



Horace Planning & Zoning Commission Meeting Agenda

Tuesday, February 14, 2023 – 6:00 pm

Fire Hall Event Center – 413 Main Street, Horace, North Dakota

1. Declare Quorum
2. Regular Agenda
3. Approve the January 10, 2023, Planning & Zoning Commission Meeting Minutes
4. 990 7th St E – Vistos Shop Condos | Jace Hellman, Community Development Director
 - a. Design Review
 - i. Discussion & Action
5. Land Use Ordinance | Jace Hellman, Community Development Director
 - a. Update
 - i. Discussion
6. Planning & Zoning Commissioner Application Form | Jace Hellman, Community Development Director
 - a. Update
 - i. Discussion
7. Adjournment



HORACE PLANNING and ZONING COMMISSION MEETING MINUTES

January 10, 2023 | 6 p.m.

Horace Fire Hall Event Center | 413 Main Street, Horace ND 58047

Present: Planning and Zoning Commissioners Russell Sahr, Amy Beaton, Julie Hochhalter and Doug Wendel; Community Development Director Jace Hellman; and City Council Member Naomi Burkland

Chair Sahr called the meeting to order at 6:00 p.m.

Agenda Item 1: Declare Quorum

Agenda Item 2: Regular Agenda

Commissioner Hochhalter moved to approve the Regular Agenda. Seconded by Commissioner Beaton. All in favor, none opposed. Motion carried.

Agenda Item 3: Approve the November 8, 2022 Planning and Zoning Commission Meeting Minutes

Commissioner Wendel moved to approve the minutes from November 8, 2022. Seconded by Commissioner Hochhalter. All in favor, none opposed. Motion carried.

Agenda Item 4: Elect Planning and Zoning Commission Chair and Vice Chair | Jace Hellman, Community Development Director

Mr. Hellman discussed that election of the Chair and Vice-Chair was to be an annual occurrence at the first or second meeting in January. Chairman Sahr, discussed his intent on moving, which would make him ineligible to serve on the Planning and Zoning Commission. Mr. Hellman Discussed the City will be entering the process to find additional Commissioners, as well as explained any addition obligations required as the Chair of the Planning and Zoning Commission.

Chairman Sahr moved to nominate Commissioner Beaton as the Chair, and Commissioner Hochhalter as Vice-Chair. Seconded by Commissioner Wendel. All in favor, none opposed. Motion carried.

Agenda Item 5: Community Development Department Update | Jace Hellman, Community Development Director

Mr. Hellman presented a series of updates regarding the City's Community Development Department. Those updates included progress on the Land Use Ordinance rewrite, potential upcoming applications, and the Downtown Neighborhood Plan. Mr. Hellman mentioned that due to the shifting of the City Council meeting dates in the month of January, that the Planning and Zoning Commission Meeting on January 24, 2023 will be canceled.

No action was required or taken.

Agenda Item 6: Adjournment at 6:28 p.m.



VISTO'S SHOP CONDOS

THOR BUILDINGS

HORACE, NORTH DAKOTA

01/19/23

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VISTO'S SHOP CONDOS

THOR BUILDINGS

HORACE, NORTH DAKOTA

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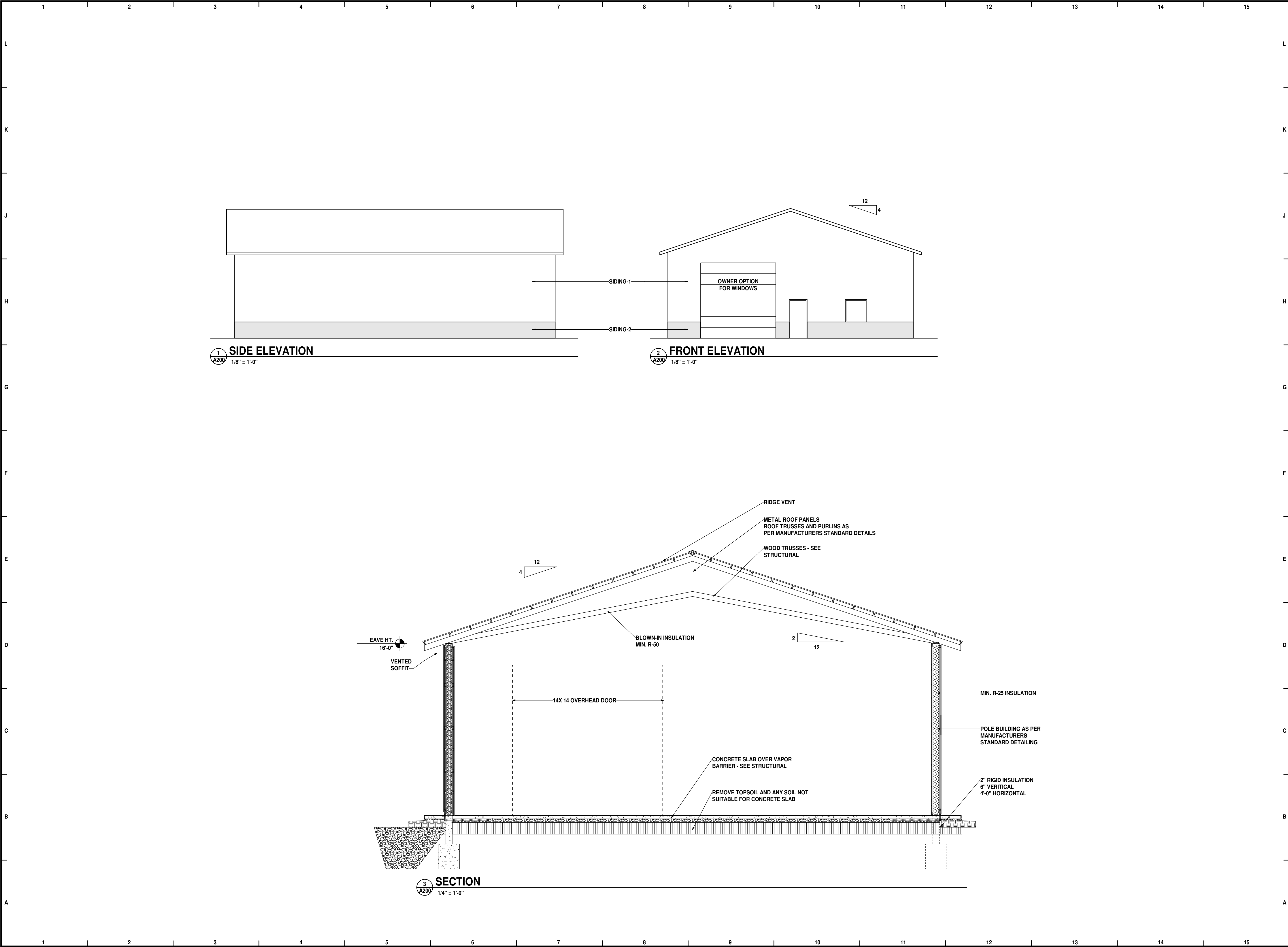
VISTO'S SHOP CONDOS

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KELLY VISTO DEVELOPMENT

BUILDINGS 4, 5 & 6

46 X 60 X 16 - SCISSOR TRUSSES

THOR BUILDINGS

HORACE, NORTH DAKOTA

KEYNOTES:

GENERAL NOTES

I hereby certify that this drawing, specification or report was prepared by me or under my direct supervision and that I am a duly registered Architect under the laws of the State of North Dakota.

Dated: OCTOBER 2022

Regt. No. 1423

Signed:

YHR

PARTNERS

ARCHITECTURE | PLANNING

420 Main Avenue

Moorhead, Minnesota 56560

Telephone: (218)233-4422

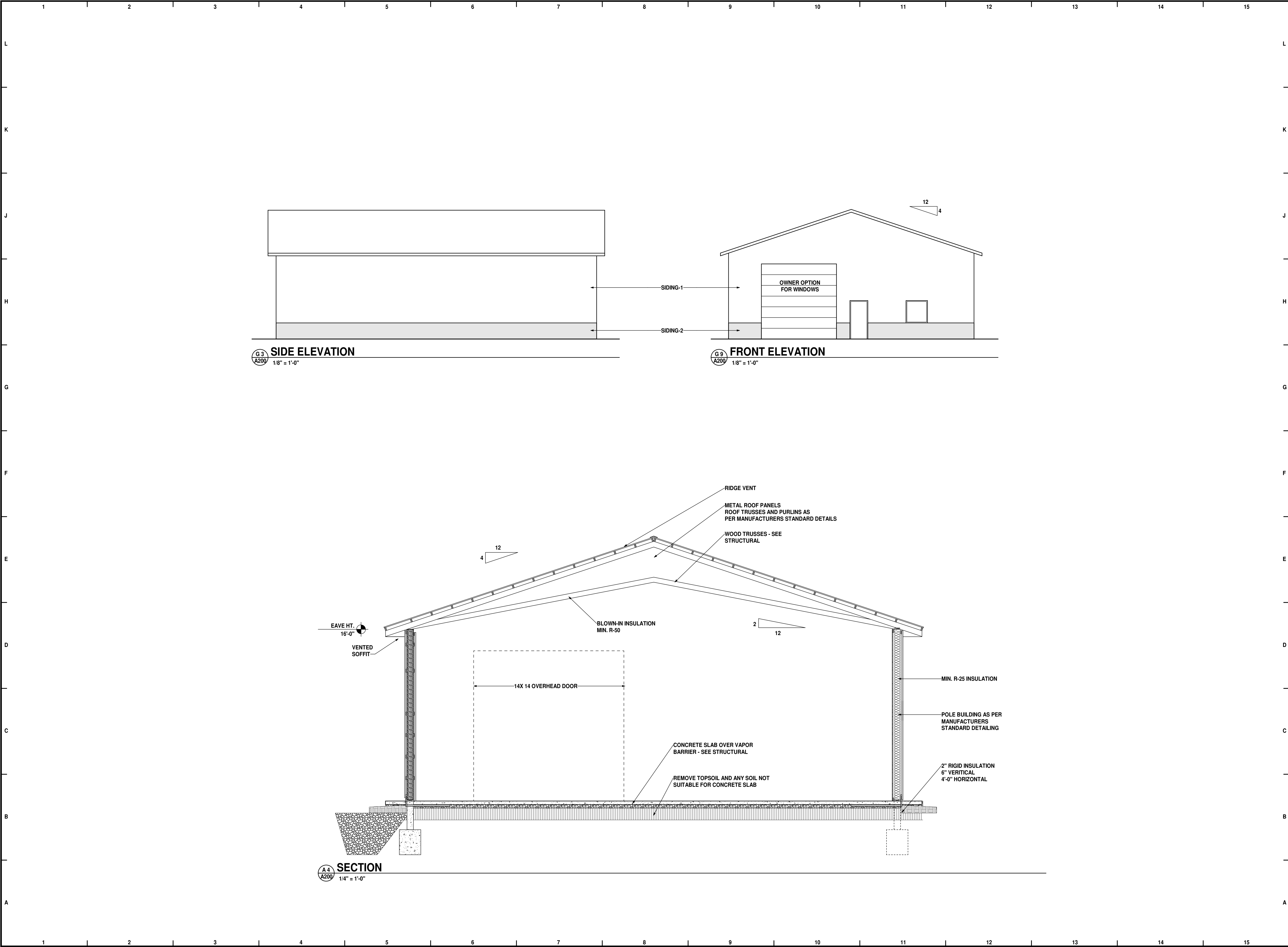
PROJECT NUMBER: 202036-1

BUILDING ELEVATIONS /

SECTION

A200

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KELLY VISTO DEVELOPMENT
BUILDINGS 1, 2 & 3
46 X 70 X 16 - SCISSOR TRUSSES
THOR BUILDINGS
HORACE, NORTH DAKOTA

KEYNOTES:

GENERAL NOTES

I hereby certify that this drawing, specification or report was prepared by me or under my direct supervision and that I am a duly registered Architect under the laws of the State of North Dakota.
Dated: OCTOBER 2022 Regt. No. 1423
Signed:

ARCHITECTURE | PLANNING
420 Main Avenue
Moorhead, Minnesota 56560
Telephone: (218)233-4422

PROJECT NUMBER: 202036-1






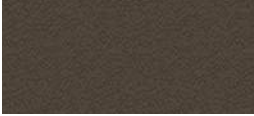

BUILDING ELEVATIONS
A200

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Carlsbad Canyon (10) ★	Taupe (74) ★	Brown (12) ★	Burnished Slate (49) ★	Black (06) ★
				
Ash Grey (25) ★	Zinc Grey (29) ★	Charcoal (17) ★	Ocean Blue (35) ★	Hawaiian Blue (70) ★
				
Red (24) ★	Patriot Red (73) ★	Burgundy (15) ★	Forest Green (26) ★	Fern Green (07) Low Gloss ★
				
Shale Green (R7) ★	Native Copper (190) ★	Galvanized (00) ★ Non-Painted Finish - No Warranty		

MS Crinkle Finish Paint System

				
Red (24) ★	Forest Green (26) ★	Brown (12) ★	Charcoal (17) ★	Burgundy (15) ★
				
Burnished Slate (49) ★	Black (06) ★			

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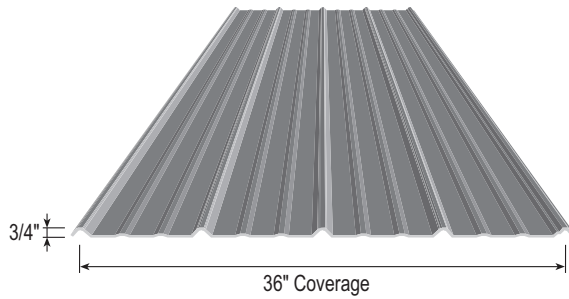
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29
GAUGE

CLASSIC RIB® PANEL



GENERAL INFORMATION

Minimum Slope: 3:12

Substructure:

Installs over Open Framing or Solid substrate.

Information:

Mechanically seamed side-lap. Concealed clip designed for thermal movement.

Testing & Approvals:

UL 263 Fire Resistance Rating

UL 580, Class 90 Wind Uplift

UL 790, Class A Fire Resistance Rating

UL 2218, Class 4 Impact Resistance

ASTM E 455 Diaphragm Test

ASTM E 564-95 Diaphragm Test

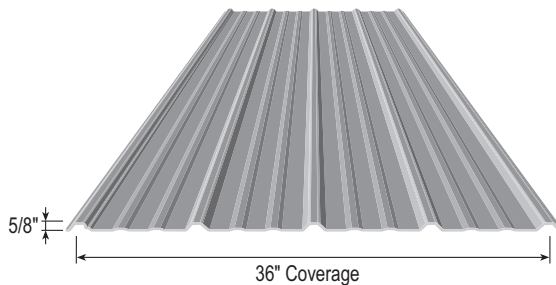
Texas Department of Insurance Evaluation Report

ICC Evaluation Report

Miami-Dade County Approved

2014 FBC Approved

PRO-PANEL II® PANEL



GENERAL INFORMATION

Minimum Slope: 3:12

Substructure:

Installs over Open Framing or Solid Substrate.

Information:

Exposed direct-fastened roof and wall panel.

Testing & Approvals:

UL 263 Fire Resistance Rating

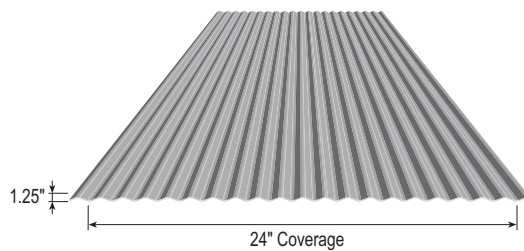
UL 790, Class A Fire Resistance Rating

UL 2218, Class 4 Impact Resistance

ASTM E 455 Diaphragm Test

2014 FBC Approved

1.25" CORRUGATED PANEL



GENERAL INFORMATION

Minimum Slope: 3:12

Substructure:

Installs over Open Framing or Solid Substrate.

Information:

Exposed direct-fastened roof and wall panel.

Testing & Approvals:

UL 263 Fire Resistance Rating

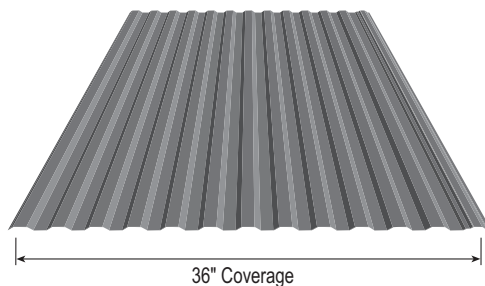
UL 580, Class 90 Wind Uplift

UL 790, Class A Fire Resistance Rating

UL 2218, Class 4 Impact Resistance

DL-3 PANEL

FOR ARCHED AND CURVED ROOF APPLICATIONS



GENERAL INFORMATION

Minimum Radius: 26'-0"

Substructure:

Installs over Open Framing or Solid Substrate.

Panel Lengths:

3'-0" minimum up to 45'-0" maximum

Information:

Exposed direct-fastened radius roof panel.

Available in:

Bright White

White

Light Stone

Ash Grey

Brown

Forest Green

Taupe

Red

Burnished Slate

Ocean Blue

Charcoal

Galvanized

VISTO'S SHOP CONDOS

990 7TH STREET EAST
HORACE, NORTH DAKOTA

OWNER
KELLY VISTO
PH: 701-371-5180
EMAIL: kellyvisto@yahoo.com

CIVIL ENGINEER
LOWRY ENGINEERING
ANDREW THILL, P.E.
5306 51ST AVENUE SOUTH, SUITE A
FARGO, ND 58104
PH: 701-235-0199
EMAIL: athill@lowryeng.com

**LOWRY**
ENGINEERING
5306 51ST AVENUE SOUTH, SUITE A
FARGO, NORTH DAKOTA 58104

SITE INFORMATION		
SITE COVERAGE		
ITEM	AREA (SF)	AREA (%)
BUILDING	59,800	28.6%
PARKING & DRIVES	41,172	19.7%
SIDEWALKS/PATIOS/STEPS	4,600	2.2%
TOTAL IMPERVIOUS	105,572	50.5%
GREEN SPACE	103,518	49.5%
TOTAL AREA	209,090	100.0%
PARKING		
STALL TYPE		NUMBER
9X20 STANDARD STALLS		88
9X20 ADA STALLS		6
TOTAL PROVIDED		94
TOTAL REQUIRED		60
ZONING INFORMATION		
CURRENT ZONE:	L-1 LIGHT INDUSTRIAL	
DIMENSIONAL STANDARDS		
BUILDING SETBACKS		
FRONT YARD	20' MINIMUM	
INTERIOR SIDE YARD	10' MINIMUM	
STREET SIDE YARD	10' MINIMUM	
REAR YARD	20' MINIMUM	
SURVEY INFORMATION		
DATE OF SURVEY	3/23/2022	
COORDINATE SYSTEM	CITY OF FARGO COORDINATE SYSTEM	
DATUM	NAVD 88	



VICINITY MAP



BENCHMARK #1: TOP NUT OF EXISTING HYDRANT LOCATED APPROXIMATELY 309 FEET SOUTHWEST OF THE SOUTHEAST CORNER OF THE SUBJECT PROPERTY
ELEVATION: 912.15 (NAVD 88)

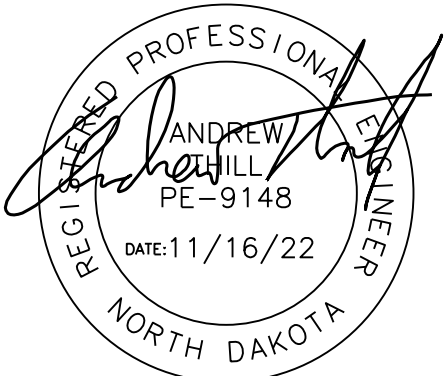
BENCHMARK #2: TOP NUT OF EXISTING HYDRANT LOCATED APPROXIMATELY 61 FEET SOUTH OF THE SOUTHWEST CORNER OF THE SUBJECT PROPERTY
ELEVATION: 913.33 (NAVD 88)

BASIS OF BEARING: CITY OF FARGO COORDINATE SYSTEM

SHEET INDEX	
C-1	COVER SHEET
C-2	GENERAL NOTES & LEGEND
C-3	SURVEY OVERLAY & DEMOLITION PLAN
C-4	OVERALL SITE PLAN
C-5.1	SANITARY UTILITY PLAN
C-5.2	STORMWATER UTILITY PLAN
C-5.3	WATER UTILITY PLAN
C-6.1	GRADING PLAN
C-6.2	GRADING PLAN
C-7	EROSION & SEDIMENT CONTROL PLAN
C-8	TYPICAL DETAILS
C-9	TYPICAL DETAILS
C-10	TYPICAL DETAILS
L-1	LANDSCAPING PLAN

REVISIONS	
REVISIONS PER OWNER - 09/02/2022	
REVISIONS PER CITY/OWNER - 11/16/2022	

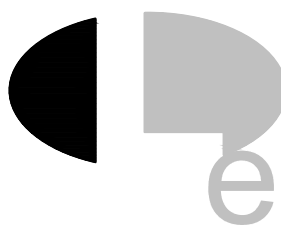
VISTO'S SHOP CONDOS
990 7TH STREET EAST
HORACE, NORTH DAKOTA



LE JOB #	21131
PROJECT DATE:	11/16/2022
CHECKED BY:	SAS
DRAWN BY:	SAS
APPROVED BY:	AJT

COVER
SHEET

C-1

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11/16/22 09:39:11 AM Z:\Lowry Shared Files\Projects_2017\12131 - Visto's Shop Condos\Drawings\2131 - C.dwg

GENERAL NOTES:

- SHOULD THE CONTRACTOR FIND ANY DISCREPANCIES ON THE DRAWINGS, OR IN THE FIELD PRIOR TO BEGINNING WORK OR DURING CONSTRUCTION, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER & ENGINEER.
- A COMPLETE SET OF APPROVED DRAWINGS MUST BE MAINTAINED ON SITE AT ALL TIMES BY THE GENERAL CONTRACTOR AND ALL SUBCONTRACTORS.
- CHANGES TO APPROVED PLANS SHALL NOT BE MADE WITHOUT WRITTEN APPROVAL OF THE OWNER AND ENGINEER.
- CHANGES TO APPROVED PLANS ON PUBLIC PROPERTY SHALL NOT BE MADE WITHOUT WRITTEN APPROVAL FROM THE CITY OF HORACE.
- ALL RIGHT-OF-WAY CONSTRUCTION SHALL MEET CITY OF HORACE STANDARD SPECIFICATIONS LATEST REVISION. IN THE CASE OF A DISCREPANCY BETWEEN THE PLANS AND SPECIFICATIONS, THE PLANS SHALL GOVERN.
- ALL SITE CONSTRUCTION SHALL MEET CITY OF FARGO STANDARD SPECIFICATIONS LATEST REVISION. IN THE CASE OF A DISCREPANCY BETWEEN THE PLANS AND SPECIFICATIONS, THE PLANS SHALL GOVERN.
- THE CONTRACTOR IS RESPONSIBLE FOR LOCATING & VERIFYING ALL UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION & IS RESPONSIBLE FOR ANY DAMAGE TO THEM DURING CONSTRUCTION. CONTRACTOR SHALL CONTACT THE LOCAL ONE-CALL SYSTEM AT LEAST 72 HOURS PRIOR TO BEGINNING CONSTRUCTION.
- ANY WORK ON EXISTING CITY OWNED UTILITIES SHALL REQUIRE NOTIFICATION TO THE CITY OF HORACE BY THE CONTRACTOR 24 HOURS PRIOR TO COMMENCING WORK.
- THE CONTRACTOR SHALL COMPLY WITH ALL RULES & REGULATIONS OF FEDERAL, STATE, COUNTY, & LOCAL AUTHORITIES.
- THE CONTRACTOR IS REQUIRED TO MEET ALL APPLICABLE FEDERAL, OSHA, STATE, AND LOCAL REGULATIONS CONCERNING PROJECT SAFETY AND ASSUMES FULL RESPONSIBILITY FOR SAFETY ON THE PROJECT.
- CONTRACTOR SHALL VERIFY THAT ALL NECESSARY PERMITS FOR CONSTRUCTION HAVE BEEN OBTAINED, ALL BONDS ARE POSTED, ALL FEES ARE PAID AND PROOF OF INSURANCE IS PROVIDED PRIOR TO THE START OF THE PROJECT.
- THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL HORIZONTAL AND VERTICAL CONTROLS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SURVEY AND RELATED COSTS.
- CONTRACTOR SHALL BE RESPONSIBLE FOR HIS/HER OWN MEASUREMENTS AND QUANTITIES. ENGINEER QUANTITIES ARE ESTIMATES ONLY.
- THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING INSTALLATION OF UNDERGROUND UTILITIES BY THE APPROPRIATE UTILITY ENTITY. PROPER COORDINATION WITH THE RESPECTIVE UTILITY ENTITIES SHALL BE PERFORMED BY THE CONTRACTOR TO INSURE THAT ALL UTILITY ENTITY STANDARDS FOR MATERIAL AND METHODS ARE MET. THE GENERAL CONTRACTOR SHALL OVERSEE INSTALLATION OF UTILITIES AND COORDINATE WITH ALL SUBCONTRACTORS TO AVOID CONFLICTS.
- THE CONTRACTOR SHALL PROVIDE AS-BUILT RECORDS OF ALL CONSTRUCTION (INCLUDING UNDERGROUND UTILITIES) TO THE OWNER FOLLOWING COMPLETION OF CONSTRUCTION ACTIVITIES.
- THE CONTRACTOR SHALL PROVIDE TESTING, INSPECTIONS, AS-BUILT DRAWINGS, CERTIFICATIONS AND ANY OTHER PROCEDURES OR DOCUMENTATION REQUIRED BY THE GOVERNING AGENCIES TO CLOSE OUT THE PROJECT.
- THE CONTRACTOR SHALL RESTORE ANY STRUCTURES, PIPE, UTILITY, PAVEMENT, CURBS SIDEWALKS, LANDSCAPED AREAS, ETC. WITHIN THE SITE OR ADJOINING PROPERTIES DISTURBED DURING DEMOLITION OR CONSTRUCTION TO THEIR ORIGINAL CONDITION OR BETTER, AND TO THE SATISFACTION OF THE OWNER/JURISDICTIONAL AUTHORITY.
- THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL AND DISPOSAL OF ALL STRIPPING, RUBBISH, TRASH, DEBRIS, ORGANIC, AND EXCESS EXCAVATED MATERIAL IN A LAWFUL MANNER.
- CONTRACTOR SHALL REFERENCE THE PROJECT GEOTECHNICAL REPORT AVAILABLE IN THE PROJECT MANUAL AND COMPLY WITH ALL REPORT REQUIREMENTS. IF A CONFLICT ARISES BETWEEN THE GEOTECHNICAL REPORT AND CIVIL DOCUMENTS, THE GEOTECHNICAL REPORT SHALL GOVERN.
- FOR THE PURPOSES OF CONSTRUCTION SURVEY, ALL BUILDING DIMENSIONS SHALL BE VERIFIED WITH STRUCTURAL AND ARCHITECTURAL PLANS.
- THE CONTRACTOR IS RESPONSIBLE FOR SUBMITTING SHOP DRAWINGS TO THE ENGINEER FOR REVIEW OF ALL APPLICABLE PRODUCTS AND MATERIALS BEING USED FOR CONSTRUCTION.
- ALL UNDERGROUND WORK IN THE DIRECT VICINITY SHALL BE COMPLETED PRIOR TO COMPLETION OF SUBGRADE PREPARATION AND START OF ROADWAY WORK INCLUDING BUT NOT LIMITED TO INSTALLATION OF FABRIC, GRAVEL, PAVING, ETC.

GRADING NOTES:

- LOCATION AND TOP ELEVATIONS OF INLETS AND STRUCTURES MAY NEED TO BE ADJUSTED IN THE FIELD BY THE CONTRACTOR WHERE NECESSARY AND SHALL BE APPROVED BY THE ENGINEER. CONTRACTOR SHALL NOTE ANY CHANGES IN AS-BUILT DRAWINGS.
- IF UNSUITABLE SUBGRADE MATERIALS ARE ENCOUNTERED, THE CONTRACTOR IS RESPONSIBLE FOR REMOVAL AND REPLACEMENT (FROM OFF-SITE BORROW MATERIAL) OF ALL UNSUITABLE MATERIAL TO CLASSIFIED AS MH, CH, OH, OL AND PEAT IN ACCORDANCE WITH THE UNIFIED SOIL CLASSIFICATION SYSTEM, UNLESS APPROVED IN WRITING BY THE PROJECT GEOTECHNICAL ENGINEER. THE SITE ENGINEER AND GEOTECHNICAL ENGINEER SHALL BE NOTIFIED IMMEDIATELY UPON ENCOUNTERING UNSUITABLE SUBGRADE MATERIAL.
- THE CONTRACTOR IS RESPONSIBLE FOR ALL EXCAVATIONS AND GRADING INCLUDING FURNISHING OFF-SITE BORROW AND DISPOSING OF EXCESS MATERIAL AS REQUIRED TO MEET PLAN GRADES. OFF SITE BORROW SHALL MEET ALL REQUIREMENTS OF THE PROJECT GEOTECHNICAL REPORT (IF AVAILABLE) OR PER CITY OF FARGO STANDARD SPECIFICATIONS.
- COMPACTION LIFTS AND TESTING SHALL BE PER CITY OF FARGO REQUIREMENTS IN TRENCHING, SUB-BASE, BASE, AND PAVING MATERIALS. SUB-BASE LIFTS SHALL NOT EXCEED 12". BASE LIFTS SHALL NOT EXCEED 6".

PAVING NOTES:

- ALL PAVEMENT SECTION MATERIALS AND INSTALLATION SHALL MEET THE REQUIREMENTS OF THE CITY OF FARGO.
- AGGREGATE BASE COURSE SHALL MEET THE REQUIREMENTS OF THE CITY OF FARGO.
- CONCRETE FOR FLAT WORK SHALL BE A BATCH PLANT MIX MEETING THE REQUIREMENTS OF THE CITY OF FARGO STANDARD SPECIFICATIONS. (MINIMUM 4,000 PSI)
- PAINTED PARKING STRIPING SHALL BE WATER BASED 4" IN WIDTH YELLOW STRIPES AND BE LOCATED AS SHOWN ON THE PLANS. ACCESSIBLE PARKING STRIPING SHALL BE BLUE AND PER ADA REQUIREMENTS. CORE AREA LINES SHALL BE PAINTED AT 45 DEGREES AND SHALL HAVE A SPACING OF 3". CURE COMPOUND SHALL BE REMOVED BY SANDBLASTING, GRINDING, OR OTHER APPROVED METHOD BEFORE INSTALLATION OF PAVEMENT MARKINGS ON CONCRETE TO ENSURE PROPER ADHESION OF THE PAINT. ALL WORK SHALL BE IN ACCORDANCE WITH THE NDDOT REQUIREMENTS.
- THE CONTRACTOR SHALL SUBMIT A JOINTING PLAN FOR CONCRETE PAVEMENT TO THE ENGINEER FOR REVIEW AND APPROVAL PRIOR TO CONSTRUCTION. IF NO JOINTING PLAN IS SUBMITTED, THE CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR JOINTING LAYOUT.

STORM SEWER & DRAINAGE NOTES:

- HDPE STORM SEWER SHALL BE ADS N12 OR PRINSCO GOLDFLO OR APPROVED EQUAL.
- INVERTS SHOWN ON PLAN DRAWINGS ARE PIPE INVERTS UNLESS NOTED OTHERWISE.
- ANY SUBSTITUTION FOR MATERIALS OR PROCEDURES MUST HAVE PRIOR WRITTEN APPROVAL OF THE CITY OF HORACE AND THE PROJECT ENGINEER.
- CONTRACTOR SHALL UNIFORMLY GRADE BEHIND CURBS TO MATCH EXISTING GRADES AT PROPERTY LINES.
- GRADE TO ENSURE POSITIVE DRAINAGE. ALL FINISHED SURFACES SHALL BE FREE FROM SURFACE IRREGULARITIES.
- ALL LANDSCAPE ISLANDS SHALL BE GRADED TO DRAIN OVER CURBS. UNLESS NOTED OTHERWISE.

SANITARY SEWER NOTES:

- LOCATIONS AND TOP ELEVATIONS OF STRUCTURES MAY NEED TO BE ADJUSTED IN THE FIELD BY THE CONTRACTOR WHERE NECESSARY AND SHALL BE APPROVED BY THE ENGINEER. CONTRACTOR SHALL NOTE ALL CHANGES ON AS-BUILT DRAWINGS.
- CONSTRUCTION OF THE SANITARY SEWER SYSTEM AND CONNECTION TO THE EXISTING SEWER SYSTEM SHALL MEET THE REQUIREMENTS OF AND SHALL BE INSTALLED UNDER THE DIRECTION OF THE CITY OF HORACE.
- CONTRACTOR SHALL CONFIRM LOCATION AND INVERT ELEVATION OF SEWER TIE-IN POINT PRIOR TO ANY SITE OR BUILDING CONSTRUCTION.
- ROOF DRAINS, FOUNDATION DRAINS OR OTHER CLEAN WATER CONNECTIONS TO THE SANITARY SEWER SYSTEM ARE PROHIBITED.

WATER NOTES:

- CONSTRUCTION OF THE WATER SYSTEM AND CONNECTION TO THE EXISTING WATER SYSTEM SHALL MEET THE REQUIREMENTS OF AND SHALL BE INSTALLED UNDER THE DIRECTION OF THE CITY OF HORACE.
- INSTALLATION OF THE PRIVATE FIRE SERVICE MAINS AND APPURTENANCES SHALL BE IN ACCORDANCE WITH NFPA 24 AND THE REQUIREMENTS OF THE CITY OF HORACE.
- PVC WATER PIPE AND FITTINGS 4" AND LARGER SHALL MEET AWWA C-900.
- POLY WATER PIPES AND FITTINGS LESS THAN 4" SHALL BE CLASS 200.
- ALL WATER LINES SHALL BE BELOW THE FROST LINE 7.5' FROM FINISH GRADE TO TOP OF PIPE.
- WATER METERS, BOXES, VAULTS AND BFP'S SHALL MEET ALL REQUIREMENTS OF THE UTILITY COMPANY. CONTRACTOR SHALL CONFIRM ALL ITEMS AGAINST CURRENT LIST OF APPROVED DEVICES PRIOR TO ORDERING.
- A MINIMUM OF 5 FEET HORIZONTAL SEPARATION SHALL BE MAINTAINED BETWEEN UTILITY CONDUIT CROSSOVER AND WATER LINE APPURTENANCES, I.E., HYDRANTS, VALVES, TEES, ETC.
- WATER LINE CROSSING ANY AND ALL SEWERS SHALL HAVE A MINIMUM VERTICAL SEPARATION OF 18" BETWEEN THE OUTSIDE OF THE WATER MAIN PIPE AND THE SEWER PIPE. ONE FULL LENGTH OF WATER MAIN PIPE SHALL BE CENTERED AT THE POINT OF CROSSING SUCH THAT BOTH JOINTS WILL BE EQUAL DISTANCE AND AS FAR FROM THE SEWER AS POSSIBLE, IF WATER CROSSES BELOW SANITARY SEWERS, THE SEWER MUST BE WATER MAIN MATERIAL FOR THE SPAN.
- SITE CONTRACTOR IS RESPONSIBLE FOR MAKING TIE-IN TO WATER AND SANITARY SEWER CONNECTIONS AT BUILDING. SEE ARCHITECTURAL AND MECHANICAL PLANS FOR EXACT LOCATIONS FOR BUILDING STUB OUTS AND FLOOR DRAINS.
- CONTRACTOR SHALL TEST THE WATER MAIN IN THE PRESENCE OF THE ENGINEER USING AWWA C605 CRITERIA. PIPE SHALL BE PRESSURIZED TO 150 PSI FOR TWO HOURS WITH 0 PSI ALLOWABLE PRESSURE LOSS. ALL WATER SERVICE CURB STOPS ALONG THE MAIN BEING TESTED SHALL BE OPEN DURING THE TEST. CONTRACTOR IS RESPONSIBLE FOR CAPPING THE END OF WATER SERVICES WITH A SUITABLE PRESSURE RATED PLUG.
- ALL WATER MAINS, FITTINGS, AND APPURTENANCES SHALL BE CHLORINATED AND TESTED IN ACCORDANCE WITH AWWA C651, AWWA 652, AND AS SET FORTH BY THE LATEST REVISION OF THE CITY OF HORACE SPECIFICATIONS. CHLORINATED WATER SHALL REMAIN IN THE PIPE LINE FOR AT LEAST 24 HOURS AND SHALL HAVE A RESIDUAL CHLORINE CONTENT OF AT LEAST 25 PARTS PER MILLION AT THAT TIME. A WATER SAMPLE WILL BE TAKEN AFTER THE MAIN IS FLUSHED AND SHALL SHOW THE ABSENCE OF BACTERIA BEFORE CONNECTIONS ARE ALLOWED TO THE WATERMAIN. CHLORINE DISINFECTION SHALL BE INCLUDED IN THE UNIT BID PRICE FOR THE PIPE.
- ALL PRODUCTS (TREATMENT CHEMICALS AND MATERIALS) THAT MAY COME INTO CONTACT WITH WATER INTENDED FOR USE IN A PUBLIC WATER SYSTEM SHALL MEET ANSI/NSF INTERNATIONAL STANDARDS 60 & 61, AS APPROPRIATE.
- FOR BACTERIOLOGICAL TEST, TWO (2) SETS OF SAMPLES SHALL BE COLLECTED AT LEAST 16 HOURS APART, OR TWO (2) SETS SHALL BE COLLECTED 15 MINUTES APART AFTER AT LEAST A 16-HOUR REST SETS SHALL BE COLLECTED EVERY 1,200 FT. OF NEW MAIN, PLUS ONE SET FROM THE END OF THE WATER MAIN AND AT LEAST ONE FROM EACH BRANCH GREATER THAN ONE (1) PIPE LENGTH. BACTERIOLOGICAL TEST MUST BE ANALYZED BY A NORTH DAKOTA DEPARTMENT OF ENVIRONMENTAL QUALITY CERTIFIED LAB.

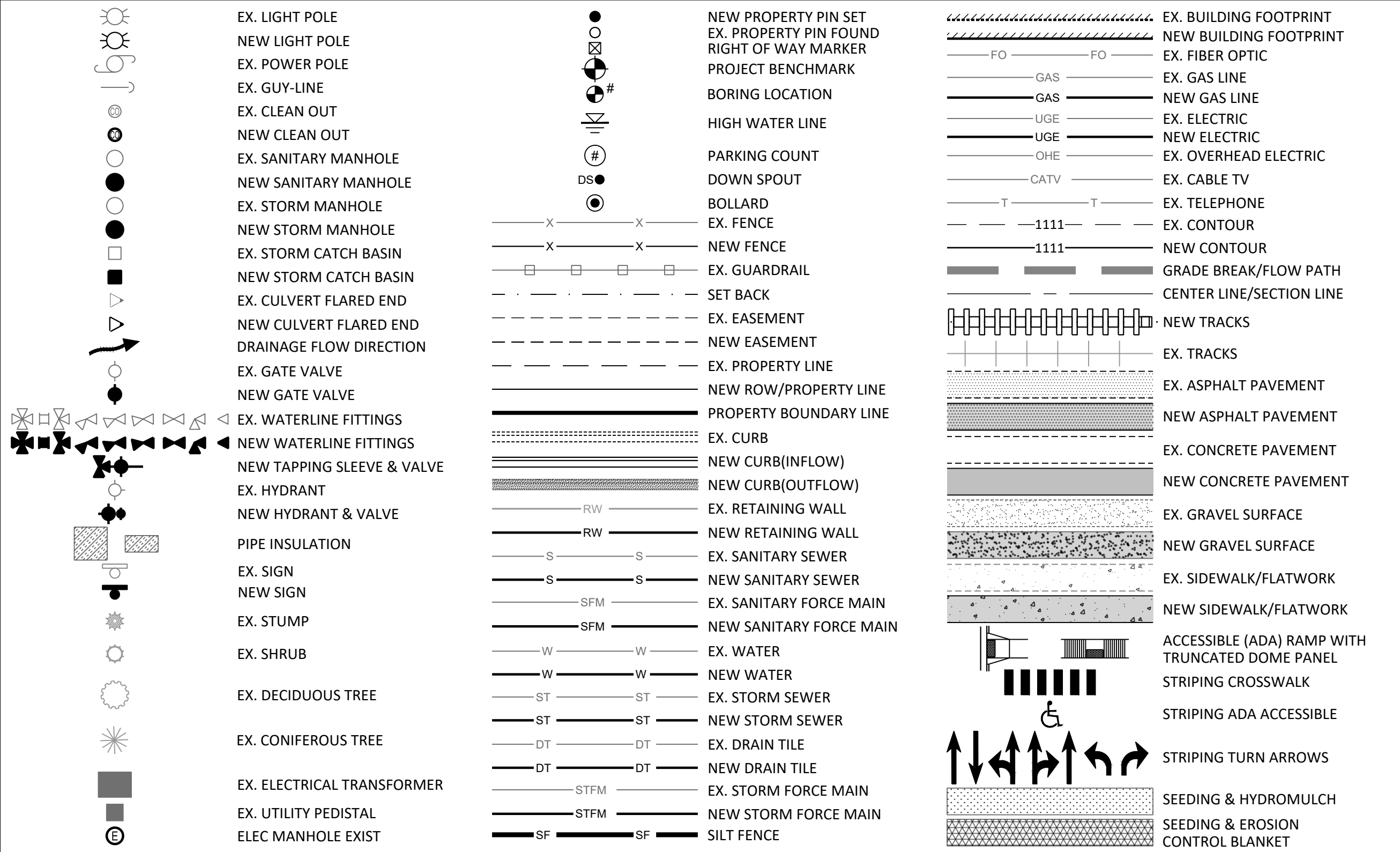
EROSION & SEDIMENT CONTROL / SWPPP NOTES

- IF THE LAND BOUNDARY DENOTED ON THE PLANS ENCOMPASSES MORE THAN 1 ACRE, A NOTICE OF INTENT TO OBTAIN A STORM WATER POLLUTION CONTROL PERMIT SHALL BE ACQUIRED BY THE CONTRACTOR AND OWNER FROM THE NORTH DAKOTA DEPARTMENT OF ENVIRONMENTAL QUALITY 7 DAYS PRIOR TO CONSTRUCTION. THIS NOTICE OF INTENT SHALL BE PROVIDED WITH THE BUILDING PERMIT APPLICATION. CONTRACTOR IS RESPONSIBLE FOR NOI SUBMITTAL.
- COPY OF NOI, COVERAGE LETTER FROM THE DOH AS WELL AS ALL MAINTENANCE AND INSPECTION RECORDS TO BE KEPT ON SITE AND AVAILABLE FOR REVIEW BY CITY, STATE OR FEDERAL OFFICIALS UPON REQUEST.
- CONTRACTOR SHALL HAVE AN UPDATED SWPPP AVAILABLE ON SITE ANYTIME WORK IS BEING DONE. THIS DOCUMENT SHALL BE AVAILABLE FOR REVIEW BY CITY, STATE OR FEDERAL OFFICIALS UPON REQUEST. THE SWPPP SHALL BE IN ACCORDANCE WITH THE NORTH DAKOTA GENERAL PERMIT NO. NDR-11-0000 AND THE PLANS. THE ESC PLAN IS THE ENGINEER'S RECOMMENDATION FOR EROSION AND SEDIMENT CONTROL BASED ON THE DESIGN OF THE PROPOSED SITE. THIS DESIGN DOES NOT TAKE INTO EFFECT CONTRACTOR MEANS AND METHODS, CONSTRUCTION SCHEDULE, OR ORDER OF OPERATIONS. CONTRACTOR IS EXPECTED TO ADJUST DESIGN AS IS NECESSARY TO MEET THE REQUIREMENTS OF THE GENERAL PERMIT.
- CONTRACTOR IS RESPONSIBLE FOR ALL EROSION AND SEDIMENT CONTROL ON THE SITE. THIS INCLUDES BUT IS NOT LIMITED TO STORM WATER EROSION, EROSION FROM PUMPING OPERATIONS, OFF SITE TRACKING, DUST CONTROL AND CONTROL OF ANY CONCRETE GRINDINGS OR SAW CUT DUST. CONTRACTOR IS ALSO RESPONSIBLE FOR ALL OTHER ITEMS AS REQUIRED IN THE GENERAL PERMIT.
- INSPECTIONS SHALL BE COMPLETED AND DOCUMENTED BY THE CONTRACTOR AT LEAST ONCE EVERY 14 DAYS DURING ACTIVE CONSTRUCTION AND WITHIN 24 HOURS AFTER A RAINFALL EVENT GREATER THAN 1/4" IN 24 HOURS. A RAIN GAUGE SHALL BE ONSITE AND USED TO MAKE THIS DETERMINATION.
- SITE SHALL BE STABILIZED WITHIN 14 DAYS OF COMPLETION OF WORK OR WITHIN 14 DAYS OF SUSPENSION OF WORK PER THE GENERAL PERMIT.
- ALL EROSION AND SEDIMENT RELATED CONTROL AND ITEMS NEED TO BE INSTALLED AND MAINTAINED IN ACCORDANCE WITH MANUFACTURERS RECOMMENDATIONS UNLESS OTHERWISE DICTATED IN THE PLANS.
- THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL AND DISPOSAL OF ALL EXCESS TOPSOIL, EXCAVATED MATERIAL, RUBBISH, TRASH, DEBRIS, AND ORGANIC MATERIAL CONSISTENT WITH LOCAL LAW AND WITH THE GENERAL PERMIT.
- CONTRACTOR IS RESPONSIBLE FOR ALL DE-WATERING AS NECESSARY TO MEET REQUIRED EXCAVATIONS AND GRADES. MUDDY WATER TO BE PUMPED FROM EXCAVATION AND WORK AREAS MUST BE HELD IN SETTLING BASINS OR FILTERED PRIOR TO ITS DISCHARGE INTO SURFACE WATERS OR STORM DRAINAGE SYSTEMS. WATER MUST BE DISCHARGED THROUGH A PIPE, WELL GRASSED OR LINED CHANNEL, OR OTHER EQUIVALENT MEANS SUCH THAT DISCHARGE DOES NOT CAUSE EROSION OR SEDIMENTATION. THIS INCLUDES DE-WATERING OF RAINWATER, GROUND WATER, OR ANY OTHER WATER ON SITE CAUSING IMPACTS TO SITE CONSTRUCTION.
- ALL DISTURBED AREAS SHALL BE SEEDED AND HYDROMULCHED UNLESS SHOWN OTHERWISE IN THE PLANS.
- TOP SOIL OR OTHER SOIL/CLAY STOCKPILES ARE NOT TO BE LOCATED WITHIN FLOW PATHS, BASES OF ALL STOCKPILES SHALL BE SURROUNDED WITH SILT FENCE.
- CONTRACTOR IS RESPONSIBLE FOR THE INSTALLATION, MAINTENANCE, SEDIMENT REMOVAL/CLEANING, AND REPLACEMENT AS REQUIRED FOR ALL EROSION AND SEDIMENT CONTROL ITEMS.
- CONTRACTOR IS RESPONSIBLE FOR SWEEPING AND CLEANING ANY SEDIMENT TRACKED ONTO ADJACENT ROADWAYS DURING CONSTRUCTION AS NEEDED TO KEEP STREETS CLEAR OF SEDIMENT.
- EROSION CONTROL BLANKET SHALL BE INSTALLED PER MANUFACTURERS RECOMMENDATIONS FOR LAYDOWN PATTERN, REQUIRED OVERLAP WIDTH, TRENCHING, STAPLE PATTERN, ETC.
- CHEMICAL STORAGE ONSITE SHALL BE IN COMPLIANCE WITH THE GENERAL PERMIT.
- CONTRACTOR IS RESPONSIBLE FOR INSTALLATION AND MAINTENANCE OF INLET PROTECTION THROUGHOUT THE DIFFERENT PHASES OF CONSTRUCTION REGARDLESS OF THE TYPE OF PROTECTION. THE QUANTITY FOR ONE (1) INLET PROTECTION SHALL COVER INSTALLATION, CLEANING, REPLACEMENT, ETC. FROM THE TIME THE MANHOLE IS SET UNTIL FINAL STABILIZATION OF THE ENTIRE AREA DRAINING TO THE INLET. FOR EXAMPLE: ONE (1) INLET PROTECTION QUANTITY MAY COVER BUT IS NOT LIMITED TO: SILT FENCE AROUND MANHOLE PRIOR TO LID AND CASTING BEING INSTALLED, REMOVAL OF SILT FENCE AROUND MANHOLE AFTER CASTING HAS BEEN INSTALLED, INSTALLATION OF DEVICE SUCH AS DANDY SACK INSIDE CASTING, REMOVAL OF SEDIMENT FROM DANDY SACK, REMOVAL OF DANDY SACK FROM CASTING AFTER ALL UPSTREAM AREAS ARE STABILIZED.
- OWNER SHALL REFER TO THE STORMWATER MANAGEMENT PLAN FOR MAINTENANCE REQUIREMENTS OF THE PERMANENT STORMWATER QUANTITY/QUALITY CONTROL MEASURES.

SEEDING NOTES:

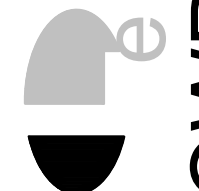
- ALL SEEDING MIX SHALL CONSIST OF THE FOLLOWING:
 - KENTUCKY BLUEGRASS = 60% BY WEIGHT, 90% PURITY, 85% GERMINATION
 - CREeping RED FESCUE = 10% BY WEIGHT, 90% PURITY, 85% GERMINATION
 - FINE LEAF PERENNIAL RYEGRASS = 30% BY WEIGHT, 95% PURITY, 90% GERMINATION
 - PERCENT BY WEIGHT SHALL BE ± 5% ON ALL SEED TYPES.
 - RATE OF SEEDING SHALL BE 220 POUNDS PER ACRE (5 POUNDS PER 1,000 SF)
- CULTIVATE OR DISK TOPSOIL TO A DEPTH OF APPROXIMATELY 3".
- REMOVE MATERIALS GREATER THAN 1" IN DIAMETER THAT CANNOT BE BROKEN UP.
- PLANT SEEDS TO A DEPTH BETWEEN 1/4" AND 3/8".
- SEED ONLY WHEN WIND IS LESS THAN 15 MPH WHEN NOT USING A GRASS DRILL.
- MULCHING SHALL BE USED IMMEDIATELY AFTER SEEDING TO PREVENT EROSION AND PROMOTE EARLIER VEGETATION COVER.
- CONTRACTOR IS RESPONSIBLE FOR WATERING TO ESTABLISH GRASS GROWTH TO A HEIGHT OF 3".
- FERTILIZER SHALL BE 12-24-12 AT AN APPLICATION RATE OF 220 POUNDS PER ACRE (5 POUNDS PER 1,000 SF)
- CONTRACTOR SHALL FOLLOW STATE AND LOCAL LAWS REGARDING THE USE OF PHOSPHORUS FERTILIZER.

LEGEND



ABBREVIATIONS

ADJ	ADJACENT	ELEV	ELEVATION	PVIE	POINT OF VERTICAL INTERSECTION
ALT	ALTERNATE	ENCL	ENCLOSURE		ELEVATION
ARCH	ARCHITECT	E.O.P.	END OF PROJECT	PVIS	POINT OF VERTICAL INTERSECTION
ACP	ASBESTOS CEMENT PIPE	E.J.	EXPANSION JOINT		STATION
BIT	BITUMINOUS	EX.	EXISTING	PREFAB	PREFABRICATED
BLDG	BUILDING	EX.A.	EACH WAY	PSI	POUNDS PER SQUARE INCH
BM	BENCHMARK	EVCE	END VERTICAL CURVE ELEVATION	PVC	POLYVINYL CHLORIDE PIPE
B.O.	BY OWNER/BY OTHERS	EVCS	END VERTICAL CURVE STATION	PP	POWER POLE
B.O.P.	BEGINNING OF PROJECT	FD	FIRE DEPARTMENT	R	RADIUS
BV	BUTTERFLY VALVE	FFE	FIRST FLOOR ELEVATION	RCP	REINFORCED CONCRETE PIPE
BVCE	BEGINNING VERTICAL CURVE	FO	FIBER OPTICS	RD	ROOF DRAIN
	ELEVATION	FTG	FOOTING	REQ'D	REQUIRED
	BEGINNING VERTICAL CURVE	G.C.	GENERAL CONTRACTOR	RIM	RIM OF INLET OR CASTING
	STATION	GALV	GALVANIZED	ROW	RIGHT OF WAY
C	CIVIL	GAL	GALLON	SAN	SANITARY
B.P.	CAST IRON	GRAN	GRANULAR	SS	SANITARY SEWER
CIP	CAST IRON PIPE	GV	GATE VALVE	ST	STORM
CU	COPPER	HDPE	HIGH DENSITY POLYETHYLENE	STD	STANDARD
CMP	CORRUGATED METAL PIPE	HORIZ	HORIZONTAL	SB	SOIL BORING
CJ	CONTROL JOINT	HB	HOSE BIB	STRUCT	STRUCTURAL
CONC	CONCRETE	HDCP	HANDICAPPED	SF	SQUARE FEET
CF	CUBIC FEET	HYD	HYDRANT	SCH	SCHEDULE
CS	CURB STOP	I	INLET	SW	SIDEWALK
C.O.	CLEAN OUT	K	CURVATURE VALUE	T	TELEPHONE
CNTR	CENTER	M	MECHANICAL	TYP	TYPICAL
CONST	CONSTRUCTION	MH	MANHOLE	UNEX	UN-EXCAVATED
CONTR	CONTRACTOR	MAX	MAXIMUM	UE	UTILITY EASEMENT
CY	CUBIC YARD	MIN	MINIMUM	UGE	UNDERGROUND ELECTRIC
DIA	DIAMETER	M.J.	MECHANICAL JOINT	UNO	UNLESS NOTED OTHERWISE
DIP	DUCTILE IRON PIPE	MISC.	MISCELLANEOUS	VERT	VERTICAL
DEMO	DEMOLITION	NC	NON-CORROSIVE	V	VERIFY
DTL	DETAIL	NOM	NOMINAL	VCL	VERTICAL CURVE LENGTH
DIM	DIMENSION	NIC	NOT IN CONTRACT	VOL	VOLUME
DOM	DOMESTIC	NTS	NOT TO SCALE	VCP	VITRIFIED CLAY PIPE
D.S.	DOWN SPOUT	OD	OUTSIDE DIMENSION	W/	WITH
DWG	DRAWING	OCEW	ON CENTER EACH WAY	W/O	WITH OUT
DWL	DOWEL	OC	ON CENTER	WTH	WIDTH
EA	EACH	OHE	OVERHEAD ELECTRIC	W	WATER
ELEC	ELECTRIC	P.C.	PRECAST CONCRETE		

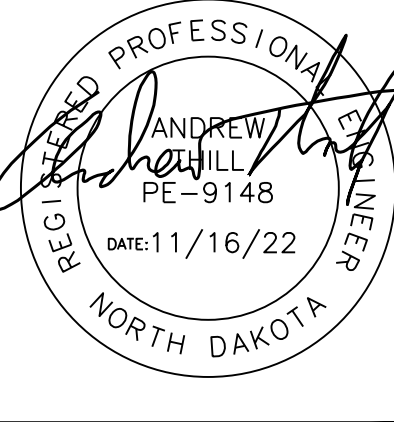


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5308.61ST AVENUE SOUTH, SUITE A
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REVISIONS	
1	REVISIONS PER OWNER - 09/02/2022
2	REVISIONS PER CITY/OWNER - 11/16/2022

VISTO'S SHOP CONDOS
990 7TH STREET EAST
HORACE, NORTH DAKOTA



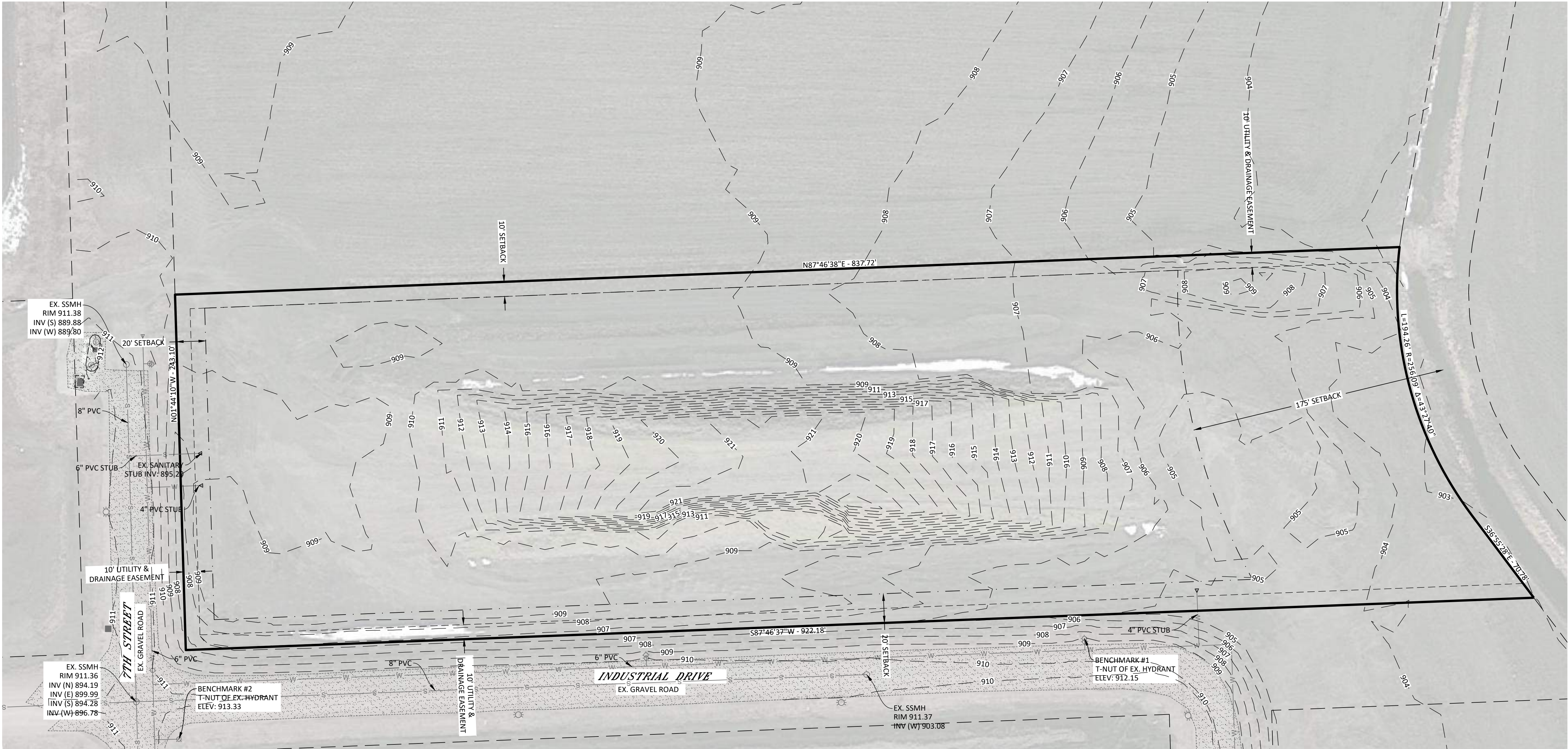
REGISTERED PROFESSIONAL ENGINEER
ANDREW J. HILL
PE-9148
DATE: 11/16/22
NORTH DAKOTA

LE JOB #	21131
PROJECT DATE:	11/16/2022
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APPROVED BY:	AJT

GENERAL
NOTES & LEGEND

C-2

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BENCHMARK #1: TOP NUT OF EXISTING HYDRANT LOCATED APPROXIMATELY 309 FEET
SOUTHWEST OF THE SOUTHEAST CORNER OF THE SUBJECT PROPERTY
ELEVATION: 912.15 (NAVD 88)

BENCHMARK #2: TOP NUT OF EXISTING HYDRANT LOCATED APPROXIMATELY 61 FEET
SOUTH OF THE SOUTHWEST CORNER OF THE SUBJECT PROPERTY
ELEVATION: 913.33 (NAVD 88)

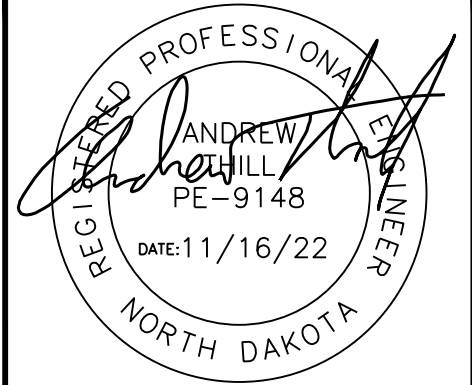
BASIS OF BEARING: CITY OF FARGO COORDINATE SYSTEM

NOTES:

1. THE CITY IS (AS OF THE DESIGN OF THIS PROJECT) INSTALLING A NEW CONCRETE SURFACE ON THE VISTOS SUBDIVISION. THIS DESIGN ASSUMES THE DESIGN ELEVATIONS OF THAT PROJECT. HOWEVER, THE CONTRACTOR SHALL FIELD VERIFY ALL SURFACE AND UTILITY TIE IN POINTS PRIOR TO CONSTRUCTION. THE SURVEY REPRESENTS SITE PRIOR TO CITY PAVING PROJECT.

REVISIONS	
REVISIONS PER OWNER - 09/02/2022	
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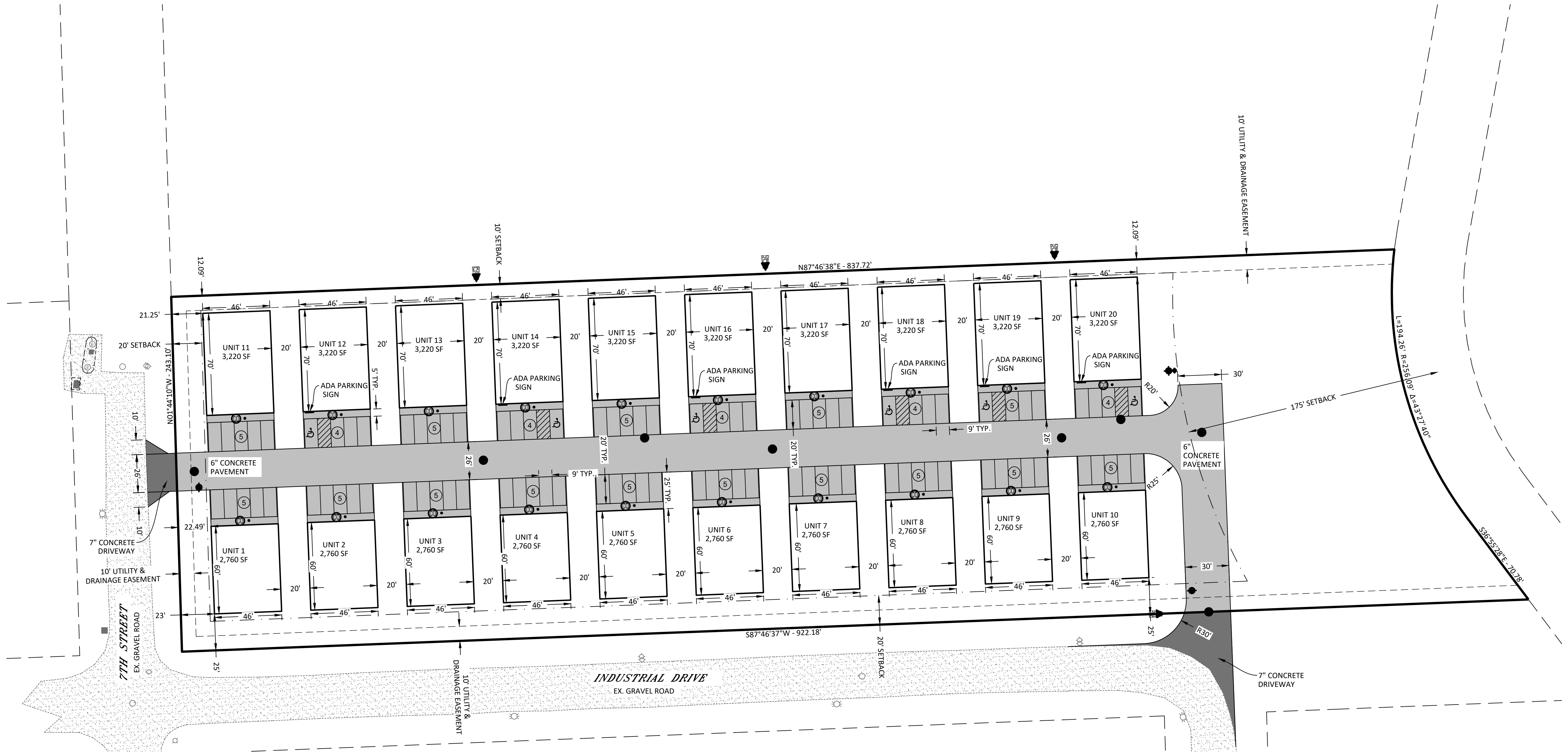
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990 7TH STREET EAST
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SURVEY OVERLAY &
DEMOLITION PLAN

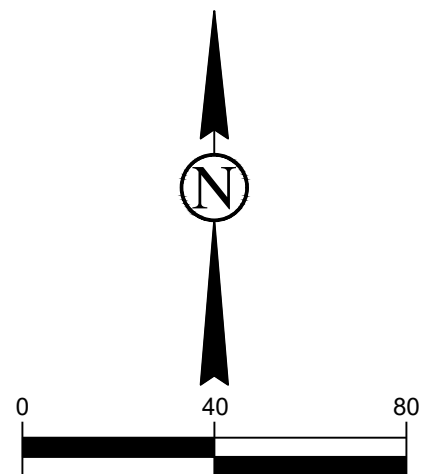
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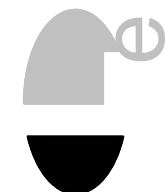
ESTIMATED SITE QUANTITIES		
ITEM	QUANTITY	UNIT
CONCRETE PAVEMENT - 6"	5,086	SY
CONCRETE DRIVEWAY - 7"	268	SY
SUBGRADE PREP	5,570	SY
NDDOT TYPE R1 GEOSYNTHETIC FABRIC	5,570	SY
NDDOT CLASS 5 AGGREGATE	896	CY
PAVEMENT MARKINGS - 4" PAINTED LINE	2,833	LF
PAVEMENT MARKINGS - ADA SYMBOL	6	EA
ADA PARKING SIGN	6	EA

1 - NORTH ROW OF BUILDINGS
EXTENDED 10' TO THE NORTH

2 - GEOMETRY OF APPROACH OFF 7TH
STREET REVISED DUE TO CITY COMMENTS
7" CONCRETE DRIVEWAY, SUBGRADE
PREP, GEOSYNTHETIC FABRIC, AND CLASS
5 QUANTITIES REVISED



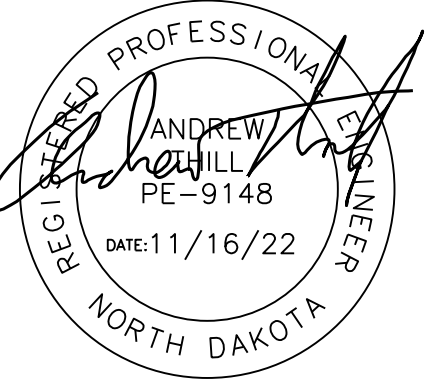
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VISTO'S SHOP CONDOS
990 7TH STREET EAST
HORACE, NORTH DAKOTA

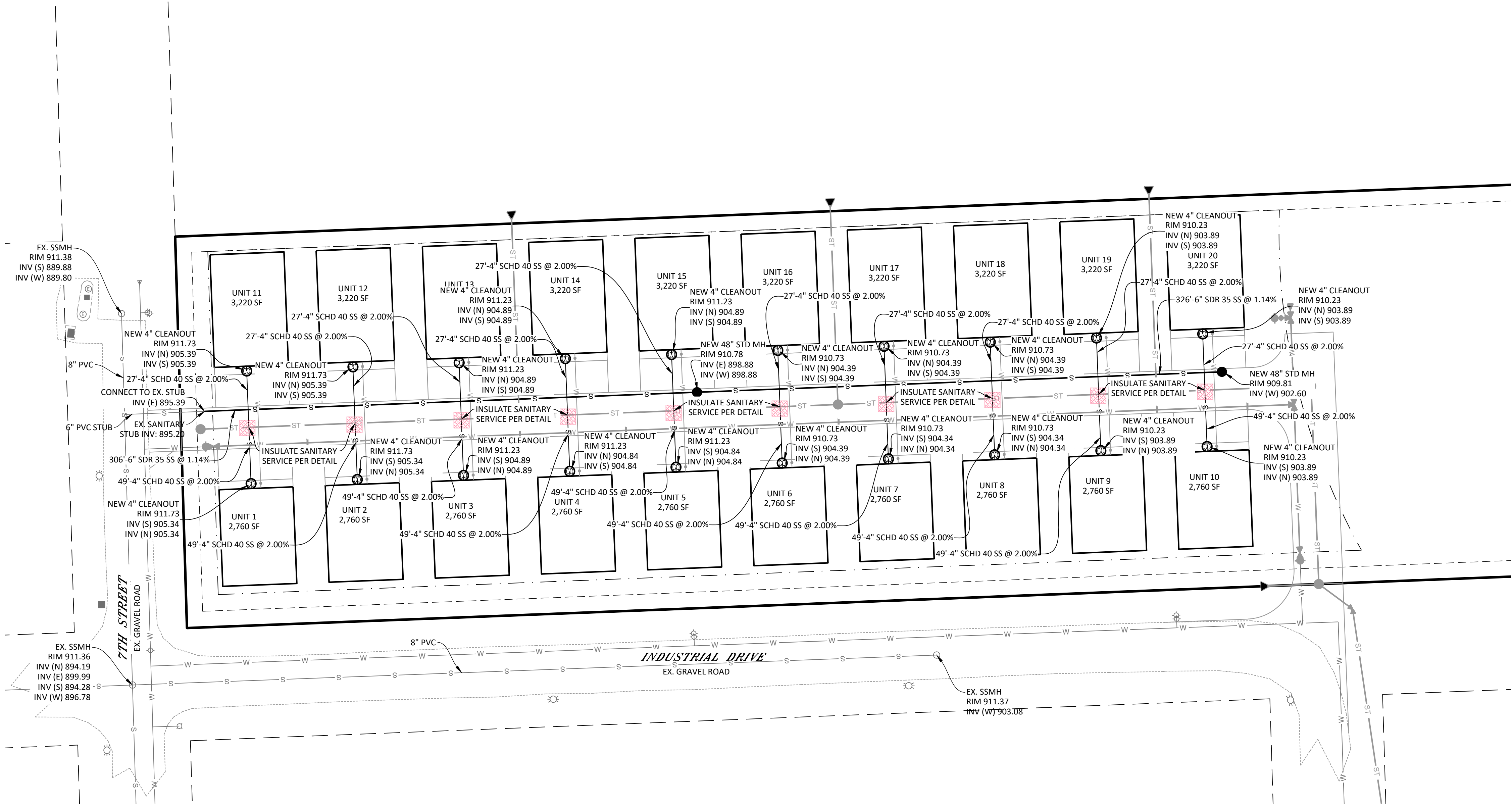


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APPROVED BY:	AJT

OVERALL
SITE
PLAN

C-4

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SANITARY SERVICE SCHEDULE				
UNIT	INV @ BLDG.	SERVICE LENGTH (LF)	SERVICE INV @ SAN MAIN	SAN MAIN INV @ SERVICE
1	905.40	49	904.42	895.70
2	905.40	49	904.42	896.46
3	904.95	49	903.97	897.21
4	904.90	49	903.92	897.96
5	904.90	49	903.92	898.71
6	904.45	49	903.47	899.47
7	904.40	49	903.42	900.22
8	904.40	49	903.42	900.97
9	903.95	49	902.97	901.72
10	903.95	49	902.97	902.47
11	905.45	27	904.91	895.70
12	905.45	27	904.91	896.46
13	904.95	27	904.41	897.21
14	904.95	27	904.41	897.96
15	904.95	27	904.41	898.71
16	904.45	27	903.91	899.47
17	904.45	27	903.91	900.22
18	904.45	27	903.91	900.97
19	903.95	27	903.41	901.72
20	903.95	27	903.41	902.47

ESTIMATED SANITARY QUANTITIES			
ITEM	QUANTITY	UNIT	
CONNECTION TO EX. SANITARY STUB	1	EA	
4" SANITARY CLEANOUT	20	EA	
48" STANDARD MANHOLE	2	EA	
4" SCHD 40 SANITARY PIPE	760	LF	
6" SDR 35 SANITARY PIPE	632	LF	

2
- PIPE NETWORK REVISED DUE TO GRADING REVISIONS
- SANITARY SERVICE SCHEDULE REVISED

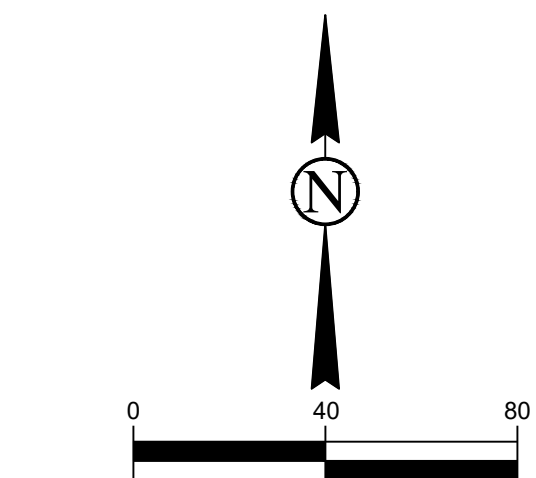
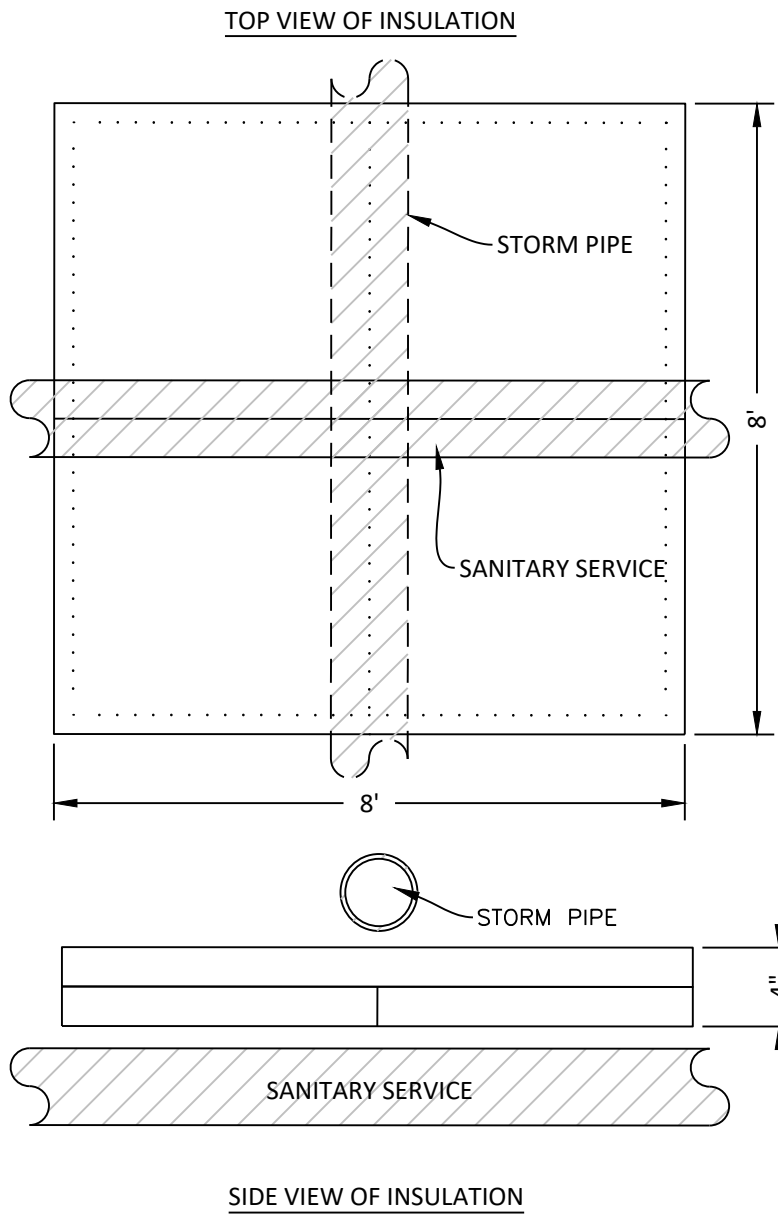
- NOTES:
- CONTRACTOR TO FIELD VERIFY LOCATION AND DEPTH OF EXISTING SANITARY STUB. IF DEPTH OF SANITARY SEWER DIFFERS FROM THAT ON PLANS, CONTRACTOR TO CONTACT THE ENGINEER IMMEDIATELY.
 - ACCORDING TO THE PLANS, THE SANITARY MAIN WILL CONNECT TO THE SANITARY STUB HIGHER THAN THE ASSUMED INVERT OF THE SANITARY STUB. THIS WAS INTENTIONAL TO ALLOW FOR ANY VARIABILITY IN THE INVERT OF THE SANITARY STUB. THE CONTRACTOR SHALL VERIFY THE INVERT OF THE SANITARY STUB PRIOR TO ANY CONSTRUCTION OF THE SANITARY SEWER. IF THE STUB IS HIGHER THAN THE INVERT ON THE PLANS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER IMMEDIATELY.

INSULATE SANITARY SERVICE AT PIPE CROSSING PER DETAIL

- NOTE:
- 4" OF POLYSTYRENE INSULATION SHALL BE USED AT ANYTIME A STORM SEWER IS WITHIN 3' VERTICALLY OF A SANITARY SERVICE. INSULATION SHALL BE INSTALLED BETWEEN THE STORM PIPE AND THE SANITARY SERVICE AS SHOWN IN THE ABOVE DETAIL.
 - IF THERE IS LESS THAN 18" OF SEPARATION BETWEEN THE STORM PIPE AND SANITARY SERVICE, CONTACT THE ENGINEER IMMEDIATELY.

SANITARY SERVICE INSULATION DETAIL FOR STORM CROSSING

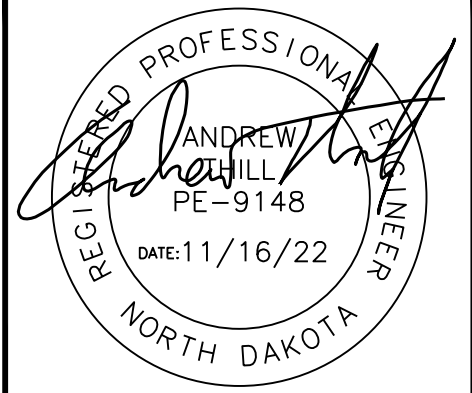
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VISTO'S SHOP CONDOS 990 7TH STREET EAST HORACE, NORTH DAKOTA

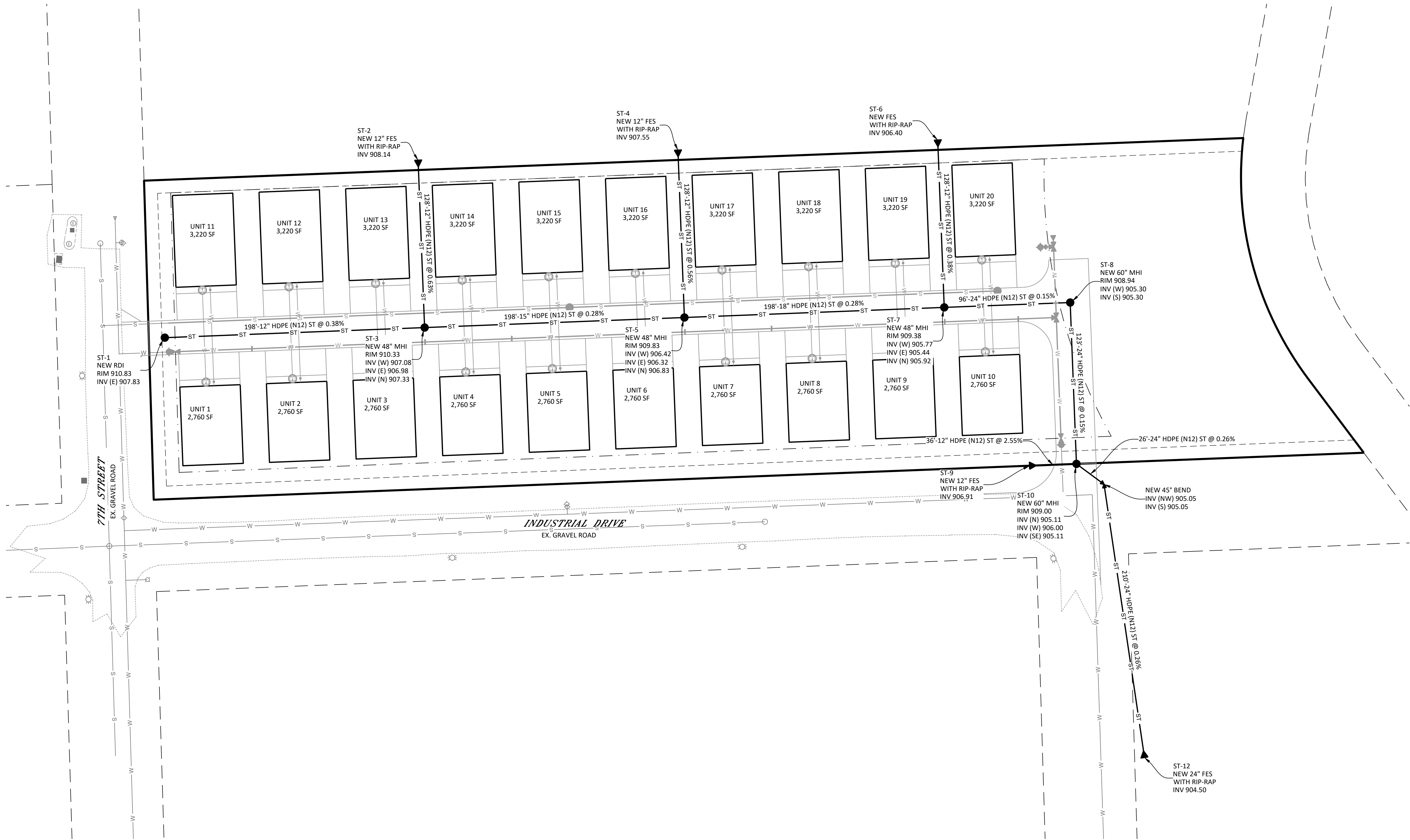


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PROJECT DATE:	11/16/2022
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SANITARY UTILITY PLAN

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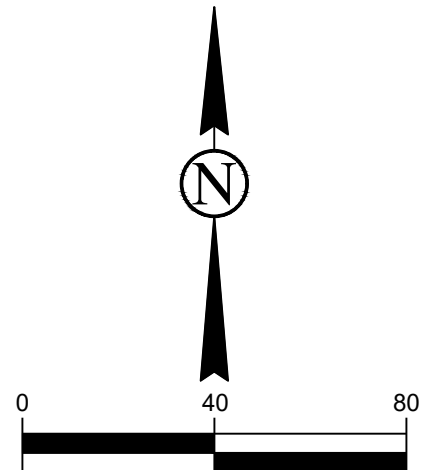


ESTIMATED STORM QUANTITIES		
ITEM	QUANTITY	UNIT
48" MANHOLE/MAHOLE INLET (MHI)	3	EA
60" MANHOLE/MANHOLE INLET (MHI)	2	EA
27" ROUND DIAMETER INLET (RDI)	1	EA
12" FES	4	EA
24" FES	1	EA
12" HDPE STORM PIPE	618	LF
15" HDPE STORM PIPE	198	LF
18" HDPE STORM PIPE	198	LF
24" HDPE STORM PIPE	455	LF

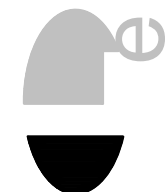
- NOTES:
- ALL ROUND DIAMETER INLETS (RDI) AND MANHOLE INLETS (MHI) IN ROADWAYS SHALL UTILIZE EJ 1205 CASTINGS WITH TYPE M FLAT GRATE, OR APPROVED EQUAL.
 - ALL NON-INLET MANHOLES IN ROADWAYS SHALL UTILIZE EJ 1205 CASTINGS WITH SOLID LID, OR APPROVED EQUAL.
 - ALL FLARED END SECTIONS SHALL HAVE TRASH GUARDS PER CITY OF FARGO STANDARDS.

1 - ST-2 AND ST-5 MOVED FURTHER NORTH DUE TO BUILDING EXTENSION
12" HDPE STORM PIPE QUANTITY INCREASED

2 - PIPE NETWORK REVISED DUE TO GRADING REVISIONS
STORM PIPE QUANTITIES REVISED



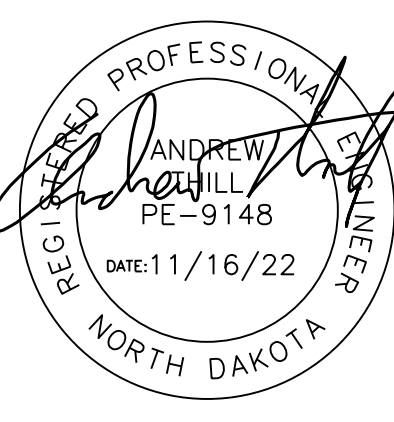
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VISTO'S SHOP CONDOS
990 7TH STREET EAST
HORACE, NORTH DAKOTA



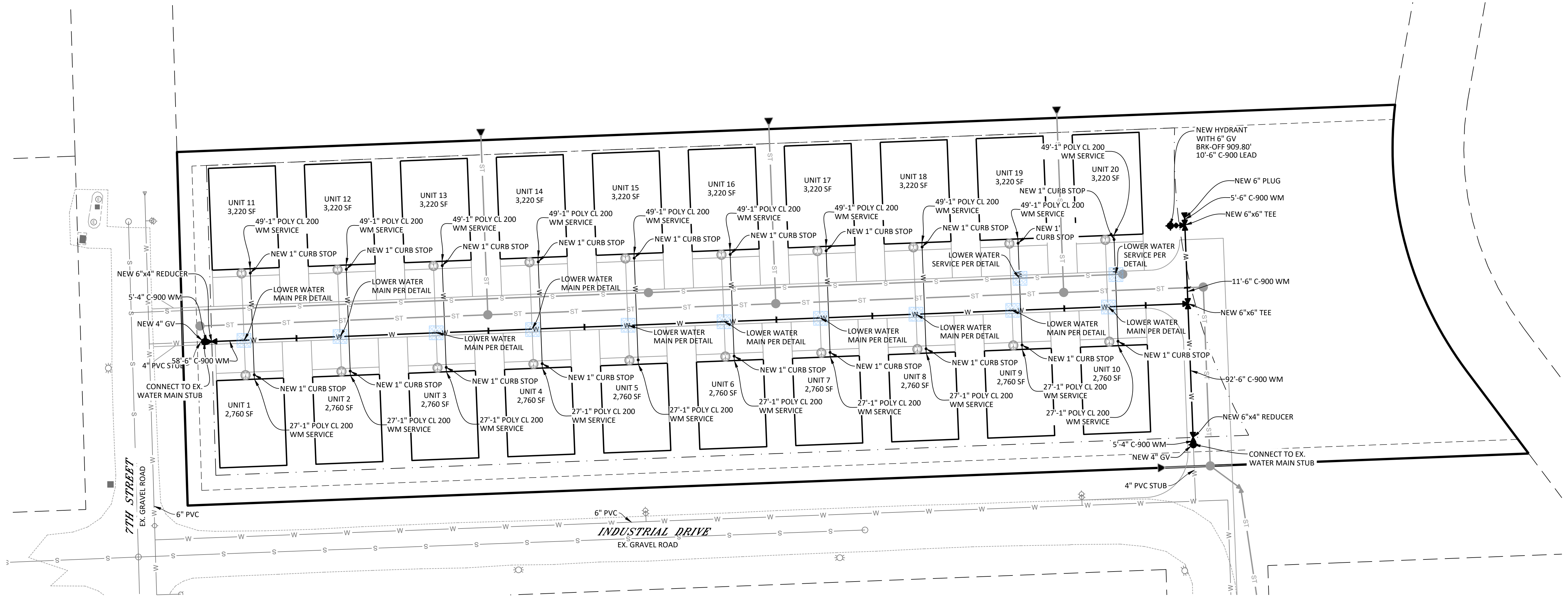
REGISTERED PROFESSIONAL ENGINEER
ANDREW J. HILL
PE-9148
DATE: 11/16/22
NORTH DAKOTA

LE JOB #	21131
PROJECT DATE:	11/16/2022
CHECKED BY:	SAS
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STORMWATER UTILITY PLAN

C-5.2

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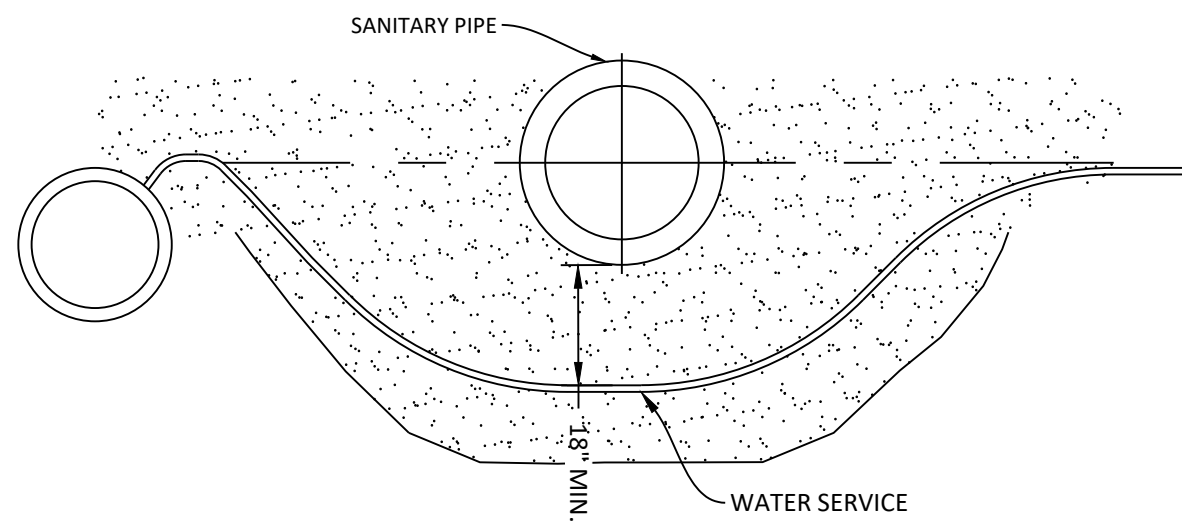


ESTIMATED WATER QUANTITIES		
ITEM	QUANTITY	UNIT
CONNECT TO EX. WATER MAIN	2	EA
4" GATE VALVE	2	EA
6" GATE VALVE	1	EA
SERVICE CONNECTION TO WATER MAIN	20	EA
HYDRANT	1	EA
1" CURB STOP	20	EA
1" POLY CL-200	760	LF
4" PVC C-900 WATER PIPE	10	LF
6" PVC C-900 WATER PIPE	832	LF

NOTES:
1. CONTRACTOR TO FIELD VERIFY LOCATION AND DEPTH OF EXISTING WATER STUBS.

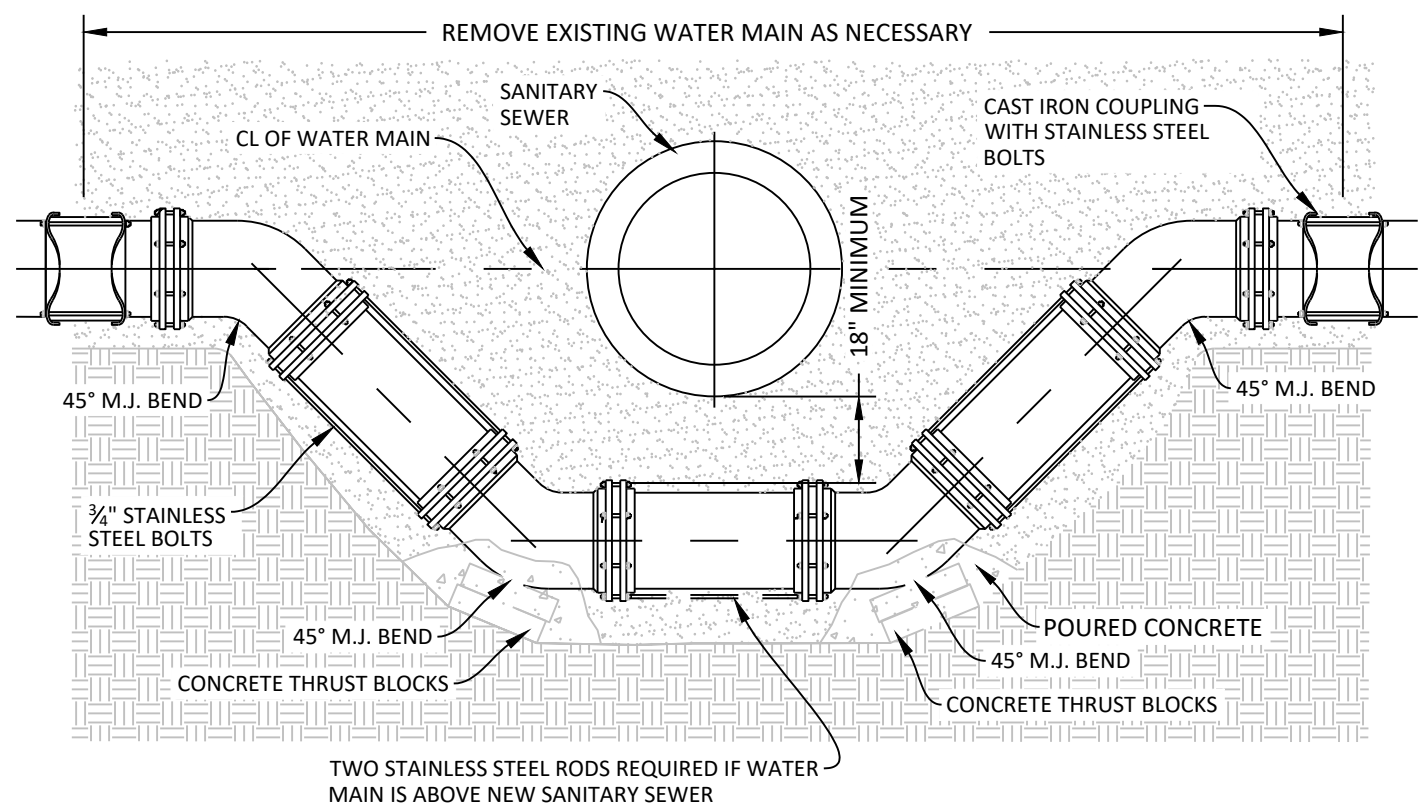
LOWER WATER MAIN/WATER SERVICE PER DETAIL

- 2
- WATER MAIN WITHIN SITE CHANGED FROM 6" TO 4"
 - FIRE HYDRANT AND 6" GATE VALVE NEAR UNIT 20 ADDED
 - 6" WATER MAIN AND SUBSEQUENT QUANTITY ADDED
 - 4" WATER MAIN QUANTITIES REVISED



- NOTES:
1. LOWERING WILL BE REQUIRED ANYTIME WATER SERVICE CROSSING IS 18" OR CLOSER TO A SANITARY PIPE.
2. WATER SERVICE SHALL AT NO TIME BE CLOSER THAN 18" TO SANITARY PIPE.

1 WATER SERVICE/
SANITARY SEWER CROSSING
N.T.S.



2 WATER/SANITARY SEWER CROSSING
N.T.S.

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1. REVISIONS PER OWNER - 09/02/2022
2. REVISIONS PER CITY/OWNER - 11/16/2022

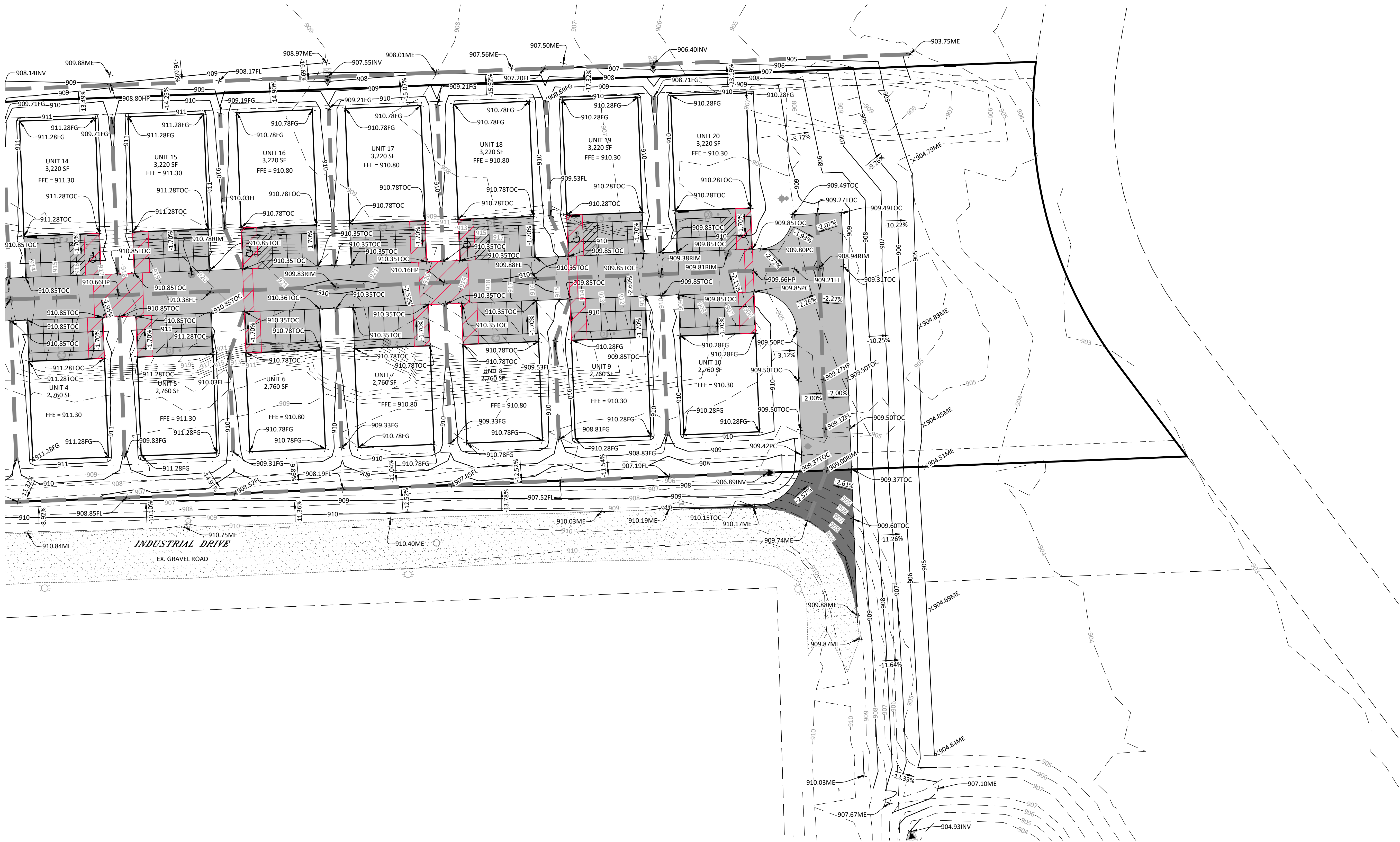
VISTO'S SHOP CONDOS
990 7TH STREET EAST
HORACE, NORTH DAKOTA

REGISTERED PROFESSIONAL ENGINEER
ANDREW HILL
PE-9148
DATE: 11/16/22
NORTH DAKOTA

LE JOB # 21131
PROJECT DATE: 11/16/2022
CHECKED BY: SAS
DRAWN BY: SAS
APPROVED BY: AJT

WATER UTILITY PLAN

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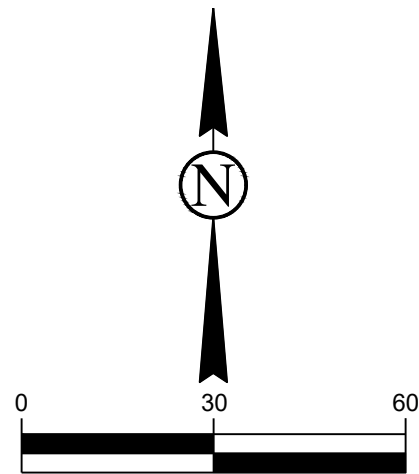


NOTES:
1. CONTRACTOR SHALL VERIFY EXISTING ROAD MATCHES ELEVATIONS IN THE PLANS. ENGINEER ASSUMED ROAD THICKNESS INCREASED BY 8" FOR DESIGN DUE TO CITY OF HORACE PAVING PROJECT. IF ELEVATIONS DO NOT MATCH, NOTIFY THE ENGINEER BEFORE CONSTRUCTION.

- 1. GRADING ALONG NORTH PROPERTY LINE REVISED
- 2. BUILDING ELEVATIONS REVISED; FFE REDUCED FOR BUILDINGS 3-10 AND 13-20
- 3. PRIVATE ROADWAY ELEVATIONS REVISED TO FACILITATE BUILDING ELEVATION CHANGES

- FG FINISH GROUND
- FL FLOWLINE
- HP HIGH POINT
- INV STRUCTURE INVERT ELEVATION
- LP LOW POINT
- MC MIDPOINT OF CURVE
- ME MATCH EXISTING GROUND
- PC POINT OF CURVATURE
- RIM STRUCTURE RIM ELEVATION
- TC TOP OF CURB/THICKENED EDGE
- TOC TOP OF CONCRETE
- TW TOP OF WALK
- TOW TOP OF WALL
- BOW BOTTOM OF WALL

ADA ACCESSIBLE ROUTE
MEETS ADA GRADING REQUIREMENTS



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VISTO'S SHOP CONDOS
990 7TH STREET EAST
HORACE, NORTH DAKOTA

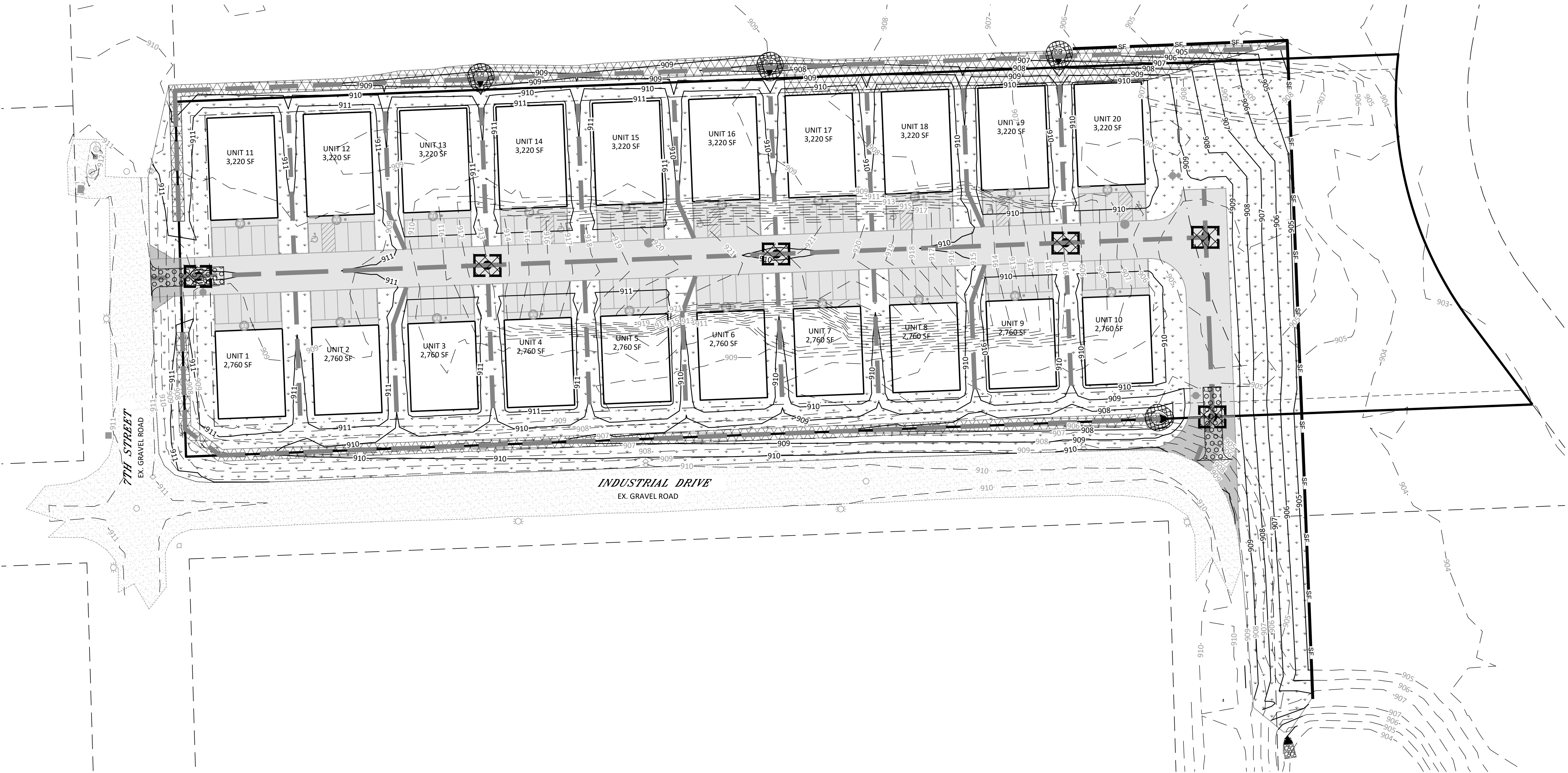
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ANDREW HILL
PE-9148
DATE: 11/16/22
NORTH DAKOTA

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GRADING
PLAN

C-6.2

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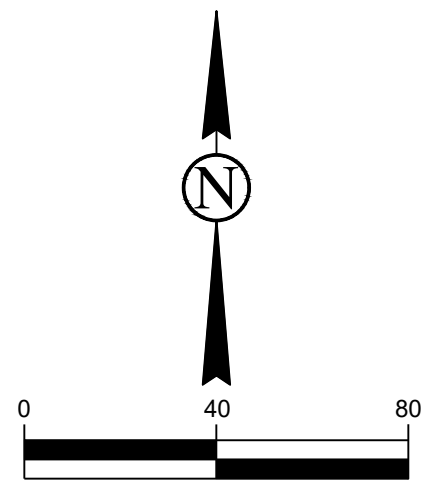
EROSION CONTROL LEGEND			
	SILT FENCE	598	LF
	FIBER ROLL PROTECTION (STRAW WATTLE)	108	LF
	SEEDING & HYDROMULCH	10,866	SY
	SEEDING WITH EROSION CONTROL BLANKET	2,000	SY
	STANDARD INLET PROTECTION	6	EA
	VEHICLE TRACKING PAD	2	EA
	CONCRETE WASHOUT	1	EA
	RIP RAP - 18" DEPTH	11	CY

NOTES:

- CONTRACTOR SHALL FOLLOW NDDEQ STORMWATER POLLUTION PREVENTION STANDARDS FOR ALL EROSION CONTROL DURING CONSTRUCTION.
- A FODS TRACKOUT CONTROL MAT MAY BE USED AS AN APPROVED EQUAL TO THE VEHICLE TRACKING PAD. CONTRACTOR SHALL SUBMIT PROPOSED MAT LAYOUT TO ENGINEER FOR REVIEW PRIOR TO INSTALLING.

- SEEDING & HYDROMULCH AND ECB SEEDING AREAS REVISED AND SUBSEQUENT QUANTITIES REVISED
- SILT FENCE QUANTITY REVISED

- SEEDING & HYDROMULCH, ECB, SILT FENCE, FIBER ROLL, AND INLET PROTECTION DEVICE QUANTITIES REVISED



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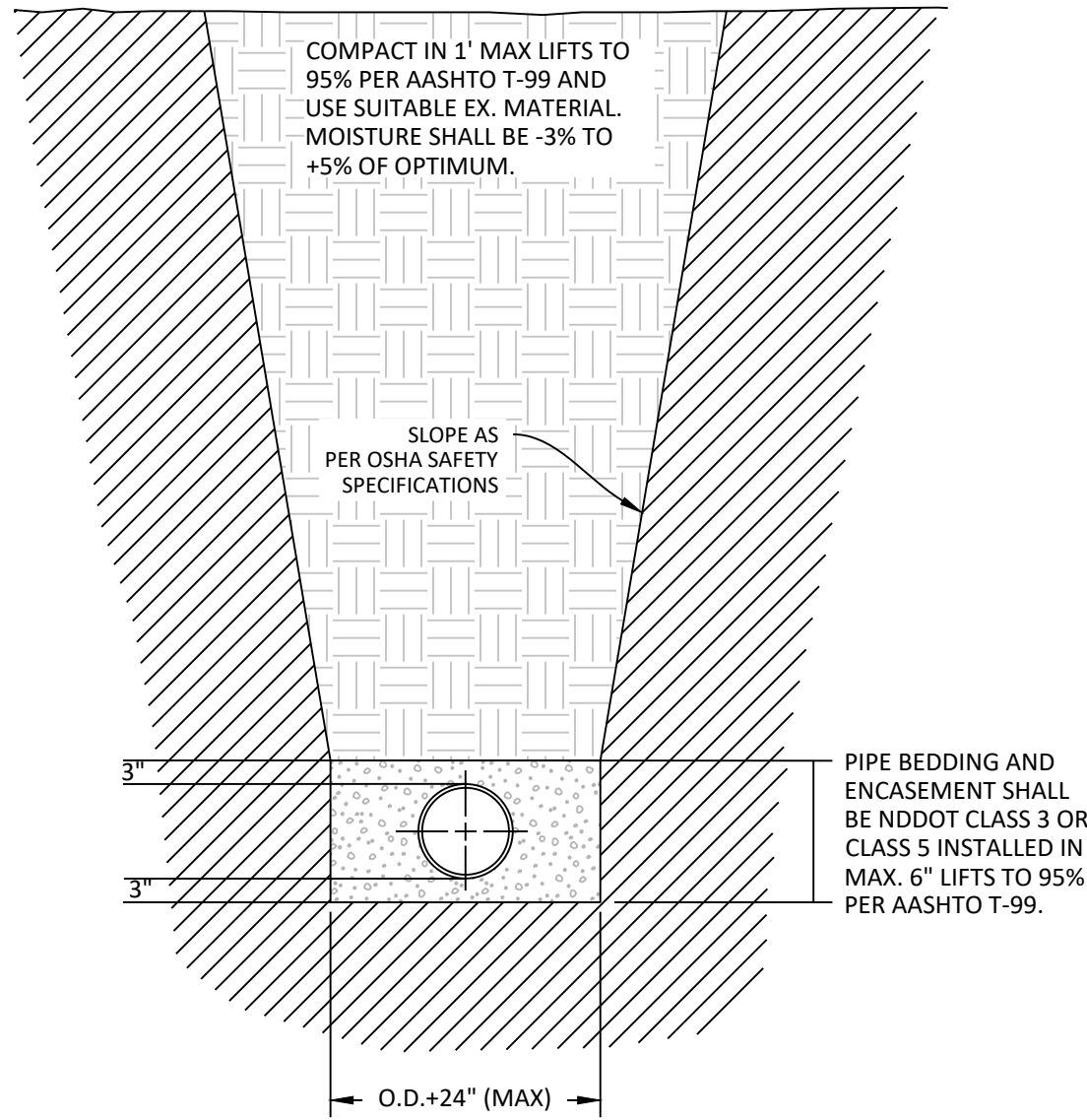
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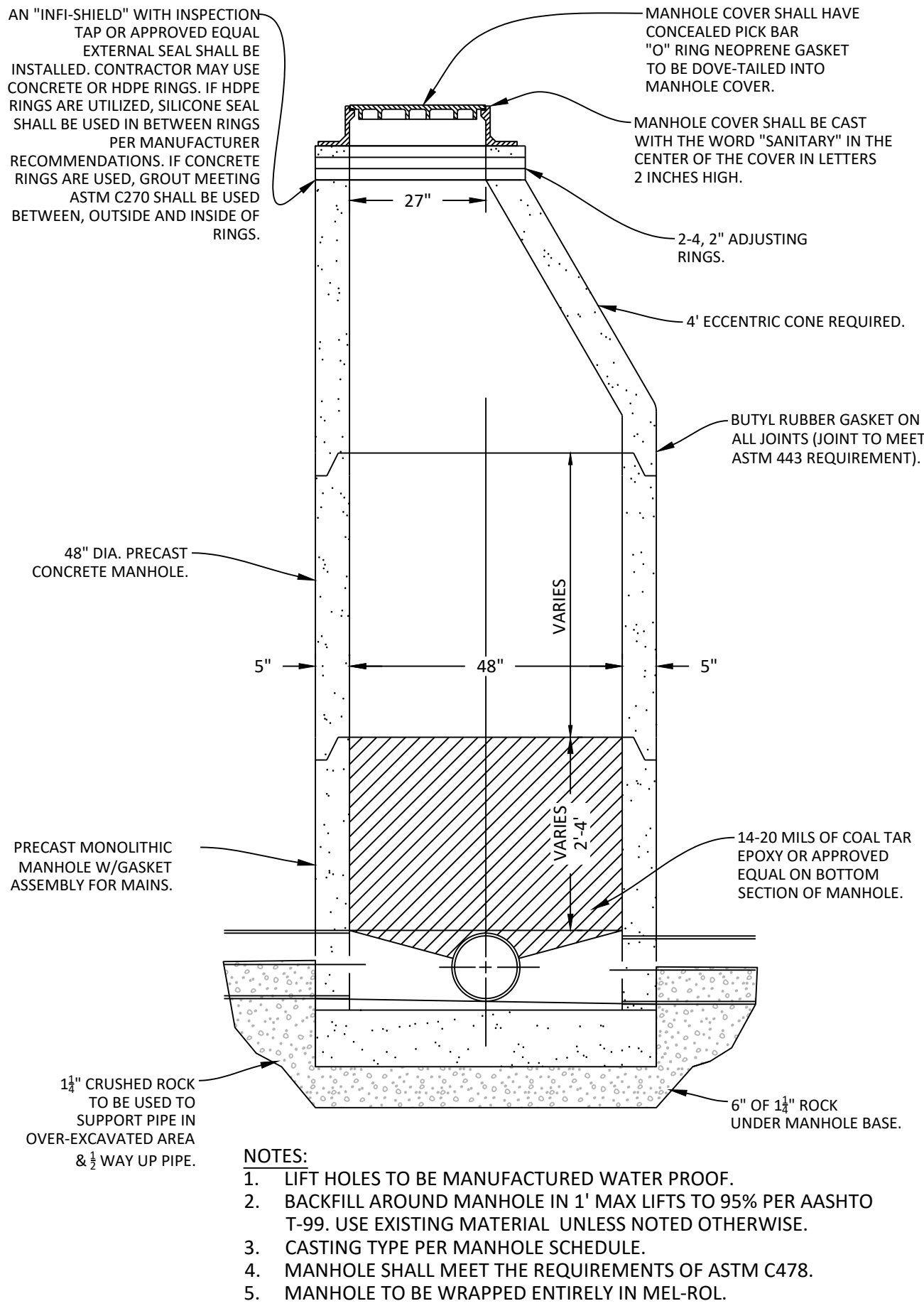
EROSION & SEDIMENT CONTROL PLAN

C-7



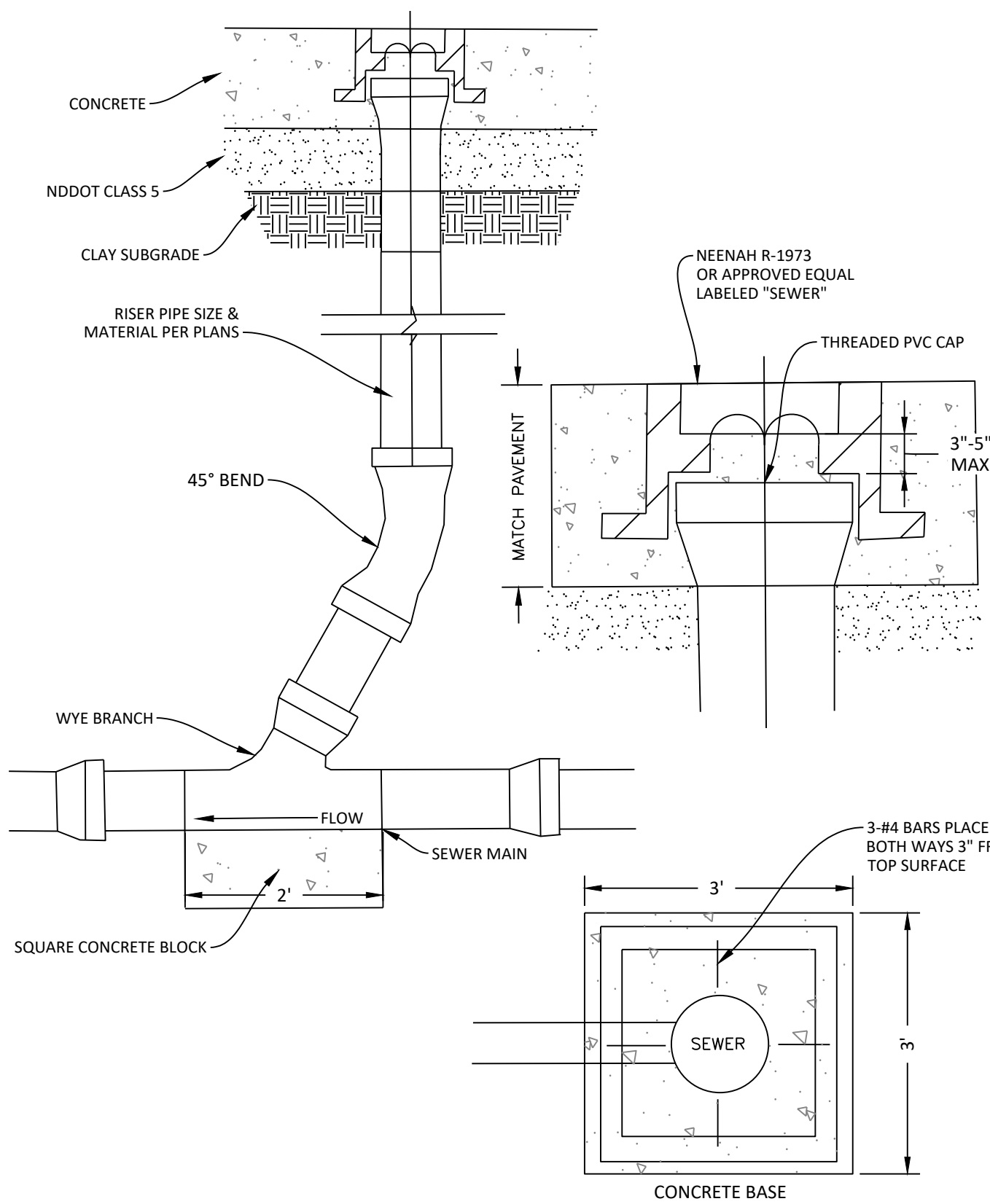
SANITARY SEWER/ WATER MAIN TRENCH

1
N.T.S.



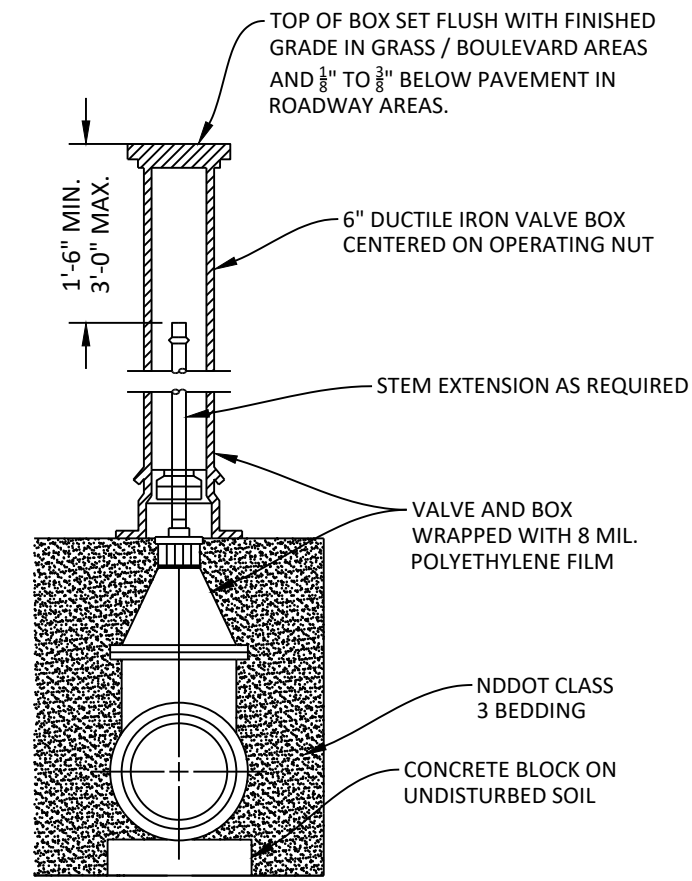
SANITARY SEWER STANDARD MANHOLE

2
N.T.S.



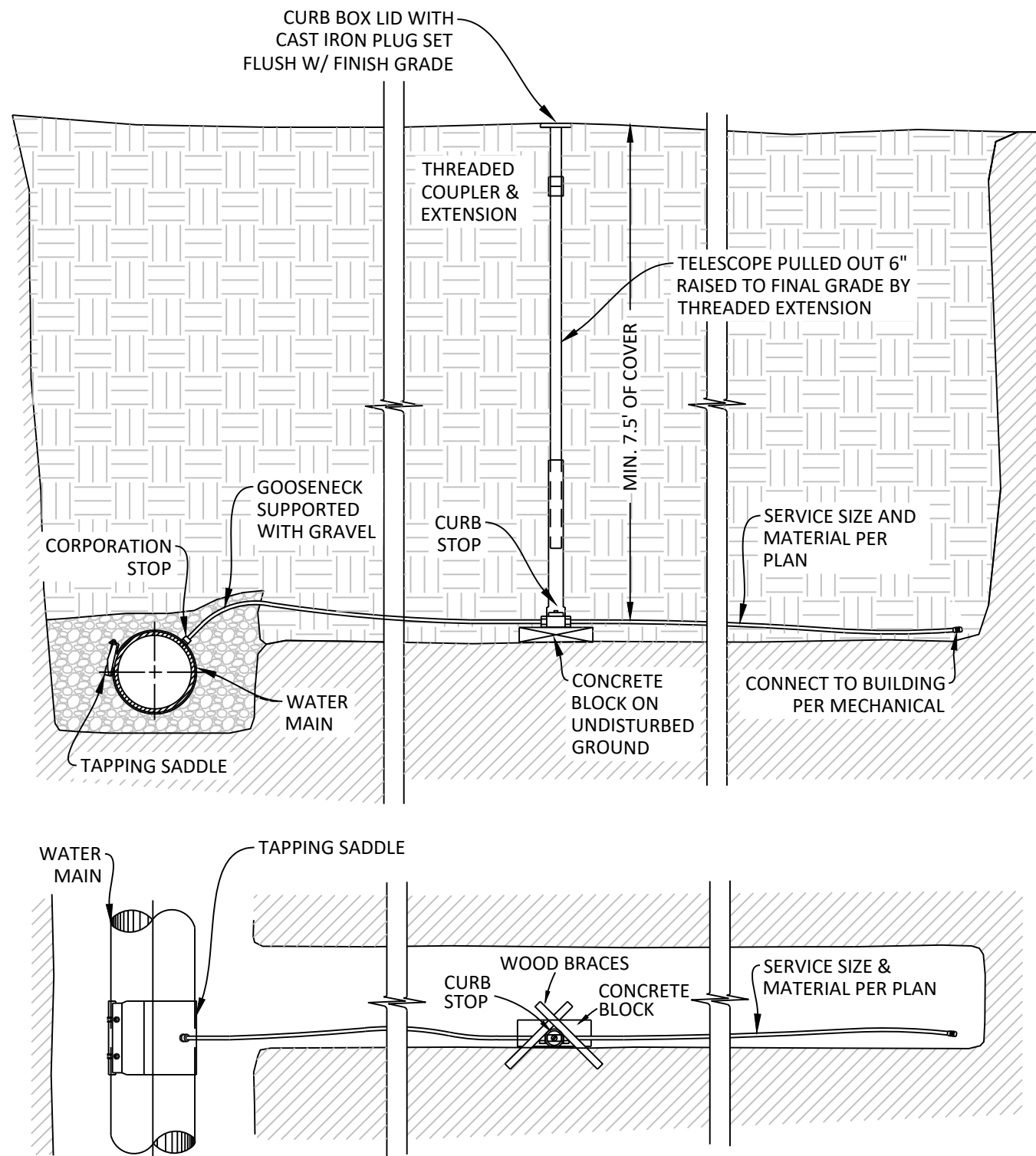
SANITARY SEWER CLEANOUT(PAVEMENT)

3
N.T.S.



GATE VALVE DETAIL

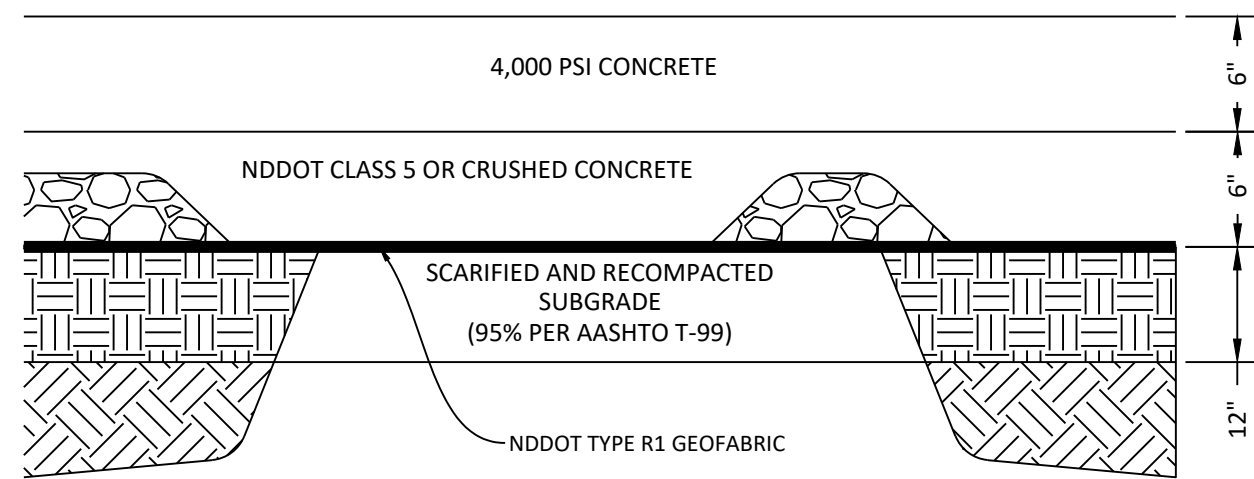
4
N.T.S.



- NOTE:
1. STOP BOX TO BE INSTALLED ALONG SIDE OF TRENCH AND SUPPORTED TO THE TRENCH WALL WITH TWO WOODEN BRACES TO PROVIDE SUPPORT DURING BACKFILL.
 2. CURB STOP SHALL BE TYPICAL 6104 A.Y. MCDONALD OR APPROVED EQUAL.
 3. CORP. STOP SHALL BE TYPICAL 4701 A.Y. MCDONALD OR APPROVED EQUAL.
 4. TAPPING SADDLE SHALL BE ROMAC 306 STAINLESS STEEL WITH DOUBLE BOLT OR APPROVED EQUAL. BOLTS SHALL BE TIGHTENED TO MANUFACTURER'S SPECIFICATIONS WITH TORQUE WRENCH.

WATER SERVICE FOR NEW INSTALLATIONS

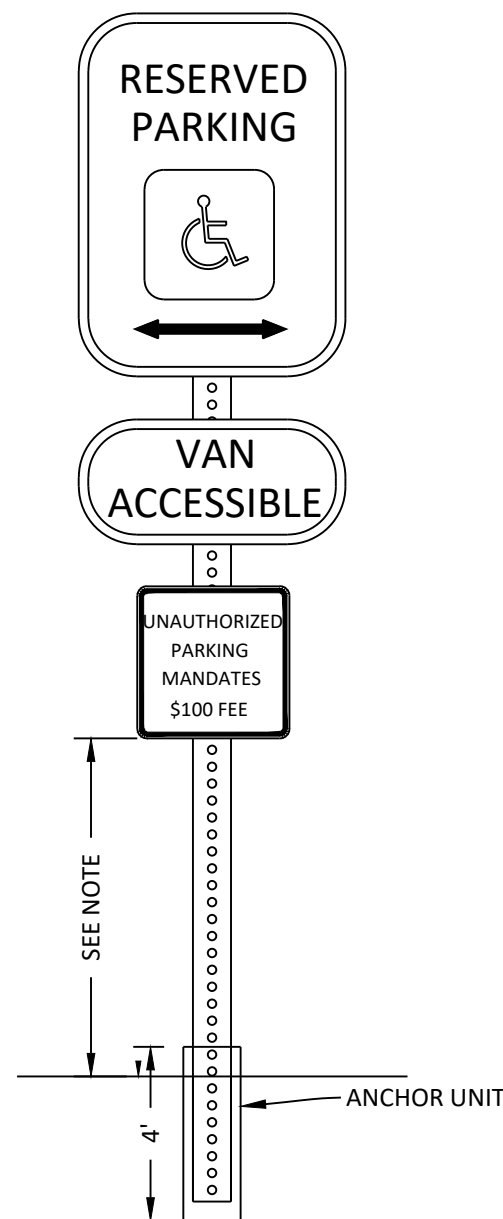
5
N.T.S.



- NOTES:
1. CONCRETE SHALL BE 4,000 (OR HIGHER) PSI AND PER CITY OF FARGO SPECIFICATIONS
 2. INSTALL #4 REBAR STEEL REINFORCEMENT AT 24" ON CENTER EACH WAY THROUGHOUT CONCRETE PAVEMENT
 3. REBAR SHALL BE INSTALLED AT MID DEPTH OF CONCRETE AND BE SUPPORTED BY "REBAR CHAIRS"
 4. CONCRETE SHALL BE SAW CUT TO A DEPTH OF 2" IN A +/-10' GRID PATTERN
 5. CONCRETE SHALL BE TIED TO ALL EXISTING CONCRETE WITH 18"- NO. 4 REBAR AT 24" O.C.
 6. CONCRETE SHALL BE TIED TO ALL THICKENED EDGE CONCRETE WITH 18"- NO. 4 REBAR AT 24" O.C.
 7. CONSTRUCTION JOINTS SHALL UTILIZE 18" - 1/2" SMOOTH DOWELS @ 24" O.C.
 8. FIBER EXPANSION BOARD SHALL BE USED ADJACENT TO BUILDINGS AND ANY OTHER FIXED OBJECTS SUCH AS LIGHT POLE BASES OR SIGN FOUNDATIONS AND AT CONNECTION TO EXISTING CONCRETE.

6" CONCRETE FLATWORK

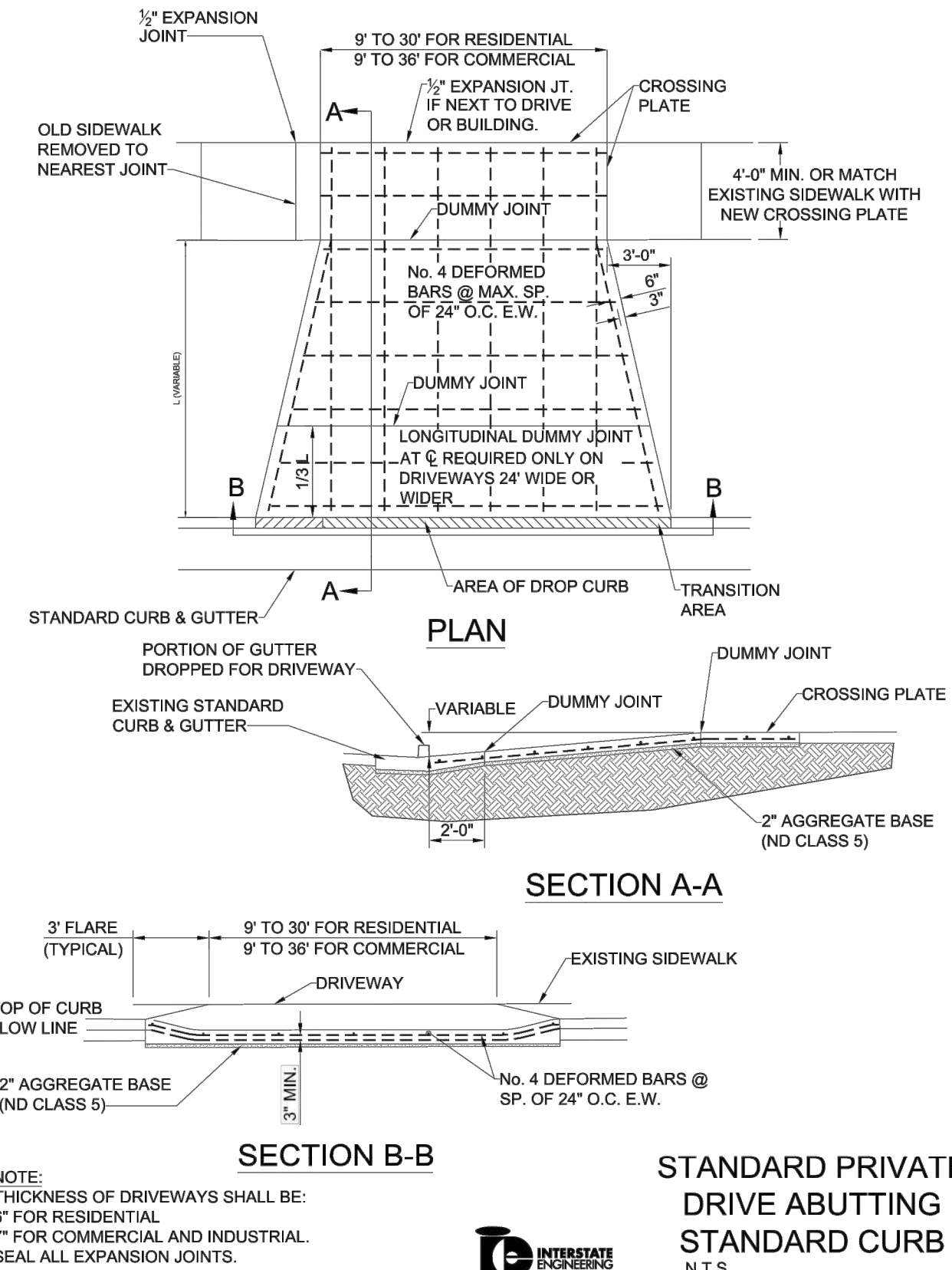
6
N.T.S.



- NOTE:
1. VERIFY SIGNAGE WITH ALL STATE AND LOCAL CODES
 2. USE 3/4" PLYWOOD ON BACK OF ALL SIGNS ATTACHED TO BUILDINGS
 3. SIGNS MUST BE PLACED A MINIMUM OF 60" HIGH MEASURED FROM THE GROUND TO BOTTOM OF SIGN. A MINIMUM OF 80" IS REQUIRED ABOVE CIRCULATION PATHS.
 4. VERIFY AMOUNT OF FINE W/LOCAL AUTHORITY.
 5. POST SHALL BE GALVANIZED TELESCOPING PERFORATED TUBE.

ADA PARKING SIGN

7
N.T.S.



STANDARD PRIVATE DRIVE ABUTTING STANDARD CURB

N.T.S.

Rev.	Date	By	Description



CITY OF HORACE STANDARD DRAWING
ADOPTED 2016
by
HORACE CITY COUNCIL

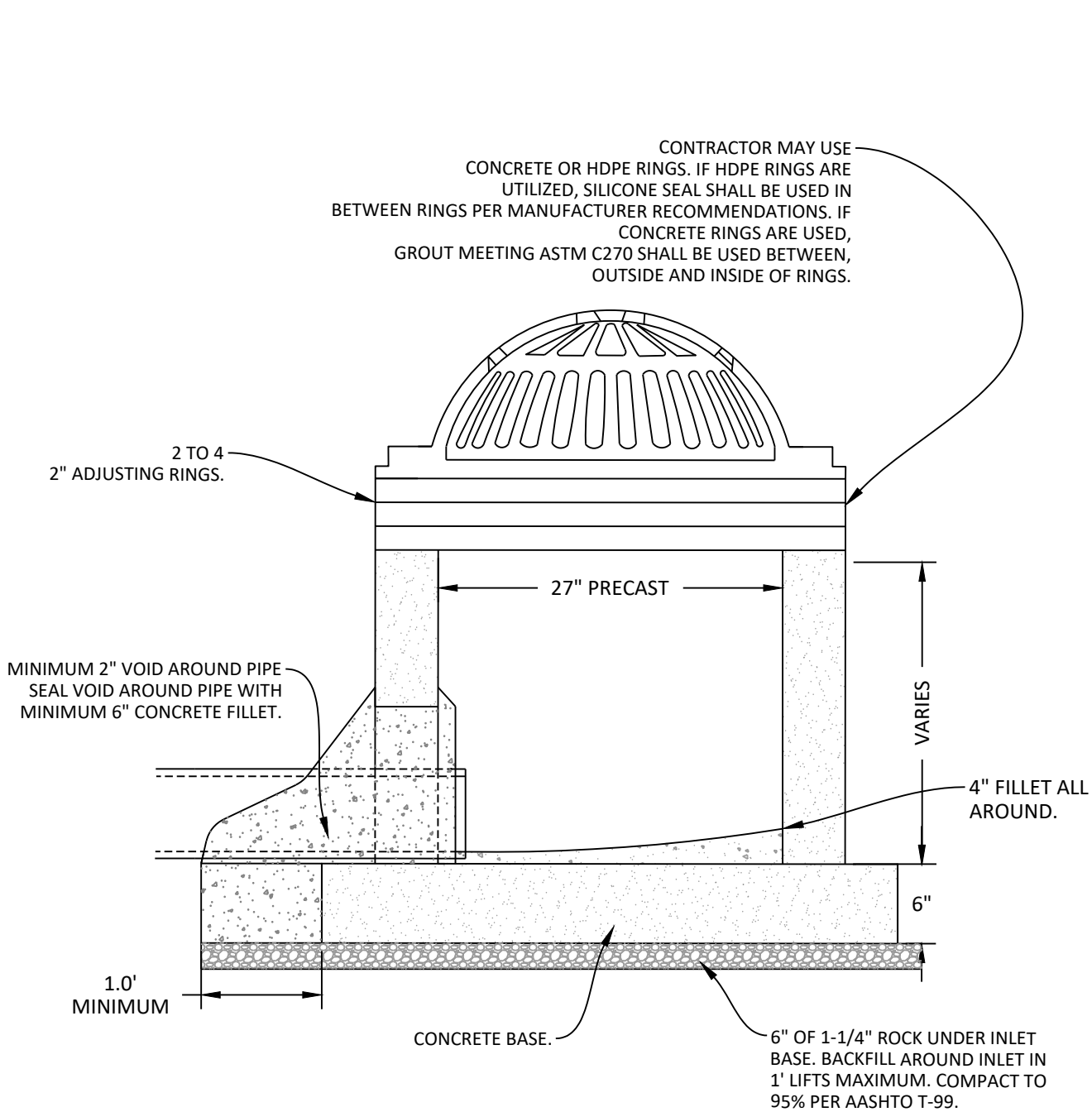
D2

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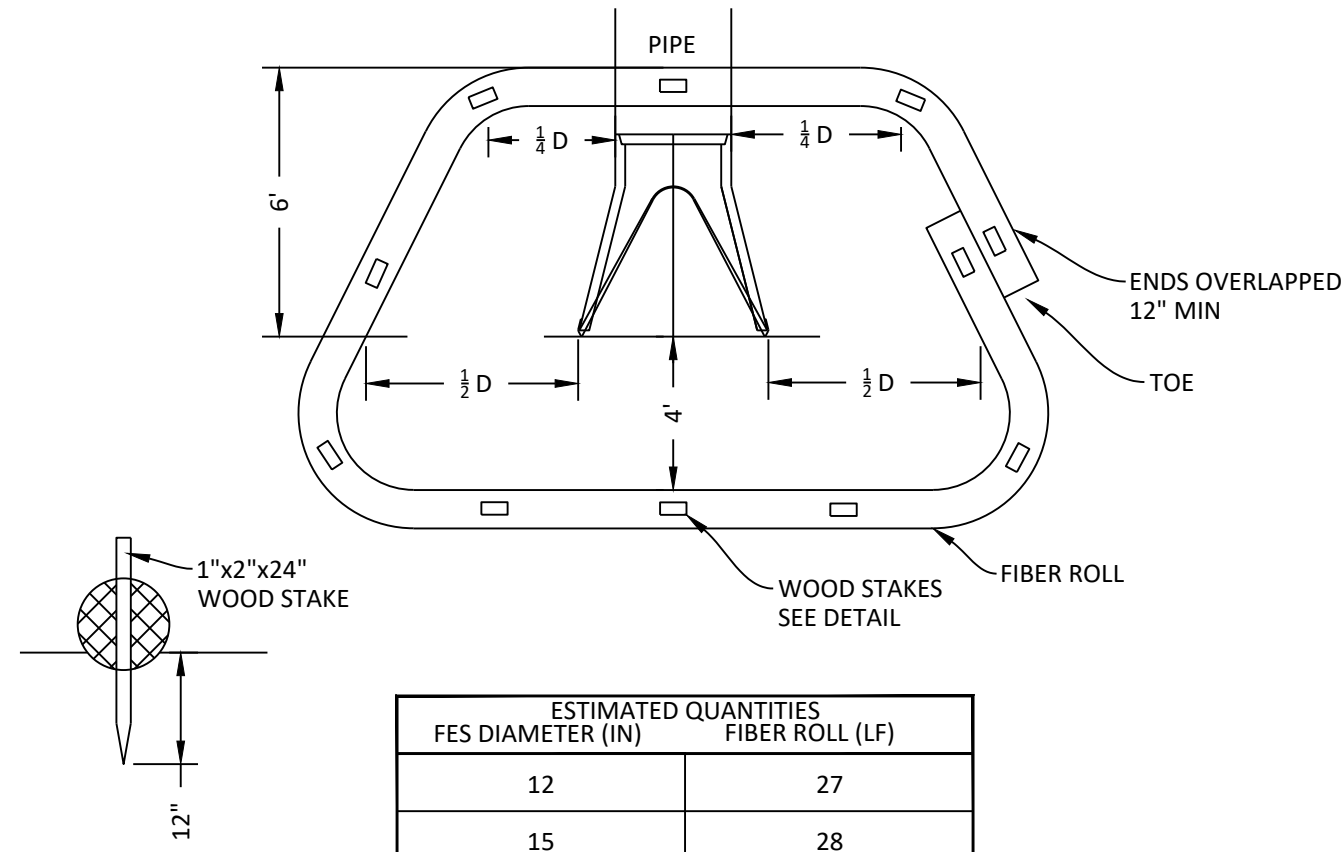
DETAILS

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- NOTES:
1. INLET SHALL MEET REQUIREMENTS OF ASTM C478
 2. BACKFILL AROUND INLET SHALL BE MAX 12" LIFTS, COMPACT TO 95% PER AASHTO T-99.
 3. THE CONTRACTOR SHALL HAVE THE OPTION OF USING PRECAST OR POURED IN PLACE BASES. CLASS OF CONCRETE SHALL BE TYPE AE.
 4. PRECAST RISERS SHALL BE CONSTRUCTED IN ACCORDANCE WITH AASHTO M199.
 5. CASTING TYPE PER MANHOLE SCHEDULE.
 6. DOGHOUSE TO BE CONCRETED INSIDE AND OUT WITH 3,000 PSI CONCRETE. CONCRETE SHALL BE VIBRATED AND TROWEL FINISHED.

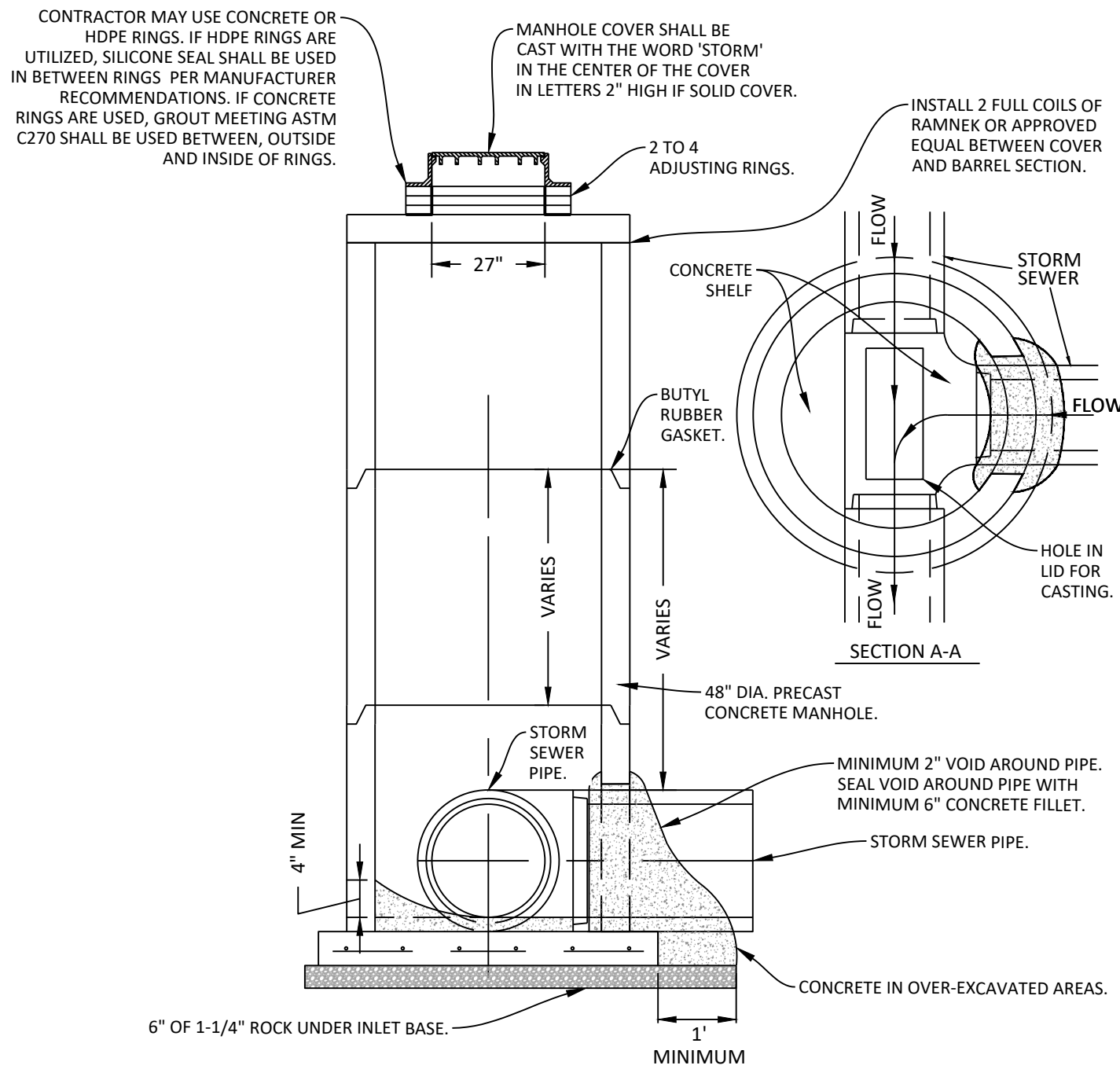
1 CONCRETE YARD INLET (YI)



FES DIAMETER (IN)	ESTIMATED QUANTITIES FIBER ROLL (LF)
12	27
15	28
18	29
21	30
24	31
27	32
30	33
36	34

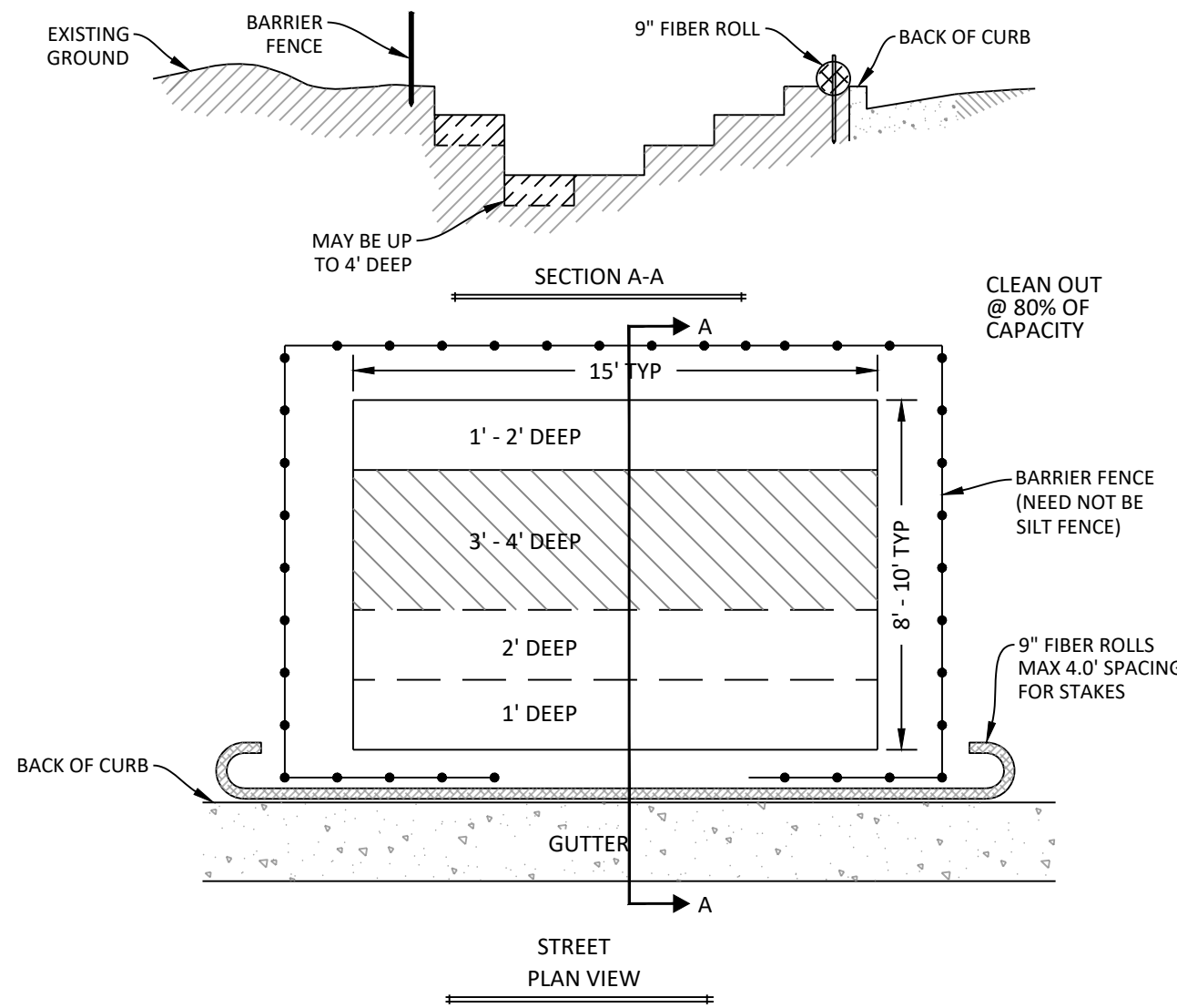
- NOTES:
1. D = DIAMETER OF PIPE
 2. FIBER ROLLS SHALL BE COMPOSED OF DEGRADABLE NETTING THAT CONTAINS COMPRESSED HAY OR STRAW THAT IS FREE OF SEEDS AND NOXIOUS WEEDS, OR WOOD EXCELSIOR.
 3. REMOVE SEDIMENT FROM FIBER ROLL WHEN IT REACHES 3/4 OF THE EXPOSED HEIGHT OF ANY SECTION, OR AS DIRECTED BY THE ENGINEER. THE ENGINEER MAY DIRECT THE INSTALLATION OF A SECOND FIBER ROLL IF REMOVING THE SEDIMENT DEPOSIT IS NOT FEASIBLE.

5 FIBER ROLL PROTECTION FLARED END SECTION



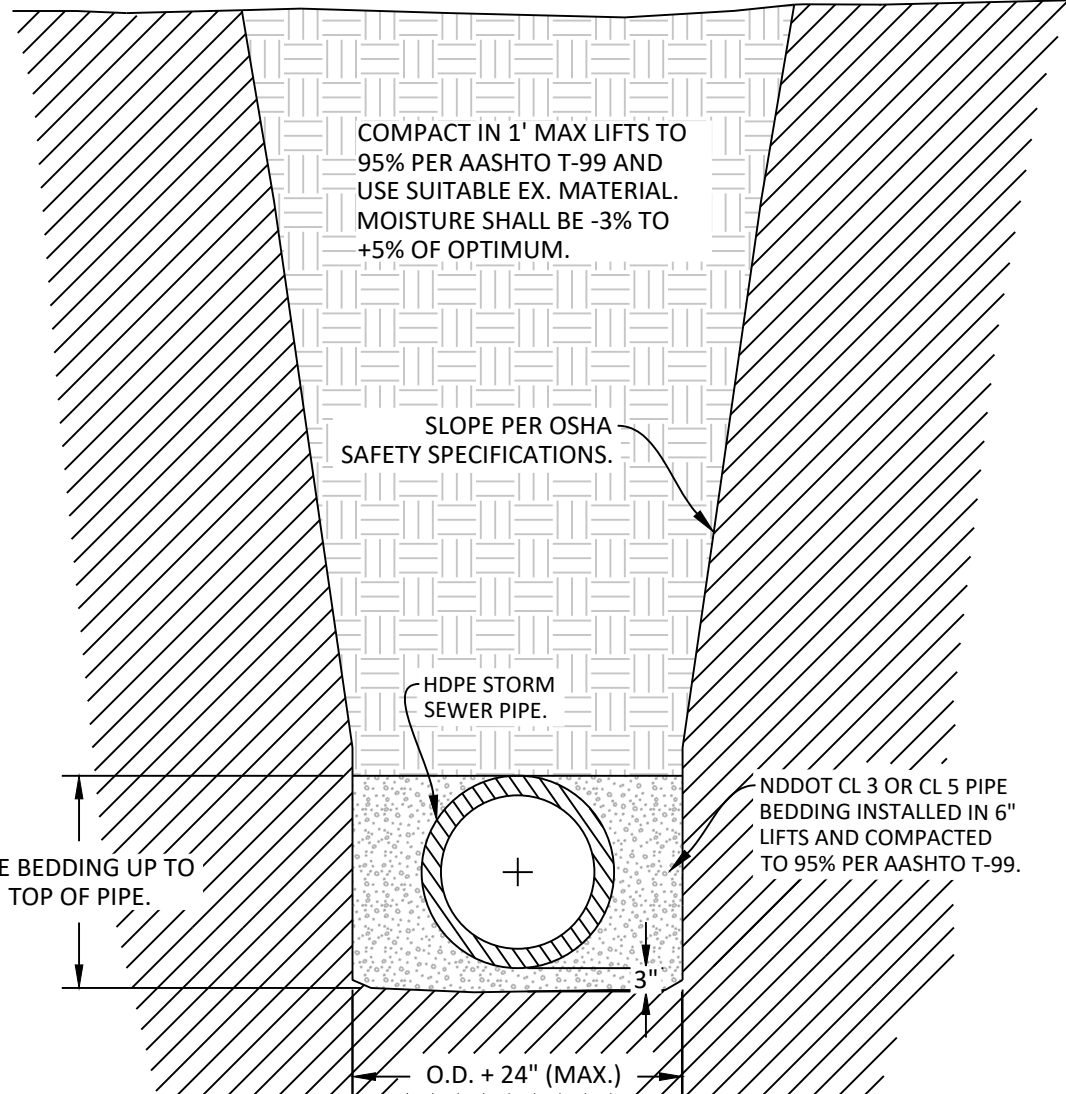
- NOTES:
1. MANHOLE SHALL MEET REQUIREMENTS OF ASTM C478.
 2. ALL JOINTS AND LIFTING HOLES SHALL BE WATERPROOF MANUFACTURED.
 3. BACKFILL AROUND STRUCTURE IN 12" LIFTS MAXIMUM. COMPACT TO 95% PER AASHTO T-99.
 4. IF MANHOLE IS USED AS A CURB & GUTTER INLET, THE MANHOLE SHALL HAVE HOLE AVAILABLE FOR CONNECTION TO CURB & GUTTER DRAIN TILE.
 5. BUTYL RUBBER GASKET ON ALL JOINTS (JOINT TO MEET ASTM 443 REQUIREMENT).
 6. DOGHOUSE TO BE CONCRETED WITH MIN. 3,000 PSI CONCRETE INSIDE AND OUT WITH CONCRETE TO BE VIBRATED AND TROWEL FINISHED.
 7. CASTING TYPE PER MANHOLE SCHEDULE.
 8. ALL MANHOLES SHALL HAVE A MINIMUM HEIGHT OF 6 FEET FROM RIM TO BOTTOM OF STRUCTURE.

2 STORM SEWER STANDARD MANHOLE



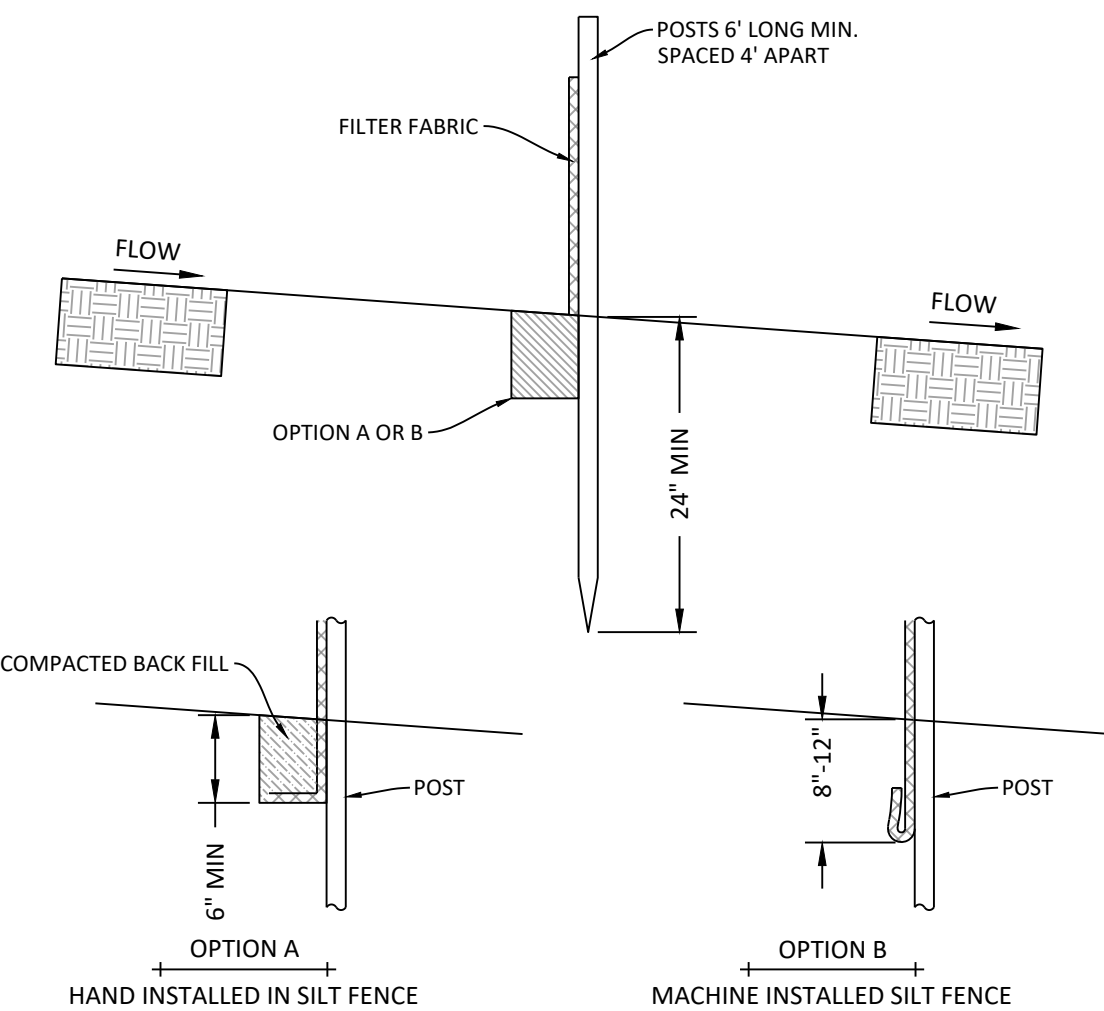
- NOTE:
- CONCRETE WASH OUT IS NOT REQUIRED IF CONTRACTOR IS PERFORMING WASHOUT ACTIVITIES OFF-SITE IN A LEGAL AND APPROPRIATE MANNER.

6 CONCRETE WASHOUT



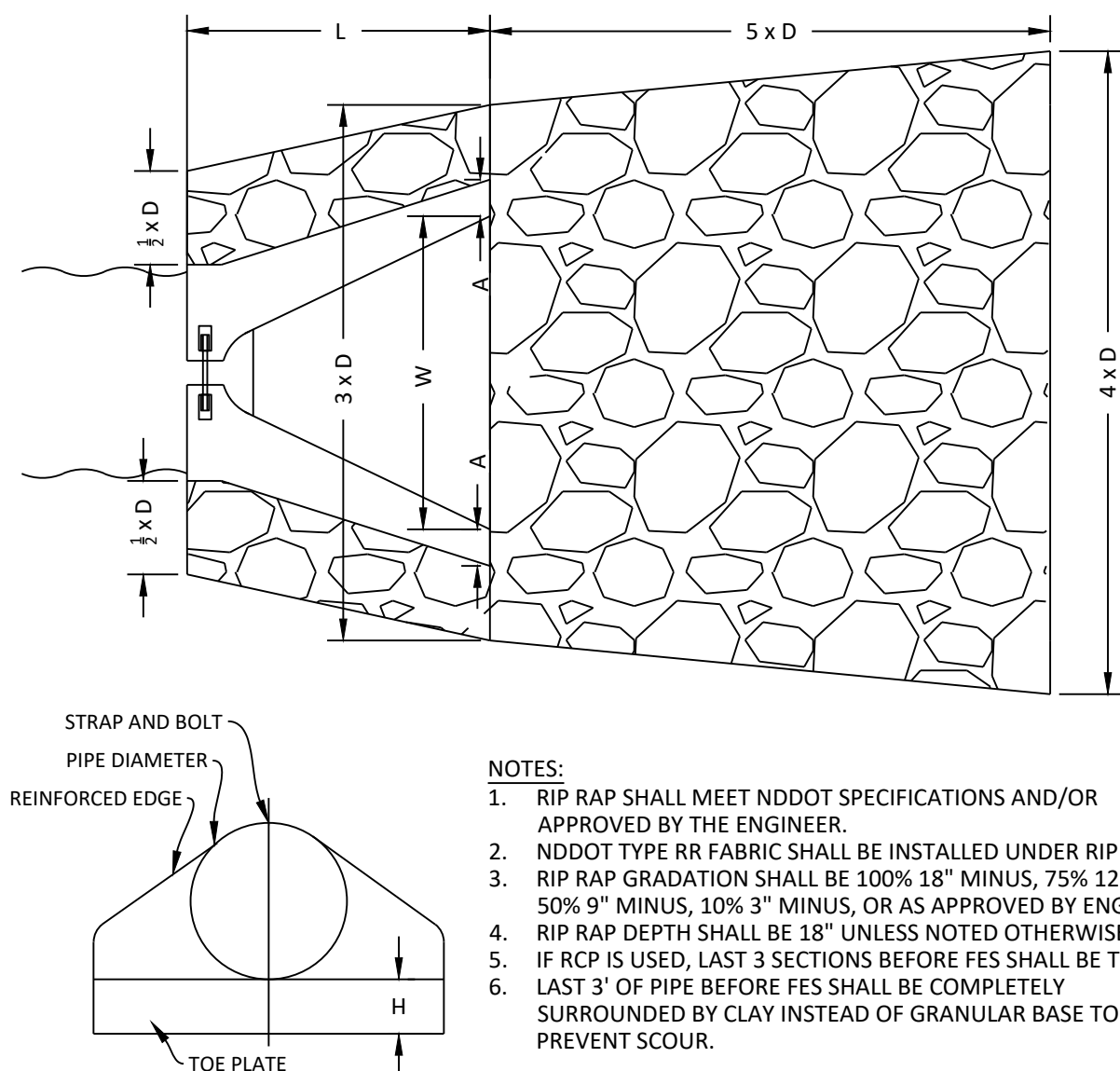
- NOTES:
1. ALL LIFTING HOLES TO BE PLUGGED & MORTARED WATER TIGHT.
 2. THE MOISTURE CONTENT OF THE AGGREGATE AT THE TIME OF COMPACTION SHALL BE NOT LESS THAN 2.0 PERCENTAGE POINTS BELOW, NOR MORE THAN 3.0 PERCENTAGE POINTS ABOVE THE OPTIMUM MOISTURE CONTENT.
 3. LAST 3' OF PIPE, MEASURED FROM BACK OF FLARED END SECTION, IS TO BE BEDDED IN CLAY AND NOT CLASS 5 OR CLASS 3 TO PROVIDE SCOUR PROTECTION.
 4. IF RCP PIPE IS USED, BEDDING ONLY REQUIRED TO SPRING LINE OF PIPE.

3 HDPE STORM SEWER AND CULVERT TRENCH DETAIL



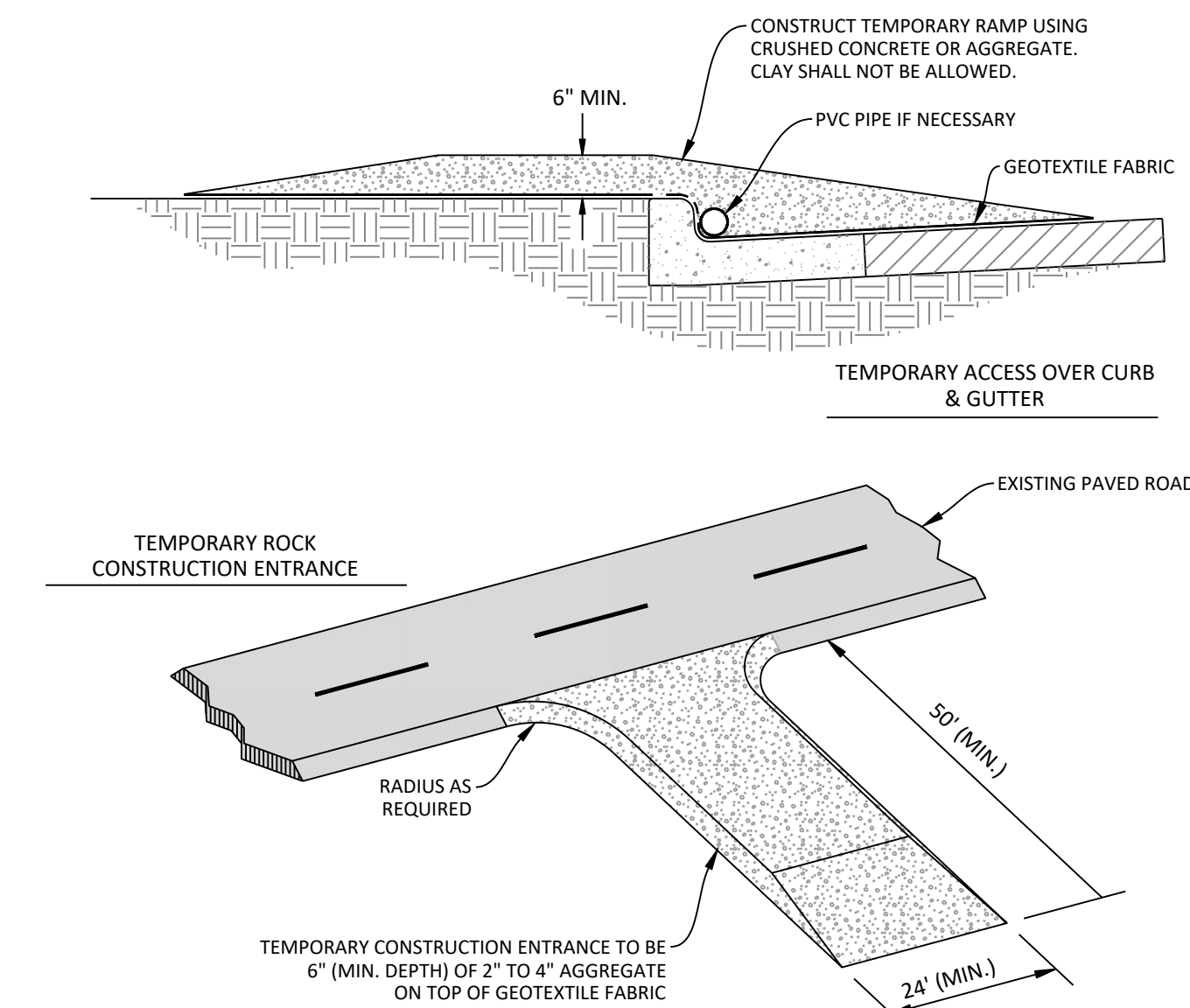
- NOTES:
1. POSTS SHALL BE 2 INCH DIAMETER ROUND WOOD, 1.5 INCH RECTANGULAR WOOD, OR STEEL WITH A MINIMUM OF 0.95 POUNDS PER FOOT AND HAVE PROJECTIONS FOR FASTENING WIRE OR FABRIC.
 2. FILTER FABRIC SHALL BE AS SPECIFIED IN AASHTO M 288 WITH A MINIMUM WIDTH OF 36 INCHES.
 3. SILT FENCE SHALL BE INSTALLED ALONG THE CONTOURS OF THE SITE SO WATER CANNOT FLOW AROUND THE END OF THE FENCE.
 4. IF JOINING TWO SECTION OF FILTER FABRIC, OVERLAP AT SUPPORT POSTS A MINIMUM OF 18 INCHES IN SUCH A MANNER THAT PREVENTS SILT FROM PASSING THROUGH THE FENCE.
 5. REMOVE SEDIMENT FROM SILT FENCE WHEN IT REACHES 3/4 OF THE EXPOSED HEIGHT OF ANY SECTION, OR AS DIRECTED BY THE ENGINEER. THE ENGINEER MAY DIRECT THE INSTALLATION OF ADDITIONAL SILT FENCE IF REMOVING THE SEDIMENT DEPOSIT IS NOT FEASIBLE.
 6. SILT FENCE SHALL BE INSPECTED EVERY 14 CALENDAR DAYS AND WITHIN 24 HOURS OF ANY STORM EVENT GREATER THAN 1/8" OF RAIN PER 24 HOUR PERIOD.

7 SILT FENCE INSTALLATION



- NOTES:
1. RIP RAP SHALL MEET NDDOT SPECIFICATIONS AND/OR APPROVED BY THE ENGINEER.
 2. NDDOT TYPE RR FABRIC SHALL BE INSTALLED UNDER RIP RAP.
 3. RIP RAP GRADATION SHALL BE 100% 18" MINUS, 75% 12" MINUS, 50% 9" MINUS, 10% 3" MINUS, OR AS APPROVED BY ENGINEER.
 4. RIP RAP DEPTH SHALL BE 18" UNLESS NOTED OTHERWISE.
 5. IF RCP IS USED, LAST 3 SECTIONS BEFORE FES SHALL BE TIED.
 6. LAST 3' OF PIPE BEFORE FES SHALL BE COMPLETELY SURROUNDED BY CLAY INSTEAD OF GRANULAR BASE TO HELP PREVENT SCOUR.

4 FES RIPRAP DETAIL

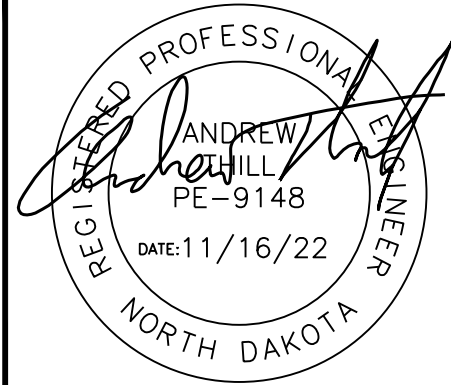


- NOTES:
1. A TEMPORARY CONSTRUCTION ENTRANCE SHALL BE CONSTRUCTED AT ALL LOCATIONS WHERE CONSTRUCTION VEHICLES OR EQUIPMENT ENTER OR EXIT THE CONSTRUCTION SITES.
 2. UPON COMPLETION OF THE PROJECT, THE CONTRACTOR SHALL REMOVE THE TEMPORARY CONSTRUCTION ENTRANCE UNLESS NOTED OTHERWISE, AND THE SITE SHALL BE RESTORED TO ITS PREVIOUS CONDITION.
 3. ENTRANCES SHALL BE MAINTAINED IN A MANNER TO MINIMIZE THE TRACKING OF SEDIMENT ONTO PAVED SURFACES.
 4. TEMPORARY ACCESS OVER EXISTING CURB AND GUTTER SHOULD BE LOCATED AT HIGH POINTS IN THE STREET IF POSSIBLE TO MAINTAIN STREET DRAINAGE.
 5. REMOVE TOPSOIL BEFORE CONSTRUCTION OF STABILIZED CONSTRUCTION ACCESS.

8 VEHICLE TRACKING PAD

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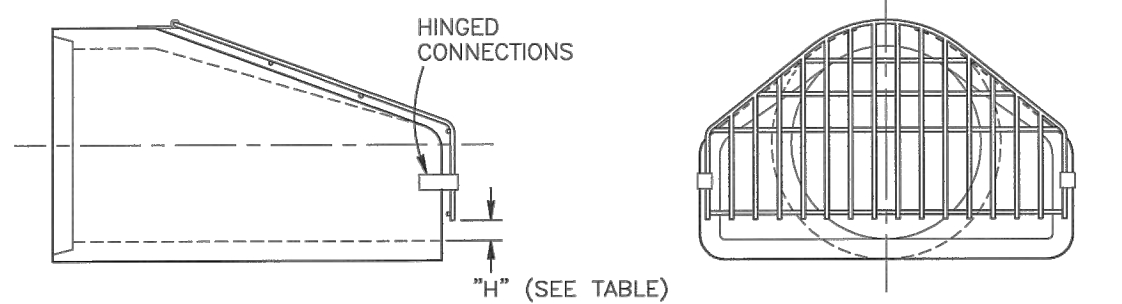
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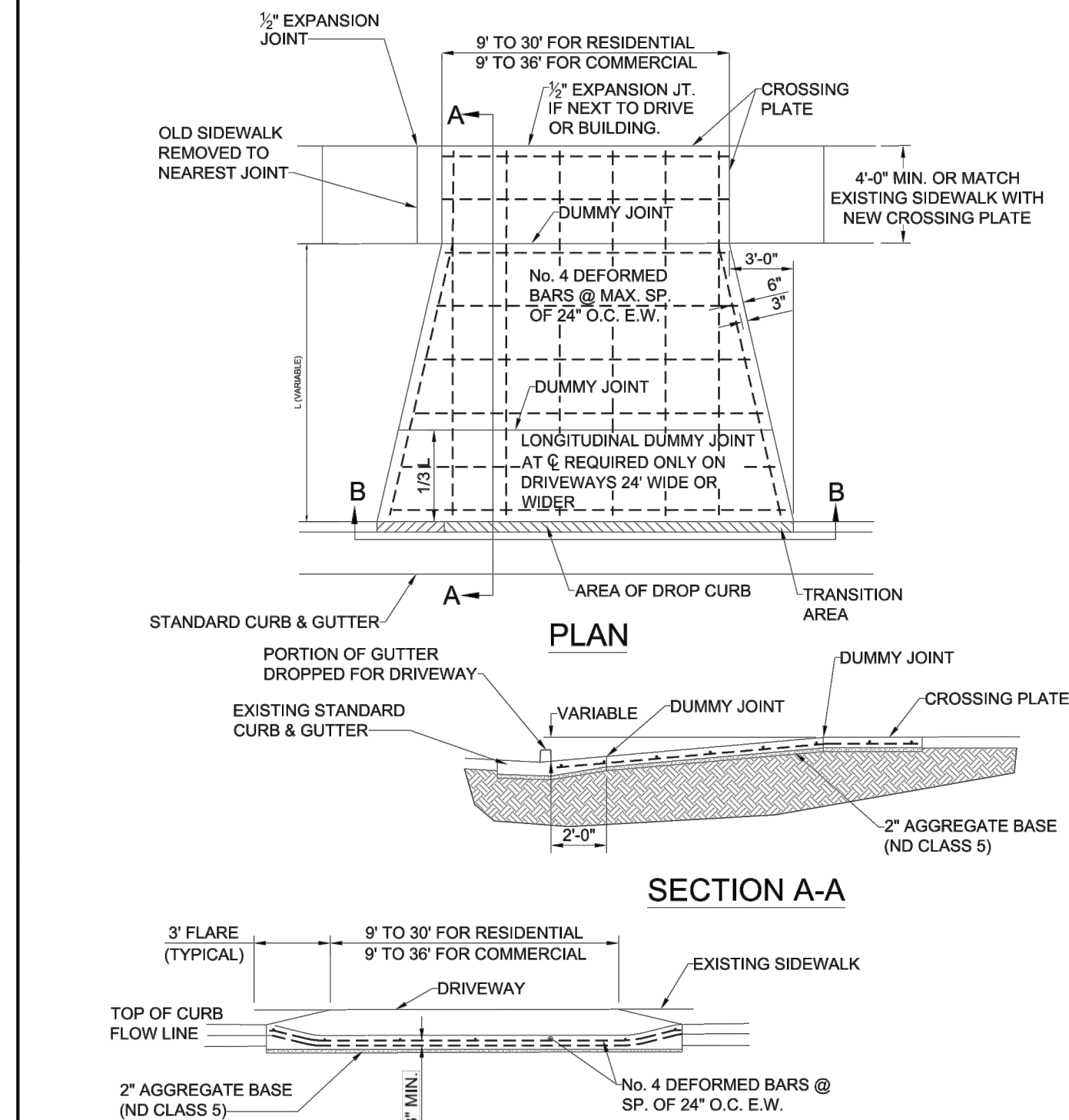
HOT DIP GALVANIZED PER MN/DOT 3392
OR ASTM-A153



BAR SIZES										
STANDARD DESIGN					HEAVY DESIGN					
	PIPE SIZE	HOLE DIA. REQ'D	BOLT DIA.	BAR SIZE		PIPE SIZE	HOLE DIA. REQ'D	BOLT DIA.	BAR SIZE	
ARCH	ROUND	12"-24"	3/4"	5/8"	5/8"	ROUND	12"-18"	3/4"	5/8"	3/4"
		27"-48"	7/8"	3/4"	3/4"		21"-42"	7/8"	3/4"	1"
		54"-90"	1 1/8"	1"	1"		48"-90"	1 1/8"	1"	1 1/4"
		22"-29"	3/4"	5/8"	5/8"		22"	3/4"	5/8"	3/4"
		36"-59"	7/8"	3/4"	3/4"		29"-51"	7/8"	3/4"	1"
		65"-88"	1 1/8"	1"	1"		59"-88"	1 1/8"	1"	1 1/4"
BOLT LG. = PIPEWALL THICKNESS + 2 1/2"										

VALUES FOR "H"			
ROUND PIPE		ARCH PIPE	
PIPE SIZE	H	PIPE SIZE	H
12"	2 1/2"	22"—29"	4"
15"	3"	36"—44"	5"
18"—24"	4"	51"—55"	6"
27"—36"	5"	73"—88"	7"
42"—54"	6"		
60"—72"	7"		
78"—90"	8"		

SECTION NO.	1500	DRAWING NO.	5.16
REV.D.	March, 1999		
<p align="center">TRASH GUARD FOR FLARED END SECTION</p>			
<p align="center">CITY OF FARGO ENGINEERING DEPARTMENT</p>			
APPROVED	BEO	DATE	2-21-2001



NOTE:
THICKNESS OF DRIVEWAYS SHALL BE:
6" FOR RESIDENTIAL
7" FOR COMMERCIAL AND INDUSTRIAL.
SEAL ALL EXPANSION JOINTS.

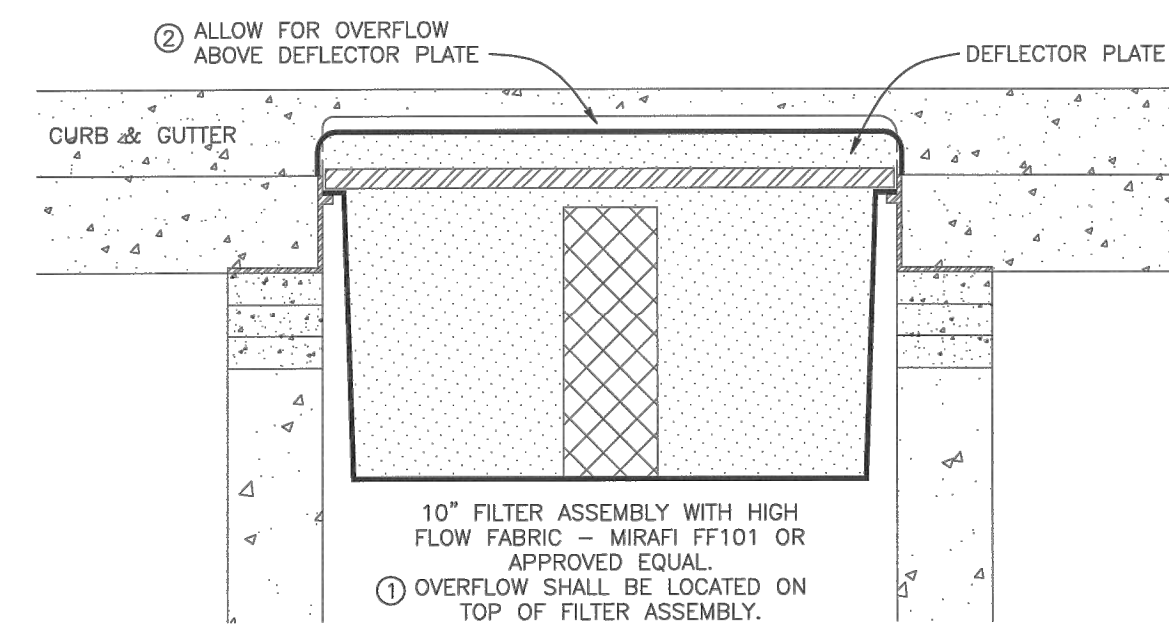
STANDARD PRIVATE
DRIVE ABUTTING
STANDARD CURB
N.T.S.

Rev No	Date	By	Description

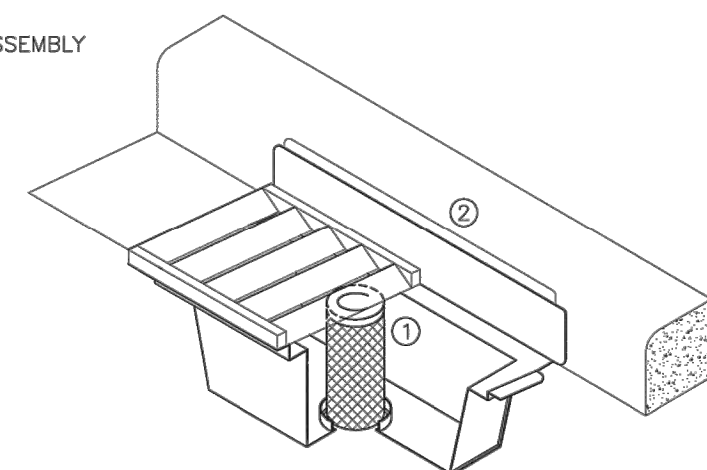


CITY OF HORACE STANDARD DRAWING
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D2



OVERFLOW ① - CENTER OF FILTER ASSEMBLY
OVERFLOW ② - TOP OF CURB BOX



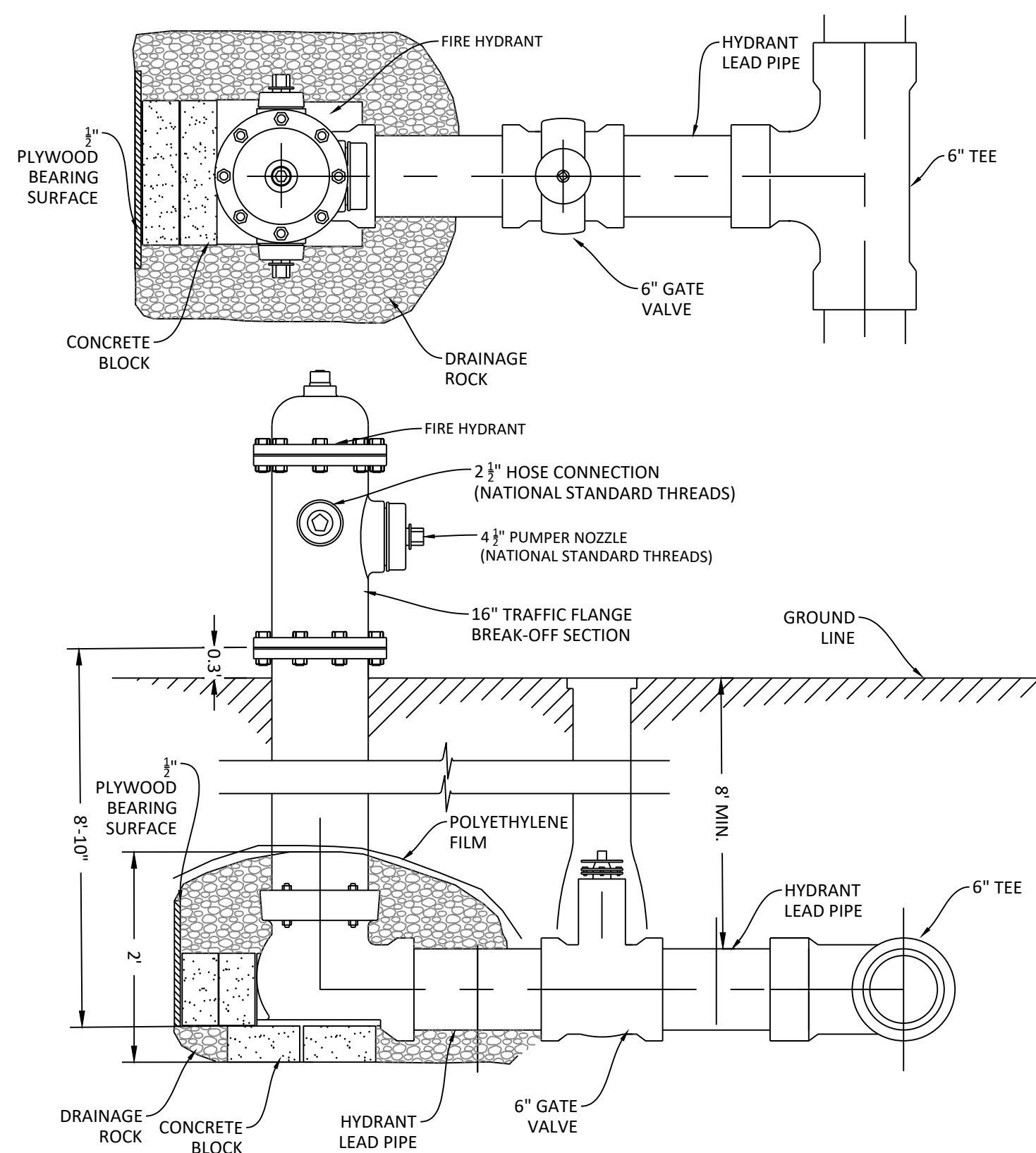
INSTALLATION:

- REMOVE THE INLET GRATE
- INSERT THE DEVICE INTO THE CASTING FRAME
- INSTALL GRATE INTO CASTING FRAME OVER TOP OF DEVICE

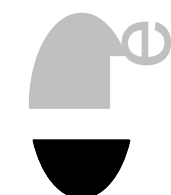
MAINTENANCE:

- CHECK REGULARLY & AFTER RAIN EVENTS. IF THE DEVICE IS FILLED WITH 1/3 OF ITS CAPACITY WITH SEDIMENT, EMPTY THE DEVICE.
- REMOVE DEBRIS AROUND THE INLET GRATE PRIOR TO REMOVING DEVICE

SECTION NO.	3300	DRAWING NO.	6.4
REV.D.	2012		
<i>STORM SEWER INLET PROTECTION: TYPE C</i>			
CITY OF FARGO ENGINEERING DEPARTMENT			
APPROVED	BEO		DATE 2-21-2012



4 FIRE HYDRANT CONNECTIONS

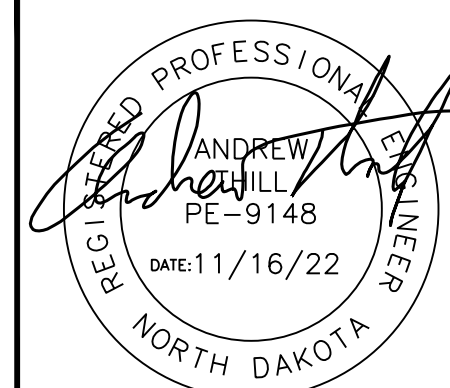


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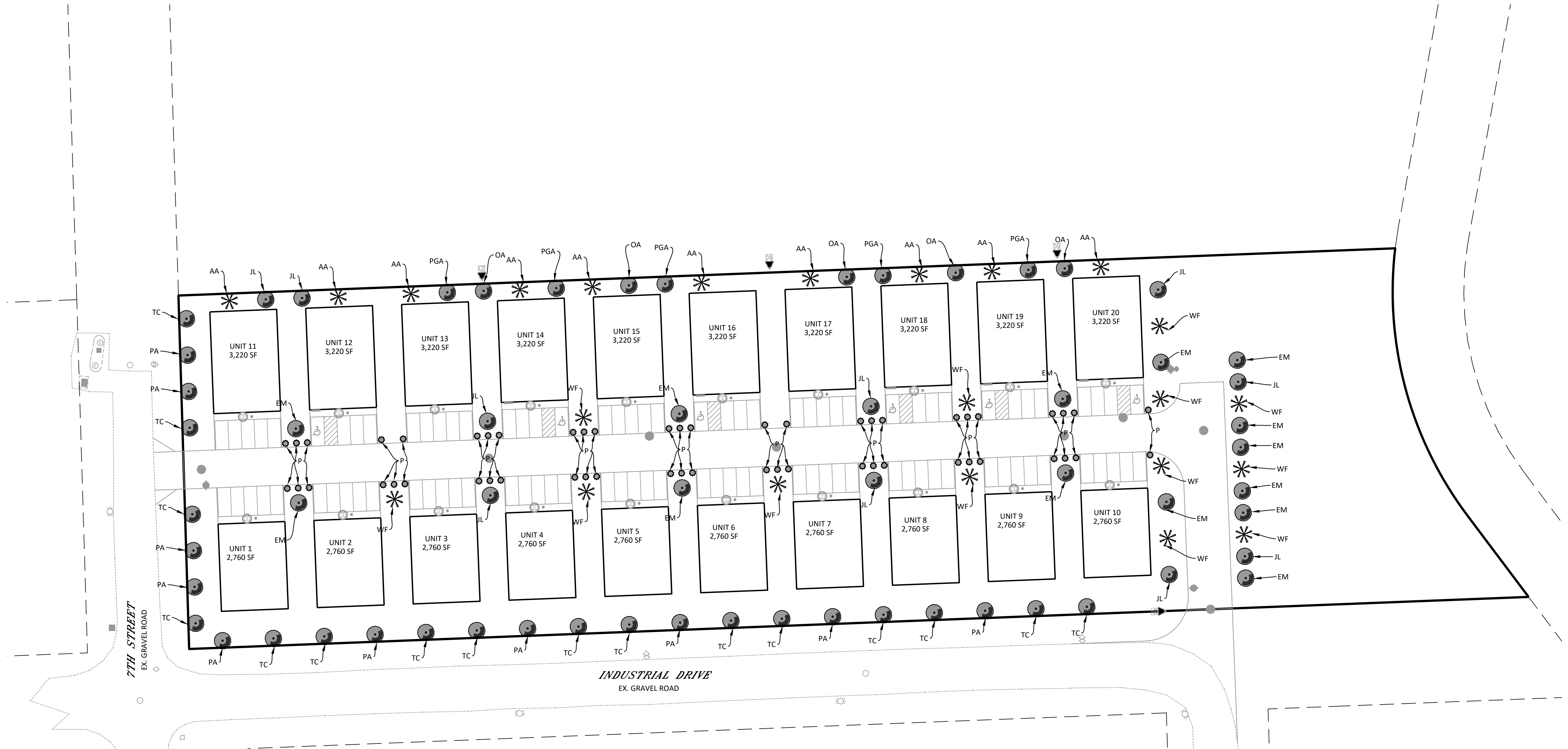


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DETAILS

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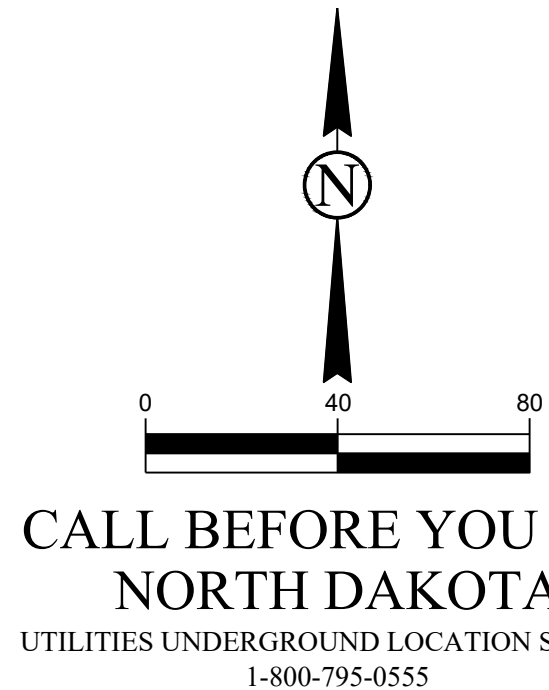


LANDSCAPING LEGEND				
SYMBOL	TYPE OF PLANT MATERIAL	PLANTING SIZE	PLANT UNITS PER EACH	#PLANTS EACH
	LARGE DECIDUOUS TREE	1.5 TO 3-INCH CALIPER AT TIME OF PLANTING >30 FOOT MATURE HEIGHT	10	60
	LARGE EVERGREEN TREE	6 FOOT HEIGHT AT TIME OF PLANTING >30 FOOT MATURE HEIGHT	10	23
	MATURE SHRUB PERENNIAL PLANTS	2 GALLON	5	54

LANDSCAPING REQUIREMENTS		
OPEN SPACE REQUIREMENTS		
CITY REQUIREMENTS	SITE REQUIREMENTS	PROVIDED
4 PLANT UNITS PER 1,000 SF OF LOT AREA	$\frac{209090}{1000} * 4 = 837$ PLANT UNITS	34 DECIDUOUS TREES 23 EVERGREEN TREES 54 PERENNIAL PLANTS $34*10 + 23*10 + 54*5 = 840$ PLANT UNITS
STREET TREE REQUIREMENTS		
CITY REQUIREMENTS	SITE REQUIREMENTS	PROVIDED
1 TREE PER 35 LF OF STREET FRONTAGE	880 LF / 35 = 25 TREES	26 DECIDUOUS TREES

- LANDSCAPING NOTES:
- THE CONTRACTOR SHALL FOLLOW ALL CITY OF HORACE LANDSCAPING STANDARDS.
 - ALL STREET TREES SHALL HAVE A MINIMUM 3' RADIUS MULCH RINGS INSTALLED AT THE TIME OF PLANTING. THIS SHALL NOT APPLY TO TREES WITHIN THE SITE.
 - THE LOWEST BRANCH OF ALL STREET TREES MUST BE 9.5' FROM GROUND.
 - THE CONTRACTOR SHALL PROVIDE A 1 YEAR WARRANTY ON ALL LANDSCAPE MATERIAL TO INCLUDE WORKMANSHIP FOR INSTALLATION FROM DATE OF FINAL ACCEPTANCE.
 - CONTRACTOR TO COORDINATE WITH MECHANICAL REGARDING LANDSCAPING IN AND AROUND AIR INTAKE OR EXHAUST UNITS.
 - CONTRACTOR TO ALLOW 5' CLEARANCE FROM UNDERGROUND UTILITY PIPING TO PLANTINGS.
 - ALL OTHER PLANTING / LANDSCAPE REQUIREMENTS PER FRANCHISE REQUIREMENTS.
 - ALL TREES SHALL BE APPROVED BY CITY FORESTER.

LANDSCAPING SCHEDULE			
COMMON NAME	QUANTITY	REQUIREMENT SATISFIED	PLANT UNITS PER EACH
EMBERS AMUR MAPLE (EM)	14	10 OPEN SPACE TREES (DECIDUOUS)	10
OAKLEAF MOUNTAIN ASH (OA)	5	10 OPEN SPACE TREES (DECIDUOUS)	10
JAPANESE LILAC TREE (JL)	10	10 OPEN SPACE TREES (DECIDUOUS)	10
PRAIRIE GEM FLOWERING PEAR (PGA)	5	5 OPEN SPACE TREE (DECIDUOUS)	10
THORNLESS COCKSPUR (TC)	16	16 STREET TREES (DECIDUOUS)	10
PRAIRIE ALDER (PA)	10	10 STREET TREES (DECIDUOUS)	10
WHITE FIR (WF)	13	13 OPEN SPACE TREE (EVERGREEN)	10
AMERICAN ARBORVITAE (AA)	10	10 OPEN SPACE TREE (EVERGREEN)	10
POTENTILLA (P)	54	54 OPEN SPACE SHRUBS	5



LOWRY
ENGINEERING
5306 51ST AVENUE SOUTH, SUITE A
FARGO, NORTH DAKOTA 58104

REVISIONS
REVISIONS PER OWNER - 09/02/2022
REVISIONS PER CITY/OWNER - 11/16/2022

VISTO'S SHOP CONDOS
990 7TH STREET EAST
HORACE, NORTH DAKOTA

LE JOB #	21131
PROJECT DATE:	11/16/2022
CHECKED BY:	SAS
DRAWN BY:	SAS
APPROVED BY:	AJT

LANDSCAPING PLAN

L-1

Jace Hellman

From: Thad Thorsness <thad@thorbuildings.com>
Sent: Thursday, January 19, 2023 5:03 PM
To: Jace Hellman
Cc: 'Kelly Visto (Kelly@bigervs.com)'
Subject: RE: Visto's Shop Condos - Renderings.pdf
Attachments: 18R-Detroit-Lakes-Digital.pdf

Jace,

The plan is to start with 6 buildings, 3 on the north side and 3 on the south side.

The wainscot on the front of the buildings will be Adorn Mortalress Stone Veneer.

We are also using a Crinkle Finish Paint System that will give the building more of an architectural look.

Thank You!
Thad Thorsness

Thor Buildings LLC
1218 55th St N
Fargo, ND 58102
701-200-9599
701-800-THOR
thorbuildings.com



From: Jace Hellman <jhellman@cityofhorace.com>
Sent: Thursday, January 19, 2023 12:32 PM
To: Thad Thorsness <thad@thorbuildings.com>
Subject: RE: Visto's Shop Condos - Renderings.pdf

Thank you for providing this Thad. A couple of follow up questions, do you happen to know if the project improvements are proposed to be constructed all at once, or if they will be done in phases, and if you have information on the siding, would you be able to provide that to me as well.

A heads up for you, with the adjustment of the Council meetings this month, the Planning and Zoning Commission meeting for January 24th will not take place. I will have this placed on the next meeting of the Planning and Zoning Commission; I will keep you posted on that date.

Best,



Jace Hellman | Community Development Director

Horace, ND | JHellman@CityofHorace.com

City Hall (701) 492-2972 | Cell (701) 552-1608

215 Park Drive E, PO Box 99, Horace, ND 58047

From: Thad Thorsness <thad@thorbuildings.com>

Sent: Thursday, January 19, 2023 11:46 AM

To: Jace Hellman <jhellman@cityofhorace.com>

Subject: Visto's Shop Condos - Renderings.pdf

Thank You!

Thad



Planning and Zoning Commissioner Application

PO Box 99 | 215 Park Dr. E | Horace, ND 58047

(701) 492-2972 | www.CityofHorace.Com

General Information

Name: _____

Address: _____

Phone: _____ Email: _____

Interests and Experiences

Are you a resident of the City of Horace: Yes ☐ No ☐

How long have you been a resident of the City of Horace:

1-3 Years ☐ 4-6 Years ☐ 7-9 Years ☐ 10-15 Years ☐ 15+ Years ☐

Why are you interested in serving on the Planning and Zoning Commission (Please Use Space Provided or provide separate attachment):

Are you able to regularly attend Planning and Zoning Commission Meetings: Yes ☐ No ☐

What knowledge, qualifications and or experiences do you feel you will be able to contribute to the Planning and Zoning Commission (Please Use Space Provided or provide separate attachment):

Conflict of Interest

This may arise by the participation in any activity, recommended action, or decision from which you receive or could potentially receive direct or indirect personal financial gain, or other personal interest. A conflict of interest may also occur if you hold a private or other public position in addition to your City Board and/or Commission which may interfere with your discharge of your City responsibilities.

In accordance with these definitions, do you have any legal or equitable interest in any business, however organized, which during your participation in the Planning and Zoning Commission, could give rise to a conflict of interest?

Yes ☐ No ☐

Signature: _____ Date: _____

Please deliver a copy the completed application and copy of your current resume to Horace City Hall, 215 Park Drive E, Horace, ND 58047, or send via email to JHellman@CityofHorace.gov.