

Exhibit G  
Floor Plans,  
Building Elevations,  
Sample Material Board,  
& Renderings





**CARBONDALE**  
C O L O R A D O

**Carbondale - ANB Bank Mixed Use Development**  
Rezoning, Major Site Plan Review Submittal, & Conditional Use Permit

Hendrick and Hwy 133, Carbondale CO

July 05, 2023



**alder**

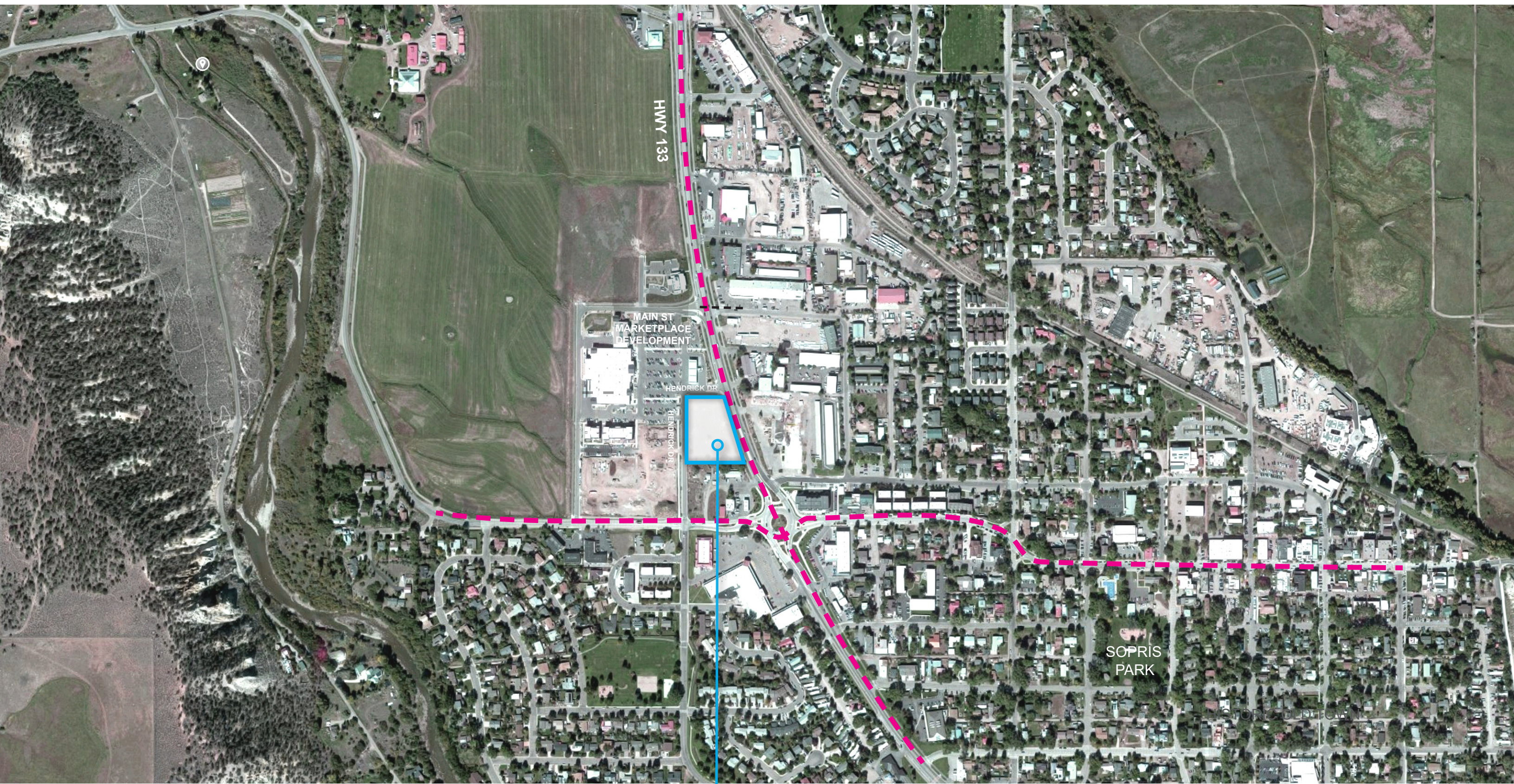


open **studio** | architecture





# Carbondale - ANB Bank Mixed Use Development Context



Hendrick & Hwy 133  
- Lot area 62,722 SF  
- Proposed Zoning: MU  
- New Urban District Design Standards

Scale : NTS North ↑



# Carbondale - ANB Bank Mixed Use Development

## Site Plan - (MU Zoning)

### UDC Zoning Guidelines

<b>Building Height</b>		<b>Landscape Area</b>	
Max Allowed:	3 Stories / 35'	Min Allowed:	10%            6,272 SF
Provided:	2 Story / 32' max	Provided:	19.34%        12,132 SF
<b>Private Common Open Space</b>		<b>Building Setback</b>	
Min. Required:	15%            9,408 SF	Required:	0' + 10' Landscape (HWY 133)
Provided:	30%            18,860 SF	Provided:	10'-0" (Landscape Setback)

### Site/Project Information

Building Total SF =	26,981 GFA (Mixed Use)
Parking Provided:	74 Spaces - Including 4 ADA Spaces
Bike Parking (1 per 3 stalls)	
Min:	25 spaces
Provided:	26 Spaces (13 racks) (18" x 60" stalls)

### Unified Development Code Guidelines

- Buildings shall incorporate human-scaled features at the ground level to encourage pedestrian use, such as articulated entries and windows, canopies, and changes in color or material.
- Facades should be modulated to reduce the appearance of large bulk buildings.
- Large, unbroken facade planes and roof lines should be avoided.
- All building facades facing public streets shall be designed with a similar level of detail. Architectural walls with no detail will not be permitted.
- In cases where the principal entrance does not face a public street, the entrance shall be connected with sidewalk to street and adjacent parking areas.
- The architectural character of new buildings shall complement the architectural character of adjacent existing buildings.
- \*Carbondale, CO UDC Section 5.7.4

### Site Legend

- |                          |  |
|--------------------------|--|
| ① Building Entry         | ⑧ Art Programming Area                 |
| ② Screen Wall            | ⑨ 4' Metal Mesh Fence                  |
| ③ Shared Trash Enclosure | ⑩ Monument Sign                        |
| ④ 10' Landscape Setback  | ⑪ EV Installed Chargers                |
| ⑤ Outdoor Patio Seating  | ⑫ Snow Storage                         |
| ⑥ Play Area              | ⑬ Bike Parking (18" x 60" clear space) |
| ⑦ Fenced Pet Area        |  |



**Illustrative Site Plan**

Scale : 1" = 40'-0"





# Carbondale - ANB Bank Mixed Use Development Landscape Plan

Coniferous Trees			
T	Tannenbaum Mugo 4' ht.	Pinus Mugo 'Tannenbaum'	3
PP	Baby Blue Eyes Spruce	Picea Pungens 'Baby Blue Eyes'	2
<b>Deciduous Trees</b>		2.5" cal.	
CR	Canada Red Chokecherry	Prunus Virginiana	2
O	Swamp White Oak	Quercus Bicolor	2
SS	Crabapple 'Spring Snow'	Malus 'Spring Snow'	3
NM	Norway Maple 'Emerld Queen'	Acer Platanoides 'Emerald Queen'	5
SG	Sienna Glenn Maple	Acer x freemanii 'Sienna'	4
LL	Littleleaf Lindem	Tilia cordata	4
CH	Thornless Cockspur Hawthorn	Crataegus crusgalli inermis	3
			<b>Total Trees</b> 28
<b>Shrubs,</b>			
All shrubs #5 container			
B	Compact Burning Bush	Euonymus alatus 'Compactus'	10
M	Blue Mist Spirea	Caryopteris x clandonensis 'Blue Mist'	12
G	Globe Blue Spruce	Picea Pungens 'Globosa'	9
S	Gro-Low Sumac	Rhus aromatica 'Gro-low'	29
L	Miss Kim Dwarf Lilac	Syringa Patula 'Miss Kim'	13
C	Crimson Pygmy Barberry	Berberis thunbergii 'Crimson pygmy'	7
J	Blue Chip Juniper	Juniperus horizontalis	21
D	Isanti dogwood	Cornus stolonifera 'Isanti'	6
N	Snowmound Spirea	Spiraea nipponica 'Snowmound'	5
R	Golden Currant	Ribes aureum	3
P	Potentilla 'Gold Drop'	Potentilla fruticosa 'Gold Drop'	12
			<b>Total Shrubs</b> 127
<b>Perennials &amp; Grasses</b>			
#1 container			
	Blonde Ambition Blue Grama Grass	Bouteloua gracilis Blonde Ambition	19
	Shenandoah Switchgrass	Panicum Virgatum 'Shenandoah'	56
	Blue Avena Grass	Helictotrichon sempervirens	34
	Karl Foerster Grass	Calamagrostis acutiflora 'Karl Foerster'	23
	Firecracker Penstemon	Penstemon Eatonii	26
	May Night Salvia	Salvia nemorosa 'May Night'	26
	Moonshine Yarrow	Achillea 'Moonshine'	26
	Walker's Low Catmint	Nepeta x faassenii	26
	Purple Coneflower 'Pow Wow'	Echinacea Purpurea 'Pow Wow'	26
	Blackeye Susan	Rudbeckia fulgida 'Goldstrum'	28
			<b>Total Perennials &amp; Grasses</b> 290

### Irrigated Areas

Sod or seed (rotating sprinkler nozzles)	1146 SF
Trees, shrubs & perennials (drip zone)	9,896 SF

Total Irrigated Area 11,042 SF

Includes Hendrick Drive ROW but excludes Hwy. 133 ROW as that landscape is irrigated by Town of Carbondale.

## Notes

Warranty plants and trees for one year after final acceptance. Replace dead or dying materials not in vigorous, thriving condition as soon as weather permits.

Determine locations of underground utilities and perform work in a manner which will avoid possible damage.

Plants shall be specimen quality, typical of their species or variety.

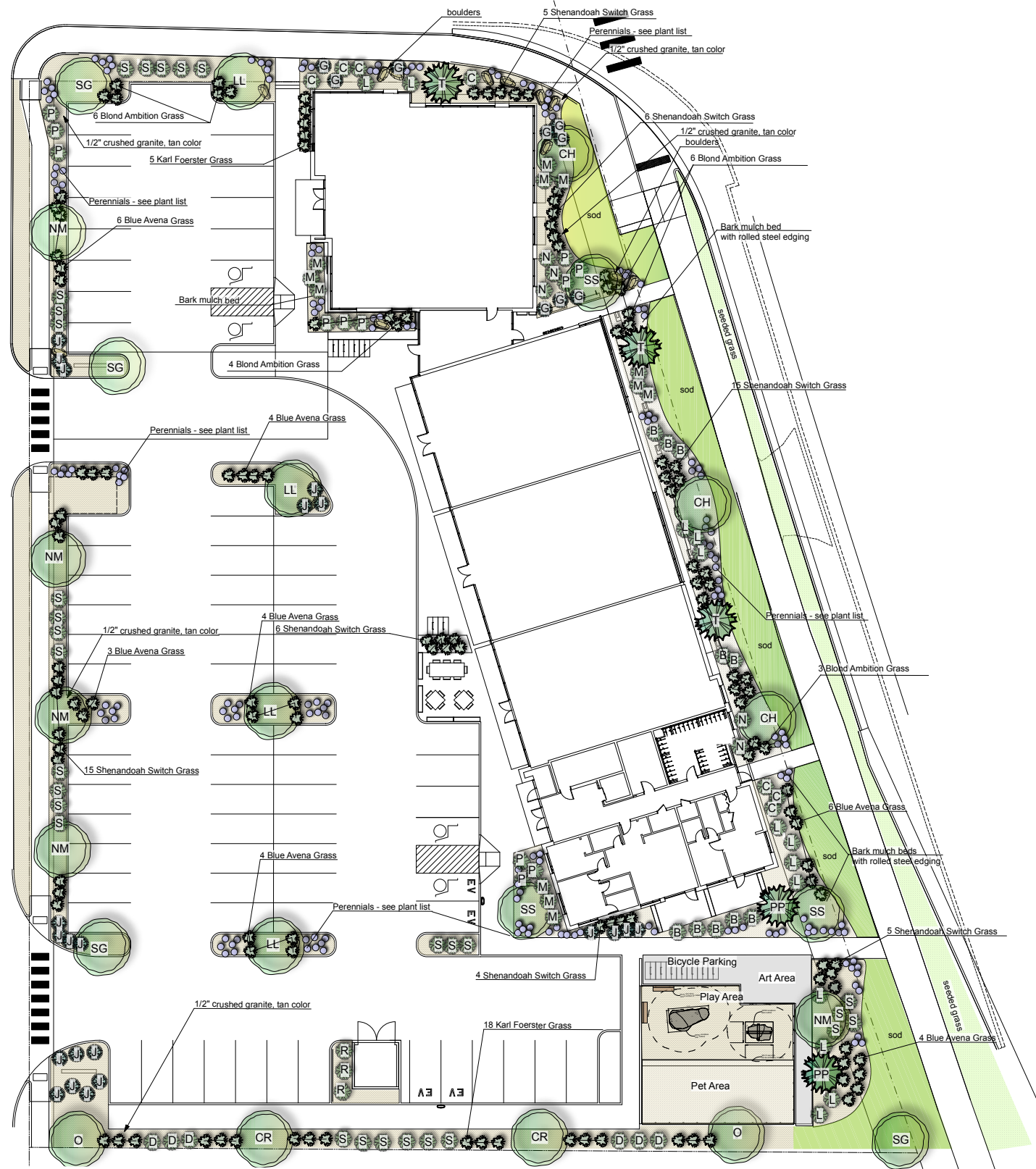
Plant trees and shrubs in pits 12' larger than tree ball,  
backfill with a mix of 2 parts topsoil and 1 part Nutri-Mulch.

Install "Weed Restrictor Fabric" between soil and crushed rock or bark mulch.

All plant materials in river rock or bark mulch will be irrigated with an underground drip zone system.

All sod and seed areas will be irrigated with an underground system utilizing rotating sprinkler nozzels.

Weather based irrigation controls shall include functioning soil moisture sensors and a rain sensor as components of the system.





# Carbondale - ANB Bank Mixed Use Development

## Level 1 Plan

### Building Areas

Level 1 Overall	14,085 GFA
Level 2 Overall	12,896 GFA
Total	26,981 GFA*
Possible Retail	4,593 GFA
Possible Restaurant (Indoor + Outdoor Dining)	2,505 GFA
Bank	3,269 GFA
Office (Level 1 Common)	439 GFA
Office (Level 2 Common)	1040 GFA
Office (Level 2 Shell)	2,216 GFA
Multi-Family (Level 1)	3,279 GFA
Multi-Family (Level 2)	9,640 GFA
Total	26,981 GFA*

\*Gross floor area calculations used for the purposes of parking requirements exclude mechanical and elevator shafts and do not include stair shafts above Level 1.

\*Gross floor Area includes 300 sf Outdoor Dining Area as shown in the site plan for use of parking requirements

### Building Height

Max Allowed	35'
Bank / Residences	32' / 28'-8" and 31'

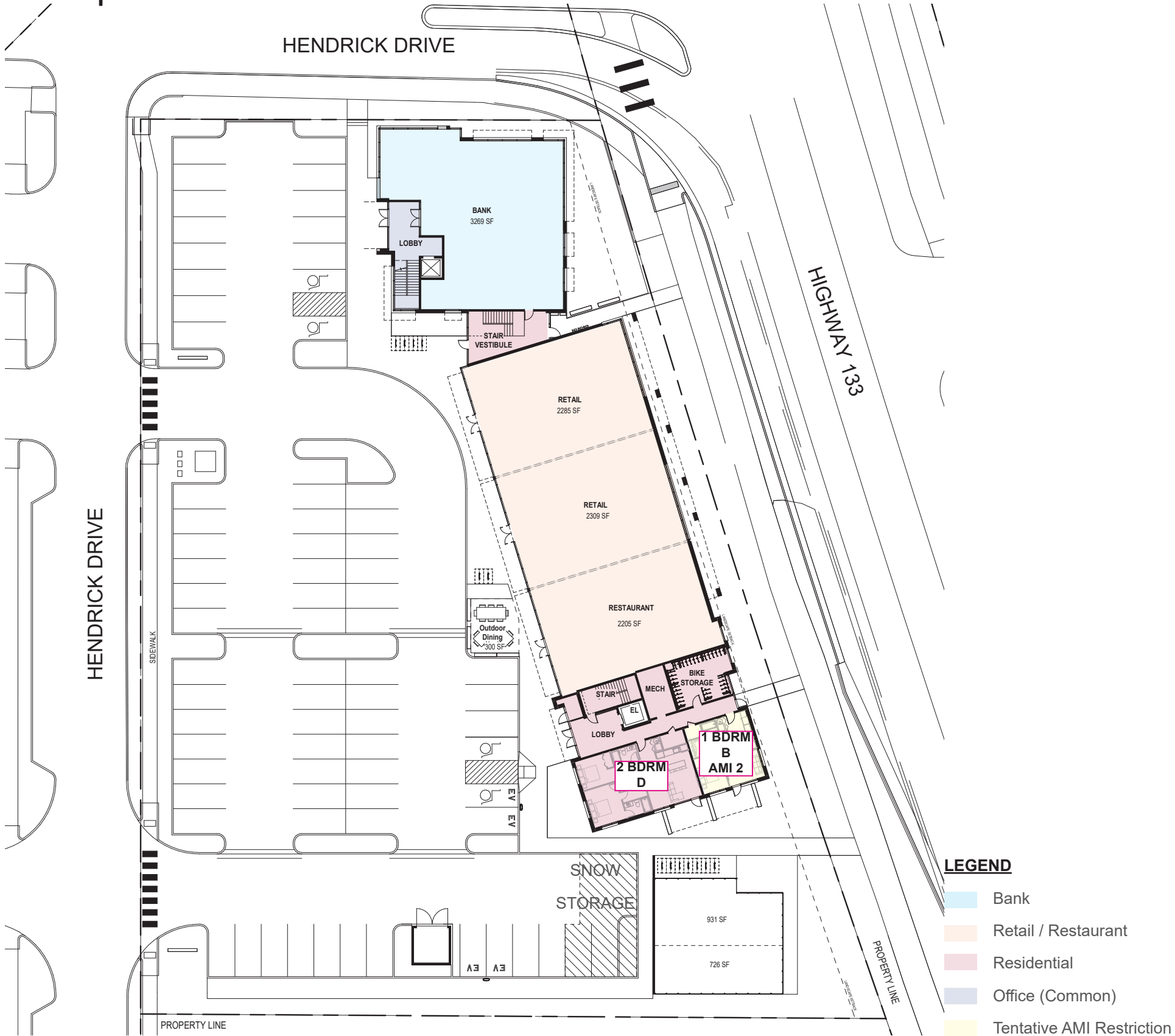
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2 Bdrm C	1	956	319	326	7.25'x5'x9'	-
2 Bdrm D	1	1000	333	335	8'x4.66'x9'	-
Total	16	--	--	--	--	-

\* GFA unit calculation excludes covered private outdoor space and is measured from centerline of demising unit walls and outside face of exterior wall.

\*\*Provided design layouts of the residential units, and possible retail/restaurant space are conceptual and subject to change.

### Parking

Required:			
Bank -	(4/1000 GFA)	3,269 GFA	13.1 Stalls
Office -	(1/300 GFA)	3,695 GFA	12.3 Stalls
Retail -	(1/200 GFA)	4,593 GFA	23.0 Stalls
Restaurant (Dining) -	(1/150 GFA)	2,505 GFA	16.7 Stalls
Household Living:			
Studio (Efficiency) Unit	(1.25/ Unit)	3 Units	3.75 Stalls
One Bdrm Units	(1.5/ Unit)	9 Units	13.5 Stalls
Two Bbrm (Under 800)	(1.5/ Unit)	1 Units	1.5 Stalls
Two Bdrm (Over 800)	(1.75/ Unit)	3 Units	5.25 Stalls
Total Required			89.1 Stalls
Reductions:	5.8.4.D1	(89.1 x .15)	-13.4 Stalls
	5.8.4.D2	(24 x .15)	- 3.6 Stalls
Total Required (w/ reduction)			72.1 Stalls
Total Provided			74 Stalls



### Level 1 Plan

Scale : 1" = 40'-0"

\*Each AMI # correlates to thier specific category.  
For example, AMI is Category 1 AMI.

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# Carbondale - ANB Bank Mixed Use Development

## Level 2 Plan

### Building Areas

Level 1 Overall	14,085 GFA
Level 2 Overall	12,896 GFA
Total	26,981 GFA*
Possible Retail	4,593 GFA
Possible Restaurant (Indoor + Outdoor Dining)	2,505 GFA
Bank	3,269 GFA
Office (Level 1 Common)	439 GFA
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Multi-Family (Level 1)	3,279 GFA
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	5.8.4.D2	(24 x .15)	- 3.6 Stalls
Total Required (w/ reduction)			72.1 Stalls
Total Provided			74 Stalls



LEGEND

Bank

Retail / Restaurant

Residential

Office

Tentative AMI Restriction

### Level 2 Plan

Scale : 1" = 40'-0"



\*Each AMI # correlates to thier specific category.  
For example, AMI is Category 1 AMI.

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# Carbondale - ANB Bank Mixed Use Development

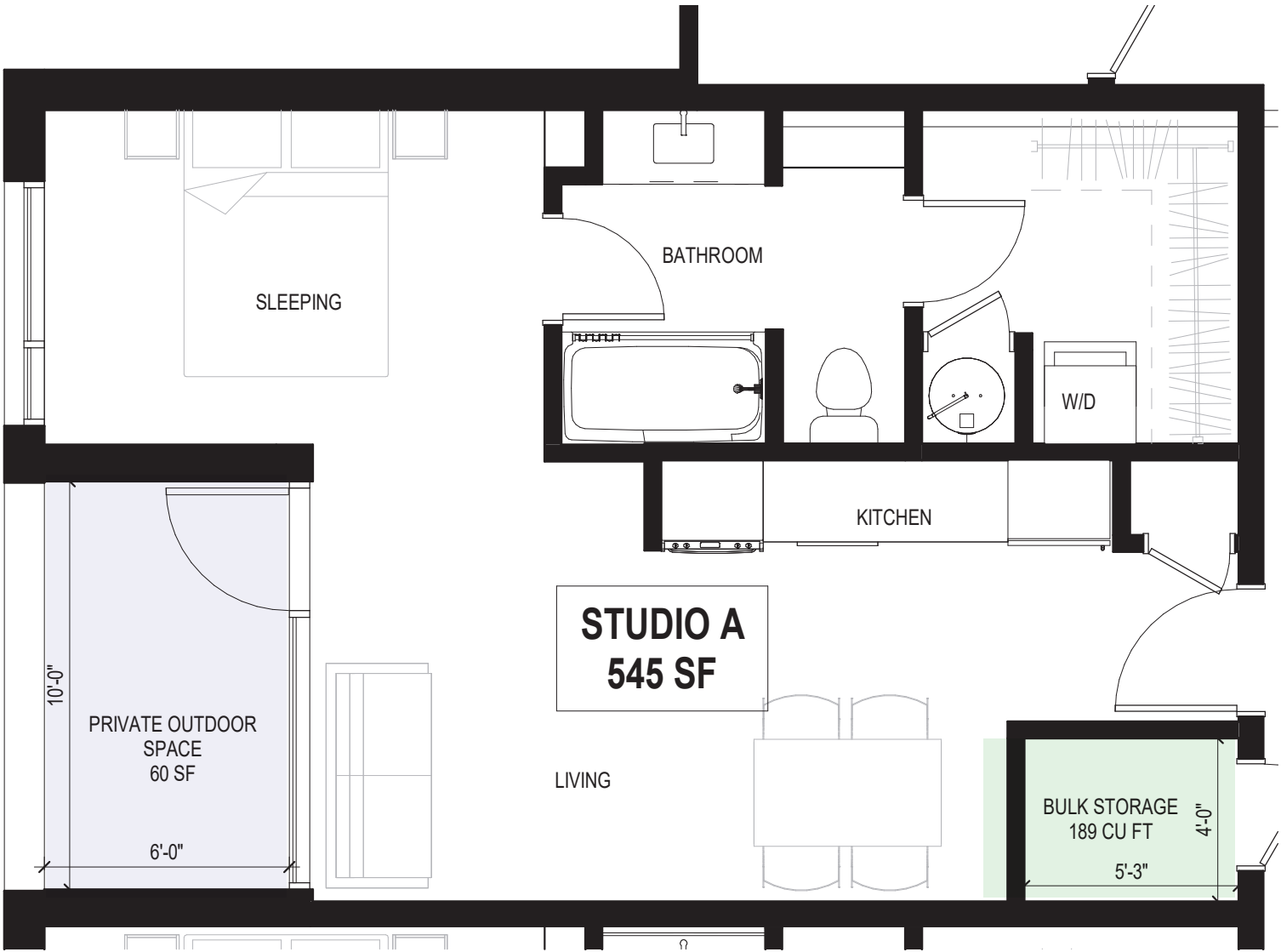
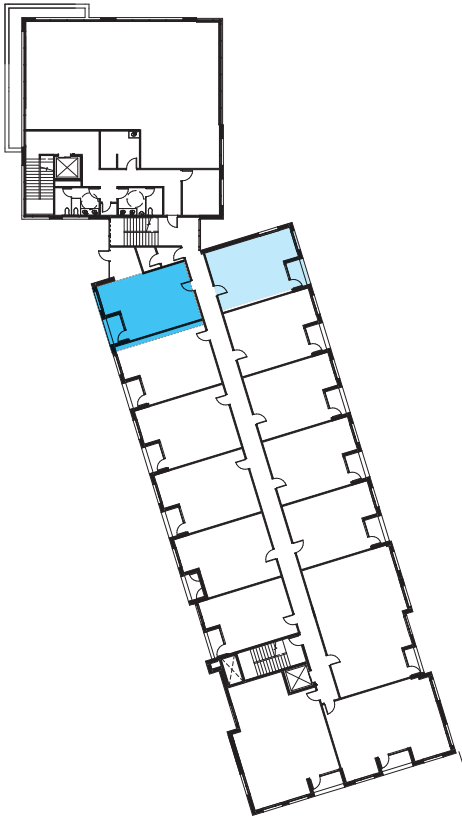
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### LEGEND

- Required Storage
- Required Private Outdoor Space



Studio (Efficiency) - Unit Type A

Scale : 1/4" = 1'-0"





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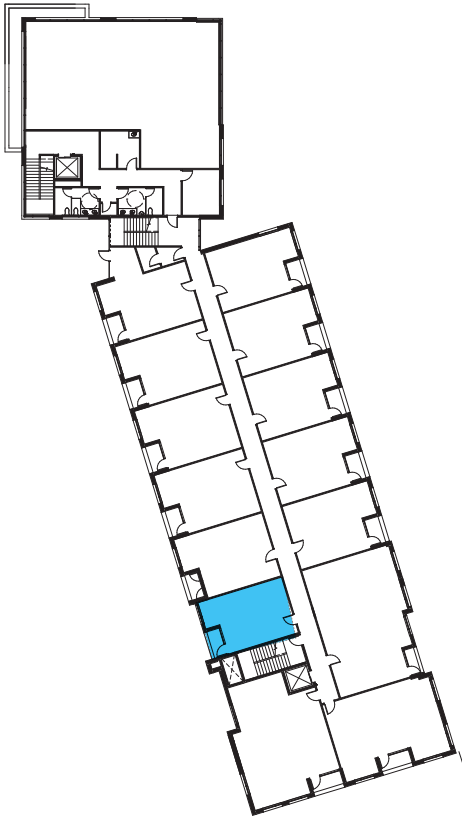
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LEGEND

- Required Storage
- Required Private Outdoor Space



Studio (Efficiency) - Unit Type B

Scale : 1/4" = 1'-0"





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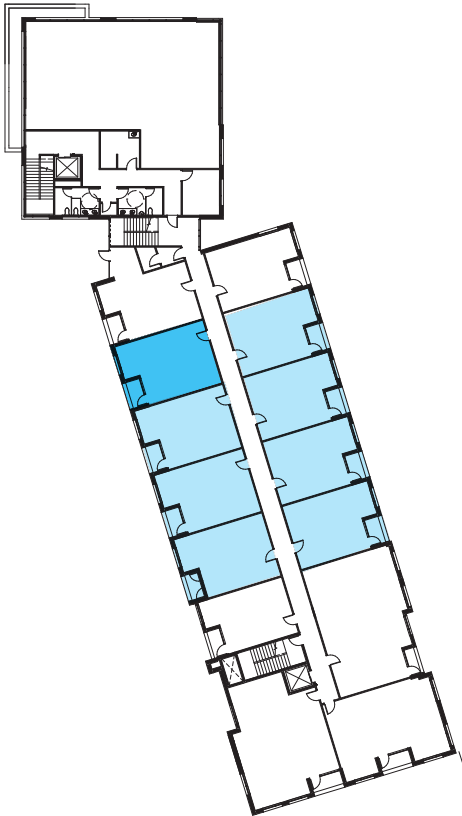
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### LEGEND

- Required Storage
- Required Private Outdoor Space



1 Bedroom Apt - Unit Type A

Scale : 1/4" = 1'-0"





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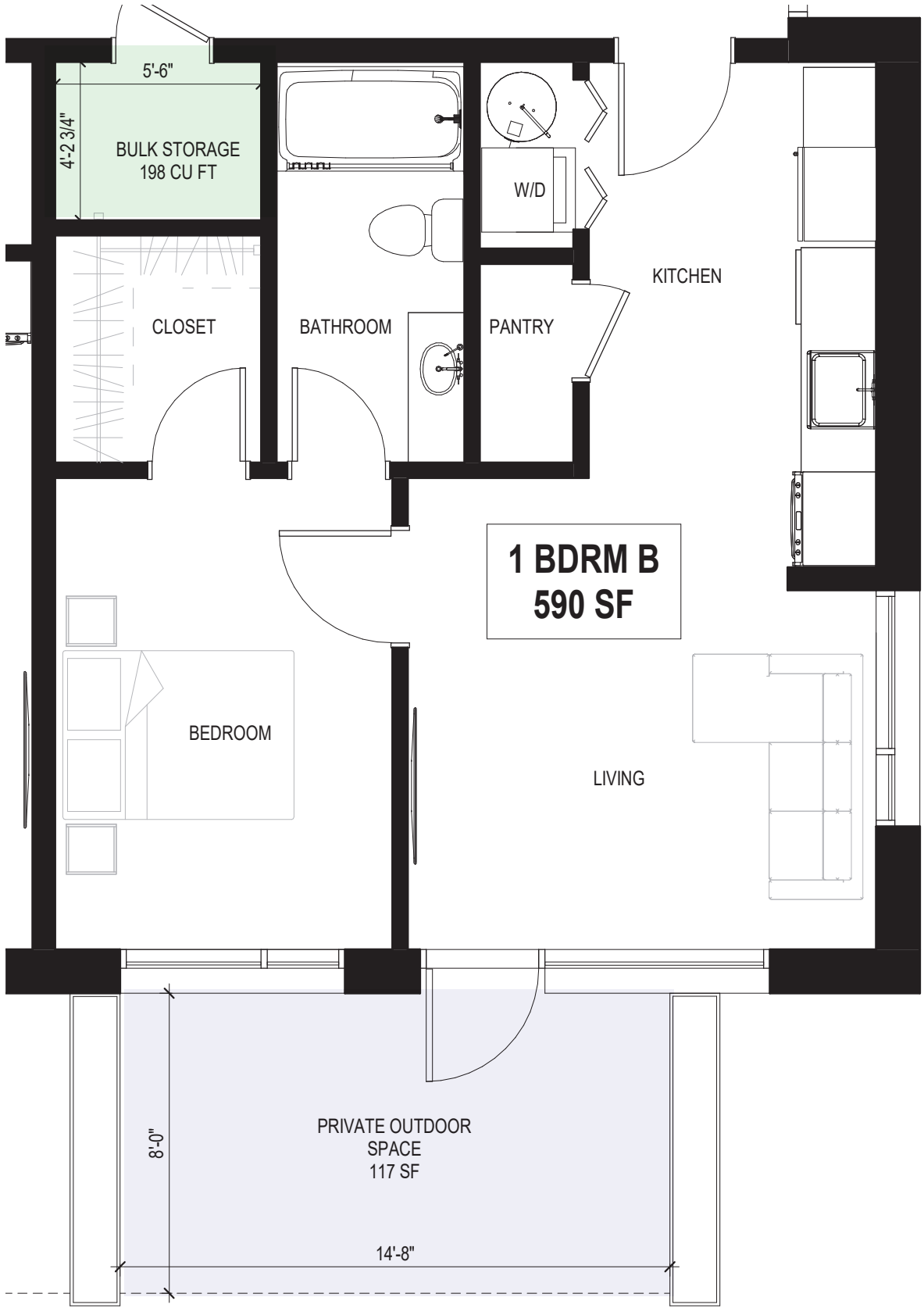
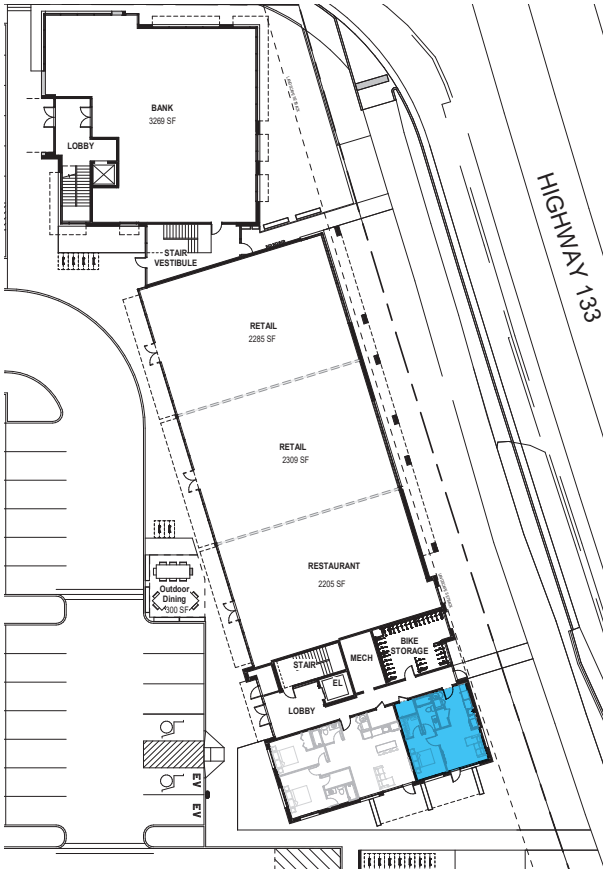
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### LEGEND

- Required Storage
- Required Private Outdoor Space



1 Bedroom Apt - Unit Type B

Scale : 1/4" = 1'-0"



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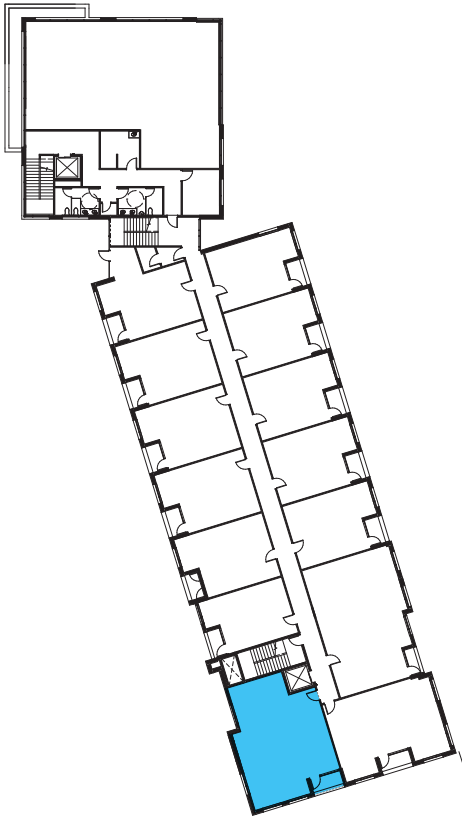
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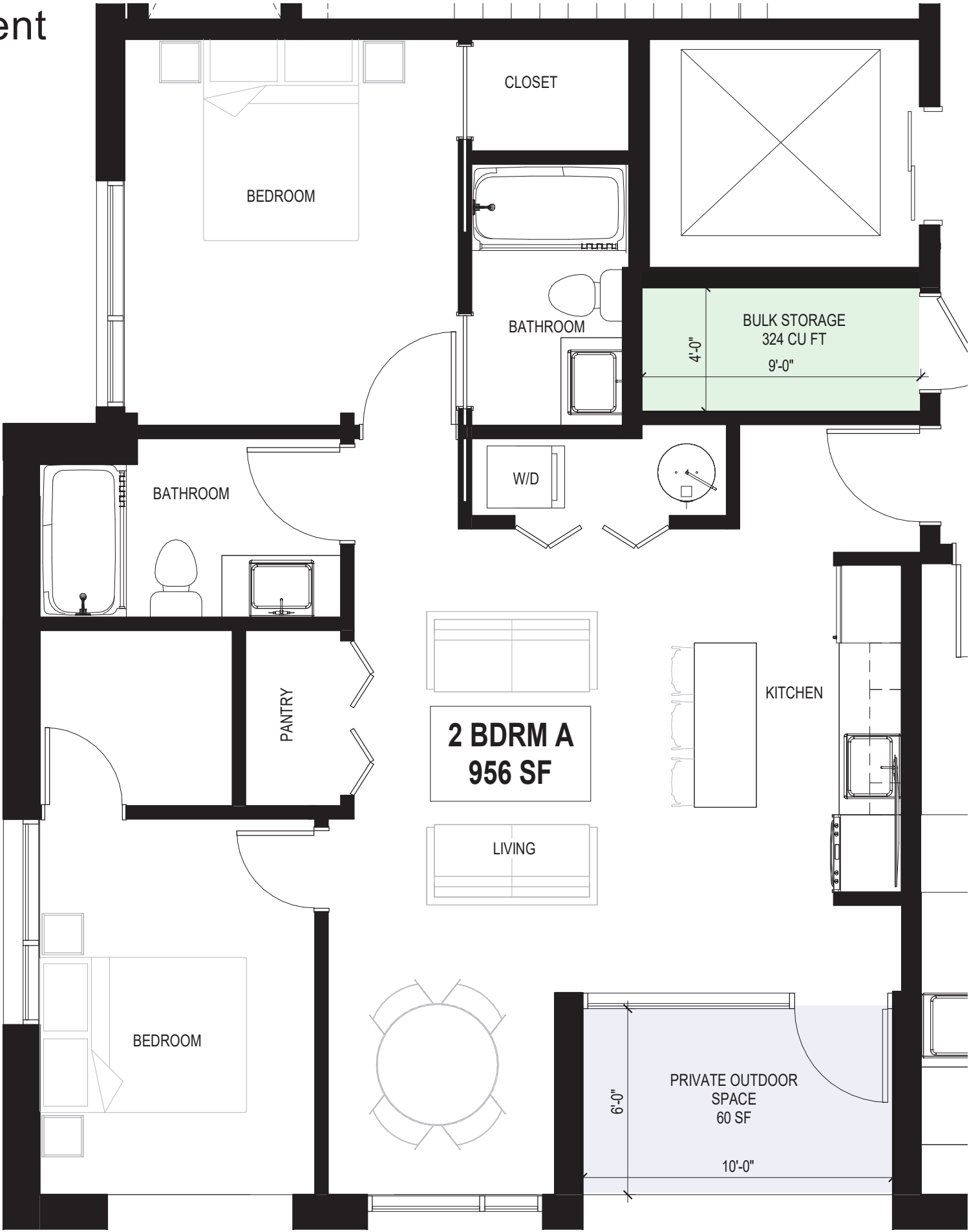
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LEGEND

- Required Storage
- Required Private Outdoor Space



2 Bedroom Apt - Unit Type A  
Scale : 1/4" = 1'-0" N ↗





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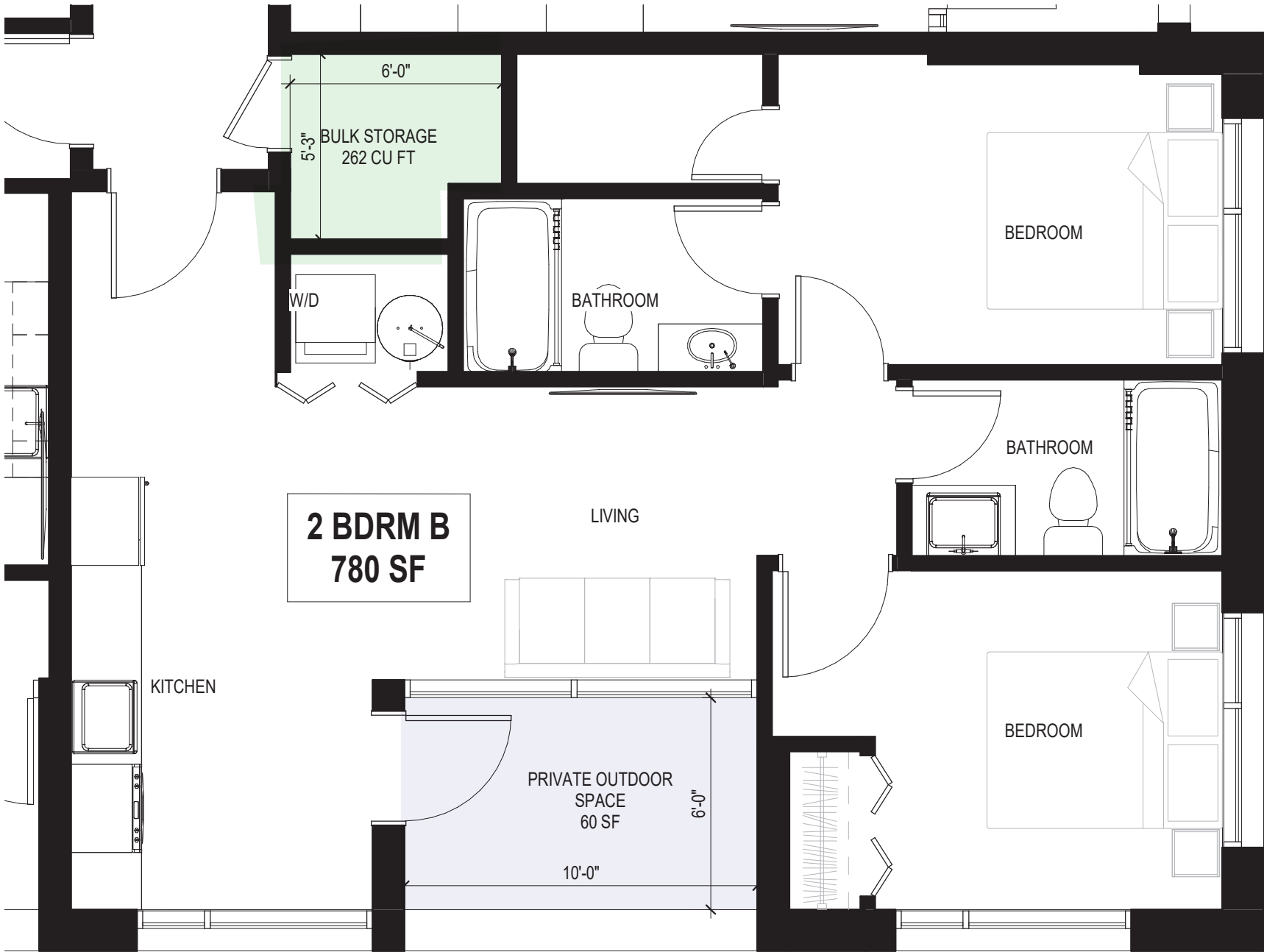
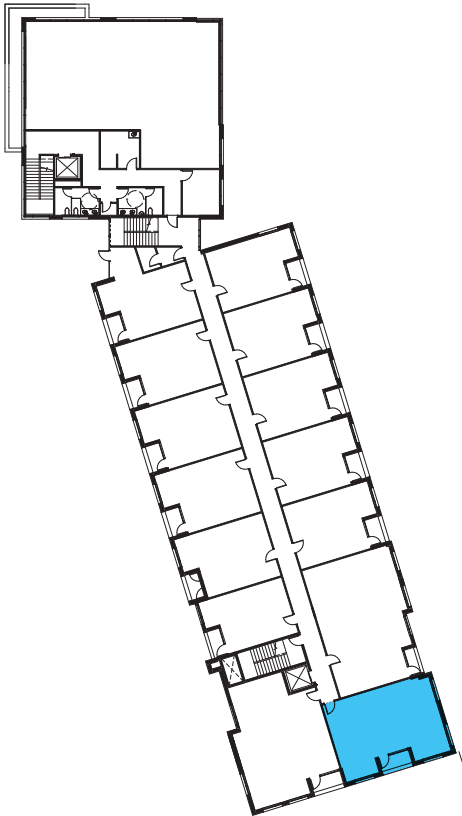
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### LEGEND

- Required Storage
- Required Private Outdoor Space



2 Bedroom Apt - Unit Type B

Scale : 1/4" = 1'-0"





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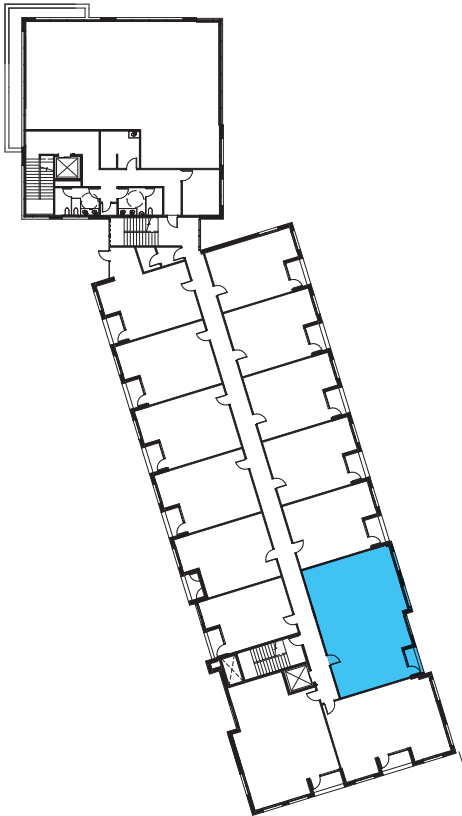
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LEGEND

- Required Storage
- Required Private Outdoor Space



2 Bedroom Apt - Unit Type C

Scale : 1/4" = 1'-0"

N ↗





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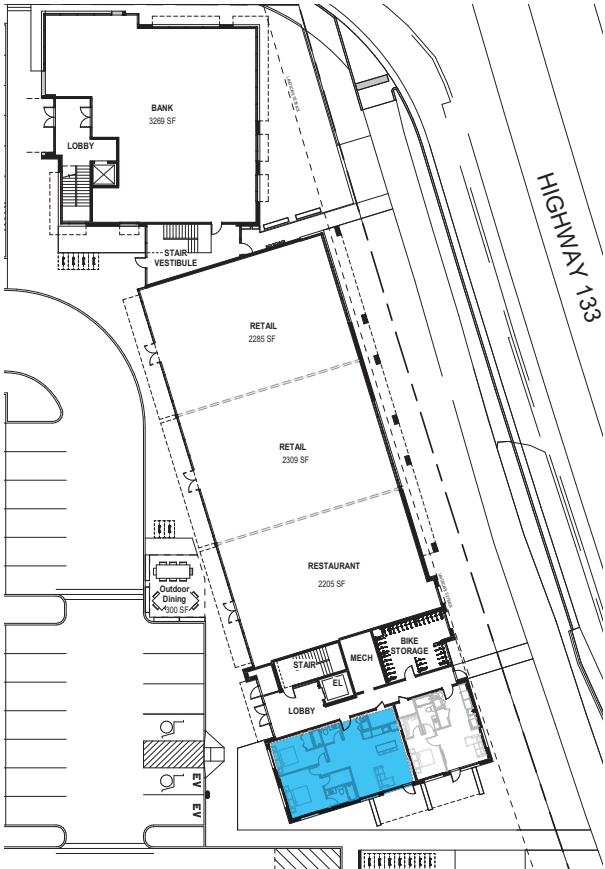
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LEGEND

- Required Storage
- Required Private Outdoor Space



2 Bedroom Apt - Unit Type D

Scale : 1/4" = 1'-0"



# Carbondale - ANB Bank Mixed Use Development

## Building Elevations (1/16" = 1'-0")



ANB Bank - East Elevation, Facing HWY 133



ANB Bank - West Elevation



South and Central Residential - Eas Elevation, Facing HWY 133



South and Central Residential - West Elevation



# Carbondale - ANB Bank Mixed Use Development

## Building Elevations (1/16" = 1'-0")





Carbondale - ANB Bank Mixed Use Development  
Project Views - View from Hwy 113





Carbondale - ANB Bank Mixed Use Development  
Project Views - ANB Bank



Bank Building Entry



# Carbondale - ANB Bank Mixed Use Development

## Project Views - West Elevation



Retail and Residential Entry



Carbondale - ANB Bank Mixed Use Development  
Project Views - South Residential



Southeast Facade at Hwy 133



Carbondale - ANB Bank Mixed Use Development  
Project Views of Surrounding Area : Facing North





# Carbondale - ANB Bank Mixed Use Development

## Project Views of Surrounding Area : Facing South





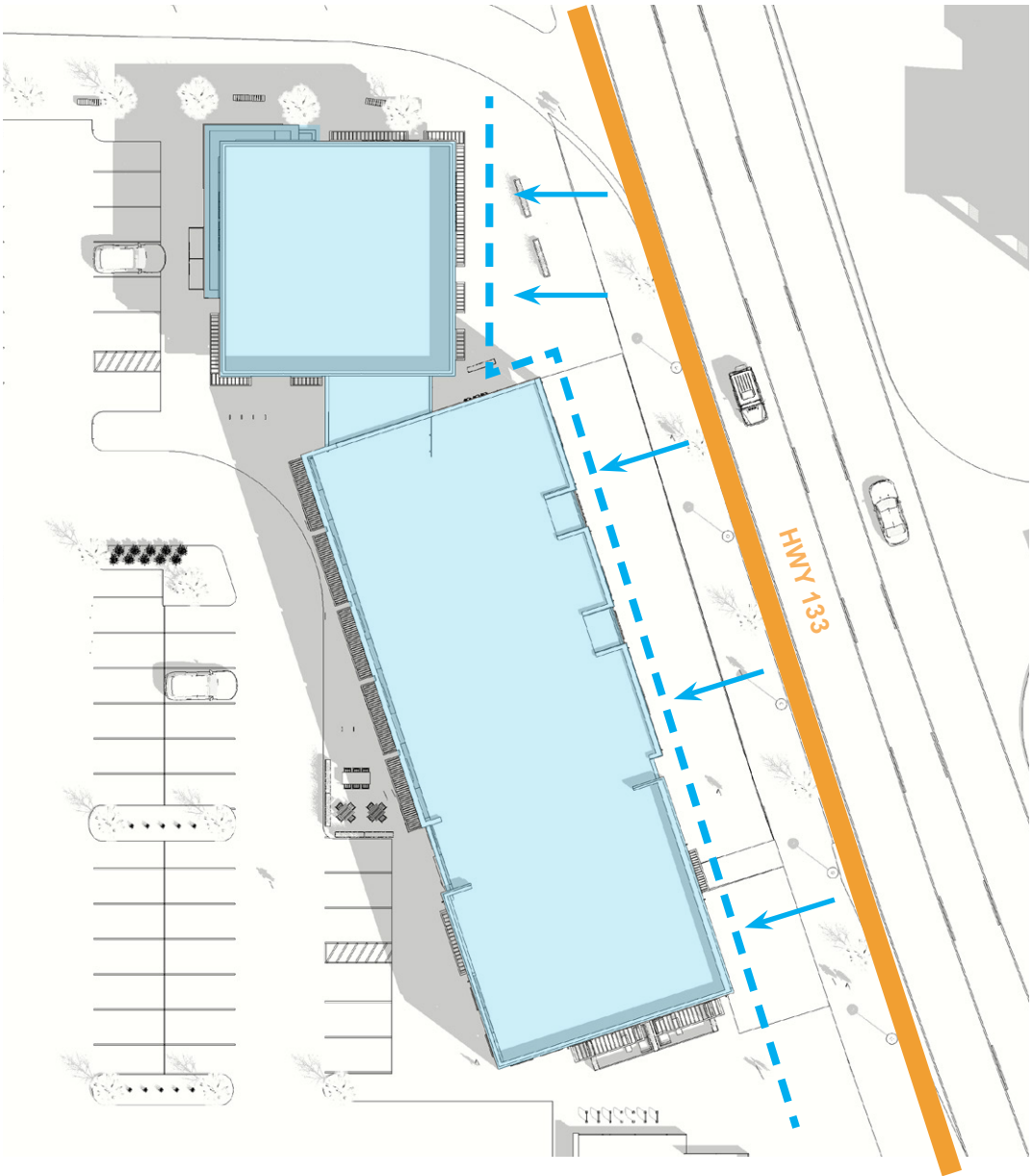
# Carbondale - ANB Bank Mixed Use Development

## Massing Setback

Planning Department Comments to Address:

UDC Code 5.6.5: The Mass of the building shall be reduced by **varying setbacks** and building heights of individual units

Massing Setback 1 (Varied Building Orientation to HWY 133)



Massing Setback 2 (Variation in Building Form with Varying Setbacks)





# Carbondale - ANB Bank Mixed Use Development

## Varied Roof Line

### Planning Department Comments to Address:

**UDC Code 5.6.5:** The Mass of the building shall be reduced by **varying setbacks** and **building heights** of individual units

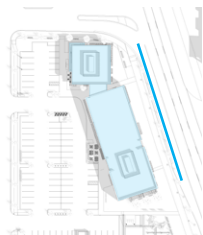
**UDC Code 5.6.2:** Long roof lines shall be varied by providing different heights of varying roof orientations. Parapet walls should be interrupted by setbacks or varying heights to provide variety to the roof line.

**UDC Code 5.7.6 B:** Buildings shall be designed to reduce apparent mass by dividing facades into a series of smaller components. No individual component shall have a length of more than 60 feet, measured horizontally.

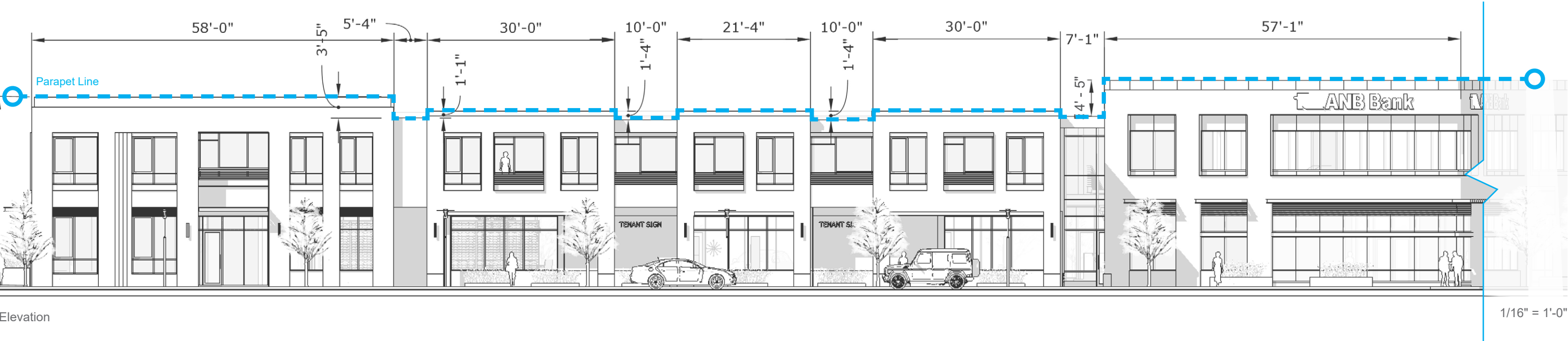
**UCD 5.7.6 C:** Buildings shall be designed to reduce apparent mass by including a clearly identifiable base, body, and top, with horizontal elements separating these components. The component described as the body shall constitute a minimum of 50 percent of the total building height.

**UDC Code 5.7.6 D-3:** On the facade facing the principal street **at least 30% of the ground floor wall area shall be transparent glazing.**

- 69% of ground floor wall area is transparent glazing



site plan



East Elevation

1/16" = 1'-0"

# Carbondale - ANB Bank Mixed Use Development

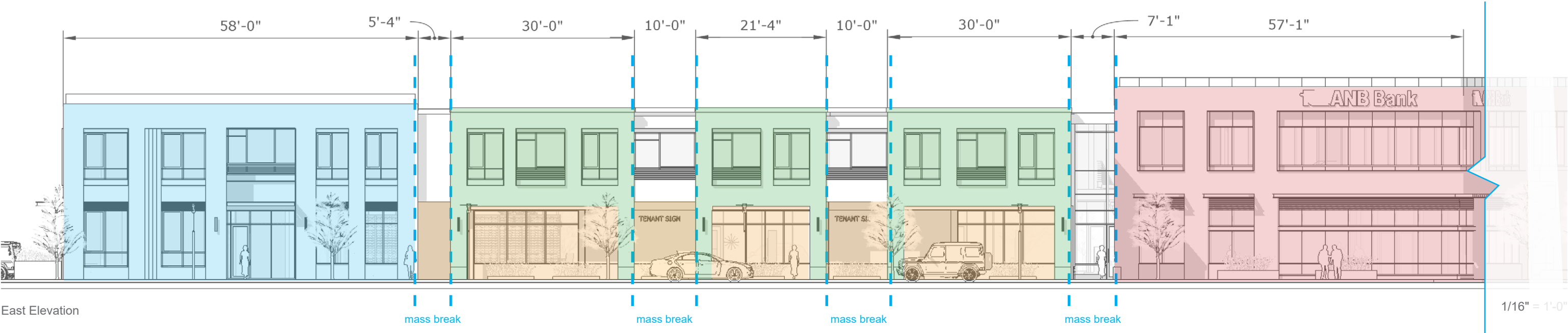
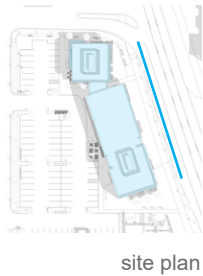
## Defining Building Masses Through Program

**Planning Department Comments to Address:**

**UDC 5.7.6 D-2:** Ground-floor facades that face public streets or other public areas (e.g., outdoor gathering spaces, parks or open space, parking areas) shall incorporate pedestrian-oriented design features along no less than 60 percent of their horizontal length. Pedestrian-oriented design features may include arcades, display windows, entry ways, awnings, or other features. Shaded sidewalks that are part of the building design may be credited toward this standard.

**UCD 5.7.6 C:** Buildings shall be designed to reduce apparent mass by including a **clearly identifiable base, body, and top**, with horizontal elements separating these components. The component described as the body shall constitute a minimum of 50 percent of the total building height.

- 1. South Residential
- 2. Commercial
- 3. Central Residential
- 4. ANB Bank





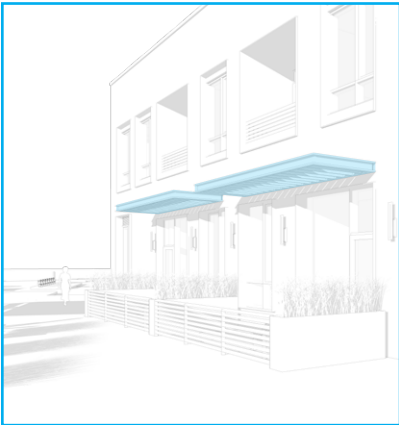
# Carbondale - ANB Bank Mixed Use Development

## Architecture Elements to Meet UDC

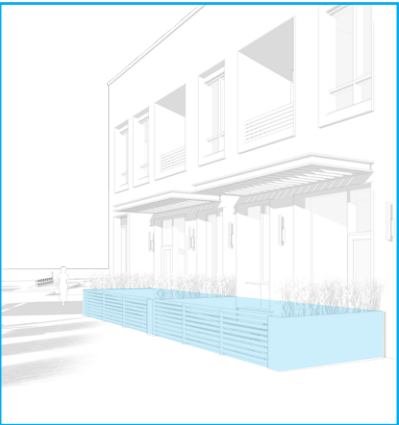
Planning Department Comments to Address:

**UDC Code 5.6.4:** Use of **patios, trellises, etc.** to provide relief and contrast to other similar buildings within the site shall be used to help provide private open space and an element of privacy

**UDC Code 5.6.5: "Private Outdoor Space"** (balconies and patios) means the usable floor area of any patio, porch, or deck or enclosed yard attached to and accessible directly from a particular dwelling unit and that is for the exclusive private use by the residents of a particular dwelling unit.



① Trellises

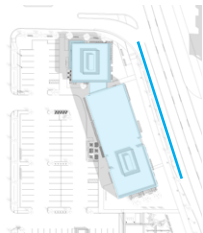


② Private Patios



③ Private Balconies

- 1. Trellises for Private Patios
- 2. Private Patios for Individual Units
- 3. Private Balcony for Individual Units
- 4. Awnings



site plan



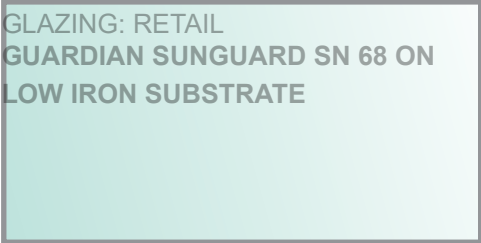
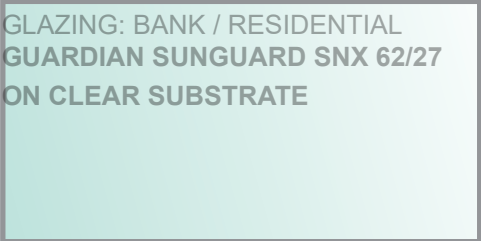
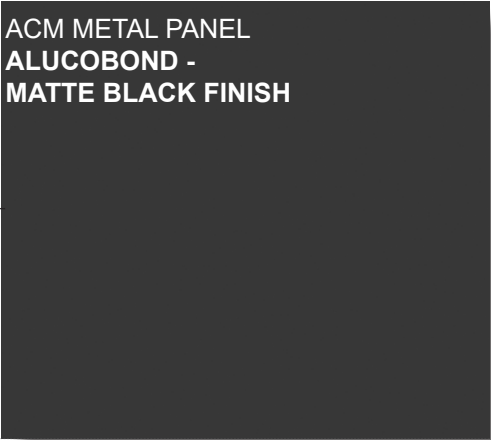
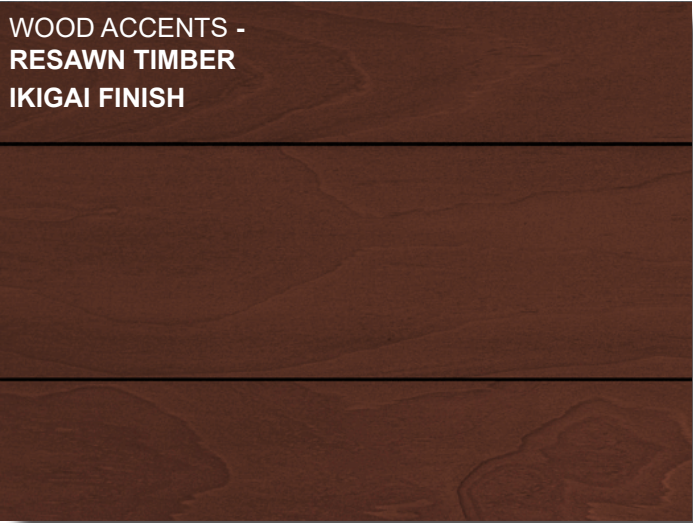
East Elevation

1/16" = 1'-0"



# Carbondale - ANB Bank Mixed Use Development

## Material Palette





# Carbondale - ANB Bank Mixed Use Development Sustainability Site Map



1 **Photovoltaic (Solar) Panels**  
To reach a 10% offset of the estimated energy usage, ~1400 sf of PV would be installed, the residential building roof can accommodate ~5600 sf of PV and can produce offsets of up to 40%.

2 **E-Charging Stations**  
Electric vehicle charging stations to provide power for, and encourage the use of electric vehicles.

3 **Locally Sourced and Recycled Materials**  
Specifically chosen materials that are local to Colorado, within a 500 mile range of the site, or are certified as a sustainably sourced material. This will lower the embodied carbon footprint.

4 **Low U-Value Glass**  
High performing glazing with low U-value and SHGC will reduce the amount of solar transmittance into the building.

5 **Native Landscaping**  
The use of vegetation local to the area will conserve the structure's overall water usage.

6 **Solar Shading**  
On the East and Western facades, solar shading will reduce the amount of heat gain, lowering the structure's energy use.

7 **Sensor Lighting Systems**  
Occupancy detecting light sensors in the commercial areas of the building, will reduce energy usage.

8 **All Electric Mechanical Systems**  
The elimination of natural gas (with the exception of a commercial kitchen in the restaurant) requires less maintenance and lowers the building's consumption of non-renewable energy sources.

## CODE COMPLIANCE:

[IGCC SEC 407]  
(2) electric vehicle charging station

[IGCC SEC 505.2.5]  
Indigenous or recycled building materials will be used

[IGCC SEC 605.1]  
U.057 insulation for walls (CI and Batts) and R-31(U.032) insulated roof exceeds IECC by more than 10% (U.084 for walls and .068 for roof)

[IGCC SEC 605.1.1.1]  
Permanent fixed shading devices for fenestrations.

[IGCC SEC. 606]  
Electric variable air volume, zoned HVAC distribution

[IGCC SEC. 608]  
LED light fixtures throughout average 0.7 watts/sf (1.3 watt max allowed per code)

[IGCC SEC 610]  
1270 sf/ 31 kw solar array exceeds 10% of estimated annual energy use, Potential to install up to 6200 sf or 250 kw of solar panel array total.

[IGCC SEC 702]  
Low flow plumbing fixtures



# Carbondale - ANB Bank Mixed Use Development

## 2012 International Green Construction Code - Compliance Report

ANB Carbondale

2018 International Green Construction Code - Compliance Report



### 2. Energy Modeling Results - Annual Energy Use

End Use	Baseline Design			Proposed Design		
	kWh	Therms	Emissions	kWh	therms	Emissions
Interior Lighting	67,940 kWh	-	91,583 lbs CO <sub>2</sub> e	61,921 kWh	-	10,057 lbs CO <sub>2</sub> e
Exterior Lighting	23,526 kWh	-	31,713 lbs CO <sub>2</sub> e	9,803 kWh	-	6,561 lbs CO <sub>2</sub> e
Space Heating	-	4,716 therms	70,340 lbs CO <sub>2</sub> e	59,717 kWh	-	151 lbs CO <sub>2</sub> e
Space Cooling	57,317 kWh	-	77,263 lbs CO <sub>2</sub> e	33,801 kWh	-	12,194 lbs CO <sub>2</sub> e
Fans-Interior	155,754 kWh	-	209,956 lbs CO <sub>2</sub> e	52,362 kWh	-	6,843 lbs CO <sub>2</sub> e
Service Hot Water	7,559 kWh	2,179 therms	42,693 lbs CO <sub>2</sub> e	19,038 kWh	-	766 lbs CO <sub>2</sub> e
Receptacle Equipment	53,549 kWh	-	72,184 lbs CO <sub>2</sub> e	52,856 kWh	-	27,784 lbs CO <sub>2</sub> e
Appliances and Kitchen Equipment	19,743 kWh	1,000 therms	41,527 lbs CO <sub>2</sub> e	19,471 kWh	1,000 therms	700 lbs CO <sub>2</sub> e
TOTALS	385,387 kWh	7,896 therms	637,259 lbs CO <sub>2</sub> e	308,969 kWh	1,000 therms	101,536 lbs CO <sub>2</sub> e
kBtuh-equivalent	2,104,532 kBtuh			1,154,228 kBtuh		

### 3. 2018 IGCC Calculations

#### 3.1. Annual Energy Cost with Renewables

Section 701.5.1 – with renewables

$$PCI_t = [BBUEC + (BPF * BBREC) - REC] / (BBUEC + BBREC)$$

	Baseline	Proposed
BBUEC	\$9,106	-
BBREC	\$41,838	-
BPF	0.619	-
REC (see calculations on right)	\$3,184	\$3,667
PCI <sub>t</sub>	0.624	-
PCI	-	0.608

Proposed PCI < PCI<sub>t</sub>? Yes, Complies 2.6%

REC calculations per 2018 IGCC Section 701.4.1.1.1

Alternate Renewables Approach

	Baseline	Proposed
Roof area	14,315 ft <sup>2</sup>	-
Required PV production	7 kBtu/ft <sup>2</sup>	-
	100,205 kBtuh	-
Required kWh	29,368 kWh	-
Proposed kWh, 10% energy offset	-	115,423 kBtu or 33,828 kWh
Cost Offset	\$3,184	\$3,667

Proposed kWh > Required kWh? Yes, Complies

#### 3.2. Annual Energy Cost without Renewables

Section 701.5.1 – without renewables

$$PCI_t = [BBUEC + (BPF * BBREC)] / (BBUEC + BBREC)$$

	Baseline	Proposed
BBUEC	\$9,106	-
BBREC	\$41,838	-
BPF	0.619	-
PCI <sub>t</sub>	0.624	-
PCI	-	0.608

Proposed PCI < PCI<sub>t</sub>? Yes, Complies 1.0%

#### 3.3. Annual Carbon Dioxide Equivalent (CO<sub>2</sub>e)

	Baseline	Proposed
lbs CO <sub>2</sub> e	637,259 lbs CO <sub>2</sub> e	431,408 lbs CO <sub>2</sub> e
Renewables impact, 10% offset	-	-45,601 lbs CO <sub>2</sub> e
BPF	0.619	-
Total lbs CO <sub>2</sub> e	394,320 lbs CO <sub>2</sub> e	385,807 lbs CO <sub>2</sub> e

Proposed CO<sub>2</sub>e < Baseline CO<sub>2</sub>e? Yes, Complies

### 4. Carbondale Amendments to 2012 IGCC Calculations

#### 4.1. Zero Energy Performance Index (zEPI)

Equation 6-1

	Baseline	Proposed
Area SF	27,434	
Baseline EUI	76.7	-
Proposed EUI <sub>p</sub>	-	42.1
zEPI	-	31.3

zEPI < 47? Yes, Complies





CARBONDALE  
C O L O R A D O

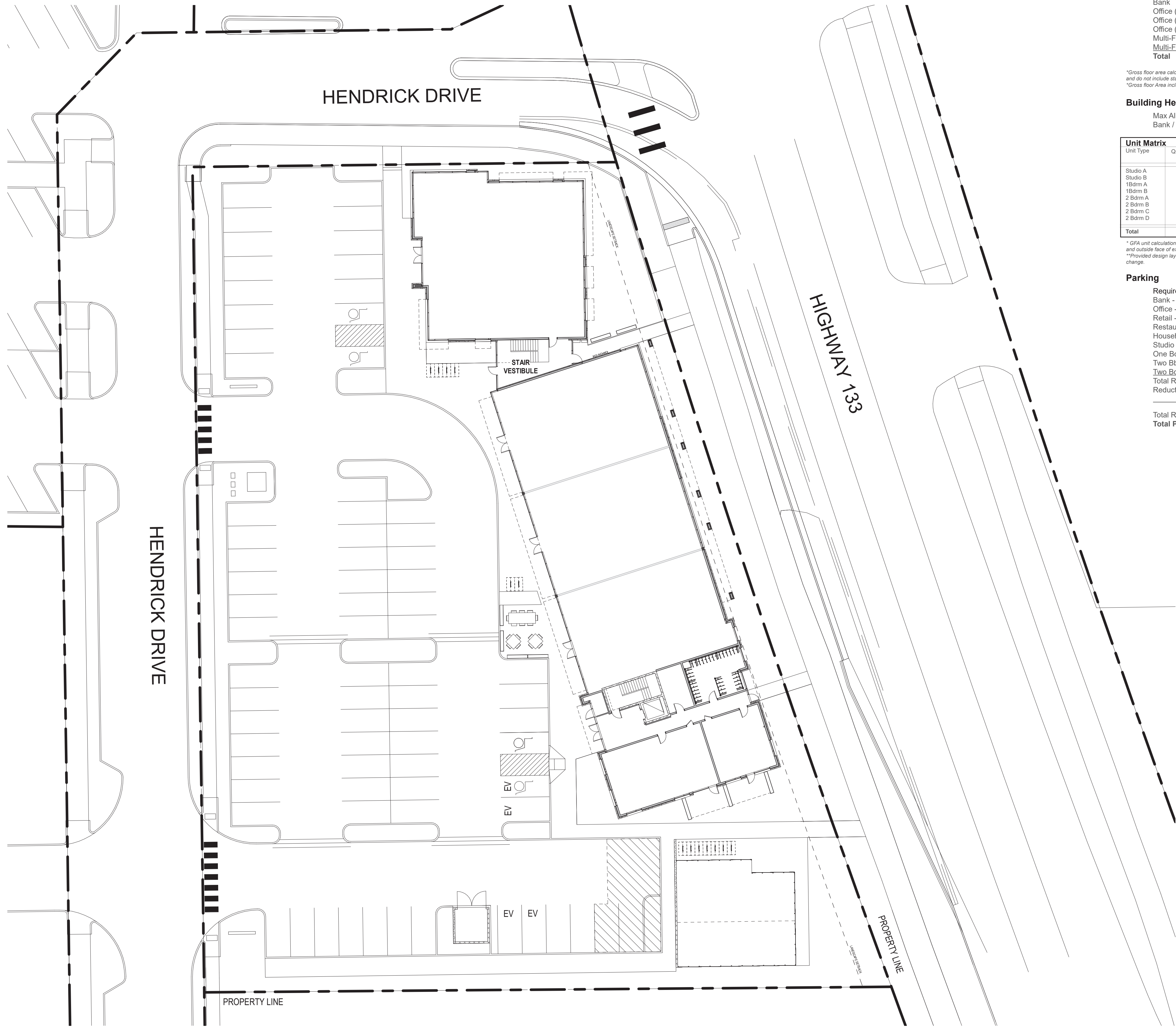
Thank You





# ANB CARBONDALE MIXED USE BUILDING

## MAJOR SITE PLAN REVIEW SUBMITTAL



Building Areas		
Level 1 Overall	14,085 GFA	
Level 2 Overall	12,896 GFA	
Total	26,981 GFA*	
Possible Retail	4,593 GFA	
Possible Restaurant (Indoor + Outdoor Dining)	2,505 GFA	
Bank	3,269 GFA	
Office (Level 1 Common)	439 GFA	
Office (Level 2 Common)	1040 GFA	
Office (Level 2 Shell)	2,218 GFA	
Multi-Family (Level 1)	3,279 GFA	
Multi-Family (Level 2)	9,640 GFA	
Total	26,981 GFA*	

\*Gross floor area calculations used for the purposes of parking requirements exclude mechanical and elevator shafts and do not include stair shafts above Level 1.  
\*Gross floor area includes 300 sf of outdoor dining area as shown in the site plan for use of parking requirements

Building Height		
Max Allowed	35'	
Bank / Residences	32' / 28'-8" and 31'	

Unit Matrix						
Unit Type	Quantity	Unit Area* (GFA)	Required Bulk Storage (Cu. Ft.)	Provided Bulk Storage (Cu. Ft.)	Bulk Storage Dimensions	AMI Deed Restriction
Studio A	2	545	182	189	5.25'x4'x9'	-
Studio B	1	395	132	139	4.75'x3.25'x9'	1,3
1Bdrm A	8	550	184	189	5.25'x4'x9'	-
1Bdrm B	1	590	197	198	4'x5.5'x9'	2
2 Bdrm A	1	956	319	324	4'x9'x9'	-
2 Bdrm B	1	780	260	262	6'x5.25'x9'	-
2 Bdrm C	1	956	319	320	7.25'x5'x9'	-
2 Bdrm D	1	1000	333	335	8'x4.68'x9'	-
Total	16	--	--	--	--	-

\* GFA unit calculation excludes covered private outdoor space and is measured from centerline of demising unit walls and outside face of exterior wall.  
\*\* Provided design layouts of the residential units, and possible retail/restaurant space are conceptual and subject to change.

Parking			
Required:			
Bank -	(4/1000 GFA)	3,269 GFA	13.1 Stalls
Office -	(1/300 GFA)	3,695 GFA	12.3 Stalls
Retail -	(1/200 GFA)	4,593 GFA	23.0 Stalls
Restaurant (Dining) -	(1/150 GFA)	2,505 GFA	16.7 Stalls
Household Living:			
Studio (Efficiency) Unit	(1.25/ Unit)	3 Units	3.75 Stalls
One Bdrm Units	(1.5/ Unit)	9 Units	13.5 Stalls
Two Bdrm (Under 800)	(1.5/ Unit)	1 Units	1.5 Stalls
Two Bdrm (Over 800)	(1.75/ Unit)	3 Units	5.25 Stalls
Total Required			89.1 Stalls
Reductions:			
5.8.4.D1	(89.1 x .15)		-13.4 Stalls
5.8.4.D2	(24 x .15)		- 3.6 Stalls
Total Required (w/ reduction)			72.1 Stalls
Total Provided			74 Stalls

① OVERALL SITE PLAN  
1" = 20'-0"



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1010 Park Ave. West  
Suite 200  
Denver, Colorado 80205  
303 640 3173

OSA project no.: 2019-026

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date: July 05, 2023

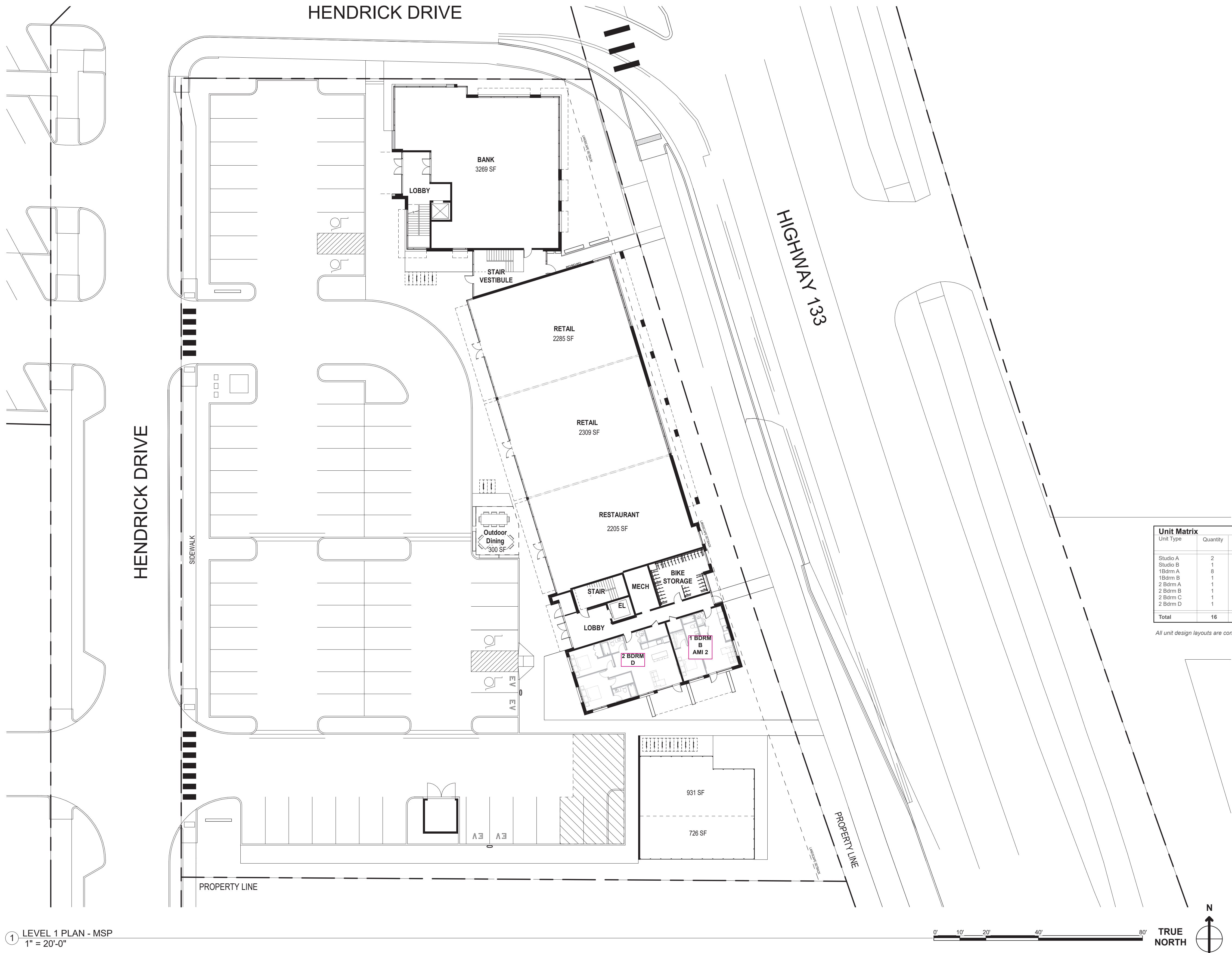
SITE PLAN

1



ANB CARBONDALE MIXED USE BUILDING

MAJOR SITE PLAN REVIEW SUBMITTAL



Unit Matrix						
Unit Type	Quantity	Unit Area* (GFA)	Required Bulk Storage (Cu. Ft)	Provided Bulk Storage (Cu. Ft)	Bulk Storage Dimensions	AMI Deed Restriction
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Studio B	1	395	132	139	4.75'x3.25'x9'	-
1Bdrm A	8	550	184	189	5.25'x4'x9'	-
1Bdrm B	1	590	197	198	4'x5.5'x9'	2
2 Bdrm A	1	956	319	324	4'x9'x9'	-
2 Bdrm B	1	780	260	262	6'x5.25'x9'	-
2 Bdrm C	1	956	319	326	7.25'x5'x9'	-
2 Bdrm D	1	1000	333	335	8'x4.66'x9'	-
Total	16	--	--	--	--	-

All unit design layouts are conceptual and are subject to change.

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GROUND FLOOR PLAN

2



# ANB CARBONDALE MIXED USE BUILDING

## MAJOR SITE PLAN REVIEW SUBMITTAL



Unit Matrix						
Unit Type	Quantity	Unit Area* (GFA)	Required Bulk Storage (Cu. Ft.)	Provided Bulk Storage (Cu. Ft.)	Bulk Storage Dimensions	AMI Deed Restriction
Studio A	2	545	182	189	5.25'x4'x9'	1,3
Studio B	1	395	132	139	4.75'x3.25'x9'	-
1Bdrm A	8	550	184	189	5.25'x4'x9'	-
1Bdrm B	1	590	197	198	4'x5.5'x9'	2
2 Bdrm A	1	956	319	324	4'x9'x9'	-
2 Bdrm B	1	780	262	262	6'x5.25'x9'	-
2 Bdrm C	1	956	319	326	7.25'x5'x9'	-
2 Bdrm D	1	1000	333	335	8'x4.66'x9'	-
Total	16	--	--	--	--	-

All unit design layouts are conceptual and are subject to change.

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LEVEL 2 PLAN

3

1 LEVEL 2 PLAN - MSP  
1" = 20'-0"

0' 10' 20' 40' 80'



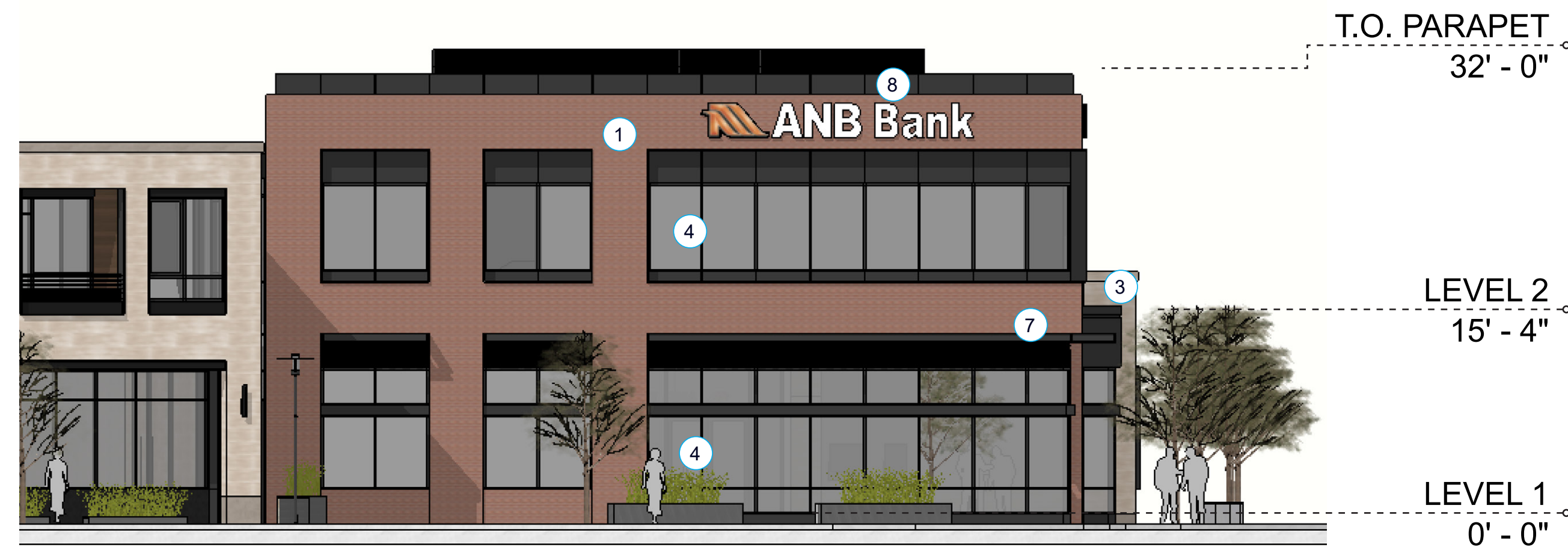


# ANB CARBONDALE MIXED USE BUILDING

## MAJOR SITE PLAN REVIEW SUBMITTAL

### LEGEND

1. MODULAR BRICK VENEER - GENERAL SHALE BALLPARK FINISH
2. ACM METAL PANEL - ALUCOBOND - DEEP BLACK
3. LIMESTONE VENEER - RIO GRANDE ASPEN SAWN
4. GLAZING
5. TRELLISES FOR PRIVATE PATIOS
6. COVERED BALCONIES
7. AWNINGS
8. ACCENT METAL PANELS
9. WOOD VENEER SIDING



ANB Bank / Office - East Elevation, Facing HWY 133  
Scale (1/8" = 1'-0")



ANB Bank / Office - West Elevation  
Scale (1/8" = 1'-0")



South and Central Residential - East Elevation, Facing HWY 133  
Scale (1/8" = 1'-0")



South and Central Residential - West Elevation  
Scale (1/8" = 1'-0")

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BUILDING ELEVATIONS

4



# ANB CARBONDALE MIXED USE BUILDING

## MAJOR SITE PLAN REVIEW SUBMITTAL

### LEGEND

- 1. MODULAR BRICK VENEER - GENERAL SHALE BALLPARK FINISH
- 2. ACM METAL PANEL - ALUCOBOND - DEEP BLACK
- 3. LIMESTONE VENEER - RIO GRANDE ASPEN SAWN
- 4. GLAZING
- 5. TRELLISES FOR PRIVATE PATIOS
- 6. COVERED BALCONIES
- 7. AWNINGS
- 8. ACCENT METAL PANELS
- 9. WOOD VENEER SIDING



South Residential - South Elevation

Scale (1/8" = 1'-0")



North Bank / Office - North Elevation

Scale (1/8" = 1'-0")

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BUILDING ELEVATIONS

5