



**PLANNING AND ZONING COMMISSION
REGULAR MEETING
MAY 11, 2021- 4:00 P.M.
Edinburg City Hall
415 West University Drive
Edinburg, Texas 78539
AGENDA**

1. CALL MEETING TO ORDER, ESTABLISH QUORUM

- A. Prayer
- B. Pledge of Allegiance

2. CERTIFICATION OF PUBLIC NOTICE

3. MEETING PROCEDURES

The following are the meeting procedures used by the Planning and Zoning Commission:

- A. All the items are generally considered as they appear on the agenda. As each item is introduced
- B. Staff will present its findings and recommendation on the item being considered.
- C. The party making the request may make a presentation and may address the Commission on any issues arising during the discussion of the item being considered
- D. Anyone in the audience desiring to speak in favor or in opposition may do so. A 3-5 Minute time limit will be given to each person interested in speaking on the item. The use of a spokesperson for large groups of people will be required.
- E. Once the Chair close the public hearing, the commission may question anyone and maintain any discussion which clarifies the proposal and will take what action it feel to be appropriate.

4. ABSENCES

- A. Consider Excusing the Absence of Chairperson Joe Ochoa from the April 13, 2021 Regular Meeting
- B. Consider Excusing the Absence of Commission Member Becky Hesbrook-Garcia from the April 13, 2021 Regular Meeting

5. **MINUTES**

- A. Consider approval of the Minutes for the April 13, 2021 Regular Meeting

6. **PUBLIC COMMENTS**

- A. If you would like to participate under public comments, you must submit a request beginning at 9:00 a.m. the day of the meeting by (a) sending an email to PublicHearing@cityofedinburg.com or (b) calling the Planning and Zoning Department at 956-388-8202. All request should include your name, address, and telephone number. We ask for everyone's cooperation in following this procedure.

7. **PUBLIC HEARINGS**

- A. Hold Public Hearing and Consider the Special Use Permit for On Premise Consumption of Alcoholic Beverages for Late Hours, being Lot 4, Amended Plat of Jackson Corner, located at 2236 West Trenton Road, as requested by Ezequiel Ortiz
- B. Hold Public Hearing and Consider the Comprehensive Plan Amendment from Auto Urban Uses to Urban Uses and the Rezoning Request from Commercial General (CG) District to Urban Residential (UR) District, being 2.210 acres out of Lot 29, Kelly-Pharr Subdivision, located at 400 East Wisconsin Road, as requested by Melden & Hunt Inc.
- C. Hold Public Hearing and Consider the Comprehensive Plan Amendment from General Commercial Uses To Auto Urban Uses and the Rezoning Request from Commercial Neighborhood (CN) District to Neighborhood Conservation 7.1 (NC 7.1) District, being a 5.50 acre tract of land out of Lots 1 and 3, Engleman's Subdivision of Lot 10, Section 278, of Texas-Mexican Railway Company's Survey, located at 4124 W. Freddy Gonzalez Drive, as requested by SAMES Engineering
- D. Hold Public Hearing and Consider the Rezoning Request from Auto Urban Residential (AU) District to Industrial (I) District, being (Tract 1) 34.5 acre tract of land, more or less, out of the Northwest corner of Block 24, East Retama Subdivision and (Tract 2) 12.52 acres, more or less, out of the Northwest corner of Block 24, East Retama Subdivision, located at 4221 North Seminary Road, as requested by Val Vista Grid, LLC.
- E. Hold Public Hearing and Consider the Rezoning Request from Agriculture (AG) District to Auto Urban Residential (AU) District, being 17.979 acre tract of land, being out of the East ½ of Lot 54, Kelly Pharr Subdivision, located at 801 West Alberta Road, as requested by Matias Reyna
- F. Hold Public Hearing and Consider the Comprehensive Plan Amendment from Urban Uses to General Commercial Uses and the Rezoning Request from Urban Residential (UR) District to Commercial General (CG) District, being Lots 11 & 12, Block 13, Country Club Place Subdivision, located at 1523 South 12th Avenue, as requested by Cesar Chapa

- G. Hold Public Hearing and Consider the Comprehensive Plan Amendment from Auto Urban Uses to Urban Uses and the Rezoning Request from Agriculture (AG) District to Urban Residential (UR) District, being 31.124 acres out of Lot 14, Section 237, Texas-Mexican Railway Company's Survey, located at 1001 North McColl Road, as requested by Melden & Hunt, Inc.
- H. Hold Public Hearing and Consider the Comprehensive Plan Amendment from Industrial Uses to General Commercial Uses and the Rezoning Request from Agriculture (AG) District to Commercial General (CG) District, Being Lot 6, Cibolo Estates, located at 12507 Bail Bond Drive, as requested by Andres Reyes Jr.

8. **CONSENT AGENDA**

- A. Consider the Final Plat of Feathered Haven Subdivision, being a 8.508 acre tract of land out of Lot 57, Kelly-Pharr Subdivision, situated in the City of Edinburg, as per map records, Hidalgo County Texas, located at 5215 South Sugar Road, as requested by Hinojosa Engineering
- B. Consider the Preliminary plat of Woodland Estates, being a 31.124 acres out of Lot 14, Section 237, Texas-Mexican Railway Company Survey, located at 1001 North McColl Road, as requested by Melden and Hunt
- C. Consider the Preliminary plat of The Heights of Wisconsin, Phase III Subdivision, an 18.008 gross acre tract of land, being 13.08 Acres out of Lots 5,6 and 7, and 5.00 acres out of Lot 8, Jas. I. Lavelle Resubdivision, located at 1900 East Wisconsin Road, as requested by BIG Engineering
- D. Consider the Preliminary plat of Fresno Heights Subdivision, being a Tract of Land containing 5.50 acres' gross, 5.36 Acre Net Tract of Land more or less, situated in the City of Edinburg, Hidalgo County, Texas being a part of Lot 1, Engelmann's Subdivision of lot 10, Section 278, Texas-Mexican Railway Company's Subdivision, located at 4124 West Freddy Gonzalez Drive, as requested by SAMES Engineering
- E. Consider the Preliminary plat of Sugar Mill Estates Subdivision, being a subdivision of 19.641 acres situated in the City of Edinburg, Hidalgo County, Texas, being a part of or portion out of lots 7 and 8, Texas-Mexican Railway Company's Survey, located at 1700 North Sugar Road, as requested by Melden and Hunt, Inc.
- F. Consider the Preliminary plat of Mariterry Estates Subdivision, being the North 6.00 Acres out of the South 12.00 acres of the East ½ of Lot 9, Texas-Mexican Railway Company's Survey, situated in the City of Edinburg, Hidalgo County, Texas, located at 1801 South Mon Mack Road, as requested by MAS Engineering

9. **INFORMATION**

- A. City Commission Actions: April 20, 2021 and May 4, 2021

10. **ADJOURNMENT**

I hereby certify that this notice of meeting was posted in accordance with the Open Meetings Act, V.T.C.A., Government Code, Section 551.041, at the Edinburg City Hall Building, 415 West University Drive, Edinburg, Texas, visible and accessible to the general public after regular working hours. This notice was posted on May 7, 2021 at 5:00 P.M.

Nikki Marie Cavazos, Planner I
Planning & Zoning Department

NOTICE

PERSONS WITH DISABILITIES WHO NEED TO COMMUNICATE MORE EFFECTIVELY WITH CITY OFFICIALS AND WHO MAY NEED AUXILIARY AIDS OR SERVICES SUCH AS INTERPRETERS FOR PERSONS WHO ARE DEAF OR HEARING IMPAIRED ARE REQUESTED TO CONTACT THE OFFICE OF THE CITY SECRETARY AT (956) 388-8204 THREE WORKING DAYS PRIOR TO ANY MEETING SO THAT APPROPRIATE ARRANGEMENTS CAN BE MADE.

Memo

To: Planning & Zoning Commission Members
From: Nikki Marie Cavazos, Administrative Assistant
Subject: Commission Members Absence
Date: May 7, 2021

This is to advise you that action needs to be taken with regards to the absence of Chairperson Joe Ochoa from the April 13, 2021 Regular Meeting.

Should you have any questions, you may call me at 956-388-8202.

Memo

To: Planning & Zoning Commission Members
From: Nikki Marie Cavazos, Administrative Assistant
Subject: Commission Members Absence
Date: May 7, 2021

This is to advise you that action needs to be taken with regards to the absence of Commission Member Becky Hesbrook-Garcia from the April 13, 2021 Regular Meeting.

Should you have any questions, you may call me at 956-388-8202.

**PLANNING AND ZONING COMMISSION
REGULAR MEETING
APRIL 13, 2021- 4:00 P.M.
EDINBURG CITY HALL – CITY COUNCIL CHAMBERS
415 WEST UNIVERSITY DRIVE
EDINBURG, TEXAS 78541**

MEMBERS PRESENT

Hiren Govind, Vice Chairperson
Ruby Casas, Commissioner
Jorge Sotelo, Commissioner
Miki McCarthy, Commissioner
Carlos Jasso, Commissioner

MEMBERS ABSENT

Joe Ochoa, Chairperson
Becky Hesbrook-Garcia, Commissioner

STAFF PRESENT

Kimberly A. Mendoza, Planning & Zoning Director
Rita Guerrero, Urban Planner
Nikki Marie Cavazos, Administrative Assistant
Tilfred Farley, Planning Assistant
Peter Hermida, Engineer III
Roberto Hernandez, Graphics Technician I

Brian Kelsey- Assistant City Manager
Abel Beltran, Urban Planner
Jaime Ayala, Urban Planner II
Daniel A. Colina, Urban Planner
Patrizia Longoria, Engineer III
Ruben Lopez, Lieutenant

VISITORS

Arnoldo Morin
Lou Contreras
Sergio Mandujano
Hector Rodriguez Jr.
DG
Gilberto Ortiz
Fernando Blanco
Cynthia Cripps
Humberto Rincones
Jane Duncan
Omar Cano
Maricruz Magana

Armando Contreras
Charles Hury
Mary Alice Palacios
Pedro C. Feliciano
Julio Carranza
Omar Garza
Luis Fernando Sanchez M.
Rolando Garza
Charles Brown
Monika Feliciano
Blanca Cardenas
Nadia Lopez

Luis Esparza
Mary Ellin Morin
Erika Flores
Jesus M. Salinas
Vickie V. Palacios
Lizette Cardenas
Mario Reyna
Argelio Chapa
Dolores Rincones
Jessica Sanchez
Armando Ramirez
Argelio Chapa

1. CALL MEETING TO ORDER, ESTABLISH QUORUM

The meeting was formally called to order by Vice Chairperson Hiren Govind at 4:04 P.M.

- A. Prayer - Prayer was announced by Commission Member Ms. Ruby Casas
- B. Pledge of Allegiance - The Pledge of Allegiance was said.

2. CERTIFICATION OF PUBLIC NOTICE

Vice Chairperson Hiren Govind verified the posting of the Planning & Zoning Commission Meeting Notice and its compliance with the Open Meetings Act. Staff indicated the agenda had been posted on Friday, April 9, 2021 at 10:00 P.M.

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3. MEETING PROCEDURES:

The following are the meeting procedures used by the Planning and Zoning Commission.

- A. All items are generally considered as they appear on the agenda. As each item is Introduced:
- B. Staff will present its findings and recommendation on the item being considered.
- C. The party making the request may make a presentation and may address the Commission on any issues arising during the discussion of the item being considered.
- D. Anyone in the audience desiring to speak in favor or in opposition may do so. A 3-5 minute time limit will be given to each person interested in speaking on the item. The use of a spokesperson for large groups of people will be required.
- E. Once the Chair closes the public hearing, the commission may question anyone and maintain any discussion which clarifies the proposal and will then take what action it feels to be appropriate.

4. ABSENCES

- A. Consider Excusing the Absence of Commission Member Miki McCarthy from the February 9, 2021 Regular Meeting

MOTION WAS MADE BY COMMISSION MEMBER MRS. RUBY CASAS AND SECONDED BY COMMISSION MEMBER MR. CARLOS JASSO TO EXCUSE THE ABSENCE OF COMMISSION MEMBER MRS. MIKI MCCARTHY FROM THE FEBRUARY 9, 2021 REGULAR MEETING. MOTION CARRIED WITH A VOTE OF 4-1, COMMISSION MEMBER MRS. MIKI MCCARTHY ABSTAINED.

- B. Consider Excusing the Absence of Chairperson Joe Ochoa from the March 9, 2021 Regular Meeting

MOTION WAS MADE BY COMMISSION MEMBER MRS. RUBY CASAS AND SECONDED BY COMMISSION MEMBER MR. CARLOS JASSO TO EXCUSE THE ABSENCE OF CHAIRPERSON MR. JOE OCHOA FROM THE MARCH 9, 2021 REGULAR MEETING. MOTION CARRIED UNANIMOUSLY WITH A VOTE OF 5-0.

- C. Consider Excusing the Absence of Vice Chairperson Hiren Govind from the March 9, 2021 Regular Meeting

MOTION WAS MADE BY COMMISSION MEMBER MR. CARLOS JASSO TO EXCUSE THE ABSENCE OF VICE CHAIRPERSON MR. HIREN GOVIND FROM THE MARCH 9, 2021 REGULAR MEETING. MOTION CARRIED WITH A VOTE OF 4-1, VICE CHAIRPERSON MR. HIREN GOVIND ABSTAINED.

- D. Consider Excusing the Absence of Commission Member Carlos Jasso from the March 9, 2021 Regular Meeting

MOTION WAS MADE BY COMMISSION MEMBER MRS. RUBY CASAS TO EXCUSE THE ABSENCE OF COMMISSION MEMBER MR. CARLOS JASSO FROM THE MARCH 9, 2021 REGULAR MEETING. MOTION CARRIED WITH A VOTE OF 4-1, COMMISSION MEMBER MR. CARLOS JASSO ABSTAINED.

5. MINUTES

- A. Consider approval of the Minutes for the March 9, 2021 Regular Meeting

MOTION WAS MADE BY COMMISSION MEMBER MRS. MIKI MCCARTHY AND SECONDED BY COMMISSION MEMBER MR. CARLOS JASSO TO APPROVE THE MINUTES FROM THE MARCH 9, 2021 REGULAR MEETING. MOTION CARRIED UNANIMOUSLY WITH A VOTE OF 5-0.

6. PUBLIC COMMENTS

- A. If you would like to participate under public comments, you must submit a request beginning at 9:00 a.m. the day of the meeting by (a) sending an email to PublicHearing@cityofedinburg.com or (b) calling the Planning and Zoning Department at 956-388-8202. All request should include your name, address, and telephone number. We ask for everyone's cooperation in following this procedure.

7. PUBLIC HEARINGS

Motion was made by Commission Member Mr. Carlos Jasso and seconded by Commission Member Mrs. Mikki McCarthy to approve the request by Ricardo Cano to move up item 7C.

- C. Consider the Rezoning Request from Auto Urban Residential (AU) District to Urban Residential (UR) District, being a 5.00 acre tract of land out of Lot 7, Section 274, Texas-Mexican Railway Company's Survey, located at 1200 South Sugar Road, as requested by Ricardo Cano

MOTION WAS MADE BY COMMISSION MEMBER MR. CARLOS JASSO AND SECONDED BY COMMISSION MEMBER MRS. RUBY CASAS TO RECOMMEND DISAPPROVAL OF THE REZONING REQUEST. MOTION CARRIED UNANIMOUSLY WITH A VOTE OF 5-0.

- A. Consider Ordinance restricting sign permits for off-premise signs/billboards as requested by the City of Edinburg

MOTION WAS MADE BY COMMISSION MEMBER MRS. MIKI MCCARTHY AND SECONDED BY COMMISSION MEMBER MR. CARLOS JASSO TO RECOMMEND APPROVAL OF THE ORDINANCE. MOTION CARRIED UNANIMOUSLY WITH A VOTE OF 5-0.

- B. Consider the Comprehensive Plan Amendment from Suburban Uses to General Commercial Uses and the Rezoning Request from Agriculture (AG) District to Commercial General (CG) District, being Lot Albino Rodriguez Estates, located at 4224 Northeast Lopez Drive, as requested by Argelio Chapa

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MOTION WAS MADE BY COMMISSION MEMBER MRS. MIKI MCCARTHY AND SECONDED BY COMMISSION MEMBER MR. CARLOS JASSO TO RECOMMEND DISAPPROVAL OF THE COMPREHENSIVE PLAN AMENDMENT AND REZONING REQUEST. MOTION CARRIED UNANIMOUSLY WITH A VOTE OF 5-0.

- D. Consider the Rezoning Request from Suburban Residential (S) District to Urban Residential (UR) District, being Lot 2, Crouse Subdivision, located at 2204 North Jackson Road, as requested by Armando Ramirez

MOTION WAS MADE BY COMMISSION MEMBER MRS. MIKI MCCARTHY AND SECONDED BY COMMISSION MEMBER MR. CARLOS JASSO TO RECOMMEND APPROVAL OF THE REZONING REQUEST. MOTION CARRIED UNANIMOUSLY WITH A VOTE OF 5-0.

- E. Consider the Comprehensive Plan Amendment from Auto Urban Uses to Suburban Use and the Rezoning Request from Commercial General (CG) District to Suburban Residential (S) District, being a tract of land containing 5.50 acres of land situated in Hidalgo County, Texas, and also being a part or portion of Lot 8, Block 3, A.J. McColl Subdivision, located at 2120 West Alberta Road, as requested by Francisco Moreno

MOTION WAS MADE BY COMMISSION MEMBER MRS. MIKI MCCARTHY AND SECONDED BY COMMISSION MEMBER MRS. RUBY CASAS TO RECOMMEND APPROVAL OF THE COMPREHENSIVE PLAN AMENDMENT AND REZONING REQUEST. MOTION CARRIED UNANIMOUSLY WITH A VOTE OF 5-0.

- F. Consider the Comprehensive Plan Amendment from Auto Urban Uses to Urban Uses and the Rezoning Request from Agriculture (AG) District to Urban Residential (UR) District, being a 13.007 acre tract of land out of Lots 5, 6, and 7, Jas. I. Lavelle Subdivision, located at 1900 East Wisconsin Road, as requested by Julio Carranza

MOTION WAS MADE BY COMMISSION MEMBER MR. CARLOS JASSO AND SECONDED BY COMMISSION MEMBER MR. JORGE SOTELO TO RECOMMEND APPROVAL OF THE COMPREHENSIVE PLAN AMENDMENT AND REZONING REQUEST. MOTION CARRIED UNANIMOUSLY WITH A VOTE OF 5-0.

- G. Consider the Comprehensive Plan Amendment from Auto Urban Uses to Urban Uses and the Rezoning Request from Agriculture (AG) District to Urban Residential (UR) District, being a 5.00 gross acre tract of land, being all of Lot 8, Jas. I. Lavelle Subdivision, located at 1900 East Wisconsin Road, As Requested By Julio Carranza

MOTION WAS MADE BY COMMISSION MEMBER MR. CARLOS JASSO AND SECONDED BY COMMISSION MEMBER MR. JORGE SOTELO TO RECOMMEND APPROVAL OF THE COMPREHENSIVE PLAN AMENDMENT AND REZONING REQUEST. MOTION CARRIED UNANIMOUSLY WITH A VOTE OF 5-0.

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- H. Consider the Comprehensive Plan Amendment from Auto Urban Uses to Urban Uses and the Rezoning Request from Commercial General (CG) District to Urban Residential (UR) District, being 8.934 acres out of Lot 30, Kelly-Pharr Subdivision, located at 500 East Wisconsin Road, as requested by Melden and Hunt, Inc.

MOTION WAS MADE BY COMMISSION MEMBER MRS. MIKI MCCARTHY AND SECONDED BY COMMISSION MEMBER MR. JORGE SOTELO TO RECOMMEND APPROVAL OF THE COMPREHENSIVE PLAN AMENDMENT AND REZONING REQUEST. MOTION CARRIED UNANIMOUSLY WITH A VOTE OF 5-0.

- I. Consider the Comprehensive Plan Amendment from Industrial Uses to General Commercial Uses and the Rezoning Request from Agriculture (AG) District to Commercial General (CG) District, being Lot 2, Block 47, Santa Cruz Gardens No. 2 Resubdivision, located at 900 West FM 2812, as requested by Armando Contreras

MOTION WAS MADE BY VICE CHAIRPERSON MR HIREN GOVIND AND SECONDED BY COMMISSION MEMBER MRS. MIKKI MCCARTHY TO RECOMMEND APPROVAL OF THE COMPREHENSIVE PLAN AMENDMENT AND REZONING REQUEST. MOTION CARRIED UNANIMOUSLY WITH A VOTE OF 5-0.

- J. Consider the Comprehensive Plan Amendment from Auto Urban Uses to Suburban Uses and the Rezoning Request from Commercial General (CG) District to Suburban Residential (S) District, being Lot 2, Amended Lady Luck Subdivision Phase II, located at 4528 North Doolittle Road, as requested by Richard A. Garza

MOTION WAS MADE BY COMMISSION MEMBER MR. JORGE SOTELO AND SECONDED BY COMMISSION MEMBER MR. CARLOS JASSO TO RECOMMEND APPROVAL OF THE COMPREHENSIVE PLAN AMENDMENT AND REZONING REQUEST. MOTION CARRIED UNANIMOUSLY WITH A VOTE OF 5-0.

- K. Consider the Rezoning Request from Commercial General (CG) District to Neighborhood Conservation 7.1 (NC 7.1) District, being Lot 1, Windsor Estates Subdivision, located at 2816 Windsor Street, as requested by Vica Texas Enterprises L.P.

MOTION WAS MADE BY COMMISSION MEMBER MRS. MIKKI MCCARTHY AND SECONDED BY COMMISSION MEMBER MR. CARLOS JASSO TO RECOMMEND APPROVAL OF THE REZONING REQUEST. MOTION CARRIED UNANIMOUSLY WITH A VOTE OF 5-0.

- L. Consider the Rezoning Request from Commercial General (CG) District to Neighborhood Conservation 7.1 (NC 7.1) District, being Lot 34, Windsor Estates Subdivision, located at 2815 Windsor Street, Vica Texas Enterprises L.P.

MOTION WAS MADE BY COMMISSION MEMBER MRS. MIKKI MCCARTHY AND SECONDED BY COMMISSION MEMBER MR. CARLOS JASSO TO RECOMMEND APPROVAL OF THE REZONING REQUEST. MOTION CARRIED UNANIMOUSLY WITH A VOTE OF 5-0.

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- M. Consider the Rezoning Request from Neighborhood Conservation 5 (NC 5) District to Urban Residential (UR) District, being Lots 1 and 2, Block 4, Roseland Parks Subdivision, Lots 1 and 18, University North Subdivision Unit No. 1, located at 715 West Schunior Road, as requested by Sarg Enterprises LLC. **(TABLED: MARCH 9, 2021)**

MOTION WAS MADE BY COMMISSION MEMBER MR. CARLOS JASSO AND SECONDED BY COMMISSION MEMBER MRS. MIKKI MCCARTHY TO RECOMMEND APPROVAL OF THE REZONING REQUEST. MOTION CARRIED WITH A VOTE OF 4-1. COMMISSION MEMBER MRS. RUBY CASAS ABSTAINED.

- N. Consider the Special Use Permit for a Wireless Communication Tower, being 0.083 acres and a 0.524 acre tract of land situated in the TM RR CO Survey, Section No. 241, Abstract No. 102, being out of called 9.20 acres, located at 322 West Chapin Street, as requested by Vertical Bridge Development

MOTION WAS MADE BY COMMISSION MEMBER MR. JORGE SOTELO AND SECONDED BY COMMISSION MEMBER MRS. MIKKI MCCARTHY TO RECOMMEND APPROVAL OF THE SPECIAL USE PERMIT. MOTION CARRIED UNANIMOUSLY WITH A VOTE OF 5-0.

8. PUBLIC HEARINGS- RESUBDIVISION

- A. Consider the Replat of Lot 53A, Re-Plat of Lots 53 & 54, Regency Square Subdivision Unit No. 4, being a 0.20 acre tract consist of all of Lot 53 and the South 20 feet of Lot 54, Regency Square Subdivision Unit No. 4, as per the map or plat thereof recorded in Volume 23, Pages 137, Map Records in the Office of the County Clerk of Hidalgo County, Texas, located along the east side of Mesquite Street, approximately 250 feet North of Ash Circle, as requested by Salinas Engineering and Associates

MOTION WAS MADE BY COMMISSION MEMBER MRS. MIKI MCCARTHY AND SECONDED BY COMMISSION MEMBER MR. CARLOS JASSO TO RECOMMEND APPROVAL OF THE REPLAT. MOTION CARRIED UNANIMOUSLY WITH A VOTE OF 5-0.

- B. Consider the Replat of The Boardwalk Subdivision, Lots 1-7 and out of Lot 21, being a Resubdivision of 1.240 acres, being all of Lots 1, 2, 3, 4, 5, 6, 7, and out of Lot 21, Block 1, The Boardwalk Subdivision, located at 2952 Regency Drive, as requested by Melden and Hunt, Inc.

MOTION WAS MADE BY COMMISSION MEMBER MR. CARLOS JASSO AND SECONDED BY COMMISSION MEMBER MR. JORGE SOTELO TO RECOMMEND APPROVAL OF THE REPLAT. MOTION CARRIED UNANIMOUSLY WITH A VOTE OF 5-0.

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9. SUBDIVISION (VARIANCES)

- A. Consider Variance Request to the City's Unified Development Code as follows: **1.)** Article 3- District and Bulk Standards, Division 3.300- Bulk Regulations – Standard Development, Section 3.303 Multi-Family - Lot Width and Lot Area, and **2.)** Article 8 – Streets, Utilities, and Drainage, Division 8.200- Streets, Sidewalks and Trails, Section 8.204 – Street Standards, Atwood Village Subdivision, being a 34.992 acres out of Lots 13 & 14, Section 238, Texas-Mexican Railway Company Survey, Hidalgo County, Texas, located on the north side of Schunior Road and east of Hoehn Road, as requested by Melden and Hunt Inc.

MOTION WAS MADE BY COMMISSION MEMBER MRS. MIKI MCCARTHY AND SECONDED BY COMMISSION MEMBER MR. CARLOS JASSO TO APPROVE THE VARIANCE REQUEST. MOTION CARRIED UNANIMOUSLY WITH A VOTE OF 5-0.

10. CONSENT AGENDA

- A. Consider the Preliminary Plat Approval of Lot 53-A, Re-Plat of Lots 53 & 54, Regency Square Subdivision Unit No. 4, being the North 50 –feet of Lot 53 and the South 20 feet of Lot 54, Regency Square Subdivision Unit No. 4, as per the map recorded in Volume 23, Page 137, map records in the office of the County Clerk of Hidalgo County, Texas, located on the east side of Mesquite Street and north of Ash Circle Street; as requested by Salinas Engineering and Associates

MOTION WAS MADE BY COMMISSION MEMBER MRS. MIKI MCCARTHY AND SECONDED BY COMMISSION MEMBER MR. JORGE SOTELO TO APPROVE THE CONSENT AGENDA ITEM. MOTION CARRIED UNANIMOUSLY WITH A VOTE OF 5-0.

- B. Consider the Preliminary Plat Approval of The Boardwalk Subdivision, Lots 1-7 and out of Lot 21 Subdivision, being a Resubdivision of 1.240 acres, being all of Lots 1, 2, 3, 4, 5, 6, 7, and out of Lot 21, Block 1, The Boardwalk Subdivision, located at 2952 Regency Drive, as requested by Melden and Hunt, Inc.

MOTION WAS MADE BY COMMISSION MEMBER MRS. MIKI MCCARTHY AND SECONDED BY COMMISSION MEMBER MR. JORGE SOTELO TO APPROVE THE CONSENT AGENDA ITEM. MOTION CARRIED UNANIMOUSLY WITH A VOTE OF 5-0.

- C. Consider the Preliminary Plat Approval of Storage Masters Subdivision; a 5.10 acre tract of land being out of a portion of Lot 6, Section 268, Texas-Mexican Railway Company's Survey Subdivision, as per the map recorded in Volume 24, Page 158-171, map records in the office of the County Clerk of Hidalgo County, Texas, located on the south side of SH 107 and East University Drive as requested by Rio Delta Engineering

MOTION WAS MADE BY COMMISSION MEMBER MRS. MIKI MCCARTHY AND SECONDED BY COMMISSION MEMBER MR. JORGE SOTELO TO APPROVE THE CONSENT AGENDA ITEM. MOTION CARRIED UNANIMOUSLY WITH A VOTE OF 5-0.

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- D. Consider a Preliminary Plat Approval of Erilo Investments Company, LLC. a .55 tract of land being out of a portion of Lot 12, Kelly-Pharr Subdivision, as per the map recorded in Volume 3, Page 133-134, map records in the office of the County Clerk of Hidalgo County, Texas. located on the west side of Business Highway 281 (Closner Blvd.) and south of Canton Road as requested by RO Engineering, PLLC.

MOTION WAS MADE BY COMMISSION MEMBER MRS. MIKI MCCARTHY AND SECONDED BY COMMISSION MEMBER MR. JORGE SOTELO TO APPROVE THE CONSENT AGENDA ITEM. MOTION CARRIED UNANIMOUSLY WITH A VOTE OF 5-0.

- E. Consider a Preliminary Plat Approval of Monte Veranda Phase II Subdivision, a 4.97 acre tract of land being out of a portion of Lot 5, Section 274, Texas-Mexican Railway Company's Survey Subdivision, as per the map records in the office of the County Clerk of Hidalgo County, Texas, located on the east side of Jackson Road and Chachalaca Street as requested by Supreme Engineering, PLLC.

MOTION WAS MADE BY COMMISSION MEMBER MRS. MIKI MCCARTHY AND SECONDED BY COMMISSION MEMBER MR. JORGE SOTELO TO APPROVE THE CONSENT AGENDA ITEM. MOTION CARRIED UNANIMOUSLY WITH A VOTE OF 5-0.

- F. Consider a Preliminary Plat Approval of Green Hill Subdivision; a 5 acre tract of land being out of a portion of Lot 7, Section 274, Texas-Mexican Company's Survey Subdivision, as per the map recorded in Volume 24, page 158-171, map records in the office of the County Clerk of Hidalgo County, Texas as requested by SAMES Engineering, Inc.

MOTION WAS MADE BY COMMISSION MEMBER MRS. MIKI MCCARTHY AND SECONDED BY COMMISSION MEMBER MR. JORGE SOTELO TO APPROVE THE CONSENT AGENDA ITEM. MOTION CARRIED UNANIMOUSLY WITH A VOTE OF 5-0.

- G. Consider a Preliminary Plat Approval of Nicho Produce Subdivision, a 2.798-acre tract of land out of Lot 6 Block B of the original town site of Edinburg, Texas as per map records in the office of the county Clerk of Hidalgo County, Texas located on the southwest corner of North 10th Avenue and East Chavez Street as requested by SOTEX Engineering

MOTION WAS MADE BY COMMISSION MEMBER MRS. MIKI MCCARTHY AND SECONDED BY COMMISSION MEMBER MR. JORGE SOTELO TO APPROVE THE CONSENT AGENDA ITEM. MOTION CARRIED UNANIMOUSLY WITH A VOTE OF 5-0.

11. INFORMATION

- A. City Commission Actions: March 16, 2021 and April 6, 2021

MRS. KIMBERLY MENDOZA DISCUSSED THE ACTIONS FOR THE MEETINGS THAT WERE HELD ON MARCH 16, 2021 AND APRIL 6, 2021. SHE ALSO INTRODUCED NEW STAFF THAT JOINED THE PLANNING AND ZONING DEPARTMENT AND DISCUSSED UPCOMING PLANS OF UPDATING THE UNIFIED DEVELOPMENT CODE. MR. BRYAN KELSEY ELABORATED ON THE PLANS TO UPDATE THE UNIFIED DEVELOPMENT CODE TO STREAMLINE THE PROCESS.

12. ADJOURNMENT

There being no further information to consider, the meeting was adjourned at 6:05 P.M.

MOTION WAS MADE BY COMMISSION MEMBER MRS. MIKI MCCARTHY AND SECONDED BY COMMISSION MEMBER MR. CARLOS JASSO TO ADJOURN THE MEETING. MOTION CARRIED UNANIMOUSLY WITH A VOTE OF 5-0.

Nikki Marie Cavazos, Administrative Assistant
Planning & Zoning Department

NOTICE

PERSONS WITH DISABILITIES WHO NEED TO COMMUNICATE MORE EFFECTIVELY WITH CITY OFFICIALS AND WHO MAY NEED AUXILIARY AIDS OR SERVICES SUCH AS INTERPRETERS FOR PERSONS WHO ARE DEAF OR HEARING IMPAIRED ARE REQUESTED TO CONTACT THE OFFICE OF THE CITY SECRETARY AT (956) 388-8204 THREE WORKING DAYS PRIOR TO ANY MEETING SO THAT APPROPRIATE ARRANGEMENTS CAN BE MADE.

**PLANNING AND ZONING COMMISSION
REGULAR MEETING
APRIL 13, 2021- 4:00 P.M.
EDINBURG CITY HALL – CITY COUNCIL CHAMBERS
415 WEST UNIVERSITY DRIVE
EDINBURG, TEXAS 78541**

MEMBERS PRESENT

Hiren Govind, Vice Chairperson
Ruby Casas, Commissioner
Jorge Sotelo, Commissioner
Miki McCarthy, Commissioner
Carlos Jasso, Commissioner

MEMBERS ABSENT

Joe Ochoa, Chairperson
Becky Hesbrook-Garcia, Commissioner

STAFF PRESENT

Kimberly A. Mendoza, Planning & Zoning Director
Rita Guerrero, Urban Planner
Nikki Marie Cavazos, Administrative Assistant
Tilfred Farley, Planning Assistant
Peter Hermida, Engineer III
Roberto Hernandez, Graphics Technician I

Brian Kelsey- Assistant City Manager
Abel Beltran, Urban Planner
Jaime Ayala, Urban Planner II
Daniel A. Colina, Urban Planner
Patrizia Longoria, Engineer III
Ruben Lopez, Lieutenant

VISITORS

Arnoldo Morin
Lou Contreras
Sergio Mandujano
Hector Rodriguez Jr.
DG
Gilberto Ortiz
Fernando Blanco
Cynthia Cripps
Humberto Rincones
Jane Duncan
Omar Cano
Maricruz Magana

Armando Contreras
Charles Hury
Mary Alice Palacios
Pedro C. Feliciano
Julio Carranza
Omar Garza
Luis Fernando Sanchez M.
Rolando Garza
Charles Brown
Monika Feliciano
Blanca Cardenas
Nadia Lopez

Luis Esparza
Mary Ellin Morin
Erika Flores
Jesus M. Salinas
Vickie V. Palacios
Lizette Cardenas
Mario Reyna
Argelio Chapa
Dolores Rincones
Jessica Sanchez
Armando Ramirez
Argelio Chapa

1. CALL MEETING TO ORDER, ESTABLISH QUORUM

The meeting was formally called to order by Vice Chairperson Hiren Govind at 4:04 P.M.

- A. Prayer - Prayer was announced by Commission Member Ms. Ruby Casas
- B. Pledge of Allegiance - The Pledge of Allegiance was said.

2. CERTIFICATION OF PUBLIC NOTICE

Vice Chairperson Hiren Govind verified the posting of the Planning & Zoning Commission Meeting Notice and its compliance with the Open Meetings Act. Staff indicated the agenda had been posted on Friday, April 9, 2021 at 10:00 P.M.

PLANNING AND ZONING COMMISSION MEETING

APRIL 13, 2021

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3. MEETING PROCEDURES:

The following are the meeting procedures used by the Planning and Zoning Commission.

- A. All items are generally considered as they appear on the agenda. As each item is Introduced:
- B. Staff will present its findings and recommendation on the item being considered.
- C. The party making the request may make a presentation and may address the Commission on any issues arising during the discussion of the item being considered.
- D. Anyone in the audience desiring to speak in favor or in opposition may do so. A 3-5 minute time limit will be given to each person interested in speaking on the item. The use of a spokesperson for large groups of people will be required.
- E. Once the Chair closes the public hearing, the commission may question anyone and maintain any discussion which clarifies the proposal and will then take what action it feels to be appropriate.

4. ABSENCES

- A. Consider Excusing the Absence of Commission Member Miki McCarthy from the February 9, 2021 Regular Meeting

MOTION WAS MADE BY COMMISSION MEMBER MRS. RUBY CASAS AND SECONDED BY COMMISSION MEMBER MR. CARLOS JASSO TO EXCUSE THE ABSENCE OF COMMISSION MEMBER MRS. MIKI MCCARTHY FROM THE FEBRUARY 9, 2021 REGULAR MEETING. MOTION CARRIED WITH A VOTE OF 4-1, COMMISSION MEMBER MRS. MIKI MCCARTHY ABSTAINED.

- B. Consider Excusing the Absence of Chairperson Joe Ochoa from the March 9, 2021 Regular Meeting

MOTION WAS MADE BY COMMISSION MEMBER MRS. RUBY CASAS AND SECONDED BY COMMISSION MEMBER MR. CARLOS JASSO TO EXCUSE THE ABSENCE OF CHAIRPERSON MR. JOE OCHOA FROM THE MARCH 9, 2021 REGULAR MEETING. MOTION CARRIED UNANIMOUSLY WITH A VOTE OF 5-0.

- C. Consider Excusing the Absence of Vice Chairperson Hiren Govind from the March 9, 2021 Regular Meeting

MOTION WAS MADE BY COMMISSION MEMBER MR. CARLOS JASSO TO EXCUSE THE ABSENCE OF VICE CHAIRPERSON MR. HIREN GOVIND FROM THE MARCH 9, 2021 REGULAR MEETING. MOTION CARRIED WITH A VOTE OF 4-1, VICE CHAIRPERSON MR. HIREN GOVIND ABSTAINED.

- D. Consider Excusing the Absence of Commission Member Carlos Jasso from the March 9, 2021 Regular Meeting

MOTION WAS MADE BY COMMISSION MEMBER MRS. RUBY CASAS TO EXCUSE THE ABSENCE OF COMMISSION MEMBER MR. CARLOS JASSO FROM THE MARCH 9, 2021 REGULAR MEETING. MOTION CARRIED WITH A VOTE OF 4-1, COMMISSION MEMBER MR. CARLOS JASSO ABSTAINED.

5. MINUTES

- A. Consider approval of the Minutes for the March 9, 2021 Regular Meeting

MOTION WAS MADE BY COMMISSION MEMBER MRS. MIKI MCCARTHY AND SECONDED BY COMMISSION MEMBER MR. CARLOS JASSO TO APPROVE THE MINUTES FROM THE MARCH 9, 2021 REGULAR MEETING. MOTION CARRIED UNANIMOUSLY WITH A VOTE OF 5-0.

6. PUBLIC COMMENTS

- A. If you would like to participate under public comments, you must submit a request beginning at 9:00 a.m. the day of the meeting by (a) sending an email to PublicHearing@cityofedinburg.com or (b) calling the Planning and Zoning Department at 956-388-8202. All request should include your name, address, and telephone number. We ask for everyone's cooperation in following this procedure.

7. PUBLIC HEARINGS

Motion was made by Commission Member Mr. Carlos Jasso and seconded by Commission Member Mrs. Mikki McCarthy to approve the request by Ricardo Cano to move up item 7C.

- C. Consider the Rezoning Request from Auto Urban Residential (AU) District to Urban Residential (UR) District, being a 5.00 acre tract of land out of Lot 7, Section 274, Texas-Mexican Railway Company's Survey, located at 1200 South Sugar Road, as requested by Ricardo Cano

MOTION WAS MADE BY COMMISSION MEMBER MR. CARLOS JASSO AND SECONDED BY COMMISSION MEMBER MRS. RUBY CASAS TO RECOMMEND DISAPPROVAL OF THE REZONING REQUEST. MOTION CARRIED UNANIMOUSLY WITH A VOTE OF 5-0.

- A. Consider Ordinance restricting sign permits for off-premise signs/billboards as requested by the City of Edinburg

MOTION WAS MADE BY COMMISSION MEMBER MRS. MIKI MCCARTHY AND SECONDED BY COMMISSION MEMBER MR. CARLOS JASSO TO RECOMMEND APPROVAL OF THE ORDINANCE. MOTION CARRIED UNANIMOUSLY WITH A VOTE OF 5-0.

- B. Consider the Comprehensive Plan Amendment from Suburban Uses to General Commercial Uses and the Rezoning Request from Agriculture (AG) District to Commercial General (CG) District, being Lot Albino Rodriguez Estates, located at 4224 Northeast Lopez Drive, as requested by Argelio Chapa

PLANNING AND ZONING COMMISSION MEETING

APRIL 13, 2021

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MOTION WAS MADE BY COMMISSION MEMBER MRS. MIKI MCCARTHY AND SECONDED BY COMMISSION MEMBER MR. CARLOS JASSO TO RECOMMEND DISAPPROVAL OF THE COMPREHENSIVE PLAN AMENDMENT AND REZONING REQUEST. MOTION CARRIED UNANIMOUSLY WITH A VOTE OF 5-0.

- D. Consider the Rezoning Request from Suburban Residential (S) District to Urban Residential (UR) District, being Lot 2, Crouse Subdivision, located at 2204 North Jackson Road, as requested by Armando Ramirez

MOTION WAS MADE BY COMMISSION MEMBER MRS. MIKI MCCARTHY AND SECONDED BY COMMISSION MEMBER MR. CARLOS JASSO TO RECOMMEND APPROVAL OF THE REZONING REQUEST. MOTION CARRIED UNANIMOUSLY WITH A VOTE OF 5-0.

- E. Consider the Comprehensive Plan Amendment from Auto Urban Uses to Suburban Use and the Rezoning Request from Commercial General (CG) District to Suburban Residential (S) District, being a tract of land containing 5.50 acres of land situated in Hidalgo County, Texas, and also being a part or portion of Lot 8, Block 3, A.J. McColl Subdivision, located at 2120 West Alberta Road, as requested by Francisco Moreno

MOTION WAS MADE BY COMMISSION MEMBER MRS. MIKI MCCARTHY AND SECONDED BY COMMISSION MEMBER MRS. RUBY CASAS TO RECOMMEND APPROVAL OF THE COMPREHENSIVE PLAN AMENDMENT AND REZONING REQUEST. MOTION CARRIED UNANIMOUSLY WITH A VOTE OF 5-0.

- F. Consider the Comprehensive Plan Amendment from Auto Urban Uses to Urban Uses and the Rezoning Request from Agriculture (AG) District to Urban Residential (UR) District, being a 13.007 acre tract of land out of Lots 5, 6, and 7, Jas. I. Lavelle Subdivision, located at 1900 East Wisconsin Road, as requested by Julio Carranza

MOTION WAS MADE BY COMMISSION MEMBER MR. CARLOS JASSO AND SECONDED BY COMMISSION MEMBER MR. JORGE SOTELO TO RECOMMEND APPROVAL OF THE COMPREHENSIVE PLAN AMENDMENT AND REZONING REQUEST. MOTION CARRIED UNANIMOUSLY WITH A VOTE OF 5-0.

- G. Consider the Comprehensive Plan Amendment from Auto Urban Uses to Urban Uses and the Rezoning Request from Agriculture (AG) District to Urban Residential (UR) District, being a 5.00 gross acre tract of land, being all of Lot 8, Jas. I. Lavelle Subdivision, located at 1900 East Wisconsin Road, As Requested By Julio Carranza

MOTION WAS MADE BY COMMISSION MEMBER MR. CARLOS JASSO AND SECONDED BY COMMISSION MEMBER MR. JORGE SOTELO TO RECOMMEND APPROVAL OF THE COMPREHENSIVE PLAN AMENDMENT AND REZONING REQUEST. MOTION CARRIED UNANIMOUSLY WITH A VOTE OF 5-0.

PLANNING AND ZONING COMMISSION MEETING

APRIL 13, 2021

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- H. Consider the Comprehensive Plan Amendment from Auto Urban Uses to Urban Uses and the Rezoning Request from Commercial General (CG) District to Urban Residential (UR) District, being 8.934 acres out of Lot 30, Kelly-Pharr Subdivision, located at 500 East Wisconsin Road, as requested by Melden and Hunt, Inc.

MOTION WAS MADE BY COMMISSION MEMBER MRS. MIKI MCCARTHY AND SECONDED BY COMMISSION MEMBER MR. JORGE SOTELO TO RECOMMEND APPROVAL OF THE COMPREHENSIVE PLAN AMENDMENT AND REZONING REQUEST. MOTION CARRIED UNANIMOUSLY WITH A VOTE OF 5-0.

- I. Consider the Comprehensive Plan Amendment from Industrial Uses to General Commercial Uses and the Rezoning Request from Agriculture (AG) District to Commercial General (CG) District, being Lot 2, Block 47, Santa Cruz Gardens No. 2 Resubdivision, located at 900 West FM 2812, as requested by Armando Contreras

MOTION WAS MADE BY VICE CHAIRPERSON MR HIREN GOVIND AND SECONDED BY COMMISSION MEMBER MRS. MIKKI MCCARTHY TO RECOMMEND APPROVAL OF THE COMPREHENSIVE PLAN AMENDMENT AND REZONING REQUEST. MOTION CARRIED UNANIMOUSLY WITH A VOTE OF 5-0.

- J. Consider the Comprehensive Plan Amendment from Auto Urban Uses to Suburban Uses and the Rezoning Request from Commercial General (CG) District to Suburban Residential (S) District, being Lot 2, Amended Lady Luck Subdivision Phase II, located at 4528 North Doolittle Road, as requested by Richard A. Garza

MOTION WAS MADE BY COMMISSION MEMBER MR. JORGE SOTELO AND SECONDED BY COMMISSION MEMBER MR. CARLOS JASSO TO RECOMMEND APPROVAL OF THE COMPREHENSIVE PLAN AMENDMENT AND REZONING REQUEST. MOTION CARRIED UNANIMOUSLY WITH A VOTE OF 5-0.

- K. Consider the Rezoning Request from Commercial General (CG) District to Neighborhood Conservation 7.1 (NC 7.1) District, being Lot 1, Windsor Estates Subdivision, located at 2816 Windsor Street, as requested by Vica Texas Enterprises L.P.

MOTION WAS MADE BY COMMISSION MEMBER MRS. MIKKI MCCARTHY AND SECONDED BY COMMISSION MEMBER MR. CARLOS JASSO TO RECOMMEND APPROVAL OF THE REZONING REQUEST. MOTION CARRIED UNANIMOUSLY WITH A VOTE OF 5-0.

- L. Consider the Rezoning Request from Commercial General (CG) District to Neighborhood Conservation 7.1 (NC 7.1) District, being Lot 34, Windsor Estates Subdivision, located at 2815 Windsor Street, Vica Texas Enterprises L.P.

MOTION WAS MADE BY COMMISSION MEMBER MRS. MIKKI MCCARTHY AND SECONDED BY COMMISSION MEMBER MR. CARLOS JASSO TO RECOMMEND APPROVAL OF THE REZONING REQUEST. MOTION CARRIED UNANIMOUSLY WITH A VOTE OF 5-0.

PLANNING AND ZONING COMMISSION MEETING

APRIL 13, 2021

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- M. Consider the Rezoning Request from Neighborhood Conservation 5 (NC 5) District to Urban Residential (UR) District, being Lots 1 and 2, Block 4, Roseland Parks Subdivision, Lots 1 and 18, University North Subdivision Unit No. 1, located at 715 West Schunior Road, as requested by Sarg Enterprises LLC. **(TABLED: MARCH 9, 2021)**

MOTION WAS MADE BY COMMISSION MEMBER MR. CARLOS JASSO AND SECONDED BY COMMISSION MEMBER MRS. MIKKI MCCARTHY TO RECOMMEND APPROVAL OF THE REZONING REQUEST. MOTION CARRIED WITH A VOTE OF 4-1. COMMISSION MEMBER MRS. RUBY CASAS ABSTAINED.

- N. Consider the Special Use Permit for a Wireless Communication Tower, being 0.083 acres and a 0.524 acre tract of land situated in the TM RR CO Survey, Section No. 241, Abstract No. 102, being out of called 9.20 acres, located at 322 West Chapin Street, as requested by Vertical Bridge Development

MOTION WAS MADE BY COMMISSION MEMBER MR. JORGE SOTELO AND SECONDED BY COMMISSION MEMBER MRS. MIKKI MCCARTHY TO RECOMMEND APPROVAL OF THE SPECIAL USE PERMIT. MOTION CARRIED UNANIMOUSLY WITH A VOTE OF 5-0.

8. PUBLIC HEARINGS- RESUBDIVISION

- A. Consider the Replat of Lot 53A, Re-Plat of Lots 53 & 54, Regency Square Subdivision Unit No. 4, being a 0.20 acre tract consist of all of Lot 53 and the South 20 feet of Lot 54, Regency Square Subdivision Unit No. 4, as per the map or plat thereof recorded in Volume 23, Pages 137, Map Records in the Office of the County Clerk of Hidalgo County, Texas, located along the east side of Mesquite Street, approximately 250 feet North of Ash Circle, as requested by Salinas Engineering and Associates

MOTION WAS MADE BY COMMISSION MEMBER MRS. MIKKI MCCARTHY AND SECONDED BY COMMISSION MEMBER MR. CARLOS JASSO TO RECOMMEND APPROVAL OF THE REPLAT. MOTION CARRIED UNANIMOUSLY WITH A VOTE OF 5-0.

- B. Consider the Replat of The Boardwalk Subdivision, Lots 1-7 and out of Lot 21, being a Resubdivision of 1.240 acres, being all of Lots 1, 2, 3, 4, 5, 6, 7, and out of Lot 21, Block 1, The Boardwalk Subdivision, located at 2952 Regency Drive, as requested by Melden and Hunt, Inc.

MOTION WAS MADE BY COMMISSION MEMBER MR. CARLOS JASSO AND SECONDED BY COMMISSION MEMBER MR. JORGE SOTELO TO RECOMMEND APPROVAL OF THE REPLAT. MOTION CARRIED UNANIMOUSLY WITH A VOTE OF 5-0.

PLANNING AND ZONING COMMISSION MEETING

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9. SUBDIVISION (VARIANCES)

- A. Consider Variance Request to the City’s Unified Development Code as follows: **1.)** Article 3- District and Bulk Standards, Division 3.300- Bulk Regulations – Standard Development, Section 3.303 Multi-Family - Lot Width and Lot Area, and **2.)** Article 8 – Streets, Utilities, and Drainage, Division 8.200- Streets, Sidewalks and Trails, Section 8.204 – Street Standards, Atwood Village Subdivision, being a 34.992 acres out of Lots 13 & 14, Section 238, Texas-Mexican Railway Company Survey, Hidalgo County, Texas, located on the north side of Schunior Road and east of Hoehn Road, as requested by Melden and Hunt Inc.

MOTION WAS MADE BY COMMISSION MEMBER MRS. MIKI MCCARTHY AND SECONDED BY COMMISSION MEMBER MR. CARLOS JASSO TO APPROVE THE VARIANCE REQUEST. MOTION CARRIED UNANIMOUSLY WITH A VOTE OF 5-0.

10. CONSENT AGENDA

- A. Consider the Preliminary Plat Approval of Lot 53-A, Re-Plat of Lots 53 & 54, Regency Square Subdivision Unit No. 4, being the North 50 –feet of Lot 53 and the South 20 feet of Lot 54, Regency Square Subdivision Unit No. 4, as per the map recorded in Volume 23, Page 137, map records in the office of the County Clerk of Hidalgo County, Texas, located on the east side of Mesquite Street and north of Ash Circle Street; as requested by Salinas Engineering and Associates

MOTION WAS MADE BY COMMISSION MEMBER MRS. MIKI MCCARTHY AND SECONDED BY COMMISSION MEMBER MR. JORGE SOTELO TO APPROVE THE CONSENT AGENDA ITEM. MOTION CARRIED UNANIMOUSLY WITH A VOTE OF 5-0.

- B. Consider the Preliminary Plat Approval of The Boardwalk Subdivision, Lots 1-7 and out of Lot 21 Subdivision, being a Resubdivision of 1.240 acres, being all of Lots 1, 2, 3, 4, 5, 6, 7, and out of Lot 21, Block 1, The Boardwalk Subdivision, located at 2952 Regency Drive, as requested by Melden and Hunt, Inc.

MOTION WAS MADE BY COMMISSION MEMBER MRS. MIKI MCCARTHY AND SECONDED BY COMMISSION MEMBER MR. JORGE SOTELO TO APPROVE THE CONSENT AGENDA ITEM. MOTION CARRIED UNANIMOUSLY WITH A VOTE OF 5-0.

- C. Consider the Preliminary Plat Approval of Storage Masters Subdivision; a 5.10 acre tract of land being out of a portion of Lot 6, Section 268, Texas-Mexican Railway Company’s Survey Subdivision, as per the map recorded in Volume 24, Page 158-171, map records in the office of the County Clerk of Hidalgo County, Texas, located on the south side of SH 107 and East University Drive as requested by Rio Delta Engineering

MOTION WAS MADE BY COMMISSION MEMBER MRS. MIKI MCCARTHY AND SECONDED BY COMMISSION MEMBER MR. JORGE SOTELO TO APPROVE THE CONSENT AGENDA ITEM. MOTION CARRIED UNANIMOUSLY WITH A VOTE OF 5-0.

PLANNING AND ZONING COMMISSION MEETING

APRIL 13, 2021

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- D. Consider a Preliminary Plat Approval of Erilo Investments Company, LLC. a .55 tract of land being out of a portion of Lot 12, Kelly-Pharr Subdivision, as per the map recorded in Volume 3, Page 133-134, map records in the office of the County Clerk of Hidalgo County, Texas. located on the west side of Business Highway 281 (Closner Blvd.) and south of Canton Road as requested by RO Engineering, PLLC.

MOTION WAS MADE BY COMMISSION MEMBER MRS. MIKI MCCARTHY AND SECONDED BY COMMISSION MEMBER MR. JORGE SOTELO TO APPROVE THE CONSENT AGENDA ITEM. MOTION CARRIED UNANIMOUSLY WITH A VOTE OF 5-0.

- E. Consider a Preliminary Plat Approval of Monte Veranda Phase II Subdivision, a 4.97 acre tract of land being out of a portion of Lot 5, Section 274, Texas-Mexican Railway Company's Survey Subdivision, as per the map records in the office of the County Clerk of Hidalgo County, Texas, located on the east side of Jackson Road and Chachalaca Street as requested by Supreme Engineering, PLLC.

MOTION WAS MADE BY COMMISSION MEMBER MRS. MIKI MCCARTHY AND SECONDED BY COMMISSION MEMBER MR. JORGE SOTELO TO APPROVE THE CONSENT AGENDA ITEM. MOTION CARRIED UNANIMOUSLY WITH A VOTE OF 5-0.

- F. Consider a Preliminary Plat Approval of Green Hill Subdivision; a 5 acre tract of land being out of a portion of Lot 7, Section 274, Texas-Mexican Company's Survey Subdivision, as per the map recorded in Volume 24, page 158-171, map records in the office of the County Clerk of Hidalgo County, Texas as requested by SAMES Engineering, Inc.

MOTION WAS MADE BY COMMISSION MEMBER MRS. MIKI MCCARTHY AND SECONDED BY COMMISSION MEMBER MR. JORGE SOTELO TO APPROVE THE CONSENT AGENDA ITEM. MOTION CARRIED UNANIMOUSLY WITH A VOTE OF 5-0.

- G. Consider a Preliminary Plat Approval of Nicho Produce Subdivision, a 2.798-acre tract of land out of Lot 6 Block B of the original town site of Edinburg, Texas as per map records in the office of the county Clerk of Hidalgo County, Texas located on the southwest corner of North 10th Avenue and East Chavez Street as requested by SOTEX Engineering

MOTION WAS MADE BY COMMISSION MEMBER MRS. MIKI MCCARTHY AND SECONDED BY COMMISSION MEMBER MR. JORGE SOTELO TO APPROVE THE CONSENT AGENDA ITEM. MOTION CARRIED UNANIMOUSLY WITH A VOTE OF 5-0.

11. INFORMATION

- A. City Commission Actions: March 16, 2021 and April 6, 2021

MRS. KIMBERLY MENDOZA DISCUSSED THE ACTIONS FOR THE MEETINGS THAT WERE HELD ON MARCH 16, 2021 AND APRIL 6, 2021. SHE ALSO INTRODUCED NEW STAFF THAT JOINED THE PLANNING AND ZONING DEPARTMENT AND DISCUSSED UPCOMING PLANS OF UPDATING THE UNIFIED DEVELOPMENT CODE. MR. BRYAN KELSEY ELABORATED ON THE PLANS TO UPDATE THE UNIFIED DEVELOPMENT CODE TO STREAMLINE THE PROCESS.

PLANNING AND ZONING COMMISSION MEETING

APRIL 13, 2021

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12. ADJOURNMENT

There being no further information to consider, the meeting was adjourned at 6:05 P.M.

MOTION WAS MADE BY COMMISSION MEMBER MRS. MIKI MCCARTHY AND SECONDED BY COMMISSION MEMBER MR. CARLOS JASSO TO ADJOURN THE MEETING. MOTION CARRIED UNANIMOUSLY WITH A VOTE OF 5-0.

Nikki Marie Cavazos, Administrative Assistant
Planning & Zoning Department

NOTICE

PERSONS WITH DISABILITIES WHO NEED TO COMMUNICATE MORE EFFECTIVELY WITH CITY OFFICIALS AND WHO MAY NEED AUXILIARY AIDS OR SERVICES SUCH AS INTERPRETERS FOR PERSONS WHO ARE DEAF OR HEARING IMPAIRED ARE REQUESTED TO CONTACT THE OFFICE OF THE CITY SECRETARY AT (956) 388-8204 THREE WORKING DAYS PRIOR TO ANY MEETING SO THAT APPROPRIATE ARRANGEMENTS CAN BE MADE.



CITY OF EDINBURG
Planning & Zoning Commission

Regular Meeting

Meeting Date:

5/11/2021

Special Use Permit

AGENDA ITEM:

Hold Public Hearing and Consider the Special Use Permit for On Premise Consumption of Alcoholic Beverages for Late Hours, Being Lot 4, Amended Plat of Jackson Corner, located at 2236 West Trenton Road, as requested by Ezequiel Ortiz [Planning & Zoning – Kimberly Mendoza, Director of Planning & Zoning]

DESCRIPTION / SCOPE:

The applicant is requesting a Special Use Permit for Mixed Beverage Permit (MB) and Mixed Beverage Late Hours Permit (LB). The property is located on the south side of W. Trenton Road, approximately 500 ft. west of S. Jackson Road. The proposed days and hours of operation are Monday through Friday from 5:00 p.m. to 2:00 a.m., Saturday 3:00 p.m. to 2:00 a.m. and on Sunday from 12:00 p.m. to 2:00 a.m. A new restaurant by the name of Gringo Loco is being proposed on the property. The applicant is going through licensing of the business, which requires the Special Use Permit process. If approved, the applicant will proceed to obtain the necessary permits permit from the Texas Alcoholic Beverage Commission.

The property is zoned Commercial General (CG) District. Surrounding zoning is Agriculture (AG) District to the north, and Commercial General (CG) District to the east, south, and west. Staff recommends approval of the Special Use Permit for one (1) year. If approved, the applicant will be required to comply with the following conditions:

1. The applicant complies with the hours of operation for the On-premise consumption of beer, wine and mixed beverages as allowed by the City and the Texas Alcoholic Beverage Commission.
2. Adequate security lighting must be provided for customer's safety and crime prevention purposes.
3. The applicant complies with all city requirements, including but not limited to building, building occupancy, fire codes, health permit, landscaping, parking, and all other City requirements.
4. Operations in connection with the proposed special use permit must not be more objectionable to nearby properties by reason of noise or other characteristics than would the operations of any permitted use not requiring special use approval. The use must comply with the City's Noise Standards as per the Unified Development Code.
5. The Special Use Permit may be revoked at any time by the Planning and Zoning Commission and City Council.

Staff mailed a notice of the public hearing before the Planning & Zoning Commission to ten neighboring property owners and received no comments in favor or against this request at the time of this report.

**SPECIAL USE PERMIT
EZEQUIEL ORTIZ
PAGE 2**

ESTIMATED TIMELINE:

The recommendation of approval or denial of this public hearing is scheduled for consideration by the City Council on June 1, 2021. City Council's decision is the final step in the public hearing process for this property. If denied the applicant may not request the proposed Special Use Permit for a 12 month period from the date of denial.

STAFF RECOMMENDATION:

Staff recommends approval of the Special Use Permit subject to compliance with the conditions noted. If approved, the applicant will need to comply with all requirements during the permitting process such as the building and fire code, fire protection, parking, landscape buffer-yards, solid waste services, utility and any other City requirements, as may be applicable.

JUSTIFICATION:

Staff recommends approval of the Special Use Permit for one year, which allows for the applicant to operate a restaurant with the On-Premise Consumption of Alcoholic Beverages for late hours. Should the request be approved, the applicant will continue to proceed with obtaining the necessary permit(s) from the Texas Alcoholic Beverage Commission.

Rita Lee Guerrero
Urban Planner

Kimberly Mendoza
Director of Planning & Zoning

**SPECIAL USE PERMIT
EZEQUIEL ORTIZ
PAGE 3**

**MEETING DATES:
PLANNING & ZONING COMMISSION – 05/11/2021
CITY COUNCIL –06/01/2021
DATE PREPARED –05/03/2021**

**STAFF REPORT
GENERAL INFORMATION**

APPLICATION: Special Use Permit for the On-Premise Consumption of Alcoholic Beverages for Late Hours

APPLICANT: Ezequiel Ortiz

AGENT: N/A

LEGAL: Being Lot 4, Amended Plat of Jackson Corner

LOCATION: Located at 2236 West Trenton Road

LOT/TRACT SIZE: N/A

CURRENT USE OF PROPERTY: Commercial General Business

PROPOSED USE OF PROPERTY: Restaurant / Bar

**EXISTING LAND USE/
ADJACENT ZONING:** North - Agriculture (AG) District
South - Commercial General (CG) District
East - Commercial General (CG) District
West - Commercial General (CG) District

LAND USE PLAN DESIGNATION: General Commercial Uses

ACCESS AND CIRCULATION: This property has access to W. Trenton Road

PUBLIC SERVICES: City of Edinburg Water / Sewer

RECOMMENDATION: Staff recommends approval of the special use permit for one (1) year subject to the conditions listed in the staff report. A comprehensive evaluation is on the following page(s).

EVALUATION

The following is staff's evaluation of the request.

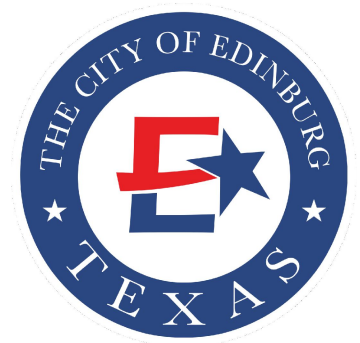
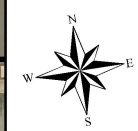
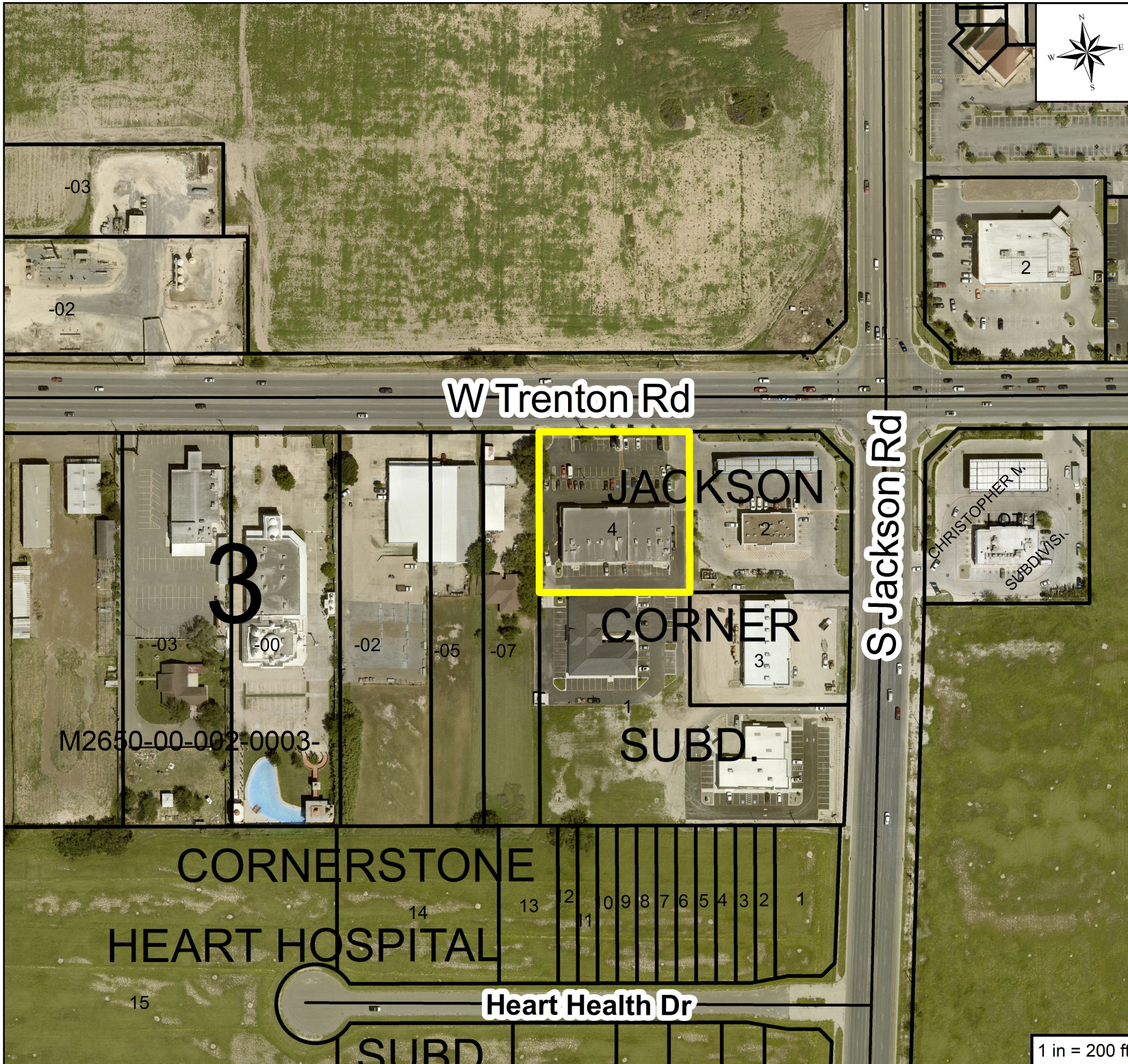
1. The surrounding land uses consist of commercial uses and residential uses.
2. The proposed days and hours of operation are: Monday through Friday from 5:00 p.m. to 2:00 a.m., Saturday 3:00 p.m. to 2:00 a.m. and Sunday from 12:00 p.m. to 2:00 a.m.
3. The applicant is requesting the City's approval to sell beer, wine and mixed beverages in the subject location.
4. Staff mailed a notice of the public hearing before the Planning & Zoning Commission to ten neighboring property owners and received no comments in favor or against this request at the time of this report.
5. The On-premise consumption of alcoholic beverages and a change in applicant requires a Special Use Permit for this type of business.

The City may impose appropriate conditions and safeguards including a specific period of time. Each permit is reviewed on a case by case basis and neighborhood input is a vital component in the final outcome of an application for the On-premise consumption of beer and wine and mixed beverages at this location. Additionally, land use characteristics of an area, traffic and other factors are considered in reviewing these requests.

Staff recommends approval of the Special Use Permit for the On-premise consumption of alcoholic beverages at the subject location with the following conditions:

1. The applicant complies with the hours of operation for the On-premise consumption of beer, wine and mixed beverages as allowed by the City and the Texas Alcoholic Beverage Commission.
2. Adequate security lighting must be provided for customer's safety and crime prevention purposes.
3. The applicant complies with all city requirements, including but not limited to building, building occupancy, fire codes, health permit, landscaping, parking, and all other City requirements.
4. Operations in connection with the proposed Special Use Permit must not be more objectionable to nearby properties by reason of noise or other characteristics than would the operations of any permitted use not requiring special use approval. The use must comply with the City's Noise Standards as per the Unified Development Code.
5. The Special Use Permit may be revoked at any time by the Planning and Zoning Commission and City Council for any violations of City and TABC regulations.

ATTACHMENTS: Site Map
Aerial Photo
Photos of Site
Zoning Map
Exhibits



AERIAL MAP
CASE CAPTION:

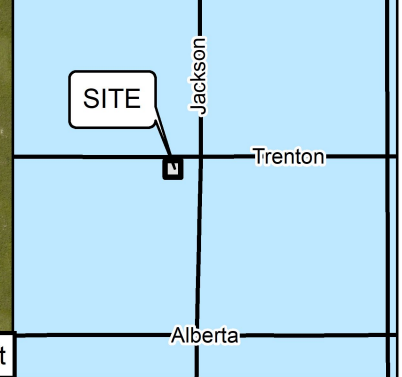
APPLICANT NAME:
EZEQUIEL ORTIZ

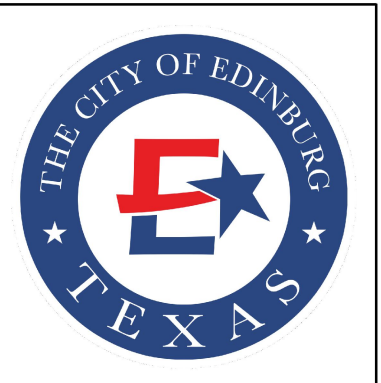
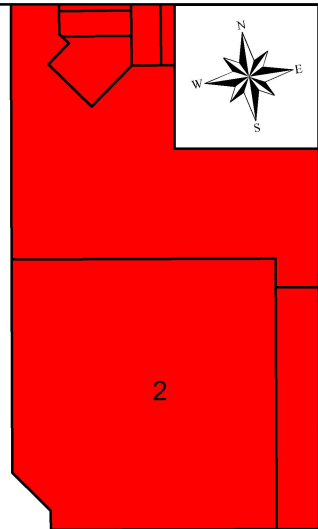
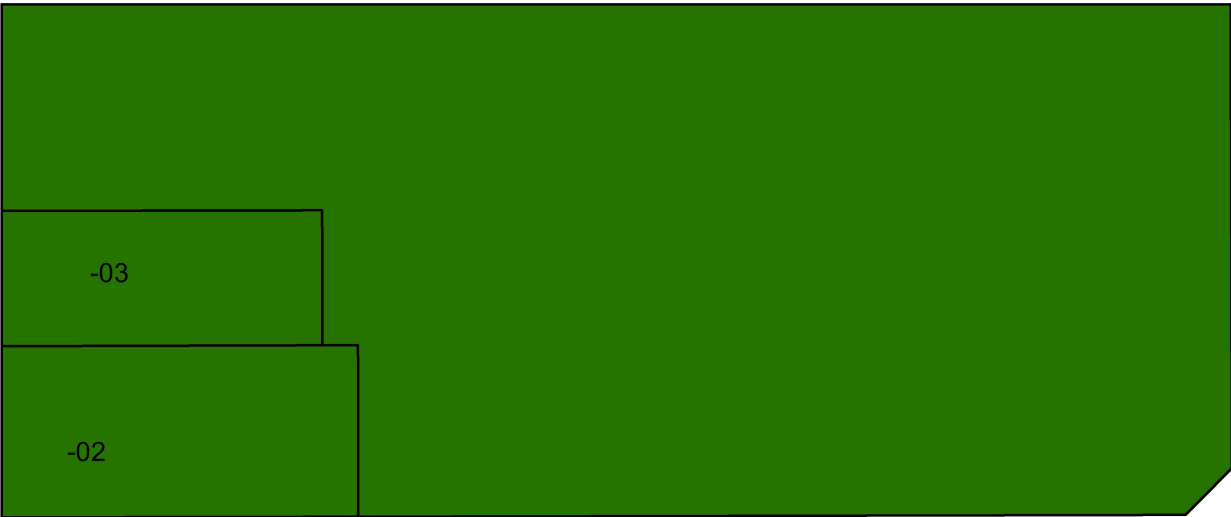
CONSIDER THE SPECIAL USE PERMIT FOR ON PREMISE CONSUMPTION OF ALCOHOLIC BEVERAGES FOR LATE HOURS, BEING LOT 4, AMENDED PLAT OF JACKSON CORNER, LOCATED AT 2236 WEST TRENTON ROAD, AS REQUESTED BY EZEQUIEL ORTIZ

Legend

- CITY LIMITS
- APPLICANT SITE

SITE LOCATION MAP

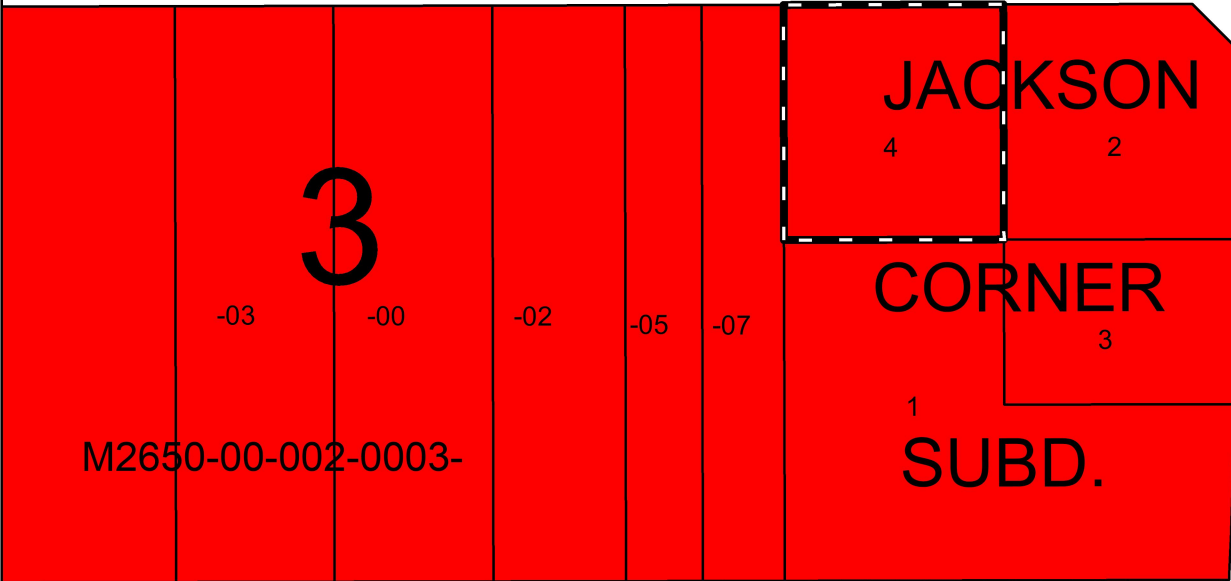




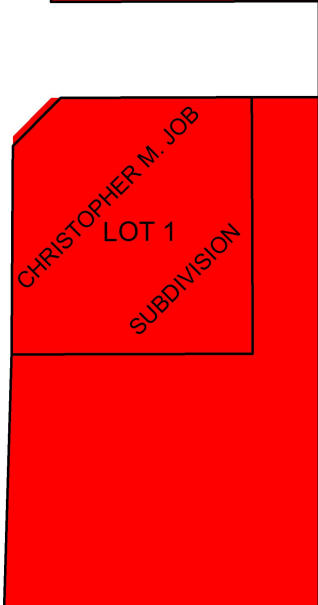
ZONING MAP
CASE CAPTION:

APPLICANT NAME:
 EZEQUIEL ORTIZ

W Trenton Rd

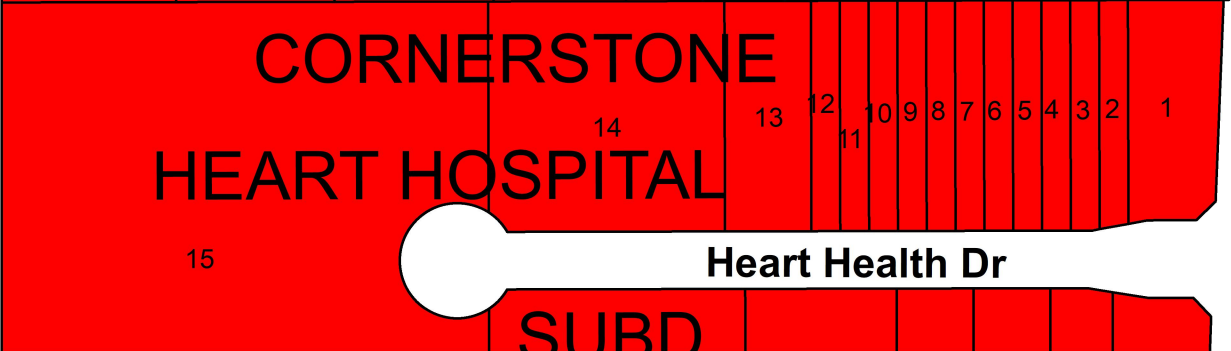


S Jackson Rd



Legend

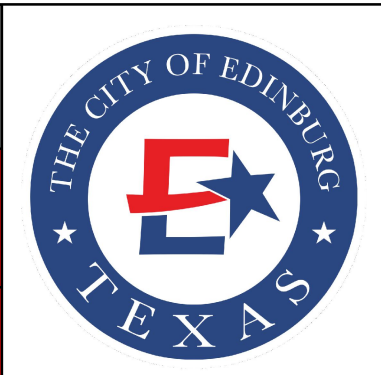
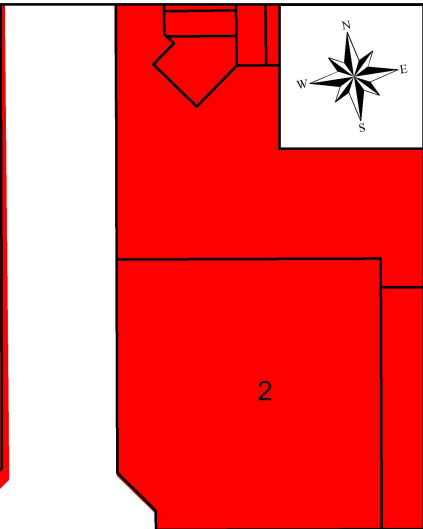
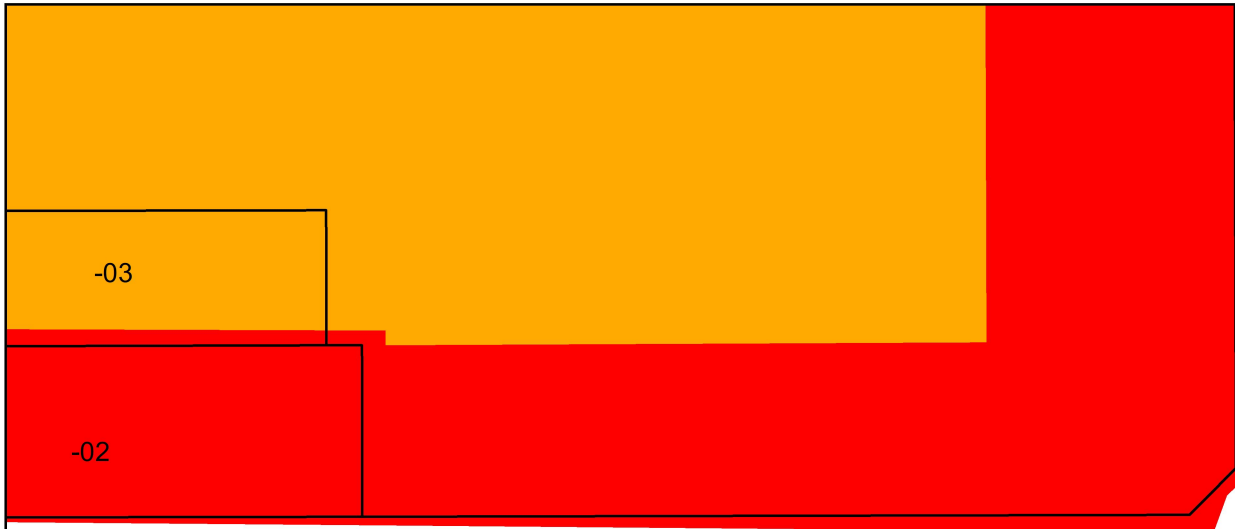
- CITY LIMITS
- APPLICANT SITE
- ZONING DISTRICTS**
- AGRICULTURE
- AUTO-URBAN RESIDENTIAL
- COMMERCIAL, GENERAL
- COMMERCIAL, NEIGHBORHOOD
- DOWNTOWN DISTRICT
- INDUSTRIAL
- NEIGHBORHOOD CONSERVATION 5
- NEIGHBORHOOD CONSERVATION 7.1
- NEIGHBORHOOD CONSERVATION MH
- SUBURBAN RESIDENTIAL
- URBAN RESIDENTIAL
- URBAN UNIVERSITY



SITE LOCATION MAP



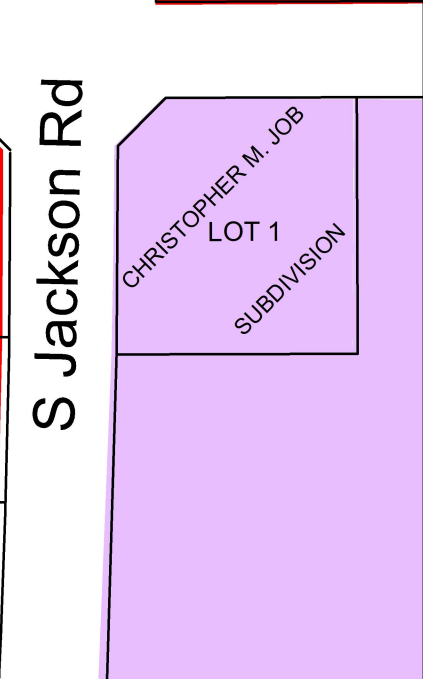
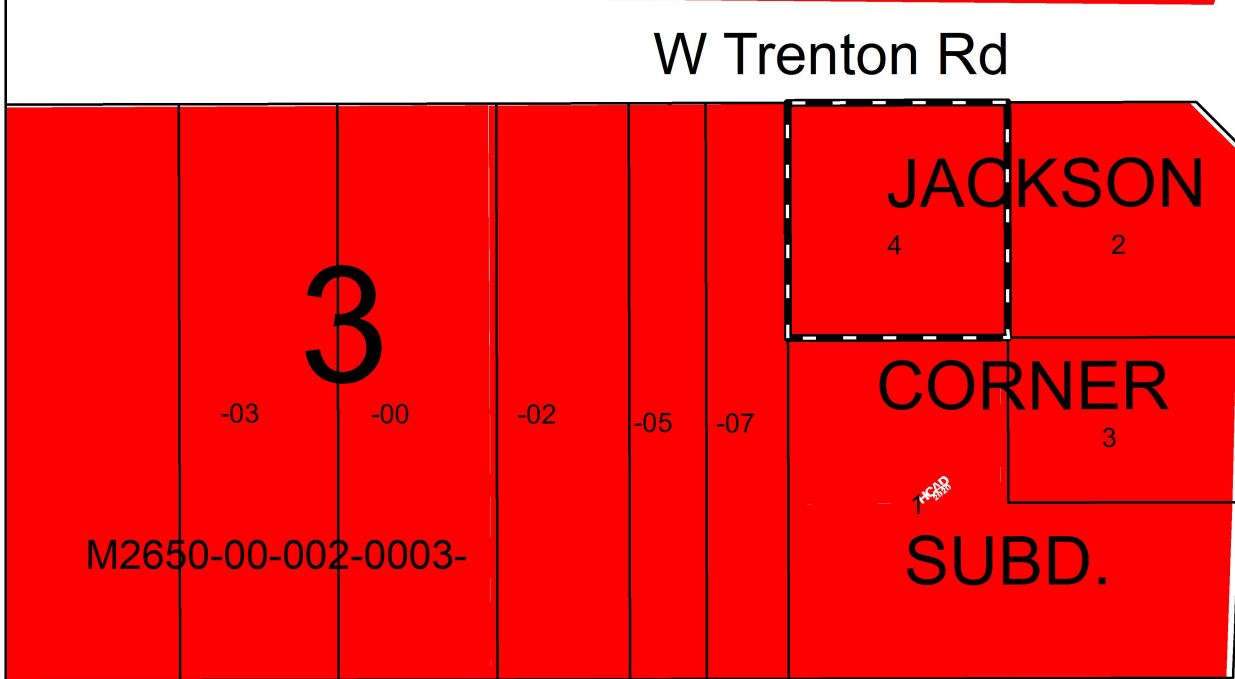
1 in = 200 ft



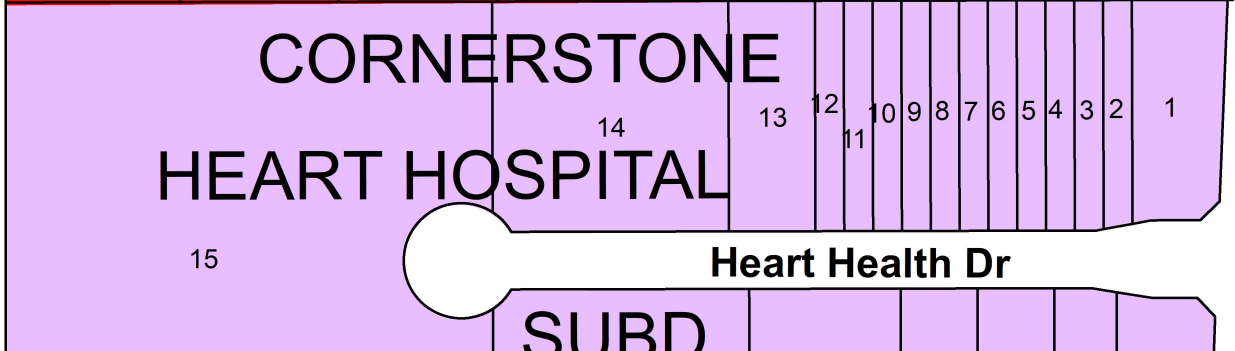
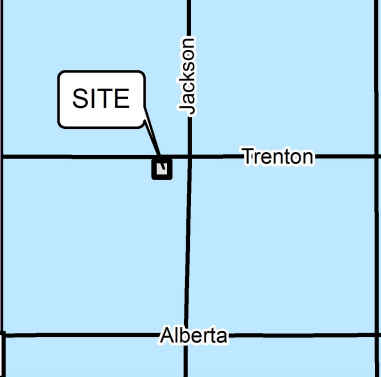
FUTURE LANDUSE MAP
CASE CAPTION:

APPLICANT NAME:
 EZEQUIEL ORTIZ

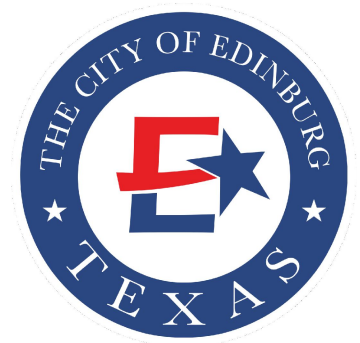
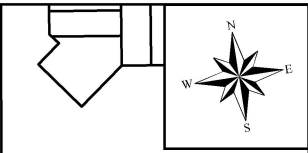
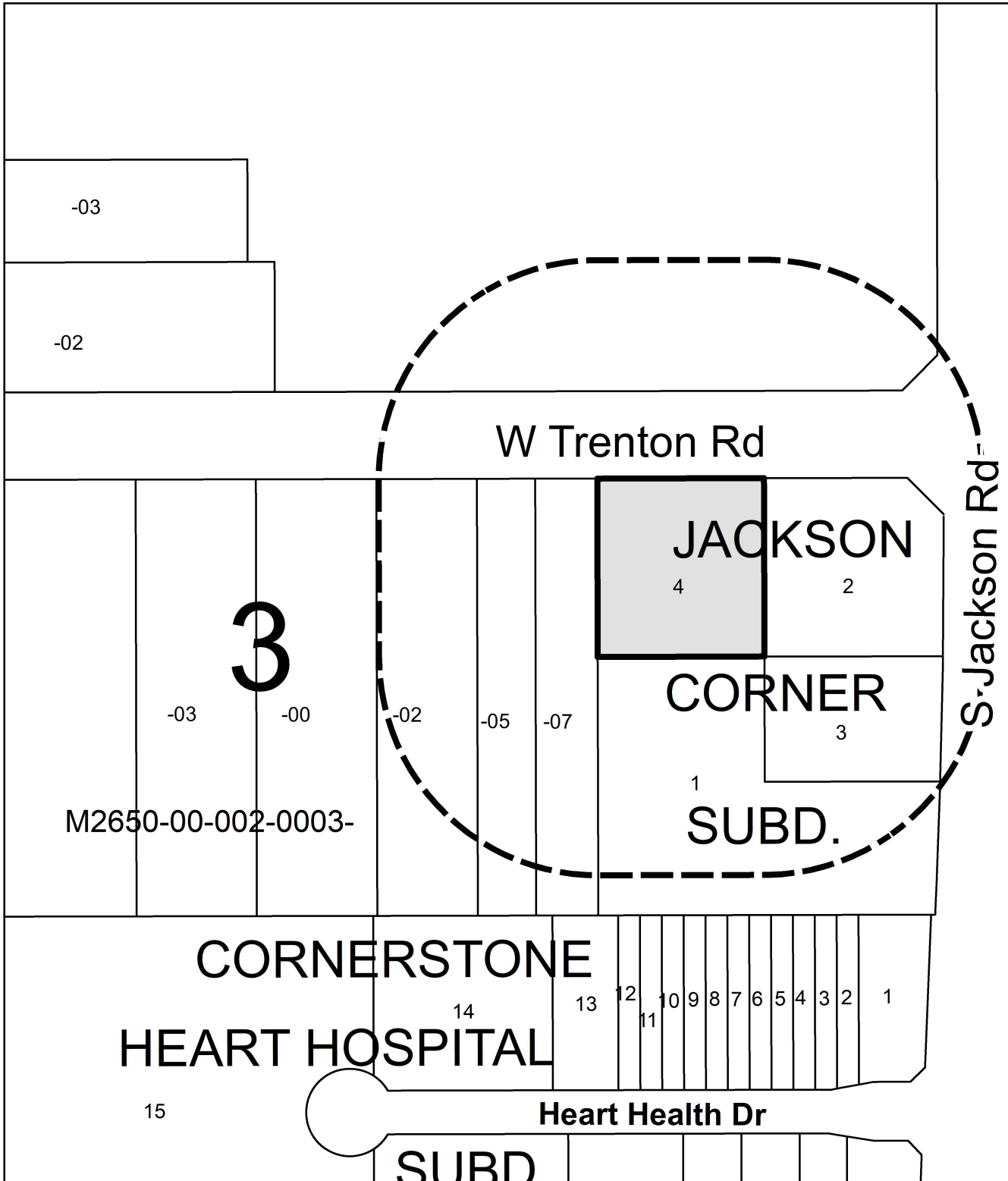
- Legend**
- CITY LIMITS
 - APPLICANT SITE
 - FUTURE LANDUSE**
 - Agriculture
 - Auto-Urban
 - Downtown District
 - General Commercial
 - Industrial
 - Mobile Home
 - Neighborhood Commercial
 - Office Business Park
 - Suburban
 - Urban
 - Urban University



SITE LOCATION MAP



1 in = 200 ft






MAILOUT AND SITE MAP

CASE CAPTION:

APPLICANT NAME:
EZEQUIEL ORTIZ

CONSIDER THE SPECIAL USE PERMIT FOR ON PREMISE CONSUMPTION OF ALCOHOLIC BEVERAGES FOR LATE HOURS, BEING LOT 4, AMENDED PLAT OF JACKSON CORNER, LOCATED AT 2236 WEST TRENTON ROAD, AS REQUESTED BY EZEQUIEL ORTIZ

Legend

-  CITY LIMITS
-  300FT NOTIFICATION
-  APPLICANT SITE

SITE LOCATION MAP



1 in = 200 ft



Planning & Zoning Department
415 W. University Dr.
(956) 388-8203

**SPECIAL USE PERMIT
ON-PREMISE CONSUMPTION OF ALCOHOLIC BEVERAGES**

I. APPLICANT INFORMATION (PLEASE PRINT)

Application Date: 2/30/2021

Ezequiel Ortiz
Applicant's Name

956.579.1064
Phone No:

3409 S Jackson Rd Pharr
Mailing Address City

TX 78577
State Zip

EMAIL ADDRESS

IF DIFFERENT THAN OWNER, ATTACH LETTER OF AUTHORIZATION FROM OWNER

Shavi Mahiani
Property Owner's Name

Phone No:

100 G Nolana Ave Ste 130 McAllen
Mailing Address City

TX 78504
State Zip

II. PROPERTY INFORMATION (PLEASE PRINT)

Property Address/Location: 2236 W Trenton rd Edinburg TX

Legal Description: Lot(s) _____ Block _____ Subdivision The points at Trenton

Zoning: _____ Current Use: _____ Proposed Use: _____

**THE FOLLOWING INFORMATION IS REQUIRED FROM THE OWNER OR PERSON
MAKING A REQUEST FOR ON-PREMISE CONSUMPTION OF ALCOHOLIC BEVERAGES
ONLY**

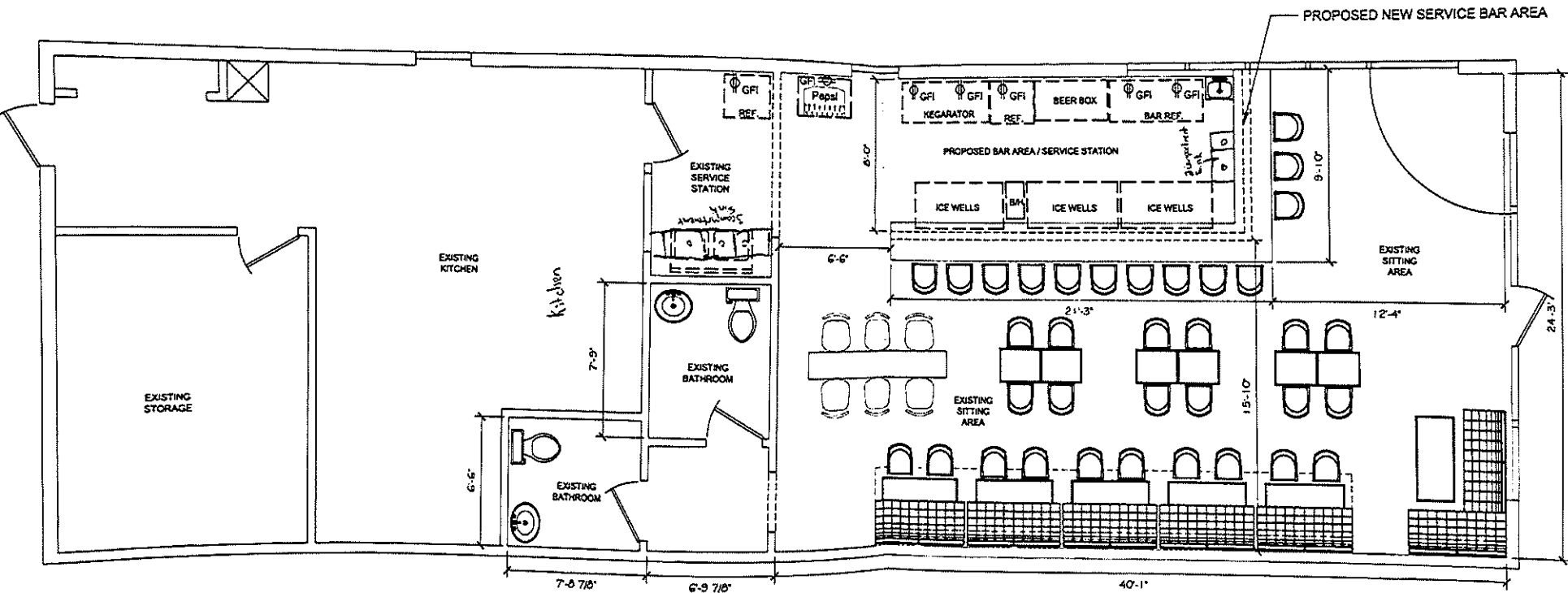
Proposed Days and Hours of Operation: (M-F: 8pm-2am) (Saturday: 3pm-2am) (Sunday 12pm-2am)

III. ATTEST

AS OWNER/AGENTS FOR THE ABOVE DESCRIBED PROPERTY, I/WE, HEREBY REQUEST A HEARING
BEFORE THE PLANNING AND ZONING COMMISSION.

[Signature]
APPLICANT'S SIGNATURE

03/30/2021
DATE





DAWGS

CHINA TOWN DAWG 9.99

¼ # All beef frank topped w/grilled onions, avocado, kewple mayo, teriyaki sauce, furikake & bacon bits.

LA STREET DAWG 9.99

¼ # All Beef Frank Wrapped in Bacon, Avocado Aioli, Mustard, Grilled Peppers & Onions

VALLEY DAWG 9.99

¼ # All beef frank, queso, crema, Hot Cheetos, cotija, jalapenos and pickle bites

FRITO PIE DAWG 9.99

¼ # All beef frank, cheese sauce, TX chili, Fritos, onions and shredded cheese.

TACOS

KOREAN STREET TACOS (2) 8.99

Marinated steak in ginger & citrus, topped W/ cabbage slaw, carrots, blk & white sesame seeds & avocado aioli

BAJA TACOS (2) 8.99

Fried fish in a corn tortilla, cabbage claw, Chipotle aioli, avocado aioli & cilantro

SHRIMP TACOS (2) 8.99

House battered shrimp in a corn tortilla, cabbage slaw, avocado slice, cilantro, & avocado aioli.

LOBSTER TACOS (2) 11.99

Lobster meat tossed in guajillo sauce, cabbage slaw, avocado & cilantro.

BUFFALO CAULIFLOWER TACOS WITH RANCH (2) 7.99

Fried buffalo cauliflower, cabbage slaw, guac, ranch drizzle, cilantro

STREET TACOS (4) 7.99

Bistec Meat in corn tortillas, avocado, cheese, cilantro, onion, & salsa on the side.

KIDDOS

CHICKEN NUGGETS 5.25

Includes 6-count of nuggets small side fries, tots or veggie sticks

FISH NUGGETS 5.99

Includes 6-count of fish nuggets, fries, tots or veggie sticks

CHICKEN SANDWICH, CHICKEN SANDWICH, CHICKEN SANDWICH, L.T.O w/Our 76 Sauce

PHILLY CHEESE STEAK 9.99

Thin sliced ribeye, peppers, onions, swiss cheese, 76 sauce

Add queso \$.75

CHICKEN PARM 9.95

Our take on the classic. breaded chicken breast topped with homemade marinara sauce, mozzarella cheese, and served on a toasted cheesy bread.

SPICY MOTHER CLUCKER 9.99

Marinated Chicken Breast, deep fried to a golden crisp, tossed in our nashville sauce and seasonings served W/ herbed mayo, and topped with a slaw and pickles.

If spice ain't nice ask for it regular.

SIDES

LOADED TOTS 5.99

Crispy fried tater tots covered w/cheese, bacon & sour cream drizzle.

TRASH FRIES 5.99

Fries, tater tots, sweet potato fries & house chips.

SWEET POTATO FRIES 3.99

Sweet and delicious for a healthier options

HOUSE CHIPS 3.49

Crispy and crunchy they are just plain good.

ONION RINGS 3.99

HM onion rings breaded and fried to a golden crisp

TOTS 3.49

Crispy fried tater tots

BACON SLICES (3) 2.99

EXTRA BACON BECUASE BACON IS GOOD.

I'M NOT HUNGRY \$4.99

Add extra French fries to your meal, and chicken fingers (2).

DESSERTS

FRIED OREOS (6) 5.99

Our famous Certified Angus Beef burgers are grilled to order and served on a toasted bun with your choice of fries, house chips, onion rings or side salad. Beyond Vegan Patty can be substituted upon request

THE CLASSIC **6.99**

Good Ole fashioned cheese burger but with a '76 twist topped with caramelized onions and '76 sauce. LTP on the side.
Add bacon for \$1.50

BETSY ROSS **10.99**

Arugula, brie cheese, grilled red onion, sautéed mushrooms, tomato, truffle aioli.

JALAPENO POPPER **9.99**

Monterrey jack cheese, cheddar stuffed bacon wrapped jalapeno poppers, & mayonnaise

CHUCK NORRIS **10.99**

cheddar cheese, bacon, BBQ sauce, fried onions & grilled jalapenos (round house of flavor)

BOSS HOG **14.99**

Two house formed Beef patty, smoked bacon, mozz & cheddar cheese, smoked ham, pulled pork topped with BBQ sauce.

FRITO PIE **10.99**

Topped with TX chili, queso and topped with Fritos, onions and shredded cheese.

COMMANDER IN CHEIF **14.99**

Two House Formed Beef patty, Smoked Bacon, Cheddar Cheese, Mayo, LTO all sandwiched between 2 grilled cheeses!

PB&J **9.99**

A '76 original with creamy peanut butter, blackberry habanero jam, House formed beef patty and bacon on a toasted bun. Mom never made you a PB&J like this!

DEATH VALLEY **10.99**

This is a HOT one. habanero and serrano peppers, P/J cheese, grilled onion, avocado, lettuce, tomato, chipotle mayo and topped with '76 Sauce

SMOKED BBQ **12.99**

Colby jack cheese topped W/ candied bacon caramelized onion and pulled pork drizzled with spicy BBQ sauce Then blasted with mesquite smoke

956 **9.99**

Topped with hot Cheetos, pickles, American cheese, and queso

THE HANGOVER **11.99**

Topped with cheddar, smoked bacon, and a fried egg. Finished with a sracha aioli.

SHROOMIN **11.99**

Loaded with mushrooms. we sauté you-in garlic

AHI TUNA SALAD **11.99**

Sesame crusted Ahi tuna grilled to perfection atop of mixed greens, cabbage slaw avocado, cherry Tomatoes, tossed with soy ginger vinaigrette.

CHICKEN CESAR SALAD **10.99**

(Grilled or Fried) Chicken, fresh chopped romaine, croutons, shredded parmesan cheese, fried artichokes, (wana toss the chicken in a sauce just ask)

AVO-COBB-O **11.49**

Grilled chicken breast, bacon, cheddar cheese, hard-boiled eggs, tomatoes and, of course, avocado on mixed greens. Served with choice of dressing.

PLANT LIFE

TO INFINITY AND BEYOND **13.95**

Plant-based burger that tastes unbelievably beefy. It's a meat-free option for those who love the taste of beef! vegan cheese, guac, vegan mayo, LTO.

VEGAN SMOKED BBQ BURGER **14.99**

Vegan bread, Beyond patty, vegan mix cheese, topped W/ candied Tofu bacon, caramelized onion and jack fruit drizzled W/ Spicy BBQ sauce. Then blasted with mesquite smoke.

BEYOND BRAT **8.99**

Beyond brat topped W/ red/green peppers, onions finished with mustard served in a toasted vegan bun

GREEN STREETS **10.99**

(5) vegan street tacos, Beyond meat, shredded, cheese, avocado, topped with cilantro and grilled onions. Salsa on the side

FROM THE SEA

FISH BASKET **8.99**

House battered fried fish on a bed of crispy fries.

SHRIMP BASKET **8.99**

House battered fried shrimp on a bed of crispy fries

WICKED TUNA **11.99**

Searred sesame seed encrusted Ahi Tuna, avocado, cucumber mix, lettuce, onions, sesame oil, topped with wasabi aioli to give it s nice kick!

LOBSTER GRILLED CHEESE **13.99**

Lobster sautéed w/peppers, onions, Havarti and Brie cheese

FOUNDING FATHERS SAMPLER 17.76

8 Freedom wings, and pick 2 below apps
Add 2.00 for Tuna Tartare or Gator Bites

SIGNATURE QUESO 6.99

Prepared in-house and Includes 2 house salsas.

GUAC/QUESO DUO 10.50

The best of both worlds. Guacamole and a cup of queso.

CHICKEN FRIED BACON 7.99

Chicken fried BACON strips served with country style gravy.

LOADED WINGS 11.99

8 Boneless wings. smothered in queso, shredded cheese,bacon,green onion, served with ranch.

CRISPY GATOR BITES 12.95

Yes REAL GATOR served with our Comeback Sauce

TEXAS NACHOS 9.99

Chips, cheese, BBQ pulled pork, tomato, onion, BBQ sauce drizzle sour cream drizzle, guacamole & jalapeno slices.
sub chicken or beef for \$1

CALAMARI 10.99

Light & crispy served w/spicy HM marinara & honey buffalo

STUFFED SHROOMS 7.99

Crispy fried shrooms stuffed w/jalapeno, cream cheese

TUNA TARTARE 11.49

Diced Ahi-tuna, avocado,red onions, jalapenos, house lemon soy sauce. Served with crispy wantons.

FRICKLES 6.45

House breaded fried pickles served with HM chipotle ranch

CHICHARRONS 6.45

Fried to perfection served with fresh limes and Valentina hot sauce .

JALAPENO BOTTLECAPS 6.99

House breaded served with HM chipotle ranch

CHEESY BITES 6.99

Gouda cheese bites fried golden brown served w/ HM marinara.

BOOM BOOM SHRIMP 8.99

Fried shrimp placed on sliced cucumbers on a layer of cabbage, tossed in our boom boom sauce

MELTED PIGGY 7.99

Topped W/ queso, pulled pork, sour cream & BBQ sauce drizzle finished with pickled onions
Sub tots or sweet potato fries for 1.00

PROGRESSO STREET FRIES 7.99

Topped W/ beef, guac, cotija cheese, jalapeño slices, sautéed onion, fresh Mozzarella cheese and a side of green salsa.

VALLEY FRIES 7.99

Beef,Hot Cheetos,jalapenos,queso, topped with sour cream drizzle & pickle bites,

TEXAS HOLD'-EM FRIES 7.49

Texas chili,Fritos,queso,onions, jalapenos and sour cream drizzle

MIAMI HEAT FRIES 7.99

Our secret blend of buffalo sauce, fried chicken, queso, mozzarella cheese, and green onions finished with ranch dressing on top.

WINGS & THANGS

BONELESS

5.....6.79
10.....12.29
15.....17.29
20.....21.99
50.....55.29

TRADITIONAL

5.....7.79
10.....12.79
15.....17.99
20.....22.99
50.....58.29

TENDERS

3.....8.79
5.....11.29

VEGGIE

Cauliflower....6.99

FLAVORS

DRY SEASONINGS

Lemon Pepper, Salt & Vinegar, Spicy Nashville, Buffalo, Chili Lime,

Wing Wub by Chupacabra, Buffalo Hot, Garlic Parm, Kickn Cajun, Honey BBQ,

EXTRA HOT!... Ghost Pepper, Devils Breath

SAUCES

Classic, Hot Classic, BBQ, Garlic Parm, Crack Sauce, Nashville

Spicy Honey, Mango Habanero, Kamikaze Sauce

SPECIAL MIXES

Bald Eagle: Lemon Pepper tossed in Hot Classic
TX Concrete: Ghost Pepper tossed in Hot Classic.
PB&J: Creamy peanut butter wings with our jelly dipping sauce

DIPS

MARGARITAS & MEZCAL-RITAS

DELEON MARGARITA	\$13
Deleon Tequila Blanco, Lime, Agave Syrup Flavor Add \$2 / Pitcher \$60 / Flavor \$65	
MEZCAL RITA	\$14
Montelobos Mezcal, Lime, Agave Syrup	
MEZCAL SMASH	\$14
Montelobos Mezcal, Pineapple, Mint, Lime, Agave Syrup	
PIÑA RITA	\$14
Milagro Tequila Reposado, Pineapple, Lemon, Ginger Syrup	
NIÑA FRESA	\$14
Don Diego Silver Tequila, Watermelon, Strawberry, St. Germaine	
GRANADA	\$15
Milagro Silver Tequila, Honey Syrup, Fresh Pomegranate, Fresh Lemon Juice, Chile Morita Syrup	
PIÑARINDO	\$15
Don Julio Silver Tequila, Tamarind Puree, Pineapple Puree, Fresh Lime Juice, Agave Nectar	
EL CADILLAC VIEJO	\$18
Don Diego Añejo Tequila, Grand Marnier, Simple Syrup, Lime Juice, Splash of Orange Juice	
SKINNY MARGARITA	\$16
Maestro Dobel Tequila, Patron Orange Liqueur Lime Juice, Splash of Grapefruit Juice	

DON JULIO SKULL MARGARITA

Includes Skull Mug

\$28

CERVEZAS

Corona	\$7
Modelo Especial	\$7
Negra Modelo	\$7
Victoria	\$7
Pacifico	\$7
Heineken	\$7

MICHELADAS

MICHELADA CANTINA	\$10
Lime, Salt, Mexican Spicy Salsa	
CHELADA HK	\$10
Lime, Salt	

COCKTAILS

COCO LOCO MOJITO	\$15
Coconut Rum, Pineapple Puree, Coconut Cream, Fresh Lime Juice, Simple Syrup	
CORAZON	\$15
Ciroc Vodka, Muddled Raspberries, Simple Syrup, Lime Juice	
LA GUAYABA	\$14
Cachaça, Guava Puree, Grapefruit Juice, Lemon Juice, Agave Nectar	
SWEET GOLD	\$15
Bulleit, Lemon, Honey Syrup	

FROZEN COCKTAILS

FROSE	\$13
Captain Morgan, Watermelon Blast, Rose Wine & Simple Syrup Pitcher \$60	
FROZEN MARGARITAS	\$12
Olmeca Altos Tequila Blanco, Lime, Agave Syrup Flavor Add \$2 / Pitcher \$60 / Flavor \$65	

SANGRÍA

RED SANGRIA	\$12
WHITE SANGRIA	\$12
GUAVA SANGRIA	\$13
Pitcher \$55	

VINOS

TINTO - RED	
Pinot Noir	\$12
Malbec	\$12
Cabernet Sauvignon	\$12
BLANCO WHITE	
Pinot Grigio	\$12
Sauvignon Blanc	\$12
Chardonnay	\$12
Chandon Sparkling White Wine	\$12

BEVERAGES

Pineapple Jarrito	\$5
Tamarind Jarrito	\$5
Mandarin Jarrito	\$5
Grapefruit Jarrito	\$5
Mexican Coke	\$5
Sprite	\$5
Red Bull (assorted flavors)	\$7

SE
05

EL MESÓN
DE LAS
RANAS
MEXICAN RESTAURANT

2236





CITY OF EDINBURG
Planning & Zoning Commission

Regular Meeting

Meeting Date:

5/11/2021

Comprehensive Plan Amendment
Rezoning Request

AGENDA ITEM:

Hold Public Hearing and Comprehensive Plan Amendment from Auto Urban Uses to Urban Uses and the Rezoning Request from Commercial General (CG) District to Urban Residential (UR) District, being 2.210 Acres out of Lot 29, Kelly-Pharr Subdivision, located at 400 E. Wisconsin Road, as requested by Melden & Hunt, Inc. [Planning & Zoning – Kimberly Mendoza, Director of Planning & Zoning]

DESCRIPTION / SCOPE:

The property is located on the south side of E. Wisconsin Road, approximately 1,000 ft. east of S. Clossner Blvd. (Bus. Hwy 281) and is currently vacant. The tract has 309.87 ft. of width and 312 ft. of depth for a tract size of 2.210 acres. The requested zoning designation allows for multi-family residential uses on the subject property. The applicant is requesting the change of zone to construct a multi-family residential development.

The property is currently zoned Commercial General (CG) District. The surrounding zoning is Commercial General (CG) District in all directions. The surrounding land uses consist of commercial uses and vacant land. The future land use designation is Auto Urban Uses. A rezoning request for the property located to the east for the same designation was approved by the City Council on May 4, 2021.

Staff mailed a notice of the public hearing before the Planning & Zoning Commission to eight neighboring property owners and received no comments in favor or against this request at the time of the report.

ESTIMATED TIMELINE:

The recommendation of approval or denial of this public hearing is scheduled for consideration by the City Council on June 1, 2021. City Council's decision is the final step in the zoning process for this property. If denied the applicant may not request the proposed zoning classification for a 12 month period from the date of denial.

STAFF RECOMMENDATION:

Staff recommends approval of the Comprehensive Plan Amendment from Auto Urban Uses to Urban Uses and the Rezoning Request from Commercial General (CG) District to Urban Residential (UR) District, based on the development trend in the area. If approved, the applicant will need to comply with all requirements during the permitting process including compliance with subdivision regulations, building and fire codes, fire protection, parking, landscape buffer-yards, solid waste services, utility, and any other City requirements, as applicable.

JUSTIFICATION:

Staff recommends approval of the Comprehensive Plan Amendment from Auto Urban Uses to Urban Uses and the Rezoning Request from Commercial General (CG) District to Urban Residential (UR) District. The City's Comprehensive Plan Designation for the subject property is Auto Urban Uses, which allows for single-family and multi-family residential uses. Given the site's proximity to The Shoppes and the commercially zoned property, allows for a mixed use development that will promote walkability and accessibility in the area. A multifamily residential development is a permitted use in the requested zoning designation.

Rita Lee Guerrero
Urban Planner

Kimberly A. Mendoza, MPA
Director of Planning & Zoning

MEETING DATES:
PLANNING & ZONING COMMISSION – 05/11/2021
CITY COUNCIL – 06/01/2021
DATE PREPARED – 05/03/2021

STAFF REPORT
GENERAL INFORMATION

APPLICATION: Comprehensive Plan Amendment from Auto Urban Uses to Urban Uses and the Rezoning Request from Commercial General (CG) District to Urban Residential (UR) District

APPLICANT: COHAB LLC

AGENT: Melden & Hunt

LEGAL: Being 2.210 Acres out of Lot 29, Kelly-Pharr Subdivision

LOCATION: Located at 400 E Wisconsin Road

LOT/TRACT SIZE: 2.210 acres

CURRENT USE OF PROPERTY: Vacant

PROPOSED USE OF PROPERTY: Multi-Family Residential Development

EXISTING LAND USE Auto Urban Uses

ADJACENT ZONING: North – Commercial General (CG) District
South – Commercial General (CG) District
East - Commercial General (CG) District
West - Commercial General (CG) District

LAND USE PLAN DESIGNATION: Urban Uses

PUBLIC SERVICES: City of Edinburg Water/ Sewer

RECOMMENDATION: Staff recommends approval of the Comprehensive Plan Amendment from Auto Urban Uses to Urban Uses and the Rezoning Request from Commercial General (CG) District to Urban Residential (UR) District

**REZONING REQUEST
MELDEN & HUNT**

EVALUATION

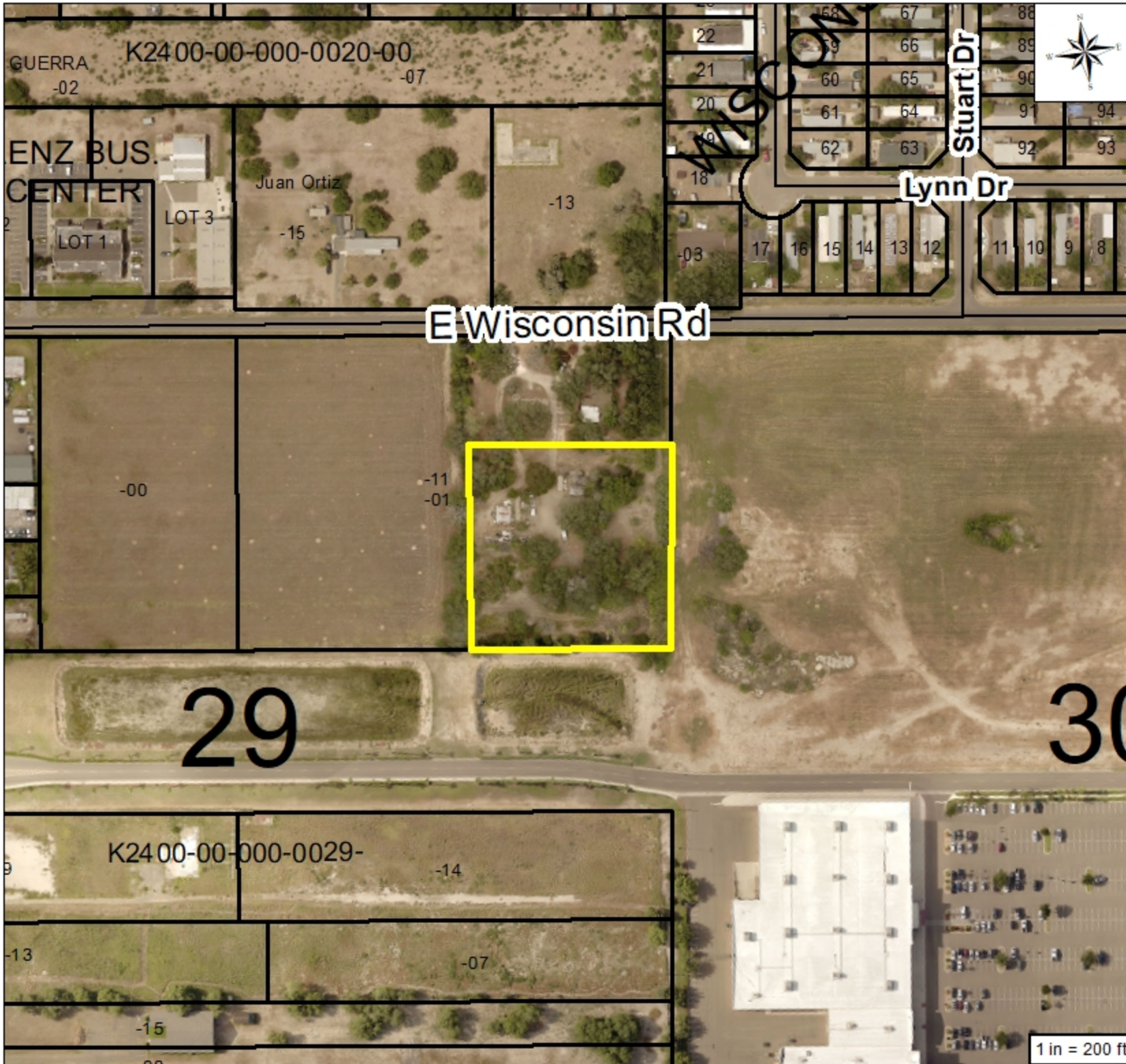
The following is staff's evaluation of the request.

1. The land use pattern for this area of the community consists of commercial uses and mobile homes and vacant land.
2. The applicant is requesting the change of zone to construct a multi-family residential development.

Staff recommends approval of the Comprehensive Plan Amendment from Auto Urban Uses to Urban Uses and the Rezoning Request from Commercial General (CG) District to Urban Residential (UR) District. The City's Comprehensive Plan Designation for the subject property is Auto Urban Uses, which allows for single-family and multi-family residential uses. Given the site's proximity to The Shoppes and the commercially zoned property, allows for a mixed use development that will promote walkability and accessibility in the area. A multifamily residential development is a permitted use in the requested zoning designation.

Staff mailed a notice of the public hearing before the Planning & Zoning Commission to eight neighboring property owners and received no comments in favor or against this request at the time of the report.

ATTACHMENTS: Aerial Photo
Zoning Map
Future Land Use Map
Photo of site
Exhibits





AERIAL MAP

CASE CAPTION:

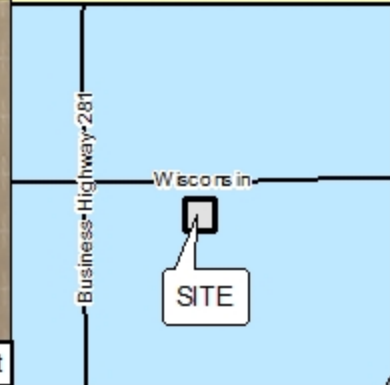
APPLICANT NAME:
MELDEN & HUNT INC.

CONSIDER THE COMPREHENSIVE PLAN AMENDMENT FROM AUTO URBAN USES TO URBAN USES AND THE REZONING REQUEST FROM COMMERCIAL GENERAL (CG) DISTRICT TO URBAN RESIDENTIAL (UR) DISTRICT, BEING 2.210 ACRES OUT OF LOT 29, KELLY-PHARR SUBDIVISION, LOCATED AT 400 E WISCONSIN ROAD, AS REQUESTED BY MELDEN & HUNT INC.

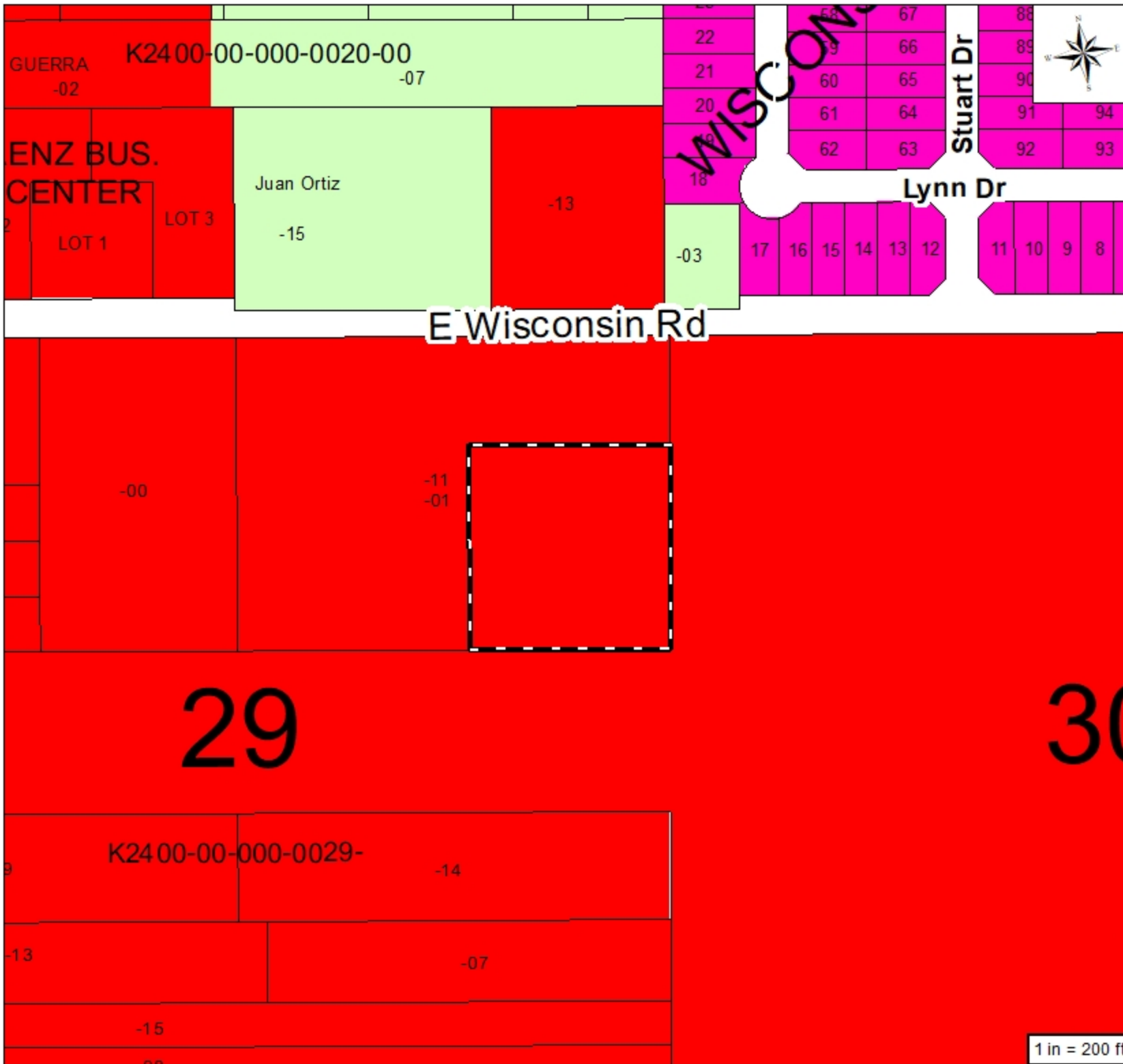
Legend

-  CITY LIMITS
-  APPLICANT SITE

SITE LOCATION MAP



1 in = 200 ft



ZONING MAP

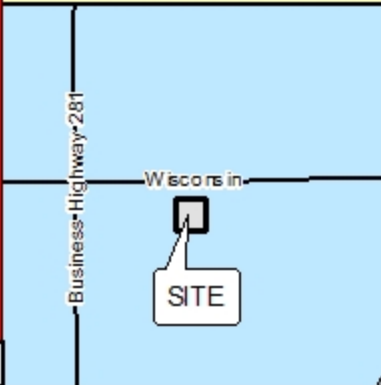
CASE CAPTION:

APPLICANT NAME:
MELDEN & HUNT INC.

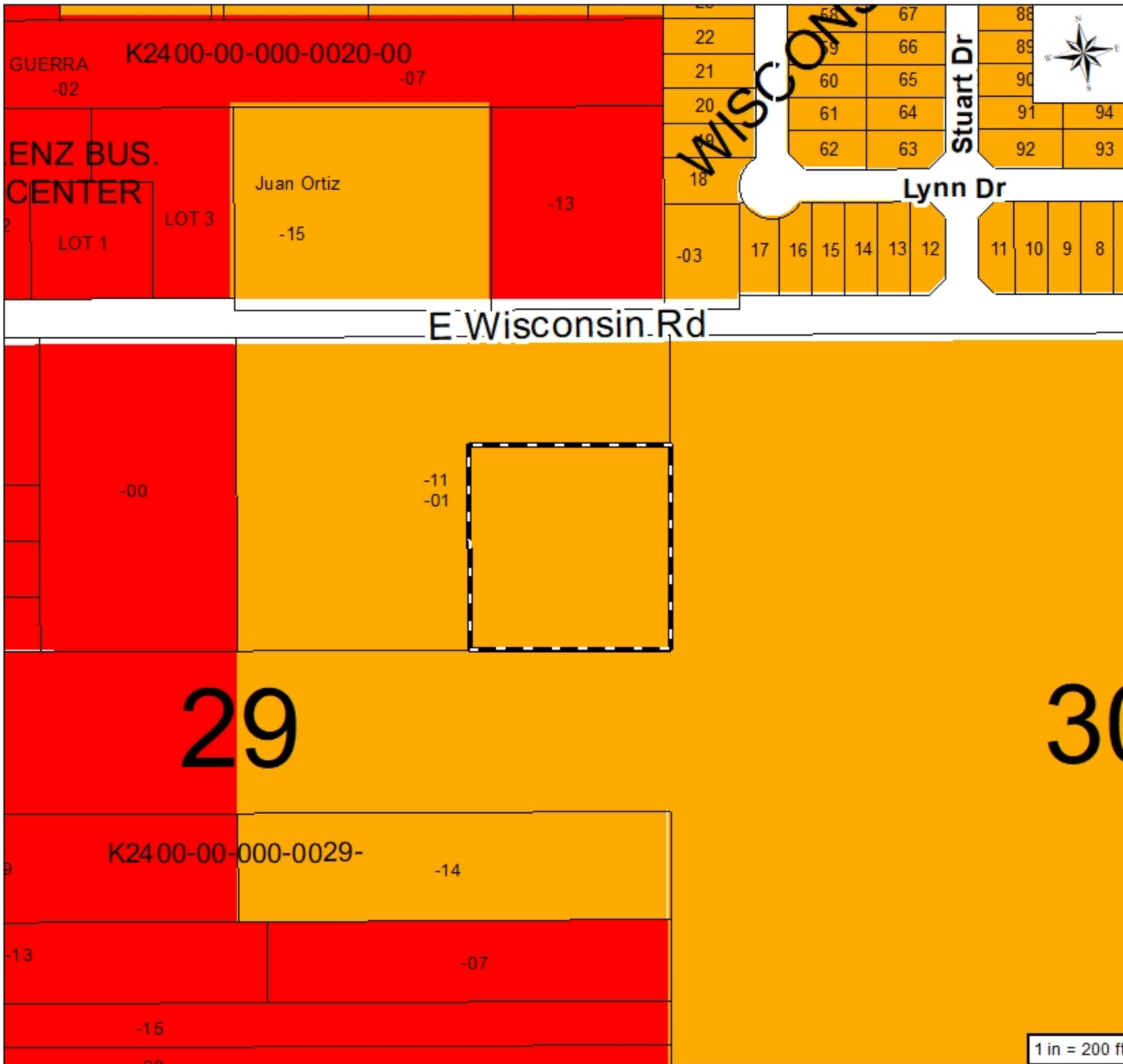
Legend

- CITY LIMITS
- APPLICANT SITE
- ZONING DISTRICTS**
- AGRICULTURE
- AUTO-URBAN RESIDENTIAL
- COMMERCIAL, GENERAL
- COMMERCIAL, NEIGHBORHOOD
- DOWNTOWN DISTRICT
- INDUSTRIAL
- NEIGHBORHOOD CONSERVATION 5
- NEIGHBORHOOD CONSERVATION 7.1
- NEIGHBORHOOD CONSERVATION MH
- SUBURBAN RESIDENTIAL
- URBAN RESIDENTIAL
- URBAN UNIVERSITY

SITE LOCATION MAP



1 in = 200 ft



FUTURE LAND USE MAP

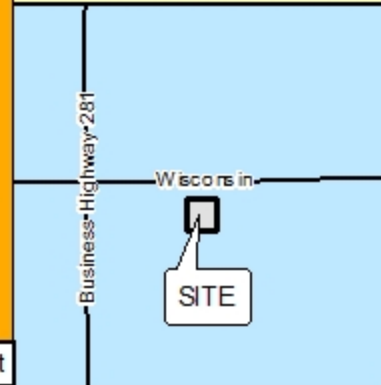
CASE CAPTION:

APPLICANT NAME:
MELDEN & HUNT INC.

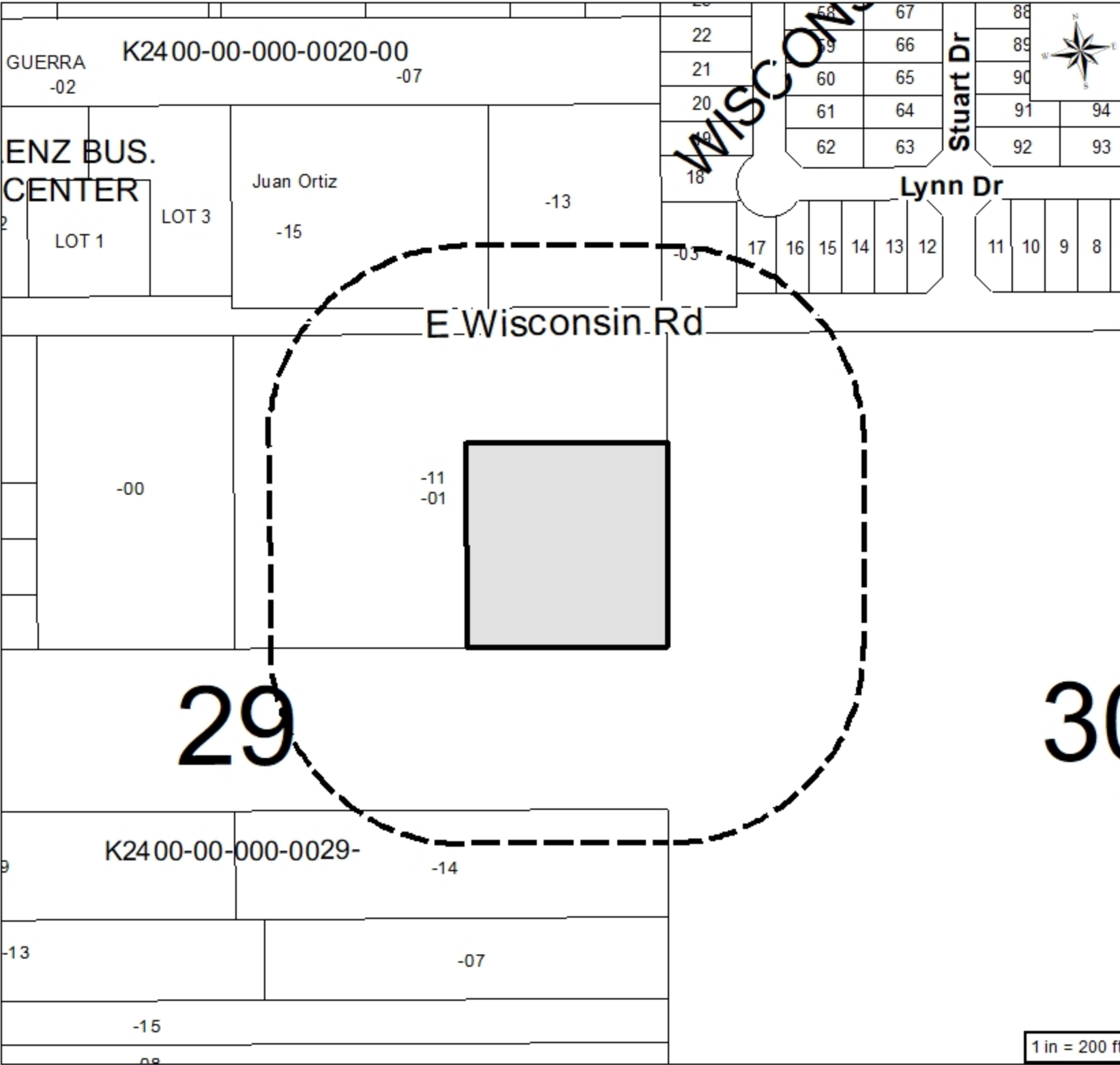
Legend

-  CITY LIMITS
-  APPLICANT SITE
- FUTURE LAND USE**
-  Agriculture
-  Auto-Urban
-  Downtown District
-  General Commercial
-  Industrial
-  Mobile Home
-  Neighborhood Commercial
-  Office Business Park
-  Suburban
-  Urban
-  Urban University

SITE LOCATION MAP



1 in = 200 ft






MAILOUT AND SITE MAP

CASE CAPTION:

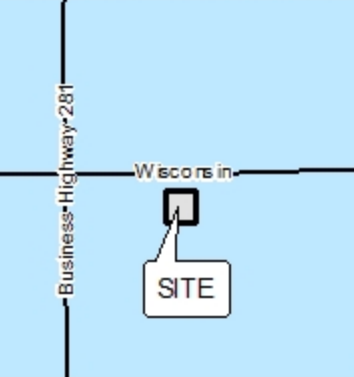
APPLICANT NAME:
MELDEN & HUNT INC.

CONSIDER THE COMPREHENSIVE PLAN AMENDMENT FROM AUTO URBAN USES TO URBAN USES AND THE REZONING REQUEST FROM COMMERCIAL GENERAL (CG) DISTRICT TO URBAN RESIDENTIAL (UR) DISTRICT, BEING 2.210 ACRES OUT OF LOT 29, KELLY-PHARR SUBDIVISION, LOCATED AT 400 E WISCONSIN ROAD, AS REQUESTED BY MELDEN & HUNT INC.

Legend

-  CITY LIMITS
-  300FT NOTIFICATION
-  APPLICANT SITE

SITE LOCATION MAP



1 in = 200 ft



Planning & Zoning Department
415 W. University Dr.
(956) 388-8202

ZONE CHANGE APPLICATION

- 1. Name: COHAB LLC Phone No. C/O (956) 381-0981
2. Mailing Address: 6114 N 3RD Lane
City: McAllen State: TX Zip 78504
Email Address: Cell No.
3. Agent: Melden & Hunt, Inc. Phone No. (956) 381-0981
4. Agent's Mailing Address: 115 W. McIntyre Street
City: Edinburg State: TX Zip 78541
5. Email Address: ruben@meldenandhunt.com
6. Address/Location being Rezoned:
7. Legal Description of Property: 2.210 Acres out of Lot 29 Kelly Pharr Subdivision
8. Zone Change: From: (CG) Commercial General To: (UR) Urban Residential
9. Present Land Use: Residential
10. Reason for Zone Change: Development

RUBEN JAMES DE JESUS
(Please Print Name)

[Handwritten Signature] Signature

AMOUNT PAID \$

RECEIPT NUMBER

PUBLIC HEARING DATE (PLANNING & ZONING COMMISSION) - 4:00 P.M.:
PUBLIC HEARING DATE (CITY COUNCIL) - 6:00 P.M.:
(NOTE: BOTH MEETINGS ARE HELD AT THE CITY COUNCIL CHAMBERS)

ZONING CHANGE REQUIREMENTS

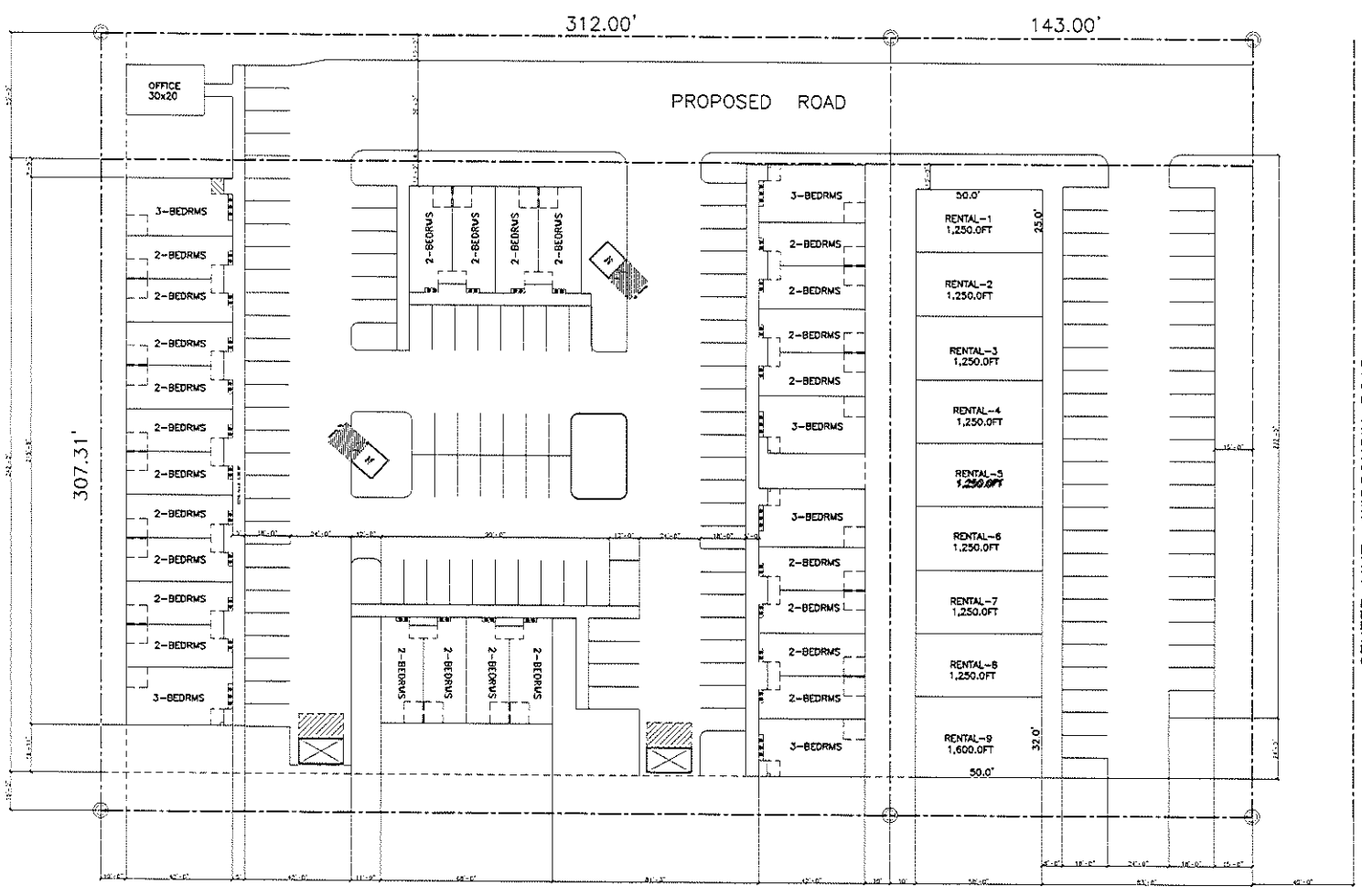
The following items are required to be submitted with the application:

RECEIVED

APR 13 2021

Name: [Handwritten Signature]

PROJECT NO.	
SHEET NO.	
DRAWN BY	
CHECKED BY	
DATE	
SCALE	
PROJECT NAME	
OWNER	
ARCHITECT	
ENGINEER	
PLUMBER	
ELECTRICAL	
MECHANICAL	
INTERIOR DESIGNER	
LANDSCAPE ARCHITECT	
ENVIRONMENTAL ENGINEER	
ASBESTOS	
PH	
PD	



32 - APTS - UNITS
 6 UNITS -3-BEDRMS
 26 UNITS -2-BEDRMS

BUILDING PAD = 11,600.0FT

SCALE 1"=20'

PROJECT
 GANTER - BUILDER
 210 MARAN SITE 'D' WARREN, ILLINOIS 60594 687-1155

South Texas Design



JOB NO.	
SHT.	
OF	





CITY OF EDINBURG
Planning & Zoning Commission
Regular Meeting
Meeting Date:
5/11/2021
Comprehensive Plan Amendment
Rezoning Request

AGENDA ITEM:

Hold Public Hearing and Consider the Comprehensive Plan Amendment from General Commercial Uses to Auto Urban Uses and the Rezoning Request from Commercial Neighborhood (CN) District to Neighborhood Conservation 7.1 (NC 7.1) District, Being a 5.50 acre tract of land out of Lot 1 & Lot 3, Engleman's Subdivision of Lot 10, Section 278, of Texas Mexican Railway Company Survey, located at 4124 W. Freddy Gonzalez Drive, as requested by SAMES Engineering [Planning & Zoning – Kimberly Mendoza, Director of Planning & Zoning]

DESCRIPTION / SCOPE:

The property is located on the south side of W. Freddy Gonzalez Drive, approximately 1,000 ft. east of S.H. Hwy. 336 (10th Street) and is currently vacant. The tract has 313.47 ft. of frontage along W. Freddy Gonzalez Drive and 742.74 ft. of depth for a tract size of 5.50 acres. The requested zoning designation allows for a single family residential development on the subject property. The applicant is requesting the change of zone to construct a single family residential development consisting of 21 lots ranging from 7,675.48 square ft. to 16,622.65 square ft. This property is currently undergoing subdivision review under the name Fresno Heights Subdivision and is scheduled for preliminary plat approval by the Planning & Zoning Commission on May 11, 2021.

The property is currently zoned Commercial Neighborhood (CN) District. The surrounding zoning is Neighborhood Conservation 7.1 (NC 7.1) District to the north, Commercial Neighborhood (CN) District and Suburban Residential (S) District to the east, Suburban Residential (S) District to the south, and Commercial Neighborhood (CN) District to the west. The surrounding land uses consist of single family residential uses. The future land use designation is General Commercial Uses.

Staff mailed a notice of the public hearing before the Planning & Zoning Commission to 32 neighboring property owners and received no comments in favor or against this request at the time of the report.

ESTIMATED TIMELINE:

The recommendation of approval or denial of this public hearing is scheduled for consideration by the City Council on June 1, 2021. City Council's decision is the final step in the zoning process for this property. If denied the applicant may not request the proposed zoning classification for a 12 month period from the date of denial.

STAFF RECOMMENDATION:

Staff recommends approval of the Comprehensive Plan Amendment from General Commercial Uses to Auto Urban Uses and the Rezoning Request from Commercial Neighborhood (CN) District to Neighborhood Conservation 7.1 (NC 7.1) District based on the surrounding uses in the area. If approved, the applicant will need to comply with all requirements during the permitting process including compliance with subdivision regulations, building and fire codes, fire protection, parking, landscape buffer-yards, solid waste services, utility, and any other City requirements, as applicable.

JUSTIFICATION:

Staff recommends approval of the Comprehensive Plan Amendment from General Commercial Uses to Auto Urban Uses and the Rezoning Request from Commercial Neighborhood (CN) District to Neighborhood Conservation 7.1 (NC 7.1) District based on the surrounding residential uses in the area.

Rita Lee Guerrero
Urban Planner

Kimberly A. Mendoza, MPA
Director of Planning & Zoning

MEETING DATES:
PLANNING & ZONING COMMISSION – 05/11/2021
CITY COUNCIL – 06/01/2021
DATE PREPARED – 04/30/2021

STAFF REPORT
GENERAL INFORMATION

APPLICATION: Comprehensive Plan Amendment from General Commercial Uses to Auto Urban Uses and the Rezoning Request from Commercial Neighborhood (CN) District to Neighborhood Conservation 7.1 (NC 7.1) District

APPLICANT: Carbajal Real Estate Inc.

AGENT: SAMES Engineering

LEGAL: Being a 5.50 acre tract of land out of Lot 1 & Lot 3, Engleman’s Subdivision of Lot 10, Section 278, of Texas Mexican Railway Company Survey

LOCATION: Located at 4124 W. Freddy Gonzalez Drive

LOT/TRACT SIZE: 5.50 acres

CURRENT USE OF PROPERTY: Vacant

PROPOSED USE OF PROPERTY: Single Family Residential Development

EXISTING LAND USE General Commercial Uses

ADJACENT ZONING: North – Neighborhood Conservation 7.1 (NC 7.1) District
South – Suburban (S) Residential District
East - Commercial Neighborhood (CN) District
Suburban Residential (S) District
West - Commercial Neighborhood (CN) District

LAND USE PLAN DESIGNATION: General Commercial Uses

PUBLIC SERVICES: City of Edinburg Water / Sewer

RECOMMENDATION: Staff recommends approval of the Comprehensive Plan Amendment from General Commercial Uses to Auto Urban Uses and the Rezoning Request from Commercial Neighborhood (CN) District to Neighborhood Conservation 7.1 (NC 7.1) District

**COMPREHENSIVE PLAN AMENDMENT
REZONING REQUEST
SAMES ENGINEERING**

EVALUATION

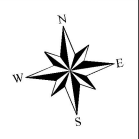
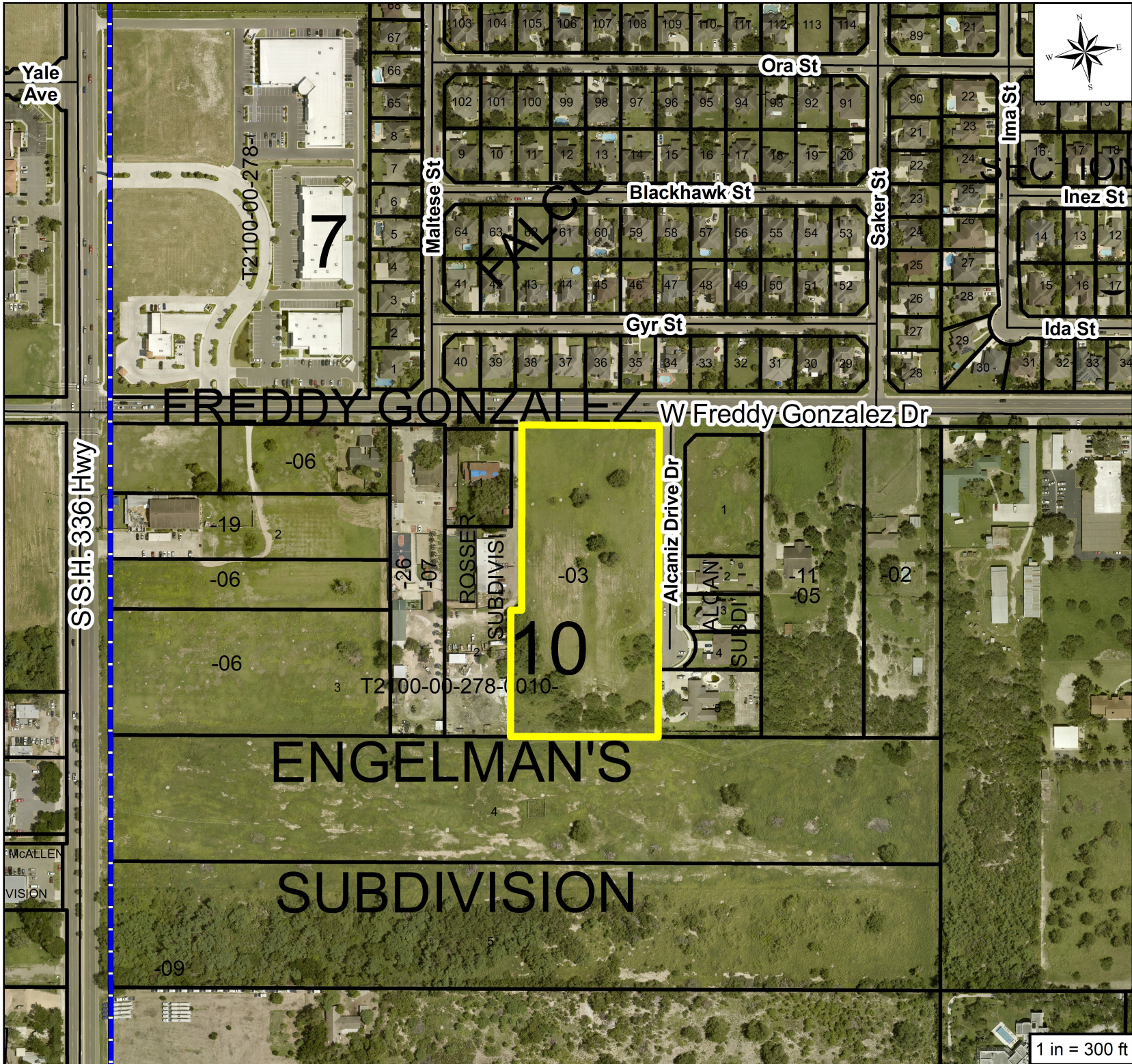
The following is staff's evaluation of the request.

1. The land use pattern for this area of the community consists of single family residential uses.
2. The applicant is requesting the change of zone to construct a single family residential development.

Staff recommends approval of the Comprehensive Plan Amendment from General Commercial Uses to Auto Urban Uses and the Rezoning Request from Commercial Neighborhood (CN) District to Neighborhood Conservation 7.1 (NC 7.1) District based on the surrounding uses in the area. If approved, the applicant will need to comply with all requirements during the permitting process including compliance with subdivision regulations, building and fire codes, fire protection, parking, landscape buffer-yards, solid waste services, utility, and any other City requirements, as applicable.

Staff mailed a notice of the public hearing before the Planning & Zoning Commission to 32 neighboring property owners and received no comments in favor or against this request at the time of the report.

ATTACHMENTS: Aerial Photo
Zoning Map
Future Land Use Map
Photo of site
Exhibits





AERIAL MAP

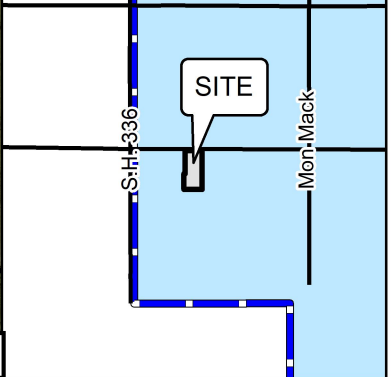
CASE CAPTION:

APPLICANT NAME:
SAMES ENGINEERING

CONSIDER THE COMPREHENSIVE PLAN AMENDMENT FROM GENERAL COMMERCIAL USES TO AUTO URBAN USES AND THE REZONING REQUEST FROM COMMERCIAL NEIGHBORHOOD (CN) DISTRICT TO NEIGHBORHOOD CONSERVATION 7.1 (NC 7.1) DISTRICT, BEING A 5.50 ACRE TRACT OF LAND OUT OF LOT 1 & LOT 3, ENGLERMAN'S SUBDIVISION OF LOT 10, SECTION 278, OF TEXAS MEXICAN RAILWAY COMPANY SURVEY, LOCATED AT 4124 W. FREDDY GONZALEZ DRIVE, AS REQUESTED BY SAMES ENGINEERING

- Legend**
-  CITY LIMITS
 -  APPLICANT SITE

SITE LOCATION MAP



1 in = 300 ft

Yale Ave

S.S.H. 336 Hwy

McALLEN VISION

T2100-00-278-0007-7

-06
-19
-06
-06
T2100-00-278-0010-3

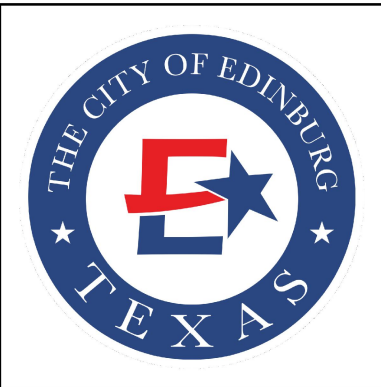
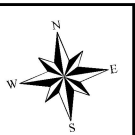
ENGELMAN'S SUBDIVISION
-09

103 104 105 106 107 108 109 110 111 112 113 114
102 101 100 99 98 97 96 95 94 93 92 91
9 10 11 12 13 14 15 16 17 18 19 20
64 63 62 61 60 59 58 57 56 55 54 53
41 42 43 44 45 46 47 48 49 50 51 52
40 39 38 37 36 35 34 33 32 31 30 29

1
2
3
4
5
1
2
3
4
5
-11
-05
-02

89 21
90 22
21 23
22 24
23 25
24 26
25 27
26 28
27 29
28 30
31 32 33 34

-02



ZONING MAP

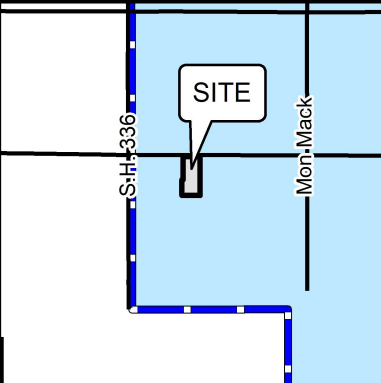
CASE CAPTION:

APPLICANT NAME:
SAMES ENGINEERING

Legend

- CITY LIMITS
- APPLICANT SITE
- ZONING DISTRICTS**
- AGRICULTURE
- AUTO-URBAN RESIDENTIAL
- COMMERCIAL, GENERAL
- COMMERCIAL, NEIGHBORHOOD
- DOWNTOWN DISTRICT
- INDUSTRIAL
- NEIGHBORHOOD CONSERVATION 5
- NEIGHBORHOOD CONSERVATION 7.1
- NEIGHBORHOOD CONSERVATION MH
- SUBURBAN RESIDENTIAL
- URBAN RESIDENTIAL
- URBAN UNIVERSITY

SITE LOCATION MAP



1 in = 300 ft

Yale Ave

T2100-00-278-0007-

7

FALCONS LAND



FUTURE LANDUSE MAP

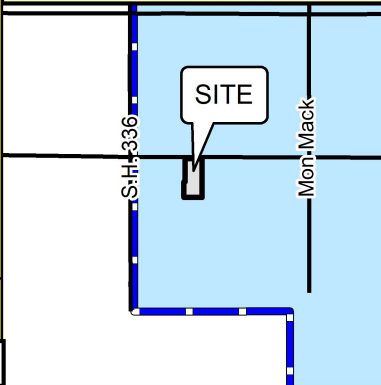
CASE CAPTION:

APPLICANT NAME:
SAMES ENGINEERING

Legend

- CITY LIMITS
- APPLICANT SITE
- FUTURE LANDUSE**
- Agriculture
- Auto-Urban
- Downtown District
- General Commercial
- Industrial
- Mobile Home
- Neighborhood Commercial
- Office Business Park
- Suburban
- Urban
- Urban University

SITE LOCATION MAP



1 in = 300 ft

S.S.H. 336 Hwy

FREDDY GONZALEZ W Freddy Gonzalez Dr

-06
-19
-06
-06

ENGELMAN'S

SUBDIVISION

-09

T2100-00-278-0010-

10

ROSSER SUBDIVISION

Alcaniz Drive Dr

ALCANIZ SUBDIVISION

-11
-05

-02

Malfese St

Blackhawk St

Gyr St

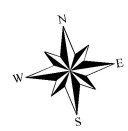
Ora St

Saker St

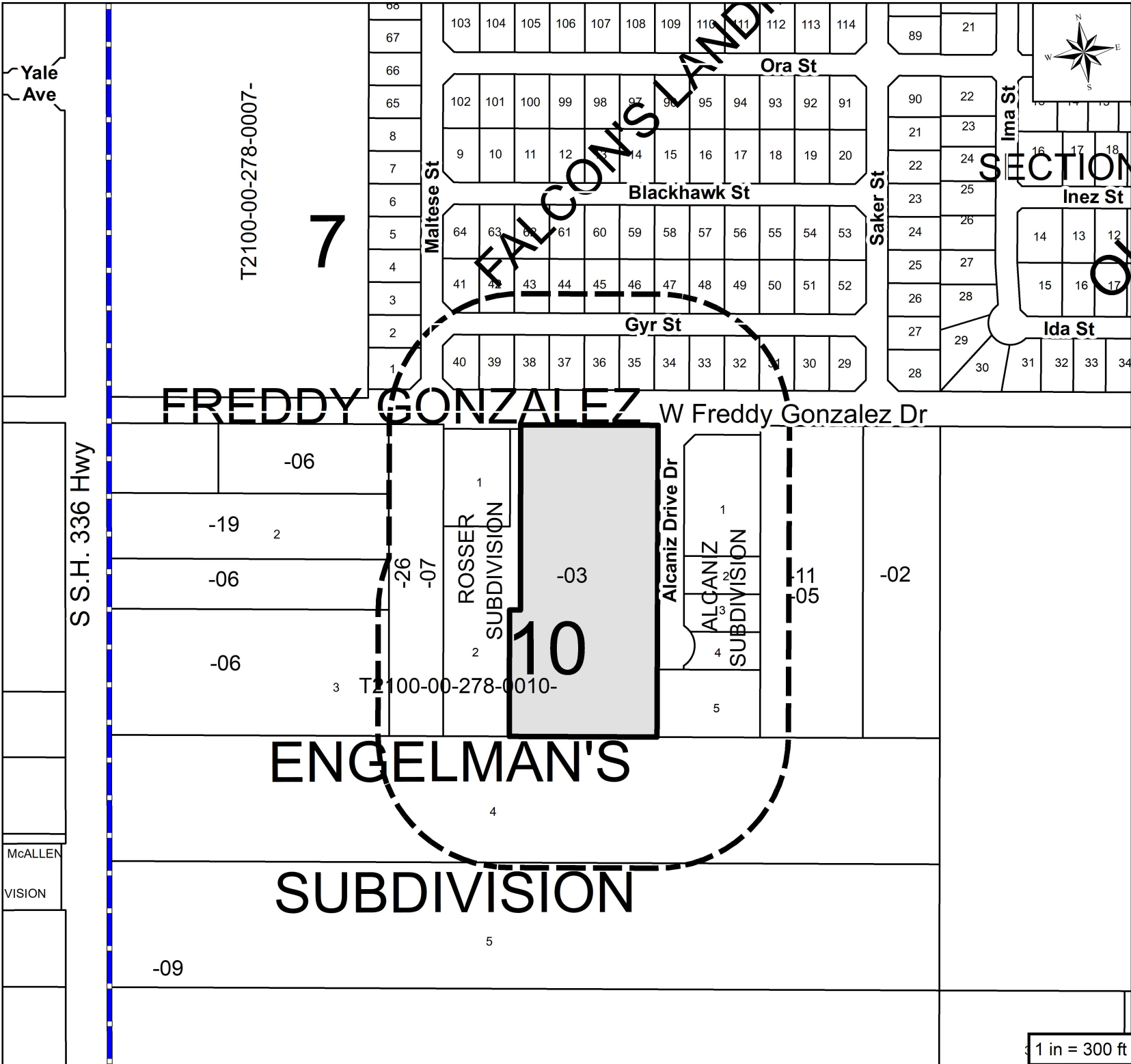
Ima St

Inez St

Ida St



McALLEN
VISION






MAILOUT AND SITE MAP

CASE CAPTION:

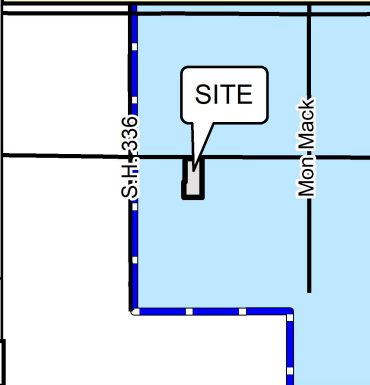
APPLICANT NAME:
SAMES ENGINEERING

CONSIDER THE COMPREHENSIVE PLAN AMENDMENT FROM GENERAL COMMERCIAL USES TO AUTO URBAN USES AND THE REZONING REQUEST FROM COMMERCIAL NEIGHBORHOOD (CN) DISTRICT TO NEIGHBORHOOD CONSERVATION 7.1 (NC 7.1) DISTRICT, BEING A 5.50 ACRE TRACT OF LAND OUT OF LOT 1 & LOT 3, ENGLERMAN'S SUBDIVISION OF LOT 10, SECTION 278, OF TEXAS MEXICAN RAILWAY COMPANY SURVEY, LOCATED AT 4124 W. FREDDY GONZALEZ DRIVE, AS REQUESTED BY SAMES ENGINEERING

Legend

-  CITY LIMITS
-  300FT NOTIFICATION
-  APPLICANT SITE

SITE LOCATION MAP



1 in = 300 ft



Planning & Zoning Department
415 W. University Dr.
(956) 388-8202

ZONE CHANGE APPLICATION

1. Name: CARBAJAL REAL ESTATE Inc. Phone No. 956-404-4861

2. Mailing Address: 4900 W. EXPRESSWAY 83 SUITE 222

City: MCALLEN State: TX Zip 78501

Email Address: Cell No. 956-404-4861

3. Agent: SAMES, Inc. Phone No. 956-702-8880

4. Agent's Mailing Address: 200 S 10th St. Ste 1500

City: McAllen State: TX Zip 78501

5. Email Address: alex@samengineering-surveying.com

Property location is 995' East of Intersection N 10th St. & W Freddy Gonzalez Drive.

6. Address/Location being Rezoned: Property ID: 297577

TEX-MEX SURVEY LT10-W313.62'-W724'-N454.5'-LT1& W336.22'-W724'-288.4'-LT3 R/S LT10
BLK 278 5.36 AC NET Property ID:297577

7. Legal Description of Property:

8. Zone Change: From: CN-Commercial Neighborhood To: NC7.1 - Neighborhood Conservation

9. Present Land Use: Vacant acreage

10. Reason for Zone Change: Being developed into a (20) lot single family subdivision

Alex Mendez
(Please Print Name)

[Signature]
Signature

AMOUNT PAID \$

RECEIPT NUMBER

PUBLIC HEARING DATE (PLANNING & ZONING COMMISSION) - 4:00 P.M.:

PUBLIC HEARING DATE (CITY COUNCIL) - 6:00 P.M.:

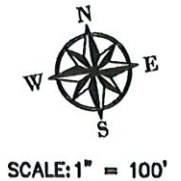
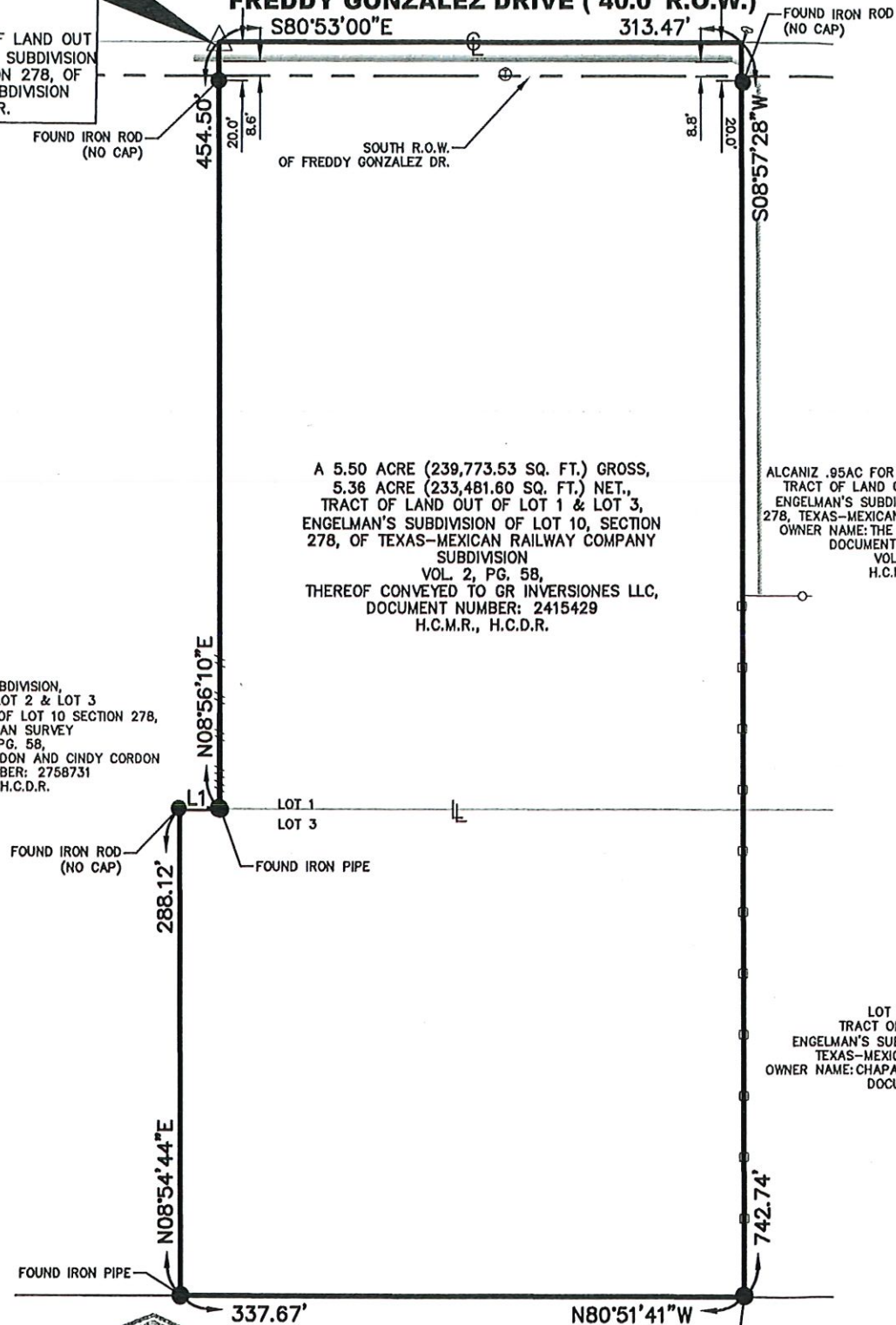
(NOTE: BOTH MEETINGS ARE HELD AT THE CITY COUNCIL CHAMBERS)

ZONING CHANGE REQUIREMENTS

The following items are required to be submitted with the application:

P.O.B.
 NORTHWEST CORNER
 X:1078755.1973
 Y:16632157.2609
 A 5.50 ACRE TRACT OF LAND OUT
 OF LOT 1, ENGELMAN'S SUBDIVISION
 OF LOT 10, SECTION 27B, OF
 TEX-MEX COMPANY SUBDIVISION
 VOL. 2, PG. 58, H.C.M.R.

FREDDY GONZALEZ DRIVE (40.0' R.O.W.)



LEGEND	
●	- FND. 1/2" IRON ROD
○	- SET 1/2" IRON ROD W/PLASTIC CAP STAMPED "SAMES"
△	- COTTON PICKER SPINDLE
⊙	- PK-NAIL
○	- FND. IRON PIPE
⊕	- TELEPHONE PEDESTAL
—○—	- CMU FENCE LINE
▨	- ASPHALT
H.C.M.R. - HIDALGO COUNTY MAP RECORDS	
H.C.D.R. - HIDALGO COUNTY DEED RECORDS	
O.R.H.C. - OFFICIAL RECORDS OF HIDALGO COUNTY	
R.O.W. - RIGHT OF WAY	
FND. - FOUND	

Parcel Line Table		
Line #	Length	Direction
L1	24.60'	S80°51'33"E

ROSSER SUBDIVISION,
 TRACT OUT OF LOT 2 & LOT 3
 ENGELMAN'S SUBDIVISION OF LOT 10 SECTION 27B,
 TEXAS-MEXICAN SURVEY
 VOL. 2, PG. 58,
 OWNER NAME: EDGAR CORDON AND CINDY CORDON
 DOCUMENT NUMBER: 2758731
 H.C.M.R., H.C.D.R.

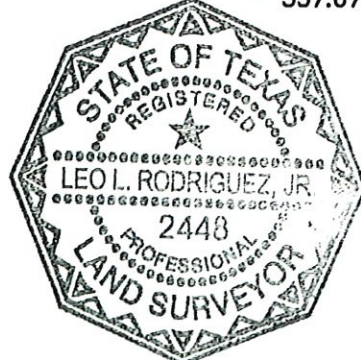
A 5.50 ACRE (239,773.53 SQ. FT.) GROSS,
 5.36 ACRE (233,481.60 SQ. FT.) NET.,
 TRACT OF LAND OUT OF LOT 1 & LOT 3,
 ENGELMAN'S SUBDIVISION OF LOT 10, SECTION
 27B, OF TEXAS-MEXICAN RAILWAY COMPANY
 SUBDIVISION
 VOL. 2, PG. 58,
 THEREOF CONVEYED TO GR INVERSIONES LLC,
 DOCUMENT NUMBER: 2415429
 H.C.M.R., H.C.D.R.

ALCANIZ .95AC FOR PRIVATE RD. (ALCANIZ DR.),
 TRACT OF LAND OUT OF LOT 1 AND LOT 3,
 ENGELMAN'S SUBDIVISION OF LOT 10, SECTION
 27B, TEXAS-MEXICAN RAILWAY COMPANY SURVEY
 OWNER NAME: THE CITY OF EDINBURG, TEXAS
 DOCUMENT NUMBER: 2465071
 VOL. 2, PG. 58,
 H.C.M.R., H.C.D.R.

LOT 5, ALCANIZ SUBDIVISION,
 TRACT OF LAND OUT OF AND LOT 3,
 ENGELMAN'S SUBDIVISION OF LOT 10, SECTION 27B,
 TEXAS-MEXICAN RAILWAY COMPANY SURVEY
 OWNER NAME: CHAPA LUIS JAIME V AND AYDEE B HERRERA
 DOCUMENT NUMBER: 246071
 VOL. 2, PG. 58,
 H.C.M.R., H.C.D.R.

GENERAL NOTES:
 ADDRESS: 4102 WEST FREDDY GONZALEZ DRIVE, EDINBURG, TEXAS 78539
 SURVEYED: JANUARY 22, 2021
 REQUESTED BY: MAURICIO CARBAJAL - CARBAJAL REAL ESTATE, INC.
 PROPOSED BORROWER: GR INVERSIONES LLC
 FLOOD ZONE DESIGNATION: "ZONE X" - AREAS DETERMINED TO BE OUTSIDE
 500-YEAR FLOOD PLAIN.
 COMMUNITY-PANEL NUMBER: 480338 0030 E
 MAP REVISED: JUNE 8, 2000

I, LEO L. RODRIGUEZ, JR., CERTIFY THAT THIS PLAT REPRESENTS THE FACTS
 FOUND ON THE GROUND AT THE TIME OF SURVEY AND THAT THERE ARE NO
 VISIBLE OR APPARENT EASEMENTS, DISCREPANCIES, CONFLICTS, OR
 SHORTAGES IN AREA OR BOUNDARY LINES, OR ANY ENCROACHMENTS, OR
 OVERLAPPING OF IMPROVEMENTS OR VISIBLE EASEMENTS EXCEPT AS SHOWN
 ON THIS PLAT. NO SUBSURFACE UTILITIES OR SERVICE CONNECTIONS ARE
 SHOWN. © COPYRIGHT 2018 SAM ENGINEERING & SURVEYING. THIS SURVEY
 WAS PROVIDED IN MULTIPLE ORIGINALS SOLELY FOR THE BORROWER NAMED
 HEREON. IN CONJUNCTION WITH THE ORIGINAL TRANSACTION WHICH SHALL
 TAKE PLACE WITHIN 6 MONTHS AFTER THE SURVEY WAS PROVIDED, NO
 LICENSE HAS BEEN CREATED OR IMPLIED COPY THIS SURVEY. SURVEY VALID
 ONLY IF PRINT HAS ORIGINAL SEAL AND SIGNATURE.



TEX-MEX SURVEY N16AC-S26AC LOT 10
 BLK 27B 16AC NET,
 ENGELMAN'S SUBDIVISION OF LOT 10,
 SECTION 27B
 OF TEXAS MEXICAN RAILWAY COMPANY
 SUBDIVISION
 VOL. 2, PG. 58,
 OWNER NAME: PROMESA DE TEJAS LLC,
 DOCUMENT NUMBER: 2369969
 H.C.M.R., H.C.D.R.

- SURVEY NOTES:**
1. BASIS OF BEARING THE NORTH LINE OF LOT 1, ENGELMAN'S SUBDIVISION OF LOT 10 SECTION 27B, OF TEXAS-MEXICAN RAILWAY COMPANY SUBDIVISION AS PER THE MAP OR PLAT THEREOF RECORDED IN VOLUME 2, PAGE 58, MAP RECORDS OF HIDALGO COUNTY, TEXAS.
 2. BEARINGS SHOWN ARE BASED ON ENGELMAN'S SUBDIVISION OF LOT 10, SECTION 27B, OF TEXAS-MEXICAN RAILWAY COMPANY SUBDIVISION AS PER THE MAP OR PLAT THEREOF RECORDED IN VOLUME 2, PAGE 58, MAP RECORDS OF HIDALGO COUNTY, TEXAS.
 3. ALL HORIZONTAL CONTROL ON THIS PROJECT WAS ESTABLISHED UTILIZING RTK GPS METHODS.
 4. THE SURVEYOR DID NOT PREPARE AN ABSTRACT OF TITLE. TITLE WORK WAS FURNISHED BY SIERRA TITLE INSURANCE GUARANTY COMPANY, INC., UNDER GF NO.: 0003188921, AND TITLE COMMITMENT DATED EFFECTIVE DECEMBER 31, 2020. SURVEYOR ASSUMES NO LIABILITY FOR THE ACCURACY OF THE TITLE WORK FURNISHED.
- THE FOLLOWING MATTERS AND ALL TERMS OF THE DOCUMENTS CREATING OR OFFERING EVIDENCE OF THE MATTERS:**
5. SUBJECT TO THE SUBDIVISION RULES AND REGULATIONS OF THE COUNTY OF HIDALGO AND/OR ORDINANCES OR GOVERNMENTAL REGULATIONS OF THE CITY IN WHICH THE PROPERTY MAY BE LOCATED OR HOLDING EXTRA TERRITORIAL JURISDICTION OF SAID PROPERTY.
 6. EASEMENTS AND CONDITIONS AS SHOWN ON THE MAP RECORDED IN VOLUME 2, PAGE 58, MAP RECORDS, HIDALGO COUNTY, TEXAS.
 7. EASEMENTS, RIGHTS, RULES, AND REGULATIONS IN FAVOR OF HIDALGO COUNTY IRRIGATION DISTRICT NO. 1.
 8. EASEMENTS, OR CLAIMS OF EASEMENTS, WHICH ARE NOT OF PUBLIC RECORD.

PLAT SHOWING
 A 5.50 ACRE (239,773.53 SQ. FT.) GROSS, 5.36 ACRE (233,481.60 SQ. FT.) NET., TRACT OF LAND OUT OF LOT 1 & LOT 3 ENGELMAN'S SUBDIVISION OF LOT 10, SECTION 27B, OF TEXAS-MEXICAN RAILWAY COMPANY SUBDIVISION, AN ADDITION TO THE CITY OF EDINBURG, HIDALGO COUNTY, TEXAS, AS PER MAP OR PLAT THEREOF RECORDED IN VOLUME 2, PAGE 58, MAP RECORDS OF HIDALGO COUNTY, TEXAS.

LEO L. RODRIGUEZ, JR. DATE 01/27/21
 REGISTERED PROFESSIONAL LAND SURVEYOR NO. 2448

JOB NUMBER	DRAWN BY	RVWD. BY	DATE
SUR 21.049	R.P.	LL.R.	01/27/2021

SAMES SAM Engineering & Surveying
 200 S. 10TH STREET, SUITE 1500 TEL: (956) 702-8880
 MCALLEN, TEXAS 78501 FAX: (956) 702-8883
 SURVEY FIRM REG. No. 101416-00





CITY OF EDINBURG
Planning & Zoning Commission

Regular Meeting

Meeting Date:

5/11/2021

Rezoning Request

AGENDA ITEM:

Hold Public Hearing and Consider the Rezoning Request from Auto Urban Residential (AU) District to Industrial (I) District, Being (Tract1) a 34.5 acre tract of land, More or Less, out of the Northwest Corner of Block 24, East Retama Subdivision and (Tract 2) 12.52 Acres, More or Less, out of the Northwest Corner of Block 24, East Retama Subdivision, located at 4221 North Seminary Road, as requested by Val Vista Grid, LLC [Planning & Zoning – Kimberly Mendoza, Director of Planning & Zoning]

DESCRIPTION / SCOPE:

The property is located on the east side of Seminary Road, approximately ¼ of a mile north of W. Monte Cristo Road and is currently vacant. The tract has 893.97 ft. of frontage along Seminary Road and 2,422.73 ft. of depth for a tract size of 47.02 acres. The requested zoning designation allows for industrial uses on the subject property. The applicant is requesting the change of zone to construct a backup battery grid.

The property is currently zoned Auto Urban Residential (AG) District. The surrounding zoning is Agriculture (AG) District to the East, Industrial (I) District to the south, and Auto Urban Residential (AU) District to the west. The property to the north currently falls outside the City Limits of Edinburg. The surrounding land uses consist of industrial uses and vacant land. The future land use designation is Industrial Uses.

Staff mailed a notice of the public hearing before the Planning & Zoning Commission to eight neighboring property owners and received 2 comments in favor and none against this request at the time of the report.

ESTIMATED TIMELINE:

The recommendation of approval or denial of this public hearing is scheduled for consideration by the City Council on June 1, 2021. City Council's decision is the final step in the zoning process for this property. If denied the applicant may not request the proposed zoning classification for a 12 month period from the date of denial.

STAFF RECOMMENDATION:

Staff recommends approval of the Rezoning Request from Auto Urban Residential (AU) District to Industrial (I) District, based on the existing zoning and the similar use to the west. If approved, the applicant will need to comply with all requirements during the permitting process including compliance with subdivision regulations, building and fire codes, fire protection, parking, landscape buffer-yards, solid waste services, utility, and any other City requirements, as applicable.

JUSTIFICATION:

Staff recommends approval of the Rezoning Request from Auto Urban Residential (AU) District to Industrial (I) District, based on the development trend in the area. The requested zoning is consistent with the future land use plan.

Rita Lee Guerrero
Urban Planner

Kimberly A. Mendoza, MPA
Director of Planning & Zoning

MEETING DATES:
PLANNING & ZONING COMMISSION – 05/11/2021
CITY COUNCIL – 06/01/2021
DATE PREPARED – 05/03/2021

STAFF REPORT
GENERAL INFORMATION

APPLICATION: Rezoning Request from Auto Urban Residential (AU) District to Industrial (I) District

APPLICANT: Val Vista Grid LLC

AGENT:

LEGAL: Being (Tract1) a 34.5 acre tract of land, More or Less, out of the Northwest Corner of Block 24, East Retama Subdivision and (Tract 2) 12.52 Acres, More or Less, out of the Northwest Corner of Block 24, East Retama Subdivision

LOCATION: Located at 4221 North Seminary Road

LOT/TRACT SIZE: 47.02 acres

CURRENT USE OF PROPERTY: Vacant

PROPOSED USE OF PROPERTY: Back up Battery Grid

EXISTING LAND USE Auto Urban Uses

ADJACENT ZONING: North – Outside City Limits of Edinburg
South – Industrial (I) District
East - Agriculture (AG) District
West - Auto Urban Residential (AU) District

LAND USE PLAN DESIGNATION: Industrial Uses

PUBLIC SERVICES: City of Edinburg Water/ Sewer

RECOMMENDATION: Staff recommends approval of the Rezoning Request from Auto Urban Residential (AU) District to Industrial (I) District

**REZONING REQUEST
VAL VISTA GRID LLC**

EVALUATION

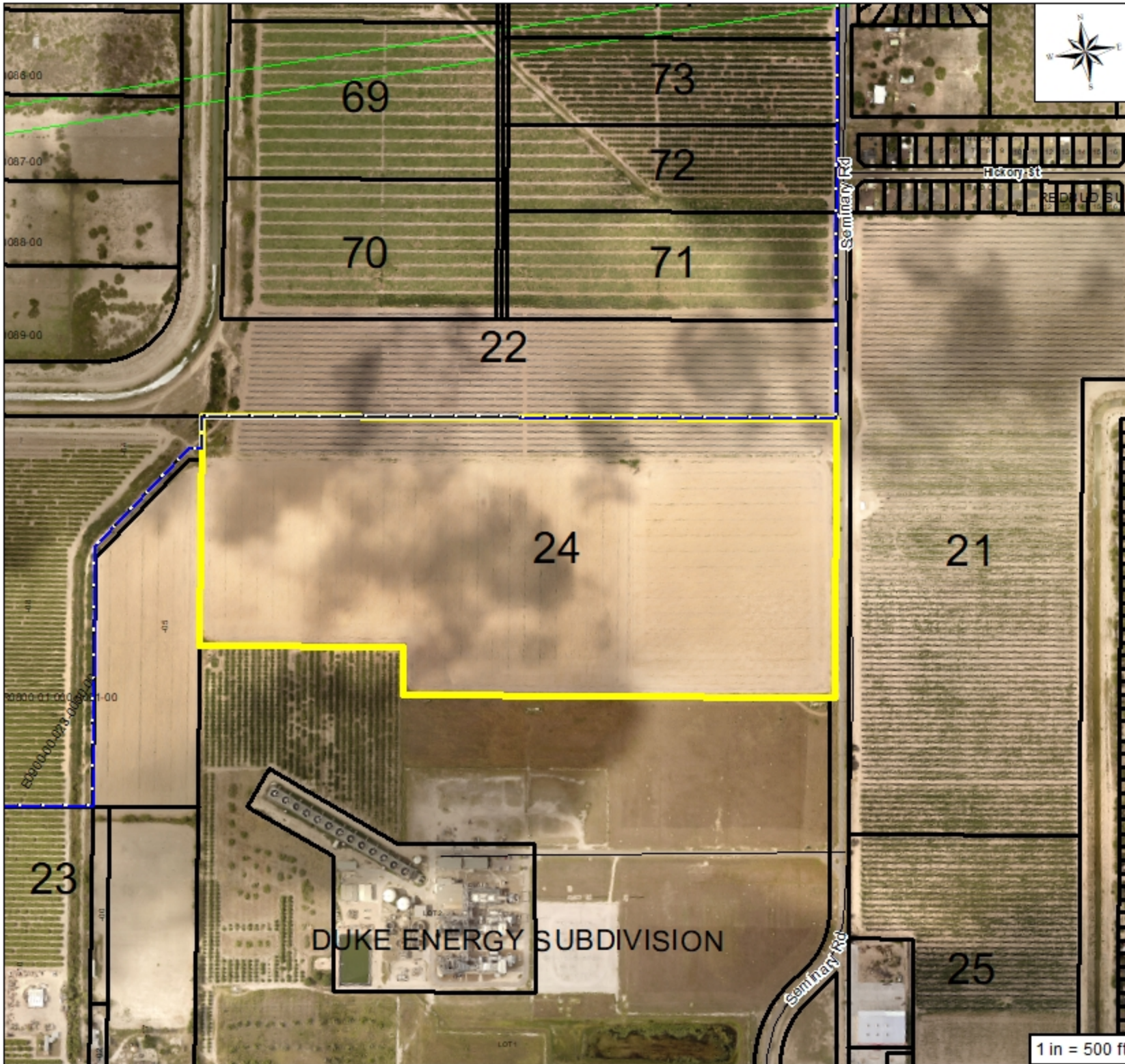
The following is staff's evaluation of the request.

1. The land use pattern for this area of the community consists of industrial uses and vacant land.
2. The applicant is requesting the change of zone to construct a backup battery grid.

Staff recommends approval of the Rezoning Request from Auto Urban Residential (AU) District to Industrial (I) District, based on the existing zoning and use in the area. The requested zoning is consistent with the future land use plan. If approved, the applicant will need to comply with all requirements during the permitting process including compliance with subdivision regulations, building and fire codes, fire protection, parking, landscape buffer-yards, solid waste services, utility, and any other City requirements, as applicable.

Staff mailed a notice of the public hearing before the Planning & Zoning Commission to eight neighboring property owners and received 2 comments in favor and none against this request at the time of the report.

ATTACHMENTS: Aerial Photo
Zoning Map
Future Land Use Map
Photo of site
Exhibits





AERIAL MAP

CASE CAPTION:

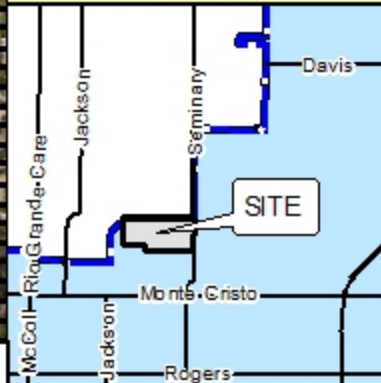
APPLICANT NAME:
VAL VISTA GRID, LLC

CONSIDER THE REZONING REQUEST FROM AUTO URBAN RESIDENTIAL (AU) DISTRICT TO INDUSTRIAL (I) DISTRICT, BEING (TRACT 1) 34.5 ACRE TRACT OF LAND, MORE OR LESS, OUT OF THE NORTHWEST CORNER OF BLOCK 24, EAST RETAMA SUBDIVISION AND (TRACT 2) 12.52 ACRES, MORE OR LESS OUT OF THE NORTHWEST CORNER OF BLOCK 24, EAST RETAMA SUBDIVISION, LOCATED AT 4221 NORTH SEMINARY ROAD, AS REQUESTED BY VAL VISTA GRID, LLC

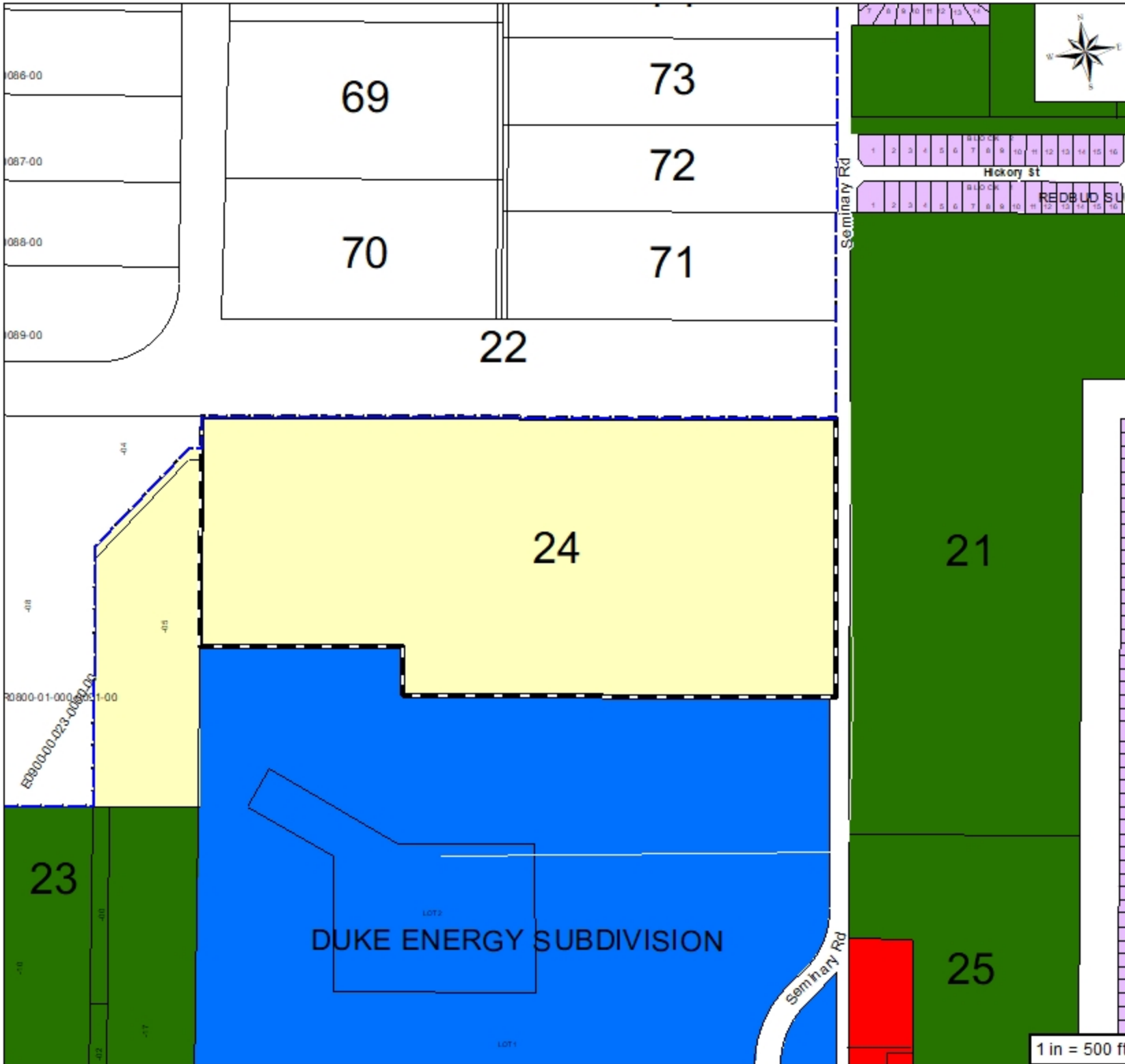
Legend

-  CITY LIMITS
-  APPLICANT SITE

SITE LOCATION MAP



1 in = 500 ft



ZONING MAP

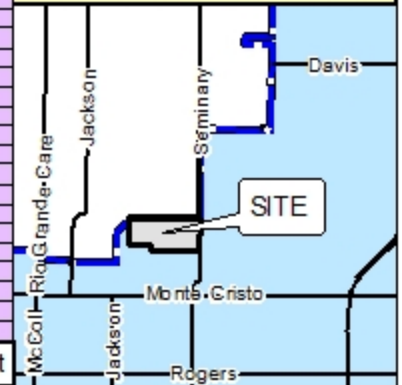
CASE CAPTION:

APPLICANT NAME:
VAL VISTA GRID, LLC

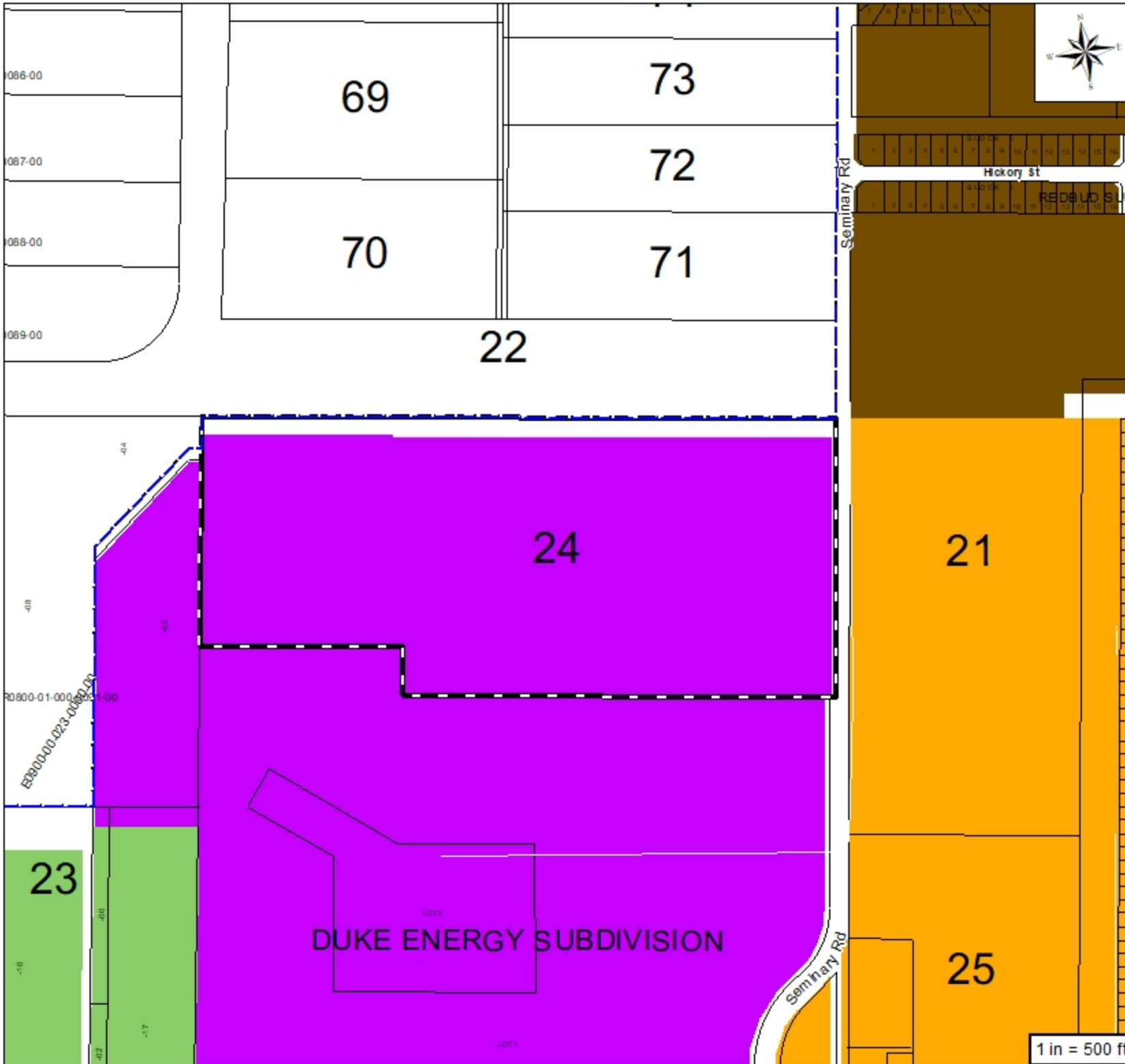
Legend

- CITY LIMITS
- APPLICANT SITE
- ZONING DISTRICTS**
- AGRICULTURE
- AUTO-URBAN RESIDENTIAL
- COMMERCIAL GENERAL
- COMMERCIAL NEIGHBORHOOD
- DOWNTOWN DISTRICT
- INDUSTRIAL
- NEIGHBORHOOD CONSERVATION 5
- NEIGHBORHOOD CONSERVATION 7.1
- NEIGHBORHOOD CONSERVATION MH
- SUBURBAN RESIDENTIAL
- URBAN RESIDENTIAL
- URBAN UNIVERSITY

SITE LOCATION MAP



1 in = 500 ft

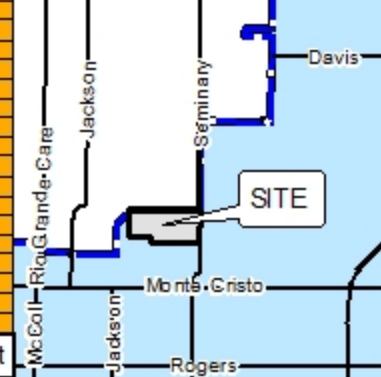


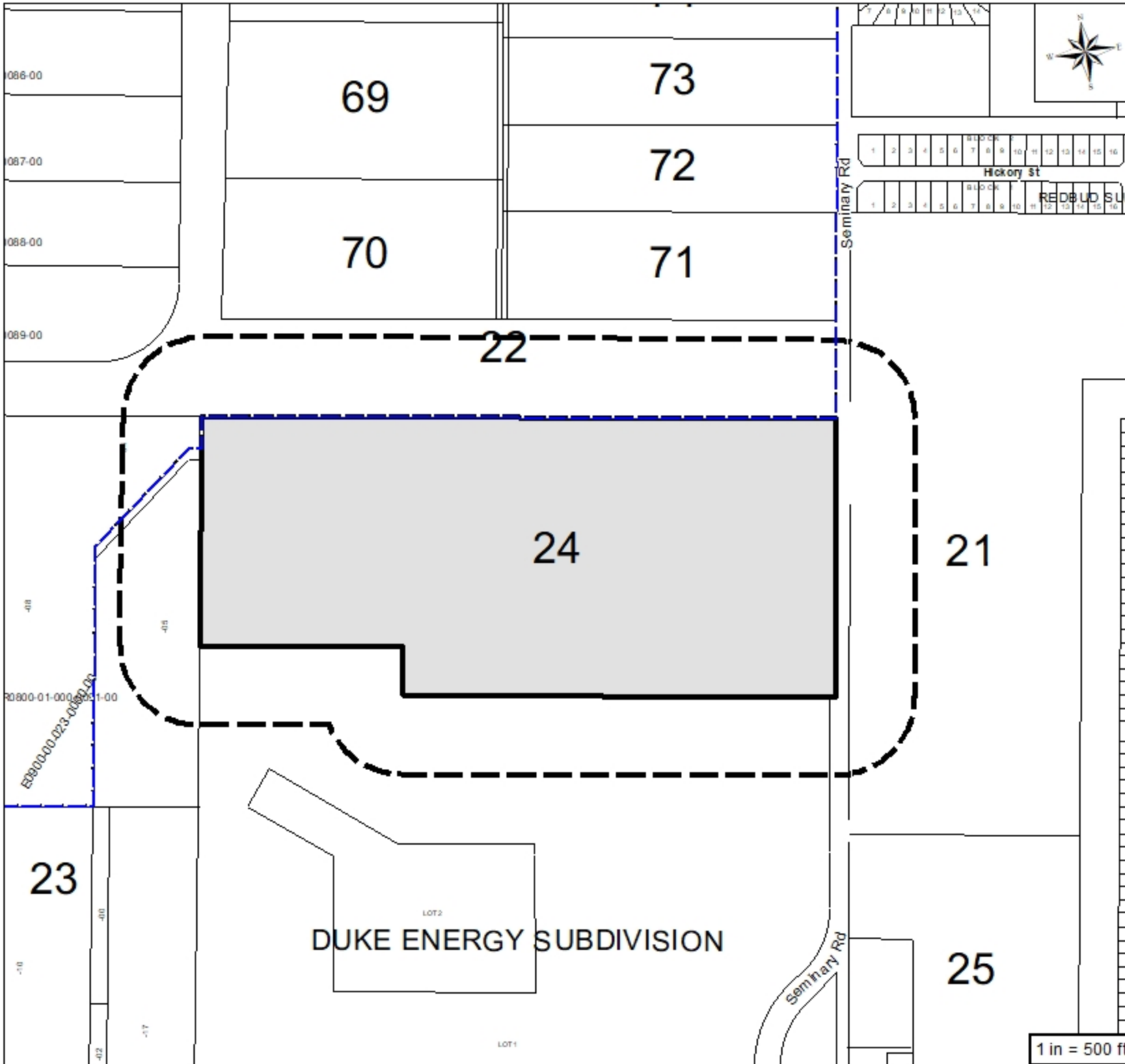
FUTURE LAND USE MAP
CASE CAPTION:

APPLICANT NAME:
 VAL VISTA GRID, LLC

- Legend**
- CITY LIMITS
 - APPLICANT SITE
 - FUTURE LAND USE**
 - Agriculture
 - Auto-Urban
 - Downtown District
 - General Commercial
 - Industrial
 - Mobile Home
 - Neighborhood Commercial
 - Office Business Park
 - Suburban
 - Urban
 - Urban University

SITE LOCATION MAP








MAILOUT AND SITE MAP

CASE CAPTION:

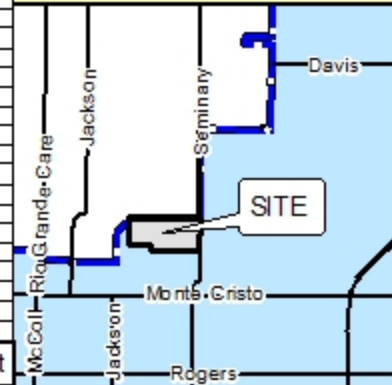
APPLICANT NAME:
VAL VISTA GRID, LLC

CONSIDER THE REZONING REQUEST FROM AUTO URBAN RESIDENTIAL (AU) DISTRICT TO INDUSTRIAL (I) DISTRICT, BEING (TRACT 1) 34.5 ACRE TRACT OF LAND, MORE OR LESS, OUT OF THE NORTHWEST CORNER OF BLOCK 24, EAST RETAMA SUBDIVISION AND (TRACT 2) 12.52 ACRES, MORE OR LESS OUT OF THE NORTHWEST CORNER OF BLOCK 24, EAST RETAMA SUBDIVISION, LOCATED AT 4221 NORTH SEMINARY ROAD, AS REQUESTED BY VAL VISTA GRID, LLC

Legend

-  CITY LIMITS
-  300FT NOTIFICATION
-  APPLICANT SITE

SITE LOCATION MAP





Planning & Zoning Department
415 W. University Dr.
(956) 388-8202

ZONE CHANGE APPLICATION

Val Vista Grid, LLC
c/o Able Grid Energy Solutions

1. Name: Attn: Tom Kruger, Director of Permitting Phone No. 503-758-4539

2. Mailing Address: 1495 Canyon Blvd., Ste. 218

City: Boulder State: CO Zip 80302

Email Address: tkruger@ablegridenergy.com Cell No.

3. Agent: Phone No.

4. Agent's Mailing Address:

City: State: Zip

5. Email Address:

6. Address/Location being Rezoned: site located on west side of Seminary Road, about 1000 feet north of W. Monte Cristo Rd.

7. Legal Description of Property: Two tracts of land out of Block 24, East Retama Subdivision, Hidalgo County, TX, totaling 47.02 acres; see Exhibit B for full legal description

8. Zone Change: From: Auto-Urban Residential To: Industrial

9. Present Land Use: Agricultural, vacant

10. Reason for Zone Change: Proposed Battery Energy Storage System (BESS) facility

Tom Kruger
(Please Print Name)

Thomas Kruger
Signature

AMOUNT PAID \$

RECEIPT NUMBER

PUBLIC HEARING DATE (PLANNING & ZONING COMMISSION) - 4:00 P.M.:

PUBLIC HEARING DATE (CITY COUNCIL) - 6:00 P.M.:

(NOTE: BOTH MEETINGS ARE HELD AT THE CITY COUNCIL CHAMBERS)

ZONING CHANGE REQUIREMENTS

The following items are required to be submitted with the application:



1495 Canyon Blvd., Ste. 218
 Boulder, CO 80302

REVISION	DATE	DESCRIPTION

Val Vista Battery Storage

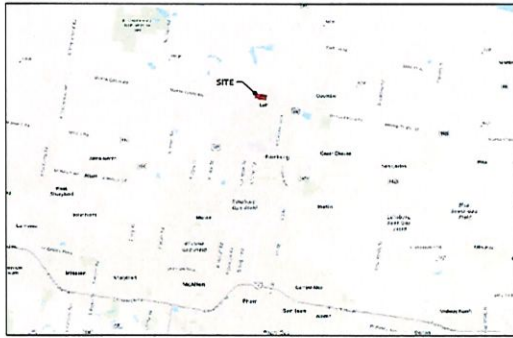
Hidalgo County, Texas

Pre-Construction ALTA

REGIONAL MAP



VICINITY MAP



Val Vista-Battery Storage Project
 Hidalgo County, Texas



ABLE GRID

**Val Vista Grid
BESS Project**

**Project Area
Location**

City of Edinburg, TX
March 18, 2021

- Val Vista Project Area
- Power Plants
- Parcels



Scale: 1:5,000










NAD83 State Plane Texas
South Central 4204

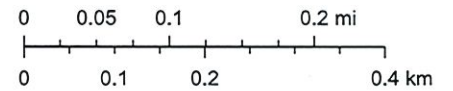
Zoning Map



2/8/2021, 3:06:14 PM

World Transportation	 AUTO-URBAN RESIDENTIAL	 INDUSTRIAL
ZONING DISTRICTS	 COMMERCIAL, GENERAL	 NEIGHBORHOOD CONSERVATION 5
 AGRICULTURE	 COMMERCIAL, NEIGHBORHOOD	 NEIGHBORHOOD CONSERVATION 7.1

1:9,028



USDA FSA, GeoEye, Maxar, Esri, HERE, IPC

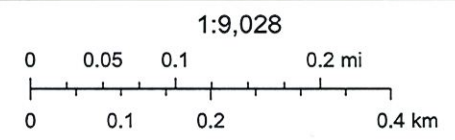
Web AppBuilder for ArcGIS

Future Land Use Map



2/8/2021, 3:08:17 PM

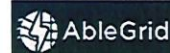
- | | | | | |
|---|---|--------------------|---|------------|
| World Transportation |  | Auto-Urban |  | Suburban |
| FUTURE LANDUSE |  | General Commercial |  | Industrial |
|  | Agriculture | | | |



USDA FSA, GeoEye, Maxar, Esri, HERE, iPC

Web AppBuilder for ArcGIS

PREPARED FOR:



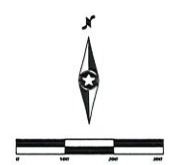
1495 Canyon Blvd., Ste 210
Boulder, CO 80302

BY ORDER:

DATE	COMPLETION

LEGEND:

- ADJACENT
- LOT LINE
- POWER POLE
- FENCE OR CHAIN LINK
- LOT LINE
- POWER OVERHEAD
- FENCE LINE - CHAIN LINK
- FOUND MONUMENT (SEE LABEL)
- SET MONUMENT (SEE LABEL)
- BOUNDARY LINE
- INTERNAL PARCEL LINE
- LOT LINE
- EASEMENT LINE
- BOUNDARY PARCEL LINE
- BOUNDARY ROAD (SEE LABEL)
- EDGE OF PAVED ROADWAY (SEE LABEL)



Val Vista-Battery Storage Project
Hidalgo County, Texas



GENERAL SURVEYOR'S NOTES:

- This survey was prepared using the Title Commitment issued by Chicago Title Insurance Company, GF No. 168115, having an effective date of 06/20/2020.
- The horizontal datum is NAD83 (2011) Texas State Plane Coordinate System, South Zone (4303). All bearings, distances, and areas are based on grid. The average combined scale factor is 1.0000000.
- The approximate total land area of the Val Vista Battery Storage Project, as shown on the survey, is 456.60 acres, more or less. (Table A Item 4)
- Aerial photography obtained on 05/26/2020 from World Imagery Data, as shown on the survey, is not relied upon for boundary or easement location. (Table A Item 5)
- Fences and other substantial features shown have been located by field observation. (Table A Item 6)
- The underground utilities shown have been located from field observation of visible evidence. The surveyor makes no guarantee that the underground utilities shown comprise all such utilities in the area, either as shown or abandoned. The surveyor further asks and requests that the underground utilities shown are in the exact location indicated although he does certify that they are located as accurately as possible from information available. The surveyor has not physically located the underground utilities. See State Civil Code section 202.02A(5)(B). (Table A Item 11)
- No zoning reports were provided by client regarding existence of setbacks for subject property. (Table A Item 6) and (B)
- As of the date this field work was completed for this survey, there was no observable evidence of current earth moving work, exterior building construction or building additions. (Table A Item 10)
- The Surveyor is not qualified to make a determination regarding the existence of wetlands. The Surveyor is not aware of any recent wetland delineations taking place on the subject property. A wetland delineation was not part of the scope of services for this survey. (Table A Item 16)
- A portion of the Project is currently located on an area that has been identified by the director of the Federal Emergency Management Agency as a special flood hazard area in which flood insurance has been made available under the National Flood Insurance Act of 1968, as amended, nor as shown on the Flood Insurance Rate Map for the Community in which the property is located as filed June 01, 2010, by FEMA as Form FIRM 0402118C(02) (Table A Item 3)
- Monuments placed for or reference monuments or markers to the corner of all corner corners of the boundary of the property, unless already marked or referenced by existing monuments or markers in clear possession by the owner. (Table A Item 7)
- No buildings located on site. (Table A Item 7)
- Other than those shown on survey, no substantial features were located on subject tracts. (Table A Item 8)

TRACT 1 (GF No. 168115) LEGAL DESCRIPTION

A .343 acre tract of land, more or less, out of Block A4, EAST RETAMA SUBDIVISION, Hidalgo County, Texas, according to the map recorded as Volume 2, Page 52, Map Records in the Office of the County Clerk of Hidalgo County, Texas, reference to which is here made for all purposes and more particularly described by metes and bounds as follows:

BEGAINING at a point on the East boundary line of Block 14, of East Retama Subdivision on Hidalgo County, Texas, said point is North 08 degrees, 39 minutes East 1,817.00 feet of the Southeast corner of Block 14;

THENCE, along the East boundary line of said Block A4, North 08 degrees, 39 minutes East 894.32 feet to a corner;

THENCE, North 81 degrees, 15 minutes West 1,670.00 feet to a corner, being the Northeast corner of a tract of 12.50 acres conveyed by J.R. Scarborough and wife, to Lawrence Scarborough by Deed dated October 15, 1941, recorded as Volume 495, Page 386, Deed Records of Hidalgo County, Texas;

THENCE, South along the East boundary of the said 12.50 acre tract passing a 200.00 foot West the Southeast corner of said 12.50 acre tract, continuing an old 894.32 feet to a corner, which is the Northeast corner of a 605.00 acre tract;

THENCE, South 80 degrees, 15 minutes East 1,670.00 feet, more or less to the POINT OF BEGINNING.

TRACT 2 (GF No. 168115) LEGAL DESCRIPTION

A tract of land containing 12.50 acres, more or less, out of the Northeast corner of Block A4, EAST RETAMA SUBDIVISION, Hidalgo County, Texas, according to the map recorded as Volume 2, Page 52, Map Records in the Office of the County Clerk of Hidalgo County, Texas, reference to which is here made for all purposes and more particularly described by metes and bounds as follows:

BEGINNING at a point on the West boundary line of Block A4, which point is 764.38 feet South of the Northwest corner of said lot 4;

THENCE, South 70.842 feet along the West boundary line of said lot 4 to a point;

THENCE, East 773.1 feet along a line parallel with and 873.2 feet South of the North boundary line of said lot 4 to a point;

THENCE, North 70.842 feet along a line parallel with and 1,670.00 feet West of the East boundary line of said lot 4 to the POINT OF BEGINNING.

THENCE, West 764.38 feet along a line parallel with and 764.38 feet South of the North boundary line of said lot 4 to the POINT OF BEGINNING.

SAME AND EXCEPT that tract of land conveyed to Hidalgo County Irrigation District #13, dated March 24, 1975, filed April 4, 1975 under Document Number 300327, Official Records of Hidalgo County, Texas.

TRACT 1 & 2 (GF No. 168115) SCHEDULE B EXCEPTIONS

- The following matters and all items of the documents creating or offering evidence of the matters:
 - Statutory easements, rules regulations and rights in favor of Hidalgo County Irrigation District #13 (UNABLE TO DETERMINE LOCATION - NO DOCUMENTS PROVIDED)
 - Residuals and reservations on shown on the map and dedication of East Retama Subdivision, recorded as Volume 2, Page 52, Map Records of Hidalgo County, Texas.
 - Right of Way easements as shown by instruments recorded as Volume 407, Page 505, BISHOP'S SUBDIVISION; IS NOT LOCATED WITHIN SUBJECT TRACTS; Volume 632, Page 405 (UNABLE TO DETERMINE LOCATION OR ANIMAL EASEMENT - POOR DESCRIPTION OF SURFACE RIGHTS); Volume 931, Page 376 (DOES NOT DESCRIBE SUBJECT PROPERTY); Volume 931, Page 345; Deed Records of Hidalgo County, Texas.
 - Right of way easement in favor of Central Power & Light Co. as shown by instruments dated May 21, 1931, recorded as Volume 351, Page 138, dated January 1, 1949, (UNABLE TO DETERMINE LOCATION - POOR DESCRIPTION OF SURFACE RIGHTS); NEED VOL. 223, PG. 298 recorded as Volume 652, Page 511, dated December 27, 1948 (UNABLE TO DETERMINE LOCATION - POOR DESCRIPTION OF SURFACE RIGHTS); and dated January 26, 1949, recorded as Volume 656, Page 457, Deed Records of Hidalgo County, Texas. (UNABLE TO DETERMINE LOCATION OR ANIMAL EASEMENT - POOR DESCRIPTION OF SURFACE RIGHTS)
 - Right of way easement in favor of Sheraland Water Supply Corporation as shown by instrument dated December 20, 1981, recorded as Volume 1766, Page 93, Official Records of Hidalgo County, Texas. (IS CORROB SUBJECT PROPERTY, AS SHOWN)
- Easement Agreement for Access in favor of Hidalgo County Irrigation District #13 as shown by instrument dated April 1, 1975, filed May 24, 1975 under Document Number 3013379 and corrected filed June 21, 1975 under Document Number 300466, Official Records of Hidalgo County, Texas. (IS CORROB SUBJECT PROPERTY, AS SHOWN)
- Lease for coal, lignite, oil, gas or other minerals, together with rights incident thereto, dated June 12, 1912, recorded as Volume 205, Page 394, dated April 1, 1936, recorded as Volume 375, Page 186, dated March 23, 1939, recorded as Volume 451, Page 667, 668, 669, 670 and 674, Oil and Gas Records of Hidalgo County, Texas. Reference to which instrument is here made for particulars. No further search of title has been made as to the interests evidenced by the instrument, and the Company makes no representation as to ownership or holder of such interests. (UNABLE TO DETERMINE LOCATION - POOR DESCRIPTION)
- Lease for coal, lignite, oil, gas or other minerals, together with rights incident thereto, dated March 21, 1942, recorded as Volume 475, Page 562, (UNABLE TO DETERMINE LOCATION - POOR DESCRIPTIONS and dated March 23, 1942, recorded as Volume 475, Page 57, (IS CORROB SUBJECT PROPERTY, BECAUSE IT IS NOT ON THE OIL AND GAS RECORDS OF HIDALGO COUNTY, TEXAS. REFERENCE TO WHICH INSTRUMENT IS HERE MADE FOR PARTICULARS. NO FURTHER SEARCH OF TITLE HAS BEEN MADE AS TO THE INTERESTS EVIDENCED BY THE INSTRUMENT, AND THE COMPANY MAKES NO REPRESENTATION AS TO OWNERSHIP OR HOLDER OF SUCH INTERESTS.)
- Subject to Farm lease as described in Deed dated May 12, 1936, filed May 24, 1936, under Document Number 3006176(1), Official Records of Hidalgo County, Texas. (IS CORROB SUBJECT PROPERTY, BECAUSE IT IS NOT ON RECORD)
- All water rights reserved as shown by instrument dated May 12, 1936, filed May 24, 1936 under Document Number 3006176(1), Official Records of Hidalgo County, Texas. (IS CORROB SUBJECT PROPERTY, BECAUSE IT IS NOT ON RECORD)
- Mineral and/or royalty reservation contained in deed dated July 19, 1977, recorded as Volume 1579, Page 272 and dated January 7, 1978, recorded as Volume 1249, Page 452, Deed Records of Hidalgo County, Texas. Title to the herein described mineral interest not checked subsequent to date of referenced instrument. (IS CORROB SUBJECT PROPERTY, BECAUSE IT IS NOT ON RECORD)
- Mineral and/or royalty reservation contained in deed dated May 12, 1936, filed May 24, 1936 under Document Number 3006176(1), Official Records of Hidalgo County, Texas. Title to the herein described mineral interest not checked subsequent to date of referenced instrument. (IS CORROB SUBJECT PROPERTY, BECAUSE IT IS NOT ON RECORD)
- Any claim or allegation that the land, described in Schedule "A", was or is to be conveyed in violation of state statute on any conveyance or managed instrument requiring the plotting of the land or offering subdivisions, or any loss of the use of the land by reason thereof
- Rights of parties or possessors (Owner's Policy Only)
- Visible and apparent easements on or across the property herein described.
- Any portion of the property described herein within the lands or boundaries of any public or private roadway and/or highway.
- Any encumbrance, easement, reservation, addition, variation, or adverse circumstance affecting the title that would be disclosed by an accurate and complete land survey of the land. (NOTE: LYNON RECEIPT OF A SURVEY ACCEPTABLE TO COMPANY. THIS DECISION WILL BE DULY CONSIDERED BY THE COMPANY RELATIVE TO THE RIGHT TO ADD ADDITIONAL EXCEPTIONS PER ITS EXAMINATION OF SAID SURVEY.)
- Any and all liens arising by reason of unpaid bills or claims for work performed or materials furnished in connection with improvements placed on or to be placed upon the subject land. However, the Company does not warrant the insured against any, but, not limited to the policy 4 such liens have been filed with the County Clerk of Hidalgo County, Texas, prior to the date hereof. Pending discharge of the full proceeds of the loan secured by the lien instrument set forth under Schedule A hereto, this policy insures only the extent of the amount actually disbursed, but insures in each other instrument is made in good faith and without knowledge of any defects in or alterations to, the title up to the face amount of the policy. Nothing contained in this paragraph shall be construed as limiting any exception under Schedule B, or any potential provisions of the policy. EXCEPTION MAY BE DULY CONSIDERED BY TRANSACTION DOES NOT INCLUDE COST OF CONTINGENT IMPROVEMENTS, CONSTRUCTION OR REPAIRS OR RETAINS AND LOAN PROCEEDS ARE FULLY DISBURSED.
- Any and all liens arising by reason of unpaid bills or claims for work performed or materials furnished in connection with improvements placed on or to be placed upon the subject land. However, the Company does not warrant that no such liens have been filed with the County Clerk of Hidalgo County, Texas, prior to the date hereof. Liability hereunder of the date hereof is limited to \$_____ Liability shall increase as contemplated improvements are made, so that any lien payable hereunder shall be limited to said sum plus the amount actually expended by the insured on improvements of the "for" fee less, occurs. Any expenditures made for improvements, subsequent to the date of this policy, will be treated as of the date of this policy, to no more than the liability of the Company. However, the Company does not warrant the insured against any, but, not limited to the policy 4 such liens have been filed with the County Clerk of Hidalgo County, Texas, prior to the date hereof. EXCEPTION MAY BE DULY CONSIDERED BY TRANSACTION DOES NOT INCLUDE COST OF CONTINGENT IMPROVEMENTS, CONSTRUCTIONS OR REPAIRS.

CERTIFICATION

TO: VAL VISTA GRID, LLC AND CHICAGO TITLE INSURANCE COMPANY

THIS IS TO CERTIFY THAT THIS MAP OR PLAN AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 4765 MINIMUM STANDARD DEED REQUIREMENTS FOR ALLIANCE LAND TITLE SURVEYS, CONTROLLED AND ACCEPTED BY ALIA AND NPL, AND INCLUDED ITEMS 1, 2, 3, 4, 5, 6, 8, 9, 10, 11, 12, 13, 14 AND 18 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON AUGUST 7, 2020.

Date of Plot or Map: 08/07/2020

R. Geary
 Ramon L. Geary
 APPLS REG. NO. 10012621



PREPARED FOR:



REVISION	DATE	COMMENT

Val Vista-Battery Storage Project

Hidalgo County, Texas

-  Val Vista Project Area
-  Project Transmission Line
-  Parcels
-  ROW_Dedication_20ft
-  Project Substation
-  BESS Yard
-  Stormwater & Landscaping
- Site Access**
-  24' Private Road
-  24' On-Site Circulation
-  15' Gravel
-  Fenceline



**Project Area
52 Acres**

**Project
Substation
1.8 Acres**

**BESS
Yard
50MW**

**BESS
Yard
50MW**

**BESS
Yard
50MW**

**BESS
Yard
50MW**

**BESS
Yard
50MW**

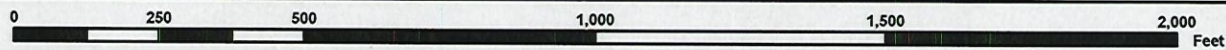
**BESS
Yard
50MW**

Seminary Rd

Seminary Rd



Scale: 1:4,259



NAD83 State Plane Texas
South Central 4204



NOTIFICATION

Dear Property Owner:

A public hearing will be held on Tuesday, May 11, 2021 at 4:00 p.m. in the Edinburg City Hall, City Council Chambers, located at 415 West University Drive, at which time the Planning and Zoning Commission will consider the following:

REZONING REQUEST FROM AUTO URBAN RESIDENTIAL (AU) DISTRICT TO INDUSTRIAL (I) DISTRICT, BEING (TRACT1) 34.5 ACRE TRACT OF LAND, MORE OR LESS, OUT OF THE NORTHWEST CORNER OF BLOCK 24, EAST RETAMA SUBDIVISION AND (TRACT 2) 12.52 ACRES, MORE OR LESS, OUT OF THE NORTHWEST CORNER OF BLOCK 24, EAST RETAMA SUBDIVISION, LOCATED AT 4221 NORTH SEMINARY ROAD, AS REQUESTED BY VAL VISTA GRID, LLC

This request is scheduled to be heard by the City Council on Tuesday, June 1, 2021 at 6:00 p.m. As adjacent property owner you are invited to attend. Please note that meeting time (s) and date (s) are subject to change. Therefore; please call on the date of the meeting to assure that the item is on the agenda. As part of the City effort to encourage greater participation in the rezoning process, the City is using this notice to solicit your input. Please place a checkmark on the appropriate box to indicate if you are in favor, against, or have no comments on this request.

You may return your response by one of the following:

- MAIL- P. O. Box 1079 Edinburg, Texas 78540
- FAX- (956) 292-2080 by Tuesday, May 11, 2021
- EMAIL- planning@cityofedinburg.com

Should you have any questions or need more information regarding this notice, you may call (956) 388-8202.

In Favor/A Favor Against/En Contra No Comments/No Comentario

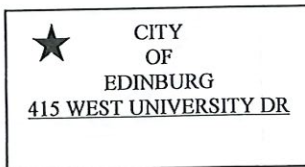
Comments: Perfect place for Industrial Development.

Print Name: Jose G. ORTEGON Phone No.: (956) 451-8456
Address: 328 Blue Bird Ave City: McAllen State: TEXAS Zip: 78504

NOTIFICACION

Si Tiene preguntas o necesita mas información sobre esta aplicación, o el lugar de la audiencia, por favor llame al 956-388-8202.

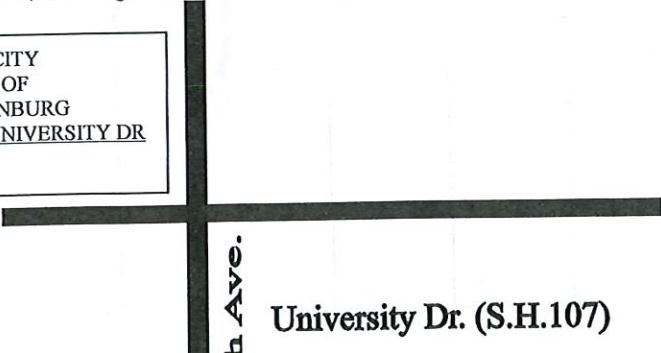
Planning and Zoning Department
City of Edinburg
PO BOX 1079
Edinburg, TX 78540-1079



RECEIVED

MAY 03 2021

Name: _____





NOTIFICATION

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- FAX- (956) 292-2080 by Tuesday, May 11, 2021
- EMAIL- planning@cityofedinburg.com

Should you have any questions or need more information regarding this notice, you may call (956) 388-8202.

In Favor/A Favor Against/En Contra No Comments/No Comentario

Comments: Best suited place for INDUSTRIAL CONSTRUCTION
After LAST Freeze AND ELECTRICAL OUTAGES

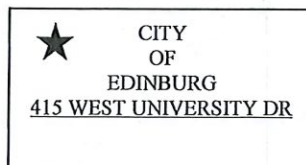
Print Name: ADRIANA D. ORTEGA Phone No.: (956) 225-4711

Address: 328 Blue Bird Ave City: McAllen State: TEXAS Zip: 78504

NOTIFICACION

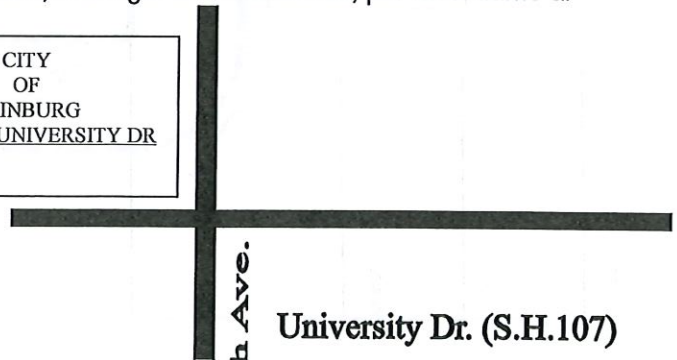
Si Tiene preguntas o necesita mas información sobre esta aplicación, o el lugar de la audiencia, por favor llame al 956-388-8202.

Planning and Zoning Department
City of Edinburg
PO BOX 1079
Edinburg, TX 78540-1079



RECEIVED
MAY 03 2021

Name: _____



University Dr. (S.H.107)





CITY OF EDINBURG
Planning & Zoning Commission

Regular Meeting

Meeting Date:

5/11/2021

Rezoning Request

AGENDA ITEM:

Hold Public Hearing and Consider the Rezoning Request from Agriculture (AG) District to Auto Urban Residential (AU) District, being a 17.979 acre tract of land out of the East ½ of Lot 54, Kelly-Pharr Subdivision, located at 801 West Alberta Road, as requested by Matias Reyna [Planning & Zoning – Kimberly Mendoza, Director of Planning & Zoning]

DESCRIPTION / SCOPE:

The property is located at the northeast corner of Shalom Drive and W. Alberta Road and is currently vacant. The tract has 245.40 ft. of frontage along W. Alberta Road and 1,320 ft. of depth for a tract size of 17.979 acres. The requested zoning designation allows for single family uses on the subject property. The applicant is requesting the change of zone to develop a single-family residential subdivision submitted under the name of Alberta Heights, which received preliminary plat approval by the Planning & Zoning Commission on February 9, 2021. The subdivision consists of 66 lots ranging from 8,567.50 square feet to 15,526 square feet.

The property is currently zoned Agriculture (AG) District. The surrounding zoning is Urban Residential (UR) District to the north, Suburban Residential (S) District to the east and west, and Auto Urban Residential (AU) District to the south. The surrounding land uses consist of single family residential uses and vacant land. The future land use designation is Auto Urban Uses.

Staff mailed a notice of the public hearing before the Planning & Zoning Commission to 37 neighboring property owners and received no comments in favor or against this request at the time of the report.

ESTIMATED TIMELINE:

The recommendation of approval or denial of this public hearing is scheduled for consideration by the City Council on June 1, 2021. City Council's decision is the final step in the zoning process for this property. If denied the applicant may not request the proposed zoning classification for a 12 month period from the date of denial.

STAFF RECOMMENDATION:

Staff recommends approval of the Rezoning Request from Agriculture (AG) District to Auto Urban Residential (AU) District, based on the development trend in the area. If approved, the applicant will need to comply with all requirements during the permitting process including compliance with subdivision regulations, building and fire codes, fire protection, parking, landscape buffer-yards, solid waste services, utility, and any other City requirements, as applicable.

JUSTIFICATION:

Staff recommends approval of the Rezoning Request from Agriculture (AG) District to Auto Urban Residential (AU) District, based on the development trend in the area. The requested zoning is consistent with the future land use plan. A single family residential development is permitted in the Auto Urban Residential District.

Rita Lee Guerrero
Urban Planner

Kimberly A. Mendoza, MPA
Director of Planning & Zoning

MEETING DATES:
PLANNING & ZONING COMMISSION – 05/11/2021
CITY COUNCIL – 06/01/2021
DATE PREPARED – 05/03/2021

STAFF REPORT
GENERAL INFORMATION

APPLICATION: Rezoning Request from Agriculture (AG) District to Auto Urban Residential (AU) District

APPLICANT: Matias Reyna

AGENT: Trevino Engineering

LEGAL: Being 17.979 acre tract of land out of the East ½ of Lot 54, Kelly Pharr Subdivision

LOCATION: Located at 801 West Alberta Road

LOT/TRACT SIZE: 17.979 acres

CURRENT USE OF PROPERTY: Vacant

PROPOSED USE OF PROPERTY: Single Family Residential Development

EXISTING LAND USE Auto Urban Uses

ADJACENT ZONING: North – Urban Residential (UR) District
South – Auto Urban Residential (AU) District
East - Suburban Residential (S) District
West - Suburban Residential (S) District

LAND USE PLAN DESIGNATION: Auto Urban Uses

PUBLIC SERVICES: City of Edinburg Water/ Sewer

RECOMMENDATION: Staff recommends approval of the Rezoning Request from Agriculture (AG) District to Auto Urban Residential (AU) District

**REZONING REQUEST
MATIAS REYNA**

EVALUATION

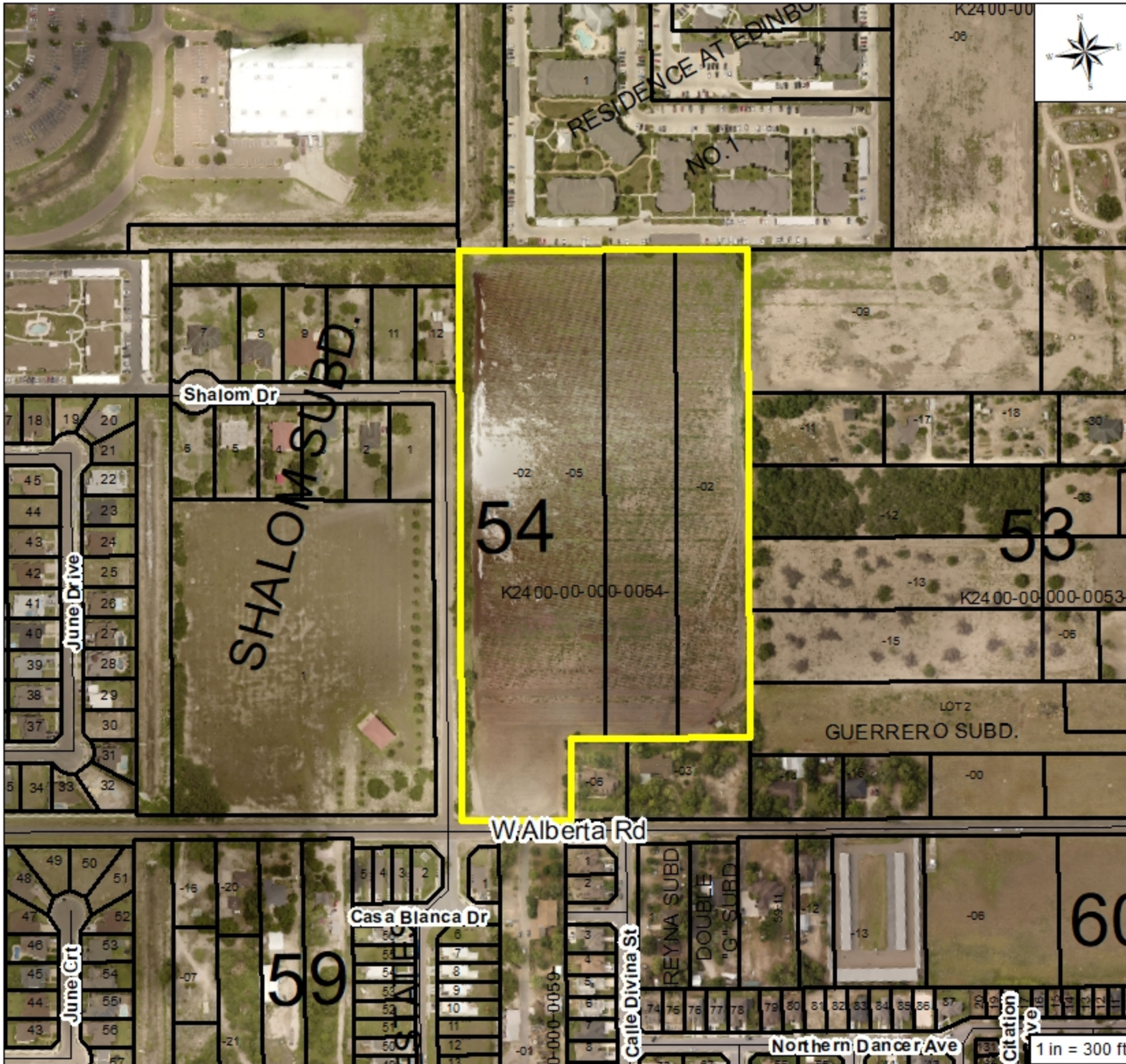
The following is staff's evaluation of the request.

1. The land use pattern for this area of the community consists of single family residential uses and vacant land.
2. The applicant is requesting the change of zone to construct a single family residential development.

Staff recommends approval of the Rezoning Request from Agriculture (AG) District to Auto Urban Residential (AU) District, based on the development trend in the area. If approved, the applicant will need to comply with all requirements during the permitting process including compliance with subdivision regulations, building and fire codes, fire protection, parking, landscape buffer-yards, solid waste services, utility, and any other City requirements, as applicable.

Staff mailed a notice of the public hearing before the Planning & Zoning Commission to 37 neighboring property owners and received no comments in favor or against this request at the time of the report.

ATTACHMENTS: Aerial Photo
Zoning Map
Future Land Use Map
Photo of site
Exhibits





AERIAL MAP
CASE CAPTION:

APPLICANT NAME:
MATIAS REYNA

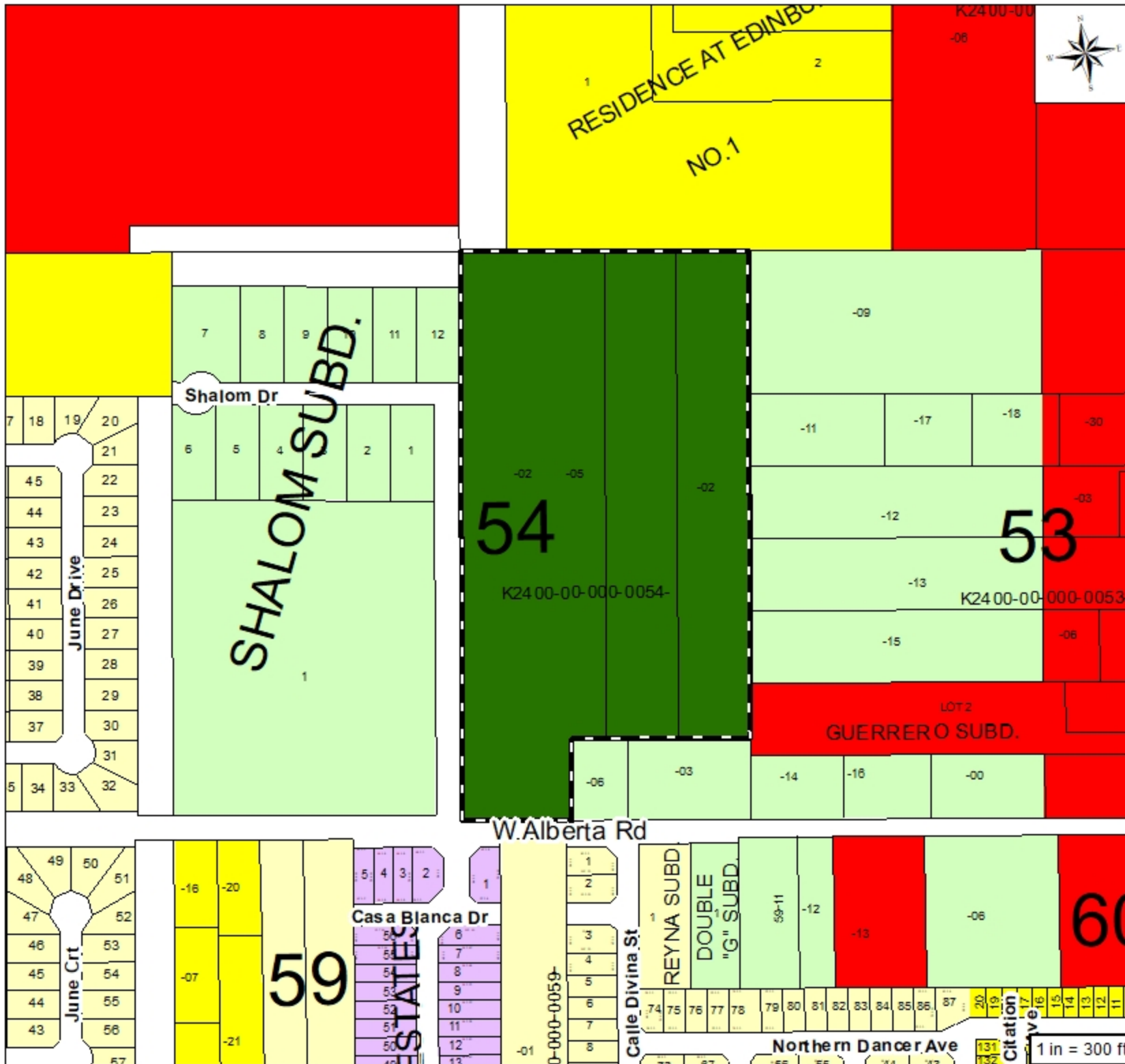
CONSIDER THE REZONING REQUEST FROM AGRICULTURE (AG) DISTRICT TO AUTO URBAN (AU) RESIDENTIAL DISTRICT, BEING 17.979 ACRE TRACT OF LAND, BEING OUT OF THE EAST 1/2 OF LOT 54, KELLY PHARR SUBDIVISION, LOCATED AT 801 WEST ALBERTA ROAD, AS REQUESTED BY MATIAS REYNA

Legend

-  CITY LIMITS
-  APPLICANT SITE



1 in = 300 ft



RESIDENCE AT EDINBURG
NO.1

SHALOM SUBD.

54

53

59

60



ZONING MAP
CASE CAPTION:

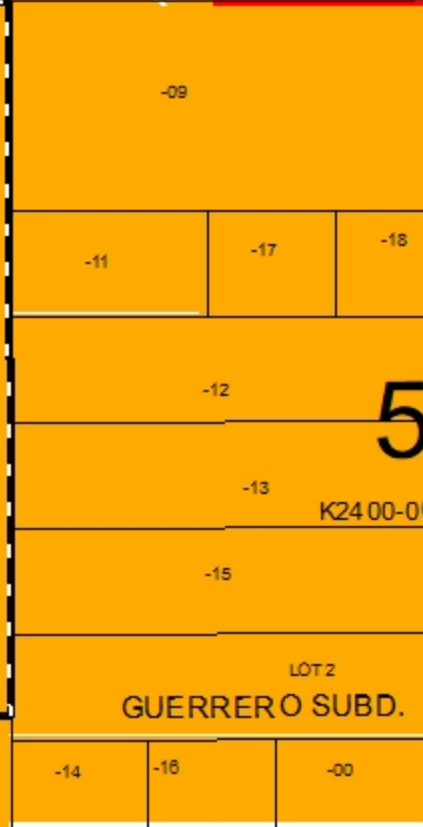
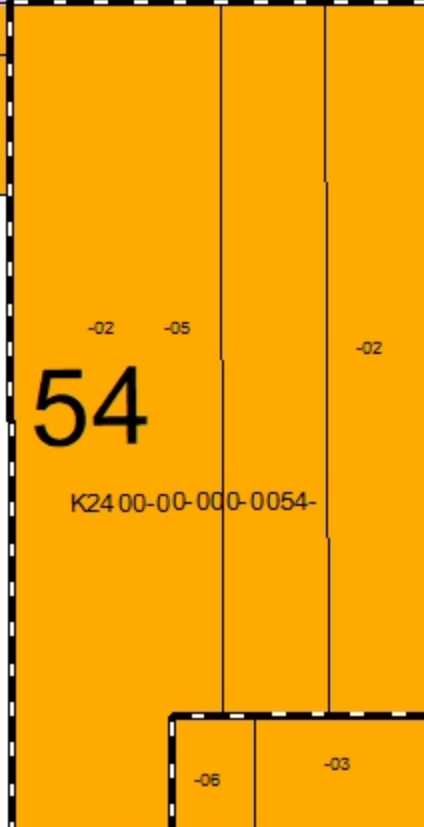
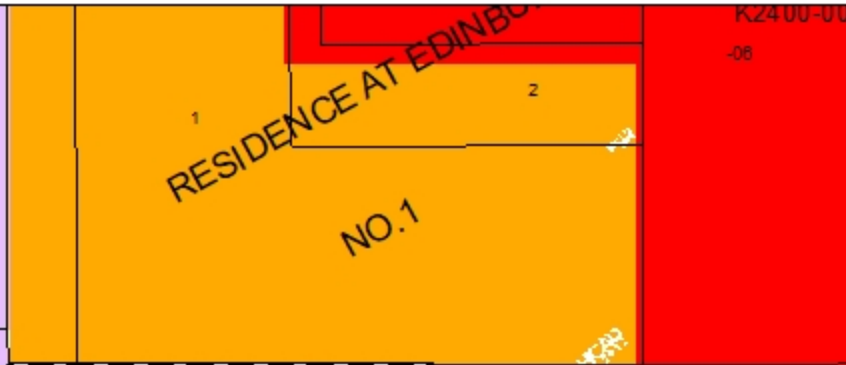
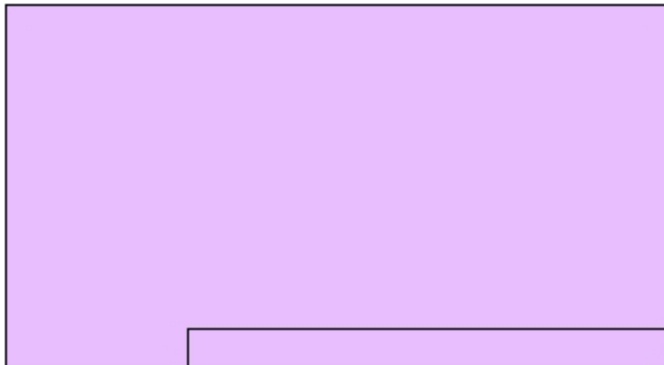
APPLICANT NAME:
MATIAS REYNA

- Legend**
- CITY LIMITS
 - APPLICANT SITE
 - ZONING DISTRICTS**
 - AGRICULTURE
 - AUTO-URBAN RESIDENTIAL
 - COMMERCIAL, GENERAL
 - COMMERCIAL, NEIGHBORHOOD
 - DOWNTOWN DISTRICT
 - INDUSTRIAL
 - NEIGHBORHOOD CONSERVATION 5
 - NEIGHBORHOOD CONSERVATION 7.1
 - NEIGHBORHOOD CONSERVATION MH
 - SUBURBAN RESIDENTIAL
 - URBAN RESIDENTIAL
 - URBAN UNIVERSITY

SITE LOCATION MAP



1 in = 300 ft



FUTURE LAND USE MAP

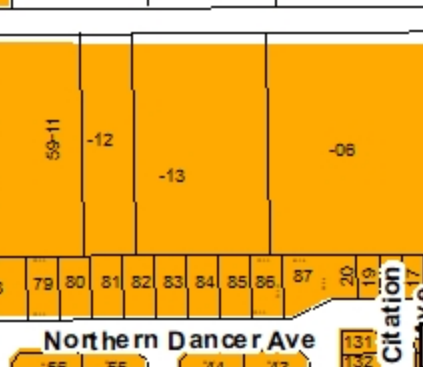
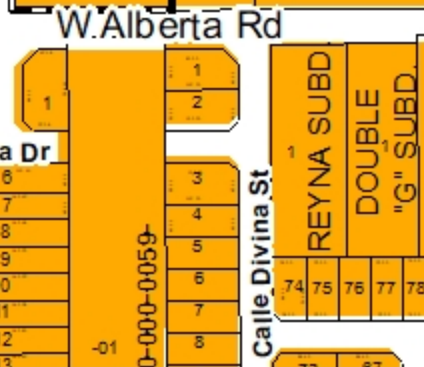
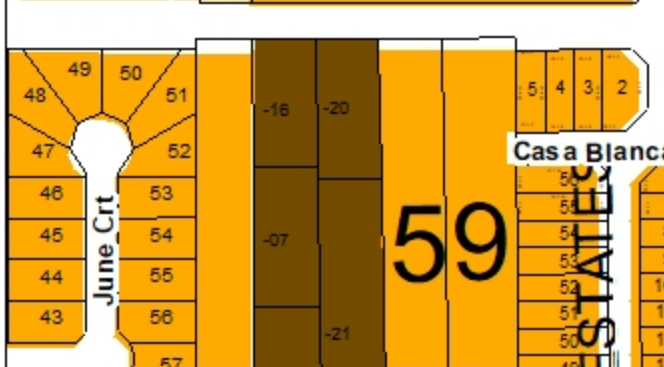
CASE CAPTION:

APPLICANT NAME:
MATIAS REYNA

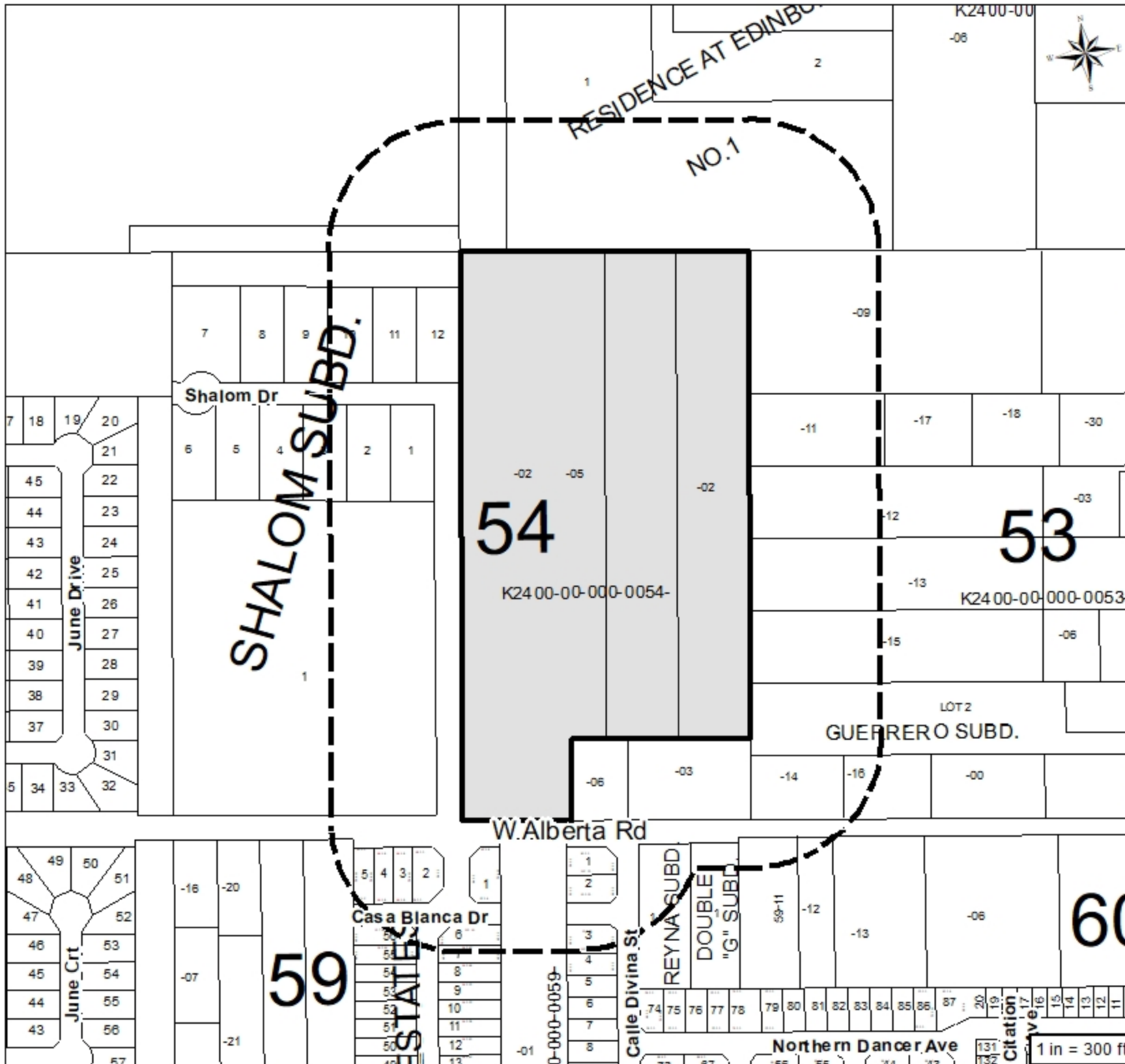
Legend

-  CITY LIMITS
-  APPLICANT SITE
- FUTURE LAND USE**
-  Agriculture
-  Auto-Urban
-  Downtown District
-  General Commercial
-  Industrial
-  Mobile Home
-  Neighborhood Commercial
-  Office Business Park
-  Suburban
-  Urban
-  Urban University

SITE LOCATION MAP



1 in = 300 ft






MAILOUT AND SITE MAP

CASE CAPTION:

APPLICANT NAME:
MATIAS REYNA

CONSIDER THE REZONING REQUEST FROM AGRICULTURE (AG) DISTRICT TO AUTO URBAN (AU) RESIDENTIAL DISTRICT, BEING 17.979 ACRE TRACT OF LAND, BEING OUT OF THE EAST 1/2 OF LOT 54, KELLY PHARR SUBDIVISION, LOCATED AT 801 WEST ALBERTA ROAD, AS REQUESTED BY MATIAS REYNA

Legend

-  CITY LIMITS
-  300FT NOTIFICATION
-  APPLICANT SITE

SITE LOCATION MAP



K2400-00

-08

RESIDENCE AT EDINBURG
NO.1

SHALOM SUBD.

54

K2400-00-000-0054-

53

K2400-00-000-0053-

LOT 2
GUERRERO SUBD.

W. Alberta Rd

Casa Blanca Dr

REYNA SUBD
DOUBLE "G" SUBD
Calle Divina St

Northern Dancer Ave

60

1 in = 300 ft

ALBERTA HEIGHTS SUBDIVISION

A 17.979-ACRE TRACT OF LAND, BEING OUT OF THE EAST 1/2 (20.00 ACRES RECORDED - 19.98 ACRES FIELD MEASURED) OF LOT 54, KELLY PHARR SUBDIVISION, AS PER THE MAP OR PLAT THEREOF RECORDED IN VOLUME 3, PAGES 133-134, DEED RECORDS IN THE OFFICE OF THE COUNTY CLERK OF HIDALGO COUNTY, TEXAS.

METES AND BOUNDS

A 17.979-ACRE TRACT OF LAND, BEING OUT OF THE EAST 1/2 (20.00 ACRES RECORDED - 19.98 ACRES FIELD MEASURED) OF LOT 54, KELLY PHARR SUBDIVISION, AS PER THE MAP OR PLAT THEREOF RECORDED IN VOLUME 3, PAGES 133-134, DEED RECORDS IN THE OFFICE OF THE COUNTY CLERK OF HIDALGO COUNTY, TEXAS (REFERENCE TO WHICH IS HERE MADE FOR ALL PURPOSES), AND LYING ON THE NORTH SIDE OF ALBERTA ROAD APPROXIMATELY 1,734.60 FEET WEST OF BUSINESS HIGHWAY 281 CENTER LINE, IS MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

THE POINT OF COMMENCEMENT (P.O.C.) BEING AT A FOUND NO.4 REBAR ON THE APPARENT NORTHEAST CORNER OF SAID LOT 54, KELLY PHARR SUBDIVISION AND FOR THE APPARENT NORTHEAST CORNER OF SAID 17.979-ACRE TRACT AND BEING ALSO THE POINT OF BEGINNING (P.O.B.) BEING AT A FOUND NO.4 REBAR ON THE APPARENT NORTHEAST CORNER OF SAID 17.979-ACRE TRACT OF LAND HEREIN DESCRIBED;

TENCE, S 08°25'00"W, WITH THE APPARENT EAST LOT LINE OF SAID LOT 54 AND FOR THE APPARENT EASTERNMOST EAST LOT LINE OF SAID 17.979-ACRE TRACT, A DISTANCE OF 1,109.70 FEET TO A SET NO.4 REBAR WITH PLASTIC CAP STAMPED 2791 FOR THE APPARENT EASTERNMOST SOUTHEAST CORNER OF SAID 17.979-ACRE TRACT OF LAND HEREIN DESCRIBED;

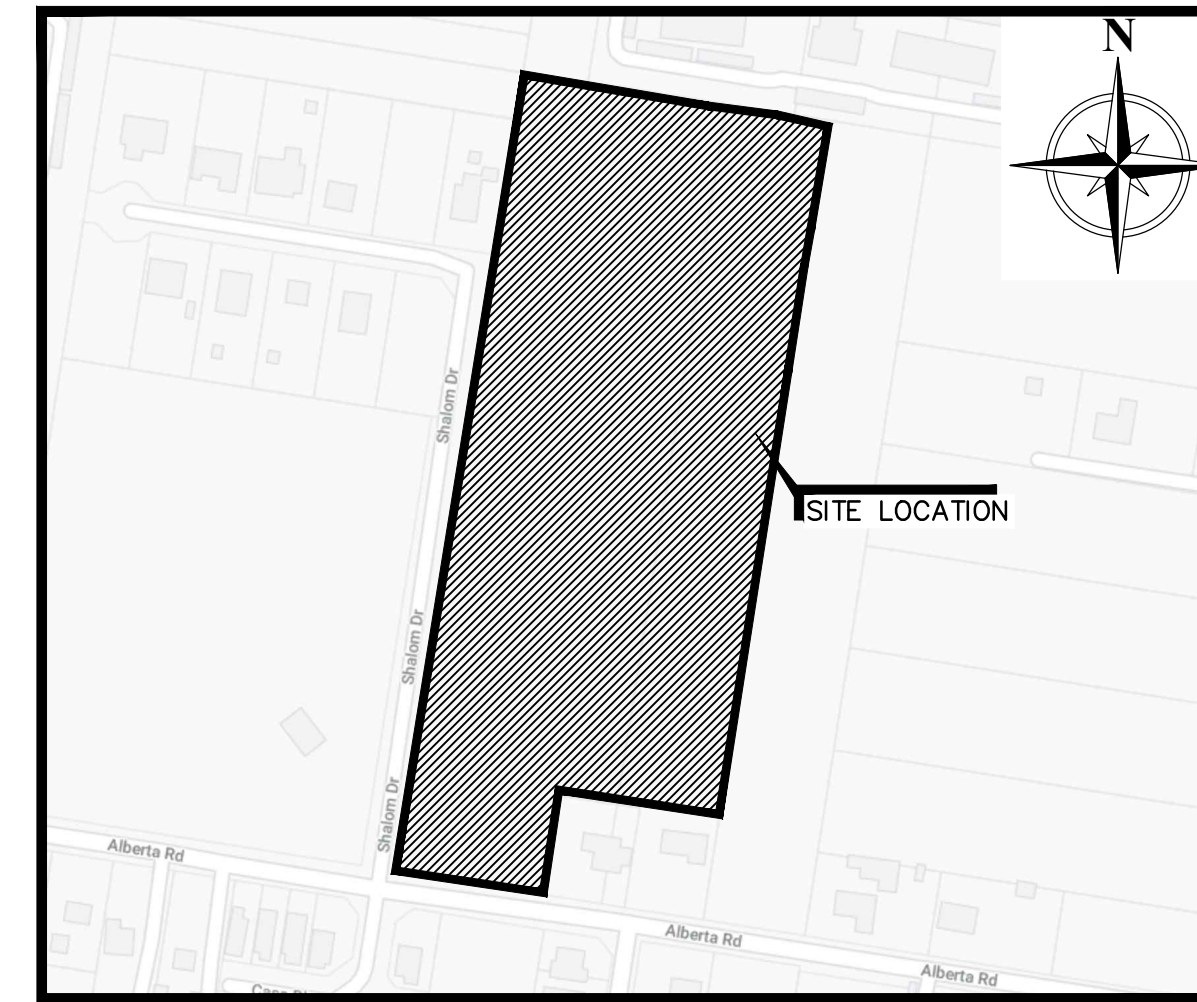
TENCE, N 81°35'00"W, WITH A LINE PARALLEL TO THE APPARENT NORTH LOT LINE OF SAID LOT 54 AND WITH THE APPARENT NORTHERNMOST SOUTH LOT LINE OF SAID 17.979-ACRE TRACT, A DISTANCE OF 414.60 FEET TO A SET NO.4 REBAR WITH PLASTIC CAP STAMPED 2791 FOR AN INSIDE CORNER OF SAID 17.979-ACRE TRACT OF LAND HEREIN DESCRIBED;

TENCE, S 08°25'00"W, WITH A LINE PARALLEL TO THE SAID EAST LOT LINE OF SAID LOT 54 AND WITH THE APPARENT WESTERNMOST EAST LOT LINE OF SAID 17.979-ACRE TRACT, A DISTANCE OF 190.30 FEET TO A SET NO.4 REBAR WITH PLASTIC CAP STAMPED 2791 ON THE APPARENT EXISTING NORTH-RIGHT-OF-WAY LINE OF SAID ALBERTA ROAD, CONTINUING FOR A TOTAL DISTANCE OF 210.30 FEET TO A POINT ON THE INTERSECTION WITH THE APPARENT SOUTH LOT LINE OF SAID LOT 54 AND THE APPARENT EXISTING ALBERTA ROAD CENTER LINE FOR THE APPARENT SOUTHERNMOST SOUTHEAST CORNER OF SAID 17.979-ACRE TRACT OF LAND HEREIN DESCRIBED;

TENCE, N 81°35'00"W, WITH THE SAID EXISTING CENTERLINE OF ALBERTA ROAD, THE APPARENT SOUTH LOT LINE OF SAID LOT 54, AND WITH THE SOUTHERNMOST SOUTH LOT LINE OF SAID 17.979-ACRE TRACT, A DISTANCE OF 244.75 (245.40 PLAT CALL) FEET TO A POINT FOR THE APPARENT SOUTHWEST CORNER OF SAID EAST 1/2 OF LOT 54 AND OF THE 17.979-ACRE TRACT OF LAND HEREIN DESCRIBED;

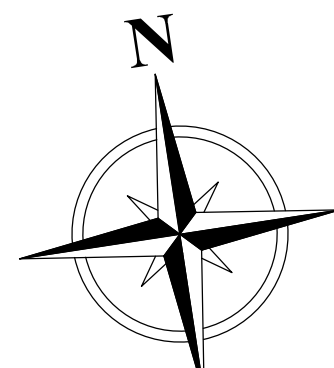
TENCE, N 08°25'00"W, WITH A LINE PARALLEL TO THE APPARENT EAST LOT LINE OF SAID 54 AND WITH THE APPARENT WEST LOT LINE OF SAID EAST 1/2 OF LOT 54 AND WITH THE APPARENT WEST LOT LINE OF SAID 17.979-ACRE TRACT, A DISTANCE OF 20.00 FEET TO A SET NO.4 REBAR WITH PLASTIC CAP STAMPED 2791 ON THE APPARENT INTERSECTION OF THE APPARENT EXISTING EAST-RIGHT-OF-WAY LINE OF SHALOM DRIVE AND THE SAID EXISTING NORTH-RIGHT-OF-WAY LINE OF ALBERTA ROAD, CONTINUING FOR A DISTANCE OF 1,318.89 FEET PASSING A FOUND NO.4 REBAR, AND CONTINUING FOR A TOTAL DISTANCE OF 1,320.00 FEET TO A POINT BEARING N 08°25'00"E, A DISTANCE OF 1.11 FEET FROM THE PASSED FOUND PIN BEING AT THE APPARENT INTERSECTION WITH THE SAID NORTH LOT LINE OF LOT 54 FOR THE APPARENT NORTHWEST CORNER OF SAID EAST 1/2 OF LOT 54 AND OF SAID 17.979-ACRE TRACT OF LAND HEREIN DESCRIBED;

TENCE, S 81°35'00"E, WITH THE SAID NORTH LOT LINE OF LOT 54 AND THE APPARENT NORTH LOT LINE OF SAID 17.979-ACRE TRACT, A DISTANCE OF 659.39 FEET (660.00 FEET PLAT CALL) TO A FOUND NO.4 REBAR FOR THE NORTHEAST CORNER OF SAID LOT 54 AND OF SAID 17.979-ACRE TRACT OF LAND HEREIN DESCRIBED, BEING THE POINT OF BEGINNING, CONTAINING 17.979 ACRES OF LAND, MORE OR LESS, OF WHICH 0.227 OF AN ACRE LIES IN THE IRRIGATION EASEMENT AND 0.112 OF AN ACRE LIES WITHIN THE ROAD-RIGHT-OF-WAY OF SAID ALBERTA ROAD, LEAVING A NET OF 17.640 ACRES OF LAND, MORE OR LESS.



LOCATION MAP
SCALE: 1"=500'

A 17.979-ACRE TRACT OF LAND, BEING OUT OF THE EAST 1/2 (20.00 ACRES RECORDED - 19.98 ACRES FIELD MEASURED) OF LOT 54, KELLY PHARR SUBDIVISION, AS PER THE MAP OR PLAT THEREOF RECORDED IN VOLUME 3, PAGES 133-134, DEED RECORDS IN THE OFFICE OF THE COUNTY CLERK OF HIDALGO COUNTY, TEXAS.



SCALE: 1"=100'

LEGEND

- - FND. 1/2" IRON ROD
- - SET 1/2" IRON ROD SET
- - FND. 5/8" IRON ROD
- - FND. 2" IRON PIPE

R.O.W. - RIGHT OF WAY
FND. - FOUND
P.O.C. - POINT OF COMMENCEMENT
P.O.B. - POINT OF BEGINNING

Curve Table

Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C1	65.45	50.00	75.00	S14° 05' 00"E	60.88
C2	52.36	50.00	60.00	S53° 25' 00"W	50.00
C3	58.31	50.00	66.82	N63° 10' 32"W	55.06
C4	7.14	50.00	8.18	N25° 40' 32"W	7.14
C5	7.14	50.00	8.18	S42° 50' 32"W	7.14
C6	58.31	50.00	66.82	S67° 00' 32"W	55.06
C7	53.38	50.00	60.00	N15° 35' 00"W	50.00
C8	65.45	50.00	75.00	N30° 55' 00"E	60.88
C9	65.45	50.00	75.00	N14° 05' 00"W	60.88
C10	52.36	50.00	60.00	N53° 25' 00"E	50.00
C11	65.45	50.00	75.00	S59° 05' 00"E	60.88

SURVEY NOTES:

1. ALL BEARING AND DISTANCES ARE BASED ON THE NORTH AMERICAN DATUM OF 1983 (NAD83), TEXAS STATE PLANE, SOUTH ZONE.
2. ALL HORIZONTAL CONTROL ON THIS PROJECT HAS ESTABLISHED UTILIZING RTK GPS METHODS.
3. ELEVATIONS ON THIS PROJECT ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD88)

STATE OF TEXAS COUNTY OF HIDALGO

I, (WE) THE UNDERSIGNED, OWNER(S) OF THE LAND SHOWN ON THIS PLAT, AND DESIGNATED HEREIN AS **ALBERTA HEIGHTS SUBDIVISION**, ADDITION TO THE CITY OF EDINBURG, TEXAS AND WHOSE NAME IS SUBSCRIBED HERETO, HEREBY DEDICATE THE FEE TITLE TO THE USE OF THE PUBLIC FOREVER ALL STREETS, ALLEYS, PARKS, WATER COURSES, DRAINS, EASEMENTS, AND PUBLIC PLACES, AND SUCH OTHER USES AS THE CITY DESIRES TO MAKE OF SAID PROPERTY THEREON SHOWN FOR THE PURPOSE OF CONSIDERATION THEREIN EXPRESSED.

URBAN CITY DEVELOPERS, LLC
ROXANA LOPEZ
4501 EXPRESSWAY 83
MCALLEN, TEXAS 78503

STATE OF TEXAS COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, ON THIS DAY PERSONALLY APPEARED **ROXANA LOPEZ** AND PROVED TO ME THROUGH HER TEXAS DEPARTMENT OF PUBLIC SAFETY DRIVERS LICENSE TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, WHO, BEING BY ME, FIRST DULY SWORN AND DECLARED THAT THE STATEMENTS THEREIN ARE TRUE AND CORRECT AND ACKNOWLEDGED THAT HE EXECUTED THE SAME FOR THE PURPOSE AND CONSIDERATIONS THEREBY EXPRESSED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS THE _____ DAY OF _____, 2021.

NOTARY PUBLIC, HIDALGO COUNTY, TEXAS
MY COMMISSION EXPIRES: _____

CITY OF EDINBURG, TEXAS COUNTY OF HIDALGO

I, **KIMBERLY MENDOZA** ADMINISTRATOR / DIRECTOR OF PLANNING AND ZONING DEPARTMENT OF THE CITY OF EDINBURG TEXAS DO HEREBY CERTIFY THIS SUBDIVISION PLAT KNOWN AS **ALBERTA HEIGHTS SUBDIVISION** CONFORMS TO ALL SUBDIVISION REQUIREMENTS OF THE CITY WHEREIN MY APPROVAL IS REQUIRED AND HAS BEEN APPROVED FOR RECORDING ON THIS _____ DAY OF _____, 2021 WITH THE COUNTY CLERK OF HIDALGO COUNTY TEXAS.

ADMINISTRATOR / PLANNING AND ZONING DEPARTMENT DIRECTOR

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEX. WATER CODE § 49.21(C). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION, BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER OF THE SUBDIVISION AND ITS ENGINEER TO MAKE THESE DETERMINATIONS.

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1

By: **RAUL E. SESIN, P.E., C.F.M.** GENERAL MANAGER DATE _____

THIS PLAT IS HEREBY APPROVED BY THE HIDALGO COUNTY IRRIGATION DISTRICT #2 ON THIS _____ DAY OF _____, 2021 NO IMPROVEMENTS OF ANY KIND (INCLUDING WITHOUT LIMITATION, TREES, FENCES, AND BUILDINGS) SHALL BE PLACED UPON HIDALGO COUNTY IRRIGATION DISTRICT #2 RIGHTS OF WAYS OR EASEMENTS.

ATTEST: _____ PRESIDENT SECRETARY

GENERAL NOTES:

1. THIS PROPERTY IS LOCATED IN ZONE "X" (SHADED) AREAS OF 500 YEAR-FLOOD; AREAS OF 100-YEAR FLOOD WITH AVERAGE DEPTHS OF LESS THAN A 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 100-YEAR FLOOD. COMMUNITY PANEL NO. 480338 0030 E MAP REVISED: JUNE 06, 2000 REVISED TO REFLECT LOMR: MAY 14, 2001
2. THE MINIMUM PERMISSIBLE FINISH FLOOR ELEVATION IS 18" ABOVE THE TOP OF CURB MEASURED FROM THE CENTER AND AT THE FRONT OF EACH RESIDENTIAL LOT.
3. MINIMUM BUILDING SETBACKS SHALL COMPLY WITH THE CITY OF EDINBURG ZONING ORDINANCE.
4. THIS SUBDIVISION IS REQUIRED TO DETAIN 80,056 C.F. (1,838 AC.-FT.) OF STORM RUNOFF.
5. PROJECT BENCHMARK: TOP OF CURB INLET IN FRONT OF THIS PROPERTY ELEVATION = 101.61
6. NO BUILDING ALLOWED OVER ANY EASEMENT.
7. ALL UTILITY EASEMENTS SHALL BE PROPERLY MAINTAINED BY THE OWNER AS PER CITY ORDINANCE.
8. A 5 FOOT SIDEWALK IS REQUIRED ALONG THE NORTH SIDE OF ALBERTA ROAD.
9. AN ENGINEERED DETENTION PLAN MUST BE APPROVED BY THE CITY OF EDINBURG PRIOR TO ISSUANCE OF A BUILDING PERMIT.
10. A 6' BUFFER IS REQUIRED FROM COMMERCIAL/RESIDENTIAL USES.
11. ALL SUBDIVISION IMPROVEMENTS SHALL COMPLY WITH STORM WATER POLLUTION PREVENTION PLAN (SWSP) REQUIREMENTS.

FILED FOR RECORD IN HIDALGO COUNTY ARTURO GUJARDO, JR.
ON: _____ AT _____ A.M./P.M.
INSTRUMENT NUMBER _____
OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS
BY: _____ DEPUTY CLERK

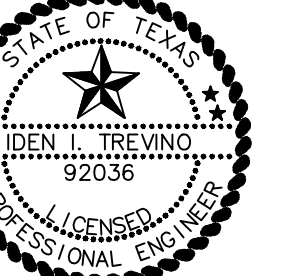
STATE OF TEXAS COUNTY OF HIDALGO

"KNOW ALL MEN BY THESE PRESENTS: THAT I, **HOMERO LUIS GUTIERREZ**, DO HEREBY CERTIFY, THAT I PREPARED THIS PLAT FROM AN ACTUAL ON THE GROUND SURVEY OF THE LAND AS DESCRIBED AND THAT THE CORNER MONUMENTS SHOWN THEREON WERE PROPERLY PLACED UNDER MY PERSONAL SUPERVISION IN ACCORDANCE WITH THE PLATTING RULES AND REGULATIONS OF THE CITY OF EDINBURG.

HOMERO LUIS GUTIERREZ, RPLS NO. 2791 DATE _____

STATE OF TEXAS COUNTY OF HIDALGO

I, THE UNDERSIGNED, **IDEN I. TREVIÑO**, A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN TO THIS PLAT.
IDEN I. TREVIÑO, PE NO. 92036 DATE _____



DATE OF PREPARATION: JANUARY 01, 2021

ALBERTA HEIGHTS SUBDIVISION

A 17.979-ACRE TRACT OF LAND, BEING OUT OF THE EAST 1/2 (20.00 ACRES RECORDED - 19.98 ACRES FIELD MEASURED) OF LOT 54, KELLY PHARR SUBDIVISION, AS PER THE MAP OR PLAT THEREOF RECORDED IN VOLUME 3, PAGES 133-134, DEED RECORDS IN THE OFFICE OF THE COUNTY CLERK OF HIDALGO COUNTY, TEXAS.

NO.	SHEET	REVISION	DATE	APPROVED

PRINCIPAL CONTACTS:

OWNER:	NAME	ADDRESS	CITY & ZIP	PHONE	FAX
	URBAN CITY DEVELOPERS, LLC	4501 EXPRESSWAY 83	MCALLEN, TEXAS 78503		
ENGINEER:	IDEN I. TREVIÑO, P.E.	200 S. 10TH ST. SUITE 1303	MCALLEN, TEXAS 78501	(956) 283-8847	
SURVEYOR:	HOMERO L. GUTIERREZ, RPLS	2520 BUDDY OWNENS BLVD.	MCALLEN, TEXAS 78504	(956) 249-8061	

TREVIÑO ENGINEERING
FIRM No. F-7906
TEL No. (956) 283-8847 200 S. 10th St. Ste. 1303
McAllen, Texas 78501
ident@trevinoengineering.com





CITY OF EDINBURG
Planning & Zoning Commission

Regular Meeting

Meeting Date:

5/11/2021

Comprehensive Plan Amendment
Rezoning Request

AGENDA ITEM:

Hold Public Hearing and Consider the Comprehensive Plan Amendment from Urban Uses to General Commercial Uses and the Rezoning Request from Urban Residential (UR) District to Commercial General (CG) District, being Lots 11 & 12, Block 13, Country Club Place Subdivision, located at 1523 S. 12th Avenue, as requested by Cesar Chapa [Planning & Zoning – Kimberly Mendoza, Director of Planning & Zoning]

DESCRIPTION / SCOPE:

The property is located at the northwest corner of S. 12th Avenue and E. Freddy Gonzalez Drive and is currently vacant. The tract has 111.60 ft. of frontage along S. 12th Avenue and 158.75 ft. of depth for a tract size of 17,716.5 square feet. The requested zoning designation allows for a commercial business on the subject property. The applicant is requesting the change of zone to construct an office building.

The property is currently zoned Urban Residential (UR) District. The surrounding zoning is Urban Residential (UR) District to the north, Neighborhood Conservation 5 (NC 5) District to the east, Suburban (S) Residential District to the south, and Commercial General (CG) District to the west. The surrounding land uses consist of commercial uses and single family residential uses. The future land use designation is Urban Uses.

Staff mailed a notice of the public hearing before the Planning & Zoning Commission to 21 neighboring property owners and received no comments in favor or against this request at the time of the report.

ESTIMATED TIMELINE:

The recommendation of approval or denial of this public hearing is scheduled for consideration by the City Council on June 1, 2021. City Council's decision is the final step in the zoning process for this property. If denied the applicant may not request the proposed zoning classification for a 12 month period from the date of denial.

STAFF RECOMMENDATION:

Staff recommends disapproval of the Comprehensive Plan Amendment from Urban Uses to General Commercial Uses and the Rezoning Request from Urban Residential (UR) District to Commercial General (CG) District based on the development trend in the area. If approved, the applicant will need to comply with all requirements during the permitting process including compliance with subdivision regulations, building and fire codes, fire protection, parking, landscape buffer-yards, solid waste services, utility, and any other City requirements, as applicable.

JUSTIFICATION:

Staff recommends disapproval of the Comprehensive Plan Amendment from Urban Uses to General Commercial Uses and the Rezoning Request from Urban Residential (UR) District to Commercial General (CG) District based on the adjacent single family residential uses, along S. 12th Avenue. The requested zoning is not consistent with the future land use plan.

Rita Lee Guerrero
Urban Planner

Kimberly A. Mendoza, MPA
Director of Planning & Zoning

MEETING DATES:
PLANNING & ZONING COMMISSION – 05/11/2021
CITY COUNCIL – 06/01/2021
DATE PREPARED – 04/30/2021

STAFF REPORT
GENERAL INFORMATION

APPLICATION: Comprehensive Plan Amendment from Urban Uses to General Commercial Uses and the Rezoning Request from Urban Residential (UR) District to Commercial General (CG) District

APPLICANT: Cesar Chapa

AGENT:

LEGAL: Being Lots 11 & 12, Block 13, Country Club Place Subdivision

LOCATION: Located at 1523 S. 12th Ave.

LOT/TRACT SIZE: 17,716.5 square feet

CURRENT USE OF PROPERTY: Vacant

PROPOSED USE OF PROPERTY: Commercial Development

EXISTING LAND USE Urban Uses

ADJACENT ZONING: North – Urban Residential (UR) District
South – Suburban (S) Residential District
East - Neighborhood Conservation 5 (NC 5) District
West - Commercial General (CG) District to the west

LAND USE PLAN DESIGNATION: Urban Uses

PUBLIC SERVICES: City of Edinburg Water / Sewer

RECOMMENDATION: Staff recommends disapproval of the Comprehensive Plan Amendment from Urban Uses to General Commercial Uses and the Rezoning Request from Urban Residential (UR) District to Commercial General (CG) District

**COMPREHENSIVE PLAN AMENDMENT
REZONING REQUEST
CESAR CHAPA**

EVALUATION

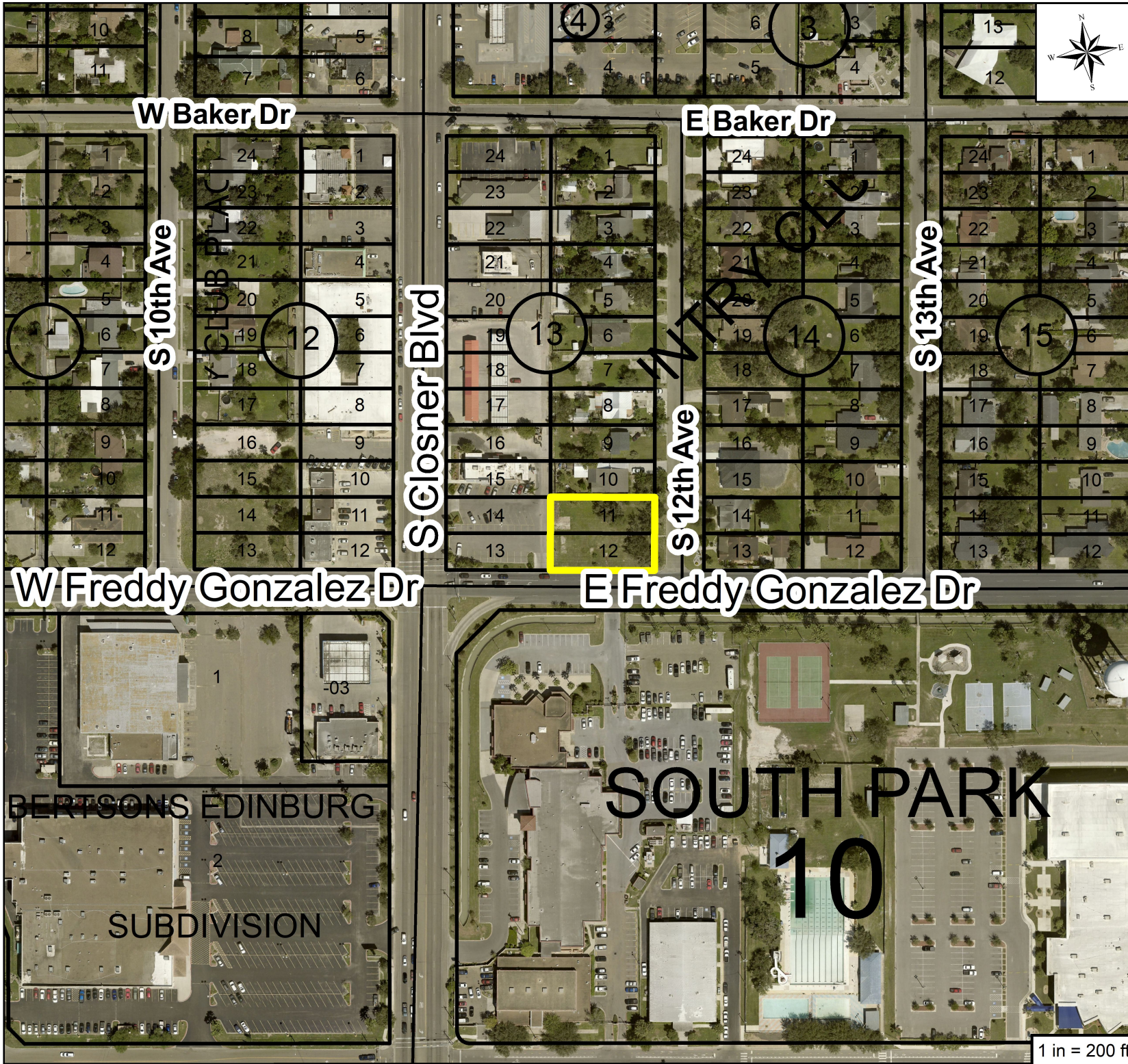
The following is staff's evaluation of the request.

1. The land use pattern for this area of the community consists of commercial uses and single family residential uses.
2. The applicant is requesting the change of zone to construct a commercial office.

Staff recommends disapproval of the Comprehensive Plan Amendment from Urban Uses to General Commercial Uses and the Rezoning Request from Urban Residential (UR) District to Commercial General (CG) District based on the adjacent single family residential uses along S. 12th Avenue. The requested zoning is not consistent with the future land use plan. If approved, the applicant will need to comply with all requirements during the permitting process including compliance with subdivision regulations, building and fire codes, fire protection, parking, landscape buffer-yards, solid waste services, utility, and any other City requirements, as applicable.

Staff mailed a notice of the public hearing before the Planning & Zoning Commission to 21 neighboring property owners and received no comments in favor or against this request at the time of the report.

ATTACHMENTS: Aerial Photo
Zoning Map
Future Land Use Map
Photo of site
Exhibits





AERIAL MAP

CASE CAPTION:

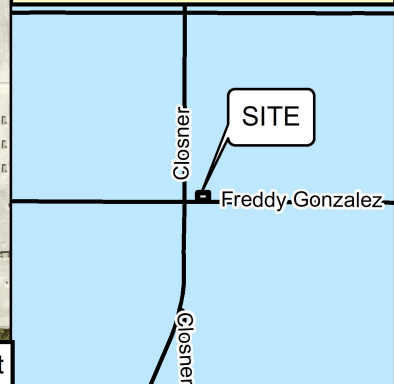
APPLICANT NAME:
CESAR CHAPA

CONSIDER THE COMPREHENSIVE PLAN AMENDMENT FROM URBAN USES TO GENERAL COMMERCIAL USES AND THE REZONING REQUEST FROM URBAN RESIDENTIAL (UR) DISTRICT TO COMMERCIAL GENERAL (CG) DISTRICT, BEING LOT 11 & 12, BLOCK 13, COUNTRY CLUB PLACE SUBDIVISION, LOCATED AT 1523 S 12TH AVE, AS REQUESTED BY CESAR CHAPA

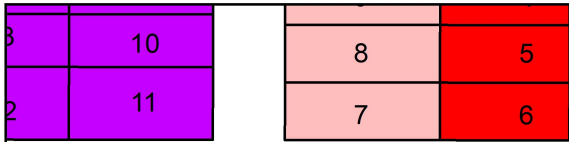
Legend

-  CITY LIMITS
-  APPLICANT SITE

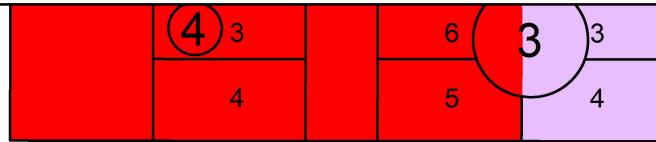
SITE LOCATION MAP



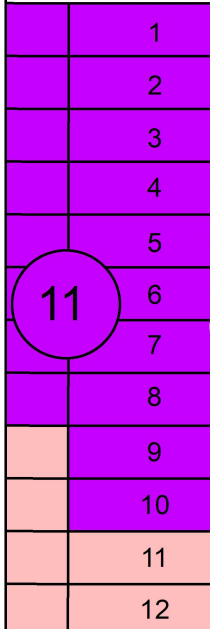
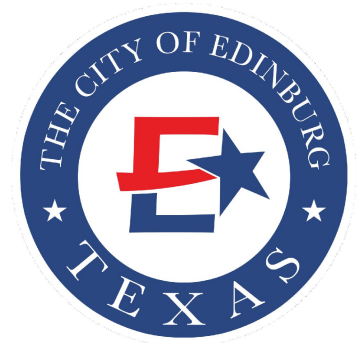
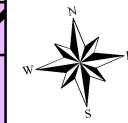
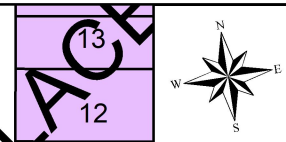
1 in = 200 ft



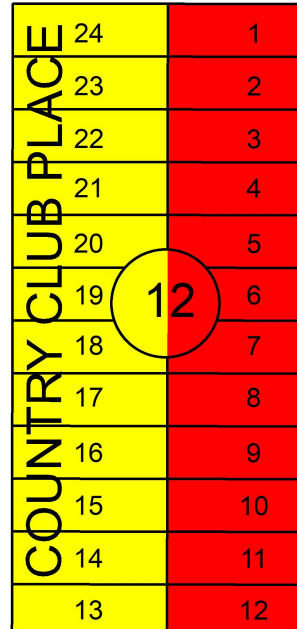
W Baker Dr



E Baker Dr

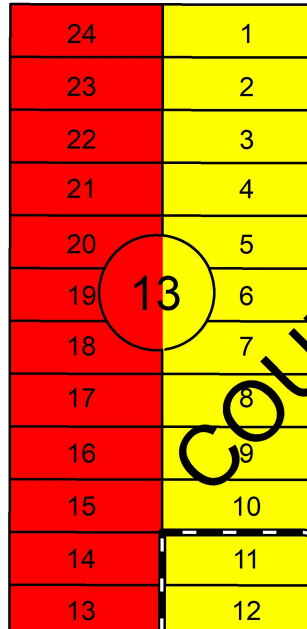


S 10th Ave

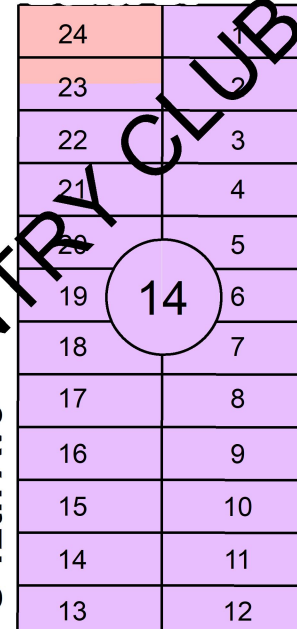


COUNTRY CLUB PLACE

S Closner Blvd

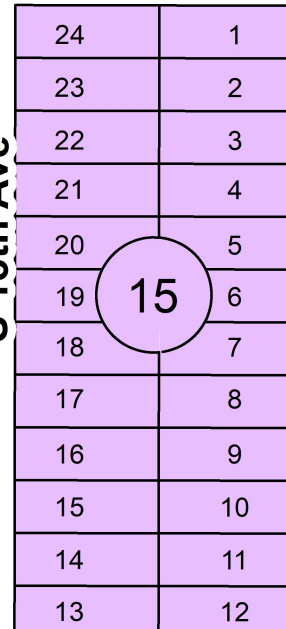


S 12th Ave

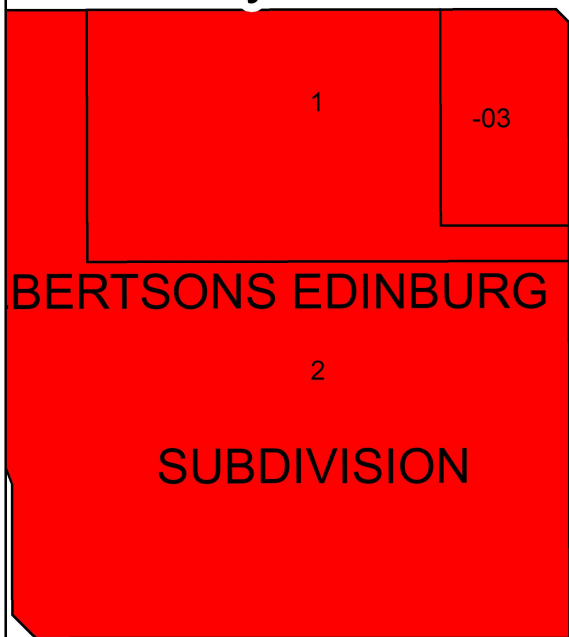


COUNTRY CLUB PLACE

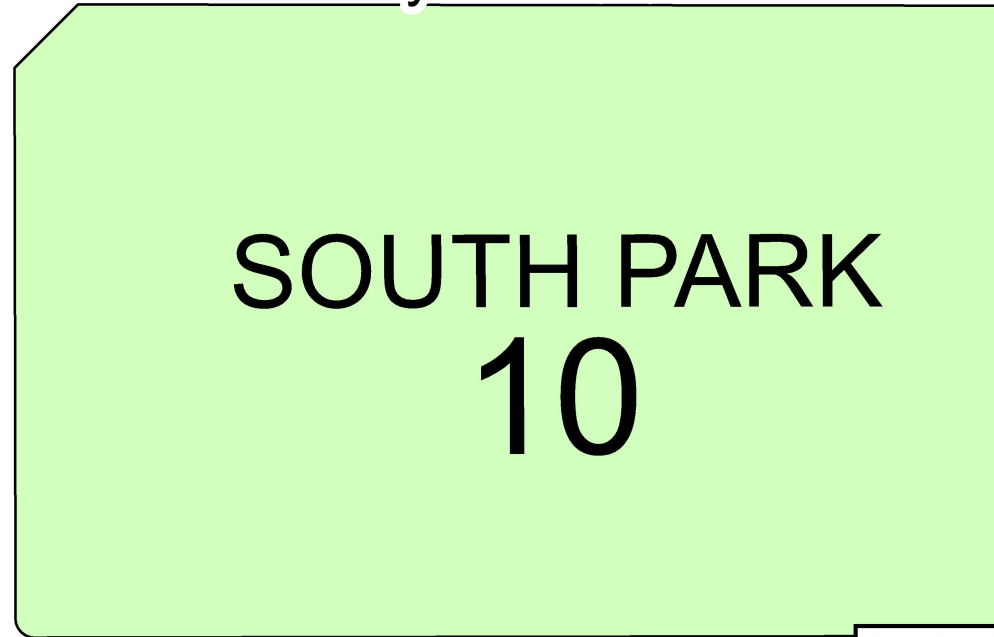
S 13th Ave



W Freddy Gonzalez Dr



E Freddy Gonzalez Dr

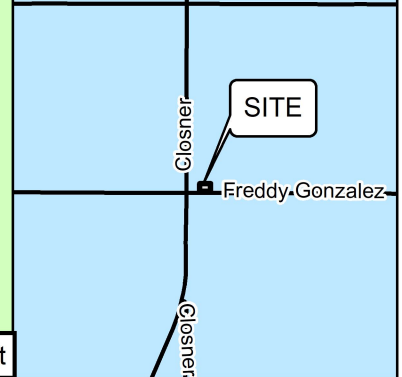


ZONING MAP
CASE CAPTION:

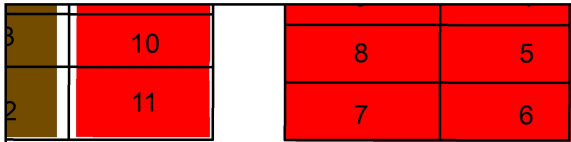
APPLICANT NAME:
CESAR CHAPA

- Legend**
- CITY LIMITS
 - APPLICANT SITE
 - ZONING DISTRICTS
 - AGRICULTURE
 - AUTO-URBAN RESIDENTIAL
 - COMMERCIAL, GENERAL
 - COMMERCIAL, NEIGHBORHOOD
 - DOWNTOWN DISTRICT
 - INDUSTRIAL
 - NEIGHBORHOOD CONSERVATION 5
 - NEIGHBORHOOD CONSERVATION 7.1
 - NEIGHBORHOOD CONSERVATION MH
 - SUBURBAN RESIDENTIAL
 - URBAN RESIDENTIAL
 - URBAN UNIVERSITY

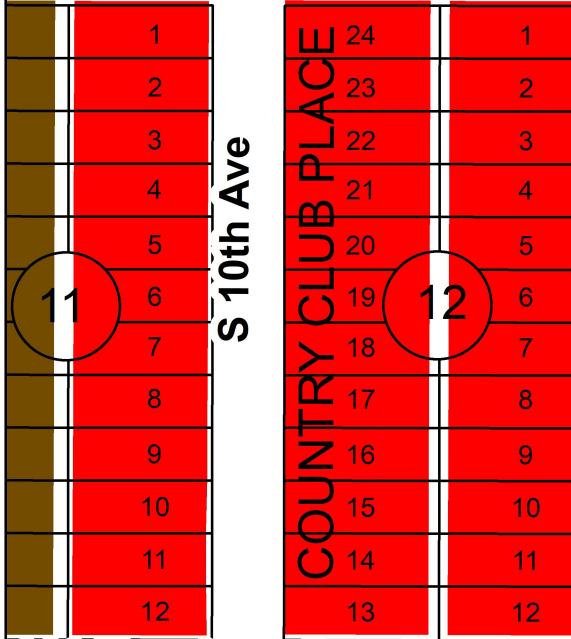
SITE LOCATION MAP



1 in = 200 ft

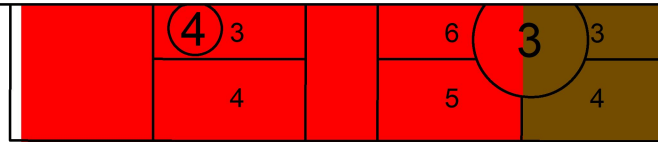


W Baker Dr

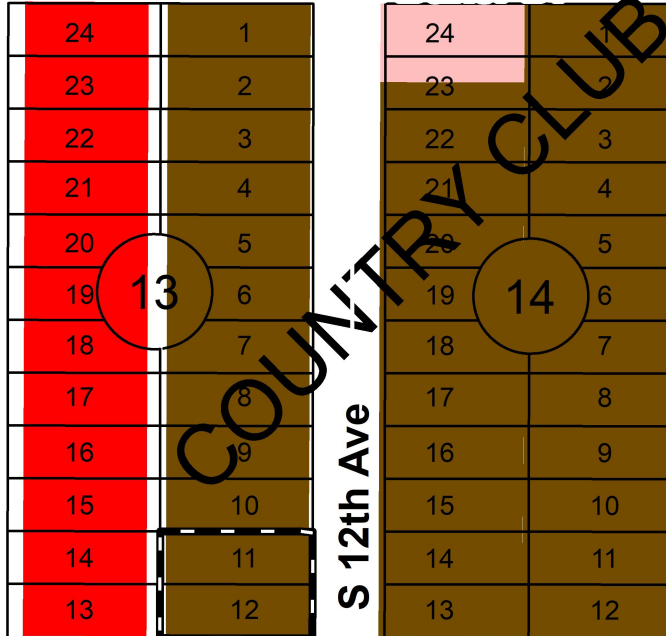


S 10th Ave

COUNTRY CLUB PLACE



E Baker Dr

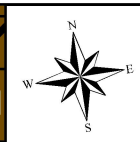
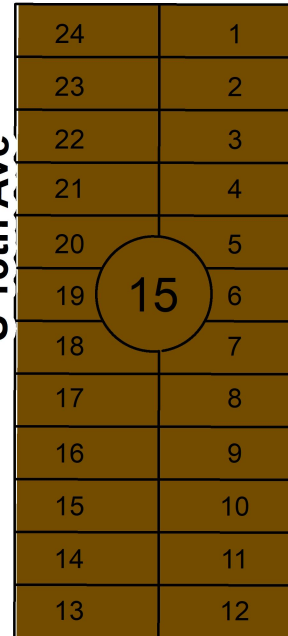


S Closner Blvd

S 12th Ave



S 13th Ave



FUTURE LANDUSE MAP

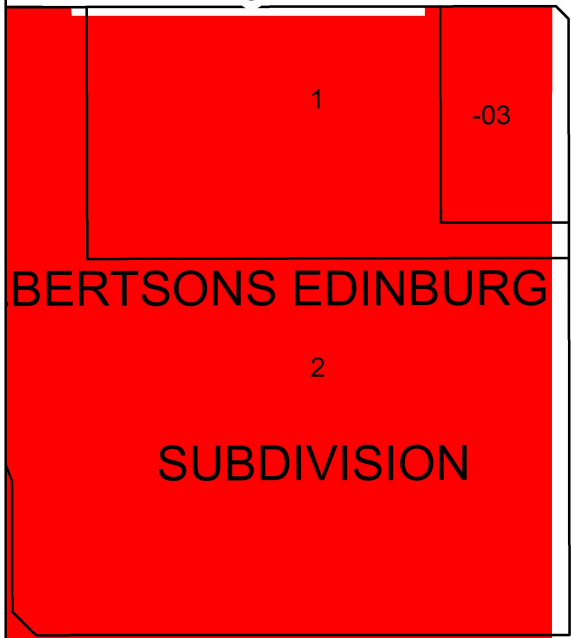
CASE CAPTION:

APPLICANT NAME:
CESAR CHAPA

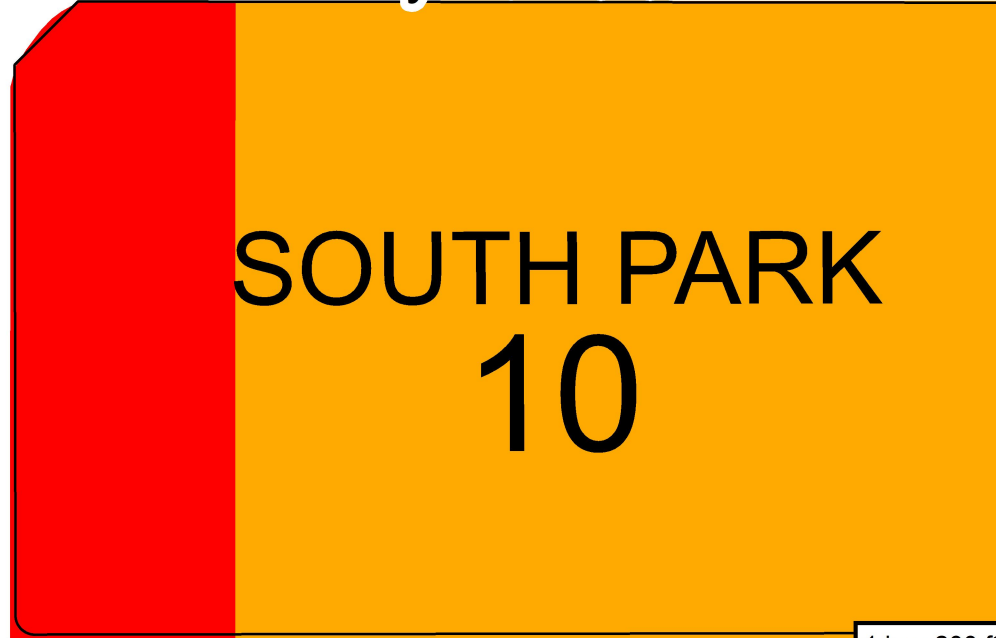
Legend

- CITY LIMITS
- APPLICANT SITE
- FUTURE LANDUSE**
- Agriculture
- Auto-Urban
- Downtown District
- General Commercial
- Industrial
- Mobile Home
- Neighborhood Commercial
- Office Business Park
- Suburban
- Urban
- Urban University

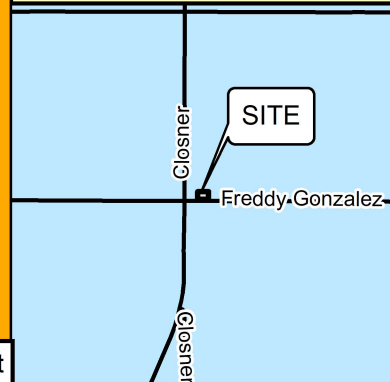
W Freddy Gonzalez Dr



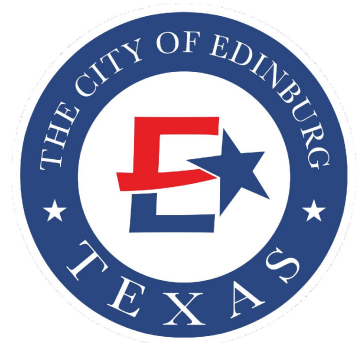
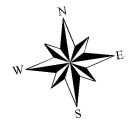
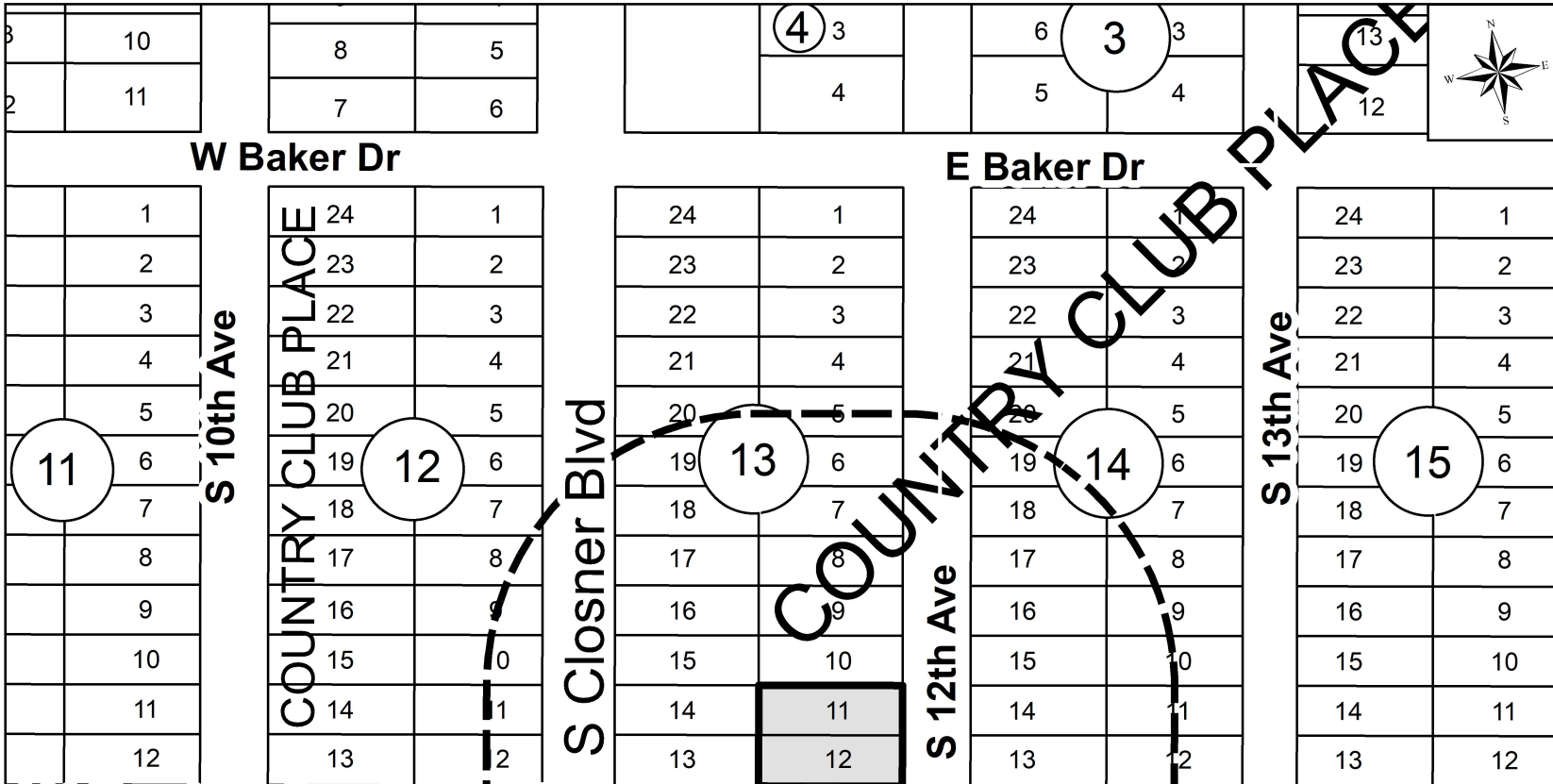
E Freddy Gonzalez Dr



SITE LOCATION MAP



1 in = 200 ft






MAILOUT AND SITE MAP

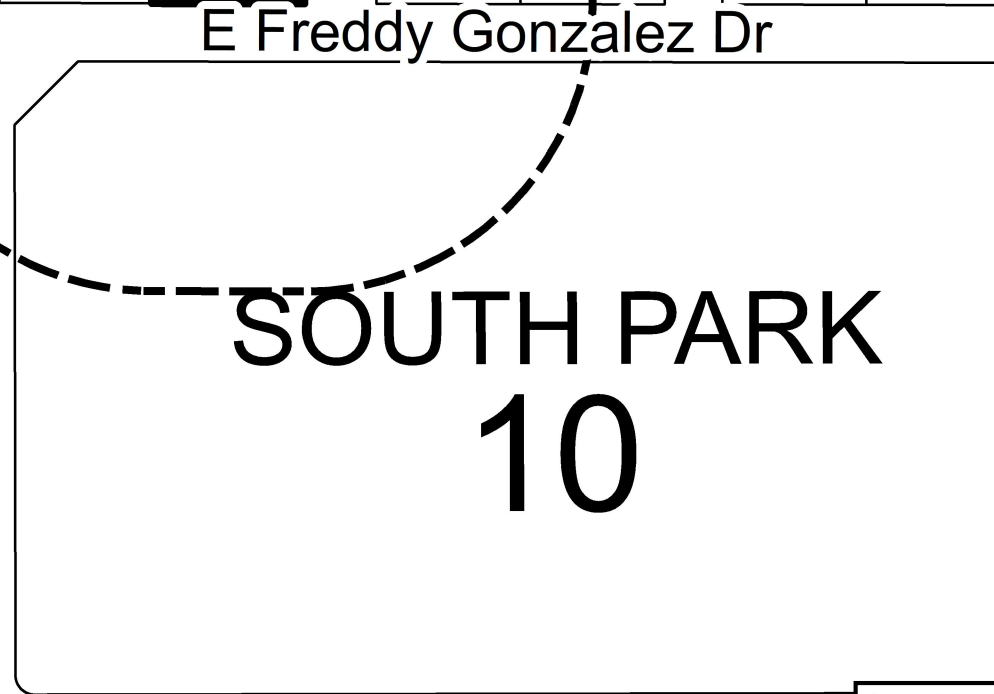
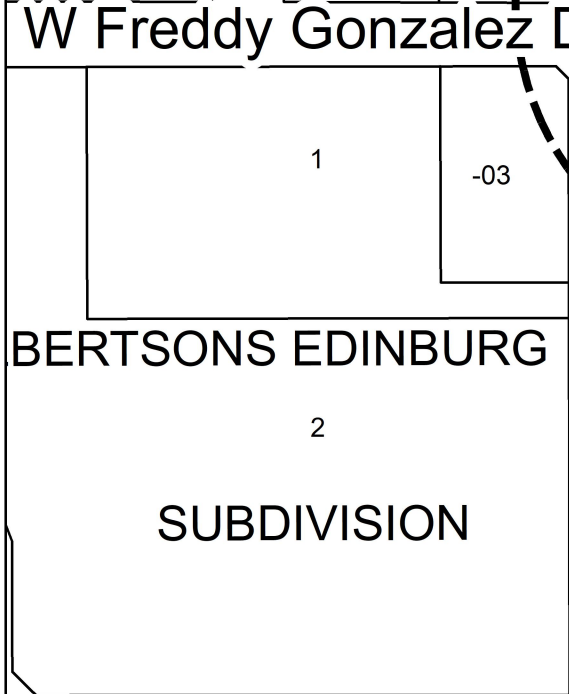
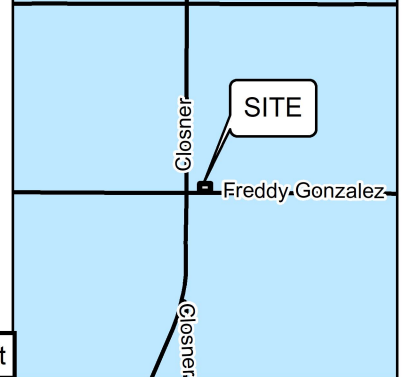
CASE CAPTION:

APPLICANT NAME:
CESAR CHAPA
 CONSIDER THE COMPREHENSIVE PLAN AMENDMENT FROM URBAN USES TO GENERAL COMMERCIAL USES AND THE REZONING REQUEST FROM URBAN RESIDENTIAL (UR) DISTRICT TO COMMERCIAL GENERAL (CG) DISTRICT, BEING LOT 11 & 12, BLOCK 13, COUNTRY CLUB PLACE SUBDIVISION, LOCATED AT 1523 S 12TH AVE, AS REQUESTED BY CESAR CHAPA

Legend

-  CITY LIMITS
-  300FT NOTIFICATION
-  APPLICANT SITE

SITE LOCATION MAP

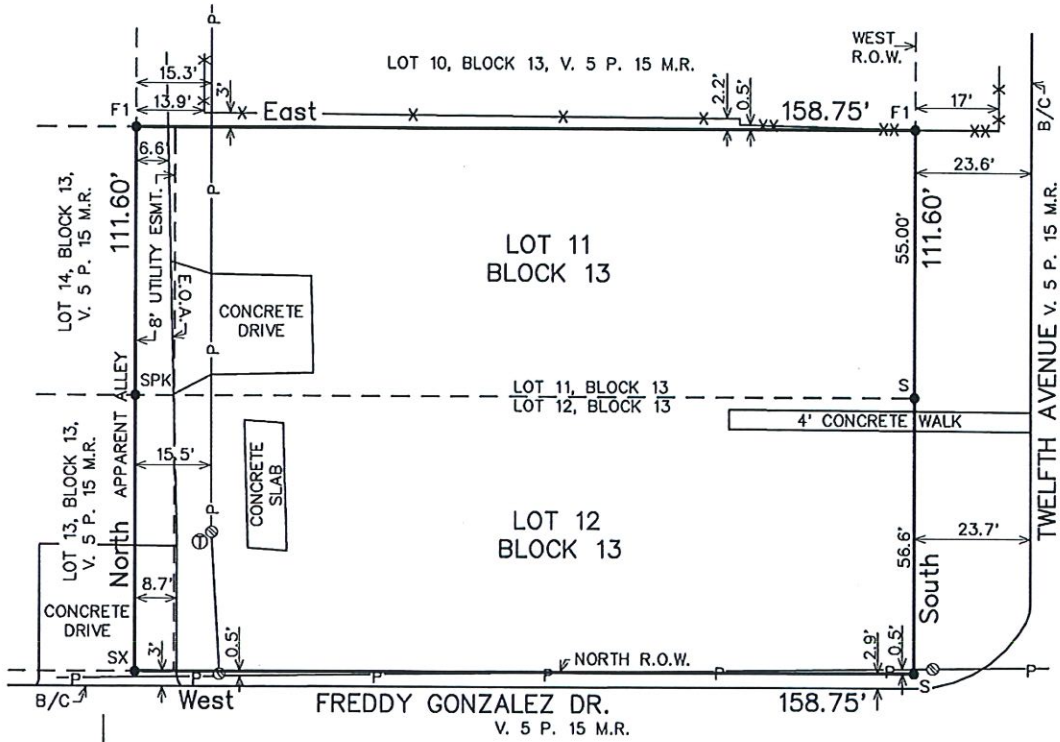


1 in = 200 ft



PENA ENGINEERING

FIRM #10087200 • 1001 WHITEWING • P.O. BOX 4320
(956) 682-8812 • McALLEN, TEXAS 78502 • FAX (956) 631-PENA



BASIS OF BEARING IS THE NORTH LINE OF LOT 11, BLOCK 13, COUNTRY CLUB PLACE SUBDIVISION, VOLUME 5, PAGE 15, MAP RECORDS.

SCALE: 1"=30'
CAD: COUNTRYCLUBPL11-12S
JOB NO. 72931

LEGEND

- F1 - FOUND 1/2" DIAMETER IRON ROD
- S - SET 1/2" DIAMETER IRON ROD WITH CAP STAMPED "PENA 5242"
- SPK - SET PK NAIL IN ASPHALT
- SX - SET "X" CUT IN CONCRETE
- B/C - BACK OF CONCRETE CURB AND GUTTER
- E.O.A. - EDGE OF ASPHALT
- R.O.W. - RIGHT OF WAY
- X-X - 6' CEDAR FENCE
- XX-XX - 4' HOGWIRE FENCE
- P-P - POWER POLE LINE
- ⊙ - POWER POLE
- Ⓣ - TELEPHONE PEDESTAL

NOTE: SURVEY PREPARED WITHOUT THE BENEFIT OF A TITLE COMMITMENT WHICH MAY SHOW EASEMENTS OF RECORD THAT MAY AFFECT THIS PROPERTY.

BUYER'S NAME: James Chopa, LLC.

FLOOD ZONE: By GRAPHICAL PLOTTING Community Panel No. 480338 0030 E
Map Revised: June 06, 2000

- Zone "A" - This is to certify that this property is in a flood prone area.
- Zone "B" - This is to certify that this property is not in a flood prone area. However limits between the 100 year and 500 year flood are subject to flooding with average depths less than one foot.
- Zone "X" - This is to certify that this property is not in a flood prone area.

I certify that this plat represents the facts found on the ground at the time of survey and that there are no visible or apparent easements, discrepancies, conflicts, or shortages in area or boundary lines, or any encroachments, or overlapping of improvements or visible easements except as shown on this plat. No subsurface utilities or service connections are shown, © copyright 2021 PENA ENGINEERING this survey was provided in multiple originals solely for the borrower named hereon, in conjunction with the original transaction which shall take place within 6 months after the survey was provided. No license has been created or implied to copy this Survey. Survey valid only if print has original seal and signature.
ADDRESS: 1523 South 12th Avenue Edinburg, Texas

LEGAL DESCRIPTION: Lots 11 and 12, Block 13, Country Club Place Subdivision, Hidalgo County Texas,

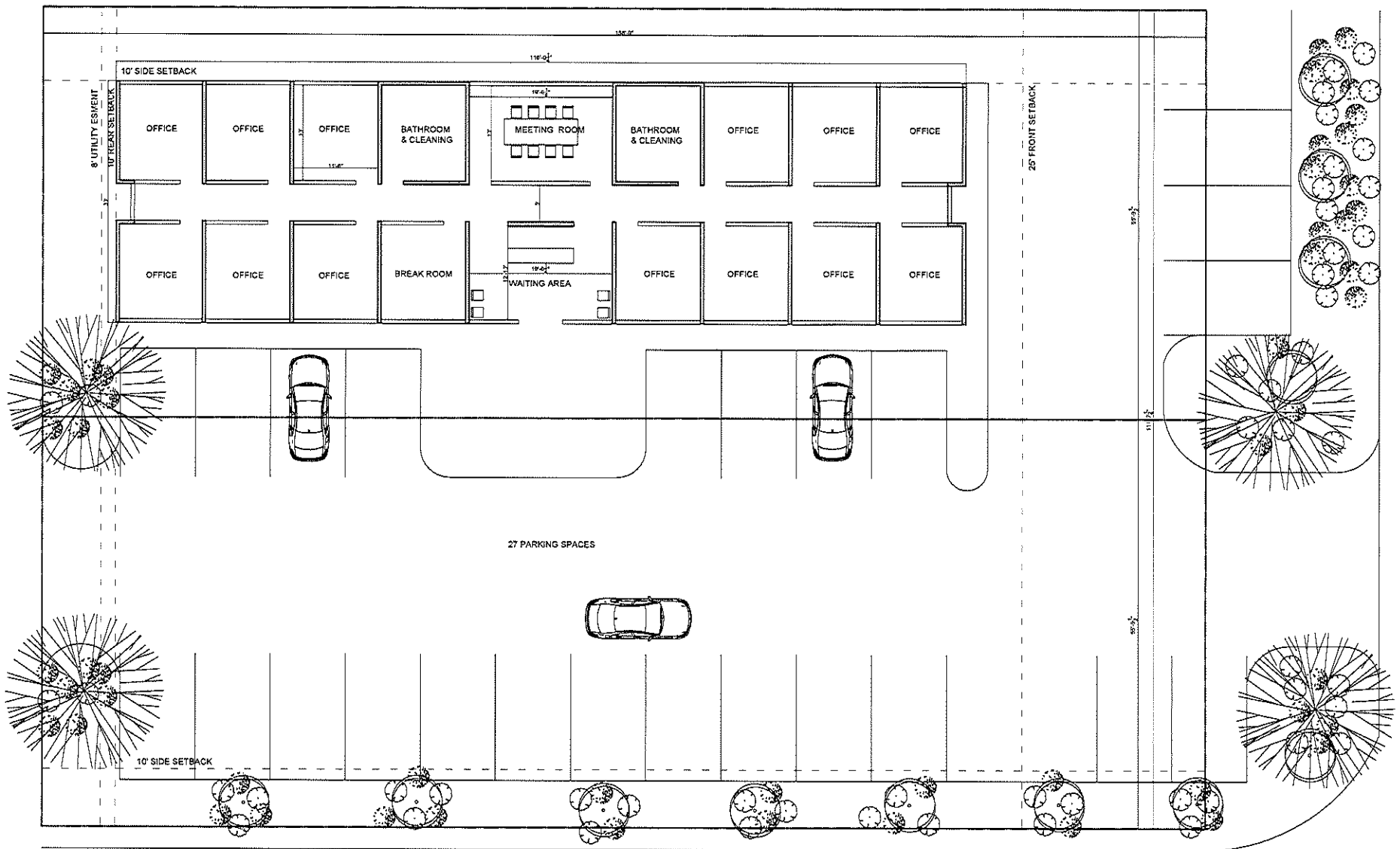
ACCORDING TO THE MAP RECORDED IN VOLUME 5 PAGE 15
OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS.

Pablo Peña III



04-08-2021
DATE

PABLO PEÑA III
REG. PROFESSIONAL LAND SURVEYOR No. 5242





HORIZON
PROPERTIES
CALL (951) 891-2093

cricet



CITY OF EDINBURG
Planning & Zoning Commission

Regular Meeting

Meeting Date:

5/11/2021

Comprehensive Plan Amendment

Rezoning Request

AGENDA ITEM:

Hold Public Hearing and Consider the Comprehensive Plan Amendment from Auto Urban Uses to Urban Uses and the Rezoning Request from Agriculture (AG) District to Urban Residential (UR) District, Being 31.124 acres out of Lot 14, Section 237, Texas Mexican Railway Company Survey, located at 1001 N. McColl Road, as requested by Melden & Hunt [Planning & Zoning – Kimberly Mendoza, Director of Planning & Zoning]

DESCRIPTION / SCOPE:

The property is located at the northwest corner of N. McColl Road and W. Schunior Street 68.20 and is currently vacant. The tract has 1,028.47 ft. of frontage along N. McColl Road and 1,320 ft. of depth for a tract size of 31.124 acres. The requested zoning designation allows for multi-family uses on the subject property. The applicant is requesting the change of zone to develop a multi-family residential subdivision submitted under the name of Woodlands Estates. The subdivision consists of 99 lots ranging from 5,607.02 square feet to 12,512.50 square feet.

The property is currently zoned Agriculture (AG) District. The surrounding zoning is Suburban Residential (S) District and Auto-Urban Residential (AU) District to the east, Agriculture (AG) District to the south, Neighborhood Conservation 5 (NC 5) District to the west, a Hidalgo County Drainage Ditch to the north. The surrounding land uses consist of single family and multifamily residential uses, and vacant land. The future land use designation is Auto Urban Uses.

Staff mailed a notice of the public hearing before the Planning & Zoning Commission to 68 neighboring property owners and received no comments in favor or against this request at the time of the report.

ESTIMATED TIMELINE:

The recommendation of approval or denial of this public hearing is scheduled for consideration by the City Council on June 1, 2021. City Council's decision is the final step in the zoning process for this property. If denied the applicant may not request the proposed zoning classification for a 12 month period from the date of denial.

STAFF RECOMMENDATION:

Staff recommends approval of the Comprehensive Plan Amendment from Auto Urban Uses to Urban Uses and the Rezoning Request from Agriculture (AG) District to Urban Residential (UR) District, based on the development trend in the area. If approved, the applicant will need to comply with all requirements during the permitting process including compliance with subdivision regulations, building and fire codes, fire protection, parking, landscape buffer-yards, solid waste services, utility, and any other City requirements, as applicable.

JUSTIFICATION:

Staff recommends approval of the Comprehensive Plan Amendment from Auto Urban Uses to Urban Uses and the Rezoning Request from Agriculture (AG) District to Urban Residential (UR) District, based on the development trend in the area.

Rita Lee Guerrero
Urban Planner

Kimberly A. Mendoza, MPA
Director of Planning & Zoning

MEETING DATES:
PLANNING & ZONING COMMISSION – 05/11/2021
CITY COUNCIL – 06/01/2021
DATE PREPARED – 05/03/2021

STAFF REPORT
GENERAL INFORMATION

APPLICATION: Comprehensive Plan Amendment from Auto Urban Uses to Urban Uses and the Rezoning Request from Agriculture (AG) District to Urban Residential (UR) District

APPLICANT: Erickson Construction

AGENT: Melden & Hunt

LEGAL: Being 31.124 acres out of Lot 14, Section 237, Texas Mexican Railway Company Survey

LOCATION: Located at 1001 N. McColl Road

LOT/TRACT SIZE: 31.124 acres

CURRENT USE OF PROPERTY: Vacant

PROPOSED USE OF PROPERTY: Multi- Family Development

EXISTING LAND USE Auto Urban Uses

ADJACENT ZONING: North – Hidalgo County Drainage Ditch
South – Agriculture (AG) District
East - Suburban Residential (S) District
West - Neighborhood Conservation 5 (NC 5) District

LAND USE PLAN DESIGNATION: Urban Uses

PUBLIC SERVICES: Sharyland Water Supply Water / City of Edinburg Sewer

RECOMMENDATION: Staff recommends approval of the Comprehensive Plan Amendment from Auto Urban Uses to Urban Uses and the Rezoning Request from Agriculture (AG) District to Urban Residential (UR) District

**COMPREHENSIVE PLAN AMENDMENT
REZONING REQUEST
MELDEN & HUNT**

EVALUATION

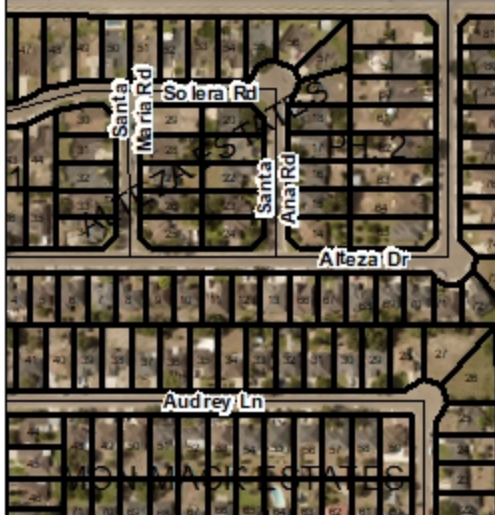
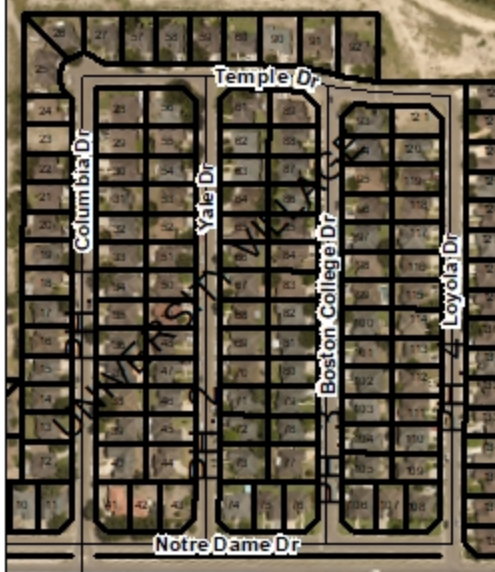
The following is staff's evaluation of the request.

1. The land use pattern for this area of the community consists of single family and multifamily residential uses, and vacant land.
2. The applicant is requesting the change of zone to construct a multi-family residential development.

Staff recommends approval of the Comprehensive Plan Amendment from Auto Urban Uses to Urban Uses and the Rezoning Request from Agriculture (AG) District to Urban Residential (UR) District, based on the development trend in the area. If approved, the applicant will need to comply with all requirements during the permitting process including compliance with subdivision regulations, building and fire codes, fire protection, parking, landscape buffer-yards, solid waste services, utility, and any other City requirements, as applicable.

Staff mailed a notice of the public hearing before the Planning & Zoning Commission to 68 neighboring property owners and received no comments in favor or against this request at the time of the report.

ATTACHMENTS: Aerial Photo
Zoning Map
Future Land Use Map
Photo of site
Exhibits





AERIAL MAP

CASE CAPTION:

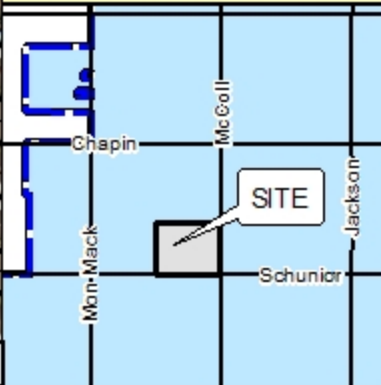
APPLICANT NAME:
MELDEN & HUNT

CONSIDER THE COMPREHENSIVE PLAN AMENDMENT FROM AUTO URBAN USES TO URBAN USES AND THE REZONING REQUEST FROM AGRICULTURE (AG) DISTRICT TO URBAN RESIDENTIAL (UR) DISTRICT, BEING 31.124 ACRES OUT OF LOT 14, SECTION 237, TEXAS MEXICAN RAILWAY COMPANY SURVEY, LOCATED AT 1001 N MCCOLL ROAD, AS REQUESTED BY MELDEN & HUNT

Legend

-  CITY LIMITS
-  APPLICANT SITE

SITE LOCATION MAP



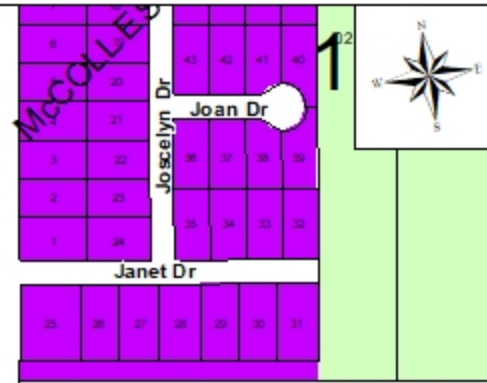
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12

T2100-00-237-0012-

11

T2100-00-237-0011-



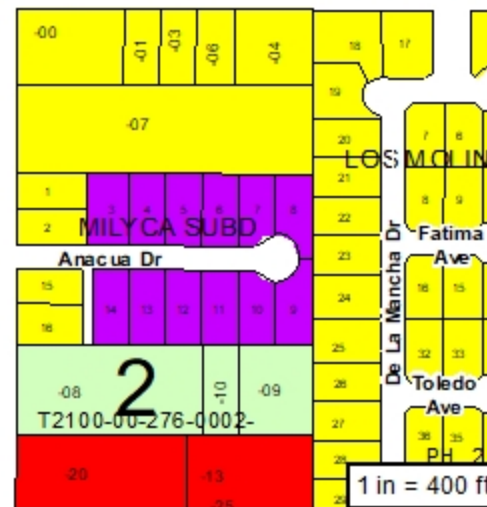
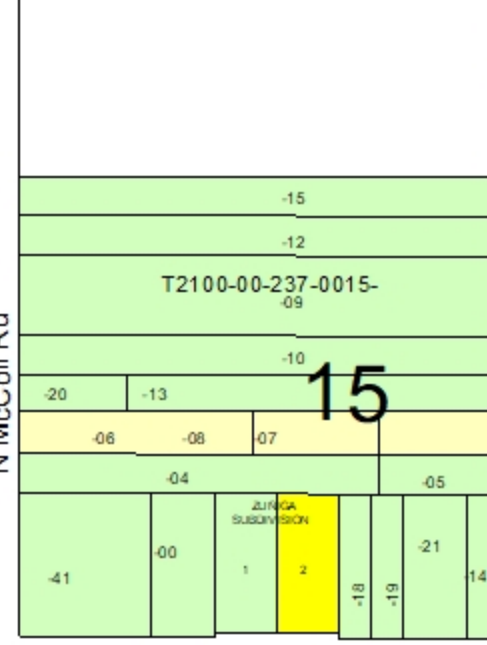
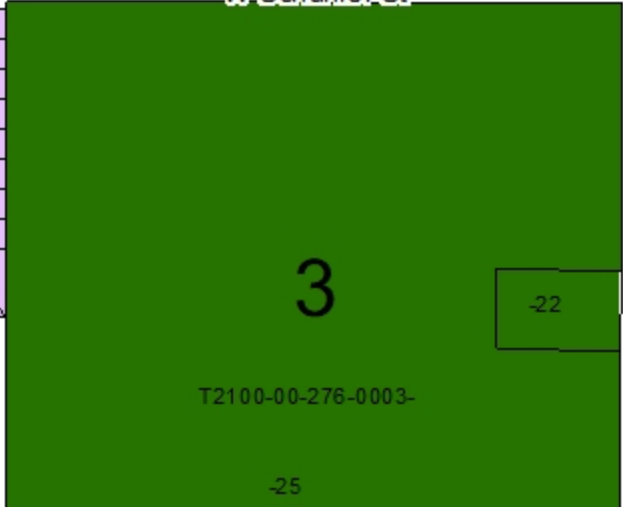
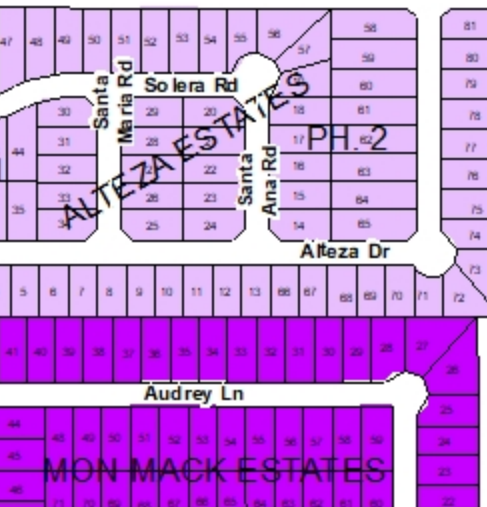
ZONING MAP

CASE CAPTION:

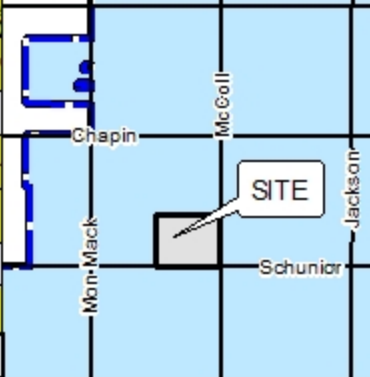
APPLICANT NAME:
MELDEN & HUNT

Legend

- CITY LIMITS
- APPLICANT SITE
- ZONING DISTRICTS**
- AGRICULTURE
- AUTO-URBAN RESIDENTIAL
- COMMERCIAL, GENERAL
- COMMERCIAL, NEIGHBORHOOD
- DOWNTOWN DISTRICT
- INDUSTRIAL
- NEIGHBORHOOD CONSERVATION 5
- NEIGHBORHOOD CONSERVATION 7.1
- NEIGHBORHOOD CONSERVATION MH
- SUBURBAN RESIDENTIAL
- URBAN RESIDENTIAL
- URBAN UNIVERSITY



SITE LOCATION MAP



1 in = 400 ft

12

T2100-00-237-0012-

11

T2100-00-237-0011-



FUTURE LAND USE MAP

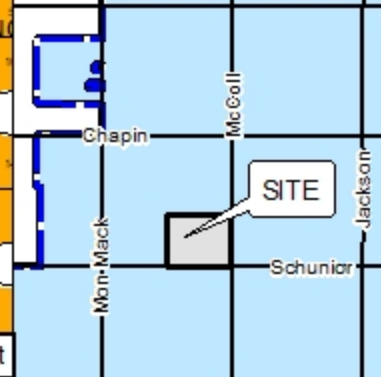
CASE CAPTION:

APPLICANT NAME:
MELDEN & HUNT

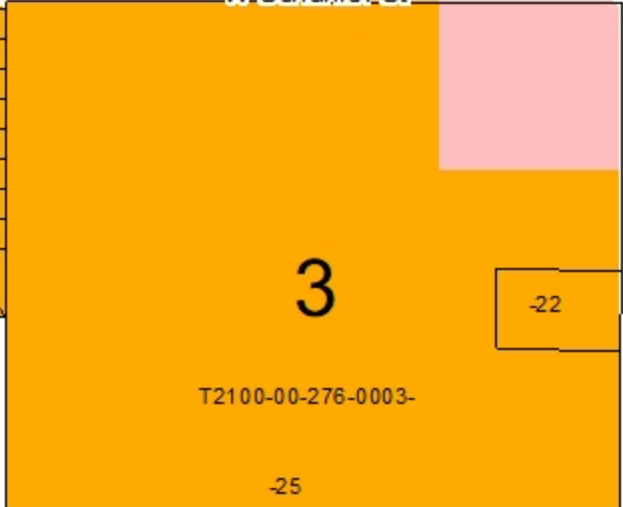
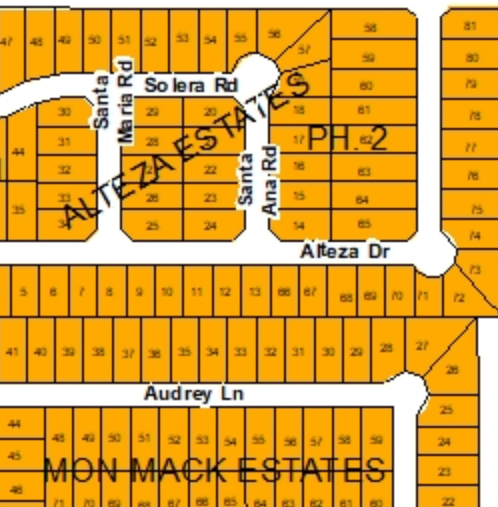
Legend

- CITY LIMITS
- APPLICANT SITE
- FUTURE LAND USE**
- Agriculture
- Auto-Urban
- Downtown District
- General Commercial
- Industrial
- Mobile Home
- Neighborhood Commercial
- Office Business Park
- Suburban
- Urban
- Urban University

SITE LOCATION MAP



N McColl Rd



W Schunior St



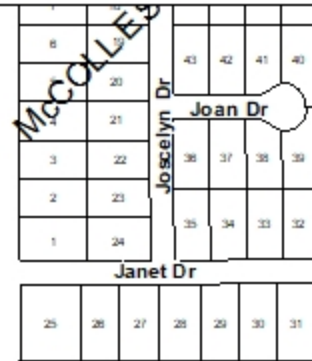
1 in = 400 ft

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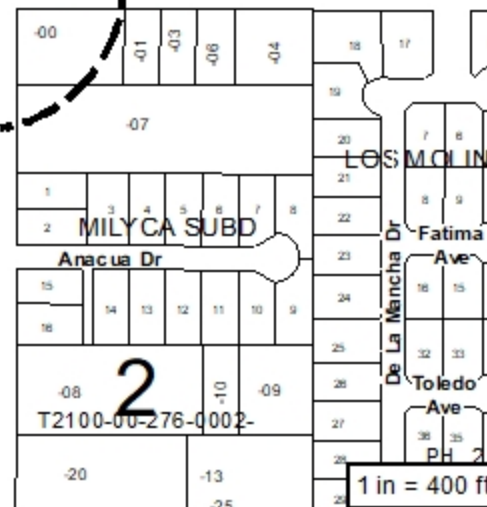
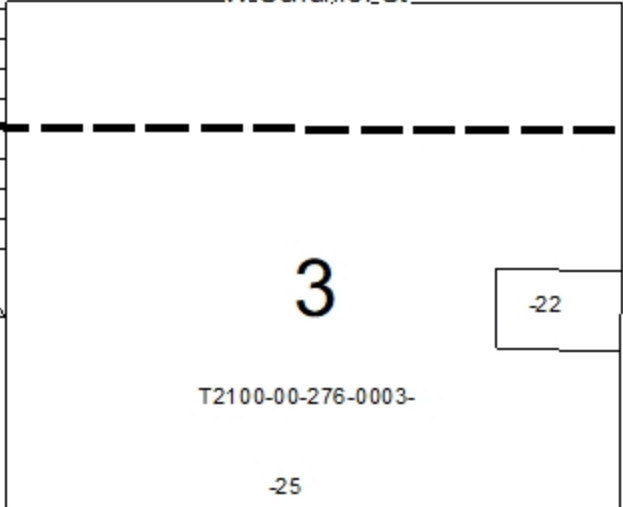
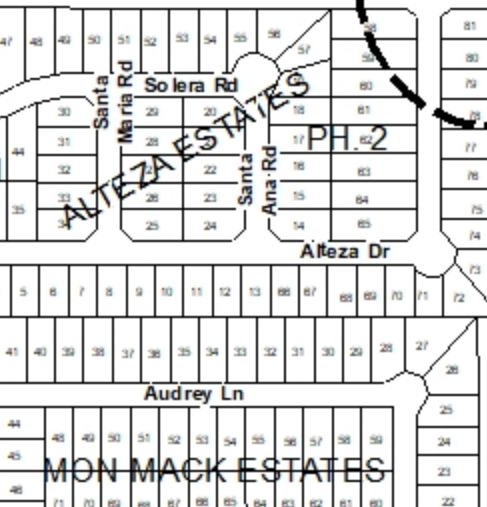
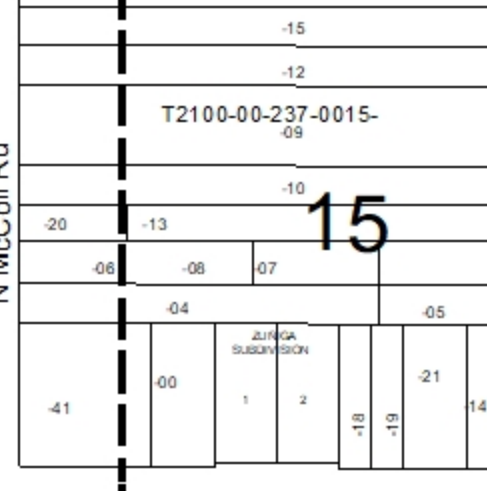
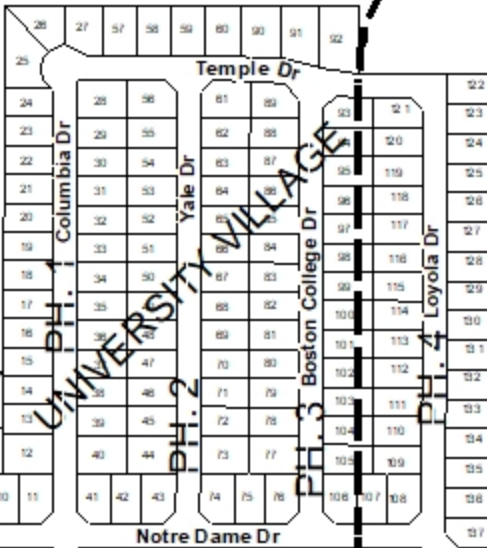


MAILOUT AND SITE MAP

CASE CAPTION:

APPLICANT NAME:
MELDEN & HUNT

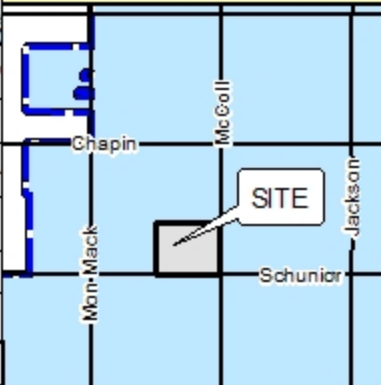
CONSIDER THE COMPREHENSIVE PLAN AMENDMENT FROM AUTO URBAN USES TO URBAN USES AND THE REZONING REQUEST FROM AGRICULTURE (AG) DISTRICT TO URBAN RESIDENTIAL (UR) DISTRICT, BEING 31.124 ACRES OUT OF LOT 14, SECTION 237, TEXAS MEXICAN RAILWAY COMPANY SURVEY, LOCATED AT 1001 N MCCOLL ROAD, AS REQUESTED BY MELDEN & HUNT



Legend

- CITY LIMITS
- 300FT NOTIFICATION
- APPLICANT SITE

SITE LOCATION MAP



1 in = 400 ft



Planning & Zoning Department
415 W. University Dr.
(956) 388-8202

ZONE CHANGE APPLICATION

1. Name: Erickson Construction Phone No. (956) 638-6456
2. Mailing Address: 3520 Buddy Owens
City: McAllen State: Texas Zip 78504
Email Address: jeff@ericksonrgv.com Cell No. (956) 631-9789
3. Agent: Melden and Hunt, Inc. c/o Mario Reyna, P.E. Phone No. (956) 381-0981
4. Agent's Mailing Address: 115 West McIntrye Street
City: Edinburg State: Texas Zip 78541
5. Email Address: mario@meldenandhunt.com
6. Address/Location being Rezoned: Northeast corner of N. McColl and Schunior Street
7. Legal Description of Property: Being a 31.124 acre tract of land out of Lot 14, Section 237,
Texas-Mexican Company's Survey
8. Zone Change: From: Agricultural To: Urban Residential (UR)
9. Present Land Use: Vacant
10. Reason for Zone Change: Developer proposes a 90-lot subdivision for multi-family use.

Mario Reyna, P.E.
(Please Print Name)


Signature

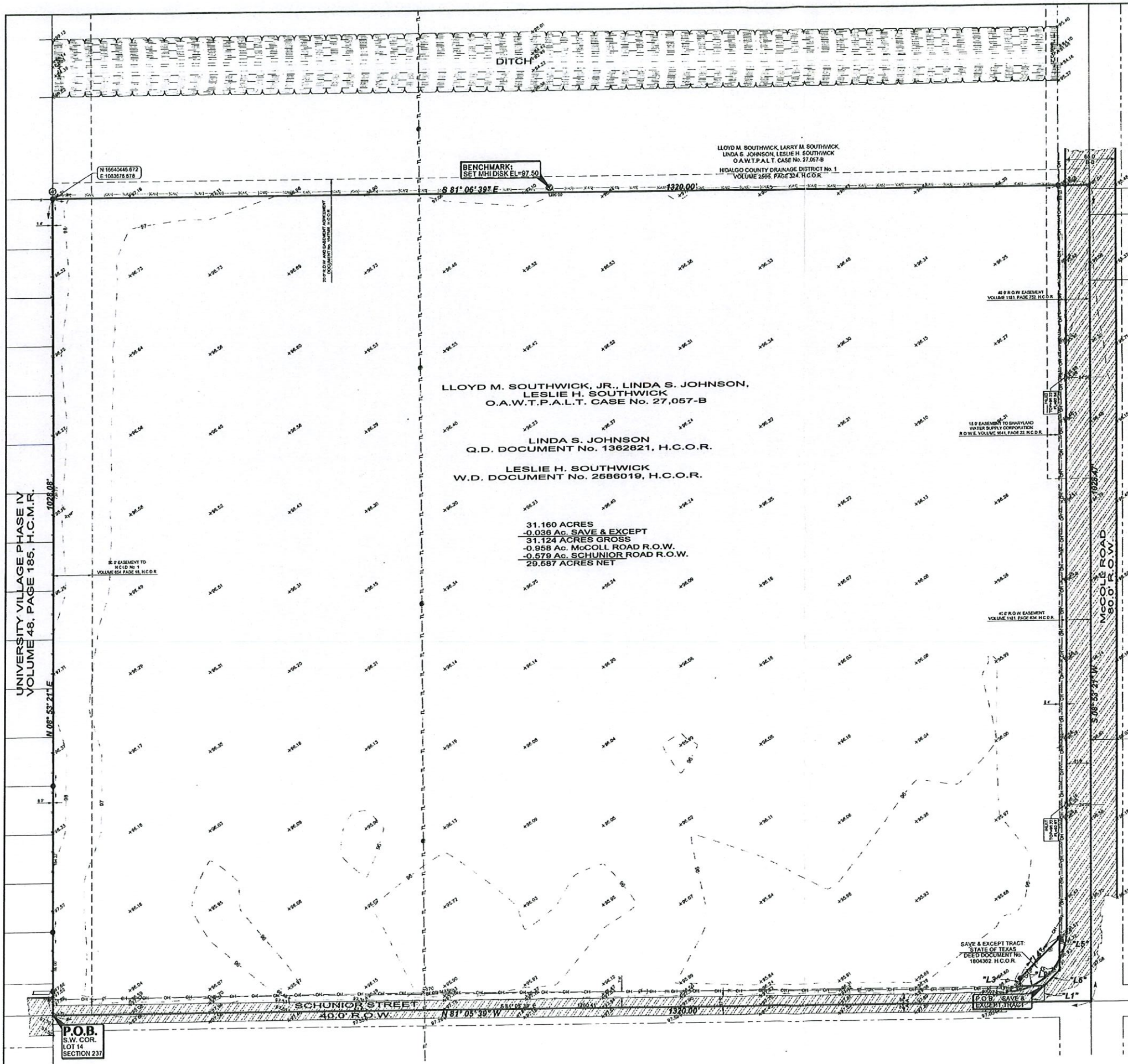
AMOUNT PAID \$ _____

RECEIPT NUMBER _____

PUBLIC HEARING DATE (PLANNING & ZONING COMMISSION) – 4:00 P.M.: _____
PUBLIC HEARING DATE (CITY COUNCIL) – 6:00 P.M.: _____
(NOTE: BOTH MEETINGS ARE HELD AT THE CITY COUNCIL CHAMBERS)

ZONING CHANGE REQUIREMENTS

The following items are required to be submitted with the application:



FLOOD ZONE
ZONE "A" (SHADED)
AREA OF 10-YEAR FLOOD WITH AVERAGE DEPTHS OF 1-2 FEET OR WITH DEPTHS OF LESS THAN 1 SQUARE MILE, AND AREAS AFFECTED BY WAVES FROM 10-YEAR FLOOD.
COUNTY PANEL NUMBER: 48238 0511 E
MAP REVISION: 4-16-2009
REVISED TO REFLECT LGAR: MAY 14, 2011

LEGEND

- FOUND No.4 REBAR
- FOUND 60# NAIL
- SET No.4 REBAR WITH PLASTIC CAP STAMPED MELDEN & HUNT
- SET NAIL
- SET MH DISK
- POWER POLE
- LIGHT POLE
- GUY WIRE
- UNDERGROUND CABLE MARKER
- AT&T UNDERGROUND CABLE MARKER
- ELECTRIC BOX
- SINGLE POST SIGN
- IRRIGATION STAND PIPE (SIZE AS NOTED)
- IRRIGATION VALVE (SIZE AS NOTED)
- TRANSMISSION POLE
- WOOD FENCE
- EDGE OF DITCH TOP
- 24" STORM SEWER LINE
- 12" OVERHEAD POWER LINE
- TL TRANSMISSION LINE
- SPOTTED GAS LINE
- SPOTTED TELEPHONE LINE (APPROXIMATE LOCATION)
- SPOTTED TELEPHONE LINE (APPROXIMATE LOCATION)

ASPHALT AREA
CONCRETE AREA

Ac. - OF ONE ACRE
A-A - EDGE OF ASPHALT TO EDGE OF ASPHALT
B-B - BACK OF CURB TO BACK OF CURB
R.O.W. - RIGHT OF WAY
R.O.W.E. - RIGHT OF WAY EASEMENT
H.C.M.R. - HIDALGO COUNTY MAP RECORDS
H.C.D.R. - HIDALGO COUNTY DEED RECORDS
H.C.O.R. - HIDALGO COUNTY OFFICIAL RECORDS
H.C.I.D. - HIDALGO COUNTY IRRIGATION DISTRICT
S.W. COR. - SOUTHWEST CORNER
P.O.B. - POINT OF BEGINNING
W.D. - WARRANTY DEED



**PLAT SHOWING
31.124 ACRES OUT OF
LOT 14, SECTION 237,
TEXAS-MEXICAN RAILWAY
COMPANY'S SURVEY,
VOLUME 1, PAGE 12, H.C.M.R.
CITY OF EDINBURG,
HIDALGO COUNTY, TEXAS**

Line #	Direction	Length
1	N 87° 06' 39" E	31.124
2	S 08° 53' 21" W	1320.00
3	S 08° 53' 21" W	1320.00
4	N 87° 06' 39" E	31.124



THE UNDERSIGNED HEREBY CERTIFIES THAT THIS SURVEY AS DESCRIBED HEREON, WAS MADE ON THE GROUND ON 03/15/2021 UNDER MY DIRECTION, THAT THE ONLY IMPROVEMENTS ON THE GROUND ARE AS SHOWN, THAT THERE ARE NO VISIBLE ENCROACHMENTS, VISIBLE OVERLAPPING, APPARENT CONFLICTS, OR VISIBLE EASEMENTS, EXCEPT AS SHOWN HEREON.

Fred L. Kurth 3/20/21
FRED L. KURTH, RPLS No. 4760 DATE:

JOB No. **21411.08**
DRAWING DATE: 3/30/2021
DRAWN BY: J.C., J.G.
File Name: 21411.08
T-1117, PG. 52
PAGE 3 OF 3

REVISION _____ DATE _____ BY _____

MELDEN & HUNT INC.
CONSULTANTS • ENGINEERS • SURVEYORS

115 W. McINTYRE - EDINBURG, TX 78541
PH: (956) 381-0961 - FAX: (956) 381-1839
ESTABLISHED 1947 - www.meldenandhunt.com





CITY OF EDINBURG
Planning & Zoning Commission

Regular Meeting

Meeting Date:

5/11/2021

Comprehensive Plan Amendment
Rezoning Request

AGENDA ITEM:

Hold Public Hearing and Consider the Comprehensive Plan Amendment from Industrial Uses to General Commercial Uses and the Rezoning Request from Agriculture (AG) District to Commercial General (CG) District, being Lot 6, Cibolo Estates, located at 12507 Bail Bond Drive, as requested by Andres Reyes, Jr. [Planning & Zoning – Kimberly Mendoza, Director of Planning & Zoning]

DESCRIPTION / SCOPE:

The property is located on the east side of Bail Bond Drive, approximately 380 ft. north of E. El Cibolo Road and is currently vacant. The tract has 75 ft. of frontage along N. Bail Bond Drive and 150 ft. of depth for a tract size of 11,250 square feet. The requested zoning designation allows for a commercial business on the subject property. The applicant is requesting the change of zone to construct a bail bond business.

This property was annexed into the City Limits of Edinburg on December 10, 2013. The property is currently zoned Agriculture (AG) District. The surrounding zoning is Agriculture (AG) District in all directions. The surrounding land uses consist of commercial uses and vacant land. The future land use designation is Industrial Uses.

Staff mailed a notice of the public hearing before the Planning & Zoning Commission to nine neighboring property owners and received no comments in favor or against this request at the time of the report.

ESTIMATED TIMELINE:

The recommendation of approval or denial of this public hearing is scheduled for consideration by the City Council on June 1, 2021. City Council's decision is the final step in the zoning process for this property. If denied the applicant may not request the proposed zoning classification for a 12 month period from the date of denial.

STAFF RECOMMENDATION:

Staff recommends approval of the Comprehensive Plan Amendment from Industrial Uses to General Commercial Uses and the Rezoning Request from Agriculture (AG) District to Commercial General (CG) District based on the development trend in the area. If approved, the applicant will need to comply with all requirements during the permitting process including compliance with subdivision regulations, building and fire codes, fire protection, parking, landscape buffer-yards, solid waste services, utility, and any other City requirements, as applicable.

JUSTIFICATION:

Staff recommends approval of the Comprehensive Plan Amendment from Industrial Uses to General Commercial Uses and the Rezoning Request from Agriculture (AG) District to Commercial General (CG) District based on the development trend in the area. A bail bond business is a permitted use in the requested zoning designation.

Rita Lee Guerrero

Urban Planner

Kimberly A. Mendoza, MPA

Director of Planning & Zoning

MEETING DATES:
PLANNING & ZONING COMMISSION – 05/11/2021
CITY COUNCIL – 06/01/2021
DATE PREPARED – 05/03/2021

STAFF REPORT
GENERAL INFORMATION

APPLICATION: Comprehensive Plan Amendment from Industrial Uses to General Commercial Uses and the Rezoning Request from Agriculture (AG) District to Commercial General (CG) District

APPLICANT: Andres Reyes, Jr.

AGENT:

LEGAL: Being Lot 6, Cibolo Estates

LOCATION: Located at 12507 Bail Bond Drive

LOT/TRACT SIZE: 11,250 square feet

CURRENT USE OF PROPERTY: Vacant

PROPOSED USE OF PROPERTY: Commercial Development

EXISTING LAND USE Industrial Uses

ADJACENT ZONING: North – Agriculture (AG) District
South – Agriculture (AG) District
East - Agriculture (AG) District
West - Agriculture (AG) District

LAND USE PLAN DESIGNATION: General Commercial Uses

PUBLIC SERVICES: City of Edinburg Water / Sewer

RECOMMENDATION: Staff recommends approval of the Comprehensive Plan Amendment from Industrial Uses to General Commercial Uses and the Rezoning Request from Agriculture (AG) District to Commercial General (CG) District

**COMPREHENSIVE PLAN AMENDMENT
REZONING REQUEST
ANDRES REYES, JR.**

EVALUATION

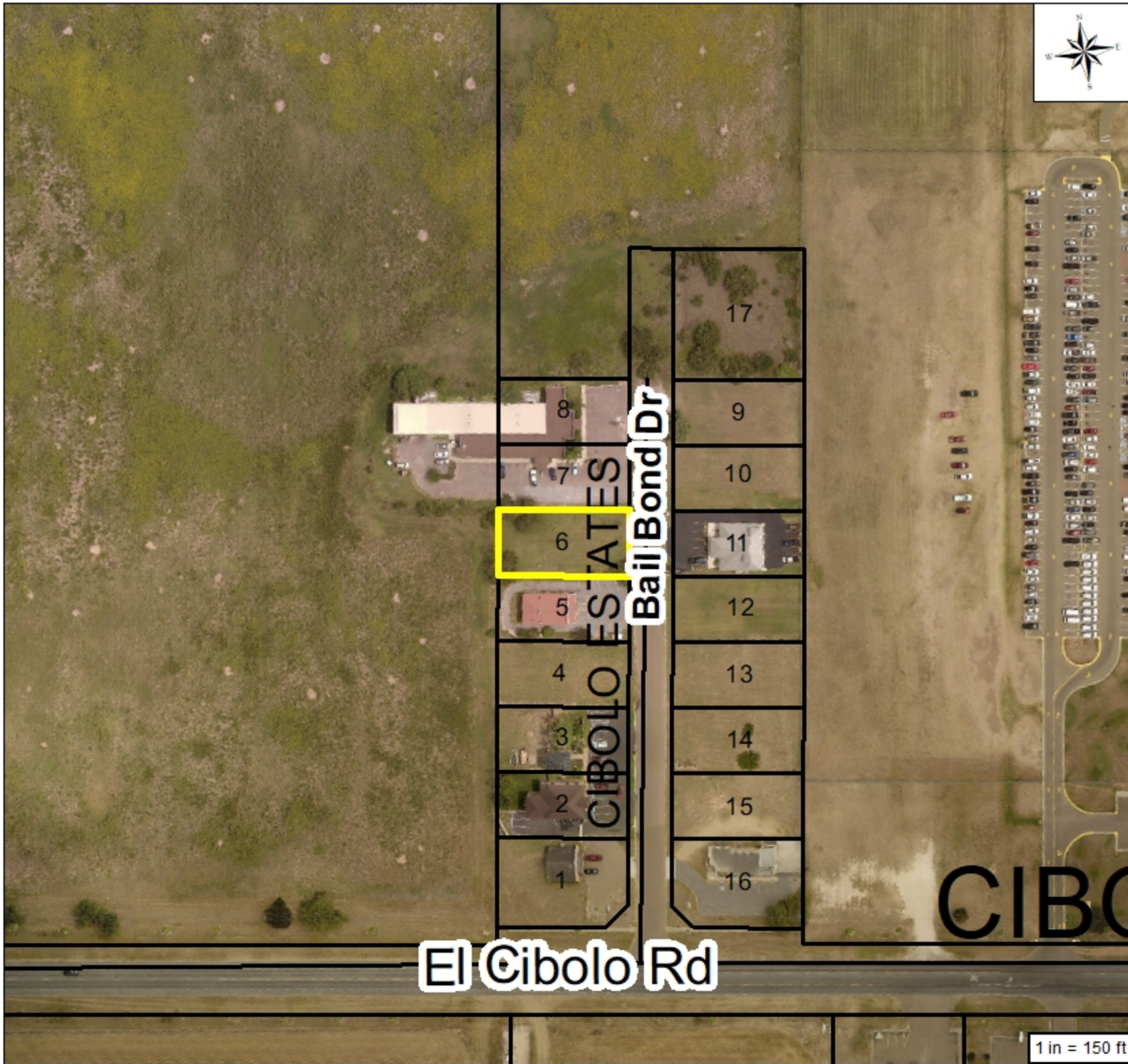
The following is staff's evaluation of the request.

1. The land use pattern for this area of the community consists of commercial uses and vacant land.
2. The applicant is requesting the change of zone to construct a bail bond business.

Staff recommends approval of the Comprehensive Plan Amendment from Industrial Uses to General Commercial Uses and the Rezoning Request from Agriculture (AG) District to Commercial General (CG) District based on the development trend in the area. If approved, the applicant will need to comply with all requirements during the permitting process including compliance with subdivision regulations, building and fire codes, fire protection, parking, landscape buffer-yards, solid waste services, utility, and any other City requirements, as applicable.

Staff mailed a notice of the public hearing before the Planning & Zoning Commission to nine neighboring property owners and received no comments in favor or against this request at the time of the report.

ATTACHMENTS: Aerial Photo
Zoning Map
Future Land Use Map
Photo of site
Exhibits





AERIAL MAP

CASE CAPTION:

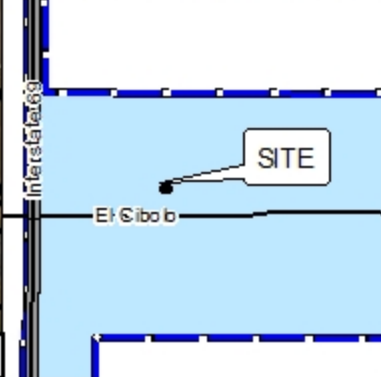
APPLICANT NAME:
ANDRES REYES JR

CONSIDER THE COMPREHENSIVE PLAN AMENDMENT FROM INDUSTRIAL USES TO GENERAL COMMERCIAL USES AND THE REZONING REQUEST FROM AGRICULTURE (AG) DISTRICT TO COMMERCIAL GENERAL (CG) DISTRICT, BEING LOT 6, CIBOLO ESTATES, LOCATED AT 12507 BAIL BOND DRIVE

Legend

-  CITY LIMITS
-  APPLICANT SITE

SITE LOCATION MAP





ZONING MAP

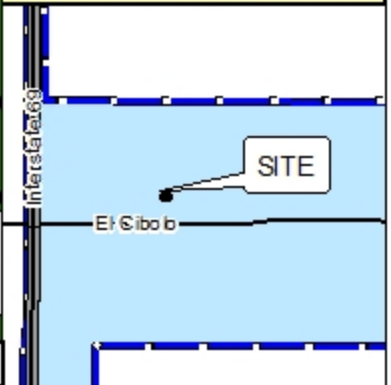
CASE CAPTION:

APPLICANT NAME:
ANDRES REYES JR

Legend

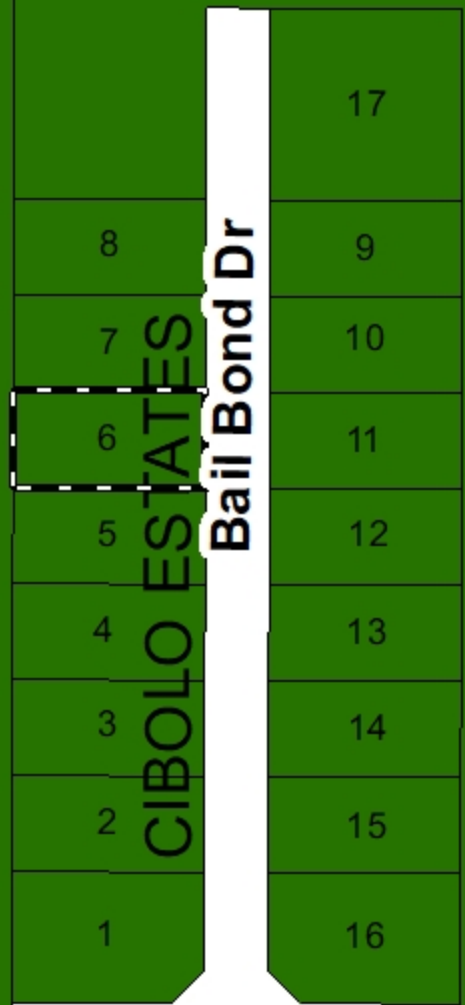
-  CITY LIMITS
-  APPLICANT SITE
- ZONING DISTRICTS**
-  AGRICULTURE
-  AUTO-URBAN RESIDENTIAL
-  COMMERCIAL, GENERAL
-  COMMERCIAL, NEIGHBORHOOD
-  DOWNTOWN DISTRICT
-  INDUSTRIAL
-  NEIGHBORHOOD CONSERVATION 5
-  NEIGHBORHOOD CONSERVATION 7.1
-  NEIGHBORHOOD CONSERVATION MH
-  SUBURBAN RESIDENTIAL
-  URBAN RESIDENTIAL
-  URBAN UNIVERSITY

SITE LOCATION MAP



El Cibolo Rd

Bail Bond Dr



1 in = 150 ft



FUTURE LAND USE MAP

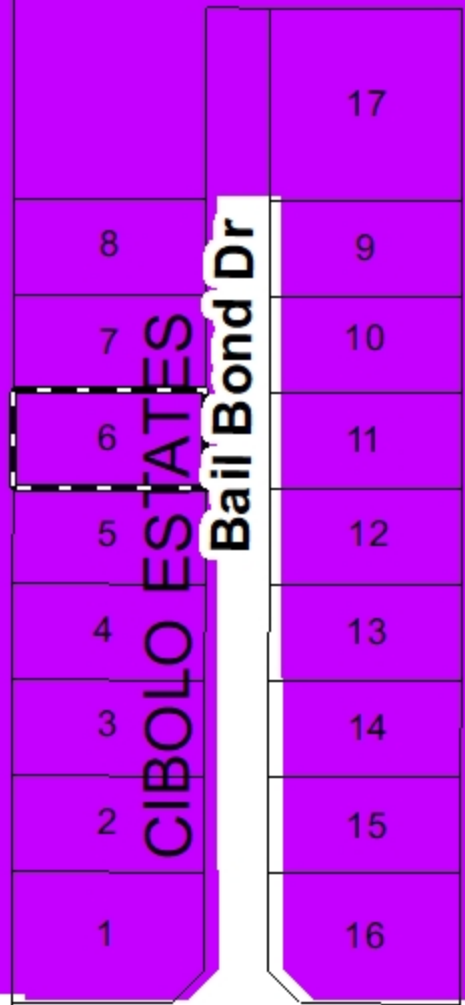
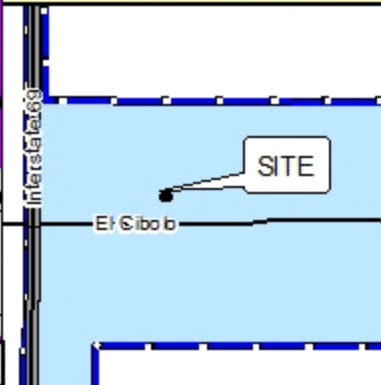
CASE CAPTION:

APPLICANT NAME:
ANDRES REYES JR

Legend

- CITY LIMITS
- APPLICANT SITE
- FUTURE LANDUSE**
- Agriculture
- Auto-Urban
- Downtown District
- General Commercial
- Industrial
- Mobile Home
- Neighborhood Commercial
- Office Business Park
- Suburban
- Urban
- Urban University

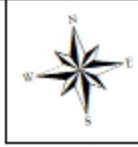
SITE LOCATION MAP



El Cibolo Rd

CIBOLO

1 in = 150 ft



MAILOUT AND SITE MAP

CASE CAPTION:

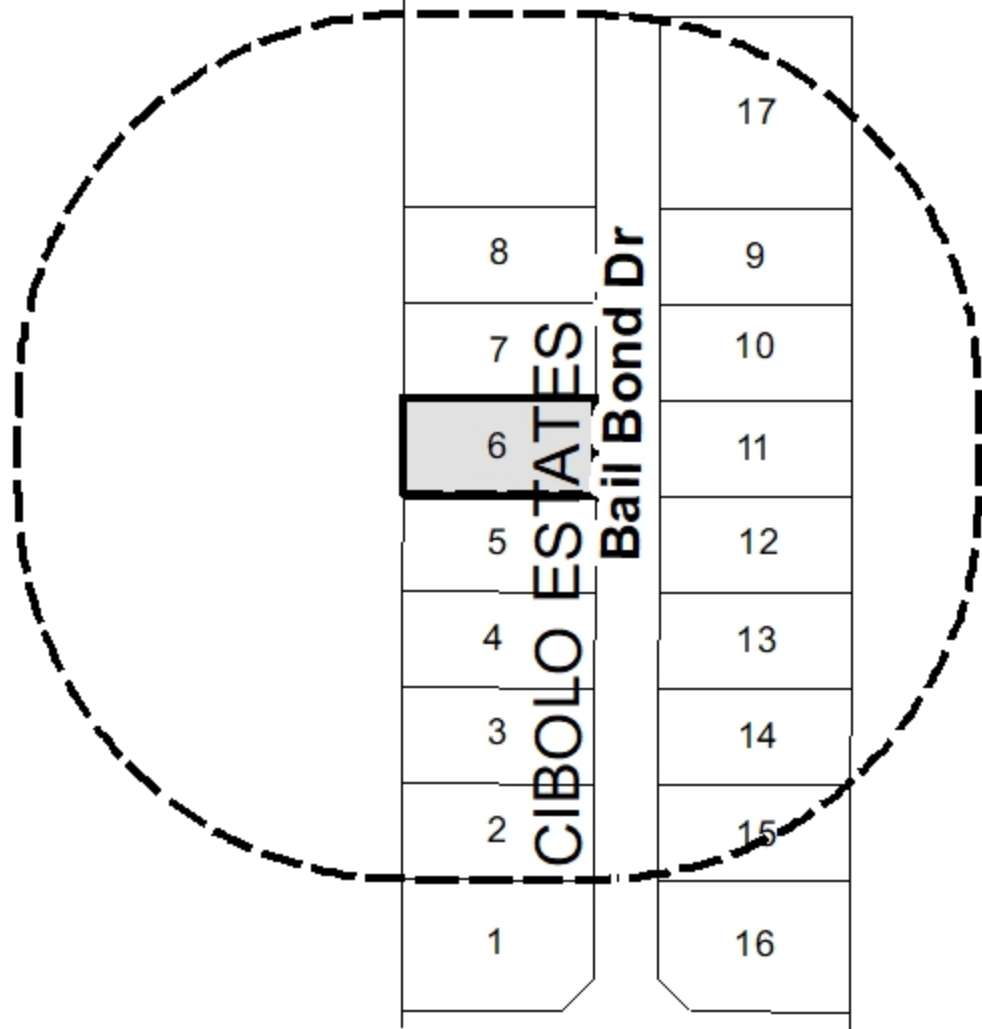
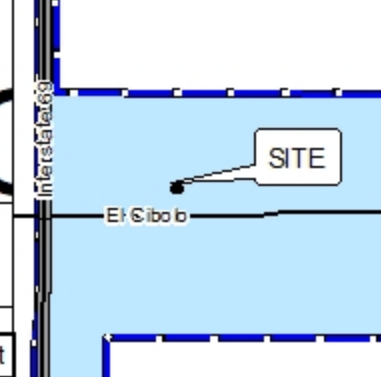
APPLICANT NAME:
ANDRES REYES JR

CONSIDER THE COMPREHENSIVE PLAN AMENDMENT FROM INDUSTRIAL USES TO GENERAL COMMERCIAL USES AND THE REZONING REQUEST FROM AGRICULTURE (AG) DISTRICT TO COMMERCIAL GENERAL (CG) DISTRICT, BEING LOT 6, CIBOLO ESTATES, LOCATED AT 12507 BAIL BOND DRIVE

Legend

- CITY LIMITS
- 300FT NOTIFICATION
- APPLICANT SITE

SITE LOCATION MAP



El Cibolo Rd

CIBOLO

1 in = 150 ft



Planning & Zoning Department
415 W. University Dr.
(956) 388-8202

ZONE CHANGE APPLICATION

- 1. Name: Andres Reyes Jr. Phone No. 956 279-4866
- 2. Mailing Address: 1004 E MILE 4 RD.
 City: Palmhurst, State: TX Zip 78573
 Email Address: Andres2639@ATT.NET Cell No. 956 279-4866
- 3. Agent: _____ Phone No. _____
- 4. Agent's Mailing Address: _____
 City: _____ State: _____ Zip _____
- 5. Email Address: _____
- 6. Address/Location being Rezoned: 12507 N BAIL BOND RD.
- 7. Legal Description of Property: Cibolo Estates Lot 6
- 8. Zone Change: From: Agriculture To: Commercial
- 9. Present Land Use: empty lot.
- 10. Reason for Zone Change: To build A New OFFICE

Andres Reyes Jr.
(Please Print Name)

Andres Reyes
Signature

AMOUNT PAID \$ _____

RECEIPT NUMBER _____

PUBLIC HEARING DATE (PLANNING & ZONING COMMISSION) – 4:00 P.M.: May 11, 2021

PUBLIC HEARING DATE (CITY COUNCIL) – 6:00 P.M.: June 1, 2021

(NOTE: BOTH MEETINGS ARE HELD AT THE CITY COUNCIL CHAMBERS)

RECEIVED

APR 08 2021

Name: ag 10:46AM

SUBDIVISION PLAT OF CIBOLO ESTATES

A 5.679 ACRE TRACT OF LAND OUT OF A CERTAIN 206.32 ACRE TRACT BEING A PART OR PORTION OF BLOCKS 19, 20, 25 AND 26, BAKER'S SUBDIVISION, HIDALGO COUNTY, TEXAS, ACCORDING TO THE MAP OR PLAT THEREOF RECORDED IN VOLUME 2, PAGE 46, MAP RECORDS, HIDALGO COUNTY, TEXAS, AND ACCORDING TO WARRANTY DEED WITH VENDOR'S LIEN RECORDED UNDER COUNTY CLERK'S DOCUMENT NUMBER 419031, OFFICIAL RECORDS, HIDALGO COUNTY, TEXAS.

METES AND BOUNDS

A 5.679 ACRE TRACT OF LAND OUT OF A CERTAIN 206.32 ACRE TRACT BEING A PART OR PORTION OF BLOCKS 19, 20, 25 AND 26, BAKER'S SUBDIVISION, HIDALGO COUNTY, TEXAS, ACCORDING TO THE MAP OR PLAT THEREOF RECORDED IN VOLUME 2, PAGE 46, MAP RECORDS, HIDALGO COUNTY, TEXAS, AND ACCORDING TO WARRANTY DEED WITH VENDOR'S LIEN RECORDED UNDER COUNTY CLERK'S DOCUMENT NUMBER 419031, OFFICIAL RECORDS, HIDALGO COUNTY, TEXAS, REFERENCE TO WHICH IS HERE MADE FOR ALL PURPOSES, AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT A 1/2" IRON ROD FOUND ON THE SOUTH LINE OF BLOCK 26, AND WITHIN THE R.O.W. OF EL CIBOLO ROAD FOR THE SOUTHWEST CORNER OF THE COUNTY OF HIDALGO TRACT (TRACTS I AND II [80.00 ACRES MORE OR LESS] OUT OF BLOCKS 19 AND 26, BAKER'S SUBDIVISION, ACCORDING TO WARRANTY DEED RECORDED UNDER COUNTY CLERK'S DOCUMENT NUMBER 790048, OFFICIAL RECORDS, HIDALGO COUNTY, TEXAS), AND THE SOUTHWEST CORNER OF THIS TRACT, SAID ROD BEARS S 81°03'E, 344.20 FEET FROM THE SOUTHEAST CORNER OF BLOCK 25 AND THE SOUTHWEST CORNER OF BLOCK 26.

THENCE: N 81°03'W, ALONG THE SOUTH LINE OF BLOCKS 25 AND 26, WITHIN THE R.O.W. OF EL CIBOLO ROAD, A DISTANCE OF 350.00 FEET TO A COTTON PICKER SPINDLE SET FOR THE SOUTHWEST CORNER OF THIS TRACT.

THENCE: N 08°57'E, PASSING A 1/2" IRON ROD 24" IN LENGTH WITH PLASTIC CAP STAMPED RPLS 4384 SET AT 15.00 FEET FOR THE EXISTING NORTH R.O.W. LINE OF EL CIBOLO ROAD (ALSO THE NORTH R.O.W. LINE OF ORIGINAL 30.00 FOOT DEDICATION), A TOTAL DISTANCE OF 642.50 FEET TO A 1/2" IRON ROD 24" IN LENGTH WITH PLASTIC CAP STAMPED RPLS 4384 SET FOR THE MOST WESTERLY NORTHWEST CORNER OF THIS TRACT.

THENCE: S 81°03'E, PASSING AT 5.80 FEET THE EAST LINE OF BLOCK 25 AND THE WEST LINE OF BLOCK 26, A TOTAL DISTANCE OF 200.00 FEET TO A 1/2" IRON ROD 24" IN LENGTH WITH PLASTIC CAP STAMPED RPLS 4384 SET FOR AN INTERIOR CORNER OF THIS TRACT.

THENCE: N 08°57'E, A DISTANCE OF 150.00 FEET TO A 1/2" IRON ROD 24" IN LENGTH WITH PLASTIC CAP STAMPED RPLS 4384 SET FOR THE MOST NORTHERLY NORTHWEST CORNER OF THIS TRACT.

THENCE: S 81°03'E, A DISTANCE OF 150.00 FEET TO A 1/2" IRON ROD 24" IN LENGTH WITH PLASTIC CAP STAMPED RPLS 4384 SET ON THE WEST LINE OF THE COUNTY OF HIDALGO TRACT FOR THE NORTHEAST CORNER OF THIS TRACT.

THENCE: S 08°57'W, ALONG THE WEST LINE OF THE COUNTY OF HIDALGO TRACT, PASSING A 1/2" IRON ROD 24" IN LENGTH WITH PLASTIC CAP STAMPED RPLS 4384 SET AT 777.50 FEET FOR THE EXISTING NORTH R.O.W. LINE OF EL CIBOLO ROAD, A TOTAL DISTANCE OF 792.50 FEET TO THE POINT OF BEGINNING, AND CONTAINING 5.679 ACRES OF LAND MORE OR LESS.

BEARINGS IN THIS METES AND BOUNDS DESCRIPTION ARE IN ACCORDANCE WITH BAKER'S SUBDIVISION RECORDED IN VOLUME 2, PAGE 46, MAP RECORDS, HIDALGO COUNTY, TEXAS.

STATE OF TEXAS COUNTY OF HIDALGO

I, JACK A. HEADLEY, A REGISTERED PROFESSIONAL LAND SURVEYOR IN TEXAS, HEREBY CERTIFY THAT THE ABOVE PLAT AND DESCRIPTION OF THE CIBOLO ESTATES WERE PREPARED FROM A SURVEY OF THE PROPERTY MADE ON THE GROUND BY ME OR UNDER MY SUPERVISION ON 03-04-02



Jack A. Headley
DATE 10-07-02
JACK A. HEADLEY
R.P.L.S. No. 4384

STATE OF TEXAS COUNTY OF HIDALGO OWNER'S DEDICATION, CERTIFICATION, AND ATTESTATION

I, RICHARD A. GARZA MARRIED PERSON, AS OWNERS OF THE 5.678 ACRE TRACT OF LAND ENCOMPASSED WITHIN THE PROPOSED CIBOLO ESTATES, HEREBY SUBDIVIDE THE LAND AS DEPICTED IN THIS SUBDIVISION PLAT AND DEDICATE TO PRIVATE USE PARK AND EASEMENTS SHOWN HEREIN.
I CERTIFY THAT I HAVE COMPLIED WITH THE REQUIREMENTS OF TEXAS LOCAL GOVERNMENT CODE 232.032 AND THAT:
(A) THE WATER QUALITY AND CONNECTIONS TO THE LOTS MEET, OR WILL MEET, THE MINIMUM STATE STANDARDS;
(B) SEWER CONNECTIONS TO THE LOTS OR SEPTIC TANKS MEET, OR WILL MEET, THE MINIMUM REQUIREMENTS OF STATE STANDARDS;
(C) ELECTRICAL CONNECTIONS PROVIDED TO THE LOTS MEET, OR WILL MEET, THE MINIMUM STATE STANDARDS;
(D) GAS CONNECTIONS, IF AVAILABLE, PROVIDED TO THE LOTS MEET, OR WILL MEET, THE MINIMUM STATE STANDARDS.
I ATTEST THAT THE MATTERS ASSERTED IN THIS PLAT ARE TRUE AND COMPLETE.

Richard A. Garza
RICHARD A. GARZA
3910 W. FREDDY GONZALEZ DRIVE
EDINBURG TX. 78539

10-7-02
DATE

STATE OF TEXAS COUNTY OF HIDALGO

BEFORE ME, the undersigned notary public, on this day personally appeared RICHARD A. GARZA proved to me through his Texas Department of Public Safety Driver License to be the person whose name is subscribed to the foregoing instrument, who, being by me first duly sworn, declared that the statements therein are true and correct and acknowledged that she executed the same for the purposes and consideration thereby expressed.
Given under my hand and seal of office this 7th day of October, 2002.



Susan J. Headley
SUSAN J. HEADLEY - NOTARY PUBLIC

I, THE UNDERSIGNED, CHAIRPERSON OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF EDINBURG, TEXAS, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

01/09/02
DATE

Ofelia de las Sauter
OFELIA DE LAS SAUTER
CHAIRPERSON PLANNING COMMISSION

HIDALGO COUNTY CERTIFICATE OF PLAT APPROVAL UNDER LOCAL GOVERNMENT CODE § 232.028(a)

WE THE UNDERSIGNED CERTIFY that this plat of the CIBOLO ESTATES was prepared and approved by the Hidalgo County Commissioners Commission on 12/13/02
J. Salinas
Hidalgo County Judge
DATE 12/13/02
J. Salinas
Hidalgo County Clerk
DATE 12/14/02

STATE OF TEXAS COUNTY OF HIDALGO COUNTY CLERK'S RECORDING CERTIFICATE

I, _____ COUNTY CLERK OF HIDALGO COUNTY, certify that the plat bearing this certificate was filed for record at _____ o'clock _____ M. on _____, and was recorded in Book _____, Sheet(s) _____, the Plat Records of Hidalgo County, at _____ o'clock _____ M. on _____.

Hidalgo County Clerk

STATE OF TEXAS COUNTY OF HIDALGO

I, THE UNDERSIGNED, A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THE PROPER ENGINEERING CONSIDERATIONS HAVE BEEN GIVEN TO THIS PLAT.



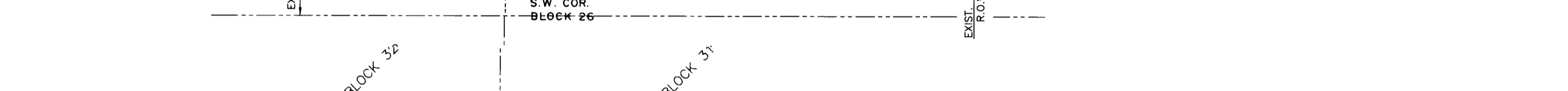
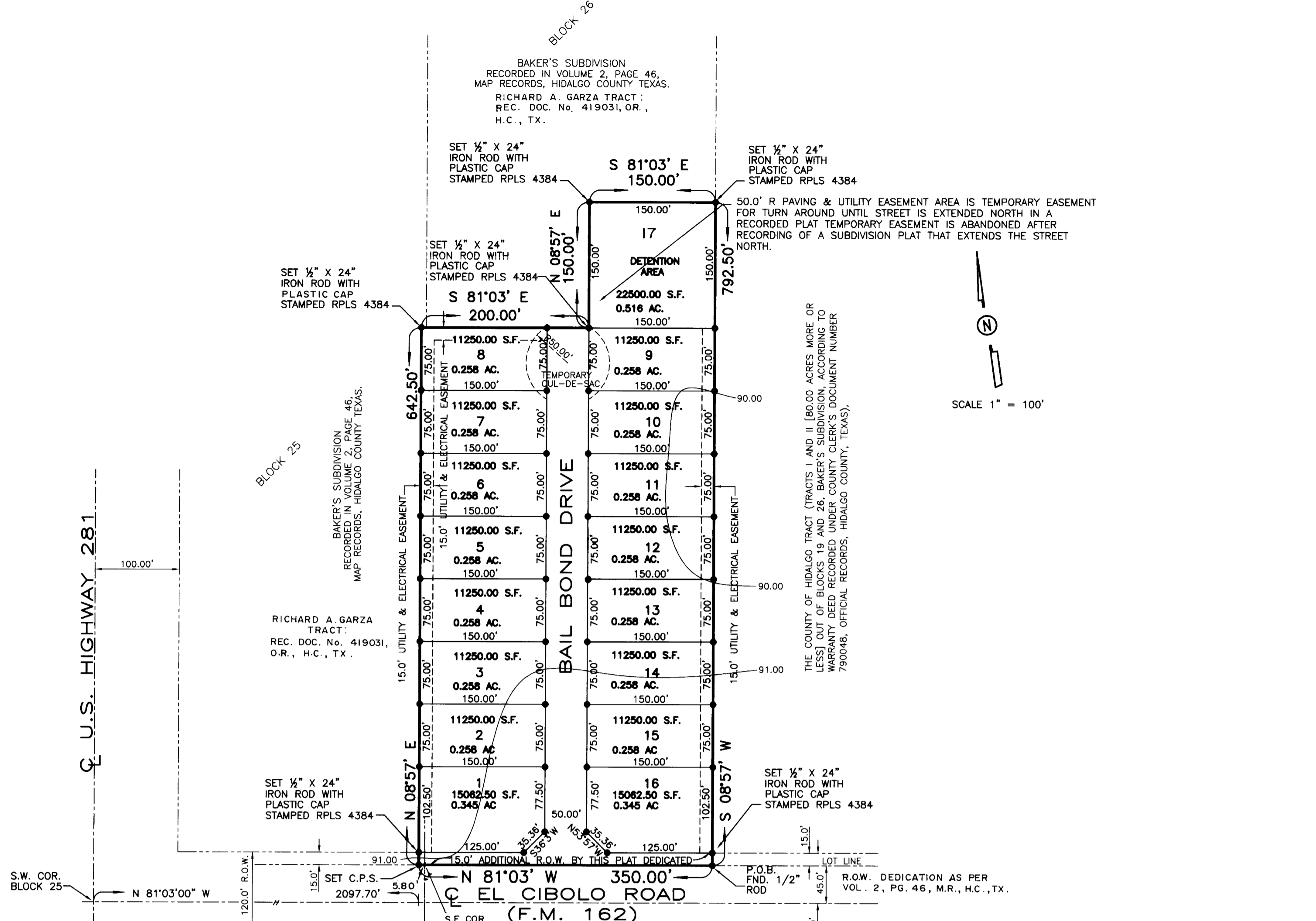
Eulalio Ramirez
EULALIO RAMIREZ
P.E. No. 77062

FILED FOR RECORD IN:
HIDALGO COUNTY
BY J.D. SALINAS, III
COUNTY CLERK
ON: 12-16-02 AT 9:57 AM
AS A RECORDING NUMBER 148833
BY: *Drummond*
DEPUTY

Recorded in Volume 41 Page 87
of the map records of Hidalgo
County, Texas
J.D. Salinas III
County Clerk

QUINTANILLA, HEADLEY AND ASSOCIATES, INC.

CONSULTING ENGINEERS • LAND SURVEYORS
124 E. STUBBS ST. PHONE 956-381-6480
EDINBURG, TEXAS 78539 FAX 956-381-0527



INDEX OF SHEETS

- SHEET 1.- HEADING INDEX; LOCATION MAP AND ETJ; PRINCIPAL CONTACTS; MAP; LOT, STREETS, AND EASEMENT LAYOUT; DESCRIPTION (METES AND BOUNDS); SURVEYOR'S CERTIFICATION; PLAT NOTES AND RESTRICTIONS; OWNER'S DEDICATION, CERTIFICATION, ATTESTATION; CITY APPROVAL CERTIFICATE; COUNTY CLERK'S RECORDING CERTIFICATE; REVISION NOTES.
- SHEET 2 & 3.- ENGINEERING REPORT, INCLUDING DESCRIPTION OF WATER AND WASTE WATER/OSSF AND ENGINEER'S CERTIFICATION (ENGLISH AND SPANISH VERSION); DRAINAGE REPORT INCLUDING DESCRIPTION OF DRAINAGE AND DRAINAGE SWALES; MAP OF TOPOGRAPHY AND DRAINAGE; AND ENGINEERING CERTIFICATION; REVISION NOTES.

NOTE:
HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEXAS WATER CODE NO. 49.211(c). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION. BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA, IT IS THE RESPONSIBILITY OF THE DEVELOPER OF THE SUBDIVISION AND ITS ENGINEER TO MAKE THESE DETERMINATIONS.

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1
12/14/02
BY: *[Signature]*

APPROVED:
[Signature]
Hidalgo County ROW DEPT.

No.	Sheet	REVISION	Date	Approved

GENERAL NOTES

- FLOOD ZONE DESIGNATION: ZONE "X" AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOOD-PLAIN C.P.N. 480334 0325 D MAP REVISED: DATED JUNE 6, 2000 - LOMR MAY 17, 2001. THE AREAS WITHIN THE DRAINAGE EASEMENTS AND THE PROPOSED STREET RIGHT-OF-WAY ARE WITHIN THE 100-YEAR FLOODPLAIN. COMMUNITY PANEL No. 480334 0325 D (JUNE 6, 2000 - LOMR MAY 17, 2001) OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY MAPS FOR HIDALGO COUNTY SHOWS NO OTHER AREA WITHIN THE PROPOSED SUBDIVISION TO BE IN THE 100-YEAR FLOODPLAIN. CONSTRUCTION OF RESIDENTIAL HOUSING WITHIN ANY AREA OF THE SUBDIVISION THAT IS IN THE 100-YEAR FLOODPLAIN IS PROHIBITED UNLESS THE HOUSING QUALIFIES FOR INSURANCE UNDER THE NATIONAL FLOOD INSURANCE ACT OF 1968 (42 U.S.C. SECTIONS 4001 THROUGH 4127).
- ALL LOTS WILL BE FOR COMMERCIAL PURPOSES
- MINIMUM FINISH FLOOR ELEVATION: 18" ABOVE THE CENTERLINE OF THE STREET.
- LEGEND ●- DENOTES 1/2" IRON ROD SET UNLESS OTHERWISE NOTED.
- THERE ARE NO WATER WELLS WITHIN 150 FEET FROM THE BOUNDARIES OF THIS SUBDIVISION.
- MINIMUM BUILDING SETBACK LINES:
FRONT 25.00'
REAR 20% OF LOT DEPTH NOT EXCEED 40.00'
SIDE 6.00'
SIDE ABUTTING 10.00'
- NO BUILDINGS SHALL BE CONSTRUCTED OVER ANY EASEMENT OR LOT LINE.
- DRAINAGE RETENTION IS: 14,783.01 C.F.
- NO FILL OR PERMANENT STRUCTURES SHALL BE ALLOWED WITHIN OR UTILITY EASEMENTS.
- BENCH MARK: 93.60 C.P.S. IN P.POLE AT S/E COR. OF SUBDIVISION ON NORTH R.O.W. OF EL CIBOLO RD. NAVD 88 DATUM.
- EACH PURCHASE CONTRACT MADE BETWEEN A SUBDIVIDER AND PURCHASER OF A LOT IN THIS SUBDIVISION SHALL CONTAIN A STATEMENT DESCRIBING HOW AND WHEN WATER, SEWER, ELECTRICITY AND GAS SERVICES WILL BE MADE AVAILABLE TO THE SUBDIVISION.
- MAINTENANCE OF STREETS AND DRAINAGE SYSTEM CONSISTING OF LOT 17 SHALL BE THE RESPONSIBILITY OF THE DEVELOPER AND LOT OWNERS.
- NO ACCESS WILL BE ALLOWED TO LOTS 1 & 16 FROM CIBOLO ROAD.

LOCATION OF SUBDIVISION WITH RESPECT TO THE EXTRATERRITORIAL JURISDICTION OF A MUNICIPALITY:
CIBOLO ESTATES IS LOCATED IN NORTH HIDALGO COUNTY ON THE EAST SIDE OF U.S. HIGHWAY 281 AND NORTH SIDE OF EL CIBOLO ROAD APPROXIMATELY 2 MILES NORTH OF THE INTERSECTION OF F.M. 2812. THE ONLY NEARBY MUNICIPALITY IS THE CITY OF EDINBURG, ACCORDING TO THE OFFICIAL MAP IN THE OFFICE OF THE SECRETARY OF THE CITY OF EDINBURG (POPULATION 35,000), CIBOLO ESTATES LIES APPROXIMATELY 50.0 FEET FROM THE CITY LIMITS AND IS WITHIN THE CITY'S TWO-MILE EXTRA-TERRITORIAL JURISDICTION (ETJ) UNDER LOCAL GOVERNMENT CODE § 42.021 AND LIES IN PCT. No. 4.

PRINCIPAL CONTACTS:

Name	Address	City & Zip	Phone	Fax
OWNER: RICHARD A. GARZA	3910 W. FREDDY GONZALEZ	EDINBURG, TX 78539	383-6295	383-1633
ENGINEER: EULALIO RAMIREZ	124 E. STUBBS	EDINBURG, TX 78539	381-6480	381-0527
SURVEYOR: JACK HEADLEY	124 E. STUBBS	EDINBURG, TX 78539	381-6480	381-0527

FILENAME: F:\DATA\SUBD\EDINBURG\CIBOLO ESTATES\PLAT

DATE PREPARED	PREPARED BY	CHECKED BY	APPROVED BY
03-07-02	NML		
DATE REVISED	PREPARED BY	CHECKED BY	APPROVED BY

30' Parking

36'

20'

10'

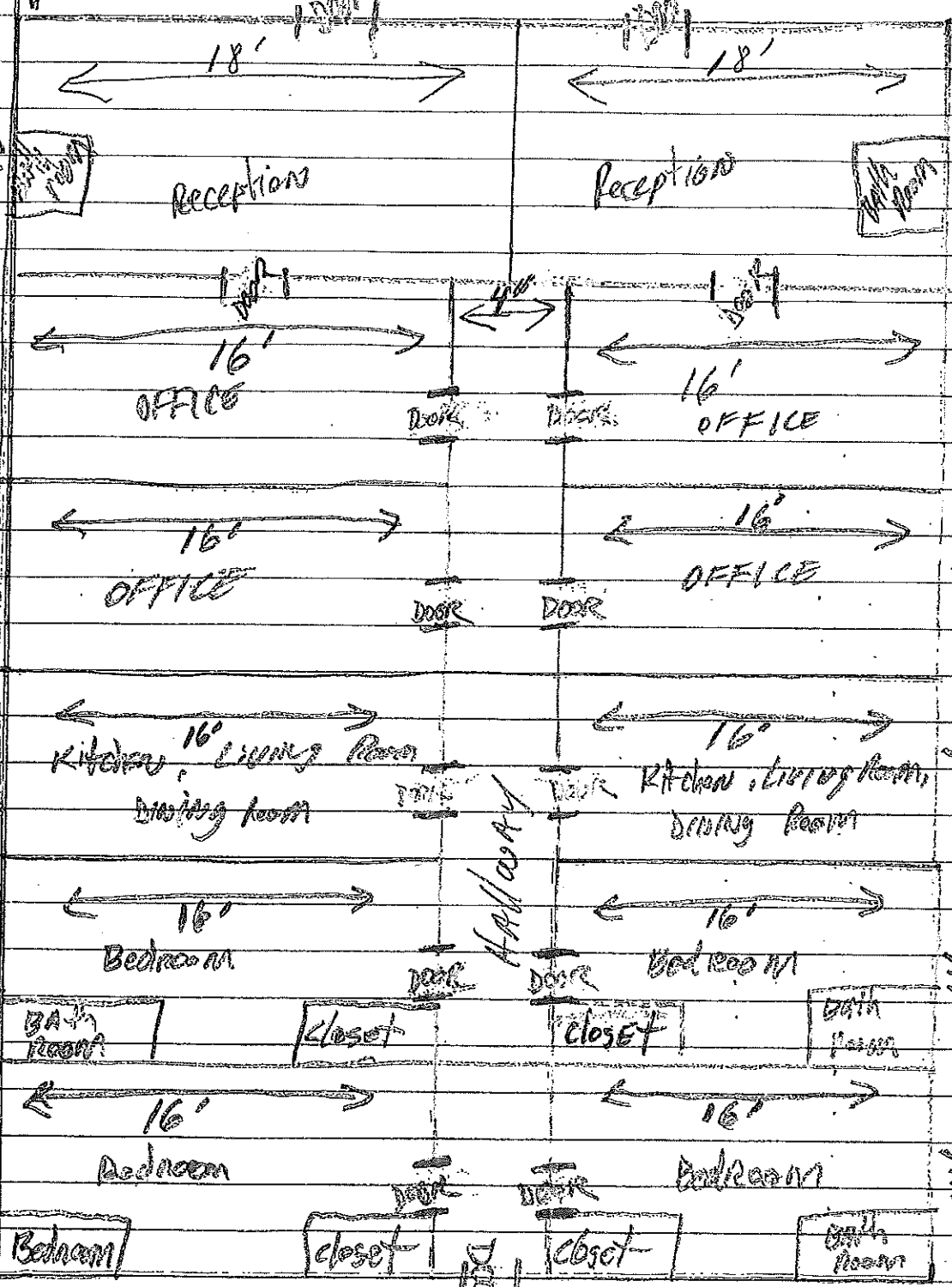
18'

18'

18'

14'

14'



25' Parking

20'





PLANNING & ZONING DEPARTMENT

To: Planning & Zoning Commission

From: Planning & Zoning Department - Staff

Date: May 7, 2021

Re: **FEATHERED HAVEN SUBDIVISION – Final Approval**

Location: The property is located on the west side of Sugar Road, approximately 1,320-ft north of Alberta Road.

The preliminary plat was approved by the Planning & Zoning Commission on August 11, 2020. The subdivision plat is being recommended for final approval, subject to being in compliance with Article 14 Sec. 14.507- (Final Plat Acceptance) of the Unified Development Code and a financial guarantee as approved by the Engineering Department of the City of Edinburg.

All required fees, reimbursements, escrows, parkland fees, 30-year letters, testing reports, letter of acceptance, as-builts, water rights and exclusion shall be submitted. All required original tax certificates and water districts certificates must be submitted prior to plat recording.

A copy of the subdivision plat is attached along with a subdivision location map for your consideration

Sec. 7.410 Required Improvements

A. Design and installation of improvements.

1. All improvements required by this Code and related City regulations shall be designed and installed in accordance with the Edinburg's Comprehensive Plan and any amendments thereto.
2. All improvements shall be furnished, installed, and constructed by the developer at no cost to the City. Escrows may be required for off-site improvements that are required by this Code.
3. Plans and specifications for the improvements herein set forth shall be prepared by a registered professional engineer according to prevailing standards of the City's Engineering Standards Manual. Where plans and specifications have been approved by the City and a conflict arises, the City's Engineering Standards shall prevail, unless otherwise approved in writing by the City Engineer.

B. Acceptance of improvements prior to recordation of final plat.

If the sub-divider chooses to construct the required improvements prior to recording the final plat, all such construction shall be inspected while in progress by the appropriate city department, and must be approved upon completion by the City Engineer or his authorized representative. A certificate by such officer stating that the construction conforms to the specifications and standards contained in or referred to in this Code must be presented to the Director of Planning and Zoning prior to recordation of the final plat.

C. Security.

If the sub-divider chooses to file security in lieu of completing construction prior to the final plat approval for recordation, he may utilize one of the methods set out in this subsection. Generally, the choice of method is in the sub-divider's discretion. However, if the City Engineer finds that past activity of the developer provides cause to require a certain type of security, then the type of security shall be decided by the City Engineer. If the sub-divider chooses to file security, the plat shall not be approved for recordation unless the sub-divider has done one of the following:

1. Performance bond.

The developer has filed with the Administrator a bond executed by a surety company holding a license to do business in the state, and acceptable to the City, in an amount equal to the cost of the improvements required by this Code, and within the time for completion of the improvements as approved by the City Engineer. The performance bond shall be approved as to form and legality by the city attorney.

2. Trust agreement. (ESCROW DEPOSIT)

The developer has placed on deposit in a bank or trust company, in the name of the city and approved by the city, in a trust account, a sum of money equal to the estimated cost of all site improvements required by this chapter, the cost and time of completion as approved by the City Engineer. Selection of the trustee shall be executed on the form provided by the city and approved as to form and legality by the city attorney. Periodic withdrawals may be made from the trust account for a progressive payment of installation cost. The amounts of such withdrawals shall be based upon progress and work estimates approved by the City Engineer. All such withdrawals shall be approved by the trustee.

3. Letter of credit.

The developer has filed with the Director of Planning and Zoning a letter, on the form provided by the City, signed by the principal officer of a local bank or local federally insured savings and loan association or other financial institution acceptable to the city, agreeing to pay to the City, on demand, a stipulated sum of money to apply to the estimated cost of installation of all improvements for which the sub-divider or developer is responsible under this Code. The guaranteed payment sum shall be estimated costs and scheduling as approved by the City Engineer. The letter shall state the name of the subdivision and shall list the improvements for which the sub-divider or developer is required to provide. A letter of credit form is provided in the Engineering Standards Manual, latest edition.

D. Acceptance or rejection of construction. If one of the three types of security is filed by the sub-divider pursuant to C above, the City Engineer shall inspect the construction of the improvements while in progress, and he shall inspect each improvement upon completion of construction. After final inspection, he shall notify the sub-divider and the Director of Planning and Zoning in writing as to his acceptance or rejection of the construction. He shall reject such construction only if it fails to comply with the standards

and specifications contained or referred to in this Code. If he rejects such construction, the Director of Planning and Zoning shall, on direction of the City Council, proceed to enforce the developer's guarantee.

E. Extension of time.

Where good cause exists, the City Engineer may extend the period of time required for completion of improvements. Such extension of time shall be reported to the Director of Planning and Zoning. No such extension shall be granted unless security as provided in C above has been provided by the sub-divider covering the extended period of time.

F. Utility upgrade agreement.

The City may require that the developer upgrade the capacity of municipal utility lines in order to provide adequate facilities to future development in the area of the proposed development. To this end, the City Council may authorize the City Manager to enter into a participation agreement or development agreement that sets out the City's share of additional costs of standard line sizes, and the method and timing of repayment to the developer. The written agreement shall fairly apportion the cost of providing the upgraded capacity, and shall be executed between the developer and the City prior to the final approval of plans and specifications. The form and methodology of the utility upgrade agreement is provided in Appendix A, *Model Subdivision Forms*.

G. Construction.

No construction may take place until plans and specifications for municipal utilities are approved by the Planning and Zoning Commission and until all required approvals for construction of water, sewer, and stormwater facilities have been received from the Texas Commission on Environmental Quality (TCEQ).

H. As-built drawings and engineering certificate.

1. Three sets of digital and paper copies of "as-built" plans and specifications, certified and signed by an engineer registered in the State of Texas, shall be filed with the Administrator prior to the acceptance by the Planning and Zoning Commission of any improvements installed by the sub-divider.
2. Upon the completion of construction, a certificate shall be provided, signed by the subdivision's registered engineer, that any and all improvements constructed in the subdivision have been completed in accordance with the approved construction plans, and that all monuments and lot markers have been properly located and placed in accordance with this Code, as applicable.

I. Guarantee.


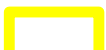
The sub-divider shall guarantee performance of the subdivision improvements for a period of one year through a performance bond or trust agreement, as provided in C1 and C2 above.



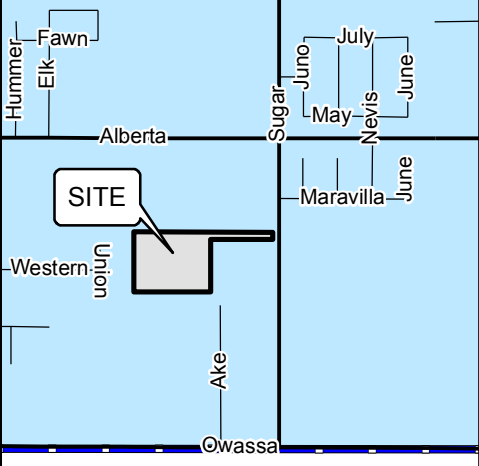
CASE CAPTION:

SUBDIVISION NAME:
FEATHERED HAVEN

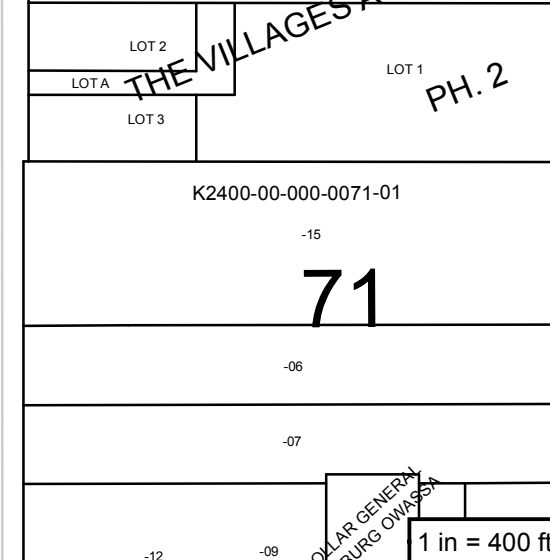
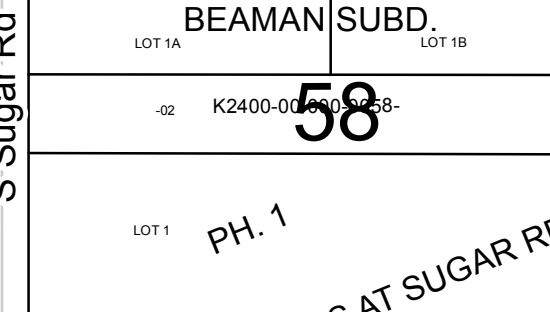
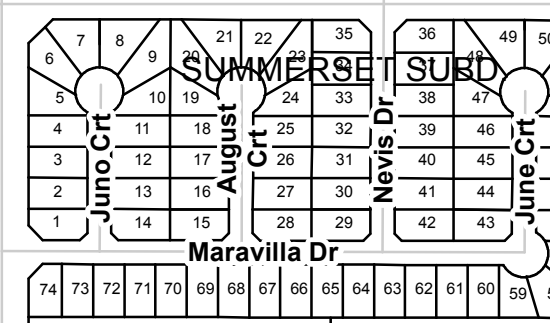
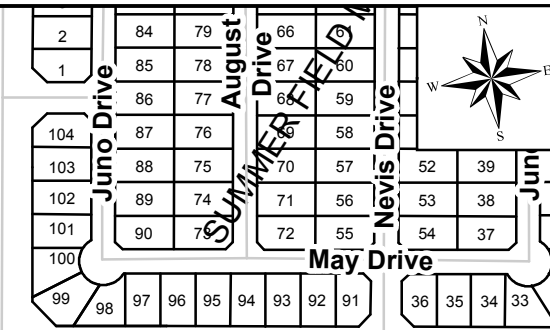
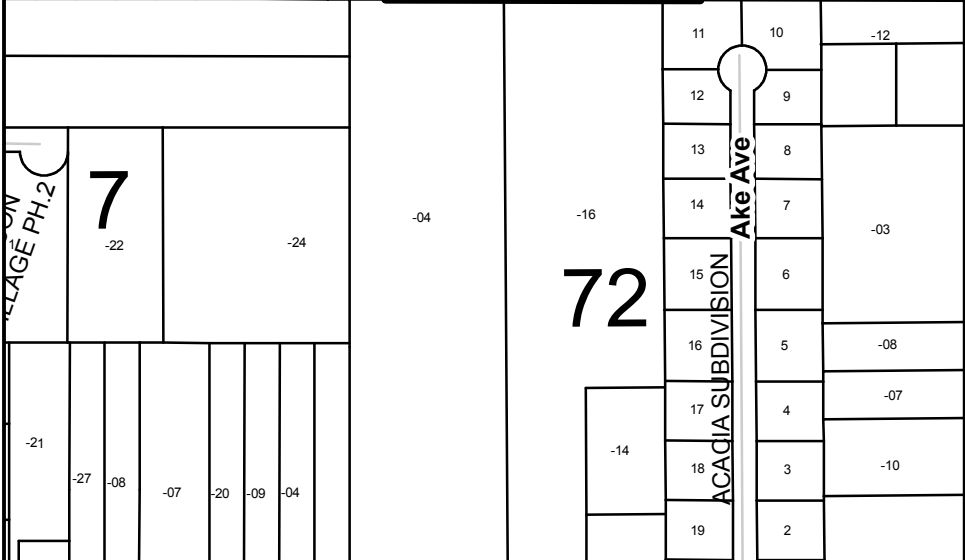
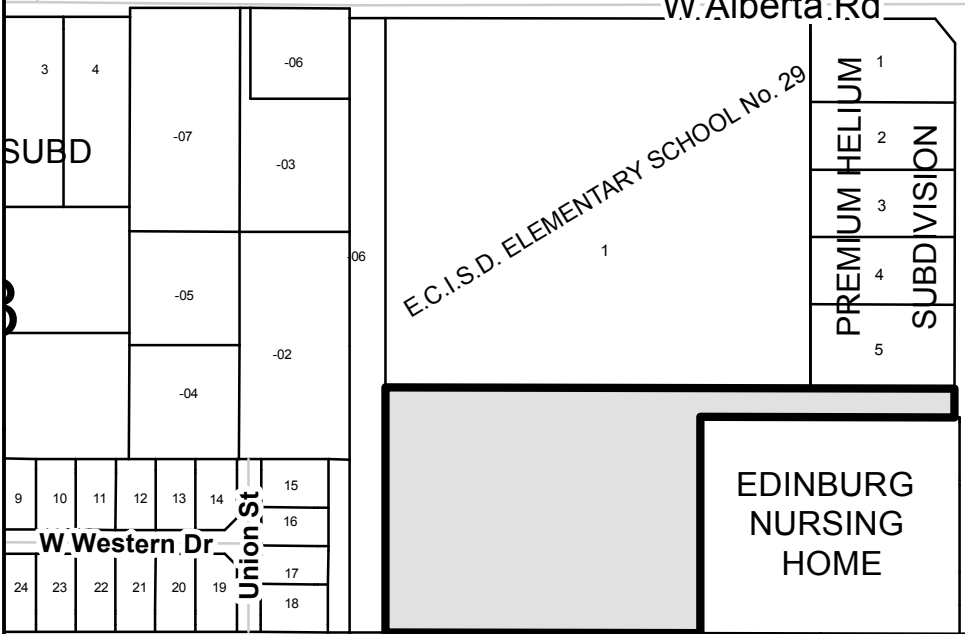
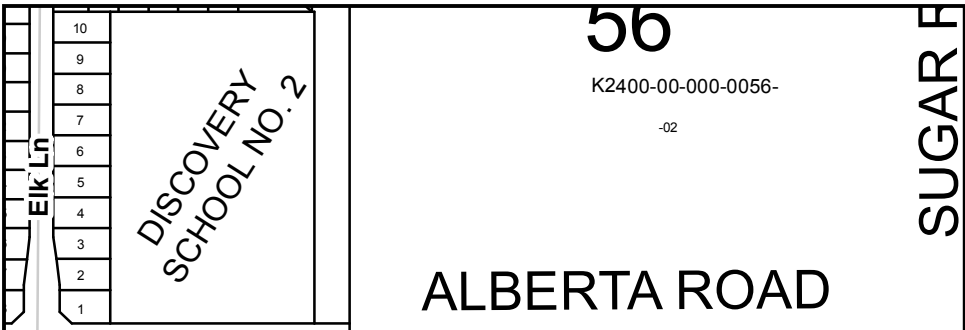
Legend

-  CITY LIMITS
-  APPLICANT SITE

SITE LOCATION MAP



1 in = 400 ft



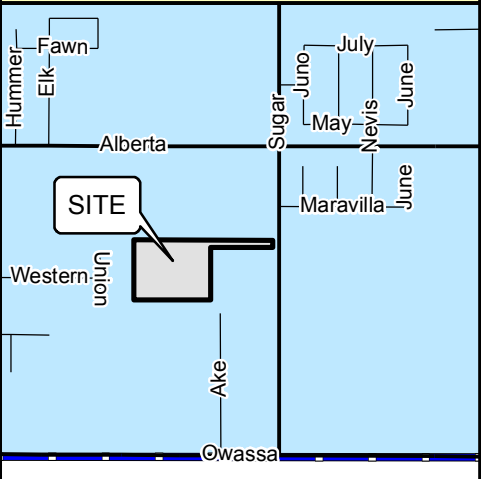
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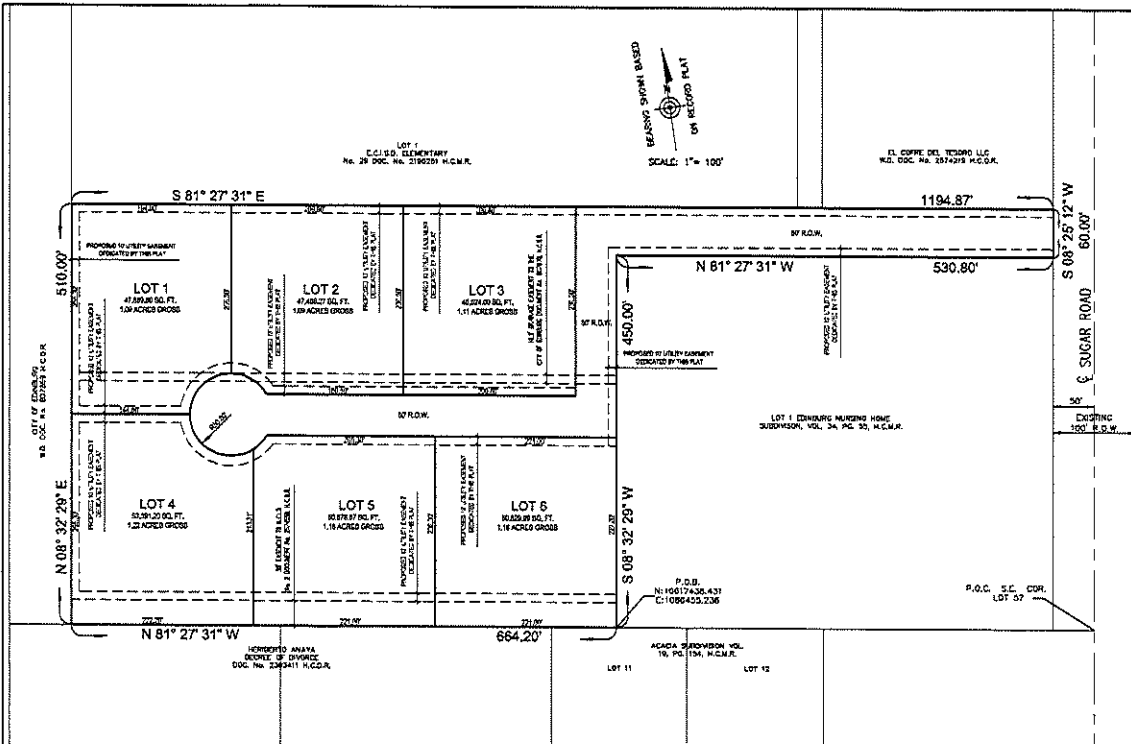
SUBDIVISION NAME:
FEATHERED HAVEN

Legend

- CITY LIMITS
- APPLICANT SITE

SITE LOCATION MAP

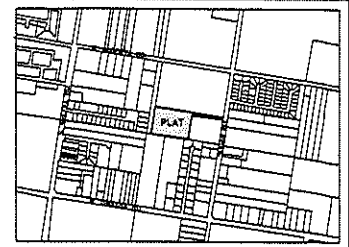




"FEATHERED HAVEN SUBDIVISION" PLAT

CITY OF EDINBURG, TEXAS

A 8.508 ACRE (CALCULATED) TRACT OF LAND, OUT OF LOT 37, KELLY-PHARR SUBDIVISION, AS PER MAP RECORDED IN VOLUME 3, PAGES 123-124, HIDALGO COUNTY DEED RECORDS, HIDALGO COUNTY, TEXAS



STATE OF TEXAS
COUNTY OF HIDALGO

I (WE) THE UNDERSIGNED, OWNER(S) OF THE LAND SHOWN ON THIS PLAT, AND DESIGNATED HEREIN AS THE "PLANNED MAJOR SUBDIVISION ADDITION OF THE PLAT, AND WHOSE NAME IS SUBMITTED HEREIN, HEREBY DEDICATE TO THE USE OF THE PUBLIC FOR ALL STREETS, ALLEYS, PARKS, WATERCOURSES, DRAINAGE EASEMENTS AND PUBLIC PLACES THEREON SHOWN FOR THE PURPOSE OF CONSIDERATION THEREON EXPRESSED.

OWNER: BERTHA LAURA MEDINA
OWNER: MILEDO MEDINA

300 S. 1 1/2 STREET
MCALLEN, TEXAS 78501

STATE OF TEXAS
COUNTY OF HIDALGO

I, THE UNDERSIGNED, IVAN GARCIA, A REGISTERED PROFESSIONAL PUBLIC SURVEYOR IN THE STATE OF TEXAS, HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECTLY MADE AND IS PREPARED FROM AN ACTUAL SURVEY ON THE PROPERTY MADE UNDER MY SUPERVISION ON THE GROUND, AND THAT THE CORNER MONUMENTS WERE PROPERLY PLACED UNDER MY SUPERVISION AND THAT ALL ASPECTS OF IT ARE IN ACCORDANCE WITH THE CITY OF EDINBURG SUBDIVISION ORDINANCE AND ALL STATE STATUTES GOVERNING SURVEYS.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS ____ DAY OF _____ 20__

NOTARY PUBLIC
HIDALGO COUNTY, TEXAS

DATE: _____

STATE OF TEXAS
COUNTY OF HIDALGO

KNOW ALL MEN BY THESE PRESENTS

I, THE UNDERSIGNED, IVAN GARCIA, A REGISTERED PROFESSIONAL PUBLIC SURVEYOR IN THE STATE OF TEXAS, HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECTLY MADE AND IS PREPARED FROM AN ACTUAL SURVEY ON THE PROPERTY MADE UNDER MY SUPERVISION ON THE GROUND, AND THAT THE CORNER MONUMENTS WERE PROPERLY PLACED UNDER MY SUPERVISION AND THAT ALL ASPECTS OF IT ARE IN ACCORDANCE WITH THE CITY OF EDINBURG SUBDIVISION ORDINANCE AND ALL STATE STATUTES GOVERNING SURVEYS.

DATE: _____

IVAN GARCIA
REGISTERED PROFESSIONAL PUBLIC SURVEYOR NO. 6496
621 SOUTH 16TH AVENUE
EDINBURG, TEXAS 78539

APPROVED AND AUTHORIZED FOR RECORD BY THE PLANNING AND ZONING COMMISSION, CITY OF EDINBURG, TEXAS, THIS ____ DAY OF _____ 20__

BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF EDINBURG, TEXAS.

DATE: _____

JOSIE H. SANCHEZ, CHAIRMAN, PLANNING AND ZONING COMMISSION

STATE OF TEXAS
COUNTY OF HIDALGO

KNOW ALL MEN BY THESE PRESENTS

I, THE UNDERSIGNED, CLORINDO HINOJOSA JR., A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN TO THIS PLAT, AND THAT ALL ASPECTS OF IT ARE IN ACCORDANCE WITH THE CITY OF EDINBURG SUBDIVISION ORDINANCE AND ALL STATE STATUTES GOVERNING SURVEYS.

DATE: _____

CLORINDO HINOJOSA JR.
LICENSED PROFESSIONAL ENGINEER NO. 90636
700 SOUTH 13TH STREET
MCALLEN, TEXAS 78501

- GENERAL NOTES:
- THE SUBJECT TRACT LIES IN ZONE "R" AND ZONE "C" (SHADED) AREAS BETWEEN THE LIMITS OF THE 100-YEAR FLOOD AND 500-YEAR FLOOD ON URBAN AREAS SUBJECT TO THE 100-YEAR FLOODING WITH AVERAGE DEPTH LESS THAN ONE (1) FOOT, OR COMBINING DRAINAGE NO. 403389 WGS. C. MAP REVISION DATE: 11/2009.
 - A 5 FT. SUGAR CANE REQUIRED ALONG SUGAR ROAD OF SUBDIVISION DURING BUILDING PERMIT STAGE, INCLUDING WINDSTOP STRIPS IN COMPLIANCE WITH ADA STANDARDS.
 - MIN. BUILDING SETBACK LINES SHALL BE AS FOLLOWS:
FRONT SUGAR ROAD - 30.00 FEET
REAR - 10.00 FEET
SIDE - 10.00 FEET
OR TO CASSETT LINE, WHICHEVER IS GREATER.
 - CURRENT ZONING FOR THIS TRACT IS SUBURBAN RESIDENTIAL.
 - BENCHMARK AT CURB INLET LOCATED AT THE NORTHEAST CORNER OF PROPOSED SUBDIVISION AND WEST OF WINDSTOP STRIPS, SQUARE CWT ELEVATION - 93.89
 - ALL LOT CORNERS ARE 1/2" HIGH STEEL REELS.
 - MAINTENANCE OF ALL LANDSCAPE AND DETENTION AREAS IS THE RESPONSIBILITY OF THE LOT OWNER.
 - ALL CONSTRUCTION SHALL COMPLY WITH STORM WATER POLLUTION PREVENTION PLAN (SWPP) REQUIREMENTS.
 - ADDITIONAL FIRE HYDRANTS MAY BE REQUIRED AT BUILDING PERMIT STAGE INCLUDING NECESSARY CASSETTS.
 - NO PERMANENT STRUCTURES SHALL BE ALLOWED WITHIN UTILITY CASSETTS, GAS CASSETTS, OR IRRIGATION CASSETTS AND LOT LINES.
 - SITE PLAN REVIEW AND APPROVAL IS REQUIRED PRIOR TO OBTAINANCE OF BUILDING PERMIT FOR COMMERCIAL DEVELOPMENTS.
 - AN ENDOSED DETENTION PLAN APPROVED BY THE ENGINEERING DEPARTMENT IS REQUIRED PRIOR TO OBTAINANCE OF A BUILDING PERMIT.
 - RECIPROCAL ACCESS AGREEMENT IS REQUIRED BETWEEN LOTS.
 - DRAINAGE DETENTION REQUIRED FOR THIS PROPERTY IS 0' (40-41").
 - NO STRUCTURES SHALL BE BUILT OVER ANY CASSETTS.
 - PROPERTY OWNERS ARE RESPONSIBLE FOR MAINTENANCE OF ACCESS CASSETTS.
 - EROSION & SEDIMENT CONTROL DURING CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CURRENT TEXAS POLLUTION DISCHARGE ELIMINATION SYSTEM (T.P.D.C.S.).
 - ALL SUBDIVISION IMPROVEMENTS SHALL COMPLY WITH TEXAS POLLUTION DISCHARGE ELIMINATION SYSTEM (T.P.D.C.S.).
 - 12% OF FRONT STREETWARD REQUIRED FOR LANDSCAPING.
 - NO CONSTRUCTION OF ANY STRUCTURES IS ALLOWED UNLESS FIRE PROTECTION IS IN PLACE.
 - THE DEVELOPER SHALL BE RESPONSIBLE FOR OBTAINING AND ACCOMMODATING MORE THAN THE STATED VEHICLE TRAFFIC ON THIS TRACT IF IT IS DETERMINED AT THE PERMIT STAGE THAT THE TRAFFIC REQUIREMENTS ARE GREATER THAN STATED ON THIS PLAT, DUE TO THE IMPROVEMENTS BEING GREATER THAN THE PLAT ENGINEER CONSIDERED IN THE HYDRAULIC CALCULATIONS FOR THIS SUBDIVISION.
 - DRAINAGE ANALYSIS IS TO BE DONE AT DURING BUILDING PERMIT STAGE.

NOTES & BOUNDS:

A 8.508 ACRE (CALCULATED) TRACT OF LAND, OUT OF LOT 37, KELLY-PHARR SUBDIVISION, AS PER MAP RECORDED IN VOLUME 3, PAGES 123-124, HIDALGO COUNTY DEED RECORDS, HIDALGO COUNTY, TEXAS, PROVISION TO WHICH IS HERE MADE FOR ALL PURPOSES, IS MORE PARTICULARLY DESCRIBED BY ACTS AND BOUNDS AS FOLLOWS:

THE POINT OF COMMENCEMENT (P.O.C.) BEING A POINT FOR THE APPARENT SOUTHWEST CORNER OF SAID LOT 37, THENCE N 81°24'34" W ALONG THE APPARENT SOUTH LINE OF SAID LOT 37, A DISTANCE OF 50.00 FEET TO A POINT ON THE APPARENT WEST RIGHT-OF-WAY LINE OF SUGAR ROAD, CONTINUING ON THE SAME BEARING FOR A TOTAL DISTANCE OF 305.80 FEET TO A HALF-INCH IRON ROD FOUND FOR THE APPARENT SOUTHWEST SOUTHWEST CORNER OF SAID 8.508 ACRE TRACT AND ALSO BEING THE POINT OF BEGINNING (P.O.B.) OF SAID 8.508 ACRE TRACT OF LAND HEREIN DESCRIBED.

THENCE N 81°24'34" W ALONG THE SAID SOUTH LINE OF SAID LOT 37, A DISTANCE OF 844.20 FEET TO A HALF-INCH IRON ROD FOUND FOR THE APPARENT SOUTHWEST CORNER OF SAID 8.508 ACRE TRACT OF LAND HEREIN DESCRIBED.

THENCE N 09°24'1" E, PARALLEL TO THE APPARENT WEST LINE OF SAID 8.508 ACRE TRACT, A DISTANCE OF 115.00 FEET TO A HALF-INCH IRON ROD FOUND FOR THE APPARENT NORTHWEST CORNER OF SAID 8.508 ACRE TRACT OF LAND HEREIN DESCRIBED.

THENCE S 81°24'34" E, PARALLEL TO THE SAID SOUTH LINE OF SAID LOT 37 AND WITH THE APPARENT NORTH LINE OF SAID 8.508 ACRE TRACT, A DISTANCE OF 814.02 FEET TO A HALF-INCH IRON ROD FOUND, CONTINUING ON THE SAME BEARING FOR A TOTAL DISTANCE OF 1150.00 FEET TO A HALF-INCH IRON ROD FOUND ON THE SAID EXISTING WEST RIGHT-OF-WAY LINE OF SUGAR ROAD FOR THE APPARENT NORTHEAST CORNER OF SAID 8.508 ACRE TRACT OF LAND HEREIN DESCRIBED.

THENCE S 09°24'1" E, PARALLEL TO THE APPARENT EAST LINE OF SAID LOT 37, WITH THE SAID EXISTING WEST RIGHT-OF-WAY LINE OF SUGAR ROAD, A DISTANCE OF 85.00 FEET TO A HALF-INCH IRON ROD FOUND FOR THE APPARENT EAST-NORTHEAST CORNER OF SAID 8.508 ACRE TRACT OF LAND HEREIN DESCRIBED.

THENCE N 81°24'34" W, PARALLEL TO THE SAID SOUTH LINE OF SAID LOT 37, A DISTANCE OF 800.00 FEET TO A HALF-INCH IRON ROD FOUND FOR AN ATION CORNER OF SAID 8.508 ACRE TRACT OF LAND HEREIN DESCRIBED.

THENCE S 09°24'1" E, PARALLEL TO THE SAID EAST LINE OF SAID LOT 37, A DISTANCE OF 430.00 FEET TO A HALF-INCH IRON ROD FOUND FOR THE APPARENT SOUTHWEST SOUTHWEST CORNER OF SAID 8.508 ACRE TRACT OF LAND HEREIN DESCRIBED AND ALSO BEING THE POINT OF BEGINNING (P.O.B.) CONTAINING 8.508 ACRES (CALCULATED) OF LAND, MORE OR LESS.

PRINCIPAL CONTACTS	ADDRESS	PHONE
OWNER: BERTHA L. MEDINA & MILEDO MEDINA	1300 S. 1 1/2 STREET MCALLEN, TEXAS 78501	
ENGINEER: CLM ENGINEERING, INC.	CLORINDO HINOJOSA JR., 701 S. 13TH STREET, MCALLEN, TX 78501	(956) 667-5360
SURVEYOR: DELTA ENGINEERING	IVAN GARCIA, 621 SOUTH 16TH AVENUE, EDINBURG, TEXAS 78539	(936) 366-0122

DATE: _____

ATTEST: _____ DATE: _____

CITY CLERK, CITY OF EDINBURG

APPROVED BY DRAINAGE DISTRICT

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEXAS WATER CODE ARTICLE 46.101. THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER AND HIS ENGINEER TO MAKE THEIR DETERMINATIONS.

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1

DATE: _____

MARK E. ZEMKE, CLM, CFM, GENERAL MANAGER

THIS PLAT IS HEREBY APPROVED BY THE HIDALGO COUNTY IRRIGATION DISTRICT NO. 2 ON THIS, THE ____ DAY OF _____ 20__

NO IMPROVEMENTS OF ANY KIND (INCLUDING WITHOUT LIMITATION, ERECS, FENCES, AND BUILDINGS) SHALL BE PLACED UPON HIDALGO COUNTY IRRIGATION DISTRICT #2 RIGHTS OF WAYS OR EASEMENTS.

DATE: _____

ATTEST: _____ DATE: _____

PRESIDENT: _____ SECRETARY: _____



FILE FOR RECORD IN
HIDALGO COUNTY
ASTORIA QUARTERS, J.L.
HIDALGO COUNTY CLERK

INSTRUMENT NUMBER: _____ AT _____ AM/PM

DATE OF THE MAP RECORDED IN HIDALGO COUNTY, TEXAS

DATE OF PREPARATION: JULY 1, 2020





**FEATHERED HAVEN SUBDIVISION
STAFF REPORT**

DATE: 08/05/2020

Planning & Zoning Meeting
August 11, 2020

APPLICATION:

Preliminary Plat Approval of Feathered
Haven Subdivision

APPLICANT:

Bertha Medina & Melecio Medina

ENGINEERING FIRM:

CLH Engineering, Inc.

LEGAL:

Being a 8.508 acre tract of land, out of Lot
57, Kelly-Pharr Subdivision

LOCATION:

Located approximately 1,200 feet south of
west of the intersection of the west Alberta
and South Sugar Road

CURRENT USE OF PROPERTY:

Agriculture

EXISTING ZONING & LAND USE:

Agriculture

SURROUNDING LAND USE:

Agriculture

ACCESS AND CIRCULATION:

This property has access to Schunior Road

PUBLIC SERVICES:

Water Distribution System is within North
Alamo Water Distribution System –Sanitary
Sewer CNN- City of Edinburg

RECOMMENDATION:

Staff recommends approval of the
Preliminary Plat subject to the following
requirements.

STAFF REPORT

FEATHERED HAVEN SUBDIVISION
PAGE 2

EVALUATION AND REQUIREMENTS FOR APPROVAL

The following is the staff's evaluation and requirements for the approval of this preliminary plat application. The requirements represent a comprehensive review but does not preclude the City of Edinburg from identifying other requirements deemed necessary for the proper development of the subdivision.

PLANNING & ZONING DEPARTMENT:

In Accordance to the Unified Development Code (UDC) the purpose is to implement the City of Edinburg's Comprehensive Plan. This code is adopted pursuant to the authority granted by the constitution and laws of the State of Texas Local Government Code, Texas Water Code and pursuant to the home rule authority provided in the City's Home Rule Chapter.

PUBLIC WORKS / ENGINEERING DEPARTMENT:

In Accordance to Article 8, Section 8.00 – Streets, Utilities, and Drainage requirements, Section 8.218. A.B Engineering Standards Manual - The City Engineer shall promulgate and maintain an Engineering Standards Manual that specifies the minimum construction standards for streets, drainage, and other infrastructure within the City and its ETJ. New construction of streets, drainage systems, storm water requirements and other infrastructure shall comply with the applicable provisions of the Engineering Standards Manual, latest edition.

UTILITIES DEPARTMENT:

In Accordance to Article 8, Section 8.218.A.B Water Supply requirements - The City Engineer shall promulgate and maintain an Engineering Standards Manual that specifies the minimum construction standards for water, sewer and other infrastructure within the City and its ETJ. New construction of water distribution system, sewer collection system in accordance to a Master Plan, proposed or upgrade of lift stations, proposed or upgrade of booster stations shall comply with the applicable provisions of the Engineering Standards Manual, latest edition.

FIRE DEPARTMENT:

In Accordance to Article 8, Section 8.402.B Fire Flows and Hydrants - The City Engineer Fire Marshal shall promulgate and maintain an Engineering Standards Manual that specifies the minimum construction standards for water and Fire Hydrants within the City and its ETJ. New construction of water system to include fire hydrants shall comply compliance with the applicable provisions of the Engineering Standards Manual, latest edition.

ATTACHMENTS: Subdivision Plat, Subdivision Site Map, Staff comments



Planning and Zoning Department
PRELIMINARY APPROVAL

Date: July 27, 2020

SUBDIVISION: Feathered Haven Subdivision – Lot 57, Kelly-Pharr Subdivision

Cloromiro Hinojosa, Jr., P.E.
Project Engineer

Ivan Garcia, R.P.L.S.,
Project Surveyor

DEVELOPMENT: Feathered Haven Subdivision (8.51-Acre Tract)

LOCATION: North of Owassa Road, West of Sugar Road – City Limits

ORIGINATE: Kelly-Pharr Subdivision, recorded in 1930

EVALUATION AND REQUIREMENTS FOR APPROVAL

The following is the staff's evaluation and requirements for the approval of this plat application. The requirements represent a comprehensive review but do not preclude the City of Edinburg from identifying other requirements deemed necessary for the proper development of the subdivision.

GENERAL COMMENTS:

In Accordance to the Unified Development Code (UDC) the purpose is to implement the City of Edinburg's Comprehensive Plan. This code is adopted pursuant to the authority granted by the constitution and laws of the State of Texas Local Government Code, Texas Water Code and pursuant to the home rule authority provided in the City's Home Rule Chapter.

Article 7 – Plat & Site Plan Design, all of Lot, with required improvements, fees, etc.

Article 8 – Streets, Accessibility to Sugar Road, Utilities (Water) within City of Edinburg water distribution system, (Fire Marshal will require a Fire Protection system, (Sewer) within City of Edinburg Collection system, and Drainage, with an onsite detention system.

Article 9 - Lighting,

RECOMMENDATION:

Approval:

Kimberly Mendoza,
Director of Planning & Zoning



Abel Beltran, Subdivision Coordinator
Jessica Ramirez, Urban Planner
Rita Guerrero, Urban Planner

Attachment: Utility, Public Works, Fire, Staff Findings.



PLANNING & ZONING DEPARTMENT (956) 388-8202

**SUBDIVISION WITHIN CITY LIMITS CHECK LIST
SUBDIVISION PROCESS**

PRELIMINARY FEE REPORT

Date : March 24, 2021

Date Filed: July 2, 2020 P&Z Preliminary: August 11, 2020 P&Z Final: _____ City Council: _____

Reviewed By: Abel Beltran, Subd. Coord. Staff Review: July 23, 2020 Time Line: 365 Days Expires: July 2, 2021
abeltran@cityofedinburg.com Staff / Engineer: July 30, 2020 1st Extension: 0 Days Expires 1: _____
 2nd Extension: 0 Days Expires 2: _____

Director of Planning & Zoning : Kimberly A. Mendoza Email : kmendoza@cityofedinburg.com City Office #: (956) 388-8202
 Director of Utilities Arturo Martinez Email : amartinez@cityofedinburg.com City Office #: (956) 388-8212
 Director of Public Works Vincent Romero Email : layala@cityofedinburg.com City Office #: (956) 388-8210
 Director of Engineering Mardoqueo Hinojosa, P.E., CPM Email : mhinojosa@cityofedinburg.com City Office #: (956) 388-8211

Owner: **Bertha L. & Melecio Medina** 1300 S. 1 1/2 Street McAllen, TX Engineer: Cloromiro Hinojosa, Jr., P.E.

FEATHERHAVEN VILLAGE SUBDIVISION Consultant : CLH Engineering, Inc.

DESCRIPTION	Provided	Need to Provide	Not Applicable	Need to Revise	COMMENTS
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Subdivision Process:

Subdivision Plat Submittal	✓				Date : July 2, 2020 Recorded :
Warranty Deed	✓				
Topography Survey	✓				
Drainage Report Submittal (As Per City Drainage Policy)		✓			Approved by H.C.D.D.#1 Date: Pending Approval
Zoning : City Limits - Residential	✓				
Flood Zone	✓				Zone "X" (Shaded)

Preliminary Submittals:

Existing & Proposed Water Distribution Layout	✓				
Water Distribution System Provider:	✓				City of Edinburg Water - Distribution System
Existing & Proposed Sewer Collection Layout	✓				
Sanitary Sewer Collection System Provider:	✓				City of Edinburg Sanitary Sewer Collection System
Existing and Proposed Drainage Layout System:	✓				
MPO Collector / Arterial Right-of-way Dedication	✓				Right-of-Way Dedication as per MPO requirements (100-Feet)
Minor / Major Collector Street pavement Section	✓				on Sugar Road with Street Section of (81-ft B-B)
Variances Appeals Request:					Planning & Zoning Meeting Results City Council Meeting
			✓		
			✓		
			✓		

Construction Plans Review Submittals: (See Section 4 Construction Plans Submittals Policy, 2014 STANDARD POLICY MANUAL)

Cover Sheet	✓				See Section 4 - Construction Plans Submittal Policy Manual
Topography Sheet (Utilities, Bench Marks)	✓				
Sanitary Sewer Improvements: On-Site & Off-Site	✓				See Section 3 - Utility Policy, 2014 Standard Policy Manual
Sanitary Sewer Detail Sheets	✓				See Section 3 - Utility Policy, 2014 Standard Policy Manual
Water Distribution Improvements: On-Site & Off-Site	✓				See Section 3 - Utility Policy, 2014 Standard Policy Manual
Water Distribution Detail Sheet	✓				See Section 3 - Utility Policy, 2014 Standard Policy Manual
Drainage Improvements:	✓				
Drainage Detail Sheets	✓				See Section 1 - Drainage Policy, 2014 Standard Policy Manual
Minor / Major Collector Streets Improvements:	✓				See Section 2 - Streets Policy, 2014 Standard Policy Manual
Street Sign Sheet:	✓				
Street Detail Sheets	✓				See Section 2 - Streets Policy, 2014 Standard Policy Manual
Street Lighting Sheet:	✓				
Traffic Control Plan:	✓				
Erosion Control Plan and Detail Sheet	✓				See Storm Water Management, 2014 Standard Policy Manual

DESCRIPTION	Provided	Need to Provide	Not Applicable	Need to Revise	COMMENTS
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Pre-Construction Meeting:

Notice To Proceed		✓			Dated:
Roadway Open-Cut or Bore Permit Application		✓			
TX-Dot Water UIR Permit		✓			Dated:
TX-Dot Sewer UIR Permit		✓			Dated:
N.O.I. Submittal		✓			Dated:
SWPP Booklet Submittal		✓			Dated:
Change Orders		✓			Dated:
Final Walk Through		✓			Dated:
Punch List		✓			Dated:
Punch List (Completed and Approved)		✓			Dated:
Letter of Acceptance		✓			Dated:
1-year Warranty (Water/Sewer/Paving/Drainage)		✓			Dated:
Backfill Testing Results		✓			Dated:
As-Builts (Revised Original Submittal)		✓			Dated:

Recording Process:

Public Improvements with (Letter of Credit)		✓			Dated:	Expires:
Recording Fees		✓			As required by County Clerks office	
Copy of H.C.D.D. #1 of invoice		✓			Required to be paid prior to Final Stages	
Sugar Road Widening Escrow	\$ -		✓		Estimated	0 LF @ \$ -
Sugar Road Widening Escrow	\$ -		✓		Estimated	0 LF @ \$ -
Sidewalk Escrow (5-ft) on Sugar Road	\$ -		✓		Estimated	0 LF @ \$ -
TOTAL OF ESCROWS:	\$ -					
Total Developer's Construction Cost: (Letter of Credit)						
Laboratory Testing Fee:	3%	\$ -	✓		\$ -	Escrow Grand Total
Inspection Fee:	2%	\$ -	✓		\$ -	Final Construction Cost
Park Land Fees: ETJ	\$ - Per Unit	0	✓			
6 Residential	\$ 300.00	\$ 1,800.00	✓		50% Development	50% Building Stage
0 Multi-Family	\$ -	\$ -	✓		0% Development	0% Building Stage
Water Rights: COE - CCN	\$ 24,646.06		✓		8.51 Acres	\$ 2,896.81
Water 30-year Letter	COE - CCN	\$ 1,950.00	✓		6 Units @ \$ 325.00	Master COE WATER-CCN
Sewer 30-year Letter	COE - CCN	\$ 540.00	✓		6 Lots @ \$ 90.00	Master COE SEWER-CCN
TOTAL OF FEES:	\$ 28,936.06					

Reimbursements:

Developer Sewer Improvements	\$ -		✓		Off-Site System:	0.00 AC \$ -
Developer Water Improvements	\$ -		✓		Off-Site System	0.00 AC \$ -
Developer Drainage Improvements	\$ -		✓		Off-Site System	0.00 TOTAL \$ -
TOTAL OF REIMBURSEMENTS:	\$ -					

Buyouts:

North Alamo Water Supply Corporation			✓		Not Applicable
Sharyland Water Supply Corporation			✓		Not Applicable

Tax Certificates

County of Hidalgo / School District		✓			
Water District		✓			Hidalgo County Irrigation District # 2

Total of Escrows, Fees, Reimbursements and Buyouts:

Escrows	\$ -				
Inspections other Fees	\$ 28,936.06				Water Rights, Testing & Inspection Fees & Parkland Fees
Reimbursements	\$ -		N/A		No appreant Reimbursements within the surrounding area
City of Edinburg	\$ -		15%		Payable to the City of Edinburg for Administrative Fee
To the Developer of Record	\$ -		85%		Payable to the Developer of Record (Separate Check)
Buyouts	\$ -				
TOTAL :	\$ 28,936.06				Developer Total Cost of Fees, Escrows, Reimbursements & Buyouts



WOODLANDS ESTATES SUBDIVISION

STAFF REPORT

DATE: 05/05/2021	Planning & Zoning Meeting – May 11, 2021
<u>APPLICATION:</u>	Preliminary Plat Approval of Woodlands Estates Subdivision
<u>APPLICANT:</u>	Lloyd M. Southwick, Linda S. Johnson, & Leslie H. Southwick
<u>ENGINEERING FIRM:</u>	Melden & Hunt, Inc.
<u>LEGAL:</u>	Being a 31.12-acres tract of land out of Lot 14, Section 237, Texas-Mexican Railway Company Survey, situated in the City of Edinburg, Hidalgo County, Texas
<u>LOCATION:</u>	Located at the northwest corner of N. McColl Road and W. Schunior Road
<u>CURRENT USE OF PROPERTY:</u>	Vacant
<u>EXISTING ZONING & LAND USE:</u>	Agriculture Zoning
<u>SURROUNDING LAND USE:</u>	North: Suburban (S) Residential District East: Suburban (S) Residential District South: Agricultural (AG) District West: Neighborhood Conservation 5 (NC5) District
<u>ACCESS AND CIRCULATION:</u>	This property has access to N. McColl Road (FM 2061), and W. Schunior Road
<u>PUBLIC SERVICES:</u>	City of Edinburg Sanitary Sewer System, and Sharyland Water Distribution System
<u>RECOMMENDATION:</u>	Staff recommends approval of the Preliminary Plat subject to the following requirements.

EVALUATION AND REQUIREMENTS FOR APPROVAL

The following is the staff's evaluation and requirements for the approval of this preliminary plat application. The requirements represent a comprehensive review but do not preclude the City of Edinburg from identifying other requirements deemed necessary for the proper development of the subdivision.

STAFF REPORT
THE WOODLAND ESTATES
PAGE 2

PLANNING & ZONING DEPARTMENT:

In Accordance with the Unified Development Code (UDC) the purpose is to implement the City of Edinburg’s Comprehensive Plan. This code is adopted pursuant to the authority granted by the constitution and laws of the State of Texas Local Government Code, Texas Water Code and pursuant to the home rule authority provided in the City’s Home Rule Chapter.

PUBLIC WORKS / ENGINEERING DEPARTMENT:

In Accordance with Article 8, Section 8.00 – Streets, Utilities, and Drainage requirements, Section 8.218. A.B Engineering Standards Manual - The City Engineer shall promulgate and maintain an Engineering Standards Manual that specifies the minimum construction standards for streets, drainage, and other infrastructure within the City and its ETJ. New construction of streets, drainage systems, storm water requirements and other infrastructure shall comply with the applicable provisions of the Engineering Standards Manual, latest edition.

UTILITIES DEPARTMENT:

In Accordance with Article 8, Section 8.218.A.B Water Supply requirements - The City Engineer shall promulgate and maintain an Engineering Standards Manual that specifies the minimum construction standards for water, sewer and other infrastructure within the City and its ETJ. New construction of water distribution system, sewer collection system in accordance to a Master Plan, proposed or upgrade of lift stations, proposed or upgrade of booster stations shall comply with the applicable provisions of the Engineering Standards Manual, latest edition.

FIRE DEPARTMENT:

In Accordance with Article 8, Section 8.402.B Fire Flows and Hydrants - The City Engineer / Fire Marshal shall promulgate and maintain an Engineering Standards Manual that specifies the minimum construction standards for water and Fire Hydrants within the City and its ETJ. New construction of water system to include fire hydrants shall comply compliance with the applicable provisions of the Engineering Standards Manual, latest edition.

ATTACHMENTS: Subdivision Plat, Subdivision Site Map, Staff comment



Planning and Zoning Department

PRELIMINARY SUBDIVISION STAFF REVIEW COMMENTS

Company: MELDEN & HUNT, INC.

Attention: Mario Reyna, P.E., Project Engineer

From: Abel Beltran, Planner I

Date: April 27, 2021

Re: WOODLANDS ESTATES SUBDIVISION – CITY LIMITS

The following is the staff's evaluation and requirements for the information submitted to our office by the project engineer. The requirements represent a comprehensive review but do not preclude the City of Edinburg from identifying other requirements deemed necessary for the proper development of the subdivision.

SUBMITTALS:

Subdivision Plat:

Preliminary Review confirm process based on the existing zoning and proposed, lots, block length, corner clip, setbacks, streets right-of-way dedication, easements, finish floor elevation, metes and bounds, vicinity map, owners, notary, districts, engineers and surveyor acknowledgments, street name, flood zone, etc.

Water Layout Plan:

A Sharyland Water Distribution System for said development shall continue to be placed within a proposed 15-foot utility easement within development and extended to loop system placed in easement or TX-Dot right-of-way line, to include fire protection connecting and looping to an existing Water line and shall comply with the spacing of proposed hydrant(s).

Sewer Layout Plan:

Development will utilize an existing 15-inch located on Schunior Road City of Edinburg Sanitary Sewer line ending at the west side of McColl Road.

Paving & Drainage Plan:

Proposed Interior Access shall consist of a Collector Street Section as required by standards. Entrances onto McColl Road (FM 2061) will require TX-Dot approval. On-site drainage system onto a proposed detention pond with an outfall system is proposed.

Drainage Report:

Report submitted can be preliminary without H.C.D.D. #1 approval with pending County approval. Detention shall be interior with restricted outfall connection to existing Drain Ditch located on the north side of development.



Planning and Zoning Department

GENERAL REQUIREMENTS FINDINGS:

1. Must comply with the Unified Development Code adopted in 2007 with Article 3- District and Bulk Standards for lot area, lot width, setbacks and block length as required by code.
2. General Plat Notes to indicate; flood zone designation, correct setbacks, finish floor elevation, SW3P Requirements, detention, sidewalk, utilities provider and other notes as required based on development.
3. In Accordance to Unified Development Code adopted in 2007, Article 8 Street, Utilities and Drainage and in City of Edinburg 2014 Standards Manual, with Street Right of way dedication as noted on Table 8.204.
4. In Accordance to Section 8.213 Sidewalks and Code of Ordinances Chapter 98 – Sidewalks shall be five (5) foot for perimeter streets arterial, collector or higher classification.

FIRE DEPARTMENT FINDINGS:

1. The Fire Marshal's office requires fire hydrant be located on 600-foot intervals with blue buttons are placed at center of street and on the lane hydrant is located.
2. Must submit proposed street names prior to the Pre-construction process for approval.

ENGINEERING DEPARTMENT FINDINGS:

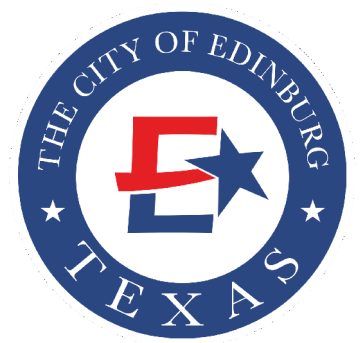
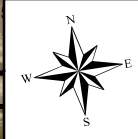
1. In Accordance to Section 8.218.A.B Engineering Standards Manual - The City Engineer shall promulgate and maintain an Engineering Standards Manual that specifies the minimum construction standards for streets, drainage, and other infrastructure within the City and its ETJ. New construction of streets, drainage systems, and other infrastructure shall comply with the applicable provisions of the Engineering Standards Manual, latest edition.
2. A proposed designed drainage system based on a designed basin areas exhibit with an approved drainage outfall system.
3. Must attach the City of Edinburg Streets, Drainage, and erosion control details on the construction set of plans. (See Section 4 of the City of Edinburg 2014 Standards Manual)
4. Additional comments will be addressed at the review of the construction plans.

UTILITIES DEPARTMENT FINDINGS:

1. Water Supply Distribution will be addressed by Sharyland Water Supply Corporation. Sanitary Sewer Collection System will be addressed by City of Edinburg. Applicable Fees, SWSC is required (determined by SWSC), and Water Rights - \$2,896.81 / Acre, and to include 30-year water (\$5-Per Lot Transfer Fee), and sewer (\$65-Per Lot Service Agreement Fee).

Additional Comments provided:

Cc: Kimberly Mendoza, MPA, Director of Planning & Zoning, Jaime X. Ayala, Planner II, Rita Guerrero, Urban Planner 1, Mardoqueo Hinojosa, P.E., Director of Engineering, Vince Romero, Director of Public Works, Gerardo Carmona, P.E., Director of Utilities, Arturo Martinez, Director of Utilities, Jose Flores, Systems Superintendent, Omar Garza, Fire Marshal, Ramiro Gomez, Director of Solid Waste Management, Robert Valenzuela, Storm Water Specialist.





AERIAL MAP

CASE CAPTION:

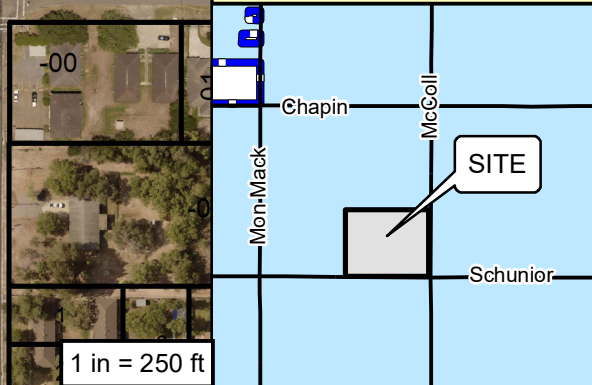
SUBDIVISION NAME:
WOODLANDS ESTATES

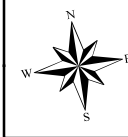
Consider the Preliminary plat of Woodlands Estates, being 31.124 acres out of Lot 14, Section 237, Texas-Mexican Railway Company Survey, located at 1001 North McColl Road, as by Melden and Hunt

Legend

-  CITY LIMITS
-  SUBDIVISION SITE

SITE LOCATION MAP







SITE MAP

CASE CAPTION:

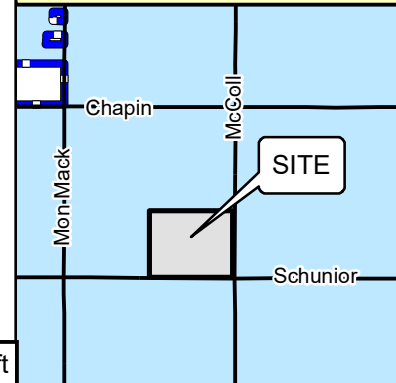
SUBDIVISION NAME:
WOODLANDS ESTATES

Consider the Preliminary plat of Woodlands Estates, being 31.124 acres out of Lot 14, Section 237, Texas-Mexican Railway Company Survey, located at 1001 North McColl Road, as by Melden and Hunt

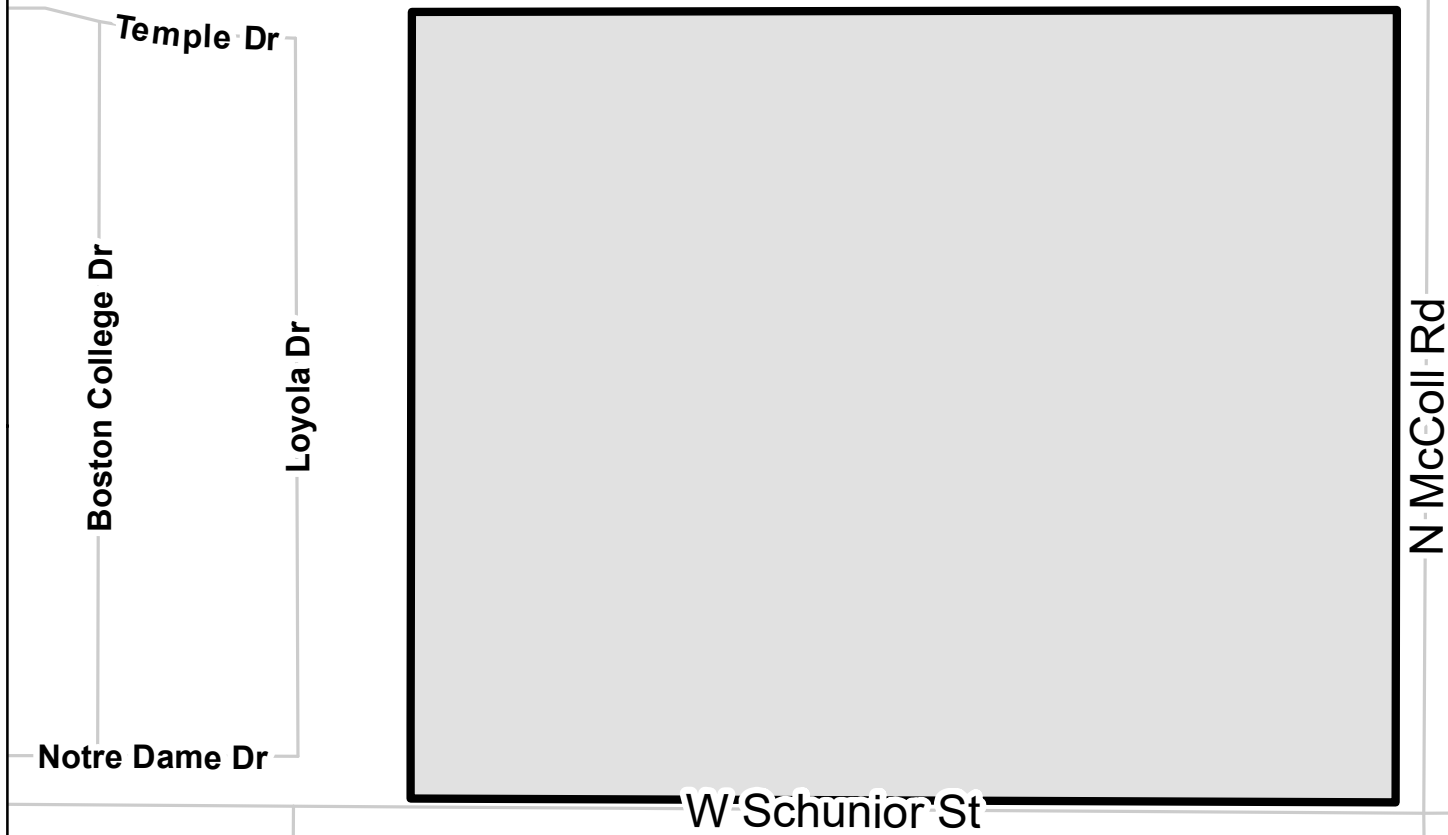
Legend

-  CITY LIMITS
-  SUBDIVISION SITE

SITE LOCATION MAP



1 in = 250 ft



Temple Dr

Boston College Dr

Loyola Dr

Notre Dame Dr

Alteza Dr

W Schunior St

N-McColl Rd



Planning & Zoning Department
415 W. University Dr.
(956) 388-8202

SUBDIVISION APPLICATION

1. Nature of Request (circle one or more):

<input checked="" type="checkbox"/>	Preliminary Plat	<input checked="" type="checkbox"/>	Final Plat	<input type="checkbox"/>	Amended Plat
<input type="checkbox"/>	Development Plat	<input type="checkbox"/>	Vacating Plat	<input type="checkbox"/>	Minor Plat
<input type="checkbox"/>	Concept Plan	<input type="checkbox"/>	3 ½ Mile E.T.J. Plat	<input type="checkbox"/>	Re-Plat

2. Exact name of proposed subdivision: The Woodlands

3. Legal Description: Being a 31.124 acre tract of land out of Lot 14, Section 237, Texas-Mexican Company's Survey

4. Zoning: Present: Agricultural Required: _____

5. Inside city limits? Yes No
If outside, is the proposed subdivision within the: (Circle one)
 Comprehensive Development Area Rural Development Area

6. Primary consulting firm: Melden and Hunt, Inc.
Email: mario@meldenandhunt.com
Phone: (956) 381-0981 Address: 115 West McIntyre Street, Edinburg, Texas 78541

7. Proposed method of liquid waste disposal:
 Sanitary Sewer OSSF – On-Site Sewage Facility

8. Desired land use options:

<input type="checkbox"/>	Single Family	<input type="checkbox"/>	Twin House	<input type="checkbox"/>	Patio Homes	<input type="checkbox"/>	Townhouse
<input type="checkbox"/>	Lot-Line House	<input type="checkbox"/>	Village House	<input type="checkbox"/>	Duplex	<input type="checkbox"/>	Atrium
<input type="checkbox"/>	Multiplex	<input checked="" type="checkbox"/>	Multi-Family	<input type="checkbox"/>	Duplex Townhouse	<input type="checkbox"/>	Roof Deck
<input type="checkbox"/>	Mobile Homes	<input type="checkbox"/>	Manufactured Home	<input type="checkbox"/>	Commercial	<input type="checkbox"/>	Industrial

9. Number of lots: 90 Lots
Residential: _____ Commercial: _____ Multi-Family: Industrial: _____

10. Electric power and light company to serve the proposed subdivision (circle one): (Dual)
 AEP (Central Power & Light) Magic Valley Electric Co-op

11. Irrigation District:
 Hidalgo County Irrigation District No. 1 Santa Cruz Irrigation District No. 15
 Hidalgo County Irrigation District No. 2 Other: _____



ENGINEERING DEPARTMENT

Preliminary Staff Review

April 29, 2021

Mario A. Reyna, P.E.

Melden & Hunt, inc.
115 W. McIntyre.
Edinburg, TX 78541
(956) 381-0981

RE: WOODLANDS ESTATES – PRELIMINARY REVIEW

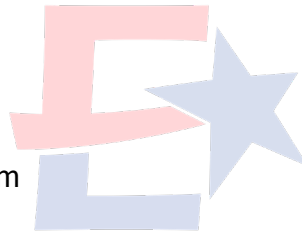
Mr. Reyna,

Attached are the Preliminary Phase Submittal comments for Woodlands Estates.

Any questions feel free to contact us.

Thanks,

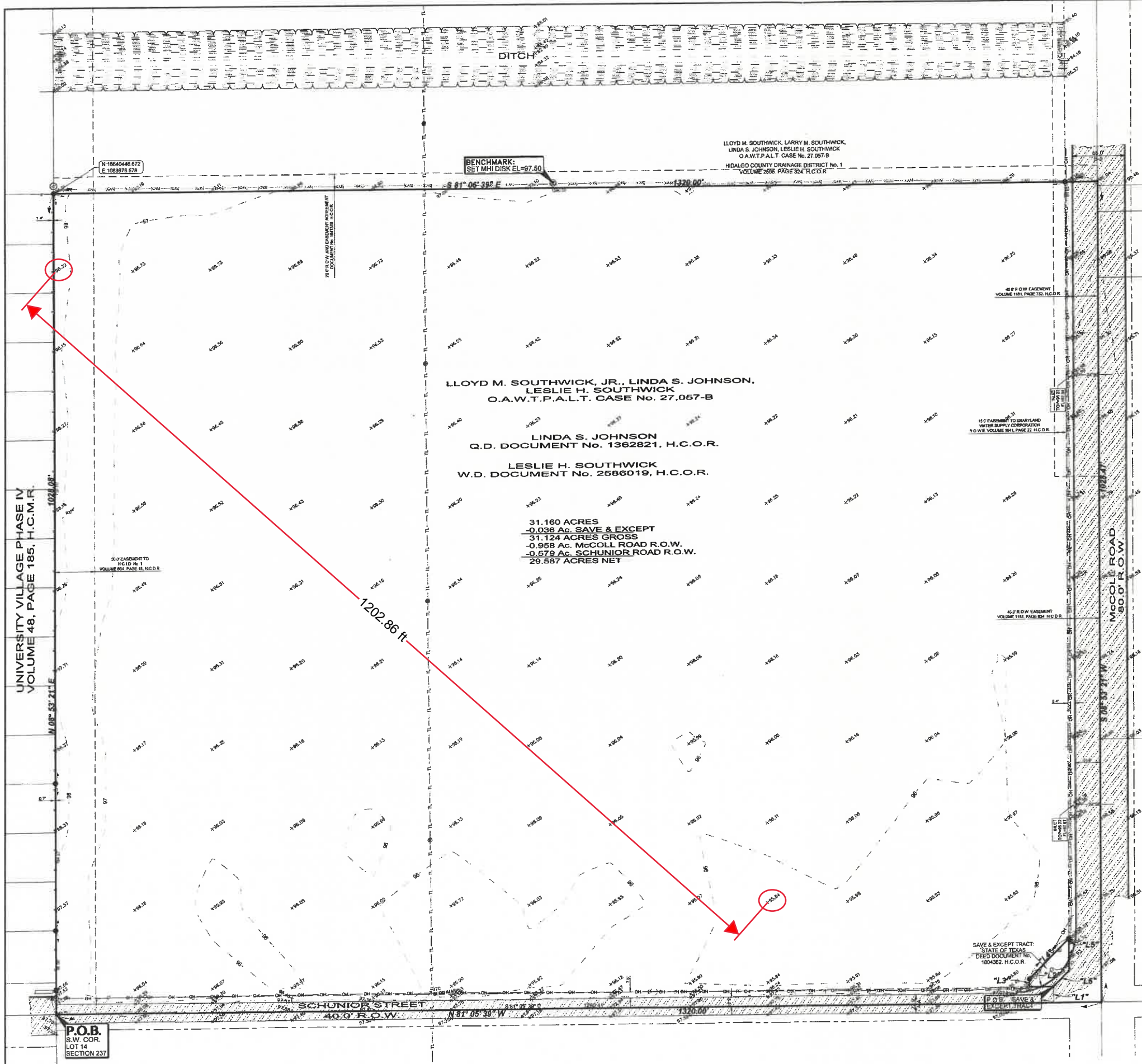
Peter Hermida, E.I.T.
Email: phermida@cityofedinburg.com
415 W. University Drive
Edinburg, Texas 78539



Cc: Mardoqueo Hinojosa, P.E., CFM, City Engineer, Patrizia Longoria, Engineer III, Abel Beltran, Subdivision Coordinator, Vince Romero, Director of Public Works, Robert Valenzuela, Storm Water Specialist, Kimberly Mendoza, Director of Planning and Zoning, Rita Guerrero, Urban Planner, Jessica Ramirez, Urban Planner, Arturo Martinez, Director of Utilities, Jose Flores, Systems Superintendent, Omar Garza, Fire Marshal

REFERENCES:

City of Edinburg – 2014 Standard Manual – Construction and Development Requirements;
Unified Development Code; and if required a TX-Dot Permitting UIR permitting process.



FLOOD ZONE
ZONE 1 (SEVERE)
AREAS OF 100-YEAR FLOOD AREAS OF
LESS THAN 1 FOOT OR WITH DRAINAGE AREAS
LESS THAN 1 SQUARE MILE, AND AREAS
PROTECTED BY LEVES FROM 100-YEAR
FLOOD
COMMUNITY PANEL NUMBER: 480318 0016 E
MAP REVISED APRIL 2002
REVISION TO REFLECT LEAK MAY 14 2001



- LEGEND**
- FOUND NO. 4 REBAR
 - FOUND 60C NAIL
 - SET NO. 4 REBAR WITH PLASTIC CAP STAMPED MELDEN & HUNT
 - ⊙ SET NAIL
 - ⊙ SET MHI DISK
 - ⊙ POWER POLE
 - ⊙ LIGHT POLE
 - ⊙ GUY WIRE
 - ⊙ UNDERGROUND CABLE MARKER
 - ⊙ AT&T UNDERGROUND CABLE MARKER
 - ⊙ ELECTRIC BOX
 - ⊙ SINGLE POST SIGN
 - ⊙ IRRIGATION VALVE (SIZE AS NOTED)
 - ⊙ IRRIGATION STAND PIPE (SIZE AS NOTED)
 - ⊙ TRANSMISSION POLE
 - ⊙ WOOD FENCE
 - ⊙ EDGE OF DITCH TOP
 - ⊙ 24" STORM SEWER LINE
 - ⊙ OVERHEAD POWER LINE
 - ⊙ TRANSMISSION LINE
 - ⊙ SPOTTED GAS LINE (APPROXIMATE LOCATION)
 - ⊙ SPOTTED TELEPHONE LINE (APPROXIMATE LOCATION)
 - ⊙ ASPHALT AREA
 - ⊙ CONCRETE AREA
- Abbreviations:**
A.C. - OF ONE ACRE
A.A. - EDGE OF ASPHALT TO EDGE OF ASPHALT
B.B. - BACK OF CURB TO BACK OF CURB
R.O.W. - RIGHT OF WAY
R.O.W.E. - RIGHT OF WAY EASEMENT
H.C.M.R. - HIDALGO COUNTY MAP RECORDS
H.C.D.R. - HIDALGO COUNTY DEED RECORDS
H.C.O.R. - HIDALGO COUNTY OFFICIAL RECORDS
H.C.I.D. - HIDALGO COUNTY IRRIGATION DISTRICT
S.W. COR. - SOUTHWEST CORNER
P.O.B. - POINT OF BEGINNING
W.D. - WARRANTY DEED

Fix scale or submit PDF with proper scaling.

- NOTES:**
- SURVEY IS VALID ONLY IF PRINT HAS ORIGINAL SEAL AND SIGNATURE OF SURVEYOR.
 - ALL BEARINGS AND DISTANCES ARE BASED ON GRID COORDINATES.
 - SURVEY WAS PREPARED WITH THE BENEFIT OF EDWARDS ABSTRACT & TITLE COMPANY COMMITMENT OF No. 834159, EFFECTIVE DATE: FEBRUARY 23, 2021 ISSUED: MARCH 5, 2021
- EASEMENTS LISTED IN SCHEDULE B:**
- EASEMENT AND RIGHT OF WAY DATED DECEMBER 16, 1950, RECORDED IN VOLUME 329, PAGE 642, DEED RECORDS, HIDALGO COUNTY, TEXAS, AFFECTS SUBJECT TRACT, BLANKET IN NATURE NOT PLOTTABLE.
 - EASEMENT AND RIGHT OF WAY DATED FEBRUARY 9, 1931, RECORDED IN VOLUME 349, PAGE 301, DEED RECORDS, HIDALGO COUNTY, TEXAS, AFFECTS SUBJECT TRACT, BLANKET IN NATURE NOT PLOTTABLE.
 - RIGHT OF WAY EASEMENT DATED JULY 13, 1987, RECORDED IN VOLUME 1181, PAGE 684, DEED RECORDS, HIDALGO COUNTY, TEXAS, AFFECTS SUBJECT TRACT, PLOTTED AND SHOWN HEREON.
 - RIGHT OF WAY EASEMENT DATED JULY 13, 1987, RECORDED IN VOLUME 1181, PAGE 752, DEED RECORDS, HIDALGO COUNTY, TEXAS, AFFECTS SUBJECT TRACT, PLOTTED AND SHOWN HEREON.
 - EASEMENT AND/OR OTHER RIGHTS, IF ANY, AS SET FORTH IN UNTITLED INSTRUMENT DATED OCTOBER 28, 1970, RECORDED IN VOLUME 1283, PAGE 221, DEED RECORDS, HIDALGO COUNTY, TEXAS, AFFECTS SUBJECT TRACT, AS PER DOCUMENT SOUTH TEXAS NATURAL GAS GATHERING COMPANY OBTAINED A PERMIT TO INSTALL A GAS PIPELINE ON THE WEST SIDE OF McCOLL ROAD FROM THE STATE OF TEXAS.
 - EASEMENT AND RIGHT OF WAY DATED JANUARY 28, 1975, RECORDED IN VOLUME 1444, PAGE 449, DEED RECORDS, HIDALGO COUNTY, TEXAS, AFFECTS SUBJECT TRACT, BLANKET IN NATURE NOT PLOTTABLE.
 - RIGHT OF WAY EASEMENT DATED SEPTEMBER 12, 1979, RECORDED IN VOLUME 1541, PAGE 22, DEED RECORDS, HIDALGO COUNTY, TEXAS, AFFECTS SUBJECT TRACT, PLOTTED AND SHOWN HEREON.
 - RIGHT OF WAY AND EASEMENT AGREEMENT DATED SEPTEMBER 28, 2005, RECORDED UNDER CLERK'S FILE No. 54766, OFFICIAL RECORDS, HIDALGO COUNTY, TEXAS, PLOTTED AND SHOWN HEREON.

PLAT SHOWING 31.124 ACRES OUT OF LOT 14, SECTION 237, TEXAS-MEXICAN RAILWAY COMPANY'S SURVEY, VOLUME 1, PAGE 12, H.C.M.R. CITY OF EDINBURG, HIDALGO COUNTY, TEXAS



THE UNDERSIGNED HEREBY CERTIFIES THAT THIS SURVEY AS DESCRIBED HEREON, WAS MADE ON THE GROUND ON 03/30/2021 UNDER MY DIRECTION, THAT THE ONLY IMPROVEMENTS ON THE GROUND ARE AS SHOWN, THAT THERE ARE NO VISIBLE ENCROACHMENTS, VISIBLE OVERLAPPING, APPARENT CONFLICTS, OR VISIBLE EASEMENTS, EXCEPT AS SHOWN HEREON.

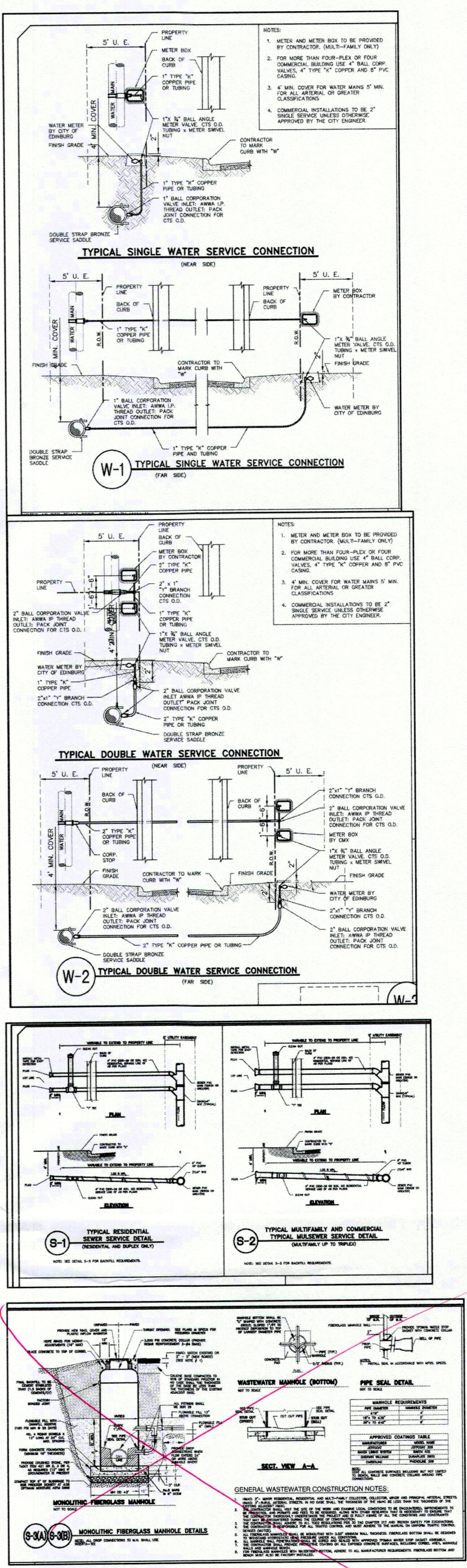
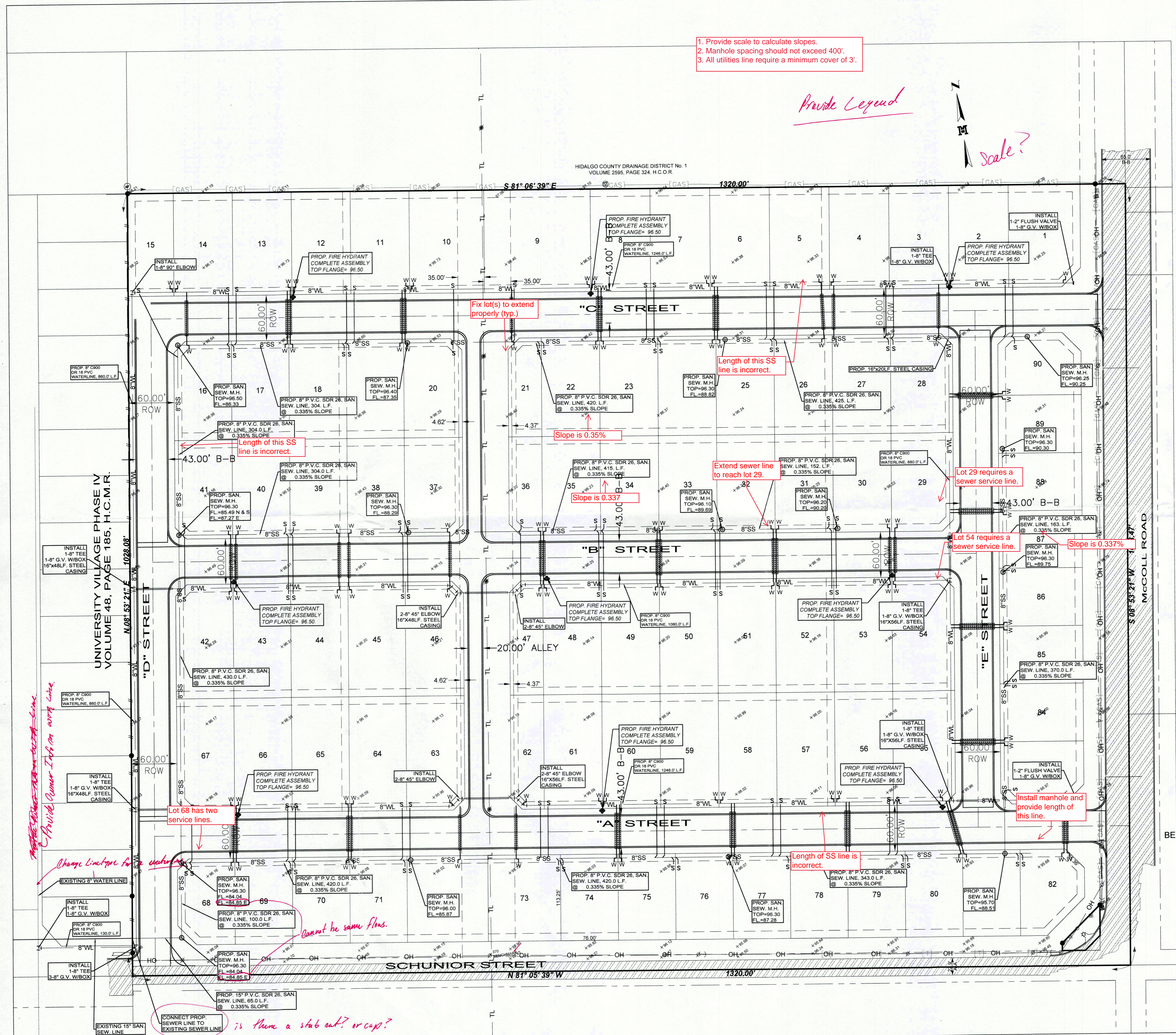
Fred L. Kurth 3/30/21
FRED L. KURTH, RPLS No. 4750 DATE:

JOB No.	21411.08	REVISION	DATE	BY
DRAWING DATE:	3/30/2021			
DRAWN BY:	J.C., J.G.			
File Name:	21411.08			
T-1117, PG.	52			
PAGE 3 OF 3				
				
115 W. McINTYRE - EDINBURG, TX 78541 PH: (956) 381-0981 - FAX: (956) 381-1639 ESTABLISHED 1947 - www.meldenandhunt.com				

1. Provide scale to calculate slopes.
2. Manhole spacing should not exceed 400'.
3. All utilities line require a minimum cover of 3'.

Provide Legend

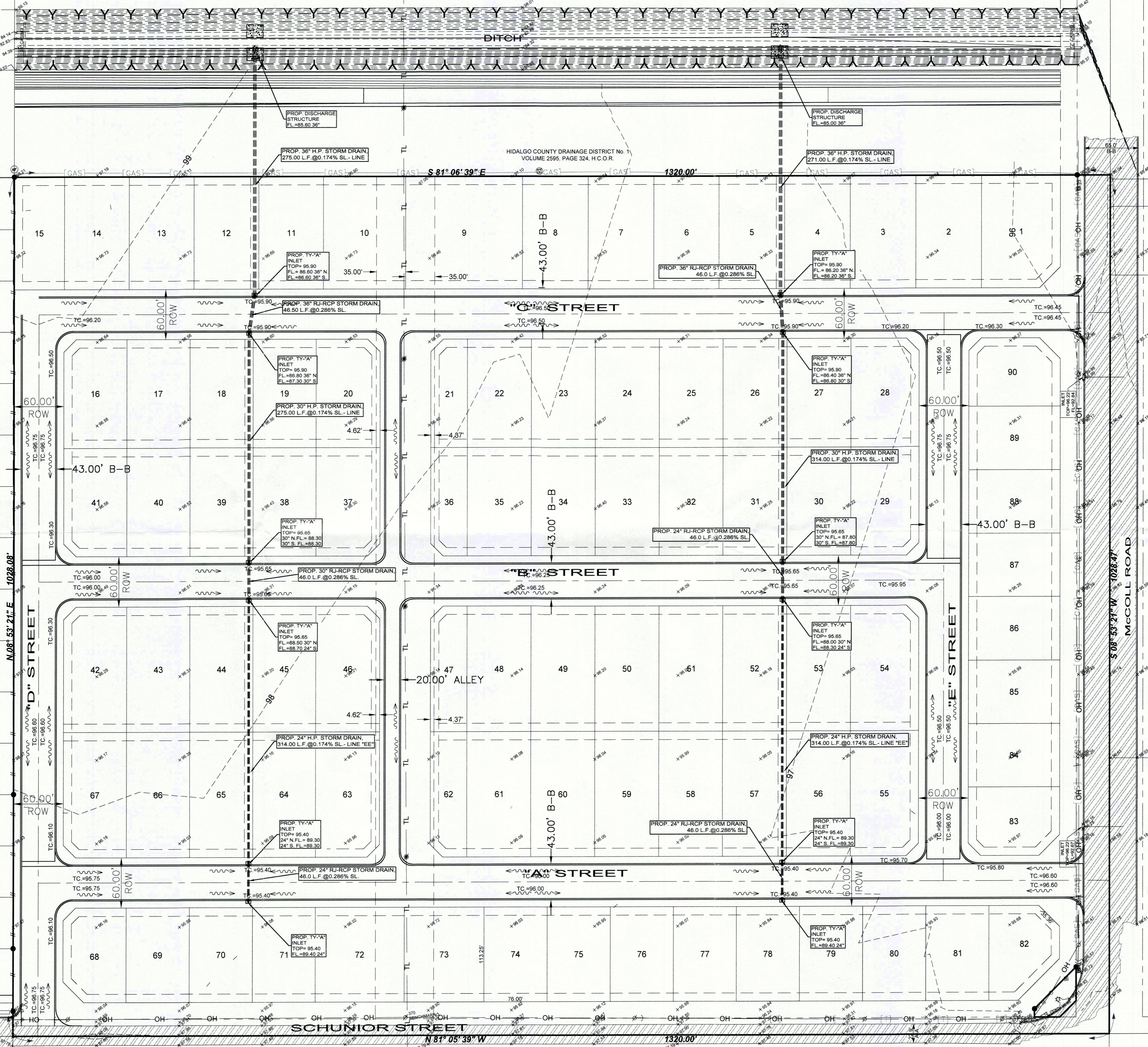
Scale?



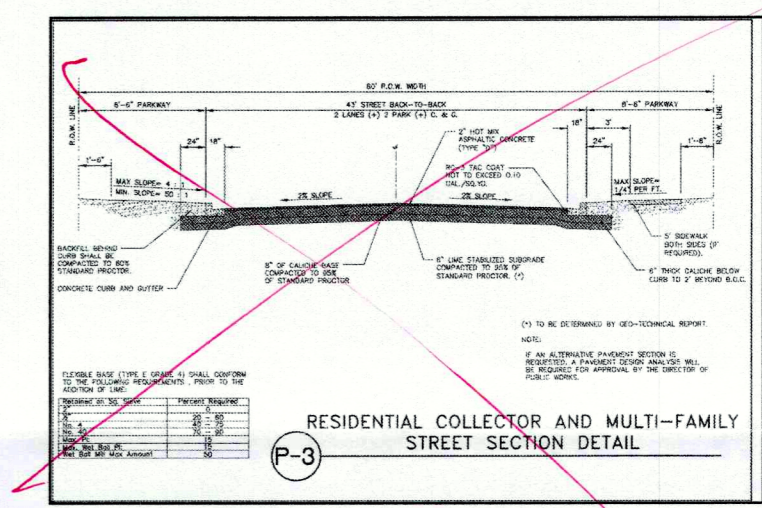
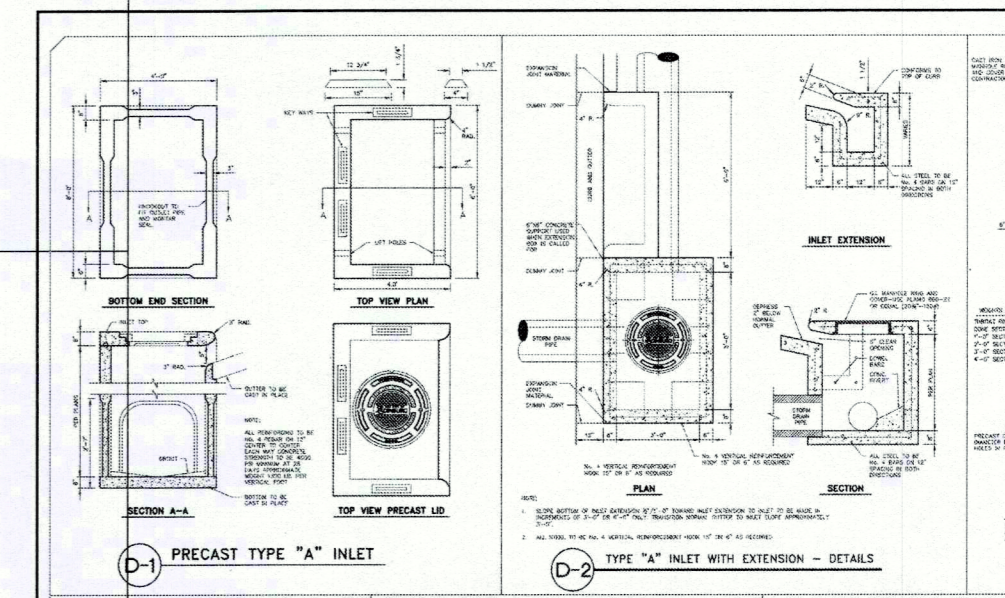
Not legible.

UNIVERSITY VILLAGE PHASE IV
VOLUME 48, PAGE 185, H.C.M.R.

N.08° 53' 21" E 1028.08'



1. Provide scale to calculate slopes.
2. Manhole spacing should not exceed 400'.
3. Configuration appears good but may change during construction review.
4. Detention will be required but a variance may be pursued in lieu of.



Not legible.

BENCHMARK READING DOCUMENT

REVISION BY DATE
 MILDEN & HUNT INC.
 CONSULTANTS • ENGINEERS • SURVEYORS
 115 W. MCINTYRE - EDINBURG, TX 78641
 TEL: 817.433.1111 FAX: 817.433.1112
 WWW.MILDENANDHUNT.COM

ENG. TECH.	PG.	SCALE
T-BOOK	1	1" = 50'
1. RELEASE DATE		
2. RELEASE DATE		
3. RELEASE DATE		

THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF INTERIM REVIEW UNDER THE AUTHORITY OF MARIO A. REYNA, P.E. 117368 ON APRIL 8, 2021. IT IS NOT TO BE USED FOR CONSTRUCTION, BIDDING OR PERMIT PURPOSES.

WOODLANDS ESTATES
EDINBURG, TEXAS

PROPOSED STORM & STREET LAYOUT

To: Abel Beltran, Subdivision Coordinator.
From: Robert Valenzuela, Stormwater Manager
Date: April 29, 2021
Subject: Woodland Estates

Woodland Estates
31.124 Acres

Required Information

The following items are required by TCEQ and the City of Edinburg. Please submit the following at your earliest convinces

1. SW3P (Stormwater Pollution Prevention Plan)
 2. NOI (Notice of Intent, Per TCEQ)
 3. Large Construction Notice (Per TCEQ Inventory)
 4. Detailed Erosion Control Plan (Silt Fence, Construction Entrance, Inlet Protection, Concrete Washout)
-

Comments:

- Silt Fence around the entire project.
- Large Construction Notice needs to be submitted with contractors contact information.
- All items must be submitted before the NTP is issued.
- Please email pending items to rvalenzuela@cityofedinburg.com



THE CITY OF Edinburg FIRE DEPARTMENT



Preliminary Staff Review

May 4, 2021,

Mario A. Reyna
Melden & Hunt Engineering
115 W. McIntyre
Edinburg, TX 78541
(956) 380-5152

RE: PRELIMINARY REVIEW – WOODLAND SUBDIVISION

Mr. Reyna:

After reviewing the above referenced plat, the following are the preliminary phase submittal comments:

1. Provide street names to the City of Edinburg Engineering Department for approval.
2. Fire lane 15 feet in width shall be painted in front of all fire hydrants.
3. Provide double face blue fire hydrant street marker on center of the street in front of fire hydrant.
4. Fire hydrant shall be every 600 feet for one and two family dwellings as per section 507.5.1 of 2012 IFC
5. Provide details on all gates to subdivisions. Gates shall meet standards according to section 503.6 of 2012 IFC. All gates shall be 40 feet from the public road.
6. All streets should be 32 feet B-B paving section according to table 8.204 of Edinburg Unified Development Code.

Any questions, please feel free to contact me.

Sincerely,

Omar Garza
Fire Marshal
Email: ogarza@cityofedinburg.com
212 W. McIntyre St.
Edinburg, TX 78539

References:
Unified Development Code and 2012 International Fire Code

**SUBDIVISION WITHIN CITY LIMITS CHECK LIST
SUBDIVISION PROCESS**

PRELIMINARY STAGE
Date : May 4, 2021

PLANNING & ZONING DEPARTMENT (956) 388-8202

Date Filed: April 5, 2021 P&Z Preliminary: May 11, 2021 P&Z Final: _____ City Council: _____
 Reviewed By: Abel Beltran, Subd. Coord. Staff Review: April 22, 2021 Time Line: 365 Days Expires: _____
abeltran@cityofedinburg.com Staff / Engineer: April 29, 2021 1st Extension: 0 Days Expires 1: _____
 2nd Extension: 0 Days Expires 2: _____

Director of Planning & Zoning : Kimberly A. Mendoza, CPM. Email : kmendoza@cityofedinburg.com City Office #: (956) 388-8202
 Director of Utilities Gerardo Carmona, P.E. Email : gcarmona@cityofedinburg.com City Office #: (956) 388-8212
 Director of Public Works Vincent Romero Email : layala@cityofedinburg.com City Office #: (956) 388-8210
 Director of Engineering Mardoqueo Hinojosa, P.E., CPM Email : mhinojosa@cityofedinburg.com City Office #: (956) 388-8211

Owner:	Lloyd M. Southweck, Jr.	Hidalgo County, Texas	Mario A. Reyna, P.E. Project Engineer
WOODLAND ESTATES SUBDIVISION		Consultant : Melden & Hunt, Engineers, Inc.	
DESCRIPTION	Provided	Need to Provide	Not Applicable
COMMENTS	Need to Revise		

Subdivision Process:

Subdivision Plat Submittal	✓				
Warranty Deed	✓				
Topography Survey	✓				
Drainage Report Submittal (As Per City Drainage Policy)	✓				Approved by H.C.D.D.#1 Date: Pending Approval
Zoning : City Limits - Commercial General	✓				
Flood Zone	✓				Zone "X" (Shaded)

Preliminary Submittals:

Existing & Proposed Water Distribution Layout	✓				Sharyland Water Supply Corporation - Distribution System
Water Distribution System Provider:	✓				Sharyland Water Supply Corporation - Distribution System
Existing & Proposed Sewer Collection Layout	✓				City of Edinburg Sanitary Sewer Collection System
Sanitary Sewer Collection System Provider:	✓				City of Edinburg Sanitary Sewer Collection System
Existing and Proposed Drainage Layout System:	✓				Private Drainage System onto H.C.D.D. # 1
MPO Collector / Arterial Right-of-way Dedication	✓				Proposed Private Streets
Minor / Major Collector Street pavement Section	✓				In Accordance to Standard Street Policy
Variances Appeals Request:		✓			Planning & Zoning Meeting Results City Council Meeting
Street Widening Improvements					
Street 5-ft Sidewalk Improvements					
Drainage Improvements					

Construction Plans Review Submittals: (See Section 4 Construction Plans Submittals Policy, 2014 STANDARD POLICY MANUAL)

Cover Sheet		✓			
Topography Sheet (Utilities, Bench Marks)		✓			
Sanitary Sewer Improvements: On-Site & Off-Site		✓			City of Edinburg Sanitary Sewer Standard Policy's
Sanitary Sewer Detail Sheets		✓			See Section 3 Utility Policy, 2014 Standard Policy Manual
Water Distribution Improvements: On-Site & Off-Site		✓			City of Edinburg Water Supply Standard Policy's
Water Distribution Detail Sheet		✓			See Section 3 Utility Policy, 2014 Standard Policy Manual
Drainage Improvements:		✓			
Drainage Detail Sheets		✓			See Section 1 Drainage Policy, 2014 Standard Policy Manual
Minor/Major Collector Streets Improvements:		✓			See Section 2 Streets Policy, 2014 Standard Policy Manual
Street Sign Sheet:		✓			
Street Detail Sheets		✓			See Section 2 Streets Policy, 2014 Standard Policy Manual
Street Lighting Sheet:		✓			
Traffic Control Plan:			✓		
Erosion Control Plan		✓			
Erosion Control Plan Detail Sheet		✓			See Storm Water Management, 2014 Standard Policy Manual

DESCRIPTION	Provided	Need to Provide	Not Applicable	Need to Revise	COMMENTS
-------------	----------	-----------------	----------------	----------------	----------

Pre-Construction Meeting:

Notice To Proceed		✓			Dated:
Roadway Open-Cut or Bore Permit Application		✓			Dated:
TX-Dot Water UIR Permit		✓			(Only if making a connection onto FM 2061)
TX-Dot Sewer UIR Permit		✓			(Only if making a connection on FM 2061)
N.O.I. Submittal		✓			Dated:
SWPP Booklet Submittal		✓			Dated:
RFI #1 Request		✓			Dated:
Change Orders		✓			Dated:
Final Walk Through		✓			Dated:
Punch List		✓			Dated:
Punch List (Completed and Approved)		✓			Dated:
Letter of Acceptance		✓			Dated:
1-year Warranty (Water/Sewer/Paving/Drainage)		✓			Dated:
Backfill Testing Results		✓			Dated:
As-Builts (Revised Original Submittal)		✓			Dated:

Recording Process:

Public Improvements with (Letter of Credit)		✓			Dated:	Expires:
Recording Fees	\$ 106.00	✓			As required by County Clerks office	
Copy of H.C.D.D. #1 of invoice		✓			Required to be paid prior to Final Stages	
Street Light Escrow	\$ -	✓			Required: 0	EA. @ \$ -
Fire Hydrant Escrow	\$ -	✓			Required: 0	EA. @ \$ -
Street/Sidewalk Escrow (Schunior/ McColl)	\$ 48,550.00	✓			Required: 1942	LF @ \$ 25.00
TOTAL OF ESCROWS:	\$ 48,550.00					
Total Developer's Construction Cost: (Letter of Credit)					Date :	Lender :
Laboratory Testing Fee: 3%	\$ -	✓			\$ -	Estimated Construction Cost
Inspection Fee: 2%	\$ -	✓			\$ -	Final Construction Cost
Park Land Fees: ETJ \$ - Per Unit 0			✓			
0 Residential \$ 300.00	\$ -	✓			0% Development	0% Building Stage
90 Multi-Family \$ 600.00	\$ 54,000.00				50% Development	50% Building Stage
Water Rights: SWSC - CCN	\$ -		✓		17.249	Acres \$ -
Water 30-year Letter (Residential)	\$ -		✓		0	Lots @ \$ - SWSC WATER-CCN
Water 30-year Letter (Multi-Family)	\$ 450.00	✓			90	Lots @ \$ 5.00 SWSC WATER-CCN
Sewer 30-year Letter COE - CCN	\$ 5,850.00	✓			90	Lots @ \$ 65.00 COE SEWER-CCN
TOTAL OF FEES:	\$ 59,850.00					

Reimbursements:

Developer Sewer Improvements	\$ -		✓		Off-Site System: 0.00	AC \$ -
Developer Water Improvements	\$ -		✓		Off-Site System 0.00	AC \$ -
TOTAL OF REIMBURSEMENTS:	\$ -					

Buyouts:

North Alamo Water Supply Corporation	\$ -		✓		Required Buyout 0.00	AC. \$ -
Sharyland Water Supply Corporation			✓		Not Applicable	

Tax Certificates

County of Hidalgo / School District		✓				
Water District		✓			Hidalgo County Irrigation District # 2	

Total of Escrows, Fees, Reimbursements and Buyouts:

Escrows	\$ 48,550.00	Street & Sidewalk Improvements for ? Road				
Inspections other Fees	\$ 59,850.00	Parkland Fees, Water/Sewer 30-year Agreement/Water Rights				
Reimbursements	\$ -	Reimbursement to the Developer of Subdivision (No Reimbursement on Record)				
City of Edinburg	\$ -	15% Payable to the City of Edinburg for Administrative Fee				
To the Developer of Record	\$ -	85% Payable to the Developer of Record Owner / Developer				
Buyouts	\$ -	Based on Subdivision (Need Request and Approval rate from NAWSC Broad)				
TOTAL :	\$ 108,400.00	Developer Total Cost of Fees, Escrows, Reimbursements & Buyouts				



**THE HEIGHTS ON WISCONSIN PHASE III SUBDIVISION
STAFF REPORT**

DATE: 05/5/2021	Planning & Zoning Meeting – May 11, 2021
<u>APPLICATION:</u>	Preliminary Plat Approval of The Heights on Wisconsin Phase III Subdivision
<u>APPLICANT:</u>	Julio Carranza, Manager
<u>ENGINEERING FIRM:</u>	Barrera Infrastructure Group, Inc.
<u>LEGAL:</u>	A 18.08-acre tract of land being 13.08-acres out of Lots 5, 6, & 7 and 5.00-acres out of Lot 8, JAS. I. LAVELLE Re-subdivision, as per the map recorded in Volume 6, Page 29, map records in the office of the County Clerk of Hidalgo County, Texas
<u>LOCATION:</u>	Property is located on the south side of Wisconsin Road and east of I Road (Veterans Road)
<u>CURRENT USE OF PROPERTY:</u>	Vacant
<u>EXISTING ZONING & LAND USE:</u>	Agriculture
<u>SURROUNDING LAND USE:</u>	(AG) District, Urban Residential, & Suburban Residential
<u>ACCESS AND CIRCULATION:</u>	This property has access to Wisconsin Road and Thru Phase II Development
<u>PUBLIC SERVICES:</u>	Water Distribution System a North Alamo Water Supply Corporation and Sanitary Sewer Collection System a City of Edinburg system.
<u>RECOMMENDATION:</u>	Staff recommends approval of the Preliminary Plat subject to the following requirements.

EVALUATION AND REQUIREMENTS FOR APPROVAL

The following is the staff's evaluation and requirements for the approval of this preliminary plat application. The requirements represent a comprehensive review but do not preclude the City of Edinburg from identifying other requirements deemed necessary for the proper development of the subdivision.

STAFF REPORT
THE HEIGHTS OF WISCONSIN PHASE III SUBDIVISION
PAGE 2

PLANNING & ZONING DEPARTMENT:

In Accordance to the Unified Development Code (UDC), the purpose is to implement the City of Edinburg’s Comprehensive Plan. This code is adopted pursuant to the authority granted by the constitution and laws of the State of Texas Local Government Code, Texas Water Code and pursuant to the home rule authority provided in the City’s Home Rule Chapter.

PUBLIC WORKS / ENGINEERING DEPARTMENT:

In Accordance to Article 8, Section 8.00 – Streets, Utilities, and Drainage requirements, Section 8.218.A.B Engineering Standards Manual - The City Engineer shall promulgate and maintain an Engineering Standards Manual that specifies the minimum construction standards for streets, drainage, and other infrastructure within the City and its ETJ. New construction of streets, drainage systems, storm water requirements and other infrastructure shall comply with the applicable provisions of the Engineering Standards Manual, latest edition.

UTILITIES DEPARTMENT:

In Accordance to Article 8, Section 8.218.A.B Water Supply requirements - The City Engineer shall promulgate and maintain an Engineering Standards Manual that specifies the minimum construction standards for water, sewer and other infrastructure within the City and its ETJ. New construction of water distribution system, sewer collection system in accordance to a Master Plan, proposed or upgrade of lift stations, proposed or upgrade of booster stations shall comply with the applicable provisions of the Engineering Standards Manual, latest edition.

FIRE DEPARTMENT:

In Accordance to Article 8, Section 8.402.B Fire Flows and Hydrants - The City Engineer / Fire Marshal shall promulgate and maintain an Engineering Standards Manual that specifies the minimum construction standards for water and Fire Hydrants within the City and its ETJ. New construction of water system to include fire hydrants shall comply compliance with the applicable provisions of the Engineering Standards Manual, latest edition.

ATTACHMENTS: Subdivision Plat, Subdivision Site Map, Staff comments



Planning and Zoning Department

PRELIMINARY SUBDIVISION STAFF REVIEW COMMENTS

Company: BARRERA INFRASTRUCTURE GROUP, INC.

Attention: Rene Barrera, P.E., Project Engineer

From: Abel Beltran, Planner I

Date: April 27, 2021

Re: THE HEIGHTS ON WISCONSIN PH. III SUBDIVISION – CITY LIMITS

The following is the staff's evaluation and requirements for the information submitted to our office by the project engineer. The requirements represent a comprehensive review but do not preclude the City of Edinburg from identifying other requirements deemed necessary for the proper development of the subdivision.

SUBMITTALS:

Subdivision Plat:

Preliminary Review confirm process based on the existing zoning and proposed, lots, block length, corner clip, setbacks, streets right-of-way dedication, easements, finish floor elevation, metes and bounds, vicinity map, owners, notary, districts, engineers and surveyor acknowledgments, street name, flood zone, etc.

Water Layout Plan:

A North Alamo Water Distribution System for said development shall connect to existing water system Wisconsin Road and looped system onto The Wisconsin Heights Phase I & II existing water system, to include fire protection connecting and looping to an existing Water line and shall comply with the spacing of proposed hydrant(s).

Sewer Layout Plan:

Development will be constructing a proposed Lift Station for development with the service to include additional un-developed properties with a reimbursement contract.

Paving & Drainage Plan:

Proposed Interior Access shall consist of Minor Street with Street Sections as required by city standards. On-site drainage system onto a proposed detention pond with an outfall system connecting Detention Pond area with an outfall on an existing drainage system located on the east side of development.

Drainage Report:

Report submitted can be preliminary without H.C.D.D. #1 approval with pending County approval. Detention shall be interior with restricted outfall connection to existing Drain Ditch located on the east side of development.



Planning and Zoning Department

GENERAL REQUIREMENTS FINDINGS:

1. Must comply with the Unified Development Code adopted in 2007 with Article 3- District and Bulk Standards for lot area, lot width, setbacks and block length as required by code.
2. General Plat Notes to indicate; flood zoned designation, correct setbacks, finish floor elevation, SW3P Requirements, detention, sidewalk, utilities provider and other notes as required based on development.
3. In Accordance to Unified Development Code adopted in 2007, Article 8 Street, Utilities and Drainage and in City of Edinburg 2014 Standards Manual, with Street Right of way dedication as noted on Table 8.204.
4. In Accordance to Section 8.213 Sidewalks and Code of Ordinances Chapter 98 – Sidewalks shall be five (5) foot for perimeter streets arterial, collector or higher classification.

FIRE DEPARTMENT FINDINGS:

1. The Fire Marshal's office requires fire hydrant be located on 600-feet (Residential) and 300-feet (Multi-Family) intervals with blue buttons are placed at center of street and on the lane hydrant is located.
2. Must submit proposed street names prior to the Pre-construction process for approval.

ENGINEERING DEPARTMENT FINDINGS:

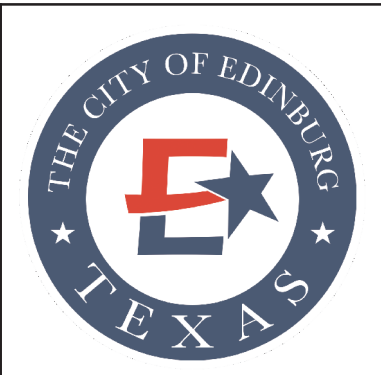
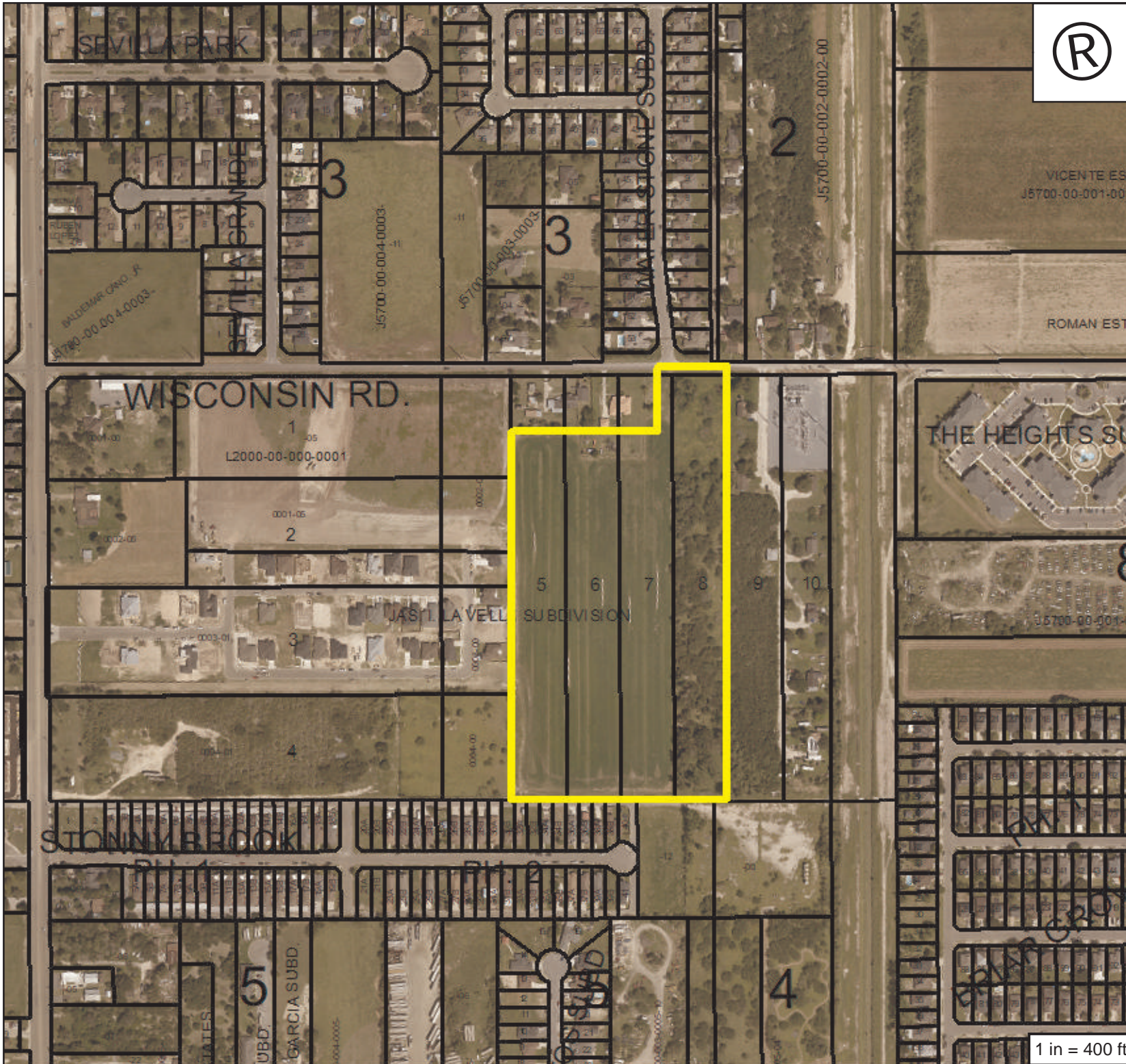
1. In Accordance to Section 8.218.A.B Engineering Standards Manual - The City Engineer shall promulgate and maintain an Engineering Standards Manual that specifies the minimum construction standards for streets, drainage, and other infrastructure within the City and its ETJ. New construction of streets, drainage systems, and other infrastructure shall comply with the applicable provisions of the Engineering Standards Manual, latest edition.
2. A proposed designed drainage system based on a designed basin areas exhibit with an approved drainage outfall system.
3. Must attach the City of Edinburg Streets, Drainage, and erosion control details on the construction set of plans. (See Section 4 of the City of Edinburg 2014 Standards Manual)
4. Additional comments will be addressed at the review of the construction plans.

UTILITIES DEPARTMENT FINDINGS:

1. Water Supply Distribution will be addressed by City of Edinburg Water Supply Corporation and Sanitary Sewer Collection System. Applicable Fees, Water Rights Fee, 30-year Water and Sewer Service Agreement Fees).

Additional Comments provided:

Cc: Kimberly Mendoza, MPA, Director of Planning & Zoning, Jaime X. Ayala, Planner II, Rita Guerrero, Urban Planner 1, Mardoqueo Hinojosa, P.E., Director of Engineering, Vince Romero, Director of Public Works, Gerardo Carmona, P.E., Director of Utilities, Arturo Martinez, Director of Utilities, Jose Flores, Systems Superintendent, Omar Garza, Fire Marshal, Ramiro Gomez, Director of Solid Waste Management, Robert Valenzuela, Storm Water Specialist.



AERIAL MAP

CASE CAPTION:

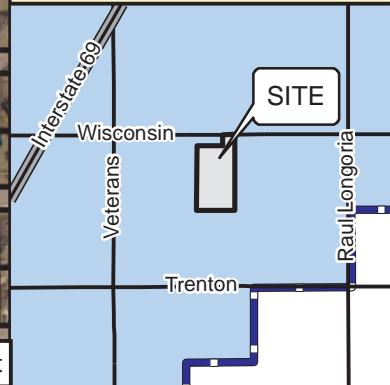
SUBDIVISION NAME:
THE HEIGHTS ON WISCONSIN PH III

Consider the Preliminary plat of The Heights on Wisconsin Phase III Subdivision, an 18.008 gross acre tract of land, being 13.08 Acres out of Lots 5, 6, and 7, and 5 acres out of Lot 8, Jas. L. Lavelle Resubdivision, Located at 1900 East Wisconsin Road, as requested by Big Engineering.

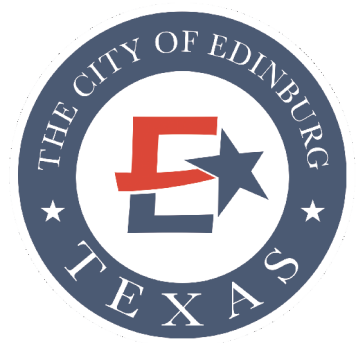
Legend

- CITY LIMITS
- SUBDIVISION SITE

SITE LOCATION MAP



1 in = 400 ft



SITE MAP

CASE CAPTION:

SUBDIVISION NAME:

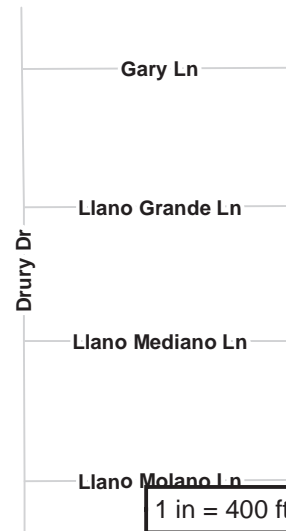
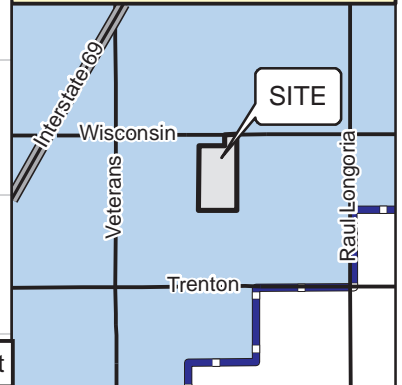
THE HEIGHTS ON WISCONSIN PH III

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Legend

- CITY LIMITS
- SUBDIVISION SITE

SITE LOCATION MAP



1 in = 400 ft



Planning & Zoning Department
415 W. University Dr.
(956) 388-8202

SUBDIVISION APPLICATION

1. Nature of Request (circle one or more):

<input checked="" type="checkbox"/>	Preliminary Plat	<input checked="" type="checkbox"/>	Final Plat	<input type="checkbox"/>	Amended Plat
<input type="checkbox"/>	Development Plat	<input type="checkbox"/>	Vacating Plat	<input type="checkbox"/>	Minor Plat
<input type="checkbox"/>	Concept Plan	<input type="checkbox"/>	3 ½ Mile E.T.J. Plat	<input type="checkbox"/>	Re-Plat
2. Exact name of proposed subdivision: HEIGHTS ON WISCONSIN PHASE III
3. Legal Description: Being a 18/ Acre tract of land out of Lots 5,6,7 & 8, JAS I. Lavelle Resubdivision as per map recorded in Volume 6, Page 29, Hidalgo County Map Records.
4. Zoning: Present: Agriculture (AG) Required: Urban Residential (UR)
5. Inside city limits? Yes No
If outside, is the proposed subdivision within the: (Circle one)
 Comprehensive Development Area Rural Development Area
6. Primary consulting firm: Barrera Infrastructure Group, Inc.
Email: rene@big-engineering.com
Phone: 956-687-3355/956-624-4985 (cell) Address: 3525 West Freddy Gonzalez Dr, Ste. B-2, Edinburg, Tx. 78539
7. Proposed method of liquid waste disposal:
 Sanitary Sewer OSSF – On-Site Sewage Facility
8. Desired land use options:

<input checked="" type="checkbox"/>	Single Family	<input type="checkbox"/>	Twin House	<input type="checkbox"/>	Patio Homes	<input type="checkbox"/>	Townhouse
<input type="checkbox"/>	Lot-Line House	<input type="checkbox"/>	Village House	<input type="checkbox"/>	Duplex	<input type="checkbox"/>	Atrium
<input type="checkbox"/>	Multiplex	<input type="checkbox"/>	Multi-Family	<input type="checkbox"/>	Duplex Townhouse	<input type="checkbox"/>	Roof Deck
<input type="checkbox"/>	Mobile Homes	<input type="checkbox"/>	Manufactured Home	<input type="checkbox"/>	Commercial	<input type="checkbox"/>	Industrial
9. Number of lots: 81
Residential: 81 Commercial: _____ Multi-Family: _____ Industrial: _____
10. Electric power and light company to serve the proposed subdivision (circle one):
 AEP (Central Power & Light) Magic Valley Electric Co-op
11. Irrigation District:
 Hidalgo County Irrigation District No. 1 Santa Cruz Irrigation District No. 15
 Hidalgo County Irrigation District No. 2 Other: _____



ENGINEERING DEPARTMENT

Preliminary Staff Review

April 29, 2021

Rene Barrera, P.E.

BIG Engineering
3525 W. Freddy Gonzalez Suite B 2
Edinburg, TX 78539
(956) 687-3355

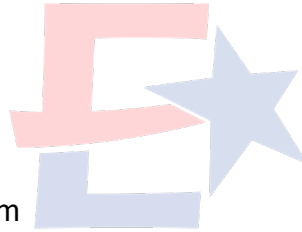
RE: THE HEIGHTS ON WISCONSIN PHASE 3 – PRELIMINARY REVIEW

Mr. Barrera,

Attached are the Preliminary Phase Submittal comments for The Heights on Wisconsin Phase 3 Subdivision.

Any questions feel free to contact us.

Thanks,

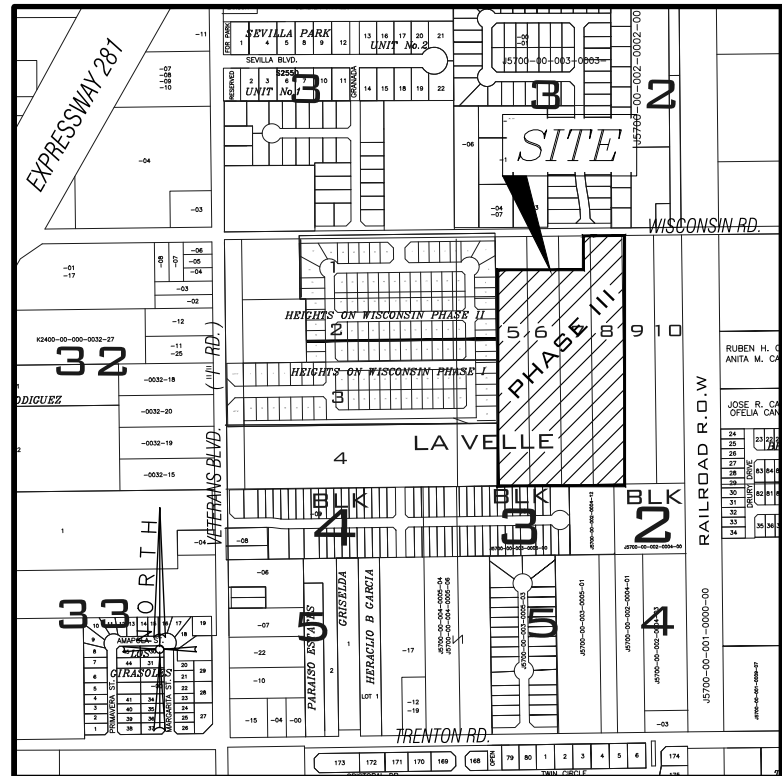


Peter Hermida, E.I.T.
Email: pher mida@cityofedinburg.com
415 W. University Drive
Edinburg, Texas 78539

Cc: Mardoqueo Hinojosa, P.E., CFM, City Engineer, Patrizia Longoria, Engineer III, Abel Beltran, Subdivision Coordinator, Vince Romero, Director of Public Works, Robert Valenzuela, Storm Water Specialist, Kimberly Mendoza, Director of Planning and Zoning, Rita Guerrero, Urban Planner, Jessica Ramirez, Urban Planner, Arturo Martinez, Director of Utilities, Jose Flores, Systems Superintendent, Omar Garza, Fire Marshal

REFERENCES:

City of Edinburg – 2014 Standard Manual – Construction and Development Requirements; Unified Development Code; and if required a TX-Dot Permitting UIR permitting process.



LOCATION MAP
1"=100'

PREPARED BY:
BARRERA INFRASTRUCTURE GROUP, INC.
3525 W. FREDDY GONZALEZ, SUITE B2
EDINBURG, TX 78539

DATE PREPARED: 3-29-21

THE HEIGHTS ON WISCONSIN, PHASE III SUBDIVISION

A 18.008 GROSS ACRE TRACT OF LAND, BEING 13.08 ACRES OUT OF LOTS 5, 6, AND 7, AND 5.00 ACRES OUT OF LOT 8, JAS. I. LAVELLE RESUBDIVISION, AS PER MAP RECORDED IN VOLUME 6, PAGE 29, MAP RECORDS OF HIDALGO COUNTY, TEXAS.

THE HEIGHTS ON WISCONSIN, PHASE III, SUBDIVISION IS LOCATED IN THE CITY OF EDINBURG, HIDALGO COUNTY, AT THE SOUTHEAST CORNER OF THE INTERSECTIONS OF WISCONSIN ROAD AND VETERANS ROAD ("I" ROAD).

APPROVAL BY THE CITY OF EDINBURG PLANNING COMMISSION:
I, THE UNDERSIGNED CHAIRPERSON OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF EDINBURG, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT KNOWN AS THE HEIGHTS ON WISCONSIN PHASE III SUBDIVISION CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED AND HAS BEEN APPROVED FOR RECORDING ON THIS _____ DAY OF _____, 20____.

CHAIRPERSON, CITY OF EDINBURG PLANNING COMMISSION

APPROVAL BY THE CITY OF EDINBURG MAYOR:
I, THE UNDERSIGNED, MAYOR OF THE CITY OF EDINBURG, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

MAYOR, CITY OF EDINBURG DATE SECRETARY DATE

STATE OF TEXAS
COUNTY OF HIDALGO

I, PABLO SOTO JR., REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECTLY MADE FROM AN ACTUAL SURVEY MADE ON THE GROUND OF THE PROPERTY LEGALLY DESCRIBED HEREON, AND THAT THERE ARE NO APPARENT DISCREPANCIES, CONFLICTS, OVERLAPPING OF IMPROVEMENTS, VISIBLE UTILITY LINES OR ROADS IN PLACE, EXCEPT AS SHOWN ON THE ACCOMPANYING PLAT, AND THAT THE CORNER MONUMENTS SHOWN THEREON WERE PROPERLY PLACED UNDER MY SUPERVISION IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS OF THE CITY OF EDINBURG, TEXAS.

DATED THIS THE _____ DAY OF _____, 20____.

PABLO SOTO, JR., R.P.L.S.
REG. PROFESSIONAL LAND SURVEYOR #4541
1208 S. IRONWOOD
PHARR, TX 78577

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEXAS WATER CODE 49.211(c). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION, BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF DEVELOPER AND HIS ENGINEER TO MAKE THEIR DETERMINATIONS.

HIDALGO COUNTY DRAINAGE DISTRICT, NO. 1

RAUL E. SESIN, P.E., C.F.M.
GENERAL MANAGER DATE

PRINCIPAL CONTACTS:	NAME	ADDRESS	CITY & ZIP	PHONE	FAX
OWNER:	CARRANZA DEV. LLC	4119 CROSSPOINTE BLVD.	EDINBURG, TX 78539		
ENGINEER:	RENE BARRERA	3525 W. FREDDY GONZALEZ	EDINBURG, TX 78539	956-687-3355	956-992-8801
SURVEYOR:	PABLO SOTO JR.	1208 S. IRONWOOD	PHARR, TX 78577	956-783-0489	

STATE OF TEXAS
COUNTY OF HIDALGO
I (WE) THE UNDERSIGNED, OWNER(S) OF THE LAND SHOWN ON THIS PLAT, AND DESIGNATED HEREIN AS THE HEIGHTS ON WISCONSIN PHASE III SUBDIVISION, AN ADDITION OF THE OF EDINBURG AND WHOSE NAME IS SUBSCRIBED HERETO, HEREBY DEDICATE TO THE USE OF THE PUBLIC FOREVER ALL STREETS, ALLEYS, PARKS, WATERCOURSES, DRAINS, EASEMENTS AND PUBLIC PLACES THEREON SHOWN FOR THE PURPOSE OF CONSIDERATION THEREIN EXPRESSED.

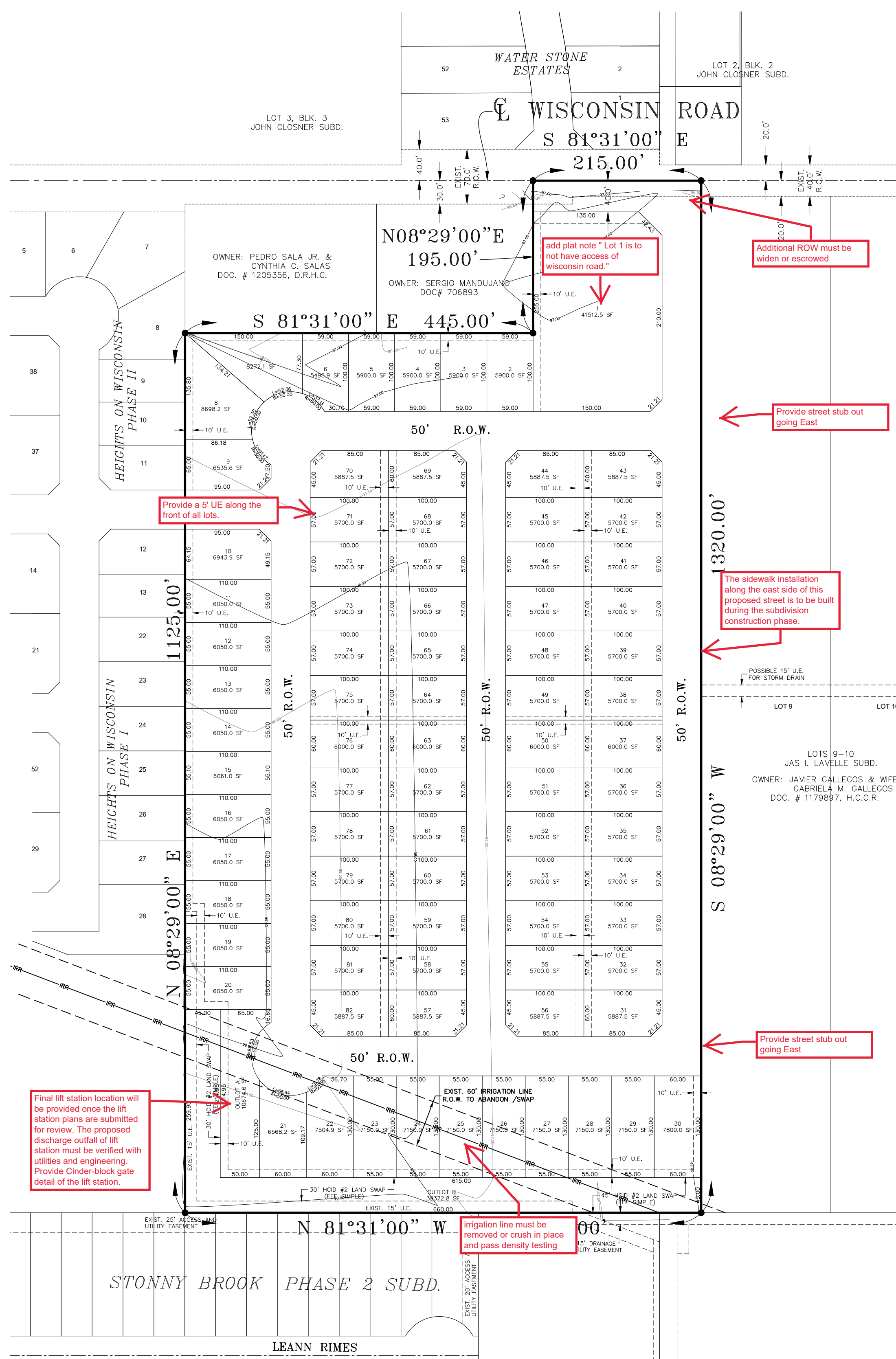
OWNER: CARRANZA DEVELOPMENT, LLC DATE
4119 CROSSPOINTE BLVD.
EDINBURG, TX 78539

STATE OF TEXAS
COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED JULIO CARRANZA, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR PURPOSES AND CONSIDERATIONS THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS _____ DAY OF _____, 20____.

NOTARY PUBLIC IN AND FOR THE
STATE OF TEXAS
MY COMMISSION EXPIRES.



LEGEND

- - FD. 1/2" IRON ROD
- - FD. 1/2" IRON PIPE
- - SET 1/2" IRON ROD STAMP: 2448
- - FD. P-K NAIL
- R.O.W. - RIGHT-OF-WAY

RIGHT OF WAY EASEMENT

KNOW ALL MEN BY THESE PRESENTS: THAT THE UNDERSIGNED, OWNERS OF THE PROPERTY SHOWN ON THE PLAT, THEIR SUCCESSORS, ASSIGNS, AND TRANSFEREES (HEREINAFTER CALLED "GRANTOR" WHETHER ONE OR MORE PERSONS ARE NAMED), IN CONSIDERATION OF ONE DOLLAR (\$1.00) AND OTHER GOOD AND VALUABLE CONSIDERATION PAID BY NORTH ALAMO WATER SUPPLY CORPORATION, (HEREINAFTER CALLED "GRANTEE"), THE RECEIPT AND SUFFICIENCY OF WHICH IS HEREBY ACKNOWLEDGED, DOES HEREBY GRANT, BARGAIN, SELL, TRANSFER AND CONVEY TO SAID GRANTEE, ITS SUCCESSORS, AND ASSIGNS AN EXCLUSIVE AND PERPETUAL EASEMENT WITH THE RIGHT TO ERECT, CONSTRUCT, INSTALL AND THEREAFTER USE, OPERATE, INSPECT, REPAIR, MAINTAIN, REPLACE AND REMOVE WATER DISTRIBUTION LINES AND APPURTENANCES OVER AND ACROSS LANDS SHOWN ON THIS PLAT, TOGETHER WITH THE RIGHT OF INGRESS AND EGRESS OVER GRANTOR'S ADJACENT LANDS OF THE PURPOSE FOR WHICH THE ABOVE MENTIONED RIGHTS ARE GRANTED. THE EASEMENT HEREBY GRANTED SHALL NOT EXCEED 15" IN WIDTH, AND GRANTEE IS HEREBY AUTHORIZED TO DESIGNATE THE COURSE OF THE EASEMENT HEREIN CONVEYED EXCEPT THAT WHEN THE PIPELINE(S) IS INSTALLED, THE EASEMENT HEREIN GRANTED SHALL BE LIMITED TO A STRIP OF LAND 15" IN WIDTH, THE CENTER LINE THEREOF BEING THE PIPELINE INSTALLED.

IN THE EVENT THE EASEMENT HEREBY GRANTED ABUTS ON A PUBLIC ROAD AND THE CITY, COUNTY OR STATE HEREAFTER WIDENS OR RELOCATES THE PUBLIC ROAD SO AS TO REQUIRE THE RELOCATION OF THIS WATER LINE AS INSTALLED, GRANTEE FURTHER GRANTS TO GRANTEE AN ADDITIONAL EASEMENT OVER AND ACROSS THE LAND SHOWN ON THIS PLAT FOR THE PURPOSE OF LATERALLY RELOCATE SAID WATER LINE AS MAY BE NECESSARY TO CLEAR THE ROAD IMPROVEMENTS, WHICH EASEMENT HEREBY GRANTED SHALL BE LIMITED TO A STRIP OF LAND 15" IN WIDTH, THE CENTER LINE THEREOF BEING THE PIPELINE AS RELOCATED.

THE CONSIDERATION RECITED HEREIN SHALL CONSTITUTE PAYMENT IN FULL FOR ALL DAMAGES SUSTAINED BY GRANTEE BY REASON OF THE INSTALLATION, MAINTENANCE, REPAIR, REPLACEMENT AND RELOCATION OF THE STRUCTURES REFERRED TO HEREIN, THIS AGREEMENT TOGETHER WITH OTHER PROVISIONS OF THIS GRANT SHALL CONSTITUTE AN EASEMENT FOR THE BENEFIT OF THE GRANTEE, ITS SUCCESSORS, AND ASSIGNS. THE GRANTEE COVENANTS THAT IT IS THE OWNER OF THE ABOVE-DESCRIBED LANDS AND THAT SAID LANDS ARE FREE AND CLEAR OF ALL ENCUMBRANCES AND LIENS EXCEPT THE FOLLOWING:

THE EASEMENT CONVEYED HEREIN WAS OBTAINED OR IMPROVED THROUGH FEDERAL FINANCIAL ASSISTANCE. THIS EASEMENT IS SUBJECT TO THE PROVISIONS OF TITLE VI OF THE CIVIL RIGHTS ACT OF 1964 AND THE REGULATIONS ISSUED PURSUANT THERETO FOR SO LONG AS THE EASEMENT CONTINUES TO BE USED FOR THE SAME OR SIMILAR PURPOSE FOR WHICH FINANCIAL ASSISTANCE WAS EXTENDED OR FOR SO LONG AS THE GRANTEE OWNS IT, WHICHEVER IS LONGER.

IN WITNESS WHEREOF, THE SAID GRANTOR HAS EXECUTED THIS INSTRUMENT THE _____ DAY OF _____, 20____.

HIDALGO COUNTY IRRIGATION DISTRICT #2

THIS PLAT IS HEREBY APPROVED BY THE HIDALGO COUNTY IRRIGATION DISTRICT #2 ON THIS, _____ DAY OF _____, 20____.

NO IMPROVEMENTS OF ANY KIND (INCLUDING WITHOUT LIMITATION, TREES, FENCES, AND BUILDINGS) SHALL BE PLACED UPON HIDALGO COUNTY IRRIGATION DISTRICT #2 RIGHTS OF WAYS OR EASEMENTS.

PRESIDENT SECRETARY

ATTEST:

PRELIMINARY
THIS DOCUMENT HAS BEEN
RELEASED FOR REVIEW BY
RENE BARRERA, P.E. No. 86862.
MARCH - 2021

METES AND BOUNDS DESCRIPTION

METES AND BOUNDS FOR
TRACT 1

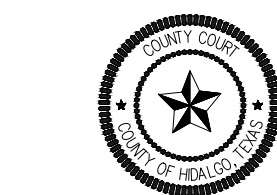
A 13.08 GROSS ACRE TRACT OF LAND (12.328 AC. NET), OUT OF LOTS 5, 6, 7, JAS I LAVELLE SUBDIVISION, AS PER MAP RO PLAT THEREOF RECORDED IN VOLUME 6, PAGE 29, MAP RECORDS OF HIDALGO COUNTY, SAID 5.00 ACRES BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS: BEGINNING AT THE NORTHEAST CORNER OF SAID LOT 7 FOR THE NORTHEAST CORNER OF THIS TRACT OF LAND; THENCE, S 08°29'00"W, ALONG THE EAST LINE OF SAID LOT 7, AT 20.00 FEET PASS THE SOUTH RIGHT OF WAY LINE OF WISCONSIN ROAD, A TOTAL DISTANCE OF 1320.00 FEET TO THE SOUTHWEST CORNER OF SAID LOT 7, ALSO BEING THE SOUTHWEST CORNER OF THIS TRACT OF LAND; THENCE, S 81°31'00"E, ALONG THE WEST LINE OF SAID LOT 5, A DISTANCE OF 1125.00 FEET TO THE SOUTH LINE OF THE PEDRO SALAS TRACT DESCRIBED BY DOC. 1205356, OFFICIAL RECORDS OF HIDALGO COUNTY, FOR AN OUTER CORNER OF THIS TRACT OF LAND; THENCE, S 81°31'00"E, AT 244.00 FEET PASS THE EAST LINE OF SAID PEDRO SALAS TRACT, A TOTAL DISTANCE OF 445.00 FEET TO AN INNER CORNER OF THIS TRACT OF LAND; THENCE, N 08°29'00"E, AT 175.00 FEET PASS THE SOUTH RIGHT OF WAY LINE OF SAID WISCONSIN ROAD, A TOTAL DISTANCE OF 195.00 FEET TO THE CENTERLINE OF SAID WISCONSIN ROAD ALSO BEING THE NORTH LINE OF SAID LOT 7, FOR THE NORTHWEST CORNER OF THIS TRACT OF LAND; THENCE, S 81°31'00"E, ALONG THE NORTH LINE OF SAID LOT 7 AND THE CENTERLINE OF SAID WISCONSIN ROAD, A TOTAL DISTANCE OF 50.00 FEET TO THE POINT OF BEGINNING, CONTAINING 13.08 GROSS ACRES OF LAND, (SAVE AND EXCEPT A 0.729 AC. TRACT RUNNING DIAGONALLY ALONG THE SOUTH PORTION OF THIS PROPERTY BELONGING TO H.C.I.D. NO 2; FURTHER SAVE AND EXCEPT THE NORTH 20.00 FEET OF THIS TRACT BELONGING TO WISCONSIN ROAD RIGHT OF WAY) THIS LEAVES A 12.328 NET ACRE TRACT OF LAND, MORE OR LESS.

METES AND BOUNDS FOR
TRACT 2

A 5.0 GROSS ACRE TRACT OF LAND (4.76 AC. NET), BEING ALL OF LOT 8, JAS I LAVELLE SUBDIVISION, AS PER MAP RO PLAT THEREOF RECORDED IN VOLUME 6, PAGE 29, MAP RECORDS OF HIDALGO COUNTY, SAID 5.00 ACRES BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS: BEGINNING AT THE NORTHEAST CORNER OF SAID LOT 8, LYING ON THE CENTERLINE OF WISCONSIN ROAD; THENCE, S 08°29'00"W, ALONG THE EAST LINE OF SAID LOT 8, AT 20.00 FEET PASS THE SOUTH RIGHT OF WAY LINE OF SAID WISCONSIN ROAD, A TOTAL DISTANCE OF 1320.00 FEET TO THE SOUTHWEST CORNER OF SAID LOT 8 AND THE SOUTHWEST CORNER OF THIS TRACT OF LAND; THENCE, N 08°29'00"E, ALONG THE WEST LINE OF SAID LOT 8, AT 1300.00 FEET PASS THE SOUTH RIGHT OF WAY LINE OF SAID WISCONSIN ROAD, A TOTAL DISTANCE OF 1320.00 FEET TO THE CENTERLINE OF SAID WISCONSIN ROAD AND THE NORTHWEST CORNER OF SAID LOT 8 ALSO BEING THE NORTHWEST CORNER OF THIS TRACT OF LAND; THENCE, S 81°31'00"E, ALONG THE NORTH LINE OF SAID LOT 8 AND ALSO BEING THE CENTERLINE OF SAID WISCONSIN ROAD, A DISTANCE OF 165.00 FEET TO THE POINT OF BEGINNING; CONTAINING 5.00 GROSS ACRES OF LAND, MORE OR LESS, (SAVE AND EXCEPT A 0.16 AC. TRACT RUNNING DIAGONALLY ALONG THE SOUTH PORTION OF THIS PROPERTY BELONGING TO H.C.I.D. NO 2; FURTHER SAVE AND EXCEPT THE NORTH 20.00 FEET OF THIS TRACT BELONGING TO WISCONSIN ROAD RIGHT OF WAY) THIS LEAVES A 4.76 NET ACRE TRACT OF LAND, MORE OR LESS.

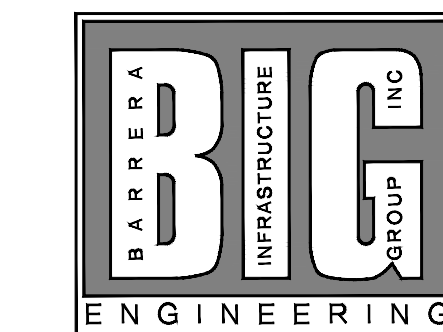
GENERAL PLAT NOTES:

- THIS PROPERTY IS LOCATED WITHIN ZONE "B" ON A FLOOD INSURANCE RATE MAP DEFINED AS AREAS OF 500-YEAR FLOOD; AREAS OF 100-YEAR FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS OF LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 100-YEAR FLOOD. COMMUNITY PANEL NO. 480334 0425 C. MAP REVISED: NOV. 16, 1982
- MINIMUM FINISHED FLOOR ELEVATION SHALL BE 18 INCHES ABOVE TOP OF CURB MEASURED AT FRONT AND CENTER OF EACH LOT.
- MINIMUM SETBACKS ARE AS FOLLOWS:
FRONT - 10 FEET OR EASEMENT, WHICHEVER IS GREATER
REAR GARAGE - 18 FEET OR EASEMENT, WHICHEVER IS GREATER
REAR - 15 FEET OR EASEMENT, WHICHEVER IS GREATER
SIDE - 5 FEET OR EASEMENT, WHICHEVER IS GREATER
SIDE CORNER - 10 FEET OR EASEMENT, WHICHEVER IS GREATER
- THIS SUBDIVISION IS SERVED BY THE CITY OF EDINBURG WATER AND SANITARY SEWER SYSTEMS.
- A TOTAL OF 80,115 CF (1.84 AC-FT) OF DETENTION IS REQUIRED FOR THIS SUBDIVISION.
- ALL LOTS CORNERS SHALL BE MARKED WITH A HALF (1/2) INCH IRON ROD UNLESS OTHERWISE NOTED.
- BENCHMARK: TOP OF GRATE INLET LOCATED AT THE SOUTHEAST INTERSECTION OF WISCONSIN ROAD AND VETERANS BLVD. (ELEV. = 91.15)
- 5 FT. SIDEWALK WITH ADA RAMPS IS REQUIRED AT BUILDING PERMIT STAGE OR AS APPROVED BY CITY ENGINEER ON ALL INTERIOR STREETS.
- 5 FT. SIDEWALK WITH ADA RAMPS AND LANDINGS ARE TO BE CONSTRUCTED AT SUBDIVISION STAGE ALONG SOUTH SIDE OF WISCONSIN ROAD.
- NO PERMANENT STRUCTURES SHALL BE ALLOWED WITHIN UTILITY EASEMENTS OR IRRIGATION EASEMENTS.
- 50% PARK FEE PER UNIT WILL BE DUE AT BUILDING PERMIT STAGE. (300.00 PER LOT)
- THE ZONING CLASSIFICATION FOR THIS DEVELOPMENT IS URBAN RESIDENTIAL.
- ALL CONSTRUCTION SHALL COMPLY WITH STORM WATER POLLUTION PREVENTION PLAN (SWPP) REQUIREMENTS.
- LOTS ARE TO BE SLOPED AT 1% FROM REAR OF LOTS TO FRONT OF LOTS IN ORDER TO PROVIDE POSITIVE DRAINAGE.

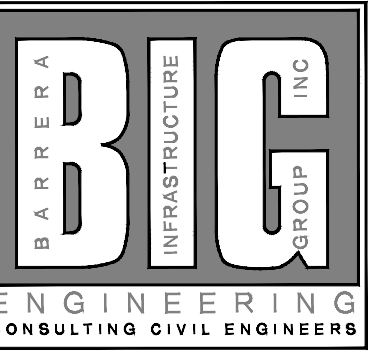


FILED FOR RECORD IN
HIDALGO COUNTY
ARTURO GUERRERO, JR.
HIDALGO COUNTY CLERK

ON: _____ AT _____ AM/PM
INSTRUMENT NUMBER _____
OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS



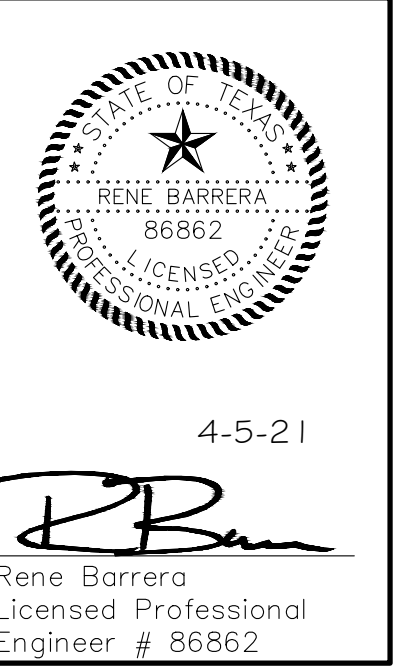
3525 W. FREDDY GONZALEZ
SUITE B2
EDINBURG, TEXAS 78539
956-687-3355
956-992-8801 (FAX)
TEXAS FIRM NO: 6435



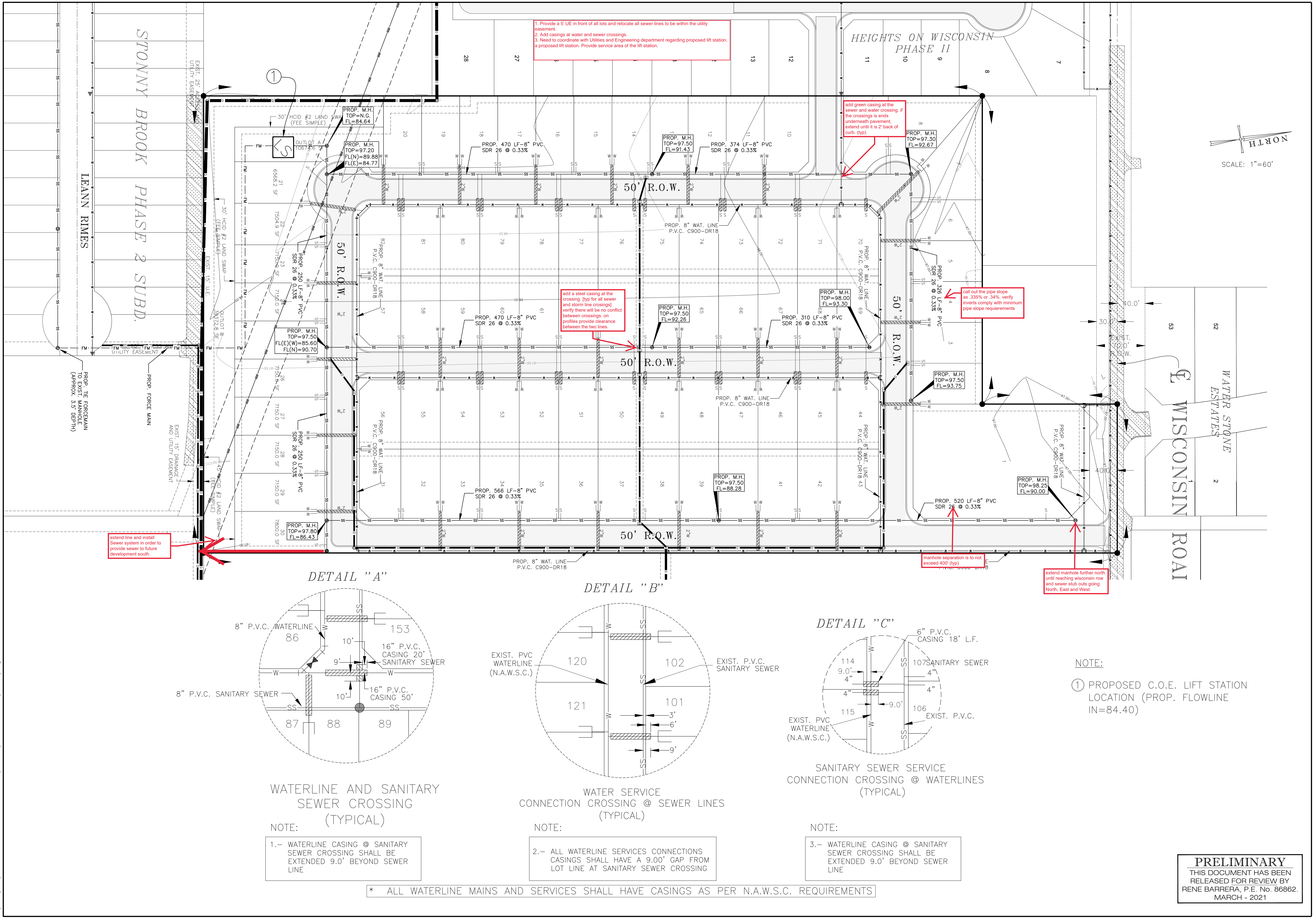
3525 W. FREDDY GONZALEZ SUITE B2
 EDINBURG, TEXAS 78539
 T: 956.687.3355
 F: 956.992.8801
 FIRM NO. 6435

WATER & SEWER SYSTEM LAYOUT

THE HEIGHTS ON WISCONSIN PHASE II, SUBDIVISION EDINBURG, TEXAS



Date:	
Scale:	1"=60'
Designed By:	R.B.
Drawn By:	E.S.
Checked By:	R.B.
Project No.:	



1. Provide a 5' UE in front of all lots and relocate all sewer lines to be within the utility easement.
 2. Add casings at water and sewer crossings.
 3. Need to coordinate with Utilities and Engineering department regarding proposed lift station, a proposed lift station. Provide service area of the lift station.

add green casing at the sewer and water crossing, if the crossings is ends underneath pavement, extend until it is 2' back of curb. (typ)

add a steel casing at the crossing. (typ for all sewer and storm line crossings) verify there will be no conflict between crossings, on profiles provide clearance between the two lines.

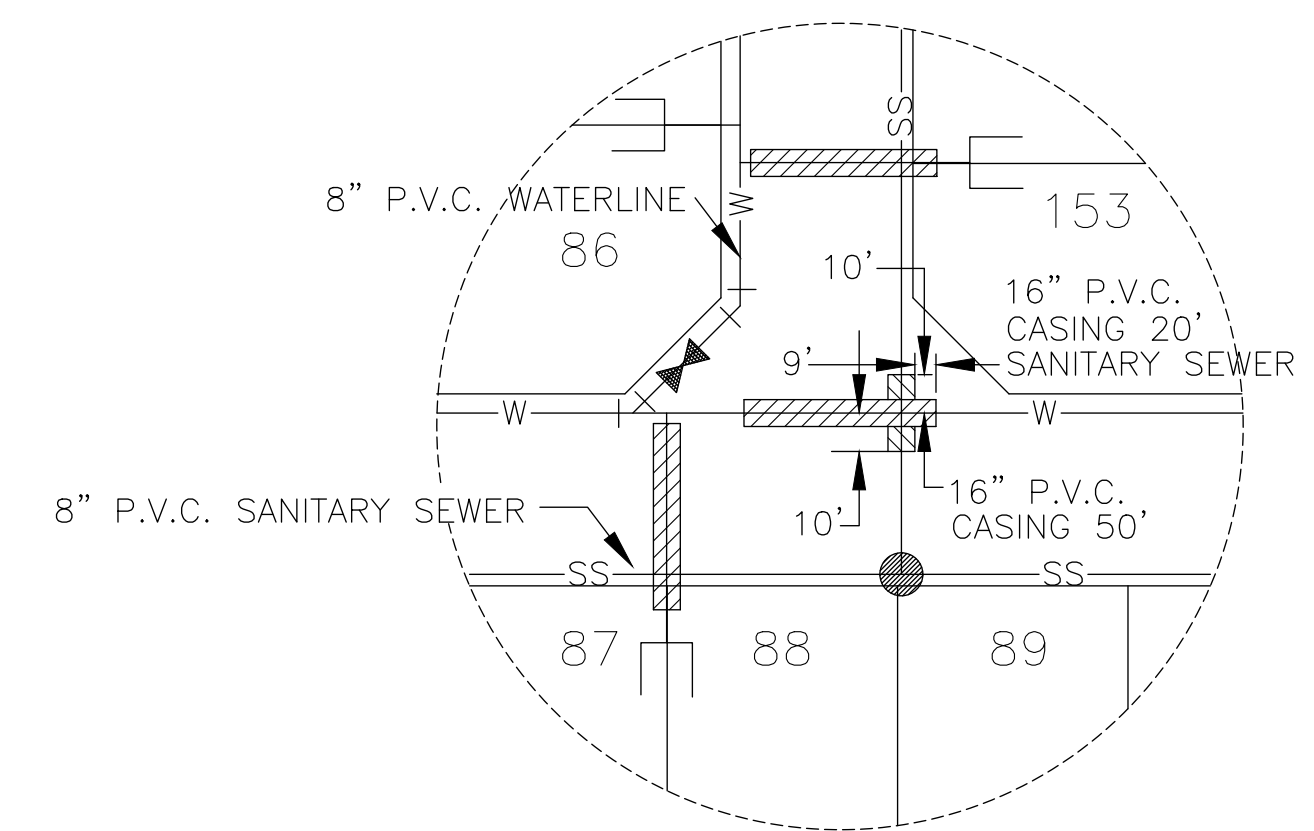
call out the pipe slope as .33% or .34%, verify inverts comply with minimum pipe slope requirements

manhole separation is to not exceed 400' (typ)

extend manhole further north until reaching wisconsin row and sewer stub-outs going North, East and West.

extend line and install sewer system in order to provide sewer to future development south.

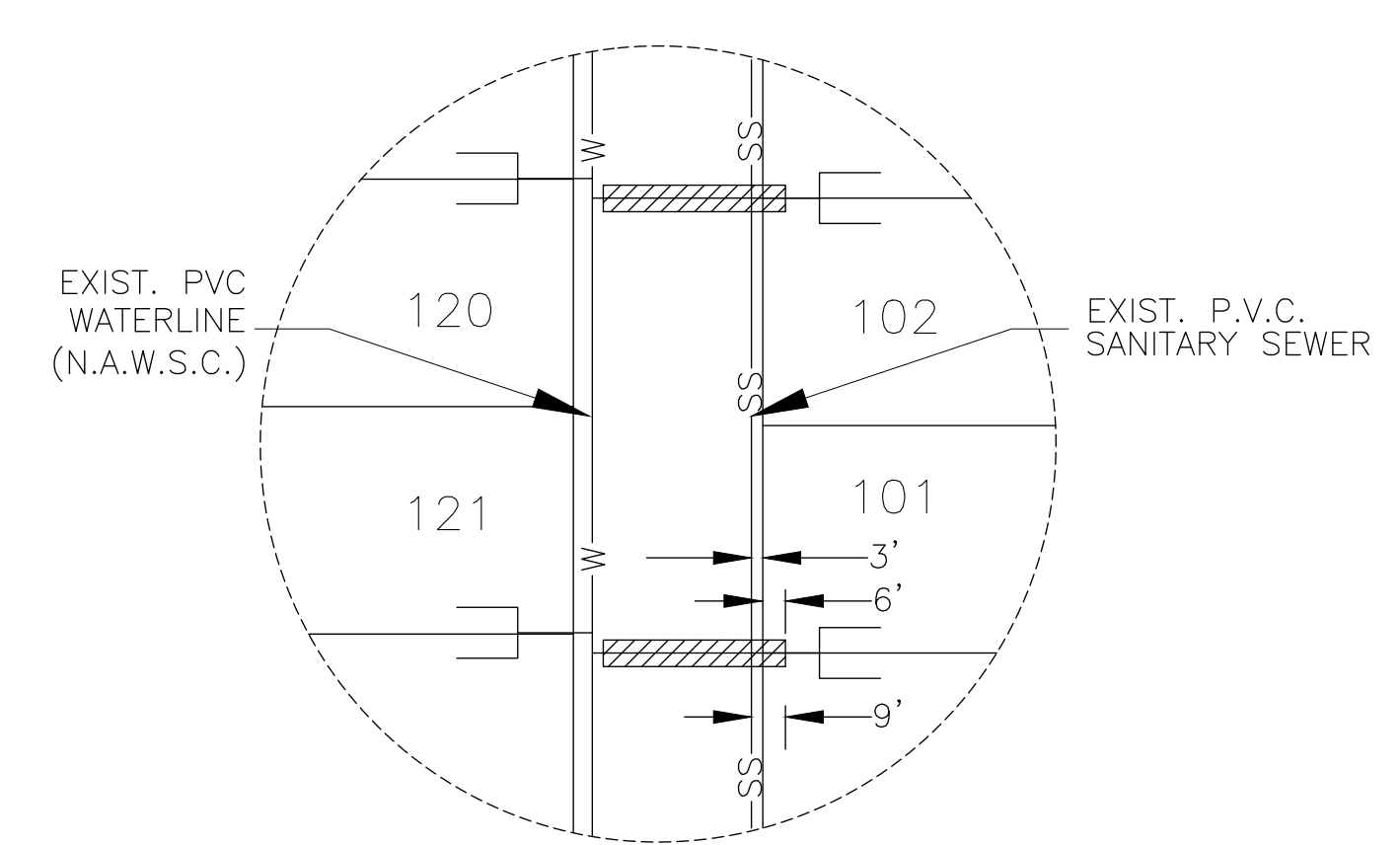
DETAIL "A"



WATERLINE AND SANITARY SEWER CROSSING (TYPICAL)

NOTE:
 1.- WATERLINE CASING @ SANITARY SEWER CROSSING SHALL BE EXTENDED 9.0' BEYOND SEWER LINE

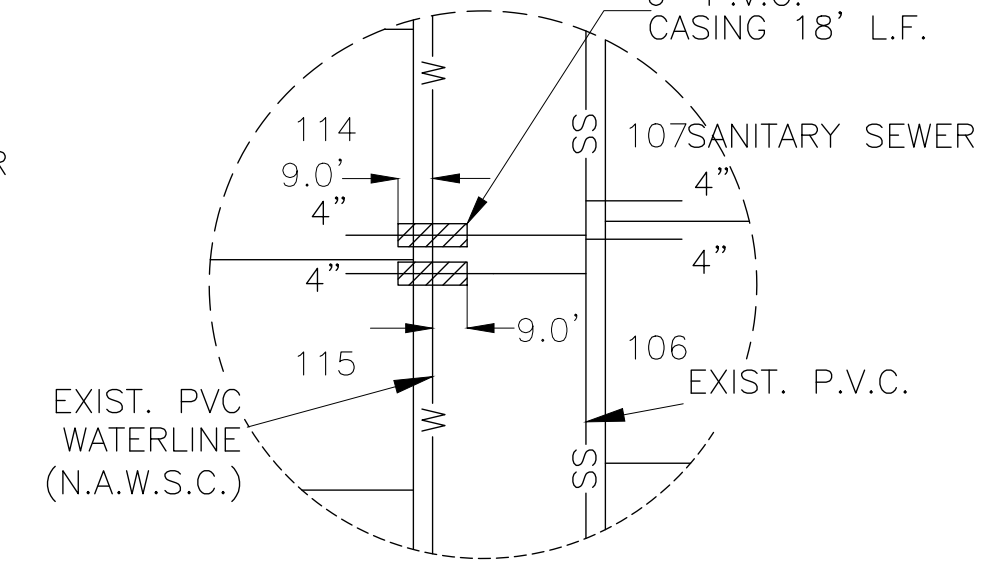
DETAIL "B"



WATER SERVICE CONNECTION CROSSING @ SEWER LINES (TYPICAL)

NOTE:
 2.- ALL WATERLINE SERVICES CONNECTIONS CASINGS SHALL HAVE A 9.00' GAP FROM LOT LINE AT SANITARY SEWER CROSSING

DETAIL "C"



SANITARY SEWER SERVICE CONNECTION CROSSING @ WATERLINES (TYPICAL)

NOTE:
 3.- WATERLINE CASING @ SANITARY SEWER CROSSING SHALL BE EXTENDED 9.0' BEYOND SEWER LINE

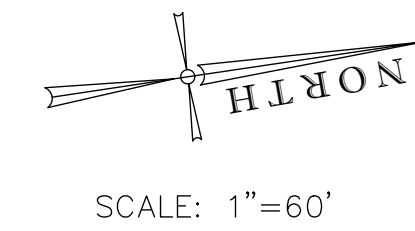
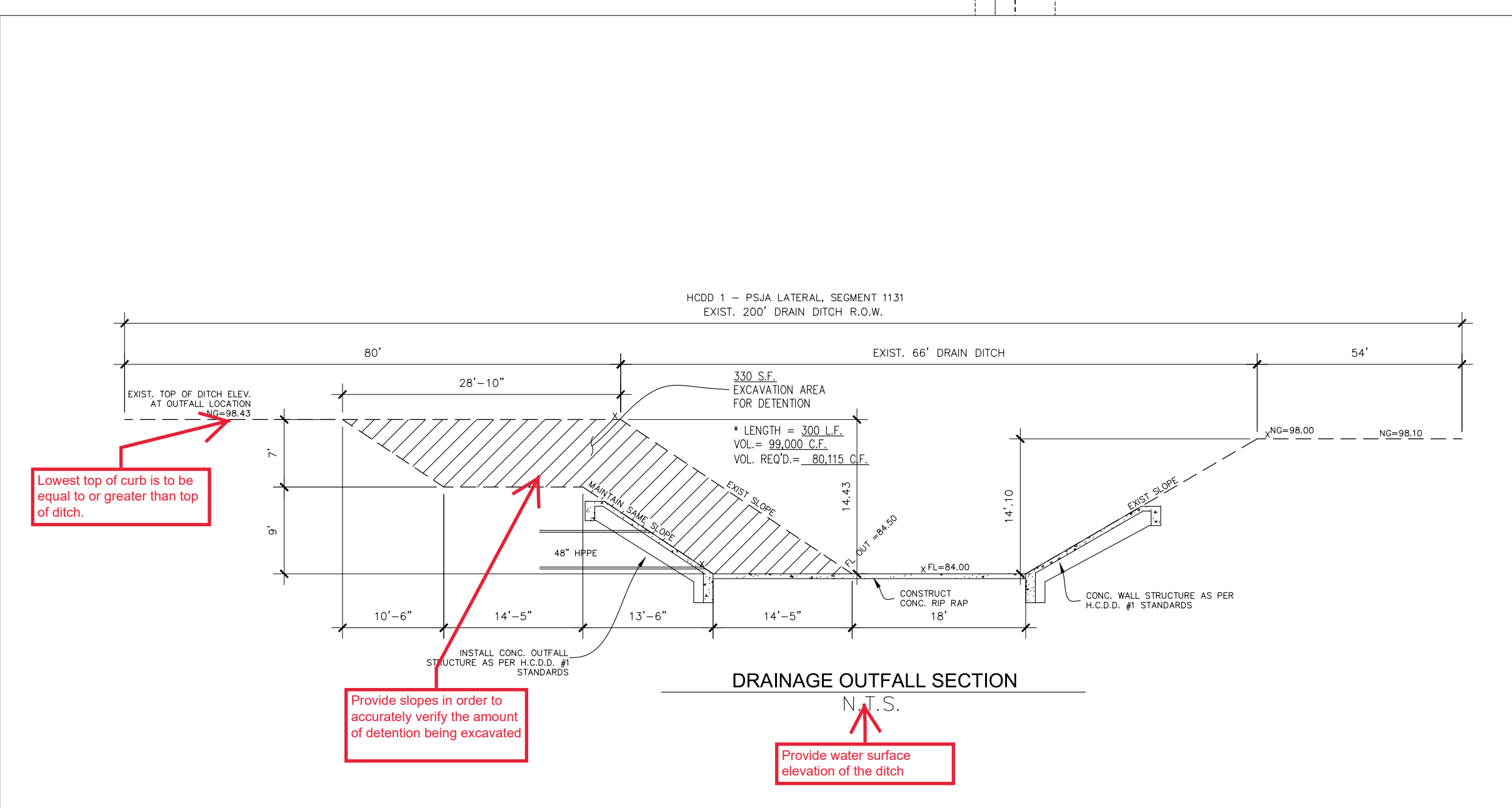
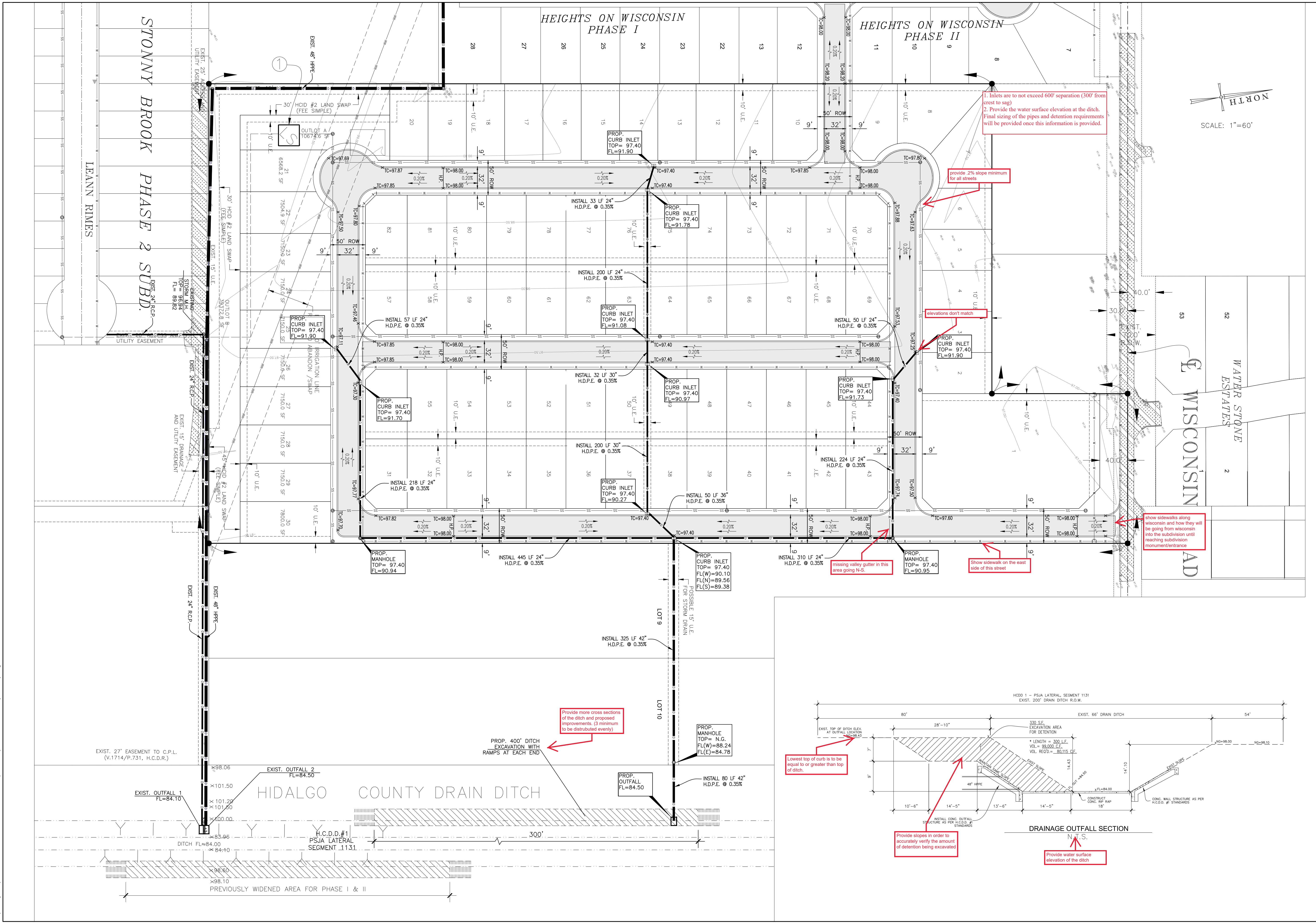
NOTE:
 ① PROPOSED C.O.E. LIFT STATION LOCATION (PROP. FLOWLINE IN=84.40)

* ALL WATERLINE MAINS AND SERVICES SHALL HAVE CASINGS AS PER N.A.W.S.C. REQUIREMENTS

PRELIMINARY
 THIS DOCUMENT HAS BEEN RELEASED FOR REVIEW BY RENE BARRERA, P.E. No. 86862. MARCH - 2021

E:\Projects\HTS ON WISCONSIN - CARRANZA SUBD\PHASE II\HTS ON WIS PH 3 (4-1-21).dwg

E:\Projects\WISCONSIN - CARRANZA SUBD PHASE II\WIS ON WIS PH 3 (4-1-21).dwg



1. Inlets are to not exceed 600' separation (300' from crest to sag)
2. Provide the water surface elevation at the ditch. Final sizing of the pipes and detention requirements will be provided once this information is provided.

provide 2% slope minimum for all streets

elevations don't match

missing valley gutter in this area going N-S.

Show sidewalk on the east side of this street

Show sidewalks along Wisconsin and how they will be going from Wisconsin into the subdivision until reaching subdivision monument/entrance

3525 W. FREDDY GONZALEZ SUITE B2
EDINBURG, TEXAS 78539
T: 956.687.3355
F: 956.992.8801
FIRM NO. 6435

ON-SITE PAVING AND STORM DRAINAGE LAYOUT

THE HEIGHTS ON WISCONSIN PHASE III, SUBDIVISION EDINBURG, TEXAS

4-5-21
Rene Barrera
Licensed Professional Engineer # 86862

Date:	
Scale:	1"=50'
Designed By:	R.B.
Drawn By:	E.S.
Checked By:	R.B.
Project No.:	



415 W University Dr. • Edinburg, TX 78539 • (956) 388-8211

Trip Generation Worksheet

Subdivision Name: _____

Project Location: _____

(select one) C.O.E Edinburg ETJ

Applicant: _____ Owner Agent

Address: _____

Email: _____ Phone: _____

Date: _____

Proposed Type of Development

New Development Re-Development Additional Development

Anticipated Land Use	Project Size			AM Peak Hour Trips	PM Peak Hour Trips	Weekday Trips	Wknd Trips	ITE Code
	Acres	GFA	# of Units					

*Multibuilding development or Master Plan-Multi Phase developments, please submit a tabulation sheet showing all proposed land uses

Previous TIA Report (if on file) TIA # _____

Peak Hour Trips Projected in TIA on file	Peak Hour Trips Projected in Updated Development Plan

Difference in PHT (Proposed PHT - Previous Development PHT or TIA PHT)

Increase in Peak Hour Trips
(if an increase of 76 PHT or an increase of 10% of the total PHT, a new TIA is required)

(For Official Use Only, Do Not Write In This Box)

_____ A TIA is required. The individual preparing the study must meet with City staff to discuss the scope and requirements of the study before beginning the study.

_____ A TIA is **not required**. The traffic generated by the proposed development does not exceed the threshold requirements.

Comments: _____

Reviewed by: _____ Date: _____

To: Abel Beltran, Subdivision Coordinator.
From: Robert Valenzuela, Stormwater Manager
Date: April 29, 2021
Subject: Heights of Wisconsin Phase 3

Heights of Wisconsin Phase 3 Subdivision
13.08 Acres

Required Information

The following items are required by TCEQ and the City of Edinburg. Please submit the following at your earliest convinces

1. SW3P (Stormwater Pollution Prevention Plan)
 2. NOI (Notice of Intent, Per TCEQ)
 3. Large Construction Notice (Per TCEQ Inventory)
 4. Detailed Erosion Control Plan (Silt Fence, Construction Entrance, Inlet Protection, Concrete Washout)
-

Comments:

- Silt Fence around the entire project.
- Large Construction Notice needs to be submitted with contractors contact information.
- All items must be submitted before the NTP is issued.
- Please email pending items to rvalenzuela@cityofedinburg.com



THE CITY OF Edinburg FIRE DEPARTMENT



Preliminary Staff Review

May 4, 2021,

BIG Engineering
3525 W. Freddy Gonzalez
Edinburg, TX 78539
(956) 687-3355

**RE: PRELIMINARY REVIEW – THE HEIGHTS ON WISCONSIN PHASE III
SUBDIVISION**

Mr. Salinas,

After reviewing the above referenced plat, the following are the preliminary phase submittal comments:

1. Provide street names to the City of Edinburg Engineering Department for approval.
2. Fire lane 15 feet in width shall be painted in front of all fire hydrants.
3. Provide double face blue fire hydrant street marker on center of the street in front of fire hydrant.
4. Fire hydrant shall be every 600 feet for one and two family dwellings as per section 507.5.1 of 2012 IFC
5. Provide details on all gates to subdivisions. Gates shall meet standards according to section 503.6 of 2012 IFC. All gates shall be 40 feet from the public road.

Any questions, please feel free to contact me.

Sincerely,

Omar Garza
Fire Marshal
Email: ogarza@cityofedinburg.com
212 W. McIntyre St.
Edinburg, TX 78539

References:
Unified Development Code and 2012 International Fire Code

**SUBDIVISION WITHIN CITY LIMITS CHECK LIST
SUBDIVISION PROCESS**

PRELIMINARY STAGE
Date : May 4, 2021

PLANNING & ZONING DEPARTMENT (956) 388-8202

Date Filed: April 5, 2021 P&Z Preliminary: May 11, 2021 P&Z Final: _____ City Council: _____

Reviewed By: Abel Beltran, Subd. Coord. Staff Review: April 22, 2021 Time Line: 365 Days Expires: _____
abeltran@cityofedinburg.com Staff / Engineer: April 29, 2021 1st Extension: 0 Days Expires 1: _____
 2nd Extension: 0 Days Expires 2: _____

Director of Planning & Zoning : Kimberly A. Mendoza, CPM. Email : kmendoza@cityofedinburg.com City Office #: (956) 388-8202
 Director of Utilities Gerardo Carmona, P.E. Email : gcarmona@cityofedinburg.com City Office #: (956) 388-8212
 Director of Public Works Vincent Romero Email : layala@cityofedinburg.com City Office #: (956) 388-8210
 Director of Engineering Mardoqueo Hinojosa, P.E., CPM Email : mhinojosa@cityofedinburg.com City Office #: (956) 388-8211

Owner:	Julio Carranza, Manager	419 Crosspoint Blvd., Edinburg, TX	Rene Barerra, P.E. Project Engineer
THE HEIGHTS ON WISCONSIN PH. III SUBDIVISION		Consultant : Barrera Infrastructure Group, Inc.	
DESCRIPTION	Provided	Need to Provide	Not Applicable
COMMENTS	Need to Revise		

Subdivision Process:

Subdivision Plat Submittal	✓				
Warranty Deed	✓				
Topography Survey	✓				
Drainage Report Submittal (As Per City Drainage Policy)	✓				Approved by H.C.D.D.#1 Date: Pending Approval
Zoning : City Limits - Commercial General	✓				
Flood Zone	✓				Zone "X" (Shaded)

Preliminary Submittals:

Existing & Proposed Water Distribution Layout	✓				North Alamo Water Supply Corporation - Distribution System
Water Distribution System Provider:	✓				North Alamo Water Supply Corporation - Distribution System
Existing & Proposed Sewer Collection Layout	✓				City of Edinburg Sanitary Sewer Collection System
Sanitary Sewer Collection System Provider:	✓				City of Edinburg Sanitary Sewer Collection System
Existing and Proposed Drainage Layout System:	✓				Private Drainage System onto H.C.D.D. # 1
MPO Collector / Arterial Right-of-way Dedication	✓				Proposed Private Streets
Minor / Major Collector Street pavement Section	✓				In Accordance to Standard Street Policy
Variances Appeals Request:		✓			Planning & Zoning Meeting Results City Council Meeting
Street Widening Improvements					
Street 5-ft Sidewalk Improvements					
Drainage Improvements					

Construction Plans Review Submittals: (See Section 4 Construction Plans Submittals Policy, 2014 STANDARD POLICY MANUAL)

Cover Sheet		✓			
Topography Sheet (Utilities, Bench Marks)		✓			
Sanitary Sewer Improvements: On-Site & Off-Site		✓			City of Edinburg Sanitary Sewer Standard Policy's
Sanitary Sewer Detail Sheets		✓			See Section 3 Utility Policy, 2014 Standard Policy Manual
Water Distribution Improvements: On-Site & Off-Site		✓			North Alamo Water Supply Standard Policy's
Water Distribution Detail Sheet (Fire Hydrant Assembly)		✓			See Section 3 Utility Policy, 2014 Standard Policy Manual
Drainage Improvements:		✓			
Drainage Detail Sheets		✓			See Section 1 Drainage Policy, 2014 Standard Policy Manual
Minor/Major Collector Streets Improvements:		✓			See Section 2 Streets Policy, 2014 Standard Policy Manual
Street Sign Sheet:		✓			
Street Detail Sheets		✓			See Section 2 Streets Policy, 2014 Standard Policy Manual
Street Lighting Sheet:		✓			
Traffic Control Plan:			✓		
Erosion Control Plan		✓			
Erosion Control Plan Detail Sheet		✓			See Storm Water Management, 2014 Standard Policy Manual

DESCRIPTION	Provided	Need to Provide	Not Applicable	Need to Revise	COMMENTS
-------------	----------	-----------------	----------------	----------------	----------

Pre-Construction Meeting:

Notice To Proceed		✓			Dated:
Roadway Open-Cut or Bore Permit Application		✓			Dated:
TX-Dot Water UIR Permit (Only if making a connection to I69C)			✓		
TX-Dot Sewer UIR Permit (Only if making a connection to I69C)			✓		
N.O.I. Submittal		✓			Dated:
SWPP Booklet Submittal		✓			Dated:
RFI #1 Request		✓			Dated:
Change Orders		✓			Dated:
Final Walk Through		✓			Dated:
Punch List		✓			Dated:
Punch List (Completed and Approved)		✓			Dated:
Letter of Acceptance		✓			Dated:
1-year Warranty (Water/Sewer/Paving/Drainage)		✓			Dated:
Backfill Testing Results		✓			Dated:
As-Builts (Revised Original Submittal)		✓			Dated:

Recording Process:

Public Improvements with (Letter of Credit)		✓			Dated:	Expires:
Recording Fees	\$ 106.00	✓			As required by County Clerks office	
Copy of H.C.D.D. #1 of invoice		✓			Required to be paid prior to Final Stages	
Street Light Escrow	\$ -	✓			Required: 0	EA. @ \$ -
Street Escrow (Wisconsin Road)	\$ 16,755.75	✓			Required: 165	EA. @ \$ 101.55
Sidewalk Escrow (Wisconsin Road)	\$ 4,125.00	✓			Required: 165	LF @ \$ 25.00
TOTAL OF ESCROWS:	\$ 20,880.75					
Total Developer's Construction Cost: (Letter of Credit)					Date :	Lender :
Laboratory Testing Fee: 3%	\$ -	✓			\$ -	Estimated Construction Cost
Inspection Fee: 2%	\$ -	✓			\$ -	Final Construction Cost
Park Land Fees: ETJ	\$ - Per Unit 0		✓			
82 Residential	\$ 300.00 \$ 24,600.00	✓			50% Development	50% Building Stage
0 Multi-Family	\$ - \$ -				0% Development	0% Building Stage
Water Rights: NAWSC - CCN	\$ -		✓		18.010	Acres \$ -
Water 30-year Letter (Residential)	\$ 410.00	✓			82	Lots @ \$ 5.00 NAWSC WATER-CCN
Water 30-year Letter (Multi-Family)	\$ -		✓		0	Lots @ \$ -
Sewer 30-year Letter COE - CCN	\$ 5,330.00	✓			82	Lots @ \$ 65.00 COE SEWER-CCN
TOTAL OF FEES:	\$ 30,340.00					

Reimbursements:

Developer Sewer Improvements	\$ -		✓		Off-Site System: 0.00	AC \$ -
Developer Water Improvements	\$ -		✓		Off-Site System 0.00	AC \$ -
TOTAL OF REIMBURSEMENTS:	\$ -					

Buyouts:

North Alamo Water Supply Corporation	\$ -		✓		Required Buyout 0.00	AC. \$ -
Sharyland Water Supply Corporation			✓		Not Applicable	

Tax Certificates

County of Hidalgo / School District			✓			
Water District			✓		Hidalgo County Irrigation District # 2	

Total of Escrows, Fees, Reimbursements and Buyouts:

Escrows	\$ 20,880.75	Street & Sidewalk Improvements for ? Road				
Inspections other Fees	\$ 30,340.00	Parkland Fees, Water/Sewer 30-year Agreement/Water Rights				
Reimbursements	\$ -	Reimbursement to the Developer of Subdivision (No Reimbursement on Record)				
City of Edinburg	\$ -	15% Payable to the City of Edinburg for Administrative Fee				
To the Developer of Record	\$ -	85% Payable to the Developer of Record Owner / Developer				
Buyouts	\$ -	Based on Subdivision (Need Request and Approval rate from NAWSC Broad)				
TOTAL :	\$ 51,220.75	Developer Total Cost of Fees, Escrows, Reimbursements & Buyouts				



**FRESNO HEIGHTS SUBDIVISION
STAFF REPORT**

DATE: 05/05/2021	Planning & Zoning Meeting – May 11, 2021
<u>APPLICATION:</u>	Preliminary Plat Approval of Fresno Heights Subdivision
<u>APPLICANT:</u>	Mauricio Carbajal- Managing Member
<u>ENGINEERING FIRM:</u>	SAM Engineering & Surveying
<u>LEGAL:</u>	Being a Tract of Land containing 5.50-acre gross, 5.36 Acre Net Tract of Land more or less, situated in the City of Edinburg, Hidalgo County, Texas being a part of Lot 1, Engelmann’s Subdivision of lot 10, Section 278, Texas-Mexican Railway Company’s Subdivision
<u>LOCATION:</u>	Located at 4124 W. Freddy Gonzalez Drive
<u>CURRENT USE OF PROPERTY:</u>	Vacant
<u>EXISTING ZONING & LAND USE:</u>	Urban Residential (UR) District
<u>SURROUNDING LAND USE:</u>	North: Neighborhood Conservation 7.1 (NC 7.1) District East: Commercial Neighborhood (CN) District Suburban Residential (S) District South: Suburban (S) Residential District West: Commercial Neighborhood (CN) District
<u>ACCESS AND CIRCULATION:</u>	This property has access to W. Freddy Gonzalez Drive
<u>PUBLIC SERVICES:</u>	City of Edinburg Water / Sewer
<u>RECOMMENDATION:</u>	Staff recommends approval of the Preliminary Plat subject to the following requirements.

EVALUATION AND REQUIREMENTS FOR APPROVAL

The following is the staff’s evaluation and requirements for the approval of this preliminary plat application. The requirements represent a comprehensive review but do not preclude the City of Edinburg from identifying other requirements deemed necessary for the proper development of the subdivision.



Planning and Zoning Department

PRELIMINARY SUBDIVISION STAFF REVIEW COMMENTS

Company: BARRERA INFRASTRUCTURE GROUP, INC.

Attention: Rene Barrera, P.E., Project Engineer

From: Abel Beltran, Planner I

Date: April 27, 2021

Re: THE HEIGHTS ON WISCONSIN PH. III SUBDIVISION – CITY LIMITS

The following is the staff's evaluation and requirements for the information submitted to our office by the project engineer. The requirements represent a comprehensive review but do not preclude the City of Edinburg from identifying other requirements deemed necessary for the proper development of the subdivision.

SUBMITTALS:

Subdivision Plat:

Preliminary Review confirm process based on the existing zoning and proposed, lots, block length, corner clip, setbacks, streets right-of-way dedication, easements, finish floor elevation, metes and bounds, vicinity map, owners, notary, districts, engineers and surveyor acknowledgments, street name, flood zone, etc.

Water Layout Plan:

A North Alamo Water Distribution System for said development shall connect to existing water system Wisconsin Road and looped system onto The Wisconsin Heights Phase I & II existing water system, to include fire protection connecting and looping to an existing Water line and shall comply with the spacing of proposed hydrant(s).

Sewer Layout Plan:

Development will be constructing a proposed Lift Station for development with the service to include additional un-developed properties with a reimbursement contract.

Paving & Drainage Plan:

Proposed Interior Access shall consist of Minor Street with Street Sections as required by city standards. On-site drainage system onto a proposed detention pond with an outfall system connecting Detention Pond area with an outfall on an existing drainage system located on the east side of development.

Drainage Report:

Report submitted can be preliminary without H.C.D.D. #1 approval with pending County approval. Detention shall be interior with restricted outfall connection to existing Drain Ditch located on the east side of development.





Planning and Zoning Department

PRELIMINARY SUBDIVISION STAFF REVIEW COMMENTS

Company: SAMES ENGINEERING & SURVEYING, INC.

Attention: Nadia M. Lopez, P.E., Project Engineer

From: Abel Beltran, Planner I

Date: April 27, 2021

Re: FRESNO HEIGHTS SUBDIVISION – CITY LIMITS

The following is the staff's evaluation and requirements for the information submitted to our office by the project engineer. The requirements represent a comprehensive review but do not preclude the City of Edinburg from identifying other requirements deemed necessary for the proper development of the subdivision.

SUBMITTALS:

Subdivision Plat:

Preliminary Review confirm process based on the existing zoning and proposed, lots, block length, corner clip, setbacks, streets right-of-way dedication, easements, finish floor elevation, metes and bounds, vicinity map, owners, notary, districts, engineers and surveyor acknowledgments, street name, flood zone, etc.

Water Layout Plan:

A City of Edinburg Water Distribution System for development will connect to W. Freddy Gonzalez Drive water line system and looped to the Alcaniz Drive water system, to include fire protection connecting and looping to an existing Water line and shall comply with the spacing of proposed hydrant(s).

Sewer Layout Plan:

Development will utilize an existing main line of 12-inch City of Edinburg Sanitary Sewer System located on W. Freddy Gonzalez Drive and Alcaniz Drive.

Paving & Drainage Plan:

Proposed Interior Access shall consist of Minor Street with Street Sections as required by city standards. On-site drainage system onto a proposed detention pond with an outfall system connecting (Bleeder Line) to the existing drainage system on the south portion of development

Report:

Report submitted can be preliminary without H.C.D.D. #1 approval with pending County approval. Detention shall be interior with restricted outfall connection to existing Drainage system located on W. Freddy Gonzalez Drive south of development.



Planning and Zoning Department

GENERAL REQUIREMENTS FINDINGS:

1. Must comply with the Unified Development Code adopted in 2007 with Article 3- District and Bulk Standards for lot area, lot width, setbacks and block length as required by code.
2. General Plat Notes to indicate; flood zone designation, correct setbacks, finish floor elevation, SW3P Requirements, detention, sidewalk, utilities provider and other notes as required based on development.
3. In Accordance to Unified Development Code adopted in 2007, Article 8 Street, Utilities and Drainage and in City of Edinburg 2014 Standards Manual, with Street Right of way dedication as noted on Table 8.204.
4. In Accordance to Section 8.213 Sidewalks and Code of Ordinances Chapter 98 – Sidewalks shall be five (5) foot for perimeter streets arterial, collector or higher classification.

FIRE DEPARTMENT FINDINGS:

1. The Fire Marshal's office requires fire hydrant be located on 600-foot (Residential) intervals with blue buttons are placed at center of street and on the lane hydrant is located.
2. Must submit proposed street names prior to the Pre-construction process for approval.

ENGINEERING DEPARTMENT FINDINGS:

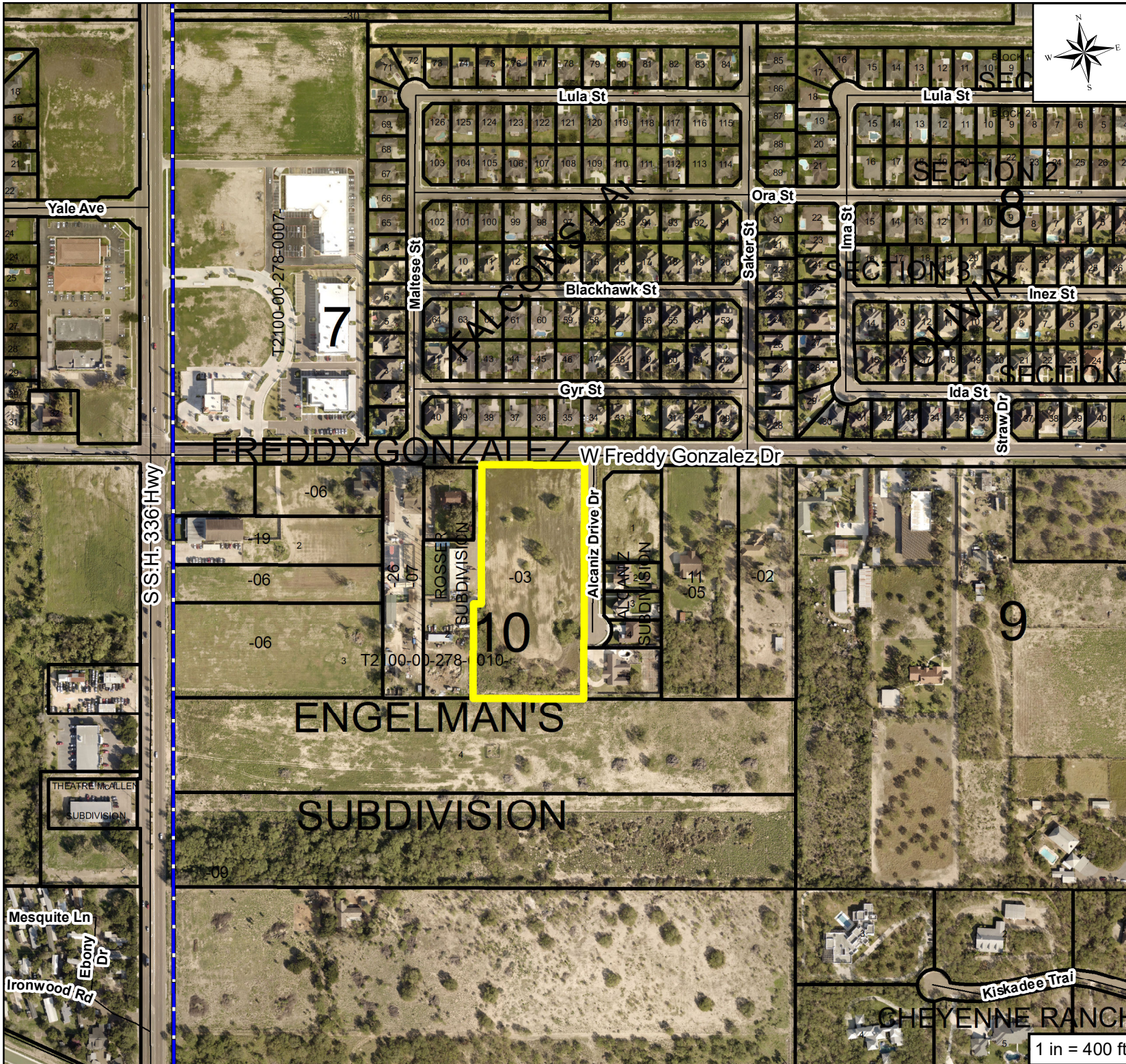
1. In Accordance to Section 8.218.A.B Engineering Standards Manual - The City Engineer shall promulgate and maintain an Engineering Standards Manual that specifies the minimum construction standards for streets, drainage, and other infrastructure within the City and its ETJ. New construction of streets, drainage systems, and other infrastructure shall comply with the applicable provisions of the Engineering Standards Manual, latest edition.
2. A proposed designed drainage system based on a designed basin areas exhibit with an approved drainage outfall system.
3. Must attach the City of Edinburg Streets, Drainage, and erosion control details on the construction set of plans. (See Section 4 of the City of Edinburg 2014 Standards Manual)
4. Additional comments will be addressed at the review of the construction plans.

UTILITIES DEPARTMENT FINDINGS:

1. Water Supply Distribution and Sanitary Sewer Collection System will be addressed by City of Edinburg Water & Sewer Departments. Applicable Fees, Water Rights Fee, 30-year Water and Sewer Service Agreement Fees.

Additional Comments provided:

Cc: Kimberly Mendoza, MPA, Director of Planning & Zoning, Jaime X. Ayala, Planner II, Rita Guerrero, Urban Planner I, Mardoqueo Hinojosa, P.E., Director of Engineering, Vince Romero, Director of Public Works, Gerardo Carmona, P.E., Director of Utilities, Arturo Martinez, Director of Utilities, Jose Flores, Systems Superintendent, Omar Garza, Fire Marshal, Ramiro Gomez, Director of Solid Waste Management, Robert Valenzuela, Storm Water Specialist.





AERIAL MAP

CASE CAPTION:

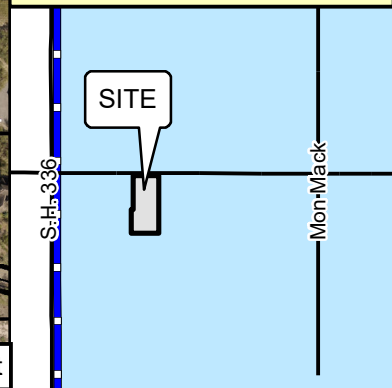
SUBDIVISION NAME:
FRESNO HEIGHTS

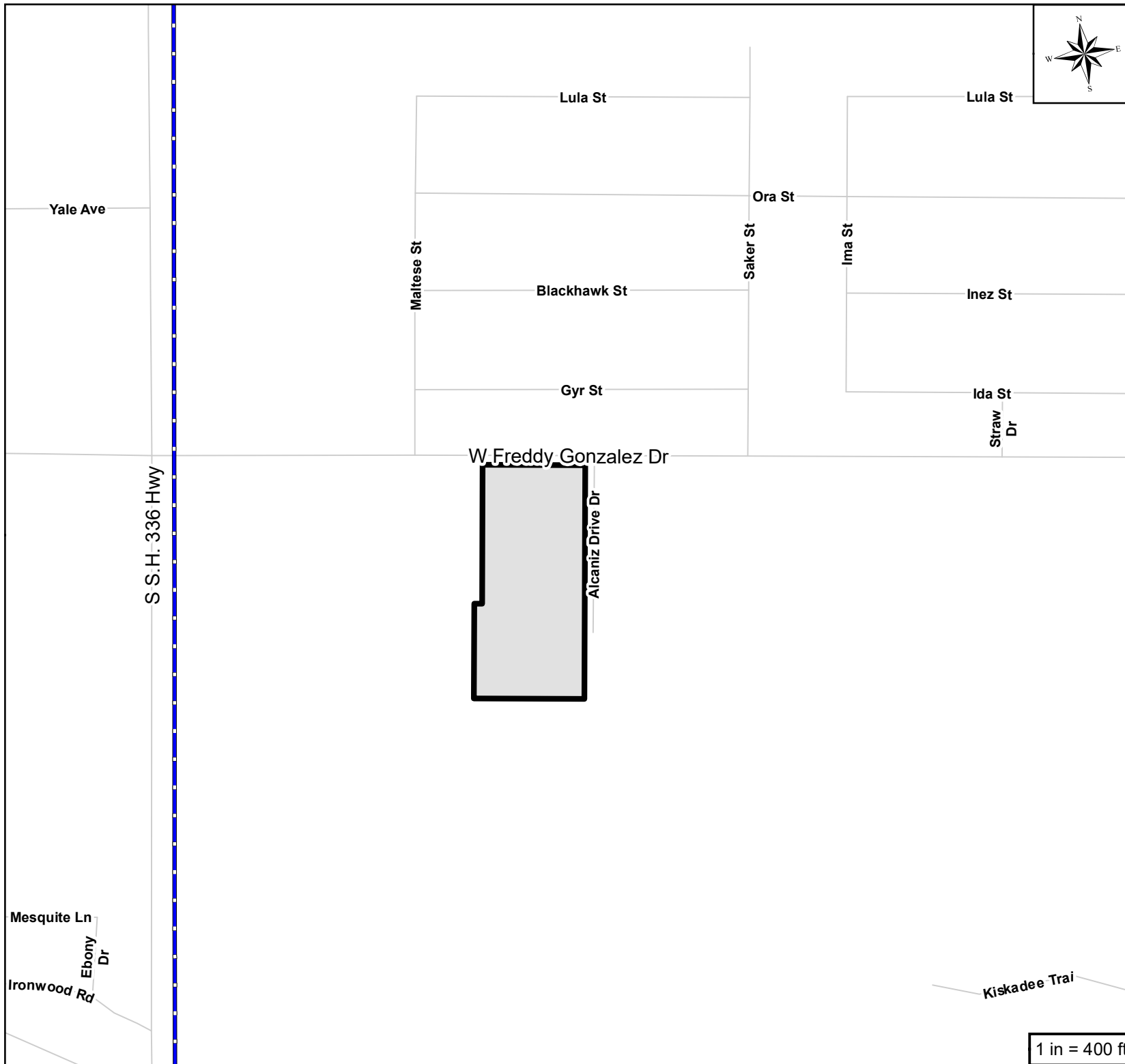
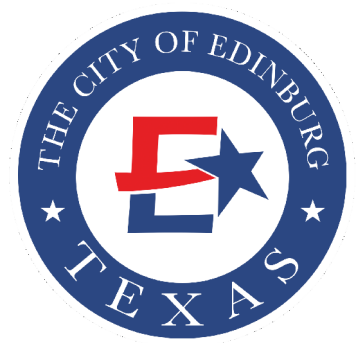
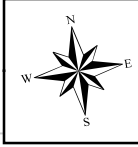
Consider the Preliminary plat of Fresno Heights Subdivision, being a Tract of Land containing 5.50 gross acres more or less, situated in the City of Edinburg, Hidalgo County, Texas being a part of Lot 1 and Lot 3, Engelmann's Subdivision of Lot 10, Section 278, Texas-Mexican Railway Company's Subdivision, located at 4124 West Freddy Gonzalez Drive, as requested by SAM Engineering.

Legend

-  CITY LIMITS
-  SUBDIVISION SITE

SITE LOCATION MAP







SITE MAP

CASE CAPTION:

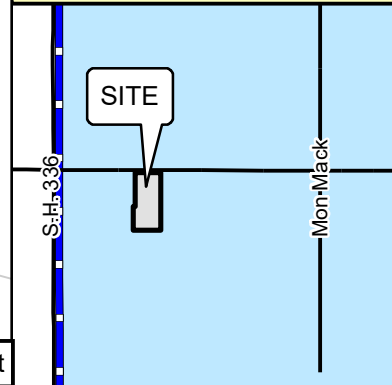
SUBDIVISION NAME:
FRESNO HEIGHTS

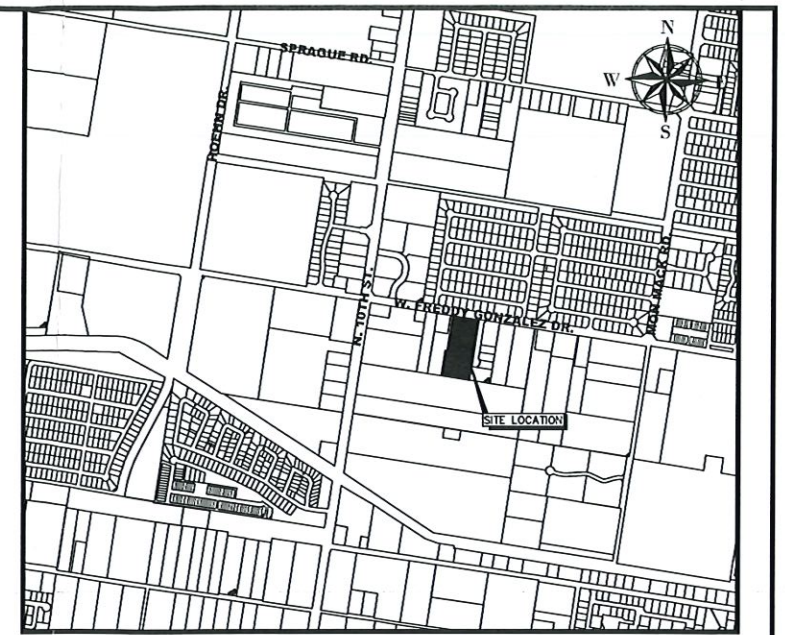
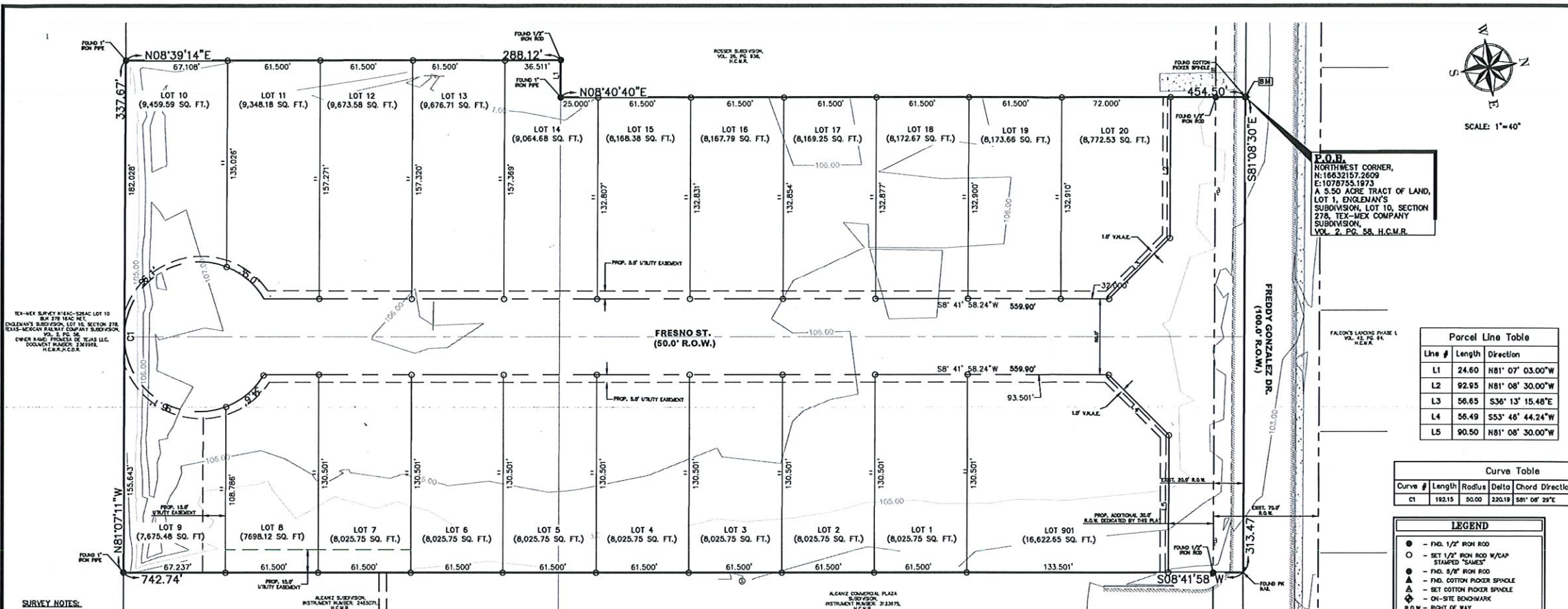
Consider the Preliminary plat of Fresno Heights Subdivision, being a Tract of Land containing 5.50 gross acres more or less, situated in the City of Edinburg, Hidalgo County, Texas being a part of Lot 1 and Lot 3, Engelmann's Subdivision of Lot 10, Section 278, Texas-Mexican Railway Company's Subdivision, located at 4124 West Freddy Gonzalez Drive, as requested by SAM Engineering.

Legend

-  CITY LIMITS
-  SUBDIVISION SITE

SITE LOCATION MAP





Parcel Line Table

Line #	Length	Direction
L1	24.60	N81° 07' 03.00" W
L2	92.95	N81° 08' 30.00" W
L3	56.65	S36° 13' 15.48" E
L4	56.49	S53° 46' 44.24" W
L5	90.50	N81° 08' 30.00" W

Curve Table

Curve #	Length	Radius	Delta	Chord Direction	Chord Length
C1	182.15	50.00	220.19	S81° 08' 29" E	93.91

LEGEND

- - FND. 1/2" IRON ROD
- - SET 1/2" IRON ROD W/CAP STAMPED "SAMES"
- - FND. 6/8" IRON ROD
- ▲ - FND. COTTON PICKER SPINDLE
- ▲ - SET COTTON PICKER SPINDLE
- △ - ON-SITE BENCHMARK
- R.O.W. - RIGHT OF WAY
- FND. - FOUND
- H.C.M.R. - HIDALGO COUNTY MAP RECORDS
- H.C.D.R. - HIDALGO COUNTY DEED RECORDS
- P.B.R. - POINT OF BEGINNING
- VAL.E. - VERTICAL ALIGNMENT EASEMENT

SURVEY NOTES:

- BEARINGS SHOWN BASED ON TEXAS-MEXICAN RAILWAY COMPANY SUBDIVISION, AS PER MAP RECORDED IN VOLUME 2, PAGE 58, MAP RECORDS, HIDALGO COUNTY, TEXAS.
- ALL BEARINGS AND DISTANCES ARE BASED ON THE TEXAS COORDINATE SYSTEM (NAD 83) TEXAS STATE PLANS, SOUTH ZONE, US SURVEY FEET, GRID BEARINGS AND DISTANCES IN PARENTHESES ARE BASED ON RECORDED DOCUMENT.
- ALL HORIZONTAL CONTROL ON THIS PROJECT WAS ESTABLISHED UTILIZING RTK GPS METHODS.
- ELEVATIONS ON THIS PROJECT ARE BASED ON THE NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD83).

APPROVED BY DRAINAGE DISTRICT:

HIDALGO COUNTY DRAINAGE DISTRICT No. 1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER THE TEXAS WATER CODE 49.211(C). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER AND HIS ENGINEER TO MAKE THEIR DETERMINATIONS.

HIDALGO COUNTY DRAINAGE DISTRICT No. 1

RAUL E. SESIN, P.E.
GENERAL MANAGER

PLANNING & ZONING COMMISSION CERTIFICATION

THIS PLAN OF FRESNO HEIGHTS SUBDIVISION HAS BEEN SUBMITTED TO AND CONSIDERED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF EDINBURG, TEXAS AND IS HERE BY APPROVED BY SUCH COMMISSION.

DATE THIS ____ DAY OF ____ 20__

CHAIRPERSON-PLANNING AND ZONING COMMISSION

HIDALGO COUNTY CERTIFICATE OF PLAT APPROVAL

I, THE UNDERSIGNED, CERTIFY THAT THIS PLAN OF FRESNO HEIGHTS SUBDIVISION WAS REVIEWED AND APPROVED BY THE HIDALGO COUNTY HEALTH DEPARTMENT ON ____

HIDALGO COUNTY ENVIRONMENTAL HEALTH DIVISION MANAGER

HIDALGO COUNTY IRRIGATION DISTRICT No. 1

THIS PLAN IS HEREBY APPROVED BY HIDALGO COUNTY IRRIGATION DISTRICT No. 1 ON THIS, THE ____ DAY OF ____ 20__

HIDALGO COUNTY IRRIGATION DISTRICT NO. ONE WILL NOT BE RESPONSIBLE FOR DRAINAGE OR DELIVERY OF WATER TO ANY LOT IN THIS SUBDIVISION, ALSO THERE WILL NOT BE ANY PERMANENT STRUCTURES ON THE DISTRICT RIGHT-OF-WAYS AND/OR EASEMENTS.

NO IMPROVEMENTS OF ANY KIND SHALL BE PLACED UPON THE HIDALGO COUNTY IRRIGATION DISTRICT NO. 1 RIGHT-OF-WAYS OR EASEMENTS WITHOUT THE WRITTEN PERMISSION OF HOD#1.

PRESIDENT SECRETARY

GENERAL NOTES:

- THE PROPERTY SHOWN HEREON LIES WITHIN THE CITY OF EDINBURG, TEXAS CITY LIMITS.
- THE PROPERTY IS ZONED: NC-7, NEIGHBORHOOD CONSERVATION.
- THE MINIMUM BUILDING SETBACK LINES SHALL BE AS FOLLOWS:
FRONT SETBACK: 25 FT.
SIDE SETBACK: 7 FT.
REAR SETBACK: 25 FT.
OR EASEMENT; WHICHEVER IS GREATER FOR ALL CASES.
- THIS SUBDIVISION IS IN ZONE "X"
AREAS DETERMINED TO BE OUTSIDE OF 500-YEAR FLOOD PLAN.
COMMUNITY-PANEL NUMBER 480338 0030 E
MAP REVISED: JUNE 6, 2000
- BENCHMARK: FOUND COTTON PICKER SPINDLE WITH ELEVATION 104.18 FEET
N16632157.2609, E1078755.1973
- NO MORE THAN ONE SINGLE-FAMILY DETACHED DWELLING SHALL BE LOCATED ON EACH LOT. THIS MUST BE STIPULATED ON ALL DEEDS AND CONTRACTS FOR DEEDS. APPLICATIONS FOR CONSTRUCTION ARE REQUIRED PRIOR TO OCCUPYING THE LOT.
- MINIMUM FINISH FLOOR ELEVATION SHALL BE 24" ABOVE TOP OF CURB OR CENTER OF ROAD, MEASURED AT FRONT OF LOT, WHICHEVER IS GREATER.
- ALL LOTS SHALL HAVE A POST DEVELOPMENT FINISH GRADE FROM THE REAR OF THE LOT TO THE CURB AT A 1.0% MINIMUM SLOPE TO PROVIDE POSITIVE DRAINAGE.
- ALL LOT CORNERS ARE SET WITH 1/2 INCH IRON RODS.
- IN ACCORDANCE WITH THE HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 REQUIREMENTS, THIS DEVELOPMENT WILL BE REQUIRED TO DETAIN A TOTAL OF 0.875 AC-FT (38,117 CF) STORM WATER RUNOFF.
- THE DEVELOPER SHALL BE RESPONSIBLE TO DETAIN AND ACCOMMODATE MORE THAN THE DETAINED VOLUME SHOWN ON THIS PLAN IF IT IS DETERMINED, AT THE DEVELOPMENT STAGE, THAT THE DETENTION REQUIREMENTS ARE GREATER THAN STATED ON THIS PLAN, DUE TO THE IMPERVIOUS AREA BEING GREATER THAN THE PLAT ENGINEER CONSIDERED IN THE HYDRAULIC CALCULATIONS OF THIS SUBDIVISION.
- MAINTENANCE OF DETENTION AREAS ARE THE RESPONSIBILITY OF THE HOME OWNERS ASSOCIATION OR INDIVIDUAL LOT OWNER.
- NO PERMANENT STRUCTURES SHALL BE ALLOWED WITHIN EASEMENTS. EASEMENTS SHALL BE KEPT CLEAR OF BUILDINGS, SHEDS, SHRUBS, TREES, AND OTHER PLANTING (EXCEPT LOW, LESS THAN 18 INCHES MATURE HEIGHT, GROUND COVER, GRASS OR FLOWERS) AND OTHER OBSTRUCTIONS THAT WOULD INTERFERE WITH THE OPERATIONS AND MAINTENANCE OF THE EASEMENT.
- A 5 FOOT CONCRETE SIDEWALK WITH ADA RAMPS IS REQUIRED ALONG W. FREDDY GONZALEZ DR. DURING CONSTRUCTION BY THE DEVELOPER.
- A 5 FOOT CONCRETE SIDEWALK, 3 FEET BEHIND THE BACK OF CURB, WITH ADA RAMPS IS REQUIRED ON ALL INTERIOR STREETS AT BUILDING PERMIT STAGE BY LOT OWNER.
- ALL CONSTRUCTION SHALL COMPLY WITH STORM WATER POLLUTION PREVENTION PLAN (SW3P) REQUIREMENTS.
- PARKLAND FEE: 50% PARKLAND DEDICATION FEE DUE AT THE TIME OF CONSTRUCTION.
- LOT 901 IS DESIGNATED AS A GREENSPACE/DRAINAGE LOT.

COUNTY OF HIDALGO CERTIFICATE OF PLAT APPROVAL UNDER LOCAL GOVERNMENT CODE # 232.028(A)

WE, THE UNDER SIGNED CERTIFY THAT THIS PLAN OF FRESNO HEIGHTS SUBDIVISION WAS REVIEWED AND APPROVED BY THE HIDALGO COUNTY COMMISSIONER ON ____ 20__

ATTEST: HIDALGO COUNTY JUDGE DATE
HIDALGO COUNTY CLERK DATE

STATE OF TEXAS COUNTY OF HIDALGO

I, THE UNDERSIGNED, OWNER OF THE LAND SHOWN ON THIS PLAN, AND DESIGNATED AS FRESNO HEIGHTS SUBDIVISION DO HEREBY GRANT AN EASEMENT TO THE CITY OF EDINBURG, TEXAS, AND THOSE WHOSE MAY NOW OR HEREAFTER HOLD FRANCHISE UNDER SAID CITY, THE PRIVATE ACCESS, STREET LIGHTS, TRAFFIC CONTROL DEVICES, SIDEWALKS AND OTHER IMPROVEMENTS AND EASEMENTS, HEREON SHOWN, SURFACE USE OF THE STREET AND ALLEYS IS RESTRICTED TO THE EMPLOYEES OR AGENTS OF THE CITY OF EDINBURG, EMPLOYEES OF UTILITIES OPERATING UNDER FRANCHISE TO THE CITY OF EDINBURG AND RESIDENTS OF THE SUBDIVISION AND THEIR GUESTS.

OR INVEYSIONES LLC
MAURICIO CARBAJAL - MANAGING MEMBER
3910 W FREDDY GONZALEZ DR.
EDINBURG, TX 78539

STATE OF TEXAS COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, ON THIS DAY PERSONALLY APPEARED, MAURICIO CARBAJAL, PROVIDED TO ME THROUGH HIS/HER TEXAS DEPARTMENT OF PUBLIC SAFETY DRIVER LICENSE TO BE THE PERSONS WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, WHO BEING BY ME FIRST DULY SWORN, DECLARED THAT THE STATEMENTS THEREIN ARE TRUE AND CORRECT AND ACKNOWLEDGED THAT HE/SHE EXECUTED THE SAME FOR THE PURPOSE AND CONSIDERATION THEREBY EXPRESSED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS ____ DAY OF ____ 20__

NOTARY PUBLIC, HIDALGO COUNTY, TEXAS

FILED FOR RECORD IN HIDALGO COUNTY
ARTURO GUJARDO JR.
HIDALGO COUNTY CLERK

ON: ____ AT ____ AM/PM.

INSTRUMENT NUMBER
OF MAP RECORD OF HIDALGO COUNTY TEXAS.

BY: ____ DEPUTY.

PRINCIPAL CONTACTS:

NAME	ADDRESS	CITY & ZIP	PHONE	FAX
OWNER: MAURICIO CARBAJAL	3910 W FREDDY GONZALEZ DR.	EDINBURG, TX 78539	(956) XXX-XXXX	(000) 000-0000
ENGINEER: NADIA M. LOPEZ, P.E.	200 S. 10TH ST., SUITE 1500	McAlLEN, TX 78501	(956) 702-8880	(956) 702-8883
SURVEYOR: SAMUEL D. MALDONADO, R.P.L.S.	200 S. 10TH ST., SUITE 1500	McAlLEN, TX 78501	(956) 702-8880	(956) 702-8883

STATE OF TEXAS COUNTY OF HIDALGO

I, THE UNDERSIGNED, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THIS PLAN IS TRUE AND CORRECT, AND WAS MADE AND PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY DONE ON THE GROUND UNDER MY SUPERVISION.

SAMUEL D. MALDONADO, R.P.L.S. NO. 6027 DATE

STATE OF TEXAS COUNTY OF HIDALGO

I, THE UNDERSIGNED, A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAVE BEEN GIVEN TO THIS PLAN.

NADIA M. LOPEZ, PE NO. 111683 DATE

DATE OF PREPARATION: APRIL 2021

REGISTRATION # F-10602

SAMES SAM Engineering & Surveying, Inc.
200 S. 10TH ST. SUITE 1500. TEL. (956) 702-8880
McAlLEN, TEXAS 78501 FAX: (956) 702-8883

INDEX TO SHEETS OF FRESNO HEIGHTS SUBDIVISION

SHEET #	DESCRIPTION
SHEET 1	HEADING INDEX, LOCATION MAP, PRINCIPAL CONTACTS, PLAT WITH LOT AND EASEMENT DESIGNATIONS, LEGAL DESCRIPTION (METES AND BOUNDS), SURVEYORS AND ENGINEERS CERTIFICATION, PLAT NOTES AND RESTRICTIONS, OWNER'S DECLARATION, CERTIFICATION, AND ATTESTATION CITY OF APPROVAL, CERTIFICATE COUNTY CLERK'S RECORDING CERTIFICATE, HIDALGO COUNTY JUDGE CERTIFICATE OF PLAT APPROVAL, DESCRIPTION OF LOCATION OF SUBDIVISION WITH RESPECT OF A MUNICIPALITY AND DESIGNATE THE PRECINCT THE PROJECT IS SITUATED IN, H.C.B. No. 1 CERTIFICATION, H.C.IRRIGATION DISTRICT #1, AND H.C.H.D. REVISION NOTES.
SHEET 2 & 3	WATER DISTRIBUTION AND SANITARY SEWER MAP, TYPICAL WATER SERVICE CONNECTION, REVISION NOTES ENGINEERING REPORT ENGLISH AND SPANISH VERSIONS, INCLUDING DESCRIPTION OF WATER AND WASTE WATER AND ENGINEERS CERTIFICATION ENGLISH AND SPANISH VERSIONS, OWNER'S DECLARATION, CERTIFICATION, AND ATTESTATION, WATER DISTRIBUTION AND SANITARY SEWER MAP, TYPICAL WATER SERVICE CONNECTION.
SHEET 4	DRAINAGE REPORT INCLUDING DESCRIPTION OF DRAINAGE AND HOW IT WILL SERVE THIS DEVELOPMENT, MAP OF TOPOGRAPHY AND DRAINAGE, AND ENGINEERS CERTIFICATION, REVISION NOTES, & CONSTRUCTION DETAILS.



Planning & Zoning Department
415 W. University Dr.
(956) 388-8202

SUBDIVISION APPLICATION

- 1. Nature of Request (circle one or more):
(x) Preliminary Plat () Final Plat () Amended Plat
() Development Plat () Vacating Plat () Minor Plat
() Concept Plan () 3 1/2 Mile E.T.J. Plat () Re-Plat
2. Exact name of proposed subdivision: Fresno Heights Subdivision
3. Legal Description: TEX-MEX SURVEY LT10-W313.62'-W724'-N454.5'-LT1& W336.22'-W724'-288.4'-LT3 R/S LT10 BLK 278
4. Zoning: Present: CN-COMMERCIAL NEIGHBORHOOD Required: NC-7
5. Inside city limits? () Yes (x) No
If outside, is the proposed subdivision within the: (Circle one)
() Comprehensive Development Area () Rural Development Area
6. Primary consulting firm: SAMES, Inc.
Email: alex@samengineering-surveying.com
Phone: 956-702-8880 Address: 200 S 10th St Ste 1500 McAllen, TX 78501
7. Proposed method of liquid waste disposal:
(x) Sanitary Sewer () OSSF - On-Site Sewage Facility
8. Desired land use options:
(x) Single Family () Twin House () Patio Homes () Townhouse
() Lot-Line House () Village House () Duplex () Atrium
() Multiplex () Multi-Family () Duplex Townhouse () Roof Deck
() Mobile Homes () Manufactured Home () Commercial () Industrial
9. Number of lots: 20
Residential: 20 Commercial: Multi-Family: Industrial:
10. Electric power and light company to serve the proposed subdivision (circle one):
(x) AEP (Central Power & Light) () Magic Valley Electric Co-op
11. Irrigation District:
(x) Hidalgo County Irrigation District No. 1 () Santa Cruz Irrigation District No. 15
() Hidalgo County Irrigation District No. 2 () Other:



ENGINEERING DEPARTMENT

Preliminary Staff Review

April 29, 2021

Nadia M. Lopez, P.E.

SAMES, inc.
200 S. 10th St. Suite 1500.
McAllen, TX 78501
(956) 702-8880

RE: FRESNO HEIGHTS SUBDIVISION – PRELIMINARY REVIEW

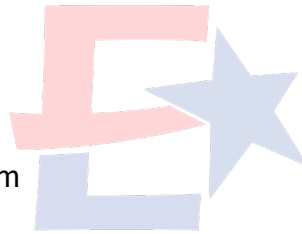
Ms. Lopez,

Attached are the Preliminary Phase Submittal comments for Fresno Heights Subdivision.

Any questions feel free to contact us.

Thanks,

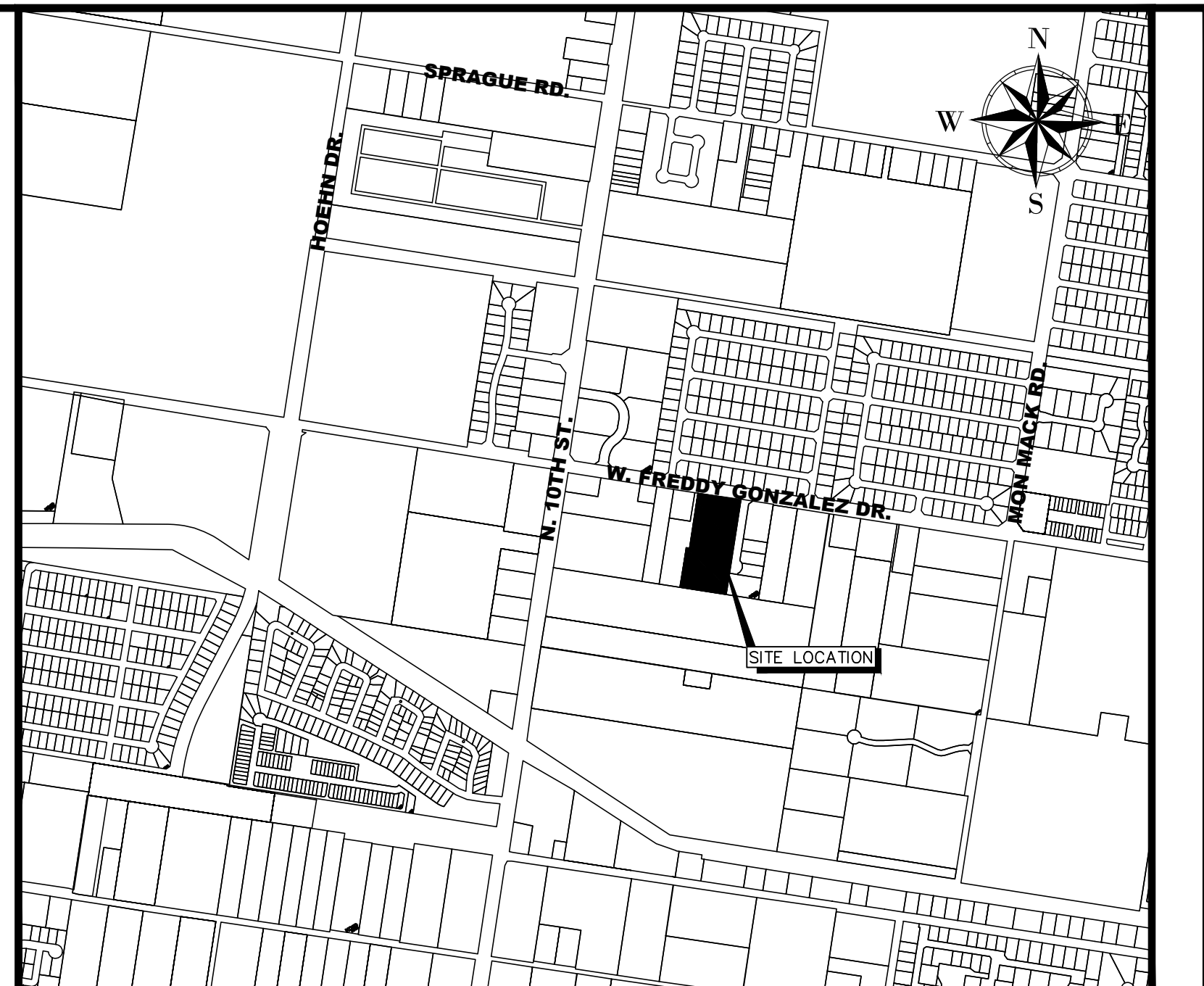
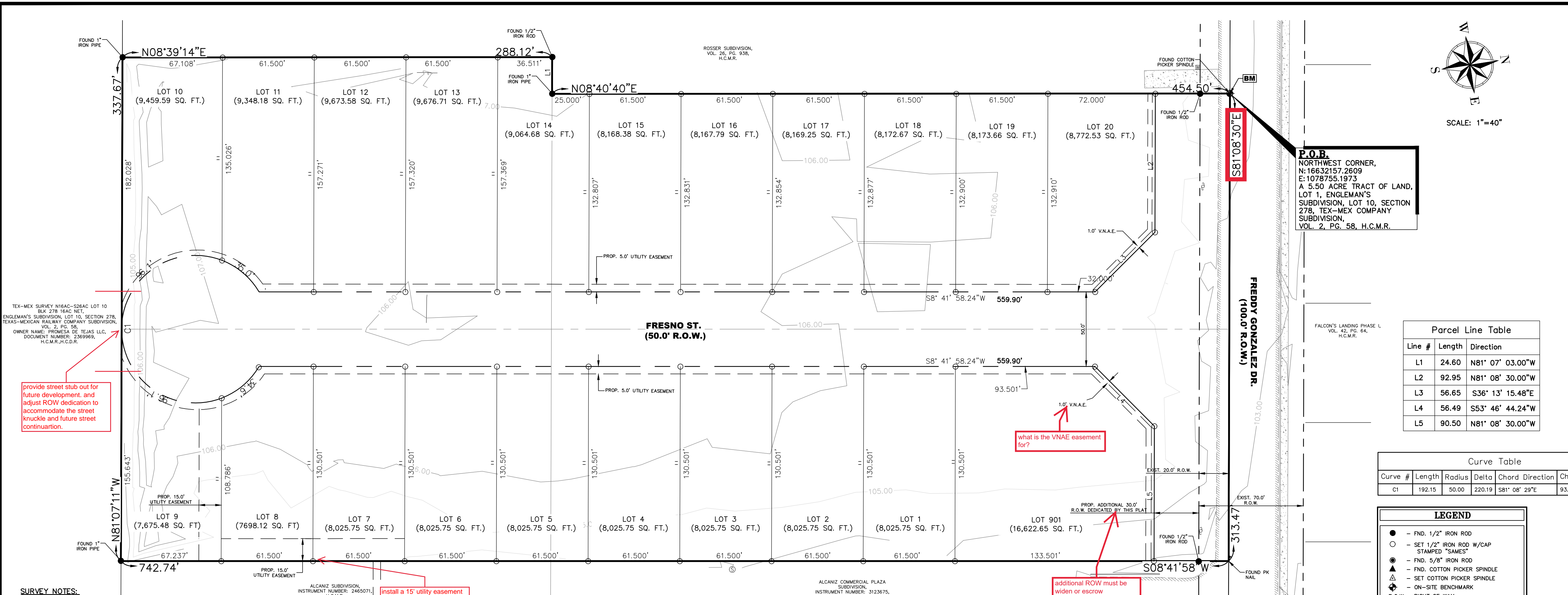
Peter Hermida., E.I.T.
Email: phermida@cityofedinburg.com
415 W. University Drive
Edinburg, Texas 78539



Cc: Mardoqueo Hinojosa, P.E., CFM, City Engineer, Patrizia Longoria, Engineer III, Abel Beltran, Subdivision Coordinator, Vince Romero, Director of Public Works, Robert Valenzuela, Storm Water Specialist, Kimberly Mendoza, Director of Planning and Zoning, Rita Guerrero, Urban Planner, Jessica Ramirez, Urban Planner, Arturo Martinez, Director of Utilities, Jose Flores, Systems Superintendent, Omar Garza, Fire Marshal

REFERENCES:

City of Edinburg – 2014 Standard Manual – Construction and Development Requirements;
Unified Development Code; and if required a TX-Dot Permitting UIR permitting process.



Line #	Length	Direction
L1	24.60	N81° 07' 03.00"W
L2	92.95	N81° 08' 30.00"W
L3	56.65	S36° 13' 15.48"E
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Curve #	Length	Radius	Delta	Chord Direction	Chord Length
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●	- FND. 1/2" IRON ROD
○	- SET 1/2" IRON ROD W/CAP STAMPED "SAMES"
▲	- FND. 5/8" IRON ROD
●	- FND. COTTON PICKER SPINDLE
△	- SET COTTON PICKER SPINDLE
⊕	- ON-SITE BENCHMARK
→	- R.O.W. - RIGHT OF WAY
—	- FND. - FOUND
H.C.M.R.	- HIDALGO COUNTY MAP RECORDS
H.C.D.R.	- HIDALGO COUNTY DEED RECORDS
P.O.B.	- POINT OF BEGINNING
V.N.A.E.	- VEHICULAR NON-ACCESS EASEMENT

SURVEY NOTES:

- BEARINGS SHOWN BASED ON TEXAS-MEXICAN RAILWAY COMPANY SUBDIVISION, AS PER MAP RECORDED IN VOLUME 2, PAGE 58, MAP
- Verify Metes & Bounds.
- Provide 15' UE around the perimeter of this project.
- Provide Drainage Areas Layout, Storm Water Layout, Erosion Control Layout, Provide Paving & Grading Layout, and Street Light Layout.
- All materials shall be domestic.
- All pipes shall have a minimum cover of 3'.
- All ring and covers shall be 32" in diameter and the covers shall have the City of Edinburg logo.
- Any public infrastructure that corresponds to the city of edinburg CCN or is installed within City of Edinburg ROW will be required to pass density testing. A 3% material testing fee will be needed.
- Submit Trip Generation Worksheet (attached at the end of this document).

APPROVED BY DRAINAGE DISTRICT:

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER THE TEXAS WATER CODE 49.211(C). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER AND HIS ENGINEER TO MAKE THEIR DETERMINATIONS.

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1

RAUL E. SESIN, P.E. DATE
GENERAL MANAGER

PLANNING & ZONING COMMISSION CERTIFICATION

THIS PLAT OF FRESNO HEIGHTS SUBDIVISION HAS BEEN SUBMITTED TO AND CONSIDERED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF EDINBURG, TEXAS AND IS HERE BY APPROVED BY SUCH COMMISSION.

DATE THIS ____ DAY OF _____

CHAIRPERSON-PLANNING AND ZONING COMMISSION

HIDALGO COUNTY CERTIFICATE OF PLAT APPROVAL

I, THE UNDERSIGNED, CERTIFY THAT THIS PLAT OF FRESNO HEIGHTS SUBDIVISION WAS REVIEWED AND APPROVED BY THE HIDALGO COUNTY HEALTH DEPARTMENT ON _____

HIDALGO COUNTY ENVIRONMENTAL HEALTH DIVISION MANAGER DATE

HIDALGO COUNTY IRRIGATION DISTRICT No. 1

THIS PLAT IS HEREBY APPROVED BY HIDALGO COUNTY IRRIGATION DISTRICT NO. 1 ON THIS, THE ____ DAY OF _____, 20__.

HIDALGO COUNTY IRRIGATION DISTRICT NO. 1 ONE WILL NOT BE RESPONSIBLE FOR DRAINAGE OR DELIVERY OF WATER TO ANY LOT IN THIS SUBDIVISION. ALSO THERE WILL NOT BE ANY PERMANENT STRUCTURES ON THE DISTRICT RIGHT-OF-WAY AND/OR EASEMENTS.

NO IMPROVEMENTS OF ANY KIND SHALL BE PLACED UPON THE HIDALGO COUNTY IRRIGATION DISTRICT NO. 1 RIGHT-OF-WAYS OR EASEMENTS WITHOUT THE WRITTEN PERMISSION OF HCD#1.

PRESIDENT SECRETARY

FILED FOR RECORD IN HIDALGO COUNTY
ARTURO GUAJARDO JR.
HIDALGO COUNTY CLERK

ON: _____ AT _____ AM/PM.

INSTRUMENT NUMBER _____
OF MAP RECORD OF HIDALGO COUNTY TEXAS.

BY: _____ DEPUTY.

GENERAL NOTES:

- THE PROPERTY SHOWN HEREON LIES WITHIN THE CITY OF EDINBURG, TEXAS CITY LIMITS.
- THE PROPERTY IS ZONED: NC-7, NEIGHBORHOOD CONSERVATION.
- THE MINIMUM BUILDING SETBACK LINES SHALL BE AS FOLLOWS:
FRONT SETBACK: 25 FT.
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REAR SETBACK: 25 FT.
OR EASEMENT; WHICHEVER IS GREATER FOR ALL CASES.
- THIS SUBDIVISION IS IN ZONE "X" AREAS DETERMINED TO BE OUTSIDE OF 500-YEAR FLOOD PLAIN.
COMMUNITY-PANEL NUMBER 480338 0030 E
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- ALL LOT CORNERS ARE SET WITH 1/2 INCH IRON RODS.
- IN ACCORDANCE WITH THE HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 REQUIREMENTS, THIS DEVELOPMENT WILL BE REQUIRED TO DETAIN A TOTAL OF 0.875 AC-FT (38,117 CF) STORM WATER RUNOFF.
- THE DEVELOPER SHALL BE RESPONSIBLE TO DETAIN AND ACCOMMODATE MORE THAN THE DETAINED VOLUME SHOWN ON THIS PLAT IF IT IS DETERMINED, AT THE DEVELOPMENT STAGE, THAT THE DETENTION REQUIREMENTS ARE GREATER THAN STATED ON THIS PLAT, DUE TO THE IMPERVIOUS AREA BEING GREATER THAN THE PLAT ENGINEER CONSIDERED IN THE HYDRAULIC CALCULATIONS OF THIS SUBDIVISION.
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- PARKLAND FEE: 50% PARKLAND DEDICATION FEE DUE AT THE TIME OF CONSTRUCTION.
- LOT 901 IS DESIGNATED AS A GREENSPACE/DRAINAGE LOT.

Write "(Unshaded)" after Zone X.
Also include "Revised to Reflect LCMR dated May 14, 2001" below the Map Revised Date.

Update drainage report to match detention required and FEMA information.

WE THE UNDER SIGNED CERTIFY THAT THIS PLAT OF FRESNO HEIGHTS SUBDIVISION WAS REVIEWED AND APPROVED BY THE HIDALGO COUNTY COMMISSIONER ON _____, 20__.

ATTEST: HIDALGO COUNTY JUDGE DATE
HIDALGO COUNTY CLERK DATE

STATE OF TEXAS COUNTY OF HIDALGO

I, THE UNDERSIGNED, OWNER OF THE LAND SHOWN ON THIS PLAT, AND DESIGNATED AS FRESNO HEIGHTS SUBDIVISION DO HEREBY GRANT AN EASEMENT TO THE CITY OF EDINBURG, TEXAS, AND THOSE WHOSE MAY NOW OR HEREAFTER HOLD FRANCHISE UNDER SAID CITY, THE PRIVATE ACCESS, STREET LIGHTS, TRAFFIC CONTROL DEVICES, SIDEWALKS AND OTHER IMPROVEMENTS AND EASEMENTS, HEREON SHOWN, SURFACE USE OF THE STREET AND ALLEYS IS RESTRICTED TO THE EMPLOYEES OR AGENTS OF THE CITY OF EDINBURG, EMPLOYEES OF UTILITIES OPERATING UNDER FRANCHISE TO THE CITY OF EDINBURG AND RESIDENTS OF THE SUBDIVISION AND THEIR GUESTS.

GR INVERSIONES LLC
MAURICIO CARBAJAL - MANAGING MEMBER
3910 W FREDDY GONZALEZ DR.
EDINBURG, TX, 78539

STATE OF TEXAS COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, ON THIS DAY PERSONALLY APPEARED, MAURICIO CARBAJAL, PROVED TO ME THROUGH HIS/HER TEXAS DEPARTMENT OF PUBLIC SAFETY DRIVER LICENSE TO BE THE PERSONS WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, WHO, BEING BY ME FIRST DULY SWORN, DECLARED THAT THE STATEMENTS THEREIN ARE TRUE AND CORRECT AND ACKNOWLEDGED THAT HE/SHE EXECUTED THE SAME FOR THE PURPOSE AND CONSIDERATION THEREBY EXPRESSED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS ____ DAY OF _____, 20__.

NOTARY PUBLIC, HIDALGO COUNTY, TEXAS

STATE OF TEXAS COUNTY OF HIDALGO

I, THE UNDERSIGNED, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECT, AND WAS MADE AND PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY DONE ON THE GROUND UNDER MY SUPERVISION.

SAMUEL D. MALDONADO, R.P.L.S. NO. 6027 DATE

STATE OF TEXAS COUNTY OF HIDALGO

I, THE UNDERSIGNED, A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAVE BEEN GIVEN TO THIS PLAT.

NADIA M. LOPEZ, PE NO. 111683 DATE

THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF THE PUBLIC UNDER THE AUTHORITY OF SHAKEL & MALDONADO P.E. # 6027 ON 04/07/2021 IT IS NOT TO BE USED FOR ANY OTHER PURPOSES.

THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF THE PUBLIC UNDER THE AUTHORITY OF NADIA M. LOPEZ P.E. # 111683 ON 04/07/2021 IT IS NOT TO BE USED FOR ANY OTHER PURPOSES.

SHEET	DESCRIPTION
SHEET 1	HEADING, INDEX, LOCATION MAP, PRINCIPAL CONTACTS, PLAT WITH LOT AND EASEMENT DESIGNATIONS, LEGAL DESCRIPTION (METES AND BOUNDS), SURVEYOR'S AND ENGINEER'S CERTIFICATION PLAT NOTES AND RESTRICTIONS, OWNER'S DEDICATION, CERTIFICATION, AND ATTESTATION; CITY OF APPROVAL, CERTIFICATE; COUNTY CLERK'S RECORDING CERTIFICATE; HIDALGO COUNTY JUDGE CERTIFICATE OF PLAT APPROVAL; DESCRIPTION OF LOCATION OF SUBDIVISION WITH RESPECT OF A MUNICIPALITY AND DESIGNATE THE PRECINCT THE PROJECT IS SITUATED; H.C.D.D. NO. 1 CERTIFICATION; H.C.IRRIGATION DISTRICT #1, AND H.C.H.D. REVISION NOTES.
SHEET 2 & 3	WATER DISTRIBUTION AND SANITARY SEWER MAP; TYPICAL WATER SERVICE CONNECTION; REVISION NOTES; ENGINEERING REPORT (ENGLISH AND SPANISH VERSION); INCLUDING DESCRIPTION OF WATER AND WASTE WATER AND ENGINEER'S CERTIFICATION (ENGLISH AND SPANISH VERSION); OWNER'S DEDICATION, CERTIFICATION, AND ATTESTATION; WATER DISTRIBUTION AND SANITARY SEWER MAP; TYPICAL WATER SERVICE CONNECTION.
SHEET 4	DRAINAGE REPORT INCLUDING DESCRIPTION OF DRAINAGE AND HOW IT WILL SERVE THIS DEVELOPMENT; MAP OF TOPOGRAPHY AND DRAINAGE; AND ENGINEER'S CERTIFICATION; REVISION NOTES; & CONSTRUCTION DETAILS.

PRINCIPAL CONTACTS:

NAME	ADDRESS	CITY & ZIP	PHONE	FAX
OWNER: MAURICIO CARBAJAL	3910 W FREDDY GONZALEZ DR.	EDINBURG, TX, 78539	(956) XXX-XXXX	(000) 000-0000
ENGINEER: NADIA M. LOPEZ, P.E.	200 S. 10TH ST., SUITE 1500	McALLEN, TX 78501	(956) 702-8880	(956) 702-8883
SURVEYOR: SAMUEL D. MALDONADO, RPLS	200 S. 10TH ST., SUITE 1500	McALLEN, TX 78501	(956) 702-8880	(956) 702-8883

DATE OF PREPARATION: APRIL 2021 REGISTRATION # F-10602

200 S. 10TH ST. SUITE 1500. TEL: (956) 702-8880
McALLEN, TEXAS 78501 FAX: (956) 702-8883

**FRESNO HEIGHTS
 SUBDIVISION
 EDINBURG, TEXAS**

REVISIONS

REV.	DESCRIPTION	DATE

This drawing and the details on it are the sole property of the Engineer and may be used for this specific project only. It shall not be copied, reproduced, in whole or in part, or for any other purpose or project without the written consent of the Engineer.

THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF REVIEW UNDER THE AUTHORITY OF NADA M. LOPEZ, P.E. REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS ON 04/05/2022. IT IS NOT TO BE USED FOR ANY OTHER PURPOSE.

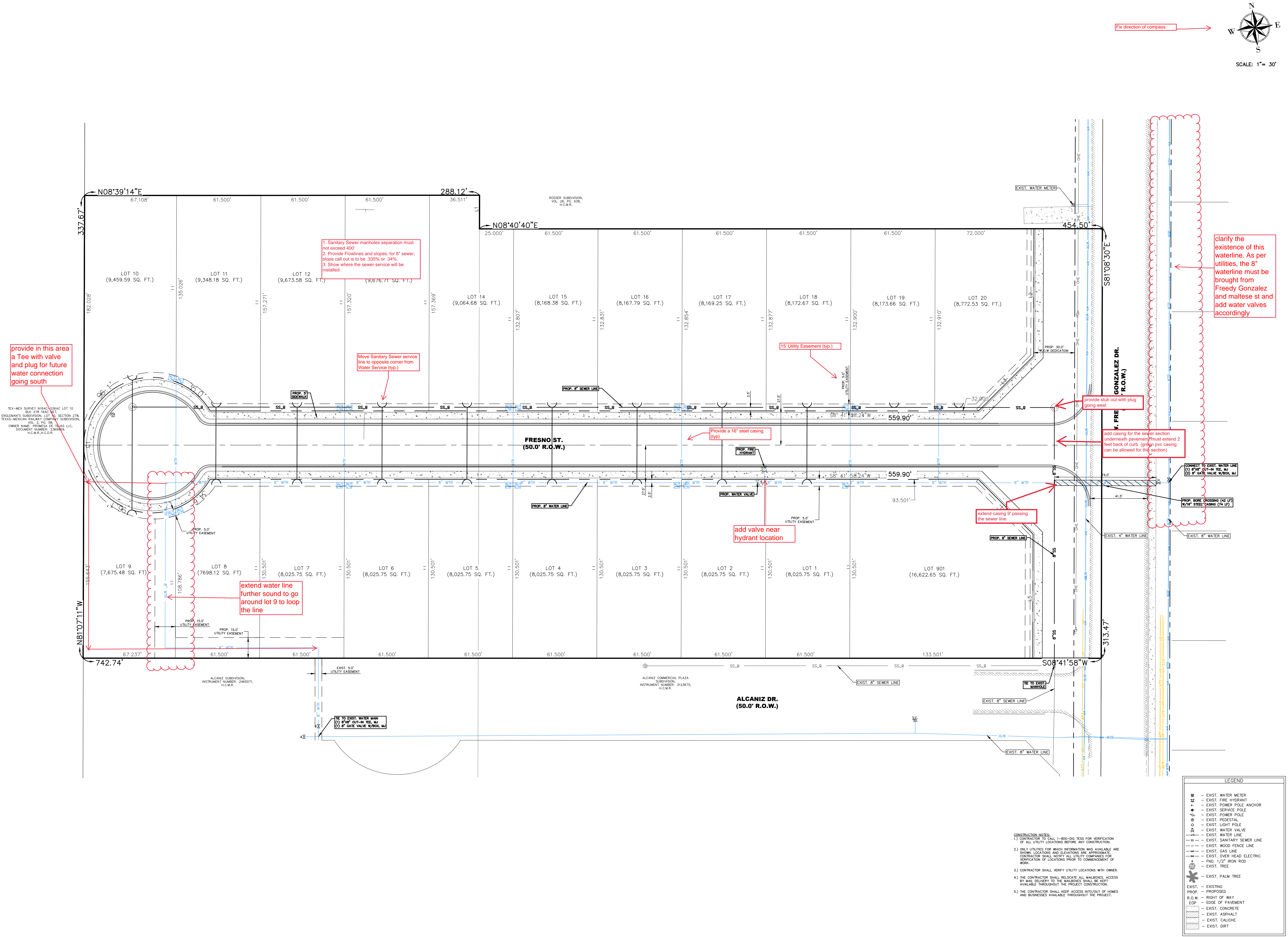
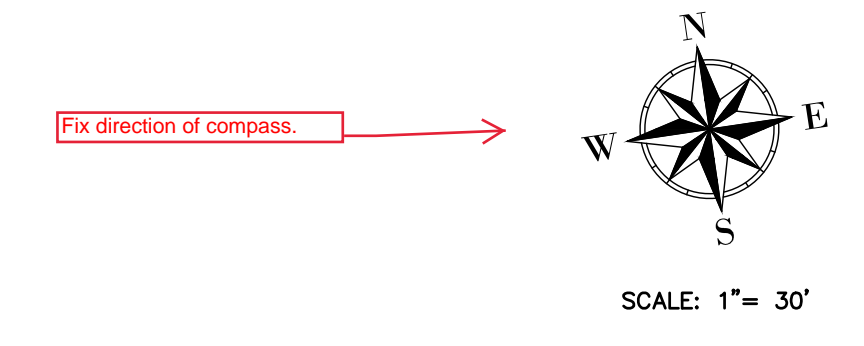
FOR REVIEW
 SAMES, INC.
 TEXAS REGISTERED ENGINEERING FIRM
 F-10802

The Professional Engineers seal affixed to this sheet applies only to the material and items shown on this sheet. All drawings, instruments or other documents not exhibiting this seal shall not be considered prepared by this Engineer, and this Engineer expressly disclaims any and all responsibility for such plan, drawings or documents not exhibiting this seal.

PROJ. NO.	SUB 21.002
DATE:	APRIL 2021
SCALE:	AS NOTED

SHEET NAME:
UTILITY LAYOUT

SHEET NUMBER:
02



provide in this area a Tee with valve and plug for future water connection going south

- Sanitary Sewer manholes separation must not exceed 400'
- Provide Flowlines and slopes for 8" sewer, slope call out is to be .33% or .34%
- Show where the sewer service will be installed.

Move Sanitary Sewer service line to opposite corner from Water Service (typ.)

15' Utility Easement (typ.)

Provide a 16" steel casing (typ.)

add valve near hydrant location

extend casing 9' passing the sewer line.

add casing for the sewer section underneath pavement must extend 2 feet back of curb. (grate over casing can be allowed for this section)

clarify the existence of this waterline. As per utilities, the 8" waterline must be brought from Freedy Gonzalez and maltese st and add water valves accordingly

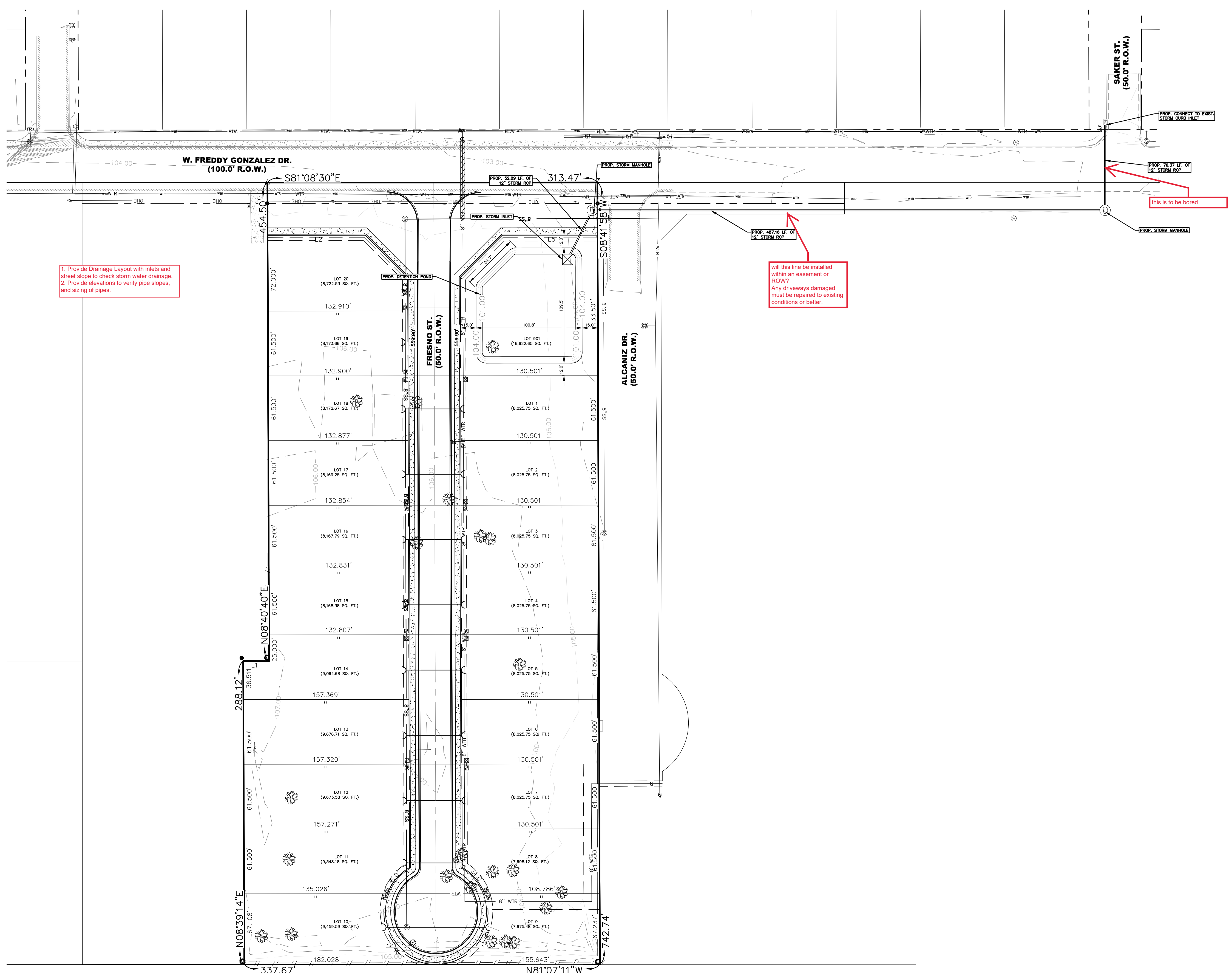
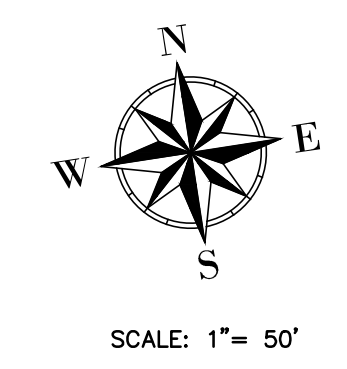
extend water line further sound to go around lot 9 to loop the line

- CONSTRUCTION NOTES:
- CONTRACTOR TO CALL 1-800-000-TESS FOR VERIFICATION OF ALL UTILITY LOCATIONS BEFORE ANY CONSTRUCTION.
 - ONLY UTILITIES FOR WHICH INFORMATION WAS AVAILABLE ARE SHOWN. LOCATIONS AND ELEVATIONS ARE APPROXIMATE. CONTRACTOR SHALL NOTIFY ALL UTILITY COMPANIES FOR VERIFICATION OF LOCATIONS PRIOR TO COMMENCEMENT OF WORK.
 - CONTRACTOR SHALL VERIFY UTILITY LOCATIONS WITH OWNER.
 - THE CONTRACTOR SHALL RELOCATE ALL MANHOLES ACCESS BY MAIL DELIVERY TO THE MANHOLES SHALL BE KEPT AVAILABLE THROUGHOUT THE PROJECT CONSTRUCTION.
 - THE CONTRACTOR SHALL KEEP ACCESS INTO/OUT OF HOMES AND BUSINESSES AVAILABLE THROUGHOUT THE PROJECT.

LEGEND

WM	EXIST. WATER METER
HY	EXIST. FIRE HYDRANT
PP	EXIST. POWER POLE ANCHOR
SP	EXIST. SERVICE POLE
PO	EXIST. POWER POLE
PE	EXIST. PEDESTAL
LV	EXIST. LIGHT POLE
WV	EXIST. WATER VALVE
WL	EXIST. WATER LINE
SSL	EXIST. SANITARY SEWER LINE
WFL	EXIST. WOOD FENCE LINE
GL	EXIST. GAS LINE
OE	EXIST. OVER HEAD ELECTRIC
IR	NO. 1/2" IRON ROD
TR	EXIST. TREE
PT	EXIST. PALM TREE
EX	EXISTING
PROP.	PROPOSED
R.O.W.	RIGHT OF WAY
EOP	EDGE OF PAVEMENT
CON	EXIST. CONCRETE
ASP	EXIST. ASPHALT
CAL	EXIST. CALICHE
DIR	EXIST. DIRT

FRESNO HEIGHTS SUBDIVISION DRAINAGE LAYOUT



1. Provide Drainage Layout with inlets and street slope to check storm water drainage.
2. Provide elevations to verify pipe slopes, and sizing of pipes.

Will this line be installed within an easement or ROW?
Any driveways damaged must be repaired to existing conditions or better.

- NOTE:**
- EXISTING STRUCTURED TO BE RELOCATED TO CLEAR NEW RIGHT OF WAY AND MEET SETBACK REQUIREMENTS.
 - NOTE TO CONTRACTOR, POSITIVE LOT GRADING MUST BE PROPERLY DONE BY CUT/FILL TO CREATE A POSITIVE SLOPE FROM BACK OF LOTS TO THE STREET AT A 0.25% SLOPE.
- ROAD SIDE DITCH FLOW

REVISED 04-01-2021
DRAINAGE REPORT FOR:
FRESNO HEIGHTS SUBDIVISION
UNDEVELOPED DRAINAGE PATTERN.

WITH REFERENCE OF USGS TOPOGRAPHIC MAP, WATERSHED RUNOFF IS IN THE NORTHEAST DIRECTION AND TRAVELS APPROXIMATELY 200 FEET OVERLAND THEN CONTINUES AS CONCENTRATED FLOW FOR APPROXIMATELY 545 FEET TO THE END OF THE PROPERTY REACHING APPROXIMATE ELEVATION OF 104 FEET. ACCORDING TO CALCULATIONS UTILIZING THE RAINFALL-RUNOFF MODEL - THE RATIONAL METHOD, THE EXISTING PEAK RUNOFF FROM A 10-YEAR STORM IS APPROXIMATED TO BE 6.88 CFS FOR THIS PROPERTY AS UNDEVELOPED.

PROPOSED USE AND DRAINAGE IMPROVEMENTS:

THE PROPOSED DEVELOPMENT ANTICIPATED ON THIS PROPERTY WILL INCLUDE 20 SINGLE-FAMILY RESIDENTIAL LOTS AND A GREENSPACE LOT WITH ONE INTERNAL PUBLIC ACCESS ROADWAY. THE REQUIRED HOME FINISH FLOOR IS TO BE 24 INCHES ABOVE THE ADJACENT FRESNO STREET CROWN. THE STORM RUNOFF GENERATED BY THE LOTS WILL BE CONVEYED TO THE PROPOSED INTERNAL STREET COMPRISED OF CURB AND GUTTER AND STORM DRAIN INLETS TO CAPTURE AND CONVEY THE STORMWATER RUNOFF TO A PROPOSED DETENTION POND ON-SITE. STORMWATER RUNOFF WILL THEN BE CONVEYED FROM THE PROPOSED DETENTION POND THROUGH A BLEEDER PIPE AND ULTIMATELY OUTFALL INTO A STORM CURB INLET LOCATED ON THE INTERSECTION OF W. FREDDY GONZALEZ DR. AND SAKER ST. AD OWNED BY THE CITY OF EDINBURG. THE ANTICIPATED INCREASE IN RUNOFF POST-DEVELOPMENT IS CALCULATED TO BE 20.13 CFS, WITH THE ANTICIPATED POST-DEVELOPMENT PEAK RUNOFF CALCULATED TO BE 27.01 CFS FOR A 50-YEAR STORM.

CALCULATIONS:

THIS DEVELOPMENT AND ITS SURROUNDING AREA ARE IN ZONE "X"(UNSHADED), ACCORDING TO FEMA'S FLOOD INSURANCE RATE MAP, COMMUNITY-PANEL NUMBER 480338 0300 E. MAP REVISED JUNE 06, 2000. SEE ATTACHED FEMA FIRM MAP WITH PROJECT LOCATION AND COMMUNITY PANEL FOR REFERENCE.

DETENTION TABLE	
TOTAL DETENTION REQ'D CALCULATIONS	24748.00 CU. FT.
ONSITE DETENTION PROVIDED	27883.37 CU. FT.

DRAINAGE REQUIREMENTS:

PROPOSED USE:	5.51-AC (GROSS), 5.36-AC (NET), RESIDENTIAL
CALCULATION METHOD:	RAINFALL-RUNOFF MODEL - THE RATIONAL METHOD
DESIGN STORM:	10-YR PRE/ 50-YR POST
PRE-DEVELOPMENT PEAK RUNOFF:	6.88 CFS
POST-DEVELOPMENT PEAK RUNOFF:	27.01 CFS
DETENTION REQUIREMENT:	0.568 AC-FT (24,748 CF)
OUTFALL LOCATION:	INTERSECTION OF W. FREDDY GONZALEZ DR. AND SAKER ST.

BY MY SIGNATURE BELOW, I CERTIFY THAT THIS SUBDIVISION LIES IN A "ZONE X" - AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOOD PLAIN.
COMMUNITY-PANEL NUMBER: 480338 0300 E
MAP REVISED: JUNE 06, 2000

PREPARED BY: NADIA M. LOPEZ, P.E. DATE

THIS DOCUMENT IS RELEASED FOR THE PURPOSES OF REVIEW UNDER THE AUTHORITY OF NADIA M. LOPEZ, P.E. ON 03/20/2021 IT IS NOT TO BE USED FOR ANY OTHER PURPOSES.

INDEX TO SHEETS OF FRESNO HEIGHTS SUBDIVISION

SHEET	DESCRIPTION
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NO.	SHEET	REVISION	DATE	APPROVED

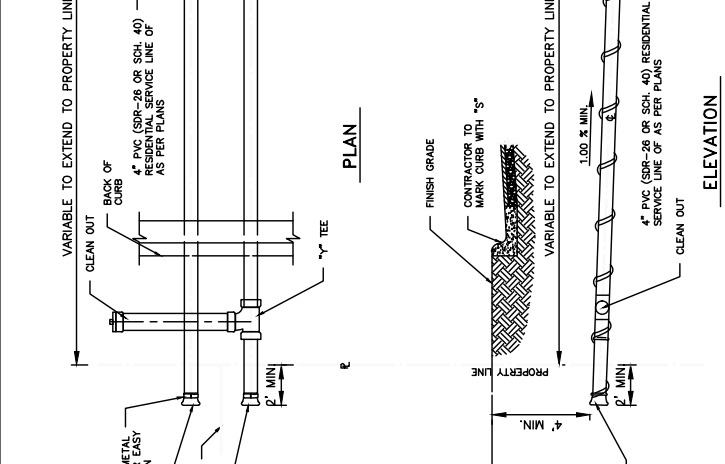
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ENGINEER: NADIA M. LOPEZ, P.E.	200 S. 10TH ST., SUITE 1500	McALLEN, TX 78501	(956) 702-8880	(956) 702-8883
SURVEYOR: SAMUEL D. MALDONADO, RPLS	200 S. 10TH ST., SUITE 1500	McALLEN, TX 78501	(956) 702-8880	(956) 702-8883

DATE OF PREPARATION: APRIL 2021 REGISTRATION # F-10602

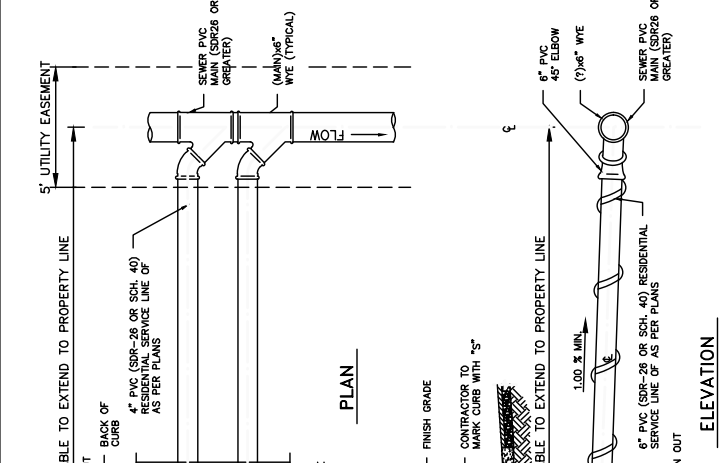
SAMES SAM Engineering & Surveying, Inc.

200 S. 10TH ST. SUITE 1500. TEL. (956) 702-8880
McALLEN, TEXAS 78501 FAX: (956) 702-8883



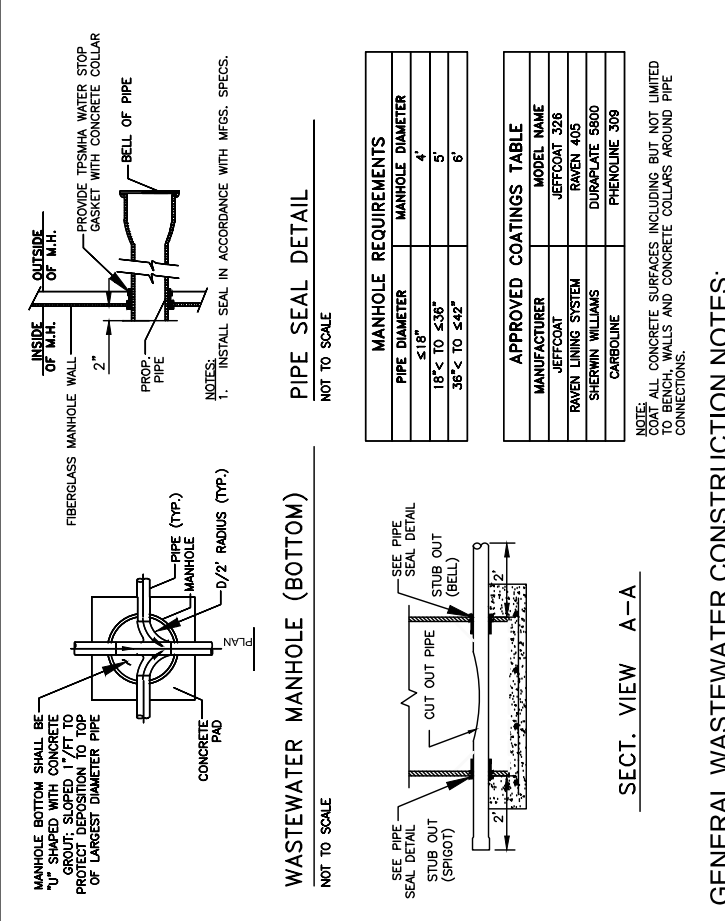
S-1 TYPICAL RESIDENTIAL SEWER SERVICE DETAIL (RESIDENTIAL AND COMMERICAL)

NOTE: SEE DETAIL S-4 FOR BACKFILL REQUIREMENTS.



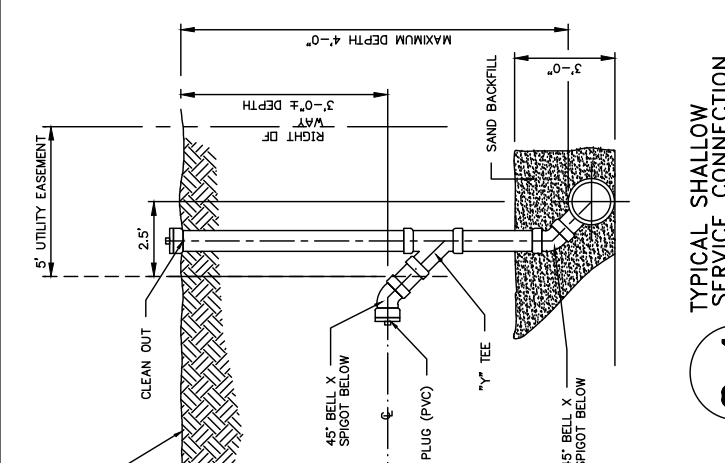
S-2 TYPICAL MULTIFAMILY AND COMMERCIAL SEWER SERVICE DETAIL (MULTIFAMILY AND COMMERICAL)

NOTE: SEE DETAIL S-4 FOR BACKFILL REQUIREMENTS.



S-3(A) MONOLITHIC FIBERGLASS MANHOLE DETAILS

NOTE: SEE DETAIL S-4 FOR BACKFILL REQUIREMENTS.

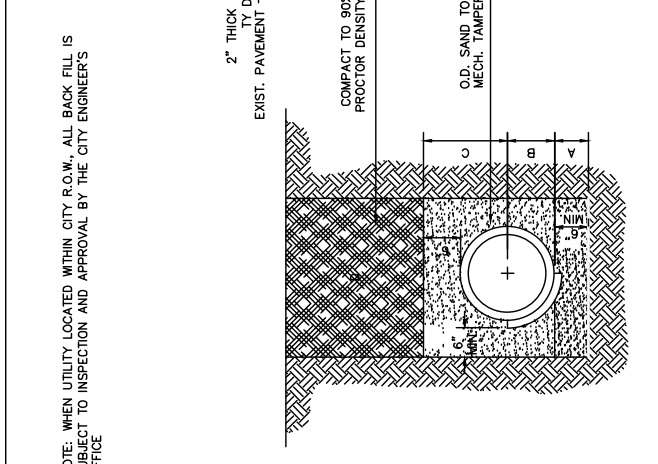


S-4 TYPICAL SHALLOW SERVICE CONNECTION

NOTE: SEE DETAIL S-4 FOR BACKFILL REQUIREMENTS.

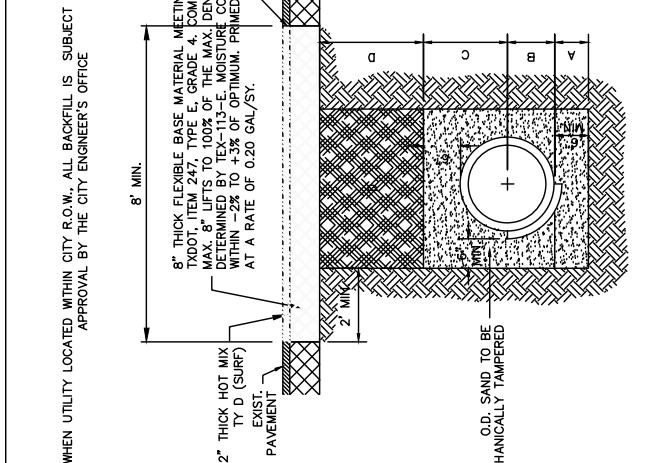
GENERAL WASTEWATER CONSTRUCTION NOTES:

- MANHOLE, RECEPTACLE, AND MULTI-TANK COLLECTING, STORAGE AND TREATMENT, TRENCHES SHALL BE CONSTRUCTED TO THE DEPTH AND WIDTH SPECIFIED ON THE DRAWINGS. IMPROVEMENTS TO THE EXISTING SYSTEMS SHALL BE MADE TO BRING THEM UP TO THE STANDARD OF ALL THE CONDITIONS AND CONDITIONS OF THE CONTRACT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF EDINBURG. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF EDINBURG. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF EDINBURG.



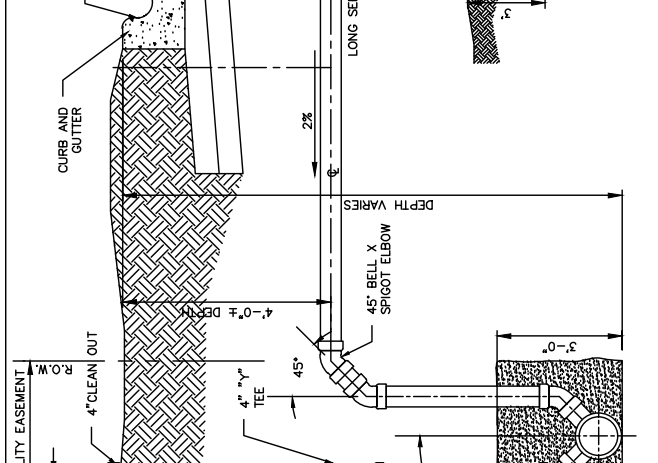
S-5 STANDARD PIPE BEDDING (MAIN ONLY)

APPLICABLE UNDER FUTURE/CONCRETE STREETS.

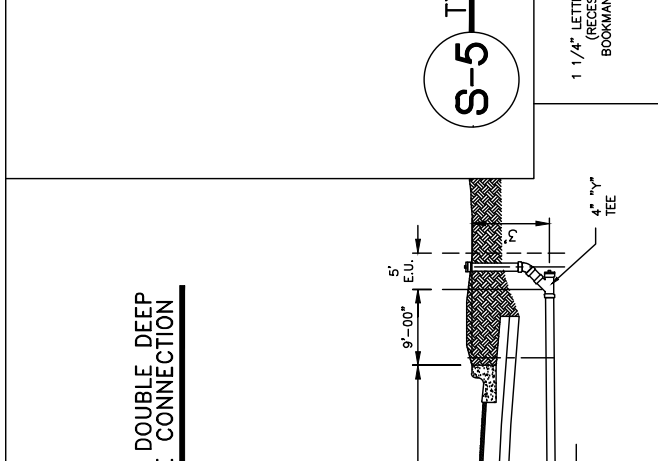


S-6 STANDARD PIPE BEDDING (MAIN & SERVICE LATERALS)

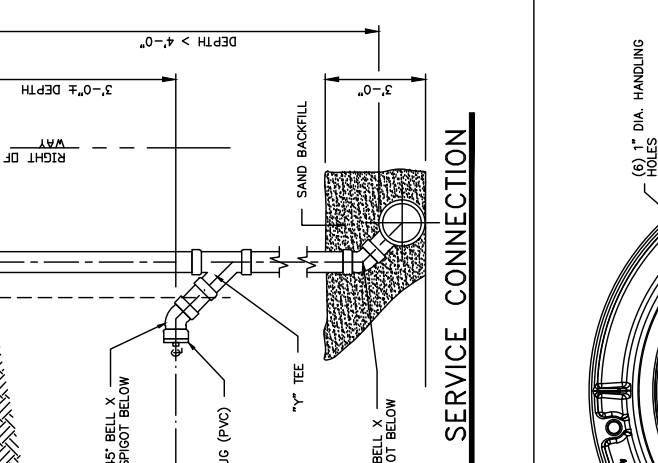
UNDER EXISTING/ACTIVE STREET CROSSINGS.



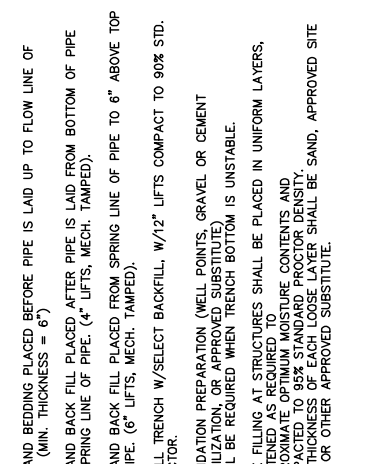
S-7 TYPICAL DOUBLE DEEP SERVICE CONNECTION



S-8 TYPICAL DEEP SERVICE CONNECTION

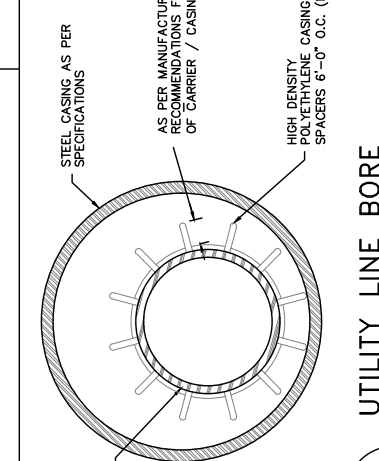


S-12 CITY STANDARD ROADWAY MANHOLE RING AND COVER CASTING DETAIL

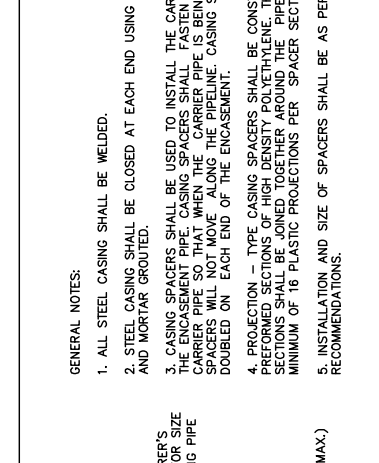


S-7 SEWER STANDARD PIPE BEDDING

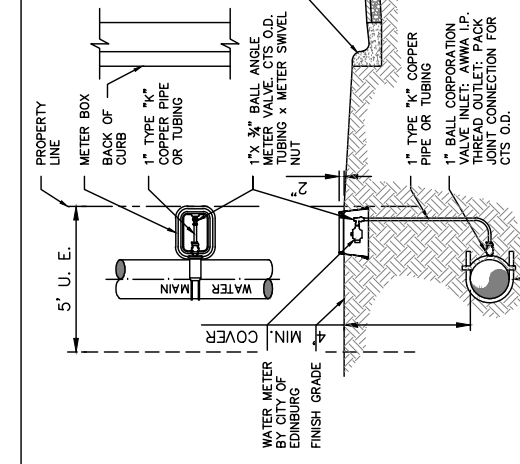
MANHOLE, RECEPTACLE, AND MULTI-TANK COLLECTING, STORAGE AND TREATMENT, TRENCHES SHALL BE CONSTRUCTED TO THE DEPTH AND WIDTH SPECIFIED ON THE DRAWINGS. IMPROVEMENTS TO THE EXISTING SYSTEMS SHALL BE MADE TO BRING THEM UP TO THE STANDARD OF ALL THE CONDITIONS AND CONDITIONS OF THE CONTRACT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE CITY OF EDINBURG.



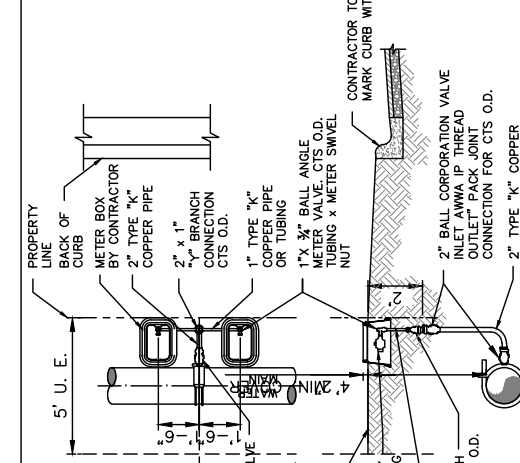
S-9 UTILITY LINE BORE



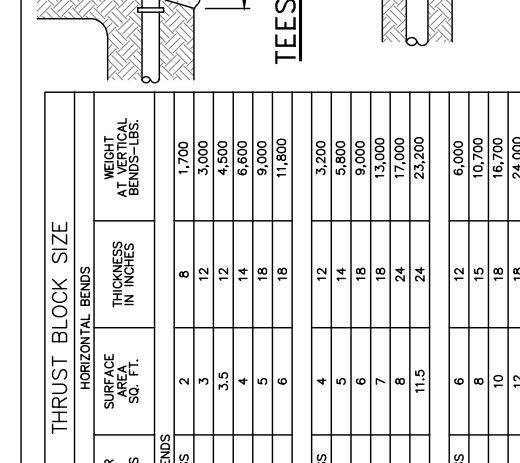
S-8 UTILITY CROSSING AT EXIST/ACTIVE STREET DETAIL (WATER/SEWER)



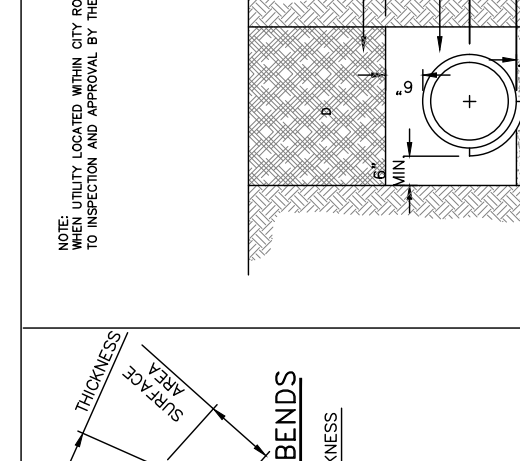
W-1 TYPICAL SINGLE WATER SERVICE CONNECTION



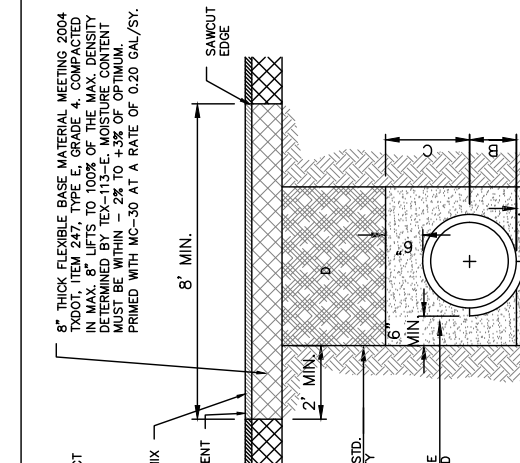
W-2 TYPICAL DOUBLE WATER SERVICE CONNECTION



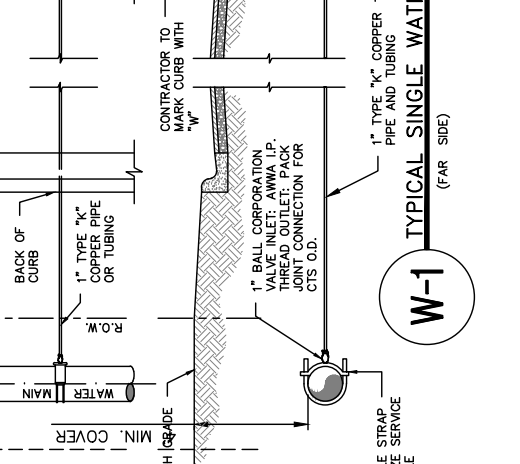
W-5 THRUST BLOCKS DETAILS



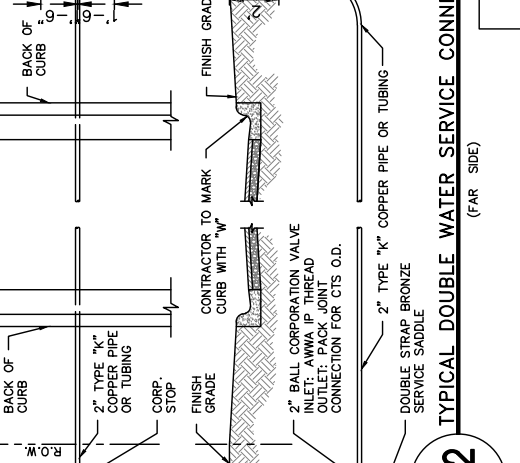
W-6 STANDARD PIPE BEDDING (MAIN & SERVICE LATERALS)



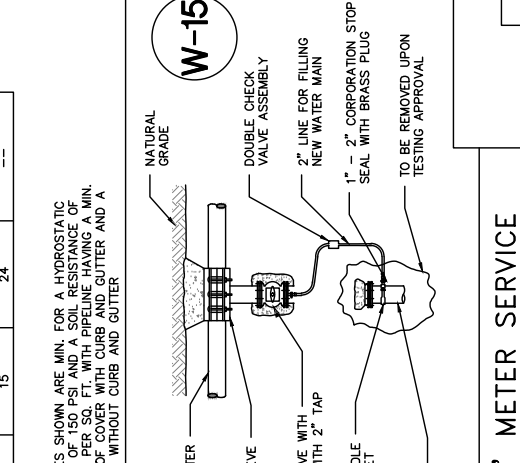
W-7 STANDARD PIPE BEDDING (MAIN ONLY)



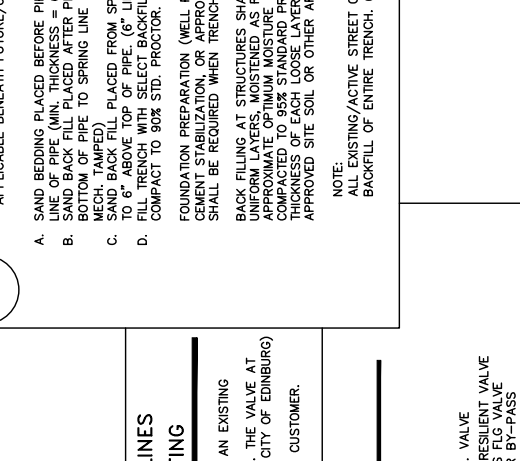
W-6 WATERLINE CROSSING UNDER SEWER LINE



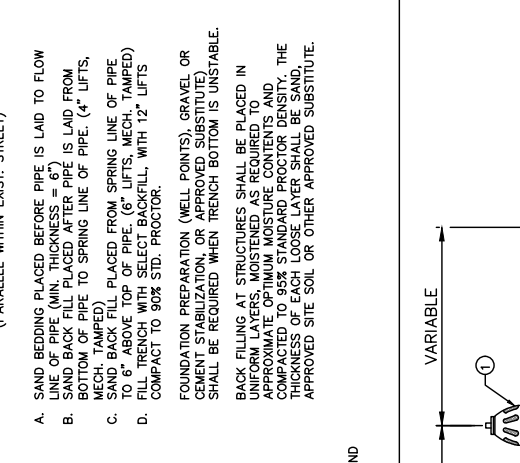
W-6 WATERLINE CROSSING OVER SEWER LINE



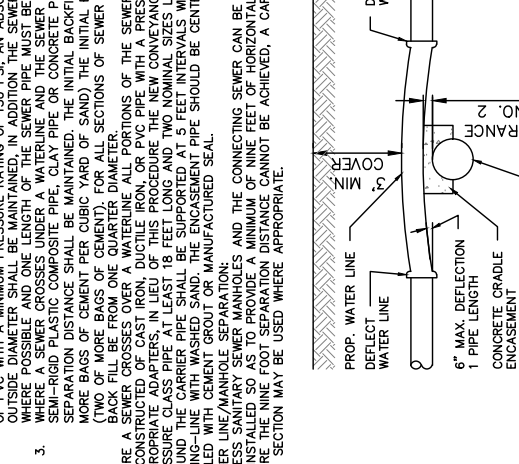
W-10 FLUSH VALVE



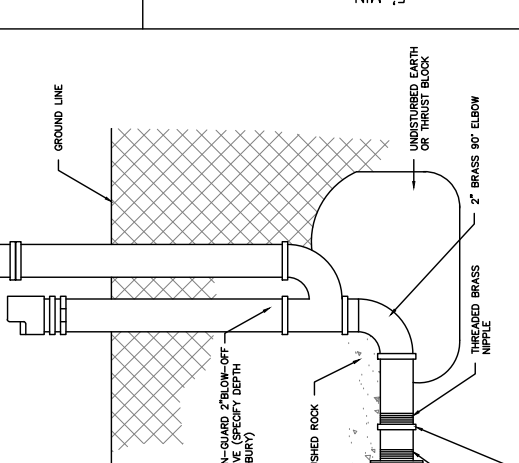
W-3 2" METER SERVICE



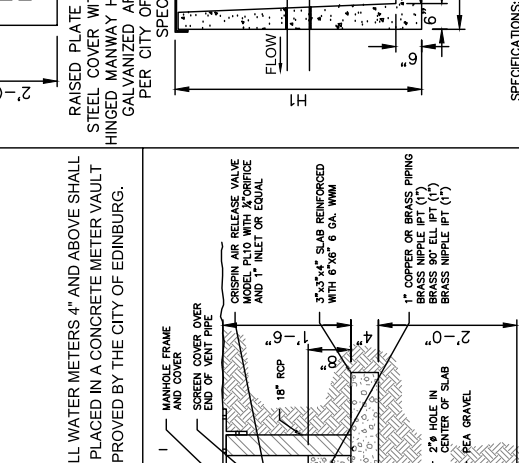
W-7 STANDARD FIRE HYDRANT INSTALLATION



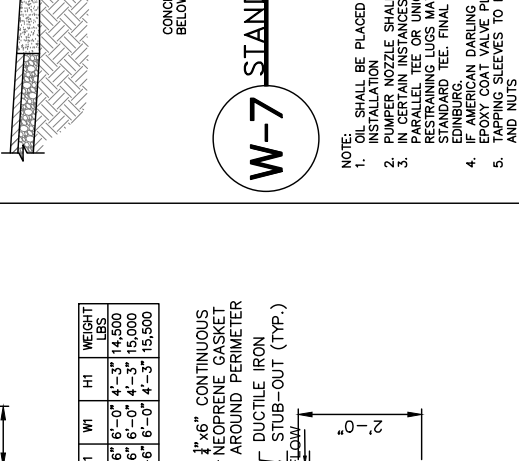
W-6 WATERLINE CROSSING UNDER SEWER LINE



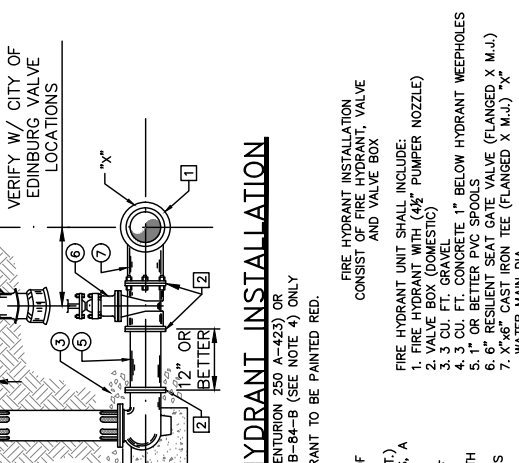
W-6 WATERLINE CROSSING OVER SEWER LINE



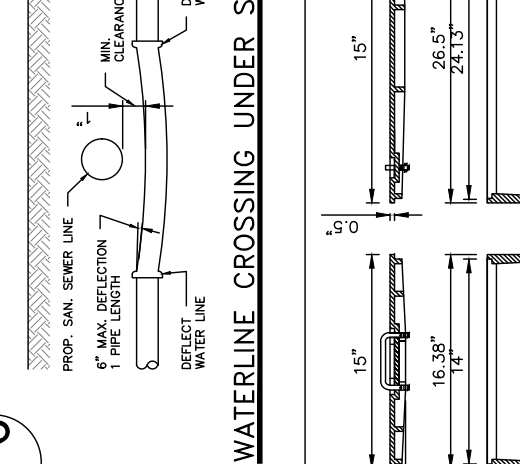
W-9 TYPICAL AIR RELEASE VALVE INSTALLATION DETAIL



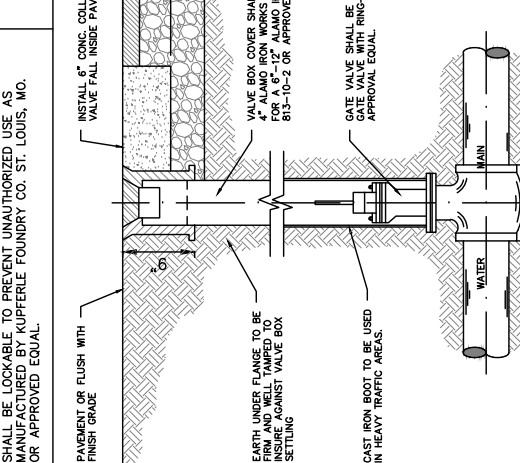
W-5 VERTICAL BENDS, HYDRANT BURIES, TEES & DEAD ENDS, HORIZONTAL BENDS



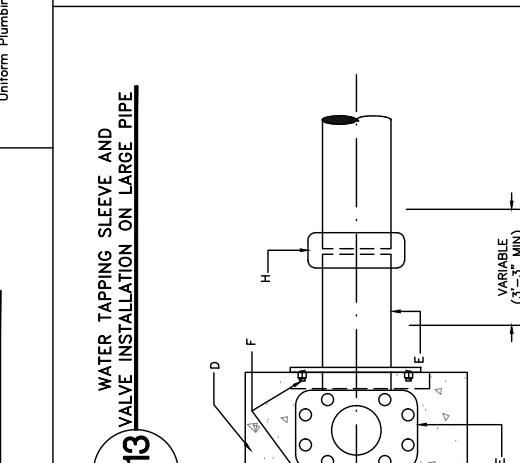
W-7 STANDARD FIRE HYDRANT INSTALLATION



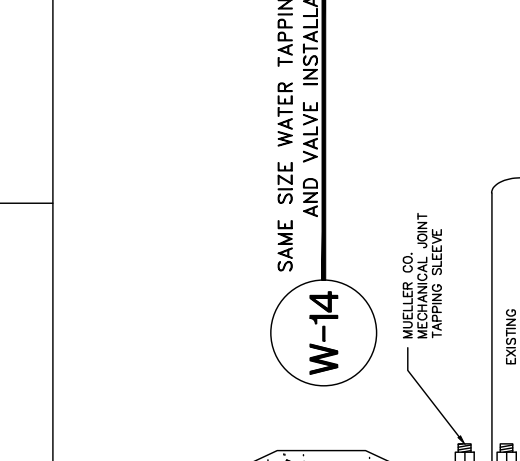
W-6 WATERLINE CROSSING UNDER SEWER LINE



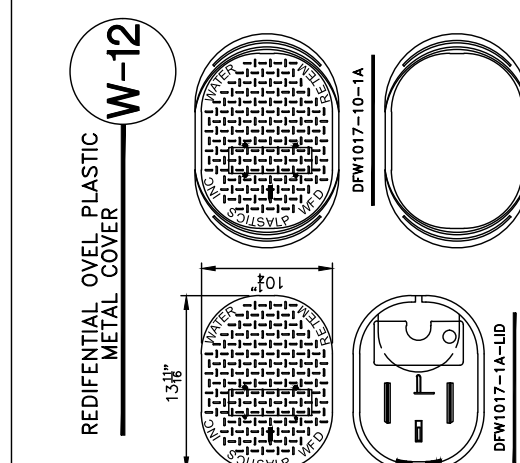
W-6 WATERLINE CROSSING OVER SEWER LINE



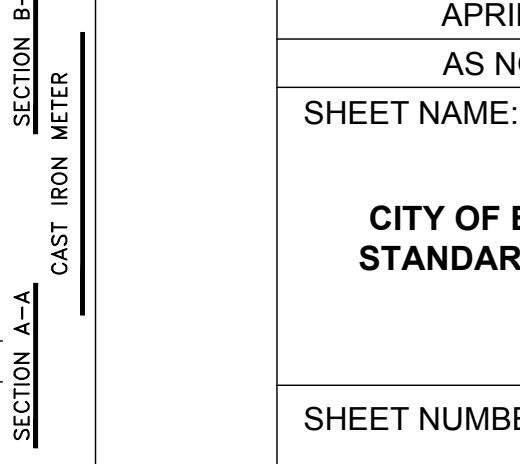
W-9 TYPICAL AIR RELEASE VALVE INSTALLATION DETAIL



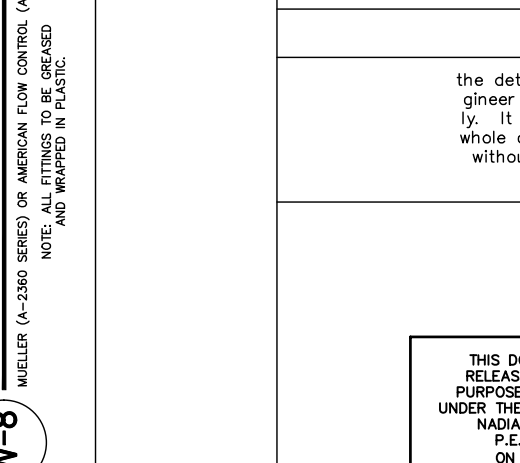
W-14 TYPICAL WATER TAPPING SLEEVE AND VALVE INSTALLATION



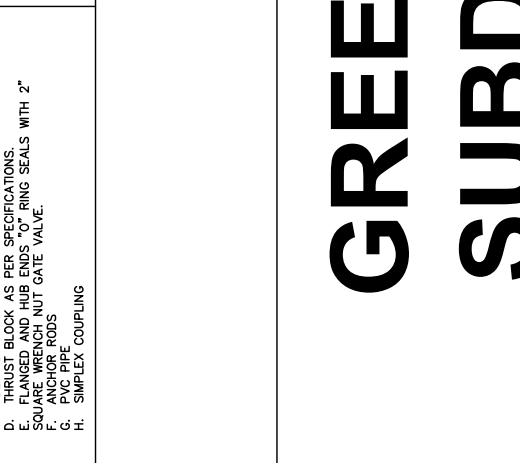
W-7 STANDARD FIRE HYDRANT INSTALLATION



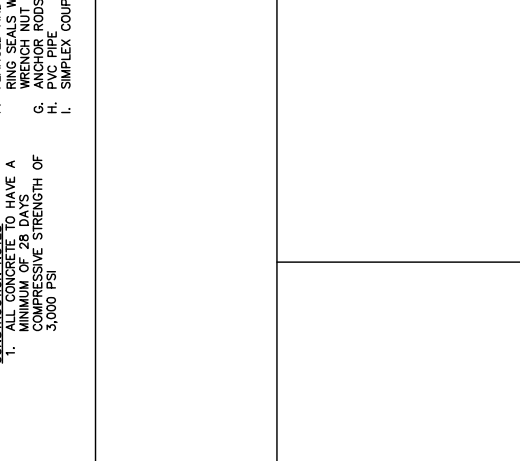
W-6 WATERLINE CROSSING UNDER SEWER LINE



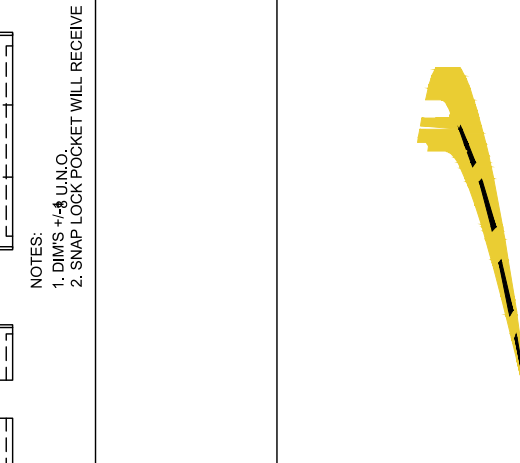
W-6 WATERLINE CROSSING OVER SEWER LINE



W-9 TYPICAL AIR RELEASE VALVE INSTALLATION DETAIL



W-14 TYPICAL WATER TAPPING SLEEVE AND VALVE INSTALLATION



W-7 STANDARD FIRE HYDRANT INSTALLATION

FILE NAME: SANITARY SEWER COLLECTION SYSTEM
DATE: MAY, 2019
DRAWN BY: JAC/GC
CHECKED BY: JAC/GC
REVISIONS: JAC/GC
IP/JSC

SCALE: 1" = 12"
DATE: MAY, 2019
DRAWN BY: JAC
CHECKED BY: JAC
REVISIONS: RM
IP

FILE NAME: WATER DISTRIBUTION SYSTEM
DATE: MAY, 2014
DRAWN BY: JAC
CHECKED BY: JAC
REVISIONS: RM
IP

FILE NAME: WATER DISTRIBUTION SYSTEM
DATE: MAY, 2014
DRAWN BY: JAC
CHECKED BY: JAC
REVISIONS: RM
IP

GREEN HILLS SUBDIVISION, TEXAS

EDINBURG, TEXAS

REVISIONS

NO.	DESCRIPTION	DATE

THE PROFESSIONAL ENGINEERS SEED AFFIXED TO THIS SHEET APPLIES ONLY TO THE MATERIAL AND ITEMS SHOWN ON THIS SHEET. ALL DRAWINGS, INSTRUMENTS AND OTHER DOCUMENTS NOT EXHIBITED WITH THIS SHEET SHALL NOT BE CONSIDERED PREPARED BY THIS ENGINEER, AND THIS ENGINEER EXPRESSLY DISCLAIMS ANY AND ALL RESPONSIBILITY FOR SUCH PLAN, DRAWINGS OR DOCUMENTS NOT EXHIBITED WITH THIS SHEET.

SUB 21.002
APRIL 2021
AS NOTED

SHEET NAME: CITY OF EDINBURG STANDARD DETAILS

SHEET NUMBER: 03

SAMES, INC. TEXAS REGISTERED ENGINEERING F-10802

SAM Engineering & Surveying, Inc.
200 S. 10TH ST, SUITE 1500
McALLEN, TEXAS 78501
TEL: (956) 702-8880
FAX: (956) 702-8883



415 W University Dr. • Edinburg, TX 78539 • (956) 388-8211

Trip Generation Worksheet

Subdivision Name: _____

Project Location: _____

(select one) C.O.E Edinburg ETJ

Applicant: _____ Owner Agent

Address: _____

Email: _____ Phone: _____

Date: _____

Proposed Type of Development

New Development Re-Development Additional Development

Anticipated Land Use	Project Size			AM Peak Hour Trips	PM Peak Hour Trips	Weekday Trips	Wknd Trips	ITE Code
	Acres	GFA	# of Units					

*Multibuilding development or Master Plan-Multi Phase developments, please submit a tabulation sheet showing all proposed land uses

Previous TIA Report (if on file) TIA # _____

Peak Hour Trips Projected in TIA on file	Peak Hour Trips Projected in Updated Development Plan

Difference in PHT (Proposed PHT - Previous Development PHT or TIA PHT)

Increase in Peak Hour Trips
(if an increase of 76 PHT or an increase of 10% of the total PHT, a new TIA is required)

(For Official Use Only, Do Not Write In This Box)

_____ A TIA is required. The individual preparing the study must meet with City staff to discuss the scope and requirements of the study before beginning the study.

_____ A TIA is **not required**. The traffic generated by the proposed development does not exceed the threshold requirements.

Comments: _____

Reviewed by: _____ Date: _____

To: Abel Beltran, Subdivision Coordinator.
From: Robert Valenzuela, Stormwater Manager
Date: April 29, 2021
Subject: Fresno Heights Subdivision

Fresno Heights Subdivision
5.50 Acres

Required Information

The following items are required by TCEQ and the City of Edinburg. Please submit the following at your earliest convinces

1. SW3P (Stormwater Pollution Prevention Plan)
 2. NOI (Notice of Intent, Per TCEQ)
 3. Large Construction Notice (Per TCEQ Inventory)
 4. Detailed Erosion Control Plan (Silt Fence, Construction Entrance, Inlet Protection, Concrete Washout)
-

Comments:

- Silt Fence around the entire project.
- Large Construction Notice needs to be submitted with contractors contact information.
- All items must be submitted before the NTP is issued.
- Please email pending items to rvalenzuela@cityofedinburg.com



THE CITY OF Edinburg FIRE DEPARTMENT



Preliminary Staff Review

May 4, 2021,

SAMES Engineering
200 S. 10th Street.
McAllen TX, 78501
(956) 702-8880

RE: PRELIMINARY REVIEW – FRESNO HEIGHTS SUBDIVISION

Mrs. Lopez,

After reviewing the above referenced plat, the following are the preliminary phase submittal comments:

1. Provide street names to the City of Edinburg Engineering Department for approval.
2. Fire lane 15 feet in width shall be painted in front of all fire hydrants.
3. Provide double face blue fire hydrant street marker on center of the street in front of fire hydrant.
4. Fire hydrant shall be every 600 feet for one and two family dwellings as per section 507.5.1 of 2012 IFC
5. Provide details on all gates to subdivisions. Gates shall meet standards according to section 503.6 of 2012 IFC. All gates shall be 40 feet from the public road.
6. The proposed 8" C900 PVC water line shall be extended towards Freddy Gonzalez and Maltese street.
7. Cul-de-Sac shall have a 96 feet diameter as per section D103 -2012 IFC

Any questions, please feel free to contact me.

Sincerely,

Omar Garza
Fire Marshal
Email: ogarza@cityofedinburg.com
212 W. McIntyre St.
Edinburg, TX 78539

References:
Unified Development Code and 2012 International Fire Code

**SUBDIVISION WITHIN CITY LIMITS CHECK LIST
SUBDIVISION PROCESS**

PRELIMINARY STAGE
May 4, 2021

PLANNING & ZONING DEPARTMENT (956) 388-8202

Date Filed: April 5, 2021 P&Z Preliminary: May 11, 2021 P&Z Final: _____ City Council: _____

Reviewed By: Abel Beltran, Subd. Coord. Staff Review: April 22, 2021 Time Line: 365 Days Expires: _____
abeltran@cityofedinburg.com Staff / Engineer: April 29, 2021 1st Extension: 0 Days Expires 1: _____
 2nd Extension: 0 Days Expires 2: _____

Director of Planning & Zoning : Kimberly A. Mendoza, CPM. Email : kmendoza@cityofedinburg.com City Office #: (956) 388-8202
 Director of Utilities Gerardo Carmona, P.E. Email : gcarmona@cityofedinburg.com City Office #: (956) 388-8212
 Director of Public Works Vincent Romero Email : layala@cityofedinburg.com City Office #: (956) 388-8210
 Director of Engineering Mardoqueo Hinojosa, P.E., CPM Email : mhinojosa@cityofedinburg.com City Office #: (956) 388-8211

Owner:	Carbajal Real Estates, INC.	4900 Expressway 83, Ste. 222 McAllen, TX	Nadia G. Lopez, P.E. Project Engineer
FRESNO HEIGHTS SUBDIVISION		Consultant : SAM Engineering & Surveying, LLC.	
DESCRIPTION	Provided	Need to Provide	Not Applicable
COMMENTS	Need to Revise		

Subdivision Process:

Subdivision Plat Submittal	✓				
Warranty Deed	✓				
Topography Survey	✓				
Drainage Report Submittal (As Per City Drainage Policy)	✓				Approved by H.C.D.D.#1 Date: Pending Approval
Zoning : City Limits - Commercial General	✓				
Flood Zone	✓				Zone "X" (Shaded)

Preliminary Submittals:

Existing & Proposed Water Distribution Layout	✓				City of Edinburg Water Supply Corporation - Distribution System
Water Distribution System Provider:	✓				City of Edinburg Water Supply Corporation - Distribution System
Existing & Proposed Sewer Collection Layout	✓				City of Edinburg Sanitary Sewer Collection System
Sanitary Sewer Collection System Provider:	✓				City of Edinburg Sanitary Sewer Collection System
Existing and Proposed Drainage Layout System:	✓				Private Drainage System onto H.C.D.D. # 1
MPO Collector / Arterial Right-of-way Dedication	✓				
Minor / Major Collector Street pavement Section	✓				In Accordance to Standard Street Policy
Variances Appeals Request:		✓			Planning & Zoning Meeting Results City Council Meeting
Street Widening Improvements					
Street 5-ft Sidewalk Improvements					
Drainage Improvements					

Construction Plans Review Submittals: (See Section 4 Construction Plans Submittals Policy, 2014 STANDARD POLICY MANUAL)

Cover Sheet		✓			
Topography Sheet (Utilities, Bench Marks)		✓			
Sanitary Sewer Improvements: On-Site & Off-Site		✓			City of Edinburg Sanitary Sewer Standard Policy's
Sanitary Sewer Detail Sheets		✓			See Section 3 Utility Policy, 2014 Standard Policy Manual
Water Distribution Improvements: On-Site & Off-Site		✓			City of Edinburg Water Supply Standard Policy's
Water Distribution Detail Sheet		✓			See Section 3 Utility Policy, 2014 Standard Policy Manual
Drainage Improvements:		✓			
Drainage Detail Sheets		✓			See Section 1 Drainage Policy, 2014 Standard Policy Manual
Minor/Major Collector Streets Improvements:		✓			See Section 2 Streets Policy, 2014 Standard Policy Manual
Street Sign Sheet:		✓			
Street Detail Sheets		✓			See Section 2 Streets Policy, 2014 Standard Policy Manual
Street Lighting Sheet:		✓			
Traffic Control Plan:		✓			
Erosion Control Plan		✓			
Erosion Control Plan Detail Sheet		✓			See Storm Water Management, 2014 Standard Policy Manual

DESCRIPTION	Provided	Need to Provide	Not Applicable	Need to Revise	COMMENTS
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Pre-Construction Meeting:

Notice To Proceed		✓			Dated:
Roadway Open-Cut or Bore Permit Application		✓			Dated:
TX-Dot Water UIR Permit (Only if making a connection to I69C)			✓		Dated:
TX-Dot Sewer UIR Permit (Only if making a connection to I69C)			✓		Dated:
N.O.I. Submittal		✓			Dated:
SWPP Booklet Submittal		✓			Dated:
RFI #1 Request		✓			Dated:
Change Orders		✓			Dated:
Final Walk Through		✓			Dated:
Punch List		✓			Dated:
Punch List (Completed and Approved)		✓			Dated:
Letter of Acceptance		✓			Dated:
1-year Warranty (Water/Sewer/Paving/Drainage)		✓			Dated:
Backfill Testing Results		✓			Dated:
As-Builts (Revised Original Submittal)		✓			Dated:

Recording Process:

Public Improvements with (Letter of Credit)		✓			Dated:	Expires:
Recording Fees	\$ 106.00	✓			As required by County Clerks office	
Copy of H.C.D.D. #1 of invoice		✓			Required to be paid prior to Final Stages	
Street Light Escrow	\$ -	✓			Required: 0	EA. @ \$ -
Fire Hydrant Escrow	\$ -	✓			Required: 0	EA. @ \$ -
Street/Sidewalk Escrow (Freddy Gonzalez)	\$ 5,537.50	✓			Required: 221.5	LF @ \$ 25.00
TOTAL OF ESCROWS:	\$ 5,537.50					
Total Developer's Construction Cost: (Letter of Credit)					Date :	Lender :
Laboratory Testing Fee: 3%	\$ -	✓			\$ -	Estimated Construction Cost
Inspection Fee: 2%	\$ -	✓			\$ -	Final Construction Cost
Park Land Fees: ETJ \$ - Per Unit 0			✓			
20 Residential \$ 300.00	\$ 6,000.00	✓			50% Development	50% Building Stage
0 Multi-Family \$ 600.00	\$ -				0% Development	0% Building Stage
Water Rights: COE - CCN	\$ 14,889.60	✓			5.140	Acres \$ 2,896.81
Water 30-year Letter (Residential)	\$ 6,500.00	✓			20	Lots @ \$ 325.00 COE WATER-CCN
Water 30-year Letter (Multi-Family)	\$ -				0	Lots @ \$ - COE WATER-CCN
Sewer 30-year Letter COE - CCN	\$ 1,300.00	✓			20	Lots @ \$ 65.00 COE SEWER-CCN
TOTAL OF FEES:	\$ 28,689.60					

Reimbursements:

Developer Sewer Improvements	\$ -		✓		Off-Site System: 0.00	AC \$ -
Developer Water Improvements	\$ -		✓		Off-Site System 0.00	AC \$ -
TOTAL OF REIMBURSEMENTS:	\$ -					

Buyouts:

North Alamo Water Supply Corporation	\$ -		✓		Required Buyout 0.00	AC. \$ -
Sharyland Water Supply Corporation			✓		Not Applicable	

Tax Certificates

County of Hidalgo / School District		✓				
Water District		✓			Hidalgo County Irrigation District # 2	

Total of Escrows, Fees, Reimbursements and Buyouts:

Escrows	\$ 5,537.50	Street & Sidewalk Improvements for Mon Mack Road				
Inspections other Fees	\$ 28,689.60	Parkland Fees, Water/Sewer 30-year Agreement/Water Rights				
Reimbursements	\$ -	Reimbursement to the Developer of Subdivision (No Reimbursement on Record)				
City of Edinburg	\$ -	15% Payable to the City of Edinburg for Administrative Fee				
To the Developer of Record	\$ -	85% Payable to the Developer of Record Owner / Developer				
Buyouts	\$ -	Based on Subdivision (Need Request and Approval rate from Broad)				
TOTAL :	\$ 34,227.10	Developer Total Cost of Fees, Escrows, Reimbursements & Buyouts				



**SUGAR MILLS SUBDIVISION
STAFF REPORT**

DATE: 05/05/2021	Planning & Zoning Meeting – May 11, 2021
<u>APPLICATION:</u>	Preliminary Plat Approval of Sugar Mills Subdivision
<u>APPLICANT:</u>	Miguel A. Perez
<u>ENGINEERING FIRM:</u>	Melden & Hunt Inc.
<u>LEGAL:</u>	Being a subdivision of 19.641-acres situated in the City of Edinburg, Hidalgo County, Texas, being a part of or portion out of lots 7 and 8, Texas Mexican Railway Company’s Survey Subdivision
<u>LOCATION:</u>	Located at 1700 N. Sugar Road
<u>CURRENT USE OF PROPERTY:</u>	Vacant
<u>EXISTING ZONING & LAND USE:</u>	Urban Residential (UR) District
<u>SURROUNDING LAND USE:</u>	North: Urban Residential (UR) District East: Neighborhood Conservation 7.1 (NC7.1) District South: Suburban Residential (S) District West: Suburban Residential (S) District
<u>ACCESS AND CIRCULATION:</u>	This property has access to N. Sugar Road
<u>PUBLIC SERVICES:</u>	City of Edinburg Water / Sewer
<u>RECOMMENDATION:</u>	Staff recommends approval of the Preliminary Plat subject to the following requirements.

EVALUATION AND REQUIREMENTS FOR APPROVAL

The following is the staff’s evaluation and requirements for the approval of this preliminary plat application. The requirements represent a comprehensive review but do not preclude the City of Edinburg from identifying other requirements deemed necessary for the proper development of the subdivision.

STAFF REPORT
SUGAR MILLS SUBDIVISION
PAGE 2

PLANNING & ZONING DEPARTMENT:

In Accordance with the Unified Development Code (UDC), the purpose is to implement the City of Edinburg's Comprehensive Plan. This code is adopted pursuant to the authority granted by the constitution and laws of the State of Texas Local Government Code, Texas Water Code and pursuant to the home rule authority provided in the City's Home Rule Chapter.

PUBLIC WORKS / ENGINEERING DEPARTMENT:

In Accordance with Article 8, Section 8.00 – Streets, Utilities, and Drainage requirements, Section 8.218. A.B Engineering Standards Manual - The City Engineer shall promulgate and maintain an Engineering Standards Manual that specifies the minimum construction standards for streets, drainage, and other infrastructure within the City and its ETJ. New construction of streets, drainage systems, storm water requirements and other infrastructure shall comply with the applicable provisions of the Engineering Standards Manual, latest edition.

UTILITIES DEPARTMENT:

In Accordance with Article 8, Section 8.218.A.B Water Supply requirements - The City Engineer shall promulgate and maintain an Engineering Standards Manual that specifies the minimum construction standards for water, sewer and other infrastructure within the City and its ETJ. New construction of water distribution system, sewer collection system in accordance to a Master Plan, proposed or upgrade of lift stations, proposed or upgrade of booster stations shall comply with the applicable provisions of the Engineering Standards Manual, latest edition.

FIRE DEPARTMENT:

In Accordance with Article 8, Section 8.402.B Fire Flows and Hydrants - The City Engineer / Fire Marshal shall promulgate and maintain an Engineering Standards Manual that specifies the minimum construction standards for water and Fire Hydrants within the City and its ETJ. New construction of water system to include fire hydrants shall comply compliance with the applicable provisions of the Engineering Standards Manual, latest edition.

ATTACHMENTS: Subdivision Plat, Subdivision Site Map, Staff comment



Planning and Zoning Department

PRELIMINARY SUBDIVISION STAFF REVIEW COMMENTS

Company: MELDEN & HUNT, INC.

Attention: Mario Reyna, P.E., Project Engineer

From: Abel Beltran, Planner I

Date: April 27, 2021

Re: SUGAR MILL ESTATES SUBDIVISION – CITY LIMITS

The following is the staff's evaluation and requirements for the information submitted to our office by the project engineer. The requirements represent a comprehensive review but do not preclude the City of Edinburg from identifying other requirements deemed necessary for the proper development of the subdivision.

SUBMITTALS:

Subdivision Plat:

Preliminary Review confirm process based existing zoning and proposed, lots, block length, corner clip, setbacks, street right-of-way dedication, easements, finish floor elevation, metes and bounds, vicinity map, owners, notary, districts, engineers and surveyor acknowledgments, street name, flood zone, etc.

Water Layout Plan:

A City of Edinburg Water Distribution System for said development shall connect to Sugar Road water line and looped to the Chapin Road water system, to include fire protection connecting and looping to an existing Water line and shall comply with the spacing of proposed hydrant(s).

Sewer Layout Plan:

Development will utilize an existing main truck line of 24-inch City of Edinburg Sanitary Sewer System located on Sugar Road. On the north property line of development there's an existing 15-inch sanitary sewer force main.

Paving & Drainage Plan:

Proposed Interior Access shall consist of Minor Street and a Residential Collector with Street Sections as required by city standards. On-site drainage system onto a proposed detention pond with an outfall system connecting (Bleeder) to an existing drainage system along Sugar Road.

Drainage Report:

Report submitted can be preliminary without H.C.D.D. #1 approval with pending County approval. Detention shall be interior with restricted outfall connection to existing Drain Ditch located on the north side of development.



Planning and Zoning Department

GENERAL REQUIREMENTS FINDINGS:

1. Must comply with the Unified Development Code adopted in 2007 with Article 3- District and Bulk Standards for lot area, lot width, setbacks and block length as required by code.
2. General Plat Notes to indicate; flood zoned designation, correct setbacks, finish floor elevation, SW3P Requirements, detention, sidewalk, utilities provider and other notes as required based on development.
3. In Accordance to Unified Development Code adopted in 2007, Article 8 Street, Utilities and Drainage and in City of Edinburg 2014 Standards Manual, with Street Right of way dedication as noted on Table 8.204.
4. In Accordance to Section 8.213 Sidewalks and Code of Ordinances Chapter 98 – Sidewalks shall be five (5) foot for perimeter streets arterial, collector or higher classification.

FIRE DEPARTMENT FINDINGS:

1. The Fire Marshal's office requires fire hydrant be located on 600-feet (Residential) and 300-feet (Multi-Family) intervals with blue buttons are placed at center of street and on the lane hydrant is located.
2. Must submit proposed street names prior to the Pre-construction process for approval.

ENGINEERING DEPARTMENT FINDINGS:

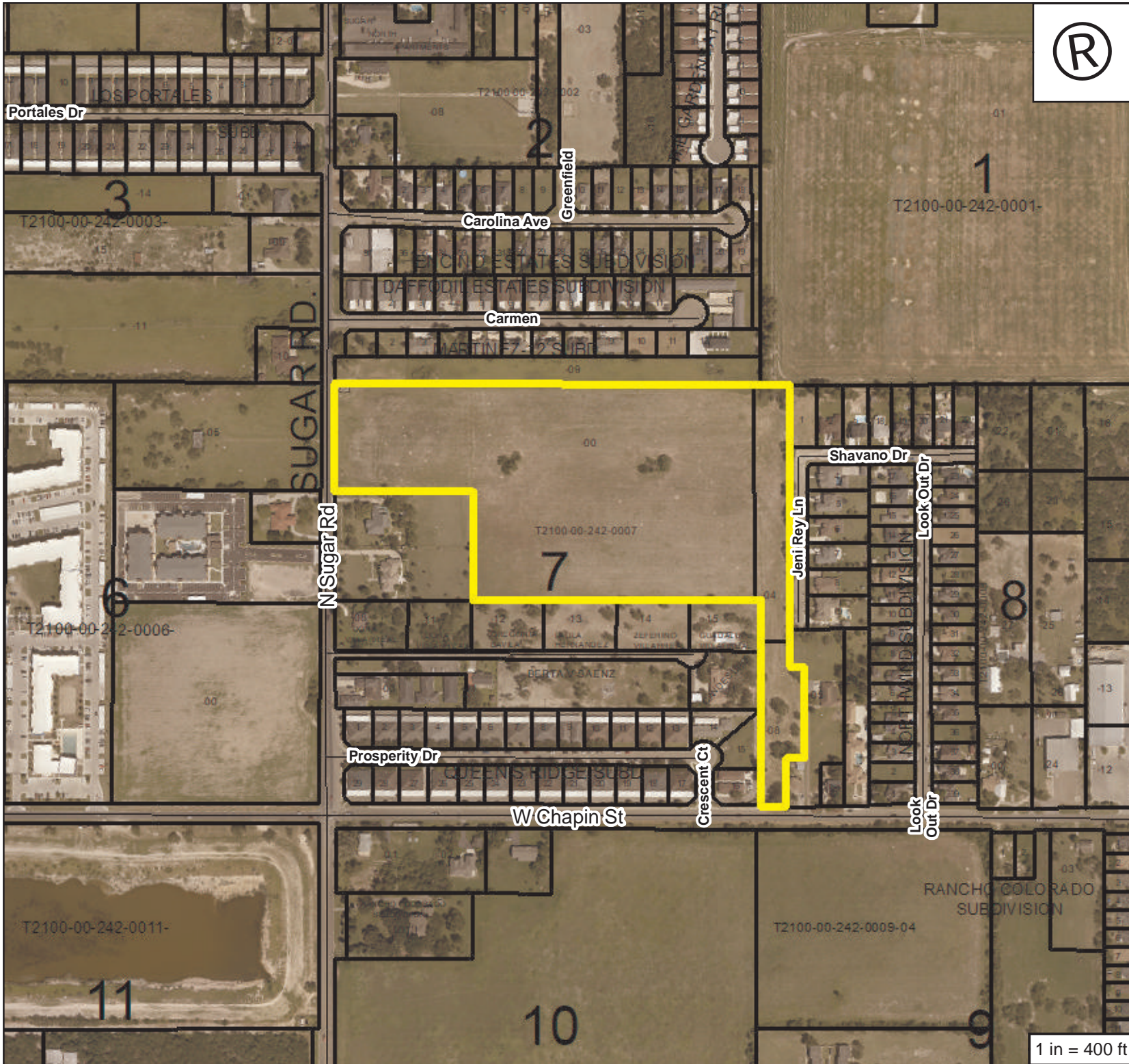
1. In Accordance to Section 8.218.A.B Engineering Standards Manual - The City Engineer shall promulgate and maintain an Engineering Standards Manual that specifies the minimum construction standards for streets, drainage, and other infrastructure within the City and its ETJ. New construction of streets, drainage systems, and other infrastructure shall comply with the applicable provisions of the Engineering Standards Manual, latest edition.
2. A proposed designed drainage system based on a designed basin areas exhibit with an approved drainage outfall system.
3. Must attach the City of Edinburg Streets, Drainage, and erosion control details on the construction set of plans. (See Section 4 of the City of Edinburg 2014 Standards Manual)
4. Additional comments will be addressed at the review of the construction plans.

UTILITIES DEPARTMENT FINDINGS:

1. Water Supply Distribution will be addressed by City of Edinburg Water Supply Corporation and Sanitary Sewer Collection System. Applicable Fees, Water Rights Fee, 30-year Water and Sewer Service Agreement Fees).

Additional Comments provided:

Cc: Kimberly Mendoza, MPA, Director of Planning & Zoning, Jaime X. Ayala, Planner II, Rita Guerrero, Urban Planner 1, Mardoqueo Hinojosa, P.E., Director of Engineering, Vince Romero, Director of Public Works, Gerardo Carmona, P.E., Director of Utilities, Arturo Martinez, Director of Utilities, Jose Flores, Systems Superintendent, Omar Garza, Fire Marshal, Ramiro Gomez, Director of Solid Waste Management, Robert Valenzuela, Storm Water Specialist.





AERIAL MAP

CASE CAPTION:

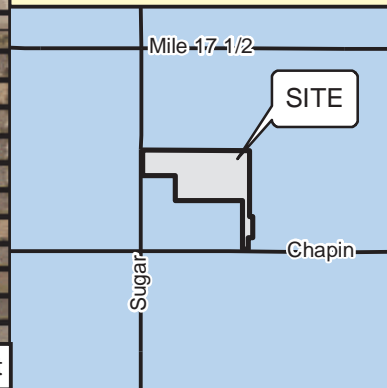
SUBDIVISION NAME:

SUGAR MILL ESTATES
 Consider the Preliminary plat of Sugar Mill Estates Subdivision, being a tract of land containing 19.641 acres situated in the City of Edinburg, Hidalgo County, Texas, being a part of or portion out of Lots 7 and 8, Texas - Mexican Railway Company's Survey, located at 1700 North Sugar Road and Jeni Rey Lane, as requested by Melden and Hunt

Legend

-  CITY LIMITS
-  SUBDIVISION SITE

SITE LOCATION MAP



1 in = 400 ft





SITE MAP

CASE CAPTION:

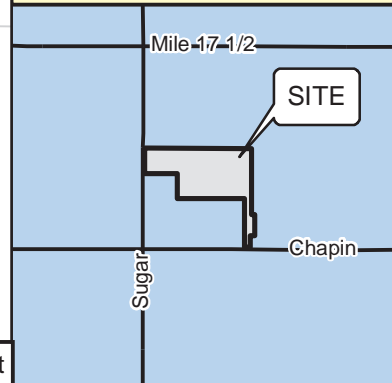
SUBDIVISION NAME:

SUGAR MILL ESTATES
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Legend

-  CITY LIMITS
-  SUBDIVISION SITE

SITE LOCATION MAP



Portales Dr

Carolina Ave

Greenfield

Carmen

N Sugar Rd

Shavano Dr

Jeni Rey Ln

Look Out Dr

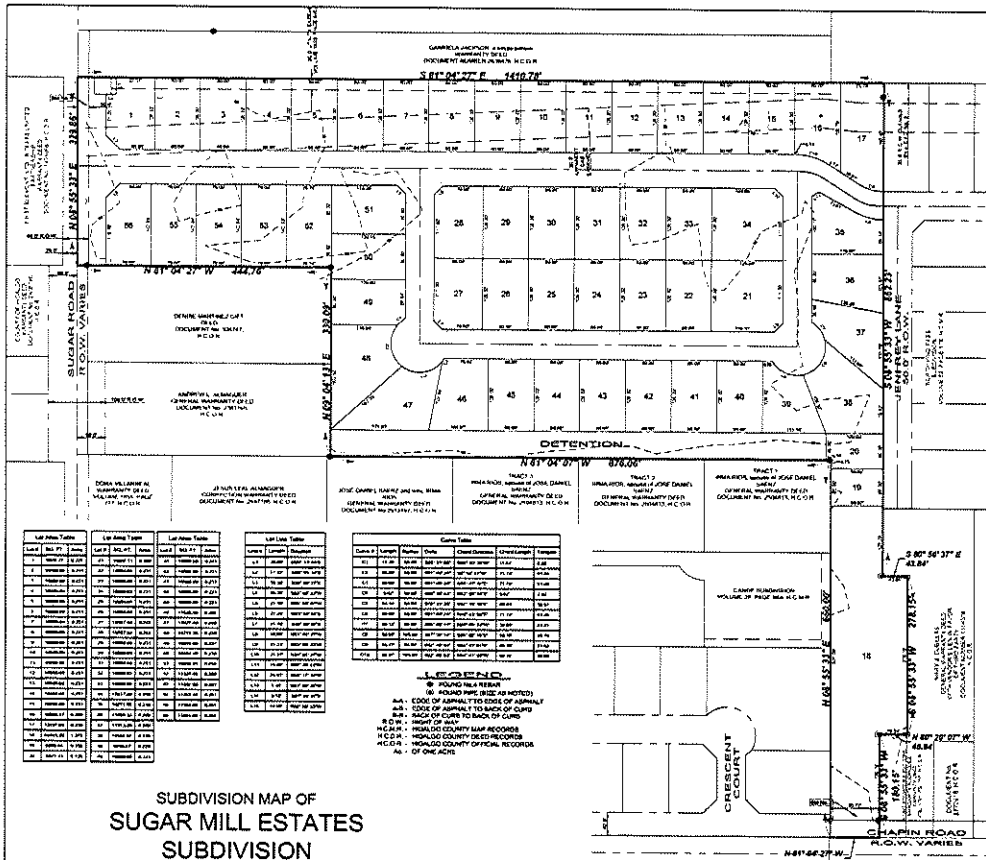
Prosperity Dr

Crescent Ct

Look Out Dr

W Chapin St

1 in = 400 ft



Lot No.	Acres	Front Footage	Side Footage	Area
1	0.21	150	150	0.03
2	0.21	150	150	0.03
3	0.21	150	150	0.03
4	0.21	150	150	0.03
5	0.21	150	150	0.03
6	0.21	150	150	0.03
7	0.21	150	150	0.03
8	0.21	150	150	0.03
9	0.21	150	150	0.03
10	0.21	150	150	0.03
11	0.21	150	150	0.03
12	0.21	150	150	0.03
13	0.21	150	150	0.03
14	0.21	150	150	0.03
15	0.21	150	150	0.03
16	0.21	150	150	0.03
17	0.21	150	150	0.03
18	0.21	150	150	0.03
19	0.21	150	150	0.03
20	0.21	150	150	0.03
21	0.21	150	150	0.03
22	0.21	150	150	0.03
23	0.21	150	150	0.03
24	0.21	150	150	0.03
25	0.21	150	150	0.03
26	0.21	150	150	0.03
27	0.21	150	150	0.03
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39	0.21	150	150	0.03
40	0.21	150	150	0.03
41	0.21	150	150	0.03
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44	0.21	150	150	0.03
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49	0.21	150	150	0.03
50	0.21	150	150	0.03
51	0.21	150	150	0.03
52	0.21	150	150	0.03
53	0.21	150	150	0.03
54	0.21	150	150	0.03
55	0.21	150	150	0.03
56	0.21	150	150	0.03
57	0.21	150	150	0.03
58	0.21	150	150	0.03
59	0.21	150	150	0.03
60	0.21	150	150	0.03

GENERAL PLAT NOTES & RESTRICTIONS:
 1. ALL LOTS SHALL BE BOUND BY THE FOLLOWING DIMENSIONS:
 2. MINIMUM FINISHED FLOOR ELEVATION SHALL BE 1' ABOVE THE CENTER LINE OF THE DRIVE OR STREET...
 3. THE FOLLOWING BOUNDARIES ARE SPECIFIED ON THE FACE OF THE PLAT AND ON THE ATTACHED ENGINEERING PLANS...
 4. IN ACCORDANCE WITH THE HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 AND HIDALGO COUNTY ORDINANCES...
 5. NO STRUCTURES SHALL BE PERMITTED OVER ANY EASEMENT...
 6. A 5 FOOT SEWER MAIN WITH A 48 IN. DIAMETER...
 7. ALL CONSTRUCTION SHALL COMPLY WITH STORM WATER POLLUTION PREVENTION PLAN (SWPPP) REQUIREMENTS...
 8. ALL LOT GRADING TO BE AT 1%...
 9. LOT 1 SHALL HAVE ACCESS FROM CHAPIN ROAD...
 10. THIS SUBDIVISION INTENDED TO BE SINGLE FAMILY RESIDENTIAL & MULTIFAMILY.

APPROVED FOR RECORDING ON THIS: _____ DAY OF _____, 2012.

DEVELOPER: MLDEN & HUNT INC.

PLAT NO. 2012-00121

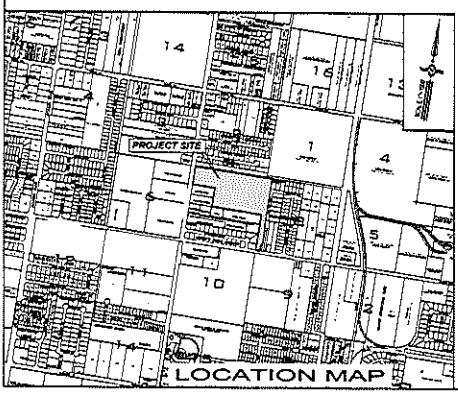
DATE SURVEYED: 06/15/2012

DATE SUBMITTED: 06/20/2012

DATE APPROVED: 06/20/2012

SUBDIVISION MAP OF SUGAR MILL ESTATES SUBDIVISION

BEING A SUBDIVISION OF 19.641 ACRES SITUATED IN THE CITY OF EDINBURG, COUNTY OF HIDALGO, TEXAS, BEING A PART OR PORTION OUT OF LOTS 7 AND 8, TEXAS-MEXICAN RAILWAY COMPANY'S SURVEY, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 1, PAGE 12, HIDALGO COUNTY MAP RECORDS



Melden & Hunt Inc.
 CONSULTANTS IN ENGINEERING & SURVEYING
 115 W. BRANTFIRE - EDINBURG, TX 78841
 PH: (281) 281-0881 - FAX: (281) 281-1538
 ESTABLISHED 1987 - www.meldenandhunt.com

DRAWN BY: DARRYL P. DATE: 6/20/12
 SURVEYED, CHECKED: DATE: _____
 FINAL CHECK: DATE: _____

STATE OF TEXAS
 COUNTY OF HIDALGO
 I, _____, COUNTY CLERK, DO HEREBY CERTIFY THAT THIS PLAT HAS BEEN RECORDED IN ACCORDANCE WITH THE REQUIREMENTS OF THE TEXAS PROPERTY RECORDS ACT AND THE HIDALGO COUNTY ORDINANCES. I HAVE REVIEWED THIS PLAT AND FIND IT TO BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE TEXAS PROPERTY RECORDS ACT AND THE HIDALGO COUNTY ORDINANCES.

STATE OF TEXAS
 COUNTY OF HIDALGO
 I, _____, COUNTY CLERK, DO HEREBY CERTIFY THAT THIS PLAT HAS BEEN RECORDED IN ACCORDANCE WITH THE REQUIREMENTS OF THE TEXAS PROPERTY RECORDS ACT AND THE HIDALGO COUNTY ORDINANCES. I HAVE REVIEWED THIS PLAT AND FIND IT TO BE IN ACCORDANCE WITH THE REQUIREMENTS OF THE TEXAS PROPERTY RECORDS ACT AND THE HIDALGO COUNTY ORDINANCES.

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Planning & Zoning Department
415 W. University Dr.
(956) 388-8202

SUBDIVISION APPLICATION

1. Nature of Request (circle one or more):

- Preliminary Plat Final Plat Amended Plat
- Development Plat Vacating Plat Minor Plat
- Concept Plan 3 1/2 Mile E.T.J. Plat Re-Plat

2. Exact name of proposed subdivision: Sugar Mill Estates Subdivision

3. Legal Description: 19.641 Acres our of lots 7 & 8 Texas Mexican Railway Company's Survey Volume 1, Page 12, Hidalgo County Map Records, Hidalgo County Texas

4. Zoning: Present: Auto Urban Required: _____

5. Inside city limits? Yes No

If outside, is the proposed subdivision within the: (Circle one)

- Comprehensive Development Area Rural Development Area

6. Primary consulting firm: Melden & Hunt, Inc
 Email: mario@meldenandhunt.com
 Phone: (956) 381-0981 Address: 115 W McIntyre Street

7. Proposed method of liquid waste disposal:
 Sanitary Sewer OSSF – On-Site Sewage Facility

8. Desired land use options:

- Single Family Twin House Patio Homes Townhouse
- Lot-Line House Village House Duplex Atrium
- Multiplex Multi-Family Duplex Townhouse Roof Deck
- Mobile Homes Manufactured Home Commercial Industrial

9. Number of lots: 56
Residential: Commercial: _____ Multi-Family: Industrial: _____

10. Electric power and light company to serve the proposed subdivision (circle one):
 AEP (Central Power & Light) Magic Valley Electric Co-op

11. Irrigation District:

- Hidalgo County Irrigation District No. 1 Santa Cruz Irrigation District No. 15
- Hidalgo County Irrigation District No. 2 Other: _____



ENGINEERING DEPARTMENT

Preliminary Staff Review

April 29, 2021

Mario A. Reyna, P.E.

Melden & Hunt, inc.
115 W. McIntyre.
Edinburg, TX 78541
(956) 381-0981

RE: SUGAR MILL ESTATES – PRELIMINARY REVIEW

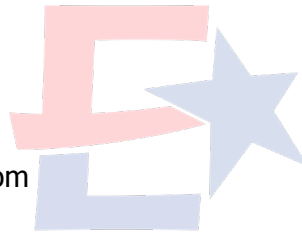
Mr. Reyna,

Attached are the Preliminary Phase Submittal comments for the Sugar Mill Estates Subdivision.

Any questions feel free to contact us.

Thanks,

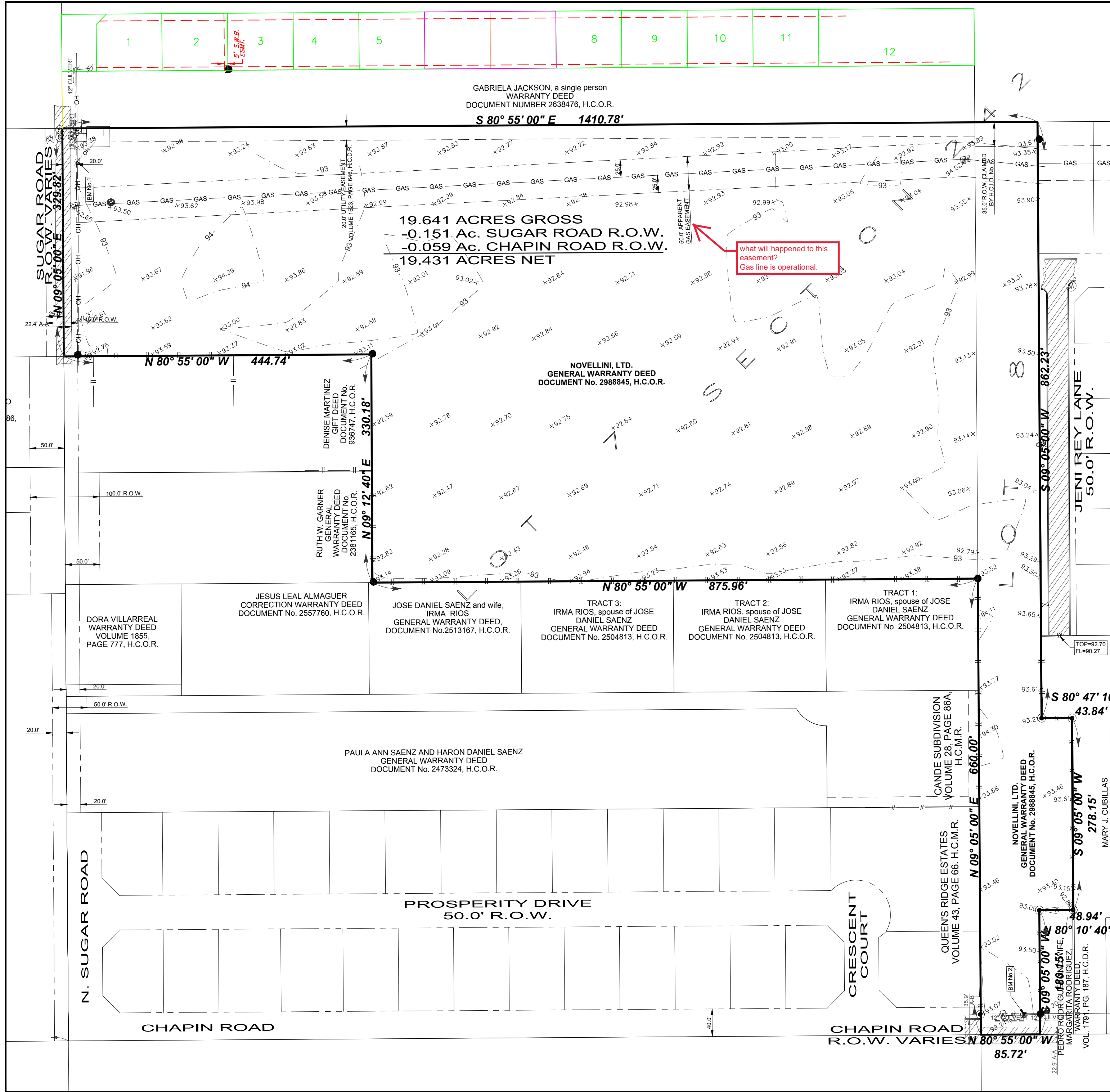
Peter Hermida, E.I.T.
Email: phermida@cityofedinburg.com
415 W. University Drive
Edinburg, Texas 78539



Cc: Mardoqueo Hinojosa, P.E., CFM, City Engineer, Patrizia Longoria, Engineer III, Abel Beltran, Subdivision Coordinator, Vince Romero, Director of Public Works, Robert Valenzuela, Storm Water Specialist, Kimberly Mendoza, Director of Planning and Zoning, Rita Guerrero, Urban Planner, Jessica Ramirez, Urban Planner, Arturo Martinez, Director of Utilities, Jose Flores, Systems Superintendent, Omar Garza, Fire Marshal

REFERENCES:

City of Edinburg – 2014 Standard Manual – Construction and Development Requirements;
Unified Development Code; and if required a TX-Dot Permitting UIR permitting process.



- NOTES:**
- SURVEY IS VALID ONLY IF PRINT HAS ORIGINAL SEAL & SIGNATURE OF SURVEYOR.
 - SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE COMMITMENT WHICH MAY SHOW EASEMENTS AFFECTING THIS TRACT. THE SURVEYOR IS ADVISING THE RECIPIENT OF THIS PLAT THAT EASEMENTS MAY AFFECT THIS TRACT.
 - ALL BEARINGS AND DISTANCES ARE BASED ON GRID COORDINATES.



- LEGEND**
- FOUND No.4 REBAR
 - FOUND PIPE (SIZE AS NOTED)
 - ⊗ POWER POLE
 - ⊕ SERVICE POLE
 - ⊠ TELEPHONE PEDESTAL
 - ⊞ TELEPHONE MARKER
 - ⊙ FIRE HYDRANT
 - ⊕ WATER METER
 - ⊕ FLUSH VALVE
 - ⊕ WATER VALVE
 - ⊙ SANITARY SEWER MANHOLE
 - ⊕ TYPE "A" INLET
 - ⊕ GAS METER
 - ⊕ GAS MARKER
 - ⊕ 4" GAS PIPE
 - — — — — BLOCK FENCE
 - — — — — HOG WIRE FENCE
 - x - x - CHAIN LINK FENCE
 - // - // - WOOD FENCE
 - GAS - GAS - GAS LINE
 - OH - OH - OVERHEAD POWER LINE
 - ▨ ASPHALT AREA
 - A-A - EDGE OF ASPHALT TO EDGE OF ASPHALT
 - A-B - EDGE OF ASPHALT TO BACK OF CURB
 - R.O.W. - RIGHT OF WAY
 - H.C.M.R. - HIDALGO COUNTY MAP RECORDS
 - H.C.D.R. - HIDALGO COUNTY DEED RECORDS
 - H.C.O.R. - HIDALGO COUNTY OFFICIAL RECORDS
 - Ac. - OF ONE ACRE
 - MF - LOT LINE
 - - - - - SAME OWNER

BENCHMARK No.1:
60d NAIL IN POWER
POLE EL.=94.06

BENCHMARK No.2:
60d NAIL IN POWER
POLE EL.=94.76

I, FRED L. KURTH, A REGISTERED PROFESSIONAL LAND SURVEYOR, DO HEREBY CERTIFY THE FOREGOING PLAT TO BE TRUE AND CORRECT REPRESENTATION OF A SURVEY MADE ON THE GROUND ON 2/9/21 UNDER MY DIRECTION AND SUPERVISION.

PRELIMINARY - NOT INTENDED FOR RECORDING PURPOSES
FRED L. KURTH, RPLS No. 4750 DATE:

M MELDEN & HUNT INC.
CONSULTANTS • ENGINEERS • SURVEYORS

TBPELS No. 10096900

BOOK: T-1117, PG.19
DATE: 2/17/2021
JOB No. 21344.08
FILE NAME: 21344
DRAWN BY: J.C./J.J.V.
115 W. MCINTYRE
EDINBURG, TX 78541
PH: (956) 381-0981
FAX: (956) 381-1839
ESTABLISHED 1947
www.meldenandhunt.com

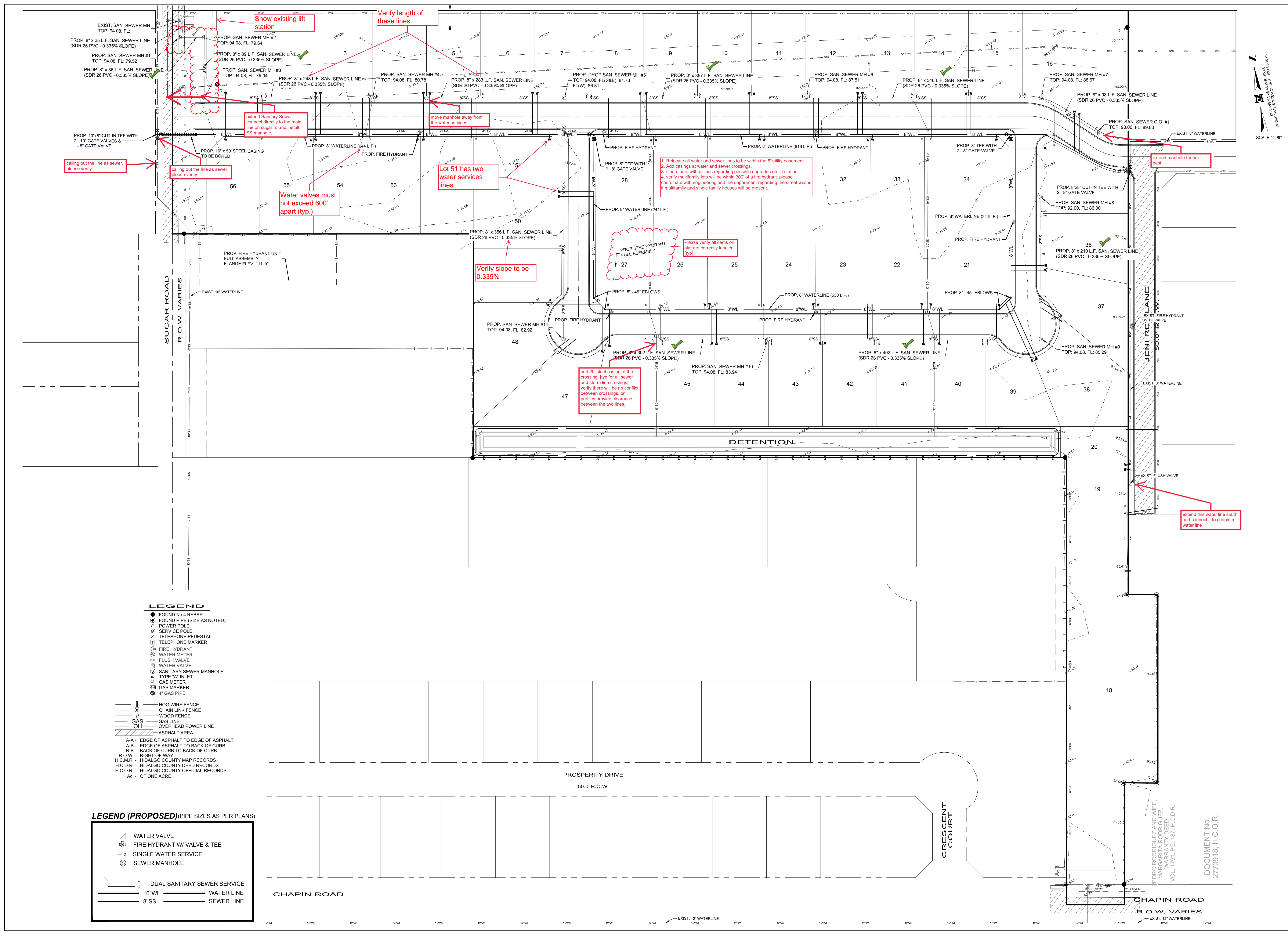
© COPYRIGHT 2021 MELDEN & HUNT, INC. ALL RIGHTS RESERVED

BY: **MELDEN & HUNT INC.**
 DATE: _____
 REVISION: _____
MELDEN & HUNT INC.
 CONSULTING ENGINEERS & SURVEYORS
 1115 W. McINTYRE
 EDINBURG, TX 78541
 PH: (959) 487-4266
 FAX: (959) 487-4267
 ESTABLISHED 1947
 www.meldenandhunt.com

ENG. TECH. R. DE JESUS	PROJECT ENG. F.L.K.
T.BOOK: . PG.	1. RELEASE DATE: 10/09/15
	2. RELEASE DATE:
	3. RELEASE DATE:
	SCALE: 1" = 50'

SUGAR MILL ESTATES SUBDIVISION EDINBURG, TEXAS

UTILITY LAYOUT



LEGEND

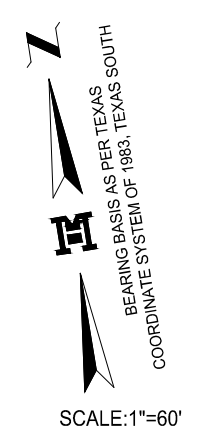
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- ⊙ TYPE "A" INLET
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- ⊙ GAS MARKER
- ⊙ 4" GAS PIPE

--- HOG WIRE FENCE
 --- CHAIN LINK FENCE
 --- WOOD FENCE
 --- GAS LINE
 --- OVERHEAD POWER LINE
 --- ASPHALT AREA

A-A - EDGE OF ASPHALT TO EDGE OF ASPHALT
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 H.C.D.R. - HIDALGO COUNTY DEED RECORDS
 H.C.O.R. - HIDALGO COUNTY OFFICIAL RECORDS
 Ac. - OF ONE ACRE

LEGEND (PROPOSED) (PIPE SIZES AS PER PLANS)

- ⊙ WATER VALVE
- ⊙ FIRE HYDRANT W/ VALVE & TEE
- SINGLE WATER SERVICE
- ⊙ SEWER MANHOLE
- DUAL SANITARY SEWER SERVICE
- 16" WL --- WATER LINE
- 8" SS --- SEWER LINE





415 W University Dr. • Edinburg, TX 78539 • (956) 388-8211

Trip Generation Worksheet

Subdivision Name: _____

Project Location: _____

(select one) C.O.E Edinburg ETJ

Applicant: _____ Owner Agent

Address: _____

Email: _____ Phone: _____

Date: _____

Proposed Type of Development

New Development Re-Development Additional Development

Anticipated Land Use	Project Size			AM Peak Hour Trips	PM Peak Hour Trips	Weekday Trips	Wknd Trips	ITE Code
	Acres	GFA	# of Units					

*Multibuilding development or Master Plan-Multi Phase developments, please submit a tabulation sheet showing all proposed land uses

Previous TIA Report (if on file) TIA # _____

Peak Hour Trips Projected in TIA on file	Peak Hour Trips Projected in Updated Development Plan

Difference in PHT (Proposed PHT - Previous Development PHT or TIA PHT)

Increase in Peak Hour Trips
(if an increase of 76 PHT or an increase of 10% of the total PHT, a new TIA is required)

(For Official Use Only, Do Not Write In This Box)

_____ A TIA is required. The individual preparing the study must meet with City staff to discuss the scope and requirements of the study before beginning the study.

_____ A TIA is **not required**. The traffic generated by the proposed development does not exceed the threshold requirements.

Comments: _____

Reviewed by: _____ Date: _____

NOTE: GFA = Gross Floor Area (bldg. size)

TIA = Traffic Impact Analysis

ITE = Institute of Transportation Engineers, Trip Generation, 10th Edition

To: Abel Beltran, Subdivision Coordinator.
From: Robert Valenzuela, Stormwater Manager
Date: April 28, 2021
Subject: Sugar Mills Estates

Sugar Mills Estates Subdivision
19.641 Acres

Required Information

The following items are required by TCEQ and the City of Edinburg. Please submit the following at your earliest convenience.

1. SW3P (Stormwater Pollution Prevention Plan)
 2. NOI (Notice of Intent, Per TCEQ)
 3. Large Construction Notice (Per TCEQ Inventory)
 4. Detailed Erosion Control Plan (Silt Fence, Construction Entrance, Inlet Protection, Concrete Washout)
-

Comments:

- Silt Fence around the entire project.
- Large Construction Notice needs to be submitted with contractor contact information.
- All items must be submitted before the NTP is issued.
- Please email pending items to rvalenzuela@cityofedinburg.com



THE CITY OF Edinburg FIRE DEPARTMENT



Preliminary Staff Review

May 4, 2021,

Mario Reyna
Melden & Hunt
115 W. McIntyre Street
Edinburg, Tx 78541
(956) 381-0981

RE: PRELIMINARY REVIEW – 2021 SUGAR MILLS ESTATES

Mr. Reyna,

After reviewing the above referenced plat, the following are the preliminary phase submittal comments:

1. Provide street names to the City of Edinburg Engineering Department for approval.
2. Fire lane 15 feet in width shall be painted in front of all fire hydrants.
3. Provide double face blue fire hydrant street marker on center of the street in front of fire hydrant.
4. Fire hydrant shall be every 600 feet for one and two family dwellings as per section 507.5.1 of 2012 IFC
5. Provide details on all gates to subdivisions. Gates shall meet standards according to section 503.6 of 2012 IFC. All gates shall be 40 feet from the public road.
6. The Cul-de-Sac should have a 96 foot diameter.
7. The proposed 8”C900 PVC water line shall be extended towards the west between lot 4 and 5 with utility easement with a flush valve.

Any questions, please feel free to contact me.

Sincerely,

Omar Garza
Fire Marshal
Email: ogarza@cityofedinburg.com
212 W. McIntyre St.
Edinburg, TX 78539

References:
Unified Development Code and 2012 International Fire Code

**SUBDIVISION WITHIN CITY LIMITS CHECK LIST
SUBDIVISION PROCESS**

PRELIMINARY STAGE
Date : May 4, 2021

PLANNING & ZONING DEPARTMENT (956) 388-8202

Date Filed: April 5, 2021 P&Z Preliminary: _____ P&Z Final: _____ City Council: _____

Reviewed By: Abel Beltran, Subd. Coord. Staff Review: April 22, 2021 Time Line: 365 Days Expires: _____
abeltran@cityofedinburg.com Staff / Engineer: April 29, 2021 1st Extension: 0 Days Expires 1: _____
 2nd Extension: 0 Days Expires 2: _____

Director of Planning & Zoning : Kimberly A. Mendoza, CPM. Email : kmendoza@cityofedinburg.com City Office #: (956) 388-8202
 Director of Utilities Gerardo Carmona, P.E. Email : gcarmona@cityofedinburg.com City Office #: (956) 388-8212
 Director of Public Works Vincent Romero Email : layala@cityofedinburg.com City Office #: (956) 388-8210
 Director of Engineering Mardoqueo Hinojosa, P.E., CPM Email : mhinojosa@cityofedinburg.com City Office #: (956) 388-8211

Owner:	Manuel A. Perez, Member	4001 S. Shary Road, Suite 550, Mission, Texas	Mario A. Reyna, P.E. Project Engineer
SUGAR MILL ESTATES SUBDIVISION		Consultant : Melden & Hunt, Engineers, Inc.	
DESCRIPTION	Provided	Need to Provide	Not Applicable
COMMENTS	Need to Revise		

Subdivision Process:

Subdivision Plat Submittal	✓				
Warranty Deed	✓				
Topography Survey	✓				
Drainage Report Submittal (As Per City Drainage Policy)	✓				Approved by H.C.D.D.#1 Date: Pending Approval
Zoning : City Limits - Commercial General	✓				
Flood Zone	✓				Zone "X" (Shaded)

Preliminary Submittals:

Existing & Proposed Water Distribution Layout	✓				City of Edinburg Water Supply Corporation - Distribution System
Water Distribution System Provider:	✓				City of Edinburg Water Supply Corporation - Distribution System
Existing & Proposed Sewer Collection Layout	✓				City of Edinburg Sanitary Sewer Collection System
Sanitary Sewer Collection System Provider:	✓				City of Edinburg Sanitary Sewer Collection System
Existing and Proposed Drainage Layout System:	✓				Private Drainage System onto H.C.D.D. # 1
MPO Collector / Arterial Right-of-way Dedication	✓				Proposed Private Streets
Minor / Major Collector Street pavement Section	✓				In Accordance to Standard Street Policy
Variances Appeals Request:		✓			Planning & Zoning Meeting Results City Council Meeting
Street Widening Improvements					
Street 5-ft Sidewalk Improvements					
Drainage Improvements					

Construction Plans Review Submittals: (See Section 4 Construction Plans Submittals Policy, 2014 STANDARD POLICY MANUAL)

Cover Sheet		✓			
Topography Sheet (Utilities, Bench Marks)		✓			
Sanitary Sewer Improvements: On-Site & Off-Site		✓			City of Edinburg Sanitary Sewer Standard Policy's
Sanitary Sewer Detail Sheets		✓			See Section 3 Utility Policy, 2014 Standard Policy Manual
Water Distribution Improvements: On-Site & Off-Site		✓			City of Edinburg Water Supply Standard Policy's
Water Distribution Detail Sheet		✓			See Section 3 Utility Policy, 2014 Standard Policy Manual
Drainage Improvements:		✓			
Drainage Detail Sheets		✓			See Section 1 Drainage Policy, 2014 Standard Policy Manual
Minor/Major Collector Streets Improvements:		✓			See Section 2 Streets Policy, 2014 Standard Policy Manual
Street Sign Sheet:		✓			
Street Detail Sheets		✓			See Section 2 Streets Policy, 2014 Standard Policy Manual
Street Lighting Sheet:		✓			
Traffic Control Plan:			✓		
Erosion Control Plan		✓			
Erosion Control Plan Detail Sheet		✓			See Storm Water Management, 2014 Standard Policy Manual

DESCRIPTION	Provided	Need to Provide	Not Applicable	Need to Revise	COMMENTS
-------------	----------	-----------------	----------------	----------------	----------

Pre-Construction Meeting:

Notice To Proceed		✓			Dated:
Roadway Open-Cut or Bore Permit Application		✓			Dated:
TX-Dot Water UIR Permit			✓		
TX-Dot Sewer UIR Permit			✓		
N.O.I. Submittal		✓			Dated:
SWPP Booklet Submittal		✓			Dated:
RFI #1 Request		✓			Dated:
Change Orders		✓			Dated:
Final Walk Through		✓			Dated:
Punch List		✓			Dated:
Punch List (Completed and Approved)		✓			Dated:
Letter of Acceptance		✓			Dated:
1-year Warranty (Water/Sewer/Paving/Drainage)		✓			Dated:
Backfill Testing Results		✓			Dated:
As-Builts (Revised Original Submittal)		✓			Dated:

Recording Process:

Public Improvements with (Letter of Credit)		✓			Dated:	Expires:
Recording Fees	\$ 106.00	✓			As required by County Clerks office	
Copy of H.C.D.D. #1 of invoice		✓			Required to be paid prior to Final Stages	
Street Light Escrow	\$ -	✓			Required: 0	EA. @ \$ -
Fire Hydrant Escrow	\$ -	✓			Required: 0	EA. @ \$ -
Street/Sidewalk Escrow (Ingle Road)	\$ -	✓			Required: 0	LF @ \$ -
TOTAL OF ESCROWS:	\$ -					
Total Developer's Construction Cost: (Letter of Credit)					Date :	Lender :
Laboratory Testing Fee: 3%	\$ -	✓			\$ -	Estimated Construction Cost
Inspection Fee: 2%	\$ -	✓			\$ -	Final Construction Cost
Park Land Fees: ETJ \$ - Per Unit 0		✓				
30 Residential (?) \$ 300.00	\$ 9,000.00				0% Development	0% Building Stage
26 Multi-Family (?) \$ 600.00	\$ 15,600.00				0% Development	0% Building Stage
Water Rights: COE - CCN	\$ 53,092.23	✓			18.360	Acres \$ 2,891.81
Water 30-year Letter (Residential Amount)	\$ -	✓			0	Lots @ \$ 325.00 COE WATER-CCN
Water 30-year Letter (Multi-Family Amount)	\$ -	✓			0	Lots @ \$ 600.00 COE WATER-CCN
Sewer 30-year Letter COE - CCN	\$ 3,640.00	✓			56	Lots @ \$ 65.00 COE SEWER-CCN
TOTAL OF FEES:	\$ 81,332.23					

Reimbursements:

Developer Sewer Improvements	\$ -		✓		Off-Site System: 0.00	AC \$ -
Developer Water Improvements	\$ -		✓		Off-Site System 0.00	AC \$ -
TOTAL OF REIMBURSEMENTS:	\$ -					

Buyouts:

North Alamo Water Supply Corporation	\$ -		✓		Required Buyout 0.00	AC. \$ -
Sharyland Water Supply Corporation				✓	Not Applicable	

Tax Certificates

County of Hidalgo / School District			✓			
Water District			✓		Hidalgo County Irrigation District # 2	

Total of Escrows, Fees, Reimbursements and Buyouts:

Escrows	\$ -	Street & Sidewalk Improvements for ? Road				
Inspections other Fees	\$ 81,332.23	Parkland Fees, Water/Sewer 30-year Agreement/Water Rights				
Reimbursements	\$ -	Reimbursement to the Developer of Subdivision (No Reimbursement on Record)				
City of Edinburg	\$ -	15% Payable to the City of Edinburg for Administrative Fee				
To the Developer of Record	\$ -	85% Payable to the Developer of Record Owner / Developer				
Buyouts	\$ -	Based on Subdivision (Need Request and Approval rate from NAWSC Broad)				
TOTAL :	\$ 81,332.23	Developer Total Cost of Fees, Escrows, Reimbursements & Buyouts				



**MARITERRY ESATES SUBDIVISION
STAFF REPORT**

DATE: 05/05/2021 Planning & Zoning Meeting – May 11, 2021

APPLICATION: Preliminary Plat Approval of Mariterry Estates Subdivision

APPLICANT: COHAB, LLC

ENGINEERING FIRM: MAS Engineering LLC

LEGAL: Being the north 6.00-acres out of the South 12.00 acres of the East ½ of Lot 9, Texas-Mexican Railway Company Survey, situated in the City of Edinburg, Hidalgo County, Texas

LOCATION: Located at 1801 S. Mon Mack Road

CURRENT USE OF PROPERTY: Vacant

EXISTING ZONING & LAND USE: Suburban Residential (S) District

SURROUNDING LAND USE:
North: Suburban (S) Residential District
East: Suburban (S) Residential District
South: Suburban (S) Residential District
West: Suburban (S) Residential District

ACCESS AND CIRCULATION: This property has access to S. Mon Mack Road

PUBLIC SERVICES: City of Edinburg Water / Sewer

RECOMMENDATION: Staff recommends approval of the Preliminary Plat subject to the following requirements.

EVALUATION AND REQUIREMENTS FOR APPROVAL

The following is the staff's evaluation and requirements for the approval of this preliminary plat application. The requirements represent a comprehensive review but do not preclude the City of Edinburg from identifying other requirements deemed necessary for the proper development of the subdivision.

STAFF REPORT
MARITERRY ESTATES SUBDIVISION
PAGE 2

PLANNING & ZONING DEPARTMENT:

In Accordance with the Unified Development Code (UDC) the purpose is to implement the City of Edinburg's Comprehensive Plan. This code is adopted pursuant to the authority granted by the constitution and laws of the State of Texas Local Government Code, Texas Water Code and pursuant to the home rule authority provided in the City's Home Rule Chapter.

PUBLIC WORKS / ENGINEERING DEPARTMENT:

In Accordance to Article 8, Section 8.00 – Streets, Utilities, and Drainage requirements, Section 8.218.A.B Engineering Standards Manual - The City Engineer shall promulgate and maintain an Engineering Standards Manual that specifies the minimum construction standards for streets, drainage, and other infrastructure within the City and its ETJ. New construction of streets, drainage systems, storm water requirements and other infrastructure shall comply with the applicable provisions of the Engineering Standards Manual, latest edition.

UTILITIES DEPARTMENT:

In Accordance with Article 8, Section 8.218.A.B Water Supply requirements - The City Engineer shall promulgate and maintain an Engineering Standards Manual that specifies the minimum construction standards for water, sewer and other infrastructure within the City and its ETJ. New construction of water distribution system, sewer collection system in accordance to a Master Plan, proposed or upgrade of lift stations, proposed or upgrade of booster stations shall comply with the applicable provisions of the Engineering Standards Manual, latest edition.

FIRE DEPARTMENT:

In Accordance with Article 8, Section 8.402.B Fire Flows and Hydrants - The City Engineer / Fire Marshal shall promulgate and maintain an Engineering Standards Manual that specifies the minimum construction standards for water and Fire Hydrants within the City and its ETJ. New construction of water system to include fire hydrants shall comply compliance with the applicable provisions of the Engineering Standards Manual, latest edition.

ATTACHMENTS: Subdivision Plat, Subdivision Site Map, Staff comment



Planning and Zoning Department

PRELIMINARY SUBDIVISION STAFF REVIEW COMMENTS

Company: MAS ENGINEERING, LLC.

Attention: Mario A. Salinas, P.E., Project Engineer

From: Abel Beltran, Planner I

Date: April 27, 2021

Re: MARITERRY ESTATES SUBDIVISION – CITY LIMITS

The following is the staff's evaluation and requirements for the information submitted to our office by the project engineer. The requirements represent a comprehensive review but do not preclude the City of Edinburg from identifying other requirements deemed necessary for the proper development of the subdivision.

SUBMITTALS:

Subdivision Plat:

Preliminary Review confirm process based on the existing zoning and proposed, lots, block length, corner clip, setbacks, streets right-of-way dedication, easements, finish floor elevation, metes and bounds, vicinity map, owners, notary, districts, engineers and surveyor acknowledgments, street name, flood zone, etc.

Water Layout Plan:

A City of Edinburg Water Distribution System for said development shall connect to an existing water line system on S. Mon Mack Road and with a fire hydrant at cul-de-sac and that could be used to flush dead end line, to include fire protection connecting and looping to an existing Water line and shall comply with the spacing of proposed hydrant(s).

Sewer Layout Plan:

Development will be required extend an 8-inch sewer line on proposed street connecting to an existing 8-inch sewer line on S. Mon Mack Road.

Paving & Drainage Plan:

Proposed Interior Access shall consist of Minor Street with Street Sections as required by city standards. On drainage system will be collected and with proposed detention pond with an outfall system connecting to a 36-inch drainage system.

Drainage Report:

Report submitted can be preliminary without H.C.D.D. #1 approval with pending County approval. Detention shall be interior with restricted outfall connection to existing Drain Ditch located on the north side of development.





Planning and Zoning Department

GENERAL REQUIREMENTS FINDINGS:

1. Must comply with the Unified Development Code adopted in 2007 with Article 3- District and Bulk Standards for lot area, lot width, setbacks and block length as required by code.
2. General Plat Notes to indicate; flood zoned designation, correct setbacks, finish floor elevation, SW3P Requirements, detention, sidewalk, utilities provider and other notes as required based on development.
3. In Accordance to Unified Development Code adopted in 2007, Article 8 Street, Utilities and Drainage and in City of Edinburg 2014 Standards Manual, with Street Right of way dedication as noted on Table 8.204.
4. In Accordance to Section 8.213 Sidewalks and Code of Ordinances Chapter 98 – Sidewalks shall be five (5) foot for perimeter streets arterial, collector or higher classification.

FIRE DEPARTMENT FINDINGS:

1. The Fire Marshal's office requires fire hydrant be located on 600-foot (Residential) intervals with blue buttons are placed at center of street and on the lane hydrant is located.
2. Must submit proposed street names prior to the Pre-construction process for approval.

ENGINEERING DEPARTMENT FINDINGS:

1. In Accordance to Section 8.218.A.B Engineering Standards Manual - The City Engineer shall promulgate and maintain an Engineering Standards Manual that specifies the minimum construction standards for streets, drainage, and other infrastructure within the City and its ETJ. New construction of streets, drainage systems, and other infrastructure shall comply with the applicable provisions of the Engineering Standards Manual, latest edition.
2. A proposed designed drainage system based on a designed basin areas exhibit with an approved drainage outfall system.
3. Must attach the City of Edinburg Streets, Drainage, and erosion control details on the construction set of plans. (See Section 4 of the City of Edinburg 2014 Standards Manual)
4. Additional comments will be addressed at the review of the construction plans.

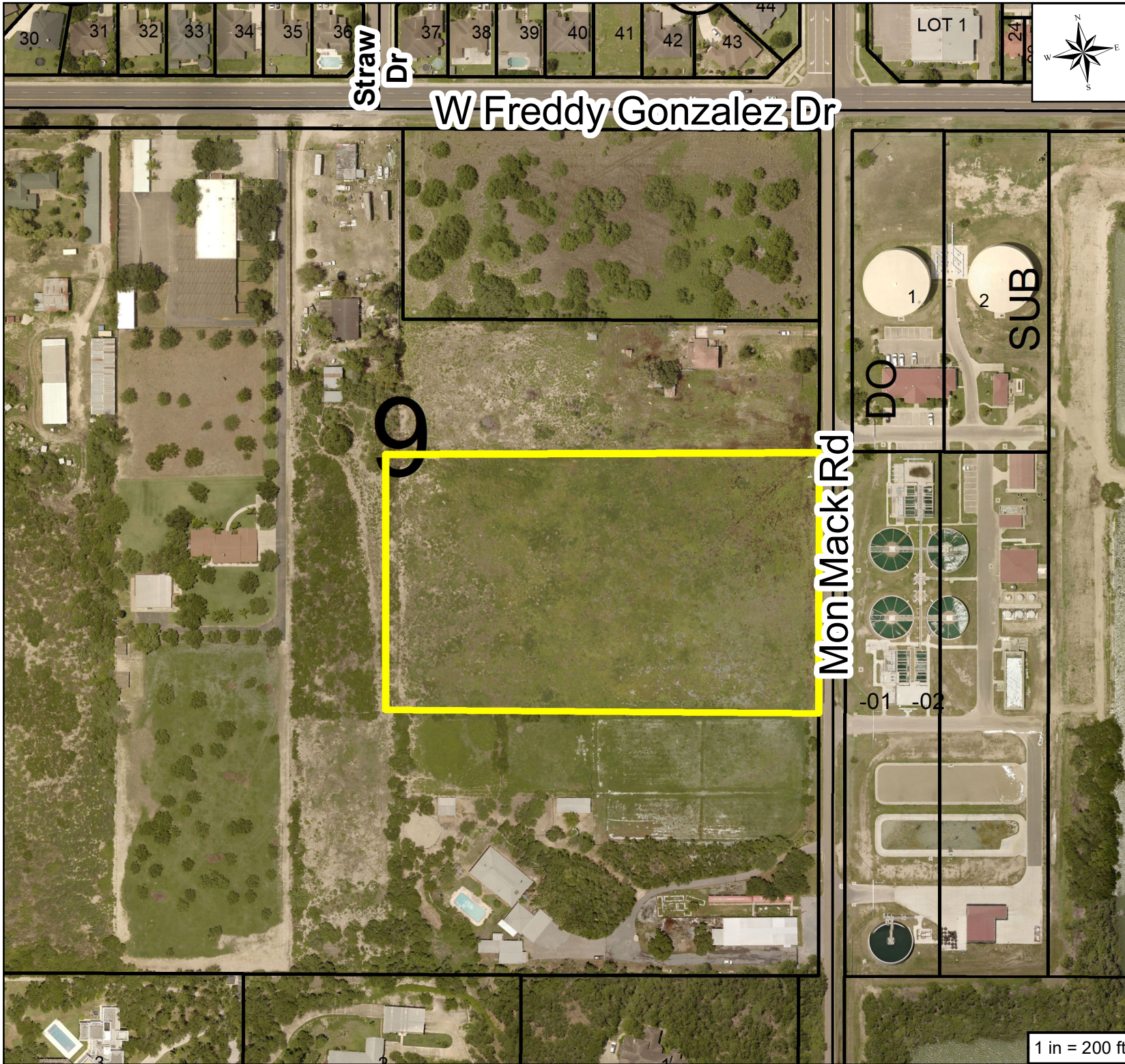
UTILITIES DEPARTMENT FINDINGS:

1. Water and Sewer Systems will be addressed by City of Edinburg. Applicable Fees are, Water Rights, 30-year Water and Sewer Service Agreement Fees).

Additional Comments provided:

Cc: Kimberly Mendoza, MPA, Director of Planning & Zoning, Jaime X. Ayala, Planner II, Rita Guerrero, Urban Planner I, Mardoqueo Hinojosa, P.E., Director of Engineering, Vince Romero, Director of Public Works, Gerardo Carmona, P.E., Director of Utilities, Arturo Martinez, Director of Utilities, Jose Flores, Systems Superintendent, Omar Garza, Fire Marshal, Ramiro Gomez, Director of Solid Waste Management, Robert Valenzuela, Storm Water Specialist.







AERIAL MAP

CASE CAPTION:

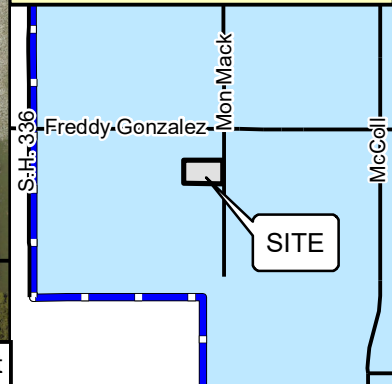
SUBDIVISION NAME:
MARITERRY ESTATES

Consider the Preliminary plat of Mariterry Estates Subdivision, being the North 6 Acres out of the South 12 acres of the East 1/2 of Lot 9, Section 278, Texas - Mexican Railway Company Survey, situated in the City of Edinburg, Hidalgo County, Texas, located at 1801 S. Mon Mack Road, as requested by MAS Engineering.

Legend

-  CITY LIMITS
-  SUBDIVISION SITE

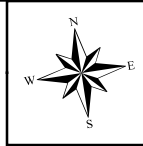
SITE LOCATION MAP



1 in = 200 ft

Straw
Dr

W-Freddy Gonzalez Dr



SITE MAP

CASE CAPTION:



SUBDIVISION NAME:
MARITERRY ESTATES

Consider the Preliminary plat of Mariterry Estates Subdivision, being the North 6 Acres out of the South 12 acres of the East 1/2 of Lot 9, Section 278, Texas - Mexican Railway Company Survey, situated in the City of Edinburg, Hidalgo County, Texas, located at 1801 S. Mon Mack Road, as requested by MAS Engineering.

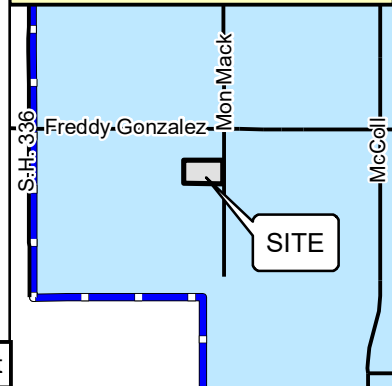


Mon Mack Rd

Legend

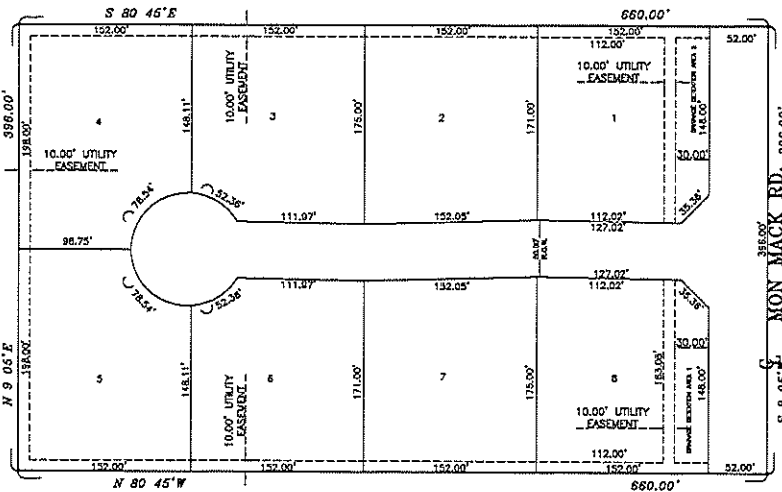
-  CITY LIMITS
-  SUBDIVISION SITE

SITE LOCATION MAP



1 in = 200 ft

MAP OF MARITERRY ESTATES SUBDIVISION



GENERAL NOTES:

1. SUBDIVISION LOTS ARE DESIGNED FOR RESIDENTIAL.
 - FRONT: 30' OR GREATER FOR EASEMENTS
 - REAR: 30' OR GREATER FOR EASEMENTS
 - SIDE: 10' OR GREATER FOR EASEMENTS
 - FRONT: CYCLOC-SAC: 15' OR GREATER FOR EASEMENTS
 - REAR: CYCLOC-SAC: 15' OR GREATER FOR EASEMENTS
 - SIDE CORNER: 15' OR GREATER FOR EASEMENTS
 - SIDE CORNER: 15' OR GREATER FOR EASEMENTS
2. MINIMUM FINISHABLE FINISHED FLOOR ELEVATION: 3" ABOVE TOP OF CURB MEASURED AT FRONT OF EACH LOT.
3. ZONE X: AREAS OF ONE-YEAR FLOOD, AREA OF ONE-YEAR FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE, AND AREAS PROTECTED BY LEVEES FROM 100-YEAR FLOOD.
4. THE SUBDIVISION IS IN ZONE X-1 (SHADY). AREAS OF 30-YEAR FLOOD, AREAS OF 100-YEAR FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE, AND AREAS PROTECTED BY LEVEES FROM 100-YEAR FLOOD, IN ACCORDANCE WITH F.E.A. FROM MAP NO. 4824-H-5 (S. W. 1/4, NEAR WESTED ZONE 14, 2006).
5. BENCHMARK: RAILROAD SPIKE IN POWER POLE LOCATED AT THE N.E.C. OF THE INTERSECTION OF CHAMPAIGN ROAD AND MCCOLL ROAD. ELEVATION: 94.12. DATUM: N.A.D. 1983.
6. NO PERMANENT STRUCTURES SHALL BE ALLOWED WITHIN UTILITY EASEMENTS, DRAIN EASEMENTS, IRRIGATION EASEMENTS, LOT LINES.
7. TOTAL VOLUME REQUIRED TO DETAIN 648 ACFT. (2.175 CF.) OF STORM RUNOFF AS PER APPROVED DRAINAGE REPORT FOR MARITERRY ESTATES SUBDIVISION.
8. NO ACCESS TO LOTS 1 AND 8 FROM MAIN MON MACK ROAD IS ALLOWED.
9. A 5-FT. (4.9 FOOT SIDEWALK FOUR (4) FEET BEHIND THE BACK OF CURB IS REQUIRED ALONG MON MACK RD. AND BOTH SIDES OF WITHIN STREET. SIDEWALKS TO BE CONSTRUCTED AT BUILDING PERMIT STAGE, INCLUDING HANDICAP RAMPS IN COMPLIANCE WITH ADA STANDARDS.
10. ALL CONSTRUCTION SHALL COMPLY WITH STORMWATER POLLUTION PREVENTION PLAN (SWP) REQUIREMENTS.
11. SET NO 4 IRON NAGAR ON ALL PROPOSED LOT CORNERS.
12. PROPERTY ZONING IS AUTOMATICALLY RESIDENTIAL.
13. A SEPARATE PERMIT IS REQUIRED FOR SIDEWALKS DURING BUILDING PERMIT STAGE FOR RESIDENTIAL USE.
14. 50% OF PERCENT OF THE PARKLAND FEE WILL BE REQUIRED AT BUILDING PERMIT STAGE \$39.94.
15. NO CEDAR FENCES OR BLOCK SHALL BE ALLOTTED ON FRONT OF LOTS. (C-2002)

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEX. WATER CODE 48.201(a) THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION, BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER OF THE SUBDIVISION AND ITS ENGINEER TO MAKE THESE DETERMINATIONS.

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1

BY _____

STATE OF TEXAS
COUNTY OF HIDALGO

I, THE UNDERSIGNED, MARIO A. SALINAS, A LICENSED PROFESSIONAL ENGINEER, IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THE PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN TO THIS PLAT.

MARIO A. SALINAS
LICENSED PROFESSIONAL ENGINEER # 56611
3811 N. 10TH STREET, SUITE 11
MCALLEN, TEXAS 78501

DATE _____

THIS PLAT IS HEREBY APPROVED BY THE HIDALGO COUNTY IRRIGATION DISTRICT NO. 1 ON THIS, THE _____ DAY OF _____, 2021.

NO IMPROVEMENTS OF ANY KIND (INCLUDING WITHOUT LIMITATION, TREES, FENCES, AND BUILDINGS) SHALL BE PLACED UPON HIDALGO COUNTY IRRIGATION DISTRICT #1 RIGHTS OF WAY OR EASEMENTS.

PRECEDENT _____

ATTEST _____ SECRETARY

STATE OF TEXAS
COUNTY OF HIDALGO
I, (HE), THE UNDERSIGNED, OWNER(S) OF THE LAND SHOWN ON THIS PLAT AND DESIGNATED AS THE MARITERRY SUBDIVISION, AN ADDITION TO THE CITY OF EDINBURG, TEXAS AND WHOSE NAME(S) IS (ARE) SUBDIVISION HERETO, HEREBY DEWICATE TO THE USE OF THE PUBLIC FOR HIGHWAY, ALLEYS, PARKS, WATERCOURSES, DRAINS, EASEMENTS AND PUBLIC PLACES THEREON SHOWN FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED.

COBAS, LLC
BY: CONSTANTINE CHADOR, MANAGER
814 N. 3 RD. LN.
MCALLEN, TEXAS 78504

DATE _____

STATE OF TEXAS
COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED _____, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE (SHE) EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATION THEREIN STATED, GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS THE _____ DAY OF _____, 2021.

NOTARY PUBLIC _____ DATE _____

STATE OF TEXAS
COUNTY OF HIDALGO

I (WE) THE UNDERSIGNED HOLDER(S) (OR DULY AUTHORIZED OFFICER(S) OF THE HOLDER(S)) OF A SECURITY INSTRUMENT IN THE ABOVE DESCRIBED PROPERTY, BEING THE LAND SHOWN ON THIS PLAT AND DESIGNATED HEREIN AS MARITERRY SUBDIVISION, IN THE CITY OF EDINBURG, TEXAS, DO HEREBY CONSENT TO THE SUBDIVISION OF THE PROPERTY AS PROVIDED FOR UNDER THE PLAT AND DO HEREBY PROVIDE THAT ANY FORECLOSURE RELATING TO THE SECURITY INTEREST ON THE ABOVE DESCRIBED PROPERTY SHALL BE SUBJECT TO THE PLATING OF THE PROPERTY AS PROVIDED FOR HEREIN.

BY: _____ DATE _____

LONG STAR NATIONAL BANK
P.O. BOX 4169
MCALLEN, TEXAS 78502-4169

STATE OF TEXAS
COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED _____ OF LONG STAR NATIONAL BANK, A STATE BANKING CORPORATION, ON BEHALF OF SAID CORPORATION.

NOTARY PUBLIC _____ DATE _____

I, THE UNDERSIGNED, CHAIRPERSON OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF EDINBURG, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT KNOWN AS MARITERRY SUBDIVISION CONFORMS TO ALL REQUIREMENTS OF SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED AND HAS BEEN APPROVED FOR RECORDING ON THE _____ DAY OF _____, 20____.

CHAIRPERSON, PLANNING & ZONING COMMISSION _____ DATE _____

I, THE UNDERSIGNED MAYOR OF THE CITY OF EDINBURG, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS

MAYOR, CITY OF EDINBURG _____ DATE _____

STATE OF TEXAS
COUNTY OF HIDALGO

I, THE UNDERSIGNED, DAVID D. SALINAS, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECTLY MADE AND IS PREPARED FROM AN ACTUAL SURVEY ON THE PROPERTY MADE UNDER MY SUPERVISION ON THE DATES AND THAT THE CORNER MONUMENTS WERE PROPERLY PLACED UNDER MY SUPERVISION AND THAT ALL ASPECTS OF IT ARE IN ACCORDANCE WITH THE CITY OF EDINBURG SUBDIVISION ORDINANCE AND ALL STATE STATUTES GOVERNING SURVEYS.

SALINAS ENGINEERING & ASSOCIATES
CONSULTING ENGINEERS & SURVEYORS
2221 BAYVIEW AVE.
MCALLEN, TEXAS 78501

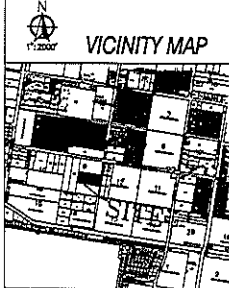
DATE _____

DATE OF PREPARATION: MARCH 23, 2021

MAS ENGINEERING LLC.
CONSULTING ENGINEERING
FIRM NO. F-15499

3911 N. 10TH STREET, SUITE H
MCALLEN, TEXAS, 78501

PH. (956) 537-1311
E-MAIL: MSALINAS6973@ATT.NET



PAID FOR RECORD IN
HIDALGO COUNTY
AUDITOR GENERAL J. R.
HIDALGO COUNTY CLERK

ON _____ A.M./P.M.
INSTRUMENT NUMBER _____
OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS

BY _____ DEPUTY



Planning & Zoning Department
415 W. University Dr.
(956) 388-8202

SUBDIVISION APPLICATION

1. Nature of Request (circle one or more):

- Preliminary Plat () Final Plat () Amended Plat
- () Development Plat () Vacating Plat () Minor Plat
- () Concept Plan () 3 1/2 Mile E.T.J. Plat () Re-Plat

2. Exact name of proposed subdivision: Mariterry Estates Subdivision

3. Legal Description: _____

4. Zoning: Present: Aggricultural Required: Single Family

5. Inside city limits? Yes () No

If outside, is the proposed subdivision within the: (Circle one)

- () Comprehensive Development Area () Rural Development Area

6. Primary consulting firm: MAS Engineering, LLC

Email: msalinas6973@att.net

Phone: (956) 577-1341 Address: 2600 San Roman Mission Rd 78572

7. Proposed method of liquid waste disposal:

- Sanitary Sewer () OSSF – On-Site Sewage Facility

8. Desired land use options:

- Single Family () Twin House () Patio Homes () Townhouse
- () Lot-Line House () Village House () Duplex () Atrium
- () Multiplex () Multi-Family () Duplex Townhouse () Roof Deck
- () Mobile Homes () Manufactured Home () Commercial () Industrial

9. Number of lots: 8

Residential: Commercial: _____ Multi-Family: _____ Industrial: _____

10. Electric power and light company to serve the proposed subdivision (circle one):

- () AEP (Central Power & Light) Magic Valley Electric Co-op

11. Irrigation District:

- Hidalgo County Irrigation District No. 1 () Santa Cruz Irrigation District No. 15
- () Hidalgo County Irrigation District No. 2 () Other: _____



ENGINEERING DEPARTMENT

Preliminary Staff Review

April 28, 2021

Mario Salinas, P.E.

MAS Engineering
3911 N. 10th Street, Suite H
McAllen, TX 785501
(956) 537-1311

RE: MARITERRY ESTATES SUBDIVISION – PRELIMINARY REVIEW

Mr. Salinas,

Attached are the Preliminary Phase Submittal comments for Mariterry Estates Subdivision.

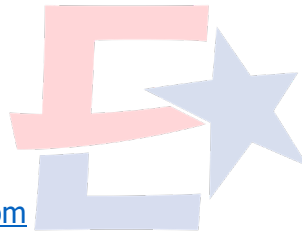
Any questions feel free to contact us.

Thanks,

Peter Hermida, EIT

Email: pthermida@cityofedinburg.com

415 W. University Drive
Edinburg, Texas 78539



Cc: Mardoqueo Hinojosa, P.E., CFM, City Engineer, Patrizia Longoria, Engineer III, Abel Beltran, Subdivision Coordinator, Vince Romero, Director of Public Works, Robert Valenzuela, Storm Water Specialist, Kimberly Mendoza, Director of Planning and Zoning, Rita Guerrero, Urban Planner, Jessica Ramirez, Urban Planner, Arturo Martinez, Director of Utilities, Jose Flores, Systems Superintendent, Omar Garza, Fire Marshal

REFERENCES:

City of Edinburg – 2014 Standard Manual – Construction and Development Requirements;
Unified Development Code; and if required a TX-Dot Permitting UIR permitting process.



415 W University Dr. • Edinburg, TX 78539 • (956) 388-8211

Trip Generation Worksheet

Subdivision Name: _____

Project Location: _____

(select one) C.O.E Edinburg ETJ

Applicant: _____ Owner Agent

Address: _____

Email: _____ Phone: _____

Date: _____

Proposed Type of Development

New Development Re-Development Additional Development

Anticipated Land Use	Project Size			AM Peak Hour Trips	PM Peak Hour Trips	Weekday Trips	Wknd Trips	ITE Code
	Acres	GFA	# of Units					

*Multibuilding development or Master Plan-Multi Phase developments, please submit a tabulation sheet showing all proposed land uses

Previous TIA Report (if on file) TIA # _____

Peak Hour Trips Projected in TIA on file	Peak Hour Trips Projected in Updated Development Plan

Difference in PHT (Proposed PHT - Previous Development PHT or TIA PHT)

Increase in Peak Hour Trips
(if an increase of 76 PHT or an increase of 10% of the total PHT, a new TIA is required)

(For Official Use Only, Do Not Write In This Box)

_____ A TIA is required. The individual preparing the study must meet with City staff to discuss the scope and requirements of the study before beginning the study.

_____ A TIA is **not required**. The traffic generated by the proposed development does not exceed the threshold requirements.

Comments: _____

Reviewed by: _____ Date: _____

NOTE: GFA = Gross Floor Area (bldg. size)

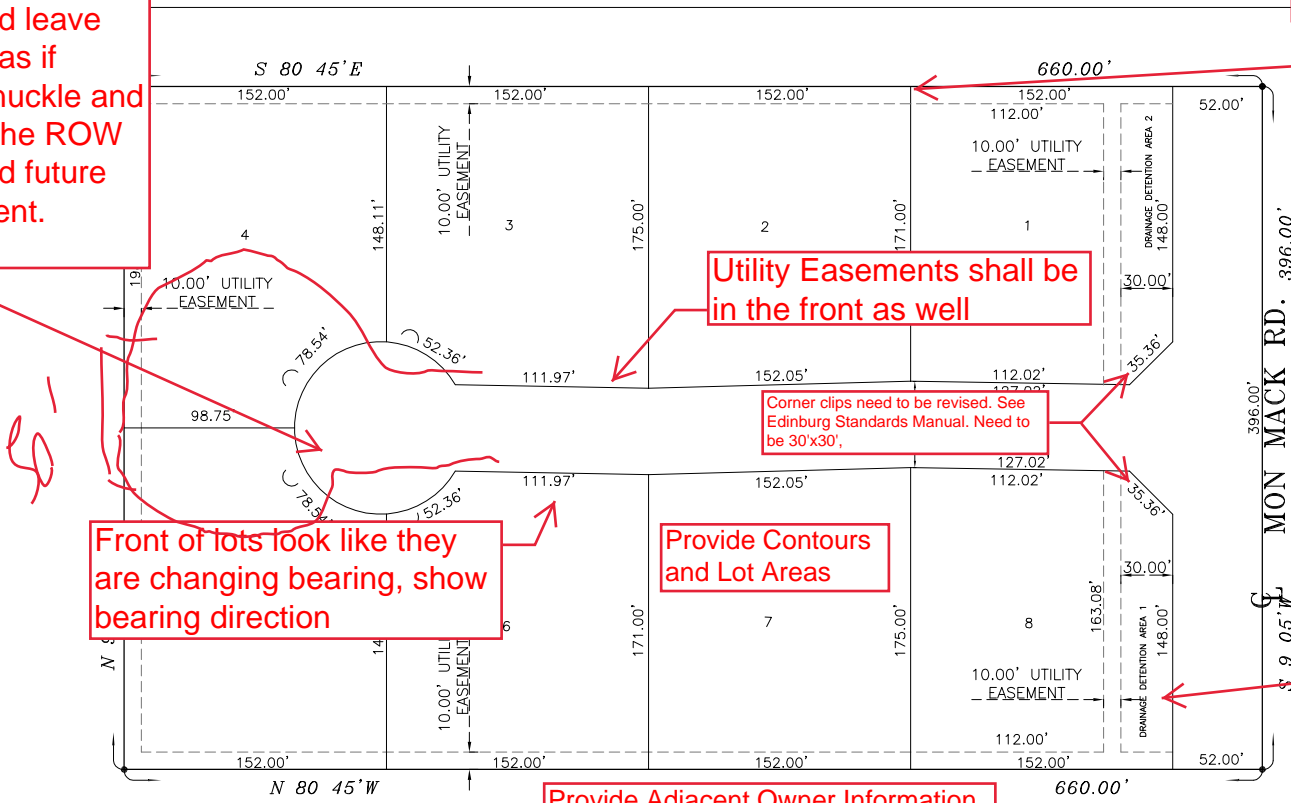
TIA = Traffic Impact Analysis

ITE = Institute of Transportation Engineers, Trip Generation, 10th Edition

Extend CuDeSac to the end of the property and leave extensions as if leaving a knuckle and continuing the ROW for proposed future development.

provide lot pins

1. Verify Metes & Bounds. Bearings description do not match the plat.
2. Show Point of Commencement (P.O.C) and Point of Beginning (P.O.B) on plat along with GPS coordinates (northing & easting). POC Must begin from an Original Farm Tract
2. Water line system must loop.
3. Provide Drainage & Paving Layout
4. Provide Topography & Elevations layout.
5. Provide Erosion Control Layout.
6. Provide Drainage Areas Layout.
7. Provide Proposed Street Layout.
8. All materials shall be domestic.
9. All pipes shall have a minimum cover of 3'.
10. All ring and covers shall be 32" in diameter and the covers shall have the City of Edinburg logo.
11. Any public infrastructure that corresponds to the city of Edinburg CCN or is installed within City of Edinburg ROW will be required to pass density testing. A 3% material testing fee will be needed if density testing is determined to be required.
12. Submit Trip Generation Worksheet (attached at the end of this document).



MAP OF MARITERRY ESTATES SUBDIVISION



THE NORTH 6.00 ACRES OUT OF THE SOUTH 12.00 ACRES OF THE EAST 1/2 OF LOT 9, SECTION 278, TEXAS-MEXICAN RAILWAY COMPANY SURVEY, HIDALGO COUNTY, TEXAS, AS PER MAP OR PLAT THEREOF RECORDED IN DEED RECORDS, HIDALGO COUNTY, TEXAS, SAID TRACT OF LAND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

COMMENCING AT A FOUND COTTON PICKER SPINDLE AT THE SOUTHEAST CORNER OF SAID LOT 9, SAID CORNER LIES ON THE CENTERLINE OF SOUTH MON MACK ROAD;

THENCE, NORTH 09 DEGREE 05 MINUTES EAST, ALONG THE EAST LINE OF SAID LOT 9, AND THE CENTERLINE OF SOUTH MON MACK ROAD, A DISTANCE

OF 20.0 FEET PASS A SET 1/2-INCH IRON WAY LINE OF SOUTH MON MACK ROAD, AT A SET IN ALL TO A SET 1/2-INCH IRON ROD FOR THIS TRACT;

THENCE, NORTH 09 DEGREES 05 MINUTES EAST, PARALLEL TO THE EAST LINE OF SAID LOT 9, A DISTANCE 396.0 FEET TO A FOUND 5/8-INCH IRON PIPE FOR THE NORTHWEST CORNER OF THIS TRACT;

THENCE, SOUTH 80 DEGREES 45 MINUTES EAST, PARALLEL TO THE SOUTH LINE OF SAID LOT 9, A DISTANCE OF 640.0 FEET PASS A FOUND 5/8-INCH IRON PIPE ON THE WEST RIGHT-OF-WAYLINE OF SOUTH MON MACK ROAD, AT A TOTAL DISTANCE OF 660.0 FEET IN ALL TO A POINT ON THE EAST LINE OF SAID LOT 9, AND THE CENTERLINE OF SOUTH MON MACK ROAD, FOR THE NORTHEAST CORNER OF THIS TRACT;

THENCE SOUTH 09 DEGREES 05 MINUTES WEST, ALONG THE EAST LINE OF SAID LOT 9, AND THE CENTERLINE OF SOUTH MON MACK ROAD, A DISTANCE OF 396.0 FEET TO THE POINT OF BEGINNING, CONTAINING 6.00 ACRES OF LAND, MORE OR LESS, OF WHICH 0.18 ACRE OF LAND LIES IN EXISTING ROAD RIGHT-OF-WAY.

Fix Scale. Currently set at 1" = 111.35' for this page (typ.)

Utility Easements shall be in the front as well

Corner clips need to be revised. See Edinburg Standards Manual. Need to be 30'x30'

Front of lots look like they are changing bearing, show bearing direction

Provide Contours and Lot Areas

Provide Full ROW Width, CL and other side of CL

Is this drainage area a lot or an easement? there must be a general note that maintenance will go to the owner.

Provide Adjacent Owner Information from all sides and their lot lines

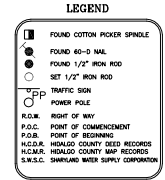
GENERAL NOTES:

1. SUBDIVISION LOTS ARE DESIGNED FOR RESIDENTIAL PROPOSED SETBACKS FOR AUTO-URBAN RESIDENTIAL ZONED LOTS AS PER THE FOLLOWING:
FRONT 20' OR GREATER FOR EASEMENTS
REAR 20' OR GREATER FOR EASEMENTS
SIDE 06' OR GREATER FOR EASEMENTS
FRONT CUL-DE-SAC 15' OR GREATER FOR EASEMENTS
REAR CUL-DE-SAC 15' OR GREATER FOR EASEMENTS
SIDE CORNER 10' OR GREATER FOR EASEMENTS
SIDE CORNER GARAGE 18' OR GREATER FOR EASEMENTS
2. MINIMUM PERMISSIBLE FINISHED FLOOR ELEVATION: 24" ABOVE TOP OF CURB MEASURED AT FRONT OF EACH LOT.
3. ZONE X: AREAS OF 500-YEAR FLOOD; AREA OF 100-YEAR FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 100-YEAR FLOOD
4. THE SUBDIVISION IS IN "ZONE X-SHADED"; AREAS OF 500-YEAR FLOOD; AREAS OF 100-YEAR FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 100-YEAR FLOOD, IN ACCORDANCE WITH F.E.M.A. FIRM MAP NO. 480334 0325 D, MAP REVISED JUNE 06, 2000.
5. BENCHMARK: RAILROAD SPIKE IN POWER POLE LOCATED AT THE N.E.C. OF THE INTERSECTION OF CHAPIN ROAD AND McCOLL ROAD. ELEVATION: 96.12 DATUM: N.A.D. 1983
6. NO PERMANENT STRUCTURES SHALL BE ALLOWED WITHIN UTILITY EASEMENTS, GAS EASEMENTS, IRRIGATION EASEMENTS, LOT LINES.
7. TOTAL VOLUME REQUIRED TO DETAIN 0.65 AC-FT (28,375 C.F.) OF STORM RUNOFF AS PER APPROVED DRAINAGE REPORT FOR MARITERRY ESTATES SUBDIVISION.
8. NO ACCESS TO LOTS 1 AND 8 FROM MONMACK ROAD IS ALLOWED.
9. A FOUR (4.0) FOOT SIDEWALK FOUR (4.0) FEET BEHIND THE BACK OF CURB IS REQUIRED ALONG MON MACK RD. AND BOTH SIDES OF INTERIOR STREET. SIDEWALKS TO BE CONSTRUCTED AT BUILDING PERMIT STAGE, INCLUDING HANDICAP RAMPS IN COMPLIANCE WITH ADA STANDARDS.
10. ALL CONSTRUCTION SHALL COMPLY WITH STORMWATER POLLUTION PREVENTION PLAN (SW3P REQUIREMENTS).
11. SET NO 4 IRON REBAR ON ALL PROPOSED LOT CORNERS
12. PROPERTY ZONING IS AUTO-URBAN RESIDENTIAL
13. A SEPARATE PERMIT IS REQUIRED FOR SIDEWALKS DURING BUILDING PERMIT STAGE FOR RESIDENTIAL USE.
14. 50% OF PERCENT OF THE PARKLAND FEE WILL BE REQUIRED AT BUILDING PERMIT STAGE \$300.00
15. NO CEDAR FENCE OR BLOCK SHALL BE ALLOWED ON FRONT OF LOTS - (OPAQUE)

FEMA Community Firm Map 480338 0030E Map Revised June 6, 2000 Revised to reflect LOMR date May 14, 2001 Update drainage report as well.

A Five (5.0) foot sidewalk is required along Mon Mack Rd. Please refer to Edinburg Standards Manual. Add "with ADA Ramps"

15. All lots must have a 1% grade from rear of lot to street to provide positive drainage.



HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEX. WATER CODE 49.211(c) THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION, BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER OF THE SUBDIVISION AND ITS ENGINEER TO MAKE THESE DETERMINATIONS.

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1

BY: _____

STATE OF TEXAS
COUNTY OF HIDALGO

I, THE UNDERSIGNED, MARIO A. SALINAS, A LICENSED PROFESSIONAL ENGINEER, IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THE PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN TO THIS PLAT.

MARIO A. SALINAS
LICENSED PROFESSIONAL ENGINEER # 96611
3911 N. 10TH STREET, SUITE H
MCALLEN, TEXAS 78501

DATE

THIS PLAT IS HEREBY APPROVED BY THE HIDALGO COUNTY IRRIGATION DISTRICT No. 1 ON THIS, THE _____ DAY OF _____, 2021.

NO IMPROVEMENTS OF ANY KIND (INCLUDING WITHOUT LIMITATION, TRESS, FENCES, AND BUILDINGS SHALL BE PLACED UPON HIDALGO COUNTY IRRIGATION DISTRICT #1 RIGHTS OF WAYS OR EASEMENTS.

PRESIDENT SECRETARY

COUNTY OF HIDALGO

I, THE UNDERSIGNED HOLDER(S) (OR DULY AUTHORIZED OFFICERS OF THE HOLDER(S)) OF A SECURITY INTEREST IN THE ABOVE DESCRIBED PROPERTY, BEING THE LAND SHOWN ON THIS PLAT AND DESIGNATED HEREIN AS MARITERRY SUBDIVISION IN THE CITY OF EDINBURG, TEXAS, DO HEREBY CONSENT TO THE SUBDIVISION OF THE PROPERTY AS PROVIDED FOR UNDER THE PLAT AND DO HEREBY PROVIDE THAT ANY FORECLOSURE RELATING TO THE SECURITY INTEREST ON THE ABOVE DESCRIBED PROPERTY SHALL BE SUBJECT TO THE PLATTING OF THE PROPERTY AS PROVIDED FOR HEREIN.

BY:

LONE STAR NATIONAL BANK
P.O. BOX 4169
MCALLEN, TEXAS 78502-4169

STATE OF TEXAS
COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED _____ OF LONE STAR NATIONAL BANK, A STATE BANKING CORPORATION, ON BEHALF OF SAID CORPORATION.

NOTARY PUBLIC

I, THE UNDERSIGNED, CHAIRPERSON OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF EDINBURG, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT KNOWN AS MARITERRY SUBDIVISION, CONFORMS TO ALL REQUIREMENTS THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED AND HAS BEEN APPROVED FOR RECORDING ON THE _____ DAY OF _____, 20____.

CHAIRPERSON, PLANNING & ZONING COMMISSION

DATE

I, THE UNDERSIGNED MAYOR OF THE CITY OF EDINBURG, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF SUBDIVISION REGULATIONS OF THIS CITY WHERE IN MY APPROVAL IS

MAYOR, CITY OF EDINBURG

DATE

STATE OF TEXAS
COUNTY OF HIDALGO

I, THE UNDERSIGNED, DAVID O. SALINAS, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECTLY MADE AND IS PREPARE FROM AN ACTUAL SURVEY ON THE PROPERTY MADE UNDER MY SUPERVISION ON THE GROUND AND THAT THE CORNER MONUMENTS WERE PROPERLY PLACED UNDER MY SUPERVISION AND THAT ALL ASPECTS OF IT ARE IN ACCORDANCE WITH THE CITY OF EDINBURG SUBDIVISION ORDINANCE AND ALL STATE STATUTES GOVERNING SURVEYS.

SALINAS ENGINEERING & ASSOCIATES
CONSULTING ENGINEERS & SURVEYORS
2221 DAFFOIL AVE.
MCALLEN, TEXAS 78501

DATE

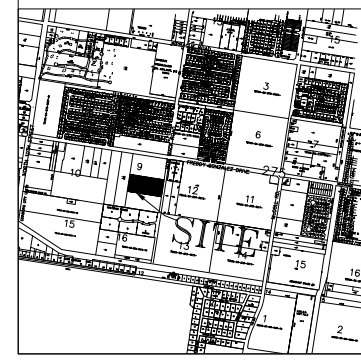
DATE OF PREPARATION: MARCH 25, 2021

MAS ENGINEERING LLC.

CONSULTING ENGINEERING
FIRM NO. F-15499

3911 N. 10TH STREET, SUITE H
MCALLEN, TEXAS. 78501

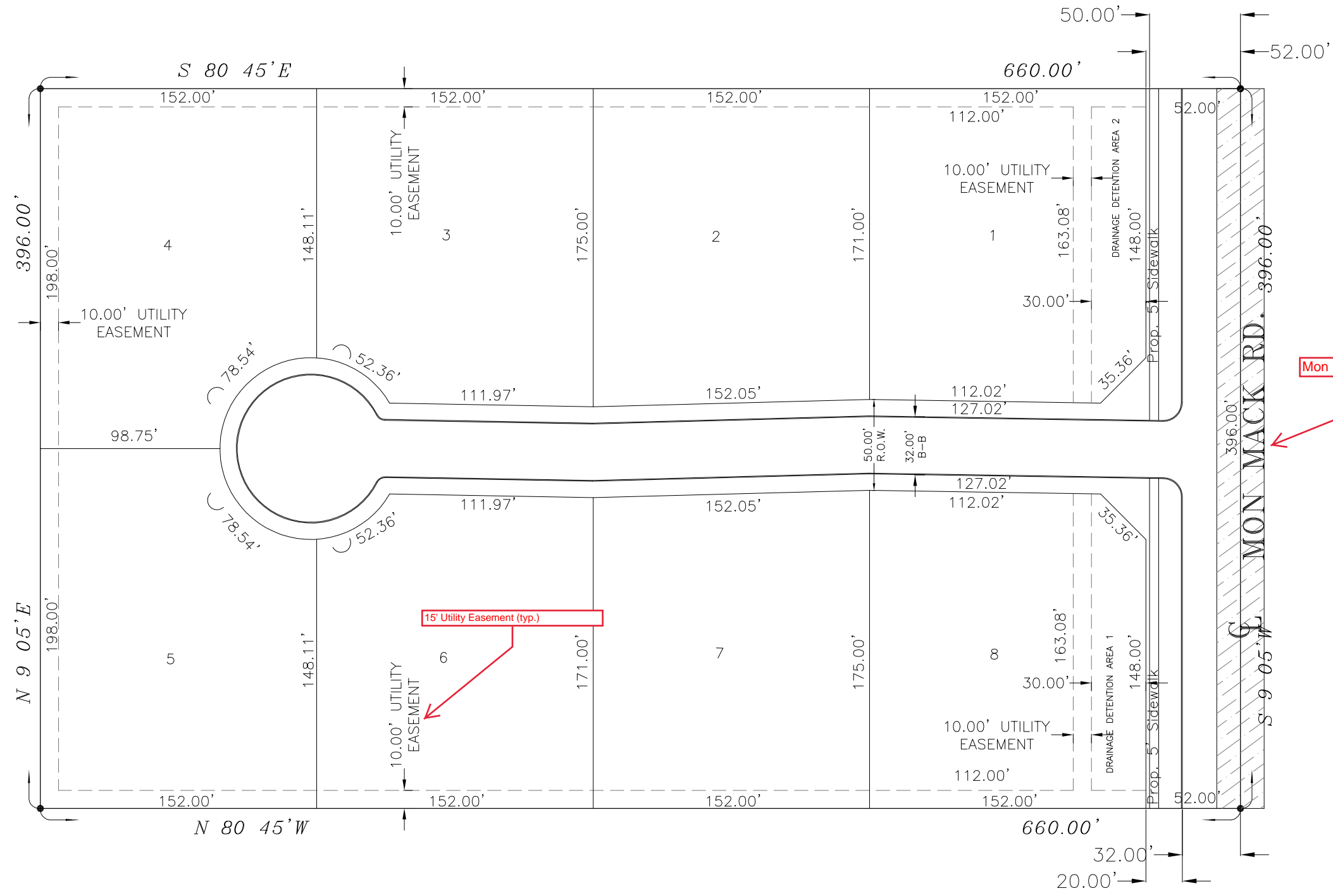
PH. (956) 537-1311
E-MAIL: MSALINAS6973@ATT.NET



FILED FOR RECORD IN
HIDALGO COUNTY
ARTURO GUJARDO, JR.
HIDALGO COUNTY CLERK

ON: _____ AT _____ AM/PM
INSTRUMENT NUMBER _____
OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS

BY: _____ DEPUTY



Mon Mack Final ROW is 80'

15' Utility Easement (typ.)

LEGEND

●	FOUND 1/2" IRON ROD
○	SET 1/2" IRON ROD WITH YELLOW CAP MARKED "SEA 5782"
R.O.W.	RIGHT OF WAY
P-B	PROPERTY LINE TO BACK OF CURB
B-B	BACK OF CURB TO BACK OF CURB
⊗WV	WATER VALVE
⊗SP	SINGLE POLE SIGN (TYPE ON PLAN)
⊗SMH	SANITARY SEWER MANHOLE
⊗SDMH	STORM DRAIN MANHOLE
⊗X	FIRE HYDRANT

PROJECT NAME:	MARITERRY ESTATES SUBDIVISION
ADDRESS:	MON MACK RD. EDINBURG TX.
CLIENT INFORMATION:	COHAB LLC.

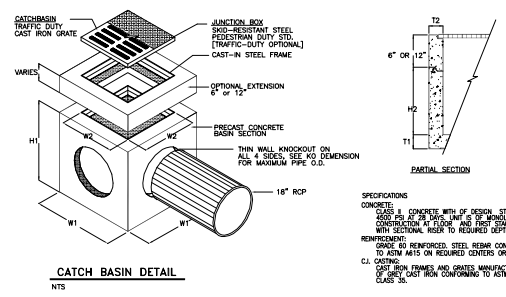
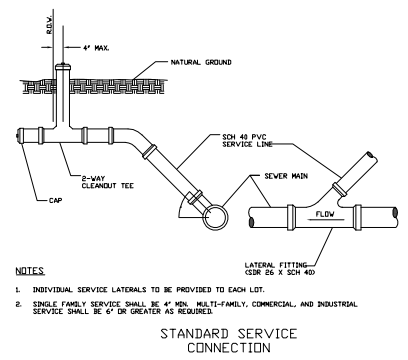
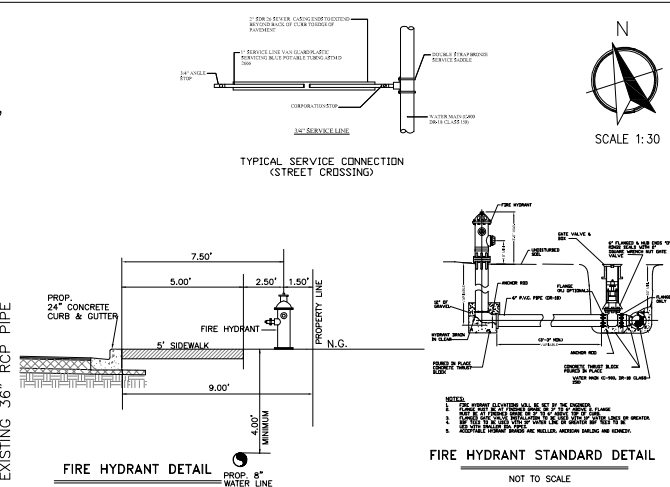
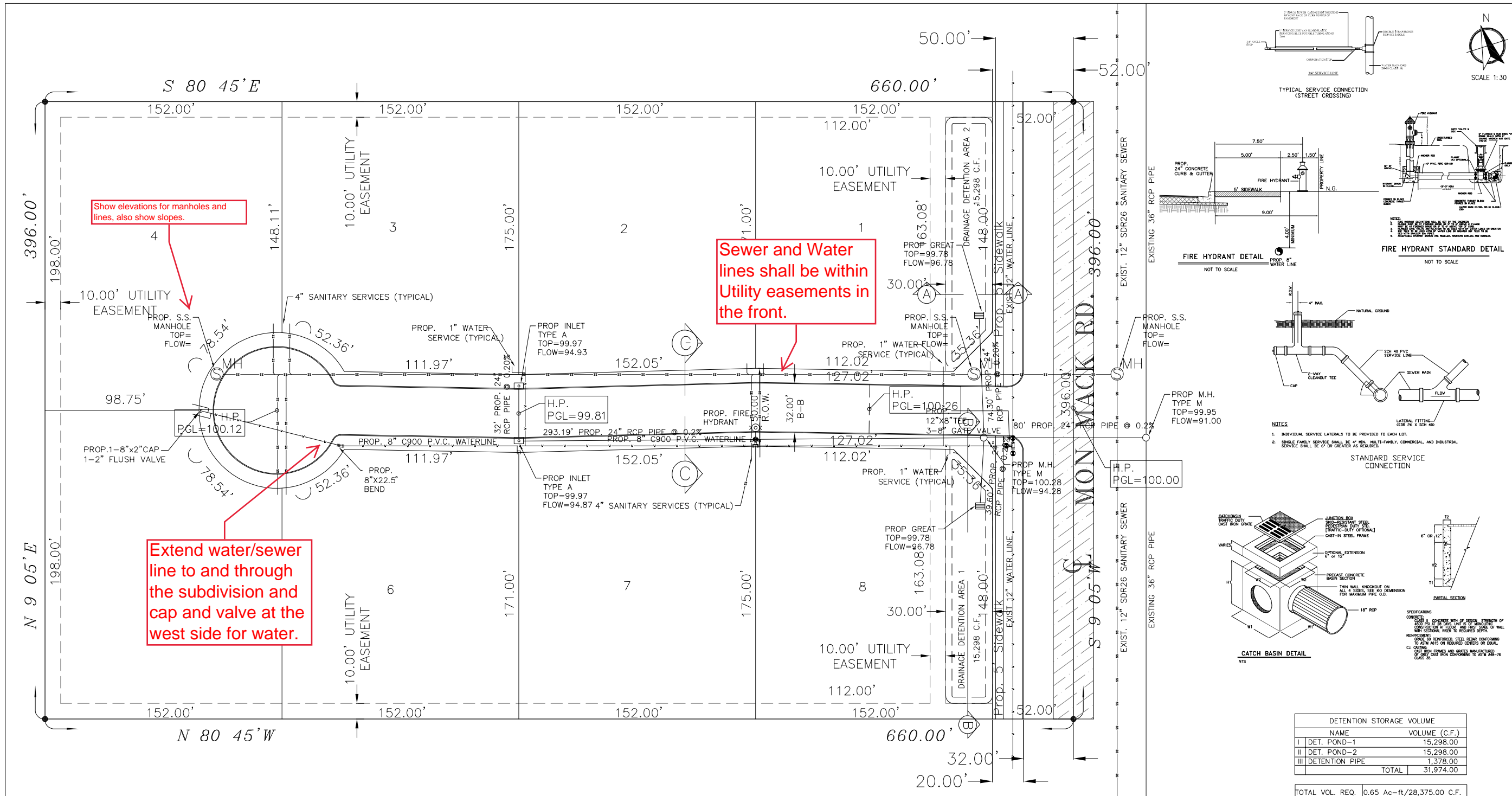
MAS ENGINEERING LLC.
CONSULTING ENGINEERING
FIRM NO. F-15499

3911 N. 10TH STREET, SUITE H
MCALLEN, TEXAS. 78501

PH: (956) 537-1311
E-MAIL: MSALINAS6973@ATT.NET

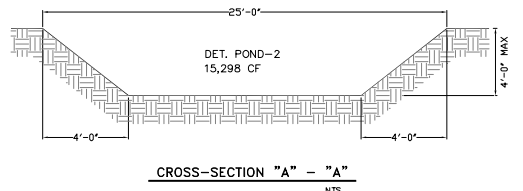
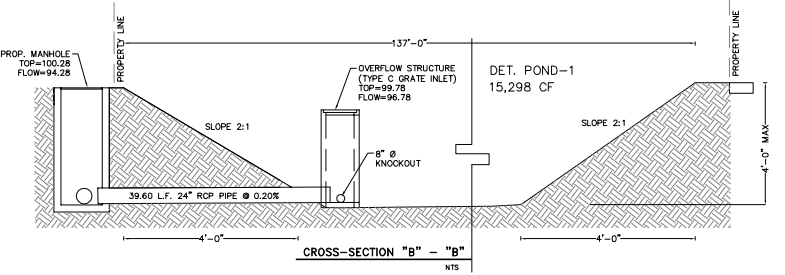
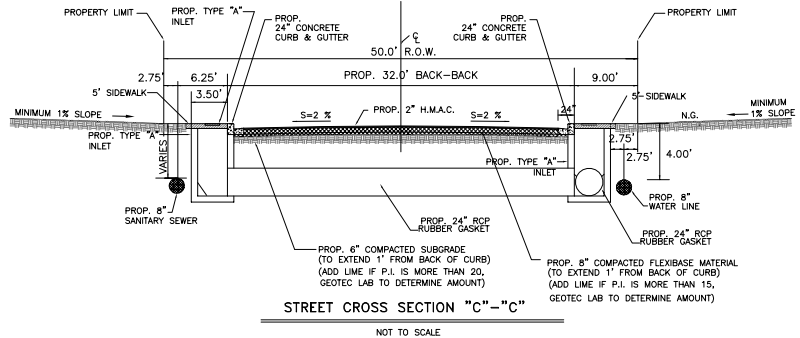
THIS IS THE PROPERTY OF THE PROFESSIONAL ENGINEER WHOSE SEAL APPEARS ON THIS DRAWING AND IT IS UNLAWFUL TO REUSE THIS DRAWING ON ANY OTHER PROJECT, OR TO COPY, TRACE OR IN ANY OTHER WAY, REPRODUCE ANY OR ALL PARTS OF THIS DRAWING WITHOUT THE WRITTEN CONSENT OF THE ENGINEER.

SHEET NAME:		SITE PLAN	
REVISION:	BY:	APPROVED BY:	
1	JB	MAS	
DATE OF PREPARATION:			
03-31-2021			
PROJECT No.	SHEET No.		
	C-1		



DETENTION STORAGE VOLUME	
NAME	VOLUME (C.F.)
I DET. POND-1	15,298.00
II DET. POND-2	15,298.00
III DETENTION PIPE	1,378.00
TOTAL	31,974.00

TOTAL VOL. REQ.	0.65 Ac-ft/28,375.00 C.F.
TOTAL VOL. PROV.	0.73 Ac-ft/31,974.00 C.F.



LEGEND

- FOUND 1/2" IRON ROD
- SET 1/2" IRON ROD WITH YELLOW CAP MARKED "SEA 5782"
- R.O.W. RIGHT OF WAY
- P-B PROPERTY LINE TO BACK OF CURB
- B-B BACK OF CURB TO BACK OF CURB
- ⊗ WV WATER VALVE
- SPH SINGLE POLE SIGN (TYPE ON PLAN)
- SMH SANITARY SEWER MANHOLE
- SDH STORM DRAIN MANHOLE
- ⊗ FH FIRE HYDRANT

MAS ENGINEERING LLC.
CONSULTING ENGINEERING
FIRM NO. F-15499

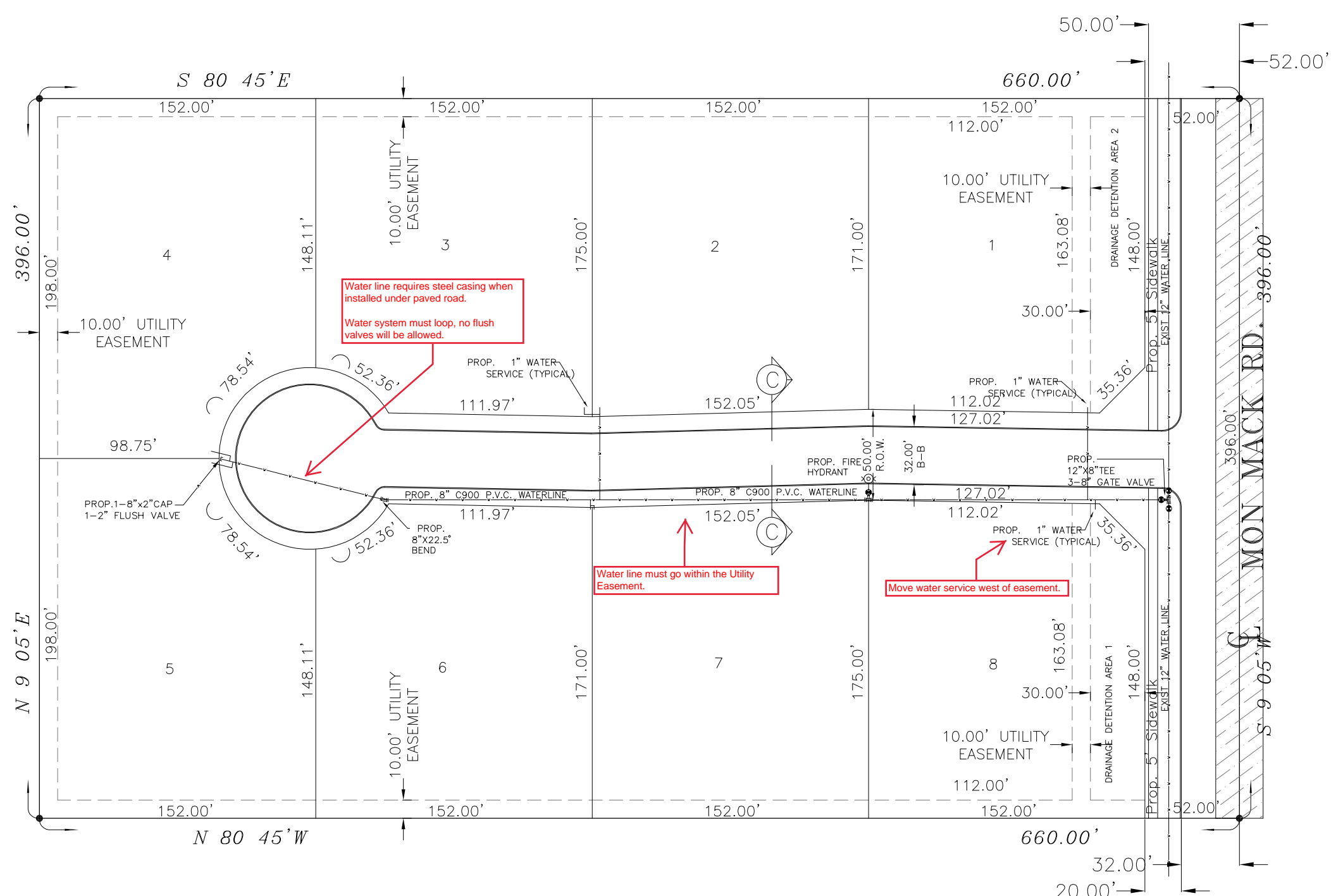
PROJECT NAME: MARIERRY ESTATES SUBDIVISION
ADDRESS: MON MACK RD., EDINBURG TX.
CLIENT INFORMATION: COHAB LLC.

PH: (956) 537-1311
E-MAIL: MSALINAS6973@ATT.NET

3911 N. 10TH STREET, SUITE H
MCALLEN, TEXAS: 78501

SHEET NAME: UTILITIES PLAN
REVISION: 1 BY: JB APPROVED BY: MAS
DATE OF PREPARATION: 03-31-2021
PROJECT No. SHEET No. C-0.1

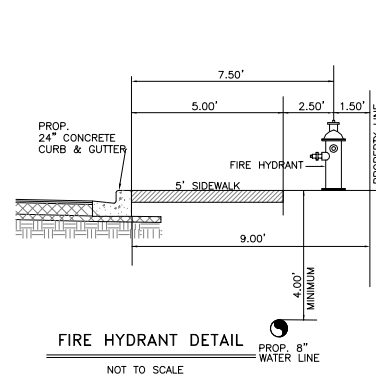
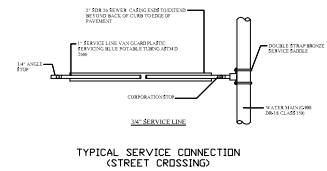
THIS IS THE PROPERTY OF THE PROFESSIONAL ENGINEER WHOSE SEAL APPEARS ON THIS DRAWING AND IT IS UNLAWFUL TO REUSE THIS DRAWING ON ANY OTHER PROJECT, OR TO COPY, TRACE OR IN ANY OTHER WAY, REPRODUCE ANY OR ALL PARTS OF THIS DRAWING WITHOUT THE WRITTEN CONSENT OF THE ENGINEER.



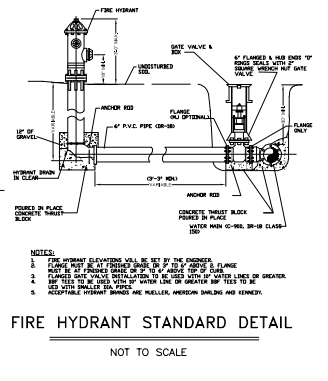
Water line requires steel casing when installed under paved road.
Water system must loop, no flush valves will be allowed.

Water line must go within the Utility Easement.

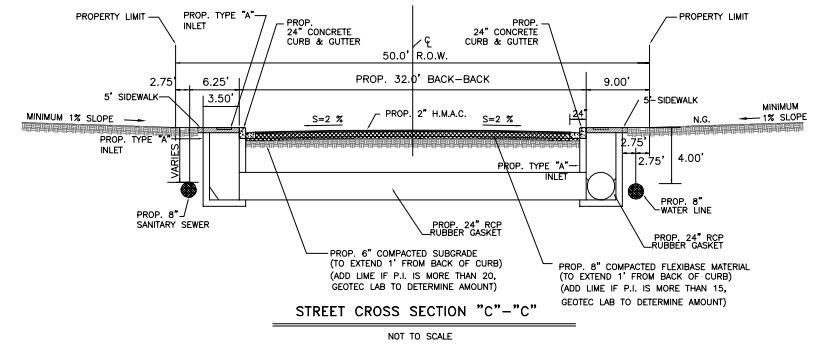
Move water service west of easement.



FIRE HYDRANT DETAIL
NOT TO SCALE



FIRE HYDRANT STANDARD DETAIL
NOT TO SCALE



STREET CROSS SECTION "C"-"C"
NOT TO SCALE

Fix legend to accurately represent symbols on plat.

LEGEND	
●	FOUND 1/2" IRON ROD
○	SET 1/2" IRON ROD WITH YELLOW CAP MARKED "SEA 5782"
R.O.W.	RIGHT OF WAY
P-B	PROPERTY LINE TO BACK OF CURB
B-B	BACK OF CURB TO BACK OF CURB
⊗	WATER VALVE
⊖	SINGLE POLE SIGN (TYPE ON PLAN)
⊙	SANITARY SEWER MANHOLE
⊙	STORM DRAIN MANHOLE
⊗	FIRE HYDRANT

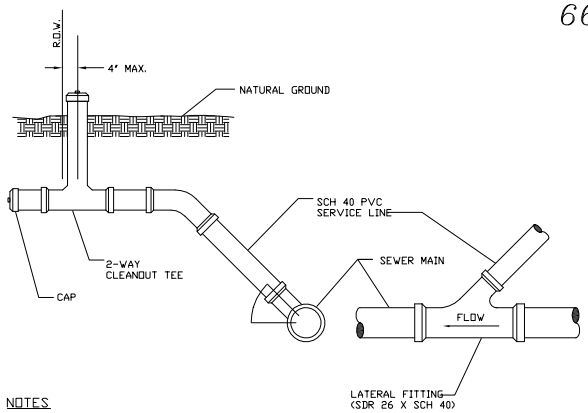
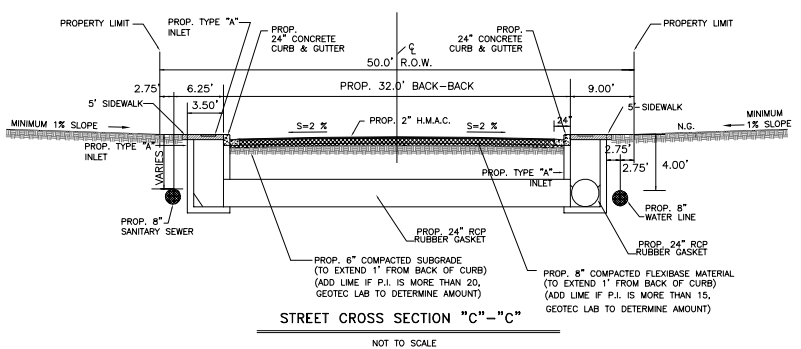
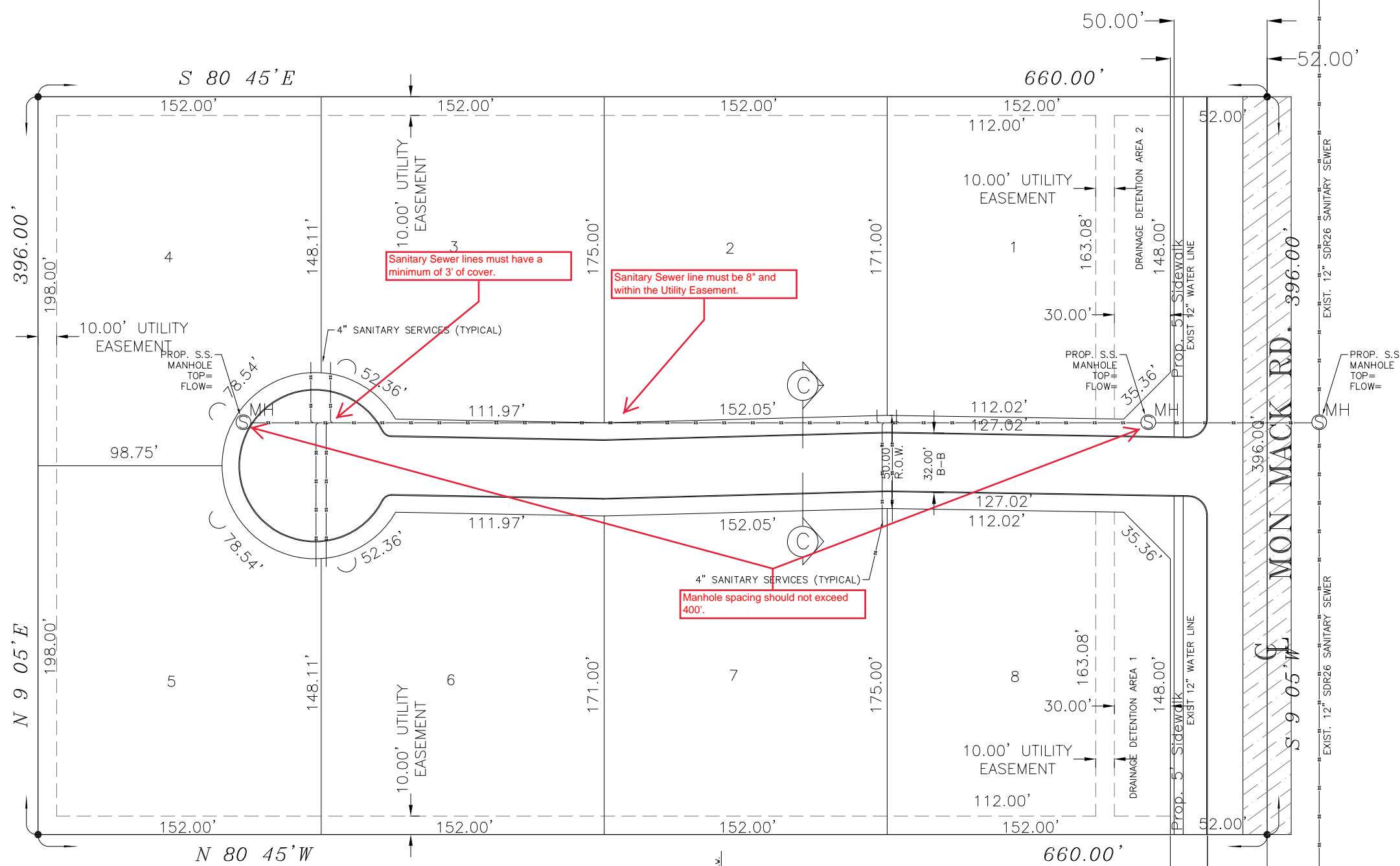
PRELIMINARY, FOR CITY REVIEW ONLY

PROJECT NAME:	MARITERRY ESTATES SUBDIVISION
ADDRESS:	MON MACK RD. EDINBURG TX.
CLIENT INFORMATION:	COHAB LLC.

MAS ENGINEERING LLC. CONSULTING ENGINEERING	
FIRM NO. F-15499	PH: (956) 537-1311 E-MAIL: MSALINAS6973@ATT.NET

3911 N 10TH STREET, SUITE H MCALLEN, TEXAS 78501	
THIS IS THE PROPERTY OF THE PROFESSIONAL ENGINEER WHOSE SEAL APPEARS ON THIS DRAWING AND IT IS UNLAWFUL TO REUSE THIS DRAWING ON ANY OTHER PROJECT, OR TO COPY, TRACE OR IN ANY OTHER WAY, REPRODUCE ANY OR ALL PARTS OF THIS DRAWING WITHOUT THE WRITTEN CONSENT OF THE ENGINEER.	

SHEET NAME:	WATER PLAN	
REVISION:	BY:	APPROVED BY:
1	JB	MAS
DATE OF PREPARATION:	03-31-2021	
PROJECT No.	SHEET No.	
	C-2	



- NOTES**
- INDIVIDUAL SERVICE LATERALS TO BE PROVIDED TO EACH LTD.
 - SINGLE FAMILY SERVICE SHALL BE 4" MIN. MULTI-FAMILY, COMMERCIAL, AND INDUSTRIAL SERVICE SHALL BE 6" OR GREATER AS REQUIRED.

LEGEND

- FOUND 1/2" IRON ROD
- SET 1/2" IRON ROD WITH YELLOW CAP MARKED "SEA 5782"
- R.O.W. RIGHT OF WAY
- P-B PROPERTY LINE TO BACK OF CURB
- B-B BACK OF CURB TO BACK OF CURB
- ⊗ WV WATER VALVE
- ⊖ MH SINGLE POLE SIGN (TYPE ON PLAN)
- ⊙ MH SANITARY SEWER MANHOLE
- ⊙ MH STORM DRAIN MANHOLE
- ⊗ X FIRE HYDRANT

PROJECT NAME: MARITERRY ESTATES SUBDIVISION

ADDRESS: MON MACK RD. EDINBURG TX.

CLIENT INFORMATION: COHAB LLC.

MAS ENGINEERING LLC.
CONSULTING ENGINEERING
FIRM NO. F-15499

3911 N 10TH STREET, SUITE H
MCALLEN, TEXAS 78501

PH: (956) 537-1311
E-MAIL: MSALINAS6973@ATT.NET

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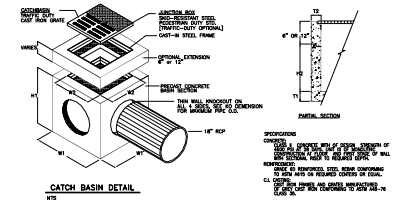
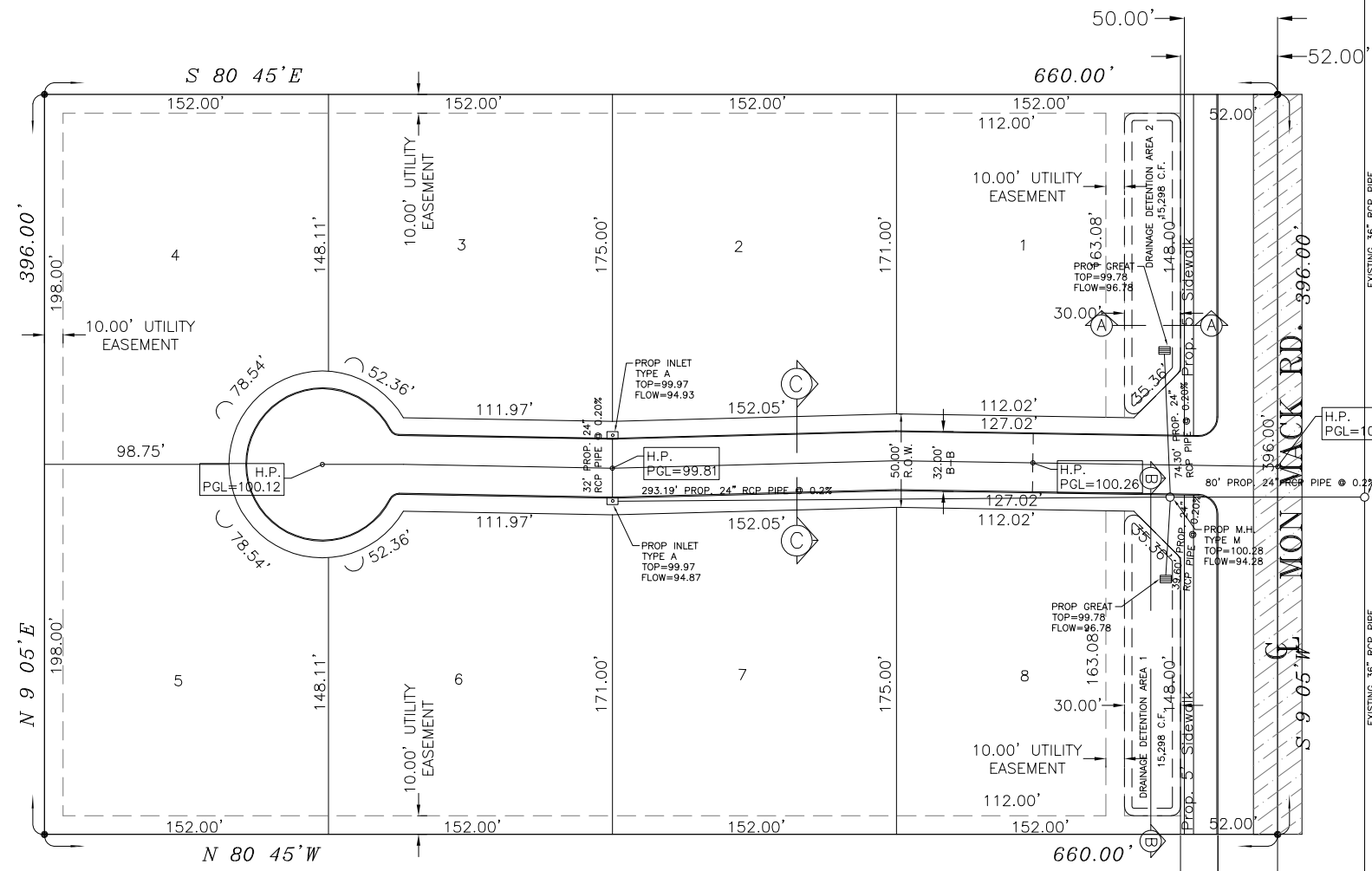
SHEET NAME: SANITARY SEWER PLAN

REVISION: 1 BY: JB APPROVED BY: MAS

DATE OF PREPARATION: 03-31-2021

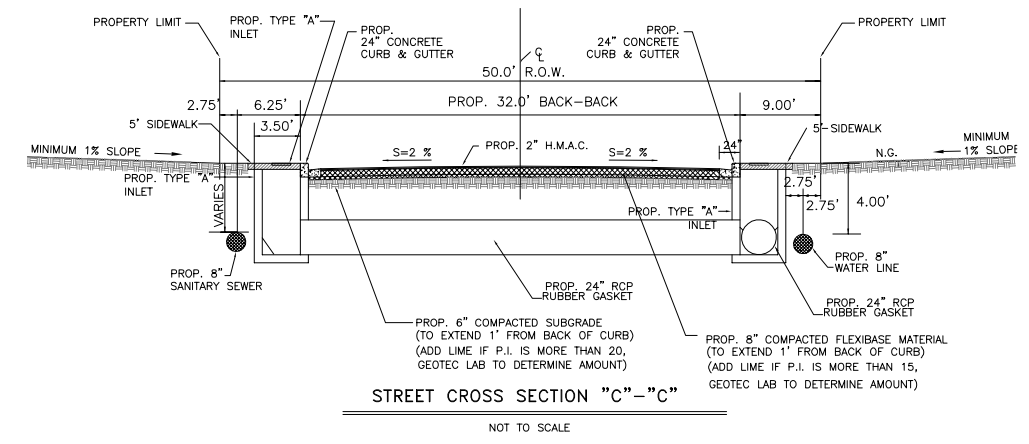
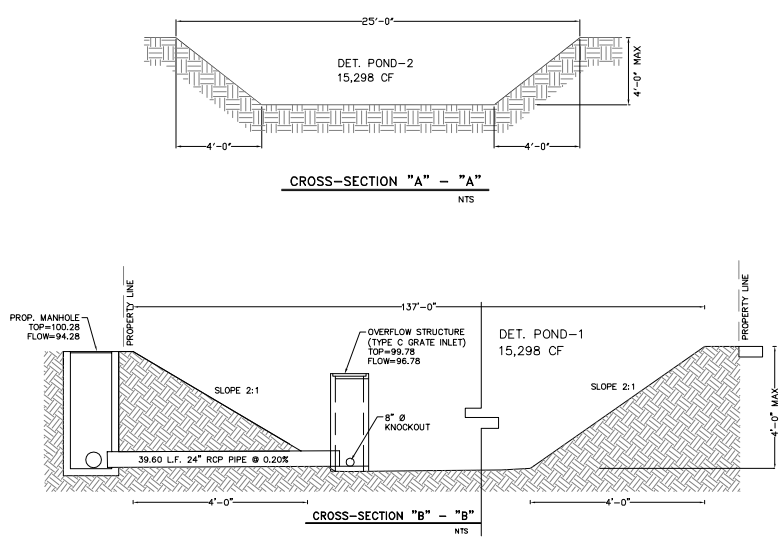
PROJECT No.: SHEET No. C-3

PRELIMINARY, FOR CITY REVIEW ONLY



DETENTION STORAGE VOLUME	
NAME	VOLUME (C.F.)
I DET. POND-1	15,298.00
II DET. POND-2	15,298.00
III DETENTION PIPE	1,378.00
TOTAL	31,974.00

TOTAL VOL. REQ.	0.65 Ac-ft/28,375.00 C.F.
TOTAL VOL. PROV.	0.73 Ac-ft/31,974.00 C.F.



LEGEND

- FOUND 1/2" IRON ROD
- SET 1/2" IRON ROD WITH YELLOW CAP MARKED "SEA 5782"
- R.O.W. RIGHT OF WAY
- P-B PROPERTY LINE TO BACK OF CURB
- B-B BACK OF CURB TO BACK OF CURB
- ⊗ WV WATER VALVE
- ⊖ SPH SINGLE POLE SIGN (TYPE ON PLAN)
- ⊖ SMH SANITARY SEWER MANHOLE
- ⊖ SDH STORM DRAIN MANHOLE
- ⊗ FHY FIRE HYDRANT

PRELIMINARY, FOR CITY REVIEW ONLY

MAS ENGINEERING LLC.
CONSULTING ENGINEERING
FIRM NO. F-15499

3911 N 10TH STREET, SUITE H
MCALLEN, TEXAS: 78501

PH: (956) 537-1311
E-MAIL: MSALINAS6973@ATT.NET

PROJECT NAME: MARIERRY ESTATES SUBDIVISION
ADDRESS: MON MACK RD. EDINBURG TX.
CLIENT INFORMATION: COHAB LLC.

SHEET NAME: **STORM SEWER PLAN**

REVISION: 1 BY: JB APPROVED BY: MAS

DATE OF PREPARATION: 03-31-2021

PROJECT No. SHEET No. C-5

THIS IS THE PROPERTY OF THE PROFESSIONAL ENGINEER WHOSE SEAL APPEARS ON THIS DRAWING AND IT IS UNLAWFUL TO REUSE THIS DRAWING ON ANY OTHER PROJECT, OR TO COPY, TRACE OR IN ANY OTHER WAY, REPRODUCE ANY OR ALL PARTS OF THIS DRAWING WITHOUT THE WRITTEN CONSENT OF THE ENGINEER.

To: Abel Beltran, Subdivision Coordinator.
From: Robert Valenzuela, Stormwater Manager
Date: April 29, 2021
Subject: Mariterry Estates Subdivision

Mairterry Estates Subdivision
6.00 Acres

Required Information

The following items are required by TCEQ and the City of Edinburg. Please submit the following at your earliest convinces

1. SW3P (Stormwater Pollution Prevention Plan)
 2. NOI (Notice of Intent, Per TCEQ)
 3. Large Construction Notice (Per TCEQ Inventory)
 4. Detailed Erosion Control Plan (Silt Fence, Construction Entrance, Inlet Protection, Concrete Washout)
-

Comments:

- Silt Fence around the entire project.
- Large Construction Notice needs to be submitted with contractors contact information.
- All items must be submitted before the NTP is issued.
- Please email pending items to rvalenzuela@cityofedinburg.com



THE CITY OF Edinburg FIRE DEPARTMENT



Preliminary Staff Review

May 4, 2021,

Mario A. Salinas
MAS Engineering
3911 N. 10th
McAllen, TX 78501
(956) 537-1311

RE: PRELIMINARY REVIEW – MARITERRY ESTATES SUBDIVISION

Mr. Salinas,

After reviewing the above referenced plat, the following are the preliminary phase submittal comments:

1. Provide street names to the City of Edinburg Engineering Department for approval.
2. Fire lane 15 feet in width shall be painted in front of all fire hydrants.
3. Provide double face blue fire hydrant street marker on center of the street in front of fire hydrant.
4. Fire hydrant shall be every 600 feet for one and two family dwellings as per section 507.5.1 of 2012 IFC
5. Provide details on all gates to subdivisions. Gates shall meet standards according to section 503.6 of 2012 IFC. All gates shall be 40 feet from the public road.
6. The Cul-de-Sac should have a 96 foot diameter.
7. The proposed 8" C900 PVC water line shall be extended towards the west between lot 4 and 5 with utility easement with a flush valve.

Any questions, please feel free to contact me.

Sincerely,

Omar Garza
Fire Marshal
Email: ogarza@cityofedinburg.com
212 W. McIntyre St.
Edinburg, TX 78539

References:
Unified Development Code and 2012 International Fire Code

**SUBDIVISION WITHIN CITY LIMITS CHECK LIST
SUBDIVISION PROCESS**

PRELIMINARY STAGE
Date : May 4, 2021

PLANNING & ZONING DEPARTMENT (956) 388-8202

Date Filed: April 5, 2021 P&Z Preliminary: May 11, 2021 P&Z Final: _____ City Council: _____

Reviewed By: Abel Beltran, Subd. Coord. Staff Review: April 22, 2021 Time Line: 365 Days Expires: _____
abeltran@cityofedinburg.com Staff / Engineer: April 29, 2021 1st Extension: 0 Days Expires 1: _____
 2nd Extension: 0 Days Expires 2: _____

Director of Planning & Zoning : Kimberly A. Mendoza, CPM. Email : kmendoza@cityofedinburg.com City Office #: (956) 388-8202
 Director of Utilities Gerardo Carmona, P.E. Email : gcarmona@cityofedinburg.com City Office #: (956) 388-8212
 Director of Public Works Vincent Romero Email : layala@cityofedinburg.com City Office #: (956) 388-8210
 Director of Engineering Mardoqueo Hinojosa, P.E., CPM Email : mhinojosa@cityofedinburg.com City Office #: (956) 388-8211

Owner:	COHAB, LLC	6114 N. 3 Road Lane McAllen, TX	Mario A. Salinas, P.E. Project Engineer		
MARITERRY ESTATES SUBDIVISION		Consultant : MAS Engineering, LLC.			
DESCRIPTION	Provided	Need to Provide	Not Applicable	Need to Revise	COMMENTS

Subdivision Process:

Subdivision Plat Submittal	✓				
Warranty Deed	✓				
Topography Survey	✓				
Drainage Report Submittal (As Per City Drainage Policy)	✓				Approved by H.C.D.D.#1 Date: Pending Approval
Zoning : City Limits - Commercial General	✓				
Flood Zone	✓				Zone "X" (Shaded)

Preliminary Submittals:

Existing & Proposed Water Distribution Layout	✓				City of Edinburg Water Supply Corporation - Distribution System
Water Distribution System Provider:	✓				City of Edinburg Water Supply Corporation - Distribution System
Existing & Proposed Sewer Collection Layout	✓				City of Edinburg Sanitary Sewer Collection System
Sanitary Sewer Collection System Provider:	✓				City of Edinburg Sanitary Sewer Collection System
Existing and Proposed Drainage Layout System:	✓				Private Drainage System onto H.C.D.D. # 1
MPO Collector / Arterial Right-of-way Dedication	✓				Proposed Private Streets
Minor / Major Collector Street pavement Section	✓				In Accordance to Standard Street Policy
Variances Appeals Request:		✓			Planning & Zoning Meeting Results City Council Meeting
Street Widening Improvements					
Street 5-ft Sidewalk Improvements					
Drainage Improvements					

Construction Plans Review Submittals: (See Section 4 Construction Plans Submittals Policy, 2014 STANDARD POLICY MANUAL)

Cover Sheet		✓			
Topography Sheet (Utilities, Bench Marks)		✓			
Sanitary Sewer Improvements: On-Site & Off-Site		✓			City of Edinburg Sanitary Sewer Standard Policy's
Sanitary Sewer Detail Sheets		✓			See Section 3 Utility Policy, 2014 Standard Policy Manual
Water Distribution Improvements: On-Site & Off-Site		✓			City of Edinburg Water Supply Standard Policy's
Water Distribution Detail Sheet		✓			See Section 3 Utility Policy, 2014 Standard Policy Manual
Drainage Improvements:		✓			
Drainage Detail Sheets		✓			See Section 1 Drainage Policy, 2014 Standard Policy Manual
Minor/Major Collector Streets Improvements:		✓			See Section 2 Streets Policy, 2014 Standard Policy Manual
Street Sign Sheet:		✓			
Street Detail Sheets		✓			See Section 2 Streets Policy, 2014 Standard Policy Manual
Street Lighting Sheet:		✓			
Traffic Control Plan:		✓			
Erosion Control Plan		✓			
Erosion Control Plan Detail Sheet		✓			See Storm Water Management, 2014 Standard Policy Manual

DESCRIPTION	Provided	Need to Provide	Not Applicable	Need to Revise	COMMENTS
-------------	----------	-----------------	----------------	----------------	----------

Pre-Construction Meeting:

Notice To Proceed		✓			Dated:
Roadway Open-Cut or Bore Permit Application		✓			Dated:
TX-Dot Water UIR Permit			✓		Dated:
TX-Dot Sewer UIR Permit			✓		Dated:
N.O.I. Submittal		✓			Dated:
SWPP Booklet Submittal		✓			Dated:
RFI #1 Request		✓			Dated:
Change Orders		✓			Dated:
Final Walk Through		✓			Dated:
Punch List		✓			Dated:
Punch List (Completed and Approved)		✓			Dated:
Letter of Acceptance		✓			Dated:
1-year Warranty (Water/Sewer/Paving/Drainage)		✓			Dated:
Backfill Testing Results		✓			Dated:
As-Builts (Revised Original Submittal)		✓			Dated:

Recording Process:

Public Improvements with (Letter of Credit)		✓			Dated:	Expires:
Recording Fees	\$ 106.00	✓			As required by County Clerks office	
Copy of H.C.D.D. #1 of invoice		✓			Required to be paid prior to Final Stages	
Street Light Escrow	\$ -	✓			Required: 0	EA. @ \$ -
Fire Hydrant Escrow	\$ -	✓			Required: 0	EA. @ \$ -
Street/Sidewalk Escrow (SugarRoad)	\$ 5,625.00	✓			Required: 225	LF @ \$ 25.00
TOTAL OF ESCROWS:	\$ 5,625.00					
Total Developer's Construction Cost: (Letter of Credit)					Date :	Lender :
Laboratory Testing Fee: 3%	\$ -	✓			\$ -	Estimated Construction Cost
Inspection Fee: 2%	\$ -	✓			\$ -	Final Construction Cost
Park Land Fees: ETJ \$ - Per Unit 0			✓			
8 Residential \$ 300.00	\$ 2,400.00	✓			50% Development	50% Building Stage
0 Multi-Family \$ 600.00	\$ -				0% Development	0% Building Stage
Water Rights: COE - CCN	\$ 16,010.67	✓			5.527	Acres \$ 2,896.81
Water 30-year Letter (Residential)	\$ 2,600.00	✓			8	Lots @ \$ 325.00 COE WATER-CCN
Water 30-year Letter (Multi-Family)	\$ -				0	Lots @ \$ - COE WATER-CCN
Sewer 30-year Letter COE - CCN	\$ 520.00	✓			8	Lots @ \$ 65.00 COE SEWER-CCN
TOTAL OF FEES:	\$ 21,530.67					

Reimbursements:

Developer Sewer Improvements	\$ -		✓		Off-Site System: 0.00	AC \$ -
Developer Water Improvements	\$ -		✓		Off-Site System 0.00	AC \$ -
TOTAL OF REIMBURSEMENTS:	\$ -					

Buyouts:

North Alamo Water Supply Corporation	\$ -		✓		Required Buyout 0.00	AC. \$ -
Sharyland Water Supply Corporation			✓		Not Applicable	

Tax Certificates

County of Hidalgo / School District		✓				
Water District		✓			Hidalgo County Irrigation District # 2	

Total of Escrows, Fees, Reimbursements and Buyouts:

Escrows	\$ 5,625.00	Street & Sidewalk Improvements for Mon Mack Road				
Inspections other Fees	\$ 21,530.67	Parkland Fees, Water/Sewer 30-year Agreement/Water Rights				
Reimbursements	\$ -	Reimbursement to the Developer of Subdivision (No Reimbursement on Record)				
City of Edinburg	\$ -	15% Payable to the City of Edinburg for Administrative Fee				
To the Developer of Record	\$ -	85% Payable to the Developer of Record Owner / Developer				
Buyouts	\$ -	Based on Subdivision (Need Request and Approval rate from Broad)				
TOTAL :	\$ 27,155.67	Developer Total Cost of Fees, Escrows, Reimbursements & Buyouts				



Meeting Date: April 20, 2021

REZONING:

Hold Public Hearing and Consider the Rezoning Request from Neighborhood Conservation 5 (NC 5) District to Urban Residential (UR) District, being Lots 1 and 2, Block 4, Roseland Parks Subdivision, and Lots 1 and 18, University North Subdivision Unit No. 1, located at 715 West Schunior Street, as requested by SARG Enterprises, LLC.

- Planning & Zoning Commission recommended approval on April 13, 2021
- City Council **approved** on April 20, 2021

VARIANCE:

Consider Variance Request to the City's Unified Development Code as follows: 1.) Article 3 - District and Bulk Standards, Division 3.300 - Bulk Regulations - Standard Development, Section 3.303 Multi-Family - Lot Width and Lot Area, and 2.) Article 8 - Streets, Utilities, and Drainage, Division 8.200 - Streets, Sidewalks and Trails, Section 8.204 - Street Standards, Atwood Village Subdivision, being 34.992 acres out of Lots 13 & 14, Section 238, Texas-Mexican Railway Company Survey, Hidalgo County, Texas, located on the north side of Schunior Road and east of Hoehn Road, as requested by Melden & Hunt, Inc.

- Planning & Zoning Commission recommended approval on April 13, 2021
- City Council **approved** on April 20, 2021

ORDINANCES:

Consider Ordinance Providing for a Temporary Special Use Permit and Request for Waiver of Fees for a Special Event, "Dia Del Niño" to be held on Sunday, April 25, 2021 at UR Home Church, Being Lots 1 & 2, Block 282, Edinburg Original Townsite, located at 704 E. Cano Street, as requested by Pastor Eddie Salinas

- City Council **approved** on April 20, 2021

Consider Ordinance Providing for a Temporary Special Use Permit and Request for Waiver of Fees for a Special Event, "Team Mario Drive-In Movie at the Park" to be held on Friday, April 30, 2021 at Edinburg Municipal Park, being portions of Lots 9, 10, 12, and 16 and all of Lot 11, Section 268, Texas-Mexican Railway Company Survey, located at the intersection of South Raul Longoria Road and East Sprague Street, as requested by Lisa Beccera-Walker

- City Council **approved** on April 20, 2021



City Council Actions
Meeting Date: May 4, 2021

ORDINANCE:

Consider Ordinance Amending the Unified Development Code of the City of Edinburg, Section 12.203 Off-Premise Signs in Commercial and Industrial Districts

- Planning & Zoning Commission recommended approval on April 13, 2021
- City Council **disapproved** on May 4, 2021

SPECIAL USE PERMIT:

Hold Public Hearing and Consider the Special Use Permit for a Wireless Communication Tower, being 0.083 acres and a 0.524 acre tract of land situated in the Texas-Mexican Railway Company's Survey, Lot 11, Section 241, being called out of 9.20 acres, located at 322 W. Chapin Street, as requested by Vertical Bridge Development

- Planning & Zoning Commission recommended approval on April 13, 2021
- City Council **approved** on May 4, 2021

COMPREHENSIVE PLAN AMENDMENT & REZONING:

Hold Public Hearing and Consider the Comprehensive Plan Amendment from Suburban Uses to General Commercial Uses and the Rezoning Request from Agriculture (AG) District to Commercial General (CG) District, being Lot 25, Albino Rodriguez Estates, located at 4224 NE Lopez Drive, as requested by Argelio Chapa

- Planning & Zoning Commission recommended disapproval on April 13, 2021
- City Council **approved** on May 4, 2021

Hold Public Hearing and Consider the Comprehensive Plan Amendment from Auto Urban Uses to Suburban Uses and the Rezoning Request from Commercial General (CG) District to Suburban Residential (S) District, being a tract of land containing 5.50 acres of land and being a part or portion of Lot 8, Block 3, A.J. McColl Subdivision, located at 2120 W. Alberta Road, as requested by Francisco Moreno

- Planning & Zoning Commission recommended approval on April 13, 2021
- City Council **approved** on May 4/April 6, 2021

Hold Public Hearing and Consider the Comprehensive Plan Amendment from Auto Urban Uses to Urban Uses and the Rezoning Request from Agriculture (AG) District to Urban Residential (UR) District, being a 13.007 acre tract of land out of Lots 5, 6, and 7, Jas. I. Lavelle Subdivision, located at 1900 E. Wisconsin Road, as requested by Julio Carranza

- Planning & Zoning Commission recommended approval on April 13, 2021
- City Council **approved** on May 4, 2021

Hold Public Hearing and Consider the Comprehensive Plan Amendment from Auto Urban Uses to Urban Uses and the Rezoning Request from Agriculture (AG) District to Urban Residential (UR) District, being a 5.00 gross acre tract of land, all of Lot 8, Jas. I. Lavelle Subdivision, located at 1900 E. Wisconsin Road, as requested by Julio Carranza

- Planning & Zoning Commission recommended approval on April 13, 2021
- City Council **approved** on May 4, 2021

Hold Public Hearing and Consider the Comprehensive Plan Amendment from Auto Urban Uses to Urban Uses and the Rezoning Request from Commercial General (CG) District to Urban Residential (UR) District, being 8.934 acres out of Lot 30, Kelly-Pharr Subdivision, located at 500 E. Wisconsin Road, as requested by Melden & Hunt, Inc.

- Planning & Zoning Commission recommended approval on April 13, 2021
- City Council **approved** on May 4, 2021

Hold Public Hearing and Consider the Comprehensive Plan Amendment from Industrial Uses to General Commercial Uses and the Rezoning Request from Agriculture (AG) District to Commercial General (CG) District, being Lot 2, Block 47, Santa Cruz Gardens No. 2 Resubdivision, located at 900 W. FM 2812, as requested by Armando Contreras

- Planning & Zoning Commission recommended approval on April 13, 2021
- City Council **approved** on May 4, 2021

Hold Public Hearing and Consider the Comprehensive Plan Amendment from Auto Urban Uses to Suburban Uses and the Rezoning Request from Commercial General (CG) District to Suburban Residential (S) District, being Lot 2, Amended Lady Luck Subdivision, located at 4528 N. Doolittle Road, as requested by Richard A. Garza

- Planning & Zoning Commission recommended approval on April 13, 2021
- City Council **approved** on May 4, 2021

REZONING:

Hold Public Hearing and Consider the Rezoning Request from Suburban Residential (S) District to Urban Residential (UR) District, being Lot 2, Crouse Subdivision, located at 2204 N. Jackson Road, as requested by Armando Ramirez

- Planning & Zoning Commission recommended disapproval on April 13, 2021
- City Council **approved** on May 4, 2021

Hold Public Hearing and Consider the Rezoning Request from Commercial General (CG) District to Neighborhood Conservation 7.1 (NC 7.1) District, being Lot 1, Windsor Estates Subdivision, located at 2816 Windsor Street, as requested by Vica Texas Enterprises, LP

- Planning & Zoning Commission recommended approval on April 13, 2021
- City Council **approved** on May 4, 2021

Hold Public Hearing and Consider the Rezoning Request from Commercial General (CG) District to Neighborhood Conservation 7.1 (NC 7.1) District, being Lot 34, Windsor Estates Subdivision, located at 2815 Windsor Street, as requested by Vica Texas Enterprises, LP

- Planning & Zoning Commission recommended approval on April 13, 2021
- City Council **approved** on May 4, 2021

Hold Public Hearing and Consider the Rezoning Request from Neighborhood Conservation 7.1 (NC 7.1) District to Auto Urban Residential (AU) District, being the West 25 ft. of Lot 11 and all of Lot 12, Block 330, Edinburg Original Townsite, located at 420 South 21st Avenue, as requested by Omar Cura, Jr.

- Planning & Zoning Commission recommended disapproval on March 9, 2021
- City Council tabled the item on April 6, 2021, at the applicant's request
- City Council **approved** on May 4, 2021

ORDINANCES:

Consider Ordinance Providing for a Temporary Special Use Permit and Request for Waiver of Fees for a Special Event, "St. Joseph's Annual Walk-A-Thon" to be held on Friday, May 7, 2021 at Edinburg Municipal Park, being portions of Lots 9, 10, 12, and 16 and all of Lot 11, Section 268, Texas-Mexican Railway Company Survey, located at the intersection of South Raul Longoria Road and East Sprague Street, as requested by St. Joseph's Catholic School

- City Council **approved** on May 4, 2021

Consider Ordinance Providing for a Temporary Special Use Permit and Request for Waiver of Fees for a Special Event, "Texas Cook-Em" to be held on Saturday, July 3, 2021 and Sunday, July 4, 2021 at Ebony Hills Golf Course, being a tract of land containing 66.886 acres out of Lot 9, Section 274 and Lots 11 & 12, Section 271, located at 300 W. Palm Drive, as requested by Edinburg Chamber of Commerce

- City Council **approved** on May 4, 2021