.

5. There will be no mechanical equipment located on the roof.

6. The roof structure exceeding 28 feet in height does not contain any flat surfaces other than that which may be required for skylights or similar roof elements.

7. A gable end of a roof and any flat vertical wall surface of such roof are designed consistent with the designated architectural style of the structure.

8. The roof plan exceeding 28 feet is articulated by dormers and other architectural features.

9. The proposed project will not negatively impact views of mountains, valleys or ridgelines from surrounding existing or future dwellings. The proposed new structure will be situated near the middle of the large lot and sufficiently distant from any existing or future dwellings so as not to interfere with any important views.

10. The proposed project will not negatively impact the privacy of surrounding existing or future dwellings. The proposed new residence will be situated near the middle of the large lot and sufficiently distant from any existing or future dwellings so as not to impact the privacy of any neighbors.

SECTION E. The Planning Commission declares that the project satisfies the following findings stated in Section 9.46.030 of Chapter 46 (Variance) of the Bradbury Development Code:

1. That there are special circumstances applicable to the property, including size, shape, topography, location, or surroundings, which do not generally apply to other properties. The subject property is part of the Bradbury Estates, but has frontage along Bradbury Road that is not within the guard-gated area.

2. That because of such circumstances or conditions, such variance is necessary for the preservation and enjoyment of a substantial property right possessed by other property similarly situated, but which is denied to the property in question. The seven-foot height for the perimeter wall and fence will provide an increased measure of security.

3. That the granting of the variance will not be materially detrimental to the public welfare or injurious to the adjacent properties. The increased height is minimal and will not appear inordinate because of the lengthy frontage and boundaries.

4. That the granting of the variance will not adversely affect the General Plan nor the purpose and intent of the provisions of this title. The added height will enhance the security of the property, which is in furtherance of the goals of the General Plan and the purposes of the Development Code.

5. The proposed entitlement has been reviewed in compliance with the provisions of the California Environmental Quality Act (CEQA) and is in compliance with the provisions of CEQA. The increased height qualifies as categorically exempt under the CEQA Guidelines.

SECTION F. The Planning Commission finds that the project is Categorically Exempt under the provisions of the California Environmental Quality Act (CEQA) pursuant to Section 15303 of the CEQA Guidelines for the construction of one, single-family residence in an urbanized area, and Section 15305 for minor alterations in land use limitations for the wall and fence height.

SECTION G. The Planning Commission hereby approves Architectural Review No. AR 22-002 for the project based on the information depicted on the submitted plans and subject to the following conditions, all of which shall be complied with to the satisfaction of the City Manager or designees:

1. Except as set forth in subsequent conditions, all inclusive, development shall take place substantially as shown on the submitted plans presented to the Planning Commission on April 27, 2022.

2. The applicant/developer shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any claim, action, or proceeding, damages, costs (including, without limitation, attorney's fees), injuries, or liability against the City or its agents, officers, or employees arising out of the City's approval of the proposed project. The City shall promptly notify the applicant/developer of any claim, action, or proceeding and the City shall cooperate fully in the defense. If the City fails to promptly notify the applicant/developer of any claim, action, or proceeding, or if the City fails to cooperate fully in the defense, the applicant/developer shall not thereafter be responsible to defend, indemnify, or hold harmless the City. Although the applicant/developer is the real party in interest in an action, the City may, at its sole discretion, participate in the defense of any action with the attorney of its own choosing, but such participation shall not relieve the applicant/developer of any obligation under this condition, including the payment of attorney's fees. Applicant/developer shall promptly pay any final judgment rendered against the City.

3. The applicant and owner of the subject property must file an Acknowledgment Form for the conditions and provisions set forth in this Planning Commission Resolution prior to the submission of plans to the Department of Building and Safety. This Resolution

and the Acknowledgment Form shall be included in the plans that are submitted to the Department of Building and Safety.

4. The proposed project shall comply with all applicable City, County, State and federal regulations, including requirements of the Building, Fire, Planning, and Engineering Departments, with the exception of the modified setback requirements per Section 9.97.020.(d) as stated in Chapter 97 (Hillside Development Standards) of the Bradbury Development Code.

5. All exterior building, landscaping, and/or safety/security lighting shall be low-voltage, non-glare, and shall be hooded and/or shielded to not direct lighting off the subject property.

6. The applicant shall verify with the water purveyor and the Los Angeles County Fire Department that adequate domestic service and fire flow are available to serve the proposed project and shall provide such required service and flow.

7. A pre-construction meeting shall be held with representatives of the City Development Team. The applicant shall present a construction timeline and emergency contact information prior to the meeting and shall provide all other information as may be requested as a result of the meeting.

8. The project is required to satisfy and comply with all conditions issued by the Bradbury Estates HOA and CSD in their letter dated July 20, 2020. The following conditions apply to this project:

a. Widen Bradbury Road per the City of Bradbury standards placing a new curb and gutter, and paving the street to the appropriate width and standards per the City Engineer.

b. Install 10 feet of synthetic turf between the back edge of curb and the face of the new masonry wall.

c. Construct an 8-inch thick by 7-foot-tall tan masonry wall with a 10-inch-wide cap along Bradbury Road, 10 feet off the face of the new curb and gutter.

d. Grant an underground storm drain easement to the CSD for utility and storm drain purposes running along the easterly border from the northeast corner of the property down to the existing catch basin on the property to the west. Install a 36-inch NP pipe from the property into the existing catch basin described above.

e. All utilities shall be placed underground.

f. Stamped concrete or interlocking pavers at the entry approach to the gates can be installed towards the end of the project. A new 7-foot tall wrought-iron fence paralleling the street outside the entry gates on the west side of the street up north to the property line shall allow for a minimum of 10 feet of parkway with synthetic turf level from the back of the CSD rolled curb to the new wrought-iron fence.

g. Items a-f above must be completed prior to any foundation inspection.

h. Install a 7-foot-tall tan block wall with a poured in place cap on the north property line between the new residence and the residence to the north at 18 Dovetail Lane. Install a minimum 7-foot-tall masonry block wall on the east and south property lines.

Engineering Conditions

9. The applicant shall submit Precise Grading Plans for the project showing building footprints, pad elevations, finished grades, drainage routes, all block and retaining walls, erosion control measures, and other pertinent information in accordance with Appendix J of the California Building Code, latest edition, for review and approval of the City Engineer.

10. Along with the Grading Plan, the applicant shall submit a Demolition Plan which identifies the extent of the removals and any structures which are to remain. The existing utilities should be indicated on the plan and their disposition as part of the construction. An Erosion Control Plan shall be submitted which identifies the Best Management Practices (BMP) to eliminate any illicit discharges during storm events along with the Demolition Plan. The erosion control measures may be included on the Demolition Plan if space permits.

11. Along with the Grading Plan, the applicant shall also submit a Hydrology and Hydraulic Report which addresses the existing and proposed storm drainage conditions for the site. There is an existing regional storm drain at the northeast corner of the site which shall be analyzed to confirm that it is adequate for any proposed discharges from the proposed development. Existing and proposed hydraulic calculations for this regional storm drain shall be included in the report. Any required easements for the regional storm drain shall be granted by separate document.

12. Prior to the issuance of any grading or building permits, the applicant shall submit an updated Engineering Geology/Soils Report that includes an accurate description of the geology of the site and conclusions and recommendations regarding the effect of the geologic conditions on the proposed development and include a discussion of the expansiveness of the soils and recommended measures for foundations and slabs on grade to resist volumetric changes of the soil. This report shall also include recommendations for surcharge setback requirements in the area of ungraded slopes steeper than five horizontal to one vertical.

13. Prior to the issuance of any permits, the applicant shall submit an erosion control plan to the satisfaction of the City Engineer and all proposed BMPs shall be installed and operable at all times.

14. Prior to issuance of any permits, all new utilities shall be placed underground, including facilities and wires for the supply and distribution of electrical energy, telephone, cable television, etc., to the satisfaction of the City Planner and City Engineer.

15. The applicant shall connect to the existing sewer line within Dovetail Lane. The location of the existing sewer mainline and the proposed sewer lateral shall be indicated on the Grading Plan. A sewer clean-out shall be installed at the property line (minimum).

16. The applicant shall remove and abandon any and all sewer septic system components to the satisfaction of the City's Building Official and the Los Angeles County Health Department.

17. Prior to issuance of any permits, the applicant shall verify that the proposed development is annexed into the Los Angeles County Sanitation District.

18. Prior to final occupancy, the applicant shall verify that any required sewer connection fees have been paid to the City of Bradbury and the County of Los Angeles Department of Public Works, Sewer Maintenance District.

19. The applicant shall obtain a public works permit for all work in or adjacent to the public right-of-way (ROW). All work within the public ROW shall be in accordance with applicable standards of the City of Bradbury, i.e., Standard Specifications for Public Works Construction (Green Book), and the Work Area Traffic Control Handbook (WATCH), and further that construction equipment ingress and egress be controlled by a plan approved by the City Engineer.

20. The applicant shall be responsible for all street improvements along Bradbury Road as outlined in the conditions letter from the Bradbury Estates CSD, dated July 20, 2020. The applicant should be aware that the City of Bradbury and the Bradbury Estates CSD is in the process of developing a construction project which will widen and improve Bradbury Road and Wildrose Avenue. In lieu of performing these improvements, the applicant may be required to pay their fair-share contribution of this project. **Fulfillment of this condition is required prior to final occupancy.**

21. The construction of a new block wall was previously permitted for this property. The grading plan shall include the location of this wall, including top of wall elevations, along with that area where the block wall was not completed in preparation for the street widening project. The construction of the wall shall be completed prior to final occupancy, as it is anticipated that the street widening project will be completed by this time.

22. Building foundation inspections shall not be performed until a rough grading certification, survey stakes are in place, and a final soils report have been filed with the City and approved. All drainage facilities must be operable.

23. Prior to the issuance of permits, the applicant must obtain coverage under the General Permit for Discharges of Storm Water associated with Construction Activity, Construction General Permit Order 2012-0006-DWQ (as amended by all future adopted Construction General Permits). The Construction General Permit requires the development and implementation of a Storm Water Pollution Prevention Plan (SWPPP). The applicant must submit a Notice of Intent and Waste Discharger's Identification (WDID) number as evidence of having applied with the Construction General Permit before the City will issue a grading permit. The applicant is ultimately responsible to comply with the requirements of Order No. 2012-0006-DWQ, however, the City shall have the authority to enter the project site, review the project SWPPP, and require modifications and subsequent implementations to the SWPPP in order to prevent polluted runoff from leaving the project site onto public or private property.

24. For all projects subject to Low Impact Development (LID) regulations, the applicant must submit a site-specific drainage concept and stormwater quality plan to mitigate post-development stormwater and implement LID design principles. A fully executed "Maintenance Covenant for LID Requirements" shall be recorded with the L.A. County Registrar/Recorder and submitted to the City prior to the final inspection or Certificate of Occupancy. Covenant documents shall be required to include an exhibit that details the installed treatment control devices as well as any site design or source control Best Management Practices (BMPs) for post construction. The information to be provided on this exhibit shall include, but not be limited to:

a. 8½" x 11" exhibits with record property owner information.

b. Types of BMPs (i.e., site design, source control and/or treatment control) to ensure modifications to the site are not conducted without the property owner being aware of the ramifications to BMP implementation.

c. Clear depiction of the locations of BMPs, especially those located below ground.

d. A matrix depicting the types of BMPs, frequency of inspection, type of maintenance required, and if proprietary BMPs, the company information to perform the necessary maintenance.

e. Calculations to support the sizing of the BMPs employed on the project shall be included in the report. These calculations shall correlate directly with the minimum treatment requirements of the current MS4 permit. In the case of implementing infiltration BMPs, a percolation test of the affected soil shall be performed and submitted for review by the City Engineer.

25. The applicant shall provide drainage improvements to carry runoff of storm water in the area proposed to be developed, and for contributing drainage from adjoining properties to the satisfaction of the City Engineer. The proposed drainage improvements shall be based on a detailed hydrology study conforming to the current Los Angeles County Methodology. The proposed storm drain improvements shall be privately maintained by the property owner.

Landscaping Conditions

26. All plans need to be coordinated with the Arborist report, exhibits, and recommendations so they show all existing trees to remain, with accurate trunk locations and canopy sizes and configurations. Trees that are unprotected species proposed for removal may be deleted from the plans for clarity, though they need to remain on the Tree Preservation and Removal Plan for documentation.

27. Tree protection notes conforming to Arborist recommendations must be added to all plans (not just the Tree Preservation and Removal Plan), which will apply to clearing, grading work, trenching, building and pool excavation, wall and fence footings, hardscape and house construction, and other activities on the site.

28. Fence and Wall Plan – show edging and a hatch pattern indicating proposed synthetic turf area(s) adjacent to Bradbury Road, similar to the same materials shown on Dovetail Lane.

29. Tree Preservation and Removal Plan:

a. Add tree numbers corresponding to the Arborist Tree Survey on the plan next to each tree symbol, and clearly show trunk locations and accurate canopies for all trees on the site.

b. Coordinate with the Arborist to show and identify all trees proposed for removal, including dead or dying orchard trees as well as other trees to be removed to allow for construction.

c. Show protection fencing for all protected trees according to the Arborist's recommendations, and specify the height and type of fencing required.

d. Include tree protection notes as described in Condition No. 27 above and include any additional Arborist requirements as described in the Protected Tree Report.

30. Conceptual Landscape Plan:

a. Show accurate trunk locations, canopies and tree numbers corresponding to the Arborist Tree Survey for all existing trees to remain. Existing trees to be removed do not need to be shown on this plan, **as long as they are not a protected species and they are documented on the Tree Preservation and Removal Plan**. The applicant should be advised that for all trees to be removed, not just protected species (Oak trees), a Tree Removal Permit is required by the City. The permit may require mitigation measures such as replacement trees to be planted on the site, or payment into a City fund for trees in public areas.

b. Show and describe proposed hardscape materials, pathways, and amenities with callouts, sketches, and/or photos. Hardscape currently shown on the plan is very sparse and functional and appears to be incomplete; more attention is required on this design for higher design quality and detail. It is recommended that a landscape architect be added to the design team at the conceptual design stage.

c. At the northeast corner of the site, ramps and steps are shown near an area identified as "gardens", but there are no connections to pathways and no indication of what surface they access. Show pathways or other proposed paving or walkable ground cover material.

d. Indicate edges of proposed turf areas, including accurate limits of existing lawn to remain. Note that if all the area currently identified as lawn is proposed to be regular irrigated turf (not synthetic or an ornamental/low water use grass species), water use will be too high to conform to the City's Water Efficient Landscape Ordinance (WELO).

e. Show proposed new trees and shrub/ground cover massing (no need to show individual plants other than trees), for review of the design and use for preliminary water use calculations.

f. Add a preliminary plant palette, with a list of proposed trees, shrubs, and ground covers.

g. Provide preliminary water use calculations.

h. Correct typos for "Conceptual" on the sheet title (2 locations) and add a north arrow.

i. If possible, enlarge the Conceptual Landscape Plan to 1"=10' or 1/8"=1'-0", to show more details and for better legibility. Only the eastern half of the site needs to be included in this plan.

31. If the project moves forward, final landscape plans for planting and irrigation should be prepared by a licensed Landscape Architect and/or certified Irrigation Designer for landscaping throughout the site, showing locations and species of proposed trees and plant materials for the project including Plant Factors (water use ratings per WUCOLS), lawn and ground cover areas, and non-irrigated areas (i.e., mulch or decomposed granite) in conformance with the City's Water Efficient Landscape Standards, Chapter 121, Bradbury Municipal Code and recent updates. Please make sure all plant species used in each hydrozone (i.e., irrigation control valve area) have matching Plant Factors, so water needs will be consistent. Lawn area should not exceed 15% of total landscape area and should not be used where a slope exceeds 5% to minimize runoff, low to moderate water-use plant species should be specified throughout the landscape, and a 3-inch-thick layer of bark mulch used in all non-turf areas. Existing trees and shrubs should be incorporated into the new landscape wherever feasible.

32. Construction plans should show all drainage structures, utilities, exterior light fixtures, etc., and make sure hardscape, landscape, and tree locations are coordinated with these elements. Provide appropriate planting for any proposed storm water retention areas.

33. We encourage the applicant to prepare a Fuel Modification Plan for L.A. County Fire Dept. fuel modification review as soon as possible. This review can take time, and the final Planting Plan and plant palette must be in accordance with site-specific Fire Dept. requirements.

SECTION H. Appeals and Time Extensions.

1. In accordance with Chapter 16 (Appeals) of the Bradbury Development Code, the decision of the Planning Commission is subject to a ten (10) day period within which an appeal may be made by any person, partnership, corporation, public entity, other legal entity, or the applicant, who is aggrieve by the decision, by the filing of a written appeal with the City Clerk, accompanied by the established fee; or called up for review by a City Council Member within the ten (10) day appeal period.

2. Pursuant to the Development Code Chapter 7 (Permit/Entitlement Implementation and Time Extensions), absent a timely filed appeal as specified in Chapter 16, the Planning Commission decision shall be final and conclusive. If the applicant and/or property owner has not exercised this entitlement (i.e., submitted plans to the Department of Building and Safety) within one (1) year of the effective date of this approval, this entitlement shall expire and be null, void, and of no effect. A request for an extension of the time period for exercising this entitlement may be filed with the City 30 days prior to its expiration, and one (1) extension of up to one (1) year may be granted by the applicable review authority.

SECTION I. The City Clerk shall certify to the adoption of this Resolution.

PASSED, APPROVED, AND ADOPTED this 27th day of April 2022.

_____

Chairperson

ATTEST:

_____

City Clerk

I, Claudia Saldana, City Clerk, hereby certify that the foregoing Resolution No. PC 22-301 was duly adopted by the Planning Commission of the City of Bradbury, California, at a regular meeting held on the 27th day of April 2022, by the following vote:

AYES:

NOES:

ABSTAIN:

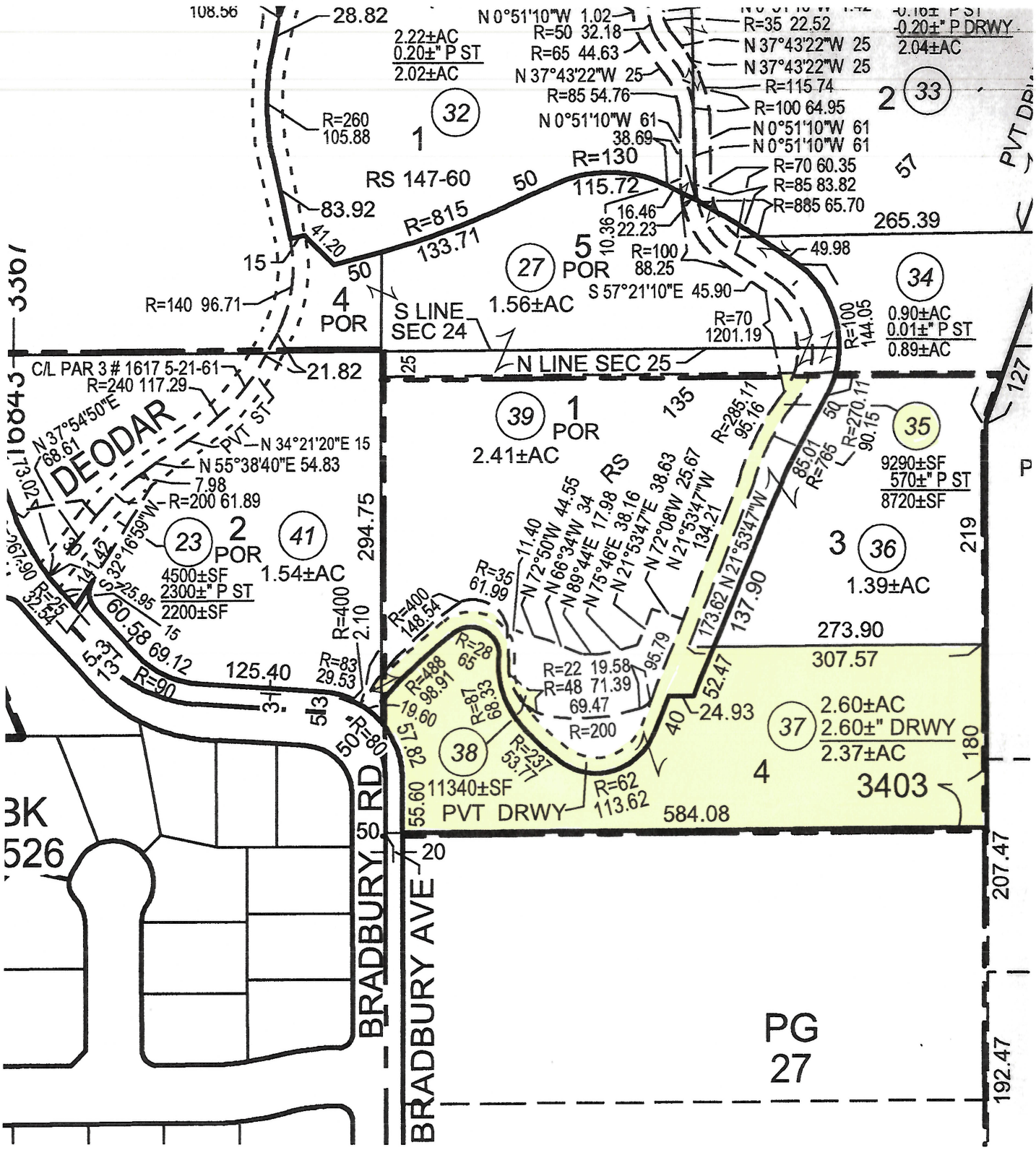
ABSENT:

ATTACHMENT NO. 2

Assessor Map & Aerial Photo

APNs 8527-026-035, 037 & 038

28 Dovetail Lane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28.82
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0.20±" P ST
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83.92
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15
R=140 96.71
N 0°51'10"W 1.02
R=50 32.18
R=65 44.63
N 37°43'22"W 25
R=85 54.76
N 0°51'10"W 61
38.69
R=130
115.72
RS 147-60
50
R=815
133.71
16.46
22.23
10.36
R=100
88.25
S 57°21'10"E 45.90
R=35 22.52
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R=115.74
R=100 64.95
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PVT DR
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POR
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SEC 24
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PVT ST
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N 34°21'20"E 15
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BRADBURY AVE
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PG
27
192.47
BK
526

28 Dovetail Ln.

ATTACHMENT NO. 3

Bradbury Estates HOA/CSD Letter

28 Dovetail Lane

1 Deodar Lane
Bradbury, CA 91008

July 20, 2020

City of Bradbury
600 Winston Avenue
Bradbury, CA 91008

RE: 28 Dovetail Lane

At our regularly scheduled meeting of the CSD held July 20, 2020 the board made the following modified conditions:

1. Widen Bradbury Road per the City of Bradbury standards placing a new curb and gutter, and paving the street to the appropriate width and standards per the City Engineer.
2. Install 10' of synthetic turf between the back edge of curb and the face of the new masonry wall.
3. Construct an 8" x 7' tall tan masonry wall with an 10" cap on Bradbury Road, 10' off the face of the new curb and gutter.
4. Grant an underground storm drain easement to the CSD for utility and storm drain purposes running along the easterly border from its N.E. corner down to the existing catch basin on the property to the west. Place a 36" NP pipe from the property to the down and into the existing catch basin described above.
5. All utilities shall be placed underground.
6. Stamped concrete or interlocking pavers at the entry approach to the gates can be installed towards the end of the project. A new 7' wrought iron fence paralleling the street outside the entry gates on the west side of the street up north to the property line shall allow for a minimum of 10' of parkway with Synthetic turf level from the back of the CSD rolled curb to the new W.I. fence.
7. Items 1-7 above must be completed prior to any foundation inspection

8. Install a 7' tan block wall with a poured in place cap on the north property line between your home and the home to the north at 18 Dovetail Lane. Install a minimum 7' masonry block wall on the east and south property lines.

Sincerely,

HOA and CSD Boards

ATTACHMENT NO. 4

Arborist Report

28 Dovetail Lane

Protected Tree Report: Tree Survey, Impact Analysis, and Protection Plan

28 Dovetail Lane
Bradbury, CA 91008

Prepared For: Twen Ma Architects
17200 Red Hill Ave.
Irvine, CA 92614
Tel: (626) 203-8125
Email: TwenMa@yahoo.com

Prepared By: Michael Crane
Arbor Care, Inc.
1660 E Mountain St.
Pasadena, CA 91104
Tel: (626) 737-4007
Email: info@arborcareinc.net

May 2021

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Site Plan . . . . . Pocket at back

SUMMARY OF DATA

Total number of live Native trees located on the property	17
Total number of off-site Native trees with canopies (driplines) encroaching into the proposed work zone	5
Total number of dead or highly hazardous Native Trees on site	4
Total number of live Native trees to be preserved	22
Total number of live Native trees to be removed	0
Total number of Native trees which will remain to be impacted by construction within Protected Zone (dripline area)	1
Total number of live native trees with no Protected Zone encroachments	21
Total number of Prominent trees located on the property	5
Total number of Prominent trees to be removed	0
Total number of Orchard trees located on the property	149
Total number of Orchard trees to be removed	41

BACKGROUND & PURPOSE

I was retained by the Architect, Twen Ma, to be the consulting arborist for the planned construction at 28 Dovetail Ln., Bradbury Estates. There are Native, Prominent, and Orchard trees located on the property and encroaching from off-site. The proposed construction will occur within the protection zones of one Oak tree, and one Prominent tree; and the landscape renovation will occur in the area of several Citrus and Avocado trees, requiring removals. This report will serve to both notify the City of Bradbury Planning Department of the existing tree inventory on the property; extent of the potential impacts on the encroached trees; and the as well as to inform the builder of the proper protection measures which must be taken in order to preserve the Native and Prominent trees. As part of my preparation for this report I made a site visit to the property on May 7, 2021. I met with Mr. Ma, at that time to view and discuss the proposed construction plans as they relate to the trees.

PROJECT DESCRIPTION

The property, of over two acres, consists of a single-family residence that appears to be in good condition. The landscape is minimally maintained and in fair condition. The Native and Prominent trees appear to be in good health and structural conditions, while the Orchard trees are in generally poor condition. The existing home, garage and barn will remain and a new single-family home will be built in an open area adjacent to the existing home, with a new garden area that includes a swimming pool. The Native and Prominent trees will be incorporated into the new landscape design.

Aerial photo of the property (courtesy of Google Maps), with approximate boundary lines.

TREE SURVEY

This table lists all Native and Prominent trees at least 15 feet tall with trunk diameters measuring four inches or greater located on the property, as well as all off-site Native trees 15 feet tall with trunk diameters measuring four inches. Off-site trees are indicated with an "os" next to their tree numbers. Multi-trunked specimens are indicated with an "m" next to the trunk diameter. The health rating for each tree is indicated with the rating scale as follows:
4=excellent 3=good 2=fair 1=poor 0=dead or nearly dead
The planned status of each tree is listed. Only Native trees located on site have numbered tags affixed to their trunks. Numbers correspond to those printed on the topographic map and site plan included in this report. Additionally, a total of Orchard trees is given. Each Orchard tree is plotted on the topographic map and color coded to its species, with a health rating indicated next to it.

Tree Survey for 28 Dove Tail Ln., Bradbury

Tree Identification and Size					Class and Status	
Tree #	Botanical Name	Common Name	Trunk Diameter	Health Rating	Species Category	To Be Preserved
1	Quercus agrifolia	Coast Live Oak	90"	4	Native	Yes
2	Quercus agrifolia	Coast Live Oak	24"	3	Native	Yes
3	Quercus agrifolia	Coast Live Oak	28"	3	Native	Yes
4	Quercus agrifolia	Coast Live Oak	4"	3	Native	Yes
5	Quercus agrifolia	Coast Live Oak	27"m	3	Native	Yes
6	Quercus agrifolia	Coast Live Oak	25"m	3	Native	Yes
7	Quercus agrifolia	Coast Live Oak	20"m	3	Native	Yes
8	Quercus agrifolia	Coast Live Oak	30"	3	Native	Yes
9os	Quercus agrifolia	Coast Live Oak	12"	3	Native	Yes
10os	Quercus agrifolia	Coast Live Oak	14"	3	Native	Yes
11os	Quercus agrifolia	Coast Live Oak	12"	3	Native	Yes

Tree Survey for 28 Dove Tail Ln., Bradbury

Tree Identification and Size					Class and Status	
Tree #	Botanical Name	Common Name	Trunk Diameter	Health Rating	Species Category	To Be Preserved
12os	Quercus agrifolia	Coast Live Oak	20"	3	Native	Yes
13os	Quercus agrifolia	Coast Live Oak	32"	3	Native	Yes
14	Quercus agrifolia	Coast Live Oak	15"	3	Native	Yes
15	Quercus agrifolia	Coast Live Oak	20"	3	Native	Yes
16	Quercus agrifolia	Coast Live Oak	4"	2	Native	Yes
17	Quercus agrifolia	Coast Live Oak	6"	2	Native	Yes
18	Quercus engelmanii	Engelmann Oak	8"	2	Native	Yes
19	Quercus engelmanii	Engelmann Oak	12"	3	Native	Yes
20	Quercus engelmanii	Engelmann Oak	10"	3	Native	Yes
21	Quercus engelmanii	Engelmann Oak	12"	2	Native	Yes
22	Quercus engelmanii	Engelmann Oak	16"	2	Native	Yes
23	Washintonia robusta	Mexican Fan Palm	NA	3	Native	Yes
24	Olea europea	Olive	24"m	2	Prominent	Yes
25	Casimiroa edulis	White sapote	12"	3	Prominent	Yes
26	Metrosideros excelsa	New Zealand Christmas Tree	15"m	4	Prominent	Yes
27	Eucalyptus cinerea	Silver Dollar Tree	12”	3	Prominent	Yes

Total number of Orchard trees:

60 Avocado
89 Citrus

FIELD OBSERVATIONS & DESIGN ANALYSIS

Refer to Topographic Map and Site Plan located in pocket at back of this report, Tree Characteristics and Health Matrix on page 7, Construction Impacts Matrix on page 9 and Photos in Appendix A, page 11.

Analysis regarding rootzone impacts are based on the type of impact, e.g, soil compaction, grading, and excavation; as well as the distance from the trunk that the impacts will occur. It is commonly accepted among professional arborists that a distance equal to three times a trunks diameter contains the structural roots responsible for keeping the tree upright. This critical rootzone area is defined as the root plate. Beyond the root plate the roots typically taper off into smaller, less significant sizes. These smaller roots are usually two inches in diameter or smaller and make up the rootmass responsible for water and nutrient uptake. Although roots of these sizes can be cut without significantly impacting health and stability it is advised that no more than 30 percent of the rootmass within the dripline is severed. The bulk of the rootmass is located within the top three feet of soil and root growth slows or halts when soil bulk density exceeds 1.60 g/cm^3 for most soils. More information regarding rootzone impacts is provided in the Excavation and Root Pruning section of the Construction Impact Guidelines, Appendix B.

Tree #1 - Coast Live Oak: This is a spectacular specimen that happens to be prominently located on the property near the main entry. No construction related encroachments will occur aside from the resurfacing of the existing driveway and a concrete walkway into the front entry of the new home. Deep excavation to construct the building pad will remain at the east edge of the dripline, 30 feet from the trunk; but some grading is likely to occur within this eastern portion that extends over the workzone.

Protective measures are required throughout the project to prevent soil compaction under the tree. The existing driveway shall function as primary haul route and a fence should be installed along the entire edge closest to the tree to keep vehicles and equipment. On the paved surface. A fence or soil and root protection material should be installed in the portion of the dripline that extends into the workzone. Some crown raising type pruning may be necessary to allow good access for large vehicles such as concrete trucks and excavators.

Trees #2 - #8 Coast Live Oaks: Located on site, in the west half of the property and well clear of construction. The trees are situated along an existing asphalt drive that may be used for parking, storage and staging. Care should be taken to keep vehicles, equipment and materials on the paved surface. Some crown raising type pruning may be required to gain vertical clearance over the asphalt drive.

Trees #9 - #13 Coast Live Oaks: Located off-site on the property to the west. Portions of the driplines extend over the asphalt drive on the west half of the property that may be used for parking, storage and staging. Care should be taken to keep vehicles, equipment and materials on the paved surface. No pruning will be required to gain vertical clearance over the asphalt drive.

Trees #14 - #24: Coast Live Oaks Engelmann Oaks, Olive and Mexican Fan Palm: Located in a dense stand on a naturalized slope at the northwest area of the property. The trees are in various conditions, and will all remain in place. They are well buffered from any construction activity or encroachments due to the contour of the land.

Tree #25 – White Sapote: This is the only tree located within the open area where the new home will be built. The required over-excavation and re-compaction to construct the building pad willn come as close as four feet from the trunk on its west side. Some additional grading will likely occur for landscape construction. Some reduction pruning may be required to accommodate the exterior wall of the new home.

Trees #26 & #27 – New Zealand Chistmas Tree, Silver Dollar Tree: These trees are located in the southeast quadrant of the property and situated near the existing home, garage and barn that will all remain in place. No encroachments will occur and no pruning is required.

Orchard Trees - Avocado and Citrus located in the north east quadrant of the property: The several Avocado and Citrus located in the area where a new landscape will be built, including a swimming pool, will be removed. All of these trees are beyond their production life and are in poor to dead conditions. They consist of 32 Avocado and 9 Citrus.

PROTECTED TREE INVENTORY and OBSERVATIONS

This chart includes all Native and Prominent trees, which are either located on or encroaching onto the property. It provides physical data collected from field observations. The trees have been surveyed and numbers correspond to the Topographic Map and Site Plan included in this report. An "os" next to the tree number signifies that the tree is located off-site but a portion of its canopy encroaches over the property.

TREE CHARACTERISTICS & HEALTH MATRIX

CHARACTERISTICS													HEALTH											
		SIZE			FORM		CROWN CLASS			AGE CLASS			FOLIAGE DENSITY			SHOOT GROWTH			WOUND DEFENSE			VIGOR CLASS		
TREE NUMBER	SPECIES	TRUNK DIAMETER (INCHES)	APPROXIMATE HEIGHT (FEET)	AVERAGE SPREAD (FEET)	SYMMETRIC	ASYMMETRIC	DOMINANT	CO-DOMINANT	SUPPRESED	YOUNG	MATURE	OVERMATURE	NORMAL	SPARSE	DISEASE OR INSECT DAMAGE PRESENT	AVERAGE	POOR	TWIG DIEBACK	NORMAL	POOR	WOOD DECAY	GOOD	POOR	ADVANCED DECLINE
1	Quercus agrifolia	90	60	80	X		X				X		X			X			X			X		
2	Quercus agrifolia	24	40	50	X		X				X		X			X			X			X		
3	Quercus agrifolia	28	40	40	X		X				X		X			X			X			X		
4	Quercus agrifolia	4	15	15	X		X			X			X			X			X			X		
5	Quercus agrifolia	27	40	40	X			X			X		X			X			X			X		
6	Quercus agrifolia	25	40	40	X			X			X		X			X			X			X		
7	Quercus agrifolia	20	40	30	X			X			X		X			X			X			X		
8	Quercus agrifolia	30	40	40	X			X			X		X			X			X			X		
9os	Quercus agrifolia	12	40	30	X			X		X			X			X			X			X		
10os	Quercus agrifolia	14	30	30	X			X		X			X			X			X			X		
11os	Quercus agrifolia	12	35	40	X			X		X			X			X			X			X		

TREE CHARACTERISTICS & HEALTH MATRIX (continued)

CHARACTERISTICS													HEALTH											
		SIZE			FORM		CROWN CLASS			AGE CLASS			FOLIAGE DENSITY			SHOOT GROWTH			WOUND DEFENSE			VIGOR CLASS		
TREE NUMBER	SPECIES	TRUNK DIAMETER (INCHES)	APPROXIMATE HEIGHT (FEET)	AVERAGE SPREAD (FEET)	SYMMETRIC	ASYMMETRIC	DOMINANT	CO-DOMINANT	SUPPRESED	YOUNG	MATURE	OVERMATURE	NORMAL	SPARSE	DISEASE OR INSECT DAMAGE PRESENT	AVERAGE	POOR	TWIG DIEBACK	NORMAL	POOR	WOOD DECAY	GOOD	POOR	ADVANCED DECLINE
12os	Quercus agrifolia	20	40	40	X			X			X		X			X			X			X		
13os	Quercus agrifolia	32	40	40	X			X			X		X			X			X			X		
14	Quercus agrifolia	15	30	30	X			X			X		X			X			X			X		
15	Quercus agrifolia	20	35	40	X			X			X		X			X			X			X		
16	Quercus agrifolia	4	15	15		X	X			X			X			X			X			X		
17	Quercus agrifolia	6	15	20	X			X		X			X			X			X			X		
18	Quercus engelmanii	8	20	20		X		X		X			X			X			X			X		
19	Quercus engelmanii	12	30	30		X		X		X			X			X			X			X		
20	Quercus engelmanii	10	30	20		X		X		X			X			X			X			X		
21	Quercus engelmanii	12	35	30		X		X		X			X			X			X			X		
22	Quercus engelmanii	16	35	30		X		X			X		X			X			X			X		
23	Washingtonia robusta	na	50	na	X		X				X		X			X			X			X		
24	Olea europea	24	20	30		X	X				X		X			X			X			X		
25	Casimiora edulis	12	20	20	X		X				X		X			X			X			X		
26	Metrosideros excelsa	15	15	30	X		X				X		X			X			X			X		
27	Eucalyptus cinerea	12	20	20	X		X			X			X			X			X			X		

ANALYSIS

This chart includes all Native and Prominent Trees which are either located in or encroaching into the workzone. It provides analytical data collected from the proposed construction plans and accounts for all encroachments into a tree's Protection Zone. The trees numbers correspond to the tag number, Topographic Survey Map and Site Plan included in this report.

CONSTRUCTION IMPACTS MATRIX

	TREE SPECIES	SIZE & CONDITION		ROOTZONE IMPACTS								REQUIRED PRUNING OF LIVE CROWN				
TREE NUMBER		TRUNK DIAMETER (DBH)	CONDITION	Sided of tree where excavation (six inches or deeper) will occur	Sides where excavation impacts are buffered by existing infrastructure	**Excavation will remain a distance of at least 5 X DBH from trunk**	**Excavation will remain a distance of at least 3 X DBH from trunk**	**Excavation will encroach the root plate (3 X DBH) from trunk**	**Removal or Relocation**	Additional light grading less than 6" deep to occur within dripline	Estimated % of total root mass to be removed or severed	**No Pruning Required**	**Pruning not to exceed 10%**	**Pruning not to exceed 30%**	Number of cuts larger than 3" in diameter required	Diameter of cuts for branch removals
1	Quercus agrifolia	90	Good	E	E					Y	<10				0	-
25	Casimiroa edulis	12	Good	W	-					Y	<30				0	-

FINDINGS and RECOMMENDATIONS

All required excavation and other encroachments may occur as planned and the trees can be reliably preserved. The expected root mass loss on both Tree #1 and #25 are within a tolerable range. It is very unlikely that significant roots will be encountered on Tree #1 and any roots encountered on Tree #25 can be severed without greatly impacting the tree.

The main haul route for the duration of the project will be the existing driveway located near Tree #1. This surface shall remain in place through the duration of the project, right up to the time it is replaced or resurfaced. The existing asphalt pavement guards the rootzones against potentially harmful soil compaction from construction traffic.

Extra soil and root protection material shall be installed under Tree #1 on its east side, beyond the asphalt and 20 feet beyond its dripline. Examples of these materials are provided in Appendix D. Chipped mulched from the removal of the existing fruit trees on site would be an appropriate material.

A protective fence shall be installed on the inside edge of the driveway near Tree #1 and the large group of oaks consisting of Trees #5 - #9; and #14 - #24; as well as around Tree #25. The fence placement is indicated with a dashed line on the site plan included at the back of this report.

Pruning may be required to gain vertical clearance above the haul route and on Tree #25 to accommodate the exterior wall of the new home. Pruning should be done by a licensed and certified tree service.

FURTHER RECOMMENDATIONS

- Prior to the start of construction the contractor and consulting arborist shall meet on site to make sure protective fences and soil protection materials, which define the Tree Protection Zones (TPZ), are properly placed and installed and to review the goals for the tree protection plan. **The location of the TPZ's are drawn with a dashed line on the Landscape Plan included in this report.**
- Any alterations of the fenced protection zones must be approved by the arborist of record.
- Maintain the fences and soil protection materials throughout the completion of the project. No staging of materials or equipment or washing-out is to occur within a TPZ.
- Refer to Construction Impact Guidelines in Appendix C for further recommendations on proper care principals regarding different elements of this project.
- Several Citrus trees surrounding Tree #2 should be removed to reduce competition on the Native Oak. The Citrus are overmature and of very little value compared with the Oak.
- An Ailianthus altissima, Tree of Heaven, is located in the southwest corner of the property. This is classified as a noxious plant, and it should be removed and managed from resprouting.

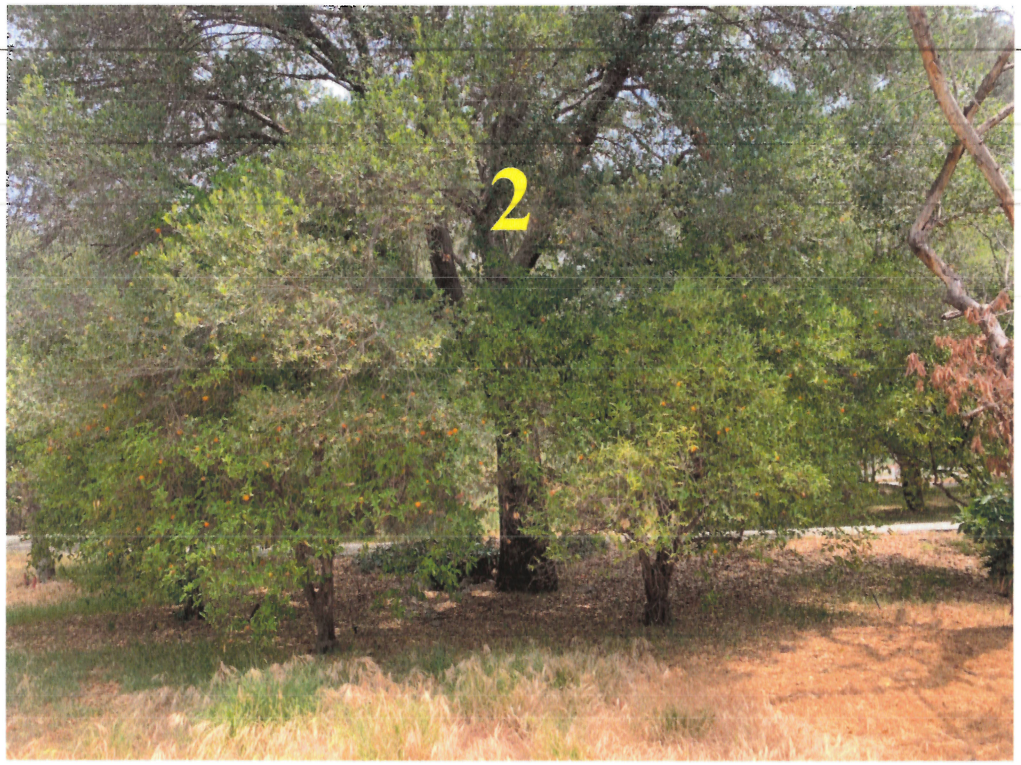
APPENDIX A – Photos

ABOVE: Looking west at Tree #1. In addition to preserving the existing asphalt surface near the tree for the duration of the project, soil and root protection material shall be installed 20 feet outside of the dripline (indicated with the orange line). BELOW: Looking east at the open area where the new home will be built. Tree #25 is the only tree located in this area, and it will be preserved.

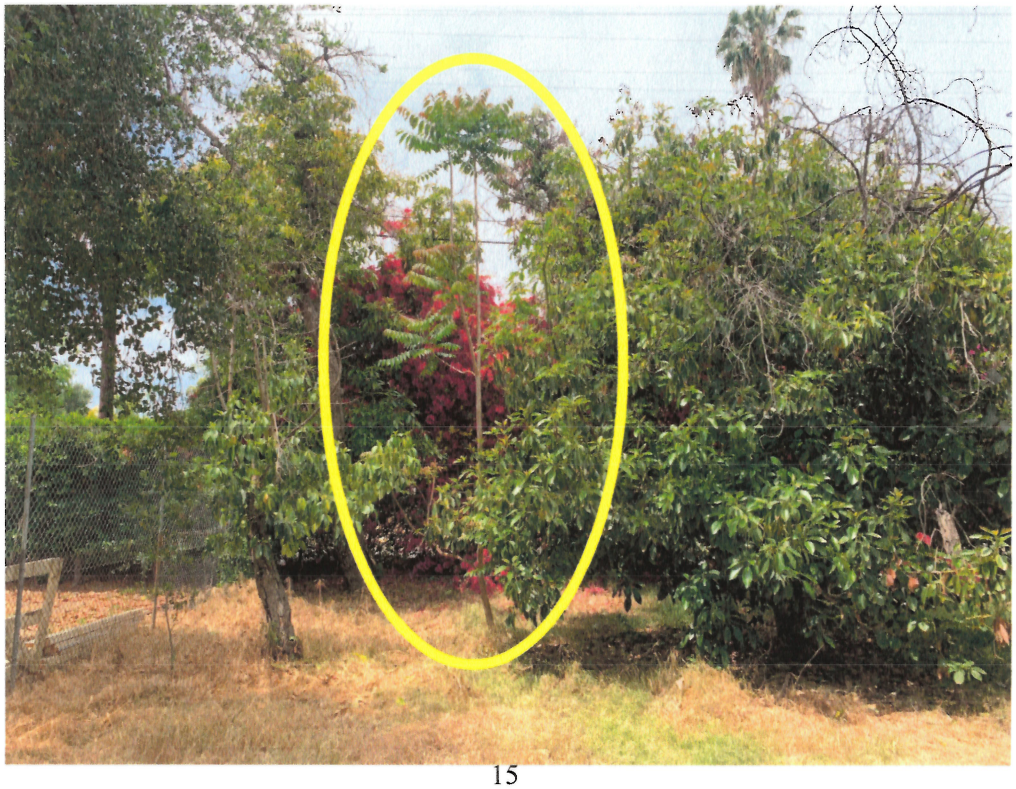
ABOVE: Looking north at the entry and main haul route under Tree #1 BELOW: Some slight crown raising of Tree #1 may be required to gain vertical clearance over the haul route for large vehicles such as cement trucks.

ABOVE: The western asphalt drive that may be used for parking, storage and staging.
BELOW: Looking north at Tree #25. The new home will be built ten feet to the left (west) of the trunk. Some reduction pruning may be required on that side.

ABOVE and BELOW: The Citrus and Avocado trees located in the area where the pool and gardens will be built are in generally poor condition. They will be removed.



ABOVE: Several Citrus trees surround Tree #2. They should be removed to reduce competition on this Native Oak. BELOW: An *Ailianthus altissima* Tree of Heaven, is located in the southwest corner of the property. This is classified as a noxious plant and should be removed, and managed from resprouting.



APPENDIX B - Protected Tree Construction Impact Guidelines

Size and Distribution of Tree Roots – Taken from Arboriculture, Integrated Management of Landscape Trees Shrubs and Vines. Harris, R.W., Clark, J.W., Matheny N.P. Prentice Hall 2004.

Roots of most plants, including large trees, grow primarily in the top meter (3 ft) of soil (see figure below). Most plants concentrate the majority of their small absorbing roots in the upper 150 mm (6 in.) of soil if the surface is protected by a mulch or forest litter. In the absence of a protective mulch, exposed bare soil can become so hot near the surface that roots do not grow in the upper 200 to 250 mm (8 to 10 in.). Under forest and many landscape situations, however, soil near the surface is most favorable for root growth. In addition, roots tend to grow at about the same soil depth regardless of the slope of the soil surface.

Although root growth is greatly influenced by soil conditions, individual roots seem to have an inherent guidance mechanism. Large roots with vigorous tips usually grow horizontally. Similar roots lateral to the large roots grow at many angles to the vertical, and some grow up into the surface soil. However, few roots in a root system actually grow down.

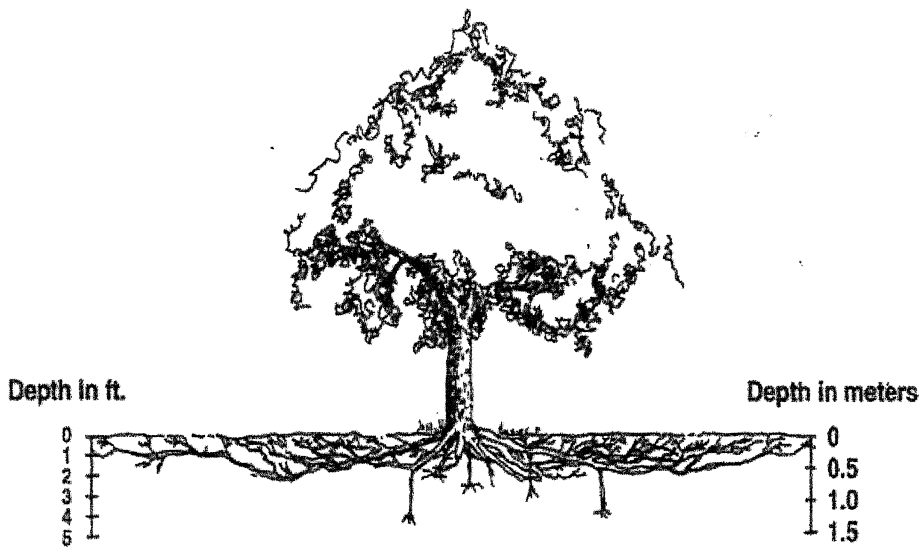


FIGURE In mature trees, the taproot is either lost or reduced in size. The vast majority of the root system is composed of horizontally oriented lateral roots.

The importance of soil

Soil supports and anchors tree roots and provides water, minerals and oxygen. Furthermore, soil is a habitat for soil microorganisms that enhance root function. A soil's ability to sustain tree growth is largely determined by its texture, structure (bulk density), organic matter, water and mineral content, salinity, aeration, and soil-microbe abundance and diversity.

Soil physical properties

Soil texture – the relative proportion of sand, silt and clay, is important because it affects water – and nutrient-holding capacity, drainage and aeration (gaseous diffusion). Soil structure is the arrangement of individual soil particles into clumps (aggregates). The net result is the formulation of larger voids between the aggregates which serve as channels for gaseous diffusion, movement of water and root penetration. Unfortunately, soil aggregates are readily destroyed by activities that compact the soil (increase bulk density). When this occurs, gaseous exchange, permeability, drainage and root growth are restricted.

The influence of the organic matter content of soil properties is quiet significant. Its decomposition by soil organisms releases substances that bind soil particles into larger granules, which improves both soil aeration, and drainage. In essence, the breakdown of organic matter improves water – and nutrient-holding capacity and reduces bulk density. Furthermore, it is the primary source of nitrogen and a major source of nitrogen and a major source of phosphorus and sulfur. Without organic matter soil organisms could not survive and most biochemical processes in the soil would cease.

Soil aeration, the movement and the availability of oxygen, is determined by both soil texture and structure. In general, compacted and finer soils, due to a higher proportion of small pore spaces (micropores), tend to drain slowly and hold less air than coarser, sandy, or well-structured find soils. Water retained in the small pores displaces oxygen and inhibits gaseous diffusion.

The availability of soil water is largely determined by the size of the pore spaces between the soil particles and the larger aggregates in which water is held. Most of the water in the larger pore spaces drains readily due to gravitational forces. A relatively thin film of water, which is readily available to plant roots, remains following drainage. Much of water held within the smaller pore spaces resists uptake by plant roots because it is held tightly on the soil surfaces.

Plant roots require an adequate supply of oxygen for development. Injury or dysfunction results when oxygen availability drops below a critical level. Root respiration is the first process to be restricted, followed by disruptions in growth, metabolism, nutrient and water uptake, and photosynthesis. Furthermore, the accumulation of high levels of carbon dioxide, produced by the roots during respiration can also impair root function. Reduced soil aeration resulting from soil compaction, flooding, excess irrigation, or impervious pavement favors the development of crown rot (Phytophthora root disease). It also inhibits mycorrhizal fungi that enhance water and nutrient uptake and resist root pathogens.

The forest floor under a canopy in most undeveloped forests and woodland settings is typically covered by a layer of fallen leaves and other woody debris. It is usually cool, shady, well-aerated, and relatively moist – conditions that favor normal root growth. When the natural leaf litter is removed and when a tree's lower canopy is pruned up to provide clearance, the absorbing roots in the upper few inches of the soil experience higher soil temperatures and increased desiccation due to direct exposure to sunlight.

Minimizing the Effects of Construction and Development on Tree Root Systems

Activities that injure roots or adversely affect the root zone should be avoided or kept as far from the trunk as possible. Design changes or alternative building practices that avoid or minimize construction-related impacts should be considered and proposed when applicable.

Soil Compaction

Soils are intentionally compacted under structures, sidewalks, reads, parking areas, and load-bearing fill to prevent subsidence, and to prevent soil movement on slopes. Although unintentional, soil within the root zone of trees is often compacted by unrestricted foot traffic, parking of vehicles, operation of heavy equipment, and during installation of fill. Compaction destroys the soil's natural porosity by eliminating much of the air space contained within it. It leaves the soil hardm impenetrable and largely unfavorable for root growth. The soil's natural porosity, which allows for water movement and storage, gaseous exchange, and root penetration, is greatly reduced. Consequently, root growth and tree health suffer. Soil compaction is best managed by preventing it.

Bulk density is used to describe a soil's porosity, or the amount of space between soil particles and aggregates. High bulk densities indicate a low percentage of total pore space.

Pavement

Paving over the root systems of trees is another serious problem because it reduces the gaseous diffusion and soil moisture. Most paving materials are relatively impervious to water penetration and typically divert water away from a tree's root zone. Cracks and expansion joints do, though, allow for some water infiltration into the soil below. Of greater concern, is the loss of roots from excavation to achieve the required grade, and the necessary compaction to prevent subsidence. Once the soil surface is compacted, a base material is then added and compacted as well. With that done, the surface can then be paved. Thus, pavement within the root zones of trees can damage roots and create unfavorable soil conditions. One alternative to minimize pavement impacts is to consider placing the pavement on the natural grade over a layer of minimally compacted base material. To reduce sub-grade compaction, consider using reinforced concrete or asphalt over a goetextile blanket to help stabilize the soil. On-grade patios or paving that covers more than one-third of the tree protection zone (TPZ) should be constructed using permeable materials that allow aeration and water penetration. Soil under permeable surfaces should not be compacted to more than 80 percent.

Excavation and root pruning

Excavation within the root zones of trees should be avoided as much as possible. The extent of root pruning (selective) or cutting (non-selective) should be based on the species growth characteristics and adaptive traits, environmental conditions, age, health, crown size, density, live crown ration and structural condition of the tree. The timing of the root pruning or cutting is another important consideration. Moderate to severe root loss during droughts or particularly hot periods can cause serious water-deficit injury or death.

When root pruning/ cutting is unavoidable, roots should be pruned or cut as far from the trunk as possible. Cutting roots on more than one side of a tree should also be avoided. Root cutting extending more than half-way around a tree should generally be no closer than about 10 times the trunk diameter. Recommended distances range from as little as 6 times trunk diameter (DBH) for young trees to 12 times trunk diameter for mature trees. The size of the TPZ should, however, be increased for over mature and declining trees and species that are sensitive to root loss.

The minimum distance from the trunk that roots can be cut on one side of the tree without destabilizing it, is a distance equal to about three times the diameter (DBH) of the trunk. Roots severed within that distance provide little or no structural support. Root pruning or cutting distances from the trunk should be greater for trees that lean and/ or those growing on shallow or wet soil.

In cases where the proposed grading will adversely affect trees designated for retention, special attention should be given to proper root pruning and post-construction care for injured trees. Where structural footings are required for foundations, retaining walls, etc., and roots larger than 2 inches in diameter will be impacted, consider design changes or alternative building methods.

When excavation within 5 times trunk diameter is unavoidable, roots greater than 1 ½ inches in diameter should be located prior to excavation and then pruned to avoid unnecessary damage. Hand-digging or use of a hydraulic or pneumatic soil excavation tool is the least disruptive way to locate roots for pruning. Although mechanical root pruners make clean cuts, they are non-selective. A backhoe bucket, dozer blade or trencher will typically pull, rip or shatter the larger root, causing additional damage toward the tree. Once the roots that interfere with the structure being built, e.g., foundations, footings, retaining wall, curbs, etc., are exposed, they should then be cut perpendicular to their long axis using a hand-saw, 'carbide-tipped chainsaw' or sharp ax, depending on size. Roots that are pruned in this manner typically regenerate new roots from near the cut. Roots exposed by excavation should be protected from exposure to sun and desiccation. Exposed roots that cannot be covered with soil by the end of the day should be covered with moistened burlap or similar material.

Roots can generally be cut in a non-selective manner when excavating near of beyond the dripline. Ripped, splintered or fractured portions of roots however, should be re-cut. The damaged portion should be removed using sharp tools. The cut should be flat across the root with the adjacent bark intact. Wound dressings should not be applied to pruned or damaged roots except when recommended for disease, insect or sprout control.

The best approach to avoid water-deficit injury following root loss during the growing season is to provide ample irrigation. Irrigation should be considered prior to, during, and after root pruning. Watering schedules should also consider local soil conditions, climate, topography,

time of year, species adaptability, extent of root pruning and tree health. If possible, irrigate the tree 7 to 10 days prior to excavation so that there is an adequate reservoir of soil water. Water can be delivered to large construction sites via water-tank trucks and applied directly to affected trees or stored nearby in plastic tanks. On relatively flat terrain, a 6 to 8 inch soil berm at the tree's dripline should be constructed to act as a watering basin. On steep terrain, soaker hoses should be used. They can be placed across the slope or spirally around the trunk, from about six feet away to the dripline. In addition, a two to four inch layer of wood chip mulch should be applied to as much of the root zone as possible to retard soil water loss.

Pruning foliage to compensate for root loss is not supported by scientific research and likely to result in slower recovery. Fertilization to stimulate root growth is generally unwarranted and may be counterproductive.

Trenching within the Tree Protection Zone

Trenching for underground utilities should be routed around the TPZ. When this is unavoidable, trenching within the TPZ should be done by 'hand' or using a pneumatic or hydraulic soil excavation tool, carefully working around larger roots. Roots larger than 1 ½ inches in diameter should not be cut. Dig below these roots to route utilities or install drains. A combination of tools can also produce satisfactory results, for example, a skillful backhoe operator under the arborist's supervision can dig down several inches at a time and detect larger roots by 'feel' (resistance). At that point, as assistant can expose the root and dig around it. In this manner, the backhoe can then continue extending the trench though the TPZ. Tunneling (boring) through the TPZ is the preferable alternative. For most large trees, tunneling depth should be at least 36 inches. Tunneling should begin at the edge of the TPZ, but no closer than a distance equal to one foot of clearance for each inch of tree DBH. Tunnels should also be offset to either side of the trunk. For trenching that extends only part way into TPZ, consider trenching radially to the tree trunk, as this is less harmful than tangential trenching. All trenches made within the TPZ should be backfilled as quickly as possible to prevent root and soil desiccation.

Managing Root Injured Trees

Root-pruned trees should be monitored for symptoms of water-deficit injury for a specified period following root pruning. Irrigation should be considered prior to, during, and after root pruning. Irrigation schedules should consider local soil conditions, climate, topography, time of year, species tolerance, extent of root pruning and tree health.

Grade Change: Fill Soil

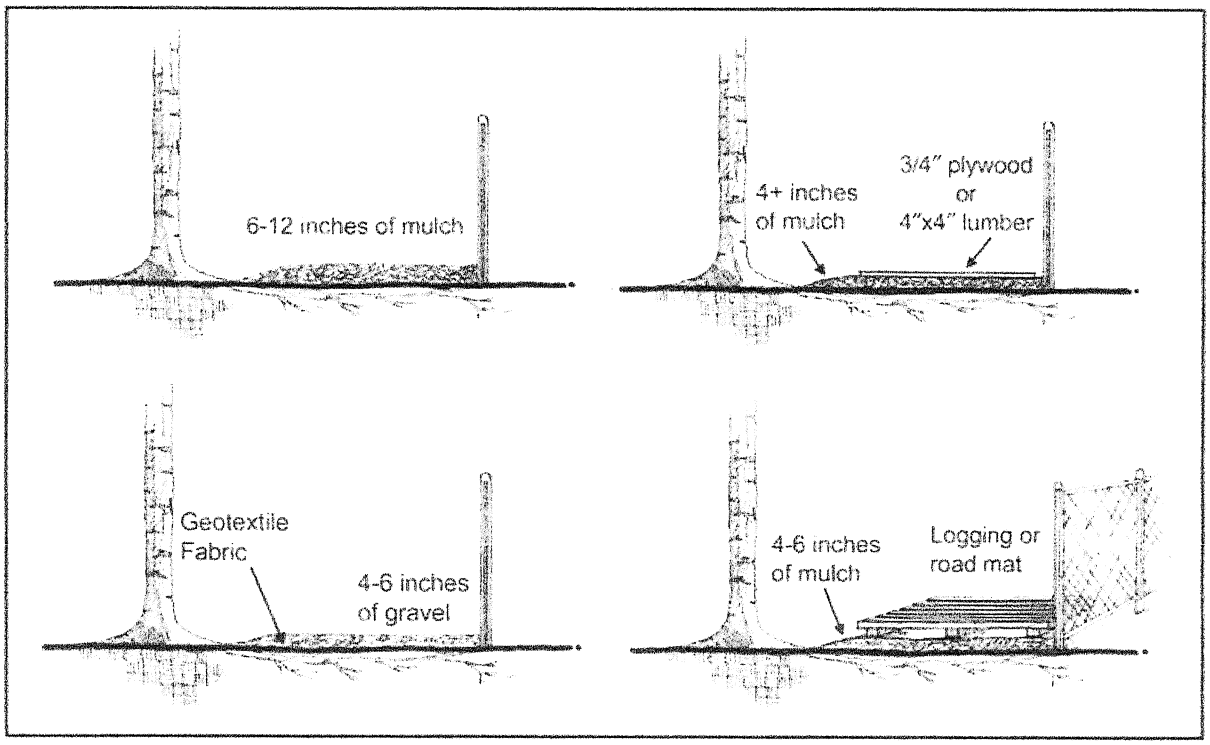
Fill soil placed within the root zones of trees can have an adverse effect, particularly if the soil is compacted to support a structure or pavement. Soil compaction reduces aeration and water infiltration. Fill soil, die to textural changes, can also prevent water from penetrating the original soil layer below where the roots are. Furthermore, soil placed against the root crown and lower trunk can lead to root disease problems, especially if the soil near the trunk remains moist during the summer from irrigation. Alternatives to placing fills over roots zones shall be considered and proposed as appropriate.

APPENDIX C - Soil and Root Protection Within the Tree Protection Zone

If traffic cannot be kept outside of the Tree Protection Zone for the entire duration of construction, actions can be taken to disperse the vehicular load and protect the roots, minimizing soil compaction and mechanical root damage. These include:

1) Applying 6 to 12 inches of wood chip mulch to the area.
2) Laying ¾-inch thick plywood or 4x4 inch wood beams over a 4+ inch thick layer of wood chip mulch.
3) Applying 4 to 6 inches of gravel over a taut, staked geotextile fabric.
4) Placing commercial logging or road mats on top of a mulch layer.

Stone, geotextile, and mulch exceeding 4 inches thick will need to be removed from the TPZ once the threat of soil or root damage has passed.



AUTHOR'S CURRENT CREDENTIALS

The American Society of Consulting Arborists

in recognition of fulfillment of the requirements for Registered Consulting Arborist status

confers upon

Michael Crane, RCA #440

Registered Membership
January 18, 2006

President

ASCA

Executive Director

International Society of Arboriculture

Board Certified Master Arborist

Michael J. Crane

Having successfully completed the requirements established by the Certification Board of the International Society of Arboriculture, the above named is hereby recognized as an ISA Board Certified Master Arborist

Certification Board, Chair
International Society of Arboriculture

Jim Sjoerz, Executive Director
International Society of Arboriculture

WE-6643B
Certificate Number

Nov 9, 2006
Certified Date

Dec 31, 2015
Expiration Date

ISA QUALIFICATIONS

International Society of Arboriculture™
Tree Risk Assessment Qualification

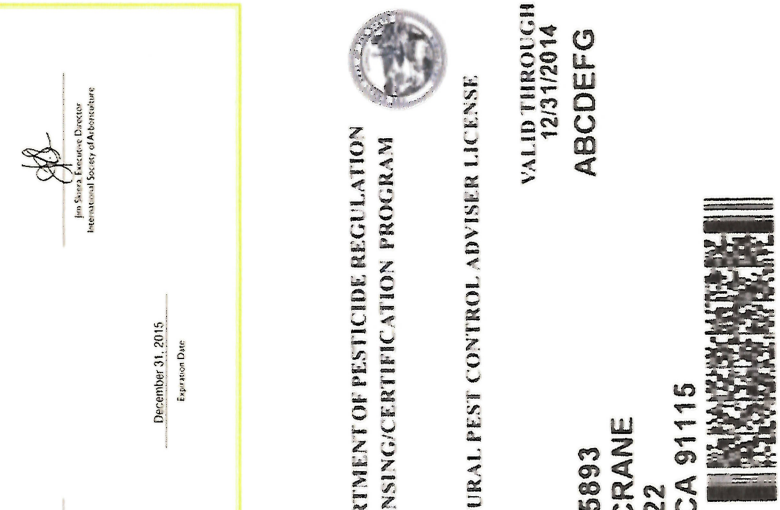
Michael J Crane

Having successfully completed the requirements established by the Certification Board of the International Society of Arboriculture,™ the above named is hereby recognized as holding the ISA Tree Risk Assessment Qualification.

Chair, Certification Board
International Society of Arboriculture

Jim Sjoerz, Executive Director
International Society of Arboriculture

December 31, 2015
Expiration Date


dpr

DEPARTMENT OF PESTICIDE REGULATION
LICENSING/CERTIFICATION PROGRAM

AGRICULTURAL PEST CONTROL ADVISER LICENSE

DATE OF ISSUE
01/01/2013

VALID THROUGH
12/31/2014

PCA 75893

ABCDEFG

MICHAEL J CRANE
PO BOX 51122
PASADENA CA 91115

CERTIFICATION OF PERFORMANCE

I, Michael Crane, certify that:

- I have personally inspected the tree(s) and the property referred to in this report and have stated my findings accurately.
- I have no current or prospective interest in the vegetation or the property that is the subject of this report and have no personal interest or bias with respect to the parties involved.
- The analysis, opinions, and conclusions stated herein are my own and are based on current scientific procedures and facts.
- My analysis, opinions, and conclusions were developed and this report has been prepared according to commonly accepted arboricultural practices.
- No one provided significant professional assistance to me, except as indicated within the report.
- My compensation is not contingent upon the reporting of a predetermined conclusion that favors the cause of the client or any other party not upon the results of the assessment, the attainment of stipulated results, or the occurrence of any subsequent events.

I further certify that I am a member in good standing of the American Society of Consulting Arborists and the International Society of Arboriculture. I have been involved in the field of Horticulture in a full-time capacity for a period of more than 15 years.

Signed: _____

Registered Consulting Arborist #440; American Society of Consulting Arborist
Board Certified Master Arborist #WE 6643B; International Society of Arboriculture
Licensed California Agricultural Pest Control Adviser #AA08269

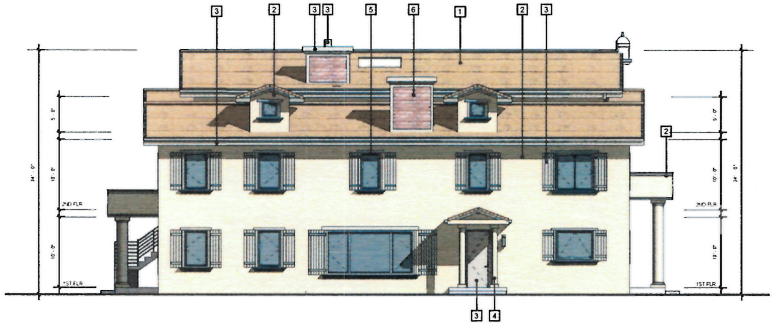
Date: May 12, 2021

ATTACHMENT NO. 5

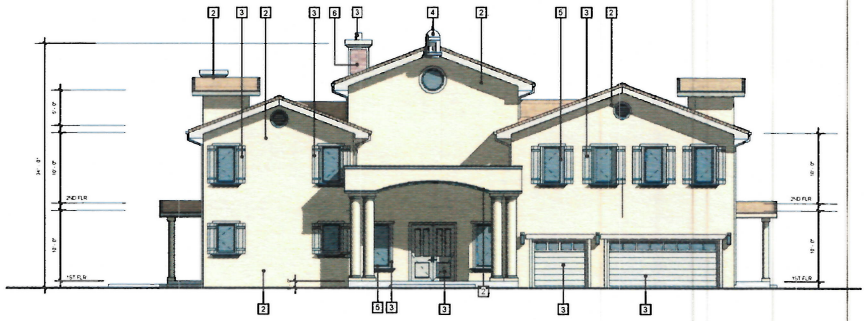
Proposed Plans

AR 22-002 & V 22-001

28 Dovetail Lane

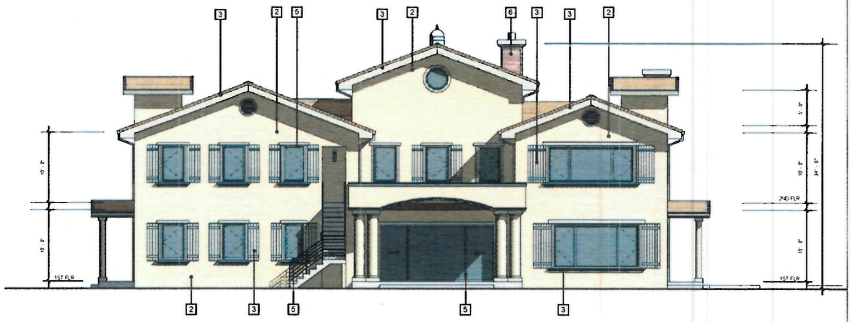


3 WEST / SIDE ELEVATION
1/8" = 1'-0"



1 SOUTH / FRONT ELEVATION
1/8" = 1'-0"

4 EAST / SIDE ELEVATION
1/8" = 1'-0"



2 NORTH / REAR ELEVATION
1/8" = 1'-0"

1 "BORAL" CONCRETE ROOF TILE
AXONY 700 SHAKE - BUCHSKIN

2 "LAHABRA " SMOOTH SAND FINISH STUCCO
X57 FRENCH VANILLA (BASE 100)

3 PAINT EXTERIOR CEMENT SIDINGS (WITH WOOD GRAIN), FACIA BOARDS, RAIN GUTTERS, DOWNSPOUTS, WINDOW TRIMS, GARAGE DOORS, CHIMNEY CAPS AND SHUTTERS COLOR TO MATCH 2

4 PAINT EXTERIOR DOORS, POSTS, COLUMNS, COVERED PORCH AND PATIO WALLS "DUNN EDWARDS" DEW34 SWISS COFFEE

5 "PELLA" WHITE ALUMINUM WINDOWS AND SLIDING DOORS

6 USED RED BRICKS CHIMNEY

7 PAINT EXTERIOR IRON RAILINGS BLACK COLOR

TWEN MA
ARCHITECTS
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17200 RED HILL AVE.,
IRVIN, CA 92614
TEL: (626)203-8125 (626)358-8125
FAX: (626)358-6842
twenma@yahoo.com
yee4302@gmail.com

REVISIONS

DATE	NO.

PROJECT TITLE / ADDRESS:
CUSTOM RESIDENCE
28 DOVETAIL LN, BRADBURY, CA 91008

DRAWING TITLE
COLOR ELEVATIONS

DATE: 3/3/2021
PROJECT NO.
DRAWN BY
CHECKED BY
SCALE 1/8" = 1'-0"

SHEET NO.
CLR

CUSTOM RESIDENCE

28 DOVETAIL LN, BRADBURY, CA 91008

SYMBOLS

- DETAIL NUMBER / SHEET NUMBER — SECTION
- DETAIL NUMBER / SHEET NUMBER — DETAIL
- DETAIL NUMBER / SHEET NUMBER — INTERIOR ELEVATION
- 0'-0" FF TILE — DATUM ELEVATION
- DOOR NUMBER
- BED RM — ROOM NUMBER & NAME
- KEYNOTE

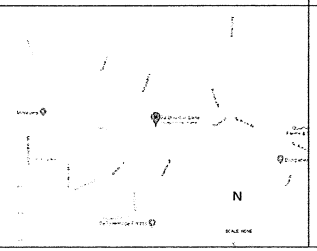
ABBREVIATIONS

A.C.	ASPHALTIC CONCRETE
A.F.F.	ABOVE FINISHED FLOOR
AC.T.	ACOUSTICAL TILE
ADMIN.	ADMINISTRATION
BLDG	BUILDING
B.N.	BULL NOSE
B.L.	BUILDING LINE
C.B.	CHALK BOARD
CEM.	CEMENT
CEM. PLAS	CEMENT PLASTER
C.F.	CUBIC FEET
CLG	CEILING
CLSRM	CLASSROOM
CLR.	CLEAR
CMU	CONCRETE MASONRY UNITS
CONC.	CONCRETE
C.T.	CERAMIC TILE
MAX	MAXIMUM
MIN	MINIMUM
M.B.	MARKER BOARD
MET.	METAL
(N)	NEW
N.I.C	NOT IN CONTRACT
NO	NUMBER
O.C	ON CENTER
O.D	OUTSIDE DIAMETER
OPENG	OPENING
OPP	OPPOSITE
PL	PLATE
PLYWD	PLYWOOD
PR	PAIR
REQ	REQUIRED
DET	DETAIL
DETS	DETAILS
DIA	DIAMETER
(E)	EXISTING
EXIST'G	EXISTING
EL	ELEVATION
ELEV	ELEVATION, ELEVATOR
E.P	ELECTRICAL PANEL
EQ	EQUAL
F.G.	FINISH GRADE
F.H.C.	FIRE HOSE CABINET
FIN.	FINISH, FINISHED
FLR	FLOOR
FTG	FOOTING
GA.	GAUGE
GALV	GALVANIZED
GYP. BD.	GYPSUM BOARD
HORIZ.	HORIZONTAL
I.C.	INTERCOM
I.D.	INSIDE DIAMETER
INFO.	INFORMATION
S.F.	SQUARE FEET
SHT	SHEET
SIM.	SIMILAR
S.S. ST'S	STAINLESS STEEL
S	STANDARD
STRUC.	STRUCTURAL
T.O.	TOP OF
T.A.	TOP OF ASPHALT PAVING
T.B.	TACK BOARD
T.C.	TOP OF CONC. TO CURB
T.W.	TOP OF WALL
TYP.	TYPICAL
U.N.O.	UNLESS NOTED OTHERWISE
V.C.T.	VINYL COMBINATION TILE
VERT.	VERTICAL
VEST.	VESTIBULE
W/	WITH
W/O	WITHOUT
W.I.	WROUGHT IRON

SHEET INDEX

SHEET NO.	SHEET NAME
A-0.0	TITLE SHEET / SITE PLAN
A-0.1	FOR FENCE PERMIT ONLY
A-0.2	TREE PRESERVATION & REMOVAL PLAN
A-0.3	CONCEPTURAL LANDSCAPING PLAN
A-1.1	FIRST FLOOR PLAN
A-1.2	SECOND FLOOR PLAN
A-1.3	ROOF PLAN
A-2.1	ELEVATIONS
A-3.1	SECTIONS
A-4.1	DOOR AND WINDOW SCHEDULE
SA-1	SLOPE ANALYSIS
T-1	TOPOGRAPHIC MAP

VICINITY MAP



PROJECT INFORMATION

APN: 8527-026-035 / 037 / 038

LOT AREA:

TYPE OF CONSTRUCTION:
OCCUPANCY
FULLY SPRINKLERED BUILDING PER NFPA13D

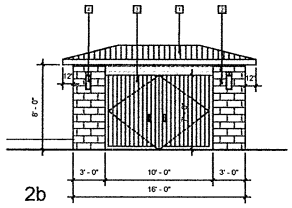
FLOOR AREA:
1ST FLOOR: 3,966 S.F.
2ND FLOOR: 4,034 S.F.
TOTAL: 8,000 S.F.

ENTRY COVERED PORCH : 244 S.F.
REAR COVERED PATIO : 317 S.F.

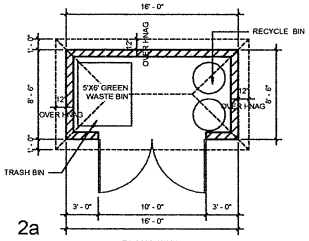
BUILDING CODE: 2019 CALIFORNIA BUILDING CODE
ELECTRICAL CODE: 2019 CALIFORNIA ELECTRIC CODE
MECHANICAL CODE: 2019 CALIFORNIA MECHANICAL CODE
PLUMBING CODE: 2019 CALIFORNIA PLUMBING CODE
ENERGY CODE: 2019 CALIFORNIA ENERGY CODE
GREEN BUILDING CODE: 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE

LEGAL DESCRIPTION:

A PORTION OF LOT 5 IN SECTION 24 AND LOT 1 IN SECTION 25, TOWNSHIP 1 NORTH, RANGE 11 WEST, SAN BERNARDING BASE AND MERIDIAN, OF THE SUBDIVISION OF THE RANCHO AZUSA DE DUARTE, PARTY IN THE CITY OF BARADBURY AND PARTY IN THE CITY OF MONROVIA, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED ON BOOK 6 PAGE 80 TO 82 INCLUSIVE, OF MISCELLANEOUS RECORDS, IN OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, TOGETHER WITH ALL OF LOT 4 AND THOSE PORTIONS OF LOTS 1 AND 2 OF TRACT 43121, AS PER MAP RTECORDED IN BOOK 1069, PAGES 57 AND 58 OF MAPS.

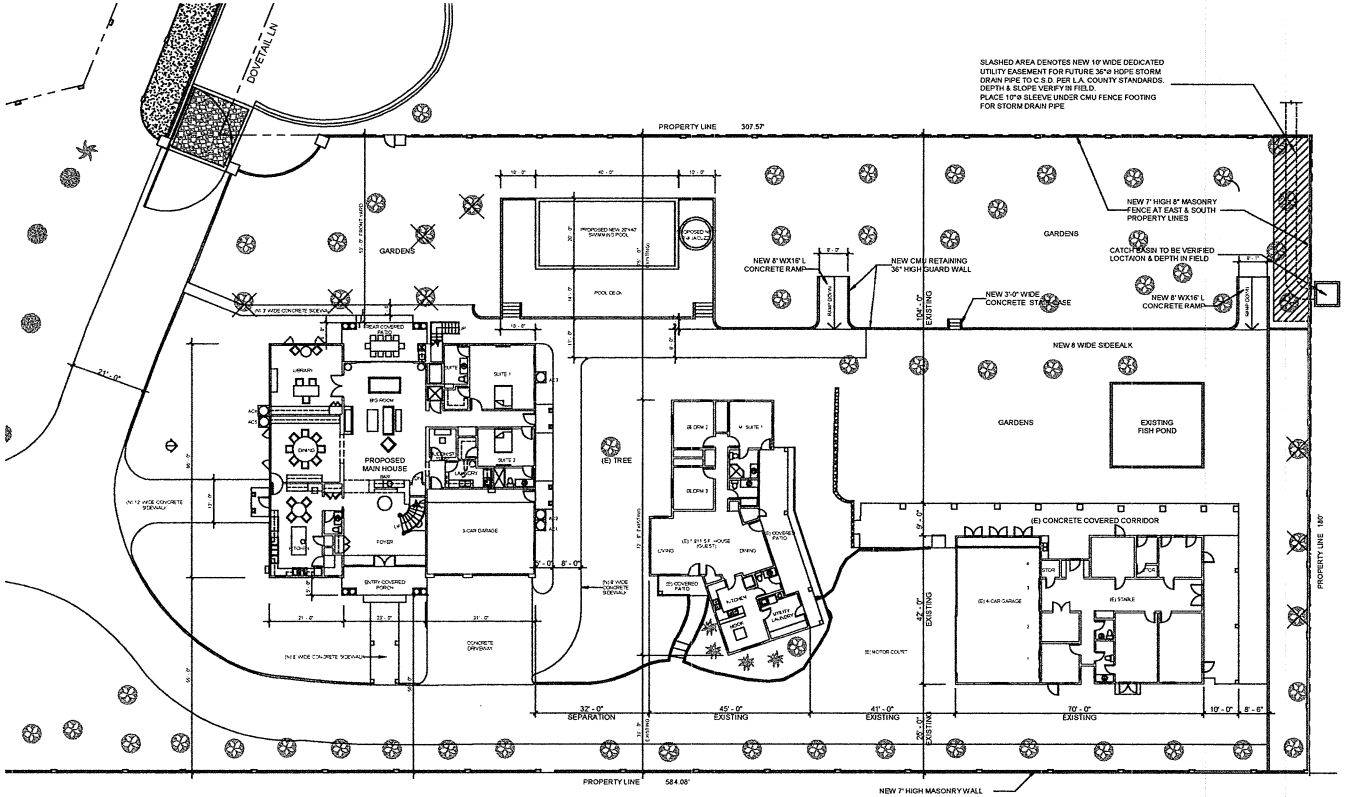


2b FRONT VIEW



2a PLAN VIEW

2 TRASH ENCLOSURE
3/16" = 1'-0"



1 SITE PLAN
1/16" = 1'-0"

TWEN MA
ARCHITECTS

ARCHITECTURE / PLANNING

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IRVINE, CA 92614

TEL. (626)203-8125 (626)358-8125
FAX. (626)358-6842

twenma@yahoo.com
yes4320@gmail.com

REVISIONS

DATE	NO

PROJECT TITLE / ADDRESS

CUSTOM RESIDENCE
28 DOVETAIL LN, BRADBURY, CA 91008

DRAWING TITLE

TITLE SHEET / SITE PLAN

DATE: 3/3/2022

PROJECT NO.
DRAWN BY
CHECKED BY
SCALE As indicated

SHEET NO.

A-0.0

Dovetail Lane
Bradbury, CA 91008

June 8, 2015

City of Bradbury
600 Winston Avenue
Bradbury, CA 91008

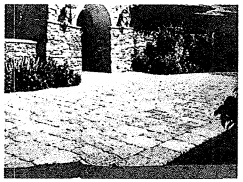
RE: 28 Dovetail Lane

~~At our regularly scheduled meeting of the CSD held June 8, 2015 the board made the following modified conditions:~~

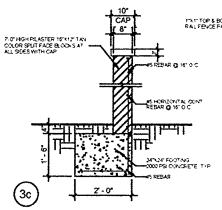
1. Widen Bradbury Road per the City of Bradbury standards placing a new curb and gutter, and paving the street to the appropriate width per the City Engineer
2. Install 10' of synthetic turf between the back edge of curb and the face of the new masonry wall.
3. Construct a 7' tan masonry wall on Bradbury Road 10' off the face of the new curb and gutter
4. Grant an underground storm drain easement to the CSD for a pipe running along the easterly border from its N.E. corner down to the existing catch basin on the property to the west.
5. All utilities shall be placed underground.
6. The interlocking pavers can be installed towards the end of the project. The new 7' wrought iron fence to the west of the gates and up north to the property line shall allow for a minimum of 10' of parkway with Synthetic turf level from the back of the CSD rolled curb to the new W.I. fence.
7. Items 1-7 above must be completed prior to any foundation inspection
8. Install a 7' tan block wall with a poured in place cap on the north property line between your home and the home to the north at 28 Dovetail Lane. Install a minimum 7' masonry block wall on the south property line.

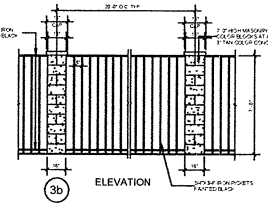
Sincerely,

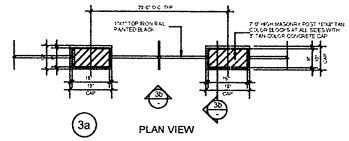
HOA and CSD Boards

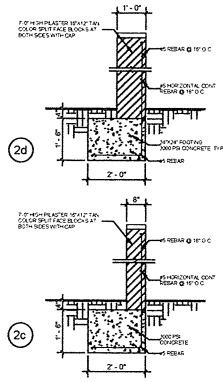


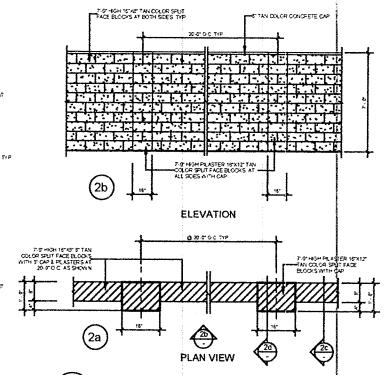
4 PAVER STONE





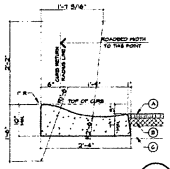






3 MASONRY POST & IRON FENCE
1/2" = 1'-0"

2 MASONRY FENCE WALL
1/2" = 1'-0"

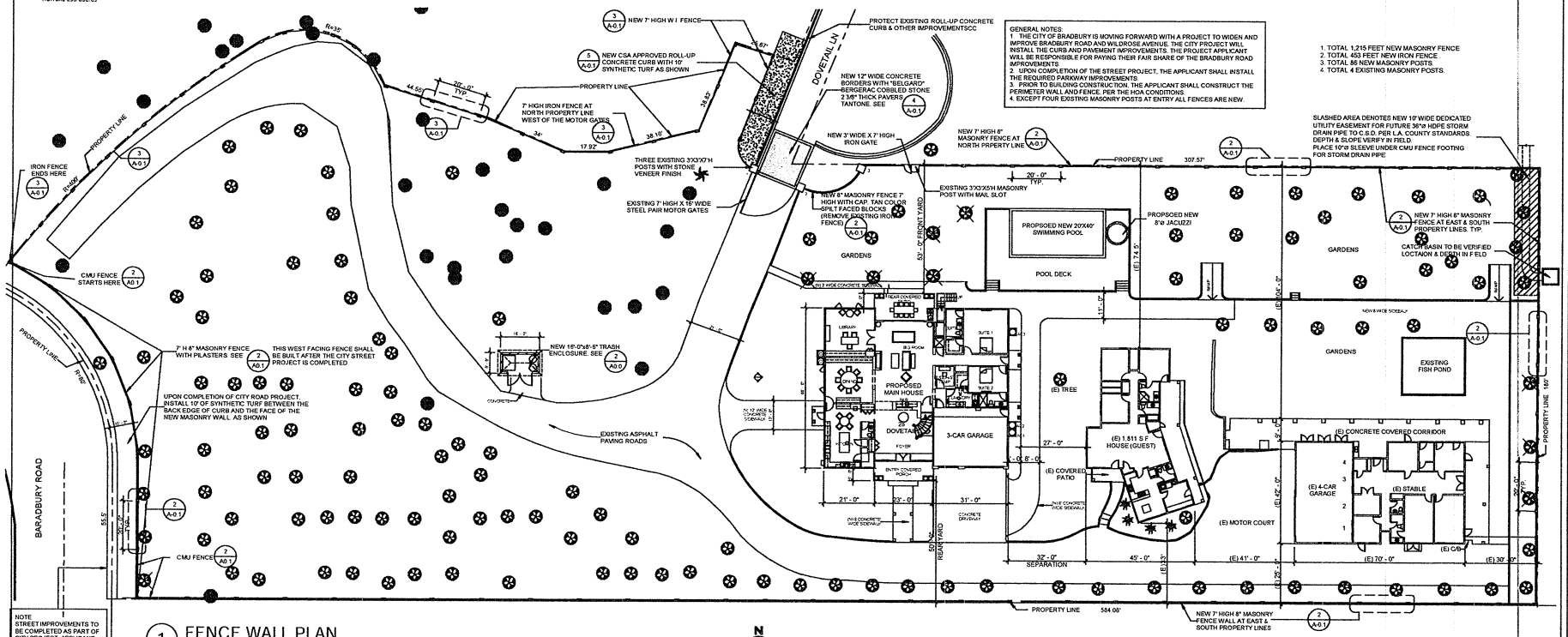


ALL SECONDARY STREETS	
A	12" WORKING SURFACE 8" 1/2" TO 3/4" BASE
B	2.5" ASPHALT BASE COURSE 5" 3/4" TO 1 1/2" BASE
C	4" CURB & 95% COMPACTION

5 ROLL-UP CONCRETE CURB DTAIL
NTS

GENERAL NOTES:
1. THE CITY OF BRADBURY IS MOVING FORWARD WITH A PROJECT TO WIDEN AND IMPROVE BRADBURY ROAD AND WILDROSE AVENUE. THE CITY PROJECT WILL INSTALL THE CURB AND PAVEMENT IMPROVEMENTS. THE PROJECT APPLICANT WILL BE RESPONSIBLE FOR PAYING THEIR FAIR SHARE OF THE BRADBURY ROAD IMPROVEMENTS.
2. UPON COMPLETION OF THE STREET PROJECT, THE APPLICANT SHALL INSTALL THE REQUIRED PARKWAY IMPROVEMENTS.
3. PRIOR TO BUILDING CONSTRUCTION, THE APPLICANT SHALL CONSTRUCT THE PERIMETER WALL AND FENCE, PER THE HOA CONDITIONS.
4. EXCEPT FOUR EXISTING MASONRY POSTS AT ENTRY ALL FENCES ARE NEW.

1. TOTAL 1,215 FEET NEW MASONRY FENCE
2. TOTAL 453 FEET NEW IRON FENCE.
3. TOTAL 86 NEW MASONRY POSTS.
4. TOTAL 4 EXISTING MASONRY POSTS.



NOTE
STREET IMPROVEMENTS TO BE COMPLETED AS PART OF CITY PROJECT. APPLICANT SHALL PAY THEIR FAIR SHARE OF THE PROJECT.

1 FENCE WALL PLAN
1" = 20'-0"

N

NOTE
1. SEE CIVIL TOPO MAP SHEET T-1 FOR EXISTING TREES LAYOUT & PROPERTY LINES.

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17200 RED HILL AVE.,
IRVINE, CA 92614
TEL: (626)203-8125 (626)358-8125
FAX: (626)358-6842
twenma@yahoo.com
yes4302@gmail.com

REVISIONS:

DATE	NO.

PROJECT TITLE / ADDRESS
CUSTOM RESIDENCE
28 DOVETAIL LN, BRADBURY, CA 91008

DRAWING TITLE
FENCE WALL PLAN
FOR FENCE PERMIT ONLY

DATE 3/3/2022
PROJECT NO.
DRAWN BY
CHECKED BY
SCALE As indicated

SHEET NO.
A-0.1

TREE SURVEY

This table lists all Native and Prominent trees at least 15 feet tall with trunk diameters measuring four inches or greater located on the property, as well as all off-site Native trees 15 feet tall with trunk diameters measuring four inches. Off-tile trees are indicated with an "os" next to their tree numbers. Multi-trunked specimens are indicated with an "m" next to the trunk diameter. The health rating for each tree is indicated with the rating scale as follows:
4=excellent 3=good 2=fair 1=poor 0=dead or nearly dead
The planned status of each tree is listed Only Native trees located on site have numbered tags affixed to their trunks Numbers correspond to those printed on the topographic map and site plan included in this report. Additionally, a total of Orchard trees is given. Each Orchard tree is plotted on the topographic map and color coded to its species, with a health rating indicated next to it.

Tree Survey for 28 Dove Tail Ln., Bradbury

Tree Identification and Size

Tree #	Botanical Name	Common Name	Trunk Diameter	Health Rating	Species Category	To Be Preserved
1	Quercus agrifolia	Coast Live Oak	90"	4	Native	Yes
2	Quercus agrifolia	Coast Live Oak	24"	3	Native	Yes
3	Quercus agrifolia	Coast Live Oak	28"	3	Native	Yes
4	Quercus agrifolia	Coast Live Oak	4"	3	Native	Yes
5	Quercus agrifolia	Coast Live Oak	27"m	3	Native	Yes
6	Quercus agrifolia	Coast Live Oak	25"m	3	Native	Yes
7	Quercus agrifolia	Coast Live Oak	20"m	3	Native	Yes
8	Quercus agrifolia	Coast Live Oak	30"	3	Native	Yes
9os	Quercus agrifolia	Coast Live Oak	12"	3	Native	Yes
10os	Quercus agrifolia	Coast Live Oak	14"	3	Native	Yes
11os	Quercus agrifolia	Coast Live Oak	12"	3	Native	Yes

Protected Tree Report Survey, Impact Analysis and Protection Plan
28 Dove Tail Lane Bradbury CA 91008
Michael Crane, RCA #440 May 2021

Tree Survey for 28 Dove Tail Ln., Bradbury

Tree Identification and Size

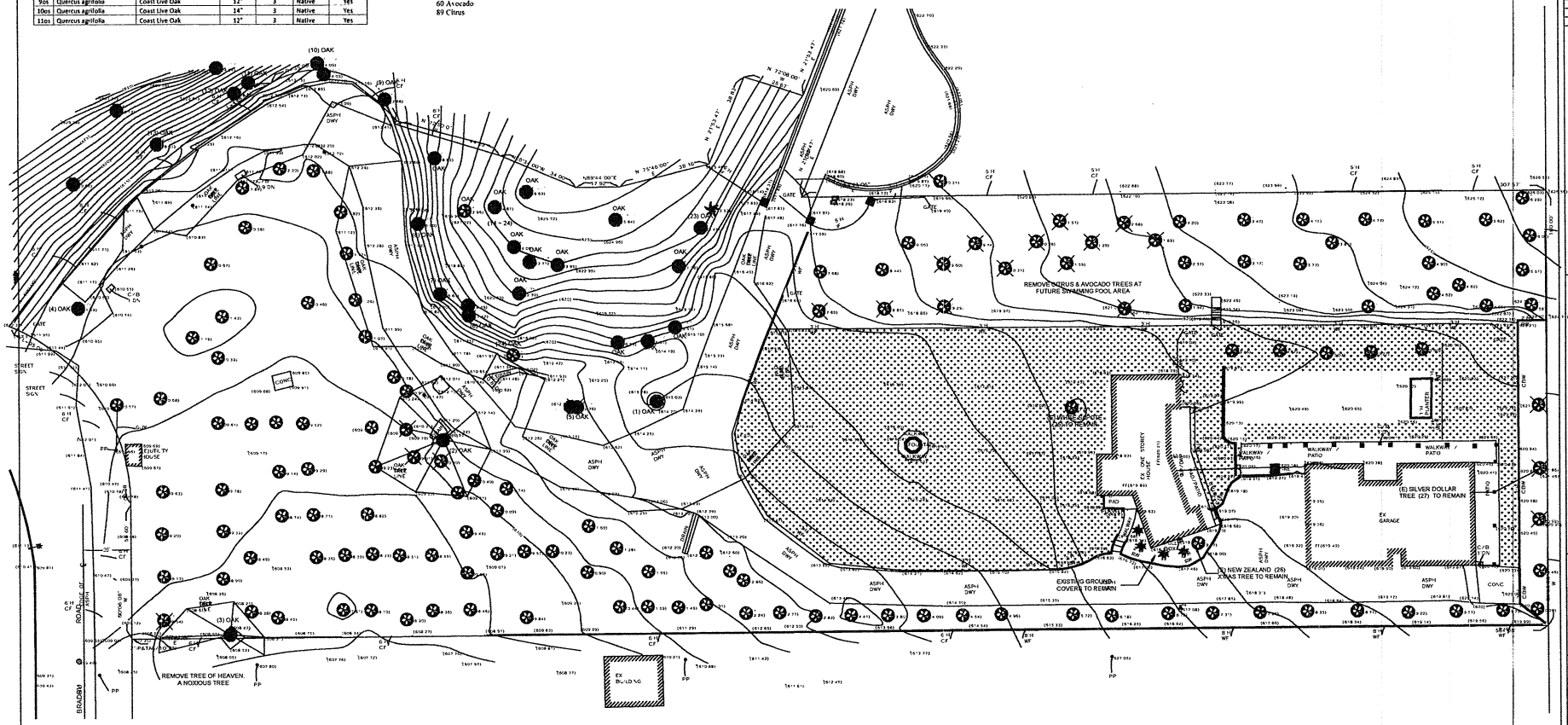
Tree #	Botanical Name	Common Name	Trunk Diameter	Health Rating	Species Category	To Be Preserved
12os	Quercus agrifolia	Coast Live Oak	30"	3	Native	Yes
13os	Quercus agrifolia	Coast Live Oak	32"	3	Native	Yes
14	Quercus agrifolia	Coast Live Oak	35"	3	Native	Yes
15	Quercus agrifolia	Coast Live Oak	20"	3	Native	Yes
16	Quercus agrifolia	Coast Live Oak	4"	2	Native	Yes
17	Quercus agrifolia	Coast Live Oak	6"	2	Native	Yes
18	Quercus engelmanii	Engelmann Oak	8"	2	Native	Yes
19	Quercus engelmanii	Engelmann Oak	12"	3	Native	Yes
20	Quercus engelmanii	Engelmann Oak	10"	3	Native	Yes
21	Quercus engelmanii	Engelmann Oak	12"	2	Native	Yes
22	Quercus engelmanii	Engelmann Oak	16"	2	Native	Yes
23	Washintonia robusta	Mexican Fan Palm	NA	3	Native	Yes
24	Olea europea	Olive	24"m	2	Prominent	Yes
25	Casimiroa edulis	White sapote	12"	3	Prominent	Yes
26	Metrosideros excelsa	New Zealand Christmas tree	15"m	4	Prominent	Yes
27	Eucalyptus cinerea	Silver Dollar Tree	12"	3	Prominent	Yes

Total number of Orchard trees:

60 Avocado
89 Citrus

TREE PRESERVATION & REMOVAL NOTES:

1. ALL EXISTING OAKS, INCLUDING TREE #1 ~22 MATURED OAK, SHALL BE PRESERVED.
2. TREE #23 (MEXICAN FAN PALM), #24 OLIVE, #25 WHITE SAPOTE, #26 NEW ZEALAND X'MAS TREE & #27 SILVA DOLLAR TREE SHALL BE PRESERVED.
3. EXISTING #60 AVOCADO & #89 CITRUS TREE SHALL BE PRESERVED EXCEPT REMOVING THREE CITRUS TREES AROUND OAK TREE (2), AND EIGHT AVOCADO & CITRUS TREES AT FUTURE SWIMMING POOL AREA SHOWN IN " X ".



1 TREE PRESERVATION & REMOVAL PLAN
1" = 20'-0"

TWEN MA
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IRVINE, CA 92614
TEL: (626)203-8125 (626)358-8125
FAX: (626)358-6842
twenma@yahoo.com
yes4302@gmail.com

REVISIONS

DATE	NO.

PROJECT TITLE / ADDRESS
CUSTOM RESIDENCE
28 DOVETAIL LN, BRADBURY, CA 91008

DRAWING TITLE
TREE PRESERVATION & REMOVAL PLAN

DATE: 2/1/2022
PROJECT NO.
DRAWN BY
CHECKED BY
SCALE 1" = 20'-0"

SHEET NO.
A-0.2

TREE SURVEY

This table lists all Native and Prominent trees at least 15 feet tall with trunk diameters measuring four inches or greater located on the property, as well as all off-site Native trees 15 feet tall with trunk diameters measuring four inches. Off-site trees are indicated with an "os" next to their tree numbers. Multi-trunked specimens are indicated with an "m" next to the trunk diameter. The health rating for each tree is indicated with the rating scale as follows:
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Tree Survey for 28 Dove Tail Ln., Bradbury

Tree Identification and Size

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3	Quercus agrifolia	Coast Live Oak	28"	3	Native	Yes
4	Quercus agrifolia	Coast Live Oak	4"	3	Native	Yes
5	Quercus agrifolia	Coast Live Oak	27"m	3	Native	Yes
6	Quercus agrifolia	Coast Live Oak	25"m	3	Native	Yes
7	Quercus agrifolia	Coast Live Oak	20"m	3	Native	Yes
8	Quercus agrifolia	Coast Live Oak	30"	3	Native	Yes
9os	Quercus agrifolia	Coast Live Oak	12"	3	Native	Yes
10os	Quercus agrifolia	Coast Live Oak	14"	3	Native	Yes
11os	Quercus agrifolia	Coast Live Oak	12"	3	Native	Yes

Protected Tree Report Survey, Impact Analysis and Protection Plan
28 Dove Tail Lane Bradbury CA 91008
Michael Crane, RCA #440 May 2021

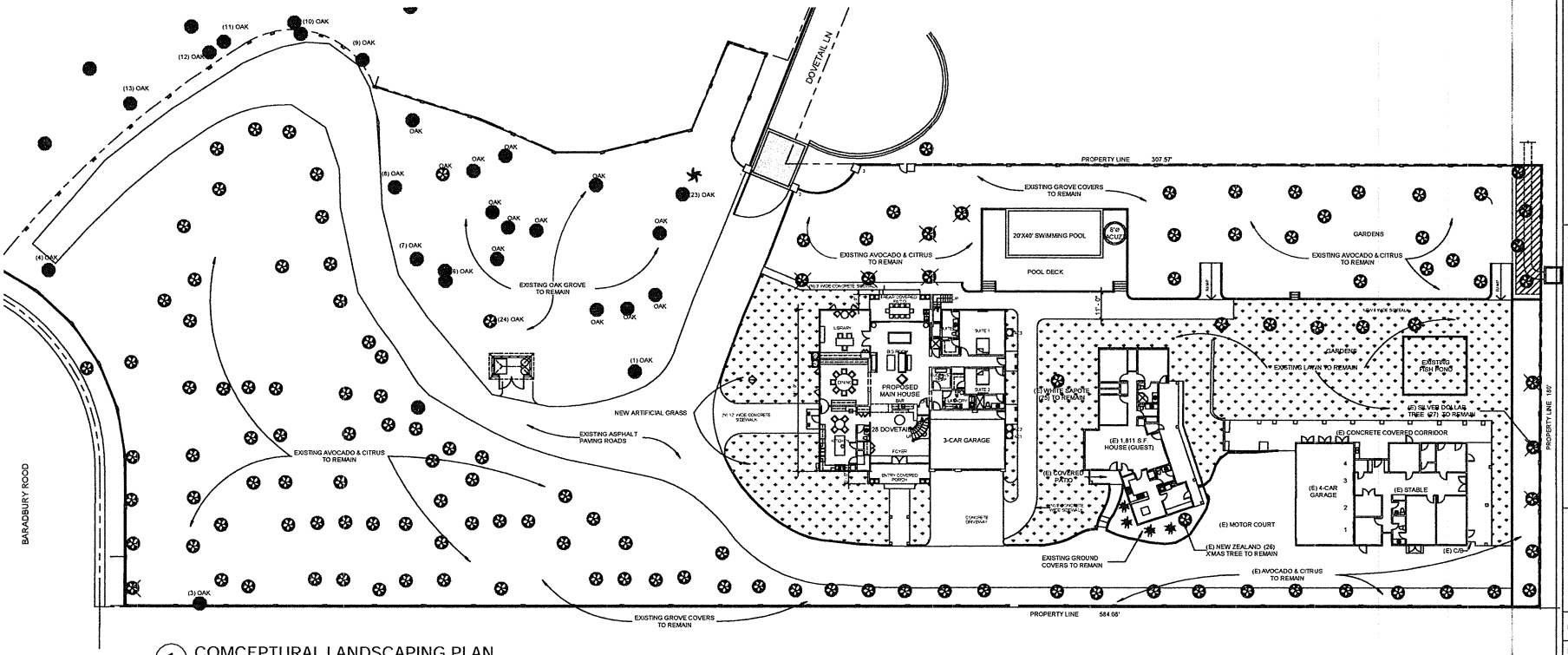
Tree Survey for 28 Dove Tail Ln., Bradbury

Tree Identification and Size

Tree #	Botanical Name	Common Name	Trunk Diameter	Health Rating	Species Category	To Be Preserved
12os	Quercus agrifolia	Coast Live Oak	20"	3	Native	Yes
13os	Quercus agrifolia	Coast Live Oak	32"	3	Native	Yes
14	Quercus agrifolia	Coast Live Oak	15"	3	Native	Yes
15	Quercus agrifolia	Coast Live Oak	20"	3	Native	Yes
16	Quercus agrifolia	Coast Live Oak	4"	2	Native	Yes
17	Quercus agrifolia	Coast Live Oak	6"	2	Native	Yes
18	Quercus engelmanii	Engelmann Oak	8"	2	Native	Yes
19	Quercus engelmanii	Engelmann Oak	12"	3	Native	Yes
20	Quercus engelmanii	Engelmann Oak	10"	3	Native	Yes
21	Quercus engelmanii	Engelmann Oak	12"	2	Native	Yes
22	Quercus engelmanii	Engelmann Oak	16"	2	Native	Yes
23	Washintonia robusta	Mexican Fan Palm	NA	3	Native	Yes
24	Olea europea	Olive	24"m	2	Prominent	Yes
25	Casimiroa edulis	White sapote	12"	3	Prominent	Yes
26	Metrosideros excelsa	New Zealand Christmas Tree	15"m	4	Prominent	Yes
27	Eucalyptus cinerea	Silver Dollar Tree	12"	3	Prominent	Yes

Total number of Orchard trees:

60 Avocado
89 Citrus



1 COMCEPTURAL LANDSCAPING PLAN
1" = 20'-0"

TWEN MA
ARCHITECTS

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yes4302@gmail.com

REVISIONS

DATE	NO

PROJECT TITLE / ADDRESS

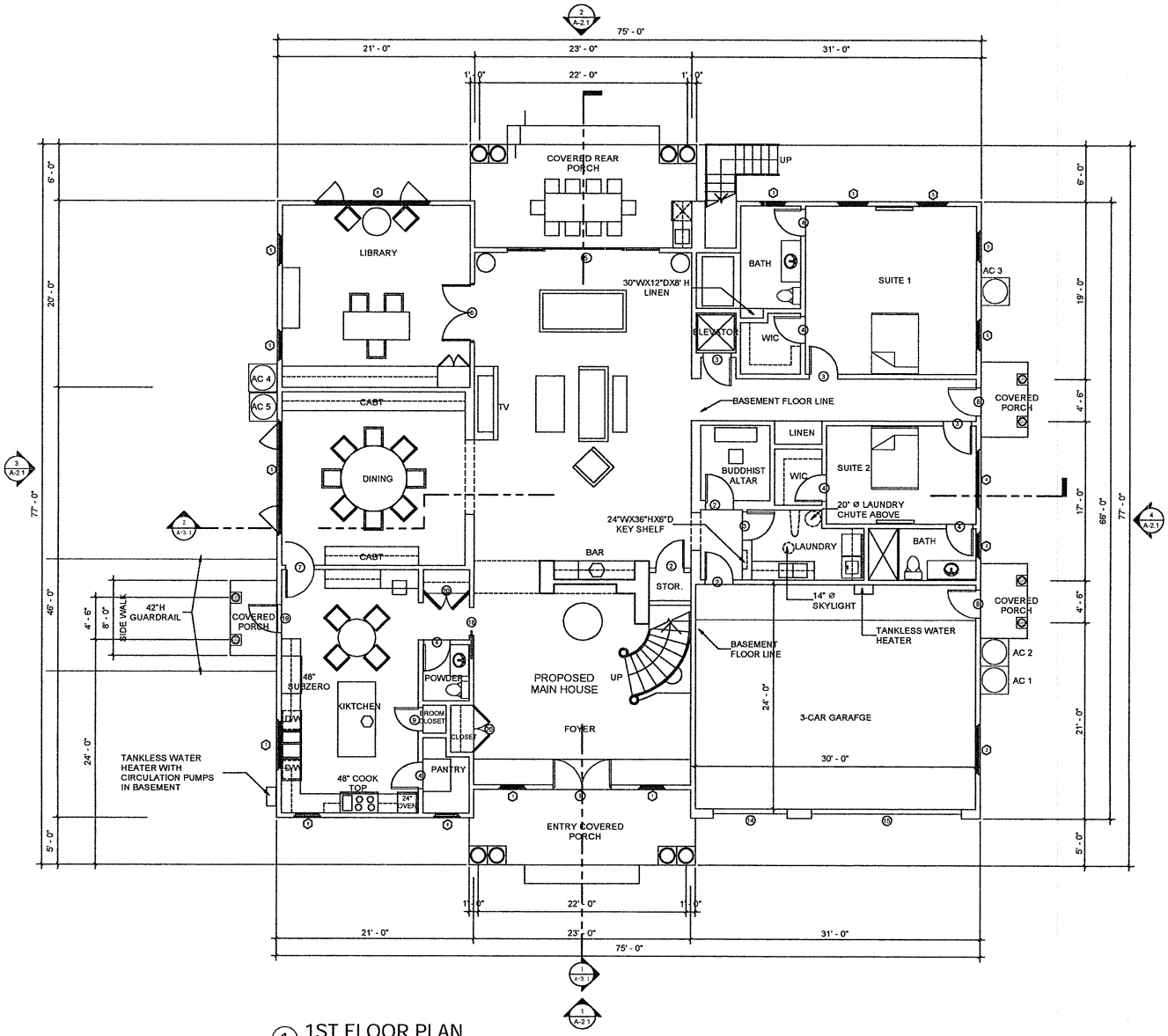
CUSTOM RESIDENCE
28 DOVETAIL LN, BRADBURY, CA 91008

DRAWING TITLE

CONCEPTURAL LANDSCAPING PLAN

DATE 3/3/2022
PROJECT NO
DRAWN BY
CHECKED BY
SCALE 1" = 20'-0"

SHEET NO
A-0.3



1 1ST FLOOR PLAN
3/16" = 1'-0"

3,966 S.F.

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REVISIONS:

DATE	NO.

PROJECT TITLE / ADDRESS

CUSTOM RESIDENCE

28 DOVETAIL LN, BRADBURY, CA 91008

DRAWING TITLE

FIRST FLOOR PLAN

DATE: 3/3/2021

PROJECT NO.

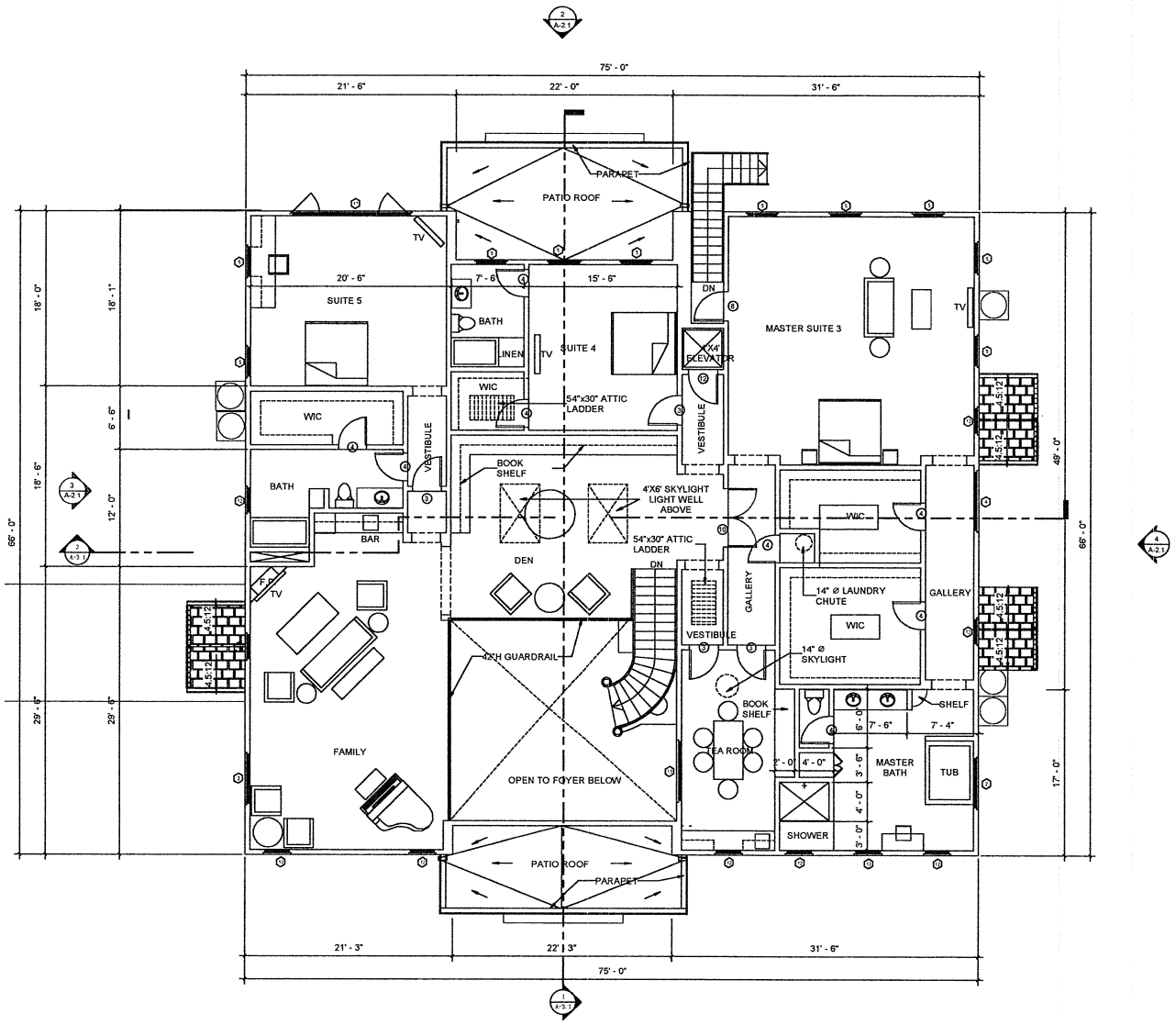
DRAWN BY

CHECKED BY

SCALE 3/16" = 1'-0"

SHEET NO.

A1.1



1 2ND FLOOR PLAN
3/16" = 1'-0"
4,034 S.F.

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yes4302@gmail.com

REVISIONS:

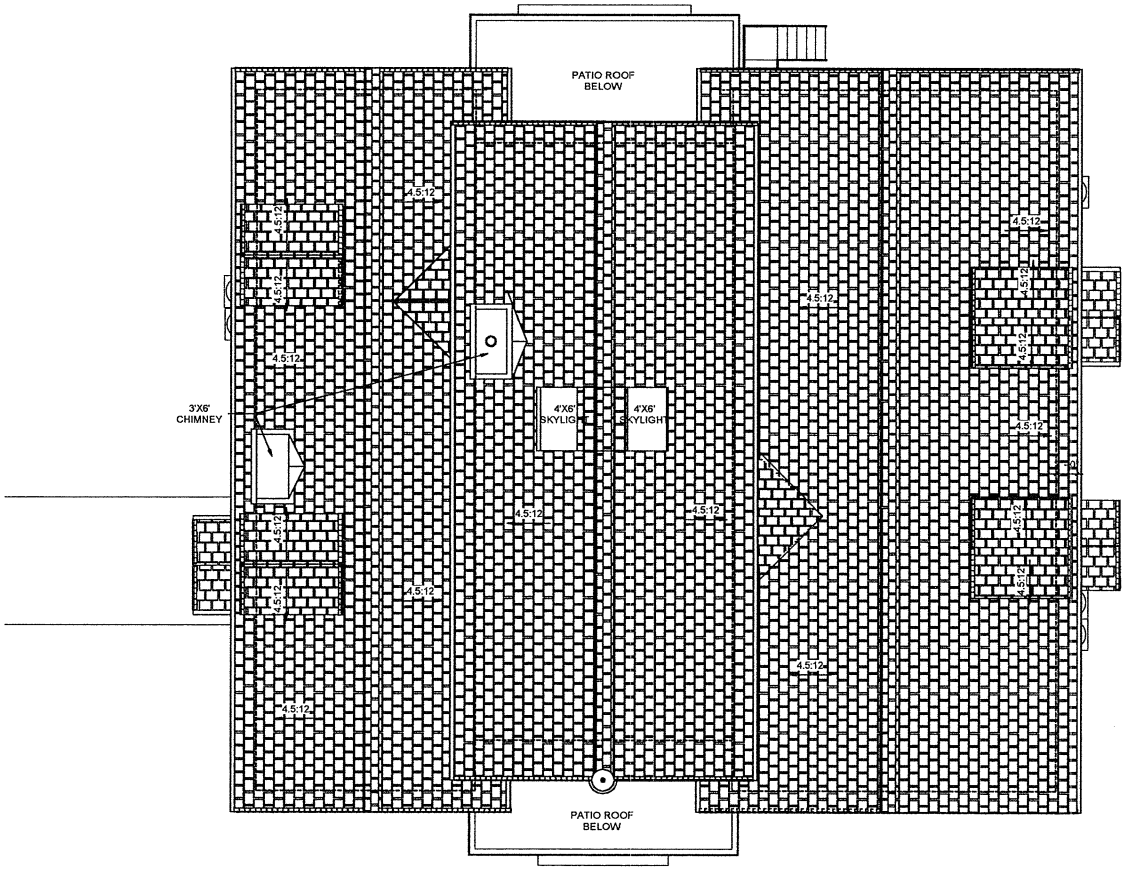
DATE	NO.

PROJECT TITLE / ADDRESS
CUSTOM RESIDENCE
28 DOVETAIL LN, BRADBURY, CA 91008

DRAWING TITLE
SECOND FLOOR PLAN

DATE: 3/3/2021
PROJECT NO.
DRAWN BY
CHECKED BY
SCALE 3/16" = 1'-0"

SHEET NO.
A1.2



1 ROOF PLAN
3/16" = 1'-0"

N

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REVISIONS

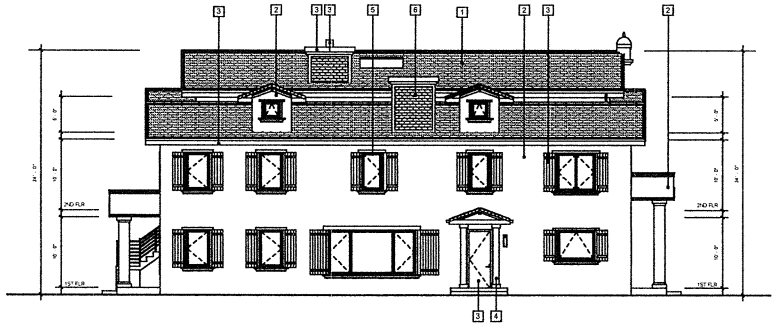
DATE	NO.

PROJECT TITLE / ADDRESS
CUSTOM RESIDENCE
28 DOVETAIL LN, BRADBURY, CA 91008

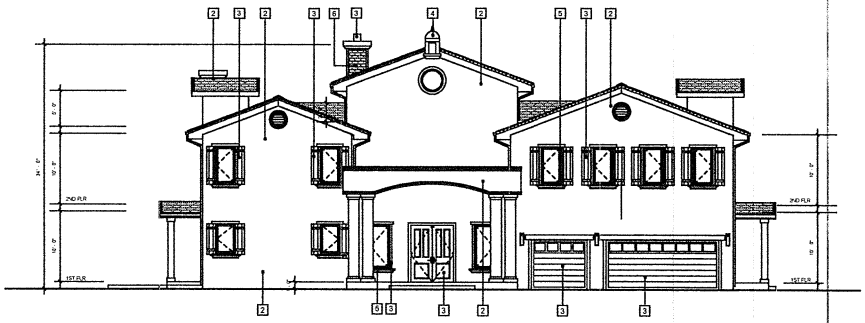
DRAWING TITLE
ROOF PLAN

DATE: 3/3/2021
PROJECT NO
DRAWN BY
CHECKED BY
SCALE 3/16" = 1'-0"

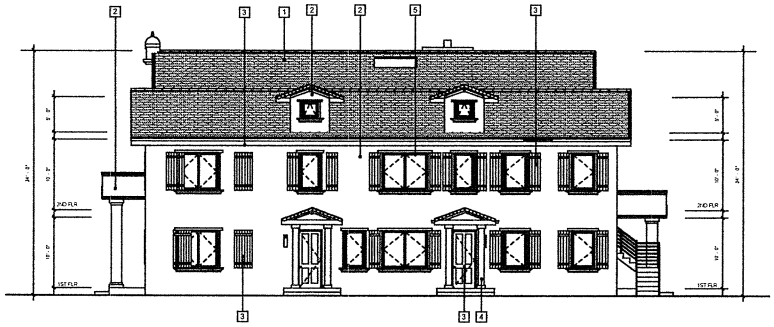
SHEET NO.
A1.3



3 WEST / SIDE ELEVATION
1/8" = 1'-0"



1 SOUTH / FRONT ELEVATION
1/8" = 1'-0"



4 EAST / SIDE ELEVATION
1/8" = 1'-0"

2 NORTH / REAR ELEVATION
1/8" = 1'-0"

1 "BORAL" CONCRETE ROOF TILE
AXONY 700 SHAKE - BUCHSKIN

2 "LAHABRA " SMOOTH SAND FINISH STUCCO
X57 FRENCH VANILLA (BASE 100)

3 PAINT EXTERIOR CEMENT SIDINGS (WITH WOOD GRAIN), FACIA BOARDS, RAIN GUTTERS, DOWNSPOUTS, WINDOW TRIMS, GARAGE DOORS, CHIMNEY CAPS AND SHUTTERS COLOR TO MATCH 2

4 PAINT EXTERIOR DOORS, POSTS, COLUMNS, COVERED PORCH AND PATIO WALLS "DUNN EDWARDS" DEW34 SWISS COFFEE

5 "PELLA" WHITE ALUMINUM WINDOWS AND SLIDING DOORS

6 USED RED BRICKS CHIMNEY

7 PAINT EXTERIOR IRON RAILINGS BLACK COLOR

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twenma@yahoo.com
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REVISIONS:

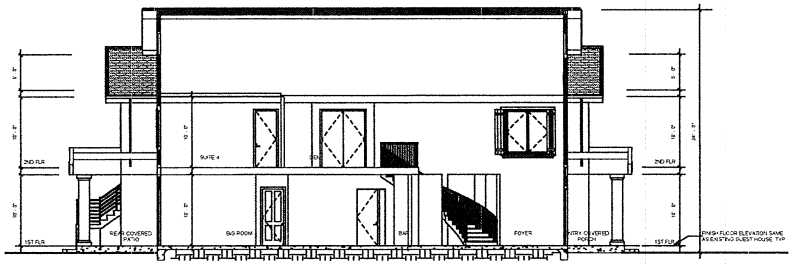
DATE	NO.

PROJECT TITLE / ADDRESS:
CUSTOM RESIDENCE
28 DOVETAIL LN, BRADBURY, CA 91008

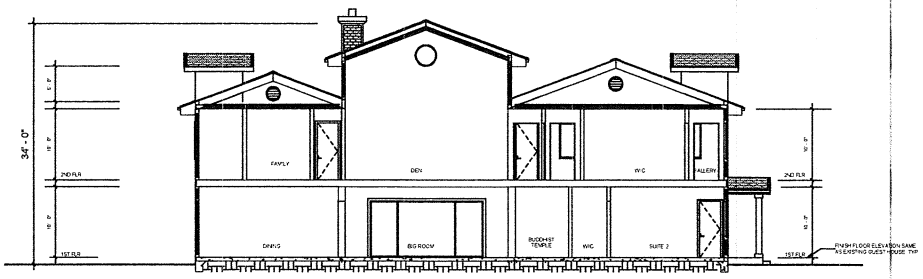
DRAWING TITLE
ELEVATIONS

DATE: 3/3/2021
PROJECT NO
DRAWN BY
CHECKED BY
SCALE 1/8" = 1'-0"

SHEET NO
A-2.1



1 SECTION 1
1/8" = 1'-0"



2 SECTION 2
1/8" = 1'-0"

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yes4300@gmail.com

REVISIONS:

DATE	NO

PROJECT TITLE / ADDRESS
CUSTOM RESIDENCE
28 DOVETAIL LN, BRADBURY, CA 91008

DRAWING TITLE
SECTIONS

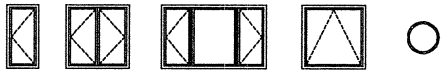
DATE: 3/3/2021
PROJECT NO.
DRAWN BY
CHECKED BY
SCALE 1/8" = 1'-0"

SHEET NO.
A-3.1

WINDOW SCHEDULE								
WINDOW NO	TYPE NO	WIDTH	HEIGHT	OPERATION	WINDOW MATERIAL	GLAZING	SCREEN	REMARKS
1	A	2' - 6"	6' - 0"	CASEMENT	ALUM. CLADING BY "PELLA"	CLEAR DUAL	YES	
2	B	5' - 0"	5' - 0"	PAIR CASEMENT	ALUM. CLADING BY "PELLA"	CLEAR DUAL	YES	
3	A	2' - 6"	5' - 0"	CASEMENT	ALUM. CLADING BY "PELLA"	CLEAR DUAL	YES	
4	B	6' - 0"	5' - 0"	PAIR CASEMENT	ALUM. CLADING BY "PELLA"	CLEAR DUAL	YES	
5	A	3' - 0"	5' - 0"		ALUM. CLADING BY "PELLA"	CLEAR DUAL	YES	
6	C	12' - 0"	6' - 0"	PAIR CASEMENT	ALUM. CLADING BY "PELLA"	CLEAR DUAL	YES	
7	D	5' - 0"	4' - 0"	AWNING	ALUM. CLADING BY "PELLA"	CLEAR DUAL	YES	
8	A	2' - 6"	4' - 0"	CASEMENT	ALUM. CLADING BY "PELLA"	CLEAR DUAL	YES	
10	E	3' - 0"		FIXED	ALUM. CLADING BY "PELLA"	CLEAR DUAL	NO	3'-0" Ø
11	C	12' - 0"	5' - 0"	PAIR CASEMENT	ALUM. CLADING BY "PELLA"	CLEAR DUAL	YES	
12	A	2' - 6"	5' - 0"	CASEMENT	ALUM. CLADING BY "PELLA"	TEMP. CLEAR	YES	TEMP. GLASS
13	B	6' - 0"	6' - 0"	PAIR CASEMENT	ALUM. CLADING BY "PELLA"	CLEAR DUAL	NO	

WINDOW TYPE:

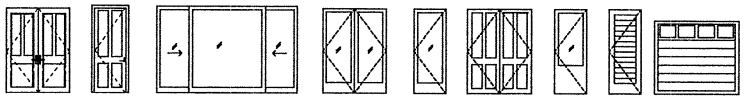
U-FACTOR: 0.32 ; SHGC: 0.25



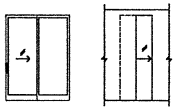
A B C D E

DOOR SCHEDULE							
DOOR NO.	TYPE NO.	WIDTH	HEIGHT	MATERIAL	GLAZE	LOCK	REMARKS
1	A	6' - 0"	8' - 0"	WOOD	NONE	YES	PAIR FRNCH ENTRY DOORS
2	B	3' - 0"	8' - 0"	S.C.	NONE	YES	ONE HR. SELF-CLOSER
3	B	3' - 0"	8' - 0"	H.C.	NONE	YES	
4	B	2' - 10"	8' - 0"	H.C.	NONE	PRIVACY	
5	C	16' - 0"	8' - 0"	ALUM. CLADING BY "PELLA"	CLEAR TEMP.	YES	SLIDERS
6	D	6' - 0"	8' - 0"	WOOD	CLEAR TEMP.	YES	PAIR FRENCH
7	E	3' - 0"	8' - 0"	WOOD	CLEAR TEMP.	NONE	FRNCH DOOR FLOOR PIVOT HINGE
8	B	3' - 0"	8' - 0"	METAL CLADDING	NONE	YES	EXTERIOR DOOR
9	B	2' - 6"	6' - 8"	H.C.	NONE	NONE	
10	F	6' - 0"	8' - 0"	H.C.	NONE	YES	PAIR DOOR
12	E	3' - 0"	8' - 0"	WOOD	CLEAR TEMP.	NONE	FRENCH ELEVATOR DOOR
14	H	8' - 0"	7' - 0"	STEEL	CLEAR TEMP.	LATCH	GARAGE DOOR
15	I	16' - 0"	7' - 0"	STEEL	CLEAR TEMP.	LATCH	GARAGE DOOR
18	K	3' - 0"	8' - 0"	ALUM. CLADING BY "PELLA"	CLEAR TEMP.	NONE	POCKET GLASS DOOR
19	E	3' - 0"	8' - 0"	WOOD	NONE	NONE	SCREEN DOOR
20	D	5' - 0"	8' - 0"	WOOD	FRONST TEMP.	NONE	PAIR FRENCH DOOR

DOOR TYPE:



A B C D E F G H I



J K

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yee4300@gmail.com

REVISIONS:

DATE	NO.

PROJECT TITLE / ADDRESS

CUSTOM RESIDENCE

28 DOVETAIL LN, BRADBURY, CA 91008

DRAWING TITLE

DOOR & WINDOW SCHEDULE

DATE: 3/3/2021

PROJECT NO.

DRAWN BY

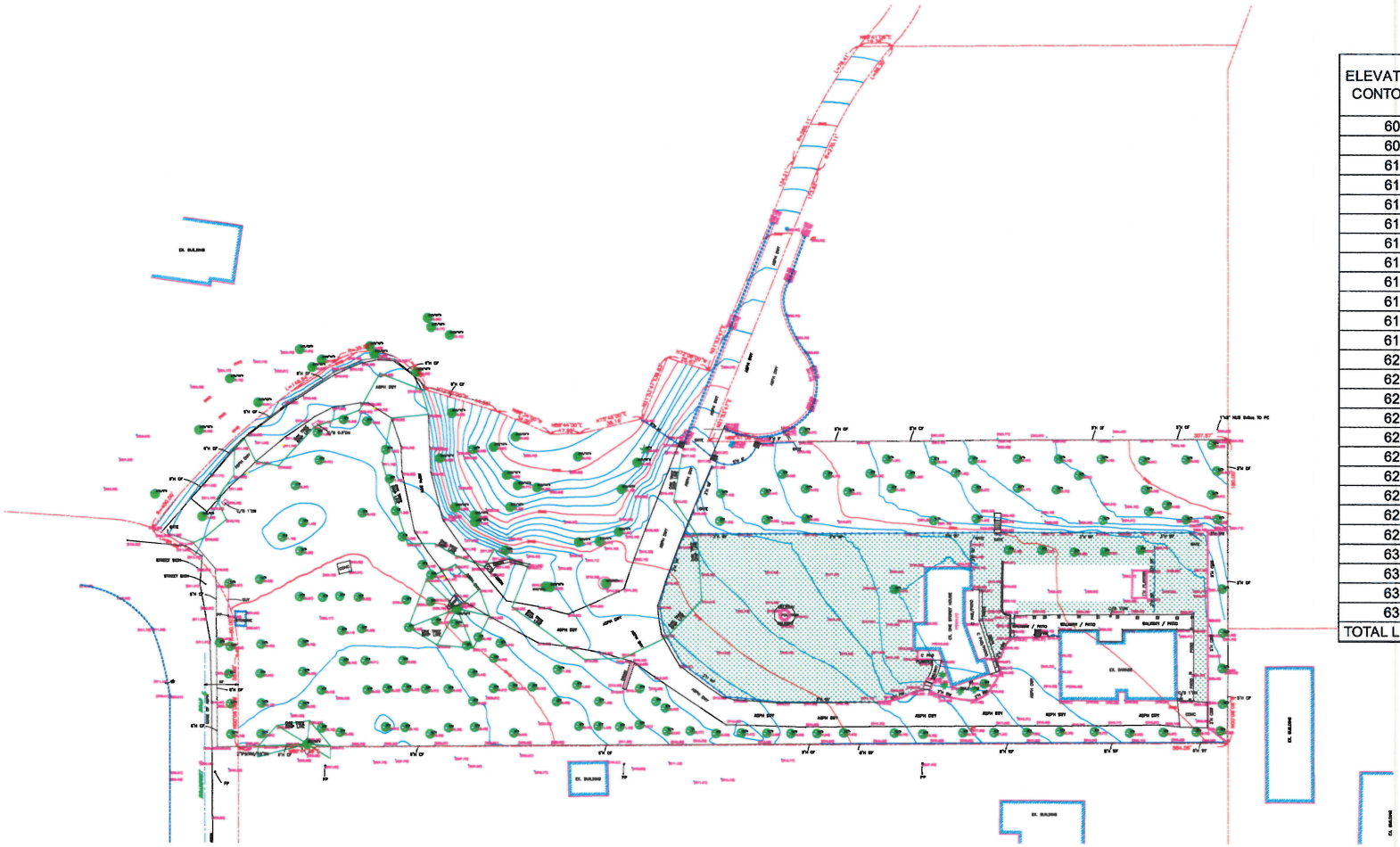
CHECKED BY

SCALE 3/16" = 1'-0"

SHEET NO.

A-4.1

SLOPE DENSITY ANALYSIS



ELEVATION OF CONTOUR (ft)	LENGTH OF CONTOUR (ft)
608	57.63
609	213.93
610	261.57
611	462.06
612	507.15
613	538.20
614	522.32
615	419.86
616	436.19
617	507.56
618	577.16
619	655.30
620	596.66
621	564.23
622	492.56
623	434.49
624	343.94
625	261.90
626	124.12
627	15.94
628	15.91
629	16.10
630	16.36
631	16.59
632	16.75
633	16.77
TOTAL LENGTH	8091.23

SURVEYOR'S NOTES:

1. ALL INFORMATION SHOWN ON THE DRAWINGS IS GIVEN AS THE BEST PRESENT KNOWLEDGE AND PERFORMED WITHIN GENERALLY ACCEPTED ENGINEERING PRACTICE BUT WITHOUT GUARANTEE OF ACCURACY. WHERE ACTUAL CONDITIONS CONFLICT WITH THE DRAWINGS, THEY SHALL BE REPORTED TO THE ENGINEER SO THAT THE PROPER REVISIONS MAY BE MADE.
2. ESTABLISHMENT OF CONTOUR: CONTOURING IS THE GRAPHICAL REPRESENTATION OF CONSTANT ELEVATION LINES THAT ARE INTERPOLATED OR EXTRAPOLATED BETWEEN ACTUAL FIELD MEASURED ELEVATIONS OR MAP ELEVATIONS, AND SHOULD NOT BE INTERPRETED AS PRECISE GROUND CONDITIONS, ONLY AN INFINITE NUMBER OF FIELD MEASUREMENTS WOULD REPRESENT SUCH PRECISE CONDITIONS, WHICH OBVIOUSLY ARE NOT POSSIBLE. THE NUMBER OF SUCH FIELD MEASUREMENTS ARE THEREFORE LIMITED TO THE SCOPE AND INTENT OF THE RESULTING MAP.
3. THE BEARINGS/DIMENSIONS OF THE MAP IS PREPARED BASED ON THE RECORD DATA.
4. THE SURVEY IS PREPARED FOR ARCHITECTURAL/LANDSCAPING PURPOSE.

LEGAL DESCRIPTION:

A PORTION OF LOT 5 IN SECTION 24 AND LOT 1 IN SECTION 25, TOWNSHIP 1 NORTH, RANGE 11 WEST, SAN BERNARDINO BASE AND MERIDIAN, OF THE SUBDIVISION OF THE RANCHO AZUSA DE DUARTE, PARTY IN THE CITY OF BARADBURY AND PARTY IN THE CITY OF MONROVIA, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED ON BOOK 6 PAGE 80 TO 82 INCLUSIVE, OF MISCELLANEOUS RECORDS, IN OFFICE OF THE COUNTY RECORDER OF SAID COUNTY, TOGETHER WITH ALL OF LOT 4 AND THOSE PORTIONS OF LOTS 1 AND 2 OF TRACT 43121, AS PER MAP RTECORDED IN BOOK 1069, PAGES 57 AND 58 OF MAPS.

APN: 8527-026-037 & 038

BENCHMARK:

FD 2"IP&TAG/3"DN AT CENTERLINE INTERSECTION OF DEODAR LN AND PALM HILL LN.

ELEVATION: 658.54'

ALLOWABLE AREA (A): 1118938.95 SF (2.730 ACRE)
CONTOUR INTERVAL (I): 1 FOOT
SUMMATION OF LENGTH OF ALL CONTOURS (L): 8091.23 FEET

AVERAGE SLOPE: (0.00229 X I X L) / A
(0.00229 X 1 X 8091.23) / 2.730
= 6.79%

PROFESSIONAL LAND SURVEYOR JACK C. LEE NO. 8407 STATE OF CALIFORNIA

N

0 30 60
1"=30'

CALLAND ENGINEERING, INC.
dba QUARTECH CONSULTANTS
576 E. LAMBERT ROAD, BREA, CA 92821
TEL: (714) 671-1050 FAX: (714) 671-1090

RELEASED

REVISIONS

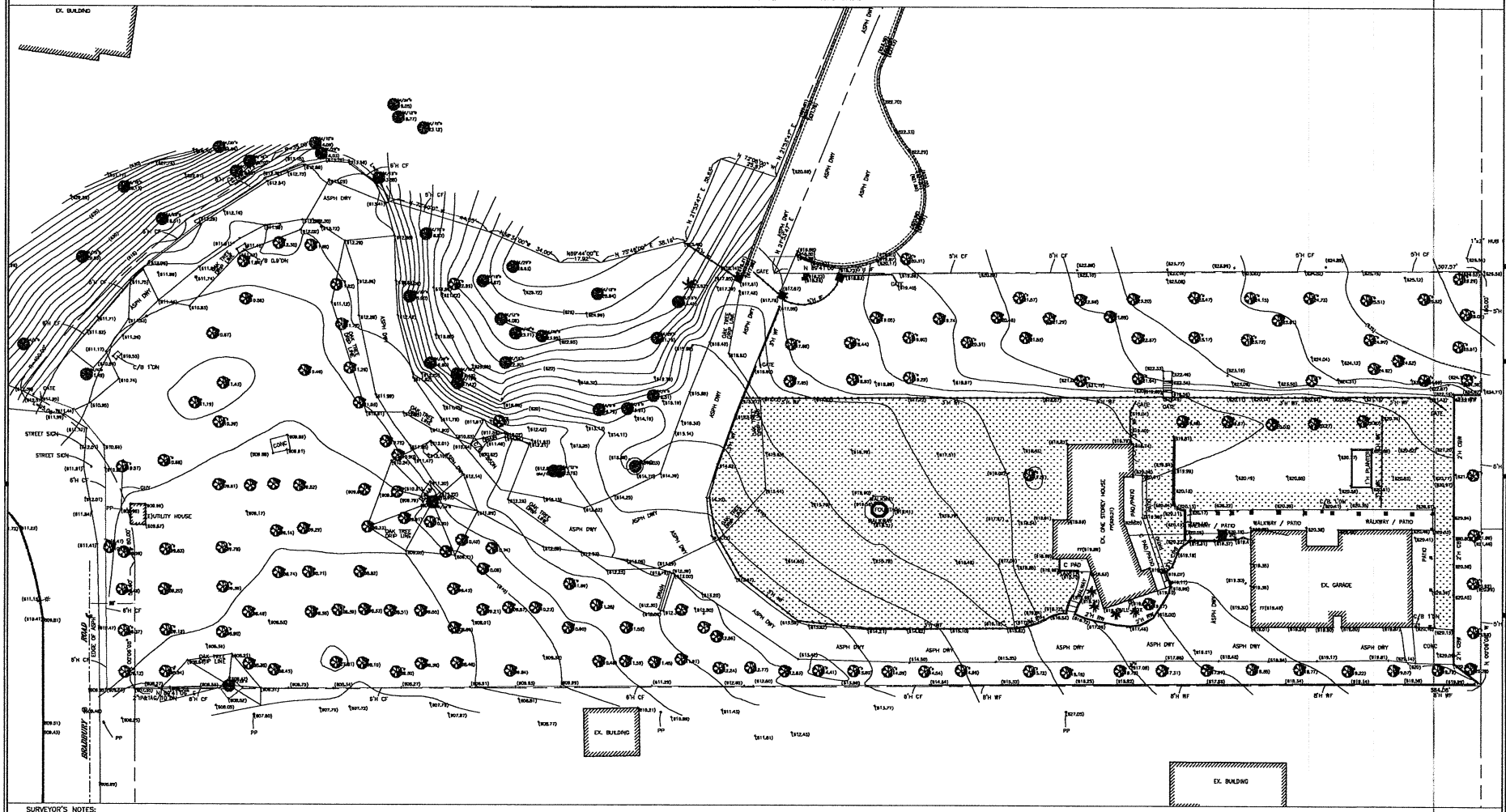
PROJECT LOCATION:
28 DOVETAIL LN
BRADBURY, CA 91008

DRAWN: JY
CHECKED:
DATE: 03-14-2015
JOB NO.: 15-023-030
SCALE: 1"=30'
FILE NAME: Slope 28 Dovetail Bradbury

S-1

SHEET 1 OF 1 SHT.

TOPOGRAPHIC MAP



SURVEYOR'S NOTES:

1. ALL INFORMATION SHOWN ON THE DRAWINGS IS GIVEN AS THE BEST PRESENT KNOWLEDGE AND PERFORMED WITHIN GENERALLY ACCEPTED ENGINEERING PRACTICE BUT WITHOUT GUARANTEE OF ACCURACY. WHERE ACTUAL CONDITIONS CONFLICT WITH THE DRAWINGS, THEY SHALL BE REPORTED TO THE ENGINEER SO THAT THE PROPER REVISIONS MAY BE MADE.

2. ESTABLISHMENT OF CONTOUR: CONTOURING IS THE GRAPHICAL REPRESENTATION OF CONSTANT ELEVATION LINES THAT ARE INTERPOLATED OR EXTRAPOLATED BETWEEN ACTUAL FIELD MEASURED ELEVATIONS OR MAP ELEVATIONS, AND SHOULD NOT BE INTERPRETED AS PRECISE GROUND CONDITIONS. ONLY AN INFINITE NUMBER OF FIELD MEASUREMENTS WOULD REPRESENT SUCH PRECISE CONDITIONS, WHICH OBVIOUSLY ARE NOT POSSIBLE. THE NUMBER OF SUCH FIELD MEASUREMENTS ARE THEREFORE LIMITED TO THE SCOPE AND INTENT OF THE RESULTING MAP.

3. THE BOUNDARY SHOWN HEREON HAS BEEN ESTABLISHED BASED ON THE RECORD DATA.

4. THE EXISTING COUNTOUR LINES BEYOND THE PROPERTY ARE INTERPRETED PER COUNTY REGIONAL TOPOGRAPHIC MAP.

LEGAL DESCRIPTION:

A PORTION OF LOT 5 IN SECTION 24 AND LOT 1 IN SECTION 25, TOWNSHIP 1 NORTH, RANGE 11 WEST, SAN BERNARDINO BASE AND MERIDIAN, OF THE SUBDIVISION OF THE RANCHO AZUSA DE DUARTE, PARTY IN THE CITY OF BARADBURY AND PARTY IN THE CITY OF MONROVIA, COUNTY OF LOS ANGELES, STATE OF CALIFORNIA, AS PER MAP RECORDED ON BOOK 6 PAGE 80 TO 82 INCLUSIVE, OF MISCELLANEOUS RECORDS, IN OFFICE OF THE COUNTY RECORDER OF SAID COUNTY. TOGETHER WITH ALL OF LOT 4 AND THOSE PORTIONS OF LOTS 1 AND 2 OF TRACT 43121, AS PER MAP RECORDED IN BOOK 1069, PAGES 57 AND 58 OF MAPS.

APN: 8527-026-035 / 037 / 038

BENCHMARK:

FD 2"P&TAG/3"DN AT CENTERLINE INTERSECTION OF DEODAR LN AND PALM HILL LN.

ELEVATION: 658.54'

ABBREVIATIONS/LEGEND:

CBW	:	CONC. BLOCK WALL	P/L	:	PROPERTY LINE	E	:	EDISION PULL BOX
C&G	:	CURB AND GUTTER	PP	:	POWER POLE	S	:	STREET LIGHT BOX
D/A	:	DRIVEWAY APPROACH	S/D	:	STORM DRAIN	T	:	TRAFFIC SIGNAL BOX
DWY	:	DRIVEWAY	S/W	:	SIDEWALK	(532.00)	:	EXISTING ELEV.
EX	:	EXISTING	TC	:	TOP OF CURB	--(532)--	:	EXISTING CONTOUR LINE
FF	:	FINISH FLOOR	WF	:	WOODEN FENCE	-W--W--	:	WATER LINE
FL	:	FLOW LINE	W/M	:	WATER METER		:	STREET LIGHT
FS	:	FINISHED SURFACE	D	:	STORM DRAIN MANHOLE		:	WF / WOOD FENCE
GM	:	GAS METER	S	:	SEWER MANHOLE		:	CF / CHAIN LINK FENCE
HP	:	HIGH POINT	V	:	WATER VALVE		:	EXISTING TREE
				:	FIRE HYDRANT			

N

0 20 40

1"=20'

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dba QUARTECH CONSULTANTS
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TEL: (714) 671-1050 FAX: (714) 671-1090

RELEASED

REVISIONS

PROJECT LOCATION:
28 DOVETAIL LN
BRADBURY, CA 91008

DRAWN: JW
CHECKED:
DATE: 03-14-2015
JOB NO.: 15-023-030
SCALE: 1"=20'
FILE NAME: Topo_28 Dovetail Bradbury

T-1

SHEET 1 OF 1 SHT.

Robert Jones, Chairperson (District 4)
Chelsea Hunt, Vice Chairperson (District 5)
Frank Hernandez, Commission Member (District 1)
Darlene Kuba, Commission Member (District 3)
Bill Novodor, Commission Member (District 2)

City of Bradbury
Planning Commission
Agenda Report

TO: **Honorable Chairperson and Commission Members**

FROM: **Jim Kasama, City Planner**

DATE: **April 27, 2022**

SUBJECT: **158 SAWPIT LANE – PLANNING COMMISSION RESOLUTION NO. PC 22-302**

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF BRADBURY, CALIFORNIA, SETTING FORTH THE FINDINGS OF FACT AND DECISION WITH A CATEGORICAL EXEMPTION UNDER THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) TO CONDITIONALLY APPROVE ARCHITECTURAL REVIEW NO. AR 22-003 FOR 10,325 SQUARE FEET OF TWO-STORY AND BASEMENT ADDITIONS AT 158 SAWPIT LANE

AGENDA ITEM NO. 8.B.

INTRODUCTION

Mr. James V. Coane, Architect submitted plans for approximately 10,325 square feet of two-story and basement additions to the single-family residence at 158 Sawpit Lane. The subject property is zoned A-5 and is subject to the City's Hillside Development Standards. As part of the Bradbury Estates, the proposed project was reviewed and approved by the Homeowner Association and Community Services District.

BACKGROUND

The subject property is an irregular shaped lot with an existing two-level residence on a graded building area at the rear or northerly portion of the lot. The residence is accessed by a paved driveway from Sawpit Lane that runs along the southwest side of the property. Per the Los Angeles County Assessor's data, the property has an area of approximately 6.43 acres with a single-family residence of 4,769 square feet that was built in 1979. Attached are the Assessor Map and Aerial Photos.

PROJECT DESCRIPTION

The proposed project is a remodel of the residence and the addition of 509 square feet to the first floor; add a 6,624 square-foot second floor; and add 3,192 square feet to the basement level. Minimal grading is anticipated, and excavation for the basement and additions will be balanced on-site, and in conformance with the City's guidelines and Hillside Development Standards. No landscaping work or tree removals are expected.

ANALYSIS

Planning and Zoning

The property is zoned A-5 and subject to the Hillside Development Standards. The proposed project is allowed with Architectural Review, Neighborhood Compatibility, Ridgeline Preservation approvals, and compliance with the Hillside Development Standards. The following is a summary of the site characteristics:

Address	158 Sawpit Lane
Assessor Parcel Number	8527-002-021
Zone	A-5 – Agriculture Residential Estate
General Plan Designation	Agricultural Estate Residential – Five Acres
Lot Area	6.43 Acres – 280,091 Square Feet
Average Slope	Less than 35 Percent
Lot Width	Average is Approximately 360 Feet
Lot Depth	Approximately 750 Feet
Existing Paved Area	Approximately 63,500 Square Feet – 23% of Lot

The proposed remodel and additions are to be comprised of the following:

1st Floor: Add 509 sq. ft. for a new living room. The existing living room, family room, kitchen and wok kitchen, study and 4 bedrooms will be remodeled.

2nd Floor: 5,664 sq. ft. for 4 bedrooms, 2 master suites, a lounge, and laundry room.

Basement: Add 3,192 sq. ft. for a home theater, powder room, lounge and kitchenette, home gym with exercise area, sauna, steam room, massage room, and 2 bathrooms. The existing 3-car garage will be remodeled for part of the home gym and for storage space.

The following table indicates that the proposed project meets the development standards for a hillside lot in the A-5 zone where the proposed additions are within the bounds of an existing graded building area. As shown in the table, the 100-foot setback requirements of the Hillside Development Standards are significantly greater than the requirements of the underlying A-5 zoning, but per Section 9.97.020.(d) of the Hillside Development Standards, the setback requirements for a single-lot project being developed within a

previously graded portion of a lot can be modified so that the setbacks of the underlying zone are the required setbacks. The project encroaches into the 100-foot setbacks to the east side and rear/north. The proposed project qualifies for the setback modifications and meets the requirements of the A-5 zoning.

Development Feature	A-5 Zone Requirement	Hillside Standard	Proposed Project	Meets Requirement?
Lot Area	5 acres	n.a.	6.43 acres	Yes
Lot Width	250 feet	n.a.	Approx. 300 feet	Yes
Front Setback	50 feet	100 feet	Approx. 350 feet	Yes
East Side Setback	25 feet	100 feet	87 feet	Yes
West Side Setback	25 feet	100 feet	109 feet	Yes
Rear Setback	25 feet	100 feet	59 feet	Yes
Dwelling Size	2,500 sq. ft.	n.a.	15,094 sq. ft.	Yes
Height	28 feet	n.a.	28 feet	Yes
Parking	6 garage spaces	+2 uncovered	8 spaces	Yes
Open Space	n.a.	60% of lot	76% of lot	Yes

The existing building area is situated to allow for privacy and to not affect any views. The proposed design provides side setbacks of over 50 feet and the residence is toward the rear of the lot near the base of a hillside, and oriented to face south toward the view of the valley. The hillside behind the residence slopes steeply upward.

Architectural Review

The City of Bradbury Design Guidelines, Architectural Review, Neighborhood Compatibility, and Ridgeline Preservation standards are intended to establish functional sites with quality design and functional interrelationships of buildings and improvements by ensuring that the siting, design, and massing of all new or remodeled structures and developments are compatible with existing uses, designs, and developments in surrounding neighborhoods, and may include the use of a variety of forms and materials with innovative and alternative design solutions while preserving trees, ridgeline vistas, canyon views and other aspects of the rural environment and scenic character of the City.

The proposed two-story additions of 6,173 square feet are designed to be architecturally consistent with the existing residence and the total square footage of 15,094 is consistent with the newer residences in this area. The proposed design complies with the maximum height limit of 28 feet. The existing residence and the additions will be sufficiently distant from surrounding developments so as not to impose on the neighbors or their privacy. The floor plans of the additions have been designed to limit views towards neighboring residences. The building area is well below the crest of the hill at the rear of the lot and the additions will not interfere with any views of the neighboring properties or of the ridgelines and hills above and below the property.

Landscaping

The additions will be within an existing graded building area that is mostly paved. No new landscaping is proposed, and relandscaping is not expected to be needed, and no trees are to be removed. The City's Landscape Architect will conduct a site visit during the Building Department plan check process, and if any landscaping work or tree protection is needed, the appropriate measures will be provided. Conditions of approval are included in the draft resolution to ensure compliance with all landscaping and tree preservation requirements.

Engineering

The proposed additions are to be within an existing graded building area and no work is expected to be beyond this area. Any grading and excavation for the basement and additions will be balanced on-site. The property is to be connected to the sewer main in Sawpit Lane. Erosion control features will be provided during construction, and any grading and drainage work is to be reviewed by the City Engineer and will be done in accordance with City guidelines and Hillside Development Standards. Conditions of approval are included in the attached draft resolution to assure full compliance.

Bradbury Estates Homeowner Association and Community Services District

The proposed project was reviewed and approved by the Bradbury Estates Homeowner Association (HOA) and Community Services District (CSD) at their meetings on April 18, 2022.

ENVIRONMENTAL REVIEW

It is recommended that the project be determined to qualify as Categorically Exempt under the provisions of the California Environmental Quality Act (CEQA) pursuant to Section 15301(e)(2) of the CEQA Guidelines for additions to an existing single-family residence.

FINDINGS

The Planning Commission must make a series of findings when issuing decisions on Architectural Reviews, Neighborhood Compatibility, Ridgeline Preservation, and Hillside Developments. The proposed project meets the required findings stated in Section 9.34.040 of Chapter 34 of the Bradbury Development Code for Architectural Review, Neighborhood Compatibility, and Ridgeline Preservation; and the requirements for modifying the setbacks per Section 9.97.020(d) of Chapter 97 of the Hillside Development Standards. The recommended findings and reasons are included in the attached draft resolution, and it is recommended that the Planning Commission approve the proposed project as it is consistent with the City's development standards.

PLANNING COMMISSION ALTERNATIVES

The Planning Commission is to open a public hearing and solicit testimony on the proposed project. After the testimony, the Commission will have the following options:

Option 1. Close the public hearing and determine that the findings can be made for conditional approval of the proposed project and that the project is Categorically Exempt under CEQA and approve a motion to adopt the attached Resolution No. PC 22-302 as presented or as modified by the Commission.

Option 2. Close the public hearing and determine that the findings cannot be made for approval of the proposed project and/or a Categorical Exemption under CEQA, and approve a motion to deny the proposed project with statements of the specific findings and the reasons why the findings cannot be met, and direct staff to prepare the appropriate resolution for adoption at the next regular meeting.

Option 3. If the Planning Commission determines that the proposed project as presented cannot be approved, but with additional information could satisfy the requisite findings for approval and a Categorical Exemption under CEQA, then the Commission may approve a motion to continue the public hearing as open to the regular meeting of Wednesday, May 25, 2022, and direct the applicant to provide the necessary information to the City by Monday, May 9, 2022.

RECOMMENDATION

Option 1 is recommended; that the Planning Commission close the public hearing and determine that the findings can be made for conditional approval of the proposed project and that the project is Categorically Exempt under CEQA and approve a motion to adopt the attached Resolution No. PC 22-302 as presented.

ATTACHMENTS

1. Resolution No. PC 22-302
2. Assessor Map & Aerial Photo
3. Renderings of Proposed Project
4. Proposed Plans

ATTACHMENT NO. 1

PLANNING COMMISSION RESOLUTION NO. PC 22-302

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF BRADBURY, CALIFORNIA, SETTING FORTH THE FINDINGS OF FACT AND DECISION WITH A CATEGORICAL EXEMPTION UNDER THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) TO CONDITIONALLY APPROVE ARCHITECTURAL REVIEW NO. AR 22-003 FOR 10,325 SQUARE FEET OF TWO-STORY AND BASEMENT ADDITIONS AT 158 SAWPIT LANE

PLANNING COMMISSION RESOLUTION NO. PC 22-302

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF BRADBURY, CALIFORNIA, SETTING FORTH THE FINDINGS OF FACT AND DECISION WITH A CATEGORICAL EXEMPTION UNDER THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) TO CONDITIONALLY APPROVE ARCHITECTURAL REVIEW NO. AR 22-003 FOR 10,325 SQUARE FEET OF TWO-STORY AND BASEMENT ADDITIONS AT 158 SAWPIT LANE

WHEREAS, the Planning Commission considered Architectural Design Review No. AR 22-003 that was filed by the architect, Mr. James V. Coane on behalf of the property owner, Ms. Emilie Ho, for additions to the single-family residence at 158 Sawpit Lane, which is zoned A-5 and is subject to the City of Bradbury's Hillside Development Standards.

WHEREAS, The Bradbury Estates Homeowner Association and Community Services District considered the proposed plans at their meetings on April 18, 2022, and approved the project.

NOW, THEREFORE, THE PLANNING COMMISSION OF THE CITY OF BRADBURY, DOES HEREBY RESOLVE, FIND, AND DETERMINE AS FOLLOWS:

SECTION A. The Planning Commission finds that a duly noticed public hearing has been conducted at the regular meeting on April 27, 2022, in accordance with the provisions of the Bradbury Municipal Code relative to this matter.

SECTION B. The Planning Commission finds and declares that the information in the agenda report, and the testimony at the public hearing are incorporated in this Resolution and comprises the bases on which the findings have been made.

SECTION C. The Planning Commission declares that the project meets the following required findings stated in Section 9.34.040 of Chapter 34 (Architectural Review) of the Bradbury Development Code:

1. That the proposed development is designed and will be developed to preserve to the greatest extent practicable the natural features of the land, including the existing topography and landscaping. The proposed additions are to be built within an existing graded building area and the additions are designed to minimize any grading. By limiting development to the existing building area, disturbance of the natural terrain will be minimized.

2. That the proposed development is designed and will be developed in a manner which will be reasonably compatible with the existing neighborhood character in terms of scale of development in relation to surrounding residences and other structures. The proposed expanded residence will be in scale with the other residences on the surrounding properties and is of a size that is to be expected of new residences in the area. The proposed expanded residence will be sufficiently distant from the front of the property and the surrounding developments so as not to impose on the neighborhood.

3. That the proposed development is designed and will be developed in a manner which will preserve to the greatest extent practicable the privacy of persons residing on adjacent properties. The proposed expanded residence will be within an existing graded building area that is sufficiently distant from the residences on the adjacent properties so as not to impose on their privacy.

4. The requirements of the ridgeline and view preservation regulations have been met. The proposed expanded residence will comply with the maximum building height limit of 28 feet, and the location is such that the height will not interfere with any important views of the neighboring properties.

5. That the proposed development is designed and will be developed in a manner to the extent reasonably practicable so that it does not unreasonably interfere with neighbors' existing views, view of ridgelines, valleys, or vistas. The location of the residence and additions is well back from the front of the lot and well below the crest of the hill to the rear/north of the building area.

6. The requirements of the tree preservation and landscaping regulations have been met. The proposed residence will not necessitate the removal of any oak trees or other prominent trees, and no landscaping is proposed with the additions. The City's Landscape Architect will conduct a site visit during the Building Department plan check process, and if any landscaping work or tree protection are needed, the appropriate measures shall be provided.

7.a. That the design minimizes the appearance of over or excessive building substantially in excess of existing structures in the neighborhood, in that the square footage of the structure(s) and the total lot coverage of the development shall reflect the uncrowded character of the City and the neighborhood. The size of the proposed expanded residence is consistent with other newer residences in the area and complies with the maximum building height limit of 28 feet. The additions will be within an existing graded building area that is well separated from surrounding developments. 76 percent of the property will remain as open space.

7.b. That the design minimizes the appearance of over or excessive building substantially in excess of existing structures in the neighborhood, in that the height(s) of the structure(s) shall maintain to the extent reasonably practicable, consistency with the heights of structures on neighboring properties. The proposed additions comply with the maximum building height limit of 28 feet and are consistent with the newer structures in the area.

8. That the proposed development is designed and will be developed in a manner that is consistent with the City's Design Guidelines. The proposal provides a quality design that maintains architectural consistency throughout in accordance with the City's Design Guidelines.

SECTION D. The Planning Commission declares that the project is consistent with the City's Hillside Development Standards (Chapter 97) of the Bradbury Development Code. The Hillside Development Standards apply to the subject property

per Section 9.97.020 of the Bradbury Development Code as the property has more than two acres of land area and an average slope that is greater than ten percent. However, the location of the project is within an existing graded building area accessible by an existing graded and paved roadway, and the project will not grade or excavate any areas beyond the existing building area such that per Section 9.97.020.(d), the hillside setback requirements may be modified so that the underlying setback requirements for the A-5 zone shall be the governing standards. The proposed additions comply with the development standards of the A-5 zone.

SECTION E. The Planning Commission finds that the project is Categorically Exempt under the provisions of the California Environmental Quality Act (CEQA) pursuant to Section 15301(e)(2) of the CEQA Guidelines for additions to an existing single-family residence.

SECTION F. The Planning Commission hereby approves Architectural Review No. AR 22-003 for the project based on the information depicted on the submitted plans and subject to the following conditions, all of which shall be complied with to the satisfaction of the City Manager or designees:

1. Except as set forth in subsequent conditions, all inclusive, development shall take place substantially as shown on the submitted plans presented to the Planning Commission on April 27, 2022.

2. The applicant/developer shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any claim, action, or proceeding, damages, costs (including, without limitation, attorney's fees), injuries, or liability against the City or its agents, officers, or employees arising out of the City's approval of the proposed project. The City shall promptly notify the applicant/developer of any claim, action, or proceeding and the City shall cooperate fully in the defense. If the City fails to promptly notify the applicant/developer of any claim, action, or proceeding, or if the City fails to cooperate fully in the defense, the applicant/developer shall not thereafter be responsible to defend, indemnify, or hold harmless the City. Although the applicant/developer is the real party in interest in an action, the City may, at its sole discretion, participate in the defense of any action with the attorney of its own choosing, but such participation shall not relieve the applicant/developer of any obligation under this condition, including the payment of attorney's fees. Applicant/developer shall promptly pay any final judgment rendered against the City.

3. The applicant and owner of the subject property must file an Acknowledgment Form for the conditions and provisions set forth in this Planning Commission Resolution prior to the submission of plans to the Department of Building and Safety. This Resolution and the Acknowledgment Form shall be included in the plans that are submitted to the Department of Building and Safety.

4. The proposed project shall comply with all applicable City, County, State, and federal regulations, including requirements of the Building, Fire, Planning, and Engineering Departments, with the exception of the modified setback requirements per

Section 9.97.020.(d) as stated in Chapter 97 (Hillside Development Standards) of the Bradbury Development Code.

5. All exterior building, landscaping, and/or safety/security lighting shall be low-voltage, non-glare, and shall be hooded and/or shielded to not direct lighting off the subject property.

6. The applicant shall verify with the water purveyor and the Los Angeles County Fire Department that adequate domestic service and fire flow are available to serve the proposed project and shall provide such required service and flow.

7. A pre-construction meeting shall be held with representatives of the City Development Team. The applicant shall present a construction timeline and emergency contact information prior to the meeting and shall provide all other information as may be requested as a result of the meeting.

Bradbury Estates Conditions

8. The project is required to satisfy and comply with any conditions issued by the Bradbury Estates Homeowner Association (HOA) and Community Services District (CSD) at their meetings on April 18, 2022.

Engineering Conditions

9. The applicant shall submit Precise Grading Plans for the project showing building footprints, pad elevations, finished grades, drainage routes, all proposed utilities, retaining walls, erosion control measures, and other pertinent information in accordance with Appendix J of the California Building Code, latest edition, for review and approval of the City Engineer.

10. Along with the Grading Plan, the applicant shall submit a Demolition Plan which identifies the extent of the removals and any structures which are to remain. The existing utilities should be indicated on the plan and their disposition as part of the construction. An Erosion Control Plan shall be submitted which identifies the Best Management Practices (BMP) to eliminate any illicit discharges during storm events along with the Demolition Plan. The erosion control measures may be included on the Demolition Plan if space permits.

11. Prior to the issuance of any grading or building permits, the applicant shall submit an updated Engineering Geology/Soils Report that includes an accurate description of the geology of the site and conclusions and recommendations regarding the effect of the geologic conditions on the proposed development and include a discussion of the expansiveness of the soils and recommended measures for foundations and slabs on grade to resist volumetric changes of the soil. This report shall also include recommendations for surcharge setback requirements in the area of ungraded slopes steeper than five horizontal to one vertical.

12. Prior to the issuance of any permits, the applicant shall submit an erosion control plan to the satisfaction of the City Engineer and all proposed BMPs shall be installed and operable at all times.

13. Prior to issuance of any permits, all new utilities shall be placed underground, including facilities and wires for the supply and distribution of electrical energy, telephone, cable television, etc., to the satisfaction of the City Planner and City Engineer.

14. The applicant shall connect to the Bradbury Estates CSD sewer main in Sawpit Lane and pay all reimbursement fees (including interest) to the satisfaction of the CSD Manager and City Engineer.

15. The applicant shall remove and/or abandon the existing sewer septic system to the satisfaction of the City's Building Official and the Los Angeles County Health Department.

16. Prior to issuance of any permits, the applicant shall verify that the proposed development is annexed into the Los Angeles County Sanitation District.

17. Prior to the issuance of any permits, the applicant shall provide documentation from Cal American Water Company that certifies sufficient fire flow can be provided to protect the existing and expanded areas of the residence.

18. Prior to final occupancy, the applicant shall verify that any required sewer connection fees have been paid to the City of Bradbury and the County of Los Angeles Department of Public Works, Sewer Maintenance District.

19. Building foundation inspections shall not be performed until a rough grading certification, survey stakes are in place, and a final soils report have been filed with the City and approved. All drainage facilities must be operable.

20. Prior to the issuance of permits, the applicant must obtain coverage under the General Permit for Discharges of Storm Water associated with Construction Activity, Construction General Permit Order 2012-0006-DWQ (as amended by all future adopted Construction General Permits).

21. For all projects subject to Low Impact Development (LID) regulations, the applicant must submit a site-specific drainage concept and stormwater quality plan to mitigate post-development stormwater and implement LID design principles. A fully executed "Maintenance Covenant for LID Requirements" shall be recorded with the L.A. County Registrar/Recorder and submitted to the City prior to the Certificate of Occupancy. Covenant documents shall be required to include an exhibit that details the installed treatment control devices as well as any site design or source control Best Management Practices (BMPs) for post construction. The information to be provided on this exhibit shall include, but not be limited to:

a. 8½" x 11" exhibits with record property owner information.

b. Types of BMPs (i.e., site design, source control and/or treatment control) to ensure modifications to the site are not conducted without the property owner being aware of the ramifications to BMP implementation.

c. Clear depiction of locations of BMPs, especially those located below ground.

d. A matrix depicting the types of BMPs, frequency of inspection, type of maintenance required, and if proprietary BMPs, the company information to perform the necessary maintenance.

22. The applicant shall provide drainage improvements to carry runoff of storm water in the area proposed to be developed, and for contributing drainage from adjoining properties to the satisfaction of the City Engineer. The proposed drainage improvements shall be based on a detailed hydrology study conforming to the current Los Angeles County Methodology. The proposed storm drain improvements shall be privately maintained by the property owner.

Landscaping Conditions

23. The City's Landscape Architect shall be allowed to conduct a site inspection during the Building Department plan check. No Oak trees or other prominent trees are to be removed without having been evaluated by a certified arborist and approved by the City. Any trees proximate to the building area(s) shall be protected from damage during construction and actions that might affect their health and viability following completion of the project. The contractor shall observe and implement all protection measures stipulated by the City's Landscape Architect.

24. Prior to issuance of permits, construction staging areas, haul routes, etc. must be designed to avoid damage to protected trees during construction. Layout of haul routes, areas for staging and storage of equipment and supplies, and tree protection fencing must be approved by the City's Landscape Architect prior to the start of construction.

25. Though no trees are proposed for removal, any tree, whether a protected species or not that is damaged to the extent that removal is recommended, or otherwise fails to survive, must have a City Tree Removal Permit. The removal application must show and identify the tree(s) proposed for removal, including a photo and arborist report to support removal. The Removal Permit may require mitigation measures such as replacement trees (e.g., generally 2 – 36" box Oaks to replace one small to medium sized Oak) to be planted on the site, or payment into a City fund for trees in public areas.

26. Hardscape design and materials must conform to the plans, including permeable pavers rather than poured concrete in all Oak tree root zones.

27. Should 500 square feet or more of new or rehabilitated landscaping be involved, the following shall be complied with:

a. The landscape design and construction drawings shall coordinate with the Grading Plan to make sure planting for stabilization and erosion control is provided

wherever there is clearing, grading, excavation, underground utilities, storm drainage, etc. Any cleared areas, particularly slopes, must have appropriate erosion control materials, planting, and irrigation as needed until natural vegetation fills in. Proposed hydroseed mix or other planting, and proposed irrigation layout and equipment are to be approved by the City prior to installation.

b. The planting design and plant palette must be in accordance with L.A. County Fire Dept. requirements; submittal of an approved Fuel Modification Plan will be necessary prior to City approval of landscape construction drawings. It is encouraged that the applicant prepare the Fuel Modification Plan for L.A. County Fire Dept. review as soon as possible, as this review can take a long time, and the final Planting Plan and Plant Palette must be in accordance with the site-specific Fire Dept. requirements.

c. The contractor shall confirm in the field that the existing water meter designated as the point of connection for new irrigation is dedicated to irrigation only, and not also used for domestic water. If necessary, a sub-meter must be added via a tee downstream of the existing meter to serve irrigation and meet WELO requirements.

d. The contractor shall confirm in the field that the existing backflow preventer has been tested and certified within the last year, or the contractor must obtain a new certification prior to use.

e. Planting and irrigation design must conform to the City's Water Efficient Landscape Ordinance, Chapter 121, Bradbury Municipal Code and update. Plant species used together in any given area must have the same Plant Factor/water requirements; species with different water needs should not be mixed in the same hydrozone. An up-to-date Water Efficient Landscape worksheet must be included with final plans, and water use calculations must show the Estimated Total Water Use (ETWU) does not exceed the Maximum Applied Water Allowance (MAWA). The ETo (reference evapotranspiration rate) to be used in the MAWA calculation is 51.3 per the City's Water Efficient Landscape Ordinance.

SECTION G. Appeals and Time Extensions.

1. In accordance with Chapter 16 (Appeals) of the Bradbury Development Code, the decision of the Planning Commission is subject to a ten (10) day period within which an appeal may be made by any person, partnership, corporation, public entity, other legal entity, or the applicant, who is aggrieve by the decision, by the filing of a written appeal with the City Clerk, accompanied by the established fee; or called up for review by a City Council Member within the ten (10) day appeal period.

2. Pursuant to the Development Code Chapter 7 (Permit/Entitlement Implementation and Time Extensions), absent a timely filed appeal as specified in Chapter 16, the Planning Commission decision shall be final and conclusive. If the applicant and/or property owner has not exercised this entitlement (i.e., submitted plans to the Department of Building and Safety) within one (1) year of the effective date of this approval, this entitlement shall expire and be null, void, and of no effect. A request for an extension of the time period for exercising this entitlement may be filed with the City 30

days prior to its expiration, and one (1) extension of up to one (1) year may be granted by the applicable review authority.

SECTION H. The City Clerk shall certify to the adoption of this Resolution.

PASSED, APPROVED, AND ADOPTED this 27th day of April 2022.

_____

Chairperson

ATTEST:

_____

City Clerk

I, Claudia Saldana, City Clerk, hereby certify that the foregoing Resolution No. PC 22-302 was duly adopted by the Planning Commission of the City of Bradbury, California, at a regular meeting held on the 27th day of April 2022, by the following vote:

AYES:

NOES:

ABSTAIN:

ABSENT:

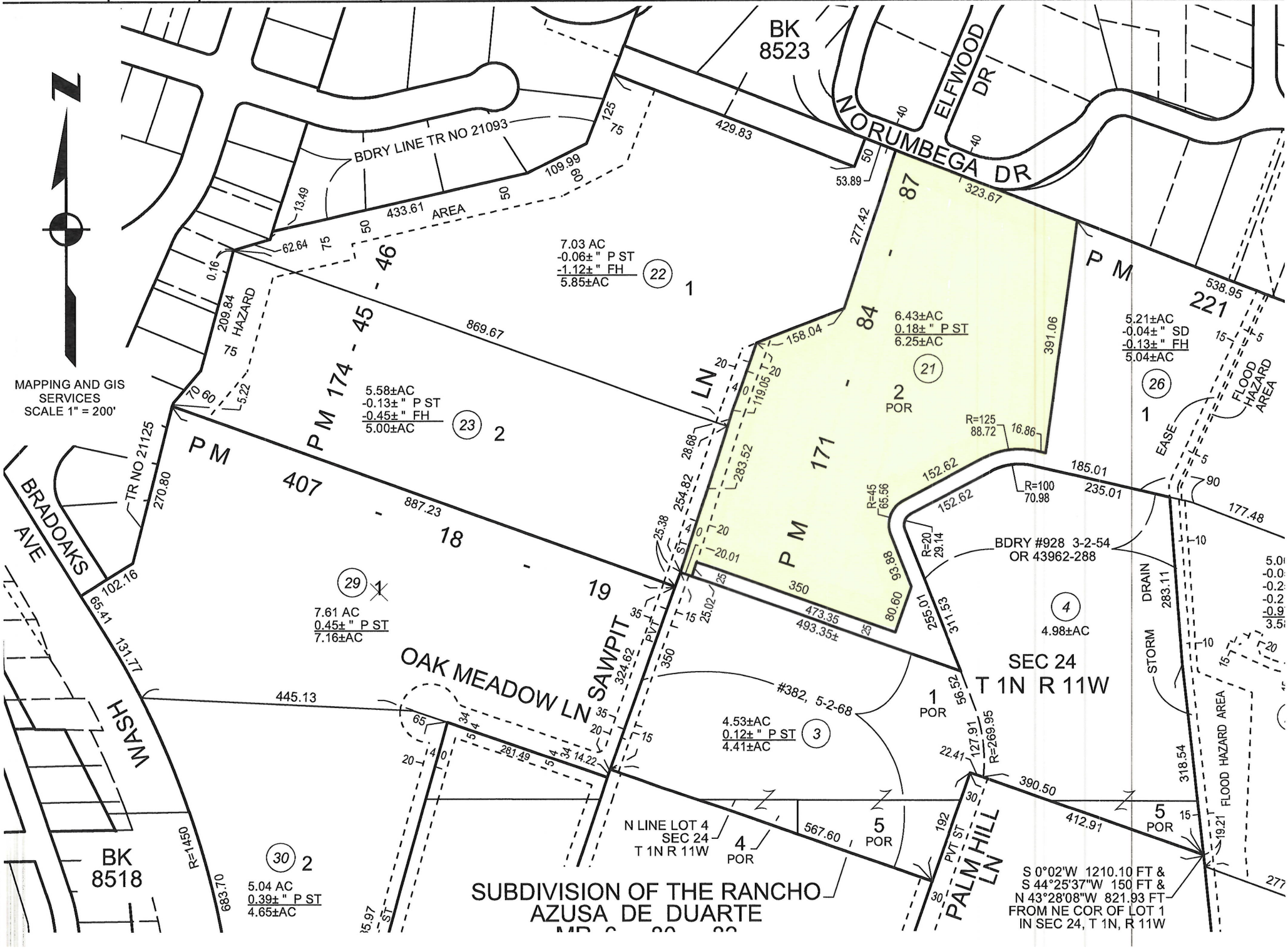
ATTACHMENT NO. 2

Assessor Map & Aerial Photo

APN 8527-002-021

158 Sawpit Lane

8527	2 SHEET	P.A. 8525-13 & 16 8527-3, 8686-1 & 6	TRA 3367	REVISED 680624402 691205	731127 840210004-84	850219001-85 850618407-86	89092508009002-05 89092508009003-05



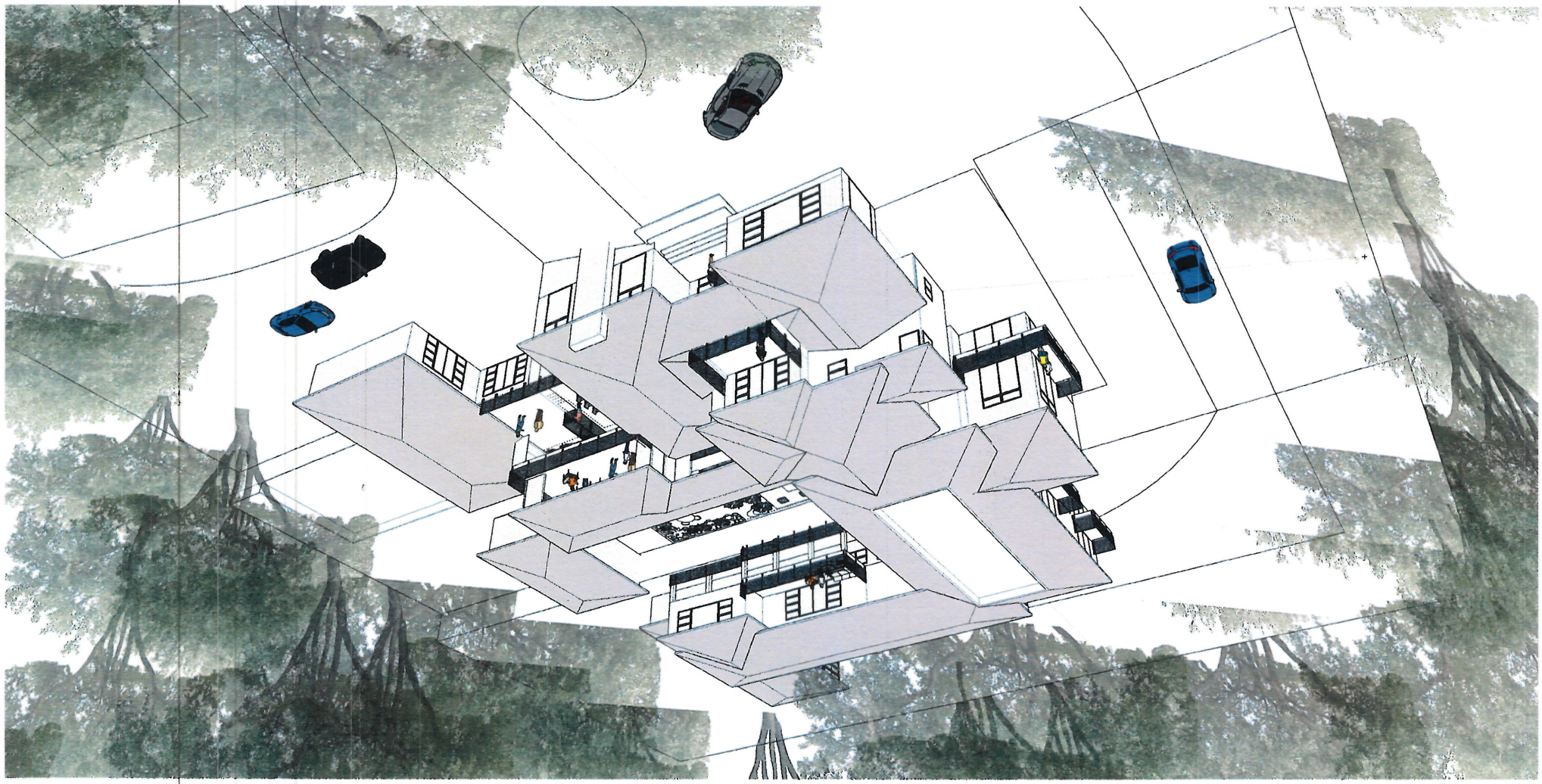
158 Sawpit Lane

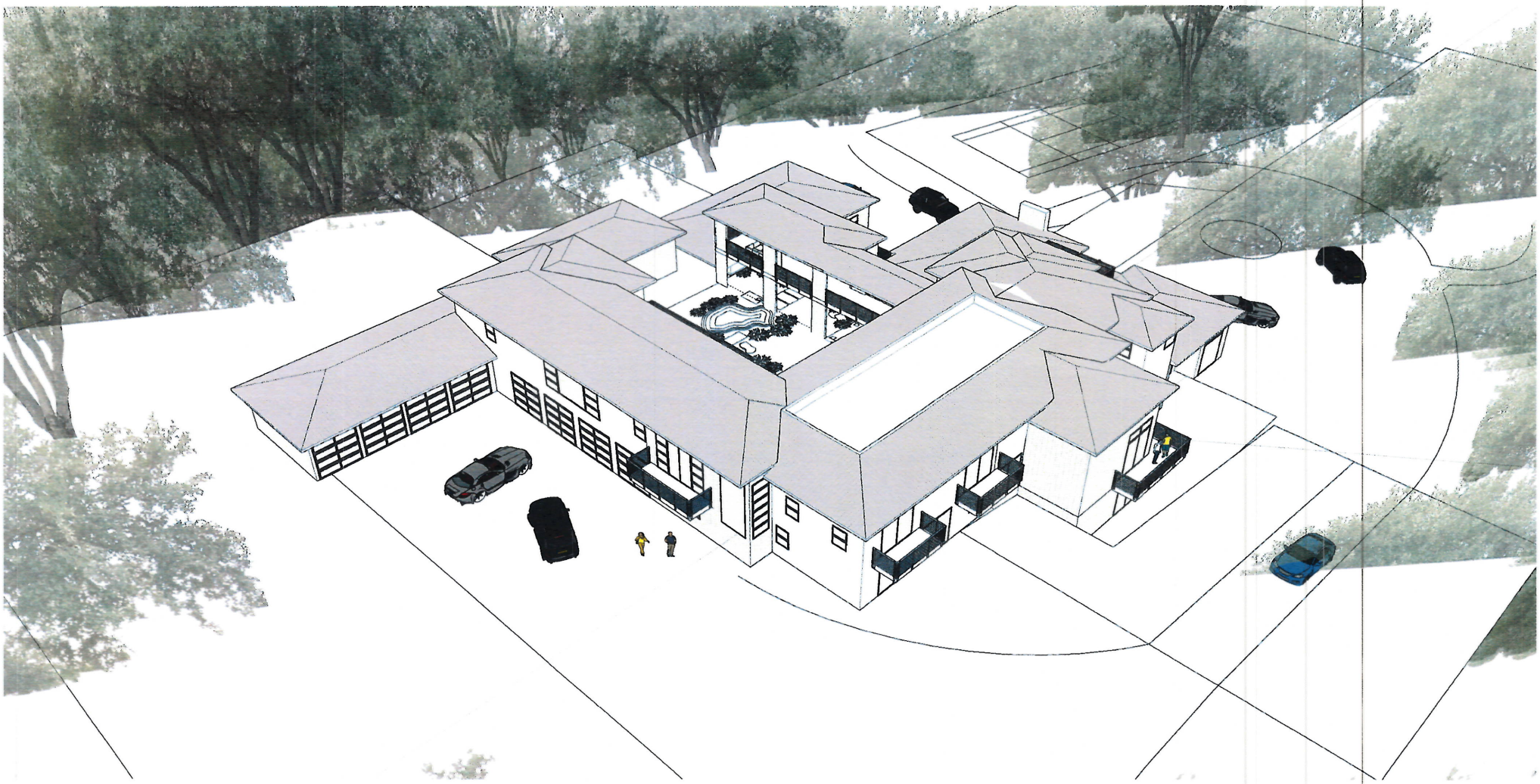
ATTACHMENT NO. 3

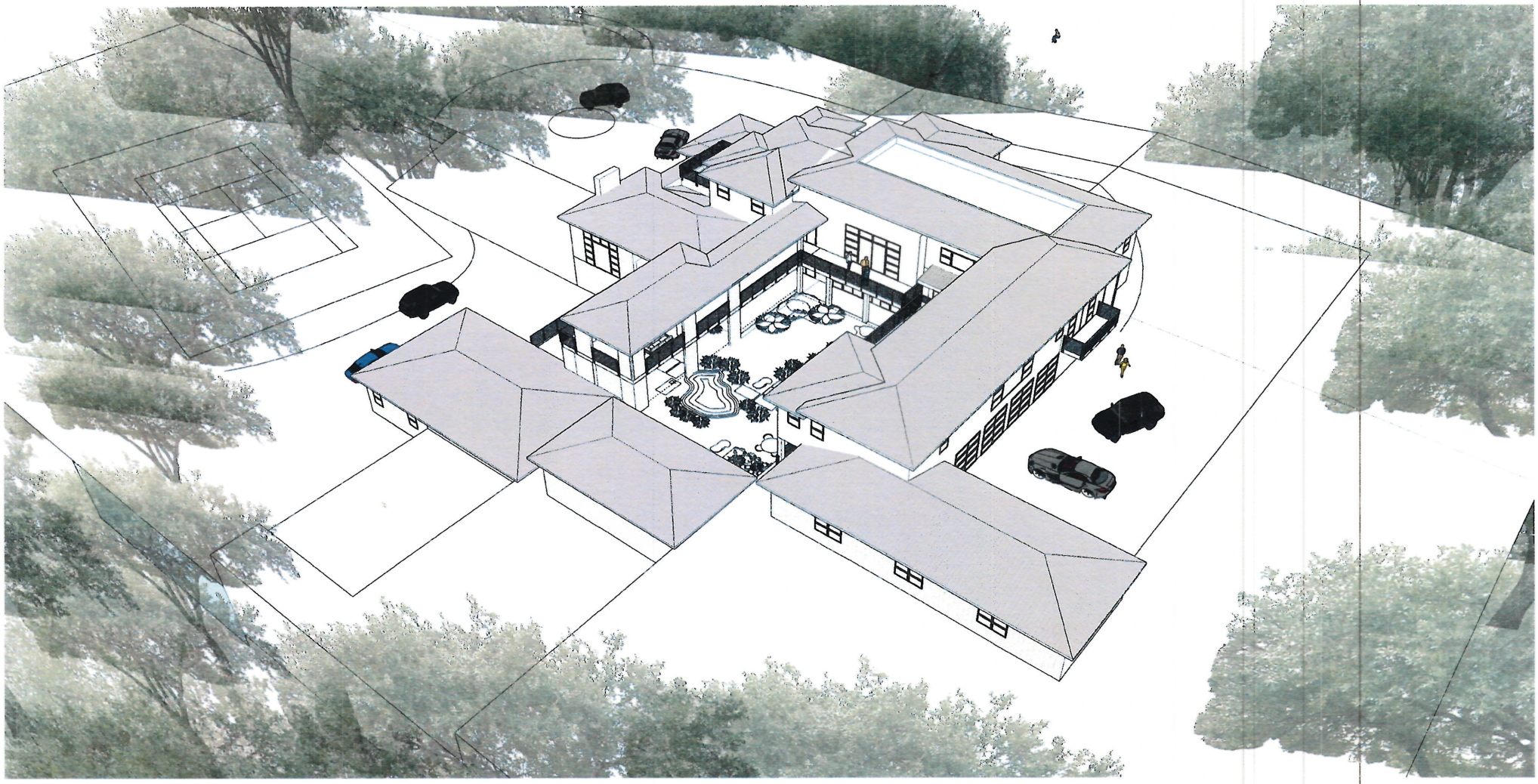
Renderings of Proposed Additions

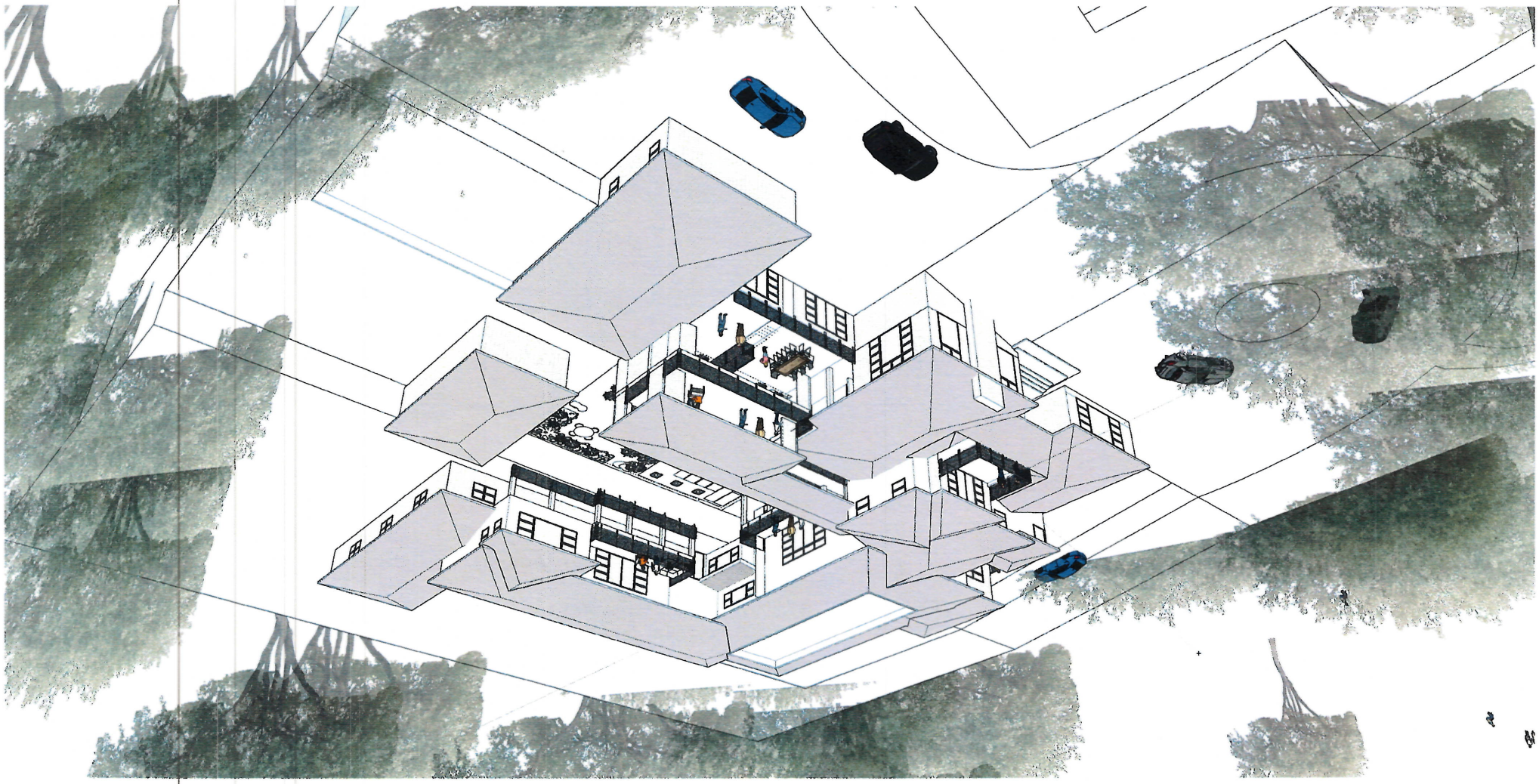
AR 22-003

158 Sawpit Lane









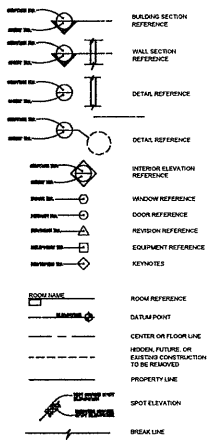
ATTACHMENT NO. 4

Proposed Plans

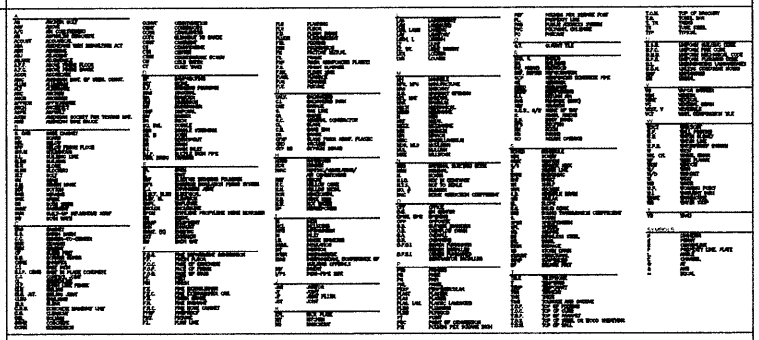
AR 22-003

158 Sawpit Lane

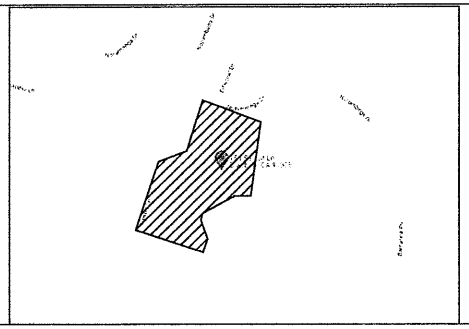
SYMBOLS



ABBREVIATIONS



VICINITY MAP



PROJECT SUMMARY

PARCEL #	8527-002-021
ZONE	A-5
GROSS AREA OF SITE	6.44 ACRES
NET AREA OF SITE	6.25 ACRES
NET LOT WIDTH	363'
NET LOT DEPTH	750'
NET LOT COVERAGE	5.9%
NET LANDSCAPED AREA	208,735 SF (76.7%)
NET IMPERVIOUS SURFACE AREA	65,471 SF (23.5%)
EXISTING BUILDING AREA	4,769 SF
HABITABLE FLOOR AREA	
NEW FIRST FLOOR	
FIRST FLOOR NEW ADDITION	509 SF
NEW SECOND FLOOR	
SECOND FLOOR NEW ADDITION	5,664 SF
BASEMENT LEVEL	
BASEMENT LEVEL NEW ADDITION	3,192 SF
TOTAL NEW ADDITIONS	9,365 SF

RESIDENTIAL A-5 DEVELOPMENT STANDARDS

DEVELOPMENT FEATURE	A-5 ZONE REQUIREMENTS	PROPOSED
MINIMUM LOT AREA	5.0 ACRES	6.44 ACRES
RESIDENTIAL DENSITY	1-SINGLE FAMILY DWELLING AND ACCESSORY USES	1-SINGLE FAMILY DWELLING AND ACCESSORY USES
GUEST HOUSE	PERMITTED	
FRONT SETBACK MAIN HOUSE	50'-0"	529'-6"
SIDE SETBACK MAIN HOUSE	25'-0"	57'-10"
REAR SETBACK MAIN HOUSE	25'-0"	54'-1"
HEIGHT LIMIT	25'-0"	25'-0"
HILLSIDE DEVELOPMENT LOT COVERAGE	IMPERVIOUS COVERAGE < 50% OF LOT AREA	65,471 SF (23.5% LOT AREA)
TREE PRESERVATION AND LANDSCAPING	AS REQUIRED BY CHAPTER 9.06.090 (LANDSCAPING)	
RETAINING WALLS AND FENCES	6' MAXIMUM HEIGHT	5'-6" HEIGHT RETAINING WALL
PARKING	5 REQUIRED	5 PROPVIDED
GRADING	NO RESTRICTIONS	

NEW ADDITIONS TO EXISTING SINGLE FAMILY RESIDENCE

BRADBURY RESIDENCE

158 SAWPIT LN
BRADBURY, CA 91008

PROJECT INFORMATION

PROJECT DESCRIPTION
NEW ADDITION TO FIRST FLOOR
NEW ADDITION TO SECOND FLOOR
NEW ADDITION TO BASEMENT LEVEL

PROJECT LOCATION
158 SAWPIT LN
BRADBURY, CA 91008

OWNER
BILLIE HO
158 SAWPIT LN
BRADBURY, CA91008
626-352-2660

ARCHITECT/APPLICANT
JAMES V. COANE & ASSOCIATES
30 NORTH RAYMOND AVE, SUITE 811
PASADENA, CA 91105
626.564.6022

PROPERTY DESCRIPTION
ASSESSOR'S ID # 8527-002-021

ZONING
A-5

CONSTRUCTION TYPE
VB/FIRE SPRINKLERED

OCCUPANCY GROUP
R-3 (SINGLE FAMILY)
U (PRIVATE GARAGE)

SHEET INDEX

ARCHITECTURAL

T1 TITLE SHEET
T1 TOPOGRAPHICAL SURVEY MAP
EX1.1 EXISTING SITE PLAN
EX2.1 EXISTING FLOOR PLAN + OUTLINE OF FIRST FLOOR NEW ADDITION
EX2.2 EXISTING FLOOR PLAN + OUTLINE OF SECOND FLOOR NEW ADDITION
EX2.3 EXISTING FLOOR PLAN + OUTLINE OF BASEMENT LEVEL NEW ADDITION
D2.1 DEMOLITION PLAN
EX4.1 EXISTING ROOF PLAN
EX6.1 EXISTING ELEVATIONS
A1.1 PROPOSED SITE PLAN
A1.2 PROPOSED DRAINAGE AND GRADING PLAN
A1.3 PROPOSED VICINITY MAP
A2.1 PROPOSED FLOOR PLAN-FIRST FLOOR PLAN
A2.2 PROPOSED FLOOR PLAN-SECOND FLOOR PLAN
A2.3 PROPOSED FLOOR PLAN-BASEMENT LEVEL
A4.1 PROPOSED ROOF PLAN
A5.1 PROPOSED SECTIONS
A6.1 PROPOSED ELEVATIONS
A6.2 PROPOSED ELEVATIONS
A6.3 PROPOSED ELEVATIONS
A8.1 DOOR AND WINDOW SCHEDULE

SCOPE OF WORK

- NEW ADDITION OF 509 SF TO FIRST FLOOR
- NEW GARAGE OF 2,661 SF TO FIRST FLOOR
- NEW ADDITION OF 5,664 SF TO SECOND FLOOR
- NEW DECKS OF 297 SF + 256 SF AND NEW COVERED PATIO OF 1,074 SF TO SECOND FLOOR
- NEW ADDITION OF 3,192 SF TO BASEMENT LEVEL

REVISIONS	BY

James V. Coane & Associates
Architects
30 North Raymond Avenue, Suite 811, Pasadena, California 91103 T 626 564 6022 F 626 564 6024

PROJECT INFORMATION AND ABBREVIATIONS

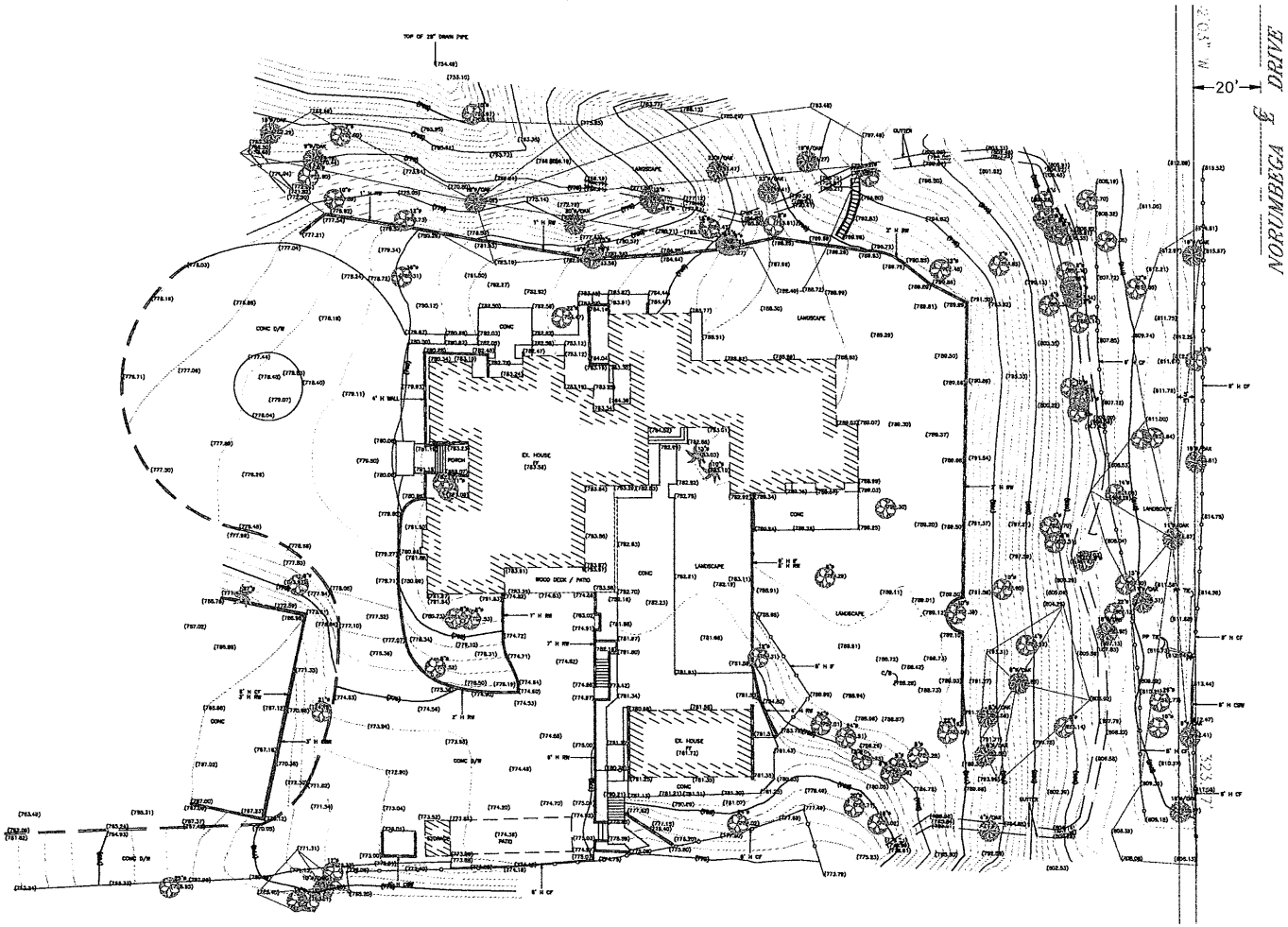
PRIVATE RESIDENCE
158 SAWPIT LN
BRADBURY, CA 91008

Date
Scale
Drawn
Job
Sheet

T1

Of Sheets

LIMTED TOPOGRAPHIC MAP



ABBREVIATIONS/LEGEND

CATV	:	CABLE T.V. PULLBOX
C/B	:	CATCH BASIN
CBW/RW	:	CONC. BLOCK/RETAINING WALL
C&G	:	CURB AND GUTTER
CF	:	CHAIN LINK FENCE
DWY	:	DRIVEWAY
D/A	:	DRIVEWAY APPROACH
EX	:	EXISTING
FF	:	FINISH FLOOR
FS	:	FINISHED SURFACE
FL	:	FLOW LINE
GM	:	GAS METER
I/F	:	IRON FENCE
HP	:	HIGH POINT
PP	:	POWER POLE
P/L	:	PROPERTY LINE
RW	:	RETAINING WALL
S/W	:	SIDEWALK
S/D	:	STORM DRAIN
TC	:	TOP OF CURB
W/M	:	WATER METER
WF	:	WOODEN FENCE
Ⓓ	:	STORM DRAIN MANHOLE
Ⓢ	:	SEWER MANHOLE
Ⓥ	:	WATER VALVE
⋈	:	FDC / FIRE DEPT. CONNECTION
	:	FIRE HYDRANT
E	:	EDISION PULL BOX
S	:	STREET LIGHT PULL BOX
T	:	TRAFFIC SIGNAL PULL BOX
U	:	UTILITY PULL VOX
TV	:	TV CABLE PULL BOX
H.V	:	HIGH VOLTAGE BOX
TEL	:	TELEPHONE PULL BOX
S.T	:	SEPTIC TANK
(532.00)	:	EXISTING ELEVATION 532.00'
--(532)--	:	EXISTING CONTOUR LINE
-W--W--	:	WATER LINE
-S--S--	:	SEWER LINE
	:	STREET LIGHT
-o-o-	:	WF/ WOOD FENCE OR IF/ IRON FENCE
-o-o-	:	CF/ CHAIN LINK FENCE
	:	EXISTING TREE
	:	CONC. BLOCK WALL/ RETAINING WALL
⊗	:	WOOD POST
	:	IRON POST
⊗	:	DRAIN HOLE
⊗	:	VENT

SURVEYOR'S NOTES:

1. ALL INFORMATION SHOWN ON THE DRAWINGS IS GIVEN AS THE BEST PRESENT KNOWLEDGE AND PERFORMED WITHIN GENERALLY ACCEPTED ENGINEERING PRACTICE BUT WITHOUT GUARANTEE OF ACCURACY. WHERE ACTUAL CONDITIONS CONFLICT WITH THE DRAWINGS, THEY SHALL BE REPORTED TO THE ENGINEER SO THAT THE PROPER REVISIONS MAY BE MADE.
2. ESTABLISHMENT OF CONTOUR: CONTOURING IS THE GRAPHICAL REPRESENTATION OF CONSTANT ELEVATION LINES THAT ARE INTERPOLATED OR EXTRAPOLATED BETWEEN ACTUAL FIELD MEASURED ELEVATIONS OR MAP ELEVATIONS, AND SHOULD NOT BE INTERPRETED AS PRECISE GROUND CONDITIONS, ONLY AN INFINITE NUMBER OF FIELD MEASUREMENTS WOULD REPRESENT SUCH PRECISE CONDITIONS, WHICH OBVIOUSLY ARE NOT POSSIBLE. THE NUMBER OF SUCH FIELD MEASUREMENTS ARE THEREFORE LIMITED TO THE SCOPE AND INTENT OF THE RESULTING MAP.
3. THE BEARINGS/DIMENSIONS OF THE MAP IS PREPARED BASED ON THE RECORD DATA.
4. THE SURVEY IS PREPARED FOR ARCHITECTURAL/LANDSCAPING PURPOSE.
5. EASEMENTS ARE PLOTTED PER PRELIMINARY TITLE REPORT ORDER NO. CA0310-21023533-38, DATED 10-27-2021.

LEGAL DESCRIPTION:

PARCEL 2 OF PARCEL MAP NO. 16311, IN THE CITY OF BRADBURY, COUNTY OF LOS ANGLES, STATE OF CALIFORNIA, AS PER MAP RECORDED IN BOOK 171, PAGES 84 THROUGH 87, OF PARCEL MAPS, IN THE OFFICE OF THE COUNTY RECORDER OF SAID COUNTY.

APN: 8527-002-021

BENCHMARK:

COUNTY B.M. NUMBER 4G2643

US ARMY CORP OF ENGR BR DISC IN N CB @ CTR OF BRIDGE 41FT N/O C/L HUNTINGTON DR & 0.1MI W/O C/L MOUNTAIN AVE MKD (CORP OF ENGR)

ELEVATION: 528.909' (NAVD88)

BASIS OF BEARING:

SOUTH RIGHT-OF WAY OF NORUMBEGA DR. N68°42'03"W PER PARCEL MAP NO. 16311, P.M.B. 171-84-87

EASEMENT NOTES:

E1 EASEMENT FOR PUBLIC UTILITIES PURPOSES PER INST. NO. 2168, IN BK. 32051, PG. 255, RECORDED JAN. 25, 1950 AND INST. NO. 3139, IN BK. 46503, PG. 216, RECORDED DEC. 20, 1954, OF OFFICIAL RECORDS.

E2 EASEMENT FOR ROAD PURPOSES PER INST. NO. 2197, IN BK. 05874, PG. 793, RECORDED MAY 17, 1973, OF OFFICIAL RECORDS.

E3 EASEMENT TO VERIZON CALIFORNIA INC. FOR PUBLIC UTILITIES PURPOSES PER INST. NO. 20080868885, RECORDED MAY 15, 2008, OF OFFICIAL RECORDS

E4 EASEMENT TO SOUTHERN CALIFORNIA EDISON COMPANY FOR PUBLIC UTILITIES PURPOSES PER INST. NO. 20080936804, RECORDED MAY 28, 2008, OF OFFICIAL RECORDS

E5 EASEMENT TO SOUTHERN CALIFORNIA EDISON COMPANY FOR PUBLIC UTILITIES PURPOSES PER INST. NO. 20150410458, RECORDED APRIL 14, 2015, OF OFFICIAL RECORDS

E6 EASEMENT FOR ROAD PURPOSES PER IINST. NO. 20160511590, RECORDED MAY 27, 2016, OF OFFICIAL RECORDS

PROFESSIONAL LAND SURVEYOR
JACK C. LEE
NO. 8407
STATE OF CALIFORNIA

0 16 32
1"=16'

CALLAND ENGINEERING, INC.
dba QUARTECH CONSULTANTS
576 E. LAMBERT ROAD, BREA, CA 92821
TEL: (714) 671-1050 FAX: (714) 671-1090

RELEASED

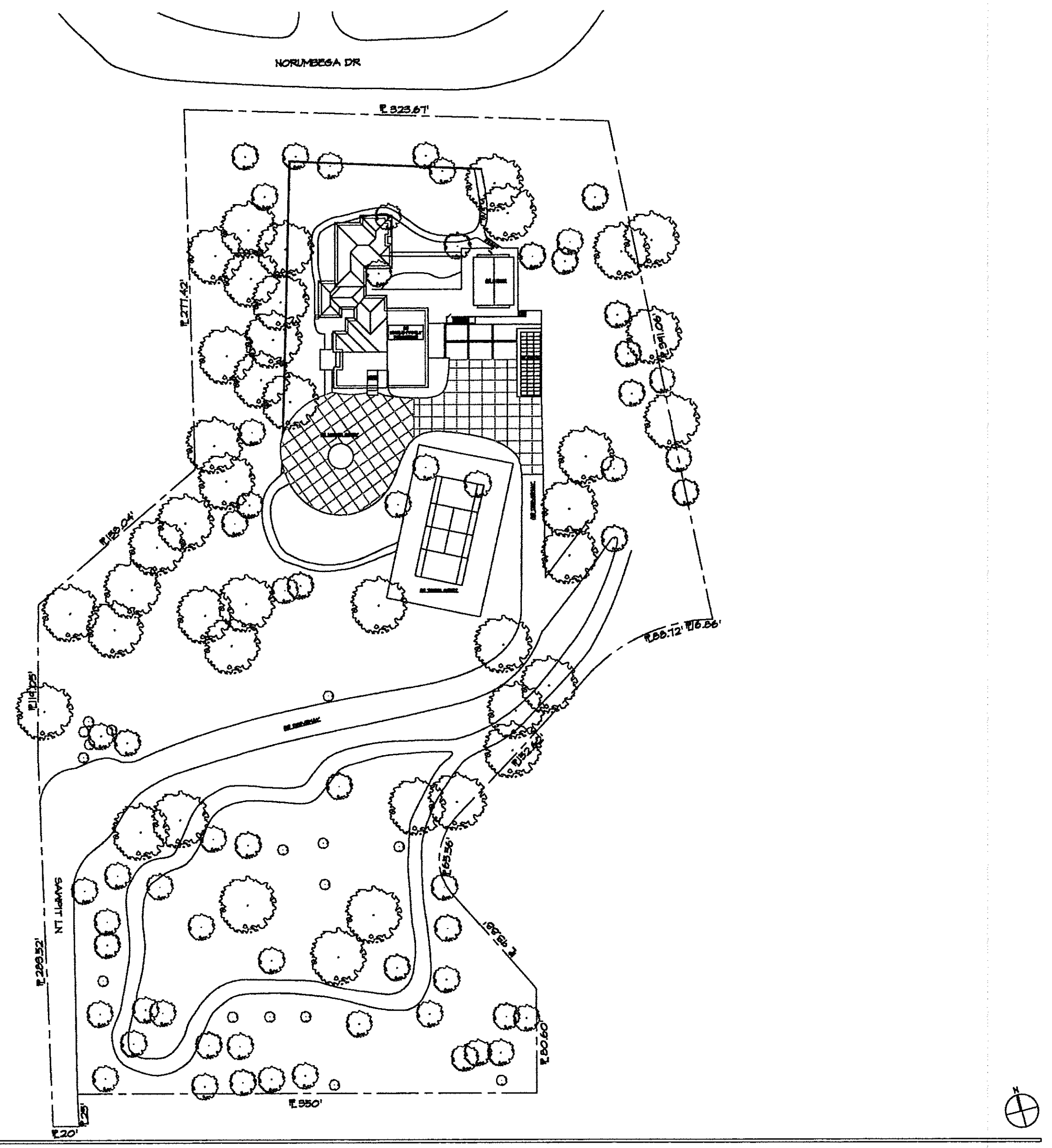
REVISIONS

PROJECT LOCATION:
158 SAWPIT LANE
BRADBURY, CA 91008

DRAWN:	IH
CHECKED:	JY
DATE:	12-03-2021
JOB NO.:	21-001-112
SCALE:	1"=16'
FILE NAME:	158 Sawpit Ln Topo

T-1

SHEET 1 OF 1 SHT.



EXISTING SITE PLAN

REVISIONS	BY

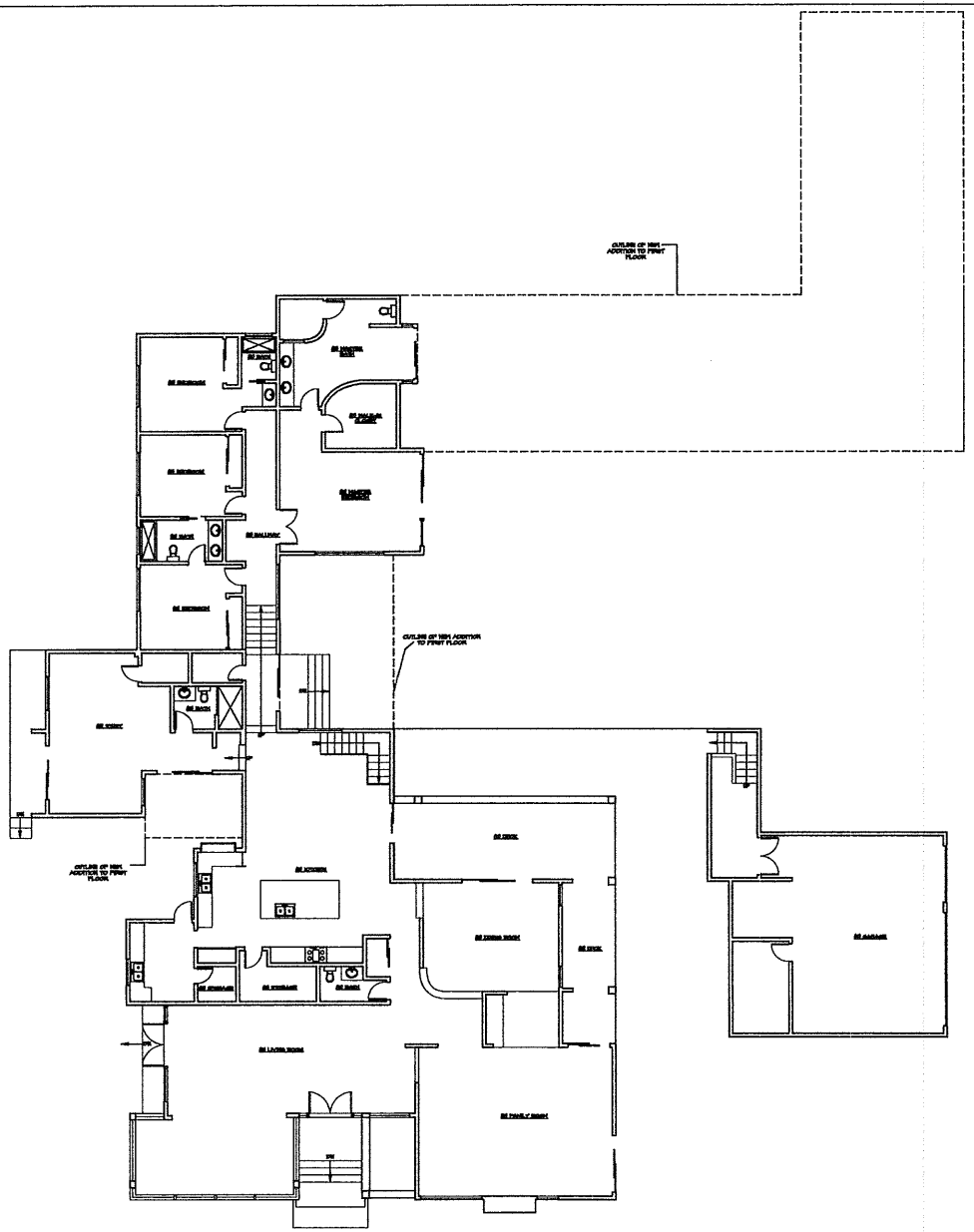
James V. Coane & Associates
Architects
30 North Raymond Avenue, Suite 611, Pasadena, California 91103 T 626 584 6922 F 626 584 6864

EXISTING SITE PLAN

PRIVATE RESIDENCE
158 SAWPIT LN
BRADBURY, CA 91008

Date
Scale
Drawn
Job
Sheet

EX1.1
Of Sheets



EXISTING FLOOR PLAN+ OUTLINE OF FIRST FLOOR NEW ADDITION

0' 4' 12' 24'

REVISIONS	BY

James V. Coane & Associates
Architects
33 North Raymond Avenue, Suite 611, Pasadena, California 91103 T 626 584 0222 F 626 584 0884

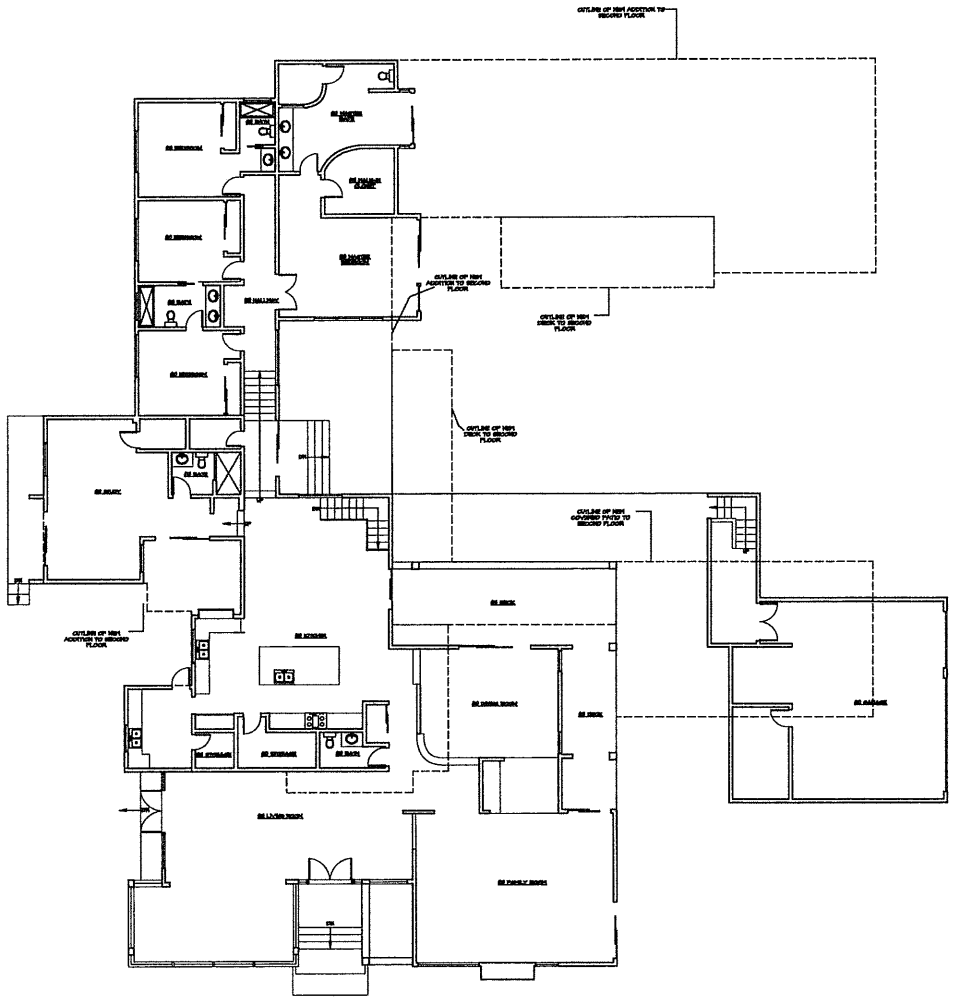
EXISTING FLOOR PLAN

PRIVATE RESIDENCE
158 SAWPIT LN
BRADBURY, CA 91008

Date
Scale
Drawn
Job
Sheet

EX2.1

of Sheets



EXISTING FLOOR PLAN + OUTLINE OF SECOND FLOOR NEW ADDITION

0' 4' 12' 20'

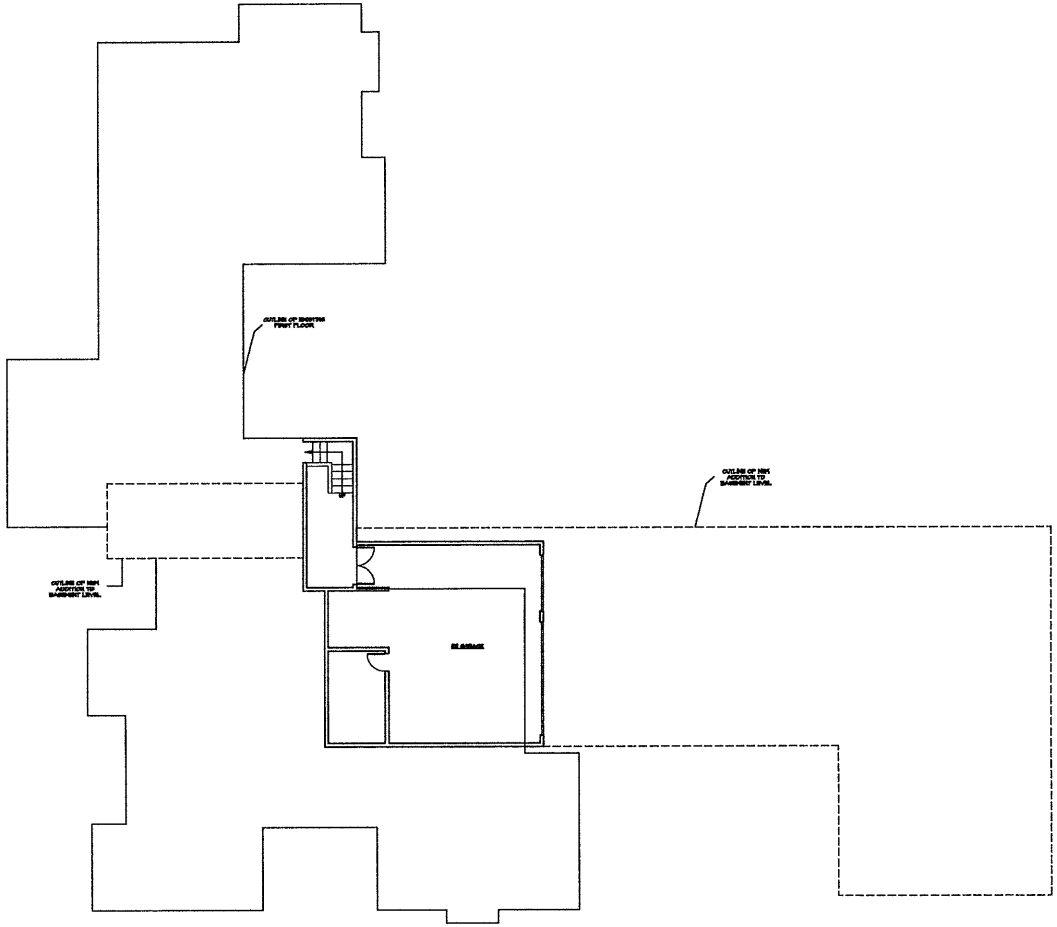
REVISIONS	BY

James V. Coane & Associates
Architects
301North Raymond Avenue, Suite 111, Pasadena, California 91103 T 626 584 6820 F 626 584 6884

EXISTING FLOOR PLAN

PRIVATE RESIDENCE
158 SAWPIT LN
BRADBURY, CA 91008

Date
Scale
Drawn
Job
Sheet
EX2.2
of Sheets



EXISTING FLOOR PLAN + OUTLINE OF BASEMENT LEVEL NEW ADDITION

0' 4' 12' 28'

REVISIONS	BY

James V. Coane & Associates
Architects
33 North Raymond Avenue, Suite 611, Pasadena, California 91103 T 626 584 6802 F 626 584 6964

EXISTING FLOOR PLAN

PRIVATE RESIDENCE
158 SAWPIT LN
BRADBURY, CA 91008

Date
Scale
Drawn
Job
Sheet
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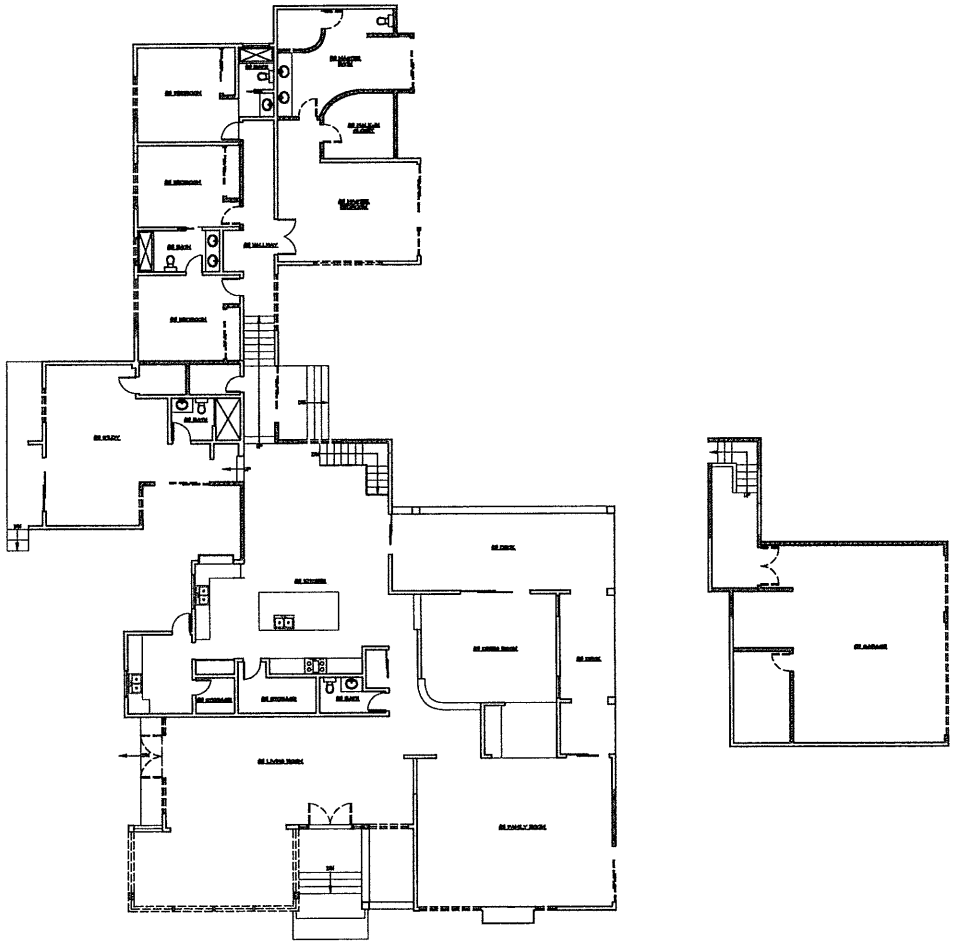
of Sheets



LEGEND

- EXISTING WALLS TO REMAIN
- EXISTING WALLS TO BE REMOVED
- EXISTING WINDOW TO BE REMOVED
- EXISTING DOOR TO BE REMOVED

DEMOLITION PLAN NOTES:

1) CONTRACTOR TO VERIFY ALL FIELD DIMENSIONS, ALL BEAMS, RAFTERS, JOIST SIZES, ETC. NOTED AS EXISTING ON PLANS PRIOR TO STARTING CONSTRUCTION.

2) GENERAL CONTRACTOR AND (OR) FRAMING CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING PERMANENT AND TEMPORARY SUPPORTING SYSTEMS AS NECESSARY TO ACHIEVE STRUCTURAL INTEGRITY OF EXISTING WALLS, ROOF, DURING THE COURSE OF CONSTRUCTION.

DEMOLITION PLAN

0' 8' 16' 32'

REVISIONS	BY

James V. Coane & Associates
Architects
32 North Raymond Avenue, Suite 611, Pasadena, California 91103 T 626 584 0922 F 626 584 0984

DEMOLITION PLAN

PRIVATE RESIDENCE
158 SAWPIT LN
BRADBURY, CA 91008

Date
Scale
Drawn
Job
Sheet

D2.1
Of Sheets

EXISTING ROOF PLAN

0' 4' 12' 20'

REVISIONS	BY

James V. Coane & Associates
Architects
30 North Raymond Avenue, Suite 611, Pasadena, California 91103 T 626 584 6022 F 626 584 0484

EXISTING ROOF PLAN

PRIVATE RESIDENCE
158 SAWPIT LN
BRADBURY, CA 91008

Size
Scale
Drawn
Job
Date

EX4.1

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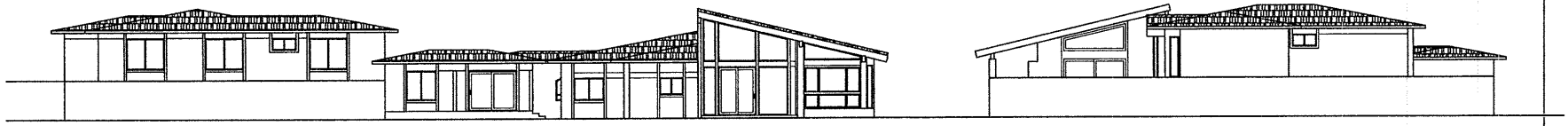

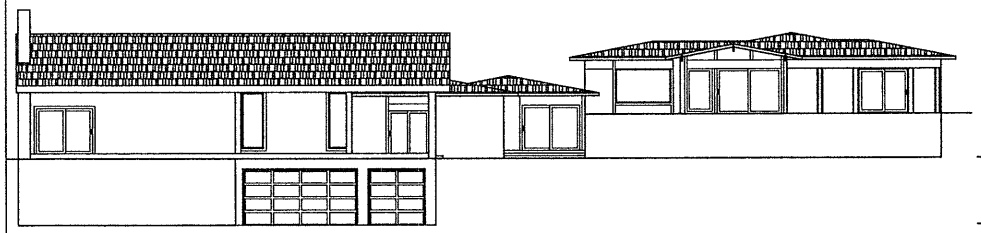

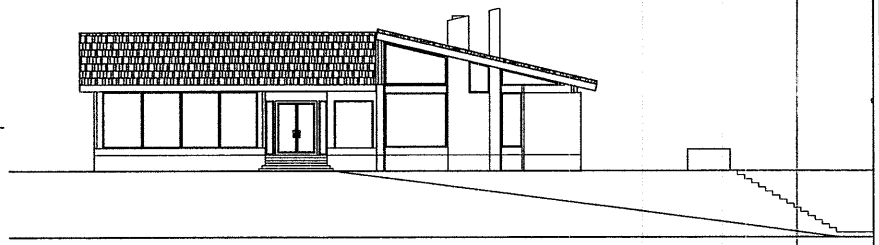

EXISTING ELEVATIONS

0' 4' 12' 28'

REVISIONS	BY

James V. Coane & Associates
Architects
301 North Raymond Avenue, Suite 611, Pasadena, California 91103 T 626 564 6922 F 626 564 6964

EXISTING ROOF PLAN

PRIVATE RESIDENCE
158 SAWPIT LN
BRADBURY, CA 91008

Date
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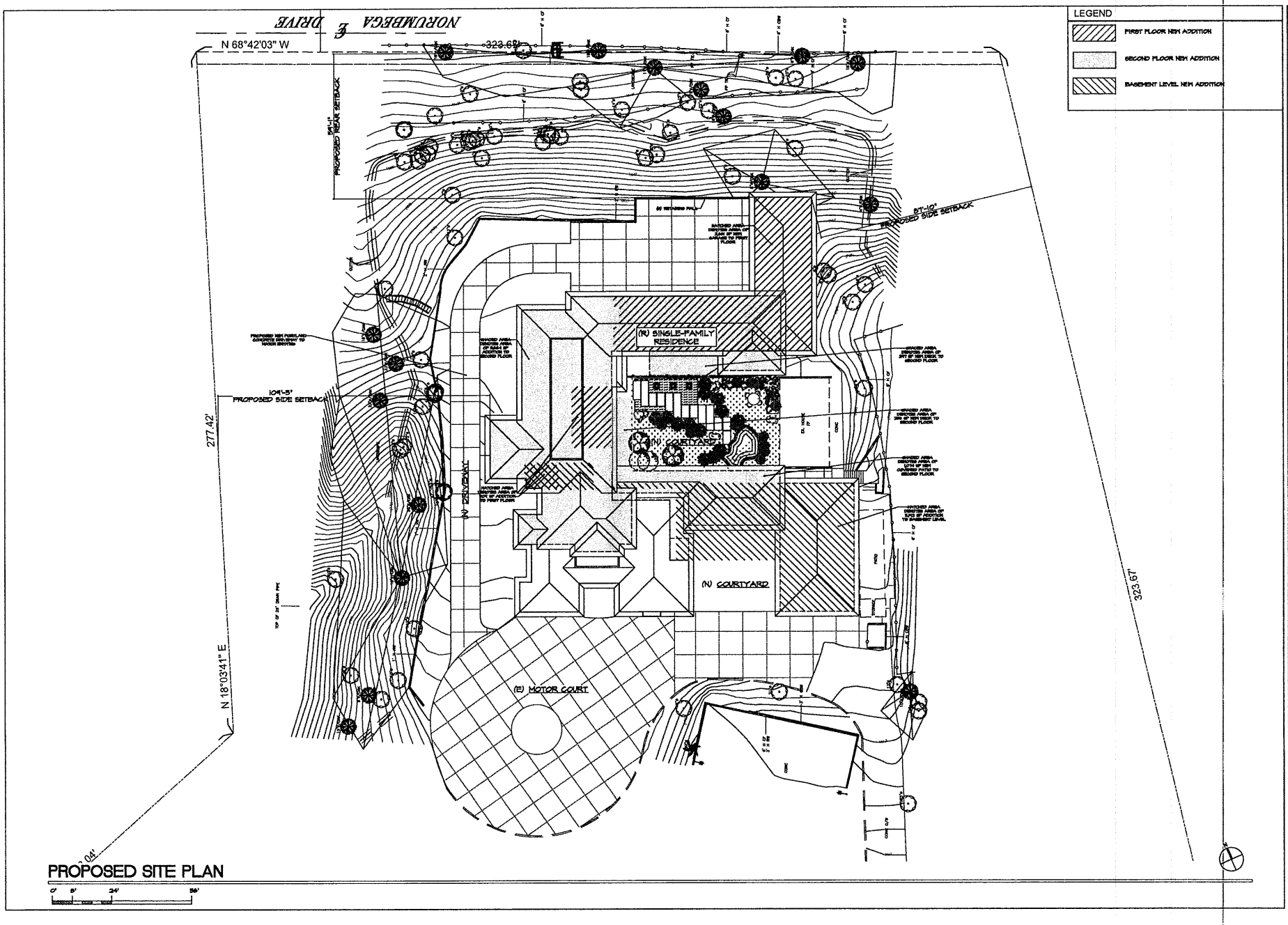
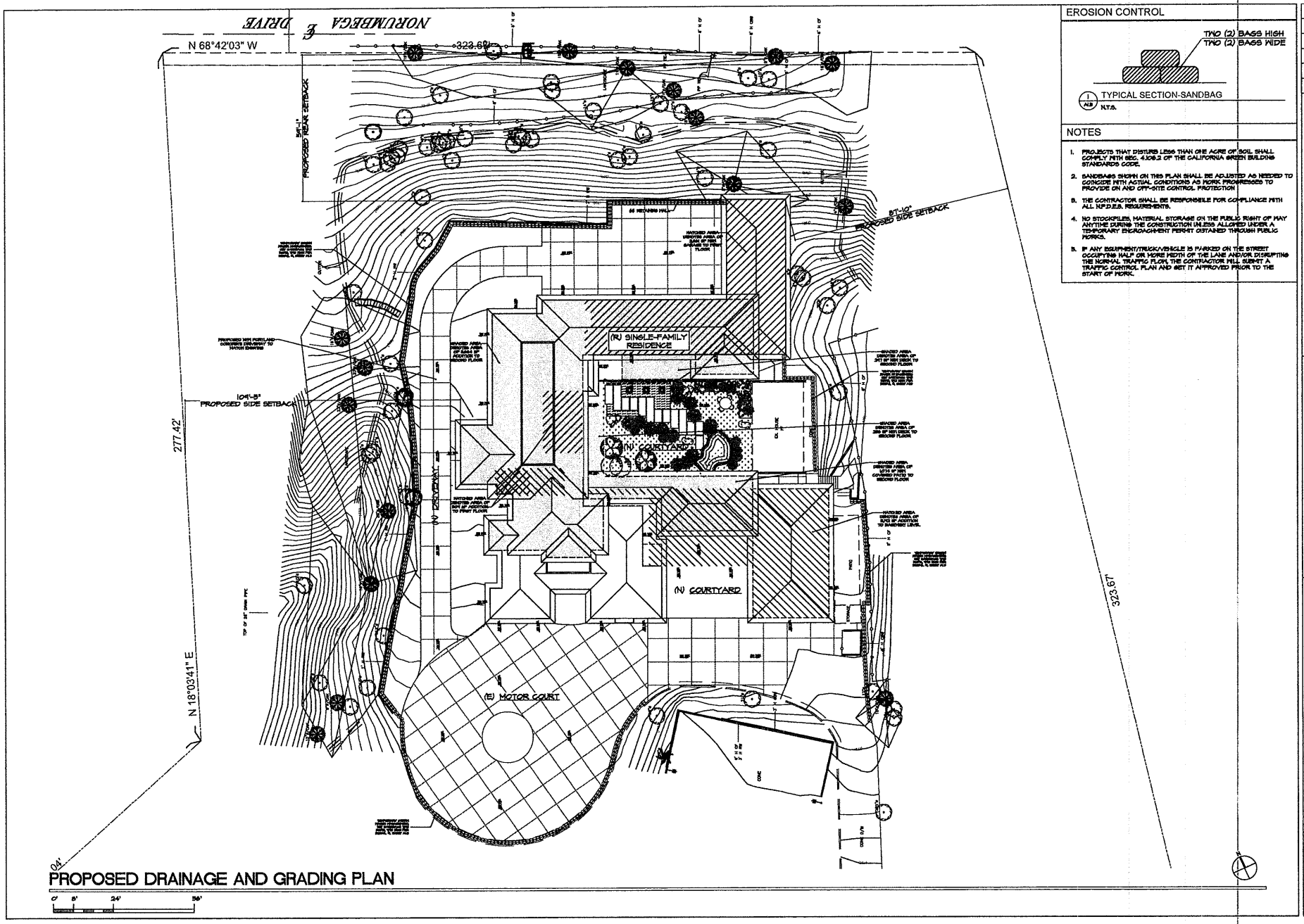

NORUMBEGA DRIVE
N 68°42'03" W
323.68'
PROPOSED REAR SETBACK
PROPOSED SIDE SETBACK
PROPOSED SIDE SETBACK
277.42'
N 18°03'41" E
323.67'
(R) SINGLE-FAMILY RESIDENCE
(N) COURTYARD
(N) COURTYARD
(N) DRIVEWAY
(E) MOTOR COURT
LEGEND
FIRST FLOOR NEW ADDITION
SECOND FLOOR NEW ADDITION
BASEMENT LEVEL NEW ADDITION
REVISIONS
BY
James V. Coane & Associates
Architects
PROPOSED SITE PLAN
PRIVATE RESIDENCE
158 SAWPIT LN
BRADBURY, CA 91008
A1.1
PROPOSED SITE PLAN
0'
8'
24'
56'



PROPOSED DRAINAGE AND GRADING PLAN

EROSION CONTROL

1/A0 TYPICAL SECTION-SANDBAG
N.T.S.

NOTES

1. PROJECTS THAT DISTURB LESS THAN ONE ACRE OF SOIL SHALL COMPLY WITH SEC. 4.106.3 OF THE CALIFORNIA GREEN BUILDING STANDARDS CODE.
2. SANDBAGS SHOWN ON THIS PLAN SHALL BE ADJUSTED AS NEEDED TO COINCIDE WITH ACTUAL CONDITIONS AS WORK PROGRESSES TO PROVIDE ON AND OFF-SITE CONTROL PROTECTION
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COMPLIANCE WITH ALL NPDES REQUIREMENTS.
4. NO STOCKPILES, MATERIAL STORAGE ON THE PUBLIC RIGHT OF WAY ANYTIME DURING THE CONSTRUCTION UNLESS ALLOWED UNDER A TEMPORARY ENCROACHMENT PERMIT OBTAINED THROUGH PUBLIC WORKS.
5. IF ANY EQUIPMENT/TRUCK/VEHICLE IS PARKED ON THE STREET OCCUPYING HALF OR MORE WIDTH OF THE LANE AND/OR DISRUPTING THE NORMAL TRAFFIC FLOW, THE CONTRACTOR WILL SUBMIT A TRAFFIC CONTROL PLAN AND GET IT APPROVED PRIOR TO THE START OF WORK.

REVISIONS	BY

James V. Coane & Associates
Architects
3174 North Raymond Avenue, Suite 011, Pasadena, California 91103 T 626 564 6922 F 626 564 6984

PROPOSED DRAINAGE AND GRADING PLAN

PRIVATE RESIDENCE
159 SAWPIT LN
BRADBURY, CA 91008

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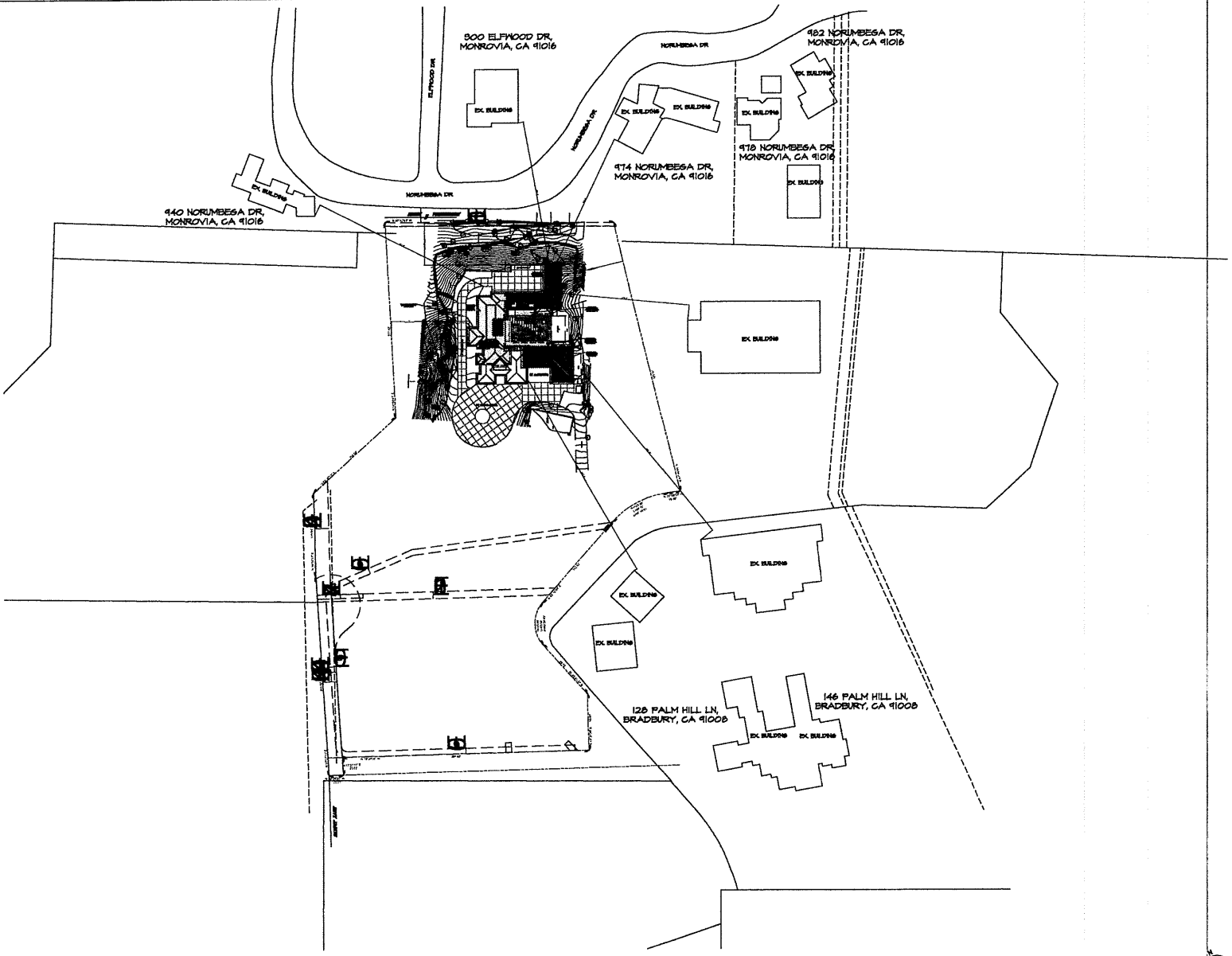


PROPOSED VICINITY MAP

0' 82' 164' 224'

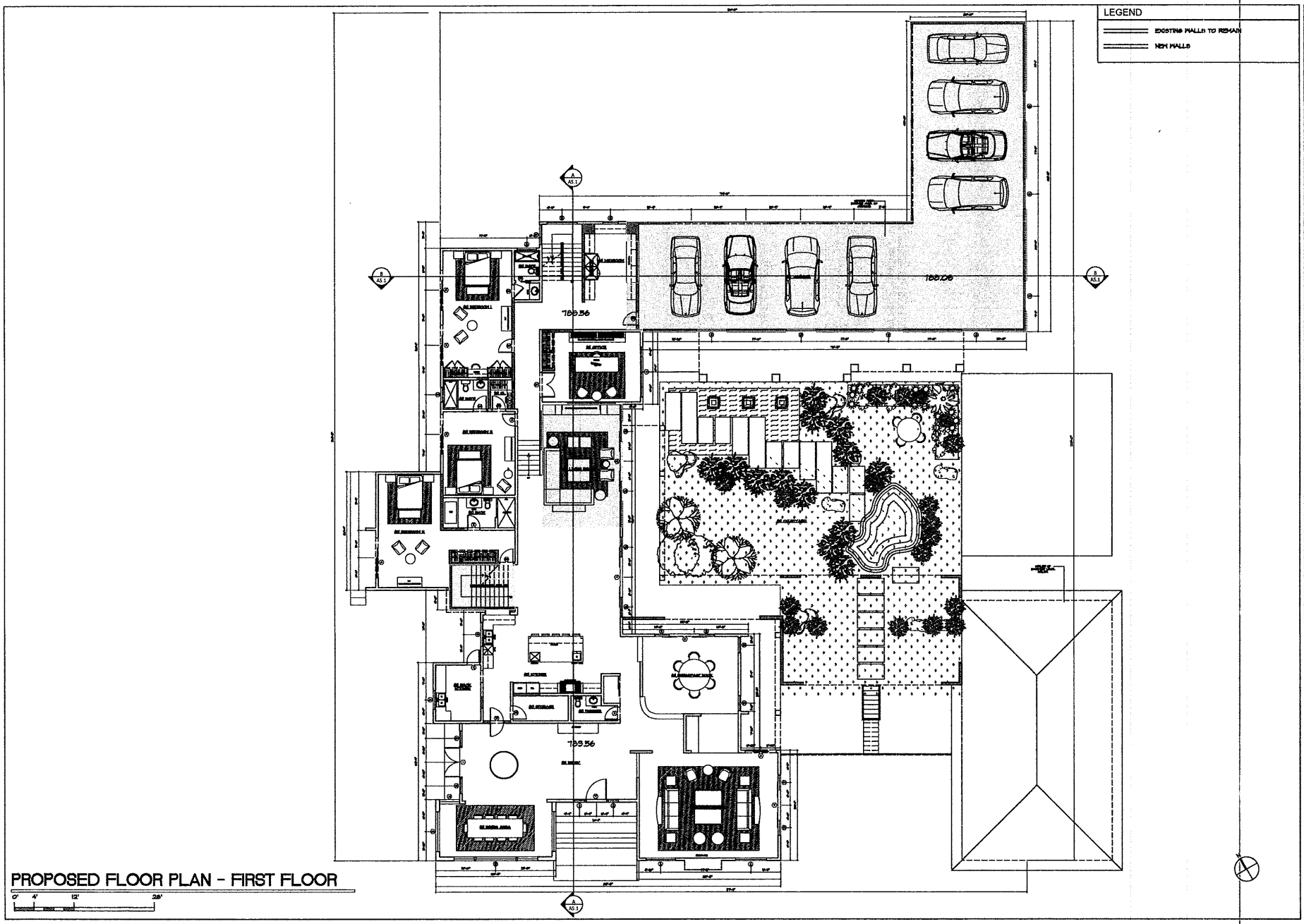
REVISIONS	BY

James V. Coane & Associates
Architects
30 North Raymond Avenue, Suite 811, Pasadena, California 91103 T 626 584 0922 F 626 584 0584

PROPOSED VICINITY MAP

PRIVATE RESIDENCE
158 SAWPIT LN
BRADBURY, CA 91008

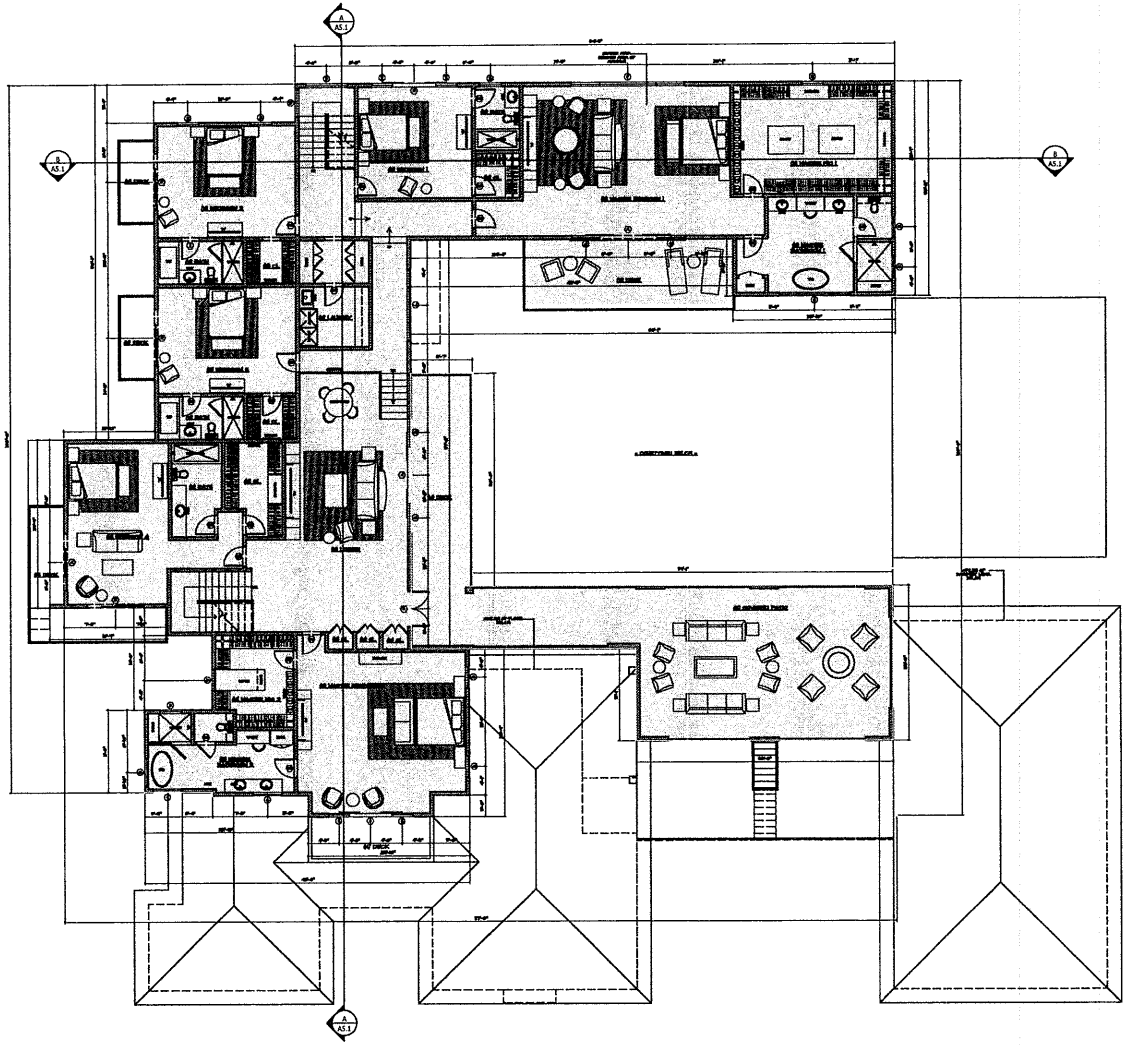
Date
Scale
Drawn
Job
Sheet
A1.3
of Sheets


LEGEND
EXISTING WALLS TO REMAIN
NEW WALLS
REVISIONS
BY
James V. Coane & Associates
Architects
PROPSOED FLOOR PLAN - FIRST FLOOR
PRIVATE RESIDENCE
158 SAWPIT LN
BRADBURY, CA 91008
Date
Scale
Drawn
Job
Sheet
A2.1
Of Sheets
PROPOSED FLOOR PLAN - FIRST FLOOR
0' 4' 12' 28'

LEGEND

EXISTING WALLS TO REMAIN

NEW WALLS



PROPOSED FLOOR PLAN - SECOND FLOOR

0' 4' 12' 20'

REVISIONS	BY

James V. Coane & Associates
Architects

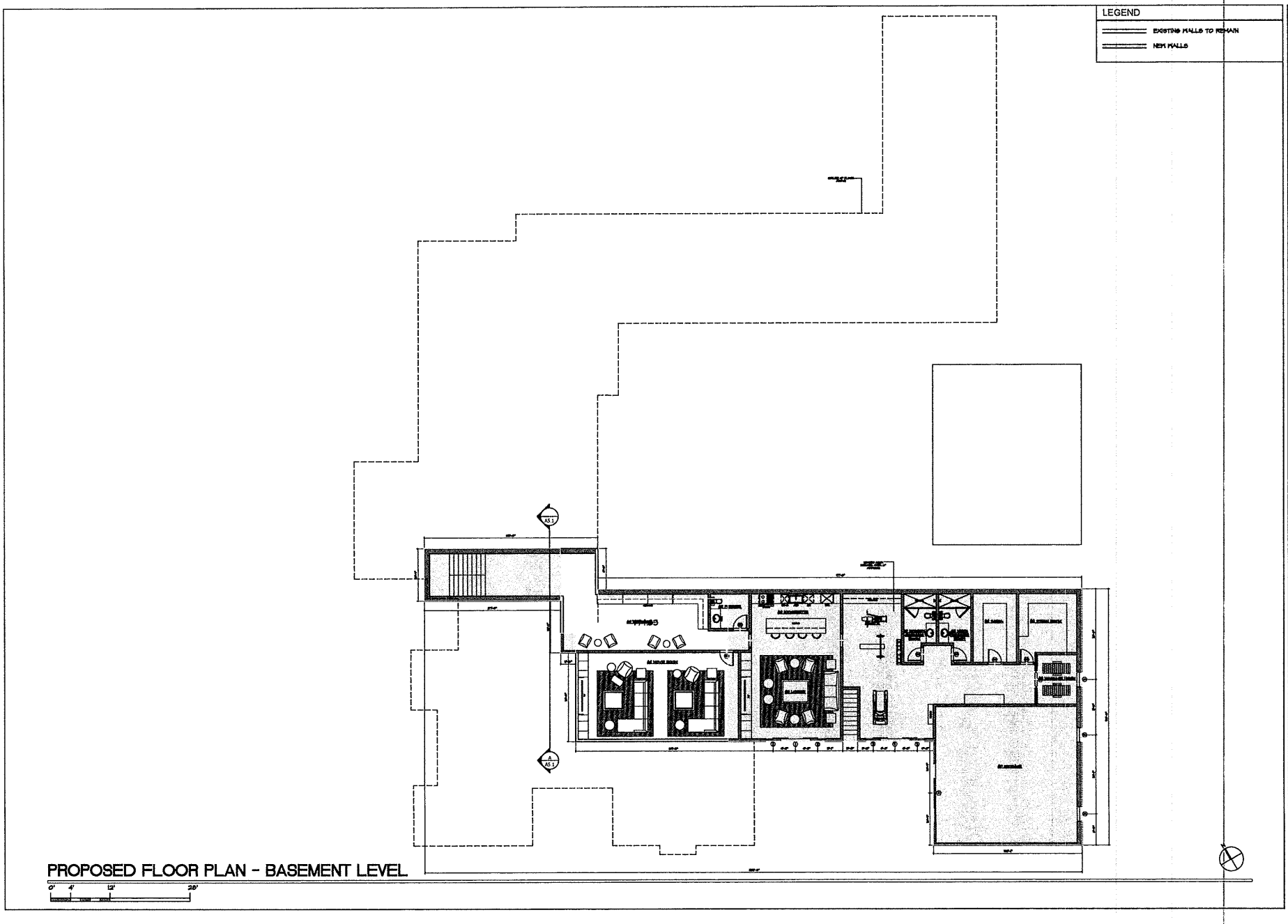
PROPSOED FLOOR PLAN - SECOND FLOOR

PRIVATE RESIDENCE
158 SAWPIT LN
BRADBURY, CA 91008

Date
Scale
Drawn
Job
Sheet

A2.2

of Sheets



PROPOSED FLOOR PLAN - BASEMENT LEVEL

REVISIONS	BY

James V. Coane & Associates
Architects
30 North Raymond Avenue, Suite 511, Pasadena, California 91103 T 626 584 8922 F 626 584 0984

PROPSOED FLOOR PLAN - BASEMENT LEVEL

PRIVATE RESIDENCE
158 SAWPIT LN
BRADBURY, CA 91008

Date
Scale
Drawn
Job
Sheet
A2.3
Of Sheets

ROOFING MATERIALS:

PITCHED ROOF:
STANDING SEAM METAL ROOF
CUSTOM-BILT METALS
"TITAN R COOL ROOF"
CB-150 PANEL, 16"
COLOR: STORM GREY
ICC: ESR-2048; CLASS A

BUILT-UP ROOF:
TARCO LEAK BARRIER
EASYSTICK PLUS
MODIFIED BITUMEN ROOFING
MEMBRANE
CLASS A; ICC ESR-3297

GUTTERS* AND DOWNSPOUTS
MATERIAL : ALUMINUM
SHALL BE CONSTRUCTED OF NON-COMUSTIBLE MATERIALS PER UMC SEC. 504.4

*NOTE - ROOF GUTTERS SHALL BE PROVIDED WITH A MEANS TO PREVENT THE ACCUMULATION OF LEAVES AND DEBRIS IN THE GUTTER. (RESIDENTIAL CODE R327.5.4 AND BUILDING CODE 706A.4)

VENTILATION NOTES:

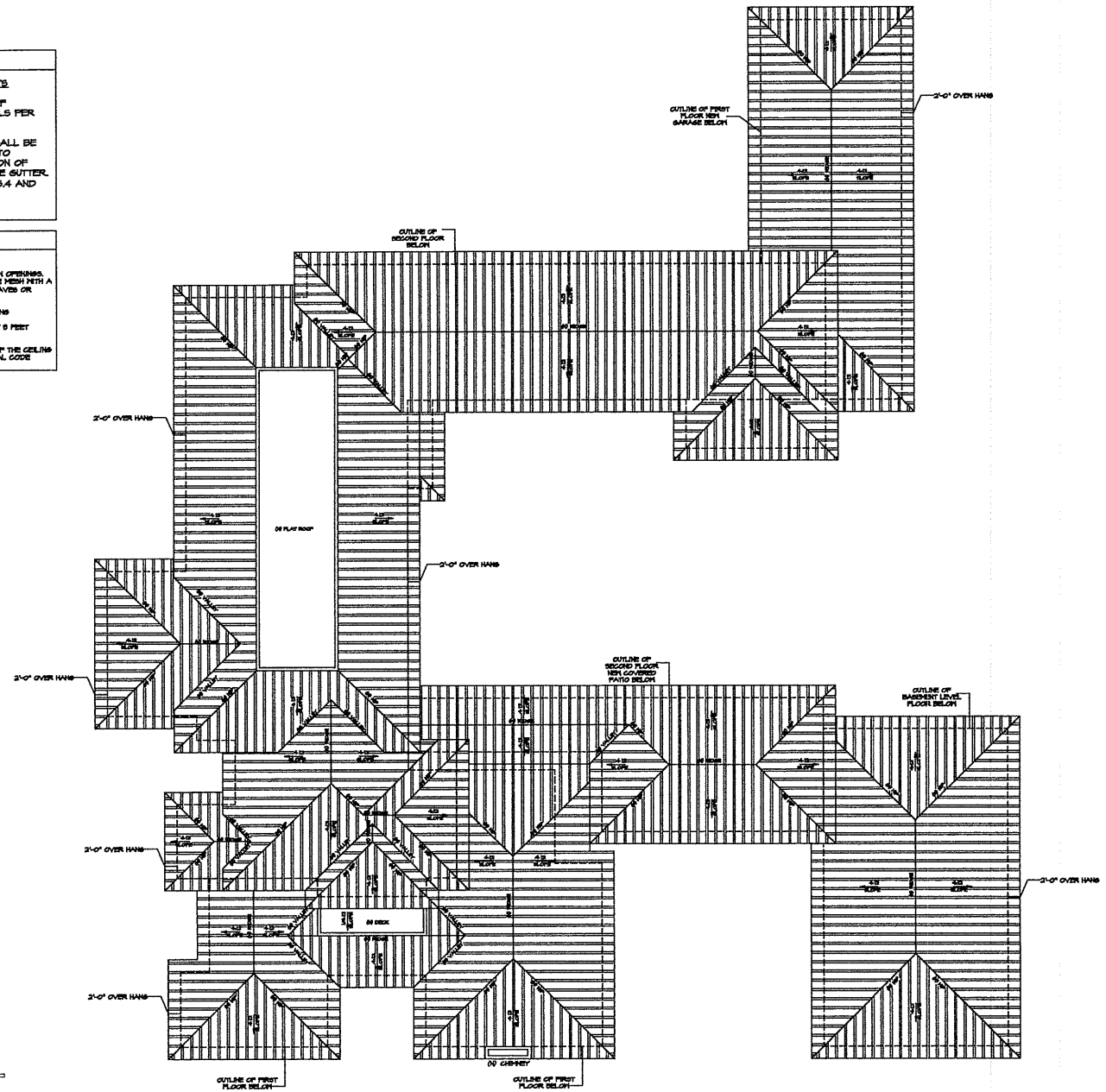
1. PROVIDE VAPOR RETARDER AT ROOF JOISTS.

2. VENTS SHALL RESIST THE INTRUSION OF FLAME AND EMBERS THROUGH THE VENTILATION OPENINGS. VENT OPENINGS SHALL BE PROTECTED BY CORROSION-RESISTANT, NONCOMBUSTIBLE WIRE MESH WITH A MINIMUM 1/8" OPENINGS AND SHALL NOT EXCEED 1/2". VENTS SHALL NOT BE INSTALLED IN EAVES OR CORNICES. (PER CBC 706A.2 AND CRC R327.8.1)

3. A MIN. OF 1" AIR SPACE SHALL BE PROVIDED BETWEEN INSULATION AND ROOF SHEATHING

4. ROOF VENTS (50% OF THE REQUIRED VENTILATION AREA) MUST BE LOCATED AT LEAST 8 FEET ABOVE THE REQUIRED EAVE VENTS.

5. CLASS I OR II VAPOR BARRIER SHALL BE INSTALLED ON THE WARM -IN-WINTER SIDE OF THE CEILING IN ACCORDANCE TO THE PROVISIONS OF CHAPTER 8 SECTION R806.2 OF THE RESIDENTIAL CODE



PROPOSED ROOF PLAN

0' 4' 12' 28'

REVISIONS	BY

James V. Coane & Associates
Architects
301 North Raymond Avenue, Suite 611, Pasadena, California 91103 T 626 584 6922 F 626 584 6984

PROPOSED ROOF PLAN

PRIVATE RESIDENCE
158 SAWPIT LN
BRADBURY, CA 91008

Date
Scale
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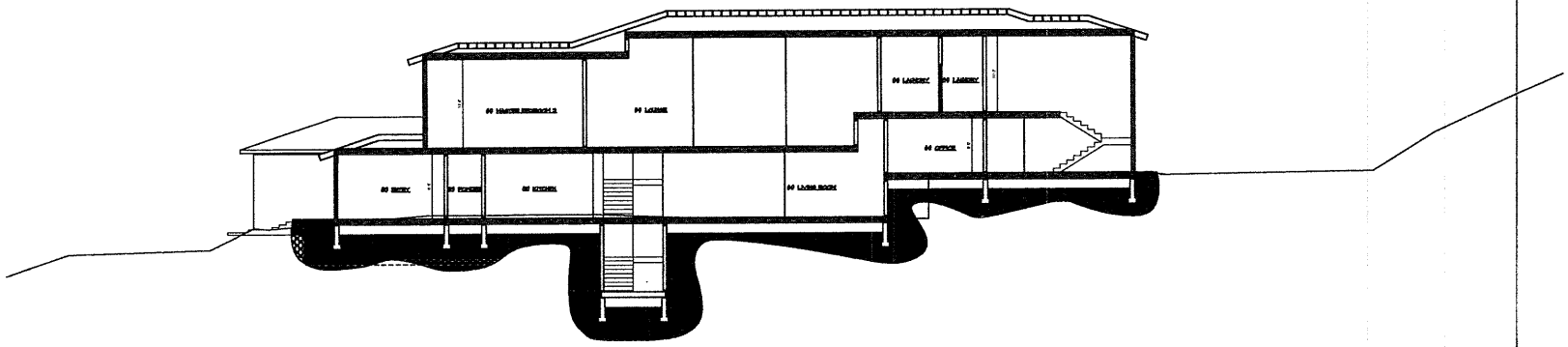
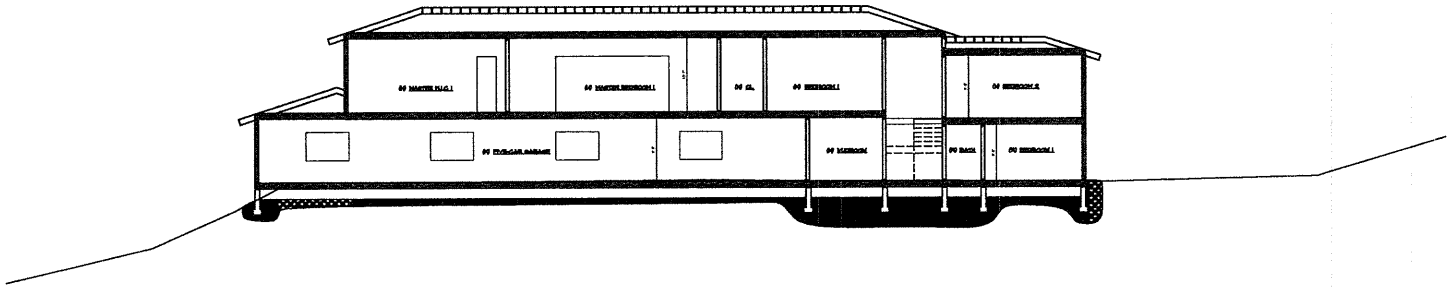


SECTION A



SECTION B

PROPOSED SECTIONS

0' 4' 12' 28'

REVISIONS	BY

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30 North Raymond Avenue, Suite 611 - Pasadena, California 91103 T 626 584 0827 F 626 584 0486

PROPOSED SECTIONS

PRIVATE RESIDENCE
158 SAWPIT LN
BRADBURY, CA 91008

Date
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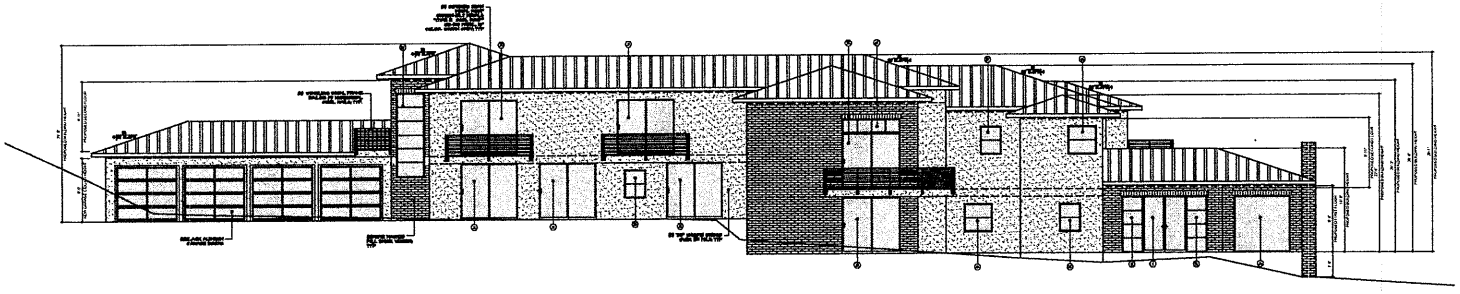
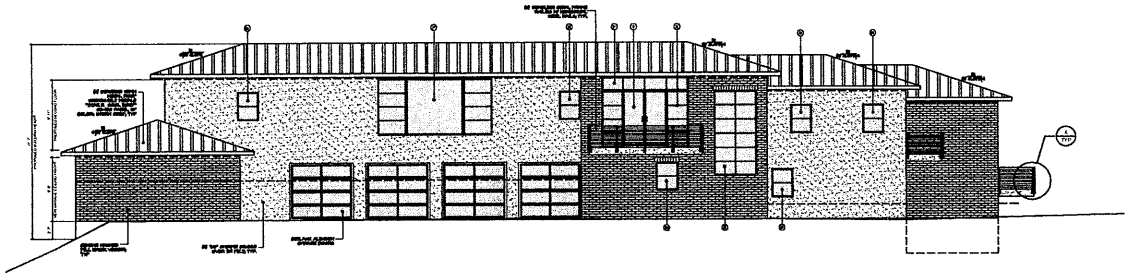
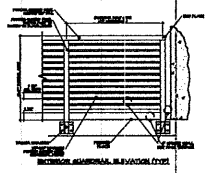
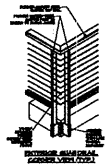


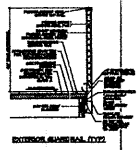
WEST ELEVATION



NORTH ELEVATION







GUARDRAIL DETAIL

PROPOSED ELEVATIONS

0' 4' 12' 28'

REVISIONS	BY

James V. Coane & Associates
Architects
33 North Raymond Avenue, Suite 611, Pasadena, California 91103 T 626 544 4922 F 626 544 5984

PROPSOED ELEVATIONS

PRIVATE RESIDENCE
158 SAWPIT LN
BRADBURY, CA 91008

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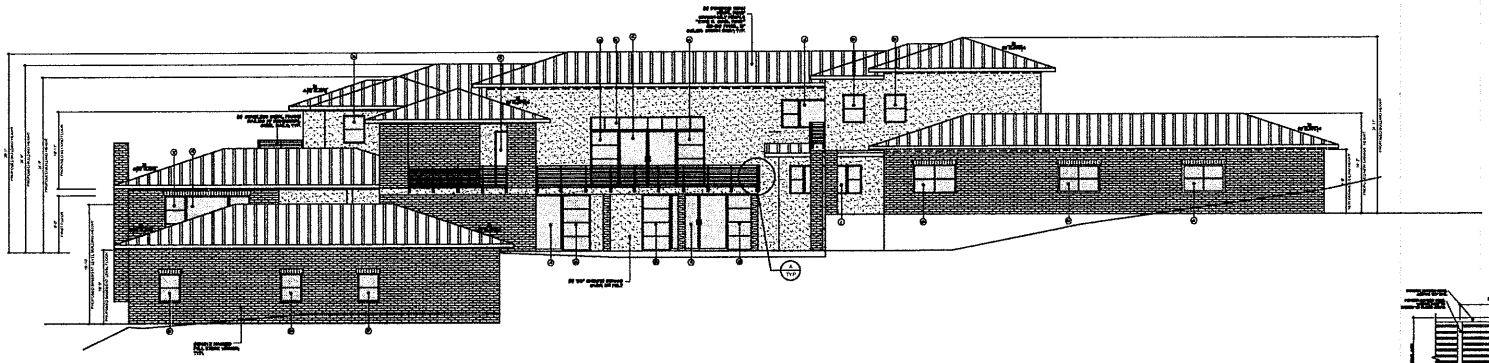
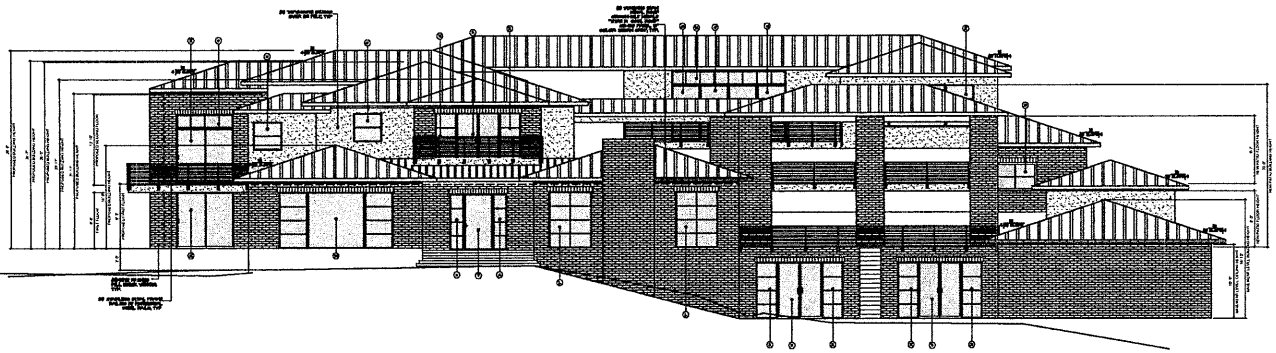
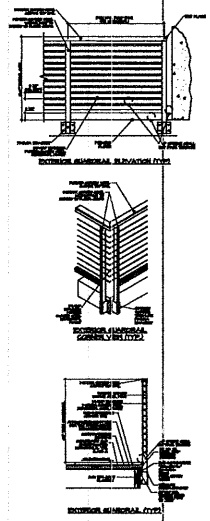


EAST ELEVATION



SOUTH ELEVATION



GUARDRAIL DETAIL

PROPOSED ELEVATIONS

0' 4' 12' 28'

REVISIONS	BY

James V. Coane & Associates
Architects

PROPSOED ELEVATIONS

PRIVATE RESIDENCE
158 SAWPIT LN
BRADBURY, CA 91008

Date
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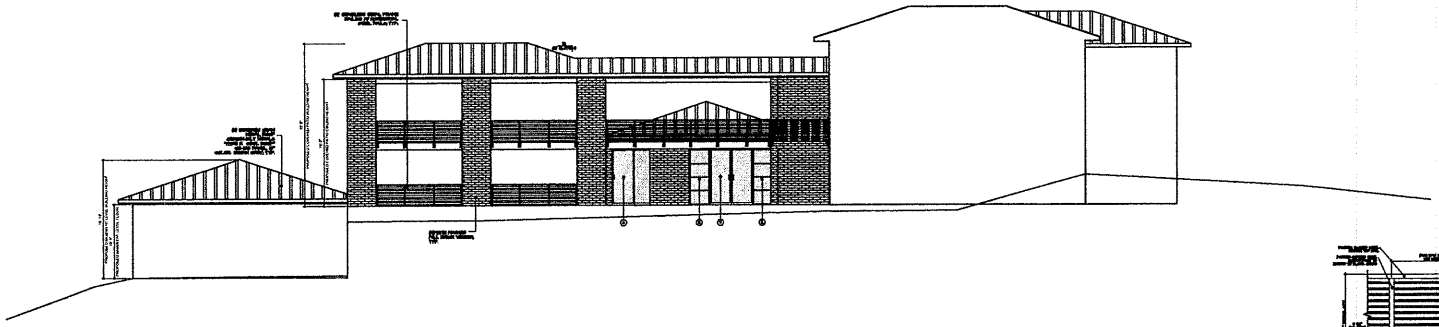
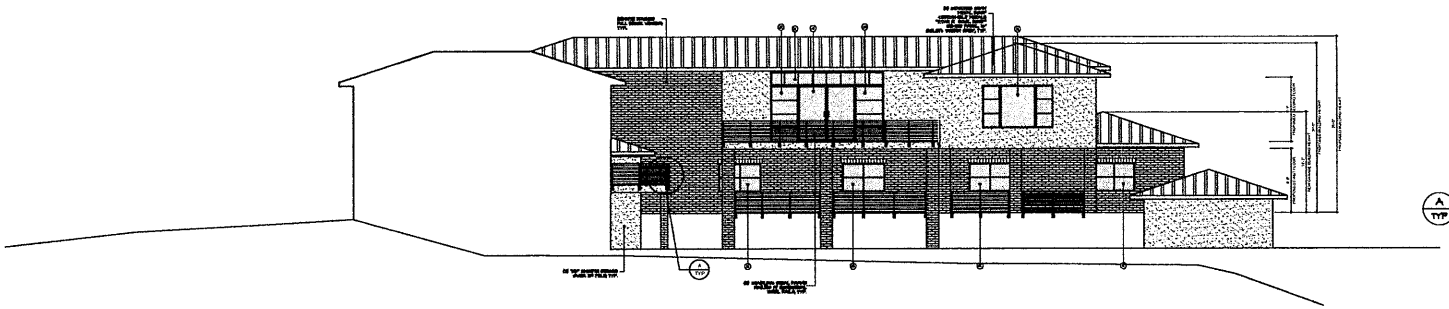
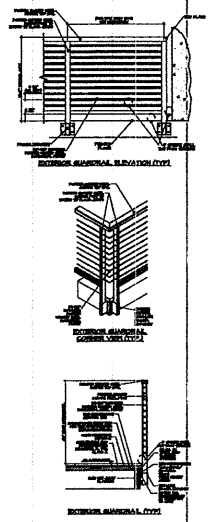
Of Sheets



COURTYARD ELEVATION



COURTYARD ELEVATION



GUARDRAIL DETAIL

PROPOSED ELEVATIONS

0' 4' 12' 28'

REVISIONS	BY

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33 North Raymond Avenue, Suite 611, Pasadena, California 91103 T 626 584 6922 F 626 584 6964

PROPSOED ELEVATIONS

PRIVATE RESIDENCE
158 SAWPIT LN
BRADBURY, CA 91008

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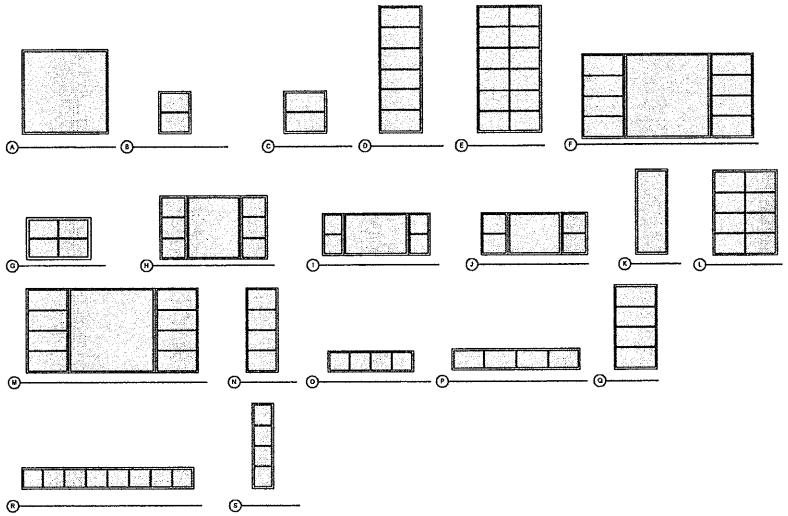
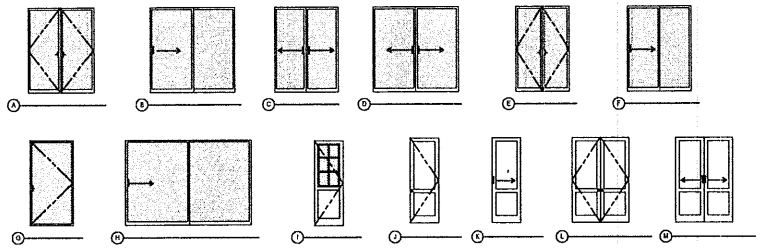


WINDOW TYPES



DOOR TYPES

WINDOW SCHEDULE

- ALL NEW GLAZING SHALL COMPLY WITH STANDARDS OF THE U.S. CONSUMER PRODUCT SAFETY COMMISSION. MANUFACTURERS TO SUPPLY CERTIFICATE OF COMPLIANCE TO THE OWNER

	SIZE		STYLE			MATERIALS			FINISH		NOTES
	WIDTH	HEIGHT	TYPE	OPERATION	SASH	LITES	FRAMES / SASH	GLASS	INTERIOR	EXTERIOR	
A	8'-0"	8'-0"	'A'	FIXED	0	1	ALUM. CLAD	CLEAR/TEMP / DBL. PANE	PAINT	PAINT	LINCOLN WINDOW
B	3'-0"	4'-0"	'B'	CASEMENT	1	2	ALUM. CLAD	CLEAR/TEMP / DBL. PANE	PAINT	PAINT	LINCOLN WINDOW
C	4'-0"	4'-0"	'C'	CASEMENT	1	2	ALUM. CLAD	CLEAR/TEMP / DBL. PANE	PAINT	PAINT	LINCOLN WINDOW
D	4'-0"	12'-0"	'D'	FIXED	0	6	ALUM. CLAD	CLEAR/TEMP / DBL. PANE	PAINT	PAINT	LINCOLN WINDOW
E	8'-0"	12'-0"	'E'	FIXED	0	12	ALUM. CLAD	CLEAR/TEMP / DBL. PANE	PAINT	PAINT	LINCOLN WINDOW
F	16'-0"	8'-0"	'F'	DBL. CASEMENT	0	9	ALUM. CLAD	CLEAR/TEMP / DBL. PANE	PAINT	PAINT	LINCOLN WINDOW
G	6'-0"	4'-0"	'G'	CASEMENT	0	4	ALUM. CLAD	CLEAR/TEMP / DBL. PANE	PAINT	PAINT	LINCOLN WINDOW
H	10'-0"	8'-0"	'H'	DBL. CASEMENT	0	7	ALUM. CLAD	CLEAR/TEMP / DBL. PANE	PAINT	PAINT	LINCOLN WINDOW
I	10'-0"	4'-0"	'I'	DBL. CASEMENT	0	5	ALUM. CLAD	CLEAR/TEMP / DBL. PANE	PAINT	PAINT	LINCOLN WINDOW
J	10'-0"	4'-0"	'J'	DBL. CASEMENT	0	5	ALUM. CLAD	CLEAR/TEMP / DBL. PANE	PAINT	PAINT	LINCOLN WINDOW
K	3'-0"	8'-0"	'K'	FIXED	0	1	ALUM. CLAD	CLEAR/TEMP / DBL. PANE	PAINT	PAINT	LINCOLN WINDOW
L	6'-0"	8'-0"	'L'	DBL. CASEMENT	2	8	ALUM. CLAD	CLEAR/TEMP / DBL. PANE	PAINT	PAINT	LINCOLN WINDOW
M	16'-0"	8'-0"	'M'	DBL. CASEMENT	2	9	ALUM. CLAD	CLEAR/TEMP / DBL. PANE	PAINT	PAINT	LINCOLN WINDOW
N	3'-0"	8'-0"	'N'	FIXED	0	4	ALUM. CLAD	CLEAR/TEMP / DBL. PANE	PAINT	PAINT	LINCOLN WINDOW
O	5'-0"	2'-0"	'O'	FIXED	0	4	ALUM. CLAD	CLEAR/TEMP / DBL. PANE	PAINT	PAINT	LINCOLN WINDOW - TRANSOM WINDOW
P	12'-0"	2'-0"	'P'	FIXED	0	4	ALUM. CLAD	CLEAR/TEMP / DBL. PANE	PAINT	PAINT	LINCOLN WINDOW - TRANSOM WINDOW
Q	4'-0"	8'-0"	'Q'	FIXED	0	4	ALUM. CLAD	CLEAR/TEMP / DBL. PANE	PAINT	PAINT	LINCOLN WINDOW
R	16'-0"	2'-0"	'R'	FIXED	1	3	ALUM. CLAD	CLEAR/TEMP / DBL. PANE	PAINT	PAINT	LINCOLN WINDOW - TRANSOM WINDOW
S	2'-0"	8'-0"	'S'	CASEMENT	1	2	ALUM. CLAD	CLEAR/TEMP / DBL. PANE	PAINT	PAINT	LINCOLN WINDOW

DOOR SCHEDULE

- ALL NEW GLAZING SHALL COMPLY WITH STANDARDS OF THE U.S. CONSUMER PRODUCT SAFETY COMMISSION. MANUFACTURERS TO SUPPLY CERTIFICATE OF COMPLIANCE TO THE OWNER

	SIZE			STYLE		MATERIAL		FINISH	
	WIDTH	HEIGHT	THICKNESS	TYPE	LITES	FRAME BODY	GLASS	INTERIOR	EXTERIOR
1	8'-0"	8'-0"	1 3/4"	SWINGING 'A'	2	WOOD	CLEAR/TEMP.	PAINTED	ALUM. CLAD
B	8'-0"	8'-0"	1 3/4"	SLIDING 'B'	2	WOOD	CLEAR/TEMP.	PAINTED	ALUM. CLAD
C	8'-0"	8'-0"	1 3/4"	SLIDING 'C'	2	WOOD	CLEAR/TEMP.	PAINTED	ALUM. CLAD
D	8'-0"	8'-0"	1 3/4"	SLIDING 'D'	2	WOOD	CLEAR/TEMP.	PAINTED	ALUM. CLAD
E	5'-0"	8'-0"	1 3/4"	SWINGING 'E'	2	WOOD	CLEAR/TEMP.	PAINTED	ALUM. CLAD
F	8'-0"	8'-0"	1 3/4"	SLIDING 'F'	2	WOOD	CLEAR/TEMP.	PAINTED	ALUM. CLAD
G	4'-0"	8'-0"	1 3/4"	SWINGING 'G'	2	WOOD	CLEAR/TEMP.	PAINTED	ALUM. CLAD
H	12'-0"	8'-0"	1 3/4"	SLIDING 'H'	2	WOOD	CLEAR/TEMP.	PAINTED	ALUM. CLAD
I	2'-8"	8'-0"	1 3/4"	SWINGING 'I'	6	WOOD	CLEAR/TEMP.	PAINTED	ALUM. CLAD
J	2'-8"	8'-0"	1 3/4"	SWINGING 'J'	0	WOOD	CLEAR/TEMP.	PAINTED	ALUM. CLAD
K	2'-4"	8'-0"	1 3/4"	SWINGING 'J'	0	WOOD	CLEAR/TEMP.	PAINTED	ALUM. CLAD
M	2'-0"	8'-0"	1 3/4"	SLIDING 'K'	0	WOOD	CLEAR/TEMP.	PAINTED	ALUM. CLAD
N	6'-0"	8'-0"	1 3/4"	SWINGING 'L'	0	WOOD	CLEAR/TEMP.	PAINTED	ALUM. CLAD
O	5'-0"	8'-0"	1 3/4"	SLIDING 'M'	0	WOOD	CLEAR/TEMP.	PAINTED	ALUM. CLAD
P	2'-8"	8'-0"	1 3/4"	DBL. SWINGING 'J'	0	WOOD	CLEAR/TEMP.	PAINTED	ALUM. CLAD

NOTES: THE LOAD RESISTANCE OF GLASS UNDER UNIFORM LOAD SHALL BE DETERMINED IN ACCORDANCE WITH ASTM E 1300

NOTES

ALL GLAZING IN HAZARDOUS LOCATIONS MUST BE IDENTIFIED BY A LABEL (PERMANENT IF TEMPERED) AS SAFTEY GLAZING. HAZARDOUS LOCATIONS ARE IDENTIFIED AS FOLLOWS:

A. GLAZING IN ALL DOORS

B. GLAZING IN DOORS, WALLS (WITH THE EXPOSED EDGE OF GLAZING LESS THAN 60" ABOVE DRAIN INLET) AND ENCLOSURES FOR BATHTUBS, SHOWERS, WHIRLPOOLS, SPAS, ETC.

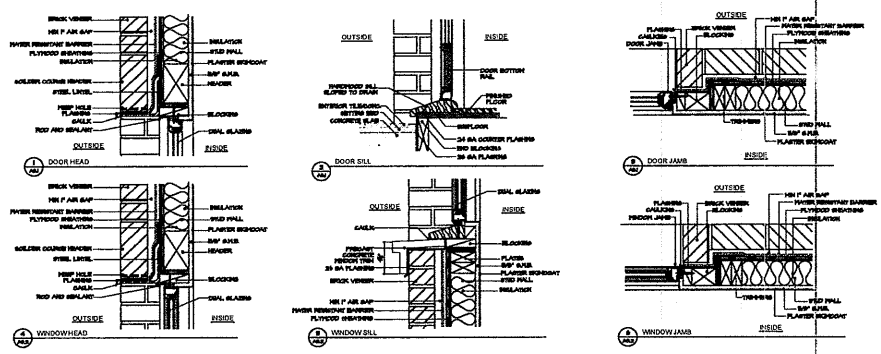
C. GLAZING WITHIN A 24" ARC OF A DOOR EDGE.

D. GLAZING PANELS OVER 9 SQUARE FEET HAVING THE LOWEST EDGE LESS THAN 18" ABOVE THE FINISH FLOOR AND HAVING A TOP EDGE GREATER THAN 36" ABOVE THE FLOOR, AND WITH 36" HORIZONTALLY OF A WALKING SURFACE.

E. GLAZING IN GUARDRAILS.

F. GLAZING IN WALL/FENCES USED AS POOL BARRIER FOR INDOOR AND OUTDOOR SWIMMINGPOOL.

G. GLAZING WITHIN 36" HORIZONTALLY FROM THE WALKING SURFACE STAIRWAYS WITH BOTTOM EDGE LESS THAN 60" ABOVE WALKING SURFACE.



DOOR SCHEDULE AND DETAILS

REVISIONS	BY

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DOOR AND WINDOW SCHEDULE

PRIVATE RESIDENCE
158 SAWPIT LN
BRADBURY, CA 91008

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of Sheets

Robert Jones, Chairperson (District 4)
~~Chelsea Hunt, Vice Chairperson (District 5)~~
Frank Hernandez, Commission Member (District 1)
Darlene Kuba, Commission Member (District 3)
Bill Novodor, Commission Member (District 2)

City of Bradbury
Planning Commission
Agenda Report

TO: **Honorable Chairperson and Commission Members**

FROM: **Jim Kasama, City Planner**

DATE: **April 27, 2022**

SUBJECT: **1433 LEMON AVENUE – RESOLUTION NO. PC 22-303**

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF BRADBURY, CALIFORNIA, SETTING FORTH THE FINDINGS OF FACT AND DECISION WITH A CATEGORICAL EXEMPTION UNDER THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) TO CONDITIONALLY APPROVE ARCHITECTURAL REVIEW NO. AR 22-004 FOR THE REMODELING OF THE EXTERIOR OF THE RESIDENCE AND GARAGE AT 1433 LEMON AVENUE

AGENDA ITEM NO. 8.C.

INTRODUCTION

Mr. Van Ly recently purchased the property at 1433 Lemon Avenue. The house needs extensive interior and exterior work due to termite damage and other deferred maintenance problems. While doing this, Mr. Ly is proposing to remodel the exterior of the house. The property is zoned A-1, and per the Los Angeles County Assessor's data, has an area of approximately 1.26 acres with a four-bedroom, four-bathroom, 4,335 square-foot residence built in 1977. Attached are the Assessor Map and Aerial Photo.

PROJECT DESCRIPTION

The proposed project is to remodel the exterior of the existing residence to a contemporary Country-Mediterranean style. No additional floor area is proposed with the remodel. Attached is a photo of the existing residence with photo-simulations of the proposed new style. Also attached are pictures of the proposed materials.

ANALYSIS

Planning and Zoning

The property is zoned A-1, and even though no additional building area is to be added, the proposed remodel is to be reviewed by the Planning Commission per Section 9.34.020.(a)(1) of the Architectural Review procedures because the proposed exterior modifications face the street. The following is a summary of the site characteristics:

Address	1433 Lemon Avenue
Assessor Parcel Number	8527-024-026
Zone	A-1 – Agriculture Residential Estate
General Plan Designation	Agricultural Estate Residential – One Acre
Lot Area	1.26 Acres – 53,941 Square Feet
Lot Width	167.5 Feet
Lot Depth	290 Feet

Architectural Review

The City of Bradbury Design Guidelines, Architectural Review, Neighborhood Compatibility, and Ridgeline Preservation standards are intended to establish functional sites with quality design and functional interrelationships of buildings and improvements by ensuring that the siting, design, and massing of all new or remodeled structures and developments are compatible with existing uses, designs, and developments in surrounding neighborhoods, and may include the use of a variety of forms and materials with innovative and alternative design solutions while preserving trees, ridgeline vistas, canyon views and other aspects of the rural environment and scenic character of the City.

The proposed remodel will not add any floor area and will have consistent architecture throughout, including the attached garage. The proposed style and materials are compatible with the neighborhood, which is developed with a variety of architectural styles. No landscaping, tree removals, or grading is proposed with the remodel.

ENVIRONMENTAL REVIEW

It is recommended that the project be determined to qualify as Categorically Exempt under the provisions of the California Environmental Quality Act (CEQA) pursuant to Section 15301 of the CEQA Guidelines for the remodel of an existing single-family residence.

FINDINGS

The Planning Commission must make a series of findings when issuing decisions on Architectural Reviews and Neighborhood Compatibility. The proposed remodel meets the required findings stated in Section 9.34.040 of Chapter 34 of the Bradbury Development Code for Architectural Review and Neighborhood Compatibility. The recommended

findings and reasons are included in the attached draft resolution, and it is recommended that the Planning Commission approve the proposed remodel.

PLANNING COMMISSION ALTERNATIVES

The Planning Commission is to open a public hearing and solicit testimony on the proposed remodel. After the testimony, the Commission will have the following options:

Option 1. Close the public hearing and determine that the findings can be made for conditional approval of the proposed remodel and that it is Categorically Exempt under CEQA and approve a motion to adopt the attached Resolution No. PC 22-303 as presented or as modified by the Commission.

Option 2. Close the public hearing and determine that the findings cannot be made for approval of the proposed project and/or a Categorical Exemption under CEQA, and approve a motion to deny the proposed project with statements of the specific findings and the reasons why the findings cannot be met, and direct staff to prepare the appropriate resolution for adoption at the next regular meeting.

Option 3. If the Planning Commission determines that the proposed project as presented cannot be approved, but with additional information could satisfy the requisite findings for approval and a Categorical Exemption under CEQA, then the Commission may approve a motion to continue the public hearing as open to the regular meeting of Wednesday, May 25, 2022, and direct the applicant to provide the necessary information to the City by Monday, May 9, 2022.

RECOMMENDATION

Option 1 is recommended; that the Planning Commission close the public hearing and determine that the findings can be made for conditional approval of the proposed remodel and that it is Categorically Exempt under CEQA and approve a motion to adopt the attached Resolution No. PC 22-303 as presented.

ATTACHMENTS

1. Resolution No. PC 22-303
2. Assessor Map and Aerial Photo
3. Photo of Existing House, Photo-Simulations and Pictures of Proposed Materials

ATTACHMENT NO. 1

PLANNING COMMISSION RESOLUTION NO. PC 22-303

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF BRADBURY, CALIFORNIA, SETTING FORTH THE FINDINGS OF FACT AND DECISION WITH A CATEGORICAL EXEMPTION UNDER THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) TO CONDITIONALLY APPROVE ARCHITECTURAL REVIEW NO. AR 22-004 FOR THE REMODELING OF THE EXTERIOR OF THE RESIDENCE AND GARAGE AT 1433 LEMON AVENUE

PLANNING COMMISSION RESOLUTION NO. PC 22-303

A RESOLUTION OF THE PLANNING COMMISSION OF THE CITY OF BRADBURY, CALIFORNIA, SETTING FORTH THE FINDINGS OF FACT AND DECISION WITH A CATEGORICAL EXEMPTION UNDER THE CALIFORNIA ENVIRONMENTAL QUALITY ACT (CEQA) TO CONDITIONALLY APPROVE ARCHITECTURAL REVIEW NO. AR 22-004 FOR THE REMODELING OF THE EXTERIOR OF THE RESIDENCE AND GARAGE AT 1433 LEMON AVENUE

WHEREAS, the Planning Commission considered Architectural Review No. AR 22-004 that was filed by the property owner, Mr. Van Ly for the exterior remodeling of the single-family residence and garage at 1433 Lemon Avenue.

NOW, THEREFORE, THE PLANNING COMMISSION OF THE CITY OF BRADBURY, DOES HEREBY RESOLVE, FIND, AND DETERMINE AS FOLLOWS:

SECTION A. The Planning Commission finds that a duly noticed public hearing has been conducted at the regular meeting on April 27, 2022, in accordance with the provisions of the Bradbury Municipal Code relative to this matter.

SECTION B. The Planning Commission finds and declares that the information in the agenda report, and the testimony at the public hearing are incorporated in this Resolution and comprises the bases on which the findings have been made.

SECTION C. The Planning Commission declares that the project meets the following required findings stated in Section 9.34.040 of Chapter 34 (Architectural Review) of the Bradbury Development Code:

1. That the proposed development is designed and will be developed to preserve to the greatest extent practicable the natural features of the land, including the existing topography and landscaping. The proposed remodel does not include any additional floor area, grading, landscaping, or tree removals. The existing terrain will not be altered.

2. That the proposed development is designed and will be developed in a manner which will be reasonably compatible with the existing neighborhood character in terms of scale of development in relation to surrounding residences and other structures. The existing residence is in scale with other residences on the surrounding properties and the proposed remodel will not add any incompatible features.

3. That the proposed development is designed and will be developed in a manner which will preserve to the greatest extent practicable the privacy of persons residing on adjacent properties. The proposed remodel will not add or enlarge any windows or doors that could impose on the neighbors' privacy.

4. The requirements of the ridgeline and view preservation regulations have been met. The proposed remodel will not increase the height or bulk of the residence, nor will any features be added to the roofline. The remodeled residence will not have an affect on any views from neighboring properties.

5. That the proposed development is designed and will be developed in a manner to the extent reasonably practicable so that it does not unreasonably interfere with neighbors'

existing views, view of ridgelines, valleys, or vistas. The remodel of residence will not increase its height or bulk and will not affect any views from neighboring properties.

6. The requirements of the tree preservation and landscaping regulations have been met. The proposed remodel does not include the removal of any trees, or any landscaping work.

7.a. That the design minimizes the appearance of over or excessive building substantially in excess of existing structures in the neighborhood, in that the square footage of the structure(s) and the total lot coverage of the development shall reflect the uncrowded character of the City and the neighborhood. The size of the existing residence is consistent with other residences in the area. The remodel will not increase the size or bulk of the residence.

7.b. That the design minimizes the appearance of over or excessive building substantially in excess of existing structures in the neighborhood, in that the height(s) of the structure(s) shall maintain to the extent reasonably practicable, consistency with the heights of structures on neighboring properties. The existing residence is consistent with the heights of other structures in the area. The remodel will not increase the size or bulk of the residence.

8. That the proposed development is designed and will be developed in a manner that is consistent with the City's Design Guidelines. The proposed remodel will provide architectural consistency throughout in accordance with the City's Design Guidelines.

SECTION D. The Planning Commission finds that the project is Categorically Exempt under the provisions of the California Environmental Quality Act (CEQA) pursuant to Section 15301 of the CEQA Guidelines for the remodeling of an existing single-family residence.

SECTION E. The Planning Commission hereby approves Architectural Review No. AR 22-001 for the project based on the information depicted on the submitted plans and subject to the following conditions, all of which shall be complied with to the satisfaction of the City Manager or designees:

1. Except as set forth in subsequent conditions, all inclusive, development shall take place substantially as shown by the submitted material presented to the Planning Commission on April 27, 2022.

2. The applicant/developer shall defend, indemnify, and hold harmless the City, its agents, officers, and employees from any claim, action, or proceeding, damages, costs (including, without limitation, attorney's fees), injuries, or liability against the City or its agents, officers, or employees arising out of the City's approval of the proposed project. The City shall promptly notify the applicant/developer of any claim, action, or proceeding and the City shall cooperate fully in the defense. If the City fails to promptly notify the applicant/developer of any claim, action, or proceeding, or if the City fails to cooperate fully in the defense, the applicant/developer shall not thereafter be responsible to defend, indemnify, or hold harmless the City. Although the applicant/developer is the real party in interest in an action, the City may, at its sole discretion, participate in the defense of any action with the attorney of its own choosing, but such participation shall not relieve the applicant/developer of any obligation under this condition, including the payment of attorney's fees. Applicant/developer shall promptly pay any final judgment rendered against the City.

3. The applicant and owner of the subject property must file an Acknowledgment Form for the conditions and provisions set forth in this Planning Commission Resolution.

This Resolution and the Acknowledgment Form shall be included in any plans that are submitted to the Department of Building and Safety.

4. The proposed remodel shall comply with all applicable City, County, State, and federal regulations, including requirements of the Building, Fire, Planning, and Engineering Departments.

5. All exterior building, landscaping, and/or safety/security lighting shall be low-voltage, non-glare, and shall be hooded and/or shielded to not direct lighting off the subject property.

SECTION F. Appeals and Time Extensions.

1. In accordance with Chapter 16 (Appeals) of the Bradbury Development Code, the decision of the Planning Commission is subject to a ten (10) day period within which an appeal may be made by any person, partnership, corporation, public entity, other legal entity, or the applicant, who is aggrieve by the decision, by the filing of a written appeal with the City Clerk, accompanied by the established fee; or called up for review by a City Council Member within the ten (10) day appeal period.

2. Pursuant to the Development Code Chapter 7 (Permit/Entitlement Implementation and Time Extensions), absent a timely filed appeal as specified in Chapter 16, the Planning Commission decision shall be final and conclusive. If the applicant and/or property owner has not exercised this entitlement (i.e., submitted plans to the Department of Building and Safety) within one (1) year of the effective date of this approval, this entitlement shall expire and be null, void, and of no effect. A request for an extension of the time period for exercising this entitlement may be filed with the City 30 days prior to its expiration, and one (1) extension of up to one (1) year may be granted by the applicable review authority.

SECTION G. The City Clerk shall certify to the adoption of this Resolution.

PASSED, APPROVED, AND ADOPTED this 27th day of April 2022.

_____

Chairperson

ATTEST:

_____

City Clerk

I, Claudia Saldana, City Clerk, hereby certify that the foregoing Resolution No. PC 22-303 was duly adopted by the Planning Commission of the City of Bradbury, California, at a regular meeting held on the 27th day of April 2022, by the following vote:

AYES:

NOES:

ABSTAIN:

ABSENT:

ATTACHMENT NO. 2

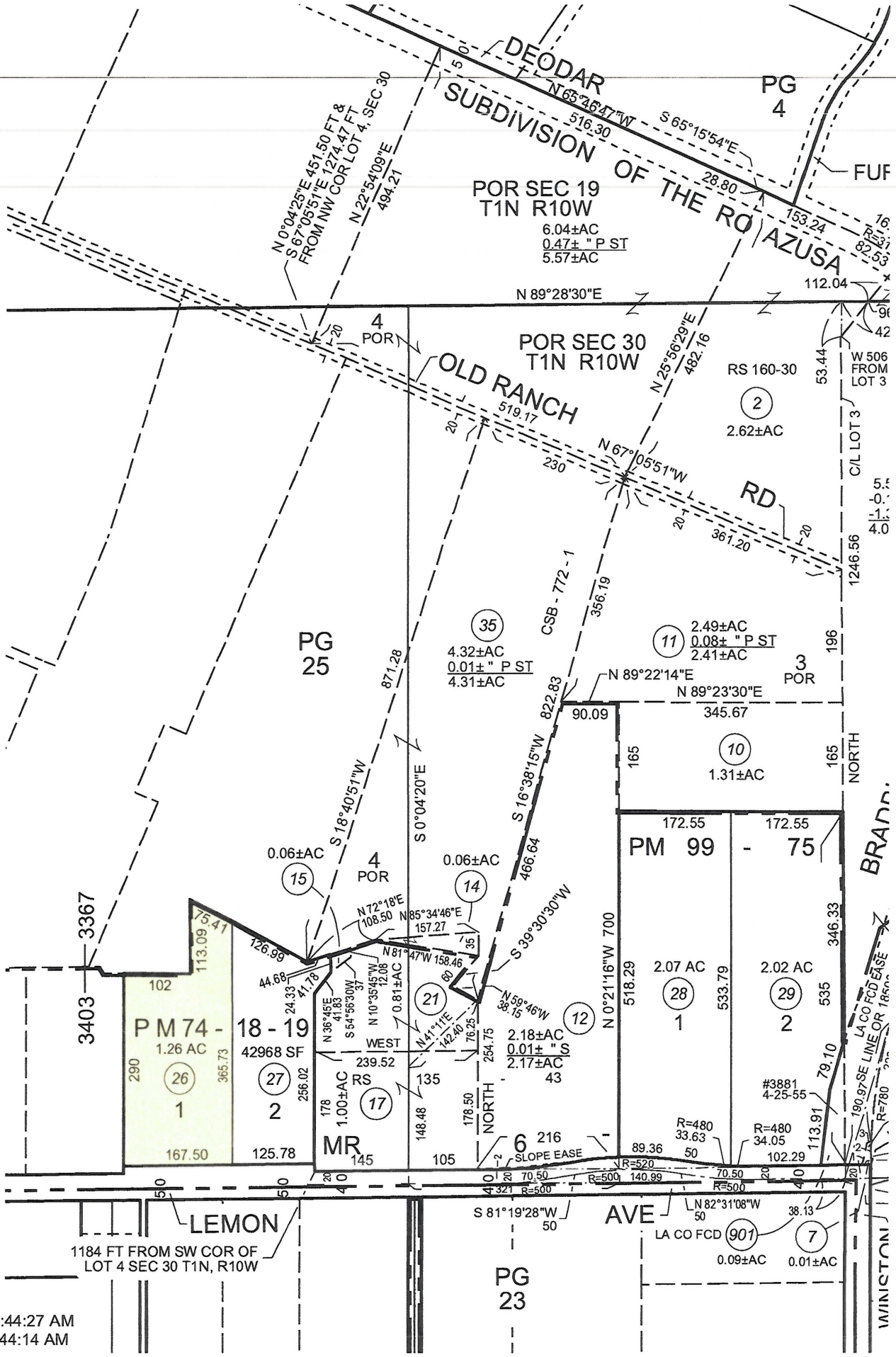
Assessor Map & Aerial Photo

APN 8527-024-026

1433 Lemon Avenue

8527	24 SHEET	P. A. 8527-25 8686-5,9 & 10	TRA 3403 3367	REVISED 2003020507 2006012606001002-05	2019100202012001-05

2020



Date Printed: 10/3/2019 9:44:27 AM
Date Saved: 10/3/2019 9:44:14 AM

1433 Lemon Ave.

ATTACHMENT NO. 3

Photo of Existing House, Photo-Simulations and Pictures of Proposed Materials

AR 22-004

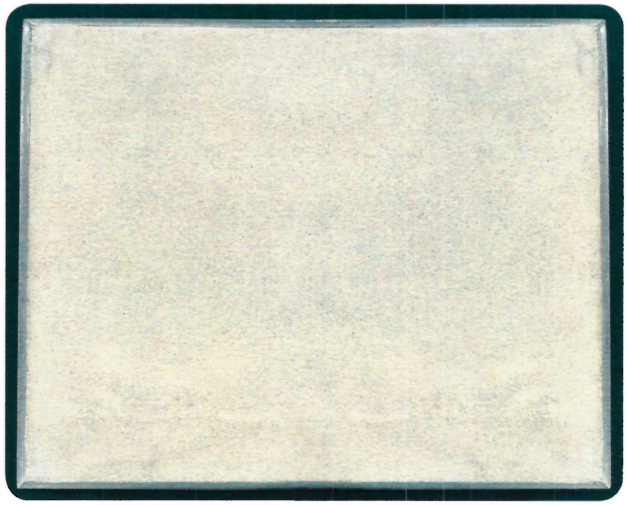
1433 Lemon Avenue

1433 LEMON AVENUE, BRADBURY, CA 91008

ROOFING

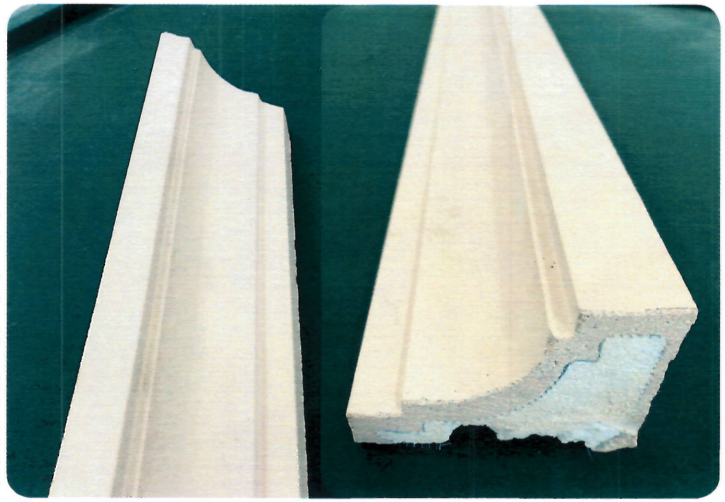
BRAND: Eagle Roofing
STYLE: Capistrano
COLOR: Slate Range

EXTERIOR WALL



MATERIAL: Stucco
COLOR: Eggshell White
TEXTURE: La Habra Smooth Finish

WINDOW TRIM



STYLE: Pre-Cast Moulding
MATERIAL: Foam covered in Cement