



**NOTICE AND AGENDA
ZONING BOARD OF ADJUSTMENT
DECEMBER 30, 2020 – 4:00 P.M.
REGULAR MEETING
EDINBURG CITY HALL
415 W UNIVERSITY DRIVE
EDINBURG, TEXAS 78541**

1. Call meeting to order, establish quorum
 - A. Prayer
 - B. Pledge of Allegiance
1. Certification of public notice
2. Public Comments
 - A. Public Comments are limited to three (3) minutes. If a resident desires to make a public comment, please notify the Chairperson prior to the start of the meeting. A spokesperson for large groups is required. We ask for everyone's cooperation in following these procedures.
3. The following are the meeting procedures used by the Zoning Board of Adjustment:
 - A. All items are generally considered as they appear on the agenda. As each item is introduced:
 - B. Staff will present its findings and recommendation on the item being considered.
 - C. The party making the request may make a presentation and may address the Board on any issues arising during the discussion of the item being considered.
 - D. Anyone in the audience desiring to speak in favor or in opposition may do so. A 3-5 minute time limit will be given to each person interested in speaking on the item. The use of a spokesperson for large groups of people will be required.
 - E. Once the Chair closes the public hearing, the Board may question anyone and maintain any discussion which clarifies the proposal and will then take what action it believes to be appropriate.
 - F. A minimum of four votes are required for an item to be approved by the Board.
4. Consider excusing the absence of Board Member Alex Rios from the November 18, 2020 Regular Meeting.
5. Consider excusing the absence of Board Member Mario Escobar from the November 18, 2020 Regular Meeting.

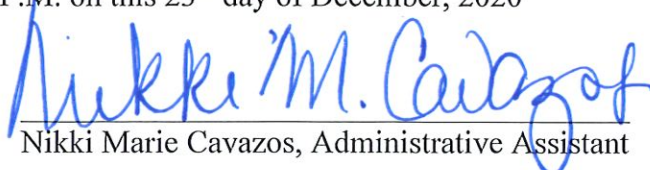
ZONING BOARD OF ADJUSTMENT
REGULAR MEETING
DECEMBER 30, 2020
PAGE 2

6. Consider excusing the absence of Board Member George Cardenas from the November 18, 2020 Regular Meeting.
7. Consider excusing the absence of Board Member Jorge Ortegon from the November 18, 2020 Regular Meeting.
8. Consider approval of the Minutes for the November 18, 2020 Regular Meeting
9. Consider Variance to the City's Unified Development Code Article 3, Section 3.301 Single Family Detached, Being Lot 5, Block 323, Edinburg Original Townsite, located at 418 East Stubbs, as requested by Lydia Ortega
10. Consider Variance to the City's Unified Development Code Article 4, Section 4.203 Standards for New Construction, being a tract of land containing 0.5985 of one acre (26,069 Square Feet) situated in the City of Edinburg, Hidalgo County, Texas, being part or portion of Lot 11, 281 Estates Subdivision, located at 700 West Orange Avenue, as requested by Steve Ferguson
11. Consider Variance to the City's Unified Development Code Article 3, Section 3.301 Single Family Residential Bulk Standards, Setbacks, being Lot 31, Santa Gloria Subdivision, located at 4714 Uranus Street, as requested by Alejandro Montelongo
12. Consider Variance to the City's Unified Development Code Article 3, Section 3.301 Single Family Residential Bulk Standards, Setbacks, being a 0.50 of an acre tract of land, being a portion of Lot 4, Section 237, Texas-Mexican Railway Company's Survey, located at 3504 West Mile 17 ½ Road, as requested by Rosio Carr
13. Consider Variance to the City's Unified Development Code Article 3, Section 3.301 Single Family Residential Bulk Standards, Setbacks, being a tract out of Lot 16, Section 240, Texas-Mexican Railway Company's Subdivision, located at the northeast corner of Russel Road and North Roel Bazan Road, as requested by Abraham Quiroga
14. Consider Variance to the City's Unified Development Code Article 3, Section 3.304 Non Residential Bulk Requirements, Setbacks, being 0.213 acres more or less out of a 16.1 acre tract out of Lot 11, Section 271, Texas- Mexican Railway Company's Survey, located at 1927 Tourist Drive, as requested by Jorge Ocaña Jr.
15. Discussion

A. Future Meetings

16. Adjournment

I hereby certify that this notice of meeting was posted in accordance with the Open Meetings Act, V.T.C.A., Government Code, Section 551.041, at the bulletin board located at the main entrance to the City offices of the City of Edinburg, (415 West University Drive), visible and accessible to the general public after regular working hours, at 5:00 P.M. on this 23rd day of December, 2020


Nikki Marie Cavazos, Administrative Assistant

**MEMBERS WHO ARE UNABLE TO ATTEND ARE ASKED TO NOTIFY
THE PLANNING AND ZONING DEPARTMENT AT 388-8202**

NOTICE

PERSONS WITH DISABILITIES WHO NEED TO COMMUNICATE MORE EFFECTIVELY WITH CITY OFFICIALS AND WHO MAY NEED AUXILIARY AIDS OR SERVICES SUCH AS INTERPRETERS FOR PERSONS WHO ARE DEAF OR HEARING IMPAIRED ARE REQUESTED TO CONTACT THE OFFICE OF THE CITY SECRETARY AT (956) 388-8204 THREE WORKING DAYS PRIOR TO ANY MEETING SO THAT APPROPRIATE ARRANGEMENTS CAN BE MADE.

Memo

To: Zoning Board of Adjustment Board Members
From: Nikki Marie Cavazos, Administrative Assistant
Subject: Board Members Absence
Date: December 23, 2020

This is to advise you that action needs to be taken with regards to the absence of Board Member Mr. Alex Rios from the November 18, 2020 Regular Meeting.

Should you have any questions, you may call me at 956-388-8202.

Memo

To: Zoning Board of Adjustment Board Members

From: Nikki Marie Cavazos, Administrative Assistant

Subject: Board Members Absence

Date: December 23, 2020

This is to advise you that action needs to be taken with regards to the absence of Board Member Mr. Mario Escobar from the November 18, 2020 Regular Meeting.

Should you have any questions, you may call me at 956-388-8202.

Memo

To: Zoning Board of Adjustment Board Members

From: Nikki Marie Cavazos, Administrative Assistant

Subject: Board Members Absence

Date: December 23, 2020

This is to advise you that action needs to be taken with regards to the absence of Board Member Mr. George Cardenas from the November 18, 2020 Regular Meeting.

Should you have any questions, you may call me at 956-388-8202.

Memo

To: Zoning Board of Adjustment Board Members

From: Nikki Marie Cavazos, Administrative Assistant

Subject: Board Members Absence

Date: December 23, 2020

This is to advise you that action needs to be taken with regards to the absence of Board Member Mr. Jorge Ortegon from the November 18, 2020 Regular Meeting.

Should you have any questions, you may call me at 956-388-8202.

**NOTICE AND AGENDA
ZONING BOARD OF ADJUSTMENT
NOVEMBER 18, 2020 -4:00 P.M.
REGULAR MEETING
EDINBURG CITY HALL
415 W UNIVERSITY DRIVE
EDINBURG, TEXAS 78541**

MEMBERS PRESENT

Juan R. Lopez
Samuel Simon
Jason De Leon
Eddie Garza
Andre Maldonado

MEMBERS ABSENT

Mario Escobar
George Cardenas
Alex Rios
Jorge Oregon

STAFF

Brian Kelsey, Assistant City Manager
Kimberly A. Mendoza, Director of Planning & Zoning
Omar Ochoa, City Attorney
Patrizia Longoria, Engineer III
Omar Garza, Deputy Chief
Rita L. Guerrero, Urban Planner
Jessica Lee Ramirez, Urban Planner
Nikki M. Cavazos, Administrative Assistant

VISITORS

Araceli Doud	Mario Reyna
Nancy Perez	Jose Villarreal
Alfonso Quintanilla	Arnoldo Perez Jr.

1. CALL MEETING TO ORDER, ESTABLISH QUORUM:

The meeting was formally called to order by Chairperson, Mr. Juan Lopez, Chair at 4:04 PM.

- A. Prayer- Announced by Chairperson Mr. Juan R. Lopez
- B. Pledge of Allegiance- Announced by Board Member Mr. Eddie Garza

2. CERTIFICATION OF PUBLIC NOTICE

Chairperson, Mr. Juan Lopez, verified the posting of the Zoning Board of Adjustment meeting notice and its compliance with the Open Meetings Act. Staff indicated the agenda had been posted on Friday, October 23, 2020 at 5:00 PM

3. PUBLIC COMMENTS

- A. Public Comments are limited to three (3) Minutes. If a resident desires to make a public comment, please notify the Chair Person prior to the start of the meeting. A spokesperson for large groups is required. We ask for everyone's cooperation in following these procedures.

ZONING BOARD OF ADJUSTMENT MINUTES
NOVEMBER 18, 2020
PAGE 2

4. The following are the meeting procedures used by the Zoning Board of Adjustments:

Chairperson Mr. Juan Lopez, reviewed the meeting procedures used by the Zoning Board of Adjustment. The procedures were as follows:

- A. All items are generally considered as they appear on the agenda.
 - B. Staff will present its findings and recommendation on the item being considered.
 - C. The party making the request may make a presentation and may address the Board on any issues arising during the discussion of the item being considered.
 - D. Anyone in the audience desiring to speak in favor or in opposition may do so. A 3-5 minute time limit will be given to each person interested in speaking on the item. The use of a spokesperson for large groups of people will be required.
 - E. Once the Chair closes the public hearing, the Board may question anyone and maintain any discussion which clarifies the proposal and will then take what action it believes to be appropriate.
 - F. A minimum of four votes are required for an item to be approved by the Board.
5. Consider excusing the absence of Board Member Andre Maldonado from the October 28, 2020 Regular Meeting.

MOTION WAS MADE BY BOARD MEMBER MR. SAMUEL SIMON AND SECONDED BY BOARD MEMBER MR. EDDIE GARZA TO EXCUSE THE ABSENCE OF BOARD MEMBER MR. ANDRE MALDONADO FROM THE OCTOBER 28, 2020 REGULAR MEETING. MOTION WAS CARRIED 4-1, MR. ANDRE MALDONADO ABSTAINED

6. Consider excusing the absence of Board Member Mario Escobar from the October 28, 2020 Regular Meeting

MOTION WAS MADE BY BOARD MEMBER MR. SAMUEL SIMON AND SECONDED BY BOARD MEMBER MR. EDDIE GARZA TO EXCUSE THE ABSENCE OF BOARD MEMBER MR. MARIO ESCOBAR FROM THE OCTOBER 28, 2020 REGULAR MEETING. MOTION WAS CARRIED UNANIMOUSLY

7. Consider excusing the absence of Board Member Eddie Garza from the October 28, 2020 Regular Meeting

MOTION WAS MADE BY BOARD MEMBER MR. SAMUEL SIMON AND SECONDED BY BOARD MEMBER MR. ANDRE MALDONADO TO EXCUSE THE ABSENCE OF BOARD MEMBER MR. EDDIE GARZA FROM THE OCTOBER 28, 2020 REGULAR MEETING. MOTION WAS CARRIED 4-1, MR. EDDIE GARZA ABSTAINED.

**ZONING BOARD OF ADJUSTMENT MINUTES
NOVEMBER 18, 2020
PAGE 3**

8. Consider approval of the Minutes for the September 30, 2020 Regular Meeting

MOTION WAS MADE BY BOARD MEMBER MR. SAMUEL SIMON AND SECONDED BY BOARD MEMBER MR. EDDIE GARZA TO APPROVE THE MINUTES FOR THE SEPTEMBER 30, 2020 REGULAR MEETING. MOTION CARRIED UNANIMOUSLY.

9. Consider approval of the Minutes for the October 28, 2020 Regular Meeting

MOTION WAS MADE BY BOARD MEMBER MR. SAMUEL SIMON AND SECONDED BY BOARD MEMBER MR. EDDIE GARZA TO APPROVE THE MINUTES FOR THE OCTOBER 28, 2020 REGULAR MEETING. MOTION CARRIED UNANIMOUSLY.

10. Consider Variance to the City's Unified Development Code Article 3, Section 3.403 (D) Weak Link Townhouse & Townhouse Units, being Lots 9, 10, 11, Lemon Tree Subdivision, located at 2010, 2012, and 2014 Lemon Tree Court, As Requested by Gustavo Casas

MOTION WAS MADE BY BOARD MEMBER MR. EDDIE GARZA AND SECONDED BY BOARD MEMBER MR. JASON DE LEON TO APPROVE THE VARIANCE REQUEST OF GUSTAVO CASAS TO ALLOW THE FOLLOWING SETBACKS: FRONT 19 FEET, 6 INCHES, SIDE 0 FEET, REAR 7.5 FEET, SIDE CORNER 0 FEET, TO REPLICATE THE SURROUNDING HOMES IN THE AREA, MOTION CARRIED UNANIMOUSLY

11. Consider Variance Request to the City's Unified Development Code, Article 3, Section 3.304, Non Residential Bulk Requirements, being Lot 1, Corral & Company Subdivision, located at 3107 S. Business Highway 281, As Requested by Riverfront Leasing

MOTION WAS MADE BY BOARD MEMBER MR. JASON DE LEON AND SECONDED BY BOARD MEMBER MR. ANDRE MALDONADO TO APPROVE THE VARIANCE REQUEST OF RIVERFRONT LEASING TO ALLOW THE ENCROACHMENT OF 10 FEET ON THE NORTH SIDE AND 3 FEET, 4 INCHES ON THE SOUTHSIDE FOR THE EXISTING BUILDING, MOTION CARRIED UNANIMOUSLY

12. Consider Variance Request to the City's Unified Development Code, Article 2, Section 2.301 (D) Fences, being Lot 43, Borderland Retreat R.V. and Mobile Home Subdivision Phase I, located at 5213 Kaat Street, As Requested by Araceli Doud

MOTION WAS MADE BY BOARD MEMBER MR. EDDIE GARZA AND SECONDED BY BOARD MEMBER MR. ANDRE MALDONADO TO APPROVE THE VARIANCE REQUEST OF MS. ARACELI DOUD FOR AN EXISTING EIGHT FOOT FENCE ALONG THE SIDE YARDS AND SUBJECT TO THE CONDITION FOR THE FRONT YARD FENCE (20 FEET) MUST BE OF NON OPAQUE MATERIAL, MOTION CARRIED FOUR TO ONE, CHAIRPERSON MR. JUAN LOPEZ OBJECTED

**ZONING BOARD OF ADJUSTMENT MINUTES
NOVEMBER 18, 2020
PAGE 4**

13. Consider Variance Request to the City's Unified Development Code, Article 2, Section 2.301 (D) Fences Facing or Abutting a Golf Course, being Lot 20, Los Lagos Phase I Subdivision, located at 2131 Arlina Drive, As Requested by Artemio Chapa

MOTION WAS MADE BY BOARD MEMBER MR. SAMUEL SIMON AND SECONDED BY BOARD MEMBER MR. EDDIE GARZA TO APPROVE THE VARIANCE REQUEST OF MR. ARTEMIO CHAPA TO ALLOW FOR A FENCE AS PRESENTED TO THE BOARD, MOTION CARRIED UNANIMOUSLY

14. Consider Variance Request to the City's Unified Development Code, Article 2, Section 2.301 (D) Fences Facing or Abutting a Golf Course, being Lot 11, Los Lagos Phase I Subdivision, located at 2312 Arlina Drive, As Requested by Jose Villarreal

MOTION WAS MADE BY BOARD MEMBER MR. SAMUEL SIMON AND SECONDED BY BOARD MEMBER MR. EDDIE GARZA TO APPROVE THE VARIANCE REQUEST OF MR. JOSE VILLARREAL TO ALLOW CONSTRUCTED FENCE AS PRESENTED TO THE BOARD, MOTION CARRIED FOUR TO ONE, BOARD MEMBER MR. JASON DE LEON OBJECTED

15. Consider Variance Request to the City's Unified Development Code, Article 3, Section 3.301, Single Family Residential Bulk Standards, Setbacks, being Lot 7 and the West 25 feet of Lot 8, Block 3, Ebony Terrace Subdivision, located at 1032 West Ebony Drive, As Requested by Arnoldo Perez Jr.

BOARD MEMBER MR. JASON DE LEON WAS DISCONNECTED FROM THE MEETING

MOTION WAS MADE BY BOARD MEMBER MR. ANDRE MALDONADO AND SECONDED BY BOARD MEMBER MR. EDDIE GARZA TO APPROVE THE VARIANCE REQUEST OF MR. ARNOLDO PEREZ JR. TO ALLOW CARPORT AS PRESENTED TO THE BOARD, DUE TO LACK OF UNANIMOUS DECISION, MOTION WAS DENIED THREE TO ONE, CHAIRPERSON MR. JUAN LOPEZ OBJECTED

16. Consider Variance Request to Article 3, Section 3.301 Single Family Residential Bulk Standards, Setbacks, being Lots 4, 5, 8, 9, 13-16, 25, 26, 31-33, 39, 42, 44, 48, 49, 59, 61, 63, and 64, located at Soñador Coves Phase I Subdivision, As Requested by Melden and Hunt, Inc.

BOARD MEMBER MR. JASON DE LEON JOINED THE MEETING

MOTION WAS MADE BY BOARD MEMBER MR. EDDIE GARZA AND SECONDED BY BOARD MEMBER MR. JASON DE LEON TO APPROVE THE VARIANCE REQUEST OF MELDEN AND HUNT, INC., MOTION CARRIED UNANIMOUSLY

City Attorney, Mr. Omar Ochoa, suggested for the Zoning Board of Adjustments Board to schedule a discussion with City Council regarding the City's Unified Development Code Article 2, Section 2.301 (D) Fences Facing or Abutting a Golf Course to discuss modification of the ordinance.

**ZONING BOARD OF ADJUSTMENT MINUTES
NOVEMBER 18, 2020
PAGE 5**

17. ADJOURNMENT

There being no further business to consider, the meeting was adjourned at 5:46 P.M.

BOARD MEMBER MR. JASON DE LEON DISCONNECTED FROM THE MEETING

BOARD MEMBER MR. ANDRE MALDONADO DISCONNECTED FROM THE MEETING

**MOTION WAS MADE BY BOARD MEMBER MR. SAMUEL SIMON AND SECONDED BY
CHAIRPERSON MR. JUAN LOPEZ TO ADJOURN THE MEETING AT 5:46 P.M.
MOTION CARRIED UNANIMOUSLY**

Juan R. Lopez, Chairperson

Minutes Transcribed By: Nikki Marie Cavazos

ZONING BOARD OF ADJUSTMENT REGULAR MEETING
December 30, 2020

Item: Consider Variance to the City's Unified Development Code Article 3, Section 3.301, Temporary Placement of a Single Family Detached, Being Lot 5, Block 323, Edinburg Original Townsite, Located at 418 East Stubbs Street, As Requested By Lydia Ortega

Request:

The applicant is requesting a variance to the City's Unified Development Code Article 3, Section 3.301, Temporary Placement of a Single Family Detached. The applicant stated that the basis for the request is to allow the current home be in place until construction of a new home is completed.

Property Location and Vicinity:

The property is located on the south side of East Stubbs Street approximately 100 feet west of South 15th Avenue. The property currently has a single family residential dwelling unit and has 50 feet of frontage along East Stubbs Street and a depth of 142 feet for a lot size of 7,100 square feet. The property is zoned Neighborhood Conservation 7.1 (NC 7.1) District, which allows for single family residential development. Surrounding zoning is Neighborhood Conservation 7.1 (NC 7.1) District in all directions.

Background and History:

This property is part of the Edinburg Original Townsite and consists of single family residential homes. According to the Hidalgo County Appraisal District records, the current home was built in 1968 and consists of 648 square feet. A building permit was submitted to the City of Edinburg on November 13, 2020 and was denied based on the fact that there is a single family dwelling unit on the property.

Staff mailed a notice of the variance request to forty-three (43) neighboring property owners and received 1 comment in favor and none against this request at the time of this report.

Analysis:

The applicant is requesting authorization to keep the home on the property throughout the duration of construction of the new residence.

Recommendation

Staff recommends disapproval of the variance request. If approved, the applicant will need to comply with all other requirements during the permitting process including but not limited to building and fire codes, fire protection, parking, landscape buffer-yards, solid waste services, utility, pay a \$40 fee payable to the County of Hidalgo, County Clerk's Office for the recording of the ZBA order on this request, and any other City requirements, as applicable. A location map, aerial map, photo, subdivision plat, site plan, and response from property owner are attached for the Board's consideration.

Prepared By:
Rita Lee Guerrero
Urban Planner



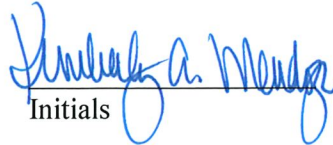
Initials

12/18/2020

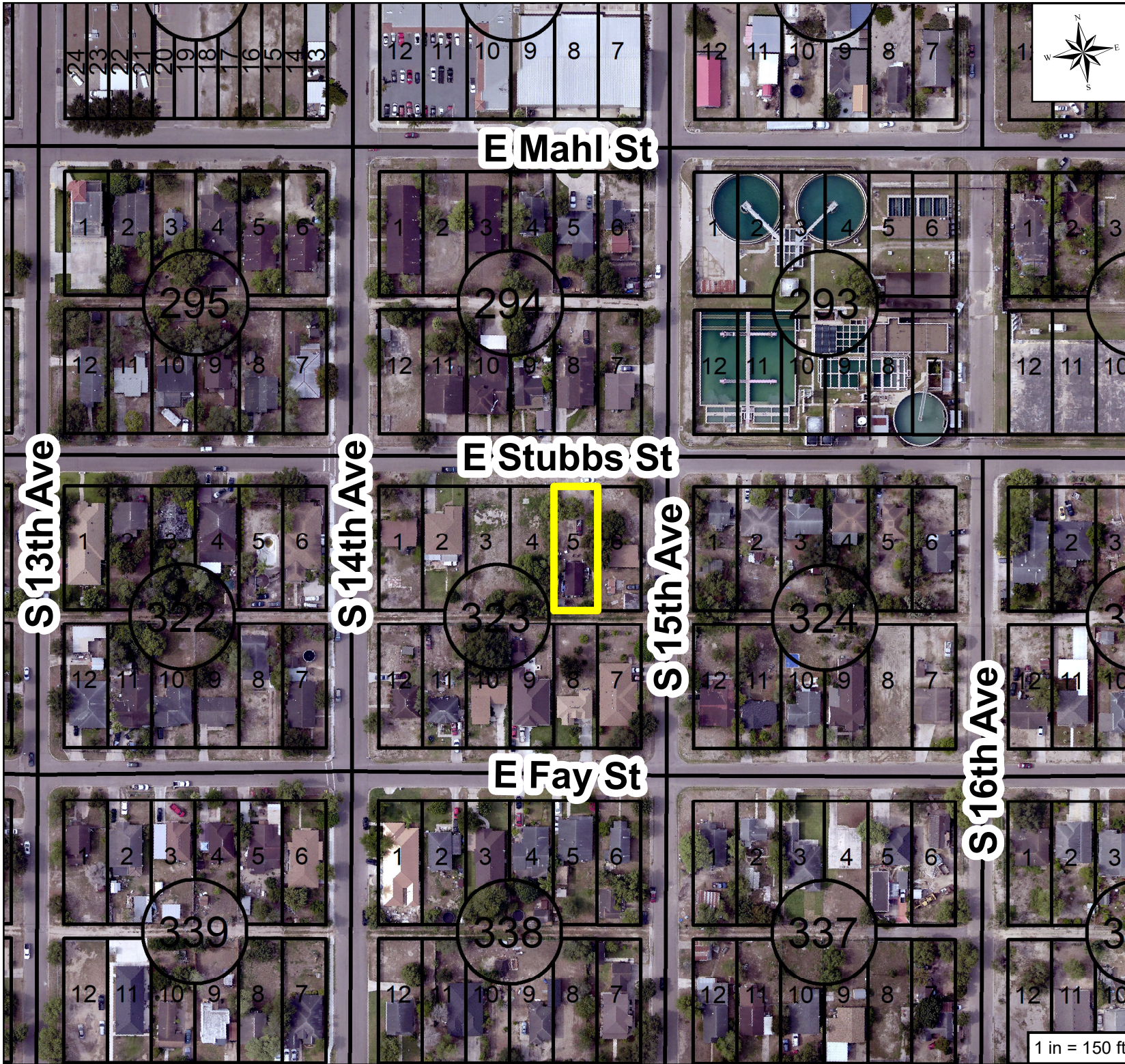
Date

Lydia Ortega
Page 2

Approved By:
Kimberly A. Mendoza, MPA
Director of Planning & Zoning


Initials


Date



AERIAL MAP



CASE CAPTION:

APPLICANT NAME:

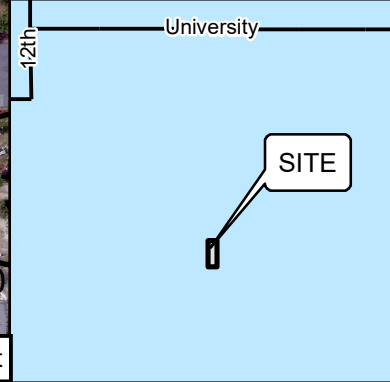
LYDIA ORTEGA

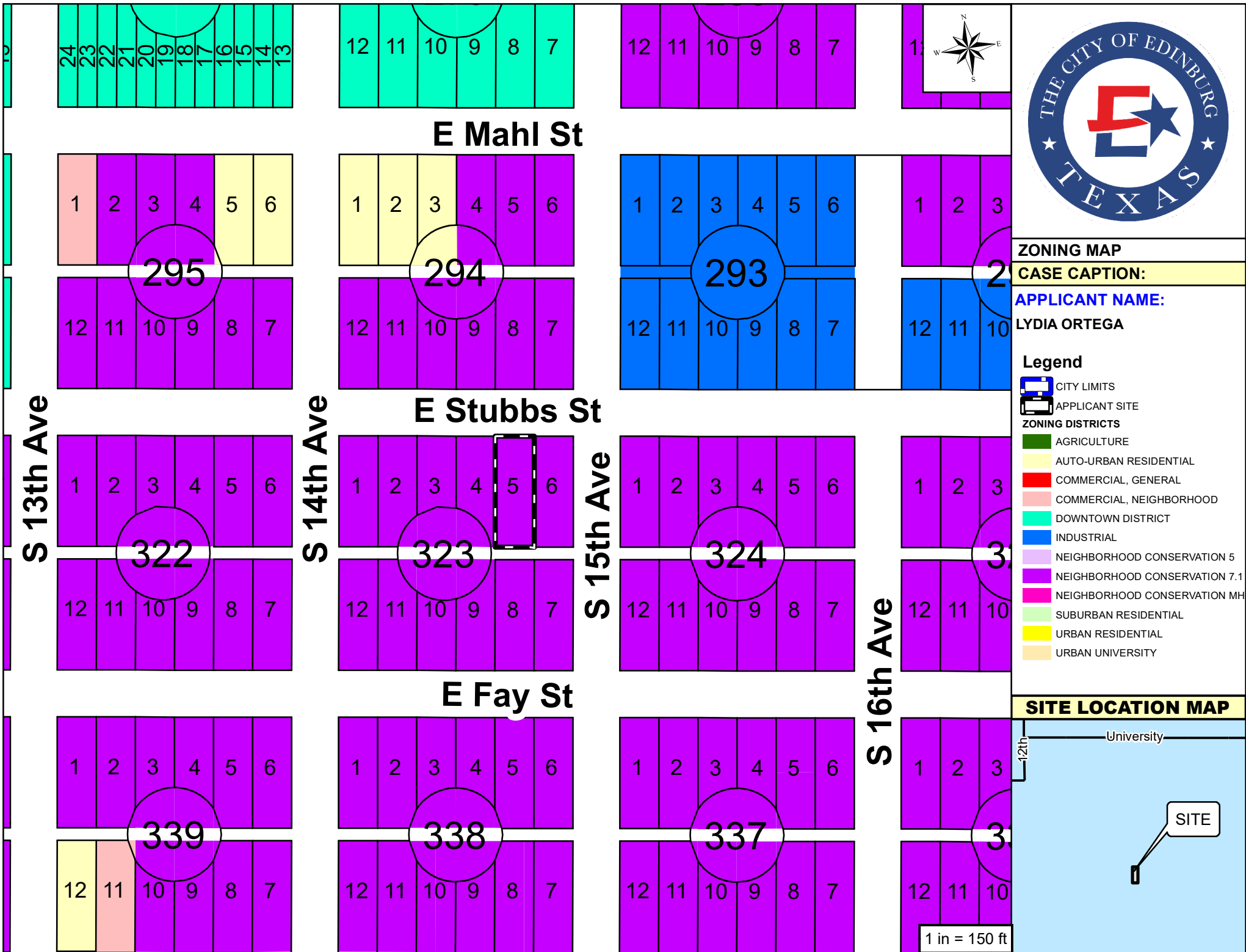
CONSIDER VARIANCE TO THE CITY'S UNIFIED DEVELOPMENT CODE ARTICLE 3, SECTION 3.301, SINGLE FAMILY DETACHED, BEING LOT 5, BLOCK 323, EDINBURG ORIGINAL TOWNSITE, LOCATED AT 418 EAST STUBBS, AS REQUESTED BY LYDIA ORTEGA

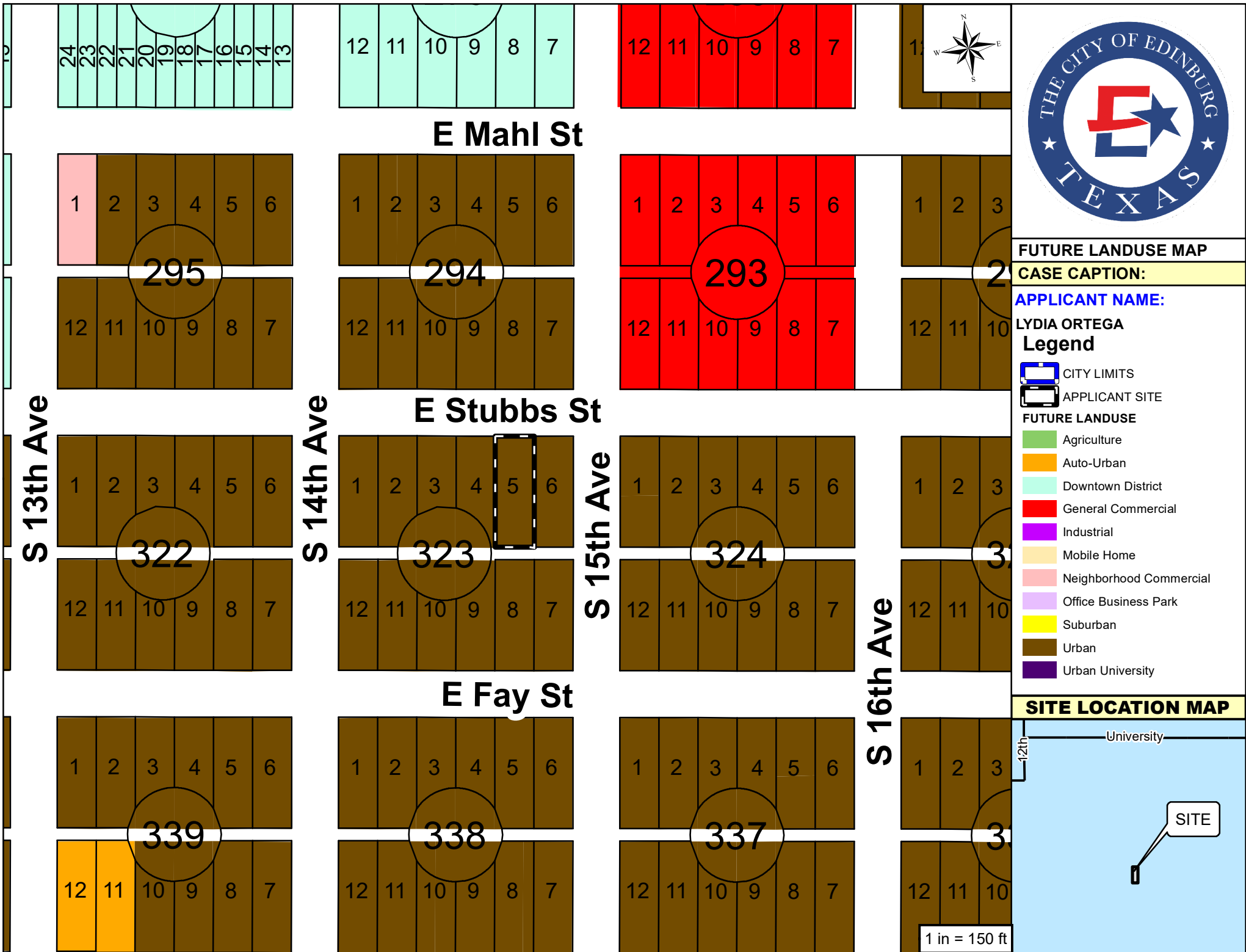
Legend

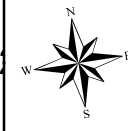
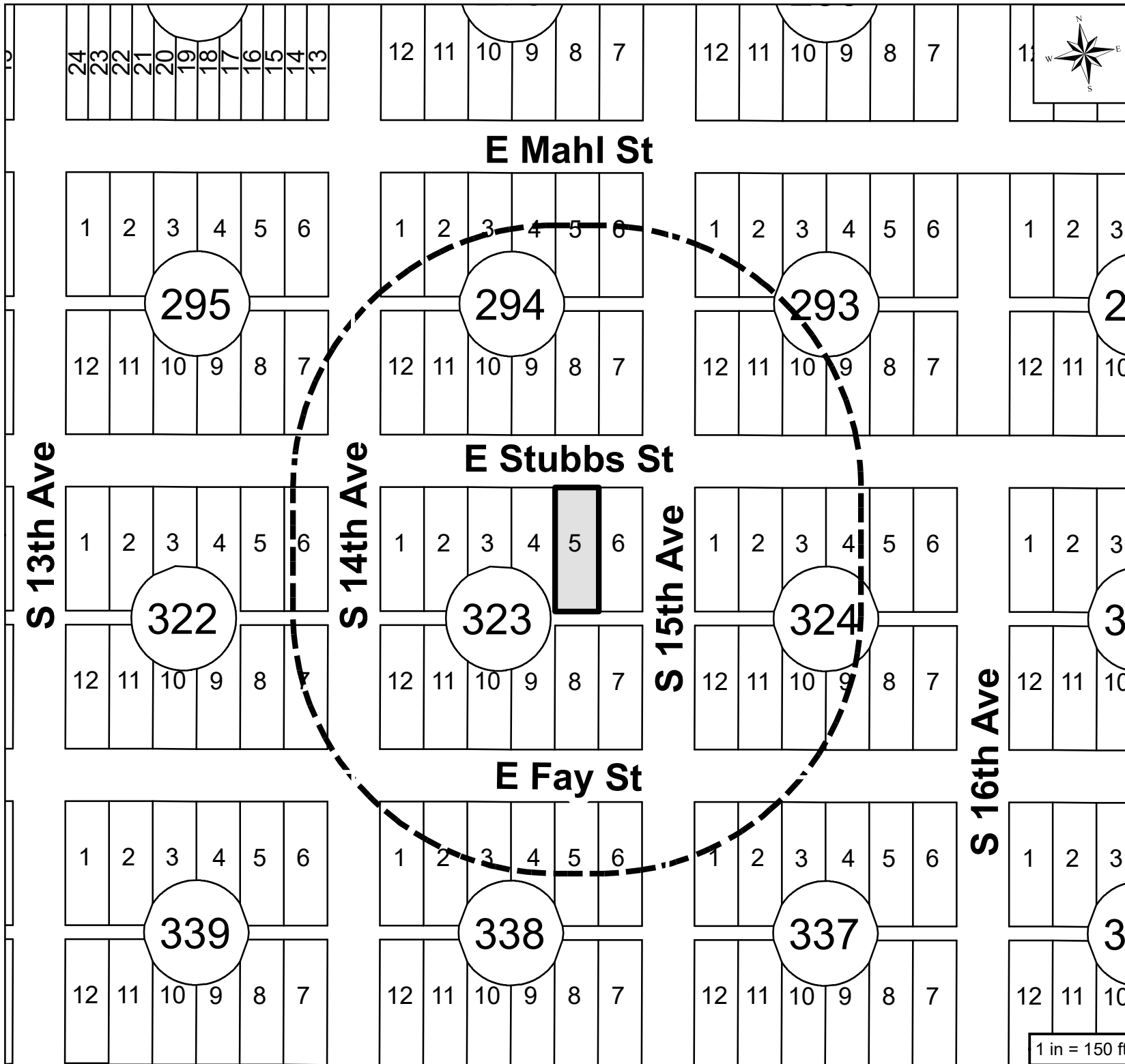
-  CITY LIMITS
-  APPLICANT SITE

SITE LOCATION MAP











MAILOUT AND SITE MAP


CASE CAPTION:

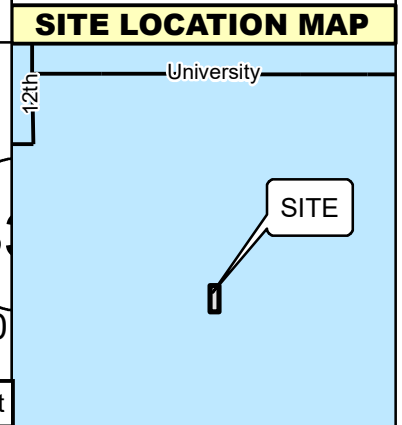
APPLICANT NAME:
LYDIA ORTEGA
 CONSIDER VARIANCE TO THE
 CITY'S UNIFIED DEVELOPMENT
 CODE ARTICLE 3, SECTION 3.301,
 SINGLE FAMILY DETACHED, BEING
 LOT 5, BLOCK 323, EDINBURG
 ORIGINAL TOWNSITE, LOCATED AT
 418 EAST STUBBS, AS REQUESTED
 BY LYDIA ORTEGA

Legend

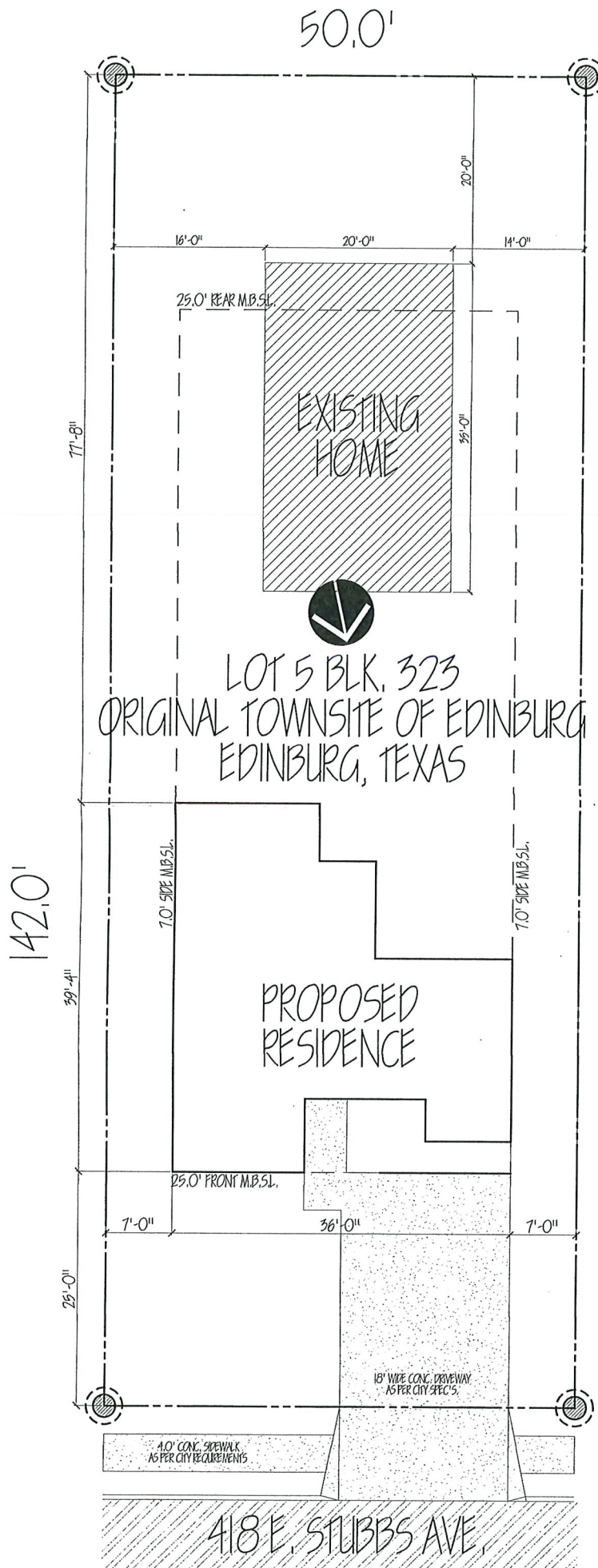
 CITY LIMITS

 300FT NOTIFICATION

 APPLICANT SITE



1 in = 150 ft



RECEIVED

DEC 07 2020

Name: Be

ZONING BOARD OF ADJUSTMENT REGULAR MEETING
December 30, 2020

Item: Consider Variance to the City's Unified Development Code Article 4, Section 4.203 Standards for New Construction, Being a Tract of Land containing 0.5985 of one Acre (26,069 square feet) situated in the City of Edinburg, Hidalgo County, Texas, Being part or portion of Lot 11, 281 Estates Subdivision, Located at 700 West Orange Ave, As Requested By Steve Ferguson

Request:

The applicant is requesting a variance to the City's Unified Development Code Article 4, Section 4.203, Standards for New Construction and Substantial Improvements. The applicant stated that the basis for the request is to allow for a 1.5 foot reduction in the amount of fill dirt to meet the requirements as required by the City of Edinburg Unified Development Code.

Property Location and Vicinity:

The property is currently vacant and is located on the South side of Orange Ave, approximately ½ a mile West of South Expressway 281. The property has 150.09 feet of width and a depth of 176.50 feet for a lot size of 26,490.89 square feet. The property is zoned Neighborhood Conservation 7.1 (NC 7.1) District. Surrounding zoning is Neighborhood Conservation 7.1 (NC 57.1) District to the North, East and West, Industrial (I) District to the South.

Background and History:

281 Estates Subdivision was recorded on May 28, 1996 and is a single family residential development. A building permit for construction was submitted on October 16, 2020 to the City of Edinburg.

Staff mailed a notice of the variance request to ten (10) neighboring property owners and received no comments in favor or against this request at the time of this report.

Analysis:

The approximate elevation for this property is 82.5 feet above sea level. The property is in a Flood Zone designated as an AE Zone requiring the finished floor of the residential building to be 2-feet above the based flood elevation for this property. According to FEMA flood maps, the base flood elevation is at 86.00 feet. Therefore, the minimum finished floor is required to be at 88.00 feet. It is noted that FEMA requires communities to require all new construction of residential structures or substantial improvements in Flood Zones to have the finished floor elevation, be at or above the Base Flood Elevation. There have been requests for this section of the code for several lots in this subdivision.

Recommendation

Staff recommends approval of the finished floor elevation of 86.5 feet. If approved, the applicant will need to comply with all other requirements during the permitting process including but not limited to building and fire codes, fire protection, parking, landscape buffer-yards, solid waste services, utility, pay a \$40 fee payable to the County of Hidalgo, County Clerk's Office for the recording of the ZBA order on this request, and any other City requirements, as applicable. A location map, aerial map, photo, subdivision plat, site plan, and response from property owner are attached for the Board's consideration.

Steve Ferguson
Page 2

Prepared By:
Rita Lee Guerrero
Urban Planner

NC for RG
Initials

12/22/2020
Date

Approved By:
Kimberly A. Mendoza, MPA
Director of Planning & Zoning

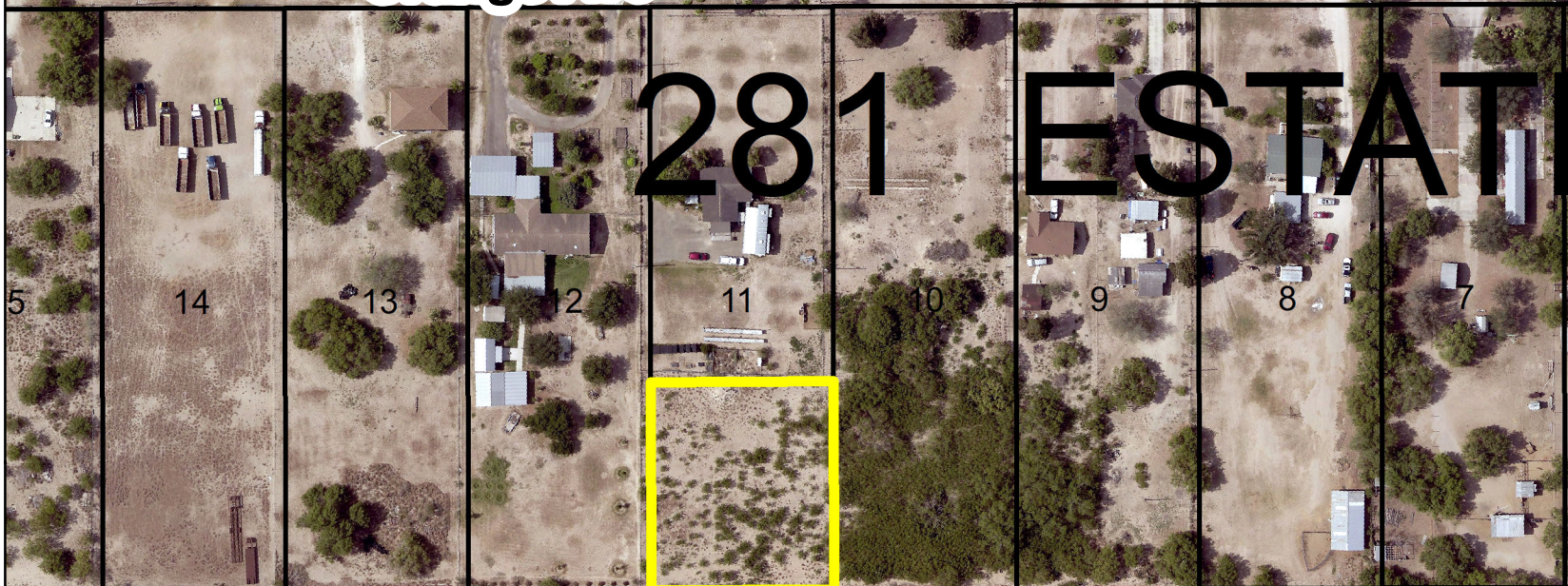
KS for KM
Initials

12/22/2020
Date



ORANGE AVE

Orange Ave



281 ESTATES

AERIAL MAP

CASE CAPTION:

APPLICANT NAME:

STEVE FERGUSON

CONSIDER VARIANCE TO THE CITY'S UNIFIED DEVELOPMENT CODE ARTICLE 4, SECTION 4.204 STANDARDS FOR NEW CONSTRUCTION AND SUBSTANTIAL IMPROVEMENTS IN AREAS OF SHALLOW FLOODING, BEING A TRACT OF LAND CONTAINING 0.5985 OF ONE ACRE (26,069 SQUARE FEET) SITUATED IN THE CITY OF EDINBURG, HIDALGO COUNTY, TEXAS, BEING PART OR PORTION OF LOT 11, 281 ESTATES SUBDIVISION, LOCATED AT 700 WEST ORANGE AVE, AS REQUESTED BY STEVE FERGUSON



Legend

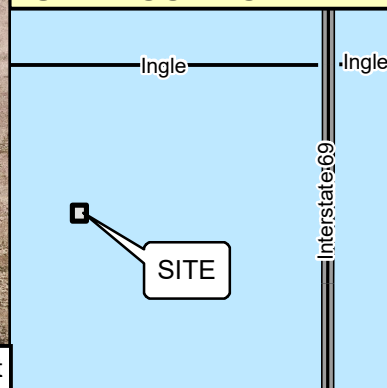


CITY LIMITS



APPLICANT SITE

SITE LOCATION MAP

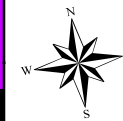


1 in = 150 ft

ORANGE AVE.

Orange Ave

281 ESTATE



ZONING MAP

CASE CAPTION:

APPLICANT NAME:

STEVE FERGUSON

Legend

 CITY LIMITS


 APPLICANT SITE

ZONING DISTRICTS

 AGRICULTURE

 AUTO-URBAN RESIDENTIAL

 COMMERCIAL, GENERAL

 COMMERCIAL, NEIGHBORHOOD

 DOWNTOWN DISTRICT

 INDUSTRIAL

 NEIGHBORHOOD CONSERVATION 5

 NEIGHBORHOOD CONSERVATION 7.1

 NEIGHBORHOOD CONSERVATION MH

 SUBURBAN RESIDENTIAL

 URBAN RESIDENTIAL

 URBAN UNIVERSITY

SITE LOCATION MAP

Ingle

Ingle

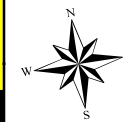


SITE

Interstate 69

1 in = 150 ft

ORANGE AVE.



Orange Ave

281 ESTATE

FUTURE LANDUSE MAP

CASE CAPTION:

APPLICANT NAME:












STEVE FERGUSON

Legend

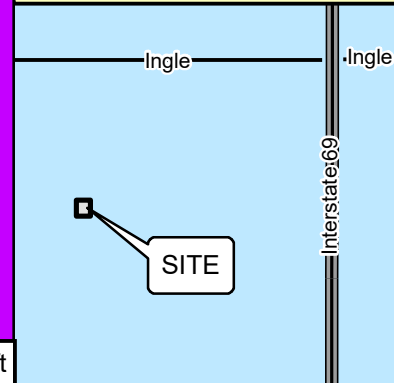
 CITY LIMITS

 APPLICANT SITE

FUTURE LANDUSE

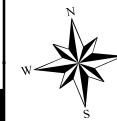
-  Agriculture
-  Auto-Urban
-  Downtown District
-  General Commercial
-  Industrial
-  Mobile Home
-  Neighborhood Commercial
-  Office Business Park
-  Suburban
-  Urban
-  Urban University

SITE LOCATION MAP



1 in = 150 ft

ORANGE AVE.



Orange Ave

281 ESTATES

MAILOUT AND SITE MAP

CASE CAPTION:

APPLICANT NAME:

STEVE FERGUSON

CONSIDER VARIANCE TO THE CITY'S UNIFIED DEVELOPMENT CODE ARTICLE 4, SECTION 4.204 STANDARDS FOR NEW CONSTRUCTION AND SUBSTANTIAL IMPROVEMENTS IN AREAS OF SHALLOW FLOODING, BEING A TRACT OF LAND CONTAINING 0.5985 OF ONE ACRE (26,069 SQUARE FEET) SITUATED IN THE CITY OF EDINBURG, HIDALGO COUNTY, TEXAS, BEING PART OR PORTION OF LOT 11, 281 ESTATES SUBDIVISION, LOCATED AT 700 WEST ORANGE AVE, AS REQUESTED BY STEVE FERGUSON

Legend



CITY LIMITS



300FT NOTIFICATION

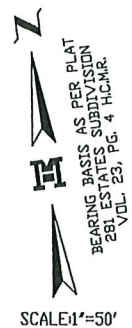
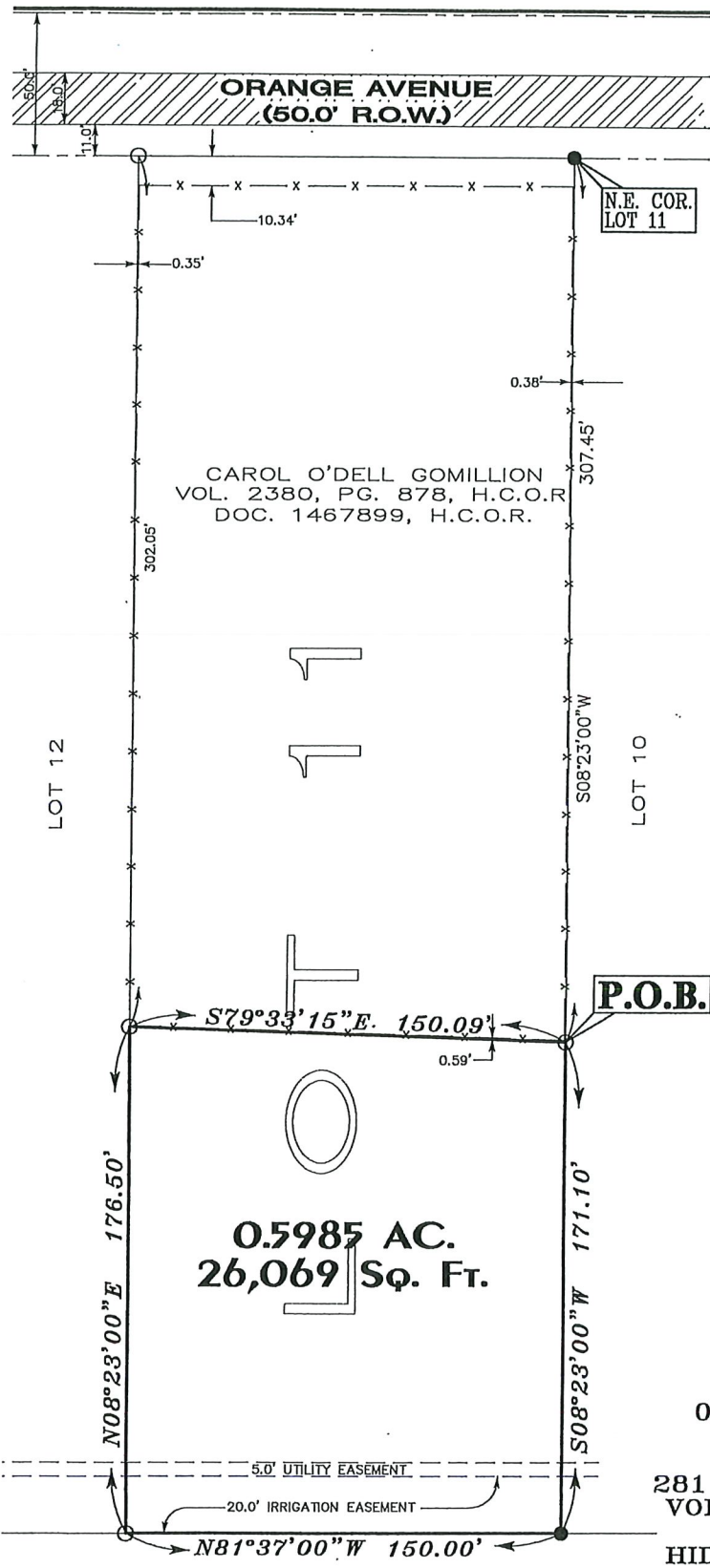


APPLICANT SITE

SITE LOCATION MAP



1 in = 150 ft



LEGEND

- FOUND No.4 REBAR
- SET No.4 REBAR W/PLASTIC CAP STAMPED MELDEN & HUNT
- x — CHAIN LINK FENCE
- ▨ PAVED AREA

FLOOD_ZONE

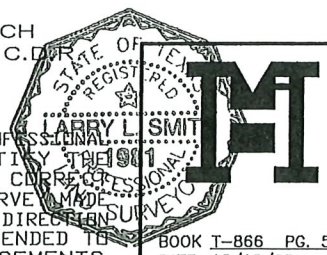
ZONE "AE"
 SPECIAL FLOOD HAZARD AREAS
 INUNDATED BY 100-YEAR FLOOD
 BASE FLOOD ELEVATIONS DETERMINED
 TO BE 86.0
 COMMUNITY-PANEL NUMBER: 480338 0005 E
 MAP REVISED: JUNE 6, 2000
 REVISED TO REFLECT LOMR: MAY 14, 2001

NOTES:

1. SURVEY IS VALID ONLY IF PRINT HAS ORIGINAL SEAL & SIGNATURE OF SURVEYOR.
2. SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE COMMITMENT.

PLAT SHOWING
0.5985 OF ONE ACRE
(26,069 Sq. Ft.)
OUT OF LOT 11
281 ESTATES SUBDIVISION
VOL. 23, PG. 4, H.C.M.R.
CITY OF EDINBURG
HIDALGO COUNTY, TEXAS

BLOCK 11
 SANTA CRUZ RANCH
 VOL. "Z", PG. 161, H.C.O.R.



I, LARRY L. SMITH, A REGISTERED PROFESSIONAL LAND SURVEYOR, DO HEREBY CERTIFY THAT THE FOREGOING PLAT TO BE TRUE AND CORRECT REPRESENTATION OF A LOT CORNER SURVEY MADE ON THE GROUND ON 10/09/08 UNDER MY DIRECTION AND SUPERVISION AND WAS NOT INTENDED TO SHOW ANY IMPROVEMENTS OR EASEMENTS.

Larry L. Smith 10/13/08
 LARRY L. SMITH, RPLS No. 1981 DATE:

BOOK T-866 PG. 5-6
 DATE: 10/10/08
 JOB No. 08010.12
 FILE NAME: 08010.12
 DRAWN BY: S.H.

MELDEN & HUNT INC.
 CONSULTANTS • ENGINEERS • SURVEYORS

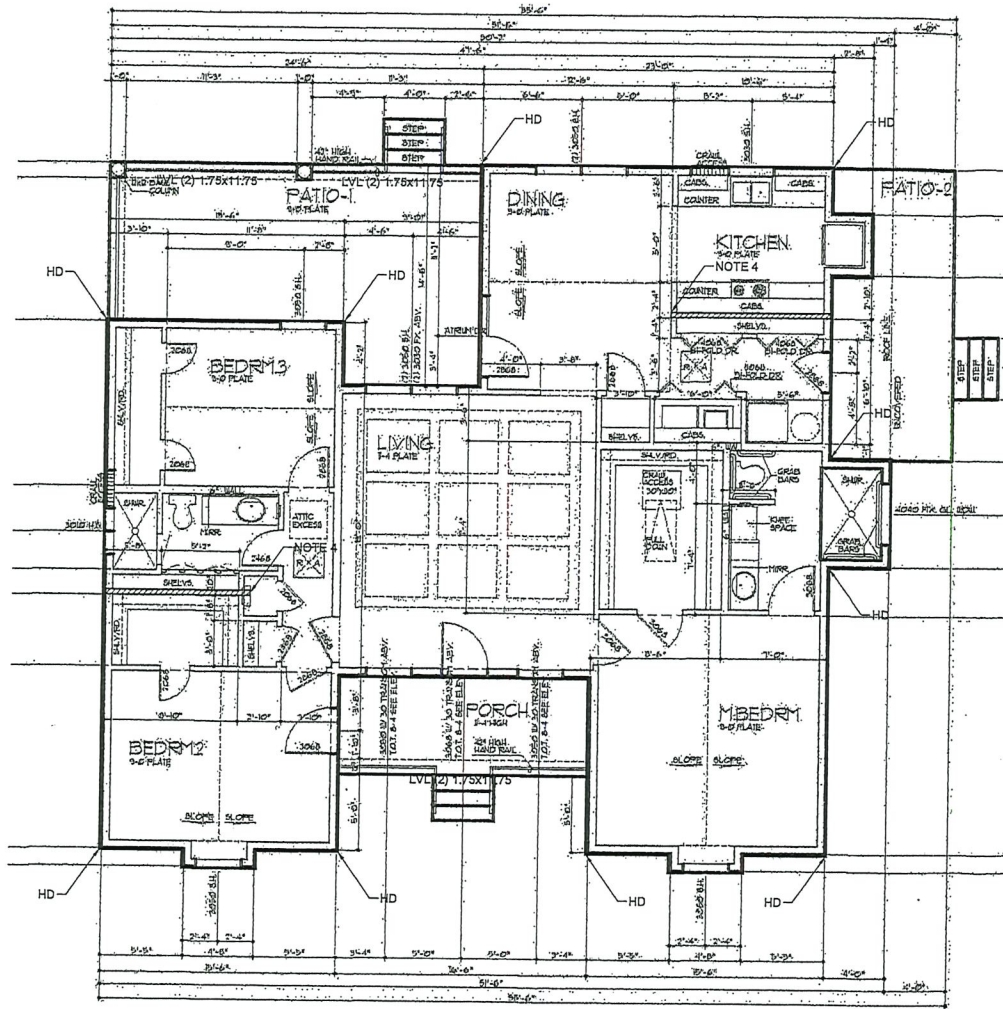
227 N. F.M. 3167
 RIO GRANDE CITY, TX 78582
 PH: (956) 487-8256
 FAX: (956) 488-8591

115 W. McINTYRE
 EDINBURG, TX 78541
 PH: (956) 381-0981
 FAX: (956) 381-1839
 www.meldenandhunt.com

T:\08010.12\08010.12.DWG, 10/13/2008 1:43:47 PM, K:\ccm-Survey-Edin

DESIGN CRITERIA

1. CODE IBC 2015
2. EXPOSURE FACTOR: B
3. WIND SPEED (V3s) - 3 second gust 130 MPH



FLOOR PLAN
SCALE: 1/8"=1'

GENERAL NOTES

1. ALL WOOD STRUCTURAL FRAMING SHALL BE DONE IN ACCORDANCE WITH ALL APPLICABLE CODES AND LOCAL ORDINANCES, INCLUDING 2015 INTERNATIONAL RESIDENTIAL CODE.
2. ALL EXTERIOR AND INTERIOR SOLE PLATES SHALL BE PRESSURE TREATED WITH FOAM PLATE UNDERSIDE.
3. STUDS SHALL BE CONTINUOUS FROM SUPPORT AT THE SOLE PLATE TO A SUPPORT AT THE TOP PLATE.
4. PROVIDE HOLD DOWN ANCHORS AT ALL LOCATIONS INDICATED ON PLAN. STUDS MUST BE DOUBLED AT HOLD DOWN LOCATIONS.
5. ANY STUD IN AN EXTERIOR WALL OR BEARING PARTITION SHALL BE PERMITTED TO BE CUT OR NOTCHED TO A DEPTH NOT EXCEEDING 25 PERCENT OF ITS WIDTH. STUDS IN NONBEARING PARTITIONS SHALL BE PERMITTED TO BE NOTCHED TO A DEPTH NOT TO EXCEED 40 PERCENT OF A SINGLE STUD WIDTH.
6. ANY STUD SHALL BE PERMITTED TO BE BORED OR DRILLED, PROVIDED THAT THE DIAMETER OF THE RESULTING HOLE IS NOT MORE THAN 60 PERCENT OF THE STUD WIDTH, THE EDGE OF THE HOLE IS NOT MORE THAN 5/8 INCH TO THE EDGE OF THE STUD, AND THE HOLE IS NOT LOCATED IN THE SAME SECTION AS A CUT OR NOTCH. REFER TO IRC 2015, FIGURES R602.6(1) AND R602.6(2).
7. STUDS LOCATED IN EXTERIOR WALLS OR BEARING PARTITIONS DRILLED OVER 40 PERCENT AND UP TO 80 PERCENT SHALL BE DOUBLED WITH NO MORE THAN TWO SUCCESSIVE DOUBLED STUDS BORED. REFER TO IRC 2015, FIGURES R602.6(1) AND R602.6(2).
8. BORED HOLES AND NOTCHES SHALL NOT OCCUR IN THE SAME CROSS SECTION.
9. ROOF SHEATHING SHALL BE A MINIMUM 5/8" PLYWOOD OR OSB PANELS ATTACHED WITH 8d AT 6" O.C. AT THE EDGES AND 8" O.C. AT THE FIELD.
10. INTERIOR WALLS SHALL BE A MINIMUM 5/8" GYPSUM BOARD ATTACHED WITH 5d COOLER NAILS 12" LONG SPACED AT 7" O.C. MAXIMUM.
11. PROVIDE 5/8" DIA. ANCHOR BOLTS AT 3'-0" O.C. WITH 2x2 1/2 WASHER WITH 7" MIN. EMBEDMENT
12. ALL WOOD POSTS SHALL BE INSTALLED "PB" POST BASE AND "PC" POST CAPS.
13. EXTERIOR WALLS SHALL BE FULLY SHEATHED WITH 7/16" OSB NAILED WITH 8D NAILS AT 6" O.C. EDGE AND 12" O.C. FIELD.

NOTES

1. WINDOW OR DOOR AT "HTTS" HOLD DOWN LOCATION. SEE DETAIL (DOOR AND WINDOW OPENINGS) ON SHEET 2.
2. PORTAL FRAME AT GARAGE DOOR OPENING. 2 HOLD DOWNS AT THESE LOCATIONS. SEE DETAIL ON SHEET 2.
3. H.D. INDICATED "HTTS" HOLD DOWN LOCATION.
4. SHADED AREA INDICATES ADDITIONAL INTERIOR SHEAR WALL. REQUIRES MIN. 7/16" OSB OR PLYWOOD WITH 8D NAILS AT 6" O.C. AT EDGES AND 12" O.C. FIELD ON ONE SIDE OF WALL.
5. SHADED AREA INDICATES SHEAR WALL. MIN. 7/16" OSB PLYWOOD WITH 8D NAILS AT 6" O.C. AT EDGES AND 12" O.C. FIELD ON BOTH SIDES OF WALL.

CONSTRUCTION

1. EXTERIOR WALLS OF WOOD FRAME CONSTRUCTION SHALL BE CONSTRUCTED IN ACCORDANCE WITH CHAPTER 6 OF THE IRC, FIGURES R602.3(1) AND R602.3(2), OR IN ACCORDANCE WITH AWC NDS. COMPONENTS OF EXTERIOR WALLS SHALL BE FASTENED IN ACCORDANCE WITH TABLES R602.3(1) THROUGH R602.3(4). WALL SHEATHING USED ONLY FOR EXTERIOR WALL COVERING PURPOSES SHALL COMPLY WITH SECTION R703.
2. CONTRACTOR, SUB-CONTRACTORS AND ALL WORKING PERSONNEL INVOLVED IN THE PROJECT SPECIFIED HEREIN SHALL ABIDE BY ALL LOCAL, STATE, FEDERAL AND OSHA SAFETY GUIDELINES DURING THE CONSTRUCTION AND COMPLETION OF THIS PROJECT.



THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY LUCAS CASTILLO JR., P.E. LICENSE NO. 119890. ALTERATION OF A SEALED DOCUMENT WITHOUT NOTIFICATION WITHOUT THE ENGINEER IS AN OFFENSE UNDER THE STATE OF TEXAS ENGINEERING PRACTICE ACT.

702 ORANGE AVENUE
EDINBURG, TEXAS
WINDSTORM PLAN

PROJECT:

PROJECT NO.: ST20 -258

DATE: 10/14/2020

DRAWN BY: L.C.

REVISION:

FLOOR
PLAN

SHEET:

S1 of 2

ELEVATION CERTIFICATE

Important: Follow the instructions on pages 1-9.

NEED CODE ENFORCEMENT
NOV 12 2018 12:25

Copy all pages of this Elevation Certificate and all attachments for (1) community official, (2) insurance agent/company, and (3) building owner.

SECTION A - PROPERTY INFORMATION					FOR INSURANCE COMPANY USE	
A1. Building Owner's Name Carolyn Peterson					Policy Number:	
A2. Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 702 West Orange Avenue					Company NAIC Number:	
City Edinburg		State Texas		ZIP Code 78541		
A3. Property Description (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.) 281 ESTATES AN IRR TR S171.10' LOT 11						
A4. Building Use (e.g., Residential, Non-Residential, Addition, Accessory, etc.) <u>Residential</u>						
A5. Latitude/Longitude: Lat. <u>26 22 37.6989N</u> Long. <u>98 09 06.426W</u> Horizontal Datum: <input type="checkbox"/> NAD 1927 <input checked="" type="checkbox"/> NAD 1983						
A6. Attach at least 2 photographs of the building if the Certificate is being used to obtain flood insurance.						
A7. Building Diagram Number <u>1A</u>						
A8. For a building with a crawlspace or enclosure(s):						
a) Square footage of crawlspace or enclosure(s) <u>N/A</u> sq ft						
b) Number of permanent flood openings in the crawlspace or enclosure(s) within 1.0 foot above adjacent grade <u>N/A</u>						
c) Total net area of flood openings in A8.b <u>N/A</u> sq in						
d) Engineered flood openings? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No						
A9. For a building with an attached garage:						
a) Square footage of attached garage <u>N/A</u> sq ft						
b) Number of permanent flood openings in the attached garage within 1.0 foot above adjacent grade <u>N/A</u>						
c) Total net area of flood openings in A9.b <u>N/A</u> sq in						
d) Engineered flood openings? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No						
SECTION B - FLOOD INSURANCE RATE MAP (FIRM) INFORMATION						
B1. NFIP Community Name & Community Number 480338			B2. County Name Hidalgo		B3. State Texas	
B4. Map/Panel Number 0005	B5. Suffix E	B6. FIRM Index Date 06-06-2000	B7. FIRM Panel Effective/ Revised Date 05-14-2001	B8. Flood Zone(s) AE	B9. Base Flood Elevation(s) (Zone AO, use Base Flood Depth) 86.0	
B10. Indicate the source of the Base Flood Elevation (BFE) data or base flood depth entered in Item B9: <input type="checkbox"/> FIS Profile <input checked="" type="checkbox"/> FIRM <input type="checkbox"/> Community Determined <input type="checkbox"/> Other/Source: _____						
B11. Indicate elevation datum used for BFE in Item B9: <input checked="" type="checkbox"/> NGVD 1929 <input type="checkbox"/> NAVD 1988 <input type="checkbox"/> Other/Source: _____						
B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Designation Date: _____ <input type="checkbox"/> CBRS <input type="checkbox"/> OPA						

ELEVATION CERTIFICATEOMB No. 1660-0008
Expiration Date: November 30, 2018**IMPORTANT: In these spaces, copy the corresponding information from Section A.**Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.
702 West Orange AvenueCity
EdinburgState
TexasZIP Code
78541**FOR INSURANCE COMPANY USE**

Policy Number:

Company NAIC Number

SECTION C – BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)C1. Building elevations are based on: ☒ Construction Drawings* ☐ Building Under Construction* ☐ Finished Construction

*A new Elevation Certificate will be required when construction of the building is complete.

C2. Elevations – Zones A1–A30, AE, AH, A (with BFE), VE, V1–V30, V (with BFE), AR, AR/A, AR/AE, AR/A1–A30, AR/AH, AR/AO. Complete Items C2.a–h below according to the building diagram specified in Item A7. In Puerto Rico only, enter meters.

Benchmark Utilized: 82.40 Set up at center of lot Vertical Datum: 1929

Indicate elevation datum used for the elevations in items a) through h) below.

☒ NGVD 1929 ☐ NAVD 1988 ☐ Other/Source: _____

Datum used for building elevations must be the same as that used for the BFE.

Check the measurement used.

- | | | | |
|-------------------------------------------------------------------------------------------------------------------------------|------|------------------------------------------|---------------------------------|
| a) Top of bottom floor (including basement, crawlspace, or enclosure floor) | 86.0 | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| b) Top of the next higher floor | N/A | <input type="checkbox"/> feet | <input type="checkbox"/> meters |
| c) Bottom of the lowest horizontal structural member (V Zones only) | N/A | <input type="checkbox"/> feet | <input type="checkbox"/> meters |
| d) Attached garage (top of slab) | 86.0 | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| e) Lowest elevation of machinery or equipment servicing the building
(Describe type of equipment and location in Comments) | N/A | <input type="checkbox"/> feet | <input type="checkbox"/> meters |
| f) Lowest adjacent (finished) grade next to building (LAG) | 81.9 | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| g) Highest adjacent (finished) grade next to building (HAG) | 82.4 | <input checked="" type="checkbox"/> feet | <input type="checkbox"/> meters |
| h) Lowest adjacent grade at lowest elevation of deck or stairs, including structural support | N/A | <input type="checkbox"/> feet | <input type="checkbox"/> meters |

SECTION D – SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION

This certification is to be signed and sealed by a land surveyor, engineer, or architect authorized by law to certify elevation information. I certify that the information on this Certificate represents my best efforts to interpret the data available. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.

Were latitude and longitude in Section A provided by a licensed land surveyor? ☐ Yes ☐ No ☐ Check here if attachments.Certifier's Name
Jesus A GarzaLicense Number
4739Title
R.P.L.S

Job Number: 7381

Company Name
J.A.GARZA ASSOCIATES LLC.

Firm: 10172800

Address
3319 N WARE RD STE. ACity
McALLENState
TexasZIP Code
78501Place
Seal
Here

Signature

Date
11-09-2020Telephone
(956) 687-8677

Ext.

Copy all pages of this Elevation Certificate and all attachments for (1) community official, (2) insurance agent/company, and (3) building owner.

Comments (including type of equipment and location, per C2(e), if applicable)

Temporary bench mark set iron rod at center of Lot. Need to fill a minimum of 3.96 feet (47 1/2 inches) to finish floor.



ELEVATION CERTIFICATE

OMB No. 1660-0008
Expiration Date: November 30, 2018

IMPORTANT: In these spaces, copy the corresponding information from Section A.			FOR INSURANCE COMPANY USE
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 702 West Orange Avenue			Policy Number:
City Edinburg	State Texas	ZIP Code 78541	Company NAIC Number

SECTION E – BUILDING ELEVATION INFORMATION (SURVEY NOT REQUIRED) FOR ZONE AO AND ZONE A (WITHOUT BFE)

For Zones AO and A (without BFE), complete Items E1–E5. If the Certificate is intended to support a LOMA or LOMR-F request, complete Sections A, B, and C. For Items E1–E4, use natural grade, if available. Check the measurement used. In Puerto Rico only, enter meters.

- E1. Provide elevation information for the following and check the appropriate boxes to show whether the elevation is above or below the highest adjacent grade (HAG) and the lowest adjacent grade (LAG).
- a) Top of bottom floor (including basement, crawlspace, or enclosure) is _____ 3.6 ☒ feet ☐ meters ☐ above or ☐ below the HAG.
- b) Top of bottom floor (including basement, crawlspace, or enclosure) is _____ 4.1 ☒ feet ☐ meters ☒ above or ☐ below the LAG.
- E2. For Building Diagrams 6–9 with permanent flood openings provided in Section A Items 8 and/or 9 (see pages 1–2 of Instructions), the next higher floor (elevation C2.b in the diagrams) of the building is _____ ☐ feet ☐ meters ☐ above or ☐ below the HAG.
- E3. Attached garage (top of slab) is _____ ☐ feet ☐ meters ☐ above or ☐ below the HAG.
- E4. Top of platform of machinery and/or equipment servicing the building is _____ ☐ feet ☐ meters ☐ above or ☐ below the HAG.
- E5. Zone AO only: If no flood depth number is available, is the top of the bottom floor elevated in accordance with the community's floodplain management ordinance? ☐ Yes ☐ No ☐ Unknown. The local official must certify this information in Section G.

SECTION F – PROPERTY OWNER (OR OWNER'S REPRESENTATIVE) CERTIFICATION

The property owner or owner's authorized representative who completes Sections A, B, and E for Zone A (without a FEMA-issued or community-issued BFE) or Zone AO must sign here. The statements in Sections A, B, and E are correct to the best of my knowledge.

Property Owner or Owner's Authorized Representative's Name

Address City State ZIP Code

Signature Date Telephone

Comments

☐ Check here if attachments.



COPY

ELEVATION CERTIFICATE

OMB No. 1660-0008
Expiration Date: November 30, 2018

IMPORTANT: In these spaces, copy the corresponding information from Section A.			FOR INSURANCE COMPANY USE
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 702 West Orange Avenue			Policy Number:
City Edinburg	State Texas	ZIP Code 78541	Company NAIC Number

SECTION G – COMMUNITY INFORMATION (OPTIONAL)

The local official who is authorized by law or ordinance to administer the community's floodplain management ordinance can complete Sections A, B, C (or E), and G of this Elevation Certificate. Complete the applicable item(s) and sign below. Check the measurement used in Items G8–G10. In Puerto Rico only, enter meters.

- G1. ☐ The information in Section C was taken from other documentation that has been signed and sealed by a licensed surveyor, engineer, or architect who is authorized by law to certify elevation information. (Indicate the source and date of the elevation data in the Comments area below.)
- G2. ☐ A community official completed Section E for a building located in Zone A (without a FEMA-issued or community-issued BFE) or Zone AO.
- G3. ☐ The following information (Items G4–G10) is provided for community floodplain management purposes.

G4. Permit Number	G5. Date Permit Issued	G6. Date Certificate of Compliance/Occupancy Issued
-------------------	------------------------	-----------------------------------------------------

- G7. This permit has been issued for: ☐ New Construction ☐ Substantial Improvement
- G8. Elevation of as-built lowest floor (including basement) of the building: _____ ☐ feet ☐ meters Datum _____
- G9. BFE or (in Zone AO) depth of flooding at the building site: _____ ☐ feet ☐ meters Datum _____
- G10. Community's design flood elevation: _____ ☐ feet ☐ meters Datum _____

Local Official's Name	Title
Community Name	Telephone
Signature	Date

Comments (including type of equipment and location, per C2(e), if applicable)

☐ Check here if attachments.



BUILDING PHOTOGRAPHS**ELEVATION CERTIFICATE**

See Instructions for Item A6.

OMB No. 1660-0008

Expiration Date: November 30, 2018

IMPORTANT: In these spaces, copy the corresponding information from Section A.Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No.
702 West Orange AvenueCity
EdinburgState
TexasZIP Code
78541**FOR INSURANCE COMPANY USE**

Policy Number:

Company NAIC Number

If using the Elevation Certificate to obtain NFIP flood insurance, affix at least 2 building photographs below according to the instructions for Item A6. Identify all photographs with date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View." When applicable, photographs must show the foundation with representative examples of the flood openings or vents, as indicated in Section A8. If submitting more photographs than will fit on this page, use the Continuation Page.



Photo One

Photo One Caption

Clear Photo One

Photo Two

Photo Two

Photo Two Caption

Clear Photo Two

**COPY**

ZONING BOARD OF ADJUSTMENT REGULAR MEETING
December 30, 2020

Item: Consider Variance to the City's Unified Development Code Article 3, Section 3.301, Single Family Residential Bulk Standards, Setbacks, Being Lot 31, Santa Gloria Subdivision, Located At 4714 Uranus Street, As Requested By Alejandro Montelongo

Request:

The applicant is requesting a variance to the City's Unified Development Code Article 3, Section 3.301, Single Family Lot and Building Standards, Setbacks. The applicant constructed a carport without a building permit that encroaches into the 25 foot front yard setback.

Property Location and Vicinity:

The property is located at the northeast corner of Uranus Street and Neptune Street. The property has a single family residential home and has 50 feet of frontage along Uranus Street and a depth of 100 feet for a lot size of 5,000 square feet. Setbacks called for by plat are as follows: Front 25 feet, Rear 20% of the lot depth (20 feet), Side 6 feet. The property is zoned Neighborhood Conservation 5.0 (NC 5.0) District. Surrounding zoning is Agriculture (AG) District to the East and Neighborhood Conservation 5.0 (NC 5.0) District to the North, West and South.

Background and History:

Santa Gloria Subdivision was recorded on January 31, 2008 and is a single family residential development. The 360 square foot carport was built without a permit and a stop work order was placed by the Code Enforcement Division on September 8, 2020. A building permit for construction of the carport was submitted to the City of Edinburg on November 16, 2020 but was denied due to the encroachment.

Staff mailed a notice of the variance request to forty-one (41) neighboring property owners and received no comments in favor and no comments against for this request at the time of this report.

Analysis:

The applicant is requesting the Board grant the encroachment of 22 feet into the front yard setback, leaving a 4 foot separation from property line to structure. A variance request was submitted for lot 59 on June 27, 2018 of the same nature and was approved by the Zoning Board of Adjustment.


Recommendation

Staff recommends disapproval of the variance request. If the Board chooses to approve the request, it shall be limited to the footprint and as shown on the site plan, as well pay a \$40 fee payable to the County of Hidalgo, County Clerk's Office for the recording of the ZBA order on this request, and any other City requirements, as applicable. A location map, aerial map, photo, subdivision plat, site plan, and response from property owner are attached for the Board's consideration.

Prepared By:
Rita Lee Guerrero
Urban Planner



Initials



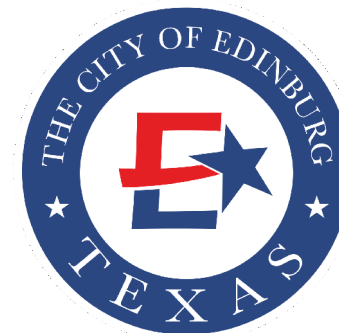
Date

Alejandro Montelongo
Page 2

Approved By:
Kimberly A. Mendoza, MPA
Director of Planning & Zoning


Initials


Date



AERIAL MAP

CASE CAPTION:

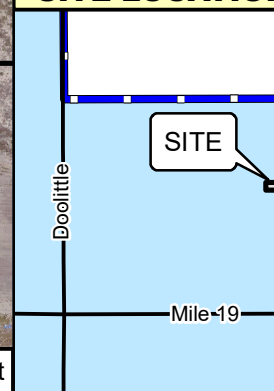
APPLICANT NAME:

ALEJANDRO MONTELONGO
CONSIDER VARIANCE TO THE CITY'S
UNIFIED DEVELOPMENT CODE
ARTICLE 3, SECTION 3.301, SINGLE
FAMILY RESIDENTIAL BULK
STANDARDS, SETBACKS, BEING
LOT 31, SANTA GLORIA SUBDIVISION,
LOCATED AT 4714 URANUS STREET,
AS REQUESTED BY ALEJANDRO
MONTELONGO

Legend

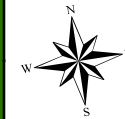
- CITY LIMITS
- APPLICANT SITE

SITE LOCATION MAP



1 in = 200 ft

14



ZONING MAP

CASE CAPTION:

APPLICANT NAME:

ALEJANDRO MONTELONGO

Legend

CITY LIMITS

APPLICANT SITE

ZONING DISTRICTS

AGRICULTURE

AUTO-URBAN RESIDENTIAL

COMMERCIAL, GENERAL

COMMERCIAL, NEIGHBORHOOD

DOWNTOWN DISTRICT

INDUSTRIAL

NEIGHBORHOOD CONSERVATION 5

NEIGHBORHOOD CONSERVATION 7.1

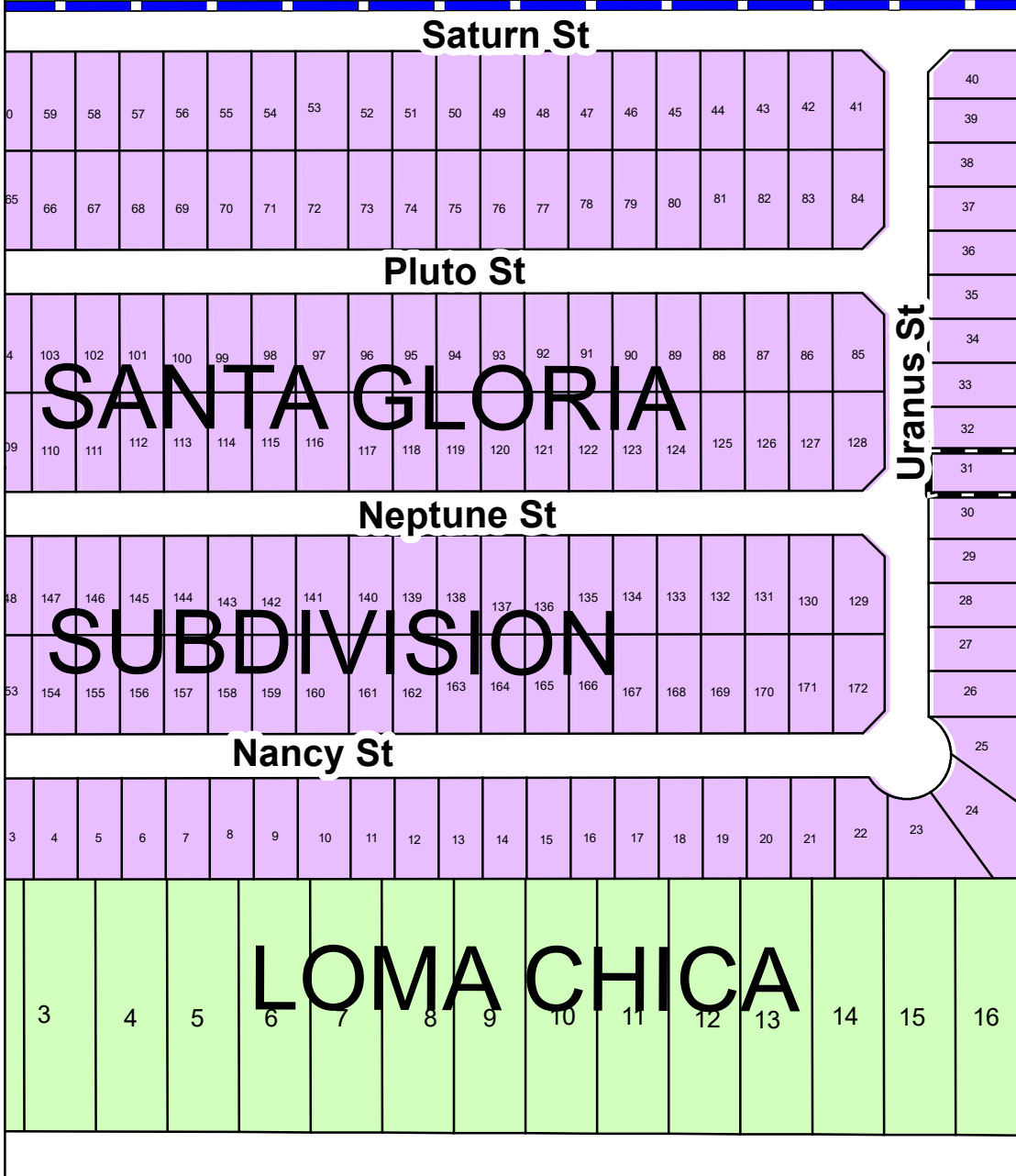
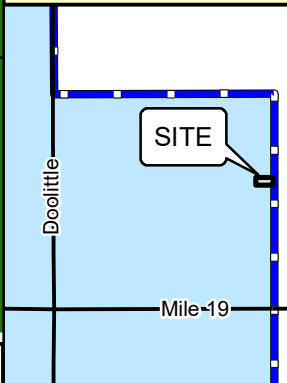
NEIGHBORHOOD CONSERVATION MH

SUBURBAN RESIDENTIAL

URBAN RESIDENTIAL

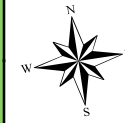
URBAN UNIVERSITY

SITE LOCATION MAP



1 in = 200 ft

14



FUTURE LAND USE MAP

CASE CAPTION:

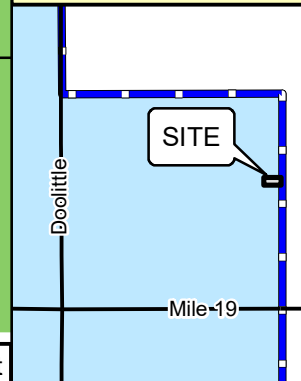
APPLICANT NAME:

ALEJANDRO MONTELONGO

Legend

- CITY LIMITS
- APPLICANT SITE
- FUTURE LANDUSE**
- Agriculture
- Auto-Urban
- Downtown District
- General Commercial
- Industrial
- Mobile Home
- Neighborhood Commercial
- Office Business Park
- Suburban
- Urban
- Urban University

SITE LOCATION MAP



Saturn St

Pluto St

Neptune St

Nancy St

Uranus St

SANTA GLORIA

SUBDIVISION

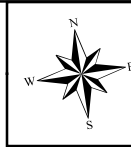
LOMA CHICA

-00

-00

1 in = 200 ft

14



MAILOUT AND SITE MAP

CASE CAPTION:

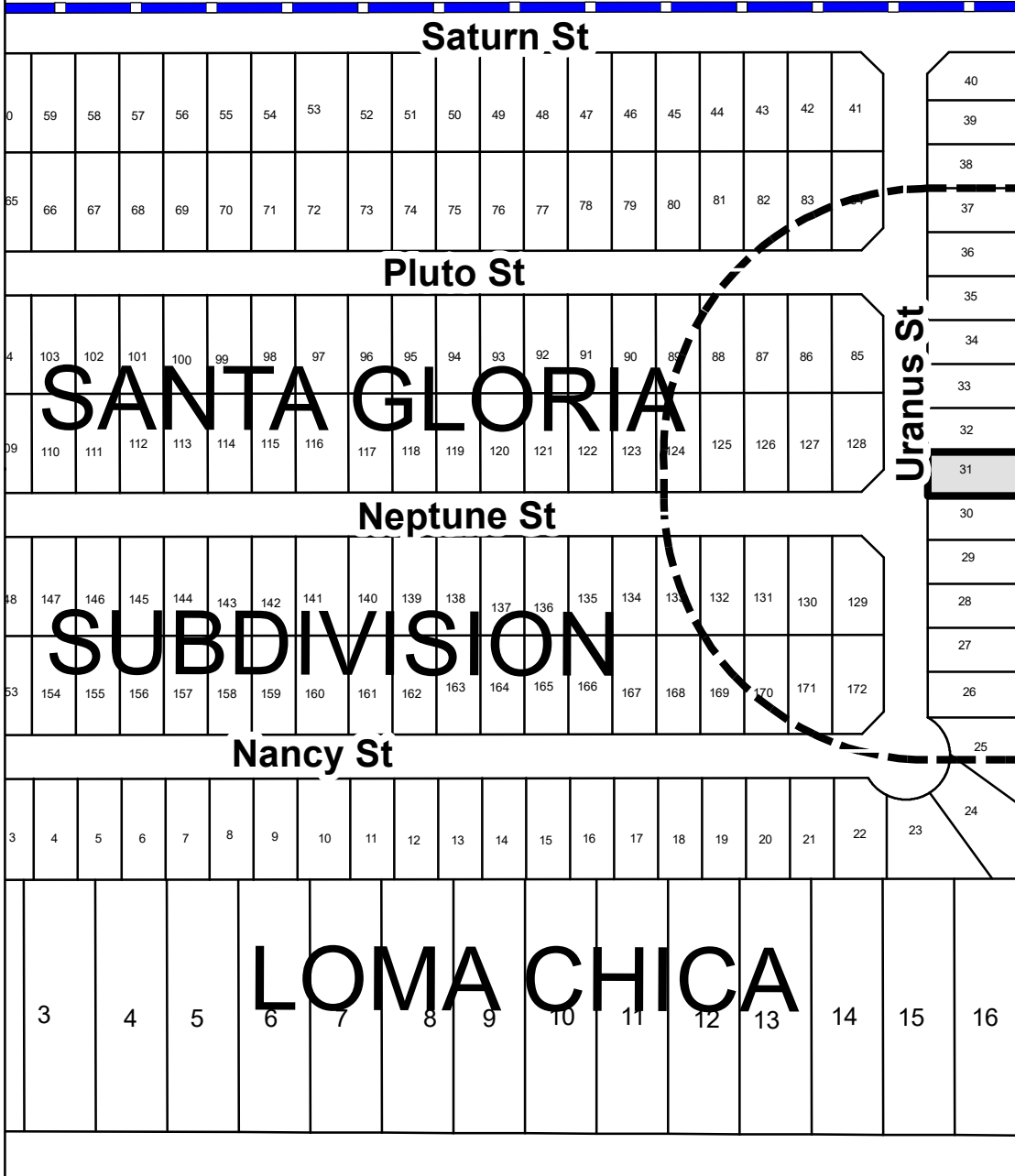
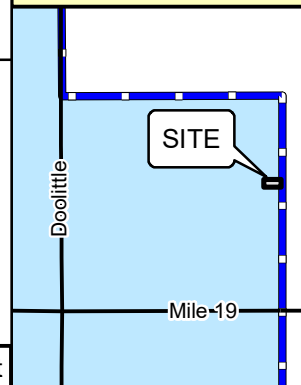
APPLICANT NAME:

ALEJANDRO MONTELONGO
 CONSIDER VARIANCE TO THE CITY'S
 UNIFIED DEVELOPMENT CODE
 ARTICLE 3, SECTION 3.301, SINGLE
 FAMILY RESIDENTIAL BULK
 STANDARDS, SETBACKS, BEING
 LOT 31, SANTA GLORIA SUBDIVISION,
 LOCATED AT 4714 URANUS STREET,
 AS REQUESTED BY ALEJANDRO
 MONTELONGO

Legend

- CITY LIMITS
- 300FT NOTIFICATION
- APPLICANT SITE

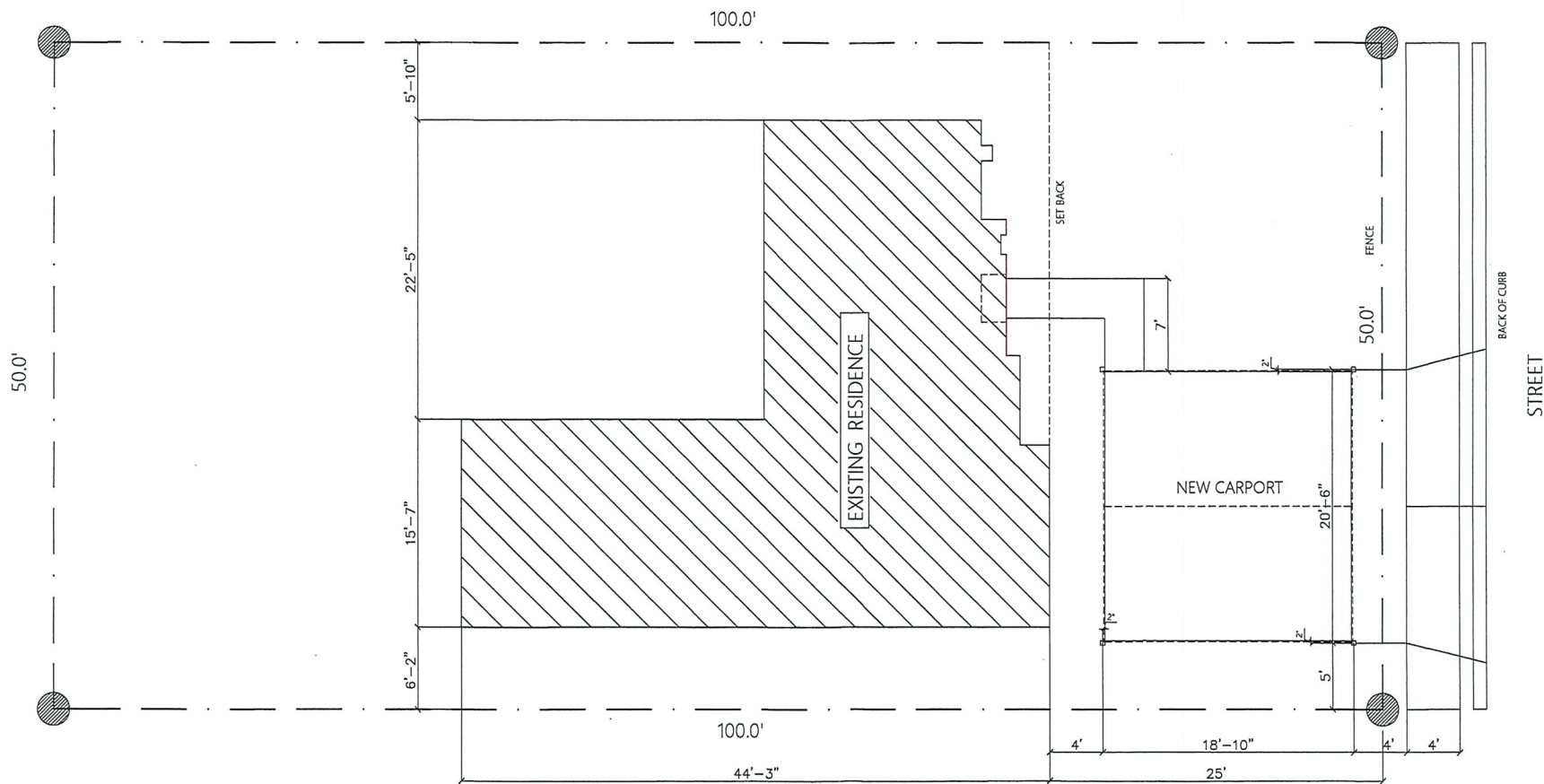
SITE LOCATION MAP



-00

-00

1 in = 200 ft



CARPORT ADDITION

SCALE: 1/4" = 1'



M/A
Custom Plans

3005 HARVEY MCALLEN, TX
(956) 648.6870
MADESIGN57@GMAIL.COM
WWW.MACUSTOMPLANS.COM

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- * VERIFY ALL DIMENSIONS PRIOR TO ANY CONSTRUCTION OR SITE PREP.
- * VERIFY COMPLIANCE WITH CITY ORDINANCE CODES & RESTRICTIONS WHERE STRUCTURE IS TO BE BUILT.
- * VERIFY COMPLIANCE WITH ALL SUBDIVISION REQUIREMENTS.

*PLANS INDICATE LOCATION ONLY. ENGINEERING ASPECTS SHOULD INCORPORATE ACTUAL SITE CONDITIONS.

PROJECT INFORMATION

DATE: 09/22 / 2020

OWNER:
OMAR LOPEZ

PROJECT DATA

CARPORT AREA: 386.0' SF

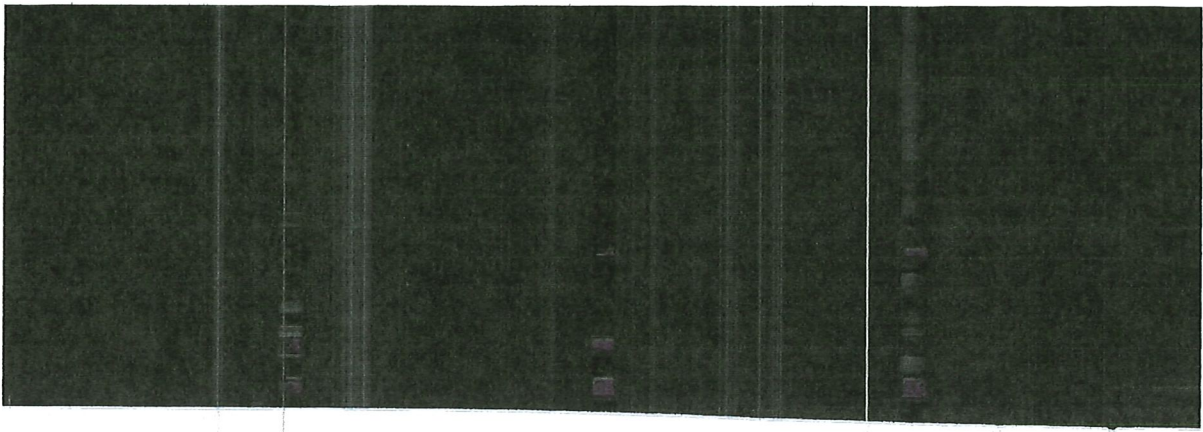
WWW.MACUSTOMPLANS.COM

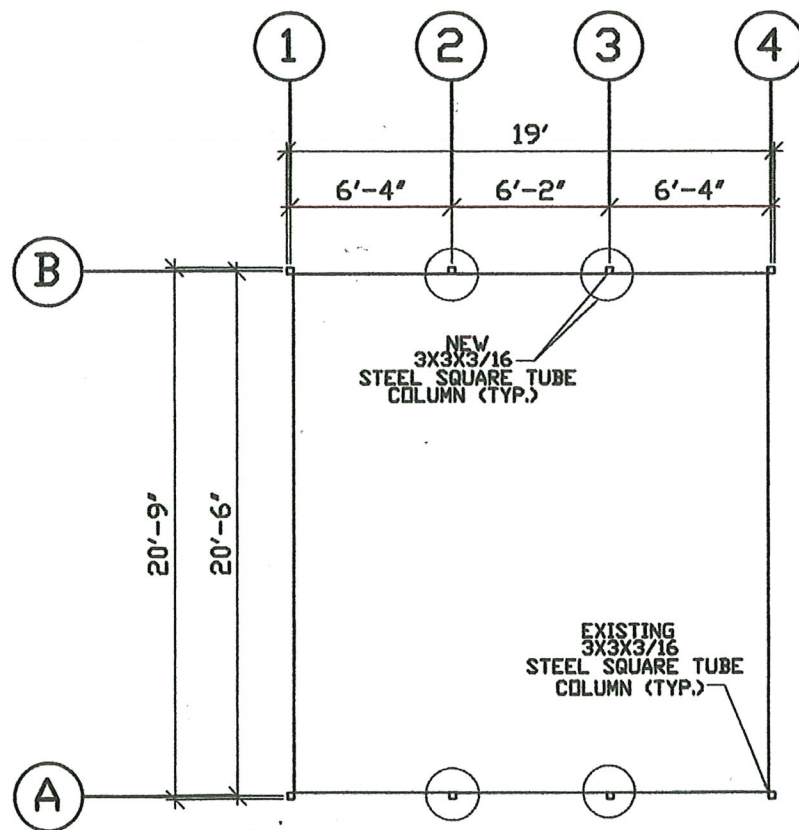
SHEET No:

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INITIALED BY BUYER : _____ SELLER: _____

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EXISTING & NEW FLOOR PLAN
 SCALE: 1/8" = 1'-0"

ROOF DECKING

26 GA 'R' Panel

- Panel continuous over two or more spans
- Endlaps to occur over purlins with 4" overlapped lap centered over purlin web.

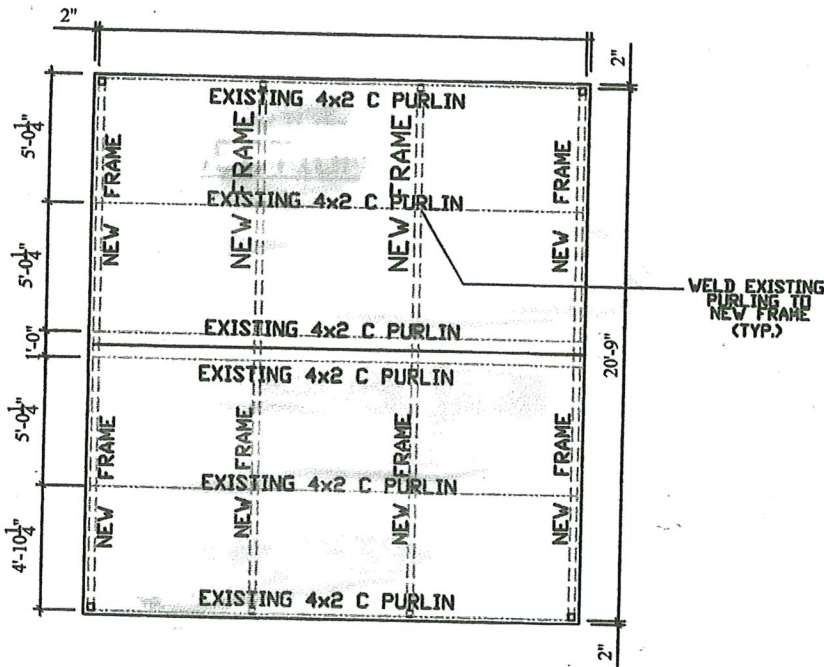
Panel Fasteners

- 14X1 in. self-drilling, self-tapping hex-head plated steel fasteners with a 5/8 in. O.D. formed steel washer and a neoprene sealing washer
- Panel to Purlin

Fasteners at 12 in. O.C. beginning 2 1/2" from center line on one side of each major rib.

Panel to Panel

Fasteners at 20 in. O.C. with a fastener located in line with the purlin fasteners



EXISTING & NEW ROOF FRAMING PLAN

NTS.

- S1 FLOOR PLAN & ROOF FRAMING PLAN
- S2 ELEVATIONS PLAN
- S3 STRUCTURAL DETAILS
- S4 SPECIFICATIONS



Ortega Engineering
P.C.C.
F-1215

901 W. Lee Ste. A
Pharr, Texas 78577
Tel. (956) 618-1111



SIGNATURE:

DATE:

11-4-2020

PDF PLANS
AUTHORIZED BY
BY ORTEGA
ENGINEERING PLLC

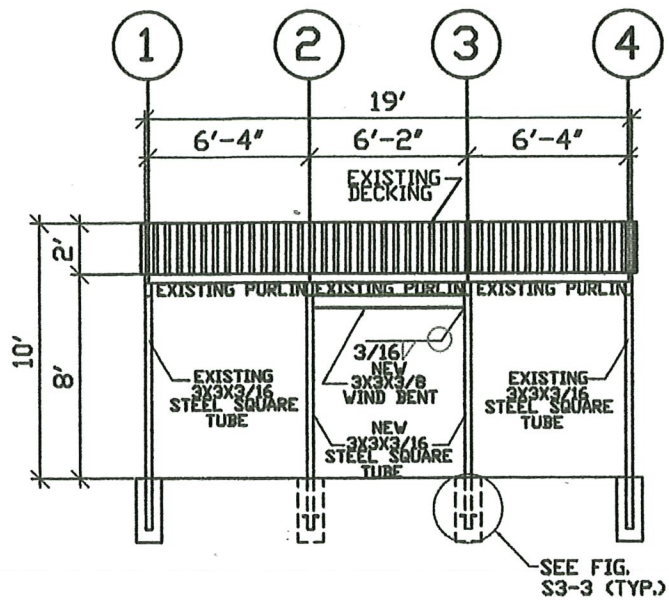
EXISTING & NEW METAL CANOPY
FLOOR PLAN & ROOF FRAMING PLAN
4714 URANUS ST.
EDINBURG, TX

SHEET NO.

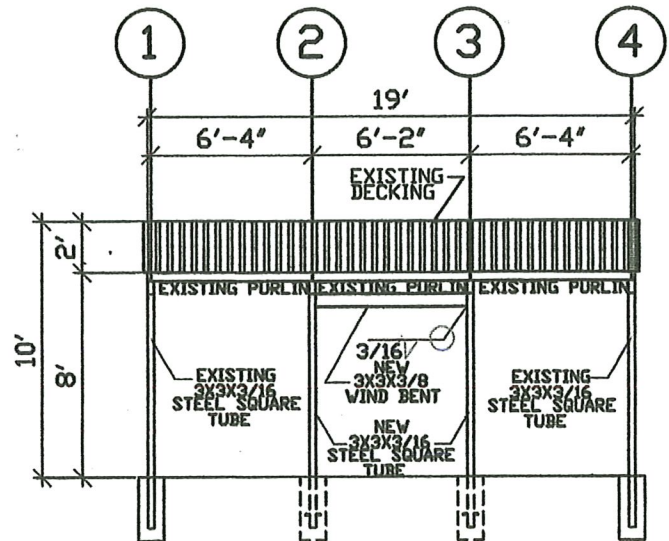
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JOB NO.
016420

NO. DATE REVISION BY

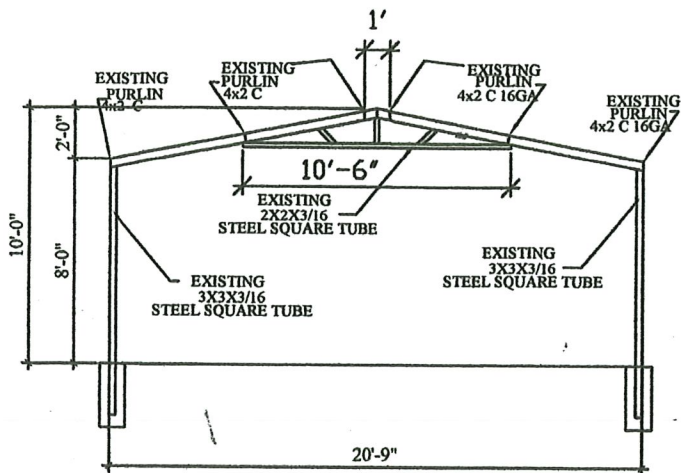


SIDE ELEVATION ALONG AXIS (B)
NTS.

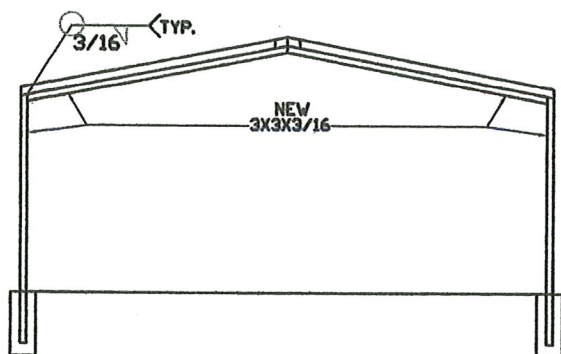


SIDE ELEVATION ALONG AXIS (A)
NTS.

ROOF FRAMING
SCALE: 1/8" = 1'



**EXISTING FRAME
TYPICAL SECTION VIEW**
NTS.



**NEW FRAME
TYPICAL SECTION VIEW**
NTS.

NO.	DATE	REVISION	BY



**Ortega
Engineering**
P.C.
F-1215

901 W. Lee Ste. A
Pharr, Texas 78577
Tel. (956) 618-1111



SIGNATURE:

Guercindo Ortega

DATE:

11-4-2020

PDF PLANS
AUTHORIZED BY
BY ORTEGA
ENGINEERING PLLC

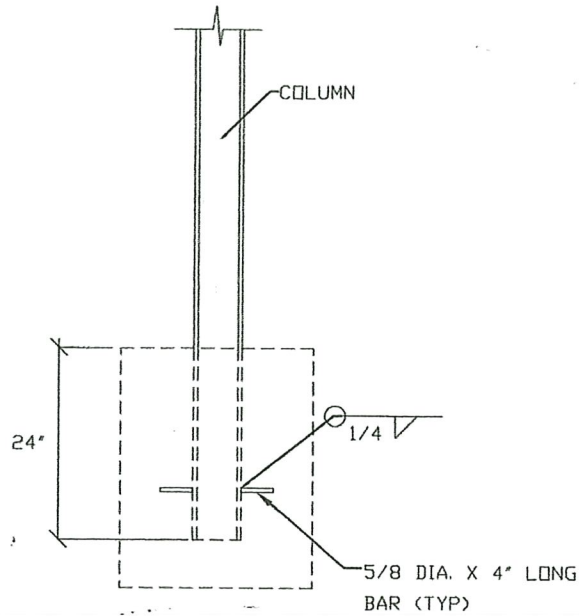
EXISTING & NEW METAL CANOPY
ELEVATIONS PLAN
4714 URANUS ST.
EDINBURG, TX

SHEET NO.

S2

JOB NO.

016420



FOOTING DIMENSIONS
MINIMUM 2'X2'X2'-6" DEEP
FOR WIND UPLIFT FORCE:

COLUMN BASE
FIGURE S3-3
NTS.



*Ortega
Engineering
P.C.*
F-1215

901 W. Lee Ste. A
Pharr, Texas 78577
Tel. (956) 618-1111



SIGNATURE:

[Signature]

DATE:
11-4-2020

PDF PLANS
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ENGINEERING PLLC

EXISTING & NEW METAL CANOPY
STRUCTURAL DETAILS
4714 URANUS ST.
EDINBURG, TX

SHEET NO.

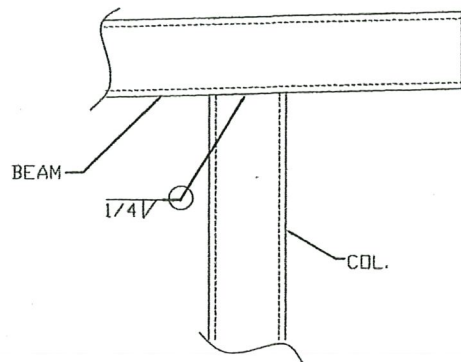
S3

3 OF 4

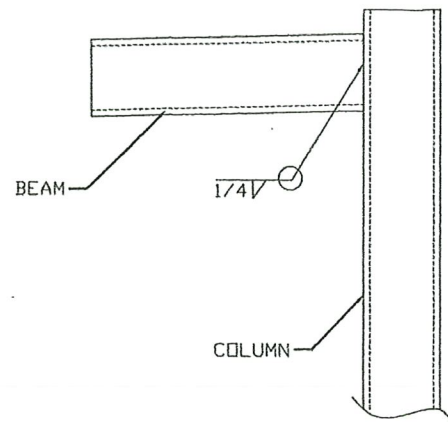
JOB NO.

016420

NO. DATE REVISION BY



BEAM-COLUMN CONNECTION
 FIGURE S3-1
 NTS.



BEAM-COLUMN CONNECTION
 FIGURE S3-2
 NTS.

STRUCTURAL DESIGN LOADS SPECIFICATIONS

1. DESIGN

DESIGN AND/OR FABRICATION SHALL BE IN ACCORDANCE WITH STANDARD PRACTICES AND INTERPRETATION OF THE FOLLOWING CODES:
2012 IBC (INTERNATIONAL BUILDING CODE)

1.1 DESIGN LOADS BASED ON 2012 IBC

WIND LOAD (105 MPH BASIC WIND SPEED)

ROOF:

LIVE LOAD 20 PSF (ROOF)

DEAD LOAD 3 PSF (ROOF)

1.2 LOAD COMBINATIONS

1.2.1 DL+RL (DEAD LOAD+ROOF LIVE LOAD)

1.2.2 0.6DL+WL (0.6 DEAD LOAD + WIND LOAD)

STANDARD SPECIFICATIONS FOR COMMERCIAL METAL BUILDING SYSTEMS

SECTION 1: GENERAL

1.1 SCOPE

1.1.1. THESE SPECIFICATIONS COVER THE MATERIALS WHICH SHALL BE DESIGNED AND ERECTED IN ACCORDANCE WITH THESE SPECIFICATIONS AND ACCOMPANYING DRAWINGS ERECTION BY OTHERS.

SECTION 2: DESIGN

2.1 GENERAL

2.1.1. ALL STRUCTURAL STEEL OF HOT-ROLLED SHAPES AND BUILT-UP WELDED SECTIONS SHALL BE DESIGNED IN ACCORDANCE WITH AISC'S NINTH EDITION "SPECIFICATIONS FOR THE DESIGN, FABRICATION, AND ERECTION OF STRUCTURAL STEEL FOR BUILDINGS".

2.1.2. COLD-FORMED STEEL MEMBERS SHALL BE DESIGNED IN ACCORDANCE WITH AISI'S LATEST EDITION OF "SPECIFICATIONS FOR THE DESIGN OF COLD-FORMED STEEL STRUCTURAL MEMBERS".

2.2 DESIGN LOADS

2.2.1. LIVE LOADS IMPOSED UPON THE ROOF SHALL BE APPLIED ON THE HORIZONTAL ROOF PROJECTION AND SHALL BE 20, PSF.

2.2.2. WIND LOADS: STRUCTURAL MEMBERS AND SYSTEMS PROVIDING THE STABILITY FOR THE BUILDING SHALL BE DESIGNED FOR 105 MPH BASIC WIND SPEED. (3 SECOND GUST)

SECTION 3: BASIC MATERIAL SPECIFICATIONS

3.1 PRIMARY FRAMING

3.2.1. ALL COLD-FORMED STRUCTURAL MEMBERS SHALL CONFORM TO THE REQUIREMENTS OF ASTM A-570 AND SHALL HAVE A MINIMUM YIELD STRENGTH FY 50,000 PSI. HOT-ROLLED STRUCTURAL SHAPES SHALL CONFORM TO ASTM A-36 AND SHALL HAVE A MINIMUM YIELD STRENGTH OF 36,000 PSI.

3.2 ROOF AND WALL COVERING

3.3.1. MATERIAL FOR GALVANIZED STEEL PANELS SHALL MEET THE REQUIREMENTS OF ASTM SPECIFICATION A-446, (80,000 PSI YIELD). PANEL SHALL HAVE G-90 CLASS GALVANIZATION ON BOTH SIDES (1.25 OUNCE HOT-DIPPED GALVANIZATION).

3.3.2. ROOF COVERING SHALL BE 20 GAUGE.

3.3 STRUCTURAL PAINTING

3.4.1. ALL STRUCTURAL FRAMING MEMBERS THAT ARE NOT GALVANIZED SHALL BE CLEANED TO REMOVE ALL DIRT, GREASE, OIL AND LOOSE MIL SCALE AND SHALL BE GIVEN ON COAT OF SHOP PRIMER.

3.4.2. RED PRIMER SHALL HAVE SUPERIOR HIDING POWERS.

3.4.3. THE PRIMER COAT THICKNESS SHALL BE A MINIMUM OF ONE MIL.

3.4 PANEL PAINTING

3.5.1. G-90 GALVANIZED PANEL SHALL BE PRE-TREATED, THEN PRIMED FOR SUPERIOR RESISTANCE TO CORROSION BEFORE APPLICATION OF COLOR COATING.

3.5.2. THE FINISH COAT FOR PAINTED STEEL PANELS, WHEN REQUIRED, SHALL BE MINIMUM 1 MIL THICKNESS SILICONE FILM AND BAKED TO A MINIMUM TEMPERATURE OF 435 DEGREES F. THE SILICONE POLYESTER PANELS (EXCEPT WHITE) SHALL BE PIGMENTED WITH COLOR PIGMENTS OF A FADE RESISTANT TYPE TO HELP INSURE LONG COLOR LIFE. THE PAINTED PANELS SHALL NOT SHOW EXCESSIVE CHALKING, OR LOSS OF ADHESION DURING ITS WARRANTY PERIOD.

3.5.3. PRE-TREATING AND COLOR COATING PROCESS SHALL BE APPLIED BY A REPUTABLE COATING FIRM PRIOR TO ROLL FORMING. WARRANTY SHALL BE PROVIDED UPON REQUEST.

SECTION 4: STRUCTURAL

4.1 GENERAL

4.1.1. ALL SHOP WELDING SHALL CONFORM TO THE REQUIREMENTS OF THE AMERICAN WELDING SOCIETY STRUCTURAL CODE D1.1. WELDERS SHALL BE FULLY APPROVED BY THE PROPER AUTHORITIES.

4.1.2. WELDING OF STRUCTURAL STEEL SHALL BE PER AWS D1.1 USING E70XX ELECTRODES.

4.1.3. ALL FRAMING MEMBERS SHALL BE SHOP FABRICATED FOR BOLTED FIELD ASSEMBLY. BOLTS SHALL MEET THE REQUIREMENTS OF THE FOLLOWING ASTM STANDARDS, LATEST ISSUE:

A-325 FOR QUENCHED AND TEMPERED STEEL BOLTS.

A-307 FOR STEEL MACHINE BOLTS AND NUTS.

4.1.4. ALL FRAMING MEMBERS, WHERE NECESSARY, SHALL BE IDENTIFIED WITH A MARK CORRESPONDING TO THE ERECTION DRAWINGS.

4.2 PRIMARY FRAMING

4.2.1. ALL MAIN FRAME WEBS, BASEPLATES, SPLICE PLATES AND FLANGES SHALL BE SHOP FABRICATED TO INCLUDE HOLES FOR INSTALLATION OF BOLTS AND SLOTS FOR BRACING.

SECTION 5: ROOF

5.1 PANEL DESCRIPTION

5.1.1. PANEL SHALL BE "R" 26 GA OR EQUIVALENT.

SECTION 6: MISCELLANEOUS

MATERIAL SPECIFICATIONS

6.1 FASTENERS

6.1.1. STRUCTURAL BOLTS SHALL MEET THE REQUIREMENTS OF LATEST ISSUE OF ASTM STANDARDS:

A-325 FOR PRIMARY FRAMING CONNECTION

A-307 FOR SECONDARY FRAMING

6.1.2. PANEL FASTENERS SHALL BE SELF-DRILLING AND SELF-TAPPING TYPE SHEET METAL SCREWS. FASTENERS SHALL BE NO. 12, TYPE "A" OR TYPE "AB", ANSI STANDARD B18.6.4, HEX HEAD, GALVANIZED CARBON STEEL, PRE-ASSEMBLED WITH NEOPRENE WASHER. HEADS SHALL BE GALVANIZED OR COLOR COATED TO MATCH SIDEWALL OR ROOF PANEL.

6.2 SEALANTS

6.2.1. SEALANT FOR SIDELAPS, ENDLAPS AND FLASHING SHALL BE A NOMINAL 3/8" WIDE BY 1/8" THICK, GRAY POLYISOBUTYLENE (BUTYL) POLYMERS PRESSURE SENSITIVE TAPE. THE MATERIAL SHALL BE NON-ASPHALTIC, NON-SHRINKING, NON-DRYING AND NON-TOXIC, AT TEMPERATURES FROM 10 TO 140 DEGREES F. SEALANT SHALL HAVE A FLASH POINT OF AT LEAST 300 DEGREES F, AND SHALL NOT FLOW AT 275 DEGREES F.

6.2.2. SOLID OR CLOSED CELL, PRE-FORMED ETHYLENE PROPYLENETERPOLYMER CLOSURES, WITH SELF-ADHESIVE BACKING ON ONE SIDE, MATCHING THE PROFILE OF THE ROOF AND WALL PANEL, SHALL BE INCLUDED AT THE BASE, GABLE AND EAVE, TO HELP ASSURE SEAT FOR WEATHER PROTECTION OR RESISTANCE AND PROVIDE AIR INFILTRATION STOP ON BLANKET INSULATED BUILDINGS.

6.3 FLASHING, CLOSURE AND TRIM

6.3.1. FLASHING AND/OR TRIM SHALL BE FURNISHED AT THE RAKE, CORNERS AND EAVES. ALSO AT FRAMED OPENINGS F AND WHEREVER NECESSARY TO PROVIDE WEATHER PROTECTION AND A FINISHED APPEARANCE. FLASHING ON FRAMED OPENINGS SHALL CONCEAL ALL EXPOSED RED IRON.

SECTION 7: ERECTION

7.1 ERECTION

7.1.1. THE ERECTION OF THE BUILDING AND THE INSTALLATION OF THE ACCESSORIES, SHALL BE PERFORMED IN A WORKMANLIKE MANNER WITH THE PROPER TOOLS AND EQUIPMENT, BY A QUALIFIED ERECTOR, AS SET FORTH IN THE SPECIFICATIONS AND THE MANUFACTURER'S ERECTION DRAWINGS.

7.2 FIELD MODIFICATION

7.2.1. FIELD DESIGN MODIFICATIONS WILL NOT BE MADE TO ANY STRUCTURAL MEMBER EXCEPT AS AUTHORIZED AND SPECIFIED BY THE ENGINEER.

SHOP DRAWINGS AND SUBMITTALS

- SHOP DRAWINGS SHALL BE PREPARED AND SUBMITTED FOR REVIEW FOR EACH STRUCTURAL BUILDING MATERIAL AS INDICATED IN THE STRUCTURAL GENERAL NOTES AND THE CONTRACT SPECIFICATIONS. SEE THE CONTRACT SPECIFICATIONS FOR SUBMITTAL PROCEDURES AND ADDITIONAL INFORMATION.
- SHOP DRAWINGS SHALL USE DRAFTING LINE WORK AND LETTERING THAT IS CLEARLY LEGIBLE. SHOP DRAWINGS SHALL NOT CONTAIN REPRODUCTIONS OF THE CONTRACT DRAWING PLANS OR DETAILS.
- SHOP DRAWINGS SHALL NOT SHOW MATERIALS FOR MORE THAN ONE LEVEL OF THE SAME PLAN.
- SHOP DRAWINGS SHALL SHOW CLEAR AND COMPLETE INFORMATION FOR THE FABRICATION (DETAIL SHEETS AND/OR MATERIAL LISTS) AND INSTALLATION.
- ALLOW A MINIMUM OF (2) WEEKS FOR REVIEW OF SHOP DRAWINGS.
- GENERAL CONTRACTOR TO REVIEW SHOP DRAWINGS SUBMITTED BY THE SUB-CONTRACTORS. GENERAL CONTRACTOR TO SUPPLY DIMENSIONS REQUESTED BY THE SUB-CONTRACTORS.
- PROVIDE SUBMITTALS FOR THE FOLLOWING ITEMS:
 - REINFORCING STEEL
 - STRUCTURAL STEEL
 - STEEL JOISTS
 - METAL DECKING (INDICATE LAYOUT AND TYPES OF DECK PANELS, ANCHORAGE DETAILS, REINFORCING CHANNELS, PANS, DECK OPENING, SPECIAL JOINTING, ACCESSORIES, AND ATTACHMENTS TO OTHER CONSTRUCTION.)



**Ortega
Engineering
PLLC**
F-1215

901 W. Lee Ste. A
Pharr, Texas 78577
Tel. (956) 618-1111



SIGNATURE:

DATE:

11-4-2020

PDF PLANS
AUTHORIZED BY
BY ORTEGA
ENGINEERING PLLC

EXISTING & NEW METAL CANOPY
SPECIFICATIONS
4714 URANUS ST.
EDINBURG, TX

SHEET NO.

S4

4 OF 4

JOB NO.

016420

**ZONING BOARD OF ADJUSTMENT REGULAR MEETING
December 30, 2020**

Item: Consider Variance to the City's Unified Development Code Article 3, Section 3.301, Single Family Residential Bulk Requirements, Setbacks, Being A 0.50 of Acre Tract of Land Being a Portion of Lot 4, Section 237, Texas-Mexican Railway Company's Survey. Located at 3504 W Mile 17 ½ Road, As Requested By Rosio Carr

Request:

The applicant is requesting a variance to the City's Unified Development Code Article 3, Section 3.301, Single Family Lot and Building Standards, Setbacks. The applicant is proposing to construct a single family residence on the property.

Property Location and Vicinity:

The property is located on the south side of Mile 17 ½ Road, approximately 550 feet east of North Monmack Road. The property is currently vacant and has 67.85 feet of frontage along Mile 17 ½ Road and a depth of 321 feet for a lot size of 21,779.85 square feet. Setbacks called for by zoning are as follows: Front 30 feet, Rear 30 feet, Side 15 feet. The property is zoned Suburban Residential (S) District. Surrounding zoning is Suburban Residential (S) District in all directions.

Background and History:

This property is vacant and went through a family partition in July of 2020. A building permit was submitted to the City of Edinburg and was denied due to side yard encroachments of 5 feet on the East and 9 feet on the West side into the 15 foot side yard setbacks. The applicant would like to construct a 4 bedroom, 2 ½ bath home consisting of 1,875 square feet.

Staff mailed a notice of the variance request to fourteen (14) neighboring property owners and received no comments in favor and no comments against for this request at the time of this report.

Analysis:

The applicant is requesting the Board grant the encroachment of 5 feet on the east side yard setback and a 9 foot encroachment on the west side yard setback. There have been no other variances granted in this area.

Recommendation

Staff recommends disapproval of the variance request. If the Board chooses to approve the request, it shall be limited to the footprint and as shown on the site plan, as well pay a \$40 fee payable to the County of Hidalgo, County Clerk's Office for the recording of the ZBA order on this request, and any other City requirements, as applicable. A location map, aerial map, photo, subdivision plat, site plan, and response from property owner are attached for the Board's consideration.

Prepared By:
Rita Lee Guerrero
Urban Planner



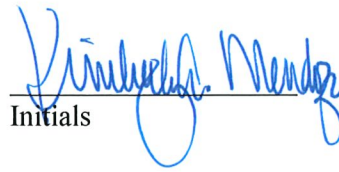
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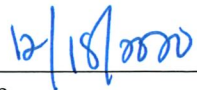
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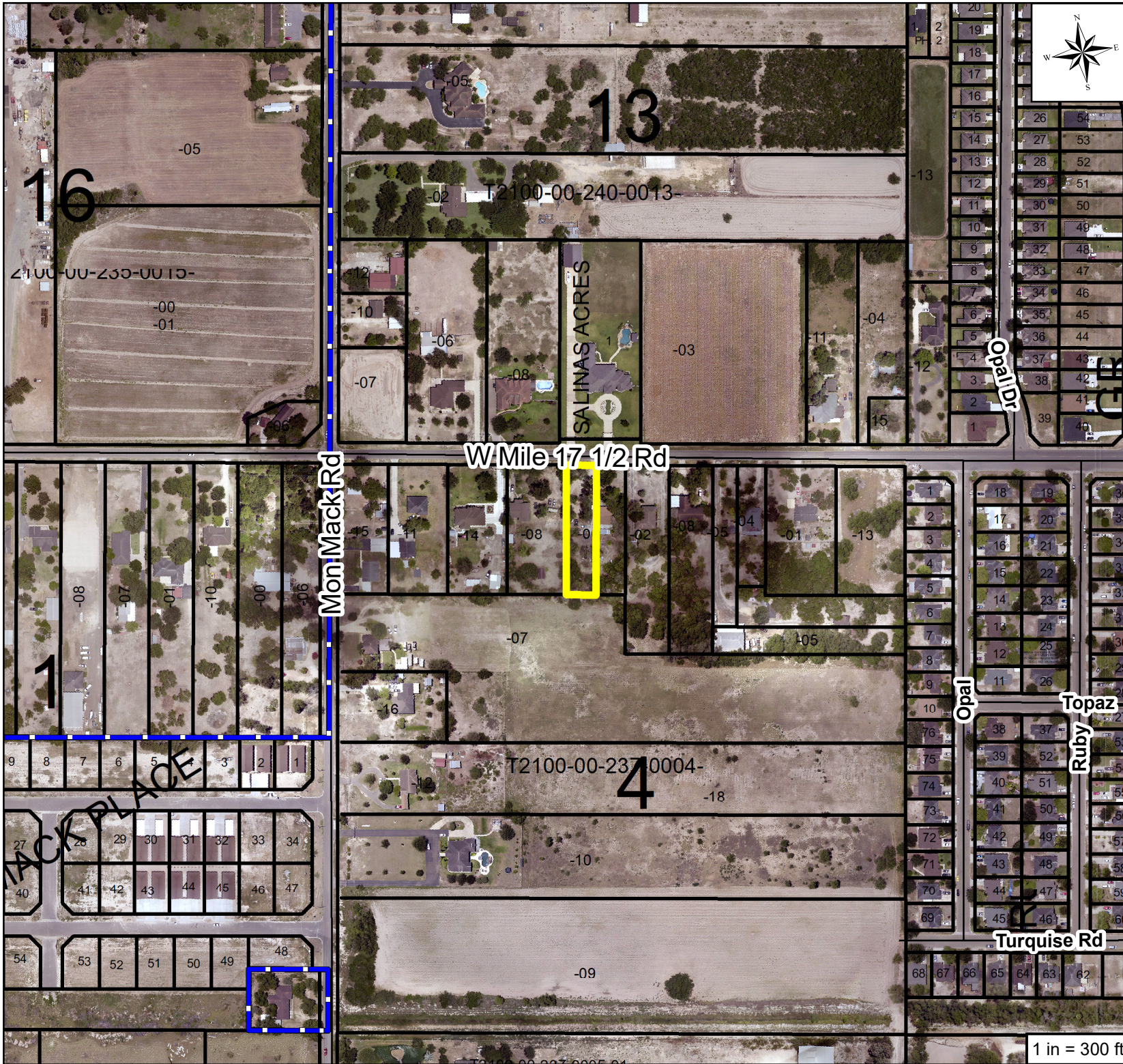
Date

Rosio Carr
Page 2

Approved By:
Kimberly A. Mendoza, MPA
Director of Planning & Zoning


Initials


Date



AERIAL MAP

CASE CAPTION:

APPLICANT NAME:

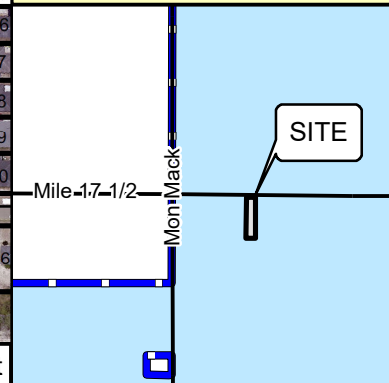
ROSIE CARR

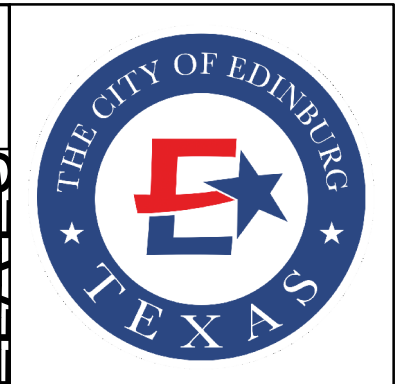
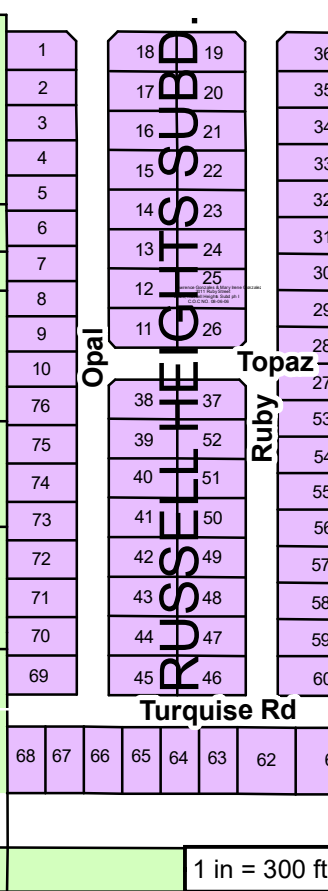
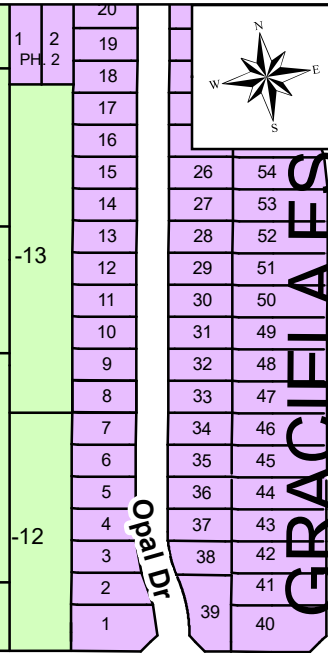
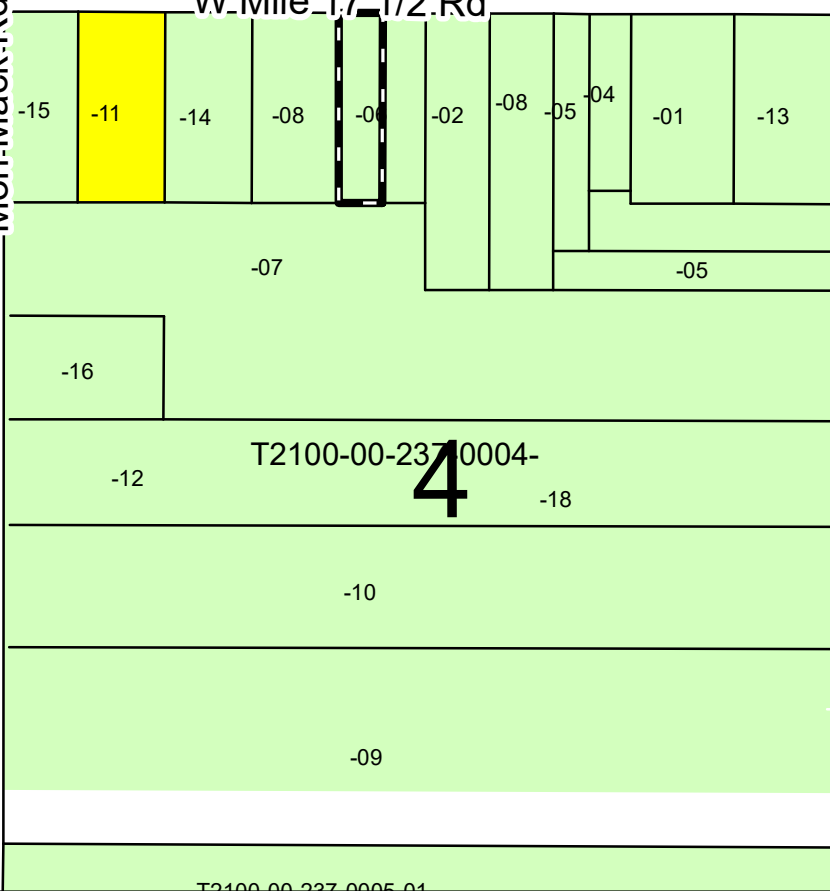
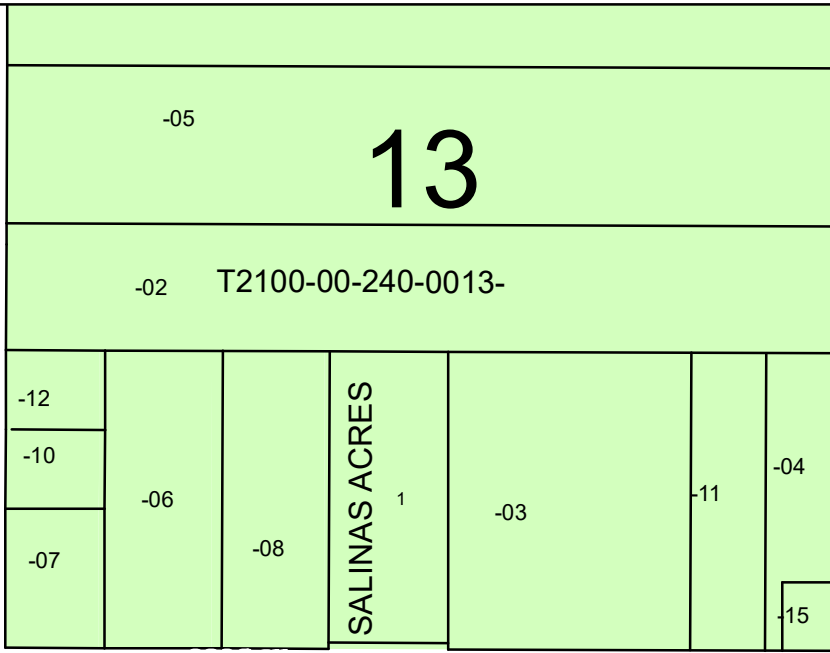
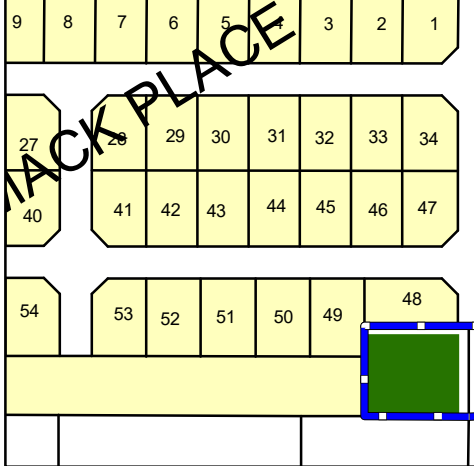
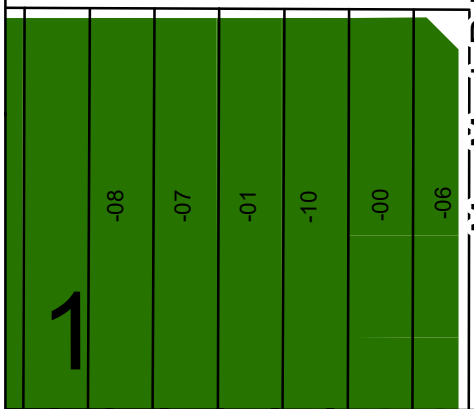
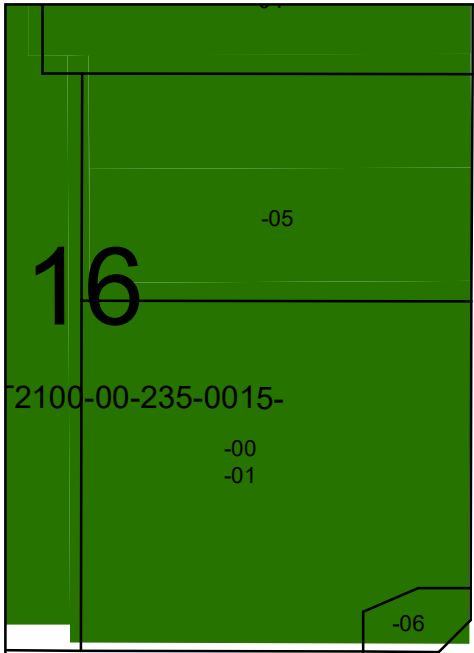
CONSIDER VARIANCE TO THE CITY'S UNIFIED DEVELOPMENT CODE ARTICLE 3, SECTION 3.301, BEING A 0.50 OF ACRE TRACT OF LAND BEING A PORTION OF LOT 4, SECTION 237, TEXAS MEXICAN RAILWAY COMPANY'S SURVEY. LOCATED AT 3504 W MILE 17 1/2 ROAD, AS REQUESTED BY ROSIE CARR

Legend

-  CITY LIMITS
-  APPLICANT SITE

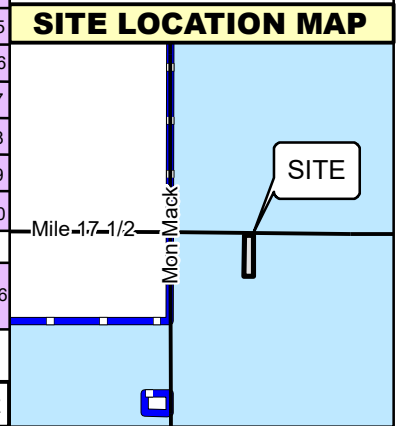
SITE LOCATION MAP

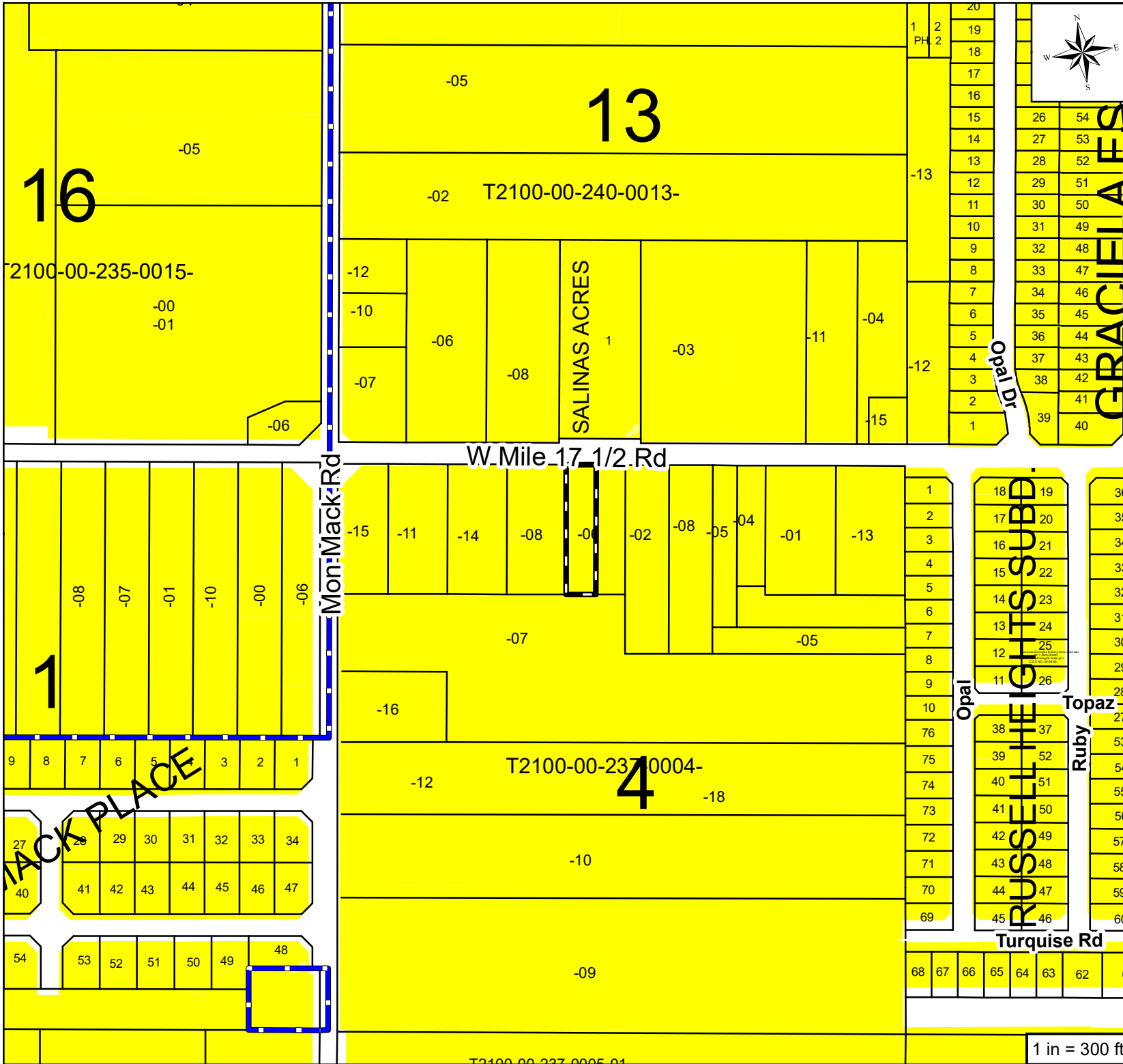




ZONING MAP
CASE CAPTION:
APPLICANT NAME:
ROSIE CARR

- Legend**
- CITY LIMITS
 - APPLICANT SITE
 - ZONING DISTRICTS**
 - AGRICULTURE
 - AUTO-URBAN RESIDENTIAL
 - COMMERCIAL, GENERAL
 - COMMERCIAL, NEIGHBORHOOD
 - DOWNTOWN DISTRICT
 - INDUSTRIAL
 - NEIGHBORHOOD CONSERVATION 5
 - NEIGHBORHOOD CONSERVATION 7.1
 - NEIGHBORHOOD CONSERVATION MH
 - SUBURBAN RESIDENTIAL
 - URBAN RESIDENTIAL
 - URBAN UNIVERSITY





FUTURE LANDUSE MAP

CASE CAPTION:

APPLICANT NAME:

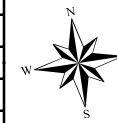
ROSIE CARR

Legend

- CITY LIMITS
- APPLICANT SITE
- FUTURE LANDUSE**
 - Agriculture
 - Auto-Urban
 - Downtown District
 - General Commercial
 - Industrial
 - Mobile Home
 - Neighborhood Commercial
 - Office Business Park
 - Suburban
 - Urban
 - Urban University

SITE LOCATION MAP





CONSIDER VARIANCE TO THE CITY'S
UNIFIED DEVELOPMENT CODE
ARTICLE 3, SECTION 3.301, BEING A
0.50 OF ACRE TRACT OF LAND BEING
A PORTION OF LOT 4, SECTION 237,
TEXAS MEXICAN RAILWAY
COMPANY'S SURVEY. LOCATED AT
3504 W MILE 17 1/2 ROAD, AS
REQUESTED BY ROSIE CARR

Legend

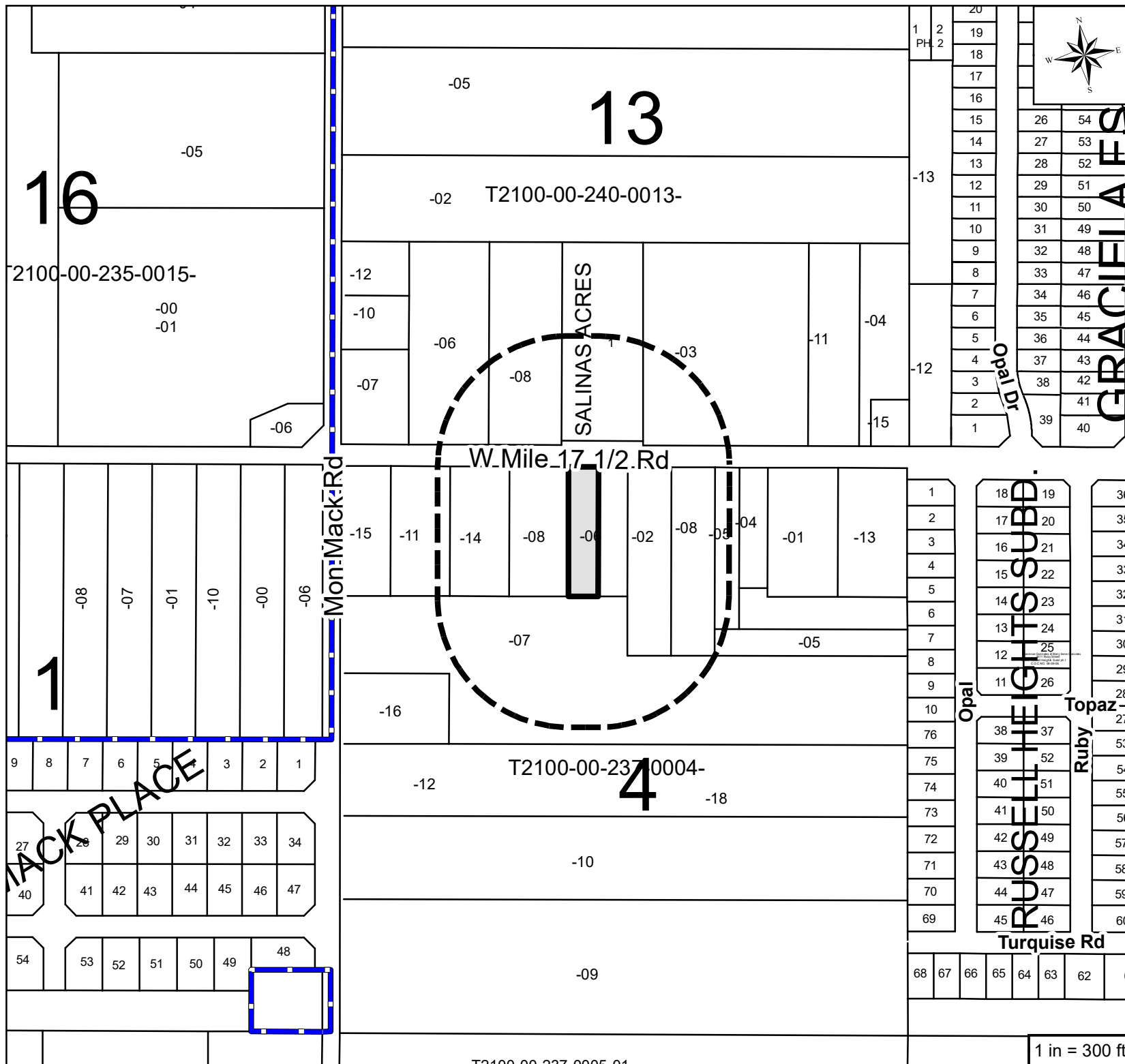
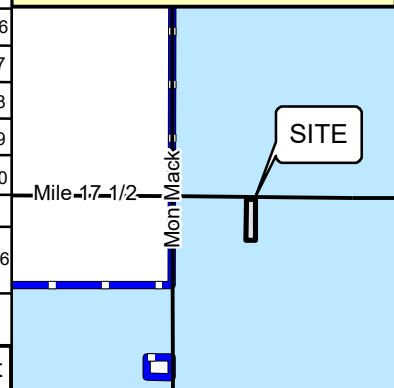
 CITY LIMITS

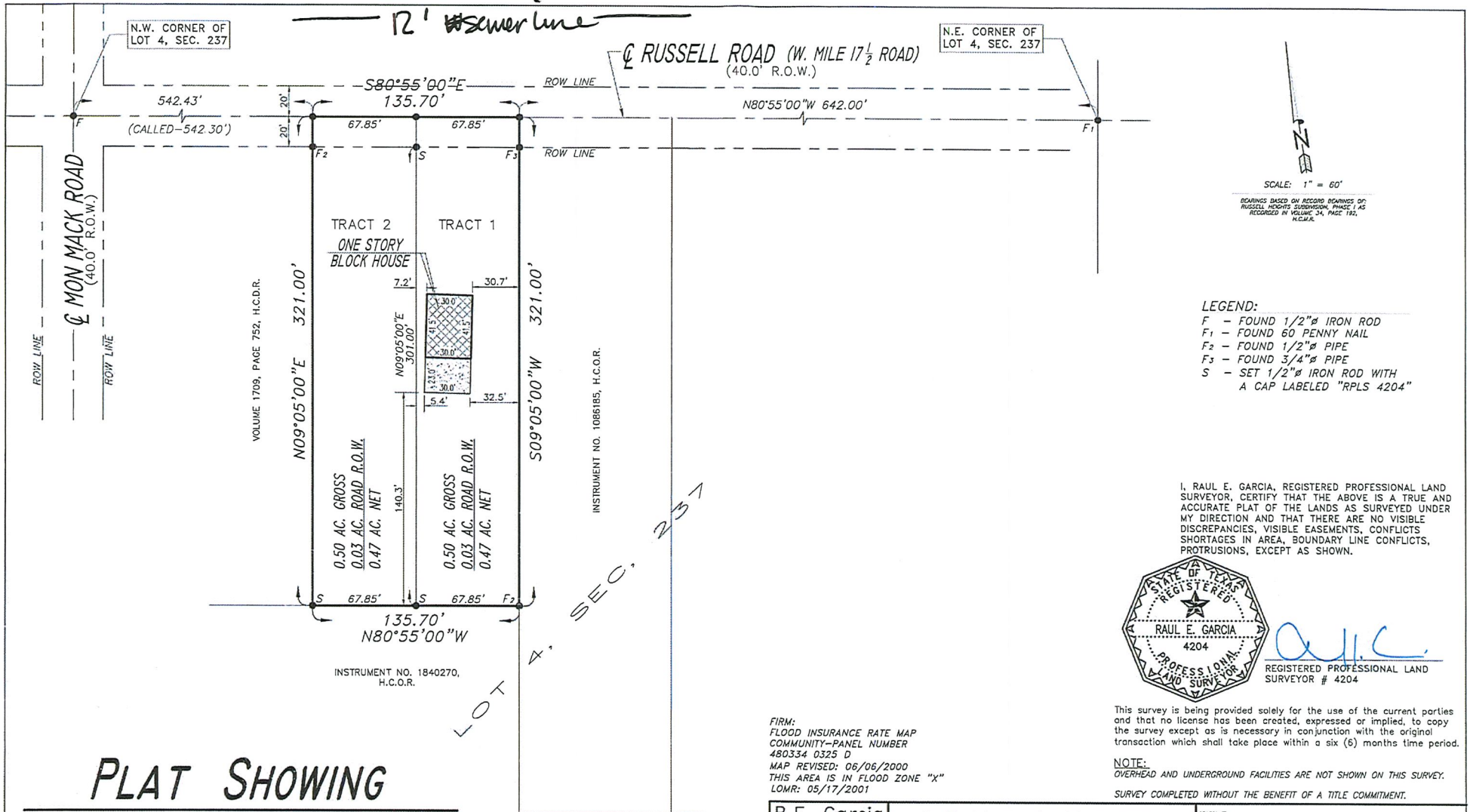
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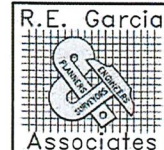
APPLICANT SITE

SITE LOCATION MAP





FIRM:
FLOOD INSURANCE RATE MAP
COMMUNITY-PANEL NUMBER
480334 0325 D
MAP REVISED: 06/06/2000
THIS AREA IS IN FLOOD ZONE "X"
LOMR: 05/17/2001



R. E. GARCIA & ASSOCIATES
ENGINEERS, SURVEYORS, PLANNERS
(ENGINEER (F-5001) & SURVEYOR (10015300))
116 NORTH 12th AVE.
EDINBURG, TEXAS 78541 (936) 381-1061
EMAIL: REGAASSOC@AOL.COM

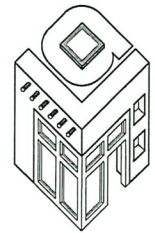
TITLE:
PARTITION SURVEY

DATE: JUNE 11, 2020 **REV:**

JOB # 2020-077 BOOK T-148/PG.31

SCALE: 1" = 60'

DRAWN BY: E.S.



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Custom Plans

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MADESIGNEDBY@GMAIL.COM
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* VERIFY ALL DIMENSIONS PRIOR TO ANY CONSTRUCTION OR SITE PREP.
* VERIFY COMPLIANCE WITH CITY ORDINANCE CODES & RESTRICTIONS WHERE STRUCTURE IS TO BE BUILT.
* VERIFY COMPLIANCE WITH ALL SUBDIVISION REQUIREMENTS.
* PLANS INDICATE LOCATION ONLY. ENGINEERING ASPECTS SHOULD INCORPORATE ACTUAL SITE CONDITIONS.

PROJECT INFORMATION

DATE: 08/24/2020

OWNER:

JESUS IVAN CARR

SITE:

LOT NO. 4 SEC 237 TRACT 2
TEXAN-MEXICAN RAILWAY
HIDALGO COUNTY, TX.

PROJECT DATA

LIVING: 1,807.0' SF

GARAGE: 000.0' SF

PORCH: 68.0' SF

PATIO: 000.0' SF

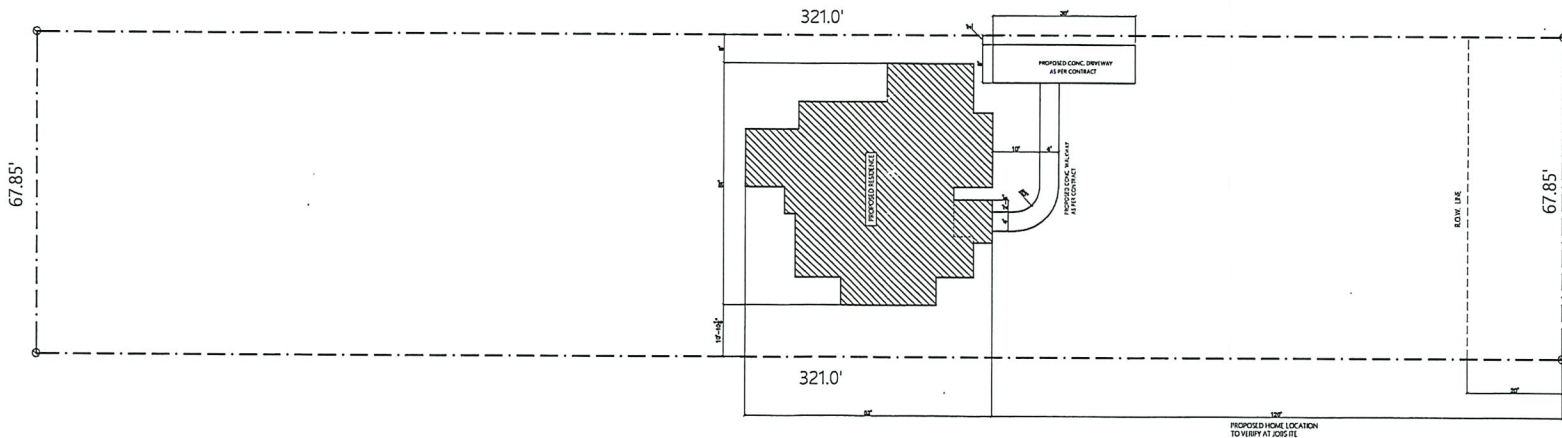
TOTAL AREA: 1,875.0' SF

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SHEET No:

1 of 6

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SITE PLAN
N.T.S.

INITIALED BY BUYER: _____ SELLER: _____

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PROJECT INFORMATION

DATE: 08/24/2020
OWNER:
JESUS IVAN CARR
SITE:
LOT NO. 4 SEC 237 TRACT 2
TEXAN-MEXICAN RAILWAY
HIDALGO COUNTY, TX.

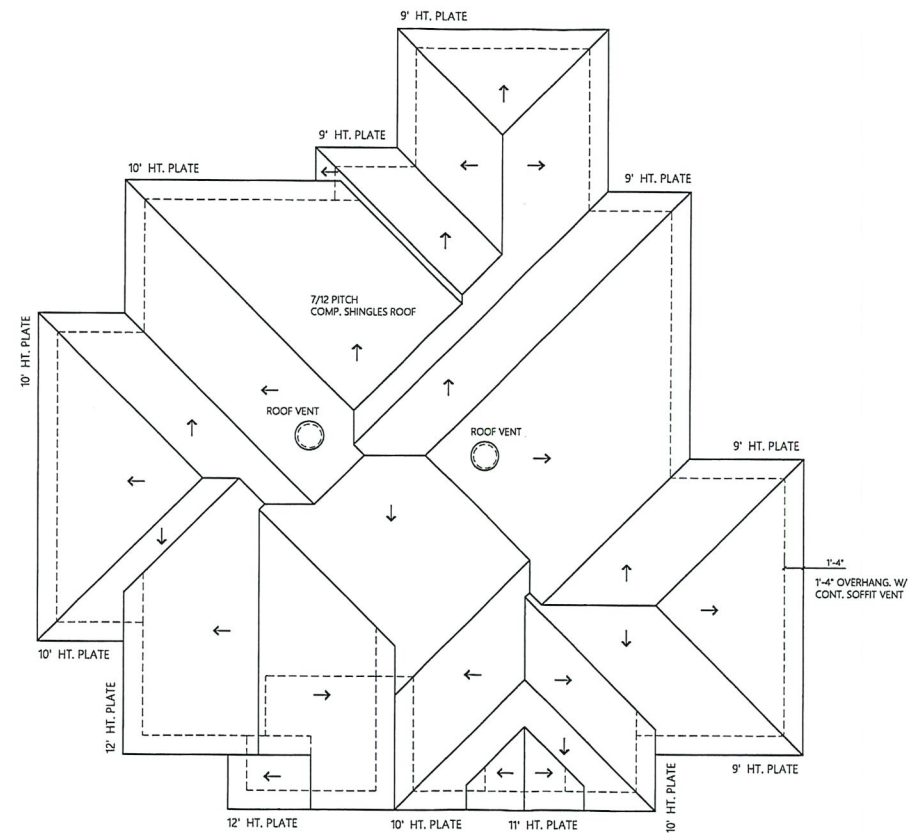
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SHEET No.:

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ROOF PLAN
SCALE: 1/4" = 1'

INITIALED BY BUYER: _____ SELLER: _____



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LOT NO. 4 SEC 237 TRACT 2
TEXAN-MEXICAN RAILWAY
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SCALE: 1/4" = 1'

NOTE: ALL FINISHINGS PER CONTRACT



SCALE: $\frac{1}{4}" = 1'$



SCALE: 1/4" = 1'



SCALE: 1/4" = 1'

INITIALED BY BUYER : _____ SELLER: _____

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PROJECT INFORMATION

DATE: 08/24/2020

OWNER:

JESUS IVAN CARR

SITE:

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TEXAN-MEXICAN RAILWAY
HIDALGO COUNTY, TX.

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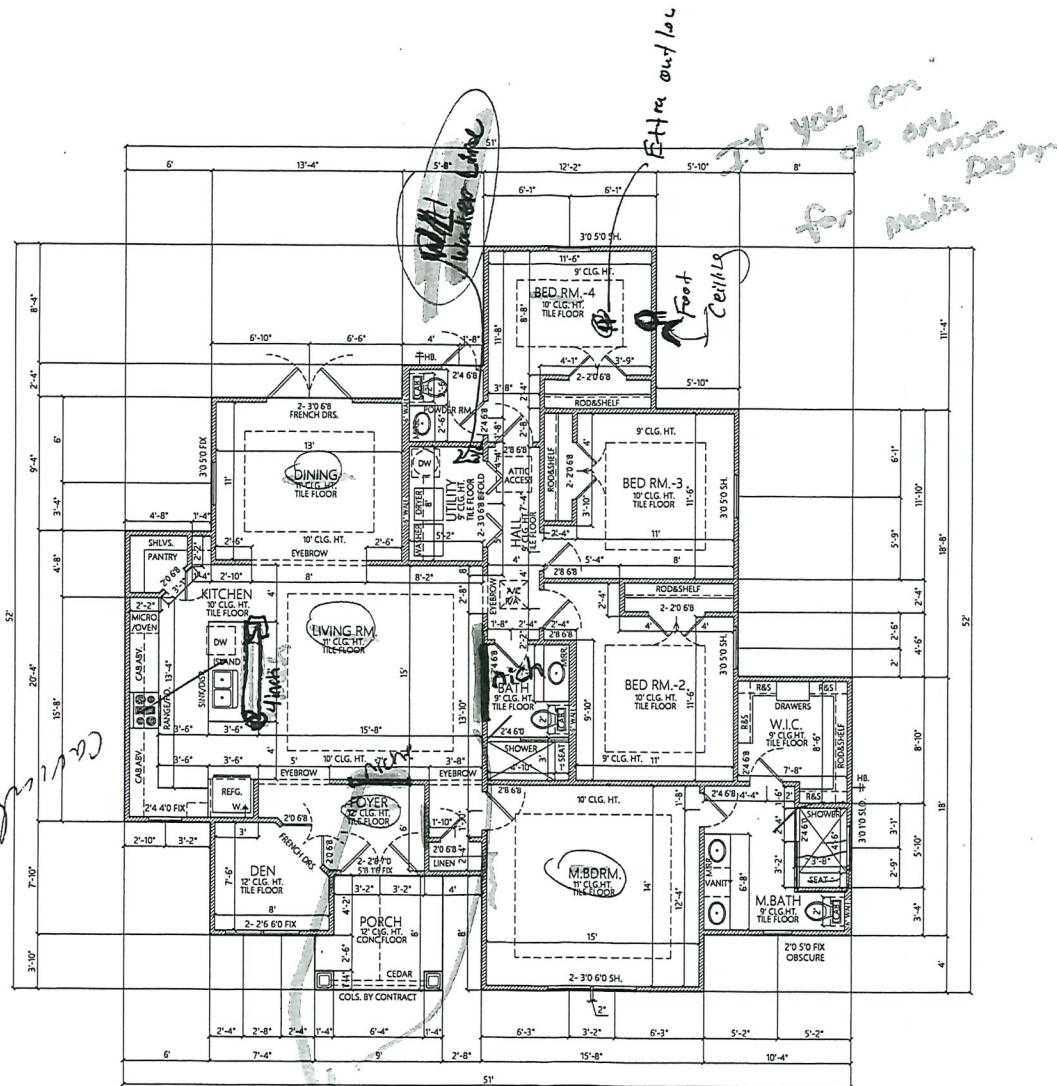
TOTAL AREA: 1,875.0' SF

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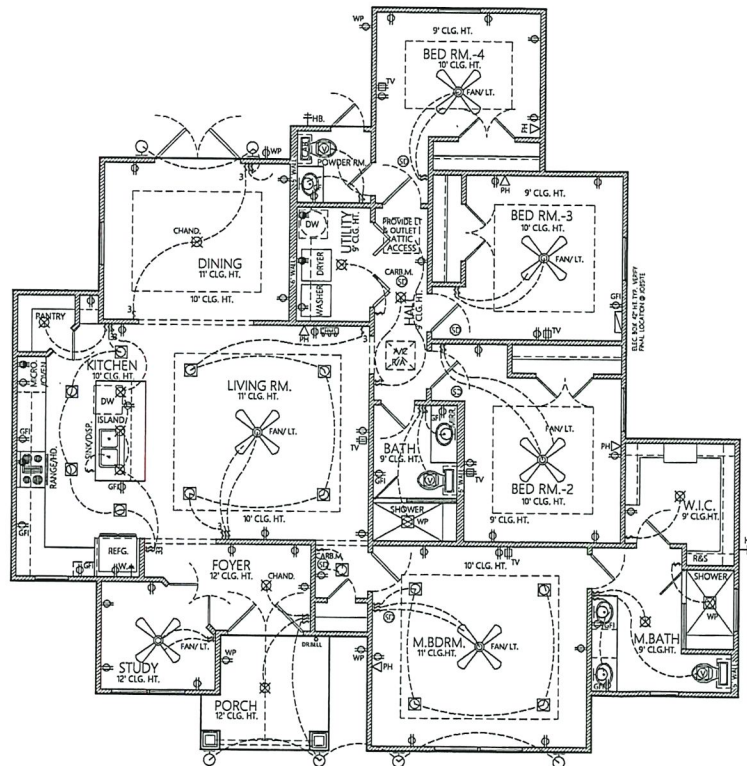
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ELECTRICAL PLAN

SCALE: 1/4" = 1'

M/A CUSTOM PLANS	
ELECTRICAL LEGEND	
SYMBOL	DESCRIPTION
	24" X 48" SURFACE MOUNT FLUORESCENT LIGHT FIXTURE
	ELECTRIC GARAGE OPENER
	SURFACE MOUNTED CEILING FAN & LIGHT
	ELEC. BOX 42" HT. TYP. VERIFY FINAL LOCATION @ POSITIVE
	GARAGE DOOR SENSOR
	PUSH BUTTON SWITCH
	WATER PROOF LIGHT
	RECESSED LIGHT
	EXHAUST FAN VENT
	SUSPENDED LIGHT FIXTURE
	CHANDILLER
	RECESSED HALOGEN LIGHT
	SUSPENDED TRACK LIGHTING
	WALL MOUNTED LIGHT
	WALL SCONCE LIGHT
	SMOKE DETECTOR
	MOTION ACTIVATED FLOOD LIGHT
	TELEPHONE RECEPTACLE
	TELEVISION CONNECTION
	120V OUTLET RECEPTACLE
	240V OUTLET RECEPTACLE
	GROUND FAULT CIRCUIT INTERRUPTER
	WEATHER PROOF RECEPTACLE
	DOOR BELL CHIMES
	WALL MOUNTED DOOR BELL
	TOGGLE SWITCH
	THREE WAY LIGHT SWITCH

ELECTRICAL NOTES:
 PROVIDE RECEPTACLE AND LIGHT IN ATTIC SPACE WHERE REQUIRED.
 PROVIDE COMMUNICATION SYSTEM AND ALARM AS PER CONTRACTOR/OWNER.
 PROVIDE SURROUND SOUND SYSTEM & EXT. LIGHTING AS PER CONTRACT.
 PROVIDE OUTLETS UNDER SOFFIT FOR CHRISTMAS LIGHT PREPARATION.
 T.V. INSTALLATION TO BE SET AT FLAT SCREEN HT. AS PER CONTRACT.
 VERIFY ELECTRICAL BOX/FINAL LOCATION AT ACTUAL POSITIVE.



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 PLANS INDICATE LOCATION ONLY.
 ENGINEERING ASPECTS SHOULD INC-
 ORPORATE ACTUAL SITE CONDITIONS.

PROJECT INFORMATION

DATE: 08/24/2020

OWNER:

JESUS IVAN CARR

SITE:

LOT NO. 4 SEC 237 TRACT 2
 TEXAN-MEXICAN RAILWAY
 HIDALGO COUNTY, TX.

PROJECT DATA

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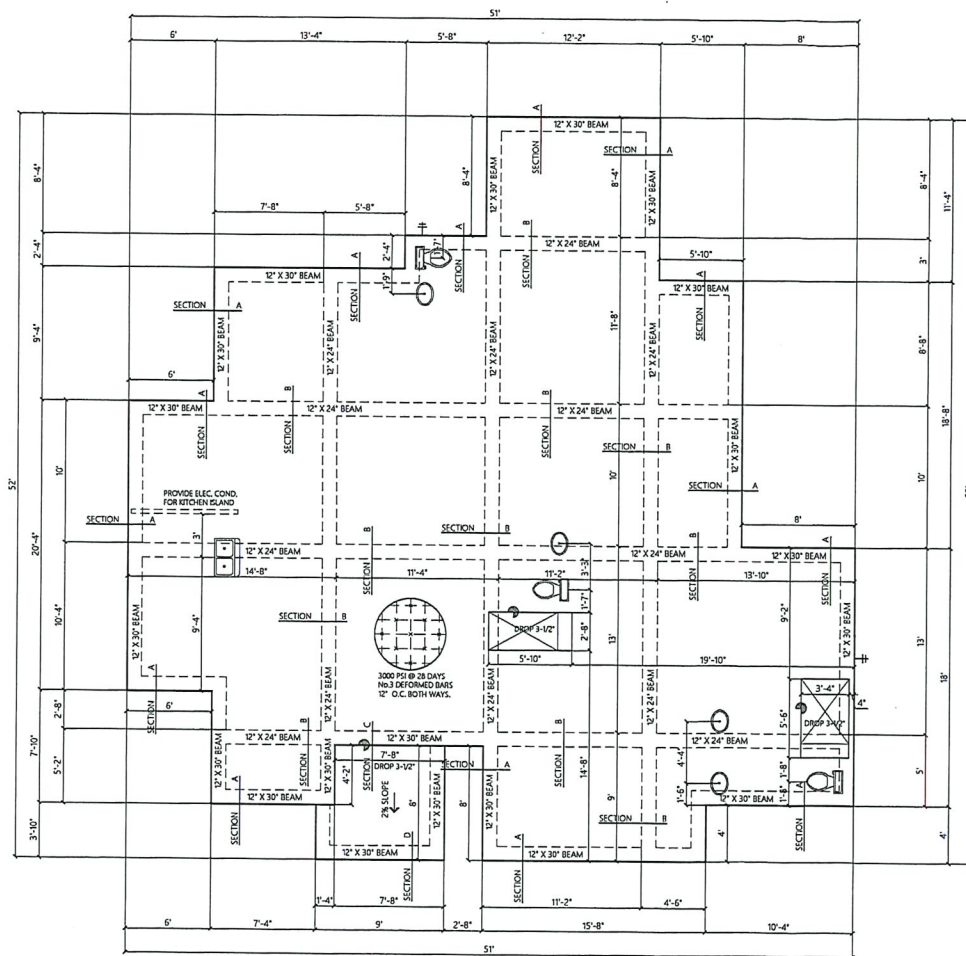
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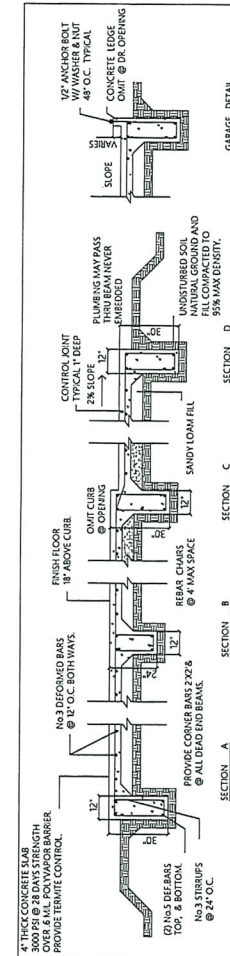
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FOUNDATION PLAN

SCALE: 1/4" = 1'



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PLANS INDICATE LOCATION ONLY. ENGINEERING ASPECTS SHOULD INCORPORATE ACTUAL SITE CONDITIONS.

PROJECT INFORMATION

DATE: 08/ 24/ 2020

OWNER:

JESUS IVAN CARR

SITE:

LOT NO. 4 SEC 237 TRACT 2
TEXAN-MEXICAN RAILWAY
HIDALGO COUNTY, TX.

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TOTAL AREA : 1,875.0' SF

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INITIALED BY BUYER : _____ SELLER: _____

ZONING BOARD OF ADJUSTMENT REGULAR MEETING
December 30, 2020

Item: Consider Variance to the City's Unified Development Code Article 3, Section 3.301, Single Family Residential Bulk Standards, Setbacks, Being a tract out of Lot 16, Section 240, Texas-Mexican Railway Company's Survey, Located at the Northeast Corner of Russell Road and North Roel Bazan Road, As Requested By Abraham Quiroga

Request:

The applicant is requesting a variance to the City's Unified Development Code Article 3, Section 3.301, Single Family Lot and Building Standards, Setbacks. The applicant is proposing to construct an outdoor kitchen and family room into the rear and side yard setbacks.

Property Location and Vicinity:

The property is located at the northeast corner of Russel Road and North Roel Bazan Road. The property has a single family residential home and has 155 feet of frontage along Russell Road and a depth of 223 feet for a lot size of 34,565 square feet. Setbacks called for by zoning are as follows: Front 30 feet, Rear 30 feet, Side 15 feet. The property is zoned Suburban Residential (S) District. Surrounding zoning is Suburban Residential (S) District to the North, East and West and Urban Residential (UR) District to the South.

Background and History:

This home was constructed in 2001 and new ownership came into place in 2009. The applicant would like to add on to the existing home a 3 car garage together with a family room. A building permit for construction of the addition was submitted on December 8, 2020 and is pending decision from the Zoning Board of Adjustment. As part of the review, staff notified the applicant that there was an encroachment into the rear and side yard setbacks. Subsequently, the applicant submitted the application for the variance on December 14, 2020. The building permit is pending the decision of the Zoning Board of Adjustment.

Staff mailed a notice of the variance request to twenty-seven (27) neighboring property owners and received no comments in favor and no comments against for this request at the time of this report.

Analysis:

The applicant is requesting the Board grant an encroachment of 14 feet 5 ½ inches into the 30 foot rear yard setback and 1 foot 3 ½ inches into the 15 foot side yard setback. There have been no other variances granted in this area. The setbacks being proposed are 13 feet 8 ½ inches on the side yard and 15 feet 6 ½ inches in the rear yard.

Recommendation

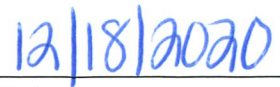
Staff recommends disapproval of the variance request. If the Board chooses to approve the request, it shall be limited to the footprint and as shown on the site plan, as well pay a \$40 fee payable to the County of Hidalgo, County Clerk's Office for the recording of the ZBA order on this request, and any other City requirements, as applicable. A location map, aerial map, photo, subdivision plat, site plan, and response from property owner are attached for the Board's consideration.

Abraham Quiroga
Page 2

Prepared By:
Rita Lee Guerrero
Urban Planner

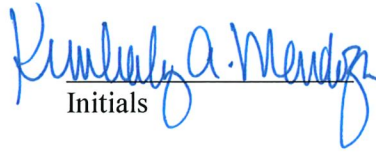


Initials

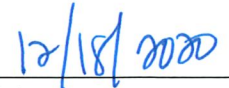


Date

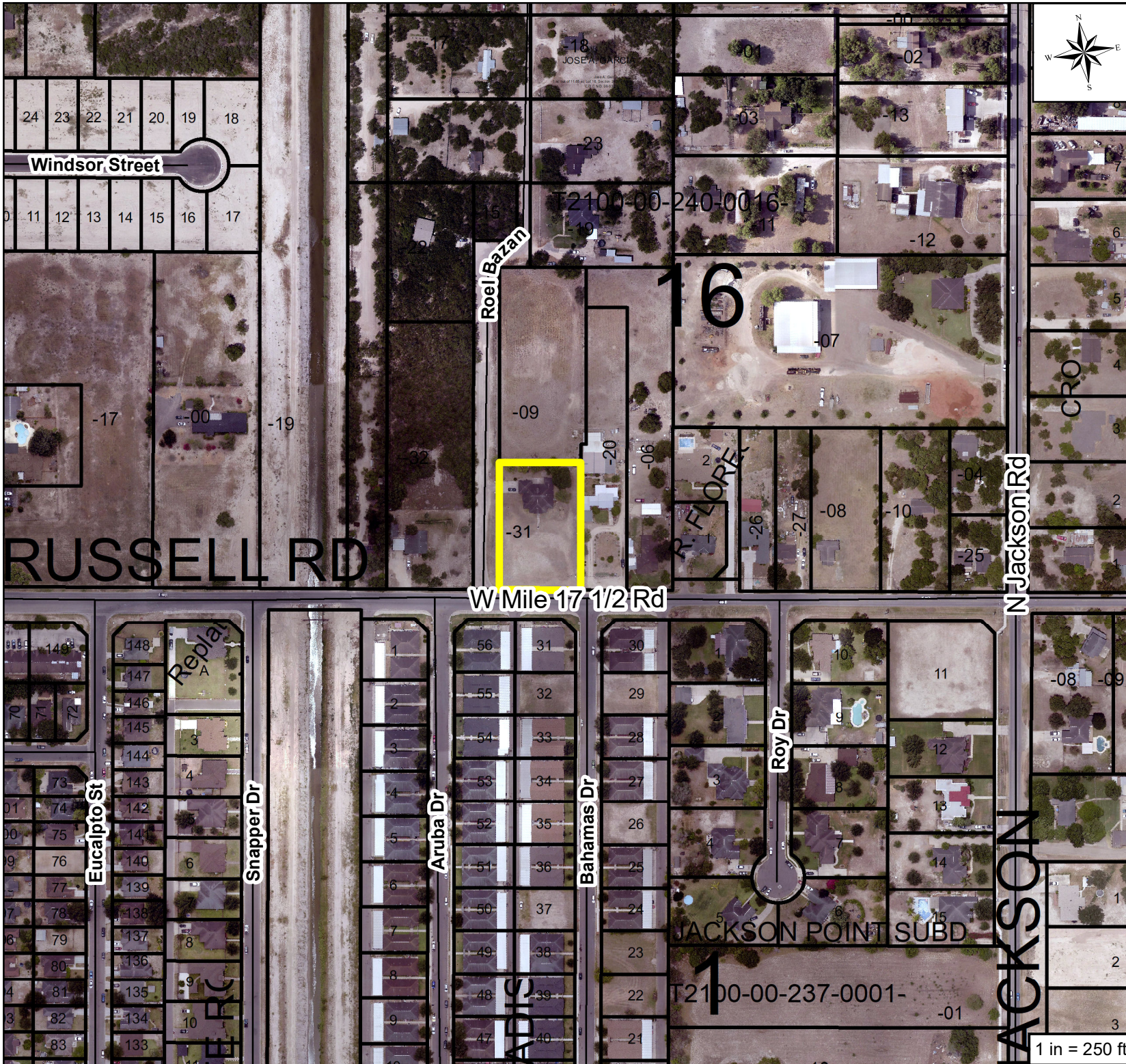
Approved By:
Kimberly A. Mendoza, MPA
Director of Planning & Zoning



Initials



Date





AERIAL MAP

CASE CAPTION:

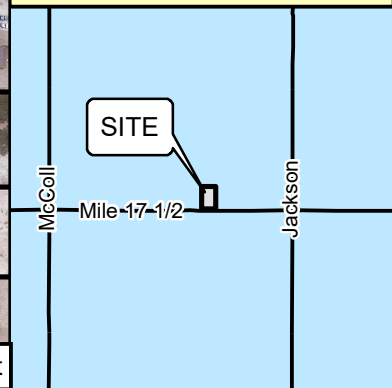
APPLICANT NAME:
ABRAHAM QUIROGA

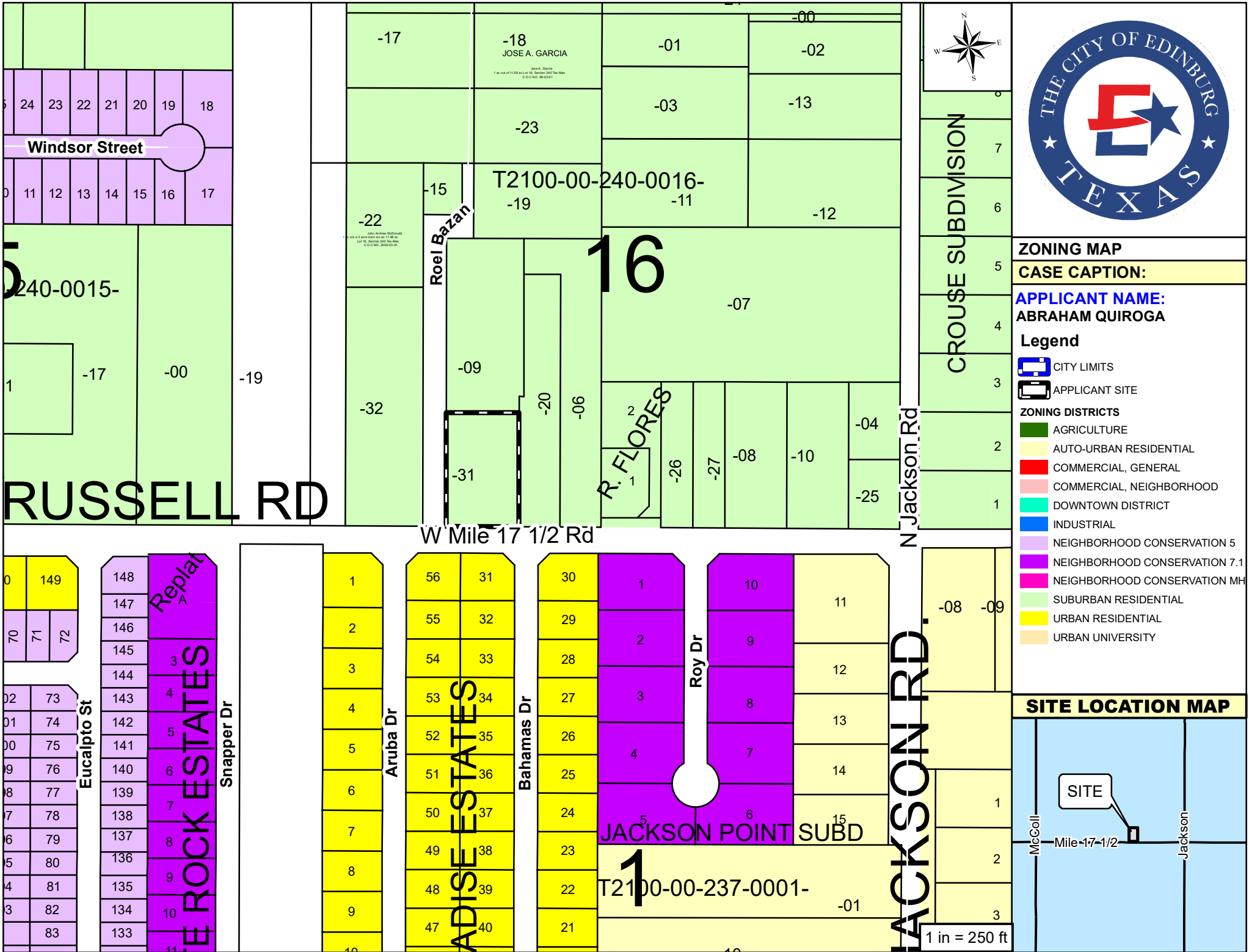
CONSIDER VARIANCE TO THE CITY'S UNIFIED DEVELOPMENT CODE ARTICLE 3, SECTION 3.301, SINGLE FAMILY RESIDENTIAL BULK STANDARDS, BEING A TRACT OUT OF LOT 16, SECTION 240, TEXAS MEXICAN RAILWAY COMPANY'S SURVEY, LOCATED AT THE NORTHEAST CORNER OF RUSSELL ROAD AND NORTH ROEL BAZAN ROAD, AS REQUESTED BY ABRAHAM QUIROGA

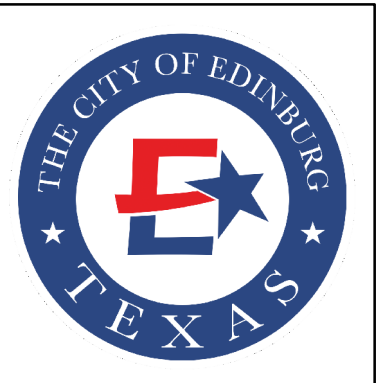
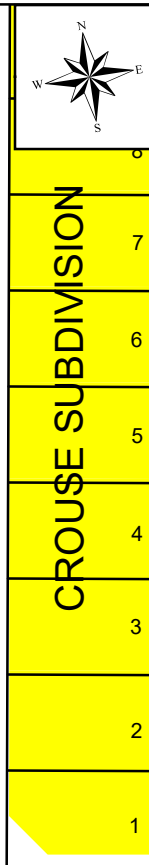
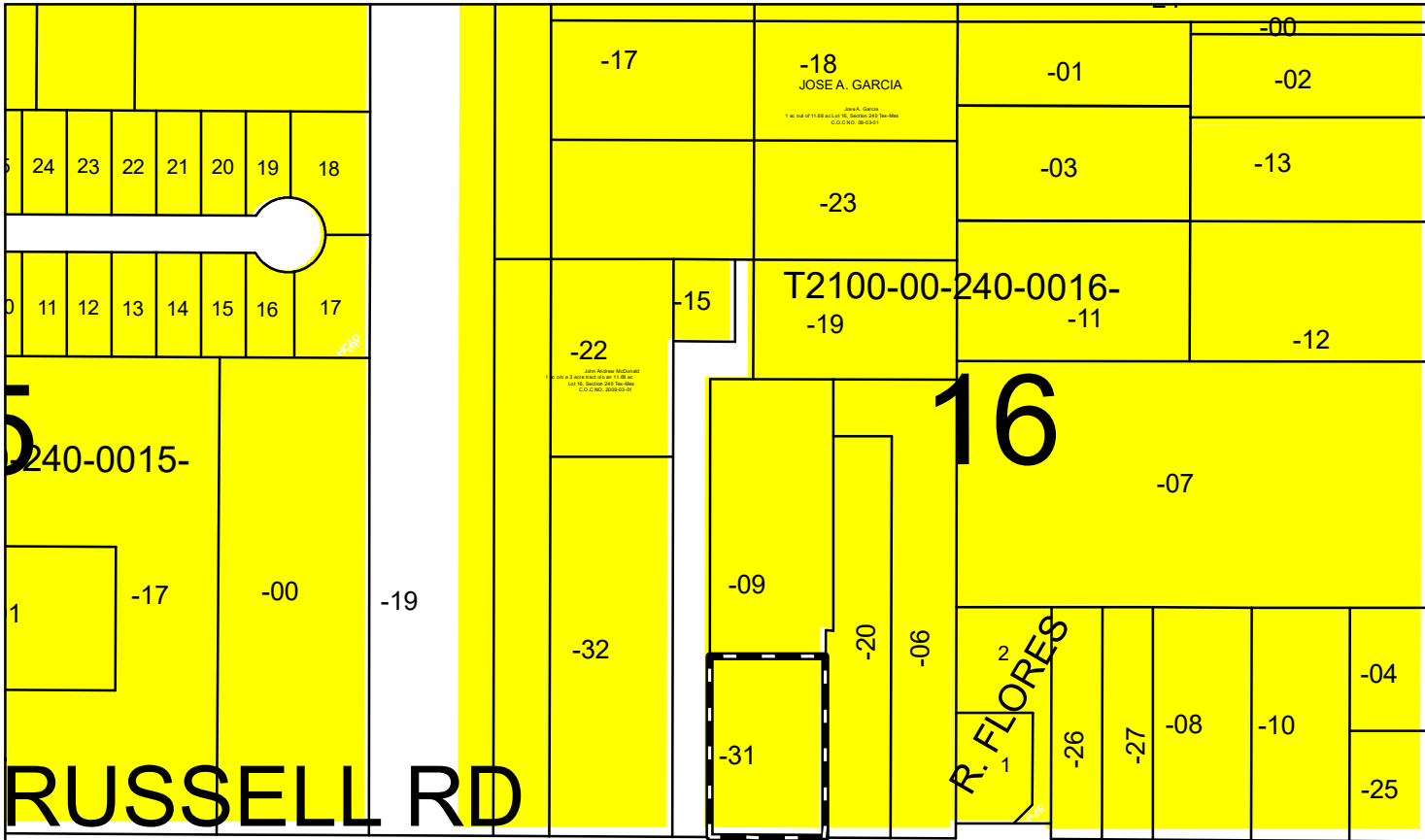
Legend

-  CITY LIMITS
-  APPLICANT SITE

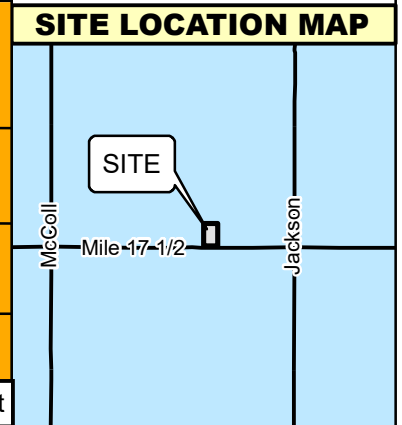
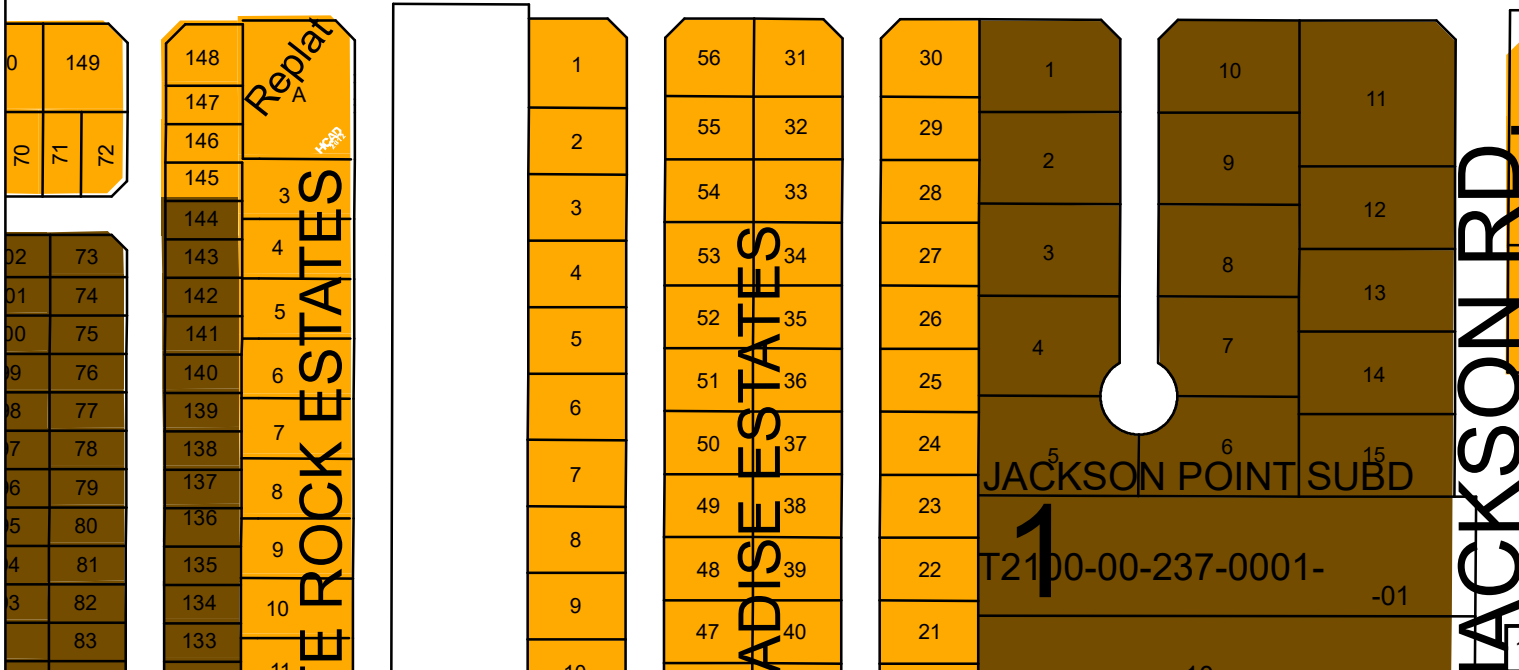
SITE LOCATION MAP

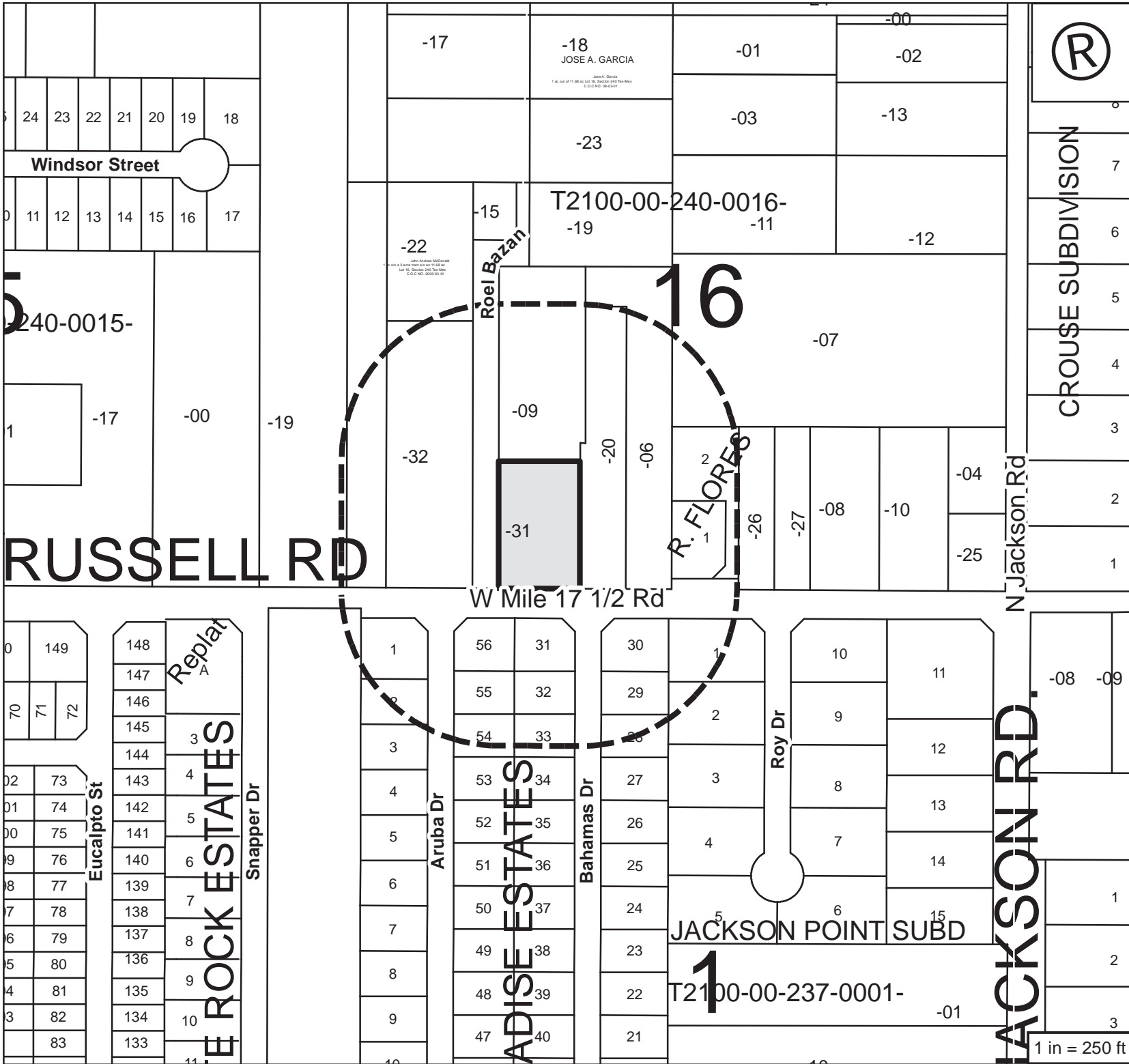






- FUTURE LANDUSE MAP**
CASE CAPTION:
ABRAHAM QUIROGA
Legend
- CITY LIMITS
 - APPLICANT SITE
 - FUTURE LANDUSE**
 - Agriculture
 - Auto-Urban
 - Downtown District
 - General Commercial
 - Industrial
 - Mobile Home
 - Neighborhood Commercial
 - Office Business Park
 - Suburban
 - Urban
 - Urban University





MAILOUT AND SITE MAP

CASE CAPTION:

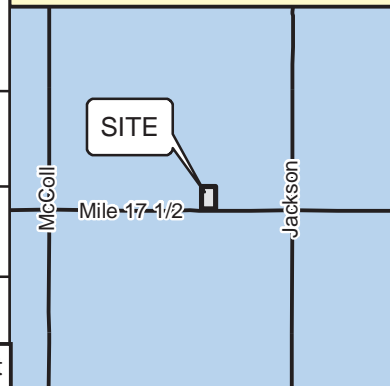
APPLICANT NAME:
ABRAHAM QUIROGA

CONSIDER VARIANCE TO THE CITY'S UNIFIED DEVELOPMENT CODE ARTICLE 3, SECTION 3.301, SINGLE FAMILY RESIDENTIAL BULK STANDARDS, BEING A TRACT OUT OF LOT 16, SECTION 240, TEXAS MEXICAN RAILWAY COMPANAY'S SURVEY, LOCATED AT THE NORTHEAST CORNER OF RUSSELL ROAD AND NORTH ROEL BAZAN ROAD, AS REQUESTED BY ABRAHAM QUIROGA

Legend

- CITY LIMITS
- 300FT NOTIFICATION
- APPLICANT SITE

SITE LOCATION MAP



SUBMITTED BY: _____

DATE: _____



 COMPLETE: _____
 INCOMPLETE: _____
 APPROVED BY: _____

RESIDENTIAL & MULTIFAMILY BUILDING PERMIT APPLICATION

 ADDRESS: 415 W. UNIVERSITY DR. (PO BOX 1079), Edinburg TX 78540
 PHONE (956) 388-8203 Fax (956) 292-2080

PERMIT NO.: _____ DATE ISSUED: _____

 GENERAL CONTRACTOR MC Development, LLC
 ADDRESS 3525 W. Freddy Gonzalez Ste-D-6
 CITY, STATE & ZIP Edinburg, Tx 78539
 EMAIL ADDRESS mcdevelopment958@gmail.com

 PHONE NO.
(956) 627-6036 (OFFICE)
(956) 624-3035 (MOBILE)

 PROJECT SITE ADDRESS: 2601 W. Mile 17 1/2 Rd

 IMPROVEMENT
 VALUE \$ 85,640.00

 LOT(S): 16 BLOCK: _____ SUBDIVISION: _____ SUBD. GATE CODE _____

 SCOPE OF WORK: A family room, garage

 _____ NEW ☒ ADDITION _____ REMODEL _____ REPAIR _____ FENCE _____ DEMOLITION (NEED APPROVAL: SWD)

 PLEASE CHECK ONE: RESIDENTIAL ☒ MULTI-FAMILY _____

TOTAL BLDG SQ FT _____ SQ. FT LIVING _____ # PARKING SPACE _____ SQ FT LOT _____ LOT FRONT _____ FLOOR ELEVATION ABOVE TOP OF CURB _____

NO. OF UNITS _____ NO. OF FLOORS _____ NO. OF BDRMS _____ NO. OF BATHRMS _____ SQ FT CARPORT _____ FLOOD ZONE _____ BLDG. HEIGHT _____

BUILDING DISTANCE FROM PROPERTY LINES

FRONT SIDE REAR SIDE

FOUNDATION	EXT WALLS	INTERIOR WALL	ROOF	OTHER CONDITIONS
<input type="checkbox"/> CONCRETE SLAB	<input type="checkbox"/> MASONRY VENEER	<input type="checkbox"/> SHEETROCK	<input type="checkbox"/> ROOF SHINGLES	<input type="checkbox"/> PUBLIC SIDEWALK
<input type="checkbox"/> CONCRETE PIER	<input type="checkbox"/> MASONRY SOLID	<input type="checkbox"/> PANEL	<input type="checkbox"/> COMPOSITION	<input type="checkbox"/> CORNER LOT
<input type="checkbox"/> CONCRETE BLOCK	<input type="checkbox"/> METAL SIDING	<input type="checkbox"/> SEALED	<input type="checkbox"/> METAL	<input type="checkbox"/> CUL-DE-SAC
<input type="checkbox"/> CONCRETE BEAM	<input type="checkbox"/> COMPOSITION	<input type="checkbox"/> TEXTONE	<input type="checkbox"/> CLAY TILE	<input type="checkbox"/> OTHER _____

 OWNER: ABRAHAM Quiroga

 PHONE NO. (956) 627-6036

 ADDRESS: 2601 W. Mile 17 1/2 Road

MOBILE NO. () _____

 CITY: Edinburg, Tx.

 STATE Tx. ZIP _____

OFFICE USE ONLY

PERMIT FEE \$ _____

PARKLAND FEE \$ _____

TOTAL PERMIT FEE \$ _____

EFFECTIVE IMMEDIATELY

PROJ CT ID: _____

 Inspections requested between 8:00 A.M to 11:30 A.M will be conducted that same afternoon (time permitting).
 Inspections requested between 11:31 A.M to 4:30 P.M will be conducted the following (business) morning (time permitting).

Floor Plans

- ☐ Layout of main floor with all rooms labeled ☐ Layout of secondary floors with all rooms labeled
- ☐ Door sizes ☐ Window sizes
- ☐ Attic and crawl spaces access locations labeled and size ☐ Dash lines indicating ceiling heights and shape

Electrical Details

- ☐ Service panel location ☐ All lights, switches, and receptacles
- ☐ Smoke alarm locations ☐ Exhaust Fan (restroom(s))

Plumbing Details

- ☐ Furnace location and size ☐ All fuel gas locations

Manual - J Report for mechanical installations

Energy Compliance Report and Checklist: 2009 IECC (13 SEER or HIGHER)

Wind Storm Compliance

- ☐ Wall Bracing Plan & Details
- ☐ Engineer Sealed

Notes:

OWNER/CONTRACTOR IS RESPONSIBLE TO SCHEDULE ANY AND ALL REQUIRED INSPECTIONS. IF YOU HAVE ANY QUESTIONS PLEASE CONTACT THE PERMITS DEPARTMENT AT 956-388-8203.

CONTRACTOR NEEDS TO SUBMIT GENERAL LIABILITY INSURANCE OR SURETY BOND.

I hereby certify that I have read and examined this document and know the same to be true and correct. All provisions of laws and ordinances governing this type of work will be complied with whether specified herein or not. Granting of a permit does not presume to give authority to violate or cancel the provisions of any other state or local law regulating construction or the performance of construction

REVIEWER/INSPECTOR _____ DATE _____

AGENT/OWNER  _____ DATE 12/7/2020

(DEMOLITION) SOLIDWASTE APPROVAL: _____ DATE: _____

TURN PAGE OVER TO DRAW SITE PLAN
***** APPLIES TO MINOR IMPROVEMENTS ONLY*****

REVISED 11/2018

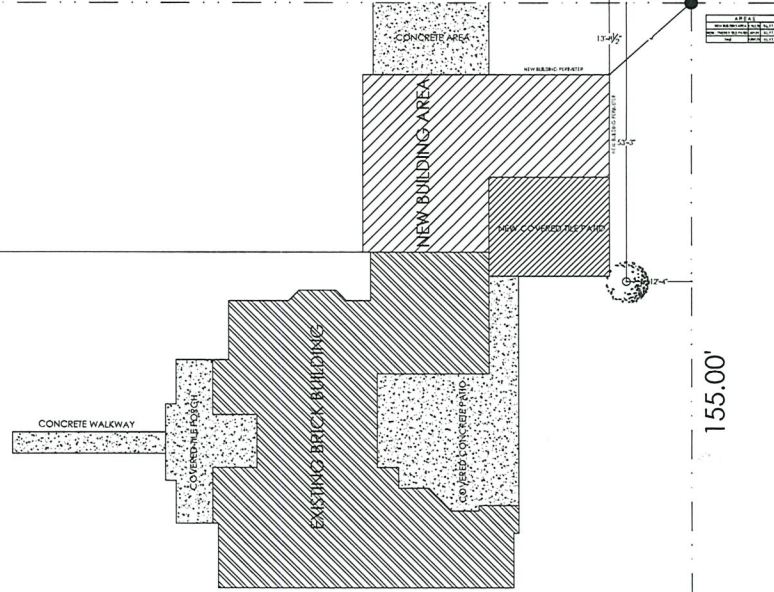
17 1/2 RD.



LOT 16
SECTION 240

ROEL BAZAN ST. (UN-PAVED ROAD)

223.00'



IT IS THE RESPONSIBILITY OF THE PURCHASER OF THIS PLAN TO PERFORM THE FOLLOWING BEFORE BEGINNING ACTUAL CONSTRUCTION.

- 1) BUILDER OR CONTRACTOR MUST VERIFY ALL DIMENSIONS PRIOR TO PROCEEDING CONSTRUCTION.
- 2) CONTRACTOR MUST VERIFY COMPLIANCE WITH LOCAL BUILDING CODES IN THE AREA WHERE THE HOME IS TO BE CONSTRUCTED.
- 3) PLANS INDICATE LOCATION ONLY; ENGINEERING ASPECTS SHOULD INCORPORATE ACTUAL SITE CONDITIONS.

CAUTION MUST BE EXERCISED IN MAKING ANY CHANGES IN THIS PLAN. ONLY A QUALIFIED ENGINEER SHOULD ATTEMPT MODIFICATIONS, AS EVEN MINOR CHANGES IN ONE AREA OF THE HOUSE COULD LEAD TO MAJOR PROBLEMS.

M.C.I. Development, LLC

OFFICE: (956) 627-6016
3525 W. FREDDY GONZALEZ DR. STE-4
EDINBURG, TX 78539
CELL: (956) 424-3015
MARCO ANTONIO RAMOS
mramos@mcidevelopment.com

PROJECT: RESIDENTIAL DATE: 12/4/2020 SHEET:

SITE: 2601 W Mile 17 1/2 Rd Edinburg, TX 78541

OWNER: Abraham Quiroga

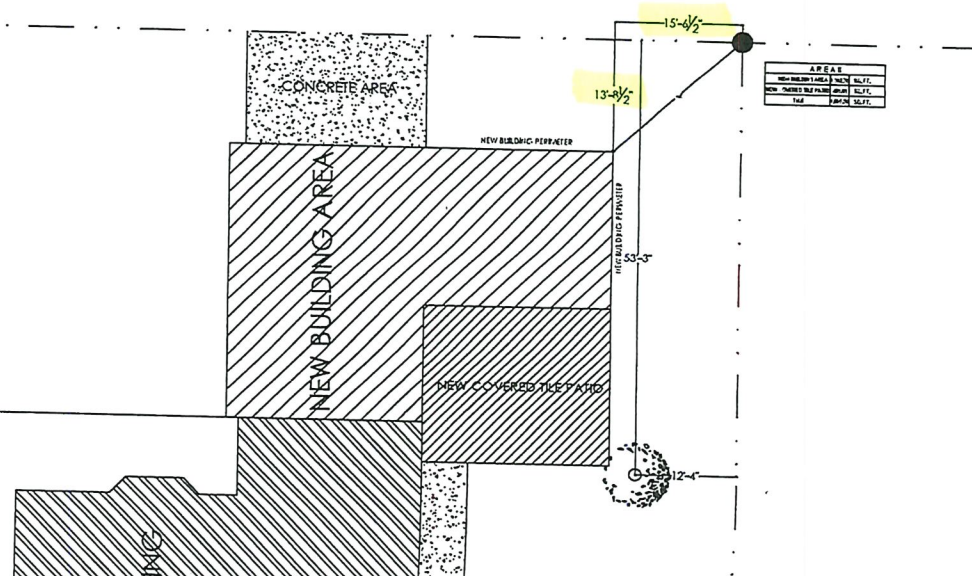
SHEET TITLE(S)

SITE PLAN

ROEL BAZAN ST. (UN-PAVED ROAD)

223.00'

160'-8"



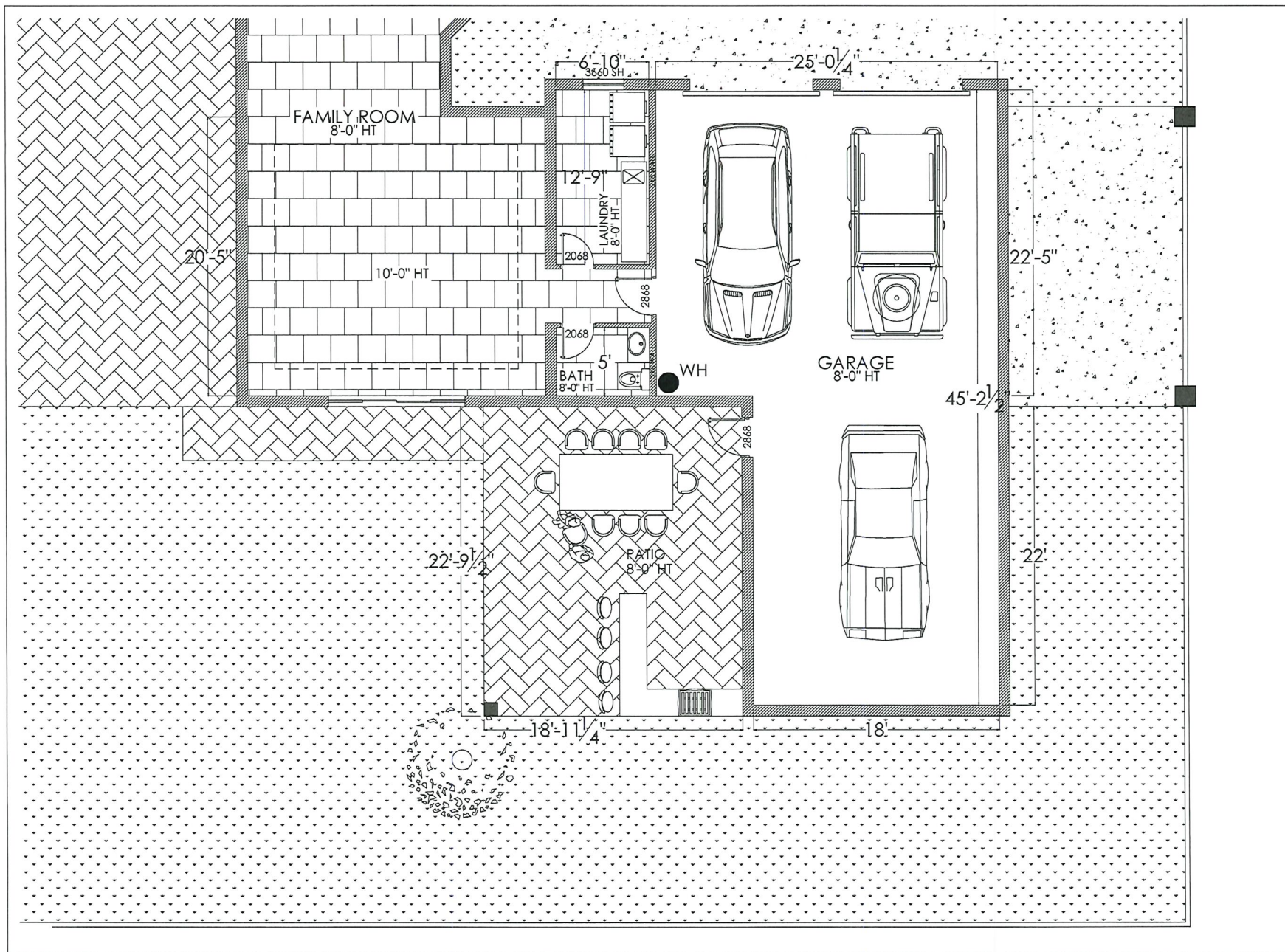
AREAS	
NEW BUILDING AREA	SQ. FT.
NEW COVERED TILE PATIO	SQ. FT.
TOTAL	SQ. FT.

IT IS THE RESPONSIBILITY OF THE PURCHASER OF THIS PLAN TO PERFORM THE FOLLOWING BEFORE BEGINNING ACTUAL CONSTRUCTION.

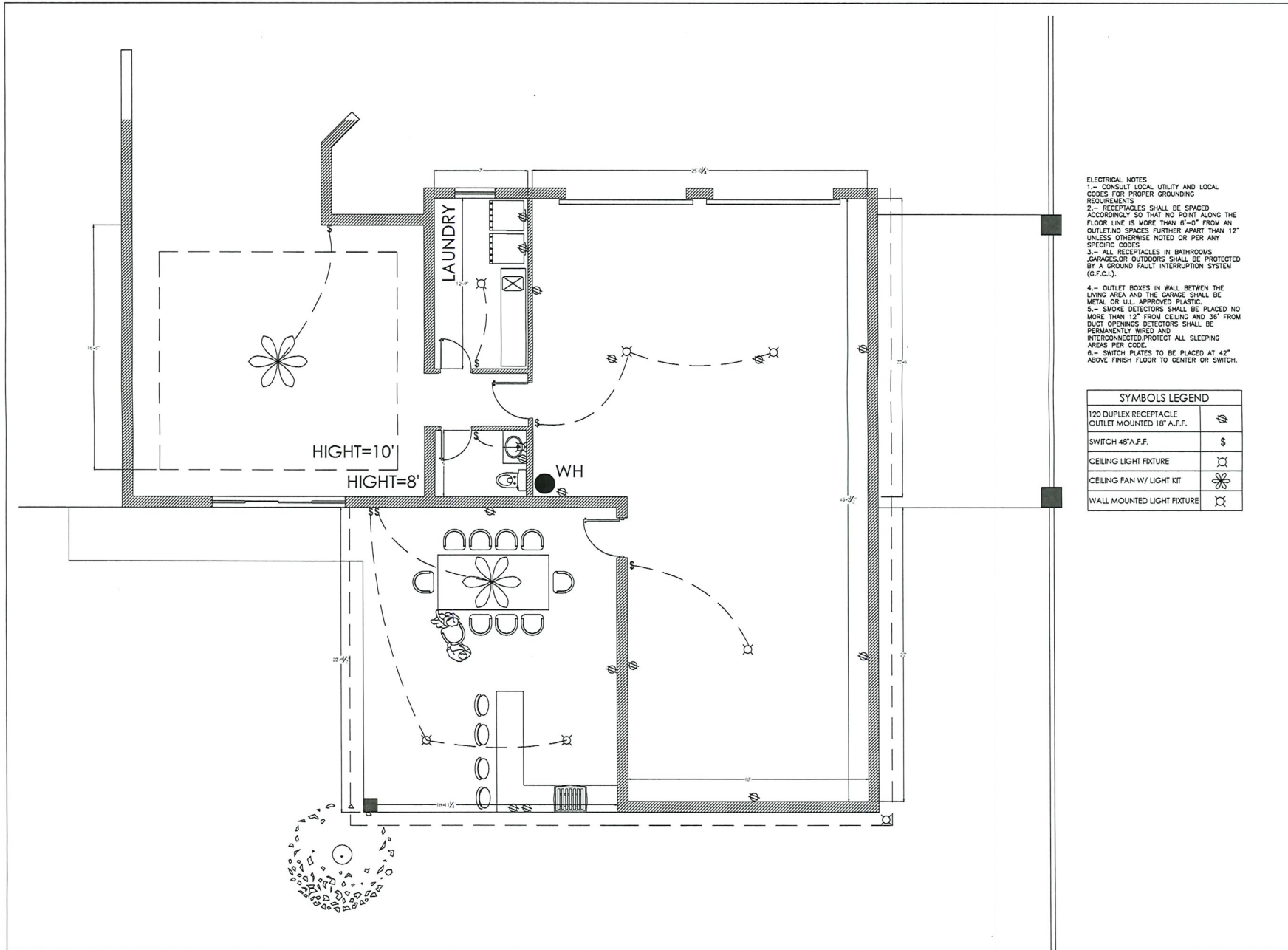
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SHEET TITLE(S)
SITE PLAN



M.C.I. Development, LLC		SHEET TITLE(S)	
3523 W FREDY GONZALES DR. STE-4 EDINBURG, TX 78539		FLOOR PLAN	
OFFICE: (956) 627-0016 CELL: (956) 624-3015 MARCO ANTONIO RAMOS mci@developmentllc.com		OWNER: Abraham Quiroga	
PROJECT: RESIDENTIAL		DATE: 10/26/2023	
SHEET:		SITE: 2001 W Mile 17 1/2 Rd Edinburg, TX 78541	



ELECTRICAL NOTES
 1.- CONSULT LOCAL UTILITY AND LOCAL CODES FOR PROPER GROUNDING REQUIREMENTS
 2.- RECEPTACLES SHALL BE SPACED ACCORDINGLY SO THAT NO POINT ALONG THE FLOOR LINE IS MORE THAN 6'-0" FROM AN OUTLET, NO SPACES FURTHER APART THAN 12" UNLESS OTHERWISE NOTED OR PER ANY SPECIFIC CODES
 3.- ALL RECEPTACLES IN BATHROOMS, GARAGES, OR OUTDOORS SHALL BE PROTECTED BY A GROUND FAULT INTERRUPTION SYSTEM (G.F.C.I.).
 4.- OUTLET BOXES IN WALL BETWEEN THE LIVING AREA AND THE GARAGE SHALL BE METAL OR U.L. APPROVED PLASTIC.
 5.- SMOKE DETECTORS SHALL BE PLACED NO MORE THAN 12" FROM CEILING AND 36" FROM DUCT OPENINGS DETECTORS SHALL BE PERMANENTLY WIRED AND INTERCONNECTED, PROTECT ALL SLEEPING AREAS PER CODE.
 6.- SWITCH PLATES TO BE PLACED AT 42" ABOVE FINISH FLOOR TO CENTER OF SWITCH.

SYMBOLS LEGEND	
120 DUPLEX RECEPTACLE OUTLET MOUNTED 18" A.F.F.	⊕
SWITCH 48" A.F.F.	\$
CEILING LIGHT FIXTURE	⊙
CEILING FAN W/ LIGHT KIT	⊗
WALL MOUNTED LIGHT FIXTURE	⊗

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	M.C.I. Development, LLC			
	3525 W PREDY GOZALEZ DR. STE-6 EDINBURG, TX 78539	OFFICE: (956) 627 0016 CELL: (956) 624 3015 MARCO ANTONIO RAMOS mcsdevelopmentllc@gmail.com		
	PROJECT: RESIDENTIAL	DATE: 12/4/2020	SHEET:	
	SITE: 2601 W Mills 17 1/2 Rd Edinburg, TX 78541			
	OWNER: Abraham Quiroga			

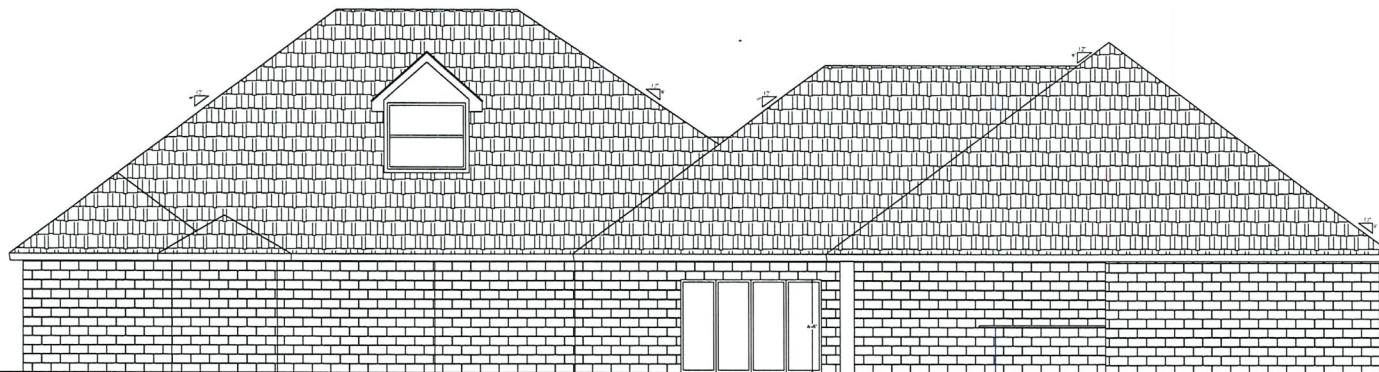


23' 8" HEIGHT

8'-0" HEIGHT



MAIN ELEVATION



23' 8" HEIGHT

8'-0" HEIGHT

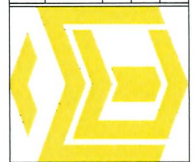
REAR ELEVATION

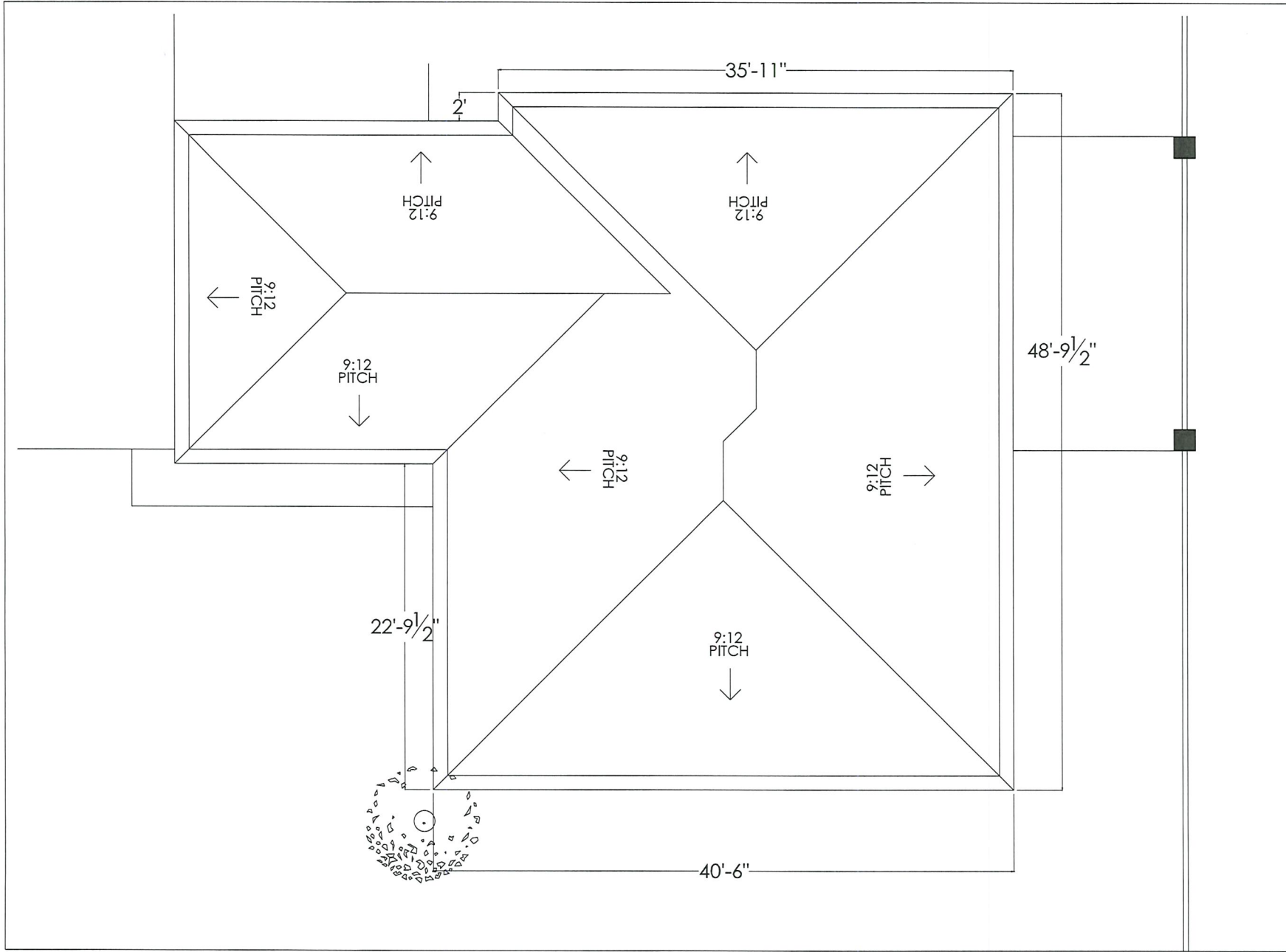
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M.C.I. Development, LLC		SHEET TITLE(S) ELEVATIONS	
3525 W PREDDY GONZALES DR. STE-4 EDINBURG, TX 78539	OFFICE: (956) 627-0016 CELL: (956) 424-3015 MARCO ANTONIO RAMOS mci.development@gmail.com	PROJECT: RESIDENTIAL	DATE: 10/26/2023
OWNER: Abraham Quiroga		SHEET: 2601 W Mile 17 1/2 Rd Edinburg, TX 78541	





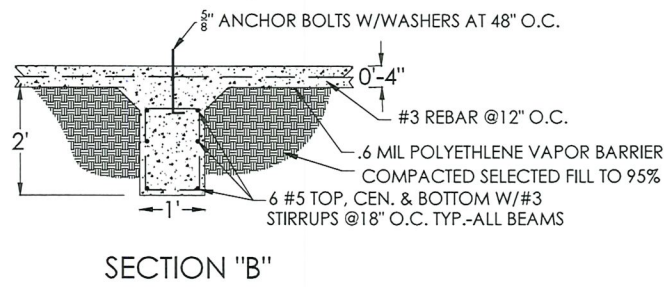
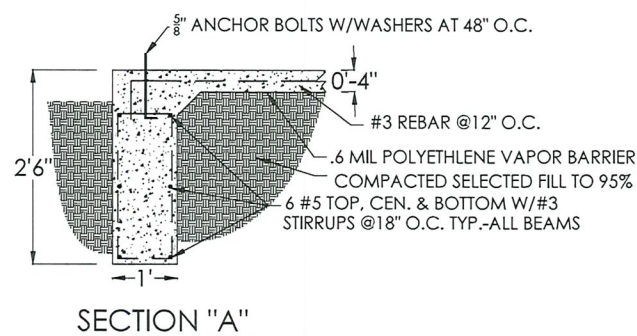
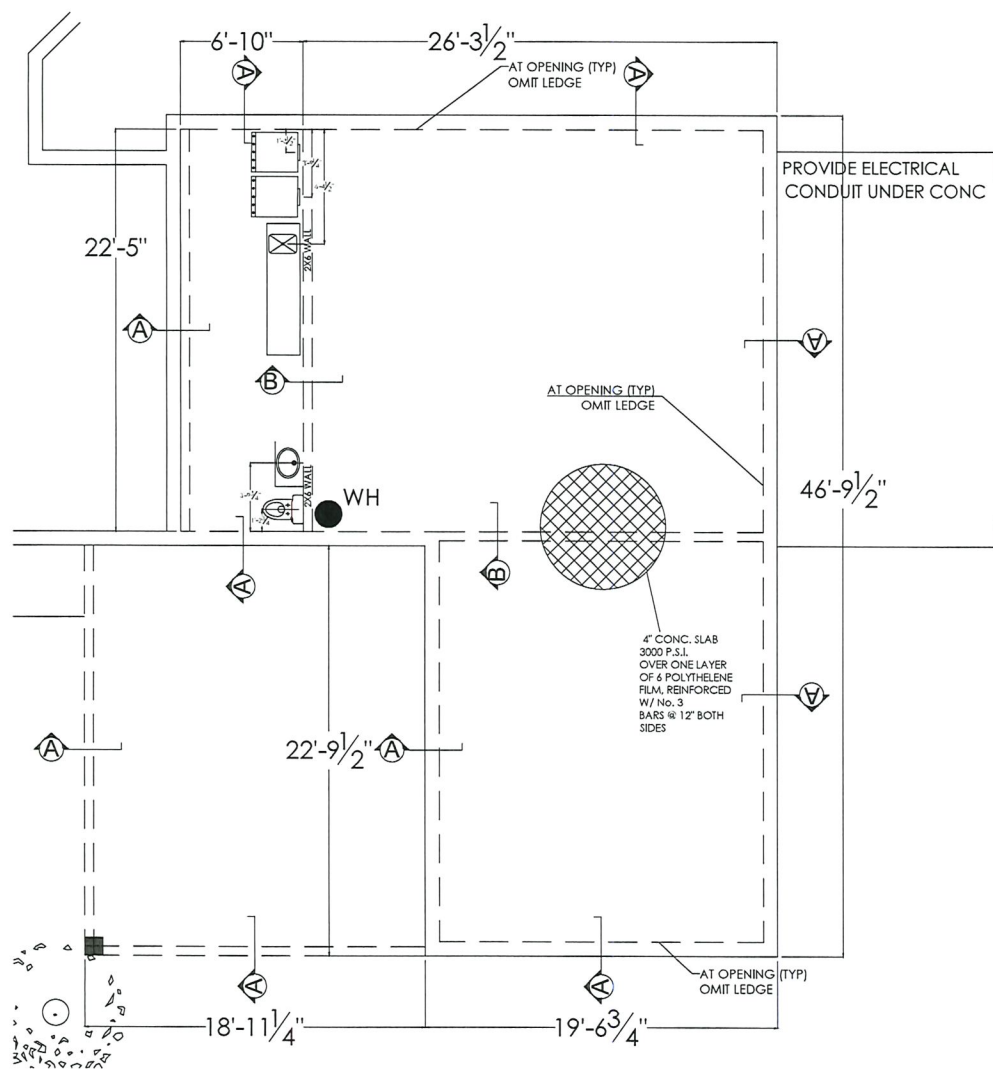
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M.C.I. Development, LLC		OFFICE: (956) 627 6016 CELL: (956) 624 3015 MARCO ANTONIO RAMOS mci.development@gmail.com		SHEET TITLE(S) ROOF PLAN	
3325 W FREDDY GONZALEZ DR. STE-4 EDINBURG, TX 78539	PROJECT: RESIDENTIAL	DATE: 12/4/2020	SHEET:	SITE: 2601 W Mile 17 1/2 Rd Edinburg, TX 78541	OWNER: Abraham Quiroga



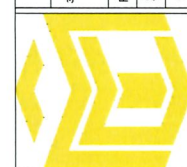


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SHEET TITLE(S)		PLUMBING AND FOUNDATION	
M.C.I. Development, LLC		OWNER: Abraham Quiroga	
OFFICE: (956) 427-0116	CELL: (956) 424-0015	PROJECT: RESIDENTIAL	
3325 W FREDDY GONZALEZ DR. STE-4	MARCO ANTONIO RAMOS	DATE: 12/4/2020	
EDINBURG, TX 78539	mci-development@signal.com	SHEET:	
SITE: 2601 W Mile 17 1/2 Rd Edinburg, TX 78541			



DESIGN CRITERIA:

1. CODE: IRC 2015
2. EXPOSURE FACTOR: B
3. WIND SPEED (V3s ULT)- 3-second gust: 130 MPH

EXTERIOR WALLS SHALL BE FULLY SHEATHED WITH 7/16 OSB NAILED AS INDICATED ON DETAIL 2/S2

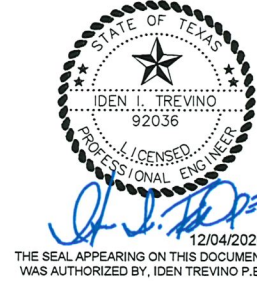
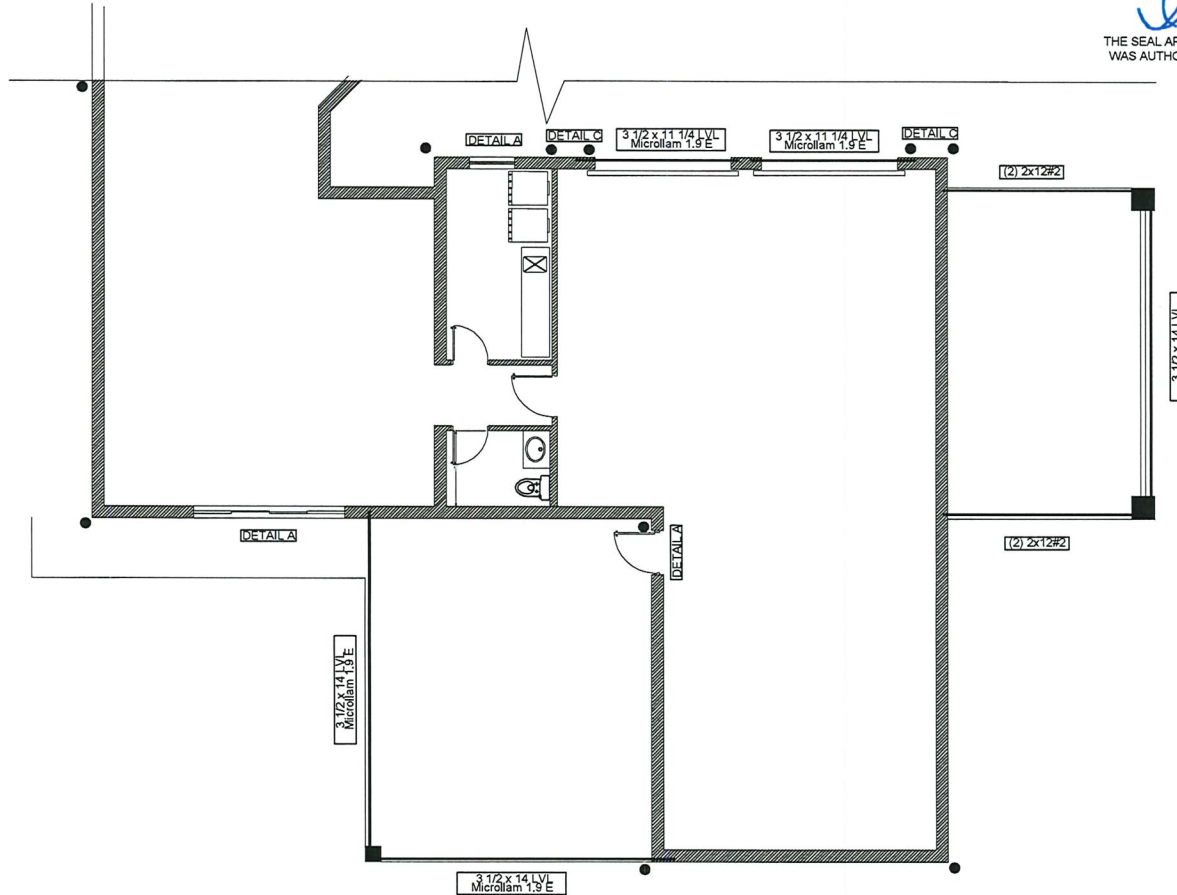
● INDICATED "HTTS" HOLD DOWN LOCATION

DETAIL A WINDOW OR DOOR TO BE CONSTRUCTED AS INDICATED ON DETAIL 1/S2

DETAIL C PORTAL FRAME AT GARAGE DOOR OPENING SEE DETAIL 4/S2

GENERAL NOTES

1. ALL WOOD STRUCTURAL FRAMING SHALL BE DONE IN ACCORDANCE WITH ALL APPLICABLE CODES AND LOCAL ORDINANCES, INCLUDING 2015 INTERNATIONAL RESIDENTIAL CODE.
2. ALL EXTERIOR AND INTERIOR SOLE PLATES SHALL BE PRESSURE TREATED WITH FOAM PLATE UNDERSIDE.
3. ALL EXTERIOR SOLE PLATES SHALL BE PRESSURE TREATED WITH FOAM PLATE UNDERSIDE.
4. PROVIDE HOLD DOWN ANCHORS AT ALL LOCATIONS INDICATED ON PLAN. STUDS MUST BE DOUBLED AT HOLD DOWN LOCATIONS.
5. NOTCHES SHALL BE LIMITED TO 40% OF STUD DEPTH ON ALL EXTERIOR WALL STUDS.
6. BORED HOLES SHALL BE LIMITED TO 40% OF STUD DEPTH ON ALL EXTERIOR WALL STUDS.
7. BORED HOLES EDGES SHALL BE LIMITED TO 40% OF STUD DEPTH ON ALL EXTERIOR WALL STUDS.
8. BORED HOLES AND NOTCHES SHALL NOT OCCUR IN THE SAME CROSS SECTION.
9. BORED HOLES IN DOUBLE STUDS OF EXTERIOR WALLS SHALL BE LIMITED TO 60% OF THE ACTUAL STUD DEPTH.
10. ROOF SHEATHING SHALL BE A MINIMUM 7/16" OSB PANELS ATTACHED WITH 8d AT 6" O.C. AT THE EDGES AND 6" O.C. AT THE FIELD
11. INTERIOR WALLS SHALL BE A MINIMUM 1/2" GYPSUM BOARD ATTACHED WITH 5d COOLER NAILS 1 5/8" LONG SPACED AT 7" O.C. MAXIMUM.
12. PROVIDE 5/8" DIA. ANCHOR BOLTS AT 3'-0" O.C. WITH 2x2x1/8 WASHER WITH 7" MIN. EMBEDMENT
13. ALL WOOD POSTS SHALL BE INSTALLED WITH "PB" POST BASE AND "PC" POST CAPS



PROJECT # 20-437
DATE: 12/04/2020
DRAWN BY: IT
CHECKED BY: IT
REVISION:
REV: 1
REV: 2

TREVINO ENGINEERING
FIRM No. F-7906
iden@trevinoengineering.com
200 S. 10th St. Ste. 1303
McAllen, Texas 78501
TEL No. (956) 283-8847

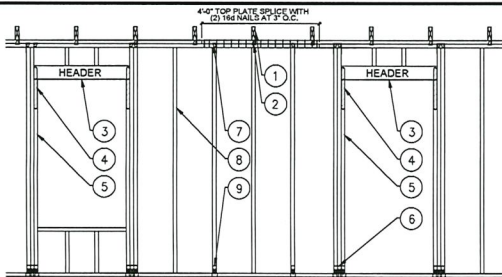


THE SEAL APPEARING ON THIS DOCUMENT WAS AUTHORIZED BY IDEN TREVINO PE 92036. ALTERATION OF A SEALED DOCUMENT WITHOUT THE SIGNATURE OF THE SEALING ENGINEER IS AN OFFENSE UNDER THE TEXAS ENGINEERING PRACTICE ACT.

PROJECT: RESIDENCE ADDITION
2601 W MILE 17 1/2 RD.
EDINBURG, TEXAS

S1 of 2

WINDSTORM PLAN
SCALE: 1/8" = 1'-0"



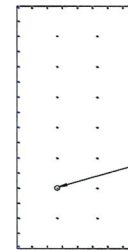
- 1 RAFTER PER SCHEDULE
- 2 "H2.5A" AT EACH RAFTER
- 3 HEADER PER SCHEDULE
- 4 "CS16" STRAP
- 5 JACK STUD PER SCHEDULE
- 6 (3) "RSP4"
- 7 "H2.5A" AT EVERY OTHER STUD
- 8 STUD PER SCHEDULE
- 9 "RSP4" AT EVERY OTHER STUD

RAFTER MAX. SPAN TABLE 3.26B WFCM 2018 SHINGLE ROOFING			
SIZE	MAX. SPACING	MAX. LUMBER TYPE	
2x6	24"	11-5" SPF#2	
2x8	24"	14-10" SPF#2	
2x10	24"	18-2" SPF#2	
2x6	24"	11-5" SPF#2	
2x8	24"	13-11" SPF#2	
2x10	24"	16-6" SPF#2	

HEADER SCHEDULE TABLE 3.27A1 WFCM 2018			
SIZE	MAX. SPAN	JACK STUDS	
2x12	14'-10"	1	
2x12	15'-3"	2	
2x12	15'-10"	2	

RAFTER MAX. SPAN TABLE 3.26B WFCM 2018 TILE ROOFING			
SIZE	MAX. SPACING	MAX. LUMBER TYPE	
2x6	24"	12-10" SPF#2	
2x8	24"	16-8" SPF#2	
2x6	24"	12-10" SPF#2	
2x8	24"	14-4" SPF#2	
2x10	24"	14-4" SPF#2	

STUD WALL SCHEDULE TABLE 3.28B1 WFCM 2018 WIND SPEED = 130 MPH			
SIZE	MAX. HEIGHT	LUMBER TYPE	
2x4 AT 16" O.C.	10'-9"	SPF STUD	
2x4 AT 16" O.C.	11'-4"	SPF #2	
2x4 AT 16" O.C.	11'-9"	SPF STUD	
2x4 AT 16" O.C.	11'-4"	SP #2	
2x6 AT 16" O.C.	16'-7"	SPF STUD	
2x6 AT 16" O.C.	17'-6"	SPF #2	
2x6 AT 16" O.C.	16'-4"	SP STUD	
2x6 AT 16" O.C.	17'-6"	SP #2	



- 7/16" OSB SHEATHING
- NAIL EDGES AT 6" O.C. w/ 8d NAILS
- NAIL FIELD AT 12" O.C. w/ 8d NAILS

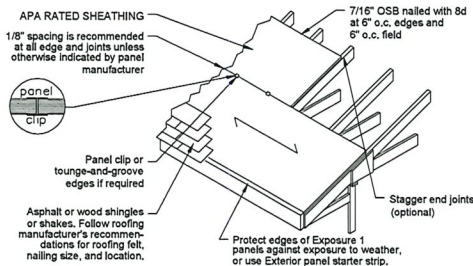


12/04/2020
THE SEAL APPEARING ON THIS DOCUMENT
WAS AUTHORIZED BY IDEN TREVINO P.E.

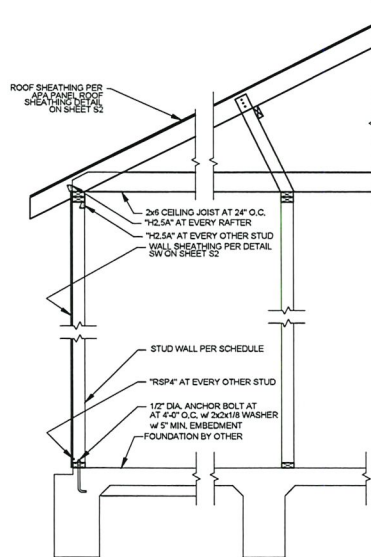
PROJECT #: 20-437
DATE: 12/04/2020
CHECKED BY: IIT
REVISION:
FIRM: TREVINO ENGINEERING
idene@trevinoengineering.com
200 S. 10th St. Ste. 1303
McAllen, Texas 78501
TEL No. (956) 283-8847

DOOR AND WINDOW OPENINGS

NOTE:
Cover sheathing as soon as possible
with roofing felt for extra protection
against excessive moisture prior to roofing application
Screened surface or side with skid resistant
coating up if OSB panels are used.
Keep roof surface free of dirt, sawdust and debris,
and wear skid-resistant shoes when installing roof sheathing.
For buildings with conventionally framed roofs (trusses or rafters),
limit the length of continuous sections of roof area to 80 feet
maximum during construction, to allow for accumulated expansion
in wet weather conditions. Omit roof sheathing panels in each
course of sheathing between sections, and install "fill in" panels
later to complete roof deck installation prior to applying roofing.

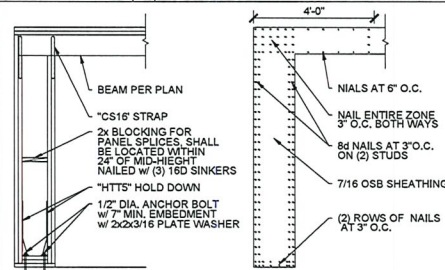


APA PANEL ROOF SHEATHING DETAIL

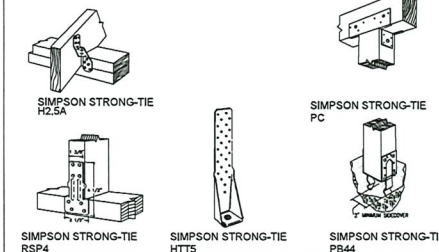


WALL SECTION

1 EXTERIOR SHEATHING NAILING PATTERN



2 HURRICANE TIES, ANCHORS AND HOLD DOWNS



3 PORTAL FRAME AT GARAGE DOOR OPENING

NAIL SCHEDULE			
JOINT DESCRIPTION	# OF COMMON NAILS	# OF BOX NAILS	NAIL SPACING
ROOF FRAMING			
RAFTER TO TOP PLATE (TOE-NAILED)	5	5	PER RAFTER
CEILING JOIST TO TOP PLATE (TOE-NAILED)	5	5	PER JOIST
CEILING JOIST TO PARALLEL RAFTER (FACE-NAILED)	5-16d	5-16d	EACH LAP
CEILING JOIST LAP OVER PARTITIONS (FACE-NAILED)	5-16d	5-16d	EACH LAP
COLLAR TIE TO RAFTER (FACE-NAILED)	5-8d	5-8d	PER TIE
BLOCKING TO RAFTER (TOE-NAILED)	5-8d	5-8d	PER TIE
NIM BOARD TO RAFTER (END-NAILED)	5-8d	5-8d	PER TIE
WALL FRAMING			
TOP PLATE TO TOP PLATE (FACE-NAILED)	3-16d	3-16d	PER FOOT
TOP PLATE TO INTERSECTIONS (FACE-NAILED)	4-16d	3-16d	JOINTS EACH SIDE
STUD TO STUD (FACE-NAILED)	3-16d	3-16d	24" O.C.
HEADER TO HEADER (FACE-NAILED)	16d	16d	16" O.C. ALONG EDGES
TOP OR BOTTOM PLATE TO STUD (END-NAILED)	3-16d	3-16d	PER STUD
BOTTOM PLATE TO FLOOR JOIST (END-NAILED)	3-16d	3-16d	PER FOOT
FLOOR FRAMING			
JOIST TO SILL TOP PLATE OR GROUND (TOE-NAILED)	4-16d	4-16d	PER JOIST
BRIDGING TO JOIST (TOE-NAILED)	2-8d	2-10d	EACH END
BLOCKING TO JOIST (TOE-NAILED)	3-8d	3-10d	EACH END
BLOCKING TO SILL OR TOP PLATE (TOE-NAILED)	3-16d	4-16d	EACH BLOCK
LEADER STRIP TO BEAM (FACE-NAILED)	3-16d	4-16d	EACH JOIST
JOIST ON LEADER TO BEAM (FACE-NAILED)	3-8d	3-10d	PER JOIST
BAND JOIST TO JOIST (END-NAILED)	3-16d	4-16d	PER JOIST
BAND JOIST TO SILL OR TOP PLATE (TOE-NAILED)	3-16d	3-16d	PER FOOT
ROOF SHEATHING			
STRUCTURAL PANELS	8d	10d	EDGES 4" FIELD 6"
DIAGONAL BOARD SHEATHING	1"x6" OR 1"x8"	3-8d	PER SUPPORT
1"x10" OR WIDER	3-8d	3-10d	PER SUPPORT
CEILING SHEATHING			
GYPSUM WALLBOARD	5d COOLERS	5d COOLERS	EDGES 7" FIELD 10"
WALL SHEATHING			
STRUCTURAL PANELS	8d	10d	EDGES 4" FIELD 12"
FIBERBOARD PANELS	1"x6" OR 1"x8"	8d	EDGES 3" FIELD 6"
1"x10" OR WIDER	5d COOLERS	5d COOLERS	EDGES 3" FIELD 6"
GYPSUM WALLBOARD	5d COOLERS	5d COOLERS	EDGES 3" FIELD 10"
HARDBOARD	8d	8d	3" PER SUPPORT
PARTICLE BOARD PANELS	2-8d	8d	SEE MANUFACTURER
DIAGONAL BOARD SHEATHING	1"x6" OR 1"x8"	3-8d	PER SUPPORT
1"x10" OR WIDER	3-8d	3-10d	PER SUPPORT
FLOOR SHEATHING			
STRUCTURAL PANELS	1" OR LESS	10d	EDGES 6" FIELD 12"
GREATER THAN 1"	10d	10d	EDGES 6" FIELD 6"
DIAGONAL BOARD SHEATHING	1"x6" OR 1"x8"	3-8d	PER SUPPORT
1"x10" OR WIDER	3-8d	3-10d	PER SUPPORT

7 NAILING SCHEDULE

8 BRICK VENEER SUPPORT ABOVE LOW ROOF

NOTE:
EXTERIOR WALL TO BE CONSTRUCTED OF
DOUBLE 2x4 STUDS FOR THE ENTIRE HEIGHT,
INCLUDING GABLE ROOF WALL. A 4x2x3/8
STEEL ANGLE LINTEL SHALL BE ATTACHED
TO 2x4 STUD WALL WITH 1/2"x4" BOLT W/ NUT
48" O.C.

THE SEAL APPEARING ON THIS DOCUMENT
WAS AUTHORIZED BY IDEN TREVINO P.E. 92036,
A PROFESSIONAL ENGINEER IN THE STATE OF
TEXAS. NO OTHER SEAL OR SIGNATURE OF AN
ENGINEER IS AN OFFENSE UNDER THE TEXAS
ENGINEERING PRACTICE ACT.

PROJECT: RESIDENCE ADDITION
2601 W MILE 17 1/2 RD.
EDINBURG, TEXAS
S2 of 2

ZONING BOARD OF ADJUSTMENT REGULAR MEETING
December 30, 2020

Item: Consider Variance to the City's Unified Development Code Article 3, Section 3.304 Non Residential Bulk Requirements, Being 0.213 Acres More or Less out of a 16.1 Acre Tract out of Lot 11, Section 271, Texas Mexican Railway Company's Survey, Located at 1927 Tourist Drive, As Requested By Jorge Ocana Jr.

Request:

The applicant is requesting a variance to the City's Unified Development Code Article 3, Section 3.304 Non Residential Bulk Requirements, Setbacks. The applicant is proposing to construct an outdoor seating area to comply with CDC guidelines.

Property Location and Vicinity:

The property is located on the west side of South Tourist Drive, approximately 200 feet North of West Austin Blvd. The property is currently vacant and is an addition to the south business known as "The Barrell House". The property has 46.15 feet of frontage along Tourist drive and a depth of 203.77 feet for a lot size of 0.213 of an acre. Setbacks called for by zoning are as follows: Front 25 feet, Rear 10 feet, Side 10 feet. The property is zoned Commercial General (CG) District. Surrounding zoning is Commercial General (CG) District to the North, East and West and Commercial General (CG) District and Neighborhood Conservation 7.1 (NC 7.1) District to the South.

Background and History:

This property is currently in the preliminary phase of building permit review. A site plan was submitted on November 12, 2020 and it was noted the proposed outdoor seating area encroaches into the side yard setback located on the North side by 6 feet. A variance request for the setbacks and parking for the first phase was heard by the Zoning Board of Adjustment in April 2020 and was granted.

Staff mailed a notice of the variance request to twenty-six (26) neighboring property owners and received no comments in favor and no comments against for this request at the time of this report.

Analysis:

The applicant is requesting the Board grant the encroachment of 6 feet into the 10 ft. side yard setback of 10 located on the North side of the property.

Recommendation

Staff recommends disapproval of the variance request. If the Board chooses to approve the request, it shall be limited to the footprint and as shown on the site plan, as well pay a \$40 fee payable to the County of Hidalgo, County Clerk's Office for the recording of the ZBA order on this request, and any other City requirements, as applicable. A location map, aerial map, photo, subdivision plat, site plan, and response from property owner are attached for the Board's consideration.

Jorge Ocana Jr.
Page 2

Prepared By:
Rita Lee Guerrero
Urban Planner

RLG for RGI
Initials

12/22/2020
Date

Approved By:
Kimberly A. Mendoza, MPA
Director of Planning & Zoning

Kimberly A. Mendoza
Initials

12/21/2020
Date



AERIAL MAP

CASE CAPTION:

APPLICANT NAME:

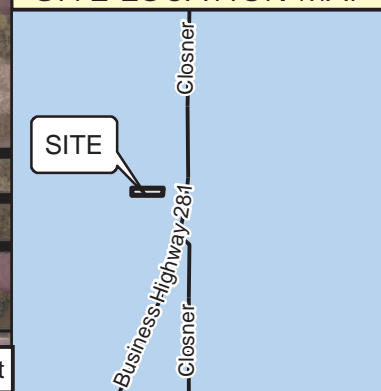
JORGE OCANA JR

CONSIDER VARIANCE TO
THE CITY'S UNIFIED DEVELOPMENT
CODE ARTICLE 3, SECTION 3.304
NON RESIDENTIAL BULK
REQUIREMENTS,
BEING 0.213 ACRES
MORE OR LESS OUT OF A 16.1 ACRE
TRACT OUT OF LOT 11, SECTION 271,
TEXAS MEXICAN RAILWAY COMPANY'S
SURVEY, LOCATED AT
1927 TOURIST DRIVE, AS REQUESTED
BY JORGE OCANA JR.

Legend



SITE LOCATION MAP



11

SUBDIVISION



W Mark S Peña Dr

E Mark S Peña Dr

S Closner Blvd

-05

COUNTRY CLUB PLAZA

1

2

3

-01

T2100-00-271-0011-01

S Tourist Dr

S Business Highway 281

S Closner Blvd

A0600-00-000-0007-00

EDINBURG
EXECUTIVE INN
SUBDIVISION
1

7 ACRE

Dawson Dr

1 in = 200 ft

ZONING MAP

CASE CAPTION:

APPLICANT NAME:
JORGE OCANA JR

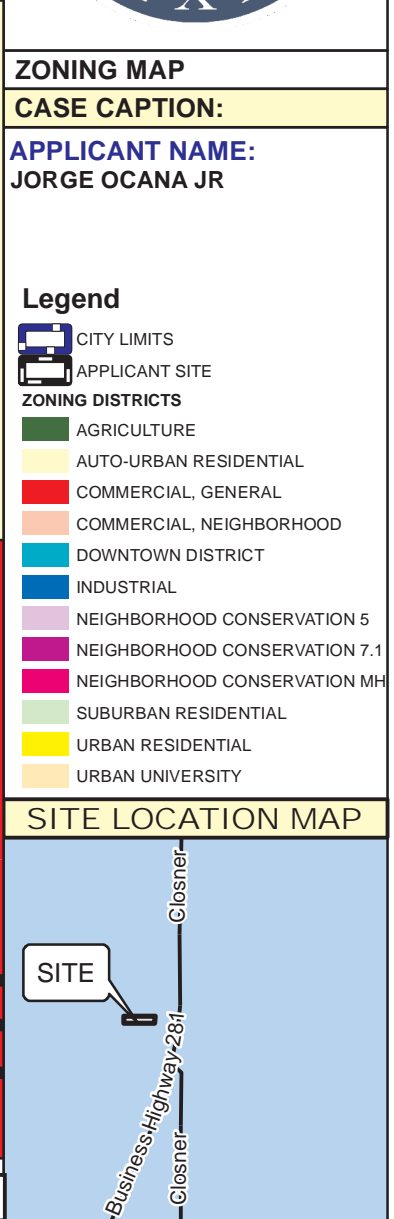
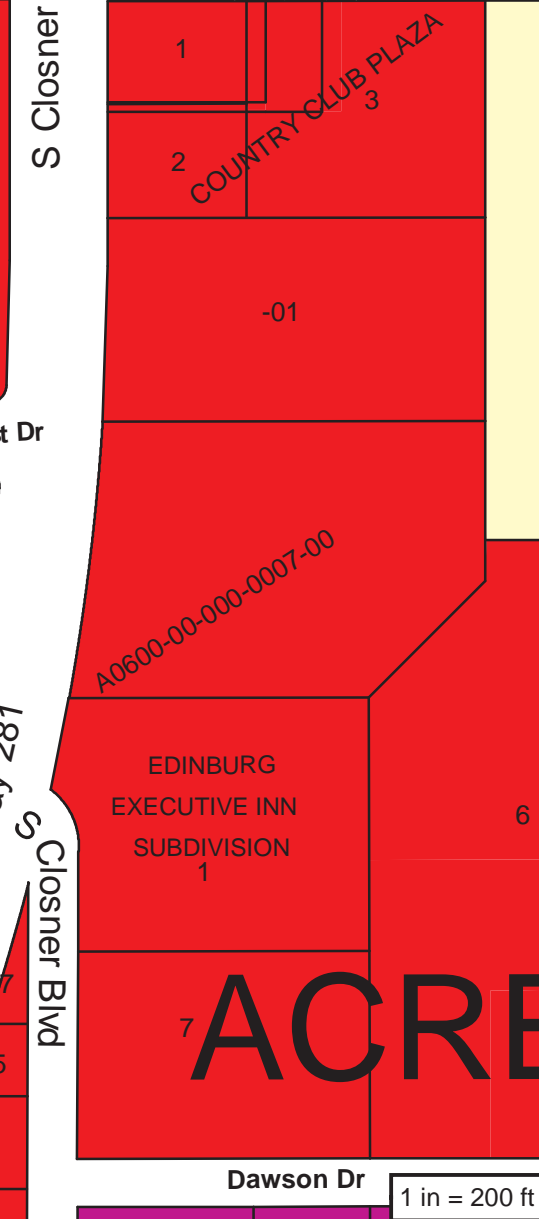
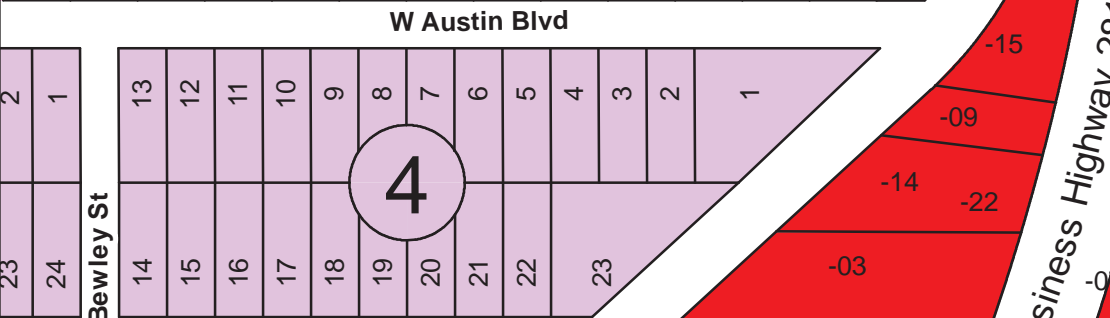
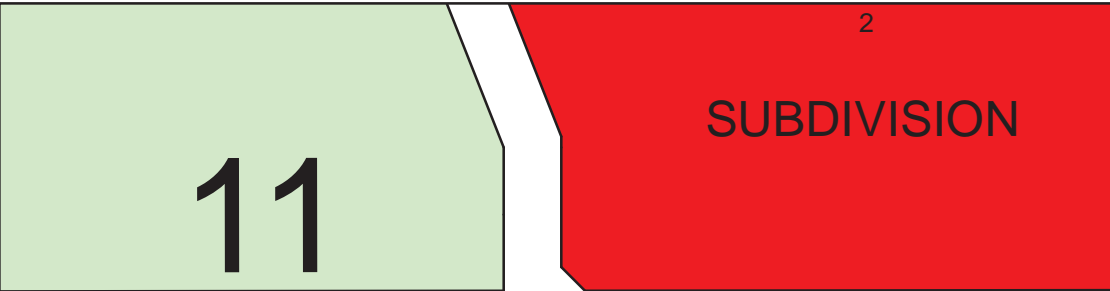
Legend

- CITY LIMITS
- APPLICANT SITE
- ZONING DISTRICTS**
- AGRICULTURE
- AUTO-URBAN RESIDENTIAL
- COMMERCIAL, GENERAL
- COMMERCIAL, NEIGHBORHOOD
- DOWNTOWN DISTRICT
- INDUSTRIAL
- NEIGHBORHOOD CONSERVATION 5
- NEIGHBORHOOD CONSERVATION 7.1
- NEIGHBORHOOD CONSERVATION MH
- SUBURBAN RESIDENTIAL
- URBAN RESIDENTIAL
- URBAN UNIVERSITY

SITE LOCATION MAP

SITE

Business Highway 281
Closner



11

SUBDIVISION

2



W Mark S Peña Dr

E Mark S Peña Dr

S Closner Blvd

-05

COUNTRY CLUB PLAZA

T2100-00-271-0011-01

-01

S Tourist Dr

A0600-00-000-0007-00

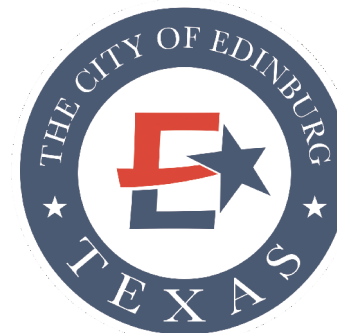
EDINBURG
EXECUTIVE INN
SUBDIVISION
1

6

7 ACRE

Dawson Dr

1 in = 200 ft



FUTURE LANDUSE MAP

CASE CAPTION:

APPLICANT NAME:
JORGE OCANA JR

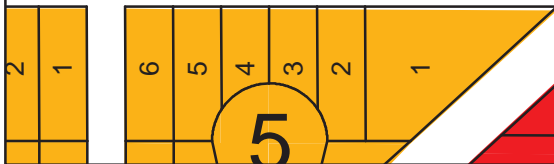
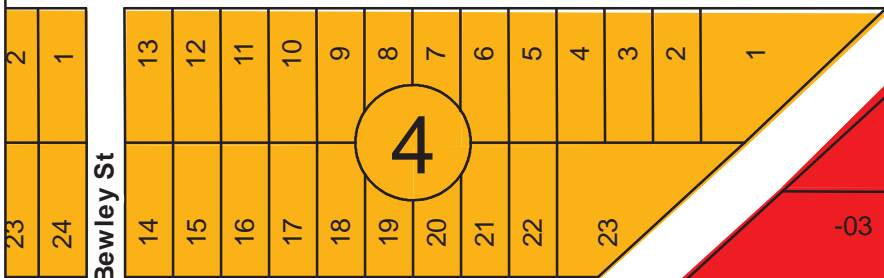
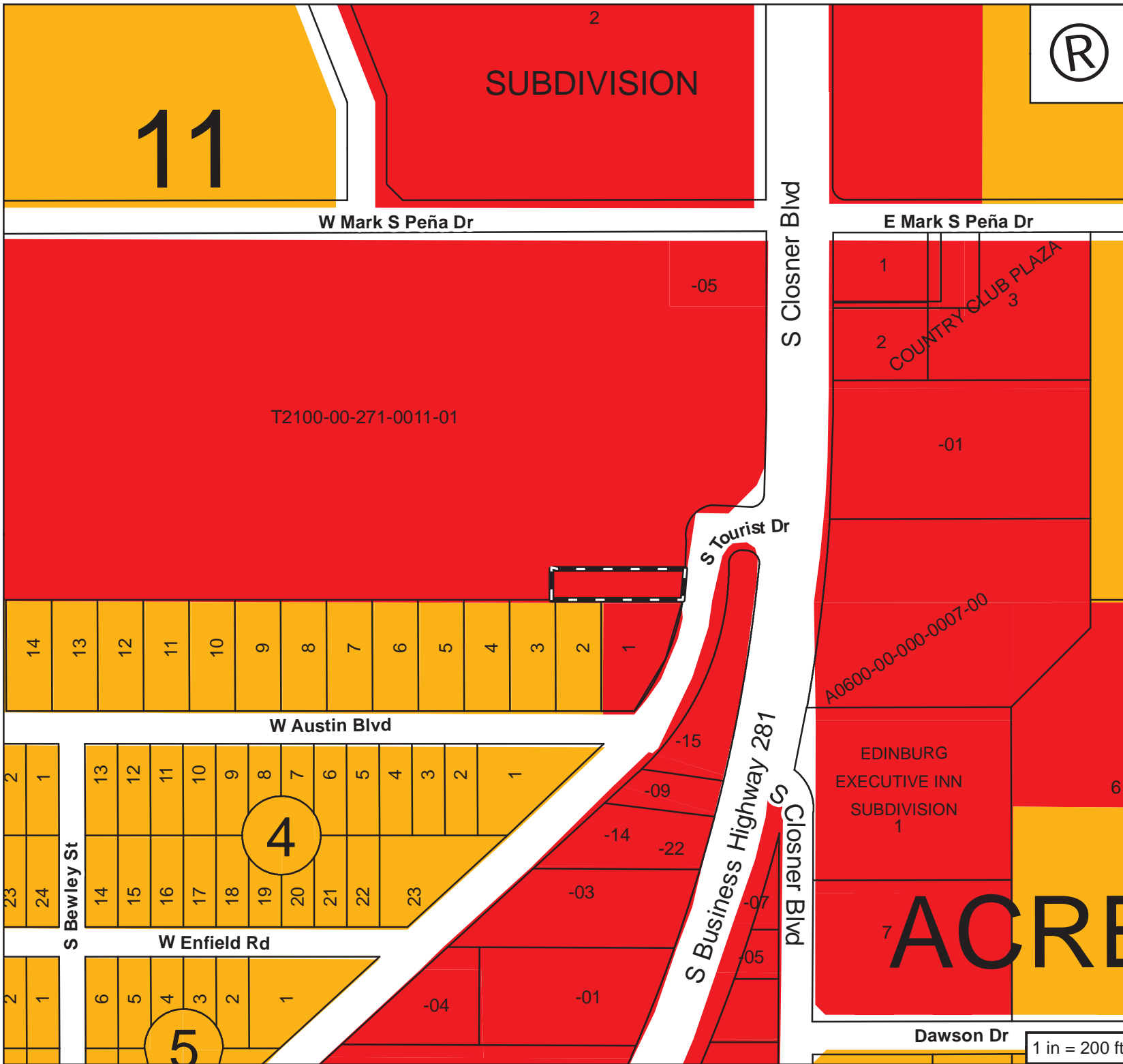
Legend

- CITY LIMITS
- APPLICANT SITE
- FUTURE LANDUSE**
 - Agriculture
 - Auto-Urban
 - Downtown District
 - General Commercial
 - Industrial
 - Mobile Home
 - Neighborhood Commercial
 - Office Business Park
 - Suburban
 - Urban
 - Urban University

SITE LOCATION MAP

SITE

Business Highway 281
Closner



11

SUBDIVISION



MAILOUT AND SITE MAP

CASE CAPTION:

APPLICANT NAME:

JORGE OCANA JR

CONSIDER VARIANCE TO THE CITY'S UNIFIED DEVELOPMENT CODE ARTICLE 3, SECTION 3.304 NON RESIDENTIAL BULK REQUIREMENTS, BEING 0.213 ACRES MORE OR LESS OUT OF A 16.1 ACRE TRACT OUT OF LOT 11, SECTION 271, TEXAS MEXICAN RAILWAY COMPANY'S SURVEY, LOCATED AT 1927 TOURIST DRIVE, AS REQUESTED BY JORGE OCANA JR.

Legend



CITY LIMITS



300FT NOTIFICATION



APPLICANT SITE

SITE LOCATION MAP



W Mark S Peña Dr

E Mark S Peña Dr

S Closner Blvd

COUNTRY CLUB PLAZA

T2100-00-271-0014-01

-05

1

2

3

-01

A0600-00-000-0007-00

S Tourist Dr

S Business Highway 281

S Closner Blvd

EDINBURG
EXECUTIVE INN
SUBDIVISION
1

7 ACRE

Dawson Dr

1 in = 200 ft

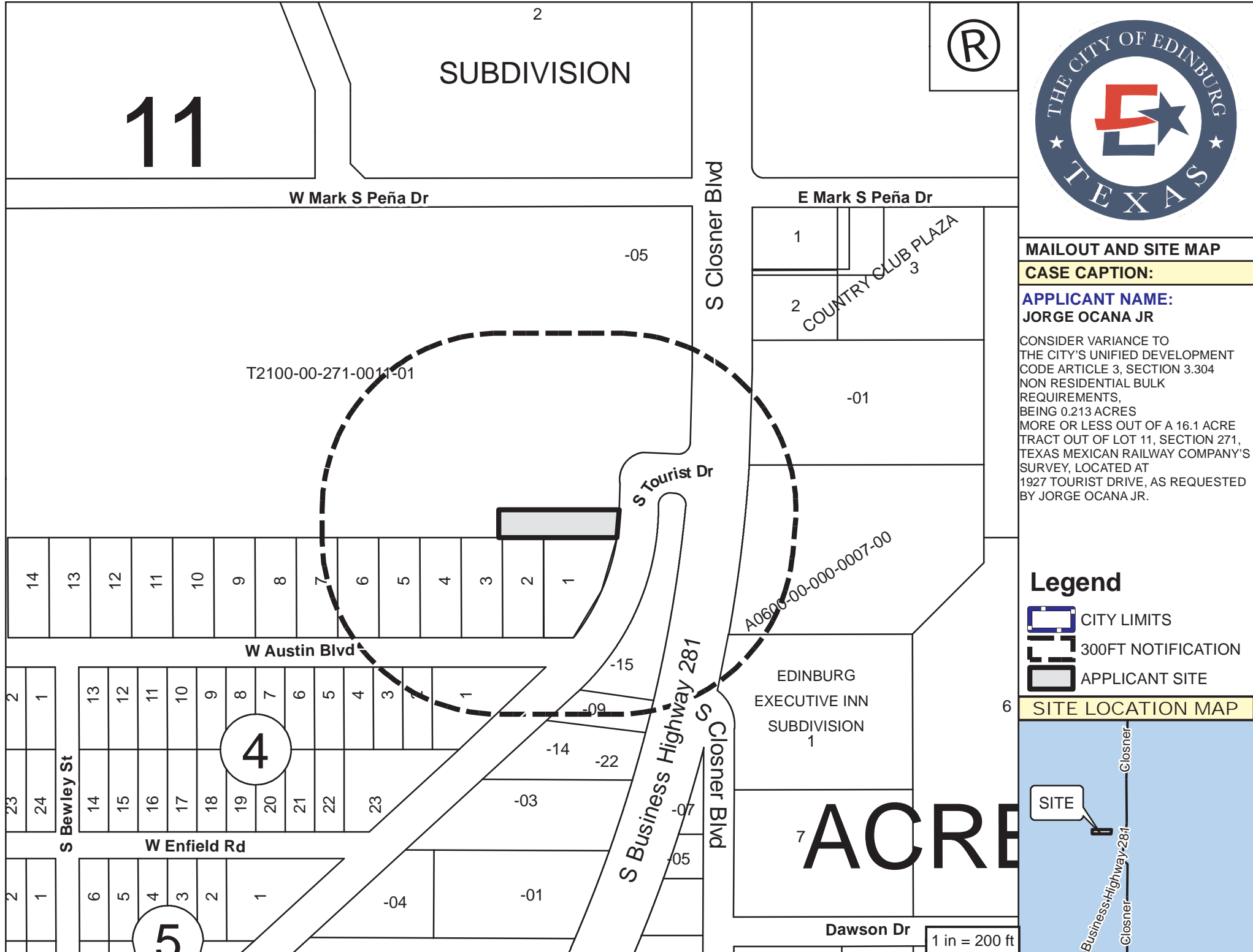
W Austin Blvd

4

W Enfield Rd

5

S Bewley St



T.B.P.E. FIRM No.: F-5154

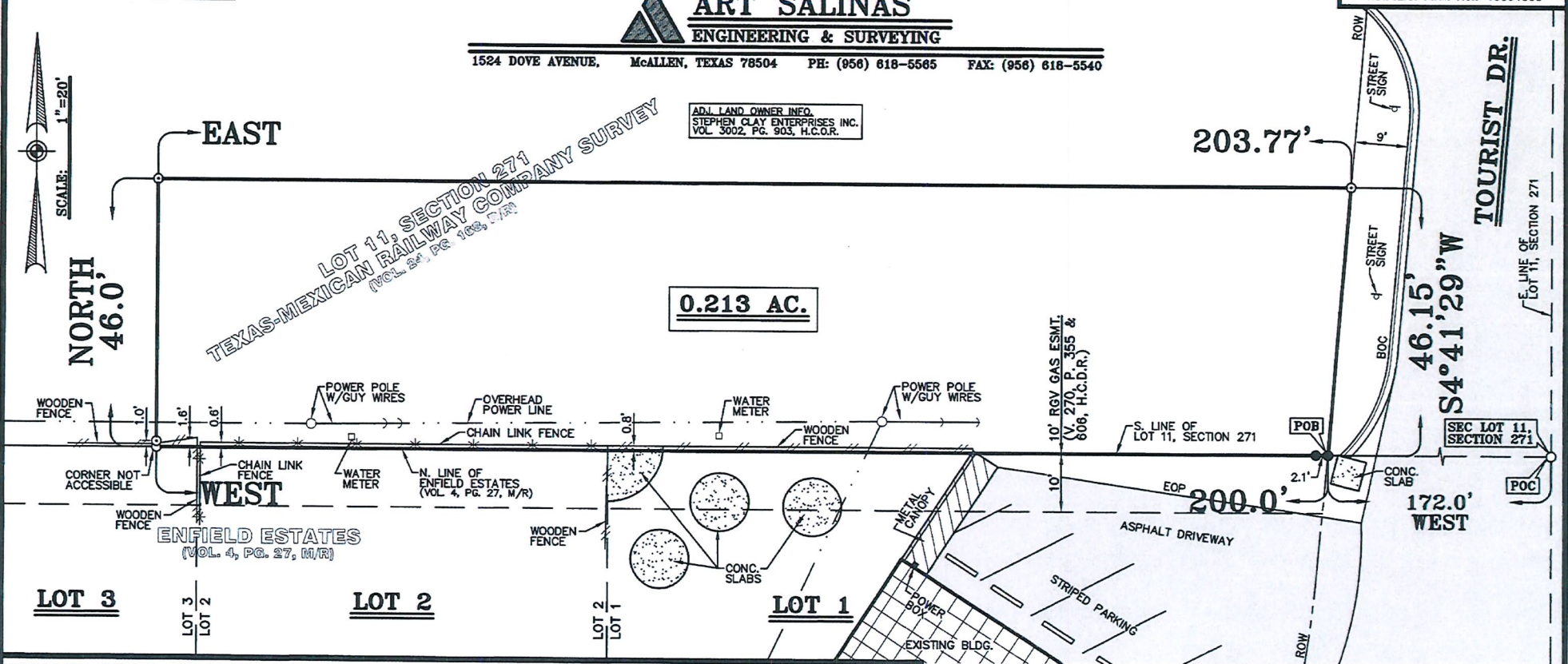


ART SALINAS

ENGINEERING & SURVEYING

1524 DOVE AVENUE, McALLEN, TEXAS 78504 PH: (956) 618-5585 FAX: (956) 618-5540

T.B.P.L.S. FIRM No.: 10004000



THIS IS TO CERTIFY THAT I HAVE, THIS DATE, PREPARED A SURVEY ON THE GROUND WHICH IS LOCATED AT TOURIST DR., in EDINBURG, TEXAS, DESCRIBED AS FOLLOWS:
A TRACT OF LAND CONTAINING 0.213 ACRES, MORE OR LESS, OUT OF A 16.1 ACRE TRACT OUT OF LOT ELEVEN (11), SECTION TWO HUNDRED SEVENTY-ONE (271), TEXAS-MEXICAN RAILWAY COMPANY SURVEY, HIDALGO COUNTY, TEXAS, ACCORDING TO THE MAP OR PLAT THEREOF RECORDED IN VOLUME 24, PAGE 168, DEED RECORDS OF HIDALGO COUNTY, TEXAS, REFERENCE TO WHICH IS HERE MADE FOR ALL PURPOSES. (SEE METES AND BOUNDS DESCRIPTION)

20-58584 09-08-20
Job No. Date

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LEGEND

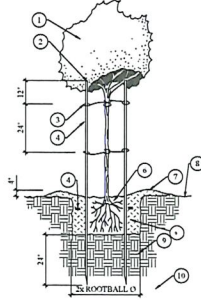
- - DENOTES FOUND 1/2" ROD
- - DENOTES SET 1/2" ROD
- - DENOTES NO MONUMENT
- ROW - DENOTES RIGHT OF WAY
- BOC - DENOTES BACK OF CURB
- EOP - DENOTES EDGE OF PAVEMENT
- POC - DENOTES POINT OF COMMENCEMENT
- POB - DENOTES POINT OF BEGINNING

Registered Professional Land Surveyor No. 4802

TREE PLANTING KEY NOTES

1. TREE PER PLAN
2. TRIM TOP OF STAKES BELOW LOWEST BRANCHES TO PREVENT DAMAGE
3. CROSS TIE BETWEEN STAKE AND TREE PER PLANTING SPECIFICATIONS
4. 2" x 8" IF LONG LODGE POLE STAKES (INSTALL WITHIN 18" OF ROOTBALL)
5. 2" GRAM PLANT TABLETS (3 GALLON - 2 TO 3, 7 GALLON - 3 TO 5, 15 GALLON - 5 TO 8, 24" BOX - 15 TO 20)
6. ROOTBALL (SET CROWN + 3" ABOVE FINISH GRADE)
7. EARTH WATERING BASIN (MAKE SMOOTH PRIOR TO SEEDING IN HYDROSEED AREAS)
8. FINISH GRADE
9. COMPACTED BACKFILL MIX (PER PLANTING SPECIFICATIONS)
10. UNDISTURBED NATIVE SOIL

NOTE: PROVIDE 1/2" PERFORMED EXPANSION JOINTS AT 15' O.C. MAXIMUM AND AT BEGINNING AND END OF RADIUS



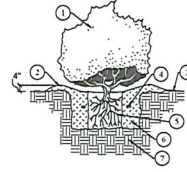
TREE PLANTING

Scale: NOT TO SCALE

SHRUB PLANTING KEY NOTES

1. SHRUB OR VINE PER PLAN
2. EARTH WATERING BASIN (MAKE SMOOTH PRIOR TO SEEDING IN HYDROSEED AREAS)
3. FINISH GRADE
4. 10 GRAM PLANT TABLETS (WELL-ROOTED LINERS - 1 TO 2, SMALL GROUND COVER PLANTS OR PERENNIALS - 1)
5. ROOTBALL (SET CROWN + 3" ABOVE FINISH GRADE)
6. COMPACTED BACKFILL MIX (PER PLANTING SPECIFICATIONS)
7. UNDISTURBED NATIVE SOIL

NOTE: PROVIDE 1/2" PERFORMED EXPANSION JOINTS AT 15' O.C. MAXIMUM AND AT BEGINNING AND END OF RADIUS



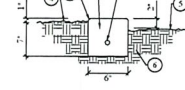
SHRUB PLANTING

Scale: NOT TO SCALE

CONCRETE MOW CURB KEY NOTES

1. 2000 PSI NATURAL GREY CONCRETE
2. SMOOTH TROWEL FINISH
3. 1/2" RADIUS, ALL EDGES
4. #3 REBAR AT BOTTOM THIRD OF CURB, OVERLAP 4" MINIMUM AT SPICES WITH WIRE TIES
5. FINISH GRADE AT CURB AREAS
6. FINISH GRADE AT GROUND COVER AREAS
7. UNDISTURBED NATIVE SOIL

NOTE: PROVIDE 1/2" PERFORMED EXPANSION JOINTS AT 15' O.C. MAXIMUM AND AT BEGINNING AND END OF RADIUS

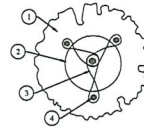


CONCRETE MOW CURB

Scale: NOT TO SCALE

TREE TRIPLE STAKE KEY NOTES

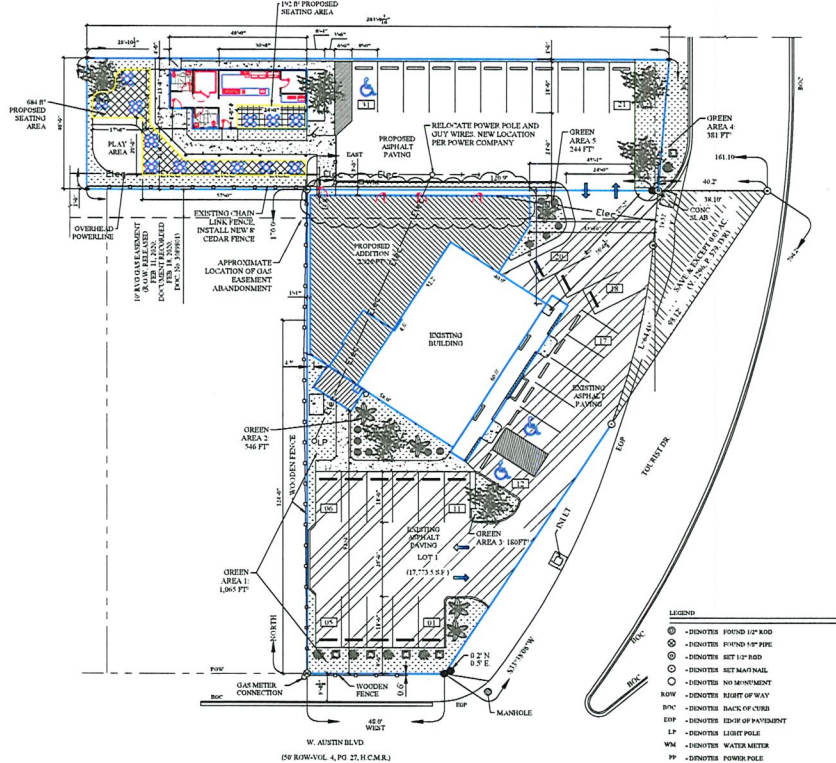
1. TREE CROWN PER PLAN
2. DO NOT PENETRATE ROOTBALL WITH STAKES
3. 10 TREE TRIPES PER PLANTING SPECIFICATIONS, 3 AT EACH HEIGHT LEVEL PER TREE PLANTING DETAIL
4. (3) 2" x 8" IF LONG LODGE POLE STAKES



TREE TRIPLE STAKE

Scale: NOT TO SCALE

LANDSCAPE		
QUANTITY	SYMBOL	DESCRIPTION
0		TEXAS SAGE (3 GALLONS)
6		DURA HEDGE, HOLLY (DWARF) HEDGE, OR SIMILAR (3 GALLON)
4		UPRIGHT ROSEMARY (1 GALLON)
5		BICOLOR IRIS (3 GALLON)
5		POINCIANA PALM (3 GALLON)
10		GOLDEN DUST CROTON
0		LAUREL (3 GALLON)
5		SHADE TREE, 4" MINIMUM CALIPER (OAK, ASH, OR ELM)
4		TEXAS LAUREL, 2" MINIMUM CALIPER
4		FLAMBOYANT, 4" MINIMUM CALIPER
2,781 FT ²		BERMUDA GRASS HYDRO-SEEDING, 100% BERMUDA SEED WITH MULCH AND FERTILIZER, MIXTURE COMPOSITION SEED CONCENTRATION AT 2.5 LBS/1000 FT ² , FERTILIZER AT 25-N LBS/500 FT ² , MULCH AT 100 LBS/500 FT ²



- *NOTES:
1. IRRIGATION IS REQUIRED AT ALL GREEN AREAS AS PER CITY ORDINANCE, REFERENCE PERMIT CONDITIONS REGARDING REQUIREMENTS
 2. DRIP IRRIGATION IN R.O.W. AREAS AS PER CITY REQUIREMENTS

Scale:

SITE LAYOUT

1:20

- *NOTES:
1. CONTRACTOR/CUSTOMER/OWNER IS RESPONSIBLE CONTRACTOR FOR THIS PROJECT. DISOWNER IS NOT RESPONSIBLE FOR ANY CONTRACTING AND/OR CONSTRUCTION

LOT 1
ENFIELD ESTATES
SUBDIVISION
EDDINSBURG, TX
1927 TOURIST DR.

NOTE: REMEMBER AREA TAKEN FROM EXISTING LINE OF FENCING COULDS BEING BETWEEN EXISTING AND PROPOSED AREAS. SQUARE FOOTAGE PROVIDED IS FOR REFERENCE ONLY. TYPE OF LEAVING ADJACENT AND/OR CONTACTS

CUSTOMER:
JOHAN
CONSTRUCTION

MISSION, TX

CONTRACTOR

DATE:

REVISIONS:

REV. 5-26-20

REV. 10-10-20

REV. 10-23-20

REV. 11-12-20

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DRAWN BY: J.M.

REVIEWED BY: J.M.

PRELIMINARY ONLY

SCALE: PER DETAIL

PAGE NO:

2.0

PROJECT NO:

48-019

TREE PLANTING

NOT TO SCALE

Scale:

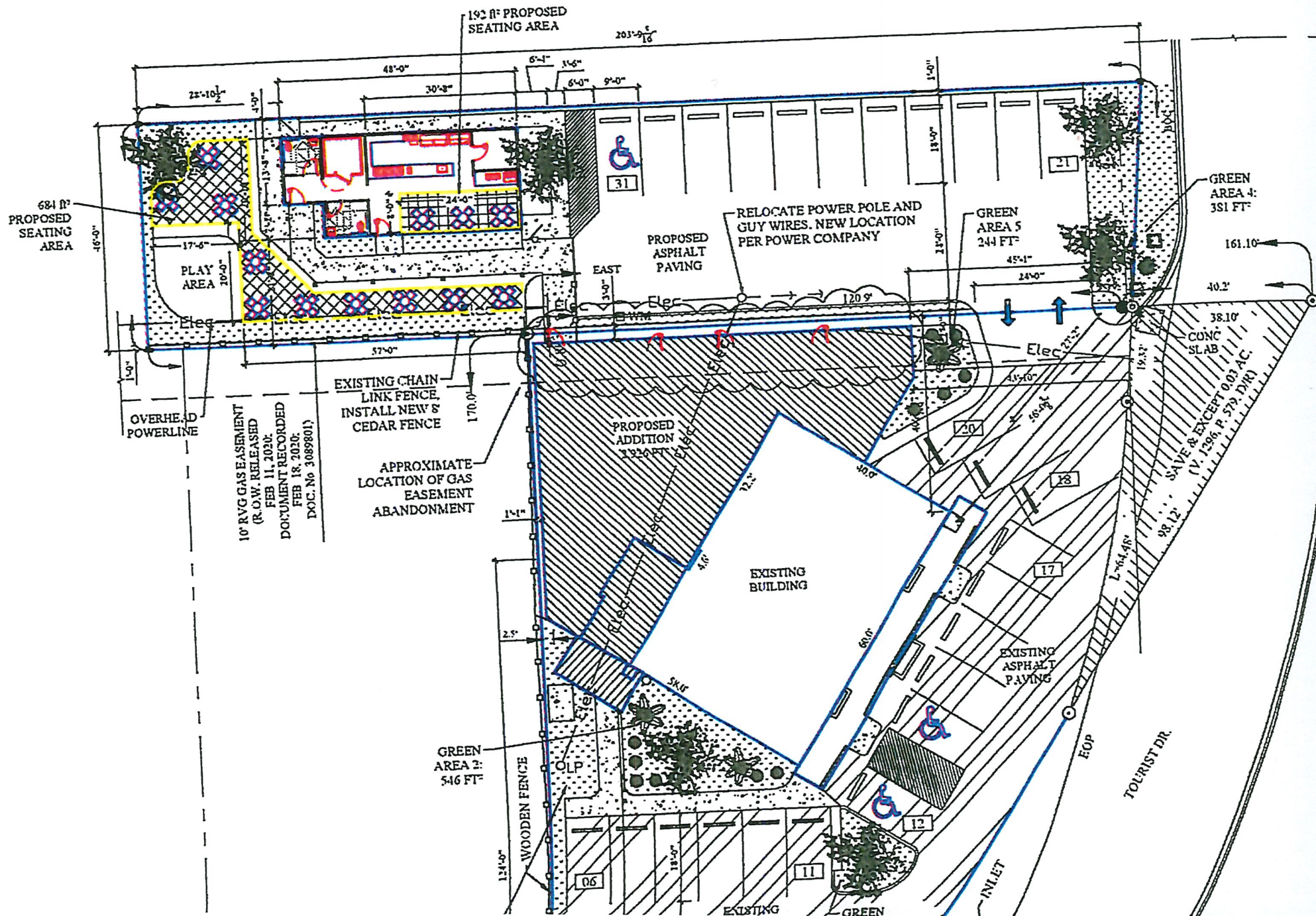
Scale:

SHRUB PLANTING

NOT TO SCALE

Scale:

NOT





PLANNING & ZONING DEPARTMENT 2021 Calendar Zoning Board of Adjustments

Zoning Board of Adjustments Meetings are held at 4:00 P.M. in the City Council Chambers

Deadline	Zoning Board of Adjustments Meeting Dates
January 4, 2021	January 27, 2021
February 1, 2021	February 24, 2021
March 1, 2021	March 31, 2021
April 5, 2021	April 28, 2021
May 3, 2021	May 26, 2021
June 7, 2021	June 30, 2021
July 5, 2021	July 28, 2021
August 9, 2021	August 25, 2021
September 7, 2021	September 29, 2021
October 4, 2021	October 27, 2021
November 1, 2021	November 17, 2021
December 6, 2021	December 22, 2021

Deadlines and meeting Dates are subject to change at any time.
Please contact the Planning Department at (956) 388-8202, if you may have any questions

415 W. University Drive, Edinburg Texas 78540