

Horace Planning & Zoning Commission Meeting Agenda

Tuesday, March 14, 2023 – 6:00 pm Fire Hall Event Center – 413 Main Street, Horace, North Dakota

- 1. Declare Quorum
- 2. Regular Agenda
- 3. Approve the February 28, 2023, Planning & Zoning Commission Meeting Minutes
- 4. 856 Harvest Circle Variance Request | Jace Hellman, Community Development Director
 - a. Variance
 - i. Public Hearing
 - ii. Discussion & Action
- 5. Horace Elementary School Expansion | Jace Hellman, Community Development Director
 - a. Design Review
 - i. Discussion & Action
- 6. Horace Elementary School Playground Site Plan Modification | Jace Hellman, Community Development Director
 - a. Design Review
 - i. Discussion & Action
- 7. 9800 Industrial Drive Phase 2 | Jace Hellman, Community Development Director
 - a. Design Review
 - i. Discussion & Action
- 8. Adjournment



HORACE PLANNING and ZONING COMMISSION MEETING MINUTES

February 28, 2023 | 6 p.m. Horace Fire Hall Event Center | 413 Main Street, Horace ND 58047

Present: Planning and Zoning Commissioners, Amy Beaton (Via Phone), Julie Hochhalter, Russell Sahr and Doug Wendel; and Community Development Director Jace Hellman

Due to Chair Beaton calling into the meeting, Vice Chair Hochhalter ran the meeting.

Vice Chair Hochhalter called the meeting to order at 6:00 p.m.

Agenda Item 1: Declare Quorum

Agenda Item 2: Regular Agenda

Commissioner Wendel moved to approve the Regular Agenda. Seconded by Commissioner Sahr. All in favor, none opposed. Motion carried 4-0.

Agenda Item 3: Approve the February 14, 2023, Planning and Zoning Commission Meeting Minutes

Commissioner Sahr moved to approve the minutes from February 14, 2023. Seconded by Chair Beaton. All in favor, none opposed. Motion carried 4-0.

Agenda Item 4: 7675 Jacks Way – Rezone and Conditional Use Permit | Jace Hellman, Community Development Director

Mr. Hellman presented the application for Rezone and Conditional Use Permit. Mr. Hellman explained that a portion of this property was zoned C-1 prior to the replat approval of Lakeview Heights 5th Addition, and that at the time of the application for rezone and plat were approved for Lakeview Heights 5th Addition, the entire property was zoned C-2. Mr. Hellman noted that a Conditional Use Permit was required in both the C-2 and C-1 zones, however the C-2 zoning district did not allow conditional use permits to be approved within 200 feet of a residential district. Mr. Hellman went on to say that the reason for requiring a conditional use permit is to ensure that the surrounding properties would be not impacted by the proposed use.

Vice Chair Hochhalter opened the public hearing for both the rezone and conditional use permit at 6:04 PM.

Commissioner Wendel as what the properties across the street were designated as. Mr. Hellman explained that the properties were designated as Community Focus, and with that designation we could expect commercial and higher density residential. Commissioner Sahr mentioned that much of that property was now owned by one developer. Commissioner Wendel asked when the new land use ordinance was in place, how will it affect this conditional use permit. Mr. Hellman explained that the new ordinance would still require a conditional use permit. Additionally, Mr. Hellman added that the upcoming ordinance amendment would not impact the decision of this proposal, as it is required to be approved under the standards of the current ordinance. Commissioner Wendel asked if the access onto 76th Ave S would be a right in only. Mr. Hellman mentioned that that was the decision provided by the County when Lakeview Heights 5th Addition went through the approval process.

Vice Chair Hochhalter closed the public hearing for both the rezone and conditional use permit at 6:16 PM.

Commissioner Sahr moved to approve the rezone as presented for 7675 Jacks Way. Seconded by Commissioner Wendel. All in favor, none opposed. Motion carried 4-0.



Commissioner Sahr moved to approve the conditional use permit for 7675 Jacks Way with the condition that landscaping be provided to screen the car wash stacking area and dress up the corner. Seconded by Commissioner Wendel. All in favor, none opposed. Motion carried 4-0.

Agenda Item 5: Rivers Edge 2nd Addition – Plat Amendment | Jace Hellman, Community Development Director Mr. Hellman presented the proposed modifications to the approved Rivers Edge 2nd Addition plat. Mr. Hellman discussed the changes page by page with the commission. As discussed in the meeting, the changes included the expansion of HOA lots, the addition of an HOA lot, the renaming of a street stub from 78th to 77th, removal of excess Right of Way along Memory Lane, and the reduction of buildable lots.

Commissioner Wendel moved to recommend approval of the proposed plat modification for Rivers Edge 2nd Addition. Seconded by Commissioner Sahr. All in favor, none opposed. Motion Carried 4-0.

Agenda Item 6: Adjournment at 6:34 p.m.



CITY OF HORACE: PLANNING COMMISSION STAFF REPORT

Ci	City of Horace Commission Staff Report								
Entitlements Requested:	Subdivision	Zone Change	Design Review	Conditi	onal Use	<mark>Varia</mark>	ance	Lot Spilt	Other
Title:	856 Harvest Circle Variance Request	Commission Date:	March 2 2023	-	Application Number:			CD-2023-0)2
Parcel Number:	150258000	060000	Staff Conta		ct:		Jac	e Hellman	
Owner(s):	Black Butte Deve	lopment LLC	Applicant(s		(s)	N	1arlen	e & Deny [Dahl
Applicant Contact	MKDahl@q.com	Representative		ale rschmidt	-			e@hamme onstructio	

Purpose

The applicant requests a variance from Horace City Code section 17.5.6, Subsection 5 (b), which requires a minimum rear yard setback within the R-3 zoning district to be thirty (30) feet. The request is to allow a portion of the rear of the house to extend four (4) feet into the setback to allow for additional four (4) feet to be added to the house to allow the tv room to be wider for ADA purposes for the owners.

Statement of Fact	
Future Land Use Map Classification	The property is currently designated as Community Focus Area
Existing Land Use	Vacant – Future Single-Family Home
Current Zoning	Medium Density Residential (R-3)
Area Size	0.22 acres
Adjacent Zoning Districts	North: PF (Public Facilities); East: R-4 (Medium Density Residential);
	South: R-3 (Medium Density Residential); West: R-4 (Medium Density
	Residential)
Land Dedication Requirements	None (Existing Residential Subdivision)

Consistency with Comprehensive Plan and Future Land Use Map

The proposed application does not propose to change the current zoning district classification of the property in question. The property was zoned in accordance with the approval the Arrowwood 3rd Addition. Staff would note that the R-3 zoning district classification is not consistent with the City's Future Land Use Map, which designates the property as a Community Focus Area.

Discussion and Observation

The applicant requests a variance from Horace City Code section 17.5.6, Subsection 5 (b), which requires a minimum rear yard setback within the R-3 zoning district to be thirty (30) feet. This request, if approved would allow the applicant to construct an addition four feet on to a portion of the proposed single-family dwelling to accommodate a wider tv room to allow more maneuverability within the dwelling.

The applicant's representative has stated that the special condition and circumstance that exists is that the soon-to-be owners of the property are elderly, and that the request would allow for additional space in one room to allow for the homeowners to navigate more easily.

Following review of the application and site, staff is unable to identify the unnecessary hardship, such as site and topographical constraints, property shape or location, that is specific to this property and that would require the proposed structure to encroach in the required rear yard setback. In staff's opinion, there are no special conditions and/or circumstances which are peculiar to this property and that are not applicable to other lots that are zoned R-3, both in direct vicinity of this property, and throughout the City as well. For those reasons, staff is not able to recommend that Planning and Zoning Commission recommend approval of the proposed variance application.

Additionally, staff would note that Arrowwood 3rd Addition is not available to build in or pull permits in at this time. Construction of the development is currently underway. As a result, the applicants do not currently own the property that the variance is being requested for.

Recommendation

To accept the findings and recommendations of the staff report and recommend denial of the 856 Harvest Circle Variance to the City Council.

Attachments

- 1. Variance Application
- 2. Vicinity Map
- 3. Proposed Site Plan



COMMUNITY DEVELOPMENT DEPARTME 215 PARK DRIVE EAST HORACE, NORTH DAKOTA 58047 PHONE: 701.492-2972 E-MAIL: bvoigt@cityofhorace.com www.cityofhorace.com

APPLICATION DATE

(mo/day/year)

VARIANCE APPLICATION

1 PROPERTY OWNER INFORMATION

NAME (PRINTED): Marlene and Deny Dahl

ADDRESS: 8 Brevet Place, Lincoln, ND 58504

PRIMARY PHONE: 701-282-8605

ALTERNATIVE PHONE:

EMAIL: mkdahl@q.com

REPRESENTATIVE INFORMATION (DEVELOPER, SURVEYOR, ENGINEER)

NAME (PRINTED): Dale Hammerschmidt

ADDRESS: 4671 10th St N, Fargo, ND 58102

PRIMARY PHONE: 701-200-2698

ALTERNATIVE PHONE:

EMAIL: dale@hammerschmidtconstruction.com

3 PROPERTY DETAILS

LEGAL DESCRIPTION: ARROWWOOD 3RD ADDN LT 6 BLK 1

ADDRESS: 856 HARVEST CIR

CURRENT ZONING: R-3

PROPOSED LAND USE: Single Family Dwelling

PLEASE EXPLAIN THE FOLLOWING: How special conditions and circumstances exist which are peculiar to the premises and which are not applicable to other premises in the same zoning

district.

4

Special conditions and circumstances that exist is the owners are elderly. Some assistance is needed on occasion at this time with a walker and at times with a wheel chair. Within this variance requested to add additional space to house in one room in the rear or back of the house to allow room for owners to navigate more easily.

PLEASE EXPLAIN THE FOLLOWING: How the literal interpretation of this ordinance would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district.

The literal interpretation of the ordinance that would deprive the applicants rights would be not allowing the additional room needed to maneuver more easily in the room where the variance is requesting.

PLEASE EXPLAIN THE FOLLOWING: How the special conditions and circumstances have not resulted from actions of the applicant.

Have no explanation of this as not sure how to answer.

7

PLEASE EXPLAIN THE FOLLOWING: How the granting the variance requested will not confer upon the applicant any special privileges that are denied by this ordinance to other premises.

The request in the variance is to extend house in towards rear of the lot, current setback is 30' per R-3 zone. We are requesting a portion of the rear of the house to extend into this setback and requesting a variance of 26' on rear setback to allow for an additional 4' to be added to a portion of the rear of the house to allow the TV room to be wider for ADA purposes for the owners. At this time in this development there are no other premises that have been denied as this is will most likely be the first house built in this development.

PLEASE EXPLAIN THE FOLLOWING: How the variance is the minimum which would make possible a reasonable use of the premises.

The minimum of extending a portion of the rear of the house 4' that will encroach on the setback of 30' on rear of the house. Variance is requesting the setback be 26'.

PLEASE EXPLAIN THE FOLLOWING: How the granting of a variance will be in harmony with the general purpose of this ordinance and will not be injurious to the surrounding premises, neighborhood or the city and will not be contrary to the most current

By granting the variance, the harmony will only effect the back of each premises adjacent to this premises. I most developments the rear of the premises of each location seldom are the same distance from the rear setback, meaning most premises have a stager in comparison to each other. Totally understand the front set back to keep the homes at the same distance from the street where it's most noticed. In this situation the rear of the premises on lots 1-6 in Block 1 butt up to the old railroad. There is plenty of room from the premises in the rear of the house and this added 4' to the house will not be noticeable in the opinion of the owners.

10 PLEASE EXPLAIN THE FOLLOWING: How there is practical difficulty or unnecessary hardship in use of the premises if the strict application of the regulations are to be carried out.

The owners are elderly and are anticipating the use of wheel chair to move throughout the premises. For the ease of use of their home in particular the TV room in rear of the house is narrow and will make it practically impossible to navigate in this room. Owners are asking to make this room 4' wider for this reason. Making it 4' wider will encroach into the current rear setback 4'. Variance is requesting the setback be 26' to allow for the expansion of this room.

SIGNATURE

A ahl alenn

OWNER SIGNATURE

REPRESENTATIVE SIGNATURE

VARIANCE FEE SCHEDULE

VARIANCE FEE -\$325.00

NOTE: A NONREFUNDA-BLE FILING FEE MUST BE ACCOMPANIED WITH THE APPLICATION AT TIME OF SUBMITTAL MADE PAYABLE TO THE

CITY OF HORACE.

2023

DATE FEE PAID:

ACKNOWLEDGEMENT: WE HEREBY ACKNOWLEDGE THAT THAT THE ABOVE INFORMATION IS TRUE AND COMPLETE TO THE BEST OF OUR KNOWLEDGE AND THAT THE PRIMARY CONTACT NAMED ABOVE WILL BE CONTACTED IF ANY QUESTIONS ARISE AND WHEN THE PLAT HAS BEEN APPROVED AND APPROPRIATE COPIES ARE READY FOR RECORDING.

DATE

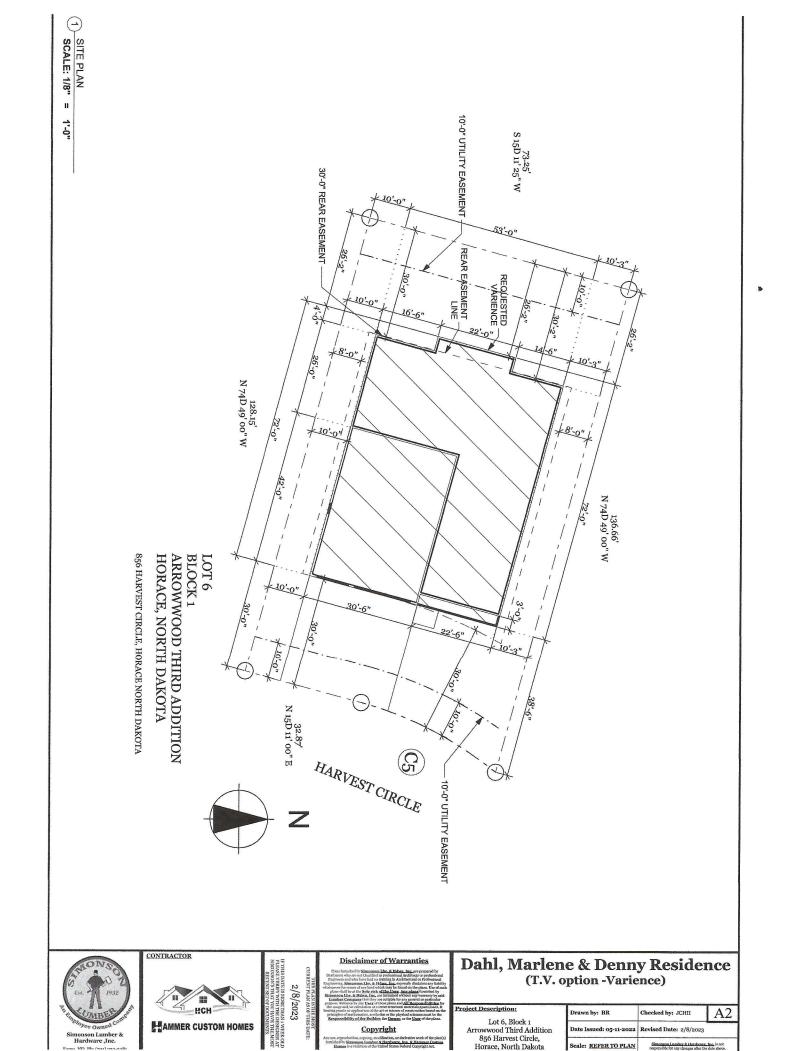
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856 Harvest Circle Variance Application Vicinity Map



Esri Community Maps Contributors, County of Cass, ND, State of North Dakota, © OpenStreetMap, Microsoft, Esri, HERE, Garmin, SafeGraph, GeoTechnologies, Inc, METI/NASA, USGS, EPA, NPS, US Census Bureau, USDA, Fargo, North Dakota, Maxar, Microsoft





ARCHITECTURE | PLANNING

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Telephone: (218)233-4422

CIVIL ENGINEER

STRUCTURAL ENGINEER

ELECTRICAL ENGINEER

MECHANICAL ENGINEE

MARTIN MECHANICAL DESIGN 1201 25TH AVE N FARGO, ND 58102 TELEPHONE NO.: (701) 293-795

MBN ENGINEERING

503 7TH STREET NORTH, SUITE 200 FARGO, ND 58102 TELEPHONE NO.: (701) 478-6336

ABBREVIATIONS

SOLIEN & LARSON ENGINEERING P.C. 3330 FIECHTNER DRIVE S. FARGO, ND 58103 TELEPHONE NO.: (701) 235-5593

MBN ENGINEERING 503 7TH STREET NORTH, SUITE200 FARGO, ND 58102 TELEPHONE NO.: (701) 478-6336

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- 4. DOORS AND CASED OF INTERSECTIONS SHAL **OPENING SIX INCHES F** OTHERWISE INDICATE OPENINGS SHALL BE C WALL INTERSECTIONS
- 5. SEE MECHANICAL AND WORK.
- 6. VERIFY SIZE AND LOCA ROOF OPENINGS
- 7. ALL CONTRACTORS C MECHANICAL, AND EL

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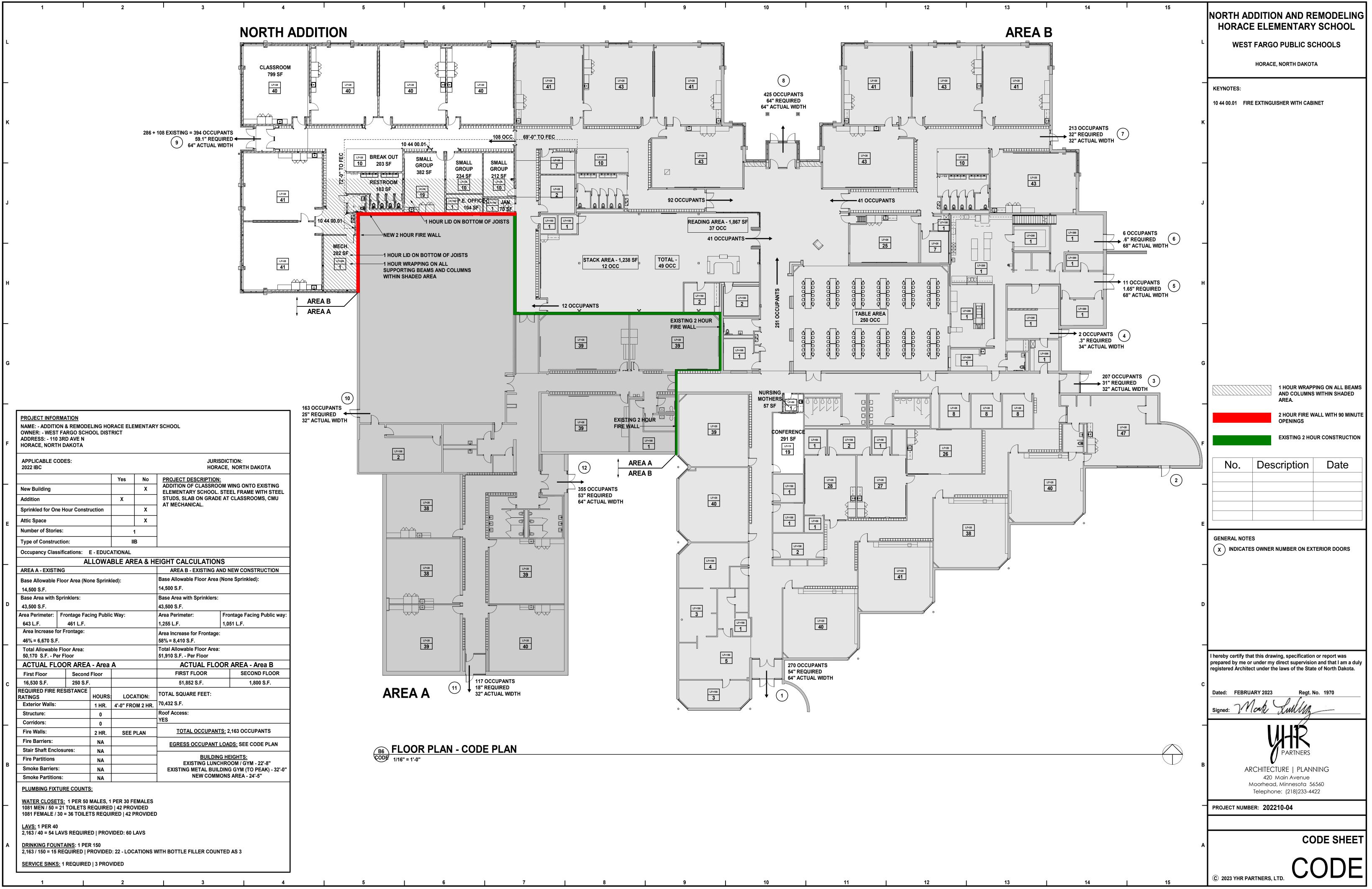
NORTH ADDITION AND REMODELING HORACE ELEMENTARY SCHOOL WEST FARGO PUBLIC SCHOOLS HORACE, NORTH DAKOTA

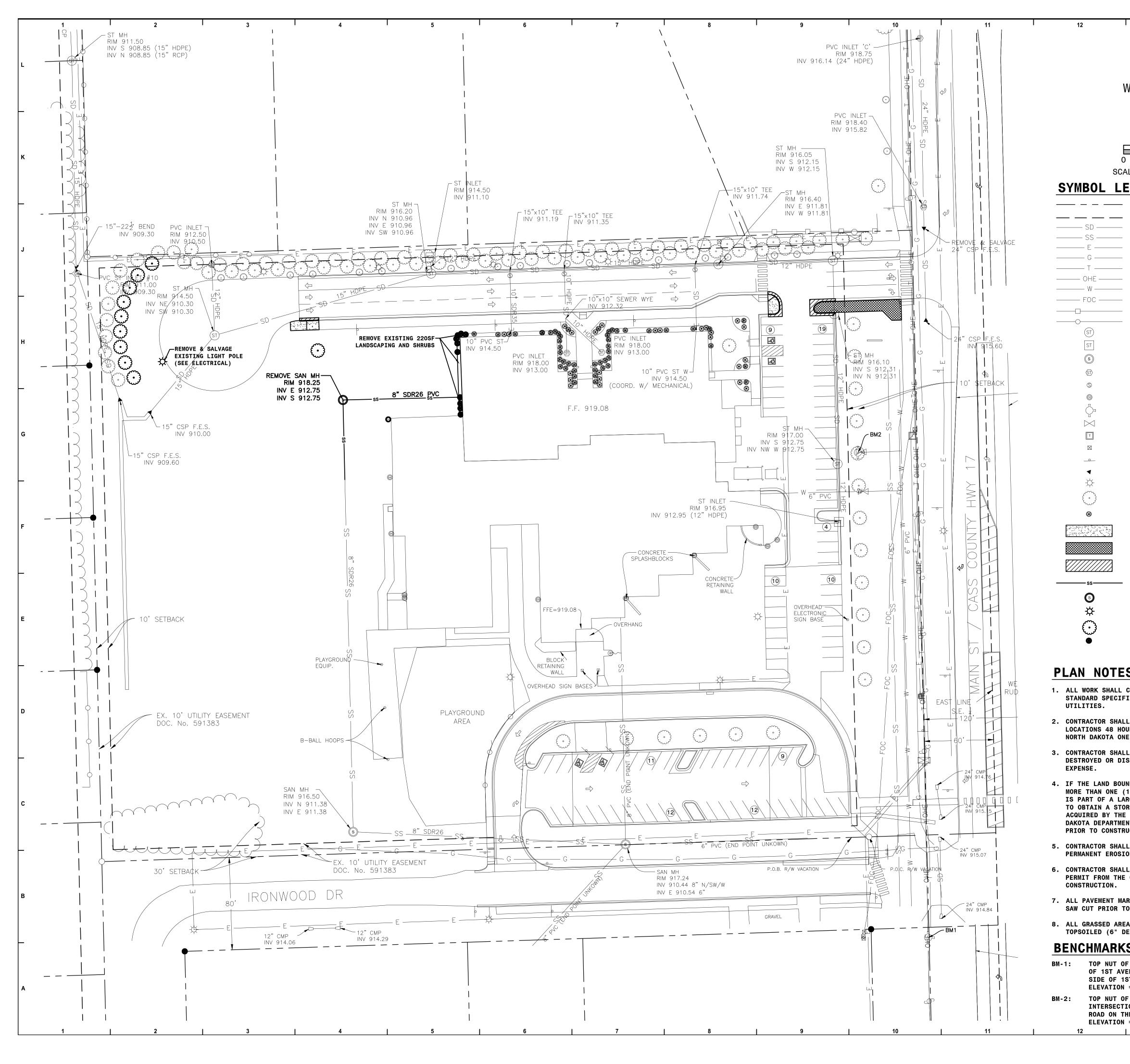
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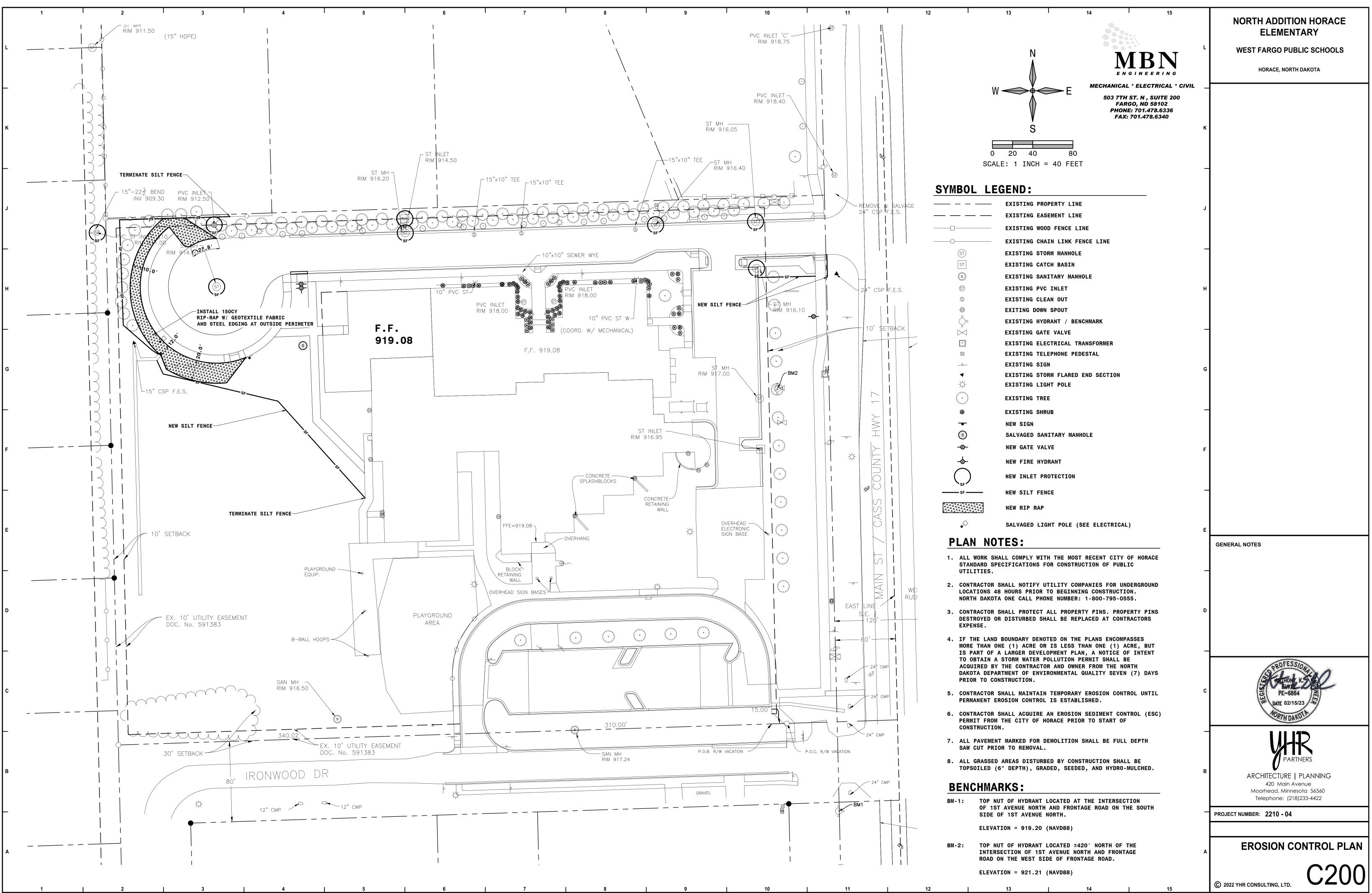
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CATION OF ALL MECHANICAL FLOOR AND	FIRE EXTINGUISHER CABINET FEC 10 44 00.02	SECTION SHEET REFERENCE NUMBER (A250, A270, ETC.) BUILDING / WALL SECTION REF. TAGS
COORDINATE ALL ARCHITECTURAL, LECTRICAL CONSTRUCTION WORK.	FLOOR DRAIN - SEE MECHANICAL 0 10 26 00.01	CALLOUT REFERENCE NUMBER
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IANICAL, AND ELECTRICAL SHEETS FOR ACTUAL REQUIREMENTS.	GYPSUM BOARD 09 21 16.04 CONTROL JOINT 09 21 16.04	Column Grid Line DETAIL DRAWING REFERENCE TAG Column Grid Line REFE

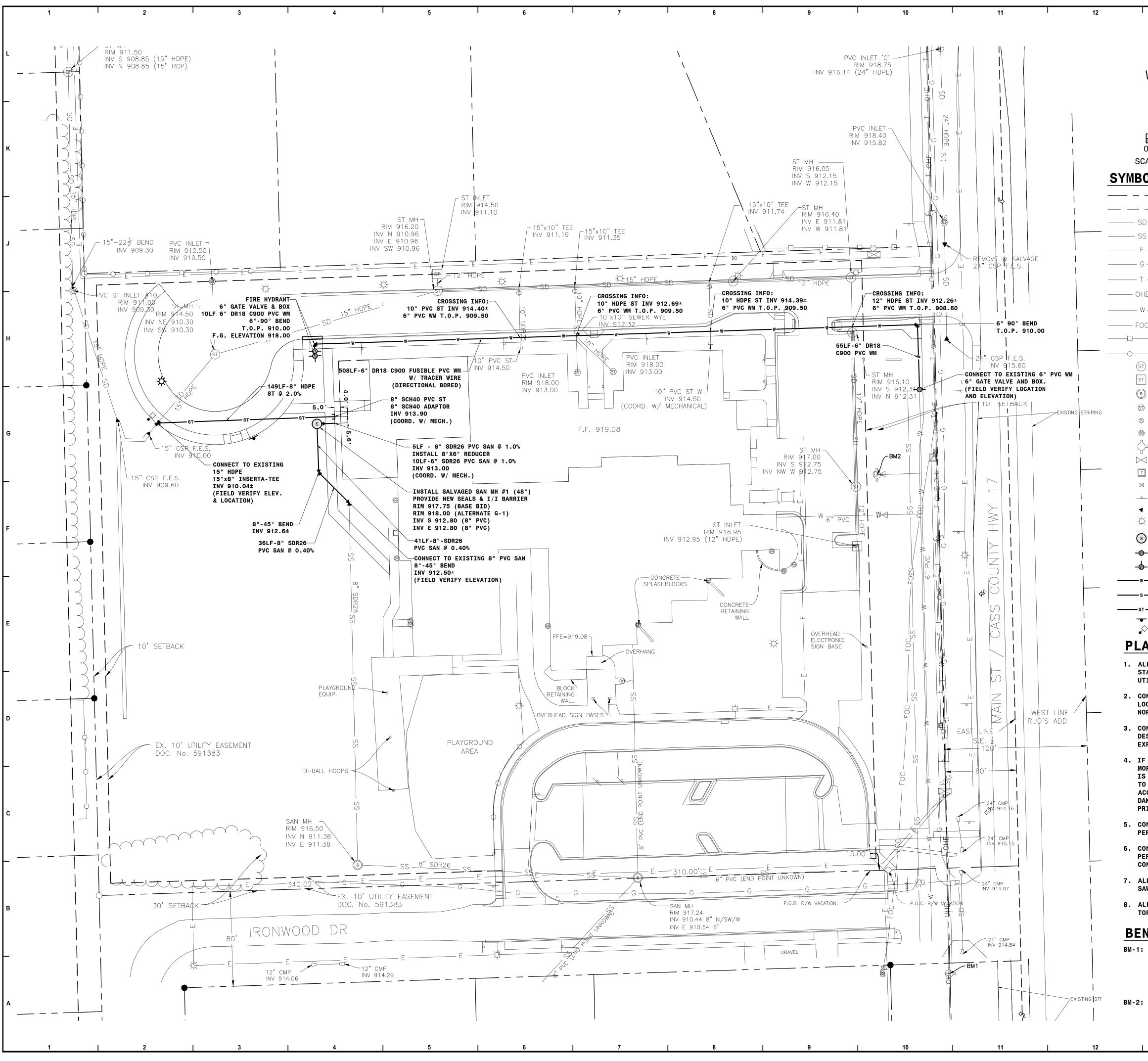
		INDEX OF DRAWINGS
	COVER	COVER SHEET
	ARCHITECTURAL CODE	CODE SHEET
	CIVIL	
	C100	EXISTING CONDITIONS / DEMOLITION PLAN
	C200 C300	EROSION CONTROL PLAN UTILITY PLAN
	C400	GRADING PLAN
	C500	PAVING PLAN
	C600	JOINTING PLAN
	C700 C701	DETAILS DETAILS
	LANDSCAPING	
	L100	LANDSCAPE PLAN
	ARCHITECTURAL	
	A000 A001	MOUNTING HEIGHTS SCHEDULES
	A001 A002	WINDOW & DOOR DETAILS
	A100	DEMOLITION PLAN
	A120	FIRST FLOOR PLAN
	A190	ROOF PLAN / FLOORING PLAN
	A200 A270	BUILDING ELEVATIONS / SECTIONS WALL SECTIONS
	A271	WALL SECTIONS
	A400	FIRST FLOOR RCP
	A600	INTERIOR ELEVATIONS
	ARCHITECTURAL	
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	A2 A3	ALTERNATE 1 ALTERNATE 1
	STRUCTURAL	
	S100	FOUNDATION PLAN
	S101	ALTERNATE FOUNDATION PLAN
	S300 S301	ROOF FRAMING PLAN ALTERNATE ROOF FRAMING PLAN
	S400	SECTIONS & DETAILS
	S410	SECTIONS & DETAILS
	MECHANICAL M000	MECHANICAL COVER SHEET
	M000 M001	MECHANICAL COVER SHEET MECHANICAL DEMOLITION PLAN
	M300	HVAC PLAN - MAIN LEVEL - NORTH ADDITION
	M301	HVAC PLAN - ROOF PLAN - NORTH ADDITION
	M302	HVAC PLAN - NM / CONFERENCE & MEDIA CENTER
	M303 ———————————————————————————————————	HVAC PLAN - ENLARGED PLANS HVAC PIPING PLAN - MAIN LEVEL - NORTH ADDITION
	M401	HVAC PIPING PLAN - ROOM 272 & FLOW DIAGRAM
ATION	M500	MECHANICAL DETAILS
	M501	
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ELEVATION DRAWING NUMBER	P000	PLUMBING COVER SHEET
ELEVATION SHEET REFERENCE	P100	SANITARY PLAN - UNDERGROUND - NORTH ADDITION & NM / CONFERENCE
NUMBER (A200, ETC,)	P101	SANITARY PLAN - MAIN LEVEL - NORTH ADDITION & NM / CONFERENCE
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N (EXTERIOR) REFERENCE TAG	P200	DOMESTIC WATER PLAN - MAIN LEVEL - NORTH ADDITION & NM / CONFERENCE
	P201	DOMESTIC WATER PLAN - HOT & COLD WATER DIAGRAMS
DIRECTION OF ELEVATION	P500	PLUMBING DETAILS
ELEVATION DRAWING NUMBER	P501	PLUMBING SCHEDULES
	FIRE PROTECTION	
NUMBER (A600, ETC,)	FP100	FIRE PROTECTION PLAN - MAIN LEVEL - NORTH ADDITION & NM / CONFERENCE
N (INTERIOR) REFERENCE TAG	ELECTRICAL	
	E001 E002	ELECTRICALSYMBOL LEGEND SITE PLAN - ELECTRICAL
NAME OF LEVEL	E002	OVERALL BUILDING PLAN - ELECTRICAL
<u>OR</u>	E100	FLOORPLAN - ELECTRICAL DEMOLITION
ELEVATION HEIGHT	E200 E300	FLOORPLAN – LIGHTING FLOORPLAN – POWER
ELEVATION MARKER	E300	FLOORPLAN – POWER FLOORPLAN – SYSTEMS
N HEIGHT REFERENCE TAG	E500	FLOORPLAN - SAFETY AND SECURITY
THEOTH NEI ENERGE TAU	E600	ELECTRICAL SCHEDULES AND ELECTRICAL RISER DIAGRAM
	E700 E701	ELECTRICAL DETAILS ELECTRICAL DETAILS
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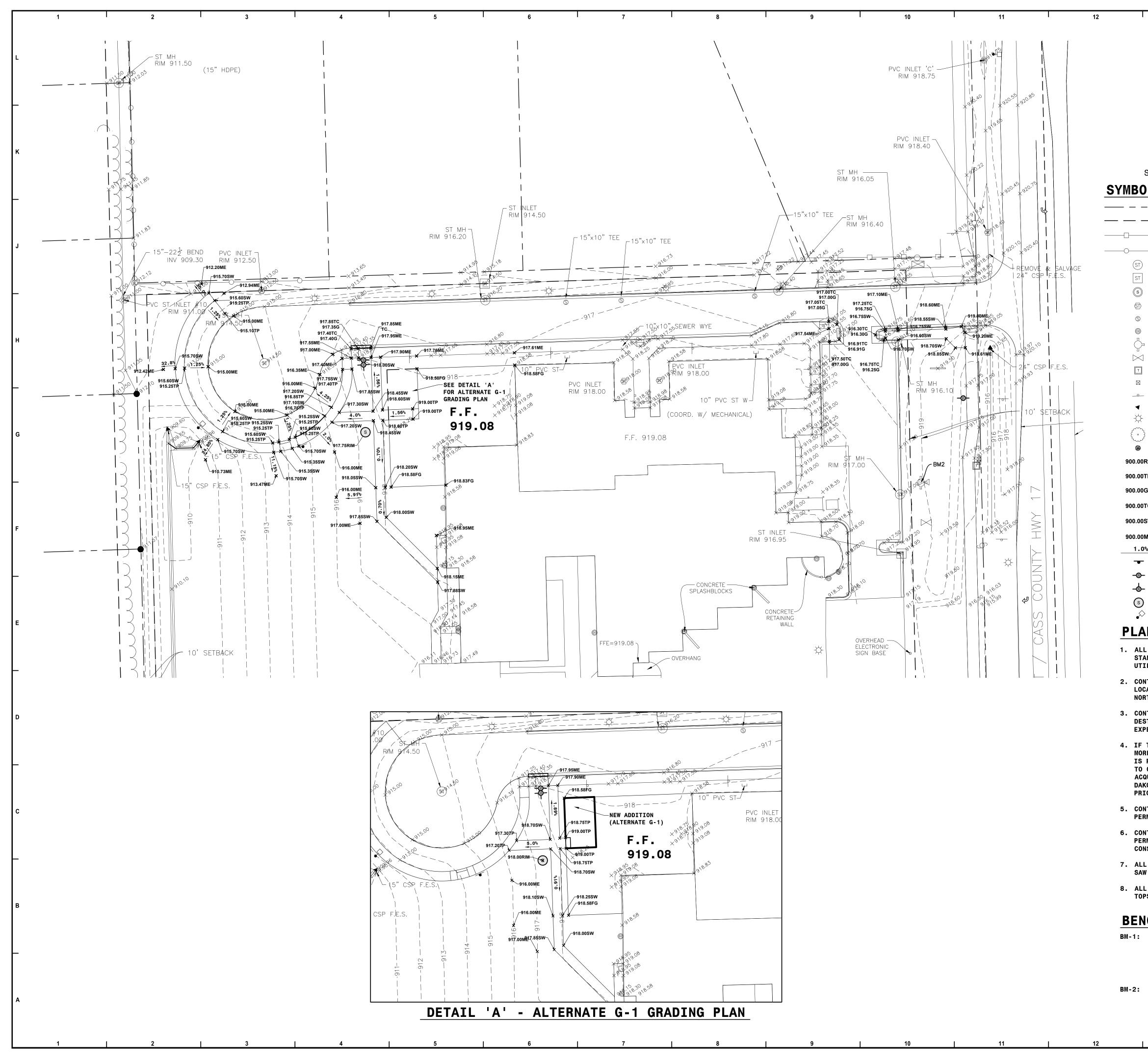


N 14 1 15	NORTH ADDITION HORACE ELEMENTARY
	WEST FARGO PUBLIC SCHOOLS
	HORACE, NORTH DAKOTA
E N G I N E E R I N G MECHANICAL * ELECTRICAL * CIVIL _	
503 7TH ST. N , SUITE 200 G FARGO, ND 58102	
5 PHONE: 701.478.6336 FAX: 701.478.6340	
<u>к</u> 0 20 40 80	
CALE: 1 INCH = 40 FEET	
EGEND:	
- EXISTING PROPERTY LINE - EXISTING EASEMENT LINE	
EXISTING STORM SEWER LINE	
- EXISTING SANITARY SEWER LINE - EXISTING UNDERGROUND ELECTRICAL LINE J	
EXISTING GAS LINE EXISTING TELEPHONE LINE	
EXISTING OVERHEAD POWER LINE EXISTING WATER LINE	
EXISTING FIBER OPTIC LINE	
EXISTING WOOD FENCE LINE	
EXISTING STORM MANHOLE	
EXISTING CATCH BASIN	
EXISTING PVC INLET	
EXISTING CLEAN OUT	
EXITING DOWN SPOUT EXISTING HYDRANT / BENCHMARK	
EXISTING GATE VALVE	
EXISTING ELECTRICAL TRANSFORMER G EXISTING TELEPHONE PEDESTAL	
EXISTING SIGN	
EXISTING STORM FLARED END SECTION Existing light pole	
EXISTING TREE	
EXISTING SHRUB	
REMOVE EXISTING CONCRETE SIDEWALK	
REMOVE/STRIP TOPOSOIL FOR NEW SIDEWALK	
REMOVE EXISTING CONCRETE CURB & GUTTER	
- REMOVE EXISTING SANITARY SEWER LINE	
REMOVE & SALVAGE EXISTING SANITARY MANHOLE REMOVE & SALVAGE LIGHT POLE & BASE	
(COORDINATE W/ ELECTRICAL CONTRACTOR) REMOVE & SALVAGE EXISTING TREE (SEE LANDSCAPING PLAN)	
REMOVE & SALVAGE EXISTING SHRUB (SEE LANDSCAPING PLAN)	GENERAL NOTES
COMPLY WITH THE MOST RECENT CITY OF HORACE Fications for construction of public	
D	
LL NOTIFY UTILITY COMPANIES FOR UNDERGROUND Ours prior to beginning construction.	
NE CALL PHONE NUMBER: 1-800-795-0555. Ll protect all property pins. property pins	
ISTURBED SHALL BE REPLACED AT CONTRACTORS	- FECA
UNDARY DENOTED ON THE PLANS ENCOMPASSES	SPROTESSION
(1) ACRE OR IS LESS THAN ONE (1) ACRE, BUT ARGER DEVELOPMENT PLAN, A NOTICE OF INTENT ORM WATER POLLUTION PERMIT SHALL BE	PE=6864
E CONTRACTOR AND OWNER FROM THE NORTH ENT OF ENVIRONMENTAL QUALITY SEVEN (7) DAYS	DATE 02/15/23 5
RUCTION. LL MAINTAIN TEMPORARY EROSION CONTROL UNTIL	MORTH DAKOTA
ION CONTROL IS ESTABLISHED.	
LL ACQUIRE AN EROSION SEDIMENT CONTROL (ESC) E CITY OF HORACE PRIOR TO START OF	PARTNERS
ARKED FOR DEMOLITION SHALL BE FULL DEPTH TO REMOVAL.	ARCHITECTURE PLANNING 420 Main Avenue
EAS DISTURBED BY CONSTRUCTION SHALL BE DEPTH), GRADED, SEEDED, AND HYDRO-MULCHED.	Moorhead, Minnesota 56560 Telephone: (218)233-4422
<s:< td=""><td>PROJECT NUMBER: 2210 - 04</td></s:<>	PROJECT NUMBER: 2210 - 04
OF HYDRANT LOCATED AT THE INTERSECTION Venue North and Frontage road on the south	
1ST AVENUE NORTH. N = 919.20 (NAVD88) A	EXISTING CONDITIONS
OF HYDRANT LOCATED ±420' NORTH OF THE FION OF 1ST AVENUE NORTH AND FRONTAGE	
THE WEST SIDE OF FRONTAGE ROAD. N = 921.21 (NAVD88)	© 2022 YHR CONSULTING, LTD. $C100$
13 14 15	

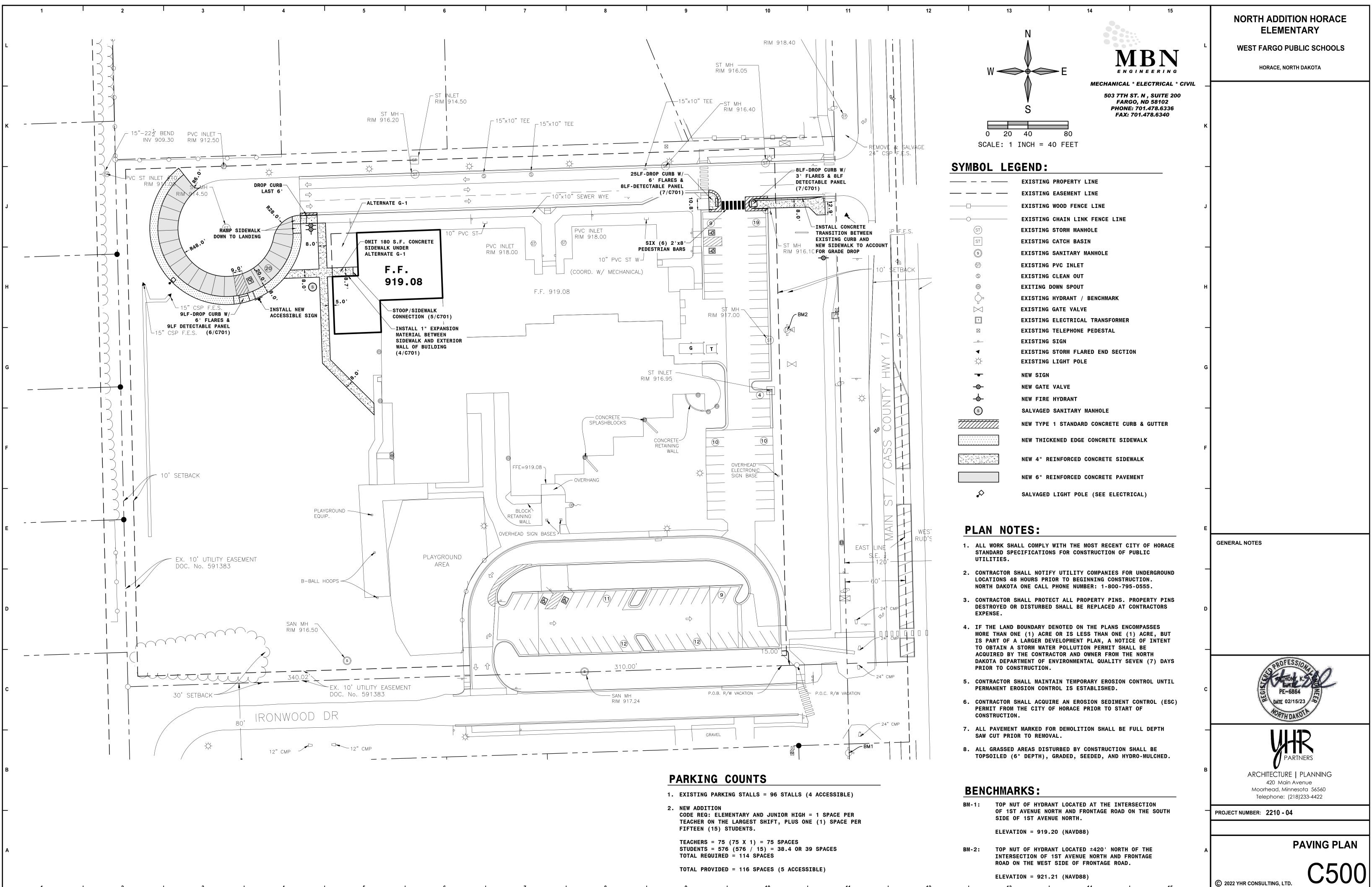




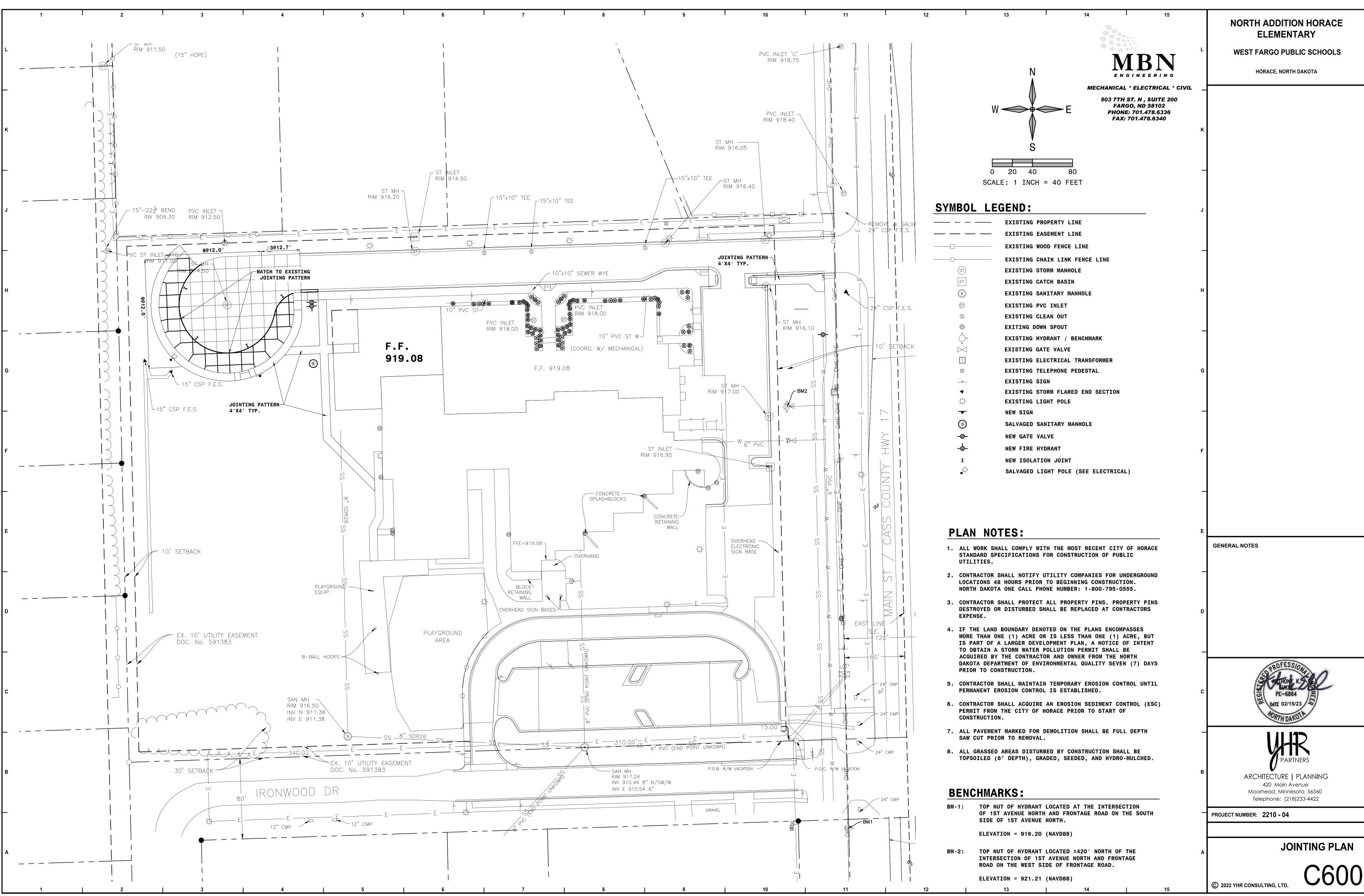
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		L	WEST FARGO PUBLIC SCHOOLS
W -	$ \longrightarrow_{F} $ MBN		
••			HORACE, NORTH DAKOTA
	MECHANICAL * ELECTRICAL * CI 503 7TH ST. N , SUITE 200		
	S FARGO, ND 58102 PHONE: 701.478.6336 FAX: 701.478.6340		
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_	: 1 INCH = 40 FEET		
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SD —	EXISTING STORM SEWER LINE		
SS —	EXISTING SANITARY SEWER LINE EXISTING UNDERGROUND ELECTRICAL LINE	J	
G —	EXISTING GAS LINE		
т —	EXISTING TELEPHONE LINE		
HE —	EXISTING OVERHEAD POWER LINE	-	
	EXISTING WATER LINE		
	EXISTING FIBER OPTIC LINE EXISTING WOOD FENCE LINE	н	
	EXISTING CHAIN LINK FENCE LINE		
ST)	EXISTING STORM MANHOLE		
ST S	EXISTING CATCH BASIN Existing Sanitary Manhole		
ST	EXISTING PVC INLET		
9 9	EXISTING CLEAN OUT Exiting down spout	G	
	EXISTING HYDRANT / BENCHMARK	Ŭ	
\triangleleft	EXISTING GATE VALVE		
T	EXISTING ELECTRICAL TRANSFORMER Existing telephone pedestal	_	
<u>o </u>	EXISTING SIGN		
∢ -	EXISTING STORM FLARED END SECTION Existing light pole		
s	SALVAGED SANITARY MANHOLE	F	
©-	NEW GATE VALVE		
┢-	NEW FIRE HYDRANT		
w —— s ——	- NEW WATERMAIN LINE - NEW SANITARY SEWER LINE		
st ——			
\Diamond	NEW ACCESSIBLE SIGN Salvaged Light Pole (See Electrical)	Ĕ	
	NOTES:	(GENERAL NOTES
	ORK SHALL COMPLY WITH THE MOST RECENT CITY OF HORACE Ard specifications for construction of public fies.	-	
ITA30.	ACTOR SHALL NOTIFY UTILITY COMPANIES FOR UNDERGROUND CONS 48 HOURS PRIOR TO BEGINNING CONSTRUCTION. DAKOTA ONE CALL PHONE NUMBER: 1-800-795-0555.		
	ACTOR SHALL PROTECT ALL PROPERTY PINS. PROPERTY PINS Dyed or disturbed shall be replaced at contractors Se.	D	
	E LAND BOUNDARY DENOTED ON THE PLANS ENCOMPASSES [HAN ONE (1) ACRE OR IS LESS THAN ONE (1) ACRE, BUT		
ES PAR TO OBT	RT OF A LARGER DEVELOPMENT PLAN, A NOTICE OF INTENT FAIN A STORM WATER POLLUTION PERMIT SHALL BE		PROFESSION
ОАКОТА	RED BY THE CONTRACTOR AND OWNER FROM THE NORTH A DEPARTMENT OF ENVIRONMENTAL QUALITY SEVEN (7) DAYS		HATTON K.S.
CONTRA	TO CONSTRUCTION. ACTOR SHALL MAINTAIN TEMPORARY EROSION CONTROL UNTIL NENT EROSION CONTROL IS ESTABLISHED.	с	PE-6864 DATE 02/15/23
PERMIT	ACTOR SHALL ACQUIRE AN EROSION SEDIMENT CONTROL (ESC) F FROM THE CITY OF HORACE PRIOR TO START OF Ruction.	┢	MORTH DAKOTA
SAW CU	AVEMENT MARKED FOR DEMOLITION SHALL BE FULL DEPTH JT PRIOR TO REMOVAL.		PARTNERS
	RASSED AREAS DISTURBED BY CONSTRUCTION SHALL BE [LED (6" DEPTH), GRADED, SEEDED, AND HYDRO-MULCHED.	В	ARCHITECTURE PLANNING
	HMARKS:		420 Main Avenue Moorhead, Minnesota 56560 Telephone: (218)233-4422
	TOP NUT OF HYDRANT LOCATED AT THE INTERSECTION OF 1ST AVENUE NORTH AND FRONTAGE ROAD ON THE SOUTH SIDE OF 1ST AVENUE NORTH.		Telephone: (218)233-4422 ROJECT NUMBER: 2210 - 04
	ELEVATION = 919.20 (NAVD88)		
	TOP NUT OF HYDRANT LOCATED ±420' NORTH OF THE Intersection of 1st avenue north and frontage Road on the west side of frontage road.	А	UTILITY PLAN
	ELEVATION = 921.21 (NAVD88)		C 2022 YHR CONSULTING. LTD. $C300$
	13 14 15		© 2022 YHR CONSULTING, LTD.



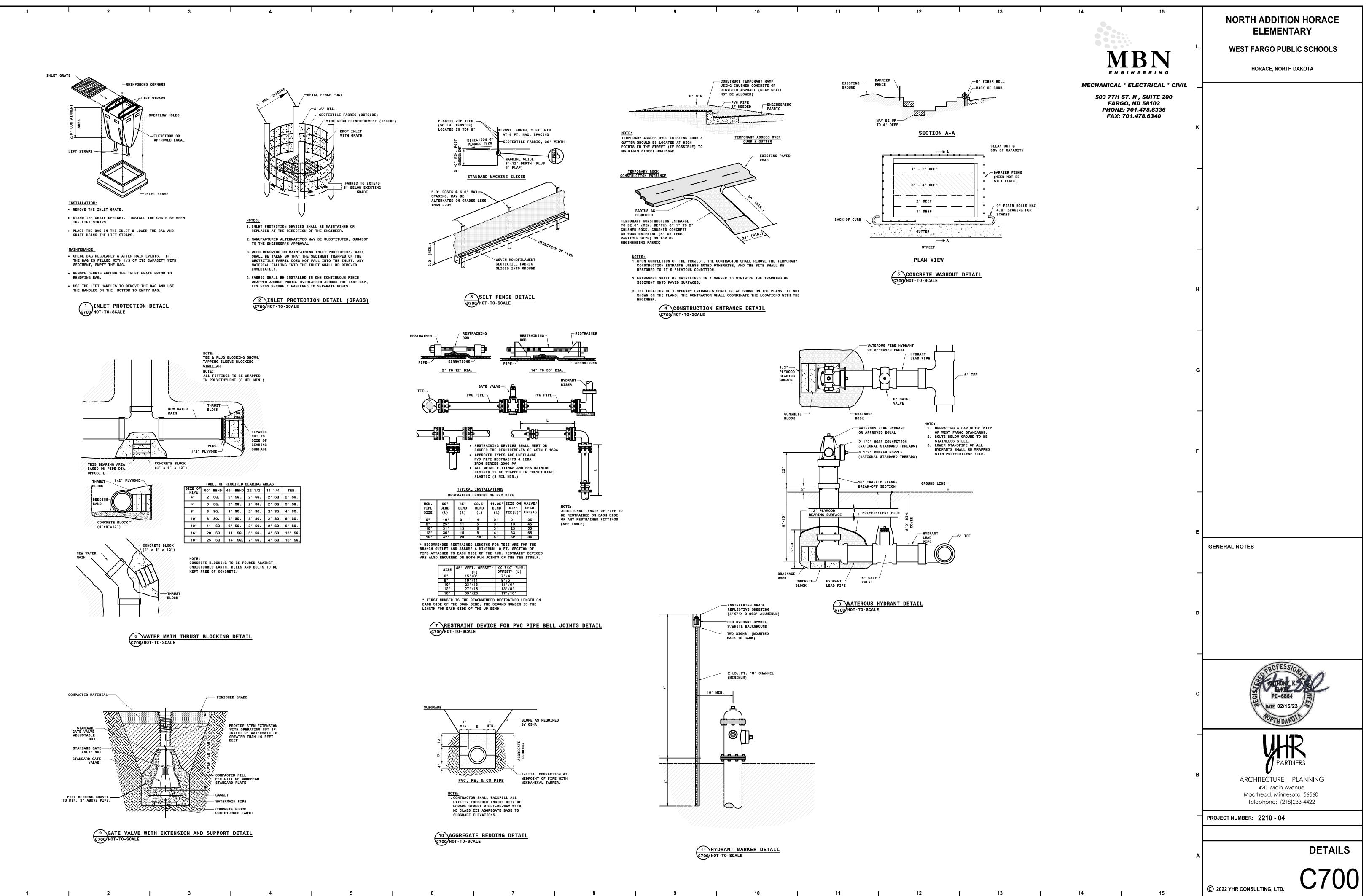
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		L	WEST FARGO PUBLIC SCHOOLS
	\emptyset MBN		
₩ ←			HORACE, NORTH DAKOTA
	MECHANICAL * ELECTRICAL * CIVIL 503 7TH ST. N , SUITE 200	· -[
	FARGO, ND 58102 S PHONE: 701.478.6336		
	FAX: 701.478.6340	к	
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T	EXISTING STORM MANHOLE		
T	EXISTING CATCH BASIN		
	EXISTING SANITARY MANHOLE	-	
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Э 1	EXITING DOWN SPOUT		
}	EXISTING HYDRANT / BENCHMARK	н	
	EXISTING GATE VALVE EXISTING ELECTRICAL TRANSFORMER		
3	EXISTING TELEPHONE PEDESTAL	4	
<u>-</u>	EXISTING SIGN EXISTING STORM FLARED END SECTION		
¥	EXISTING LIGHT POLE		
	EXISTING TREE	G	
Ø 00RIM	EXISTING SHRUB New RIM Elevation		
00TP	NEW TOP OF PAVMENT ELEVATION		
00G	NEW GUTTER ELEVATION		
00TC	NEW TOP OF CURB ELEVATION		
00SW	NEW SIDEWALK ELEVATION	F	
00ME .0%	MATCH EXISTING ELEVATION New Slope & Direction of Flow		
	NEW ACCESSIBLE SIGN		
®− 1	NEW GATE VALVE	-	
®- s)	NEW FIRE HYDRANT Salvaged Sanitary Manhole		
\Diamond	SALVAGED LIGHT POLE (SEE ELECTRICAL)	Е	
AN NO	DTES:	Ē	GENERAL NOTES
	SHALL COMPLY WITH THE MOST RECENT CITY OF HORACE Specifications for construction of public		
ONTRACTOR	R SHALL NOTIFY UTILITY COMPANIES FOR UNDERGROUND 48 Hours prior to beginning construction.	-	
ORTH DAKO	TA ONE CALL PHONE NUMBER: 1-800-795-0555.		
	R SHALL PROTECT ALL PROPERTY PINS. PROPERTY PINS OR DISTURBED SHALL BE REPLACED AT CONTRACTORS	D	
ORE THAN	ID BOUNDARY DENOTED ON THE PLANS ENCOMPASSES ONE (1) ACRE OR IS LESS THAN ONE (1) ACRE, BUT		
O OBTAIN	A LARGER DEVELOPMENT PLAN, A NOTICE OF INTENT A STORM WATER POLLUTION PERMIT SHALL BE	-	10 - Andrew Control of
AKOTA DEP	BY THE CONTRACTOR AND OWNER FROM THE NORTH PARTMENT OF ENVIRONMENTAL QUALITY SEVEN (7) DAYS CONSTRUCTION.		SPROFESSION
ONTRACTOR	SHALL MAINTAIN TEMPORARY EROSION CONTROL UNTIL EROSION CONTROL IS ESTABLISHED.	с	PE-6864
	R SHALL ACQUIRE AN EROSION SEDIMENT CONTROL (ESC) M THE CITY OF HORACE PRIOR TO START OF ION.		DATE 02/15/23
LL PAVEME	ENT MARKED FOR DEMOLITION SHALL BE FULL DEPTH RIOR TO REMOVAL.	-[
	ED AREAS DISTURBED BY CONSTRUCTION SHALL BE (6" DEPTH), GRADED, SEEDED, AND HYDRO-MULCHED.	в	PARTNERS
			ARCHITECTURE PLANNING 420 Main Avenue Moorhead, Minnesota 56560
OF 1	NUT OF HYDRANT LOCATED AT THE INTERSECTION ST AVENUE NORTH AND FRONTAGE ROAD ON THE SOUTH OF 1ST AVENUE NORTH.	-	Telephone: (218)233-4422 PROJECT NUMBER: 2210 - 04
ELEV	ATION = 919.20 (NAVD88)	F	
INTE	NUT OF HYDRANT LOCATED ±420' NORTH OF THE RSECTION OF 1ST AVENUE NORTH AND FRONTAGE ON THE WEST SIDE OF FRONTAGE ROAD.	A	GRADING PLAN
ELEV	ATION = 921.21 (NAVD88)		© 2022 VILLE CONCULT TING 1 TE C400
1	13 14 15		© 2022 YHR CONSULTING, LTD.

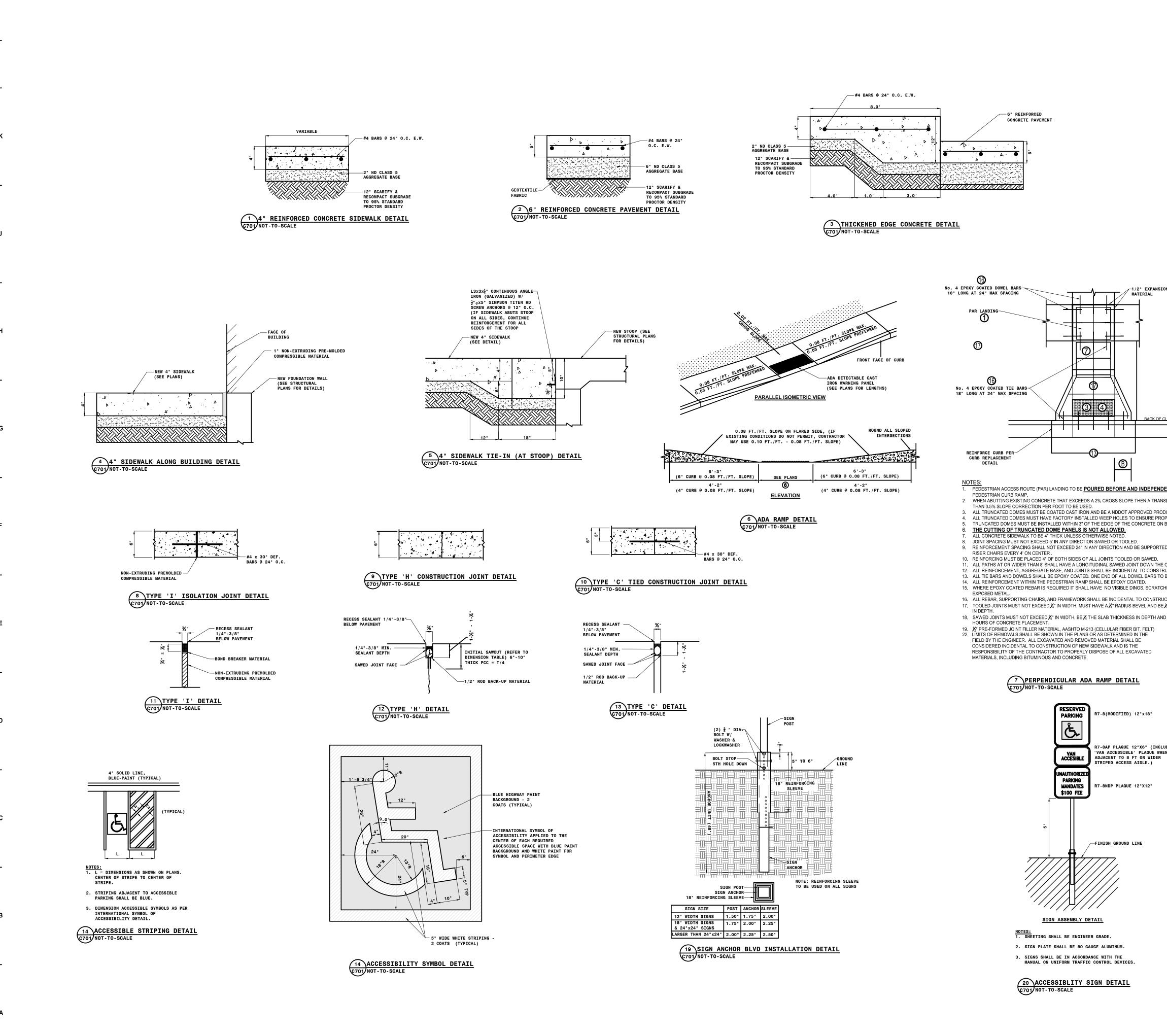


BM-1:				E INTERSECTION ROAD ON THE S	
	SIDE OF 1ST				
	ELEVATION =	919.20 (N	AVD88)		
BM-2:				NORTH OF THE AND FRONTAGE	
	ROAD ON THE	••••••			
	ELEVATION =	921.21 (N	AVD88)		
1	13	1	14	1	15



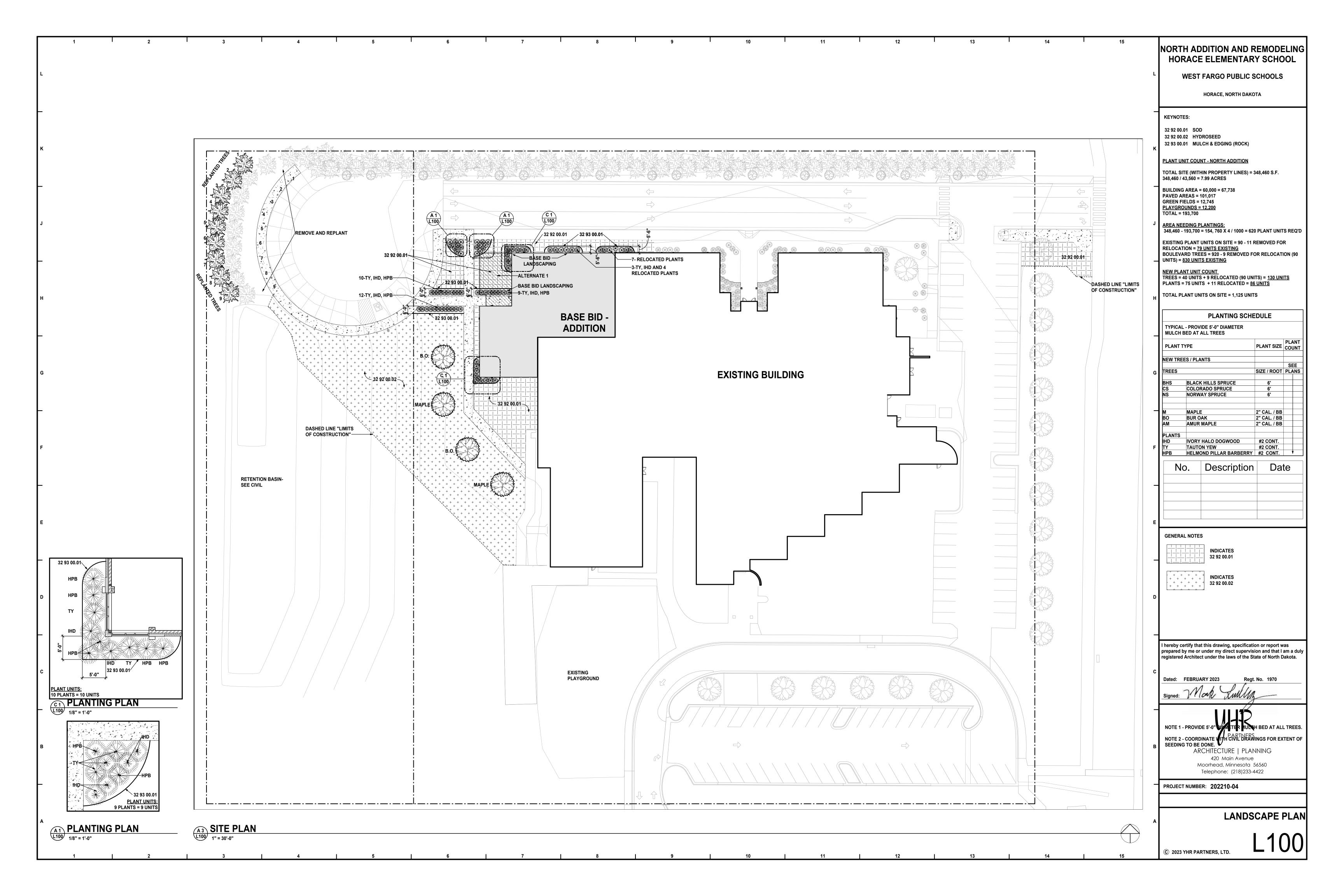
TOP NUT OF HYDRANT LOCATED AT THE INTERSECT OF 1ST AVENUE NORTH AND FRONTAGE ROAD ON TH SIDE OF 1ST AVENUE NORTH.	
ELEVATION = 919.20 (NAVD88)	
TOP NUT OF HYDRANT LOCATED +420' NORTH OF T	HE



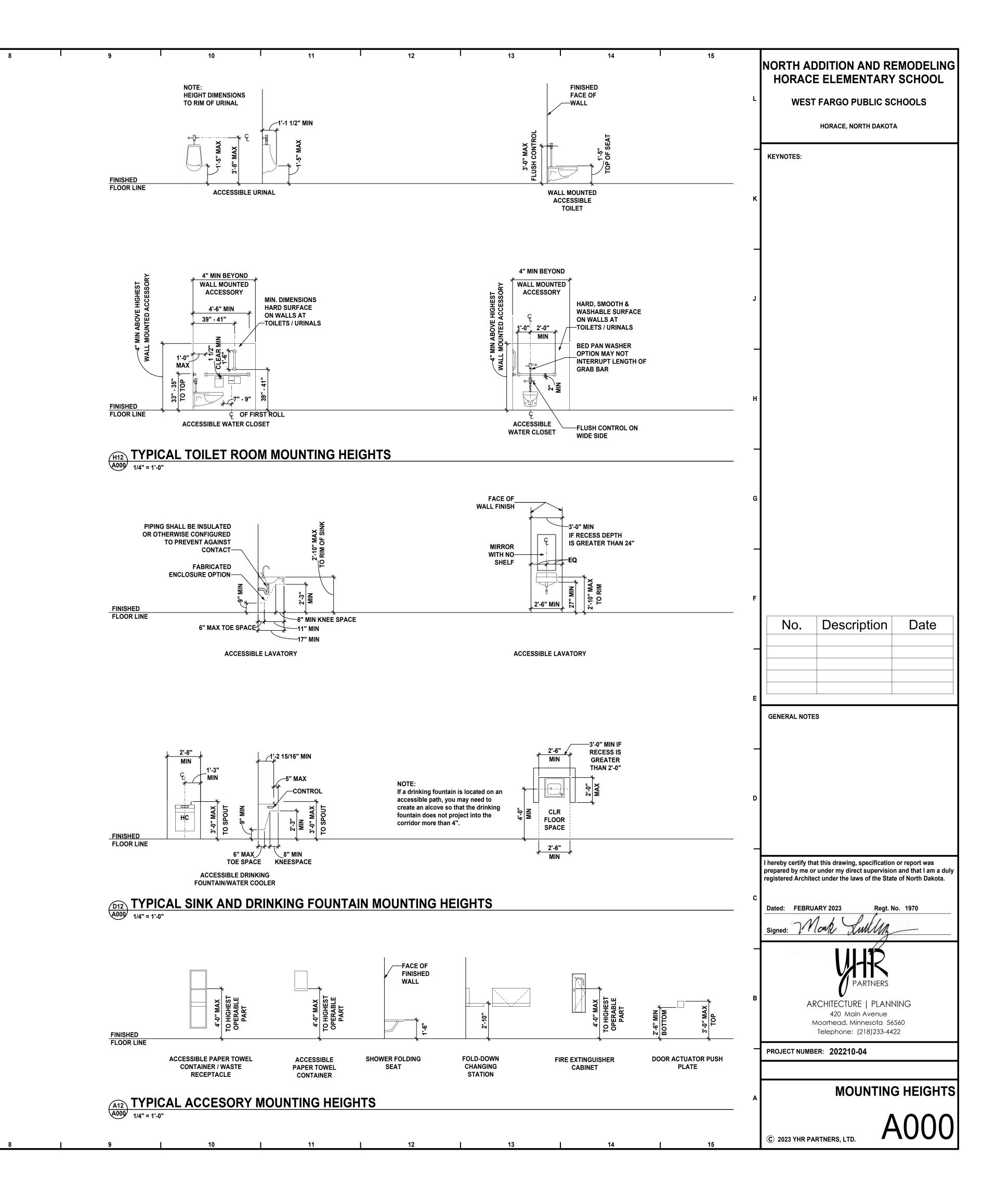


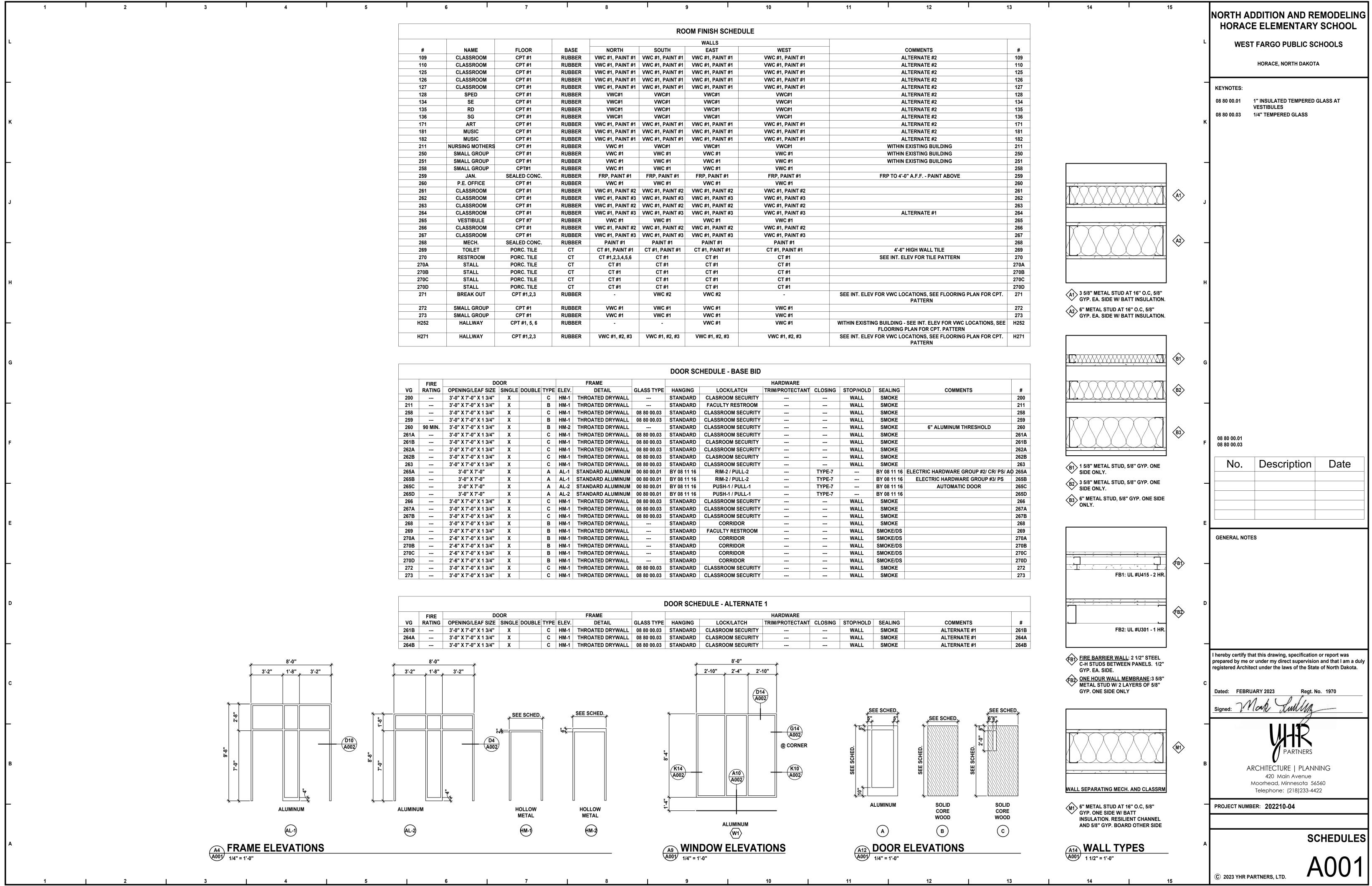
- 3

13	14 15	NORTH ADDITION HORACE ELEMENTARY
	L	WEST FARGO PUBLIC SCHOOLS
	MBN	HORACE, NORTH DAKOTA
	ENGINEERING MECHANICAL * ELECTRICAL * CIVIL	
	503 7TH ST. N , SUITE 200 FARGO, ND 58102	
	PHONE: 701.478.6336 FAX: 701.478.6340	
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NSITION OF NO MORE		
OPER BEDDING. N BOTH SIDES.	F	
ED MID-DEPTH ON REBAR		
E CENTER. RUCTION. D BE GREASED.	_	
CHES, OR OTHER UCTION.		
E¼ THE SLAB THICKNESS ID BE SAW CUT WITHIN 24	E	
	-	GENERAL NOTES
	-	
	D	
LUDE IEN		
	-	
		SPROFESSION A
	С	PE-6864
		DATE 02/15/23
	_	MORTH DAKOTE
		I UHR I
	_	PARTNERS
	В	ARCHITECTURE PLANNING 420 Main Avenue
		Moorhead, Minnesota 56560 Telephone: (218)233-4422
	-	PROJECT NUMBER: 2210 - 04
	Α	DETAILS
		© 2022 YHR CONSULTING, LTD.
13	14 15	© 2022 YHR CONSULTING, LTD.



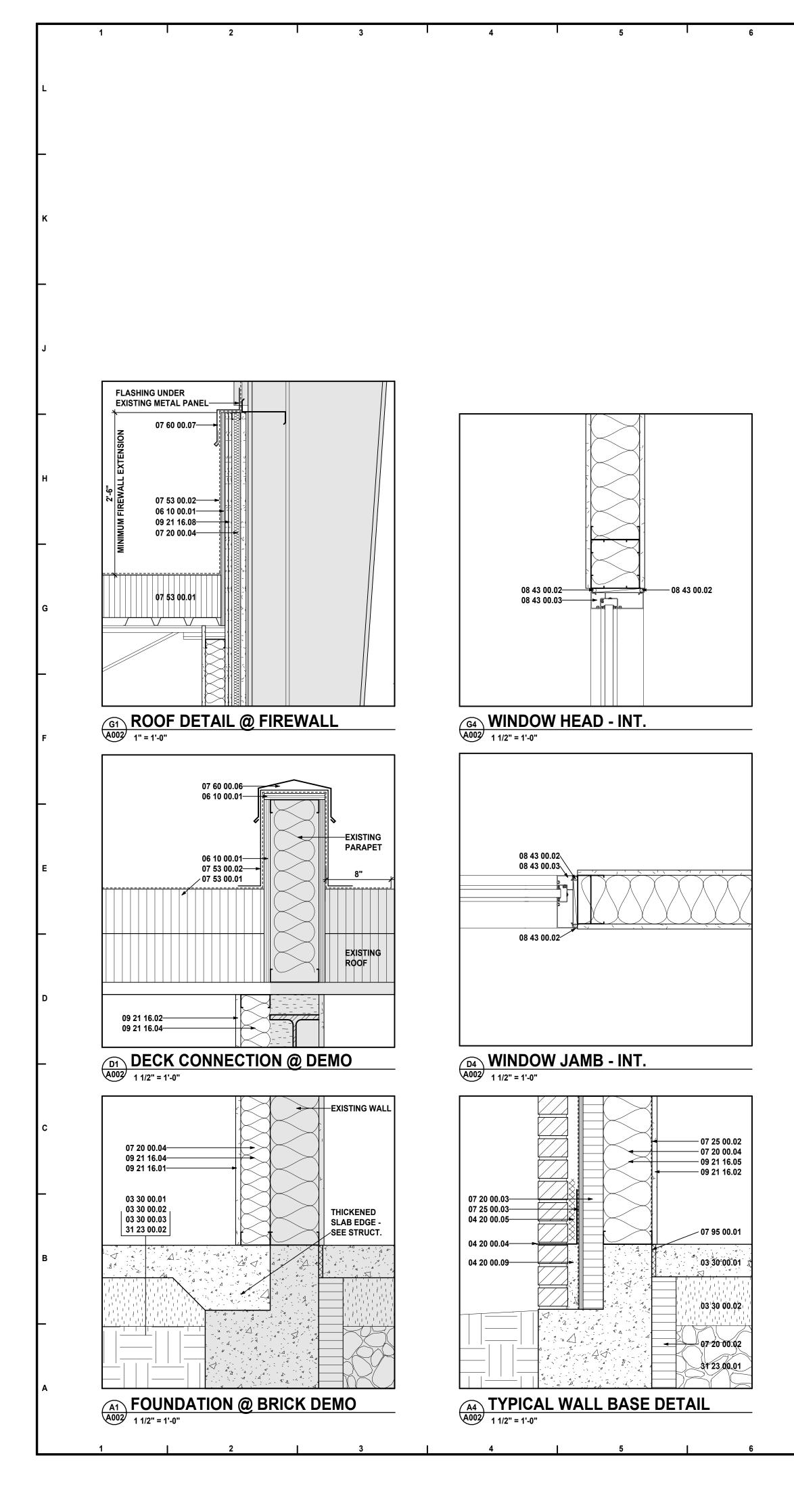
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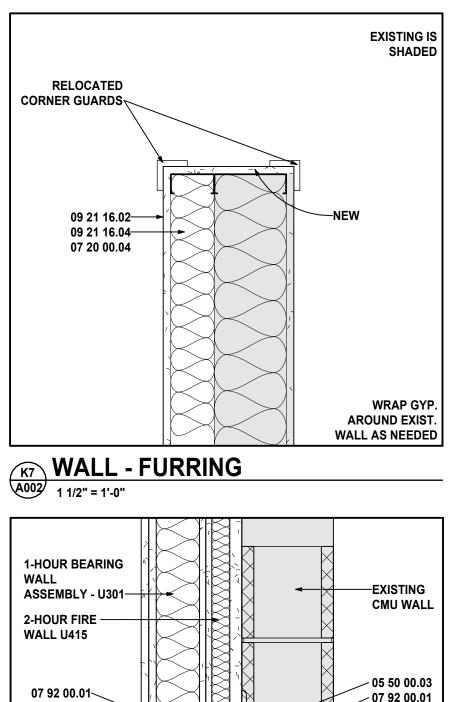


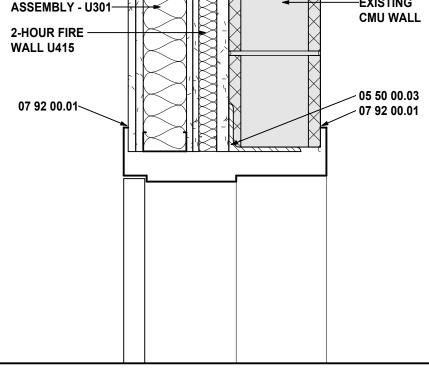


78910ROOM FINISH SCHEDULEROOM FINISH SCHEDULENAMEFLOORBASENORTHSOUTHEASTWESASSROOMCPT #1RUBBERVWC #1, PAINT #1VWC #1, PAINT #1VWC #1, PAINT #1VWC #1, PAINT #1VWC #1, PAINT #1ASSROOMCPT #1RUBBERVWC #1, PAINT #1VWC #1, PAINT #1VWC #1, PAINT #1VWC #1, PAINT #1VWC #1, PAINT #1ASSROOMCPT #1RUBBERVWC #1, PAINT #1VWC #1, PAINT #1VWC #1, PAINT #1VWC #1, PAINT #1ASSROOMCPT #1RUBBERVWC #1, PAINT #1VWC #1, PAINT #1VWC #1, PAINT #1VWC #1, PAINT #1ASSROOMCPT #1RUBBERVWC #1, PAINT #1VWC #1, PAINT #1VWC #1, PAINT #1VWC #1, PAINT #1ASSROOMCPT #1RUBBERVWC #1, PAINT #1VWC #1, PAINT #1VWC #1, PAINT #1VWC #1, PAINT #1ASSROOMCPT #1RUBBERVWC #1, PAINT #1VWC #1, PAINT #1VWC #1, PAINT #1VWC #1, PAINT #1	AINT #1ALTERNATE #2AINT #1ALTERNATE #2AINT #1ALTERNATE #2AINT #1ALTERNATE #2
NAMEFLOORBASENORTHSOUTHEASTWESASSROOMCPT #1RUBBERVWC #1, PAINT #1VWC #1, PAINT #1VWC #1, PAINT #1VWC #1, PAINT #1ASSROOMCPT #1RUBBERVWC #1, PAINT #1VWC #1, PAINT #1VWC #1, PAINT #1VWC #1, PAINT #1ASSROOMCPT #1RUBBERVWC #1, PAINT #1VWC #1, PAINT #1VWC #1, PAINT #1VWC #1, PAINT #1ASSROOMCPT #1RUBBERVWC #1, PAINT #1VWC #1, PAINT #1VWC #1, PAINT #1VWC #1, PAINT #1ASSROOMCPT #1RUBBERVWC #1, PAINT #1VWC #1, PAINT #1VWC #1, PAINT #1VWC #1, PAINT #1	AINT #1ALTERNATE #2AINT #1ALTERNATE #2AINT #1ALTERNATE #2AINT #1ALTERNATE #2
NAMEFLOORBASENORTHSOUTHEASTWESASSROOMCPT #1RUBBERVWC #1, PAINT #1VWC #1, PAINT #1VWC #1, PAINT #1VWC #1, PAINT #1ASSROOMCPT #1RUBBERVWC #1, PAINT #1VWC #1, PAINT #1VWC #1, PAINT #1VWC #1, PAINT #1ASSROOMCPT #1RUBBERVWC #1, PAINT #1VWC #1, PAINT #1VWC #1, PAINT #1VWC #1, PAINT #1ASSROOMCPT #1RUBBERVWC #1, PAINT #1VWC #1, PAINT #1VWC #1, PAINT #1VWC #1, PAINT #1ASSROOMCPT #1RUBBERVWC #1, PAINT #1VWC #1, PAINT #1VWC #1, PAINT #1VWC #1, PAINT #1	AINT #1ALTERNATE #2AINT #1ALTERNATE #2AINT #1ALTERNATE #2AINT #1ALTERNATE #2
NAMEFLOORBASENORTHSOUTHEASTWESASSROOMCPT #1RUBBERVWC #1, PAINT #1VWC #1, PAINT #1VWC #1, PAINT #1VWC #1, PAINT #1ASSROOMCPT #1RUBBERVWC #1, PAINT #1VWC #1, PAINT #1VWC #1, PAINT #1VWC #1, PAINT #1ASSROOMCPT #1RUBBERVWC #1, PAINT #1VWC #1, PAINT #1VWC #1, PAINT #1VWC #1, PAINT #1ASSROOMCPT #1RUBBERVWC #1, PAINT #1VWC #1, PAINT #1VWC #1, PAINT #1VWC #1, PAINT #1	AINT #1ALTERNATE #2AINT #1ALTERNATE #2AINT #1ALTERNATE #2AINT #1ALTERNATE #2
ASSROOMCPT #1RUBBERVWC #1, PAINT #1VWC #1, PAINT #1VWC #1, PAINT #1VWC #1, PAINT #1ASSROOMCPT #1RUBBERVWC #1, PAINT #1VWC #1, PAINT #1VWC #1, PAINT #1VWC #1, PAINT #1ASSROOMCPT #1RUBBERVWC #1, PAINT #1VWC #1, PAINT #1VWC #1, PAINT #1VWC #1, PAINT #1ASSROOMCPT #1RUBBERVWC #1, PAINT #1VWC #1, PAINT #1VWC #1, PAINT #1VWC #1, PAINT #1	AINT #1ALTERNATE #2AINT #1ALTERNATE #2AINT #1ALTERNATE #2AINT #1ALTERNATE #2
ASSROOM CPT #1 RUBBER VWC #1, PAINT #1 VWC #1, PAIN	AINT #1ALTERNATE #2AINT #1ALTERNATE #2AINT #1ALTERNATE #2
ASSROOM CPT #1 RUBBER VWC #1, PAINT #1 VWC #1, PAINT #1 VWC #1, PAINT #1 VWC #1, PAINT #1 ASSROOM CPT #1 RUBBER VWC #1, PAINT #1 VWC #1, PAINT #1 VWC #1, PAINT #1 VWC #1, PAINT #1	AINT #1 ALTERNATE #2 AINT #1 ALTERNATE #2
ASSROOM CPT #1 RUBBER VWC #1, PAINT #1 VWC #1, PAINT #1 VWC #1, PAINT #1 VWC #1, PAINT #1 VWC #1, P	AINT #1 ALTERNATE #2
ASSRUUM CPT#1 RUBBER VWC#1, PAINT#1 VWC#1, PAINT#1 VWC#1, PAINT#1 VWC#1, PAINT#1 VWC#1, P	ALIERNAIE #2
SPED CPT #1 RUBBER VWC#1 VWC#1 VWC#1 VWC SE CPT #1 RUBBER VWC#1 VWC#1 VWC#1 VWC	
RD CPT #1 RUBBER VWC#1 VWC#1 VWC#1 VWC SG CPT #1 RUBBER VWC#1 VWC#1 VWC#1 VWC	
SG CPT #1 ROBBER VWC#1 VWC#1 VWC#1 VWC#1 VWC#1 ART CPT #1 RUBBER VWC #1, PAINT #1 VWC #1, PAINT #1 </td <td></td>	
ART CPT #1 ROBBER VWC #1, PAINT #1 VWC #1, PAINT #1	
MUSIC CPT #1 RUBBER VWC #1, FAILT #1 VWC #1, FAILT	
NG MOTHERS CPT #1 RUBBER VWC #1 VWC #1 VWC #1 VWC #1 VWC #1 VWC #1	
ALL GROUP CPT #1 RUBBER VWC #1 VWC #1 VWC #1 VWC #1 VWC	
ALL GROUP CPT #1 RUBBER VWC #1 VWC #1 VWC #1 VWC #1	
ALL GROUP CPT#1 RUBBER VWC #1 VWC #1 VWC #1 VWC	
JAN. SEALED CONC. RUBBER FRP, PAINT #1 FRP, PAINT #1 FRP, PAINT #1 FRP, PAINT #1	
E. OFFICE CPT #1 RUBBER VWC #1 VWC #1 VWC #1 VWC	
ASSROOM CPT #1 RUBBER VWC #1, PAINT #2	
ASSROOM CPT #1 RUBBER VWC #1, PAINT #3 VWC #1, PAINT #3 VWC #1, PAINT #3 VWC #1, PAINT #3 VWC #1, P	
ASSROOM CPT #1 RUBBER VWC #1, PAINT #2 VWC #1, PAINT #2 VWC #1, PAINT #2 VWC #1, PAINT #2 VWC #1, P	
ASSROOM CPT #1 RUBBER VWC #1, PAINT #3 VWC #1, PAINT #3 VWC #1, PAINT #3 VWC #1, PAINT #3 VWC #1, P	
STIBULE CPT #7 RUBBER VWC #1 VWC #1 VWC #1 VWC	
ASSROOM CPT #1 RUBBER VWC #1, PAINT #2 VWC #1, PAINT #2 VWC #1, PAINT #2 VWC #1, PAINT #2 VWC #1, P	AINT #2
ASSROOM CPT #1 RUBBER VWC #1, PAINT #3 VWC #1, PAINT #3 VWC #1, PAINT #3 VWC #1, PAINT #3 VWC #1, P	
MECH. SEALED CONC. RUBBER PAINT #1 PAINT #1 PAINT #1 PAINT #1 PAINT	「#1
TOILET PORC. TILE CT CT #1, PAINT #1 CT #1, PAINT #1 CT #1, PAINT #1 CT #1, PAINT #1 CT #1, PA	AINT #1 4'-6" HIGH WALL TILE
STROOM PORC. TILE CT CT #1,2,3,4,5,6 CT #1 CT #1 CT #	1 SEE INT. ELEV FOR TILE PATTERN
STALL PORC. TILE CT CT #1 CT #1 CT #1	1
STALL PORC. TILE CT CT #1 CT #1 CT #1	4
STALL PORC. TILE CT CT #1 CT #1 CT #1	H
STALL PORC. TILE CT CT #1 CT #1 CT #1	H
REAK OUT CPT #1,2,3 RUBBER - VWC #2 VWC #2 -	SEE INT. ELEV FOR VWC LOCATIONS, SEE FLOORING F PATTERN
ALL GROUP CPT #1 RUBBER VWC #1 VWC #1 VWC #1 VWC #1	#1
ALL GROUP CPT #1 RUBBER VWC #1 VWC #1 VWC #1 VWC #1	#1
ALLWAY CPT #1, 5, 6 RUBBER VWC #1 VWC	#1 WITHIN EXISTING BUILDING - SEE INT. ELEV FOR VWC L FLOORING PLAN FOR CPT. PATTERN
ALLWAY CPT #1,2,3 RUBBER VWC #1, #2, #3 VWC #1, #2, #3 VWC #1, #2, #3 VWC #1, #2, #3 VWC #1,	#2, #3 SEE INT. ELEV FOR VWC LOCATIONS, SEE FLOORING F PATTERN

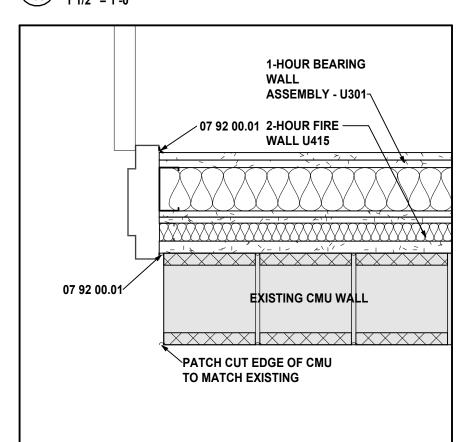
							DOOR SC	HEDULE - BASE BID					
DC	OOR				FRAME				HARDWARE				
NG/LEAF SIZE	SINGLE	DOUBLE	TYPE	ELEV.	DETAIL	GLASS TYPE	HANGING	LOCK/LATCH	TRIM/PROTECTANT	CLOSING	STOP/HOLD	SEALING	COMMENTS
(7'-0" X 1 3/4"	X		С	HM-1	THROATED DRYWALL		STANDARD	CLASROOM SECURITY			WALL	SMOKE	
(7'-0" X 1 3/4"	X		В	HM-1	THROATED DRYWALL		STANDARD	FACULTY RESTROOM			WALL	SMOKE	
(7'-0" X 1 3/4"	X		С	HM-1	THROATED DRYWALL	08 80 00.03	STANDARD	CLASSROOM SECURITY			WALL	SMOKE	
(7'-0" X 1 3/4"	X		В	HM-1	THROATED DRYWALL	08 80 00.03	STANDARD	CLASSROOM SECURITY			WALL	SMOKE	
(7'-0" X 1 3/4"	X		В	HM-2	THROATED DRYWALL		STANDARD	CLASSROOM SECURITY			WALL	SMOKE	6" ALUMINUM THRE
(7'-0" X 1 3/4"	X		С	HM-1	THROATED DRYWALL	08 80 00.03	STANDARD	CLASSROOM SECURITY			WALL	SMOKE	
(7'-0" X 1 3/4"	X		С	HM-1	THROATED DRYWALL	08 80 00.03	STANDARD	CLASROOM SECURITY			WALL	SMOKE	
(7'-0" X 1 3/4"	X		С	HM-1	THROATED DRYWALL	08 80 00.03	STANDARD	CLASSROOM SECURITY			WALL	SMOKE	
(7'-0" X 1 3/4"	X		С	HM-1	THROATED DRYWALL	08 80 00.03	STANDARD	CLASROOM SECURITY			WALL	SMOKE	
(7'-0" X 1 3/4"	X		С	HM-1	THROATED DRYWALL	08 80 00.03	STANDARD	CLASSROOM SECURITY			WALL	SMOKE	
0" X 7'-0"	X		Α	AL-1	STANDARD ALUMINUM	00 80 00.01	BY 08 11 16	RIM-2 / PULL-2		TYPE-7		BY 08 11 16	ELECTRIC HARDWARE GROU
0" X 7'-0"	X		Α	AL-1	STANDARD ALUMINUM	00 80 00.01	BY 08 11 16	RIM-2 / PULL-2		TYPE-7		BY 08 11 16	ELECTRIC HARDWARE G
0" X 7'-0"	X		Α	AL-2	STANDARD ALUMINUM	00 80 00.01	BY 08 11 16	PUSH-1 / PULL-1		TYPE-7		BY 08 11 16	AUTOMATIC DO
0" X 7'-0"	X		Α	AL-2	STANDARD ALUMINUM	00 80 00.01	BY 08 11 16	PUSH-1 / PULL-1		TYPE-7		BY 08 11 16	
(7'-0" X 1 3/4"	X		С	HM-1	THROATED DRYWALL	08 80 00.03	STANDARD	CLASSROOM SECURITY			WALL	SMOKE	
(7'-0" X 1 3/4"	X		С	HM-1	THROATED DRYWALL	08 80 00.03	STANDARD	CLASSROOM SECURITY			WALL	SMOKE	
(7'-0" X 1 3/4"	X		С	HM-1	THROATED DRYWALL	08 80 00.03	STANDARD	CLASSROOM SECURITY			WALL	SMOKE	
(7'-0" X 1 3/4"	X		В	HM-1	THROATED DRYWALL		STANDARD	CORRIDOR			WALL	SMOKE	
(7'-0" X 1 3/4"	X		В	HM-1	THROATED DRYWALL		STANDARD	FACULTY RESTROOM			WALL	SMOKE/DS	
(7'-0" X 1 3/4"	X		В	HM-1	THROATED DRYWALL		STANDARD	CORRIDOR			WALL	SMOKE/DS	
(7'-0" X 1 3/4"	X		В	HM-1	THROATED DRYWALL		STANDARD	CORRIDOR			WALL	SMOKE/DS	
(7'-0" X 1 3/4"	X		В	HM-1	THROATED DRYWALL		STANDARD	CORRIDOR			WALL	SMOKE/DS	
(7'-0" X 1 3/4"	X		В	HM-1	THROATED DRYWALL		STANDARD	CORRIDOR			WALL	SMOKE/DS	
(7'-0" X 1 3/4"	X		С	HM-1	THROATED DRYWALL	08 80 00.03	STANDARD	CLASSROOM SECURITY			WALL	SMOKE	
X 7'-0" X 1 3/4"	X		С	HM-1	THROATED DRYWALL	08 80 00.03	STANDARD	CLASSROOM SECURITY			WALL	SMOKE	
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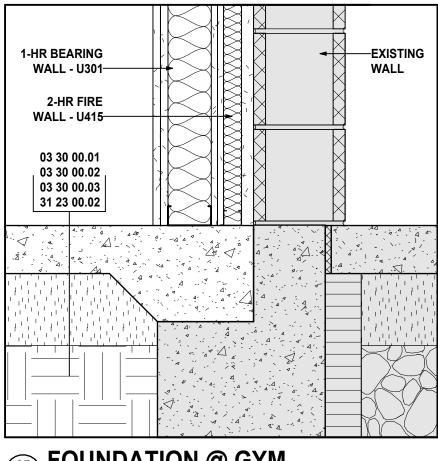




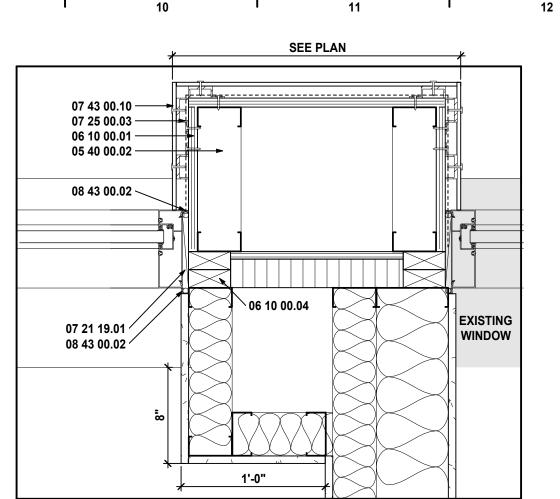
G7 DOOR HEAD DETAL AT FIREWALL

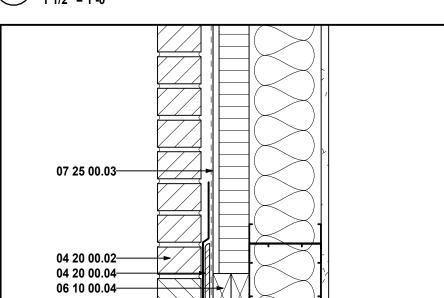


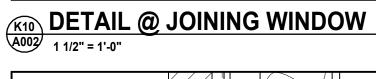
DOOR JAMB DETAIL AT FIREWALL A002 1 1/2" = 1'-0"

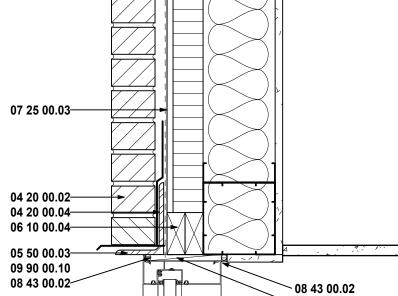


FOUNDATION @ GYM A002 1 1/2" = 1'-0"





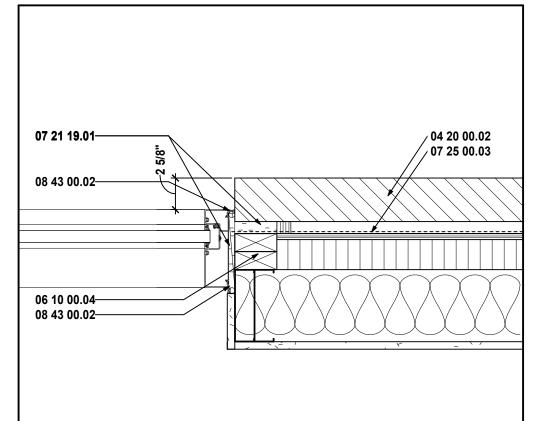




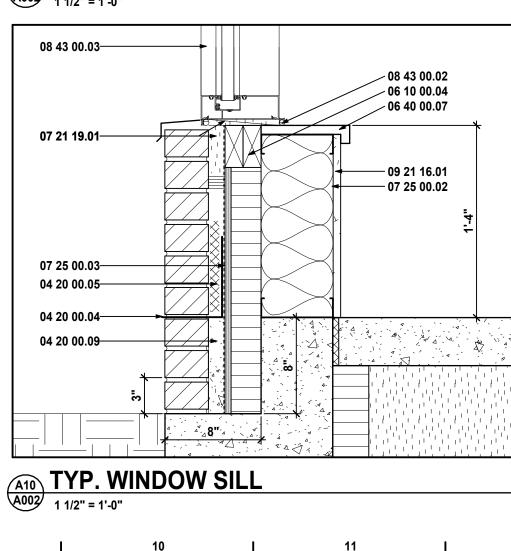
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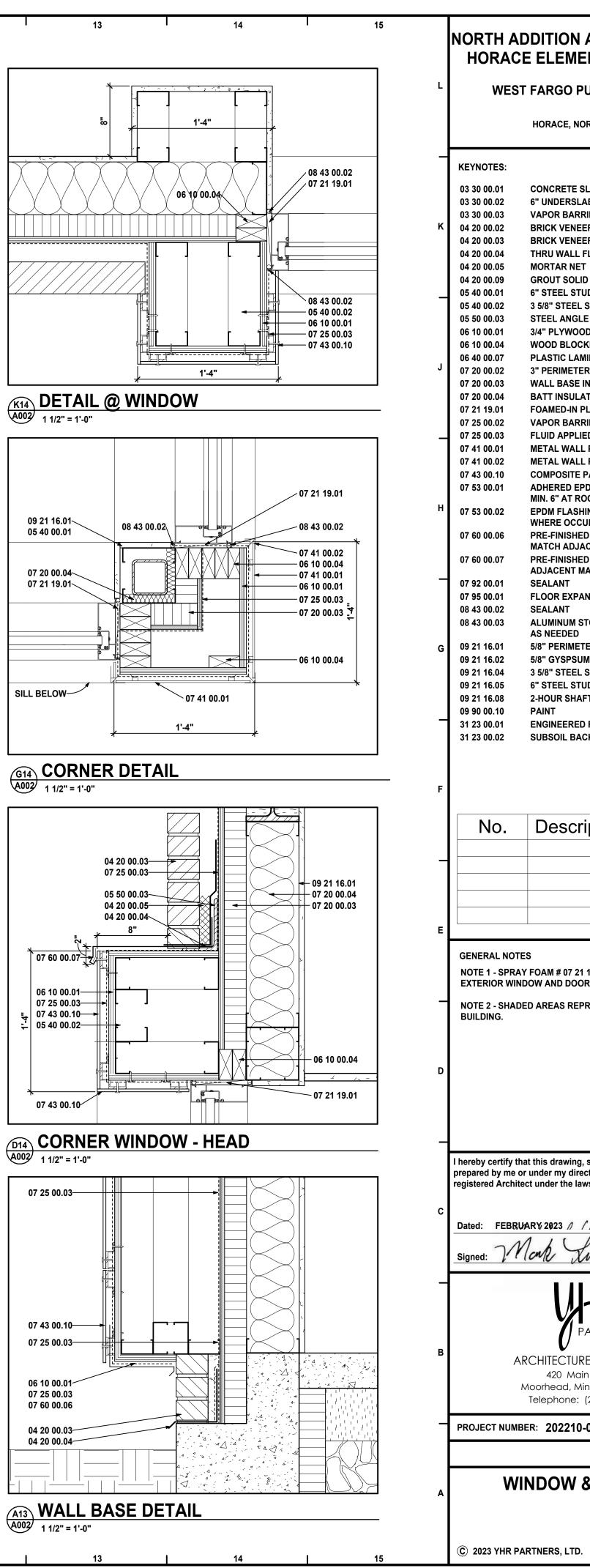


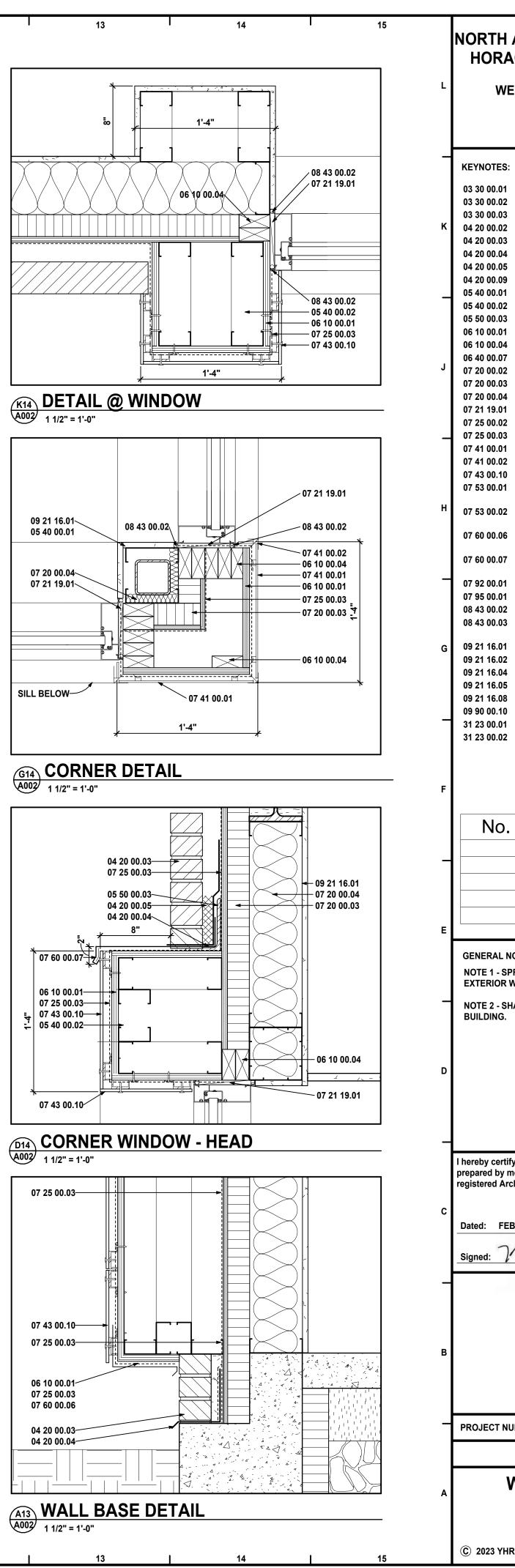
08 43 00.03-----



DID ALUM. JAMB DETAIL A002 1 1/2" = 1'-0"





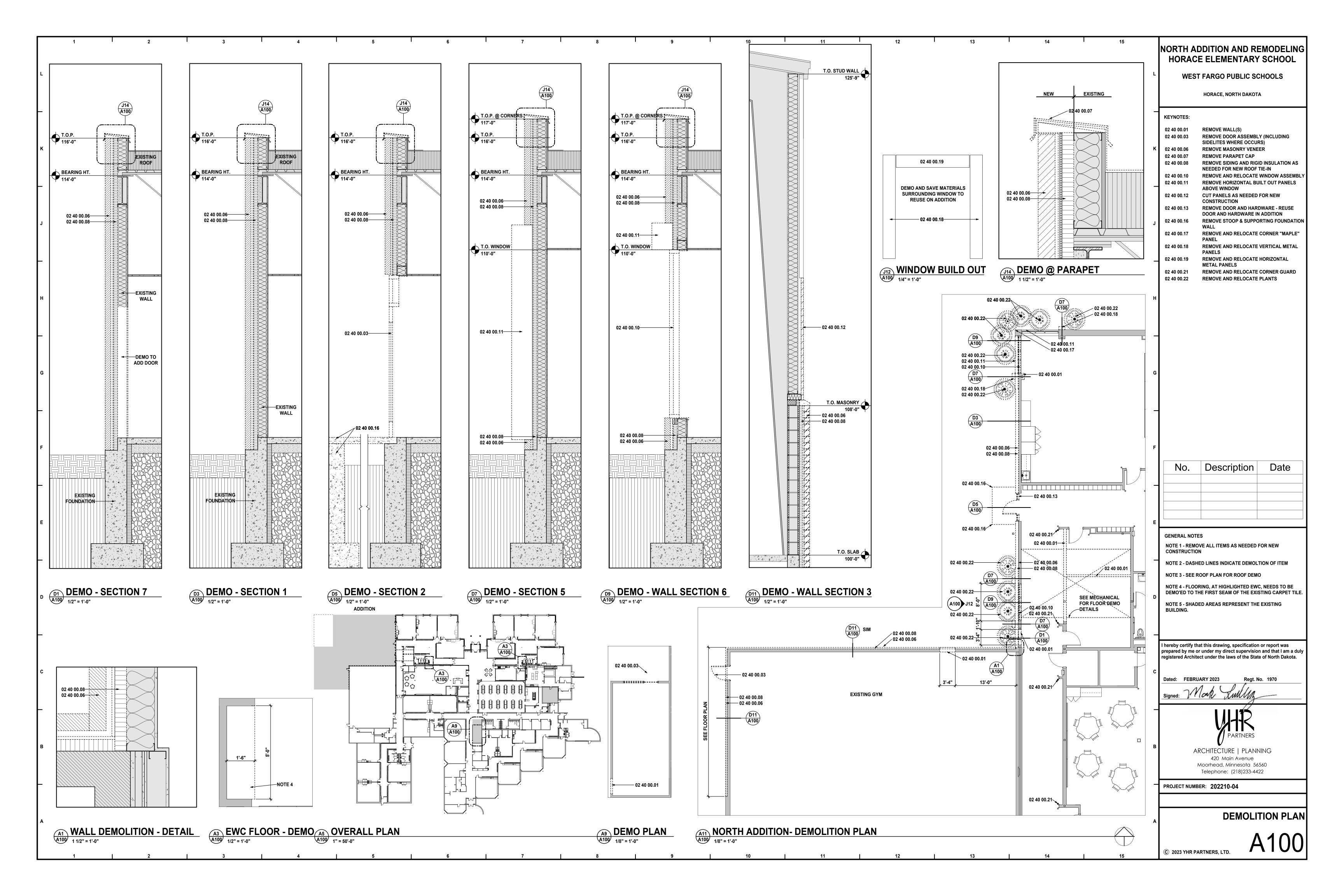


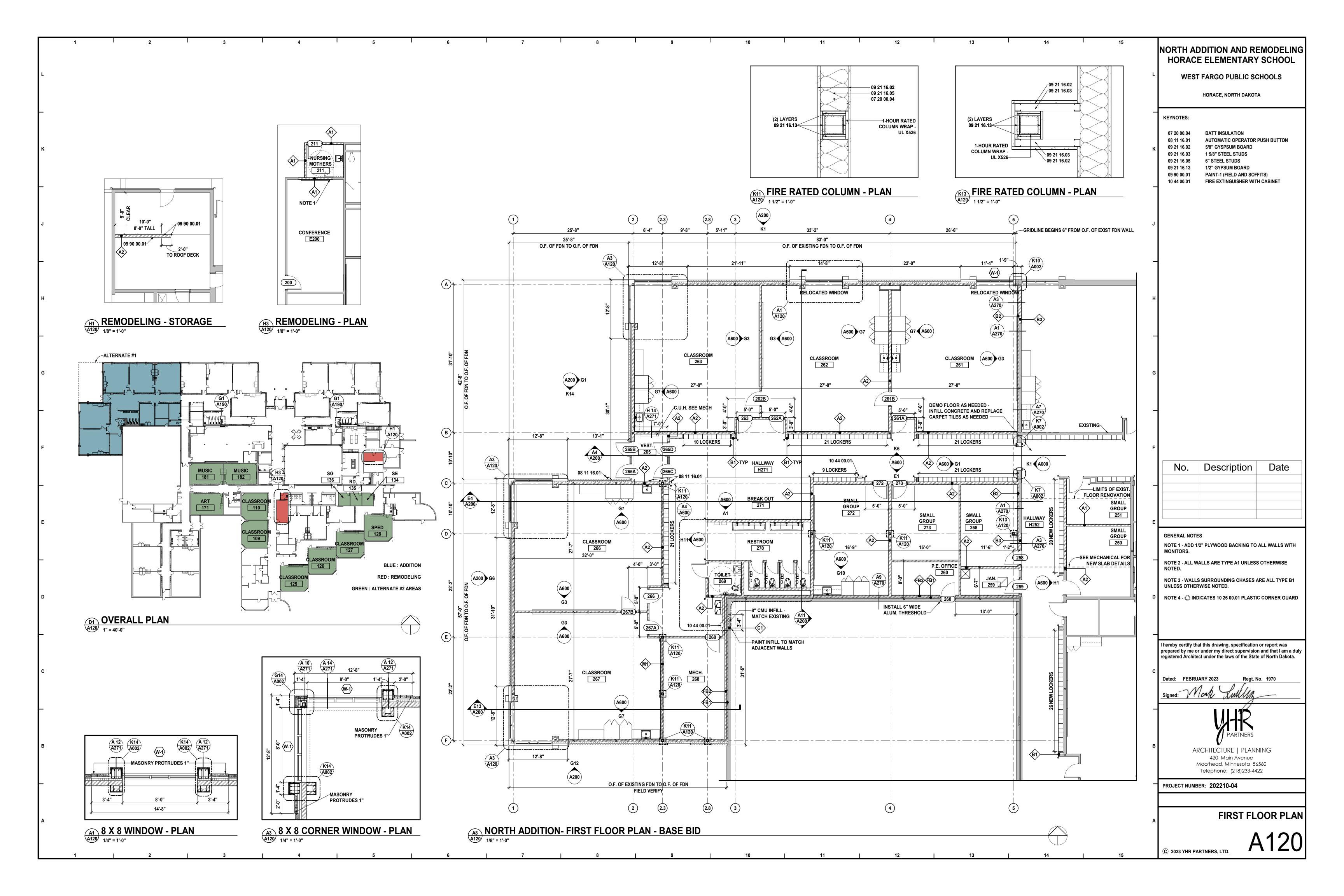
NORTH ADDITION AND REMODELING HORACE ELEMENTARY SCHOOL

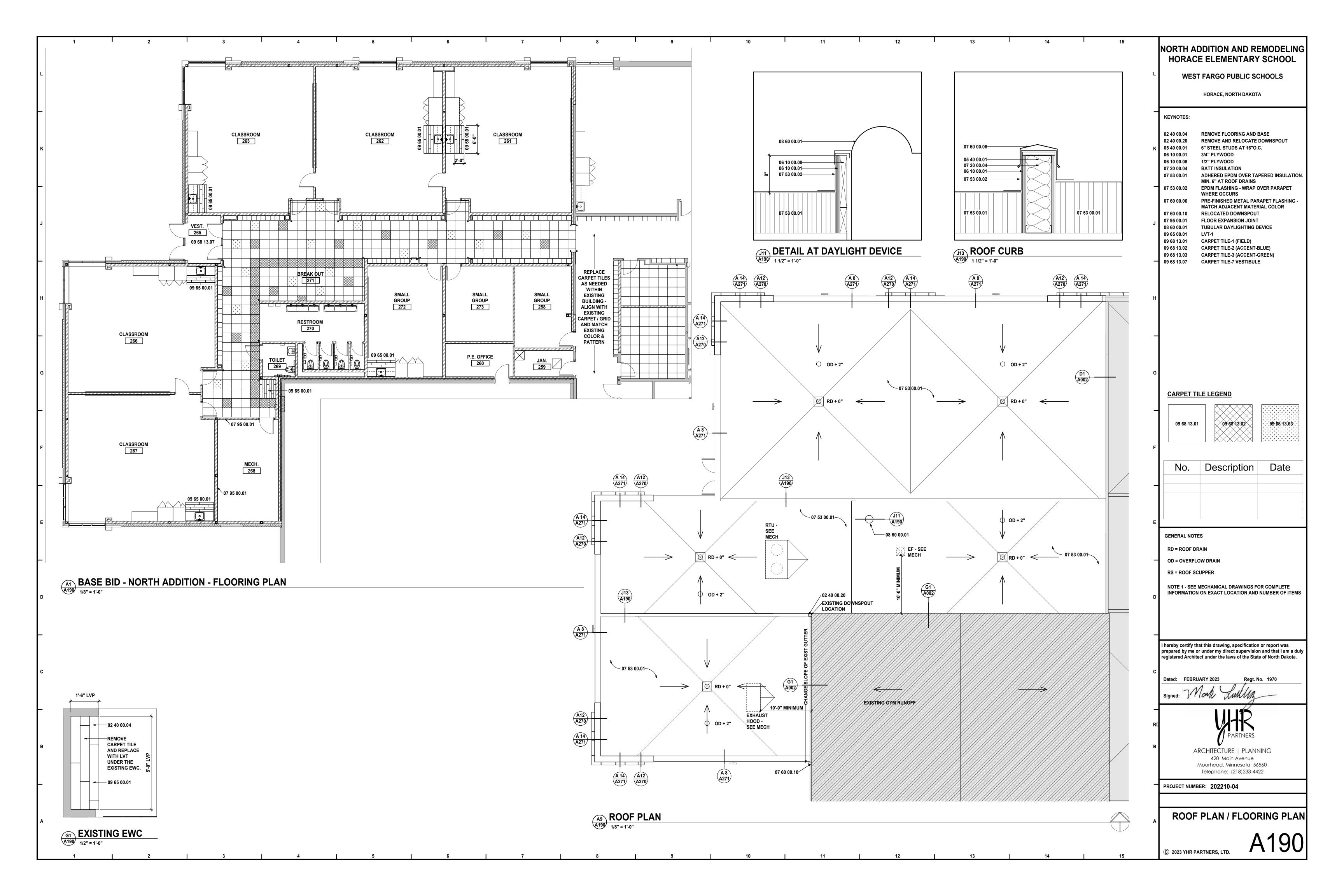
WEST FARGO PUBLIC SCHOOLS

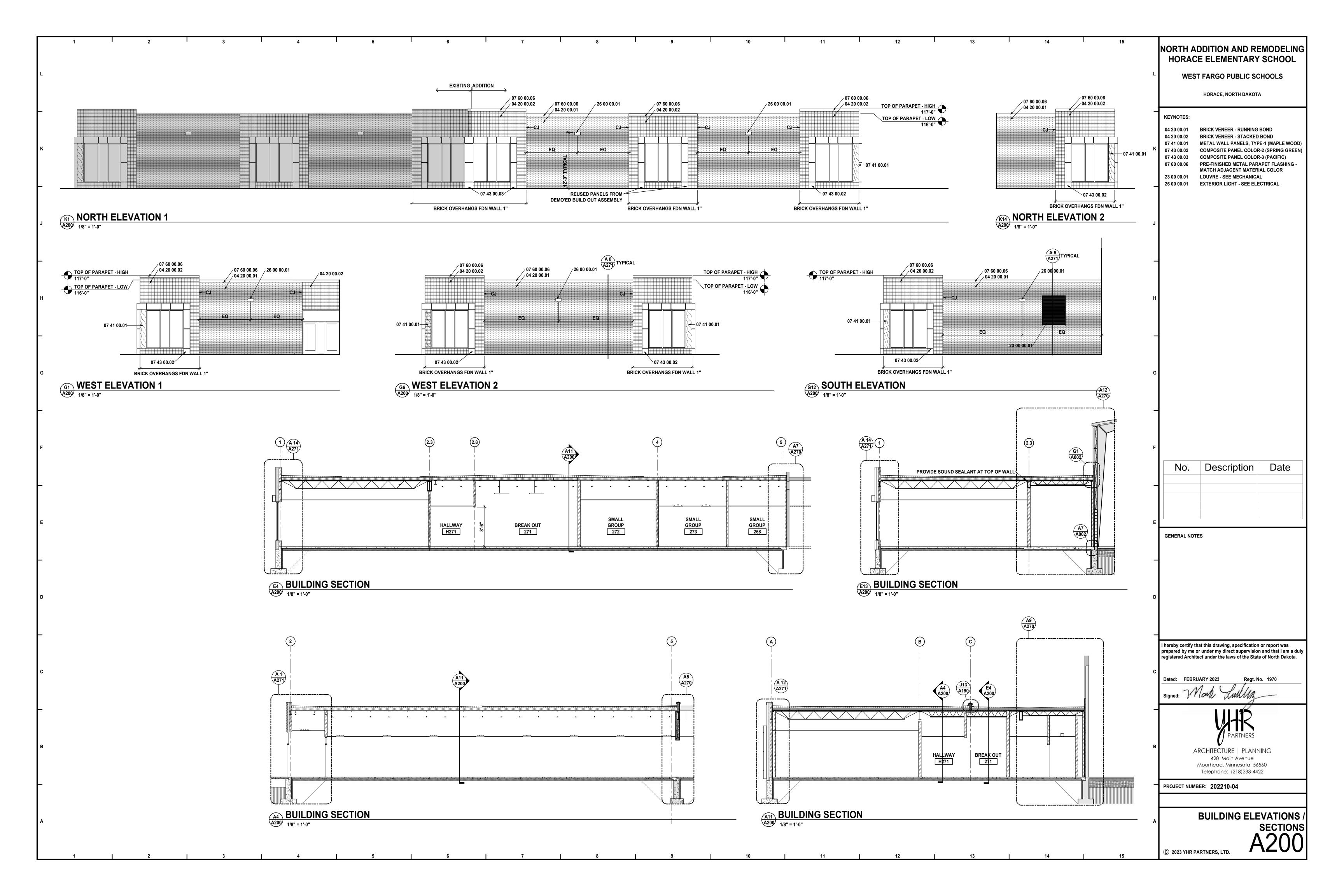
HORACE, NORTH DAKOTA

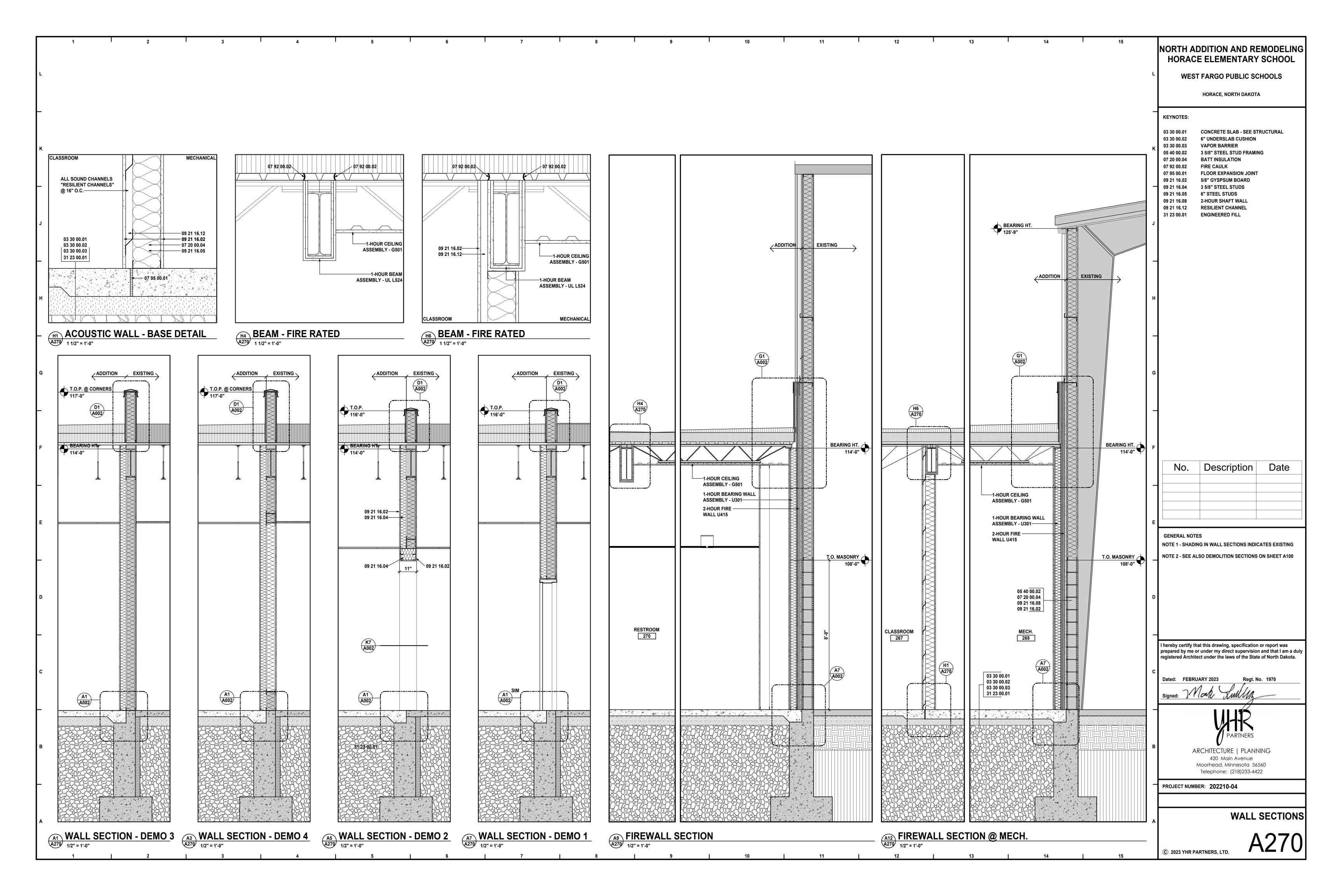
		HORACE, NORTH DAKOT	ΓA								
_	KEYNOTES:										
		CONCRETE SLAB - SEE S									
	03 30 00.02 03 30 00.03	03 30 00.02 6" UNDERSLAB CUSHION									
K	04 20 00.02 04 20 00.03	BRICK VENEER - STACKE BRICK VENEER - SEE A20	-								
	04 20 00.03 04 20 00.04	THRU WALL FLASHING	JUFOR PATTERN								
	04 20 00.05 MORTAR NET 04 20 00.09 GROUT SOLID BELOW THRU WALL FLASHING										
_	05 40 00.01 6" STEEL STUDS AT 16"O.C. 05 40 00.02 3 5/8" STEEL STUD FRAMING										
	05 50 00.03 STEEL ANGLE - SEE STRUCTURAL										
	06 10 00.01 06 10 00 04	3/4" PLYWOOD WOOD BLOCKING / NAILE	-RS								
	06 40 00.07	PLASTIC LAMINATE SILL	W/ P.V.C. EDGE								
ו	07 20 00.02 07 20 00.03	3" PERIMETER INSULATION WALL BASE INSULATION	-								
	07 20 00.04	BATT INSULATION									
	07 21 19.01 07 25 00.02	FOAMED-IN PLACE INSUI VAPOR BARRIER	LATION								
	07 25 00.03 FLUID APPLIED AIR BARRIER										
	07 41 00.01 07 41 00.02	METAL WALL PANELS, T METAL WALL PANEL TRI	· · ·								
	07 43 00.10 07 53 00.01	COMPOSITE PANEL SEE ADHERED EPDM OVER TA									
н		MIN. 6" AT ROOF DRAINS									
י	07 53 00.02	EPDM FLASHING - WRAP WHERE OCCURS	OVER PARAPET								
	07 60 00.06	PRE-FINISHED METAL PA MATCH ADJACENT MATE									
	07 60 00.07	PRE-FINISHED METAL FL	ASHING - MATCH								
_	07 92 00.01	ADJACENT MATERIAL CO SEALANT	JLUK								
		00.01 SEALANT 00.01 FLOOR EXPANSION JOINT 00.02 SEALANT									
	08 43 00.02 08 43 00.03	ALUMINUM STOREFRONT	T WITH SILL EXTENSIO								
G	09 21 16.01	AS NEEDED 5/8" PERIMETER WALL B	OARD								
ן נ	09 21 16.02	5/8" GYSPSUM BOARD									
		3 5/8" STEEL STUDS 6" STEEL STUDS									
	09 21 16.08	2-HOUR SHAFT WALL									
_		PAINT ENGINEERED FILL									
		SUBSOIL BACKFILL									
-											
	No.	Description	Date								
_											
=											
	GENERAL NOTE NOTE 1 - SPRAY	S FOAM # 07 21 19.01 @ PEI									
		OW AND DOOR SHIM SPA									
	NOTE 2 - SHADED AREAS REPRESENT THE EXISTING BUILDING.										
	BOILDING.										
5											
	I hereby certify the	t this drawing, specificatio	n or report was								
	prepared by me or	under my direct supervision of the Sta	on and that I am a duly								
2	Dated: FEBRU	ARV/2023 // / Regt.	No. 1970								
	Signed:	and Jully	_								
_		1 11 14									
		11144									
		PARTNERS									
3											
-	AR	CHITECTURE PLAN	NING								
420 Main Avenue Moorhead, Minnesota 56560											
		Telephone: (218)233-44	422								
	PROJECT NUMB	ER: 202210-04									
	WI	NDOW & DOO	R DETAILS								
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			_								
			2002								
	© 2023 YHR PA	ļ	4002								

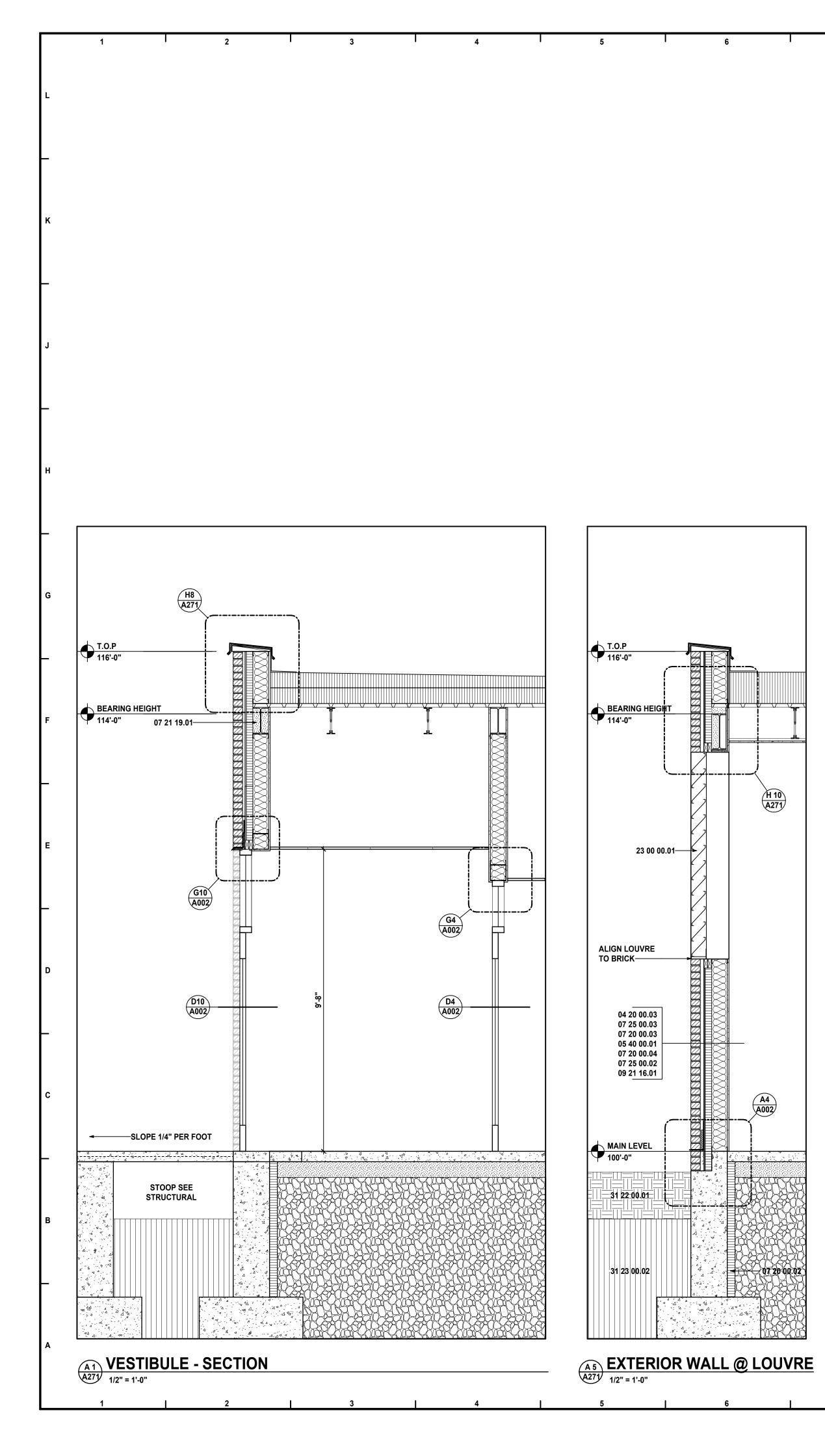


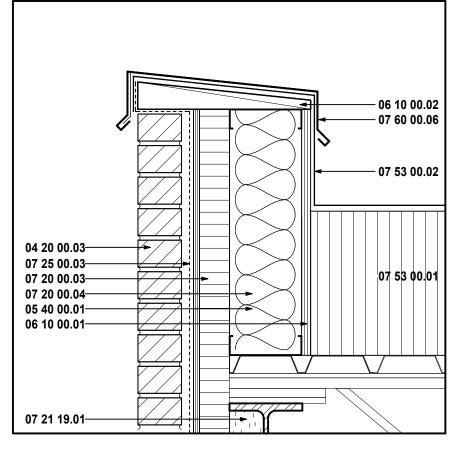








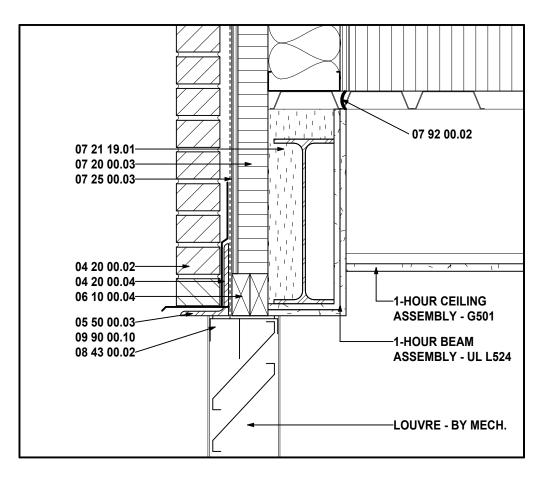




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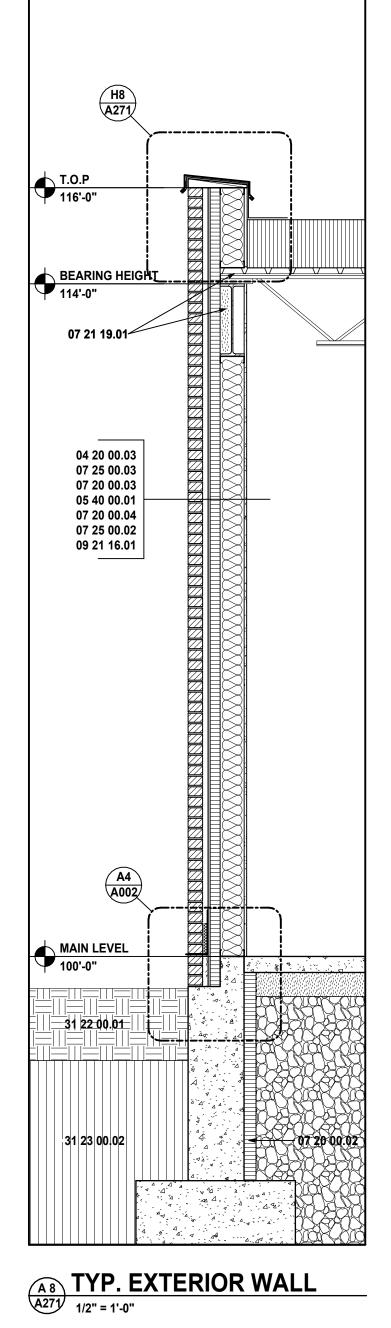
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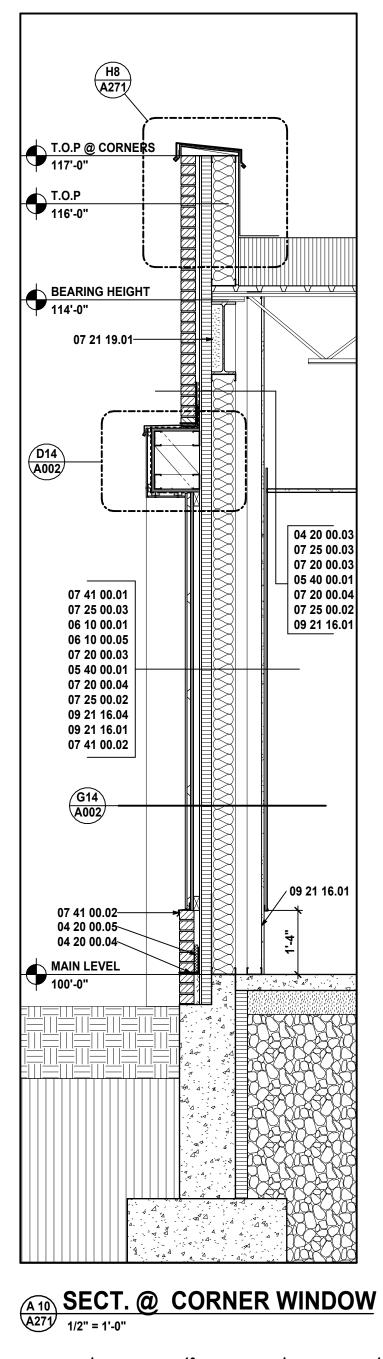
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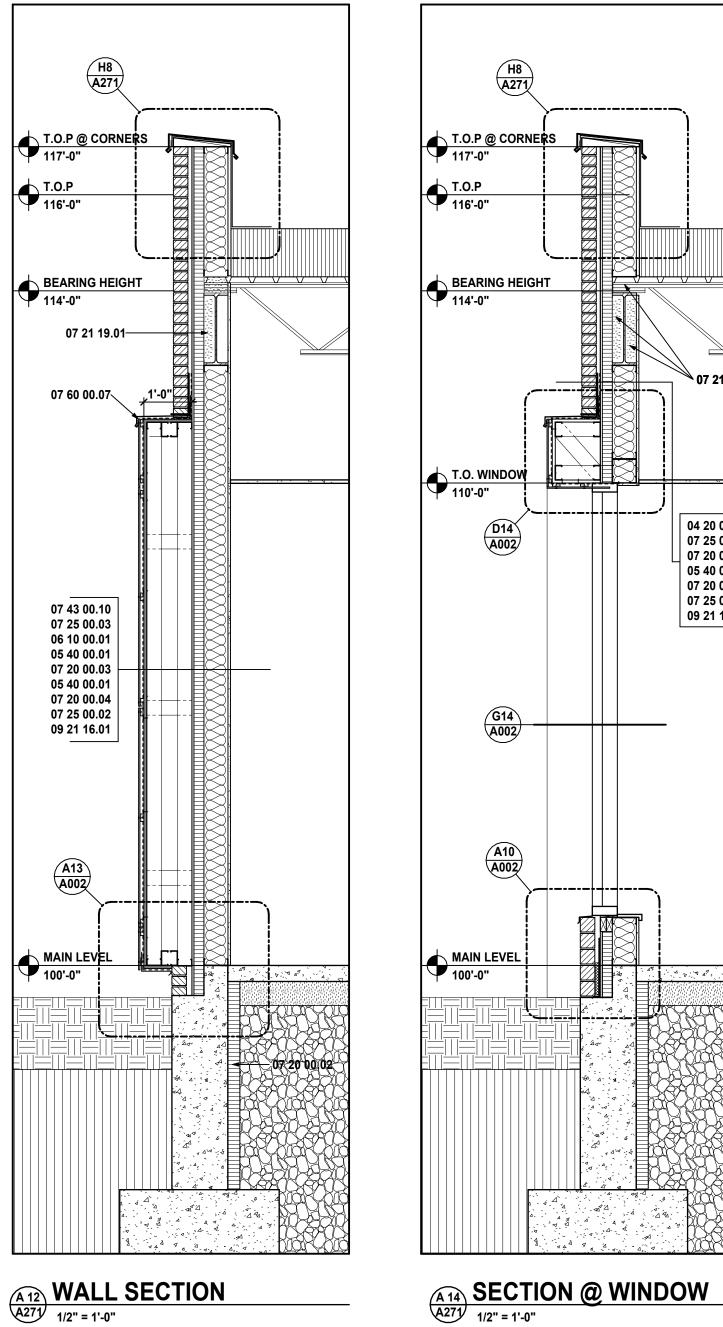


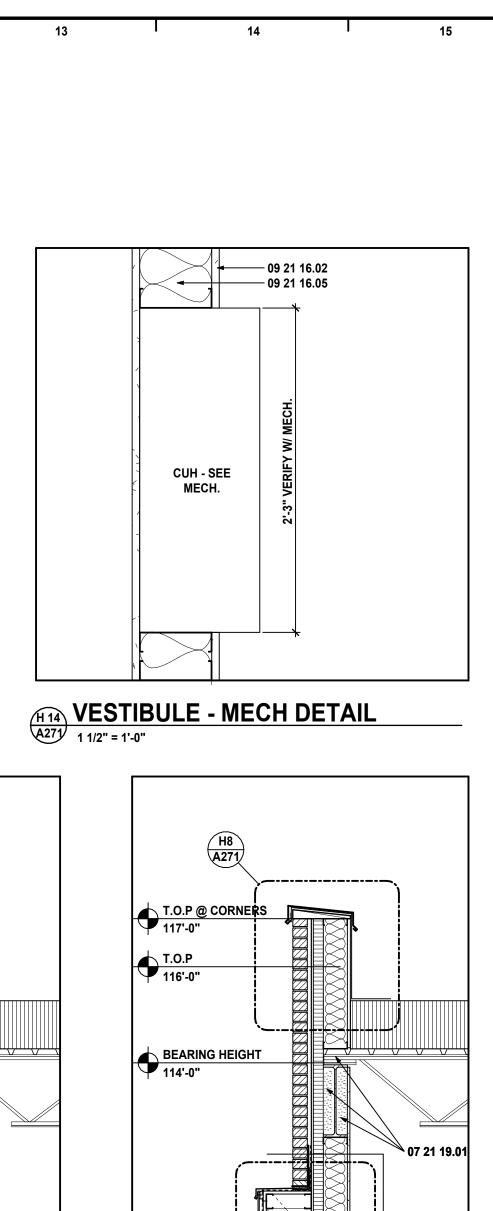


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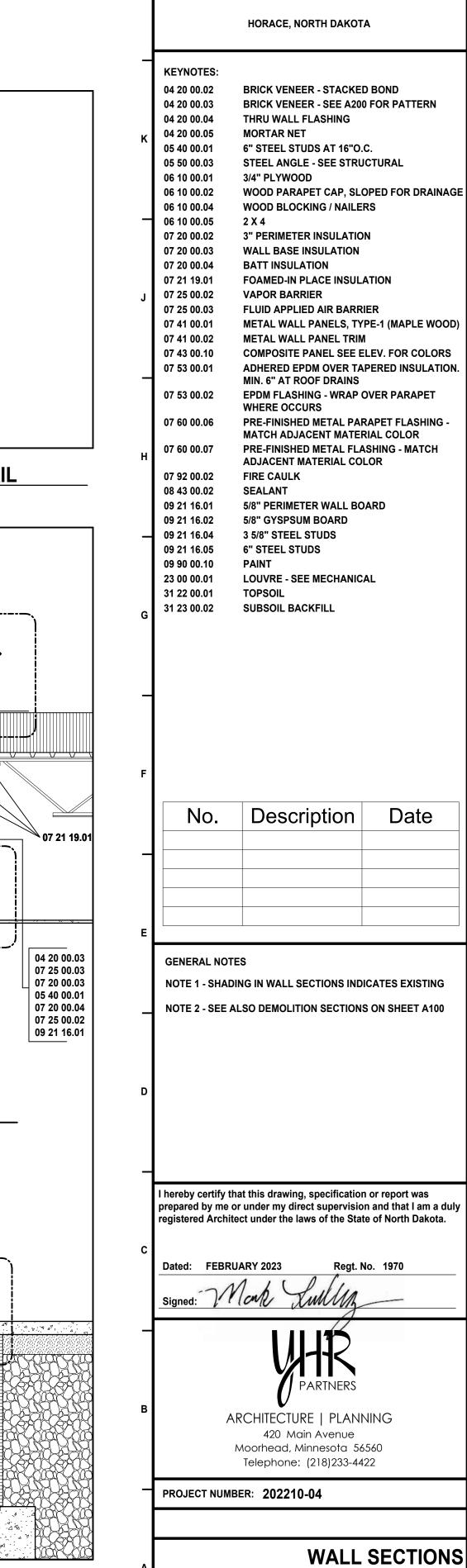
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NORTH ADDITION AND REMODELING HORACE ELEMENTARY SCHOOL

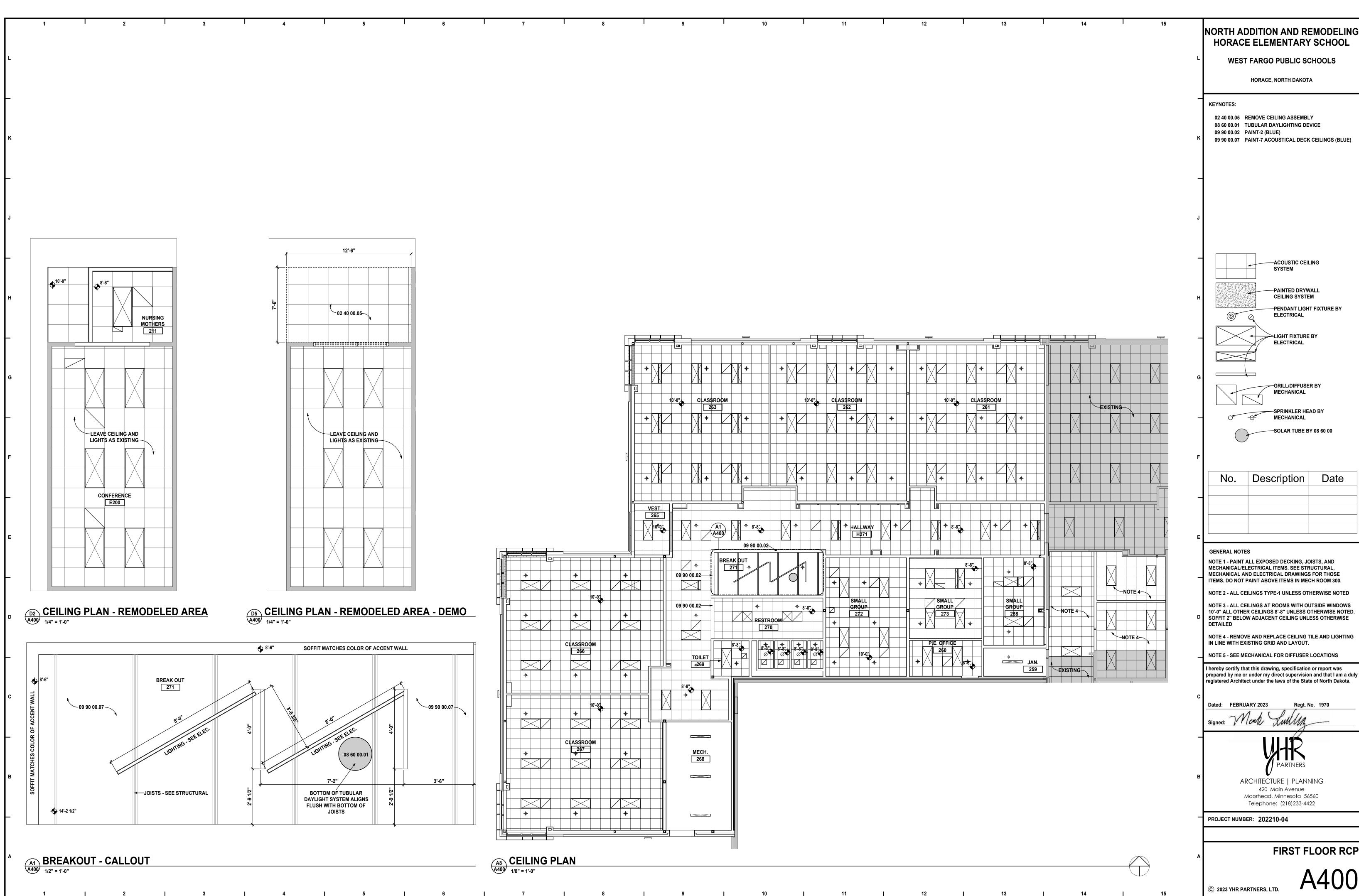
WEST FARGO PUBLIC SCHOOLS

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C 2023 YHR PARTNERS, LTD.

A27

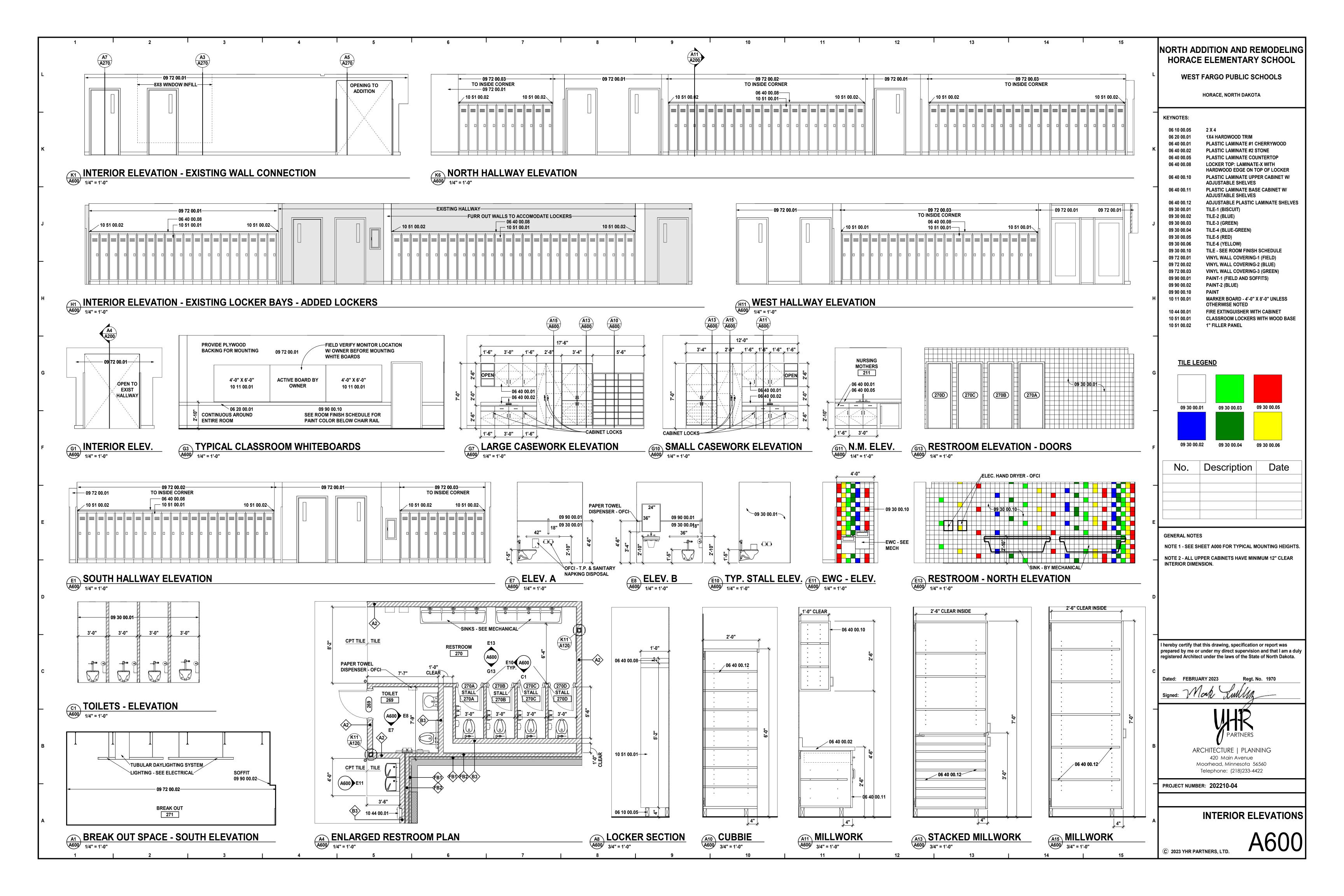


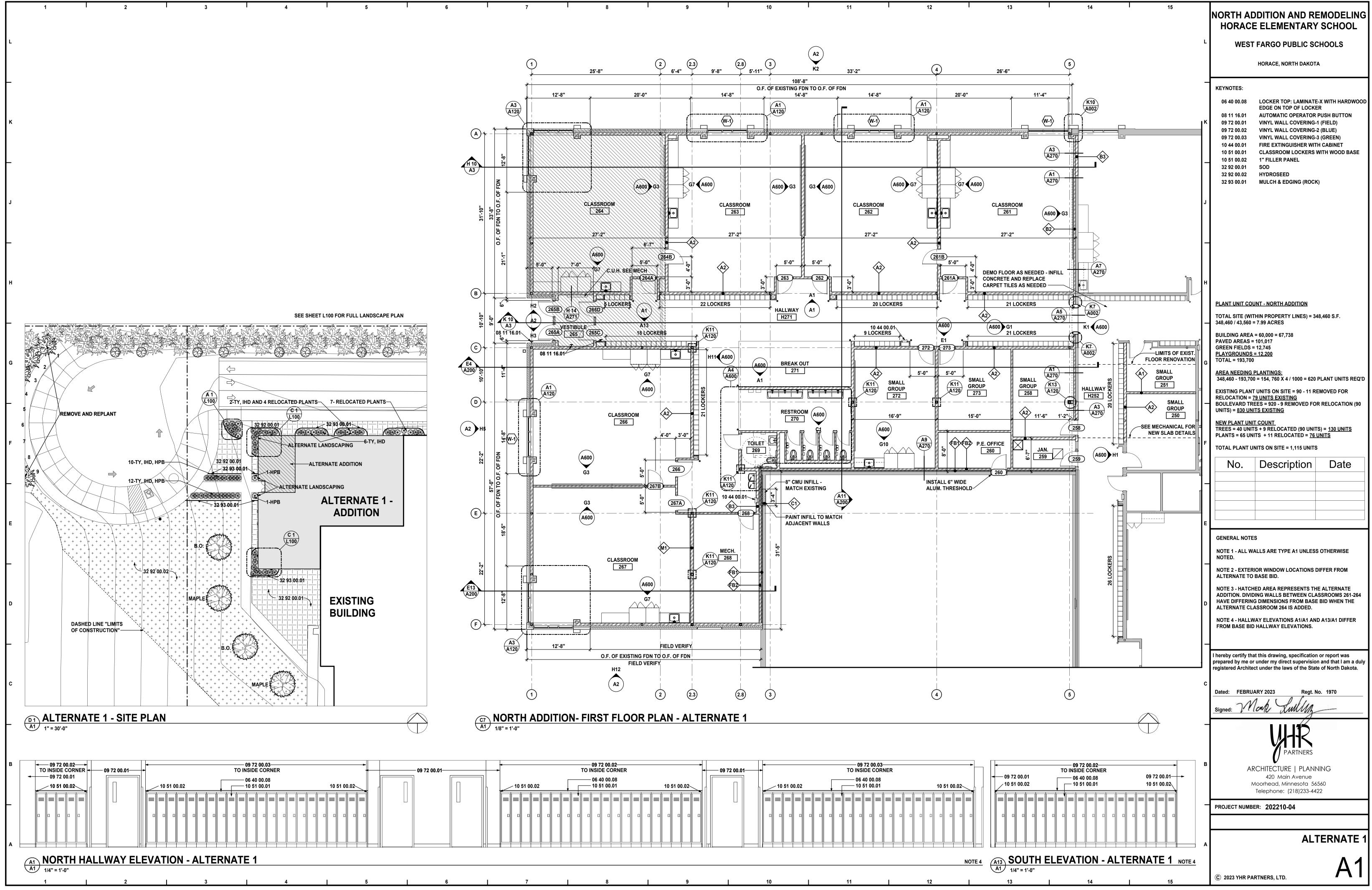
NORTH ADDITION AND REMODELING HORACE ELEMENTARY SCHOOL

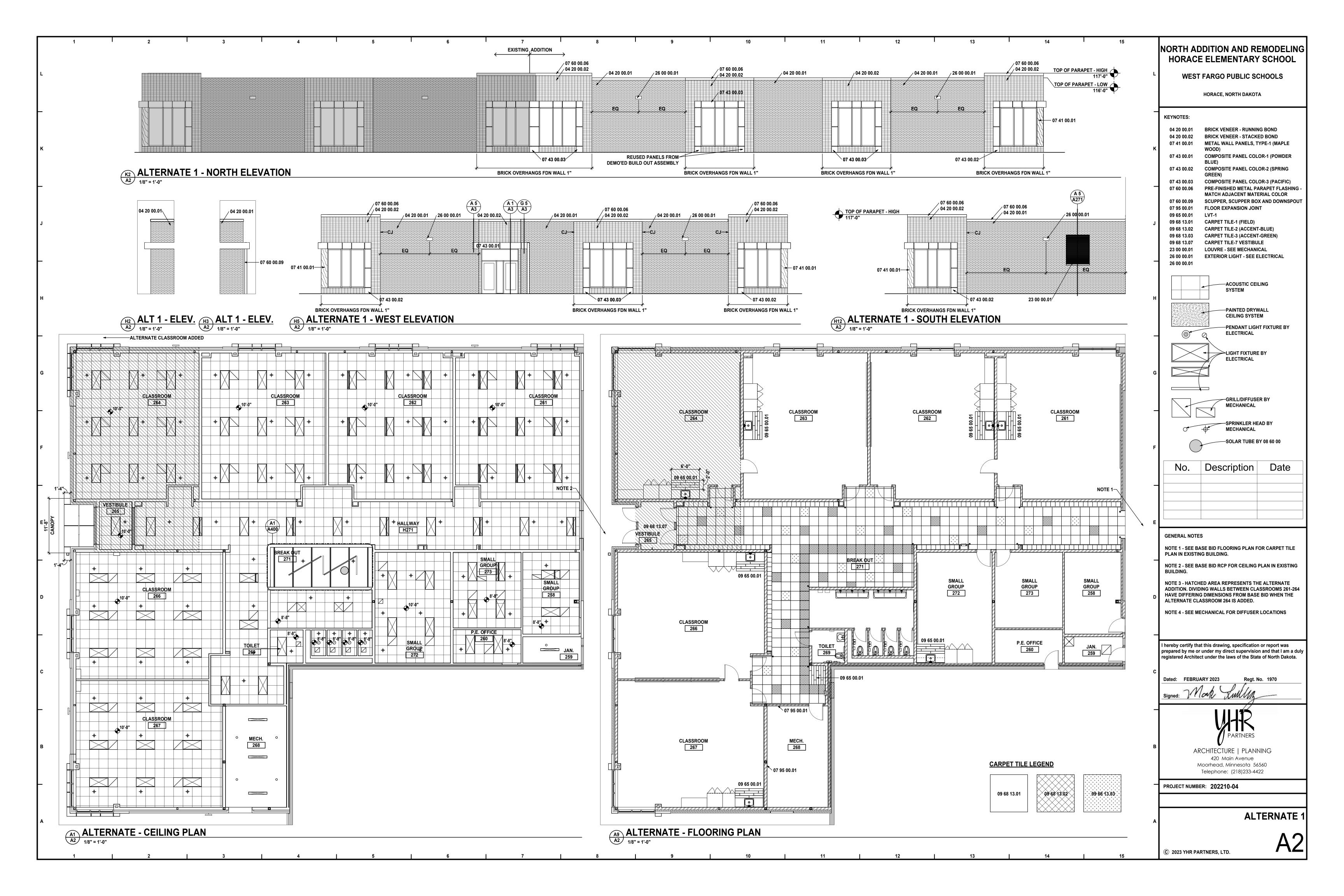
WEST FARGO PUBLIC SCHOOLS

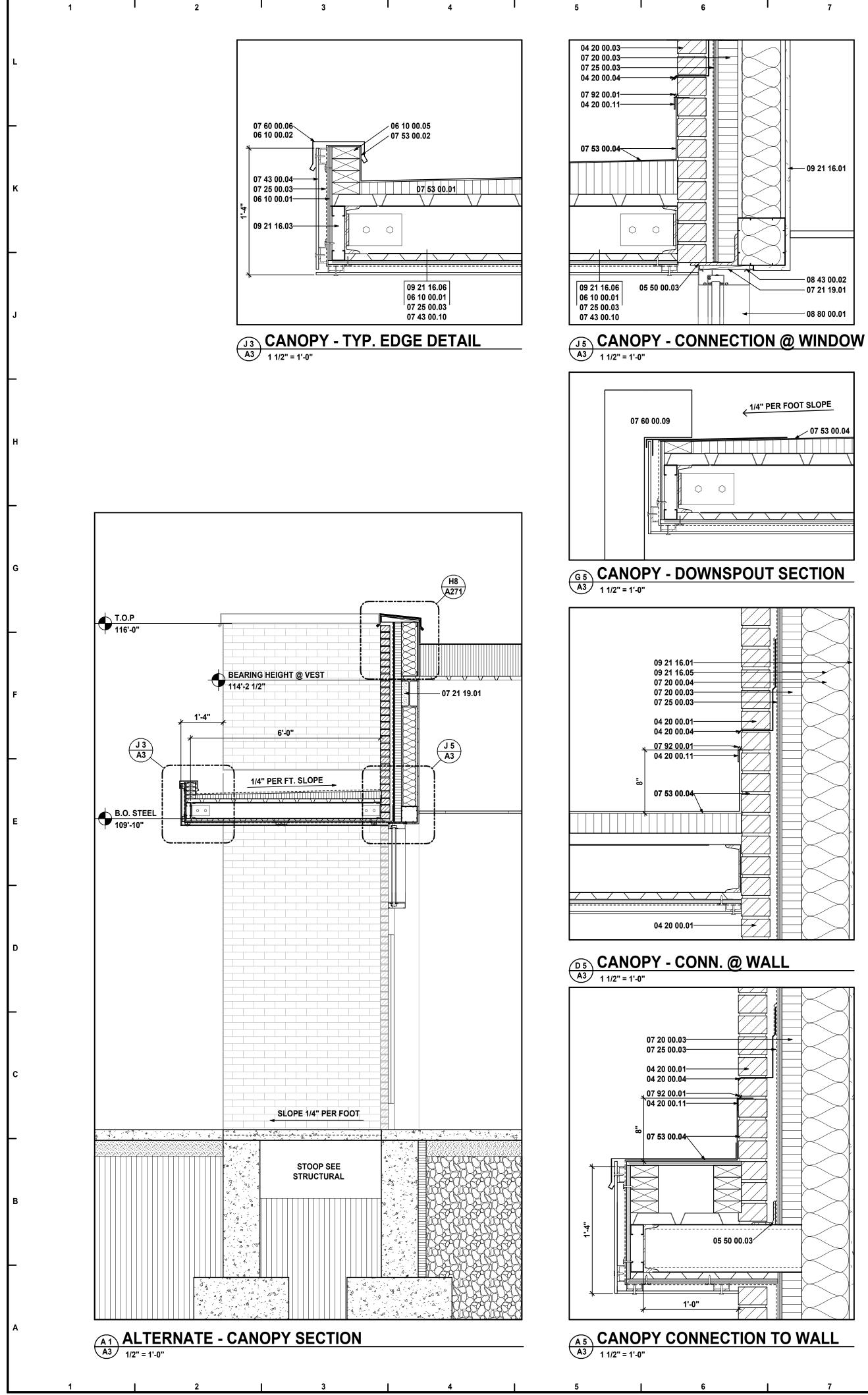
HORACE, NORTH DAKOTA

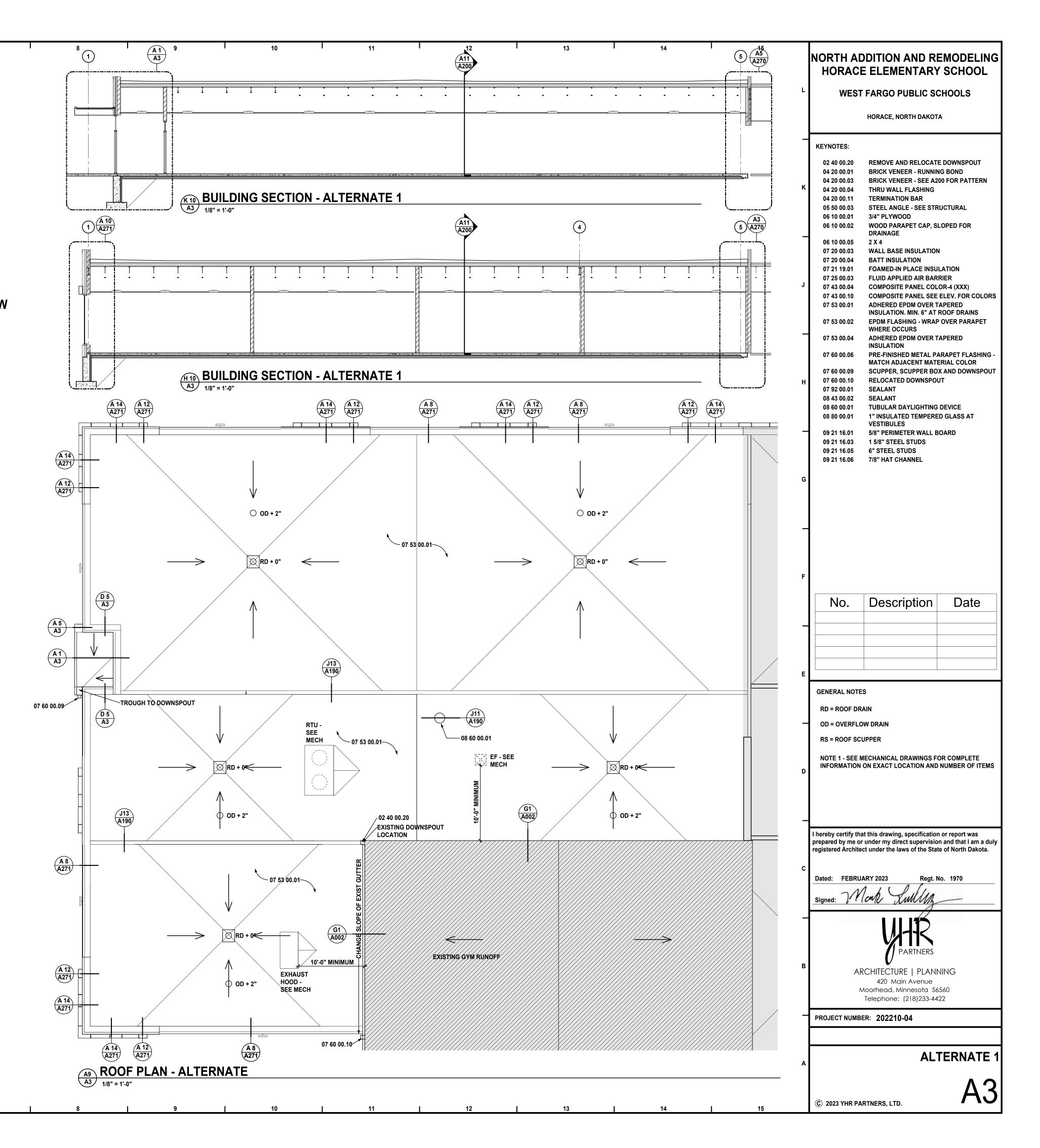
_	KEYNOTES:							
		EMOVE CEILING ASSEMB JBULAR DAYLIGHTING DE						
к		AINT-2 (BLUE) AINT-7 ACOUSTICAL DECI	(CEILINGS (BLUE)					
_								
J								
_			LING					
		SYSTEM						
н		PAINTED DRYV CEILING SYSTE						
	PENDANT LIGHT FIXTURE BY							
_			BY					
		ELECTRICAL						
G	GRILL/DIFFUSER BY							
		\leq						
_	0	SPRINKLER HE	AD BY					
		SOLAR TUBE E	3Y 08 60 00					
F								
	No.	Description	Date					
		Description	Date					
E	GENERAL NOTES	、 、						
	NOTE 1 - PAINT A	LL EXPOSED DECKING, J						
_	MECHANICAL/ELECTRICAL ITEMS. SEE STRUCTURAL, MECHANICAL AND ELECTRICAL DRAWINGS FOR THOSE ITEMS. DO NOT PAINT ABOVE ITEMS IN MECH ROOM 300.							
		LINGS TYPE-1 UNLESS OT						
D	NOTE 3 - ALL CEILINGS AT ROOMS WITH OUTSIDE WINDOWS 10'-0" ALL OTHER CEILINGS 8'-8" UNLESS OTHERWISE NOTED SOFFIT 2" BELOW ADJACENT CEILING UNLESS OTHERWISE							
		E AND REPLACE CEILING						
_		STING GRID AND LAYOUT CHANICAL FOR DIFFUSER						
		t this drawing, specificatio under my direct supervisio						
		t under the laws of the Sta						
С	Dated: FEBRUARY 2023 Regt. No. 1970							
	signed: Mark Lulling							
_								
		PARTNERS						
в	AR	U CHITECTURE PLANI	NING					
	N	420 Main Avenue oorhead, Minnesota 50 Telephone: (218)233-40						
	PROJECT NUMBE	Telephone: (218)233-44 R: 202210-04						
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A		FIRST F	LOOR RCP					
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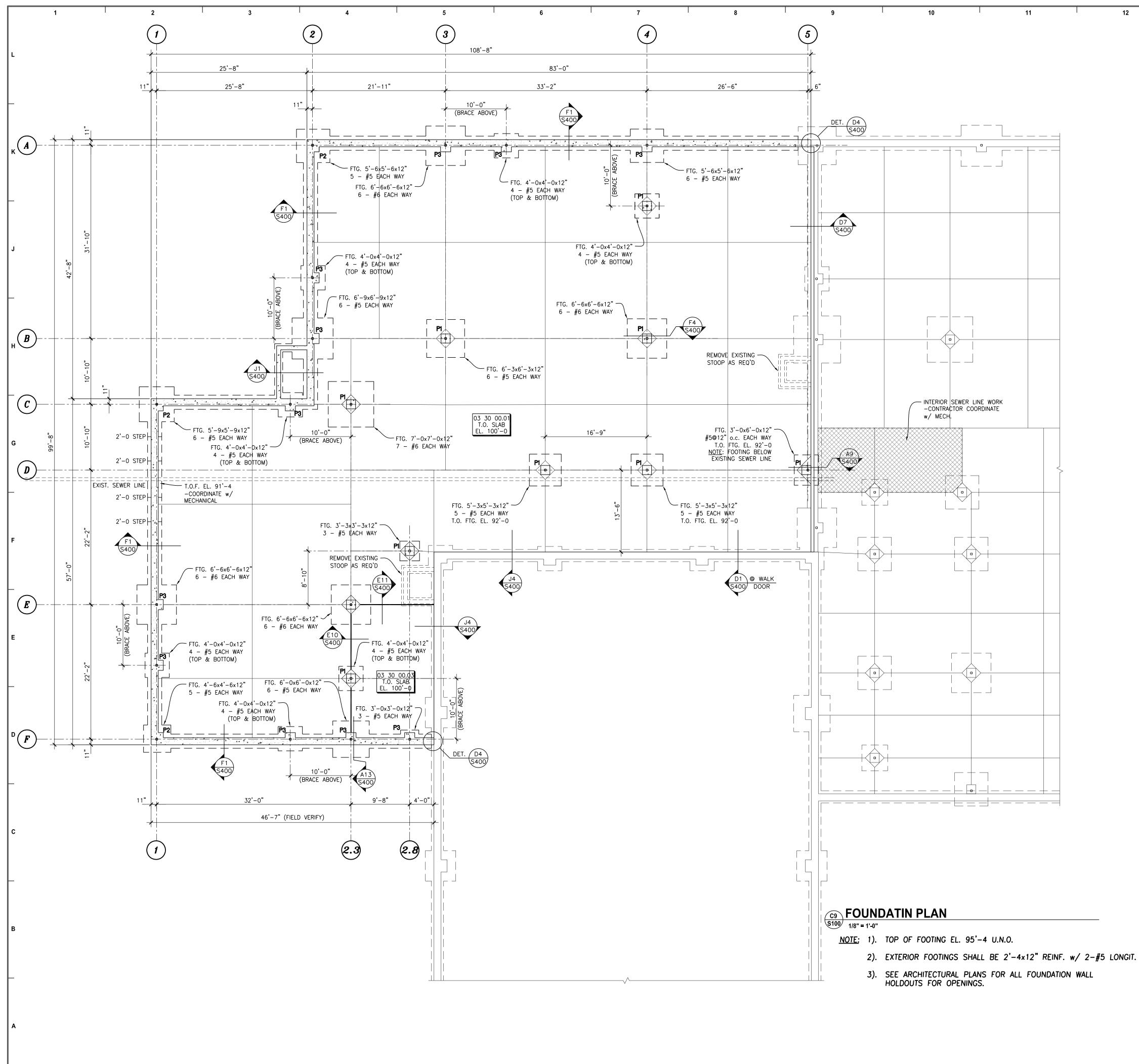




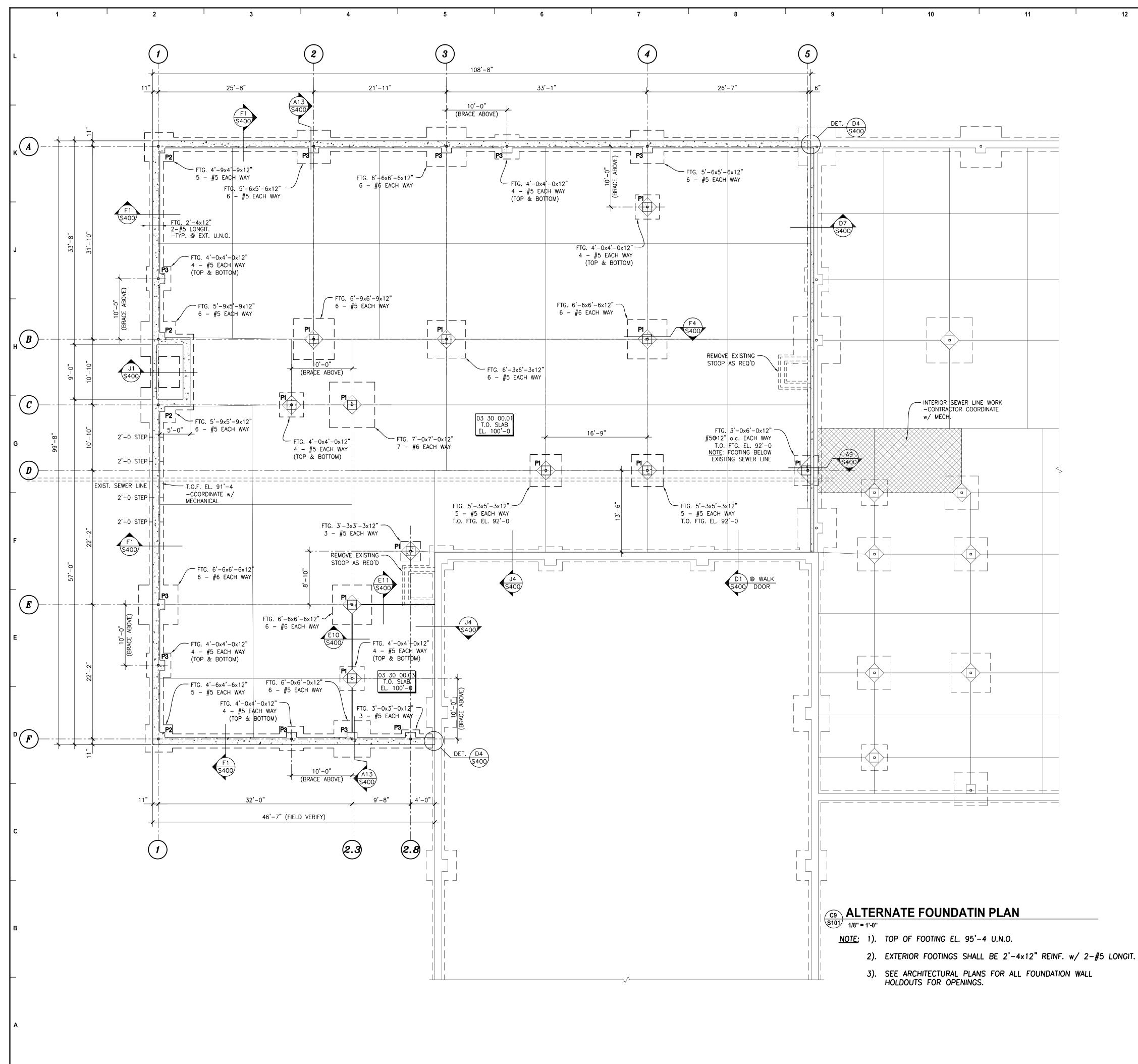




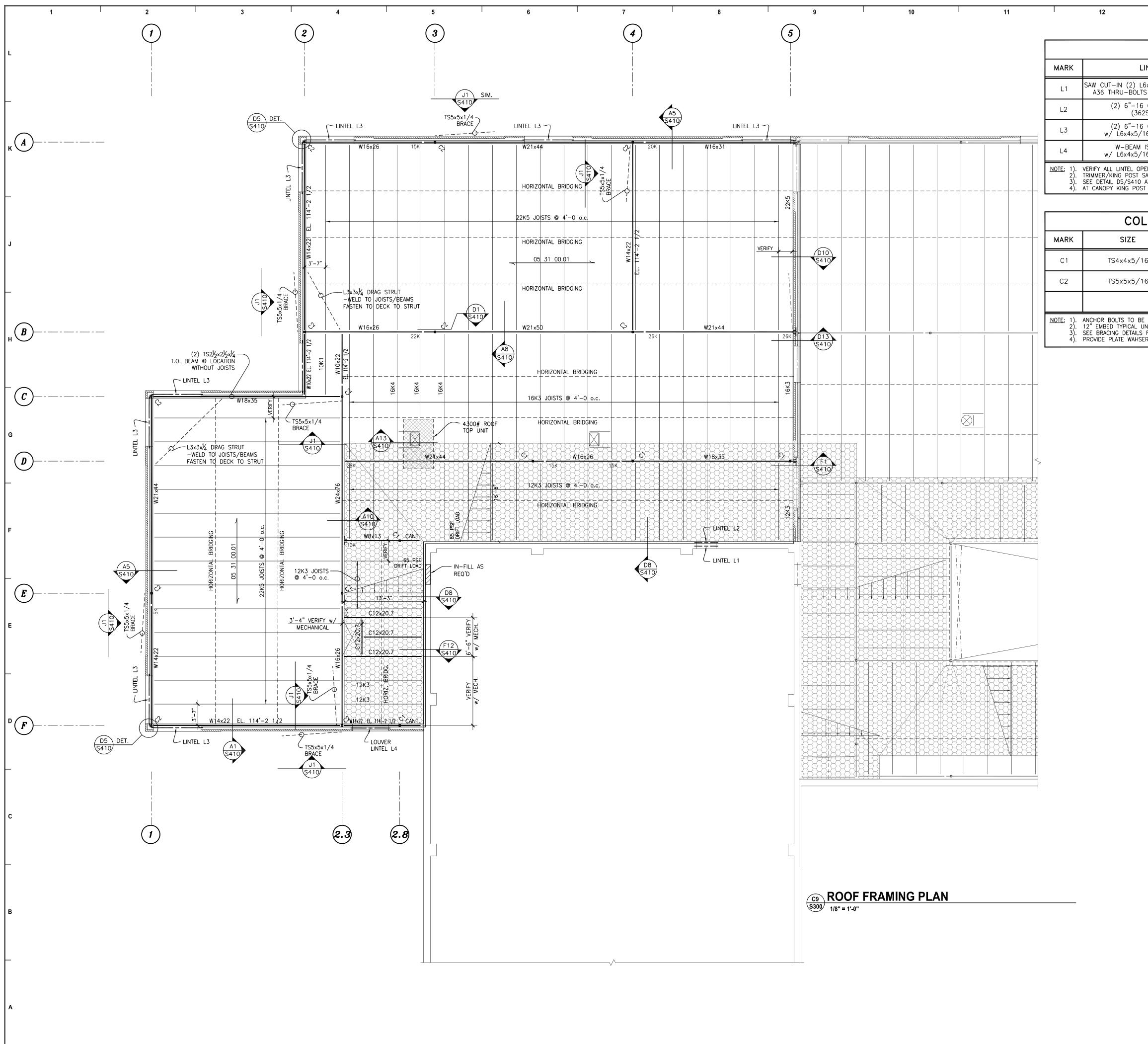




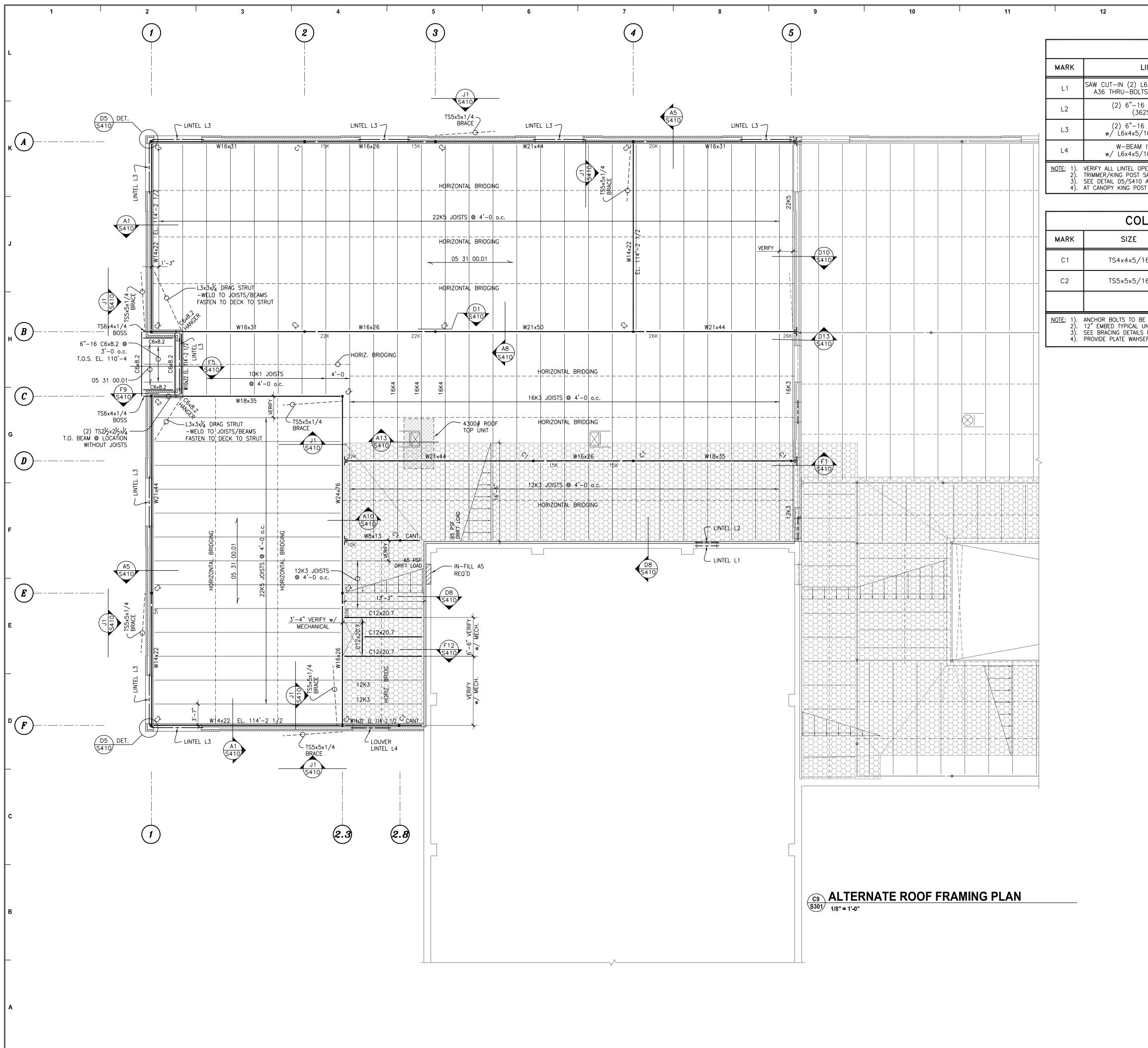
	NORTH ADDITION 2023 HORACE ELEMENTARY SCHOOL	
	L WEST FARGO PUBLIC SCHOOLS	
	HORACE, NORTH DAKOTA	
	KEYNOTES:	
	03 30 00.01 4" CONC. SLAB ON GRADE REINF. w/ 6x6 – W1.4xW1.4 W.W.M.	
	K 03 30 00.02 3" CONC. SLAB OVER 2"-20 GA. FORMDECK (5" TOTAL) REINF. w/ #4@12" o.c. EA. WAY (STOOPS)	
	03 30 00.03 6" CONC. SLAB ON GRADE REINF. w/ #4@18" o.c. EACH WAY	
	J	
	н	
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	E	
	- SOLIEN & LARSON	
	CONSULTING STRUCTURAL ENGINEERS	
	D 3330 FIECHTNER DRIVE, SUITE 206 FARGO, NORTH DAKOTA 58103 TELEPHONE (701) 235-5593 FAX (701) 235-5594	
	- PROFESSIONA	
	STEVEN S. VONDAL PE - 6694	
	C DATE: FEB 2023	
PIER/PILASTERSCHEDULEMARKSIZEREINF.	NORTH DAKOTA	
P1 18"x18" 4 - #8 VERT/DWLS #3@16" TIES		
P2 24"x24" 6 - #8 VERT/DWLS #3@16" TIES	PARTNERS	
P3 20"x24" 4 - #8 VERT/DWLS #3@16" TIES	B ARCHITECTURE PLANNING 420 Main Avenue	
P4 24"ø 4 – #8 VERT/DWLS #3@16" TIES	Moorhead, Minnesota 56560 Telephone: (218)233-4422	
NOTE: 1). 3 TIES @ TOP -TYP. 2). TOP OF PIER EL. 99'-4 U.N.O. 3). CONTRACTOR MAY SUBSTITUTE P4 FOR ISOLATED PI PIERS.	PROJECT NUMBER: 1005 - 16 S&L 23002	
	© 2023 YHR CONSULTING. LTD. S100	



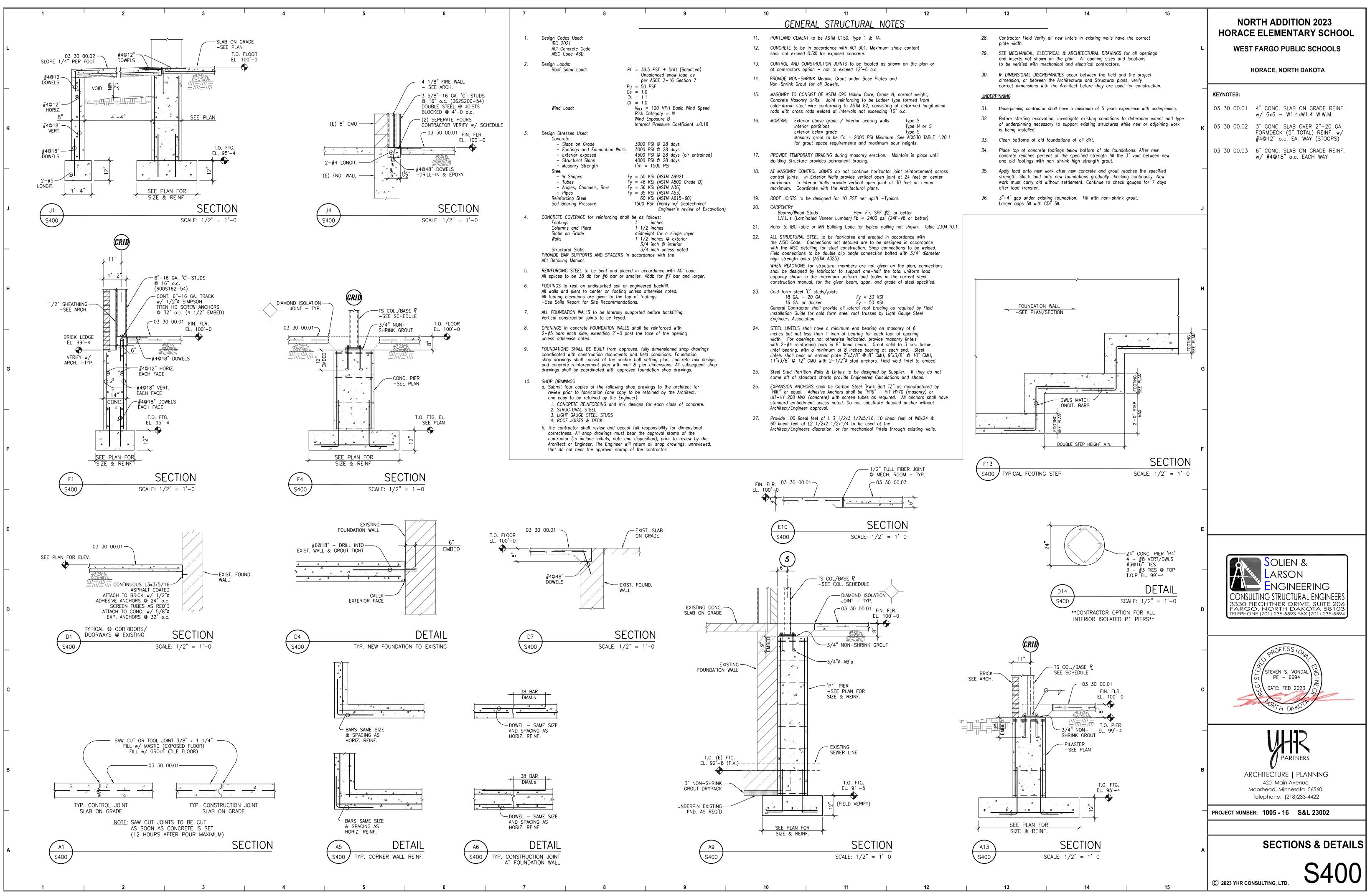
	L	NORTH ADDITION 2023 HORACE ELEMENTARY SCHOOL WEST FARGO PUBLIC SCHOOLS
		HORACE, NORTH DAKOTA
	-	KEYNOTES:
		03 30 00.01 4" CONC. SLAB ON GRADE REINF. w/ 6x6 – W1.4xW1.4 W.W.M.
	к	03 30 00.02 3" CONC. SLAB OVER 2"–20 GA. FORMDECK (5" TOTAL) REINF. w/ #4@12" o.c. EA. WAY (STOOPS)
		03 30 00.03 6" CONC. SLAB ON GRADE REINF.
	_	w/ #4@18" o.c. EACH WAY
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		CONSULTING STRUCTURAL ENGINEERS
	D	3330 FIECHTNER DRIVE, SUITE 206 FARGO, NORTH DAKOTA 58103 TELEPHONE (701) 235-5593 FAX (701) 235-5594
	-	PROFESS/ONA
		STEVEN S. VONDAL PE - 6694
,	с	DATE: FEB 2023
PIER/PILASTER SCHEDULE		YORTH DAKOTA
MARK SIZE REINF.	-	
P1 18"×18" 4 - #8 VERT/DWLS #3@16" TIES P2 24"×24" 6 - #8 VERT/DWLS #3@16" TIES		PARTNERS
P3 24 × 24 #3@16" TIES P3 20"× 24" 4 - #8 VERT/DWLS #3@16" TIES	в	ARCHITECTURE PLANNING
P4 24"ø 4 – #8 VERT/DWLS #3@16" TIES		420 Main Avenue Moorhead, Minnesota 56560 Telephone: (218)233-4422
<u>NOTE:</u> 1). 3 TIES @ TOP –TYP. 2). TOP OF PIER EL. 99'–4 U.N.O. 3). CONTRACTOR MAY SUBSTITUTE P4 FOR	-	PROJECT NUMBER: 1005 - 16 S&L 23002
ISOLATED PI PIERS.		
	А	ALTERNATE FOUNDATION PLAN

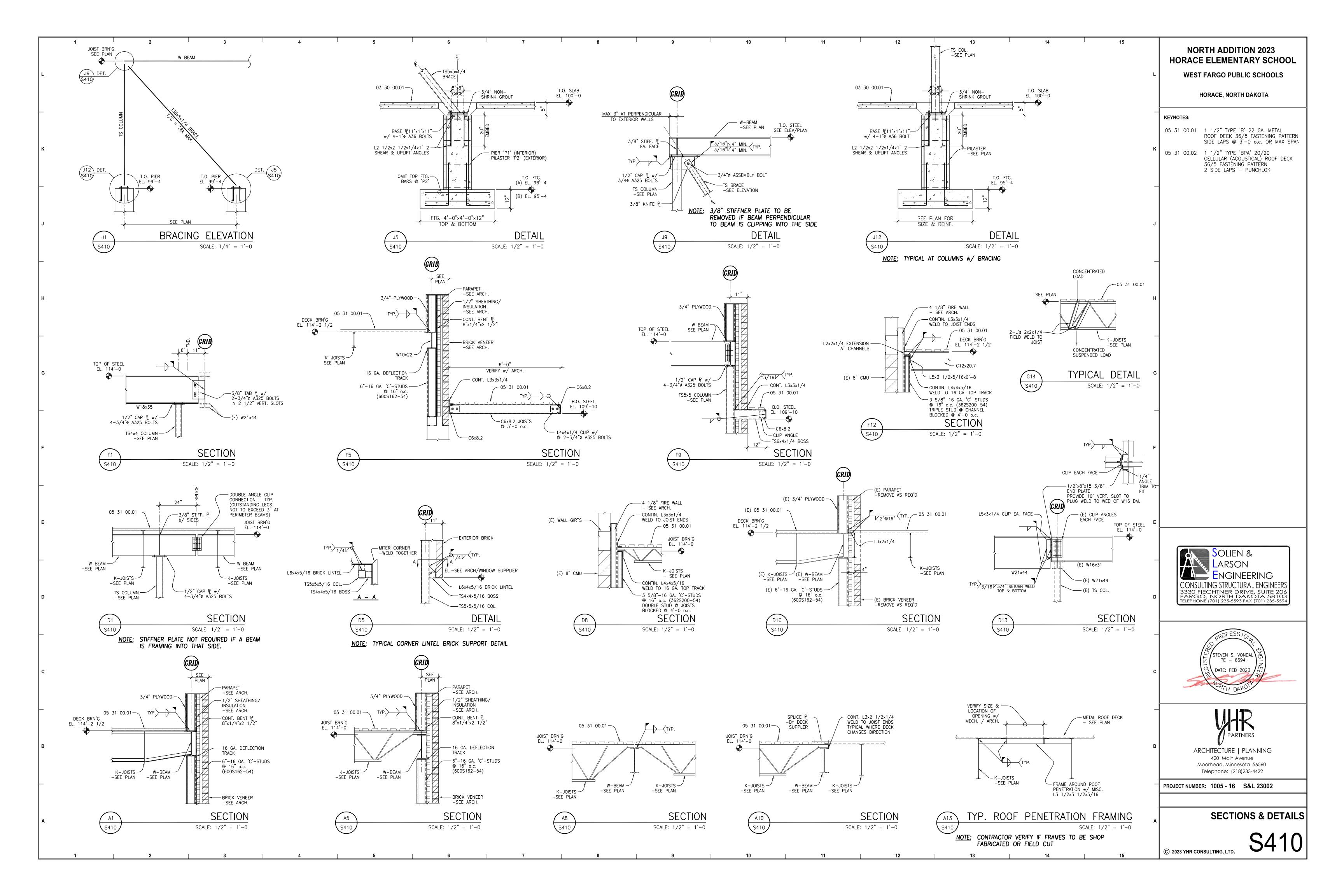


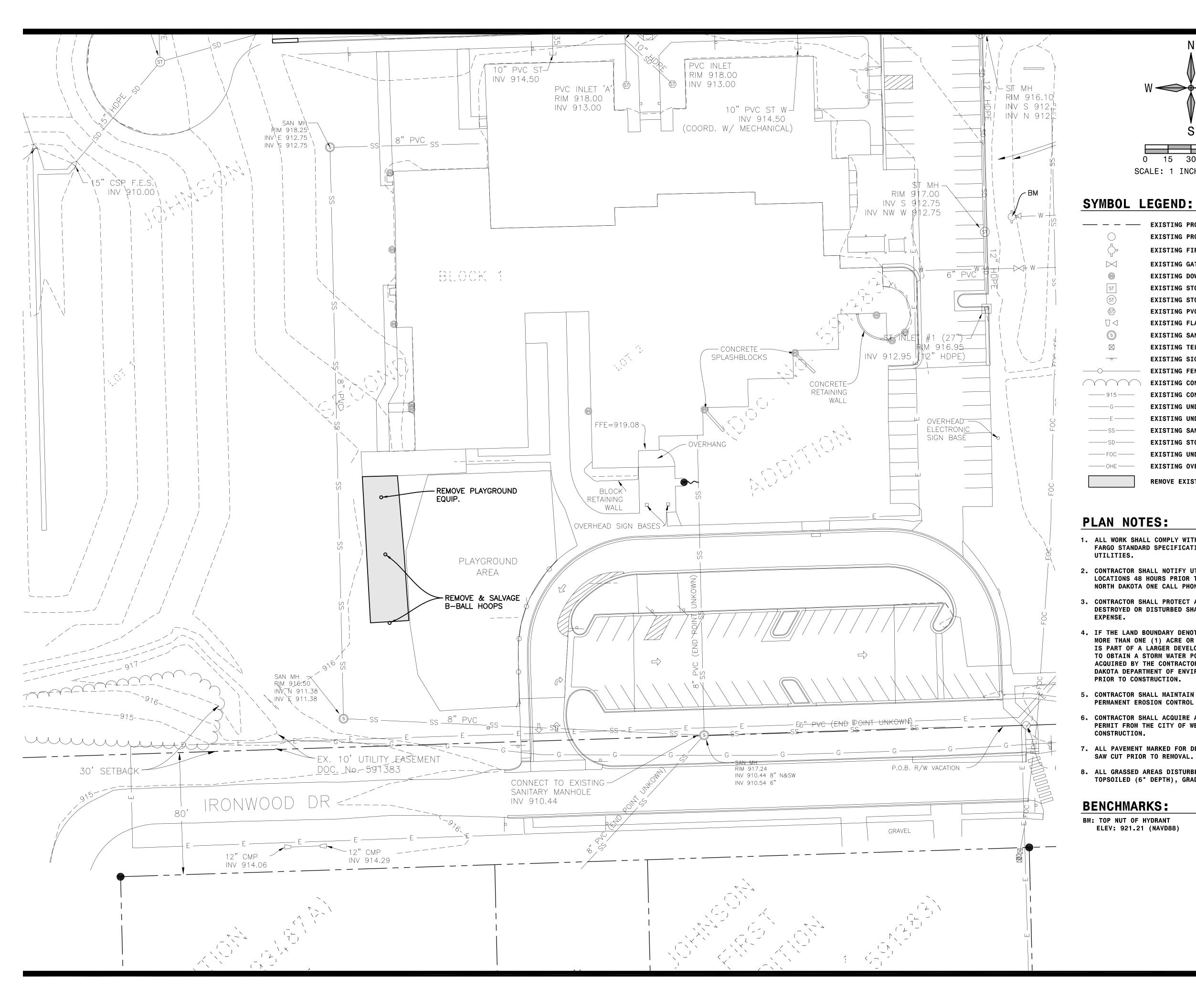
	13	1	14	15		NORTH ADDITION 2023
						HORACE ELEMENTARY SCHOOL
	LINTEL				L	WEST FARGO PUBLIC SCHOOLS
LINTEL 	<5/16 w/ 1/2"ø	R.O.				HORACE, NORTH DAKOTA
OLTS @ 24" -16 GA. BOX	o.c. (3 MIN.)			ON 1 CORE MINIMUM MERS/2 KING POSTS		
362S200-54	4)	3'-6		(362S200-54) 3 KING POSTS		KEYNOTES: 05 31 00.01 1 1/2" TYPE 'B' 22 GA. METAL
AM IS WALL	SUPPORT	6'-0 TO		- SEE NOTE 4	к	ROOF DECK 36/5 FASTENING PATTERN SIDE LAPS @ 3'-0 o.c. OR MAX SPAN
5/16 BRICK	SUPPORT	6'-0 TO	8'-0 IS WITH THE ARCHITECT	2 KING POSTS		
ST SAME AS S 10 AT CORNE	STUDS UNLESS NOT R DETAIL.	ED OTHERWISE	TO HANG, EXTEND TO			
OLUMN	& BASE	E PLAT	E SCHEDU	LE		
Ξ	BASE PLA	ATE	A-BOLTS	REMARKS	J	
5/16	11"x1"x1" 8"x8" GAG		4-1"ø			
5/16	11"x1"x17 8"x8" GAG	E	4-1"ø			
L UNLESS NO	554 GR. 36 OR EC DTED. ED DEPTH AND SHE		ANGLES			
AHSERS 3"x3/8	8"x3" FOR ANCHOR	BOLTS.			н	
		RO	OF LOADING:			
	ROOF SNOW	/ LOAD: Pg	= 50 PSF + DRI = 38.5 PSF	FT		
		Ce I =	= 0.9 = 1.1		G	
	DEAD		= 1.1 PSF TOP CHORD			
	WIND		PSF BOTTOM CHO SIC WIND SPEED 1			
		I = WIN	= 1.1 ND EXPOSURE B		_	
		INI	ERNAL PRESSURE	COEFFICIENI ±.18		
					F	
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					_	Solien & Larson
					D	CONSULTING STRUCTURAL ENGINEERS 3330 FIECHTNER DRIVE, SUITE 206 FARGO, NORTH DAKOTA 58103
						TELEPHONE (701) 235-5593 FAX (701) 235-5594
						ROFESS/ONLY
						STEVEN S. VONDAL PE - 6694
					С	DATE: FEB 2023
						TORTH DAKOTA
					_	
						I MHR
						PARTNERS
					В	ARCHITECTURE PLANNING 420 Main Avenue
						420 Main Avenue Moorhead, Minnesota 56560 Telephone: (218)233-4422
					_	PROJECT NUMBER: 1005 - 16 S&L 23002
						<u></u>
					•	ROOF FRAMING PLAN
					А	
						© 2023 YHR CONSULTING, LTD. S300
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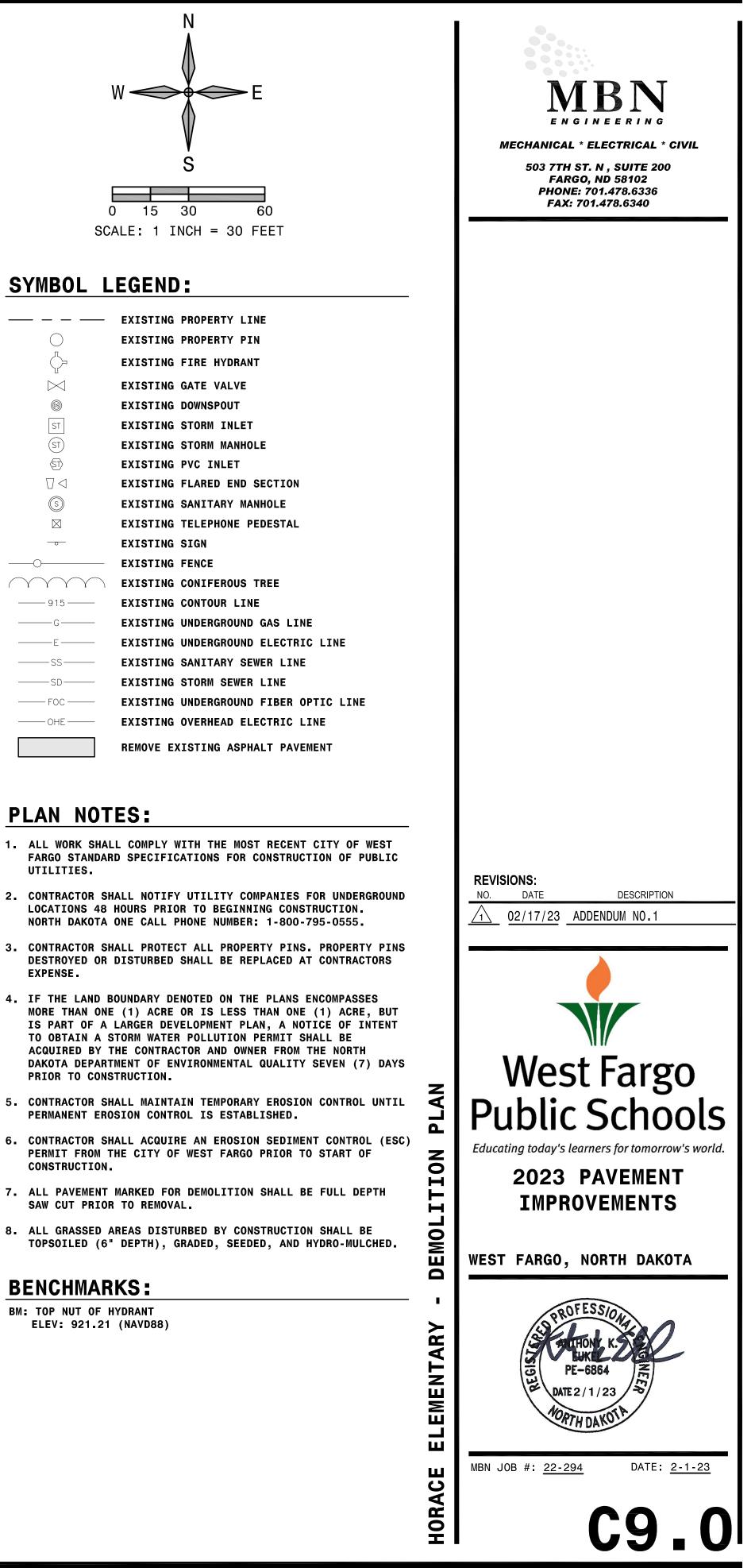


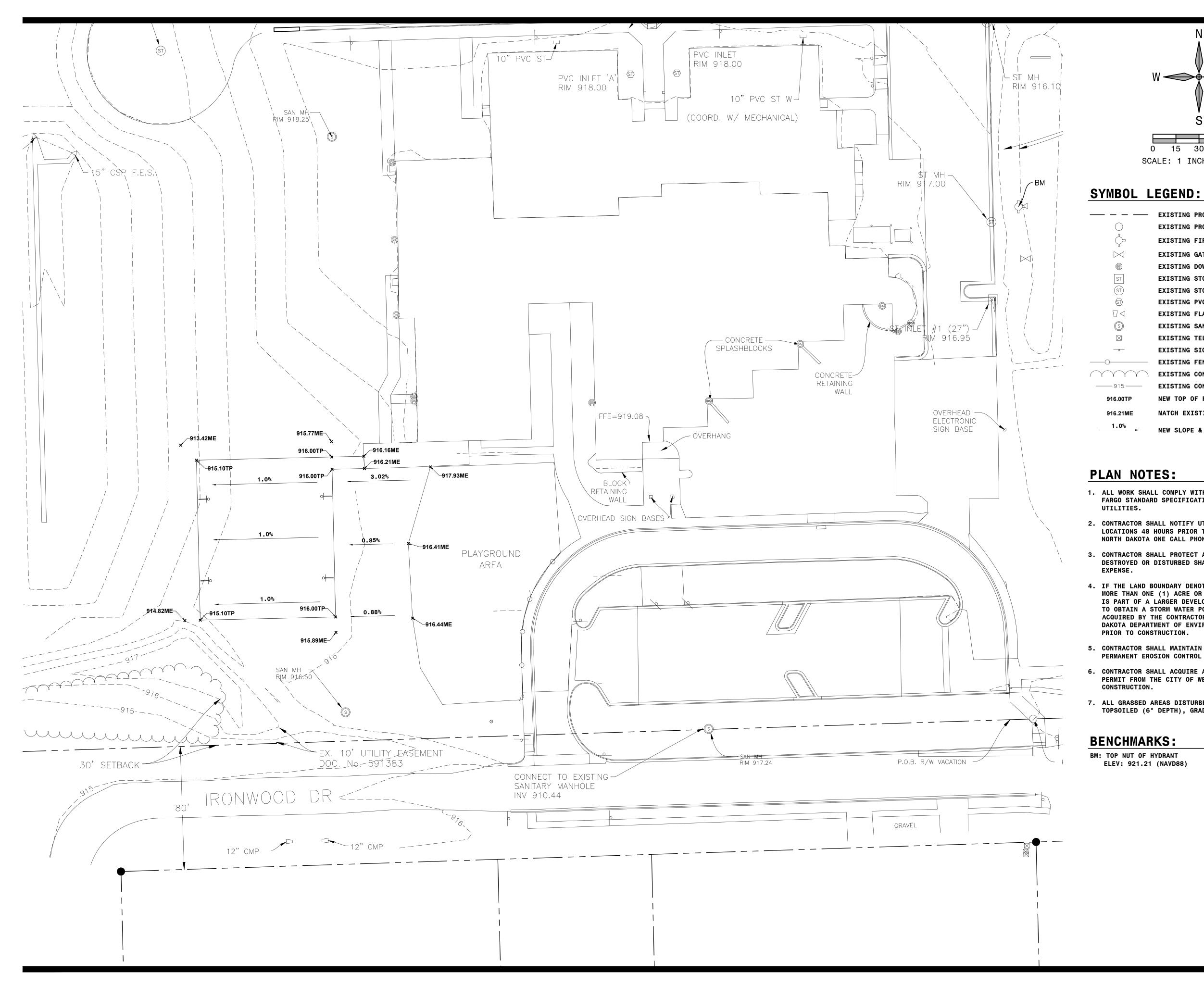
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							NORTH ADDITION 2023 HORACE ELEMENTARY SCHOOL
	LINTEL					L	WEST FARGO PUBLIC SCHOOLS
$\frac{\text{LINTEL}}{1/2}$:5/16 w/ 1/2"ø	R.(EMARKS		HORACE, NORTH DAKOTA
OLTS @ 24" -16 GA. BOX	o.c. (3 MIN.)				1 CORE MINIMUM RS/2 KING POSTS		
(362S200-54	+)	3'-		(36	<pre>KING POSTS</pre>		KEYNOTES: 05 31 00.01 1 1/2" TYPE 'B' 22 GA. METAL ROOF DECK 36/5 FASTENING PATTERN
45/16 BRICK	SUPPORT	6'-0 TC			SEE NOTE 4	к	ROOF DECK 36/5 FASTENING PATTERN SIDE LAPS @ 3'-0 o.c. OR MAX SPAN
<5/16 BRICK	THS, ELEVATIONS, /	AND LOCATI	ONS WITH THE A		KING POSTS		
410 AT CORNE	STUDS UNLESS NOT R DETAIL. ED TO BE WIDER T			IEND TO ROO	F BEAM.		
	& BASE				REMARKS		
5/16	11"x1"x1	1"	A-BOL 4-1"		REMARNS	J	
5/16	8"x8" GAG	1"	4-1%				
	8"x8" GA(JE					
) BE ASTM F1	554 GR. 36 OR EC	QUAL.		I			
AILS FOR EMB	ED DEPTH AND SHE 8"x3" FOR ANCHOR	EAR & UPL 8 BOLTS.	IFT ANGLES.			н	
		F	ROOF LOAL	DING:			
	ROOF SNOW	/ LOAD: F	Pg = 50 PSF	+ DRIFT			
		(I	Pf = 38.5 PS Ce = 0.9 T = 1.1	5F		G	
	DEAD) LOAD: 1	Ct = 1.1 15 PSF TOP				
	WINE		IO PSF BOTTO BASIC WIND S		МРН		
		V	' = 1.1 VIND EXPOSU NTERNAI PRE		EFFICIENT ±.18		
						F	
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							SOLIEN &
							LARSON ENGINEERING
						D	CONSULTING STRUCTURAL ENGINEERS 3330 FIECHTNER DRIVE, SUITE 206 FARGO, NORTH DAKOTA 58103
							TELEPHONE (701) 235-5593 FAX (701) 235-5594
							2 PROFESSION
							STEVEN S. VONDAL PE - 6694
						С	ATE. FEB 2023 M
							VORTH DAKOTA
							PARTNERS
						В	ARCHITECTURE PLANNING
							420 Main Avenue Moorhead, Minnesota 56560
						_	Telephone: (218)233-4422 PROJECT NUMBER: 1005 - 16 S&L 23002
							ALTERNATE ROOF FRAMING
						А	PLAN
·							© 2023 YHR CONSULTING, LTD. S301
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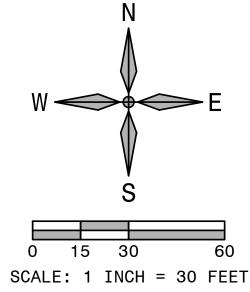












EXISTING PROPERTY LINE
EXISTING PROPERTY PIN
EXISTING FIRE HYDRANT
EXISTING GATE VALVE
EXISTING DOWNSPOUT
EXISTING STORM INLET
EXISTING STORM MANHOLE
EXISTING PVC INLET
EXISTING FLARED END SECTION
EXISTING SANITARY MANHOLE
EXISTING TELEPHONE PEDESTAL
EXISTING SIGN
EXISTING FENCE
EXISTING CONIFEROUS TREE
EXISTING CONTOUR LINE
NEW TOP OF PAVMENT ELEVATION
MATCH EXISTING ELEVATION

NEW SLOPE & DIRECTION OF FLOW

1. ALL WORK SHALL COMPLY WITH THE MOST RECENT CITY OF WEST Fargo standard specifications for construction of public

2. CONTRACTOR SHALL NOTIFY UTILITY COMPANIES FOR UNDERGROUND LOCATIONS 48 HOURS PRIOR TO BEGINNING CONSTRUCTION. NORTH DAKOTA ONE CALL PHONE NUMBER: 1-800-795-0555.

3. CONTRACTOR SHALL PROTECT ALL PROPERTY PINS. PROPERTY PINS DESTROYED OR DISTURBED SHALL BE REPLACED AT CONTRACTORS

4. IF THE LAND BOUNDARY DENOTED ON THE PLANS ENCOMPASSES MORE THAN ONE (1) ACRE OR IS LESS THAN ONE (1) ACRE, BUT IS PART OF A LARGER DEVELOPMENT PLAN, A NOTICE OF INTENT TO OBTAIN A STORM WATER POLLUTION PERMIT SHALL BE ACQUIRED BY THE CONTRACTOR AND OWNER FROM THE NORTH DAKOTA DEPARTMENT OF ENVIRONMENTAL QUALITY SEVEN (7) DAYS

5. CONTRACTOR SHALL MAINTAIN TEMPORARY EROSION CONTROL UNTIL Permanent erosion control is established.

6. CONTRACTOR SHALL ACQUIRE AN EROSION SEDIMENT CONTROL (ESC) PERMIT FROM THE CITY OF WEST FARGO PRIOR TO START OF

7. ALL GRASSED AREAS DISTURBED BY CONSTRUCTION SHALL BE TOPSOILED (6" DEPTH), GRADED, SEEDED, AND HYDRO-MULCHED.



() HORA

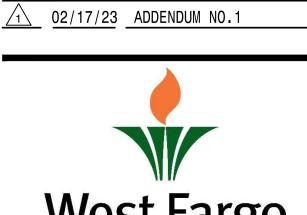


MECHANICAL * ELECTRICAL * CIVIL

503 7TH ST. N , SUITE 200 FARGO, ND 58102 PHONE: 701.478.6336 FAX: 701.478.6340

REVISIONS:

NO. DATE

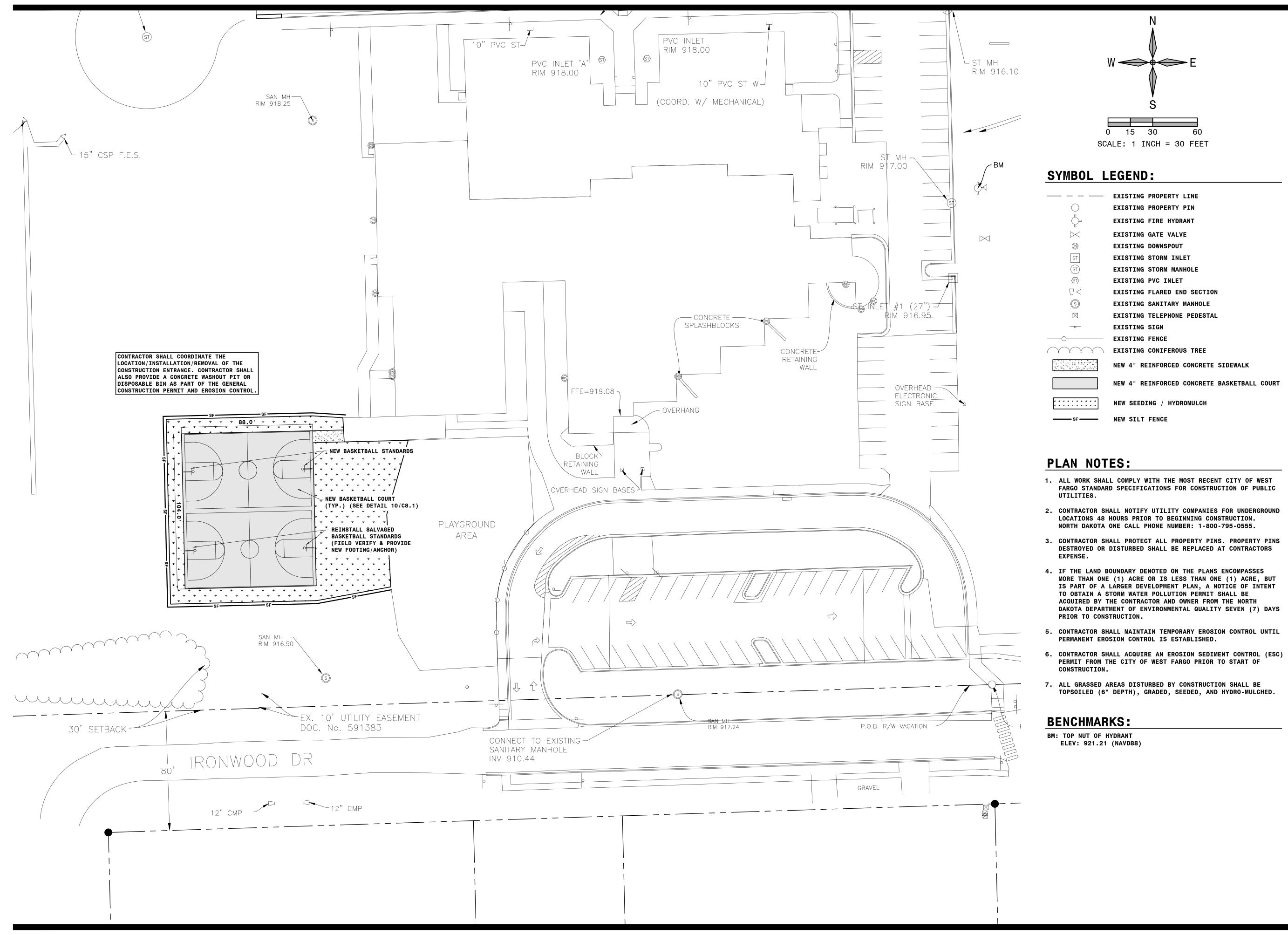


DESCRIPTION



2023 PAVEMENT IMPROVEMENTS

WEST FARGO, NORTH DAKOTA DATE 2/1/23 MBN JOB #: <u>22-294</u> DATE: <u>2-1-23</u>



EXISTING PROPERTY LINE
EXISTING PROPERTY PIN
EXISTING FIRE HYDRANT
EXISTING GATE VALVE
EXISTING DOWNSPOUT
EXISTING STORM INLET
EXISTING STORM MANHOLE
EXISTING PVC INLET
EXISTING FLARED END SECTION
EXISTING SANITARY MANHOLE
EXISTING TELEPHONE PEDESTAL
EXISTING SIGN
EXISTING FENCE
EXISTING CONIFEROUS TREE
NEW 4" REINFORCED CONCRETE SIDEWALK
NEW 4" REINFORCED CONCRETE BASKETBALL COURT

1. ALL WORK SHALL COMPLY WITH THE MOST RECENT CITY OF WEST FARGO STANDARD SPECIFICATIONS FOR CONSTRUCTION OF PUBLIC

2. CONTRACTOR SHALL NOTIFY UTILITY COMPANIES FOR UNDERGROUND

3. CONTRACTOR SHALL PROTECT ALL PROPERTY PINS. PROPERTY PINS DESTROYED OR DISTURBED SHALL BE REPLACED AT CONTRACTORS

MORE THAN ONE (1) ACRE OR IS LESS THAN ONE (1) ACRE, BUT IS PART OF A LARGER DEVELOPMENT PLAN, A NOTICE OF INTENT TO OBTAIN A STORM WATER POLLUTION PERMIT SHALL BE ACQUIRED BY THE CONTRACTOR AND OWNER FROM THE NORTH Dakota department of environmental quality seven (7) days

6. CONTRACTOR SHALL ACQUIRE AN EROSION SEDIMENT CONTROL (ESC) PERMIT FROM THE CITY OF WEST FARGO PRIOR TO START OF

TOPSOILED (6" DEPTH), GRADED, SEEDED, AND HYDRO-MULCHED.

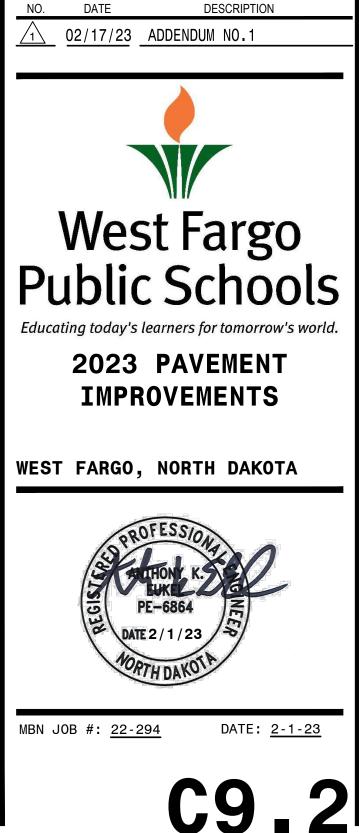
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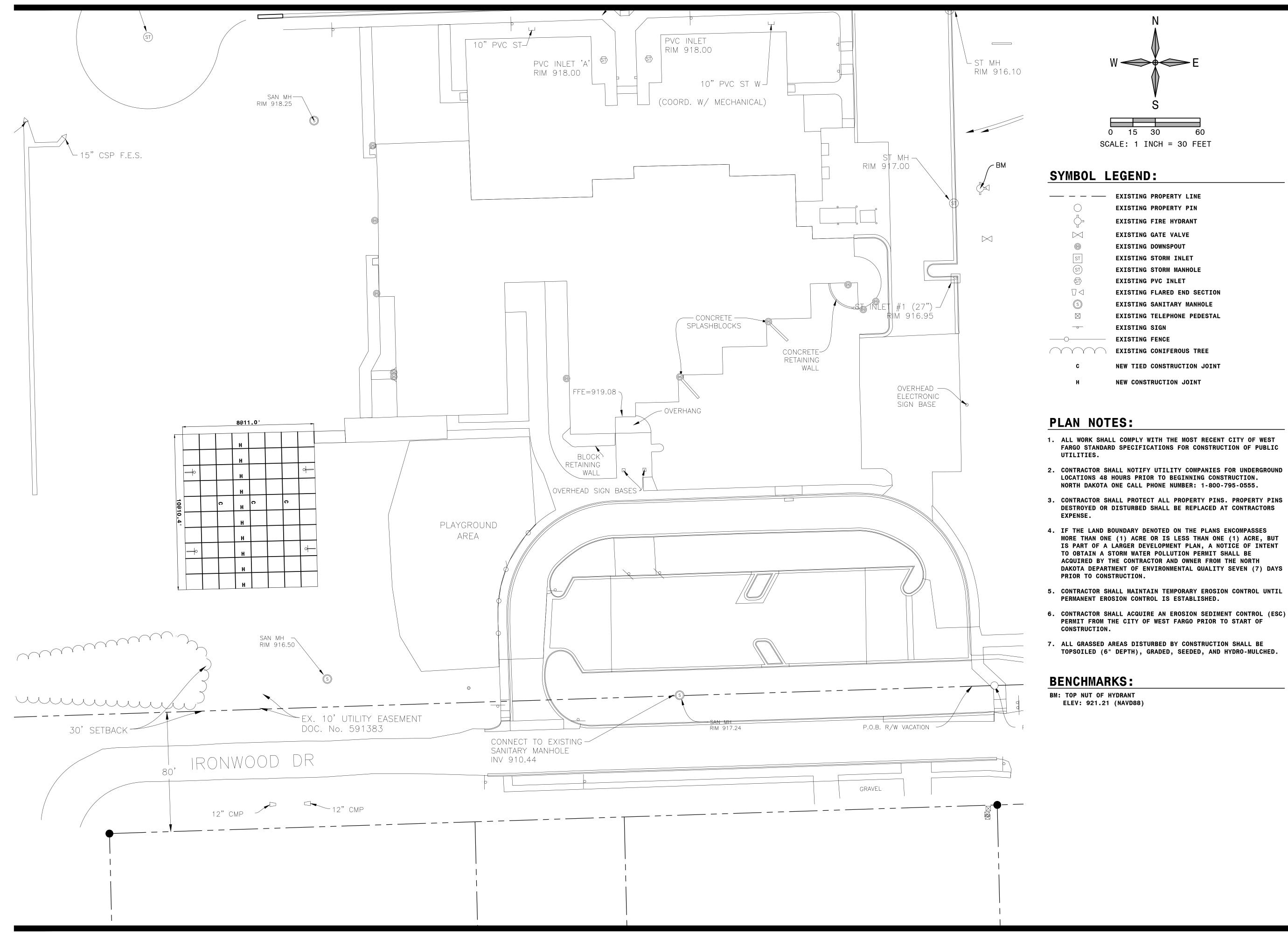


MECHANICAL * ELECTRICAL * CIVIL

503 7TH ST. N , SUITE 200 FARGO, ND 58102 PHONE: 701.478.6336 FAX: 701.478.6340

REVISIONS:





EXISTING PROPERTY LINE
EXISTING PROPERTY PIN
EXISTING FIRE HYDRANT
EXISTING GATE VALVE
EXISTING DOWNSPOUT
EXISTING STORM INLET
EXISTING STORM MANHOLE
EXISTING PVC INLET
EXISTING FLARED END SECTION
EXISTING SANITARY MANHOLE
EXISTING TELEPHONE PEDESTAL
EXISTING SIGN
EXISTING FENCE
EXISTING CONIFEROUS TREE
NEW TIED CONSTRUCTION JOINT

1. ALL WORK SHALL COMPLY WITH THE MOST RECENT CITY OF WEST FARGO STANDARD SPECIFICATIONS FOR CONSTRUCTION OF PUBLIC

2. CONTRACTOR SHALL NOTIFY UTILITY COMPANIES FOR UNDERGROUND LOCATIONS 48 HOURS PRIOR TO BEGINNING CONSTRUCTION.

3. CONTRACTOR SHALL PROTECT ALL PROPERTY PINS. PROPERTY PINS DESTROYED OR DISTURBED SHALL BE REPLACED AT CONTRACTORS

MORE THAN ONE (1) ACRE OR IS LESS THAN ONE (1) ACRE, BUT IS PART OF A LARGER DEVELOPMENT PLAN, A NOTICE OF INTENT TO OBTAIN A STORM WATER POLLUTION PERMIT SHALL BE ACQUIRED BY THE CONTRACTOR AND OWNER FROM THE NORTH DAKOTA DEPARTMENT OF ENVIRONMENTAL QUALITY SEVEN (7) DAYS

6. CONTRACTOR SHALL ACQUIRE AN EROSION SEDIMENT CONTROL (ESC) Permit from the city of west fargo prior to start of

TOPSOILED (6" DEPTH), GRADED, SEEDED, AND HYDRO-MULCHED.

6 0 С Ш ш 0 HORA



MECHANICAL * ELECTRICAL * CIVIL

503 7TH ST. N , SUITE 200 FARGO, ND 58102 PHONE: 701.478.6336 FAX: 701.478.6340

REVISIONS:

DATE

NO.



DESCRIPTION

Educating today's learners for tomorrow's world.

2023 PAVEMENT IMPROVEMENTS

WEST FARGO, NORTH DAKOTA DATE 2/1/23 DATE: <u>2-1-23</u> MBN JOB #: <u>22-294</u> **C9**.



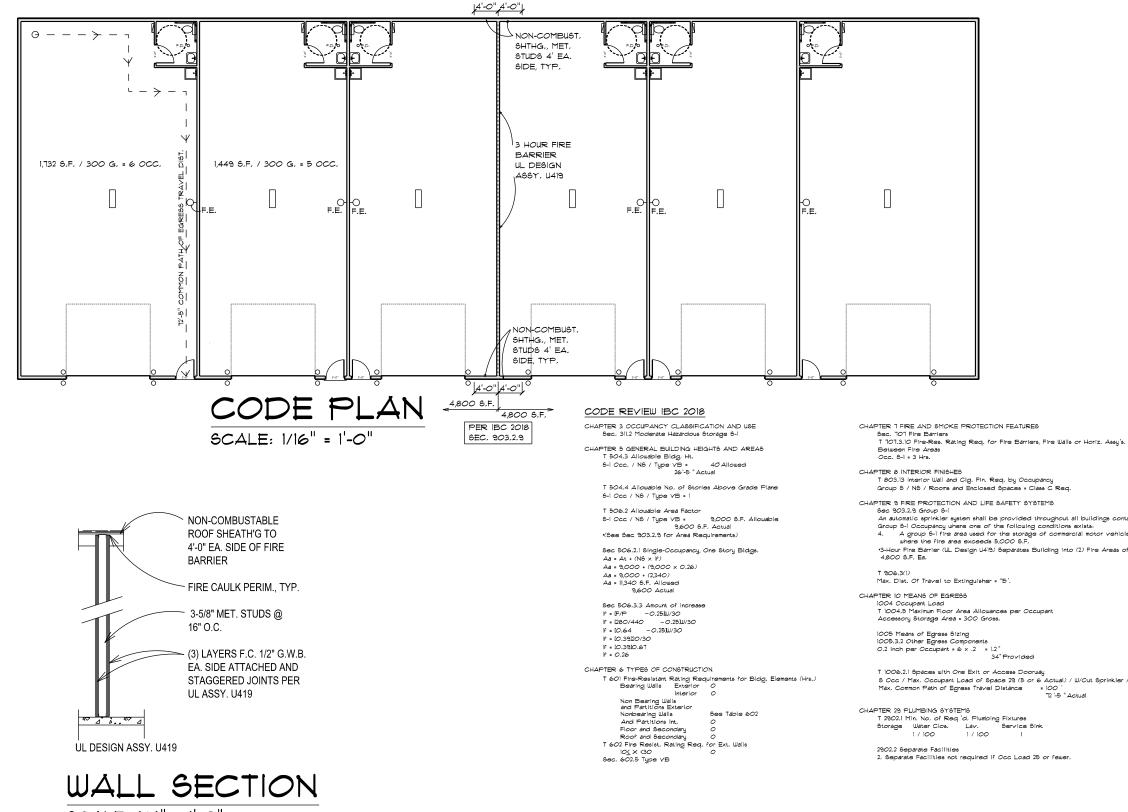


CONSTRUCTION DRAWINGS

3/2/2022

ANY CONSTRUCTION DOCUMENTS PRINTED BEFORE STAMPED DATE ARE VOID. LAMPERT LUMBER IS NOT RESPONSIBLE FOR ANY DISCREPANCIES IN CONSTRUCTION BASED ON PREVIOUS PLANS. DISCLAIMER OF WARRANTIES PLANS FURNISHED BY LAMPERT LUMBER WERE PREPARED BY DRAFTSPERSONS WHO ARE NOT LICENSED AS PROFESSIONAL ARCHITECTS OR ENGINEERS. LAMPERT LUMBER EXPRESSIONAL ARCHITECTS OR ENGINEERS. LAMPERT LUMBER EXPRESSIONAL DISCLAIMS ANY LIABILITY FOR ERRORS ON THESE PLANS. USE OF SUCH PLANS ARE THE SOLE RISK OF THE USER AND ARE FURNISHED WITHOUT ANY WARRANTY. RESPONSIBILITY FOR THE USAGE OF CORRECT STRUCTURAL MATERIALS, SPANS, LOAD BEARING. AND CONSTRUCTION METHODS ARE THE RESPONSIBILITY OF THE BUILDER, OWNER, OR USER OF THESE PLANS. PRELIMINARY DRAWINGS UNLESS SIGNED BY CONTRACTOR OR OWNER I ACCEPT THIS PLAN AS DRAWN Name_ Date_ ampert Lumber 4115 32nd Ave S.W. (Bus): 701-492-0292 4115 32nd Ave S.W. (Fax): 701-492-0591 Fargo, ND 58103 www.lampertlumber.com DRAWN BY: Signature HOMES REVISIONS .6.22 .1.22 .13.22 512 INVESTMENTS 1,4,2022 Job HORACE, ND

DATE:



SCALE: 1/4" = 1'-0"

CONSTRUCTION DRAWINGS

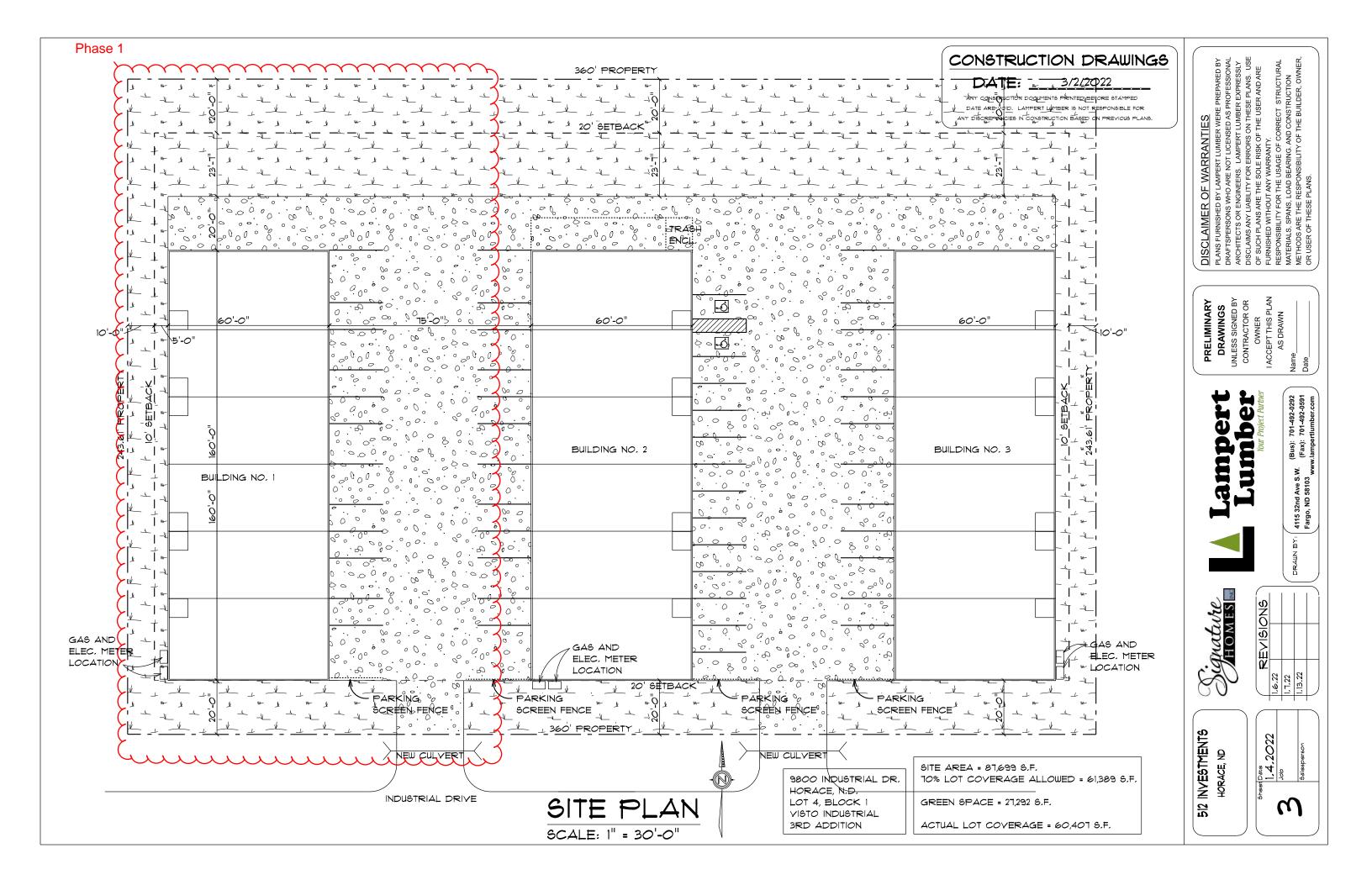
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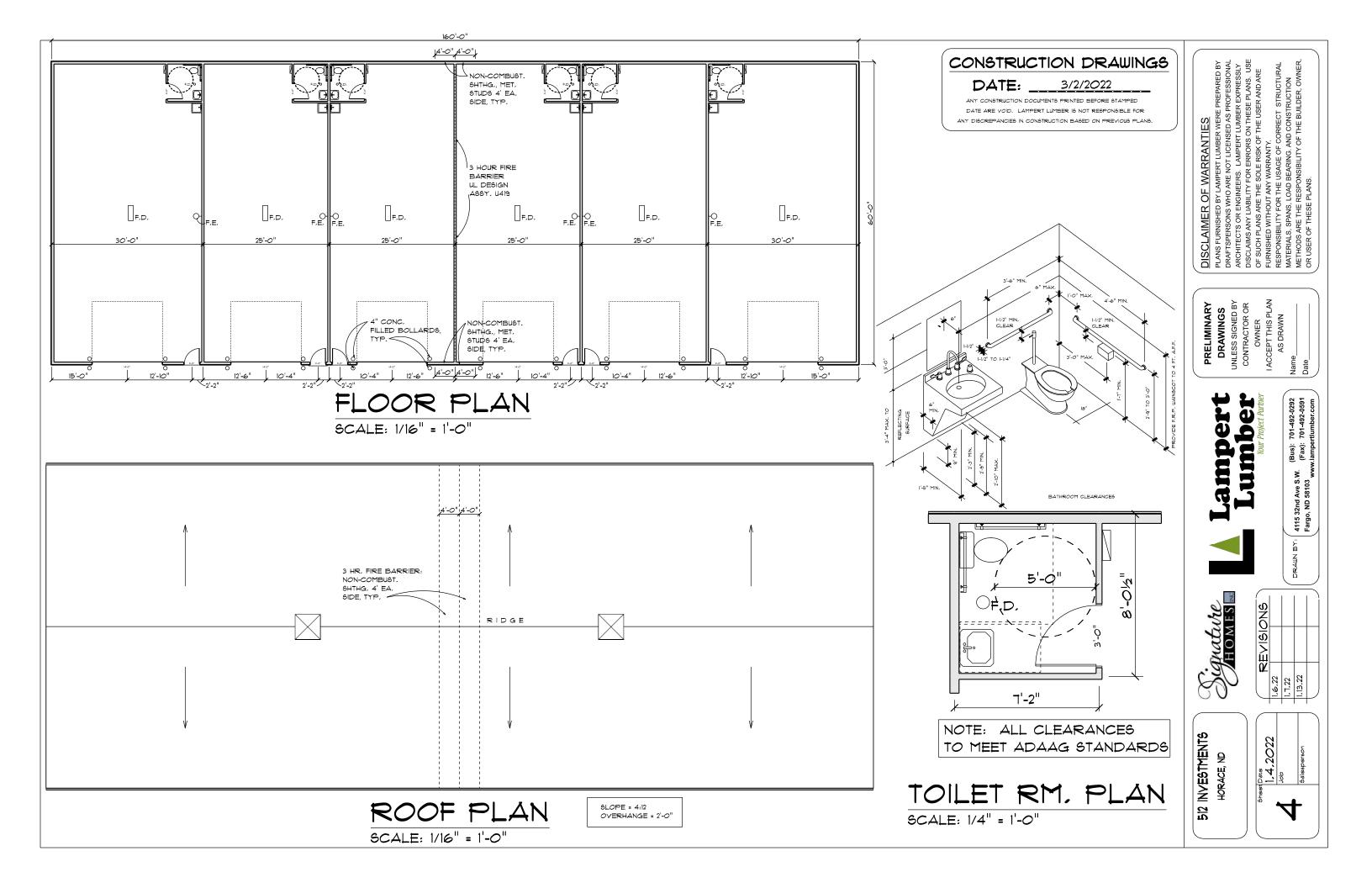
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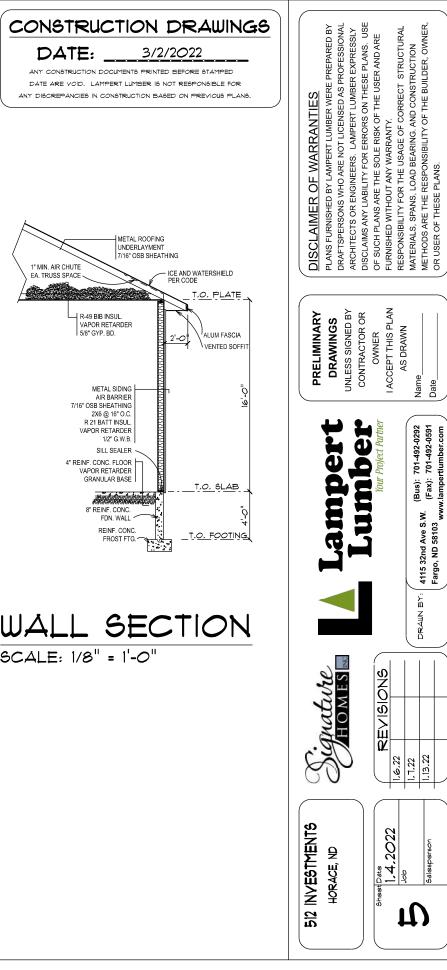
 APTER 9 FIRE PROTECTION AND LIFE SAFETT STSTETS
 See 203.23 Group 5-1
 An automatic sprinkler system shall be provided throughout all buildings containing a Group 5-1
 Group 5-1
 Group 5-1
 Group 5-1
 Fire area used for the storage of commercial motor vehicles where the fire area exceeds 5,000 5.F. *3-Hour Fire Barrier (UL Design U413) Separates Building into (2) Fire Areas of 4,800 6,F, Ea,

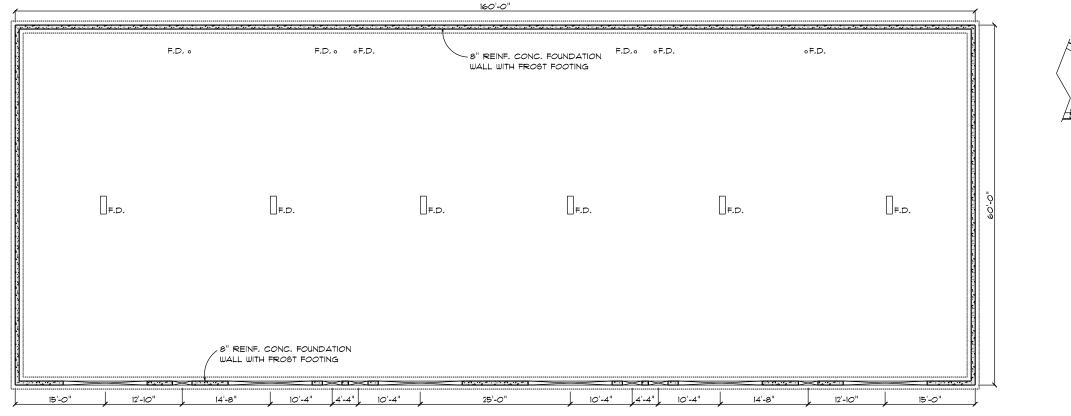
S Occ / Max. Occupant Load of Space 29 (5 or 6 Actual) / W/Out Sprinkler / Max. Common Path of Egress Travel Distance = 100 * 12 *5 * Actual





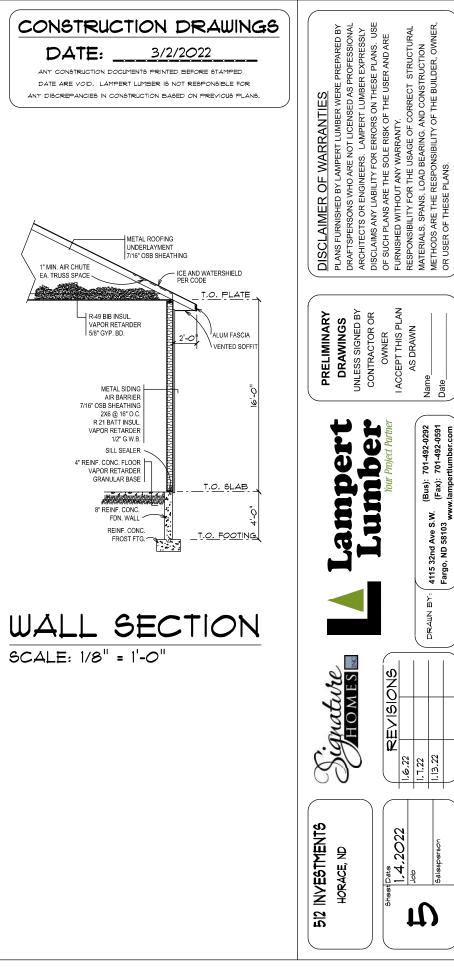


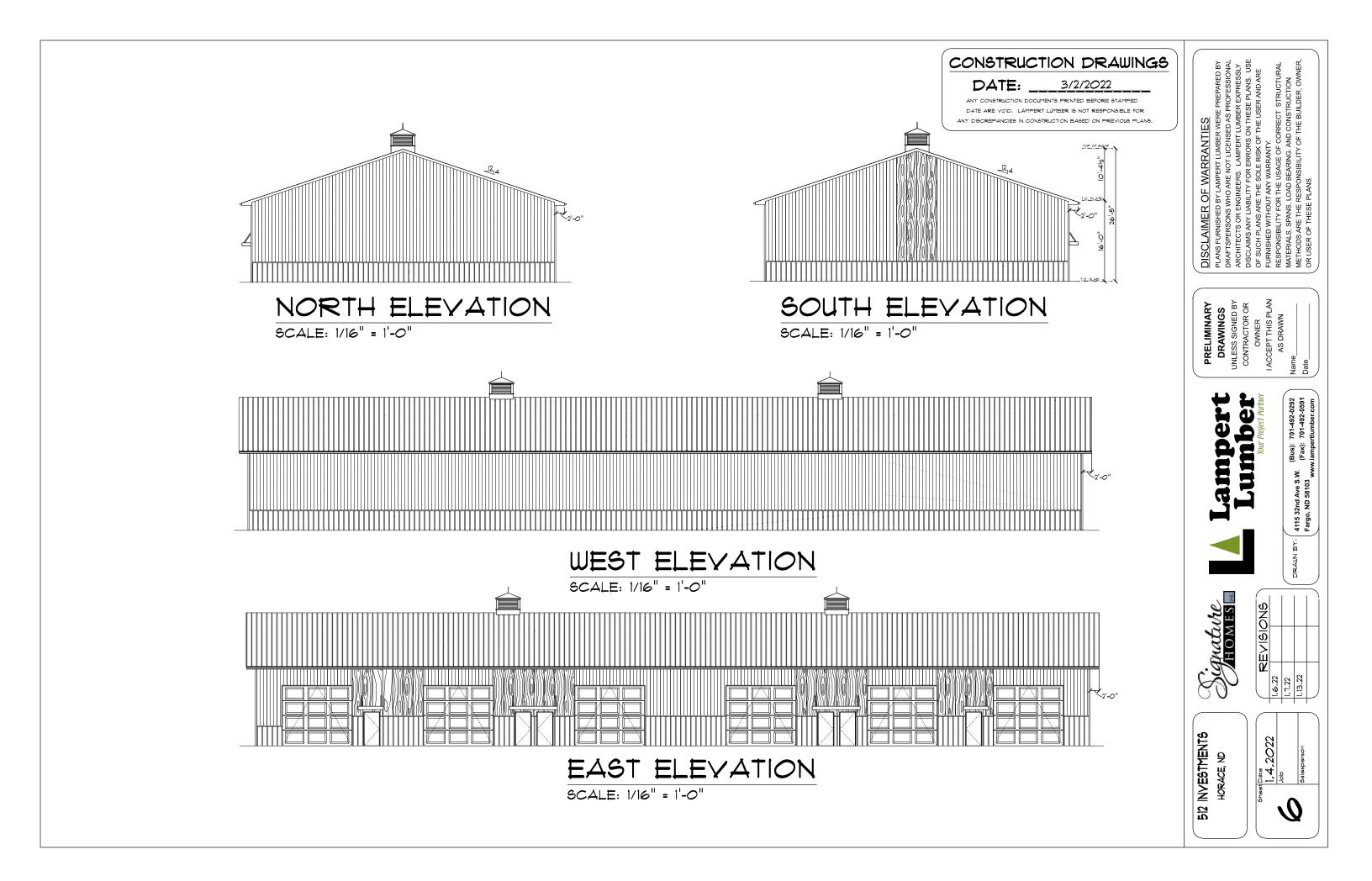






SCALE: 1/16" = 1'-0"







SITE	INFORMATION			
S	ITE COVERAGE			
ITEM	AREA (SF)	AREA (%)		
BUILDING	28,800	32.9		
PARKING & DRIVES	32,100	36.7		
TOTAL IMPERVIOUS	60,900	69.6		
GREEN SPACE	26,575	30.4		
TOTAL AREA	87,475	100		
	PARKING			
STALL T	NUMBER			
9X20 STALLS	62			
ADA STALLS	3			
TOTAL PROVIDED	65			
TOTAL REQUIRED (PER CODE SEC	36			
ZON	ING INFORMATION			
CURRENT ZONE:		I-1 LIGHT INDUSTRIAL		
DIMEN	SIONAL STANDARDS			
BUILDING SETBACKS				
FRONT YARD		20 FEET		
INTERIOR SIDE YARD		10 FEET		
REAR YARD		20 FEE1		
SUR	VEY INFORMATION			
DATE OF SURVEY		4/14/22		
COORDINATE SYSTEM	NAD83/NAVE	088 - US SURVEY FOOT		
DATUM	TUM NAVD8			



BENCHMARK 1: TOP NUT OF EXISTING HYDRANT SOUTH OF SE PROPERTY CORNER ELEVATION=913.71' BENCHMARK 2: TOP NOT OF EXISTING HYDRANT SOUTH AND EAST OF SW PROPERTY CORNER ELEVATION=913.77' BASIS OF BEARING: CITY OF FARGO COORDINATE SYSTEM



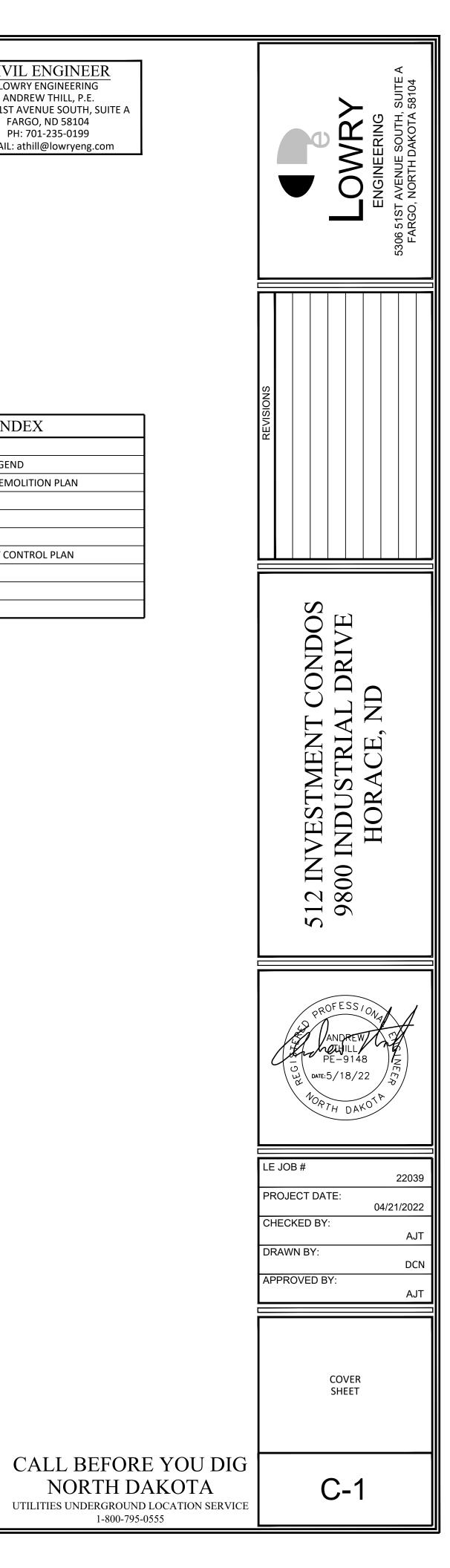
512 INVESTMENT CONDOS

9800 INDUSTRIAL DRIVE HORACE, ND

VICINITY MAP

CIVIL ENGINEER LOWRY ENGINEERING ANDREW THILL, P.E. 5306 51ST AVENUE SOUTH, SUITE A FARGO, ND 58104 PH: 701-235-0199 EMAIL: athill@lowryeng.com

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C-1	COVER SHEET			
C-2	GENERAL NOTES & LEGEND			
C-3	SURVEY OVERLAY & DEMOLITION PLAN			
C-4	OVERALL SITE PLAN			
C-5	UTILITY PLAN			
C-6	GRADING PLAN			
C-7	EROSION & SEDIMENT CONTROL PLAN			
C-8	TYPICAL DETAILS			
C-9	TYPICAL DETAILS			
L-1	LANDSCAPING PLAN			



GENERAL NOTES:

- L. SHOULD THE CONTRACTOR FIND ANY DISCREPANCIES ON THE DRAWINGS, OR IN THE FIELD PRIOR TO BEGINNING WORK OR DURING CONSTRUCTION, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE **OWNER & ENGINEER.**
- 2. A COMPLETE SET OF APPROVED DRAWINGS MUST BE MAINTAINED ON SITE AT ALL TIMES BY THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS.
- 3. CHANGES TO APPROVED PLANS SHALL NOT BE MADE WITHOUT WRITTEN APPROVAL OF THE OWNER AND ENGINEER.
- 4. CHANGES TO APPROVED PLANS ON PUBLIC PROPERTY SHALL NOT BE MADE WITHOUT WRITTEN APPROVAL FROM THE CITY OF HORACE.
- 5. ALL SITE AND RIGHT-OF-WAY CONSTRUCTION SHALL MEET CITY OF FARGO STANDARD SPECIFICATIONS LATEST REVISION. IN THE CASE OF A DISCREPANCY BETWEEN THE PLANS AND SPECIFICATIONS, THE PLANS SHALL GOVERN.
- THE CONTRACTOR IS RESPONSIBLE FOR LOCATING & VERIFYING ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION & IS RESPONSIBLE FOR ANY DAMAGE TO THEM DURING CONSTRUCTION. CONTRACTOR SHALL CONTACT THE LOCAL ONE-CALL SYSTEM AT LEAST 72 HOURS PRIOR TO **BEGINNING CONSTRUCTION.**
- 7. ANY WORK ON EXISTING CITY OWNED UTILITIES SHALL REQUIRE NOTIFICATION TO THE CITY OF HORACE BY THE CONTRACTOR 24 HOURS PRIOR TO COMMENCING WORK.
- 8. THE CONTRACTOR SHALL COMPLY WITH ALL RULES & REGULATIONS OF FEDERAL, STATE, COUNTY, & LOCAL AUTHORITIES. 9. THE CONTRACTOR IS REQUIRED TO MEET ALL APPLICABLE FEDERAL, OSHA, STATE, AND LOCAL
- REGULATIONS CONCERNING PROJECT SAFETY AND ASSUMES FULL RESPONSIBILITY FOR SAFETY ON THE PROJECT.
- 10. CONTRACTOR SHALL VERIFY THAT ALL NECESSARY PERMITS FOR CONSTRUCTION HAVE BEEN OBTAINED, ALL BONDS ARE POSTED, ALL FEES ARE PAID AND PROOF OF INSURANCE IS PROVIDED PRIOR TO THE START OF THE PROJECT.
- 11. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL HORIZONTAL AND VERTICAL CONTROLS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SURVEY AND RELATED COSTS.
- 12. CONTRACTOR SHALL BE RESPONSIBLE FOR HIS/HER OWN MEASUREMENTS AND QUANTITIES. ENGINEER QUANTITIES ARE ESTIMATES ONLY. 13. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING INSTALLATION OF UNDERGROUND UTILITIES
- BY THE APPROPRIATE UTILITY ENTITY. PROPER COORDINATION WITH THE RESPECTIVE UTILITY ENTITIES SHALL BE PERFORMED BY THE CONTRACTOR TO INSURE THAT ALL UTILITY ENTITY STANDARDS FOR MATERIAL AND METHODS ARE MET. THE GENERAL CONTRACTOR SHALL OVERSEE INSTALLATION OF UTILITIES AND COORDINATE WITH ALL SUBCONTRACTORS TO AVOID CONFLICTS. 14. THE CONTRACTOR SHALL PROVIDE AS-BUILT RECORDS OF ALL CONSTRUCTION (INCLUDING
- UNDERGROUND UTILITIES) TO THE OWNER FOLLOWING COMPLETION OF CONSTRUCTION ACTIVITIES. 15. THE CONTRACTOR SHALL PROVIDE TESTING, INSPECTIONS, AS-BUILT DRAWINGS, CERTIFICATIONS
- AND ANY OTHER PROCEDURES OR DOCUMENTATION REQUIRED BY THE GOVERNING AGENCIES TO CLOSE OUT THE PROJECT.
- 16. THE CONTRACTOR SHALL RESTORE ANY STRUCTURES, PIPE, UTILITY, PAVEMENT, CURBS SIDEWALKS, LANDSCAPED ARES, ETC. WITHIN THE SITE OR ADJOINING PROPERTIES DISTURBED DURING DEMOLITION OR CONSTRUCTION TO THEIR ORIGINAL CONDITION OR BETTER, AND TO THE SATISFACTION OF THE OWNER/JURISDICTIONAL AUTHORITY.
- 17. THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL AND DISPOSAL OF ALL STRIPPING, RUBBISH, TRASH, DEBRIS, ORGANIC, AND EXCESS EXCAVATED MATERIAL IN A LAWFUL MANNER. CONTRACTOR SHALL REFERENCE THE PROJECT GEOTECHNICAL REPORT AVAILABLE IN THE PROJECT
- MANUAL AND COMPLY WITH ALL REPORT REQUIREMENTS. IF A CONFLICT ARISES BETWEEN THE GEOTECHNICAL REPORT AND CIVIL DOCUMENTS, THE GEOTECHNICAL REPORT SHALL GOVERN. 19. FOR THE PURPOSES OF CONSTRUCTION SURVEY, ALL BUILDING DIMENSIONS SHALL BE VERIFIED
- WITH STRUCTURAL AND ARCHITECTURAL PLANS. 20. THE CONTRACTOR IS RESPONSIBLE FOR SUBMITTING SHOP DRAWINGS TO THE ENGINEER FOR
- REVIEW OF ALL APPLICABLE PRODUCTS AND MATERIALS BEING USED FOR CONSTRUCTION.

GRADING NOTES

- LOCATION AND TOP ELEVATIONS OF INLETS AND STRUCTURES MAY NEED TO BE ADJUSTED IN THE FIELD BY THE CONTRACTOR WHERE NECESSARY AND SHALL BE APPROVED BY THE ENGINEER. CONTRACTOR SHALL NOTE ANY CHANGES IN AS-BUILT DRAWINGS.
- 2. IF UNSUITABLE SUBGRADE MATERIALS ARE ENCOUNTERED, THE CONTRACTOR IS RESPONSIBLE FOR REMOVAL AND REPLACEMENT (FROM OFF-SITE BORROW MATERIAL) OF ALL UNSUITABLE MATERIAL TO CLASSIFIED AS MH, CH, OH, OL AND PEAT IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM, UNLESS APPROVED IN WRITING BY THE PROJECT GEOTECHNICAL ENGINEER. THE SITE ENGINEER AND GEOTECHNICAL ENGINEER SHALL BE NOTIFIED IMMEDIATELY UPON ENCOUNTERING UNSUITABLE SUBGRADE MATERIAL.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL EXCAVATIONS AND GRADING INCLUDING FURNISHING OFF-SITE BORROW AND DISPOSING OF EXCESS MATERIAL AS REQUIRED TO MEET PLAN GRADES. OFF SITE BORROW SHALL MEET ALL REQUIREMENTS OF THE PROJECT GEOTECHNICAL REPORT (IF AVAILABLE) OR PER CITY OF FARGO STANDARD SPECIFICATIONS.
- 4. COMPACTION LIFTS AND TESTING SHALL BE PER CITY OF FARGO REQUIREMENTS IN TRENCHING, SUB-BASE, BASE, AND PAVING MATERIALS. SUB-BASE LIFTS SHALL NOT EXCEED 12". BASE LIFTS SHALL NOT EXCEED 6".
- 5. CONTRACTOR SHALL UNIFORMLY GRADE BEHIND CURBS TO MATCH EXISTING GRADES AT PROPERTY 6. GRADE TO ENSURE POSITIVE DRAINAGE. ALL FINISHED SURFACES SHALL BE FREE FROM SURFACE
- IRREGULARITIES.

PAVING NOTES

- 1. ALL PAVEMENT SECTION MATERIALS AND INSTALLATION SHALL MEET THE REQUIREMENTS OF CITY OF FARGO.
- 2. AGGREGATE BASE COURSE SHALL MEET THE REQUIREMENTS OF CITY OF FARGO.
- 3. CONCRETE FOR FLAT WORK SHALL BE A BATCH PLANT MIX MEETING THE REQUIREMENTS OF THE CITY OF HORACE STANDARD SPECIFICATIONS. (MINIMUM 4,000 PSI)
- 4. PAINTED PARKING STRIPING SHALL BE WATER BASED 4" IN WIDTH YELLOW STRIPES AND BE LOCATED AS SHOWN ON THE PLANS. ACCESSIBLE PARKING STRIPING SHALL BE BLUE AND PER ADA REQUIREMENTS. GORE AREA LINES SHALL BE PAINTED AT 45 DEGREES AND SHALL HAVE A SPACING OF 3'. CURE COMPOUND SHALL BE REMOVED BY SANDBLASTING, GRINDING, OR OTHER APPROVED METHOD BEFORE INSTALLATION OF PAVEMENT MARKINGS ON CONCRETE TO ENSURE PROPER ADHESION OF THE PAINT. ALL WORK SHALL BE IN ACCORDANCE WITH THE NDDOT REQUIREMENTS.
- THE CONTRACTOR SHALL SUBMIT A JOINTING PLAN FOR CONCRETE PAVEMENT TO THE ENGINEER FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION. IF NO JOINTING PLAN IS SUBMITTED, THE CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR JOINTING LAYOUT.

STORM SEWER & DRAINAGE NOTES:

- CMP PIPE SHALL BE SPIRAL RIB 16 GA POLYMERIC COATED OR 12 GA ALUMINIZED.
- INVERTS SHOWN ON PLAN DRAWINGS ARE PIPE INVERTS UNLESS NOTED OTHERWISE. ANY SUBSTITUTION FOR MATERIALS OR PROCEDURES MUST HAVE PRIOR WRITTEN APPROVAL OF THE CITY AND THE PROJECT ENGINEER.

SANITARY SEWER NOTES:

- LOCATIONS AND TOP ELEVATIONS OF STRUCTURES MAY NEED TO BE ADJUSTED IN THE FIELD BY THE CONTRACTOR WHERE NECESSARY AND SHALL BE APPROVED BY THE ENGINEER. CONTRACTOR SHALL NOTE ALL CHANGES ON AS-BUILT DRAWINGS.
- CONSTRUCTION OF THE SANITARY SEWER SYSTEM AND CONNECTION TO THE EXISTING SEWER SYSTEM SHALL MEET THE REQUIREMENTS OF AND SHALL BE INSTALLED UNDER THE DIRECTION OF THE CITY OF HORACE.
- PVC SANITARY SEWER PIPE SHALL MEET THE REQUIREMENTS OF ASTM D3034, LATEST REVISION IN SIZES SPECIFIED. CONTRACTOR SHALL CONFIRM LOCATION AND INVERT ELEVATION OF SEWER TIE-IN POINT PRIOR TO
- ANY SITE OR BUILDING CONSTRUCTION. ROOF DRAINS, FOUNDATION DRAINS OR OTHER CLEAN WATER CONNECTIONS TO THE SANITARY
- SEWER SYSTEM ARE PROHIBITED. SANITARY SEWER MAINS SHALL HAVE A 95% DIAMETER MANDREL PULLED TO CHECK FOR CRUSH.
- PUBLIC SANITARY SEWER MAINS SHALL BE PRESSURE TESTED PER ASTM F-1417 (OR APPROVED EQUAL) IN THE PRESENCE OF THE ENGINEER.

WATER NOTES:

CONSTRUCTION OF THE WATER SYSTEM AND CONNECTION TO THE EXISTING WATER SYSTEM SHALL MEET THE REQUIREMENTS OF AND SHALL BE INSTALLED UNDER THE DIRECTION OF THE CITY OF HORACE.

- 2. INSTALLATION OF THE PRIVATE FIRE SERVICE MAINS AND APPURTENANCES SHALL BE IN
- ACCORDANCE WITH NFPA 24 AND THE REQUIREMENTS OF THE CITY OF HORACE. 3. PVC WATER PIPE AND FITTINGS 4" AND LARGER SHALL MEET AWWA C-900.
- 4. ALL WATER LINES SHALL BE BELOW THE FROST LINE 7.5' FROM FINISH GRADE TO TOP OF PIPE. 5. WATER METERS, BOXES, VAULTS AND BFP'S SHALL MEET ALL REQUIREMENTS OF THE UTILITY COMPANY. CONTRACTOR SHALL CONFIRM ALL ITEMS AGAINST CURRENT LIST OF APPROVED DEVICES
- PRIOR TO ORDERING. 6. A MINIMUM OF 5 FEET HORIZONTAL SEPARATION SHALL BE MAINTAINED BETWEEN UTILITY
- CONDUIT CROSSOVER AND WATER LINE APPURTENANCES, I.E., HYDRANTS, VALVES, TEES, ETC. 7. WATER LINE CROSSING ANY AND ALL SEWERS SHALL HAVE A MINIMUM VERTICAL SEPARATION OF
- 18" BETWEEN THE OUTSIDE OF THE WATER MAIN PIPE AND THE SEWER PIPE. ONE FULL LENGTH OF WATER MAIN PIPE SHALL BE CENTERED AT THE POINT OF CROSSING SUCH THAT BOTH JOINTS WILL BE EQUAL DISTANCE AND AS FAR FROM THE SEWER AS POSSIBLE, IF WATER CROSSES BELOW SANITARY SEWERS, THE SEWER MUST BE WATER MAIN MATERIAL FOR THE SPAN.
- 8. SITE CONTRACTOR IS RESPONSIBLE FOR MAKING TIE-IN TO WATER AND SANITARY SEWER CONNECTIONS AT BUILDING. SEE ARCHITECTURAL AND MECHANICAL PLANS FOR EXACT LOCATIONS FOR BUILDING STUB OUTS AND FLOOR DRAINS.
- 9. CONTRACTOR SHALL TEST THE WATER MAIN IN THE PRESENCE OF THE ENGINEER USING AWWA C605 CRITERIA. PIPE SHALL BE BE PRESSURIZED TO 150 PSI FOR TWO HOURS WITH 0 PSI ALLOWABLE PRESSURE LOSS. ALL WATER SERVICE CURB STOPS ALONG THE MAIN BEING TESTED SHALL BE OPEN DURING THE TEST. CONTRACTOR IS RESPONSIBLE FOR CAPPING THE END OF WATER SERVICES WITH A SUITABLE PRESSURE RATED PLUG.
- 10. ALL WATER MAINS, FITTINGS, AND APPURTENANCES SHALL BE CHLORINATED AND TESTED IN ACCORDANCE WITH AWWA C651, AWWA 652, AND AS SET FORTH BY THE LATEST REVISION OF THE CITY OF FARGO SPECIFICATIONS. CHLORINATED WATER SHALL REMAIN IN THE PIPE LINE FOR AT LEAST 24 HOURS AND SHALL HAVE A RESIDUAL CHLORINE CONTENT OF AT LEAST 25 PARTS PER MILLION AT THAT TIME. A WATER SAMPLE WILL BE TAKEN AFTER THE MAIN IS FLUSHED AND SHALL SHOW THE ABSENCE OF BACTERIA BEFORE CONNECTIONS ARE ALLOWED TO THE WATERMAIN.
- 11. ALL PRODUCTS (TREATMENT CHEMICALS AND MATERIALS) THAT MAY COME INTO CONTACT WITH WATER INTENDED FOR USE IN A PUBLIC WATER SYSTEM SHALL MEET ANSI/NSF INTERNATIONAL STANDARDS 60 & 61, AS APPROPRIATE.
- 12. FOR BACTERIOLOGICAL TEST, TWO (2) SETS OF SAMPLES SHALL BE COLLECTED AT LEAST 16 HOURS APART, OR TWO (2) SETS SHALL BE COLLECTED 15 MINUTES APART AFTER AT LEAST A 16-HOUR REST SETS SHALL BE COLLECTED EVERY 1.200 FT. OF NEW MAIN, PLUS ONE SET FROM THE END OF THE WATER MAIN AND AT LEAST ONE FROM EACH BRANCH GREATER THAN ONE (1) PIPE LENGTH. BACTERIOLOGICAL TEST MUST BE ANALYZED BY A NORTH DAKOTA DEPARTMENT OF ENVIRONMENTAL QUALITY CERTIFIED LAB.

DEMOLITION NOTES

- 1. LIMITS OF STREET PATCHING AND PATCHING REQUIREMENTS SHALL BE VERIFIED WITH THE CITY OF HORACE.
- EROSION & SEDIMENT CONTROL / SWPPP NOTES
- IF THE LAND BOUNDARY DENOTED ON THE PLANS ENCOMPASSES MORE THAN 1 ACRE, A NOTICE OF INTENT TO OBTAIN A STORM WATER POLLUTION CONTROL PERMIT SHALL BE ACQUIRED BY THE CONTRACTOR AND OWNER FROM THE NORTH DAKOTA DEPARTMENT OF ENVIRONMENTAL QUALITY 7 DAYS PRIOR TO CONSTRUCTION. THIS NOTICE OF INTENT SHALL BE PROVIDED WITH THE BUILDING PERMIT APPLICATION. CONTRACTOR IS RESPONSIBLE FOR NOI SUBMITTAL
- 2. COPY OF NOI, COVERAGE LETTER FROM THE DOH AS WELL AS ALL MAINTENANCE AND INSPECTION RECORDS TO BE KEPT ON SITE AND AVAILABLE FOR REVIEW BY CITY, STATE OR FEDERAL OFFICIALS UPON REQUEST
- CONTRACTOR SHALL HAVE AN UPDATED SWPPP AVAILABLE ON SITE ANYTIME WORK IS BEING DONE. THIS DOCUMENT SHALL BE AVAILABLE FOR REVIEW BY CITY, STATE OR FEDERAL OFFICIALS UPON REQUEST. THE SWPPP SHALL BE IN ACCORDANCE WITH THE NORTH DAKOTA GENERAL PERMIT NO. NDR-11-0000 AND THE PLANS. THE ESC PLAN IS THE ENGINEER'S RECOMMENDATION FOR EROSION AND SEDIMENT CONTROL BASED ON THE DESIGN OF THE PROPOSED SITE. THIS DESIGN DOES NOT TAKE INTO EFFECT CONTRACTOR MEANS AND METHODS, CONSTRUCTION SCHEDULE, OR ORDER OF OPERATIONS. CONTRACTOR IS EXPECTED TO ADJUST DESIGN AS IS NECESSARY TO MEET THE **REQUIREMENTS OF THE GENERAL PERMIT.**
- 4. CONTRACTOR IS RESPONSIBLE FOR ALL EROSION AND SEDIMENT CONTROL ON THE SITE. THIS INCLUDES BUT IS NOT LIMITED TO STORM WATER EROSION, EROSION FROM PUMPING OPERATIONS, OFF SITE TRACKING, DUST CONTROL AND CONTROL OF ANY CONCRETE GRINDINGS OR SAW CUT DUST. CONTRACTOR IS ALSO RESPONSIBLE FOR ALL OTHER ITEMS AS REQUIRED IN THE GENERAL PERMIT.
- 5. INSPECTIONS SHALL BE COMPLETED AND DOCUMENTED BY THE CONTRACTOR AT LEAST ONCE EVERY 14 DAYS DURING ACTIVE CONSTRUCTION AND WITHIN 24 HOURS AFTER A RAINFALL EVENT GREATER THAN ¼" IN 24 HOURS. A RAIN GAUGE SHALL BE ONSITE AND USED TO MAKE THIS DETERMINATION.
- 6. SITE SHALL BE STABILIZED WITHIN 14 DAYS OF COMPLETION OF WORK OR WITHIN 14 DAYS OF SUSPENSION OF WORK PER THE GENERAL PERMIT. 7. ALL EROSION AND SEDIMENT RELATED CONTROL AND ITEMS NEED TO BE INSTALLED AND
- MAINTAINED IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS UNLESS OTHERWISE DICTATED IN THE PLANS.
- 8. THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL AND DISPOSAL OF ALL EXCESS TOPSOIL, EXCAVATED MATERIAL, RUBBISH, TRASH, DEBRIS, AND ORGANIC MATERIAL CONSISTENT WITH LOCAL LAW AND WITH THE GENERAL PERMIT.
- 9. CONTRACTOR IS RESPONSIBLE FOR ALL DE-WATERING AS NECESSARY TO MEET REQUIRED EXCAVATIONS AND GRADES. MUDDY WATER TO BE PUMPED FROM EXCAVATION AND WORK AREAS MUST BE HELD IN SETTLING BASINS OR FILTERED PRIOR TO ITS DISCHARGE INTO SURFACE WATERS OR STORM DRAINAGE SYSTEMS. WATER MUST BE DISCHARGED THROUGH A PIPE, WELL GRASSED OR LINED CHANNEL, OR OTHER EQUIVALENT MEANS SUCH THAT DISCHARGE DOES NOT CAUSE EROSION OR SEDIMENTATION. THIS INCLUDES DE-WATERING OF RAINWATER, GROUND WATER, OR ANY OTHER WATER ON SITE CAUSING IMPACTS TO SITE CONSTRUCTION.
- PLANS.
- 11. TOP SOIL OR OTHER SOIL/CLAY STOCKPILES ARE NOT TO BE LOCATED WITHIN FLOW PATHS, BASES OF
- ALL STOCKPILES SHALL BE SURROUNDED WITH SILT FENCE. 12. CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION, MAINTENANCE, SEDIMENT REMOVAL/CLEANING, AND REPLACEMENT AS REQUIRED FOR ALL EROSION AND SEDIMENT CONTROL ITFMS.
- 13. CONTRACTOR IS RESPONSIBLE FOR SWEEPING AND CLEANING ANY SEDIMENT TRACKED ONTO
- ADJACENT ROADWAYS DURING CONSTRUCTION AS NEEDED TO KEEP STREETS CLEAR OF SEDIMENT.
- 14. EROSION CONTROL BLANKET SHALL BE INSTALLED PER MANUFACTURERS RECOMMENDATIONS FOR LAYDOWN PATTERN, REQUIRED OVERLAP WIDTH, TRENCHING, STAPLE PATTERN, ETC.
- 15. CHEMICAL STORAGE ONSITE SHALL BE IN COMPLIANCE WITH THE GENERAL PERMIT. 16. CONTRACTOR IS RESPONSIBLE FOR INSTALLATION AND MAINTENANCE OF INLET PROTECTION THROUGHOUT THE DIFFERENT PHASES OF CONSTRUCTION REGARDLESS OF THE TYPE OF PROTECTION. THE QUANTITY FOR ONE (1) INLET PROTECTION SHALL COVER INSTALLATION, CLEANING, REPLACEMENT, ETC. FROM THE TIME THE MANHOLE IS SET UNTIL FINAL STABILIZATION OF THE ENTIRE AREA DRAINING TO THE INLET. FOR EXAMPLE: ONE (1) INLET PROTECTION QUANTITY MAY COVER BUT IS NOT LIMITED TO: SILT FENCE AROUND MANHOLE PRIOR TO LID AND CASTING BEING INSTALLED, REMOVAL OF SILT FENCE AROUND MANHOLE AFTER CASTING HAS BEEN INSTALLED, INSTALLATION OF DEVICE SUCH AS DANDY SACK INSIDE CASTING, REMOVAL OF SEDIMENT FROM DANDY SACK, REMOVAL OF DANDY SACK FROM CASTING AFTER ALL UPSTREAM AREAS ARE STABILIZED.
- 17. OWNER SHALL REFER TO THE STORMWATER MANAGEMENT PLAN FOR MAINTENANCE REQUIREMENTS OF THE PERMANENT STORMWATER QUANTITY/QUALITY CONTROL MEASURES.
- EROSION CONTROL DURING CONSTRUCTION.
- 19. A FODS TRACKOUT CONTROL MAT MAY BE USED AS AN APPROVED EQUAL TO THE VEHICLE TRACKING PAD. CONTRACTOR SHALL SUBMIT PROPOSED MAT LAYOUT TO ENGINEER FOR REVIEW PRIOR TO INSTALLING.

CHLORINE DISINFECTION SHALL BE INCLUDED IN THE UNIT BID PRICE FOR THE PIPE.

10. ALL DISTURBED AREAS SHALL BE SEEDED AND HYDROMULCHED UNLESS SHOWN OTHERWISE IN THE

18. CONTRACTOR SHALL FOLLOW NDDEQ STORMWATER POLLUTION PREVENTION STANDARDS FOR ALL

SEEDING NOTES:

1. ALL SEEDING MIX SHALL CONSIST

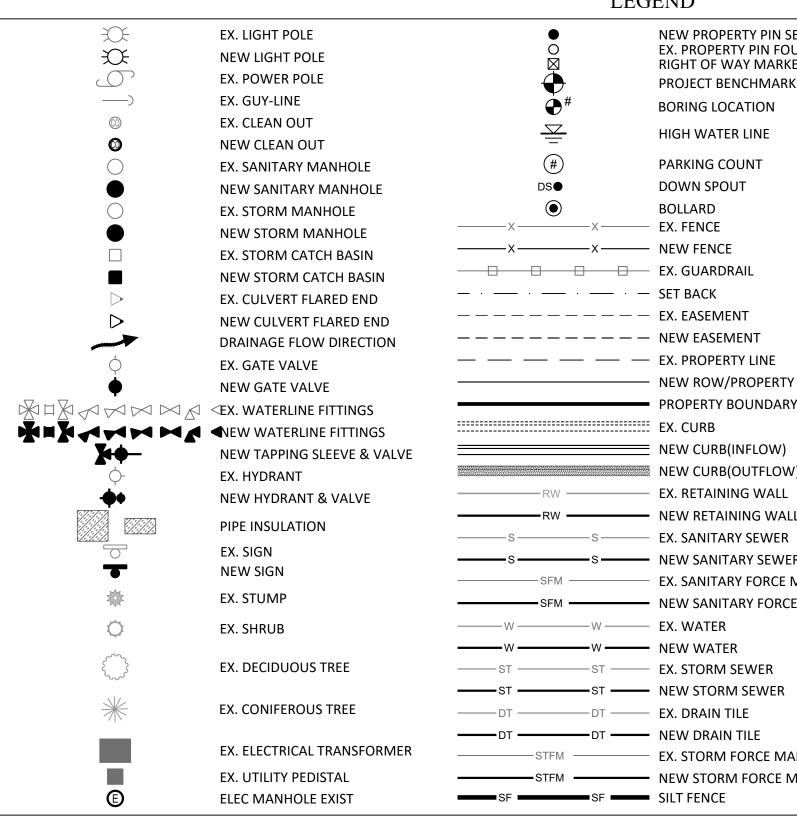
-KENTUCKY BLUEGRASS = 60% B -CREEPING RED FESCUE = 10% B -FINE LEAF PERENNIAL RYEGRAS -PERCENT BY WEIGHT SHALL BE

- -RATE OF SEEDING SHALL BE 220
- 2. CULTIVATE OR DISK TOPSOIL TO A
- REMOVE MATERIALS GREATER TH
- PLANT SEEDS TO A DEPTH BETWE
- SEED ONLY WHEN WIND IS LESS
- MULCHING SHALL BE USED IMME
- EARLIER VEGETATION COVER. CONTRACTOR IS RESPONSIBLE FC

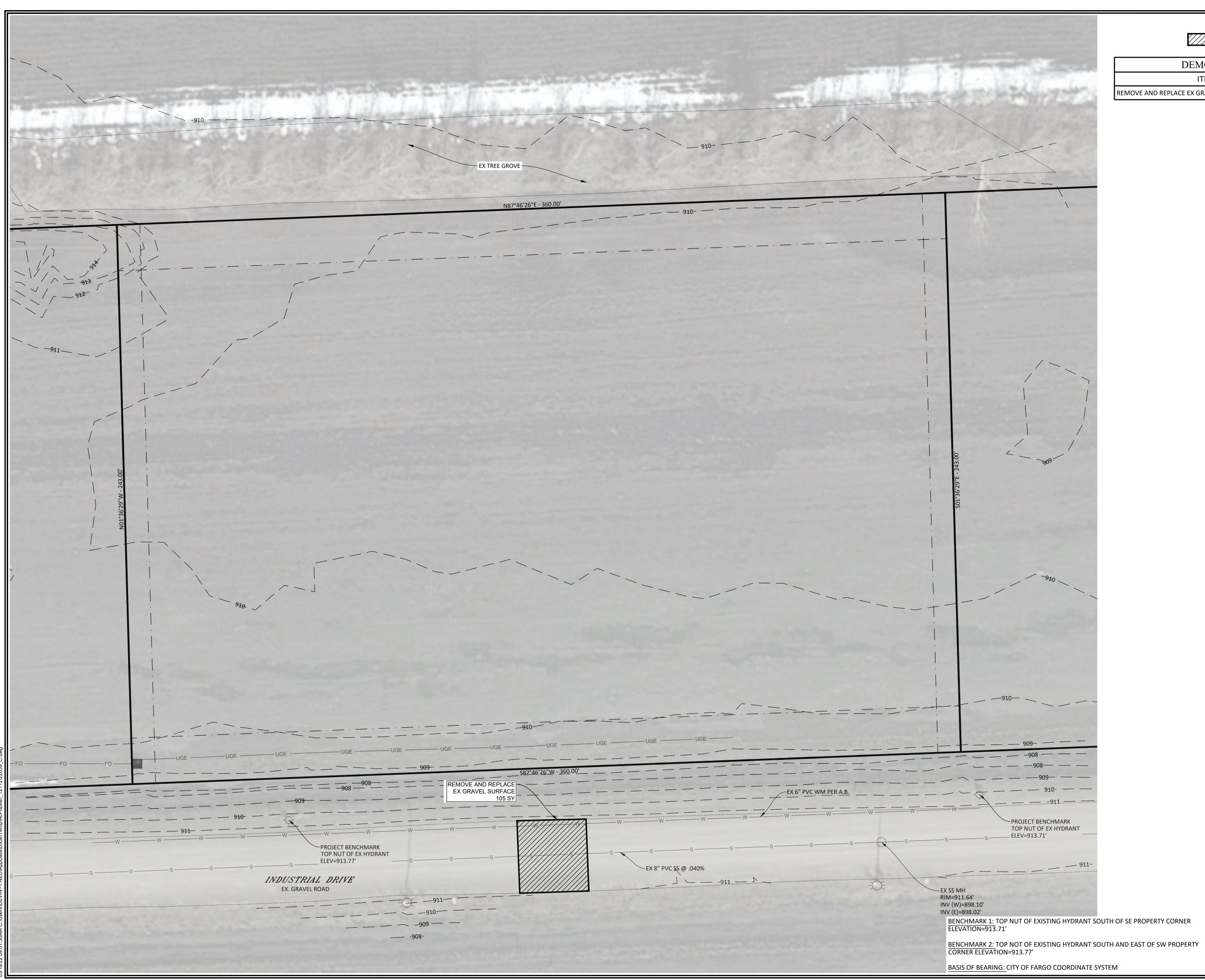
- 8. FERTILIZER SHALL BE 12-24-12 AT 1,000 SF)
- 9. CONTRACTOR SHALL FOLLOW STA FERTILIZER.

TEMPORARY TRAFFIC CONTROL NOTE

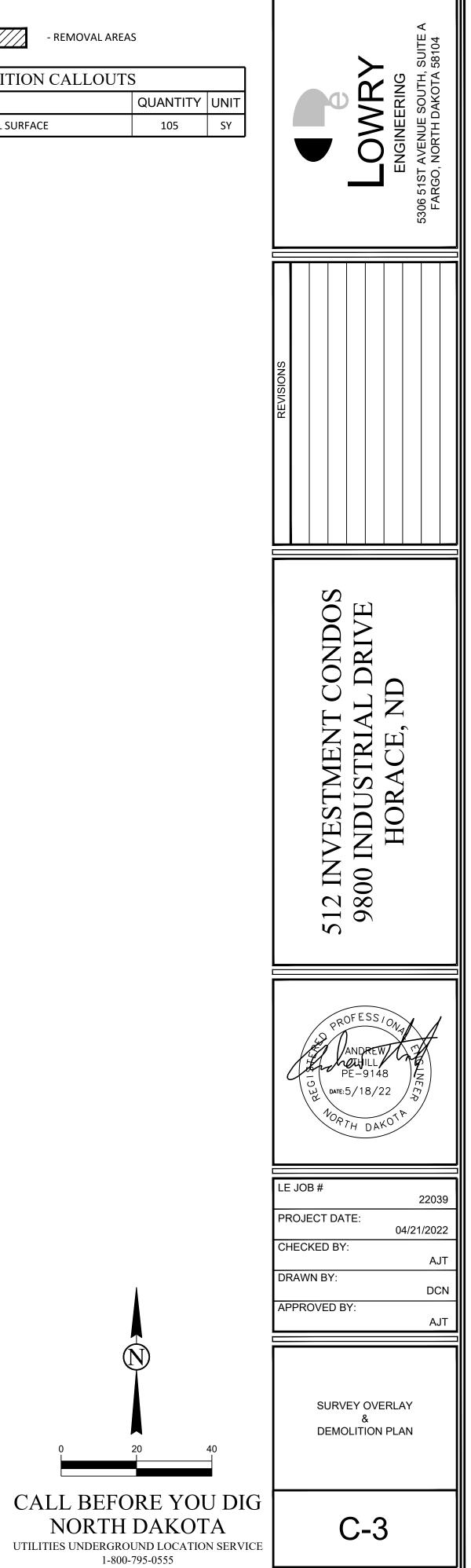
 UNLESS NOTED OTHERWISE, THE CERTIFIED TRAFFIC CONTROL SUP CONTROL DEVICES ON AND OFF-CONTRACTOR SHALL IDENTIFY TH PRECONSTRUCTION MEETING.

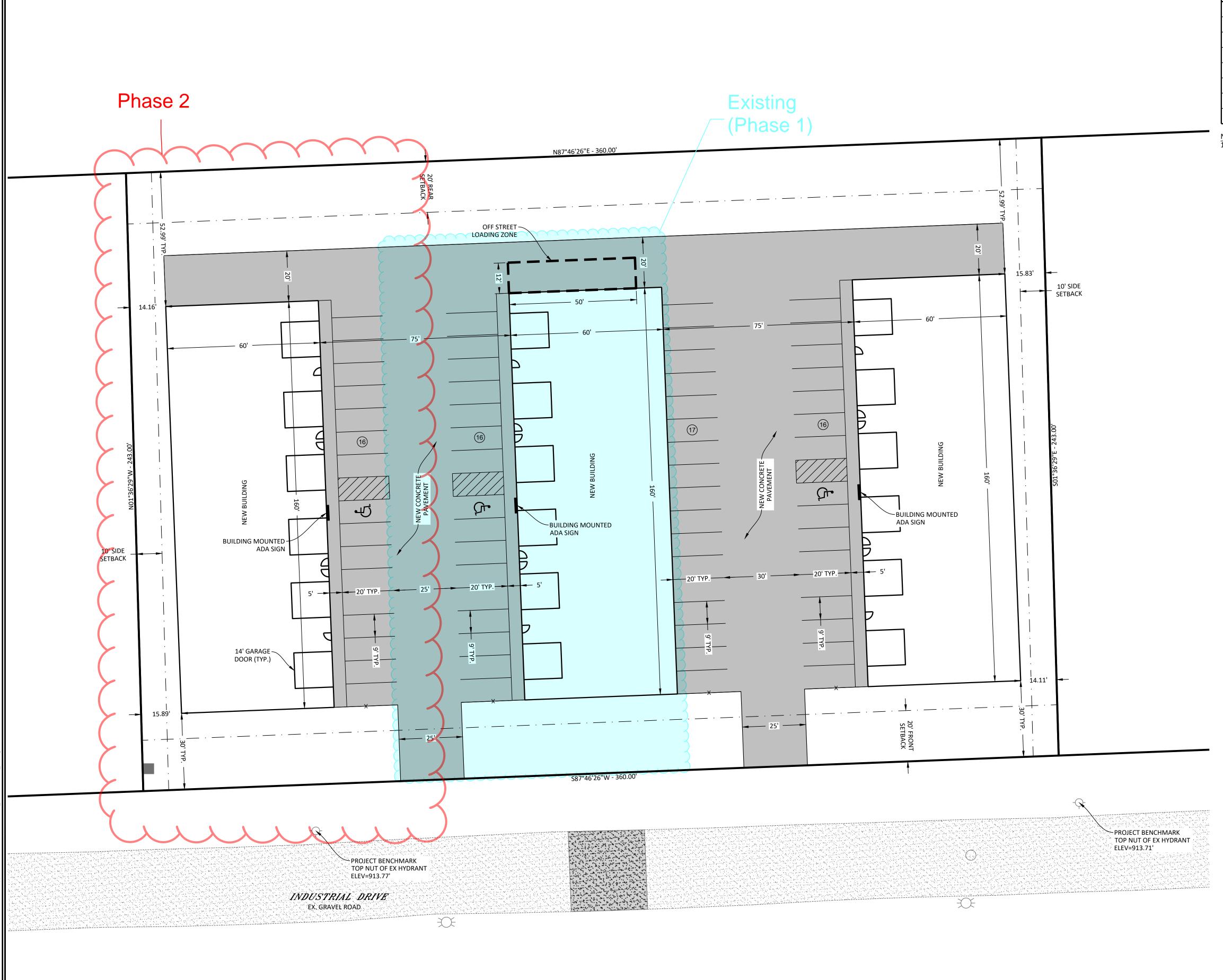


CONSIST OF THE FOLLOWING: S = 60% BY WEIGHT, 90% PURITY, 85% GERMINA E = 10% BY WEIGHT, 90% PURITY, 85% GERMINA RYEGRASS = 30% BY WEIGHT, 95% PURITY, 90% SHALL BE ± 5% ON ALL SEED TYPES. ALL BE 220 POUNDS PER ACRE (5 POUNDS PER 1,0 SOIL TO A DEPTH OF APPROXIMATELY 3". EATER THAN 1" IN DIAMETER THAT CANNOT BE I H BETWEEN $\frac{1}{4}$ " AND $\frac{3}{4}$ ". IS LESS THAN 15 MPH WHEN NOT USING A GRA ED IMMEDIATELY AFTER SEEDING TO PREVENT E OVER. ISIBLE FOR WATERING TO ESTABLISH GRASS GRO 24-12 AT AN APPLICATION RATE OF 220 POUNDS LLOW STATE AND LOCAL LAWS REGARDING THE	TION GERMINATION DOO SF) BROKEN UP. SS DRILL. ROSION AND PROMOTE DWTH TO A HEIGHT OF 3". S PER ACRE (5 POUNDS PER	CONTRACTOR SHALL SUB FOR REVIEW. 3. CONTRACTOR IS RESPON DEVICES IN ACCORDANCE STANDARD HIGHWAY SIG REGULATIONS. 4. CHANGES TO THE TEMPC	RAFFIC CONTROL PLAN IS INCLUDED WITH THE DESIGN DOCUMENTS, MIT A COPY OF THE APPROVED TRAFFIC CONTROL PLAN TO THE ENGINEER SIBLE TO INSTALL, INSPECT, MAINTAIN, AND REMOVE TRAFFIC CONTROL E WITH THE LATEST STANDARDS AND REQUIREMENTS OF THE MUTCD, GNS AND MARKINGS BOOK PUBLISHED BY THE FHWA, AND LOCAL DRARY TRAFFIC CONTROL PLAN SHALL NOT BE MADE WITHOUT WRITTEN ER, ENGINEER, AND PERMITTING AUTHORITY IF APPLICABLE.	The second secon
OL NOTES: (SE, THE CONTRACTOR SHALL BE RESPONSIBLE T TROL SUPERVISOR (TCS) AND ANY NECESSARY TE ND OFF-SITE INCLUDING OBTAINING ANY APPLIC NTIFY THE TCS AND PROVIDE PROOF OF CERTIFIC TING. EX. LIGHT POLE NEW LIGHT POLE EX. GUY-LINE EX. CLEAN OUT NEW CLEAN OUT NEW CLEAN OUT EX. SANITARY MANHOLE EX. SANITARY MANHOLE EX. STORM MANHOLE EX. STORM CATCH BASIN NEW STORM CATCH BASIN EX. CULVERT FLARED END NEW GATE VALVE NEW GATE VALVE NEW GATE VALVE NEW TAPPING SLEEVE & VALVE EX. HYDRANT NEW HYDRANT & VALVE PIPE INSULATION EX. SIGN EX. STUMP EX. SHRUB EX. CONIFEROUS TREE EX. CONIFEROUS TREE EX. CONIFEROUS TREE EX. UTILITY PEDISTAL ELEC MANHOLE EXIST	MPORARY TRAFFIC CABLE PERMITS. THE CATION AT A	 NEW CURB(INFLOW) NEW CURB(OUTFLOW) EX. RETAINING WALL NEW RETAINING WALL EX. SANITARY SEWER NEW SANITARY SEWER EX. SANITARY FORCE MAIN NEW SANITARY FORCE MAIN EX. WATER NEW WATER EX. STORM SEWER NEW STORM SEWER 	F0 F0 F0 F0 GAS EX. BUILDING FOOTPRINT EX. FIBER OPTIC EX. GAS LINE GAS NEW GAS LINE UGE EX. ELECTRIC WW ELECTRIC EX. CONTOUR GATV EX. CONTOUR GRADE BREAK/FLOW PATH CENTER LINE/SECTION LINE F1111 EX. CONTOUR GRADE BREAK/FLOW PATH CENTER LINE/SECTION LINE F1111 EX. CONTOUR GRADE BREAK/FLOW PATH CENTER LINE/SECTION LINE F1111 EX. CONCOUR NEW CONCRETE PAVEMENT NEW CONCRETE PAVEMENT EX. SIDEWALK/FLATWORK CCESSIBLE (ADA) RAMP WITH EX. SIDEWALK/FLATWORK ACCESSIBLE STRIPING ADA ACCESSIBLE STRIPING ADA ACCESSIBLE STRIPING ADA ACCESSIBLE STRIPING ADA ACCESSIBLE STRIPING ADA ACCESSIBLE STRIPING ADA ACCESSIBLE	512 INVESTMENT CONDOS 9800 INDUSTRIAL DRIVE 9800 INDUSTRIAL DRIVE HORACE, ND
ADJADJACENTALTALTERNATEARCHARCHITECTACPASBESTOS CEMENT PIPEBITBITUMINOUSBLDGBUILDINGBMBENCHMARKB.O.BY OWNER/BY OTHERSB.O.P.BEGINNING OF PROJECTBVBUTTERFLY VALVEBVCEBEGINNING VERTICAL CURVEELEVATIONBVCSBEGINNING VERTICAL CURVESTATIONCCIVILB.P.CAST IRONCIPCAST IRON PIPECUCOPPERCMPCORRUGATED METAL PIPECJCONTROL JOINTCONCCONCRETECFCUBIC FEETCSCURB STOPC.O.CLEAN OUTCNTRCONSTRUCTIONCONTRCONTRACTORCYCUBIC YARDDIADIAMETERDIPDUCTILE IRON PIPEDEMODEMOLITIONDTLDETAILDIMDIMENSIONDOMDOMESTICD.S.DOWN SPOUTDWLDOWELEAEACH	ELEVELEVATI ENCLENCLENCLOSI E.O.P.E.J.EXPANSI EX.EX.EXISTING EX.A.EX.A.EACH WEVCEEND VER EVCSFDFIRE DER FFEFFEFIRST FLFOFIBER OIFTGFOOTING G.C.GALVGALVAN GALGALGALLON GRANGRANGRANUL GVGVGATE VA HDPEHORZHORZ HORZHORZHORZON HORZHDCPHANDIC HANDICHYDHYDRAN I I INLET KKCURVAT M MAX MAX MIN MININIMU MJ.MINMININIMU MAX MOMINA NICNOMNOMINA NOMINA NIC NOT TO OD OCOCON CEN OC	JRE PROJECT ON JOINT G AY ATICAL CURVE ELEVATION ATTICAL CURVE STATION PARTMENT OOR ELEVATION PTICS G L CONTRACTOR IZED AR ALVE NSITY POLYETHYLENE NTAL G APPED T URE VALUE VICAL LE JM M M VICAL JOINT ANEOUS RROSIVE AL CONTRACT SCALE E DIMENSION FER EACH WAY	PVIEPOINT OF VERTICAL INTERSECTION ELEVATIONPVISPOINT OF VERTICAL INTERSECTION STATIONPREFABPREFABRICATEDPSIPOUNDS PER SQUARE INCHPVCPOLYVINYL CHLORIDE PIPEPPPOWER POLERRADIUSRCPREINFORCED CONCRETE PIPERDROOF DRAINREQ'DREQUIREDRIMRIM OF INLET OR CASTINGROWRIGHT OF WAYSANSANITARYSSSANITARY SEWERSTDSTANDARDSBSOIL BORINGSTRUCTSTRUCTURALSFSQUARE FEETSCHSCHEDULESWSIDEWALKTTELEPHONETYPTYPICALUNEXUN-EXCAVATEDUEUTILITY EASEMENTUGEUNDERGROUND ELECTRICUNOUUNESS NOTED OTHERWISEVERTVERTICALVVERIFYVCLVERIFYVCLVERIFYVCLVERIFYVCLVERIFYVCLVERIFYVCLVITHIFIED CLAY PIPEW/WITHW/OWITH OUTWTHWIDTHWWATER	PROFESSION ANDREW PE-9148 DATE:5/18/22 DATE:



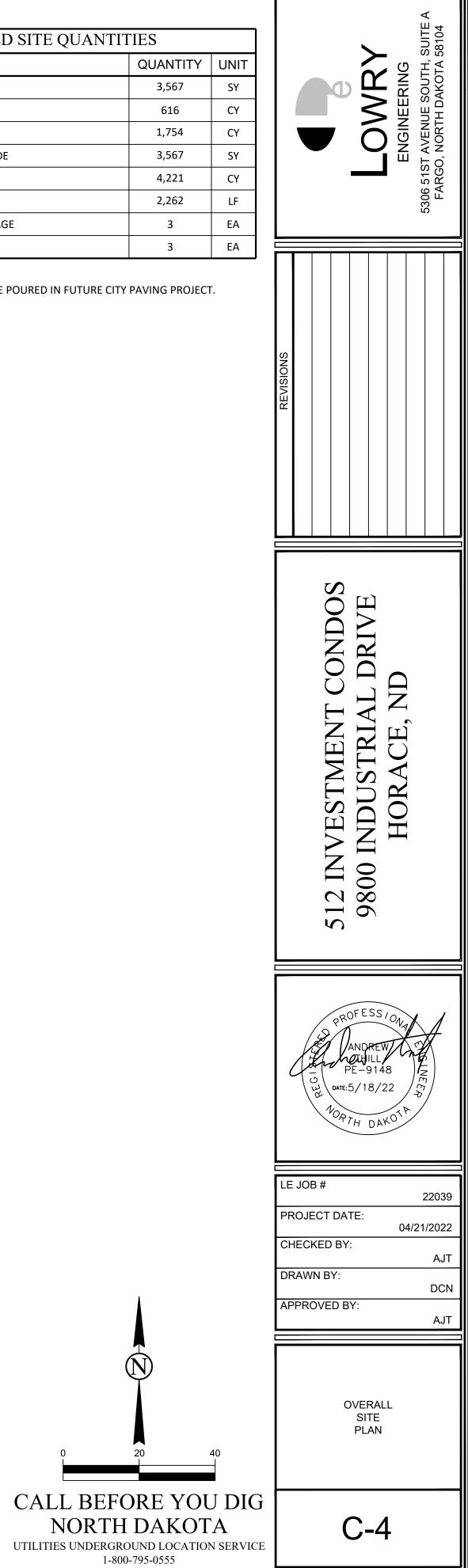
DEMOLITION CALLOUTS	5	
ITEM	QUANTITY	UNIT
REMOVE AND REPLACE EX GRAVEL SURFACE	105	SY



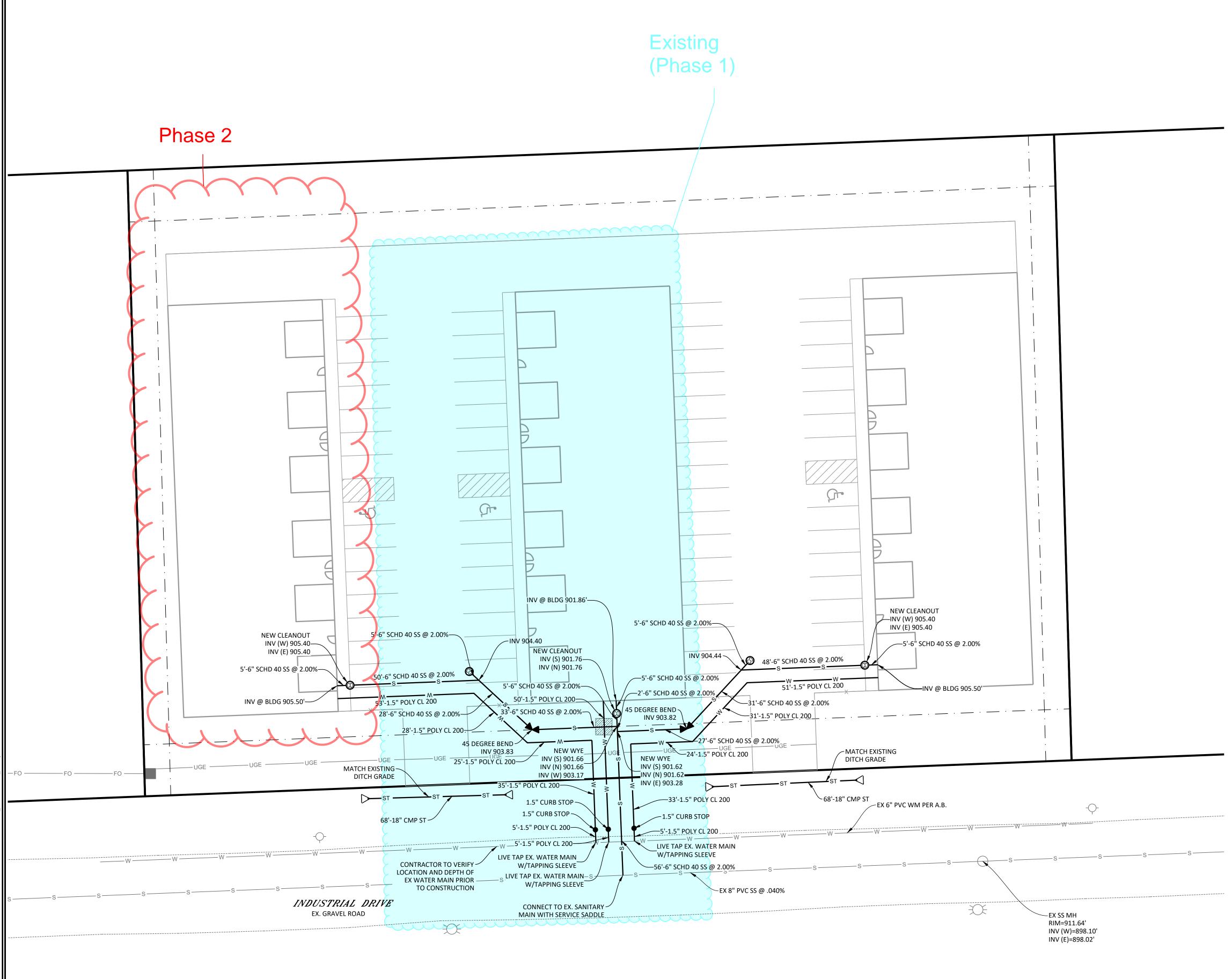


ESTIMATED SITE QUANTITIES				
ITEM	QUANTITY	UNIT		
NEW 6" CONCRETE PAVEMENT	3,567	SY		
CLASS 5	616	CY		
STRIPPING TOPSOIL 6" ASSUMED	1,754	CY		
SCARIFY AND RECOMPACT SUBGRADE	3,567	SY		
IMPORT	4,221	CY		
PAVEMENT MARKINGS - PARKING	2,262	LF		
PAVEMENT MARKINGS - ADA MESSAGE	3	EA		
ADA PARKING SIGN	3	EA		

NOTES: 1. DRIVEWAY APPROACHES WILL BE POURED IN FUTURE CITY PAVING PROJECT.



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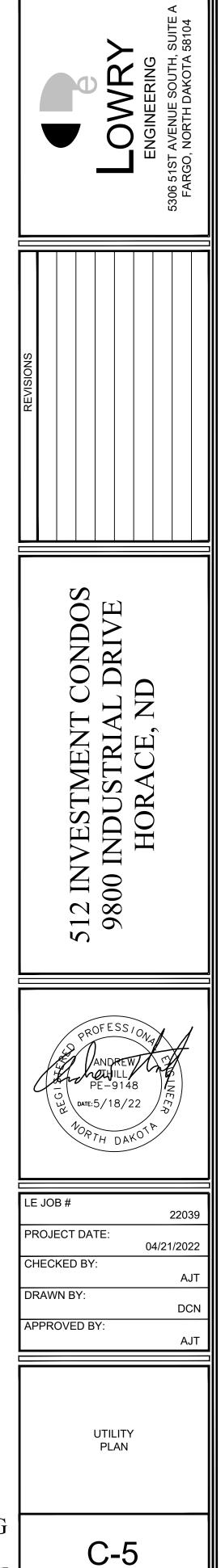


ESTIMATED WATER QUANTITIES				
ITEM	QUANTITY	UNIT		
1.5" POLY CL 200	334	LF		
CONNECT TO EXISTING	3	EA		

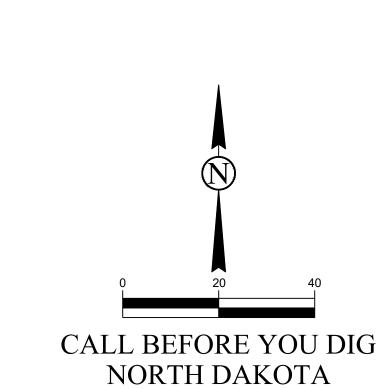
ESTIMATED SANITARY QUANTITIES				
ITEM	QUANTITY	UNIT		
6" SCHD 40	315	LF		
6" CLEANOUT	5	EA		
CONNECT TO EXISTING	1	EA		

ESTIMATED STORM QUANTITIES			
ITEM	QUANTITY	UNIT	
18" CMP	136	LF	
18" FES	4	EA	
RIP-RAP	18	CY	

NOTES: 1. CONTRACTOR TO LOWER WATER SERVICES AT DITCH TO MAINTAIN 7.5' OF COVER.

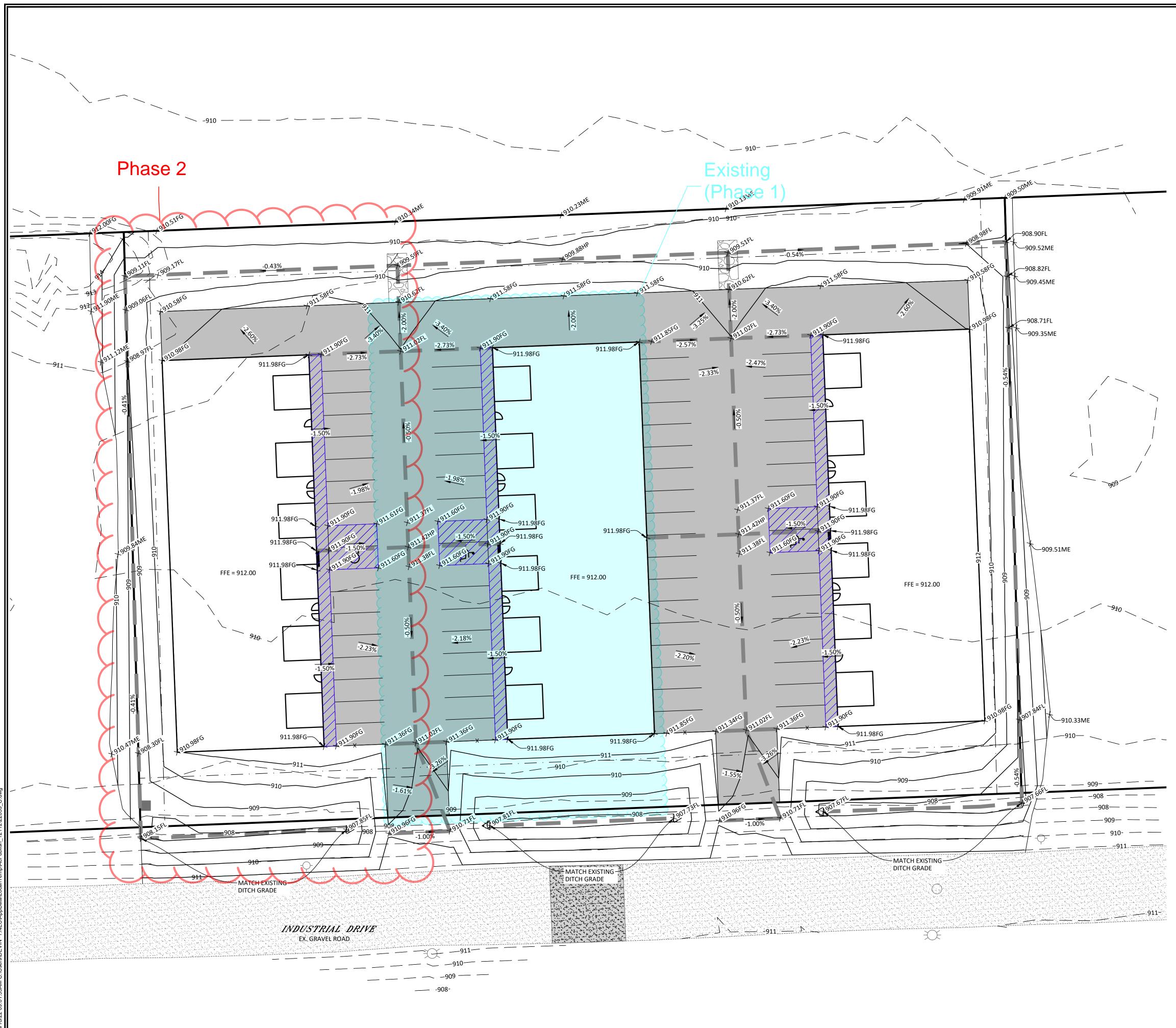


LOWER WATER SERVICE PER DETAIL



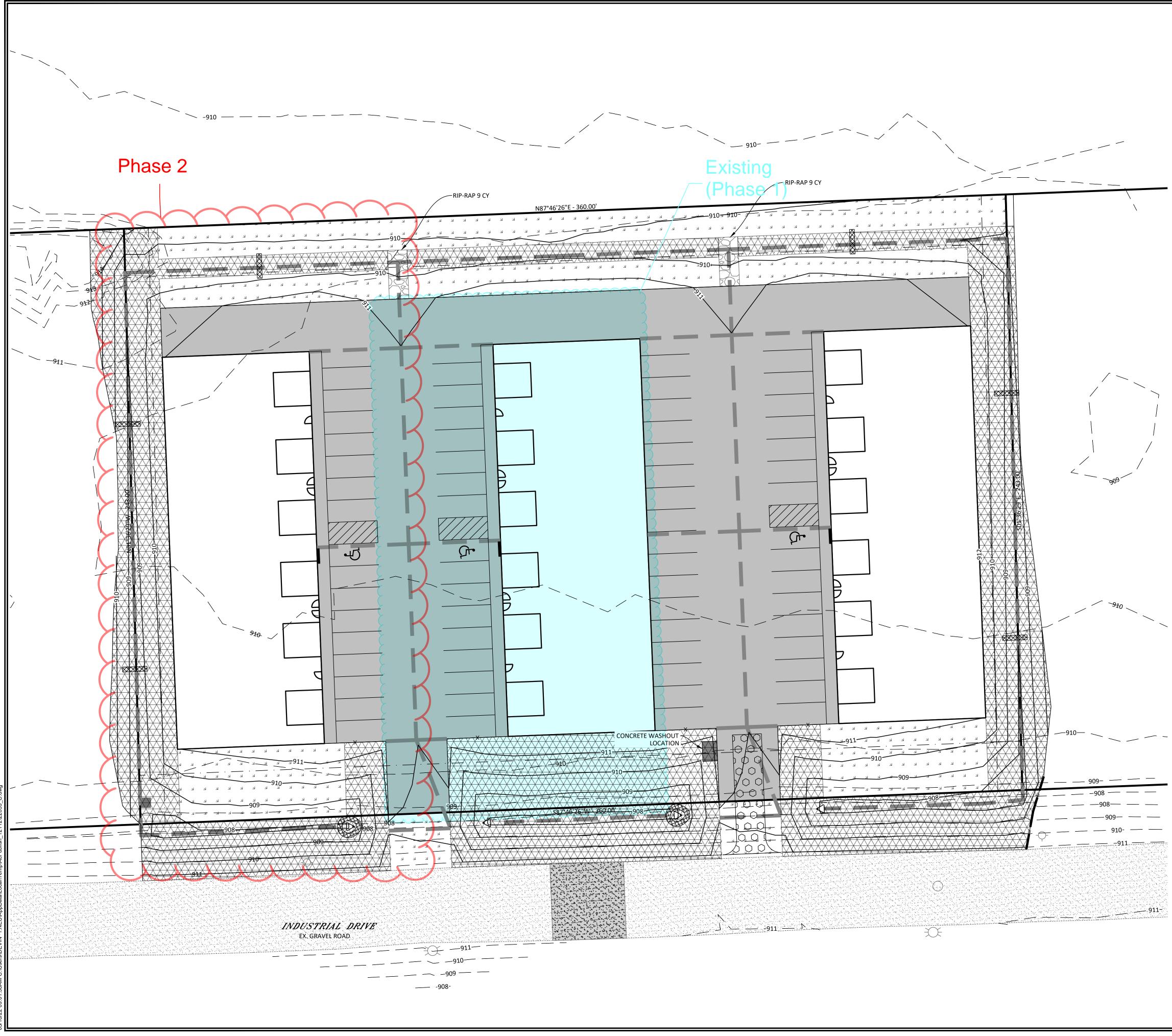
UTILITIES UNDERGROUND LOCATION SERVICE 1-800-795-0555





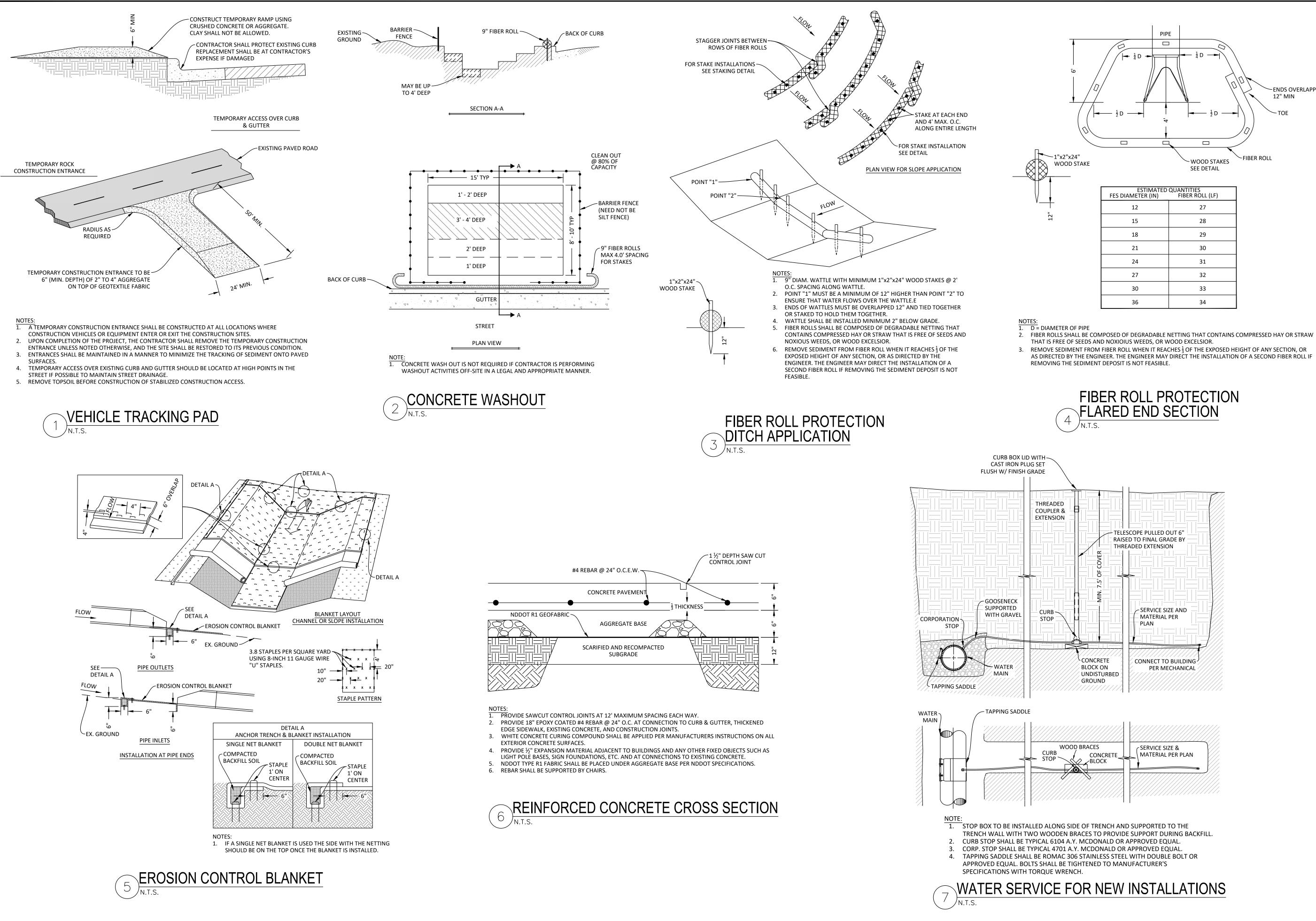
22 09:01:35AM C:\Users\DEVIN~1.NEU\AppData\Loca\\Temp\AcPublish_12112\22

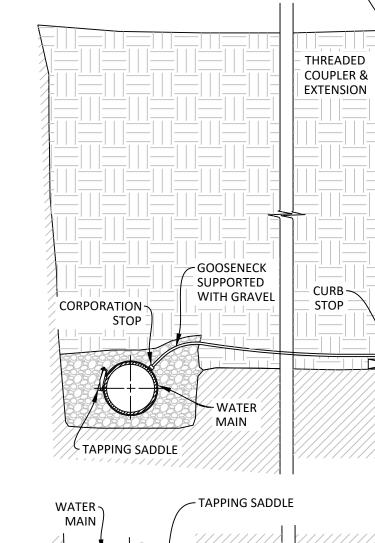
	FARGO, NORTH DAKOTA 58104
REVISIONS	
ADA PATH GRADE BREAK: HIGH POINT FG FINISH GROUND FL FLOWLINE HP HIGH POINT INV STRUCTURE INVERT ELEVATION LP LOW DOINT OF CURVE ME MATCH EXISTING GROUND PC POINT OF CURVATURE RIM STRUCTURE RIM ELEVATION	
TC TOP OF CURB/THICKENED EDGE TOC TOP OF CONCRETE TW TOP OF WALK TOW TOP OF WALL BOW BOTTOM OF WALL PROFESSION ANDREW PE-9148 WH DATE:5/18/22	1
PROJECT DATE: 04/21/2 CHECKED BY: DRAWN BY:	039 022 AJT DCN AJT
GRADING PLAN GRADING PLAN CALL BEFORE YOU DIG NORTH DAKOTA	

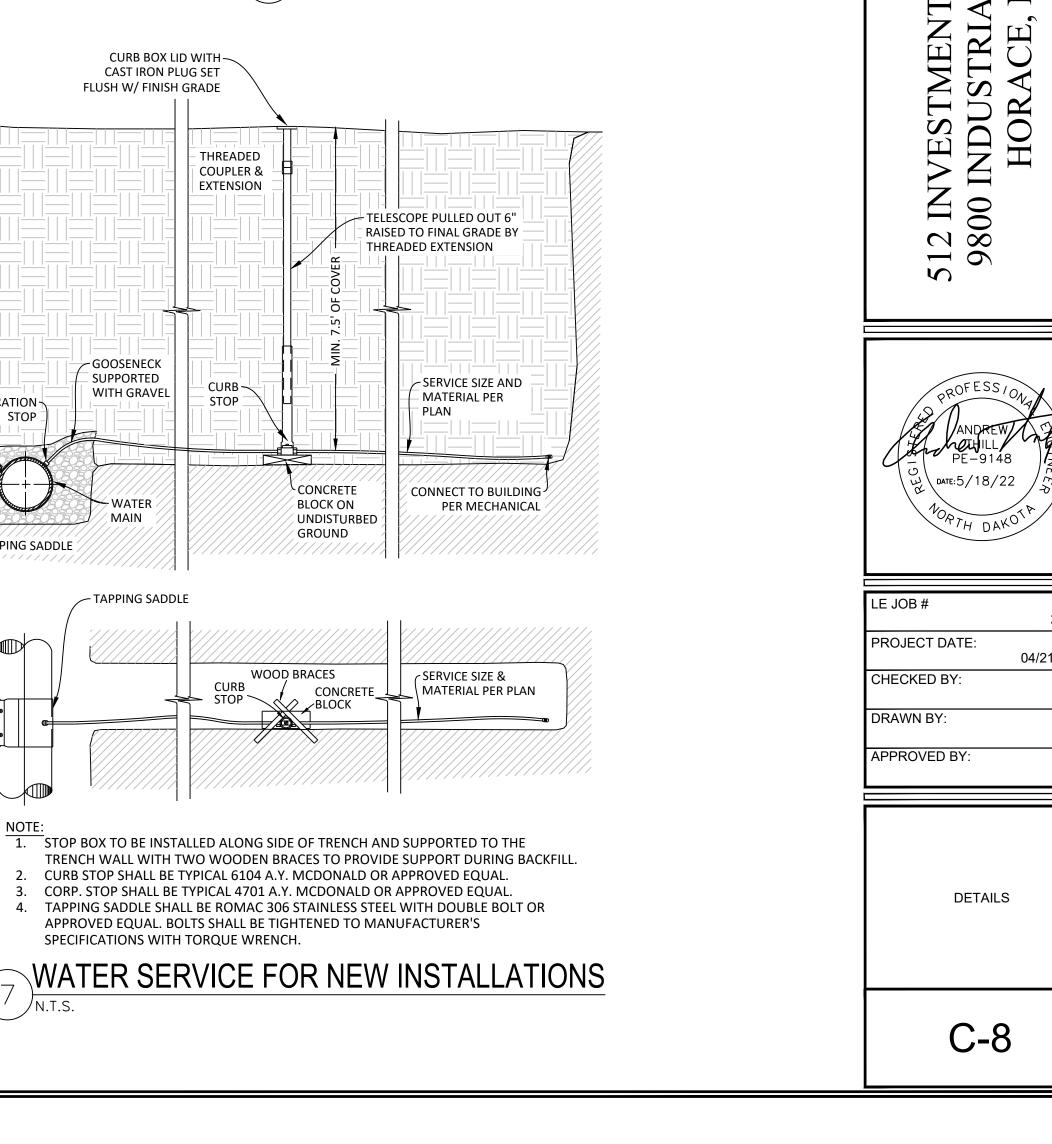


EROSION CONTROL LEGEND					
SF	SILT FENCE	30	LF		
	FIBER ROLL PROTECTION (STRAW WATTLE)	118	LF		
	SEEDING & HYDROMULCH	1,502	SY		
	SEEDING WITH NDDOT EROSION CONTROL BLANKET	2,762	SY		
	VEHICLE TRACKING PAD	1	EA		
	CONCRETE WASHOUT	1	EA		
	18	СҮ			

		1	1E A 04		
CONTROL LEGEND			H, SUIT A 5810		
R ROLL PROTECTION AW WATTLE)	118	LF	OVRINEERING ST AVENUE SOUTH, O, NORTH DAKOTA,		
ING & HYDROMULCH	1,502	SY			
ING WITH NDDOT EROSION TROL BLANKET	2,762	SY	ENGINE ERING 5306 51ST AVENUE SOUTH, SUITE A FARGO, NORTH DAKOTA 58104		
CLE TRACKING PAD	1	EA			
CRETE WASHOUT	1	EA			
AP	18	СҮ			
			512 INVESTMENT CONDOS 9800 INDUSTRIAL DRIVE HORACE, ND		
			ROFESSION ROFESSION ANDREW PE-9148 PE-9148 W DATE:5/18/22 VOPTH DAKOTA		
			LE JOB # 22039 PROJECT DATE: 04/21/2022 CHECKED BY: AJT DRAWN BY: DCN APPROVED BY: AJT		
			EROSION & SEDIMENT CONTROL PLAN		
CALL BEFORE NORTH DA UTILITIES UNDERGROUND 1-800-795-0	KOT LOCATION	4	C-7		

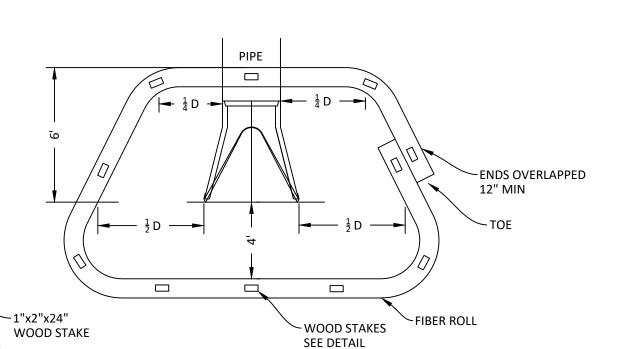




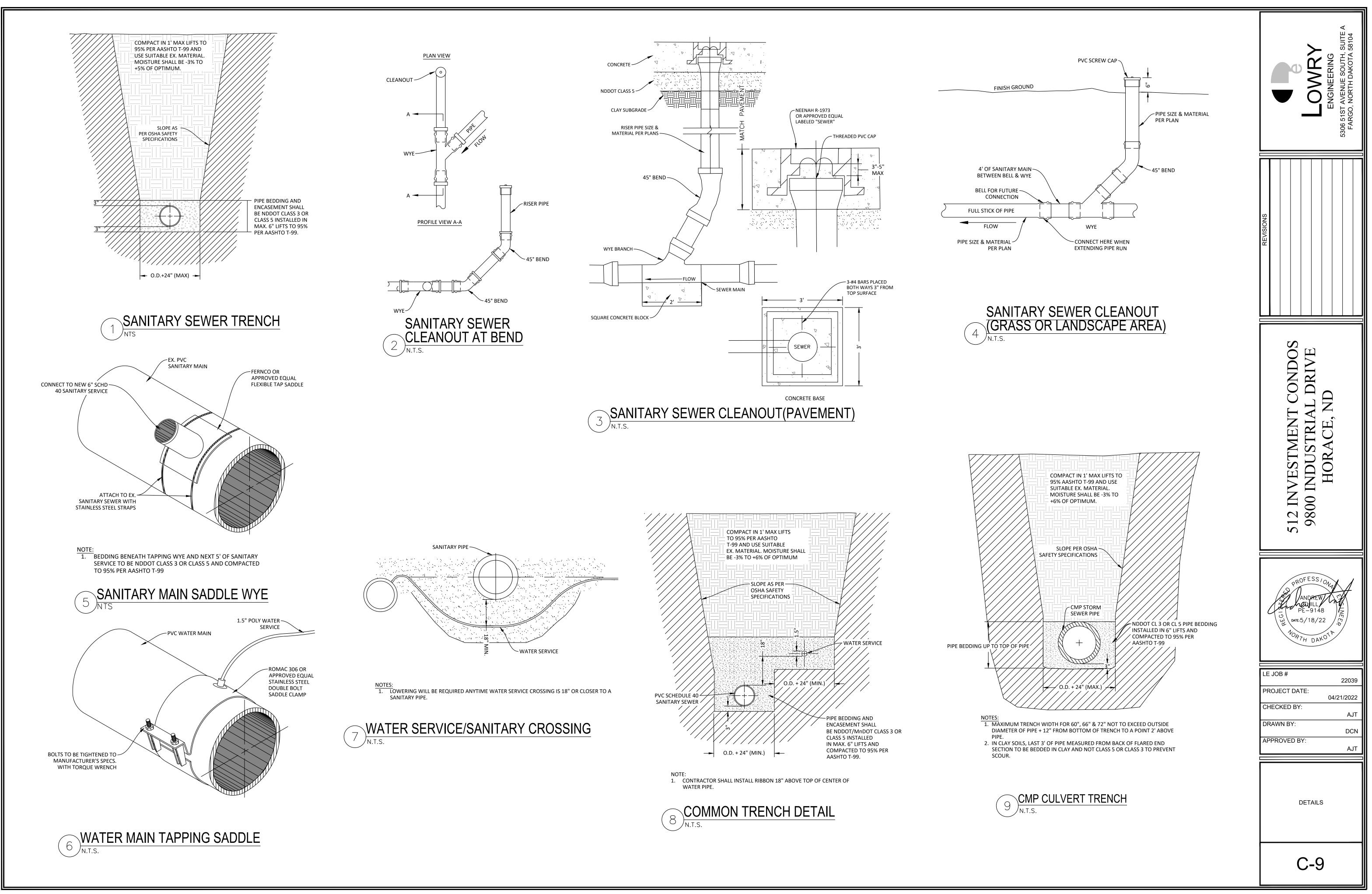


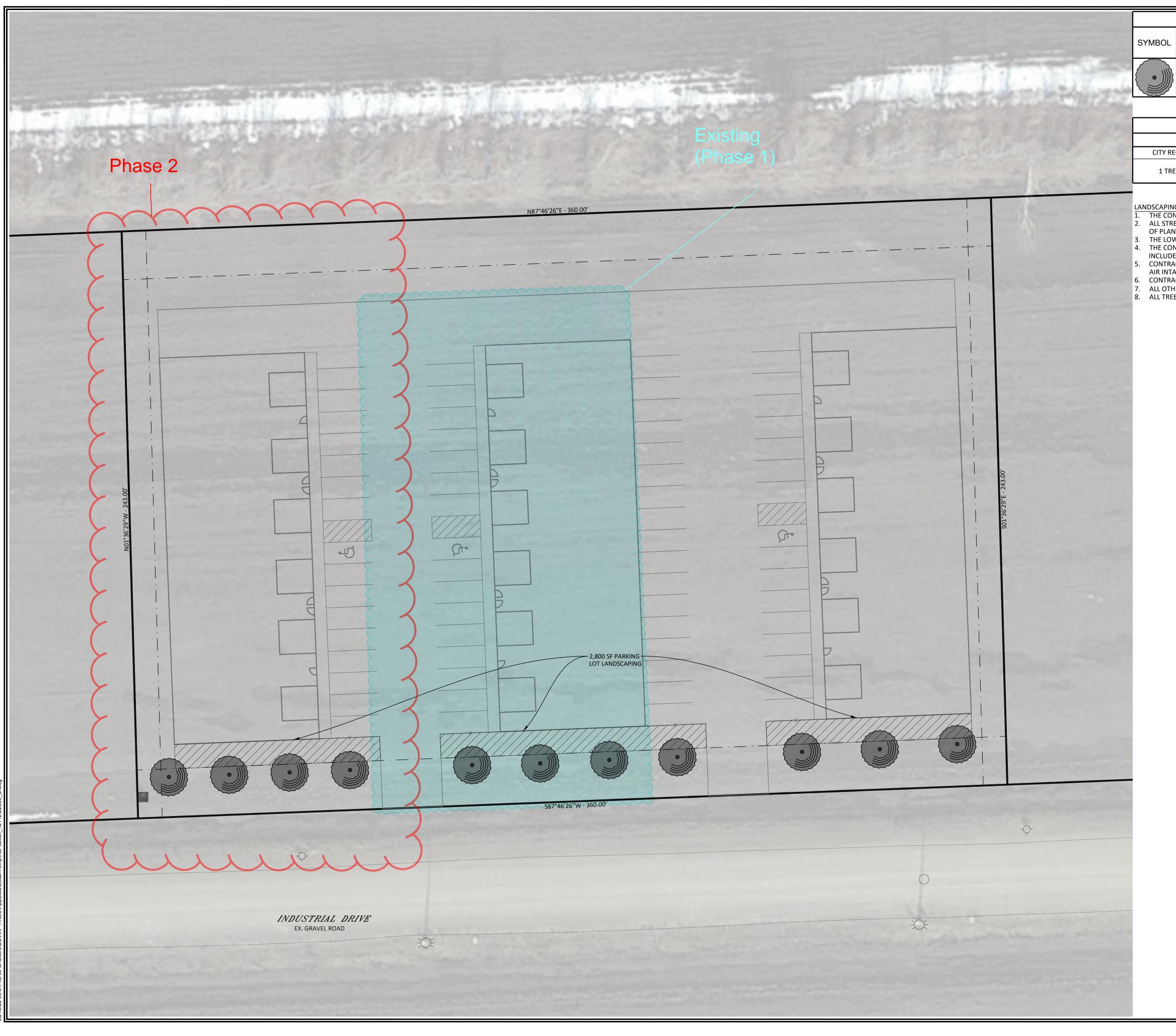
FIBER ROLL PROTECTION FLARED END SECTION /N.T.S.

ESTIMATED FES DIAMETER (IN)	QUANTITIES FIBER ROLL (LF)
12	27
15	28
18	29
21	30
24	31
27	32
30	33
36	34



The second secon					
REVISIONS					
512 INVESTMENT CONDOS 9800 INDUSTRIAL DRIVE HORACE, ND					
PROFESSION ANDREW HANDREW PE-9148 DATE:5/18/22 NORTH DAKOTH					
LE JOB # 22039 PROJECT DATE:					
CHECKED BY:					
DRAWN BY: DCN					
APPROVED BY: AJT					
DETAILS					





	LA	ANDS	CAPING LEGEN	D		
	TYPE OF PLA MATERIAL		PLANTING SIZE	PLANT UNITS PER EACH	#PLANTS EACH	X 1, SUITE A 58104
}	LARGE DECIDUOUS	S TREE	1.5 TO 3-INCH CALIPER >30 FOOT MATURE HEIGHT	10	11	A DOVRY COUTH, S ST AVENUE SOUTH, S O, NORTH DAKOTA 5
			PING REQUIREM			218 2018
EC			TREE REQUIREMENT	PROVI	DED	5306 (FAI
REE	EPER 35 LF	3	60'/35 = 11 TREES	11 STREET	TREES	
	NOTES:		LL CITY OF HORACE LANDS	CAPING STANDAR		
REI NT WW NT DE AC TAI AC HE	ET TREES SHALL HAN TING. THIS SHALL NO EST BRANCH OF ALL TRACTOR SHALL PRO WORKMANSHIP FO TOR TO COORDINA (E OR EXHAUST UNI TOR TO ALLOW 5' (/E A MII DT APPL STREET OVIDE A R INSTA TE WITH TS. CLEARAN SCAPE R	NIMUM 3' RADIUS MULCH Y TO TREES WITHIN THE SI TREES MUST BE 9.5' FRO 1 YEAR WARRANTY ON A LLATION FROM DATE OF F MECHANICAL REGARDIN ICE FROM UNDERGROUN EQUIREMENTS PER FRANC	RINGS INSTALLED TE. M GROUND. LL LANDSCAPE MA INAL ACCEPTANCE G LANDSCAPING I D UTILITY PIPING T	AT THE TIME TERIAL TO E. N AND AROUND TO PLANTINGS.	REVISIONS
						512 INVESTMENT CONDOS 512 INVESTMENT CONDOS 512 INVESTMENT CONDOS 9800 INDUSTRIAL DRIVE 9800 INDUSTRIAL DRIVE PE-9148 PORACE, ND PROLE ND PROLE ND
						LE JOB # 22039 PROJECT DATE: 04/21/2022 CHECKED BY: AJT DRAWN BY: DCN APPROVED BY: AJT
			0	20	40	LANDSCAPING PLAN
			UTILITIES UNDER	TH DAKC	DTA	L-1