



**PLANNING AND ZONING COMMISSION
REGULAR MEETING
DECEMBER 8, 2020 – 4:00 P.M
EDINBURG CITY HALL
415 WEST UNIVERSITY DRIVE
EDINBURG, TEXAS 78539**

AGENDA

1. CALL MEETING TO ORDER, ESTABLISH QUORUM

- A. Prayer
- B. Pledge of Allegiance

2. CERTIFICATION OF PUBLIC NOTICE

3. MEETING PROCEDURES

The following are the meeting procedures used by the Planning & Zoning Commission:

- A. All the items are generally considered as they appear on the agenda. As each item is introduced.
- B. Staff will present its findings and recommendation on the item being considered.
- C. The party making the request may make a presentation and may address the Commission on any issues arising during the discussion of the item being considered.
- D. Anyone in the audience desiring to speak in favor or in opposition may do so. A 3-5 Minute time limit will be given to each person interested in speaking on the item. The use of a spokesperson for large groups of people will be required.
- E. Once the Chair close the public hearing, the commission may question anyone and maintain any discussion which clarifies the proposal and will take what action it feel to be appropriate.

4. Consider Excusing the Absence of Chairman Joe Ochoa from the November 10, 2020 Regular Meeting

5. Consider Excusing the Absence of Commission Member Becky Hesbrook- Garcia from the November 10, 2020 Regular Meeting

6. Consider approval of the Minutes for the November 10, 2020 Regular Meeting.

7. PUBLIC COMMENTS

- A. If you would like to participate under public comments, you must submit a request beginning at 9:00 a.m. the day of the meeting by (a) sending an email to PublicHearing@cityofedinburg.com or (b) calling the Planning and Zoning Department at 956-388-8202. All request should include your name, address, and telephone number. We ask for everyone's cooperation in following this procedure.

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8. PUBLIC HEARINGS

- A. Consider the Special Use Permit for On Premise Consumption for Late Hours, being Lots 1, 11 and 12, Block 100, Edinburg Original Townsite, located at 720 North Closner Boulevard, As Requested by Eliza Aguirre Rangel
- B. Consider Variance to the City's Unified Development Code Article 12, Section 12.301 (B5C) On-Premise Signs, Free Standing Sign, being Lots 2 and 3 Cibolo Estates, located at 12409 North Bail Bond Drive, As Requested by Datatronic Control, Inc.
- C. Consider the Rezoning Request from Agriculture (AG) District to Neighborhood Conservation 5.0 (NC 5.0) District, being Lot 26, Bar Unit No. 6, located on the north side of West Efrain Street, approximately 125 Feet east of Pablo Street, As Requested by Noe Garza
- D. Consider the Rezoning Request from Commercial General (CG) District to Industrial (I) District, being Lot 1, In Memory of Monica Subdivision, located at 1700 East Cibolo Road, As Requested by Jose Velez
- E. Consider the Rezoning Request from Suburban Residential (S) District to Auto Urban Residential (AU) District, being 2.263 acres out of Lot 15, Section 237, Texas-Mexican Railway Company's Survey, located on the east side of North McColl Road, approximately 800 Feet north of Schunior Road, As Requested by Ofelia Martinez
- F. Consider the Comprehensive Plan Amendment from Auto Urban Uses to Neighborhood Commercial Uses and the Rezoning Request from Agriculture (AG) District to Commercial Neighborhood (CN) District, being Lot 1, Trenton Terrace Subdivision, located on the west side of South Veterans Boulevard, approximately 200 feet north of Leticia Street, As Requested by Sam A. Gomez
- G. Consider the Comprehensive Plan Amendment from Auto Urban Uses to Neighborhood Commercial Uses and the Rezoning Request from Neighborhood Conservation 7.1 (NC 7.1) District to Commercial Neighborhood (CN) District, being Lot 6, Strong Subdivision, located at 3116 South Jackson Road, As Requested by Daniel and Irma Torres
- H. Consider the Comprehensive Plan Amendment from Industrial Uses to General Commercial Uses and the Rezoning Request from Industrial (I) District to Commercial General (CG) District, being 6.61 acre tract of land, being a portion of Lot 1, Santa Cruz Ranch Subdivision, of the survey of a part of The Ojo De Agua Tract, located at the northwest corner of Interstate 69C and Monte Cristo Road, As Requested by Martin Twelve Partnership
- I. Consider the Rezoning Request from Suburban Residential (S) District to Urban Residential (UR) District, being a 3.56 acre tract of land out of Lot 6, Block 2, Steele and Pershing Subdivision, located approximately 640 feet north of West Wisconsin Road, approximately 885 feet east of South McColl Road, As Requested by Quintanilla Headley and Associates, Inc.
- J. Consider the Rezoning Request from Suburban Residential (S) District to Auto Urban Residential (AU) District, being 5.949 acres out of Lot 3, Block 4, John Closner Subdivision, located on the east side of South Veterans Boulevard, approximately 170 feet north of Sevilla Boulevard, As Requested by Melden and Hunt, Inc.

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- K. Consider the Comprehensive Plan Amendment from Auto Urban Uses to Urban Uses and the Rezoning Request from Auto Urban Residential (AU) District to Urban Residential (UR) District, being 30.557 acres out of Lot 4, Amended Plat of La Sienna Development, located at the southwest corner of Burns Boulevard and La Sienna Parkway, As Requested by Melden & Hunt, Inc.
- L. Consider the Comprehensive Plan Amendment from Auto Urban Uses to Urban Uses and the Rezoning Request from Auto Urban Residential (AU) District to Urban Residential (UR) District, being 24.591 acres out of Lot 3, Section 246, Texas-Mexican Railway Company's Survey, located at the south east corner of Interstate 69C and Mile 17 ½ Road, As Requested by Melden and Hunt, Inc.
- M. Consider the Comprehensive Plan Amendment from Office Business Park Uses to Auto Urban Uses and the Rezoning Request from Commercial General (CG) District to Auto Urban Residential (AU) District, being 14.998 acres, being all of Lots 2 Through 15 and part of Northpoint Drive, Northpoint Subdivision Phase 1, Volume 34, Page 24, H.C.M.R. and out of Lot 6, Block 4, Steele and Pershing Subdivision, located on the east of South McColl Road at Northpoint Drive, As Requested by Melden and Hunt, Inc.

9. CONSENT AGENDA

- A. Preliminary Plat Approval of Crystal Meadows Subdivision, being a 5.494 acres being a part or portion out of Lot 3, Block 4, John Closner Subdivision, located approximately 1,180 feet north of the intersection of Wisconsin Road and South Veterans Boulevard, As Requested by Melden and Hunt, Inc.
- B. Preliminary Plat Approval of Santa Cruz Phase I Section IV-2 Subdivision, being a resubdivision of 8.786 acres out of Lot 1, La Sienna Development, Volume 53, Page 124, H.C.M.R., located on the northeast corner of Monte Cristo Road and U.S. Highway 281, As Requested by Melden and Hunt Inc.
- C. Preliminary Plat Approval of Shunior Estates Subdivision, being 3.969 acres consisting of 3.797 acres out of Lot 9, Outlot "C" Amended Map of Edinburg and 0.172 of an acre, being all of the north 50 feet of Lot 2, Judy Anne Subdivision, located at 500 East Shunior Street, As Requested by Melden and Hunt, Inc.
- D. Preliminary Plat Approval of Replat of Northpoint Subdivision, being approximately 14.998 acres out of Lots 2-15 part of Northpoint Drive, Northpoint Subdivision Phase I and out of Lot 6, Block 4, Steele and Pershing Subdivision, located approximately 688 feet north of the intersection of Alberta Road and McColl Road, As Requested by Melden and Hunt, Inc.
- E. Final Plat Approval of The Estates at Paloma Park Subdivision, being an 9.17 acre tract of land being a portion of Lot 8, Block 51, Alamo Land and Sugar Company's Subdivision, located on the north east corner of Alberta Road and Raul Longoria Road, As Requested by R.E. Garcia and Associates

10. DISCUSSION

- A. Future Meetings

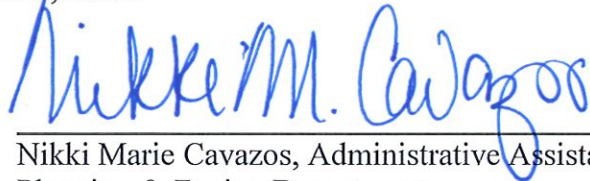
**PLANNING AND ZONING COMMISSION
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11. INFORMATION

A. City Commission Actions: November 17, 2020 and December 1, 2020

12. ADJOURNMENT

I hereby certify that this notice of meeting was posted in accordance with the Open Meetings Act, V.T.C.A., Government Code, Section 551.041, at the Edinburg City Hall Building, 415 West University Drive, Edinburg, Texas, visible and accessible to the general public after regular working hours, at 6:00 P.M. on this 4th day of December, 2020.



Nikki Marie Cavazos, Administrative Assistant
Planning & Zoning Department

NOTICE

PERSONS WITH DISABILITIES WHO NEED TO COMMUNICATE MORE EFFECTIVELY WITH CITY OFFICIALS AND WHO MAY NEED AUXILIARY AIDS OR SERVICES SUCH AS INTERPRETERS FOR PERSONS WHO ARE DEAF OR HEARING IMPAIRED ARE REQUESTED TO CONTACT THE OFFICE OF THE CITY SECRETARY AT (956) 388-8204 THREE WORKING DAYS PRIOR TO ANY MEETING SO THAT APPROPRIATE ARRANGEMENTS CAN BE MADE.

Memo

To: Planning & Zoning Commission Members
From: Nikki Marie Cavazos, Administrative Assistant
Subject: Commission Members Absence
Date: December 4, 2020

This is to advise you that action needs to be taken with regards to the absence of Commission Chairperson Joe Ochoa from the November 10 2020 Regular Meeting.

Should you have any questions, you may call me at 956-388-8202.

Memo

To: Planning & Zoning Commission Members
From: Nikki Marie Cavazos, Administrative Assistant
Subject: Commission Members Absence
Date: December 4, 2020

This is to advise you that action needs to be taken with regards to the absence of Commission Member Becky Hesbrook-Garcia from the November 10 2020 Regular Meeting.

Should you have any questions, you may call me at 956-388-8202.

**PLANNING AND ZONING COMMISSION
REGULAR MEETING
NOVEMBER 10, 2020- 4:00 P.M.
EDINBURG CITY HALL – CITY COUNCIL CHAMBERS
415 WEST UNIVERSITY DRIVE
EDINBURG, TEXAS 78541**

MEMBERS PRESENT

Hiren Govind, Vice Chairperson
Miki McCarthy, Commissioner

Jorge Sotelo, Commissioner
Carlos Jasso, Commissioner
Ruby Casas, Commissioner

MEMBERS ABSENT

Joe Ochoa, Chairperson
Becky Hesbrook-Garcia, Commissioner

STAFF PRESENT

Kimberly A. Mendoza, Planning & Zoning Director
Patrizia Longoria, Engineer III
Omar Garza, Deputy Chief
Jessica Ramirez, Urban Planner
Nikki Marie Cavazos, Administrative Assistant

Omar Ochoa, City Attorney
Gerardo Carmona, City Engineer
Rita Guerrero, Urban Planner
Abel Beltran, Urban Planner

VISITORS

Andrew Herrera Mario Reyna Ofelia Abrego Israel Rivas

1. CALL MEETING TO ORDER, ESTABLISH QUORUM:

The meeting was formally called to order by Vice Chairperson Mr. Hiren Govind, Chair at 4:03 P.M.

- A. Prayer - Prayer not announced.
- B. Pledge of Allegiance - The Pledge of Allegiance was not said.

2. CERTIFICATION OF PUBLIC NOTICE

Mr. Hiren Govind, verified the posting of the Planning & Zoning Commission Meeting Notice and its compliance with the Open Meetings Act. Staff indicated the agenda had been posted on Friday, November 6, 2020 at 5:00 P.M.

3. MEETING PROCEDURES:

The following are the meeting procedures used by the Planning and Zoning Commission.

- A. All items are generally considered as they appear on the agenda. As each item is Introduced:
- B. Staff will present its findings and recommendation on the item being considered.
- C. The party making the request may make a presentation and may address the Commission on any issues arising during the discussion of the item being considered.

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NOVEMBER 10, 2020
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- D. Anyone in the audience desiring to speak in favor or in opposition may do so. A 3-5 minute time limit will be given to each person interested in speaking on the item. The use of a spokesperson for large groups of people will be required.
- E. Once the Chair closes the public hearing, the commission may question anyone and maintain any discussion which clarifies the proposal and will then take what action it feels to be appropriate.

4. **PUBLIC COMMENTS**

- A. If you would like to participate under public comments, you must submit a request beginning at 9:00 a.m. the day of the meeting by (a) sending an email to PublicHearing@cityofedinburg.com or (b) calling the Planning and Zoning Department at 956-388-8202. All request should include your name, address, and telephone number. We ask for everyone's cooperation in following this procedure.

- 5. Consider approval of the Minutes for the October 13, 2020 Regular Meeting:

MOTION WAS MADE BY COMMISSION MEMBER MS. MIKI MCCARTHY AND SECONDED BY COMMISSION MEMBER MR. CARLOS JASSO TO APPROVE THE MINUTES FOR THE OCTOBER 13, 2020 REGULAR MEETING. MOTION CARRIED UNANIMOUSLY WITH A VOTE OF 5-0.

6. **PUBLIC HEARINGS**

- A. Consider the Rezoning Request from Neighborhood Conservation 7.1 (NC 7.1) District to Auto Urban Residential (AU) District, Being Lot 10, Block 243 Edinburg Original Townsite. Located at 1105 E. Cano, As Requested By Andrew Herrera

MOTION WAS MADE BY COMMISSION MEMBER MS. MIKI MCCARTHY AND SECONDED BY COMMISSION MEMBER MR. CARLOS JASSO TO REMOVE THE ITEM FROM THE TABLE. MOTION CARRIED UNANIMOUSLY WITH A VOTE OF 5-0.

MOTION WAS MADE BY VICE CHAIRPERSON, MR. HIREN GOVIND AND SECONDED BY COMMISSION MEMBER MR. CARLOS JASSO TO APPROVE THE REZONING REQUEST. MOTION CARRIED UNANIMOUSLY WITH A VOTE OF 5-0.

- B. Consider the Rezoning Request from Agriculture (AG) District to Auto Urban Residential (AU) District, Being a 1.00 acre tract out of Lot 9, Section 245, Texas-Mexican Railway Company's Survey, Located at 1207 N. Kenyon Road, As Requested By Ofelia Abrego

MOTION WAS MADE BY COMMISSION MEMBER MR. CARLOS JASSO AND SECONDED BY COMMISSION MEMBER MR. JORGE SOTELO TO APPROVE THE REZONING REQUEST. MOTION CARRIED UNANIMOUSLY WITH A VOTE OF 5-0.

**PLANNING AND ZONING COMMISSION MEETING
NOVEMBER 10, 2020
PAGE 3**

- C. Consider the Comprehensive Plan Amendment from Auto Urban Uses to General Commercial Uses and the Rezoning Request from Agriculture (AG) District to Commercial General (CG) District, being 0.21 of an acre tract of land, Being the east 120 feet of Lots 5, 6, and 7, Block 6, Original Townsite of Faysville, Located on the east side of North Expressway 281, Approximately 100 feet north of Jefferson Avenue, As Requested By Israel Rivas

MOTION WAS MADE BY COMMISSION MEMBER MS. MIKI MCCARTHY AND SECONDED BY COMMISSION MEMBER MR. CARLOS JASSO TO APPROVE THE COMPREHENSIVE PLAN AMENDEMENT AND THE REZONING REQUEST. MOTION CARRIED UNANIMOUSLY WITH A VOTE OF 5-0.

- D. Consider the Rezoning Request from Agriculture (AG) District to Commercial General (CG) District, Being 0.48 of an acre out of Lot 65, Kelly Pharr Subdivision, Located on the west side of Veterans Road, Approximately 345 feet north of East Owassa Road, As Requested By Eduardo D. Benavidez

MOTION WAS MADE BY COMMISSION MEMBER MS. MIKI MCCARTHY AND SECONDED BY COMMISSION MEMBER MR. CARLOS JASSO TO APPROVE THE REZONING REQUEST. MOTION CARRIED UNANIMOUSLY WITH A VOTE OF 5-0.

7. SUBDIVISION (VARIANCES)

Vice Chairperson moved up Item 7B to be heard first.

- B. Consider Variance Request to the City's Unified Development Code as follows: 1.) Article 3-District and Bulk Standards, Division 3.300- Bulk Regulations – Standard Development, Section 3.303 Multi-Family - Lot Width and Lot Area, and 2.) Article 8 – Streets, Utilities, and Drainage, Division 8.200- Streets, Sidewalks and Trails, Section 8.204 – Street Standards. Valencia Trails Subdivision (Multi-Family Portion), being 19.112-Acres out of Lots 1 & 8, Section 238, Texas-Mexican Railway Company's Survey in Hidalgo County, Texas, Located on the west side of North Mon Mack Road, approximately 660-ft North of Chapin Road. As Requested By Melden and Hunt Inc.

MOTION WAS MADE BY VICE CHAIRPERSON, HIREN GOVIND AND SECONDED BY COMMISSION MEMBER MR. CARLOS JASSO TO APPROVE THE VARIANCE REQUEST. MOTION CARRIED UNANIMOUSLY WITH A VOTE OF 4-1. COMMISSION MEMBER, MS. MIKI MCCARTHY OBJECTED THE MOTION.

- A. Consider Variance Request to the City's Unified Development Code as follows: **1.)** Article 3-District and Bulk Standards, Division 3.300- Bulk Regulations – Standard Development, Section 3.303 Multi-Family, Section 3.303 Multi-Family - Lot Area and Lot Width, and **2.)** Article 8 – Streets, Utilities, and Drainage, Division 8.200- Streets, Sidewalks and Trails, Section 8.204 – Street Standards. Multi Family at Atwood Subdivision, being a 34.99-Acres out of Lot 14 & 15, Section 238, Texas Mexican Railway Company Survey in Hidalgo County, Texas, Located at the North side of Schunior Road, approximately 820-ft East of Hoehn Road, As Requested By Melden and Hunt Inc.

**PLANNING AND ZONING COMMISSION MEETING
NOVEMBER 10, 2020
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MOTION WAS MADE BY VICE CHAIRPERSON, HIREN GOVIND AND SECONDED BY COMMISSION MEMBER MR. CARLOS JASSO TO APPROVE THE VARIANCE REQUEST. MOTION CARRIED UNANIMOUSLY WITH A VOTE OF 4-1. COMMISSION MEMBER, MS. MIKI MCCARTHY OBJECTED THE MOTION

8. CONSENT AGENDA

- A. Preliminary Plat Approval of New Castle Subdivision, Being a 13.19 acre tract of land out of Lot 6, Block 2, Steele and Pershing Subdivision, Located on the North side of Wisconsin Road, approximately east 500.51-ft of S. McColl Road, As Requested By Quintanilla, Headley & Associates, Inc.
- B. Preliminary Plat Approval of Jaguar Heights Subdivision, Being an 18.806 acres of land situated in Hidalgo County, Texas, being the South ½ of Lot 6, Section 249, Texas-Mexican Railway Company's Survey Subdivision, Located at the northeast corner of East Chapin Road (Mile 17 Road), and North Terry Road, As Requested By Cruz-Hogan Consultants, Inc.
- C. Preliminary Plat Approval of Del Rey Estates Unit 4 Subdivision, Being approximately 40.00 acres, more or less, Being all of Lot 6, Block 57, Alamo Land & Sugar Company Subdivision, Located at the southeast corner of Tower Road and Wisconsin Road, As Requested By Melden & Hunt, Inc.
- D. Final Plat Approval of Mon Mack Heights Subdivision, Being a 24.59 acre subdivision out of Lot 3, Section 246, Texas-Mexican Railway Company's Survey Subdivision, Located on the east side of South Mon Mack Road, approximately 300 feet north of Freddy Gonzalez, As Requested By HLG Plan Review Services

MOTION WAS MADE BY COMMISSION MEMBER MS. MIKI MCCARTHY AND SECONDED BY COMMISSION MEMBER MR. JORGE SOTELO TO APPROVE THE CONSENT AGENDA ITEMS 8A-8D. MOTION CARRIED UNANIMOUSLY WITH A VOTE OF 5-0.

9. INFORMATION

- A. City Commission Actions: October 6, 2020 and October 20, 2020

10. ADJOURNMENT

There being no further business to consider, the meeting was adjourned at 5:06 P.M.

MOTION WAS MADE BY COMMISSION MEMBER MR. SOTELO AND SECONDED BY COMMISSION MEMBER MS. MIKI MCCARTHY TO ADJOURN THE MEETING. MOTION CARRIED UNANIMOUSLY WITH A VOTE OF 5-0.

Nikki Marie Cavazos, Administrative Assistant
Planning & Zoning Department

Hiren Govind, Planning and Zoning Vice-Chairperson

Minutes Transcribed by: Nikki Marie Cavazos



CITY OF EDINBURG
Planning & Zoning Commission

Regular Meeting

Meeting Date:
12/8/2020

Special Use Permit

AGENDA ITEM:

Hold Public Hearing and Consider the Special Use Permit for On Premise Consumption For Late Hours, Being Lots 1,11&12, Block 100, Edinburg Original Townsite, Located at 720 N. Closner Blvd, As Requested By Eliza Aguirre Rangel [Planning & Zoning – Kimberly Mendoza, Director Of Planning & Zoning]

DESCRIPTION / SCOPE:

The applicant is requesting a Special Use Permit to sell beer, wine and mixed beverages. The property is located at the Southeast corner of Closner Blvd. and Schunior Road. The proposed days and hours of operation are Monday through Sunday 12:00 p.m. to 2:00 a.m. There is an existing bar (Chano's) on the property. The applicant is going through a licensing transition of the business, which requires the special use permit process. If approved the applicant will proceed to obtain the necessary permits permit from the Texas Alcoholic Beverage Commission. The applicant is requesting to keep it as Chano's with a BG Wine and Beer Retailer's Permit and BL Retail Dealer's On Premise Late Hours License. A Special Use Permit was granted by the City Council on October 2, 2018 to the previous owner Carmen Nelda Luna. The City of Edinburg Police Department did provide a list of incidents under previous ownership and has been attached for the Commissions review.

The property is zoned Commercial General (CG) District. Surrounding zoning is Urban Residential (UR) District to the East and Commercial General (CG) District to the North, South, and West. Staff recommends approval of the Special Use Permit for one (1) year. If approved, the applicant will be required to comply with the following conditions:

1. The applicant complies with the hours of operation for the On-premise consumption of beer, wine and mixed beverages as allowed by the City and the Texas Alcoholic Beverage Commission.
2. Adequate security lighting must be provided for customer's safety and crime prevention purposes.
3. The applicant complies with all city requirements, including but not limited to building, building occupancy, fire codes, health permit, landscaping, parking, and all other City requirements.
4. Operations in connection with the proposed special use permit must not be more objectionable to nearby properties by reason of noise or other characteristics than would the operations of any permitted use not requiring special use approval. The use must comply with the City's Noise Standards as per the Unified Development Code.
5. The special use permit may be revoked at any time by the Planning and Zoning Commission and City Council.

Staff mailed a notice of the public hearing before the Planning & Zoning Commission to twenty-five (25) neighboring property owners and received no comments in favor or against this request at the time of this report.

**SPECIAL USE PERMIT
ELIZA AGUIRRE RANGEL
PAGE 2**

ESTIMATED TIMELINE:

The recommendation of approval or denial of this public hearing is scheduled for consideration by the City Council on January 19, 2021. City Council's decision is the final step in the public hearing process for this property. If denied the applicant may not request the proposed special use permit for a 12 month period from the date of denial.

STAFF RECOMMENDATION:

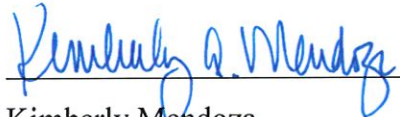
Staff recommends approval of the Special Use Permit subject to compliance with the conditions noted. If approved the applicant will need to comply with all requirements during the permitting process such as the building and fire code, fire protection, parking, landscape buffer-yards, solid waste services, utility and any other City requirements, as may be applicable.

JUSTIFICATION:

The applicant is going through a licensing transition of the business which requires the special use permit process.



Rita Lee Guerrero
Urban Planner



Kimberly Mendoza
Director of Planning & Zoning

**SPECIAL USE PERMIT
ELIZA AGUIRRE RANGEL
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**MEETING DATES:
PLANNING & ZONING COMMISSION – 12/08/2020
CITY COUNCIL –01/19/2021
DATE PREPARED –11/30/2020**

**STAFF REPORT
GENERAL INFORMATION**

<u>APPLICATION:</u>	Special Use Permit for the On-Premise Consumption of Alcoholic Beverages
<u>APPLICANT:</u>	Eliza Aguirre Rangel
<u>AGENT:</u>	N/A
<u>LEGAL:</u>	Lots 1, 11&12, Block 100, Edinburg Original Townsite
<u>LOCATION:</u>	Located at 720 N. Closner Blvd
<u>LOT/TRACT SIZE:</u>	N/A
<u>CURRENT USE OF PROPERTY:</u>	Commercial General Business
<u>PROPOSED USE OF PROPERTY:</u>	Bar
<u>EXISTING LAND USE/ ADJACENT ZONING:</u>	North - Commercial General (CG) District South - Commercial General (CG) District East - Urban Residential (UR) District West - Commercial General (CG) District
<u>LAND USE PLAN DESIGNATION:</u>	General Commercial Uses
<u>ACCESS AND CIRCULATION:</u>	This property has access to Closner Blvd. and Schunior Road
<u>PUBLIC SERVICES:</u>	Public utilities are readily available to serve the site.
<u>RECOMMENDATION:</u>	Staff recommends approval of the special use permit for one (1) year subject to the conditions listed in the staff report. A comprehensive evaluation is on the following page(s).

EVALUATION

The following is staff's evaluation of the request.

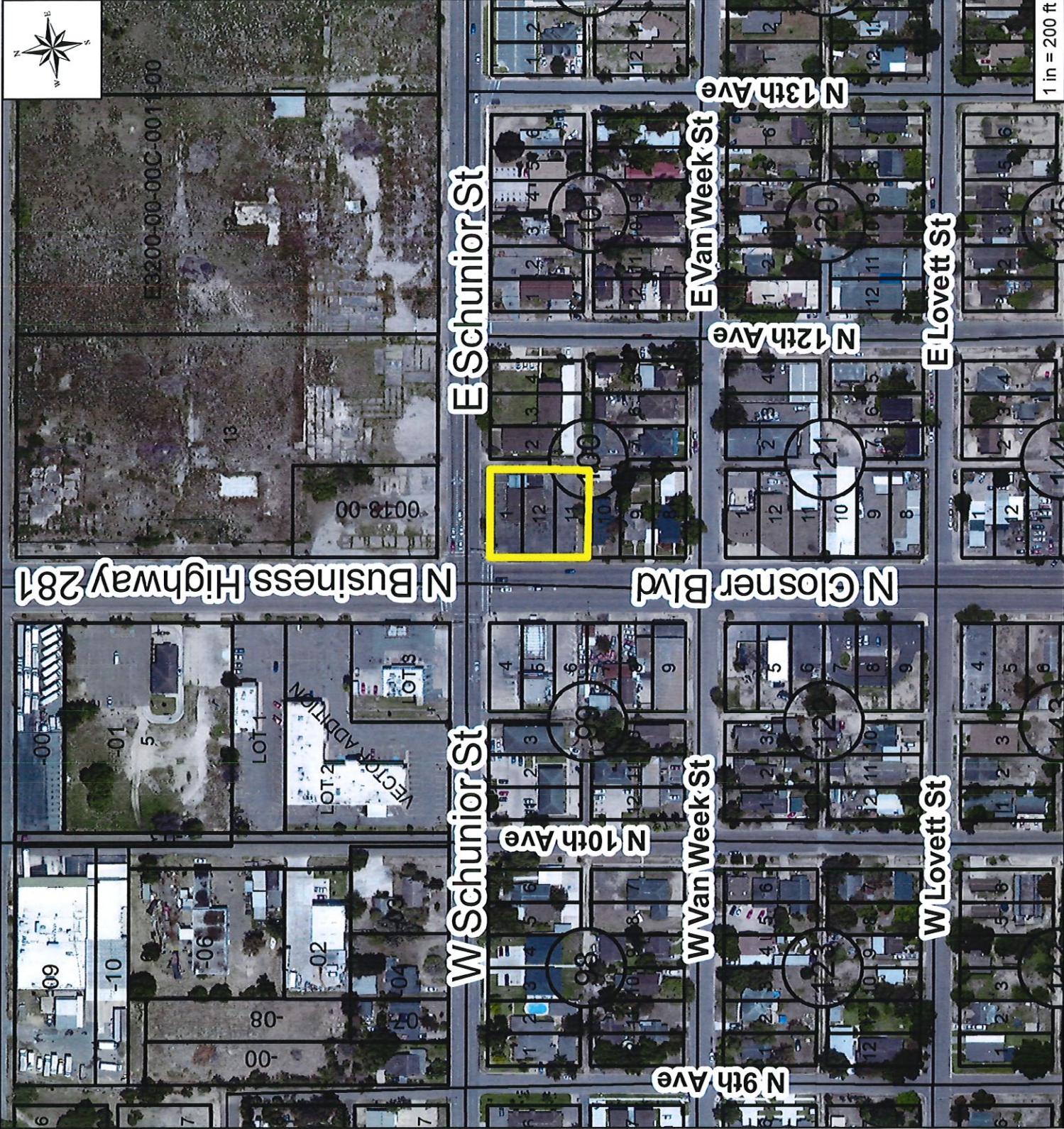
1. The surrounding land uses consist of commercial uses.
2. The proposed days and hours of operation are: Mondays through Sunday 12:00 p.m. to 2:00 a.m.
3. The applicant is requesting the City's approval to sell beer, wine and mixed beverages in the subject location.
4. The Police Department provided a police report and has been attached for the Commissions review.
5. Staff mailed a notice of the public hearing before the Planning & Zoning Commission to twenty-five (25) neighboring property owners and received no comments in favor or against this request at the time of this report.
6. The On-premise consumption of alcoholic beverages and a change in applicant requires a special use permit for this type of business.

The City may impose appropriate conditions and safeguards including a specific period of time. Each permit is reviewed on a case by case basis and neighborhood input is a vital component in the final outcome of an application for the On-premise consumption of beer and wine and mixed beverages at this location. Additionally, land use characteristics of an area, traffic and other factors are considered in reviewing these requests.

Staff recommends approval of the special use permit for the On-premise consumption of alcoholic beverages at the subject location with the following conditions:

1. The applicant complies with the hours of operation for the On-premise consumption of beer, wine and mixed beverages as allowed by the City and the Texas Alcoholic Beverage Commission.
2. Adequate security lighting must be provided for customer's safety and crime prevention purposes.
3. The applicant complies with all city requirements, including but not limited to building, building occupancy, fire codes, health permit, landscaping, parking, and all other City requirements.
4. Operations in connection with the proposed special use permit must not be more objectionable to nearby properties by reason of noise or other characteristics than would the operations of any permitted use not requiring special use approval. The use must comply with the City's Noise Standards as per the Unified Development Code.
5. The special use permit may be revoked at any time by the Planning and Zoning Commission and City Council for any violations of City and TABC regulations.

ATTACHMENTS: Site Map
Aerial Photo
Photos of Site
List of property owners receiving notice
Zoning Map



AERIAL MAP

CASE CAPTION:

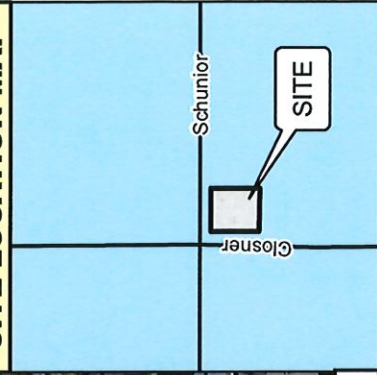
APPLICANT NAME:
 ELIZA RANGEL

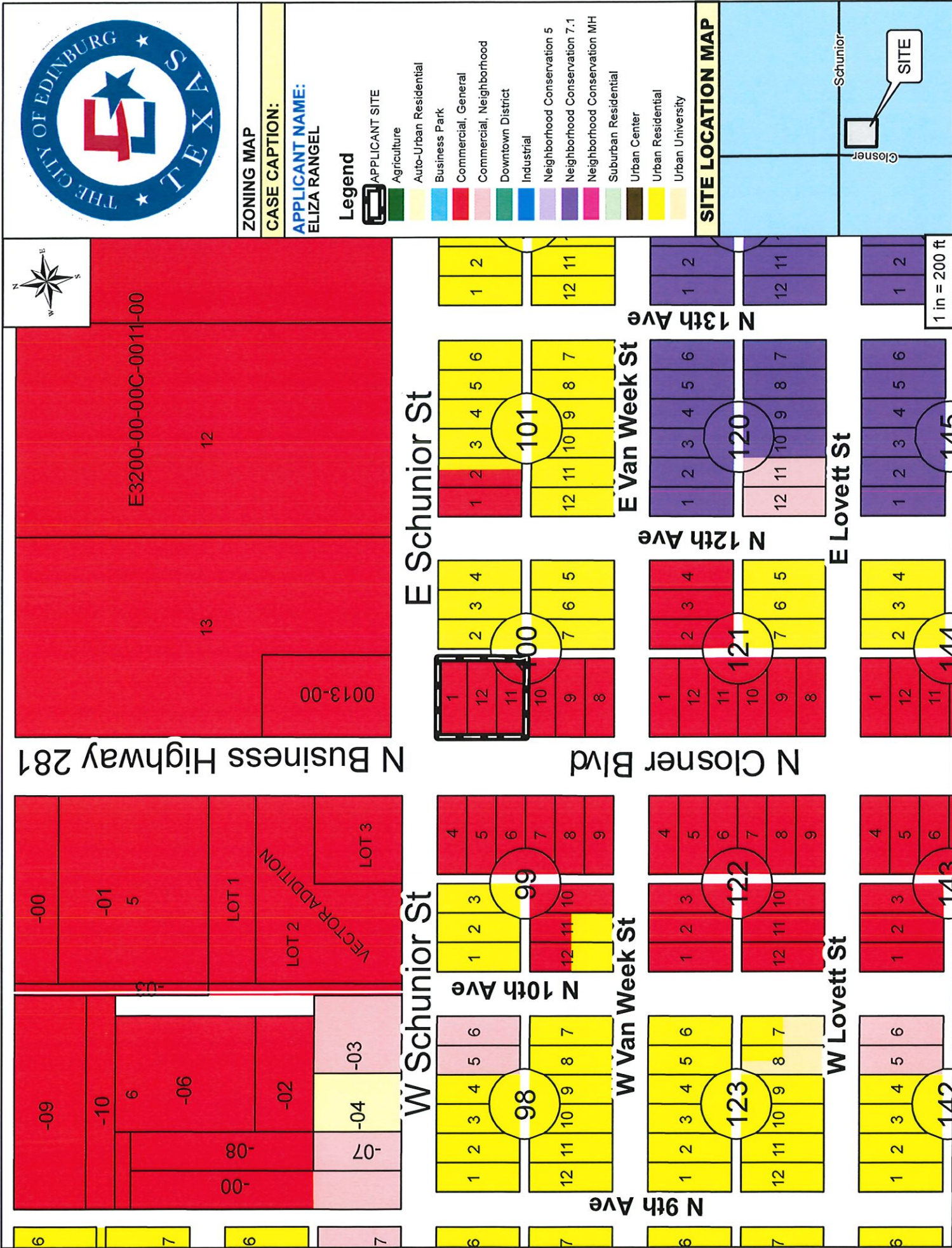
CONSIDER THE SPECIAL USE
 PERMIT FOR ON PREMISE
 CONSUMPTION FOR LATE HOURS,
 BEING LOTS 1,11&12, BLOCK 100,
 EDINBURG ORIGINAL TOWNSITE,
 LOCATED AT 720 N. CLOSER BLVD,
 AS REQUESTED BY ELIZA AGUIRRE
 RANGEL

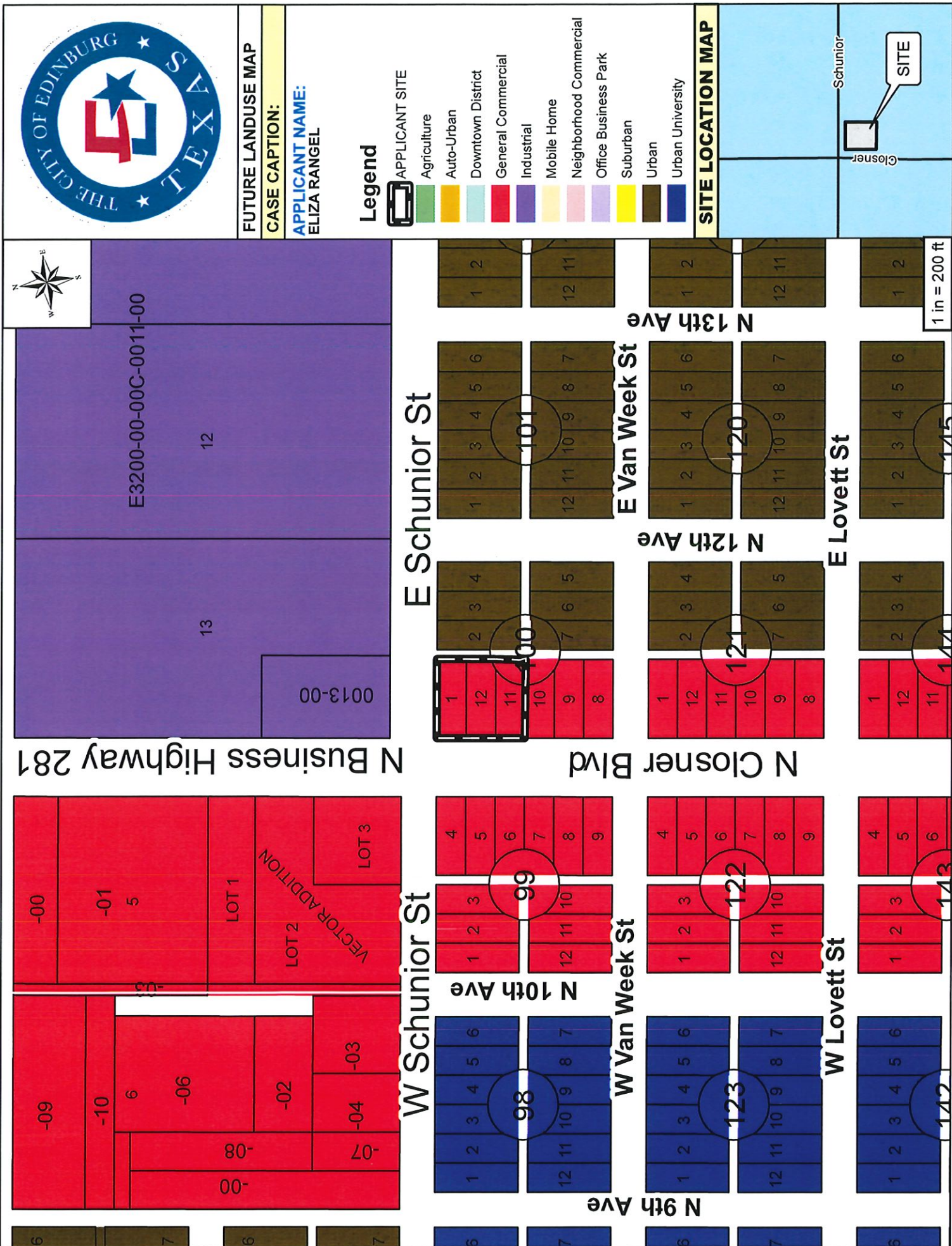
Legend

- CITY LIMITS
- APPLICANT SITE

SITE LOCATION MAP







CH

ne: 12/1/2020 2:58:32 PM

Call Date/Time	Incident Type	Location
10/31/2020 16:58:55	Hit and Run	720 N CLOSNER BLVD, EDINBURG
03/07/2020 19:37:06	Suspicious Person/Vehicle	720 N CLOSNER BLVD, EDINBURG
03/05/2020 22:56:30	Intoxicated Person	720 N CLOSNER BLVD, EDINBURG
03/04/2020 23:06:06	Harassment	720 N CLOSNER BLVD, EDINBURG
02/21/2020 22:32:42	CRIMINAL MISCHIEF	720 N CLOSNER BLVD, EDINBURG
02/17/2020 01:53:13	Domestic Disturbance	720 N CLOSNER BLVD, EDINBURG
10/30/2019 23:49:26	Assault	720 N CLOSNER BLVD, EDINBURG
09/26/2019 02:05:25	Domestic Disturbance	720 N CLOSNER BLVD, EDINBURG
09/11/2019 02:27:48	Suspicious Person/Vehicle	720 N CLOSNER BLVD, EDINBURG
08/12/2019 02:07:53	Theft	720 N CLOSNER BLVD, EDINBURG
07/30/2019 01:40:43	Narcotics	720 N CLOSNER BLVD, EDINBURG
07/12/2019 21:25:30	Patrol Check	720 N CLOSNER BLVD, EDINBURG
07/06/2019 02:29:02	Suspicious Person/Vehicle	720 N CLOSNER BLVD, EDINBURG
06/26/2019 01:05:11	Domestic Disturbance	720 N CLOSNER BLVD, EDINBURG
06/22/2019 23:59:00	Domestic Disturbance	720 N CLOSNER BLVD, EDINBURG
06/18/2019 01:11:53	911 Investigation	720 N CLOSNER BLVD, EDINBURG
06/09/2019 12:13:48	Suspicious Person/Vehicle	720 N CLOSNER BLVD, EDINBURG
05/22/2019 00:48:28	Narcotics	720 N CLOSNER BLVD, EDINBURG
05/20/2019 12:00:31	Traffic Complaint/ Investigation	720 N CLOSNER BLVD, EDINBURG
05/18/2019 01:52:07	Assault	720 N CLOSNER BLVD, EDINBURG
05/10/2019 15:02:04	Animal Complaint	720 N CLOSNER BLVD, EDINBURG
03/15/2019 20:32:00	Information	720 N CLOSNER BLVD, EDINBURG
01/04/2019 20:45:40	Domestic Disturbance	720 N CLOSNER BLVD, EDINBURG
12/29/2018 00:04:00	Assault	720 N CLOSNER BLVD, EDINBURG
12/08/2018 00:40:18	Suspicious Person/Vehicle	720 N CLOSNER BLVD, EDINBURG

me: 12/1/2020 3:01:25 PM

Reported Date/Time	Reporting Officer	Occurred Incident Type	Location
10/31/2020 16:58:55	Pena, Araceli	Duty to Give Info & RA	720 N CLOSNER BLVD, EDINBURG
03/05/2020 20:07:42	Reynero, Javier	Assault-Bodily Injury	720 N CLOSNER BLVD, EDINBURG
02/21/2020 22:32:42	DeLaCruz, Randy	Criminal Mischief	720 N CLOSNER BLVD, EDINBURG
10/30/2019 23:49:26	Oviedo, Jose	Public Intoxication/Drunk	720 N CLOSNER BLVD, EDINBURG
08/12/2019 02:07:53	Zuniga, Fabian	Theft-Larceny all types	720 N CLOSNER BLVD, EDINBURG
05/14/2019 23:31:00	Rosales, Ashley	Assault-Bodily Injury	720 N CLOSNER BLVD, EDINBURG

AGENDA ITEM AND RECOMMENDATION SUMMARY
PLANNING AND ZONING COMMISSION REGULAR MEETING
DECEMBER 8, 2020

Consider Variance to the City's Unified Development Code Article 12, Section 12.301 (B5C) On-Premise Signs, Free Standing Sign, Being Lots 2&3 Cibolo Estates, Located at 12409 N Bail Bond Drive, As Requested By Datatronic Control, Inc. [Planning & Zoning- Kimberly A. Mendoza, Director of Planning & Zoning]

STAFF COMMENTS AND RECOMMENDATION:

The City of Edinburg adopted Sign Regulations on April 5, 2011. These regulations contain standards intended to avoid visual clutter, which is potentially harmful to traffic, pedestrian safety, property values, business opportunities, and community appearance. These regulations govern the use, size, location, construction and maintenance of signs. The zoning for this property is Agricultural (AG) District.

The applicant is requesting a Variance to the City's Sign Regulations. According to City's Unified Development Code Free standing signs for non-residential property with frontage along other roadways, the following shall apply: the maximum size of the sign shall be one-hundred (100) square feet the maximum height of the sign shall be thirty (30) feet for a multi-tenant sign and twenty feet (20) for a single tenant sign.


Proposed Sign Location	UDC Height/Square Footage	Proposed Sign Height Square Footage	Total Difference
12409 N Bail Bonds Drive	For non-residential property with frontage along other roadways, the following shall apply: The maximum size of the sign shall be one-hundred (100) square feet The maximum height of the sign shall be thirty (30) feet for a multi-tenant sign and twenty feet (20) for a single tenant sign.	<u>Height</u> 48 ft <u>Overall Square Footage</u> 431.41 sq. ft (Existing) 260 sq. ft. (Addition Only) 171.41 sq. ft.	<u>Height</u> 18 feet <u>Overall Square Footage</u> (Addition Only) 71.41 sq. ft.

Staff mailed a notice of public hearing before the Planning and Zoning Commission to twenty-one (21) neighboring property owners and received 1 comment against via phone call and no comments in favor of this request. Attached for the Commission's review is a site map, photos of the site, additional documentation and an illustration of the sign to be located on this property.

RECOMMENDATION:

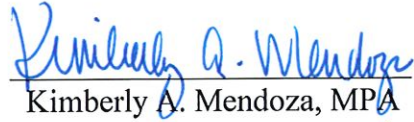
Staff recommends denial of the variance request due to the sign exceeding the square footage allowable by code.

Prepared By:



Rita Lee Guerrero
Urban Planner

Approved By:



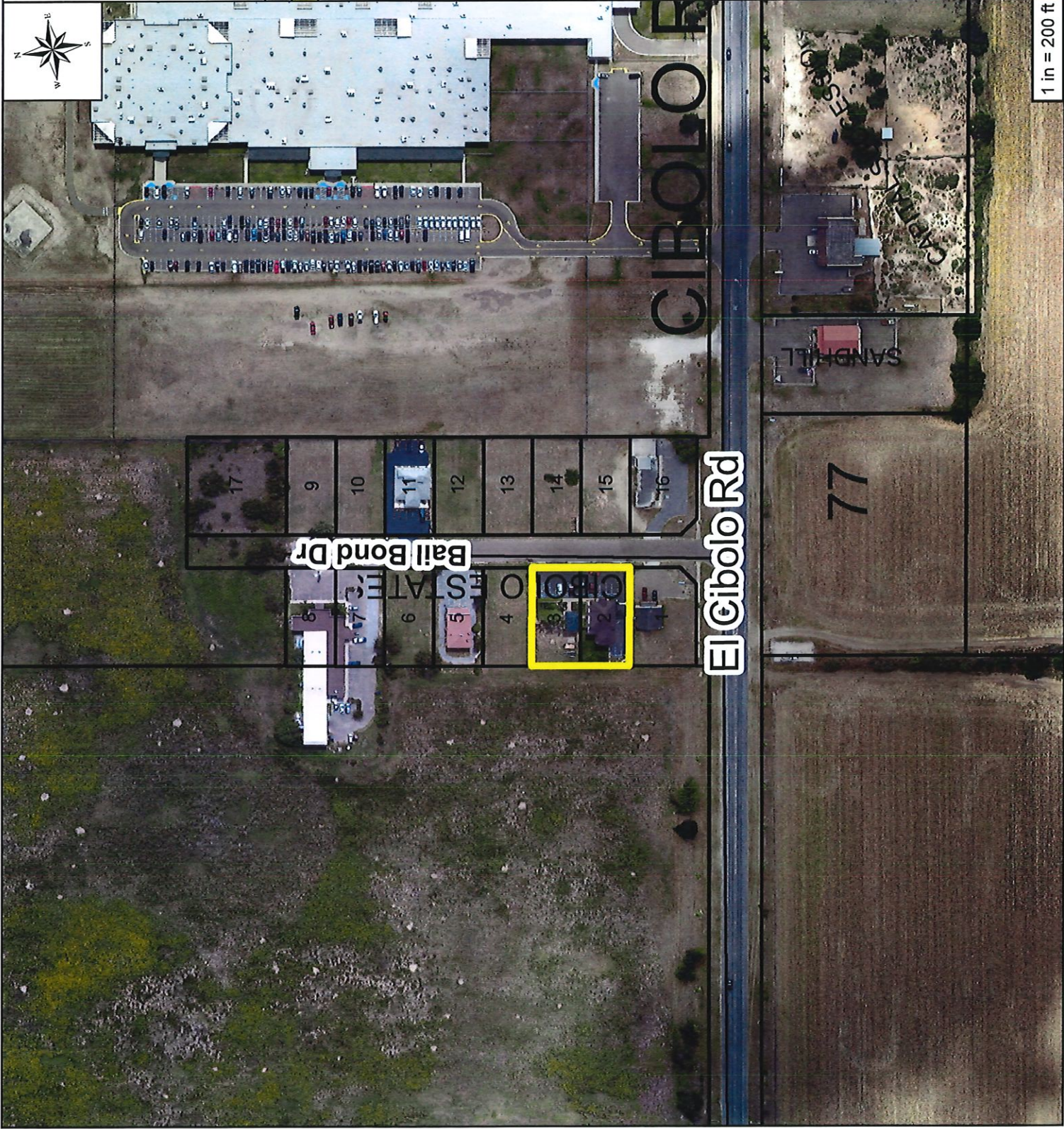
Kimberly A. Mendoza, MPA
Director of Planning & Zoning

DIVISION 12.300 ON-PREMISE SIGNS

Sec. 12.301 On-Premise Signs in Agricultural, Residential, Commercial and Industrial Districts

Free Standing Sign. A sign permit is required. Free standing sign shall be limited to one permanent sign per site. For lots fronting on more than one public street, one sign shall be allowed for each street, with each sign oriented toward, a different street or street corner. A free standing sign may include a changeable message unit on the same pole.

- a. For property with frontage on Expressway 281 are as follows: The maximum size of each sign shall be (200) square feet and the total area of all signs shall be six hundred (600) square feet. The maximum height of the sign shall be sixty (60) feet.
- b. For property which has frontage on State Highway 107 and Business Highway 281 except for property within the Downtown District, Jackson Road South of Trenton Road, Monte Cristo Road, and Trenton Road the following shall apply. The maximum size of the sign shall be two-hundred (200) square feet. The maximum height shall be forty (40) feet.
- c. For non-residential property with frontage along other roadways, the following shall apply: The maximum size of the sign shall be one-hundred (100) square feet. The maximum height of the sign shall be thirty (30) feet for a multi-tenant sign and twenty feet (20) for a single tenant sign.



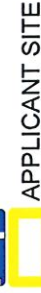
AERIAL MAP

CASE CAPTION:

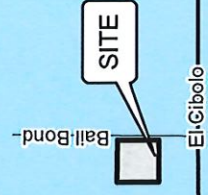
APPLICANT NAME:

DATATRONIC CONTROL INC
CONSIDER VARIANCE TO THE
CITY'S UNIFIED DEVELOPMENT
CODE ARTICLE 12, SECTION
12.301 (B5C) ON-PREMISE SIGNS,
FREE STANDING SIGN, BEING
LOTS 2&3 CIBOLO ESTATES,
LOCATED AT 12409 N BAIL BOND
DRIVE, AS REQUESTED BY
DATATRONIC CONTROL, INC.

Legend



SITE LOCATION MAP





ZONING MAP

CASE CAPTION:

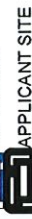
APPLICANT NAME:

DATATRONIC CONTROL INC

Legend



CITY LIMITS



APPLICANT SITE

Agriculture

Auto-Urban Residential

Business Park

Commercial, General

Commercial, Neighborhood

Downtown District

Industrial

Neighborhood Conservation 5

Neighborhood Conservation 7.1

Neighborhood Conservation MH

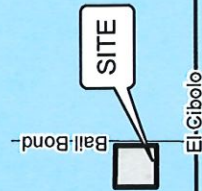
Suburban Residential

Urban Center

Urban Residential

Urban University

SITE LOCATION MAP



1 in = 200 ft



FUTURE LANDUSE MAP

CASE CAPTION:

APPLICANT NAME:

DATATRONIC CONTROL INC

Legend

CITY LIMITS



APPLICANT SITE

Agriculture

Auto-Urban

Downtown District

General Commercial

Industrial

Mobile Home

Neighborhood Commercial

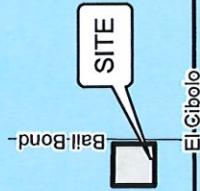
Office Business Park

Suburban

Urban

Urban University

SITE LOCATION MAP



1 in = 200 ft



MAILOUT AND SITE MAP

CASE CAPTION:

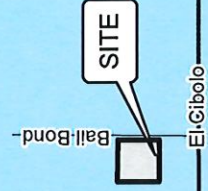
APPLICANT NAME:

DATATRONIC CONTROL INC
CONSIDER VARIANCE TO THE
CITY'S UNIFIED DEVELOPMENT
CODE ARTICLE 12, SECTION
12.301 (B5C) ON-PREMISE SIGNS,
FREE STANDING SIGN, BEING
LOTS 2&3 CIBOLO ESTATES,
LOCATED AT 12409 N BAIL BOND
DRIVE, AS REQUESTED BY
DATATRONIC CONTROL, INC.

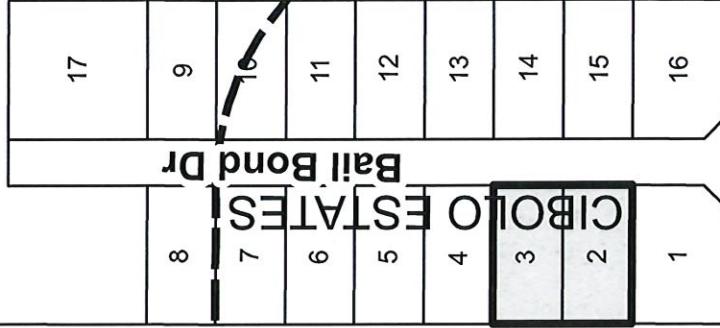
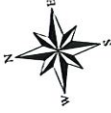
Legend



SITE LOCATION MAP



1 in = 200 ft



CIBOLO R

El Cibolo Rd

SANDHILL

CAPITAL SUCCESSION

77

8mm Resolution

Quote
11



8'-5 13/16"

20'-1 7/8"

5130 DEXHAM RD. | ROWLETT, TX 75088

SALES@DCISIGN.COM | WWW.DCISIGN.COM

972.475-7879 | FAX: 972.475.4163

DESIGNED FOR:

Anzaldue Bail Bonds

QUOTE NUMBER:

2010-1912-5354

DATE:

10-19-20

DRAWN BY:

Kayla D.

SCALE:

1/99.05"

This original design and all information contained herein are the property of Datatronic Control, Inc. and is subject to return, any unauthorized use is prohibited. Images shown on the sign may not display actual resolutions. This drawing shows estimates for representation and size only. Actual sizes may vary and this should in no way constitute as a technical or engineered drawing. The sizes, layouts, and images used in this drawing are for the sole purpose of being viewed by the client to estimate how the sign may be displayed. Refer to an engineer drawing for actual sizes, layouts, and scales. Datatronic Control, Inc. does not perform any electrical work. All electrical work must be performed by a licensed electrician.

DESCRIPTION:

8 MM
Cinevision
320 x 768 Matrix

NOTES:



Datatronic Control, Inc.

CUSTOMER APPROVAL:

DATE:

11/25/2020 7:55:31 PM D:\Sharefile\Personal Folders\01 My Projects\2020 Solorio\20212 sign 1 pole 3 sections 48 feet\20212 sign 1 pole edinburg 48 feet.rvt

GENERAL NOTES

1. THESE CONTRACT STRUCTURAL DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHED STRUCTURE. UNLESS OTHERWISE INDICATED, THEY DO NOT INDICATE THE METHOD OF CONSTRUCTION. CONTRACTOR SHALL PROVIDE ALL MEASURES NECESSARY TO PROTECT THE STRUCTURE, WORKMEN, AND OTHER PERSONS DURING CONSTRUCTION. SUCH MEASURES SHALL INCLUDE, BUT NOT BE LIMITED TO, BRACING, SHORING FOR EARTH BANKS, FORMS, SCAFFOLDING, PLANKING, SAFETY NETS, SUPPORT AND BRACING FOR CRANES AND GIN POLES, ETC. THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK AND HE SHALL BE SOLELY RESPONSIBLE FOR ALL CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES. OBSERVATION VISITS TO THE SITE BY THE ARCHITECT OR THE ENGINEER DO NOT INCLUDE INSPECTION OF THE ABOVE AND BELOW ITEMS.
2. ALL CONSTRUCTION AND QUALITY OF MATERIALS SHALL COMPLY WITH THE GOVERNING BUILDING CODES AND REGULATIONS.
3. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS AND CONDITIONS AT THE JOB SITE BEFORE COMMENCEMENT OF WORK AND SHALL IMMEDIATELY REPORT ANY DISCREPANCIES OR OMISSIONS TO THE ARCHITECT IN WRITING. ANY OMISSION OR CONFLICT BETWEEN THE VARIOUS ELEMENTS OF THE WORKING DRAWINGS AND/OR SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER BEFORE PROCEEDING WITH ANY WORK SO INVOLVED.
4. IN CASE OF CONFLICT, NOTES AND DETAILS ON THE BALANCE OF THE DRAWINGS TAKE PRECEDENCE OVER STANDARD NOTES AND TYPICAL DETAILS.
5. WHERE CONSTRUCTION DETAILS ARE NOT SPECIFICALLY SHOWN OR NOTED FOR ANY PART OF THE WORK, SUCH DETAILS SHALL BE CONSTRUCTED IN ACCORDANCE WITH DETAILS SHOWN FOR SIMILAR CONDITIONS AND MATERIALS. WHERE SUFFICIENTLY SIMILAR WORK IS NOT SHOWN, THE ENGINEER SHALL BE CONSULTED FOR CLARIFICATION.
6. EACH SUBCONTRACTOR IS CONSIDERED AN EXPERT IN HIS RESPECTIVE FIELD AND SHALL, PRIOR TO THE SUBMISSION OF BID OR PERFORMANCE OF WORK, NOTIFY THE GENERAL CONTRACTOR OR OWNER OF ANY CALLED OUT ON THE DRAWINGS IN HIS TRADE THAT CAN'T BE GUARANTEED.
7. THE CONTRACTOR SHALL COORDINATE ALL MECHANICAL AND ELECTRICAL EQUIPMENT, AS TO WEIGHTS AND EXACT LOCATIONS, WITH STRUCTURAL SUPPORTS. IN THE EVENT THAT THE PURCHASED EQUIPMENT DEVIATES IN WEIGHT AND LOCATION FROM THOSE INDICATED ON THE PLANS, THE ARCHITECT MUST BE NOTIFIED AND APPROVAL OBTAINED PRIOR TO INSTALLATION.
8. THIS STRUCTURE IS DESIGNED AS A STABLE UNIT AFTER ALL COMPONENTS ARE IN PLACE. THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE TEMPORARY BRACING AS REQUIRED TO INSURE THE VERTICAL AND LATERAL STABILITY OF THE ENTIRE STRUCTURE, OR ANY THEREOF, DURING CONSTRUCTION.
9. NEITHER THE OWNER NOR THE ARCHITECT NOR THE ENGINEER WILL ENFORCE SAFETY MEASURES OR REGULATIONS. THE CONTRACTOR SHALL DESIGN, CONSTRUCT AND MAINTAIN ALL SAFETY DEVICES, INCLUDING SHORING AND BRACING, AND SHALL BE SOLELY RESPONSIBLE FOR CONFORMING TO ALL LOCAL, STATE AND FEDERAL SAFETY AND HEALTH STANDARDS, LAWS AND REGULATIONS.
10. TRADE NAMES AND MANUFACTURERS REFERRED TO ARE FOR QUALITY STANDARDS ONLY. SUBSTITUTIONS WILL BE PERMITTED AS APPROVED BY THE ENGINEER.
11. ANY OPTIONS OR APPROVED SUBSTITUTIONS ARE FOR CONTRACTORS CONVENIENCE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL CHANGES, ADDITIONAL COSTS AND COORDINATION WITH ALL ITEMS THAT THE SUBSTITUTIONS MAY IMPACT.
12. THE ENGINEER IS TO BE NOTIFIED IN WRITING WHEN CONSTRUCTION AT THE SITE BEGINS.
13. ANY QUESTIONS RELATED TO INTERPRETATION OR INTENT OF DRAWINGS SHALL BE REFERRED TO THE ENGINEER.
14. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO LOCATE AND PROTECT ANY EXISTING UNDERGROUND OR CONCEALED CONDUIT, PLUMBING, OR OTHER UTILITIES PRIOR TO BEGINNING ANY WORK.
15. PIPES, DUCTS, SLEEVES, CHASES, ETC. SHALL NOT BE PLACED IN BEAMS, OR WALLS UNLESS SPECIFICALLY SHOWN OR NOTED. NOR SHALL ANY STRUCTURAL MEMBER BE CUT FOR PIPES, DUCTS, ETC. UNLESS NOTED CONTRACTOR SHALL OBTAIN PRIOR APPROVAL FOR INSTALLATION OF ANY ADDITIONAL PIPES, DUCTS, ETC.

CAST-IN-PLACE CONCRETE

1. VERIFY ALL DIMENSIONS. COORDINATE WITH ARCHITECTURAL PLANS PRIOR TO CONSTRUCTION AND NOTIFY ARCHITECT AND/OR ENGINEER OF ANY DISCREPANCIES.
2. ALL CONCRETE WORK SHALL BE IN ACCORDANCE WITH THE AMERICAN CONCRETE INSTITUTE SPECIFICATIONS, ACI #301-96, OR LATEST EDITION. DRILLED PIERS SHALL COMPLY WITH ACE 336.1-98 AND ACI 336.3R-93.
3. ALL DETAILING, FABRICATION AND ERECTION OF REINFORCING BARS, AND ALL ACCESSORIES UNLESS OTHERWISE NOTED, SHALL BE IN ACCORDANCE WITH THE ACI "MANUAL OF STANDARD PRACTICE FOR DETAILING REINFORCED CONCRETE", ACI #315 LATEST EDITION.
4. THE MINIMUM 28 DAYS CYLINDER STRENGTH SHALL BE AS FOLLOWS:

LOCATION	STRENGTH AT 28 DAYS	MAXIMUM SLUMP	MAXIMUM AGGREGATE
PIERS	3000 PSI	5"	1 1/2"
5. PORTLAND CEMENT SHALL CONFORM TO A.S.T.M. C150-97A, TYPE I OR II. STRUCTURAL CONCRETE AGGREGATE SHALL CONFORM TO ASTM C 33-97, STANDARD WEIGHT.
6. ALL CONCRETE SHALL CONTAIN "POZZOLITH" ADMIX AS PER MANUFACTURER'S SPECIFICATIONS, IN ACCORDANCE WITH ASTM C494. NO CALCIUM CHLORIDE AS CEMENT REPLACEMENT WILL BE PERMITTED IN CONCRETE.
7. REQUIREMENTS FOR COLD AND HOT WEATHER SHALL BE PER IBC SECTIONS 1905.12 AND 1905.13.
8. CONCRETE COVER FOR REINFORCING AS FOLLOWS:
 - A. DRILLED PIERS, FOOTINGS AND OTHER PRINCIPAL STRUCTURAL MEMBERS IN WHICH CONCRETE IS DEPOSITED AGAINST GROUND: 3" ANCHOR BOLTS, DOWELS, INSERTS, ETC. SHALL BE SECURELY TIED IN PLACE PRIOR TO PLACING CONCRETE.
 - B. MECHANICALLY VIBRATE ALL CONCRETE WHEN PLACED.
9. READY MIX CONCRETE SHALL COMPLY WITH REQUIREMENTS OF ASTM C94. WHEN AIR TEMPERATURE IS BETWEEN 85° AND 90° F, REDUCE MIXING AND DELIVERY TIME FROM 90 MINUTES TO 75 MINUTES; WHEN AIR TEMPERATURE IS ABOVE 90° F, REDUCE MIXING AND DELIVERY TIME TO 60 MINUTES.

STRAIGHT SHAFT PIERS

1. CONCRETE PIERS SHALL BE PER SCHEDULE OR DETAIL.
2. ALL REINFORCING BARS SHALL BE NEW BILLET STEEL AND SHALL CONFORM TO ASTM A-615, GRADE 60.
3. ALL REINFORCING STEEL SHALL BE CONTINUOUS WITH SPLICES LAPPED 75 BAR DIAMETERS.
4. CENTER FOOTING UNDER COLUMN OR WALL UNLESS DIMENSIONED OTHERWISE.
5. PIERS SHAFT SHALL BE DRILLED PLUMB ALONG ITS TOTAL LENGTH (1" PER 10'-0" MAXIMUM TOLERANCE).
7. BOTTOM OF PIER TO BE CLEAN AND FREE OF ALL LOOSE MATERIALS AND WATER.
8. CENTER STEEL CAGE IN SHAFT WITH A MINIMUM 3 LEVELS OF CONCRETE BLOCK SPACERS (8 FT. MAXIMUM SPACING) AT A MINIMUM OF 3 EVENLY ON 3" CONCRETE SEAT BLOCK.
9. DO NOT RAISE CAGE OFF OF FOOTING BOTTOM DURING CONCRETE PLACEMENT.
10. CONCRETE AND REINFORCING IN SHAFTS SHALL BE PLACED THE SAME DAY AS DRILLING.
11. PIERS SHALL BE FOUNDED IN UNDISTURBED NATURAL SOIL.
12. CONTRACTOR SHALL COORDINATE WITH GEOTECHNICAL ENGINEER FOR VERIFICATION OF PIERS BEARING STRATUM AT TIME OF DRILLING.
15. ALL DRILLED FOOTINGS SHALL BE FREE OF WATER PRIOR TO POURING OF CONCRETE.
16. FOOTING HOLES SHALL NOT BE LEFT OPEN OVERNIGHT (NO EXCEPTIONS).
17. PROVIDE STEEL CASING AS REQUIRED TO PREVENT CAVE-IN.
18. STEEL CASING SHALL BE REMOVED DURING POURING SEQUENCE.

DESIGN CRITERIA

1. DESIGN LOADS, STRUCTURAL ANALYSIS AND PREPARATIONS OF STRUCTURAL MEMBERS IS BASED UPON THE FOLLOWING CRITERIA:

CODE:	IBC 2012 / IBC 2015
WIND SPEED (3 SECOND GUST):	131
Importance Category	II



Anzaldua Bail Bonds, Revised
12409 Bail Bond Drive, Edinburg, Texas

Solorio, Inc.
Structural Engineering
F-1616

108 W 18th Street
Mission, TX 78572
(956) 631-1500
www.solorio.com



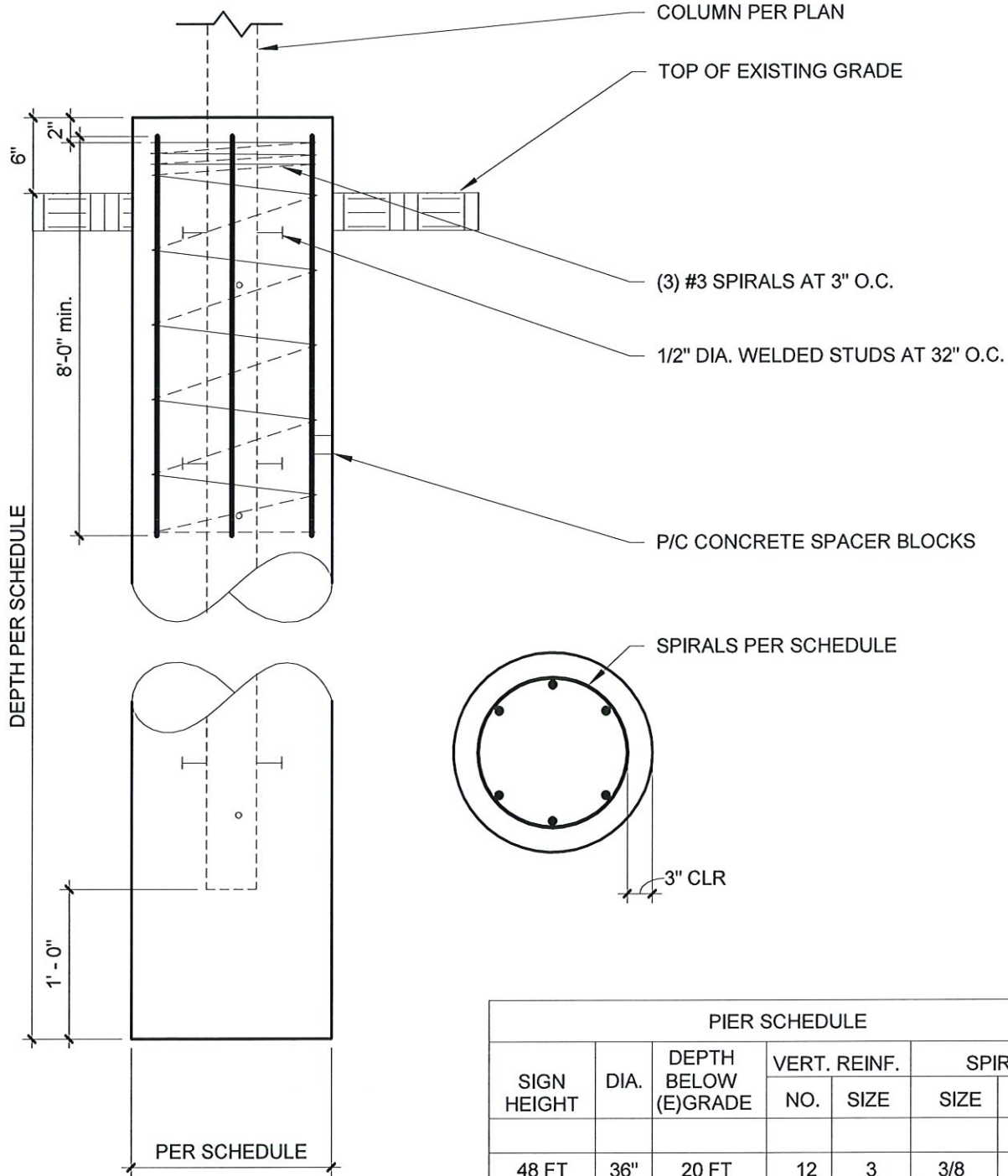
General Notes

DATE: 11/25/2020

DRAWN sgs

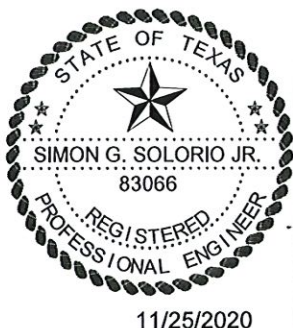
S101

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PIER SCHEDULE						
SIGN HEIGHT	DIA.	DEPTH BELOW (E)GRADE	VERT. REINF.		SPIRAL	
			NO.	SIZE	SIZE	PITCH
48 FT	36"	20 FT	12	3	3/8	18"

PROJ. 20212a



Anzaldua Bail Bonds, Revised
12409 Bail Bond Drive, Edinburg, Texas

Solorio, Inc.
Structural Engineering
F-1616

108 W 18th Street
Mission, TX 78572
(956) 631-1500
www.solorio.com



SOLORIO

Pole Foundation

DATE: 11/25/2020

DRAWN sgs

S102



CITY OF EDINBURG
Planning & Zoning Commission

Regular Meeting

Meeting Date:

12/8/2020

Rezoning Request

AGENDA ITEM:

Hold Public Hearing and Consider the Rezoning Request from Agriculture (AG) District to Neighborhood Conservation 5.0 (NC 5.0) District, Being Lot 26, Bar Unit No. 6, Located on the North Side of West Efrain Street approximately 125 Feet East of Pablo Street, As Requested By Noe Garza [Planning & Zoning – Kimberly Mendoza, Director of Planning & Zoning]

DESCRIPTION / SCOPE:

The property is located on the north side of West Efrain Street approximately 125 feet east of Pablo Street and is currently vacant. The property has 55 feet of frontage along West Efrain Street and a depth of 132 feet for a lot size of 7,260 square feet. The rezoning request for Neighborhood Conservation 5.0 (NC 5.0) District, will allow for a single family residence on the subject property. The applicant is requesting the rezoning to allow for the construction of a home.

The property is zoned Agriculture (AG) District. Surrounding zoning is Neighborhood Conservation 5.0 (NC 5.0) District to the North and Agriculture (AG) District to the East, South and West. The surrounding area consists of residential uses and vacant land. This property was annexed into the City Limits of Edinburg on December 10, 2013.

Staff mailed a notice of the public hearing before the Planning & Zoning Commission to fifty (50) neighboring property owners and received no comments in favor or against this request at the time of the report.

ESTIMATED TIMELINE:

The recommendation of approval or denial of this public hearing is scheduled for consideration by the City Council on January 15, 2021. City Council's decision is the final step in the zoning process for this property. If denied the applicant may not request the proposed zoning classification for a 12 month period from the date of denial.

STAFF RECOMMENDATION:

Staff recommends approval of the Rezoning Request from Agriculture (AG) District to Neighborhood Conservation 5.0 (NC 5.0) District. If approved, the applicant will need to comply with all requirements during the permitting process including compliance with subdivision regulations, building and fire codes, fire protection, parking, landscape buffer-yards, solid waste services, utility, and any other City requirements, as applicable.

JUSTIFICATION:

The applicant is requesting the rezoning to allow for the construction of a single family residence.

Rita Lee Guerrero

Urban Planner

Kimberly A. Mendoza, MPA

Director of Planning & Zoning

MEETING DATES:
PLANNING & ZONING COMMISSION – 12/8/2020
CITY COUNCIL – 1/19/2021
DATE PREPARED – 11/30/2020

STAFF REPORT
GENERAL INFORMATION

<u>APPLICATION:</u>	Rezoning Request from Agriculture (AG) District to Neighborhood Conservation 5.0 (NC 5.0) District
<u>APPLICANT:</u>	Noe Garza
<u>AGENT:</u>	N/A
<u>LEGAL:</u>	Being Lot 26, Bar Unit No. 6
<u>LOCATION:</u>	Located on the North Side of West Efrain Street approximately 125 Feet East of Pablo Street
<u>LOT/TRACT SIZE:</u>	7,260 square feet
<u>CURRENT USE OF PROPERTY:</u>	Vacant
<u>PROPOSED USE OF PROPERTY:</u>	Single Family Residence
<u>EXISTING LAND USE</u>	Agriculture (AG) District
<u>ADJACENT ZONING:</u>	North - Neighborhood Conservation 5.0 (NC 5.0) District South – Agriculture (AG) District East - Agriculture (AG) District West - Agriculture (AG) District
<u>LAND USE PLAN DESIGNATION:</u>	N/A
<u>PUBLIC SERVICES:</u>	Sharyland Water Supply Water / City of Edinburg Sewer
<u>RECOMMENDATION:</u>	Rezoning Request from Agriculture (AG) District to Neighborhood Conservation 5.0 (NC 5.0) District

EVALUATION

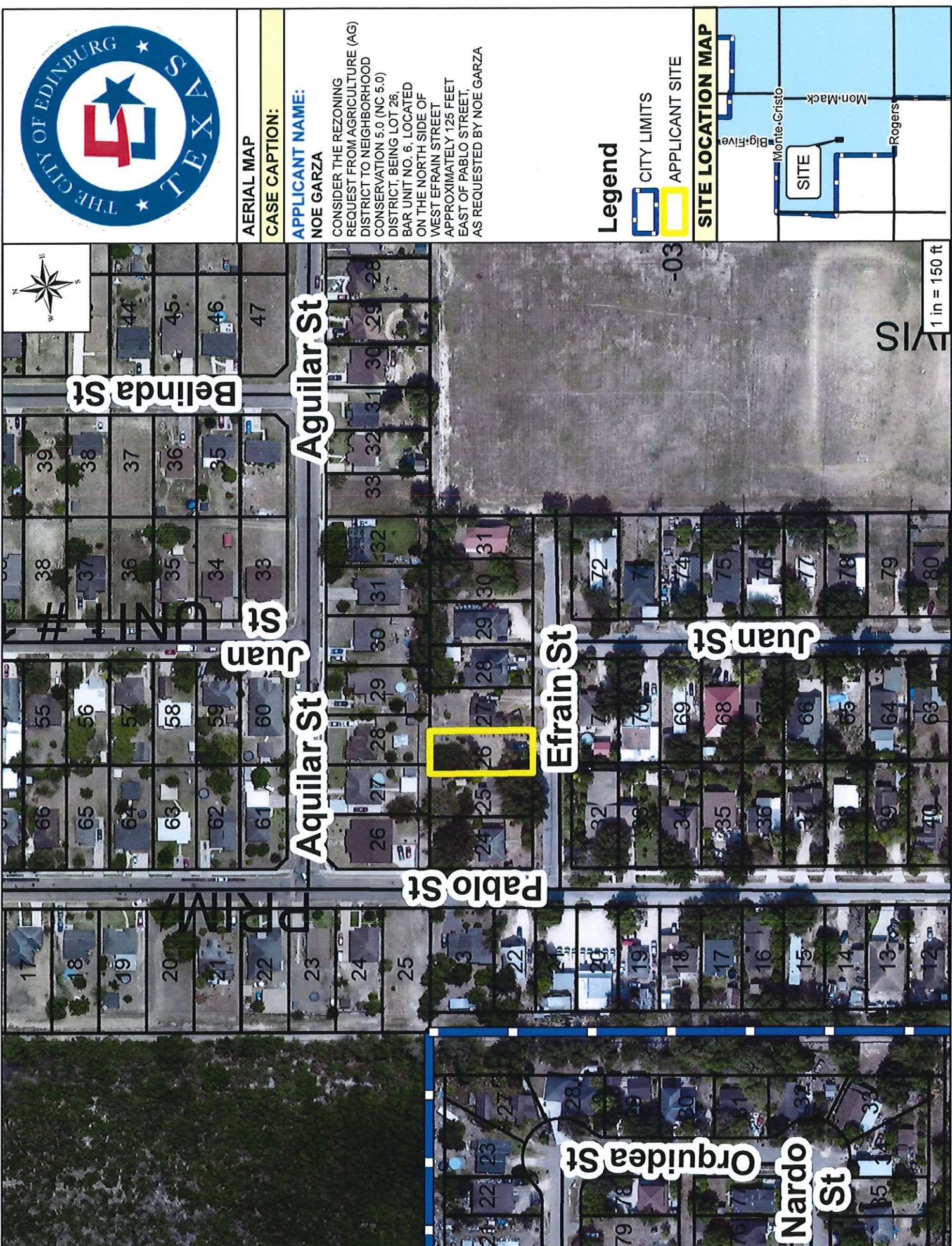
The following is staff's evaluation of the request.

1. The land use pattern for this area of the community consists of residential uses.
2. The applicant is proposing a single family residence.

Staff recommends approval of the Rezoning Request from Agriculture (AG) District to Neighborhood Conservation 5.0 (NC 5.0) District. If approved, the applicant will need to comply with all requirements during the permitting process including compliance with subdivision regulations, building and fire codes, fire protection, parking, landscape buffer-yards, solid waste services, utility, and any other City requirements, as applicable.

Staff mailed a notice of the public hearing before the Planning & Zoning Commission to fifty (50) neighboring property owners and received no comments in favor or against this request at the time of the report.

ATTACHMENTS: Aerial Photo
Zoning Map
Future Land Use Map
Photo of site
Exhibits



AERIAL MAP

CASE CAPTION:

APPLICANT NAME:

NOE GARZA

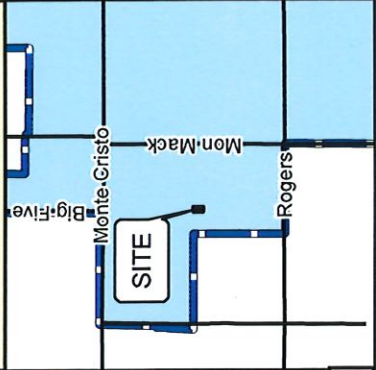
CONSIDER THE REZONING REQUEST FROM AGRICULTURE (AG) DISTRICT TO NEIGHBORHOOD CONSERVATION 5.0 (NC 5.0) DISTRICT, BEING LOT 26, BAR UNIT NO. 6, LOCATED ON THE NORTH SIDE OF WEST EFRAIN STREET APPROXIMATELY 125 FEET EAST OF PABLO STREET, AS REQUESTED BY NOE GARZA

Legend

CITY LIMITS

APPLICANT SITE


SITE LOCATION MAP





APPLICANT NAME:
NOE GARZA

Legend



CITY LIMITS

APPLICANT SITE

Agriculture

Auto-Urban

Downtown Di

General Commercial

Industrial

Mobile Home

Neighborhood Commercial

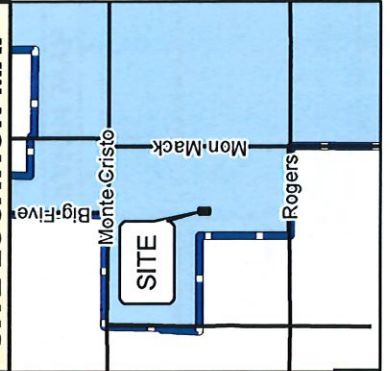
Office Business Park

Suburban

Urban

Urban University

SITE LOCATION MAP



BAR SUBDIVISION

UNIT No. 6

HIDALGO COUNTY, TEXAS

BEING A SUBDIVISION CONTAINING 20.00 ACRES AND BEING A
RESUBDIVISION OF THE WEST ONE-HALF OF LOT 8, SECTION 23S,
TEXAS-MEXICAN RAILWAY COMPANY SURVEY
HIDALGO COUNTY, TEXAS

I, LARRY L. SMITH, A REGISTERED PUBLIC SURVEYOR AND ENGINEER, DO
HEREBY CERTIFY THAT THIS PLAN IS A TRUE AND ACCURATE
REPRESENTATION OF THE SUBDIVISION OF THE LANDS HEREON DESCRIBED
AS SURVEYED AND SUBDIVIDED UNDER MY DIRECTION.



Larry L. Smith
LARRY L. SMITH
REGISTERED PUBLIC SURVEYOR & ENGINEER
HOUSTON, TEXAS
SURVEYED:
PREPARED: November 1, 1985
JOB #2-850473

STATE OF TEXAS
COUNTY OF HIDALGO

KNOW ALL MEN BY THESE PRESENTS:
THAT THE UNDERSIGNED OWNER OF THE PROPERTY HEREON DESCRIBED, DOES
HEREBY ADOPT, DEDICATE, AND CONFIRM THE FOREGOING MAP OR PLAN AND
DOES DEDICATE TO THE PUBLIC THE SURFACE USE OF THE STREETS AND
ALLEYS DESIGNATED THEREON.

H. Hollis Rankin III
H. HOLLIS RANKIN, III

STATE OF TEXAS
COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY
APPEARED H. HOLLIS RANKIN, III OWNER KNOWN TO ME TO BE THE PERSON
WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND
ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND
CONSIDERATION THEREIN EXPRESSED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS THE _____ DAY
OF _____ A.D., 1986.

HED L. KURTH

Notary Public

State of Texas

My Commission Expires _____

H. Hollis Rankin III

NOTARY PUBLIC FOR THE STATE OF TEXAS

THIS PLAN APPROVED BY THE HIDALGO COUNTY IRRIGATION DISTRICT NO. 1
ON THIS THE _____ DAY OF _____, 1986, A.D.

Willard Zil
PRESIDENT

ATTEST:

Willard Zil
SECRETARY

NOTE: HIDALGO COUNTY IRRIGATION DISTRICT NO. 1 WILL NOT BE
RESPONSIBLE FOR DRAINAGE OR DELIVERY OF WATER TO ANY LOT
IN THIS SUBDIVISION.

APPROVED

Donna Winkler

April 28, 1986

Willard Zil

Willard Zil

Willard Zil

Willard Zil

Willard Zil

Willard Zil

Willard Zil

Willard Zil

Willard Zil

Willard Zil

Willard Zil

Willard Zil

Willard Zil

Willard Zil

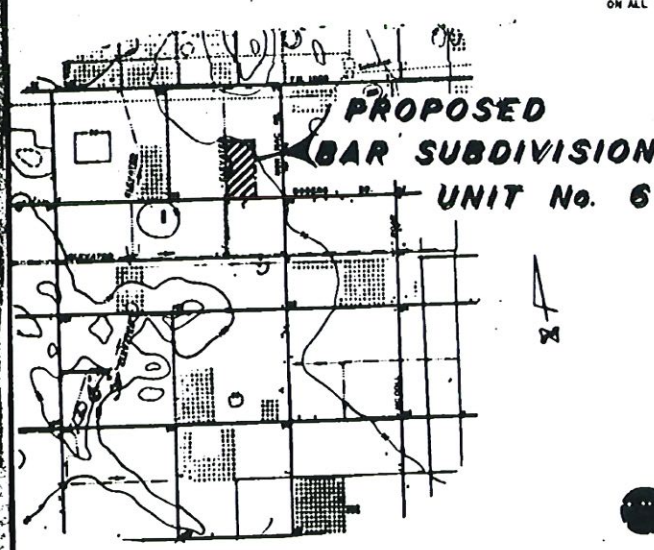
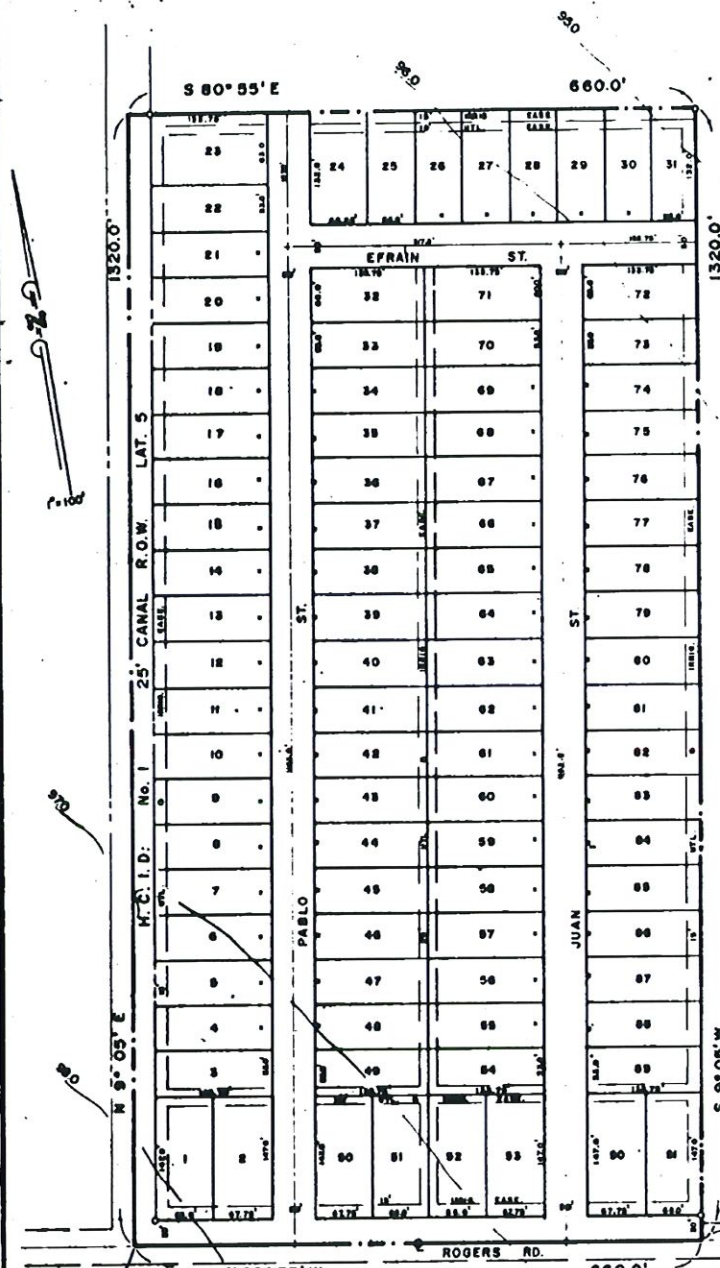
Willard Zil

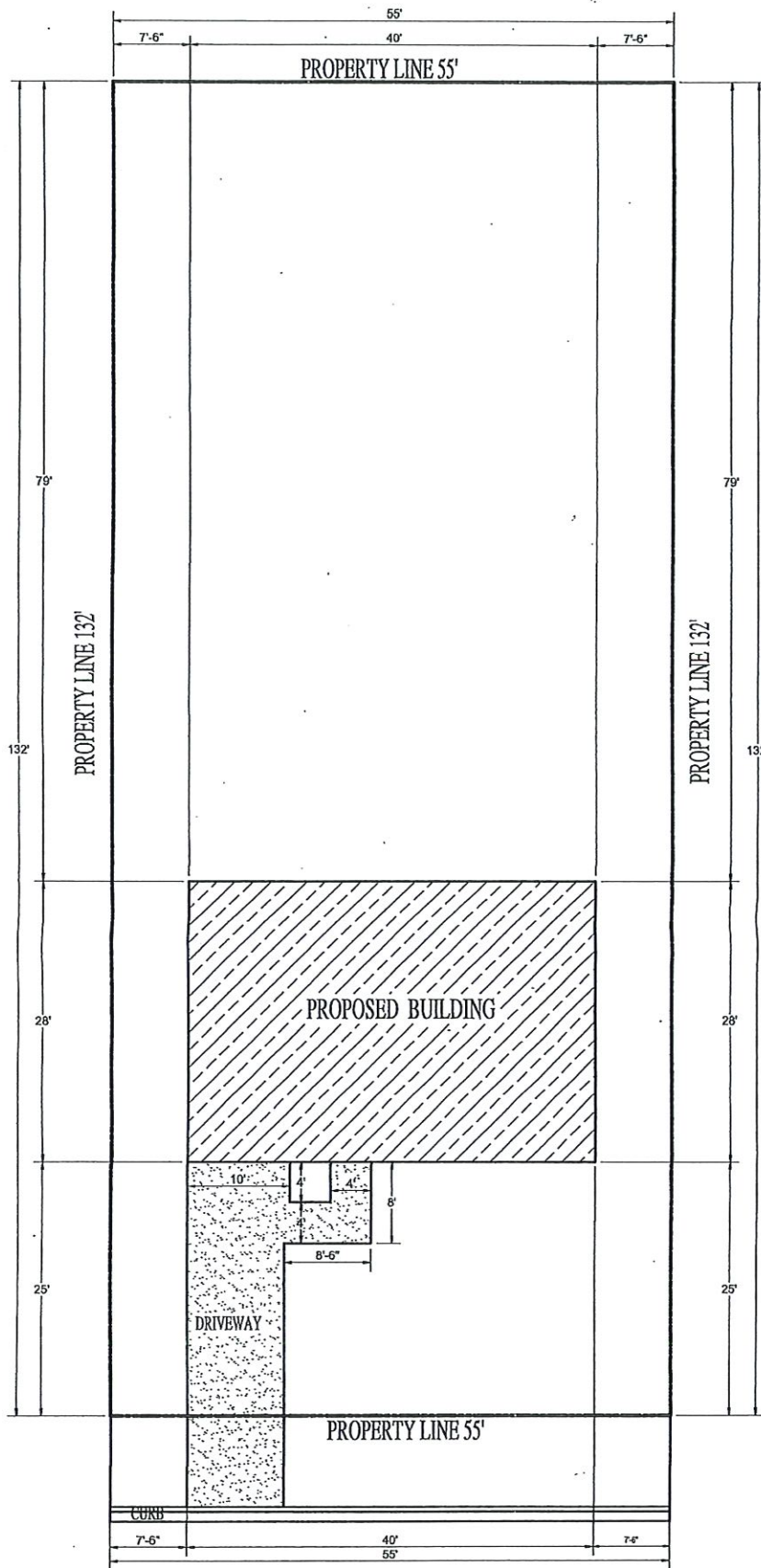
Willard Zil

NOTES:

- MINIMUM FINISHED FLOOR ELEVATION FOR ALL BUILDING IMPROVEMENTS SHALL BE 16 INCHES ABOVE NATURAL GROUND.
- ANTICIPATED HIGH WATER ELEVATION CREATED BY A 100 YEAR STORM IS AN AVERAGE DEPTH OF LESS THAN 1 FOOT ON THE EAST SIDE AND MINIMAL FLOODING ON THE WEST SIDE OF THIS SUBDIVISION. THE WEST HALF OF THIS SUBDIVISION IS IN ZONE C AND THE EAST HALF IS IN ZONE B ON FEMA'S FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 480334 0328C NOVEMBER 16, 1982.
- BENCH MARK: CENTERLINE ROGERS RD. AND MON MACK RD. ELEVATION 95.0

M. J. HULLIK
CONSULTING ENGINEERS
HOUSTON, TEXAS





4005 E Effrain
Lot 26 BAR UT #6

Zone:
Setbacks:
Front- _____
Side- _____
o North o East
Side- _____
o South o West
Rear- _____
o Cul-De-Sac
o Corner Lot

SITE PLAN
SCALE: 1/8"=1'-0"

DATE SCALE	SHEET NO. 1-4	SHEET TITLE(S) SITE PLAN	LOCATION	PROJECT: RESIDENTIAL	OWNER	COMPANY BOJAS CONSTRUCTION P&S 200078	ARCH. JUAN BOJA CELL 761 05242	 LUIS CONSTRUCTION (954) 534-3798	 BOJAS DESIGNS ASB JUAN BOJA CELL 761 05242



CITY OF EDINBURG
Planning & Zoning Commission

Regular Meeting

Meeting Date:

12/8/2020

Rezoning Request

AGENDA ITEM:

Hold Public Hearing and Consider the Rezoning Request from Commercial General (CG) District to Industrial (I) District, Being Lot 1, In Memory of Monica Subdivision, Located at 1700 E Cibolo Road, As Requested By Jose Velez [Planning & Zoning – Kimberly Mendoza, Director of Planning & Zoning]

DESCRIPTION / SCOPE:

The property is located on the southside of E Cibolo Road, approximately 4,500 feet East of Interstate 69C and is currently vacant. The tract has 513.12 of frontage along E Cibolo Road and 415 feet of depth for a tract size of 6.00 acres. This property just recently went through a transaction and the rezoning of this property will allow for the proposed construction to be in compliance. The applicant is proposing the placement of storage fuel tanks. The approval of the rezoning request will allow for Industrial (I) District which allows for an industrial development. The future land use for the property is Industrial Uses.

The property is currently zoned Commercial General (CG) District. The surrounding zoning in the area is Agriculture (AG) District in all surrounding areas. The surrounding uses consist of Industrial uses as well as the Hidalgo County Jail.

ESTIMATED TIMELINE: Staff mailed a notice of the public hearing before the Planning & Zoning Commission to six (6) neighboring property owners and received no comments in favor or against this request at the time of the report.

The recommendation of approval or denial of this public hearing is scheduled for consideration by the City Council on January 15, 2020. City Council's decision is the final step in the zoning process for this property. If denied the applicant may not request the proposed zoning classification for a 12 month period from the date of denial.

STAFF RECOMMENDATION:

Staff recommends approval of the Rezoning Request from Commercial General (CG) District to Industrial (I) District. If approved, the applicant will need to comply with all requirements during the permitting process including compliance with subdivision regulations, building and fire codes, fire protection, parking, landscape buffer-yards, solid waste services, utility, and any other City requirements, as applicable.

JUSTIFICATION:

This property just recently went through a transaction and the rezoning of this property will allow for the proposed construction to be in compliance. The applicant is proposing the placement of storage fuel tanks.

Rita Lee Guerrero

Urban Planner

Kimberly A. Mendoza, MPA

Director of Planning & Zoning

MEETING DATES:
PLANNING & ZONING COMMISSION – 12/08/2020
CITY COUNCIL – 1/19/2021
DATE PREPARED – 11/30/2020

STAFF REPORT
GENERAL INFORMATION

<u>APPLICATION:</u>	Rezoning Request from Commercial General (CG) District to Industrial (I) District
<u>APPLICANT:</u>	Jose Velez
<u>AGENT:</u>	N/A
<u>LEGAL:</u>	Being Lot 1, In Memory of Monica Subdivision
<u>LOCATION:</u>	Located at 1700 E Cibolo Road
<u>LOT/TRACT SIZE:</u>	6.00 Acres
<u>CURRENT USE OF PROPERTY:</u>	Vacant
<u>PROPOSED USE OF PROPERTY:</u>	Storage Fuel Tanks
<u>EXISTING LAND USE</u>	Commercial General (CG) District
<u>ADJACENT ZONING:</u>	North -Agriculture (AG) District South – Agriculture (AG) District East – Agriculture (AG) District West - Agriculture (AG) District
<u>LAND USE PLAN DESIGNATION:</u>	Industrial Uses
<u>PUBLIC SERVICES:</u>	City of Edinburg Water / Sewer
<u>RECOMMENDATION:</u>	Staff recommends approval of the Rezoning Request from Commercial General (CG) District to Industrial (I) District

REZONING REQUEST

JOSE VELEZ

PAGE 3

EVALUATION

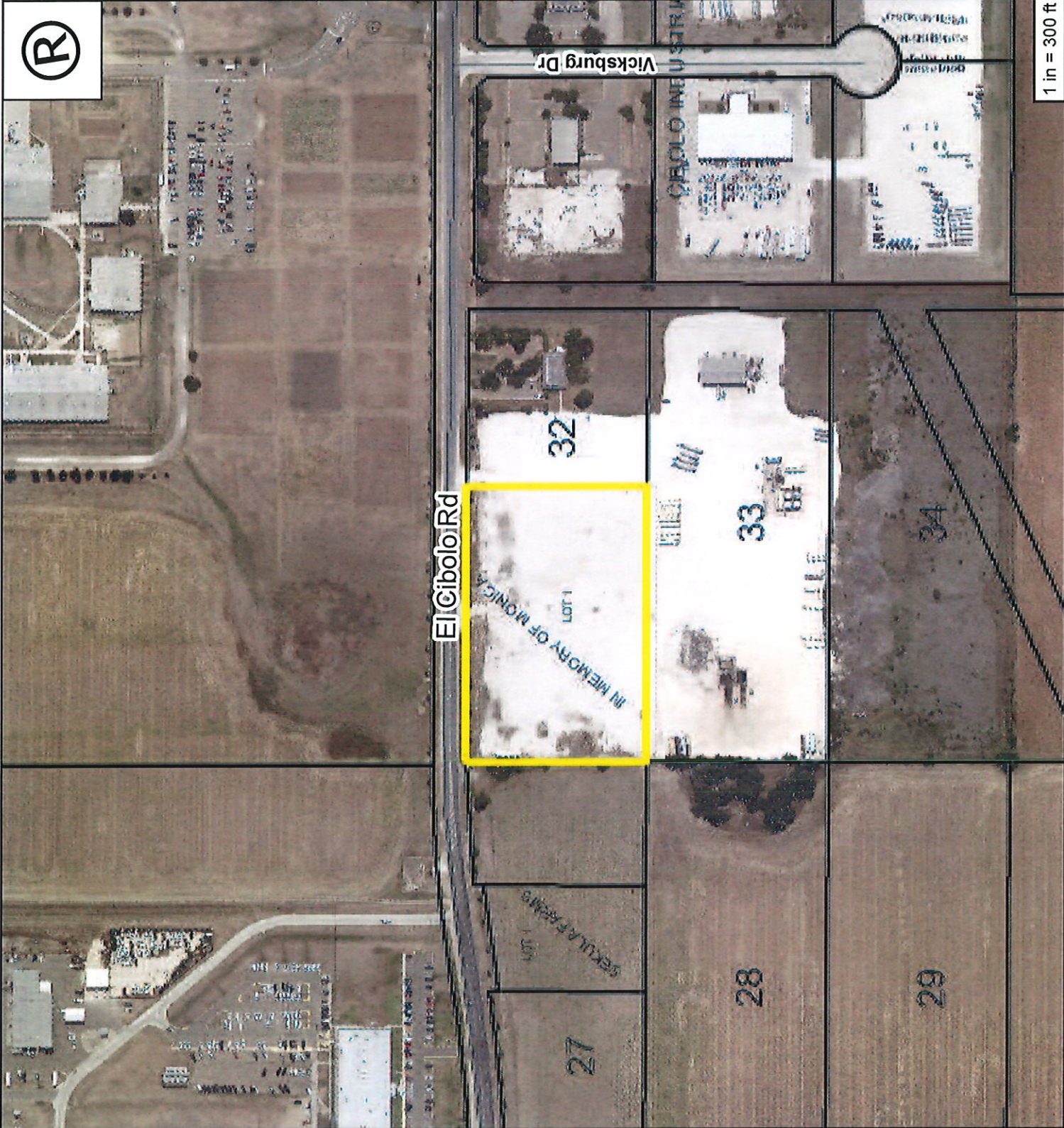
The following is staff's evaluation of the request.

1. The land use pattern for this area of the community consists of Industrial uses as well as the Hidalgo County Jail.
2. The applicant is proposing a commercial development at this location.

Staff recommends approval of the Rezoning Request from Commercial General (CG) District to Industrial (I) District. If approved, the applicant will need to comply with all requirements during the permitting process including compliance with subdivision regulations, building and fire codes, fire protection, parking, landscape buffer-yards, solid waste services, utility, and any other City requirements, as applicable.

Staff mailed a notice of the public hearing before the Planning & Zoning Commission to six (6) neighboring property owners and received no comments in favor or against this request at the time of the report.

ATTACHMENTS: Aerial Photo
Zoning Map
Future Land Use Map
Photo of site
Exhibits



AERIAL MAP

CASE CAPTION:

APPLICANT NAME:

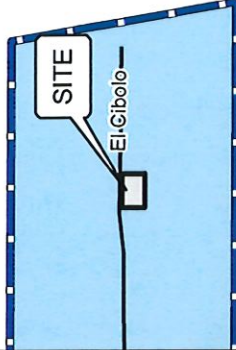
JOSE VELEZ

CONSIDER THE REZONING
REQUEST FROM AGRICULTURE
(AG) DISTRICT TO INDUSTRIAL (I)
DISTRICT BEING LOT 1,
IN MEMORY OF MONICA SUBDIVISION,
LOCATED AT 1700 E CIBOLO ROAD,
AS REQUESTED BY JOSE VELEZ

Legend

-  CITY LIMITS
-  APPLICANT SITE

SITE LOCATION MAP





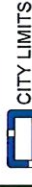
ZONING MAP

CASE CAPTION:

APPLICANT NAME:

JOSE VELEZ

Legend



CITY LIMITS



APPLICANT SITE

Agriculture

Auto-Urban Residential

Business Park

Commercial, General

Commercial, Neighborhood

Downtown District

Industrial

Neighborhood Conservation 5

Neighborhood Conservation 7.1

Neighborhood Conservation MH

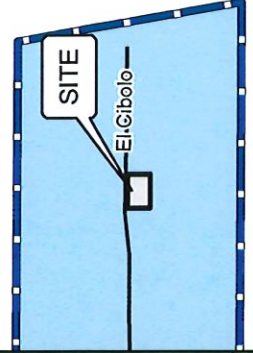
Suburban Residential

Urban Center

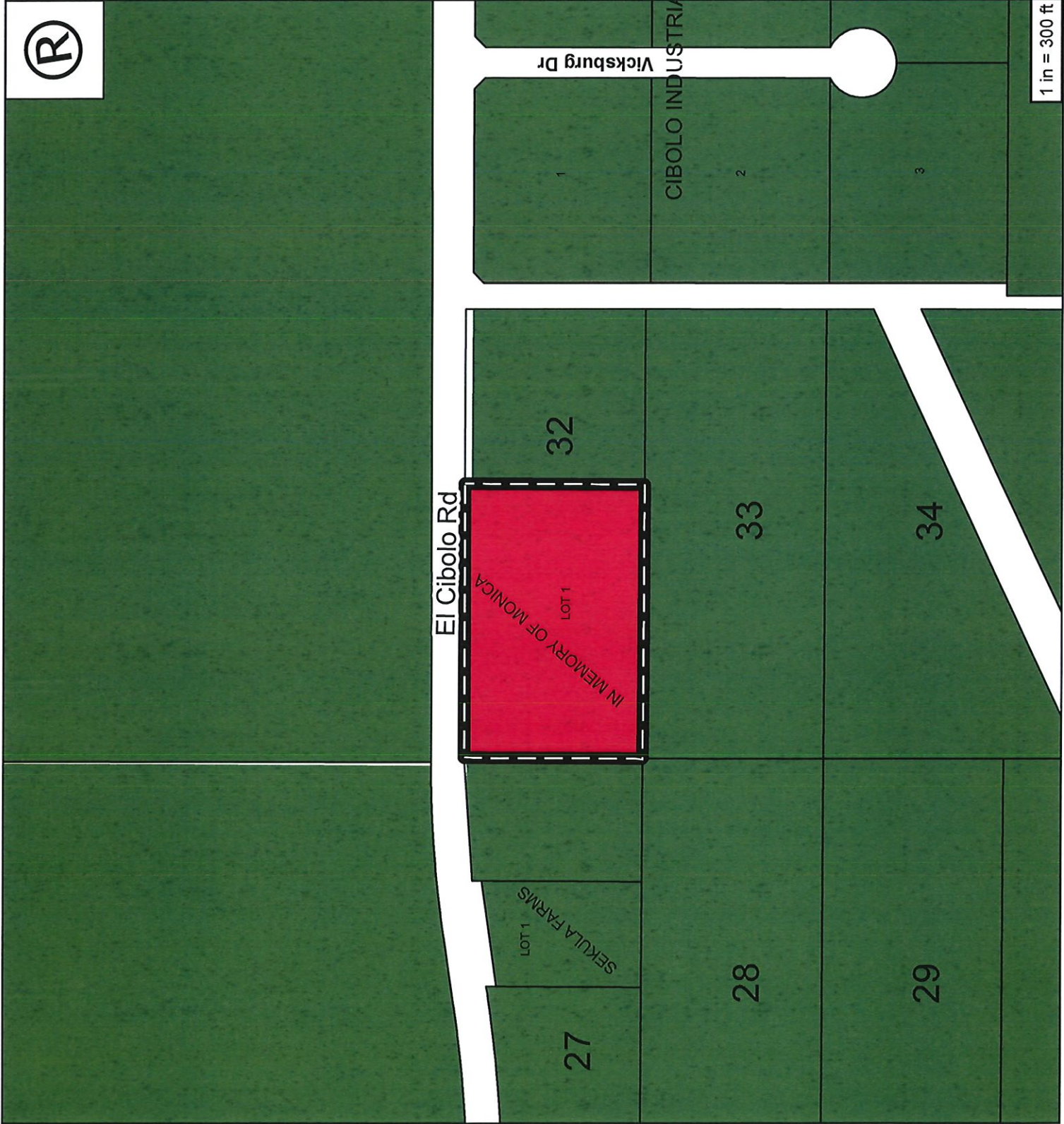
Urban Residential

Urban University

SITE LOCATION MAP



1 in = 300 ft





FUTURE LANDUSE MAP

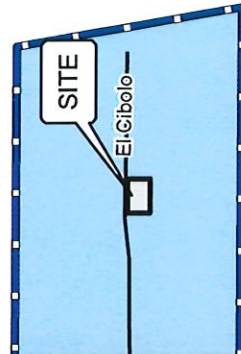
CASE CAPTION:

APPLICANT NAME:
JOSE VELEZ

Legend

- CITY LIMITS
- APPLICANT SITE
- Agriculture
- Auto-Urban
- Downtown District
- General Commercial
- Industrial
- Mobile Home
- Neighborhood Commercial
- Office Business Park
- Suburban
- Urban
- Urban University

SITE LOCATION MAP



El Cibolo Rd

Vicksburg Dr

IN MEMORY OF MONICA
LOT 1

SEKULA FARMS
LOT 1

32

28

33

29

34

1

2

3

CIBOLO INDUSTRIAL

1 in = 300 ft



(R)

MAILOUT AND SITE MAP

CASE CAPTION:

APPLICANT NAME:

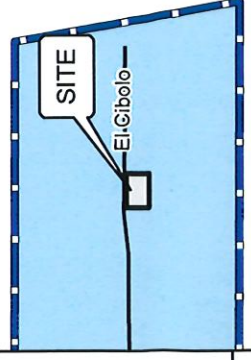
JOSE VELEZ

CONSIDER THE REZONING
REQUEST FROM AGRICULTURE
(AG) DISTRICT TO INDUSTRIAL (I)
DISTRICT BEING LOT 1,
IN MEMORY OF MONICA SUBDIVISION,
LOCATED AT 1700 E CIBOLO ROAD,
AS REQUESTED BY JOSE VELEZ

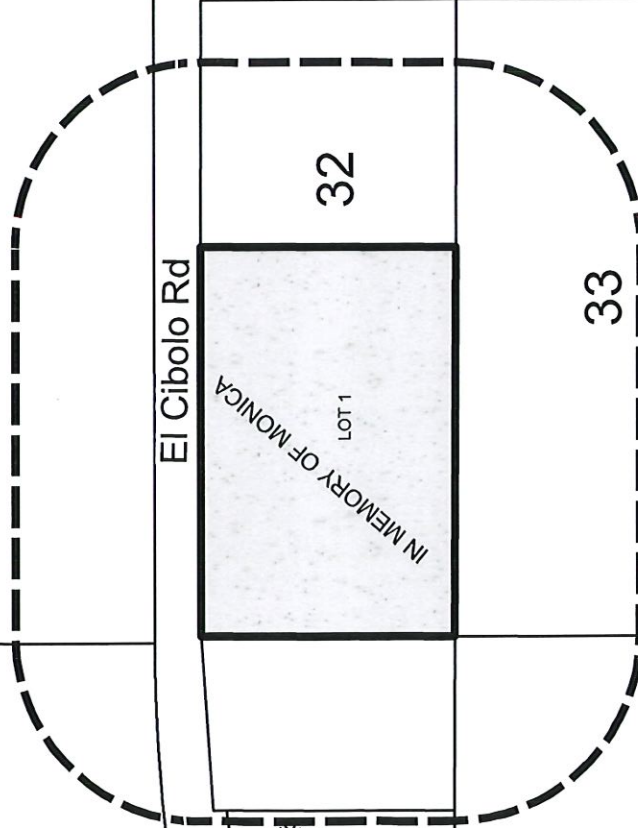
Legend

- CITY LIMITS
- 300FT NOTIFICATION
- APPLICANT SITE

SITE LOCATION MAP



1 in = 300 ft



El Cibolo Rd

IN MEMORY OF MONICA
LOT 1

SEKULA FARMS
LOT 1

1

2

3

Vicksburg Dr

CIBOLO INDUSTRIAL

32

33

34

27

28

29

STATE OF TEXAS
INSTRUMENT NO. 314714 H.C.O.R.

EL CIBOLO ROAD (FM 162)
(120.0' R.O.W.)
STATE OF TEXAS
INSTRUMENT NO. 412766 H.C.O.R.

S81°03'00"E 513.12'

S08°57'00"W 17.96'

L=116.91'
R=2804.79'

N.W. CORNER
LOT 32

N.E. CORNER
LOT 27

EXIST. 15' EASEMENT TO N.A.W.S.C.
VOLUME 2155 PAGE 873 H.C.D.R.

STORM WATER
DETENTION/LANDSCAPING AREA

MAIN ENTRANCE

DIESEL STORAGE TANKS

GASOLINE STORAGE TANKS

S.W. CORNER
LOT 32

N.W. CORNER
LOT 33

PROPOSED 10'
UTILITY EASEMENT

PROPOSED 10'
UTILITY EASEMENT

N08°57'00"E 412.56'

LOT 27
VOLUME 9 PAGE 44 H.C.D.R.

LOT 1
261354.88 SQ FT
6.00 ACRES

STORM WATER
DETENTION/LANDSCAPING AREA

OFFICE/SHOP

TRACTOR TRAILER PARKING

PROPOSED 10'
UTILITY EASEMENT

S08°57'00"W 415.00'

LOT 32
BROOKS WELL SERVING
INSTRUMENT NO. 1077466 H.C.O.R.

LOT 1
IN MEMORY OF MONICA
SUBDIVISION

GOLDEN PETROL STALLION
STORAGE FACILITIES



SCALE: 1" = 70'

LOT 28
VOLUME 9 PAGE 44 H.C.D.R.

LOT 33
BROOKS WELL SERVING
INSTRUMENT NO. 1077466 H.C.O.R.

R.E. Garcia
Associates
ENGINEERS, SURVEYORS, PLANNERS
ENGINEER (7-5001) & SURVEYOR (10015300)
116 NORTH 12TH AVE.
EDINBURG, TEXAS 78541 (956) 381-1061
EMAIL: REGAASSOC@AOL.COM



CITY OF EDINBURG
Planning & Zoning Commission

Regular Meeting

Meeting Date:

12/8/2020

Rezoning Request

AGENDA ITEM:

Hold Public Hearing and Consider the Rezoning Request from Suburban Residential (S) District to Auto-Urban Residential (AU) District, Being 2.263 acres out of Lot 15, Section 237, Texas-Mexican Railway Company's Survey, Located on the East side of North McColl Road, Approximately 800 Feet North of Schunior Road, As Requested By Ofelia Martinez [Planning & Zoning – Kimberly Mendoza, Director of Planning & Zoning]

DESCRIPTION / SCOPE:

The property is located on the east side of North McColl Road, approximately 800 Feet north of Schunior Road and currently has 1 single family residential structure with accessory structures. The tract has 82.50 ft. of frontage along North McColl Road and 1195.00 feet of depth for a tract size of 2.263 acres. The applicant is requesting the zone change to allow for a second dwelling unit on the subject property. The approval of the rezoning request will allow Auto-Urban Residential (AU) District which allows for a second dwelling unit. The future land use for the property is Auto Urban Uses.

The property is currently zoned Suburban Residential (S) District. The surrounding zoning in the area is Agriculture (AG) District to the East and West, and Suburban Residential (S) District to the South. A Hidalgo County Drainage ditch is located to the North of this property. The future land use for this property is Auto-Urban Uses. The surrounding uses consist of residential uses and vacant land.

Staff mailed a notice of the public hearing before the Planning & Zoning Commission to fifteen (15) neighboring property owners and received no comments in favor or against this request at the time of the report.

ESTIMATED TIMELINE:

The recommendation of approval or denial of this public hearing is scheduled for consideration by the City Council on December 15, 2020. City Council's decision is the final step in the zoning process for this property. If denied the applicant may not request the proposed zoning classification for a 12 month period from the date of denial.

STAFF RECOMMENDATION:

Staff recommends approval of the Rezoning Request from Suburban Residential (S) District to Auto-Urban Residential (AU) District. If approved, the applicant will need to comply with all requirements during the permitting process including compliance with subdivision regulations, building and fire codes, fire protection, parking, landscape buffer-yards, solid waste services, utility, and any other City requirements, as applicable.

JUSTIFICATION:

The applicant is requesting the zone change to allow for a second dwelling unit on the subject property.

Rita Lee Guerrero

Urban Planner

Kimberly A. Mendoza, MPA

Director of Planning & Zoning

MEETING DATES:
PLANNING & ZONING COMMISSION – 12/08/2020
CITY COUNCIL – 12/15/2020
DATE PREPARED – 11/30/2020

STAFF REPORT
GENERAL INFORMATION

<u>APPLICATION:</u>	Rezoning Request from Suburban Residential (S) District to Auto-Urban Residential (AU) District
<u>APPLICANT:</u>	Ofelia Martinez
<u>AGENT:</u>	N/A
<u>LEGAL:</u>	Being 2.263 acres out of Lot 15, Section 237, Texas-Mexican Railway Company's Survey
<u>LOCATION:</u>	Located on the East side of North McColl Road, Approximately 800 Feet North of Schunior Road
<u>LOT/TRACT SIZE:</u>	2.263 Acres
<u>CURRENT USE OF PROPERTY:</u>	Residential
<u>PROPOSED USE OF PROPERTY:</u>	Multi-Family Uses
<u>EXISTING LAND USE</u>	Suburban Residential (S) District
<u>ADJACENT ZONING:</u>	North -Hidalgo County Drainage District South – Suburban Residential (S) District East – Agriculture (AG) District West - Agriculture (AG) District
<u>LAND USE PLAN DESIGNATION:</u>	Auto Urban Uses
<u>PUBLIC SERVICES:</u>	City of Edinburg Water / Sewer
<u>RECOMMENDATION:</u>	Staff recommends approval of the Rezoning Request from Suburban Residential (S) District to Auto-Urban Residential (AU) District

**REZONING REQUEST
OFELIA MARTINEZ
PAGE 3**

EVALUATION

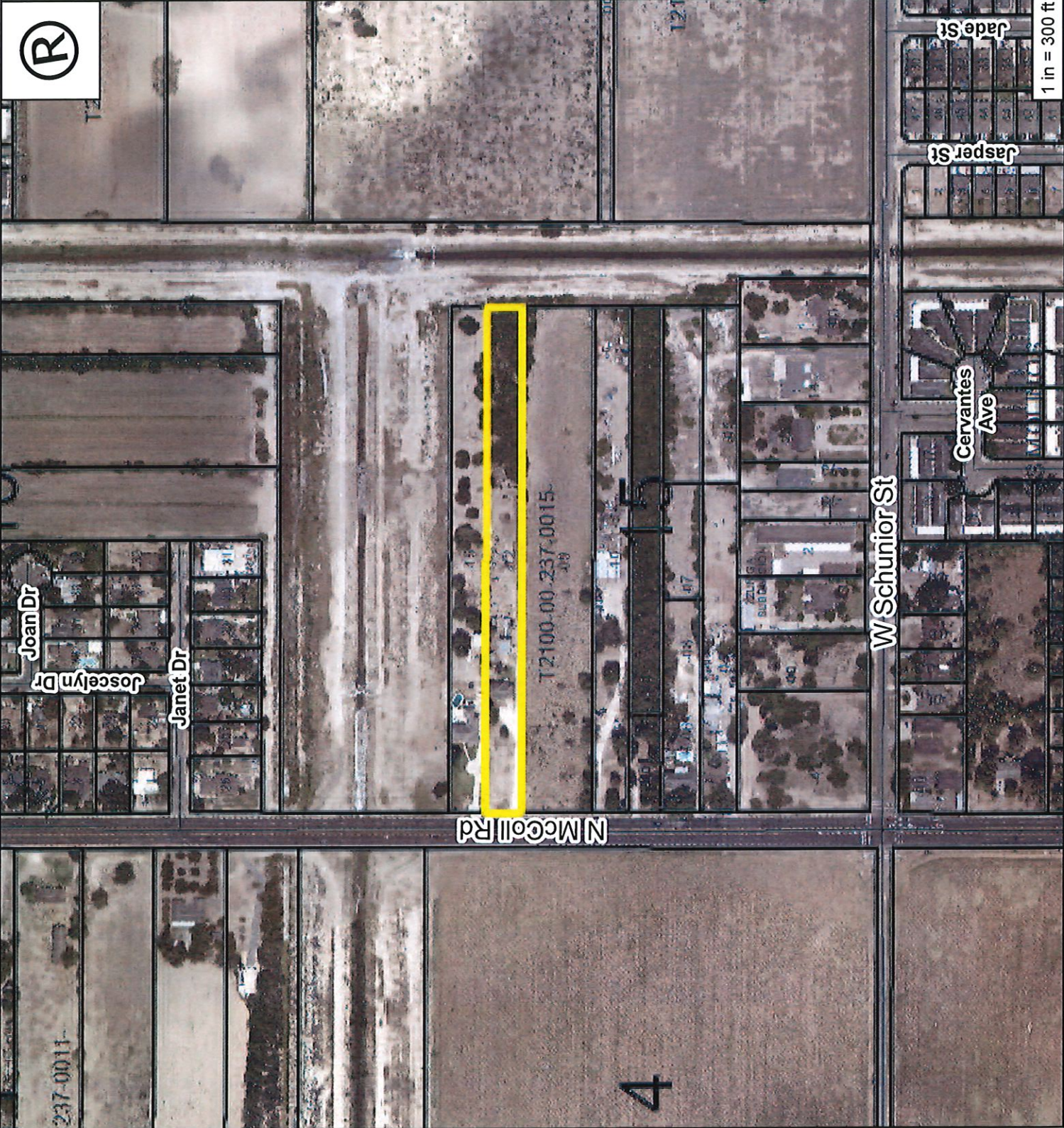
The following is staff's evaluation of the request.

1. The land use pattern for this area of the community consists of residential uses and vacant land.
2. The applicant is proposing multi-family uses at this location.

Staff recommends approval of the Rezoning Request from Suburban Residential (S) District to Auto-Urban Residential (AU) District. If approved, the applicant will need to comply with all requirements during the permitting process including compliance with subdivision regulations, building and fire codes, fire protection, parking, landscape buffer-yards, solid waste services, utility, and any other City requirements, as applicable.

Staff mailed a notice of the public hearing before the Planning & Zoning Commission to fifteen (15) neighboring property owners and received no comments in favor or against this request at the time of the report.

ATTACHMENTS: Aerial Photo
Zoning Map
Future Land Use Map
Photo of site
Exhibits



AERIAL MAP

CASE CAPTION:

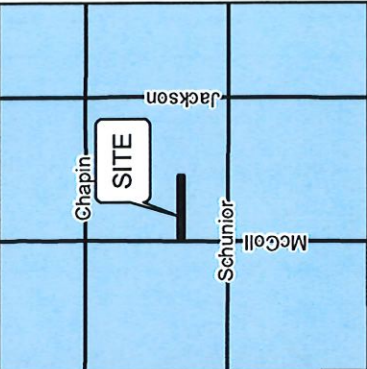
APPLICANT NAME:
OFELIA MARTINEZ

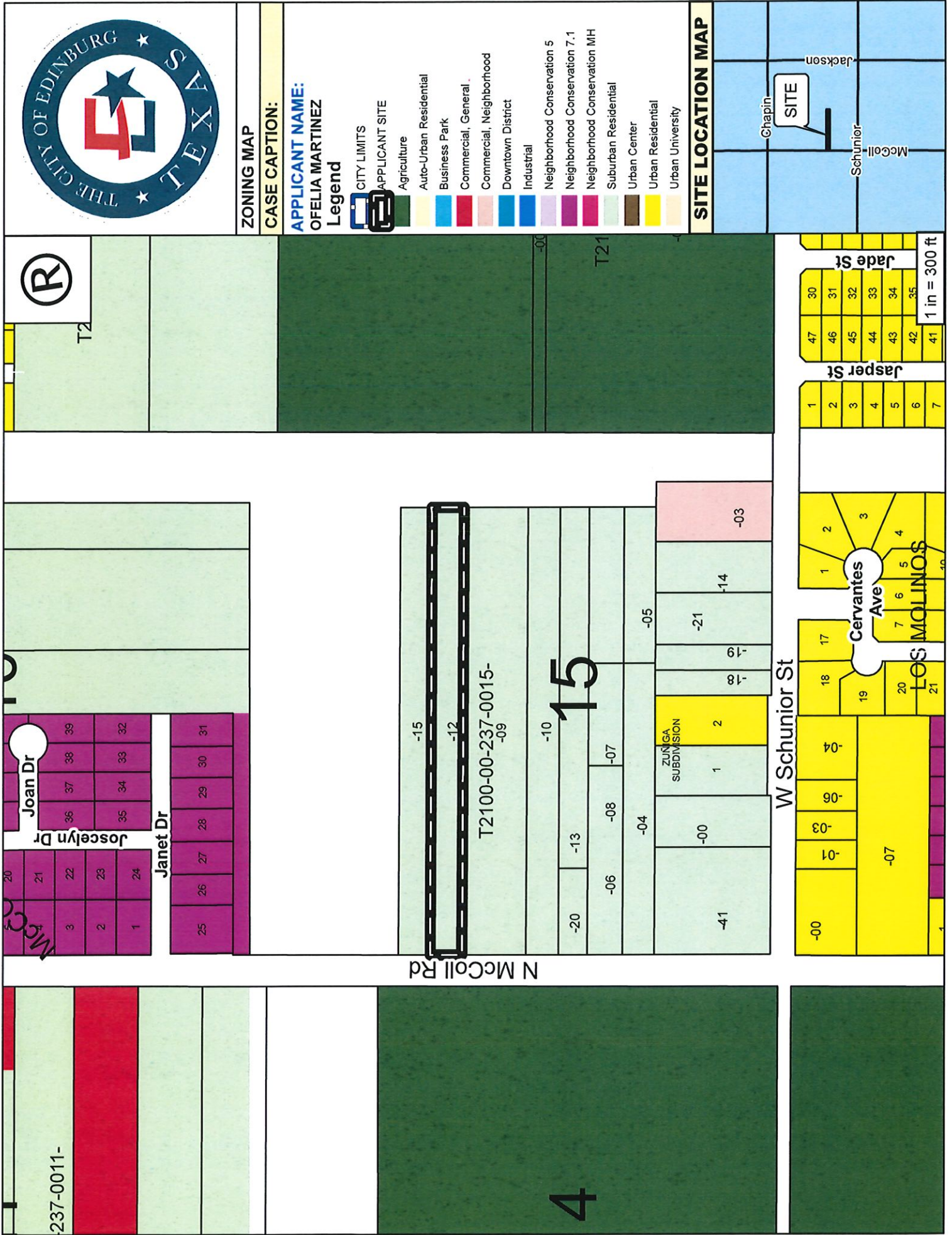
CONSIDER THE REZONING
REQUEST FROM SUBURBAN
RESIDENTIAL (S) DISTRICT
TO AUTO-URBAN RESIDENTIAL (AU)
DISTRICT, BEING 2.263 ACRES
OUT OF LOT 15, SECTION 237,
TEXAS-MEXICAN RAILWAY
COMPANY'S SURVEY,
LOCATED ON THE EAST SIDE
OF NORTH MCCOLL ROAD,
APPROXIMATELY 800 FEET
NORTH OF SCHUNIOR ROAD,
AS REQUESTED BY
OFELIA MARTINEZ

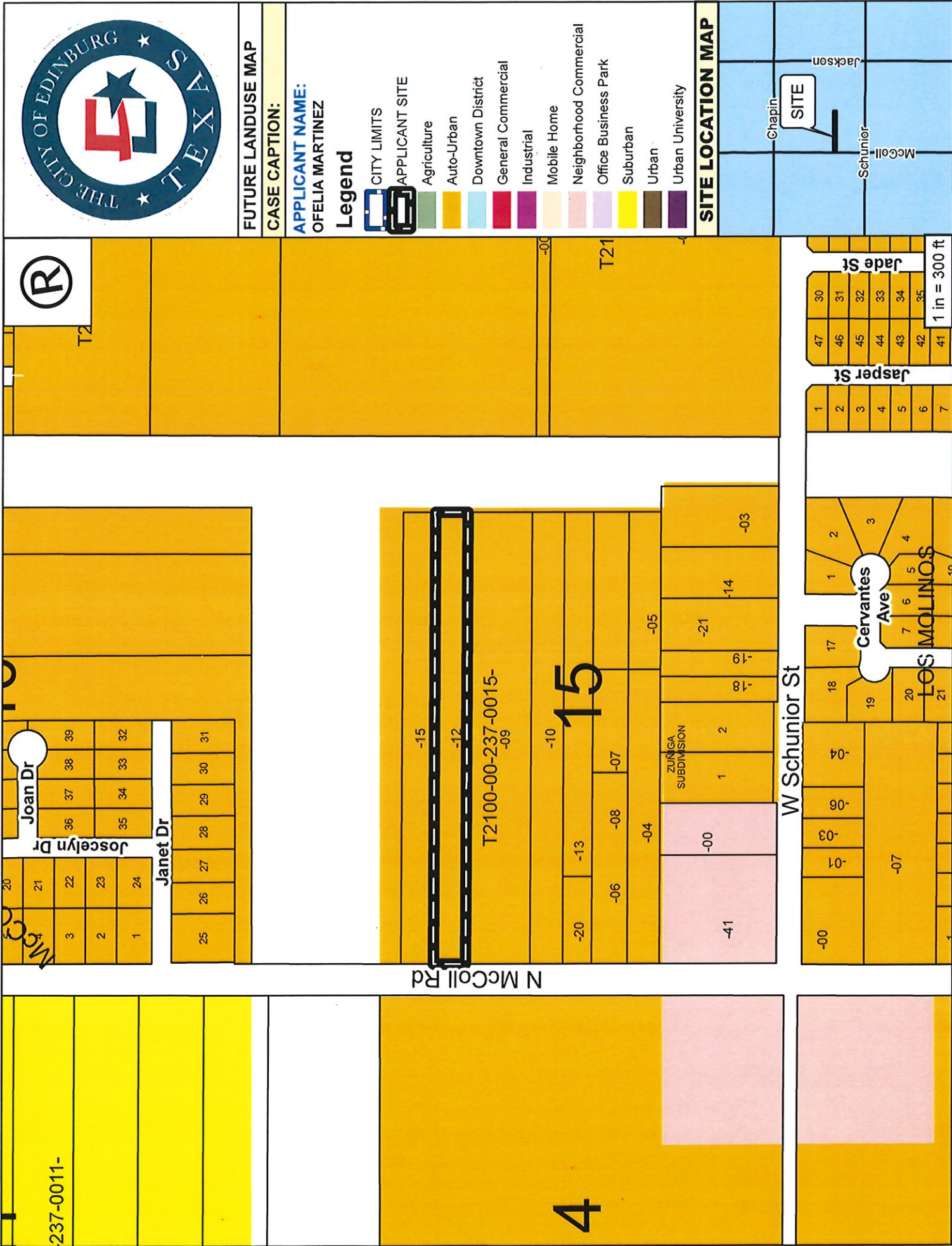
Legend

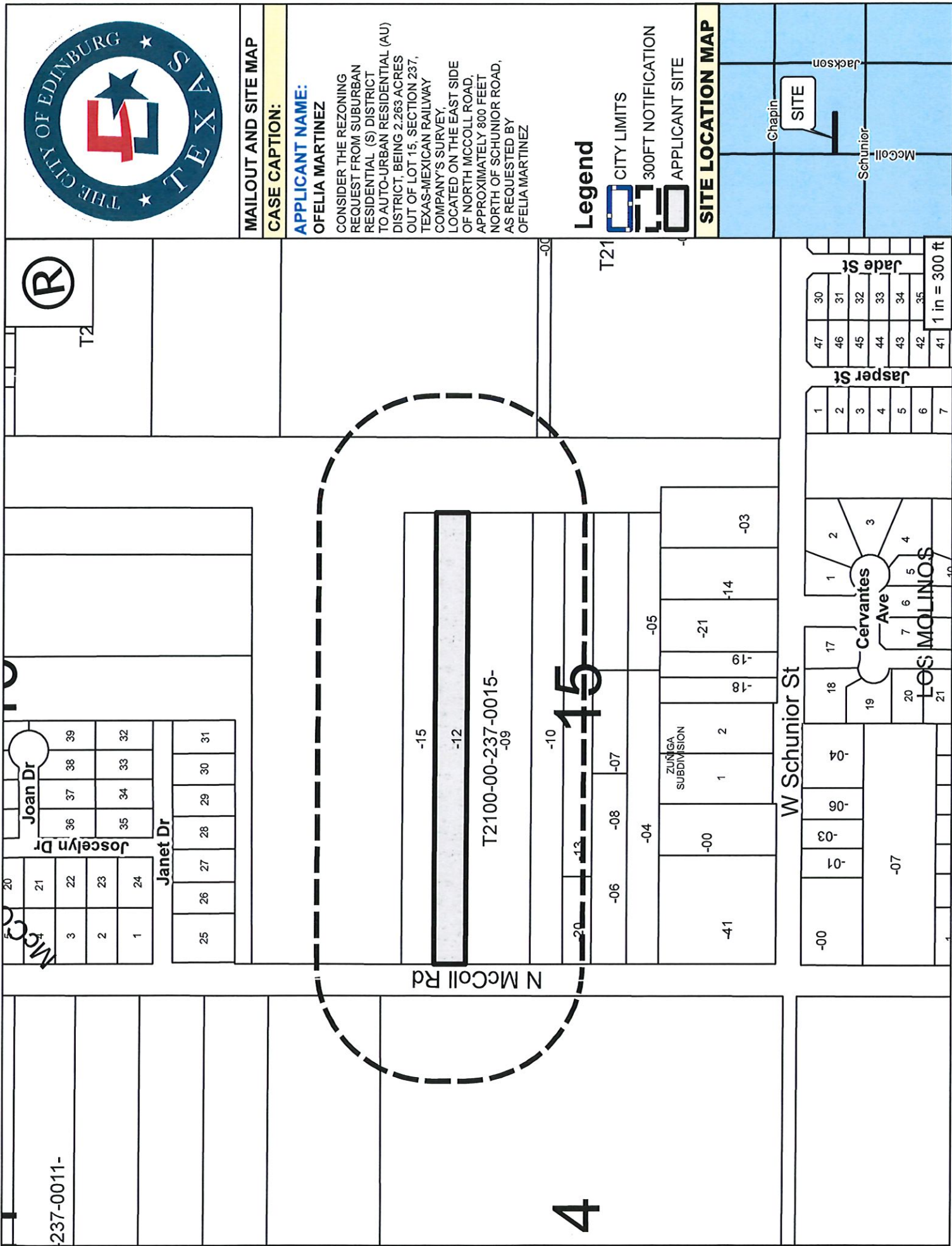
- CITY LIMITS
- APPLICANT SITE

SITE LOCATION MAP









July 7, 2020

**METES AND BOUNDS DESCRIPTION
2.263 ACRES OUT OF
LOT 15, SECTION 237,
TEXAS-MEXICAN RAILWAY COMPANY'S SUBDIVISION,
HIDALGO COUNTY, TEXAS**

A tract of land containing 2.263 acres situated in Hidalgo County, Texas, being a part or portion out of Lot 15, Section 237, according to the plat thereof recorded in Volume 1, Page 12, Hidalgo County Map records, which said 2.263 acres tract was conveyed to Ofelia C. Martinez, by virtue of a Special Warranty Deed recorded under Document Number 1118717, Hidalgo County Official Records, said 2.263 acres also being more particularly described as follows;

COMMENCING on the Northwest corner of Lot 15, Section 237;

THENCE, S 08° 55' 28" W within the existing right-of-way of N. McColl Road, a distance of 411.00 feet to a Nail set for the Northwest corner and POINT OF BEGINNING of this herein described tract;

1. THENCE, S 81° 03' 32" E at a distance of 41.40 feet pass a No. 4 rebar found [Northing:16640117.104, Easting:1085002.755] on the existing East right-of-way line of N. McColl Road, continuing a total distance of 1,195.00 feet to a No. 4 rebar set for the Northeast corner of this tract;
2. THENCE, S 08° 55' 28" W a distance of 82.50 feet to a No. 4 rebar set for the Southeast corner of this tract;
3. THENCE, N 81° 03' 32" W at a distance of 1,153.60 feet pass a No. 4 rebar set on the existing East right-of-way line of N. McColl Road, continuing a total distance of 1,195.00 feet to a Nail set for the Southwest corner of this tract;
4. THENCE, N 08° 55' 28" E a distance of 85.50 feet to the POINT OF BEGINNING, and containing 2.263 acres of land, of which 0.078 of one acre lies within the right-of-way of N. McColl Road, leaving a net of 2.185 acres of land, more or less.

I, FRED KURTH, A REGISTERED PROFESSIONAL LAND SURVEYOR DO HEREBY AFFIRM THAT THESE METES AND BOUNDS DESCRIPTION REPRESENTS THE RESULTS OF A SURVEY MADE ON THE GROUND ON 06/25/2020 UNDER MY DIRECTION AND SUPERVISION.

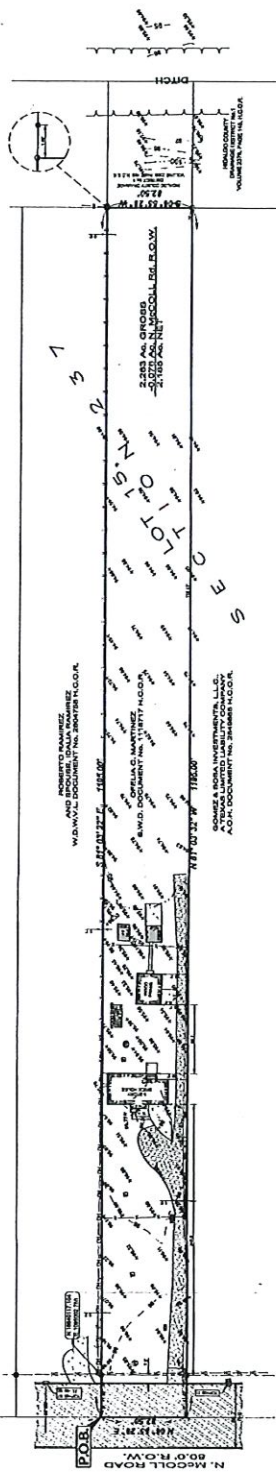

FRED L. KURTH, R.P.L.S. #4750

7-7-20
DATE:



NEVER SIGN IF YOU DO NOT KNOW
YOUR OWN MIND OR ARE UNDER
DURESS OR IN ANY WAY



PLAT SHOWING
2.263 ACRES,
BEING OUT OF LOT 15, SECTION 237,
TEXAS-MEXICAN RAILWAY COMPANY'S SUBDIVISION,
VOLUME 1, PAGE 12 H.C.M.R.
HIDALGO COUNTY, TEXAS.

LEGEND

- ① FUGITIVE FROM FEDERAL BUREAU OF INVESTIGATION
- ② FUGITIVE FROM STATE POLICE
- ③ FUGITIVE FROM COUNTY SHERIFF
- ④ SET MAIL
- ⑤ MAIL BOX
- ⑥ MAIL ROOM
- ⑦ MAIL ROOM
- ⑧ MAIL ROOM
- ⑨ MAIL ROOM
- ⑩ MAIL ROOM
- ⑪ MAIL ROOM
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FLOOD ZONE
Zone 1 (shaded)
 Areas at low risk of flooding from the sea. Areas of low-lying land, coastal marshes and some agricultural land are included. The risk of flooding is low, but the area is large and the potential for damage is high. The risk of flooding is low, but the area is large and the potential for damage is high.

THE UNDERSIGNED HEREBY CERTIFIES THAT THIS SURVEY AS DESCRIBED HEREON WAS MADE ON THE GROUND OR SURVEIZED UNDER MY DIRECTION, THAT THE ONLY IMPROVEMENTS ON THE GROUND ARE AS SHOWN, THAT THERE ARE NO VISIBLE ENCROACHMENTS, VISIBLE OVERLAPPING, APPARENT CONFLICTS, OR VISIBLE EASEMENTS, EXCEPT AS SHOWN HEREON.

Ed. J. H. A.

REC'D - CIVIL ENGINEER - 7-10-20
 7-10-20
 7-10-20

[illegible]



CITY OF EDINBURG
Planning & Zoning Commission

Regular Meeting

Meeting Date:

12/8/2020

Comprehensive Plan Amendment

Rezoning Request

AGENDA ITEM:

Hold Public Hearing and Consider the Comprehensive Plan Amendment from Auto Urban Uses to Neighborhood Commercial Uses and the Rezoning Request from Agriculture (AG) District to Commercial Neighborhood (CN) District, Being Lot 1, Trenton Terrace Subdivision, Located on the West Side of South Veterans Blvd, Approximately 200 Feet North of Leticia Street, As Requested By Sam A. Gomez [Planning & Zoning – Kimberly Mendoza, Director of Planning & Zoning]

DESCRIPTION / SCOPE:

The property is located on the west side of South Veterans Blvd, approximately 200 Feet north of Leticia Street and is currently vacant. The tract has 101.67 ft. of frontage along South Veterans Blvd and 303 feet of depth for a tract size of 0.71 of an acre. This applicant is currently placing the property on the market and would like the rezoning to sell at a more marketable price. The approval of the rezoning request will allow for Commercial Neighborhood (CN) District which allows for a commercial development. The future land use for the property is Auto Urban Uses. However, the surrounding land uses include commercial uses and an elementary school on S Veterans Blvd.

The property is currently zoned Agriculture (AG) District. The surrounding zoning in the area is Agriculture (AG) District to the South, East and West, and Suburban Residential (S) District to the North. The surrounding uses consist of commercial businesses and residential development.

Staff mailed a notice of the public hearing before the Planning & Zoning Commission to eighteen (18) neighboring property owners and received no comments in favor or against this request at the time of the report.

ESTIMATED TIMELINE:

The recommendation of approval or denial of this public hearing is scheduled for consideration by the City Council on January 15, 2020. City Council's decision is the final step in the zoning process for this property. If denied the applicant may not request the proposed zoning classification for a 12 month period from the date of denial.

STAFF RECOMMENDATION:

Staff recommends approval of the Comprehensive Plan Amendment from Auto Urban Uses to Neighborhood Commercial Uses and the Rezoning Request from Agriculture (AG) District to Commercial Neighborhood (CN) District. If approved, the applicant will need to comply with all requirements during the permitting process including compliance with subdivision regulations, building and fire codes, fire protection, parking, landscape buffer-yards, solid waste services, utility, and any other City requirements, as applicable.

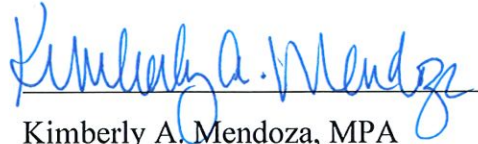
JUSTIFICATION:

This applicant is currently placing the property on the market and would like the rezoning to sell at a more marketable price.



Rita Lee Guerrero

Urban Planner



Kimberly A. Mendoza, MPA

Director of Planning & Zoning

MEETING DATES:
PLANNING & ZONING COMMISSION – 12/08/2020
CITY COUNCIL – 1/19/2021
DATE PREPARED – 11/30/2020

STAFF REPORT
GENERAL INFORMATION

<u>APPLICATION:</u>	Comprehensive Plan Amendment from Auto Urban Uses to Neighborhood Commercial Uses and the Rezoning Request from Agriculture (AG) District to Commercial Neighborhood (CN) District
<u>APPLICANT:</u>	Sam A. Gomez
<u>AGENT:</u>	N/A
<u>LEGAL:</u>	Being Lot 1, Trenton Terrace Subdivision,
<u>LOCATION:</u>	Located on the West Side of South Veterans Blvd, Approximately 200 Feet North of Leticia Street
<u>LOT/TRACT SIZE:</u>	0.71 of an acre
<u>CURRENT USE OF PROPERTY:</u>	Vacant
<u>PROPOSED USE OF PROPERTY:</u>	Commercial Development
<u>EXISTING LAND USE</u>	Agriculture (AG) District
<u>ADJACENT ZONING:</u>	North - Suburban Residential (S) District South – Agriculture (AG) District East – Agriculture (AG) District District West - Agriculture (AG) District
<u>LAND USE PLAN DESIGNATION:</u>	Auto Urban Uses
<u>PUBLIC SERVICES:</u>	City of Edinburg Water / Sewer
<u>RECOMMENDATION:</u>	Staff recommends approval of the Comprehensive Plan Amendment from Auto Urban Uses to Neighborhood Commercial Uses and the Rezoning Request from Agriculture (AG) District to Commercial Neighborhood (CN) District

**COMPREHENSIVE PLAN AMENDMENT
REZONING REQUEST
SAM GOMEZ
PAGE 3**

EVALUATION

The following is staff's evaluation of the request.

1. The surrounding uses consist of commercial businesses and residential development.
2. The applicant is proposing a commercial development at this location.

Staff recommends approval of the Comprehensive Plan Amendment from Auto Urban Uses to Neighborhood Commercial Uses and the Rezoning Request from Agriculture (AG) District to Commercial Neighborhood (CN) District,. If approved, the applicant will need to comply with all requirements during the permitting process including compliance with subdivision regulations, building and fire codes, fire protection, parking, landscape buffer-yards, solid waste services, utility, and any other City requirements, as applicable.

Staff mailed a notice of the public hearing before the Planning & Zoning Commission to eighteen (18) neighboring property owners and received no comments in favor or against this request at the time of the report.

ATTACHMENTS: Aerial Photo
Zoning Map
Future Land Use Map
Photo of site
Exhibits



ZONING MAP

CASE CAPTION:

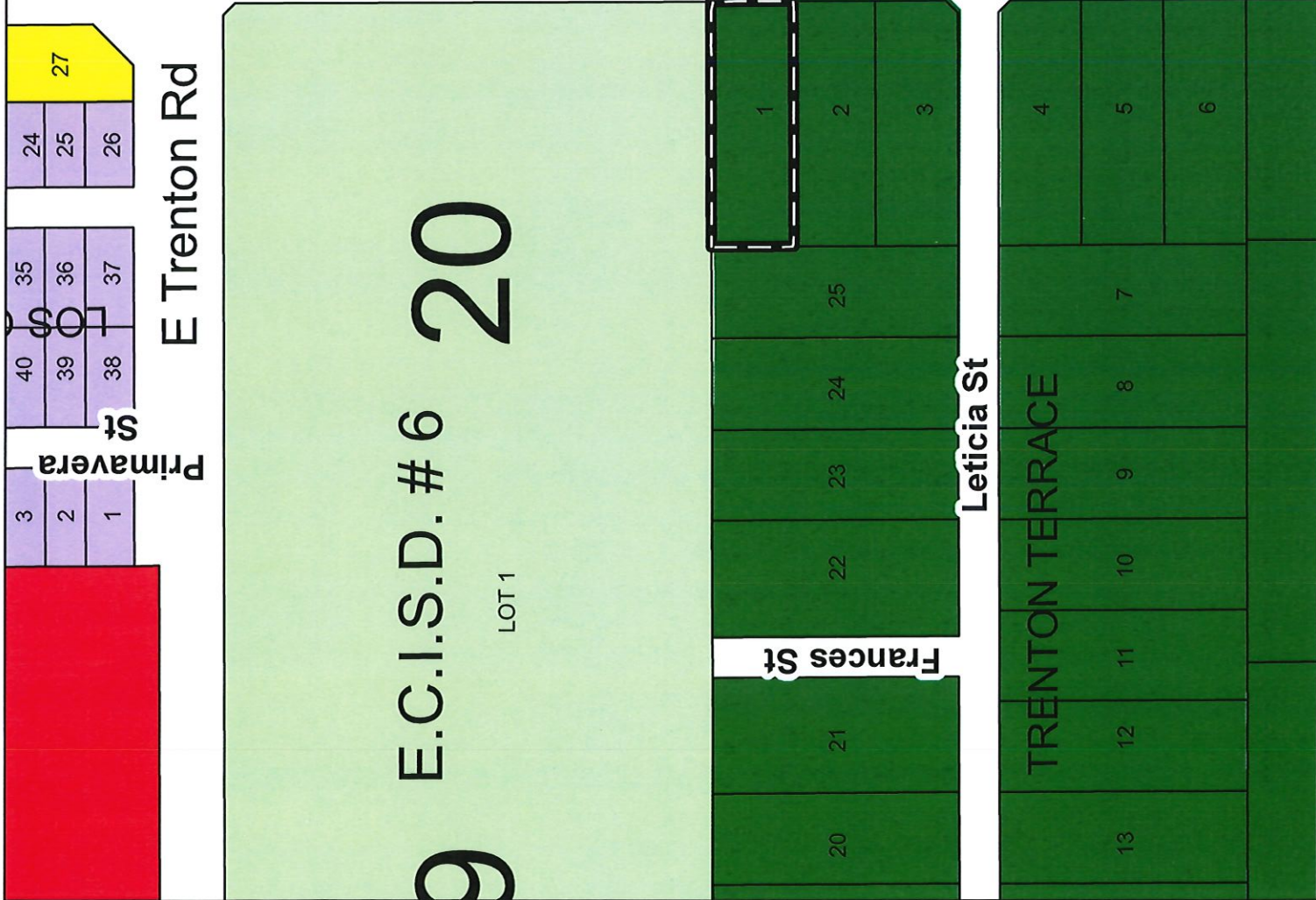
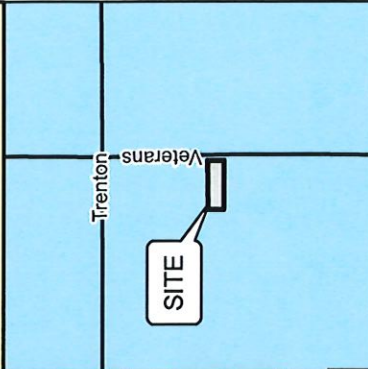
APPLICANT NAME:
SAM GOMEZ

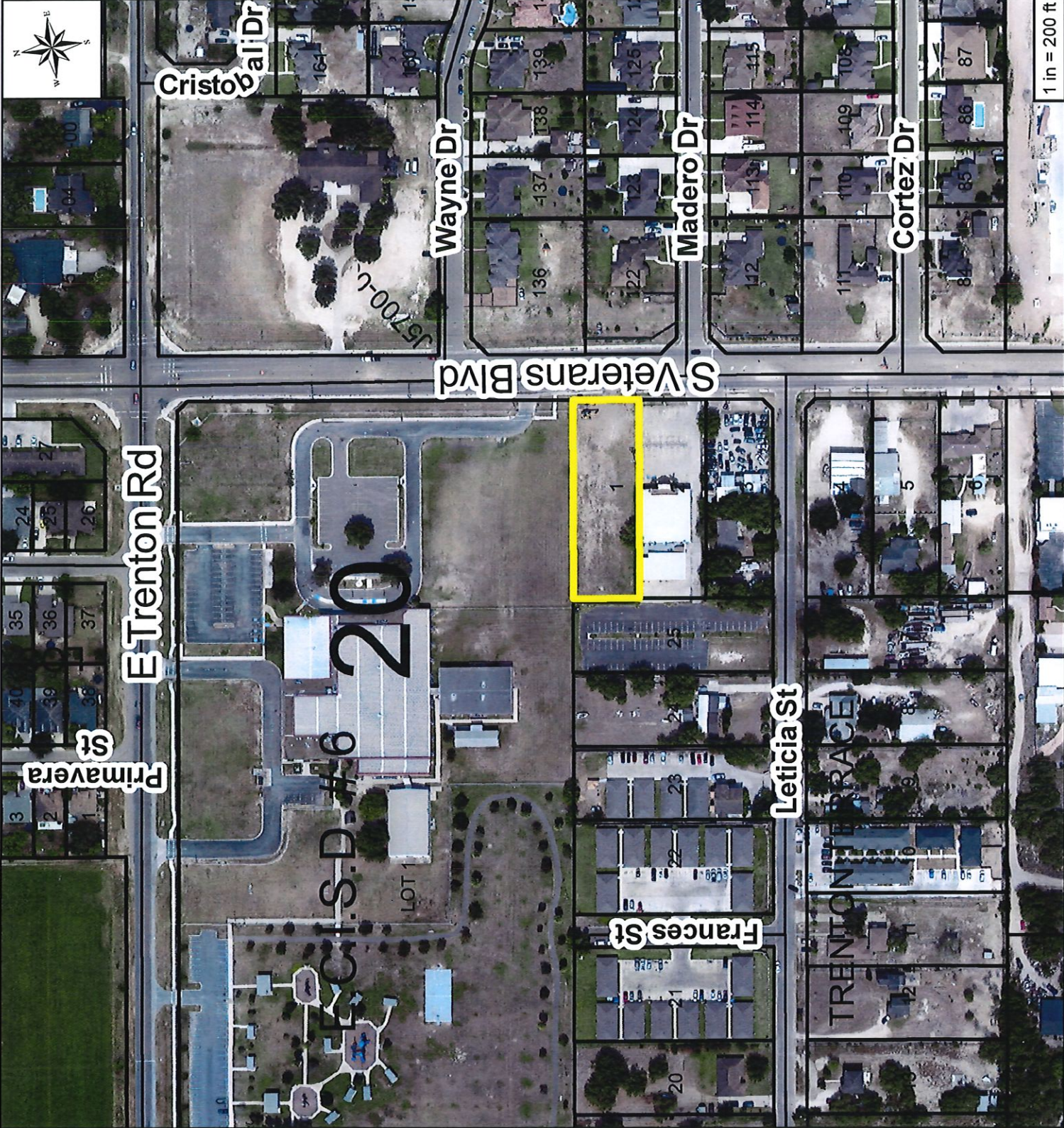
Legend



- Agriculture
- Auto-Urban Residential
- Business Park
- Commercial, General
- Commercial, Neighborhood
- Downtown District
- Industrial
- Neighborhood Conservation 5
- Neighborhood Conservation 7.1
- Neighborhood Conservation MH
- Suburban Residential
- Urban Center
- Urban Residential
- Urban University

SITE LOCATION MAP





AERIAL MAP

CASE CAPTION:

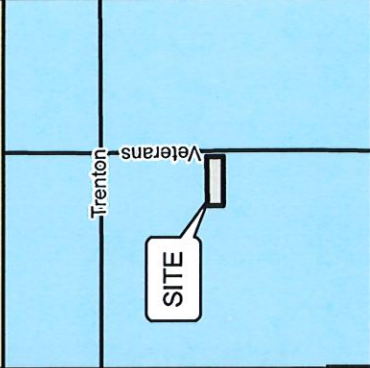
APPLICANT NAME:
SAM GOMEZ

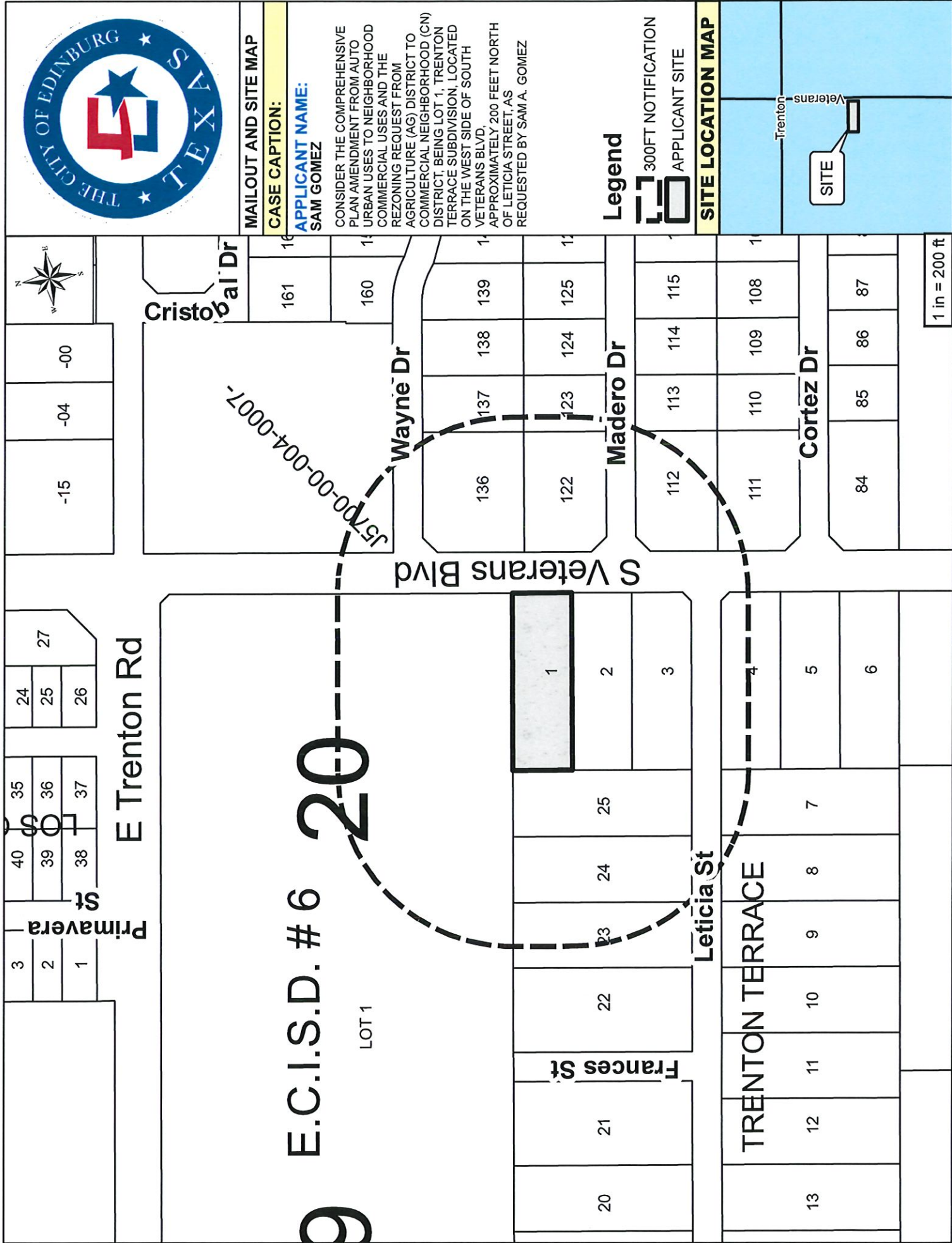
CONSIDER THE COMPREHENSIVE
PLAN AMENDMENT FROM AUTO
URBAN USES TO NEIGHBORHOOD
COMMERCIAL USES AND THE
REZONING REQUEST FROM
AGRICULTURE (AG) DISTRICT TO
COMMERCIAL NEIGHBORHOOD (CN)
DISTRICT, BEING LOT 1, TRENTON
TERRACE SUBDIVISION, LOCATED
ON THE WEST SIDE OF SOUTH
VETERANS BLVD.
APPROXIMATELY 200 FEET NORTH
OF LETICIA STREET, AS
REQUESTED BY SAM A. GOMEZ

Legend

-  CITY LIMITS
-  APPLICANT SITE

SITE LOCATION MAP

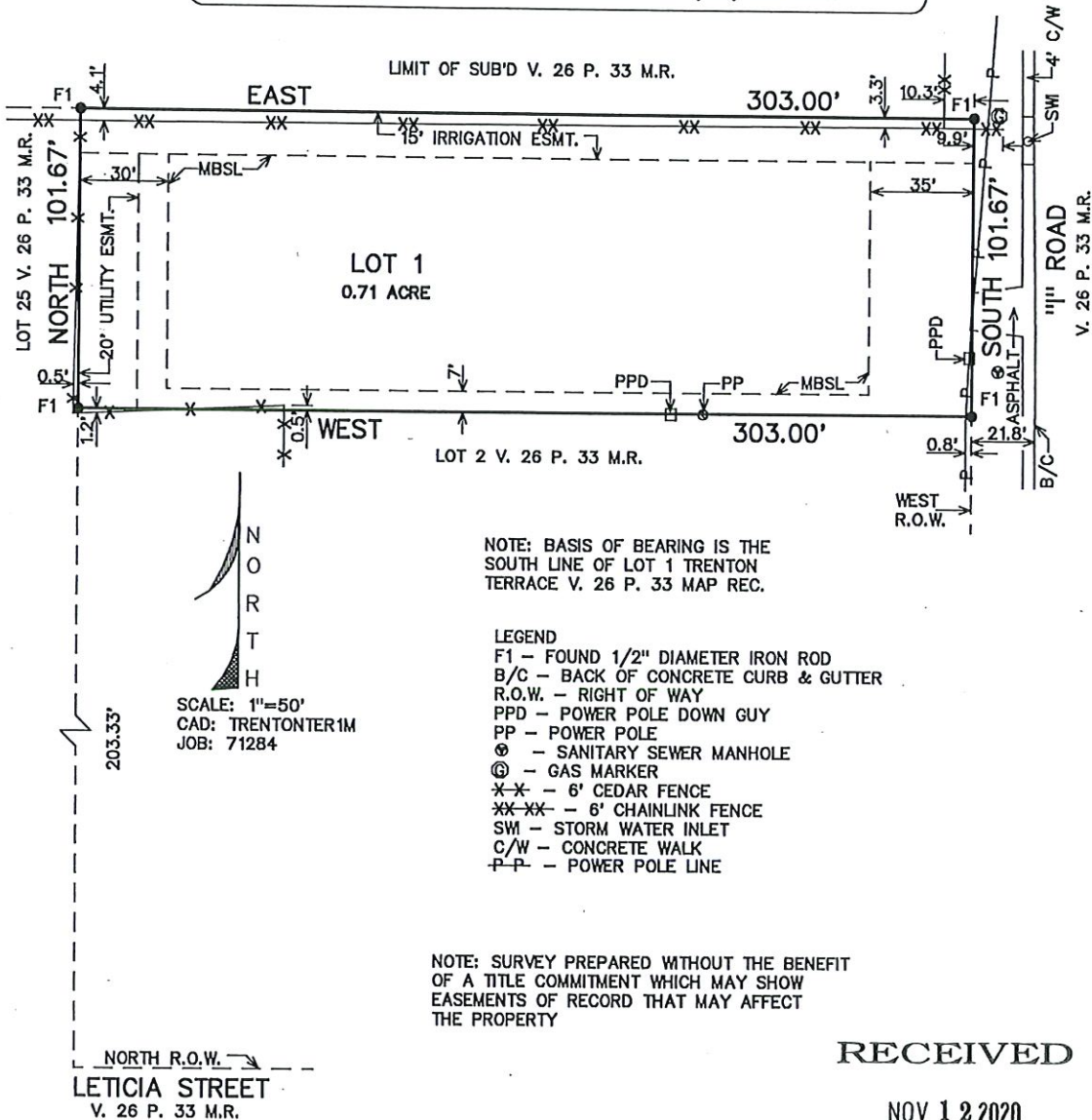






PEÑA ENGINEERING

FIRM #10087200 • 1001 WHITEWING • P.O. BOX 4320
(956) 682-8812 • McALLEN, TEXAS 78502 • FAX (956) 631-PENA



BUYER'S NAME: Samuel Gomez and Ana Maria Gomez

FLOOD ZONE: By GRAPHICAL PLOTTING Community Panel Number 480334 0425 C
Map Revised: November 16, 1982

- ☐ Zone "A" - This is to certify that this property is in a flood prone area.
- ☒ Zone "B" - This is to certify that this property is not in a flood prone area. However limits between the 100 year and 500 year flood are subject to flooding with average depths less than one foot.
- ☐ Zone "C" - This is to certify that this property is not in a flood prone area.

I certify that this plat represents the facts found on the ground at the time of survey and that there are no visible or apparent easements, discrepancies, conflicts, or shortages in area or boundary lines, or any encroachments, or overlapping of improvements or visible easements except as shown on this plat. No subsurface utilities or service connections are shown, © copyright 2020 PENA ENGINEERING this survey was provided in multiple originals solely for the borrower named hereon, in conjunction with the original transaction which shall take place within 6 months after the survey was provided. No license has been created or implied to copy this Survey. Survey valid only if print has original seal and signature.

ADDRESS:

LEGAL DESCRIPTION: All of Lot 1 TRENTON TERRACE, an addition to the City of Edinburg, Hidalgo County, Texas,

ACCORDING TO THE MAP RECORDED IN VOLUME 26 PAGE 33
OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS.

Pablo Peña III

11/09/2020
DATE

PABLO PEÑA III
REG. PROFESSIONAL LAND SURVEYOR No. 5242



CITY OF EDINBURG
Planning & Zoning Commission
Regular Meeting
Meeting Date:
12/8/2020

Comprehensive Plan Amendment
Rezoning Request

AGENDA ITEM:

Hold Public Hearing and Consider the Comprehensive Plan Amendment from Auto Urban Uses to Neighborhood Commercial Uses and the Rezoning Request from Neighborhood Conservation 7.1 (NC 7.1) District to Commercial Neighborhood (CN) District, Being Lot 6, Strong Subdivision, Located at 3116 S Jackson Road, As Requested By Daniel & Irma Torres [Planning & Zoning – Kimberly Mendoza, Director of Planning & Zoning]

DESCRIPTION / SCOPE:

The property is located on the east side of S Jackson Road, approximately 1,000 feet south of Canton Road and is currently vacant. The tract has 226.71 ft. of frontage along S. Jackson Road and 230.00 ft. of depth for a tract size of 52,143.3 square feet. The approval of the rezoning request will allow for Commercial Neighborhood (CN) District which allows for a commercial development on the subject property. The future land use for the property is Auto Urban Uses.

The property is currently zoned Neighborhood Conservation 7.1 (NC 7.1) District. The surrounding zoning in the area is Neighborhood Conservation 7.1 (NC 7.1) District to the North, East and West. A Hidalgo County Irrigation Canal currently falls to the South of the property. The surrounding uses consist of single family residential homes.

Staff mailed a notice of the public hearing before the Planning & Zoning Commission to twenty-eight (28) neighboring property owners and received 1 comment against and none in favor of this request at the time of the report.

ESTIMATED TIMELINE:

The recommendation of approval or denial of this public hearing is scheduled for consideration by the City Council on January 19, 2021. City Council's decision is the final step in the zoning process for this property. If denied the applicant may not request the proposed zoning classification for a 12 month period from the date of denial.

STAFF RECOMMENDATION:

Staff recommends denial of the Comprehensive Plan Amendment from Auto Urban Uses to Neighborhood Commercial Uses and the Rezoning Request from Neighborhood Conservation 7.1 (NC 7.1) District to Commercial Neighborhood (CN) District. If approved, the applicant will need to comply with all requirements during the permitting process including compliance with subdivision regulations, building and fire codes, fire protection, parking, landscape buffer-yards, solid waste services, utility, and any other City requirements, as applicable.

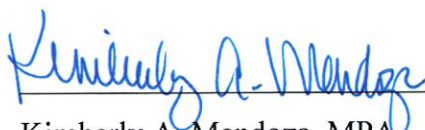
JUSTIFICATION:

The applicant is requesting the rezoning to allow for a children's daycare.



Rita Lee Guerrero

Urban Planner



Kimberly A. Mendoza, MPA

Director of Planning & Zoning

MEETING DATES:
PLANNING & ZONING COMMISSION – 12/08/2020
CITY COUNCIL – 1/5/2021
DATE PREPARED – 11/30/2020

STAFF REPORT
GENERAL INFORMATION

<u>APPLICATION:</u>	Comprehensive Plan Amendment from Auto Urban Uses to Neighborhood Commercial Uses and the Rezoning Request from Neighborhood Conservation 7.1 (NC 7.1) District to Commercial Neighborhood (CN) District
<u>APPLICANT:</u>	Daniel & Irma Torres
<u>AGENT:</u>	N/A
<u>LEGAL:</u>	Being Lot 6, Strong Subdivision
<u>LOCATION:</u>	Located at 3116 S Jackson Road
<u>LOT/TRACT SIZE:</u>	52,143.3 square feet
<u>CURRENT USE OF PROPERTY:</u>	Vacant
<u>PROPOSED USE OF PROPERTY:</u>	Commercial Development
<u>EXISTING LAND USE</u>	Neighborhood Conservation 7.1 (NC 7.1) District
<u>ADJACENT ZONING:</u>	North -Neighborhood Conservation 7.1 (NC 7.1) District South – Hidalgo County Irrigation Canal East – Neighborhood Conservation 7.1 (NC 7.1) District West - Neighborhood Conservation 7.1 (NC 7.1) District
<u>LAND USE PLAN DESIGNATION:</u>	Auto Urban Uses
<u>PUBLIC SERVICES:</u>	City of Edinburg Water / Sewer
<u>RECOMMENDATION:</u>	Staff recommends denial of the Comprehensive Plan Amendment from Auto Urban Uses to Neighborhood Commercial Uses and the Rezoning Request from Neighborhood Conservation 7.1 (NC 7.1) District to Commercial Neighborhood (CN) District

**COMPREHENSIVE PLAN AMENDMENT
REZONING REQUEST
DANIEL & IRMA TORRES
PAGE 3**

EVALUATION

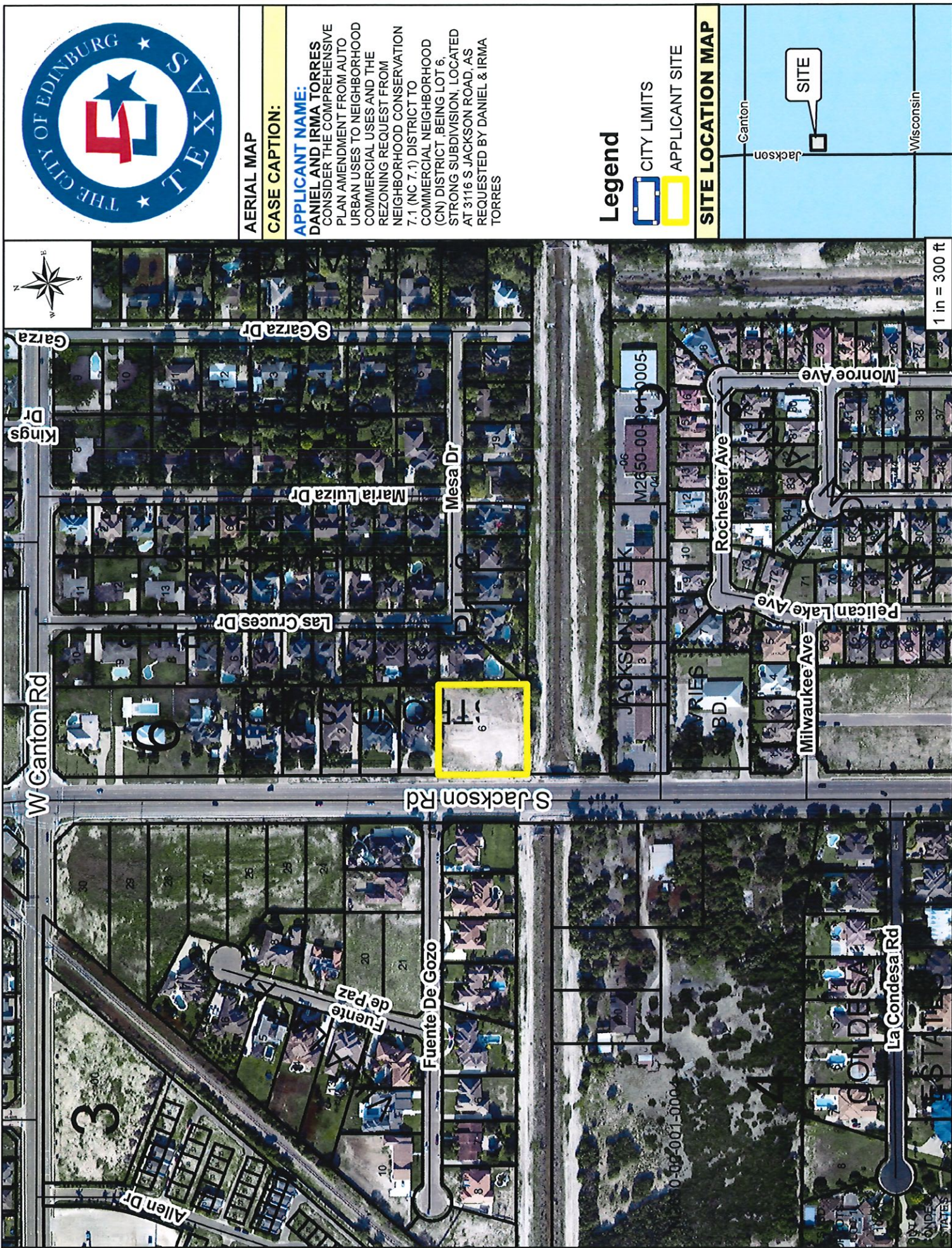
The following is staff's evaluation of the request.

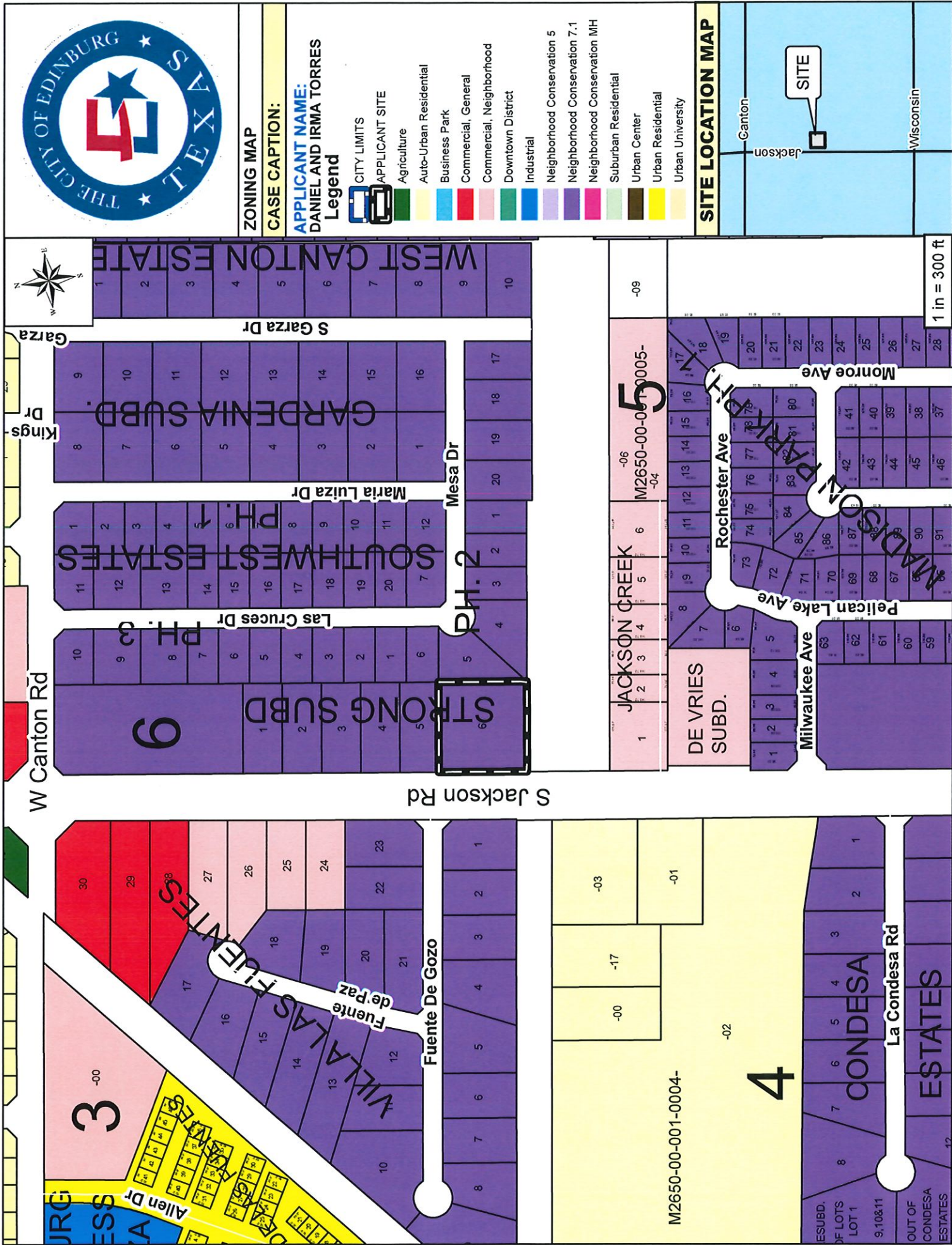
1. The land use pattern for this area of the community consists of residential uses.
2. The applicant is proposing a commercial development at this location.

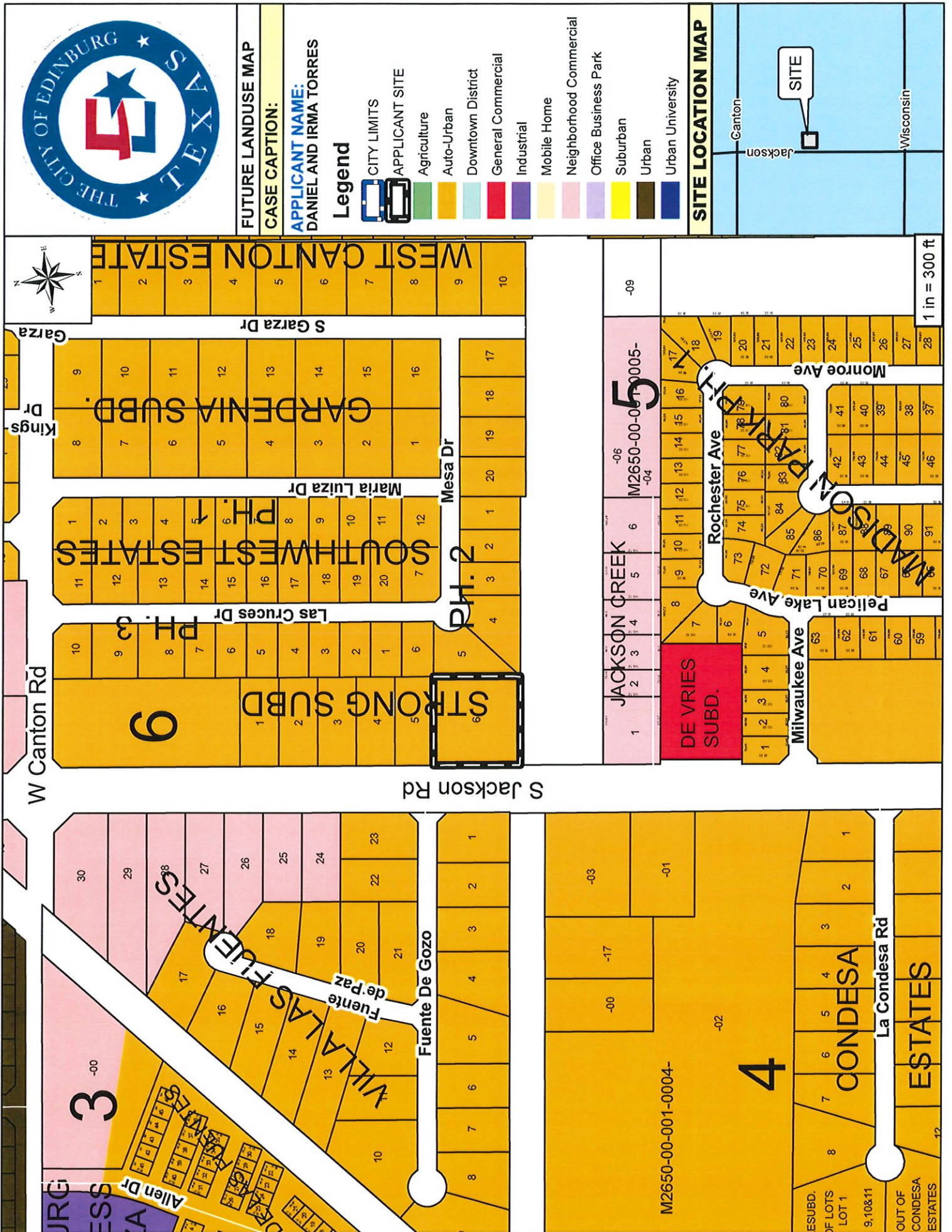
Staff recommends denial of the Comprehensive Plan Amendment from Auto Urban Uses to Neighborhood Commercial Uses and the Rezoning Request from Neighborhood Conservation 7.1 (NC 7.1) District to Commercial Neighborhood (CN) District. If approved, the applicant will need to comply with all requirements during the permitting process including compliance with subdivision regulations, building and fire codes, fire protection, parking, landscape buffer-yards, solid waste services, utility, and any other City requirements, as applicable.

Staff mailed a notice of the public hearing before the Planning & Zoning Commission to twenty-eight (28) neighboring property owners and received 1 comment against and none in favor of this request at the time of the report.

ATTACHMENTS: Aerial Photo
Zoning Map
Future Land Use Map
Photo of site
Exhibits









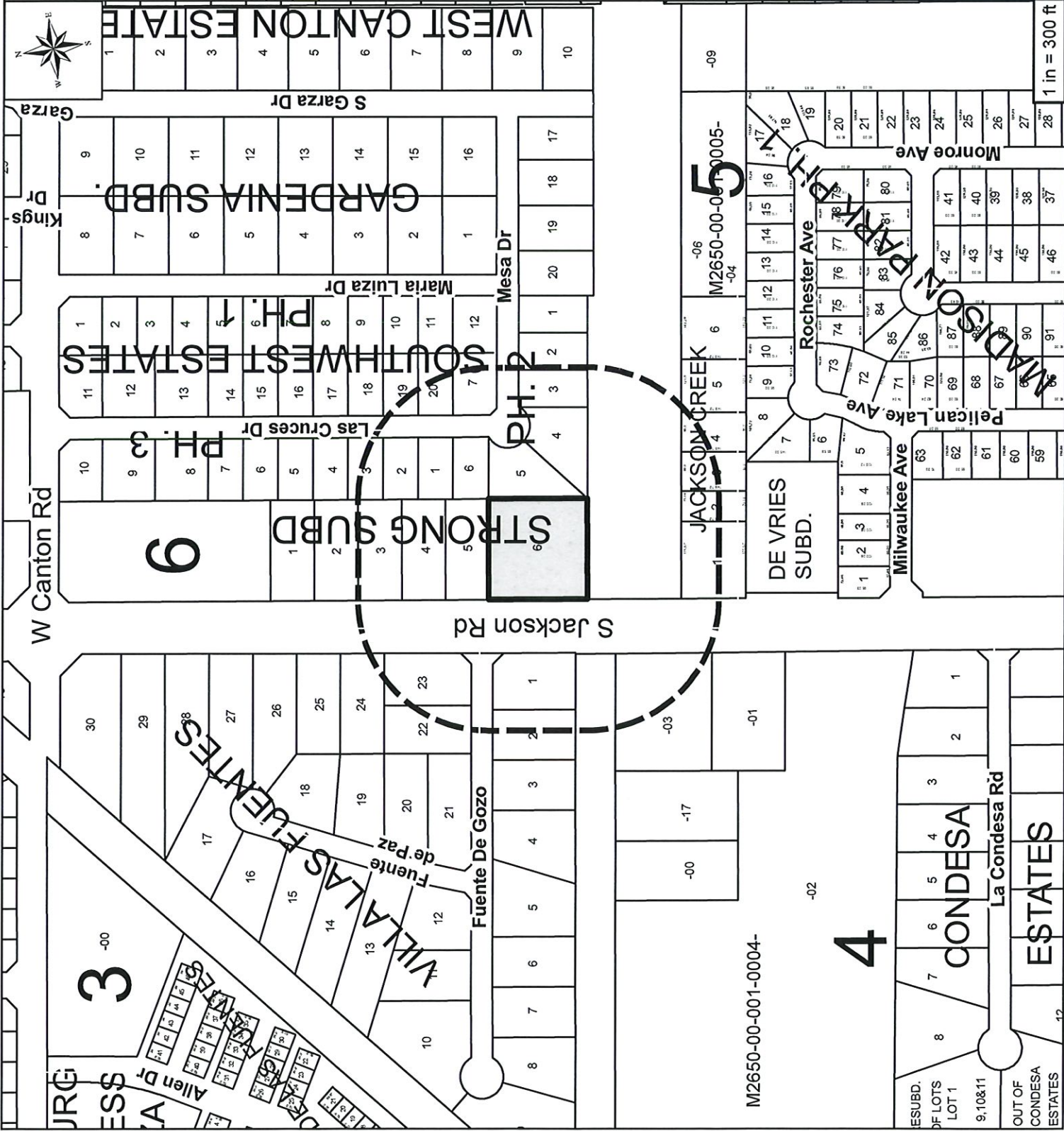
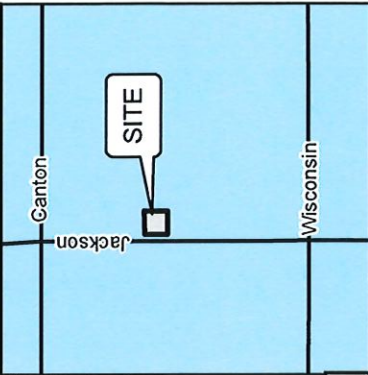
MAILOUT AND SITE
CASE CAPTION:

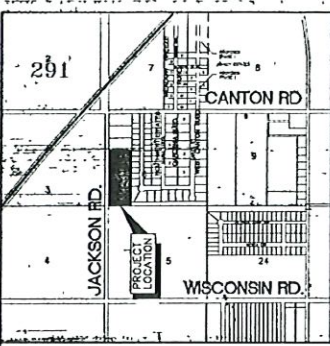
APPLICANT NAME:
DANIEL AND IRMA TORRES
PLAN AMENDMENT FROM AUTO
URBAN USES TO NEIGHBORHOOD
COMMERCIAL USES AND THE
REZONING REQUEST FROM
NEIGHBORHOOD CONSERVATION
7.1 (NC 7.1) DISTRICT TO
COMMERCIAL NEIGHBORHOOD
(CN) DISTRICT, BEING LOT 6,
STRONG SUBDIVISION, LOCATED
AT 3116 S JACKSON ROAD, AS
REQUESTED BY DANIEL & IRMA
TORRES

Legend

300FT NOTIFICATION
 APPLICANT SITE

SITE LOCATION MAP





LOCATION MAP

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE UNIFORM STANDARDS OF THE DISTRICT ADOPTED UNDER TEX. WATER CODE, 4121.01. THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE SYSTEMS DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC ADDITION, BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER OF THE SUBDIVISION AND ITS ENGINEER TO MAKE THESE DETERMINATIONS.

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1
BY: *[Signature]*
DATE: 4/28/99

1. THE UNDERSIGNED DAVID DEEA, A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN TO THIS PLAN.

[Signature]
DAVID DEEA
NO. 4041

1. THE UNDERSIGNED PAUL ROTO, JR. A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS HEREBY CERTIFY THAT THIS PLAN IS TRUE AND CORRECTLY MADE AND IS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY MADE UNDER HIS SUPERVISION ON THE DRAINAGE DISTRICT NO. 1.



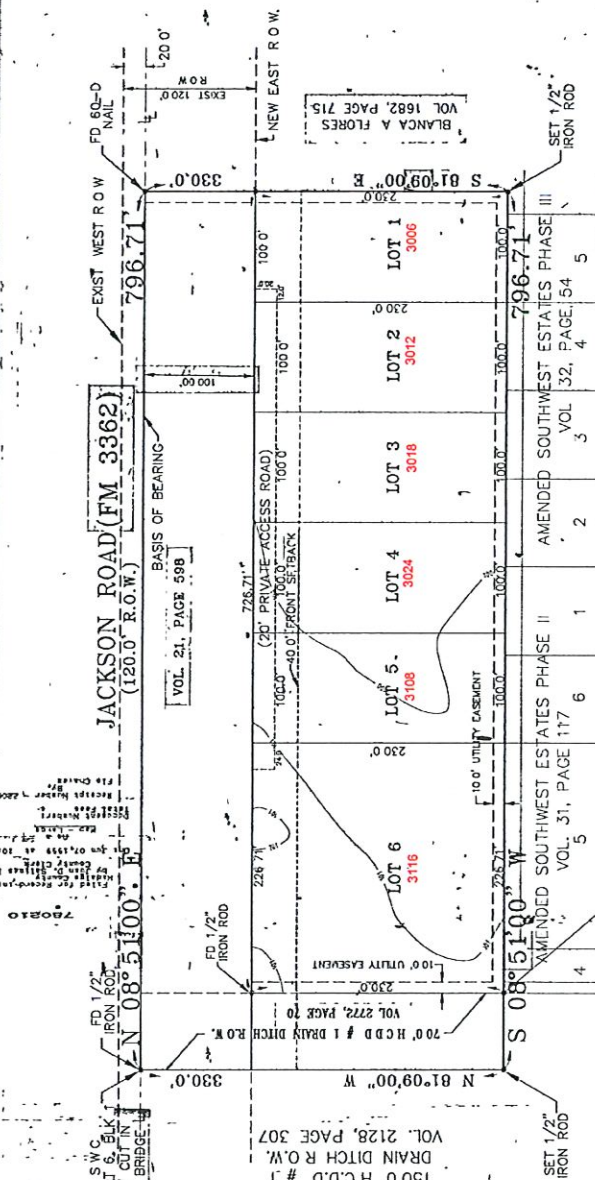
PAUL ROTO, JR.
NO. 4041
4/28/99

NOTES:

1. THE ACCESS ROAD WILL BE MAINTAINED BY THE LOT OWNERS.
2. SEE FLOODING DEDICATION IS DUE AT BUILDING PERMIT STAGE.
3. FLOOD ZONE DESIGNATION ZONE "M".
4. IN RESPECT TO THE COUNTY ENGINEERING REQUIREMENTS OF NOT EXCEEDING THE AMOUNT OF CONTIGUOUS EXCESSIVE DRAINAGE OF NOT MORE THAN 5% OF STORM RUNOFF WILL BE OBTAINED ON LOTS 1-5 AND 6% OF WATER WILL BE RETAINED ON LOT 6.
5. NEAR FINISHED FLOOR SHALL BE 6 INCHES ABOVE TOP OF BASE FLOOD JUNCTION ROAD.
6. SETBACKS AS PER CITY OF EDINBURG DRAINAGE REQUIREMENTS.
7. FULL CORNER SET IN 1/2" HIGH IRON ROD 3/8" NOTES.

J.E. SAENZ & ASSOCIATES, INC.
P.O. BOX 3393
EDINBURG, TEXAS 78150
TEL: (560) 388-3384
FAX: (560) 388-3376
SUB 98 01.2

PLAT MAP STRONG SUBDIVISION EDINBURG, TEXAS



STRONG SUBDIVISION

1. THE UNDERSIGNED DAVID DEEA, A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS HEREBY CERTIFY THAT THIS SUBDIVISION PLAN CONFORMS TO ALL REQUIREMENTS OF THE CITY OF EDINBURG WHEREIN AT APPROVAL IS REQUIRED.

[Signature]
DAVID DEEA
NO. 4041

1. THE UNDERSIGNED PAUL ROTO, JR. A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS HEREBY CERTIFY THAT THIS SUBDIVISION PLAN CONFORMS TO ALL REQUIREMENTS OF THE CITY OF EDINBURG WHEREIN AT APPROVAL IS REQUIRED.

[Signature]
PAUL ROTO, JR.
NO. 4041

1. THE UNDERSIGNED JAMES E. SAENZ, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS HEREBY CERTIFY THAT THIS SUBDIVISION PLAN CONFORMS TO ALL REQUIREMENTS OF THE CITY OF EDINBURG WHEREIN AT APPROVAL IS REQUIRED.

[Signature]
JAMES E. SAENZ
NO. 4041

1. THE UNDERSIGNED JAMES E. SAENZ, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS HEREBY CERTIFY THAT THIS SUBDIVISION PLAN CONFORMS TO ALL REQUIREMENTS OF THE CITY OF EDINBURG WHEREIN AT APPROVAL IS REQUIRED.

[Signature]
JAMES E. SAENZ
NO. 4041

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[Signature]
JAMES E. SAENZ
NO. 4041

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[Signature]
JAMES E. SAENZ
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[Signature]
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NO. 4041

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[Signature]
JAMES E. SAENZ
NO. 4041

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[Signature]
JAMES E. SAENZ
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[Signature]
JAMES E. SAENZ
NO. 4041

1. THE UNDERSIGNED JAMES E. SAENZ, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS HEREBY CERTIFY THAT THIS SUBDIVISION PLAN CONFORMS TO ALL REQUIREMENTS OF THE CITY OF EDINBURG WHEREIN AT APPROVAL IS REQUIRED.

[Signature]
JAMES E. SAENZ
NO. 4041

JACKSON ROAD (FM 3009)
(120.0' R.O.W.)

BASIS OF BEARING

VOL. 21, PAGE 598

SWC
LOT 6, BLK 1
FD 1/2" CUR IN
CONC BRIDGE

330.0'

FD 1/2" IRON ROD

700' H.C.D.D. # 1 DRAIN DITCH R.O.W.

1500' H.C.D.D. # 1
DRAIN DITCH R.O.W.
VOL. 2128, PAGE 307

VOL. 2772, PAGE 70

230.0' 100' UTILITY EASEMENT

100'

N 81°09'00" W

LOT 6
3116

230.0'

60'

LOT 5
3108

LOT 4
3024

LOT 3
3000

725.71'

(20' PRIVATE ACCESS ROAD)
100.0' 40.0' FRONT SETBACK

100' UTILITY EASEMENT

S 08°51'00" W

SET 1/2" IRON ROD

AMENDED SOUTHWEST ESTATES PHASE II

VOL. 31, PAGE 117

5

6

1

2

AMENDED S

THE CITY OF Edinburg

NOTIFICATION

Dear Property Owner:

A public hearing will be held on Tuesday, December 8, 2020 at 4:00 p.m. by the Planning and Zoning Commission to consider the following:

COMPREHENSIVE PLAN AMENDMENT FROM AUTO URBAN USES TO NEIGHBORHOOD COMMERCIAL USES AND THE REZONING REQUEST FROM NEIGHBORHOOD CONSERVATION 7.1 (NC 7.1) DISTRICT TO COMMERCIAL NEIGHBORHOOD (CN) DISTRICT, BEING LOT 6, STRONG SUBDIVISION, LOCATED AT 3116 S JACKSON ROAD, AS REQUESTED BY DANIEL & IRMA TORRES

This request is scheduled to be heard by the City Council on Tuesday, January 19, 2021 at 6:00 p.m. As an adjacent property owner you are invited to participate. Because of the state of emergency due to the COVID-19 pandemic, the City has established a telephone number for those who desire to participate. If you wish to do so, please send your request by email to PublicHearings@cityofedinburg.com or call the Planning and Zoning Department at 956-388-8202. Requests must be received no later than 30 minutes before the start of the meetings. Your request should include your name, address, and telephone number. Please note that meeting time (s) and date (s) are subject to change. Therefore; please call on the date of the meeting to assure that the item is on the agenda. As part of the City effort to encourage greater participation in the rezoning process, the City is using this notice to solicit your input. Please place a checkmark on the appropriate box to indicate if you are in favor, against, or have no comments on this request.

You may return your response by one of the following:

- MAIL- P. O. Box 1079 Edinburg, Texas 78540
- FAX- (956) 292-2080 by Tuesday, December 8, 2020
- EMAIL- planning@cityofedinburg.com

Should you have any questions or need more information regarding this notice, you may call (956) 388-8202.

☐ In Favor/A Favor

☒ Against/En Contra

☐ No Comments/No Comentario

Comments: _____

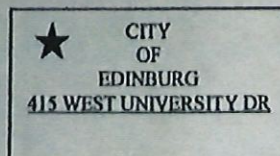
Print Name: MATIAS FAJES Phone No.: 956-867-0637

Address: 2112 W. University Dr. City: Edinburg State: TX Zip: 78539

NOTIFICACION

Si Tiene preguntas o necesita mas información sobre esta aplicación, o el lugar de la audiencia, por favor llame al 956-388-8202.

Planning and Zoning Department
City of Edinburg
PO BOX 1079
Edinburg, TX 78540-1079



8th Ave.

University Dr. (S.H.107)



CITY OF EDINBURG
Planning & Zoning Commission
Regular Meeting
Meeting Date:
12/8/2020

Comprehensive Plan Amendment

Rezoning Request

AGENDA ITEM:

Hold Public Hearing and Consider the Comprehensive Plan Amendment from Industrial Uses to General Commercial Uses and the Rezoning Request from Industrial (I) District to Commercial General (CG) District, Being 6.61 Acre Tract of Land Being a Portion of Lot 1, Santa Cruz Ranch Subdivision, of the Survey of a part of the Ojo De Agua Tract, Located at the Northwest corner of Interstate 69C and Monte Cristo Road, As Requested By Martin Twelve Partnership [Planning & Zoning – Kimberly Mendoza, Director of Planning & Zoning]

DESCRIPTION / SCOPE:

The property is located at the Northwest Corner of Interstate 69C and Monte Cristo Road and is currently vacant. The tract has 631.23ft of frontage along Monte Cristo Road and 446.80 feet of depth for a tract size of 6.61 acres. This property is currently undergoing a possible transaction and the rezoning of this property will allow for the proposed construction of a convenience store to be in compliance. The approval of the rezoning request will allow for Commercial General (CG) District which allows for a commercial development. The future land use for the property is Industrial Uses.

The property is currently zoned Industrial (I) District. The surrounding zoning in the area is Industrial (I) District to the North and West, Commercial General (CG) District and Industrial (I) District to the South, Interstate 69C currently falls to the East of this property. The surrounding uses consist of commercial businesses and vacant land.

Staff mailed a notice of the public hearing before the Planning & Zoning Commission to eight (8) neighboring property owners and received no comments in favor or against this request at the time of the report.

ESTIMATED TIMELINE:

The recommendation of approval or denial of this public hearing is scheduled for consideration by the City Council on January 19, 2021. City Council's decision is the final step in the zoning process for this property. If denied the applicant may not request the proposed zoning classification for a 12 month period from the date of denial.

STAFF RECOMMENDATION:

Staff recommends approval of the Comprehensive Plan Amendment from Industrial Uses to General Commercial Uses and the Rezoning Request from Industrial (I) District to Commercial General (CG) District. If approved, the applicant will need to comply with all requirements during the permitting process including compliance with subdivision regulations, building and fire codes, fire protection, parking, landscape buffer-yards, solid waste services, utility, and any other City requirements, as applicable.

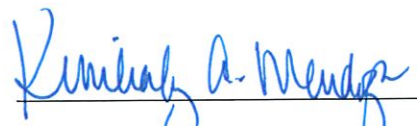
JUSTIFICATION:

This property is currently going undergoing a possible transaction and the rezoning of this property will allow for the proposed construction to be in compliance.



Rita Lee Guerrero

Urban Planner



Kimberly A. Mendoza, MPA

Director of Planning & Zoning

MEETING DATES:
PLANNING & ZONING COMMISSION – 12/08/2020
CITY COUNCIL – 1/15/2021
DATE PREPARED – 11/30/2020

STAFF REPORT
GENERAL INFORMATION

<u>APPLICATION:</u>	Comprehensive Plan Amendment from Industrial Uses to General Commercial Uses and the Rezoning Request from Industrial (I) District to Commercial General (CG) District
<u>APPLICANT:</u>	Martin Twelve Partnership
<u>AGENT:</u>	N/A
<u>LEGAL:</u>	Being 6.61 Acre Tract of Land Being a Portion of Lot 1, Santa Cruz Ranch Subdivision
<u>LOCATION:</u>	Located at the Northwest Corner of Interstate 69C and Monte Cristo Road
<u>LOT/TRACT SIZE:</u>	6.61 Acres
<u>CURRENT USE OF PROPERTY:</u>	Vacant
<u>PROPOSED USE OF PROPERTY:</u>	Commercial Development
<u>EXISTING LAND USE</u>	Industrial (I) District
<u>ADJACENT ZONING:</u>	North - Industrial (I) District South – Commercial General (CG) District and Industrial (I) District East – Commercial General (CG) District West - Industrial (I) District
<u>LAND USE PLAN DESIGNATION:</u>	Industrial Uses
<u>PUBLIC SERVICES:</u>	City of Edinburg Water / Sewer
<u>RECOMMENDATION:</u>	Staff recommends approval of the Comprehensive Plan Amendment from Industrial Uses to General Commercial Uses and the Rezoning Request from Industrial (I) District to Commercial General (CG) District

**COMPREHENSIVE PLAN AMENDMENT
REZONING REQUEST
MARTIN TWELVE PARTNERSHIP
PAGE 3**

EVALUATION

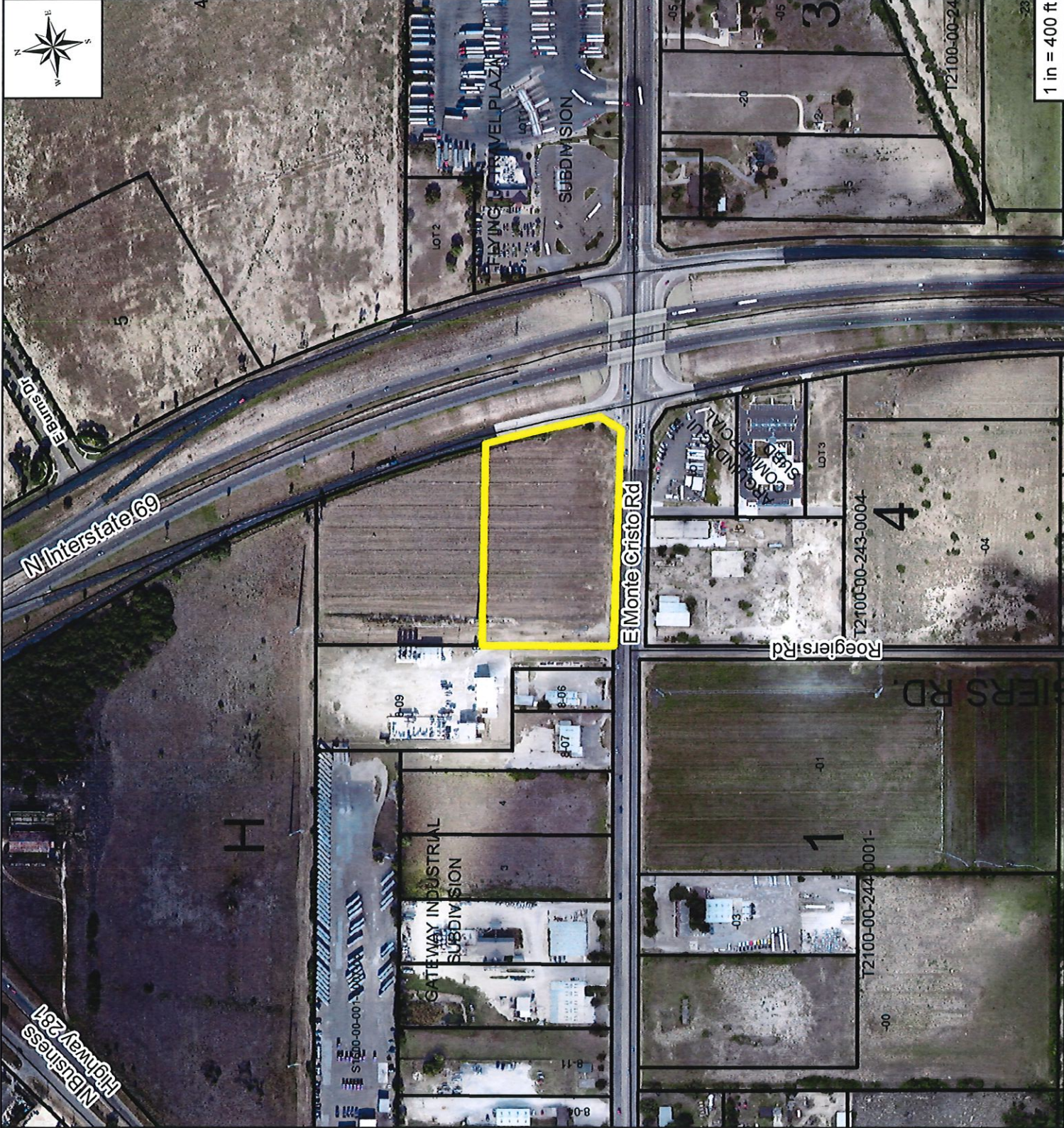
The following is staff's evaluation of the request.

1. The land use pattern for this area of the community consists of commercial uses.
2. The applicant is proposing a commercial development at this location.

Staff recommends approval of the Comprehensive Plan Amendment from Industrial Uses to General Commercial Uses and the Rezoning Request from Industrial (I) District to Commercial General (CG) District. If approved, the applicant will need to comply with all requirements during the permitting process including compliance with subdivision regulations, building and fire codes, fire protection, parking, landscape buffer-yards, solid waste services, utility, and any other City requirements, as applicable.

Staff mailed a notice of the public hearing before the Planning & Zoning Commission to eight (8) neighboring property owners and received no comments in favor or against this request at the time of the report.

ATTACHMENTS: Aerial Photo
Zoning Map
Future Land Use Map
Photo of site
Exhibits



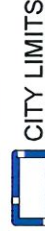
AERIAL MAP

CASE CAPTION:

APPLICANT NAME:
MARTIN TWELVE ACRE
PARTNERSHIP

CONSIDER THE COMPREHENSIVE
PLAN AMENDMENT FROM
INDUSTRIAL USES TO GENERAL
COMMERCIAL USES AND THE
REZONING REQUEST FROM
INDUSTRIAL (I) DISTRICT TO
COMMERCIAL GENERAL (CG)
DISTRICT, BEING 6.81 ACRE TRACT
OF LAND BEING A PORTION OF LOT 1,
SANTA CRUZ RANCH SUBDIVISION,
OF THE SURVEY OF A PART OF THE
OJO DE AGUA TRACT, LOCATED AT
THE NORTHWEST CORNER OF
INTERSTATE 69C AND MONTE CRISTO
ROAD, AS REQUESTED BY MARTIN
TWELVE PARTNERSHIP

Legend



CITY LIMITS



APPLICANT SITE

SITE LOCATION MAP



1 in = 400 ft

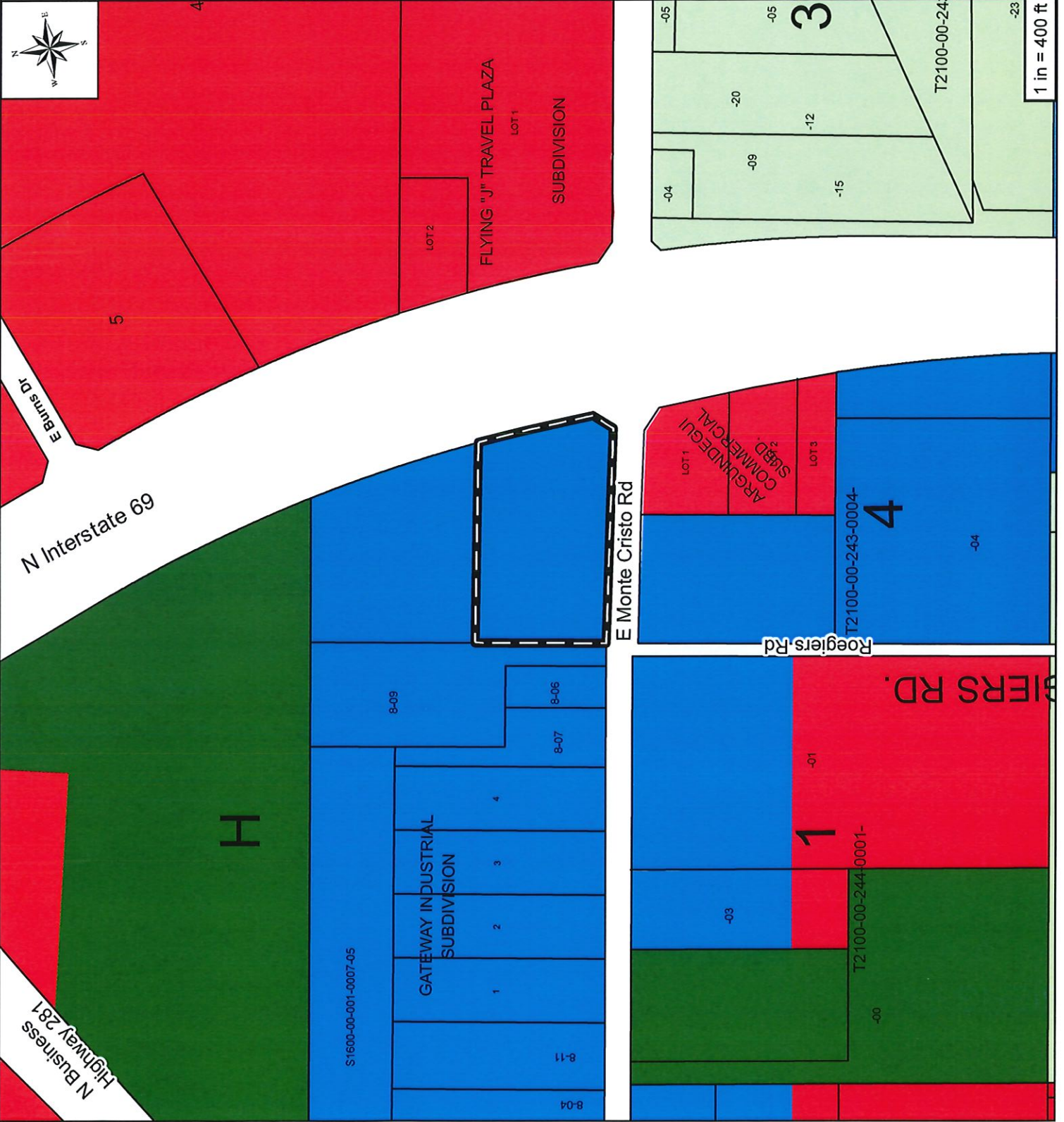


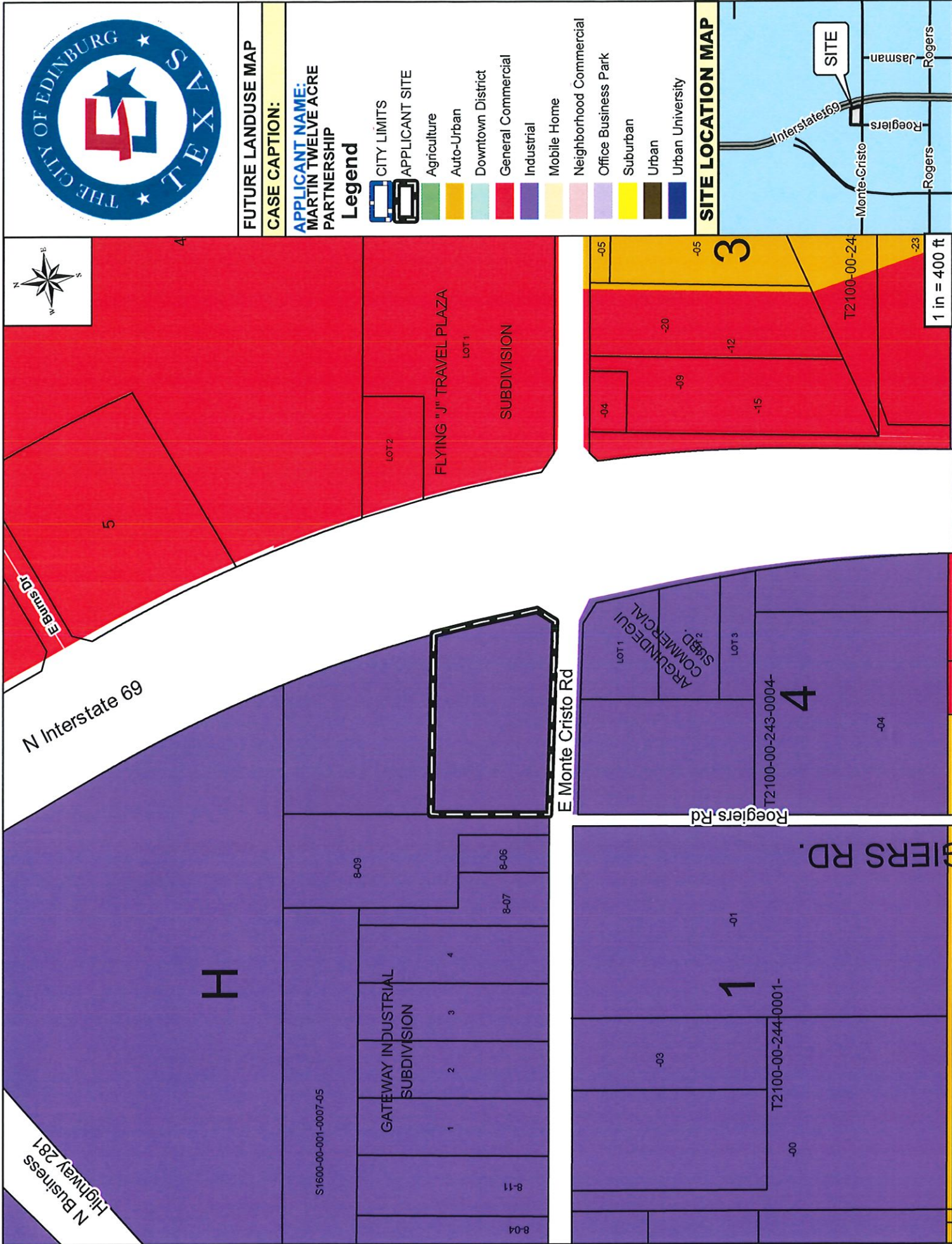
CASE CAPTION:

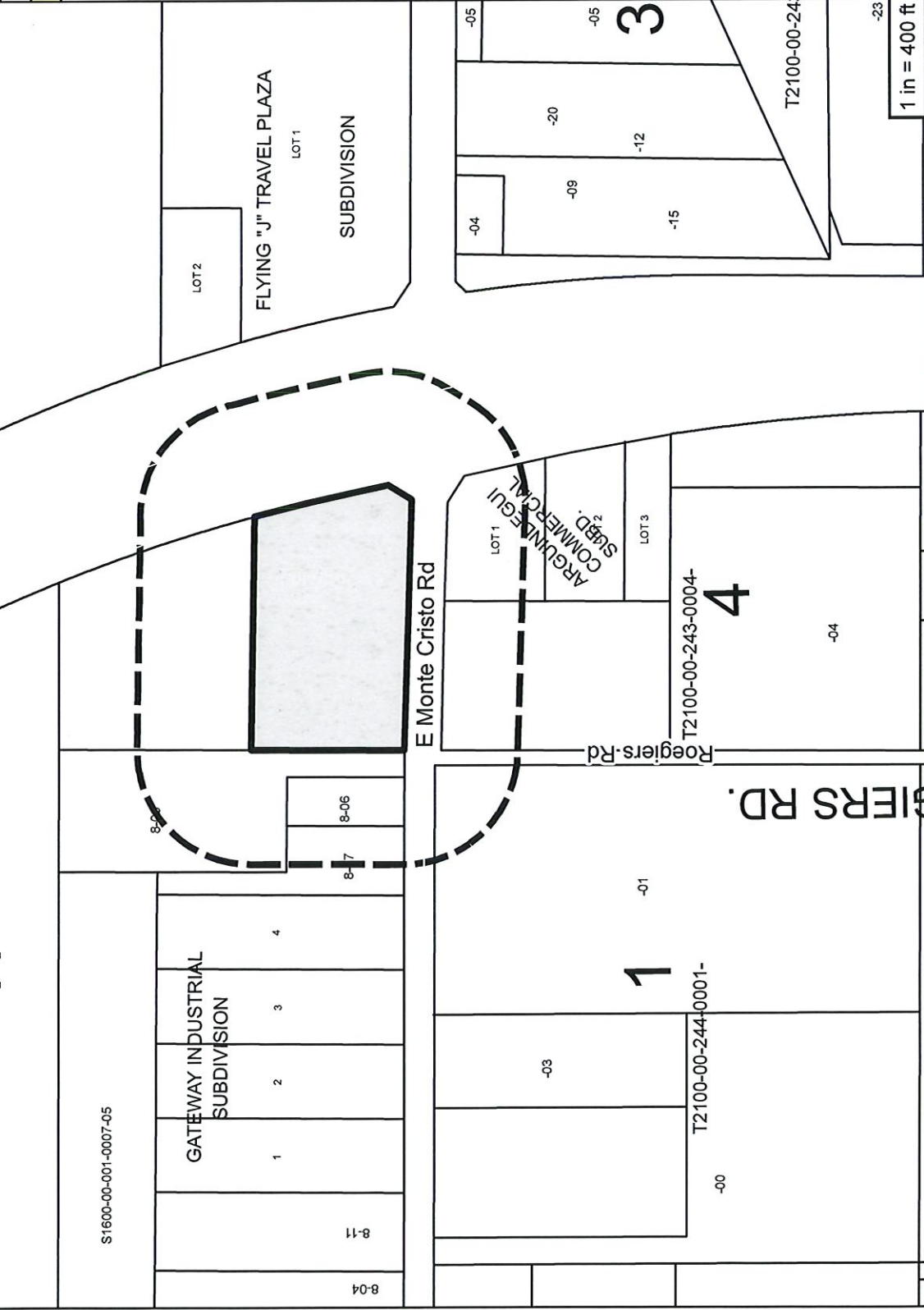
Legend

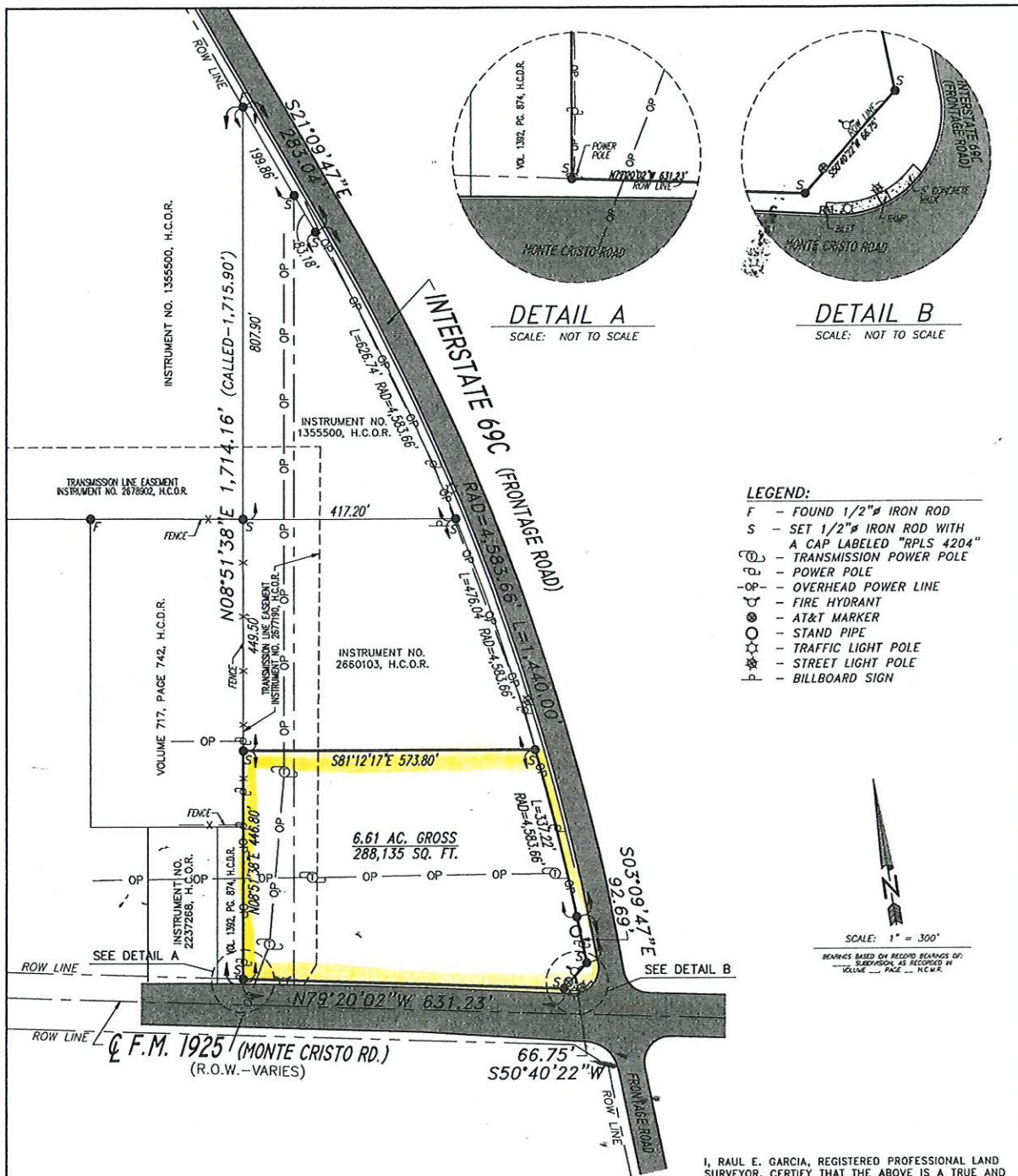
-
- CITY LIMITS**
- APPLICANT SITE**
- Agriculture
- Auto-Urban Residential
- Business Park
- Commercial, General
- Commercial, Neighborhood
- Downtown District
- Industrial
- Neighborhood Conservation 5
- Neighborhood Conservation 7.1
- Neighborhood Conservation MH
- Suburban Residential
- Urban Center
- Urban Residential
- Urban University

A map of the study area showing the location of the 'SITE'. The map features a blue background with black lines representing roads. A vertical road on the right is labeled 'Rogers' at the top and bottom. A horizontal road crossing it is labeled 'Jasman'. Below 'Jasman', the road is labeled 'Roegiers'. Further down, the road is labeled 'Monte-Cristo'. A diagonal road labeled 'Interstate 69' runs from the bottom left towards the top right. A callout box labeled 'SITE' points to a location on Interstate 69, just north of its intersection with the road labeled 'Monte-Cristo'.









PLAT SHOWING

A 6.61 ACRE TRACT OF LAND BEING A PORTION OF LOT I, SANTA CRUZ RANCH SUBDIVISION, OF THE SURVEY OF A PART OF THE OJO DE AGUA TRACT, RECORDED IN VOLUME Z, PAGE 161, DEED RECORDS, HIDALGO COUNTY, TEXAS, ALSO BEING A PORTION OF THOSE CERTAIN TRACTS I & II DESCRIBED IN CORRECTION WARRANTY DEED RECORDED IN DOCUMENT #2660103, OFFICIAL RECORDS, HIDALGO COUNTY, TEXAS.

FIRM:
FLOOD INSURANCE RATE MAP
COMMUNITY-PANEL NUMBER
480338 0020 E
MAP REVISED: 06/06/2000
THIS AREA IS IN FLOOD ZONE "A"

R.E. Garcia

Associates

R. E. GARCIA & ASSOCIATES
ENGINEERS, SURVEYORS, PLANNERS
ENGINEER (F-5001) & SURVEYOR (10015300)
116 NORTH 12th AVE.
EDINBURG, TEXAS 78541 (956) 381-1061
EMAIL: REGAASSOC@AOL.COM



REGISTERED PROFESSIONAL LAND
SURVEYOR # 4204

This survey is being provided solely for the use of the current parties and that no license has been created, expressed or implied, to copy the survey except as is necessary in conjunction with the original transaction which shall take place within a six (6) months time period.

NOTE:
OVERHEAD AND UNDERGROUND FACILITIES ARE NOT SHOWN ON THIS SURVEY.
SURVEY COMPLETED WITHOUT THE BENEFIT OF A TITLE COMMITMENT.

TITLE: **BOUNDARY SURVEY**

DATE: OCTOBER 23, 2020 **REV:**

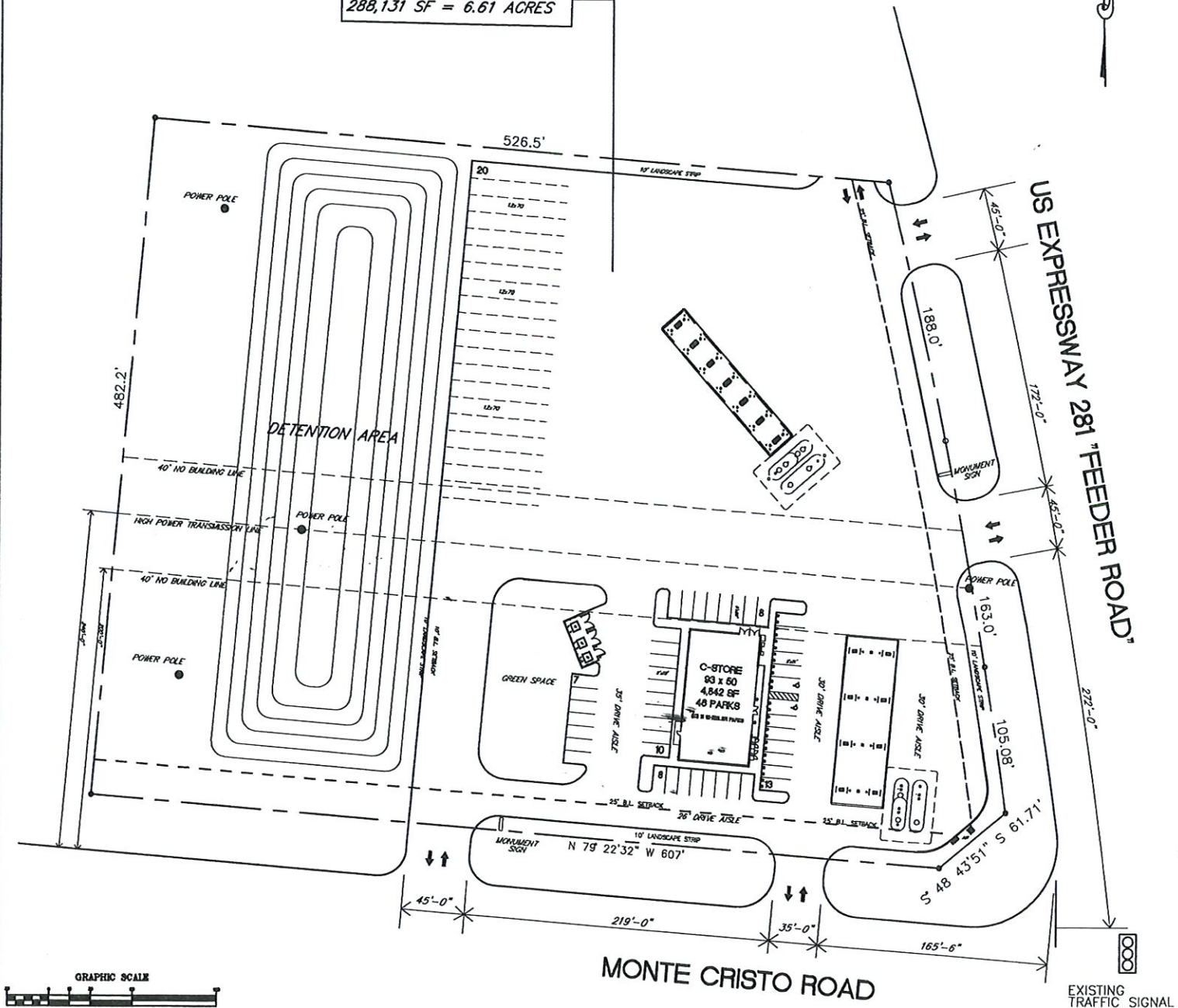
JOB # 2020-173 **BOOK** T-149/P.61

SCALE: 1" = 200'

DRAWN BY: E.S.



TOTAL LAND AREA
288,131 SF = 6.61 ACRES



THIS SITE PLAN/EXHIBIT IS PROVIDED FOR CONCEPTUAL PURPOSES ONLY, AND AS SUCH IS NOT INTENDED TO BE USED, AND SHOULD NOT BE RELIED UPON, FOR THE PURPOSE OF PREPARING CONSTRUCTION DOCUMENTS, DRAWINGS OR PLANS. ALL SITE INFO MAY NOT BE FULLY CONFIRMED PER INDICATED CITY JURISDICTION.

LASCO DEVELOPMENT CORPORATION 2020

EXPRESSWAY 281 AND MONTE CRISTO

EDINBURG, TX 78541





CITY OF EDINBURG
Planning & Zoning Commission

Regular Meeting

Meeting Date:
12/8/2020

Rezoning Request

AGENDA ITEM:

Hold Public Hearing and Consider the Rezoning Request from Suburban Residential (S) District to Urban Residential (UR) District, Being a 3.56 acre tract of Land out of Lot 6, Block 2, Steele & Pershing Subdivision, Located approximately 640 feet North of West Wisconsin Road, approximately 885 feet East of S. McColl Road, As Requested By Quintanilla Headley & Associates Inc. [Planning & Zoning – Kimberly Mendoza, Director of Planning & Zoning]

DESCRIPTION / SCOPE:

The property is located approximately 640 feet north of West Wisconsin Road, approximately 885 feet East of S. McColl Road and is currently vacant. The tract has a total of 3.56 acres. This property will be an addition to the subdivision submitted by the name of New Castle, which received preliminary approval by the Planning & Zoning Commission on November 11, 2020. This subdivision will consist of 39 lots that range from 8,841.57 square feet to 32,315.93 square feet. The first phase of New Castle Subdivision was approved for Urban Residential (UR) District by the City Council on October 1, 2019. The approval of the rezoning request will allow for Urban Residential (UR) District which allows for a residential development. The future land use for the property is Auto Urban Uses.

The property is currently zoned Suburban Residential (S) District. The surrounding zoning in the area is Industrial (I) District and Commercial General (CG) District to the North, Auto Urban Residential (AU) District to the East, Urban Residential (UR) District to the South and Industrial (I) District to the West. The surrounding uses consist of residential uses.

Staff mailed a notice of the public hearing before the Planning & Zoning Commission to ten (10) neighboring property owners and received no comments in favor or against this request at the time of the report.

ESTIMATED TIMELINE:

The recommendation of approval or denial of this public hearing is scheduled for consideration by the City Council on January 19, 2021. City Council's decision is the final step in the zoning process for this property. If denied the applicant may not request the proposed zoning classification for a 12 month period from the date of denial.

STAFF RECOMMENDATION:

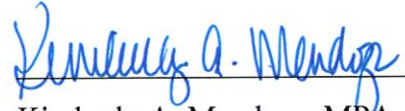
Staff recommends approval of the Rezoning Request from Suburban Residential (S) District to Urban Residential (UR) District. If approved, the applicant will need to comply with all requirements during the permitting process including compliance with subdivision regulations, building and fire codes, fire protection, parking, landscape buffer-yards, solid waste services, utility, and any other City requirements, as applicable.

JUSTIFICATION:

This property will be an addition to the subdivision by the name New Castle, this subdivision will consist of 39 lots that range from 8,841.57 square feet to 32,315.93 square feet.



Rita Lee Guerrero
Urban Planner



Kimberly A. Mendoza, MPA
Director of Planning & Zoning

MEETING DATES:
PLANNING & ZONING COMMISSION – 12/08/2020
CITY COUNCIL – 1/19/2021
DATE PREPARED – 11/30/2020

STAFF REPORT
GENERAL INFORMATION

<u>APPLICATION:</u>	Rezoning Request from Suburban Residential (S) District to Urban Residential (UR) District
<u>APPLICANT:</u>	Quintanilla Headley & Associates Inc.
<u>AGENT:</u>	Red Rock Real Estate
<u>LEGAL:</u>	Being a 3.56 acre tract of Land out of Lot 6, Block 2, Steele & Pershing Subdivision
<u>LOCATION:</u>	Located approximately 640 feet North of West Wisconsin Road, approximately 885 feet East of S. McColl Road
<u>LOT/TRACT SIZE:</u>	3.56 acre
<u>CURRENT USE OF PROPERTY:</u>	Vacant
<u>PROPOSED USE OF PROPERTY:</u>	Residential Development
<u>EXISTING LAND USE</u>	Suburban Residential (S) District
<u>ADJACENT ZONING:</u>	North - Industrial (I) District and Commercial General (CG) District South – Urban Residential (UR) District East – Auto Urban Residential (AU) District West - Industrial (I) District
<u>LAND USE PLAN DESIGNATION:</u>	Auto Urban Uses
<u>PUBLIC SERVICES:</u>	City of Edinburg Water / Sewer
<u>RECOMMENDATION:</u>	Staff recommends approval of the Rezoning Request from Suburban Residential (S) District to Urban Residential (UR) District

REZONING REQUEST

QUINTANILLA HEADLEY & ASSOCIATES INC.

PAGE 3

EVALUATION

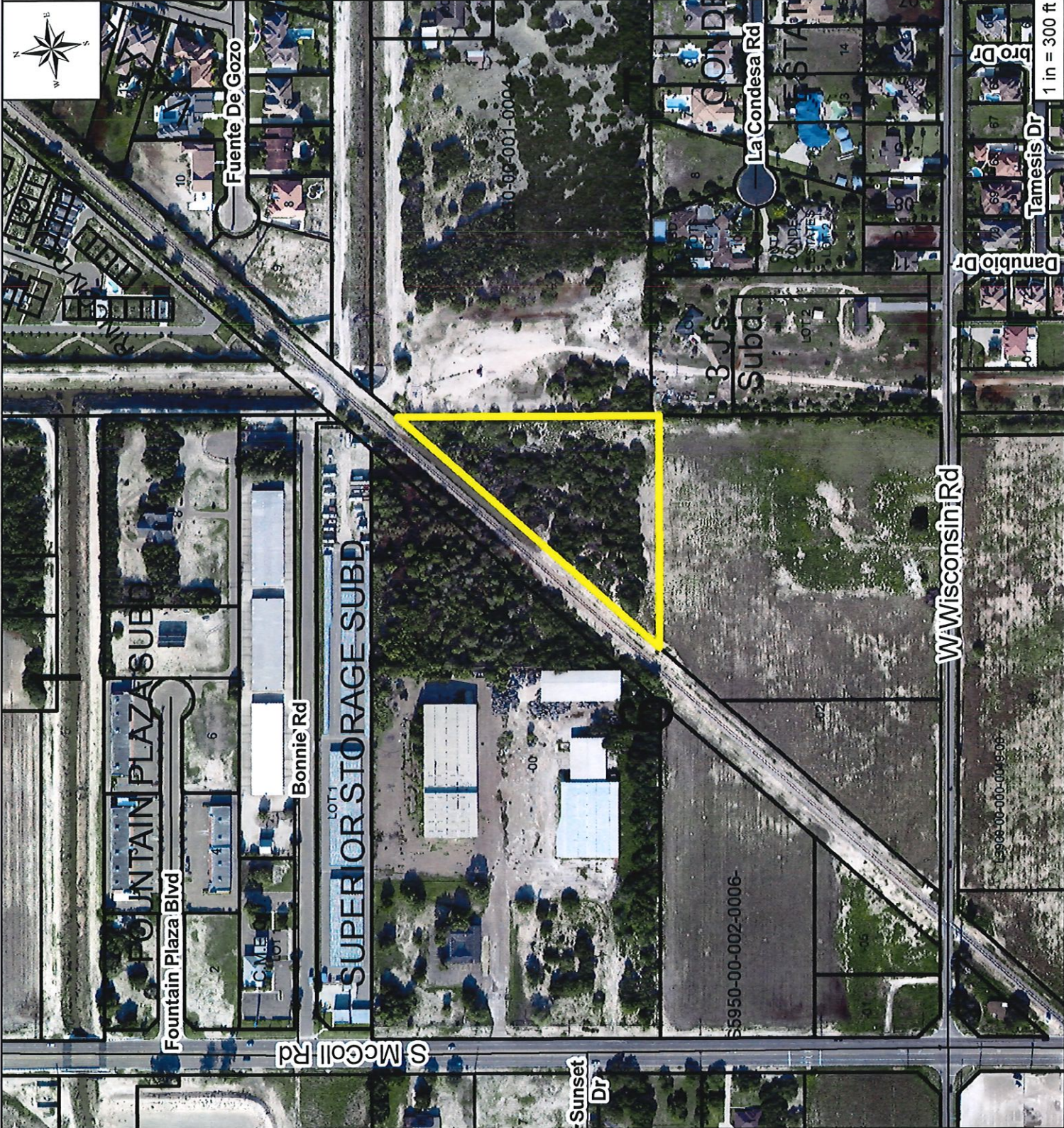
The following is staff's evaluation of the request.

1. The land use pattern for this area of the community consists of residential uses.
2. The applicant is proposing a residential development at this location.

Staff recommends approval of the Rezoning Request from Suburban Residential (S) District to Urban Residential (UR) District. If approved, the applicant will need to comply with all requirements during the permitting process including compliance with subdivision regulations, building and fire codes, fire protection, parking, landscape buffer-yards, solid waste services, utility, and any other City requirements, as applicable.

Staff mailed a notice of the public hearing before the Planning & Zoning Commission to ten (10) neighboring property owners and received no comments in favor or against this request at the time of the report.

ATTACHMENTS: Aerial Photo
Zoning Map
Future Land Use Map
Photo of site
Exhibits



AERIAL MAP

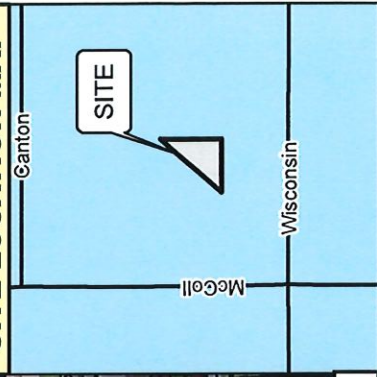
CASE CAPTION:
APPLICANT NAME:
QUINTANILLA HEADLEY
NEWCASTLE

CONSIDER THE REZONING REQUEST FROM SUBURBAN RESIDENTIAL (S) DISTRICT TO URBAN RESIDENTIAL (UR) DISTRICT, BEING A 3.56 ACRE TRACT OF LAND OUT OF LOT 6, BLOCK 2, STEEL & PERSHING SUBDIVISION, LOCATED APPROXIMATELY 640 FEET OF WEST WISCONSIN ROAD, APPROXIMATELY 885 FEET EAST OF S. MCCOLL ROAD, AS REQUESTED BY QUINTANILLA HEADLEY & ASSOCIATES INC.

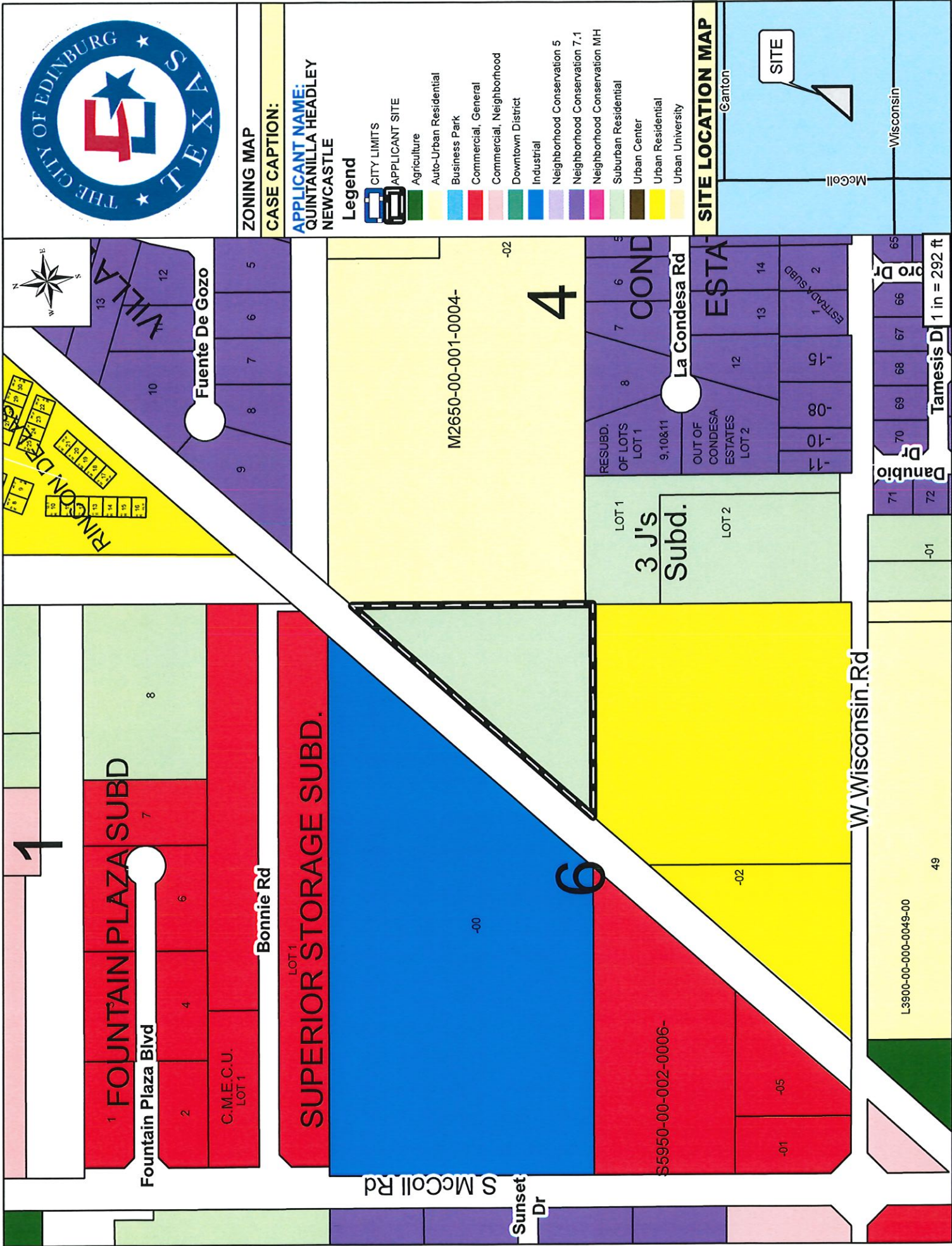
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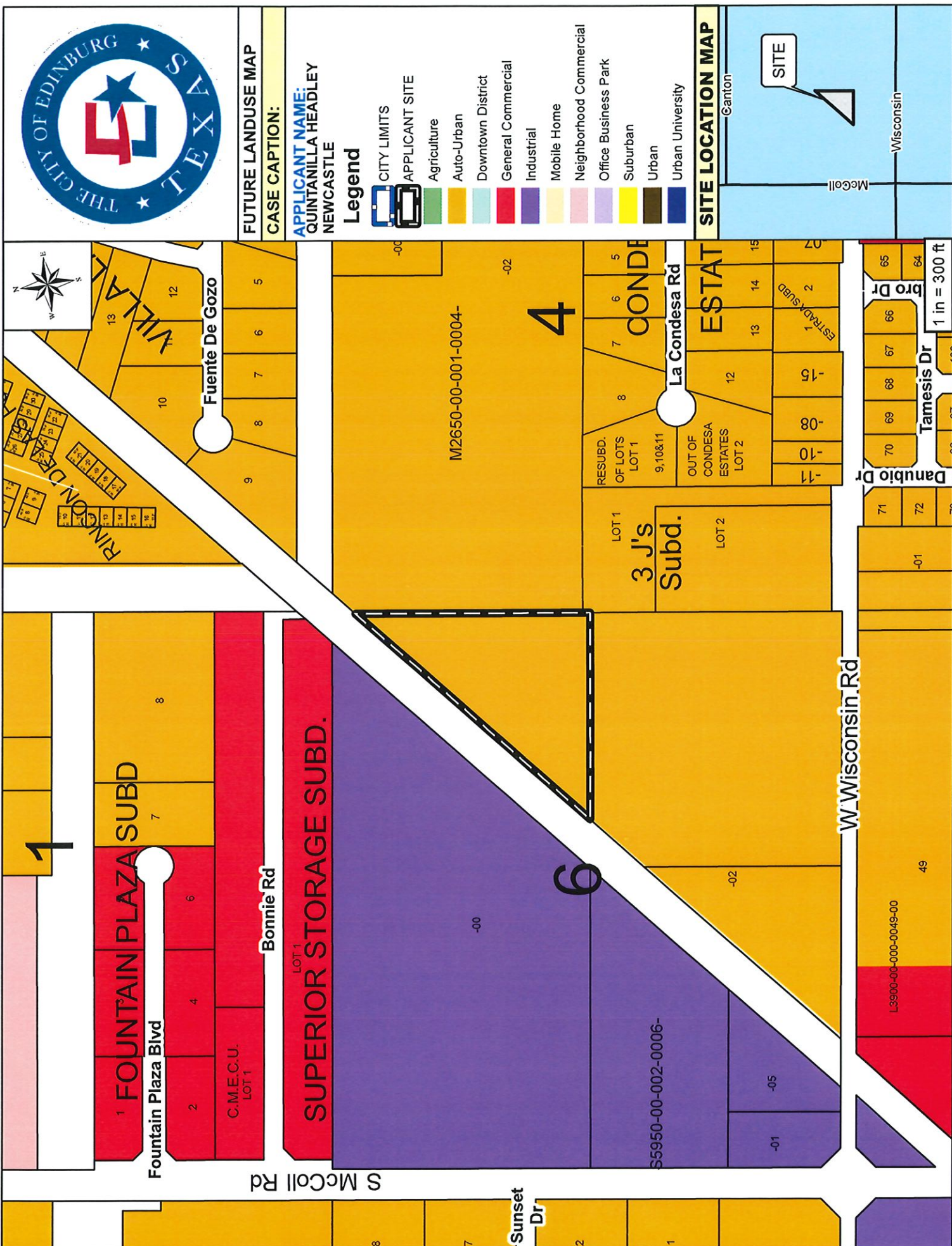
- CITY LIMITS
- APPLICANT SITE

SITE LOCATION MAP



1 in = 300 ft







MAILOUT AND SITE MAP

CASE CAPTION:

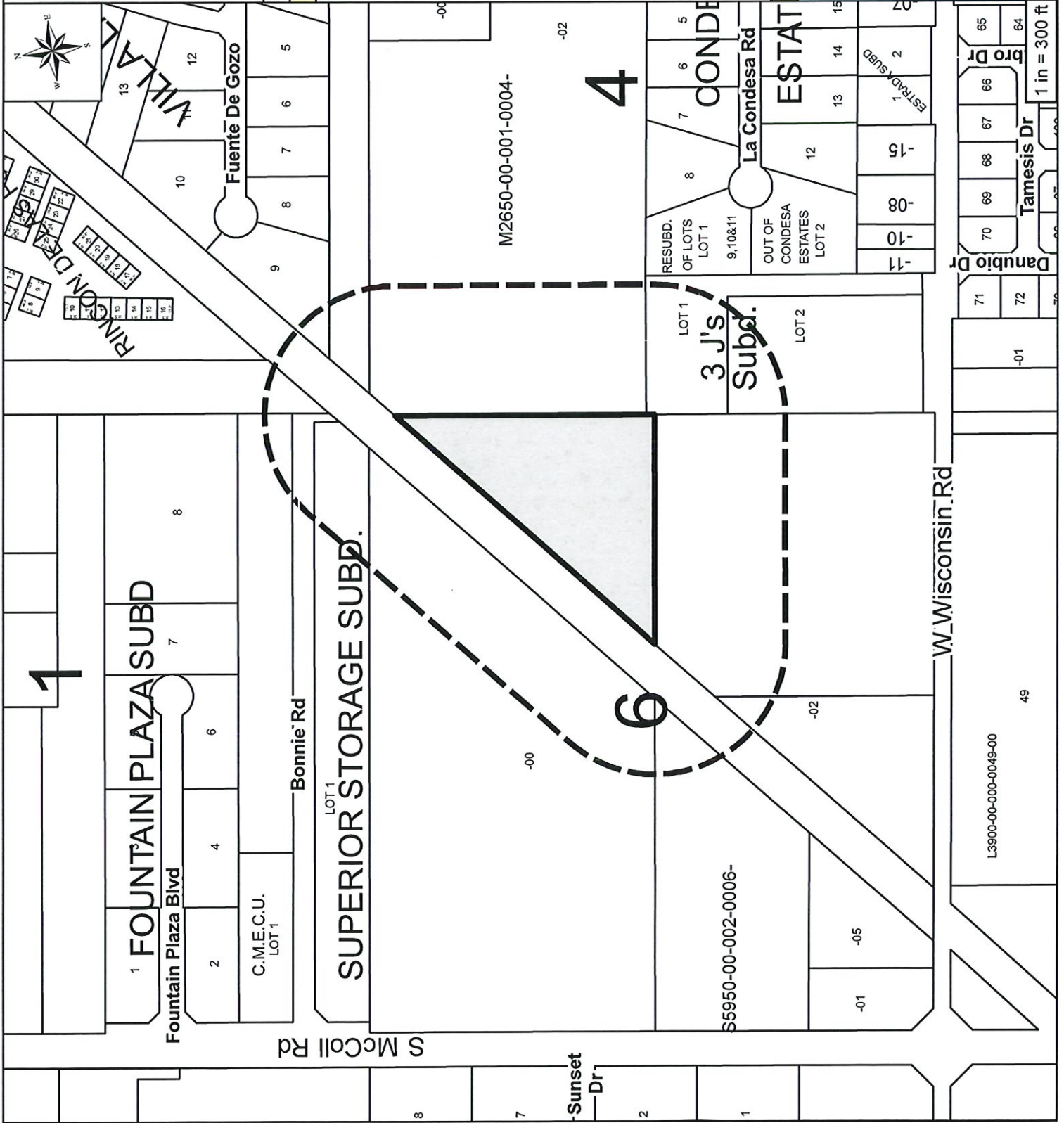
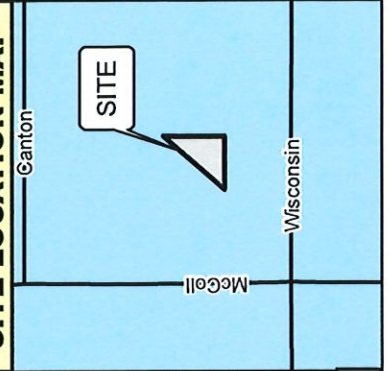
APPLICANT NAME:
QUINTANILLA HEADLEY
NEWCASTLE

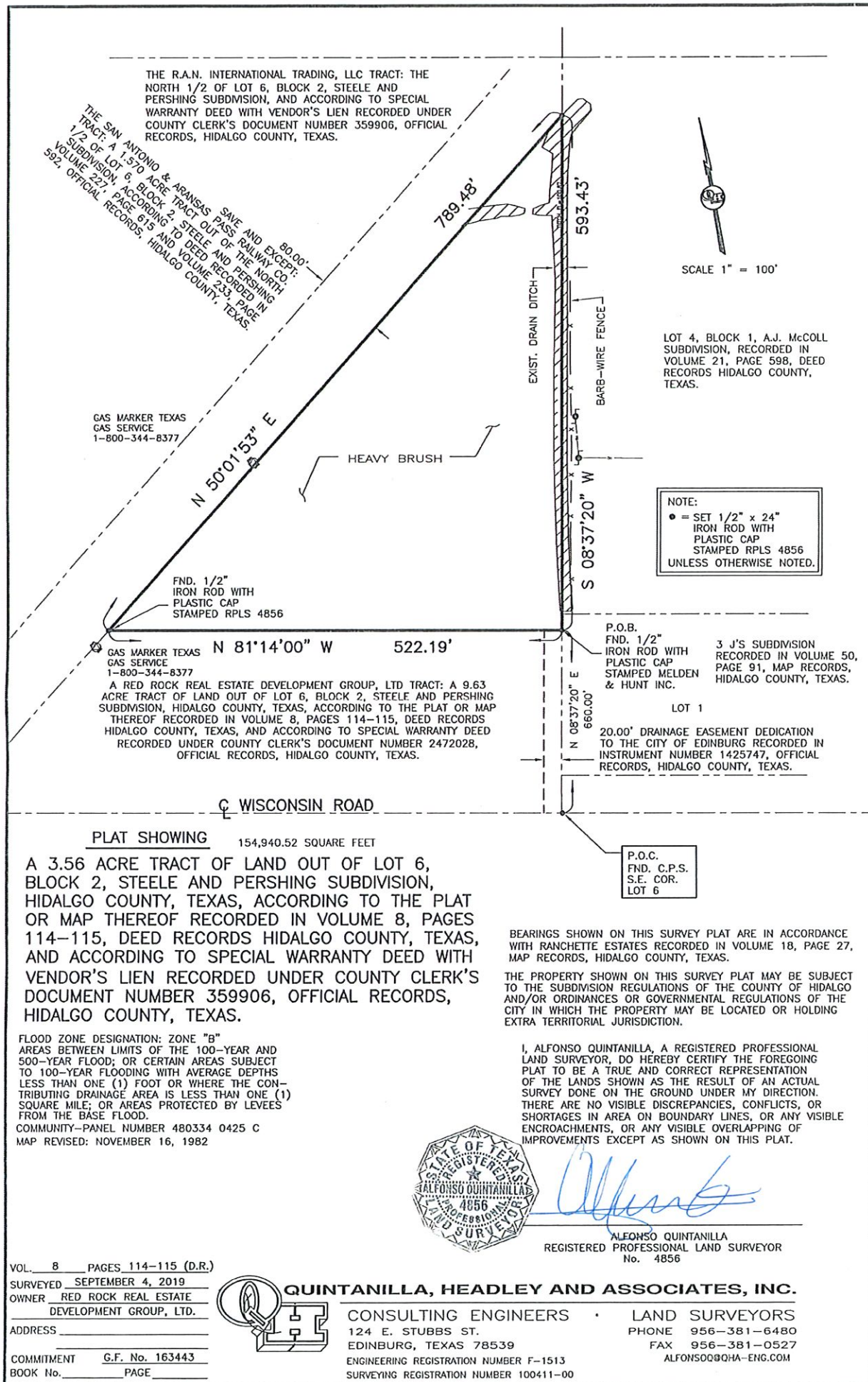
CONSIDER THE REZONING REQUEST FROM SUBURBAN RESIDENTIAL (S) DISTRICT TO URBAN RESIDENTIAL (UR) DISTRICT, BEING A 3.56 ACRE TRACT OF LAND OUT OF LOT 6, BLOCK 2, STEEL & PERSHING SUBDIVISION, LOCATED APPROXIMATELY 640 FEET OF WEST WISCONSIN ROAD, APPROXIMATELY 885 FEET EAST OF S. MCCOLL ROAD, AS REQUESTED BY QUINTANILLA HEADLEY & ASSOCIATES INC.

Legend



SITE LOCATION MAP





SCHEDULE B PARAGRAPH 10

c. Easement in favor of City of Edinburg as shown by instrument dated July 2, 1996, filed September 20, 1996 under Document Number 551930, Official Records of Hidalgo County, Texas. (NOT APPLY-OUTSIDE SURVEY LIMITS)

d. All of the North 1/2 of Lot 6, Save and Except the North 5.98 acres are subject to:

1. Gas line easement dated October 26, 1931, recorded in Volume 356, Page 598, Deed Records of Hidalgo County, Texas. (APPLY-BLANKET)
2. Electric transmission line easement in favor of Central Power and Light Company as shown by instrument dated April 7, 1931, recorded in Volume 359, Page 435, Deed Records of Hidalgo County, Texas. (APPLY-BLANKET)
3. Highway easement in favor of Hidalgo County as shown by instrument dated December 12, 1954, recorded in Volume 812, Page 369, Deed Records of Hidalgo County, Texas. (NOT APPLY-OUTSIDE SURVEY LIMITS)

e. The North 5.98 acres of Lot 6 are subject to:

1. Pipeline easement in favor of Rio Grande Valley Gas Company as shown by instrument dated July 6, 1927, recorded in Volume 254, Page 362, Deed Records of Hidalgo County, Texas. (APPLY-BLANKET)
2. Pipeline easement in favor of Rio Grande Valley Gas Company as shown by instrument dated December 31, 1927, recorded in Volume 263, Page 540, Deed Records of Hidalgo County, Texas. (APPLY-BLANKET)
3. Electric transmission line easement in favor of Central Power and Light Company as shown by instrument dated May 12, 1931, recorded in Volume 326, Page 150, Deed Records of Hidalgo County, Texas. (APPLY-BLANKET)
4. Gas line easement dated January 29, 1932, recorded in Volume 361, Page 439, Deed Records of Hidalgo County, Texas. (APPLY-BLANKET)
5. Highway easement in favor of Hidalgo County as shown by instrument dated November 4, 1954, recorded in Volume 811, Page 290, Deed Records of Hidalgo County, Texas. (NOT APPLY-OUTSIDE SURVEY LIMITS)
6. Gas line easement dated July 21, 1970, recorded in Volume 1262, Page 809, Deed Records of Hidalgo County, Texas. (APPLY-BLANKET)

VOL. 8 PAGES 114-115 (D.R.)

SURVEYED SEPTEMBER 4, 2019

OWNER RED ROCK REAL ESTATE
DEVELOPMENT GROUP, LTD.

ADDRESS

COMMITMENT G.F. No. 163443

BOOK No. PAGE



QUINTANILLA, HEADLEY AND ASSOCIATES, INC.

CONSULTING ENGINEERS

124 E. STUBBS ST.

EDINBURG, TEXAS 78539

ENGINEERING REGISTRATION NUMBER F-1513

SURVEYING REGISTRATION NUMBER 100411-00

LAND SURVEYORS

PHONE 956-381-6480

FAX 956-381-0527

ALFONSO@QHA-ENG.COM



CITY OF EDINBURG
Planning & Zoning Commission

Regular Meeting

Meeting Date:
12/8/2020

Rezoning Request

AGENDA ITEM:

Hold Public Hearing and Consider the Rezoning Request from Suburban Residential (S) District to Auto Urban Residential (AU) District, Being 5.949 Acres out of Lot 3, Block 4, John Closner Subdivision, Located on the East Side of S Veterans Blvd, Approximately 170 Feet North of Sevilla Blvd. As Requested By Melden & Hunt [Planning & Zoning – Kimberly Mendoza, Director of Planning & Zoning]

DESCRIPTION / SCOPE:

The property is located on the east side of S Veterans Blvd, approximately 170 feet north of Sevilla Blvd and is currently vacant. The tract has 214.65 ft. of frontage along South Veterans Blvd and 1,232.16 feet of depth for a tract size of 5.022 net acres. The applicant is requesting the zone change for the construction of a single family residential development that consist of 20 lots that range from 5,604.24 square feet to 6,444.99 square feet. This property is currently undergoing the subdivision process under the name Crystal Meadows and is scheduled for preliminary plat approval on December 8, 2020. The approval of the rezoning request will allow for Auto Urban Residential (AU) District which allows for single family residential development. The future land use for the property is Auto Urban Uses.

The property is currently zoned Suburban Residential (S) District. The surrounding zoning in the area is Neighborhood Conservation 7.1 (NC 7.1) District to the south, Neighborhood Conservation 5.0 (NC 5.0) District to the east, Commercial General (CG) District to the west. A Hidalgo County Drainage ditch falls to the North of this property. The surrounding uses consist of all residential uses.

Staff mailed a notice of the public hearing before the Planning & Zoning Commission to fifty-five (55) neighboring property owners and received 2 comments against and none in favor of this request at the time of the report.

ESTIMATED TIMELINE:

The recommendation of approval or denial of this public hearing is scheduled for consideration by the City Council on January 19, 2021. City Council's decision is the final step in the zoning process for this property. If denied the applicant may not request the proposed zoning classification for a 12 month period from the date of denial.

STAFF RECOMMENDATION:

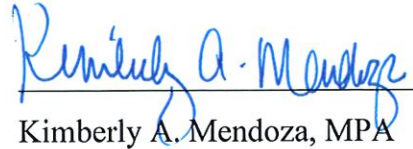
Staff recommends denial of the Rezoning Request from Suburban Residential (S) District to Auto Urban Residential (AU) District. If approved, the applicant will need to comply with all requirements during the permitting process including compliance with subdivision regulations, building and fire codes, fire protection, parking, landscape buffer-yards, solid waste services, utility, and any other City requirements, as applicable.

JUSTIFICATION:

The applicant is requesting the zone change for the construction of a single family residential development that consists of 20 lots that range from 5,604.24 square feet to 6,444.99 square feet



Rita Lee Guerrero
Urban Planner



Kimberly A. Mendoza, MPA
Director of Planning & Zoning

MEETING DATES:
PLANNING & ZONING COMMISSION – 12/08/2020
CITY COUNCIL – 1/19/2021
DATE PREPARED – 11/30/2020

STAFF REPORT
GENERAL INFORMATION

<u>APPLICATION:</u>	Rezoning Request from Suburban Residential (S) District to Auto Urban Residential (AU) District
<u>APPLICANT:</u>	Melden & Hunt
<u>AGENT:</u>	N/A
<u>LEGAL:</u>	Being 5.949 Acres out of Lot 3, Block 4, John Closner Subdivision
<u>LOCATION:</u>	Located on the East Side of S Veterans Blvd, Approximately 170 Feet North of Sevilla Blvd
<u>LOT/TRACT SIZE:</u>	5.949 Acres
<u>CURRENT USE OF PROPERTY:</u>	Vacant
<u>PROPOSED USE OF PROPERTY:</u>	Residential Uses
<u>EXISTING LAND USE</u>	Auto Urban Uses
<u>ADJACENT ZONING:</u>	North - Hidalgo County Drainage ditch South – Neighborhood Conservation 7.1 (NC 7.1) District East – Neighborhood Conservation 5.0 (NC 5.0) District West - Commercial General (CG) District
<u>LAND USE PLAN DESIGNATION:</u>	Auto Urban Uses
<u>PUBLIC SERVICES:</u>	NAWSC Water / City of Edinburg Sewer
<u>RECOMMENDATION:</u>	Staff recommends denial of the Rezoning Request from Suburban Residential (S) District to Auto Urban Residential (AU) District

EVALUATION

The following is staff's evaluation of the request.

1. The land use pattern for this area of the community consists of residential uses.
2. The applicant is proposing a single family residential development at this location.

Staff recommends denial of the Rezoning Request from Suburban Residential (S) District to Auto Urban Residential (AU) District. If approved, the applicant will need to comply with all requirements during the permitting process including compliance with subdivision regulations, building and fire codes, fire protection, parking, landscape buffer-yards, solid waste services, utility, and any other City requirements, as applicable.

Staff mailed a notice of the public hearing before the Planning & Zoning Commission to fifty-five (55) neighboring property owners and received 2 comments against and none in favor of this request at the time of the report.

ATTACHMENTS: Aerial Photo
Zoning Map
Future Land Use Map
Photo of site
Exhibits



AERIAL MAP

CASE CAPTION:

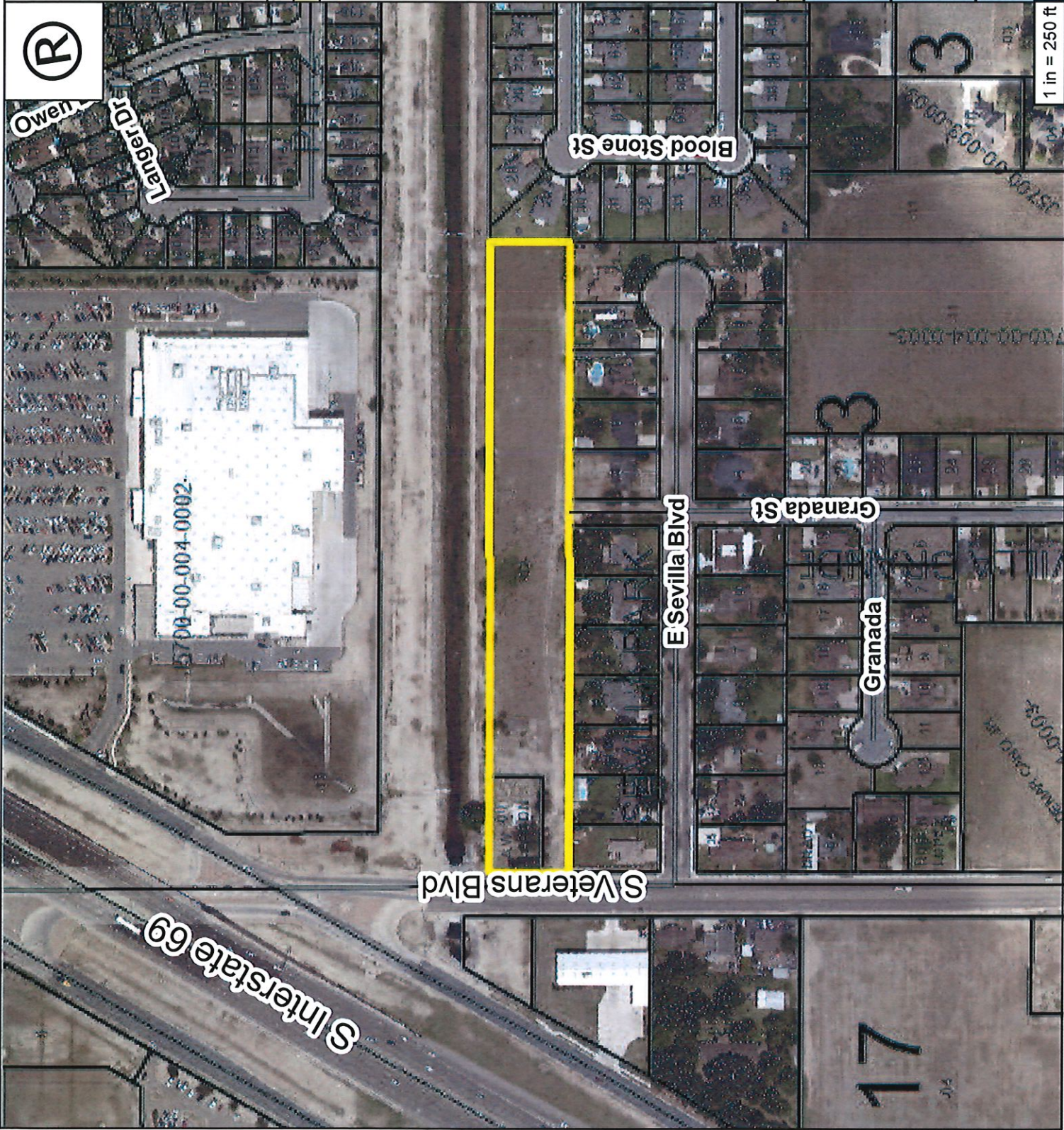
APPLICANT NAME:
MELDEN AND HUNT

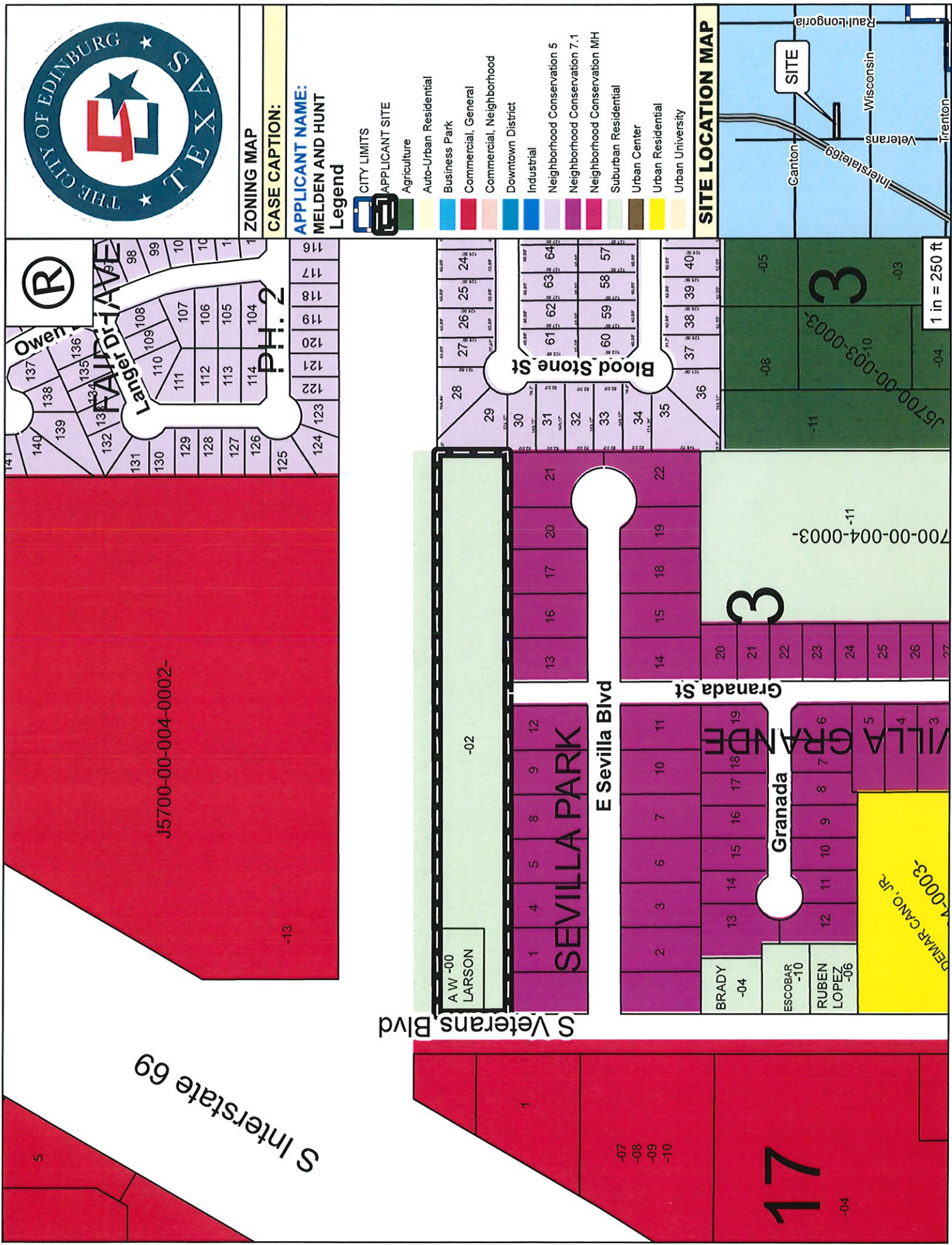
CONSIDER THE REZONING
REQUEST FROM SUBURBAN
RESIDENTIAL (S) DISTRICT
TO AUTO URBAN RESIDENTIAL (AU)
DISTRICT, BEING 5.949 ACRES
OUT OF LOT 3, BLOCK 4,
JOHN CLOSER SUBDIVISION,
LOCATED ON THE EAST SIDE
OF S VETERANS BLVD.
APPROXIMATELY 170 FEET
NORTH OF SEVILLA BLVD.
AS REQUESTED BY MELDEN & HUNT

Legend

- CITY LIMITS
- APPLICANT SITE

SITE LOCATION MAP







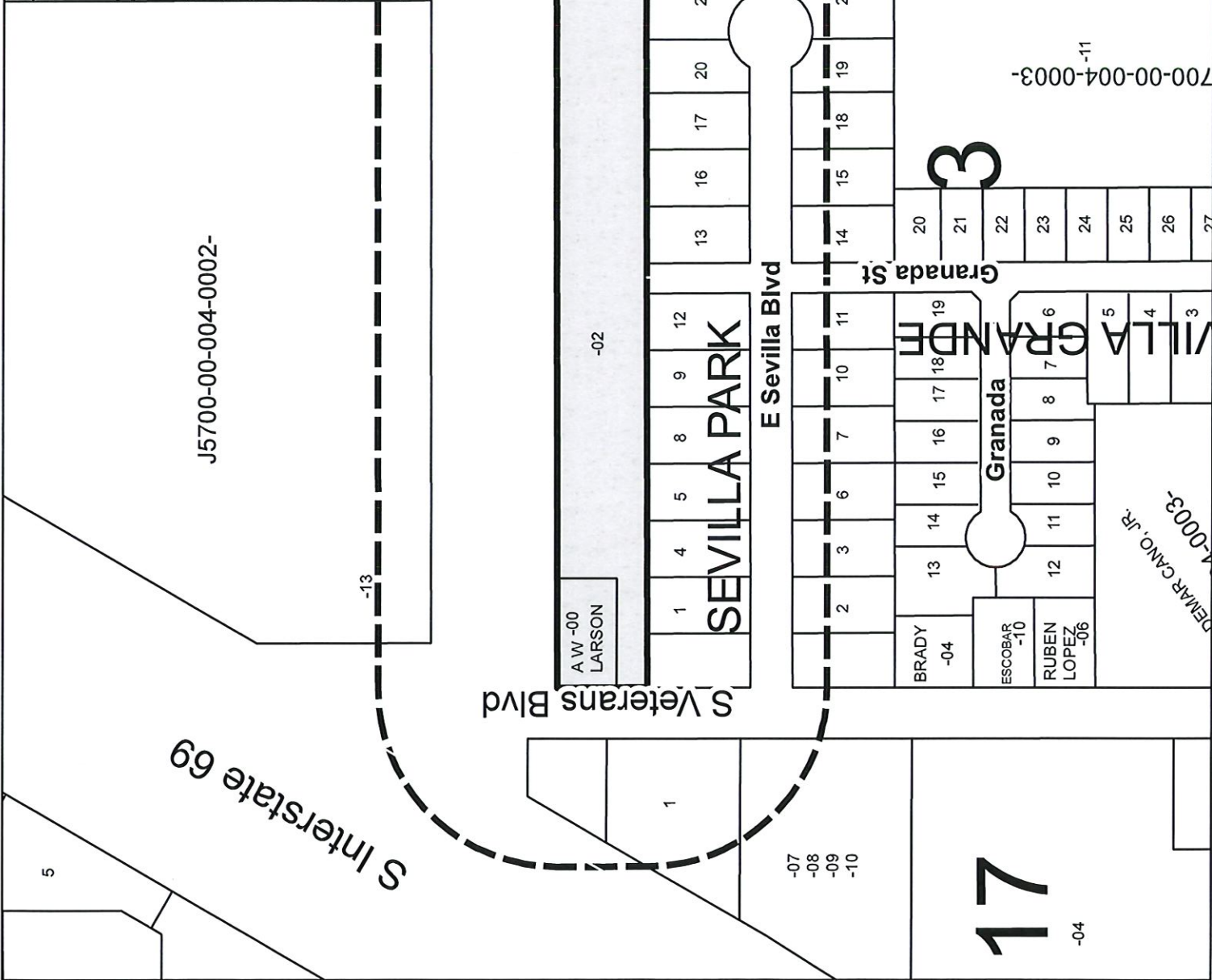
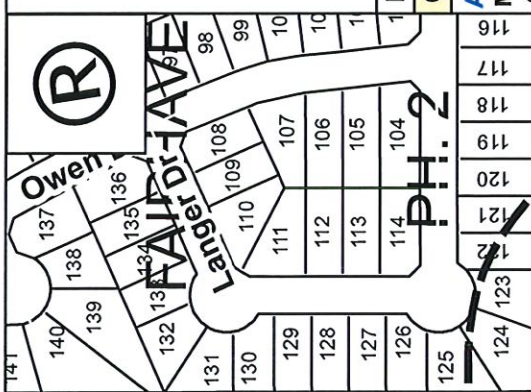
MAILOUT AND SITE MAP

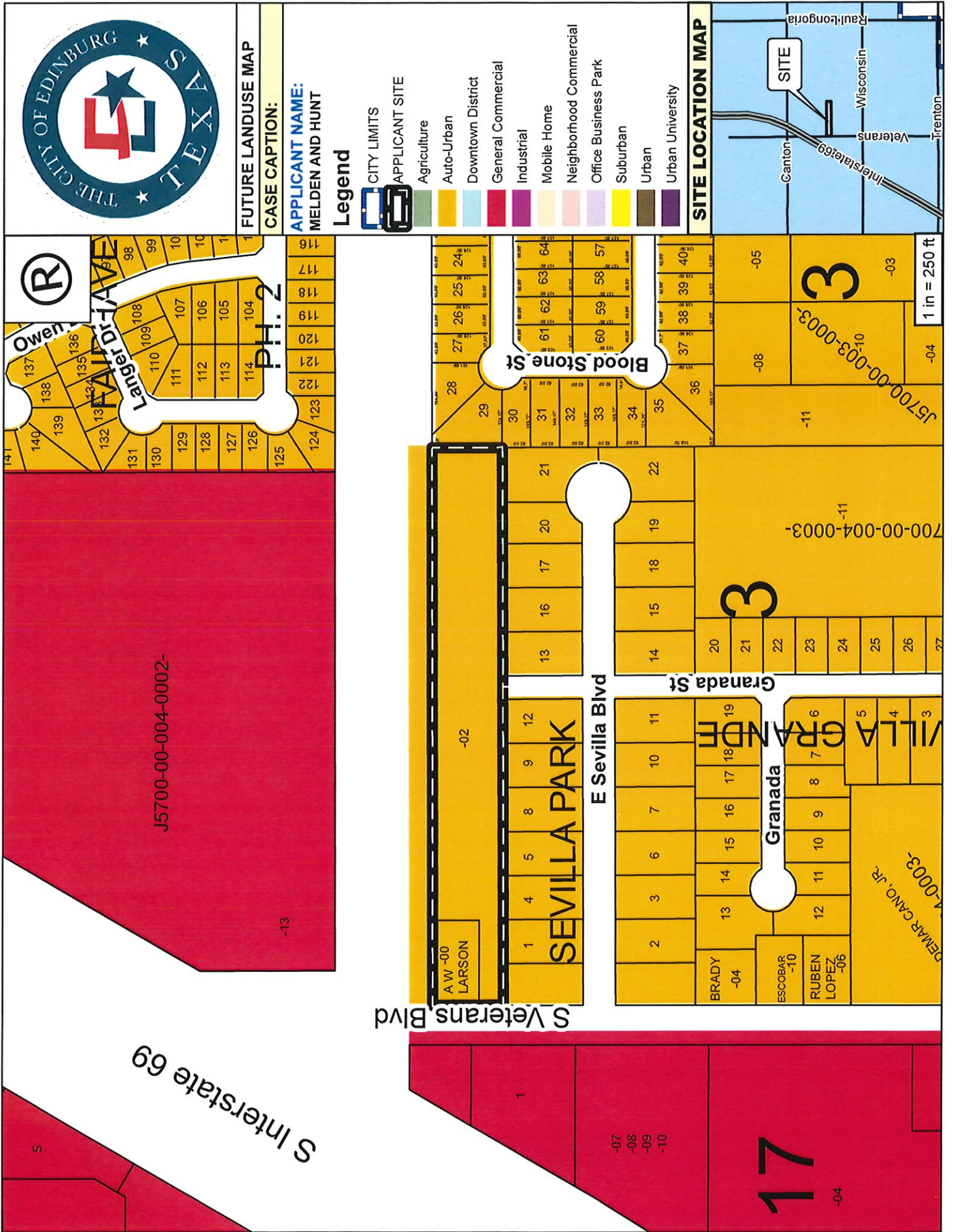
CASE CAPTION:
APPLICANT NAME:
MELDEN AND HUNT
CONSIDER THE REZONING
REQUEST FROM SUBURBAN
RESIDENTIAL (S) DISTRICT
TO AUTO URBAN RESIDENTIAL (AU)
DISTRICT, BEING 5.949 ACRES
OUT OF LOT 3, BLOCK 4,
JOHN CLOSER SUBDIVISION,
LOCATED ON THE EAST SIDE
OF S VETERANS BLVD.,
APPROXIMATELY 170 FEET
NORTH OF SEVILLA BLVD.
AS REQUESTED BY MELDEN & HUNT

Legend

- CITY LIMITS
- 300FT NOTIFICATION
- APPLICANT SITE

SITE LOCATION MAP







NOTIFICATION

Dear Property Owner:

A public hearing will be held on Tuesday, December 8, 2020 at 4:00 p.m. by the Planning and Zoning Commission to consider the following:

REZONING REQUEST FROM SUBURBAN RESIDENTIAL (S) DISTRICT TO AUTO URBAN RESIDENTIAL (AU) DISTRICT, BEING 5.949 ACRES OUT OF LOT 3, BLOCK 4, JOHN CLOSER SUBDIVISION, LOCATED ON THE EAST SIDE OF S VETERANS BLVD, APPROXIMATELY 170 FEET NORTH OF SEVILLA BLVD. AS REQUESTED BY MELDEN & HUNT

This request is scheduled to be heard by the City Council on Tuesday, January 19, 2021 at 6:00 p.m. As an adjacent property owner you are invited to participate. Because of the state of emergency due to the COVID-19 pandemic, the City has established a telephone number for those who desire to participate. If you wish to do so, please send your request by email to PublicHearings@cityofedinburg.com or call the Planning and Zoning Department at 956-388-8202. Requests must be received no later than 30 minutes before the start of the meetings. Your request should include your name, address, and telephone number. Please note that meeting time (s) and date (s) are subject to change. Therefore; please call on the date of the meeting to assure that the item is on the agenda. As part of the City effort to encourage greater participation in the rezoning process, the City is using this notice to solicit your input. Please place a checkmark on the appropriate box to indicate if you are in favor, against, or have no comments on this request.

You may return your response by one of the following:

- MAIL- P. O. Box 1079 Edinburg, Texas 78540
- FAX- (956) 292-2080 by Tuesday, December 8, 2020
- EMAIL- planning@cityofedinburg.com

Should you have any questions or need more information regarding this notice, you may call (956) 388-8202.

☐ In Favor/A Favor ☒ Against/En Contra ☐ No Comments/No Comentario

Comments:

Need further assessment of actual building plans, right of way area, blocking our higher build and two story build (privacy issues).

Print Name:

Phone No.:

Address:

City:

State:

Zip:

Jaimie Gargu

Edinburg

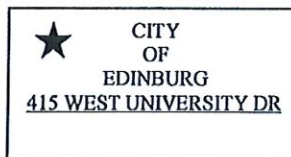
TX

78542

NOTIFICACION

Si Tiene preguntas o necesita mas información sobre esta aplicación, o el lugar de la audiencia, por favor llame al 956-388-8202.

Planning and Zoning Department
City of Edinburg
PO BOX 1079
Edinburg, TX 78540-1079



8th Ave.

University Dr. (S.H.107)



NOTIFICATION

Dear Property Owner:

A public hearing will be held on Tuesday, December 8, 2020 at 4:00 p.m. by the Planning and Zoning Commission to consider the following:

REZONING REQUEST FROM SUBURBAN RESIDENTIAL (S) DISTRICT TO AUTO URBAN RESIDENTIAL (AU) DISTRICT, BEING 5.949 ACRES OUT OF LOT 3, BLOCK 4, JOHN CLOSNER SUBDIVISION, LOCATED ON THE EAST SIDE OF S VETERANS BLVD, APPROXIMATELY 170 FEET NORTH OF SEVILLA BLVD. AS REQUESTED BY MELDEN & HUNT

This request is scheduled to be heard by the City Council on Tuesday, January 19, 2021 at 6:00 p.m. As an adjacent property owner you are invited to participate. Because of the state of emergency due to the COVID-19 pandemic, the City has established a telephone number for those who desire to participate. If you wish to do so, please send your request by email to PublicHearings@cityofedinburg.com or call the Planning and Zoning Department at 956-388-8202. Requests must be received no later than 30 minutes before the start of the meetings. Your request should include your name, address, and telephone number. Please note that meeting time (s) and date (s) are subject to change. Therefore; please call on the date of the meeting to assure that the item is on the agenda. As part of the City effort to encourage greater participation in the rezoning process, the City is using this notice to solicit your input. Please place a checkmark on the appropriate box to indicate if you are in favor, against, or have no comments on this request.

You may return your response by one of the following:

- MAIL- P. O. Box 1079 Edinburg, Texas 78540
- FAX- (956) 292-2080 by Tuesday, December 8, 2020
- EMAIL- planning@cityofedinburg.com

Should you have any questions or need more information regarding this notice, you may call (956) 388-8202.

☐ In Favor/A Favor ☒ Against/En Contra ☐ No Comments/No Comentario

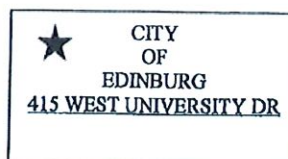
Comments: Need more information on the plot plans. Exactly what is planned for designated area.

Print Name: Macario Cedillo Phone No.: 956-534-1263
Address: 1315 Sevilla Blvd City: Edinburg State: TX Zip: 78542

NOTIFICACION

Si Tiene preguntas o necesita mas información sobre esta aplicación, o el lugar de la audiencia, por favor llame al 956-388-8202.

Planning and Zoning Department
City of Edinburg
PO BOX 1079
Edinburg, TX 78540-1079



8th Ave.

University Dr. (S.H.107)



CITY OF EDINBURG
Planning & Zoning Commission
Regular Meeting
Meeting Date:
12/8/2020

Comprehensive Plan Amendment

Rezoning Request

AGENDA ITEM:

Hold Public Hearing and Consider the Comprehensive Plan Amendment from Auto Urban Uses to Urban Uses and the Rezoning Request from Auto Urban Residential (AU) District to Urban Residential (UR) District, Being 30.557 Acres out of Lot 4, Amended Plat of La Sienna Development, Located at the Southwest Corner of Burns Boulevard and La Sienna Parkway, As Requested By Melden & Hunt [Planning & Zoning – Kimberly Mendoza, Director of Planning & Zoning]

DESCRIPTION / SCOPE:

The property is located at the southwest corner of Burns Boulevard and La Sienna Parkway. The property currently has a tract size of 30.557 acres. This location is also known as Silos Subdivision and is undergoing the subdivision process which consists of 111 lots that range from 3,998.94 square feet to 17,299.54 square feet. The rezoning request for Urban Residential (UR) District, will allow for a single family residential development on the subject property. The applicant is requesting the rezoning to allow for the construction of homes with smaller setbacks than current zoning allows. This property is undergoing the subdivision process under the name Los Silos Subdivision and received preliminary approval on April 14, 2020.

The property is zoned Auto Urban Residential (AU) District. Surrounding zoning is Commercial General (CG) District to the South and West and Auto Urban Residential (AU) District to the North and Auto Urban Residential (AU) District and Urban Residential (UR) District to the East. The surrounding area consists of residential uses and vacant land.

Staff mailed a notice of the public hearing before the Planning & Zoning Commission to nineteen (19) neighboring property owners and received no comments in favor or against this request at the time of the report.

ESTIMATED TIMELINE:

The recommendation of approval or denial of this public hearing is scheduled for consideration by the City Council on December 15, 2020. City Council's decision is the final step in the zoning process for this property. If denied the applicant may not request the proposed zoning classification for a 12 month period from the date of denial.

STAFF RECOMMENDATION:

Staff recommends approval of the Comprehensive Plan Amendment from Auto Urban Uses to Urban Uses and the Rezoning Request from Auto Urban Residential (AU) District to Urban Residential (UR) District. If approved, the applicant will need to comply with all requirements during the permitting process including compliance with subdivision regulations, building and fire codes, fire protection, parking, landscape buffer-yards, solid waste services, utility, and any other City requirements, as applicable.

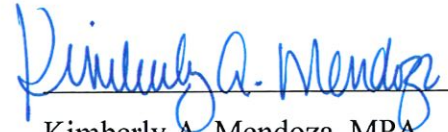
JUSTIFICATION:

The applicant is requesting the rezoning to allow for the construction of homes with smaller setbacks than current zoning allows.



Rita Lee Guerrero

Urban Planner



Kimberly A. Mendoza, MPA

Director of Planning & Zoning

MEETING DATES:
PLANNING & ZONING COMMISSION – 12/8/2020
CITY COUNCIL – 12/15/2020
DATE PREPARED – 11/30/2020

STAFF REPORT
GENERAL INFORMATION

<u>APPLICATION:</u>	Comprehensive Plan Amendment from Auto Urban Uses to Urban Uses and the Rezoning Request from Auto Urban Residential (AU) District to Urban Residential (UR) District
<u>APPLICANT:</u>	Burns Brothers
<u>AGENT:</u>	Melden & Hunt
<u>LEGAL:</u>	Being 30.557 Acres out of Lot 4, Amended Plat of La Sienna Development
<u>LOCATION:</u>	Located at the Southwest Corner of Burns Boulevard and La Sienna Parkway
<u>LOT/TRACT SIZE:</u>	30.557 Acre
<u>CURRENT USE OF PROPERTY:</u>	Single Family Residential Development
<u>PROPOSED USE OF PROPERTY:</u>	Single Family Residential Development
<u>EXISTING LAND USE</u>	Auto Urban Residential (AU) District
<u>ADJACENT ZONING:</u>	North - Auto Urban Residential (AU) District South – Commercial General (CG) District East - Auto Urban Residential (AU) District and Urban Residential (UR) District West - Commercial General (CG) District
<u>LAND USE PLAN DESIGNATION:</u>	Auto-Urban Uses
<u>PUBLIC SERVICES:</u>	City of Edinburg Water and Sewer
<u>RECOMMENDATION:</u>	Staff recommends approval of the Comprehensive Plan Amendment from Auto Urban Uses to Urban Uses and the Rezoning Request from Auto Urban Residential (AU) District to Urban Residential (UR) District

**COMPREHENSIVE PLAN AMENDMENT
REZONING REQUEST
BURNS BROTHERS
PAGE 3**

EVALUATION

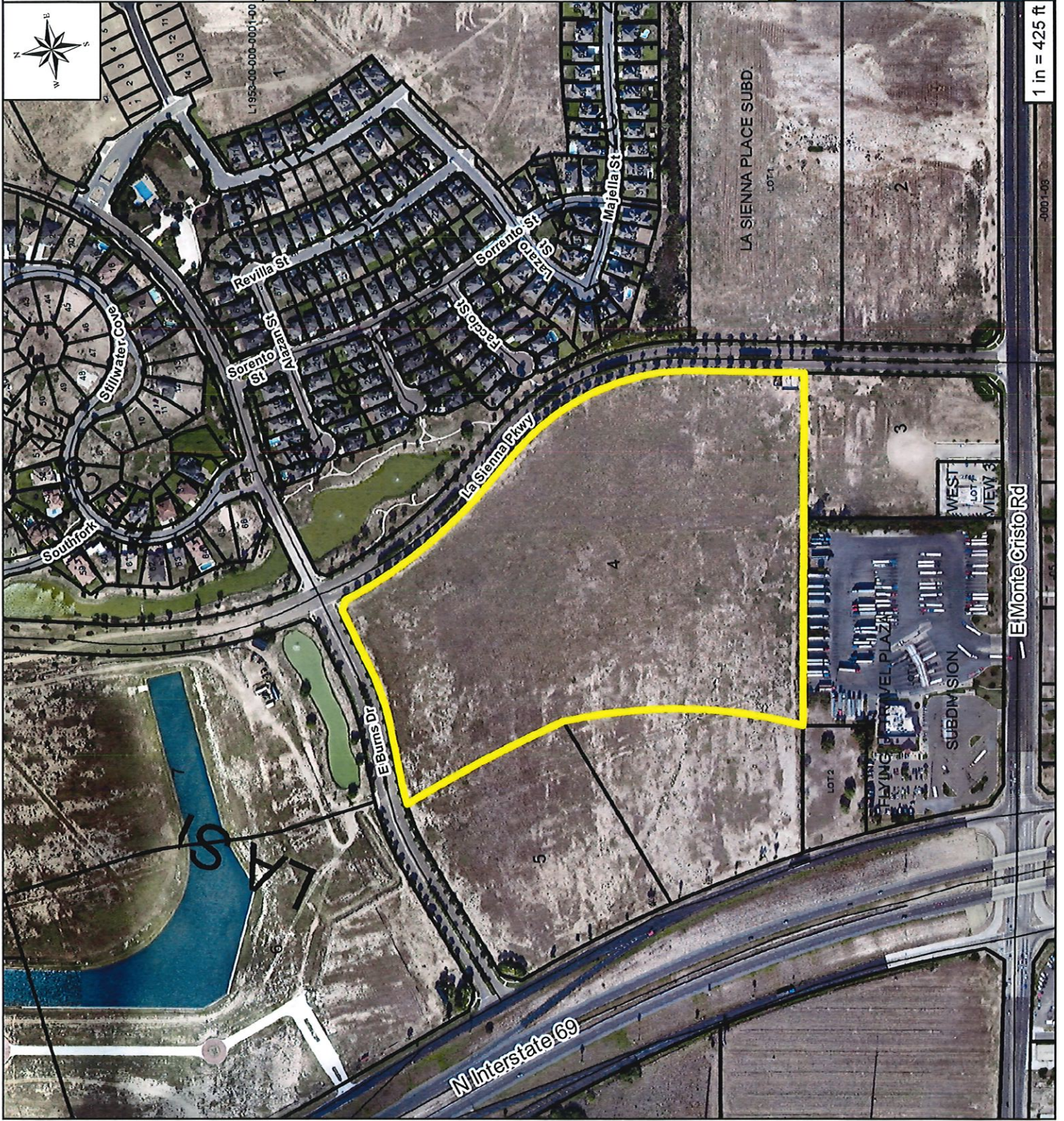
The following is staff's evaluation of the request.

1. The land use pattern for this area of the community consists of residential uses and vacant land.
2. The applicant is proposing a single family residential development.

Staff recommends approval of the Comprehensive Plan Amendment from Auto Urban Uses to Urban Uses and the Rezoning Request from Auto Urban Residential (AU) District to Urban Residential (UR) District. If approved, the applicant will need to comply with all requirements during the permitting process including compliance with subdivision regulations, building and fire codes, fire protection, parking, landscape buffer-yards, solid waste services, utility, and any other City requirements, as applicable.

Staff mailed a notice of the public hearing before the Planning & Zoning Commission to nineteen (19) neighboring property owners and received no comments in favor or against this request at the time of the report.

ATTACHMENTS: Aerial Photo
Zoning Map
Future Land Use Map
Photo of site
Exhibits



AERIAL MAP

CASE CAPTION:

APPLICANT NAME:
MELDEN & HUNT
SILOS SUBDIVISION

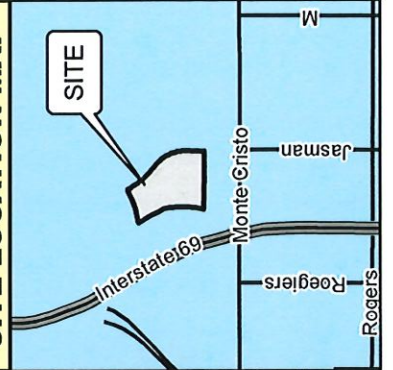
CONSIDER THE COMPREHENSIVE PLAN AMENDMENT FROM AUTO URBAN USES TO URBAN USES AND THE REZONING REQUEST FROM AUTO URBAN RESIDENTIAL (AU) DISTRICT TO URBAN RESIDENTIAL (UR) DISTRICT, BEING 30.557 ACRES OUT OF LOT 4, AMENDED PLAT OF LA SIENNA DEVELOPMENT, LOCATED AT THE SOUTHWEST CORNER OF BURNS BOULEVARD AND LA SIENNA PARKWAY, AS REQUESTED BY MELDEN & HUNT

Legend

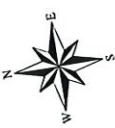
CITY LIMITS

APPLICANT SITE

SITE LOCATION MAP



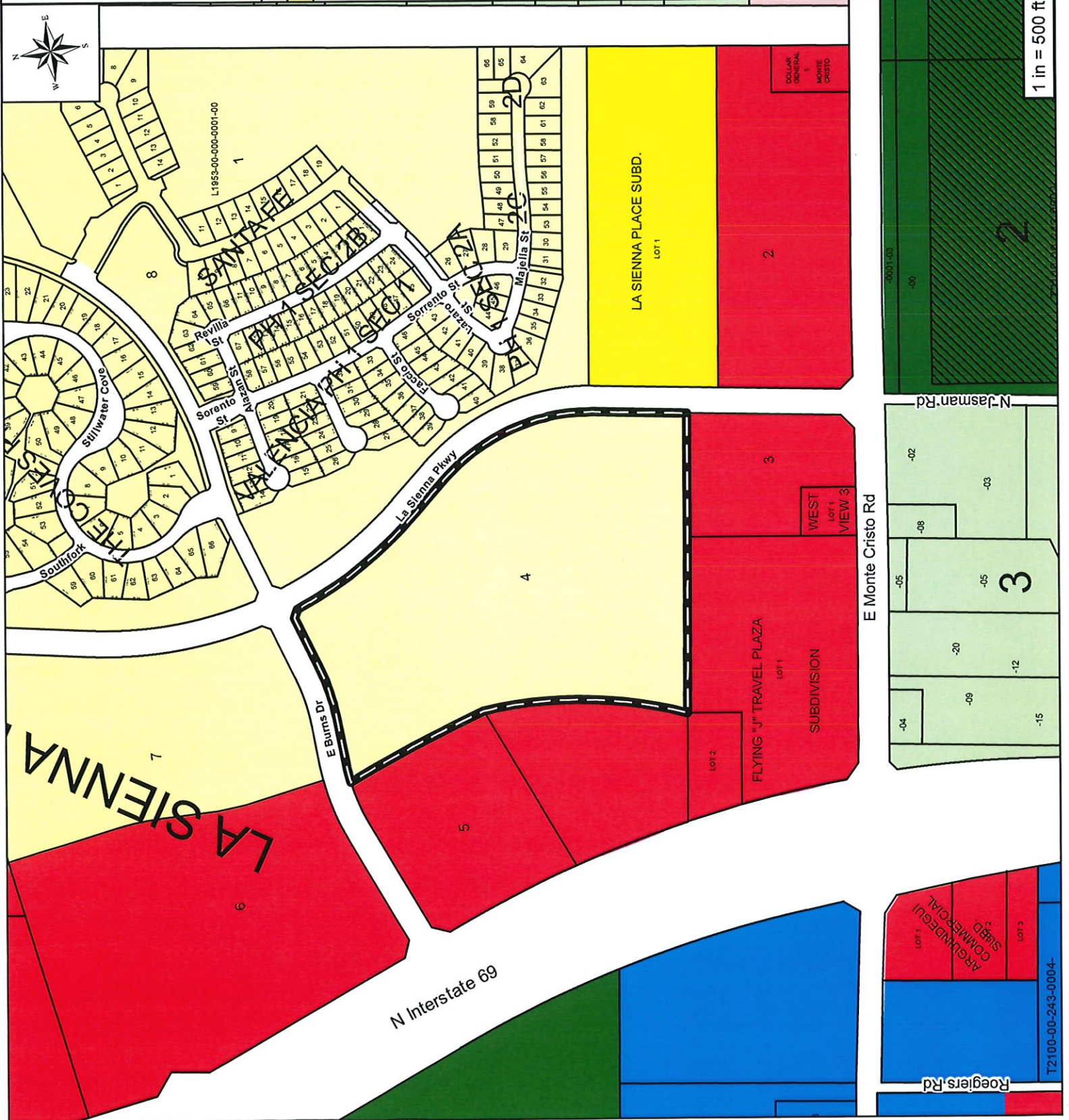
1 in = 425 ft



CASE CAPTION:

Legend

-
- CITY LIMITS**
- APPLICANT SITE**
- Agriculture
- Auto-Urban Residential
- Business Park
- Commercial, General
- Commercial, Neighborhood
- Downtown District
- Industrial
- Neighborhood Conservation 5
- Neighborhood Conservation 7.1
- Neighborhood Conservation MH
- Suburban Residential
- Urban Center
- Urban Residential
- Urban University





FUTURE LANDUSE MAP

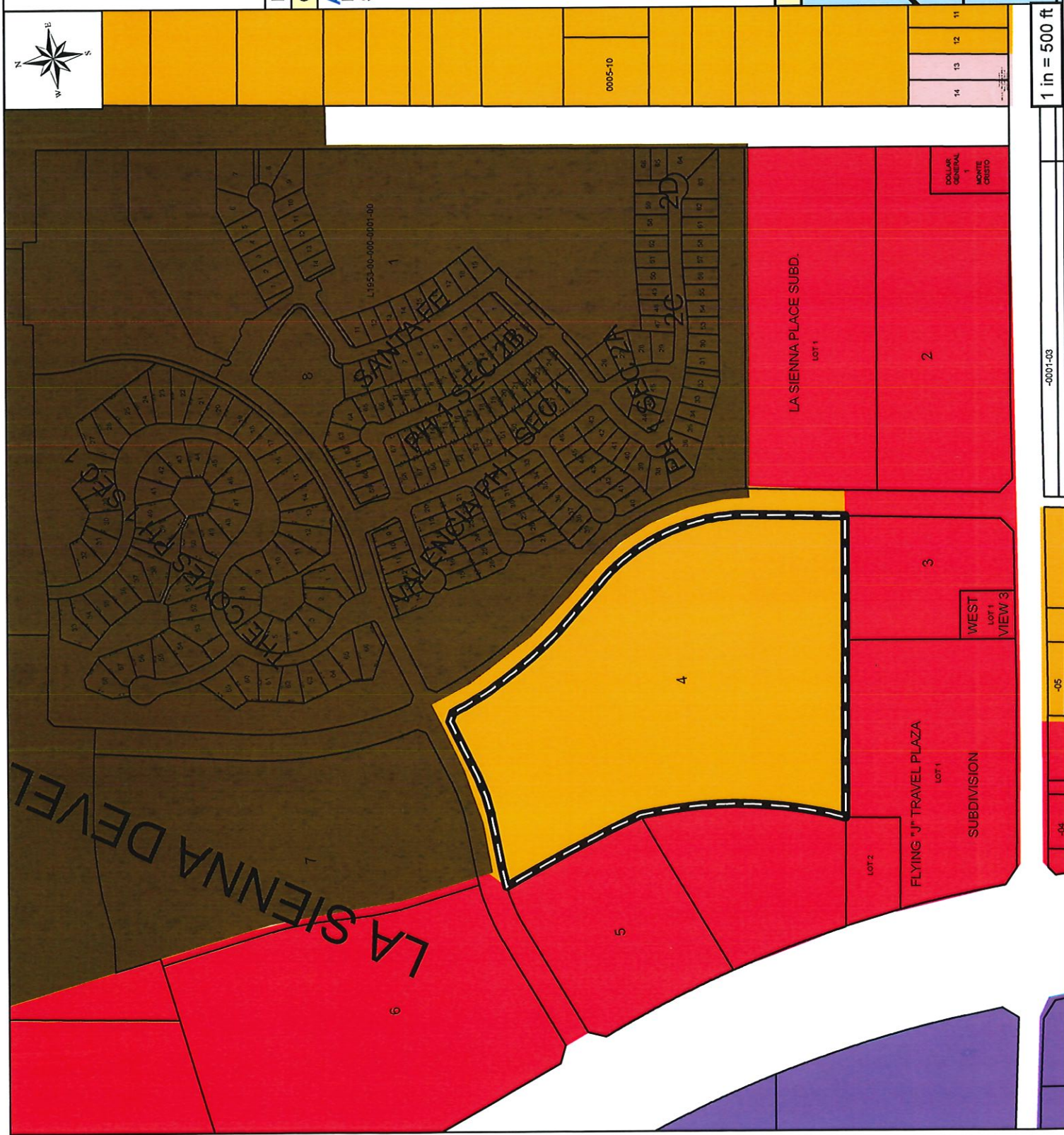
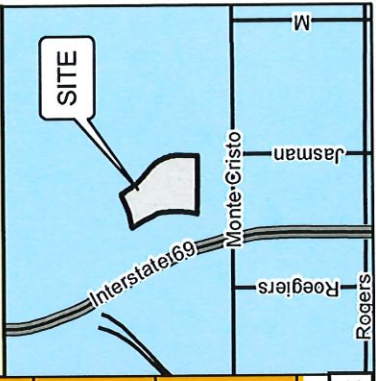
CASE CAPTION:

APPLICANT NAME:
MELDEN & HUNT
SILOS SUBDIVISION

Legend

- CITY LIMITS
- APPLICANT SITE
- Agriculture
- Auto-Urban
- Downtown District
- General Commercial
- Industrial
- Mobile Home
- Neighborhood Commercial
- Office Business Park
- Suburban
- Urban
- Urban University

SITE LOCATION MAP

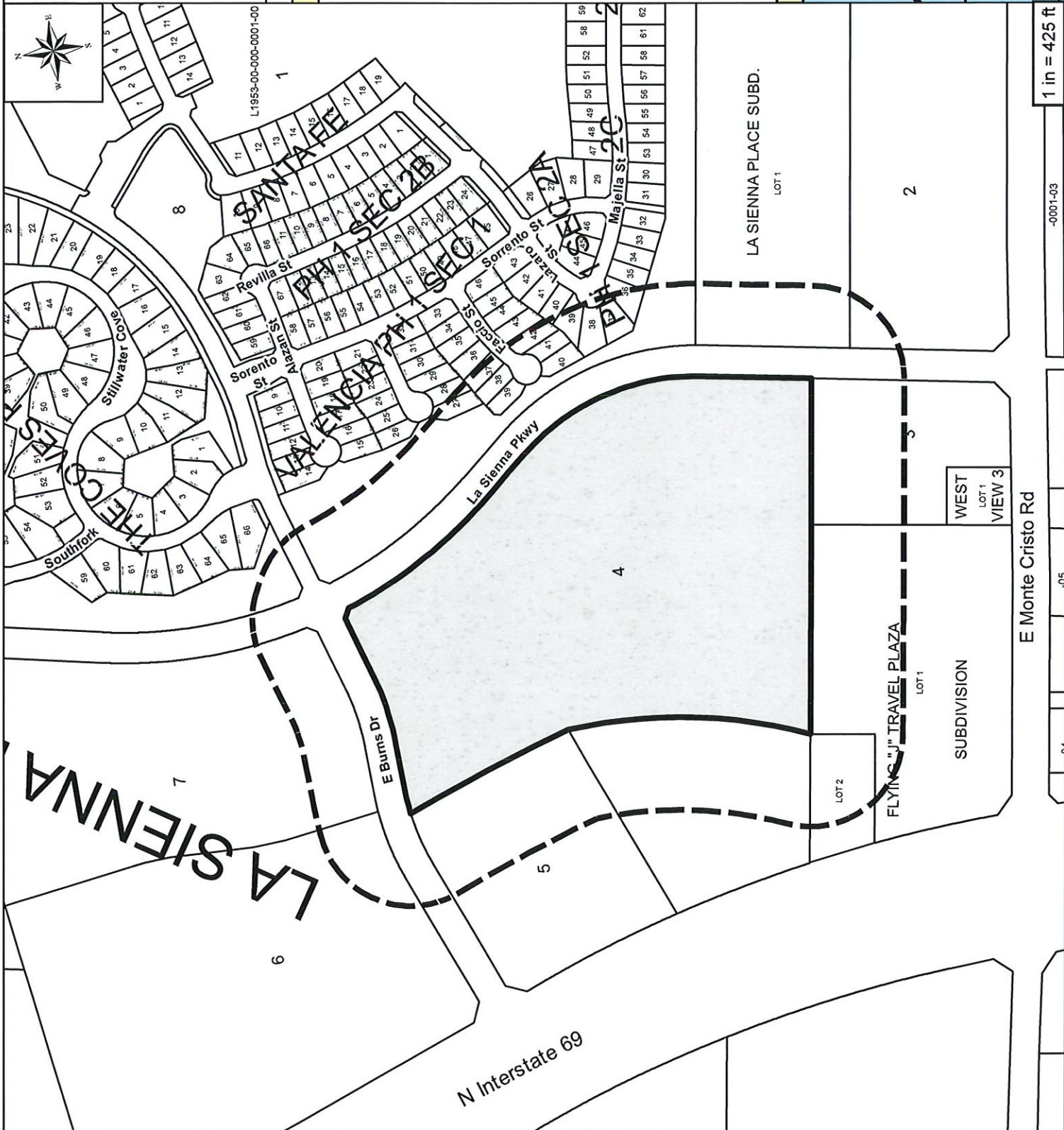


1 in = 500 ft

-0001-03

-05

-04



CASE CAPTION:

APPLICANT NAME:
MELDEN & HUNT
SILOS SUBDIVISION

CONSIDER THE COMPREHENSIVE
PLAN AMENDMENT FROM AUTO
URBAN USES TO URBAN USES AND
THE REZONING REQUEST FROM
AUTO URBAN RESIDENTIAL (AU)
DISTRICT TO URBAN RESIDENTIAL
(UR) DISTRICT, BEING 30.557 ACRES
OUT OF LOT 4, AMENDED PLAT OF LA
SIENNA DEVELOPMENT, LOCATED AT
THE SOUTHWEST CORNER OF
BURNS BOULEVARD AND LA SIENNA
PARKWAY, AS REQUESTED BY
MELDEN & HUNT

Legend



300FT NOTIFICATION
APPLICANT SITE

SITE LOCATION MAP



1 in = 425 ft

-0001-03

1

E Monte Cristo Rd

EXHIBIT "A"

Revised Date: March 10, 2020

February 11, 2020

**METES AND BOUNDS DESCRIPTION
30.557 ACRES OUT OF LOT 4,
LA SIENNA DEVELOPMENT,
CITY OF EDINBURG, HIDALGO COUNTY TEXAS**

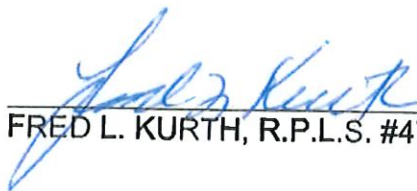
A tract of land containing 30.557 acres situated in the city of Edinburg, Hidalgo County, Texas, being part or portion out of Lot 4, Amended Plat Of La Sienna Development, according to the plat thereof recorded in Volume 54, Page 9, Hidalgo County Map Records, which said 30.557 acres tract was conveyed to Burns Brothers, by virtue of a Deed Without Warranty recorded under Document Number 2127522, Hidalgo County Official Records, said 30.557 acres also being more particularly described as follows:

BEGINNING on an "X" mark found on concrete on the Southeast corner of said Lot 4, for the Southeast corner of this herein described tract;

1. THENCE, N 81° 12' 03" W along the South line of said Lot 4, a distance of 474.50 feet to a No. 4 rebar found on an angle point of said Lot 4, for an angle point of this tract;
2. THENCE, N 80° 59' 56" W along the South line of said Lot 4, a distance of 513.36 feet to a No. 4 rebar set for the Southwest corner of this tract;
3. THENCE, N 09° 00' 03" E a distance of 134.38 feet to a No.4 rebar set, for an angle point of this tract;
4. THENCE, in a Northwesterly direction along a curve to the left with a central angle of 025° 56' 15", a radius of 1,450.00 feet, an arc length of 656.41 feet, a tangent of 333.93 feet, and a chord that bears N 03° 58' 04" W a distance of 650.82 feet to a No. 4 rebar set for an angle point of this tract;
5. THENCE, N 16° 56' 07" a distance of 19.99 feet to a No.4 rebar found for an angle point of this tract;
6. THENCE, in a Northwesterly direction along a curve to the left, with a central angle of 006° 17' 32", a radius of 5,283.66 feet, an arc length of 580.24 feet, a tangent of 290.41 feet, and a chord that bears N 19° 12' 03" W a distance of 579.95 feet to a No. 4 rebar found on the North line of said Lot 4, for the Northwest corner of this tract ;
7. THENCE, in a Southwesterly direction, along a curve to the right with a central angle of 006° 05' 57", a radius of 750.00 feet,, an arc length of 79.84 feet, a tangent of 39.96 feet, , and a chord that bears S 84° 37' 46" W a distance of 79.80 feet to a No. 5 rebar found on an angle point of said Lot , for an angle point of this tract;
8. THENCE, N 87° 40' 45" E along the North line of said Lot 4 and the South right-of-way line of Burns Boulevard, a distance of 162.07 feet to a No.4 rebar found on an angle point of said Lot 4, for an angle point of this tract;
9. THENCE, a Northeasterly direction along a curve to the left, along the North line of said Lot 4 and the South right-of-way line of Burns Boulevard, with a central angle of 015° 19'

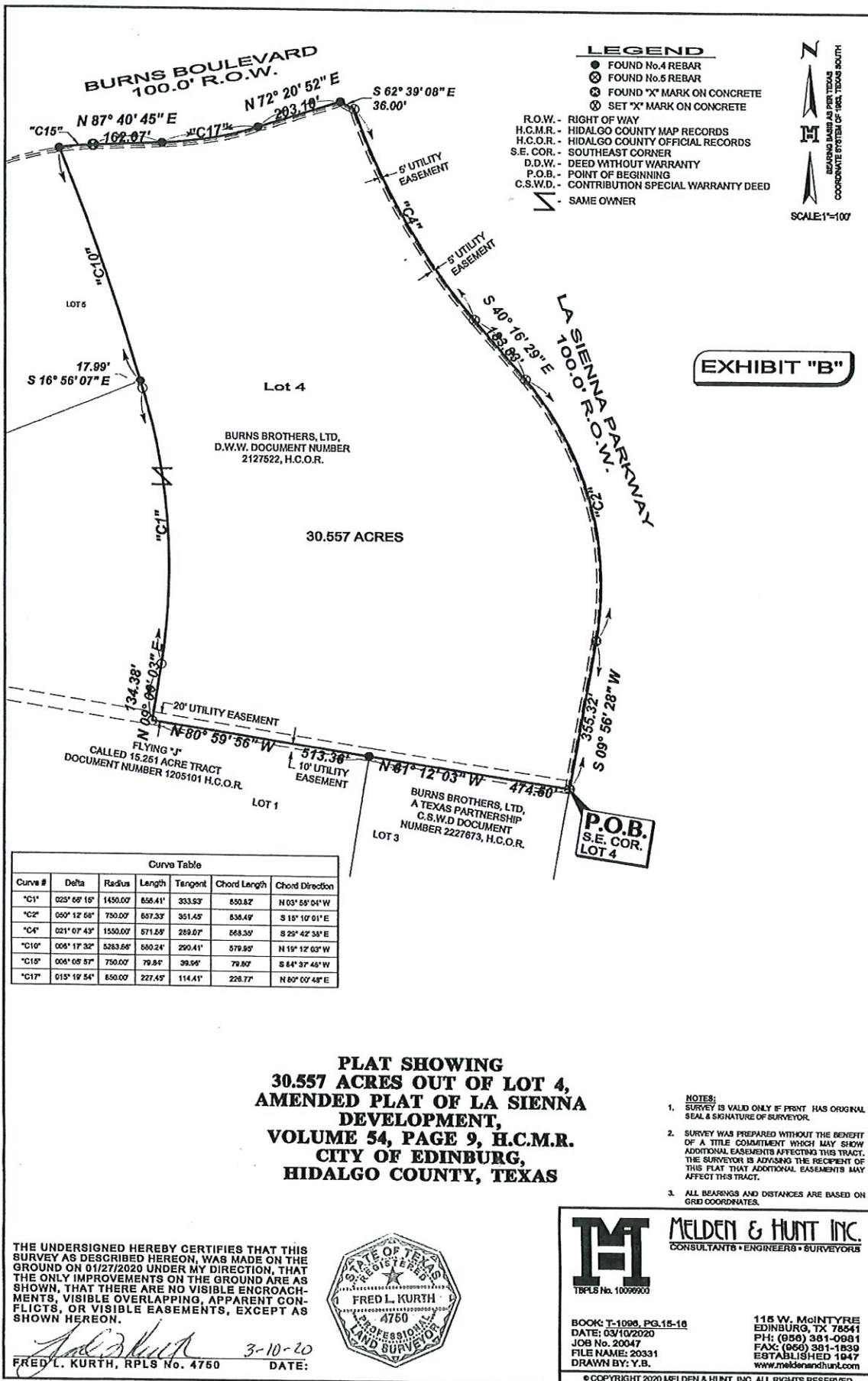
- 54", a radius of 850.00 feet, an arc length of 227.45, a tangent of 114.41 feet, and a chord that bears N 80° 00' 48" E a distance of 226.77 feet to a No. 4 rebar found on an angle point of said Lot 4, for an angle point of this tract;
10. THENCE, N 72° 20' 52" E along the North line of said Lot 4 and the South right-of-way line of Burns Boulevard, a distance of 203.10 feet to a No. 4 rebar found on the Northern Northeast corner of said Lot 4, for the Northern Northeast corner of this tract;
 11. THENCE, S 62° 39' 08" E along a clip line of said Lot 4, a distance of 36.00 feet to an "X" mark on concrete set on the Southernmost Northeast corner of said Lot 4 for the Southernmost Northeast corner of this tract;
 12. THENCE, in a Southeasterly direction along the East line of said Lot 4 and the West right-of-way line of La Sienna Parkway, along the curve to the left, with a central angle of 021° 07' 43", a radius of 1,550.00 feet, an arc length of 571.58 feet, a tangent of 289.07 feet, and a chord that bears S 29° 43' 38" E a distance of 568.35 feet to an "X" mark on concrete set on an angle point of said Lot 4, for an angle point of this tract;
 13. THENCE, S 40° 16' 29" E along the East line of said Lot 4 and the West right-of-way line of the Sienna Parkway, a distance of 183.83 feet to an "X" mark on concrete set on an angle point of said Lot 4, for an angle point of this tract;
 14. THENCE, in a Southeasterly direction, along the East line of said Lot 4 and the West right-of-way line of La Sienna Parkway, along a curve to the right with a central angle of 050° 12' 58", a radius of 750.00 feet, an arc length of 657.33 feet, a tangent of 351.45 feet, and a chord that bears S 15° 10' 01" E a distance of 636.49 feet to an "X" mark on concrete found on an angle point of said Lot 4, for an angle point of this tract;
 15. THENCE, S 09° 56' 28" W along the east line of said Lot 4 and the West right-of-way line of La Sienna Parkway, a distance of 355.32 feet to the POINT OF BEGINNING and containing 30.557 acres of land, more or less.

I, FRED L. KURTH, A REGISTERED PROFESSIONAL LAND SURVEYOR DO HEREBY AFFIRM THAT THIS METES AND BOUNDS DESCRIPTION REPRESENTS THE RESULTS OF A SURVEY MADE ON THE GROUND ON 01/27/2020 UNDER MY DIRECTION AND SUPERVISION.


FRED L. KURTH, R.P.L.S. #4750

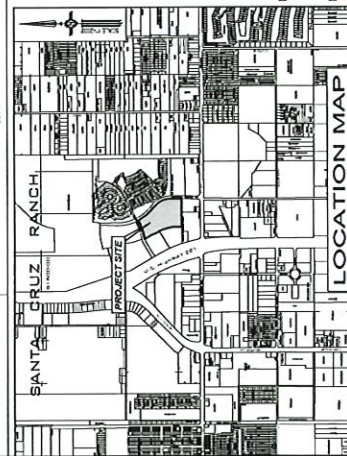
3-10-20
DATE:





BEING A RESUBDIVISION OF 27.557 ACRES SITUATED IN THE CITY OF EDINBURG, HIDALGO COUNTY, TEXAS, BEING OUT OF LOT 4, AMENDED PLAT OF LA SIENNA DEVELOPMENT, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 54, PAGE 8, HIDALGO COUNTY MAP RECORDS.

54. PAGE 9, HIDALGO COUNTY MAP RECORDS.



Boundary Curve Table					
Curve #	Delta	Pattern	Length	Chord Length	Chord Distance
1-1	0.017 m (0.67 in)	100.00	100.00	100.00	1.01749 m (40.03 in)
2-2	0.017 m (0.67 in)	100.00	100.00	100.00	1.01749 m (40.03 in)
3-3	0.017 m (0.67 in)	100.00	100.00	100.00	1.01749 m (40.03 in)
4-4	0.017 m (0.67 in)	100.00	100.00	100.00	1.01749 m (40.03 in)
5-5	0.017 m (0.67 in)	100.00	100.00	100.00	1.01749 m (40.03 in)
6-6	0.017 m (0.67 in)	100.00	100.00	100.00	1.01749 m (40.03 in)
7-7	0.017 m (0.67 in)	100.00	100.00	100.00	1.01749 m (40.03 in)
8-8	0.017 m (0.67 in)	100.00	100.00	100.00	1.01749 m (40.03 in)
9-9	0.017 m (0.67 in)	100.00	100.00	100.00	1.01749 m (40.03 in)
10-10	0.017 m (0.67 in)	100.00	100.00	100.00	1.01749 m (40.03 in)
11-11	0.017 m (0.67 in)	100.00	100.00	100.00	1.01749 m (40.03 in)
12-12	0.017 m (0.67 in)	100.00	100.00	100.00	1.01749 m (40.03 in)
13-13	0.017 m (0.67 in)	100.00	100.00	100.00	1.01749 m (40.03 in)
14-14	0.017 m (0.67 in)	100.00	100.00	100.00	1.01749 m (40.03 in)
15-15	0.017 m (0.67 in)	100.00	100.00	100.00	1.01749 m (40.03 in)
16-16	0.017 m (0.67 in)	100.00	100.00	100.00	1.01749 m (40.03 in)
17-17	0.017 m (0.67 in)	100.00	100.00	100.00	1.01749 m (40.03 in)
18-18	0.017 m (0.67 in)	100.00	100.00	100.00	1.01749 m (40.03 in)
19-19	0.017 m (0.67 in)	100.00	100.00	100.00	1.01749 m (40.03 in)
20-20	0.017 m (0.67 in)	100.00	100.00	100.00	1.01749 m (40.03 in)
21-21	0.017 m (0.67 in)	100.00	100.00	100.00	1.01749 m (40.03 in)
22-22	0.017 m (0.67 in)	100.00	100.00	100.00	1.01749 m (40.03 in)
23-23	0.017 m (0.67 in)	100.00	100.00	100.00	1.01749 m (40.03 in)
24-24	0.017 m (0.67 in)	100.00	100.00	100.00	1.01749 m (40.03 in)
25-25	0.017 m (0.67 in)	100.00	100.00	100.00	1.01749 m (40.03 in)
26-26	0.017 m (0.67 in)	100.00	100.00	100.00	1.01749 m (40.03 in)
27-27	0.017 m (0.67 in)	100.00	100.00	100.00	1.01749 m (40.03 in)
28-28	0.017 m (0.67 in)	100.00	100.00	100.00	1.01749 m (40.03 in)
29-29	0.017 m (0.67 in)	100.00	100.00	100.00	1.01749 m (40.03 in)
30-30	0.017 m (0.67 in)	100.00	100.00	100.00	1.01749 m (40.03 in)
31-31	0.017 m (0.67 in)	100.00	100.00	100.00	1.01749 m (40.03 in)
32-32	0.017 m (0.67 in)	100.00	100.00	100.00	1.01749 m (40.03 in)
33-33	0.017 m (0.67 in)	100.00	100.00	100.00	1.01749 m (40.03 in)
34-34	0.017 m (0.67 in)	100.00	100.00	100.00	1.01749 m (40.03 in)
35-35	0.017 m (0.67 in)	100.00	100.00	100.00	1.01749 m (40.03 in)
36-36	0.017 m (0.67 in)	100.00	100.00	100.00	1.01749 m (40.03 in)
37-37	0.017 m (0.67 in)	100.00	100.00	100.00	1.01749 m (40.03 in)
38-38	0.017 m (0.67 in)	100.00	100.00	100.00	1.01749 m (40.03 in)
39-39	0.017 m (0.67 in)	100.00	100.00	100.00	1.01749 m (40.03 in)
40-40	0.017 m (0.67 in)	100.00	100.00	100.00	1.01749 m (40.03 in)
41-41	0.017 m (0.67 in)	100.00	100.00	100.00	1.01749 m (40.03 in)
42-42	0.017 m (0.67 in)	100.00	100.00	100.00	1.01749 m (40.03 in)
43-43	0.017 m (0.67 in)	100.00	100.00	100.00	1.01749 m (40.03 in)
44-44	0.017 m (0.67 in)	100.00	100.00	100.00	1.01749 m (40.03 in)
45-45	0.017 m (0.67 in)	100.00	100.00	100.00	1.01749 m (40.03 in)
46-46	0.017 m (0.67 in)	100.00	100.00	100.00	1.01749 m (40.03 in)
47-47	0.017 m (0.67 in)	100.00	100.00	100.00	1.01749 m (40.03 in)
48-48	0.017 m (0.67 in)	100.00	100.00	100.00	1.01749 m (40.03 in)
49-49	0.017 m (0.67 in)	100.00	100.00	100.00	1.01749 m (40.03 in)
50-50	0.017 m (0.67 in)	100.00	100.00	100.00	1.01749 m (40.03 in)
51-51	0.017 m (0.67 in)	100.00	100.00	100.00	1.01749 m (40.03 in)
52-52	0.017 m (0.67 in)	100.00	100.00	100.00	1.01749 m (40.03 in)
53-53	0.017 m (0.67 in)	100.00	100.00	100.00	1.01749 m (40.03 in)
54-54	0.017 m (0.67 in)	100.00	100.00	100.00	1.01749 m (40.03 in)
55-55	0.017 m (0.67 in)	100.00	100.00	100.00	1.01749 m (40.03 in)
56-56	0.017 m (0.67 in)	100.00	100.00	100.00	1.01749 m (40.03 in)
57-57	0.017 m (0.67 in)	100.00	100.00	100.00	1.01749 m (40.03 in)
58-58	0.017 m (0.67 in)	100.00	100.00	100.00	1.01749 m (40.03 in)
59-59	0.017 m (0.67 in)	100.00	100.00	100.00	1.01749 m (40.03 in)
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62-62	0.017 m (0.67 in)	100.00	100.00	100.00	1.01749 m (40.03 in)
63-63	0.017 m (0.67 in)	100.00	100.00	100.00	1.01749 m (40.03 in)
64-64	0.017 m (0.67 in)	100.00	100.00	100.00	1.01749 m (40.03 in)
65-65	0.017 m (0.67 in)	100.00	100.00	100.00	1.01749 m (40.03 in)
66-66	0.017 m (0.67 in)	100.00	100.00	100.00	1.01749 m (40.03 in)
67-67	0.017 m (0.67 in)	100.00	100.00	100.00	1.01749 m (40.03 in)
68-68	0.017 m (0.67 in)	100.00	100.00	100.00	1.01749 m (40.03 in)
69-69	0.017 m (0.67 in)	100.00	100.00	100.00	1.01749 m (40.03 in)
70-70	0.017 m (0.67 in)	100.00	100.00	100.00	1.01749 m (40.03 in)
71-71	0.017 m (0.67 in)	100.00	100.00	100.00	1.01749 m (40.03 in)
72-72	0.017 m (0.67 in)	100.00	100.00	100.00	1.01749 m (40.03 in)
73-73	0.017 m (0.67 in)	100.00	100.00	100.00	1.01749 m (40.03 in)
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78-78	0.017 m (0.67 in)	100.00	100.00	100.00	1.01749 m (40.03 in)
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97-97	0.017 m (0.67 in)	100.00	100.00	100.00	1.01749 m (40.03 in)
98-98	0.017 m (0.67 in)	100.00	100.00	100.00	1.01749 m (40.03 in)
99-99	0.017 m (0.67 in)	100.00	100.00	100.00	1.01749 m (40.03 in)
100-100	0.017 m (0.67 in)	100.00	100.00	100.00	1.01749 m (40.03 in)

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ON: _____ AT _____ AM/PM
INSTRUMENT NUMBER _____
OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS
BY: _____ DEPUTY
SHEET 3



CITY OF EDINBURG
Planning & Zoning Commission
Regular Meeting
Meeting Date:
12/8/2020

Comprehensive Plan Amendment

Rezoning Request

AGENDA ITEM:

Hold Public Hearing and Consider the Comprehensive Plan Amendment from Auto Urban Uses to Urban Uses and the Rezoning Request from Auto Urban Residential (AU) District to Urban Residential (UR) District, Being 24.591 Acres out of Lot 3, Section 246, Texas-Mexican Railway Company Survey, Located at the South East Corner of Interstate 69C and Mile 17 ½ Road, As Requested By Melden & Hunt [Planning & Zoning – Kimberly Mendoza, Director of Planning & Zoning]

DESCRIPTION / SCOPE:

The property is located on the Southeast corner of Interstate 69C and Mile 17 ½ Road. The property currently has a tract size of 24.591 acres. This location is also known as Sonador Coves Subdivision Phase I and was recorded on November 5, 2020 which consists of 64 lots that range from 4,604 square feet to 8,826 square feet. The rezoning request for Urban Residential (UR) District will allow for a single family residence on the subject property. The applicant is requesting the rezoning to allow for the construction of homes with smaller setbacks than current zoning.

The property is zoned Auto Urban Residential (AU) District. Surrounding zoning is Agriculture (AG) District to the North and East, and Industrial (I) District to the South and West. The surrounding area consists of residential uses and vacant land.

Staff mailed a notice of the public hearing before the Planning & Zoning Commission to six (6) neighboring property owners and received no comments in favor or against this request at the time of the report.

ESTIMATED TIMELINE:

The recommendation of approval or denial of this public hearing is scheduled for consideration by the City Council on December 15, 2020. City Council's decision is the final step in the zoning process for this property. If denied the applicant may not request the proposed zoning classification for a 12 month period from the date of denial.

STAFF RECOMMENDATION:

Staff recommends approval of the Comprehensive Plan Amendment from Auto Urban Uses to Urban Uses and the Rezoning Request from Auto Urban Residential (AU) District to Urban Residential (UR) District. If approved, the applicant will need to comply with all requirements during the permitting process including compliance with subdivision regulations, building and fire codes, fire protection, parking, landscape buffer-yards, solid waste services, utility, and any other City requirements, as applicable.

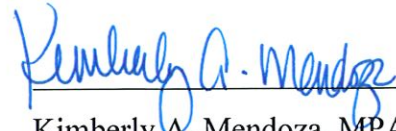
JUSTIFICATION:

The applicant is requesting the rezoning to allow for the construction of homes with smaller setbacks than current zoning.



Rita Lee Guerrero

Urban Planner



Kimberly A. Mendoza, MPA

Director of Planning & Zoning

MEETING DATES:
PLANNING & ZONING COMMISSION – 12/8/2020
CITY COUNCIL – 12/15/2020
DATE PREPARED – 11/30/2020

STAFF REPORT
GENERAL INFORMATION

<u>APPLICATION:</u>	Comprehensive Plan Amendment from Auto Urban Uses to Urban Uses and the Rezoning Request from Auto Urban Residential (AU) District to Urban Residential (UR) District
<u>APPLICANT:</u>	Riverside Development Services, LLC
<u>AGENT:</u>	Melden & Hunt
<u>LEGAL:</u>	Being 24.591 Acres out of Lot 3, Section 246, Texas-Mexican Railway Company Survey,
<u>LOCATION:</u>	Located at the South East Corner of Interstate 69C and Mile 17 ½ Road,
<u>LOT/TRACT SIZE:</u>	1.00 Acre
<u>CURRENT USE OF PROPERTY:</u>	Single Family Residential Development
<u>PROPOSED USE OF PROPERTY:</u>	Single Family Residential Development
<u>EXISTING LAND USE</u>	Auto Urban Residential (AU) District
<u>ADJACENT ZONING:</u>	North - Agriculture (AG) District South – Industrial (I) District East - Agriculture (AG) District West - Industrial (I) District
<u>LAND USE PLAN DESIGNATION:</u>	Auto-Urban Uses
<u>PUBLIC SERVICES:</u>	NAWSC Water and City of Edinburg Sewer
<u>RECOMMENDATION:</u>	Staff recommends approval of the Comprehensive Plan Amendment from Auto Urban Uses to Urban Uses and the Rezoning Request from Auto Urban Residential (AU) District to Urban Residential (UR) District t

**COMPREHENSIVE PLAN AMENDMENT
REZONING REQUEST
MELDEN & HUNT
PAGE 3**

EVALUATION

The following is staff's evaluation of the request.

1. The land use pattern for this area of the community consists of residential uses and vacant land.
2. The applicant is proposing a single family residential development.

Staff recommends approval of the Comprehensive Plan Amendment from Auto Urban Uses to Urban Uses and the Rezoning Request from Auto Urban Residential (AU) District to Urban Residential (UR) District. If approved, the applicant will need to comply with all requirements during the permitting process including compliance with subdivision regulations, building and fire codes, fire protection, parking, landscape buffer-yards, solid waste services, utility, and any other City requirements, as applicable.

Staff mailed a notice of the public hearing before the Planning & Zoning Commission to six (6) neighboring property owners and received no comments in favor or against this request at the time of the report.

ATTACHMENTS: Aerial Photo
Zoning Map
Future Land Use Map
Photo of site
Exhibits



AERIAL MAP

CASE CAPTION:

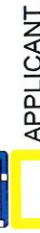
APPLICANT NAME:
MELDEN & HUNT
RIVERSIDE DEVELOPMENT

CONSIDER THE COMPREHENSIVE
PLAN AMENDMENT FROM AUTO
URBAN USES TO URBAN USES AND
THE REZONING REQUEST FROM
AUTO URBAN RESIDENTIAL (AU)
(UR) DISTRICT, BEING 24.591 ACRES
OUT OF LOT 3, SECTION 246,
TEXAS-MEXICAN RAILWAY COMPANY
SURVEY, LOCATED AT THE SOUTH
EAST CORNER OF INTERSTATE 69C
AND MILE 17 1/2 ROAD, AS REQUESTED
BY MELDEN & HUNT

Legend

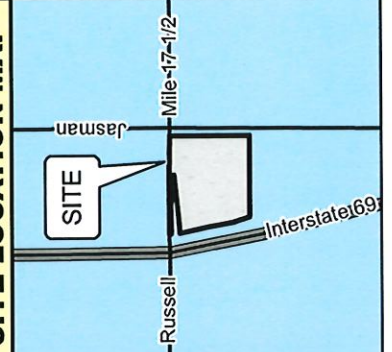


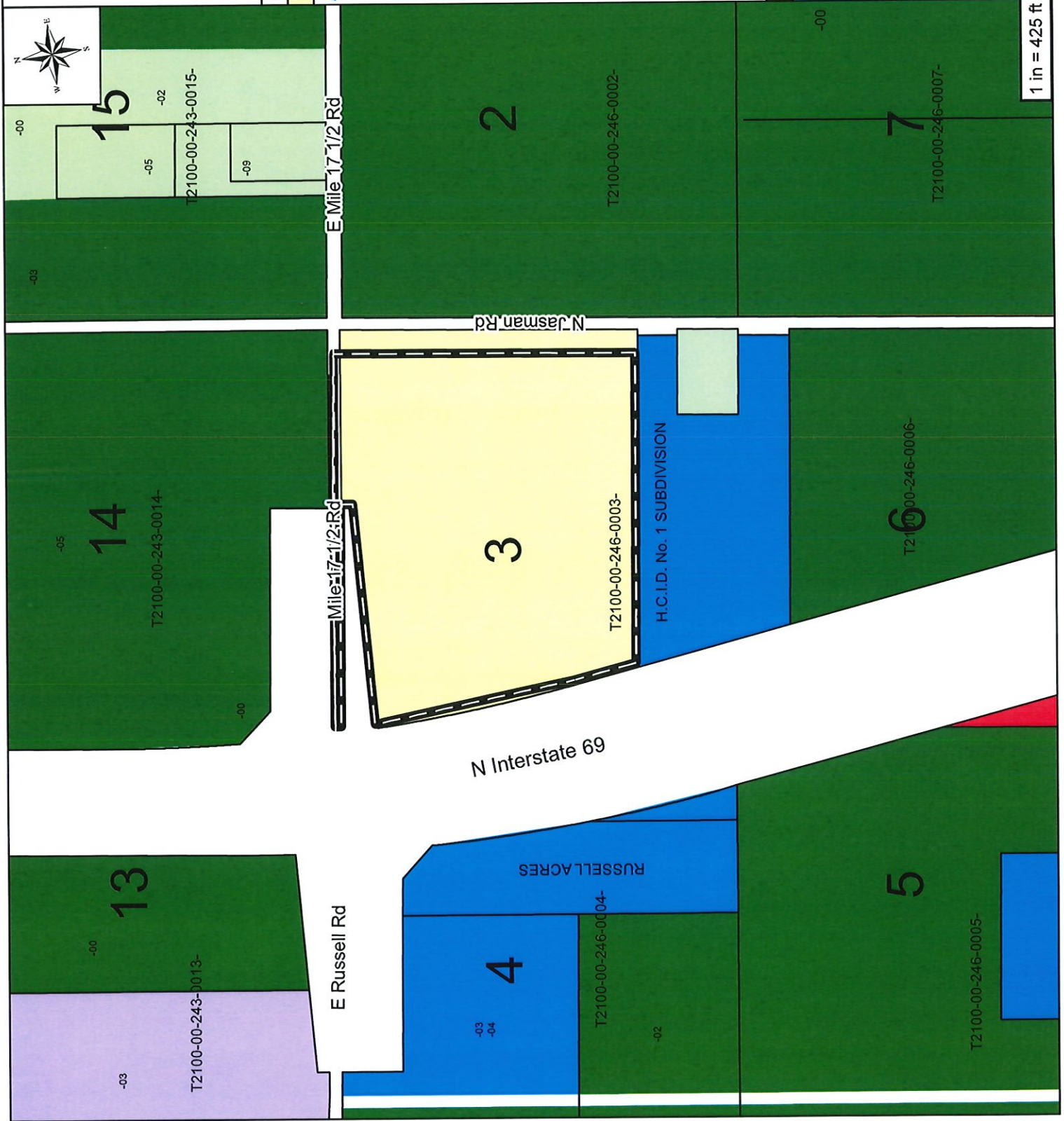
CITY LIMITS



APPLICANT SITE

SITE LOCATION MAP





ZONING MAP

CASE CAPTION:

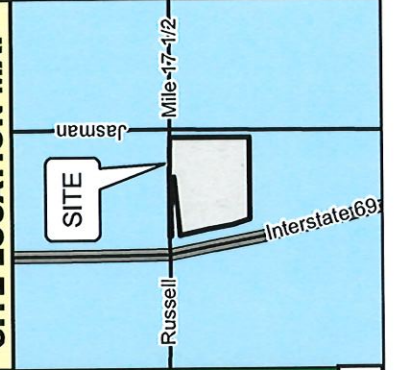
APPLICANT NAME:
MELDEN & HUNT
RIVERSIDE DEVELOPMENT

Legend



- Agriculture
- Auto-Urban Residential
- Business Park
- Commercial, General
- Commercial, Neighborhood
- Downtown District
- Industrial
- Neighborhood Conservation 5
- Neighborhood Conservation 7.1
- Neighborhood Conservation MH
- Suburban Residential
- Urban Center
- Urban Residential
- Urban University

SITE LOCATION MAP





FUTURE LANDUSE MAP

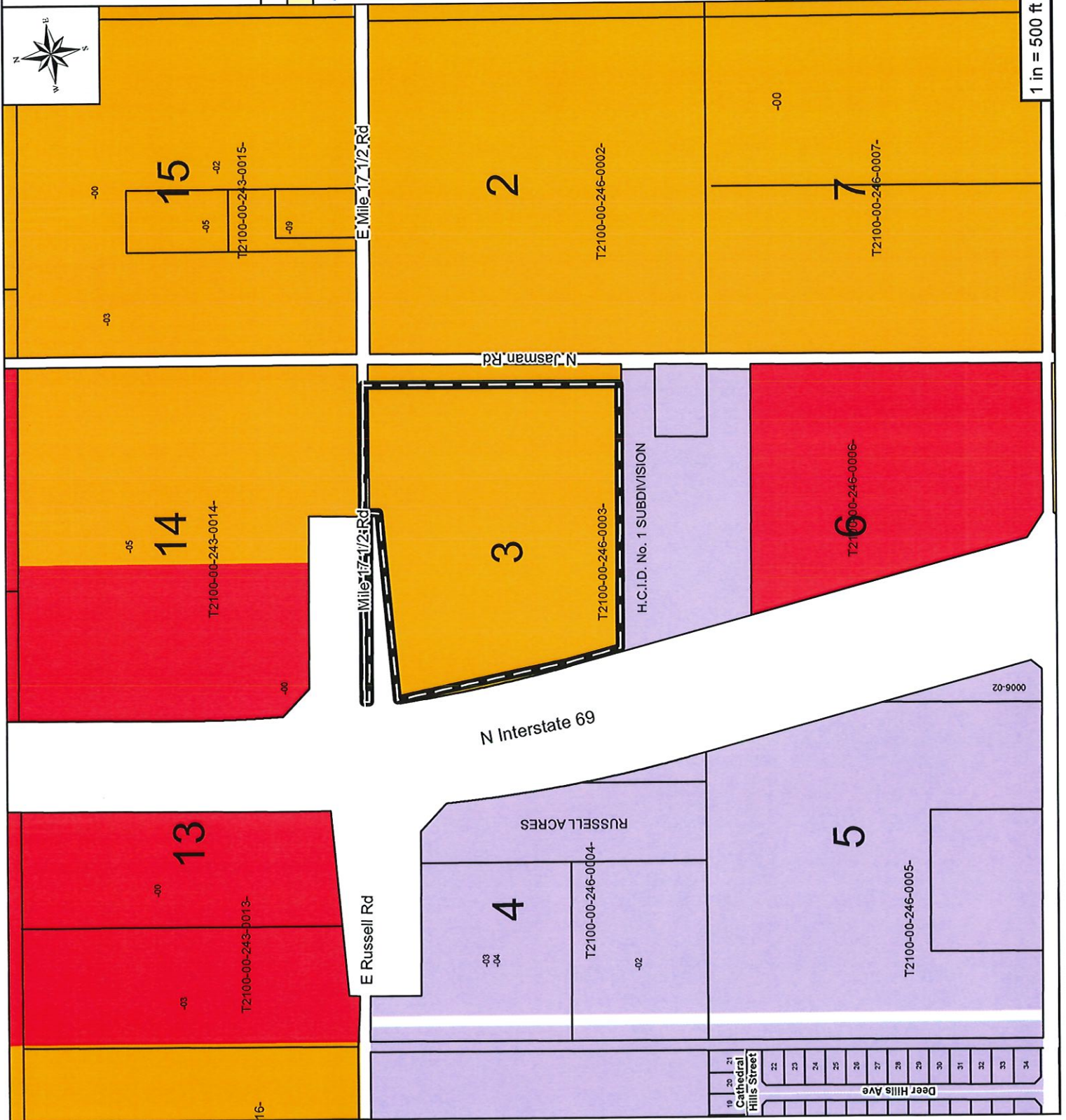
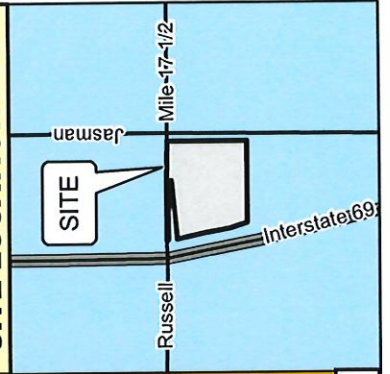
CASE CAPTION:

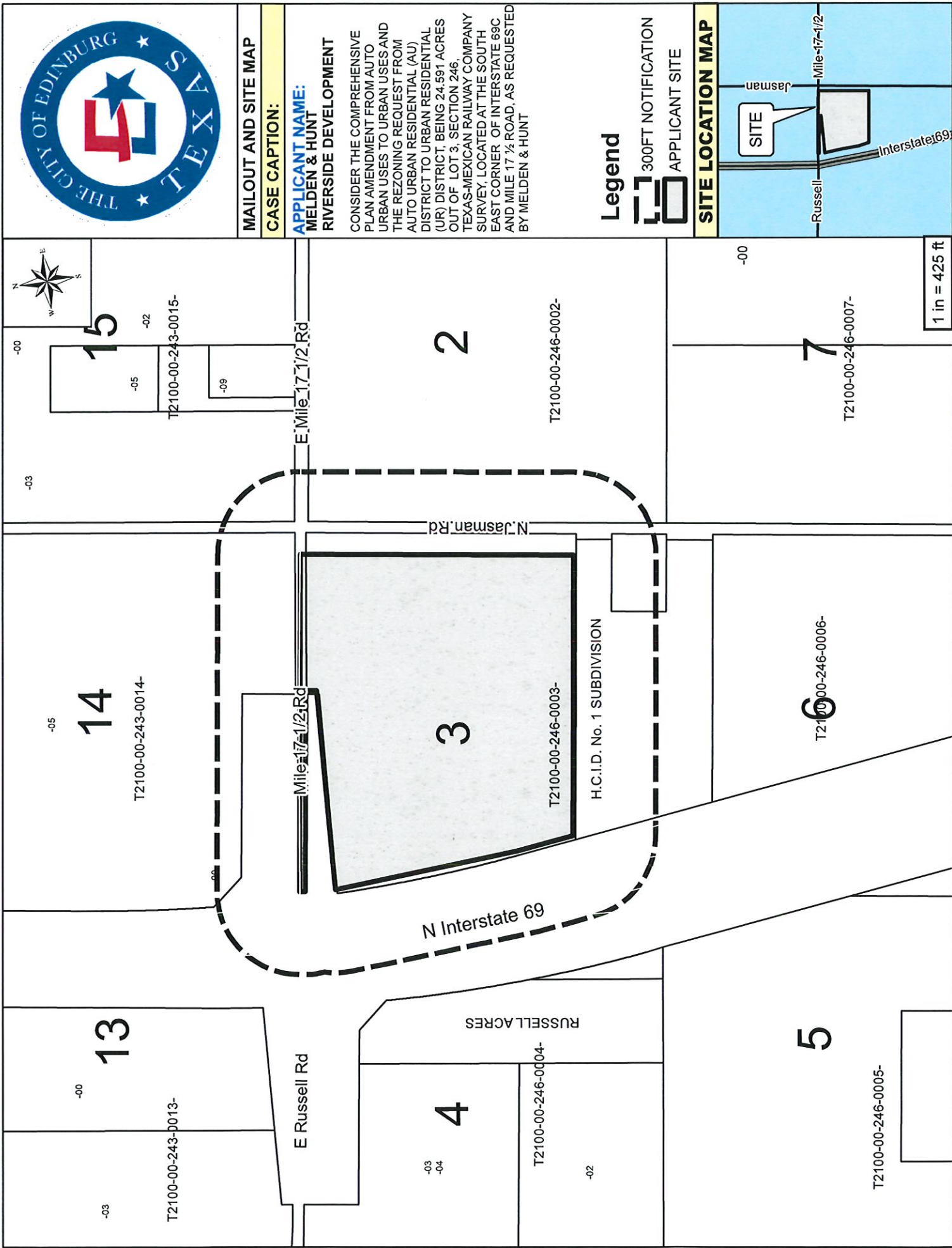
APPLICANT NAME:
MELDEN & HUNT
RIVERSIDE DEVELOPMENT

Legend

- CITY LIMITS
- APPLICANT SITE
- Agriculture
- Auto-Urban
- Downtown District
- General Commercial
- Industrial
- Mobile Home
- Neighborhood Commercial
- Office Business Park
- Suburban
- Urban
- Urban University

SITE LOCATION MAP





January 28, 2019

METES AND BOUNDS DESCRIPTION
24.591 ACRES OUT OF
LOT 3, SECTION 246,
TEXAS-MEXICAN RAILWAY COMPANY SURVEY
HIDALGO COUNTY, TEXAS

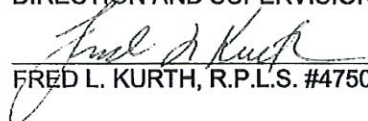
A tract of land containing 24.591 acres situated in Hidalgo County, Texas, being a part or portion out of Lot 3, Section 246, Texas-Mexican Railway Company Survey, according to the plat thereof recorded in Volume 1, Page 16, Hidalgo County Map Records, which said 24.591-acre tract was conveyed to Harold W. Pursley and wife, Mildred O. Pursley, by virtue of a Deed recorded in Volume 732, Page 21, Hidalgo County Deed Records, said 24.591 acres also being more particularly described as follows:

COMMENCING on the Northeast corner of said Lot 3, Section 246, for the Northeast corner of this herein described tract;

THENCE, N 81° 06' 50" W along the North line of said Lot 3 and within the right-of-way of Russell Road (Mile 17 ½), a distance of 100.00 feet to a Nail set [Northing: 16642008.752, Easting: 1101190.520], for the Northeast corner and POINT OF BEGINNING of this herein described tract;

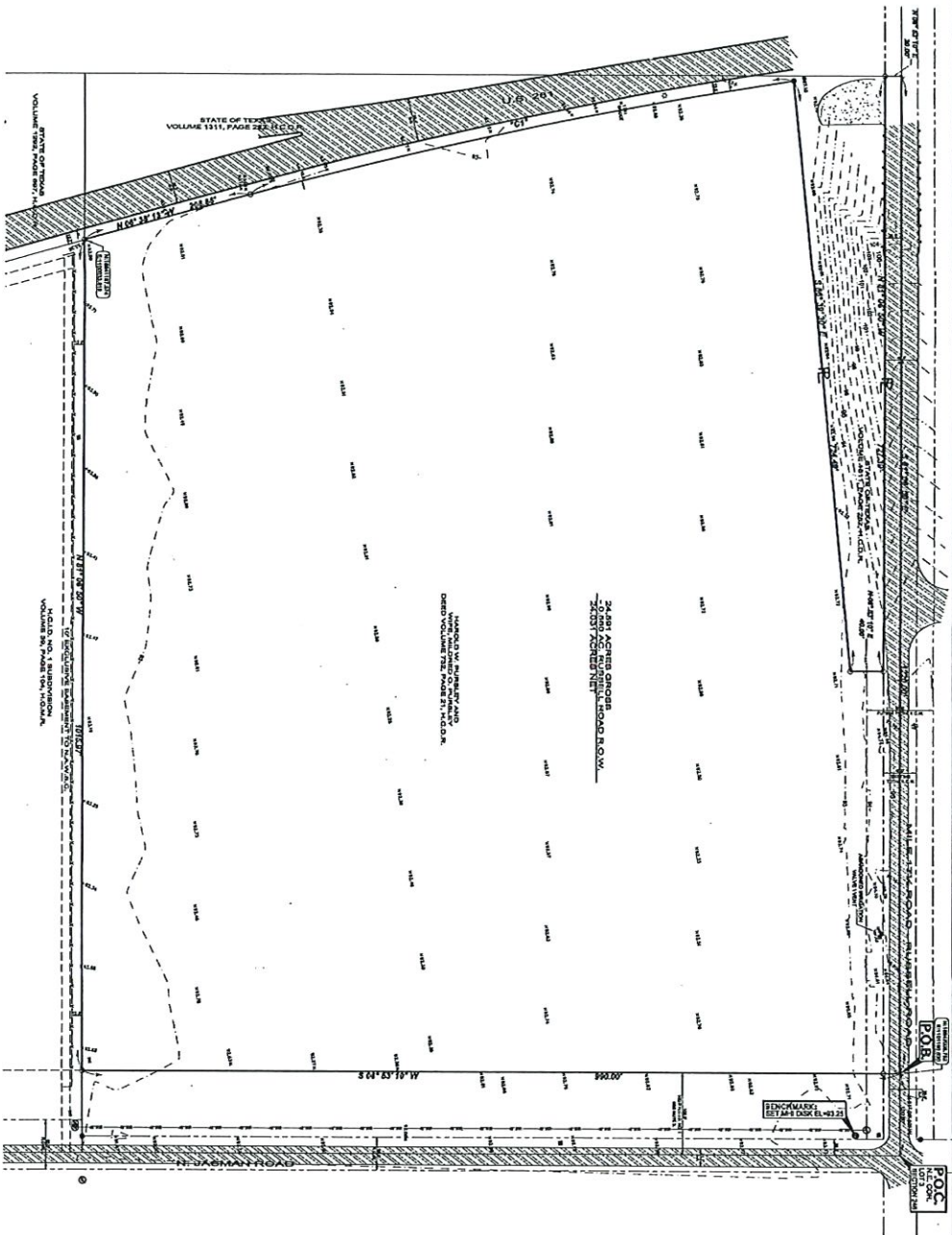
1. THENCE, S 08° 53' 10" W at a distance of 20.00 feet pass a No. 4 rebar set on the South right-of-way line of Russell Road (Mile 17 ½), continuing a total distance of 990.00 feet to a Nail set on the North line of H.C.I.D. No. 1 Subdivision, according to the plat thereof recorded in Volume 39, Page 104, Hidalgo County Map Records, for the Southeast corner of this tract;
2. THENCE, N 81° 06' 50" W along the North line of said H.C.I.D. No. 1 Subdivision, a distance of 1,015.97 feet to a No. 4 rebar set [Northing: 16641187.574, Easting: 1100033.819], for the Southwest corner of this tract;
3. THENCE, N 06° 38' 13" W a distance of 208.85 feet to a No. 4 rebar set, for an angle point of this tract;
4. THENCE, in a Northwesterly direction along a curve to the right, with a central angle of 006°44'33", a radius of 5,729.58 feet, an arc length of 674.25 feet, a tangent of 337.51 feet and a chord that bears N 03° 15' 55" W a distance of 673.86 feet to a No. 4 rebar found, for an outside corner of this tract;
5. THENCE, S 86° 39' 30" E a distance of 724.49 feet to a No. 4 rebar set, for an inside corner of this tract;
6. THENCE, N 08° 53' 10" E a distance of 40.00 feet to a No. 4 rebar set on the South right-of-way line of Russell Road (Mile 17 ½), for an inside corner of this tract;
7. THENCE, N 81° 06' 50" W along the South right-of-way line of Russell Road (Mile 17 ½), a distance of 727.39 feet to a No. 4 rebar set on the West line of said Lot 3, for an outside corner of this tract;
8. THENCE, N 08° 53' 10" E along the West line of said Lot 3, a distance of 20.00 feet to a Nail set, for the Northwest corner of this tract;
9. THENCE, S 81° 06' 50" E along the North line of said Lot 3 and within the right-of-way of Russell Road (Mile 17 ½), a distance of 1,220.00 feet to the POINT OF BEGINNING and containing 24.591 acres of land of which 0.560 of one acre lies within the right-of-way of Russell Road (Mile 17 ½), leaving a net of 24.031 acres of land, more or less.

I, FRED L. KURTH, A REGISTERED PROFESSIONAL LAND SURVEYOR DO HEREBY AFFIRM THAT THIS METES AND BOUNDS DESCRIPTION REPRESENTS THE RESULTS OF A SURVEY MADE ON THE GROUND ON 12/07/2018 UNDER MY DIRECTION AND SUPERVISION.


FRED L. KURTH, R.P.L.S. #4750 1-28-19
DATE:

Page 1 of 2





PLAT SHOWING
24.591 ACRES OUT OF
LOT 3, SECTION 24,
TEXAS-MEXICAN RAILWAY COMPANY SURVEY
VOLUME 1, PAGE 16, B.C.M.P.
HIDALGO COUNTY, TEXAS

THE UNDERSIGNED HEREBY CERTIFIES THAT THIS SURVEY WAS CONDUCTED IN ACCORDANCE WITH THE SURVEY ACT OF 1820/21 UNDER MY DIRECTION, THAT THE ONLY IMPROVEMENTS ON THE GROUND ARE AS SHOWN, THAT THERE ARE NO VISIBLE SMOOTHING, MISTS, VISIBAL OVERLAPPING, APPARENTLY GOOD, PLOTS, OR VISIBLE EASEMENTS, EXCEPT AS SHOWN.

12/23/94

ROBERTO M. TAMEL, P.E. No. 8236

DATE:



Curve Table						
Curve #	Date	Radius	Length	Target	Offset Length	Offset Distance
1-1	10/1/10	1000.00	100.00	100.00	100.00	100.00

ADDRESS: 3000 University
Avenue, Suite 1000, Dallas, TX
75201-2808
PHONE: (214) 760-1000
FAX: (214) 760-1001
E-MAIL: info@hewlett.com
WWW: <http://www.hewlett.com>

SECRET

- [illegible]

1. **REVIEW OF THE PAPER AND ORIGINAL SOURCE**
Determine if the source is relevant for the research project.
2. **REVIEW OF THE ABSTRACT**
Determine if the abstract and references are related to the topic.
3. **REVIEW OF THE FULL TEXT**
Determine if the full text is relevant to the topic.
4. **REVIEW OF THE CONCLUSIONS**
Determine if the conclusions are related to the topic.
5. **REVIEW OF THE REFERENCES**
Determine if the references are related to the topic.
6. **REVIEW OF THE APPENDICES**
Determine if the appendices are related to the topic.
7. **REVIEW OF THE BIBLIOGRAPHY**
Determine if the bibliography is related to the topic.
8. **REVIEW OF THE INDEX**
Determine if the index is related to the topic.
9. **REVIEW OF THE GLOSSARY**
Determine if the glossary is related to the topic.
10. **REVIEW OF THE TABLES**
Determine if the tables are related to the topic.
11. **REVIEW OF THE FIGURES**
Determine if the figures are related to the topic.
12. **REVIEW OF THE CHARTS**
Determine if the charts are related to the topic.
13. **REVIEW OF THE MAPS**
Determine if the maps are related to the topic.
14. **REVIEW OF THE PHOTOGRAPHS**
Determine if the photographs are related to the topic.
15. **REVIEW OF THE VIDEOS**
Determine if the videos are related to the topic.
16. **REVIEW OF THE AUDIO**
Determine if the audio is related to the topic.
17. **REVIEW OF THE INTERVIEWS**
Determine if the interviews are related to the topic.
18. **REVIEW OF THE SURVEYS**
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19. **REVIEW OF THE EXPERIMENTS**
Determine if the experiments are related to the topic.
20. **REVIEW OF THE CASE STUDIES**
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21. **REVIEW OF THE ETHNOGRAPHY**
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22. **REVIEW OF THE HISTORICAL ANALYSIS**
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23. **REVIEW OF THE COMPARATIVE ANALYSIS**
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25. **REVIEW OF THE QUANTITATIVE ANALYSIS**
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26. **REVIEW OF THE MIXED-METHODS ANALYSIS**
Determine if the mixed-methods analysis is related to the topic.
27. **REVIEW OF THE SYSTEMATIC REVIEW**
Determine if the systematic review is related to the topic.
28. **REVIEW OF THE META-ANALYSIS**
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29. **REVIEW OF THE SCOPING REVIEW**
Determine if the scoping review is related to the topic.
30. **REVIEW OF THE NARRATIVE REVIEW**
Determine if the narrative review is related to the topic.
31. **REVIEW OF THE CRITICAL APPRAISAL**
Determine if the critical appraisal is related to the topic.
32. **REVIEW OF THE GRADE**
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33. **REVIEW OF THE SUMMARY**
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34. **REVIEW OF THE CONCLUSIONS**
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35. **REVIEW OF THE RECOMMENDATIONS**
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36. **REVIEW OF THE REFERENCES**
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58. **REVIEW OF THE SYSTEMATIC REVIEW**
Determine if the systematic review is related to the topic.
59. **REVIEW OF THE META-ANALYSIS**
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60. **REVIEW OF THE SCOPING REVIEW**
Determine if the scoping review is related to the topic.
61. **REVIEW OF THE NARRATIVE REVIEW**
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62. **REVIEW OF THE CRITICAL APPRAISAL**
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63. **REVIEW OF THE GRADE**
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64. **REVIEW OF THE SUMMARY**
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65. **REVIEW OF THE CONCLUSIONS**
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66. **REVIEW OF THE RECOMMENDATIONS**
Determine if the recommendations are related to the topic.
67. **REVIEW OF THE REFERENCES**
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68. **REVIEW OF THE APPENDICES**
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73. **REVIEW OF THE FIGURES**
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74. **REVIEW OF THE CHARTS**
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75. **REVIEW OF THE MAPS**
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76. **REVIEW OF THE PHOTOGRAPHS**
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77. **REVIEW OF THE VIDEOS**
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78. **REVIEW OF THE AUDIO**
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79. **REVIEW OF THE INTERVIEWS**
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80. **REVIEW OF THE SURVEYS**
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81. **REVIEW OF THE EXPERIMENTS**
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82. **REVIEW OF THE CASE STUDIES**
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84. **REVIEW OF THE HISTORICAL ANALYSIS**
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85. **REVIEW OF THE COMPARATIVE ANALYSIS**
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86. **REVIEW OF THE QUALITATIVE ANALYSIS**
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87. **REVIEW OF THE QUANTITATIVE ANALYSIS**
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88. **REVIEW OF THE MIXED-METHODS ANALYSIS**
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- 121.

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CITY OF EDINBURG
Planning & Zoning Commission

Regular Meeting

Meeting Date:

12/8/2020

Comprehensive Plan Amendment

Rezoning Request

AGENDA ITEM:

Hold Public Hearing and Consider the Comprehensive Plan Amendment from Office Business Park Uses to Auto Urban Uses and the Rezoning Request from Commercial General (CG) District to Auto Urban Residential (AU) District, Being 14.998 Acres Being all of Lots 2 through 15 and part of Northpoint Drive, Northpoint Subdivision Phase 1, Volume 34, Page 24, H.C.M.R. And Out Of Lot 6, Block 4, Steele And Pershing Subdivision, Located On The East Of S. McColl Road At Northpoint Drive, As Requested By Melden & Hunt [Planning & Zoning – Kimberly Mendoza, Director of Planning & Zoning]

DESCRIPTION / SCOPE:

The property is located on the east side of S. McColl Road, approximately 640 feet North of Alberta Road and is currently vacant. The tract has a total of 14.998 acres, this property is formerly known as Northpoint Subdivision Phase I which was recorded on February 8, 1999. This property is currently going under a new subdivision process with a name Replat of Northpoint Subdivision which will consist of 73 lots. The original subdivision plat consisted of with 15 lots.

The approval of the rezoning request will allow for Auto Urban Residential (AU) District which allows for a single family residential development. The applicant is requests for rezoning is to allow for a single family residential development that consists of 73 lots. The future land use for the property is Business Park Uses.

The property is currently zoned Commercial General (CG) District. The surrounding zoning in the area is Commercial General (CG) District in all directions. The surrounding uses consist of commercial development and residential homes.

Staff mailed a notice of the public hearing before the Planning & Zoning Commission to forty-two (42) neighboring property owners and received no comments in favor or against this request at the time of the report.

ESTIMATED TIMELINE:

The recommendation of approval or denial of this public hearing is scheduled for consideration by the City Council on January 19, 2021. City Council's decision is the final step in the zoning process for this property. If denied the applicant may not request the proposed zoning classification for a 12 month period from the date of denial.

STAFF RECOMMENDATION:

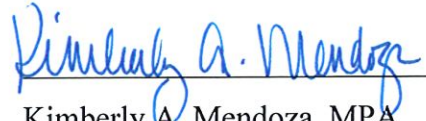
Staff recommends approval of the Comprehensive Plan Amendment from Office Business Park Uses to Auto Urban Uses and the Rezoning Request from Commercial General (CG) District to Auto Urban Residential (AU) District. If approved, the applicant will need to comply with all requirements during the permitting process including compliance with subdivision regulations, building and fire codes, fire protection, parking, landscape buffer-yards, solid waste services, utility, and any other City requirements, as applicable.

JUSTIFICATION:

The applicant is requesting to rezone the property to allow for a single family residential development that consists of 73 lots.



Rita Lee Guerrero
Urban Planner



Kimberly A. Mendoza, MPA
Director of Planning & Zoning

MEETING DATES:
PLANNING & ZONING COMMISSION – 12/08/2020
CITY COUNCIL – 1/19/2021
DATE PREPARED – 11/30/2020

STAFF REPORT
GENERAL INFORMATION

<u>APPLICATION:</u>	Comprehensive Plan Amendment from Office Business Park Uses to Auto Urban Uses and the Rezoning Request from Commercial General (CG) District to Auto Urban Residential (AU) District
<u>APPLICANT:</u>	The Amegin Trust (George P. Amegin, Trustee)
<u>AGENT:</u>	Melden & Hunt
<u>LEGAL:</u>	Being 14.998 Acres Being all of Lots 2 through 15 and part of Northpoint Drive, Northpoint Subdivision Phase 1, Volume 34, Page 24, H.C.M.R. And Out Of Lot 6, Block 4, Steele And Pershing Subdivision,
<u>LOCATION:</u>	Located on the East of S. Mccoll Road at Northpoint Drive
<u>LOT/TRACT SIZE:</u>	14.998 Acres
<u>CURRENT USE OF PROPERTY:</u>	Vacant
<u>PROPOSED USE OF PROPERTY:</u>	Single Family Residential Development
<u>EXISTING LAND USE</u>	Commercial General (CG) District
<u>ADJACENT ZONING:</u>	North - Commercial General (CG) District South – Commercial General (CG) District East – Commercial General (CG) District West - Commercial General (CG) District
<u>LAND USE PLAN DESIGNATION:</u>	Business Park Uses
<u>PUBLIC SERVICES:</u>	City of Edinburg Water / Sewer
<u>RECOMMENDATION:</u>	Staff recommends approval of the Comprehensive Plan Amendment from Office Business Park Uses to Auto Urban Uses and the Rezoning Request from Commercial General (CG) District to Auto Urban Residential (AU) District

**COMPREHENSIVE PLAN AMENDMENT
REZONING REQUEST
MELDEN & HUNT
PAGE 3**

EVALUATION

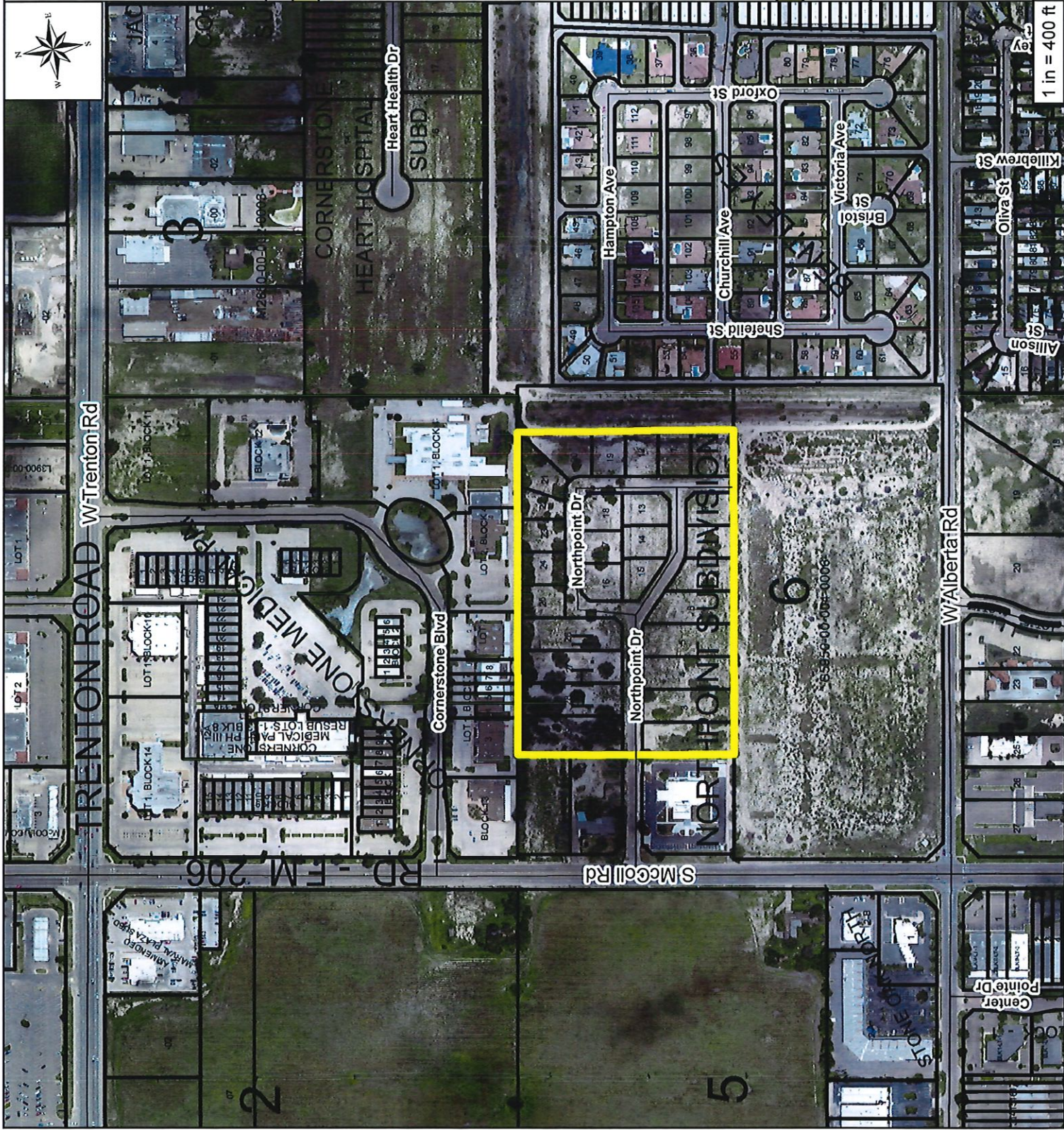
The following is staff's evaluation of the request.

1. The land use pattern for this area of the community consists of commercial and residential uses.
2. The applicant is proposing a single family residential development at this location.

Staff recommends approval of the Comprehensive Plan Amendment from Office Business Park Uses to Auto Urban Uses and the Rezoning Request from Commercial General (CG) District to Auto Urban Residential (AU) District. If approved, the applicant will need to comply with all requirements during the permitting process including compliance with subdivision regulations, building and fire codes, fire protection, parking, landscape buffer-yards, solid waste services, utility, and any other City requirements, as applicable.

Staff mailed a notice of the public hearing before the Planning & Zoning Commission to forty-two (42) neighboring property owners and received no comments in favor or against this request at the time of the report.

ATTACHMENTS: Aerial Photo
Zoning Map
Future Land Use Map
Photo of site
Exhibits



AERIAL MAP

CASE CAPTION:

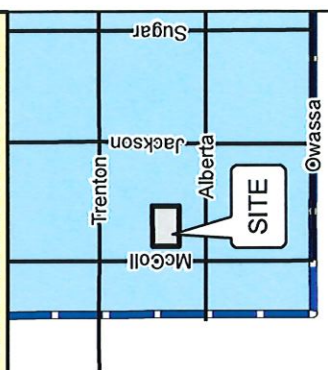
APPLICANT NAME:
MELDEN AND HUNT
NORTHPOINT

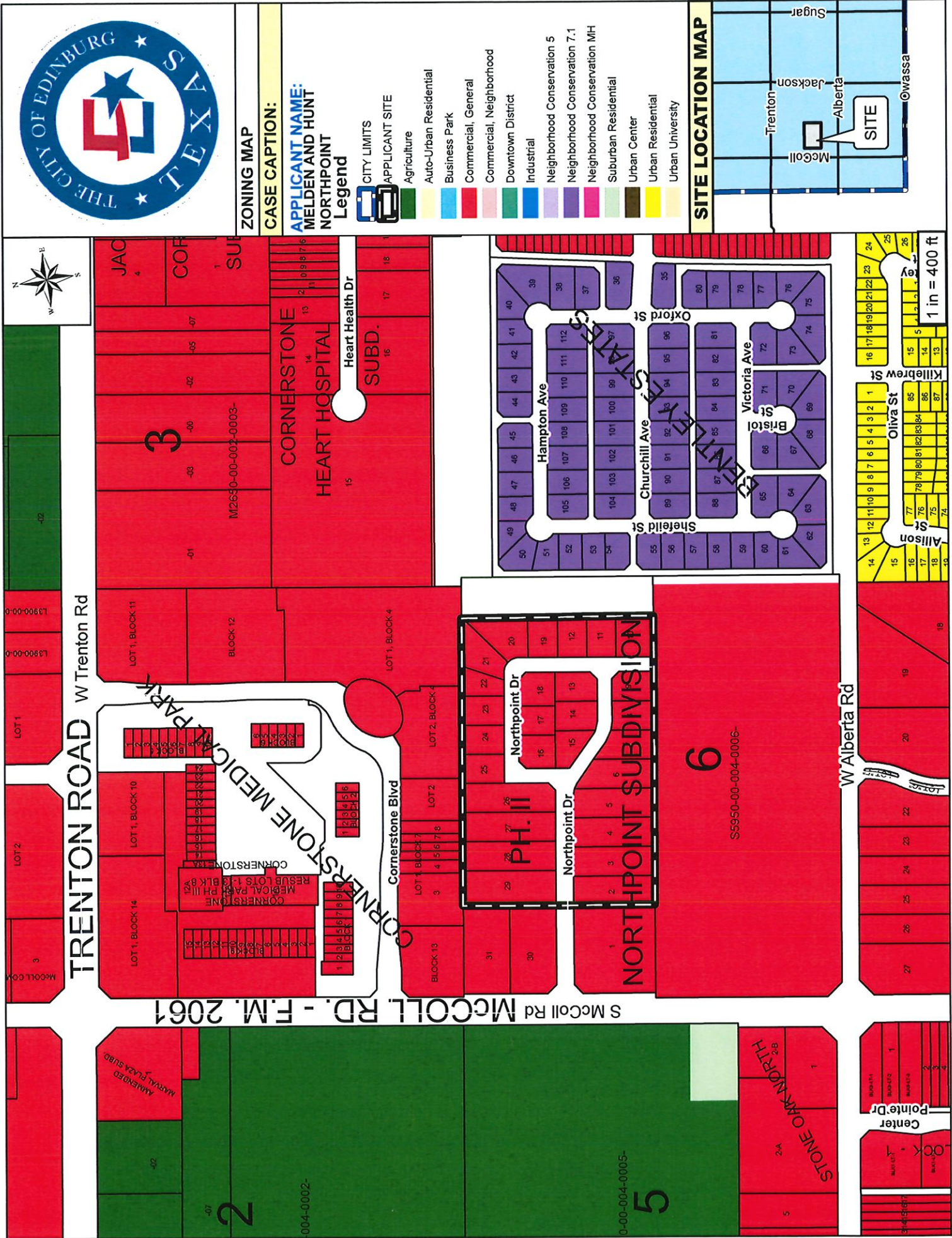
CONSIDER THE COMPREHENSIVE PLAN AMENDMENT FROM OFFICE BUSINESS PARK USES TO AUTO URBAN USES AND THE REZONING REQUEST FROM COMMERCIAL GENERAL (CG) DISTRICT TO AUTO URBAN RESIDENTIAL (AU) DISTRICT BEING 14.9998 ACRES BEING ALL OF LOTS 2 THROUGH 15 AND PART OF NORTHPOINT DRIVE, NORTHPOINT SUBDIVISION PHASE 1, VOLUME 34, PAGE 24, H.C.M.R. AND OUT OF LOT 6, BLOCK 4, STEELE AND PERSHING SUBDIVISION, LOCATED ON THE EAST OF S. MCCOLL ROAD AT NORTHPOINT DRIVE, AS REQUESTED BY MELDEN & HUNT

Legend

- CITY LIMITS
- APPLICANT SITE

SITE LOCATION MAP





ZONING MAP

CASE CAPTION:

APPLICANT NAME:
MELDEN AND HUNT
NORTHPOINT

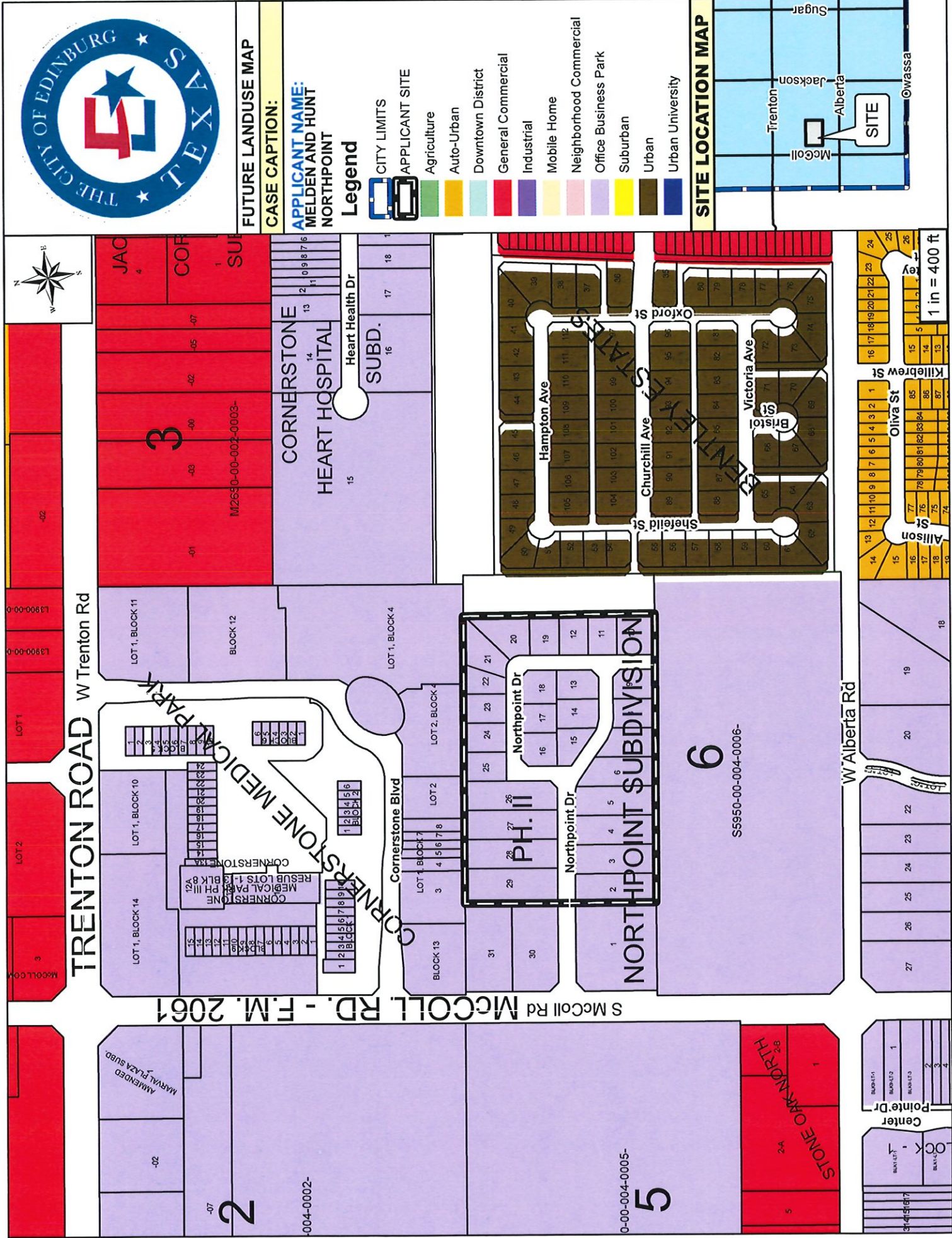
Legend

- CITY LIMITS
- APPLICANT SITE
- Agriculture
- Auto-Urban Residential
- Business Park
- Commercial, General
- Commercial, Neighborhood
- Downtown District
- Industrial
- Neighborhood Conservation 5
- Neighborhood Conservation 7.1
- Neighborhood Conservation MH
- Suburban Residential
- Urban Center
- Urban Residential
- Urban University

SITE LOCATION MAP



1 in = 400 ft



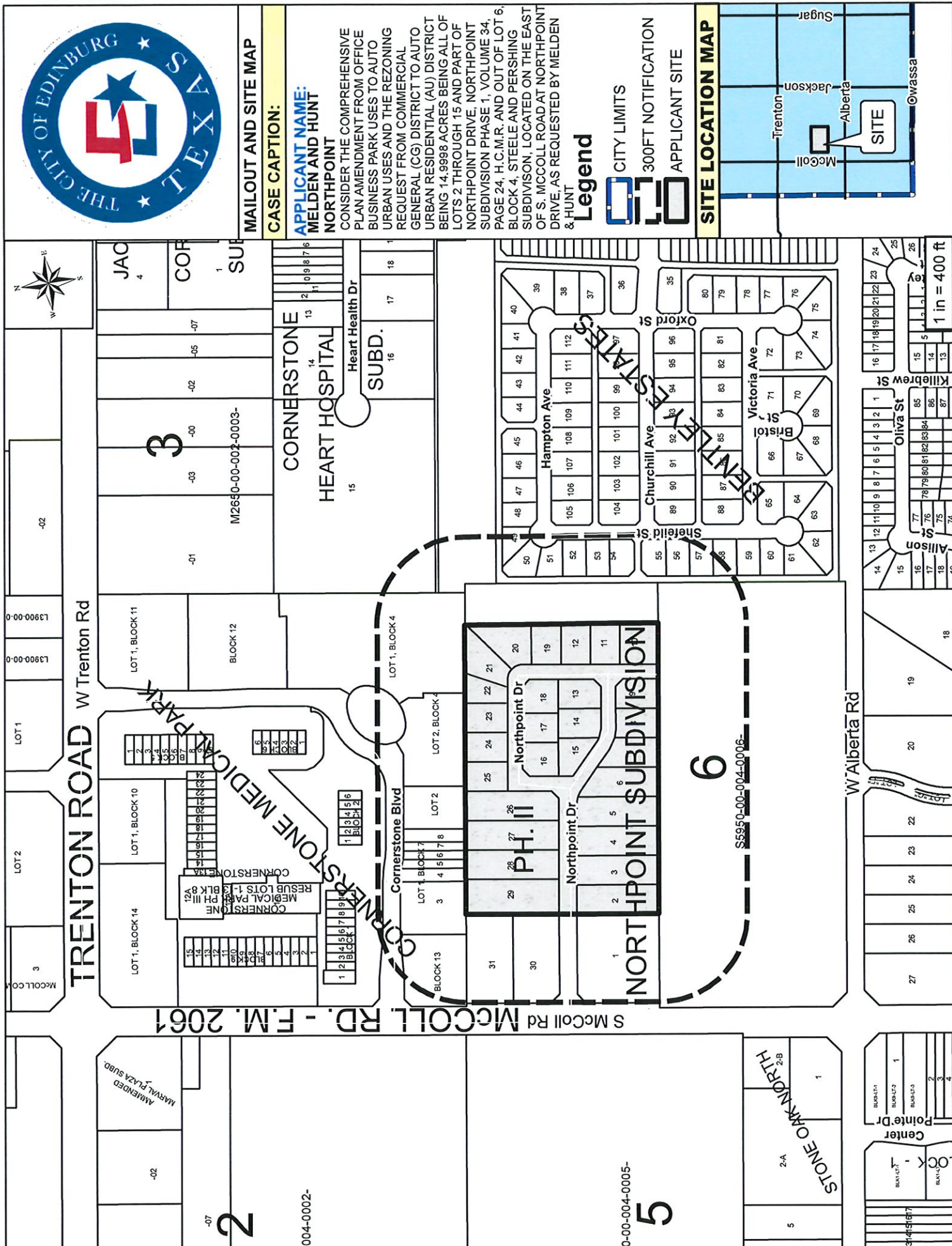


EXHIBIT "A"

November 2, 2020

**METES AND BOUNDS DESCRIPTION
14.998 ACRES BEING ALL OF LOTS 2 THROUGH 15
AND PART OF NORTHPOINT DRIVE,
NORTHPOINT SUBDIVISION PHASE I,
AND OUT OF LOT 6, BLOCK 4,
STEELE AND PERSHING SUBDIVISION,
CITY OF EDINBURG
HIDALGO COUNTY, TEXAS**

A tract of land containing 14.998 acres situated in the City of Edinburg, County of Hidalgo, Texas; being all of Lots 2 through 15 and part of Northpoint Drive, Northpoint Subdivision Phase I, according to the plat thereof recorded in Volume 34, Page 24, Hidalgo County Map Records, and out of Lot 6, Block 4, Steele and Pershing Subdivision, according to the plat thereof recorded in Volume 8, Page 114, Hidalgo County Deed Records, said 14.998 being out of a tract of land conveyed to George P. Amegin and Edith A. Amegin, by virtue of a Warranty Deed recorded under Document Number 2374949, Hidalgo County official Records, said 14.998 acres also being more particularly described as follows:

COMMENCING at the Northwest corner of said Lot 6, Block 4, Steele and Pershing Subdivision;

THENCE, S 81° 19' 50" E along the North line of said Lot 6, Block 4, a distance of 363.82 feet to a No. 4 rebar set for the Northwest corner and POINT OF BEGINNING of this herein described tract;

1. THENCE, S 81° 19' 50" E along the North line of said Lot 6, Block 4, a distance of 988.93 feet to a No. 4 rebar found for the Northeast corner of this tract;
2. THENCE, S 08° 30' 06" W at a distance of 330.00 feet pass a No. 4 rebar found on the Northeast corner of Lot 12, of said Northpoint Subdivision Phase I, continuing a total distance of 660.00 feet to a No. 4 rebar found at the Southeast corner of Lot 10, of said Northpoint Subdivision Phase I, for the Southeast corner of this tract;
3. THENCE, N 81° 19' 50" W along the South line of said Northpoint Subdivision Phase I, a distance of 990.86 feet to a No. 4 rebar found on the Southwest corner of said Lot 2, for the Southwest corner of this tract;
4. THENCE, N 08° 40' 10" E at a distance of 280.00 feet pass a No. 4 rebar found on the Northwest corner of said Lot 2, continuing a total distance of 660.00 feet to the POINT OF BEGINNING and containing 14.998 acres, of which 1.539 acres lies within the existing right-of-way of Northpoint Drive, leaving a net of 13.459 acres of land, more or less.

CORNERSTONE MEDICAL PARK PHASE II
LOT 1, BLOCK 4, RESUBDIVISION
VOLUME 32, PAGE 180, H.C.M.R.
S 81° 19' 50" E 363.82'

CORNERSTONE MEDICAL
PARK PHASE II
LOT 1, BLOCK 4, RESUBDIVISION
VOLUME 31, PAGE 181, H.C.M.R.
S 81° 19' 50" E 988.93'

CORNERSTONE MEDICAL PARK PHASE I
VOLUME 30, PAGE 179, H.C.M.R.

P.O.B.
N.W. COR.
LOT 6
BLOCK 4

LOT 6,
BLOCK 4

GEORGE P. AMEGIN AND EDITH A. AMEGIN,
W.D. DOCUMENT No. 2374949, H.C.O.R.
14.998 ACRES GROSS
-1.539 ACRES NORTHPOINT DRIVE R.O.W.
13.459 ACRES NET

NORTHPOINT DRIVE
60.0' R.O.W.

NORTHPOINT DRIVE
60.0' R.O.W.

NORTHPOINT DRIVE
60.0' R.O.W.

NORTHPOINT DRIVE
60.0' R.O.W.

NORTHPOINT DRIVE
60.0' R.O.W.

LOT 12
10' DRAINAGE
EASEMENT

LOT 13
25.0' ACCESS EASEMENT
AND FIRE LANE
& UTILITY EASEMENT

LOT 14
25.0' ACCESS EASEMENT
AND FIRE LANE
& UTILITY EASEMENT

LOT 15
25.0' ACCESS EASEMENT
AND FIRE LANE
& UTILITY EASEMENT

LOT 11
5.0' UTILITY
EASEMENT

LOT 10
25.0' ACCESS EASEMENT
AND FIRE LANE
& UTILITY EASEMENT

LOT 9
25.0' ACCESS EASEMENT
AND FIRE LANE
& UTILITY EASEMENT

LOT 8
25.0' ACCESS EASEMENT
AND FIRE LANE
& UTILITY EASEMENT

LOT 7
NORTHPOINT SUBDIVISION PHASE I
VOLUME 34, PAGE 24, H.C.M.R.

LOT 6
5.0' UTILITY
EASEMENT

LOT 5
5.0' UTILITY
EASEMENT

LOT 4
25.0' ACCESS EASEMENT
AND FIRE LANE
& UTILITY EASEMENT

LOT 3
25.0' ACCESS EASEMENT
AND FIRE LANE
& UTILITY EASEMENT

LOT 2
25.0' ACCESS EASEMENT
AND FIRE LANE
& UTILITY EASEMENT

LOT 1
25.0' ACCESS EASEMENT
AND FIRE LANE
& UTILITY EASEMENT

LOT 1
25.0' ACCESS EASEMENT
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AND FIRE LANE
& UTILITY EASEMENT

EXHIBIT "B"

SCALE: 1"=20'

COORDINATE SYSTEM OF 1983, TEXAS SOUTH

BEARING BASIS AS PER TEXAS

LEGEND

- FOUND NO. 4 REBAR
- SET NO. 4 REBAR WITH PLASTIC
- CAP STAMPED MELDEN & HUNT
- RIGHT OF WAY
- R.O.W. - HIDALGO COUNTY MAP RECORDS
- H.C.M.R. - HIDALGO COUNTY DEED RECORDS
- H.C.D.R. - HIDALGO COUNTY OFFICIAL RECORDS
- N.W. COR. - NORTHWEST CORNER
- P.O.B. - POINT OF BEGINNING
- P.O.C. - POINT OF COMMENCING
- W.D. - WARRANTY DEED
- S.W.D.W.V.L. - SPECIAL WARRANTY DEED WITH VENDOR'S LIEN
- - SAME OWNER
- LOT LINE

NOTES:

1. THIS SURVEY IS VALID ONLY IF PRINT, HAS ORIGINAL SEAL & SIGNATURE OF SURVEYOR.
2. SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE COMMITMENT WHICH MAY SHOW UNRECORDED EASEMENTS OR ENCUMBRANCES. THE SURVEYOR IS ADVISING THE RECIPIENT OF THIS PLAT THAT ADDITIONAL EASEMENTS MAY AFFECT THIS TRACT.
3. ALL BEARINGS AND DISTANCES ARE BASED ON GRID COORDINATES.

PLAT SHOWING
14,998 ACRES BEING ALL OF LOTS 2 THROUGH 15
AND PART OF NORTHPOINT DRIVE,
NORTHPOINT SUBDIVISION PHASE I,
VOLUME 34, PAGE 24, H.C.M.R.
AND OUT OF LOT 6, BLOCK 4,
STEELE AND PERSHING SUBDIVISION,
VOLUME 8, PAGE 114, H.C.D.R.
CITY OF EDINBURG
HIDALGO COUNTY, TEXAS



I, FRED L. KURTH, A REGISTERED PROFESSIONAL LAND SURVEYOR, DO HEREBY CERTIFY THE FOREGOING PLAT TO BE TRUE AND CORRECT REPRESENTATION OF A SURVEY MADE ON THE GROUND ON 10/12/2020 UNDER MY DIRECTION AND SUPERVISION.

Fred L. Kurth
FRED L. KURTH, RPLS No. 4750 DATE: 11-2-20

MELDEN & HUNT INC.
CONSULTANTS • ENGINEERS • SURVEYORS

BOOK: T- PG.
EDINBURG, TX 78541
DATE: 11/02/2020
JOB No. 20610
FILE NAME: 20610
DRAWN BY: J.G.
www.meldenandhunt.com

TEPELS No. 10098900

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DEPUTY _____

HAILE C. SEUN, P.E., C.F.M.
GENERAL MANAGER

DATE _____



MELDREN & HUNT, INC.
COMMERCIAL PRINTS • SIGNAGE • PHOTOGRAPHY



**CRYSTAL MEADOWS SUBDIVISION
STAFF REPORT**

DATE: 11/30/2020

Planning & Zoning Meeting – December
8, 2020

APPLICATION:

Preliminary Plat Approval of Crystal
Meadows Subdivision

APPLICANT:

Jorge & Sofia Del Toro

ENGINEERING FIRM:

Melden & Hunt, Inc.

LEGAL:

Being a 5.494 acres being a part or portion
out of Lot 3, Block 4, John Closner
Subdivision

LOCATION:

Located approximately 1,180 feet north of
the intersection of Wisconsin Road and S.
Veterans Boulevard

CURRENT USE OF PROPERTY:

Suburban Residential

EXISTING ZONING & LAND USE:

Suburban Residential

SURROUNDING LAND USE:

Commercial General (CG) to the north and
west, Neighborhood Conservation 5(NC5),
to the east, Neighborhood Conservation 7
(NC.7), to the south

ACCESS AND CIRCULATION:

This property has access to S. Veterans
Boulevard

PUBLIC SERVICES:

Water Distribution System is within City of
Edinburg Distribution System –Sanitary
Sewer CNN- City of Edinburg.

STAFF REPORT
CRYSTAL MEADOWS SUBDIVISION
PAGE 2

RECOMMENDATION:

Staff recommends approval of the Preliminary Plat subject to the following requirements.

EVALUATION AND REQUIREMENTS FOR APPROVAL

The following is the staff's evaluation and requirements for the approval of this preliminary plat application. The requirements represent a comprehensive review but does not preclude the City of Edinburg from identifying other requirements deemed necessary for the proper development of the subdivision.

PLANNING & ZONING DEPARTMENT:

In Accordance to the Unified Development Code (UDC) the purpose is to implement the City of Edinburg's Comprehensive Plan. This code is adopted pursuant to the authority granted by the constitution and laws of the State of Texas Local Government Code, Texas Water Code and pursuant to the home rule authority provided in the City's Home Rule Chapter.

PUBLIC WORKS / ENGINEERING DEPARTMENT:

In Accordance to Article 8, Section 8.00 – Streets, Utilities, and Drainage requirements, Section 8.218. A.B Engineering Standards Manual - The City Engineer shall promulgate and maintain an Engineering Standards Manual that specifies the minimum construction standards for streets, drainage, and other infrastructure within the City and its ETJ. New construction of streets, drainage systems, storm water requirements and other infrastructure shall comply with the applicable provisions of the Engineering Standards Manual, latest edition.

UTILITIES DEPARTMENT:

In Accordance to Article 8, Section 8.218.A.B Water Supply requirements - The City Engineer shall promulgate and maintain an Engineering Standards Manual that specifies the minimum construction standards for water, sewer and other infrastructure within the City and its ETJ. New construction of water distribution system, sewer collection system in accordance to a Master Plan, proposed or upgrade of lift stations, proposed or upgrade of booster stations shall comply with the applicable provisions of the Engineering Standards Manual, latest edition.

FIRE DEPARTMENT:

In Accordance to Article 8, Section 8.402.B Fire Flows and Hydrants - The City Engineer Fire Marshal shall promulgate and maintain an Engineering Standards Manual that specifies the minimum construction standards for water and Fire Hydrants within the City and its ETJ. New construction of water system to include fire hydrants shall comply compliance with the applicable provisions of the Engineering Standards Manual, latest edition.

ATTACHMENTS: Subdivision Plat, Subdivision Site Map, Staff comments



AERIAL MAP

CASE CAPTION:

SUBDIVISION NAME:

CRYSTAL MEADOWS

Legend

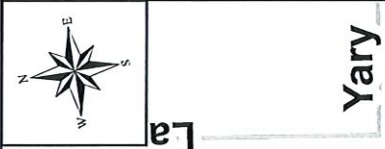


CITY LIMITS

SUBDIVISION SITE

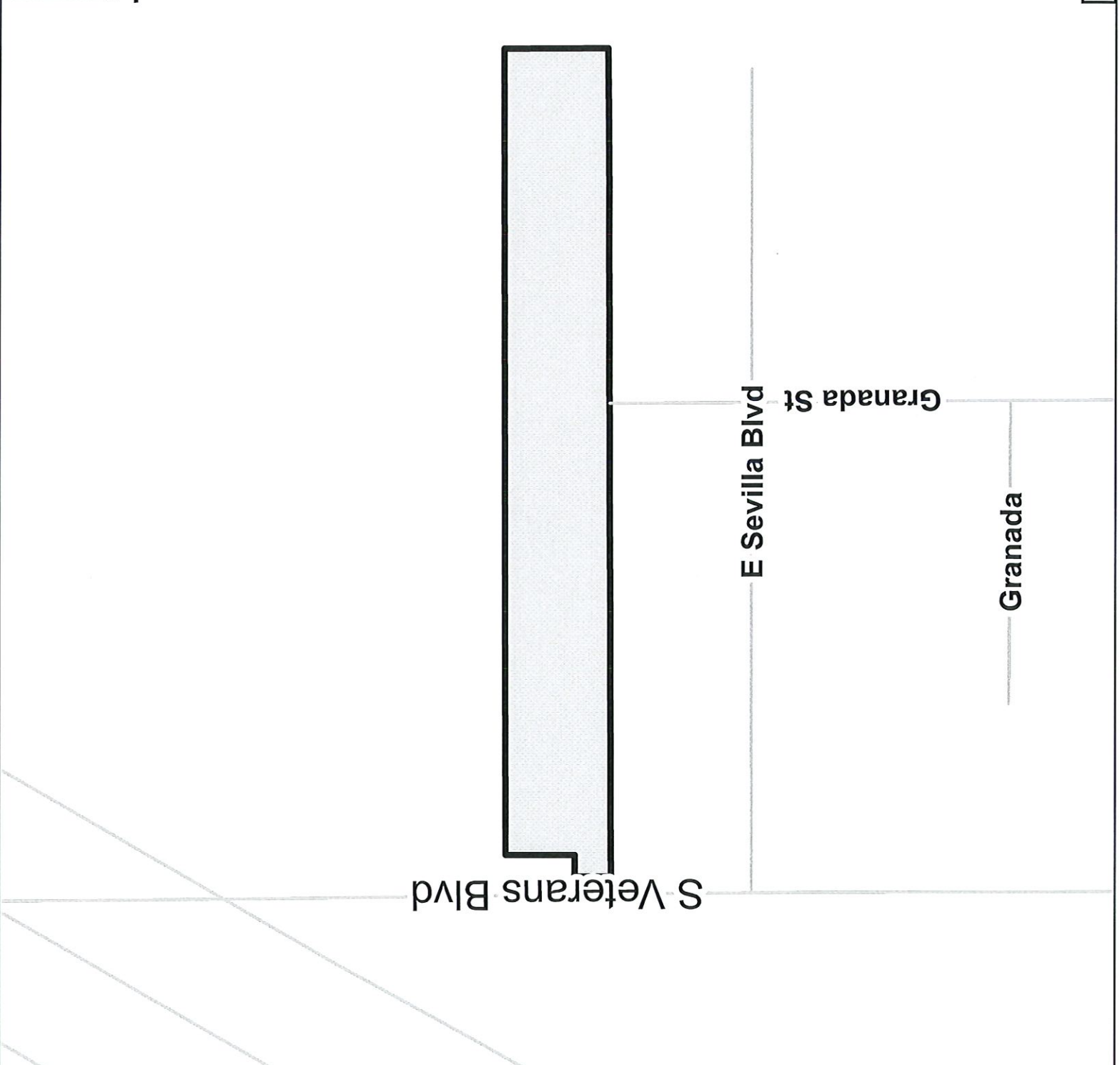
SITE LOCATION MAP





SITE MAP

CASE CAPTION:
SUBDIVISION NAME:
CRYSTAL MEADOWS



Legend

- CITY LIMITS
- SUBDIVISION SITE

SITE LOCATION MAP





ENGINEERING DEPARTMENT

Preliminary Staff Review

November 20, 2020

Mario Reyna, P.E.

Melden & Hunt Inc.
115 W. McIntyre
Edinburg, TX 78541
(956) 381-0981

RE: CRYSTAL MEADOWS SUBDIVISION – PRELIMINARY REVIEW

Mr. Reyna,

Attached are the Preliminary Phase Submittal comments for the Crystal Meadows Subdivision.

Any questions feel free to contact us.

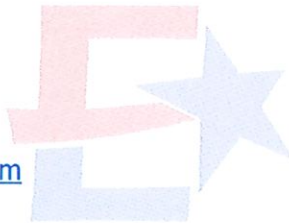
Thanks,

Digitally signed by
Gerardo Carmona
Date: 2020.11.20
11:25:45 -06'00'

Gerardo Carmona Jr., P.E.

Email: gcarmona@cityofedinburg.com

415 W. University Drive
Edinburg, Texas 78539



Cc: Mardoqueo Hinojosa, P.E., CFM, City Engineer, Patrizia Longoria, Engineer III, Abel Beltran, Subdivision Coordinator, Vince Romero, Director of Public Works, Robert Valenzuela, Storm Water Specialist, Kimberly Mendoza, Director of Planning and Zoning, Rita Guerrero, Urban Planner, Jessica Ramirez, Urban Planner, Arturo Martinez, Director of Utilities, Jose Flores, Systems Superintendent, Omar Garza, Fire Marshal

REFERENCES:

City of Edinburg – 2014 Standard Manual – Construction and Development Requirements;
Unified Development Code; and if required a TX-Dot Permitting UIR permitting process.

1. All utilities underground the street must have a min. 3' of cover.
2. Label all street widths.
3. Show the location of the substation is to be at top of ditch elevation. Also, compare Vietnam Blvd. elevations vs new elevations. New streets must not be lower than Vietnam Blvd.
4. Show existing elevations on the drainage ditch.
5. Show all valley gutters. Valley gutters are to be 6' wide.
6. Provide Drainage and Draining Profiles. Provide inlets every 800' max.
7. Provide Street Light Layout Plan. Street lights are to be spaced 250' max. Also, Provide Signage and
8. Provide a drainage worksheet (see attached worksheet).
9. Provide approved drainage report prior to recording of the plat.
10. Show street profiles with any required vertical curves.
11. Show COE standard details.
12. Label all street radius and must comply with COE radius requirements.
13. All street slopes must have a min. slope of 0.2%.

PROJECT NO. 20550.00

CLIENT: HNTB & HNTB INC.

PROJECT: HNTB & HNTB INC.

DATE: 11/11/2020

SCALE: 1" = 40'

AS NOTED

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CRISTAL MEADOWS SUBD

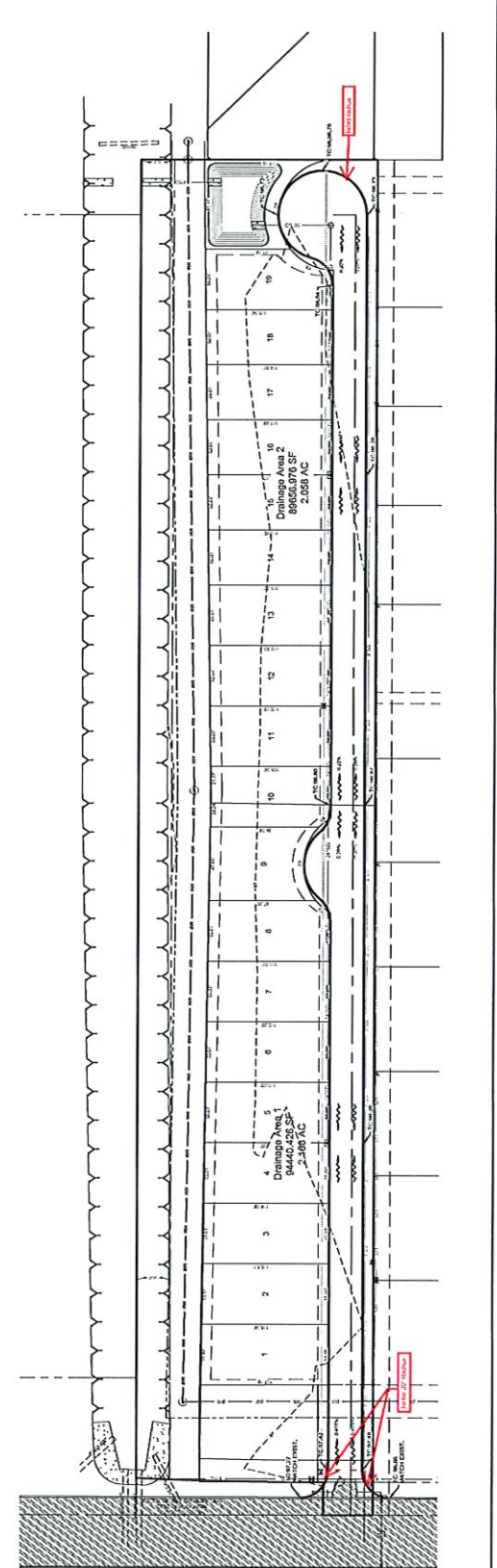
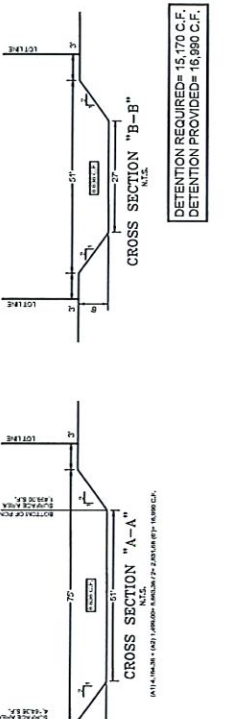
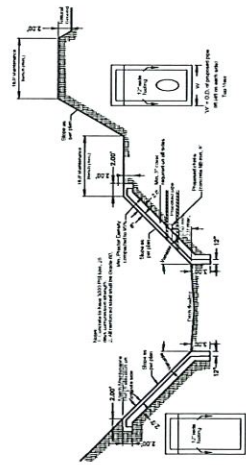
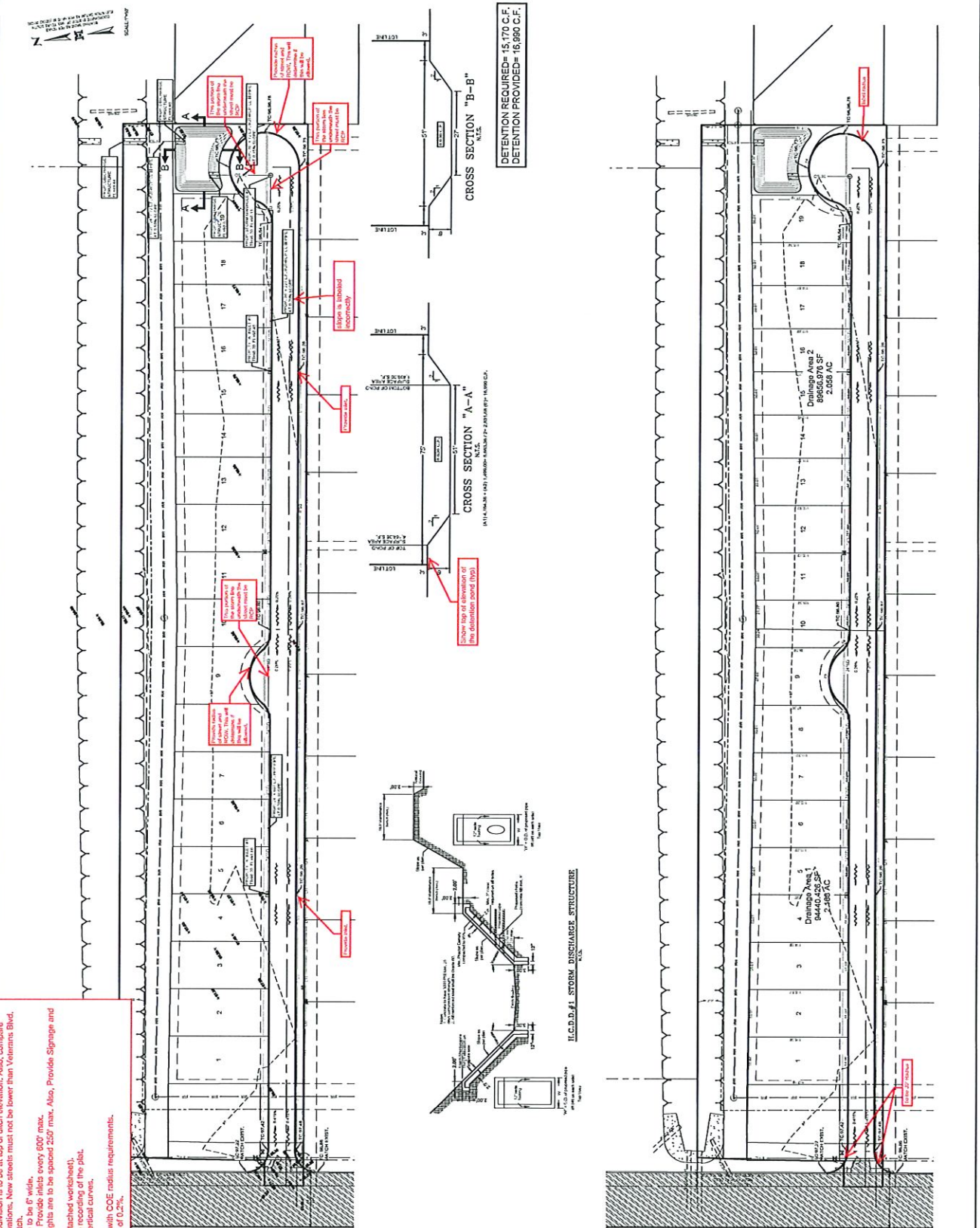
EDINBURG, TEXAS

HIDALGO COUNTY

DRAINAGE & GRADING LAYOUT & GRADING AREAS

DETENTION REQUIRED= 15,470 C.F.

DETENTION PROVIDED= 16,990 C.F.



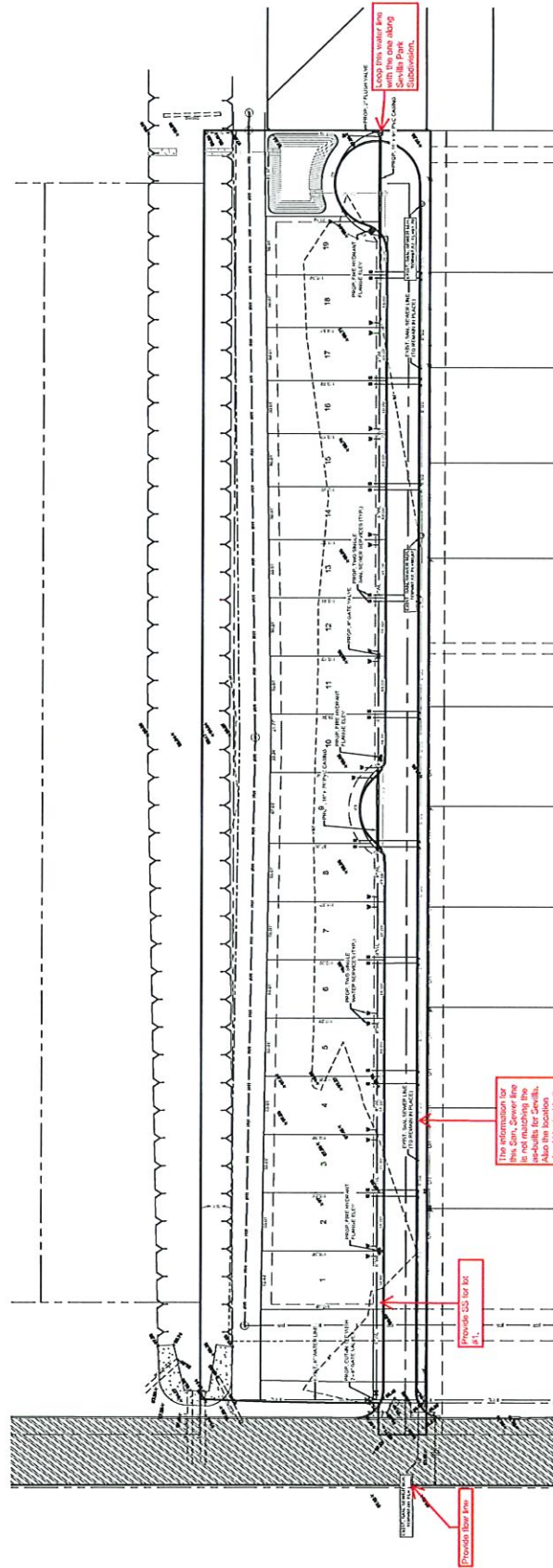
UTILITY LAYOUT

CRYSTAL MEADOWS SUBD
EDINBURG, TEXAS
HIDALGO COUNTY

THIS DOCUMENT IS RELEASED
FROM THE BUREAU OF PRISON
UNDER THE AUTHORITY OF
WARD A. BROWN, JR., ATTORNEY
ON NOVEMBER 2, 2003. IT IS NOT
TO BE USED FOR COMING TO THE
BUREAU OF PRISON PURPOSES.

PROJECT ENG WARD REVIEW	1400K 7-11-13 PM 13	1. RELEASE DATE	2. RELEASE DATE	3. RELEASE DATE	SCALE	AS NOTED
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<p> WELDEN & HUNT INC. 115 W. BALDWIN ST. CHICAGO, ILL. 60607 TEL: 312/341-1100 FAX: 312/341-1101 WWW.WELDENHUNT.COM </p>	
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1. All SS lines must have a min. 3' of cover.
2. Show COE standard Details.
3. Manholes are not to be in conflict with the curb and gutter. Please adjust.
4. Clarify if there will be a water and SS service for the park.

The information for this San Sewer line is not matching the as-builts for Sevilla. Also the location should be inside the easement for Sevilla sub'd. Please verify this information.

Provide SS for lot #1.

Provide flow line

MEMORANDUM

TO: Jessica Lee Ramirez, Urban Planner
FROM: Omar Garza, Deputy Chief
DATE: November 17, 2020
RE: **Crystal Meadows**
Melden & Hunt

After reviewing the above referenced plat, the following comments were noted:

1. Provide street details. Street should be 32ft. B-B
2. 8" water main needs to be looped.
3. Provide street names.
4. Block length is over the maximum length and lots.
5. Paint Fire lanes next to fire hydrants
6. Place blue markers for fire hydrants on street.
7. Move fire hydrant from lot 19 to between lot 18 and 19

THE CITY OF **Edinburg** DEPARTMENT OF PUBLIC WORKS

To: Abel Beltran, Subdivision Coordinator
Jessica Ramirez, Urban Planner

From: Robert Valenzuela, Stormwater Manager

Date: November 19, 2020

Subject: Crystal Meadows Subdivision

5.494 Acres

1. SW3P (Stormwater Pollution Prevention Plan)
2. NOI (Notice of Intent, Per TCEQ)
3. Large Construction Notice (Per TCEQ Inventory)
4. Detailed Erosion Control Plan (Silt Fence, Construction Entrance, Inlet Protection) 2



Planning and Zoning Department

PRELIMINARY SUBDIVISION STAFF REVIEW COMMENTS

Company: Melden & Hunt, Inc.
Attention: Mario Reyna, P.E., Project Engineer
From: Abel Beltran, Planner I
Date: November 19, 2020
Re: **CRYSTAL MEADOWS SUBDIVISION – City Limits**

The following is the staff's evaluation and requirements for the information submitted to our office by the project engineer. The requirements represent a comprehensive review but do not preclude the City of Edinburg from identifying other requirements deemed necessary for the proper development of the subdivision.

SUBMITTALS:

Subdivision Plat:

Preliminary Review confirm process based existing zoning and proposed, lots, block length, corner clip, setbacks, street right-of-way dedication, easements, finish floor elevation, metes and bounds, vicinity map, owners, notary, districts, engineers and surveyor acknowledgments, street name, flood zone, etc. Variances required for proposed right-of-way (Street Section) and block length.

Water Layout Plan:

A Proposed NAWSC 8" Water Distribution System for said development will be placed on the north side of proposed 40-foot street right-of-way, to include fire protection connecting and looping to an existing 8" Water line and shall comply with the spacing of proposed hydrant(s).

Sewer Layout Plan:

Development will utilize an existing City of Edinburg 8" Sanitary Sewer system located 5-ft north of south property line of development or proposed street right-of-way.

Paving & Drainage Plan:

Proposed Street minimum right-of-way shall be 50-feet with a pavement section of a 32-feet B-B to include street lights. On-site drainage system onto a proposed detention pond with an outfall system is proposed.

Drainage Report:

Report submitted can be preliminary without H.C.D.D. #1 approval with pending County approval.





Planning and Zoning Department

GENERAL REQUIREMENTS FINDINGS:

1. Must comply with the Unified Development Code adopted in 2014 with Article 3- District and Bulk Standards for lot area, lot width, setbacks and block length as required by code.
2. General Plat Notes to indicate; parkland fees, flood zoned designation, correct setbacks, finish floor elevation, SW3P Requirements, detention, sidewalk, utilities provider and other notes as required based on development.
3. In Accordance to Unified Development Code adopted in 2014, Article 8 Street, Utilities and Drainage and in City of Edinburg 2014 Standards Manual, with Street Right of way dedication as noted on Table 8.204.
4. In Accordance to Section 8.213 Sidewalks and Code of Ordinances Chapter 98 – Sidewalks shall be five (5) foot for perimeter streets arterial, collector or higher classification.

FIRE DEPARTMENT FINDINGS:

1. The Fire Marshal's office requires fire hydrant be located on 600-foot intervals with blue buttons are placed at center of street and on the lane hydrant is located.
2. Must submit proposed street names prior to the Pre-construction process for approval.

ENGINEERING DEPARTMENT FINDINGS:

1. In Accordance to Section 8.218.A.B Engineering Standards Manual - The City Engineer shall promulgate and maintain an Engineering Standards Manual that specifies the minimum construction standards for streets, drainage, and other infrastructure within the City and its ETJ. New construction of streets, drainage systems, and other infrastructure shall comply with the applicable provisions of the Engineering Standards Manual, latest edition.
2. Development shall comply with the erosion and traffic control devices.
3. A proposed designed drainage system with curb inlet spaced at 600-foot intervals separation based on a designed basin areas exhibit with an approved drainage outfall system.
4. Additional easements are required for street light between lots as designated.
5. Must attach the City of Edinburg Streets, Drainage, and erosion control details on the construction set of plans. (See Section 4 of the City of Edinburg 2014 Standards Manual)
6. Additional comments will be addressed at the review of the construction plans.

UTILITIES DEPARTMENT FINDINGS:

1. Water Supply Distribution will be addressed by North Alamo Water Supply Corporation. Sanitary Sewer Collection System will be addressed by City of Edinburg.

Additional Comments provided:

Cc: Kimberly Mendoza, MPA, Director of Planning & Zoning, Jessica Ramirez, Urban Planner I, Rita Guerrero, Urban Planner I, Mardoqueo Hinojosa, P.E., Director of Engineering, Vince Ayala, Director of Public Works, Gerardo Carmona, P.E., Engineering Assistant, Arturo Martinez, Director of Utilities, Jose Flores, Systems Superintendent, Omar Garza, Fire Marshal, Ramiro Gomez, Director of Solid Waste Management, Robert Valenzuela, Storm Water Specialist.





**SANTA CRUZ PHASE I SECTION IV-2 SUBDIVISION
STAFF REPORT**

DATE: 11/30/2020

Planning & Zoning Meeting – December
8, 2020

APPLICATION:

Preliminary Plat Approval of Santa Cruz
Phase I Section IV-2 Subdivision

APPLICANT:

SKC Development, LTD.

ENGINEERING FIRM:

Melden & Hunt, Inc.

LEGAL:

Being a resubdivision of 8.786 acres out of
Lot 1, La Sienna Development Vol. 53, Pg.
127, HCMR

LOCATION:

Located on the north east corner of Monte
Cristo Road and U.S Hwy. 281

CURRENT USE OF PROPERTY:

Auto Urban Residential (AU) District

EXISTING ZONING & LAND USE:

Auto Urban Residential (UR) District

SURROUNDING LAND USE:

Auto Urban Residential (UR) District to the
north, east, and south, and Suburban
Residential (SR) to the east

ACCESS AND CIRCULATION:

This property has access to Burns Blvd.

PUBLIC SERVICES:

Water Distribution System is within City of
Edinburg CCN –Sanitary Sewer CNN- City
of Edinburg.

STAFF REPORT
SANTA CRUZ PHASE I SECTION IV-2 SUBDIVISION
PAGE 2

RECOMMENDATION:

Staff recommends approval of the Preliminary Plat subject to the following requirements.

EVALUATION AND REQUIREMENTS FOR APPROVAL

The following is the staff's evaluation and requirements for the approval of this preliminary plat application. The requirements represent a comprehensive review but does not preclude the City of Edinburg from identifying other requirements deemed necessary for the proper development of the subdivision.

PLANNING & ZONING DEPARTMENT:

In Accordance to the Unified Development Code (UDC) the purpose is to implement the City of Edinburg's Comprehensive Plan. This code is adopted pursuant to the authority granted by the constitution and laws of the State of Texas Local Government Code, Texas Water Code and pursuant to the home rule authority provided in the City's Home Rule Chapter.

PUBLIC WORKS / ENGINEERING DEPARTMENT:

In Accordance to Article 8, Section 8.00 – Streets, Utilities, and Drainage requirements, Section 8.218. A.B Engineering Standards Manual - The City Engineer shall promulgate and maintain an Engineering Standards Manual that specifies the minimum construction standards for streets, drainage, and other infrastructure within the City and its ETJ. New construction of streets, drainage systems, storm water requirements and other infrastructure shall comply with the applicable provisions of the Engineering Standards Manual, latest edition.

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FIRE DEPARTMENT:

In Accordance to Article 8, Section 8.402.B Fire Flows and Hydrants - The City Engineer Fire Marshal shall promulgate and maintain an Engineering Standards Manual that specifies the minimum construction standards for water and Fire Hydrants within the City and its ETJ. New construction of water system to include fire hydrants shall comply compliance with the applicable provisions of the Engineering Standards Manual, latest edition.

ATTACHMENTS: Subdivision Plat, Subdivision Site Map, Staff comments

THE UNDERSIGNED, SUPERVISOR OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF HUNTERDENT COUNTY HAS REVIEWED THIS SUBDIVISION PLAT AND HAS APPROVED THE SAME IN ACCORDANCE WITH THE REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THE CITY OF HUNTERDENT COUNTY. THE CITY OF HUNTERDENT COUNTY HAS REVIEWED THE MAP RECORDS OF HUNTERDENT COUNTY, AND HAS BEEN ADVISED FOR RECORDING ON THE _____ DAY OF _____, 20____.

CHIEF OF PLANNING AND ZONING COMMISSION

FILED FOR RECORD IN
HUNTERDENT COUNTY, ALABAMA
HUNTERDENT COUNTY CLERK

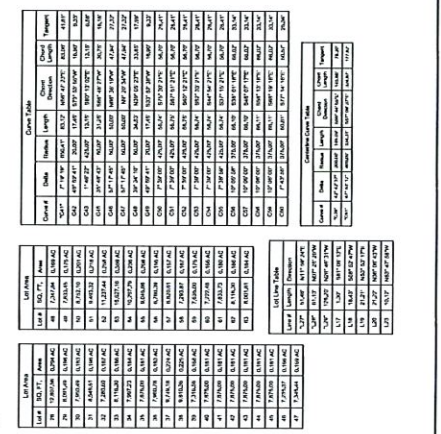
ON: _____ A.M./P.M.
INSTRUMENT NUMBER _____
OF THE MAP RECORDS OF HUNTERDENT COUNTY.

FILED _____ DAY OF _____, 20____

Figure 1 consists of three schematic diagrams labeled (a), (b), and (c), all enclosed in dashed boxes.

- (a) Top view of the experimental setup. A laser beam (L) is incident on a sample (S) at an angle θ . The sample is mounted on a stage (ST) which can move vertically (Z) and horizontally (X, Y). The sample is connected to a power supply (PS) and a voltmeter (V). The sample is also connected to a ground (GND). The sample is labeled 'S' and 'S'.
- (b) Side view of the experimental setup. A laser beam (L) is incident on a sample (S) at an angle θ . The sample is mounted on a stage (ST) which can move vertically (Z) and horizontally (X, Y). The sample is connected to a power supply (PS) and a voltmeter (V). The sample is also connected to a ground (GND). The sample is labeled 'S' and 'S'.
- (c) Top view of the experimental setup. A laser beam (L) is incident on a sample (S) at an angle θ . The sample is mounted on a stage (ST) which can move vertically (Z) and horizontally (X, Y). The sample is connected to a power supply (PS) and a voltmeter (V). The sample is also connected to a ground (GND). The sample is labeled 'S' and 'S'.

Core Task					
Slide	Slide Length	Core Description	Core Length	Core Topic	Core Length
1-2	1:00	Introduction	1:00	Introduction	1:00
3-4	1:00	Core Task 1	1:00	Core Task 1	1:00
5-6	1:00	Core Task 2	1:00	Core Task 2	1:00
7-8	1:00	Core Task 3	1:00	Core Task 3	1:00
9-10	1:00	Core Task 4	1:00	Core Task 4	1:00
11-12	1:00	Core Task 5	1:00	Core Task 5	1:00
13-14	1:00	Core Task 6	1:00	Core Task 6	1:00
15-16	1:00	Core Task 7	1:00	Core Task 7	1:00
17-18	1:00	Core Task 8	1:00	Core Task 8	1:00
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23-24	1:00	Core Task 11	1:00	Core Task 11	1:00
25-26	1:00	Core Task 12	1:00	Core Task 12	1:00
27-28	1:00	Core Task 13	1:00	Core Task 13	1:00
29-30	1:00	Core Task 14	1:00	Core Task 14	1:00
31-32	1:00	Core Task 15	1:00	Core Task 15	1:00
33-34	1:00	Core Task 16	1:00	Core Task 16	1:00
35-36	1:00	Core Task 17	1:00	Core Task 17	1:00
37-38	1:00	Core Task 18	1:00	Core Task 18	1:00
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109-110	1:00	Core Task 54	1:00	Core Task 54	1:00
111-112	1:00	Core Task 55	1:00	Core Task 55	1:00
113-114	1:00	Core Task 56	1:00	Core Task 56	1:00
115-116	1:00	Core Task 57			

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AERIAL MAP

CASE CAPTION:

SUBDIVISION NAME:
SANTA CRUZ PHASE I SECTION
IV-2

Legend

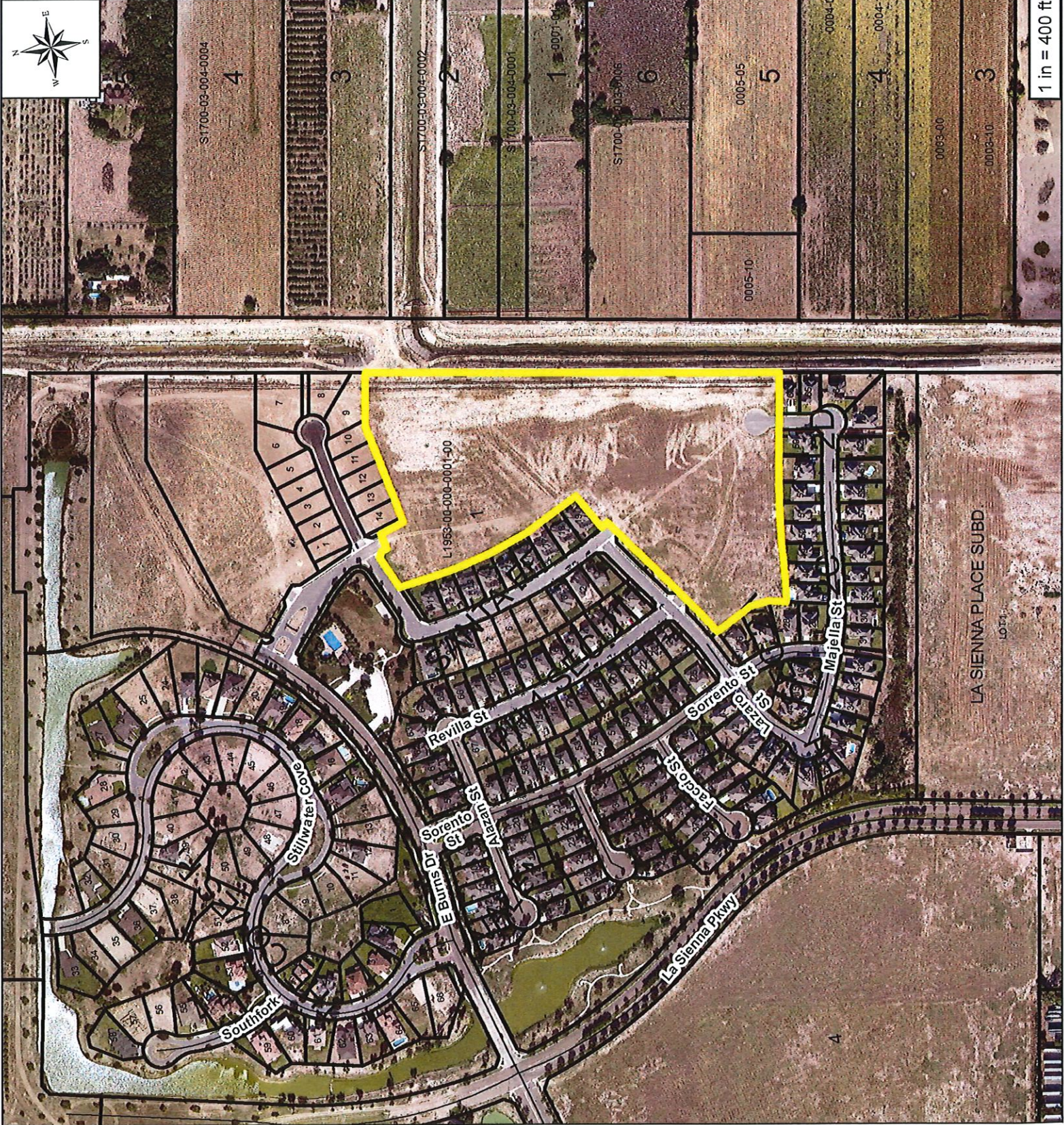


CITY LIMITS



SUBDIVISION SITE

SITE LOCATION MAP

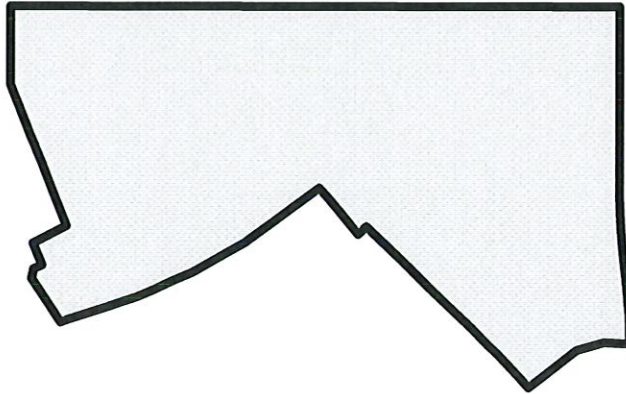




SITE MAP

CASE CAPTION:

SUBDIVISION NAME:
SANTA CRUZ PHASE I SECTION
IV-2



Legend



CITY LIMITS



SUBDIVISION SITE

SITE LOCATION MAP



1 in = 400 ft

Stillwater Cove

Southfork

E Burns Dr

Sorrento St

Revilla St

Alazan St

Battista St

Faccio St

Sorrento St

Lazaro St

Majella St

La Sienna Pkwy



ENGINEERING DEPARTMENT

Preliminary Staff Review

November 20, 2020

Mario Reyna, P.E.

Melden & Hunt
115 W. McIntyre
Edinburg, TX 78539
(956) 381-0981

RE: SANTA CRUZ SECTION 1 PHASE 4-2 – PRELIMINARY REVIEW

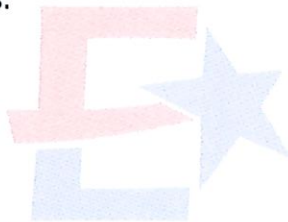
Mr. Reyna,

Attached are the Preliminary Phase Submittal comments for Santa Cruz Section 1 phase 4-2 Subdivision.

Any questions feel free to contact us.

Thanks,

Digitally signed by
Gerardo Carmona
Date: 2020.11.20
11:50:02 -06'00'



Gerardo Carmona Jr., P.E.

Email: gcarmona@cityofedinburg.com

415 W. University Drive
Edinburg, Texas 78539

Cc: Mardoqueo Hinojosa, P.E., CFM, City Engineer, Patrizia Longoria, Engineer III, Abel Beltran, Subdivision Coordinator, Vince Romero, Director of Public Works, Robert Valenzuela, Storm Water Specialist, Kimberly Mendoza, Director of Planning and Zoning, Rita Guerrero, Urban Planner, Jessica Ramirez, Urban Planner, Arturo Martinez, Director of Utilities, Jose Flores, Systems Superintendent, Omar Garza, Fire Marshal

REFERENCES:

City of Edinburg – 2014 Standard Manual – Construction and Development Requirements;
Unified Development Code; and if required a TX-Dot Permitting UIR permitting process.

[illegible]

PROJECT END: 09/01/2014	14:00:00 PM '14	1. RELEASE DATE	SCALE	AS NOTED
		2. RELEASE DATE		
		3. RELEASE DATE		

THIS DOCUMENT IS RELEASED
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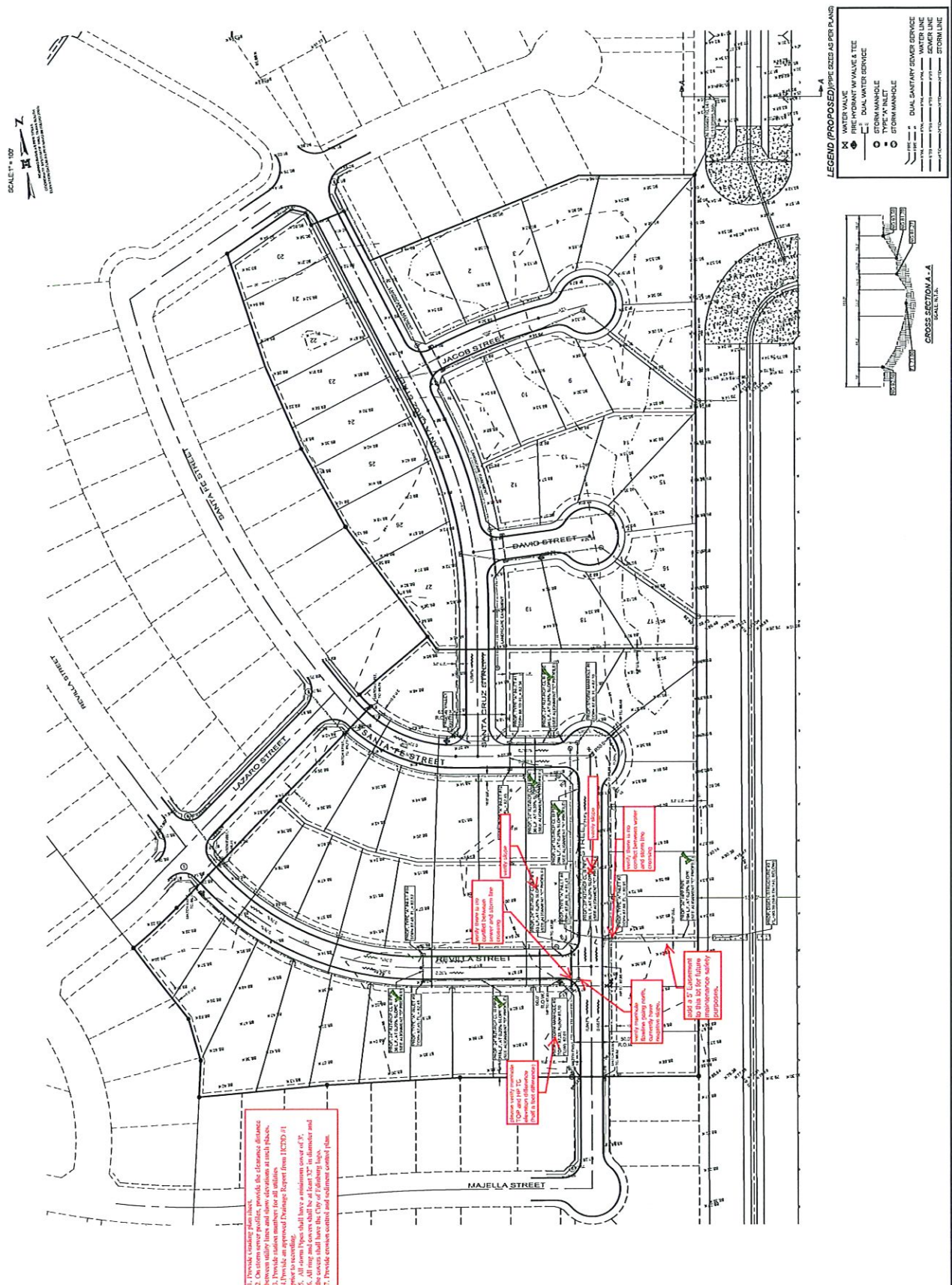
SANTA CRUZ SECTION I
PHASE IV
EDINBURG, TEXAS
HIDALGO COUNTY

DRAINAGE LAYOUT

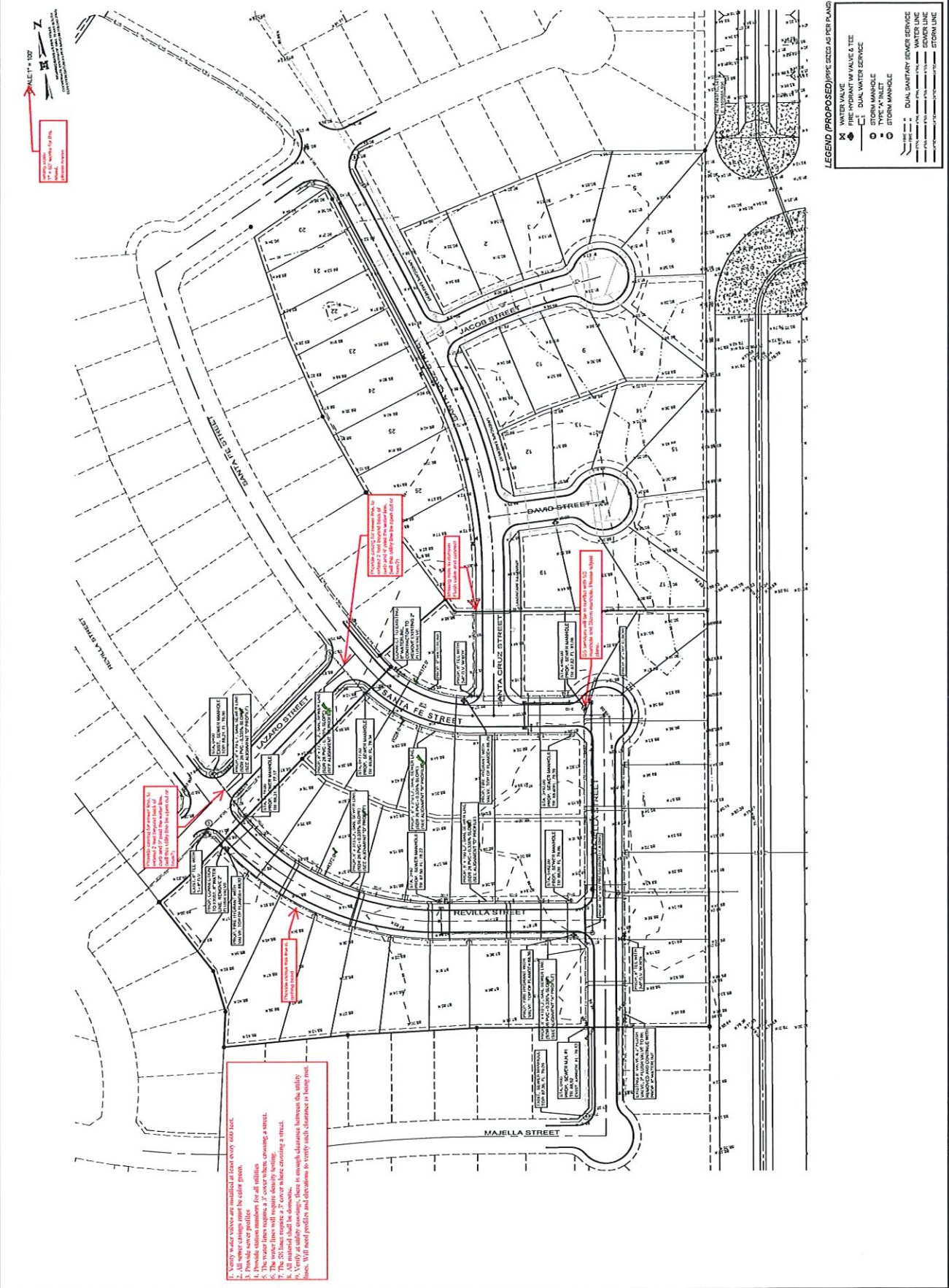
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File Name: 17099.00

SHEET 1 OF 1



1. Provide grading plan sheet.
2. On storm sewer profile, provide the clearance distance between utility lines and storm elevations at each pipe.
3. Provide raised manholes for all utilities.
4. Provide an approved Damage Report from ICDD #1 prior to recording.
5. All storm pipes shall have a minimum cover of 3'.
6. All man and covers shall be at least 32" in diameter and the covers shall have the City of Leebing logo.
7. Provide erosion control and sediment control plan.





Planning and Zoning Department

PRELIMINARY SUBDIVISION STAFF REVIEW COMMENTS

Company: Melden & Hunt, Inc.
Attention: Mario Reyna, P.E., Project Engineer
From: Abel Beltran, Planner I
Date: November 19, 2020
Re: **SANTA CRUZ SECTION 1 PHASE IV-2 – City Limits**

The following is the staff's evaluation and requirements for the information submitted to our office by the project engineer. The requirements represent a comprehensive review but do not preclude the City of Edinburg from identifying other requirements deemed necessary for the proper development of the subdivision.

SUBMITTALS:

Subdivision Plat: (Part of Master plan)

Preliminary Review confirm process based existing zoning and proposed, lots, block length, corner clip, setbacks, street right-of-way dedication, easements, finish floor elevation, metes and bounds, vicinity map, owners, notary, districts, engineers and surveyor acknowledgments, street name, flood zone, etc.

Water Layout Plan:

Based on a Water Master Plan system, extension an 8-inch water line system to accommodate proposed services to lots, required spacing of fire hydrants, and proper location of valves. All applicable fees required

Sewer Layout Plan:

Based on a Sewer Master Plan system, sewer system shall be placed as per approved engineering plans with manholes spaced at 500-ft intervals, intersections, and 4-inch service for each lot. All applicable fees required.

Paving & Drainage Plan:

All interior minor street shall concur to city standards. Proposed drainage system with inlets, manholes (If required) must be in accordance to standards. Need to submit system update on drainage master plan on parkway ditches current capacity.

Drainage Report:

Report submitted can be preliminary without H.C.D.D. #1 approval with pending County approval.





Planning and Zoning Department

GENERAL REQUIREMENTS FINDINGS:

1. Must comply with the Unified Development Code adopted in 2014 with Article 3- District and Bulk Standards for lot area, lot width, setbacks and block length as required by code.
2. General Plat Notes to indicate; parkland fees, flood zoned designation, correct setbacks, finish floor elevation, SW3P Requirements, detention, sidewalk, utilities provider and other notes as required based on development.
3. In Accordance to Unified Development Code adopted in 2014, Article 8 Street, Utilities and Drainage and in City of Edinburg 2014 Standards Manual, with Street Right of way dedication as noted on Table 8.204.
4. In Accordance to Section 8.213 Sidewalks and Code of Ordinances Chapter 98 – Sidewalks shall be five (5) foot for perimeter streets arterial, collector or higher classification.

FIRE DEPARTMENT FINDINGS:

1. The Fire Marshal's office requires fire hydrant be located on 600-foot intervals with blue buttons are placed at center of street and on the lane hydrant is located.
2. Must submit proposed street names prior to the Pre-construction process for approval.

ENGINEERING DEPARTMENT FINDINGS:

1. In Accordance to Section 8.218.A.B Engineering Standards Manual - The City Engineer shall promulgate and maintain an Engineering Standards Manual that specifies the minimum construction standards for streets, drainage, and other infrastructure within the City and its ETJ. New construction of streets, drainage systems, and other infrastructure shall comply with the applicable provisions of the Engineering Standards Manual, latest edition.
2. Development shall comply with the erosion and traffic control devices.
3. A proposed designed drainage system with curb inlet spaced at 600-foot intervals separation based on a designed basin areas exhibit with an approved drainage outfall system.
4. Additional easements are required for street light between lots as designated.
5. Must attach the City of Edinburg Streets, Drainage, and erosion control details on the construction set of plans. (See Section 4 of the City of Edinburg 2014 Standards Manual)
6. Additional comments will be addressed at the review of the construction plans.

UTILITIES DEPARTMENT FINDINGS:

1. Water Supply Distribution and Sanitary Sewer Collection Systems will be addressed by City of Edinburg Utility Department.

Additional Comments provided:

Cc: Kimberly Mendoza, MPA, Director of Planning & Zoning, Jessica Ramirez, Urban Planner I, Rita Guerrero, Urban Planner I, Mardoqueo Hinojosa, P.E., Director of Engineering, Vince Ayala, Director of Public Works, Gerardo Carmona, P.E., Engineering Assistant, Arturo Martinez, Director of Utilities, Jose Flores, Systems Superintendent, Omar Garza, Fire Marshal, Ramiro Gomez, Director of Solid Waste Management, Robert Valenzuela, Storm Water Specialist.





To: Abel Beltran, Subdivision Coordinator
Jessica Ramirez, Urban Planner

From: Robert Valenzuela, Stormwater Manager

Date: November 19, 2020

Subject: Santa Cruz Section I Phase I Section IV

5.494 Acres

1. SW3P (Stormwater Pollution Prevention Plan)
2. NOI (Notice of Intent, Per TCEQ)
3. Large Construction Notice (Per TCEQ Inventory)
4. Detailed Erosion Control Plan (Silt Fence, Construction Entrance, Inlet Protection)

MEMORANDUM

TO: Jessica Lee Ramirez, Urban Planner

FROM: Omar Garza, Deputy Chief

DATE: November 17, 2020
Santa Cruz Section I Phase IV -2
Melden & Hunt

After reviewing the above referenced plat, the following comments were noted:

1. Provide street details. Street should be 32ft. B-B
2. Paint Fire lanes next to fire hydrants
3. Place blue markers for fire hydrants on street.
4. Fire Hydrants should be at max 600 feet separation.



**SHUNIOR ESTATES SUBDIVISION
STAFF REPORT**

DATE: 11/30/2020

Planning & Zoning Meeting – December
8, 2020

APPLICATION:

Preliminary Plat Approval of Shunior Estates
Subdivision

APPLICANT:

JPO Enterprises, Inc.

ENGINEERING FIRM:

Melden & Hunt, Inc.

LEGAL:

Being 3.969 acres consisting of 3.797 acres
out of Lot 9, Outlot "C" Amended Map of
Edinburg and 0.172 of one acre being all of
the north 50 feet of Lot 2 of Judy Anne
Subdivision.

LOCATION:

Located at 500 E. Shunior Street

CURRENT USE OF PROPERTY:

Urban Residential (UR) District

EXISTING ZONING & LAND USE:

Urban Residential (UR) District

SURROUNDING LAND USE:

Industrial (I) District to the north, east, and
south. Urban Residential (UR) District to the
west

ACCESS AND CIRCULATION:

This property has access to West E. Shunior
Street

PUBLIC SERVICES:

Water Distribution System is within City of
Edinburg Distribution System –Sanitary
Sewer CNN- City of Edinburg.

STAFF REPORT
SHUNIOR ESTATES SUBDIVISION
PAGE 2

RECOMMENDATION:

Staff recommends approval of the Preliminary Plat subject to the following requirements.

EVALUATION AND REQUIREMENTS FOR APPROVAL

The following is the staff's evaluation and requirements for the approval of this preliminary plat application. The requirements represent a comprehensive review but does not preclude the City of Edinburg from identifying other requirements deemed necessary for the proper development of the subdivision.

PLANNING & ZONING DEPARTMENT:

In Accordance to the Unified Development Code (UDC) the purpose is to implement the City of Edinburg's Comprehensive Plan. This code is adopted pursuant to the authority granted by the constitution and laws of the State of Texas Local Government Code, Texas Water Code and pursuant to the home rule authority provided in the City's Home Rule Chapter.

PUBLIC WORKS / ENGINEERING DEPARTMENT:

In Accordance to Article 8, Section 8.00 – Streets, Utilities, and Drainage requirements, Section 8.218. A.B Engineering Standards Manual - The City Engineer shall promulgate and maintain an Engineering Standards Manual that specifies the minimum construction standards for streets, drainage, and other infrastructure within the City and its ETJ. New construction of streets, drainage systems, storm water requirements and other infrastructure shall comply with the applicable provisions of the Engineering Standards Manual, latest edition.

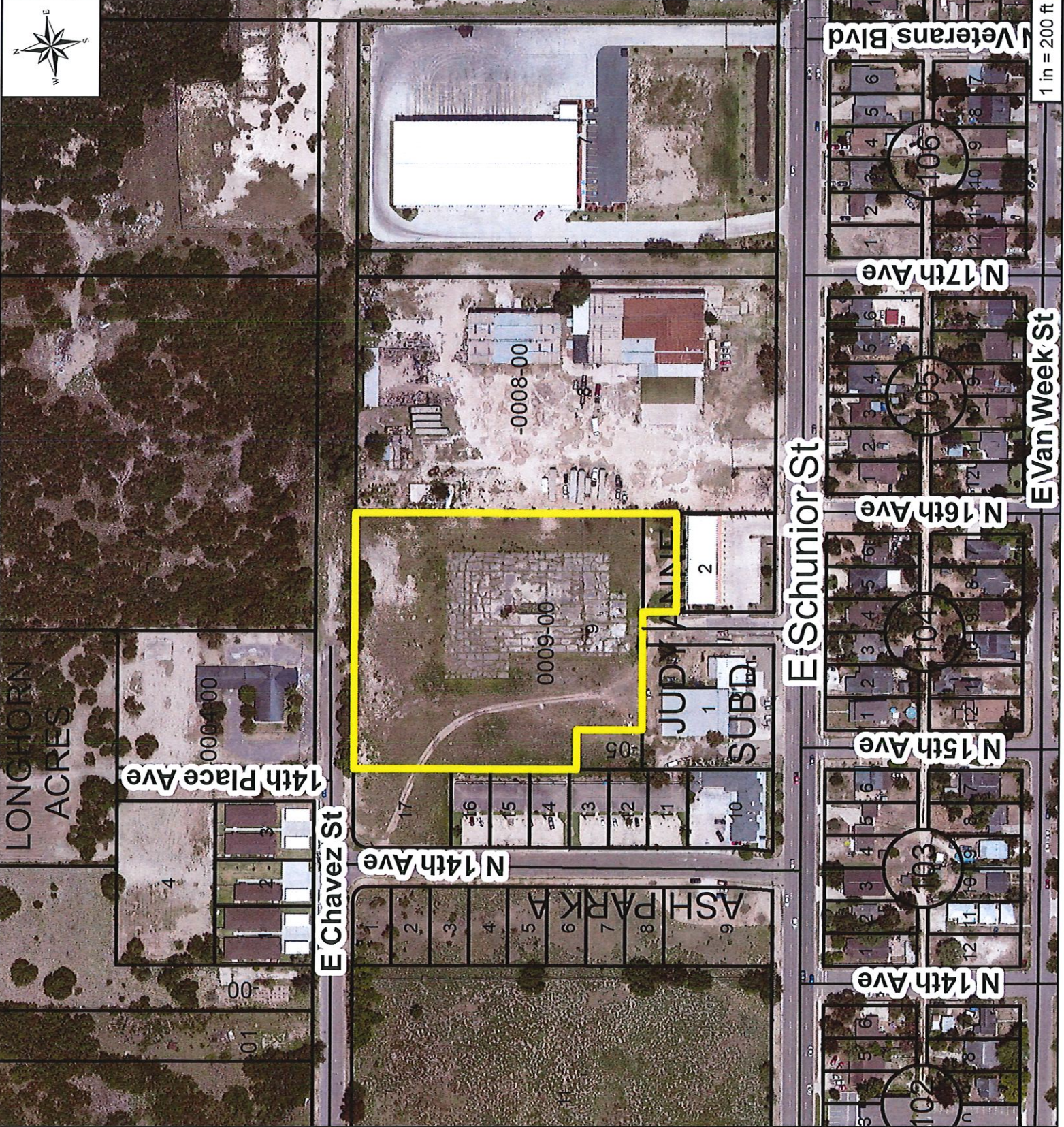
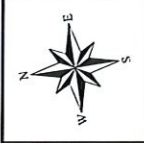
UTILITIES DEPARTMENT:

In Accordance to Article 8, Section 8.218.A.B Water Supply requirements - The City Engineer shall promulgate and maintain an Engineering Standards Manual that specifies the minimum construction standards for water, sewer and other infrastructure within the City and its ETJ. New construction of water distribution system, sewer collection system in accordance to a Master Plan, proposed or upgrade of lift stations, proposed or upgrade of booster stations shall comply with the applicable provisions of the Engineering Standards Manual, latest edition.

FIRE DEPARTMENT:

In Accordance to Article 8, Section 8.402.B Fire Flows and Hydrants - The City Engineer Fire Marshal shall promulgate and maintain an Engineering Standards Manual that specifies the minimum construction standards for water and Fire Hydrants within the City and its ETJ. New construction of water system to include fire hydrants shall comply compliance with the applicable provisions of the Engineering Standards Manual, latest edition.

ATTACHMENTS: Subdivision Plat, Subdivision Site Map, Staff comments



AERIAL MAP

CASE CAPTION:

SUBDIVISION NAME:

SCHUNIOR ESTATES

Legend

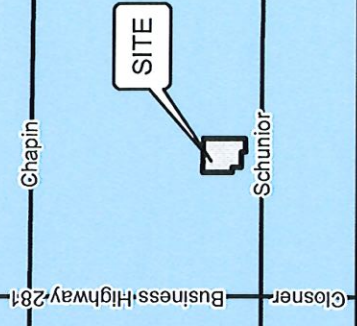


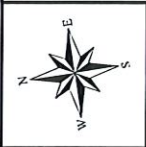
CITY LIMITS



SUBDIVISION SITE

SITE LOCATION MAP





SITE MAP

CASE CAPTION:

SUBDIVISION NAME:

SCHUNIOR ESTATES

Legend

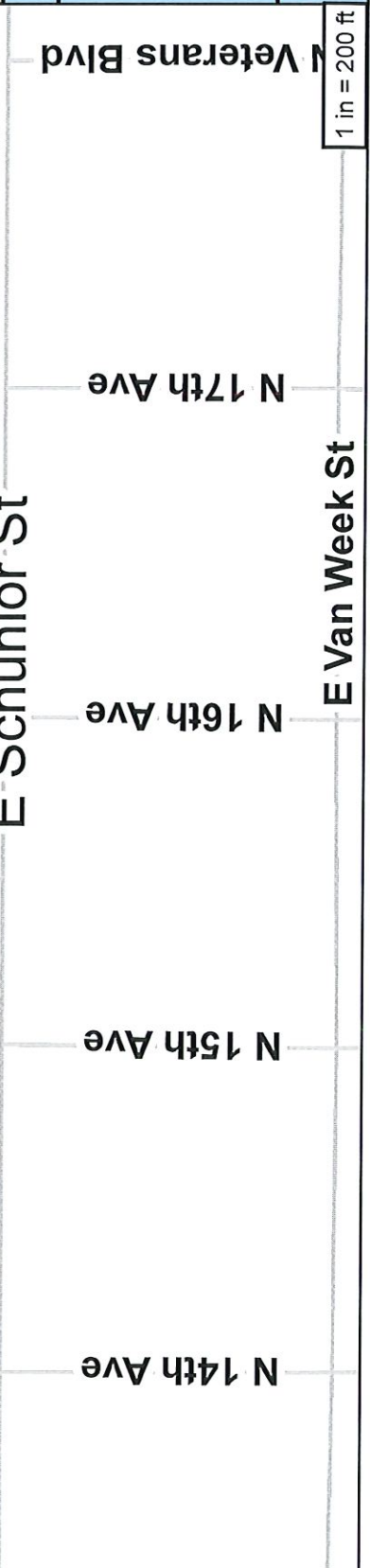


CITY LIMITS



SUBDIVISION SITE

SITE LOCATION MAP



14th Place Ave

E Chavez St

N 14th Ave

N 15th Pl

E Schunior St

N 14th Ave

N 15th Ave

N 16th Ave

N 17th Ave

SITE



ENGINEERING DEPARTMENT

Preliminary Staff Review

November 20, 2020

Mario Reyna, P.E.

Melden & Hunt Inc.
115 W. McIntyre
Edinburg, TX 78541
(956) 381-0981

RE: SCHUNIOR ESTATES SUBDIVISION – PRELIMINARY REVIEW

Mr. Reyna,

Attached are the Preliminary Phase Submittal comments for the Schunior Estates Subdivision.

Any questions feel free to contact us.

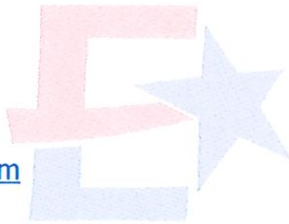
Thanks,

Digitally signed by
Gerardo Carmona
Date: 2020.11.19
16:14:26 -06'00'

Gerardo Carmona Jr., P.E.

Email: gcarmona@cityofedinburg.com

415 W. University Drive
Edinburg, Texas 78539

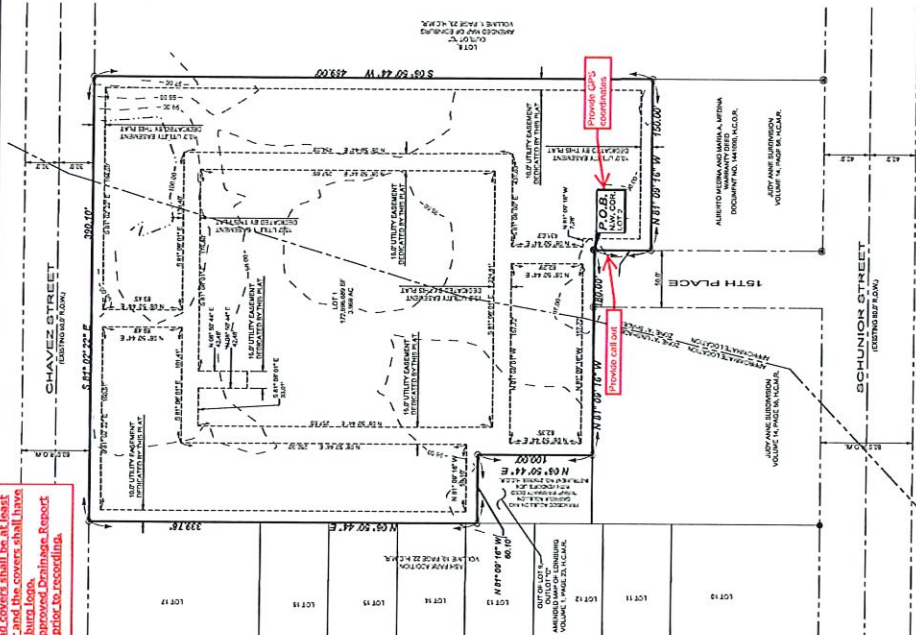


Cc: Mardoqueo Hinojosa, P.E., CFM, City Engineer, Patrizia Longoria, Engineer III, Abel Beltran, Subdivision Coordinator, Vince Romero, Director of Public Works, Robert Valenzuela, Storm Water Specialist, Kimberly Mendoza, Director of Planning and Zoning, Rita Guerrero, Urban Planner, Jessica Ramirez, Urban Planner, Arturo Martinez, Director of Utilities, Jose Flores, Systems Superintendent, Omar Garza, Fire Marshal

REFERENCES:

City of Edinburg – 2014 Standard Manual – Construction and Development Requirements;
Unified Development Code; and if required a TX-Dot Permitting UIR permitting process.

General Comments:
 1. All materials shall be domestic.
 2. All pipes shall have a minimum cover of 36 inches.
 3. All ring and covers shall be at least 18 inches high and the covers shall have the City of Edinburg logo.
 4. Provide an approved Drainage Report from HCDP #1 prior to recording.



SCHUNIOR ESTATES SUBDIVISION BEING A RESUBDIVISION OF 3.969 ACRES CONSISTING OF: 3.797 ACRES OUT OF LOT 9, OUTLOT "C", OF THE AMENDED MAP OF EDINBURG AND 0.172 OF ONE ACRE BEING ALL OF THE NORTH 50 FEET OF LOT 2 OF JUDY ANNE SUBDIVISION CITY OF EDINBURG, HIDALGO COUNTY, TEXAS



SCALE: 1" = 50'

SPECIAL NOTES AND REQUIREMENTS

1. THE PROPERTY IS BEING SUBDIVIDED INTO LOTS AND OUTLOTS AS SHOWN ON THIS PLAT. THE SUBDIVISION IS BEING MADE IN ACCORDANCE WITH THE SUBDIVISION ACT, CHAPTER 251, TEXAS VEHICLES CODE, AND THE SUBDIVISION ACT, CHAPTER 252, TEXAS VEHICLES CODE.
2. THE PROPERTY IS BEING SUBDIVIDED INTO LOTS AND OUTLOTS AS SHOWN ON THIS PLAT. THE SUBDIVISION IS BEING MADE IN ACCORDANCE WITH THE SUBDIVISION ACT, CHAPTER 251, TEXAS VEHICLES CODE, AND THE SUBDIVISION ACT, CHAPTER 252, TEXAS VEHICLES CODE.
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METER AND BOUNDS DESCRIPTION

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STATE OF TEXAS
 COUNTY OF HIDALGO
 I, _____, COUNTY CLERK OF SAID COUNTY, DO HEREBY CERTIFY THAT THE FOREGOING PLAT WAS FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK OF SAID COUNTY ON THIS _____ DAY OF _____, 20____, AT _____ O'CLOCK _____ M., P.M., AND THAT THE SAME IS A TRUE AND CORRECT REPRESENTATION OF THE SUBDIVISION OF THE LANDS AS SHOWN ON THE PLAT HEREIN SUBMITTED.

STATE OF TEXAS
 COUNTY OF HIDALGO
 I, _____, COUNTY CLERK OF SAID COUNTY, DO HEREBY CERTIFY THAT THE FOREGOING PLAT WAS FILED FOR RECORD IN THE OFFICE OF THE COUNTY CLERK OF SAID COUNTY ON THIS _____ DAY OF _____, 20____, AT _____ O'CLOCK _____ M., P.M., AND THAT THE SAME IS A TRUE AND CORRECT REPRESENTATION OF THE SUBDIVISION OF THE LANDS AS SHOWN ON THE PLAT HEREIN SUBMITTED.

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FILED FOR RECORD IN
 THE OFFICE OF THE COUNTY CLERK
 HIDALGO COUNTY, TEXAS

ON _____ AT _____ M./P.M.
 INSTRUMENT NUMBER _____
 OF THE DAY RECORDS OF HIDALGO COUNTY, TEXAS
 BY _____
 DEPUTY

- All utilities must have a map, a 31 cover.
- Clearly which SS lines will be private or public.
- Provide Dewatering System and Drainage Profiles.
- Provide how the detention draining into the storm system.
- Provide dimensions for the detention area, so detention required can be verified.
- Provide Profiles for all public utilities.
- Provide a Street Light Layout Plan. Street lights are to be spaced every 300 feet.
- All private SS lines must be 36" or larger (see attached worksheet).
- Provide fire prevention worksheet (see attached worksheet).
- Provide approved drainage report prior to recording of the plat.
- Show COE standard details.
- Water line is to be removed outside the pavement.
- Provide castings on the SS where the water and SS lines cross.
- One end of the casting fits underneath the pavement, then the casting can be extended 2' past back of curb.
- All water lines must be 36" or larger.
- All slopes on the SS lines must be 0.335% as per TC&E requirements.

MEMORANDUM

TO: Jessica Lee Ramirez, Urban Planner

FROM: Omar Garza, Deputy Chief

DATE: November 17, 2020

RE: **Schunior Estates Subdivision**
Melden & Hunt

After reviewing the above referenced plat, the following comments were noted:

1. Need plan showing streets and parking area.
2. Fire Hydrants need to be 300 maximum of 300 feet separation.
3. Need to show location of Fire Department Connections and proposed fire lines to buildings.
4. Provide details on gates if the subdivision is private.



Planning and Zoning Department

PRELIMINARY SUBDIVISION STAFF REVIEW COMMENTS

Company: Melden & Hunt, Inc.
Attention: Mario Reyna, P.E., Project Engineer
From: Abel Beltran, Planner I
Date: November 17, 2020
Re: **SCHUNIOR ESTATES SUBDIVISION – City Limits**

The following is the staff's evaluation and requirements for the information submitted to our office by the project engineer. The requirements represent a comprehensive review but do not preclude the City of Edinburg from identifying other requirements deemed necessary for the proper development of the subdivision.

SUBMITTALS:

Subdivision Plat:

Preliminary Review confirm^{on} process based on existing zoning and proposed, lots, corner clip, setbacks, easements, finish floor elevation, metes and bounds, vicinity map, owners, notary, districts, engineers and surveyor acknowledgments, street name, flood zone, etc.

Water Layout Plan:

A Proposed 8" Water Distribution System on said development within 15-foot utility easement to include fire protection connecting and looping to an existing 8" Water line on 15th Street and Chavez Street. Review on the placement of hydrants, with all testing and compaction as required by standards.

Sewer Layout Plan:

A Proposed 8" Sanitary Sewer system will be extended from an existing City of Edinburg 8" PVC Sanitary Sewer Collection System located on the intersection of Chavez Street and 14th Street.

Paving & Drainage Plan:

Pavement Section on Chavez Street will consist of a 43-foot section B-B to include street lights. On-site drainage system onto a proposed detention pond with an outfall system.

Drainage Report:

Report submitted can be preliminary without H.C.D.D. #1 approval with pending County approval.





Planning and Zoning Department

GENERAL REQUIREMENTS FINDINGS:

1. Must comply with the Unified Development Code adopted in 2014 with Article 3- District and Bulk Standards for lot area, lot width, setbacks and block length as required by code.
2. General Plat Notes to indicate; parkland fees, flood zoned designation, correct setbacks, finish floor elevation, SW3P Requirements, detention, sidewalk, utilities provider and other notes as required based on development.
3. In Accordance to Unified Development Code adopted in 2014, Article 8 Street, Utilities and Drainage and in City of Edinburg 2014 Standards Manual, with Street Right of way dedication as noted on Table 8.204.
4. In Accordance to Section 8.213 Sidewalks and Code of Ordinances Chapter 98 – Sidewalks shall be five (5) foot for perimeter streets arterial, collector or higher classification.

FIRE DEPARTMENT FINDINGS:

1. The Fire Marshal's office requires fire hydrant be located on 600-foot intervals with blue buttons are placed at center of street and on the lane hydrant is located.
2. Must submit proposed street names prior to the Pre-construction process for approval.

ENGINEERING DEPARTMENT FINDINGS:

1. In Accordance to Section 8.218.A.B Engineering Standards Manual - The City Engineer shall promulgate and maintain an Engineering Standards Manual that specifies the minimum construction standards for streets, drainage, and other infrastructure within the City and its ETJ. New construction of streets, drainage systems, and other infrastructure shall comply with the applicable provisions of the Engineering Standards Manual, latest edition.
2. Development shall comply with the erosion and traffic control devices.
3. A proposed designed drainage system with curb inlet spaced at 600-foot intervals separation based on a designed basin areas exhibit with an approved drainage outfall system.
4. Additional easements are required for street light between lots as designated.
5. Must attach the City of Edinburg Streets, Drainage, and erosion control details on the construction set of plans. (See Section 4 of the City of Edinburg 2014 Standards Manual)
6. Additional comments will be addressed at the review of the construction plans.

UTILITIES DEPARTMENT FINDINGS:

1. Water Supply Distribution Sewer and Sanitary Sewer Collection System will be provided by City of Edinburg Water & Sewer facility's.

Additional Comments provided:

Cc: Kimberly Mendoza, MPA, Director of Planning & Zoning, Jessica Ramirez, Urban Planner I, Rita Guerrero, Urban Planner I, Mardoqueo Hinojosa, P.E., Director of Engineering, Vince Ayala, Director of Public Works, Gerardo Carmona, P.E., Engineering Assistant, Arturo Martinez, Director of Utilities, Jose Flores, Systems Superintendent, Omar Garza, Fire Marshal, Ramiro Gomez, Director of Solid Waste Management, Robert Valenzuela, Storm Water Specialist.



THE CITY OF **Edinburg** DEPARTMENT OF PUBLIC WORKS

To: Abel Beltran, Subdivision Coordinator
Jessica Ramirez, Urban Planner
From: Robert Valenzuela, Stormwater Manager
Date: November 19, 2020
Subject: Shunior Estates Subdivision

3.797 Acres

1. Small Construction Notice (Per TCEQ Inventory)
2. Detailed Erosion Control Plan (BMPs, Silt Fence, Construction Entrance)



**REPLAT OF NORTHPOINT PHASE I SUBDIVISION
STAFF REPORT**

DATE: 11/30/2020

Planning & Zoning Meeting – December
8, 2020

APPLICATION:

Preliminary Plat Approval of Replat of
Northpoint Subdivision Phase I

APPLICANT:

George P. Amegin,

ENGINEERING FIRM:

Melden & Hunt, Inc.

LEGAL:

Being approximately 14.998 acres out of
Lots 2-15 part of Northpoint Drive,
Northpoint Subdivision Phase I & out of Lot
6, Block 4 Steele & Pershing

LOCATION:

Located approximately 688 feet north of the
intersection of Alberta Road & McColl
Road.

CURRENT USE OF PROPERTY:

Commercial General (CG) District

EXISTING ZONING & LAND USE:

Commercial General (CG) District

SURROUNDING LAND USE:

Commercial General (CG) to the North
West and South, and Neighborhood
Conservation 7 (NC7), to the south.

ACCESS AND CIRCULATION:

This property has access to Northpoint Drive.

PUBLIC SERVICES:

Water Distribution System is within City of
Edinburg Water Department-Sanitary Sewer
CNN- City of Edinburg.

STAFF REPORT
REPLAT OF NORTHPOINT SUBDIVISION
PAGE 2

RECOMMENDATION:

Staff recommends approval of the Preliminary Plat subject to the following requirements.

EVALUATION AND REQUIREMENTS FOR APPROVAL

The following is the staff's evaluation and requirements for the approval of this preliminary plat application. The requirements represent a comprehensive review but does not preclude the City of Edinburg from identifying other requirements deemed necessary for the proper development of the subdivision.

PLANNING & ZONING DEPARTMENT:

In Accordance to the Unified Development Code (UDC) the purpose is to implement the City of Edinburg's Comprehensive Plan. This code is adopted pursuant to the authority granted by the constitution and laws of the State of Texas Local Government Code, Texas Water Code and pursuant to the home rule authority provided in the City's Home Rule Chapter.

PUBLIC WORKS / ENGINEERING DEPARTMENT:

In Accordance to Article 8, Section 8.00 – Streets, Utilities, and Drainage requirements, Section 8.218. A.B Engineering Standards Manual - The City Engineer shall promulgate and maintain an Engineering Standards Manual that specifies the minimum construction standards for streets, drainage, and other infrastructure within the City and its ETJ. New construction of streets, drainage systems, storm water requirements and other infrastructure shall comply with the applicable provisions of the Engineering Standards Manual, latest edition.

UTILITIES DEPARTMENT:

In Accordance to Article 8, Section 8.218.A.B Water Supply requirements - The City Engineer shall promulgate and maintain an Engineering Standards Manual that specifies the minimum construction standards for water, sewer and other infrastructure within the City and its ETJ. New construction of water distribution system, sewer collection system in accordance to a Master Plan, proposed or upgrade of lift stations, proposed or upgrade of booster stations shall comply with the applicable provisions of the Engineering Standards Manual, latest edition.

FIRE DEPARTMENT:

In Accordance to Article 8, Section 8.402.B Fire Flows and Hydrants - The City Engineer Fire Marshal shall promulgate and maintain an Engineering Standards Manual that specifies the minimum construction standards for water and Fire Hydrants within the City and its ETJ. New construction of water system to include fire hydrants shall comply compliance with the applicable provisions of the Engineering Standards Manual, latest edition.

ATTACHMENTS: Subdivision Plat, Subdivision Site Map, Staff comments

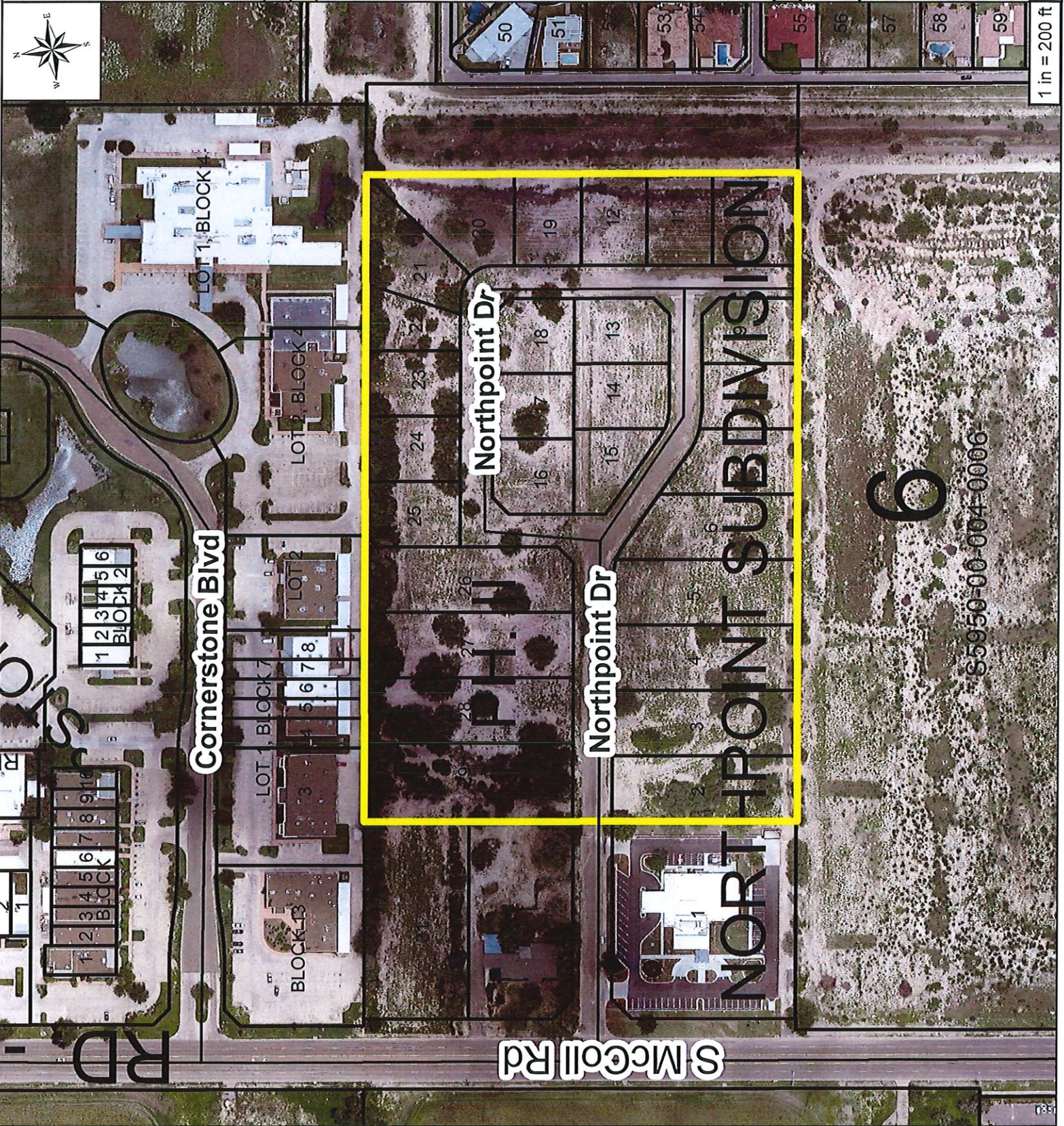
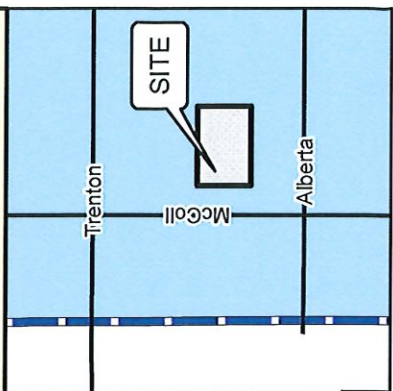


AERIAL MAP
CASE CAPTION:
SUBDIVISION NAME:
RE-PLAT NORTHPOINT PHASE I

Legend

- CITY LIMITS
- SUBDIVISION SITE

SITE LOCATION MAP



S McCall Rd

Cornerstone Blvd

Northpoint Dr

Northpoint Dr

NORTHPOINT SUBDIVISION

6

55950-00-004-0006

1 in = 200 ft

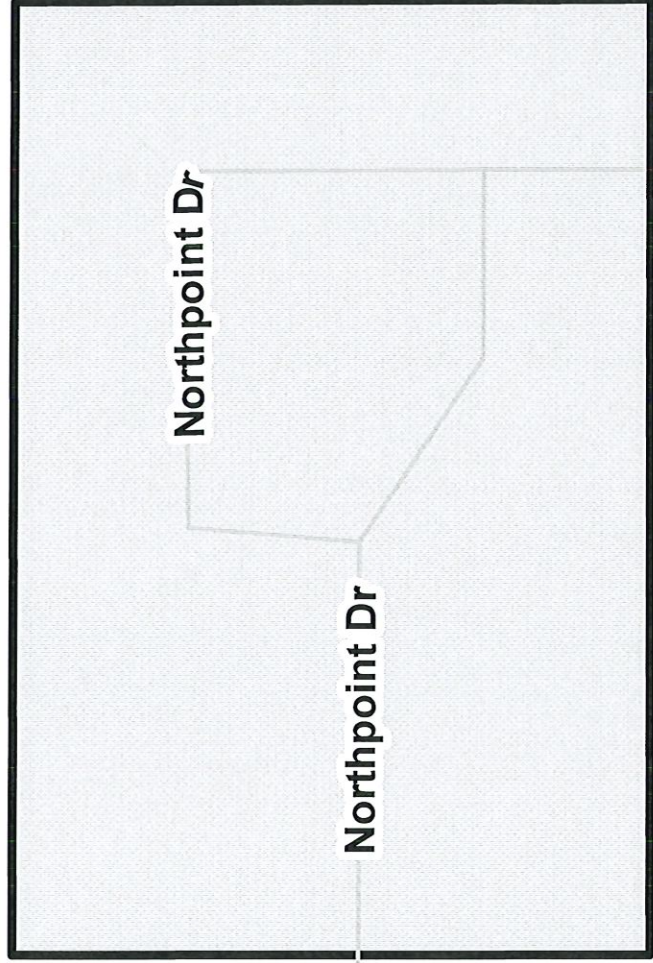


Cornerstone Blvd

S. McColl Rd

Northpoint Dr

Northpoint Dr



SITE MAP
CASE CAPTION:
SUBDIVISION NAME:
RE-PLAT NORTHPOINT PHASE I

Legend

- CITY LIMITS
- SUBDIVISION SITE

SITE LOCATION MAP



1 in = 200 ft



Planning and Zoning Department

PRELIMINARY SUBDIVISION STAFF REVIEW COMMENTS

Company: Melden & Hunt, Inc.
Attention: Mario Reyna, P.E., Project Engineer
From: Abel Beltran, Planner I
Date: November 17, 2020
Re: RE-PLAT of NORTHPOINT SUBDIVISION PH. 1 – City Limits

The following is the staff's evaluation and requirements for the information submitted to our office by the project engineer. The requirements represent a comprehensive review but do not preclude the City of Edinburg from identifying other requirements deemed necessary for the proper development of the subdivision.

SUBMITTALS:

Subdivision Plat:

Northpoint Subdivision Phase 1, Lots 1-15 recorded in February 8th, 1999. Currently zoned as Commercial General. Zone change is required. Lot 1 is occupied shall remain as Northpoint Subdivision Phase 1, with 2-15 be vacated. (See attached Conditions on vacating a plat). The dedicated ditch, street right-of-way for Lot 1 shall not be vacated from recorded development. Preliminary Review confirm process based existing zoning and proposed, lots, block length, corner clip, setbacks, street right-of-way dedication, easements, finish floor elevation, metes and bounds, vicinity map, owners, notary, districts, engineers and surveyor acknowledgments, street name, flood zone, etc.

Water Layout Plan:

Need plan of action on removing existing system and with no interruption for occupied lot 1. Need to submit plan that indicates existing system with abandonment and relocation of system.

Sewer Layout Plan:

Need plan of action on removing existing system and with no interruption for occupied lot 1. Need to submit plan that indicates existing system with abandonment and relocation of system.

Paving & Drainage Plan:

Need plan of action on removing existing drainage system and with no interruption for occupied lot 1. Need to submit plan that indicates existing drainage system with abandonment and relocation of system. On-site drainage system onto a proposed detention pond with proposed outfall system.

Drainage Report:

Report submitted can be preliminary without H.C.D.D. #1 approval with pending County approval.





Planning and Zoning Department

GENERAL REQUIREMENTS FINDINGS:

1. Must comply with the Unified Development Code adopted in 2014 with Article 3- District and Bulk Standards for lot area, lot width, setbacks and block length as required by code.
2. General Plat Notes to indicate; parkland fees, flood zoned designation, correct setbacks, finish floor elevation, SW3P Requirements, detention, sidewalk, utilities provider and other notes as required based on development.
3. In Accordance to Unified Development Code adopted in 2014, Article 8 Street, Utilities and Drainage and in City of Edinburg 2014 Standards Manual, with Street Right of way dedication as noted on Table 8.204.
4. In Accordance to Section 8.213 Sidewalks and Code of Ordinances Chapter 98 – Sidewalks shall be five (5) foot for perimeter streets arterial, collector or higher classification.

FIRE DEPARTMENT FINDINGS:

1. The Fire Marshal's office requires fire hydrant be located on 600-foot intervals with blue buttons are placed at center of street and on the lane hydrant is located.
2. Must submit proposed street names prior to the Pre-construction process for approval.

ENGINEERING DEPARTMENT FINDINGS:

1. In Accordance to Section 8.218.A.B Engineering Standards Manual - The City Engineer shall promulgate and maintain an Engineering Standards Manual that specifies the minimum construction standards for streets, drainage, and other infrastructure within the City and its ETJ. New construction of streets, drainage systems, and other infrastructure shall comply with the applicable provisions of the Engineering Standards Manual, latest edition.
2. Development shall comply with the erosion and traffic control devices.
3. A proposed designed drainage system with curb inlet spaced at 600-foot intervals separation based on a designed basin areas exhibit with an approved drainage outfall system.
4. Additional easements are required for street light between lots as designated.
5. Must attach the City of Edinburg Streets, Drainage, and erosion control details on the construction set of plans. (See Section 4 of the City of Edinburg 2014 Standards Manual)
6. Additional comments will be addressed at the review of the construction plans.

UTILITIES DEPARTMENT FINDINGS:

1. Water Supply Distribution and Sanitary Sewer Collection Systems will be addressed by City of Edinburg Utility Department.
2. Abandonment and Relocation of existing water and sewer system shall not hinder the occupied Lot 1 of the original recorded subdivision.
3. Need to submit a plan of action on abandoning city's water and sewer with no interruptions to Lot 1, Northpoint Subdivision Phase 1.

Additional Comments provided:

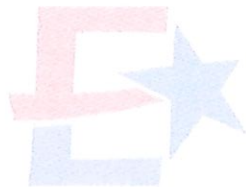




Cc: Kimberly Mendoza, MPA, Director of Planning & Zoning, Jessica Ramirez, Urban Planner I, Rita Guerrero, Urban Planner I, Mardoqueo Hinojosa, P.E., Director of Engineering, Vince Ayala, Director of Public Works, Gerardo Carmona, P.E., Engineering Assistant, Arturo Martinez, Director of Utilities, Jose Flores, Systems Superintendent, Omar Garza, Fire Marshal, Ramiro Gomez, Director of Solid Waste Management, Robert Valenzuela, Storm Water Specialist.

Sec. 14.509 Vacation of Plats

- A. **General.** The proprietors of the tract covered by a plat may vacate the plat at any time before any lot in the plat is sold. The plat is vacated when a signed, acknowledged instrument declaring the plat vacated is approved and recorded in the manner prescribed for the original plat.
- B. **Procedure if any lots are sold.** If lots in the plat have been sold, the plat, or any part of the plat, may be vacated on the application of all the owners of lots in the plat with approval obtained in the manner prescribed for the original plat.
- C. **Execution and recording.** The county clerk shall write legibly on the vacated plat the word "Vacated" and shall enter on the plat a reference to the volume and page at which the vacating instrument is recorded.
- D. **Effect.** On the execution and recording of the vacating instrument, the vacated plat has no effect.



MEMORANDUM

TO: Jessica Lee Ramirez, Urban Planner
FROM: Omar Garza, Deputy Chief
DATE: November 17, 2020
RE: **NORTHPOINT**
Melden & Hunt

After reviewing the above referenced plat, the following comments were noted:

1. Provide street details. Street should be 32ft. B-B
2. 8" water main needs to be looped.
3. Need approval on street names.
4. Provide details on gate if the subdivision is private.
5. Paint Fire lanes next to fire hydrants
6. Place blue markers for fire hydrants on street.
7. Move fire hydrant from lot 19 and place between lot 18 and 19.
8. Lot 71,72 1nd 73 are on a dead end street.

THE CITY OF **Edinburg** DEPARTMENT OF PUBLIC WORKS

To: Abel Beltran, Subdivision Coordinator
Jessica Ramirez, Urban Planner

From: Robert Valenzuela, Stormwater Manager

Date: November 19, 2020

Subject: Replat North point Subdivision Phase 1

Mr. Beltran & Ms. Ramirez,

Once the plat is recorded and before the construction begins, these items will be requested.

5.494 Acres

1. SW3P (Stormwater Pollution Prevention Plan)
2. NOI (Notice of Intent, Per TCEQ)
3. Large Construction Notice (Per TCEQ Inventory)
4. Detailed Erosion Control Plan (Silt Fence, Construction Entrance, Inlet Protection)



MEMORANDUM

To: Planning & Zoning Commission

From: Jessica Lee Ramirez, Urban Planner

Date: December 8, 2020

Re: **The Estates at Paloma Park Subdivision – Final Approval**

Location: The property is located on the north side of E. Alberta Road east of Raul Longoria Road.

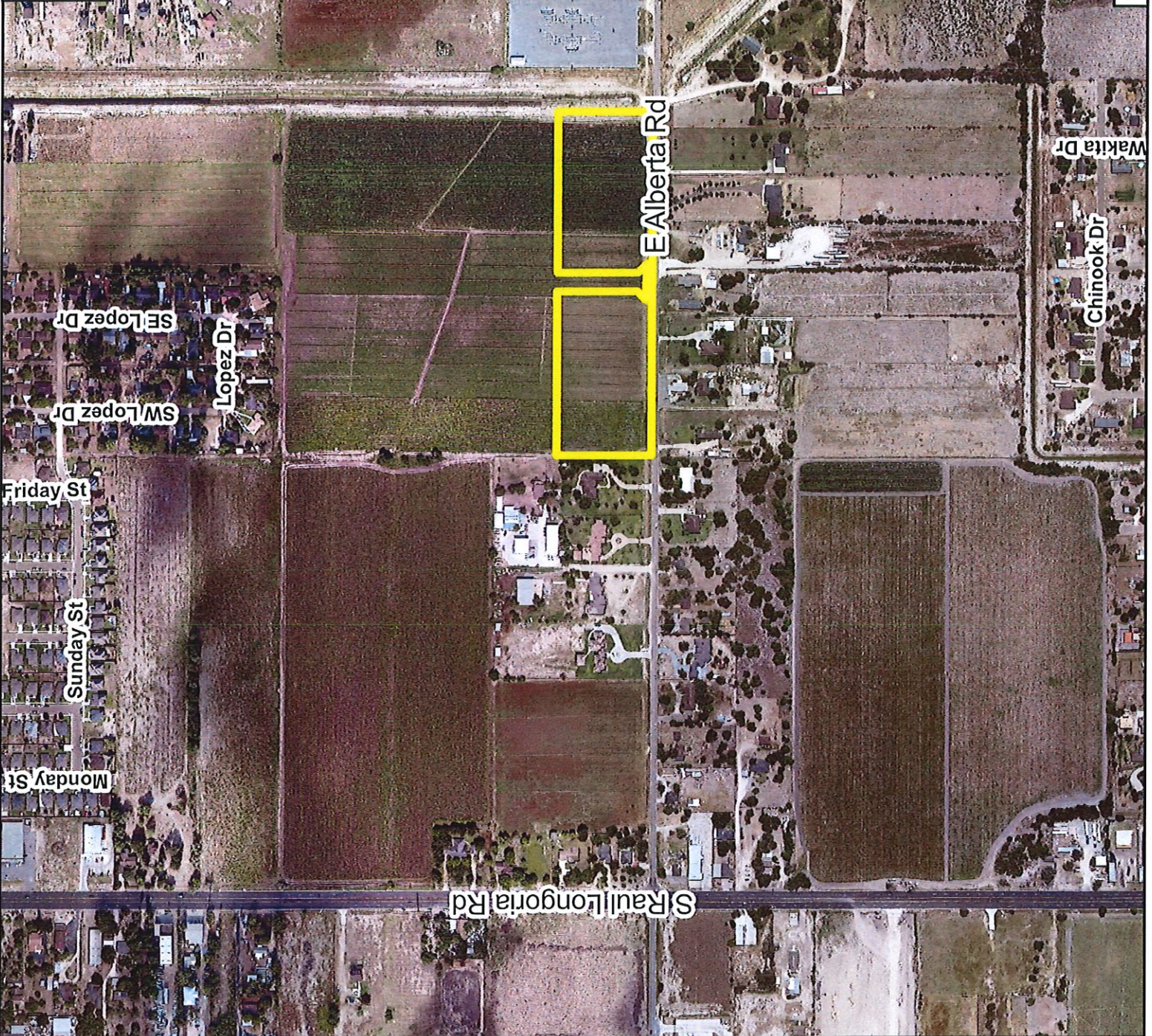
The preliminary plat was approved by the Planning & Zoning Commission on December 11, 2019. Since that date, the project engineer has submitted and staff has reviewed the final plat and set of construction drawings. Therefore, the subdivision plat is being presented for final plat approval, subject to acceptance and compliance with Article 14 Sec.14.507 - (Final Plat Acceptance) of the Unified Development Code.

All required fees, reimbursements, escrows, parkland fees, 30-year letters, testing reports, letter of acceptance, as-builts, water rights and exclusion shall be submitted. All required original tax certificates and water districts certificates must be submitted prior to plat recording.

A copy of the subdivision plat is attached along with a subdivision location map for your consideration.

CASE CAPTION:

APPLICANT NAME:
THE ESTATES AT THE PALOMA
PARK



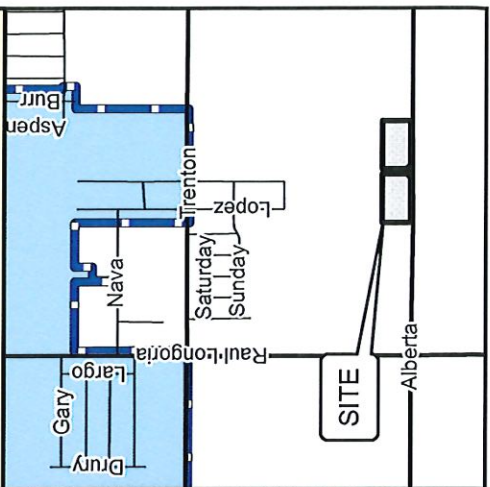
1 in = 500 ft

Legend



APPLICANT SITE

SITE LOCATION MAP





APPLICANT NAME:

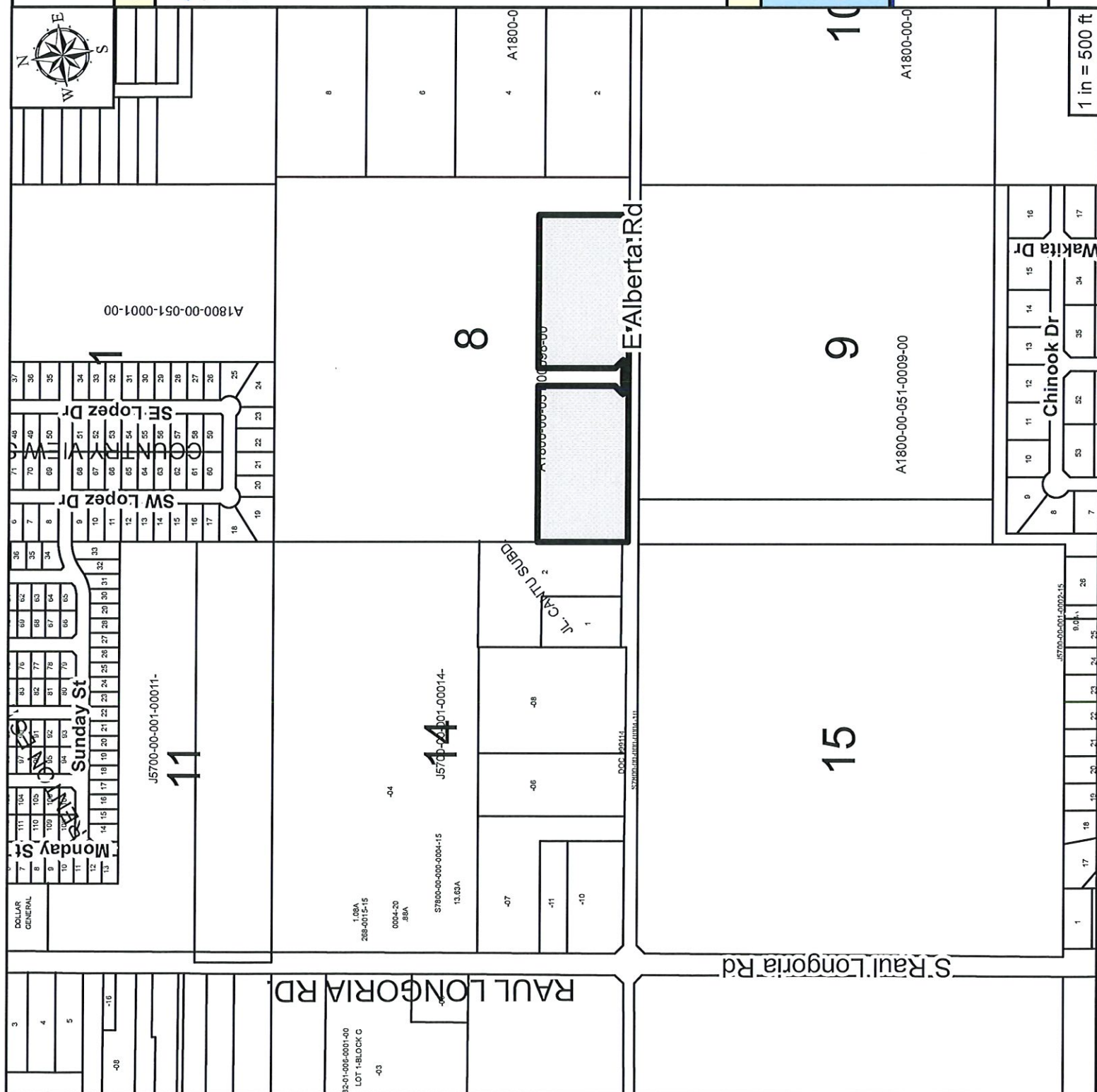
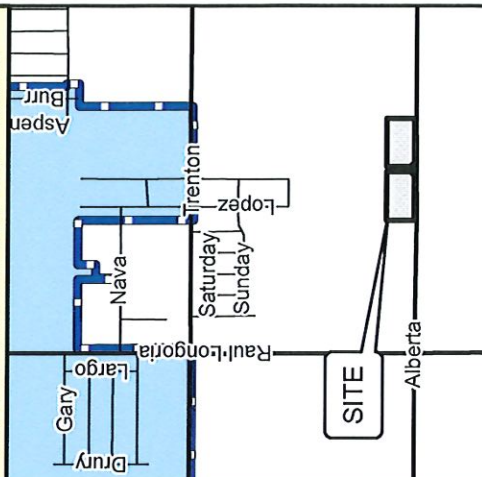
**THE ESTATES AT THE PALOMA
PARK**

Legend



APPLICANT SITE

SITE LOCATION MAP





PLANNING & ZONING DEPARTMENT 2021 REZONING AND SPECIAL USE PERMIT CALENDAR

*Planning and Zoning Commission meetings are held in the City Council Chambers starting at 4:00 P.M.
 **City Council Meetings are held in the City Council Chambers starting at 6:00 P.M.

Deadline REZONING AND SUP APPLICATION	Planning & Zoning 2 nd Tuesday of the Month	City Council 1 st Tuesday of the Month
December 14, 2020	January 12, 2021	February 2, 2021
January 11, 2021	February 9, 2021	March 2, 2021
February 8, 2021	March 9, 2021	April 6, 2021
March 8, 2021	April 13, 2021	May 4, 2021
April 12, 2021	May 11, 2021	June 1, 2021
May 10, 2021	June 8, 2021	July 6, 2021
June 14, 2021	July 13, 2021	August 3, 2021
July 12, 2021	August 10, 2021	September 7, 2021
August 16, 2021	September 14, 2021	October 5, 2021
September 13, 2021	October 12, 2021	November 2, 2021
October 11, 2021	November 9, 2021	December 7, 2021
November 15, 2021	December 14, 2021	January 4, 2022
December 13, 2021	January 11, 2022	February 2, 2022

Deadlines and Meeting Dates are subject to change at any time.

Please contact the Planning Department at (956) 388-8202, if you may have any questions



City Council Actions

Meeting Dates: November 17, 2020 & December 1, 2020

COMPREHENSIVE PLAN AMENDMENT & REZONING:

Hold Public Hearing and Consider the ordinance providing for the Comprehensive Plan Amendment from Suburban Uses to Auto Urban Uses and the Rezoning Request from Agriculture (AG) District to Auto Urban Residential (AU) District, Being 8.33 Acre Tract of land, more or less, out of Lot 4, Block 1, John Closner ET AL Subdivision, Located South of Canton Road, approximately 930 Feet West of South Raul Longoria Road, As Requested By Supreme Engineering, PLLC

- Planning & Zoning Commission recommended approval on October 13, 2020
- City Council **approved** on November 17, 2020

Hold Public Hearing and Consider the ordinance providing for the Comprehensive Plan Amendment from General Commercial Uses & Urban Uses to General Commercial Uses and the Rezoning Request from Auto Urban Residential (AU) District to Commercial General (CG) District, Being a 5.25 Acre Tract of Land out of Lot 6, Section 268, Texas-Mexican Railway Company's Survey, Located on the South side of East University Drive, Approximately 520 feet East of San Jose Street, As Requested By L.C. Gonzalez Investments

- Planning & Zoning Commission recommended approval on October 13, 2020
- City Council **approved** on November 17, 2020

Hold Public Hearing and Consider the Ordinance providing for the Comprehensive Plan Amendment from Auto Urban Uses to General Commercial Uses and the Rezoning Request from Agriculture (AG) District to Commercial General (CG) District, Being 0.21 of an Acre Tract of Land, Being the East 120 Feet of Lots 5, 6, and 7, Block 6, Original Townsite of Faysville, Located on the East Side of North Expressway 281, Approximately 100 Feet North of Jefferson Avenue, As Requested By Israel Rivas

- Planning & Zoning Commission recommended approval on November 1, 2020
- City Council **approved** on December 1, 2020

REZONING:

Hold Public Hearing and Consider the ordinance providing for the Rezoning Request from Agriculture (AG) District to Auto Urban Residential (AU) District, Being 39.334 Acres out of Lot 5, Section 248, Tex-Mex Subdivision, Located at the North East Corner of North "M" Road and East Rogers Road, As Requested By Melden & Hunt

- Planning & Zoning Commission recommended approval on October 13, 2020
- City Council **approved** on November 17, 2020

Hold Public Hearing and Consider the ordinance providing for the Rezoning Request from Agriculture (AG) District to Auto Urban Residential (AU) District, Being 1.00 Acre Tract out of Lot 9, Section 245, Texas-Mexican Railway Company's Survey, Located at 1207 N Kenyon Road, As Requested By Ofelia Abrego

- Planning & Zoning Commission recommended approval on November 10, 2020
- City Council **approved** on November 17, 2020

Hold Public Hearing and Consider the ordinance providing for the Rezoning Request from Neighborhood Conservation 7.1 (NC 7.1) District to Auto Urban Residential (AU) District, Being Lot 10, Block 243, Edinburg Original Townsite, Located at 1105 E Cano Street, As Requested By Andrew Herrera

- Planning & Zoning Commission recommended approval on November 10, 2020
- City Council **approved** on December 1, 2020

Hold Public Hearing and Consider the ordinance providing for the Rezoning Request from Agriculture (AG) District to Commercial General (CG) District, Being 0.48 of an Acre out of Lot 65, Kelly Pharr Subdivision, Located on the West Side of Veterans Road, Approximately 345 Feet North of East Owassa Road, As Requested By Eduardo D. Benavidez

- Planning & Zoning Commission recommended approval on November 10, 2020
- City Council **approved** on December 1, 2020

SPECIAL USE PERMIT:

Hold Public Hearing and Consider the ordinance providing for the Special Use Permit for a Licensed Child Care Home, Being Lot 15, East Addition to the City of Edinburg, Located at 1213 E Peter Street, As Requested By Karina Salinas

- Planning & Zoning Commission recommended approval on October 13, 2020
- City Council **approved** on November 17, 2020

VARIANCE:

Consider Variance Request to the City's Unified Development Code as follows: 1. Article 8 – Streets, Utilities, and Drainage, Section 8.204 Street Standards, 2. Article 8 – Streets, Utilities, and Drainage, Section 8.213, Sidewalks, Ingle Springs Subdivision, A 20 acre tract of land out of Lots 5 & 6, Block 23, Santa Cruz Gardens No. 2 Subdivision, Hidalgo County, Texas, Located on the south side of Ingle Road and east of Kenyon Road, As Requested By Quintanilla Headley & Associates, Inc.

- Planning and Zoning Commission recommended disapproval on October 13, 2020
- Item was **TABLED** at the request of the project engineer at the City Council meeting of November 17, 2020