



Town of Carbondale  
511 Colorado Avenue  
Carbondale, CO 81623

**AGENDA  
PLANNING & ZONING COMMISSION  
THURSDAY, OCTOBER 11, 2018  
7:00 P.M. TOWN HALL**

1. CALL TO ORDER
2. ROLL CALL
3. 7:00 p.m. – 7:05 p.m.  
Minutes of the September 27, 2018 meeting.....Attachment A
4. 7:05 p.m. – 7:10 p.m.  
Public Comment – Persons present not on the agenda
5. 7:10 p.m. – 8:10 p.m.  
CONTINUED PUBLIC HEARING –Main Street Marketplace  
Major Site Plan Review/Variance.....Attachment B  
Applicant: Crystal River Marketplace LLC  
Location: Lot 1, Carbondale Marketplace Subdivision  
(NW corner of Main Street & Highway 133)
6. 8:10 p.m. – 8:15 p.m.  
Staff Update
7. 8:15 p.m. – 8:20 p.m.  
Commissioner Comments
8. 8:20 p.m. – ADJOURN

**\* Please note all times are approx.**

Upcoming P & Z Meetings:  
October 25, 2018 - UDC Amendments  
November 15, 2018 - TBD

## MINUTES

### CARBONDALE PLANNING AND ZONING COMMISSION

Thursday September 27, 2018

#### **Commissioners Present:**

Michael Durant, Chair  
Jade Wimberley  
Nick Miscione  
Ken Harrington  
Jeff Davlyn  
Marina Skiles  
Jay Engstrom  
Tristan Francis (2<sup>nd</sup> Alternate)  
Nicholas DiFrank (1<sup>st</sup> Alternate)

#### **Staff Present:**

Janet Buck, Planning Director  
John Leybourne, Planner

#### **Commissioners Absent:**

None

#### **Other Persons Present**

Ken Olson, 410 Garfield Avenue, Carbondale  
Nancy Clough, 511 Garfield Avenue, Carbondale

The meeting was called to order at 7:00 p.m. by Michael Durant.

#### **August 30, 2018 Minutes:**

Ken made a motion to approve the August 30, 2018 minutes. Marina seconded the motion and they were approved unanimously with Nick abstaining.

#### **Public Comment – Persons Present Not on the Agenda**

There were no persons present to speak on a non-agenda item.

#### **PUBLIC HEARING – Main Street Marketplace Major Site Plan Review/Variance**

##### **Applicant: Crystal River Marketplace LLC**

##### **Location: Lot 1, Carbondale Marketplace Subdivision (NW corner of Main Street & Highway 133)**

Janet Buck, Planning Director presented the Staff report and noted the following items:

The property is a vacant 5.37-acre parcel. It is Lot 1 of the Carbondale Marketplace Subdivision. City Market, a 10,000 sq. ft. retail store and a fueling station will be located on Lots 2, 3 and 4 of this subdivision.

The request is to construct a mixed-use development with 115 multifamily residential units and 10,259 sq. ft. of commercial buildings.

All of the units would be rental units. Twenty-three of which would be deed restricted AMI units.

Janet indicated that the applicant will go over the Site Plan and Architectural Drawings. The hearing should then be continued to October 11<sup>th</sup> to cover additional items such as traffic, water rights, engineering, etc. The recommendation for continuance is not because of issues with the application. It is a complex project with a number of components. The continuance is to allow time to adequately review the proposal.

Janet noted that the staff report only covered zoning and development standards. A second staff report will be done for the next meeting which will cover the traffic report and engineering.

Overall, the application is in compliance with the UDC with two exceptions.

The first is the maximum 10 ft. front yard setback along Main Street. There is an existing 20 ft. ditch easement along the front of the property for the Rockford Ditch. Because of that, the buildings would be about 18-20 ft. back.

The variance criteria state that in order to grant a variance, there must be an exceptional site condition which creates a hardship to the applicant.

The second is the required number of street trees. Staff asked the applicant to follow the Tree Board's preference on spacing based on tree size. The purpose of this spacing is to ensure that tree canopies won't overlap at maturity.

Janet noted that recently the Thompson Park application used the Tree Board recommendation under the alternative compliance section of the UDC.

The public street connectivity and internal street layout looks good. Janet stated that her suggestion is that the northerly driveway have more of a street appearance.

She also pointed out that she asked for clarification of what parking would be available for the public.

Overall, Staff is supportive of the application. There is a need for rental housing in Town. This development would provide a good mix of rental housing units near the shopping areas along the highway and the Downtown while providing some commercial square footage. In addition, residential development along Main Street creates more of a buffer for the residential areas to the south.

Janet noted that the applicant had a fairly extensive presentation and suggested that the Commission take this opportunity to ask questions and provide comments. She then recommended that the Commission continue the Public Hearing to the October 11<sup>th</sup> meeting.

Bob Schultz of Robert Shultz Consulting and Andy Wisnoski from Poss Architecture presented the project through a virtual flyover.

Ken Harrington asked the applicants if the plan they were currently reviewing was the same that they had reviewed previously during the rezoning. Bob responded that there was an increase in the number of units from 97 to 115 but that the units were smaller in size.

Ken asked if the colors and materials that were being presented were what was actually going to be installed on the buildings. Andy stated that the materials and colors may change but that the materials are meant to help make the development look like it did not all happen at one time and to provide diversity to the buildings.

Ken asked if the snow storage areas had been indicated and also commented these areas can turn into ice sheets as the snow melts. Bob indicated that the areas were indicated on Sheet M in the submittal. Ken also commented that the entrance of Shorty Papst Way and the driveways for the interior area could be designed better.

Tristan Francis asked what the community demand was for the commercial units. Bob replied that he has watched the market for some time and that there was not that much of a demand currently.

Marina Skiles commented that it is good that the project complies with the UDC but that it is unfortunate that the open field is no longer going to be an open field anymore. She stated that she anticipates a lot of public comment on the project. She also pointed out that the setback variance does not give her pause.

Jeff Davlyn asked what would be constructed after buildings A and B. Bob indicated that if a tenant came forward, then other aspects of the development would be constructed on a demand basis.

Janet asked the applicants to explain the phasing of the public improvements. Bob stated that the improvements would include the water lines and sewer lines as well as the sidewalks and trails. He also stated that the parks phasing would be detailed at the next meeting.

The public hearing was opened at 8:11

There was no public comment.

Ken noted that there were three items to discuss: the Conditional Use Permit, the Variance and Alternative Compliance.

Ken stated that he felt the setback variance meets the intent of the code as the buildings are within a few feet of the ditch easement.

Michael read the variance criteria and noted that the request makes sense as the foundation for the buildings will need to be offset from the easement to allow construction and as such would not harm the public.

Nick noted that the Conditional Use would create an added benefit for urban housing.

Michael noted that, with the request for Alternative Compliance, moving the balconies tightens up the building.

Nick stated that the open rooftop patio would still be a private space as the public would not have access to the area.

Jeff stated that he liked the look of the architecture of the building without the decks and was a fan of rooftop spaces.

Marina pointed out that the balconies would provide more of a private space for single parents to have kids go. She stated that she agreed with Jeff.

Tristan stated that he liked the balconies for private space.

Jeff asked Bob how big the balconies were and Bob stated that they were six feet by ten feet.

Ken stated that he liked the no balcony concept as the rooftop space would provide more room for larger parties and asked if the roof top space could be divided into separate areas.

There was more discussion on the option of the roof top space and the balconies. Bob stated that they could go with the balconies or could come up with another solution and bring the options back at the next meeting.

### **Motion**

Ken made a motion to continue the hearing to the October 11<sup>th</sup> Commission meeting, Marina seconded the motion and it passed unanimously.

Michael called for a 5 minute break

Michael called the meeting back to order at 8:41

### **PUBLIC HEARING- Minor Site Plan Review/ADU**

**Applicant: Green Line Architects/ACES**

**Location: TBD Garfield Avenue/Original Townsite/Block 18, Lot 3**

John Leybourne presented the staff report noting the following items:

The applicant is proposing to construct an 1881 sq. ft. residence with an attached 373 sq. ft. Accessory Dwelling Unit.

UDC Section 4.4.4.A.1-4 include the following standards for ADUs:

- Only one ADU on the property.
- ADU's are required to be attached, except in the OTR Zone district.
- The detached ADU shall be located on the side or rear of the primary structure.
- The ADU will have a separate exterior entrance.
- The ADU will be no more than one bedroom.
- Separate water and sewer service will not be provided.
- The ADU will not be under separate ownership.

The application meets the standards that are applicable.

### Zoning

An ADU is allowed to be up to 500 square feet in the R/LD Zone District, the proposed ADU is 373 square feet in size.

The application meets the standards for setbacks, building height and impervious surface areas.

### Parking

Section 5.8.3. of the UDC requires 2.5 parking spaces for a three-bedroom dwelling, and 2 spaces for an ADU.

The applicant is providing 5 parking spaces and 5 bike parking spaces.

Chris Lane introduced himself as the Chief Executive Officer of the Aspen Center for Environmental Studies, the owner of the property. He explained that ACES would use the property for teacher housing. He also pointed out that as a condition of the property being donated to ACES, the chicken coop and the garden were to remain in operation. Chris stated that ACES would continue to take care of the chickens and garden and were looking forward to utilizing them as educational tool in the future.

Julie Novy of Greenline Architects gave a brief presentation of the design of the main house and proposed ADU.

Michael opened the public hearing at 8:46

### **Ken Olsen, 410 Garfield Avenue, Carbondale**

Ken stated that he owns the blue roof house to the east of the project and is excited about the proposed use of the lot. Ken stated that his only concern was that he would like to not have the parking off of the alley and to have it to the front of the lot.

Michael noted that code requires the parking to be off of the alley.

**Nancy Clough, 511 Garfield Avenue, Carbondale**

Nancy stated that she like the plan but would like to confirm that there will be someone to take care of the Chickens and the Garden. Chris Lane responded that the chickens would be taken care of.

The public hearing was closed unanimously.

Nick made the following motion,

**Move to approve a Minor Site Plan Review for an Accessory Dwelling Unit to be located at Section: 34 Township: 7 Range: 88 Subdivision: Original Townsite Carbondale Block: 18 Lot: 3 Through: - Lot: 5 W 12.5' OF Lot 3 Carbondale, Colorado, with the findings and conditions indicated in the Staff Report.**

Jeff Davlyn seconded the motion and the motion passed unanimously.

**PUBLIC HEARING – Minor Site Plan Review/ADU**  
**Applicant: Green Line Architects/Peter Davidoff**  
**Location: 275 S. Fourth Street**

Nicholas disclosed that he is renting a home to the east of the proposed location and stated that he would be able to make a decision in an unbiased manner on the application.

John Leybourne presented the staff report noting the following items:

The applicant is proposing to construct an Accessory Dwelling Unit (ADU) in a proposed accessory structure (Garage) at 275 South 4<sup>th</sup> Street.

The property is in the OTR Zone District.

The ADU would be 599 sq. ft. and would be located above a proposed garage structure.

5 parking spaces are provided.

UDC Section 4.4.4.A.1-4 include the following standards for ADUs:

- Only one ADU on the property.
- ADU's are required to be attached, except in the OTR Zone district.
- The detached ADU shall be located on the side or rear of the primary structure.
- The ADU will have a separate exterior entrance.
- The ADU will be no more than one bedroom.
- Separate water and sewer service will not be provided.
- The ADU will not be under separate ownership.

The application meets these standards.

There are additional ADU standards in UDC Section 4.4.4.A.5 for residential structures of historical significance the OTR Zone District. Those standards have been met.

Julie Novy of Greenline Architects introduced the owner of the property, Peter Davidoff.

Julie pointed out that the structure was designed to mimic and preserve the main historic structure on the lot.

David stated that the stairs on the structure to enter the ADU were designed to mimic the neighboring property.

Michael opened the public hearing. There was no public comment.

Jeff made a motion to close the public hearing and Marina seconded the motion and it passed unanimously.

Marina stated that the staircase was not relevant to the historic house and should not be a focal point of the structure.

Michael stated that he agreed with Marina.

Ken stated that he really did not have any issue with the staircase.

There was a discussion with the applicant on moving the staircase to the side of the garage or providing some sort of screening or architectural features to screen the stairs.

Ken made the following motion: Move to approve the Special Use Permit, and a Minor Site Plan Review for 275 South 4<sup>th</sup> Street as proposed with the findings and conditions in the Staff Report.

The motion was seconded by Nick.

Michael asked that roll be called on the motion.

The motion passed by a vote of:

Yes – 5

No - 2

### **Staff Update**

Janet gave a brief update on the Thompson Park application.

John stated that there were many building permits recently submitted. He also gave an update on the Tumbleweed lawsuit.

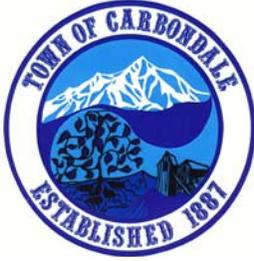
**Commissioner Comments**

Nick gave an update on the water conservation planning meeting he attended and stated that he would like to work with Staff to see how the UDC can be used for water resource planning in the future.

**Motion to Adjourn**

A motion was made by Jeff to adjourn. Ken seconded the motion and the meeting was adjourned at 9:30 p.m.

DRAFT



**TOWN OF CARBONDALE  
511 COLORADO AVENUE  
CARBONDALE, CO 81623**

## Planning Commission Agenda Memorandum

Meeting Date: 10-11-18

**TITLE:** Continued Public Hearing - Main Street Marketplace – Major Site Plan Review, Conditional Use Permit, Request for Alternative Compliance and Variance

**SUBMITTING DEPARTMENT:** Planning Department

**ATTACHMENTS:**

- Referral Agency Comments
- Public Works/McDowell Engineering/Roaring Fork Engineering
- Building Official
- RFTA
- Fire District

Staff Report dated September 27, 2018  
Land Use Application (Traffic Report will follow)

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### BACKGROUND

This is a continued public hearing for a Major Site Plan Review, Conditional Use Permit, Request for Alternative Compliance and a Variance. The Planning Commission is required to hold a public hearing and make a recommendation to the Board to approve the request, approve it with conditions, or deny it. The Commission may also continue the public hearing.

The Planning Commission considered this application at its September 27, 2018 meeting. At that meeting, the Commission discussed the Site Plan and Architectural Drawings. The Staff Report from that meeting is attached. This Staff Report discussed zoning and site plan review standards. There were three specific items which the Commission addressed as follows:

1. Front Yard Setback Variance – The Commission felt that the variance criteria could be met due to the location of the Rockford Ditch and the 20 ft. easement associated with the ditch. It was also discussed that the proposed setback met the intent of the 10 ft. maximum front yard setback because the building footprint was within a few feet of the 20 ft. easement.

2. Conditional Use Permit for Residential on Ground Floor – The Commission found there was a benefit for the provision of urban housing and that it was in compliance with the 2013 Comprehensive Plan.
3. Alternative Compliance – Private Outdoor Space for Building E - The Commission asked the applicant to come back with a different solution to ensure the private outdoor space on the adjacent roof would be private. However, a number of Commissioners preferred the balconies outside of each residential unit within Building E.

The public hearing was then continued to October 11, 2018 to cover additional items such as traffic, water rights, engineering, etc.

### **Engineering**

The applicant indicates all of the public improvements would be constructed initially. The public improvements required to serve the site include utilities, irrigation, vehicle and pedestrian access.

The timing to construct the buildings would be based on market demand. However, it is anticipated that the two apartment buildings along the north side of the lot (Buildings A and B) would be constructed first.

The majority of the public improvements required for Lot 1 were determined during the review of the Carbondale Marketplace (City Market) Subdivision plat. This plat was recorded in February of 2018. This subdivision plat split the 23 acre Crystal River Marketplace LLC parcel into five lots. The plat also dedicated the streets (Hendrick Drive, Shorty Pabst and Nieslanik) to the Town. The street improvements for Hendrick Drive and Shorty Pabst have been approved and secured through the Carbondale Marketplace Subdivision Improvements Agreement.

The Public Works Department, which includes the Utilities Department, reviewed the engineering plans and finds that the proposed development is consistent with and seems to work with the Carbondale Marketplace (City Market) development to the north. They have requested a few changes to the engineering. A condition has been added that approval of the Major Site Plan Review is contingent upon Town Staff approval of the final engineering plans.

The Carbondale & Rural Fire Protection District (C&RFPD) has also reviewed the plans and generally finds them satisfactory. They have asked that the developer enter into an agreement with the C&RFPD to pay fire impact fees.

If this application is approved, a Development Improvements Agreement will be required. This would need to be approved by the Board of Trustees. The public improvements associated with this development will be secured through the agreement.

## **Traffic Report**

A Traffic Report was prepared by Kimley Horn and Associates, Inc. The report estimates that when Lot 1 is built out, there would be 57 morning peak hour and 98 evening peak hour trips generated by the development. A total of 1,136 daily trips are estimated.

Kimley Horn anticipates about 90% of the vehicles to turn left out of Lot 1 onto Main Street and proceed toward the Highway 133 roundabout. They estimate 5% would turn right out of Lot 1 to go west toward CRMS and about 5% to go south on Hendrick Drive.

The Town had requested an analysis of a “mini-roundabout” at Main/Hendrick. The study finds that such an improvement at that location would not be required; however, the improvements to the intersection have been designed to accommodate a mini-roundabout in the future.

The Traffic Report will be sent to the Commission in a supplemental packet on October 8, 2018.

The Public Works Director and McDowell Engineering reviewed the Traffic Report and find that overall the numbers are correct. The Public Works Director will be at the October 11, 2018 meeting.

## **Traffic Impact Fee**

When the City Market development and 1<sup>st</sup> Bank were approved, the Town required a traffic impact fee to go towards a future roundabout at Industry Way and Highway 133. The Board may again require some type of traffic impact fee for this development. However, Staff would suggest that there be flexibility so that funds could go toward improvements to Main Street and Hendrick Drive. A condition of approval has been included.

## **Water Rights**

The water rights were resolved with the most recent amendment to the agreement with CRMS. No further action is required on this item.

## **Improvements Sequencing Plan**

There currently is no improvements sequencing plan for the private improvements on the site. The applicant would like to retain the flexibility to construct the buildings on an as-needed basis. However, there needs to be some type of mechanism to determine what proportionate share of elements need to be constructed to meet the needs of the future residents and/or tenants when a building or series of buildings are constructed.

Some of the items which would need to be addressed include:

1. Drainage
2. Provision of parking and driveways
3. Common Open Space elements
4. Emergency vehicle access
5. Future construction access
6. Easements
7. Provision of accessible units (Building Code)

In addition, if the site is disturbed for public improvements construction, a condition has been added that the property be re-graded and re-vegetated.

A condition has been included that an improvement sequencing plan be submitted for Town review and approval. That plan would most likely be incorporated into the Development Improvements Agreement.

### **Building Official**

The Building Official submitted a memo which outlines some initial thoughts on compliance with the Town's adopted building codes. This is mainly informational for the applicant as they move forward with the building permit applications. There is no need to include any of these items as conditions of approval since they are building code requirements.

### **FISCAL ANALYSIS**

Development of this property to a mixed-use development on the corner of Highway 133 and Main Street will add to the commercial and residential activity on this corner of Town.

### **RECOMMENDATION**

Staff recommends that the following motion be approved: **Move to recommend approval of the Major Site Plan Review, Conditional Use Permit to allow residential uses on the ground floor, Request for Alternative Compliance for the provision of street trees and a Variance from the Maximum 10 ft. Front Yard Setback along Main Street with the conditions and findings in the Staff report.**

### **Conditions:**

1. Approval of the Major Site Plan Review is contingent upon Town approval of a Development Improvements Agreement which addresses construction of public improvements associated with the development prior to issuance of a building permit.

2. Approval of the Major Site Plan Review is contingent upon Town approval of the engineering plans.
3. All required public utility, public access and public pedestrian/bicycle easements shall be dedicated to the Town of Carbondale prior to the recordation of the Development Improvements Agreement. The location and size of the easements shall be subject to review and approval of Town Staff.
4. At the time of review of the Site Plan Review by the Board of Trustees, the developer shall submit an Improvements Sequencing Plan for Town review and approval.
5. After construction of the public infrastructure, the portion of the site which will remain vacant shall be re-graded and revegetated.
6. All conditions of Ordinance No. 21, Series of 1997 recorded at Reception Number 521822 and recorded on March 13, 1998 remain in effect and in full force unless otherwise approved by the Board.
7. An engineer's estimate shall be prepared to reflect all public improvements, subject to Town review and approval, prior to recordation of the final plat.
8. The developer shall be responsible for the construction and cost of all infrastructure improvement. The construction of the infrastructure shall be completed within one (1) year of the recordation of the Development Improvements Agreement.
9. The developer may be required to submit a current title commitment for the easement dedications for review and approval by the Town Attorney. This commitment shall be prepared at the expense of the developer.
10. A fee-in-lieu of highway improvements may be required at the time of recordation of the Development Improvements Agreement. A final determination of fees shall be made by the Town Board.
11. The applicant shall enter into an agreement with the Carbondale & Rural Fire Protection District to pay impact fees prior to recordation of the Development Improvements Agreement.
12. All irrigation shall be from non-potable water sources supplied by the Rockford Ditch.
13. The rooftop equipment shall be screened in accordance of Section 5.4 of the UDC (Landscaping and Screening).

14. All lighting shall be in compliance with Section 5.10 of the UDC (Exterior Lighting). The lighting plan shall be subject to review and approval of Town Staff.
15. If the residential development is subdivided or condominiumized, the applicant shall comply with the Community Housing Inclusionary Requirements in Section 5.11 of the UDC.
16. All representations of the Applicant in written submittals to the Town or in public hearings concerning this project shall also be binding as conditions of approval.
17. The Applicant shall pay and reimburse the town for all other applicable professional and Staff fees pursuant to the Carbondale Municipal Code.

### **Criteria – Variance**

1. The subject property has an exceptional site condition which is not a general condition of that particular zone district, specifically, the pre-existing location of the 20 ft. wide ditch easement which lies along the front of southerly property line of Lot 1, Carbondale Marketplace;
2. The location of the ditch easement creates an exceptional, practical hardship to the applicant as buildings can't be constructed within the easement in order to meet the maximum 10 ft. front yard setback;
3. The variance is the minimum required that will afford relief as the buildings are proposed as closely as possible along the ditch easement meeting the intent of the standard in the zone district;
4. The applicant did not create the hardship by his/her own actions as the ditch easement was created during the Carbondale Marketplace Subdivision application review which was submitted prior to the adoption of the UDC and the new Mixed Use zone district;
5. The variance requested does not harm the public or injure the value of adjacent properties; and
6. The granting of the variance will be consistent with the spirit and purpose of the Code.

### **Findings - Site Plan Review Criteria:**

1. The site plan is consistent with the Comprehensive Plan as the area is designated New Urban which envisions a flexible mix of retail, restaurants, service commercial and multi-story mixed-use buildings with buildings being the

focal point of the site by locating them close to the street. The purposes stated in this Unified Development Code have been met;

1. The site plan is consistent with the purposes section of the MU zone district as this development will provide a compact, mixed-use development that provides people with the opportunity to live, work, recreate, and shop in a pedestrian-friendly environment. There would be multimodal access to and from Downtown. The development includes both a vertical and horizontal mix of land uses, and provides an interesting and walkable environment through tailored building design and streetscape standards that address features such as building mass and placement, building entries, and windows/transparency; and
2. The site plan complies with all applicable development and design standards set forth in this Code; and,
3. The traffic generated by the proposed development is adequately served by the proposed streets in the Carbondale Marketplace Subdivision and the existing streets within Carbondale.

#### **Criteria - Alternative Compliance for Street Trees**

1. The proposed landscape plan achieves the intent of the standard in UDC Section 5.4.3.B.3. to a better degree than the subject standard as it complies with the Tree Board's preference to space the trees apart based on the size class of each tree in order to ensure tree canopy won't overlap at maturity.
2. The proposed landscape plan advances the goals and policies of the Comprehensive Plan and this Code to a better degree than the standard as it provides a creative design that does not strictly adhere to the Code's standards yet authorizes a site-specific plan that is better than the strict application of the standard;
3. The proposed landscape plan results in benefits to the community that exceed benefits associated with the standard as it improves the environmental and aesthetic character of Carbondale; and
4. The proposed landscape plan imposes no greater impacts on adjacent properties than would occur through compliance with the specific requirements of this ordinance.

#### **Criteria – Conditional Use Permit – Ground Floor Residential**

1. The site, building(s), and use meet the criteria, all applicable regulations and development standards as specified in this Code and for the zone district in which the use is located;

2. The proposed use is consistent with the Comprehensive Plan; specifically, the ground floor units meet a significant community demand for rental housing and are integrated as urban housing into a mixed-use development. The property is south of the soon-to-be constructed City Market development with its associated 10,000 sq. ft. retail space and gas pumps and north of the property zoned Commercial/Retail/Wholesale in the Crystal Village PUD.
3. The site includes no non-conformities with the exception of the inability to meet the maximum 10 ft. front yard setback along Main Street due to the pre-existing location of a 20 ft. wide ditch easement;
4. The proposed use is planned in a manner that minimizes adverse impacts on the traffic in the neighborhood or surrounding uses;
5. The proposed use is compatible with adjacent uses in terms of scale, site design, and operating characteristics (including hours of operation, noise, odor, dust, and other external impacts);

Prepared By: Janet Buck, Planning Director



# TOWN OF CARBONDALE

## PUBLIC WORKS

511 Colorado Avenue  
Carbondale, CO 81623

### Development Review Memorandum

**SUBJECT PROPERTY/DEVELOPMENT:** Main Street Marketplace  
LU 18-23-24

**DATE:** September 26, 2018

#### **REVIEW COMMENTS:**

##### **Streets:**

- In general, the proposed layout is consistent with and seems to work with the City Market development to the north.
- Please see attached memo from McDowell Engineering for comments related to the traffic study and the memo from Roaring Fork Engineering for additional street and grading comments.

##### **Water:**

- If the water line that goes north/south through the parking area along the east side of the open space could be routed east similar to the sewer line, the remainder of the north/south water line seems unnecessary.
- Please see the attached memo from Roaring Fork Engineering for additional comments.

##### **Sanitary Sewer:**

- No additional comments other than those contained in the memo from Roaring Fork Engineering.

##### **Storm Water:**

- In general, the storm water management strategies used in the design are appropriate.
- See comments from Roaring Fork Engineering for additional comments.

##### **Irrigation/Ditches:**

- None.

##### **Landscaping/Planting:**

- Landscaping has been reviewed and generally complies with the UDC.
- The plant key needs to be revised to reflect a minimum 2.5" caliper.

##### **General/Other:**

- More detail on the above-items will be necessary before final engineering approval, but the plan is generally acceptable.

September 19, 2018

Kevin Schorzman  
Carbondale Public Works Director

RE: Main Street Marketplace  
Traffic Impact Study Review  
Carbondale, CO

Kevin:

McDowell Engineering has reviewed the *Traffic Impact Analysis for Main Street Marketplace (TIS)* from Kimley Horn dated July 30, 2018. The study addresses the potential impacts of the proposed Main Street Marketplace development located on the northwest corner of State Highway 133 and Main Street. The Town should require additional clarification and a revised study from the applicant.

1. General Comment  
The report is well organized and well written. In the future, please coordinate on the traffic analysis scope prior to completing the study.
2. Executive Summary  
Please include a short description of the *State Highway 133 Access Control Plan* in the third bullet point on Page 3. The impacts to the Sopris Shopping Center were anticipated in the *ACP*.
3. Background Traffic Calculations  
Please include a figure(s) in the Appendix with any background traffic calculations that were used in addition to the annual growth rate application.
  - a. City Market traffic
  - b. Cut-through traffic
4. Trip Generation Analysis  
Per Section 2.3(4)(b) of the *State Highway Access Code*, please utilize the peak hour volumes of the access, ie. 'Peak Hour of Generator' for the peak hour traffic analyses. Please also refer to Figure 4.2 of the *ITE Trip Generation Handbook* when determining whether to use the average rate or fitted curve equation for each land use. Include a short description of the methodology for each land use. Per Section 2.3(4)(d) of the *State Highway Access Code*, locations of retail development shall also include weekend analyses. Please compare weekend trip generation rates in Table 1. Determine if the revised numbers will impact any of the queue lengths, HCM modeling results, etc.
5. Year 2040 Total Traffic Conditions  
Paragraph 3 on Page 23 describes that some site traffic may decide to egress via an alternate route if delays are excessive at the site access. Please model this scenario into your directional distribution assumptions.
6. Sight Distance  
Please address sight distance at each site access in the revised *TIS*.
7. Improvement Contributions  
Page 25 states that by Year 2040 the roundabout at the intersection of State Highway 133 and Main Street may require additional eastbound and westbound entry lanes to accommodate forecasted traffic. Please include a percentage of site-generated traffic volume impact to the eastbound and westbound right turn movements.



8. Synchro Reports

A few of the Synchro reports are missing from the Appendix. Please make sure that they are included in the resubmittal. (Hendrick Drive and Main Street Year 2040 Total) Do the queues for the Year 2040 total traffic impact Hendrick Drive's proposed on-street parking?

McDowell Engineering looks forward in working with the applicant. Please feel free to contact us with any additional questions.

Sincerely,

McDowell Engineering



Kari McDowell Schroeder, PE, PTOE  
Traffic/Transportation Engineer





To: Kevin Schorzman- Carbondale Public Works Director  
From: Richard Goulding P.E. -Roaring Fork Engineering  
Date: September 14<sup>th</sup> 2018  
Re: Market Place Subdivision Lot 1 – Civil Engineering review

Kevin

Roaring Fork Engineering (RFE) has reviewed the civil section of the planning level documents dated 7-30-2018 produced by Sopris Engineering and Kimley Horn. The review included the water, drainage, sanitary sewer and traffic study. The irrigation water allocations were not reviewed. RFE has the following comments and clarification requests for the applicant.

Water:

The 2016 Water and Waste Water Master Plan section 4.6.3 addressed the fire flow capacity for the Town of Carbondale water system. The simulated model states that there is 3525 Gallons per minute (GPM) available to Market Place. The analysis was performed in 2010 by SGM, the Town's consultant engineer at the time.

- The water section of the Engineering Report should reference this information if it is to be used as a basis to provide fire flow to the development. RFE will provide a copy to Sopris Engineering for their records.
- The report also addresses the storage capacity of the existing Carbondale storage tanks. RFE would ask that the engineering report calculates the additional projected domestic demand that the development will place on the Carbondale water system.
- The water layout is looped and provides adequate isolation. The minimum size of 8" for distribution lines is met. There are no profiles as of yet to determine burial depth (6' minimum cover required). RFE would recommend a valve be added to the Tee on Hendrick Drive
- The Masterplan shows a 10" in Main Street. It is labeled as 12" on the distribution maps. We would like to confirm what this is or know where the information came from.
- Prior to the Building Permit RFE would recommend that Bill Gavette of the Carbondale Fire District reviews this layout to confirm the location of the hydrants can adequately cover the buildings. Building G could potentially need an additional hydrant. RFE will defer to the Fire District to determine if it is needed.
- Is Market Place Lot 5 intending to connect to the 8" stub under Highway 133 which would then run south to Lots 1&2.

Sanitary Sewer:

The sewer design provided meets the minimal slopes and sizes. The manholes are also within the 400' maximum allowable distance as specified by the Carbondale Public Works Manual.

- A more detailed hydraulic analysis will be expected at permit submission so that RFE can verify flow velocities and capacity.
- RFE requests the information on sheet G-C5.1 for the Carbondale Market Place design drawings by Galloway be provided as part of this package for reference. This line serves Buildings A, B, C and may require easements across the City Market Lot 2.

#### Drainage:

RFE agrees with the general drainage approach to have capacity for the 10-year 1-hour storm and for larger events to pond within the parking lot until infiltrated. The soils on the site are cobbly gravels and have adequate infiltration properties to do this. As basins 01, 02 have been reviewed as part of a pervious application they are not included in this review. The review will only be for Basin 03. We have the following comments:

- RFE would like discuss the drainage methodology with the Design Engineer. The methodology used assumes that the runoff can be released at a historical rate of 0.63 cfs. However, the runoff will be in infiltrators several feet below grade so cannot release by gravity. What may be possible is to prove that the infiltration rate of the saturated soil can absorb the excess runoff at rate of 0.63 cfs. Full detention of the storm could also be an option but would require more storage.
- The infiltration system per the spec sheet can only have a maximum cover of 6.5'. When RFE profiled the lowest inlet which is 300' away at 2% the invert entering the bed is 11.5' below the finished grade. This will exceed the manufactures recommendations.
- As the design progresses it would appear inlets or drain chases will be needed at low spots on the raised parking islands to prevent ponding.
- The grading would indicate the inlet on the east side of the parking lot is draining a very large area of the site. The final report should include an analysis of the inlet and pipe capacities using sub basins.
- On buildings A, B, C, D and E the grading of pervious areas drains offsite. This is not an issue but the final design should demonstrate how the roof runoff is routed to the centralized drainage system and not to the proposed grade at the rear of these buildings.

#### Parking lot, roads and grading

- RFE recommends that a simulation of the turning movements for fire equipment be performed to ensure the curb radius are adequate.
- The pavement section follows the Geotech recommendations.
- Some areas are graded below the minimal slopes recommended by the Geotech.

## Memorandum

**To: Janet Buck, Planning Director**

**From: John Plano, Building Official**

**Date: 09/06/18**

**Re: Preliminary Review – Main Street Market Place Lot One Housing Project. LU18-23-24**

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This review is preliminary for the Planning Department; a thorough review of the buildings will be performed at review for building permits. At this point there is insufficient information for a through Building Department review.

The current building codes adopted by the Town are the 2009 International Code Group and the 2012 International Green Construction Code (IGCC). The Town recently has adopted the 2015 International Energy Conservation Code and that will be active September 23<sup>rd</sup> 2018.

The strictly residential building will be required to comply with the Town's Residential Efficient Building Program (REBP). The buildings with commercial mixed with residential will be required to comply with the 2012 IGCC.

An accessible route will be required to on-site facilities, i.e.: The Futsal Field and Gazebo/Picnic/BBQ area.

Three one-bedroom units are being proposed as "Type A" accessible units. The code requires the "Type A" units be dispersed among the various class of units. It appears that there should be a 2-bedroom unit designed as a Type A accessible unit.

Multiple residential units on the upper levels only have access to one exit. The 2009 IBC section 1021 limits the travel distance in R-2's to 50' if the story has one exit. The drawings distributed for comment are not to scale, but it appears over the allowed 50'.



Date Sent: 8/13/18  
 Comments Due: 9/5/18  
 Jurisdiction: Town of Carbondale  
 Project Name: Main St. Marketplace, Lot One Housing Project, Application for Major Site Review, Conditional Use & Variance to Maximum Setback  
 Project Address: Lot 1, Carbondale Marketplace, Main St. Carbondale  
 Owner: Crystal River Marketplace LLC  
 Map: <http://garfield.valuewest.net/rptMain01.aspx?countynumber=23&countyname=Garfield&accountnumber=R084075>

**Project Summary:**

The Lot One site is proposed to house 11 buildings with commercial and residential uses fronting the main roadways. The site plan includes a diverse variety of architectural features, scale, and massing in conjunction with internal parking and a central green space to meet the intentions of the UDC. Great care has been taken in proposing a UDC-compliant mixed-use development.

The intention of this application is to demonstrate conformance with the four primary Site Review approval criteria required by the Town’s Unified Development Code (UDC): Consistency with the Comprehensive Plan, Consistency with previous approvals, Compliance with design standards (which makes up the bulk of the application), and Traffic generated by the development will be handled with existing roads or mitigated by the project.

Dwelling Units: 115  
 Commercial: 10,259 sqf  
 Parcel: 5.37 acres  
 Parking: 196 cars, 10 bikes  
 Traffic: 57 morning, 98 evening, 1,136 daily

Total Unit Types	Number
Studio	21
One Bedroom	33
Two Bedroom > 800 sq. ft.	43
Two Bedroom < 800 sq. ft.	15
Three Bedroom	3

**Mobility**

Carbondale’s four bus stops provide some of RFTA’s highest system-wide bus ridership, including the Carbondale BRT Station that ranks third in every season. The Carbondale Circulator Route (CCR) services all bus stops with convenient access between downtown and the BRT Station; 2017 ridership for the CCR was 140,455. Carbondale also experiences some of the Valley’s highest percentages of pedestrian and bicycle access to-from our bus stops for year-round, first-last mile commuting.

According to the applicant, “Pedestrian and bicycle access were integral to creation of the Lot One site plan. The pedestrian zone along Hendrick Dr. will present an appropriate-scaled commercial frontage and architectural interest. An 8’ wide sidewalk/trail through the center of the site will offer the public convenient and safe access to City Market. A bike trail along Shorty Pabst Way will provide connection between the trail along SH 133 from the RFTA park-and-ride and the west edge of the property along Main St. as well as City Market and commercial spaces.”

“In addition to providing an attractive ‘new urban’ entrance to the site, the development of the site is advancing Town connectivity. Bicycle connectivity along Shorty Pabst Way from SH 133 to Main St. has been accommodated to support access to and from Carbondale’s only RFTA Bus Rapid Transit station and the west side of Town. Pedestrian and bike access to the City Market from Main St. is accommodated through the center of the site to the front door of City Market. The housing component is integrated with employment opportunities and connectivity to bus service so that residents can choose alternative transportation. The new sidewalk along Main St. advances pedestrian connections from downtown toward CRMS and trails beyond.”

### **Traffic**

The Main St. Marketplace, Lot One Housing Project, lies in the southeast section of a larger commercial area at the corner of SH 133/Main St. Most of the adjacent parcels have been approved for a combination of a new City Market, retail, bank and gas station. Although separate from the City Market project, Lot One provides a residential component that has yet to be approved with the other projects.

A Traffic Report was prepared by Kimley Horn and Associates, Inc. The same firm prepared the study for the adjacent, new City Market. The report estimates that, when fully built out, Lot One will generate 57 morning and 98 evening peak hour trips to and from the site.

There are currently about 14,600 trips per day north of the site on SH 133, about 11,000 trips south of the site on SH 133, about 3,100 on W. Main St. near Lot One and 6,200 trips on Main St. east of SH 133. The trips to and from Lot One would be distributed in those four directions and added to those counts. Kimley Horn expects about 90% of vehicles to turn left out of Lot One toward the roundabout at Main St., about 5% to go west toward CRMS and about 5% to head south on Hendrick Dr. That would result in about 57 trips in or out of Lot One onto Hendrick Dr. daily. There is no indication of traffic congestion at intersections in 2019 triggered by Lot One based on the study findings as long as Shorty Pabst Way and Hendrick Dr. are connecting the site to Main St.

Staff had requested analysis of a “mini-roundabout” at Main/Hendrick. The study finds that such an improvement at that location would not be required, however the improvements to the intersection have been designed to accommodate a mini-roundabout, if desired in the future.

### **RFTA Comments**

According to the 2013 Carbondale Comprehensive plan, growth rates call for an additional 3,600 residents by 2032; and if the commercial growth rates from the past two decades continued, the town could expect demand for an additional 600,000 sq. ft. of commercial development by 2032.

While this development alone is projected to generate about 1,000 average daily trips (ADT), if combined with the adjacent City Market development, these two developments cumulatively will encompass an estimated 75,000 ft<sup>2</sup> of commercial (or 12.5% of the estimated 600,00 ft<sup>2</sup> of commercial development anticipated by 2032) and generate nearly 10,000 ADT. This does not include additional development that may occur on adjacent or nearby parcels.

<b>Scenario</b>	<b>Daily</b>	<b>AM Peak</b>	<b>PM Peak</b>
Retail (7,100ft <sup>2</sup> )	314	7	19
Supermarket (58,000 ft <sup>2</sup> )	5,930	176	484
Gas Station	2,360	149	158
<b>subtotal (Phase 1)</b>	<b>8,604</b>	<b>332</b>	<b>661</b>
Multifamily (115 units)	740	47	58
Shopping Center (10,474 ft <sup>2</sup> )	396	10	40
<b>subtotal (phase 2)</b>	<b>1,136</b>	<b>57</b>	<b>98</b>
<b>Total</b>	<b>9,740</b>	<b>389</b>	<b>759</b>

According to the Comprehensive Plan, “there are four areas of alignment that stand out and are emphasized throughout the Comprehensive Plan” including:

“Carbondale’s community identity and attractiveness are tied inextricably to its small town form and compact size. A compact town with attractive multimodal options reduces dependence on the personal automobile, which in turn contributes to improved air quality and reduced greenhouse gas emissions. The ability to get around town without a car also promotes a healthier, more out-going community.”

Consistent with the Comprehensive Plan, it may be appropriate to consider investing in additional multimodal infrastructure and operations necessary to fulfill the Town’s aspirations of allowing residents and visitors to get around town without a car, including expanding the Carbondale Circulator route and bicycle and pedestrian improvements.

With regard to bike-ped access, the Lot One and Marketplace parcels are close to the main SH 133 corridor, the Main Street roundabout, and about ½ mile to downtown. RFTA would recommend that any connections to existing town trails are well-marked and care is given to how bikes and pedestrians will navigate the roundabout to/from the project between downtown and West Main St.

These multimodal improvements, however, will likely require additional local investment.

Thank you for allowing RFTA to provide referral comments for this project. Staff is happy to discuss any of these comments with the Town or the development team.

Sincerely,

David Johnson & Jason White, RFTA Planning

**TOWN OF CARBONDALE**

**PLANNING DEPARTMENT**  
**REVIEWING AGENCY FORM**

PLANNING ITEM #: LU18-23-24

DATE SENT: 8-8-18

COMMENTS DUE: 9-5-18

TO: \_\_\_\_\_

To assist the Town in its review of this project, your review and written comments are requested. Please notify the Planning Department if you will not be able to respond by the date listed above. Questions regarding this project should be directed to the Planning Department, 963-2733.

APPLICANT: Robert Schultz Consulting LLC

OWNERS: Crystal River Marketplace LLC

LOCATION: Lot 1, Carbondale Market Place

ZONE: Mixed – Use (UDC)

PROJECT DESCRIPTION: Major Site Plan Review, Variance to the maximum setback along Maine Street, Conditional Use for residential units on ground floor, and Alternative Compliance for Landscape Plan (to use Tree Board spacing preference). Many public improvements overlap with the Carbondale Marketplace (City Market) Subdivision improvements. The SIA for the Carbondale Marketplace was approved in 2016. It is anticipated that some infrastructure work will begin on that project this fall, with the City Market store construction commencing next year. Let us know if you would like to review any of the documents recorded with the Carbondale Marketplace Subdivision Plat.

PLANNING STAFF CONTACT: Janet Buck

The following are conditions or comments I would offer regarding this item: (Attach separate sheet if necessary)

1. Please see attached comments.

Date: **August 11, 2018**

**Bill Gavette**  
**Deputy Chief**  
**Carbondale & Rural Fire Protection District**  
**970-963-2491**

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Please return comments to both: [jbuck@carbondaeco.net](mailto:jbuck@carbondaeco.net)  
[msikes@carbondaeco.net](mailto:msikes@carbondaeco.net)

Planning Department  
Town of Carbondale  
511 Colorado Avenue  
Carbondale, CO 81623



August 11, 2018

Janet Buck  
Planner, Town of Carbondale  
511 Colorado Avenue  
Carbondale, Colorado 81623

**RE: Main Street Marketplace**

Dear Janet:

I have reviewed the submittal for the proposed Carbondale Marketplace subdivision. I have the following comments.

**Water Supplies for Fire Protection**

The proposed water system is capable of providing the required fire flow of 1,500 gallons per minute for the development. The proposed location and spacing of the fire hydrants is adequate.

**Access**

The proposed access for the development is adequate for emergency apparatus.

**Impact Fees**

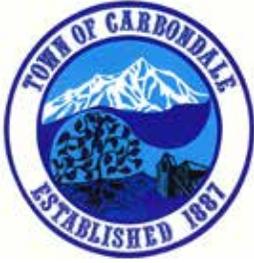
The development is subject to development impact fees adopted by the District. The developer will be required to enter into an agreement with the District for the payment of development impact fees. Execution of the agreement and payment of the fees are due prior to the recording of the final plat. Fees are based upon the impact fees adopted by the District at the time the agreement is executed. The current fee for residential development is \$730 per unit and the fee for commercial development is \$730 per 1,900 square feet or portion thereof.

	Residential Units	Impact Fees	Commercial Sq. Ft.	Impact Fees
Building A	12	8,760	3,934 1,836 4,489	
Building B	23	16,790		
Building C	19	13,870		
Building D	11	8,030		
Building E	18	13,140		
Building F	10	7,300		
Building G	8	5,840		
Building H	2	1,460		
Building J	4	2,920		
Building K	4	2,920		
Building L	4	2,920		
Total	115	\$ 83,950		
<b>TOTAL FEES: \$88,330</b>				

Please contact me if you have any questions or if I may be of any assistance.

Sincerely,

Bill Gavette  
Deputy Chief



**TOWN OF CARBONDALE  
511 COLORADO AVENUE  
CARBONDALE, CO 81623**

## Planning Commission Agenda Memorandum

Meeting Date: 9-27-18

**TITLE:** Main Street Marketplace – Major Site Plan Review, Conditional Use Permit, Request for Alternative Compliance and Variance

**SUBMITTING DEPARTMENT:** Planning Department

**ATTACHMENTS:** Referral Agency Comments  
- Building Official  
- RFTA  
- Fire District  
Land Use Application

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### BACKGROUND

This is an application for a Major Site Plan Review, Conditional Use Permit, Request for Alternative Compliance and a Variance. The Planning Commission is required to hold a public hearing and make a recommendation to the Board to approve the request, approve it with conditions, or deny it. The Commission may also continue the public hearing.

The site is a vacant 5.37 acre parcel (approximately 233,902 sq. ft.) located at the northwest corner of Highway 133 and Main Street. It is generally located along west Main Street, behind the 7-11 store.

The property is Lot 1 of the Carbondale Marketplace Subdivision which was approved by the Board in 2016 as part of the City Market development. City Market, a 10,000 sq. ft. retail store and a fueling station will be located on Lots 2, 3 and 4 of the Carbondale Marketplace Subdivision.

The owner/applicant is Crystal River Marketplace LLC.

### DISCUSSION

The request is to construct a mixed-use development with 115 multifamily residential units and 10,259 sq. ft. of commercial buildings.

There would be 11 buildings on the lot as follows:

Building	# of Res. Units	Commercial Sq. Ft.	Type of Building
Building A	12 units		Apartment
Building B	23 units		Apartment
Building C	19 units	3,934 sq. ft.	Mixed-Use
Building D	11 units	1,836 sq. ft.	Mixed-Use
Building E	18 units	4,489 sq. ft.	Mixed-Use
Building F	10 units		Townhomes (Row Houses)
Building G	8 units		Townhomes (Row Houses)
Building H	2 units		Stilt Units
Building J	4 units		Stilt Units
Building K	4 units		Studio Apartments
Building L	4 units		Studio Apartments

(There is no Building I.)

There would be the following mix of units:

- 21 Studio
- 33 One-bedroom
- 43 Two-bedroom over 800 sq. ft.
- 15 Two-bedroom under 800 sq. ft.
- 3 Three-bedroom

All of the units would be rental units. Twenty-three (23) would be deed restricted to meet the Town's affordable housing guidelines.

## **PROCESS**

At this meeting, the applicant will go over the Site Plan and Architectural Drawings. The hearing should then be continued to October 11, 2018 to cover additional items such as traffic, water rights, engineering, etc. The recommendation for continuance is not because of issues with the application. It is a complex project with a number of components. The intent is to allow time to adequately review the proposal.

This staff report will only cover zoning and development standards. A second staff report will be done for the October 11, 2018 meeting which will cover the additional items, including recommended conditions and findings of approval.

## **ZONING**

### **Surrounding Uses and Zoning**

North	CRW	Vacant
South	CRW-PUD	City Market/Ace Shopping Center
East	PCC	7-11 and Office Building
West	Open Space	Vacant

### **Comprehensive Plan**

The property is designated as “New Urban” on the Future Land Use Plan in the 2013 Comprehensive Plan. This designation allows for a flexible mix of retail, restaurants, service commercial, lodging, offices and multiple story mixed-use buildings which may include residential upstairs. Uses should be transitioned appropriately to adjoining uses.

Development should be urban with buildings close to the sidewalks/streets. Parking should be in landscaped lots behind the buildings or in courtyards. Site design should provide safe connections to the buildings for pedestrians and cyclists.

Building facades and rooflines should be broken-up to avoid monotony and box-like structures. There should be architectural elements facing the streets.

### **Mixed Use (MU) Zone District**

This parcel was rezoned to the Mixed-Use Zone District in 2017. The rezoning application included a conceptual plan which closely mirrors the Site Plan included in this application.

Below is the purpose section of the MU zone district:

The purpose of the Mixed-Use District is intended to foster compact, mixed-use development patterns that provide people with the opportunity to live, work, recreate, and shop in a pedestrian-friendly environment. The Mixed-Use District is intended to provide multimodal access to and from Downtown and the Rio Grande Trail, encourage both a vertical and horizontal mix of land uses, and provide for an interesting and walkable environment through tailored building design and streetscape standards that address features such as building mass and placement, building entries, and windows/transparency.

### **Allowed Uses**

- Ø Multifamily dwellings are permitted uses.
- Ø Single family attached dwellings are conditional uses.
- Ø Offices, business and professional services are permitted uses.

- Ø General retail, 10,000 sq. ft. or less is a permitted use.
- Ø General retail, over 10,000 sq. ft. requires a special use permit.

The Use-Specific Standards in Section 4.3.2.B. state that dwelling units on the ground floor are required to have a Conditional Use Permit. This has been included in the application.

UDC Section 4.3.2.C. states each single family attached dwelling shall have a separate entrance facing the street. This is in compliance.

**Lot Area**

The development site is 5.37 acres. The 5.37 acre site would not be subdivided during development. For zoning and setback purposes, it is treated as one lot.

**Setbacks**

The required setbacks are as follows:

Front – minimum	0 ft.
Front – maximum	10 ft.
Side	0 ft.
Rear	0 ft.

Because of the location of the Rockford Ditch along the south side of the lot and the 20 ft. easement associated with that ditch, the applicant indicates that they will not be able to comply with the maximum 10 ft. front setback along Main Street. Instead, the setback would be approximately 18 to 20 feet. This requires a variance from the required maximum 10 ft. front yard setback.

In order to grant a variance, there would need to be a finding that all of the criteria in UDC Section 2.7.1.C.3.a. have been met. These criteria generally state that the property has an exceptional site condition which is not a general condition of that particular zone district and that this condition creates a hardship to the applicant.

The side yard setback from Shorty Pabst ranges from 30.8’ to 33.2’. The side yard setbacks range from 8.7’ to 17.4’ along Hendrick Drive.

The rear yard setback on the north property line ranges from 14.7’ to 15.6’.

These are all in compliance with the UDC.

**Lot Area per Dwelling Unit**

The UDC requires a certain amount of lot area per dwelling unit. The calculation is as follows:

21 studio units x 1050 sq. ft. = 22,050 sq. ft.  
 33 one-bedroom x 1450 sq. ft. = 47,850 sq. ft.  
 58 two-bedroom x 1650 sq. ft. = 95,700 sq. ft.  
 3 three-bedroom x 1850 sq. ft. = 5,550 sq. ft.

Lot Area Required = 171,150 sq. ft.

Lot Area Provided = 233,902 sq. ft.

This requirement has been met.

**Building Height**

Allowed building height is 35 ft.

The proposed building heights are as follows:

Building	Height
A	32'2"
B	32'2"
C	34'10"
D	33'2"
E	34'6"
F	30'10"
G	22'9.5"
H	22'3"
J	22'3"
K	20'10"
L	20'10"

The building heights are in compliance with the UDC.

**Lot Coverage**

The UDC allows a maximum of 90% lot coverage, or in this case, 210,512 sq. ft. There must be a minimum of 10% landscape area, or 23,390 sq. ft.

The proposed landscape surface is 67,880 sq. ft. or 29%. This calculation does not include the futsal field.

The proposed exceeds the requirement in the UDC.

## **Common Open Space**

UDC Section 5.3.3. requires 15% of common open space for developments in the MU zone district. In this case, 35,085 sq. ft. would be required.

The proposal is for 75,185 sq. ft. This includes the three pocket parks and the center common open space. There are active recreation areas and gardens in these areas. The proposal meets the common open space regulations.

In addition Section 5.3.3.F.6 requires a 400 sq. ft. children's play area. 3,000 sq. ft. has been provided.

All of the proposed private common open space is for use by the residents of the development.

The UDC does not require dedication of public open space for this type of development. The public open space dedication requirement only applies to any development that contains 10 or more residential dwelling units and is subject to preliminary plat approval.

## **Landscaping and Screening**

### **Landscape Area Required**

The UDC requires 10% landscaping or 23,390 sq. ft. 67,880 has been provided as part of the pervious surface calculations (29%).

### **Landscape Strip**

A 5 ft. landscape strip is required between the rights-of-way and any buildings, parking lots, loading areas, etc. It appears there is overall compliance. However, along Shorty Pabst, there are parallel spaces adjacent to the right-of-way. These spaces are located on Lot 1. To the east of the parallel spaces is a 5 ft. landscape strip and a sidewalk. This mirrors what is on Hendrick Drive except that on Hendrick, the parallel spaces, landscape strip and sidewalk are located within the right-of-way.

While the parallel spaces don't meet the letter of the UDC, the streetscape along Shorty Pabst appears to meet the intent of the UDC. Staff would suggest that this is acceptable. However, Staff would recommend that there be an easement for the parallel spaces so that the public may use them.

### **Street Trees**

The UDC requires a certain number of street trees based on the linear frontage. In the past, the Tree Board had asked that the UDC to be revised to change the number of required street trees. A few months ago, Staff had met with a Tree Board member and

the Town Arborist to gain a better understanding of what the Tree Board would like to see as far as street tree requirements. The Tree Board's preference is as follows:

The Tree Board would develop and maintain a list of desirable trees in three size classes: small, medium, and large. (Done)

The spacing of trees on Town property shall be planted no closer than the following:

Small trees – 12 to 20 feet  
Medium trees – 25 to 35 feet  
Large trees – 35 to 45 feet

The purpose of this spacing is to ensure that tree canopies won't overlap at maturity.

This spacing was proposed and approved with the most recent Thompson Park development proposal. It seems to work well and will eliminate overcrowding of the trees. Staff is supportive of this request.

It should be noted that the Tree Board should review the final landscape plan, including tree species and caliper. This will be a condition of approval.

#### Parking Lot Landscaping

Landscape islands or rain gardens are required to separate rows of more than 12 parking spaces in parking lots. In addition the landscape islands are required to be 6 ft. in width and 75 sq. ft. Both of these items are in compliance with the UDC.

It should be noted that native grasses are proposed. The irrigation system has low-, medium- and high intensity zones.

#### Screening

A number of trash dumpsters are located on the site within the parking area. They have been adequately screened.

Screening of mechanical equipment will be reviewed at the time of building permit.

### **Transportation and Connectivity (Section 5.5)**

#### Streets

The public street connectivity and internal street layout looks good. Hendrick Drive and Shorty Pabst Way will parallel Lot 1 on the east and west sides. Hendrick Drive will turn to the north of Lot 1 to connect to Highway 133. Shorty Pabst will tie into the Nieslanik

Avenue extension once the City Market development is constructed. These rights-of-way were dedicated as part of the Carbondale Marketplace plat.

There would be three driveways into Lot 1: two from Shorty Pabst Way and one from Hendrick. There is a north/south drive connection on Lot 1 between these two driveways.

All three internal driveways would be public ingress, egress and emergency access easements. The easements are shown on Sheet C-4.0 (Sopris Engineering). The gray shading indicates a public utility easement as well.

It is unclear from Sheet C-4.0 whether the public will be able to park in the head-in parking spaces along the private driveways. This should be clarified.

It would be good to have the northerly driveway have more of a street appearance. The two apartment buildings and their entryways face that driveway. It would also be more inviting for people to drive into the development.

### Pedestrian Circulation.

There are a number of trails/sidewalks as follows:

1. 8 ft. wide trail through the center of the development from Main Street to Lot 2 (the City Market lot). This includes a 10 ft. side pedestrian easement so the public may use that trail.
2. Bike trail along Shorty Pabst Way.
3. Sidewalk along Main Street.
4. Sidewalk on the north side of Lot 1.
5. Strong internal sidewalk system in front of and through each building

It appears that pedestrian and bicycle circulation within the site were given careful consideration.

### Site and Building Design

Section 5.7.2.C. states that in the case of mixed-use buildings that the site and building design requirements in Section 5.6 (residential) and Section 5.7 (commercial) shall both apply.

The townhomes, studios and apartment buildings are reviewed under Section 5.6 Residential Site and Building Design only.

## **Section 5.6 – Residential Site and Building Design**

There is a good mix of housing types. There is a blend of apartments and townhomes with a variety of sizes and number of bedrooms.

The proposal is in compliance with UDC Section 5.6.5.C which addresses Building Design Standards as follows:

- Ø Residential character of the individual entryways have been maintained.
- Ø Long rooflines have been avoided.
- Ø There are a number of building elements and architectural details.

UDC Section 5.6.5.C. states that in multifamily developments with more than three buildings, there should be different building types. This proposal includes apartment buildings, townhome buildings, mixed use buildings and units on stilts.

### **Private Outdoor Space**

Section 5.6.5.B.2 requires Private Outdoor Space for each multifamily residential unit as follows:

First floor – 80 sq. ft. or 10% of the floor area of the unit  
Second floor – 60 sq. ft. or 5% of the liveable floor area

Private open space needs to have a minimum dimension of 6 ft.

The floor plans for each building shows the square footage of the residential units and the size and location of the private outdoor space associated with that unit. It appears that the private outdoor space has been met for the units.

### **Bulk Storage**

The UDC requires a minimum of one cubic feet of storage for each three square feet of gross area of a dwelling unit. This storage area is intended for items such as tools, bikes, ski equipment, etc.

The floor plans for each building show the square footage of the residential units and the size and location of the bulk storage associated with that unit. The bulk storage appears to be in compliance.

## **Section 5.7 - Commercial Site and Building Design**

The intent of this section is to foster high-quality, attractive and sustainable development along the Town's thoroughfares and to enhance the human and

pedestrian scale of commercial developments, ensuring compatibility between residential neighborhoods and adjacent nonresidential uses. The building design standards are intended to mitigate negative visual impacts arising from the scale, bulk, and mass of large buildings and centers.

The buildings are in compliance as follows:

- Ø Mass and form- buildings are varied in size and shape and large, unbroken faces and rooflines have been avoided.
- Ø All building facades facing a public street have been designed with similar level of design details. Primary entrances face the street providing main access.
- Ø Each building includes vertical and horizontal articulation, transparency and entrance techniques.

**Parking (UDC Section 5.8)**

Vehicle Parking

The UDC requires off-street parking as follows:

Residential

21 efficiency units	x 1.25 = 26.25
33 one-bedroom units	x 1.5 = 49.5
15 two-bedroom units < 800 sq. ft.	x 1.5 = 22.5
43 two-bedroom units > 800 sq. ft.	x 1.75 = 75.25
3 three-bedroom units > 900 sq. ft.	x 2.5 = 7.5

115 residential units = 181 parking spaces

Commercial

10,259 sq. ft. divided by 300 sq. ft. = 34.20 parking spaces

Total required for residential and commercial =215.20 parking spaces

Section 5.8.4.D.1 allows all uses in the MU zone district to be eligible for a 15% reduction in required parking. In this case, the required off-street parking would be reduced to 183 spaces.

The site plan shows 196 off-street parking spaces provided. This includes the parallel parking spaces along Shorty Pabst Way. Twenty-nine (29) additional on-street parking spaces are provided on the Hendrick Drive and Main Street right-of-ways.

UDC Section 5.8.4.D.2. allows a 15% reduction in parking if the development is within 300 ft. of a transit stop. The applicant is not seeking this reduction. During the review process of Carbondale Marketplace Subdivision, RFTA indicated that they would not serve the proposed transit stop shown on the subdivision plat. However, it was agreed that all plans should reserve that area as a future transit stop in the event circumstances changed. This plan maintains that area as future transit.

Table 5.8-4 lays out the Dimensional Standards required for parking lots. These are shown on Sheet C-4.0 (Sopris Engineering). It appears that the size of the parking spaces are in compliance. The code requires a 23 ft. aisle width. Both the northerly drive and center drive meet this requirement. The southerly drive is 22 ft. in width.

### Bike Parking

UDC Section 5.8.7. addresses off-street bike parking. It states that all commercial uses provide bike parking at a rate of one bike space per three vehicle parking spaces. Ten bike parking spaces are required. These have been provided along Hendrick Drive in bicycle racks in front of the commercial spaces.

This section requires that commercial buildings that are more than 1,000 sq. ft. provide a shower facility. This has been made a condition of approval.

Finally, snow storage should continue to be addressed at the time of building permit.

### Community Housing

A Community Housing Mitigation Plan has been submitted which shows compliance with UDC Section 5.11. This section requires that 20% of the residential units be deed restricted as affordable housing units. The Town recently revised the Community Housing Guidelines so that they addressed rental units in addition to for-sale units.

In this case, the code requires the following number of units:

115 residential units x .20 = 23 deed restricted units.

Section 5 of the Housing Guidelines requires the following categories for rental units:

Category 1	80% AMI
Category 2	100% AMI
Category 3	120% AMI

The applicant is providing 23 deed restricted units in the following categories:

8	80% AMI
8	100% AMI
7	120% AMI

The Housing Guidelines require that 15% of the total number of bedrooms in a residential development be part of the housing mitigation plan. In this case, there are 177 bedrooms. Thirty-three (33) bedrooms are included in the deed-restricted units.

The table on page 4 of the introductory text in the application shows how the units are divided amongst the buildings. The floor plans also identify the specific location of each unit. The units have been spread throughout the development which meets the goals of the Town's Community Housing Guidelines.

The proposed Housing Mitigation Plans is in compliance with the UDC.

### **Solar Access (Section 5.12)**

There are no shading restrictions in the Mixed-Use Zone District.

### **CRITERIA**

Below are the criteria of approval for the various components of the application. As the Commission moves forward in the process, Staff will prepare findings for the Commission's consideration.

#### **Criteria – Major Site Plan Review**

1. The site plan is consistent with the Comprehensive Plan;
2. The site plan is consistent with any previously approved subdivision plat, planned unit development, or any other precedent plan or land use approval as applicable;
3. The site plan complies with all applicable development and design standards set forth in this Code; and
4. Traffic generated by the proposed development will be adequately served by existing streets within Carbondale, or the decision-making body finds that such traffic impacts will be sufficiently mitigated.

#### **Criteria - Alternative Compliance**

1. Achieves the intent of the subject standard to a better degree than the subject standard;
2. Advances the goals and policies of the Comprehensive Plan and this Code to a better degree than the subject standard;

3. Results in benefits to the community that exceed benefits associated with the subject standard; and
4. Imposes no greater impacts on adjacent properties than would occur through compliance with the specific requirements of this ordinance.

### **Criteria – Conditional Use Permit**

1. The site, building(s), and use meet all criteria specified for the use and all applicable regulations and development standards as specified in this Code and for the zone district in which the use is located;
2. The proposed use is consistent with the Comprehensive Plan;
3. The site, if nonconforming with the development standards of the zone district in which it is located, will be brought into conformance with those standards if required to do so per *Nonconformities*;
4. The proposed use is planned in a manner that will minimize adverse impacts on the traffic in the neighborhood or surrounding uses;
5. The proposed use is compatible with adjacent uses in terms of scale, site design, and operating characteristics (including hours of operation, noise, odor, dust, and other external impacts);

### **Criteria – Variance**

1. A variance may be granted if the Board of Adjustment finds all the following exist:
  - a. The subject property has an exceptional shape, topography, building configuration or other exceptional site condition which is not a general condition of that particular zone district; or there are exceptional circumstances unique to the owners of the property (e.g., a physically or mentally impaired occupant);
2. An exceptional, practical hardship to the applicant could be shown to occur if the provisions of this Code were literally enforced;
3. The variance, if granted, is the minimum variance that will afford relief and is the least modification possible of the provisions of this Code that are in question;
4. The applicant did not create the hardship by his/her own actions. By "own actions" means an act or omission of the applicant which creates a nonconforming situation;
5. The variance requested does not harm the public or injure the value of adjacent properties; and

6. The granting of the variance will be consistent with the spirit and purpose of the Code.

### **FISCAL ANALYSIS**

Development of this property to a mixed-use development on the corner of Highway 133 and Main Street will add to the commercial and residential activity on this corner of Town.

### **RECOMMENDATION**

Staff is supportive of the application. There is a need for rental housing in Town. This development would provide a good mix of rental housing units near the shopping areas along the highway and the Downtown while providing some commercial square footage. In addition, residential development along Main Street creates more of a buffer for the residential areas to the south.

Staff recommends that the following motion be approved: **Move to continue the public hearing to the October 11, 2018 Planning Commission meeting.**

Prepared By: Janet Buck, Planning Director

## Memorandum

**To: Janet Buck, Planning Director**

**From: John Plano, Building Official**

**Date: 09/06/18**

**Re: Preliminary Review – Main Street Market Place Lot One Housing Project. LU18-23-24**

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This review is preliminary for the Planning Department; a thorough review of the buildings will be performed at review for building permits. At this point there is insufficient information for a through Building Department review.

The current building codes adopted by the Town are the 2009 International Code Group and the 2012 International Green Construction Code (IGCC). The Town recently has adopted the 2015 International Energy Conservation Code and that will be active September 23<sup>rd</sup> 2018.

The strictly residential building will be required to comply with the Town's Residential Efficient Building Program (REBP). The buildings with commercial mixed with residential will be required to comply with the 2012 IGCC.

An accessible route will be required to on-site facilities, i.e.: The Futsal Field and Gazebo/Picnic/BBQ area.

Three one-bedroom units are being proposed as "Type A" accessible units. The code requires the "Type A" units be dispersed among the various class of units. It appears that there should be a 2-bedroom unit designed as a Type A accessible unit.

Multiple residential units on the upper levels only have access to one exit. The 2009 IBC section 1021 limits the travel distance in R-2's to 50' if the story has one exit. The drawings distributed for comment are not to scale, but it appears over the allowed 50'.



Date Sent: 8/13/18  
 Comments Due: 9/5/18  
 Jurisdiction: Town of Carbondale  
 Project Name: Main St. Marketplace, Lot One Housing Project, Application for Major Site Review, Conditional Use & Variance to Maximum Setback  
 Project Address: Lot 1, Carbondale Marketplace, Main St. Carbondale  
 Owner: Crystal River Marketplace LLC  
 Map: <http://garfield.valuewest.net/rptMain01.aspx?countynumber=23&countyname=Garfield&accountnumber=R084075>

**Project Summary:**

The Lot One site is proposed to house 11 buildings with commercial and residential uses fronting the main roadways. The site plan includes a diverse variety of architectural features, scale, and massing in conjunction with internal parking and a central green space to meet the intentions of the UDC. Great care has been taken in proposing a UDC-compliant mixed-use development.

The intention of this application is to demonstrate conformance with the four primary Site Review approval criteria required by the Town’s Unified Development Code (UDC): Consistency with the Comprehensive Plan, Consistency with previous approvals, Compliance with design standards (which makes up the bulk of the application), and Traffic generated by the development will be handled with existing roads or mitigated by the project.

Dwelling Units: 115  
 Commercial: 10,259 sqf  
 Parcel: 5.37 acres  
 Parking: 196 cars, 10 bikes  
 Traffic: 57 morning, 98 evening, 1,136 daily

Total Unit Types	Number
Studio	21
One Bedroom	33
Two Bedroom > 800 sq. ft.	43
Two Bedroom < 800 sq. ft.	15
Three Bedroom	3

**Mobility**

Carbondale’s four bus stops provide some of RFTA’s highest system-wide bus ridership, including the Carbondale BRT Station that ranks third in every season. The Carbondale Circulator Route (CCR) services all bus stops with convenient access between downtown and the BRT Station; 2017 ridership for the CCR was 140,455. Carbondale also experiences some of the Valley’s highest percentages of pedestrian and bicycle access to-from our bus stops for year-round, first-last mile commuting.

According to the applicant, "Pedestrian and bicycle access were integral to creation of the Lot One site plan. The pedestrian zone along Hendrick Dr. will present an appropriate-scaled commercial frontage and architectural interest. An 8' wide sidewalk/trail through the center of the site will offer the public convenient and safe access to City Market. A bike trail along Shorty Pabst Way will provide connection between the trail along SH 133 from the RFTA park-and-ride and the west edge of the property along Main St. as well as City Market and commercial spaces."

"In addition to providing an attractive 'new urban' entrance to the site, the development of the site is advancing Town connectivity. Bicycle connectivity along Shorty Pabst Way from SH 133 to Main St. has been accommodated to support access to and from Carbondale's only RFTA Bus Rapid Transit station and the west side of Town. Pedestrian and bike access to the City Market from Main St. is accommodated through the center of the site to the front door of City Market. The housing component is integrated with employment opportunities and connectivity to bus service so that residents can choose alternative transportation. The new sidewalk along Main St. advances pedestrian connections from downtown toward CRMS and trails beyond."

### **Traffic**

The Main St. Marketplace, Lot One Housing Project, lies in the southeast section of a larger commercial area at the corner of SH 133/Main St. Most of the adjacent parcels have been approved for a combination of a new City Market, retail, bank and gas station. Although separate from the City Market project, Lot One provides a residential component that has yet to be approved with the other projects.

A Traffic Report was prepared by Kimley Horn and Associates, Inc. The same firm prepared the study for the adjacent, new City Market. The report estimates that, when fully built out, Lot One will generate 57 morning and 98 evening peak hour trips to and from the site.

There are currently about 14,600 trips per day north of the site on SH 133, about 11,000 trips south of the site on SH 133, about 3,100 on W. Main St. near Lot One and 6,200 trips on Main St. east of SH 133. The trips to and from Lot One would be distributed in those four directions and added to those counts. Kimley Horn expects about 90% of vehicles to turn left out of Lot One toward the roundabout at Main St., about 5% to go west toward CRMS and about 5% to head south on Hendrick Dr. That would result in about 57 trips in or out of Lot One onto Hendrick Dr. daily. There is no indication of traffic congestion at intersections in 2019 triggered by Lot One based on the study findings as long as Shorty Pabst Way and Hendrick Dr. are connecting the site to Main St.

Staff had requested analysis of a "mini-roundabout" at Main/Hendrick. The study finds that such an improvement at that location would not be required, however the improvements to the intersection have been designed to accommodate a mini-roundabout, if desired in the future.

### **RFTA Comments**

According to the 2013 Carbondale Comprehensive plan, growth rates call for an additional 3,600 residents by 2032; and if the commercial growth rates from the past two decades continued, the town could expect demand for an additional 600,000 sq. ft. of commercial development by 2032.

While this development alone is projected to generate about 1,000 average daily trips (ADT), if combined with the adjacent City Market development, these two developments cumulatively will encompass an estimated 75,000 ft<sup>2</sup> of commercial (or 12.5% of the estimated 600,00 ft<sup>2</sup> of commercial development anticipated by 2032) and generate nearly 10,000 ADT. This does not include additional development that may occur on adjacent or nearby parcels.

Scenario	Daily	AM Peak	PM Peak
Retail (7,100ft <sup>2</sup> )	314	7	19
Supermarket (58,000 ft <sup>2</sup> )	5,930	176	484
Gas Station	2,360	149	158
<b>subtotal (Phase 1)</b>	<b>8,604</b>	<b>332</b>	<b>661</b>
Multifamily (115 units)	740	47	58
Shopping Center (10,474 ft <sup>2</sup> )	396	10	40
<b>subtotal (phase 2)</b>	<b>1,136</b>	<b>57</b>	<b>98</b>
<b>Total</b>	<b>9,740</b>	<b>389</b>	<b>759</b>

According to the Comprehensive Plan, “there are four areas of alignment that stand out and are emphasized throughout the Comprehensive Plan” including:

“Carbondale’s community identity and attractiveness are tied inextricably to its small town form and compact size. A compact town with attractive multimodal options reduces dependence on the personal automobile, which in turn contributes to improved air quality and reduced greenhouse gas emissions. The ability to get around town without a car also promotes a healthier, more out-going community.”

Consistent with the Comprehensive Plan, it may be appropriate to consider investing in additional multimodal infrastructure and operations necessary to fulfill the Town’s aspirations of allowing residents and visitors to get around town without a car, including expanding the Carbondale Circulator route and bicycle and pedestrian improvements.

With regard to bike-ped access, the Lot One and Marketplace parcels are close to the main SH 133 corridor, the Main Street roundabout, and about ½ mile to downtown. RFTA would recommend that any connections to existing town trails are well-marked and care is given to how bikes and pedestrians will navigate the roundabout to/from the project between downtown and West Main St.

These multimodal improvements, however, will likely require additional local investment.

Thank you for allowing RFTA to provide referral comments for this project. Staff is happy to discuss any of these comments with the Town or the development team.

Sincerely,

David Johnson & Jason White, RFTA Planning

**TOWN OF CARBONDALE**

**PLANNING DEPARTMENT**  
**REVIEWING AGENCY FORM**

PLANNING ITEM #: LU18-23-24

DATE SENT: 8-8-18

COMMENTS DUE: 9-5-18

TO: \_\_\_\_\_

To assist the Town in its review of this project, your review and written comments are requested. Please notify the Planning Department if you will not be able to respond by the date listed above. Questions regarding this project should be directed to the Planning Department, 963-2733.

APPLICANT: Robert Schultz Consulting LLC

OWNERS: Crystal River Marketplace LLC

LOCATION: Lot 1, Carbondale Market Place

ZONE: Mixed – Use (UDC)

PROJECT DESCRIPTION: Major Site Plan Review, Variance to the maximum setback along Maine Street, Conditional Use for residential units on ground floor, and Alternative Compliance for Landscape Plan (to use Tree Board spacing preference). Many public improvements overlap with the Carbondale Marketplace (City Market) Subdivision improvements. The SIA for the Carbondale Marketplace was approved in 2016. It is anticipated that some infrastructure work will begin on that project this fall, with the City Market store construction commencing next year. Let us know if you would like to review any of the documents recorded with the Carbondale Marketplace Subdivision Plat.

PLANNING STAFF CONTACT: Janet Buck

The following are conditions or comments I would offer regarding this item: (Attach separate sheet if necessary)

1. Please see attached comments.

Date: **August 11, 2018**

**Bill Gavette**  
**Deputy Chief**  
**Carbondale & Rural Fire Protection District**  
**970-963-2491**

---

Please return comments to both: [jbuck@carbondaeco.net](mailto:jbuck@carbondaeco.net)  
[msikes@carbondaeco.net](mailto:msikes@carbondaeco.net)

Planning Department  
Town of Carbondale  
511 Colorado Avenue  
Carbondale, CO 81623



August 11, 2018

Janet Buck  
Planner, Town of Carbondale  
511 Colorado Avenue  
Carbondale, Colorado 81623

**RE: Main Street Marketplace**

Dear Janet:

I have reviewed the submittal for the proposed Carbondale Marketplace subdivision. I have the following comments.

**Water Supplies for Fire Protection**

The proposed water system is capable of providing the required fire flow of 1,500 gallons per minute for the development. The proposed location and spacing of the fire hydrants is adequate.

**Access**

The proposed access for the development is adequate for emergency apparatus.

**Impact Fees**

The development is subject to development impact fees adopted by the District. The developer will be required to enter into an agreement with the District for the payment of development impact fees. Execution of the agreement and payment of the fees are due prior to the recording of the final plat. Fees are based upon the impact fees adopted by the District at the time the agreement is executed. The current fee for residential development is \$730 per unit and the fee for commercial development is \$730 per 1,900 square feet or portion thereof.

	Residential Units	Impact Fees	Commercial Sq. Ft.	Impact Fees
Building A	12	8,760	3,934 1,836 4,489	
Building B	23	16,790		
Building C	19	13,870		
Building D	11	8,030		
Building E	18	13,140		
Building F	10	7,300		
Building G	8	5,840		
Building H	2	1,460		
Building J	4	2,920		
Building K	4	2,920		
Building L	4	2,920		
Total	115	\$ 83,950		
<b>TOTAL FEES: \$88,330</b>				

Please contact me if you have any questions or if I may be of any assistance.

Sincerely,

Bill Gavette  
Deputy Chief

**Main St. Marketplace  
Lot One Housing Project  
Application for Major Site Review, Conditional Use & Variance to  
Maximum Setback**



Submitted to:  
Town of Carbondale  
511 Colorado Ave.  
Carbondale, CO 81623

Prepared for:  
Crystal River Marketplace, LLC

Prepared by:  
Robert Schultz Consulting•354 Fawn Dr. Carbondale, CO 81623•970-963-3670  
Poss Architecture•311 Main St. Carbondale, CO 81623•970-925-4755  
Sopris Engineerings•502 Main St. Carbondale, CO 81623•970-704-0311  
Rich Camp Landscape Architecture•PO Box 958 Carbondale, CO 81623•970-963-7123

## **Background- Moving Forward Together**

The larger Crystal River Marketplace property, of which Lot One is a portion, has been the object of a search for a common planning vision for over a decade. During that period there has not been alignment around a master plan for the entire property but support for a new City Market and rental housing have been commonly envisioned. It became apparent to the property owners and Town that the best way forward was to address the most immediate community needs while creating an infrastructure plan that anticipates future uses. The remainder of the property will develop over time based on future needs.

This spring, a sale to Kroger was completed and improvements were initiated toward a new City Market. City Market is the largest sales tax generator in town and the new store is expected to increase sales tax generation to support Town governance and recreation uses.

Last year, when the Lot One parcel was reviewed for rezoning, from PC- Planned Community Commercial to MU-Mixed Use, the site was 6.382 acres. In February 2018 City Market purchased its property and the plat was recorded. The recorded plat included dedication of rights-of-way for Hendrick Dr. and Shorty Pabst Way, which reduced the Lot One parcel to 5.37 acres. The plat also rerouted the Rockford Ditch based on an alignment negotiated between all of the parties with an interest in the Ditch.

In October 2017, the Carbondale Trustees approved a rezoning of Lot One to Mixed Use based on a conceptual site plan and uses that are consistent with this application. The focus of our plan is to provide much needed rental housing stock, particularly modest units that can serve our working population, in a mixed-use setting near employment, services, and transit. The current challenges to renters include loss of housing stock to VRBOs, conversion to sales units, and high prices.

The intention of this application is to demonstrate conformance with the four primary Site Review approval criteria required by the Town's Unified Development Code (UDC):

- Consistency with the Comprehensive Plan
- Consistency with previous approvals
- Compliance with design standards (which makes up the bulk of the application)
- Traffic generated by the development will be handled with existing roads or mitigated by the project

**The focus of our plan is to provide much needed rental housing stock, particularly modest units that can serve our working population, in a mixed-use setting near employment, services, and transit.**

## Project Summary- Mixed Use & Rental Housing

The Lot One site is proposed to house 11 buildings with commercial and residential uses fronting the main roadways. The site plan includes a diverse variety of architectural features, scale, and massing in conjunction with internal parking and a central green space to meet the intentions of the UDC. Great care has been given to proposing a UDC compliant mixed-use development.

Pedestrian and bicycle access were integral to creation of the site plan. The pedestrian zone along Hendrick Dr. will present an appropriate-scaled commercial frontage and architectural interest. An 8' wide sidewalk/trail through the center of the site will offer the public convenient and safe access to City Market. A bike trail along Shorty Pabst Way will provide connection between the trail along SH 133 from the RFTA park-and-ride and the west edge of the property along Main St. as well as City Market and commercial spaces.

Ground floor commercial spaces are distributed over the three buildings that are adjacent to the new Hendrick Dr. extension, with pedestrian amenities and parking fronting those uses to create an attractive commercial environment. There is a total of 10,259 square feet of commercial space to complement the adjacent 60,000 square foot City Market and 9,600 square feet of other retail space included in the City Market approvals. It is anticipated that buildings containing this additional commercial space will be constructed based on demand, after the spaces next to City Market are filled. The townhomes along Main St. would lend themselves to home occupations as well.

**There is a total of 10,259 square feet of commercial space to complement the adjacent 60,000 square foot City Market and 9,600 square feet of other retail space included in the City Market approvals.**

Commercial	Square Feet
Building C	3,934
Building D	1,836
Building E	4,489

The 115 housing units are distributed across the 11 buildings and include a variety of types, styles, and sizes. The housing ranges from studios of less than 400 sq. ft. to three-bedroom units that are less than 1,400 sq. ft. Based on comments during the rezoning process, three-bedroom units were added to the mix. Two-bedroom units of less than 800 sq. ft. were also included to create further diversity within the housing stock.

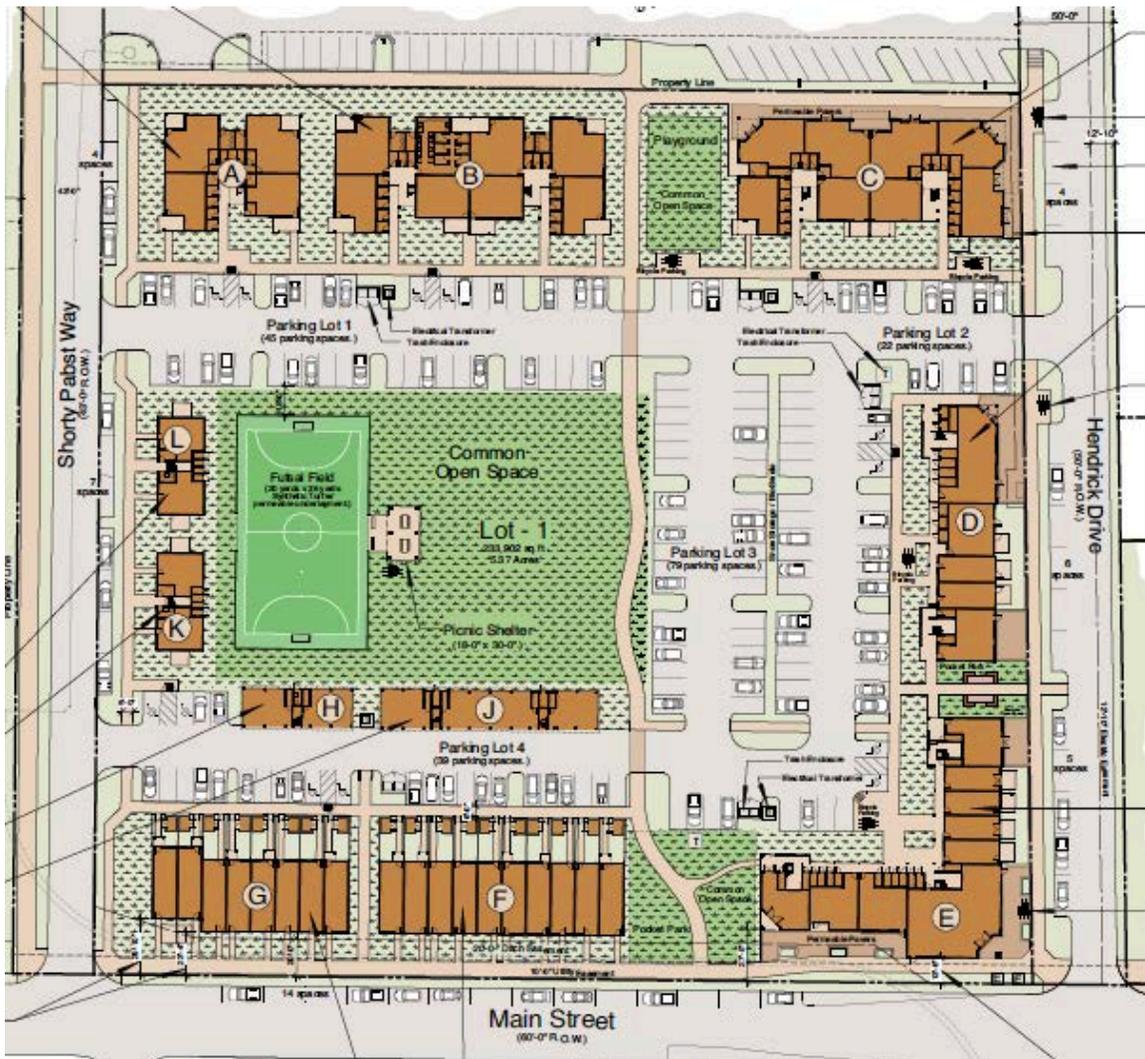
Total Unit Types	Number
Studio	21
One Bedroom	33
Two Bedroom > 800 sq. ft.	43
Two Bedroom < 800 sq. ft.	15
Three Bedroom	3

The smaller scale of units allows the site to have adequate play and recreation areas for families while still accommodating parking, commercial uses, and residential uses. The site does not seem crowded. Variety in the architecture is intended to complement the diversity and create visual interest in order to avoid monolithic facades. Community housing is distributed around the site rather than clustered to emphasize inclusion.

Housing Unit Type By Bldg.	Studio	1 Bdrm	2 Bdrm <800 sq. ft.	2 Bdrm >800 sq. ft.	3 Bdrm	Comm. Housing
Bldg. A (12 units)		6	2	4		3
Bldg. B (23 units)		9	4	10		4
Bldg. C (19 units)		7	2	10		4
Bldg. D (11 units)	2	4	2	3		3
Bldg. E (18 units)	5	7	5	1		3
Bldg. F (10 units)				7	3	2
Bldg. G (8 units)				8		0
Bldg. H (2 units)	2					0
Bldg. J (4 units)	4					2
Bldg. K (4 units)	4					2
Bldg. L (4 units)	4					0

No subdivision of the property is proposed. All of the public improvements would be constructed during initial construction while the actual building construction would occur based on demand. Buildings A and B are currently anticipated to be the first to seek Building Permits.

A request for Alternative Compliance is included regarding the Landscape Plan in order to address the issues related to the UDC current street tree language. The approach proposed is consistent with recently approved Thompson Park Amendment.



## Site Plan Highlights

When working on a site plan, one comes across the central features that define the project opportunities and constraints.

### Central Green & Native Grasses

One of the early objectives of the site plan was to create a central green space that would provide residents with active and passive recreation opportunities and gathering. The central green would be supplemented with smaller scale passive green spaces and a 3,000 sq. ft. tot park (400 sq. ft. required). While the landscaped area provided greatly exceeds that required by code, about 80% of the landscape will be native grasses to reflect the water reality of our high and dry environment.

### Prominence at Corner of Hendrick Dr. and Main St.

The streetscape and buildings will create a sense of entry to the site over time that will establish the form prescribed in the UDC with prominent buildings and pedestrian-scale commercial opportunities leading toward City Market. The strong form of the buildings along Hendrick Dr. is contrasted with a variety of residential architectural styles to provide visual interest and to break up massing.

### Mixed Use and Quality of Residential Experience

The site plan takes advantage of the apartment buildings on the north edge of the lot to transition from the busy grocery and retail spaces to a quieter home for a variety of household sizes. A north-south pedestrian and bike route through the center of the site links Main St. to City Market and other retail sites, the quieter central area is primarily to the benefit of residents and their children.

### Connectivity

In addition to providing an attractive “new urban” entrance to the site, the development of the site is advancing Town connectivity. Bicycle connectivity along Shorty Pabst Way from SH 133 to Main St. has been accommodated to support access to and from Carbondale’s only RFTA Bus Rapid Transit station and the west side of Town. Pedestrian and bike access to the City Market from Main St. is accommodated through the center of the site to the front door of City Market. The housing component is integrated with employment opportunities and connectivity to bus service so that residents can choose alternative transportation. The new sidewalk along Main St. advances pedestrian connections from downtown toward CRMS and trails beyond.

**While the landscaped area provided greatly exceeds that required by code, about 80% of the landscape will be native grasses to reflect the water reality of our high and dry environment.**

## Comprehensive Plan Conformance

In 2013, the Carbondale Comprehensive Plan's Future Land Use Map designated the area New Urban. The intention of the land use designation is to support commercial, mixed use, and urban residential buildings that front sidewalks/streets with prominent corner buildings, parking internal to the site, and a circulation system that welcomes autos, bikes, and pedestrians. The UDC implemented this direction through the creation of a Mixed Use zone district.

The Comprehensive Plan and UDC provided guidance in creating the site plan along with comments from a public open house and previous hearings with the Planning and Zoning Commission and Trustees on the conceptual site plan during rezoning.

While Lot One is now on a separate parcel from the larger-scale City Market and associated retail uses, the parcels combined display a larger mixed-use development near transit, trails, and the center of town.

Among the Priority Strategies in the Comprehensive Plan addressed by the Lot One plan are to:

- Encourage multi-family and higher density housing
- Integrate mixed-use development: connect housing with commercial
- Implement multi-modal improvements, especially along/across Highway 133

The diversity in housing and mixed-uses offered on Lot One are in alignment with the intentions of the Comprehensive Plan.

The Comprehensive Plan Goals are supported by prioritized strategies that are addressed by Lot One and the adjacent City Market development. For instance, Goal 2, Strategy A is to “capture more local spending” and to “encourage convenient community-serving retail sales establishments that will improve the overall commercial base and augment town sales tax revenues”.

The Plan promotes the “development of housing types providing for residents with different economic and housing needs and giving employees the opportunity to live affordably close to where they work”. (Diversity in Housing Types Goal 1).

One strategy proposed is to “encourage mixed-use development with and direct connection to from housing to commercial and employment areas” (Diversity in Housing Strategy B)

Another is to “create zoning districts that promote a variety of housing types and higher density to lower per-unit land and development costs”.

In general, the Lot One plan is well aligned with the Goals and Strategies of the Comprehensive Plan and consistent with the site plan concept submitted with the approval for rezoning.

## Major Site Plan Review

Site planning was done using the UDC as a template. Providing pedestrian-scale commercial frontage along Hendrick Dr., varying rooflines and facades, and framing parking to the rear and sides of buildings are all based on UDC direction.

The only variation being that the relocation of the Rockford Ditch, previously approved by the Town through the City Market Subdivision, will require that the buildings along Main St. will be greater than the 10' maximum setback prescribed in the code.

	Code Requirement	Response
Min. Lot Area T. 3.2-9	Studio 1050	Required: 171,150 sq. ft.
	1 bdrm 1450	(see notes)
	2 bdrm 1650	Provided: 233,902 sq. ft.
	3 bdrm 1850	
Setbacks T. 3.2-9	0' front <u>10' maximum</u>	Will not conform to maximum along Main St., otherwise complies. 31' See Exhibit M
	0' other	
Height T. 3.2-9	35' max. primary	Complies
	25' accessory	See Exhibit D
Impervious/Landscape T. 3.7-2	90% impervious	Required landscape: 23,390
	10% landscape	Provided: 67,880
Use T. 4.2-1 4.3.2.B.2	MFH on 1 <sup>st</sup> Floor is	This application includes a request for such Conditional Use
	Conditional Use	
Off-Street Parking T. 5.8-1	1.25 Studio	Required after mixed use
	1.5 1 bdrm	reduction: 183
	1.5 2 bdrm <800sq. ft.	Provided: 196
	1.75 2 bdrm >800 sq. ft.	See Exhibit B
	1.75 3 bdrm <900 sq. ft.	
	2.5 3 bdrm >900 sq. ft.	
	1 per 300' gen. comm	
Bike Parking	15% Reduction- mixed use	
	1 per three commercial auto space. 30 commercial auto spaces required; 10 bike	Required: 10 Provided: 10 See Exhibit B
Street planting 5.4.3.B Trees	5' planting area	See Exhibit C Alternative Compliance explanation below
Parking Island Landscape 5.6.5.C.7.d	1 per six spaces	See Exhibit C
Pedestrian Circ. 5.5.3	5' sidewalks	See Exhibits B and M
Screening	6' Waste & recycling	See Exhibit B

<b>Mix of Housing Types 5.6.3.B</b>	Variety	Studios, one bdrm, two types of two bdrms, three bdrm. Townhomes and flats
<b>Underground Utilities 5.6.3.E</b>	Required Display all easements and utilities	See Exhibits K and M
<b>Energy/Orientation 5.6.3.F</b>	Energy efficient design Honors views	Majority of housing units are south facing. Commercial will meet Green Code. Excellent views from most units
<b>Supplemental Standards 5.6.5 MFH</b>	Private outdoor spaces Vary Setbacks/Heights Residential Character Varied Roof Form Varied Buildings Orientation to views Circulation/Parking Bike Parking Bulk Storage	See Exhibit D See Exhibit D See Exhibit D See Exhibit D See Exhibit D See Exhibit B See Exhibit B See Exhibit B See Exhibit D
<b>Commercial Design 5.7.3, 5.7.4 5.7.6 if &gt; 10,000 sq. ft.</b>	Corner and street connections, location of front door	See Exhibit D for Buildings B, C, D, E, & F
<b>Design Off-Street Parking 5.8.6</b>	Dimensional Requirements	See Exhibits B & M
<b>Exterior Lighting 5.10</b>	Night sky compliance	See Exhibit F Detailed plan at Building Permit
<b>Site Plan 2.5.3.F.a</b>	Topography 2' contour Adjoining properties Proposed buildings Existing buildings Parking areas, drives, sidewalks Landscaping, fences/walls Elevation of fences/walls Streets, alleys, trails Solid waste Snow storage Utilities & easements	See Exhibit A See Exhibit J See Exhibit B See Exhibit A See Exhibits B & M See Exhibit B & C See Exhibit D See Exhibit M See Exhibit B See Exhibit L See Exhibit K and M

	<b>Code Requirement</b>	<b>Notes</b>
<b>Screening 5.4.5.B.1</b>	View of mechanical equipment screened from directly across the property line	Compliant See Exhibit D
<b>Site Plan 2.5.3.F.b</b>	Table with site calculations	See Exhibit B
<b>Site Plan 2.5.3.F.c</b>	Conceptual building elevations	See Exhibit D
<b>Site Plan 2.5.3.F.d</b>	Sample material board	See Exhibit E
<b>Site Plan 2.5.3.F.e</b>	Dimensioned floor plans	See Exhibit D
<b>Site Plan 2.5.3.F.f</b>	Grading plan	See Exhibit L
<b>Site Plan 2.5.3.F.g</b>	Irrigation Plan	See Exhibit C
<b>Community Housing 2.5.11</b>	20% inclusionary	Required: 23 Provided: 23
<b>Traffic Report</b>		See Exhibit P

There is no solar shading analysis required for property in the Mixed Use zone district when there is no adjacent property with residential zoning (5.12.5.C).

A Lighting Concept Plan is included to provide a sense of the direction, however the detailed analysis required by the Lighting Code will be presented for staff review with the application for Building Permit.

## Key Compliance Points

### *Traffic*

A Traffic Report was prepared by Kimley Horn and Associates, Inc. The same firm prepared the study for the adjacent, new City Market. The intention of such a report is to estimate traffic related to the Lot One plan in the near and longer term and its impact on road infrastructure. In addition to review by the Town, the report is required for review by the Colorado Department of Transportation's (CDOT) engineers related to access to SH 133 and thus the format of the report is in response to CDOT requirements and protocols. After Site Plan approval, the report would be submitted to CDOT for review and potential Access Permit.

The report estimates that, when fully built out, Lot One will generate 57 morning and 98 evening peak hour trips to and from the site. In order to clearly identify the trip generation and distribution, the study assumes that in 2019 Lot One is completely built and the City Market has not been constructed. It uses recent traffic counts and adds the new trips to see the impact on intersection performance. The report then goes to the year 2040 and adds background traffic growth estimated by CDOT to existing trips and adds trips from the new City Market and associated commercial space and Lot One to the 2019 figures. This allows a projection of traffic flow in 2040.

As we all experience, the critical trips in traffic planning are during the peak morning and evening hours when congestion is most likely. The report estimates that, when fully built out, Lot One will generate 57 morning and 98 evening peak hour trips to and from the site. A total of 1,136 daily trips are estimated. For example, someone driving from their apartment to the post office and then returning would equal two trips. In general, morning trips are skewed toward trips out of the site as people leave for work and play. Evening peak hour trips are more evenly split as people return home and/or run errands.

There are currently about 14,600 trips per day north of the site on SH 133, about 11,000 trips south of the site on SH 133, about 3,100 on W. Main St. near Lot One and 6,200 trips on Main St. east of SH 133. The trips to and from Lot One would be distributed in those four directions and added to those counts.

Kimley Horn expects about 90% of vehicles to turn left out of Lot One toward the roundabout at Main St., about 5% to go west toward CRMS and about 5% to head south on Hendrick Dr. That would result in about 57 trips in or out of Lot One onto Hendrick Dr. daily. There is no indication of traffic congestion at intersections in 2019 triggered by Lot One based on the study findings as long as Shorty Pabst Way and Hendrick Dr. are connecting the site to Main St.

**The report estimates that, when fully built out, Lot One will generate 57 morning and 98 evening peak hour trips to and from the site.**

The study then looks at 2040 and the additional trips and improvements related to the new City Market. The City Market approvals include a number of CDOT-approved improvements to SH 133 along the Main St. Marketplace site. Two additional intersections with SH 133 are to be built, one at Nieslanik Ave. and one near the new gas station. Both of these intersections will allow customers to enter and exit using right hand turns heading south on SH 133. Left hand turns will be allowed from north-bound vehicles on SH 133, however no left turns will be allowed out of the site onto northbound 133 and those vehicles will need to travel through the Main St. roundabout to head north.

The traffic report suggests that SH 133 and the Main St. roundabout perform well into 2040 with the improvements already required by the City Market approvals and some modest changes that do not involve widening the roadway.

The projections for 2040 suggest that the intersection of Hendrick Dr. and Main St. will perform satisfactorily with the development. Staff had requested analysis of a “mini-roundabout” at that location. The study finds that such an improvement at that location would not be required, however the improvements to the intersection have been designed to accommodate a mini-roundabout, if desired in the future.

***Street Trees/Landscape- Alternative Compliance***

Exhibit C displays the Landscape Plan and calls out the size and species of street trees proposed. The Alternative Compliance is related to 5.4.3.B.3, which requires planting a street tree every 100 square feet. Since that would not result in healthy trees, an alternative is proposed that is consistent with the recently approved Amendment to the Thompson Park Subdivision approvals.

Replace 5.4.3.B.3. with the following:

A list of trees desirable for planting in landscape areas has been established in the Town’s Public Works Manual. The Manual includes species and size classes (small trees, medium trees and large trees). The required landscape areas shall be planted with street trees with the following spaces:

- Small trees 12-20 feet spacing
- Medium trees – 25 to 35 feet spacing
- Large trees – 35 to 45 feet spacing

**The traffic report suggests that SH 133 and the Main St. roundabout perform well into 2040 with the improvements already required by the City Market approvals and some modest changes that do not involve widening the roadway.**

Add: 5.4.3.B.3.c. Street trees shall be 2.5 inches in caliper  
Add: 5.4.3.B.3.d. No trees other than small trees shall be planted on Town property under or within ten lateral feet of any overhead utility wire.

Add in 5.2.7.B. “During construction of any structure or improvement, it shall be unlawful for any person to place material, machinery or soil deposits within a minimum of six feet of any tree on town property, unless waived by the Director.

***Water Rights***

The Engineering Report (Exhibit O) includes a discussion of the irrigation water rights used by the project and domestic water usage. Irrigation water from the Rockford Ditch serving the adjacent City Market site and Lot One are drawn from the northwest corner of Lot One. Domestic water needs have been estimated and associated fees will be paid in accordance with a Development Improvement Agreement for the site.

Water would be provided through dedication of water rights appurtenant to the property. It is estimated that 119.5 EQRs will be required to serve the site, which translates to dedication of 62.14 shares from the Rockford Ditch.

***Pedestrian Easements***

Pedestrian access easements for sidewalks on the perimeter of the property and the 8’ connector through the center of the site are identified on Exhibit M. Other easements were already dedicated as part of the City Market subdivision.

***Underground Utilities***

All utilities are designed to be underground. Existing overhead lines will be buried. See Exhibit K for utility plans and Exhibit M for easements.

***Housing Mitigation Plan***

As per Section 5.11 of the UDC, 20% of the total units or 23 units will be required to meet Town of Carbondale’s Housing Guidelines (CHG). The Applicant voluntarily agrees to rent the units in accordance to the CHG and voluntarily agrees to place a deed restriction on designated units at the time of Building Permit application in accordance with the Colorado Revised Statutes §38-12-301. The units are on-site and distributed throughout the project.

The floor plans provided (see Exhibit D) identify units that meet the criteria for different Carbondale Housing Guideline (CHG) categories. For instance, the floor plan might include a note “CHG-Type 2 Provided”, which would indicate a unit is designated a Category 2 unit according to the Carbondale Guidelines.

**As per Section 5.11 of the UDC, 20% of the total units or 23 units will be required to meet Town of Carbondale’s Housing Guidelines (CHG).**

There are a total of 177 bedrooms in the proposed development plan, at least 15% of those bedrooms or 27 bedrooms must be part of the Housing Mitigation Plan. 33 bedrooms are included in the Housing Mitigation Plan.

	Units Provided	Total Bedrooms
Category 1	8	9
Category 2	8	12
Category 3	7	12

### Conditional Use

Dwelling units on the ground floor are a conditional use in the Mixed Use zone district. The intention of the Conditional review is to ensure that the proposed uses “will not have a significant adverse impact on surrounding uses or on the Town”. Buildings C, D, and E will have commercial and residential uses on the ground floor. Buildings A, B, F, G, K and L are designed for ground floor residential use.

The ground floor units are proposed to meet a significant community demand for rental housing and are integrated into a mixed-use development that serves local commercial needs. In the larger context of the property, substantial additional commercial development is adjacent with the new City Market and associated commercial. The mix of uses and users are complementary and in accord with the Town’s Comprehensive Plan. No concerns with the use have been identified to date.

### Variance to Maximum Front Yard Setback

The relocation of the Rockford Ditch was previously reviewed and approved as part of the City Market Subdivision. The UDC has both a minimum and maximum setback for the front yard (Main St.). The maximum setback of 10’ cannot be met due to the location of the Rockford Ditch, which lies along the front of the property and owns a 20’ easement. The maximum setback is unique to the Mixed Use zone and new to the Town via the UDC. The City Market Subdivision was submitted prior to the adoption of the UDC.

The condition is unusual to this zone district as most properties in Town are not encumbered by a ditch across the front of the property. In addition, this zone district and setback requirement did not exist when the subdivision that provided the easement for the ditch was approved. The Rockford Ditch predates development on the property and was designed without regard to zone district requirements as there was no zoning at that time. The applicant does not have the legal right to build in the easement and thus cannot meet the maximum setback requirement.

However, the design of the townhome buildings along Main St. create the urban frontage that the code seeks to prescribe. The look and feel is similar to Main St. townhomes on the other side of SH 133 with parking in the rear and an emphasis on residential uses fronting the street.

The ditch existed prior to the current owners or even annexation into the Town, thus no hardship was created by the owners. The variance will not harm adjacent property owners or the general public, in fact, piping the ditch will increase its efficiency and promote safety to the benefit of the general public and other ditch users. The code seeks to promote a streetscape that it alive with buildings fronting the property. That will still be the case.

The ditch makes a turn toward the north at the western end of Lot One and that will require the westernmost two units to set back in order to accommodate the turn. We are requesting to vary the setback to 31' in order to accommodate the Rockford Ditch and provide for appropriate foundations for the townhomes.

**The look and feel is similar to Main St. townhomes on the other side of SH 133 with parking in the rear and an emphasis on residential uses fronting the street.**

## Notes:

### Lot Area Calculation

Lot Area			
Studio	1050	21	22050
1 bdrm	1450	33	47850
2 bdrm > 800	1650	43	70950
2 bdrm <800	1650	15	24750
3 bdrm	1850	3	5550
Comm			
			171150

### Parking Calculation

Studio	1.25	21	26.25	
1 bdrm	1.5	33	49.5	
2 bdrm > 800	1.75	43	75.25	
2 bdrm <800	1.5	15	22.5	
3 bdrm	2.5	3	7.5	
Comm. per 300	300	10,259	34.20	15% Reduction
			215.20	183

### Bike Parking

Number	
Comm SQ. FT.	10259
1 per 300	34.20
After 15% Reduction	29
Bike Parking	10

### Community Housing

Community Housing	23 Units Required
Cat. 2 100% AMI	8
Cat. 1 80%	8
Cat. 3 120%	7

## **List of Exhibits**

Exhibit A Existing Conditions  
Exhibit B Site Plan  
Exhibit C Landscape & Irrigation Plans  
Exhibit D Architectural Floor Plans & Elevations  
Exhibit E Architectural Materials Palette  
Exhibit F Lighting Concept  
Exhibit G Owners within 300'  
Exhibit H Title Commitment  
Exhibit I City Market Easement  
Exhibit J Adjoining Properties and Current Land Use  
Exhibit K Utilities Plan and Typical Sections  
Exhibit L Grading, Snow Storage and Stormwater Plans  
Exhibit M Roads, Easements and Setbacks  
Exhibit N Rockford Ditch Agreement  
Exhibit O Engineering Report and Water Rights  
Exhibit P Traffic Report  
Exhibit Q Drainage Letter  
Exhibit R Soils Report





DESIGNED BY	KTS
DRAWN BY	KTS
CHECKED BY	YTN
DATE:	07-30-18
JOB NO.	17135.02

**MAIN ST. MARKETPLACE  
 CARBONDALE, COLORADO  
 MAJOR SITE PLAN REVIEW**

DATE	REVISION

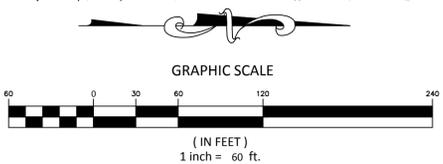
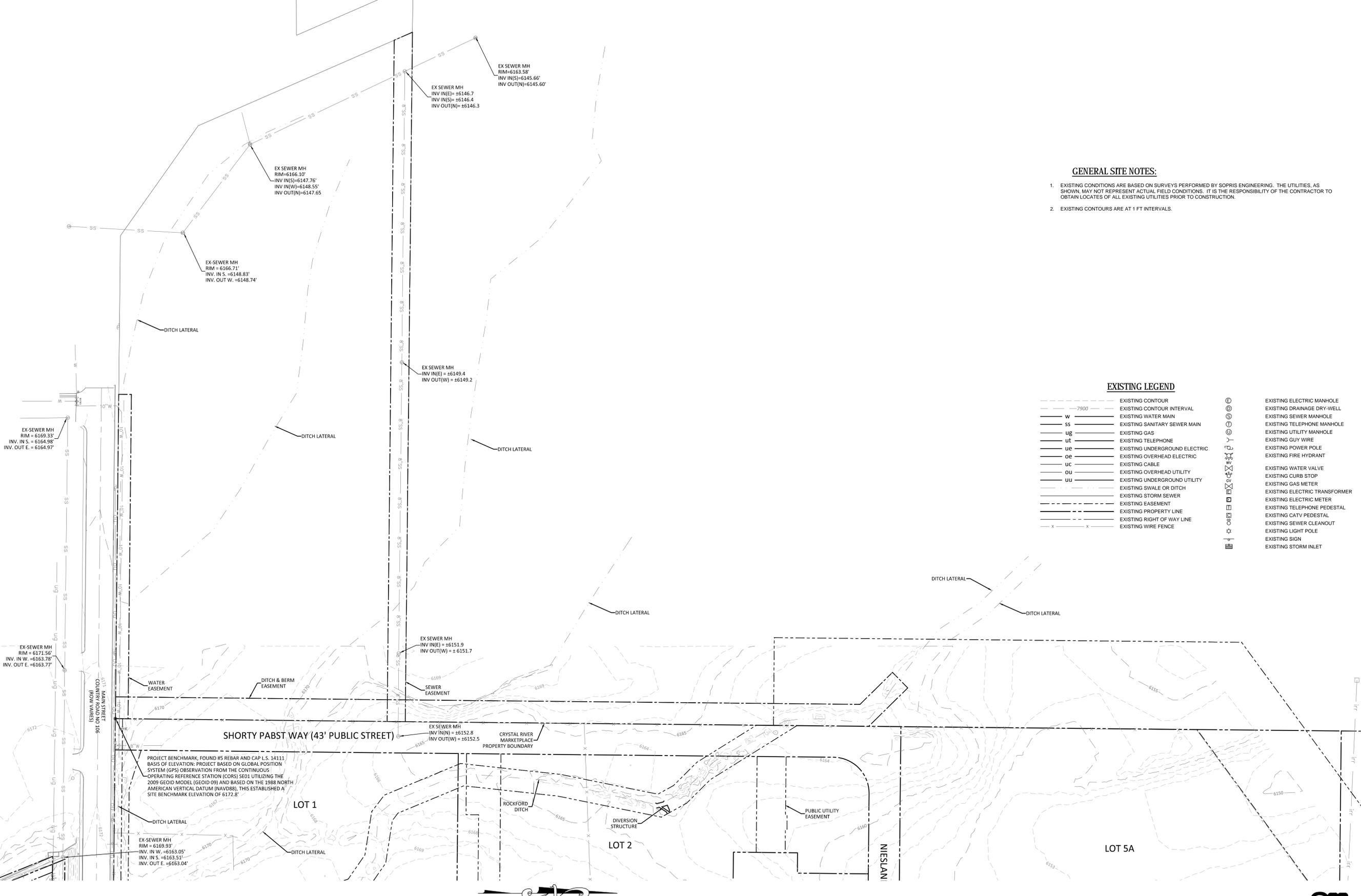
TITLE	EXISTING CONDITIONS WEST
DRAWING NO.	C-1.1

**GENERAL SITE NOTES:**

- EXISTING CONDITIONS ARE BASED ON SURVEYS PERFORMED BY SOPRIS ENGINEERING. THE UTILITIES, AS SHOWN, MAY NOT REPRESENT ACTUAL FIELD CONDITIONS. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN LOCATES OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION.
- EXISTING CONTOURS ARE AT 1 FT INTERVALS.

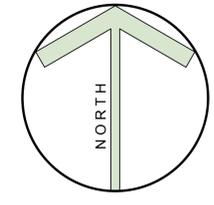
**EXISTING LEGEND**

	EXISTING CONTOUR		EXISTING ELECTRIC MANHOLE
	EXISTING CONTOUR INTERVAL		EXISTING DRAINAGE DRY-WELL
	EXISTING WATER MAIN		EXISTING SEWER MANHOLE
	EXISTING SANITARY SEWER MAIN		EXISTING TELEPHONE MANHOLE
	EXISTING GAS		EXISTING UTILITY MANHOLE
	EXISTING TELEPHONE		EXISTING GUY WIRE
	EXISTING UNDERGROUND ELECTRIC		EXISTING POWER POLE
	EXISTING OVERHEAD ELECTRIC		EXISTING FIRE HYDRANT
	EXISTING CABLE		EXISTING WATER VALVE
	EXISTING OVERHEAD UTILITY		EXISTING CURB STOP
	EXISTING UNDERGROUND UTILITY		EXISTING GAS METER
	EXISTING SWALE OR DITCH		EXISTING ELECTRIC TRANSFORMER
	EXISTING STORM SEWER		EXISTING ELECTRIC METER
	EXISTING EASEMENT		EXISTING TELEPHONE PEDESTAL
	EXISTING PROPERTY LINE		EXISTING CATV PEDESTAL
	EXISTING RIGHT OF WAY LINE		EXISTING SEWER CLEANOUT
	EXISTING WIRE FENCE		EXISTING LIGHT POLE
			EXISTING SIGN
			EXISTING STORM INLET



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**NOT FOR CONSTRUCTION**  
 CALL 2-BUSINESS DAYS IN ADVANCE BEFORE YOU DIG, GRADE, OR EXCAVATE FOR THE MARKING OF UNDERGROUND MEMBER UTILITIES.



SCALE: 1" = 40'-0"  
 DATE: APRIL 26, 2017  
 REVISED: JULY 7, 2017  
 AUGUST 16, 2017  
 JULY 23, 2018

**Lot-1 Site Information:**

**Zoning:** Mixed Use

**Parking:**

**Residential Off-Street Parking Space Requirements:**  
 Three Bedroom Units: 03 x 2.50 parking spaces / unit = 7.50  
 Two Bedroom Units over 800 s.f.: 43 x 1.75 parking spaces / unit = 75.25  
 Two Bedroom Units under 800 s.f.: 15 x 1.50 parking spaces / unit = 22.50  
 One Bedroom Units: 33 x 1.50 parking spaces / unit = 49.50  
 Studio Units: 21 x 1.25 parking spaces / unit = 26.25  
 Total Residential Units: 115 181.00

**Commercial Off-Street Parking Space Requirements:**  
 Commercial Square Footage: 10,259 sq. ft.: 1 parking space / 300 sq. ft. = 34.20  
**Total Parking Spaces Required: 215.20 Spaces**

**Off-Street Parking Space Reductions:**  
 Multi Use District Parking Reduction: 15% - 32.28  
**Revised Total: 182.92 Spaces**

**Proposed Parking Spaces:**  
 Proposed Off-Street Parking Spaces: 196  
 Required Off-Street Parking Spaces: -183  
 Off Street Parking Space Balance: 13 more spaces than required

**Proposed On-Street Parking Spaces:**  
 Proposed On-Street Parking Spaces: +29  
**Total Proposed Parking Spaces: 225 total spaces**

**Bike Parking:**  
 1 space required for every three commercial parking spaces: 29.0  
 Commercial Parking Spaces required after 15% reduction: 10.0

**Common Open Space:**  
 Total Area: 233,902 sq. ft. - Open Space Required: 15% or 35,085 sq. ft.  
 Proposed Open Space: 76,185 sq. ft. (See Open Space Plan)  
 Open Space Percentage: 35.5% (area not included: parking lot, parking lot planting, road right of way, and building footprint.)

**Landscaping and Screening:**  
 Total Area: 233,902 sq. ft. Landscaping Required: 10% or 23,390 sq. ft.  
 Proposed Landscaping Area: 67,880 sq. ft.  
 Landscaping Percentage: 29% (area not included: parking lot, parking area planting, Futsal field, road right of way, walkways and building footprints.)

**Other:**  
 Floor Area of Each Unit- see Exhibit E for information on each unit.  
 Setbacks- See Exhibit M.  
 Private Outdoor Space and Bulk Storage- See Exhibit E for information on each unit.

**Building B**  
 Three Story Apartment Building  
 23 Units: 9 One Bedroom,  
 4 Two Bedroom under 800 s.f.,  
 10 Two Bedroom over 800 s.f.

**Building A**  
 Three Story Apartment Building  
 12 Units: 6 One Bedroom,  
 2 Two Bedroom under 800 s.f.,  
 4 Two Bedroom over 800 s.f.

**Building C**  
 Three Story Mixed Use Building  
 19 Units: 7 One Bedroom,  
 2 Two Bedroom under 800 s.f.,  
 10 Two Bedroom over 800 s.f.,  
 3,934 S.F. of Commercial Area

**Building D**  
 Two / Three Story Mixed Use Building  
 11 Dwelling Units: 2 Studios, 4 One Bedroom,  
 2 Two Bedroom under 800 s.f.,  
 3 Two Bedroom over 800 s.f.,  
 1,836 S.F. of Commercial Area

**Building E**  
 Two / Three Story Mixed Use Building  
 18 Dwelling Units: 5 Studios, 7 One Bedroom,  
 5 Two Bedroom under 800 s.f.,  
 1 Two Bedroom over 800 s.f.,  
 4,489 S.F. of Commercial Area

**Building L**  
 Two Story Apartment Building  
 4 Dwelling Units: 4 Studios

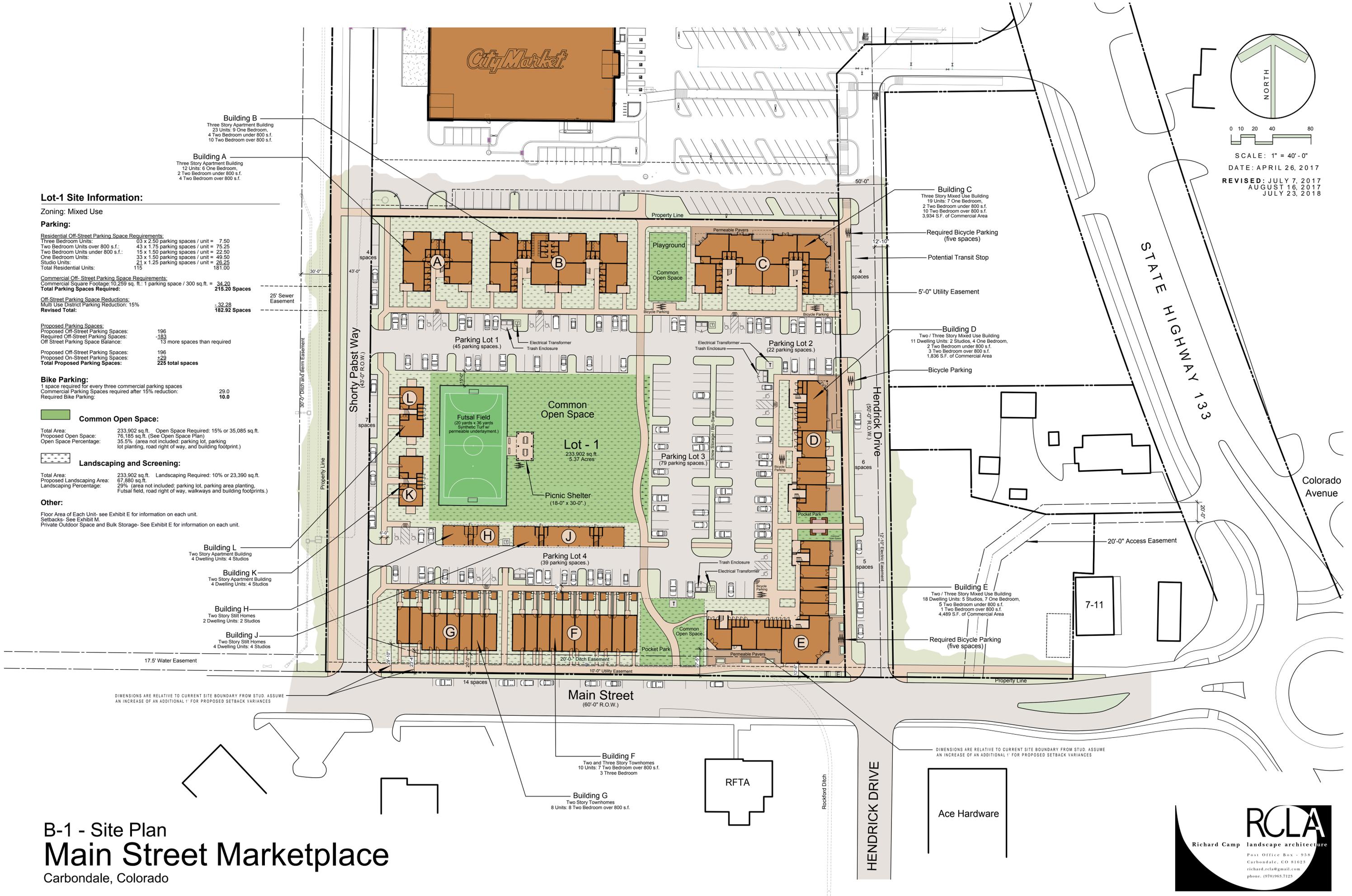
**Building K**  
 Two Story Apartment Building  
 4 Dwelling Units: 4 Studios

**Building H**  
 Two Story Stilt Homes  
 2 Dwelling Units: 2 Studios

**Building J**  
 Two Story Stilt Homes  
 4 Dwelling Units: 4 Studios

**Building F**  
 Two and Three Story Townhomes  
 10 Units: 7 Two Bedroom over 800 s.f.,  
 3 Three Bedroom

**Building G**  
 Two Story Townhomes  
 8 Units: 8 Two Bedroom over 800 s.f.

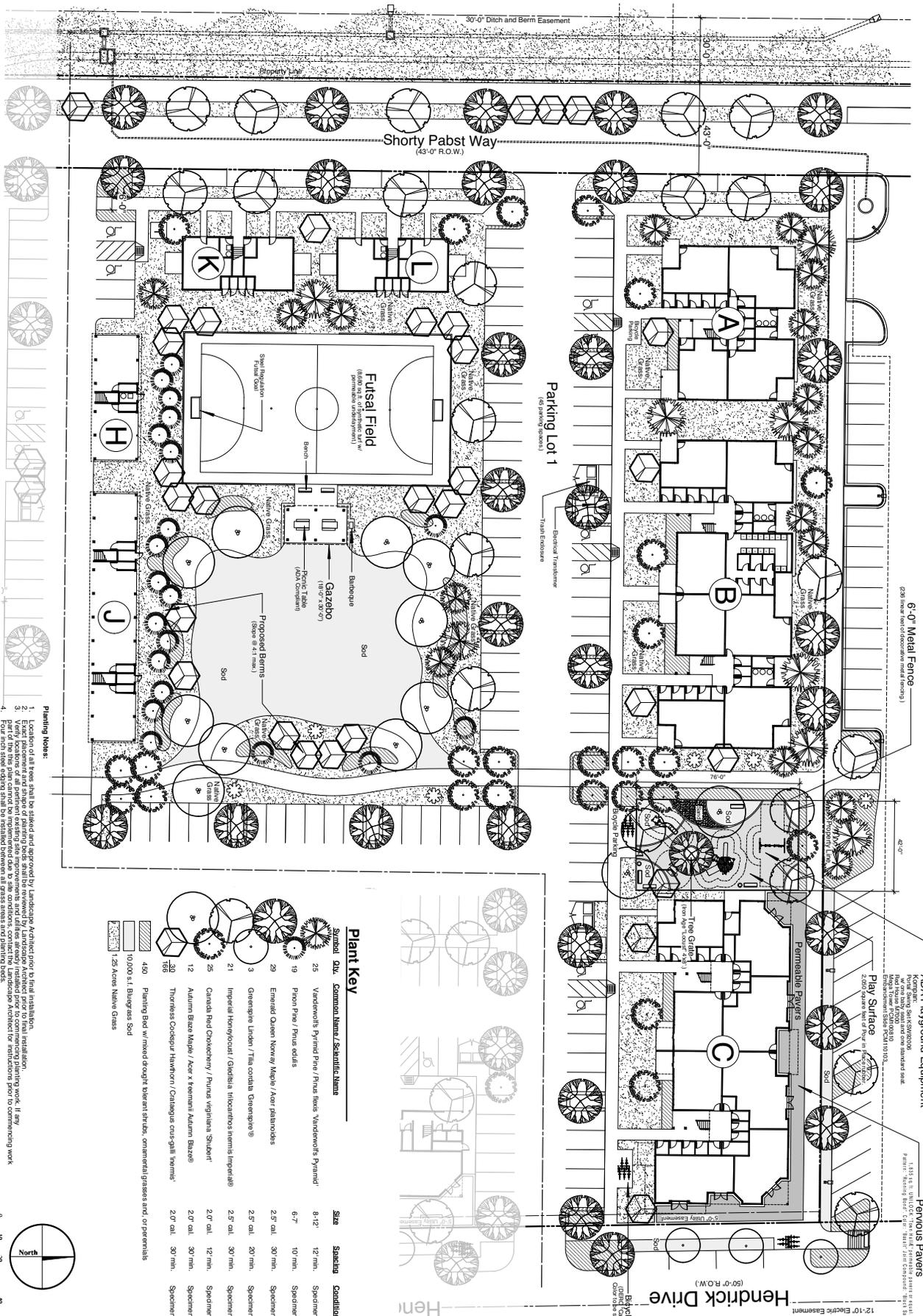


DIMENSIONS ARE RELATIVE TO CURRENT SITE BOUNDARY FROM STUD. ASSUME AN INCREASE OF AN ADDITIONAL 1' FOR PROPOSED SETBACK VARIANCES

DIMENSIONS ARE RELATIVE TO CURRENT SITE BOUNDARY FROM STUD. ASSUME AN INCREASE OF AN ADDITIONAL 1' FOR PROPOSED SETBACK VARIANCES

**B-1 - Site Plan**  
**Main Street Marketplace**  
 Carbondale, Colorado





**Planting Notes:**

1. Location of all trees shall be staked and approved by Landscaping Architect prior to final installation.
2. All trees shall be installed in accordance with the American Society of Arboriculture (ASA) standards.
3. Verify locations of all pertinent existing site improvements and utilities (sewer, water, gas, etc.) prior to commencing planting work. If any utility is located within the proposed planting area, the Landscaping Architect for the project shall be notified.
4. All planting beds shall receive 2" small pine bark mulch.
5. All trees shall be installed in accordance with the American Society of Arboriculture (ASA) standards.
6. All trees shall be installed in accordance with the American Society of Arboriculture (ASA) standards.
7. All trees shall be installed in accordance with the American Society of Arboriculture (ASA) standards.
8. All trees shall be installed in accordance with the American Society of Arboriculture (ASA) standards.

**Plant Key**

Symbol	Qty.	Common Name / Scientific Name	Size	Spacing	Condition
(Symbol)	25	Vanderhoft's Pyramidal Pine / Pinus flexilis Vanderhoft's Pyramidal	8-12"	12" min.	Specimen
(Symbol)	19	Prairie Pine / Pinus edulis	6-7"	10" min.	Specimen
(Symbol)	29	Emerald Queen Norway Maple / Acer platanoides	2.5' tall	30" min.	Specimen
(Symbol)	3	Greening Star Linden / Tilia cordata Greening Star®	2.5' tall	20" min.	Specimen
(Symbol)	21	Imperial Honeylocust / Gleditsia thurbinata Imperial®	2.5' tall	30" min.	Specimen
(Symbol)	25	Canada Red Cockerberry / Rhus virginiana 'Sunder'	2.0' tall	12" min.	Specimen
(Symbol)	12	Autumn Blaze Maple / Acer x Freemanii Autumn Blaze®	2.0' tall	30" min.	Specimen
(Symbol)	188	Thornless Cockspur Hawthorn / Crataegus crus-galli 'variegata'	2.0' tall	30" min.	Specimen
(Symbol)	450	Planting Bed w/ mixed drought tolerant shrubs, ornamental grasses and/or perennials			
(Symbol)	10,000 ±	Bluegrass Sod			
(Symbol)	1,25	Acres Native Grass			



Scale: 1" = 20'-0"

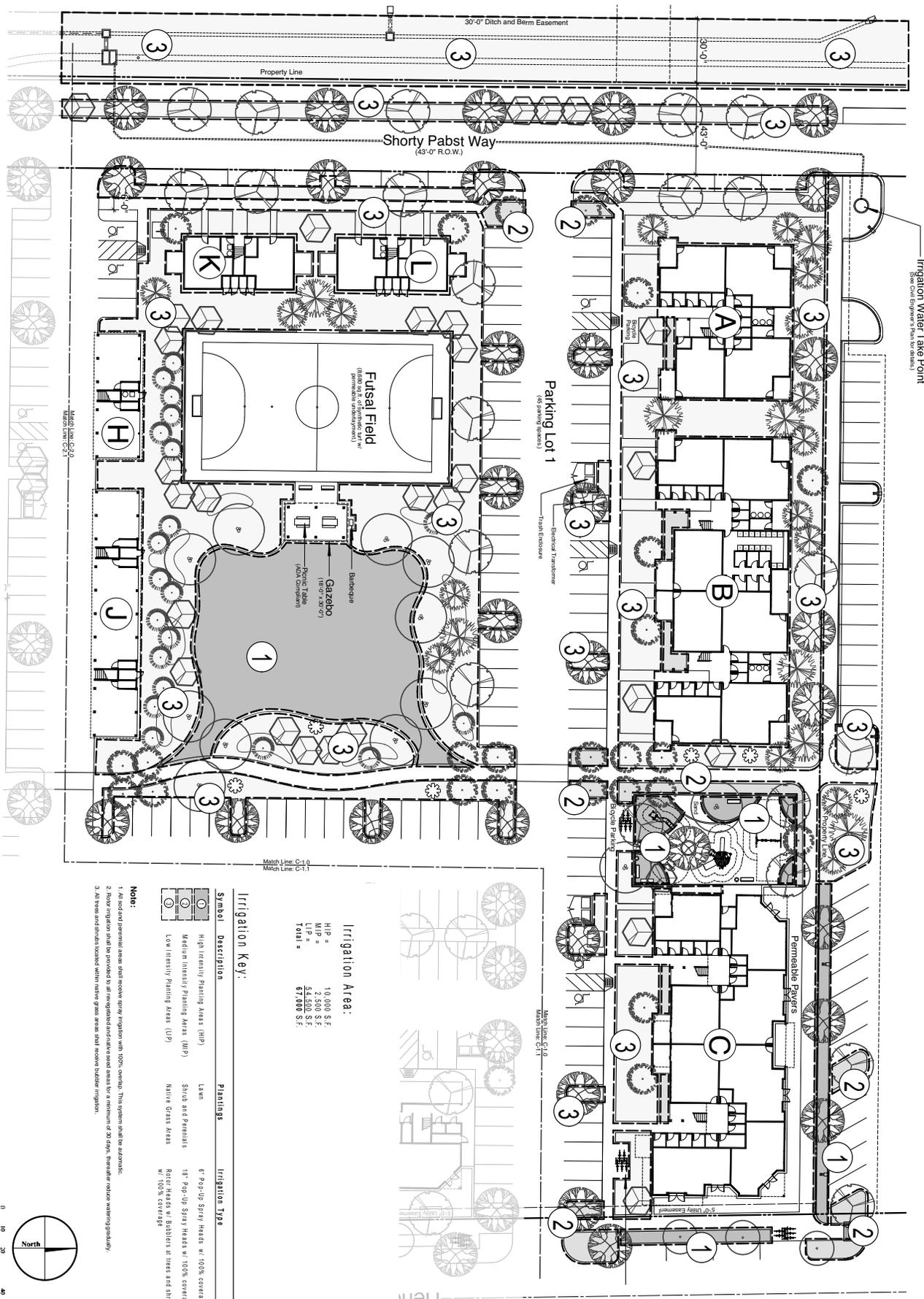
**Planting Plan**  
**Main Street Marketplace**  
 Lot 1, Carbondale, Colorado

Date: July 20, 2018  
 Revised:

Sheet  
**C-1.0**

**RCLA**  
 Richard Camp landscape architecture  
 Pace Office Box 638  
 Carbondale, CO 81623  
 richard@rcla.com  
 phone: (970) 960-7121



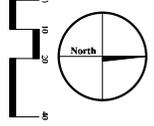


**Irrigation Area:**  
 MIP = 10,000 SF  
 MIP = 2,500 SF  
 LIP = 54,500 SF  
**Total = 67,000 SF**

**Irrigation Key:**

Symbol	Description	Plantings	Irrigation Type
	High Intensity Planting Areas (HIP)	Lawn	6" Pop-Up Spray Heads w/ 100% coverage
	Medium Intensity Planting Areas (MIP)	Shrub and Perennials	18" Pop-Up Spray Heads w/ 100% coverage
	Low Intensity Planting Areas (LIP)	Native Grass Areas	Rotary Heads w/ Bubblers at Inlets and Shrods w/ 100% coverage

**Note:**  
 1. All rot and pressure main shall receive spray irrigation with 100% coverage. This system shall be automatic.  
 2. Base irrigation shall be provided to all irrigated landscape areas except for a minimum of 30 days, therefore reduce watering quantity.  
 3. All trees and shrubs located within native grass areas shall receive bubble irrigation.



**Irrigation Plan**  
**Main Street Marketplace**  
 Lot 1, Carbondale, Colorado

Drawn: **July 29, 2018**  
 Revised:

Sheet  
**C - 2.0**

**RCLA**  
 Richard Camp landscape architecture  
 Post Office Box - 938  
 Carbondale, CO 81623  
 richard.rcla@gmail.com  
 phone: (970)960-7321

**Irrigation Area:**

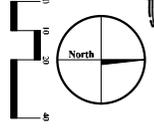
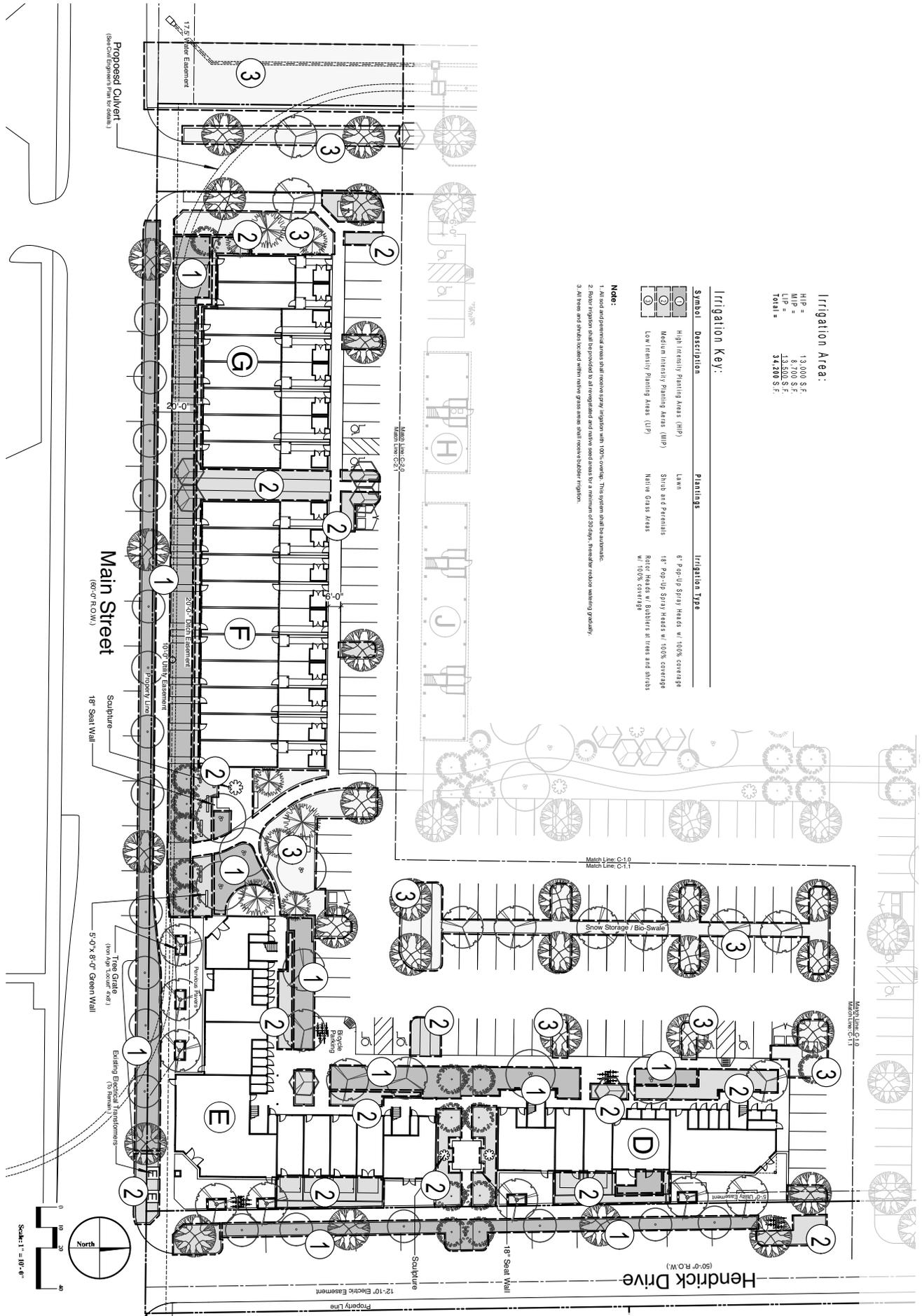
HIP =	13,000 S.F.
MIP =	8,700 S.F.
LIP =	4,200 S.F.
<b>Total =</b>	<b>25,900 S.F.</b>

**Irrigation Key:**

Symbol	Description	Plantings	Irrigation Type
⊙	High Intensity Planting Areas (HIP)	Lawn	6" Pop-Up Spray Heads w/ 100% coverage
⊙	Medium Intensity Planting Areas (MIP)	Shrub and Perennials	18" Pop-Up Spray Heads w/ 100% coverage
⊙	Low Intensity Planting Areas (LIP)	Native Grass Areas	Rotor Heads w/ Bubblers in Trees and Shrubs w/ 100% coverage

**Note:**

- All sod and perennial areas shall receive spray irrigation with 100% coverage. This system shall be automatic.
- Rotor irrigation shall be provided to all irrigated and native seed areas for a minimum of 30 days. Headwater reduction watering gradually.
- All trees and shrubs located within native grass areas shall receive bubbler irrigation.



**Irrigation Plan**  
**Main Street Marketplace**  
 Carbondale, Colorado

Sheet: **C-2.1**  
 Date: July 20, 2018  
 Revised:





NOT FOR CONSTRUCTION

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Consultant

Issue: 07.27.2018 APPROVAL SET

- UNIT TYPE LEGEND**
- STUDIO FLAT
  - 1 BEDROOM FLAT
  - 2 BEDROOM FLAT
  - 2 BEDROOM TOWNHOME (2 LEVEL)
  - 3 BEDROOM TOWNHOME (3 LEVEL)
  - COMMERCIAL
  - PRIVATE OUTDOOR DECK SPACE
- TYPE A = ACCESSIBILITY PER ANSI A117.1  
TYPE B = ACCESSIBILITY PER ANSI A117.1  
CHG = COMMUNITY HOUSING GUIDELINES

**RESIDENTIAL UNIT COUNT**

	STUDIO FLAT	1 BEDROOM FLAT	2 BEDROOM TOWNHOME (2-LEVEL)	3 BEDROOM TOWNHOME (3-LEVEL)
LEVEL 1	4	1	3	0
LEVEL 2	0	1	3	0
LEVEL 3	0	1	3	0
<b>BUILDING TOTAL</b>	<b>4</b>	<b>3</b>	<b>9</b>	<b>0</b>

**BUILDING AREAS**

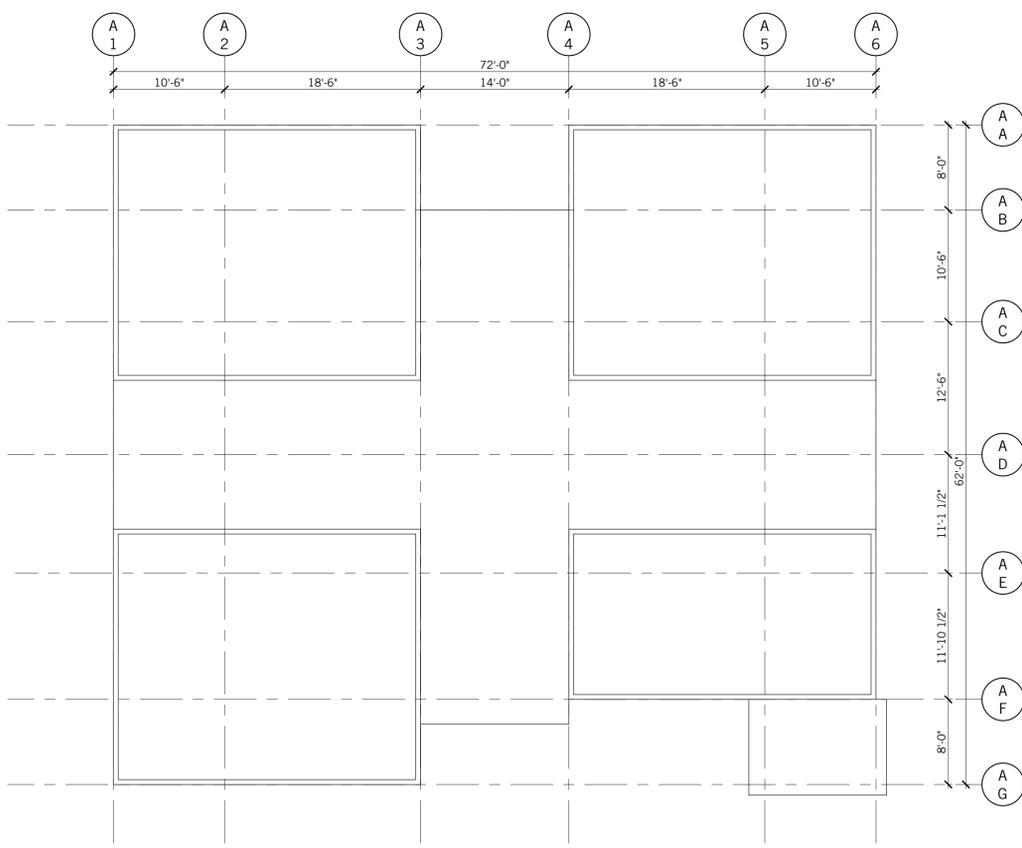
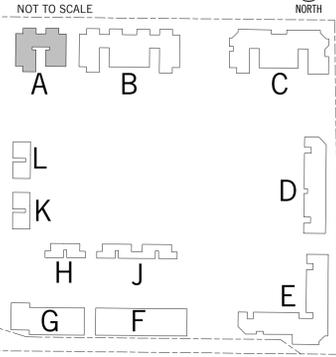
LEVEL	UNIT TYPES	GROSS SF
LEVEL 1	1 BEDROOM (4 UNITS)	2,674 SF
	MECH. / MAINT. / STORAGE	658 SF
LEVEL 2	1 BEDROOM (1 UNIT)	635 SF
	2 BEDROOM < 800 SF (1 UNIT)	783 SF
	2 BEDROOM > 800 SF (2 UNITS)	1,830 SF
LEVEL 3	1 BEDROOM (1 UNIT)	635 SF
	2 BEDROOM < 800 SF (1 UNIT)	783 SF
	2 BEDROOM > 800 SF (2 UNITS)	1,830 SF
<b>TOTAL SF</b>		<b>9,828 SF</b>

**NOTE:**  
SF INCLUDES INTERIOR SPACES ONLY. DOES NOT INCLUDE EXTERIOR STAIRS AND BALCONIES.

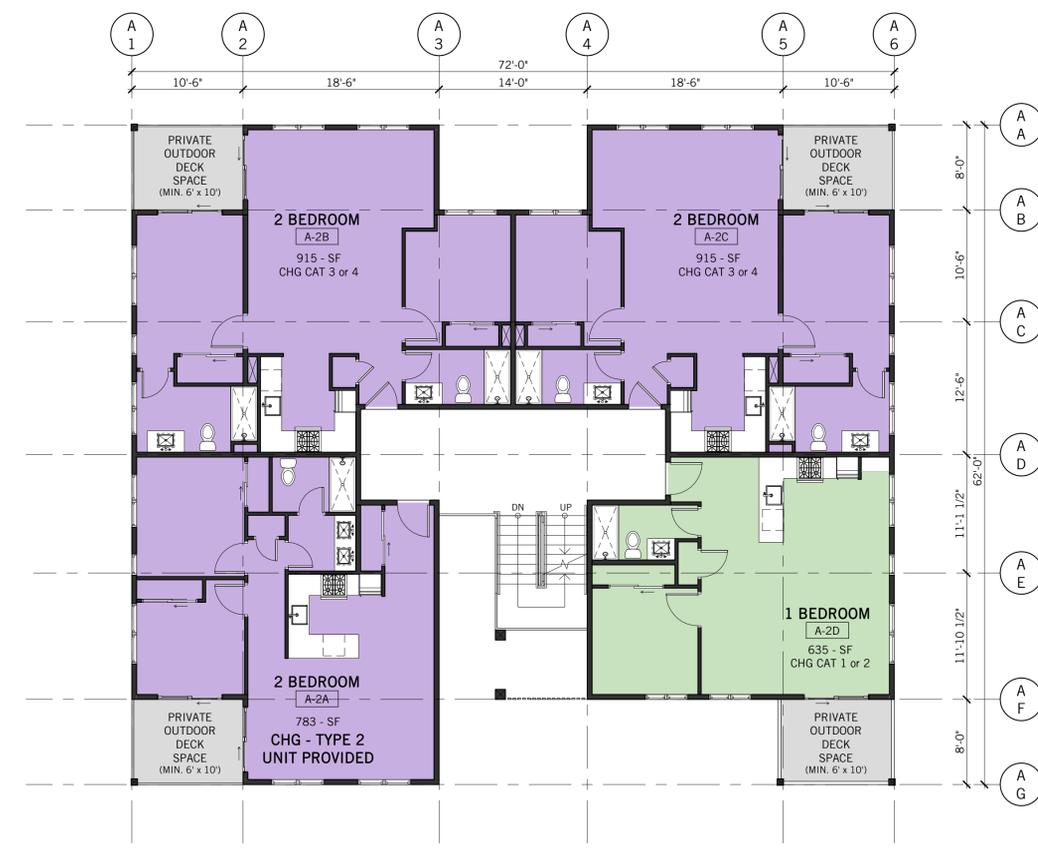
**BULK STORAGE AREAS**

- BLDG A REQUIRED BULK STORAGE SUMMARY**  
12 RESIDENTIAL UNITS AS FOLLOWS:
- (6) 1-BEDROOM UNITS FROM 586 - 741 SF THUS, (6) STORAGE ROOMS AT MIN. 195 - 247 CU FT REQUIRED
  - (2) 2-BEDROOM UNITS AT 783 SF THUS, (2) STORAGE ROOMS AT MIN. 261 CU FT REQUIRED
  - (4) 2-BEDROOM UNITS AT 915 SF THUS, (2) STORAGE ROOMS AT MIN. 305 CU FT REQUIRED
- 12 STORAGE ROOMS PROVIDED AS FOLLOWS
- (2) AT 4'-10" X 6'-5 1/2" X 8'-0" H = 249 CU FT
  - (4) AT 5'-6" X 5'-11" X 8'-0" H = 262 CU FT
  - (2) AT 4'-10" X 7'-5" X 8'-0" H = 287 CU FT
  - (1) AT 5'-11" X 6'-5 1/2" X 8'-0" H = 305 CU FT
  - (3) AT 4'-4" X 8'-9 1/2" X 8'-0" H = 305 CU FT

**KEYPLAN**



**4 ROOF PLAN**  
SCALE 1/8" = 1'-0"



**2 FLOOR PLAN - LEVEL 2**  
SCALE 1/8" = 1'-0"



**3 FLOOR PLAN - LEVEL 3**  
SCALE 1/8" = 1'-0"



**1 FLOOR PLAN - LEVEL 1**  
SCALE 1/8" = 1'-0"

**MAIN ST. MARKETPLACE  
LOT ONE HOUSING PROJECT  
- BUILDING A**  
CARBONDALE, COLORADO

PROJECT NO:  
21812.00

0 4 8 16

**SCHEMATIC DESIGN -  
FLOOR PLANS**

**A.A.101**

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Consultant

Issue: 07.27.2018 APPROVAL SET

MAIN ST. MARKETPLACE  
LOT ONE HOUSING PROJECT  
- BUILDING A  
CARBONDALE, COLORADO

PROJECT NO:  
21812.00

SHEET TITLE  
SCHEMATIC DESIGN -  
EXTERIOR ELEVATIONS

**A.A.201**

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**MATERIAL CALL OUTS LEGEND**

- WT WOOD TIMBER
- RS RAIN SCREEN
- HW HORIZONTAL WOOD SIDING
- VW VERTICAL WOOD SIDING
- B BRICK VENEER
- MR METAL ROOFING
- MS METAL SIDING
- HC HORIZONTAL FIBER CEMENT SIDING
- VC VERTICAL FIBER CEMENT SIDING
- E EIFS
- S SANDSTONE
- W METAL CLAD WINDOW
- D INSULATED METAL DOORS

**NOTE:**  
REFER TO A.M.101 AND A.M.102 FOR MATERIAL  
SAMPLES.



**4** EXTERIOR ELEVATION - WEST  
SCALE 1/8" = 1'-0"



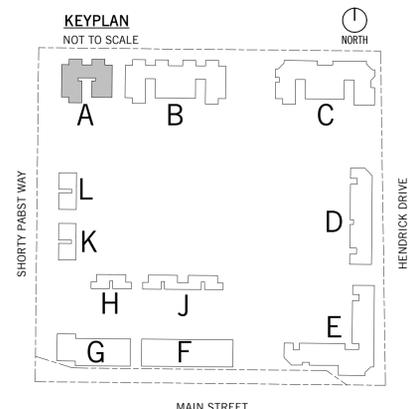
**2** EXTERIOR ELEVATION - SOUTH  
SCALE 1/8" = 1'-0"



**3** EXTERIOR ELEVATION - EAST  
SCALE 1/8" = 1'-0"



**1** EXTERIOR ELEVATION - NORTH  
SCALE 1/8" = 1'-0"



7/27/2018 9:14:27 AM

NOT FOR CONSTRUCTION



**2 FLOOR PLAN - LEVEL 2**  
SCALE 1/8" = 1'-0"



**1 FLOOR PLAN - LEVEL 1**  
SCALE 1/8" = 1'-0"

**UNIT TYPE LEGEND**

- STUDIO FLAT
- 1 BEDROOM FLAT
- 2 BEDROOM FLAT
- 2 BEDROOM TOWNHOME (2 LEVEL)
- 3 BEDROOM TOWNHOME (3 LEVEL)
- COMMERCIAL
- PRIVATE OUTDOOR DECK SPACE

TYPE A = ACCESSIBILITY PER ANSI A117.1  
TYPE B = ACCESSIBILITY PER ANSI A117.1  
CHG = COMMUNITY HOUSING GUIDELINES

**RESIDENTIAL UNIT COUNT**

	STUDIO FLAT	1 BEDROOM FLAT	2 BEDROOM FLAT	2 BEDROOM TOWNHOME (2-LEVEL)	3 BEDROOM TOWNHOME (3-LEVEL)
LEVEL 1	5	2	2		
LEVEL 2	2	6	2		
LEVEL 3	2	6	2		
<b>BUILDING TOTAL</b>	<b>9</b>	<b>14</b>	<b>6</b>		

**BUILDING AREAS**

LEVEL	UNIT TYPE	GROSS SF
LEVEL 1	1 BEDROOM (5 UNITS)	3,342 SF
	2 BEDROOM (2 UNITS)	1,622 SF
	MECH. / MAINT. / STORAGE	1,765 SF
	<b>LEVEL TOTAL</b>	<b>6,729 SF</b>
LEVEL 2	1 BEDROOM (2 UNITS)	1,260 SF
	2 BEDROOM < 800 SF (2 UNITS)	1,566 SF
	2 BEDROOM > 800 SF (4 UNITS)	3,650 SF
	<b>LEVEL TOTAL</b>	<b>6,476 SF</b>
LEVEL 3	1 BEDROOM (2 UNITS)	1,260 SF
	2 BEDROOM < 800 SF (2 UNITS)	1,566 SF
	2 BEDROOM > 800 SF (4 UNITS)	3,650 SF
	<b>LEVEL TOTAL</b>	<b>6,476 SF</b>
<b>TOTAL SF</b>		<b>19,681 SF</b>

**NOTE:**  
SF INCLUDES INTERIOR SPACES ONLY. DOES NOT INCLUDE EXTERIOR STAIRS AND BALCONIES.

**BULK STORAGE AREAS**

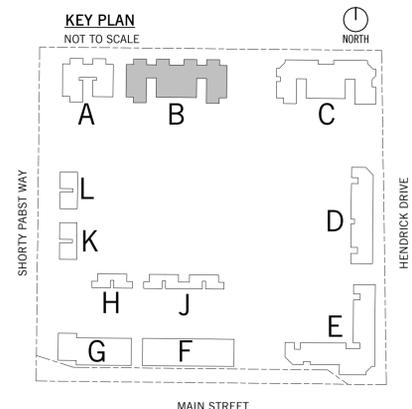
**BLDG B REQUIRED BULK STORAGE SUMMARY**

23 RESIDENTIAL UNITS AS FOLLOWS:

- (8) 1-BEDROOM UNITS FROM 606 - 662 SF THUS, (8) STORAGE ROOMS AT MIN. 202 - 220 CU FT REQUIRED
- (1) 1-BEDROOM UNIT AT 806 SF THUS, (1) STORAGE ROOM AT MIN. 268 CU FT REQUIRED
- (6) 2-BEDROOM UNITS FROM 783 - 815 SF THUS, (6) STORAGE ROOMS AT MIN. 261 - 272 CU FT REQUIRED
- (8) 2-BEDROOM UNITS FROM 910 - 915 SF THUS, (8) STORAGE ROOMS AT MIN. 303 - 305 CU FT REQUIRED

23 STORAGE ROOMS PROVIDED AS FOLLOWS:

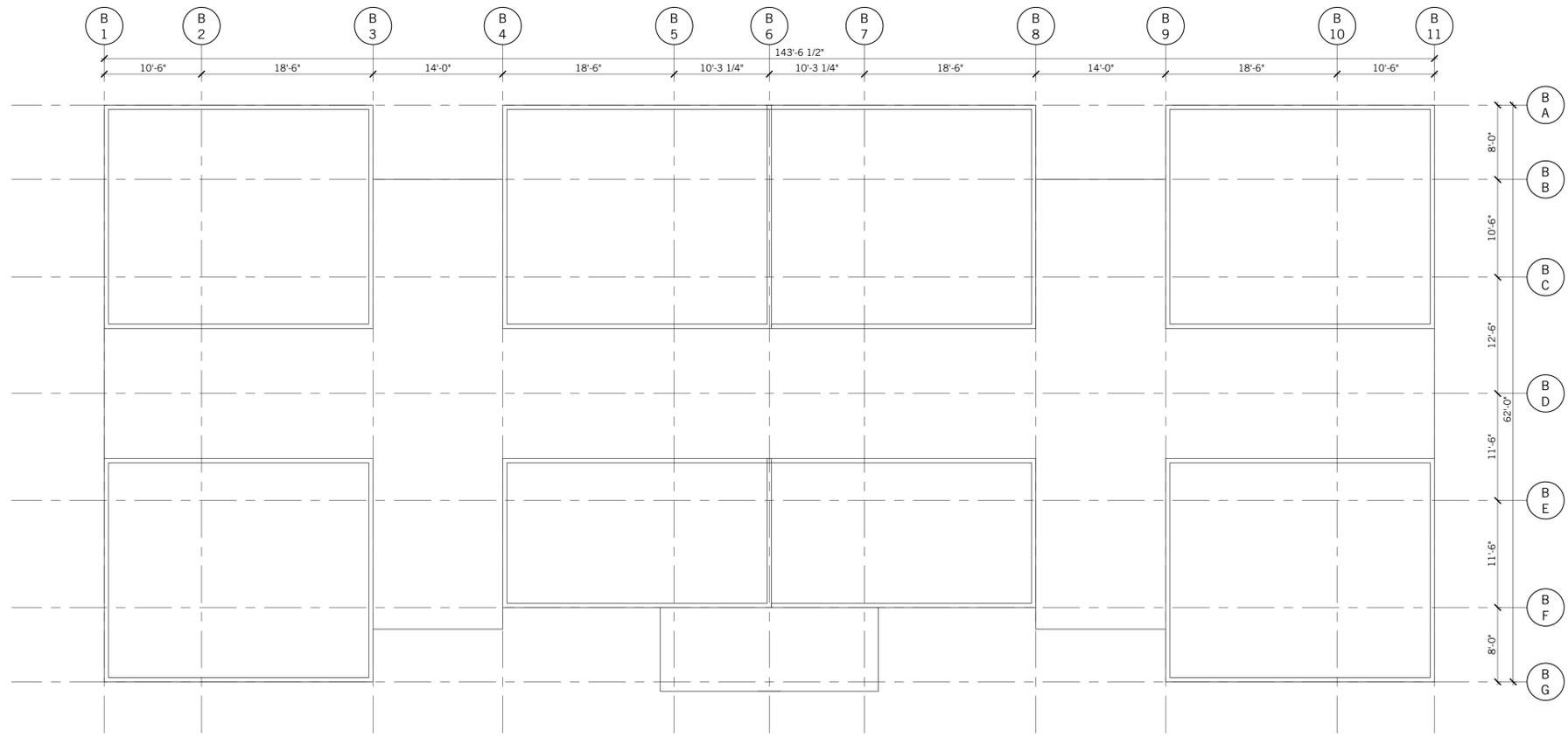
- (8) AT 5'-6" X 5'-11" X 8'-0" H = 260 CU FT
- (3) AT 5'-0" X 7'-0" X 8'-0" H = 280 CU FT
- (2) AT 5'-11" X 6'-5" X 8'-0" H = 303 CU FT
- (4) AT 5'-5" X 7'-0" X 8'-0" H = 303 CU FT
- (6) AT 4'-4" X 8'-9 1/2" X 8'-0" H = 305 CU FT



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**4 ROOF PLAN**  
SCALE 1/8" = 1'-0"

**UNIT TYPE LEGEND**

- STUDIO FLAT
- 1 BEDROOM FLAT
- 2 BEDROOM FLAT
- 2 BEDROOM TOWNHOME (2 LEVEL)
- 3 BEDROOM TOWNHOME (3 LEVEL)
- COMMERCIAL
- PRIVATE OUTDOOR DECK SPACE

TYPE A = ACCESSIBILITY PER ANSI A117.1  
TYPE B = ACCESSIBILITY PER ANSI A117.1  
CHG = COMMUNITY HOUSING GUIDELINES

**RESIDENTIAL UNIT COUNT**

	STUDIO FLAT	1 BEDROOM FLAT	2 BEDROOM FLAT	2 BEDROOM TOWNHOME (2-LEVEL)	3 BEDROOM TOWNHOME (3-LEVEL)
LEVEL 1	5	2	2		
LEVEL 2	2	6	2		
LEVEL 3	2	6	2		
<b>BUILDING TOTAL</b>	<b>9</b>	<b>14</b>	<b>6</b>		

**BUILDING AREAS**

LEVEL	UNIT TYPE	QUANTITY	GROSS SF
LEVEL 1	1 BEDROOM (5 UNITS)	5	3,342 SF
	2 BEDROOM (2 UNITS)	2	1,622 SF
	MECH. / MAINT. / STORAGE		1,765 SF
LEVEL 2	1 BEDROOM (2 UNITS)	2	1,260 SF
	2 BEDROOM < 800 SF (2 UNITS)	2	1,566 SF
	2 BEDROOM > 800 SF (4 UNITS)	4	3,650 SF
LEVEL 3	1 BEDROOM (2 UNITS)	2	1,260 SF
	2 BEDROOM < 800 SF (2 UNITS)	2	1,566 SF
	2 BEDROOM > 800 SF (4 UNITS)	4	3,650 SF
<b>TOTAL SF</b>			<b>19,681 SF</b>

**NOTE:**  
SF INCLUDES INTERIOR SPACES ONLY. DOES NOT INCLUDE EXTERIOR STAIRS AND BALCONIES.

**BULK STORAGE AREAS**

**BLDG B REQUIRED BULK STORAGE SUMMARY**  
23 RESIDENTIAL UNITS AS FOLLOWS:

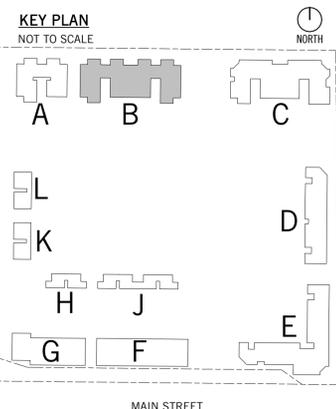
- (8) 1-BEDROOM UNITS FROM 606 - 662 SF THUS, (8) STORAGE ROOMS AT MIN. 202 - 220 CU FT REQUIRED
- (1) 1-BEDROOM UNIT AT 806 SF THUS, (1) STORAGE ROOM AT MIN. 268 CU FT REQUIRED
- (6) 2-BEDROOM UNITS FROM 783 - 815 SF THUS, (6) STORAGE ROOMS AT MIN. 261 - 272 CU FT REQUIRED
- (8) 2-BEDROOM UNITS FROM 910 - 915 SF THUS, (8) STORAGE ROOMS AT MIN. 303 - 305 CU FT REQUIRED

23 STORAGE ROOMS PROVIDED AS FOLLOWS:

- (8) AT 5'-6" X 5'-11" X 8'-0" H = 260 CU FT
- (3) AT 5'-0" X 7'-0" X 8'-0" H = 280 CU FT
- (2) AT 5'-11" X 6'-5" X 8'-0" H = 303 CU FT
- (4) AT 5'-5" X 7'-0" X 8'-0" H = 303 CU FT
- (6) AT 4'-4" X 8'-9 1/2" X 8'-0" H = 305 CU FT



**3 FLOOR PLAN - LEVEL 3**  
SCALE 1/8" = 1'-0"



**MAIN ST. MARKETPLACE**  
**LOT ONE HOUSING PROJECT**  
**- BUILDING B**  
CARBONDALE, COLORADO

PROJECT NO:  
21812.00

SHEET TITLE  
**SCHEMATIC DESIGN - FLOOR PLANS**

**A.B.102**

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Consultant

Issue: 07.27.2018 APPROVAL SET

MAIN ST. MARKETPLACE  
LOT ONE HOUSING PROJECT  
- BUILDING B  
CARBONDALE, COLORADO

PROJECT NO:  
21812.00

SHEET TITLE  
SCHEMATIC DESIGN -  
EXTERIOR ELEVATIONS

**A.B.201**

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**MATERIAL CALL OUTS LEGEND**

- WT WOOD TIMBER
- RS RAIN SCREEN
- HW HORIZONTAL WOOD SIDING
- VW VERTICAL WOOD SIDING
- B BRICK VENEER
- MR METAL ROOFING
- MS METAL SIDING
- HC HORIZONTAL FIBER CEMENT SIDING
- VC VERTICAL FIBER CEMENT SIDING
- E EIFS
- S SANDSTONE
- W METAL CLAD WINDOW
- D INSULATED METAL DOORS

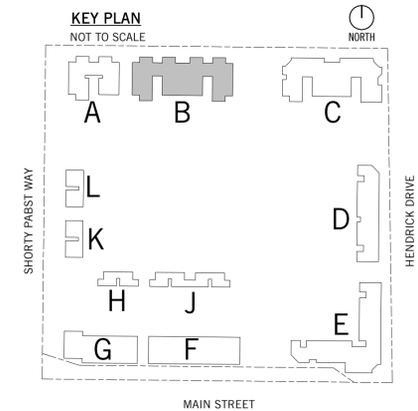
NOTE:  
REFER TO A.M.101 AND A.M.102 FOR MATERIAL  
SAMPLES.



**2** EXTERIOR ELEVATION - SOUTH  
SCALE 1/8" = 1'-0"



**1** EXTERIOR ELEVATION - NORTH  
SCALE 1/8" = 1'-0"



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**MATERIAL CALL OUTS LEGEND**

- WT WOOD TIMBER
- RS RAIN SCREEN
- HW HORIZONTAL WOOD SIDING
- VW VERTICAL WOOD SIDING
- B BRICK VENEER
- MR METAL ROOFING
- MS METAL SIDING
- HC HORIZONTAL FIBER CEMENT SIDING
- VC VERTICAL FIBER CEMENT SIDING
- E EIFS
- S SANDSTONE
- W METAL CLAD WINDOW
- D INSULATED METAL DOORS

**NOTE:**  
REFER TO A.M.101 AND A.M.102 FOR MATERIAL SAMPLES.

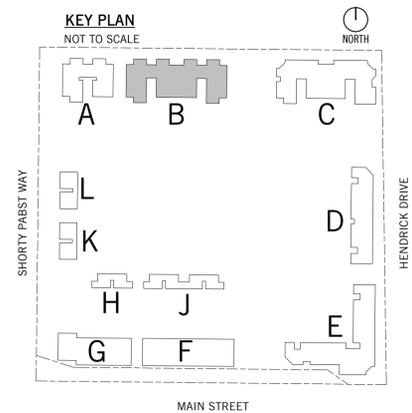
Issue: 07.27.2018 APPROVAL SET



**2 EXTERIOR ELEVATION - WEST**  
SCALE 1/8" = 1'-0"



**1 EXTERIOR ELEVATION - EAST**  
SCALE 1/8" = 1'-0"



**MAIN ST. MARKETPLACE  
LOT ONE HOUSING PROJECT  
- BUILDING B**  
CARBONDALE, COLORADO

PROJECT NO:  
21812.00



SHEET TITLE  
**SCHEMATIC DESIGN -  
EXTERIOR ELEVATIONS**

**A.B.202**

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Consultant

Issue: 07.27.2018 APPROVAL SET  
2018-MM-DD SCHEMATIC DESIGN PACKAGE

**UNIT TYPE LEGEND**

- STUDIO FLAT
- 1 BEDROOM FLAT
- 2 BEDROOM FLAT
- 2 BEDROOM TOWNHOME (2 LEVEL)
- 3 BEDROOM TOWNHOME (3 LEVEL)
- COMMERCIAL
- PRIVATE OUTDOOR SPACE

TYPE A = ACCESSIBILITY PER ANSI A117.1  
TYPE B = ACCESSIBILITY PER ANSI A117.1  
CHG = COMMUNITY HOUSING GUIDELINES

**RESIDENTIAL UNIT COUNT**

	STUDIO FLAT	1 BEDROOM FLAT	2 BEDROOM FLAT	2 BEDROOM TOWNHOME (2-LEVEL)	3 BEDROOM TOWNHOME (3-LEVEL)
LEVEL 1	3	2	6	0	0
LEVEL 2	0	2	6	0	0
LEVEL 3	0	2	6	0	0
<b>BUILDING TOTAL</b>	<b>7</b>	<b>12</b>	<b>12</b>	<b>0</b>	<b>0</b>

**BUILDING AREAS**

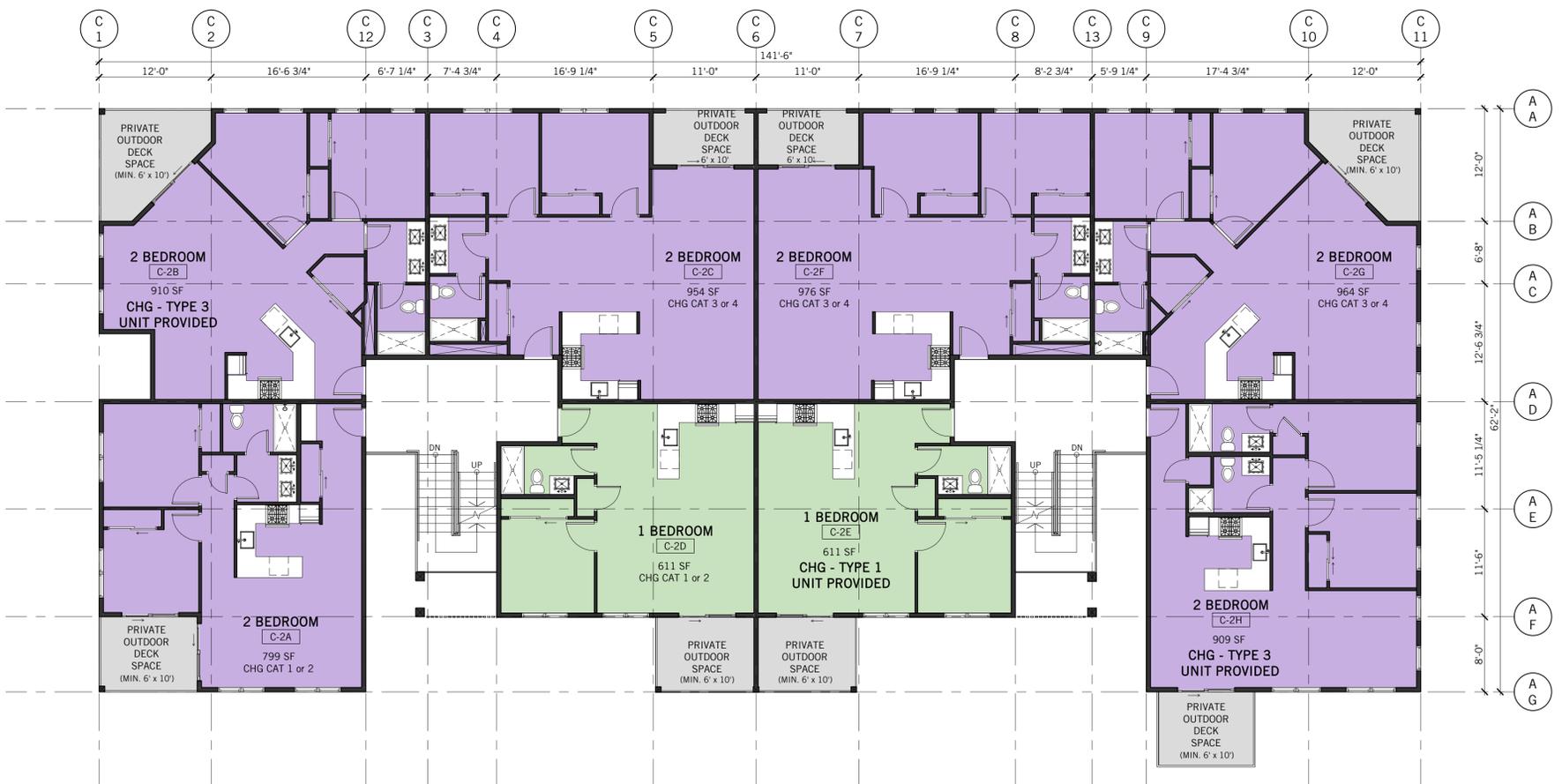
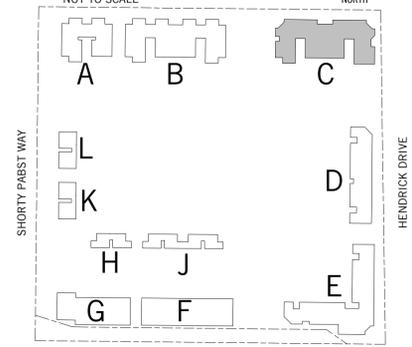
LEVEL	UNIT TYPE	GROSS SF
LEVEL 1	1 BEDROOM (3 UNITS)	1,873 SF
	COMMERCIAL (5 UNITS)	3,934 SF
	MECH. / MAINT. / STORAGE	971 SF
LEVEL 2	1 BEDROOM (2 UNITS)	1,222 SF
	2 BEDROOM < 800 SF (1 UNIT)	799 SF
	2 BEDROOM > 800 SF (5 UNITS)	4,713 SF
LEVEL 3	1 BEDROOM (2 UNITS)	1,222 SF
	2 BEDROOM < 800 SF (1 UNIT)	799 SF
	2 BEDROOM > 800 SF (5 UNITS)	4,713 SF
<b>TOTAL SF</b>		<b>20,334 SF</b>

**NOTE:**  
SF INCLUDES INTERIOR SPACES ONLY. DOES NOT INCLUDE EXTERIOR STAIRS AND BALCONIES.

**BULK STORAGE AREAS**

**BLDG C REQUIRED BULK STORAGE SUMMARY**  
19 RESIDENTIAL UNITS AS FOLLOWS:  
(7) 1-BEDROOM UNITS FROM 595 - 639 SF  
THUS, (7) STORAGE ROOMS AT MIN. 198 - 213 CU FT REQUIRED  
(12) 2-BEDROOM UNITS FROM 799 - 976 SF  
THUS, (12) STORAGE ROOMS AT MIN. 266 - 325 CU FT REQUIRED  
19 STORAGE ROOMS PROVIDED AS FOLLOWS:  
(6) AT 4'-3" X 7'-4" X 9'-0" H = 280 CU FT  
(2) AT 5'-11" X 6'-0" X 9'-0" H = 319 CU FT  
(10) AT 5'-8" X 5'-11" X 9'-0" H = 334 CU FT  
(1) AT 4'-8" X 11'-9" X 9'-0" H = 492 CU FT

**KEY PLAN**  
NOT TO SCALE



**2 FLOOR PLAN - LEVEL 2**  
SCALE 1/8" = 1'-0"



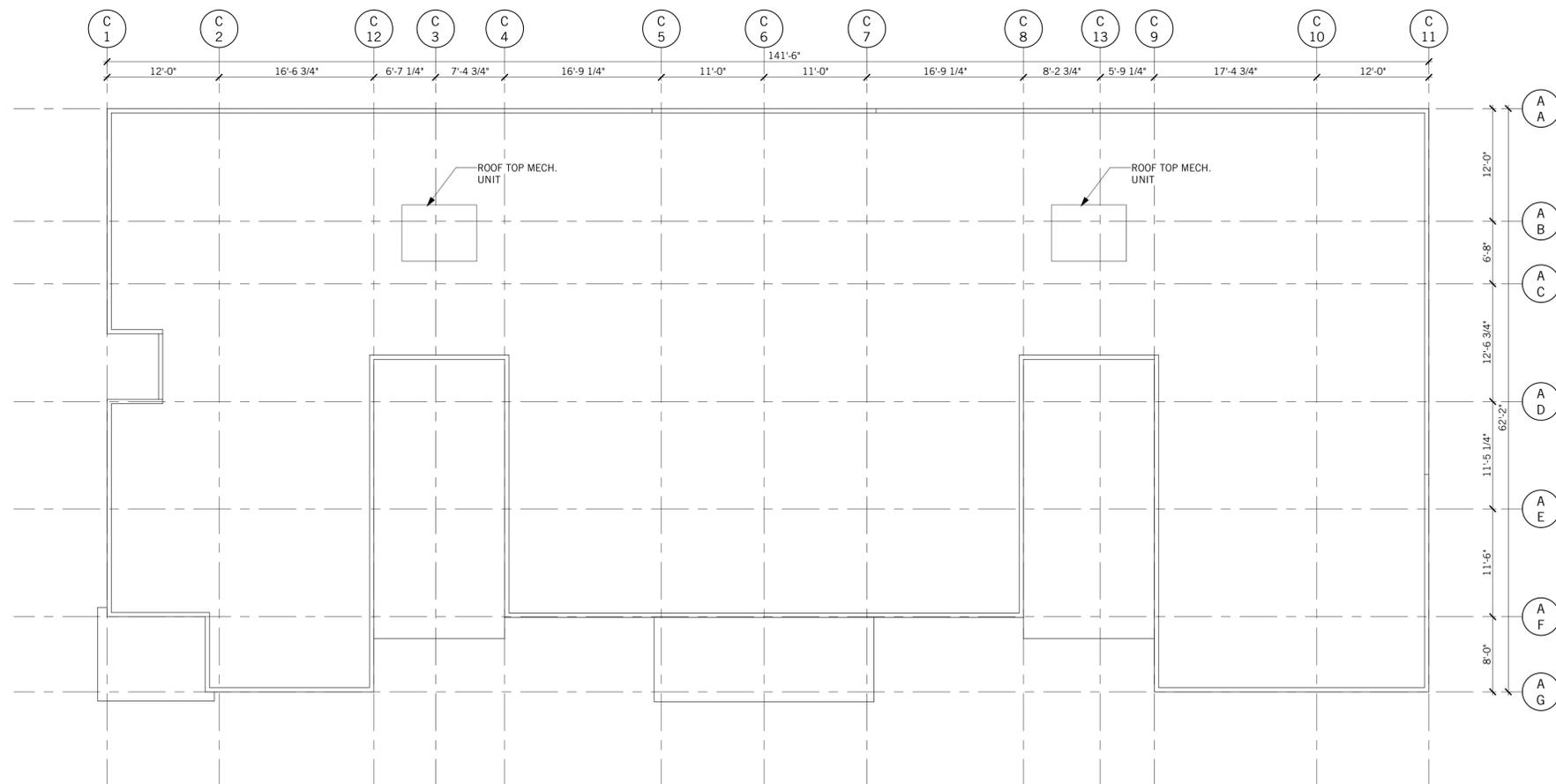
**1 FLOOR PLAN - LEVEL 1**  
SCALE 1/8" = 1'-0"

**MAIN ST. MARKETPLACE  
LOT ONE HOUSING PROJECT  
- BUILDING C**  
CARBONDALE, COLORADO

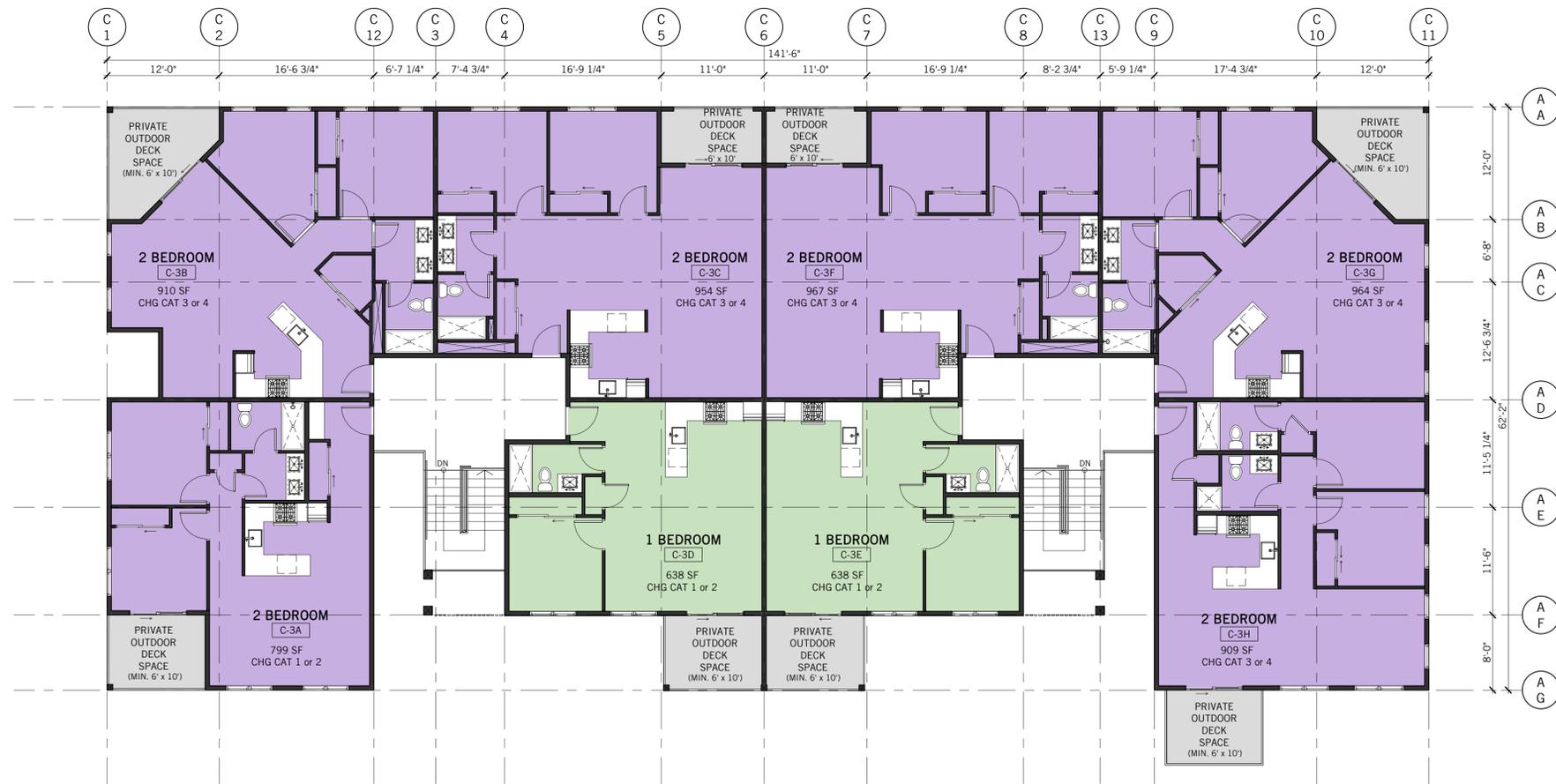
PROJECT NO:  
21812.00  
SHEET TITLE  
**SCHEMATIC DESIGN -  
FLOOR PLANS**

**A.C.101**

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**4 ROOF PLAN**  
SCALE 1/8" = 1'-0"



**3 FLOOR PLAN - LEVEL 3**  
SCALE 1/8" = 1'-0"

**UNIT TYPE LEGEND**

- STUDIO FLAT
- 1 BEDROOM FLAT
- 2 BEDROOM FLAT
- 2 BEDROOM TOWNHOME (2 LEVEL)
- 3 BEDROOM TOWNHOME (3 LEVEL)
- COMMERCIAL
- PRIVATE OUTDOOR SPACE

TYPE A = ACCESSIBILITY PER ANSI A117.1  
TYPE B = ACCESSIBILITY PER ANSI A117.1  
CHG = COMMUNITY HOUSING GUIDELINES

**RESIDENTIAL UNIT COUNT**

	STUDIO FLAT	1 BEDROOM FLAT	2 BEDROOM FLAT	2 BEDROOM TOWNHOME (2-LEVEL)	3 BEDROOM TOWNHOME (3-LEVEL)
LEVEL 1	3	2	6	6	6
LEVEL 2	2	6	6	6	6
LEVEL 3	2	6	6	6	6
<b>BUILDING TOTAL</b>	<b>7</b>	<b>12</b>	<b>12</b>	<b>12</b>	<b>12</b>

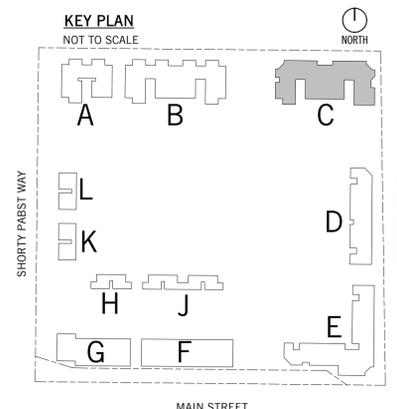
**BUILDING AREAS**

LEVEL	UNIT TYPE	GROSS SF
LEVEL 1	1 BEDROOM (3 UNITS)	1,873 SF
	COMMERCIAL (5 UNITS)	3,934 SF
	MECH. / MAINT. / STORAGE	971 SF
LEVEL 2	1 BEDROOM (2 UNITS)	1,222 SF
	2 BEDROOM < 800 SF (1 UNIT)	799 SF
	2 BEDROOM > 800 SF (5 UNITS)	4,713 SF
LEVEL 3	1 BEDROOM (2 UNITS)	1,222 SF
	2 BEDROOM < 800 SF (1 UNIT)	799 SF
	2 BEDROOM > 800 SF (5 UNITS)	4,713 SF
<b>TOTAL SF</b>		<b>20,334 SF</b>

**NOTE:**  
SF INCLUDES INTERIOR SPACES ONLY. DOES NOT INCLUDE EXTERIOR STAIRS AND BALCONIES.

**BULK STORAGE AREAS**

**BLDG C REQUIRED BULK STORAGE SUMMARY**  
19 RESIDENTIAL UNITS AS FOLLOWS:  
(7) 1-BEDROOM UNITS FROM 595 - 639 SF  
THUS, (7) STORAGE ROOMS AT MIN. 198 - 213 CU FT REQUIRED  
(12) 2-BEDROOM UNITS FROM 799 - 976 SF  
THUS, (12) STORAGE ROOMS AT MIN. 266 - 325 CU FT REQUIRED  
19 STORAGE ROOMS PROVIDED AS FOLLOWS:  
(6) AT 4'-3" X 7'-4" X 9'-0" H = 280 CU FT  
(2) AT 5'-11" X 6'-0" X 9'-0" H = 319 CU FT  
(10) AT 5'-8" X 5'-11" X 9'-0" H = 334 CU FT  
(1) AT 4'-8" X 11'-9" X 9'-0" H = 492 CU FT



**NOT FOR CONSTRUCTION**

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Consultant

Issue: 07.27.2018 APPROVAL SET  
2018-MM-DD SCHEMATIC DESIGN PACKAGE

**MAIN ST. MARKETPLACE  
LOT ONE HOUSING PROJECT  
- BUILDING C**  
CARBONDALE, COLORADO

PROJECT NO:  
21812.00  
SHEET TITLE  
**SCHEMATIC DESIGN -  
FLOOR PLANS**

**A.C.102**

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**2** EXTERIOR ELEVATION - SOUTH  
SCALE 1/8" = 1'-0"

**MATERIAL CALL OUTS LEGEND**

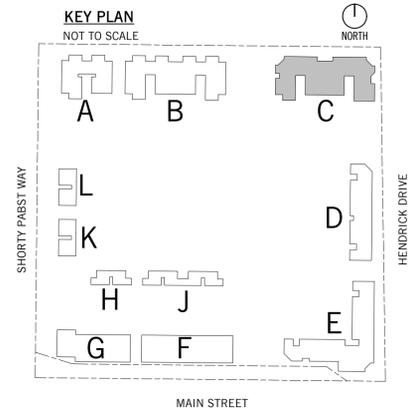
- WT WOOD TIMBER
- RS RAIN SCREEN
- HW HORIZONTAL WOOD SIDING
- VW VERTICAL WOOD SIDING
- B BRICK VENEER
- MR METAL ROOFING
- MS METAL SIDING
- HC HORIZONTAL FIBER CEMENT SIDING
- VC VERTICAL FIBER CEMENT SIDING
- E EIFS
- S SANDSTONE
- W METAL CLAD WINDOW
- D INSULATED METAL DOORS

**NOTE:**  
REFER TO A.M.101 AND A.M.102 FOR MATERIAL SAMPLES.

**MAIN ST. MARKETPLACE  
LOT ONE HOUSING PROJECT  
- BUILDING C**  
CARBONDALE, COLORADO



**1** EXTERIOR ELEVATION - NORTH  
SCALE 1/8" = 1'-0"



PROJECT NO:  
21812.00

SHEET TITLE  
**SCHEMATIC DESIGN -  
EXTERIOR ELEVATIONS**

**A.C.201**

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**MATERIAL CALL OUTS LEGEND**

- WT WOOD TIMBER
- RS RAIN SCREEN
- HW HORIZONTAL WOOD SIDING
- VW VERTICAL WOOD SIDING
- B BRICK VENEER
- MR METAL ROOFING
- MS METAL SIDING
- HC HORIZONTAL FIBER CEMENT SIDING
- VC VERTICAL FIBER CEMENT SIDING
- E EIFS
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- W METAL CLAD WINDOW
- D INSULATED METAL DOORS

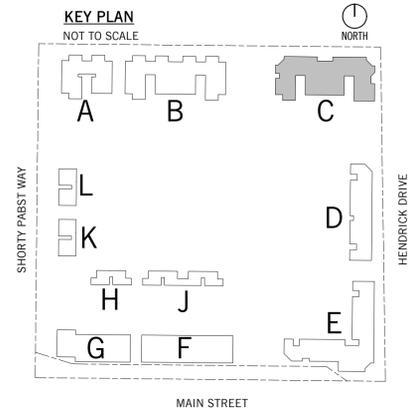
**NOTE:**  
REFER TO A.M.101 AND A.M.102 FOR MATERIAL SAMPLES.



**2 EXTERIOR ELEVATION - WEST**  
SCALE 1/8" = 1'-0"



**1 EXTERIOR ELEVATION - EAST**  
SCALE 1/8" = 1'-0"



Issue: 07.27.2018 APPROVAL SET

**MAIN ST. MARKETPLACE  
LOT ONE HOUSING PROJECT  
- BUILDING C**  
CARBONDALE, COLORADO

PROJECT NO:  
21812.00

SHEET TITLE  
**SCHEMATIC DESIGN -  
EXTERIOR ELEVATIONS**

**A.C.202**

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**2 FLOOR PLAN - LEVEL 2**  
SCALE 1/8" = 1'-0"

**UNIT TYPE LEGEND**

- STUDIO FLAT
- 1 BEDROOM FLAT
- 2 BEDROOM FLAT
- 2 BEDROOM TOWNHOME (2 LEVEL)
- 3 BEDROOM TOWNHOME (3 LEVEL)
- COMMERCIAL
- PRIVATE OUTDOOR SPACE

TYPE A = ACCESSIBILITY PER ANSI A117.1  
TYPE B = ACCESSIBILITY PER ANSI A117.1  
CHG = COMMUNITY HOUSING GUIDELINES

**RESIDENTIAL UNIT COUNT**

	STUDIO FLAT	1 BEDROOM FLAT	2 BEDROOM FLAT	2 BEDROOM TOWNHOME (2-LEVEL)	3 BEDROOM TOWNHOME (3-LEVEL)
LEVEL 1	2	1	1	1	1
LEVEL 2	2	2	2	2	2
LEVEL 3	2	1	1	1	1
<b>BUILDING TOTAL</b>	<b>2</b>	<b>4</b>	<b>3</b>	<b>2</b>	<b>2</b>

**BUILDING AREAS**

LEVEL	ROOM	GROSS SF
LEVEL 1	STUDIO (2 UNITS)	868 SF
	1 BEDROOM (1 UNIT)	699 SF
	COMMERCIAL (2 UNITS)	1,836 SF
	MECH. / MAINT. / STORAGE	550 SF
LEVEL 2	1 BEDROOM (2 UNITS)	1,488 SF
	2 BEDROOM < 800 SF (1 UNIT)	744 SF
	2 BEDROOM > 800 SF (3 UNITS)	1,736 SF
	MECH. / MAINT. / STORAGE	100 SF
LEVEL 3	1 BEDROOM (1 UNIT)	770 SF
	2 BEDROOM < 800 SF (1 UNIT)	746 SF
	2 BEDROOM > 800 SF (2 UNITS)	874 SF
<b>TOTAL SF</b>		<b>10,411 SF</b>

**NOTE:**  
SF INCLUDES INTERIOR SPACES ONLY. DOES NOT INCLUDE EXTERIOR STAIRS AND BALCONIES.

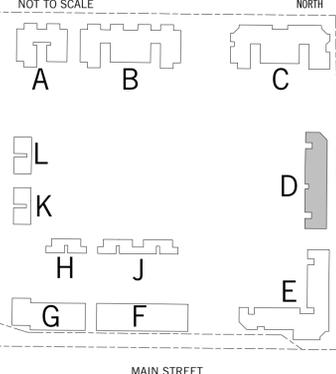
**BULK STORAGE AREAS**

**BLDG D REQUIRED BULK STORAGE SUMMARY**  
11 RESIDENTIAL UNITS AS FOLLOWS:  
(2) STUDIO UNITS AT 434 SF THUS, (2) STORAGE ROOMS AT MIN. 145 CU FT REQUIRED  
(4) 1-BEDROOM UNITS FROM 699 - 770 SF THUS, (4) STORAGE ROOMS AT MIN. 233 - 257 CU FT REQUIRED  
(6) 2-BEDROOM UNITS FROM 744 - 874 SF THUS, (6) STORAGE ROOMS AT MIN. 248 - 291 CU FT REQUIRED  
11 STORAGE ROOMS PROVIDED AS FOLLOWS:  
(3) AT 4'-3" X 6'-5" X 9'-4" H = 254 CU FT  
(2) AT 4'-2" X 8'-11" X 9'-0" H = 333 CU FT  
(6) AT 4'-5" X 8'-11" X 9'-0" H = 353 CU FT



**1 FLOOR PLAN - LEVEL 1**  
SCALE 1/8" = 1'-0"

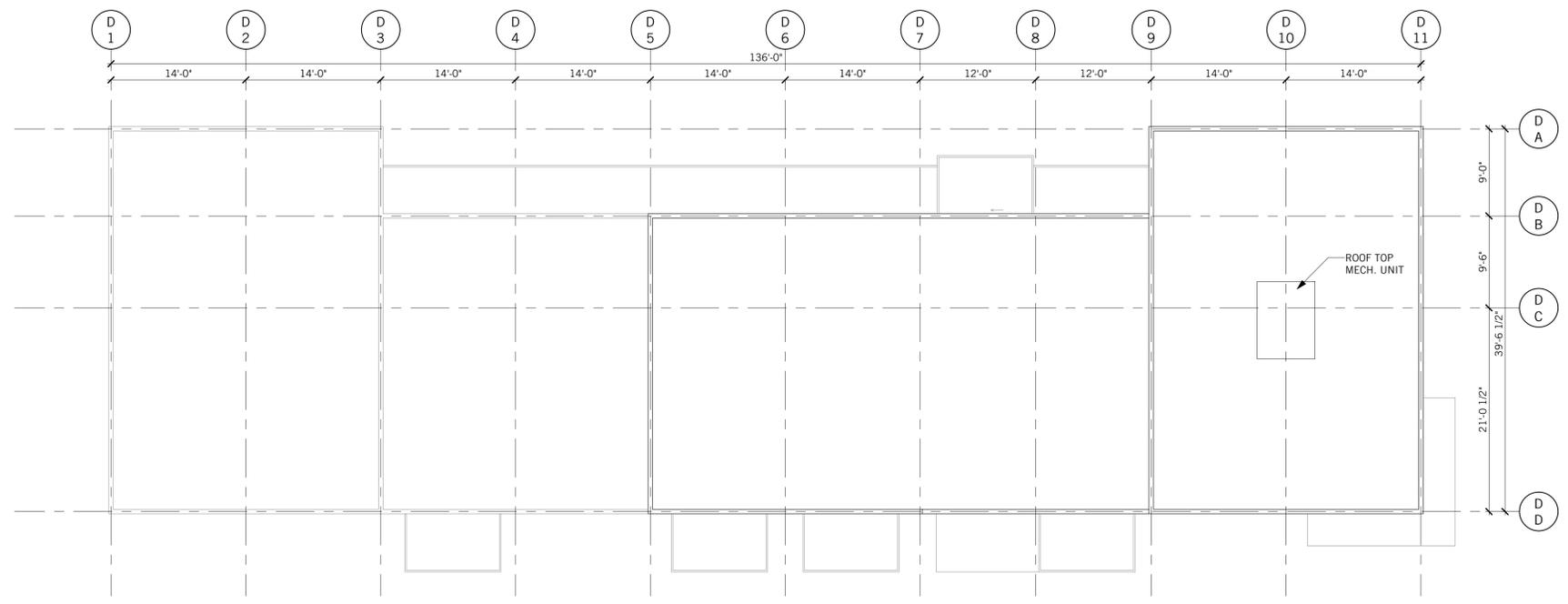
**KEY PLAN**



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**4 ROOF PLAN**  
SCALE 1/8" = 1'-0"



**3 FLOOR PLAN - LEVEL 3**  
SCALE 1/8" = 1'-0"

**UNIT TYPE LEGEND**

- STUDIO FLAT
- 1 BEDROOM FLAT
- 2 BEDROOM FLAT
- 2 BEDROOM TOWNHOME (2 LEVEL)
- 3 BEDROOM TOWNHOME (3 LEVEL)
- COMMERCIAL
- PRIVATE OUTDOOR SPACE

TYPE A = ACCESSIBILITY PER ANSI A117.1  
TYPE B = ACCESSIBILITY PER ANSI A117.1  
CHG = COMMUNITY HOUSING GUIDELINES

**RESIDENTIAL UNIT COUNT**

	STUDIO FLAT	1 BEDROOM FLAT	2 BEDROOM FLAT	2 BEDROOM TOWNHOME (2-LEVEL)	3 BEDROOM TOWNHOME (3-LEVEL)
LEVEL 1	2	1	1	1	1
LEVEL 2	2	2	2	2	2
LEVEL 3	2	1	1	1	1
<b>BUILDING TOTAL</b>	<b>2</b>	<b>4</b>	<b>3</b>	<b>2</b>	<b>2</b>

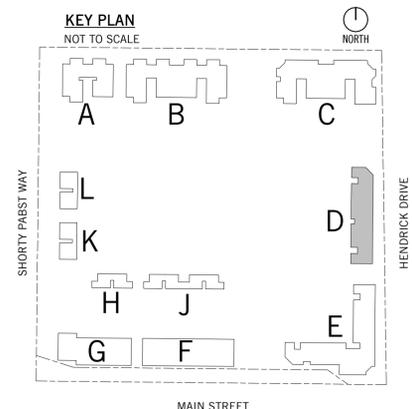
**BUILDING AREAS**

LEVEL	UNIT TYPE	GROSS SF
LEVEL 1	STUDIO (2 UNITS)	868 SF
	1 BEDROOM (1 UNIT)	699 SF
	COMMERCIAL (2 UNITS)	1,836 SF
	MECH. / MAINT. / STORAGE	550 SF
LEVEL 2	1 BEDROOM (2 UNITS)	1,488 SF
	2 BEDROOM < 800 SF (1 UNIT)	744 SF
	2 BEDROOM > 800 SF (3 UNITS)	1,736 SF
	MECH. / MAINT. / STORAGE	100 SF
LEVEL 3	1 BEDROOM (1 UNIT)	770 SF
	2 BEDROOM < 800 SF (1 UNIT)	746 SF
	2 BEDROOM > 800 SF (2 UNITS)	874 SF
<b>TOTAL SF</b>		<b>10,411 SF</b>

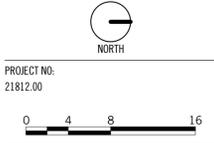
**NOTE:**  
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**BULK STORAGE AREAS**

**BLDG D REQUIRED BULK STORAGE SUMMARY**  
11 RESIDENTIAL UNITS AS FOLLOWS:  
(2) STUDIO UNITS AT 434 SF THUS, (2) STORAGE ROOMS AT MIN. 145 CU FT REQUIRED  
(4) 1-BEDROOM UNITS FROM 699 - 770 SF THUS, (4) STORAGE ROOMS AT MIN. 233 - 257 CU FT REQUIRED  
(6) 2-BEDROOM UNITS FROM 744 - 874 SF THUS, (6) STORAGE ROOMS AT MIN. 248 - 291 CU FT REQUIRED  
11 STORAGE ROOMS PROVIDED AS FOLLOWS:  
(3) AT 4'-3" X 6'-5" X 9'-4" H = 254 CU FT  
(2) AT 4'-2" X 8'-11" X 9'-0" H = 333 CU FT  
(6) AT 4'-5" X 8'-11" X 9'-0" H = 353 CU FT



**MAIN ST. MARKETPLACE LOT ONE HOUSING PROJECT - BUILDING D**  
CARBONDALE, COLORADO



PROJECT NO: 21812.00  
SHEET TITLE: SCHEMATIC DESIGN - FLOOR PLANS  
SCALE:

**A.D.102**

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Consultant

Issue: 07.27.2018 APPROVAL SET

MAIN ST. MARKETPLACE  
LOT ONE HOUSING PROJECT  
- BUILDING D  
CARBONDALE, COLORADO

PROJECT NO:  
21812.00

SHEET TITLE  
SCHEMATIC DESIGN -  
EXTERIOR ELEVATIONS

A.D.201

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AND PLANNING, P.C. SHALL RETAIN ALL COMMON LAW STATUTORY AND OTHER RESERVED  
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**MATERIAL CALL OUTS LEGEND**

- WT WOOD TIMBER
- RS RAIN SCREEN
- HW HORIZONTAL WOOD SIDING
- VW VERTICAL WOOD SIDING
- B BRICK VENEER
- MR METAL ROOFING
- MS METAL SIDING
- HC HORIZONTAL FIBER CEMENT SIDING
- VC VERTICAL FIBER CEMENT SIDING
- E EIFS
- S SANDSTONE
- W METAL CLAD WINDOW
- D INSULATED METAL DOORS

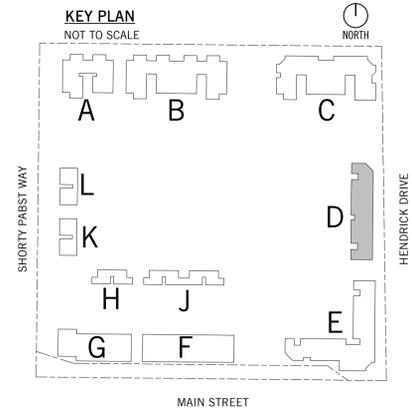
**NOTE:**  
REFER TO A.M.101 AND A.M.102 FOR MATERIAL  
SAMPLES.



**2** EXTERIOR ELEVATION - WEST  
SCALE 1/8" = 1'-0"



**1** EXTERIOR ELEVATION - EAST  
SCALE 1/8" = 1'-0"



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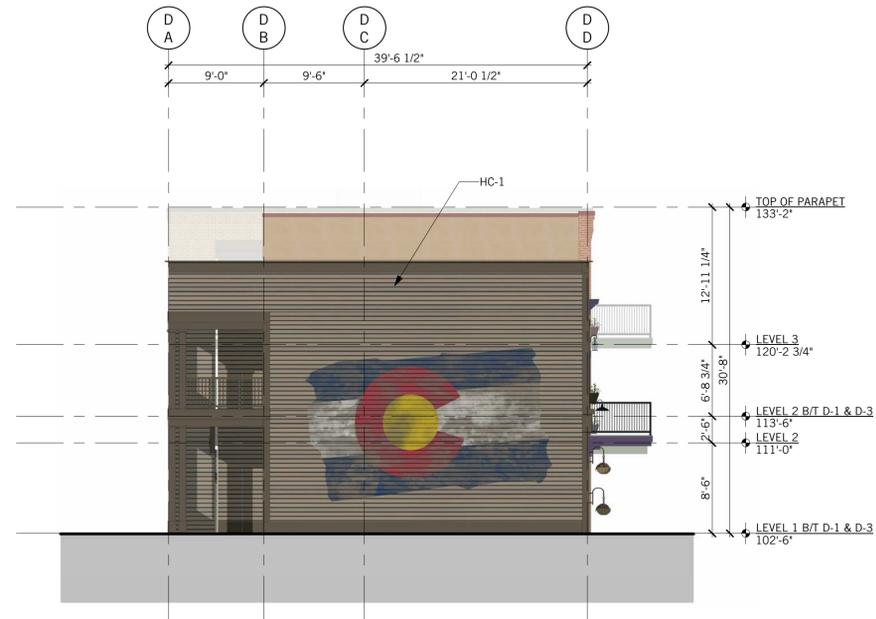
**MATERIAL CALL OUTS LEGEND**

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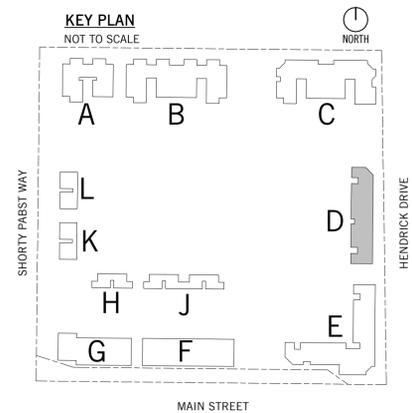
**NOTE:**  
REFER TO A.M.101 AND A.M.102 FOR MATERIAL SAMPLES.



**2** EXTERIOR ELEVATION - NORTH  
SCALE 1/8" = 1'-0"



**1** EXTERIOR ELEVATION - SOUTH  
SCALE 1/8" = 1'-0"



Issue: 07.27.2018 APPROVAL SET

MAIN ST. MARKETPLACE  
LOT ONE HOUSING PROJECT  
- BUILDING D  
CARBONDALE, COLORADO

PROJECT NO:  
21812.00

SHEET TITLE  
SCHEMATIC DESIGN -  
EXTERIOR ELEVATIONS

**A.D.202**

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- UNIT TYPE LEGEND**
- STUDIO FLAT
  - 1 BEDROOM FLAT
  - 2 BEDROOM FLAT
  - 2 BEDROOM TOWNHOME (2 LEVEL)
  - 3 BEDROOM TOWNHOME (3 LEVEL)
  - COMMERCIAL
  - PRIVATE OUTDOOR SPACE
- TYPE A = ACCESSIBILITY PER ANSI A117.1  
TYPE B = ACCESSIBILITY PER ANSI A117.1  
CHG = COMMUNITY HOUSING GUIDELINES

**RESIDENTIAL UNIT COUNT**

	STUDIO FLAT	1 BEDROOM FLAT	2 BEDROOM FLAT	2 BEDROOM TOWNHOME (2-LEVEL)	3 BEDROOM TOWNHOME (3-LEVEL)
LEVEL 1	4	1	3	5	
LEVEL 2	1	3	5		
LEVEL 3		4	1		
<b>BUILDING TOTAL</b>	<b>5</b>	<b>7</b>	<b>6</b>	<b>5</b>	<b>0</b>

**BUILDING AREAS**

LEVEL	UNIT TYPE	GROSS SF
LEVEL 1	STUDIO (4 UNITS)	1,602 SF
	COMMERCIAL (5 UNITS)	4,489 SF
	MECH. / MAINT. / STORAGE	555 SF
LEVEL 2	STUDIO (1 UNIT)	517 SF
	1 BEDROOM (3 UNITS)	2,045 SF
	2 BEDROOM < 800 SF (5 UNITS)	3,966 SF
LEVEL 3	MECH. / MAINT. / STORAGE	246 SF
	1 BEDROOM (4 UNITS)	2,755 SF
	2 BEDROOM > 800 SF (5 UNITS)	847 SF
<b>TOTAL SF</b>	<b>MECH. MAINT. / STORAGE</b>	<b>113 SF</b>
		<b>17,135 SF</b>

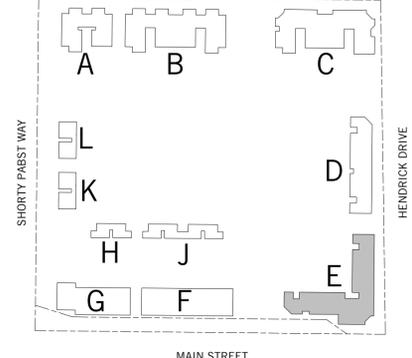
**NOTE:**  
SF INCLUDES INTERIOR SPACES ONLY. DOES NOT INCLUDE EXTERIOR STAIRS AND BALCONIES.

**BULK STORAGE AREAS**

**BLDG F REQUIRED BULK STORAGE SUMMARY**  
18 RESIDENTIAL UNITS AS FOLLOWS:  
(5) STUDIO UNITS FROM 390 - 517 SF THUS, (5) STORAGE ROOMS AT MIN. 172 CU FT REQUIRED  
(7) 1-BEDROOM UNITS FROM 626 - 725 SF THUS, (7) STORAGE ROOMS AT MIN. 209 - 241 CU FT REQUIRED  
(6) 2-BEDROOM UNITS FROM 786 - 847 SF THUS, (6) STORAGE ROOMS AT MIN. 262 - 282 CU FT REQUIRED  
18 STORAGE ROOMS PROVIDED AS FOLLOWS:  
(1) AT 3'-10" X 7'-0" X 8'-0" H = 214 CU FT  
(1) AT 3'-4" X 8'-10" X 8'-0" H = 235 CU FT  
(1) AT 3'-5" X 8'-10" X 8'-0" H = 241 CU FT  
(1) AT 4'-0" X 8'-11" X 8'-0" H = 258 CU FT  
(8) AT 3'-10" X 6'-10" X 10'-4" H = 270 CU FT  
(2) AT 3'-10" X 7'-7" X 10'-4" H = 300 CU FT  
(4) AT 3'-5" X 8'-11" X 10'-4" H = 314 CU FT

**NOTE:**  
UPPER LEVEL STORAGE ROOMS MEET ADJACENT UPPER LEVEL UNIT REQUIREMENTS

**KEY PLAN**  
NOT TO SCALE



**1 FLOOR PLAN - LEVEL 1**  
SCALE 1/8" = 1'-0"

Issue: 07.27.2018 APPROVAL SET

**MAIN ST. MARKETPLACE LOT ONE HOUSING PROJECT - BUILDING E**  
CARBONDALE, COLORADO

**PROJECT NO:**  
21812.00

**SHEET TITLE**  
SCHEMATIC DESIGN - FLOOR PLANS

**A.E.101**

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Consultant

Issue: 07.27.2018 APPROVAL SET



- UNIT TYPE LEGEND**
- STUDIO FLAT
  - 1 BEDROOM FLAT
  - 2 BEDROOM FLAT
  - 2 BEDROOM TOWNHOME (2 LEVEL)
  - 3 BEDROOM TOWNHOME (3 LEVEL)
  - COMMERCIAL
  - PRIVATE OUTDOOR SPACE
- TYPE A = ACCESSIBILITY PER ANSI A117.1  
TYPE B = ACCESSIBILITY PER ANSI A117.1  
CHG = COMMUNITY HOUSING GUIDELINES

**RESIDENTIAL UNIT COUNT**

	STUDIO FLAT	1 BEDROOM FLAT	2 BEDROOM FLAT	2 BEDROOM TOWNHOME (2-LEVEL)	3 BEDROOM TOWNHOME (3-LEVEL)
LEVEL 1	4	1	3	5	
LEVEL 2	1	3	5		
LEVEL 3		4	1		
<b>BUILDING TOTAL</b>	<b>5</b>	<b>7</b>	<b>6</b>		

**BUILDING AREAS**

LEVEL	UNIT TYPE	GROSS SF
LEVEL 1	STUDIO (4 UNITS)	1,602 SF
	COMMERCIAL (5 UNITS)	4,489 SF
	MECH. / MAINT. / STORAGE	555 SF
LEVEL 2	STUDIO (1 UNIT)	517 SF
	1 BEDROOM (3 UNITS)	2,045 SF
	2 BEDROOM < 800 SF (5 UNITS)	3,966 SF
LEVEL 3	MECH. / MAINT. / STORAGE	246 SF
	1 BEDROOM (4 UNITS)	2,755 SF
	2 BEDROOM > 800 SF (5 UNITS)	847 SF
<b>TOTAL SF</b>	<b>MECH. MAINT. / STORAGE</b>	<b>113 SF</b>
		<b>17,135 SF</b>

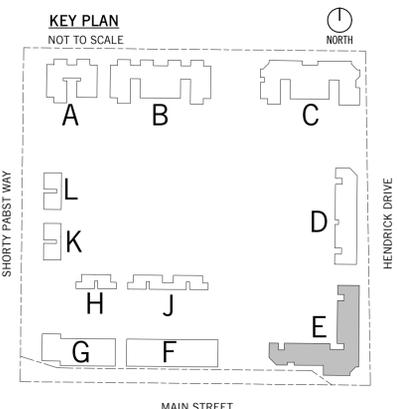
**NOTE:**  
SF INCLUDES INTERIOR SPACES ONLY. DOES NOT INCLUDE EXTERIOR STAIRS AND BALCONIES.

**BULK STORAGE AREAS**

- BLDG F REQUIRED BULK STORAGE SUMMARY**  
18 RESIDENTIAL UNITS AS FOLLOWS:
- (5) STUDIO UNITS FROM 390 - 517 SF THUS, (5) STORAGE ROOMS AT MIN. 172 CU FT REQUIRED
  - (7) 1-BEDROOM UNITS FROM 626 - 725 SF THUS, (7) STORAGE ROOMS AT MIN. 209 - 241 CU FT REQUIRED
  - (6) 2-BEDROOM UNITS FROM 786 - 847 SF THUS, (6) STORAGE ROOMS AT MIN. 262 - 282 CU FT REQUIRED
- 18 STORAGE ROOMS PROVIDED AS FOLLOWS:
- (1) AT 3'-10" X 7'-0" X 8'-0" H = 214 CU FT
  - (1) AT 3'-4" X 8'-10" X 8'-0" H = 235 CU FT
  - (1) AT 3'-5" X 8'-10" X 8'-0" H = 241 CU FT
  - (1) AT 4'-0" X 8'-11" X 8'-0" H = 258 CU FT
  - (8) AT 3'-10" X 6'-10" X 10'-4" H = 270 CU FT
  - (2) AT 3'-10" X 7'-7" X 10'-4" H = 300 CU FT
  - (4) AT 3'-5" X 8'-11" X 10'-4" H = 314 CU FT

**NOTE:**  
UPPER LEVEL STORAGE ROOMS MEET ADJACENT UPPER LEVEL UNIT REQUIREMENTS

**KEY PLAN**  
NOT TO SCALE



**2 FLOOR PLAN - LEVEL 2**  
SCALE 1/8" = 1'-0"

**MAIN ST. MARKETPLACE  
LOT ONE HOUSING PROJECT  
- BUILDING E**  
CARBONDALE, COLORADO

PROJECT NO:  
21812.00

0 4 8 16

SHEET TITLE  
**SCHEMATIC DESIGN -  
FLOOR PLANS**

**A.E.102**

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Consultant

Issue: 07.27.2018 APPROVAL SET



**3 FLOOR PLAN - LEVEL 3**  
SCALE 1/8" = 1'-0"

**UNIT TYPE LEGEND**

- STUDIO FLAT
- 1 BEDROOM FLAT
- 2 BEDROOM FLAT
- 2 BEDROOM TOWNHOME (2 LEVEL)
- 3 BEDROOM TOWNHOME (3 LEVEL)
- COMMERCIAL
- PRIVATE OUTDOOR SPACE

TYPE A = ACCESSIBILITY PER ANSI A117.1  
TYPE B = ACCESSIBILITY PER ANSI A117.1  
CHG = COMMUNITY HOUSING GUIDELINES

**RESIDENTIAL UNIT COUNT**

	STUDIO FLAT	1 BEDROOM FLAT	2 BEDROOM FLAT	2 BEDROOM TOWNHOME (2-LEVEL)	3 BEDROOM TOWNHOME (3-LEVEL)
LEVEL 1	4	1	3	1	1
LEVEL 2	1	3	5		
LEVEL 3		4	1		
<b>BUILDING TOTAL</b>	<b>5</b>	<b>7</b>	<b>6</b>		

**BUILDING AREAS**

LEVEL	UNIT TYPE	GROSS SF
LEVEL 1	STUDIO (4 UNITS)	1,602 SF
	COMMERCIAL (5 UNITS)	4,489 SF
	MECH. / MAINT. / STORAGE	555 SF
LEVEL 2	STUDIO (1 UNIT)	517 SF
	1 BEDROOM (3 UNITS)	2,045 SF
	2 BEDROOM < 800 SF (5 UNITS)	3,966 SF
LEVEL 3	MECH. / MAINT. / STORAGE	246 SF
TOTAL SF	1 BEDROOM (4 UNITS)	2,755 SF
	2 BEDROOM > 800 SF (5 UNITS)	847 SF
	MECH. MAINT. / STORAGE	113 SF
<b>TOTAL SF</b>		<b>17,135 SF</b>

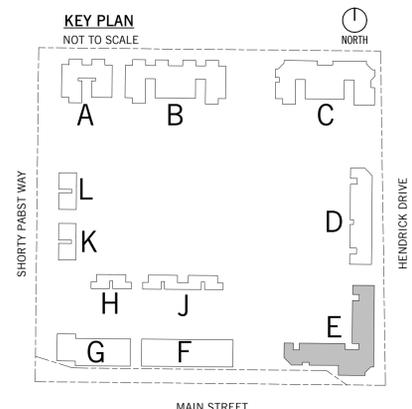
**NOTE:**  
SF INCLUDES INTERIOR SPACES ONLY. DOES NOT INCLUDE EXTERIOR STAIRS AND BALCONIES.

**BULK STORAGE AREAS**

**BLDG F REQUIRED BULK STORAGE SUMMARY**  
18 RESIDENTIAL UNITS AS FOLLOWS:  
(5) STUDIO UNITS FROM 390 - 517 SF  
THUS, (5) STORAGE ROOMS AT MIN. 172 CU FT REQUIRED  
(7) 1-BEDROOM UNITS FROM 626 - 725 SF  
THUS, (7) STORAGE ROOMS AT MIN. 209 - 241 CU FT REQUIRED  
(6) 2-BEDROOM UNITS FROM 786 - 847 SF  
THUS, (6) STORAGE ROOMS AT MIN. 262 - 282 CU FT REQUIRED  
18 STORAGE ROOMS PROVIDED AS FOLLOWS:  
(1) AT 3'-10" X 7'-0" X 8'-0" H = 214 CU FT  
(1) AT 3'-4" X 8'-10" X 8'-0" H = 235 CU FT  
(1) AT 3'-5" X 8'-10" X 8'-0" H = 241 CU FT  
(1) AT 4'-0" X 8'-11" X 8'-0" H = 258 CU FT  
(8) AT 3'-10" X 6'-10" X 10'-4" H = 270 CU FT  
(2) AT 3'-10" X 7'-7" X 10'-4" H = 300 CU FT  
(4) AT 3'-5" X 8'-11" X 10'-4" H = 314 CU FT

**NOTE:**  
UPPER LEVEL STORAGE ROOMS MEET ADJACENT UPPER LEVEL UNIT REQUIREMENTS

**KEY PLAN**  
NOT TO SCALE



**MAIN ST. MARKETPLACE  
LOT ONE HOUSING PROJECT  
- BUILDING E**  
CARBONDALE, COLORADO

PROJECT NO:  
21812.00  
SHEET TITLE

**SCHEMATIC DESIGN -  
FLOOR PLANS**

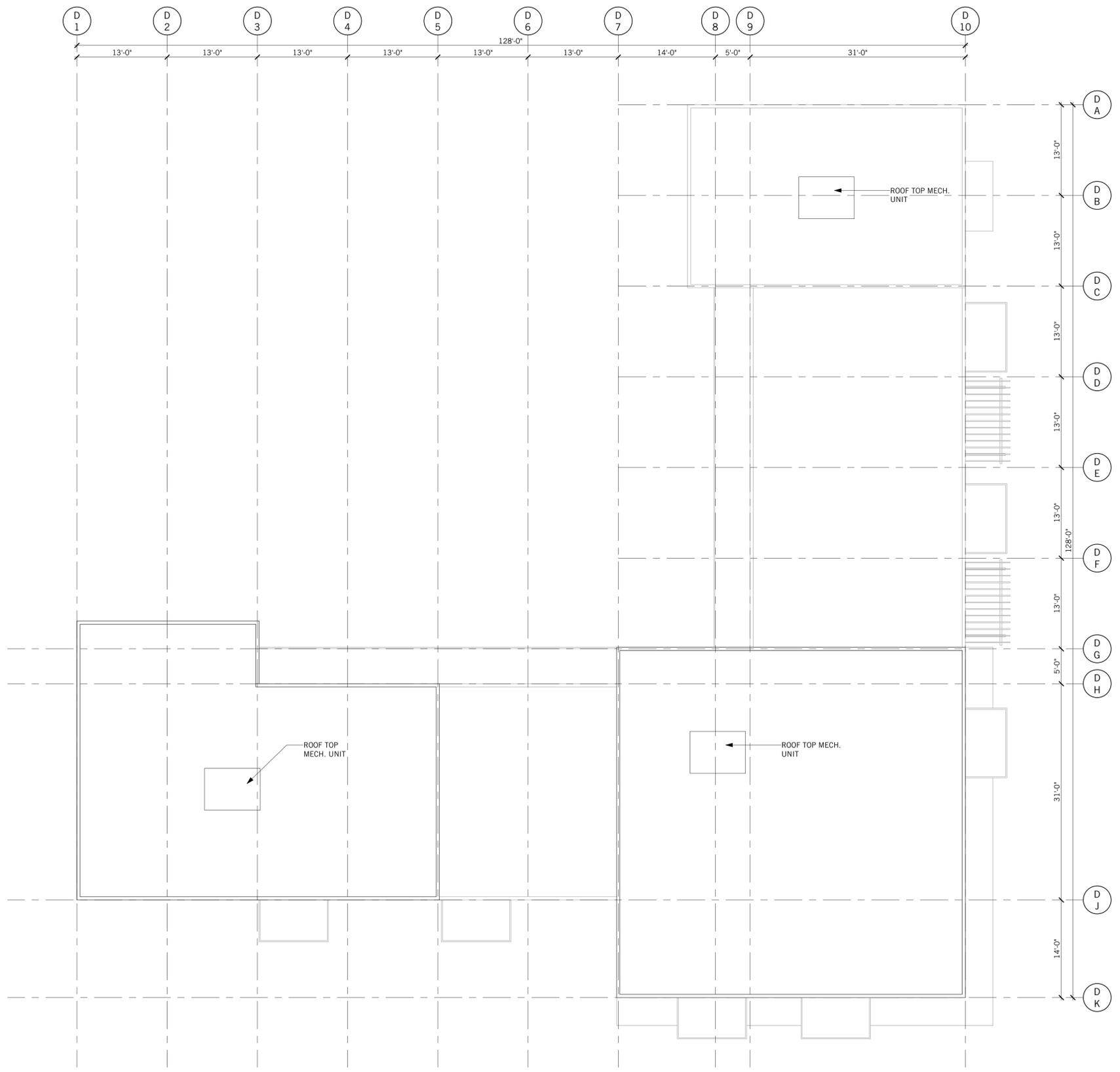
**A.E.103**

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Consultant

Issue: 07.27.2018 APPROVAL SET



- UNIT TYPE LEGEND**
- STUDIO FLAT
  - 1 BEDROOM FLAT
  - 2 BEDROOM FLAT
  - 2 BEDROOM TOWNHOME (2 LEVEL)
  - 3 BEDROOM TOWNHOME (3 LEVEL)
  - COMMERCIAL
  - PRIVATE OUTDOOR SPACE
- TYPE A = ACCESSIBILITY PER ANSI A117.1  
TYPE B = ACCESSIBILITY PER ANSI A117.1  
CHG = COMMUNITY HOUSING GUIDELINES

**RESIDENTIAL UNIT COUNT**

	STUDIO FLAT	1 BEDROOM FLAT	2 BEDROOM FLAT	2 BEDROOM TOWNHOME (2-LEVEL)	3 BEDROOM TOWNHOME (3-LEVEL)
LEVEL 1	4	1	3	5	1
LEVEL 2	1	3	5	1	1
LEVEL 3	1	4	1	1	1
<b>BUILDING TOTAL</b>	<b>6</b>	<b>8</b>	<b>9</b>	<b>8</b>	<b>4</b>

**BUILDING AREAS**

LEVEL	DESCRIPTION	GROSS SF
<b>LEVEL 1</b>	STUDIO (4 UNITS)	1,602 SF
	COMMERCIAL (5 UNITS)	4,489 SF
	MECH. / MAINT. / STORAGE	555 SF
<b>LEVEL 2</b>	STUDIO (1 UNIT)	517 SF
	1 BEDROOM (3 UNITS)	2,045 SF
	2 BEDROOM < 800 SF (5 UNITS)	3,966 SF
	MECH. / MAINT. / STORAGE	246 SF
<b>LEVEL 3</b>	1 BEDROOM (4 UNITS)	2,755 SF
	2 BEDROOM > 800 SF (5 UNITS)	847 SF
	MECH. MAINT. / STORAGE	113 SF
<b>TOTAL SF</b>		<b>17,135 SF</b>

**NOTE:**  
SF INCLUDES INTERIOR SPACES ONLY. DOES NOT INCLUDE EXTERIOR STAIRS AND BALCONIES.

**BULK STORAGE AREAS**

**BLDG F REQUIRED BULK STORAGE SUMMARY**  
18 RESIDENTIAL UNITS AS FOLLOWS:

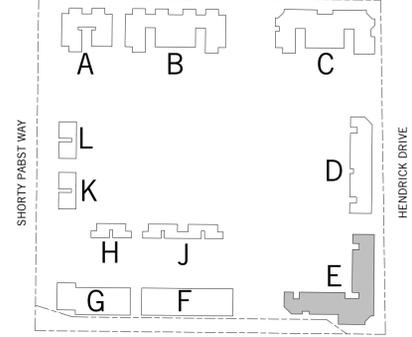
- (5) STUDIO UNITS FROM 390 - 517 SF THUS, (5) STORAGE ROOMS AT MIN. 172 CU FT REQUIRED
- (7) 1-BEDROOM UNITS FROM 626 - 725 SF THUS, (7) STORAGE ROOMS AT MIN. 209 - 241 CU FT REQUIRED
- (6) 2-BEDROOM UNITS FROM 786 - 847 SF THUS, (6) STORAGE ROOMS AT MIN. 262 - 282 CU FT REQUIRED

18 STORAGE ROOMS PROVIDED AS FOLLOWS:

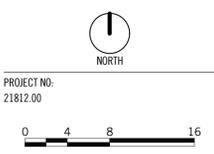
- (1) AT 3'-10" X 7'-0" X 8'-0" H = 214 CU FT
- (1) AT 3'-4" X 8'-10" X 8'-0" H = 235 CU FT
- (1) AT 3'-5" X 8'-10" X 8'-0" H = 241 CU FT
- (1) AT 4'-0" X 8'-1" X 8'-0" H = 258 CU FT
- (8) AT 3'-10" X 6'-10" X 10'-4" H = 270 CU FT
- (2) AT 3'-10" X 7'-7" X 10'-4" H = 300 CU FT
- (4) AT 3'-5" X 8'-11" X 10'-4" H = 314 CU FT

**NOTE:**  
UPPER LEVEL STORAGE ROOMS MEET ADJACENT UPPER LEVEL UNIT REQUIREMENTS

**KEY PLAN**  
NOT TO SCALE



**MAIN ST. MARKETPLACE  
LOT ONE HOUSING PROJECT  
- BUILDING E**  
CARBONDALE, COLORADO



PROJECT NO:  
21812.00  
SHEET TITLE  
**SCHEMATIC DESIGN -  
FLOOR PLANS**

**A.E.104**

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**4 ROOF PLAN**  
SCALE 1/8" = 1'-0"

NOT FOR  
CONSTRUCTION

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Consultant

Issue: 07.27.2018 APPROVAL SET

MAIN ST. MARKETPLACE  
LOT ONE HOUSING PROJECT  
- BUILDING E  
CARBONDALE, COLORADO

PROJECT NO:  
21812.00

SHEET TITLE  
SCHEMATIC DESIGN -  
EXTERIOR ELEVATIONS

A.E.201

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**MATERIAL CALL OUTS LEGEND**

- WT WOOD TIMBER
- RS RAIN SCREEN
- HW HORIZONTAL WOOD SIDING
- VW VERTICAL WOOD SIDING
- B BRICK VENEER
- MR METAL ROOFING
- MS METAL SIDING
- HC HORIZONTAL FIBER CEMENT SIDING
- VC VERTICAL FIBER CEMENT SIDING
- E EIFS
- S SANDSTONE
- W METAL CLAD WINDOW
- D INSULATED METAL DOORS

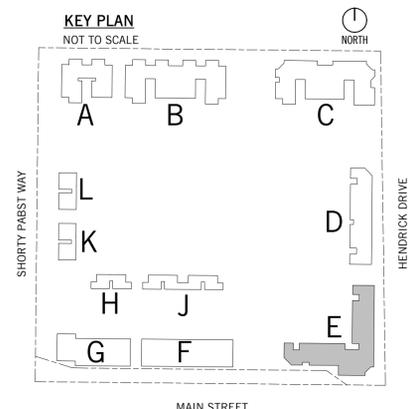
**NOTE:**  
REFER TO A.M.101 AND A.M.102 FOR MATERIAL  
SAMPLES.



**2** EXTERIOR ELEVATION - NORTH  
SCALE 1/8" = 1'-0"



**1** EXTERIOR ELEVATION - SOUTH  
SCALE 1/8" = 1'-0"



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Consultant

Issue: 07.27.2018 APPROVAL SET

**MATERIAL CALL OUTS LEGEND**

- WT WOOD TIMBER
- RS RAIN SCREEN
- HW HORIZONTAL WOOD SIDING
- VW VERTICAL WOOD SIDING
- B BRICK VENEER
- MR METAL ROOFING
- MS METAL SIDING
- HC HORIZONTAL FIBER CEMENT SIDING
- VC VERTICAL FIBER CEMENT SIDING
- E EIFS
- S SANDSTONE
- W METAL CLAD WINDOW
- D INSULATED METAL DOORS

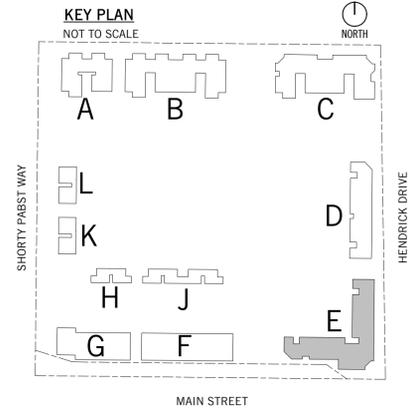
**NOTE:**  
REFER TO A.M.101 AND A.M.102 FOR MATERIAL SAMPLES.



**4** EXTERIOR ELEVATION - WEST  
SCALE 1/8" = 1'-0"



**3** EXTERIOR ELEVATION - EAST  
SCALE 1/8" = 1'-0"



MAIN ST. MARKETPLACE  
LOT ONE HOUSING PROJECT  
- BUILDING E  
CARBONDALE, COLORADO

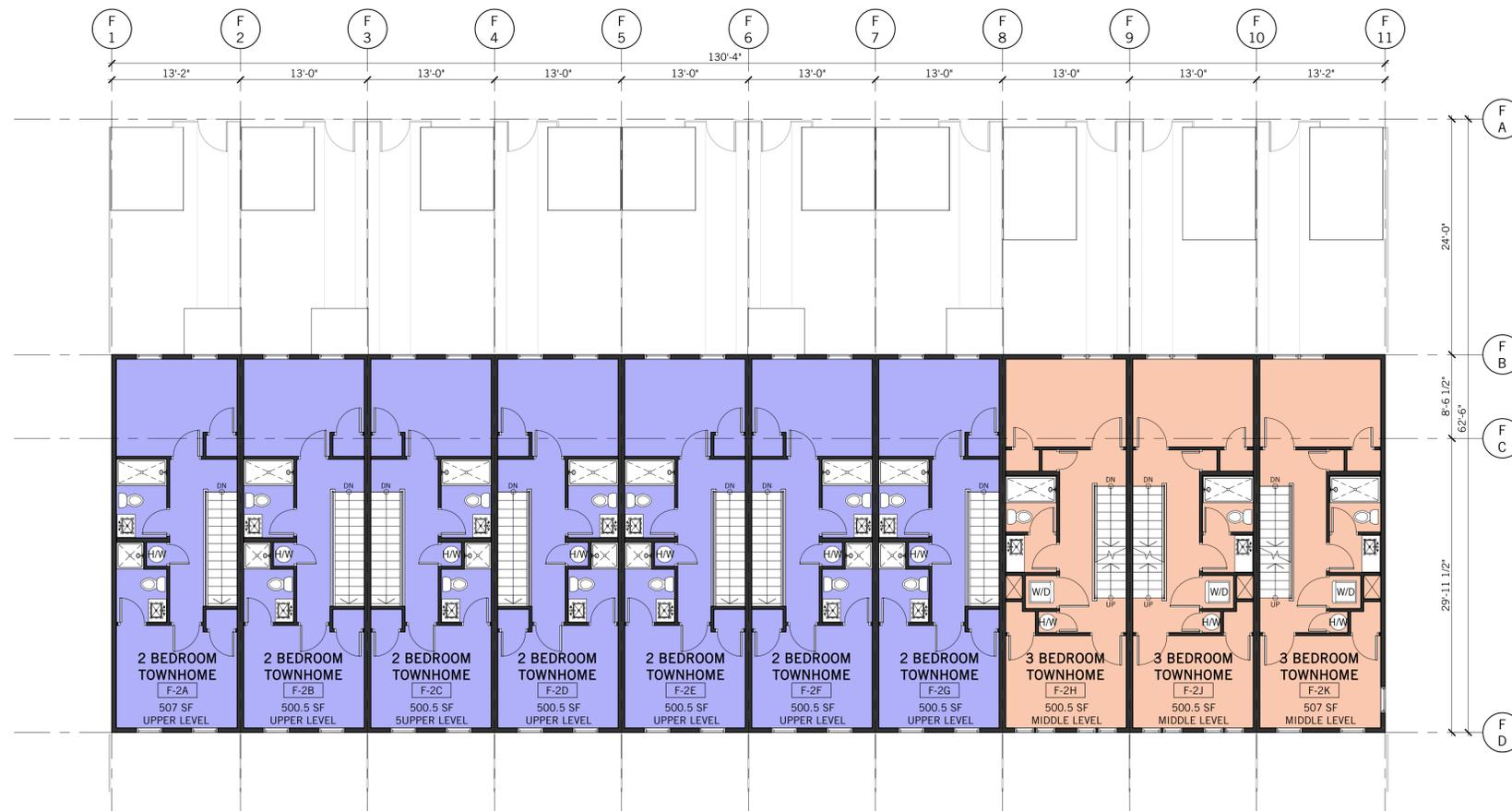
PROJECT NO:  
21812.00

SHEET TITLE  
SCHEMATIC DESIGN -  
EXTERIOR ELEVATIONS

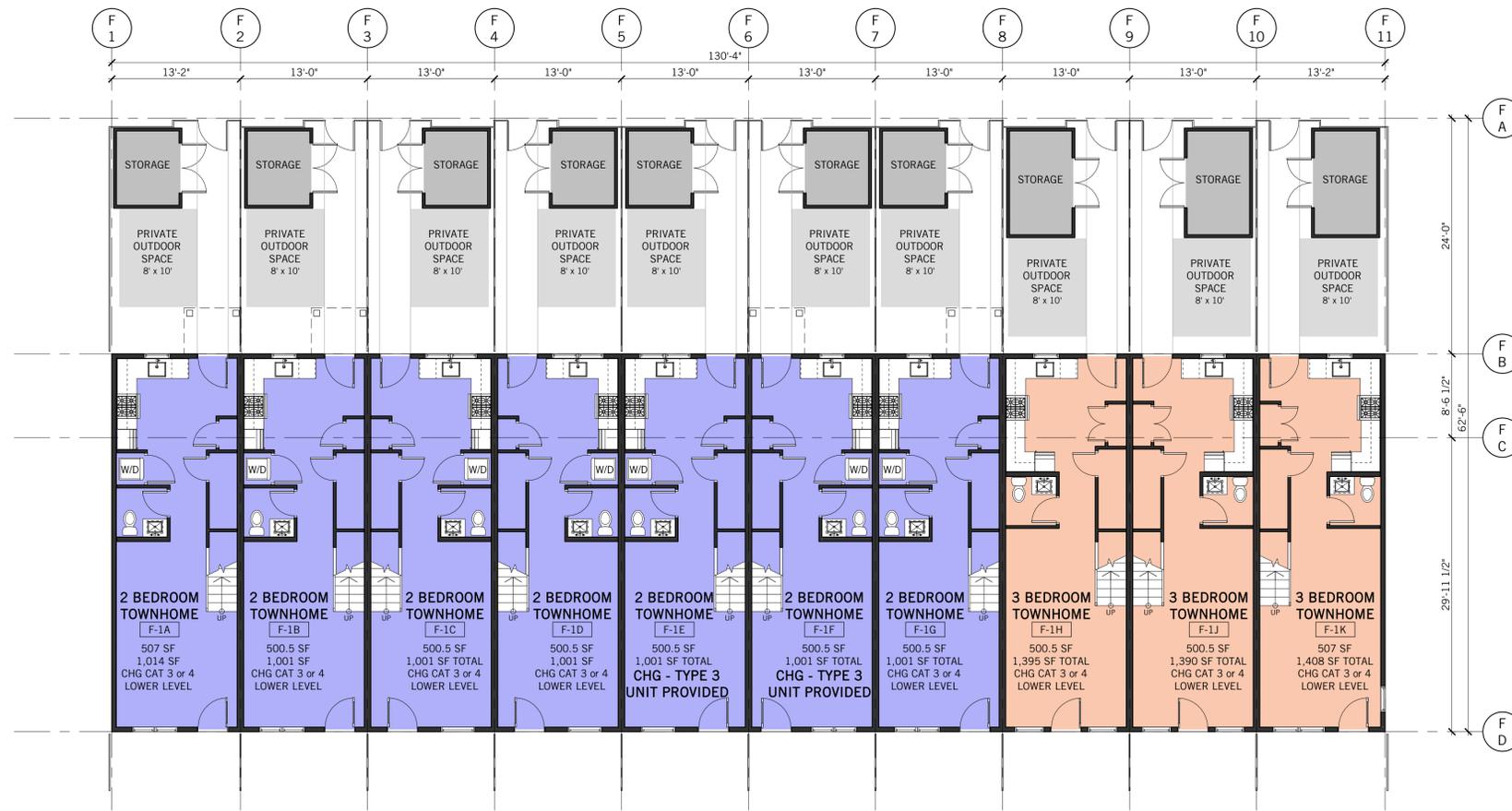
**A.E.202**

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**2 FLOOR PLAN - LEVEL 2**  
SCALE 1/8" = 1'-0"



**1 FLOOR PLAN - LEVEL 1**  
SCALE 1/8" = 1'-0"

- UNIT TYPE LEGEND**
- STUDIO FLAT
  - 1 BEDROOM FLAT
  - 2 BEDROOM FLAT
  - 2 BEDROOM TOWNHOME (2 LEVEL)
  - 3 BEDROOM TOWNHOME (3 LEVEL)
  - COMMERCIAL
  - PRIVATE OUTDOOR SPACE
- TYPE A = ACCESSIBILITY PER ANSI A117.1  
TYPE B = ACCESSIBILITY PER ANSI A117.1  
CHG = COMMUNITY HOUSING GUIDELINES

**RESIDENTIAL UNIT LEGEND**

	STUDIO FLAT	1 BEDROOM FLAT	2 BEDROOM FLAT	2 BEDROOM TOWNHOME (2-LEVEL)	3 BEDROOM TOWNHOME (3-LEVEL)
LEVEL 1			7	3	
LEVEL 2					
LEVEL 3					
BUILDING TOTAL			7	3	

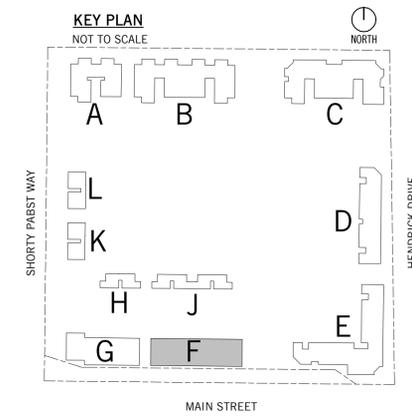
**BUILDING AREAS**

LEVEL	DESCRIPTION	GROSS SF
LEVEL 1	2 BEDROOM > 800 SF (7 UNITS)	3,510 SF
	3 BEDROOM (3 UNITS)	1,508 SF
	MECH. / MAINT. / STORAGE	490 SF
LEVEL 2	2 BEDROOM > 800 SF (7 UNITS)	3,510 SF
	3 BEDROOM (3 UNITS)	1,508 SF
LEVEL 3	3 BEDROOM (3 UNITS)	1,177 SF
<b>TOTAL SF</b>		<b>11,703 SF</b>

**NOTE:**  
SF INCLUDES INTERIOR SPACES ONLY. DOES NOT INCLUDE EXTERIOR STAIRS AND BALCONIES.

**BULK STORAGE AREAS**

**BLDG F REQUIRED BULK STORAGE SUMMARY**  
10 RESIDENTIAL UNITS AS FOLLOWS:  
(3) 3-BEDROOM UNITS AT 1,408 MAX. THUS, (3) STORAGE SHEDS AT 469 CU FT REQUIRED  
(7) 2-BEDROOM UNITS AT 1,014 MAX. THUS, (7) STORAGE SHEDS AT 338 CU FT REQUIRED  
10 STORAGE SHEDS PROVIDED AS FOLLOWS:  
(3) AT 6'-3" X 10'-6" X 7'-3" AVG. H = 475 CU FT  
(7) AT 6'-3" X 7'-6" X 7'-3" AVG. H = 340 CU FT



**MAIN ST. MARKETPLACE  
LOT ONE HOUSING PROJECT  
- BUILDING F**  
CARBONDALE, COLORADO

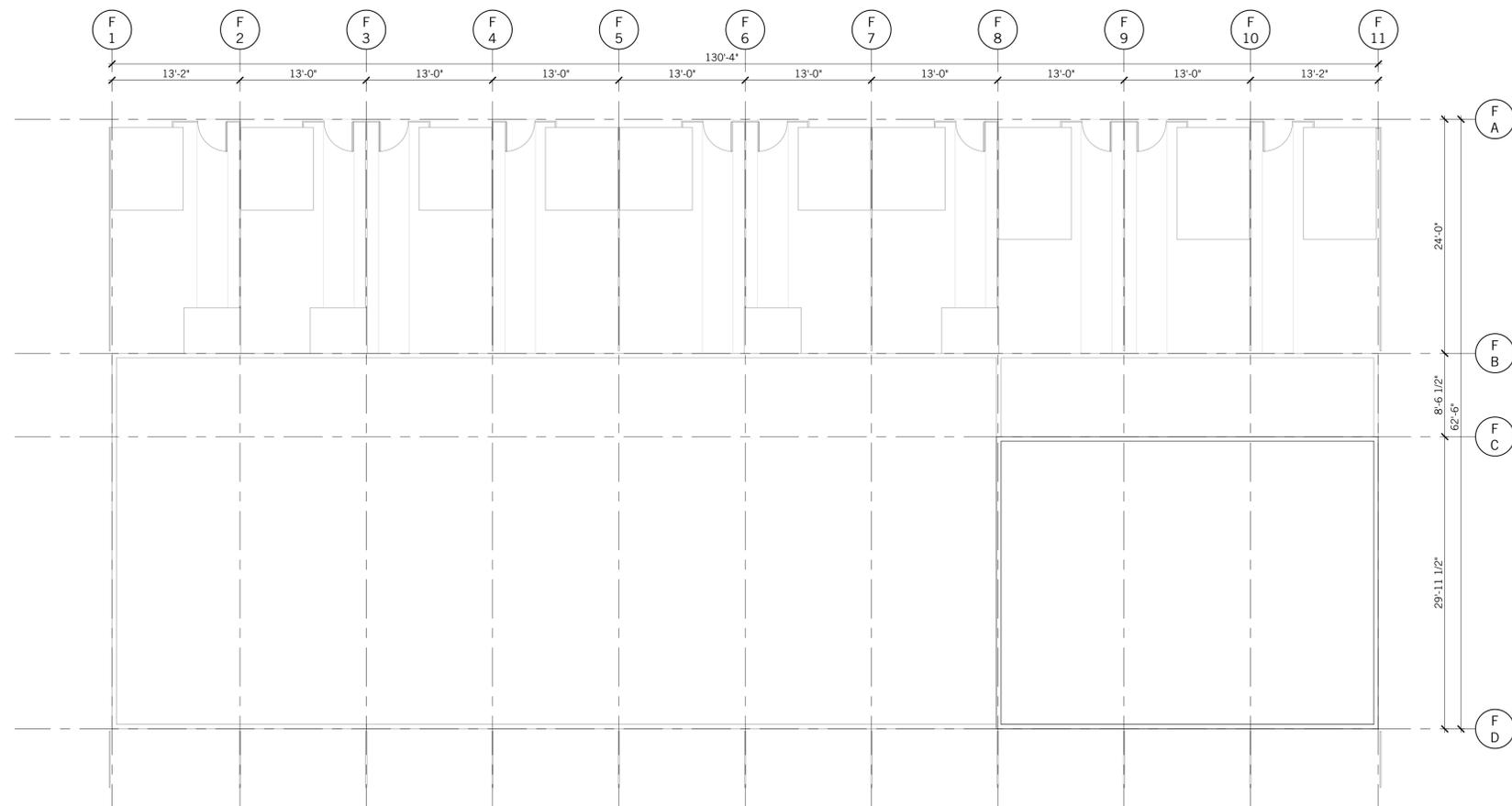
PROJECT NO:  
21812.00

SHEET TITLE  
**SCHEMATIC DESIGN -  
FLOOR PLANS**

**A.F.101**

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**4 ROOF PLAN**  
SCALE 1/8" = 1'-0"



**3 FLOOR PLAN - LEVEL 3**  
SCALE 1/8" = 1'-0"

**UNIT TYPE LEGEND**

- STUDIO FLAT
  - 1 BEDROOM FLAT
  - 2 BEDROOM FLAT
  - 2 BEDROOM TOWNHOME (2 LEVEL)
  - 3 BEDROOM TOWNHOME (3 LEVEL)
  - COMMERCIAL
  - PRIVATE OUTDOOR SPACE
- TYPE A = ACCESSIBILITY PER ANSI A117.1  
TYPE B = ACCESSIBILITY PER ANSI A117.1  
CHG = COMMUNITY HOUSING GUIDELINES

**RESIDENTIAL UNIT LEGEND**

	STUDIO FLAT	1 BEDROOM FLAT	2 BEDROOM FLAT	2 BEDROOM TOWNHOME (2-LEVEL)	3 BEDROOM TOWNHOME (3-LEVEL)
LEVEL 1			7		3
LEVEL 2					
LEVEL 3					
<b>BUILDING TOTAL</b>			7		3

**BUILDING AREAS**

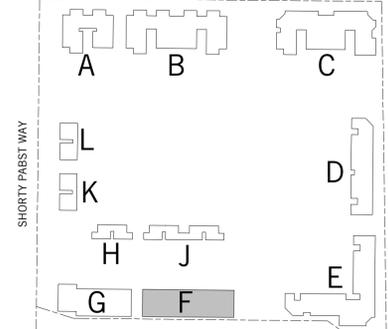
LEVEL	DESCRIPTION	GROSS SF
LEVEL 1	2 BEDROOM > 800 SF (7 UNITS)	3,510 SF
	3 BEDROOM (3 UNITS)	1,508 SF
	MECH. / MAINT. / STORAGE	490 SF
LEVEL 2	2 BEDROOM > 800 SF (7 UNITS)	3,510 SF
	3 BEDROOM (3 UNITS)	1,508 SF
LEVEL 3	3 BEDROOM (3 UNITS)	1,177 SF
<b>TOTAL SF</b>		<b>11,703 SF</b>

**NOTE:**  
SF INCLUDES INTERIOR SPACES ONLY. DOES NOT INCLUDE EXTERIOR STAIRS AND BALCONIES.

**BULK STORAGE AREAS**

**BLDG F REQUIRED BULK STORAGE SUMMARY**  
10 RESIDENTIAL UNITS AS FOLLOWS:  
(3) 3-BEDROOM UNITS AT 1,408 MAX.  
THUS, (3) STORAGE SHEDS AT 469 CU FT REQUIRED  
(7) 2-BEDROOM UNITS AT 1,014 MAX.  
THUS, (7) STORAGE SHEDS AT 338 CU FT REQUIRED  
10 STORAGE SHEDS PROVIDED AS FOLLOWS:  
(3) AT 6'-3" X 10'-6" X 7'-3" AVG. H = 475 CU FT  
(7) AT 6'-3" X 7'-6" X 7'-3" AVG. H = 340 CU FT

**KEY PLAN**  
NOT TO SCALE



Issue: 07.27.2018 APPROVAL SET

**MAIN ST. MARKETPLACE  
LOT ONE HOUSING PROJECT  
- BUILDING F**  
CARBONDALE, COLORADO

PROJECT NO:  
21812.00

0 4 8 16

SHEET TITLE  
**SCHEMATIC DESIGN -  
FLOOR PLANS**

**A.F.102**

NOT FOR  
CONSTRUCTION

311 MAIN STREET CARBONDALE, CO 81611  
(T) 970/925 4755 (F) 970/920 2950  
Consultant

Issue: 07.27.2018 APPROVAL SET

MAIN ST. MARKETPLACE  
LOT ONE HOUSING PROJECT  
- BUILDING F  
CARBONDALE, COLORADO

PROJECT NO:  
21812.00

SHEET TITLE  
SCHEMATIC DESIGN -  
EXTERIOR ELEVATIONS

A.F.201

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**MATERIAL CALL OUTS LEGEND**

- WT WOOD TIMBER
- RS RAIN SCREEN
- HW HORIZONTAL WOOD SIDING
- VW VERTICAL WOOD SIDING
- B BRICK VENEER
- MR METAL ROOFING
- MS METAL SIDING
- HC HORIZONTAL FIBER CEMENT SIDING
- VC VERTICAL FIBER CEMENT SIDING
- E EIFS
- S SANDSTONE
- W METAL CLAD WINDOW
- D INSULATED METAL DOORS

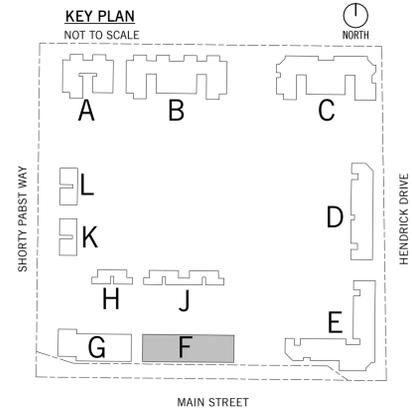
**NOTE:**  
REFER TO A.M.101 AND A.M.102 FOR MATERIAL  
SAMPLES.



2 EXTERIOR ELEVATION - NORTH  
SCALE 1/8" = 1'-0"



1 EXTERIOR ELEVATION - SOUTH  
SCALE 1/8" = 1'-0"



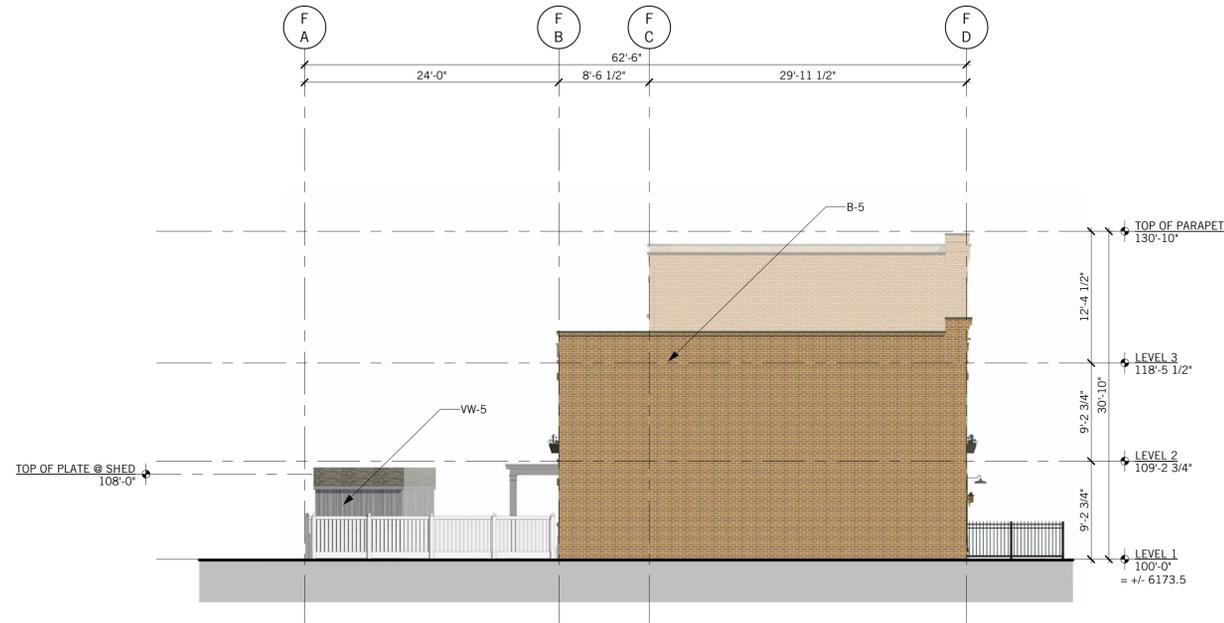
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CONSTRUCTION

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Consultant

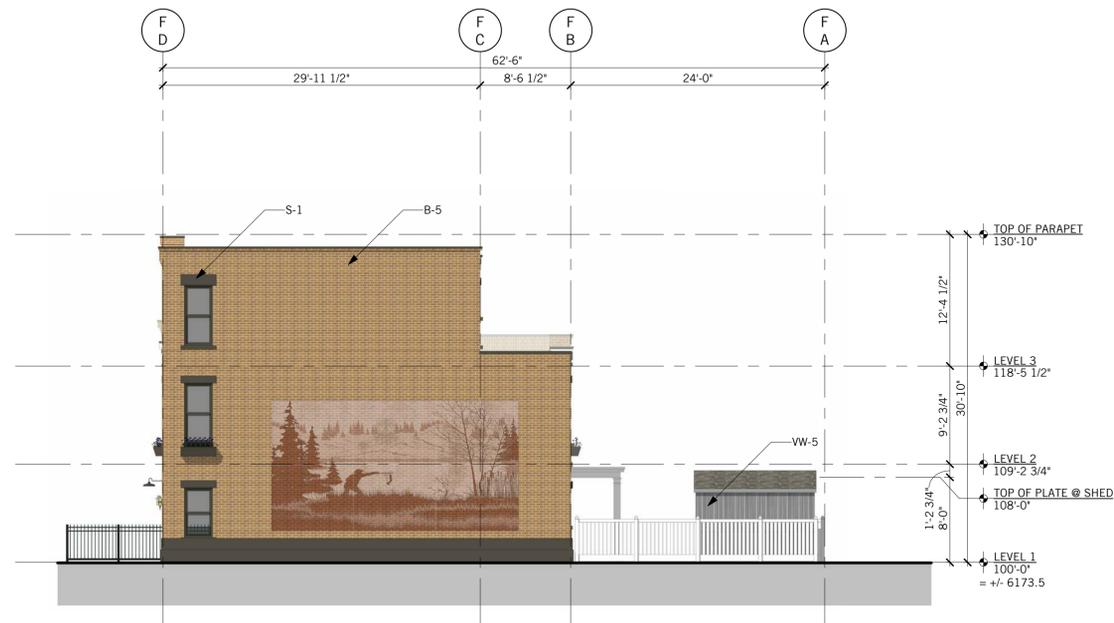
**MATERIAL CALL OUTS LEGEND**

- WT WOOD TIMBER
- RS RAIN SCREEN
- HW HORIZONTAL WOOD SIDING
- VW VERTICAL WOOD SIDING
- B BRICK VENEER
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- VC VERTICAL FIBER CEMENT SIDING
- E EIFS
- S SANDSTONE
- W METAL CLAD WINDOW
- D INSULATED METAL DOORS

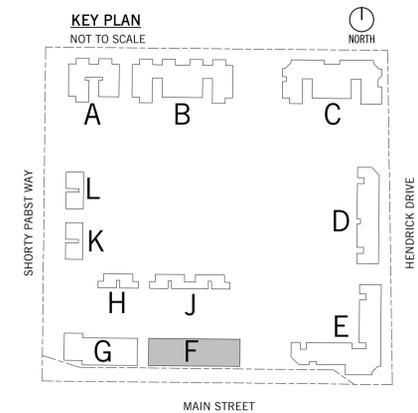
**NOTE:**  
REFER TO A.M.101 AND A.M.102 FOR MATERIAL SAMPLES.



**4** EXTERIOR ELEVATION - WEST  
SCALE 1/8" = 1'-0"



**3** EXTERIOR ELEVATION - EAST  
SCALE 1/8" = 1'-0"



Issue: 07.27.2018 APPROVAL SET

MAIN ST. MARKETPLACE  
LOT ONE HOUSING PROJECT  
- BUILDING F  
CARBONDALE, COLORADO

PROJECT NO:  
21812.00

SHEET TITLE  
SCHEMATIC DESIGN -  
EXTERIOR ELEVATIONS

**A.F.202**

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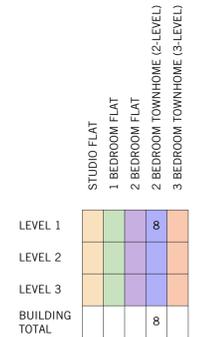
NOT FOR CONSTRUCTION

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Consultant

Issue: 07.27.2018 APPROVAL SET

- UNIT TYPE LEGEND**
- STUDIO FLAT
  - 1 BEDROOM FLAT
  - 2 BEDROOM FLAT
  - 2 BEDROOM TOWNHOME (2 LEVEL)
  - 3 BEDROOM TOWNHOME (3 LEVEL)
  - COMMERCIAL
  - PRIVATE OUTDOOR SPACE
- TYPE A = ACCESSIBILITY PER ANSI A117.1  
TYPE B = ACCESSIBILITY PER ANSI A117.1  
CHG = COMMUNITY HOUSING GUIDELINES

**RESIDENTIAL UNIT COUNT**



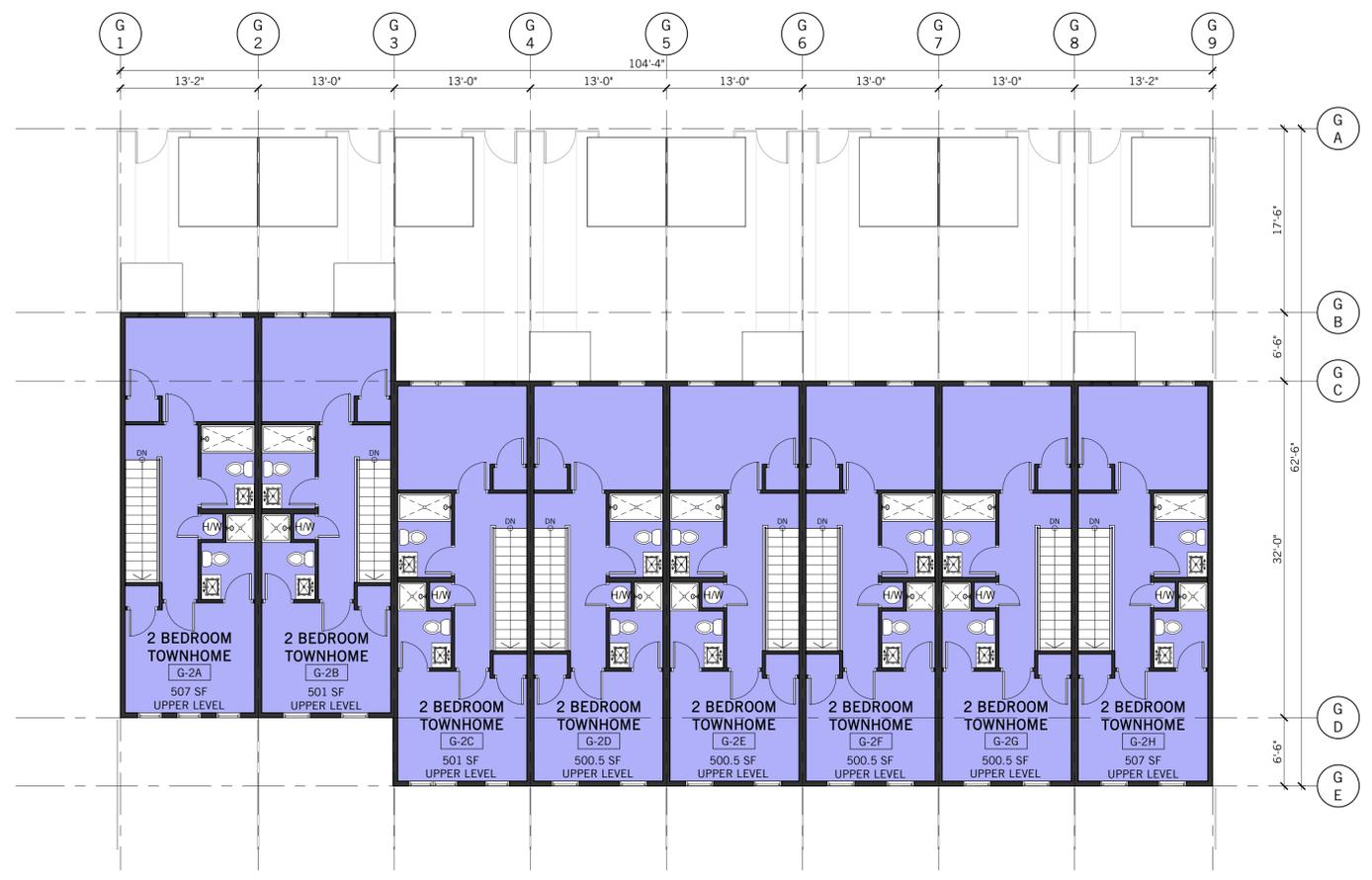
**BUILDING AREAS**

LEVEL	UNIT TYPE	GROSS SF
LEVEL 1	2 BEDROOM > 800 SF (8 UNITS)	4,018 SF
	MECH. / MAINT. / STORAGE	392 SF
LEVEL 2	2 BEDROOM > 800 SF (8 UNITS)	4,018 SF
<b>TOTAL SF</b>		<b>8,428 SF</b>

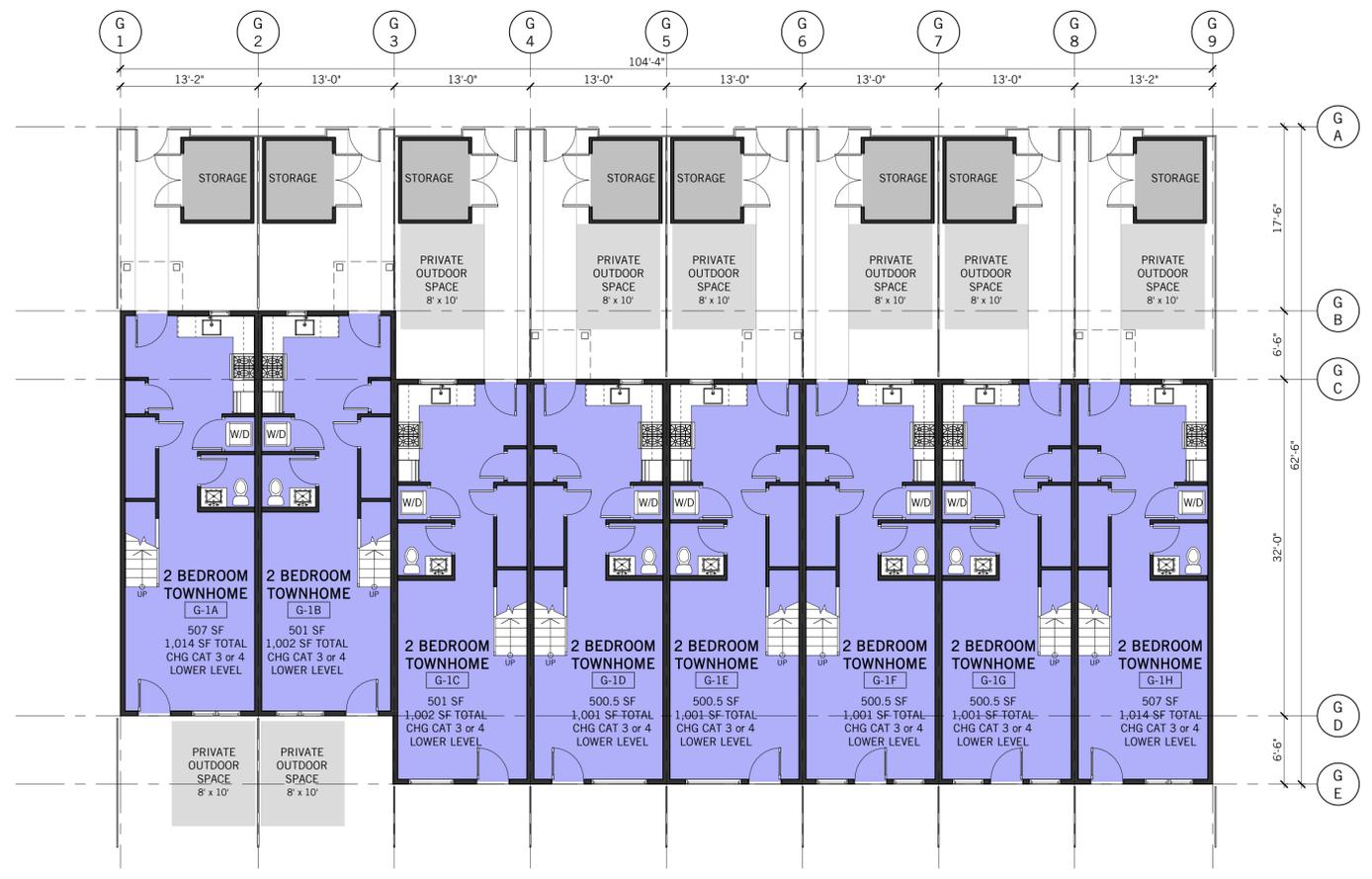
**NOTE:**  
SF INCLUDES INTERIOR SPACES ONLY. DOES NOT INCLUDE EXTERIOR STAIRS AND BALCONIES.

**BULK STORAGE AREAS**

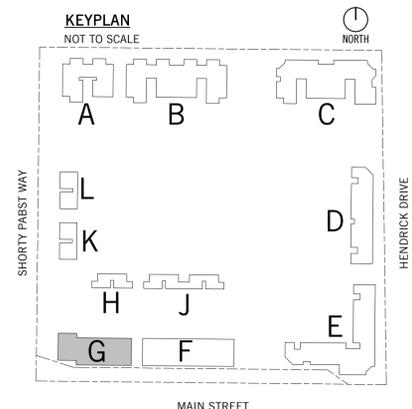
**BLDG G REQUIRED BULK STORAGE SUMMARY**  
8 RESIDENTIAL UNITS AS FOLLOWS:  
(8) 2-BEDROOM UNITS AT 1,014 MAX.  
THUS, (8) STORAGE SHEDS AT 338 CU FT REQUIRED  
8 STORAGE SHEDS PROVIDED AS FOLLOWS:  
(8) AT 6'-3" X 7'-6" X 7'-3" AVG. H = 340 CU FT



**2 FLOOR PLAN - LEVEL 2**  
SCALE 1/8" = 1'-0"



**1 FLOOR PLAN - LEVEL 1**  
SCALE 1/8" = 1'-0"



**MAIN ST. MARKETPLACE  
LOT ONE HOUSING PROJECT  
- BUILDING G**  
CARBONDALE, COLORADO

PROJECT NO:  
21812.00  
SHEET TITLE  
**SCHEMATIC DESIGN -  
FLOOR PLANS**

**A.G.101**  
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NOT FOR  
CONSTRUCTION

- UNIT TYPE LEGEND**
- STUDIO FLAT
  - 1 BEDROOM FLAT
  - 2 BEDROOM FLAT
  - 2 BEDROOM TOWNHOME (2 LEVEL)
  - 3 BEDROOM TOWNHOME (3 LEVEL)
  - COMMERCIAL
  - PRIVATE OUTDOOR SPACE
- TYPE A = ACCESSIBILITY PER ANSI A117.1  
TYPE B = ACCESSIBILITY PER ANSI A117.1  
CHG = COMMUNITY HOUSING GUIDELINES

**RESIDENTIAL UNIT COUNT**

	STUDIO FLAT	1 BEDROOM FLAT	2 BEDROOM FLAT	2 BEDROOM TOWNHOME (2-LEVEL)	3 BEDROOM TOWNHOME (3-LEVEL)
LEVEL 1			8		
LEVEL 2					
LEVEL 3					
<b>BUILDING TOTAL</b>			8		

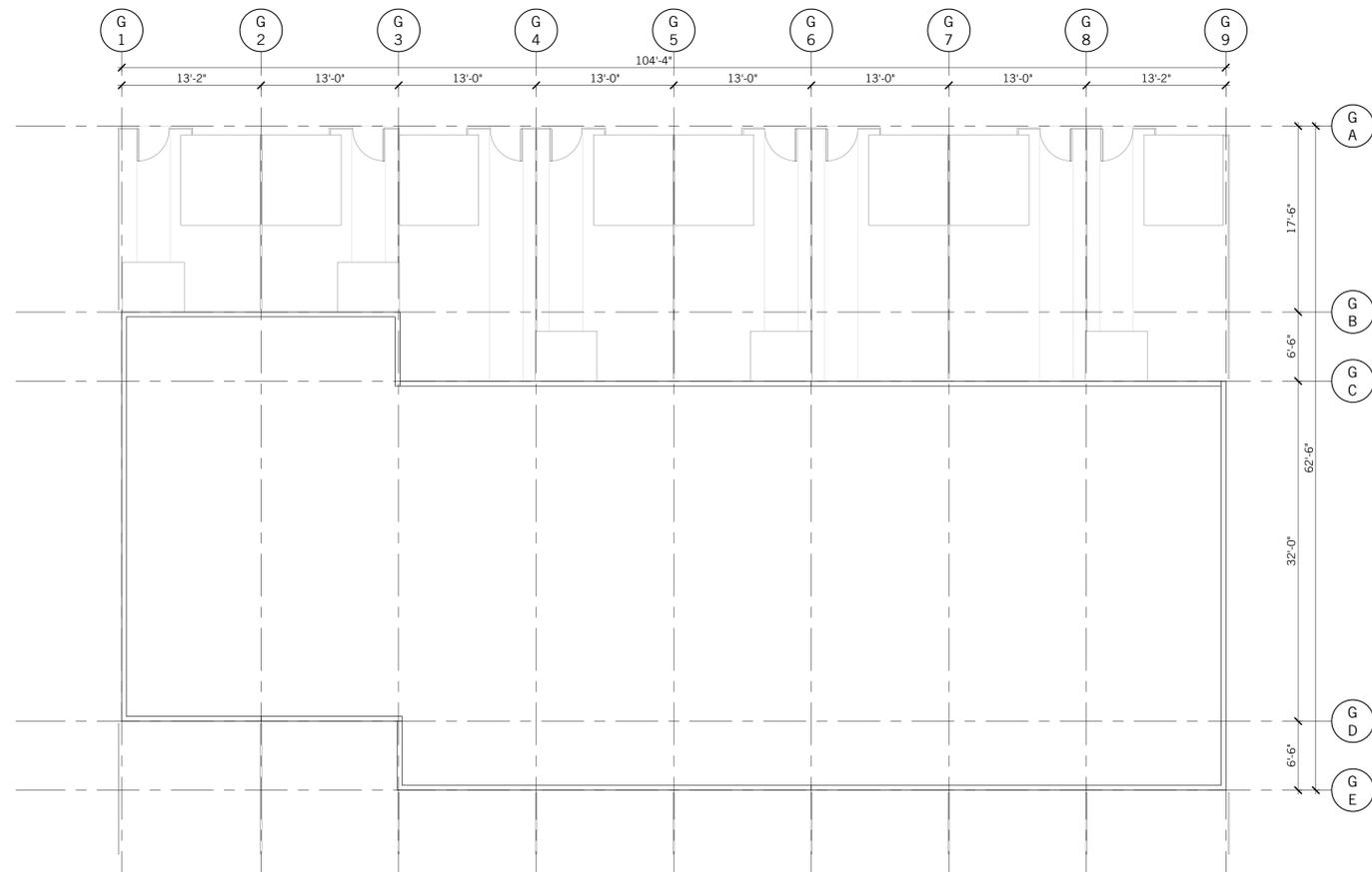
**BUILDING AREAS**

LEVEL	DESCRIPTION	GROSS SF
<b>LEVEL 1</b>		
	2 BEDROOM > 800 SF (8 UNITS)	4,018 SF
	MECH. / MAINT. / STORAGE	392 SF
<b>LEVEL 2</b>		
	2 BEDROOM > 800 SF (8 UNITS)	4,018 SF
<b>TOTAL SF</b>		8,428 SF

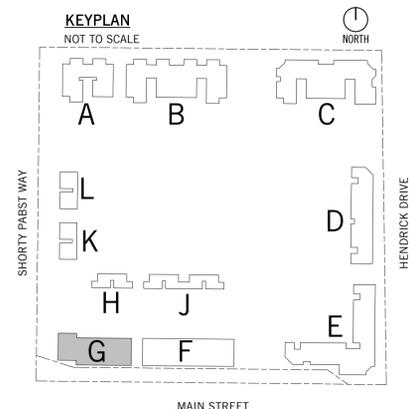
**NOTE:**  
SF INCLUDES INTERIOR SPACES ONLY. DOES NOT INCLUDE EXTERIOR STAIRS AND BALCONIES.

**BULK STORAGE AREAS**

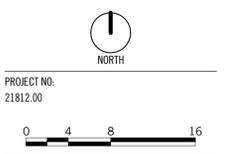
**BLDG G REQUIRED BULK STORAGE SUMMARY**  
8 RESIDENTIAL UNITS AS FOLLOWS:  
(8) 2-BEDROOM UNITS AT 1,014 MAX.  
THUS, (8) STORAGE SHEDS AT 338 CU FT REQUIRED  
8 STORAGE SHEDS PROVIDED AS FOLLOWS:  
(8) AT 6'-3" X 7'-6" X 7'-3" AVG. H = 340 CU FT



**3 ROOF PLAN**  
SCALE 1/8" = 1'-0"



**MAIN ST. MARKETPLACE  
LOT ONE HOUSING PROJECT  
- BUILDING G**  
CARBONDALE, COLORADO



PROJECT NO:  
21812.00  
SHEET TITLE  
**SCHEMATIC DESIGN -  
FLOOR PLANS**

**A.G.102**  
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CONSTRUCTION

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(T) 970/925 4755 (F) 970/920 2950  
Consultant

**MATERIAL CALL OUTS LEGEND**

- WT WOOD TIMBER
- RS RAIN SCREEN
- HW HORIZONTAL WOOD SIDING
- VW VERTICAL WOOD SIDING
- B BRICK VENEER
- MR METAL ROOFING
- MS METAL SIDING
- HC HORIZONTAL FIBER CEMENT SIDING
- VC VERTICAL FIBER CEMENT SIDING
- E EIFS
- S SANDSTONE
- W METAL CLAD WINDOW
- D INSULATED METAL DOORS

**NOTE:**  
REFER TO A.M.101 AND A.M.102 FOR MATERIAL SAMPLES.

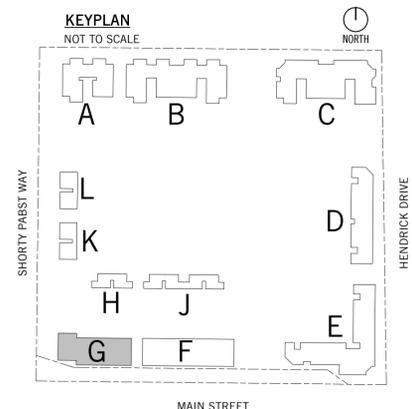
Issue: 07.27.2018 APPROVAL SET



**2** EXTERIOR ELEVATION - NORTH  
SCALE 1/8" = 1'-0"



**1** EXTERIOR ELEVATION - SOUTH  
SCALE 1/8" = 1'-0"



**MAIN ST. MARKETPLACE  
LOT ONE HOUSING PROJECT  
- BUILDING G**  
CARBONDALE, COLORADO

PROJECT NO:  
21812.00

SHEET TITLE  
**SCHEMATIC DESIGN -  
EXTERIOR ELEVATIONS**

**A.G.201**

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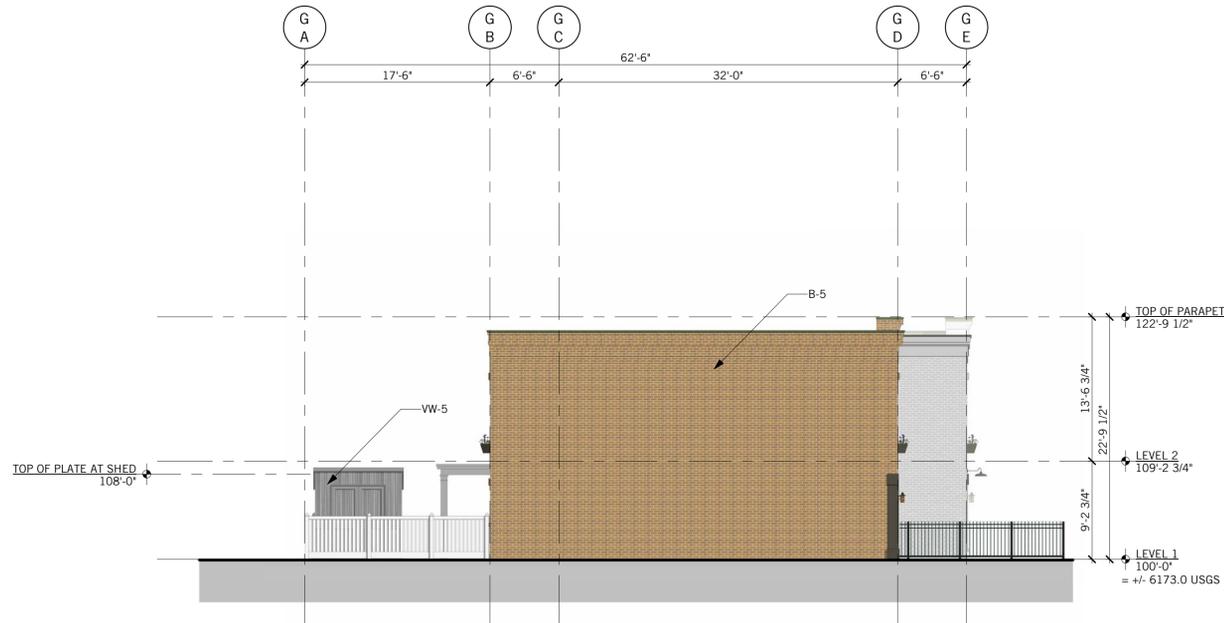
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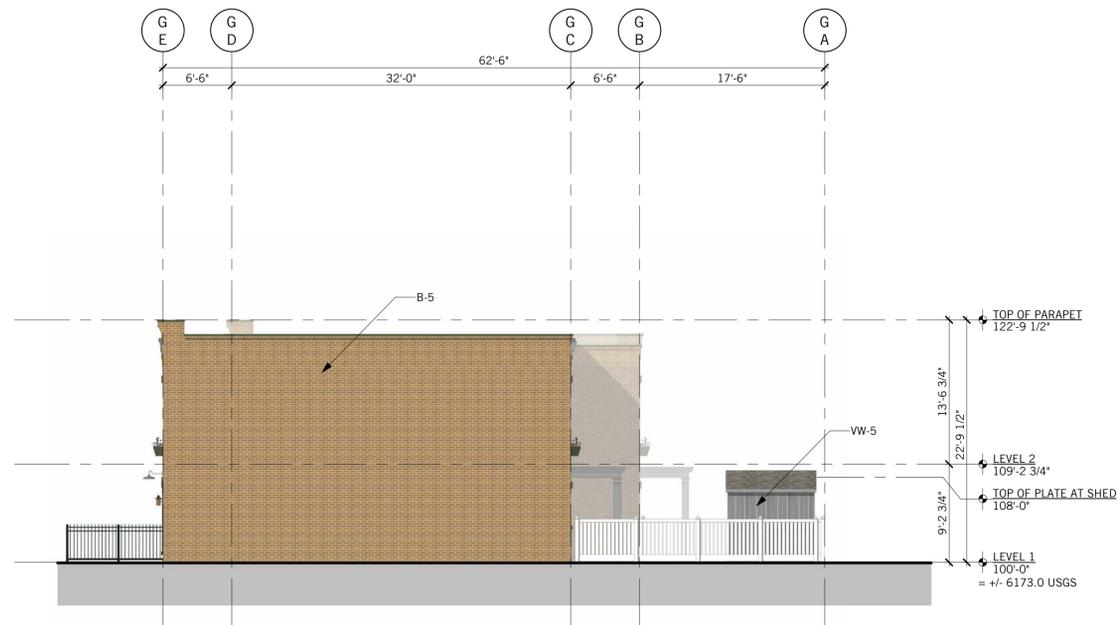
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- VC VERTICAL FIBER CEMENT SIDING
- E EIFS
- S SANDSTONE
- W METAL CLAD WINDOW
- D INSULATED METAL DOORS

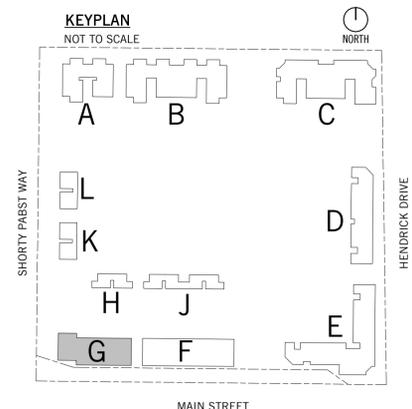
**NOTE:**  
REFER TO A.M.101 AND A.M.102 FOR MATERIAL SAMPLES.



**4** EXTERIOR ELEVATION - WEST  
SCALE 1/8" = 1'-0"



**3** EXTERIOR ELEVATION - EAST  
SCALE 1/8" = 1'-0"



Issue: 07.27.2018 APPROVAL SET

MAIN ST. MARKETPLACE  
LOT ONE HOUSING PROJECT  
- BUILDING G  
CARBONDALE, COLORADO

PROJECT NO:  
21812.00

SHEET TITLE  
SCHEMATIC DESIGN -  
EXTERIOR ELEVATIONS

**A.G.202**

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NOT FOR  
CONSTRUCTION

- UNIT TYPE LEGEND**
- STUDIO FLAT
  - 1 BEDROOM FLAT
  - 2 BEDROOM FLAT
  - 2 BEDROOM TOWNHOME (2 LEVEL)
  - 3 BEDROOM TOWNHOME (3 LEVEL)
  - COMMERCIAL
  - PRIVATE OUTDOOR SPACE
- TYPE A = ACCESSIBILITY PER ANSI A117.1  
TYPE B = ACCESSIBILITY PER ANSI A117.1  
CHG = COMMUNITY HOUSING GUIDELINES

**RESIDENTIAL UNIT COUNT**

LEVEL	STUDIO FLAT	1 BEDROOM FLAT	2 BEDROOM FLAT	2 BEDROOM TOWNHOME (2-LEVEL)	3 BEDROOM TOWNHOME (3-LEVEL)
LEVEL 1	2	0	0	0	0
LEVEL 2	0	0	0	0	0
LEVEL 3	0	0	0	0	0
<b>BUILDING TOTAL</b>	<b>2</b>	<b>0</b>	<b>0</b>	<b>0</b>	<b>0</b>

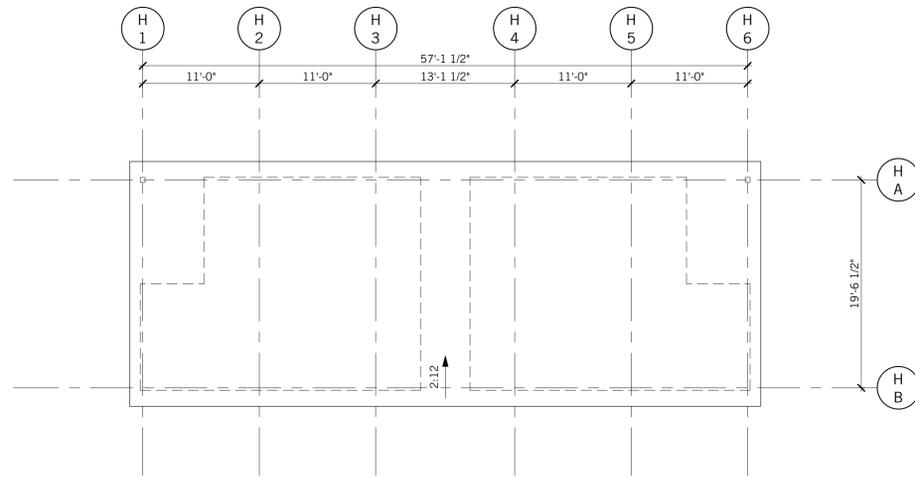
**BUILDING AREAS**

LEVEL	MECH. / MAINT. / STORAGE	GROSS SF
LEVEL 1	MECH. / MAINT. / STORAGE	122 SF
LEVEL 2	STUDIO (2 UNITS)	938 SF
<b>TOTAL SF</b>		<b>1,060 SF</b>

**NOTE:**  
SF INCLUDES INTERIOR SPACES ONLY. DOES NOT INCLUDE EXTERIOR STAIRS AND BALCONIES.

**BULK STORAGE AREAS**

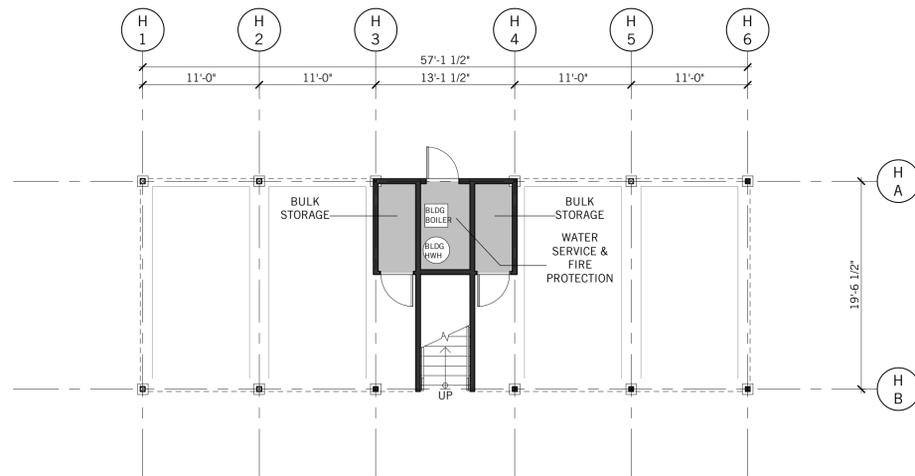
**BLDG H REQUIRED BULK STORAGE SUMMARY**  
2 RESIDENTIAL UNITS AS FOLLOWS:  
(2) STUDIO UNITS AT 469  
THUS, (2) STORAGE ROOMS AT  
156 CU FT REQUIRED  
  
2 STORAGE ROOMS PROVIDED AS FOLLOWS:  
(2) AT 3'-5" X 8'-1" X 8'-0" H = 220 CU FT



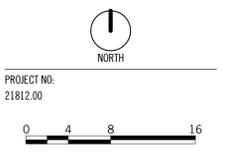
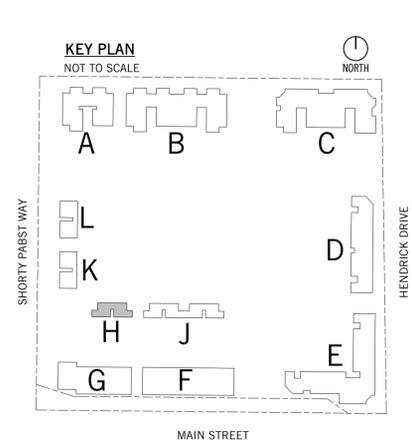
**3 ROOF PLAN**  
SCALE 1/8" = 1'-0"



**2 FLOOR PLAN - LEVEL 2**  
SCALE 1/8" = 1'-0"



**1 FLOOR PLAN - LEVEL 1**  
SCALE 1/8" = 1'-0"



PROJECT NO:  
21812.00  
SHEET TITLE  
**SCHEMATIC DESIGN -  
FLOOR PLANS**

**A.H.101**

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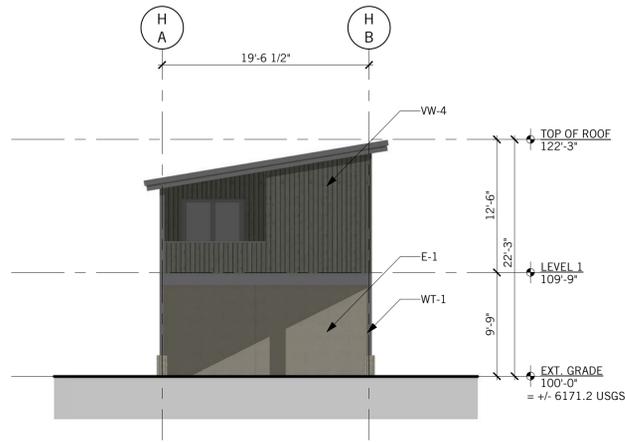
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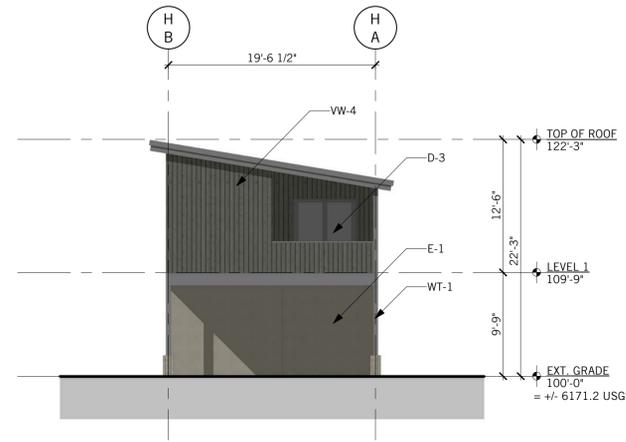
**MATERIAL CALL OUTS LEGEND**

- WT WOOD TIMBER
- RS RAIN SCREEN
- HW HORIZONTAL WOOD SIDING
- VW VERTICAL WOOD SIDING
- B BRICK VENEER
- MR METAL ROOFING
- MS METAL SIDING
- HC HORIZONTAL FIBER CEMENT SIDING
- VC VERTICAL FIBER CEMENT SIDING
- E EIFS
- S SANDSTONE
- W METAL CLAD WINDOW
- D INSULATED METAL DOORS

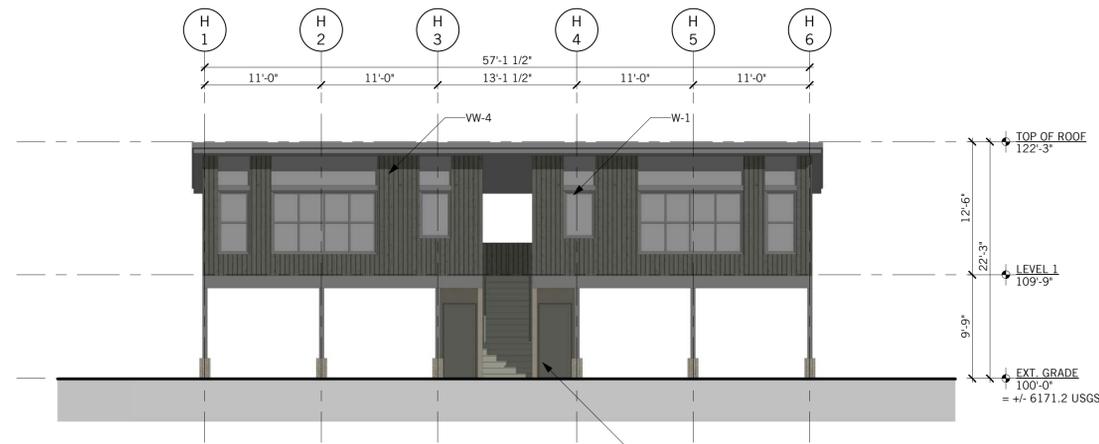
**NOTE:**  
REFER TO A.M.101 AND A.M.102 FOR MATERIAL SAMPLES.



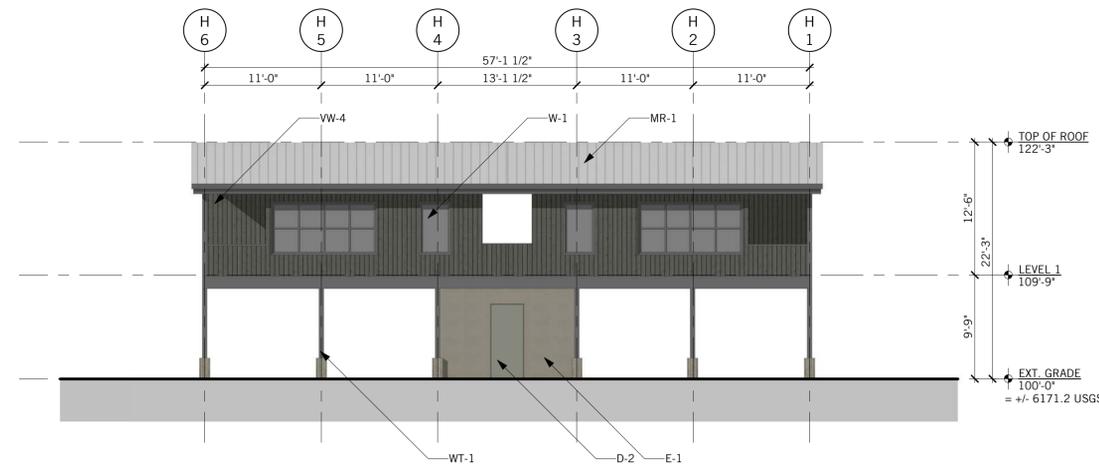
**4** EXTERIOR ELEVATION - WEST  
SCALE 1/8" = 1'-0"



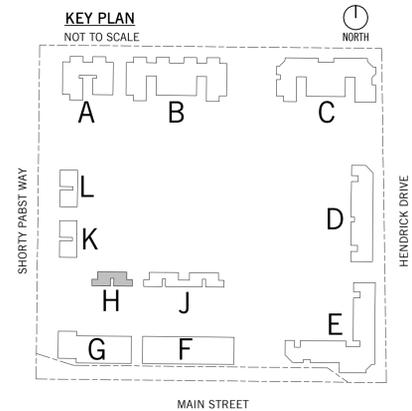
**3** EXTERIOR ELEVATION - EAST  
SCALE 1/8" = 1'-0"



**2** EXTERIOR ELEVATION - SOUTH  
SCALE 1/8" = 1'-0"



**1** EXTERIOR ELEVATION - NORTH  
SCALE 1/8" = 1'-0"



Issue: 07.27.2018 APPROVAL SET

MAIN ST. MARKETPLACE  
LOT ONE HOUSING PROJECT  
- BUILDING H  
CARBONDALE, COLORADO

PROJECT NO:  
21812.00



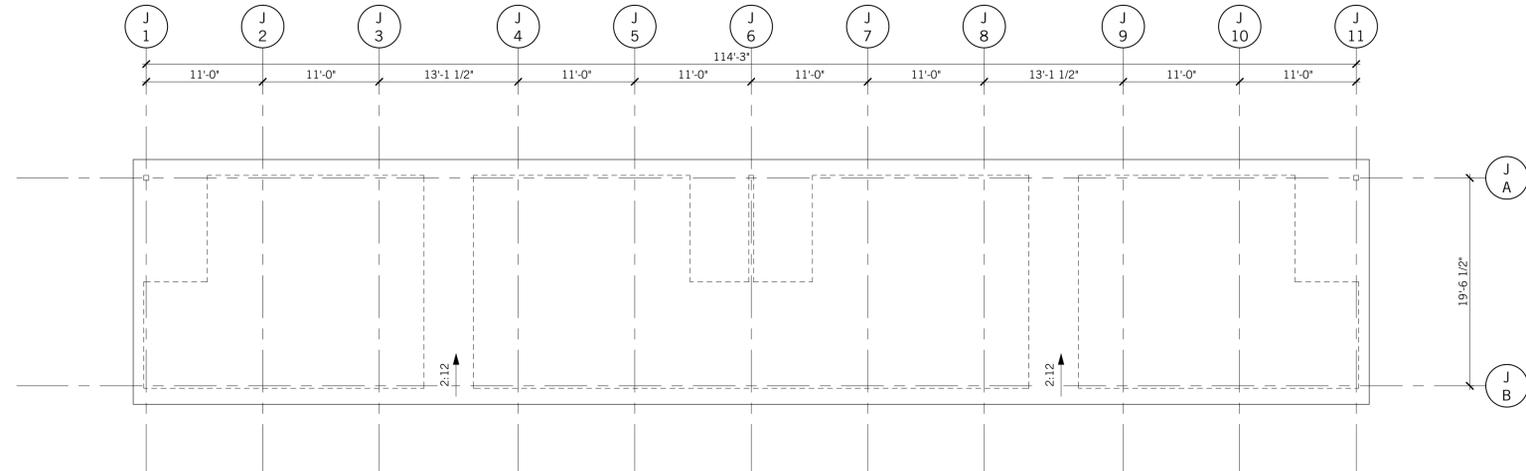
SHEET TITLE  
SCHEMATIC DESIGN -  
EXTERIOR ELEVATIONS

**A.H.201**

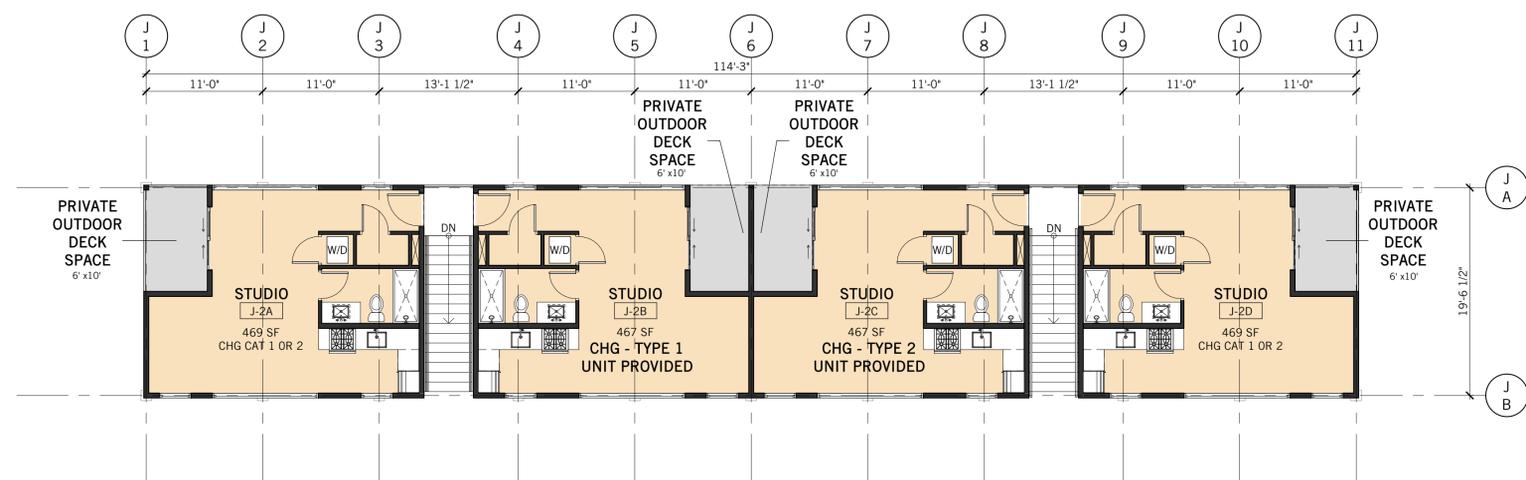
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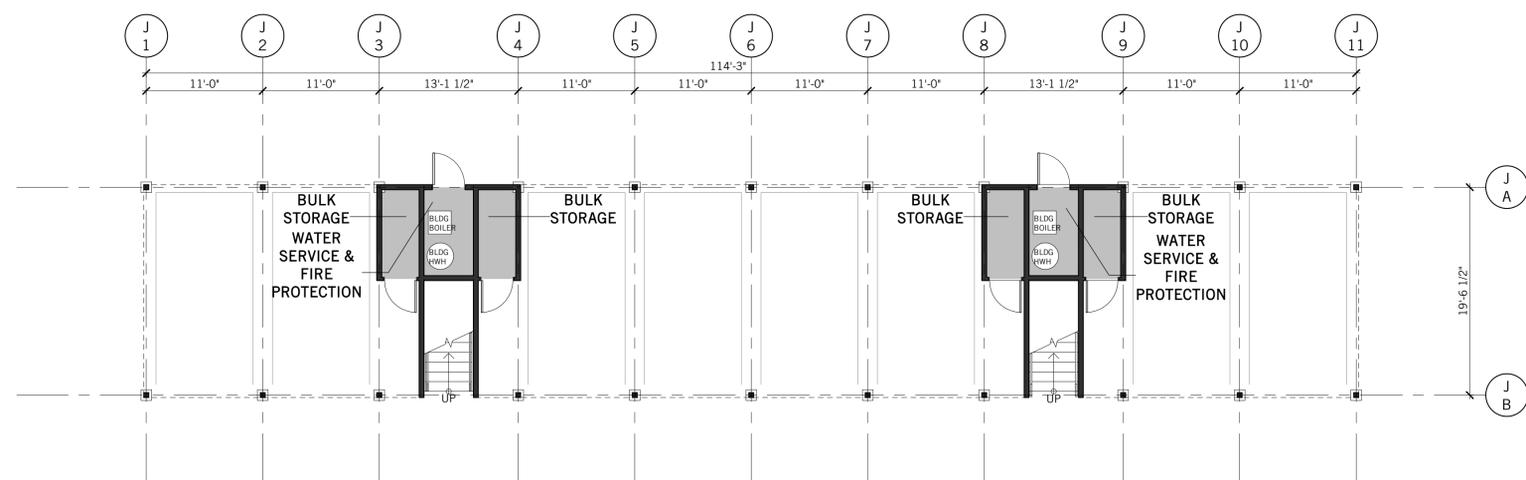
311 MAIN STREET CARBONDALE, CO 81611  
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Consultant



**3 ROOF PLAN**  
SCALE 1/8" = 1'-0"



**2 FLOOR PLAN - LEVEL 2**  
SCALE 1/8" = 1'-0"



**1 FLOOR PLAN - LEVEL 1**  
SCALE 1/8" = 1'-0"

**UNIT TYPE LEGEND**

- STUDIO FLAT
- 1 BEDROOM FLAT
- 2 BEDROOM FLAT
- 2 BEDROOM TOWNHOME (2 LEVEL)
- 3 BEDROOM TOWNHOME (3 LEVEL)
- COMMERCIAL
- PRIVATE OUTDOOR SPACE

TYPE A = ACCESSIBILITY PER ANSI A117.1  
TYPE B = ACCESSIBILITY PER ANSI A117.1  
CHG = COMMUNITY HOUSING GUIDELINES

**RESIDENTIAL UNIT COUNT**

LEVEL	STUDIO FLAT	1 BEDROOM FLAT	2 BEDROOM FLAT	2 BEDROOM TOWNHOME (2-LEVEL)	3 BEDROOM TOWNHOME (3-LEVEL)
LEVEL 1	4				
LEVEL 2					
LEVEL 3					
<b>BUILDING TOTAL</b>	<b>4</b>				

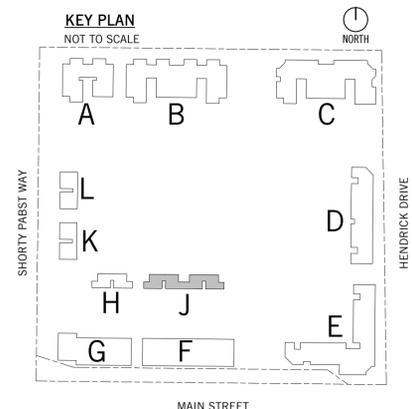
**BUILDING AREAS**

LEVEL	MECH. / MAINT. / STORAGE	GROSS SF
LEVEL 1		244 SF
LEVEL 2	STUDIO (4 UNITS)	1,872 SF
<b>TOTAL SF</b>		<b>2,116 SF</b>

**NOTE:**  
SF INCLUDES INTERIOR SPACES ONLY. DOES NOT INCLUDE EXTERIOR STAIRS AND BALCONIES.

**BULK STORAGE AREAS**

**BLDG J REQUIRED BULK STORAGE SUMMARY**  
4 RESIDENTIAL UNITS AS FOLLOWS:  
(4) STUDIO UNITS AT 469  
THUS, (4) STORAGE ROOMS AT  
156 CU FT REQUIRED  
4 STORAGE ROOMS PROVIDED AS FOLLOWS:  
(4) AT 3'-5" X 8'-1" X 8'-0" H = 220 CU FT



Issue: 07.27.2018 APPROVAL SET

**MAIN ST. MARKETPLACE  
LOT ONE HOUSING PROJECT  
- BUILDING J**  
CARBONDALE, COLORADO

PROJECT NO:  
21812.00  
0 4 8 16  
SCALE

SHEET TITLE  
**SCHEMATIC DESIGN -  
FLOOR PLANS**

**A.J.101**

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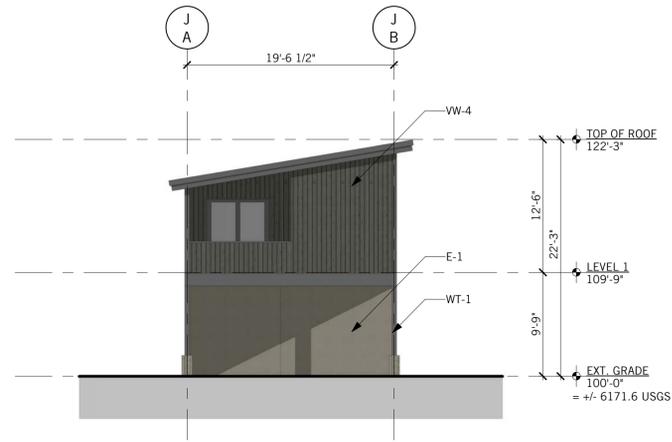
NOT FOR  
CONSTRUCTION

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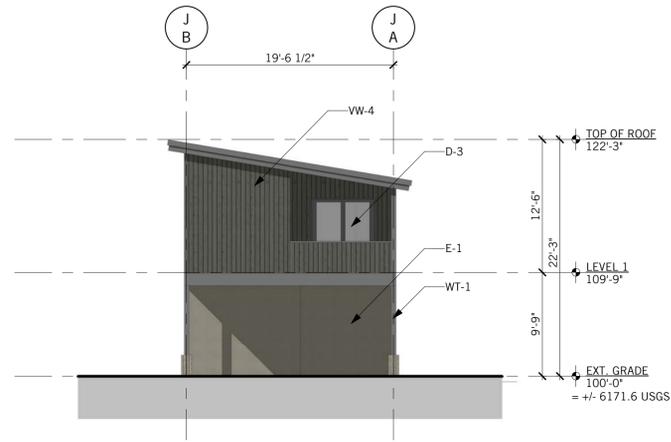
**MATERIAL CALL OUTS LEGEND**

- WT WOOD TIMBER
- RS RAIN SCREEN
- HW HORIZONTAL WOOD SIDING
- VW VERTICAL WOOD SIDING
- B BRICK VENEER
- MR METAL ROOFING
- MS METAL SIDING
- HC HORIZONTAL FIBER CEMENT SIDING
- VC VERTICAL FIBER CEMENT SIDING
- E EIFS
- S SANDSTONE
- W METAL CLAD WINDOW
- D INSULATED METAL DOORS

**NOTE:**  
REFER TO A.M.101 AND A.M.102 FOR MATERIAL SAMPLES.



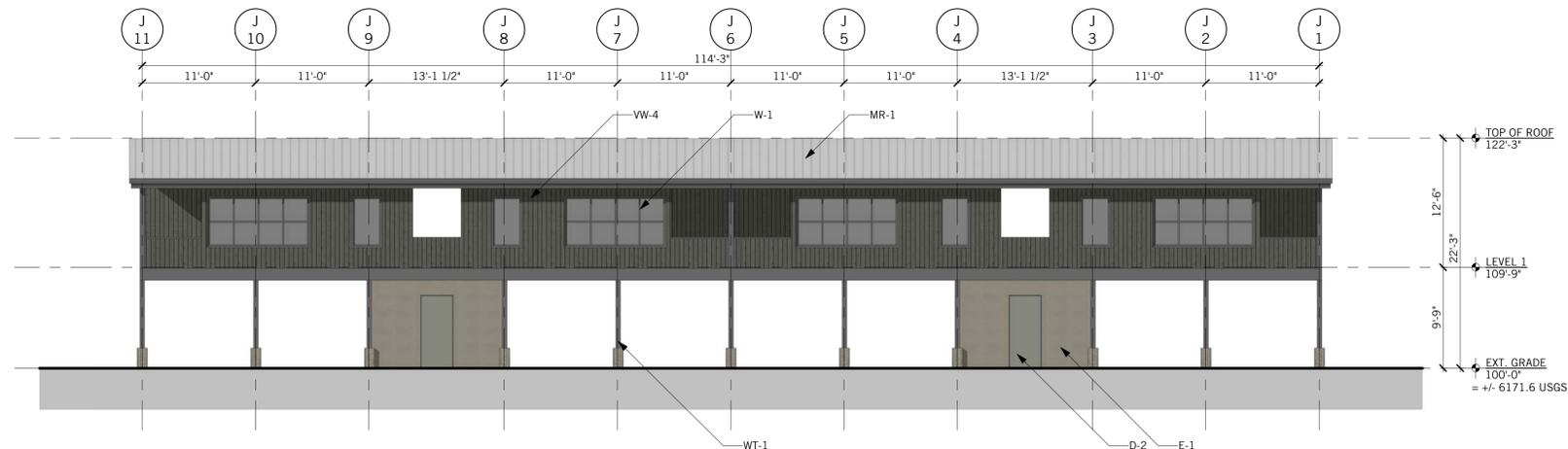
**4** EXTERIOR ELEVATION - WEST  
SCALE 1/8" = 1'-0"



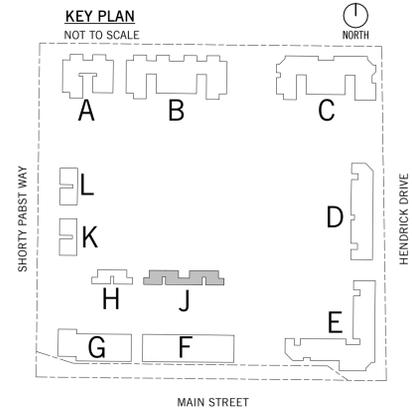
**3** EXTERIOR ELEVATION - EAST  
SCALE 1/8" = 1'-0"



**2** EXTERIOR ELEVATION - SOUTH  
SCALE 1/8" = 1'-0"



**1** EXTERIOR ELEVATION - NORTH  
SCALE 1/8" = 1'-0"



Issue: 07.27.2018 APPROVAL SET

**MAIN ST. MARKETPLACE  
LOT ONE HOUSING PROJECT  
- BUILDING J**  
CARBONDALE, COLORADO

PROJECT NO:  
21812.00

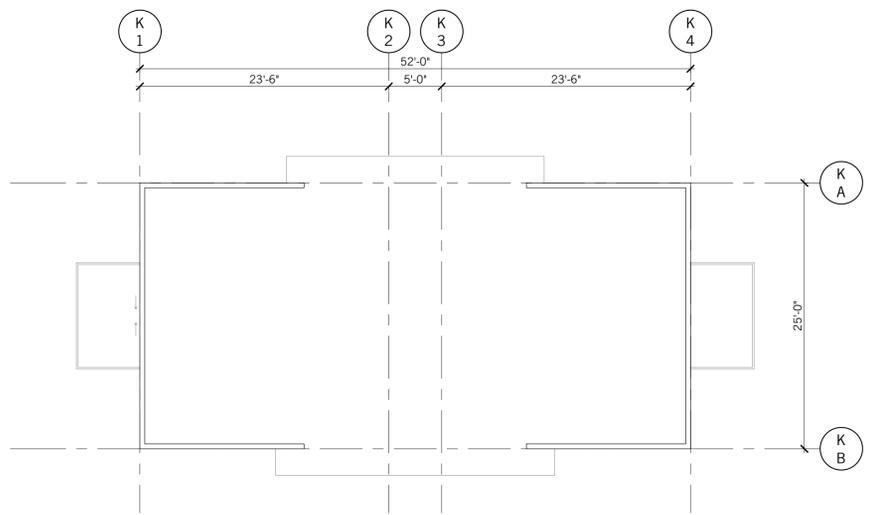


SHEET TITLE  
**SCHEMATIC DESIGN -  
EXTERIOR ELEVATIONS**

**A.J.201**

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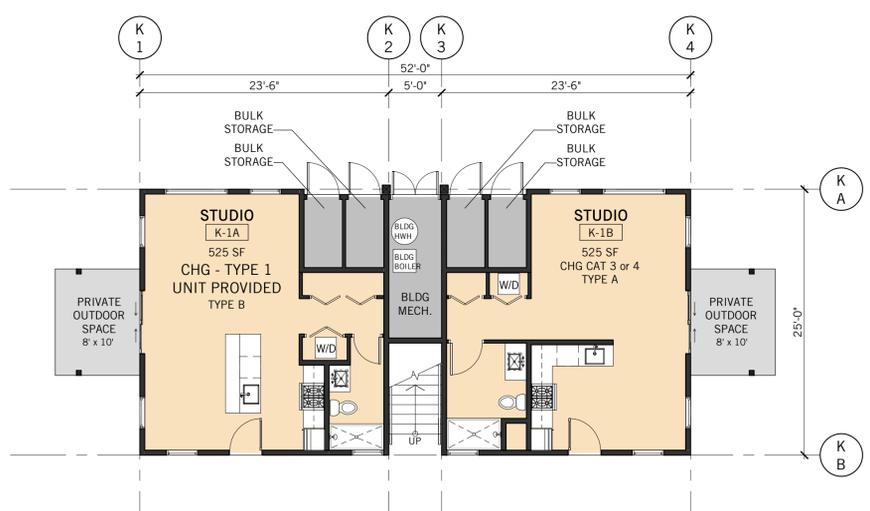
NOT FOR CONSTRUCTION



**3 ROOF PLAN**  
SCALE 1/8" = 1'-0"



**2 FLOOR PLAN - LEVEL 2**  
SCALE 1/8" = 1'-0"



**1 FLOOR PLAN - LEVEL 1**  
SCALE 1/8" = 1'-0"

- UNIT TYPE LEGEND**
- STUDIO FLAT
  - 1 BEDROOM FLAT
  - 2 BEDROOM FLAT
  - 2 BEDROOM TOWNHOME (2 LEVEL)
  - 3 BEDROOM TOWNHOME (3 LEVEL)
  - COMMERCIAL
  - PRIVATE OUTDOOR SPACE
- TYPE A = ACCESSIBILITY PER ANSI A117.1  
TYPE B = ACCESSIBILITY PER ANSI A117.1  
CHG = COMMUNITY HOUSING GUIDELINES

**RESIDENTIAL UNIT COUNT**

	STUDIO FLAT	1 BEDROOM FLAT	2 BEDROOM FLAT	2 BEDROOM TOWNHOME (2-LEVEL)	3 BEDROOM TOWNHOME (3-LEVEL)
LEVEL 1	2				
LEVEL 2	2				
LEVEL 3					
<b>BUILDING TOTAL</b>	<b>4</b>				

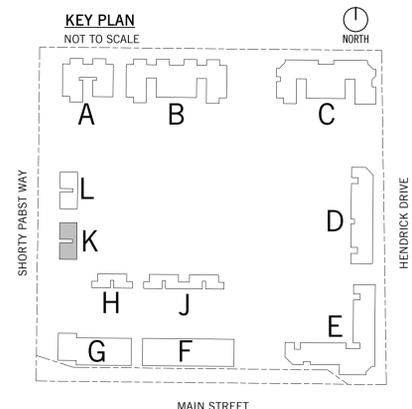
**BUILDING AREAS**

LEVEL	DESCRIPTION	GROSS SF
LEVEL 1	STUDIO (2 UNITS)	1,050 SF
	MECH. / MAINT. / STORAGE	232 SF
LEVEL 2	STUDIO (2 UNITS)	1,058 SF
<b>TOTAL SF</b>		<b>2,340 SF</b>

**NOTE:**  
SF INCLUDES INTERIOR SPACES ONLY. DOES NOT INCLUDE EXTERIOR STAIRS AND BALCONIES.

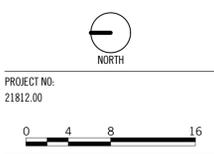
**BULK STORAGE AREAS**

BLDG K REQUIRED BULK STORAGE SUMMARY  
4 RESIDENTIAL UNITS AS FOLLOWS:  
(4) STUDIO UNITS AT 537 SF MAX.  
THUS, (4) STORAGE ROOMS AT 179 CU FT REQUIRED  
4 STORAGE ROOMS PROVIDED AS FOLLOWS:  
(4) AT 3'-6 1/2" X 6'-4" X 8'-0" H = 179 CU FT



Issue: 07.27.2018 APPROVAL SET

**MAIN ST. MARKETPLACE  
LOT ONE HOUSING PROJECT  
- BUILDING K**  
CARBONDALE, COLORADO



PROJECT NO:  
21812.00

SHEET TITLE  
**SCHEMATIC DESIGN -  
FLOOR PLANS**

**A.K.101**

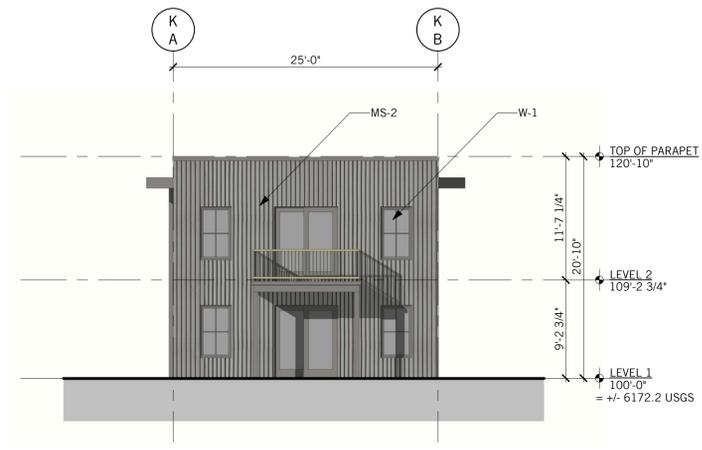
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CONSTRUCTION

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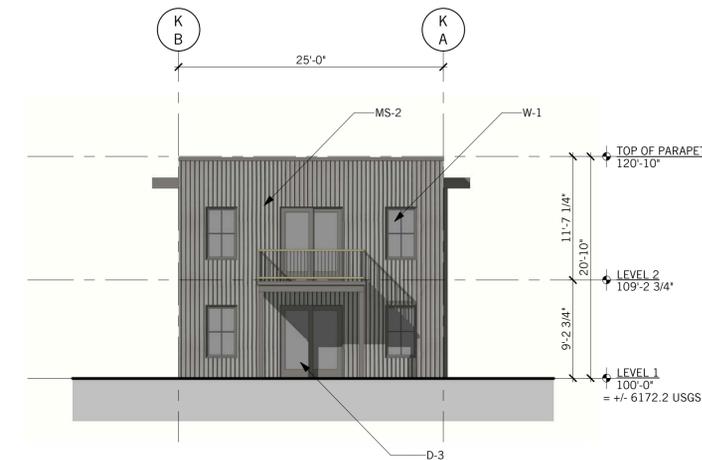
**MATERIAL CALL OUTS LEGEND**

- WT WOOD TIMBER
- RS RAIN SCREEN
- HW HORIZONTAL WOOD SIDING
- VW VERTICAL WOOD SIDING
- B BRICK VENEER
- MR METAL ROOFING
- MS METAL SIDING
- HC HORIZONTAL FIBER CEMENT SIDING
- VC VERTICAL FIBER CEMENT SIDING
- E EIFS
- S SANDSTONE
- W METAL CLAD WINDOW
- D INSULATED METAL DOORS

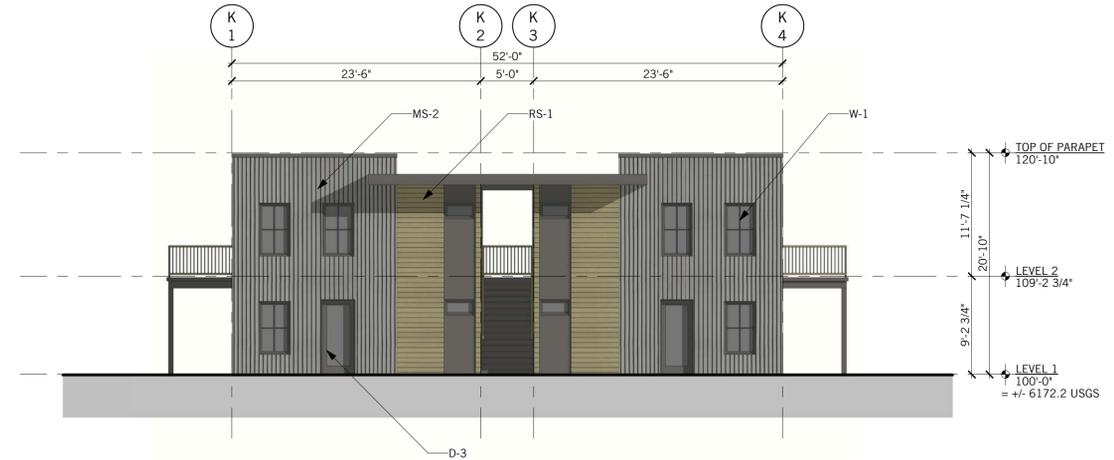
**NOTE:**  
REFER TO A.M.101 AND A.M.102 FOR MATERIAL SAMPLES.



**4** EXTERIOR ELEVATION - NORTH  
SCALE 1/8" = 1'-0"



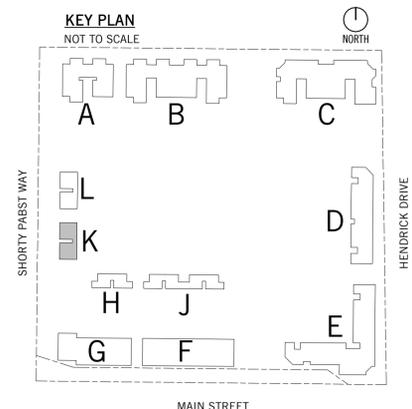
**3** EXTERIOR ELEVATION - SOUTH  
SCALE 1/8" = 1'-0"



**2** EXTERIOR ELEVATION - WEST  
SCALE 1/8" = 1'-0"



**1** EXTERIOR ELEVATION - EAST  
SCALE 1/8" = 1'-0"



Issue: 07.27.2018 APPROVAL SET

MAIN ST. MARKETPLACE  
LOT ONE HOUSING PROJECT  
- BUILDING K  
CARBONDALE, COLORADO

PROJECT NO:  
21812.00

SHEET TITLE  
SCHEMATIC DESIGN -  
EXTERIOR ELEVATIONS

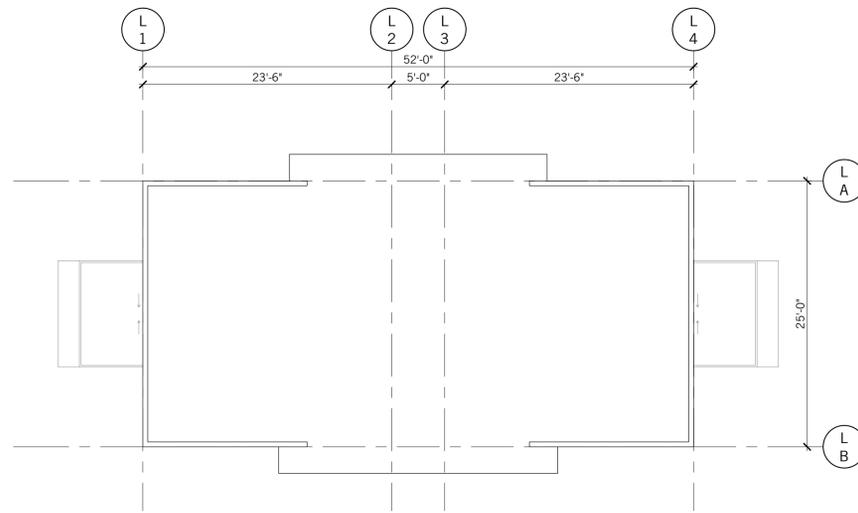
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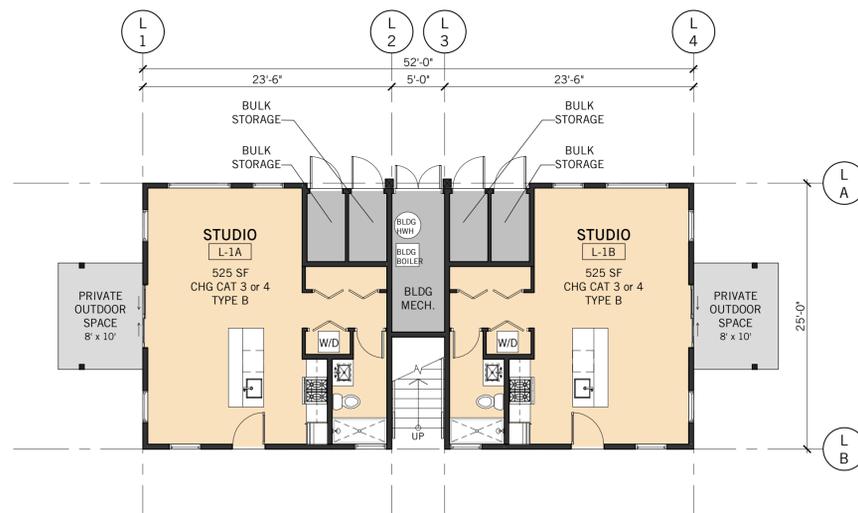
Issue: 07.27.2018 APPROVAL SET



**3 ROOF PLAN**  
SCALE 1/8" = 1'-0"



**2 FLOOR PLAN - LEVEL 2**  
SCALE 1/8" = 1'-0"



**1 FLOOR PLAN - LEVEL 1**  
SCALE 1/8" = 1'-0"

- UNIT TYPE LEGEND**
- STUDIO FLAT
  - 1 BEDROOM FLAT
  - 2 BEDROOM FLAT
  - 2 BEDROOM TOWNHOME (2 LEVEL)
  - 3 BEDROOM TOWNHOME (3 LEVEL)
  - COMMERCIAL
  - PRIVATE OUTDOOR SPACE
- TYPE A = ACCESSIBILITY PER ANSI A117.1  
TYPE B = ACCESSIBILITY PER ANSI A117.1  
CHG = COMMUNITY HOUSING GUIDELINES

**RESIDENTIAL UNIT COUNT**

	STUDIO FLAT	1 BEDROOM FLAT	2 BEDROOM FLAT	2 BEDROOM TOWNHOME (2-LEVEL)	3 BEDROOM TOWNHOME (3-LEVEL)
LEVEL 1	2				
LEVEL 2	2				
LEVEL 3					
<b>BUILDING TOTAL</b>	<b>4</b>				

**BUILDING AREAS**

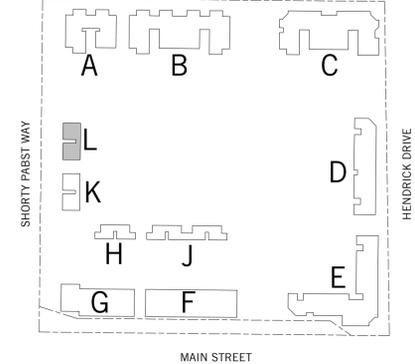
LEVEL	DESCRIPTION	GROSS SF
LEVEL 1	STUDIO (2 UNITS)	1,050 SF
	MECH. / MAINT. / STORAGE	232 SF
LEVEL 2	STUDIO (2 UNITS)	1,058 SF
<b>TOTAL SF</b>		<b>2,340 SF</b>

**NOTE:**  
SF INCLUDES INTERIOR SPACES ONLY. DOES NOT INCLUDE EXTERIOR STAIRS AND BALCONIES.

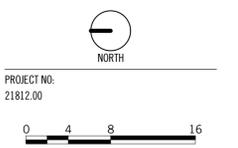
**BULK STORAGE AREAS**

**BLDG L REQUIRED BULK STORAGE SUMMARY**  
4 RESIDENTIAL UNITS AS FOLLOWS:  
(4) STUDIO UNITS AT 537 SF MAX.  
THUS, (4) STORAGE ROOMS AT 179 CU FT REQUIRED  
4 STORAGE ROOMS PROVIDED AS FOLLOWS:  
(4) AT 3'-6 1/2" X 6'-4" X 8'-0" H = 179 CU FT

**KEY PLAN**  
NOT TO SCALE



**MAIN ST. MARKETPLACE  
LOT ONE HOUSING PROJECT  
- BUILDING L**  
CARBONDALE, COLORADO



PROJECT NO:  
21812.00  
SHEET TITLE  
**SCHEMATIC DESIGN -  
FLOOR PLANS**

**A.L.101**

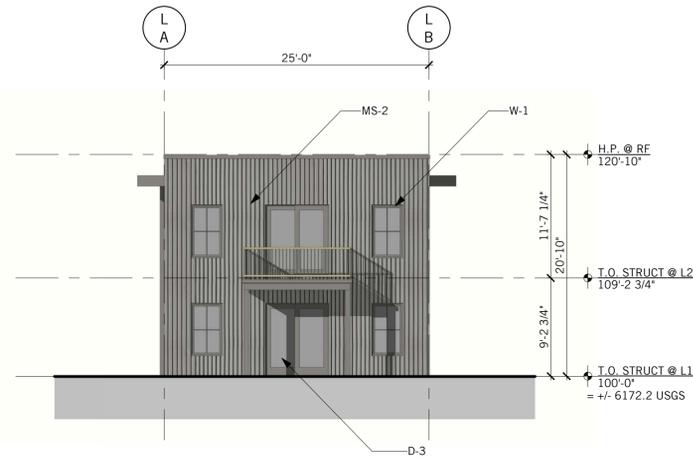
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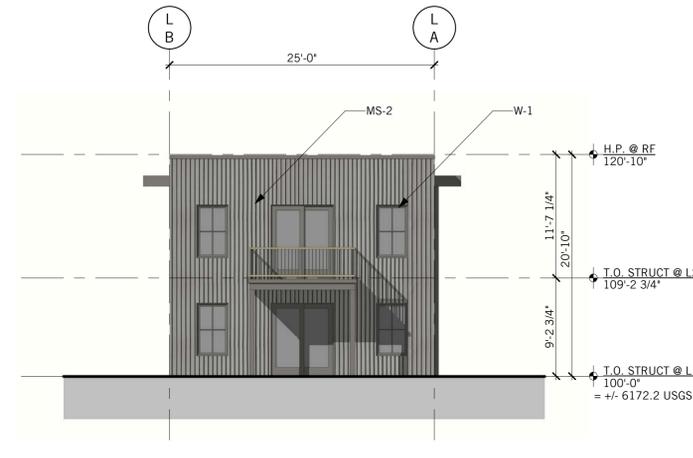
**MATERIAL CALL OUTS LEGEND**

- WT WOOD TIMBER
- RS RAIN SCREEN
- HW HORIZONTAL WOOD SIDING
- VW VERTICAL WOOD SIDING
- B BRICK VENEER
- MR METAL ROOFING
- MS METAL SIDING
- HC HORIZONTAL FIBER CEMENT SIDING
- VC VERTICAL FIBER CEMENT SIDING
- E EIFS
- S SANDSTONE
- W METAL CLAD WINDOW
- D INSULATED METAL DOORS

**NOTE:**  
REFER TO A.M.101 AND A.M.102 FOR MATERIAL SAMPLES.



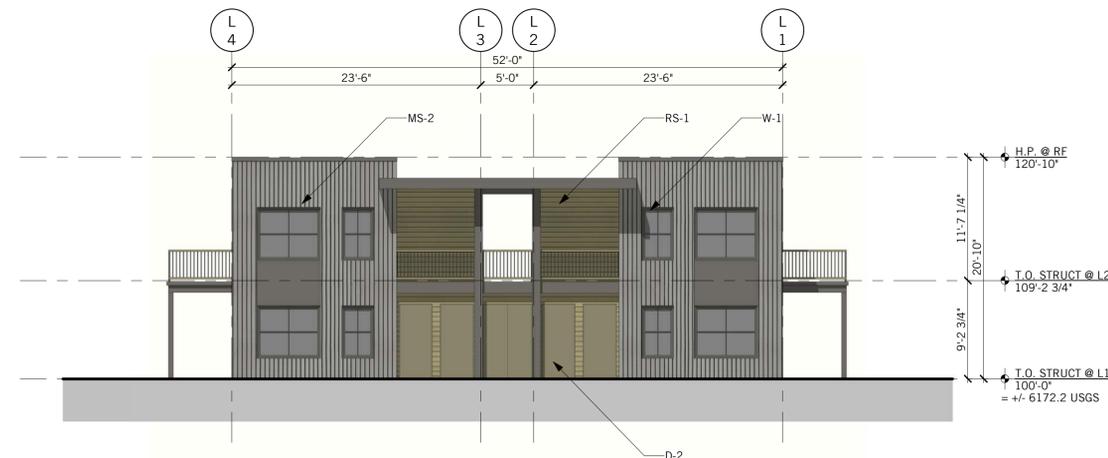
**4** EXTERIOR ELEVATION - NORTH  
SCALE 1/8" = 1'-0"



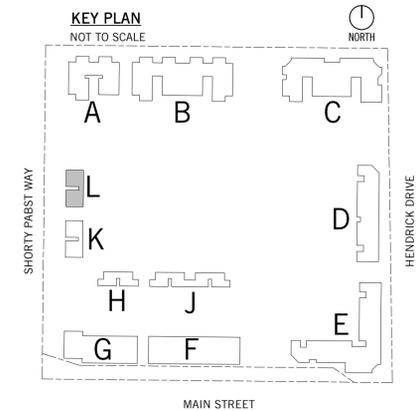
**3** EXTERIOR ELEVATION - SOUTH  
SCALE 1/8" = 1'-0"



**2** EXTERIOR ELEVATION - WEST  
SCALE 1/8" = 1'-0"



**1** EXTERIOR ELEVATION - EAST  
SCALE 1/8" = 1'-0"



Issue: 07.27.2018 APPROVAL SET

MAIN ST. MARKETPLACE  
LOT ONE HOUSING PROJECT  
- BUILDING L  
CARBONDALE, COLORADO

PROJECT NO:  
21812.00



SHEET TITLE  
**SCHEMATIC DESIGN -  
EXTERIOR ELEVATIONS**

**A.L.201**

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WOOD TIMBER -  
DOUGLAS FIR  
TYPE WT-1



RAIN SCREEN SIDING -  
CLEAR FINISH  
TYPE RS-1



HORIZONTAL WOOD SIDING -  
CLEAR FINISH  
TYPE HW-1



STAINED AND PAINTED  
TYPE HW-2



VERTICAL WOOD SIDING -  
CLEAR FINISH  
TYPE VW-1



STAINED AND PAINTED  
TYPE VW-2



TYPE VW-3



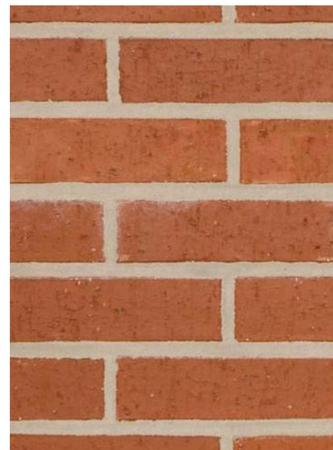
TYPE VW-4



TYPE VW-5



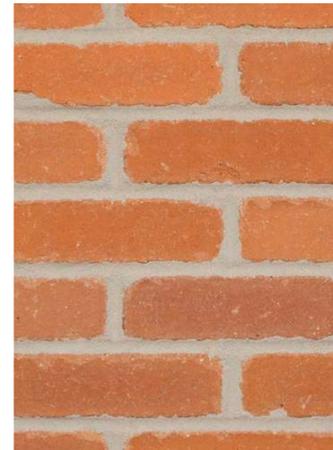
BRICK VENEER -  
TYPE B-1



TYPE B-2



TYPE B-3



TYPE B-4



TYPE B-5



TYPE B-6



**METAL ROOFING -  
STANDING SEAM  
TYPE MR-1**



**METAL SIDING -  
VERTICAL  
TYPE MS-1**



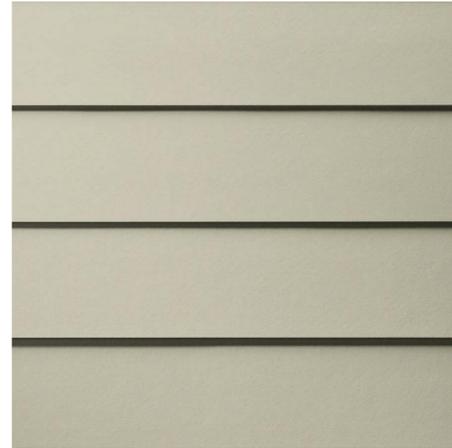
**VERTICAL  
TYPE MS-2**



**HORIZONTAL  
TYPE MS-3**



**HORIZONTAL FIBER CEMENT SIDING -  
REVERSE BOARD AND BATTEN SIDING  
TYPE HC-1**



**LAP SIDING  
TYPE HC-2**



**VERTICAL FIBER CEMENT SIDING -  
BOARD AND BATTEN SIDING  
TYPE VC-1**



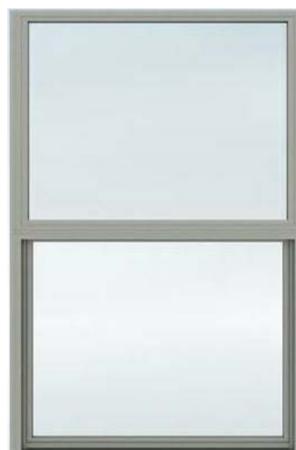
**REVERSE BOARD AND BATTEN  
TYPE VC-2**



**EIFS -  
TYPE E-1**



**SANDSTONE -  
TYPE S-1**



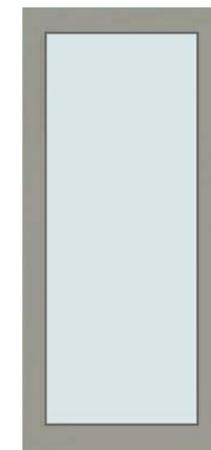
**METAL CLAD WOOD  
WINDOWS -  
TYPE W-1**



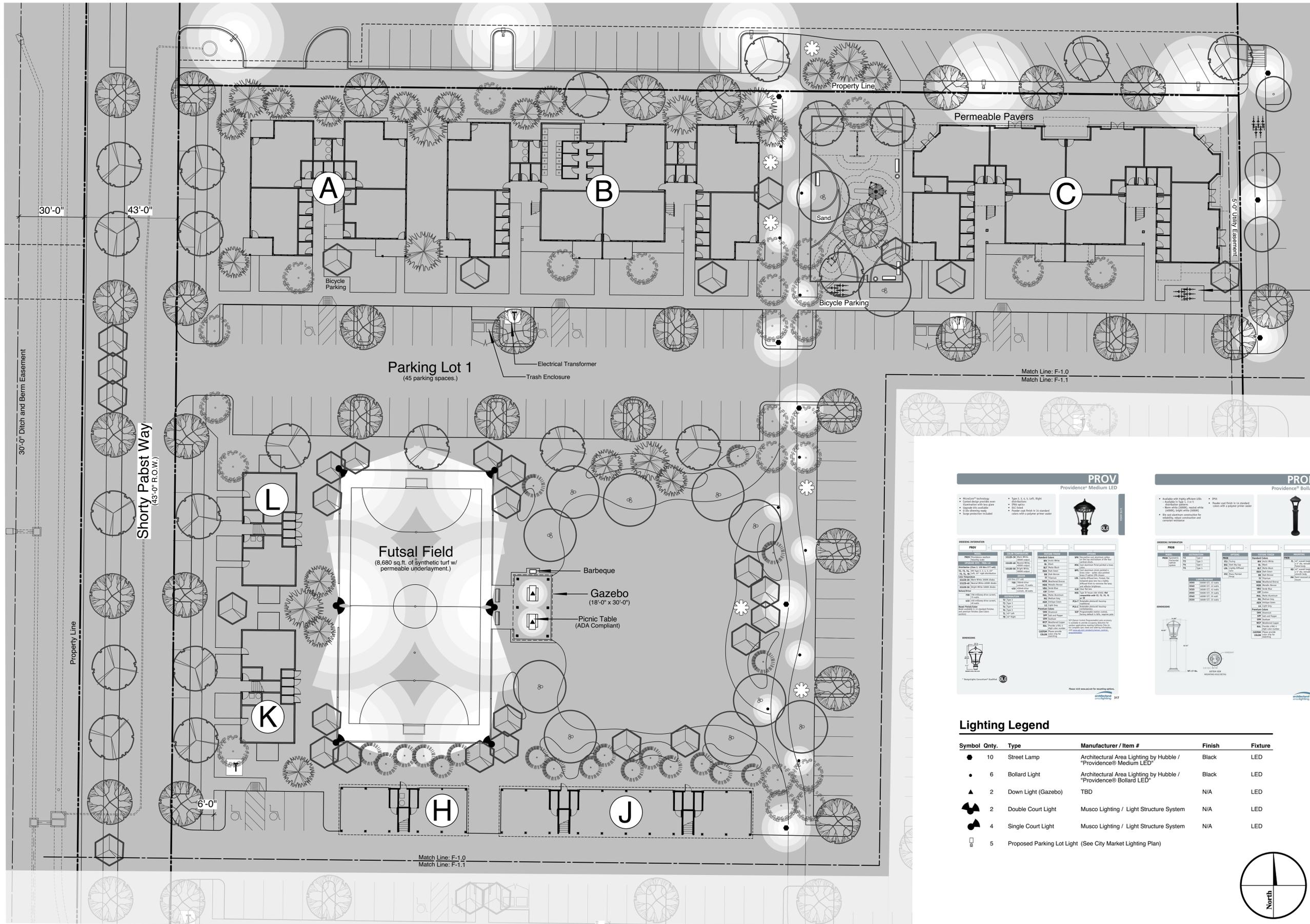
**INSUL. METAL DOORS -  
UNIT ENTRIES  
TYPE D-1**



**HOLLOW METAL DOORS-  
STORAGE / UTILITIES  
TYPE D-2**



**METAL CLAD WOOD  
DOORS-  
TYPE D-3**



**PROV**  
 Providence® Medium LED

- Available with high efficient LED
- Available in 1, 2, 3, 4, 5, 6, 7, 8, 9, 10, 12, 15, 18, 24, 30, 36, 48, 60, 72, 96, 120, 144, 180, 240, 300, 360, 480, 600, 720, 900, 1080, 1440, 1800, 2160, 2700, 3240, 3600, 4320, 5040, 5760, 6480, 7200, 8100, 9000, 10800, 12960, 15120, 17280, 19440, 21600, 24480, 27360, 30240, 33120, 36000, 40320, 44640, 48960, 53280, 57600, 61920, 66240, 70560, 74880, 79200, 83520, 87840, 92160, 96480, 100800, 105120, 109440, 113760, 118080, 122400, 126720, 131040, 135360, 139680, 144000, 148320, 152640, 156960, 161280, 165600, 170000, 174300, 178600, 182900, 187200, 191500, 195800, 200100, 204400, 208700, 213000, 217300, 221600, 225900, 230200, 234500, 238800, 243100, 247400, 251700, 256000, 260300, 264600, 268900, 273200, 277500, 281800, 286100, 290400, 294700, 299000, 303300, 307600, 311900, 316200, 320500, 324800, 329100, 333400, 337700, 342000, 346300, 350600, 354900, 359200, 363500, 367800, 372100, 376400, 380700, 385000, 389300, 393600, 397900, 402200, 406500, 410800, 415100, 419400, 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961200, 965500, 969800, 974100, 978400, 982700, 987000, 991300, 995600, 999900, 1004200, 1008500, 1012800, 1017100, 1021400, 1025700, 1030000, 1034300, 1038600, 1042900, 1047200, 1051500, 1055800, 1060100, 1064400, 1068700, 1073000, 1077300, 1081600, 1085900, 1090200, 1094500, 1098800, 1103100, 1107400, 1111700, 1116000, 1120300, 1124600, 1128900, 1133200, 1137500, 1141800, 1146100, 1150400, 1154700, 1159000, 1163300, 1167600, 1171900, 1176200, 1180500, 1184800, 1189100, 1193400, 1197700, 1202000, 1206300, 1210600, 1214900, 1219200, 1223500, 1227800, 1232100, 1236400, 1240700, 1245000, 1249300, 1253600, 1257900, 1262200, 1266500, 1270800, 1275100, 1279400, 1283700, 1288000, 1292300, 1296600, 1300900, 1305200, 1309500, 1313800, 1318100, 1322400, 1326700, 1331000, 1335300, 1339600, 1343900, 1348200, 1352500, 1356800, 1361100, 1365400, 1369700, 1374000, 1378300, 1382600, 1386900, 1391200, 1395500, 1399800, 1404100, 1408400, 1412700, 1417000, 1421300, 1425600, 1429900, 1434200, 1438500, 1442800, 1447100, 1451400, 1455700, 1460000, 1464300, 1468600, 1472900, 1477200, 1481500, 1485800, 1490100, 1494400, 1498700, 1503000, 1507300, 1511600, 1515900, 1520200, 1524500, 1528800, 1533100, 1537400, 1541700, 1546000, 1550300, 1554600, 1558900, 1563200, 1567500, 1571800, 1576100, 1580400, 1584700, 1589000, 1593300, 1597600, 1601900, 1606200, 1610500, 1614800, 1619100, 1623400, 1627700, 1632000, 1636300, 1640600, 1644900, 1649200, 1653500, 1657800, 1662100, 1666400, 1670700, 1675000, 1679300, 1683600, 1687900, 1692200, 1696500, 1700800, 1705100, 1709400, 1713700, 1718000, 1722300, 1726600, 1730900, 1735200, 1739500, 1743800, 1748100, 1752400, 1756700, 1761000, 1765300, 1769600, 1773900, 1778200, 1782500, 1786800, 1791100, 1795400, 1799700, 1804000, 1808300, 1812600, 1816900, 1821200, 1825500, 1829800, 1834100, 1838400, 1842700, 1847000, 1851300, 1855600, 1859900, 1864200, 1868500, 1872800, 1877100, 1881400, 1885700, 1890000, 1894300, 1898600, 1902900, 1907200, 1911500, 1915800, 1920100, 1924400, 1928700, 1933000, 1937300, 1941600, 1945900, 1950200, 1954500, 1958800, 1963100, 1967400, 1971700, 1976000, 1980300, 1984600, 1988900, 1993200, 1997500, 2001800, 2006100, 2010400, 2014700, 2019000, 2023300, 2027600, 2031900, 2036200, 2040500, 2044800, 2049100, 2053400, 2057700, 2062000, 2066300, 2070600, 2074900, 2079200, 2083500, 2087800, 2092100, 2096400, 2100700, 2105000, 2109300, 2113600, 2117900, 2122200, 2126500, 2130800, 2135100, 2139400, 2143700, 2148000, 2152300, 2156600, 2160900, 2165200, 2169500, 2173800, 2178100, 2182400, 2186700, 2191000, 2195300, 2199600, 2203900, 2208200, 2212500, 2216800, 2221100, 2225400, 2229700, 2234000, 2238300, 2242600, 2246900, 2251200, 2255500, 2259800, 2264100, 2268400, 2272700, 2277000, 2281300, 2285600, 2289900, 2294200, 2298500, 2302800, 2307100, 2311400, 2315700, 2320000, 2324300, 2328600, 2332900, 2337200, 2341500, 2345800, 2350100, 2354400, 2358700, 2363000, 2367300, 2371600, 2375900, 2380200, 2384500, 2388800, 2393100, 2397400, 2401700, 2406000, 2410300, 2414600, 2418900, 2423200, 2427500, 2431800, 2436100, 2440400, 2444700, 2449000, 2453300, 2457600, 2461900, 2466200, 2470500, 2474800, 2479100, 2483400, 2487700, 2492000, 2496300, 2500600, 2504900, 2509200, 2513500, 2517800, 2522100, 2526400, 2530700, 2535000, 2539300, 2543600, 2547900, 2552200, 2556500, 2560800, 2565100, 2569400, 2573700, 2578000, 2582300, 2586600, 2590900, 2595200, 2599500, 2603800, 2608100, 2612400, 2616700, 2621000, 2625300, 2629600, 2633900, 2638200, 2642500, 2646800, 2651100, 2655400, 2659700, 2664000, 2668300, 2672600, 2676900, 2681200, 2685500, 2689800, 2694100, 2698400, 2702700, 2707000, 2711300, 2715600, 2719900, 2724200, 2728500, 2732800, 2737100, 2741400, 2745700, 2750000, 2754300, 2758600, 2762900, 2767200, 2771500, 2775800, 2780100, 2784400, 2788700, 2793000, 2797300, 2801600, 2805900, 2810200, 2814500, 2818800, 2823100, 2827400, 2831700, 2836000, 2840300, 2844600, 2848900, 2853200, 2857500, 2861800, 2866100, 2870400, 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5738700, 5743000, 5747300, 5751600, 5755900, 5760200, 5764500, 5768800, 5773100, 5777400, 5781700, 5786000, 5790300, 5794600, 5798900, 58



Parcel	Physical Address	Owner	Account Num	Mailing Address
239333100038	1493 106 COUNTY RD CARBONDALE	COLORADO ROCKY MOUNTAIN SCHOOL	R084066	1493 COUNTY ROAD 106 CARBONDALE, CO 81623-2357
239333400006	Not available CARBONDALE	AVALANCHE PROPERTIES	R340869	440 N JEFFERSON AVENUE EL DORADO, AR 71730
239333400024	1329 MAIN ST CARBONDALE	7-ELEVEN INC	R340875	PO BOX 711 DALLAS, TX 75221-0711
239333400029	1033 133 HWY CARBONDALE	TKG ST PETERS SHOPPING CENTER LLC	R340760	215 N STADIUM BLVD COLUMBIA, MO 65203
239333400033	1337 106 COUNTY RD CARBONDALE	CRYSTAL RIVER MARKETPLACE LLC	R341206	813 LAKESIDE DRIVE CARBONDALE, CO 81623
239333400041	985 133 HWY CARBONDALE	LUTRELL, JAMES H REVOCABLE TRUST & LOEVA REVOCABLE TRUST	R590001	587 S 2ND STREET CARBONDALE, CO 81623
239333400042	1393 106 COUNTY RD CARBONDALE	CRYSTAL RIVER MARKETPLACE LLC	R590002	813 LAKESIDE DRIVE CARBONDALE, CO 81623
239333404002	40 CLEARWATER RD CARBONDALE	KITCHAR, SUANNE	R340544	729 THOMAS STREET KEY WEST, FL 33040
239333404003	60 CLEARWATER RD CARBONDALE	FLORES, AURELIO AGUILAR	R340573	60 CLEARWATER ROAD CARBONDALE, CO 81623-1805
239333404004	80 CLEARWATER RD CARBONDALE	BRANAM, BARRY LEE	R340318	80 CLEARWATER RD CARBONDALE, CO 81623
239333404005	100 CLEARWATER RD CARBONDALE	KRUEGER, ROBERT M	R340495	100 CLEARWATER ROAD CARBONDALE, CO 81623
239333404006	120 CLEARWATER RD CARBONDALE	HAYES, TERRANCE J & TERRY L	R340242	120 CLEARWATER ROAD CARBONDALE, CO 81623-1807
239333404007	140 CLEARWATER RD CARBONDALE	VORIES, DAN E & NANCY M	R340567	140 CLEARWATER ROAD CARBONDALE, CO 81623-1807
239333408012	100 VILLAGE LN CARBONDALE	JONES, JO & RUSTY	R590056	100 VILLAGE LANE CARBONDALE, CO 81623
239333435001	1380 MAIN ST #101 CARBONDALE	WARREN, JULIE G & CUNNINGHAM, RED	R590289	PO BOX 371 BASALT, CO 81621
239333435002	1378 MAIN ST #102 CARBONDALE	WARREN, JULIE & CUNNINGHAM, RED	R590290	PO BOX 371 BASALT, CO 81621-0371
239333435003	1380 MAIN ST #103 CARBONDALE	WATERS LLC	R590291	340 NORTH STAR LANE SEDONA, AZ 86336
239333435004	1380 MAIN ST #104 CARBONDALE	WATERS LLC	R590292	340 NORTH STAR LANE SEDONA, AZ 86336
239333435005	1372 W MAIN ST #105 CARBONDALE	WHITTAKER, LAUREN & WIMBERLEY, JADE	R590293	1372 WEST MAIN STREET #105 CARBONDALE, CO 81623
239333435006	1370 MAIN ST #106 CARBONDALE	O BRIEN, MAUREEN & SMOTHERMAN, FRANK A	R590294	328 STAGECOACH DRIVE CARBONDALE, CO 81623-9514
239333435007	1410 MAIN ST CARBONDALE	HUANG, YANG & LU, RONG QING	R590295	PO BOX 2288 ASPEN, CO 81612
239333435008	1408 MAIN ST CARBONDALE	HERHAHN, CHERYL A	R590296	60 OAK RUN CARBONDALE, CO 81623
239333435009	1406 MAIN ST CARBONDALE	LUU,TONG	R590297	814 WEST BLEEKER B-4 ASPEN, CO 81611
239333435010	1404 MAIN ST CARBONDALE	LUU,TONG	R590298	814 WEST BLEEKER B-4 ASPEN, CO 81611
239333435011	1402 MAIN ST CARBONDALE	CAMPIONE, FRANCES J TRUST	R590299	3500 MOUNTAIN GLADE DRIVE #8 HOLT, MI 48842
239333435012	1400 MAIN ST CARBONDALE	DALESSANDRI, THOMAS P & ROBIN A	R590300	175 OAK RUN ROAD CARBONDALE, CO 81623
239333435013	Not available CARBONDALE	LINES PLAZA CONDOMINIUM ASSOC	R590301	679 KINGS ROW STREET CARBONDALE, CO 81623-9768
239333437001	105 VILLAGE LN CARBONDALE	COLORADO KAHUNAS, LLC	R008635	426 HILLCREST DRIVE BASALT, CO 81621
239333437002	111 VILLAGE LN CARBONDALE	NIMA OF ASPEN, INC	R008636	405 E HYMAN AVE ASPEN, CO 81611
239333437007	141 VILLAGE LN CARBONDALE	LUU,TONG	R008641	814 WEST BLEEKER B-4 ASPEN, CO 81611
239333437008	147 VILLAGE LN CARBONDALE	LUU,TONG	R008642	814 WEST BLEEKER B-4 ASPEN, CO 81611
239333437009	VILLAGE RD CARBONDALE	LINES PLAZA II CONDOMINIUM OWNERS ASSOCIATION	R008643	679 KINGS ROW STREET CARBONDALE, CO 81623-9768
239333438001	Not available CARBONDALE	CBS VILLAGE LANE LLC	R041569	235 SNOWCAP CIRCLE CARBONDALE, CO 81623
239333440001	1430 MAIN ST CARBONDALE	LUU,TONG	R041999	814 WEST BLEEKER B-4 ASPEN, CO 81611
239333440002	1434 MAIN ST CARBONDALE	LUU, TONG	R042000	1434 MAIN STREET CARBONDALE, CO 81623
239333440003	1438 MAIN ST CARBONDALE	STEIN, BARRETT	R042001	1709 N 13TH STREET BOISE, ID 83702
239333440004	1442 MAIN ST CARBONDALE	DUNN, MICHELLE L & KINKA, ANDREW J	R042002	1442 MAIN STREET, UNIT 4 CARBONDALE, CO 81623
239333440005	1446 MAIN ST CARBONDALE	LUU, TONG KHON & TRAN, TUYET LE	R042003	814 BLEEKER #B4 ASPEN, CO 81611
239333440006	1450 MAIN ST #6 CARBONDALE	KUZMICH, CLAIBORNE	R042004	1450 MAIN STREET #6 CARBONDALE, CO 81623
239333441001	1460 W MAIN ST CARBONDALE	MD1, LLC	R044714	109 AABC ASPEN, CO 81611
239333441002	1464 W MAIN ST CARBONDALE	HERRERA, DAVID G	R044715	1464 MAIN STREET CARBONDALE, CO 81623
239333441003	1468 W MAIN ST CARBONDALE	MD1, LLC	R044716	4560 FRYING PAN ROAD BASALT, CO 81621
239333441004	1472 W MAIN ST CARBONDALE	VIVIAN, JOHN CHAPLAN	R044717	1472 W MAIN STREET CARBONDALE, CO 81623
239333441005	1476 W MAIN ST CARBONDALE	GREENWELL, PENELOPE	R044718	1476 W MAIN CARBONDALE, CO 81623
239333441006	1480 W MAIN ST CARBONDALE	JORDAN, ANNA J	R044719	1480 WEST MAIN STREET CARBONDALE, CO 81623
239333441007	Not available CARBONDALE	LUU, TONG & LINES, CARL GEORGE	R044720	814 W BLEEKER NO B4 ASPEN, CO 81611
239333442001	VILLAGE LN CARBONDALE	ALPINE BANK	R082552	600 EAST HOPKINS AVENUE, SUITE 100 ASPEN, CO 81611
239333442002	30 VILLAGE LN CARBONDALE	ALPINE BANK	R082553	600 EAST HOPKINS AVENUE, SUITE 100 ASPEN, CO 81611
239333453001	Not available null	CRYSTAL RIVER MARKETPLACE LLC	R084075	813 LAKESIDE DRIVE CARBONDALE, CO 81623
239333453002	Not available null	DILLON REAL ESTATE CO INC	R084076	65 TEJON STREET DENVER, CO 80223
239333453003	903 133 HWY CARBONDALE	DILLON REAL ESTATE CO INC	R084074	65 TEJON STREET DENVER, CO 80223

ALTA Commitment Form (6-17-06)  
COMMITMENT FOR TITLE INSURANCE



ISSUED BY

**WESTCOR LAND  
TITLE INSURANCE COMPANY**

Westcor Land Title Insurance Company, a California corporation ("Company"), for a valuable consideration, commits to issue its policy or policies of title insurance, as identified in Schedule A, in favor of the Proposed Insured named in Schedule A, as owner or mortgagee of the estate or interest in the land described or referred to in Schedule A, upon payment of the premiums and charges and compliance with the Requirements; all subject to the provisions of Schedules A and B and to the Conditions of this Commitment.

This Commitment shall be effective only when the identity of the Proposed Insured and the amount of the policy or policies committed for have been inserted in Schedule A by the Company.

All liability and obligation under this Commitment shall cease and terminate six (6) months after the Effective Date or when the policy or policies committed for shall issue, whichever first occurs, provided that the failure to issue the policy or policies is not the fault of the Company.

The Company will provide a sample of the policy form upon request.

IN WITNESS WHEREOF, WESTCOR LAND TITLE INSURANCE COMPANY has caused its corporate name and seal to be hereunto affixed and by these presents to be signed in facsimile under authority of its by-laws, effective as of the date of Commitment shown in Schedule A.

Issued By:



**The Title Company of the Rockies**  
1620 Grand Avenue Bldg Main, Floor 1  
Glenwood Springs, CO 81601  
Phone: 970-945-1169

**WESTCOR TITLE INSURANCE COMPANY**

HOME OFFICE  
201 N. New York Avenue, Suite 200  
Winter Park, Florida 32789  
Telephone: (407) 629-5842



By: Mary O'Donnell  
President  
Attest: Patricia H. Power  
Secretary

## CONDITIONS

1. The term mortgage, when used herein, shall include deed of trust, trust deed, or other security instrument.
2. If the proposed Insured has or acquired actual knowledge of any defect, lien, encumbrance, adverse claim or other matter affecting the estate or interest or mortgage thereon covered by this Commitment other than those shown in Schedule B hereof, and shall fail to disclose such knowledge to the Company in writing, the Company shall be relieved from liability for any loss or damage resulting from any act of reliance hereon to the extent the Company is prejudiced by failure to so disclose such knowledge. If the proposed Insured shall disclose such knowledge to the Company, or if the Company otherwise acquires actual knowledge of any such defect, lien, encumbrance, adverse claim or other matter, the Company at its option may amend Schedule B of this Commitment accordingly, but such amendment shall not relieve the Company from liability previously incurred pursuant to paragraph 3 of these Conditions and Stipulations.
3. Liability of the Company under this Commitment shall be only to the named proposed Insured and such parties included under the definition of Insured in the form of policy or policies committed for and only for actual loss incurred in reliance hereon in undertaking in good faith (a) to comply with the requirements hereof, or (b) to eliminate exceptions shown in Schedule B, or (c) to acquire or create the estate or interest or mortgage thereon covered by this Commitment. In no event shall such liability exceed the amount stated in Schedule A for the policy or policies committed for and such liability is subject to the insuring provisions and Conditions and Stipulations and the Exclusions from Coverage of the form of policy or policies committed for in favor of the proposed Insured which are hereby incorporated by reference and are made a part of this Commitment except as expressly modified herein.
4. This Commitment is a contract to issue one or more title insurance policies and is not an abstract of title or a report of the condition of title. Any action or actions or rights of action that the proposed Insured may have or may bring against the Company arising out of the status of the title to the estate or interest or the status of the mortgage thereon covered by this Commitment must be based on and are subject to the provisions of this Commitment.
5. *The policy to be issued contains an arbitration clause. All arbitrable matters when the Amount of Insurance is \$2,000,000 or less shall be arbitrated at the option of either the Company or the Insured as the exclusive remedy of the parties. You may review a copy of the arbitration rules at < <http://www.alta.org/>>.*

**Joint Notice of Privacy Policy**  
**of**  
**Westcor Land Title Insurance Company**  
**and**  
**The Title Company of the Rockies**

Westcor Land Title Insurance Company (“WLTIC”) and **The Title Company of the Rockies** value their customers and are committed to protecting the privacy of personal information. In keeping with that philosophy, we each have developed a Privacy Policy, set out below, that will endure the continued protection of your nonpublic personal information and inform you about the measures WLTIC and **The Title Company of the Rockies** take to safeguard that information. This notice is issued jointly as a means of paperwork reduction and is not intended to create a joint privacy policy. Each company's privacy policy is separately instituted, executed, and maintained.

**Who is Covered**

We provide our Privacy Policy to each customer when they purchase a WLTIC title insurance policy. Generally, this means that the Privacy Policy is provided to the customer at the closing of the real estate transaction.

**Information Collected**

In the normal course of business and to provide the necessary services to our customers, we may obtain nonpublic personal information directly from the customer, from customer-related transactions, or from third parties such as our title insurance agent, lenders, appraisers, surveyors and other similar entities.

**Access to Information**

Access to all nonpublic personal information is limited to those employees who have a need to know in order to perform their jobs. These employees include, but are not limited to, those in departments such as closing, legal, underwriting, claims and administration and accounting.

**Information Sharing**

Generally, neither WLTIC nor **The Title Company of the Rockies** shares nonpublic personal information that it collects with anyone other than those individuals necessary needed to complete the real estate settlement services and issue its title insurance policy as requested by the consumer. WLTIC or **The Title Company of the Rockies** may share nonpublic personal information as permitted by law with entities with whom WLTIC or **The Title Company of the Rockies** has a joint marketing agreement. Entities with whom WLTIC or **The Title Company of the Rockies** have a joint marketing agreement have agreed to protect the privacy of our customer's nonpublic personal information by utilizing similar precautions and security measures as WLTIC and **The Title Company of the Rockies** use to protect this information and to use the information for lawful purposes. WLTIC or **The Title Company of the Rockies**, however, may share information as required by law in response to a subpoena, to a government regulatory agency or to prevent fraud.

**Information Security**

WLTIC and **The Title Company of the Rockies**, at all times, strive to maintain the confidentiality and integrity of the personal information in its possession and has instituted measures to guard against its unauthorized access. We maintain physical, electronic and procedural safeguards in compliance with federal standards to protect that information.

*The WLTIC Privacy Policy can be found on WLTIC's website at [www.wltic.com](http://www.wltic.com)*

**COMMITMENT for TITLE INSURANCE**

issued by



as agent for

**WESTCOR LAND TITLE INSURANCE COMPANY**

**Reference:**

**Commitment Number:** 0601550-C

**Commitment Ordered By:**

Bob Schultz  
Robert Schultz Consulting, LLC  
354 Fawn Drive  
Carbondale, CO 81623  
Phone: 970-963-3670 Fax:  
email: rschultzconsulting@gmail.com

**Inquiries should be directed to:**

Mary Scheurich  
Title Company of the Rockies  
1620 Grand Avenue  
Bldg Main Floor 1  
Glenwood Springs, CO 81601  
Phone: 970-945-1169 Fax: 844-269-2759  
email: MScheurich@titlecorockies.com

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Reference Property Address:

**Lot 1 Carbondale Marketplace, Carbondale, CO 81623**

**SCHEDULE A**

1. Effective Date: **July 16, 2018, 7:00 am** Issue Date: **July 30, 2018**

2. Policy (or Policies) to be issued:

ALTA Owner's Policy (6-17-06)

Policy Amount:

*Amount to be Determined*

Premium:

*Amount to be Determined*

Proposed Insured: **A Buyer To Be Determined**

3. The estate or interest in the Land described or referred to in this Commitment is:

**Fee Simple**

and Title to said estate or interest is at the Effective Date vested in:

**Crystal River Marketplace, LLC, a Colorado limited liability company**

4. The Land referred to in this Commitment is located in the County of **Garfield**, State of **Colorado**, and is described as follows:

**Lot 1,  
CARBONDALE MARKETPLACE SUBDIVISION, according to the Plat thereof filed  
February 28, 2018 at Reception No. 903693.**

**COMMITMENT FOR TITLE INSURANCE**

**SCHEDULE B - SECTION I  
REQUIREMENTS**

THE FOLLOWING ARE THE REQUIREMENTS TO BE COMPLIED WITH:

Item (a) Payment to or for the account of the grantors or mortgagors of the full consideration for the estate or interest to be insured.

Item (b) Proper instrument(s) creating the estate or interest to be insured must be executed and duly filed for record, to wit:

1. Resolution or Statement of Authority by Crystal River Marketplace, LLC, a Colorado limited liability company, authorizing the transaction, executed by the managers or members set forth in the Operating Agreement.

NOTE: Review Operating Agreement for authority of party(ies) to act on behalf of said limited liability company and complete the transaction contemplated herein.

2. Deed from Crystal River Marketplace, LLC, a Colorado limited liability company to A Buyer To Be Determined.

NOTE: Duly executed real property transfer declaration, executed by either the Grantor or Grantee, to accompany the Deed mentioned above, pursuant to Article 14 of House Bill No. 1288-CRA 39-14-102.

THE COMPANY RESERVES THE RIGHT TO CONDUCT AN ADDITIONAL SEARCH OF THE RECORDS IN THE OFFICE OF THE CLERK AND RECORDER FOR GARFIELD COUNTY, COLORADO FOR JUDGMENT LIENS, TAX LIENS OR OTHER SIMILAR OR DISSIMILAR INVOLUNTARY MATTERS AFFECTING THE GRANTEE OR GRANTEES, AND TO MAKE SUCH ADDITIONAL REQUIREMENTS AS IT DEEMS NECESSARY, AFTER THE IDENTITY OF THE GRANTEE OR GRANTEES HAS BEEN DISCLOSED TO THE COMPANY.

NOTE: THIS COMMITMENT IS ISSUED UPON THE EXPRESS AGREEMENT AND UNDERSTANDING THAT THE APPLICABLE PREMIUMS, CHARGES AND FEES SHALL BE PAID BY THE APPLICANT IF THE APPLICANT AND/OR ITS DESIGNEE OR NOMINEE CLOSES THE TRANSACTION CONTEMPLATED BY OR OTHERWISE RELIES UPON THE COMMITMENT, ALL IN ACCORDANCE WITH THE RULES AND SCHEDULES OF RATES ON FILE WITH THE COLORADO DEPARTMENT OF INSURANCE.

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**COMMITMENT FOR TITLE INSURANCE****SCHEDULE B - SECTION II  
EXCEPTIONS**

Schedule B of the policy or policies to be issued will contain exceptions to the following matters unless the same are disposed of to the satisfaction of the Company.

Any loss or damage, including attorney fees, by reason of the matters shown below:

1. Any facts, rights, interests, or claims which are not shown by the Public Records but which could be ascertained by an inspection of said Land or by making inquiry of persons in possession thereof.
2. Easements or claims of easements, not shown by the Public Records.
3. Any encroachment, encumbrance, violation, variation, or adverse circumstance affecting the Title that would be disclosed by an accurate and complete land survey of the Land.
4. Any lien, or right to a lien for services, labor or material heretofore or hereafter furnished, imposed by law and not shown by the Public Records.
5. Defects, liens, encumbrances, adverse claims or other matters, if any created, first appearing in the Public Records or attaching subsequent to the effective date hereof, but prior to the date of the proposed insured acquires of record for value the estate or interest or mortgage thereon covered by this Commitment.
6. (a) Taxes or assessments that are not shown as existing liens by the records of any taxing authority that levies taxes or assessments on real property or by the Public Records; (b) proceedings by a public agency that may result in taxes or assessments, or notices of such proceedings, whether or not shown by the records of such agency or by the Public Records.
7. Right of the Proprietor of a vein or lode to extract and remove his ore therefrom, should the same be found to penetrate or intersect the premises hereby granted, as reserved in United States Patent recorded April 3, 1892, in Book 12 at Page 126.
8. Terms, agreements, provisions, conditions and obligations as contained in Agreement recorded May 22, 1906 in Book 51 at Page 582.
9. Terms, agreements, provisions, conditions and obligations of easement and right of way as contained in instrument recorded May 23, 1923, in Book 117 at Page 582.
10. An undivided one-half (1/2) interest in oil, gas and other mineral rights, as reserved in instrument recorded February 28, 1948, in Book 234 at Page 330, and any and all assignments thereof or interests therein.
11. Restrictions, which do not contain a forfeiture or reverter clause, as contained in instrument recorded February 28, 1948, in Book 234 at Page 330.
12. All oil, gas and other mineral rights, as reserved in instrument recorded July 22, 1952, in Book 265 at Page 132, and any and all assignments thereof or interests therein.
13. Easements and rights of way granted to Public Service Company of Colorado by instrument

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recorded September 22, 1961, in Book 337 at Page 10.

14. Terms, agreements, provisions, conditions and obligations as contained in Ordinance No. 11 recorded May 22, 1979, in Book 528 at Page 828.
15. Easements, rights of way and all other matters as shown on the Plat of Colorado Rocky Mountain School Subdivision Exemption, filed March 13, 1998, at Reception No. 521824.
16. Terms, agreements, provisions, conditions and obligations as contained in Water Drainage and Detention Easement Agreement recorded March 26, 2003, in Book 1451 at Page 95.
17. Terms, agreements, provisions, conditions and obligations as contained in Ordinance No. 5, Series of 2010 recorded September 16, 2010, at Reception No. 791486.
18. Easements, rights of way and all other matters as shown on the Plat of Lot Line Adjustment of Crystal River Marketplace, LLC and CRMS Properties, filed September 16, 2010, at Reception No. 791487.
19. Easement and right of way for utility line purposes, as granted by Crystal River Marketplace LLC to Public Service Company of Colorado, by instrument recorded October 23, 2013 at Reception No. 842357, said easement being more particularly described therein.
20. Terms, agreements, provisions, conditions and obligations as contained in Ordinance No. 16, Series of 2017 recorded October 5, 2017 at Reception No. 899078.
21. Terms, agreements, provisions, conditions and obligations as contained in Memorandum of Agreement recorded June 15, 2016 at Reception No. 878457.
22. Easements, rights of way and all other matters as shown on the Plat of Carbondale Marketplace Subdivision, filed February 28, 2018 at Reception No. 903693.
23. Easement and right of way for public water, sanitary sewer and public utilities purposes, as granted by Crystal River MarketPlace LLC to The Town of Carbondale, Colorado, by instrument recorded February 28, 2018 at Reception No. 903700, said easement being more particularly described therein.
24. Terms, agreements, provisions, conditions and obligations as contained in Reciprocal Easement Agreement recorded February 28, 2018 at Reception No. 903701.

## DISCLOSURE STATEMENTS

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**Note 1:** Colorado Division of Insurance Regulations 3-5-1, Paragraph C of Article VII, requires that

"Every Title entity shall be responsible for all matters which appear of record prior to the time of recording whenever the Title entity conducts the closing and is responsible for recording or filing of legal documents resulting from the transaction which was closed." (Gap Protection)

**Note 2:** Exception No. 4 of Schedule B, Section 2 of this Commitment may be deleted from the Owner's Policy to be issued hereunder upon compliance with the following conditions:

- A. The Land described in Schedule A of this commitment must be a single-family residence, which includes a condominium or townhouse unit.
- B. No labor or materials may have been furnished by mechanics or materialmen for purpose of construction on the Land described in Schedule A of this Commitment within the past 13 months.
- C. The Company must receive an appropriate affidavit indemnifying the Company against unfiled mechanic's and materialmen's liens.
- D. Any deviation from conditions A through C above is subject to such additional requirements or Information as the Company may deem necessary, or, at its option, the Company may refuse to delete the exception.
- E. Payment of the premium for said coverage.

**Note 3:** The following disclosures are hereby made pursuant to §10-11-122, C.R.S.:

- (i) The subject real property may be located in a special taxing district;
- (ii) A certificate of taxes due listing each taxing jurisdiction shall be obtained from the County Treasurer or the County Treasurer's authorized agent; and
- (iii) Information regarding special districts and the boundaries of such districts may be obtained from the County Commissioners, the County Clerk and Recorder, or the County Assessor.

**Note 4:** If the sales price of the subject property exceeds \$100,000.00, the seller shall be required to comply with the disclosure or withholding provisions of C.R.S. §39-22-604.5 (Non-resident withholding).

**Note 5:** Pursuant to C.R.S. §10-11-123 Notice is hereby given:

- (a) If there is recorded evidence that a mineral estate has been severed, leased or otherwise conveyed from the surface estate then there is a substantial likelihood that a third party holds some or all interest in oil, gas, other minerals, or geothermal energy in the property, and
- (b) That such mineral estate may include the right to enter and use the property without the surface owner's permission.

**Note 6:** Effective September 1, 1997, C.R.S. §30-10-406 requires that all documents received for recording or filing in the clerk and recorder's office shall contain a top margin of at least one inch and a left, right and bottom margin of at least one-half inch the clerk and recorder may refuse to record or file any document that does not conform.

**Note 7:** Our Privacy Policy:

We will not reveal nonpublic personal customer information to any external non-affiliated organization unless we have been authorized by the customer, or are required by law.

**Note 8:** Records:

Regulation 3-5-1 Section 7 (N) provides that each title entity shall maintain adequate documentation and records sufficient to show compliance with this regulation and Title 10 of the Colorado Revised Statutes for a period of not less than seven (7) years, except as otherwise permitted by law.

**Note 9:** Pursuant Regulation 3-5-1 Section 9 (F) notice is hereby given that

"A title entity shall not earn interest on fiduciary funds unless disclosure is made to all necessary parties to a transaction that interest is or has been earned. Said disclosure must offer the opportunity to receive payment of any interest earned on such funds beyond any administrative fees as may be on file with the division. Said disclosure must be clear and conspicuous, and may be made at any time up to and including closing."

Be advised that the closing agent will or could charge an Administrative Fee for processing such an additional services request and any resulting payee will also be subjected to a W-9 or other required tax documentation for such purpose(s).

Be further advised that, for many transactions, the imposed Administrative Fee associated with such an additional service may exceed any such interest earned.

Therefore, you may have the right to some of the interest earned over and above the Administrative Fee, if applicable (e.g., any money over any administrative fees involved in figuring the amounts earned).

**Note 10:** Pursuant to Regulation 3-5-1 Section 9 (G) notice is hereby given that

"Until a title entity receives written instructions pertaining to the holding of fiduciary funds, in a form agreeable to the title entity, it shall comply with the following:

1. The title entity shall deposit funds into an escrow, trust, or other fiduciary account and hold them in a fiduciary capacity.
2. The title entity shall use any funds designated as "earnest money" for the consummation of the transaction as evidenced by the contract to buy and sell real estate applicable to said transaction, except as otherwise provided in this section. If the transaction does not close, the title entity shall:
  - a. Release the earnest money funds as directed by written instructions signed by both the buyer and seller; or
  - b. If acceptable written instructions are not received, uncontested funds shall be held by the title entity for 180 days from the scheduled date of closing, after which the title entity shall return said funds to the payor.
3. In the event of any controversy regarding the funds held by the title entity (notwithstanding any termination of the contract), the title entity shall not be required to take any action unless and until such controversy is resolved. At its option and discretion, the title entity may:
  - a. Await any proceeding; or
  - b. Interplead all parties and deposit such funds into a court of competent jurisdiction, and recover court costs and reasonable attorney and legal fees; or
  - c. Deliver written notice to the buyer and seller that unless the title entity receives a copy of a summons and complaint or claim (between buyer and seller), containing the case number of the lawsuit or lawsuits, within 120 days of the title entity's written notice delivered to the parties, title entity shall return the funds to the depositing party."

Title Company of the Rockies

Disclosures

All documents received for recording or filing in the Clerk and Recorder's office shall contain a top margin of at least one inch and a left, right and bottom margin of at least one half of an inch. The Clerk and Recorder will refuse to record or file any document that does not conform to the requirements of this section. Pursuant to C.R.S. 30-10-406(3)(a).

The company will not issue its policy or policies of title insurance contemplated by this commitment until it has been provided a Certificate of Taxes due or other equivalent documentation from the County Treasurer or the County Treasurer's authorized agent: or until the Proposed Insured has notified or instructed the company in writing to the contrary. Pursuant to C.R.S. 10-11-122.

No person or entity that provides closing and settlement services for a real estate transaction shall disburse funds as a part of such services until those funds have been received and are available for immediate withdrawals as a matter of right. Pursuant to C.R.S. 38-35-125(2).

The Company hereby notifies the proposed buyer in the current transaction that there may be recorded evidence that the mineral estate, or portion thereof, has been severed, leased, or otherwise conveyed from the surface estate. If so, there is a substantial likelihood that a third party holds some or all interest in the oil, gas, other minerals, or geothermal energy in the subject property. Such mineral estate may include the right to enter and use the property without the surface owner's permission. Pursuant to C.R.S. 10-11-123.

If this transaction includes a sale of property and the sales price exceeds \$100,000.00, the seller must comply with the disclosure/withholding requirements of said section. (Nonresident withholding) Pursuant to C.R.S. 39-22-604.5.

Notice is hereby given that: The subject property may be located in a special taxing district. A Certificate of Taxes due listing each taxing jurisdiction shall be obtained from the County Treasurer or the County Treasurer's authorized agent. Information regarding special districts and the boundaries of such districts may be obtained from the Board of County Commissioners, the County Clerk and Recorder, or the County Assessor. Pursuant to C.R.S. 10-11-122.

Notice is hereby given that: Pursuant to Colorado Division of Insurance Regulation 8-1-2;

"Gap Protection" -When this Company conducts the closing and is responsible for recording or filing the legal documents resulting from the transaction, the Company shall be responsible for all matters which appear on the record prior to such time or recording or filing; and

"Mechanic's Lien Protection" - If you are the buyer of a single family residence, you may request mechanic's lien coverage to be issued on your policy of Insurance. If the property being purchased has not been the subject of construction, improvements or repairs in the last six months prior to the date of this commitment, the requirements will be payment of the appropriate premium and the completion of an Affidavit and Indemnity by the seller. If the property being purchased was constructed, improved or repaired within six months prior to the date of this commitment the requirements may involve disclosure of certain financial information, payment of premiums, and indemnity, among others. The general requirements stated above are subject to revision and approval by the Company. Pursuant to C.R.S. 10-11-122.

Notice is hereby given that an ALTA Closing Protection Letter is available, upon request, to certain parties to the transaction as noted in the title commitment. Pursuant to Colorado Division of Insurance Regulation 8-1.

Nothing herein contained will be deemed to obligate the Company to provide any of the coverages referred to herein unless the above conditions are fully satisfied.

Reception#: 903701  
02/28/2018 11:03:34 AM Jean Alberico  
1 of 28 Rec Fee \$148.00 Doc Fee 0.00 GARFIELD COUNTY CO

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RECIPROCAL EASEMENT AGREEMENT

THIS RECIPROCAL EASEMENT AGREEMENT (this "Agreement") is made as of the 28<sup>th</sup> day of February 2018, by and between Dillon Real Estate Co., Inc., a Kansas corporation ("City Market"), and Crystal River Marketplace LLC, a Colorado limited liability company ("Developer").

WITNESSETH:

WHEREAS, Developer caused to be recorded in the office of the Garfield County Clerk & Recorder (i) the plat of Carbondale Marketplace Subdivision which was recorded on February 28, 2018 in Book      at Page      under Reception No. 903693, a copy of which is attached hereto as Exhibit "A" (the "Subdivision Plat"); and (ii) the First Amended Plat of Lots 2 & 4 Carbondale Marketplace Subdivision which was recorded on February 28 2018 in Book      at Page      under Reception No. 903694, a copy of which is attached hereto as Exhibit "B" (the "Amended Plat"); and together with the Subdivision Plat, the "Plat");

WHEREAS, the Carbondale Marketplace Subdivision (the "Subdivision") is comprised of five (5) Lots, as shown on the Plat;

WHEREAS, City Market is the owner of Lots 2 and 3 of the Subdivision ("Lot 2" and "Lot 3", respectively), and Developer is the owner of Lots 1, 4, and 5 of the Subdivision ("Lot 1", "Lot 4", and "Lot 5", respectively);

WHEREAS, Lot 1, Lot 2, Lot 3, Lot 4, and Lot 5 are sometimes collectively referred to herein as the "Lots" and individually as "Lot"; and

WHEREAS, City Market and Developer desire to enter into this Agreement to provide for the integrated use of the Lots as a shopping center (the "Shopping Center") as said Shopping Center is shown on the Plat.

NOW, THEREFORE, in consideration of the premises, and Ten and 00/100 Dollars (\$10.00), the receipt and sufficiency of which is hereby acknowledged, the parties hereto hereby agree as follows:

ARTICLE I - DEFINITIONS

SECTION 1. The following terms shall be defined as set forth below:

Building Area: The area(s) of the Lots (i) designated on the Plat for buildings or (ii) upon which buildings are expressly permitted under the terms of this Agreement. Subject to the restrictions expressly set forth herein, the Plat may be changed to add, delete or alter Building Area within a Lot by an amendment hereto by the Lot owners as provided in Section 9.1 hereof.

Common Area: The area(s) of the Shopping Center which are not Building Area. Any portion of the Common Area upon which Building Area is expressly permitted under this Agreement,

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including without limitation those areas identified as future Building Area on the Plat, shall be deemed Building Area from and after the commencement of construction of building improvements thereon. Subject to the restrictions expressly set forth herein, the Plat may be changed to add, delete or alter Common Area within a Lot by an amendment hereto by the Lot owners as provided in Section 9.1 hereof.

Ditch Relocation Agreement: That certain Ditch Relocation Agreement dated February 26~~26~~, 2018 and recorded in the Office of the Garfield County Clerk and Recorder as Reception No. 903703 by and between Developer and Rockford Ditch Association, Inc. (the "Ditch Association") concerning the Rockford Ditch (the "Ditch").

Kroger Entity: The Kroger Co., an Ohio corporation, any subsidiary or affiliate of The Kroger Co., and their respective successors and assigns.

Kroger Party: a Kroger Entity having a legal or equitable interest in a Lot whose name and contact information has been provided to the other Lot owners by City Market or such Kroger Entity.

Pro Rata Share for Shared Feature Expenses: The amount of each of Lot 2, Lot 3, and Lot 4's respective responsibility for the Shared Feature Expenses (as defined in Section 3.3 hereof), expressed as a percentage, based on the size of the Lot in relation to the aggregate size of all of Lot 2, Lot 3, and Lot 4. If any such Lot is subdivided, or if the size of any Lot changes, upon prior written notice to the Lot 2 owner the Pro Rata Share of such Lot for Shared Feature Expenses shall be automatically re-allocated among the subdivided lots or parcels within the Lot, or automatically re-allocated based on the changed lot sizes on the same basis, provided that the Pro Rata Share for Shared Feature Expenses of all Lots originally designed as Lot 2, Lot 3, and Lot 4, as subsequently subdivided or adjusted, must total one hundred percent (100%). As of the date hereof, each Lot's Pro Rata Share for Shared Feature Expenses is:

Lot 2	86.9%
Lot 3	6.2%
Lot 4	6.9%

Pro Rata Share for Shared Irrigation and Ditch Expenses: The amount of each of Lot 1, Lot 2, Lot 3, Lot 4, and Lot 5's respective responsibility for the Shared Irrigation and Ditch Expenses (as defined in Section 3.4 hereof), expressed as a percentage, based on the size of the Lot in relation to the aggregate size of all of Lots 1, 2, 3, 4, and 5. If any such Lot is subdivided, or if the size of any Lot changes, upon prior written notice to the Lot 4 owner the Pro Rata Share of such Lot for Shared Irrigation and Ditch Expenses shall be automatically re-allocated among the subdivided lots or parcels within the Lot, or automatically re-allocated based on the changed lot sizes on the same basis provided that the Pro Rata Share for Shared Irrigation and Ditch Expenses of all Lots, as subsequently subdivided or adjusted, must total one hundred percent (100%). As of the date hereof, each Lot's Pro Rata Share for Shared Irrigation and Ditch Expenses is:

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Lot 1	26.4%
Lot 2	32%
Lot 3	2.3%
Lot 4	2.5%
Lot 5	36.8%

**ARTICLE II - EASEMENTS**

**SECTION 2.1** The parties hereby establish a non-exclusive easement over the Common Area in favor of each Lot to permit unobstructed pedestrian and vehicular passage and parking by the owner thereof and its agents, contractors, employees, tenants, licensees and invitees, provided that nothing herein shall prevent the Lot 1 owner, the Lot 2 owner, the Lot 5 owner, or their respective tenants or licensees from storing bascart or placing cart corrals on the Common Area, or prevent the owners, tenants or licensees of Lot 1, Lot 2 or Lot 5 from selling merchandise on the Common Area portion of their respective Lots, and further provided that nothing herein shall prevent the exclusive use of any receiving area situated on a servient Lot by the owner thereof or its tenants or licensees.

**SECTION 2.2** The parties hereby establish a non-exclusive easement over the Common Area (exclusive of any portion of the Common Area identified as future Building Area on the Plat) in favor of each Lot to permit the construction, maintenance and use of all apparatus necessary to provide utility services to a Lot, including without limitation telephone, electricity, water, Lot Irrigation Lines (as defined in Section 3.4 below), natural gas, storm and sanitary sewers, provided that the same are constructed, installed, maintained and repaired in compliance with all laws, orders, rules and regulations of any governmental or private authority having jurisdiction over same, including without limitation the requirements of any utility companies, and are constructed underground. The dominant Lot owner, in order to exercise its easement rights under this Section 2.2, must obtain the servient Lot owner's approval of the plans and specifications for and the location of the utility facilities the dominant Lot owner intends to install on the servient Lot, which approval shall not be unreasonably withheld, delayed or conditioned. The dominant Lot owner shall use reasonable efforts to minimize any disruption or demolition of a servient Lot by reason of the use of this easement, and work by the dominant Lot owner pursuant to this easement shall not exceed one (1) day in duration except during the period when the Shopping Center is initially constructed, unless such disruption or demolition cannot be reasonably completed within such one (1) day period, in which event the period will be extended to such time period as reasonably is required and such area forthwith shall be restored as quickly as reasonably possible by the dominant Lot owner to its original condition at no expense to the servient Lot owner.

**SECTION 2.3** The parties hereby establish a non-exclusive easement over each Lot in favor of the other Lots to permit the temporary occupation of the servient Lot in order to facilitate the construction or maintenance of the improvements on the dominant Lot, provided that the dominant Lot owner shall use reasonable efforts to not interfere with the construction or operation of the improvements on the servient Lot.

**SECTION 2.4** City Market and Developer each hereby establish an non-exclusive easement over all of the Lots in favor of all of the other Lots to permit the construction, use and maintenance of

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sign(s) at the location(s) designated on Exhibit "C" attached hereto, including any electrical lines required to illuminate the sign(s), provided that all lines are constructed underground. In the event the easement created by this Section 2.4 is located on property taken by condemnation or by conveyance made in anticipation or in lieu of an actual taking, the easement area shall be relocated to an area on the affected Lot reasonably acceptable to said Lot owner. No sign located on a Lot shall be positioned so as to unreasonably obstruct any signs erected pursuant to this Section 2.4 from view from the public rights of way adjacent thereto.

**SECTION 2.5** The parties hereby establish a non-exclusive underground utility easement under Lot 3 for the benefit of any one of Lot 1, Lot 5, or that certain property known as 1337 Main Street that is legally described on Exhibit "D" attached hereto ("1337 Main") for construction, use, maintenance, repair and replacement of subsurface utility lines to enable customers of a car wash located on Lot 1, Lot 5, or 1337 Main (but only one of such parcels) to pay for car washes via a point of sale terminal/kiosk on Lot 3. The location of said easement on Lot 3 shall be subject to the prior written approval of the owner of Lot 3 upon review of plans and specifications for such utility facilities, such approval not to be unreasonably withheld, conditioned or delayed. The location of the point of sale terminal/kiosk may be incorporated within, or in the vicinity of, self-serve fuel pumping stations on Lot 3, and the terms of the point of sale agreement shall be subject to the mutual written approval of the owner of Lot 3, on one hand, and the owner of Lot 1, Lot 5, or 1337 Main, on the other hand, as the case may be.

**SECTION 2.6** The dominant Lot owner shall indemnify, defend and hold harmless the other Lot owners and their tenants and licensees from all claims, liens, damages and expenses, including without limitation reasonable attorneys' fees, arising out of its use of any of the easements established in this Article II.

**SECTION 2.7** Nothing herein shall create a gift or dedication to the public of, or otherwise create any rights of the public in, any portion of the Shopping Center. The Lot owners agree that public ingress and egress to and within the Shopping Center, and on its Lot, is permissive and shall not ever give rise to a claim for a prescriptive easement arising from continued public use of same. Notwithstanding any other provision herein to the contrary, each Lot owner may periodically restrict ingress and egress on its Lot in order to prevent a prescriptive easement from arising by continued public use of same. Any restriction on ingress or egress shall be limited to the minimum period of time necessary to prevent a gift, dedication, or creation of a prescriptive easement or other right, and shall occur at such times as to have minimum effect on the construction or operation of the Shopping Center.

### **ARTICLE III - MAINTENANCE AND UPKEEP OF COMMON AREA; SHARED FEATURES; IRRIGATION AND ROCKFORD DITCH**

**SECTION 3.1** Each Lot owner shall be responsible, at its sole cost and expense, for the repair and upkeep of that portion of the Common Area situated on its Lot, which repair and upkeep shall be performed in a workmanlike, diligent and efficient manner and shall include:

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- (a) Maintenance of paved surfaces in a level and smooth condition, free of potholes, with the type of material as originally used or a substitute equal in quality;
- (b) Removal of all trash and debris and washing or sweeping as required;
- (c) Removal of snow and ice from paved surfaces and sidewalks;
- (d) Maintenance of appropriate parking area entrance, exit and directional markers, and other traffic control signs as are reasonably required to effect the Plat;
- (e) Cleaning of lighting fixtures and relamping as needed;
- (f) Restriping as required to keep same clearly visible;
- (g) Maintenance of any electrical and storm water lines which exclusively provide service to the Common Area;
- (h) Mowing, grooming and irrigation of all seeded, sodded, grass or ground covered areas and maintenance and replacement of all landscaped areas (including maintenance, repair and replacement of irrigation systems);
- (i) Maintenance and cleaning of all storm water drainage systems; and
- (j) Maintenance, repair and replacement of enclosures for trash receptacles.

All such maintenance, repair and replacement of the Common Area shall be accomplished in a first class manner in accordance with standards pursuant to which other shopping centers of a similar size in the County in which the Shopping Center is located are maintained and repaired.

**SECTION 3.2** Each Lot owner shall indemnify, defend and save harmless the other Lot owners and any Kroger Party, and their respective tenants and licensees, from all claims, liens, damages and expenses, including reasonable attorneys' fees, arising out of the repair, maintenance and replacement of the Common Area on its respective Lot. Should a Lot owner breach any of its obligations under this Article III, any other Lot owner shall be entitled to enforce the remedies provided in Article VIII hereof.

**SECTION 3.3** The Shopping Center contains three (3) shared areas located on Lot 2 that are intended to benefit Lot 2, Lot 3 and Lot 4: (i) the onsite infiltration/water quality pond (the "Pond"), (ii) the community area, and (iii) the public art area (subsections (i), (ii), and (iii) individually a "Feature" and collectively, "Shared Features"). The Shared Features are depicted on Exhibit "C" attached hereto. All costs for the maintenance, repair, and replacement of the Shared Features (the "Shared Feature Expenses") shall be borne by the owners of Lot 2, Lot 3, and Lot 4, based on their Pro Rata Shares for Shared Feature Expenses. The owner of Lot 2 shall be responsible for the maintenance, repair, and replacement of the Shared Features and shall send the other owners by no later than March 1 of each year, a reasonably detailed statement showing the actual costs incurred by the Lot 2 owner during the



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previous year in connection with the maintenance, repair and replacement of the Shared Features, together with an invoice for such Lot owner's Pro Rata Share of such Shared Feature Expenses. The amounts due shall be paid to the Lot 2 owner within 30 days. Amounts not paid within 30 days shall accrue interest at the rate provided in Section 8.2 hereof until paid. The Lot 2 owner shall have the right to lien the lot of any other owner that fails to pay within 90 days. Notwithstanding anything contained herein to the contrary, the owners of Lot 1 and Lot 5 shall have no right to use any of the Shared Features.

SECTION 3.4

(a) Irrigation water for the Shopping Center (including those portions of the Shopping Center located in rights of way that have been, or will be dedicated to the Town of Carbondale) will be provided from the Rockford Ditch pursuant to the Ditch Relocation Agreement. Water from the Rockford Ditch will be diverted to a pump station located in the southwest corner of Lot 2, the location and plans for which are depicted on the plans attached hereto as Exhibit "E" (the "Pump Station and Ditch Infrastructure"), and pumped from the Pump Station to each Lot and to those portions of the Shopping Center located in rights of way that have been, or will be dedicated to the Town of Carbondale through irrigation lines serving each Lot and the portions of the Shopping Center located in rights of way that have been, or will be dedicated to the Town of Carbondale (collectively, the "Lot Irrigation Lines"; and each a "Lot Irrigation Line").

(b) All costs for the operation, maintenance, repair, and replacement of the Pump Station and Ditch Infrastructure, including OMR&R (as that term is defined in the Ditch Relocation Agreement) (collectively, the "Shared Irrigation and Ditch Expenses") shall be borne by the owners of Lot 1, Lot 2, Lot 3, Lot 4, and Lot 5 based on their Pro Rata Shares of Shared Irrigation and Ditch Expenses. The owner of Lot 4 shall be responsible for the operation, maintenance, repair, and replacement of the Pump Station and Ditch Infrastructure and shall send the other owners by no later than March 1 of each year, a reasonably detailed statement showing the actual costs incurred by the Lot 4 owner during the previous year in connection with the operation, maintenance, repair and replacement of the Pump Station and Ditch Infrastructure, together with an invoice for such Lot owner's Pro Rata Share of such Shared Irrigation and Ditch Expenses. The amounts due shall be paid to the Lot 4 owner within 30 days. Amounts not paid within 30 days shall accrue interest at the rate provided in Section 8.2 hereof until paid. The Lot 4 owner shall have the right to lien the lot of any other owner that fails to pay within 90 days.

(c) With respect to the Lot Irrigation Lines, the owner of each Lot shall be responsible for the operation, maintenance, repair, and replacement of the Lot Irrigation Line(s) serving such owner's Lot and the Town of Carbondale shall be responsible for the operation, maintenance, repair, and replacement of the Lot Irrigation Line(s) serving the portions of the Shopping Center located in rights of way that have been, or will be dedicated to the Town of Carbondale. Notwithstanding the foregoing, Lot 2, Lot 3, and Lot 4 will be served by the same Lot Irrigation Line; accordingly the costs and expense associated with the preceding sentence shall be shared

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by Lot 2, Lot 3, and Lot 4 in the same proportion as the Pro Rata Share for Shared Feature Expenses.

(d) Subject to the terms of any agreement that may be mutually acceptable to the owner of Lot 1 and the owner of 1337 Main, the owner of Lot 1 shall have the right to allow the owner of 1337 Main to connect to any Lot Irrigation Line(s) serving Lot 1 for the purpose of irrigating 1337 Main.

(e) The Town of Carbondale shall have the right, at its sole cost and expense, to construct within the Pump Station a separate pump for the Lot Irrigation Line(s) that serve(s) the portions of the Shopping Center located in rights of way that have been, or will be dedicated to the Town of Carbondale. If such separate pump is constructed by the Town of Carbondale, the Town of Carbondale shall also be responsible for all costs for the operation, maintenance, repair, and replacement of such pump.

(f) The owners of Lot 1, Lot 2, Lot 3, Lot 4, and Lot 5 hereby agree, for themselves and their respective successors and assigns, to:

- i. Provide the Ditch Association annually with copies of any insurance obtained and maintained pursuant to Section 4.1 of this Agreement;
- ii. Maintain the Modified Ditch (as that term is defined in the Ditch Relocation Agreement), including any existing and future improvements thereto, and to pay for all expenses related to the operation, maintenance, repair, and replacement of the entire portion of the Modified Ditch which was modified and/or piped pursuant to the Ditch Relocation Agreement, including that portion of the Ditch depicted on Exhibit B attached to the Ditch Relocation Agreement. Such expenses, together with interest, costs, and reasonable attorneys' fees shall be a charge and continuing lien upon Lot 1, Lot 2, Lot 3, Lot 4 and Lot 5, as set forth in the Ditch Relocation Agreement, until paid; and
- iii. Hold harmless, indemnify, and defend the Ditch Association, its successors and assigns to the fullest extent allowed under Colorado law from and against any actual or threatened loss, claim, demand, negligence, cause of action, liability, cost, expense (including attorneys' fees and litigation expenses and costs) or damages of any kind or nature (including those involving death, personal injury or property damage) associated with or arising from any activity performed in any way related to the Project (as that term is defined in the Ditch Relocation Agreement) or any ongoing obligation under the Ditch Relocation Agreement, including OMR&R (as that term is defined in the Ditch Relocation Agreement).



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(g) Nothing in this Section 3.4 limits any rights that the Ditch Association may have against Developer, or limits or reduces any obligations that Developer may owe to the Ditch Association pursuant to the Ditch Relocation Agreement.

SECTION 3.5 Should a Lot owner breach any of its obligations set forth in this Article III, any Kroger Entity shall have the right to perform or enforce any of the rights set forth in Article VIII hereof, in its sole discretion, for so long as such Kroger Entity may have a legal or equitable interest in a Lot.

**ARTICLE IV - LIABILITY INSURANCE**

SECTION 4.1 The owner of each Lot shall maintain comprehensive general liability insurance, including contractual liability coverage, naming the other Lot owners and any Kroger Party as additional insureds and providing coverage with a combined bodily injury, death and property damage limit of Three Million and 00/100 Dollars (\$3,000,000.00) or more per occurrence. A Lot owner or its tenant, or the parent company of either, having a net worth of One Hundred Million and 00/100 Dollars (\$100,000,000.00) or more or a market capitalization of One Billion and 00/100 Dollars (\$1,000,000,000.00) or more may self-insure this obligation. The owner of a Lot shall provide a Lot owner or any applicable Kroger Party, whichever the case may be, with a certificate of insurance or self-insurance, which certificate shall provide that the coverage referred to therein shall not be modified or cancelled without at least thirty (30) days written notice to each named insured thereunder. A Lot owner that is also a Kroger Entity may satisfy the requirements of the immediately preceding sentence by making available on the website(s) of the issuer(s) of such comprehensive generally liability insurance required by this Section 4.1 (or, with respect to self-insurance, on a website designated by such Kroger Entity) a Memorandum of Insurance evidencing such coverage.

**ARTICLE V - DAMAGE OR DESTRUCTION**

SECTION 5.1 In the event that any part of the Common Area is destroyed or damaged by fire, casualty or force majeure, the owner of the affected Lot, at its sole cost and expense, forthwith shall clear and restore such area.

SECTION 5.2 In the event that any part of the Building Area on a Lot is damaged by fire, casualty or force majeure, the owner thereof shall not be obligated to restore same, provided that such Lot owner, at its sole cost and expense, shall diligently proceed to raze the damaged structures, remove all debris, and either (i) pave such area for parking in general conformity with the parking layout shown on the Plat, or (ii) place said in area in a grass lawn or other orderly landscaped condition, and in either case of (i) or (ii) install adequate storm drainage and adequate lighting in general conformity with the lighting used in the Common Area. Any area restored in this manner shall be maintained as though it were part of the Common Area until improved with building improvements.

SECTION 5.3 In the event that any part of the Common Area is condemned, the owner of the affected Lot, at its sole cost and expense, forthwith shall restore such area as much as practicable to provide the same approximate configuration, size, location and number of parking lot light standards, driveways, walkways, parking spaces and curb cuts to adjacent roadways existing prior to the condemnation. Any award on account of a condemnation on the Common Area first shall be used in the



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restoration of same, and any claim to the award made by a Lot owner or its tenants or licensees hereunder shall be expressly subject and subordinate to its use in such restoration. The term "condemnation" as used herein shall include all conveyances made in anticipation or lieu of an actual taking.

Nothing in this Section shall be construed to give any Lot owner an interest in any award or payment made to another Lot owner in connection with any exercise of the power of eminent domain or any transfer in lieu thereof affecting said other Lot owner's Lot or giving the public or any government any rights in said Lot. In the event of any exercise of the power of eminent domain or transfer in lieu thereof of any part of the Common Area, the award attributable to the land and improvements of such portion of the Common Area shall be payable only to the owner thereof, and no claim thereon shall be made by the owners of any other portion of the Common Area.

All other owners of the Common Area may file collateral claims with the condemning authority for their losses which are separate and apart from the value of the land area and improvements taken from another owner. Nothing in this Section shall prevent a tenant from making a claim against an owner pursuant to the provisions of any lease between such tenant and such owner for all or a portion of any such award or payment.

If there shall be any building improvements located on the condemned area, the owner of said condemned area shall, at its sole cost, risk and expense, and at its option, either restore the remainder of said building as much as practicable out of the same materials used for the original structure or raze the remainder of the condemned structure, remove all debris, and either (i) pave the remaining area so razed for parking in general conformity with the parking layout shown on the Plat, as revised to reflect the removal of the condemned area from the Shopping Center, or (ii) place said area in a grass lawn or other orderly landscaped condition, and in either case of (i) or (ii) install adequate storm water drainage and adequate lighting in general conformity with the lighting used in the Common Area. Any area restored in this manner shall be maintained as though it were part of the Common Area.

SECTION 5.4 Notwithstanding the requirements of Sections 5.2 and 5.3 hereof, the Lot 2 owner, in its sole and absolute discretion, in lieu of paving or landscaping the Building Area affected by a casualty or condemnation, may leave the building slab located within such Building Area in place, provided such building slab is maintained in a safe condition.

#### ARTICLE VI - RESTRICTIONS

SECTION 6.1 No part of the Shopping Center, except Lot 2, shall be used as a drug store or a business principally devoted to the sale of health and beauty aids, or for a pharmacy department requiring the services of a registered pharmacist, provided that this restriction shall cease to be in force and effect if the occupant of the storeroom situated on the Lot 2 fails to operate a drug store, or pharmacy department in the case that Lot 2 is not used as a drug store, for a period of three hundred sixty-five (365) consecutive days or longer subsequent to the opening for business of said storeroom on the Lot 2, except when such failure is caused by labor disputes, force majeure (including reconstruction as a result of fire or other casualty) or conditions beyond the control of the occupant.

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**SECTION 6.2** No part of the Shopping Center, except Lot 2, shall be used as a supermarket that carries groceries, meats, fish, produce, dairy products, bakery products and alcoholic beverages in the same store for off premises consumption; provided that nothing herein shall prevent the sale of such products in any store that does not carry all such products and is not a supermarket that carries such products for off premises consumption; and further provided that this restriction shall cease to be in force and effect if the occupant of Lot 2 fails to conduct a supermarket business for the sale of groceries, meats, fish, produce, dairy products, bakery products and alcoholic beverages for off premises consumption in the same store, for three hundred sixty-five (365) consecutive days or longer subsequent to the opening for business of said supermarket on Lot 2, except when such failure is caused by labor disputes, force majeure (including reconstruction as a result of a fire or other casualty) or conditions beyond the control of the occupant.

**SECTION 6.3** No part of the Shopping Center, except Lot 3, shall be used for the sale of automotive fuel, including without limitation gasoline and diesel fuel, provided that this restriction shall cease to be in force or effect if, the operator of any automotive fuel dispensing facility located on Lot 3 fails to conduct a business for the sale of automotive fuel for three hundred sixty five (365) consecutive days or longer subsequent to the opening for business of such automotive fuel dispensing facility on Lot 3 except when such failure is caused by labor disputes, force majeure (including reconstruction as a result of a fire or other casualty) or conditions beyond the control of the operator.

**SECTION 6.4** No part of the Shopping Center, except Lot 2, shall be used as a non-retail business which requires extensive parking that would violate the parking rules and regulations (if any) established by the Town of Carbondale, including without limitation a disco, nightclub, bowling alley, bingo parlor, or community recreational center; provided, however, that if any part of the Shopping Center is approved by the Town of Carbondale for residential purposes, it shall not be a violation of this Agreement to use those parts of the Shopping Center approved for residential purposes in compliance with all laws, orders, rules and regulations of any governmental or private authority having jurisdiction over same.

**SECTION 6.5** No part of the Shopping Center shall be used as a business which principally features sexually explicit products. No part of Lot 4 shall be used as a business for the sale of medical or recreational marijuana.

**SECTION 6.6** The initial plans and specifications for the development of Lot 4 have been approved by the Lot 2 owner. If, after the completion of construction of the approved improvements on Lot 4, the improvements on Lot 4 are redesigned and reconstructed the Lot 4 owner shall submit to the Lot 2 owner and any Kroger Party, plans and specifications for all such new improvements to be constructed on Lot 4, including without limitation exterior elevation, architectural and signage plans and specifications, for review and approval by the Lot 2 owner and any such Kroger Party. Any approval by the Lot 2 owner shall not be deemed to constitute a warranty or representation by the Lot 2 owner with respect to the materials, design, location, construction or workmanship of any improvements on Lot 4. The Lot 4 owner shall obtain the foregoing approvals before commencing any such new construction on Lot 4, before implementing any changes in plans theretofore approved by the Lot 2 owner, and before

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commencing any construction to repair, replace or restore the exterior of any improvements on Lot 4 following a condemnation or a casualty thereon. Nothing in this paragraph shall apply to any work or construction on the interior of any buildings on Lot 4. In addition to the foregoing, if, after the completion of construction of the approved improvements on Lot 4, the improvements on Lot 4 are redesigned and reconstructed, the Lot 4 owner understands that the Lot 2 will require the following for any redesigned or reconstructed building on Lot 4: (i) no part of the building improvements situated on Lot 4 shall be more than one (1) story in height nor exceed twenty-eight (28) feet in height from ground level, except for architectural or ornamental elements, towers or facades which may be up to thirty-five (35) feet in height from ground level, provided such architectural or ornamental elements, towers or facades shall not exceed the lesser of twenty-five (25) feet in width or twenty-five percent (25%) of the frontage of the building in which they are located; and (ii) the total square footage of any building constructed on Lot 4 shall not exceed ten thousand five hundred (10,500) square feet.

**SECTION 6.7** Each Lot in the Shopping Center shall have a parking ratio that complies with all applicable laws, codes, rules and regulations without considering available parking spaces on any other Lot within the Shopping Center. The dimensions of each parking space on the Lots shall conform to applicable municipal requirements.

**SECTION 6.8** (a) Each Lot owner shall perform construction on its Lot so as not unreasonably interfere with any other construction being performed on any of the other Lots; or unreasonably interfere with the operations conducted on any other Lot.

(b) Each Lot owner agrees that in the event any mechanic's lien or other statutory liens shall be filed against a Lot other than its own Lot by reason of work, labor, services or materials supplied to or at the request of such owner pursuant to any construction on such owner's Lot, or supplied to or at the request of its tenant or licensee pursuant to any construction by said tenant or licensee, it shall discharge the same of record within thirty (30) days after the filing thereof, subject to the provisions of the following sentence. Each Lot owner shall have the right to contest the validity, amount or applicability of any such liens by appropriate legal proceedings, and, so long as it shall furnish bond or indemnify as hereinafter provided and be prosecuting such contest in good faith, the requirement that it discharge such liens within said thirty (30) days shall not be applicable; provided, however, that in any event such Lot owner shall, within thirty (30) days after the filing thereof, bond or indemnify against such liens in amount and in form satisfactory to induce the title insurance company or companies which insured title to the respective Lots to each of the Lot owners to insure over such liens or to reissue and update its existing policy, binder or commitment without showing title exception by reason of such liens, and shall indemnify, defend and save harmless the other Lot owners from all loss, damage, liability, expense or claim whatsoever (including reasonable attorneys' fees and other costs of defending against the foregoing) resulting from the assertion of any such liens. In the event such legal proceeding shall be finally concluded (so that no further appeal may be taken) adversely to the Lot owner contesting such liens, such Lot owner shall, within five (5) days thereafter, cause the liens to be discharged of record.

**SECTION 6.9** All electrical and telephone wires and all other utility lines serving the Lots shall be buried below grade such that the same shall not be visible.



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**SECTION 6.10** No fence, landscaping or other structure of any kind (except as may be specifically permitted herein) shall be placed, kept, permitted or maintained upon the Common Area portion of Lot 4 without the prior written consent of the Lot 2 owner and any Kroger Party.

**SECTION 6.11** All lighting structures and standards erected in the Common Area portion of any Lot shall be erected by and at the expense of the Lot owner; shall be erected prior to commencement of business on each such Lot; and shall be located in such areas and in accordance with such plans and specifications as shall be approved by the Lot 2 owner and any Kroger Party.

**SECTION 6.12** No portion of the Common Area of Lot 1, Lot 4, or Lot 5 shall be encumbered by any easement, right-of-way, license or other servitude for the purpose of parking on or vehicular passage across the Common Area of Lot 1, Lot 4, or Lot 5 benefiting property outside of the Shopping Center without the prior written consent of the Lot 2 owner and any Kroger Party.

**SECTION 6.13** Any Lot owner shall, for the benefit of itself and any tenant, subtenant or licensee on such owner's Lot, have the right to enforce directly against the other Lot owners, tenants, subtenants, licensees and occupants, the restrictions against use set forth in this Agreement; but nothing herein shall require or be deemed an undertaking by any Lot owner or any tenant, subtenant or licensee to enforce the same. So long as any Kroger Entity has a legal or equitable interest in a Lot, such Kroger Entity shall also have the right for the benefit of itself to enforce directly against the other Lot owners, tenants, subtenants, licensees and occupants, the restrictions against use set forth in this Agreement; but nothing herein shall require or be deemed an undertaking by such Kroger Entity to enforce the same.

**SECTION 6.14** The remedies for breach of any of the restrictions set forth in this Article shall be cumulative, not exclusive, and shall include injunctive relief.

**ARTICLE VII - TAXES**

**SECTION 7.1** Each Lot owner shall pay (or cause to be paid) before delinquency all real estate taxes and assessments (herein collectively "Taxes") levied on its Lot and the improvements situated thereon.

**SECTION 7.2** Each Lot owner may, at its own cost and expense by appropriate proceeding, contest the validity, applicability and/or the amount of any Taxes. Nothing in this Article shall require a Lot owner to pay any Taxes so long as it contests the validity, applicability or the amount thereof in good faith and so long as it does not allow the affected Lot to be forfeited to the imposer of such Taxes as a result of its nonpayment.

**SECTION 7.3** If a Lot owner fails to comply with this Article, either the Lot 2 owner or any Kroger Party may pay the Taxes in question and shall be entitled to prompt reimbursement from the defaulting Lot owner for the sums so expended with interest thereon at the rate provided in Section 8.2 hereof.

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#### ARTICLE VIII - DEFAULT

SECTION 8.1 Except as otherwise expressly set forth in this Agreement, should a Lot owner breach any of its obligations hereunder and such breach continue for a period of thirty (30) days after its receipt of written notice, any of the other Lot owners or any Kroger Party shall be entitled to cure such breach in addition to all remedies at law or in equity, provided that such party furnish prior notice to the other Lot owners and any Kroger Party, and further provided that no notice is required should the breach create an emergency or interfere with use of a Lot. All expenses incurred by the other Lot owner(s) or such Kroger Party to cure the defaulting Lot owner's uncured breach pursuant to the preceding notice shall be reimbursed by the defaulting Lot owner within thirty (30) days after receipt of written evidence confirming the payment of such expenses.

SECTION 8.2 Any sums remaining unpaid in accordance with Article III, Section 7.3 or Section 8.1, together with interest calculated at three percent (3%) above the prime rate charged by CitiBank, N.A., New York, New York, or any successor thereto, or at the highest annual interest rate allowed by law, whichever is less, may be secured by a lien on the Lot of the owner in default and may be perfected in accordance with the laws of the State of Colorado, which lien shall retain the original priority of title of this Agreement.

SECTION 8.3 In the event of litigation by reason of this Agreement, the prevailing party in such litigation shall be entitled to recover reasonable attorneys' fees in addition to all other expenses incurred by such litigation.

SECTION 8.4 Any Kroger Entity shall be a beneficiary of all of the rights, easements, covenants and restrictions set forth herein and shall be entitled to enforce same for so long as such Kroger Entity may have any legal or equitable interest in a Lot.

#### ARTICLE IX - MISCELLANEOUS PROVISIONS

SECTION 9.1 Except as provided below, this Agreement may be amended, terminated or rescinded only with the written approval of all owners of the Lots, and any Kroger Party. With the prior written approval of any Kroger Party, the Lot owners may modify or amend this Agreement by filing an amendment hereto. Any such amendment, termination or rescission shall be evidenced by a written instrument recorded in the Office of the Clerk & Recorder of Garfield County, Colorado. In addition, and without limitation to the foregoing, the provisions in Article II and Article III of this Agreement may only be amended with the prior written consent of the Town of Carbondale, whose consent shall be necessary for the sole purpose of confirming that the proposed amendment does not violate the provisions of Section 6(l) of Ordinance No. 5, Series of 2016, and whose consent shall not be unreasonably withheld, conditioned or delayed.

SECTION 9.2 Any Lot may be subdivided by the owner of such Lot (subject to compliance with all applicable rules and regulations of the Town of Carbondale and any other governmental body having jurisdiction). In such case, the subdivided lots or parcels shall be subject to this Agreement, and the



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owner of such subdivided lot or parcel shall have all the rights and obligations applicable to the owners of the Lots in the Subdivision as of the date hereof.

**SECTION 9.3** This Agreement shall not create an association, partnership, joint venture or a principal and agency relationship between the owners of the Lots or their tenants or licensees.

**SECTION 9.4** No waiver of any provision hereof shall be deemed to imply or constitute a further waiver thereof or any other provision set forth herein.

**SECTION 9.5** Should any provision hereof be declared invalid by a legislative, administrative or judicial body of competent jurisdiction, the other provisions hereof shall remain in full force and effect and shall be unaffected by same.

**SECTION 9.6** All notices and approvals required or permitted under this Agreement shall be served by (i) certified mail, return receipt requested, or (ii) nationally recognized overnight courier, to a party at the last known address of its principal place of business. Date of service of notice or approval shall be the date on which such notice or approval is deposited in a Post Office of the United States Postal Service or any successor governmental agency. Should a Parcel be subdivided by separate ownership, and an additional Parcel is not established pursuant to Section 9.2 hereof, the party who owns the largest portion thereof is irrevocably appointed attorney-in-fact for all parties who may own an interest in the Parcel to receive all notices and to render all approvals hereunder, which receipt of notices and delivery of approvals shall be binding on all such parties.

**SECTION 9.7** All of the provisions hereof shall run with the land in perpetuity and shall be binding on Developer, City Market and their respective successors and assigns; provided, however, if any of the provisions of this Agreement shall be unlawful, void or voidable for violation of the Rule Against Perpetuities, then such provisions shall continue only until twenty one (21) years after the death of the survivor of the now-living descendants of her Majesty, Queen Elizabeth II, the Queen of England.

**SECTION 9.8** This Agreement contains the entire undertaking by the parties hereto and there are no other terms, expressed or implied, except as contained herein.

**SECTION 9.9** This Agreement may be executed in counterparts.

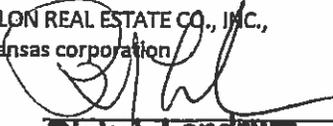
*[Signature Page Follows]*

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IN WITNESS WHEREOF, the parties hereto have executed this Reciprocal Easement Agreement.

CITY MARKET:

DILLON REAL ESTATE CO., INC.,  
a Kansas corporation

By:   
Name: Rick J. Landrum  
Title: Vice President



DEVELOPER:

CRYSTAL RIVER MARKETPLACE LLC,  
a Colorado limited liability company

By:   
Briston Peterson, Manager

EXHIBITS:

- Exhibit "A" – Plat
- Exhibit "B" – Amended Plat
- Exhibit "C" – Depiction of Sign Locations and Features
- Exhibit "D" – Legal Description of 1337 Main
- Exhibit "E" – Ditch Diversion/Pump Station Plans

This Instrument Prepared By:

Jennifer K. Gothard  
The Kroger Co.  
1014 Vine Street  
Cincinnati, Ohio 45202-1100

*[Acknowledgments on Following Page]*

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STATE OF OHIO )  
 ) SS:  
COUNTY OF HAMILTON )

The foregoing instrument was acknowledged before me this 27<sup>th</sup> day of February, 2018, by Rick J. Landrum the Vice President of Dillon Real Estate Co., Inc., a Kansas corporation, on behalf of the corporation.

IN WITNESS WHEREOF I have hereunto set my hand and official seal.

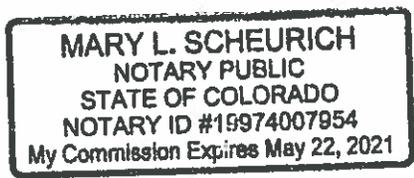


Renee A. R. Cipriani  
Notary Public, State of Ohio Renee A. R. Cipriani  
My Commission Expires 11-30-2020 Notary Public

STATE OF COLORADO )  
 ) SS:  
COUNTY OF GARFIELD )

The foregoing instrument was acknowledged before me this 28<sup>th</sup> day of February, 2018, by Briston Peterson, Manager of Crystal River Marketplace LLC, a Colorado limited liability company.

IN WITNESS WHEREOF I have hereunto set my hand and official seal.



M. Scheurich  
Notary Public

00 GARFIELD COUNTY CO  
Jean Alberico  
Reception# 803748  
02/28/2018 11:03:34 AM  
17 of 28 Rec Fee \$148.00 Doc Fee 0.00

FINAL PLAT OF:  
**CARBONDALE MARKETPLACE SUBDIVISION**  
A PARCEL OF LAND SITUATED IN SECTION 33, TOWNSHIP 7 SOUTH, RANGE 88 WEST OF THE 6TH P.M.,  
TOWN OF CARBONDALE, COUNTY OF GARFIELD, STATE OF COLORADO  
SHEET 1 OF 3

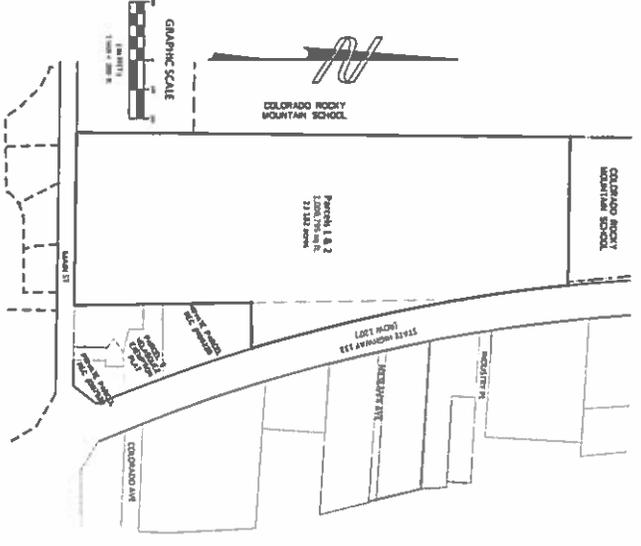
PLAT PREPARED BY:  
SOPRIS ENGINEERING - LLC  
2025 MAIN STREET, SUITE A3  
CARBONDALE, COLORADO 81523  
970.704.0311 SOPRISINC@SOPRISINC.COM

CERTIFICATE OF RECORDATION AND DECLARATION  
KNOW ALL MEN BY THESE PRESENTS...

THE PLAT IS A MAP OF THE LAND...  
THE PLAT IS A MAP OF THE LAND...  
THE PLAT IS A MAP OF THE LAND...

ALL RIGHTS RESERVED...  
ALL RIGHTS RESERVED...  
ALL RIGHTS RESERVED...

SECTION 33, TOWNSHIP 7 SOUTH, RANGE 88 WEST OF THE 6TH P.M.,  
TOWN OF CARBONDALE, COUNTY OF GARFIELD, STATE OF COLORADO



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SECTION 33, TOWNSHIP 7 SOUTH, RANGE 88 WEST OF THE 6TH P.M.,  
TOWN OF CARBONDALE, COUNTY OF GARFIELD, STATE OF COLORADO

GRAPHIC SCALE  
1" = 100'  
1" = 100'

FINAL PLAT OF:  
**CARBONDALE MARKETPLACE SUBDIVISION**

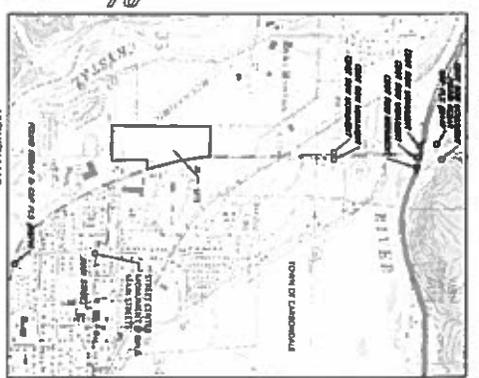
PLAT PREPARED BY:  
SOPRIS ENGINEERING - LLC  
2025 MAIN STREET, SUITE A3  
CARBONDALE, COLORADO 81523  
970.704.0311 SOPRISINC@SOPRISINC.COM

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SECTION 33, TOWNSHIP 7 SOUTH, RANGE 88 WEST OF THE 6TH P.M.,  
TOWN OF CARBONDALE, COUNTY OF GARFIELD, STATE OF COLORADO

GRAPHIC SCALE  
1" = 100'  
1" = 100'



VICINITY MAP  
SCALE 1" = 1000'

SECTION 33, TOWNSHIP 7 SOUTH, RANGE 88 WEST OF THE 6TH P.M.,  
TOWN OF CARBONDALE, COUNTY OF GARFIELD, STATE OF COLORADO

GRAPHIC SCALE  
1" = 100'  
1" = 100'

SOPRIS ENGINEERING - LLC  
CIVIL CONSULTANTS  
502 MAIN STREET, SUITE A3  
CARBONDALE, COLORADO 81523  
(970) 704-0311 SOPRISINC@SOPRISINC.COM





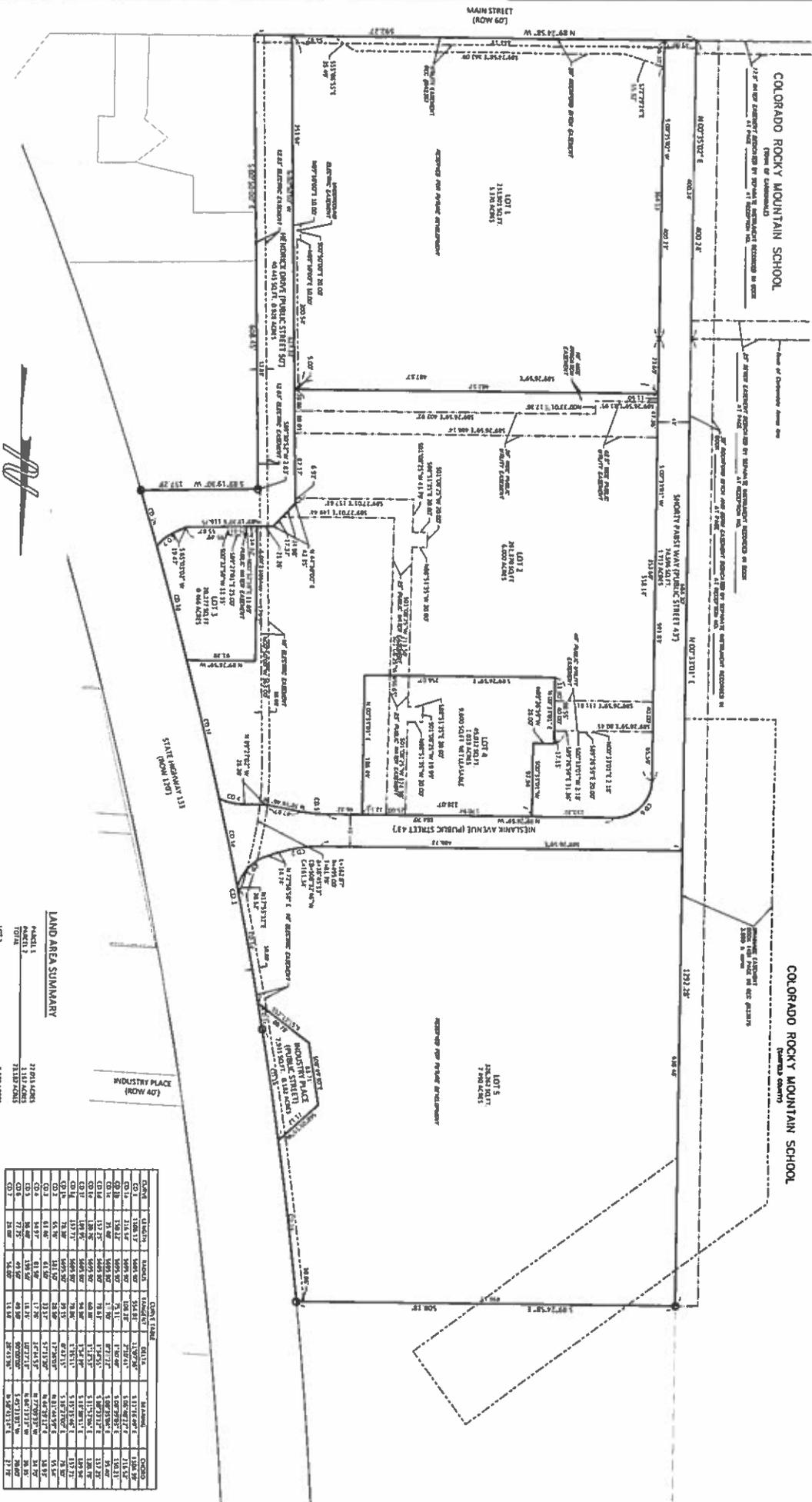
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 Received at 11:03:34 AM on 02/28/2018  
 102301811110334  
 102301811110334

CARBONDALE MARKETPLACE SUBDIVISION

A PARCEL OF LAND SITUATED IN SECTION 33, TOWNSHIP 7 SOUTH, RANGE 88 WEST OF THE 6th P.M.  
 TOWN OF CARBONDALE, COUNTY OF GARFIELD, STATE OF COLORADO

LOT DESCRIPTIONS, REMAINING RECORD EASEMENTS & EASEMENTS PER THIS PLAN

COLORADO ROCKY MOUNTAIN SCHOOL  
 (PART OF COUNTY)



SOPRIS ENGINEERING - LLC  
 CIVIL CONSULTANTS  
 502 MAIN STREET, SUITE A3  
 CARBONDALE, COLORADO 81623  
 (970) 704-0311 SOPRISENG@SOPRISENG.COM

LAND AREA SUMMARY

PARCEL #	ACRES	PERCENT
LOT 1	3.29	4.2%
LOT 2	8.46	10.8%
LOT 3	1.81	2.3%
LOT 4	1.32	1.7%
LOT 5	1.84	2.4%
INDUSTRY PLACE	3.18	4.1%
TOTAL	13.80	17.5%

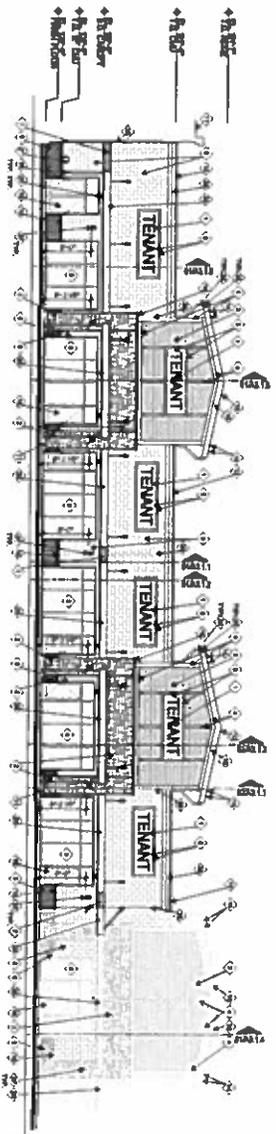
CLAS	STATION	BEARING	LENGTH	AREA	PERCENT
CD 1	1+00.17	S 89° 54' 30" E	554.81	1,111,607.6	1.00%
CD 2	1+00.17	S 89° 54' 30" E	554.81	1,111,607.6	1.00%
CD 3	1+00.17	S 89° 54' 30" E	554.81	1,111,607.6	1.00%
CD 4	1+00.17	S 89° 54' 30" E	554.81	1,111,607.6	1.00%
CD 5	1+00.17	S 89° 54' 30" E	554.81	1,111,607.6	1.00%
CD 6	1+00.17	S 89° 54' 30" E	554.81	1,111,607.6	1.00%
CD 7	1+00.17	S 89° 54' 30" E	554.81	1,111,607.6	1.00%
CD 8	1+00.17	S 89° 54' 30" E	554.81	1,111,607.6	1.00%
CD 9	1+00.17	S 89° 54' 30" E	554.81	1,111,607.6	1.00%
CD 10	1+00.17	S 89° 54' 30" E	554.81	1,111,607.6	1.00%
CD 11	1+00.17	S 89° 54' 30" E	554.81	1,111,607.6	1.00%
CD 12	1+00.17	S 89° 54' 30" E	554.81	1,111,607.6	1.00%
CD 13	1+00.17	S 89° 54' 30" E	554.81	1,111,607.6	1.00%
CD 14	1+00.17	S 89° 54' 30" E	554.81	1,111,607.6	1.00%
CD 15	1+00.17	S 89° 54' 30" E	554.81	1,111,607.6	1.00%
CD 16	1+00.17	S 89° 54' 30" E	554.81	1,111,607.6	1.00%
CD 17	1+00.17	S 89° 54' 30" E	554.81	1,111,607.6	1.00%
CD 18	1+00.17	S 89° 54' 30" E	554.81	1,111,607.6	1.00%
CD 19	1+00.17	S 89° 54' 30" E	554.81	1,111,607.6	1.00%
CD 20	1+00.17	S 89° 54' 30" E	554.81	1,111,607.6	1.00%
CD 21	1+00.17	S 89° 54' 30" E	554.81	1,111,607.6	1.00%
CD 22	1+00.17	S 89° 54' 30" E	554.81	1,111,607.6	1.00%
CD 23	1+00.17	S 89° 54' 30" E	554.81	1,111,607.6	1.00%
CD 24	1+00.17	S 89° 54' 30" E	554.81	1,111,607.6	1.00%
CD 25	1+00.17	S 89° 54' 30" E	554.81	1,111,607.6	1.00%
CD 26	1+00.17	S 89° 54' 30" E	554.81	1,111,607.6	1.00%
CD 27	1+00.17	S 89° 54' 30" E	554.81	1,111,607.6	1.00%
CD 28	1+00.17	S 89° 54' 30" E	554.81	1,111,607.6	1.00%
CD 29	1+00.17	S 89° 54' 30" E	554.81	1,111,607.6	1.00%
CD 30	1+00.17	S 89° 54' 30" E	554.81	1,111,607.6	1.00%



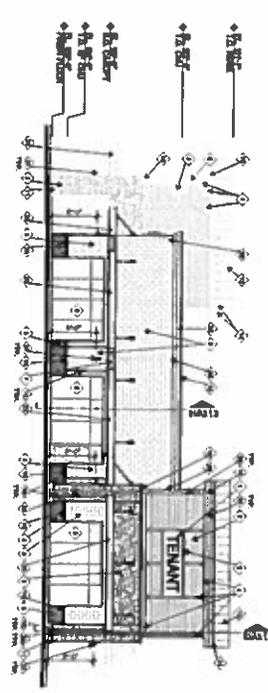




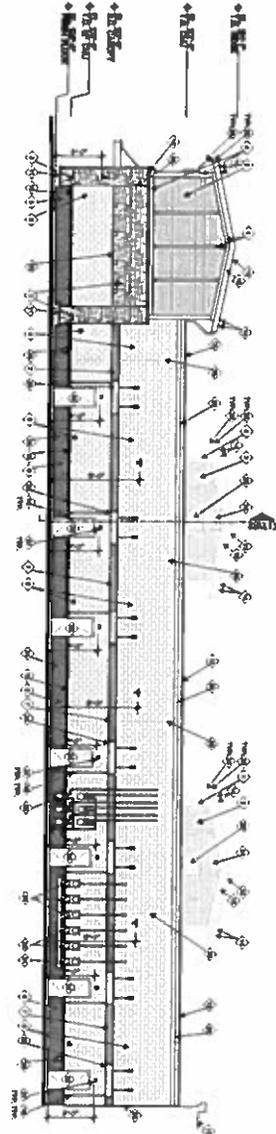
**EXHIBIT C - SIGN LOCATIONS AND FEATURES**



**01 EAST ELEVATION**  
SCALE: 1/8" = 1'-0"



**02 NORTH ELEVATION**  
SCALE: 1/8" = 1'-0"



**03 WEST ELEVATION**  
SCALE: 1/8" = 1'-0"



**04 SIGNAGE DETAIL**  
SCALE: 1/4" = 1'-0"

**GENERAL NOTES:**  
 1. ALL SIGNAGE SHALL BE INSTALLED IN ACCORDANCE WITH THE SIGNAGE REGULATIONS OF GARFIELD COUNTY, COLORADO.  
 2. ALL SIGNAGE SHALL BE INSTALLED IN ACCORDANCE WITH THE SIGNAGE REGULATIONS OF GARFIELD COUNTY, COLORADO.  
 3. SIGNAGE SHALL BE INSTALLED IN ACCORDANCE WITH THE SIGNAGE REGULATIONS OF GARFIELD COUNTY, COLORADO.  
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**CARBONDALE MARKETPLACE RETAIL**  
 HWY 133  
 MAIN STREET  
 CARBONDALE, CO  
 81623

**MSP3, LLC.**  
 A DEVELOPMENT OF  
 201 SOUTH 7TH ST  
 MOUNTAIN VIEW, COLORADO 81751

**naos**  
 Naos Design Group, LLC  
 1000 WEST 10TH AVENUE  
 DENVER, CO 80202  
 PHONE: 303.733.1234  
 WWW.NAOSDESIGN.COM

**Pickering**  
 PICKERING DESIGN GROUP  
 1000 WEST 10TH AVENUE  
 DENVER, CO 80202  
 PHONE: 303.733.1234  
 WWW.PICKERINGDESIGN.COM

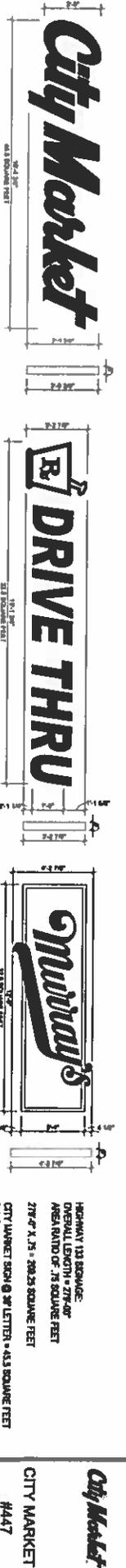
**Galloway**  
 GALLOWAY ARCHITECTS  
 1000 WEST 10TH AVENUE  
 DENVER, CO 80202  
 PHONE: 303.733.1234  
 WWW.GALLOWAYARCHITECTS.COM

**ISSUE LOG**

NO.	REV	DESCRIPTION	DATE
1	1	ISSUE	11/15/18
2	1	ISSUE	11/15/18
3	1	ISSUE	11/15/18
4	1	ISSUE	11/15/18
5	1	ISSUE	11/15/18
6	1	ISSUE	11/15/18
7	1	ISSUE	11/15/18
8	1	ISSUE	11/15/18
9	1	ISSUE	11/15/18
10	1	ISSUE	11/15/18

**A2.1**  
 SIGNAGE  
 SHEET 1 OF 1

**EXHIBIT C - SIGN LOCATIONS AND FEATURES**



**SOUTH ELEVATION**  
**02 CITY MARKET SIGNAGE**

**WEST ELEVATION**  
**03 CITY MARKET SIGNAGE**

ALL SIGNAGE WILL BE APPLIED FOR UNDER A SEPARATE PERMIT BY OWNER'S SIGN CONTRACTOR. GENERAL CONTRACTOR IS RESPONSIBLE FOR SIGNAGE BACKING SUPPORT AND ELECTRICAL ROUGH IN.

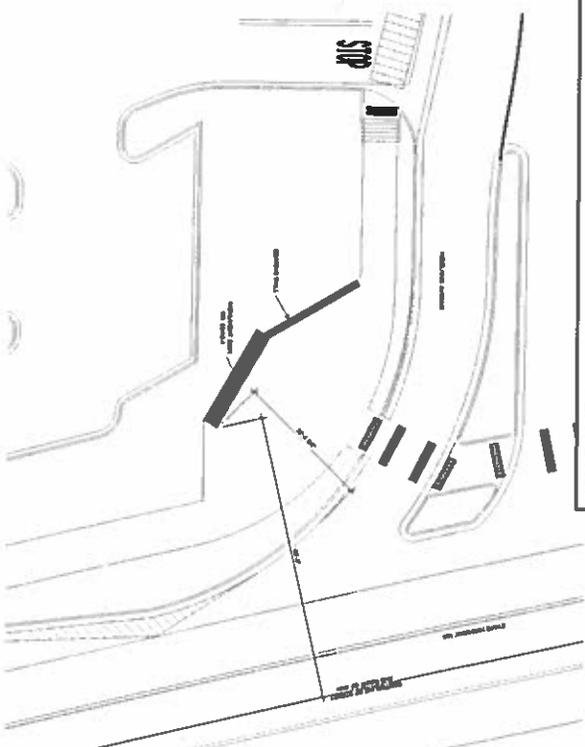
MAIN STREET SIGNAGE:  
 OVERALL LENGTH = 19'-0"  
 AREA RATIO OF 75 SQUARE FEET  
 19'-0" X .75 = 14.25 SQUARE FEET  
 CITY MARKET SIGN @ 3" LETTER = 44.3 SQUARE FEET  
 ALL SIGNS ARE 5" DEEP

SHORT PAST:  
 OVERALL LENGTH = 27'-0"  
 AREA RATIO OF 75 SQUARE FEET  
 27'-0" X .75 = 20.25 SQUARE FEET  
 RX ENTER SIGN = 5.1 SQUARE FEET  
 TOTAL SIGNAGE = 5.1 SQUARE FEET  
 ALL SIGNS ARE 5" DEEP

HIGHWAY 133 SIGNAGE:  
 OVERALL LENGTH = 27'-0"  
 AREA RATIO OF 75 SQUARE FEET  
 27'-0" X .75 = 20.25 SQUARE FEET  
 CITY MARKET SIGN @ 3" LETTER = 44.3 SQUARE FEET  
 PHARMACY @ 3" LETTER = 28.25 SQUARE FEET  
 RX DRIVE THRU @ 3" LETTER = 28.25 SQUARE FEET  
 1ST BANK ATM = 14.1 SQUARE FEET  
 WESTERN UNION = 14.3 SQUARE FEET  
 MARIYVA'S CHEESE = 40.3 SQUARE FEET  
 STARBUCKS = 72.8 SQUARE FEET  
 RX EXIT SIGN = 5.1 SQUARE FEET  
 TOTAL SIGNAGE = 182.7 SQUARE FEET  
 ALL SIGNS ARE 5" DEEP

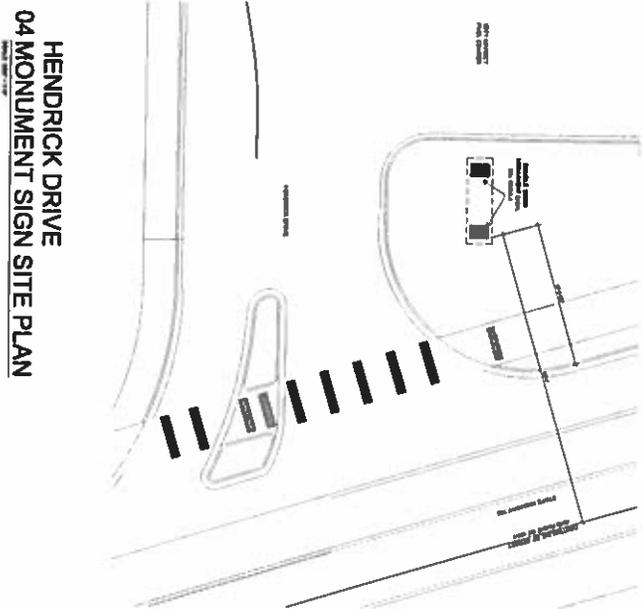
<p><b>CITY MARKET</b>                  #447                  HWY 133                  MAIN STREET                  CARBONDALE, CO                  81023</p>	<p><b>Naos Design Group, LLC</b>                  404 SOUTH ENVELOPE ST.                  SUITE 400                  CARBONDALE, CO 81027                  970.286.4571                  www.naosdesign.com</p>	<p><b>d lab</b>                  3111E JASPER DR                  CARBONDALE, CO 81027                  970.286.4571                  www.dlab.com</p>	<p><b>Pickering</b>                  1000 W. MAIN ST.                  CARBONDALE, CO 81027                  970.286.4571                  www.pickering.com</p>	<p><b>Galloway</b>                  1000 W. MAIN ST.                  CARBONDALE, CO 81027                  970.286.4571                  www.galloway.com</p>	<p><b>ISSUE LOG</b></p> <table border="1"> <thead> <tr> <th>NO.</th> <th>REV.</th> <th>DESCRIPTION</th> <th>DATE</th> </tr> </thead> <tbody> <tr> <td>1</td> <td>1</td> <td>ISSUE LOG</td> <td>02/28/2018</td> </tr> </tbody> </table>	NO.	REV.	DESCRIPTION	DATE	1	1	ISSUE LOG	02/28/2018	<p><b>A2.3</b></p>
NO.	REV.	DESCRIPTION	DATE											
1	1	ISSUE LOG	02/28/2018											

**EXHIBIT C - SIGN LOCATIONS AND FEATURES**

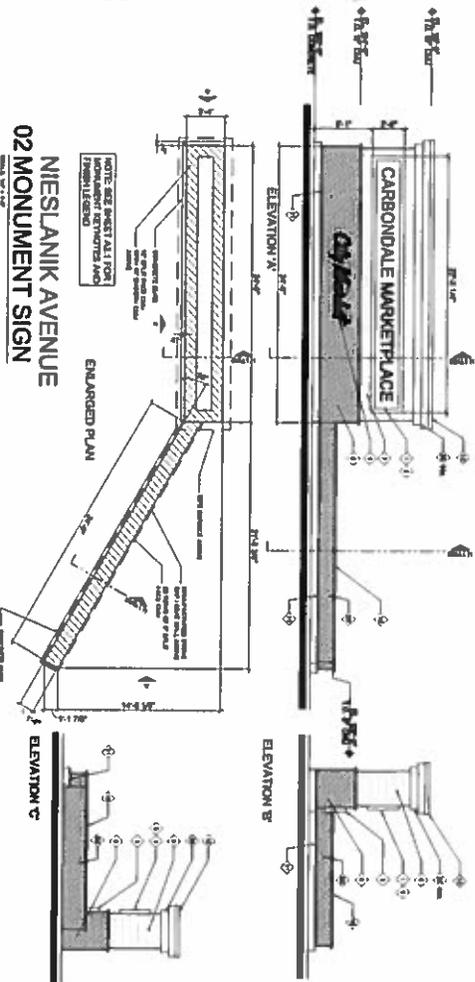


**01 MONUMENT SIGN SITE PLAN**  
SCALE: 1/8" = 1'-0"

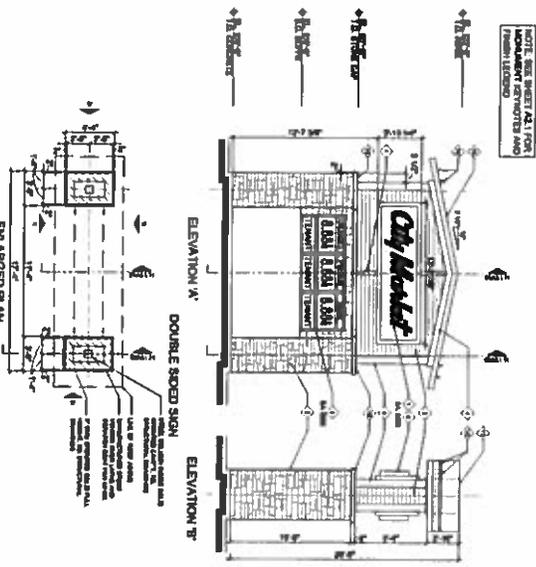
ALL SIGNAGE WILL BE APPLIED FOR UNDER A SEPARATE PERMIT BY OWNER'S SIGN CONTRACTOR. GENERAL CONTRACTOR IS RESPONSIBLE FOR BUILDING THE MONUMENT SIGNS AS SHOWN AND DETAILED AS WELL AS THE ELECTRICAL ROUGH INS FOR THE SIGNAGE.



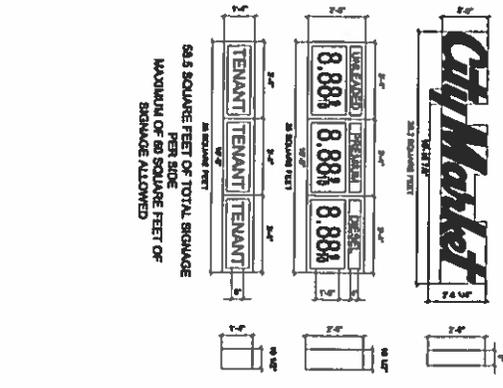
**04 MONUMENT SIGN SITE PLAN**  
SCALE: 1/8" = 1'-0"



**02 MONUMENT SIGN**  
 NIESLANIK AVENUE  
SCALE: 1/8" = 1'-0"



**03 MONUMENT SIGN AREA**  
 NIESLANIK AVENUE  
SCALE: 1/8" = 1'-0"



**06 MONUMENT SIGN AREA**  
 HENDRICK DRIVE  
SCALE: 1/8" = 1'-0"

**CITY MARKET**  
 #447  
 HWY 138  
 MAIN STREET  
 CARBONDALE, CO  
 81823

**Naos Design Group, LLC**  
 4040 NORTH BRUNNENBURG ST.  
 SUITE 400  
 DENVER, COLORADO 80237  
 303.755.4511  
 www.naosgroup.com

**Picketing**  
 Picketing, Inc.  
 10000 E. 1st Avenue  
 Suite 100  
 Denver, CO 80231  
 303.755.4511

**d/fab**  
 1111 E. 1st Avenue  
 Suite 100  
 Denver, CO 80231  
 303.755.4511

**Galloway**  
 10000 E. 1st Avenue  
 Suite 100  
 Denver, CO 80231  
 303.755.4511

**ISSUE LOG**

NO.	REV	DESCRIPTION	DATE
1	1	ISSUE	02/29/18
2	1	ISSUE	02/29/18
3	1	ISSUE	02/29/18
4	1	ISSUE	02/29/18



## EXHIBIT D

PARCELS 2 & 3 SITUATED IN THE NE1/4 SE1/4 SECTION 33,  
TOWNSHIP 7 SOUTH, RANGE 88 WEST OF THE 6th P.M.  
TOWN OF CARBONDALE, COUNTY OF GARFIELD, STATE OF COLORADO

SHEET 1 OF 1

PARCEL No. 2

A PARCEL OF LAND SITUATED IN THE NE1/4 SE1/4 OF SECTION 33, TOWNSHIP 7 SOUTH, RANGE 88 WEST OF THE SIXTH PRINCIPAL MERIDIAN, CARBONDALE, COLORADO, SAID PARCEL BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE STREET MONUMENT LOCATED AT THE INTERSECTION OF EIGHTH STREET AND MAIN STREET IN THE TOWN OF CARBONDALE, COLORADO;  
THENCE N 76°49'42" W 1571.89 FEET TO A POINT BEING IN THE CENTER OF A 20.00 FOOT ROAD EASEMENT;  
THENCE N 53°06'59" E ALONG SAID CENTERLINE, 15.47 FEET, THE TRUE POINT OF BEGINNING;  
THENCE S 50°57'07" E 41.35 FEET;  
THENCE S 27°02'41" W 8.81 FEET;  
THENCE S 01°04'57" W 104.19 FEET TO A POINT ON THE NORTHERLY RIGHT-OF-WAY OF COUNTY ROAD NO. 106;  
THENCE N. 89°26'00" W ALONG SAID NORTHERLY RIGHT-OF-WAY 142.07 FEET;  
THENCE LEAVING SAID NORTHERLY RIGHT-OF-WAY N 00°50'0" W 236.01 FEET;  
THENCE N 89°42'26" E 84.45 FEET;  
THENCE S 00°36'00" E 48.87 FEET;  
THENCE S 76°43'34" E 79.89 FEET TO A POINT ON THE CENTERLINE OF SAID 20.00 FOOT ROAD EASEMENT;  
THENCE S 53°06'55" W ALONG SAID CENTERLINE 54.22 FEET TO THE TRUE POINT OF BEGINNING.

ALSO KNOW AS:

PARCEL I, RESUBDIVISION OF VELASQUEZ PROPERTY,  
ACCORDING TO THE MAP RECORDED MARCH 28, 1988 AS RECEPTION NO. 390757.

PARCEL No. 3

A PARCEL OF LAND SITUATED IN SECTION 33, TOWNSHIP 7 SOUTH, RANGE 88 WEST OF THE 6th P.M., TOWN OF CARBONDALE, GARFIELD COUNTY, COLORADO AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT THE INTERSECTION OF EIGHTH STREET AND MAIN STREET IN SAID TOWN OF CARBONDALE;  
THENCE N. 76 DEGREES 49'42"W. 1571.89 FEET; THENCE N. 53 DEGREES 06'55"E. 15.47 FEET TO THE TRUE POINT OF BEGINNING; THENCE N. 53 DEGREES 06'55"E. 54.22 FEET; THENCE N. 86 DEGREES 05'41"E. 50.64 FEET; THENCE S. 00 DEGREES 47'17"W. 62.73 FEET; THENCE N. 86 DEGREES 33'02"W. 20.81 FEET; THENCE S. 00 DEGREES 25'47"W. 110.38 FEET TO A POINT ON THE NORTHERLY RIGHT OF WAY LINE OF GARFIELD COUNTY ROAD No. 106; THENCE N. 89 DEGREES 26'00"W. 45.40 FEET ALONG SAID NORTHERLY RIGHT OF WAY LINE; THENCE N. 01 DEGREES 04'57"E. 104.19 FEET; THENCE N. 27 DEGREES 02'41"E. 8.81 FEET; THENCE N. 50 DEGREES 57'07"W. 41.35 FEET TO THE TRUE POINT OF BEGINNING.

ALSO KNOWN AS PARCEL B OF THE SUBDIVISION EXEMPTION PLAT, RECORDED OCTOBER 28, 1985 AS RECEPTION No. 366044, BEGIN A PORTION OF PARCEL A OF AMENDED RE-SUBDIVISION OF SOUTHLAND CORP. PROPERTY.

STATE OF COLORADO  
COUNTY OF GARFIELD

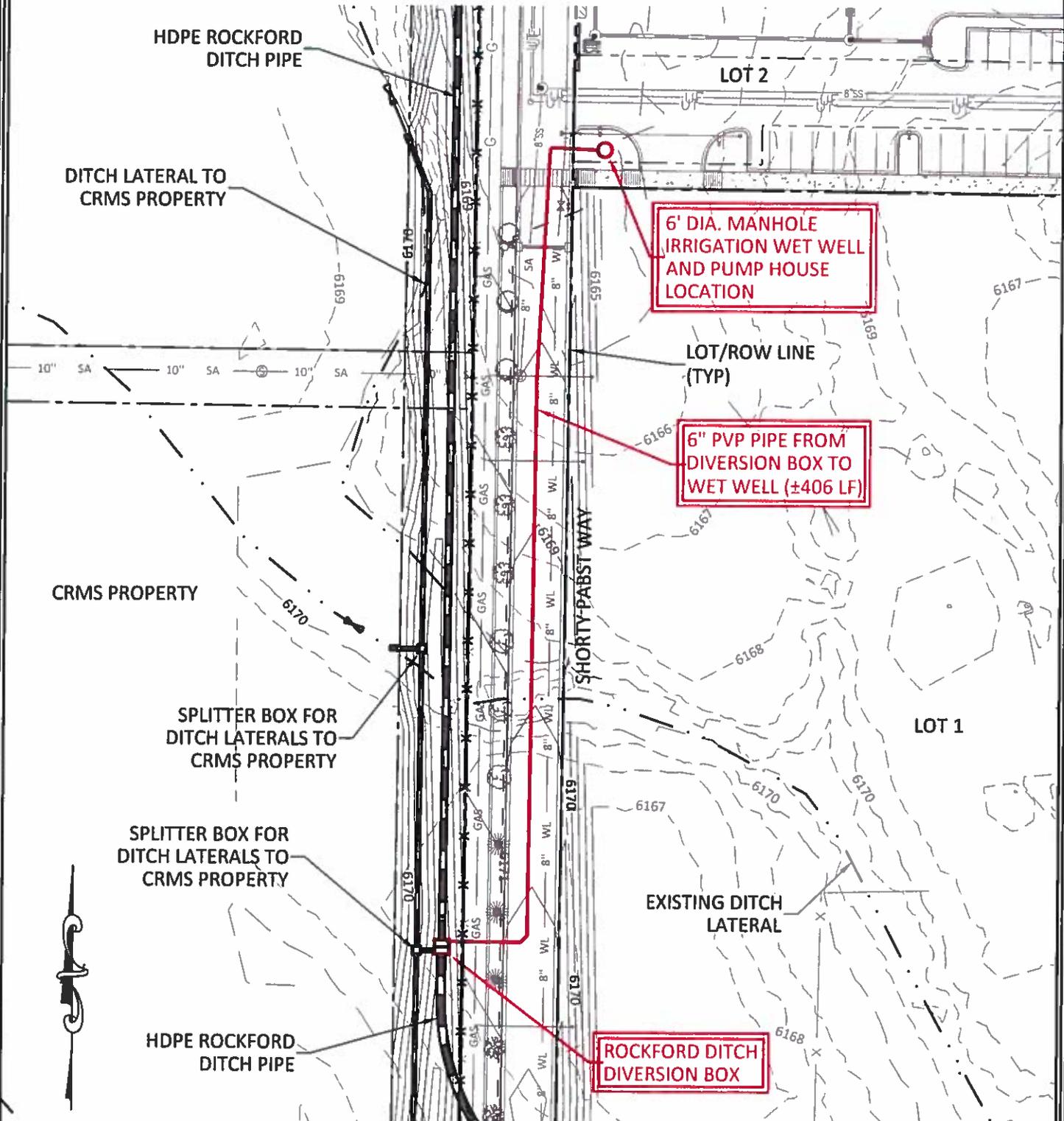
### SOPRIS ENGINEERING - LLC

CIVIL CONSULTANTS  
502 MAIN STREET, SUITE A3  
CARBONDALE, COLORADO 81623  
(970) 704-0311 SOPRISENG@SOPRISENG.COM

sb 14243 2018-02-07  
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# EXHIBIT E

## CARBONDALE CITY MARKET RAW IRRIGATION WATER - SHARED MAINTENANCE



SCALE: 1" = 60'

**SOPRIS ENGINEERING - LLC**

CIVIL CONSULTANTS  
502 MAIN STREET, SUITE A3  
CARBONDALE, COLORADO 81623  
(970) 704-0311

2/12/18

**Exhibit J  
Adjoining Property**

239333453003

239333453002

**City Market  
Groceries**

239333400006

**Vacant**

**CRMS  
School**

239333453001

**Lot One  
Mixed Use**

239333400004

**Commerical  
Residential**

239333400042

**Vacant**

239333441007

239333435013

**Mixed Use**

239333442001

**Vacant**

239333442002

**RFTA Office**

**Ace**

















## DITCH RELOCATION AGREEMENT

This Agreement is made as of the 26<sup>th</sup> day of FEBRUARY, 2018 by and between the Rockford Ditch Association, Inc., a Colorado nonprofit corporation ("Association") whose address is 1493 CR 106, Carbondale, Colorado 81623, Crystal River Marketplace LLC, a Colorado limited liability company ("CRM") whose address is 20 Sunset Drive, Unit 1, Basalt, Colorado 81621.

WHEREAS, the Association is the owner of the Rockford Ditch and the water rights decreed to it out of the Crystal River, tributary to the Roaring Fork River; and

WHEREAS, CRM is the owner of real property located in the Town of Carbondale, Colorado which property is more specifically described on Exhibit A (the "CRM Property"); and

WHEREAS, Colorado Rocky Mountain School, Inc. ("CRMS") is the owner of real property located adjacent to the CRM Property as depicted on the Rockford Ditch Realignment Plan attached as Exhibit B ("Plans") (the "CRMS Property"); and

WHEREAS, Alpine Bank is the owner of real property located in the Town of Carbondale, Colorado as depicted on the Plans (the "Alpine Bank Property"); and

WHEREAS, the Town is the beneficiary of a public road which runs between the Alpine Bank Property and the CRM Property depicted as "Main Street" on the Plans; and

WHEREAS, the Rockford Ditch has delivered water to land located in the Townsite of Cooperton and Garfield County, including the CRM and CRMS Properties since at least 1883; and

WHEREAS, the Rockford Ditch holds a prescriptive easement for the existing ditch including both the piped section under Main Street and traversing the CRM, CRMS, and Alpine Bank Properties; and

WHEREAS, CRM desires to develop the CRM Property and has applied to the Town for various development approvals for a 5-lot subdivision which proposes a grocery store and appurtenant uses on 3 of the 5 lots entitled the Carbondale Marketplace Subdivision ("Carbondale Marketplace Development"); and

WHEREAS, in connection with the development of the CRM Property, CRM desires to relocate the Ditch as shown on the Plan to alternative locations on the CRM, CRMS, and Alpine Bank Properties, and under Main Street; and

WHEREAS, in connection with the development of the CRM Property, CRM also desires to place portions of the Ditch in an underground pipe; and



WHEREAS, the parties desire to enter into this Agreement to set forth the terms and conditions by which CRM may relocate and pipe the Ditch under Main Street and across the CRM, CRMS, and Alpine Bank Properties.

NOW THEREFORE, in consideration of the mutual agreements made herein, the parties agree as follows:

1. Association’s Consent to Modification. The Association hereby consents to CRM’s partial relocation, reconstruction, and piping of the Ditch through the CRM, CRMS, and Alpine Bank Properties, and under Main Street in connection with the development of the CRM Property, subject to the following terms and conditions:

a. Plans; Construction of Improvements. This consent is given so long as the relocation and piping are performed substantially in conformance with the specifications contained in the September 14, 2016 Memorandum from Sopris Engineering (SE Job #14243), and as generally depicted on Exhibit B (the relocation and piping generally set forth in the Plans shall be referred to as “the Project”, and any infrastructure installed pursuant to the Project the “Improvements”) and so long as the Association’s professional engineer reviews and approves all construction plans prior to and after construction in accordance with the procedure set forth below.

i. Pre-Construction Approval: All Plans related to the Project shall be approved by the Association’s engineer prior to construction. To evidence pre-construction approval, all design drawing cover sheets shall include the following signature block:

*Design Engineer Signature:*

\_\_\_\_\_

[Printed Name], Colo. P.E. No. xxxxxx [Date]

*Ditch Association Approval:*

Approved on the \_\_\_\_ day of \_\_\_\_\_, 20xx

By: \_\_\_\_\_

*Ditch Association President*

ii. Construction Observation and Approval. CRM shall ensure that a certified professional engineer provides construction inspection services as necessary to allow CRM’s engineer to provide a stamped certification, when improvements are submitted to the Association for acceptance, that such Improvements have been constructed in accordance with the Plans approved by the Association. The Association shall have the right to make engineering observations at reasonable

intervals and at CRM's expense during construction of the Improvements. Observation, acquiescence in, or construction of any physical facilities, at any particular time, shall not constitute Association approval of any phase of construction of the Improvements. Association approvals shall be made only after completion of construction and in the manner hereinafter set forth. To assist the Association in monitoring the installation of the Improvements, a representative employed by CRM's general contractor shall inspect the Improvements on at least a weekly basis, and shall provide the Association's engineer with supervisor's field and inspection notes relating to the installation of the Improvements which have been reviewed and stamped by a professional engineer. The representative shall regularly apprise the Association's engineer of the status of the work on the Improvements. Further, CRM at its own expense shall have an approved geotechnical engineer monitor the methods of construction and backfill, to ensure such work is being completed in conformance with the approved Plans, and accepted standards for such work. The geotechnical engineer shall conduct inspections and testing as directed by CRM's engineer. The Association agrees to respond to requests for interim inspections in a timely manner and to respond not later than ten (10) business days after a request for a final inspection. Nothing in this paragraph shall be construed to constitute an acceptance by the Association of the Improvements, which approval and acceptance shall only occur pursuant to the specific provisions below.

iii. Completion of Improvements; Approval. CRM shall complete all Improvements within one (1) year of the initiation of any work related to the Project, including site work, but in no event later than 30 months after the mutual execution of this Agreement. CRM shall provide notice of the date such work was initiated to RDA within 10 days of the same. Upon CRM's completion of the Improvements, CRM's engineer shall certify in writing that the Improvements have been completed in conformance with the Plans and submit to the Association a completed acceptance checklist utilizing a form approved by the Association. Thereafter, the Association's engineer or his designee shall inspect the Improvements and identify in writing and with specificity their conformity or lack thereof to the Plans. CRM shall make all corrections necessary to bring the Improvements into conformity with the Plans. CRM shall at its expense have "as-built" drawings prepared by a professional engineer and a registered land surveyor, which drawings shall include all legal descriptions the Association may require. The "as-built" drawings and costs summary shall be forwarded to the Association for review and approval. Once the as-built drawings and costs summary are approved, and any and all corrections are completed, the Association's engineer or his designee shall certify in writing that all Improvements are in conformity with the Plans.



- b. CRM to Pay for Association's Costs. CRM shall pay for any and all costs incurred by the Association in connection with the Project, including without limitation attorney's fees and engineering fees. CRM shall provide at its sole cost and expense all necessary engineering designs, surveys, field surveys, and incidental services related to the construction of the improvements associated with the Project.
- c. Timing; Liquidated Damages. The timing of the Project shall not interfere with the delivery of water to the Association consistent with historic timing and practice. The Ditch typically runs between April 1 and November 15<sup>th</sup> of every year ("Irrigation Season"). All parties recognize and agree that damages in the event of a breach of this Agreement would be difficult to ascertain, though will certainly be great and irreparable, and therefore CRM agrees that in the event of a breach, it shall pay as liquidated damages to the Association the amount of \$10,000.00 a day for each day during the Project that the Ditch cannot carry the full diverted amount through the Ditch from the Diversion Box labeled as "Point A – Proposed Manhole" on the Plans through to discharge to the existing ditch lateral labeled as "Point B – End Rockford Ditch Piping Realignment" on the Plans ("Modified Ditch") as a result of actions or inactions by CRM, but in no event shall such liquidated damages exceed \$200,000. This provision in no way shall affect any parties' ability to seek injunctive relief.
- d. Sizing. Any portion of the Modified Ditch, including underground portions thereof, shall be sized to carry at least the full amount of water decreed to the Ditch at Point A – Proposed Manhole through to the outlet at Point B - End Rockford Ditch Piping Realignment. In addition, the quantity of water delivered in the Ditch through the Modified Ditch will be at least as much as that which has historically been delivered at such point in the Ditch.
- e. Landscaping Within Ditch Easements. CRM agrees not to construct any buildings on or over the Ditch as relocated and reconstructed and agrees not to plant or permit the planting of willow or cottonwood trees within 50 feet of the of the Modified Ditch. Further, all landscaping on the easements for the Ditch granted pursuant to the provisions hereof shall be consistent with the landscape plan approved by the Tree Board of the Town of Carbondale in connection with the approvals for the development of the CRM Property. CRM shall ensure that any easement granted by CRMS or Alpine Bank also complies with this Paragraph.
- f. CRM Responsible for Ditch Expenses. Upon execution hereof, CRM and/or its successors in interest (including without limitation any property owners' association which may be formed to manage the CRM Property in the future), at its sole expense, shall be responsible for all costs and expenses in any way related to the operation, maintenance, repair, and replacement of the Modified Ditch from Point A – Proposed Manhole through Point B - End Rockford Ditch Piping Realignment as depicted on the Plans (the "OMR&R"). CRM shall perform maintenance of the Modified Ditch on

a regular basis as appropriate and necessary to keep the Modified Ditch operational and functional. In the event CRM fails to appropriately maintain the Modified Ditch and the flow of water through the Modified Ditch is reduced, impeded, or otherwise adversely affected or potentially adversely affected during the irrigation season, the Association may provide CRM with written notice of such failure and CRM shall perform the necessary maintenance or make repairs as appropriate within two days of the receipt of the receipt of the notice. If CRM fails to remedy the situation within 48-hours, the Association shall have the right to access the Modified Ditch, perform maintenance or make repairs as appropriate, and bill the costs to CRM, as provided below. In this event, the Association shall submit a statement to CRM for its costs incurred in performing such repairs or maintenance within fourteen days after the completion thereof. In the event such statement is not paid within fourteen days after receipt by CRM, the Association may record a *lis pendens* against the CRM Property and file suit against CRM, or its successor-in-interest for payment of the same. In the event of a problem within the Modified Ditch that requires more extensive maintenance or repairs that does not impede the flow through the Modified Ditch and can be performed outside of the irrigation season, the Association shall provide CRM with written notice such failure and CRM shall perform the necessary maintenance and repairs during the non-irrigation season. If such repairs are not completed prior to March 15<sup>th</sup>, the Association shall have the right to access the Modified Ditch, perform maintenance or make repairs as appropriate and bill the costs to CRM, as provided below. In this event, the Association shall submit a statement to CRM for its costs incurred in performing such repairs or maintenance within fourteen days after the completion thereof. In the event such statement is not paid within fourteen days after receipt by CRM, the Association may record a *lis pendens* against the CRM Property and file suit against CRM, or its successor-in-interest for payment of the same. CRM, for its part, hereby grants the Association a lien against the CRM Property for any unpaid costs of OMR&R or any other cost or expense for which CRM is responsible under this agreement, including attorney fees and costs of collection.

- g. Emergency Repairs. Notwithstanding the foregoing, in the event of an emergency, defined as any situation that has the potential to cause immediate harm to life or property, and, to the extent practical, after making a reasonable effort to give CRM immediate notice, the Association may attend to necessary maintenance and repairs immediately to address the emergency and shall notify CRM as soon as possible of the circumstances and action taken. All costs incurred by the Association in connection with the foregoing circumstances will be reimbursed by CRM or its successor-in-interest, including professional fees.
- h. Covenant for Lien for Ditch Maintenance Expenses on CRM Property. CRM and any successor owner of the CRM Property or any portion thereof shall be deemed to

covenant and agree to pay for all expenses related to the OMR&R of the entire portion of the Modified Ditch, including the sections on the Alpine Bank Property, under Main Street, and on the CRMS Property between Point A – Proposed Manhole and Point B - End Rockford Ditch Piping Realignment depicted on the Plans. All such expenses may be established, fixed, and collected by the Association. These expenses, together with interest, costs, and reasonable attorneys' fees shall be a charge and continuing lien upon the entire CRM Property until paid. All such expenses shall also be the personal obligation of CRM or successor owners of any portion of the CRM Property.

- i. Town Ordinance. CRM agrees to comply with the terms and conditions set forth in the Town of Carbondale Ordinance \_\_\_\_\_.
  - j. Designee. CRM or its successors in interest shall designate a single representative for contact and notice purposes under this contract at all times, and shall notify the Association of the identify of said individual in writing.
  - k. Limited Access to Association Shareholders. CRM and its successors shall, upon request by the Association, permit any shareholder of the Association who intends to utilize water on a parcel of land adjacent to the CRM Property as of the date of the recordation of the plat thereof to connect into the irrigation system on CRM Property and utilize such shareholder's shares in the same manner as any development of Lots 1 and 5 of the Carbondale Marketplace Subdivision. Such connection shall be at the sole cost of the Association Shareholder.
2. Ditch Easement Across CRM Property. CRM shall expressly reserve an easement for the benefit of the Association for the Ditch as relocated and reconstructed in place on all final plats recorded for the Property. In addition, by the execution hereof, CRM agrees within 90 days of the completion of the Improvements to execute that certain grant of easement substantially in the form attached hereto as Exhibit C whereby an easement for the Ditch is granted as relocated and reconstructed by the Project (the "Easement"). The Easement shall be for at least a total of thirty feet with the centerline of the Modified Ditch itself being no less than ten feet from one side of the Easement. Access to the Easement by the Association shall be along existing roads on the CRM Property to the extent practical and appropriate under the circumstances. In the event access other than along an existing road is deemed necessary by the Association, it shall use reasonable efforts, in light of the prevailing circumstances, to notify CRM's designated representative of such access prior to making such access. The documents provided for in this paragraph shall be tendered to the attorney for the Town of Carbondale prior to the approval of the final plat for the Property to be held until the approval of said final plat at which time the attorney for the Town of Carbondale shall cause them to be recorded with the final plat.

3. Ditch Easement Across CRMS Property, Alpine Bank Property. Prior to any work on the Project, CRM shall secure grants of easements to the Association from CRMS and Alpine Bank substantially in the same form as the Easement and acceptable to the Association whereby an easement for the Ditch is granted as relocated and reconstructed by the Project, except that all expenses for operation, maintenance, repair, and replacement of the Ditch across the CRMS Property and Alpine Bank Property shall be borne by CRM. These easements shall be at least a total of thirty feet with the centerline of the Modified Ditch itself being no less than ten feet from one side of the Easement, and shall expressly prohibit the planting of willow or cottonwood trees within 50 feet of the Modified Ditch. Access to the Easement by the Association shall be along existing roads on the CRMS Property and Alpine Bank Property to the extent practical and appropriate under the circumstances. In the event access other than along an existing road is deemed necessary by the Association, it shall use reasonable efforts, in light of the prevailing circumstances, to notify the owner's designated representative of such access prior to making such access. The Association must approve said easements prior to their recordation, which shall not be unreasonably withheld.
4. Ditch Easement Under Main Street. CRM warrants and represents that it has authority and permission from the Town for the Project, including for the relocation of the Ditch under Main Street as depicted on the Plans. All expenses for operation, maintenance, repair, and replacement of the Modified Ditch as it traverses across and under Main Street shall be borne by CRM and included within the OMR&R.
5. Ownership of Improvements. Those improvements to the Ditch that are made hereunder shall be owned by the Association. Upon completion of the construction of the relocation of the Modified Ditch and following review and approval of the as-constructed improvements to the Ditch by the Association's professional engineer, as evidenced by his signature on the as-built plans, CRM shall promptly deliver a bill of sale for such improvements to the Association.
6. Permitting. CRM shall be responsible for securing all necessary permits and approvals for the Project, including without limitation any permits or approvals necessary from the Colorado Department of Transportation and the Town of Carbondale.
7. Covenants. In the preparation and approval of the Covenants for the Property, CRM shall include provisions that require the following:
  - a. The maintenance of comprehensive general liability insurance in an amount of not less than \$5,000,000.00 which shall be consisted with the provisions of Paragraph 12;

- b. The obligation to maintain the Modified Ditch, including any existing and future improvements; and
  - c. Adequate assurance of payment of the OMR&R, including a covenant substantially similar to: "CRM and any successor owners of the CRM Property or any portion thereof shall be deemed to covenant and agree to pay for all expenses related to the operation, maintenance, repair, and replacement of the entire portion of the Modified Ditch which was modified and/or piped by that certain Agreement entered into between CRM and the Rockford Ditch Association, Inc. on \_\_\_\_\_, including that portion of the Ditch depicted on Exhibit B thereto. All such expenses may be established, fixed, and collected by the Association. These expenses, together with interest, costs, and reasonable attorneys' fees shall be a charge and continuing lien upon the entire CRM Property until paid. All such expenses shall also be the personal obligation of CRM or successor owners of any portion of the CRM Property." CRM shall receive the Association's written consent of the provision prior to recording the Declaration for the CRM Property.
  - d. Appropriate administrative mechanisms and procedures providing assurance that there shall be sufficient assessments to fund the ongoing OMR&R consistent with CRM's obligations hereunder, including the ability to levy a special assessment to defray any such costs.
8. Default. In the event of default by CRM or its successors and/or assigns ("Defaulting Party"), other than as provided in Paragraph 1. c above, any of the other parties to this Agreement may provide the Defaulting Party with written notice of the default and the Defaulting Party shall have seven days within which to cure the default. In the event the nature of the default is such that it cannot be cured within seven days, the Defaulting Party shall diligently use its best efforts to cure the default as soon as possible. In the event the default is not cured, the non-defaulting parties shall be entitled to recover their actual damages incurred as a result of curing the default of the Defaulting Party, together with reasonable attorneys' fees.
  9. Attorneys' Fees and Costs. In the event litigation is necessary to enforce the rights of any party to this Agreement, the party substantially prevailing in such litigation shall be entitled to reasonable attorneys' fees and costs or suit actually incurred in such litigation.
  10. Integration. This agreement constitutes the entire and complete agreement of the parties on the subject matter dealt with herein. No promise or undertaking has been made by any party, and no understanding exists with respect to the transaction herein contemplated, except as expressly set forth herein. All prior and contemporaneous negotiations and understandings between the parties are embodied and merged into this

agreement. Any modification or amendment must be in a written form and executed in the same manner as this agreement.

- 11. Notice. When it shall be necessary or required to serve a notice demand on either party pursuant to this Agreement, such notice or demand shall be made in writing and either (i) delivered either in person by certified mail, postage prepaid, return receipt requested, or by overnight express delivery such as Federal Express to each party at its address shown below, or (ii) sent via email to the party at the email shown below.

The Association:      Rockford Ditch Association  
   c/o President  
   1493 CR 106  
   Carbondale, CO 81623

Copy to:                      Chad J. Lee, Esq.  
   Balcomb & Green, P.C.  
   818 Colorado Ave.  
   PO Drawer 790  
   Glenwood Springs, CO 81601  
   clee@balcombgreen.com

CRM:                              Crystal River Marketplace LLC  
   20 Sunset Drive #1  
   Basalt, CO 81621

Copy to:                      Yancy T. Nichol, P.E.  
   Sopris Engineering, LLC  
   502 Main St., Suite A-3  
   Carbondale, CO 81623

- 12. Indemnification. CRM, for itself and its successors and assigns including without limitation, a property owners' association of the CRM Property, shall hold harmless, indemnify, and defend the Association, its successors and assigns to the fullest extent allowed under Colorado law from and against any actual or threatened loss, claim, demand, negligence, cause of action, liability, cost, expense (including attorneys' fees and litigation expenses and costs) or damages of any kind or nature (including those involving death, personal injury or property damage) associated with or arising from any activity performed by CRM in any way related to the Project or any ongoing obligation assumed

by CRM under this Agreement, including OMR&R. CRM shall include the Association and to the extent available, its officers and directors, as an additional insured on its comprehensive general public liability insurance which shall be in an amount of at least \$5,000,000.00. CRM shall annually furnish the Association with certificates of insurance or other evidence of the acquisition and maintenance of such insurance. The first such certificates shall be provided within fifteen days of the execution hereof.

13. Entire Agreement. This agreement constitutes the entire and complete Agreement of the parties on the subject matter dealt with herein. No promises or undertaking has been made by any party, and no understanding exists with respect to the transaction herein contemplated, except as expressly set forth herein. All prior and contemporaneous negotiations and understandings between the parties are embodied and merged into this agreement. Any modification or amendment must be in a written form and executed in the same manner as this agreement.
14. Designated Party Representatives. The parties shall each designate a representative to be the contact for practical and coordinating communication between the parties in fulfilling their respective rights and responsibilities under this agreement.
15. Binding Effect. This agreement shall be binding upon and inure to the benefit of the parties and their assigns and successors in interest and shall run with the land. Any reference to CRM shall be deemed to be a reference to its successors and assigns, including future owners of any portion of the CRM Property and a property owner's association formed to manage the affairs of all or part of the CRM Property. This agreement shall not be assigned except with the written consent of the Association.
16. Counterparts; Electronic Signatures. This Agreement may be executed in counterparts, each of which shall be deemed an original and all of which, taken together, shall constitute one agreement. Copies of this Agreement may be delivered among the parties by facsimile transmission or other electronic means, such as by email utilizing PDF format, and such transmitted copies displaying the signature of a party shall have the same force and effect as an original, originally signed in ink by the party personally delivered to the recipient.

ROCKFORD DITCH ASSOCIATION



By: Mark Nieslanik, as President

CRYSTAL RIVER MARKETPLACE LLC



By: Briston Peterson, as Manager



Reception#: 903703  
02/28/2018 11:03:34 AM Jean Alberico  
11 of 16 Rec Fee \$88.00 Doc Fee:0.00 GARFIELD COUNTY CO

Approved as to Form:

Chad J. Lee, Esq., Attorney in Fact for the Rockford Ditch Association

EXHIBIT A  
CRM PROPERTY DESCRIPTION

SUBJECT PARCEL 1:

A PARCEL OF LAND BEING DESCRIBED AS THE CRYSTAL RIVER MARKET PLACE, LLC PARCEL ACCORDING TO THE LOT LINE ADJUSTMENT OF CRYSTAL RIVER MARKET PLACE LLC/CRMS PROPERTIES RECORDED SEPTEMBER 16, 2010 AS RECEPTION NO. 791487.

TOWN OF CARBONDALE  
COUNTY OF GARFIELD  
STATE OF COLORADO

TOGETHER WITH:

SUBJECT PARCEL 2:

THE PROPERTY DESCRIBED IN THAT DOCUMENT RECORDED AS RECEPTION NO. 735364 OF THE GARFIELD COUNTY RECORDS; SAID PARCEL BEING MORE FULLY DESCRIBED AS FOLLOWS:

A TRACT OF LAND SITUATED ON LOTS 8 AND 9, SECTION 33, TOWNSHIP 7 SOUTH, RANGE 88 WEST OF THE SIXTH PRINCIPAL MERIDIAN, AS FOLLOWS:

BEGINNING AT A POINT ON THE WESTERLY LINE OF STATE HIGHWAY NO. 133, FEDERAL AID PROJECT NO. S 016 (1), WHENCE THE STREET CENTER MONUMENT LOCATED AT THE CENTERS OF EIGHTH STREET AND MAIN STREET IN THE TOWN OF CARBONDALE, COLORADO, BEARS SOUTH 60°30'10" EAST 1706.90 FEET (*SOUTH 60°30'30" EAST 1707.14 FEET DEED*);

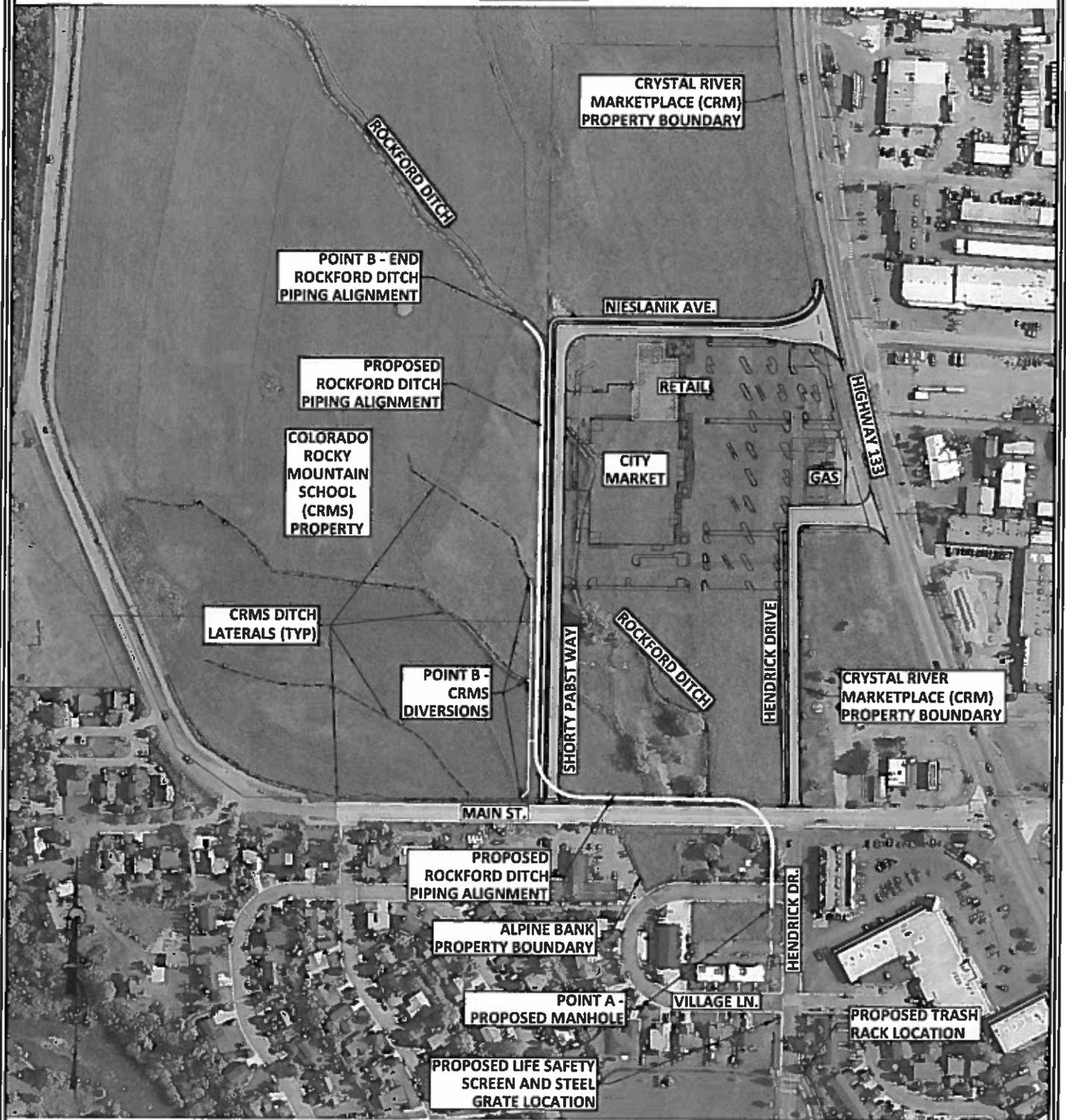
THENCE SOUTH 89°19'30" WEST, 157.29 FEET (*157.75 FEET DEED*) TO THE WEST LINE OF SAID LOT 8;

THENCE NORTH 0°50' WEST, 721.49 FEET (*726.65 FEET DEED*) ALONG THE WEST LINE OF SAID LOT 8 TO THE WESTERLY LINE OF SAID STATE HIGHWAY NO. 133;

THENCE ALONG THE ARC OF A CURVE TO THE LEFT WITH A RADIUS OF 5695.90 FEET A DISTANCE OF 739.38 FEET (*745.00 FEET DEED*), THE CHORD OF WHICH BEARS SOUTH 13°07'30" EAST (*SOUTH 13°01' EAST DEED*) 738.86 FEET (*743.84 FEET DEED*), TO THE POINT OF BEGINNING.

TOWN OF CARBONDALE  
COUNTY OF GARFIELD  
STATE OF COLORADO

**CRYSTAL RIVER MARKETPLACE  
ROCKFORD DITCH REALIGNMENT PLAN**  
CARBONDALE, COLORADO  
**EXHIBIT B**



SCALE: 1" = 300'

**SOPRIS ENGINEERING - LLC**  
CIVIL CONSULTANTS  
502 MAIN STREET, SUITE A3  
CARBONDALE, COLORADO 81623  
(970) 704-0311

9/26/16

[Exhibit C]

**EASEMENT DEED AND AGREEMENT**

THIS EASEMENT DEED AND AGREEMENT is entered into this \_\_\_\_ day of \_\_\_\_\_ 20\_\_, by and between CRYSTAL RIVER MARKETPLACE LLC (“Grantor”), whose address is 20 Sunset Drive, Unit 1, Carbondale, Colorado 81623, and the ROCKFORD DITCH ASSOCIATION, INC. (“Grantee”), whose address is 1493 County Road 106, Carbondale, Colorado 81623.

NOTICE THAT for ten dollars (\$10.00) and other good and valuable consideration, in hand paid, Grantor hereby grants, sells and conveys to the Grantee a perpetual nonexclusive easement legally described and depicted on Exhibit A attached hereto and incorporated herein by this reference (the “Easement”), to be used for the operation, maintenance, repair, and replacement of Grantee’s ditch, pipeline and appurtenances located therein, which Easement is located in, on, and across that certain real property located in the County of Garfield, State of Colorado, described on Exhibit B attached hereto and incorporated herein by reference (the “Property”). The Easement shall be subject to any and all road and utility, water, sewer, telephone, cable, electric, gas, secondary irrigation system, and similar easements that are located and reserved on the Final Plat for the Carbondale Marketplace Subdivision, recorded on \_\_\_\_\_ as Reception No. \_\_\_\_\_ that will cross the Easement granted hereby, provided that such similar easements shall not in any way adversely affect the Easement granted hereby or the Ditch.

The Easement granted herein shall supersede and replace Grantee’s existing ditch easement previously located on the Property as depicted on Exhibit C the Rockford Ditch Realignment Plan attached hereto.

This Easement Deed is provided pursuant to, and in satisfaction of, paragraph 2 of that certain Ditch Relocation Agreement dated \_\_\_\_\_, 2018 and recorded in the Office of the Garfield County Clerk and Recorder as Reception No. \_\_\_\_\_ (the “Ditch Relocation Agreement”), and the rights of the parties to this Easement Deed and their successors and assigns are subject thereto.

Grantor covenants and agrees that Grantor and any successors and assigns shall be responsible for all costs and expenses in any way related to the operation, maintenance, repair, and replacement of the Rockford Ditch from the Diversion Box depicted on Exhibit C through the termination point located on property owned by Colorado Rocky Mountain School, Inc. pursuant to the terms of the Ditch Relocation Agreement. Grantor covenants and agrees that it shall not plant, nor permit the planting of, willow or cottonwood trees within 50 feet of the Rockford Ditch as it traverses the Easement.

Grantor does covenant and agree that it shall and will warrant and forever defend the Easement to be free of any encumbrances and in the quiet and peaceable possession of the Grantee against all and every person claiming the whole or any part thereof, by, through or under the Grantor. Release from all mortgages, liens and Deed of Trust holders has been obtained for the purpose of this grant. This grant of Easement shall run with the land for the benefit of Grantee,





Reception#: 903703  
02/28/2018 11:03:34 AM Jean Alberico  
16 of 16 Rec Fee: \$88.00 Doc Fee: 0.00 GARFIELD COUNTY CO

[Schedule of Exhibits to Exhibit C, Easement Deed and Agreement]

Exhibit A to Easement Deed – Insert Surveyed Ditch Location as Realigned per Ditch Relocation Agreement at least 30 feet wide.

Exhibit B to Easement Deed – Insert Legal Description of Burdened (CRM) Property.

Exhibit C to Easement Deed – Insert Rockford Ditch Realignment Plan (Attached as Exhibit B to Ditch Relocation Agreement).

July 30, 2018

Robert Schultz Consulting, LLC  
c/o Bob Schultz  
354 Fawn Drive  
Carbondale, CO 81623

**RE: Main Street Marketplace (Lot 1, Carbondale Marketplace Subdivision)  
– Engineering Report, SE Job #17135.02**

Dear Bob,

Sopris Engineering, LLC (SE) has prepared the following Engineering Report to support a proposed development on Lot 1 of the Carbondale Marketplace Subdivision. The project is being called the Main Street Marketplace and includes residential and commercial development. The subject site which is comprised of 5.37 acres is located north of Main Street and west of Highway 133 in Carbondale. The information presented in this report is for major site plan review by the Town.

### **Background and Project Summary**

A subdivision plat for the Carbondale Marketplace Subdivision was recorded in February, 2018 splitting the 23.182 acre site into 5 lots and public streets which were dedicated to the Town. Lot 1 is the subject site and is located adjacent to Main Street. Lots 2, 3, and 4, which are located to the north of Lot 1, have been approved for development of a City Market grocery store, a gas station, and a retail building (City Market Development). Hendrick Drive and Shorty Pabst Way were dedicated to the Town and are proposed to parallel Lot 1 on the east and west. Lot 1 recently went through a rezone which was approved from Commercial/Retail/Wholesale to Mixed Use per the Unified Development Code (UDC) for the Town.

Public improvements to serve the site including utilities, irrigation, vehicle, and pedestrian access have been designed and approved by the Town through a subdivision improvement agreement (SIA) for the Carbondale Marketplace Subdivision (Carbondale Marketplace Development). The development for Lot 1 will ultimately modify some of that design. Specifically, curb cuts have been added to Shorty Pabst Way and Hendrick Drive, electric service is proposed from a different location, and sewer service through the site will allow removal of a sewer line down Hendrick Drive. Other modifications have been further explained later in this report.

The proposed development on Lot 1 includes 11 buildings (Buildings A – L, excluding “I”) comprised of apartments, townhomes, and commercial/mixed uses. A common open space area is proposed near the center of the site along with a futsal court. There are other open space, landscaping parks, and playgrounds proposed between the buildings. Public ingress, egress, and emergency access roads are proposed through the site along with public pedestrian and bicycle access through the site via sidewalks and paths. Parking is proposed behind the buildings which have generally been located to front the streets surrounding the property. Water, sewer, and shallow utilities have been designed to serve the buildings from the public utilities which have been further described later in this report.

A lot of effort and focus has gone into proposing a development compliant with the Town’s UDC.

502 Main Street • Suite A3 • Carbondale, CO 81623 • (970)704-0311 • Fax (970)704-0313

**SOPRIS ENGINEERING • LLC**

civil consultants

### **Existing Conditions**

The existing site has historically been used for agriculture purposes and irrigated pasture land. The Rockford Ditch which is a main, open channel irrigation ditch through the Town of Carbondale, runs through the site following the general slope of the site from south to north. The Rockford Ditch is proposed to be piped around the site to allow the developments to be built without conflicts with the ditch. Currently the site is vacant land and is acting as a staging area for the public improvements of the subdivision. Contractors have installed water and sewer mains on the CRMS property which is located to the west of the subject site in order to serve the proposed development.

### **Vehicle Access**

Hendrick Drive and Shorty Pabst Way are proposed public streets that parallel Lot 1 on the east and west, respectively. They will extend from Main Street on the south to the Lot 1/Lot 2 boundary on the north for the Lot 1 development. Hendrick Drive exists from an intersection with Main Street to the south (behind the existing Ace Hardware and City Market) and will become a four way intersection. Hendrick Drive will ultimately tie back into a new access off of Highway 133 north of the Lot 1 parcel as part of the City Market Development. Shorty Pabst Way is a new street and will extend north from Main Street on the west side of Lot 1 (approximately 500 ft west of the Hendrick Drive intersection). Shorty Pabst Way will ultimately tie into proposed Nieslanik Avenue which runs east/west and tie into another Highway 133 access as part of the City Market development. There are three proposed accesses into the Lot 1 development. Two accesses are from Shorty Pabst Way on the west and one from Hendrick Drive on the east. The roads through Lot 1 will ultimately be recorded as public ingress, egress, and emergency access and have been properly designed for emergency vehicle turn movements through the site.

### **Drainage**

A separate drainage study has been prepared for this project which addresses the Town requirements for stormwater drainage and management. The conclusions of the study suggest that no adverse impacts to the subject property or surrounding properties will result from the proposed development. The intent of the proposed grading and stormwater management for the project is to route stormwater over the proposed landscape areas for minor storms. Collection structures such as inlets and drain basins will route to underground drywells. Detention for minor storms is planned to remain in the detention structures, storm pipes, and inlets. Once fully infiltrated, stormwater for major storms will route through overflow pipes out of the drywells and into detention structures located underneath the common open space near the center of the lot. For major storms, if the drywells and detention structures become fully inundated, stormwater will overflow the drywell structures and be implemented within the common open space area (typical detention pond) for the final detention volume. Portions of the site will route to separate drywells in locations as shown on the design drawings. The detention structures will allow stormwater to infiltrate into the soils as well as provide onsite detention. See the drainage design drawings for more details.

### **Construction Erosion Control**

Temporary erosion control will be addressed in the Building Permit submittals. Total site disturbance is  $\pm 233,902$  square feet or  $\pm 5.37$  acres. A state stormwater permit for erosion control will be necessary because the total disturbance area is more than 1.0 acre. The site will utilize erosion control which includes best management practices such as silt fence, log wattles, and tracking control onsite.

## **Utilities**

### **Domestic Water System**

The subject lot falls within the Town of Carbondale's water service area. A water main was recently extended in the spring/summer of 2018 from the west to serve the subject site as part of the approved infrastructure for the Carbondale Marketplace development. A proposed 8 inch water line will connect to the recently extended main from the west and continue north within Shorty Pabst Way. A proposed 8 inch line will tee into the Shorty Pabst line and loop through the site to allow service to all of the buildings. The line tees inside the subject property and ties into another proposed 8 inch main that runs within Hendrick Drive on the east side of the site. The 8 inch line within Hendrick Drive is proposed to tie into an existing main located within Main Street as part of the approved infrastructure for the Carbondale Marketplace development. Fire hydrants and isolation valves have been strategically located to properly serve the site. All water improvements will be in compliance with the Town's rules, regulations, and specifications. See utility design drawings for more details.

### **Sanitary Sewer System**

The subject lot falls within the Town of Carbondale's sanitary sewer service area. A sewer main was recently extended in the spring/summer of 2018 from the west to a manhole located in Shorty Pabst Way to serve the subject site as part of the approved infrastructure for the Carbondale Marketplace development. A proposed 8 inch main will extend south from this manhole, then east through the subject lot, and then end at another manhole and stub located inside the Hendrick Drive public street. Buildings D – L will have services to this new proposed sewer line. All services will gravity feed to the new line which gravity feeds back to the west and offsite. Buildings A – C will have services to a proposed 8 inch sewer main which was designed with the City Market development. The main is located within Lot 2 north of the subject site and will ultimately gravity feed back to the main located within Shorty Pabst Way and then west offsite. All sanitary sewer improvements will be in compliance with the Town's rules, regulations, and specifications. See utility design drawings for more details.

### **Electric/Telephone/Cable**

Power poles are located on the north side of Main Street that carry electric and communication lines. As part of the Lot 1 development, it is proposed to underground those lines adjacent to Lot 1 in a trench paralleling Main Street. Lines are proposed to extend north within Shorty Pabst Way, east through the southern access into Lot 1, loop through the lot back to Shorty Pabst Way at the north access, and then continue north to a stub for future service to the north. Transformers and pedestals are proposed at strategically placed locations to extend service to the buildings within the lot. Comcast, Century Link, Cedar Networks, and Xcel Energy will have conduits within a shared trench following the described alignment. All installation will be in accordance with utility company standards. See utility drawings for more details.

Holy Cross Energy has an overhead line that runs from south to north along the east boundary line of the Hendrick Drive public street. The overhead line is proposed to be underground within an electric easement located inside the Hendrick Drive public street. Holy Cross does not serve the property but undergrounding the line is part of the Carbondale Marketplace development public improvements scope of work. See utility design drawings for more details.

### **Natural Gas**

A Black Hills Energy gas line is located on the south side of Main Street that runs east/west. A proposed gas line will tie into the existing line and run north under the proposed asphalt path within the Shorty Pabst Way public street boundary. Gas lines will extend from this line into the subject lot to serve the buildings. All gas lines will be installed in accordance with the gas company standards. See utility design drawings for more details.

### **Rockford Ditch Share Allocation**

The following describes analysis prepared by SE for the number of Rockford Ditch shares required to be allocated as part of the Lot 1 development. It should be noted that this analysis should not be considered final and the number of shares required to be allocated to the Town will be determined by the Town attorney and Town water rights engineer. This analysis is for estimation and information purposes only.

In this analysis, the different types of development such as multifamily and single family units, commercial spaces, areas to be irrigated, and other EQR triggers were tabulated with the corresponding EQR's per the Town code. The total EQR's were then converted to the required number of shares to be dedicated.

The proposed development for Lot 1 includes the following:

- 1 Bed & Studio Units with 1 kitchen up to 1,500 SF – 54
- 2 Bedroom Units with/ up to 1 ½ baths, 1 kitchen, up to 1,500 SF – 58
- 3 Bedroom Units w/ up to 2 baths, 1 kitchen, up to 3,000 SF – 3
- Coin operated washing machines up to 12 lbs capacity – 8
- Bars & Restaurants with less than 25 seats – 1
- Additional Seats at Bars & Restaurants over 25 - 175
- Commercial Buildings Up to 5,000 SF with 2 restrooms (excluding restaurants) – 2
- Irrigated Area – 67,000 SF (1.54 acres)

Assumptions were made based on the stage that the buildings have been designed to. It is not certain yet how many commercial spaces there will be within the mixed use buildings and if the commercial space will be restaurants. So it has been assumed that Building C (3,973 SF of commercial space) is a restaurant (Assumed 15 SF per person so 3,973 SF / 15 SF per person = 265 seats in the restaurant space). The other two buildings with commercial space (Buildings D and E) have been treated as commercial spaces and do not exceed 5,000 SF (1.0 EQR each).

Of the 58 two bedroom units, 34 have two baths. The 3 three bedroom units each have 2 ½ baths. The Town EQR categories include up to 1 ½ baths in 2 bedroom units and up to 2 baths in 3 bedroom units. It is SE's opinion that the extra ½ bath in each of these unit categories will not influence the water usage in the unit and that water usage is directly influenced by the number of bedrooms in a unit (people). As the number of bedrooms being proposed in the units are the same as the EQR category, it is SE's opinion that the EQR allotment for 2 bedroom and 3 bedroom units should be used regardless of the number of baths. See the next section for EQR's per development type.

The Town's EQR table located within the municipal code shows the following EQR's per development type:

- 1 Bedroom & Studio Units with 1 kitchen up to 1,500 SF – 0.6 EQR/Unit
- Up to & Including 2 Bedroom Units with/ up to 1 ½ baths, 1 kitchen, up to 1,500 SF – 0.8 EQR/Unit
- 3 Bedroom Units w/ up to 2 baths, 1 kitchen, up to 3,000 SF – 1.0 EQR/Unit
- Coin operated washing machine up to 12 lbs capacity – 0.35 EQR's /Unit
- Bars & Restaurants with less than 25 seats – 1.5 EQR/Unit
- Additional Seats at Bars & Restaurants over 25 – 0.04 EQR's/Seat
- Commercial Buildings Up to 5,000 SF with 2 restrooms (excluding restaurants) – 1.0 EQR/Unit
- Irrigated Area – 14.13 EQR's/acre

Based on the EQR dedication information above, the proposed Lot 1 Development EQR's are:

- 1 Bedroom & Studio Units with 1 kitchen up to 1,500 SF –  $54 \times 0.6 = \mathbf{32.4 \text{ EQR's}}$
- Up to & Including 2 Bedroom Units up to 1,500 SF –  $58 \times 0.8 = \mathbf{46.4 \text{ EQR's}}$
- 3 Bedroom Units w/ up to 2 baths, 1 kitchen, up to 3,000 SF –  $3 \times 1 = \mathbf{3.0 \text{ EQR's}}$
- Coin operated washing machine up to 12 lbs capacity –  $8 \times 0.35 = \mathbf{2.8 \text{ EQR's}}$
- Bars & Restaurants with less than 25 seats –  $1 \times 1.5 = \mathbf{1.5 \text{ EQR's}}$
- Additional Seats at Bars & Restaurants over 25 –  $240 \times 0.04 = \mathbf{9.6 \text{ EQR's}}$
- Commercial Building up to 5,000 SF with 2 restrooms (excluding restaurants) –  $2 \times 1.0 = \mathbf{2.0 \text{ EQR's}}$
- Irrigated Area –  $1.54 \times 14.13 = \mathbf{21.8 \text{ EQR's}}$

Total EQR's proposed for the development equals **119.5 EQR's**. Based on the Town's Rockford Ditch water right change case decreed in Case No. 88CW421, 0.52 shares are required to be dedicated per each EQR. Thus, the Lot 1 development should allocate an estimated **62.14 shares**.

### Irrigation

Irrigation will be provided to the Lot 1 development from the Rockford Ditch. The Rockford Ditch is an irrigation ditch that runs through the Town of Carbondale generally from south to north and crosses through the Lot 1 site in an open channel. In the approved Carbondale Marketplace development, the Rockford Ditch is proposed to be piped around the site with the alignment paralleling Main Street along the southern Lot 1 boundary line then turning north and paralleling Shorty Pabst Way on the west side of the boundary line. An inline concrete diversion box is proposed to divert water to a central storage vault located near the southwest corner of Lot 2. A pump station will then convey irrigation water to the 5 lots in the subdivision, including Lot 1. See the Carbondale Marketplace design drawings for more details.

An analysis of peak daily irrigation demands was performed for the full buildout scenario of the Carbondale Marketplace subdivision before Lot 1 was planned for development. In that scenario, the peak daily demand for Lots 2, 3, and 4 (City Market development) was applied to Lots 1 and 5 using a ratio of overall lot area versus the areas of the individual lots. The irrigated area proposed for the City Market development on Lots 2, 3, and 4 was approximately 1.6 acres and the peak irrigation demand for that area was 3,960 gallons per day. By applying the area ratios, it was determined that the peak irrigation demand for the full buildout of the subdivision was 10,500 gallons per day. To be conservative, not knowing what Lot 1 and 5 developments would be, the demand was doubled and an 80% efficiency was applied resulting in a peak full buildout irrigation demand of 26,150 gallons per day or about 20 gallons per minute.

The pump that conveys irrigation water to the lots has been designed with a 20 gallons per minute rate. And for comparison purposes, the irrigated area proposed for Lot 1 is approximately 1.54 acres. That area is about the same area as the City Market development (1.6 acres). The irrigation system for Lot 1 will be designed with a 20 gallons per minute water supply. Coordination between the irrigation systems for City Market and Lot 1 will be required for alternating irrigation time.

**Conclusion:**

Based on the proposed layout and design, the existing and proposed access, drainage, utility, ditch share allotment, irrigation, and site improvements have been addressed per the Town of Carbondale requirements for review and submittal.

If you have any questions or need any additional information, please call (970) 704-0311.

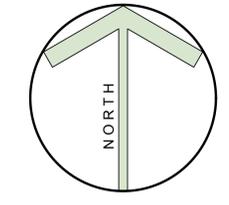
Sincerely,  
SOPRIS ENGINEERING, LLC



Kyle Sanderson, PE  
Project Engineer

# APPENDIX F

## Conceptual Site Plan



SCALE: 1" = 40'-0"  
 DATE: APRIL 26, 2017  
 REVISED: JULY 7, 2017  
 AUGUST 16, 2017  
 JUNE 14, 2018



**Building B**  
 Three Story Apartment Building  
 23 Units: 8 One Bedroom,  
 15 Two Bedroom over 800 s.f.

**Building A**  
 Three Story Apartment Building  
 12 Units: 6 One Bedroom,  
 6 Two Bedroom over 800 s.f.

**Building C**  
 Three Story Mixed Use Building  
 19 Units: 7 One Bedroom,  
 12 Two Bedroom over 800 s.f.  
 4,014 S.F. of Commercial Area

**Building D**  
 Two / Three Story Mixed Use Building  
 11 Dwelling Units: 2 Studios, 4 One Bedroom,  
 2 Two Bedroom under 800 s.f.,  
 3 Two Bedroom over 800 s.f.  
 1,881 S.F. of Commercial Area

**Building E**  
 Two / Three Story Mixed Use Building  
 18 Dwelling Units: 5 Studios, 7 One Bedroom,  
 5 Two Bedroom under 800 s.f.,  
 1 Two Bedroom over 800 s.f.  
 4,579 S.F. of Commercial Area

**Building F**  
 Two Story Townhomes  
 10 Units: 10 Two Bedroom over 800 s.f.

**Building G**  
 Two Story Townhomes  
 8 Units: 8 Two Bedroom over 800 s.f.

**Building L**  
 Two Story Apartment Building  
 4 Dwelling Units: 4 Studios

**Building K**  
 Two Story Apartment Building  
 4 Dwelling Units: 4 Studios

**Building H**  
 Two Story Still Homes  
 2 Dwelling Units: 2 Studios

**Building J**  
 Two Story Still Homes  
 4 Dwelling Units: 4x Studios

**Lot-1 Site Information:**

Proposed Zoning: Mixed Use

**Parking:**  
 Residential Off-Street Parking Space Requirements:  
 Two Bedroom Units: 56 x 1.75 parking spaces / unit = 0  
 One Bedroom Units: 18 x 1.5 parking spaces / unit = 0  
 Studio Units: +18 x 1.25 parking spaces / unit = 0  
 Total Residential Units: 82  
 Commercial Off-Street Parking Space Requirements:  
 Flex Buildings: 24,000 sq. ft.: 1 parking space / 300 sq. ft. = 0  
 Total Parking Spaces Required: 0 Spaces

Off-Street Parking Space Reductions:  
 Multi-Use District Parking Reduction: 15%  
 Revised Total: 0 Spaces

Proposed Parking Spaces: 0  
 Proposed Off-Street Parking Spaces: 0  
 Required Off-Street Parking Spaces: 0 more than required  
 Off-Street Parking Space Balance: 0  
 Proposed Off-Street Parking Spaces: 0  
 Proposed On-Street Parking Spaces: 0  
 Total Proposed Parking Spaces: 0 total spaces

**Open Space:**  
 Total Area: 233,902 sq. ft. Open Space Required: 15%  
 Proposed Open Space: over 50,000 sq. ft.  
 Open Space Percentage: over 22% (area not included: Parking lot, parking lot planting, road right of way, and building footprint.)

Shorty Pabst Way  
 (43'-0" R.O.W.)

Hendrick Drive  
 (60'-0" R.O.W.)

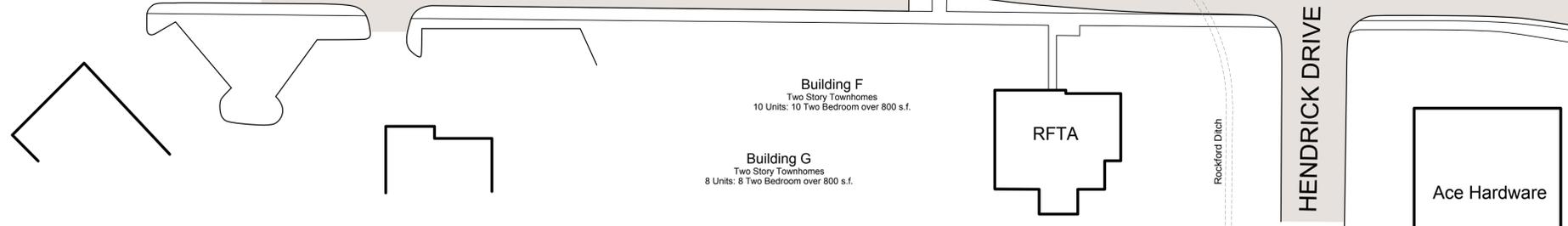
Main Street  
 (60'-0" R.O.W.)

STATE HIGHWAY 133

Colorado Avenue

**Progress**

Site Plan  
**Main Street Marketplace**  
 Carbondale, Colorado



# Drainage Report

*for*

## Main Street Marketplace Carbondale, CO

Prepared for:  
Town of Carbondale: Major Site Plan

Prepared by:

Sopris Engineering, LLC  
502 Main Street Suite A3  
Carbondale, Colorado 81623

On Behalf of:

Crystal River Marketplace, LLC  
20 Sunset Drive, Unit 1,  
Basalt, CO 81621

SE Project Number: 17135.02

July 25, 2018

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## I. Purpose of Drainage Study

The purpose of this Drainage Study is to:

- Evaluate the existing & historic drainage conditions and estimate flow rates at key design points to compare existing/historic versus post development drainage conditions.
- Estimate 10- and 100-year post development peak runoff rates in support of sizing of stormwater mitigation infrastructure.
- Ensure the detention system has adequate capacity such that post development runoff rates do not exceed existing peak runoff rates for the 10- and 100-year storm events.
- Provide Best Management Practice (BMP) recommendations to minimize sediment transport offsite

## II. General Overview & Site Description

The subject property (site) is Lot 1 of the Carbondale Marketplace Subdivision in Carbondale, CO. The site is located directly north of Main Street, west of Hendrick Drive, east of the new Shorty Pabst Way, and south of the New City Market parcel. The roads east and west of the site, as well as the City Market Parcel, are currently not constructed but are designed and approved for construction. The parcel area is 5.37 acres. The existing site is currently not developed and is historic grazing and crop land. The existing Rockford Ditch is currently a surface ditch through the site, but it will be piped through the property with development.

The site is proposed as a mixed use residential and light commercial site, with multiple buildings, parking, and landscape areas. Refer to site and building documents for development details. The site has one large common open space area which includes formal and informal play fields. This area will be used as the primary storm water retention system for the development.

The onsite soils consist of Type 'B' Hydrologic Soils, according to the soil survey provided by the National Resource Conservation Service (NRCS). Type 'B' soils are conducive to moderate infiltration rates with moderately well drained soils. The subject property also falls within Zone C on FEMA Flood Insurance Rate Map panel number 0802341858 A with a revised date of February 5, 1986. FEMA designates Zone C as minimal risk areas outside the 0.2% (500 year storm) annual chance floodplain.

## III. Existing Offsite & Onsite Drainage Basins

The existing drainage conditions were analyzed in order to estimate historic and existing peak stormwater flow rates affecting the site and were based on site survey topography and site visits. Existing design points were also established at general discharge locations for comparison between historic and post development drainage conditions. The resultant basins along with the established design point locations are described in greater detail below, and are illustrated on the drainage exhibit.

**Basin 01** is the new Shorty Pabst Way ROW. The drainage improvements for this basin were designed as offsite improvements with the City Market development. The basin designation is included here for information and clarity.

**Basin 02** is the new Hendrick Drive ROW north of Main Street. The drainage improvements for this basin were designed as offsite improvements with the City Market development. The basin designation is included here for information and clarity.

**Existing Basin 03 (EX-03)** is Lot 1 of the subdivision which is the project site. The onsite areas are undeveloped, and are historic grazing and crop land. The site generally slopes to the north, with local low and high points. The storm water runoff flows first to a low point in the center north end of the site. The storage basin is approximately 18,000 SF and is 2-3' deep. Given existing soils onsite, it is likely that the majority of storm water runoff does not leave the site. The site appears to drain well, with no evidence of long term ponding. Any storm water that does not infiltrate appears to stage up and sheet flow to the North onto the City Market Lot. We have designated this as Design Point #1 (DP#1).

**Offsite Basain 01 (OFF-01)** is the north half of the Main Street ROW that is directly south of the site. The storm water is contained in the curb and flows primarily west in the right of way. The basin area and storm water runoff details are included in the calculations below. In the event that a runoff would flow north, the small amount of runoff would be very shallow surface flow across the site.

The street and development areas south of this basin have existing storm water infrastructure, or the storm water flows into surface drainage ditches. The drainage patterns and basin size is not clear. There is no evidence of offsite drainage impacting or affecting the subject site.

The existing drainage basin delineations were used to estimate 10- and 100-year peak runoff rates for the subject property to determine allowable release rates for the developed site. The hydrologic methods, assumptions and results are summarized within Table 1 of Section V.

#### **IV. Developed Offsite & Onsite Drainage Basins**

For the major site plan submittal, the overall development site improvements were considered as a whole in order to generally size and describe the site storm water infrastructure. The final drainage infrastructure size and design will be detailed with the building permit construction plans.

**Post Development Basin 01** is the developed Shorty Pabst Way ROW. The storm water infrastructure is not connected to the site infrastructure. This basin has been designed with a previous development application.

**Post Development Basin 02** is the developed Hendrick Drive ROW. The storm water infrastructure is not connected to the site infrastructure. This basin has been designed with a previous development application.

**Post Development Basin 03 (DE-03)** is the Main Street Marketplace developed basin. The basin includes buildings, interior streets, parking, sidewalks, paths, plaza areas, play fields, small parks, and other landscape areas. The storm water runoff will flow on the surface and in pipes to one primary underground storage and infiltration area in the center of the site. Inlets and drywells are included at grading low points and where necessary to collect the storm water. Roof drains will connect to underground storm pipes and be routed to the center of the site. Drywells will be used

where necessary on the north end of the site to capture runoff that cannot easily be routed to the central basin. The site storm water system has been designed to retain the 10 year 1 hour storm. The retention system design is described in more detail in section VII below. Any storm water in excess of the site storage and infiltration potential will stage up and flow on the surface to Design Point #1 on the north end of the site.

The methodology for estimating post development peak runoff rates for the 10- and 100-yr storm events are discussed in Section V below and the results are summarized within Table 1.

## **V. Hydrologic Analysis Methods & Assumptions**

Onsite and offsite drainage areas were analyzed using the Rational Method (Equation 1) since the cumulative total of tributary offsite basins and subject property being studied was less than 90 acres.

$$\text{Equation 1: } Q = C * I * A$$

*Q = Runoff Flow Rate (cfs); C = Runoff Coefficient*

*I = Rainfall Intensity (in/hr); A = Area of Basin (acres)*

The runoff coefficient (C) is a variable that represents the ratio of runoff to rainfall volumes during a storm event. The determination of C mainly depends on the soil type, watershed impervious and storm event frequency. Each drainage basin was studied to determine the percent of impervious area. As noted in the basin descriptions in Section III, the onsite portion of existing basins EX-1 was assumed to be 0% impervious which correlates to 10- and 100-year runoff coefficients of 0.15 and 0.35, respectively. Concrete and asphalt surfaces within the basin but off the property were assumed to be 100% impervious or 0.92 and 0.96 for the 10- and 100-year runoff coefficients, respectively. Each basin's total or effective percent impervious area was used to establish a weighted runoff coefficient. The Urban Drainage Flood Control District (UDFCD) out of Denver, CO has developed runoff coefficient tables in Chapter 6 of Volume 1 of their Urban Storm Drainage Criteria Manual. Runoff coefficients are based on the amount of runoff and the storm event. Table 6-5 is included for reference in Appendix A of this report. This table was used to determine the corresponding 10- and 100-year weighted average runoff coefficients based on a Type B hydrologic soil classification.

The design rainfall duration used in the Rational Method is referred to as the time of concentration. The time of concentration is the cumulative travel time, including overland flow and channelized flow, for runoff to get from the furthest point upstream of a basin to a designated design point. A minimum time of concentration of 10 minutes was used for all basins given the travel distances. Based on the Town of Carbondale's Intensity Duration Frequency (IDF) Curve, the 10- and 100-year 10-minute time of concentration rainfall intensities are 2.68 in/hr and 4.37 in/hr, respectively.

The site has been analyzed for the peak rainfall runoff for storm water system sizing, and also has been analyzed for the 1 hour storm event for detention/retention system sizing. A summary of the 10 year and 100 year estimated peak runoff rates analyzed for this project are summarized in Table 1 below:

**Table 1: Existing and Post Development Peak Runoff Summary**

10-YR EXISTING PEAK RUNOFF SUMMARY						DESIGN POINT ID	100-YR EX. PEAK RUNOFF SUMMARY				
BASIN I.D.	% IMPERVIOUS	C <sub>10</sub>	I <sub>10</sub> (in/hr)	AREA (acres)	Q <sub>10</sub> (cfs)		BASIN I.D.	C <sub>100</sub>	I <sub>100</sub> (in/hr)	AREA (acres)	Q <sub>100</sub> (cfs)
EX-1	0%	0.15	2.68	5.370	<b>2.16</b>	DP 1	EX-1	0.35	4.37	5.370	<b>8.21</b>
10-YR DEVELOPED PEAK RUNOFF SUMMARY						DESIGN POINT ID	100-YR DEV. PEAK RUNOFF SUMMARY				
DE-1	64%	0.49	2.68	5.370	<b>7.05</b>		DP 1	DE-1	0.59	4.37	5.370
10-YR OFFSITE PEAK RUNOFF SUMMARY						DESIGN POINT ID	100-YR OFFSITE PEAK RUNOFF SUMMARY				
OS-01	87%	0.72	2.68	0.325	<b>0.627</b>		DP 1	OS-01	0.78	4.37	0.325

For detention mitigation onsite, we have used the modified rational method. Refer to section VII below for more detail on the site detention mitigation. The detention runoff rates for this project are summarized in Table 2 below.

**Table 2: Existing and Post Development Detention Runoff Summary**

10-YR EXISTING DETENTION RUNOFF SUMMARY						DESIGN POINT ID	100-YR EX. DETENTION RUNOFF SUMMARY				
BASIN I.D.	% IMPERVIOUS	C <sub>10</sub>	I <sub>10</sub> (in/hr)	AREA (acres)	Q <sub>10</sub> (cfs)		BASIN I.D.	C <sub>100</sub>	I <sub>100</sub> (in/hr)	AREA (acres)	Q <sub>100</sub> (cfs)
EX-03	0%	0.15	0.777	5.370	<b>0.626</b>	DP 1	EX-03	0.35	1.19	5.370	<b>2.236</b>
10-YR DEVELOPED DETENTION RUNOFF SUMMARY						DESIGN POINT ID	100-YR DEV. DETENTION RUNOFF SUMMARY				
DE-03	64%	0.49	0.777	5.370	<b>2.044</b>		DP 1	DE-03	0.59	1.19	5.370

Supporting data can be found within Appendix A of this report.

## VI. Hydraulic Analysis Methods & Assumptions

Storm water runoff will be routed on the surface via sheet flow and in drainage swales, and then will be routed in storm sewer pipes to the underground retention / infiltration system(s). The pipes onsite have been preliminarily sized according to the approximate design flow, and are shown on the civil grading plan. Each of the gravity storm channels were sized using Manning's Equation (Equation 2).

$$\text{Equation 2: } Q = 1.49/n * R^{2/3} * A * S^{0.5}$$

$Q$  = Runoff Flow Rate (cfs);  $n$  = Manning's Roughness Coefficient  
 $R$  = Hydraulic Radius (ft);  $A$  = Flow Area (sf),  $S$  = Channel Slope (ft/ft)

The hydraulic capacity calculations have been separated by standard pipe sizes for site storm water drainage with a minimum 2% slope. In general the pipes onsite collect storm water from small subareas within the larger drainage basins. The approximate maximum capacity of each size storm pipe is summarized in Table 3 below.

**Table 3: Hydraulic Pipe capacity**

Pipe Size (IN)	Pipe Material	Mannings n	Slope	Capacity (CFS)
4	Solid PVC	0.011	2.00%	0.33
6	Solid PVC	0.011	2.00%	1.00
8	Solid PVC	0.011	2.00%	2.18
12	ADS N12	0.011	2.00%	6.40

The final hydraulic capacity calculations will be completed for the building permit submittal. Supporting hydraulic data for all of the calculations has been provided within Appendix B.

## VII. Detention Mitigation Analysis & Design

The primary drainage criterion within the Town of Carbondale includes detaining/retaining stormwater runoff onsite such that post development runoff rates exiting the site do not exceed historic levels. Because storm sewer pipe infrastructure is not in place downstream, the site storm water system has been sized to completely retain the developed 10 year - 1 hour storm event. Storm water runoff from larger storm events will stage up onsite and will flow to Design Point #1.

Note the shorter duration high intensity storms have higher runoff rates, but the storm water runoff volume is smaller than the longer duration storms. As the storm water system retains storm events up to the 1 hour event, the shorter duration events are also retained. Also note that the calculations do not account for any infiltration, so the design provides a further conservative analysis.

Table 4 summarizes the 10 year - 1 hour historic and post development peak runoff rates contributing runoff at design point 1, and also summarized the required and provided storage volumes to size the proposed storm water detention mitigation.

**Table 4: Detention Runoff Rates and storage volume:**

DESIGN POINT SUMMARY						
DESIGN PT I.D.	EX Q <sub>10</sub> (cfs)	DE Q <sub>10</sub> (cfs)	+/- Q (cfs)	DET. REQ. (cf) [1]	POST DET Q <sub>10</sub> (cfs)	DETENTION PROV. (cf) TOTAL +/-
DP 1	0.63	2.24	1.61	5,149	0.00	7,450

The Rational Method Detention Volume approach was used to estimate the required storage volume for the project based on the allowable release rate summarized within Table 4. The proposed detention mitigation improvements include drywells and underground storage chambers. The detention system implementation and sizing methods are included in Appendix C.

The storm water system onsite will be interconnected with which helps maintain infiltration if any one structure is clogged. Flows larger than the 100 year 1 hour storm will simply discharge out the grated inlets and follow existing drainage patterns. Supporting data is provided within Appendix C of this report.

## VIII. Sediment and Erosion Control

Current practice standards provide parameters for mitigation of drainage and soil erosion activities relative to site development. Appropriate best management practices (BMP's) shall be applied to this site. These BMP's are primarily grouped for two stages of the development, the construction phase and the post development phase, with the main emphasis on soil erosion and sediment transport controls.

**Temporary Erosion Control** during the construction phase for the proposed improvements there will be potential for soil erosion and offsite sediment transport triggered by surface runoff during

rain events. The contractor must at a minimum install and maintain the following BMPs during the construction phase:

- ✓ An embedded silt fence around the disturbed soils and especially in the low receiving ends of the slopes.
- ✓ Prior to any clearing and grubbing, lot grading, and prior to any construction work, the contractor must construct temporary sediment basins in strategically located areas in order to collect runoff sediment and stop sediment from traveling offsite.
- ✓ The site must be inspected at the end of every 14-day period during construction, and silt deposits from behind the silt fencing and from the sediment pits must be removed regularly to ensure full functioning of this erosion control system. These activities must be logged in a logbook available at the site for inspection at all times.
- ✓ Vehicle tracking pads (mud racks) at the site entrance(s) must be installed to avoid mud tracking into public right of way.
- ✓ Seed & mulch must be placed over disturbed cut and fill slopes, and watered as necessary, to establish temporary vegetative ground cover until paving, gravel surface and/or landscaping is done.

A construction site can be a very dynamic area; because of this the final location and selection of construction BMPs will be left up to the contractor. All appropriate permitting must be acquired prior to commencing construction and the criteria outlined within all appropriate permits must be adhered to until the associated permits have been closed.

**Permanent** BMPs shall consist of a complete landscaping and ground covering task to permanently re-vegetate and cover bare grounds that will remain open space to avoid long-term soil erosion. This effort will reduce the risk of unnecessary degradation and failure of the drainage system. Temporary erosion control structures installed during construction shall be left in place as necessary and maintained until new vegetation has been reestablished at a 70% level. Upon reaching a satisfactory level of soil stabilization from the new vegetation, all erosion control structures shall be removed; with the exception of the proposed sediment/retention basins. These should remain in place until they become a conflict with future improvements.

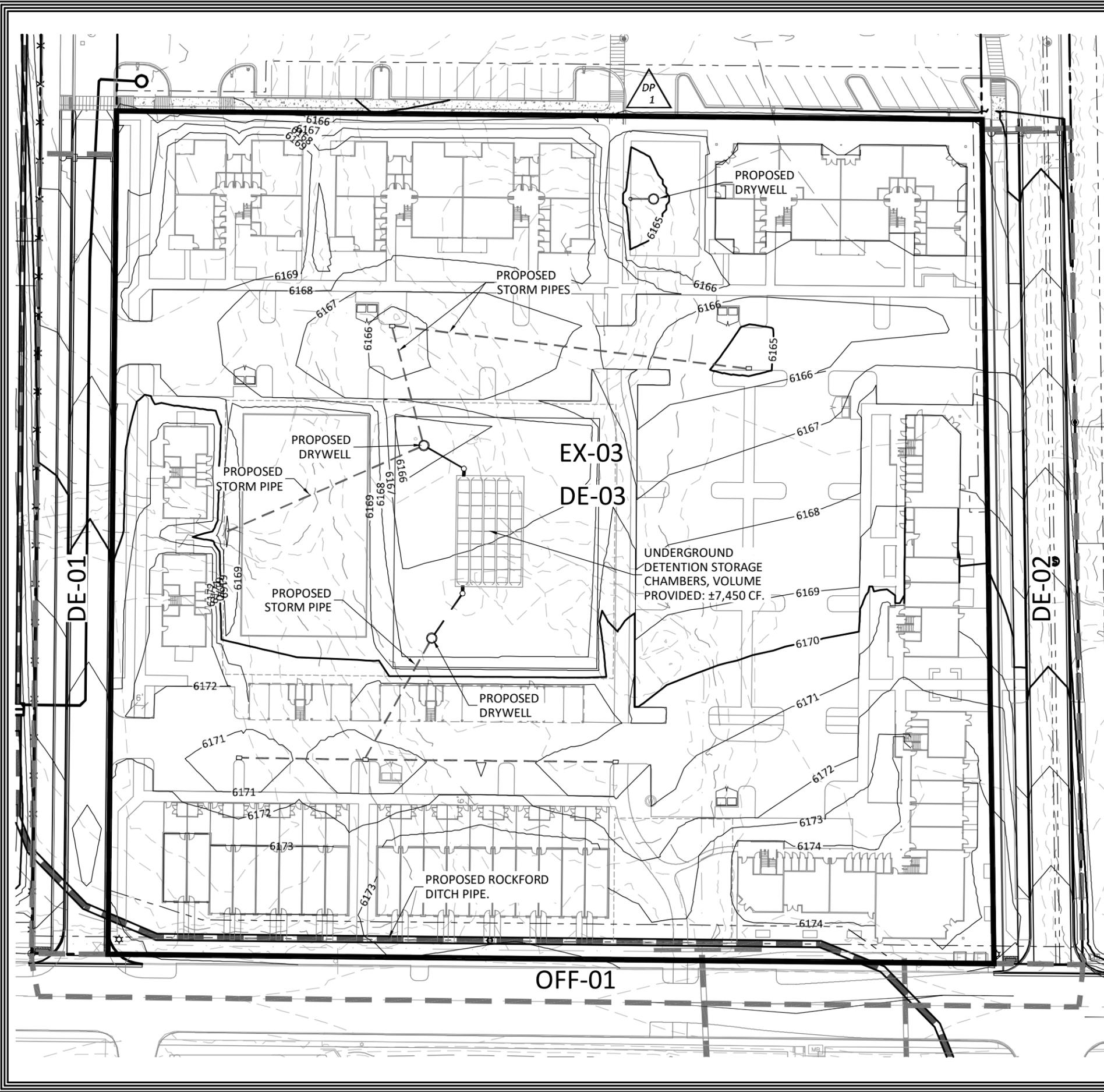
## **IX. Conclusions**

The results of this drainage study suggest that no adverse drainage impacts to the subject property or surrounding properties will result from the proposed development. Although onsite peak runoff rates will increase with the added improvements, the site storm water improvements and additional drywells will eliminate any increase in stormwater runoff leaving the site. Best Management Practices (BMPs) have been identified and will be implemented during the construction of the improvements. In addition, permanent vegetated cover should be installed as soon as construction allows.

## **APPENDIX A**

UD-Rational Summary Tables  
UDFCD Rational C tables  
NOAA 14 Carbondale IDF Curve  
NRCS Soils Map

G:\2017\17135\CIVIL\DWGS\DRG\17135-DRG.DWG - Jul 25, 2018 - 10:14am



10 YEAR DETENTION DRAINAGE SUMMARY						
BASIN I.D.	I <sub>10</sub> (in/hr)	AREA (acres)	EX C <sub>10</sub>	EX Q <sub>10</sub> (cfs)	DE C <sub>10</sub>	DE Q <sub>10</sub> (cfs)
DE-03	0.777	5.370	0.15	0.626	0.49	2.236

100 YEAR DETENTION DRAINAGE SUMMARY						
BASIN I.D.	I <sub>100</sub> (in/hr)	AREA (acres)	EX C <sub>100</sub>	EX Q <sub>100</sub> (cfs)	DE C <sub>100</sub>	DE Q <sub>100</sub> (cfs)
DE-03	1.19	5.370	0.35	2.236	0.59	3.770

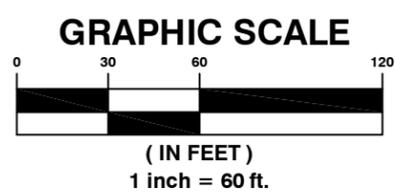
DESIGN POINT SUMMARY						
DESIGN PT I.D.	EX Q <sub>10</sub> (cfs)	DE Q <sub>10</sub> (cfs)	+/- Q (cfs)	DET. REQ. (cf) [1]	POST DET Q <sub>10</sub> (cfs)	DET. PROV. (cf)
DP 1	0.63	2.24	1.61	5,149	0.00	7,450

[1] REQUIRED DETENTION CALCULATED USING THE RATIONAL METHOD DETENTION VOLUME APPROACH. REFER TO APPENDIX C.

Duration=	60	minutes
P =	0.777	
RUNOFF VOLUME - Vr=C*(P/12)*		
BASIN I.D.	Vr (ac-ft)	Vr (CF)
EX-1	0.052	2,272
DE-1	0.170	7,421

**LEGEND**

- EX. CONTOUR
- EX. CONTOUR INTERVAL
- EX. DRAINAGE BASIN
- PROP. CONTOUR
- PROP. CONTOUR INTERVAL
- PROP. DRAINAGE BASIN
- DESIGN POINT



**SOPRIS ENGINEERING, LLC.**  
 CIVIL CONSULTANTS  
 502 MAIN STREET  
 CARBONDALE, CO 81623  
 (970) 704-0311  
 FAX: (970)-704-0313

NO.	REVISION	BY	DATE

**MAIN ST. MARKETPLACE**  
 CARBONDALE, COLORADO  
 DRAINAGE BASIN EXHIBIT  
 MAJOR SITE PLAN REVIEW

DATE: 07-25-2018  
 JOB NO. 17135.02  
 SHEET 1 OF 1

## 17135 - MAIN ST MARKETPLACE: RATIONAL METHOD PEAK RUNOFF CALCULATIONS

10-YR EXISTING PEAK RUNOFF SUMMARY						DESIGN POINT ID	100-YR EX. PEAK RUNOFF SUMMARY				
BASIN I.D.	% IMPERVIOUS	C <sub>10</sub>	I <sub>10</sub> (in/hr)	AREA (acres)	Q <sub>10</sub> (cfs)		BASIN I.D.	C <sub>100</sub>	I <sub>100</sub> (in/hr)	AREA (acres)	Q <sub>100</sub> (cfs)
EX-1	0%	0.15	2.68	5.370	<b>2.16</b>	DP 1	EX-1	0.35	4.37	5.370	<b>8.21</b>
10-YR DEVELOPED PEAK RUNOFF SUMMARY						DESIGN POINT ID	100-YR DEV. PEAK RUNOFF SUMMARY				
DE-1	64%	0.49	2.68	5.370	<b>7.05</b>		DP 1	DE-1	0.59	4.37	5.370
10-YR OFFSITE PEAK RUNOFF SUMMARY						DESIGN POINT ID	100-YR OFFSITE PEAK RUNOFF SUMMARY				
OS-01	87%	0.72	2.68	0.325	<b>0.627</b>		DP 1	OS-01	0.78	4.37	0.325

[1] TIME OF CONCENTRATION WAS ASSUMED TO BE EQUAL TO 10 MINUTES.

[2] RATIONAL C FACTORS ARE BASED ON THE PERCENT IMPERVIOUS FROM TABLE 6-5 OF CHAPTER 6 OF THE UDFCD -

[3] RAINFALL INTENSITY IS FROM THE NOAA 14 IDF CURVE FOR CARBONDALE, CO

## 17135 - MAIN ST MARKETPLACE: MODIFIED RATIONAL METHOD STORAGE CALCULATIONS

10-YR EXISTING DETENTION RUNOFF SUMMARY						DESIGN POINT ID	100-YR EX. DETENTION RUNOFF SUMMARY				
BASIN I.D.	% IMPERVIOUS	C <sub>10</sub>	I <sub>10</sub> (in/hr)	AREA (acres)	Q <sub>10</sub> (cfs)		BASIN I.D.	C <sub>100</sub>	I <sub>100</sub> (in/hr)	AREA (acres)	Q <sub>100</sub> (cfs)
EX-03	0%	0.15	0.777	5.370	<b>0.626</b>	DP 1	EX-03	0.35	1.19	5.370	<b>2.236</b>
10-YR DEVELOPED DETENTION RUNOFF SUMMARY						DESIGN POINT ID	100-YR DEV. DETENTION RUNOFF SUMMARY				
DE-03	64%	0.49	0.777	5.370	<b>2.044</b>		DP 1	DE-03	0.59	1.19	5.370
10-YR OFFSITE DETENTION RUNOFF SUMMARY						DESIGN POINT ID	100-YR OFF DETENTION RUNOFF SUMMARY				
OS-01	87%	0.72	0.777	0.325	<b>0.182</b>		DP 1	OS-01	0.78	1.19	0.325

[1] TIME OF CONCENTRATION WAS ASSUMED TO BE EQUAL TO 10 MINUTES.

[2] RATIONAL C FACTORS ARE BASED ON THE PERCENT IMPERVIOUS FROM TABLE 6-5 OF CHAPTER 6 OF THE UDFCD - URBAN

[3] RAINFALL INTENSITY IS FROM THE NOAA 14 IDF CURVE FOR CARBONDALE, CO

**DESIGN POINT SUMMARY**

<b>DESIGN PT</b>	<b>EX Q<sub>10</sub></b>	<b>DE Q<sub>10</sub></b>	<b>+/- Q</b>	<b>DET. REQ.</b>	<b>POST DET</b>	<b>DET.</b>
<b>I.D.</b>	<b>(cfs)</b>	<b>(cfs)</b>	<b>(cfs)</b>	<b>(cf) [1]</b>	<b>Q<sub>10</sub> (cfs)</b>	<b>PROV. (cf)</b>
DP 1	0.63	2.24	1.61	5,149	0.00	7,450

[1] REQUIRED DETENTION CALCULATED USING THE RATIONAL METHOD DETENTION VOLUME APPROACH. REFER TO APPENDIX C.

Duration=	60	minutes
P =	0.777	
RUNOFF VOLUME - $V_r = C * (P/12) * A$		
<b>BASIN</b>	<b>V<sub>r</sub></b>	<b>V<sub>r</sub></b>
<b>I.D.</b>	<b>(ac-ft)</b>	<b>(CF)</b>
EX-1	0.052	2,272
DE-1	0.170	7,421

**Table RO-5— Runoff Coefficients, C**

Percentage Imperviousness	Type C and D NRCS Hydrologic Soil Groups					
	2-yr	5-yr	10-yr	25-yr	50-yr	100-yr
0%	0.04	0.15	0.25	0.37	0.44	0.50
5%	0.08	0.18	0.28	0.39	0.46	0.52
10%	0.11	0.21	0.30	0.41	0.47	0.53
15%	0.14	0.24	0.32	0.43	0.49	0.54
20%	0.17	0.26	0.34	0.44	0.50	0.55
25%	0.20	0.28	0.36	0.46	0.51	0.56
30%	0.22	0.30	0.38	0.47	0.52	0.57
35%	0.25	0.33	0.40	0.48	0.53	0.57
40%	0.28	0.35	0.42	0.50	0.54	0.58
45%	0.31	0.37	0.44	0.51	0.55	0.59
50%	0.34	0.40	0.46	0.53	0.57	0.60
55%	0.37	0.43	0.48	0.55	0.58	0.62
60%	0.41	0.46	0.51	0.57	0.60	0.63
65%	0.45	0.49	0.54	0.59	0.62	0.65
70%	0.49	0.53	0.57	0.62	0.65	0.68
75%	0.54	0.58	0.62	0.66	0.68	0.71
80%	0.60	0.63	0.66	0.70	0.72	0.74
85%	0.66	0.68	0.71	0.75	0.77	0.79
90%	0.73	0.75	0.77	0.80	0.82	0.83
95%	0.80	0.82	0.84	0.87	0.88	0.89
100%	0.89	0.90	0.92	0.94	0.95	0.96
	<b>TYPE B NRCS HYDROLOGIC SOILS GROUP</b>					
0%	0.02	0.08	0.15	0.25	0.30	0.35
5%	0.04	0.10	0.19	0.28	0.33	0.38
10%	0.06	0.14	0.22	0.31	0.36	0.40
15%	0.08	0.17	0.25	0.33	0.38	0.42
20%	0.12	0.20	0.27	0.35	0.40	0.44
25%	0.15	0.22	0.30	0.37	0.41	0.46
30%	0.18	0.25	0.32	0.39	0.43	0.47
35%	0.20	0.27	0.34	0.41	0.44	0.48
40%	0.23	0.30	0.36	0.42	0.46	0.50
45%	0.26	0.32	0.38	0.44	0.48	0.51
50%	0.29	0.35	0.40	0.46	0.49	0.52
55%	0.33	0.38	0.43	0.48	0.51	0.54
60%	0.37	0.41	0.46	0.51	0.54	0.56
65%	0.41	0.45	0.49	0.54	0.57	0.59
70%	0.45	0.49	0.53	0.58	0.60	0.62
75%	0.51	0.54	0.58	0.62	0.64	0.66
80%	0.57	0.59	0.63	0.66	0.68	0.70
85%	0.63	0.66	0.69	0.72	0.73	0.75
90%	0.71	0.73	0.75	0.78	0.80	0.81
95%	0.79	0.81	0.83	0.85	0.87	0.88
100%	0.89	0.90	0.92	0.94	0.95	0.96



**NOAA Atlas 14, Volume 8, Version 2**  
**Location name: Carbondale, Colorado, US\***  
**Latitude: 39.4011°, Longitude: -107.2142°**  
**Elevation: 6174 ft\***  
 \* source: Google Maps



**POINT PRECIPITATION FREQUENCY ESTIMATES**

Sanja Perica, Deborah Martin, Sandra Pavlovic, Ishani Roy, Michael St. Laurent, Carl Trypaluk, Dale Unruh, Michael Yekta, Geoffrey Bonnin

NOAA, National Weather Service, Silver Spring, Maryland

[PF\\_tabular](#) | [PF\\_graphical](#) | [Maps\\_&\\_aerials](#)

**PF tabular**

<b>PDS-based point precipitation frequency estimates with 90% confidence intervals (in inches/hour)<sup>1</sup></b>										
Duration	Average recurrence interval (years)									
	1	2	5	10	25	50	100	200	500	1000
5-min	1.30 (1.03-1.67)	1.92 (1.52-2.48)	2.89 (2.29-3.74)	3.66 (2.87-4.76)	4.63 (3.44-6.18)	5.33 (3.89-7.26)	5.96 (4.20-8.40)	6.58 (4.42-9.56)	7.30 (4.70-11.0)	7.78 (4.92-12.1)
10-min	0.948 (0.750-1.22)	1.40 (1.12-1.81)	2.12 (1.67-2.74)	2.68 (2.10-3.49)	3.39 (2.53-4.53)	3.89 (2.84-5.32)	4.37 (3.07-6.15)	4.81 (3.23-7.00)	5.34 (3.44-8.05)	5.69 (3.61-8.85)
15-min	0.768 (0.612-0.992)	1.14 (0.908-1.48)	1.72 (1.36-2.23)	2.18 (1.71-2.83)	2.76 (2.05-3.68)	3.17 (2.31-4.32)	3.55 (2.50-5.00)	3.91 (2.63-5.70)	4.34 (2.80-6.55)	4.63 (2.93-7.20)
30-min	0.518 (0.410-0.666)	0.742 (0.588-0.958)	1.09 (0.860-1.41)	1.36 (1.07-1.77)	1.70 (1.26-2.26)	1.94 (1.41-2.64)	2.16 (1.52-3.03)	2.36 (1.59-3.43)	2.59 (1.67-3.91)	2.75 (1.74-4.27)
60-min	0.344 (0.273-0.443)	0.459 (0.364-0.593)	0.638 (0.504-0.827)	0.777 (0.610-1.01)	0.953 (0.711-1.27)	1.08 (0.787-1.47)	1.19 (0.840-1.68)	1.30 (0.874-1.89)	1.42 (0.920-2.15)	1.51 (0.954-2.34)
2-hr	0.214 (0.172-0.273)	0.274 (0.220-0.349)	0.366 (0.292-0.468)	0.438 (0.348-0.562)	0.529 (0.400-0.697)	0.594 (0.439-0.799)	0.654 (0.466-0.908)	0.710 (0.483-1.02)	0.776 (0.506-1.15)	0.820 (0.524-1.26)
3-hr	0.168 (0.136-0.212)	0.204 (0.165-0.258)	0.260 (0.209-0.330)	0.305 (0.244-0.389)	0.363 (0.277-0.476)	0.405 (0.302-0.542)	0.444 (0.319-0.613)	0.482 (0.331-0.688)	0.528 (0.348-0.781)	0.560 (0.360-0.851)
6-hr	0.111 (0.091-0.138)	0.126 (0.103-0.157)	0.151 (0.123-0.189)	0.172 (0.139-0.217)	0.202 (0.157-0.264)	0.225 (0.171-0.299)	0.248 (0.182-0.341)	0.272 (0.190-0.386)	0.304 (0.204-0.447)	0.329 (0.214-0.493)
12-hr	0.069 (0.057-0.085)	0.078 (0.064-0.096)	0.094 (0.077-0.116)	0.107 (0.088-0.133)	0.127 (0.100-0.164)	0.143 (0.110-0.188)	0.159 (0.118-0.216)	0.176 (0.124-0.247)	0.200 (0.135-0.290)	0.218 (0.143-0.322)
24-hr	0.042 (0.035-0.051)	0.048 (0.040-0.058)	0.058 (0.049-0.071)	0.067 (0.056-0.083)	0.081 (0.064-0.103)	0.091 (0.071-0.119)	0.102 (0.077-0.137)	0.114 (0.082-0.158)	0.131 (0.089-0.187)	0.143 (0.095-0.209)
2-day	0.025 (0.021-0.030)	0.028 (0.024-0.034)	0.035 (0.029-0.042)	0.040 (0.034-0.048)	0.048 (0.039-0.061)	0.055 (0.043-0.070)	0.061 (0.046-0.081)	0.069 (0.050-0.094)	0.079 (0.054-0.111)	0.087 (0.058-0.124)
3-day	0.018 (0.016-0.022)	0.021 (0.018-0.025)	0.026 (0.022-0.030)	0.029 (0.025-0.035)	0.035 (0.029-0.044)	0.040 (0.032-0.051)	0.045 (0.034-0.058)	0.050 (0.036-0.067)	0.057 (0.040-0.079)	0.062 (0.042-0.088)
4-day	0.015 (0.013-0.018)	0.017 (0.015-0.020)	0.021 (0.018-0.024)	0.024 (0.020-0.028)	0.028 (0.023-0.035)	0.032 (0.025-0.040)	0.035 (0.027-0.046)	0.039 (0.029-0.053)	0.045 (0.031-0.062)	0.049 (0.033-0.069)
7-day	0.010 (0.009-0.012)	0.011 (0.010-0.013)	0.014 (0.012-0.016)	0.016 (0.013-0.018)	0.018 (0.015-0.022)	0.020 (0.016-0.025)	0.022 (0.017-0.029)	0.025 (0.018-0.033)	0.028 (0.020-0.038)	0.030 (0.021-0.042)
10-day	0.008 (0.007-0.009)	0.009 (0.008-0.011)	0.011 (0.009-0.012)	0.012 (0.010-0.014)	0.014 (0.012-0.017)	0.016 (0.013-0.019)	0.017 (0.013-0.022)	0.019 (0.014-0.025)	0.021 (0.015-0.028)	0.023 (0.016-0.031)
20-day	0.005 (0.005-0.006)	0.006 (0.005-0.007)	0.007 (0.006-0.008)	0.008 (0.007-0.009)	0.009 (0.008-0.011)	0.010 (0.008-0.012)	0.011 (0.008-0.014)	0.012 (0.009-0.015)	0.013 (0.009-0.017)	0.014 (0.010-0.019)
30-day	0.004 (0.004-0.005)	0.005 (0.004-0.006)	0.006 (0.005-0.006)	0.006 (0.006-0.007)	0.007 (0.006-0.009)	0.008 (0.007-0.009)	0.009 (0.007-0.011)	0.009 (0.007-0.012)	0.010 (0.007-0.013)	0.011 (0.008-0.015)
45-day	0.004 (0.003-0.004)	0.004 (0.004-0.005)	0.005 (0.004-0.005)	0.005 (0.005-0.006)	0.006 (0.005-0.007)	0.006 (0.005-0.008)	0.007 (0.006-0.009)	0.007 (0.006-0.009)	0.008 (0.006-0.011)	0.009 (0.006-0.011)
60-day	0.003 (0.003-0.003)	0.003 (0.003-0.004)	0.004 (0.004-0.005)	0.005 (0.004-0.005)	0.005 (0.004-0.006)	0.006 (0.005-0.007)	0.006 (0.005-0.007)	0.006 (0.005-0.008)	0.007 (0.005-0.009)	0.007 (0.005-0.010)

<sup>1</sup> Precipitation frequency (PF) estimates in this table are based on frequency analysis of partial duration series (PDS). Numbers in parenthesis are PF estimates at lower and upper bounds of the 90% confidence interval. The probability that precipitation frequency estimates (for a given duration and average recurrence interval) will be greater than the upper bound (or less than the lower bound) is 5%. Estimates at upper bounds are not checked against probable maximum precipitation (PMP) estimates and may be higher than currently valid PMP values. Please refer to NOAA Atlas 14 document for more information.

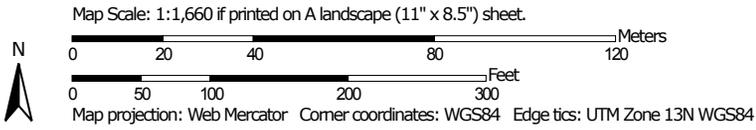
[Back to Top](#)

**PF graphical**

Hydrologic Soil Group—Aspen-Gypsum Area, Colorado, Parts of Eagle, Garfield, and Pitkin Counties  
(17135-NRCS SOILS)



Soil Map may not be valid at this scale.



## MAP LEGEND

### Area of Interest (AOI)

 Area of Interest (AOI)

### Soils

#### Soil Rating Polygons

 A  
 A/D  
 B  
 B/D  
 C  
 C/D  
 D  
 Not rated or not available

#### Soil Rating Lines

 A  
 A/D  
 B  
 B/D  
 C  
 C/D  
 D  
 Not rated or not available

#### Soil Rating Points

 A  
 A/D  
 B  
 B/D

 C  
 C/D  
 D  
 Not rated or not available

### Water Features

 Streams and Canals

### Transportation

 Rails  
 Interstate Highways  
 US Routes  
 Major Roads  
 Local Roads

### Background

 Aerial Photography

## MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:24,000.

**Warning:** Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service  
 Web Soil Survey URL:  
 Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Aspen-Gypsum Area, Colorado, Parts of Eagle, Garfield, and Pitkin Counties  
 Survey Area Data: Version 8, Oct 10, 2017

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Jul 14, 2010—Mar 2, 2017

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

## Hydrologic Soil Group

Map unit symbol	Map unit name	Rating	Acres in AOI	Percent of AOI
13	Atencio-Azeltine complex, 3 to 6 percent slopes	B	9.7	100.0%
<b>Totals for Area of Interest</b>			<b>9.7</b>	<b>100.0%</b>

### Description

Hydrologic soil groups are based on estimates of runoff potential. Soils are assigned to one of four groups according to the rate of water infiltration when the soils are not protected by vegetation, are thoroughly wet, and receive precipitation from long-duration storms.

The soils in the United States are assigned to four groups (A, B, C, and D) and three dual classes (A/D, B/D, and C/D). The groups are defined as follows:

Group A. Soils having a high infiltration rate (low runoff potential) when thoroughly wet. These consist mainly of deep, well drained to excessively drained sands or gravelly sands. These soils have a high rate of water transmission.

Group B. Soils having a moderate infiltration rate when thoroughly wet. These consist chiefly of moderately deep or deep, moderately well drained or well drained soils that have moderately fine texture to moderately coarse texture. These soils have a moderate rate of water transmission.

Group C. Soils having a slow infiltration rate when thoroughly wet. These consist chiefly of soils having a layer that impedes the downward movement of water or soils of moderately fine texture or fine texture. These soils have a slow rate of water transmission.

Group D. Soils having a very slow infiltration rate (high runoff potential) when thoroughly wet. These consist chiefly of clays that have a high shrink-swell potential, soils that have a high water table, soils that have a claypan or clay layer at or near the surface, and soils that are shallow over nearly impervious material. These soils have a very slow rate of water transmission.

If a soil is assigned to a dual hydrologic group (A/D, B/D, or C/D), the first letter is for drained areas and the second is for undrained areas. Only the soils that in their natural condition are in group D are assigned to dual classes.

### Rating Options

*Aggregation Method:* Dominant Condition

*Component Percent Cutoff: None Specified*

*Tie-break Rule: Higher*

## **APPENDIX B**

### Storm Sewer Capacity Calculations

# Culvert Report

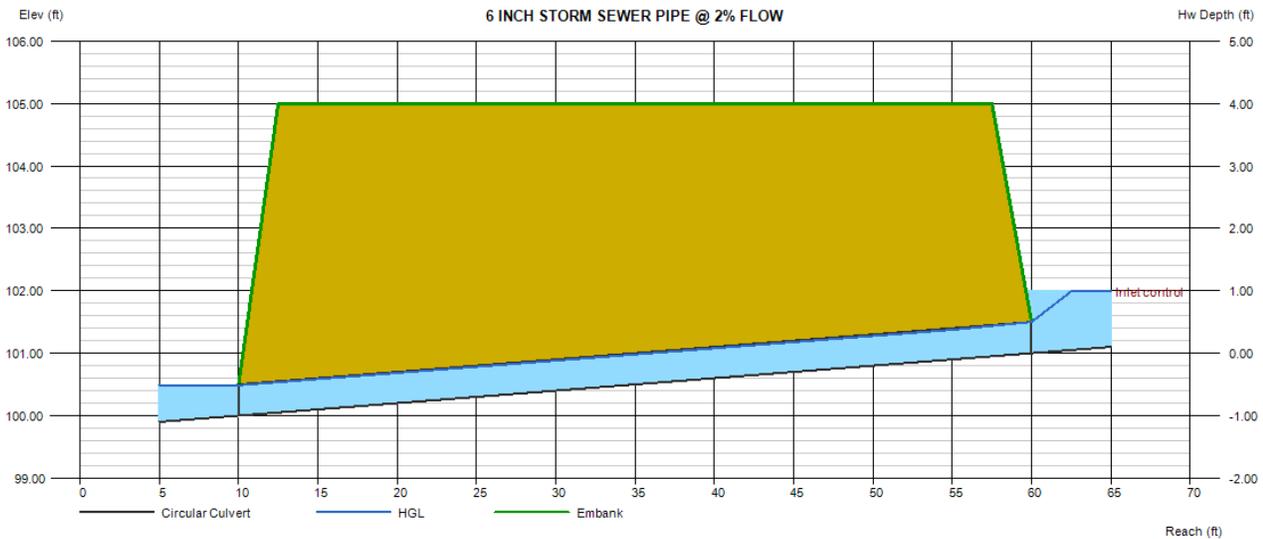
## 6 INCH STORM SEWER PIPE @ 2% FLOW

Invert Elev Dn (ft)	=	100.00
Pipe Length (ft)	=	50.00
Slope (%)	=	2.00
Invert Elev Up (ft)	=	101.00
Rise (in)	=	6.0
Shape	=	Circular
Span (in)	=	6.0
No. Barrels	=	1
n-Value	=	0.011
Culvert Type	=	Circular Culvert
Culvert Entrance	=	Rough tapered inlet throat
Coeff. K,M,c,Y,k	=	0.519, 0.64, 0.021, 0.9, 0.5

<b>Embankment</b>	
Top Elevation (ft)	= 105.00
Top Width (ft)	= 45.00
Crest Width (ft)	= 10.00

<b>Calculations</b>	
Qmin (cfs)	= 0.00
Qmax (cfs)	= 1.10
Tailwater Elev (ft)	= (dc+D)/2

<b>Highlighted</b>	
Qtotal (cfs)	= 1.00
Qpipe (cfs)	= 1.00
Qovertop (cfs)	= 0.00
Veloc Dn (ft/s)	= 5.13
Veloc Up (ft/s)	= 5.20
HGL Dn (ft)	= 100.49
HGL Up (ft)	= 101.47
Hw Elev (ft)	= 101.99
Hw/D (ft)	= 1.98
Flow Regime	= Inlet Control



# Channel Report

## 6 IN PIPE 2% SLOPE - FLOW

### Circular

Diameter (ft) = 0.50

Invert Elev (ft) = 100.00

Slope (%) = 2.00

N-Value = 0.011

### Calculations

Compute by: Q vs Depth

No. Increments = 10

### Highlighted

Depth (ft) = 0.45

Q (cfs) = 0.999

Area (sqft) = 0.19

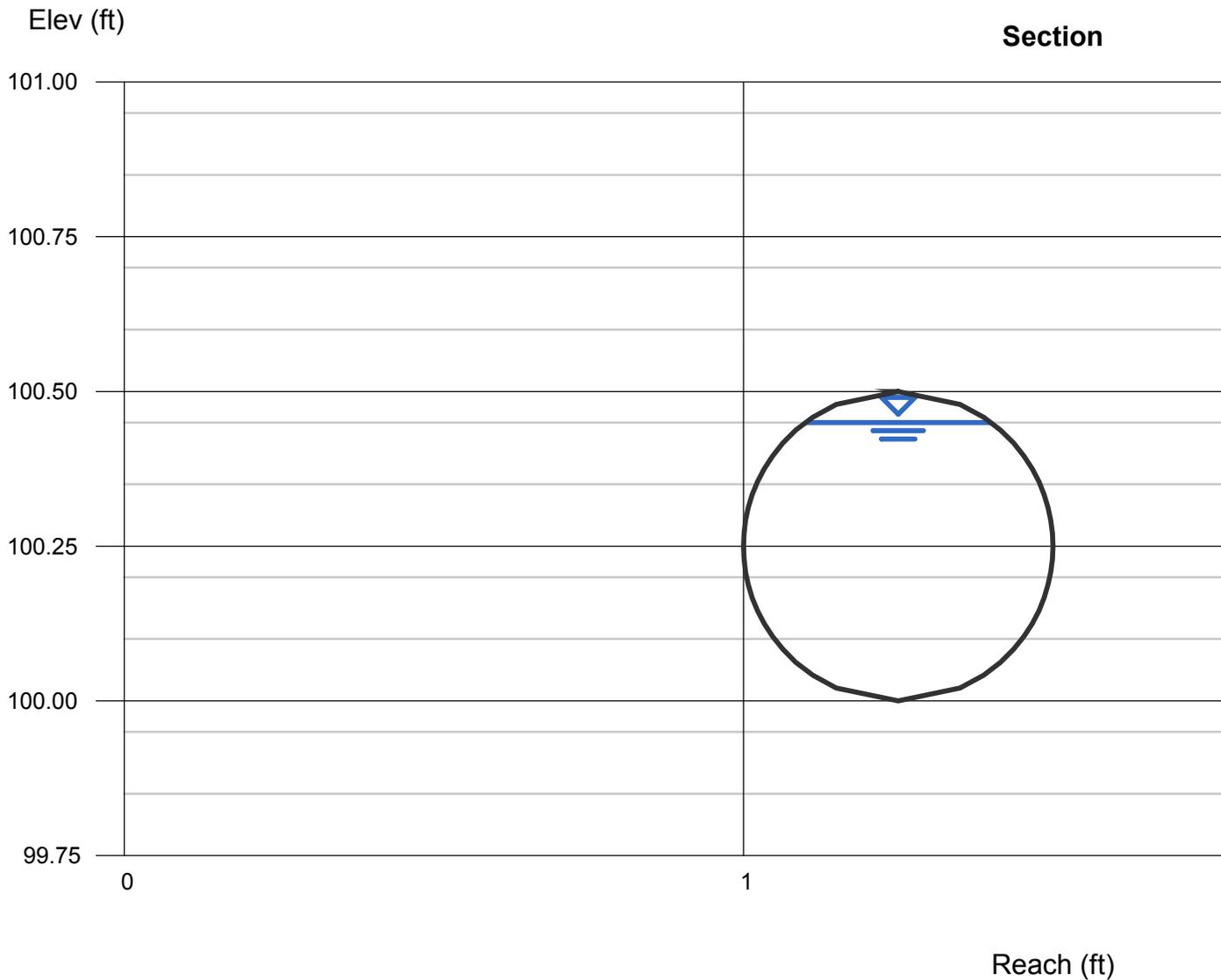
Velocity (ft/s) = 5.37

Wetted Perim (ft) = 1.25

Crit Depth, Yc (ft) = 0.48

Top Width (ft) = 0.30

EGL (ft) = 0.90



# Culvert Report

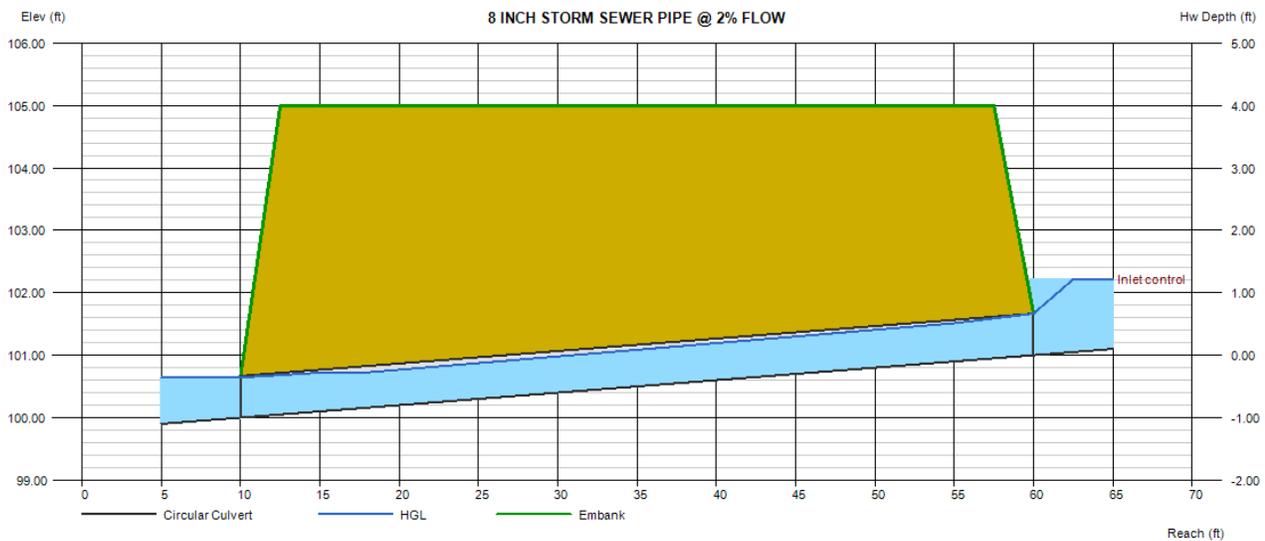
## 8 INCH STORM SEWER PIPE @ 2% FLOW

Invert Elev Dn (ft)	=	100.00
Pipe Length (ft)	=	50.00
Slope (%)	=	2.00
Invert Elev Up (ft)	=	101.00
Rise (in)	=	8.0
Shape	=	Circular
Span (in)	=	8.0
No. Barrels	=	1
n-Value	=	0.011
Culvert Type	=	Circular Culvert
Culvert Entrance	=	Rough tapered inlet throat
Coeff. K,M,c,Y,k	=	0.519, 0.64, 0.021, 0.9, 0.5

<b>Embankment</b>	
Top Elevation (ft)	= 105.00
Top Width (ft)	= 45.00
Crest Width (ft)	= 10.00

<b>Calculations</b>	
Qmin (cfs)	= 0.00
Qmax (cfs)	= 2.00
Tailwater Elev (ft)	= (dc+D)/2

<b>Highlighted</b>	
Qtotal (cfs)	= 1.90
Qpipe (cfs)	= 1.90
Qovertop (cfs)	= 0.00
Veloc Dn (ft/s)	= 5.51
Veloc Up (ft/s)	= 5.62
HGL Dn (ft)	= 100.64
HGL Up (ft)	= 101.62
Hw Elev (ft)	= 102.22
Hw/D (ft)	= 1.82
Flow Regime	= Inlet Control



# Channel Report

## 8 IN PIPE 2% SLOPE - FLOW

### Circular

Diameter (ft) = 0.67

Invert Elev (ft) = 100.00

Slope (%) = 2.00

N-Value = 0.011

### Calculations

Compute by: Q vs Depth

No. Increments = 10

### Highlighted

Depth (ft) = 0.60

Q (cfs) = 2.181

Area (sqft) = 0.33

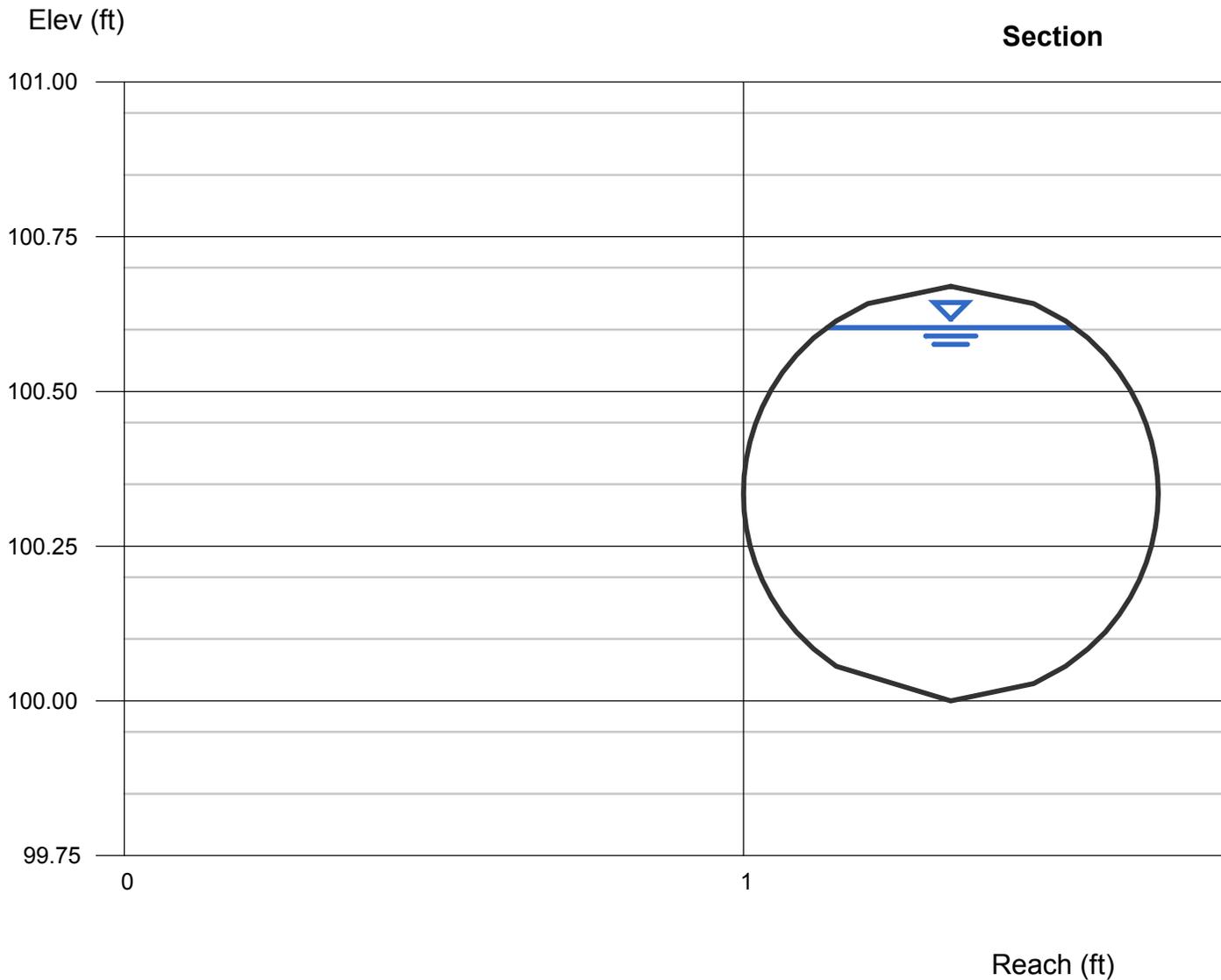
Velocity (ft/s) = 6.52

Wetted Perim (ft) = 1.68

Crit Depth, Yc (ft) = 0.64

Top Width (ft) = 0.40

EGL (ft) = 1.26



# Culvert Report

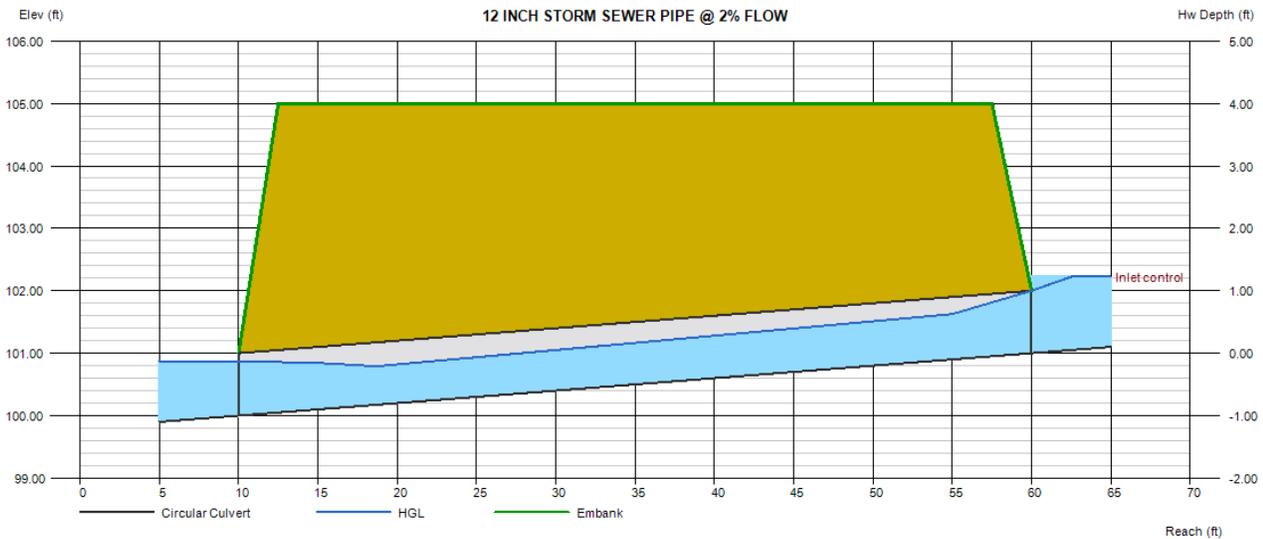
## 12 INCH STORM SEWER PIPE @ 2% FLOW

Invert Elev Dn (ft)	= 100.00
Pipe Length (ft)	= 50.00
Slope (%)	= 2.00
Invert Elev Up (ft)	= 101.00
Rise (in)	= 12.0
Shape	= Circular
Span (in)	= 12.0
No. Barrels	= 1
n-Value	= 0.011
Culvert Type	= Circular Culvert
Culvert Entrance	= Rough tapered inlet throat
Coeff. K,M,c,Y,k	= 0.519, 0.64, 0.021, 0.9, 0.5

<b>Embankment</b>	
Top Elevation (ft)	= 105.00
Top Width (ft)	= 45.00
Crest Width (ft)	= 10.00

<b>Calculations</b>	
Qmin (cfs)	= 0.00
Qmax (cfs)	= 3.00
Tailwater Elev (ft)	= (dc+D)/2

<b>Highlighted</b>	
Qtotal (cfs)	= 3.00
Qpipe (cfs)	= 3.00
Qovertop (cfs)	= 0.00
Veloc Dn (ft/s)	= 4.13
Veloc Up (ft/s)	= 4.80
HGL Dn (ft)	= 100.87
HGL Up (ft)	= 101.74
Hw Elev (ft)	= 102.22
Hw/D (ft)	= 1.22
Flow Regime	= Inlet Control



# Channel Report

## 12 IN PIPE 2% SLOPE - FLOW

### Circular

Diameter (ft) = 1.00

Invert Elev (ft) = 100.00

Slope (%) = 2.00

N-Value = 0.011

### Calculations

Compute by: Q vs Depth

No. Increments = 10

### Highlighted

Depth (ft) = 0.90

Q (cfs) = 6.346

Area (sqft) = 0.74

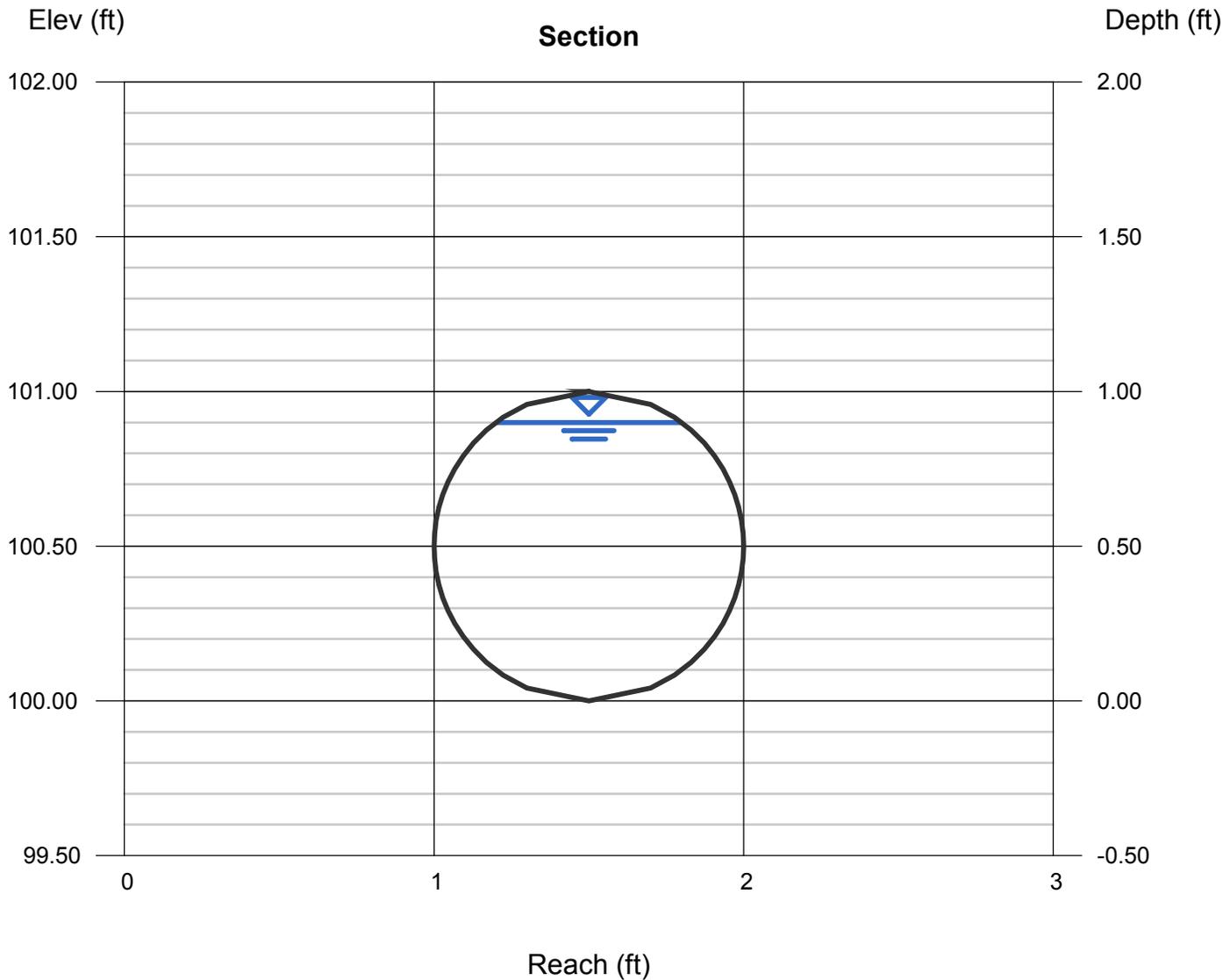
Velocity (ft/s) = 8.52

Wetted Perim (ft) = 2.50

Crit Depth, Yc (ft) = 0.97

Top Width (ft) = 0.60

EGL (ft) = 2.03

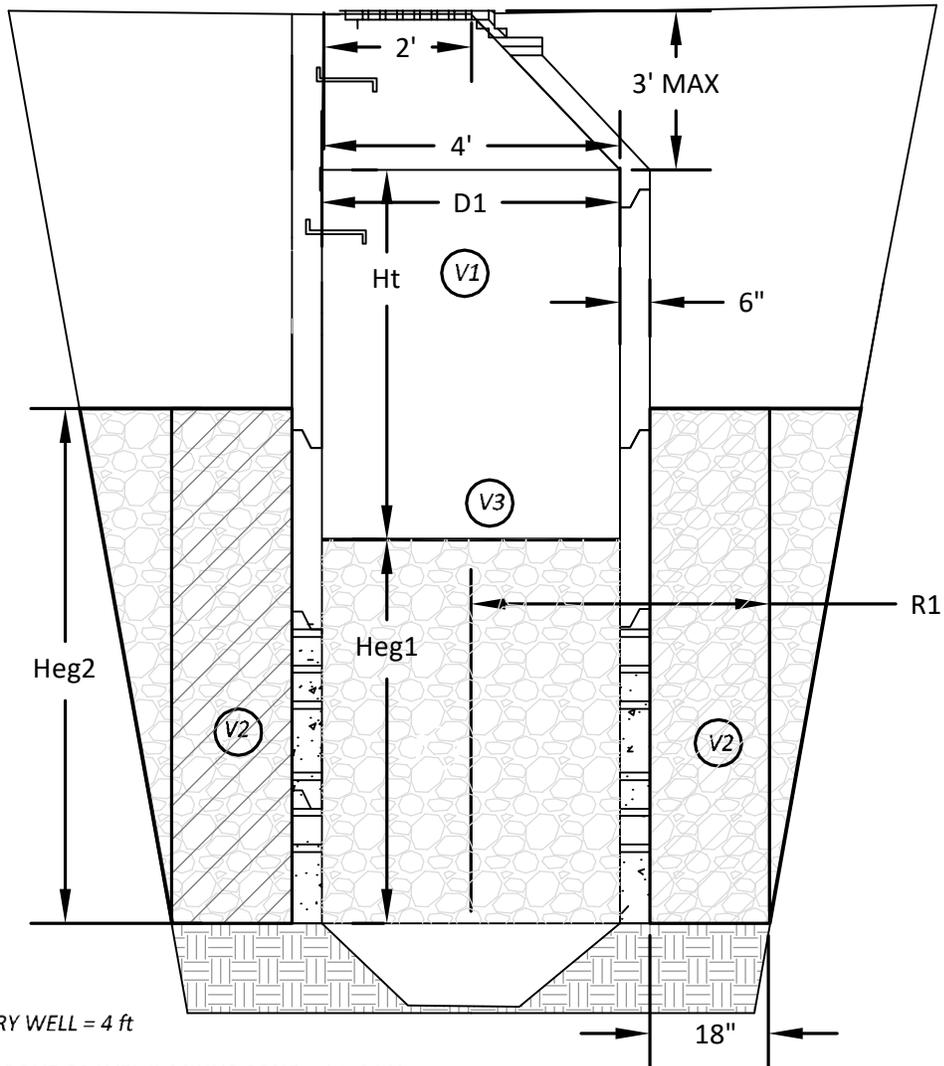


## **APPENDIX C**

### Detention Volume Calculations

# DRY WELL SIZING CALCULATIONS

## TOWN OF CARBONDALE, COLORADO DRY WELL VOLUME CALCULATION



$D1 =$  INSIDE DIAMETER OF DRY WELL = 4 ft

$Ht =$  DEPTH OF STRUCTURE ABOVE GRAVEL & MINUS CONE = 1 ft MIN.

$Heg1 =$  DEPTH OF GRAVEL IN STRUCTURE = 3 ft

$Heg2 =$  DEPTH OF GRAVEL IN EXCAVATION = 5 ft

$R1 =$  RADIUS AT BASE OF STRUCTURE W/ 18" OF GRAVEL = 4 ft

$$V1 = \text{VOLUME WITHIN STRUCTURE ABOVE GRAVEL (BARREL SECTION + CONE SECTION)} = D1^2/4 * \pi * Ht + (3^2/4 * \pi * 3)$$

$$= 4^2/4 * \pi * 1 + (3^2/4 * \pi * 3) = 33.8 \text{ CF}$$

$$V2 = \text{VOLUME WITHIN VOIDS OF EXTERIOR GRAVEL} = (R1^2 * \pi - (D1 + 1)^2/4 * \pi) * 0.3 * Heg$$

$$= 4^2 * \pi - (4 + 1)^2/4 * \pi * 0.3 * 5 = 45.9 \text{ CF}$$

$$V3 = \text{VOLUME WITHIN VOIDS OF INTERIOR GRAVEL} = D1^2/4 * \pi * 0.3 * Heg$$

$$= 4^2/4 * \pi * 0.3 * 3 = 11.3 \text{ CF}$$

TOTAL VOLUME = 91 CF

## SOPRIS ENGINEERING - LLC

CIVIL CONSULTANTS  
502 MAIN STREET, SUITE A3  
CARBONDALE, COLORADO 81623  
(970) 704-0311

**Project Information:**

Project Name: SE# 17135 - Main Street Marketplace  
 Location:  
 Date: 7/19/2018  
 Engineer: JPP  
 StormTech RPM:

**MC-3500 Site Calculator**

**System Requirements**

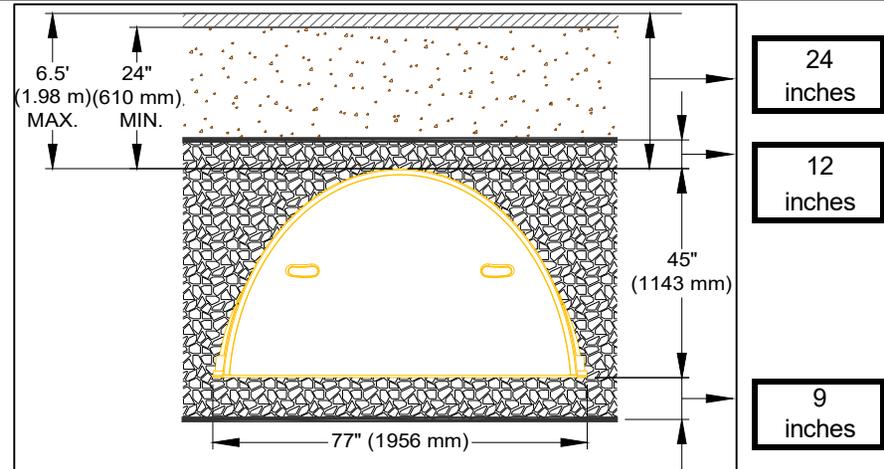
Units	<b>Imperial</b>	
Required Storage Volume	<b>7421</b>	CF
Stone Porosity (Industry Standard = 40%)	<b>40</b>	%
Stone Above Chambers (12 inch min.)	<b>12</b>	inches
Stone Foundation Depth (9 inch min.)	<b>9</b>	inches
Average Cover over Chambers (24 inch min.)	<b>24</b>	inches
Bed size controlled by WIDTH or LENGTH?	<b>WIDTH</b>	
Limiting WIDTH or LENGTH dimension	<b>38</b>	feet
Storage Volume per Chamber	<b>178.9</b>	CF
Storage Volume per End Cap	<b>46.9</b>	CF

**System Sizing**

Number of Chambers Required	39	each
Number of End Caps Required	10	each
Bed Size (including perimeter stone)	2,252	square feet
Stone Required (including perimeter stone)	411	tons
Volume of Excavation	542	cubic yards
Non-woven Filter Fabric Required (20% Safety Factor)	746	square yards
Length of Isolator Row	62.1	feet
Non-woven Isolator Row Fabric (20% Safety Factor)	108	square yards
Woven Isolator Row Fabric (20% Safety Factor)	137	square yards
Installed Storage Volume	<b>7,446</b>	cubic feet

**Controlled by Width (Rows)**

Maximum Width =	38	feet
4 rows of 8 chambers		
1 row of 7 chambers		
Maximum Length =	62.1	feet
Maximum Width =	37.1	feet



\*This represents the estimated material and site work costs (US dollars) for the project. Materials excluded from this estimate are conveyance pipe, pavement design, etc. It is always advisable to seek detailed construction costs from local installers. Please contact STORMTECH at 888-892-2694 for additional cost information.



Hepworth-Pawlak Geotechnical, Inc.  
5020 County Road 154  
Glenwood Springs, Colorado 81601  
Phone: 970-945-7988

Fax: 970-945-8454  
hpgeo@hpgeotech.com

January 11, 2002

Sopris Engineering, LLC  
Attn: Yancy Nichol  
502 Main Street Suite A3  
Carbondale, Colorado 81623

Job No. 198 650

Subject: Review of Subsoil Study, Proposed Commercial Development,  
Northwest of Highway 133 and Main Street, Carbondale, Colorado

Dear Yancy:

As requested, we have reviewed our subsoil study for design of foundations at the site dated October 17, 2000, Job No. 198 650 with respect to the proposed site plan provided to us on December 26, 2001.

The proposed development consists of two large anchor stores of 75,000 to 100,000 square feet located at the southwest and northwest corners of the property. Three smaller retail buildings on the order of 15,000 to 20,000 square feet will be attached to the northwest store. The buildings will be tall one story steel frame/masonry structures with slab-on-grade floors. A gas station is proposed in the northeast corner of the site. The rest of the site will be paved parking and access drives.

Our previous report should be suitable for design of the proposed development. The area of the southwest anchor store is low relative to Main Street and will require up to 6 feet of structural fill below slabs-on-grade to raise the area to near street level. The on-site gravel soils are suitable for use as structural fill under buildings. Screening or crushing of the natural gravel soils will probably be needed due to the oversize rock. The design parameters provided in our previous report should be suitable for design of foundations for the proposed structures.

If there are any questions or if we may be of further assistance, please let us know.

Sincerely,

HEPWORTH - PAWLAK GEOTECHNICAL, INC.

  
Daniel E. Hardin, P.E.  
Rev. by: SLP  
DEH/ksw





20015,01  
Hepworth-Pawlak Geotechnical, Inc.  
5020 County Road 154  
Glenwood Springs, Colorado 81601  
Phone: 970-945-7988

Fax: 970-945-8454  
hpgeo@hpgeotech.com

**SUBSOIL STUDY  
FOR FOUNDATION DESIGN  
PROPOSED CRYSTAL RIVER MARKETPLACE  
NORTHWEST OF HIGHWAY 133 AND MAIN STREET  
CARBONDALE, COLORADO**

**JOB NO. 198 650**

**OCTOBER 17, 2000**

**PREPARED FOR:**

**SOPRIS ENGINEERING  
ATTN: YANCY NICHOL  
520 MAIN STREET, SUITE A3  
CARBONDALE, COLORADO 81623**

**HEPWORTH - PAWLAK GEOTECHNICAL, INC.**

October 17, 2000

Sopris Engineering  
Attn: Yancy Nichol  
520 Main Street, Suite A3  
Carbondale, Colorado 81623

Job No. 198 650

Subject: Report Transmittal, Subsoil Study for Foundation Design, Proposed  
Crystal River Marketplace, Northwest of Highway 133 and Main Street,  
Carbondale, Colorado

Dear Yancy:

As requested, we have conducted a subsoil study for the proposed development at the subject site.

Subsurface conditions encountered in the exploratory borings drilled in the proposed development area consist of ½ foot to 1 foot of topsoil and up to 2½ feet of sandy silty clay overlying relatively dense sandy gravel with cobbles. Groundwater was not encountered in the borings at the time of drilling.

The proposed development can be founded on spread footings placed on the natural granular subsoils and designed for an allowable bearing pressure of 4,000 psf.

The report which follows describes our exploration, summarizes our findings, and presents our recommendations. It is important that we provide consultation during design, and field services during construction to review and monitor the implementation of the geotechnical recommendations.

If you have any questions regarding this report, please contact us.

Sincerely,

HEPWORTH - PAWLAK GEOTECHNICAL, INC.



Daniel E. Hardin, P.E.

Rev. by: JZA

DEH/ksw

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## PURPOSE AND SCOPE OF STUDY

This report presents the results of a subsoil study for a proposed commercial development to be located northwest of Highway 133 and Main Street, Carbondale, Colorado. The project site is shown on Fig. 1. The purpose of the study was to develop recommendations for foundation design. The study was conducted in accordance with our agreement for geotechnical engineering study to Sopris Engineering dated September 17, 1998.

A field exploration program consisting of exploratory borings was conducted to obtain information on subsurface conditions. Samples of the subsoils obtained during the field exploration were tested in the laboratory to determine their classification, compressibility and other engineering characteristics. The results of the field exploration and laboratory testing were analyzed to develop recommendations for foundation types, depths and allowable pressures for the proposed building foundation. This report summarizes the data obtained during this study and presents our conclusions, design recommendations and other geotechnical engineering considerations based on the proposed construction and the subsoil conditions encountered.

## PROPOSED CONSTRUCTION

The proposed commercial development will be primarily tall one story structures with some 3 story structures in the "Village" area. The structures will be tilt up concrete walls. Ground floors will be slab-on-grade. Grading for the structures is assumed to be relatively minor with cut depths between about 2 to 6 feet. We assume relatively light to moderate foundation loadings, typical of the proposed type of construction.

If building loadings, location or grading plans change significantly from those described above, we should be notified to re-evaluate the recommendations contained in this report.

## SITE CONDITIONS

The site consists of gently rolling irrigated pastureland with some commercial development along Highway 133 and residential development along Main Street. The irrigation ditches were flowing at the time of our field work. Vegetation at the site consists mostly of grass and weeds with willows and other brush bordering the Rockford irrigation ditch. There are deciduous trees and tall brush in the existing residential area in the southern part of the site.

## SUBSIDENCE POTENTIAL

Bedrock of the Pennsylvanian age Eagle Valley Evaporite underlies the Crystal River Market place development. These rocks are a sequence of gypsiferous shale, fine-grained sandstone/siltstone and limestone with some massive beds of gypsum. There is a possibility that massive gypsum deposits associated with the Eagle Valley Evaporite underlie portions of the site. Dissolution of the gypsum under certain conditions can cause sinkholes to develop and can produce areas of localized subsidence. During previous work in the area, several sinkholes were observed scattered throughout the Carbondale area. These sinkholes appear similar to others associated with the Eagle Valley Evaporite in areas of the Roaring Fork Valley.

Sinkholes were not observed in the immediate area of the subject lot. Long linear depressions were observed in the area of Borings 4, 5 and 6 and Borings 21 to 24. These depressions could be associated with long term down warping of the underlying Eagle Valley Evaporite or could be erosional features in the overlying alluvial gravel. Borings drilled in the area of the linear features indicate soil conditions similar to other parts of the site. Further evaluation of these features could be performed during construction. No evidence of cavities was encountered in the subsurface materials; however, the exploratory borings were relatively shallow, for foundation design only. Based on our present knowledge of the subsurface conditions at the site, it cannot be said for certain that sinkholes will not develop. The risk of

future ground subsidence at this site throughout the service life of the proposed development, in our opinion, is low; however, the owner should be made aware of the potential for sinkhole development. If further investigation of possible cavities in the bedrock below the site is desired, we should be contacted.

### FIELD EXPLORATION

The field exploration for the project was conducted on September 7, 8 and 14, 1998. Twenty-six exploratory borings were drilled at the locations shown on Fig. 1 to evaluate the subsurface conditions. The borings were advanced with 4 inch diameter continuous flight augers powered by a truck-mounted Longyear BK-51HD drill rig. The borings were logged by a representative of Hepworth-Pawlak Geotechnical, Inc.

Samples of the subsoils were taken with 1 $\frac{3}{8}$  inch and 2 inch I.D. spoon samplers. The samplers were driven into the subsoils at various depths with blows from a 140 pound hammer falling 30 inches. This test is similar to the standard penetration test described by ASTM Method D-1586. The penetration resistance values are an indication of the relative density or consistency of the subsoils. Depths at which the samples were taken and the penetration resistance values are shown on the Logs of Exploratory Borings, Figs. 2 to 4. The samples were returned to our laboratory for review by the project engineer and testing.

### SUBSURFACE CONDITIONS

Graphic logs of the subsurface conditions encountered at the site are shown on Figs. 2 to 4. The subsoils consist of about  $\frac{1}{2}$  to 1 foot of topsoil and up to 2 $\frac{1}{2}$  feet of medium stiff to stiff sandy silty clay overlying relatively dense, slightly silty sandy gravel containing cobbles and boulders. Drilling in the dense gravel with auger equipment was difficult due to the cobbles and boulders and drilling refusal was encountered in the deposit.

Laboratory testing performed on samples obtained from the borings included natural moisture content, density, Atterberg limits and gradation analyses. Results of consolidation testing performed on relatively undisturbed drive samples of the sandy clay soils, presented on Figs. 6 and 7 indicate low to moderate compressibility under conditions of loading and wetting. Results of gradation analyses performed on small diameter drive samples (minus 1½ inch fraction) of the natural coarse granular soils are shown on Figs. 8 to 10. Atterberg limits testing indicates the clay soils have low to medium plasticity. The laboratory testing is summarized in Table I.

No free water was encountered in the borings at the time of drilling and the subsoils were slightly moist to moist.

### FOUNDATION BEARING CONDITIONS

The dense gravel soils at the site are suitable for light to moderately loaded spread footing construction. All topsoil, old fill and the natural clay soils should be removed from below footing areas and the footing level extended down to the dense gravel. As an alternative, footing grade could be re-established with compacted structural fill. Lightly loaded slabs could be placed on the natural clay or gravel soils.

### DESIGN RECOMMENDATIONS

#### FOUNDATIONS

Considering the subsoil conditions encountered in the exploratory borings and the nature of the proposed construction, we recommend the buildings be founded with spread footings bearing on the natural granular soils.

The design and construction criteria presented below should be observed for a spread footing foundation system.

- 1) Footings placed on the undisturbed natural granular soils should be designed for an allowable soil bearing pressure of 4,000 psf. Based on

experience, we expect settlement of footings designed and constructed as discussed in this section will be about 1 inch or less.

- 2) The footings should have a minimum width of 16 inches for continuous walls and 2 feet for isolated pads.
- 3) Exterior footings and footings beneath unheated areas should be provided with adequate soil cover above their bearing elevation for frost protection. Placement of foundations at least 36 inches below exterior grade is typically used in this area.
- 4) Continuous foundation walls should be reinforced top and bottom to span local anomalies such as by assuming an unsupported length of at least 10 feet. Foundation walls acting as retaining structures should also be designed to resist lateral earth pressures as discussed in the "Foundation and Retaining Walls" section of this report.
- 5) All existing fill, topsoil, sandy clay and any loose or disturbed soils should be removed and the footing bearing level extended down to relatively dense natural granular soils. As an alternative, design footing grade could be re-established with structural fill compacted to at least 100% of the maximum standard Proctor density at a moisture content near optimum. The fill should extend out from the edge of the footing a distance equal to the depth of fill below the footing. Structural fill should consist of the on-site gravels or a suitable imported sandy gravel devoid of topsoil, vegetation and oversized rock.
- 6) A representative of the geotechnical engineer should observe all footing excavations prior to concrete placement to evaluate bearing conditions.

## FOUNDATION AND RETAINING WALLS

Foundation walls and retaining structures which are laterally supported and can be expected to undergo only a slight amount of deflection should be designed for a lateral earth pressure computed on the basis of an equivalent fluid unit weight of 45 pcf for backfill consisting of the on-site granular soils. Cantilevered retaining structures

which are separate from the buildings and can be expected to deflect sufficiently to mobilize the full active earth pressure condition should be designed for a lateral earth pressure computed on the basis of an equivalent fluid unit weight of 35 pcf for backfill consisting of the on-site granular soils. Backfill should not contain vegetation, topsoil, clay soils or rock larger than about 6 inches.

All foundation and retaining structures should be designed for appropriate hydrostatic and surcharge pressures such as adjacent footings, traffic, construction materials and equipment. The pressures recommended above assume drained conditions behind the walls and a horizontal backfill surface. The buildup of water behind a wall or an upward sloping backfill surface will increase the lateral pressure imposed on a foundation wall or retaining structure. An underdrain should be provided to prevent hydrostatic pressure buildup behind walls.

Backfill should be placed in uniform lifts and compacted to at least 90% of the maximum standard Proctor density at a moisture content near optimum. Backfill in pavement and walkway areas should be compacted to at least 95% of the maximum standard Proctor density. Care should be taken not to overcompact the backfill or use large equipment near the wall, since this could cause excessive lateral pressure on the wall. Some settlement of deep foundation wall backfill should be expected, even if the material is placed correctly, and could result in distress to facilities constructed on the backfill.

The lateral resistance of foundation or retaining wall footings will be a combination of the sliding resistance of the footing on the foundation materials and passive earth pressure against the side of the footing. Resistance to sliding at the bottoms of the footings can be calculated based on a coefficient of friction of 0.50. Passive pressure of compacted backfill against the sides of the footings can be calculated using an equivalent fluid unit weight of 400 pcf. The coefficient of friction and passive pressure values recommended above assume ultimate soil strength. Suitable factors of safety should be included in the design to limit the strain which will occur at the ultimate strength, particularly in the case of passive resistance. Fill placed against the

sides of the footings to resist lateral loads should be compacted to at least 95% of the maximum standard Proctor density at a moisture content near optimum.

## FLOOR SLABS

The natural on-site soils, exclusive of topsoil, are suitable to support lightly loaded slab-on-grade construction. To reduce the effects of some differential movement, floor slabs should be separated from all bearing walls and columns with expansion joints which allow unrestrained vertical movement. Floor slab control joints should be used to reduce damage due to shrinkage cracking. The requirements for joint spacing and slab reinforcement should be established by the designer based on experience and the intended slab use. A minimum 4 inch layer of free-draining gravel should be placed beneath slabs-on-grade to act as a leveling course. This material should consist of minus 2 inch aggregate with at least 50% retained on the No. 4 sieve and less than 2% passing the No. 200 sieve.

All fill materials for support of floor slabs should be compacted to at least 95% of maximum standard Proctor density at a moisture content near optimum. Required fill can consist of the on-site gravels or a suitable imported sandy gravel devoid of vegetation, topsoil and oversized rock.

## UNDERDRAIN SYSTEM

Although free water was not encountered during our exploration, it has been our experience that local perched groundwater may develop during times of heavy precipitation or seasonal runoff. Frozen ground during spring runoff can create a perched condition. We recommend below-grade construction, such as retaining walls, crawlspace and basement areas, be protected from wetting and hydrostatic pressure buildup by an underdrain system.

The drains should consist of drainpipe placed in the bottom of the wall backfill surrounded above the invert level with free-draining granular material. The drain should be placed at each level of excavation and at least 1 foot below lowest adjacent finish grade and sloped at a minimum 1% to a suitable gravity outlet. Free-draining

granular material used in the underdrain system should contain less than 2% passing the No. 200 sieve, less than 50% passing the No. 4 sieve and have a maximum size of 2 inches. The drain gravel backfill should be at least 1½ feet deep.

### SURFACE DRAINAGE

The following drainage precautions should be observed during construction and maintained at all times after the development has been completed:

- 1) Inundation of the foundation excavations and underslab areas should be avoided during construction.
- 2) Exterior backfill should be adjusted to near optimum moisture and compacted to at least 95% of the maximum standard Proctor density in pavement and slab areas and to at least 90% of the maximum standard Proctor density in landscape areas.
- 3) The ground surface surrounding the exterior of the buildings should be sloped to drain away from the foundation in all directions. We recommend a minimum slope of 6 inches in the first 10 feet in unpaved areas and a minimum slope of 3 inches in the first 10 feet in paved areas. Free-draining wall backfill should be capped with about 2 feet of the on-site finer graded soils to reduce surface water infiltration.
- 4) Roof downspouts and drains should discharge well beyond the limits of all backfill.

### PAVEMENT DESIGN RECOMMENDATIONS

A pavement section is designed to distribute concentrated traffic loads to the subgrade. Pavement design procedures are based on strength properties of the subgrade and pavement materials assuming stable, uniform subgrade conditions. Certain soils such as the upper, fine-grained soils encountered on this site, are frost susceptible and could impact pavement performance. Frost susceptible soils are problematic when there is a free water source. If those soils are wetted, the resulting frost heave movements

can be large and erratic. Therefore, pavement design procedures assume dry subgrade conditions by providing proper surface and subsurface drainage.

**Subgrade Materials:** The fine-grained soils encountered at the site are mainly low to medium plasticity sandy silty clays which are considered a poor support for pavement materials. For design purposes, the soil support value of the subgrade was selected based on an Hveem 'R' value of 20 for flexible (asphalt) pavements and a modulus of subgrade reaction of 130 pci was selected for rigid (portland cement) pavements. The clay soils are considered moderately to highly susceptible to frost action.

**Pavement Section:** Since anticipated traffic loading information was not available at the time of report preparation, an 18 kip equivalent daily load application (EDLA) of 15 was assumed for combined automobile and truck traffic areas. This loading should be checked by the project civil engineer. A Regional Factor of 2.0 was assumed for this area of Garfield County based on the site terrain, drainage and climatic conditions.

Based on the assumed parameters, the pavement section in areas of combined automobile and truck traffic should consist of 8 inches of high quality base course and 3 inches of asphalt surface. An alternate full-depth asphalt section of 5½ inches can be used.

As an alternative to asphalt pavement and in areas where truck turning movements are concentrated, the pavement section can consist of 5 inches of portland cement concrete.

The above pavement section thickness recommendations are based on the assumption that the subgrade consists of the on-site fine-grained soils. In areas where the subgrade consists of the natural gravel soils, the pavement section can consist of 3 inches of asphalt and 4 inches of aggregate base course or 5 inches of portland cement concrete.

The section thicknesses assume structural coefficients of 0.14 for aggregate base course, 0.44 for asphalt surface and design strength of 4,000 psi for portland cement

concrete. The material properties and compaction should be in accordance with the project specifications.

**Subgrade Preparation:** Prior to placing the pavement section, the entire subgrade area should be scarified to a depth of 8 inches, adjusted to a moisture content near optimum and compacted to at least 95% of the maximum standard Proctor density. The pavement subgrade should be proofrolled with a heavily loaded pneumatic-tired vehicle. Pavement design procedures assume a stable subgrade. Areas which deform excessively under heavy wheel loads are not stable and should be removed and replaced to achieve a stable subgrade prior to paving.

**Drainage:** The collection and diversion of surface drainage away from paved areas is extremely important to the satisfactory performance of pavement. Drainage design should provide for the removal of water from paved areas and prevent wetting of the subgrade soils. Uphill roadside ditches should have an invert level at least 1 foot below the road base.

## LIMITATIONS

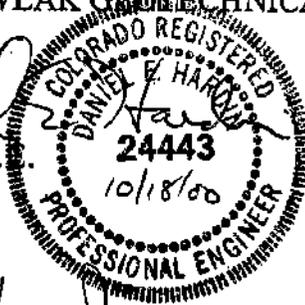
This study has been conducted in accordance with generally accepted geotechnical engineering principles and practices in this area at this time. We make no warranty either expressed or implied. The conclusions and recommendations submitted in this report are based upon the data obtained from the exploratory borings drilled at the locations indicated on Fig. 1, the proposed type of construction and our experience in the area. Our findings include interpolation and extrapolation of the subsurface conditions identified at the exploratory borings and variations in the subsurface conditions may not become evident until excavation is performed. If conditions encountered during construction appear different from those described in this report, we should be notified so that re-evaluation of the recommendations may be made.

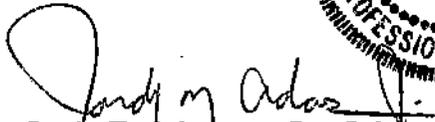
This report has been prepared for the exclusive use by our client for design purposes. We are not responsible for technical interpretations by others of our information. As the project evolves, we should provide continued consultation and field services during construction to review and monitor the implementation of our recommendations, and to verify that the recommendations have been appropriately interpreted. Significant design changes may require additional analysis or modifications to the recommendations presented herein. We recommend on-site observation of excavations and foundation bearing strata and testing of structural fill by a representative of the geotechnical engineer.

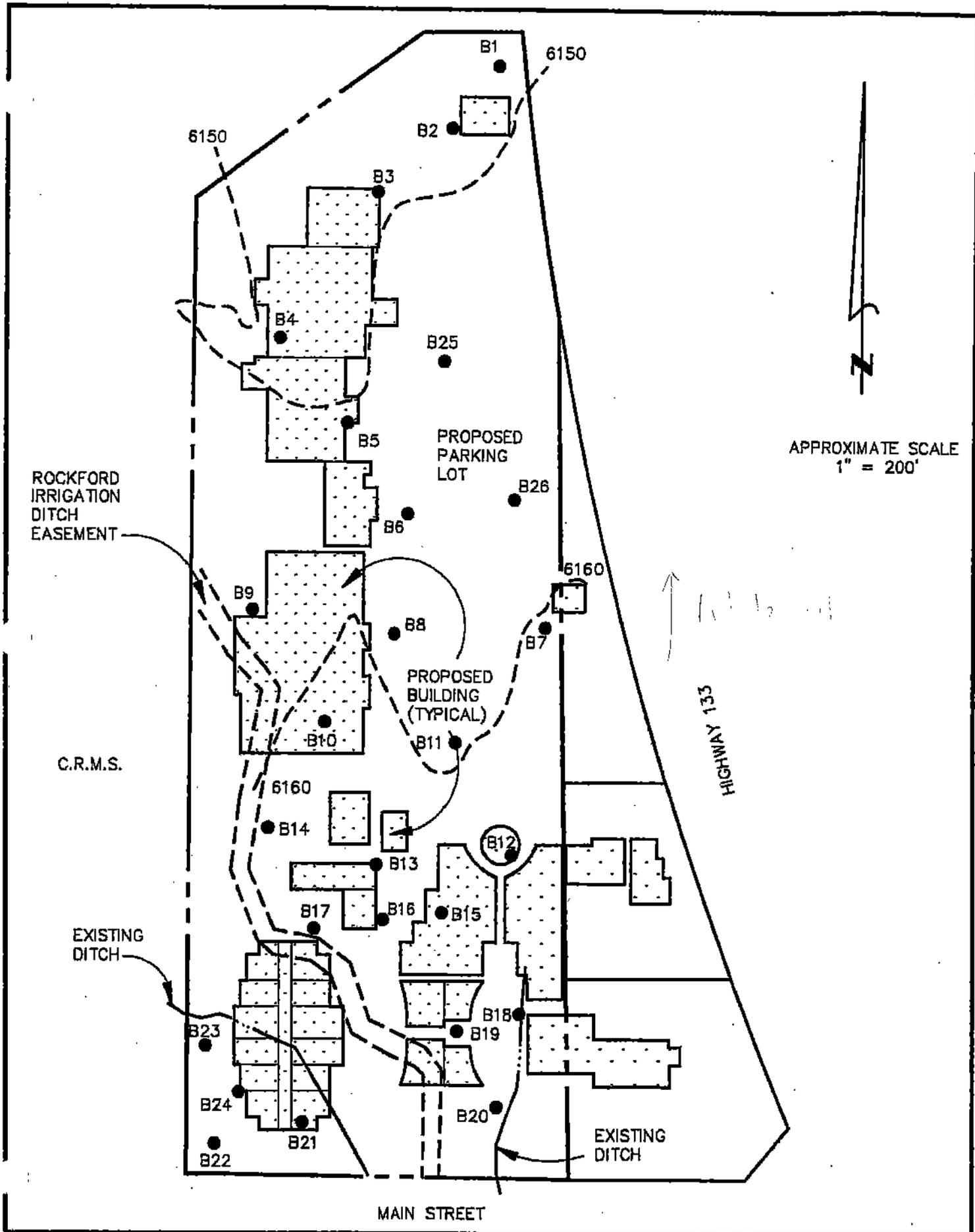
Sincerely,

HEPWORTH - PAWLAK GEOTECHNICAL, INC.

  
Daniel E. Hardin, P.E.  
Reviewed by:



  
Jordy Z. Adamson, Jr., P.E.  
DEH/ksw

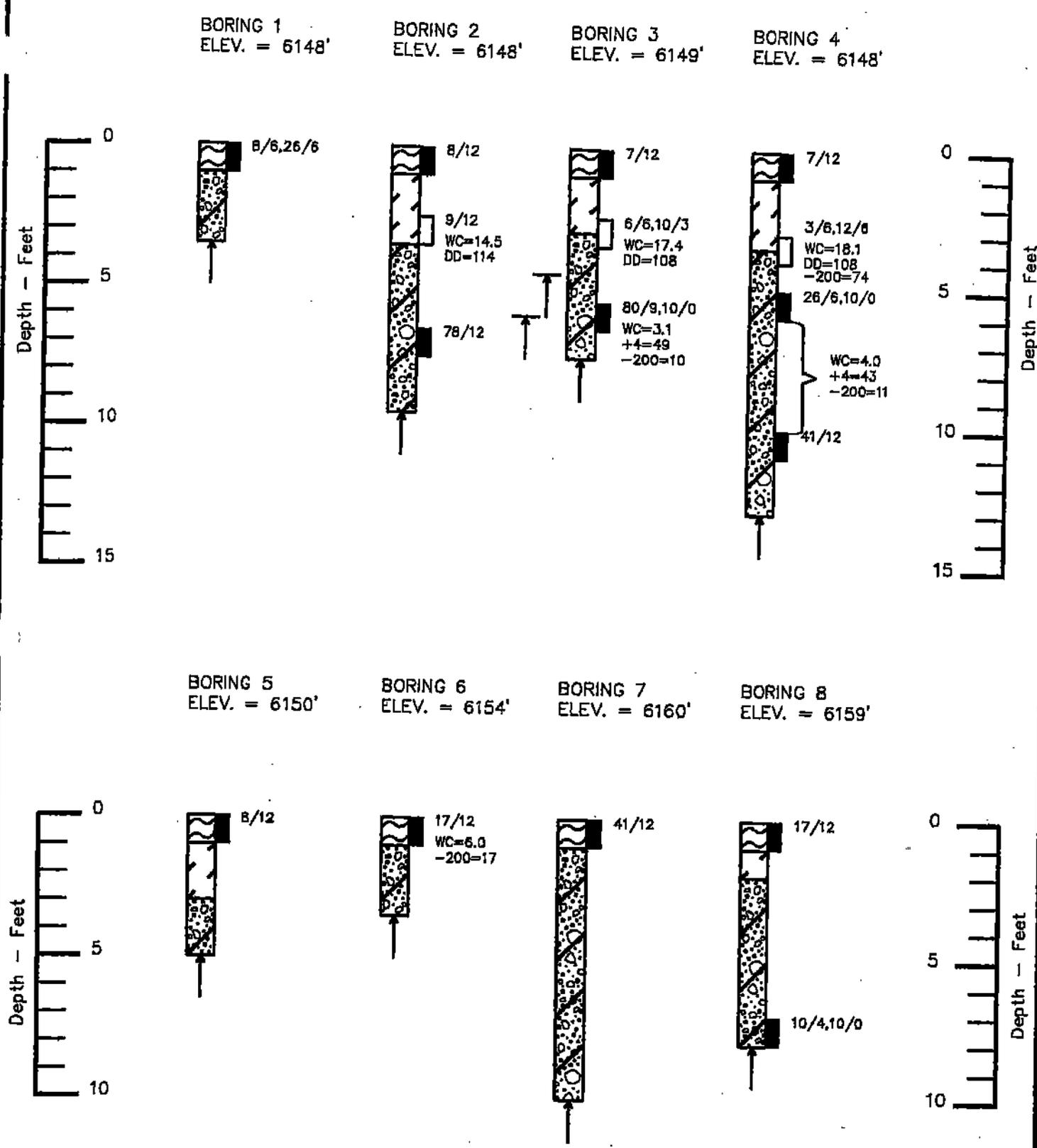


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HEPWORTH - PAWLAK  
GEOTECHNICAL, INC.

LOCATION OF EXPLORATORY BORINGS

Fig. 1



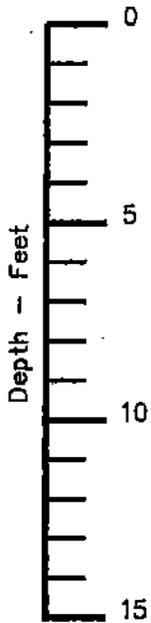
Note: Explanation of symbols is shown on Fig. 5.

BORING 9  
ELEV. = 6158'

BORING 10  
ELEV. = 6162'

BORING 11  
ELEV. = 6160'

BORING 12  
ELEV. = 6161'

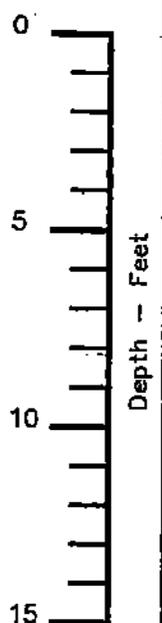


13/12  
WC=15.1  
-200=59  
LL=30  
PI=14

43/12  
31/6,40/5  
WC=2.6  
+4=46  
-200=12

13/12

22/6,30/3  
41/6,15/3  
22/6,10/0



BORING 13  
ELEV. = 6162'

BORING 14  
ELEV. = 6162'

BORING 15  
ELEV. = 6161'

BORING 16  
ELEV. = 6161'

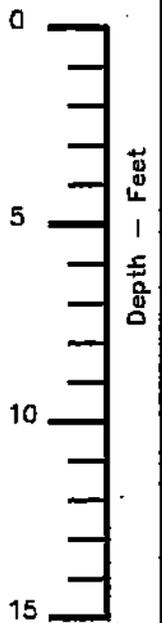


12/12  
WC=11.8  
-200=49  
LL=28  
PI=15

41/12  
60/12  
DD=2.7  
+4=42  
-200=11

17/12  
91/12  
WC=2.9  
+4=48  
-200=8

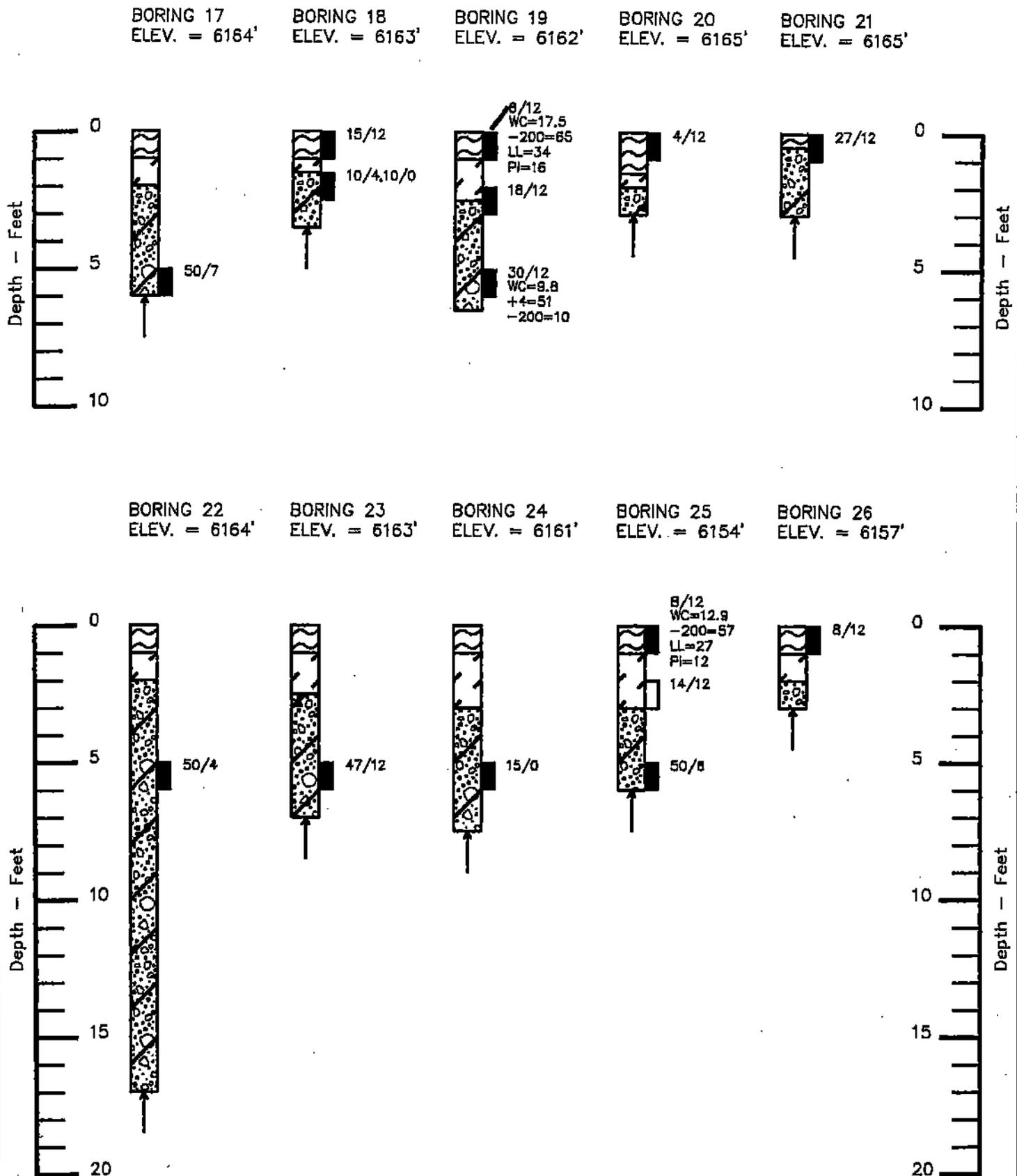
50/5



6/6,10/0  
WC=7.5  
-200=11

74/12  
28/12

Note: Explanation of symbols is shown on Fig. 5.



Note: Explanation of symbols is shown on Fig. 5.

LEGEND:



TOPSOIL; organic sandy silty clay to organic silty sand and gravel with scattered cobbles, medium stiff to medium dense, moist, dark brown.



CLAY (CL); silty, sandy, medium stiff to stiff, slightly moist to moist, brown.



GRAVEL AND COBBLES (GM-GP); sandy, slightly silty, with boulders, medium dense to dense, slightly moist to moist, brown.



Relatively undisturbed drive sample; 2-inch I.D. California liner sample.



Drive sample; standard penetration test ( SPT ), 1 3/8-inch I.D. split spoon sample, ASTM D - 1586.

14/12

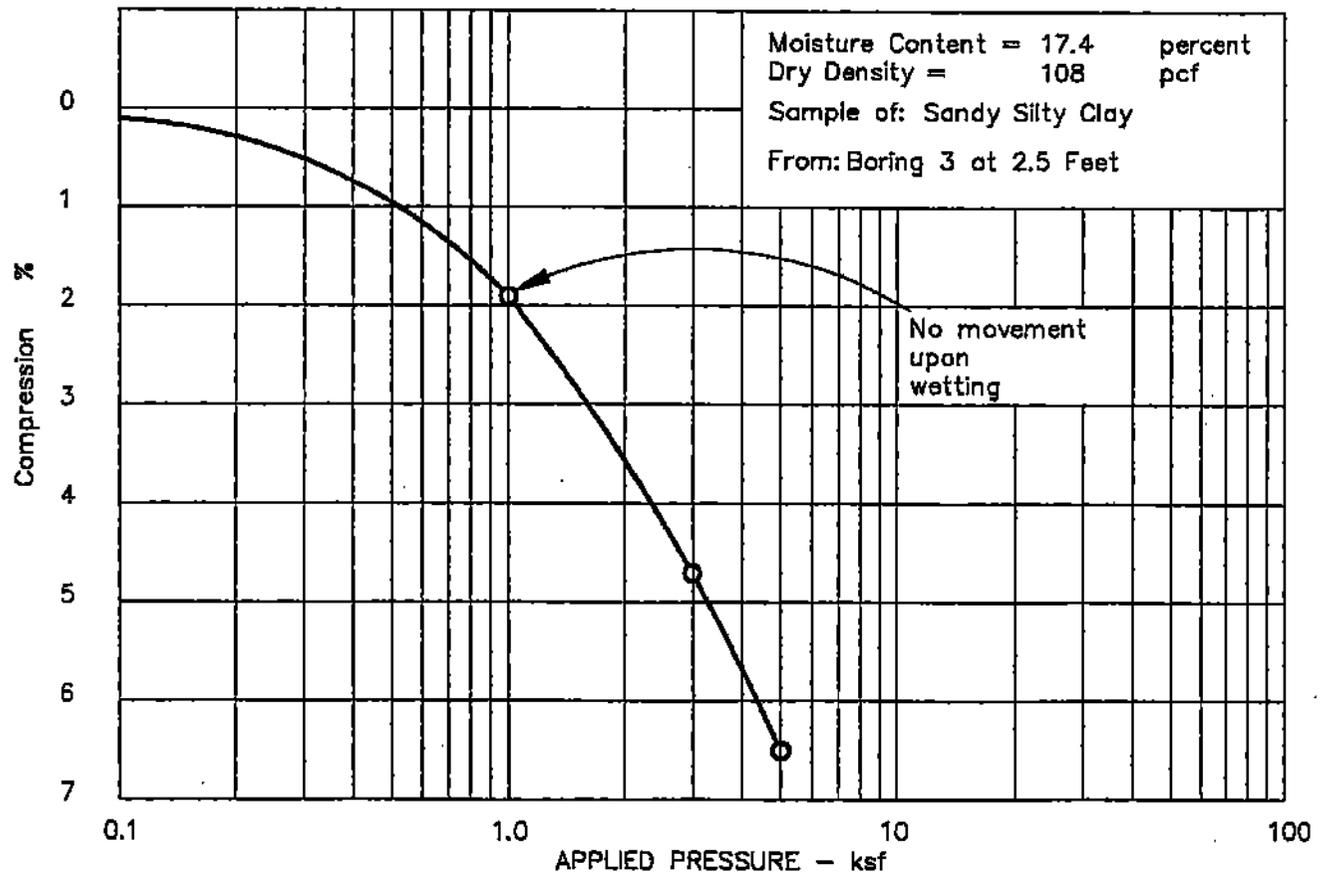
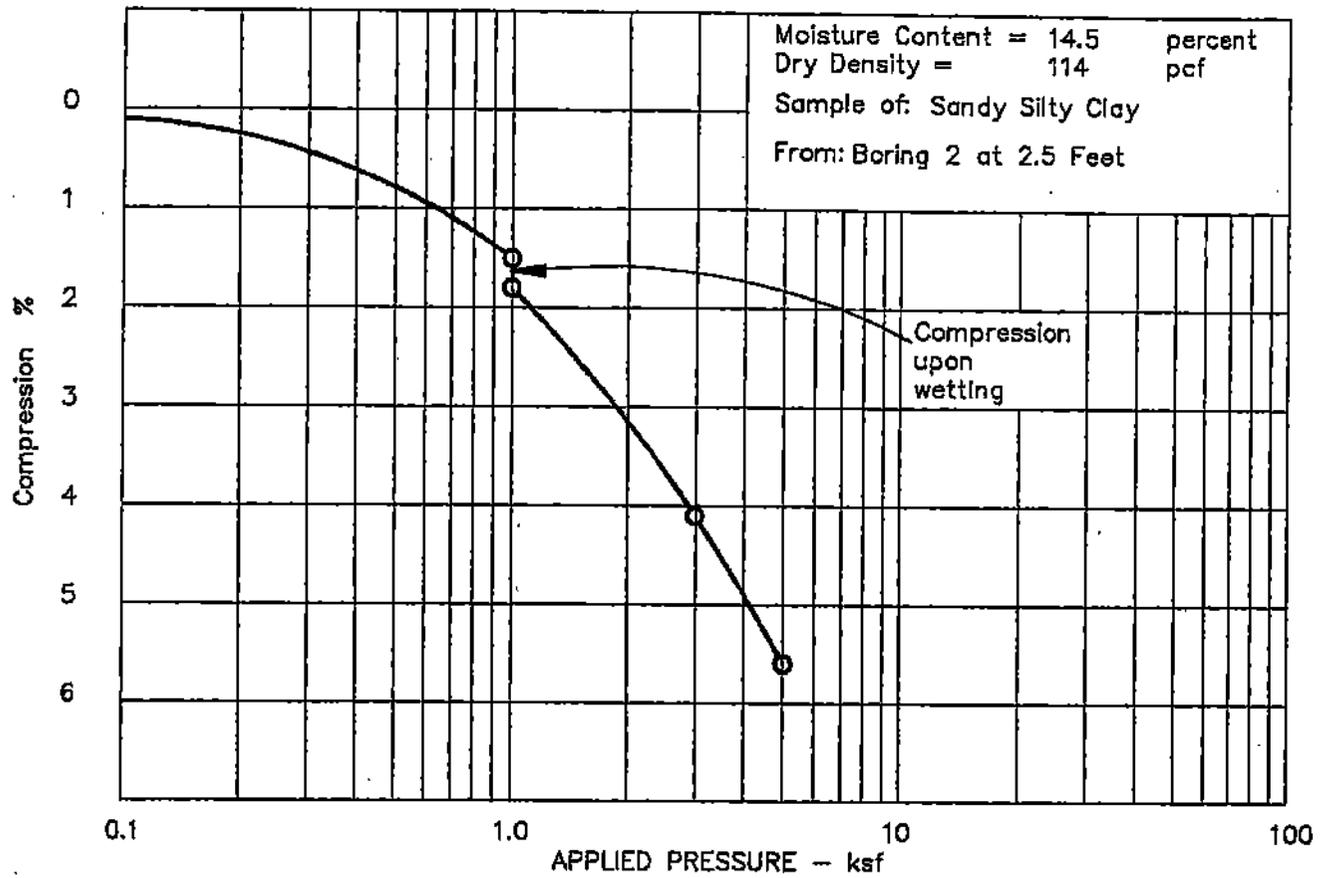
Drive sample blow count; indicates that 14 blows of a 140-pound hammer falling 30 inches were required to drive the California or SPT sampler 12 inches.



Practical rig refusal. Where shown above bottom of log, indicates multiple attempts were made to advance the boring.

NOTES:

1. Exploratory borings were drilled on September 7, 8, and 14, 1998 with a 4-inch diameter continuous flight power auger.
2. Locations of exploratory borings were surveyed by Sopris Engineering.
3. Elevations of exploratory borings were surveyed by Sopris Engineering.
4. The exploratory boring locations and elevations should be considered accurate only to the degree implied by the method used.
5. The lines between materials shown on the exploratory boring logs represent the approximate boundaries between material types and transitions may be gradual.
6. No free water was encountered in the borings at the time of drilling. Fluctuation in water level may occur with time.
7. Laboratory Testing Results:
  - WC = Water Content ( % )
  - DD = Dry Density ( pcf )
  - +4 = Percent retained on No. 4 sieve.
  - 200 = Percent passing No. 200 sieve.
  - LL = Liquid Limit ( % )
  - PI = Plasticity Index ( % )

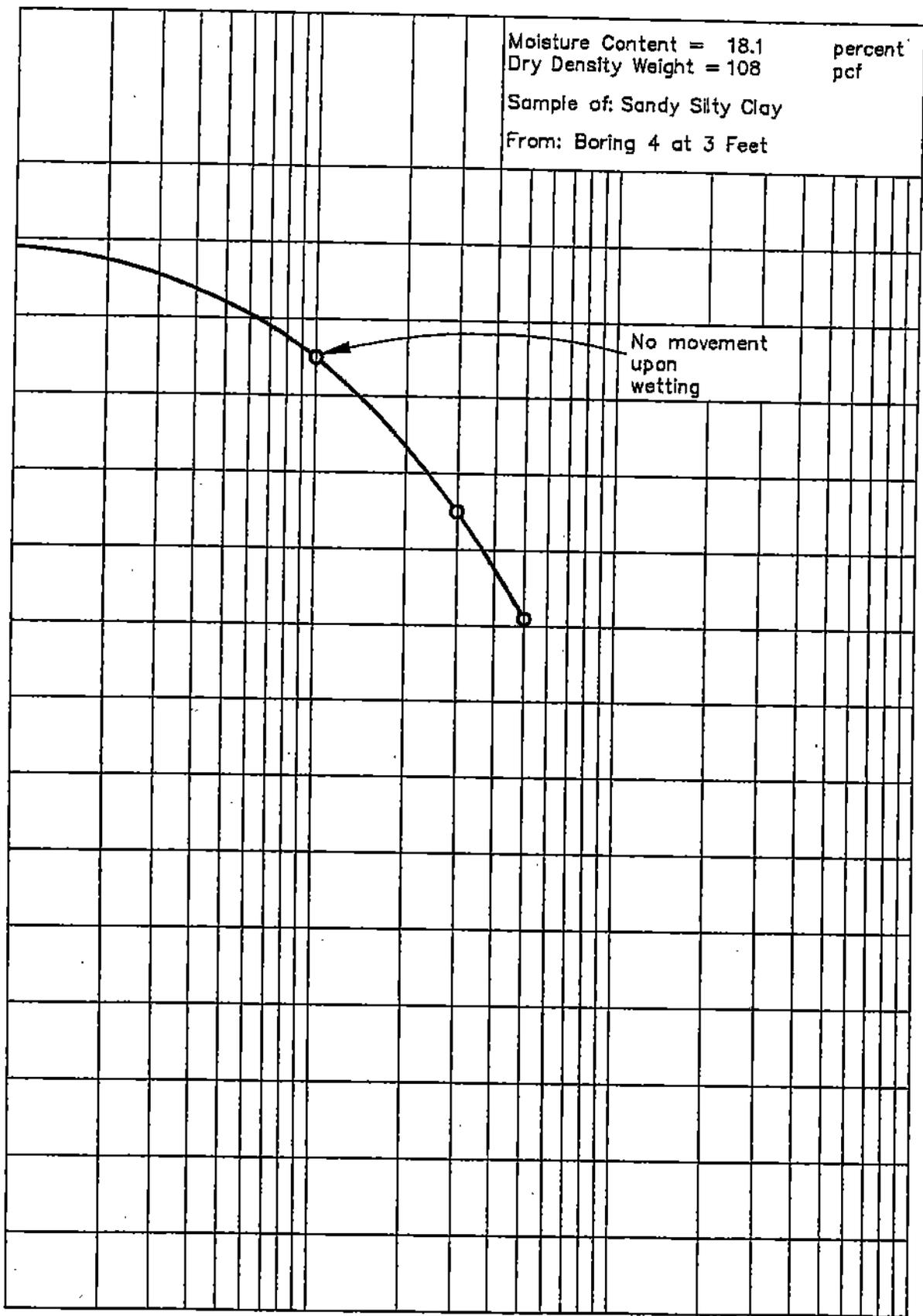


Moisture Content = 18.1 percent  
Dry Density Weight = 108 pcf  
Sample of: Sandy Silty Clay  
From: Boring 4 at 3 Feet

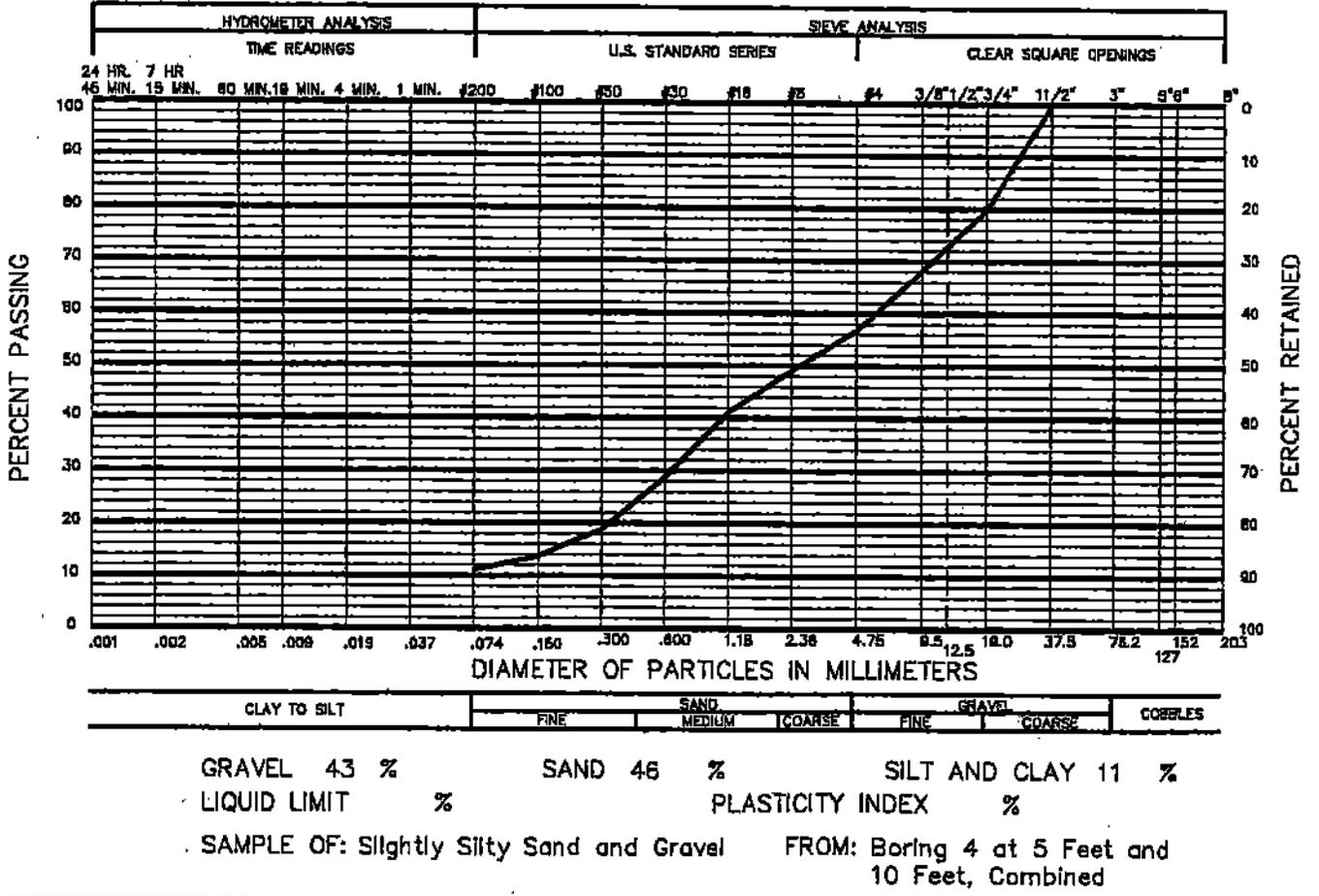
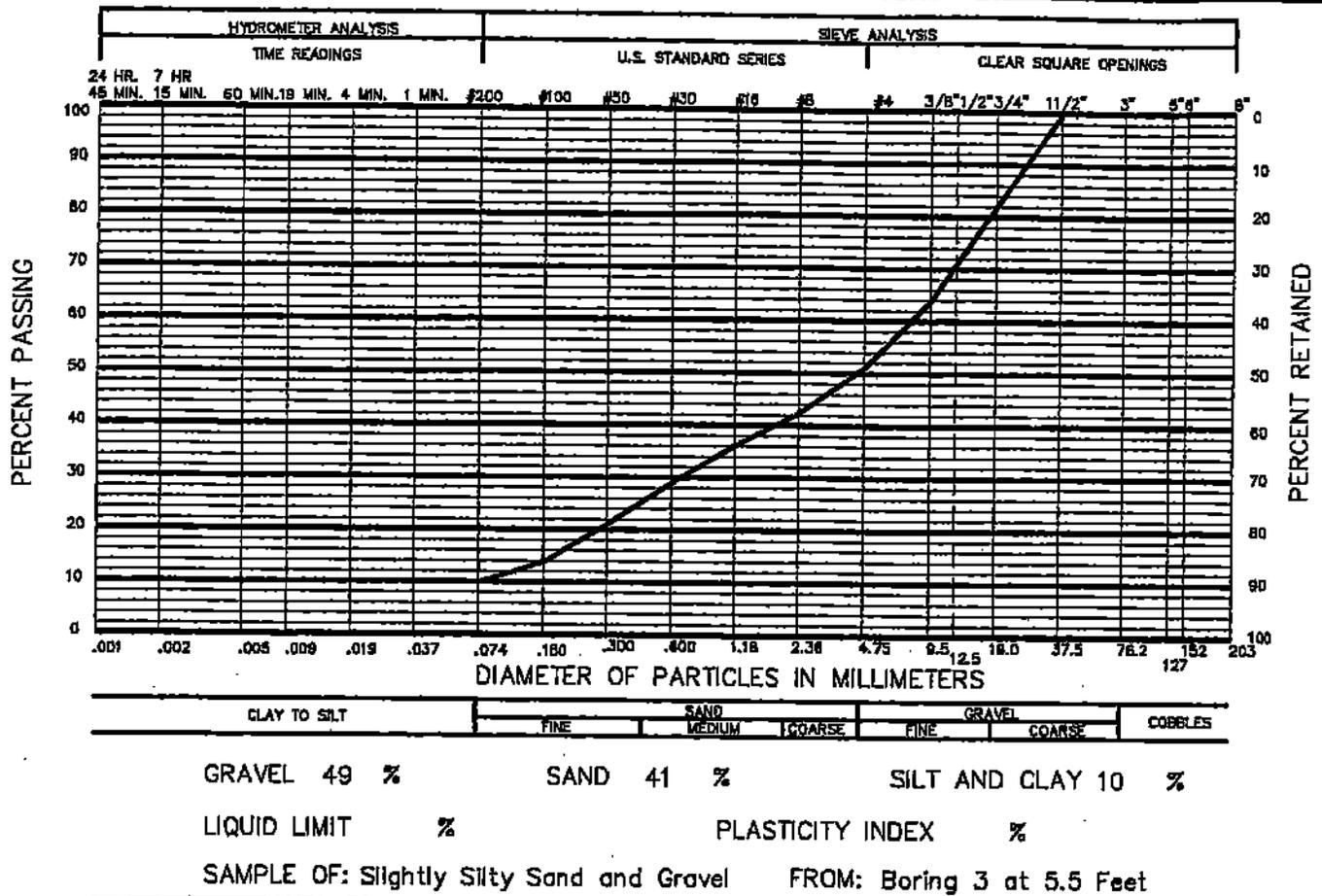
Compression %

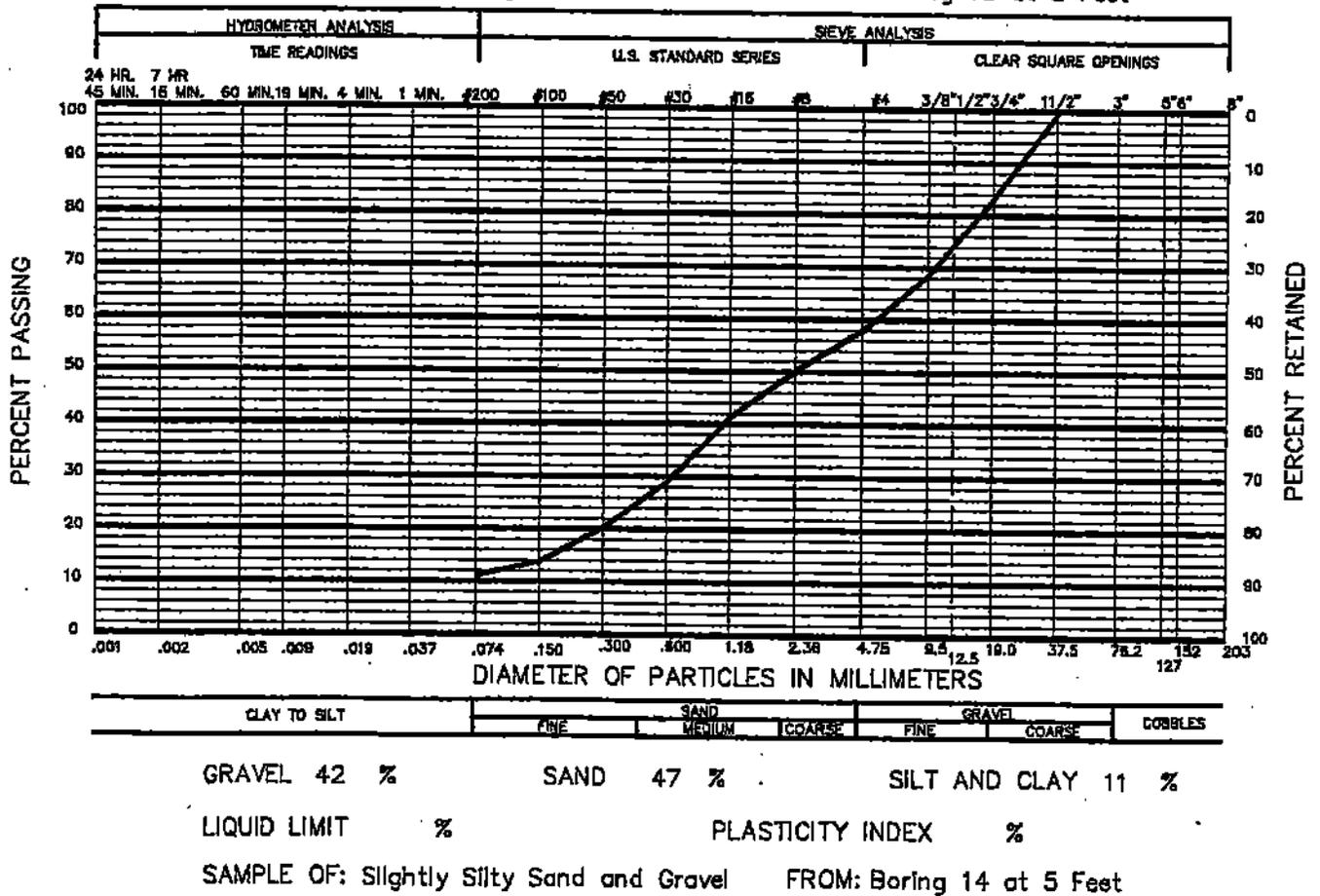
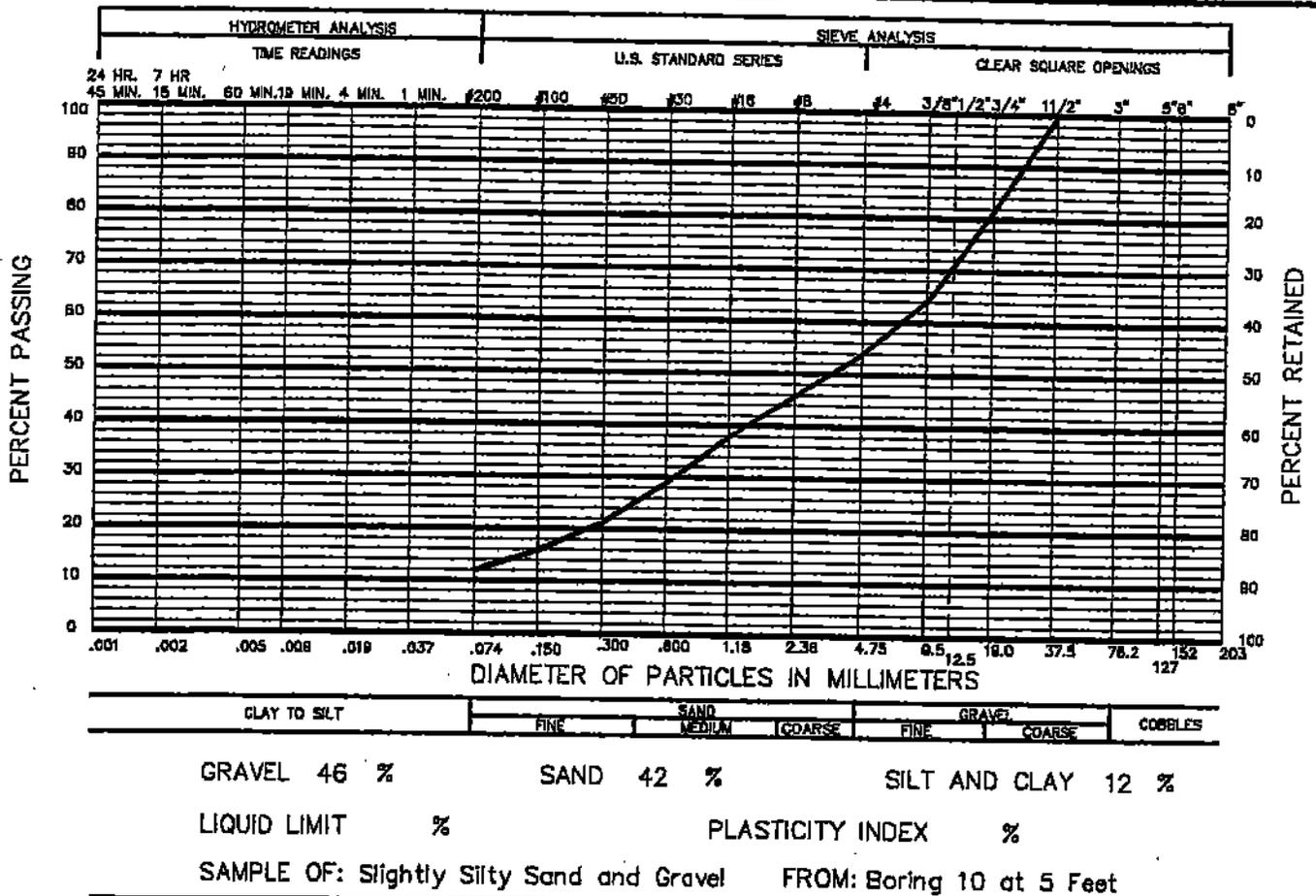
0  
1  
2  
3  
4  
5

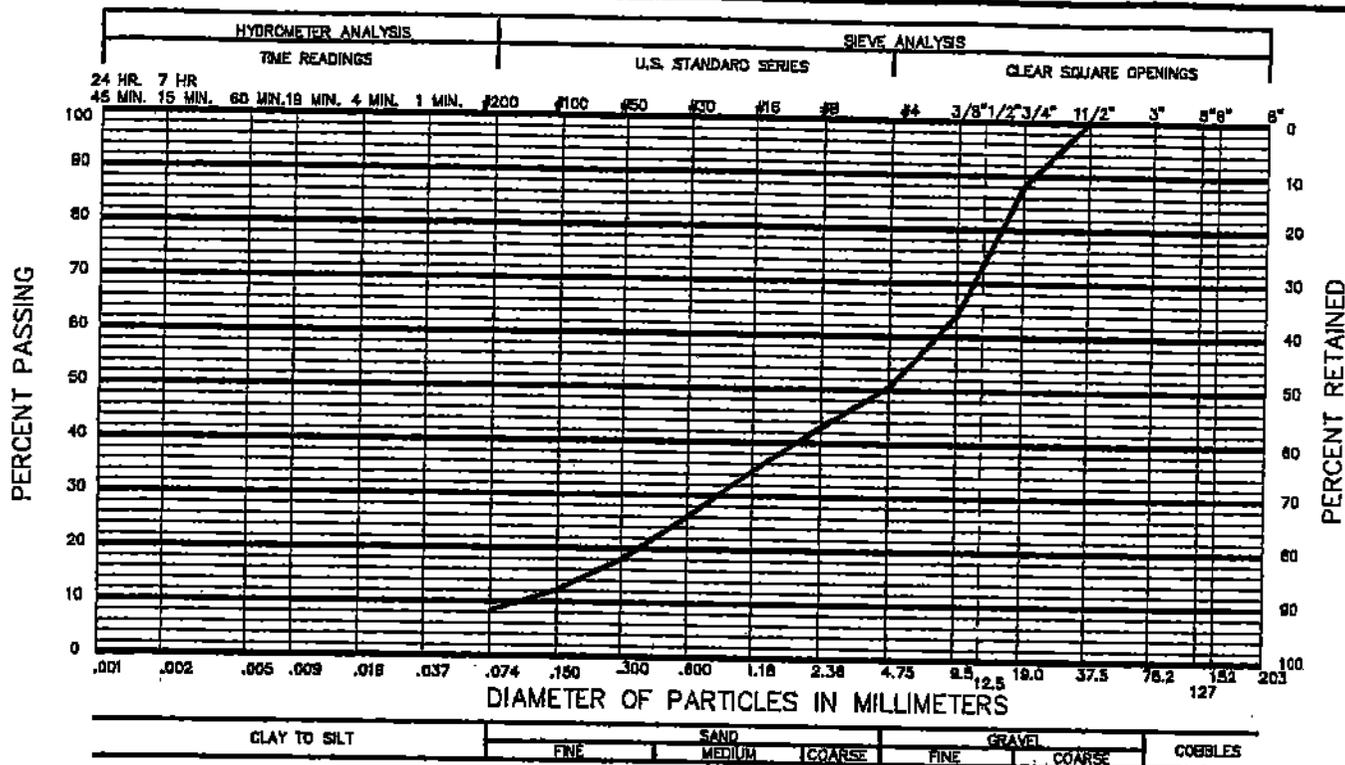
No movement upon wetting



0.1 1.0 10 100  
APPLIED PRESSURE -- ksf



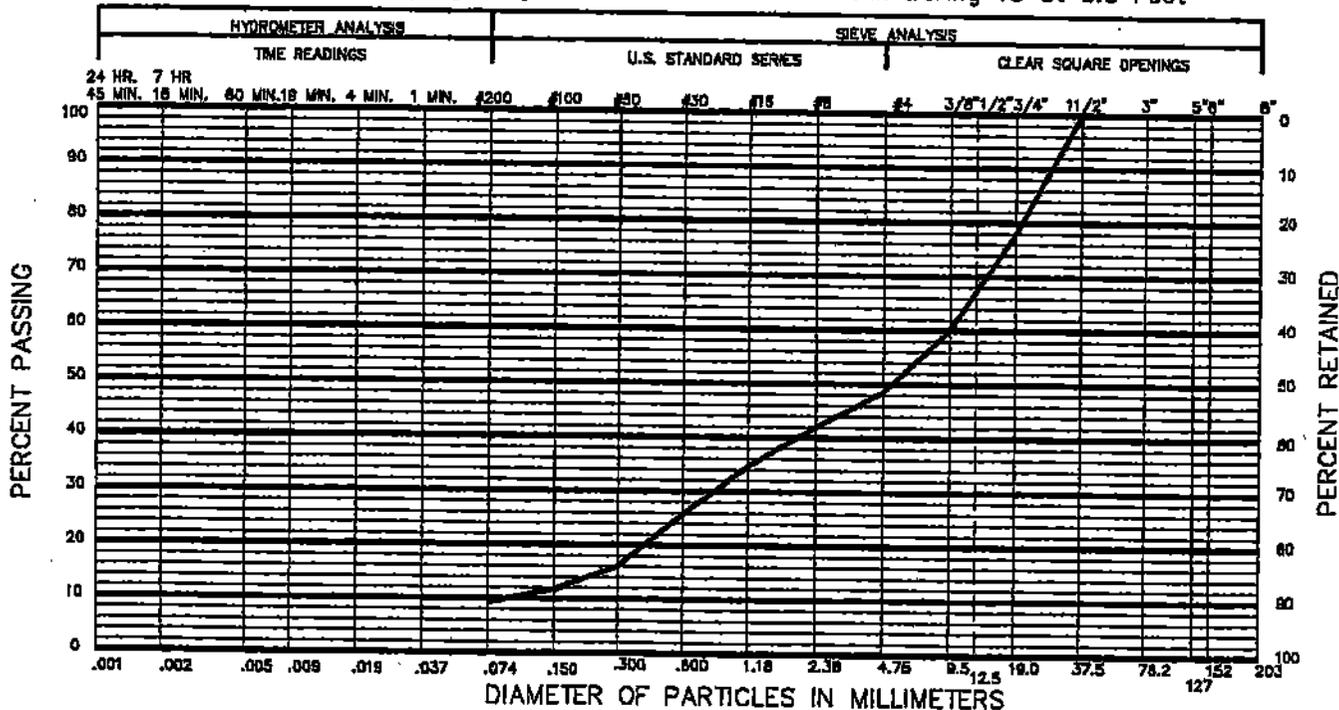




GRAVEL 49 %      SAND 43 %      SILT AND CLAY 8 %

LIQUID LIMIT %      PLASTICITY INDEX %

SAMPLE OF: Slightly Silty Sand and Gravel      FROM: Boring 15 at 5.5 Feet



GRAVEL 51 %      SAND 39 %      SILT AND CLAY 10 %

LIQUID LIMIT %      PLASTICITY INDEX %

SAMPLE OF: Slightly Silty Sandy Gravel      FROM: Boring 19 at 5 Feet

# HEPWORTH-PAWLAK GEOTECHNICAL, INC.

TABLE I

## SUMMARY OF LABORATORY TEST RESULTS

BORING	SAMPLE LOCATION DEPTH (feet)	NATURAL MOISTURE CONTENT (%)	NATURAL DRY DENSITY (pcf)	GRADATION		PERCENT PASSING NO. 200 SIEVE	ATTERBERG LIMITS		UNCONFINED COMPRESSIVE STRENGTH (PSF)	AASHTO CLASSIFICATION	SOIL OR BEDROCK TYPE
				GRAVEL (%)	SAND (%)		LIQUID LIMIT (%)	PLASTIC INDEX (%)			
2	2 1/2	14.5	114								Sandy Silty Clay
3	2 1/2	17.4	108								Sandy Silty Clay
	5 1/2	3.1		49	41	10				A-1-a	Slightly Silty Sand and Gravel
4	3	18.1	108			74					Sandy Silty Clay
	5 & 10 combined	4.0		43	46	11				A-1-a	Slightly Silty Sand and Gravel
6	0	6.0				17					Silty Sand and Gravel
9	0	15.1				59	30	14		A-6 (6)	Sandy Silty Clay
10	5	2.6		46	42	12				A-1-a	Slightly Silty Sand and Gravel
13	0	11.8				49	28	15		A-6 (3)	Silty Clay and Sand
	5	7.5				11					Slightly Silty Sand and Gravel
14	5	2.7		42	47	11				A-1-a	Slightly Silty Sand and Gravel

