



Horace Planning & Zoning Commission Meeting Agenda

Tuesday, July 12, 2022 – 6:00 pm

Fire Hall Event Center – 413 Main Street, Horace, North Dakota

1. Declare Quorum
2. Regular Agenda
3. Approve the June 28, 2022, Planning & Zoning Commission Meeting Minutes
4. Shoppes at Horace – Design Review Modification | Jace Hellman, Community Development Director
 - a. Design Review
 - i. Discussion & Action
5. Adjournment



HORACE PLANNING and ZONING COMMISSION MEETING MINUTES

June 28, 2022 | 6 p.m.

Horace Fire Hall Event Center | 413 Main Street, Horace ND 58047

Present: Russell Sahr, Amy Beaton, Julie Hochhalter, Doug Wendel, Lukas Croaker, Jace Hellman, Jim Dahlman, Stephen Hayton

Chair Sahr called the meeting to order at 6:01 p.m.

Agenda Item 1: Declare Quorum

Agenda Item 2: Regular Agenda

Commissioner Hochhalter motioned to approve the Regular Agenda. Seconded by Commissioner Beaton. All in favor, none opposed. Motion carried.

Agenda Item 3: Approve the June 14, 2022 Planning and Zoning Commission Meeting Minutes

Commissioner Beaton motioned to approve the minutes from June 14, 2022. Seconded by Commissioner Wendel. All in favor, none opposed. Motion carried.

Agenda Item 4: St. Benedict's Church – Parish Hall | Jace Hellman, Community Development Director

Mr. Hellman presented the plans for St. Benedict's Church. Discussion was had regarding the design and types of materials that would be used.

Commissioner Beaton motioned to approve the design including screens for rooftop units. Seconded by Commissioner Hochhalter. All in favor, none opposed. Motion carried.

Agenda Item 5: River's Edge 2nd Addition | Jace Hellman, Community Development Director

Mr. Hellman presented the plat and rezone for River's Edge 2nd Addition. Chairman Sahr opened the public hearing at 6:13 p.m. Resident Travis Voegel expressed concern regarding traffic posing a danger to children, drainage ditches, and lot sizes. The public hearing was closed at 6:32 p.m.

Mr. Dahlman presented information regarding the drain plan.

Commissioner Sahr motioned to approve the plat and direct City staff to revise the language on the prior park agreement to match the current lot agreement for River's Edge 2nd Addition. Seconded by Commissioner Wendel. All in favor, none opposed. Motion carried.

Commissioner Hochhalter motioned to approve the rezone for River's Edge 2nd Addition. Seconded by Commissioner Beaton. All in favor, none opposed. Motion carried.

Agenda Item 6: Southdale Farms 6th Addition | Jace Hellman, Community Development Director

Mr. Hellman presented the plat and rezone for Southdale Farms 6th Addition. Chairman Sahr opened the public hearing at 6:46 p.m. Resident Sarah Veit expressed concern regarding a fence being built in her neighborhood, with Chairman Sahr agreeing that trees and plants as barriers were more neighborly. Chairman Sahr closed the public hearing at 7:04 p.m.



Discussion was had regarding trees in the easements. Mr. Croaker recommended including a provision in the agreement that requires the developer to install landscaping on the back side of the lots. Chairman Sahr stated that he preferred the ID Agreement to leave as many rights with the homeowners as possible.

Chairman Sahr motioned to approve the plat for Southdale Farms 6th Addition with a recommendation to the City Council that they require plantings as deemed by the Community Development Director. Seconded by Commissioner Beaton. All in favor, none opposed. Motion carried.

Chairman Sahr opened the public hearing for the rezone at 7:15 p.m. Chairman Sahr closed the public hearing for the rezone at 7:15 p.m.

Commissioner Beaton motioned to approve the rezone for Southdale Farms 6th Addition. Seconded by Commissioner Hochhalter. All in favor, none opposed. Motion carried.

Agenda Item 5: Adjournment at 7:18 p.m.

The next Planning and Zoning Commission meeting is scheduled for June 28, 2022 at 6 p.m.

Christianson Companies and Design Resources Group are requesting a shared parking agreement for the Shoppes at Horace retail center currently under construction at 7951 Jacks Way. The retail center will contain a 9,250 SF Clinic and a 6,514 SF restaurant/bar. The building also includes 6,326 SF of retail space.

The site design includes 138 parking spaces. The current zoning ordinance requires 159 parking spaces for the uses noted above. We are requesting a shared parking agreement between the clinic space and the restaurant/bar space as the businesses have peak hours that do not coincide. The clinic's hours of operation will be Monday thru Friday, from 8:00am to 5:00pm. The restaurant/bar's hours of operation will be 7 days a week, from 11:00am to close (11:00pm-2:00am). The restaurant/bar's peak hours will be when the clinic is closed, from 5:00pm – close and weekends. During the clinic's hours of operation, 73% of the restaurant/bar's required parking spaces will be available.

Current Parking Count (Current Codes)

		Total leased area	Five spaces per doctor = 7 doctors	1 space per employee on the largest shift	Area per parking space	Parking spaces
Suite 124/128	Clinic		35	20		55
Suite 120	Retail	2,185			250	8.74
Suite 116	Retail	2,101			250	8.404
Suite 112	Retail	2,040			250	8.16
Suite 108	Retail	2,185			250	8.74
Suite 104	Retail	2,185			250	8.74
Suite 100	Fast Food	2,144		4	200	14.72
	Total required Parking Spaces					112.504
	Parking Spaces Provided					138
	<u>*10 Parking spots need to be removed for drive thru @ Fast Food*</u>					

New Parking Count with Restaurant (New Codes to Be Approved Fall 2022)

		Total leased area	Five spaces per doctor = 7 doctors	1 space per employee on the largest shift	Area per parking space	Parking spaces
Suite 124/128	Clinic	9,260			240	38.58333
Suite 120	Retail	2,185			300	7.283333
Suite 116	Retail	2,101			300	7.003333
Suite 112	Retail	2,040			300	6.8
Suite 108	Restaurant	2,185			85	25.70588
Suite 104	Restaurant	2,185			85	25.70588
Suite 100	Restaurant	2,144			85	25.22353
	Total required Parking Spaces					136.3053
	Parking Spaces Provided					138

New Parking Count with Restaurant (Current Codes)

		Total leased area	Five spaces per doctor = 7 doctors	1 space per employee on the largest shift	Area per parking space	Parking spaces
Suite 124/128	Clinic		35	20		55
Suite 120	Retail	2,185			250	8.74
Suite 116	Retail	2,101			250	8.404
Suite 112	Retail	2,040			250	8.16
Suite 108	Restaurant	2,185		3	100	24.85
Suite 104	Restaurant	2,185		4	100	25.85
Suite 100	Restaurant	2,144		6	100	27.44
	Total required Parking Spaces					158.444
	Parking Spaces Provided					138
	Total required WITHOUT Retail					133.14

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LEGEND

	PROPERTY LINE		NEW SEWER MAIN
	NO SETBACKS REQUIRED		NEW SANITARY CLEANOUT
	EASEMENT		NEW SANITARY SEWER MANHOLE
	EX. PROP. CORNERS		NEW WATER MAIN
	BENCH MARK		NEW TAPPING TEE W/ VALVE
	EX. LIGHT POLE		NEW 22 1/2" ELBOW
	EX. POWER POLE		NEW 90° ELBOW
	EX. TELEPHONE PEDESTAL		NEW GATE VALVE
	UTILITY PEDestal		NEW HYDRANT W/ GATE VALVE
	EX. ELECT. TRANSFORMER		NEW STORM SEWER
	ACCESSIBLE PARKING SIGN		NEW STORM SEWER MANHOLE
	EX. CURB AND GUTTER		NEW CATCH BASIN
	EX. UNDERGROUND TELEVISION		REMOVE CURB AND GUTTER
	EX. UNDERGROUND ELECTRIC		LIGHT POLE
	EX. UNDERGROUND GAS		PROPOSED ELEVATIONS
	OVERHEAD ELECTRIC		
	EX. SANITARY SEWER MAIN		
	EX. WATER MAIN		
	EX. STORM SEWER		
	EX. STORM SEWER MANHOLE		
	EX. SANITARY SEWER MANHOLE		
	EX. STORM CATCH BASIN		

906.3 FL ±
905.6 GS ±

1 EX. CONTOUR INTERVALS
5 EX. CONTOUR INTERVALS
1' NEW CONTOUR INTERVALS
5' NEW CONTOUR INTERVALS

KEY NOTES

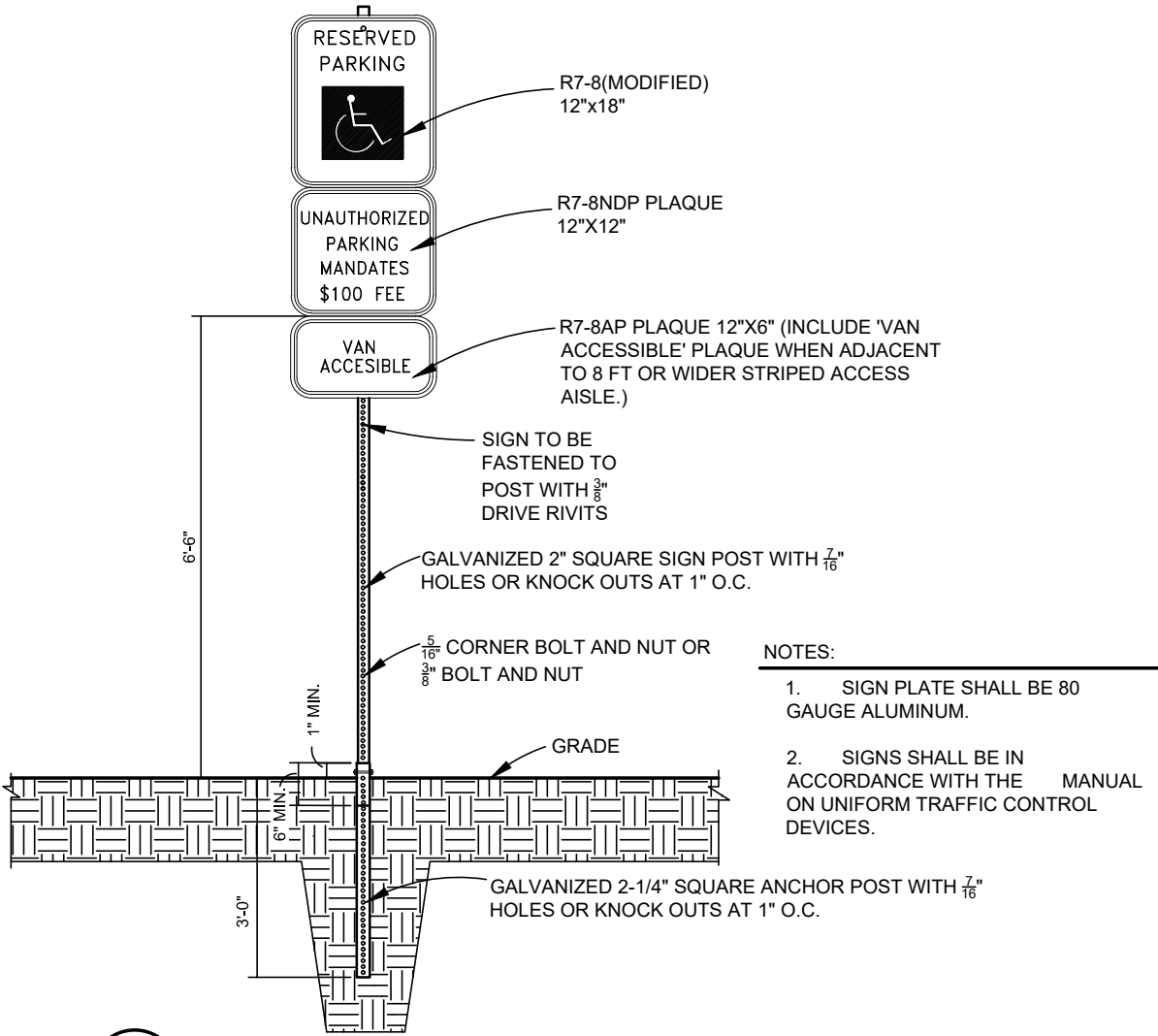
- 1 HANDICAP SIGN. S.D. D14.
- 2 TRASH ENCLOSURE.
- 3 EXISTING LOT LINE.
- 4 CONSTRUCTION LIMIT LINE.
- 5 LIGHT POLE.
- 6 TRANSFORMER.
- 7 PYLON SIGN.
- 8 9' x 20' TYPICAL STACKING SPACE

SITE DATA

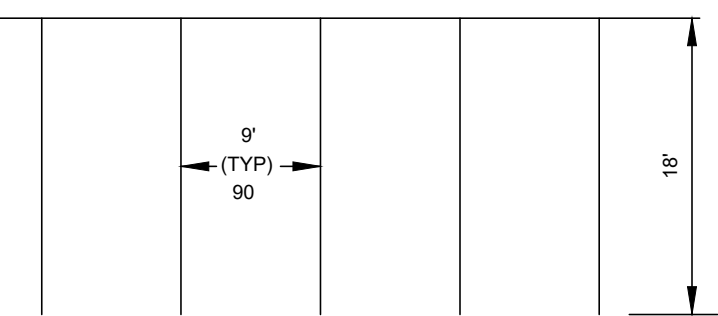
ZONED C-2: TOWN CENTER COMMERCIAL DISTRICT

TOTAL LOT AREA:	137,209 SF (3.15 ACRES)
CONSTRUCTION LIMITS AREA:	103,628 SF
FRONT SETBACK:	30 FT
INTERIOR SIDE SETBACK:	10 FT
REAR SETBACK:	30 FT
BUILDING COVERAGE:	(21%) 21,700 SF
BUILDING HEIGHT:	37 FT
PARKING LOT SF:	60,156 SF

(D14) HC PARKING SIGN

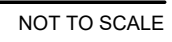


(D17) TYPICAL ADA PARKING STALL LAYOUT



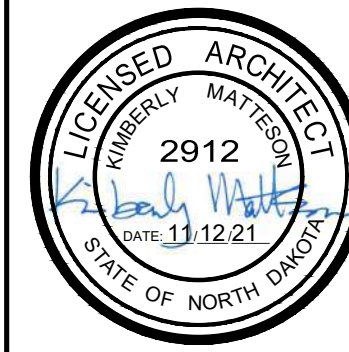
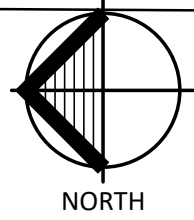
- NOTES:**
1. THE CONTRACTOR SHALL PAINT 4" WIDE STRIPES FOR THE PARKING STALLS AND HANDICAP SYMBOL AS SHOWN HERE AND AT LOCATIONS ON THE SITE PLAN. THE PAINT SHALL BE: DIAMOND VOGEL TB3509 (WHITE) OR APPROVED EQUAL.
 2. SEE SITE LAYOUT FOR OTHER STALL DIMENSIONS.
 3. ALL GORE AREAS BESIDES ADA PARKING AREAS, SHALL BE 4" LINES WITH 12" SPACING BETWEEN LINES.

(F17) TYPICAL PARKING STALL LAYOUT



(N8) ARCHITECTURAL SITE PLAN

SCALE: 1" = 20'

CHRISTIANSON
COMPANIES

PH. (701) 281-9500
FAX (701) 281-9501

4609 33RD AVE. S
SUITE 400
FARGO, ND 58104



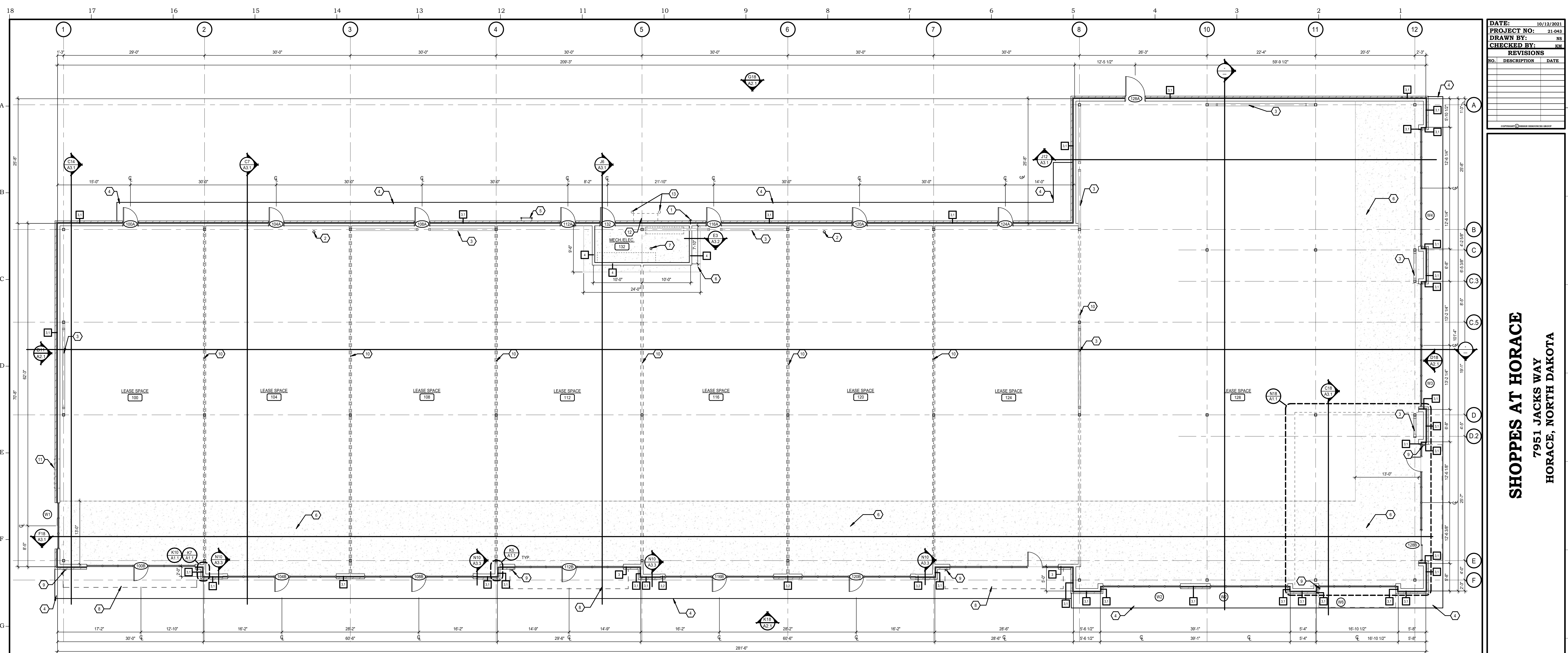
DESIGN RESOURCES GROUP
PH. (701) 499-0212
FAX (701) 281-9501

SHEET DESCRIPTION:

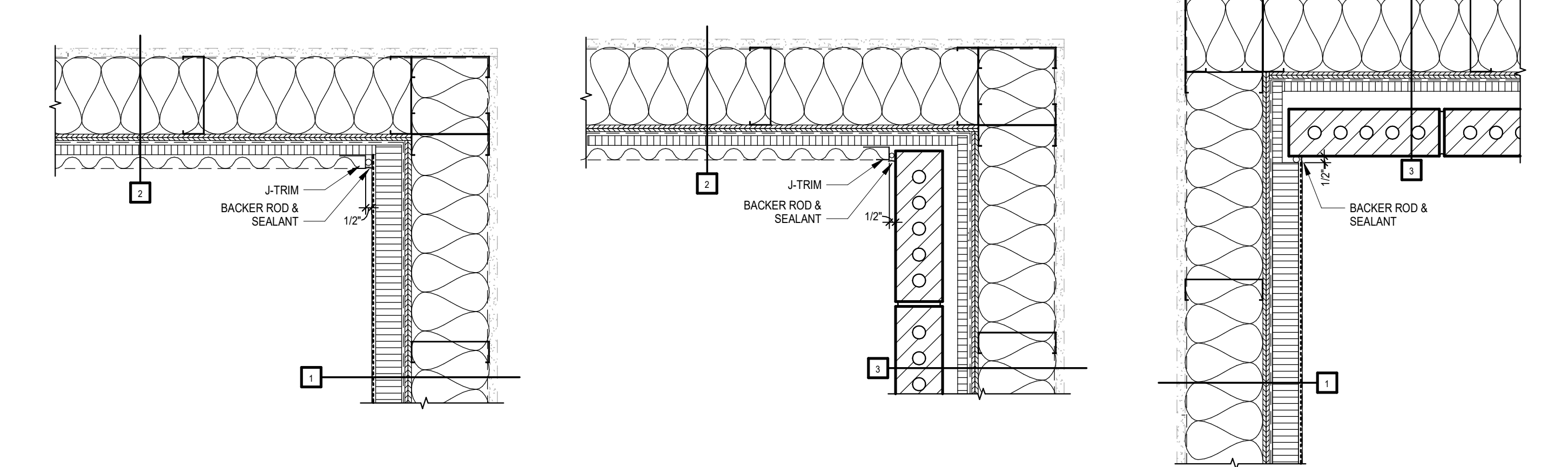
ARCHITECTURA
SITE PLAN

Sheet

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H11 - FIRST FLOOR - NOTES AND DIMENSIONED PLAN
SCALE: 1/8" = 1'-0"



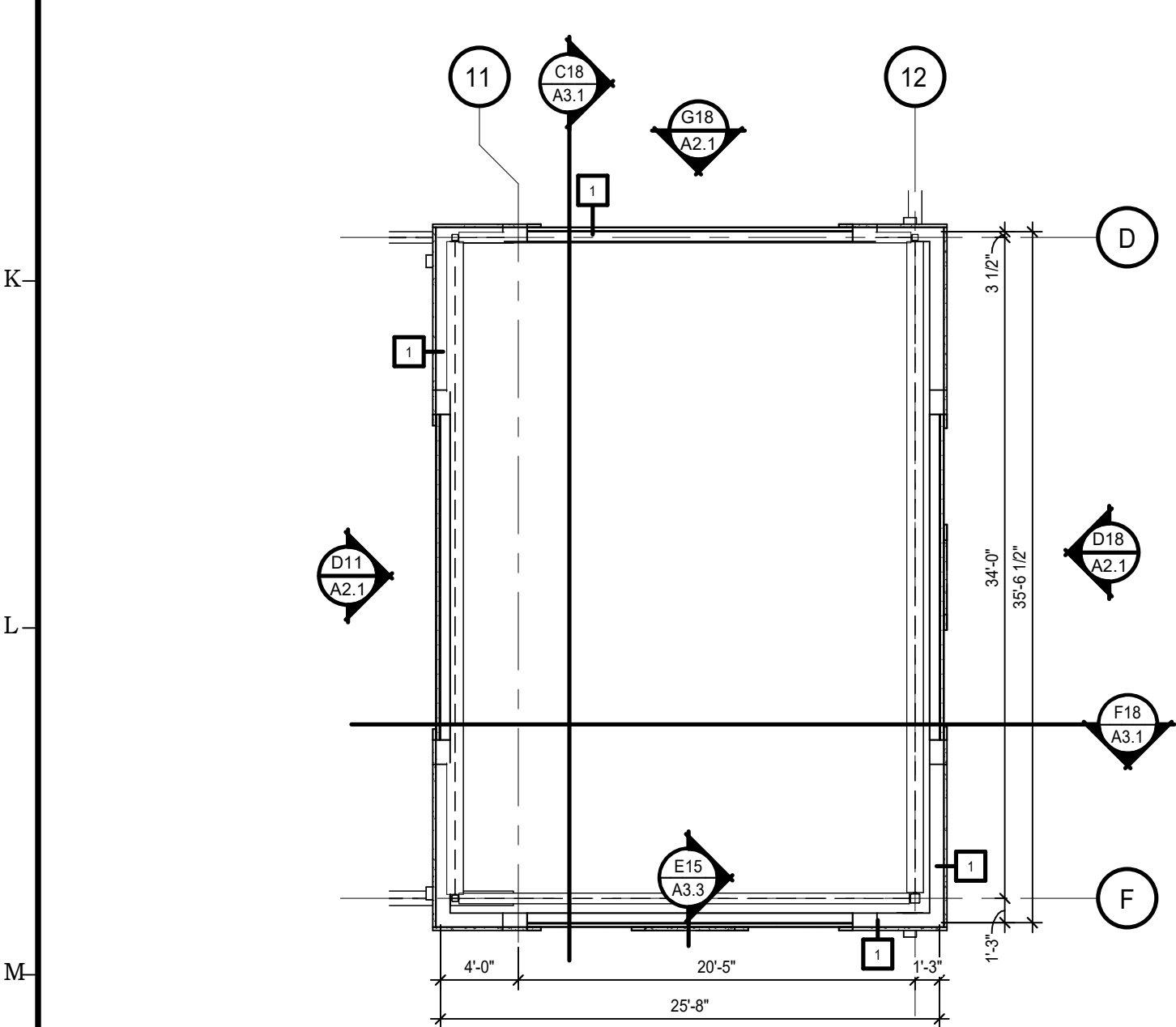
ROOM FINISH SCHEDULE

BASE/ELECTRICAL ROOM #132

FLOOR:	D - SEALED (CLEANED & PAINTED) CONCRETE
BASE:	NONE - EXPOSED G.W.B.
WALLS:	G.W.B. - TAPED ONLY; PLYWOOD (@ ELEC.) - PAINTED, GRAY.
CEILING:	NONE - EXPOSED STRUCTURE.
ALL FUTURE TENANT AREAS	
NO WORK - TO BE COMPLETED WITH TENANT FIT-UPS	

- GENERAL NOTES**
- ALL EXTERIOR DIMENSIONS ARE FROM EXTERIOR FACE OF STUD WALL UNLESS OTHERWISE NOTED.
 - ALL INTERIOR DIMENSIONS ARE FROM FACE OF METAL STUDS, OR CENTER OF COLUMN/ROOF LINES, UNLESS OTHERWISE NOTED.
 - INSIDE FACE OF EXTERIOR METAL STUD WALL TO ALIGN WITH INSIDE FACE OF FOUNDATION WALL, UNLESS OTHERWISE NOTED.
 - HATCHED AREA OF CONCRETE FLOOR SLAB TO BE POURED PRIOR TO FRAMING OF METAL STUD WALLS. SEE KEYNOTE #6. AT ALL UNHATCHED FLOOR AREAS, CONCRETE SLAB IS NOT TO BE POURED - GRANULAR FILL, RIGID INSULATION, AND VAPOR BARRIER TO BE INSTALLED AS DIRECTED IN THESE DRAWINGS.
 - INTERIOR 5/8" GYPSUM WALL BOARD TO BE INSTALLED IN MECH/ELECT ROOM ONLY. ALL OTHER INTERIOR G.W.B. TO BE INSTALLED AT TIME OF TENANT FIT-UPS. CONTINUOUS VAPOR BARRIER TO BE INSTALLED AT INTERIOR OF ALL EXTERIOR WALLS, U.O.N.

- KEYNOTES**
- COLD WATER HOSE BIB LOCATION. SEE MECHANICAL DRAWINGS.
 - LOCATION OF INSULATED INTERIOR ROOF DRAIN RAIN LEADER. SEE MECHANICAL DRAWINGS FOR SIZE. COORDINATE LOCATIONS DURING ROUGH-IN.
 - LOCATION OF STEEL BRACE FRAMING. SEE STRUCTURAL DRAWINGS.
 - CONTINUOUS CONCRETE STOOP - SEE STRUCTURAL DRAWINGS. COORDINATE ANY HOLD-OUTS REQUIRED TO ALLOW SUITE UTILITIES TO BE RUN IN TO BUILDING.
 - ROOF ACCESS LADDER & CAGE. SEE DETAIL.
 - HATCHED AREA INDICATES PORTION OF CONCRETE FLOOR SLAB TO BE POURED WITH BLDG. SHELL TO ALLOW FOR INSTALLATION OF ALUMINUM STOREFRONTS AND INTERIOR STUD WALLS. COORDINATE EXACT SIZE OF SLAB TO BE POURED WITH C.M.
 - FLOOR DRAIN - SEE MECHANICAL DRAWINGS. SLOPE CONCRETE FLOOR SLAB TO DRAIN.
 - DASHED LINE INDICATES ALUMINUM CANOPY ABOVE.
 - 3/4" x 20 PRE-FINISHED METAL DOWNSPOUT TIE INTO STORM PIPE AT SUBWALLS - SEE CIVIL DRAWINGS.
 - FUTURE DRIVE-UP WINDOW - TO BE INSTALLED WITH TENANT FIT-UP. STYLE, AND LOCATION T.B.D. WITH FUTURE TENANT.
 - LOCATION OF GAS METERS AND METER HEADER. SEE MECHANICAL DRAWINGS & COORDINATE LOCATION WITH UTILITY.
 - LOCATION OF CONCRETE FILLED PAINTED STEEL BOLLARDS TO PROTECT NEW GAS METER & HEADER AREA.



Previously Approved

N18 - TOWER - NOTES AND DIMENSIONED PLAN
SCALE: 1/8" = 1'-0"

EIFS/ STEEL STUD ASSEMBLIES

WALL TAG	STUD WIDTH	ASSEMBLY WIDTH	NOTES
1	6"	+/- 9 1/2"	

METAL PANEL/ STEEL STUD ASSEMBLIES

WALL TAG	STUD WIDTH	ASSEMBLY WIDTH	NOTES
2	6"	+/- 7 7/8" (+ MTL PANEL)	

MASONRY/ STEEL STUD ASSEMBLIES

WALL TAG	STUD WIDTH	ASSEMBLY WIDTH	NOTES
3	6"	+/- 13"	

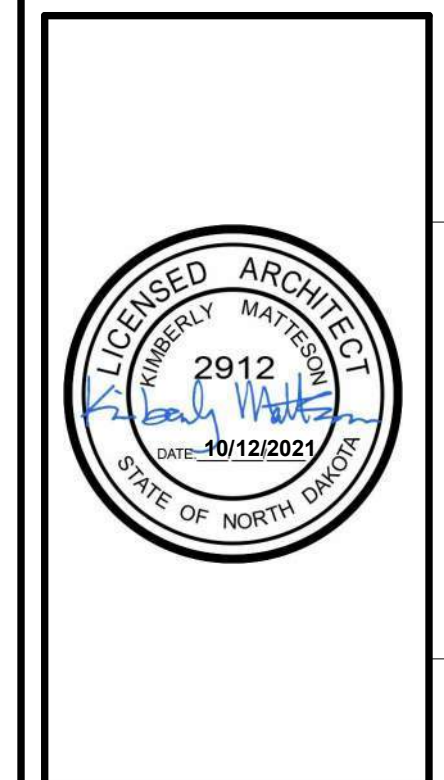
STEEL STUD W/ GYPSUM

WALL TAG	STUD WIDTH	ASSEMBLY WIDTH	NOTES
4	6"	6 5/8"	

DATE: 10/12/2021
PROJECT NO: 21-043
DRAWN BY: NS
CHECKED BY: KM
REVISIONS

NO.	DESCRIPTION	DATE

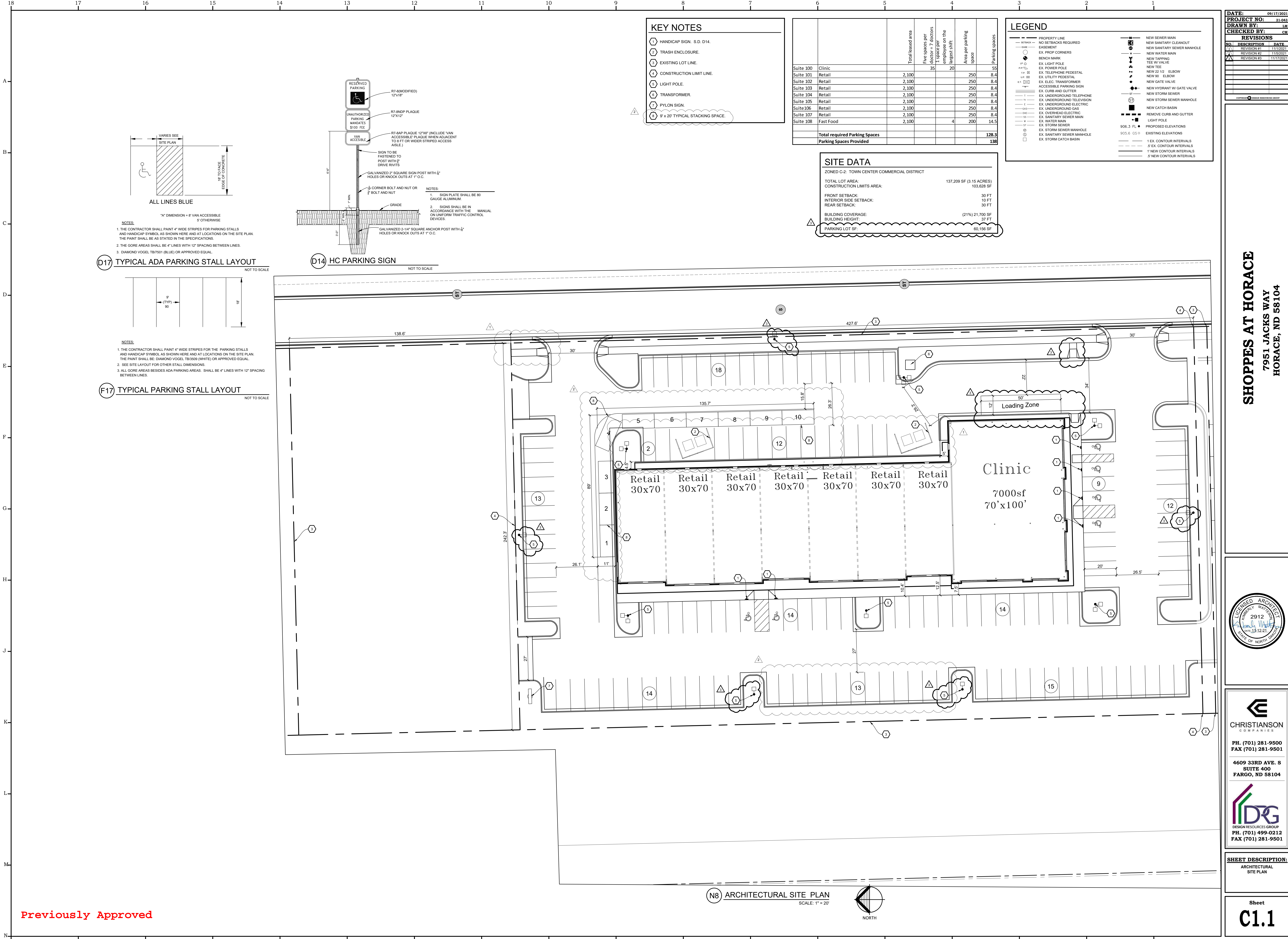
SHOPPES AT HORACE
7951 JACKS WAY
HORACE, NORTH DAKOTA



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DESIGN RESOURCES GROUP
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FAX (701) 281-9501

SHEET DESCRIPTION:
FIRST FLOOR - DIMENSION & NOTES PLAN

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- KEY NOTES**
- 1 HANDICAP SIGN. S.D. D14.
 - 2 TRASH ENCLOSURE.
 - 3 EXISTING LOT LINE.
 - 4 CONSTRUCTION LIMIT LINE.
 - 5 LIGHT POLE.
 - 6 TRANSFORMER.
 - 7 PYLON SIGN.
 - 8 9' x 20' TYPICAL STACKING SPACE.

		Total leased area	Five spaces per doctor = 7 doctors	1 space per employee on the largest shift	Area per parking space	Parking spaces
Suite 100	Clinic					55
Suite 101	Retail	2,100			250	8.4
Suite 102	Retail	2,100			250	8.4
Suite 103	Retail	2,100			250	8.4
Suite 104	Retail	2,100			250	8.4
Suite 105	Retail	2,100			250	8.4
Suite 106	Retail	2,100			250	8.4
Suite 107	Retail	2,100			250	8.4
Suite 108	Fast Food	2,100		4	200	14.5
Total required Parking Spaces						128.3
Parking Spaces Provided						138

SITE DATA

ZONED C-2: TOWN CENTER COMMERCIAL DISTRICT

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REAR SETBACK:	30 FT
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BUILDING HEIGHT:	37 FT
PARKING LOT SF:	80,156 SF

- LEGEND**
- PROPERTY LINE
 - NO SETBACKS REQUIRED
 - EASEMENT
 - EX. PROP. CORNERS
 - BENCH MARK
 - EX. LIGHT POLE
 - EX. POWER POLE
 - EX. TELEPHONE PEDESTAL
 - EX. UTILITY PEDESTAL
 - EX. ELEC. TRANSFORMER
 - ACCESSIBLE PARKING SIGN
 - EX. CURB AND GUTTER
 - EX. UNDERGROUND TELEPHONE
 - EX. UNDERGROUND TELEVISION
 - EX. UNDERGROUND ELECTRIC
 - EX. UNDERGROUND GAS
 - EX. OVERHEAD ELECTRIC
 - EX. SANITARY SEWER MAIN
 - EX. WATER MAIN
 - EX. STORM SEWER
 - EX. STORM SEWER MANHOLE
 - EX. SANITARY SEWER MANHOLE
 - EX. STORM CATCH BASIN
 - NEW SEWER MAIN
 - NEW SANITARY CLEAOUT
 - NEW SANITARY SEWER MANHOLE
 - NEW WATER MAIN
 - NEW TAPPING TEE W/ VALVE
 - NEW TEE
 - NEW 22 1/2" ELBOW
 - NEW 90° ELBOW
 - NEW GATE VALVE
 - NEW HYDRANT W/ GATE VALVE
 - NEW STORM SEWER
 - NEW STORM SEWER MANHOLE
 - NEW CATCH BASIN
 - REMOVE CURB AND GUTTER
 - LIGHT POLE
 - PROPOSED ELEVATIONS
 - EXISTING ELEVATIONS
 - 1' EX. CONTOUR INTERVALS
 - 5' EX. CONTOUR INTERVALS
 - 1' NEW CONTOUR INTERVALS
 - 5' NEW CONTOUR INTERVALS

DATE: 09/17/2021
PROJECT NO.: 21-043
DRAWN BY: LHL
CHECKED BY: CM

REVISIONS

NO.	DESCRIPTION	DATE
1	REVISION #1	11/17/2021
2	REVISION #2	11/5/2021
3	REVISION #3	11/17/2021

SHoppes at Horace
7951 JACKS WAY
HORACE, ND 58104

LICENSED ARCHITECT
2912
STATE OF NORTH DAKOTA

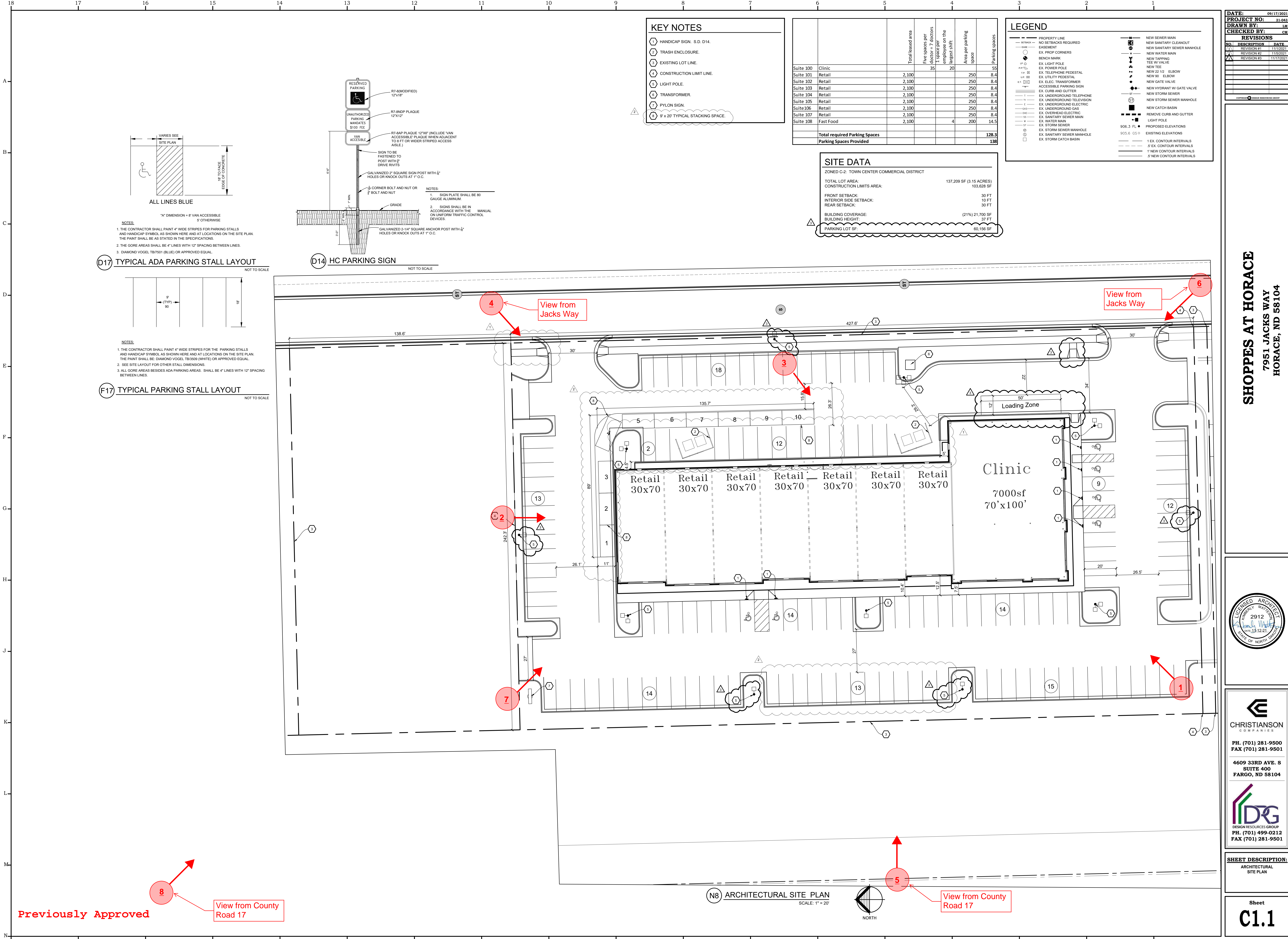
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SHEET DESCRIPTION:
ARCHITECTURAL
SITE PLAN

Sheet
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KEY NOTES

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LEGEND

- PROPERTY LINE
- NO SETBACKS REQUIRED
- EASEMENT
- EX. PROP. CORNERS
- BENCH MARK
- EX. LIGHT POLE
- EX. TELEPHONE PEDESTAL
- EX. UTILITY PEDESTAL
- EX. ELEC. TRANSFORMER
- ACCESSIBLE PARKING SIGN
- EX. CURB AND GUTTER
- EX. UNDERGROUND TELEPHONE
- EX. UNDERGROUND TELEVISION
- EX. UNDERGROUND ELECTRIC
- EX. UNDERGROUND GAS
- EX. OVERHEAD ELECTRIC
- EX. SANITARY SEWER MAIN
- EX. WATER MAIN
- EX. STORM SEWER
- EX. STORM SEWER MANHOLE
- EX. SANITARY SEWER MANHOLE
- EX. STORM CATCH BASIN
- NEW SEWER MAIN
- NEW SANITARY CLEANOUT
- NEW SANITARY SEWER MANHOLE
- NEW WATER MAIN
- NEW TAPPING
- NEW 90° ELBOW
- NEW TEE
- NEW 22 1/2° ELBOW
- NEW 90° ELBOW
- NEW GATE VALVE
- NEW HYDRANT W/ GATE VALVE
- NEW STORM SEWER
- NEW STORM SEWER MANHOLE
- NEW CATCH BASIN
- REMOVE CURB AND GUTTER
- LIGHT POLE
- 906.3 F.L. PROPOSED ELEVATIONS
- 905.6 G.S.D. EXISTING ELEVATIONS
- 1' EX. CONTOUR INTERVALS
- 5' EX. CONTOUR INTERVALS
- 1' NEW CONTOUR INTERVALS
- 5' NEW CONTOUR INTERVALS

DATE: 09/17/2021

PROJECT NO: 21-043

DRAWN BY: LHL

CHECKED BY: CM

REVISIONS	
NO.	DESCRIPTION
1	REVISION #1 11/17/2021
2	REVISION #2 11/15/2021
3	REVISION #3 11/17/2021

SHOPPES AT HORACE

7951 JACKS WAY

HORACE, ND 58104

LICENSED ARCHITECT

2912

STATE OF NORTH DAKOTA

CHRISTIANSON

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DRG

DESIGN RESOURCES GROUP

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SHEET DESCRIPTION:

ARCHITECTURAL

SITE PLAN

Sheet

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View 1

Previously Approved



View 2

Previously Approved



View 3

Previously Approved



View 4

Previously Approved



View 5

Previously Approved



View 6

Previously Approved



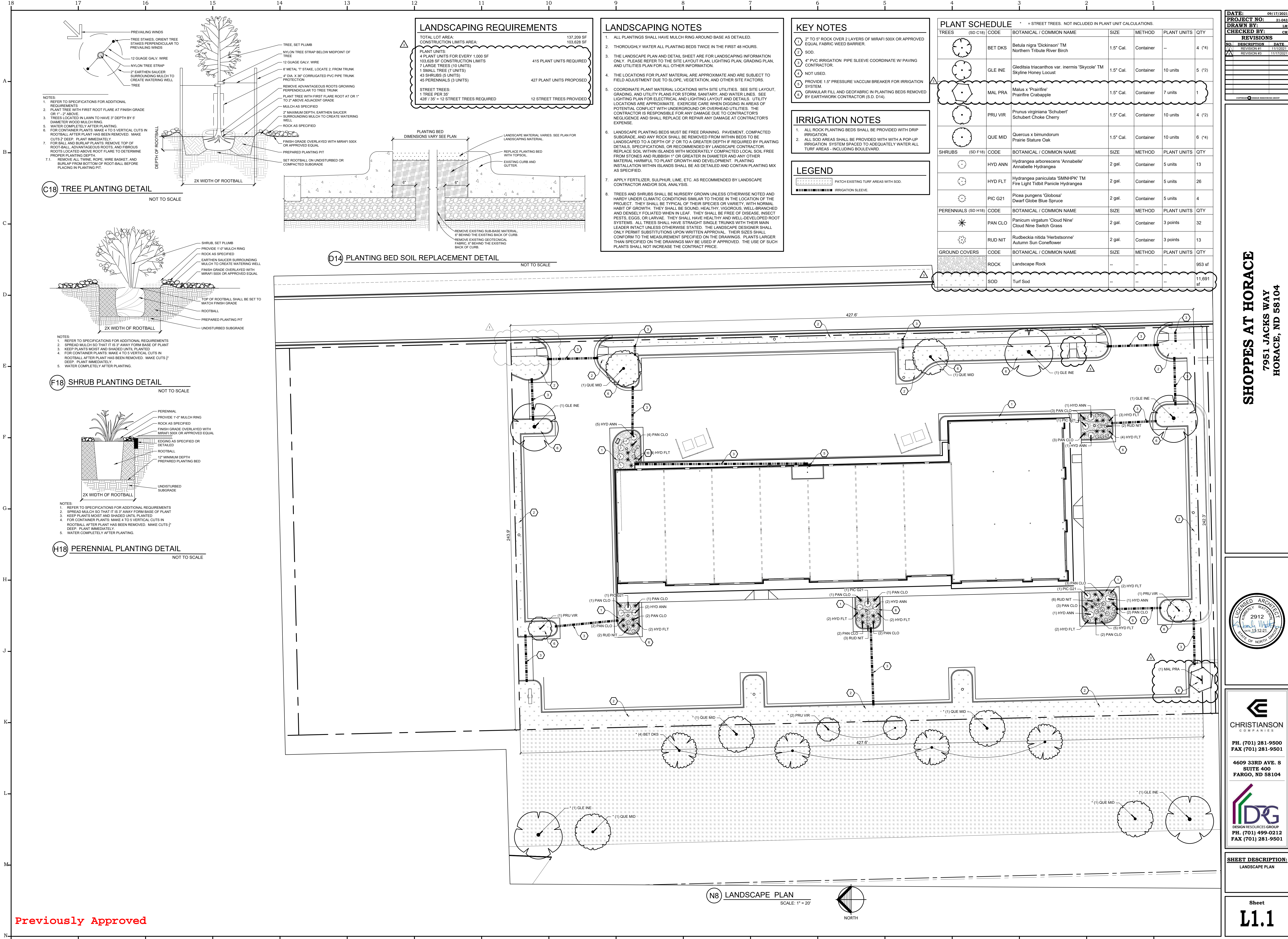
View 7

Previously Approved



View 8

Previously Approved



C18 TREE PLANTING DETAIL

NOT TO SCALE

F18 SHRUB PLANTING DETAIL

NOT TO SCALE

H18 PERENNIAL PLANTING DETAIL

NOT TO SCALE

D14 PLANTING BED SOIL REPLACEMENT DETAIL

NOT TO SCALE

LANDSCAPING REQUIREMENTS

TOTAL LOT AREA: 137,209 SF
CONSTRUCTION LIMITS AREA: 103,628 SF

PLANT UNITS:
4 PLANT UNITS FOR EVERY 1,000 SF
103,628 SF CONSTRUCTION LIMITS
7 LARGE TREES (10 UNITS)
1 SMALL TREE (7 UNITS)
43 SHRUBS (5 UNITS)
45 PERENNIALS (3 UNITS)

STREET TREES:
1 TREE PER 35'
428' / 35' = 12 STREET TREES REQUIRED

415 PLANT UNITS REQUIRED
427 PLANT UNITS PROVIDED

LANDSCAPING NOTES

- ALL PLANTINGS SHALL HAVE MULCH RING AROUND BASE AS DETAILED.
- THOROUGHLY WATER ALL PLANTING BEDS TWICE IN THE FIRST 48 HOURS.
- THE LANDSCAPE PLAN AND DETAIL SHEET ARE FOR LANDSCAPING INFORMATION ONLY. PLEASE REFER TO THE SITE LAYOUT PLAN, LIGHTING PLAN, GRADING PLAN, AND UTILITIES PLAN FOR ALL OTHER INFORMATION.
- THE LOCATIONS FOR PLANT MATERIAL ARE APPROXIMATE AND ARE SUBJECT TO FIELD ADJUSTMENT DUE TO SLOPE, VEGETATION, AND OTHER SITE FACTORS.
- COORDINATE PLANT MATERIAL LOCATIONS WITH SITE UTILITIES. SEE SITE LAYOUT, GRADING, AND UTILITY PLANS FOR STORM, SANITARY, AND WATER LINES. SEE LIGHTING PLAN FOR ELECTRICAL AND LIGHTING LAYOUT AND DETAILS. UTILITY LOCATIONS ARE APPROXIMATE. EXERCISE CARE WHEN DIGGING IN AREAS OF POTENTIAL CONFLICT WITH UNDERGROUND OR OVERHEAD UTILITIES. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE DUE TO CONTRACTOR'S NEGLIGENCE AND SHALL REPLACE OR REPAIR ANY DAMAGE AT CONTRACTOR'S EXPENSE.
- LANDSCAPE PLANTING BEDS MUST BE FREE DRAINING. PAVEMENT, COMPACTED SUBGRADE, AND ANY ROCK SHALL BE REMOVED FROM WITHIN BEDS TO BE LANDSCAPED TO A DEPTH OF 2' OR TO A GREATER DEPTH IF REQUIRED BY PLANTING DETAILS, SPECIFICATIONS, OR RECOMMENDED BY LANDSCAPE CONTRACTOR. REPLACE SOIL WITHIN ISLANDS WITH MODERATELY COMPACTED LOCAL SOIL FREE FROM STONES AND RUBBISH 1" OR GREATER IN DIAMETER AND ANY OTHER MATERIAL HARMFUL TO PLANT GROWTH AND DEVELOPMENT. PLANTING INSTALLATION WITHIN ISLANDS SHALL BE AS DETAILED AND CONTAIN PLANTING MIX AS SPECIFIED.
- APPLY FERTILIZER, SULPHUR, LIME, ETC. AS RECOMMENDED BY LANDSCAPE CONTRACTOR AND/OR SOIL ANALYSIS.
- TREES AND SHRUBS SHALL BE NURSERY GROWN UNLESS OTHERWISE NOTED AND HARDY UNDER CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCATION OF THE PROJECT. THEY SHALL BE TYPICAL OF THEIR SPECIES OR VARIETY, WITH NORMAL HABIT OF GROWTH. THEY SHALL BE SOUND, HEALTHY, VIGOROUS, WELL-BRANCHED AND DENSELY FOLIATED WHEN IN LEAF. THEY SHALL BE FREE OF DISEASE, INSECT PESTS, EGGS, OR LARVAE. THEY SHALL HAVE HEALTHY AND WELL-DEVELOPED ROOT SYSTEMS. ALL TREES SHALL HAVE STRAIGHT SINGLE TRUNKS WITH THEIR MAIN LEADER INTACT UNLESS OTHERWISE STATED. THE LANDSCAPE DESIGNER SHALL ONLY PERMIT SUBSTITUTIONS UPON WRITTEN APPROVAL. THEIR SIZES SHALL CONFORM TO THE MEASUREMENT SPECIFIED ON THE DRAWINGS. PLANTS LARGER THAN SPECIFIED ON THE DRAWINGS MAY BE USED IF APPROVED. THE USE OF SUCH PLANTS SHALL NOT INCREASE THE CONTRACT PRICE.

KEY NOTES

- 2" TO 5" ROCK OVER 2 LAYERS OF MIRAFI 500X OR APPROVED EQUAL FABRIC WEED BARRIER.
- SOD.
- 4" PVC IRRIGATION PIPE SLEEVE COORDINATE W/ PAVING CONTRACTOR.
- NOT USED.
- PROVIDE 1.5" PRESSURE VACCUUM BREAKER FOR IRRIGATION SYSTEM.
- GRANULAR FILL AND GEOTEXTILE IN PLANTING BEDS REMOVED BY EARTHWORK CONTRACTOR (S.D. D14).

IRRIGATION NOTES

- ALL ROCK PLANTING BEDS SHALL BE PROVIDED WITH DRIP IRRIGATION.
- ALL SOD AREAS SHALL BE PROVIDED WITH A POP-UP IRRIGATION SYSTEM SPACED TO ADEQUATELY WATER ALL TURF AREAS, INCLUDING BOULEVARD.

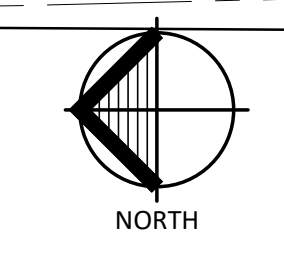
LEGEND

- PATCH EXISTING TURF AREAS WITH SOD.
- IRRIGATION SLEEVE.

PLANT SCHEDULE									
* = STREET TREES. NOT INCLUDED IN PLANT UNIT CALCULATIONS.									
TREES (SD C18)	CODE	BOTANICAL / COMMON NAME	SIZE	METHOD	PLANT UNITS	QTY			
	BET DKS	Betula nigra 'Dickinson' TM Northern Tribute River Birch	1.5" Cal.	Container	--	4 (*4)			
	GLE INE	Gleditsia triacanthos var. inermis 'Skycole' TM Skyline Honey Locust	1.5" Cal.	Container	10 units	5 (*2)			
	MAL PRA	Malus x 'Prainfire' Prairiefire Crabapple	1.5" Cal.	Container	7 units	1			
	PRU VIR	Prunus virginiana 'Schubert' Schubert Choke Cherry	1.5" Cal.	Container	10 units	4 (*2)			
	QUE MID	Quercus x bimundorum Prairie Stature Oak	1.5" Cal.	Container	10 units	6 (*4)			
SHRUBS (SD F18)	CODE	BOTANICAL / COMMON NAME	SIZE	METHOD	PLANT UNITS	QTY			
	HYD ANN	Hydrangea arborescens 'Annabelle' Annabelle Hydrangea	2 gal.	Container	5 units	13			
	HYD FLT	Hydrangea paniculata 'SMNHPK' TM Fire Light Tidbit Panicle Hydrangea	2 gal.	Container	5 units	26			
	PIC G21	Picea pungens 'Globoosa' Dwarf Globe Blue Spruce	2 gal.	Container	5 units	4			
PERENNIALS (SD H18)	CODE	BOTANICAL / COMMON NAME	SIZE	METHOD	PLANT UNITS	QTY			
	PAN CLO	Panicum virgatum 'Cloud Nine' Cloud Nine Switch Grass	2 gal.	Container	3 points	32			
	RUD NIT	Rudbeckia nitida 'Herbstsonne' Autumn Sun Coneflower	2 gal.	Container	3 points	13			
GROUND COVERS	CODE	BOTANICAL / COMMON NAME	SIZE	METHOD	PLANT UNITS	QTY			
	ROCK	Landscape Rock	--	--	--	953 sf			
	SOD	Turf Sod	--	--	--	11,691 sf			

N8 LANDSCAPE PLAN

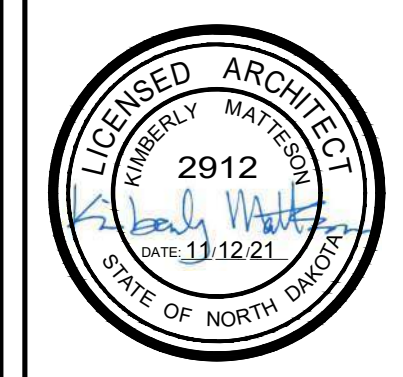
SCALE: 1" = 20'



Previously Approved

DATE: 09/17/2021
PROJECT NO: 21-043
DRAWN BY: JLM
CHECKED BY: cm
REVISIONS
NO. DESCRIPTION DATE
REVISION #1 11/17/2021
REVISION #3 11/17/2021

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SHEET DESCRIPTION:
LANDSCAPE PLAN

Sheet
L1.1