

Town of Carbondale
511 Colorado Avenue
Carbondale, CO 81623

**AGENDA
PLANNING & ZONING COMMISSION
THURSDAY, May 13, 2021
7:00 P.M. Virtual Meeting ***

1. CALL TO ORDER
2. ROLL CALL
3. 7:00 p.m. – 7:05 p.m.
Minutes of the April 29, 2021 meeting.....Attachment A
4. 7:05 p.m. – 7:10 p.m.
Public Comment for Persons not on the agenda (See instructions below)
5. 7:10 p.m. – 7:15 p.m.
1629 East Dolores Way – Resolution No. 9 series of 2021 Approving the Special Review/Kay PUD.....Attachment B
Applicant: Cooper Duplex LLC
6. 7:15 p.m. – 7:35 p.m.
Continued Virtual HEARING – Major Site Plan Review..... Attachment C
Applicant: Almdin Holdings LLC
Location: 156/160 12th Street
7. 7:35 p.m. – 7:40 p.m.
Staff Update
8. 7:40 p.m. – 7:45 p.m.
Commissioner Comments
9. 7:45 p.m. – ADJOURN

***Please note all times are approx.**

ATTENTION: Due to the continuing threat of the spread of the COVID-19 Virus, all regular Carbondale P & Z Meetings will be conducted virtually. If you have a comment concerning one or more of the Agenda items please email msikes@carbondaleco.net by 4:00 pm on May 13, 2021.

If you would like to comment during the meeting please email msikes@carbondaleco.net with your full name and address by 4:00 pm on May 13, 2021 Also, you may contact msikes@carbondaleco.net to get a phone number to listen to the meeting, however, you will be unable to make comments.

Hi there,

You are invited to a Zoom webinar.
When: May 13, 2021 07:00 PM Mountain Time (US and Canada)
Topic: May 13, 2021 P&Z

Please click the link below to join the webinar:
<https://us06web.zoom.us/j/82598285586?pwd=Uk8zdUpzdlnDdlVJT0FXTjdTNlZRRz09>
Passcode: 913349
Or One tap mobile :

US: +12532158782,,82598285586#,,,,*913349# or +13462487799,,82598285586#,,,,*913349#

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US: +1 253 215 8782 or +1 346 248 7799 or +1 669 900 6833 or +1 301 715 8592 or +1 312 626 6799 or
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Webinar ID: 825 9828 5586

Passcode: 913349

International numbers available: <https://us06web.zoom.us/j/82598285586>

Upcoming P & Z Meetings: 5-27-21 – TBD

6-10-21 – Comp Plan Update/Meet with consultant

MINUTES

CARBONDALE PLANNING AND ZONING COMMISSION

Thursday April 29, 2021

Commissioners Present:

Michael Durant, Chair
Nick Miscione
Jarrett Mork (2nd Alternate)
Kim Magee (1st Alternate)
Jeff Davlyn

Staff Present:

Janet Buck, Planning Director
John Leybourne, Planner
Mary Sikes, Planning Assistant

Commissioners Absent:

Marina Skiles
Jay Engstrom, Vice-Chair
Erica Stahl Golden
Nicholas DiFrank

Other Persons Present Virtually

Bobby Almazan, Owner/Developer
Scott Lupow, Owner/Developer
Kurt Carruth, Architect
John Chromy, Construction Manager
Mark Chain, Planning Consultant
Leslie Fischbeck, 1921 Dolores Way

The meeting was called to order at 7:00 p.m. by Michael Durant

April 15, 2021 Minutes:

Jeff made a motion to approve the April 15, 2021 minutes. Michael seconded the motion, and they were approved unanimously.

Public Comment – Persons Present Not on the Agenda

There were no persons present to speak on a non-agenda item.

Resolution 3, Series of 2021 – 156/160 12th Street – Extension to Record Plat

Jeff made a motion to approve Resolution 3, Series of 2021, approving the extension to record the plat for 156/160 12th Street. Jarrett seconded the motion, and it was approved unanimously.

VIRTUAL HEARING – Major Site Plan Review

Location: 156/160 12th Street

Applicant: Almdin Holdings LLC

Janet said that this is an application for a Major Site Plan Review. She stated that the Planning Commission is required to hold a public hearing and make a recommendation

to approve the application or deny it. She said that the Commission may also continue the public hearing.

Janet stated that this 16,237 sq. ft. parcel that is zoned Commercial/Transitional (C/T). She said that it is just to the east of 12th Street so it will be across the street from the new self-storage facility.

Janet said that the proposal is to construct seven townhome units. She stated that all of the residential units would be almost 2,000 sq. ft. and they will be three bedroom units.

Janet stated that there would be two buildings with three units in the north building and four units in the south building. She continued by saying that the units are stacked with a garage and bedroom on the lower floor, living area on the second floor and more bedrooms on the third floor.

Janet said that once the development is under construction and party walls can be determined, the applicant will most likely submit a plat to divide the property into townhome lots.

Janet stated that Staff reviewed the development proposal for compliance with the Unified Development Code (UDC) and that overall, it meets the code with a few exceptions;

Janet said that the deck on the east side of the building is not in compliance as it extends 4.5 feet into the twenty foot rear setback and needs to be reconfigured to meet the twenty foot rear yard setback.

Janet stated that the UDC allows a thirty-five feet height in the C/T zone district and that the buildings are just over thirty-four feet to the top of the parapet.

Janet said that prior to submittal of the land use application, Staff and the applicant had discussed height because the applicant wanted to have rooftop decks. She stated that Table 3.8-2, of the UDC, allows rooftop mechanical equipment to extend five feet above the maximum height limit as long as it complied with Section 5.4.5. screening requirement, of the UDC. She said that she told the applicant if they could get creative and construct a stairway in concert with mechanical equipment, it may meet the intent of the code.

Janet stated that the building elevations show a stairway next to the mechanical equipment that extend five feet above the building height, rather than being incorporated into it. She said that the stairs are not required by the building code to access the mechanical equipment. She said that Staff's position is that this is not in compliance with the UDC. She stated that the plans should be revised to remove the rooftop stairs.

Janet said that the UDC requires 665 cubic feet of bulk storage for each unit. She stated that the floor plans show 675 cubic feet of storage areas and that they are proposed in the garage and in two closets on the third level.

Janet stated that bulk storage areas are intended for storing items other than food and clothing – things like tools, bicycles and ski equipment and all of the toys that people have. Janet said that Staff's position is that storage in the two third floor closets does not meet the criteria set out in the code.

Janet said that this code asks that character be created by architectural details and monotonous repetition should be avoided. She stated that balconies and overhangs should be used to provide relief and to break up wall surfaces. She said that there should be variation in setbacks and building heights.

Janet stated that the west side of the building does not present a front door appearance to the street. She said that there is large second level decks that wrap around the corners of the building, so they face 12th Street. She stated that in addition, there are large windows. She said that Staff thought that the decks and windows will bring interest and activity to the street side. She stated that the rooflines are varied on the east and west elevations.

Janet stated that twenty percent of the units are required to be deed restricted for affordable housing or in this case one unit. She said that one unit needs to be resident owner occupied.

Janet said that the applicant agrees to comply with these requirements. She stated that the only change is that the affordable unit will be required to be a three bedroom unit, instead of a two bedroom unit.

Janet stated that overall, Staff is in favor of the proposed development. She said that it appears that it can be brought into compliance with the UDC. She said that most of the significant issues are related to utilities and engineering and those items will not change the site plan or building design.

Commission Questions and Discussion

- Clarification of the bulk storage as well as locations.

Bobby Almazan said that this parcel was very challenging being land locked on three sides and in the C/T district, covering sixty percent of the lot. He said that they looked at various layouts, street facing facades and that we just kept coming back to this design and layout of seven units. He said that we were able to make them all three bedrooms and that there may be one two-bedroom unit, depending on parking. He said that they will not be rentals and that they will be for sale. He said that they all get some private green yards, with the corner units getting the best yards.

Bobby said that seeing the landscape of what is being built that we think it provides a unique opportunity for young families to own a three bedroom unit that they can grow into. He said that they will be walking distance to transit, restaurants and shopping.

Bobby said that with Janet's direction we ended up with a plan that we feel good about. He said that the deck on the east side is an easy fix. He said that we are going to use a rooftop mechanical RTU for the heating and cooling. He said that we were being creative with a façade of a stone mass as screening. He said that we would like to utilize the rooftop space as a roof deck because these units will have incredible Mt. Sopris views.

Bobby explained the design in detail with the elevations shown on the screen. He said that we can lower the stone mass to bring it into compliance. He said that we would like to keep the rooftop decks if we can get a spiral staircase.

Bobby said that the trash/recycling area will be clad with the same materials as the building. He said that he will have the drawings revised to show the calculations of the bulk storage.

Bobby said that they will have one three-bedroom unit as the deed-restricted unit.

Commissioner Comments and Questions

- Clarification of the R/O deed restriction and community housing guidelines.
- If there are fireplaces in the units, not determined yet.
- Can roof penetrations be consolidated into the mass.
- Screening exceptions in the UDC.
- The size of the RTU on the roof.
- Trash enclosure location.
- Architect is from Boulder, but not disclosed.
- Exterior materials.
- Plans for the spiral staircases for the rooftop deck and concerns of their safety and head height requirement.
- Ceiling heights are nine feet in the units and the garages.
- Screening parapet walls may extend above the maximum height limit thirty inches.
- Hatch verses stairs for the rooftop.
- The exterior design and the RTU's were complimented.
- Garage storage racks not determined yet.
- The office would need to be converted to a bedroom in the affordable unit.
- Differences between affordable unit and free market units.

There were no members of the public to comment.

Motion to close the comment portion of the public hearing

Nick made the motion to close the comment portion of the public hearing. Jeff seconded the motion, and it was approved unanimously.

Jarrett disclosed that he is within the three hundred feet of this property, as a renter, and that he can be impartial.

Further discussion ensued regarding the conditions and a motion for continuance.

Motion to Continue the Public Hearing

Nick made a motion to continue the public hearing to May 13, 2021. Jeff seconded the motion, and it was approved unanimously.

VIRTUAL HEARING – Request for Special Review, Kay PUD

Location: 1629 East Dolores Way

Applicant: Cooper Duplex LLC

John stated that Cooper Duplex LLC. is requesting a Special Review for Site Plan and Architectural Review as allowed under Section F of the amended and restated zone text for the Kay Planned Unit Development.

John said that the special review is to allow property owners/developers the opportunity to propose projects that require certain flexibility from the specific regulations and standards of this Planned Unit Development to further the goals of the community with respect to transit oriented development,

John stated that the request is to allow one residential unit on the ground floor (ADA compliant) and eight residential units on the proposed second floor for nine units in total. He said that the owner is allowed to build one unit per 7,500 sq feet of lot area or four units on a second floor. He stated that as the owner is proposing more units than allowed, the special review is required.

John said that the maximum building height in the Kay PUD is thirty-two feet. He stated that the applicant is proposing a height of 31' 7 1/2" and that this height is in conformance.

John stated that the mass of the building is broken up with changes in plane and materials but could be more broken up by varying those materials on the west and east facades.

John said that the private outdoor space is provided directly adjacent to each of the units. He stated that the minimum size for private outdoor space is sixty square feet.

He said that north side units have decks that are eighty-two square feet in size. He said that three of the southern units have decks that are one hundred thirty seven square feet in size and the south western unit has a deck that is approximately sixty-two square feet in size. He said that the private outdoor space is compliant.

John stated that bulk storage is provided in separate locker areas on the second floor and on the ground floor for the ADA compliant unit. He said that the bulk storage provided is compliant.

John said that the Kay PUD would require that eighteen parking spaces be provided at a ratio of two spaces per residential unit, the applicant has provided the required eighteen spaces.

John stated that in total the applicant is required to provide thirty parking spaces by PUD standards and has indicated that they will provide thirty-two parking spaces as shown on the submitted site plan (including ADA spaces).

John said that the applicant has also indicated that there will be fifteen bicycle parking spaces.

John stated that the Kay PUD requires two trees per dwelling unit, the applicant is proposing seventeen trees be planted. He said that the Town Arborist and Staff would like to see one more tree added to the front of the building to be in conformance with the PUD and the applicant has agreed to this.

John said that the owner is proposing to deed restrict five units or three more then are required or 56% of the units with the following mix;

- 2 Category 2 units with a maximum monthly rental rate of \$1,585.
- 2 Category 1 units with a maximum monthly rental rate of \$1,268.
- 1 Category 3 unit with a maximum monthly rental rate of \$ 1,902.

Commission Questions and Discussion

- ADA parking location.

Mark Chain said that he is the planner for this project, and he introduced three team members. He said that 1629 Dolores Way is Wagner Rentals, and that this property is 1629 East Dolores Way. He said that the Kay PUD is always difficult, which began in the late 1970's. He said that there have been challenges with allowing more residential use with industrial uses. He said that the Kay PUD was amended to allow a certain number of residential units above the base zoning, which is what we are asking for.

Mark said Scott Lupow, one of the owners, was committed to a number of things;

- Fit into the neighborhood.
- Keep the height under control, staying at thirty-two feet.
- As many affordable units as possible, near the park and ride.
- One ADA compliant unit.
- Smaller units for occupancy control.
- Use alternative transportation as much as possible.
- Control parking with leases and assigned parking.
- Onsite representative for the property as well as a property management company.

Mark said that we agree with the Staff report and complying with all of the conditions, including the eighteenth tree. He said that we have made some changes after talking with neighbors. He shared his screen and outlined the following;

- Updated site plan showing new locations for the bike rack, utility boxes to allow for larger solid waste container and recycling.
- Location of the eighteenth tree.
- Parking related to affordable housing and the UDC.
- Elevations with design materials.
- Rooftop deck on the east side, to give a wind break.
- Gathering area and decks.
- View from neighboring building.
- Bulk storage.

Scott Lupow said that we would like to put in electric chargers for anyone that has electric cars on site.

Kurt Carruth said that we used the butterfly roofs to keep the fascia as low as possible. He said that overall, he thinks the building is pretty handsome looking.

Commissioner Comments and Questions

- ADA parking and why it is not adjacent to the ADA unit.
- One bedroom verses two bedrooms and parking.
- The railing was complimented.
- Uses for the commercial spaces on the first floor.

Leslie Fischbeck, 1921 Dolores Way said that she appreciates everything that the applicant has done for affordable housing needs. She said that her biggest concern is with the view and that she appreciates the sketch that was provided. She asked what the current height was of the bottom floor and the second floor. She asked what the height was of the Double Diamond building and how the two compare to see how accurate the quick sketch was.

Michael said that normally we wouldn't allow questions from the public to be addressed to the applicant. He said that he would allow it this once if the applicant is comfortable answering these questions. He said as far as heights they are all defined by the code.

John Chromy said that the ceiling height on the lower floor at 1629 East Dolores Way is thirteen feet, with the roof trusses being sloped two feet for a total of fifteen feet. He said that the current parapet gives the illusion that it is taller.

John Leybourne said that Double Diamond is thirty-two feet high.

Leslie said that her concern is that the sketch is too short for what it will actually be. She said that she hoped that the patio could be moved.

Michael thanked Leslie for her comments and her two letters.

Motion to close the comment portion of the public hearing

Nick made the motion to close the comment portion of the public hearing. Jarrett seconded the motion, and it was approved unanimously.

Commissioner Comments

- The project is appropriate for the site.
- Hope that the applicant's rendering is accurate because it is a legal document.
- The application is consistent with the Kay PUD, which is the zoning document.
- The application meets our criteria.

Further discussion ensued regarding a revised rendering and ratios.

Motion

Nick made a motion to approve the Special Review for 1629 East Dolores Way with the ten conditions and findings in the Staff report. Jarrett seconded the motion, and it was approved unanimously.

Yes: Michael, Nick, Jeff, Kim, Jarrett

No: none

Staff Update

Janet said that she met with the consultants for the Comp Plan update to refine the scope of work. She said that the P&Z is going to be working as the steering committee and that you will be meeting with them on June 10, 2021, via Zoom. She is trying to get the contract ready for the May 11th Board meeting.

Janet said that the Board reviewed Thompson Park and that it was approved. She said that they were more concerned with the affordable housing units as well as making sure things were completed as promised.

Janet said that Carbondale Center Place documents were recorded, and that the property did close. She said that they are moving forward and that we should get a demo permit soon.

Janet said that the Commission can initiate a zone text amendment for rooftop decks to ask Staff to bring back some ideas on amending the building height to add the stair enclosure that would meet the building code. She said that we would have to look at certain criteria.

John said that the ADU located on Mancos has been appealed to the Board of Trustees for the June 8, 2021 meeting. He said that it will be a brand-new public hearing.

Janet said that included in the packet were comparisons of what was approved for Thompson Park Parcel 2 in 2018 compared to what was actually built, done by the applicant.

Further discussion ensued regarding Thompson Park.

Janet stated that she is requiring large applications to provide material boards.

Commissioner Comments

There were no further Commissioner comments.

Motion to Adjourn

A motion was made by Michael to adjourn, Jeff seconded the motion, and the meeting was adjourned at 9:23 p.m.

RESOLUTION NO. 9
SERIES OF 2021

A RESOLUTION OF THE PLANNING AND ZONING COMMISSION OF THE TOWN
OF CARBONDALE, COLORADO, APPROVING A SPECIAL REVIEW FOR
1629 EAST DOLORES WAY, LOT 5 OF THE KAY PUD

WHEREAS, Cooper Duplex LLC. (“Applicant”) has requested a Special Review for Site Plan and Architectural Design approval for the above-described property in order to increase residential density to allow ground floor residential on Lot 5 of the Kay PUD as follows;

Number of Units to be located on ground floor and second floor.
One Ground Floor ADA Unit
8 Upper Floor Units
Total 9 Units

WHEREAS, Site Plan and Architectural Design Review is a special review under Section F of the Kay PUD; and

WHEREAS, the Planning and Zoning Commission of the Town of Carbondale reviewed this application at the April 29, 2021 Planning and Zoning Commission meeting; and

WHEREAS, the Planning and Zoning Commission of the Town of Carbondale finds the following with respect to this Site Plan and Architectural Design Special Review:

- A. Cooper Duplex LLC. proposal located at 1629 East Dolores Way is capable of accommodating the intended use of the land, including residential units; is free from natural hazards such as flooding, falling rock, landslides and snowslides; is served by a street system providing safe and convenient access, and is provided with accessible utility installations; with all of the foregoing intended to promote the health, safety and welfare of the citizens of the Town.
- B. The proposed addition will have adequate ingress and egress directly through common or limited common elements to public access and access to trails and transit facilities.
- C. The proposal meets the criteria as indicated in the Amended and Restated Zone Text for the Kay PUD, Section F. criteria for approval.

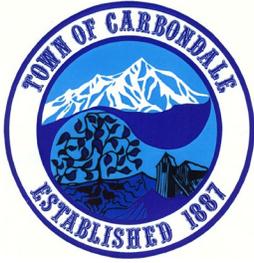
NOW, THEREFORE BE IT RESOLVED BY THE PLANNING AND ZONING COMMISSION OF THE TOWN OF CARBONDALE, COLORADO, that the Special Review, Site Plan and Architectural Design for the Lot 5, Kay PUD, 1629 East Dolores Way is hereby approved, subject to the following conditions:

1. All representations of the Applicant and Applicant's representatives at the Public Hearing shall be considered conditions of approval of this Special Review.
2. All development shall comply with the plans submitted with the application materials.
3. All lighting shall comply with the Town's Lighting Ordinance.
4. Prior to issuance of a building permit, the Applicant shall pay the Town a Water Rights Dedication Fee to be determined at permit submittal.
5. The Applicant shall plant 18 trees per the landscaping standards within the Kay PUD.
6. The applicant will submit Deed Restrictions for all 5 restricted units for review and approval by the Town and the Garfield County Housing Authority prior to the issuance of a building permit for any of the residential units
7. The Applicant shall be responsible for all recording costs and shall pay all fees associated with this application to the Town, including any professional fees, as set forth in Appendix A of the Municipal Code.
8. The applicant shall pay all required School and Fire impact fees and provide proof of said payment to the Town prior to the issuance of Certificates of Occupancy for the residential units.
9. The applicant shall provide rental guidelines to include parking restrictions on the number and location of parked vehicles that demonstrate the project promotes the Kay PUD goals for transit-oriented development before the issuance of any residential Certificates of Occupancy.
10. The applicant shall work with RFTA to provide a method of access to the RFTA park and ride facility for tenant use.

INTRODUCED, READ, AND PASSED THIS 13th DAY OF MAY 2021.

PLANNING AND ZONING COMMISSION OF
TOWN OF CARBONDALE

By: _____
Michael Durant, Chair



**TOWN OF CARBONDALE
511 COLORADO AVENUE
CARBONDALE, CO 81623**

Planning Commission Agenda Memorandum

Meeting Date: 5-13-2021

TITLE: Continued Public Hearing - 156 and 160 N. 12th Street
Major Site Plan Review

SUBMITTING DEPARTMENT: Planning Department

ATTACHMENTS: Supplemental Information to the Land Use Application

BACKGROUND

The Planning Commission held a public hearing on this item on April 29, 2021. The public hearing was continued to May 13, 2021 to allow time for the applicant to address the following items:

Setbacks

The deck on the east side of the southerly building was not in compliance with the 20 ft. rear yard setback as the deck extended 4.5 into the setback. The building was shifted to the west to bring the structure into compliance. The setbacks are now as follows:

	Required	Proposed
Front - West	5 ft.	8.5 ft.
Side – North	0 ft.	5 ft.
Side – South	0 ft.	5 ft.
Rear - East	20 ft.	20 ft.

Building Height

The UDC allows a 35 ft. height in the C/T zone district. The applicant wanted to have rooftop decks on six of the units. The proposed building height was 34'5" to the top of parapet with a stairway enclosure extending six feet above the roof deck. Staff's position was that this is not in compliance with the allowed building height.

The Planning Commission agreed with Staff but encouraged the applicant to look at other alternatives which allow access to rooftop decks while remaining in compliance with the 35 ft. height allowance.

The applicant revised the plans to abandon the rooftop access via an enclosed stairway. The new proposal is that the rooftop deck will be accessed via an internal stairway that will have a motorized door/hatch system. Spec sheets for the door/hatch system have been included in the packet.

The rooftop deck will be approximately 31.5 ft. in height. Screening/parapet walls can exceed the allowed height by 30 inches. The door/hatch system will be below the 35 ft. building height allowance. This was discussed with the Building Official and it appears that, based on the information submitted, that the rooftop decks may work. The Building Official will need to review the detailed plans at the time of building permit to ensure they are in compliance with the building code.

The discussion with the Building Official brought up several concerns about what would be allowed on the rooftop decks, i.e., permanent shade structures, walls between the individual rooftop decks, lighting, etc. The Building Official is concerned about lighter deck furniture, i.e., chairs or umbrellas blowing off the roof. The applicant should consider this and determine whether there should be some allowances and/or restrictions in the future covenants or whether rooftop deck structures/shade structures will be constructed at the time the structure is built.

The building elevations were revised to lower the stone veneer section of the building on the west side to comply with the 35 ft. height limitation.

Maximum Impervious Surface

Shifting the southerly building to the west did change the pervious/impervious calculations slightly. However, the proposal is still in compliance as follows:

Maximum Impervious Allowed	9,742 sq. ft.
Maximum Impervious Proposed	9,703 sq. ft.
Required Pervious Surface	6,494 sq. ft.
Proposed Pervious Surface	6,534 sq. ft.

Trash/Recycling

An enclosed trash and recycle area is provided east of the northerly building. Staff had asked that more detail be provided. The plans were revised to indicate a screening to match the cedar fence would be provided on two sides. The UDC requires that these areas be fully enclosed. This has been made a condition of approval.

Bulk Storage

The UDC requires 665 cubic feet of bulk storage for each unit. The floor plans show 675 cubic feet of storage areas are proposed in the garage and in two closets on the third level.

Section 5.6.5.C.4. states that bulk storage areas are intended for storage of materials other than food and clothing, such as tools, bicycles, ski equipment, etc. Staff's position was that storage in the two third floor closets do not meet the criteria set out in the code.

The letter and revised plans (Sheet A101) indicate that additional overhead bulk storage was added in the garage. The calculations on the amount of cubic feet of storage now provided in the garage was not included in the revised material. The applicant should be prepared to provide that information at the meeting.

Parking

Staff had asked that a cross-section should be submitted to demonstrate that the 20 ft. by 20 ft. parking area in the garage is unencumbered by the stairway. Sheet A101 has been revised to include a cross section showing the stairway does not impede the parking spaces.

Inclusionary Housing

At the last meeting, the applicant proposes to comply with the requirement that the deed restricted unit be three-bedroom. The floor plans still show the deed restricted unit to be two-bedroom with an office on the first level. This should be revised to reflect a three-bedroom unit before it goes to the Board. This has been made a condition of approval.

RECOMMENDATION

Staff recommends that the following motion be approved: **Move to approve the Major Site Plan Review with the following conditions and findings:**

Conditions:

1. Prior to scheduling a public hearing before the Board of Trustees, the applicant shall submit the following information prepared by a licensed engineer:
 - a. Sizes for all waterlines
 - b. Curb stop locations
 - c. Plan and profile of the sewer services, including sizing, wyes, and clean-outs
 - d. Inclusion of 12-gauge tracer wire in sewer mains and service lines
 - e. Drainage report
 - f. Details for drywells
 - g. Grading plan

- h. Landscaping Plan
 - i. Irrigation Plan
 - j. Irrigated Area in Sq. Ft. (for calculation of water rights)
 - k. Location and details of the 5 ft. wide concrete sidewalk in the public right-of-way
 - l. Details on placing the overhead utility lines underground
 - m. Engineer's estimate on cost of public improvements
2. The plans shall be revised to reflect the following:
 - a. Detail on the enclosed trash and recycle area
 - b. Calculations of bulk storage areas
 - c. Revised housing plan and floor plans showing a three-bedroom AML unit
 3. Approval of the Major Site Plan Review is contingent upon Town approval of a Development Improvements Agreement which addresses construction of public improvements associated with the development prior to issuance of a building permit.
 4. Approval of the Major Site Plan Review is contingent upon Town approval of the engineering plans.
 5. The rooftop equipment shall be screened in accordance with Section 5.4 of the UDC (Landscaping and Screening).
 6. All lighting shall be in compliance with Section 5.10 of the UDC (Exterior Lighting). The lighting plan shall be subject to review and approval of Town Staff.
 7. Per Section 5.11 of the UDC, the deed restricted unit shall receive a Certificate of Occupancy (CO) prior to the free market units receiving CO's.
 8. Fees in lieu of water rights may be required and due prior to recordation of a development improvements agreement.
 9. The applicant shall enter into an agreement with the Carbondale & Rural Fire Protection District that addresses payment of impact fees prior to the issuance of any building permits for this project.
 10. All representations of the Applicant in written submittals to the Town or in public hearings concerning this project shall also be binding as conditions of approval.
 11. The Applicant shall pay and reimburse the town for all other applicable professional and Staff fees pursuant to the Carbondale Municipal Code.

Findings – Site Plan Review

1. The site plan is consistent with the Comprehensive Plan;
2. The site plan is consistent with the previously approved subdivision plat;
3. The site plan complies with all the development and design standards set forth in this Code with the conditions of approval; and
4. Traffic generated by the proposed development will be adequately served by existing streets within Carbondale.

Prepared By: Janet Buck, Planning Director

Attn: Carbondale P&Z Commission

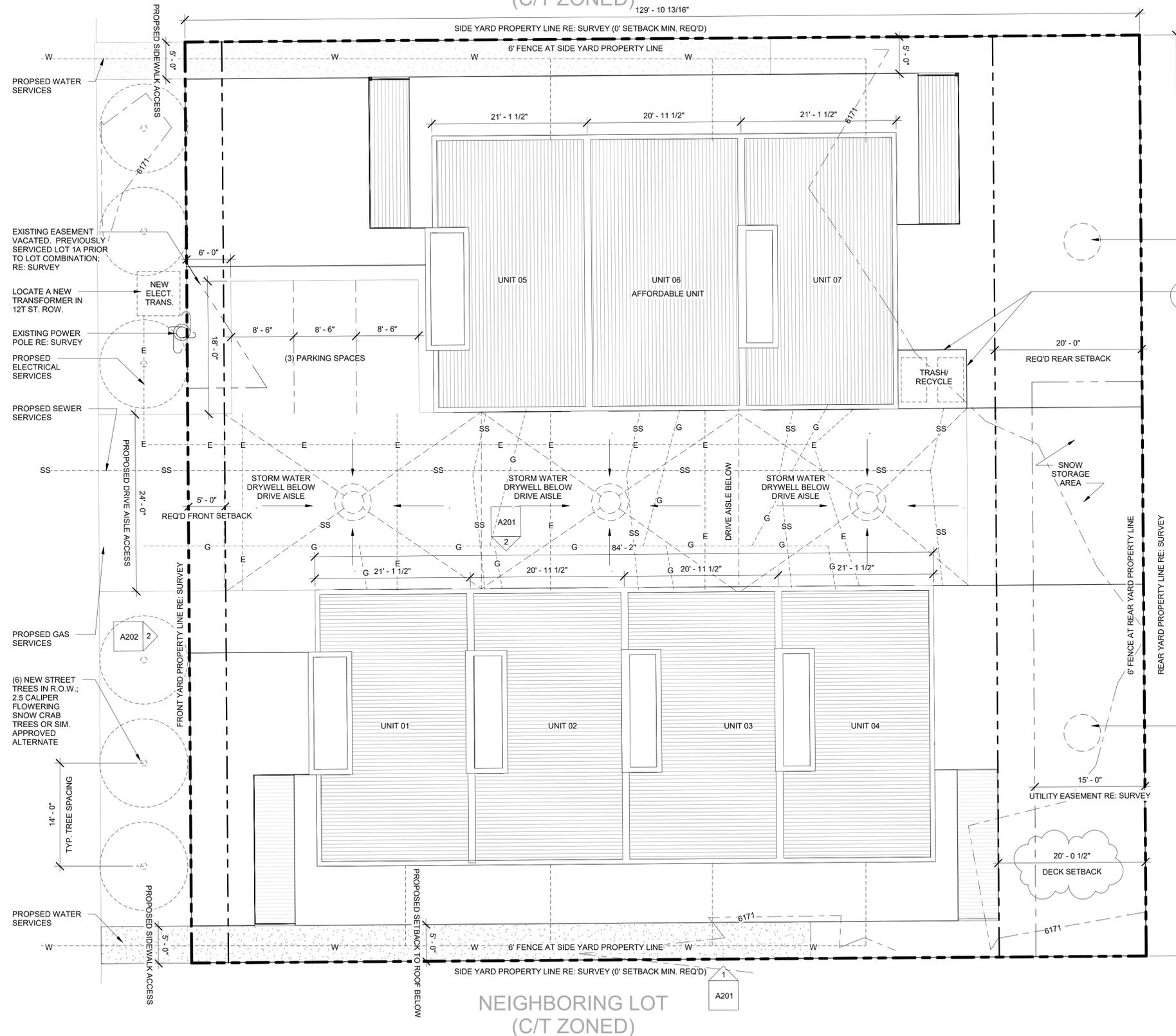
RE: This letter addresses the design modifications required by the commission at the hearing dated 4/29

1. As requested we have abandoned the rooftop access via an enclosed stairway that exceeded the maximum allowable building height. We have lowered the stone mass to be in compliance with the maximum building height of 35 ft as per the UDC.
 - a. The rooftop deck will now be accessed via an internal stairway which will have a motorized door/hatch system that is compliant with IRC occupied roof deck codes. **Please see included information sheets about the product. We are working with manufacturer as to which specific system we will use. ***NOTE: whichever system we use it will be below the 35 ft max height. It will only project above the rooftop deck by 36 inches to accommodate the handrail. Our deck, as noted on plans is at 31'-4 3/4". That puts it 43 1/4 " below the 35 ft maximum allowable building height. Thus we are fully compliant with the UDC building height requirements.
2. The south building was moved to the west to remove the second level deck that was encroaching into the rear setback on the east side of the property. It is now in full compliance.
3. The trash enclosure will be enclosed and clad with materials to complement the overall building site design.
4. Additional overhead bulk storage was added to garage units to satisfy more need for bulk storage on the main level. Each unit will receive these additional storage areas.

NEIGHBORING LOT
(C/T ZONED)

129' - 10 13/16"

SIDE YARD PROPERTY LINE RE: SURVEY (0' SETBACK MIN. REQ'D)



STORM WATER DRYWELL BELOW LANDSCAPING

TRASH ENCLOSURE TO HAVE 2-SIDES OF FENCING/SCREENING TO MATCH PERIMETER WOOD FENCE

NEIGHBORING LOT
(C/T ZONED)

125' - 0"

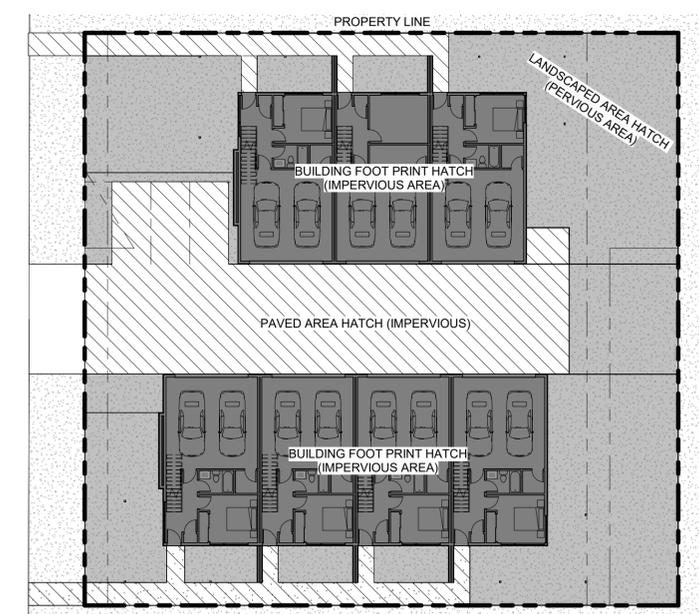


SITE DATA CALCULATIONS/
TABLE OF COMPLIANCE

TOTAL NUMBER OF DWELLING UNITS:	7 = (6) 3 BED + (1) 2 BED
MINIMUM LOT AREA PER 2 BED UNIT	1,650 SF x 1 UNIT = 1,650
MINIMUM LOT AREA PER 3 BED UNIT	1,850 SF x 6 UNITS = 11,100
MINIMUM LOT AREA REQ'D	1,650 + 11,100 = 12,750 SF
ACTUAL LOT SIZE	16,237.5 SF
FLOOR AREA OF EACH DWELLING UNIT:	343 SF - MAIN LEVEL
*GSF MEASURED @ EXT. F.O. STRUCTURE	780 SF - 2ND LEVEL
	874 SF - 3RD LEVEL
	1,997 SF TOTAL FLOOR AREA*
	**+ 437 SF FOR 2 CAR GARAGE
LOT SIZE:	129.9' X 125.0' (RE: SURVEY)
	= 16,237.5 SF = 0.373 ACRES
REQ'D MIN. SETBACKS:	
FRONT	5'
SIDE	0'
REAR	20'
IMPERVIOUS SURFACE AREA:	SEE DIAGRAM 2/A100
MAXIMUM ALLOWABLE	60% MAX X 16,237.5 SF = 9,742.5 SF
ACTUAL	9,703.5 SF [39 SF UNDERAGE]
PRIVATE OUTDOOR OPEN SPACE:	
MIN. PER UNIT PROVIDED	130 SF - MAIN LEVEL YARD
	158 SF - 2ND LEVEL DECK
	650 SF - ROOF DECK
	*938 SF TOTAL
	*NO ROOF DECK AT AFFORDABLE UNIT
PRIVATE COMMON OPEN SPACE:	NOT REQUIRED <10 UNITS
BULK STORAGE SPACE	
MINIMUM REQUIRED	1997 SF / 3 = 665.66 CUBIC FT.
ACTUAL PROVIDED	675 CUBIC FT.
LANDSCAPED AREA:	
MIN. REQ'D	40% X 16,237.5 SF = 6,495 SF
ACTUAL PROVIDED	6,534 SF
OFF-STREET PARKING SPACES	
MIN. REQ'D FOR 2 BEDROOM UNIT	1.75 x 1 UNIT = 1.75
MIN. REQ'D FOR 3 BEDROOM UNITS	2.5 x 6 UNITS = 15
TOTAL REQ'D SPACES	1.75 + 15 = 16.75 = 17 SPACES
ACTUAL PROVIDED	17 SPACES
BUILDING HEIGHT	
MAXIMUM ALLOWABLE	35'
ACTUAL PROPOSED	34' - 5" T.O. PARAPET @ ROOF DECKS
	41' - 5" T.O. ROOF ACCESS DOG HOUSE
R.O.W. LANDSCAPING	STREET TREES TO BE PROVIDED AS INDICATED ON 1/A100

1 SITE PLAN
1/8" = 1'-0"

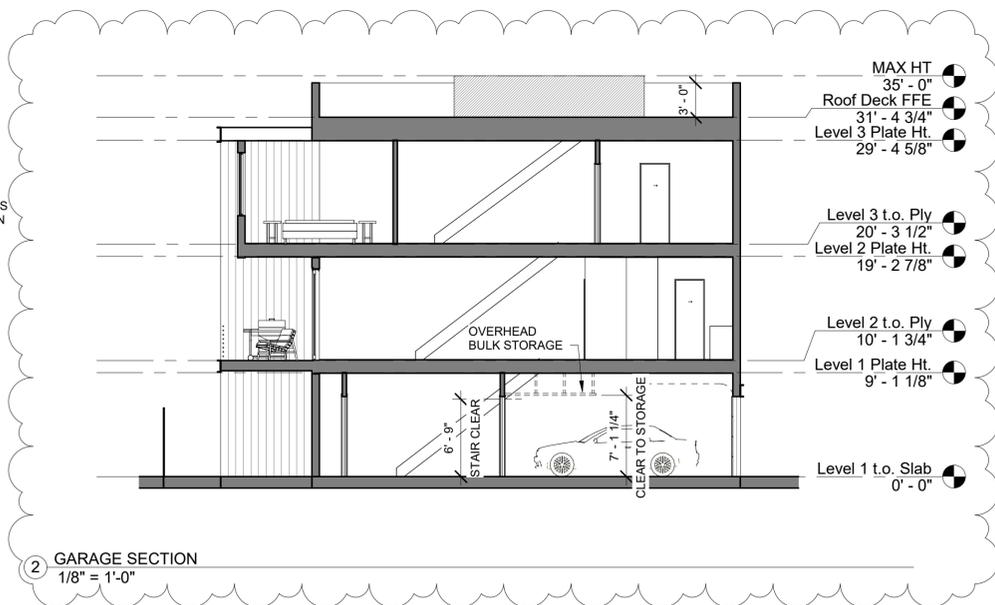
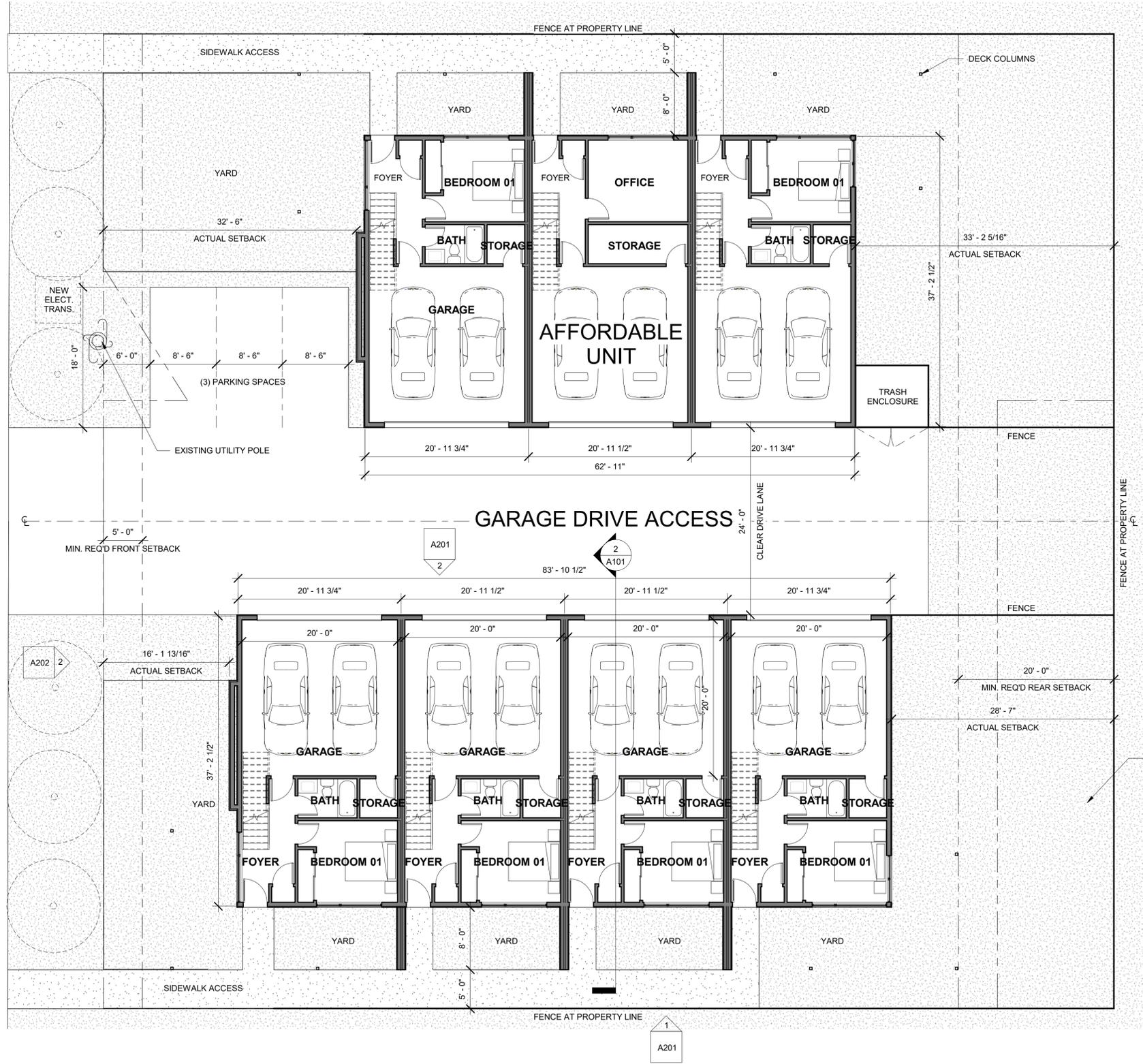
2 IMPERVIOUS LOT COVERAGE DIAGRAM
1" = 20'-0"



scale: As indicated
date: 05.03.2021

A100
SITE PLAN
160 12TH STREET

TWELFTH STREET



1 MAIN LEVEL PLAN
1/8" = 1'-0"

2 GARAGE SECTION
1/8" = 1'-0"

scale: 1/8" = 1'-0"
date: 05.03.2021

A101
MAIN LEVEL PLAN
160 12TH STREET

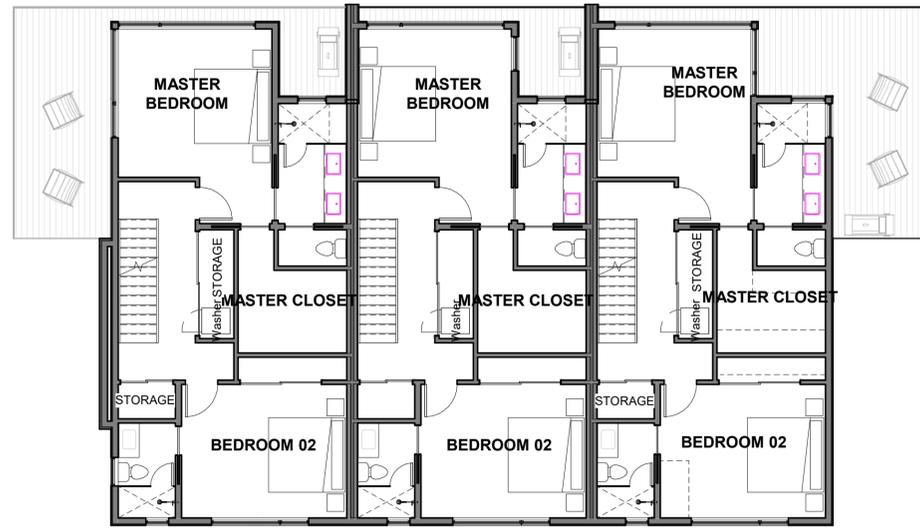


① SECOND LEVEL PLAN
1/8" = 1'-0"



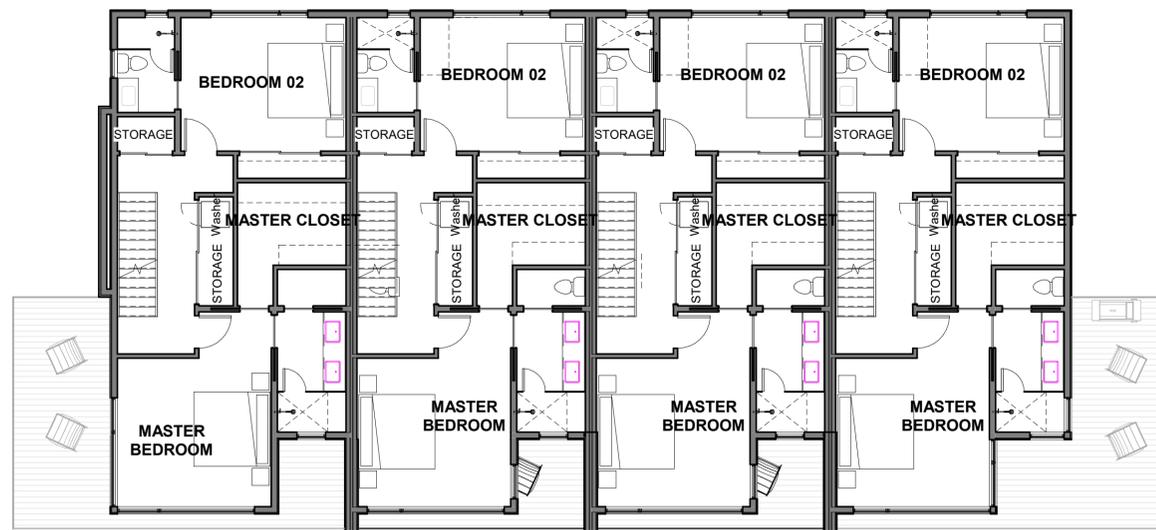
scale: 1/8" = 1'-0"
date: 05.03.2021

A102
SECOND LEVEL PLAN
160 12TH STREET



A201
2

1 A202



1
A201

① THIRD LEVEL PLAN
1/8" = 1'-0"



scale: 1/8" = 1'-0"
date: 05.03.2021

A103
THIRD LEVEL PLAN
160 12TH STREET



① ROOF DECK PLAN
1/8" = 1'-0"



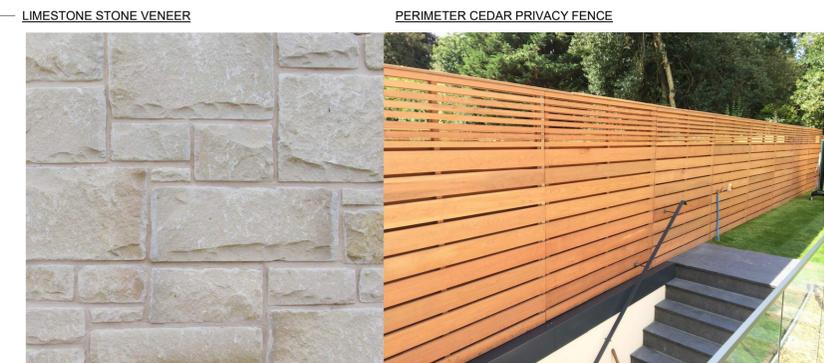
scale: 1/8" = 1'-0"
date: 05.03.2021

A104
ROOF DECK PLAN
160 12TH STREET

EXTERIOR MATERIAL PALETTE



② NORTH ELEVATION
1/8" = 1'-0"



① SOUTH ELEVATION
1/8" = 1'-0"



scale: 1/8" = 1'-0"
date: 05.03.2021

A201
BUILDING ELEVATIONS
160 12TH STREET

EXTERIOR MATERIAL PALETTE



② WEST ELEVATION
1/8" = 1'-0"

CORTEN SIDING



LIMESTONE STONE VENEER



PERIMETER CEDAR PRIVACY FENCE



① EAST ELEVATION
1/8" = 1'-0"

BRONZE WINDOW PACKAGE



STEEL DECK RAILINGS



STEEL DETAILING / WOOD CEDAR SOFFITS



scale: 1/8" = 1'-0"
date: 05.03.2021

A202
BUILDING ELEVATIONS
160 12TH STREET



Right Hand Exit

Left Hand Exit

Name: Free Standing Skybox

Type: Electrically operated sliding skylight

Description:

The Free Standing Skybox is a thermally efficient opening product designed to allow access from a stairwell to a roof terrace or similar. The product is available in either left or right hand opening formats - the moving section (door) is made of two glass panes mounted into a frame that slides over the fixed panes giving a large aperture ideal for placement at the top of a staircase of almost any configuration.

A variety of optional extras including a rain sensor, thermostat, remote control and home automation system connectivity are available. Proximity detection (safety sensors that immediately stop the product moving when an infrared light beam is broken) is included on every product as standard. A solenoid security bolt is also fitted as standard ensuring that the product remains secure in all situations.

This product is robust and long-lasting, boasting excellent thermal performance, air tightness and reliable operation.

Intended Use: Sliding skylight to be used for regular access, to provide natural daylight, day-to-day ventilation and weather resistance.

External Weathered Curb Dimensions:	Min Span:	52"	Max Span:	137"
	Min Width:	60"	Max Width:	157"
	Min Height:	34"	Max Height:	59"
	Min Area:	21.0 ft ²	Max Area:	90.4 ft ²
	Min Curb Pitch:	0" : 12" (0°)	Max Curb Pitch:	0" : 12" (0°)

Note that the minimum and maximum span, width and height are dependent on various factors, your technical sales advisor will be happy to advise on these. Further information on curb requirements and product dimensions can be found on our website or by contacting your technical sales advisor.

Glazing: A wide variety of glazing specifications are available for this product. Your technical sales advisor will be happy to answer any questions regarding specific glass specifications or glazing performance requirements. Otherwise, quotes include suitable and cost effective glazing proposals.

Standard Colors: Qualicoat approved RAL 7015 slate grey outer, RAL 9010 pure white inner.

Control, Power and Drive: The product is operated using a supplied wall mounted switch connected to a control box mounted inside the product framework via a flying lead.

Also supplied is an externally housed Power Supply Unit requiring connection to the main power supply. It is recommended that the PSU is housed somewhere accessible.

The unit is driven by two leadscrew mechanisms that are synchronized using motor encoder feedback and, in the event of power failure, can be manually overridden.

Performance and Weathertightness:

The product comprises thermally broken aluminum sections consisting of polyamide thermal breaks and closed cell PIR insulation thermally isolating the inner and outer frame sections. Structural integrity is assured through the use of finite element analysis (FEA) and testing.

U-factors are calculated for each product and will be supplied in our quote. Further information and specific performance details can be obtained from your technical sales advisor.

The product is sealed to the upstand using silicone and fixed in place with structural fixings which are concealed by a clip-on cover leaving a sleek external finish. Sealing between the base frame and the door frame is achieved using a combination of silicone bubble seals and PU seals with PE sliding surfaces.

The product has been thoroughly tested and has achieved the following classification results:
Size: 3500 mm (137-3/4") span x 2400 mm (94-1/2") width x 1500 mm (59") height Pitch: 0° (0" : 12")

Test	Standard	Declared Value
Air permeability	ASTM E283	±300 Pa (6.27 psf)
Watertightness	ASTM E331	300 Pa (6.27 psf)
	AMMA 501.1	600 Pa (12.53 psf)
Wind resistance	ASTM E330	+2400 Pa (+50.13 psf), -1200 Pa (-25.06 psf) Serviceability +3200 Pa (+66.83 psf), -1250 Pa (-26.11 psf) Safety

Security:

When closed, the door of the product is locked in place with a solenoid bolt. The framework is designed such that the door cannot be lifted from its tracks.

Optional Extras:

The following optional extras are available for this standard product at additional cost:

Easy Clean Coating:	A coating applied to the external face of the glass that facilitates water run-off. Helps the glass stay cleaner for longer and makes cleaning easier.
Special Color(s):	This product has separate inner and outer colors as standard. Each can be swapped for a special color.
Remote Control:	Allows the product to be opened and closed from a short range.
Rain Sensor:	Automatically closes the product when moisture is detected.
Rain Sensor Isolator:	An internally mounted wall switch that allows the rain sensor to be turned off so that it does not automatically close the product when moisture is detected.
Thermostat:	Automatically operates the product to regulate the temperature within the building.
Keypad or Key Switch:	Offers secure access either via an externally mounted four-digit numerical pass code keypad or a key switch.
Battery Backup:	Allows full operation of the product for a limited period in the event of a power failure.
Home Automation:	Allows the product to be operated by contact closure of a third-party home automation system.
Curb Top Trim:	Cover designed to mask the top of curbs which may be visible through glass when viewed from above. Includes detail to recess standard drywall.

A suite of sales drawings is available.

Custom options may be available upon request but may incur additional design fees – contact your technical sales advisor for more information.

GLAZINGVISION



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GLAZING VISION

Three Wall Box Skylight

606-TDS-US-001 – v1.4 – 26 Aug 2020



Left Hand Exit

Right Hand Exit

Name: Three Wall Box

Type: Electrically operated sliding skylight

Description:

The Three Wall Box is a thermally efficient opening product designed to allow access from a stairwell to a roof terrace or similar. It is fixed to the building structure at the back and either side. The product is available in either left or right hand opening formats - the sliding section (door) is made up of two glass panes mounted into a frame that slides over the fixed panes giving a large aperture ideal for placement at the top of a staircase of almost any configuration.

A variety of optional extras including a rain sensor, thermostat, remote control and home automation system connectivity are available. Proximity detection (safety sensors that immediately stop the product moving when an infrared light beam is broken) is included on every product as standard.

This product is robust and long-lasting, boasting excellent thermal performance, air tightness and reliable operation.

Intended Use: Sliding skylight to be used for regular access, to provide natural daylight, day-to-day ventilation and weather resistance.

External Weathered Curb Dimensions:	Min Span:	44"	Max Span:	94"
	Min Width:	67"	Max Width:	165"
	Min Height:	12"	Max Height:	59"
	Min Area:	20.2 ft ²	Max Area:	64.5 ft ²
	Min Curb Pitch:	0" : 12" (0°)	Max Curb Pitch:	0" : 12" (0°)

Note that the minimum and maximum span, width and height are dependent on various factors, your technical sales advisor will be happy to advise on these. Further information on curb requirements and product dimensions can be found on our website or by contacting your technical sales advisor.

Glazing: A wide variety of glazing specifications are available for this product. Your technical sales advisor will be happy to answer any questions regarding specific glass specifications or glazing performance requirements. Otherwise, quotes include suitable and cost effective glazing proposals.

Standard Colors: Qualicoat approved RAL 7015 slate grey outer, RAL 9010 pure white inner.

Control, Power and Drive: The product is operated using a supplied wall mounted switch connected to a control box mounted inside the product framework via a flying lead.

Also supplied is an externally housed Power Supply Unit requiring connection to the main power supply. It is recommended that the PSU is housed somewhere accessible.

The unit is driven by a rack and pinion mechanism mounted at the front of the door, and in the event of power failure, can be manually overridden.

Performance and Weathertightness:

The product comprises thermally broken aluminum sections consisting of hardwood and closed cell PIR insulation thermally isolating the inner and outer frame sections. Structural integrity is assured through the use of finite element analysis (FEA) and testing.

U-factors are calculated for each product and will be supplied in our quote. Further information and specific performance details can be obtained from your technical sales advisor.

The product is sealed to the curb using silicone and fixed in place with structural fixings which are concealed with lead (or other material) flashing leaving a sleek external finish. Sealing between the base frame and the door frame is achieved using a combination of silicone bubble seals and PU seals with PE sliding surfaces.

The product has been thoroughly tested.

Security:

The product is fitted with an anti-lifting device to prevent disengagement of the drive mechanism. The mechanisms cannot be back driven and cannot be tampered with from the outside.

Optional Extras:

The following optional extras are available for this standard product at additional cost:

Easy Clean Coating:	A coating applied to the external face of the glass that facilitates water run-off. Helps the glass stay cleaner for longer and makes cleaning easier.
Special Color(s):	This product has separate inner and outer colors as standard. Each can be swapped for a special color.
Remote Control:	Allows the product to be opened and closed from a short range.
Rain Sensor:	Automatically closes the product when moisture is detected.
Rain Sensor Isolator:	An internally mounted wall switch that allows the rain sensor to be turned off so that it does not automatically close the product when moisture is detected.
Thermostat:	Automatically operates the product to regulate the temperature within the building.
Keypad or Key Switch:	Offers secure access either via an externally mounted four-digit numerical pass code keypad or a key switch.
Solenoid Bolt:	An automatically operating electric lock, which is linked to the control system, that can be added to the product to provide additional security when it is in the closed position.
Battery Backup:	Allows full operation of the product for a limited period in the event of a power failure.
Home Automation:	Allows the product to be operated by contact closure of a third-party home automation system.

A suite of sales drawings is available.

Custom options may be available upon request but may incur additional design fees – contact your technical sales advisor for more information.

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