



## **Horace Planning & Zoning Commission Meeting Agenda**

Tuesday, October 11, 2022 – 6:00 pm

Fire Hall Event Center – 413 Main Street, Horace, North Dakota

1. Declare Quorum
2. Regular Agenda
3. Approve the September 13, 2022, Planning & Zoning Commission Meeting Minutes
4. 109 Apple Lane Variance | Jace Hellman, Community Development Director
  - a. Variance
    - i. Public Hearing
    - ii. Discussion & Action
5. 1030 5<sup>th</sup> St E. Conditional Use Permit | Jace Hellman, Community Development Director
  - a. Conditional Use Permit
    - i. Public Hearing
    - ii. Discussion & Action
6. Big Erv's Façade Improvement | Jace Hellman, Community Development Director
  - a. Design Review
    - i. Discussion & Action
7. Willow Grove – Preliminary Concept Introduction | Jace Hellman, Community Development Director
  - a. Conceptual Subdivision Review
    - i. Discussion
8. Adjournment



## **HORACE PLANNING and ZONING COMMISSION MEETING MINUTES**

September 13, 2022 | 6 p.m.

Horace Fire Hall Event Center | 413 Main Street, Horace ND 58047

**Present:** Russell Sahr, Amy Beaton, Julie Hochhalter, Doug Wendel, Jace Hellman, Jim Dahlman, Councilmember Naomi Burkland

Chair Sahr called the meeting to order at 6:00 p.m.

### **Agenda Item 1: Declare Quorum**

### **Agenda Item 2: Regular Agenda**

Commissioner Beaton motioned to approve the Regular Agenda. Seconded by Commissioner Hochhalter. All in favor, none opposed. Motion carried.

### **Agenda Item 3: Approve the August 9, 2022, Planning and Zoning Commission Meeting Minutes**

Commissioner Hochhalter motioned to approve the minutes from August 9, 2022. Seconded by Commissioner Wendel. All in favor, none opposed. Motion carried.

### **Agenda Item 4: 5502 Co. Rd. 17 Variance | Jace Hellman, Community Development Director**

Mr. Hellman presented the variance application to the Planning and Zoning Commission. The request was in order to build an accessory structure within the front yard setback due to a site constraint caused by the watercourse setback. Mr. Hellman presented exhibits depicting where the watercourse setback was located on the applicant's property. Although the property existed prior to the City's adoption of the watercourse setback, Mr. Hellman explained the language in the City's watercourse setback regulations did not provide an exemption for unplatted properties. Mr. Hellman went on to explain that the applicant did meet with him and the City Engineer to discuss alternatives, including having a third-party engineer conduct soil stability testing to reduce the required setback, however, the cost was not feasible.

Chairman Sahr asked what the Right-of-Way is along the section of County Road 17 that runs along this property. Mr. Hellman stated that the Right-of-Way varies, but the section along this property was approximately 196 feet. The applicant, Sherrie Moore, explained that she had talked to her neighbor south of her property and he stated that they had no problems with her proposal. Ms. Moore further went on to say she had planted a line of arborvitae that when full grown will create a natural fence line and provide the neighbor to the south a view of a hedge line as opposed to the back of a garage.

Chairman Sahr opened the public hearing at 6:07 PM, there was no public testimony received. Chairman Sahr closed the public hearing at 6:08 PM.

Commissioner Wendel clarified that the proposed building must remain outside of the watercourse setback area. Mr. Hellman confirmed and stated that the proposed location drawing does have some overlap of the watercourse setback area, and that the applicant will not be allowed to build the building within that area.

Commissioner Beaton motioned to recommend approval of the Variance for 5502 Co. Rd. 17. Seconded by Commissioner Wendel. All in favor, none opposed. Motion carried.



**Agenda Item 5: 9815 Industrial Drive, building one | Jace Hellman, Community Development Director**

Mr. Hellman presented the Design Review application. Mr. Hellman explained that there was discrepancy between the rendering and the architectural elevations. The rendering depicted a different colored siding was shown as the skirting around the bottom portion of the building while the architectural elevations showed a stone wainscot. Mr. Hellman stated that the applicant confirmed the architectural elevation was the correct depiction. Mr. Hellman provided a sample of the stone wainscot to the Planning and Zoning Commission. Mr. Hellman explained that only one building was proposed at this time.

Commissioner Beaton motioned to recommend approval of the Design Review for 9815 Industrial Drive. Seconded by Commissioner Hochhalter. All in favor, none opposed. Motion carried.

**Agenda Item 6: Adjournment at 6:24 p.m.**



**CITY OF HORACE:  
PLANNING COMMISSION  
STAFF REPORT**

## City of Horace Commission Staff Report

<b>Entitlements Requested:</b>	Subdivision	Zone Change	Design Review	Conditional Use	Variance	Lot Spilt	Other
<b>Title:</b>	109 Apple Ln. Variance	<b>Commission Date:</b>	10/11/2022	<b>Application Number:</b>	CD-2022-23		
<b>Parcel Number:</b>	15220000260010		<b>Staff Contact:</b>		Jace Hellman		
<b>Owner(s)/Applicant:</b>	Rick & Amy Meidinger		<b>Applicant Contact</b>		meiding@firehawknetworks.com		

### Purpose

The applicant requests a variance from the Horace City Code 17.3.8 (4) to allow an accessory structure to be built in the front yard setback.

### Statement of Fact

Future Land Use Map Classification	The property is currently designated as Suburban
Existing Land Use	Single-Family Home
Current Zoning	Residential Estate (R-E)
Area Size	0.65 acres
Adjacent Zoning Districts	North: R-E (Residential Estate); East: R-1 (Single Family Residential); South: R-E (Residential Estate); West: R-E (Residential Estate)
Land Dedication Requirements	None (Existing Residential Subdivision)

### Consistency with Comprehensive Plan and Future Land Use Map

The proposed application is consistent with the Comprehensive Plan. There are no requests to 109 Apple Ln. The current zone of the property is Residential Estate, which is compliant with the Future Land Use Map designation of Suburban.

### Discussion and Observation

The applicant is requesting a variance from Horace City Code 17.3.8 (4), which states, "No accessory structure other than fence or wall shall be located in the front or street side setback". It is the applicant's intent to build a detached garage, approximately 20 ft from the front property line (approximately 40 ft from the road). The applicant did receive a building permit in 2019 in order to build the garage approximately 8 ft from the property line, however, that permit has expired. Following review of City records, staff was unable to determine why the permit was approved in 2019, as it was not compliant with City's ordinance at that time.

The applicant has cited accessibility, distance of potential driveway, limits to aiding in street clearing and overall cost as unnecessary hardships that would occur if strict interpretation of the ordinance is applied. Several of the reasons that were stated are not specific to this property and would be required by many of the other properties zoned R-E within the City. Staff's interpretation is that a hardship must be more than preference or



cost to comply with the standard. Following review of the application and site, staff is unable to identify the unnecessary hardship, such as site and topographical constraints, property shape or location, that would prohibit the applicant's ability to place a garage outside of the front yard setback established for the R-E District, and for that reason staff unable recommend approval of the proposed variance application.

Additionally, staff would note that the garage is proposed to be approximately 1,008 square feet, Horace City Code 17.3.8 (13) allows for accessory structures to be a maximum of 840 SF on properties between 8,401 square feet and 32,670 square feet, If the variance for front yard setback was to be granted, a building permit should not be issued as proposed due to the size of the structure.

#### **Recommendation**

To accept the findings and recommendations of the staff report and recommend denial of the 109 Apple Lane Variance to the City Council.

#### **Attachments**

1. Variance Application
2. Aerial Map
3. Current Building Permit
4. 2019 Building Permit (Expired)



COMMUNITY DEVELOPMENT DEPARTMENT  
215 PARK DRIVE EAST  
HORACE, NORTH DAKOTA 58047  
PHONE: 701.492-2972  
E-MAIL: bvoigt@cityofhorace.com  
www.cityofhorace.com

**APPLICATION DATE**

(mo/day/year)

## VARIANCE APPLICATION

### 1 PROPERTY OWNER INFORMATION

NAME (PRINTED): Rick / Amy Meidinger

ADDRESS: 109 Apple Ln

PRIMARY PHONE: 701-238-4966 (Rick)

ALTERNATIVE PHONE: 701-552-1234 (Amy)

EMAIL: meiding@firehawknetworks.com

### 2 REPRESENTATIVE INFORMATION (DEVELOPER, SURVEYOR, ENGINEER)

NAME (PRINTED): N/A

ADDRESS:

PRIMARY PHONE:

ALTERNATIVE PHONE:

EMAIL:

### 3 PROPERTY DETAILS

LEGAL DESCRIPTION:

ADDRESS:

CURRENT ZONING:

PROPOSED LAND USE:



- 4** PLEASE EXPLAIN THE FOLLOWING: How special conditions and circumstances exist which are peculiar to the premises and which are not applicable to other premises in the same zoning district.
- 

Attached letter.

- 5** PLEASE EXPLAIN THE FOLLOWING: How the literal interpretation of this ordinance would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district.
- 

Attached.



6

**PLEASE EXPLAIN THE FOLLOWING:** How the special conditions and circumstances have not resulted from actions of the applicant.

---

*Attached.*

7

**PLEASE EXPLAIN THE FOLLOWING:** How the granting the variance requested will not confer upon the applicant any special privileges that are denied by this ordinance to other premises.

---

*Attached.*



8

**PLEASE EXPLAIN THE FOLLOWING:** How the variance is the minimum which would make possible a reasonable use of the premises.

---

Attached.

9

**PLEASE EXPLAIN THE FOLLOWING:** How the granting of a variance will be in harmony with the general purpose of this ordinance and will not be injurious to the surrounding premises, neighborhood or the city and will not be contrary to the most current

---

Attached.



**10** PLEASE EXPLAIN THE FOLLOWING: How there is practical difficulty or unnecessary hardship in use of the premises if the strict application of the regulations are to be carried out.

Attached.

**11** SIGNATURE

Dirk Weitzman Amy Hidingen

OWNER SIGNATURE

8/30/2022

DATE

\_\_\_\_\_  
REPRESENTATIVE SIGNATURE

\_\_\_\_\_  
DATE

**VARIANCE FEE SCHEDULE**

VARIANCE FEE —\$325.00

DATE FEE PAID: 9/12/2022

**NOTE:** A NONREFUNDABLE FILING FEE MUST BE ACCOMPANIED WITH THE APPLICATION AT TIME OF SUBMITTAL MADE PAYABLE TO THE CITY OF HORACE.

ACKNOWLEDGEMENT: WE HEREBY ACKNOWLEDGE THAT THAT THE ABOVE INFORMATION IS TRUE AND COMPLETE TO THE BEST OF OUR KNOWLEDGE AND THAT THE PRIMARY CONTACT NAMED ABOVE WILL BE CONTACTED IF ANY QUESTIONS ARISE AND WHEN THE PLAT HAS BEEN APPROVED AND APPROPRIATE COPIES ARE READY FOR RECORDING.

**4. PLEASE EXPLAIN THE FOLLOWING: How special conditions and circumstances exist which are peculiar to the premises and which are not applicable to other premises in the same zoning district.**

Our original permit for this structure, which allowed the structure to be set back 8 feet from the property line, was approved August 5, 2019 (copy of the original permit is attached).

We were unable to arrange a contractor for 2019, as it was late in the season. With the onset of the pandemic in March 2020, we could not get a contractor to even return our phone calls until this summer as this is considered "too small a job" to prioritize.

We have not modified our property since the approval of our initial permit allowing placement of the structure 8 feet from the property line.

There are very limited options for where to put this structure on our particular property, as lot size and positioning of dwellings on properties is variable within the Fradet orchard (i.e., less "cookie cutter" than in many developments). We ask that the variability and the unique characteristics of *this specific* property, as well as likelihood of return on investment for this enhancement and property resale, and the prior approval of the structure, that variance be granted to put the structure closer to the property line than 50 feet.

*Simply put, the property will look far better if it is not in the middle of the yard, but rather set closer to the property line as was originally approved.*

**5. PLEASE EXPLAIN THE FOLLOWING: How the literal interpretation of this ordinance would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district.**

We understand the need for general guidelines for purposes of safety and maintaining reasonable visual appearance for the neighborhood. We also believe that given the variability in property layout, size, and functionality that exists among various plats within the Fradet subdivision, that it seems only reasonable to exercise discretion to avoid unsightly layouts that the ordinances were meant to prevent (above and beyond ensuring safety).

The structure as mandated will place the structure in the line of sight of our master bedroom.

The structure as mandated by ordinances will also be in the main line of sight for our neighbors to the west, Tim and Nancy Moore, who from their deck would see the structure rather than the ash trees. If placed closer to the southern property line as we propose, the structure would block their view to the road which is what they would prefer. Tim and Nancy have stated they are happy to take a phone call from the city to verify this. Their preferred phone number is 701-261-0552.

Placing the structure 50 feet back from the property line, in what is essentially almost the middle of our property, decreases accessibility. Getting any sort of motorized vehicle in/out of the structure will mean (a) cleaning a 50+ foot driveway in winter or not having full use of the structure part of the year, (b) having an unsightly 50+ft driveway through our yard (which is potential resale issue) as it will look like a landing strip, (c) driving across our grass in the summer, if we opt not to put in a driveway which will be less visually appealing than our well-kept lawn with a nicely built garage set <50 feet back from the



property line, and (d) will make it more difficult to use our equipment to aid in street clearing (as we occasionally do, during bad storms) if the equipment is kept in that structure.

Placing the structure 50 ft back from the property line (with the driveway, whether gravel, asphalt, or concrete) going to look like a landing strip running through the yard. This ruins the aesthetic for not only our property, but that of our neighbors to the west. At the point that we sell our home, we can imagine potential buyers of the property saying to the realtor, "What were they thinking putting a garage in direct view from the master bedroom suite?" because it's what we would ask in the same situation. If this is at all in question from the outer view of the property, we would be happy to allow access to our home to see this firsthand.

The health of the ash trees may also suffer from the garage being placed back 50 ft., blocking sunlight. These are very old, well established trees that we have invested money in to preserve for the visual appeal of our yard and the neighborhood, especially since many of the residents in the neighborhood have been reducing rather than planting trees that beautify the neighborhood. Homes and neighborhoods with well-established trees are more desirable and bring higher prices.

We suggest that the ordinances are meant to enhance, not diminish the appeal and functionality of the property. Placing this structure 50 feet in from the property line challenges both visual appeal and functionality.

**6. PLEASE EXPLAIN THE FOLLOWING: How the special conditions and circumstances have not resulted from actions of the applicant.**

We haven't done anything different from when this permit application was approved in 2019, other than to submit for renewal with a request for more than the 8 feet set in that we previously had approval for. We have done nothing to change the landscape or property since the initial approval.

**7. PLEASE EXPLAIN THE FOLLOWING: How the granting the variance requested will not confer upon the applicant any special privileges that are denied by this ordinance to other premises.**

Any other resident can pursue the same process we are pursuing. We (both Rick and Amy) are business owners in the community but have no personal or professional conflicts of interest with anyone associated with this process or members of the City Council.

**8. PLEASE EXPLAIN THE FOLLOWING: How the variance is the minimum which would make possible a reasonable use of the premises.**

Please refer to the response to #5, paragraph 4, regarding the functionality of what is being required currently versus what was previously approved.

**9. PLEASE EXPLAIN THE FOLLOWING: How the granting of a variance will be in harmony with the general purpose of this ordinance and will not be injurious to the surrounding premises, neighborhood or the city and will not be contrary to the most current (...)**

Granting placement of the structure closer to the property line will create better functionality and better aesthetics for not only our home, but the neighbors to the west, and will have no substantial



consequence with respect to street view. Our trees will have more room to remain healthy and preserved, which is good for the neighborhood, and our view from within the home. Neighborhoods with established trees bring better property values. The structure will be well built from the foundation up, as we have zero interest in expending this much capital (building costs have increased substantially with the pandemic) on something that will be an eyesore, be poorly functional, would blow away in a windstorm and damage either our property or that of our neighbors, or will diminish our property value (because of being unsightly and/or diminishing the view from within the dwelling).

This structure being built is also to the benefit of the City, as it enhances our property value thus increasing taxable income for the City. It makes for a more desirable property at a time when smaller lot sizes for new construction could not support such an enhancement.

**10. PLEASE EXPLAIN THE FOLLOWING: How there is practical difficulty or unnecessary hardship in use of the premises if the strict application of the regulations are to be carried out.**

Placing the structure 50 feet back from the property line, in what is essentially almost the middle of our property, decreases accessibility. Getting any sort of motorized vehicle in/out of the structure will mean (a) cleaning a 50+ foot driveway in winter or not having full use of the structure part of the year, (b) having an unsightly 50+ft driveway through our yard (which is potential resale issue) as it will look like a landing strip, (c) driving across our grass in the summer, if we opt not to put in a driveway which will be less visually appealing than a nice lawn with a well-cared for shed set closer to the property line, and (d) will make it more difficult to use our equipment to aid in street clearing (as we occasionally do, during bad storms) if the equipment is kept in that structure. We assert that the garage is a greater enhancement if it is less obtrusive (and closer to the property line as originally approved) than seated 50 feet in from the property line. The cost of this structure has gone up substantially since we initially got the permit and intended to build. It has taken 2 ½ years to get a contractor willing to do such a small project. The added cost of 50 feet of driveway adds further cost and is burdensome.

We want to stay in this home for years, but there also needs to be reasonable return on investment and this 50 foot requirement is a significant challenge to this cost-benefit calculation. We feel it is important for the City to balance ordinances with flexibility and growth opportunity.

**We respectfully request approval of this variance to accommodate placement of the structure 20 feet back from the property line (about 40 feet back from the road). This exceeds our initial approval which granted an 8 foot set back from the property line.**

We are happy to address any questions or clarify information provided in this request, or to arrange for firsthand appraisal of our claims regarding line of sight by allowing access to our home.

Sincerely,

Rick and Amy Meidinger





109 Apple Lane, Horace, ND 58047  
Variance Application





## ABP2019-007 Accessory Building Over 120sqft

Contact ([mailto:KAsheim@cityofhorace.com?subject=\[Permit %23ABP2019-007\]](mailto:KAsheim@cityofhorace.com?subject=[Permit %23ABP2019-007]))

Address:	Status:	Submitted: 7/26/2019	Inspections:	Due Now:
109 APPLE LN	Issued	Approved: 8/5/2019	Required: 6	<b>\$0<sup>0</sup></b>
HORACE, ND 58047		Issued: 8/6/2019	Requested: 0	Additional
Parcel		Closed:	Reinspect: 0	fees may be
#: 15-2200-00260-010		Expired: 8/5/2020	Complete: 0	required
Project:				
Garage to store tractor and car				

## Contacts

Owner of Record:	AMY L & RICK A MEIDINGER 109 APPLE LN HORACE, ND 58047
Submitter of the Application:	Rick Meidinger 109 Apple Ln Horace, ND 58047 701-238-4986

## Details

Describe Work:	Garage not attached to house
Structure Valuation \$:	16000
Contractor Name:	
Contractor License Number:	
Type of Construction:	Wood Frame
Side Set-Back ft:	8
Back Set-Back ft:	30
Front Set-Back ft:	8
Building Depth ft:	28
Building Width ft:	26
Foundation Type:	POURED CONCRETE NON-FLOOD PROOF
Building Height ft:	18
Special Flood Hazard:	NO
Powered by SmartGov, © 2011 - 2022 Brightly Software, Inc. ( <a href="http://www.smartgovcommunity.com">http://www.smartgovcommunity.com</a> )	
Flood Protection Elevation:	N/A

## Parcels

Parcel(s) associated with your permit.

Parcel	Owner	Address
15-2200-00260-010 (/Parcels/ParcelDetail/Index/57c16e65-2851-400f-aeb9-aa6c004fa2b3)	AMY L & RICK A MEIDINGER	109 APPLE LN HORACE, ND 58047

## Submittals

Additional documentation is needed for your application. At least one document must be uploaded for each requirement for this section to be considered complete. Please check to ensure you've included all the information requested.

Submittal	Required	Received	Version	Status	
Construction Prints	Yes	7/31/2019	1	In Review	1 Files (/Cases /CaseSubmittalVersionItems /Index/5eac0bd8-ff29-4897- a11e-aa960119d01b)
Project site plan showing proposed building setbacks and driveway location	Yes	7/31/2019	1	In Review	1 Files (/Cases /CaseSubmittalVersionItems /Index/16d2d719- c25d-440d-aebe- aa960119d01b)
FEMA Dynamic Map/FIRMette	Yes	7/29/2019	1	In Review	1 Files (/Cases /CaseSubmittalVersionItems /Index/66a59b23- d43a-487f-a856- aa960119d01b)

## Approval Steps

Follow your application through the approval process.

Step	Status	Date
Application	Approved	8/5/2019
Review FIRM Map	Approved	8/5/2019
Review Driveway Plan	Approved	8/5/2019
Review Construction Prints	Approved	8/5/2019

## Inspections

Permit has EXPIRED. Inspections cannot be scheduled.

	Date	Status
Footing		
Foundation Wall		
Waterproofing/Damp Proofing		
Framing		
Energy		

Final

### Conditions

I hereby certify that I have read and examined this application and know the same to be true and correct. All provisions of laws and ordinances governing this type of work will be complied with whether specified herein or not, the granting of a permit does not presume to give authority to violate or cancel the provisions of any other state or local law regulation construction or the performance of construction.

Separate permit becomes null and void if work or construction authorized is not commenced within 120 days, or if construction or work is suspended or abandoned for a period of 120 days at any time after work is commenced.

Work must be completed within one-year of issuance of application approval or permit expires

REVISION	BY

2139 W. Main Ave.  
Westerville, OH 43081  
(614) 770-2700



**Gateway**  
Building Systems Inc.

Commercial / Retail  
Construction Division  
Architectural Division

PROJECT: \_\_\_\_\_

ARCHITECT: \_\_\_\_\_

OWNER: \_\_\_\_\_

TELEPHONE NO.: \_\_\_\_\_

RECK M. HOSACK, MD

DRAWN BY: TSK

CHECKED BY: \_\_\_\_\_

APPROVED BY: \_\_\_\_\_

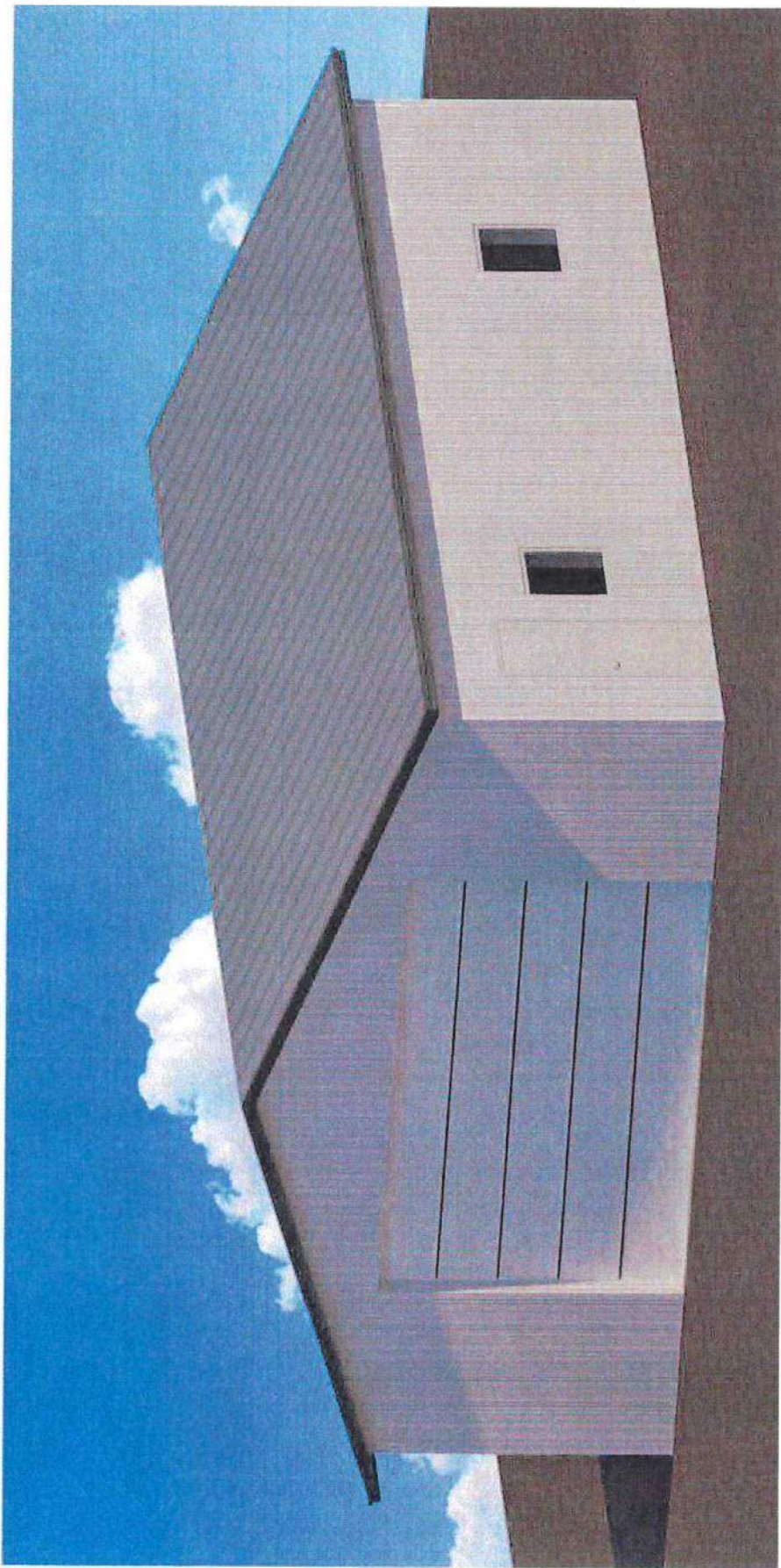
DATE: 6-10-2003

JOB NO.: \_\_\_\_\_

SHEET: \_\_\_\_\_

**A-00**

© COPYRIGHT THE DESIGN AND CONSTRUCTION PATENTS SHOWN IN THESE PLANS ARE PROTECTED BY PATENT RIGHTS. WITHIN THESE PLANS, THE DESIGN AND CONSTRUCTION PATENTS SHOWN ARE TO BE PURCHASED OR PATENTED IN WHOLE OR IN PART WITHOUT THE CONSENT OF GATEWAY BUILDING SYSTEMS, INC.



SHEET SCHEDULE	
#	NAME
A-00	TITLE PAGE
A-01	FLOOR PLAN
A-02	ELEVATIONS

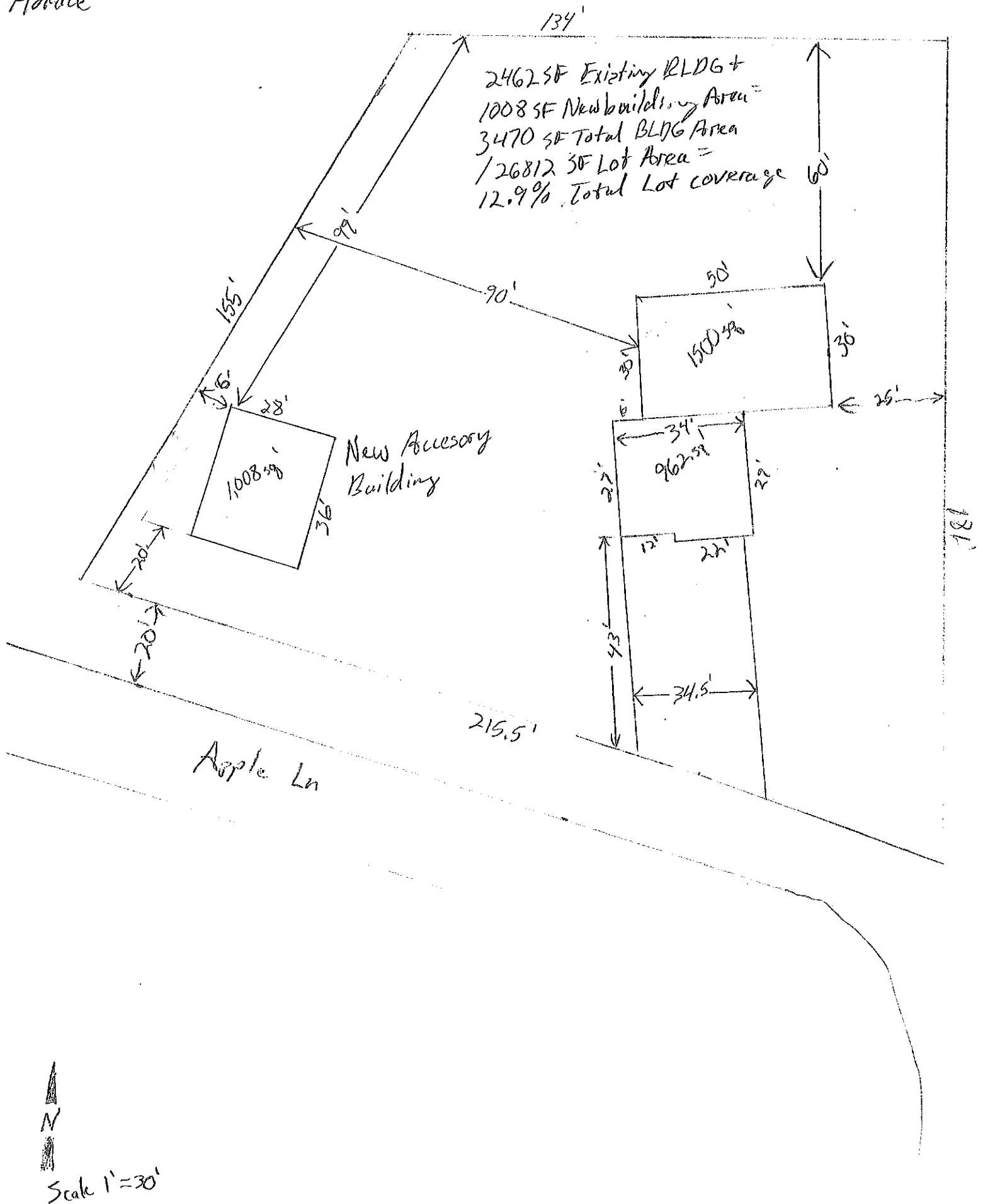


TITLE PAGE





Rick & Amy Meidinger  
109 Apple Ln  
Horace







7/3/2019



## City of Horace

600 Nelson Drive  
Horace, ND 58047  
701-282-9727

**ABP2019-007**

### Accessory Building Permit Over 160sqft

SITE ADDRESS: 109 APPLE LN

PROJECT NAME:

EXPIRES:

**PARCEL: 15-2200-00260-010**

PROJECT DESCRIPTION: Garage to store tractor and car

APPLICANT: Rick Meidinger  
109 Apple Ln  
701-238-4986

OWNER: AMY L & RICK A MEIDINGER  
109 APPLE LN  
HORACE, ND 58047

CONTRACTOR:

License:  
Expires:

#### FEES:

#### Paid

#### Due

Accessory Non-Dwelling Bldg over 160sqft

124.00

\$0.00

Total:

\$124.00

\$0.00

#### CONDITIONS

NOTE: Approval of this application by the City of Horace pertains only to the City's regulatory jurisdiction, and thus compliance with City Regulation does not necessarily ensure compliance with federal or state laws.

1. I hereby certify that I have read and examined this application and know the same to be true and correct. All provisions of laws and ordinances governing this type of work will be complied with whether specified herein or not, the granting of a permit does not presume to give authority to violate or cancel the provisions of any other state or local law regulation construction or the performance of construction.
2. Separate permit becomes null and void if work or construction authorized is not commenced within 120 days, or if construction or work is suspended or abandoned for a period of 120 days at any time after work is commenced.
3. Work must be completed within one-year of issuance of application approval or permit expires

I have read, and agree to abide by the conditions of this permit including all conditions of zoning, building codes, and State and Federal laws

Owner or Agent Signature:

*Rick Meidinger*

Date:

8/6/19

Authorized Signature:

*[Signature]*

Date: 08/06/2019

City Official

Rick Meidinger  
109 Apple Ln  
Horace ND 58047

**MENARDS**

FARGO, 1300 13TH AVENUE EAST, WEST FARGO, ND, 701-281-0100

Permit #  
73/2019

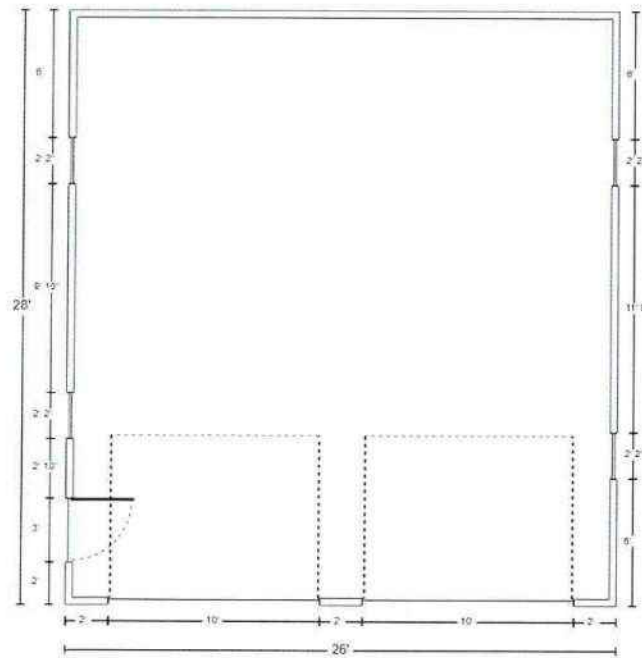
701-238-4986

## Garage Floor Plan

\*\*Illustration may not depict all selections.

Endwall A

Sidewall  
C



Sidewall  
D

Endwall B

**Design Name:** Garage Design  
**Design ID:** 303659592937  
**Date:** 07/15/2019  
**Estimate ID:** 63309

**Estimated Total Price: \$14942.66\***

\*Today's estimated price, future pricing may go up or down. Tax, labor, and delivery not included. Price does not reflect mail-in rebates.

### How to purchase at the store

1. Take this packet to any Menards store.
2. Have a building materials team member enter the design number into the Garage Estimator Search Saved Designs page.
3. Apply the design to System V to create the material list.
4. Take the purchase documents to the register and pay.

### How to recall and purchase a saved design at home

1. Go to Menards.com.
2. Select the Garage Estimator from the Project Center.
3. Select Search Saved Designs.
4. Log into your account.
5. Select the saved design to load back into the estimator.
6. Add your garage to the cart and purchase.

Floor type (concrete, dirt, gravel) is NOT included in estimated price. The floor type is used in the calculation of materials needed. Labor, foundation, steel beams, paint, electrical, heating, plumbing, and delivery are also NOT included in estimated price. This is an estimate. It is only for general price information.





FARGO, 1300 13TH AVENUE EAST, WEST FARGO, ND, 701-281-0100

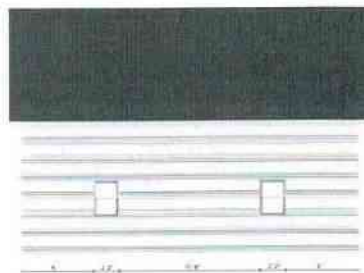
## Wall Configurations

\*Illustration may not depict all options selected.



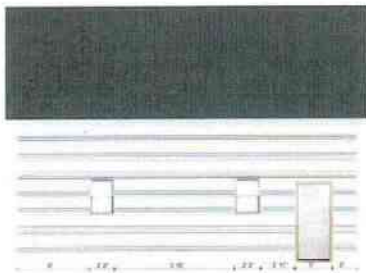
**ENDWALL B**

(2) - Ideal Door® Traditional 10' x 8' White Insulated ...



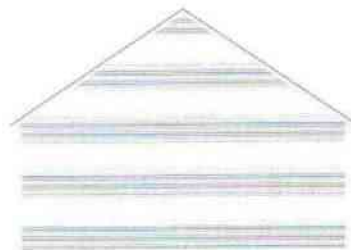
**SIDEWALL D**

(2) - JELD-WEN® 26"W x 36"H Better Series Vinyl D...



**SIDEWALL C**

(2) - JELD-WEN® 26"W x 36"H Better Series Vinyl D...  
(1) - Mastercraft® Primed Steel 6-Panel Prehung Ext...



**ENDWALL A**

**Design-It Center**  
GARAGE

Design Name: Garage Design

Design ID: 303659592937

Estimate ID: 63309



FARGO, 1300 13TH AVENUE EAST, WEST FARGO, ND, 701-281-0100

## Design Summary

Here is a summary of all your customized selections.

### Building Info:

- Roof Framing: Truss Construction
- Truss Type: Gable Room in attic
- Pitch: 8/12 Pitch
- Framing Size: 2" x 6"
- Width: 26'
- Length: 28'
- Height: 12'
- Gable Overhang: 1'
- Eave Overhang: 1'
- Block Option: None
- Room Size: 6'6" x 12'

### Roof Info:

- Garage Roof Sheathing: 1/2" OSB (Oriented Strand Board)
- Roofing Material Type: Exposed Fastener Steel Panel
- Garage Roofing: Cut to Length Pro-Rib Steel Panel
- Roofing Color: Burnished Slate
- Roof Underlayment: FT Synthetics Gold Synthetic Roofing Underlayment 48" X 250' (1000 sq. ft.)
- Ice and Water Barrier: Owens Corning® WeatherLock® G Granulated Self-Sealing Ice and Water Barrier 3' x 66.7" (200 sq. ft. )
- Garage Fascia Type: Steel Fascia
- Garage Fascia: 12' Steel L-6 Fascia
- Fascia Color: White
- Garage Soffit Type: Steel Soffit
- Garage Soffit: Steel Vented Soffit Panel
- Soffit Color: White

### Additional Options:

- Wall Finish: 1/2" Lightweight Drywall
- Truss Fastener: FastenMaster® TimberLOK® 5/16" x 6" Hex Drive Black Hex Head Wood Screw - 50 Count
- Ceiling Finish: 1/2" Lightweight Drywall
- Finish Area: Lower area Only
- Wall Insulation: Guardian R-19 Kraft-Faced Fiberglass Insulation 6.5" x 15" x 39.17' - 49 sq ft'
- Ceiling Insulation: Fiberglass batts
- Ceiling Insulation R Value: R38 Kraft Faced Batts
- Insulation Area: Lower area Only
- Floor: LP® TopNotch® 350 Series 3/4 x 4 x 8 Tongue-and-Groove OSB Sturd-I-Floor

### Wall Info:

- Siding Material Types: Vinyl
- Siding: ABC TO® Cedar Creek™ Double 4"
- Siding Color: White
- Accent Material Type: None
- House Wrap: Kimberly-Clark BLOCK-IT® 9'x75' House Wrap
- Gable Vents: None
- Gable Vent Color: NoColor
- Walls Sheathing: 7/16" OSB (Oriented Strand Board)

### Openings:

- Ideal Door® Traditional 10' x 8' White Insulated Garage Door with Windows: 2
- Chamberlain® 1/2 HP Chain Drive Garage Door Opener (Better): 2
- Vinyl
- White
- JELD-WEN® 26"W x 36"H Better Series Vinyl Double Hung Window with Nailing Flange: 4
- Mastercraft® Primed Steel 6-Panel Prehung Exterior Door: 1

**What's Next**

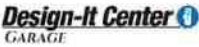
Finalized your Garage design? Great! Now it's time to set-up shipping!



If you have already set up your shipping/delivery options, please disregard this section

**Set Up Shipping**

1. If you completed the order online, check your email for a confirmation receipt and follow the directions included in it.
2. Take this printout to the Menards store location you selected (shown above).
3. Find a team member from the Building Materials department and show them your receipt and this print-out
4. Set up a time and location for delivery.



**Design Name:** Garage Design

**Design ID:** 303659592937

**Estimate ID:** 63309



FARGO, 1300 13TH AVENUE EAST, WEST FARGO, ND, 701-281-0100

## Design Material List

Please take this to your Building Materials Department at your local Menards store and ask about how you can get your materials.

Sku	Description	Quantity	Usage
1004547	26-0-0 Gable RIA 8.0/12	15	Truss
1021091	2 x 4 x 92-5/8" Pre-Cut Stud Construction/Framing Lumber	16	Attic Window Framing
1021143	2 x 4 x 16' Construction/Framing Lumber	3	Gable Overhang Framing
1021143	2 x 4 x 16' Construction/Framing Lumber	2	Lateral Brace
1021758	2 x 6 x 8' Construction/Framing Lumber	8	Windows Eave Header
1021758	2 x 6 x 8' Construction/Framing Lumber	2	Entry Door Eave Header
1021758	2 x 6 x 8' Construction/Framing Lumber	38	Attic Wall Stud
1021758	2 x 6 x 8' Construction/Framing Lumber	2	Attic Top Plate
1021758	2 x 6 x 8' Construction/Framing Lumber	1	Attic Bottom Plate
1021758	2 x 6 x 8' Construction/Framing Lumber	2	Door Track Framing
1021761	2 x 6 x 10' Construction/Framing Lumber	4	Door Track Framing
1021774	2 x 6 x 12' Construction/Framing Lumber	129	Wall Stud
1021774	2 x 6 x 12' Construction/Framing Lumber	2	Top Plate
1021774	2 x 6 x 12' Construction/Framing Lumber	8	Door Track Framing
1021790	2 x 6 x 16' Construction/Framing Lumber	2	Attic Top Plate
1021790	2 x 6 x 16' Construction/Framing Lumber	1	Attic Bottom Plate
1021790	2 x 6 x 16' Construction/Framing Lumber	12	Top Plate
1021790	2 x 6 x 16' Construction/Framing Lumber	8	Fascia Framing
1061048	1 3/4" x 7 1/4" x 12' LVL 1.9E	6	Overhead Door Gable Header
1111024	2 x 6 x 8' Ground Contact AC2® Green Pressure Treated Lumber	1	Bottom Plate
1111066	2 x 6 x 16' Ground Contact AC2® Green Pressure Treated Lumber	5	Bottom Plate
1242728	7/16 x 4 x 8 OSB	47	Wall Sheathing
1242809	1/2 x 4 x 8 OSB	36	Roof Sheathing
1242882	LP® TopNotch® 350 Series 3/4 x 4 x 8 Tongue-and-Groove OSB Sturd-I-Floor	11	Floor Sheathing
1311248	1/2 x 4 x 12 Lightweight Drywall	24	Interior Wall Panel
1311248	1/2 x 4 x 12 Lightweight Drywall	16	Interior Ceiling Panel
1461004	ABTCO® 1/2" Vinyl Starter Strip	9	Vinyl Starter
1461211	Cedar Creek™ Double 4" x 12' 6" White Vinyl Siding	177	Siding
1461486	ABTCO® 10' White Outside Corner Trim	5	Outside Corner
1461509	ABTCO® 5/8" White Vinyl J-Channel	22	J-Trim
1461512	ABTCO® 10' White Undersill Trim	7	Undersill



Design Name: Garage Design

Design ID: 303659592937

Estimate ID: 63309





FARGO, 1300 13TH AVENUE EAST, WEST FARGO, ND, 701-281-0100

SKU	Description	Quantity	Usage
1511815	FT Synthetics Gold Synthetic Roofing Underlayment 48" X 250' (1000 sq. ft.)	2	Roof Felt
1511827	Owens Corning® WeatherLock® G Granulated Self-Sealing Ice and Water Barrier 3' x 66.7" (200 sq. ft.)	2	Ice & Water Barrier
1558166	Burnished Slate Pro-Rib Steel Panel	10.608	Steel Roofing
1558595	Pro-Rib Vented Closure - 4 Panels	5	Outside Closure
1558616	Pro-Rib Inside Closure - 4 pack	5	Inside Closure
1564040	12' Residential Rake Trim	6	Steel Rake Trim
1564095	10' Roof Edge	6	Steel Roof Edge
1564228	10' Residential Ridge Cap 6/12 Pitch	3	Steel Ridge Cap
1564309	16" x 1' White Vented Steel Soffit	90	Soffit
1564341	12' White Steel Frieze Starter	11	Soffit J-Trim
1564587	12' White Steel L-6 Fascia	22	Fascia
1571664	Grip Fast® 1-1/4" White Aluminum Trim Nail - 1 lb. Box	1	Door Stop Fasteners
1611605	Plymouth Foam 5-1/2" x 50' Foam Sill Sealer	2	Sill Seal
1611744	ADO Products Durovent® 22" x 48" Polystyrene Attic Vent Chute	14	Vent Chute
1612996	Kimberly-Clark BLOCK-IT® 9' x 75' House Wrap	3	House Wrap
1613222	1.88 inches wide x 54.6 yards long Red Sheathing Tape	1	House Wrap Tape
1616102	Guardian R-19 Kraft Faced Fiberglass Insulation Roll 15" x 39.17' (49 sq. ft.)	23	Wall Insulation
1616222	Guardian R-38 Kraft Faced Fiberglass Insulation Batt 24" x 48" (64 sq. ft.)	12	Ceiling Insulation
1917684	How to Build a Garage Plan - Building Plans Only	1	Building Plan
2271617	MTek® 24" O.C. Multi-Unit Truss Spacer	6	Truss Spacer
2293672	Grip Fast® 1-1/2" Vinyl Siding Nail - 2 lb. Box	5	Siding Fasteners
2295347	Grip Fast® 2-1/2" 8D Vinyl-Coated Smooth Shank Sinker Nail - 5 lb. Box	9	Sheathing Fasteners
2296223	Grip Fast® #8 x 1-5/8" Square Drive Coarse Thread Drywall Screw - 5 lb. Box	8	Drywall Screws
2300042	FastenMaster® TimberLOK® 5/16" x 6" Hex Drive Black Hex Head Wood Screw - 50 Count	1	Truss Fastener
2300106	FastenMaster® FlatLOK® #40 x 5" Star Drive Red Flat Head Wood Screw - 50 Count	1	Header Fastener
2301613	Pro-Grip #10 x 1" Wood Grip Hex Drive Burnished Slate Pole Barn Screw - 1 lb	2	Steel Trim Fasteners
2301613	Pro-Grip #10 x 1" Wood Grip Hex Drive Burnished Slate Pole Barn Screw - 1 lb	2	Roof Steel Fastener
2301626	Pro-Grip #10 x 1" Wood Grip Hex Drive Burnished Slate Pole Barn Screw - 5 lb	1	Roof Steel Fastener
2301671	Pro-Grip #10 x 2" Wood Grip Hex Drive Burnished Slate Pole Barn Screw - 1 lb	2	Ridge Cap Fastener
2329028	Grip Fast® 1/2" x 10" Hot Dipped Galvanized Anchor Bolt w/ Nut & Washer - 25 Count	1	Anchor Bolts
4045400	JELD-WEN® Better Series 26" W x 36-1/2" H Vinyl Double Hung Window - White/White	4	Window



Design Name: Garage Design

Design ID: 303659592937

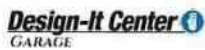
Estimate ID: 63309





FARGO, 1300 13TH AVENUE EAST, WEST FARGO, ND, 701-281-0100

Sku	Description	Quantity	Usage
4140347	Mastercraft® Embossed 36" W x 80" H Primed Steel 6-Panel Exterior Door System with 6-9/16" Frame - Left Inswing	1	Service Door
4171635	Royal® Building Products 7/16" x 2" x 9' White PVC Garage Door Stop	4	Door Stop Vertical
4171664	Royal® Building Products 7/16" x 2" x 16' White PVC Garage Door Stop	2	Door Stop Horizontal
4179381	Royal® Building Products 11/16" x 5-13/16" x 10' White PVC Jamb Trim	4	Jamb Trim Vertical
4179381	Royal® Building Products 11/16" x 5-13/16" x 10' White PVC Jamb Trim	2	Jamb Trim Horizontal
4179721	Royal® Building Products 1-1/4" x 2" x 8' White PVC Brickmould	4	Brick Moulding Vertical
4179734	Royal® Building Products 1-1/4" x 2" x 10' White PVC Brickmould	2	Brick Moulding Horizontal
4251031	Chamberlain® 1/2 HP Chain Drive Garage Door Opener (Better)	2	Overhead Door Opener
4251088	Ideal Door® Overhead Garage Door Track Angle Iron Hanging Kit	2	Overhead Door Hardware
4251111	Ideal Door® 2-1/4" x 10' Steel Horizontal Garage Door Support Strut	2	Overhead Door Struts
4251602	Xtreme Garage® Garage Door Opener Hanging Kit	2	Overhead Door Hanging Kit
4252541	Chamberlain® 8 ft Chain Drive Garage Door Opener Extension Kit	2	Overhead Door Opener Extension
4254510	Ideal Door® Traditional 10' x 8' White Insulated Garage Door with Windows (R-Value 6.5)	2	Overhead Door
4334206	Nelson 6" Pine Shims - 9-pack	3	Opening Shim
4364500	Tite Seal™ Self-Adhesive Asphalt Window Flashing Tape 1-Roll 4" x 33'	2	Opening Flashing
4364550	Tite Seal™ Foam Self-Adhesive Threshold Sealer 1-Roll 5.5" x 42"	1	Service Door Sealer
4400207	Tru-Bolt® Madison Entry Combo - Knob - Satin Chrome	1	Service Door Lock
5634342	White Lightning™ Window & Door Silicone Rubber Clear Sealant - 9 oz	2	Opening Caulk
5634342	White Lightning™ Window & Door Silicone Rubber Clear Sealant - 9 oz	2	Overhead Door Trim Caulk



Design Name: Garage Design

Design ID: 303659592937

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FARGO, 1300 13TH AVENUE EAST, WEST FARGO, ND, 701-281-0100

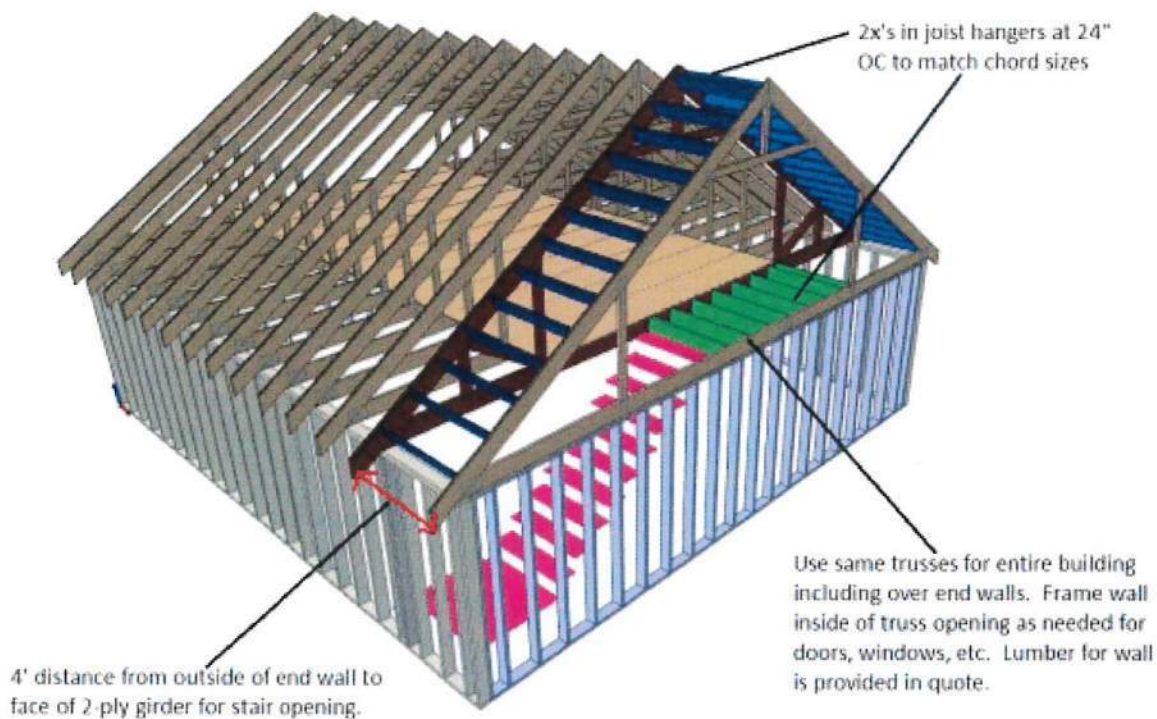
## Helpful Hints for Gable Room In Attic Garage Construction

- Trusses CANNOT be cut, modified, or drilled into.

- 40# Per Square Foot live load in room area only.



- Trusses included in this estimate will have 12" overhangs. Overhangs can be trimmed back as needed.
- Span and/or pitch may require trusses to be built in 2 parts, assemble at jobsite.
- Additional truss designs are also available, including trusses with no overhangs, additional room sizes and more. See a building materials team member for more information about truss design and overhang framing detail.
- For Stair Construction:
  1. Stairway for this estimate is located next to and parallel with one of the end walls.
  2. Stairway opening will require a 2-ply girder truss located 4' from outside of end wall to face of girder. Girder is plied on site by nailing 2 Room In Attic trusses together using the following nailing pattern: 10d nails at 9" OC, 2 staggered rows on chords, 1 row on webs.
  3. Hand frame roof and floor at stair area with lumber that matches Top and Bottom chords.
  4. Do not place a truss between end wall and 2-ply girder, leave open for stairs.
  5. Use same trusses over end walls as are used for main part of building. Lumber included in this estimate to frame in plates and studs for walls at each end of room area. Using regular trusses over end walls makes it easier to install wiring, insulation, doors, and windows. Specify if walls at each end are to be 2x4 or 2x6.



**Design-It Center**  
GARAGE

Design Name: Garage Design

Design ID: 303659592937

Estimate ID: 63309



Apple / n

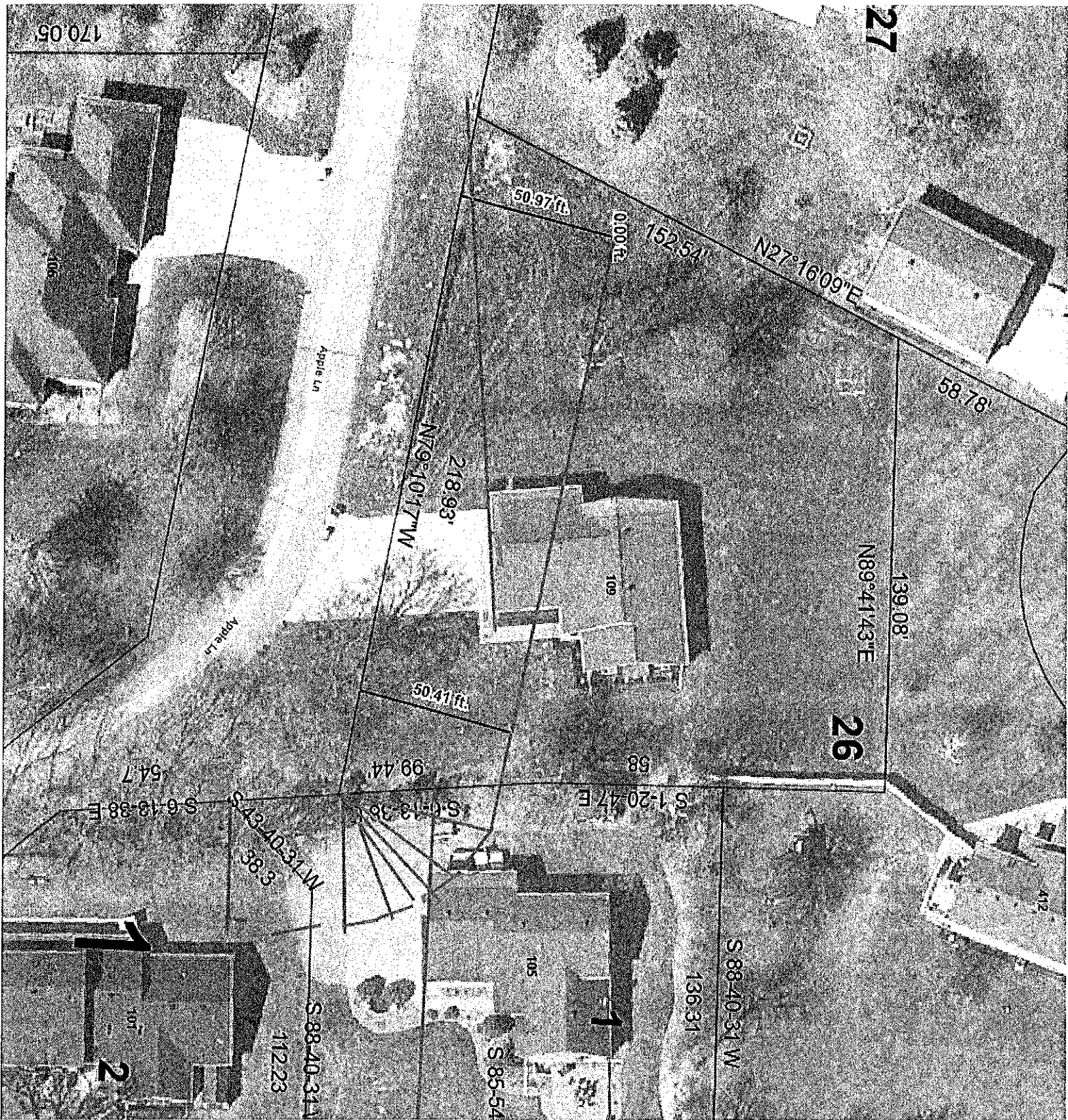


affic and nearby places



Apple Ln







**CITY OF HORACE:  
PLANNING COMMISSION  
STAFF REPORT**

## City of Horace Commission Staff Report

Entitlements Requested:	Subdivision	Zone Change	Design Review	Conditional Use	Variance	Lot Spilt	Other
Title:	Ryan Brothers Conditional Use Permit	Commission Date:	10/11/2022	Application Number:	CD-2022-24		
Parcel Number:	15095000220000		Staff Contact:		Jace Hellman		
Owner(s):	Ryan Brothers Inc.		Applicant Contact:		Cal@ryanbrothers.biz		
Representative:	Thor Buildings		Representative Contact:		Thad@Thorbuildings.com		

### Purpose

The applicant requests is requesting a Conditional Use Permit in order to operate a Plumbing and HVAC office and shop within the C-3 zoning district. The subject site is located 1030 5<sup>th</sup> St E, Horace, ND 58047.

### Statement of Fact

Future Land Use Map Classification	The property is currently designated as Industrial
Existing Land Use	Vacant lot within existing subdivision
Current Zoning	General Commercial (C-3)
Area Size	1.55 acres
Adjacent Zoning Districts	North: C-3 (General Commercial); East: C-3 (General Commercial); South: A (Agricultural); West: C-3 (General Commercial)
Land Dedication Requirements	None (Existing Industrial/Commercial Subdivision)

### Consistency with Comprehensive Plan and Future Land Use Map

The proposed application is consistent with the Comprehensive Plan. There are no requests to rezone 1030 5<sup>th</sup> St. E. The current zone of the property is C-3, which is compliant with the Future Land Use Map designation of Industrial.

### Discussion and Observation

The applicant is requesting a Conditional Use Permit in order to operate a plumbing and HVAC office and shop. The office portion of the building is proposed to be approximately 1,965 square feet and the shop is approximately 4,900 square feet. Per the submitted application, all plumbing and HVAC equipment/material will be store inside the building, staff would recommend as a part of the Conditional Use Permit approval, that a condition of approval be included directing the same.

The proposed use is harmonious with several of the existing uses in the area, some of which have also received a Conditional Use Permit in order to operate their business. Staff would recommend that the Planning and

Zoning Commission recommend approval of the proposed Conditional Permit with the condition that all plumbing and HVAC equipment/material be stored within the proposed building.

#### **Recommendation**

To accept the findings and recommendations of the staff report and recommend approval of the Ryan Brothers Inc. Conditional Use Permit to the City Council subject to the following condition of approval:

- All plumbing and HVAC equipment/material shall be stored within the proposed building.

#### **Attachments**

1. CUP Application
2. Aerial Map
3. Site Plan





COMMUNITY DEVELOPMENT DEPARTMENT  
215 PARK DRIVE EAST  
HORACE, NORTH DAKOTA 58047  
PHONE: 701.492-2972  
E-MAIL: bvoigt@cityofhorace.com  
www.cityofhorace.com

## APPLICATION DATE

(mo/day/year) 9/16/22

# CONDITIONAL USE PERMIT APPLICATION

## 1 PROPERTY OWNER INFORMATION

NAME (PRINTED): Ryan Brothers Inc.

ADDRESS: PO Box 427, West Fargo, ND 58078

PRIMARY PHONE: 701-490-1555 - Cal

ALTERNATIVE PHONE: 701-490-1558 - Casey

EMAIL: Cal @ ryanbrothers.biz

## 2 REPRESENTATIVE INFORMATION (DEVELOPER, SURVEYOR, ENGINEER)

NAME (PRINTED): Thor Buildings

ADDRESS: 1218 55 St. North

PRIMARY PHONE: 701-800-8467 - Thad

ALTERNATIVE PHONE:

EMAIL: thad@thorbuildings.com

## 3 PROPERTY DETAILS

LEGAL DESCRIPTION: Lot 8, in Block 3, Visto Industrial 3rd Addition, City of Horace

ADDRESS: 1030 5 St. East, Horace, ND 58047

CURRENT ZONING: C-3

PROPOSED LAND USE: Office and Shop Building



4 PLEASE EXPLAIN THE FOLLOWING: How the establishment, maintenance or operation of the conditional use will not be detrimental to or endanger the public health, safety, morals, comfort or general welfare of the citizens of Horace.

---

Building to be used as an office and to store plumbing and HVAC equipment/material needed for the daily requirements of the business.

5 PLEASE EXPLAIN THE FOLLOWING: How the uses, values and enjoyment of other property in the area for purposes already permitted shall be in no foreseeable manner substantially impaired or diminished by the establishment, maintenance or operation of the conditional use.

---

Property will be kept clean and organized. All plumbing and HVAC equipment/material will be stored inside the building.

**6 PLEASE EXPLAIN THE FOLLOWING:** How the establishment of the conditional use will not impede the normal and orderly development and improvement of the surrounding properties for uses permitted in the district.

---

Building and surrounding property will be kept clean and organized with no material stored outside.

**7 PLEASE EXPLAIN THE FOLLOWING:** How adequate utilities, access roads, drainage and other necessary site improvements have been or are being provided.

---

MBN Engineering has designed the civil plans for this property to meet all of the necessary code requirements.



**8 PLEASE EXPLAIN THE FOLLOWING:** How adequate measures have been or will be taken to provide ingress and egress so designed as to minimize traffic impact on the area.

---

MBN Engineering has designed the civil plans for this property to meet all of the necessary code requirements.

**9 PLEASE EXPLAIN THE FOLLOWING:** How the conditional use shall conform to all applicable regulations of the district in which it is located.

---

All required permits and inspections will be followed for the City of Horace.

## 10 BRIEF NARRATIVE DESCRIPTION OF REASON(S) FOR APPLICATION

Approval to build an office and shop building  
on land that is zoned C-3.

☐ PLEASE VERIFY THAT SITE PLAN IS SUBMITTED WITH APPLICATION TO SUPPORT NARRATIVE

## 11 SIGNATURE



OWNER SIGNATURE

9-16-22

DATE

REPRESENTATIVE SIGNATURE

DATE

### CONDITIONAL USE PERMIT FEE SCHEDULE

CONDITIONAL USE PERMIT FEE—\$325.00

DATE FEE PAID:

**NOTE:** A NONREFUNDABLE FILING FEE MUST BE ACCOMPANIED WITH THE APPLICATION AT TIME OF SUBMITTAL MADE PAYABLE TO THE CITY OF HORACE.

ACKNOWLEDGEMENT: WE HEREBY ACKNOWLEDGE THAT THAT THE ABOVE INFORMATION IS TRUE AND COMPLETE TO THE BEST OF OUR KNOWLEDGE AND THAT THE PRIMARY CONTACT NAMED ABOVE WILL BE CONTACTED IF ANY QUESTIONS ARISE AND WHEN THE PLAT HAS BEEN APPROVED AND APPROPRIATE COPIES ARE READY FOR RECORDING.





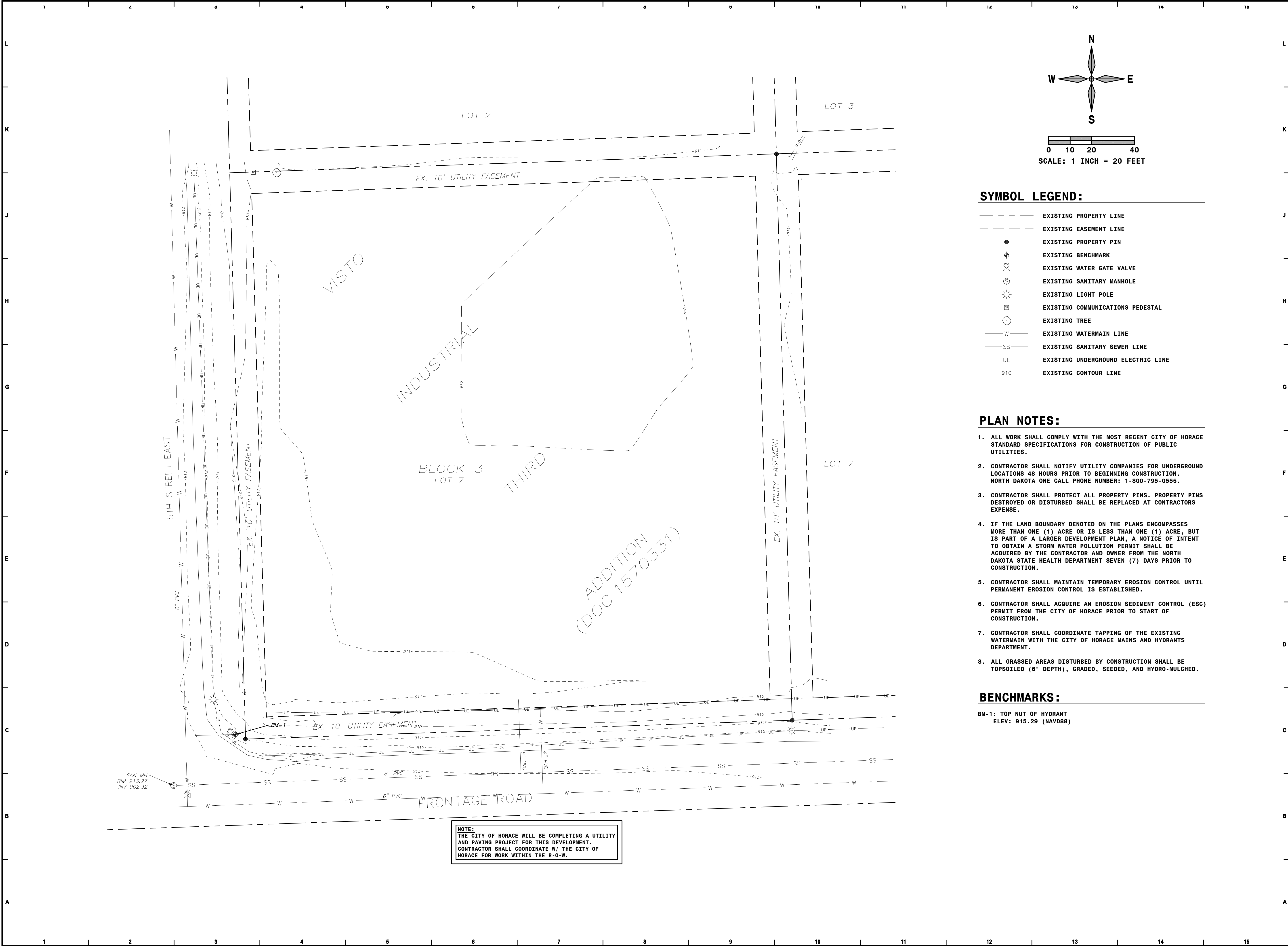
1030 5th St E, Horace, ND 58047  
Ryan Brothers Inc. Conditional Use Permit



N







RYAN BROTHER'S

THOR BUILDERS

FARGO, NORTH DAKOTA

MBN

ENGINEERING

MECHANICAL \* ELECTRICAL \* CIVIL

503 7TH ST. N, SUITE 200

FARGO, ND 58102

PHONE: 701.478.6336

FAX: 701.478.6340

KEYNOTES:

1

REVISIONS:

NO.	DATE	DESCRIPTION
1	10/06/22	CITY REVIEW

GENERAL NOTES

REGISTERED PROFESSIONAL ENGINEER

DAVID K. BUK

PE-6864

DATE 8-26-22

NORTH DAKOTA

YHR

PARTNERS

ARCHITECTURE | PLANNING

420 Main Avenue

Moorhead, Minnesota 56560

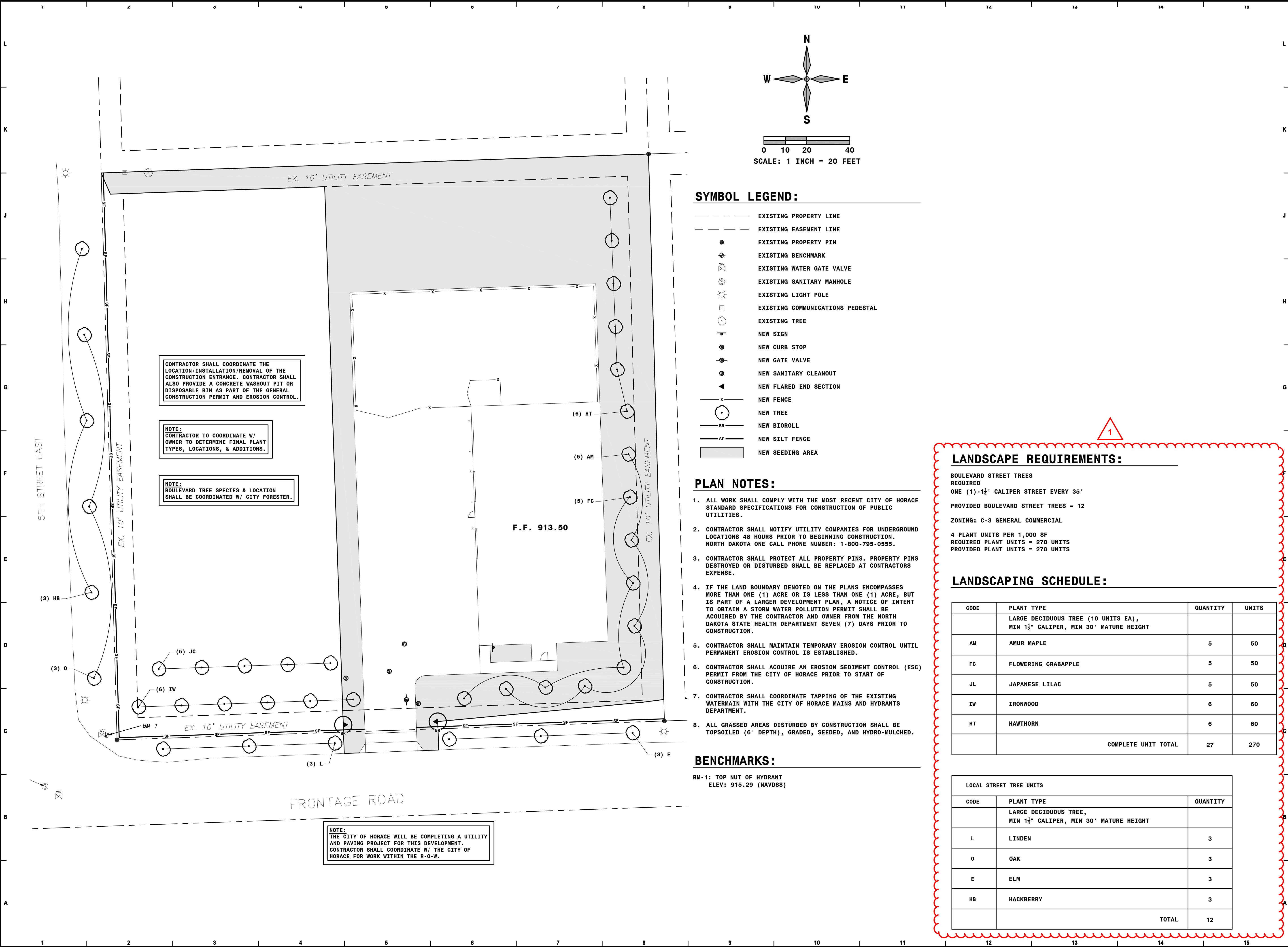
Telephone: (218)233-4422

PROJECT NUMBER: 2016-31

EXISTING CONDITIONS

C100

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SYMBOL LEGEND:

- EXISTING PROPERTY LINE
- EXISTING EASEMENT LINE
- EXISTING PROPERTY PIN
- EXISTING BENCHMARK
- EXISTING WATER GATE VALVE
- EXISTING SANITARY MANHOLE
- EXISTING LIGHT POLE
- EXISTING COMMUNICATIONS PEDESTAL
- EXISTING TREE
- NEW SIGN
- NEW CURB STOP
- NEW GATE VALVE
- NEW SANITARY CLEANOUT
- NEW FLARED END SECTION
- NEW FENCE
- NEW TREE
- NEW BIOROLL
- NEW SILT FENCE
- NEW SEEDING AREA

PLAN NOTES:

- ALL WORK SHALL COMPLY WITH THE MOST RECENT CITY OF HORACE STANDARD SPECIFICATIONS FOR CONSTRUCTION OF PUBLIC UTILITIES.
- CONTRACTOR SHALL NOTIFY UTILITY COMPANIES FOR UNDERGROUND LOCATIONS 48 HOURS PRIOR TO BEGINNING CONSTRUCTION. NORTH DAKOTA ONE CALL PHONE NUMBER: 1-800-795-0555.
- CONTRACTOR SHALL PROTECT ALL PROPERTY PINS. PROPERTY PINS DESTROYED OR DISTURBED SHALL BE REPLACED AT CONTRACTORS EXPENSE.
- IF THE LAND BOUNDARY DENOTED ON THE PLANS ENCOMPASSES MORE THAN ONE (1) ACRE OR IS LESS THAN ONE (1) ACRE, BUT IS PART OF A LARGER DEVELOPMENT PLAN, A NOTICE OF INTENT TO OBTAIN A STORM WATER POLLUTION PERMIT SHALL BE ACQUIRED BY THE CONTRACTOR AND OWNER FROM THE NORTH DAKOTA STATE HEALTH DEPARTMENT SEVEN (7) DAYS PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL MAINTAIN TEMPORARY EROSION CONTROL UNTIL PERMANENT EROSION CONTROL IS ESTABLISHED.
- CONTRACTOR SHALL ACQUIRE AN EROSION SEDIMENT CONTROL (ESC) PERMIT FROM THE CITY OF HORACE PRIOR TO START OF CONSTRUCTION.
- CONTRACTOR SHALL COORDINATE TAPPING OF THE EXISTING WATERMAIN WITH THE CITY OF HORACE MAINS AND HYDRANTS DEPARTMENT.
- ALL GRASSED AREAS DISTURBED BY CONSTRUCTION SHALL BE TOPSOILED (6" DEPTH), GRADED, SEEDED, AND HYDRO-MULCHED.

BENCHMARKS:

BM-1: TOP NUT OF HYDRANT  
ELEV: 915.29 (NAVD88)

LANDSCAPE REQUIREMENTS:

BOULEVARD STREET TREES  
REQUIRED  
ONE (1)-1½" CALIPER STREET EVERY 35'  
PROVIDED BOULEVARD STREET TREES = 12  
ZONING: C-3 GENERAL COMMERCIAL  
4 PLANT UNITS PER 1,000 SF  
REQUIRED PLANT UNITS = 270 UNITS  
PROVIDED PLANT UNITS = 270 UNITS

LANDSCAPING SCHEDULE:

CODE	PLANT TYPE	QUANTITY	UNITS
	LARGE DECIDUOUS TREE (10 UNITS EA), MIN 1½" CALIPER, MIN 30' MATURE HEIGHT		
AM	AMUR MAPLE	5	50
FC	FLOWERING CRABAPPLE	5	50
JL	JAPANESE LILAC	5	50
IW	IRONWOOD	6	60
HT	HAWTHORN	6	60
COMPLETE UNIT TOTAL		27	270

LOCAL STREET TREE UNITS		
CODE	PLANT TYPE	QUANTITY
	LARGE DECIDUOUS TREE, MIN 1½" CALIPER, MIN 30' MATURE HEIGHT	
L	LINDEN	3
O	OAK	3
E	ELM	3
HB	HACKBERRY	3
TOTAL		12

RYAN BROTHER'S  
THOR BUILDERS  
FARGO, NORTH DAKOTA

**MBN**  
ENGINEERING  
MECHANICAL \* ELECTRICAL \* CIVIL  
503 7TH ST. N, SUITE 200  
FARGO, ND 58102  
PHONE: 701.478.6336  
FAX: 701.478.6340

KEYNOTES:

REVISIONS:		
NO.	DATE	DESCRIPTION
1	10/06/22	CITY REVIEW

GENERAL NOTES

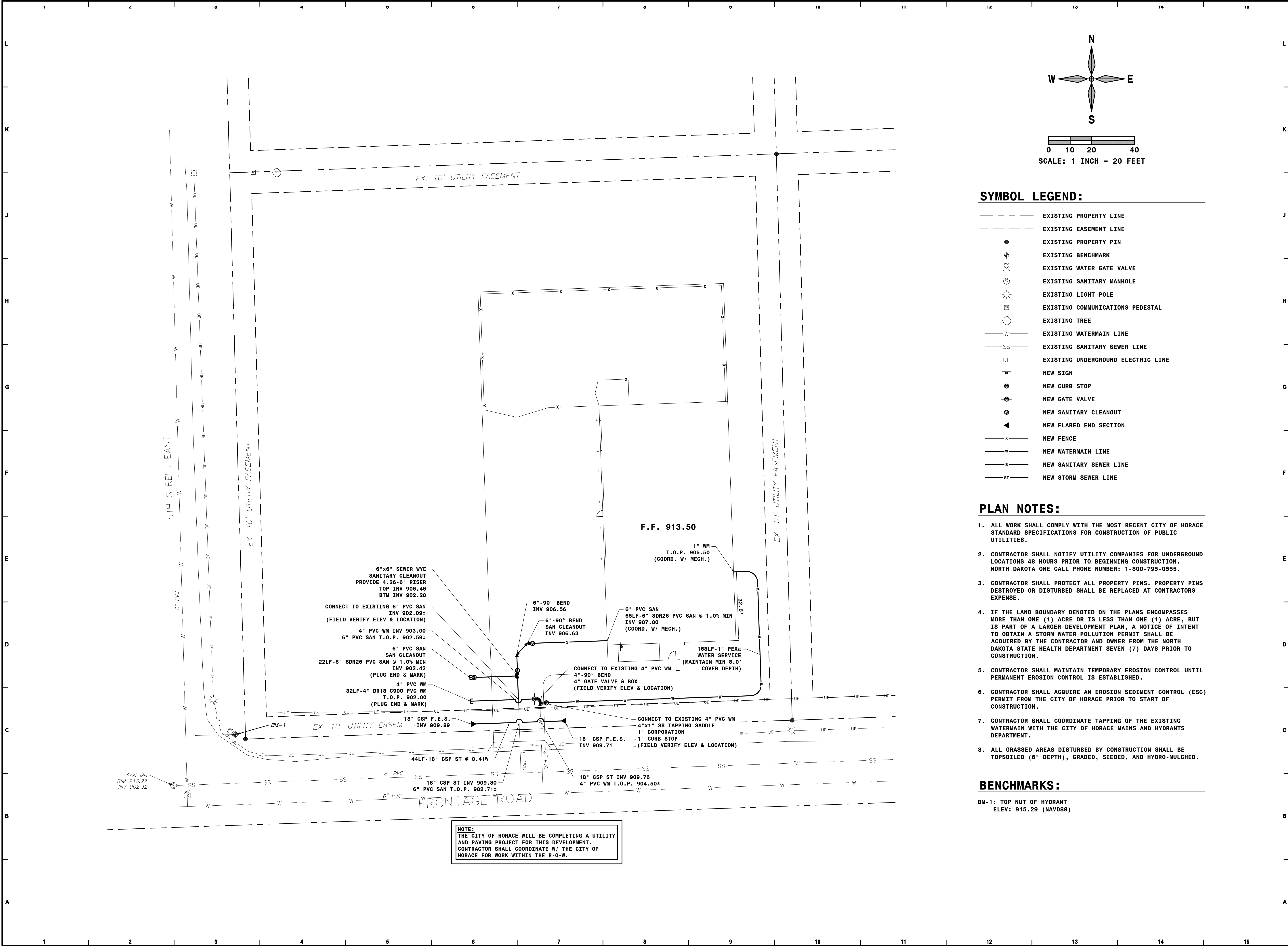


**YHR**  
PARTNERS  
ARCHITECTURE | PLANNING  
420 Main Avenue  
Moorhead, Minnesota 56560  
Telephone: (218)233-4422

PROJECT NUMBER: 2016-31

EROSION CONTROL /  
LANDSCAPING PLAN  
**C200**  
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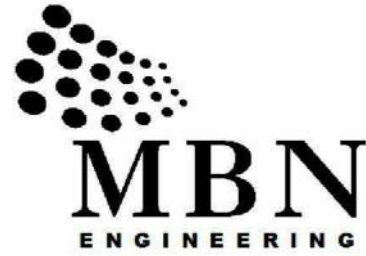




RYAN BROTHER'S

THOR BUILDERS

FARGO, NORTH DAKOTA



MECHANICAL \* ELECTRICAL \* CIVIL

503 7TH ST. N, SUITE 200  
FARGO, ND 58102  
PHONE: 701.478.6336  
FAX: 701.478.6340


KEYNOTES:

1

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GENERAL NOTES



YHR PARTNERS  
ARCHITECTURE | PLANNING  
420 Main Avenue  
Moorhead, Minnesota 56560  
Telephone: (218)233-4422

PROJECT NUMBER: 2016-31

UTILITY PLAN

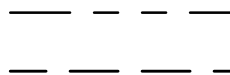









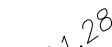





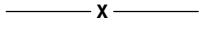
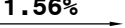

C300

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**ARGO, NORTH DAKOTA**

**KEYNOTES:**

	EXISTING PROPERTY LINE
	EXISTING EASEMENT LINE
	EXISTING PROPERTY PIN
	EXISTING BENCHMARK
	EXISTING WATER GATE VALVE
	EXISTING SANITARY MANHOLE
	EXISTING LIGHT POLE
	EXISTING COMMUNICATIONS PEDESTAL
	EXISTING TREE
	EXISTING CONTOUR LINE
	EXISTING SPOT ELEVATION
	NEW SIGN
	NEW CURB STOP
	NEW GATE VALVE
	NEW SANITARY CLEANOUT
	NEW FLARED END SECTION
	NEW FENCE
909.71INV	NEW INVERT ELEVATION
913.50TP	NEW TOP OF PAVEMENT ELEVATION
911.80TG	NEW TOP OF GRAVEL ELEVATION
909.85FG	NEW FINISHED GRADE ELEVATION
913.50SW	NEW SIDEWALK ELEVATION
910.65ME	MATCH EXISTING ELEVATION
	NEW SLOPE & DIRECTION OF FLOW
	NEW CONTOUR LINE

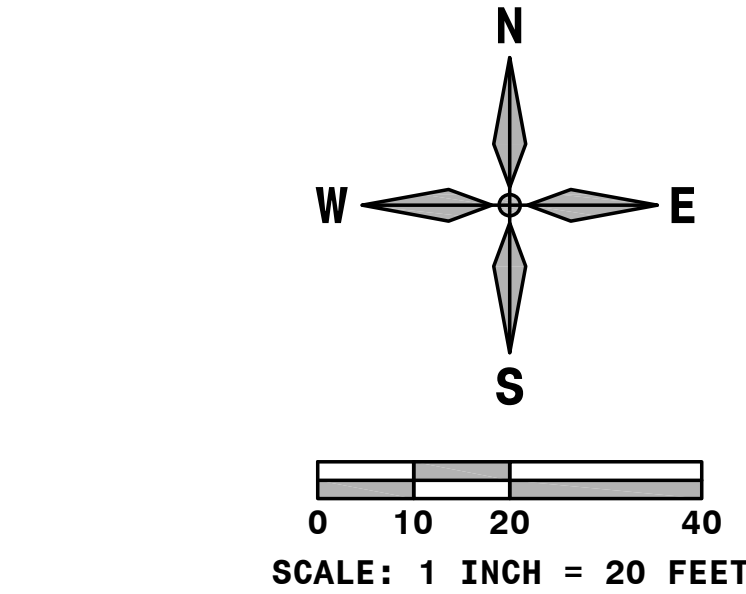
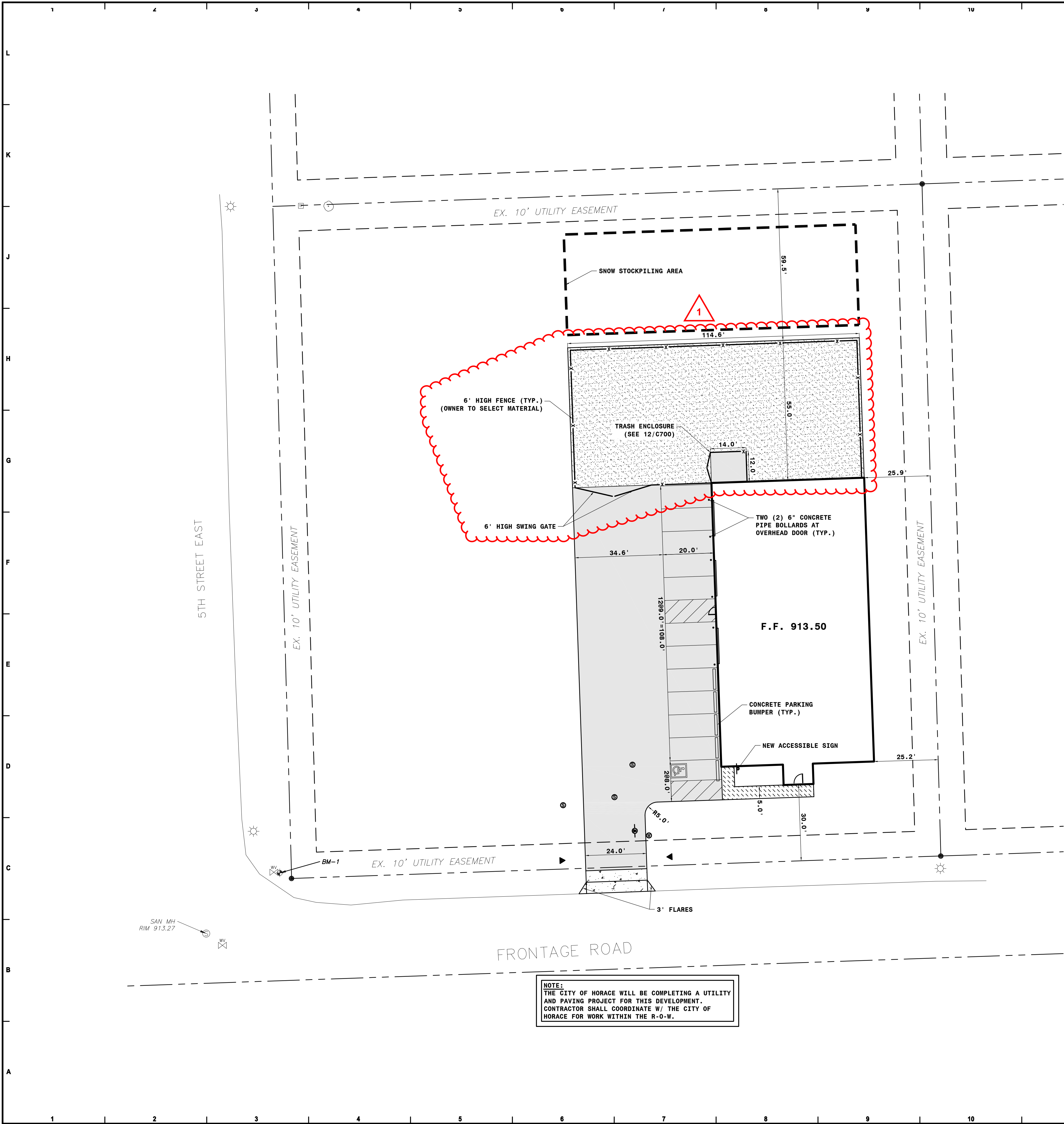
1. ALL WORK SHALL COMPLY WITH THE MOST RECENT CITY OF HORACE STANDARD SPECIFICATIONS FOR CONSTRUCTION OF PUBLIC UTILITIES.
2. CONTRACTOR SHALL NOTIFY UTILITY COMPANIES FOR UNDERGROUND LOCATIONS 48 HOURS PRIOR TO BEGINNING CONSTRUCTION. NORTH DAKOTA ONE CALL PHONE NUMBER: 1-800-795-0555.
3. CONTRACTOR SHALL PROTECT ALL PROPERTY PINS. PROPERTY PINS DESTROYED OR DISTURBED SHALL BE REPLACED AT CONTRACTORS EXPENSE.
4. IF THE LAND BOUNDARY DENOTED ON THE PLANS ENCOMPASSES MORE THAN ONE (1) ACRE OR IS LESS THAN ONE (1) ACRE, BUT IS PART OF A LARGER DEVELOPMENT PLAN, A NOTICE OF INTENT TO OBTAIN A STORM WATER POLLUTION PERMIT SHALL BE ACQUIRED BY THE CONTRACTOR AND OWNER FROM THE NORTH DAKOTA STATE HEALTH DEPARTMENT SEVEN (7) DAYS PRIOR TO CONSTRUCTION.
5. CONTRACTOR SHALL MAINTAIN TEMPORARY EROSION CONTROL UNTIL PERMANENT EROSION CONTROL IS ESTABLISHED.
6. CONTRACTOR SHALL ACQUIRE AN EROSION SEDIMENT CONTROL (ESC) PERMIT FROM THE CITY OF HORACE PRIOR TO START OF CONSTRUCTION.
7. CONTRACTOR SHALL COORDINATE TAPPING OF THE EXISTING WATERMAIN WITH THE CITY OF HORACE MAINS AND HYDRANTS DEPARTMENT.
8. ALL GRASSED AREAS DISTURBED BY CONSTRUCTION SHALL BE TOPSOILED (6" DEPTH), GRADED, SEED, AND HYDRO-MULCHED.

BM-1: TOP NUT OF HYDRANT  
ELEV: 915.29 (NAVD88)

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# C400





**SYMBOL LEGEND:**

- EXISTING PROPERTY LINE
- EXISTING EASEMENT LINE
- EXISTING PROPERTY PIN
- EXISTING BENCHMARK
- EXISTING WATER GATE VALVE
- EXISTING SANITARY MANHOLE
- EXISTING LIGHT POLE
- EXISTING COMMUNICATIONS PEDESTAL
- EXISTING TREE
- NEW SIGN
- NEW CURB STOP
- NEW GATE VALVE
- NEW SANITARY CLEANOUT
- NEW FLARED END SECTION
- NEW FENCE
- NEW 12" GRAVEL SECTION
- NEW 4" REINFORCED CONCRETE SIDEWALK
- NEW 6" REINFORCED CONCRETE PAVEMENT
- NEW 7" REINFORCED CONCRETE PAVEMENT
- SNOW STOCKPILING AREA

**PLAN NOTES:**

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- CONTRACTOR SHALL COORDINATE TAPPING OF THE EXISTING WATERMAIN WITH THE CITY OF HORACE MAINS AND HYDRANTS DEPARTMENT.
- ALL GRASSED AREAS DISTURBED BY CONSTRUCTION SHALL BE TOPSOILED (6" DEPTH), GRADED, SEEDED, AND HYDRO-MULCHED.

**BENCHMARKS:**

BM-1: TOP NUT OF HYDRANT  
ELEV: 915.29 (NAVD88)

**PLAN NOTES:**

ZONE: C-3 GENERAL COMMERCIAL

MINIMUM BUILDING SETBACKS  
FRONT YARD: 20'  
REAR YARD: 20'  
SIDE YARD: 10'

PARKING REQUIREMENTS  
MINIMUM STALL SIZE: 9'x20'  
ONE (1) SPACE PER 250 SF OF GROSS FLOOR AREA OF CUSTOMER SALES AND SERVICES  
2,010 SF / 250 = 8.04  
ONE (1) SPACE PER 2,500 SF OF GROSS FLOOR AREA OF STORAGE AREAS  
4,680 SF / 2,500 = 1.88

REQUIRED STALLS = 9.92  
PROVIDED STALLS = 12 TOTAL STALLS (1 ACCESSIBLE)

**RYAN BROTHER'S**  
**THOR BUILDERS**  
FARGO, NORTH DAKOTA

**MBN**  
ENGINEERING  
MECHANICAL \* ELECTRICAL \* CIVIL  
503 7TH ST. N, SUITE 200  
FARGO, ND 58102  
PHONE: 701.478.6336  
FAX: 701.478.6340

**KEYNOTES:**

REVISIONS:		
NO.	DATE	DESCRIPTION
1	10/06/22	CITY REVIEW

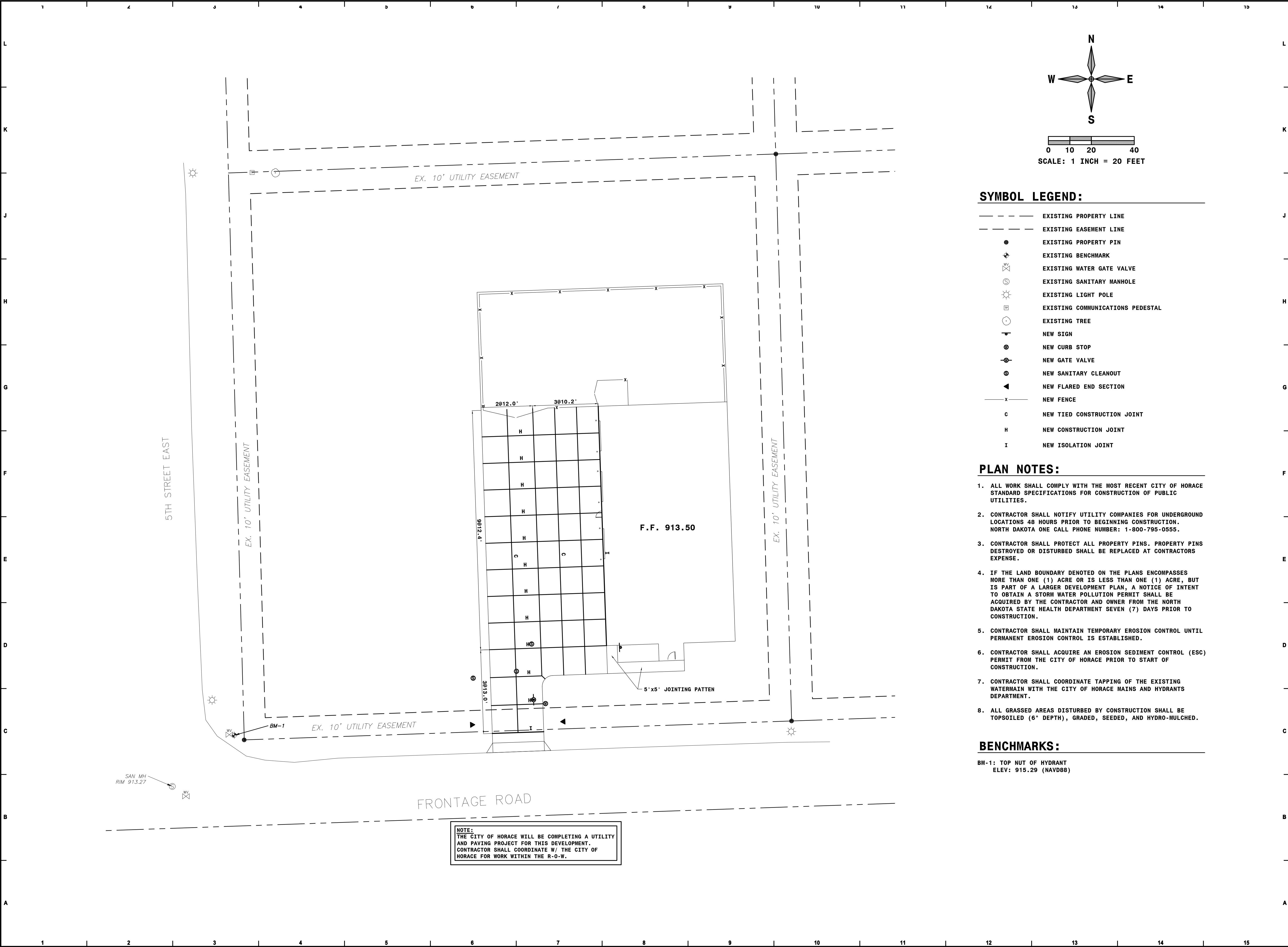
**GENERAL NOTES**



**YHR**  
PARTNERS  
ARCHITECTURE | PLANNING  
420 Main Avenue  
Moorhead, Minnesota 56560  
Telephone: (218)233-4422

PROJECT NUMBER: 2016-31

**PAVING PLAN**  
**C500**  
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**SYMBOL LEGEND:**

- EXISTING PROPERTY LINE
- - - EXISTING EASEMENT LINE
- EXISTING PROPERTY PIN
- ⊕ EXISTING BENCHMARK
- ⊗ EXISTING WATER GATE VALVE
- ⊙ EXISTING SANITARY MANHOLE
- ☀ EXISTING LIGHT POLE
- ⊞ EXISTING COMMUNICATIONS PEDESTAL
- EXISTING TREE
- ┐ NEW SIGN
- ⊙ NEW CURB STOP
- ⊙ NEW GATE VALVE
- ⊙ NEW SANITARY CLEANOUT
- ◄ NEW FLARED END SECTION
- x- NEW FENCE
- c NEW TIED CONSTRUCTION JOINT
- H NEW CONSTRUCTION JOINT
- I NEW ISOLATION JOINT

**PLAN NOTES:**

- ALL WORK SHALL COMPLY WITH THE MOST RECENT CITY OF HORACE STANDARD SPECIFICATIONS FOR CONSTRUCTION OF PUBLIC UTILITIES.
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**BENCHMARKS:**

BM-1: TOP NUT OF HYDRANT  
ELEV: 915.29 (NAVD88)

**RYAN BROTHER'S**

**THOR BUILDERS**

FARGO, NORTH DAKOTA

**MECHANICAL \* ELECTRICAL \* CIVIL**

503 7TH ST. N, SUITE 200  
FARGO, ND 58102  
PHONE: 701.478.6336  
FAX: 701.478.6340

KEYNOTES:

1

REVISIONS:

NO.	DATE	DESCRIPTION
1	10/06/22	CITY REVIEW

GENERAL NOTES

REGISTERED PROFESSIONAL ENGINEER  
NATHAN K. BUE  
PE-6864  
DATE 8-26-22  
NORTH DAKOTA

**YHR**  
PARTNERS  
ARCHITECTURE | PLANNING

420 Main Avenue  
Moorhead, Minnesota 56560  
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PROJECT NUMBER: 2016-31

**JOINTING PLAN**

**C500**

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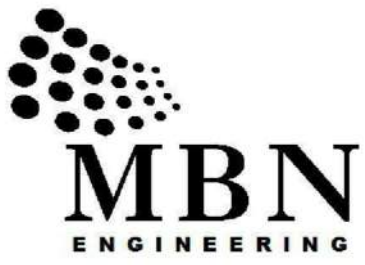




RYAN BROTHER'S

THOR BUILDERS

FARGO, NORTH DAKOTA



MECHANICAL \* ELECTRICAL \* CIVIL

503 7TH ST. N, SUITE 200

FARGO, ND 58102

PHONE: 701.478.6336

FAX: 701.478.6340

KEYNOTES:

REVISIONS:		
NO.	DATE	DESCRIPTION
1	10/06/22	CITY REVIEW

GENERAL NOTES



ARCHITECTURE | PLANNING

420 Main Avenue

Moorhead, Minnesota 56560

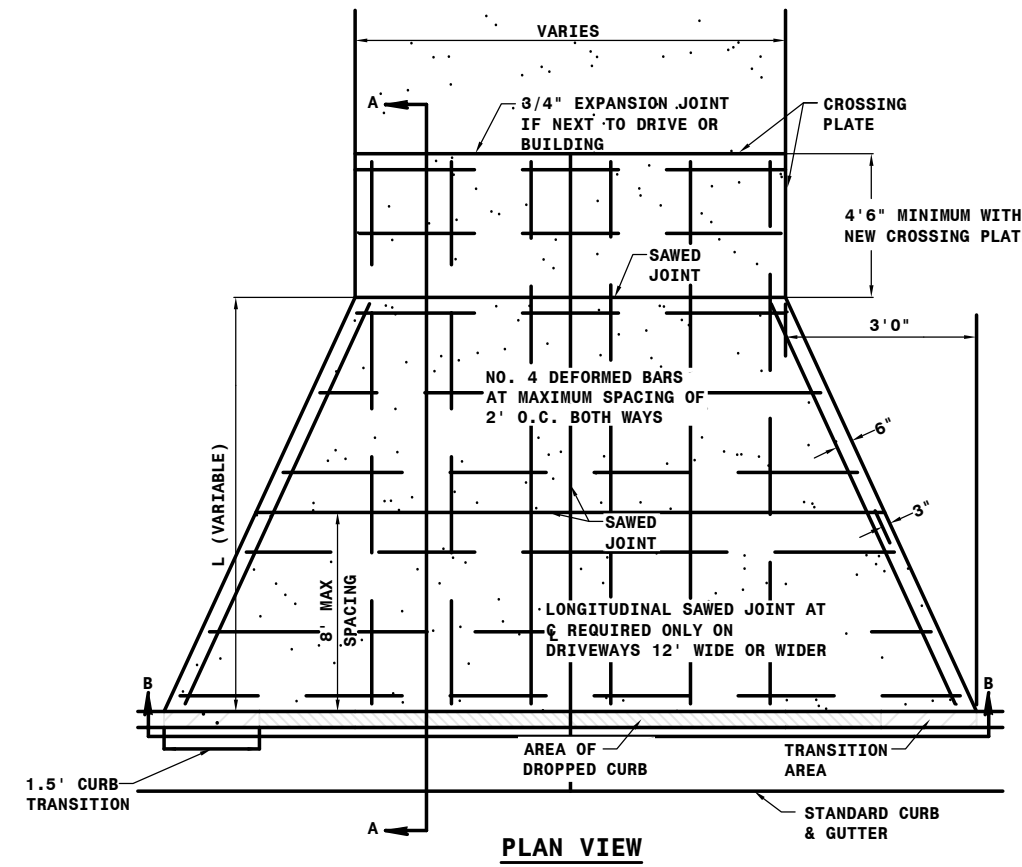
Telephone: (218)233-4422

PROJECT NUMBER: 2016-31

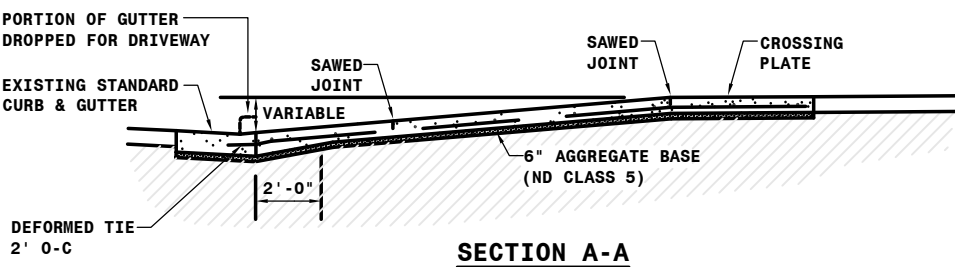
DETAILS

C701

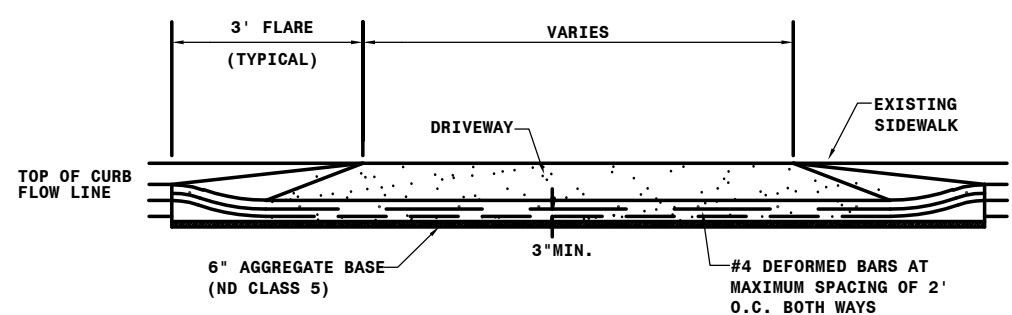
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PLAN VIEW

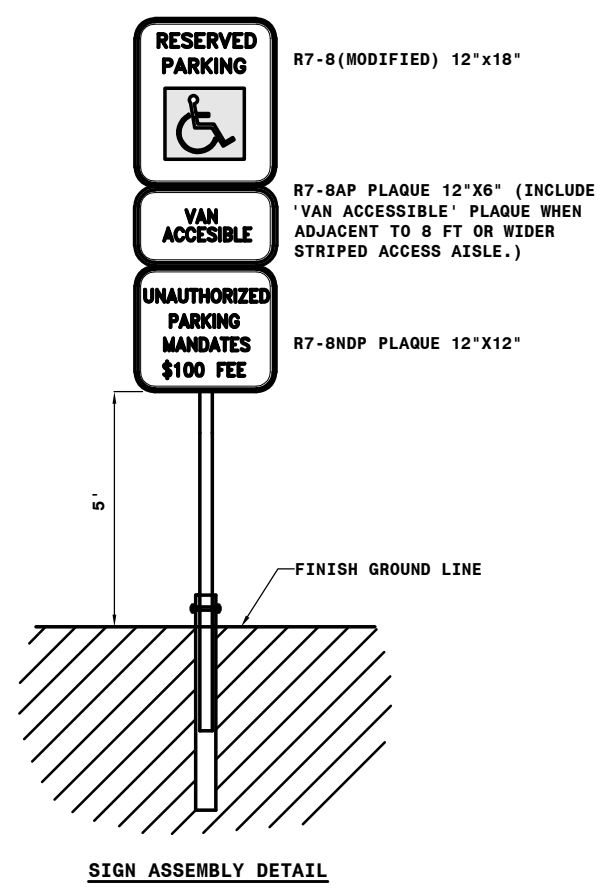


SECTION A-A



SECTION B-B

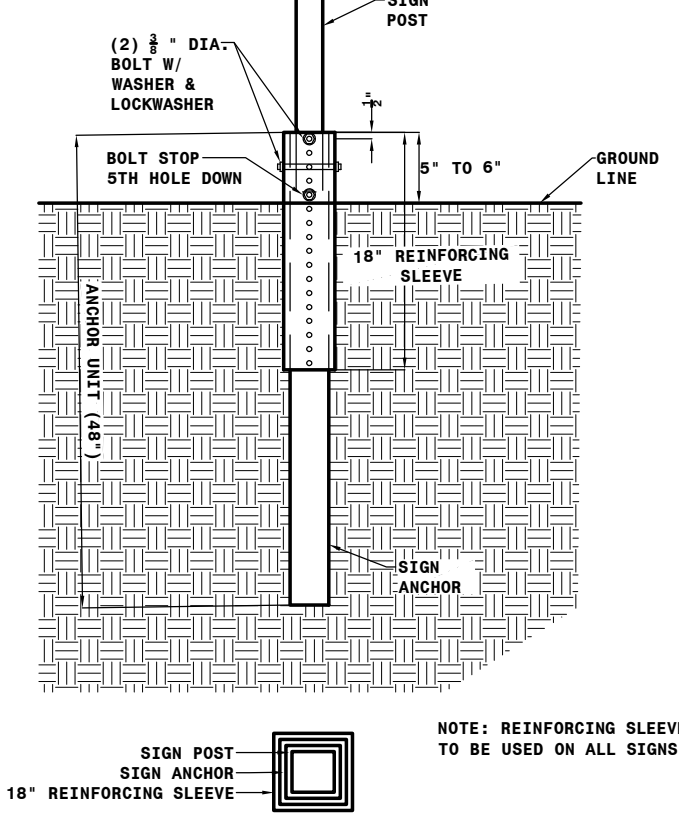
1 DRIVEWAY ABUTTING STANDARD CURB DETAIL  
C701/NOT-TO-SCALE



SIGN ASSEMBLY DETAIL

- NOTES:
1. SHEETING SHALL BE ENGINEER GRADE.
  2. SIGN PLATE SHALL BE 80 GAUGE ALUMINUM.
  3. SIGNS SHALL BE IN ACCORDANCE WITH THE MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.

7 ACCESSIBILITY SIGN DETAIL  
C701/NOT-TO-SCALE



NOTE: REINFORCING SLEEVE TO BE USED ON ALL SIGNS

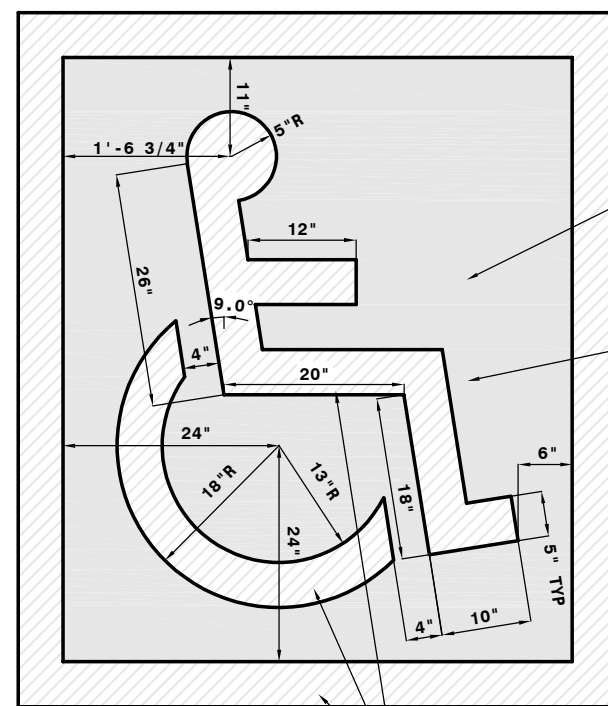
SIGN SIZE	POST	ANCHOR SLEEVE
12" WIDTH SIGNS	1.50"	1.75"
18" WIDTH SIGNS	1.75"	2.00"
24" x 24" SIGNS	2.00"	2.25"
LARGER THAN 24" x 24"	2.25"	2.50"

8 SIGN ANCHOR BLVD INSTALLATION DETAIL  
C701/NOT-TO-SCALE

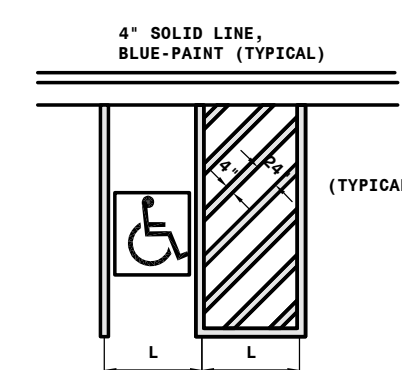
VERTICAL CLEARANCE	SIGN THICKNESS
7' FOR SINGLE SIGN	80 GA.
6' FOR DOUBLE SIGN	100 GA.

DATED SIGN TAGS ALL NEW SIGNS THAT ARE INSTALLED SHALL HAVE A DATED TAG INSTALLED ON THE BACK OF THE SIGN, SHOWING THE CONTRACTORS LOGO, MONTH AND THE YEAR THAT THE SIGN WAS INSTALLED. THE DATE SHALL BE SHOWN BY REMOVING THE CORRECT MONTH AND YEAR WITH A HOLE PUNCHER. THIS SHALL BE INCIDENTAL TO THE COST OF THE SIGN.

9 SIGN ASSEMBLY DETAIL  
C701/NOT-TO-SCALE

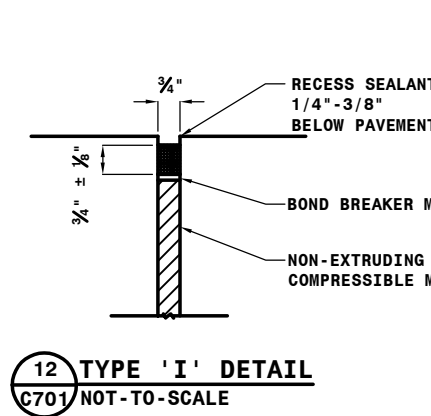


10 ACCESSIBILITY SYMBOL DETAIL  
C701/NOT-TO-SCALE

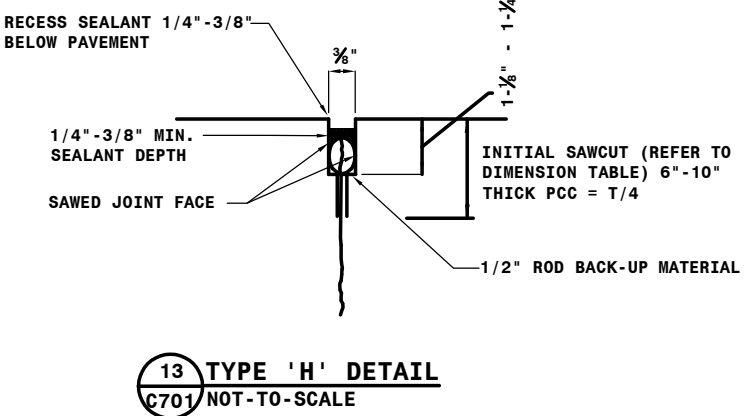


- NOTES:
1. 4" DIMENSIONS AS SHOWN ON PLANS. CENTER OF STRIPE TO CENTER OF STRIPE.
  2. STRIPING ADJACENT TO ACCESSIBLE PARKING SHALL BE BLUE.
  3. DIMENSION ACCESSIBLE SYMBOLS AS PER INTERNATIONAL SYMBOL OF ACCESSIBILITY DETAIL.

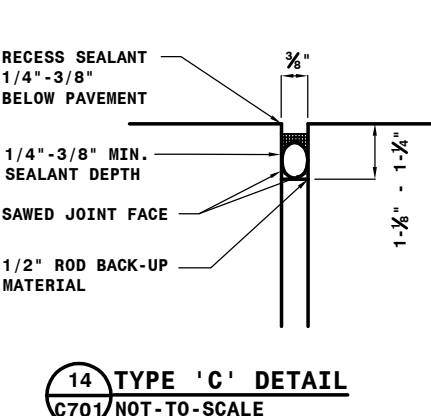
11 ACCESSIBLE STRIPING DETAIL  
C701/NOT-TO-SCALE



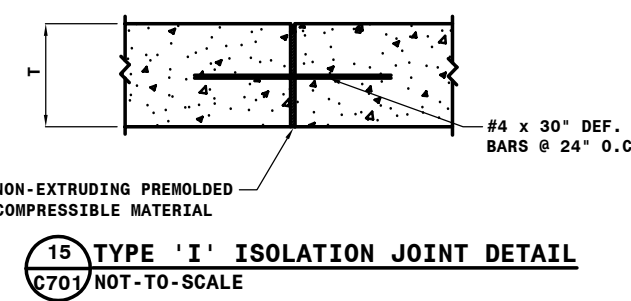
12 TYPE 'I' DETAIL  
C701/NOT-TO-SCALE



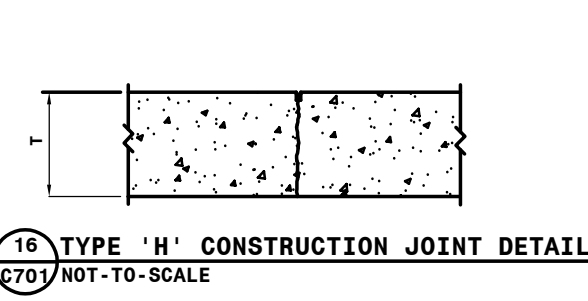
13 TYPE 'H' DETAIL  
C701/NOT-TO-SCALE



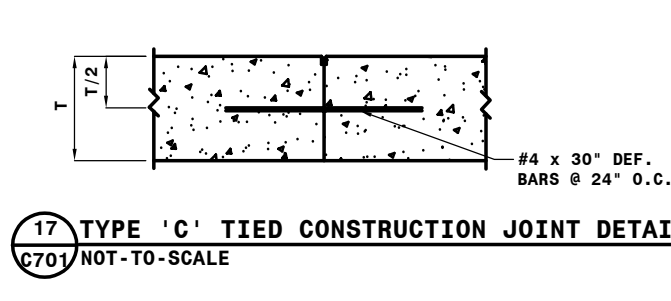
14 TYPE 'C' DETAIL  
C701/NOT-TO-SCALE



15 TYPE 'I' ISOLATION JOINT DETAIL  
C701/NOT-TO-SCALE

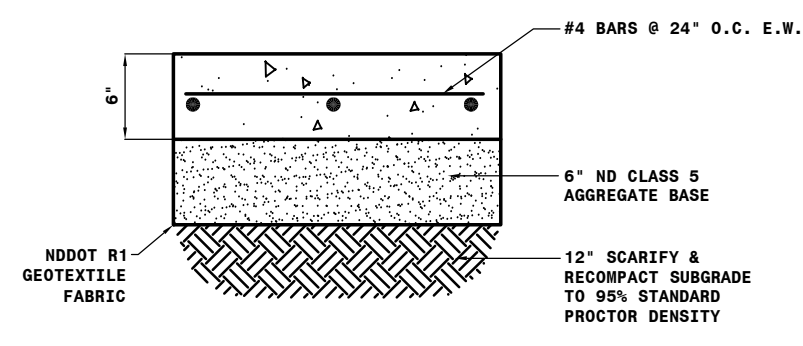


16 TYPE 'H' CONSTRUCTION JOINT DETAIL  
C701/NOT-TO-SCALE

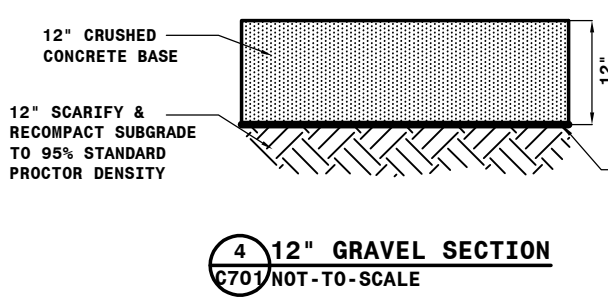


17 TYPE 'C' TIED CONSTRUCTION JOINT DETAIL  
C701/NOT-TO-SCALE

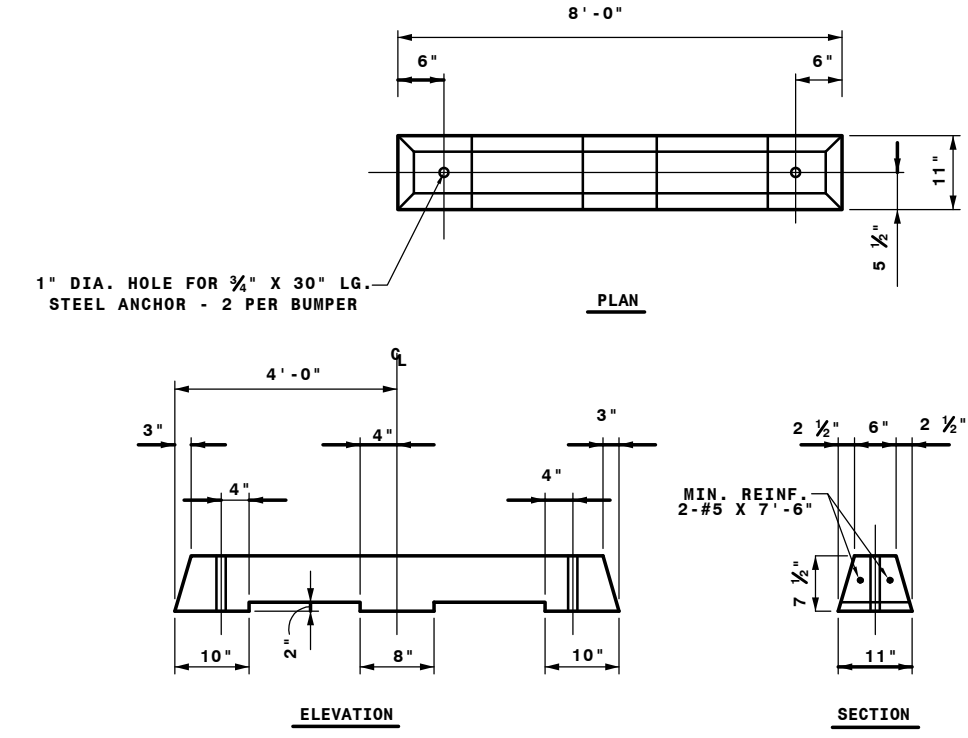
2 4" REINFORCED CONCRETE SIDEWALK DETAIL  
C701/NOT-TO-SCALE



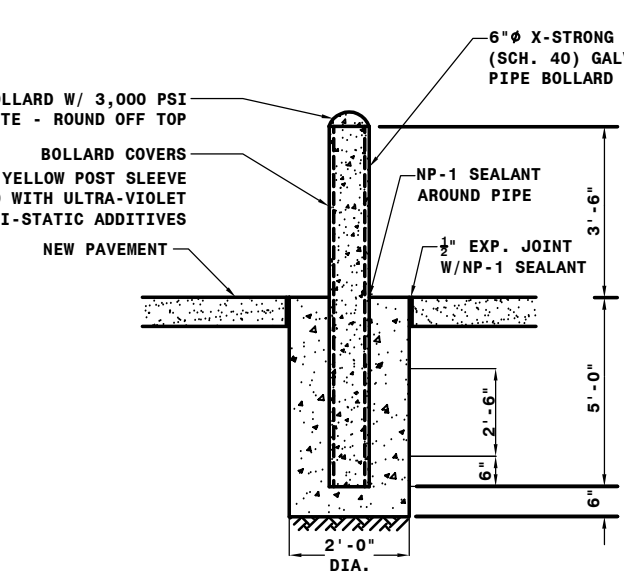
3 6" REINFORCED CONCRETE PAVEMENT DETAIL  
C701/NOT-TO-SCALE



4 12" GRAVEL SECTION  
C701/NOT-TO-SCALE



5 CONCRETE PARKING BUMPER DETAIL  
C701/NOT-TO-SCALE



6 6" CONCRETE PIPE BOLLARD DETAIL  
C701/NOT-TO-SCALE





RYAN BROTHER'S  
60 X 111 WITH OFFICE

THOR BUILDERS

HORACE, NORTH DAKOTA

KEYNOTES:

BUILDING NOTES:

- SLAB ON GRADE WOOD POLE BUILDING CONSTRUCTION WITH METAL SIDING AND ROOF. BUILDING WILL BE USED FOR WORKSPACE AND OFFICE SPACE

- BUILDING IS NOT SPRINKLED

- BUILDING DOES NOT HAVE FIRE ALARM

- BUILDING SIZE = 6,660 S.F.

- BUILDING HEIGHT = 27'-8"

CODE REQUIREMENTS:

- IBC 2018

- SHOP AREA - OCCUPANCY S-2 (SECTION 311.2)

- OFFICE AREA - OCCUPANCY B (SECTION XXX)

- NO REQUIRED SEPARATION BETWEEN B AND S-2 OCCUPANCIES

- CONSTRUCTION TYPE VB (TABLE 606.2)

- ALLOWABLE SQUARE FOOTAGE 9,000 (TABLE 506.2)

- NO TRAVEL DISTANCE OVER 100'-0"

- FIRE EXTINGUISHERS TO BE PLACED SO NO MORE THAN 75'-0" APART

- DRAFT STOPS REQUIRED AT 3,000 S.F. OF HORIZONTAL ATTIC SPACE

- BUILDING IS HEATED - DESIGN BUILD BY OWNER

- ELECTRICAL IS DESIGN BUILD BY OWNER

- SPECIAL INSPECTIONS NOT REQUIRED AS TRUSSES DO NOT SPAN OVER 60'-0"

- SIGNED ENGINEER TRUSS DRAWINGS WILL BE SUBMITTED UNDER SEPARATE COVER

GENERAL NOTES

I hereby certify that this drawing, specification or report was prepared by me or under my direct supervision and that I am a duly registered Architect under the laws of the State of North Dakota.

Dated: SEPTEMBER 2022

Regt. No. 1423

Signed:

YHR  
PARTNERS

ARCHITECTURE | PLANNING

420 Main Avenue  
Moorhead, Minnesota 56560  
Telephone: (218)233-4422

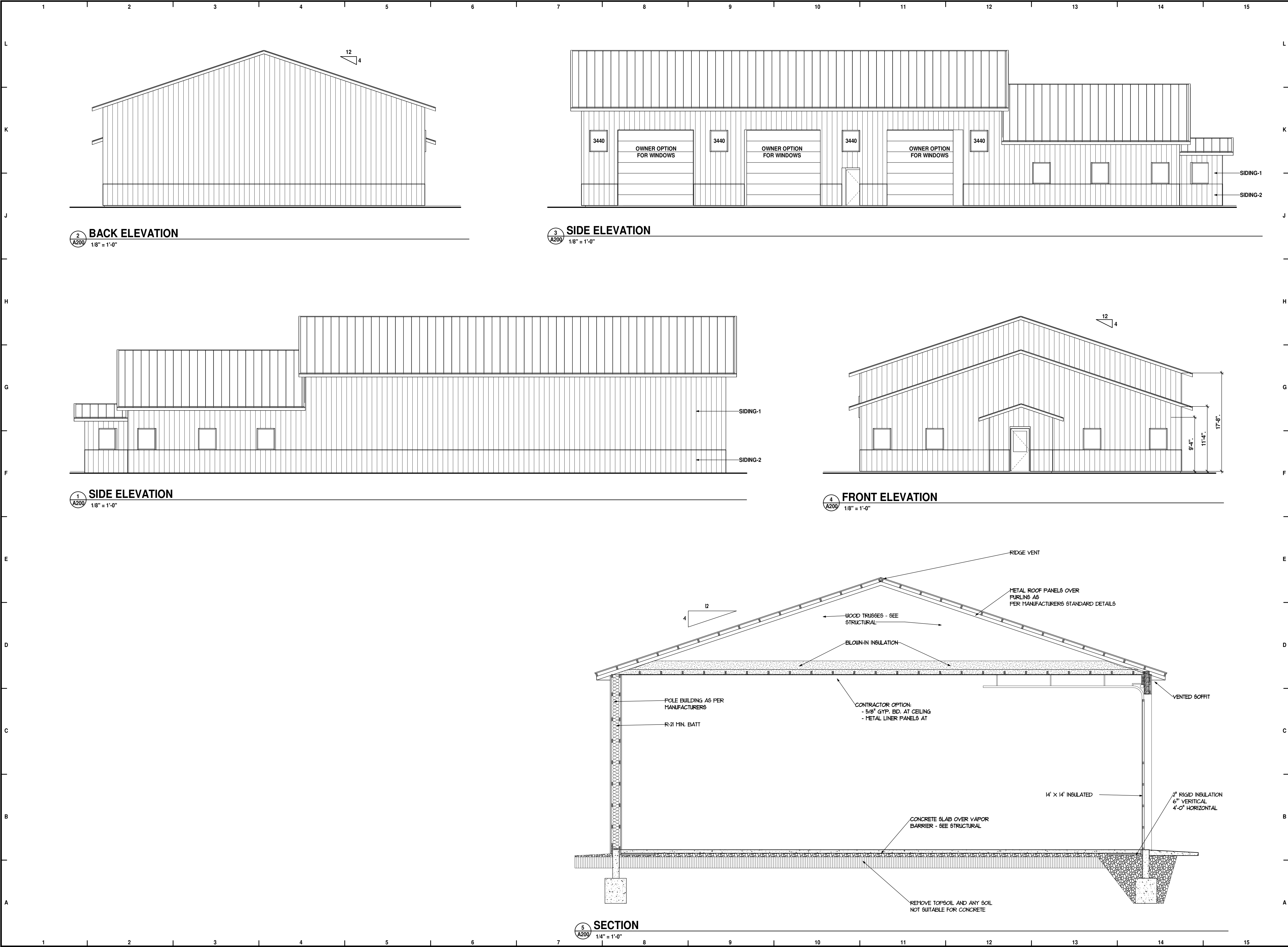
PROJECT NUMBER: 2016-31

FLOOR PLAN

A100

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RYAN BROTHER'S  
60 X 111 WITH OFFICE

THOR BUILDERS

HORACE, NORTH DAKOTA

KEYNOTES:

GENERAL NOTES

I hereby certify that this drawing, specification or report was prepared by me or under my direct supervision and that I am a duly registered Architect under the laws of the State of North Dakota.

Dated: SEPTEMBER 2022 Regt. No. 1423

Signed: *[Signature]*

**YHR**  
PARTNERS

ARCHITECTURE | PLANNING

420 Main Avenue  
Moorhead, Minnesota 56560  
Telephone: (218)233-4422

PROJECT NUMBER: 2016-31

BUILDING ELEVATIONS

A200

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# Willow Grove

