

CARBONDALE TREE BOARD
September 15, 2022
IN-PERSON/VIRTUAL MEETING
Town Hall, Room 1
6:00 P.M.

ATTENTION: The Carbondale Tree Board Meeting will be conducted in person and virtually via Zoom. If you wish to attend the meeting virtually and you have a comment concerning one or more of the Agenda items please email kmcdonald@carbondaleco.net by 4:00 pm on September 15, 2022. If you would like to comment virtually during Persons Present Not on the Agenda please email kmcdonald@carbondaleco.net with your full name and email address by 4:00 pm on September 15, 2022.

You may also watch a live streaming of the meeting on You Tube. Search Town of Carbondale Tree Board Meeting September 15, 2022. Please be aware that you will experience a 15-30 second delay.

You are invited to a Zoom webinar.

When: Sep 15, 2022 06:00 PM Mountain Time (US and Canada)

Topic: Town of Carbondale Tree Board Meeting, September 15, 2022

Please click the link below to join the webinar:

<https://us06web.zoom.us/j/81653771277?pwd=L3dpcUpuTVk3TDIEdkl5QStzQnZ0QT09>

Passcode: 822075

Or One tap mobile :

US: +17193594580,,81653771277#,,,,*822075# or +16699006833,,81653771277#,,,,*822075#

Or Telephone:

Dial(for higher quality, dial a number based on your current location):

US: +1 719 359 4580 or +1 669 900 6833 or +1 253 215 8782 or +1 346 248 7799 or +1 669 444 9171 or +1 929 436 2866 or +1 301 715 8592 or +1 309 205 3325 or +1 312 626 6799 or +1 386 347 5053 or +1 564 217 2000 or +1 646 931 3860

Webinar ID: 816 5377 1277

Passcode: 822075

International numbers available: <https://us06web.zoom.us/j/81653771277?pwd=L3dpcUpuTVk3TDIEdkl5QStzQnZ0QT09>

TIME*		ITEM	DESIRED OUTCOME
6:00	1.	Roll Call	
6:01	2.	Consent Agenda: Approval of July 21, 2022, Meeting Minutes	ATTACHMENT A REVIEW & APPROVE
6:05	3.	Persons Present Not on the Agenda	
6:10	4.	Review of Code Regarding Trees in Preparation for Meeting with New TOC Planning Staff: Unified Development Code Sections 5.2.7 (Trees in Public Right-of-Way) and Section 5.4 (Landscaping and Screening; Recommended Street Trees List	ATTACHMENT B REVIEW & DISCUSS
6:45	5.	Tree Issues Observed Around Town: Encroachment of Willow/Elm/Cottonwood on Highway 133 Pedestrian/Bicycle Trails, Weed Seed Prevention/Removal on Saved Earth Construction	

		Piles, Tree Protection Standards as Applied to Contractors	
7:00	6.	Suggestions of Possible Town Tree	
7:10	7.	Carl's Tree Report	
7:15	8.	Adjourn	

* Please note: times are approximate

5.2.7. TREES IN PUBLIC RIGHT-OF-WAY**A. Removal of Trees in Public right-of-Way Prohibited**

No removal of trees shall occur in the public right-of-way without approval from the Public Works Department. Any tree to be removed shall be replaced with an appropriate tree at the discretion of the Public Works Director in accordance with the Tree Ordinance. The cost of replacement shall be borne by the developer. If a tree cannot be placed in the area from which it was removed, cash in-lieu shall be paid to the Town's dedicated landscape fund. An application for a tree removal permit shall be submitted to the Director of Public Works and reviewed by the Tree Board before any tree in the public right-of-way is removed.

B. Tree Protection During Development

During all development, the following standards shall apply:

1. Prior to excavation, locate a four-foot orange synthetic fence, a four-foot wooden lath snow fence, or a six-foot chain link panel fence a minimum of six feet from the trunk of existing trees designated for protection. Set posts of fencing at eight-foot intervals minimum. Where construction is within the drip line of the existing trees, locate the six-foot chain link fencing panel at excavation boundary. Where possible, fence trees as a group.
2. Stockpile construction materials and excavated materials outside drip lines, leaving an excess foot of vehicular parking of vehicles within drip line in order to ensure that any existing trees and other vegetation designated for protection are shielded against unnecessary cutting, breaking or skinning of roots, skinning or bruising of bark, or smothering. Do not clean out concrete trucks or put excess concrete near trees. Avoid cleaning of tools or emptying of buckets whose materials contact paint or solvents that may harm the tree.
3. During construction of any structure or improvement, it shall be unlawful for any person to place material, machinery, or soil deposits within six feet of any tree on Town property, unless waived by the Director.
4. During excavation, saw or cut roots off cleanly. Do not pull on roots with bucket of machine.
5. For trees adjacent to excavation and along access paths and roads, tie up branches of the trees so that machinery and trucks do not break off the branches. In places where workman's access will be crossing roots of trees, place four-inch depth of large bark mulch covered with double overlapping plywood sheets on path to reduce compaction on roots. Place bark and plywood prior to commencement of excavation.
6. Provide protection of roots over 1.5-inch diameters that are cut during construction operations. Temporarily cover exposed roots with wet burlap to prevent roots from drying out, and cover with earth as soon as possible.
7. Place protective fencing prior to removal of trees, shrubs, and other vegetation necessary for new construction. Cut minor roots and branches of trees to remain in a clean and careful manner, where such roots and branches obstruct installation of new construction. Use only hand methods for working inside drip line of trees indicated to remain.

8. As alternatives or supplements to the standards in this section, the applicant may provide recommendations from a certified arborist to the Director for consideration.

5.2.8. PARK LAND

- A. Site disturbance or development of land located within a public park shall not be permitted.
- B. Exceptions:
 1. Buildings and site improvements shall be permitted within a park where the building and site improvements serve a park-related purpose.
 2. Park lands owned and managed by the federal or state government shall be exempt from this prohibition.
 3. Privately held property located within the established boundary of a park shall be exempt from this prohibition.

5.3 OPEN SPACE

5.3.1. PURPOSE

- A. This section addresses the character of those portions of development that are not occupied by platted lots or streets and that are reserved for formal and informal open space, parks, and greenways.
- B. Open space serves numerous purposes, including preservation and protection of natural areas and features, providing opportunities for passive and active recreation, enhancing management of stormwater runoff to protect water quality and reduce flooding, and mitigating the heat island effect of developed areas.
- C. The purpose of this section is to ensure that portions of most development sites are set aside as either publically dedicated open space or private common open space. It is not the intent of this section to require both public open space and private common open space.

5.3.2. PUBLIC OPEN SPACE DEDICATION (RESIDENTIAL)

A. Purpose

The purpose of this section is to ensure that new residential subdivisions include or contribute to the provision of public recreation areas sufficient to meet the passive and active recreation needs of residents of the subdivision, as well of the surrounding neighborhood.

B. Applicability

This section shall apply to any development that contains 10 or more residential dwelling units and is subject to preliminary plat, final plat, or condominium plat approval pursuant to Section 2.6, *Procedures and Approval Criteria: Subdivisions*.

C. Land Dedication or Payment of Fee In-lieu Required

1. As part of the submission of preliminary plat, the developer of a subdivision subject to this section shall submit a proposal that provides for one of the following options:

Trustees shall file a notice of such lien in the office of the Garfield County Clerk and Recorder upon the properties affected and shall be such unpaid assessments to the County Commissioners and the Garfield County treasurer for collection, enforcement, and remittance in the manner provided for by law for the collection, enforcement, and remittance of general property taxes.

5.4 LANDSCAPING AND SCREENING

5.4.1. PURPOSE

This section is intended to ensure that new landscaping and the retention of existing vegetation are integral parts of all development and that they contribute added high quality to development, retain and increase property values, conserve water, and improve the environmental and aesthetic character of Carbondale. It is also the intent of this section to provide flexible requirements that encourage and allow for creativity in landscape design.

5.4.2. APPLICABILITY

This section establishes minimum standards for landscaping and screening. These requirements apply to all nonresidential uses and to multifamily projects containing three or more dwelling units.

5.4.3. MINIMUM LANDSCAPING REQUIRED

A. Site Area Landscaping

1. Any pervious area of a site not used for impervious surfaces such as buildings, parking, driveways, sidewalks, etc. shall be landscaped. All landscape material shall comply with landscaping as defined in Section 8.3.
2. All undeveloped building areas within partially developed residential, commercial, or industrial uses shall control dust and erosion by use of vegetative ground cover or other means.
3. Minimum site area landscaping may count towards a development's common open space requirements, provided it meets the standards of Section 5.3: *Open Space*.

B. Streetscape Landscaping

1. Except in the HCC district and along local streets in the R/LD district, a landscape area shall be established along all streets between the public right-of-way and any buildings, parking lots, loading areas, storage areas, screening walls or fences, or other improvements in association with any use, in accordance with the following:

**Table 5.4-1:
Minimum Width of Landscaped Area**

Adjacent To	Width (Feet)
Highway 133	10
Any other street	5

2. Necessary driveways and maneuvering areas for parking lots may be put in these areas with the approval of the Director. Parking spaces are not allowed in this area.
3. The required landscaped areas shall be planted with street trees. A list of trees desirable for planting in landscape areas has been established in the Town's Public Works Manual. The standards include species and size classes (small, medium, and large trees).
4. The required landscape areas shall be planted with street trees with the following spacing:
 - a. Small trees – 12 to 20 feet spacing;
 - b. Medium trees – 25 to 35 feet spacing; and
 - c. Large trees – 35 to 45 feet spacing.
5. Street trees shall be 2.5 inches diameter or larger. No trees other than small trees shall be planted on Town property under or within 10 lateral feet of any overhead utility wire.
6. These landscape areas shall take into account existing patterns of surrounding development and the existing landscape.
7. A minimum of 85 percent of required street frontage landscape areas shall be covered with cultivated landscaping and maintained.

C. Parking Lot Landscaping

1. Landscaped Islands and/or Rain Gardens Required

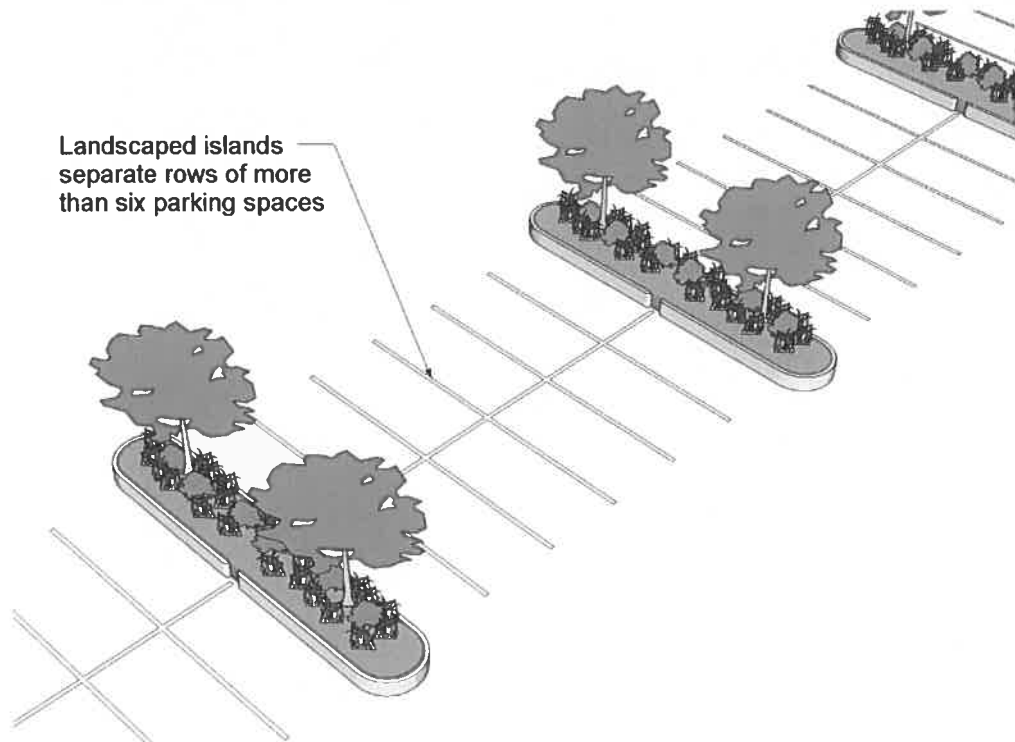
In all districts, landscaped islands and/or rain gardens shall be provided in parking areas along the ends of parking rows, adjacent to lot lines, and used to define the location and pattern of primary internal access drives. In addition:

a. Nonresidential and Mixed-Use Districts

In all nonresidential and mixed-use districts except the HCC district, landscaped islands and/or rain gardens shall be used to separate rows of more than 12 parking spaces.

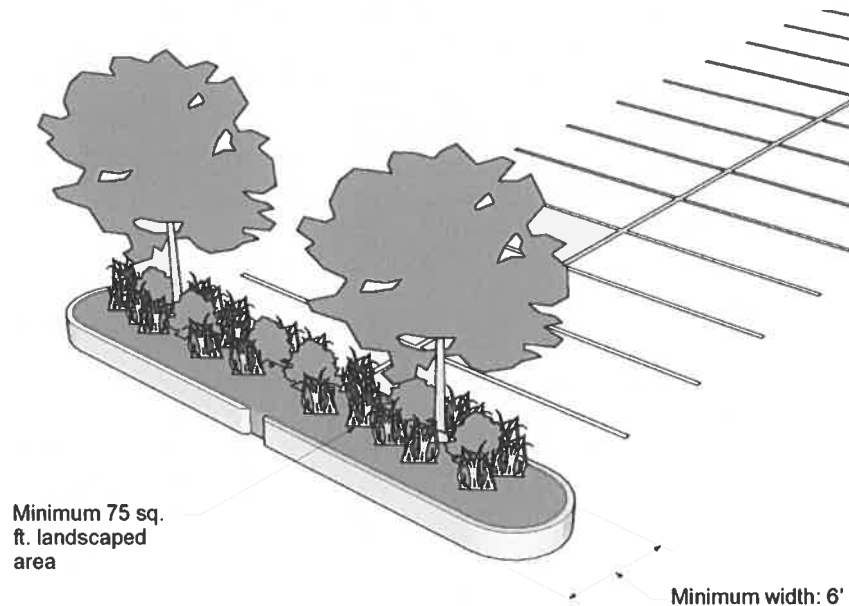
b. Residential Districts

In all residential districts, landscaped islands and/or rain gardens shall be used to separate rows of more than six parking spaces (see Figure 5.4.3-A).

Figure 5.4.3-A: Landscaped Islands**2. Minimum Size of Landscaped Islands or Rain Gardens**

Parking lot landscaped islands or rain gardens shall be a minimum of six feet wide and contain a minimum of 75 square feet in area (See Figure 5.4.3-B).

Figure 5.4.3-B: Landscaped Island Dimensional Standards



3. Planting Requirements in Landscaped Islands and Rain Gardens

Parking lot planting islands and rain gardens shall contain a minimum of one tree for every 12 parking spaces in nonresidential uses, and one tree per every six spaces in residential uses, exclusive of perimeter landscaping and street trees.

4. Design of Landscaped Islands and Rain Gardens

- a. Any landscaped area used for vehicular overhang shall not be counted towards the required landscaping or open space.
- b. All parking lots serving nonresidential uses shall be separated from adjacent residential zoning districts or uses by a minimum six-foot high fence, wall, or landscaping approved by the Director.
- c. The landscape islands or rain garden may be required to use raised borders if appropriate, at the discretion of the Director.

5. Alternative to Landscape Islands or Rain Gardens

Instead of landscaped islands or rain gardens, a development may provide 15 percent of the parking area in open space, if approved by the Director through the alternative compliance process in Section 5.1.3.

- a. All open space and landscaping in such parking areas may be credited towards the common open space requirement for any lot in any zoning district, provided it meets the criteria of Section 5.3: *Open Space*.

CHAPTER 17.05: DEVELOPMENT STANDARDS

- b. The landscaping strip on private property adjacent to a public right-of-way as required by 5.4.3.B: *Streetscape Landscaping*, shall be counted as part of this calculation.
6. **Multi-family Developments**
A five-foot wide landscape area shall be provided between parking areas and side and rear lot lines.
7. **Covered Parking Areas**
Covered parking areas shall have an interior clear height dimension of at least seven feet and shall comply with design specifications approved by the Building Official through the building permit process.

5.4.4. GENERAL REQUIREMENTS FOR ALL LANDSCAPING**A. Landscape Plan Required**

A landscape plan shall be submitted for developments. Plant materials shall be installed prior to issuance of a Certificate of Occupancy, unless the Director approves a temporary delay of installation until the planting season.

B. Landscape Materials

All landscape material shall comply with landscaping as defined in Section 8.3. Low-water, drought-tolerant, adaptive plants shall be used for all new landscaping. Materials shall be suitable for local soil conditions and climate.

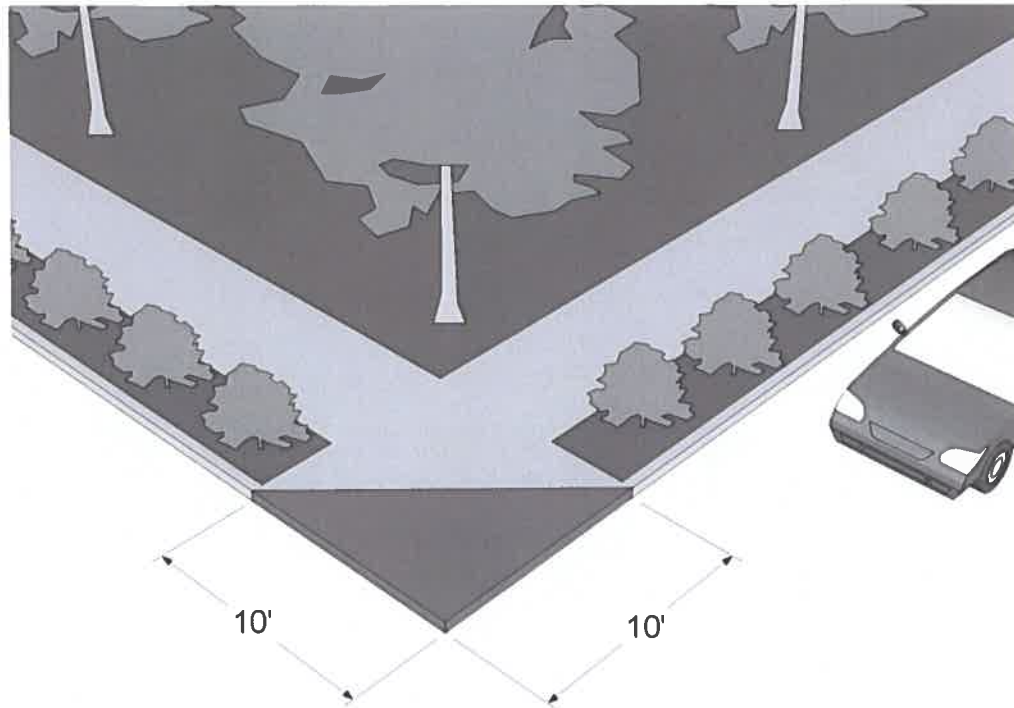
C. Minimum Plant Specifications

All plant materials installed to meet the requirements of this section shall meet the following minimum size requirements:

1. Trees: minimum caliper of 2.5 inches.
2. Shrubs: minimum of five gallons.

D. Sight Triangle

1. No walls, buildings, trees, shrubs, or other obstructions to view in excess of 24 inches in height shall be placed on any corner lot within a triangular area formed by the curb lines and a line connecting them at points 10 feet from the intersection of the curb lines. These standards are illustrated in Figure 5.4.4-A below. Plantings in this area should be selected for natural growth patterns that would not require maintenance to meet this requirement.

Figure 5.4.4-A: Sight Triangle

2. An exception is the HCC zoning district, where specific sight triangle measurements shall be approved by the Director.

E. Right-of-Way Encroachment

1. Landscaping allowed in the public right-of-way shall be a maximum height of 24 inches. Trees may be allowed if branches are trimmed up to eight feet above ground level.
2. To the maximum extent practicable, landscaping plans shall be coordinated with the placement of utilities to avoid conflicts with above- and below-ground utilities and overhead light fixtures.

F. Maintenance

1. Every property owner and any tenants shall keep their landscaped areas in a well-maintained, safe, clean, and attractive condition at all times. Such maintenance shall include, but is not limited to, the following:
 - a. Landscaped areas shall be kept free of trash, litter, weeds, and other such materials or plants not a part of the landscape.
 - b. All plant material shall be maintained in a healthy and growing condition, and shall be replaced with plant material of similar variety and size (size not to be smaller than the minimum required by this Code at the time of replacement) if diseased, damaged, destroyed, or removed within 30 days of installation, or by an agreed-upon date if seasonal conditions prohibit replacement within the 30-day period.

- c. Proper pruning.
 - d. Watering on a regular basis.
 - e. Maintenance of landscape lighting in working order.
 - f. Maintenance of irrigation systems in working order.
 - g. Cleaning of abutting waterways and landscaped areas lying between public right-of-way lines and the property, unless such streets, waterways, or landscaped areas are expressly designated to be maintained by a designated governmental authority.
2. Failure to maintain landscaping that is required at the time of approval of any plan or permit shall be a violation of this Code and applicable penalties may be imposed.
 3. The maintenance of landscaping in the public right-of-way in all zoning districts shall be the responsibility of the adjacent property owner, whether an individual, corporation, or homeowner's association.

G. Irrigation

All landscaping improvements shall include a suitable method for irrigation. Underground drip irrigation systems are encouraged for all landscaped areas. Turf should be irrigated from a secondary, non-potable water source if available.

H. Guidelines for Additional Landscaping

Beyond the minimum requirements of this section, the following additional landscaping is encouraged to further enhance development projects:

1. Special landscape treatments at street intersections, public gathering spaces, and building entryways; and
2. Additional trees, beyond minimum Code requirements, to provide additional shade for parking areas, pedestrian walkways, and public gathering spaces.

5.4.5. SCREENING

A. Purpose

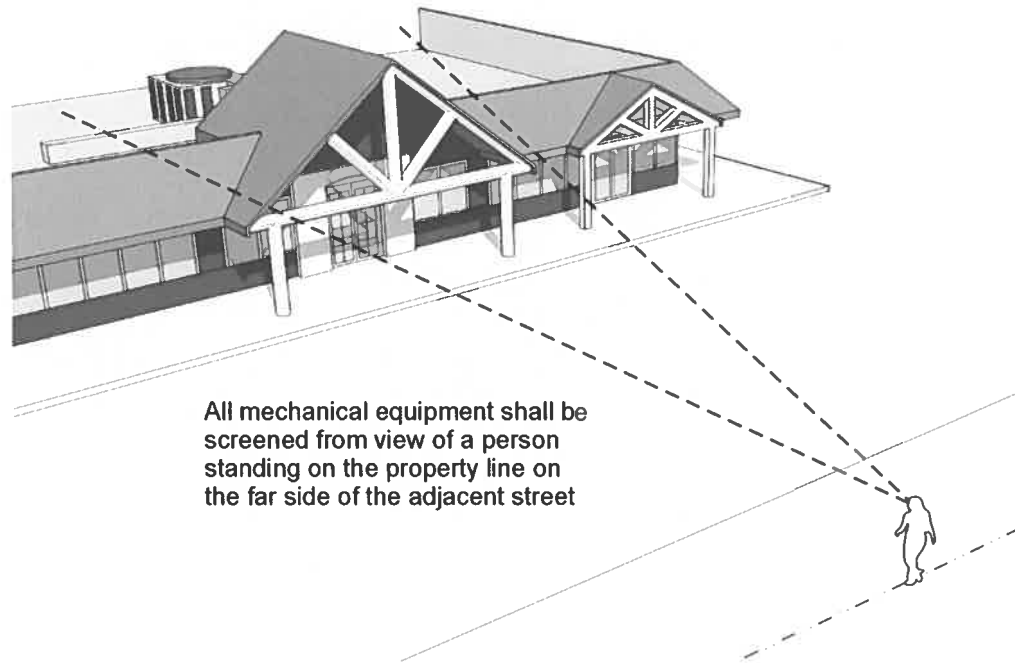
The purpose of screening standards is to completely hide stored materials from view of persons standing on the ground outside the storage area. If no particular location is specified, the standards shall be interpreted as based on the vantage point of a person standing on the ground 50 feet from the screening device on any side.

B. Screening Requirements

1. Screening of Mechanical Equipment

All mechanical equipment, either ground-mounted or located on a rooftop, shall be screened from the view of a person standing on the property line on the far side of an adjacent public street. Individual screening of rooftop mechanical equipment is prohibited. Units shall either be grouped together "penthouse style" or screened with a parapet wall the entire length of the building. Such a parapet wall shall be designed to be integral to the overall architecture of the building.

See Figure 5.4.5-A below:

Figure 5.4.5-A: Screening of Mechanical Equipment

2. Storage, Recycling and Waste Collection, and Loading Areas

- a. Storage, recycling and waste collection, and loading areas shall be located at least 20 feet from any public street, public sidewalk, or building with a residential use, except in the HCC and mixed-use districts. Placement of storage, recycling and solid waste collection, and loading areas shall be sited so as not to interfere with vehicular visibility or circulation.
- b. Storage, waste collection, loading areas, and other service functions shall be incorporated into the overall design of the building and landscaping so that the acoustic impacts of these functions are contained to the maximum extent feasible, and so that such features are fully screened and out of view from public streets. Screening materials for solid waste collection and loading areas shall be of the same and of equal quality to the materials used for the primary building and landscaping.
- c. All waste collection or storage areas for multifamily projects with three or more units and for commercial or mixed-use buildings 2,500 square feet or greater shall be maintained within a structure on the property or enclosed by a six-foot solid wood fence or masonry wall. The enclosed trash storage areas are allowed within the setback so long as the enclosure is not covered and the fences or wall meet the allowed fence height. Trash storage areas immediately adjacent to public alleys may be allowed without screening.

CHAPTER 17.05: DEVELOPMENT STANDARDS**3. Storage of Recreational Vehicles**

The storage of recreational vehicles, including campers, motor homes, trailers, snowmobiles, boats, or similar vehicles (whether motorized or not), that are stored on private property but not on the designated driveway shall be permitted in all zoning districts, provided that the recreational vehicle is buffered from view with a solid fence at least six feet in height or dense shrubbery of equal height from all adjacent residential properties.

4. Storage of Other Personal Property

The storage of personal property, not considered trash or rubbish as defined in Title 7 of the Municipal Code, that are stored in the same location within a front yard for a period of 30 or more consecutive days shall be screened by a solid wood fence or wall, the height of which shall be consistent with the requirements of the zoning district within which the property is located. The fence also shall comply with all other materials, maintenance and other height requirements of this section.

C. Screening Materials

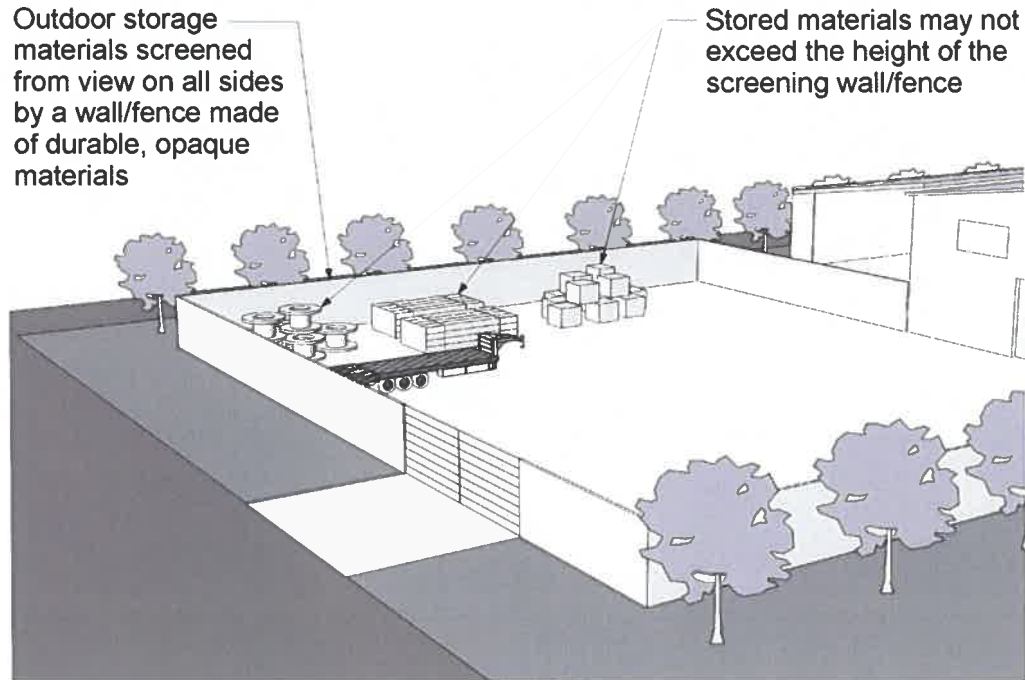
Screening walls, fences, or structures shall be constructed from durable materials suited to Carbondale's climate and that will require low maintenance. All screening devices shall be constructed of materials and in a manner that creates a completely opaque screen through which it is not possible to see any portion or silhouette of the items being screened. Unless otherwise specified, acceptable materials for screening may include:

1. Masonry walls with stucco or other acceptable finish or constructed from masonry units with an indigenous pattern or finish;
2. Rock walls;
3. Wooden fences constructed from pressure treated wood or native wood or any materials which can withstand exposure to the weather and which are approved by the Planning Director or Building Official shall be acceptable; or
4. Other materials which shall be approved by the Building Official or Director.

D. Heights

1. The height of a screening wall, fence, or structure shall be measured from the grade of the storage or parking area adjacent to the screen.
2. No materials, with the exclusion of vehicles, stored within an outdoor storage area or behind a screening fence, wall, or structure shall be stacked or stored in a manner in which they exceed the height of the screening walls, fence or structure (See Figure 5.4.5-B).

Figure 5.4.5-B: Outdoor Storage Screening

**E. Maintenance**

1. All walls, fences, or structures shall be maintained in good condition.
2. Any walls, fences, or structures used to enclose outdoor storage areas shall require a building permit and construction details shall be reviewed for compliance with the criteria in this section.

5.4.6. FENCING**A. Maximum Fence Heights in Residential Districts****Table 5.4-2:****Maximum Fence Heights in Residential Districts**

	Interior Lot	Corner Lot	Through Lot
Front yard	42 in.	42 in.	42 in.
Side yard	8 ft.	8 ft.	8 ft.
Rear yard	8 ft.	8 ft.	42 in.
Street side yard In front ½ lot		42 in.	42 in.

Notes:

[1] Fence heights for through lots and street side yards adjacent to an arterial street may be eight feet in rear yard if no access is provided and eight feet on rear half of side yard.

[2] Front yard fence height in AG and RR district may be up to six feet in height.

CHAPTER 17.05: DEVELOPMENT STANDARDS**A. Maximum Fence Heights in Nonresidential Districts**

1. Front yard: 42 in.
2. Rear yard: 8 feet
3. Side yard: 8 feet
4. Street side: 8 feet

5.5 TRANSPORTATION AND CONNECTIVITY**5.5.1. PURPOSE**

The purpose of this section is to support the creation of a highly connected transportation system within the Town in order to:

- A. Provide choices for drivers, bicyclists, and pedestrians;
- B. Increase effectiveness of local service delivery and reduce emergency service times;
- C. Connect neighborhoods to each other and to local destinations such as employment, schools, parks, and shopping centers;
- D. Reduce vehicle miles of travel and travel times;
- E. Improve air quality; and
- F. Mitigate the traffic impacts of new development.

These standards attempt to avoid the creation of large, isolated tracts without routes for through traffic or pedestrian and bicycle connections.

5.5.2. STREETS AND VEHICULAR CIRCULATION**A. Purpose**

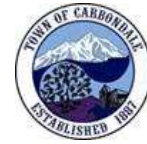
Street and block patterns should include a clear hierarchy of well-connected streets that distribute traffic over multiple streets and avoid traffic congestion on principal routes. Within each development, the access and circulation system and a grid of street blocks should accommodate the safe, efficient, and convenient movement of vehicles, bicycles, transit users, emergency responders, and pedestrians through the development, and provide ample opportunities for linking adjacent neighborhoods, properties, and land uses. Special attention in the design and planning of a project shall be given to addressing the needs of people with disabilities and the elderly.

B. Street Standards

All streets shall meet the standards in Chapter 17.06: *Subdivision*, and the Town's Public Works Manual.

C. Street Connectivity**1. Purpose**

Local neighborhood street systems are intended to provide multiple direct connections to and between local destinations such as parks, schools, and shopping. These connections should knit separate developments together, rather than forming barriers between them.



Town of Carbondale – Recommended Trees

Street indicates recommended as street tree

Large Trees (Spacing 35' to 45')

Honeylocust *Street*

Gleditsia triacanthos var. *inermis*

Skyline®

Shademaster®

Imperial® (not for street)

Sunburst® (not for street)

Kentucky Coffeetree *Street*

Gymnocladus dioica

'Espresso'

Norway Maple *Street*

Acer platanoides

'Fairview'

'Emerald Queen'™

'Deborah'

'Royal Red'

Hybrid Norway Maple (Space 25-30')

Acer 'JFS-KW202'

Crimson Sunset®

Hackberry *Street*

Celtis occidentalis

Burr Oak *Street*

Quercus macrocarpa

Swamp White Oak *Street*

Quercus bicolor

English Oak *Street*

Quercus robur

'fastigiata' - Columnar

Regal Prince®

Crimson Spire™

Chinquapin Oak *Street*

Quercus muehlenbergii

Ginkgo *Street* (*fruitless males only*)

Ginkgo biloba 'Autumn Gold'

Ginkgo biloba 'Princeton Sentry' - Columnar

Elm *Street*

Ulmus _____ (*Dutch Elm resistant*)

Accolade®

daurica japonica 'Discovery'

'Frontier' (not for street)

Northern Catalpa *Street*

Catalpa speciosa

Town of Carbondale – Recommended Trees

Medium Trees (Spacing 25' to 35')

Bigtooth Maple

Acer grandidentatum

Littleleaf Linden *Street*

Tilia Cordata

'Greenspire'

'Glenleven'

American Linden

Tilia americana

'Redmond'

Chokecherry *fruit possible bear attractant*

Prunus Virginia

'Sucker Punch'

'Canada Red'

Tartarian Maple

Acer tataricum

Mayday Tree

Prunus padus

Black Locust, Purple Robe®

Robinia Pseudoacacia 'Purple Robe'®



Small Trees (Spacing 12' to 20')

Fruitless varieties are acceptable beneath overhead utility lines

Amur Chokecherry *fruit possible bear attractant*

Prunus maackii

Flowering Crab *fruit possible bear attractant*

Malus spp.

'Spring Snow' *Street*

'Radiant'

'Hopa'

'Dolgo'

Malus ioensis

'Bechtel'

Thornless Cockspur Hawthorn

Crataegus crus-galli inermis

Japanese Tree Lilac *Street*

Syringa reticulata

European Mountain Ash

Sorbus aucuparia

Oak Leaf Mountain Ash

Sorbus hybrida

Amur Maple (single *Street* / multi-stem)

Acer ginnala

Town of Carbondale – Recommended Trees



Prohibited Trees – Shall NOT Be Planted in Right-of-way

Aspen

Populus tremuloides

Silver Maple

Acer saccharinum

Boxelder (except hybrid like 'Sensation', not for street)

Acer negundo

Russian Olive – Has Been Designated A State Noxious Weed

Elaeagnus angustifolia

Siberian Elm

Ulmus pumila

Conifer Trees – Spruce, Pine, Fir, Juniper

Picea spp., *Pinus spp.*, *Abies spp.*, *Psuedotsuga*,
Juniperus spp.

White or Green Ash

Fraxinus americana or *pennsylvanica* * Any tree belonging to the *Fraxinus* genus is susceptible to Emerald Ash Borer *

Note: Not every tree is suitable for any given location. All environmental factors and all tree needs should be carefully assessed before choosing a tree to be planted. Soil tests for planting sites are highly recommended. Carbondale has primarily clay soils, the climate is dry and windy with extreme summer heat)