



**PLANNING AND ZONING COMMISSION
REGULAR MEETING
JANUARY 17, 2022 - 04:00 PM
CITY HALL-COUNCIL CHAMBERS
415 WEST UNIVERSITY DR.
EDINBURG, TEXAS 78539**

AGENDA

1. Call Meeting To Order, Establish Quorum
 - A. Prayer
 - B. Pledge of Allegiance
 - C. Election of Officers - Chairperson and Vice Chairperson
2. Certification of Public Notice
3. Meeting Procedures

The following are the meeting procedures used by the Planning and Zoning Commission:

- A. All the items are generally considered as they appear on the agenda, as each item is introduced.
- B. Staff will present its findings and recommendation on the item being considered.
- C. The party making the request may make a presentation and may address the Commission on any issues arising during the discussion of the item being considered.
- D. Anyone in the audience desiring to speak in favor or in opposition may do so. A 3-5 Minute time limit will be given to each person interested in speaking on the item. The use of a spokesperson for large groups of people will be required.
- E. Once the Chair closes the public hearing, the commission may question anyone and maintain any discussion which clarifies the proposal and will take what action it feel to be appropriate.

4. **PUBLIC COMMENTS**

- A. If you would like to participate under public comments, you must submit a request beginning at 9:00 A.M. the day of the meeting by (a) sending an email to PublicHearing@cityofedinburg.com or (b) calling the Planning and Zoning Department at 956-388-8202. All requests should include your name, address, and telephone number. We ask for everyone's cooperation in following this procedure.

5. **MINUTES**

- A. Consider approval of the minutes for the October 12, 2021, November 9, 2021 and December 14, 2021 Regular Meetings

6. **PUBLIC HEARINGS**

- A. Consider the Initial Zoning Request to Urban Residential (UR) District, being a 26.80 acre tract of land out of Lot 14, Block 1, John Closner Et Al Subdivision, located at 4700 South Raul Longoria Road, as requested by CJE Construction, LLC.
- B. Consider the Comprehensive Plan Amendment from Industrial Uses to Urban Uses and the Rezoning Request from Agriculture (AG) District to Urban Residential (UR) District, being 15.336 acres out of Lot 1, Section 244, Texas-Mexican Railway Company's Survey, located at 500 East Monte Cristo Road, as requested by Melden & Hunt, Inc.
- C. Consider the Rezoning Request from Agriculture (AG) District to Commercial General (CG) District, being a 1.00 acre tract of land out of Lot 71, Kelly-Pharr Subdivision, located at 1415 West Owassa Road, as requested by Jaime Cantu
- D. Consider the Rezoning Request from Agriculture (AG) District to Auto-Urban Residential (AU) District, being a 12.605 acre tract of land out of Lots 31 & 32, The M.L. Woods Co. Tract No. 4, located at 4801 South Veterans Boulevard, as requested by Melden & Hunt, Inc.
- E. Consider the Comprehensive Plan Amendment from Auto Urban Uses to General Commercial Uses and the Rezoning Request from Agriculture (AG) District to Commercial General (CG) District, being a 4.349 acre tract of land out of Lots 31 & 32, The M.L. Woods Co. Tract No. 4, located at 4513 South Veterans Boulevard, as requested by Melden & Hunt, Inc.
- F. Consider the Rezoning Request from Neighborhood Conservation 7.1 (NC7.1) District to Urban Residential (UR) District, Lot 5, Block 287, Original Edinburg Townsite Subdivision, located at 1120 East Mahl Street, as requested by Gustavo Montemayor

7. **SUBDIVISIONS (PLATS)**

- A. Consider the Preliminary Plat of North McColl Estates, being a 29.130 acre tract out of Lot 3, Section 276 Texas-Mexican Railway Company's Survey, located at 501 North McColl Road, as requested by Melden & Hunt, Inc.

- B. Consider the Preliminary Plat of Russel Oaks Estates Subdivision, being a 38.786 acre tract out of land out of Lot 16, Block 53, Alamo Land & Sugar Company Subdivision, located at 2300 North Cesar Chavez Road, as requested by Melden & Hunt, Inc.
- C. Consider the Preliminary Plat of Cesar Chavez Heights Subdivision, being a 17.94 acre tract out of Lot 4, Block 55, Alamo Land and Sugar Company Subdivision, located at 3101 South Cesar Chavez Road, as requested by Trevino Engineering
- D. Consider the Preliminary Plat of Alberta Heights Subdivision Phase II, being a 3.261 acre tract out of Lot 53, Kelly-Pharr Subdivision, located at 801 West Alberta Road, as requested by Trevino Engineering
- E. Consider the Preliminary Plat of Highland Heights Subdivision, being a 26.80 acre tract out of Lot 14, Block 1, John Closner Et Al Subdivision, located at 4700 South Raul Longoria Road FM 1426, as requested by SAMES Engineering
- F. Consider the Preliminary Plat of Ricdez Estates, being 5.0 acres out of Lot 8, Section 250, Texas-Mexican Railway Company's Survey, located at 5201 East Mile 17 North Road, as requested by SAMES Engineering

8. **CONSENT AGENDA**

- A. Consider the Final Plat of Border Town Subdivision Phase 3, being a 66.75 acre tract of land, more or less, out of and forming part or portion of Lots 13 and 14, Block 70, Engelman Re-subdivision, located at 8201 FM 2812, as requested by Rio Delta Engineering
- B. Consider the Final Plat for Canton Heights Subdivision No. 2, being an 8.33 acre tract of land out of Lot 4, Block 1, John Closner, et al. Subdivision, located at 2200 East Canton Road, as requested by Supreme Engineering
- C. Consider the Final Plat of T&O Ranch No. 2 Subdivision, being a 4.95 acre tract of land out of Lots 2 & 3, Block 28, Santa Cruz Gardens Unit 2 Subdivision, located at 7100 East Benito A. Ramirez Road, as requested by Quintanilla, Headley & Associates, Inc.
- D. Consider the Final Plat of Las Encinitas, being a 72.20-acre tract of land out of Lots "R" and "S", Block 2, Santa Cruz Ranch Subdivision, located at 6101 East Monte Cristo Road, as requested by Quintanilla, Headley, & Associates Inc.

- E. Consider the Final Plat for Canton Heights Subdivision No. 3, being a 5.60 acre tract of land out of Lot 4, Block 1, John Closner, et al. Subdivision, located at 2200 East Canton Road, as requested by Supreme Engineering

9. **SUBDIVISIONS (VARIANCES)**

- A. Consider Variance Requests to the City's Unified Development Code: 1) Section 7.404B Block Length, 2) Section 8.204A Streets, Paving Width and 3) Section 8.213 Sidewalks, proposed La Reserva Subdivision Phase II, being an 81.74 acre tract of land out of Lots 3, 4, 5, 6, 11, & 12, Block 73, Engelman Resubdivision or the Missouri-Texas Land and Irrigation Company's Subdivision in Las Mestañas Grant, located at 8200 East Farm to Market 2812, as requested by Quintanilla, Headley & Associates, Inc.
- B. Consider Variance Requests to the City's Unified Development Code: 1) Section 3.303 Multi-Family Lot and Building Standards, Lot Width and 2) Section 7.404B Block Length, and 3) Section 8.204 Street Standards, Right-of-way Width, Paving Width, proposed North McColl Estates Subdivision, being 29.130 acres out of Lot 3, Section 276, Texas-Mexican Railway Company's Survey, located at 501 North McColl Road, as requested by Melden & Hunt, Inc.

10. **DIRECTOR'S REPORT**

- A. Unified Development Code Update

11. **INFORMATION ONLY**

- A. Attendance Roster

12. **ADJOURNMENT**

I hereby certify that this notice of meeting was posted in accordance with the Open Meetings Act, V.T.C.A., Government Code, Section 551.041, at the Edinburg City Hall Building, 415 West University Drive, Edinburg, Texas, visible and accessible to the general public during regular working hours at 4:59 P.M. on Thursday, January 13, 2022.



Alejandra Gonzalez, Administrative Assistant
Planning & Zoning Department

NOTICE

PERSONS WITH DISABILITIES WHO NEED TO COMMUNICATE MORE EFFECTIVELY WITH CITY OFFICIALS AND WHO MAY NEED AUXILIARY AIDS OR SERVICES SUCH AS INTERPRETERS FOR PERSONS WHO ARE DEAF OR HEARING IMPAIRED ARE REQUESTED TO CONTACT THE OFFICE OF THE CITY SECRETARY AT (956) 388-8204 THREE WORKING DAYS PRIOR TO ANY MEETING SO THAT APPROPRIATE ARRANGEMENTS CAN BE MADE.

**PLANNING AND ZONING COMMISSION
REGULAR MEETING
OCTOBER 12, 2021- 4:00 P.M.
EDINBURG CITY HALL – CITY COUNCIL CHAMBERS
415 WEST UNIVERSITY DRIVE
EDINBURG, TEXAS 78541**

MEMBERS PRESENT

Victor Daniec, Commissioner
Ruby Casas, Commissioner
Hiren Govind, Vice Chairperson
Jorge Sotelo, Commissioner
Rene Olivarez, Commissioner
Jorge Gonzalez, Commissioner
Joe Ochoa, Chairperson

MEMBERS ABSENT

STAFF PRESENT

Kimberly A. Mendoza, Planning & Zoning Director
Alejandra Gonzalez, Administrative Assistant
Nikki Marie Cavazos, Planner I
Omar Garza, Deputy Chief
Peter Hermida, Engineer III
Omar Ochoa, City Attorney
Brian Kelsey, Assistant City Manager
Tomas Reyna, Assistant City Manager
Rita Lee Guerrero, Management Analyst

Abel Beltran, Planner I
Jaime Ayala, Planner II
Daniel A. Colina, Planner I
Patrizia Longoria, Engineer III
Tilfred Farley, Planning Assistant
Mardoqueo Hinojosa, City Engineer
Robert Hernandez, Engineer I

VISITORS

Alfonso Quintanilla
Ismael Morin
Miguel Andrada
Isidio Fernandez
Juan R. Lopez

Yadira P Casillas Leonel
Juan Anzaldua
Omar Maldonado
Ivan Garcia

1. CALL MEETING TO ORDER, ESTABLISH QUORUM

The meeting was formally called to order by Chairperson Mr. Joe Ochoa at 4:02 P.M.

- A. Prayer – Prayer was announced by Commission Member Mrs. Ruby Casas
- B. Pledge of Allegiance – The Pledge of Allegiance was said.

2. CERTIFICATION OF PUBLIC NOTICE

Mr. Daniel A. Colina verified the posting of the Planning and Zoning Commission Meeting Notice and its compliance with the Open Meetings Act. Staff indicated the agenda had been posted on October 8, 2021 at 4:25 P.M.

3. MEETING PROCEDURES

The following are the meeting procedures used by the Planning and Zoning Commission:

- A. All the items are generally considered as they appear on the agenda. As each item is introduced.
- B. Staff will present its findings and recommendation on the item being considered.
- C. The party making the request may make a presentation and may address the Commission on any issues arising during the discussion of the item being considered.
- D. Anyone in the audience desiring to speak in favor or in opposition may do so. A 3 minute time limit will be given to each person interested in speaking on the item. The use of a spokesperson for large groups of people will be required.
- E. Once the Chair close the public hearing, the commission may question anyone and maintain any discussion which clarifies the proposal and will take what action it feel to be appropriate.

4. PUBLIC COMMENTS

If you would like to participate under public comments, you must submit a request beginning at 9:00 a.m. the day of the meeting by (a) sending an email to PublicHearing@cityofedinburg.com or (b) calling the Planning and Zoning Department at 956-388-8202. All request should include your name, address, and telephone number. We ask for everyone's cooperation in following this procedure.

5. MINUTES

- A. Consider approval of the Minutes for the September 14, 2021 Regular Meeting

MOTION WAS MADE BY COMMISSION MEMBER MR. RENE OLIVAREZ AND SECONDED BY CHAIRPERSON MR. JOE OCHOA TO APPROVE THE MINUTES FOR THE SEPTEMBER 14, 2021 REGULAR MEETING. MOTION CARRIED UNANIMOUSLY WITH A VOTE OF 7-0.

6. PUBLIC HEARINGS

- A. Hold Public Hearing and Consider the Comprehensive Plan Amendment from Auto Urban Uses to General Commercial and the Rezoning Request from Neighborhood Conservation 7.1 (NC 7.1) District to Commercial General (CG), being all of Lot 2, Block 1, Enfield Estates Subdivision, located at 105 Austin Boulevard as requested by Enrique Omar Maldonado.

MOTION WAS MADE BY COMMISSION MEMBER MR. JORGE SOTELO AND SECONDED BY COMMISSION MEMBER MR. VICTOR DANIEC TO RECOMMEND APPROVAL OF THE COMPREHENSIVE PLAN AMENDMENT AND REZONING REQUEST. MOTION CARRIED UNANIMOUSLY WITH A VOTE OF 7-0.

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- B. Hold Public Hearing and Consider the Special Use Permit for a Licensed Child Care Home, being Lot 2, Las Villas at Autumn Ridge Subdivision, located at 3511 Monette Street, as requested by Yadira P. Casillas Leonel.

MOTION WAS MADE BY VICE CHAIRPERSON MR. HIREN GOVIND AND SECONDED BY COMMISSION MEMBER MR. VICTOR DANIEC TO RECOMMEND APPROVAL OF THE REQUEST FOR A SPECIAL USE PERMIT FOR A LICENSED CHILD CARE HOME. MOTION CARRIED UNANIMOUSLY WITH A VOTE OF 7-0.

- C. Hold Public Hearing and Consider the Special Use Permit for On-Premise Consumption of Alcoholic Beverages, being Lot 1, Eulogio Diaz Subdivision, located at 3721 North Doolittle Road, as requested by Miguel A. Andrade Estrada.

MOTION WAS MADE BY VICE CHAIRPERSON MR. HIREN GOVIND AND SECONDED BY COMMISSION MEMBER MR. JORGE SOTELO TO RECOMMEND APPROVAL OF THE REQUEST FOR A SPECIAL USE PERMIT FOR ON-PREMISE CONSUMPTION OF ALCOHOLIC BEVERAGES. MOTION CARRIED UNANIMOUSLY WITH A VOTE OF 7-0.

7. SUBDIVISIONS

- A. Consider the Preliminary Plat of Carmen Avila Subdivision Phase V, being a 33.13 acre tract out of Tract 156, San Salvador Del Tule Grant, as per map or plat thereof recorded in Volume 10, Page 58-60, Map Records of Hidalgo County, Texas. Located at 8600 North Alamo Road, as requested by Quintanilla, Headley, and Associates Inc.

MOTION WAS MADE BY COMMISSIONER MR. JORGE SOTELO AND SECONDED BY COMMISSION MEMBER MRS. RUBY CASES TO APPROVE THE PRELIMINARY PLAT. MOTION CARRIED WITH A VOTE OF 6-0-1. NO ONE OPPOSED AND ONE MEMBER ABSTAINED.

CHAIRPERSON MR. JOE OCHOA MOTIONED TO VOTE FOR ITEMS B, C, AND D. MOTION WAS MADE BY COMMISSIONER MR. JORGE SOTELO AND SECONDED BY MRS. RUBY CASAS TO APPROVE THE PRELIMINARY PLATS.

- B. Consider the Preliminary Plat of RG Estates Phase III Subdivision, being a 10.00 acre tract out of Lot 7, Block 23, Santa Cruz Gardens Unit No.2, as per map or plat thereof recorded in Volume 8, Page 28-29, Map Records of Hidalgo County, Texas. Located at 4100 East Ingle Road, as requested by Quintanilla, Headley, and Associates Inc.
- C. Consider the Preliminary Plat of Cole Crossing Subdivision, being a 18.00 acre tract of land out of Lots 12 & 13, Block 35, Santa Cruz Unit No.2, as per map or plat thereof recorded in Volume 8, Page 28, Map Records of Hidalgo County, Texas. Located at 2200 Ramseyer Road, as requested by SDI Engineering.

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- D. Consider the Preliminary Plat of University Village on 10th Subdivision, being a 34.56 acre tract being part or portion of Lot 1, 2, and 3, Lomas Y Lagos Subdivision, an addition to the City Limits of Edinburg, recorded in Volume 53, Page 123, Map Records of Hidalgo County, Texas. Located at 420 South 10th Street, as requested by Rio Delta Engineering Inc.

8. SUBDIVISION (VARIANCES)

- A. Consider the Variance Request to the City's Unified Development Code (UDC) as follows: 1) Section 7.502 Streets and Rights of Way, Perimeter Streets; Pavement or Fee in Lieu Required and 2) Section 8.213 Sidewalks, RG Estates Phase III Subdivision, a 10 acre tract being all of Lot 7, Block 23, Santa Cruz Gardens Unit No.2 Subdivision, located at 4120 East Ingle Road, as requested by Quintanilla, Headley, and Associates Inc.

MOTION WAS MADE BY COMMISSION MEMBER MR. VICTOR DANIEC AND SECONDED BY VICE CHAIRPERSON MR. HIREN GOVIND TO APPROVE THE VARIANCE REQUEST NUMBER ONE. MOTION WAS MADE BY VICE CHAIRPERSON HIREN GOVIND AND SECONDED BY COMMISSION MEMBER MR. VICTOR DANIEC TO DENY THE VARIANCE REQUEST NUMBER TWO. MOTION CARRIED UNANIMOUSLY WITH A VOTE OF 7-0.

9. CONSENT AGENDA

- A. Consider the Final Plat for New Castle Subdivision, being a 9.63 acre tract of land out of Lot 8, Block 2, Steele and Pershing Subdivision, as per map or plat thereof recorded in Volume 8, Page 114-115, Map Records of Hidalgo County, Texas, located at the northeast corner of Wisconsin Road and McColl Road, as requested by Quintanilla, Headley, and Associates Inc.
- B. Consider the Final Plat for Queens Court Subdivision, being a 2.68 acre tract of land out of Lot 6, Block 2, Steele and Pershing Subdivision, as per map or plat thereof recorded in Volume 8, Page 114-115, Map Records of Hidalgo County, Texas, located at 2701 West Wisconsin Road, as requested by Quintanilla, Headley, and Associates Inc.

MOTION WAS MADE BY VICE CHAIRPERSON MR. HIREN GOVIND AND SECONDED BY COMMISSION MEMBER MR. RENE OLIVAREZ TO APPROVE THE CONSENT AGENDA ITEMS 9A & 9B. MOTION CARRIED UNANIMOUSLY WITH A VOTE OF 7-0.

10. DIRECTOR'S REPORT

- A. City Council Actions: August 17, 2021, September 7, 2021, September 21, 2021, & October 5, 2021
- B. Unified Development Code Update
- C. APA Conference

MRS. KIMBERLY MENDOZA DISCUSSED THE CITY COUNCIL ACTIONS FOR THE FOLLOWING MEETINGS: AUGUST 17, 2021, SEPTEMBER 7, 2021, SEPTEMBER 21, 2021, AND OCTOBER 5, 2021. SHE ALSO DISCUSSED THE MODULE 2 DRAFT THAT IS IN PROGRESS FOR THE UNIFIED DEVELOPMENT CODE UPDATE. MRS. MENDOZA ALSO ADVISED THE MEMBERS OF THE UPCOMING APAC3 CROSS-CHAPTER COLLABORATIVE CONFERENCE TO BE HELD FROM NOVEMBER 1, 2021 TO NOVEMBER 3, 2021.

10. ADJOURNMENT

There being no further information to consider, the meeting was adjourned at 4:49 P.M.

Alejandra Gonzalez

Alejandra Gonzalez, Administrative Assistant
Planning & Zoning Department

**PLANNING AND ZONING COMMISSION
REGULAR MEETING
NOVEMBER 9, 2021- 4:00 P.M.
EDINBURG CITY HALL – CITY COUNCIL CHAMBERS
415 WEST UNIVERSITY DRIVE
EDINBURG, TEXAS 78541**

MEMBERS PRESENT

Victor Daniec, Commissioner
Jorge Sotelo, Commissioner
Rene Olivarez, Commissioner
Jorge Gonzalez, Commissioner

MEMBERS ABSENT

Joe Ochoa, Chairperson
Hiren Govind, Vice Chairperson
Ruby Casas, Commissioner

STAFF PRESENT

Kimberly A. Mendoza, Planning & Zoning Director
Alejandra Gonzalez, Administrative Assistant
Nikki Marie Cavazos, Planner I
Omar Garza, Deputy Chief
Peter Hermida, Engineer III
Omar Ochoa, City Attorney
Brian Kelsey, Assistant City Manager
Tomas Reyna, Assistant City Manager
Rita Lee Guerrero, Management Analyst

Abel Beltran, Planner I
Jaime Ayala, Planner II
Daniel A. Colina, Planner I
Patrizia Longoria, Engineer III
Tilfred Farley, Planning Assistant
Mardoqueo Hinojosa, City Engineer
Robert Hernandez, Engineer I
Blanca Davila, EDC Director
Carlos H. Garza, EDC Coordinator

VISITORS

Carl Mickie
Harmon Diaz - Granados
Juan Lopez
Blanca L. Alvarez
Juan R. Lopez
Jorge Gonzalez
Rose Brionez
Ronnie Cruz

Mody Diaz - Granados
Gilbert Ortiz
Alma S. Salazar
Carla Spinello
Tra'Devin Smith
Raul Garcia
Javier Tobias
Mario Reyna

1. CALL MEETING TO ORDER, ESTABLISH QUORUM

Quorum was established and meeting was called to order at 4:04 P.M.

- A. Prayer – Prayer was announced by Commission Member Mr. Jorge Gonzalez
- B. Pledge of Allegiance – The Pledge of Allegiance was said.

Motion was made by Mr. Victor Daniec and seconded by Commission Member Jorge Gonzalez to have Commission Member Mr. Jorge Sotelo be Chairperson for this meeting. Motion carried unanimously with a vote of 4-0.

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2. CERTIFICATION OF PUBLIC NOTICE

Mrs. Nikki Cavazos verified the posting of the Planning and Zoning Commission Meeting Notice and its compliance with the Open Meetings Act. Staff indicated the agenda had been posted on November 5, 2021 at 9:00 P.M.

3. MEETING PROCEDURES

The following are the meeting procedures used by the Planning and Zoning Commission:

- A. All the items are generally considered as they appear on the agenda. As each item is introduced.
- B. Staff will present its findings and recommendation on the item being considered.
- C. The party making the request may make a presentation and may address the Commission on any issues arising during the discussion of the item being considered.
- D. Anyone in the audience desiring to speak in favor or in opposition may do so. A 3 minute time limit will be given to each person interested in speaking on the item. The use of a spokesperson for large groups of people will be required.
- E. Once the Chair close the public hearing, the commission may question anyone and maintain any discussion which clarifies the proposal and will take what action it feel to be appropriate.

4. PUBLIC HEARINGS

- A. Consider the Rezoning Request from Suburban Residential (S) District to Auto-Urban Residential (AU) District, a 1.00 acre tract of land, being a portion of the North 5.00 acres of Lot 10, Section 244, Texas-Mexican Railway Company's Survey, located at 424 East Rogers Road, as requested by Berta A. Salazar

MRS. NIKKI CAVAZOS ADVISED THE BOARD THAT THE APPLICANT REQUESTED FOR THE ITEM TO BE TABLED AND HEARD AT THE NEXT PLANNING AND ZONING MEETING. MOTION WAS MADE BY COMMISSION MEMBER MR. VICTOR DANIEC AND SECONDED BY COMMISSION MEMBER MR. RENE OLIVAREZ TO TABLE THE ITEM. MOTION CARRIED UNANIMOUSLY WITH A VOTE OF 4-0.

- B. Consider the Comprehensive Plan Amendment from Agriculture Uses to General Commercial Uses and the Rezoning Request from Agriculture (AG) District to Commercial General (CG) District, a 1.00 acre tract of land, being a portion of Block 11, Baker's Subdivision, located at 14701 North I-69C, as requested by R.E. Garcia & Associates

MOTION WAS MADE BY COMMISSION MEMBER MR. VICTOR DANIEC AND SECONDED BY COMMISSION MEMBER MR. JORGE GONZALEZ TO RECOMMEND APPROVAL OF THE COMPREHENSIVE PLAN AMENDMENT AND REZONING REQUEST. MOTION CARRIED UNANIMOUSLY WITH A VOTE OF 4-0.

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- C. Consider the Rezoning Request from Agriculture (AG) District to Auto-Urban Residential (AU) District, being a 17.373 acre tract of land, being out of Lots 31 & 32, The M.L. Woods Co. Tract No. 4, located at 4801 South Veterans Boulevard as requested by Melden & Hunt, Inc.

MOTION WAS MADE BY COMMISSION MEMBER MR. VICTOR DANIEC AND SECONDED BY COMMISSION MEMBER MR. JORGE GONZALEZ TO RECOMMEND APPROVAL OF THE REZONING REQUEST. MOTION CARRIED UNANIMOUSLY WITH A VOTE OF 4-0.

- D. Consider the Comprehensive Plan Amendment from Auto-Urban Uses to Urban Uses and the Rezoning Request from Auto-Urban Residential (AU) District to Urban Residential (AR) District, being a 19.531 acre tract of land, out of Lot 16, Block 55, Alamo Land and Sugar Company's Subdivision, located at 3101 East Trenton Road, as requested by Melden & Hunt, Inc.

MOTION WAS MADE BY COMMISSION MEMBER MR. VICTOR DANIEC AND SECONDED BY COMMISSION MEMBER MR. RENE OLIVAREZ TO RECOMMEND APPROVAL OF THE COMPREHENSIVE PLAN AMENDMENT AND REZONING REQUEST. MOTION CARRIED UNANIMOUSLY WITH A VOTE OF 4-0.

- E. Consider the Comprehensive Plan Amendment from Auto Urban Uses to Urban uses and the Rezoning Request from Neighborhood Conservation 5 (NC5) District to Urban Residential (UR) District, being a 33.58 acre tract out of Lot 15, Block 55, Alamo Land and Sugar Company's Subdivision, located at 3301 East Trenton Road, as requested by Quintanilla, Headley & Associates, Inc.

MOTION WAS MADE BY COMMISSION MEMBER MR. VICTOR DANIEC AND SECONDED BY COMMISSION MEMBER MR. JORGE GONZALEZ TO RECOMMEND APPROVAL OF THE COMPREHENSIVE PLAN AMENDMENT AND REZONING REQUEST. MOTION CARRIED UNANIMOUSLY WITH A VOTE OF 4-0.

- F. Consider the Rezoning Request from Agriculture (AG) District to Auto-Urban Residential (AU) District, being 34.26 acres out of Lot 3, Section 276, Texas-Mexican Railway Company's Survey, located at 501 North McColl Road, as requested by Melden & Hunt, Inc.

MOTION WAS MADE BY COMMISSION MEMBER MR. JORGE GONZALEZ AND SECONDED BY COMMISSION MEMBER MR. VICTOR DANIEC TO RECOMMEND APPROVAL OF THE REZONING REQUEST. MOTION CARRIED UNANIMOUSLY WITH A VOTE OF 4-0.

- G. Consider the Comprehensive Plan Amendment from Auto Urban Uses to Urban Uses and the Rezoning Request from Suburban Residential (S) District to Urban Residential (UR) District, being a 3.258 acre tract, more or less, out of Lot 2, J.A.S. I. Lavelle Subdivision, located at 3610 South Veterans Boulevard, as requested by Ron Zedek

MOTION WAS MADE BY COMMISSION MEMBER MR. VICTOR DANIEC AND SECONDED BY COMMISSION MEMBER MR. JORGE GONZALEZ TO RECOMMEND APPROVAL OF THE COMPREHENSIVE PLAN AMENDMENT AND REZONING REQUEST. MOTION CARRIED UNANIMOUSLY WITH A VOTE OF 4-0.

- H. Consider the Comprehensive Plan Amendment from Auto-Urban Uses to Urban Uses and the Rezoning Request from Commercial General (CG) District to Urban Residential (UR) District, being Lot 105, Valley Downs Phase 1 Subdivision, a portion of Seattle Slew Street abandoned by City of Edinburg Doc. #1921923 O.R., and a portion of Seattle Slew Street abandoned by City of Edinburg Doc. #1921923 O.R., located at 5125 South Business Highway 281, as requested by Gilbert Ortiz, on behalf of Ernesto Salinas.

MOTION WAS MADE BY COMMISSION MEMBER MR. JORGE GONZALEZ AND SECONDED BY COMMISSION MEMBER MR. VICTOR DANIEC TO RECOMMEND APPROVAL OF THE COMPREHENSIVE PLAN AMENDMENT AND THE REZONING REQUEST. MOTION CARRIED UNANIMOUSLY WITH A VOTE OF 4-0.

- I. Consider the Initial Zoning Request to Suburban Residential (S) District of a 30 acre tract of land, more or less, consisting of all of Lots 20, 21, and 22, Caledonian Estates, located at 3701 East Curve Road, as requested by Salinas Engineering & Associates.

MOTION WAS MADE BY COMMISSION MEMBER MR. VICTOR DANIEC AND SECONDED BY COMMISSION MEMBER MR. VICTOR DANIEC TO RECOMMEND APPROVAL OF THE INITIAL ZONING REQUEST. MOTION CARRIED UNANIMOUSLY WITH A VOTE OF 4-0.

5. SUBDIVISIONS (PUBLIC HEARINGS)

- A. Consider the Preliminary Re-plat of Lots 7 & 11, North Industrial Park Subdivision, being an 8.22 acre tract of land out of Lots 7 & 11, North Industrial Park Subdivision, located at 6930 Democracy Drive, as requested by R. E. Garcia & Associates

MOTION WAS MADE BY COMMISSIONER MR. JORGE GONZALEZ AND SECONDED BY COMMISSION MEMBER MR. RENE OLIVAREZ TO RECOMMEND APPROVAL OF THE PRELIMINARY RE-PLAT. MOTION CARRIED UNANIMOUSLY WITH A VOTE OF 4-0.

6. CONSENT AGENDA

- A. Consider the Final Plat for Russell Park III & IV Subdivision, being a 20.49 acre tract out of Lots 15 & 16, Section, Section 244, Texas-Mexican Railway Company's Survey, located at 400 East Russell Road, as requested by Cruz-Hogan Consultants, Inc.
- B. Consider the Final Plat for Las Olas Subdivision, being a 25.331 acre tract out of Lot 9, Block 53, Alamo Land & Sugar Company Subdivision, located at 5900 East Alberta Road, as requested by Melden & Hunt, Inc.

MOTION WAS MADE BY COMMISSION MEMBER MR. VICTOR DANIEC AND SECONDED BY COMMISSION MEMBER MR. JORGE GONZALEZ TO APPROVE THE FINAL PLATS FOR RUSSELL PARK III & IV SUBDIVISION AND FOR LAS OLAS SUBDIVISION. MOTION CARRIED UNANIMOUSLY WITH A VOTE OF 4-0.

7. SUBDIVISION (PLATS)

- A. Consider the Preliminary Plat of Citrus Gardens Subdivision, being a 10.07 acre tract out of Lot 13, Block 39 of the Santa Cruz Gardens Unit No. 2 Subdivision, located at 2700 East Davis Road, as requested by RO Engineering, PLLC.

COMMISSION MEMBER MR. RENE OLIVAREZ ABSTAINED FROM VOTING. DUE TO NO QUORUM, THIS ITEM AND ITEM 8C WERE NOT DISCUSSED.

- B. Consider the Preliminary Plat of The Heights on Trenton Phase II Subdivision, being a 33.58 acre tract out of Lot 15, Block 55, Alamo Land and Sugar Company's Subdivision, located at 3501 East Trenton Road, as requested by Quintanilla, Headley & Associates, Inc.
- C. Consider the Preliminary Plat of T&O Ranch No. 2 Subdivision, being a 4.95 acre tract of land out of Lots 2 & 3, Block 28, Santa Cruz Gardens Unit 2 Subdivision, located at 7100 East Benito A. Ramirez Road, as requested by Quintanilla, Headley & Associates, Inc.
- D. Consider the Preliminary Plat of Jalpa Oaks Subdivision, being a 17.37 acre tract out of Lots 31 and 32, M.L. Woods Co. Tract No. 4 Subdivision, located at 4801 South Veterans Road, as requested by Melden & Hunt, Inc.

MOTION WAS MADE BY COMMISSION MEMBER MR. RENE OLIVAREZ AND SECONDED BY COMMISSION MEMBER MR. JORGE GONZALEZ TO APPROVE ITEMS 7B – 7D. MOTION CARRIED UNANIMOUSLY WITH A VOTE OF 4-0.

8. SUBDIVISIONS (VARIANCES)

- A. Consider the Variance to Article 7 Section 7.502, Roadway Widening, T&O Ranch No. 2 Subdivision, a 4.95 acre tract of land out of the East ½ Lots 2 and 3, Block 28, Santa Cruz Gardens Unit 2 Subdivision, located at 7100 East Benito A. Ramirez Road, as requested by Quintanilla, Headley & Associates, Inc.

MOTION WAS MADE BY COMMISSION MEMBER MR. JORGE GONZALEZ AND SECONDED BY COMMISSION MEMBER MR. VICTOR DANIEC TO RECOMMEND APPROVAL OF VARIANCE #1. MOTION CARRIED UNANIMOUSLY WITH A VOTE OF 4-0. MOTION WAS MADE BY COMMISSION MEMBER MR. VICTOR DANIEC AND SECONDED BY COMMISSION MEMBER MR. JORGE GONZALEZ TO RECOMMEND DISAPPROVAL OF VARIANCE #2. MOTION CARRIED UNANIMOUSLY WITH A VOTE OF 4-0.

**PLANNING & ZONING COMMISSION MEETING
NOVEMBER 9, 2021
PAGE 6**

- B.** Consider the Variance to Article 8 Section 8.2041 and 8.213 Street Standards, Sidewalks and Trails, Monarco Estates Subdivision, being a 37.576 acre tract out of Lot 16, Block 53, Alamo Land and Sugar Company's Subdivision, located at 6001 East Owassa Road, as requested by Melden & Hunt, Inc

MOTION WAS MADE BY COMMISSION MEMBER MR. JORGE GONZALEZ AND SECONDED BY COMMISSION MEMBER MR. VICTOR DANIEC TO RECOMMEND APPROVAL OF THE VARIANCE REQUESTS.

- C.** Consider the Variance to Article 7 Section 7.404B Blocks and Block Length, Citrus Gardens Lot 13, Block 3, Santa Cruz Gardens Unit No. 2, located at 2700 East Davis Road, as requested by RO Engineering

ITEM WAS NOT DISCUSSED.

- D.** Consider the Variance to Section 7.404B Blocks and Block Length, Oak Hill at Villanueva Estates Phase 2 Subdivision, being 13.564 acres out of Lot 9, Section 233, Texas-Mexican Railway Company's Survey, located at 1201 North Hoehn Road, as requested by Melden and Hunt, Inc.

MOTION WAS MADE BY COMMISSION MEMBER MR. VICTOR DANIEC AND SECONDED BY COMMISSION MEMBER MR. RENE OLIVAREZ TO RECOMMEND APPROVAL OF THE VARIANCE REQUESTS.

9. DIRECTOR'S REPORT

- A.** Unified Development Code Update

MRS. KIMBERLY MENDOZA DISCUSSED THE MODULE 2 DRAFT THAT IS IN PROGRESS FOR THE UNIFIED DEVELOPMENT CODE UPDATE. MRS. MENDOZA ALSO ADVISED THE MEMBERS OF THE UPCOMING STEERING COMMITTEE MEETING ON NOVEMBER 10, 2021.

10. ADJOURNMENT

There being no further information to consider, the meeting was adjourned at 6:17 P.M.

Alejandra Gonzalez

Alejandra Gonzalez, Administrative Assistant
Planning & Zoning Department

**PLANNING AND ZONING COMMISSION
REGULAR MEETING
DECEMBER 14, 2021- 4:00 P.M.
EDINBURG CITY HALL – CITY COUNCIL CHAMBERS
415 WEST UNIVERSITY DRIVE
EDINBURG, TEXAS 78541**

MEMBERS PRESENT

Jorge Sotelo, Commissioner
Ruby Casas, Commissioner
Hiren Govind, Vice Chairperson (Virtual)
Rene Olivarez, Commissioner
Jorge Gonzalez, Commissioner

MEMBERS ABSENT

Joe Ochoa, Chairperson
Victor Daniec, Commissioner

STAFF PRESENT

Kimberly A. Mendoza, Planning & Zoning Director
Alejandra Gonzalez, Administrative Assistant
Nikki Marie Cavazos, Planner I
Omar Garza, Deputy Chief
Peter Hermida, Engineer III
Omar Ochoa, City Attorney
Brian Kelsey, Assistant City Manager
Tomas Reyna, Assistant City Manager
Rita Lee Guerrero, Management Analyst

Abel Beltran, Planner I
Jaime Ayala, Planner II
Daniel A. Colina, Planner I
Patrizia Longoria, Engineer III
Tilfred Farley, Planning Assistant
Mardoqueo Hinojosa, City Engineer
Robert Hernandez, Engineer I
Blanca Davila, EDC Director
Carlos H. Garza, EDC Coordinator

VISITORS

Ivan Garcia

1. CALL MEETING TO ORDER, ESTABLISH QUORUM

Quorum was established and meeting was called to order at 4:09 P.M.

- A. Prayer – Prayer was announced by Commission Member Mrs. Ruby Casas
- B. Pledge of Allegiance – The Pledge of Allegiance was said.

Motion was made by Commission Member Mr. Jorge Sotelo and unanimously approved to have Commission Member Mr. Jorge Sotelo be Chairperson for this meeting. Motion carried unanimously with a vote of 4-0.

2. CERTIFICATION OF PUBLIC NOTICE

City Attorney Mr. Omar Ochoa verified the posting of the Planning and Zoning Commission Meeting Notice and its compliance with the Open Meetings Act.

3. MEETING PROCEDURES

The following are the meeting procedures used by the Planning and Zoning Commission:

- A. All the items are generally considered as they appear on the agenda. As each item is introduced.
- B. Staff will present its findings and recommendation on the item being considered.

PLANNING & ZONING COMMISSION MEETING

DECEMBER 14, 2021

PAGE 2

- C. The party making the request may make a presentation and may address the Commission on any issues arising during the discussion of the item being considered.
- D. Anyone in the audience desiring to speak in favor or in opposition may do so. A 3 minute time limit will be given to each person interested in speaking on the item. The use of a spokesperson for large groups of people will be required.
- E. Once the Chair close the public hearing, the commission may question anyone and maintain any discussion which clarifies the proposal and will take what action it feel to be appropriate.

If you would liketo participate under public comments, you must submit a request beginning at 9:00 a.m. the day of the meeting by (a) sending an email to PublicHearing@cityofedinburg.com or (b) calling the Planning and Zoning Department at 956-388-8202. All request should include your name, address, and telephone number. We ask for everyone's cooperation in following this procedure.

4. MINUTES

- A. Consider approval of the Minutes for the October 12, 2021 Regular Meeting

No action.

5. PUBLIC HEARINGS

- A. Consider the Rezoning Request from Suburban Residential (S) District to Commercial Neighborhood (CN) District, a 0.76 acre tract of land being a portion of Lot 5, Section 273, Texas-Mexican Railway Company's Survey, located at 402 North Jackson Road, as requested by Erica Perez

APPLICANT WAS PRESENT BUT DID NOT ADDRESS THE BOARD. BEING NO DISCUSSION, MOTION WAS MADE BY COMMISSION MEMBER MR. JORGE GONZALEZ AND SECONDED BY COMMISSION MEMBER MR. JORGE SOTELO TO RECOMMEND APPROVAL OF THE REZONING REQUEST. MOTION CARRIED UNANIMOUSLY WITH A VOTE OF 4-0.

- B. Consider the Comprehensive Plan Amendment from Auto Urban Uses to General Commercial Uses and the Rezoning Request from Suburban Residential (S) District and Neighborhood Conservation Manufactured Home (NC-MH) District to Commercial General (CG) District, being a 10.36 acre tract, more or less, out of a part of Lot 11, Section 246, Texas-Mexican Railway Company's Survey, located at 1300 North Interstate 69C, as requested by Aaron Rivera

APPLICANT WAS PRESENT AND P.E. IVAN GARCIA ADDRESSED THE BOARD. THE BOARD DID NOT HAVE ANY QUESTIONS. MOTION WAS MADE BY RUBY CASAS AND SECONDED BY COMMISSION MEMBER MR. JORGE GONZALEZ TO RECOMMEND APPROVAL OF THE COMPREHENSIVE PLAN AMENDMENT AND REZONING REQUEST. MOTION CARRIED UNANIMOUSLY WITH A VOTE OF 4-0.

HIREN GOVIND JOINED VIA ZOOM AT 4:16 P.M.

**PLANNING & ZONING COMMISSION MEETING
DECEMBER 14, 2021
PAGE 3**

- C. Consider the Rezoning Request from Suburban Residential (S) District to Auto-Urban Residential (AU) District, a 1.00 acre tract of land, being a portion of the north 5.00 acres of Lot 10, Section 244, Texas-Mexican Railway Company's Survey, located at 424 East Rogers Road, as requested by Berta A. Salazar

APPLICANT WAS PRESENT BUT DID NOT ADDRESS THE BOARD. COMMISSION MEMBER MR. JORGE SOTELO INQUIRED WHETHER THE PROPERTIES TO THE WEST HAD GONE THROUGH THE REZONING PROCESS RECENTLY. MR. COLINA ADVISED THEY HAVE BEEN REZONED. THERE WAS NO PUBLIC COMMENTS. MOTION WAS MADE BY COMMISSION MEMBER MR. JORGE GONZALEZ AND SECONDED BY COMMISSION MEMBER MS. RUBY CASAS TO RECOMMEND APPROVAL OF THE REZONING REQUEST. MOTION CARRIED UNANIMOUSLY WITH A VOTE OF 5-0.

COMMISSION MEMBER MR. RENE OLIVAREZ ADVISED HE WILL BE ABSTAINING FROM VOTING ON ITEM 6A. COMMISSION MEMBER MR. JORGE SOTELO ADVISED THEY WILL BE DOING ONE MOTION FOR ITEM 6A AND ONE MOTION FOR ITEMS 6B THROUGH 6D.

6. SUBDIVISION (PLATS)

- A. Consider the Preliminary Plat of Citrus Gardens Subdivision, being a 10.01 acre tract out of Lot 13, Block 39 of the Santa Cruz Gardens Unit No. 2 Subdivision, located at 2705 East Davis Road, as requested by RO Engineering, PLLC.

MOTION WAS MADE BY VICE CHAIRPERSON MR. HIREN GOVIND AND SECONDED BY COMMISSION MEMBER MRS. RUBY CASAS TO RECOMMEND APPROVAL OF THE PRELIMINARY PLAT. MOTION CARRIED WITH A VOTE OF 4-0-1. COMMISSION MEMBER MR. RENE OLIVAREZ ABSTAINED FROM VOTING. 4 COMMISSION MEMBERS VOTED TO RECOMMEND APPROVAL OF THE PRELIMINARY PLAT, 0 COMMISSION MEMBERS VOTED AGAINST, AND THERE WAS 1 ABSTENTION.

- B. Consider the Preliminary Plat of Silverstone Heights Subdivision, being a 24.99 acre tract of land out of Lot 15, Section 248, Texas-Mexican Railway Company's Survey, located at 3201 East Mile 17 ½ Road, as requested by NAIN Engineering, LLC.
- C. Consider the Preliminary Plat of La Reserva Subdivision Phase II, being an 81.74 acre tract of land out of Lots 3-6, 11, & 12, Block 73, Engelmann Re-subdivision of the Missouri-Texas Land Irrigation Company's Subdivision, located at 8200 East FM 8212, as requested by Quintanilla, Headley, & Associates, Inc.
- D. Consider the Preliminary Plat of Los Cortijos Subdivision, being a 60.0 acre tract of land out of Lot 13, Block 57, Alamo Land and Sugar Company's Subdivision, located at 7601 East Trenton Road, as requested by Melden & Hunt, Inc.

MOTION WAS MADE BY COMMISSION MEMBER MR. JORGE GONZALEZ AND SECONDED BY COMMISSION MEMBER MRS. RUBY CASAS TO RECOMMEND APPROVAL OF THE PRELIMINARY PLATS 6B THROUGH 6D. MOTION CARRIED UNANIMOUSLY WITH A VOTE OF 5-0.

7. CONSENT AGENDA

COMMISSION MEMBER MR. JORGE SOTELO ADVISED ITEMS 7A-7E WILL BE DONE IN ONE MOTION. MOTION WAS MADE BY VICE CHAIRPERSON MR. HIREN GOVIND AND SECONDED BY COMMISSION MEMBER MRS. RUBY CASAS TO RECOMMEND APPROVAL OF ITEMS 7A-7E. MOTION CARRIED UNANIMOUSLY WITH A VOTE OF 5-0.

- A. Consider the Final Plat for Hyde Park Subdivision, being a 14.998 acre tract out of Lots 2 through 15 and part of Northpoint Subdivision Phase I, located at 141 North Point Drive, as requested by Melden & Hunt, Inc.
- B. Consider the Final Plat for Suncrest Acres Subdivision, being a 19.394 acre tract of land out of Lot 3, Block 57, Alamo Land and Sugar Company's Subdivision, located at 3000 South Tower Road, as requested by Melden & Hunt, Inc.
- C. Consider the Final Plat for The Heights on Trenton Subdivision, being a 19.531 acre tract of land out of Lot 16, Block 55, Alamo Land and Sugar Company's Subdivision, located at 3000 East Trenton Road, as requested by Melden & Hunt, Inc.
- D. Consider the Final Plat for Silos at La Sienna Phase I, being a 16.197 acre tract of land out of Lot 4, Amended Plat of La Sienna Development, located at 4001 La Sienna Parkway, as requested by Melden & Hunt, Inc.
- E. Consider the Final Plat for the Re-plat of Lots 7 & 11, North Industrial Park Subdivision, being an 8.22 acre tract of land out of all of Lots 7 & 11, North Industrial Park Subdivision, located at 700 Independence Drive, as requested by R.E. Garcia & Associates

8. SUBDIVISION (VARIANCES)

- A. Consider Variance Requests to the City's Unified Development Code: 1) Section 7.404B Blocks and Block Length and 2) Section 8.204 Street Standards, proposed Citrus Gardens Subdivision, Lot 13, Block 3, Santa Cruz Gardens Unit No. 2, located at 2705 East Davis Road, as requested by RO Engineering, PLLC.

COMMISSION MEMBER MR. RENE OLIVAREZ ABSTAINED. MR. JUAN LOPEZ ADDRESSED THE BOARD ON BEHALF OF THE APPLICANT. MR. LOPEZ DISCUSSED THE BLOCK LENGTH OF THE SUBDIVISION. HE ADVISED THAT NEIGHBORING PROPERTIES DO NOT HAVE AN ISSUE WITH THE BLOCK LENGTH. MR. LOPEZ ALSO MENTIONED THAT THE COMMON THING THAT HAS BEEN DONE IS PROVIDING FOR THE KNUCKLE AND THE KNUCKLE PROVIDES FOR EMERGENCY

TURNAROUNDS. HE DISCUSSED EXAMPLES OF STUB-OUTS BEING USED ONLY FOR PARKING AND SUBDIVISIONS BEING DEVELOPED AS PRIVATE DEVELOPMENTS AND THE STUB-OUTS REMAINING THERE. MR. LOPEZ ADDRESSED THE ADDITIONAL PAVEMENT SECTION AND DISCUSSED THAT AS PER THE UDC, IMPROVEMENTS SUCH AS ADDITIONAL WIDENINGS MAY CREATE A TRAFFIC SAFETY HAZARD IF IT DOES NOT PROVIDE FOR A COMPLETED STREET SECTION BETWEEN THE OFF-STREET SECTIONS WHICH WOULD BE DOOLITTLE RD. AND JASMAN RD. BASED ON HIS OBSERVATION THE ADDITIONAL PAVEMENT IS NOT BEING USED AND IT WOULD BE A TRAFFIC HAZARD FOR SMALLER SUBDIVISIONS ONLY. MR. LOPEZ ADVISED THAT THE SCHOOL NEARBY DOES HAVE ADDITIONAL WIDENING, HOWEVER IT IS USEFUL TO THEM, AS PARENTS DROP OFF THEIR CHILDREN. MR. AUSTIN COLINA DISCUSSED UDC SECTION 7.502. COMMISSION MEMBER MR. JORGE SOTELO INQUIRED WHETHER THE NEW UDC WILL BE ADDRESSING THE BLOCKS AND BLOCK LENGTH AND IF THE FIRE DEPARTMENT HAS VERIFIED WHETHER THEIR TRUCKS WILL HAVE ENOUGH SPACE TO MAKE A WIDE TURN. MR. OMAR GARZA ADDRESSED THE BOARD AND ADVISED THEY WOULD BE ABLE TO ACCESS THE SUBDIVISION. MR. GARZA ALSO DISCUSSED TRAFFIC SPEED BEING AN ISSUE IN THAT ROAD. COMMISSION MEMBER MR. JORGE SOTELO SUGGESTED THE ADDITION OF SPEED BUMPS. VARIANCE REQUESTS WERE VOTED ON SEPARATELY. MOTION WAS MADE BY COMMISSION MEMBER MRS. RUBY CASAS AND SECONDED BY VICE CHAIRPERSON MR. HIREN GOVIND TO RECOMMEND APPROVAL OF VARIANCE REQUEST #1. MOTION CARRIED WITH A VOTE OF 4-0-1. 4 COMMISSION MEMBER VOTED FOR, NONE AGAINST, AND COMMISSION MEMBER MR. RENE OLIVAREZ ABSTAINED. MOTION WAS MADE BY COMMISSION MEMBER MR. JORGE GONZALEZ AND SECONDED BY VICE CHAIRPERSON MR. HIREN GOVIND TO RECOMMEND DISAPPROVAL OF VARIANCE REQUEST #2. MOTION CARRIED WITH A VOTE OF 4-0-1. COMMISSION MEMBER MR. RENE OLIVAREZ ABSTAINED.

- B. Consider Variance Requests to the City's Unified Development Code: 1) Section 7.404B Blocks and Block Length and 2) Section 8.204 Street Standards, and 3) Section 11.504A(1) Existing Stubs, proposed Cole Crossing Subdivision, being an 18.0 acre tract of land out of Lots 12 & 13, Block 35, Santa Cruz Gardens Unit No. 2, located at 2201 East Ramseyer Road, as requested by SDI Engineering, LLC.**

ISRAEL POSADAS FROM SDI ENGINEERING ADRESSED THE BOARD. MR. POSADAS DISCUSSED THE FIRST VARIANCE WHICH IS REQUESTING A STUB-OUT TO THE NORTH. HE ADVISED THAT NEIGHBORING PROPERTY OWNERS WOULD PREFER FOR THE STREET TO REMAIN AS A DEAD END SINCE IT PROVIDES MORE PRIVACY AND LESS THRU TRAFFIC. MR. POSADAS DISCUSSED THE NEIGHBORING PROPERTIES ARE ALREADY ESTABLISHED HOMESTEADS AND WILL MORE THAN LIKELY NOT BE TURNING INTO DEVELOPMENTS. HE ADVISED THEY ARE NOT OPPOSED TO PUTTING IN A MIDWAY CUL-DE-SAC FOR EMERGENCY ACCESS. MR. POSADAS EMPHASIZED THAT THE SUBDIVISION IS OUTSIDE OF THE CITY LIMITS AND THE LIKELIHOOD OF RAMSEYER DRIVE BEING WIDENED IS UNLIKELY. THERE WAS FURTHER DISCUSSION REGARDING THE BLOCK LENGTH BEING 1,225 FT. AND NOT WHAT WAS DISPLAYED IN THE BOARD'S PACKET. THERE WAS ALSO

DISCUSSION REGARDING TRAFFIC ISSUES THAT COULD ARISE. MOTION WAS MADE BY COMMISSION MEMBER MR. JORGE GONZALEZ AND SECONDED BY COMMISSION MEMBER MR. RENE OLIVAREZ TO RECOMMEND APPROVAL OF VARIANCE #1. MOTION CARRIED UNANIMOUSLY WITH A VOTE OF 5-0. MOTION WAS MADE BY COMMISSION MEMBER MR. JORGE GONZALEZ AND SECONDED BY COMMISSION MEMBER MRS. RUBY CASAS TO RECOMMEND DISAPPROVAL OF VARIANCE #2. MOTION CARRIED UNANIMOUSLY WITH A VOTE OF 5-0. MOTION WAS MADE BY COMMISSION MEMBER MR. JORGE GONZALEZ AND SECONDED BY COMMISSION MEMBER MR. RENE OLIVAREZ TO RECOMMEND APPROVAL OF VARIANCE #3. MOTION CARRIED UNANIMOUSLY WITH A VOTE OF 5-0.

- C. Consider Variance Request to the City's Unified Development Code, Section 8.204, Street Standards, proposed Azaleas Estates Subdivision, being a 30 acre tract consisting of all of Lots 20, 21, and 22, Caledonian Estates Subdivision, located at 3701 East Curve Road, as requested by Salinas Engineering & Associates**

APPLICANT WAS NOT PRESENT. COMMISSION MEMBER MR. JORGE GONZALEZ INQUIRED ABOUT THE REASON WHY THE CITY WOULD AGREE TO PAY FOR THE ROAD IMPROVEMENT IF IT PERTAINS TO THE DEVELOPMENT AGREEMENT. MR. AUSTIN COLINA DISCUSSED RECENT CHANGES IN 2016 REGARDING REQUIREMENTS AND REGULATIONS FOR ANNEXATIONS SUCH AS, THE CITY CANNOT ACQUIRE NEW LAND WITHOUT THEM VOLUNTARILY ANNEXING TO THE CITY. CITY ENGINEER MR. MARDOQUEO HINOJOSA ADDRESSED THE BOARD AND ADVISED THAT THE REQUEST ORIGINALLY CAME IN FOR A SUBDIVISION AND THERE WAS NO INTENT TO VOLUNTARILY ANNEX. MR. HINOJOSA ADVISED THAT ONE THING THAT WAS AGREED UPON, WAS THAT A VARIANCE WOULD BE SUPPORTED FOR NOT WIDENING BUT DEDICATING THE RIGH-OF-WAY SHOULD THEY VOLUNTARILY ANNEX. MR. HINOJOSA DISCUSSED THAT A VOLUNTARY ANNEXATION AND DEVELOPMENT AGREEMENT HAS BEEN SUBMITTED AND STAFF PROCEEDED WITH THE RECOMMENDATION TO SUPPORT NOT WIDENING PROVIDING THE RIGHT OF WAY. COMMISSION MEMBER MR. JORGE GONZALEZ INQUIRED WHETHER IT IS DIRECTLY ADJACENT TO THE CITY LIMITS AND MR. HINOJOSA INFORMED IT DOES NOT CONNECT. COMMISSION MEMBER MR. JORGE SOTELO INQUIRED WHETHER CURRY ROAD TO HAS BEEN WIDENED AND MR. HINOJOSA ADVISED IT HASN'T BEEN WIDENED TO THE FULL EXTENT. COMMISSION MEMBER MR. JORGE GONZALEZ INQUIRED WHAT WERE TO OCCUR IF VARIANCE REQUEST IS DENIED. MRS. KIMBERLY MENDOZA ADVISED THE ANNEXATION HAS BEEN APPROVED BY CITY COUNCIL ON DECEMBER 7, 2021 AS WELL AS THE DEVELOPMENT AGREEMENT, AND THE INITIAL ZONING. SHE INFORMED THE RECOMMENDATION WOULD ONLY BE FOR THE VARIANCE REQUEST PRESENTED. COMMISSION MEMBER MR. JORGE GONZALEZ INQUIRED WHETHER IT HAS ALREADY BEEN AGREED UPON BY STAFF. MR. OMAR OCHOA CLARIFIED THERE HAS NOT BEEN AN AGREEMENT TO THE VARIANCE, THE LIMIT OF THE DEVELOPMENT AGREEMENT WAS THAT IT WOULD GO THROUGH THE PROCESS. COMMISSION MEMBER MR. JORGE SOTELO INQUIRED IF THERE WILL BE FURTHER IMPROVEMENTS TO CURRY ROAD. MRS. MENDOZA DISCUSSED THAT AS DEVELOPMENTS CONTINUE THEY WILL BE REQUIRED TO DO IMPROVEMENTS.

MR. PETER HERMIDA ADRESSED THE BOARD AND INFORMED THAT ALONG CURRY ROAD THERE IS NO RIGHT OF WAY DEDICATION. ACTION: MOTION WAS MADE BY COMMISSION MEMBER MRS. RUBY CASAS AND SECONDED BY COMMISSION MEMBER MR. JORGE GONZALEZ TO RECOMMEND APPROVAL OF THE VARIANCE REQUEST. MOTION CARRIED UNANIMOUSLY WITH A VOTE OF 5-0.

9. DIRECTOR'S REPORT

- A. City Council Actions: November 16, 2021 and December 7, 2021
- B. Unified Development Code Update

MRS. KIMBERLY MENDOZA DISCUSSED CITY COUNCIL ACTIONS FOR THE MEETINGS HELD ON NOVEMBER 16, 2021 AND DECEMBER 7, 2021. SHE ADVISED THE BOARD THAT THE REZONING REQUEST AND COMPREHENSIVE PLAN AMENDMENT FOR 2900 WEST SPRAGUE STREET WERE DISAPPROVED AT THE CITY COUNCIL MEETING. MRS. MENDOZA DISCUSSED THE UDC MEETING THAT WAS HELD EARLIER FROM 9A.M. – 3 P.M. IN WHICH MODULE 2 WAS DISCUSSED. MODULE 2 FOCUSES ON SUBDIVISIONS AND SIGNS.

10. INFORMATION ONLY

- A. Attendance Roster

ATTENDANCE ROSTER WAS REVIEWED.

11. ADJOURNMENT

There being no further information to consider, the meeting was adjourned at 5:11.

Alejandra Gonzalez

Alejandra Gonzalez, Administrative Assistant
Planning & Zoning Department



CITY OF EDINBURG
Planning & Zoning Commission
Regular Meeting
Meeting Date:
1/17/2022
Initial Zoning Request

AGENDA ITEM 6A:

Consider the Initial Zoning Request to Urban Residential (UR) District, being a 26.80 acre tract out of Lot 14, Block 1, John Closner ET Al Subdivision, located at 4700 South Raul Longoria Road, as requested by CJE Construction, LLC.

DESCRIPTION / SCOPE:

The property is located on the east side of South Raul Longoria Road, approximately 1,300 ft. south of East Trenton Road, and currently has a single family home. The applicant is requesting initial zoning for the property to be designated Urban Residential (UR) District. The requested zoning designation allows for single-family and multi-family residential uses on the subject property.

The property is in the City's extraterritorial jurisdiction (ETJ) and a petition for voluntary annexation is scheduled for consideration by the City Council on January 18, 2022. The area is currently outside the city limits and has no adjacent zoning. Nearest zoned areas inside the City Limits are Agriculture (AG) District to the north and west. Land uses in the area are vacant land, single-family and multi-family residential.

A Preliminary Subdivision was submitted under the name of Highland Heights at the subject property, and is also on the same agenda for preliminary consideration by the Planning and Zoning Commission. The subdivision consists of 144 lots ranging in size from 4,275 square feet to 5,600 square feet.

Staff mailed a notice of the public hearing before to 28 neighboring property owners and received no comments in favor and one against this request by the time this report was prepared.

BACKGROUND / HISTORY

As part of the process, the applicant is petitioning for voluntary annexation and proposing a development agreement at the next City Council meeting on January 18, 2022. Final approval of the annexation is scheduled for consideration by Council on February 15, 2022. The applicant has requested initial zoning of Urban Residential (UR) District for this property.

ESTIMATED TIMELINE:

The recommendation of approval or denial of this public hearing is scheduled for consideration by the City Council on February 15, 2022. City Council's decision is the final step in the zoning process for this property. If denied the applicant may not request the proposed zoning classification for a 12 month period from the date of denial.

STAFF RECOMMENDATION:

Staff recommends approval of the Initial Zoning Request to Urban Residential (UR) District based on the existing character of the property and similar land uses in the surrounding area.

If approved, the applicant will need to comply with all requirements during the permitting process including compliance with subdivision regulations, building and fire codes, fire protection, parking, landscape buffer-yards, solid waste services, utility, and any other City requirements, as applicable.

JUSTIFICATION:

The requested zoning is appropriate for the subdivision location, intended use, and surrounding uses.

Nikki Marie Cavazos
Planner I

Kimberly A. Mendoza, MPA
Director of Planning & Zoning

MEETING DATES:
PLANNING & ZONING COMMISSION – 01/17/2022
CITY COUNCIL – 02/15/2022
DATE PREPARED –01/11/2022

STAFF REPORT
GENERAL INFORMATION

APPLICATION: Initial Zoning Request to Urban Residential (UR) District

APPLICANT: CJE Construction

AGENT: Julio Carranza

LEGAL: A 26.80 acre tract of land out of Lot 14, Block 1, John Closner et al
Subdivision

LOCATION: Located at 4700 South Raul Longoria Road

LOT/TRACT SIZE: 26.80 acres

CURRENT USE: Single-Family Residential/ Agriculture

PROPOSED USE: Single-family Residential Development

EXISTING ZONING: N/A

ADJACENT ZONING: North – N/A
South – N/A
East – N/A
West – N/A

LAND USE PLAN: Suburban Uses

PUBLIC SERVICES: North Alamo Water & Sewer

RECOMMENDATION: Staff recommends approval of the Initial Zoning Request to Urban
Residential (UR) District

INITIAL ZONING REQUEST CJE CONSTRUCTION, LLC.

EVALUATION

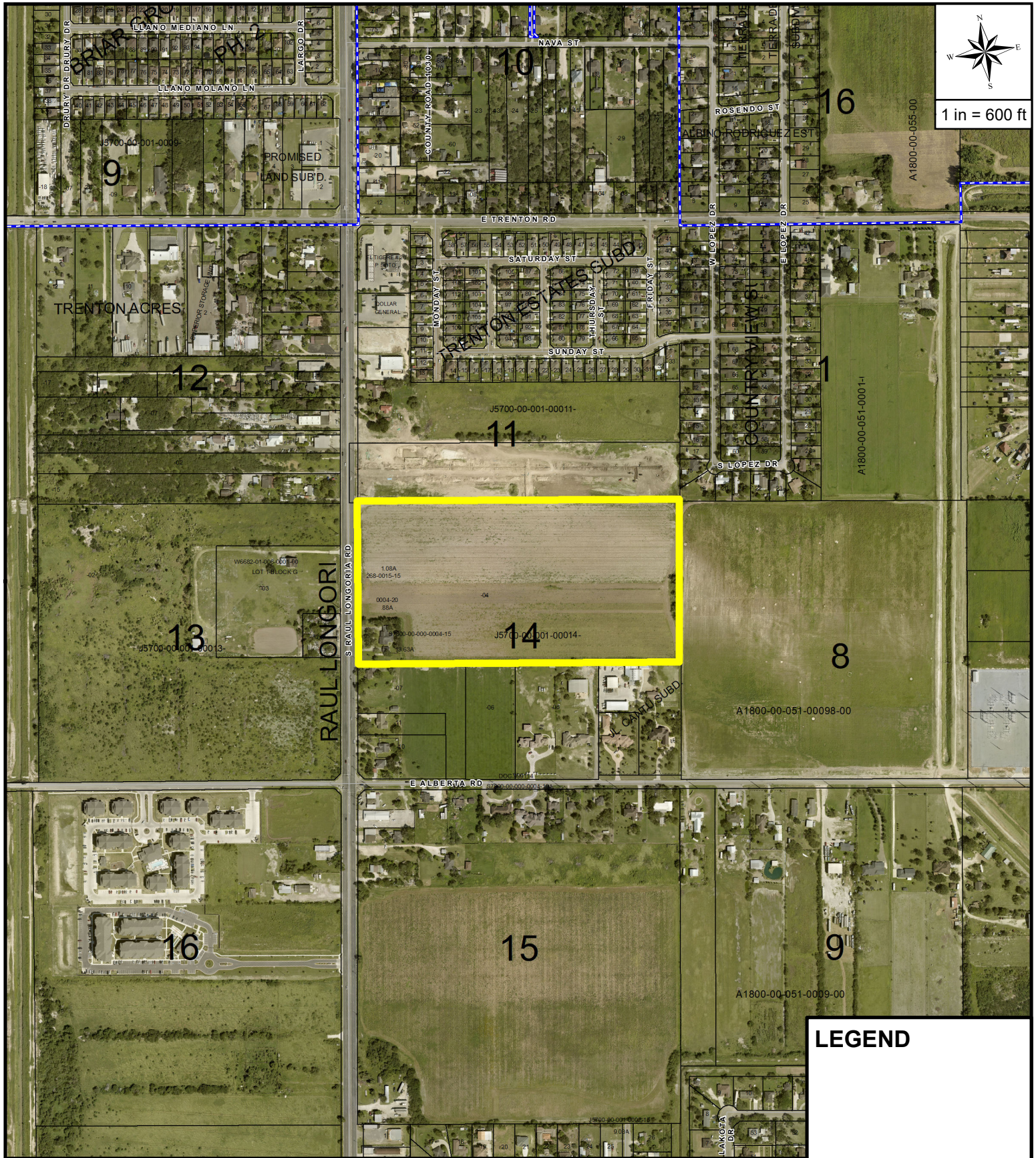
The following is staff's evaluation of the request.

1. The land use in the area mostly consists of low-density residential uses and vacant land.
2. Requested zoning is consistent with the proposed subdivision, and existing uses in the area.

Staff recommends approval of the Initial Zoning Request to Urban Residential (UR) District, based on surrounding land uses and development in the area. If approved, the applicant will need to comply with all requirements during the permitting process including compliance with subdivision regulations, building and fire codes, fire protection, parking, landscape buffer-yards, solid waste services, utility, and any other City requirements, as applicable.

Staff mailed a notice of the public hearing before to 28 neighboring property owners and received no comments in favor and one against this request by the time this report was prepared.

ATTACHMENTS: Aerial Photo
Site Map
Zoning Map
Future Land Use Map
Photo of site
Exhibits




AERIAL MAP


APPLICANT AND/OR SUBDIVISION:

CJE CONSTRUCTION LLC

HIGHLAND HEIGHTS SUBDIVISION

LEGEND

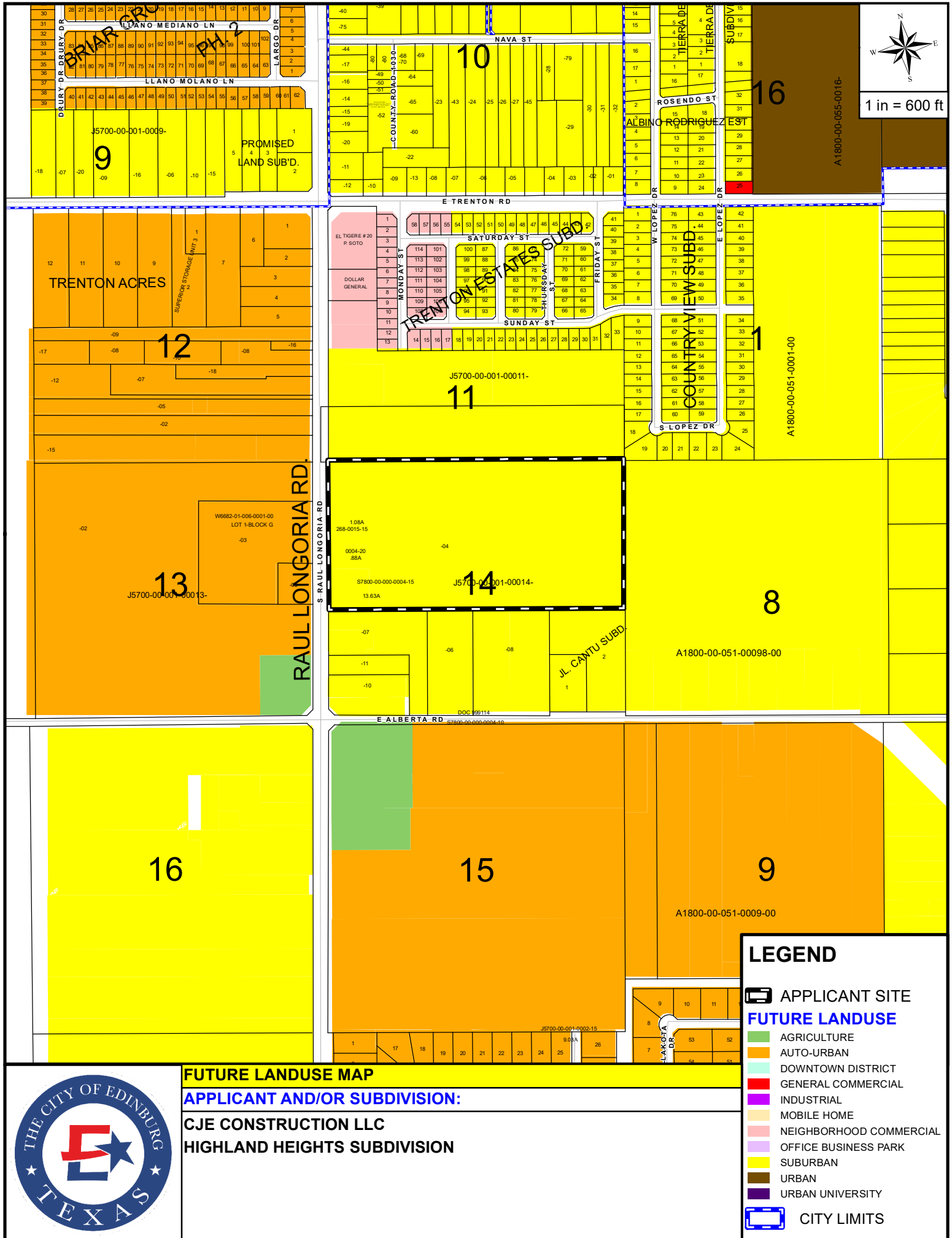
 SUBDIVISION SITE

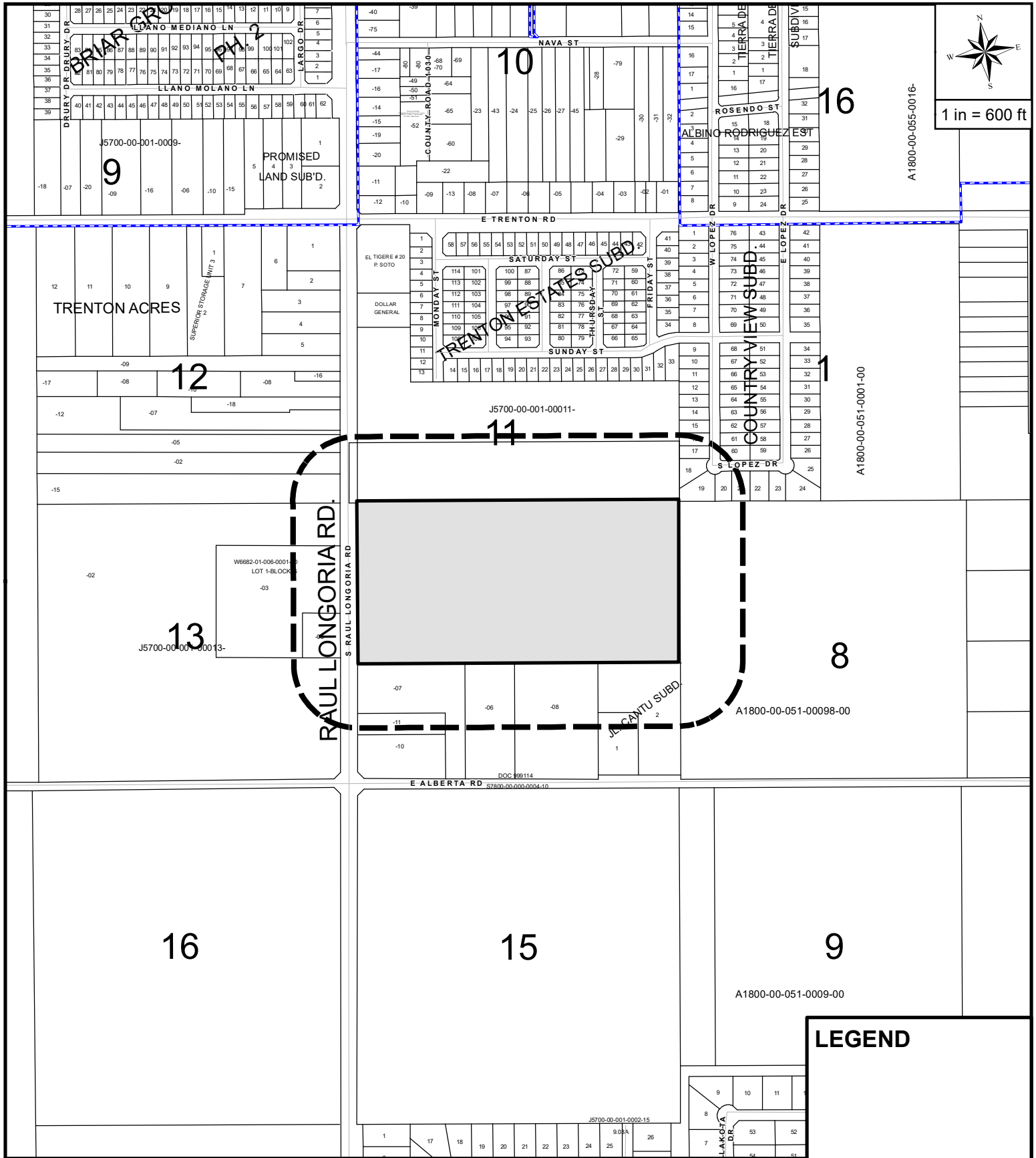
 CITY LIMITS



CJE CONSTRUCTION LLC
HIGHLAND HEIGHTS SUBDIVISION

 CITY LIMITS





MAILOUT AND SITE MAP

APPLICANT AND/OR SUBDIVISION:

**CJE CONSTRUCTION LLC
HIGHLAND HEIGHTS SUBDIVISION**

LEGEND

- SUBDIVISION SITE
- 300FT NOTIFICATION
- CITY LIMITS





Case #

Edinburg

Planning & Zoning Department
415 W. University Drive
Edinburg, Texas 78539
(956) 388-8202

Zone Change Application

Date: 10/12/20211. Name: CJE CONSTRUCTION LLC

2. Phone: _____

3. Mailing Address: 4119 CROSSPOINT BLVD4. City: EDINBURG State: TX Zip: 785395. Email Address: ADMIN@MYCJEHOME.COM 6. Cell No. 956-207-09877. Agent: Julio Carranza 8. Agent's Phone: 956-207-09879. Agent's Mailing Address: 4119 CROSSPOINT BLVD10. City: EDINBURG State: TX Zip: 7853911. Agent's Email: ADMIN@MYCJEHOME.COM

12. Address/Location being Rezoned: _____

13. Legal Description of Property: 199631 and 199630
JOHN CLOSER LOT 14-SW5AC/N26.85-EXC-1AC BLK 1 3.88 AC NET
JOHN CLOSER N26.85' EXC SW5AC & NW1AC LOT 14 BLK 1 20.85AC

14. Property ID(s):

15. Zone Change: From: _____ To: UR - Urban Residential16. Existing Land Use: EMPTY LOT17. Reason for Zone Change: TO BECOME RESIDENTIAL SUBDIVISION

Julio Carranza
(Please Print Name)

Signature

AMOUNT PAID \$

400.00

RECEIPT NUMBER

R01584204

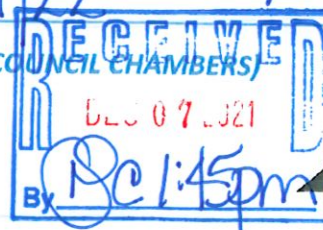
PUBLIC HEARING DATE (PLANNING & ZONING COMMISSION) + 4:00 PM:

1/11/22

PUBLIC HEARING DATE (CITY COUNCIL) - 6:00 PM:

2/1/22

(NOTE: BOTH MEETINGS ARE HELD AT THE EDINBURG CITY COUNCIL CHAMBERS)



SAM Engineering and Surveying



Engineering Firm Reg # 10602 Surveying Firm Reg # 101416-00
200 S. 10TH St. Suite 1500, McAllen, Texas 78501 Phone: (956) 702-8880 Fax: (956) 702-8883

METES & BOUNDS DESCRIPTION

**A 26.80 ACRE (1,167,408.00 SQ. FT.) GROSS., 26.11 ACRE (1,137,366.46 SQ. FT.) NET.,
TRACT OF LAND OUT OF LOT 14, BLOCK 1, JOHN CLOSNER ET AL SUBDIVISION OF LANDS, AS RECORDED IN
VOLUME 0, PAGE 4, MAP RECORDS, HIDALGO COUNTY, TEXAS.**

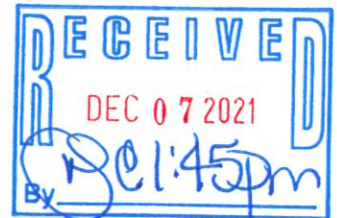
A 26.80 ACRE (1,167,408.00 SQ. FT.) GROSS., 26.11 ACRE (1,137,366.46 SQ. FT.) NET., MORE OR LESS, TRACT OF LAND OUT OF LOT 14, BLOCK 1, JOHN CLOSNER ET AL SUBDIVISION OF LANDS, HIDALGO COUNTY, TEXAS, AS PER MAP OR PLAT THEREOF RECORDED IN VOLUME 0, PAGE 4, MAP RECORDS, HIDALGO COUNTY, TEXAS, THEREOF CONVEYED TO RAMON ESTEVIS, AS RECORDED IN VOLUME 1256, PAGE 992, DEED RECORDS, HIDALGO COUNTY, TEXAS, AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS, AS FOLLOWS;

COMMENCING; AT THE SOUTH COMMON CORNER OF LOT 13, AND LOT 14, OF SAID JOHN CLOSNER ET AL SUBDIVISION OF LANDS, BEING THE INTERSECTION OF RAUL LONGORIA ROAD F.M. 1426 (HAVING AN 80.0 FOOT RIGHT OF WAY), AND THE CENTERLINE OF ALBERTA ROAD (40.0 FOOT RIGHT OF WAY), **THENCE;** NORTH 08°34'30" EAST (NORTH PLAT), ALONG THE CENTERLINE OF SAID RAUL LONGORIA ROAD, ALSO BEING THE WEST LINE OF LOT 14, BLOCK 1, AND THE EAST LINE OF LOT 13, BLOCK 1, OF THE JOHN CLOSNER ET AL SUBDIVISION OF LANDS, A DISTANCE OF 564.26 FEET, TO A POINT FOR THE NORTHWEST CORNER OF J&M NO. 2, AS RECORDED IN INSTRUMENT NUMBER 2761272, MAP RECORDS OF HIDALGO COUNTY, TEXAS, AND BEING THE SOUTHWEST CORNER OF THIS HEREIN DESCRIBED TRACT OF LAND, FOR THE **POINT OF BEGINNING**, HAVING A GRID COORDINATE OF E=1100671.2512, N=16617218.2516;

THENCE; NORTH 08°34'30" EAST (NORTH PLAT), CONTINUING ALONG THE CENTERLINE OF SAID RAUL LONGORIA ROAD, A DISTANCE OF 755.12 FEET, TO A POINT, FOR THE SOUTHWEST CORNER OF SILVER HEIGHTS SUBDIVISION, AS RECORDED IN DOCUMENT NUMBER 3210481, MAP RECORDS OF HIDALGO COUNTY, TEXAS, AND BEING THE NORTHWEST CORNER OF THIS HEREIN DESCRIBED TRACT OF LAND;

THENCE; SOUTH 81°25'30" EAST (EAST PLAT), LEAVING THE CENTERLINE OF SAID RAUL LONGORIA ROAD, ALONG THE SOUTH LINE OF SAID SILVER HEIGHTS SUBDIVISION, AT A DISTANCE OF 40.00 FEET, PASS A FOUND HALF (1/2) INCH IRON ROD, AT THE EAST RIGHT OF WAY LINE OF SAID RAUL LONGORIA ROAD, CONTINUING A TOTAL DISTANCE OF 1,546.21 FEET, TO A FOUND HALF (1/2) INCH IRON ROD, FOR THE SOUTHEAST CORNER OF SAID SILVER HEIGHTS SUBDIVISION, BEING THE SOUTHWEST CORNER OF COUNTRY VIEW SUBDIVISION, AS RECORDED IN VOLUME 19, PAGE 16, MAP RECORDS OF HIDALGO COUNTY, BEING THE NORTHWEST CORNER OF A TRACT OF LAND CONVEYED TO NICOLE KENYON SCHROEDER, AS RECORDED IN DOCUMENT NUMBER 3208508, OFFICIAL RECORDS, HIDALGO COUNTY, TEXAS, FOR THE NORTHEAST CORNER OF THIS HEREIN DESCRIBED TRACT OF LAND;

THENCE; SOUTH 08°34'30" WEST (SOUTH PLAT), ALONG THE WEST LINE OF SAID TRACT OF LAND CONVEYED TO NICOLE KENYON SCHROEDER, A DISTANCE OF 755.12 FEET, TO A SET HALF (1/2) INCH IRON ROD WITH A PLASTIC CAP STAMPED "SAMES", BEING THE NORTHEAST CORNER OF LOT 2, J.L. CANTU SUBDIVISION, AS RECORDED IN DOCUMENT NUMBER 2163437, MAP RECORDS, HIDALGO COUNTY, TEXAS, FOR THE SOUTHWEST CORNER OF THIS HEREIN DESCRIBED TRACT OF LAND;



SAM Engineering and Surveying



Engineering Firm Reg # 10602 Surveying Firm Reg # 101416-00
200 S. 10TH St. Suite 1500, McAllen, Texas 78501 Phone: (956) 702-8880 Fax: (956) 702-8883

THENCE; NORTH 81°25'30" WEST (WEST PLAT), ALONG NORTH LINE OF SAID LOT 2, J.L. CANTU SUBDIVISION, AT A DISTANCE OF 386.54 FEET, PASS THE COMMON LINE OF LOT 2 G.C. SUBDIVISION, AS RECORDED IN DOCUMENT NUMBER 2768423, MAP RECORDS, HIDALGO COUNTY, TEXAS, AND SAID LOT 2, J.L. CANTU SUBDIVISION, AT A DISTANCE 772.58 FEET, PASS THE COMMON LINE OF LOT 1, OF SAID G.C. SUBDIVISION, AND LOT 1, J&M NO. 2, AS RECORDED IN DOCUMENT NUMBER 2761272, MAP RECORDS, HIDALGO COUNTY, TEXAS, AT A DISTANCE OF 1,506.21 FEET, PASS A FOUND A HALF (1/2) INCH IRON ROD, AT THE EAST RIGHT OF WAY LINE OF RAUL LONGORIA ROAD, A TOTAL DISTANCE OF 1,546.21 FEET, TO THE NORTHWEST CORNER OF LOT 4, OF SAID J&M NO. 2, **FOR THE POINT OF BEGINNING**, CONTAINING A 26.80 ACRE (1,167,408.00 SQ. FT.) GROSS., 26.11 ACRE (1,137,366.46 SQ. FT.) NET., TRACT OF LAND, MORE OR LESS.

ALL BEARINGS AND DISTANCES ARE BASED ON THE TEXAS COORDINATE SYSTEM (NAD 83), TEXAS STATE PLANES, SOUTH ZONE, U.S. SURVEY FEET, GRID. BEARINGS AND DISTANCES IN PARENTHESIS ARE BASED ON RECORDED PLAT OR DOCUMENT.

I, OSCAR HERNANDEZ, CERTIFY THAT THE ABOVE METES AND BOUNDS ARE TRUE AND IS THE RESULT OF AN ACTUAL SURVEY PERFORMED UNDER MY DIRECTION.


OSCAR HERNANDEZ, R.P.L.S.

DATE

REGISTERED PROFESSIONAL LAND SURVEYOR NO. 5005

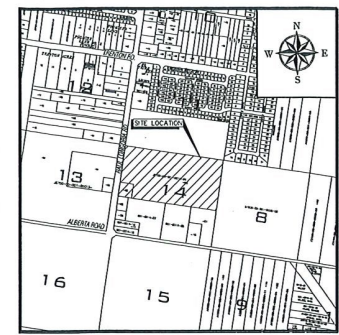


REVISION NOTE:

UPDATED ADJOINER DESCRIPTION

- LEGEND**
- - 1/2" HIGH ROD
 - - 1/2" HIGH ROD W/CAP
 - STAMPED "SAMES"
 - 1/2" HIGH ROD
 - ON-SITE BENCHMARK
 - △ - SET CONCRETE MONUMENTS
 - CENTER LINE
- H.C.M.A. - HOLIDAY COUNTY MAP RECORDS
H.C.D.R. - HOLIDAY COUNTY OFFICIAL RECORDS
P.U.E. - PUBLIC UTILITY EASEMENT
P.O.B. - POINT OF BEGINNING
MON. - MONUMENT
PROP. - PROPOSED
REV. - ELEVATION
R.O.W. - RIGHT OF WAY
FID. - FIDUCIAL

- SURVEY NOTES:**
1. BASIS OF BEARING: THE NORTH LINE LOT 14, BLOCK 1, JOHN CLOSER ET AL. SUBDIVISION OF LANDS, HOLIDAY COUNTY, TEXAS, AS PER MAP OR PLAT THEREOF RECORDED IN VOLUME 6, PAGE 4, MAP RECORDS, HOLIDAY COUNTY, TEXAS.
 2. ALL COORDINATES, BEARINGS, AND DISTANCES, ARE BASED ON THE TEXAS COORDINATE SYSTEM, (NAD 83) ADJUSTMENT, TEXAS STATE PLANS, SOUTH ZONE (4205), US SURVEY FEET, GRID BEARINGS AND DISTANCES SHOWN IN PARANTHESES ARE BASED ON RECORDED DOCUMENT.
 3. ALL HORIZONTAL CONTROL ON THIS PROJECT WAS ESTABLISHED UTILIZING RTK GPS METHODS.
 4. THIS SURVEY WAS COMPLETED WITHOUT THE BENEFIT OF AN ABSTRACT OF TITLE. THERE MAY BE EASEMENTS OR OTHER MATTERS THAT ARE NOT SHOWN.



HIGHLAND HEIGHTS (PRIVATE SUBDIVISION)

LOT LINE TABLE

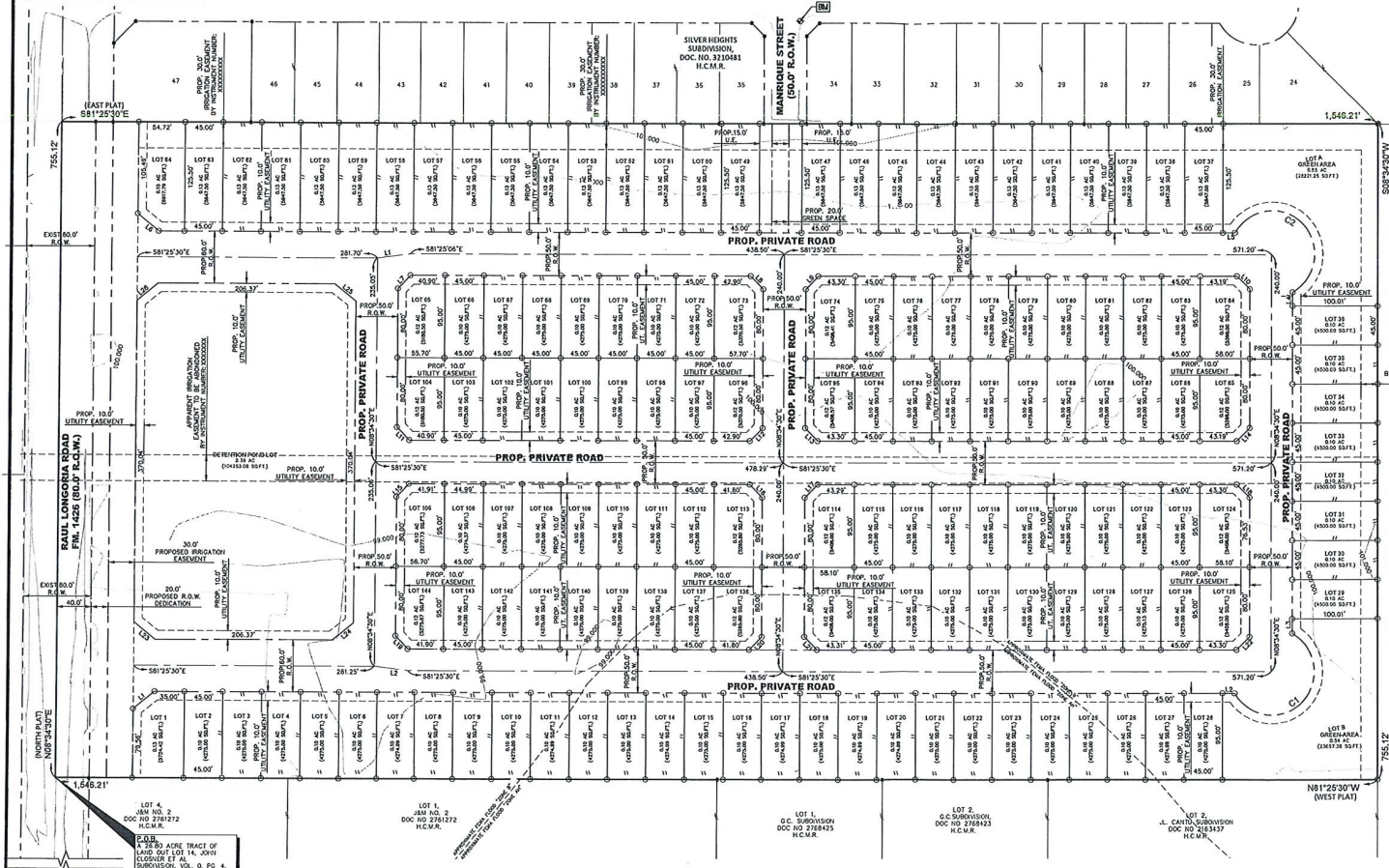
Line #	Length	Direction
L1	32.05'	S89°50'05"E
L2	14.10'	S81°23'30"E
L3	18.72'	N08°34'20"E
L4	15.88'	N08°34'20"E
L5	14.10'	N81°28'36"W
L6	32.02'	N42°42'15"W
L7	21.07'	N53°12'28"E
L8	21.07'	S53°12'28"E
L9	21.07'	S53°12'28"E
L10	21.06'	S36°02'56"E
L11	21.07'	S53°12'28"E
L12	21.07'	N53°12'28"E
L13	21.07'	N53°12'28"E
L14	21.06'	S53°12'28"E
L15	21.07'	N53°12'28"E
L16	21.07'	S53°12'28"E
L17	21.07'	N53°12'28"E
L18	21.07'	S36°02'56"E
L19	21.07'	N53°12'28"E
L20	21.07'	S53°12'28"E
L21	21.06'	N53°12'28"E
L22	21.06'	S53°12'28"E
L23	32.02'	N42°42'15"W
L24	32.27'	S61°10'36"W
L25	32.28'	S43°08'48"E
L26	32.02'	N09°54'15"E

CL. LINE TABLE

Line #	Length	Direction
L1	40.11'	S89°50'11"E
L2	40.10'	S74°20'38"E

LOTS CURVE DATA TABLE

CURVE	ARC LENGTH	RADIUS	DELTA	CHORD	CHORD BEARING	CHORD LENGTH
C1	59.34'	50.00'	165°47'20"	57.49'	57°49'00"E	79.75'
C2	185.23'	50.00'	212°15'40"	183.53'	43°14'W	56.00'



PRINCIPAL CONTACTS:

NAME
OWNER: MAURICIO CARRAJAL
ENGINEER: JESSICA M. MADONADO, P.E.
SURVEYOR: OSCAR HERNANDEZ, R.P.L.S.

ADDRESS
3310 W. FREDDY GONZALEZ DR.
200 S. 10TH ST., SUITE 1500
200 S. 10TH ST., SUITE 1500

CITY & ZIP
EDINBURG, TX 78539
MCALLEN, TX 78501
MCALLEN, TX 78501

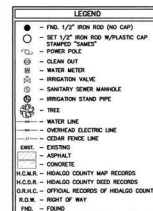
PHONE
(956) 404-4861
(956) 702-8880
(956) 702-8880

FAX
(000) 000-0000
(956) 702-8883
(956) 702-8883

DATE OF PREPARATION: DECEMBER 2021

REGISTRATION # F-10602 SHEET 1 OF 4

SAMES SAM Engineering & Surveying, Inc.
200 S. 10th St. Ste. 1500
McAllen, TEXAS 78501
TEL: (956) 702-8880
FAX: (956) 702-8883



FLOOD ZONE DESIGNATION: "ZONE AH" & "ZONE B"

"ZONE AH" - FLOOD DEPTHS OF 1 TO 3 FEET (USUALLY AREAS OF PONDING); BASE FLOOD ELEVATIONS DETERMINED.

"ZONE B" - AREAS BETWEEN LIMITS OF THE 100-YEAR FLOOD AND 500-YEAR FLOOD; OR CERTAIN AREAS SUBJECT TO 100-YEAR FLOODING WITH AVERAGE DEPTHS LESS THAN ONE (1) FOOT OR WHERE THE CONTRIBUTED DEPTH OF FLOODING IS LESS THAN ONE SQUARE MILE; OR AREAS PROTECTED BY LEVEES FROM THE BASE FLOOD.

COMMUNITY-PANEL NUMBER: 480334 0428 C
MAP REVISED: NOVEMBER 16, 1982

SURVEY NOTES:

1. BASIS OF BEARING THE NORTH LINE OF OF LOT 14, BLOCK 1, JOHN CLOSTER ET AL SUBDIVISION OF LANDS, HIDALGO COUNTY, TEXAS, AS PER MAP AT PLAT THEREOF RECORDED IN VOLUME 10, PAGE 4, MAP RECORDS, HIDALGO COUNTY, TEXAS.

2. ALL COORDINATES, BEARINGS, AND DISTANCES, ARE BASED ON THE TEXAS STATE PLANE SYSTEM (NAD 83), TEXAS STATE PLANE, SOUTH ZONE, U.S. SURVEY FEET, GRID. BEARINGS AND DISTANCES SHOWN IN PARENTHESS ARE BASED ON RECORDED DOCUMENT.

3. ALL HORIZONTAL CONTROL ON THIS PROJECT WAS ESTABLISHED UTILIZING RTK GPS METHODS.

4. THIS SURVEY WAS COMPLETED WITHOUT THE BENEFIT OF AN ABSTRACT OF TITLE. THERE MAY BE EASEMENTS OR OTHER MATTER THAT ARE NOT SHOWN.

THE FOLLOWING MATTERS AND ALL TERMS OF THE DOCUMENTS
CREATING OR OFFERING EVIDENCE OF THE MATTERS.

5. SUBJECT TO THE SUBDIVISION RULES AND REGULATIONS OF
COUNTY OF HIDALGO AND ORDINANCES OR GOVERNMENTAL
REGULATIONS OF THE CITY IN WHICH THE PROPERTY MAY BE
LOCATED OR HOLDING EXTRA TERRITORIAL JURISDICTION OF SAID
PROPERTY.

REVISION NOTES:
UPDATED MAP CONTOURS
UPDATED MAP WITH UTILITIES

PLAT SHOWING

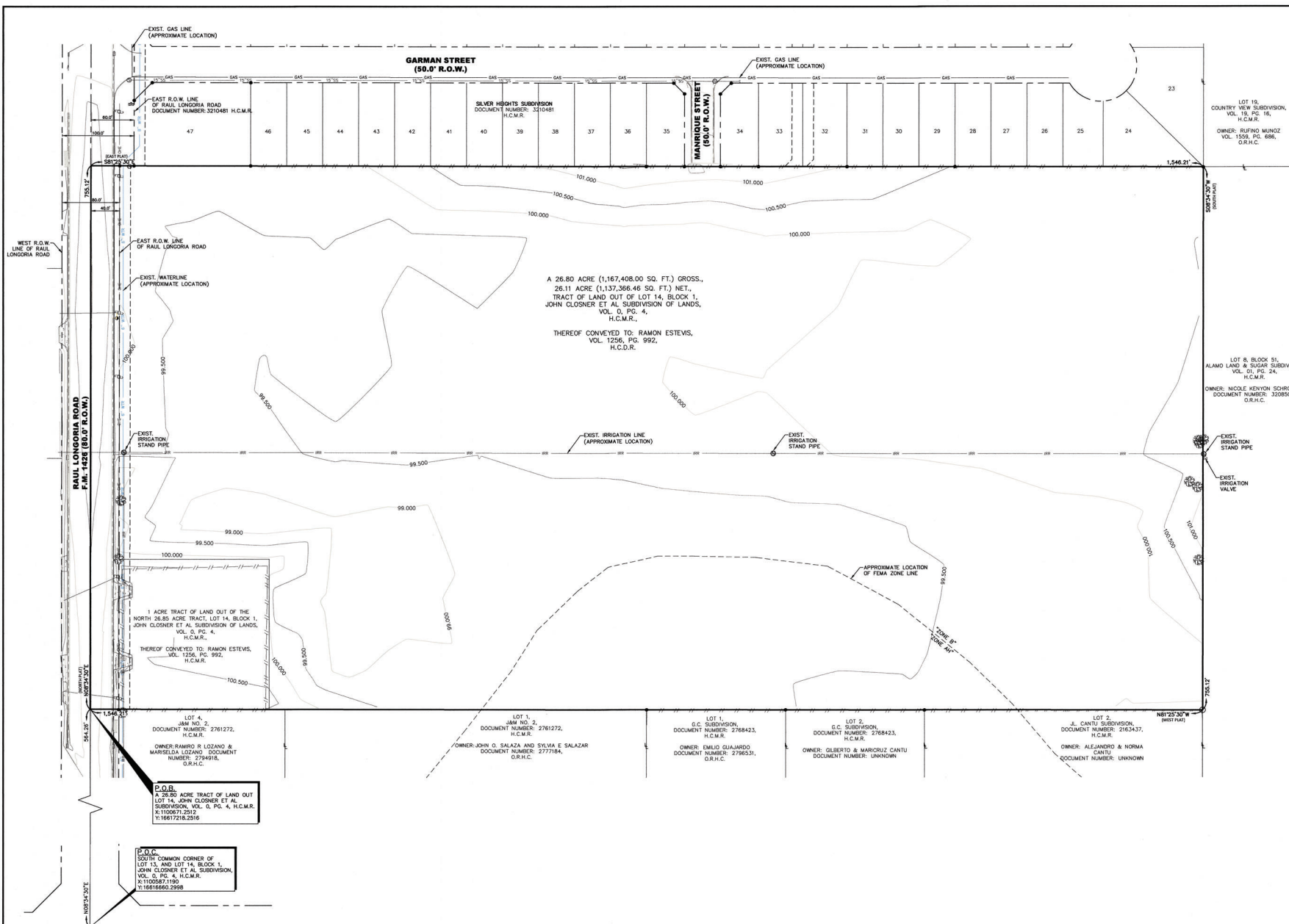
A 26.80 ACRE (1,167,408.00 SQ. FT.) GROSS, 26.11 ACRE (1,137,366.46 SQ. FT.) NET, TRACT OF LAND OUT OF LOT 14, BLOCK 1, JOHN CLOSNER ET AL SUBDIVISION OF LANDS, AN ADDITION TO THE CITY OF EDINBURG, HIDALGO COUNTY, TEXAS, AS PER MAP OR PLAT THEREOF RECORDED IN VOLUME 0, PAGE 4, MAP RECORDS OF HIDALGO COUNTY, TEXAS.

I, OSCAR HERNANDEZ, CERTIFY THAT THIS PLAN REPRESENTS THE FACTS FOUND ON THE GROUND AT THE TIME OF SURVEY AND THAT THERE ARE NO APPARENT EASEMENTS, DISCREPANCIES, CONFLICTS, SHORTAGES IN AREA OR BOUNDARY LINES, OR ENCROACHMENTS, OR OVERLAPPING OF IMPROVABLE EASEMENTS EXCEPT AS SHOWN ON THE SURFACE UTILITIES OR SERVICE CONNECTIONS. DRAWING, © COPYRIGHT 2018 SAM ENGINEERING, INC. THIS SURVEY WAS PREPARED BY ME OR MY ORIGINALS SOLELY FOR THE BORROWER NAMED IN CONNECTION WITH THE ORIGINAL TRANSACTION. THIS SHALL TAKE PLACE WITHIN 6 MONTHS AFTER THE DATE OF THIS SURVEY. NO LICENSE/FEE HAS BEEN OBTAINED FOR THIS SURVEY. THIS SURVEY IMPLIES COPY THIS SURVEY. SURVEY VALID ON THE DATE OF THIS SURVEY. THIS SURVEY HAS ORIGINAL SEAL AND SIGNATURE.

SAME

SAM Engineering & Surveying, Inc.
200 S. 10TH ST, SUITE 1500 TEL: (956) 702-8880
McAllen, Texas 78501 FAX: (956) 702-8883
SURVEY FIRM REG. No. 101416-00

JOB NUMBER	DRAWN BY	COND. BY	DATE	SHEET 1 OF 3
STR 21.016	E.G.	O.H.	12/07/2021	





CARRANZA

DEVELOPMENT

To whom it may concern,

I Berta Estevis, am fully aware of the request for voluntary annexation for the 26 acres located on Raul Longoria, I agree with this request.

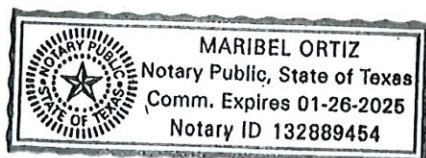
If you have any questions, please feel free to contact me

Thank you,

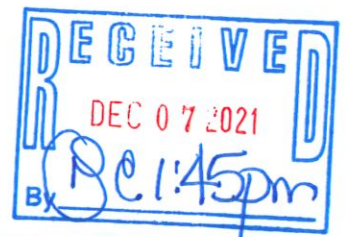
Berta Estevis
956-787-0188

ACKNOWLEDGMENT

This instrument was acknowledged before me on this 18th day of October, 2021, by Berta Estevis



Notary Public, State Of Texas





Initial Zoning Request

CJE CONSTRUCTION, LLC

4700 South Raul Longoria Road





NOTIFICATION

"Against this!"

Dear Property Owner:

A public hearing will be held on **Monday, January 17, 2022 at 4:00 P.M.** in the Edinburg City Hall, City Council Chambers, located at 415 West University Drive, at which time the Planning and Zoning Commission will consider the following:

CONSIDER THE INITIAL ZONING REQUEST TO URBAN RESIDENTIAL (UR) DISTRICT, BEING A 26.80 ACRE TRACT OF LAND OUT OF LOT 14, BLOCK 1, JOHN CLOSER ET AL SUBDIVISION, LOCATED AT 4700 SOUTH RAUL LONGORIA ROAD, AS REQUESTED BY CJE CONSTRUCTION, LLC.

The Zoning District requested allows to create higher density residential neighborhoods to meet the community's housing needs. The proposed use is for a single-family residential development.

This request is scheduled to be heard by the **City Council on Tuesday, February 1, 2022 at 6:00 P.M.** As a property owner within 300 ft. of the subject property, you are invited to attend. Please note that meeting time (s) and date (s) are subject to change. Therefore; please call on the date of the meeting to assure that the item is on the agenda. As part of the City effort to encourage greater participation in the rezoning process, the City is using this notice to solicit your input, but no action or response is required. Should you have any questions or need more information regarding this notice, you may call (956) 388-8202.

You may return your response by one of the following: MAIL: P. O. Box 1079 Edinburg, Texas 78540
FAX: (956) 292-2080 by Friday, January 14, 2022
EMAIL: planning@cityofedinburg.com by Friday, January 14, 2022

Please place a checkmark on the appropriate box to indicate if you are in favor, against, or have no comments on this request.

☐ In Favor/A Favor ☒ Against/En Contra ☐ No Comments/No Comentario

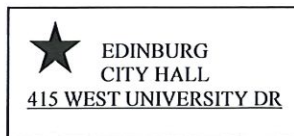
Comments: *I do not want this initial zoning Request by the City of Edinburg! This is just another colonia, they are all around the city.*

Print Name: *Francisco Omar Garza* Phone No. *1-956-369-1981*
Address: *P.O. Box 663* City: *La Blanca* State: *TX* Zip: *78558*

NOTIFICACIÓN

Si tiene preguntas o necesita información sobre esta aplicación en español, por favor llame al 956-388-8202.

Planning and Zoning Department
City of Edinburg
PO BOX 1079
Edinburg, TX 78540-1079



University Dr. (S.H.107)

8th Ave.

RECEIVED

JAN 12 2022

Name: *141*



City of Edinburg
PLANNING & ZONING COMMISSION

Regular Meeting: 1/17/2022

COMPREHENSIVE PLAN AMENDMENT AND REZONING REQUEST

AGENDA ITEM 6B:

Consider the Comprehensive Plan Amendment from Industrial Uses to Urban Uses and the Rezoning Request from Agriculture (AG) District to Urban Residential (UR) District, being 15.336 acres of Lot 1, Section 244, Texas-Mexican Railway Company's Survey, located at 500 East Monte Cristo Road, as requested by Melden & Hunt, Inc.

DESCRIPTION / SCOPE:

The property is located on the south side of East Monte Cristo Road, approximately 1,225 ft. east of North Closner Boulevard and is vacant. The requested zoning designation allows for single and multifamily uses on the subject property. The applicant is requesting the change of zone for a proposed multifamily development.

The property is currently zoned Agriculture (AG) District. The surrounding zoning is Industrial (I) District to the north, Auto Urban (AU) District to the south, and Industrial (I) and Commercial General (CG) Districts to the east and west. Surrounding uses consist of industrial uses and vacant land.

Staff received a Zone Change Application for the subject property on December 16, 2021. The applicant indicated that his intent is to develop the property for multifamily use (4-plexes). No subdivision plat or site plan had been received at the time this report was prepared.

Staff mailed a notice of the public hearing before to 14 neighboring property owners and received no comments in favor and four against this request by the time this report was prepared.

ESTIMATED TIMELINE:

The recommendation of approval or denial of this public hearing is scheduled for consideration by the City Council on February 1, 2022. City Council's decision is the final step in the zoning process for this property. If denied the applicant may not request the proposed zoning classification for a 12 month period from the date of denial.

STAFF RECOMMENDATION:

Staff recommends disapproval of the Rezoning Request from Agriculture (AG) District to Urban Residential (UR) District based on adjacent land uses along East Monte Cristo Road. The proposed residential use is incompatible with the industrial uses to the east and west of this location. The requested zoning does not conform to the City's Future Land Use Plan which anticipated industrial uses at this location.

If approved, the applicant will need to comply with all requirements during the permitting process including compliance with subdivision regulations, building and fire codes, fire protection, parking, landscape buffer-yards, solid waste services, utility, and any other City requirements, as applicable.

JUSTIFICATION:

Staff recommendation is based on existing land uses to the east, west, and north of this location along East Monte Cristo Road. Any proposed residential use would be incompatible with the existing industrial uses at these locations.

D. Austin Colina
Planner I

Kimberly A. Mendoza, MPA
Director of Planning & Zoning

MEETING DATES:
PLANNING & ZONING COMMISSION – 1/17/2022
CITY COUNCIL – 2/01/2022
DATE PREPARED – 1/04/2022

STAFF REPORT
GENERAL INFORMATION

APPLICATION: Comprehensive Plan Amendment from Industrial Uses to Urban Uses and the Rezoning Request from Agriculture (AG) District to Urban Residential (UR) District

APPLICANT: Garman Investments, LP

AGENT: Melden & Hunt, Inc.

LEGAL: 15.336 acres of Lot 1, Section 244, Texas-Mexican Railway Company's Survey

LOCATION: 500 East Monte Cristo Road

LOT/TRACT SIZE: 15.336 acres

CURRENT USE: Vacant

PROPOSED USE: Multifamily Residential

EXISTING ZONING: Agriculture (AG) District

ADJACENT ZONING: North – Industrial (I) District
South – Auto Urban (AU) District
East – Industrial (I) and Commercial General (CG) Districts
West – Industrial (I) and Commercial General (CG) Districts

LAND USE PLAN: Industrial

PUBLIC SERVICES: North Alamo Water & City of Edinburg Sewer

RECOMMENDATION: Staff recommends disapproval of the Rezoning Request from Agriculture (AG) District to Urban Residential (UR) District

**REZONING REQUEST
MELDEN & HUNT – MONTE CRISTO DEVELOPMENT**

EVALUATION

The following is staff's evaluation of the request.

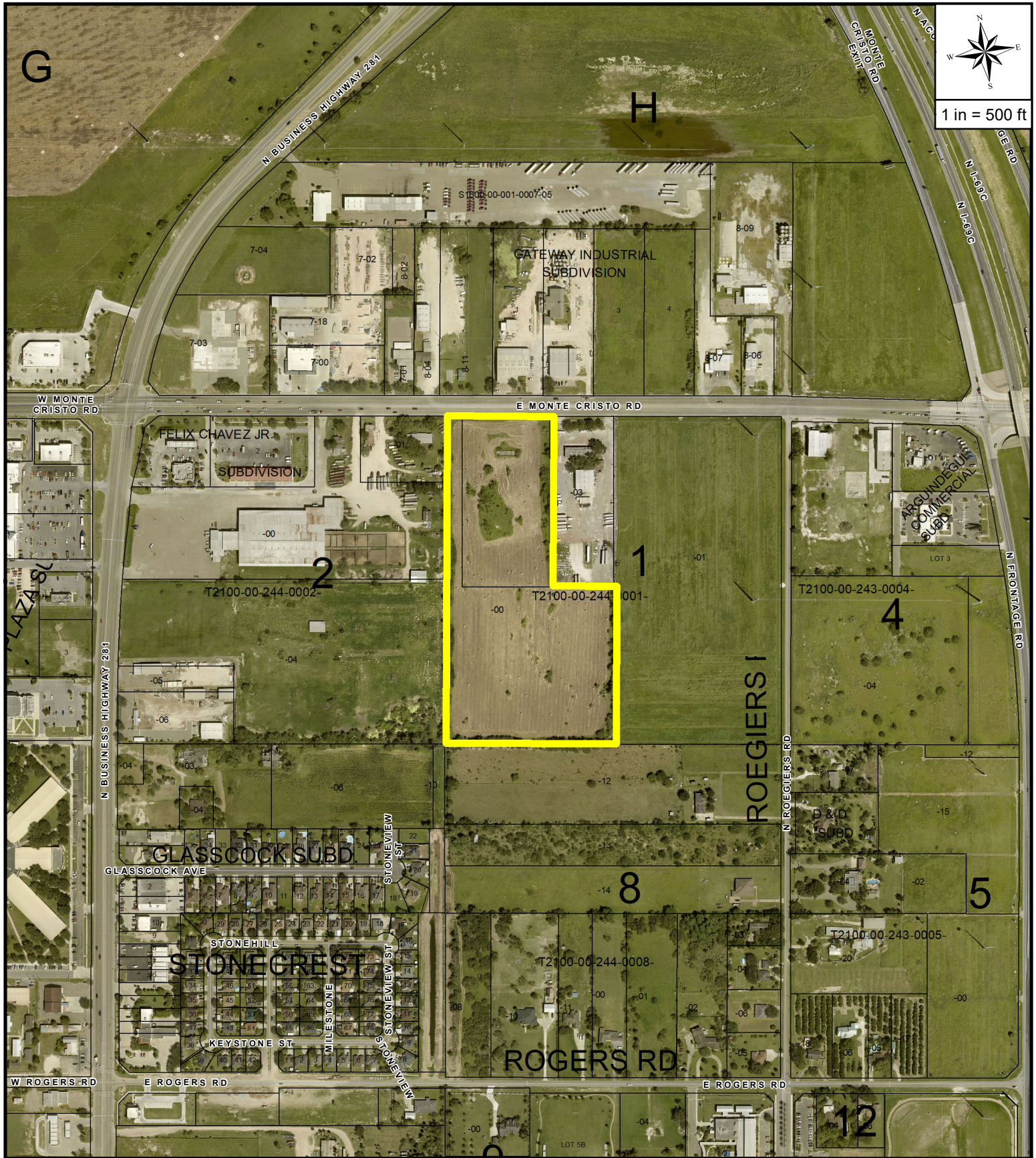
1. The land use at this location is vacant.
2. The applicant is requesting the change of zone to construct a multifamily development.
3. Land uses to the north, east, and west of this location are industrial in nature.

Staff recommends disapproval of the Rezoning Request from Agriculture (AG) District to Urban Residential (UR) District. Any residential uses at this location would be incompatible with the adjacent industrial uses.

If approved, the applicant will need to comply with all requirements during the permitting process including compliance with subdivision regulations, building and fire codes, fire protection, parking, landscape buffer-yards, solid waste services, utility, and any other City requirements, as applicable.

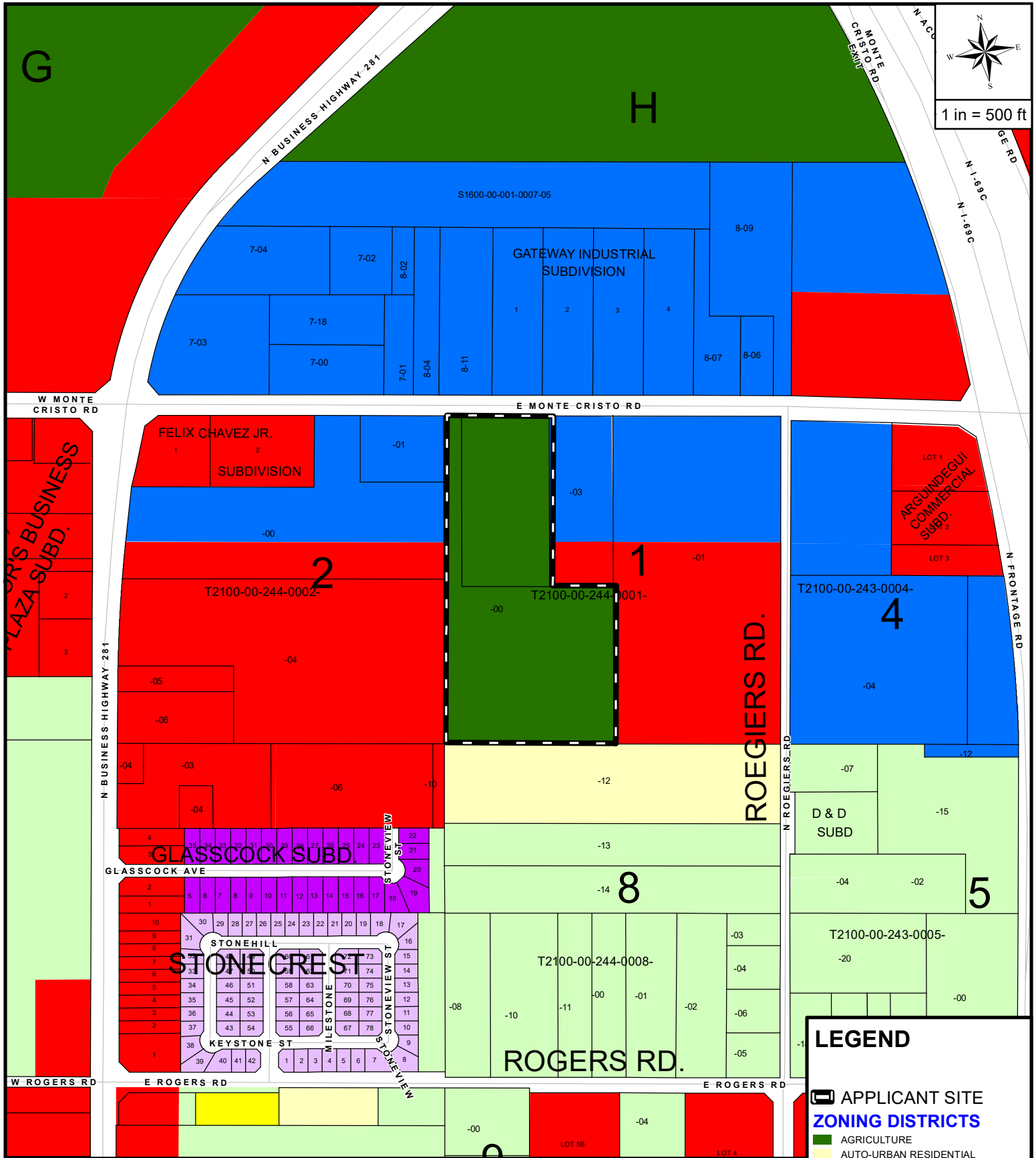
Staff mailed a notice of the public hearing before to 14 neighboring property owners and received no comments in favor or against this request by the time this report was prepared.

ATTACHMENTS: Aerial Photo
Site Map
Zoning Map
Future Land Use Map
Photo of site
Exhibits



AERIAL MAP	
APPLICANT AND/OR SUBDIVISION:	
MELDEN & HUNT - MONTE CRISTO DEVELOPMENT	

LEGEND	
	APPLICANT SITE
	CITY LIMITS



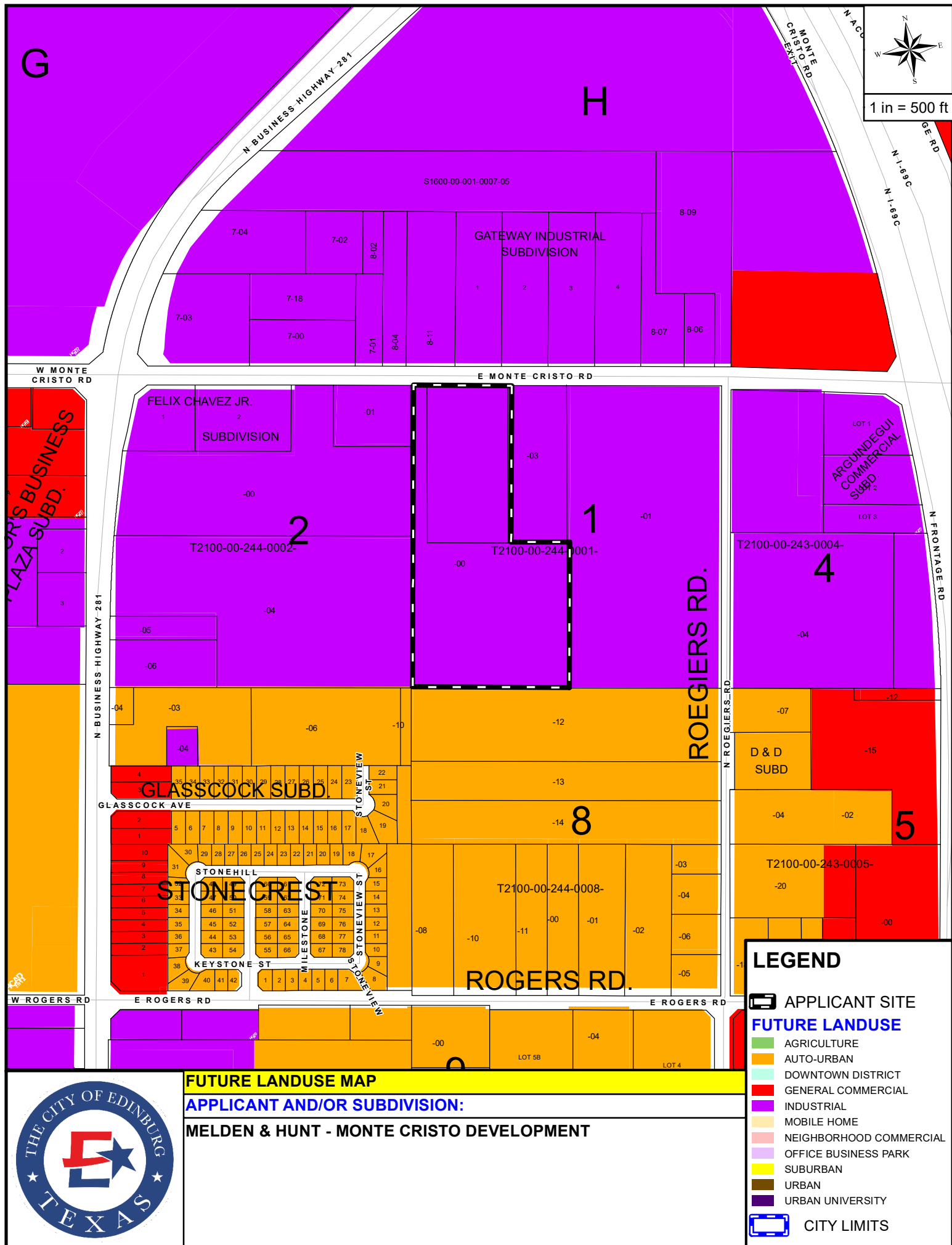
ZONING MAP

APPLICANT AND/OR SUBDIVISION:

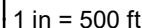
MELDEN & HUNT - MONTE CRISTO DEVELOPMENT

LEGEND

- APPLICANT SITE**
- ZONING DISTRICTS**
 - AGRICULTURE
 - AUTO-URBAN RESIDENTIAL
 - COMMERCIAL, GENERAL
 - COMMERCIAL, NEIGHBORHOOD
 - DOWNTOWN DISTRICT
 - INDUSTRIAL
 - NEIGHBORHOOD CONSERVATION 5
 - NEIGHBORHOOD CONSERVATION 7.1
 - NEIGHBORHOOD CONSERVATION MH
 - SUBURBAN RESIDENTIAL
 - URBAN RESIDENTIAL
 - URBAN UNIVERSITY
- CITY LIMITS**



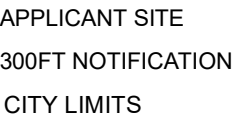
H



APPLICANT AND/OR SUBDIVISION:

MELDEN & HUNT - MONTE CRISTO DEVELOPMENT

LEGEND





NOTIFICATION

Dear Property Owner:

A public hearing will be held on **Monday, January 17, 2022 at 4:00 P.M.** in the Edinburg City Hall, City Council Chambers, located at 415 West University Drive, at which time the Planning and Zoning Commission will consider the following:

CONSIDER THE COMPREHENSIVE PLAN AMENDMENT FROM INDUSTRIAL USES TO URBAN USES AND THE REZONING REQUEST FROM AGRICULTURE (AG) DISTRICT TO URBAN RESIDENTIAL (UR) DISTRICT, BEING 15.336 ACRES OF LOT 1, SECTION 244, TEXAS-MEXICAN RAILWAY COMPANY'S SURVEY, LOCATED AT 500 EAST MONTE CRISTO ROAD, AS REQUESTED BY MELDEN & HUNT, INC.

The Zoning District requested allows to create higher density residential neighborhoods to meet the community's housing needs. The proposed use is for a multi-family residential (fourplex) development.

This request is scheduled to be heard by the **City Council on Tuesday, February 1, 2022 at 6:00 P.M.** As a property owner within 300 ft. of the subject property, you are invited to attend. Please note that meeting time (s) and date (s) are subject to change. Therefore; please call on the date of the meeting to assure that the item is on the agenda. As part of the City effort to encourage greater participation in the rezoning process, the City is using this notice to solicit your input, but no action or response is required. Should you have any questions or need more information regarding this notice, you may call (956) 388-8202.

You may return your response by one of the following: MAIL: P. O. Box 1079 Edinburg, Texas 78540
FAX: (956) 292-2080 by Friday, January 14, 2022
EMAIL: planning@cityofedinburg.com by Friday, January 14, 2022

Please place a checkmark on the appropriate box to indicate if you are in favor, against, or have no comments on this request.

☐ In Favor/A Favor ☒ Against/En Contra ☐ No Comments/No Comentario

Comments: Will present concerns Monday at City Hall meeting

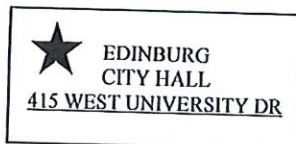
Print Name: Tracy Arnold Phone No. (956) 607-9182

Address: PO Box 1048 City: Edinburg State: TX Zip: 78540

NOTIFICACIÓN

Si tiene preguntas o necesita información sobre esta aplicación en español, por favor llame al 956-388-8202.

Planning and Zoning Department
City of Edinburg
PO BOX 1079
Edinburg, TX 78540-1079



University Dr. (S.H.107)

8th Ave.

RECEIVED

JAN 13 2022

Name: 1:28pm.



NOTIFICATION

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Please place a checkmark on the appropriate box to indicate if you are in favor, against, or have no comments on this request.

☐ In Favor/A Favor ☒ Against/En Contra ☐ No Comments/No Comentario

In view of the high traffic area with at least six area companies utilizing 18 Comments: wheelers (ex: Goodwyn Trucking, Martin Farm & Ranch, Chain Electric, GA Trucking/ propane dealer, Edinburg Livestock Auction, truck scale company) on a daily basis makes it unsafe for this proposed use. The amount of high peak traffic makes it unsafe. Being downwind from a fertilizer and chemical plant makes it unsafe.

Print Name: James A. McAllen Phone No. 956-383-1960

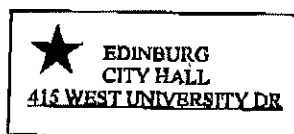
Address: 315 E. Monte Cristo Rd. City: Edinburg State: TX Zip: 78541

Note: I will be out of town and unable to attend the public hearing.

NOTIFICACIÓN

Si tiene preguntas o necesita información sobre esta aplicación en español, por favor llame al 956-388-8202.

Planning and Zoning Department
City of Edinburg
PO BOX 1079
Edinburg, TX 78540-1079



RECEIVED

University Dr. (S.H.107)

JAN 10 2022

Name: 214

8th Ave.

THE CITY OF Edinburg

NOTIFICATION

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☐ In Favor/A Favor

☒ Against/En Contra

☐ No Comments/No Comentario

In view of the high traffic area with at least six area companies utilizing 18 Comments: wheelers (ex: Goodwyn Trucking, Martin Farm & Ranch, Chain Electric, GA Trucking/ propane dealer, Edinburg Livestock Auction, truck scale company) on a daily basis makes it unsafe for this proposed use. The amount of high peak traffic makes it unsafe. Being downwind from a fertilizer and chemical plant makes it unsafe.

Print Name: John R. Willis Management Ptn., Ltd.

Phone No. (956) 380-0111

Address: 405 E. Monte Cristo Rd.

City: Edinburg

State: TX

Zip: 78541

Note: Representative is not able to attend the public hearing on 1/17/22.

NOTIFICACION

Si tiene preguntas o necesita información sobre esta aplicación en español, por favor llame al 956-388-8202.

Planning and Zoning Department
City of Edinburg
PO BOX 1079
Edinburg, TX 78540-1079



RECEIVED

JAN 10 2022

Name: 2 Mpm

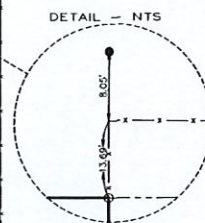
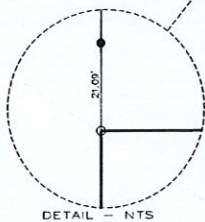
University Dr. (S.H.107)

8th Ave.

N.W. COR.
LOT 1
SECTION 244

MONTE CRISTO ROAD (F.M. 1925)

SCALE 1"=100'



LOT 2, BLOCK 244

(N 09°05'00" E)
(S 08°52'56" W)

NORTHING: 16647059.263
EASTING: 1098469.268

F & M TRANSPORTATION, INC.
W.D. DOC. NO. 1433335 H.C.O.R.

NORTHING: 16647020.979
EASTING: 1098734.245

IRENE ROGERS
W.D. DOC. NO. H.C.O.R.

15.336 A.C.

NORTHING: 16646517.434
EASTING: 1097987.541

P.O.B.
S.W. COR.
LOT 1
SECT. 244

(N 81°07'04" W)
(N 80°55'00" W)

LOT 8, SECTION 244

NORTHING: 16646415.528
EASTING: 1098639.626

DETAIL - NTS

- LEGEND**
- P.O. No. 4 REBAR
 - SET No. 4 REBAR W/PLASTIC SEAL & SIGNATURE OF SURVEYOR
 - △ SET C.P.S.
 - ✕ POWER POLE
 - ✕ SERVICE POLE
 - ✕ LIGHT POLE
 - DUTY WIRE
 - IRRIGATION VALVE
 - IRRIGATION STAND PIPE
 - 10" IRRIGATION STAND PIPE
 - 12" IRRIGATION STAND PIPE
 - 24" IRRIGATION STAND PIPE
 - 28" IRRIGATION STAND PIPE
 - 32" IRRIGATION JUNCTION BOX
 - CHAIN LINK FENCE
 - HOOD WIRE FENCE
 - OVERHEAD POWER LINE
 - ▨ PAVED AREA
 - ▨ CONCRETE AREA

FLOOD ZONE

ZONE "X" (SHADED)

AREAS OF 500-YEAR FLOOD; AREAS OF 100-YEAR FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 100-YEAR FLOOD.

COMMUNITY-PANEL NUMBER: 450338 0202 E
MAP REVISED: JUNE 6, 2000
REVISED TO REFLECT LOWR: MAY 30, 2002

PLAT SHOWING
15.336 ACRES OUT OF
LOT 1, SECTION 244
TEXAS-MEXICAN RAILWAY COMPANY SURVEY
VOL. 1, PG. 12 H.C.M.R.
HIDALGO COUNTY, TEXAS

RECEIVED

DEC 16 2021

Name: W.S.B.

I, FRED L. KURTH, A REGISTERED PROFESSIONAL LAND SURVEYOR, DO HEREBY CERTIFY THE FOREGOING PLAT TO BE TRUE AND CORRECT REPRESENTATION OF A SURVEY MADE ON THE GROUND ON 07/09/07 UNDER MY DIRECTION AND SUPERVISION.

FRED L. KURTH, RPLS No. 4750 DATE: 7-13-07



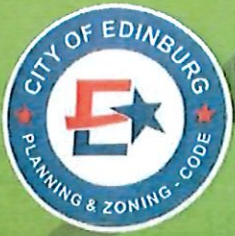
M MILDEN & HUNT INC.
CONSULTANTS • ENGINEERS • SURVEYORS

515 E. 2nd St.
RD ORANGE CITY, TX 77651
PH: (956) 457-8256
FAX: (956) 458-8591

BOOK 1-824, PG. 58
DATE: 7/11/2007
JOB NO: 0700659
FILE NAME: 0700659
DRAWN BY: J. CANTU/S.H.

115 W. MOULTRE
EDINBURG, TX 78541
PH: (956) 381-0081
FAX: (956) 381-1815
www.mildenandhunt.com

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Case #

Edinburg

Planning & Zoning Department
415 W. University Drive
Edinburg, Texas 78539
(956) 388-8202

Zone Change Application

1. Name: Garman Investments, LP Phone No. c/o (956) 381-0981
2. Mailing Address: 1804 North 23rd Street
3. City: McAllen State: Texas Zip: 78501
4. Email Address: robertog20@yahoo.com ireneuribe00@yahoo.com Cell No. (956) 492-5638
5. Agent: Melden & Hunt, Inc. Phone No. (956) 381-0981
6. Agent's Mailing Address: 115 West McIntyre Street
7. City: Edinburg State: Texas Zip: 78541
8. Email Address: ruben@meldenandhunt.com drobles@meldenandhunt.com
9. Address/Location being Rezoned: On East Monte Cristo Road between Clossner Blvd and US 281
≈ 500 E. MONTE CRISTO
10. Legal Description of Property: Property ID: 295778
15.336 acres out of Lot 1, Section 244, Texas Mexican Railway Company's Survey Subdivision, as per
map or plat thereof recorded in Volume 1, Page 12, Deed records
11. Zone Change: From: AG ~~AO~~ Agricultural Open Space To: UR - Urban Residential
12. Existing Land Use: Vacant
13. Reason for Zone Change: To develop the property for multi-family use (4-plex)
- Ruben James de Jesus, P.E., R.P.L.S.
(Please Print Name) _____ Signature _____
- AMOUNT PAID \$ 400.00 RECEIPT NUMBER _____

PUBLIC HEARING DATE (PLANNING & ZONING COMMISSION) – 4:00 PM: _____

PUBLIC HEARING DATE (CITY COUNCIL) – 6:00 PM: _____

(NOTE: BOTH MEETINGS ARE HELD AT THE EDINBURG CITY COUNCIL CHAMBERS)

✓
12-16-21



Rezoning Request

MELDEN & HUNT - GARMAN INVESTMENTS, LP

500 East Monte Cristo Road





City of Edinburg
PLANNING & ZONING COMMISSION

Regular Meeting: 1/17/2022

REZONING REQUEST

AGENDA ITEM 6C:

Consider the Rezoning Request from Agriculture (AG) District to Commercial General (CG) District, being a 1.00 acre tract of land out of Lot 71, Kelly-Pharr Subdivision, located at 1415 West Owassa Road, as requested by Jaime Cantu.

DESCRIPTION / SCOPE:

The property is located on the north side of West Owassa Road, approximately 225 ft. east of north Sugar Road and is occupied by Hidalgo County EMS, a commercial operation. The requested zoning designation allows for general commercial uses on the subject property. The applicant is requesting the change of zone to conform to current uses.

The property is currently zoned Agriculture (AG) District. The surrounding zoning is Agriculture (AG) District to the north, east, and west. Land south of this location is outside the City Limits.

Staff received a Zone Change Application for the subject property on December 15, 2021. The applicant stated on the Zone Change Application that his intent is “to correct zoning” at this location. The subject property was part of an area annexed by the City in 2015. As per City of Edinburg Unified Development Code (UDC) Section 1.205, “Any newly annexed land shall be designated AG unless controlled by a pre-annexation agreement that provides otherwise.” The commercial uses at this location predate the annexation that took place in 2015 and do not conform to zoning district.

Staff mailed a notice of the public hearing before to five neighboring property owners and received no comments in favor or against this request by the time this report was prepared.

ESTIMATED TIMELINE:

The recommendation of approval or denial of this public hearing is scheduled for consideration by the City Council on February 1, 2022. City Council’s decision is the final step in the zoning process for this property. If denied the applicant may not request the proposed zoning classification for a 12 month period from the date of denial.

STAFF RECOMMENDATION:

Staff recommends approval of the Rezoning Request from Agriculture (AG) District to Commercial General (CG) District based on existing land uses. The requested zoning conforms to the City’s Future Land Use Plan.

If approved, the applicant will need to comply with all requirements during the permitting process including compliance with subdivision regulations, building and fire codes, fire protection, parking, landscape buffer-yards, solid waste services, utility, and any other City requirements, as applicable.

JUSTIFICATION:

Staff recommendation is based on existing land uses, both past and present, and the intent of the Future Land Use Plan. City-imposed zoning of Agriculture (AG) District is not appropriate for this location.

D. Austin Colina
Planner I

Kimberly A. Mendoza, MPA
Director of Planning & Zoning

MEETING DATES:
PLANNING & ZONING COMMISSION – 1/17/2022
CITY COUNCIL – 2/01/2022
DATE PREPARED – 1/04/2022

STAFF REPORT
GENERAL INFORMATION

APPLICATION: Rezoning Request from Agriculture (AG) District to Commercial General (CG) District

APPLICANT: Jaime Cantu

AGENT: N/A

LEGAL: A 1.00 acre tract of land out of Lot 71, Kelly-Pharr Subdivision

LOCATION: 1415 West Owassa Road

LOT/TRACT SIZE: 1.00 acre

CURRENT USE: Commercial

PROPOSED USE: Commercial

EXISTING ZONING: Agriculture (AG) District

ADJACENT ZONING: North – Agriculture (AG) District
South – N/A
East – Agriculture (AG) District
West – Agriculture (AG) District

LAND USE PLAN: Commercial

PUBLIC SERVICES: City of Edinburg Water & OSSF

RECOMMENDATION: Staff recommends approval of the Rezoning Request from Agriculture (AG) District to Commercial General (CG) District

REZONING REQUEST

JAIME CANTU

EVALUATION

The following is staff's evaluation of the request.

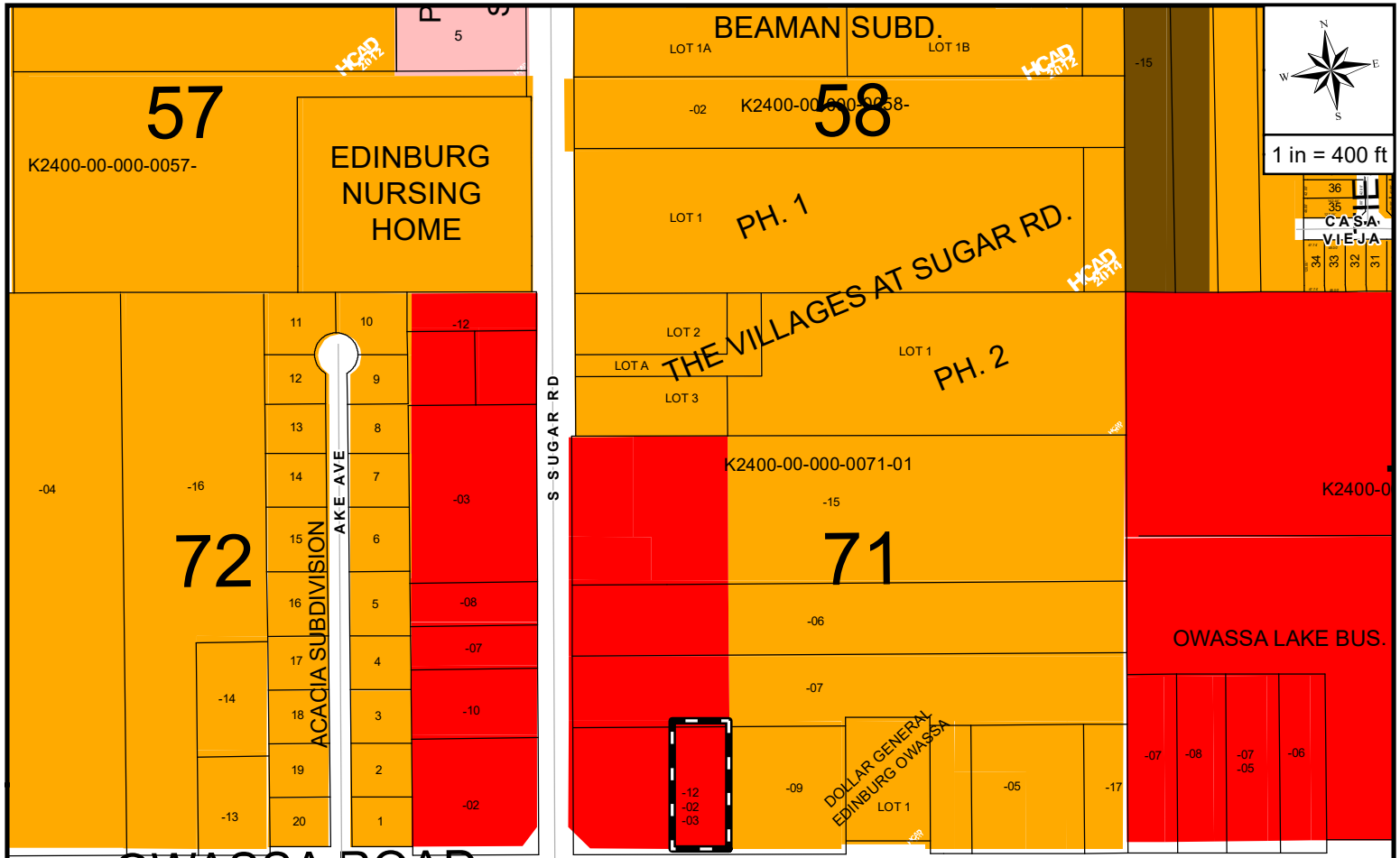
1. The land use at this location is commercial (emergency medical response facility).
2. The applicant is requesting the change of zone to conform zoning to existing use.
3. The City-assigned zoning of Agriculture (AG) District is not appropriate for existing use.
4. The Future Land Use Plan anticipated commercial uses at this location.

Staff recommends approval of the Rezoning Request from Agriculture (AG) District to Commercial General (CG) District. This is the appropriate zoning based on existing use and Future Land Use Plan.

If approved, the applicant will need to comply with all requirements during the permitting process including compliance with subdivision regulations, building and fire codes, fire protection, parking, landscape buffer-yards, solid waste services, utility, and any other City requirements, as applicable.

Staff mailed a notice of the public hearing before to 5 neighboring property owners and received no comments in favor or against this request by the time this report was prepared.

ATTACHMENTS: Aerial Photo
Site Map
Zoning Map
Future Land Use Map
Photo of site
Exhibits

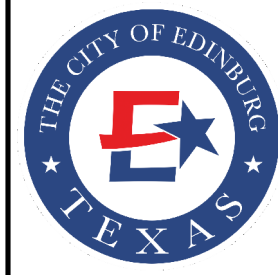


OWASSA ROAD

W OWASSA RD

S SUGAR RD

N SUGAR RD



FUTURE LAND USE MAP

APPLICANT AND/OR SUBDIVISION:

JAIME CANTU

LEGEND

- APPLICANT SITE
- FUTURE LANDUSE**
 - AGRICULTURE
 - AUTO-URBAN
 - DOWNTOWN DISTRICT
 - GENERAL COMMERCIAL
 - INDUSTRIAL
 - MOBILE HOME
 - NEIGHBORHOOD COMMERCIAL
 - OFFICE BUSINESS PARK
 - SUBURBAN
 - URBAN
 - URBAN UNIVERSITY
- CITY LIMITS

OWNER: ADRIAN & ELMA ESPARZA
DOC. No. 1255208, O.R.H.C.

PABLO SOTO, JR. P.E.

CIVIL ENGINEER & LAND SURVEYOR

1208 S. IRONWOOD, PHARR, TEXAS - 78577
(TEL) 956-460-1605 (FAX) 956-782-8277

SCALE: 1"=40'

LEGEND	
●	FD. 2" Ø IRON PIPE
●	SET 1/2" IRON ROD
⊗	SET X-MARK ON CONCRETE
⊗	POWER POLE
⊗	WATER METER
-X-	CHAIN LINK FENCE
-□-	CEDAR FENCE
-OHE-	OVERHEAD ELEC. LINES

LOT 71
KELLY-PHARR SUBDIVISION, HIDALGO COUNTY, TEXAS
VOLUME 3, PAGES 133-134, DEED RECORDS OF HIDALGO COUNTY, TEXAS.

OWNER: JOSE CANTU & OFILIA B. CANTU
VOL. 1663, PAGE 673, DEED RECORDS

P.O.C.
S.W.C. LOT 71
FD. P-K NAIL
N 16616046.6660
E 1086834.3650

P.O.B.

NORTH RIGHT-OF-WAY LINE

EAST

OWASSA ROAD

WEST

130.05'

SOUTH

OWNER: JOSE G. & BRENDA L. AGUILERA
VOLUME 2847, PAGE 356, OFFICIAL RECORDS

1. BASIS OF BEARING:
SOUTH LINE OF LOT 71, KELLY-PHARR SUBDIVISION, HIDALGO COUNTY, TEXAS, AS PER MAP RECORDED IN VOLUME 3, PAGES 133-134, DEED RECORDS OF HIDALGO COUNTY, TEXAS.
2. THIS SURVEY WAS PREPARED WITH THE BENEFIT OF TITLE RESOURCES GUARANTY COMPANY, GF No. 938745, EFFECTIVE DATE: NOVEMBER 5, 2021, COMMITMENT No. 01, ISSUED NOVEMBER 16, 2021, 12:00 AM.
ONLY EASEMENTS AND DOCUMENTS LISTED IN ITEM 10 OF SCHEDULE B WERE ANALYZED IN PREPARATION OF THIS SURVEY.
- 10d. HIGHWAY RIGHT OF WAY EASEMENT DATED JANUARY 3, 2003, RECORDED UNDER CLERK'S FILE No. 1154336, OFFICIAL RECORDS, HIDALGO COUNTY, TEXAS. (PLOTTED)
- 10h. EASEMENTS, RULES, REGULATIONS AND RIGHTS IN FAVOR OF HIDALGO COUNTY IRRIGATION DISTRICT No. 2.
- 10i. ALL RIGHT, TITLE AND INTEREST, INCLUDING BUT NOT LIMITED TO FEE SIMPLE TITLE, OWNED OR CLAIMED TO BE OWNED BY HIDALGO COUNTY IRRIGATION EASEMENT No. 2.

PLAT SHOWING

A 1.00 ACRE TRACT OF LAND OUT OF LOT 71, KELLY-PHARR SUBDIVISION, HIDALGO COUNTY, TEXAS, AS PER MAP RECORDED IN VOLUME 3, PAGES 133-134, DEED RECORDS OF HIDALGO COUNTY, TEXAS.

GF No.: 938745

PROPERTY ADDRESS: 1415 W OWASSA RD.
EDINBURG, TEXAS

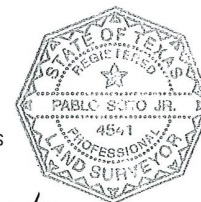
SURVEYED: NOVEMBER 23, 2021

PROPOSED INSURED: TEXAS COMMUNITY BANK

PROPOSED BORROWER: JAIME CANTU, A SINGLE MAN

FLOOD ZONE DESIGNATION: ZONE "B"
COMMUNITY-PANEL NUMBER: 480334 0425 C
MAP REVISED: NOVEMBER 16, 1982

I, PABLO SOTO, JR., STATE THAT
THE ABOVE PLAT IS AN ACTUAL
SURVEY MADE ON THE GROUND UNDER
MY SUPERVISION AND THAT THERE ARE NO
VISIBLE EASEMENTS OR ENCROACHMENTS
EXCEPT AS SHOWN AND THAT ALL CORNERS
HAVE BEEN LOCATED AS INDICATED.



RECEIVED

DEC 15 2021

Name: *[Signature]*

202pm

PABLO SOTO, JR. DATE 11/26/2021
REGISTERED PROFESSIONAL LAND SURVEYOR NO. 4541

JOB NUMBER
SUR 21 182



Case #

THE CITY OF
Edinburg

Planning & Zoning Department
415 W. University Drive
Edinburg, Texas 78539
(956) 388-8202

LZNE-2021-0031

Zone Change Application

Date: December 15, 2021

1. Name: Jaime Cantu 2. Phone: (956) 655-8467

3. Mailing Address: 501 East Frontage Rd

4. City: Alamo State: TX Zip: 78516

5. Email Address: jaimecantu9567@outlook.com 6. Cell No. (956) 655-8467

7. Agent: Same 8. Agent's Phone: (956) 655-8467

9. Agent's Mailing Address: Same

10. City: Same State: TX Zip: 78516

11. Agent's Email: Same

12. Address/Location being Rezoned: 1415 West Owassa Rd

13. Legal Description of Property: KELLY PHARR TRACT 71 14. Property ID(s): 202084

15. Zone Change: From: AG - Agriculture To: CG - Commerical General

16. Existing Land Use: COMMERCIAL

17. Reason for Zone Change: TO CORRECT ZONING

Jaime Cantu
(Please Print Name)

Jaime Cantu
Signature

RECEIVED

DEC 15 2021

AMOUNT PAID \$ _____ RECEIPT NUMBER _____ Name: [Signature] 2:02

PUBLIC HEARING DATE (PLANNING & ZONING COMMISSION) – 4:00 PM: _____

PUBLIC HEARING DATE (CITY COUNCIL) – 6:00 PM: _____

(NOTE: BOTH MEETINGS ARE HELD AT THE EDINBURG CITY COUNCIL CHAMBERS)



Rezoning Request

JAIME CANTU

1415 West Owassa Road





CITY OF EDINBURG
Planning & Zoning Commission

Regular Meeting

Meeting Date:

01/17/2022

Rezoning Request

AGENDA ITEM 6D:

Consider the Rezoning Request from Agriculture (AG) District to Auto-Urban Residential (AU) District, being a 12.605 acre tract of land out of Lots 31 & 32, The M.L. Woods Co. Tract No.4, located at 4801 South Veterans Boulevard, as requested by Melden & Hunt, Inc.

DESCRIPTION / SCOPE:

The property is located on the west side of South Veterans Boulevard, approximately 650 ft. north of East Alberta Road and is vacant. The tract has 131.22 ft. of frontage along South Veterans Boulevard and 1,317.50 ft. of depth to the deepest point for a tract size of 12.605 acres. The requested zoning designation allows for single and multi-family residential uses on the subject property. The applicant is requesting the change of zone to develop a single family residential subdivision. A subdivision submitted under the name of Jalpa Oaks received preliminary approval by this Board on November 9, 2021. The subdivision consists of 49 lots, 48 of which are single family residential lots, ranging in size from 5,660.06 square feet to 28,331.64 square feet, and subject to this Rezoning Request.

The property is currently zoned Agriculture (AG) District. The surrounding zoning is Agriculture (AG) District to the north, south and west, and Auto-Urban Residential (AU) District to the east. The future land use designation is for Auto-Urban Uses.

Staff mailed a notice of the public hearing before to 27 neighboring property owners and received no comments in favor or against this request by the time this report was prepared.

BACKGROUND / HISTORY

The location of the subject property was part of the City's 2012 Annexation Plan. As per City of Edinburg Unified Development Code (UDC) Section 1.205, "Any newly annexed land shall be designated AG unless controlled by a pre-annexation agreement that provides otherwise." This location was vacant when zoned and remains vacant to this day. The single family use now proposed by the Jalpa Oaks Subdivision requires rezoning to proceed.

Staff received a Zone Change Application for the subject property on December 22, 2021, requesting Auto-Urban Residential (AU) District zoning. Submitted with the Application was a survey and a proposed subdivision layout for single family uses.

ESTIMATED TIMELINE:

The recommendation of approval or denial of this public hearing is scheduled for consideration by the City Council on February 1, 2022. City Council's decision is the final step in the zoning process for this property. If denied the applicant may not request the proposed zoning classification for a 12 month period from the date of denial.

STAFF RECOMMENDATION:

Staff recommends approval of the Rezoning Request from Agriculture (AG) District to Auto-Urban Residential (AU) District based on the character and uses in this area. The requested zoning designation is also in conformance with the future land use plan.

If approved, the applicant will need to comply with all requirements during the permitting process including compliance with subdivision regulations, building and fire codes, fire protection, parking, landscape buffer-yards, solid waste services, utility, and any other City requirements, as applicable.

JUSTIFICATION:

Change to Auto-Urban Residential (AU) District is in keeping with development trends in this area to accommodate demand for residential uses. The City-assigned zoning of Agriculture (AG) District is not appropriate for the given location. A single family residential development is a permitted use in the requested zoning designation.

Nikki Cavazos
Planner I

Kimberly A. Mendoza, MPA
Director of Planning & Zoning

MEETING DATES:
PLANNING & ZONING COMMISSION – 1/17/2022
CITY COUNCIL – 2/01/2022
DATE PREPARED – 1/11/2022

STAFF REPORT
GENERAL INFORMATION

APPLICATION: Rezoning Request from Agriculture (AG) District to Auto-Urban Residential (AU) District

APPLICANT: Luis Miguel Arechiga

AGENT: Melden & Hunt, Inc.

LEGAL: 12.605 acres out of Lots 31 & 32, The M.L. Woods Co. Tract No. 4

LOCATION: Located at 4801 South Veterans Boulevard

LOT/TRACT SIZE: 12.605 acres

CURRENT USE: Vacant

PROPOSED USE: Residential

EXISTING ZONING: Agriculture (AG) District

ADJACENT ZONING: North – Agriculture (AG) District
South – Agriculture (AG) District
East – Auto-Urban Residential (AU) District
West – Agriculture (AG) District

LAND USE PLAN: Auto-Urban Uses

PUBLIC SERVICES: North Alamo Water/City of Edinburg Sewer

RECOMMENDATION: Staff recommends approval of the Rezoning Request from Agriculture (AG) to Auto-Urban Residential (AU) District

REZONING REQUEST
LUIS MIGUEL ARECHIGA

EVALUATION

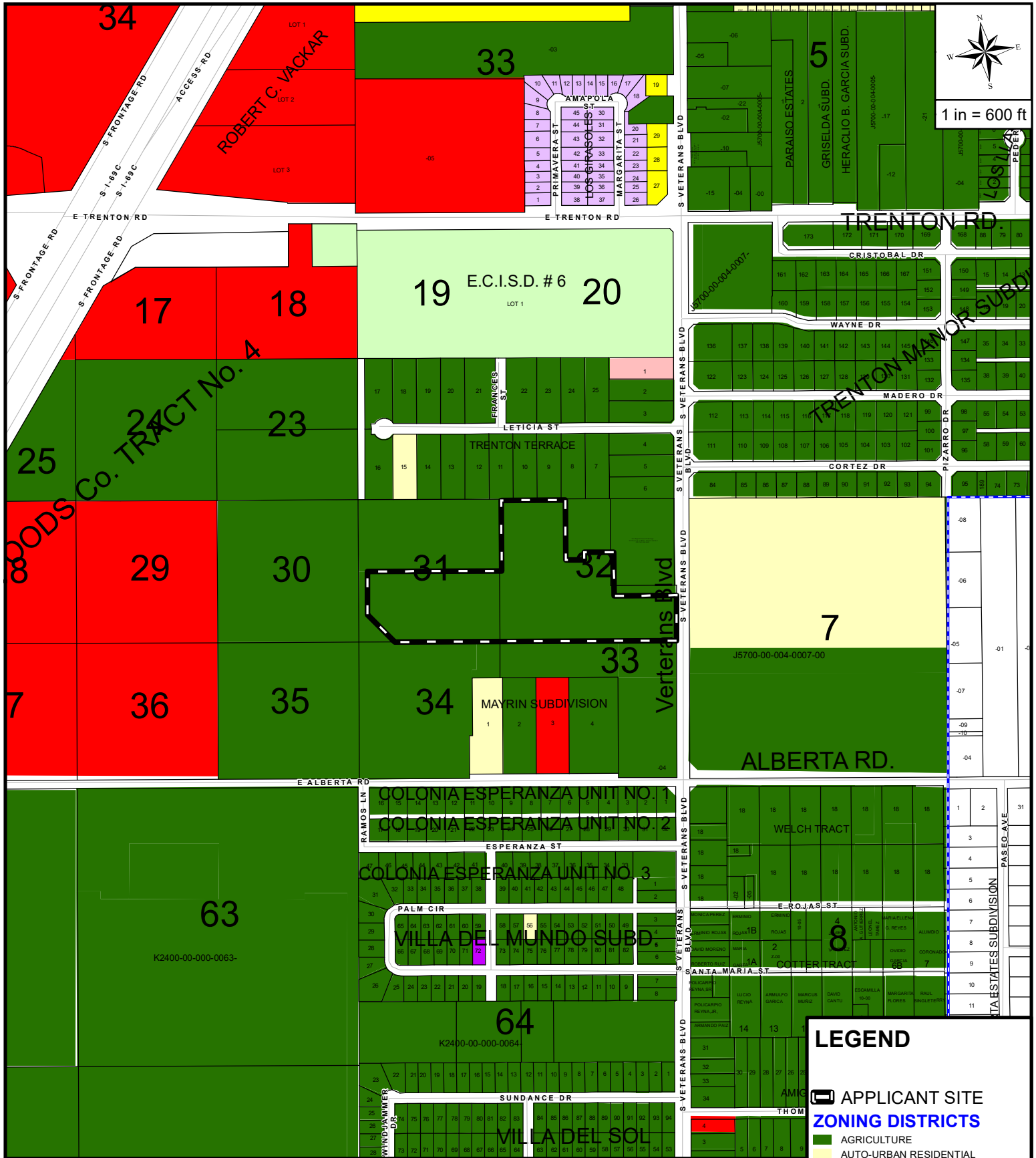
The following is staff's evaluation of the request.

1. The land use pattern for this area of the community consists of residential, commercial and vacant land.
2. The applicant is requesting the change of zone to construct a single family residential development.

Staff recommends approval of the Rezoning Request from Agriculture (AG) District to Auto-Urban Residential (AU) District, based on surrounding land uses and zoning in the area. If approved, the applicant will need to comply with all requirements during the permitting process including compliance with subdivision regulations, building and fire codes, fire protection, parking, landscape buffer-yards, solid waste services, utility, and any other City requirements, as applicable.

Staff mailed a notice of the public hearing before to 27 neighboring property owners and received no comments in favor or against this request by the time this report was prepared.

ATTACHMENTS: Aerial Photo
Site Map
Zoning Map
Future Land Use Map
Photo of site
Exhibits

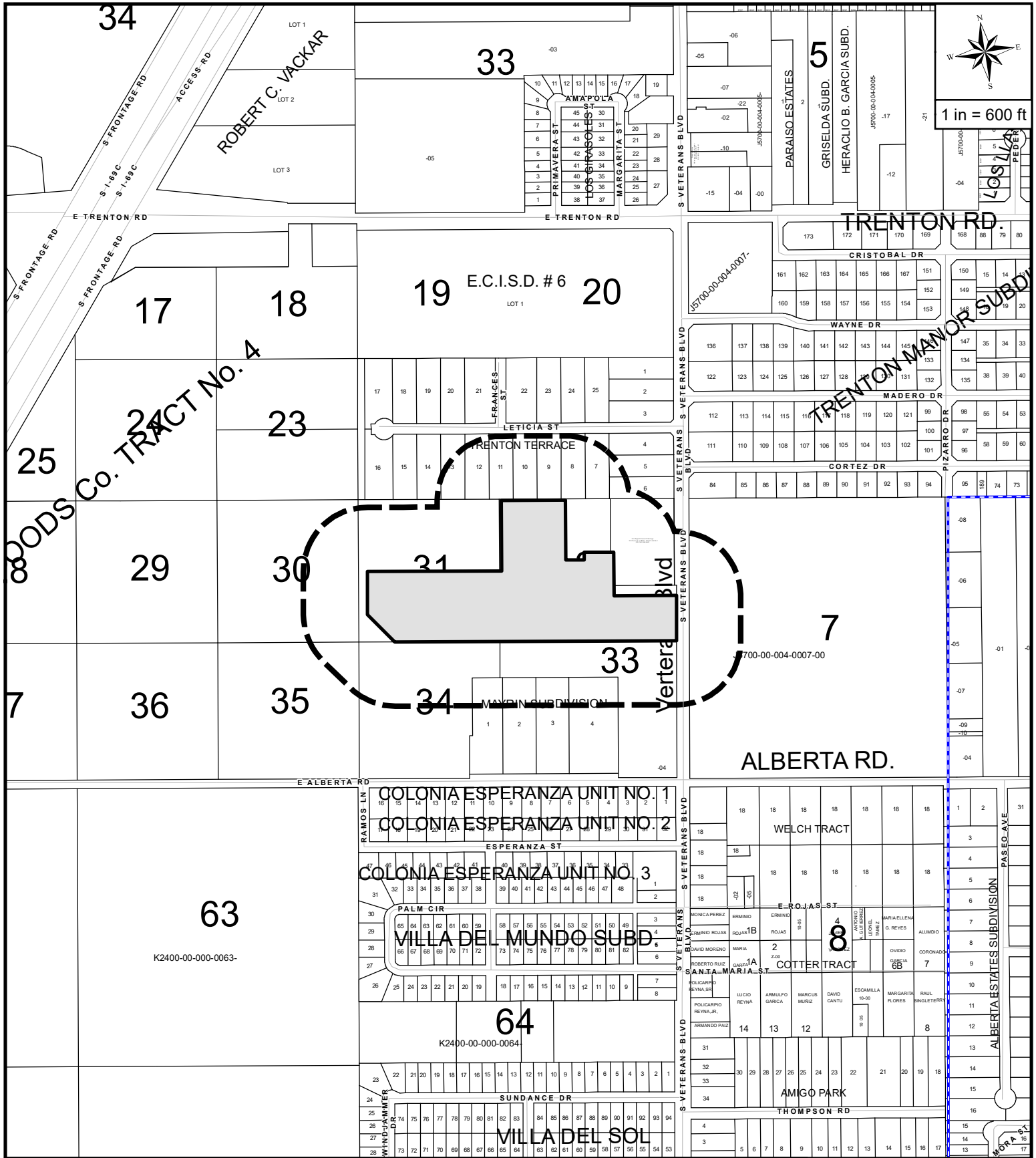


ZONING MAP

APPLICANT AND/OR SUBDIVISION:

MELDEN AND HUNT, INC. / JALPA OAKS

- LEGEND**
- APPLICANT SITE
 - ZONING DISTRICTS**
 - AGRICULTURE
 - AUTO-URBAN RESIDENTIAL
 - COMMERCIAL, GENERAL
 - COMMERCIAL, NEIGHBORHOOD
 - DOWNTOWN DISTRICT
 - INDUSTRIAL
 - NEIGHBORHOOD CONSERVATION 5
 - NEIGHBORHOOD CONSERVATION 7.1
 - NEIGHBORHOOD CONSERVATION MH
 - SUBURBAN RESIDENTIAL
 - URBAN RESIDENTIAL
 - URBAN UNIVERSITY
 - CITY LIMITS



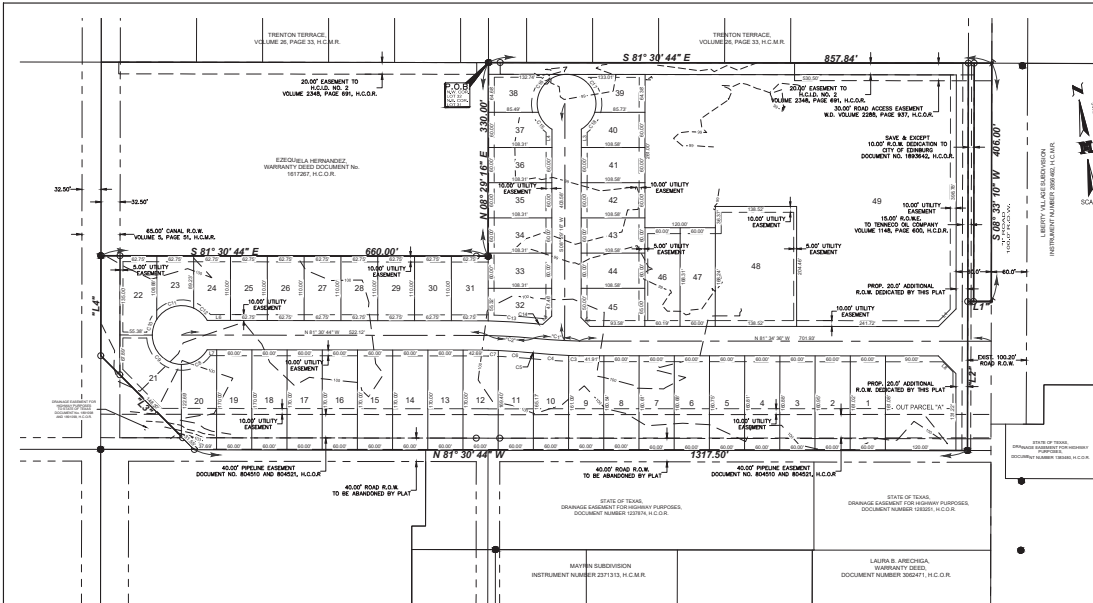
MAILOUT AND SITE MAP

APPLICANT AND/OR SUBDIVISION:

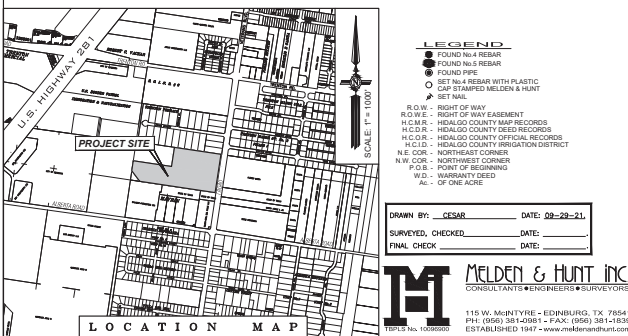
MELDEN AND HUNT, INC. / JALPA OAKS

LEGEND

- APPLICANT SITE
- 300FT NOTIFICATION
- CITY LIMITS



Lot Area Table	Lot Area Table	Lot Area Table
Lot #	Sq. Ft.	Area
1	3800.00	0.087
2	3800.00	0.087
3	3800.00	0.087
4	3800.00	0.087
5	3800.00	0.087
6	3800.00	0.087
7	3800.00	0.087
8	3800.00	0.087
9	3800.00	0.087
10	3800.00	0.087
11	3800.00	0.087
12	3800.00	0.087
13	3800.00	0.087
14	3800.00	0.087
15	3800.00	0.087
16	3800.00	0.087
17	3800.00	0.087
18	3800.00	0.087
19	3800.00	0.087
20	3800.00	0.087
21	3800.00	0.087
22	3800.00	0.087
23	3800.00	0.087
24	3800.00	0.087
25	3800.00	0.087
26	3800.00	0.087
27	3800.00	0.087
28	3800.00	0.087
29	3800.00	0.087
30	3800.00	0.087
31	3800.00	0.087
32	3800.00	0.087
33	3800.00	0.087
34	3800.00	0.087
35	3800.00	0.087
36	3800.00	0.087
37	3800.00	0.087
38	3800.00	0.087
39	3800.00	0.087
40	3800.00	0.087
41	3800.00	0.087
42	3800.00	0.087
43	3800.00	0.087
44	3800.00	0.087
45	3800.00	0.087
46	3800.00	0.087
47	3800.00	0.087
48	3800.00	0.087
49	3800.00	0.087
50	3800.00	0.087



SUBDIVISION MAP OF JALPA OAKS SUBDIVISION

BEING A SUBDIVISION OF 17.373 ACRES SITUATED IN THE CITY OF EDINBURG COUNTY OF HIDALGO, TEXAS, BEING A PART OR PORTION OUT OF LOTS 31 AND 32, THE M.L. WOODS CO. TRACT NO. 4 SUBDIVISION, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 5, PAGE 51, HIDALGO COUNTY MAP RECORDS.

METES AND BOUNDS DESCRIPTION:
A TRACT OF LAND CONTAINING 17.373 ACRES SITUATED IN THE CITY OF EDINBURG COUNTY OF HIDALGO, TEXAS, BEING A PART OR PORTION OUT OF LOTS 31 AND 32, THE M.L. WOODS CO. TRACT NO. 4 SUBDIVISION, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 5, PAGE 51, HIDALGO COUNTY MAP RECORDS, SAG 17.373 ACRES OUT OF A CERTAIN TRACT CONVEYED TO LUIS MIGUEL ARCECHOA BY VIRTUE OF A WARRANTY DEED WITH VENDOR'S LIEN RECORDED UNDER DOCUMENT NUMBER 285044 AND BY VIRTUE OF SPECIAL DEED WITH ENCUMBRANCE FOR ONE-THIRD PARTITION RECORDED UNDER DOCUMENT NUMBER 270353, AND SALON REAL DEL VALLE, L.L.C. A TEXAS LIMITED LIABILITY COMPANY, BY VIRTUE OF A GENERAL WARRANTY DEED WITH VENDOR'S LIEN RECORDED UNDER DOCUMENT NUMBER 2352495, HIDALGO COUNTY OFFICIAL RECORDS, SAG 17.373 ACRES ALSO BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
BEGINNING AT A NO. 4 REBAR FOUND ON THE NORTHEAST CORNER OF SAG LOT 31 AND NORTHWEST CORNER OF SAG LOT 32 FOR THE NORTHWEST CORNER OF THIS TRACT;
1. THENCE, S 81° 30' 44" E ALONG THE NORTH LINE OF SAG LOT 32, AT A DISTANCE OF 20.00 FEET PASS THE EAST RIGHT-OF-WAY LINE OF A 40.00 FOOT COUNTY ROAD, AT A DISTANCE OF 87.84 FEET PASS A NO. 4 REBAR SET ON THE EXISTING WEST RIGHT-OF-WAY LINE OF VETERANS BOULEVARD AND THE WEST LINE OF A SAVE & EXCEPT TRACT CONVEYED TO THE CITY OF EDINBURG RECORDED UNDER DOCUMENT NO. 189342, HIDALGO COUNTY OFFICIAL RECORDS, AT A DISTANCE OF 87.84 FEET PASS THE EAST LINE OF SAG SAVE & EXCEPT TRACT, CONTINUING A TOTAL DISTANCE OF 87.84 FEET TO A NAIL SET FOR THE NORTHEAST CORNER OF THIS TRACT;
2. THENCE, S 08° 33' 10" W A DISTANCE OF 400.00 FEET TO A NAIL SET FOR THE NORTHWEST CORNER OF THIS TRACT;
3. THENCE, N 81° 30' 44" E AT A DISTANCE OF 30.00 FEET PASS A NO. 4 REBAR SET FOR THE EAST LINE OF SAG SAVE & EXCEPT TRACT, CONTINUING A TOTAL DISTANCE OF 40.00 FEET TO A NO. 4 REBAR SET ON THE WEST LINE OF SAG SAVE & EXCEPT TRACT, FOR AN INSIDE CORNER OF THIS TRACT;
4. THENCE, S 08° 33' 10" W ALONG THE WEST RIGHT-OF-WAY LINE OF VETERANS BOULEVARD, AT A DISTANCE OF 234.00 FEET PASS THE NORTH RIGHT-OF-WAY LINE OF A 40.00 FOOT COUNTY ROAD, CONTINUING A TOTAL DISTANCE OF 254.00 FEET TO A NO. 4 REBAR FOUND FOR THE SOUTHWEST CORNER OF THIS TRACT;
5. THENCE, N 81° 30' 44" W ALONG THE SOUTH LOT LINES OF SAG LOTS 31 AND 32, AT A DISTANCE OF 817.09 FEET PASS THE SOUTHWEST CORNER OF SAG LOT 32 AND THE SOUTHWEST CORNER OF SAG LOT 31, CONTINUING A TOTAL DISTANCE OF 1,317.50 FEET TO A NO. 4 REBAR SET FOR THE SOUTHWEST CORNER OF THIS TRACT;
6. THENCE, N 36° 30' 31" W A DISTANCE OF 225.71 FEET TO A NO. 4 REBAR SET FOR THE NORTHWEST CORNER OF THIS TRACT;
7. THENCE, N 08° 29' 16" E A DISTANCE OF 170.39 FEET TO A NO. 4 REBAR FOUND FOR THE SOUTHWEST CORNER OF THIS TRACT;
8. THENCE, S 81° 30' 44" E AT A DISTANCE OF 32.50 FEET PASS A NO. 4 REBAR SET THE EAST RIGHT-OF-WAY LINE OF A 40.00 FOOT ROAD, AT A DISTANCE OF 240.00 FEET PASS A NO. 4 REBAR SET ON THE EAST RIGHT-OF-WAY LINE OF A 40.00 FOOT COUNTY ROAD, CONTINUING A TOTAL DISTANCE OF 272.50 FEET TO A NAIL SET FOR THE NORTHEAST CORNER OF THIS TRACT;
9. THENCE, N 08° 33' 10" W AS A DISTANCE OF 320.00 FEET TO THE POINT OF BEGINNING AND CONTAINING 17.466 ACRES SAVE & EXCEPT 0.003 OF ONE ACRE CONVEYED TO THE CITY OF EDINBURG RECORDED UNDER DOCUMENT NO. 189342, HIDALGO COUNTY OFFICIAL RECORDS, LEAVING 17.373 ACRES (0.003 OF ONE ACRE LIES WITHIN THE NORTHWEST CORNER OF SAG LOT 32, 0.139 OF ONE ACRE LIES WITHIN AN EXISTING CANAL RIGHT-OF-WAY, LEAVING A NET OF 15.959 ACRES OF LAND, MORE OR LESS.

SAVE & EXCEPT TRACTS:
A TRACT OF LAND CONTAINING 0.003 OF ONE ACRE SITUATED IN THE CITY OF EDINBURG COUNTY OF HIDALGO, TEXAS, BEING A PART OR PORTION OUT OF LOT 32, THE M.L. WOODS CO. TRACT NO. 4 SUBDIVISION, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 5, PAGE 51, HIDALGO COUNTY MAP RECORDS, SAG 0.003 OF ONE ACRE WISE CONVEYED TO THE CITY OF EDINBURG RECORDED UNDER DOCUMENT NO. 189342, HIDALGO COUNTY OFFICIAL RECORDS, SAG 0.003 OF ONE ACRE ALSO BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
BEGINNING AT A NO. 4 REBAR FOUND ON THE NORTHWEST CORNER OF SAG LOT 32;
THENCE, S 81° 30' 44" E ALONG THE NORTH LINE OF SAG LOT 32, AT A DISTANCE OF 87.84 FEET TO A NO. 4 REBAR SET FOR THE NORTHWEST CORNER AND POINT OF BEGINNING OF THIS HEREIN DESCRIBED TRACT;
1. THENCE, S 81° 30' 44" E ALONG THE NORTH LINE OF SAG LOT 32, AT A DISTANCE OF 10.00 FEET TO A NO. 4 REBAR SET FOR THE NORTHEAST CORNER OF THIS TRACT;
2. THENCE, S 08° 33' 10" W A DISTANCE OF 400.00 FEET TO A NO. 4 REBAR SET FOR THE SOUTHWEST CORNER OF THIS TRACT;
3. THENCE, N 81° 30' 44" W A DISTANCE OF 10.00 FEET TO A NO. 4 REBAR SET FOR THE SOUTHWEST CORNER OF THIS TRACT;
4. THENCE, N 08° 33' 10" W A DISTANCE OF 400.00 FEET TO THE POINT OF BEGINNING AND CONTAINING 0.003 OF ONE ACRE OF LAND, MORE OR LESS.

PRINCIPAL CONTACTS

NAME	ADDRESS	CITY & ZIP	PHONE	FAX
OWNER:	LUIS MIGUEL ARCECHOA	461 S. VETERANS RD	EDINBURG, TX 78842	(956) 381-0981 FAX
ENGINEER:	MARIO A. REYNA, P.E.	115 W. MCINTYRE	EDINBURG, TX 78841	(956) 381-0981 (956) 381-1839
SURVEYOR:	FRED L. KURTH, R.P.L.S.	115 W. MCINTYRE	EDINBURG, TX 78841	(956) 381-0981 (956) 381-1839

- GENERAL PLAT NOTES & RESTRICTIONS:
- FLOOD ZONE EASEMENTS: FLOOD ZONE 10 ARE AREAS BETWEEN LIMITS OF THE 100-YEAR FLOOD AND 500-YEAR FLOOD, OR CERTAIN AREAS SUBJECT TO 100-YEAR FLOODING. THE USE OF THE PUBLIC FOREVER ALL STREET, ALLEYS, PARKS, WATERSOURCES, DRAINS, EASEMENTS AND PUBLIC PLACES THEREON SHOWN FOR THE PURPOSE OF CONSIDERATION HEREIN EXRESSED.
- COMMUNITY-PANEL NUMBER: 48528 (0425 C, MAP REVISED NOVEMBER 18, 1982)
1. SETBACKS:
REAR: 15.00' OR EASEMENT, WHICHEVER IS GREATER
SIDE: 5.00 FEET OR EASEMENT, WHICHEVER IS GREATER
FRONT: 20.00 FEET OR EASEMENT, WHICHEVER IS GREATER
CUL-DE-SAC: 15.00 FEET OR EASEMENT, WHICHEVER IS GREATER
FRONT GARAGE: 15.00 FEET OR EASEMENT, WHICHEVER IS GREATER
2. MINIMUM FINISHED FLOOR ELEVATION SHALL BE 18" ABOVE THE CENTER LINE OF STREET OR 18" ABOVE NATURAL GRADE, WHICHEVER IS GREATER. ELEVATION CERTIFICATE MAY BE REQUIRED FOR LOTS LOCATED OUTSIDE A DESIGNATED FLOOD ZONE AT THE TIME OF APPLICATION FOR CONSTRUCTION TO VERIFY AND POST CONSTRUCTION FINISHED FLOOR ELEVATIONS. AN ELEVATION CERTIFICATE SHALL BE REQUIRED FOR ALL LOTS WITHIN A DESIGNATED FLOOD ZONE AT THE TIME OF A DEVELOPMENT PERMIT APPLICATION.
3. THE FOLLOWING BENCHMARKS ARE IDENTIFIED ON THE FACE OF THE PLAT AND ON THE ATTACHED ENGINEERING PLANS, AS PER NAVD 88 [LEOD 2003]
BENCH MARK - DISK SET APPROXIMATELY 13.5 FT. NORTH AND 75.6 FT. EAST FROM THE NORTHWEST CORNER OF LOT 7, N 1649144-2255, E 110255-8304, ELEVATION: 33.25
4. IN ACCORDANCE WITH THE HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 AND HIDALGO COUNTY REQUIREMENTS, THIS DEVELOPMENT WILL BE REQUIRED TO DETAIN A TOTAL OF _____ ACRES-FEET OF STORM WATER RUNOFF. DETENTION DETENTION IN ACCORDANCE WITH THE LOCAL REQUIREMENTS WILL BE ACCOMPLISHED AS FOLLOWS: THE DEVELOPMENT SHALL BE RESPONSIBLE TO DETAIN AND ABANDON MORE THAN THE DETAINED VOLUME SHOWN ABOVE IF IT DETERMINES AT THE DEVELOPMENT PERMIT STAGE THAT THE DETENTION REQUIREMENTS ARE GREATER THAN STATED HERE DUE TO THE IMPROVISED AREA BEING GREATER THAN ENGINEER CONSIDERED FOR HIS CALCULATIONS OF THIS SUBDIVISION.
5. OUTPARCELS "A" IS FOR DETENTION PURPOSES/SHALL BE MAINTAIN BY H.O.A.
6. NO STRUCTURE SHALL BE PERMITTED OVER ANY EASEMENT. EASEMENTS SHALL BE KEPT CLEAR OF BUILDINGS, SHEDS, SHIMMY TREES, AND OTHER PLANTINGS (EXCEPT LOW, LESS THAN 18 INCHES MATURE HEIGHT, GRASS, OR FLOWERS) AND OTHER OBSTRUCTIONS THAT WOULD INTERFERE WITH THE OPERATIONS AND MAINTENANCE OF THE EASEMENT.
7. A 8 FEET SIDEWALK WITH ADA RAMPS IS REQUIRED ALONG VETERANS ROAD BY DEVELOPER DURING SUBDIVISION CONSTRUCTION. LOT OWNER WILL BE RESPONSIBLE FOR 5 FOOT SIDEWALK AND ADA RAMPS AS PER CITY OF EDINBURG STANDARDS AT BUILDING POINT STAGE.
8. ALL CONSTRUCTION SHALL COMPLY WITH STORM WATER POLLUTION PREVENTION PLAN (SWPPP) REQUIREMENTS.
9. DETENTION PONDS MUST BE MAINTAINED BY THE HOME OWNERS ASSOCIATION AND NOT THE CITY OF EDINBURG.
10. ALL LOT GRADING TO BE AT 1% FROM REAR OF LOTS TO FRONT.
11. EACH LOT CORNER SHALL BE MONUMENTED WITH 1/2" IRON RODS.

THIS PLAT APPROVED BY THE HIDALGO COUNTY IRRIGATION DISTRICT NO. 1 ON THIS _____ DAY OF _____, 20____.

HIDALGO COUNTY IRRIGATION DISTRICT NO. 1 WILL NOT BE RESPONSIBLE FOR DRAINAGE OR LEXY RIGHT OF WATER TO ANY LOT IN THIS SUBDIVISION. ALSO, THERE WILL NOT BE ANY PERMANENT STRUCTURES ON THE DISTRICT RIGHT-OF-WAYS AND/OR EASEMENTS.

NO IMPROVEMENTS OF ANY KIND SHALL BE PLACED UNDER THE HCDRT RIGHT-OF-WAYS OR EASEMENTS WITHOUT THE EXPRESSED WRITTEN PERMISSION OF HCDRT.

SECRETARY

STATE OF TEXAS
COUNTY OF HIDALGO

WE, THE UNDERSIGNED, OWNERS OF THE LAND SHOWN ON THIS PLAT, AND DESIGNATED AS JALPA OAKS SUBDIVISION, ADDITION OF THE OF, AND WHOSE NAME IS SUBSCRIBED HERETO, HEREBY DEICATED TO THE USE OF THE PUBLIC FOREVER ALL STREET, ALLEYS, PARKS, WATERSOURCES, DRAINS, EASEMENTS AND PUBLIC PLACES THEREON SHOWN FOR THE PURPOSE OF CONSIDERATION HEREIN EXRESSED.

COMMUNITY-PANEL NUMBER: 48528 (0425 C, MAP REVISED NOVEMBER 18, 1982)

1. SETBACKS:
REAR: 15.00' OR EASEMENT, WHICHEVER IS GREATER
SIDE: 5.00 FEET OR EASEMENT, WHICHEVER IS GREATER
FRONT: 20.00 FEET OR EASEMENT, WHICHEVER IS GREATER
CUL-DE-SAC: 15.00 FEET OR EASEMENT, WHICHEVER IS GREATER
FRONT GARAGE: 15.00 FEET OR EASEMENT, WHICHEVER IS GREATER

2. MINIMUM FINISHED FLOOR ELEVATION SHALL BE 18" ABOVE THE CENTER LINE OF STREET OR 18" ABOVE NATURAL GRADE, WHICHEVER IS GREATER. ELEVATION CERTIFICATE MAY BE REQUIRED FOR LOTS LOCATED OUTSIDE A DESIGNATED FLOOD ZONE AT THE TIME OF APPLICATION FOR CONSTRUCTION TO VERIFY AND POST CONSTRUCTION FINISHED FLOOR ELEVATIONS. AN ELEVATION CERTIFICATE SHALL BE REQUIRED FOR ALL LOTS WITHIN A DESIGNATED FLOOD ZONE AT THE TIME OF A DEVELOPMENT PERMIT APPLICATION.

3. THE FOLLOWING BENCHMARKS ARE IDENTIFIED ON THE FACE OF THE PLAT AND ON THE ATTACHED ENGINEERING PLANS, AS PER NAVD 88 [LEOD 2003]
BENCH MARK - DISK SET APPROXIMATELY 13.5 FT. NORTH AND 75.6 FT. EAST FROM THE NORTHWEST CORNER OF LOT 7, N 1649144-2255, E 110255-8304, ELEVATION: 33.25

4. IN ACCORDANCE WITH THE HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 AND HIDALGO COUNTY REQUIREMENTS, THIS DEVELOPMENT WILL BE REQUIRED TO DETAIN A TOTAL OF _____ ACRES-FEET OF STORM WATER RUNOFF. DETENTION DETENTION IN ACCORDANCE WITH THE LOCAL REQUIREMENTS WILL BE ACCOMPLISHED AS FOLLOWS: THE DEVELOPMENT SHALL BE RESPONSIBLE TO DETAIN AND ABANDON MORE THAN THE DETAINED VOLUME SHOWN ABOVE IF IT DETERMINES AT THE DEVELOPMENT PERMIT STAGE THAT THE DETENTION REQUIREMENTS ARE GREATER THAN STATED HERE DUE TO THE IMPROVISED AREA BEING GREATER THAN ENGINEER CONSIDERED FOR HIS CALCULATIONS OF THIS SUBDIVISION.

5. OUTPARCELS "A" IS FOR DETENTION PURPOSES/SHALL BE MAINTAIN BY H.O.A.

6. NO STRUCTURE SHALL BE PERMITTED OVER ANY EASEMENT. EASEMENTS SHALL BE KEPT CLEAR OF BUILDINGS, SHEDS, SHIMMY TREES, AND OTHER PLANTINGS (EXCEPT LOW, LESS THAN 18 INCHES MATURE HEIGHT, GRASS, OR FLOWERS) AND OTHER OBSTRUCTIONS THAT WOULD INTERFERE WITH THE OPERATIONS AND MAINTENANCE OF THE EASEMENT.

7. A 8 FEET SIDEWALK WITH ADA RAMPS IS REQUIRED ALONG VETERANS ROAD BY DEVELOPER DURING SUBDIVISION CONSTRUCTION. LOT OWNER WILL BE RESPONSIBLE FOR 5 FOOT SIDEWALK AND ADA RAMPS AS PER CITY OF EDINBURG STANDARDS AT BUILDING POINT STAGE.

8. ALL CONSTRUCTION SHALL COMPLY WITH STORM WATER POLLUTION PREVENTION PLAN (SWPPP) REQUIREMENTS.

9. DETENTION PONDS MUST BE MAINTAINED BY THE HOME OWNERS ASSOCIATION AND NOT THE CITY OF EDINBURG.

10. ALL LOT GRADING TO BE AT 1% FROM REAR OF LOTS TO FRONT.

11. EACH LOT CORNER SHALL BE MONUMENTED WITH 1/2" IRON RODS.

STATE OF TEXAS
COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, ON THIS DAY PERSONALLY APPEARED LUIS MIGUEL ARCECHOA, AND KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, WHO, BEING BY ME, FIRST FULLY KNOWN AND DECLARED THAT THE STATEMENTS THEREIN ARE TRUE AND CORRECT AND ACKNOWLEDGED THAT THEY EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREBY EXPRESSED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS _____ DAY OF _____, 20____.

NOTARY PUBLIC IN THE STATE OF TEXAS
MY COMMISSION EXPIRES: _____

STATE OF TEXAS
COUNTY OF HIDALGO

I, THE UNDERSIGNED, MARIO A. REYNA, A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN TO THIS PLAT AND IS A TRUE AND ACCURATE REPRESENTATION OF THE SUBDIVISION OF THE LANDS HEREON DESCRIBED.

MARIO A. REYNA, P.E. #117588
DATE PREPARED: 09-29-21
JOB NO. 21156-00

DATE: _____

MELDEN & HUNT, INC.
TEXAS REGISTRATION #1438

STATE OF TEXAS
COUNTY OF HIDALGO

I, FRED L. KURTH, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECTLY MADE FROM AN ACTUAL SURVEY MADE ON THE GROUND OF THE PROPERTY LEGALLY DESCRIBED HEREON, AND THAT THERE ARE NO APPARENT DISCREPANCIES, CONFLICTS, UNREPAIRING, OR IMPROVEMENTS, VISIBLE UTILITY LINES OR ROADS IN PLACE, EXCEPT AS SHOWN ON THE ACCOMPANYING PLAT, AND THAT THE CORNER MONUMENTS SHOWN THEREON WERE PROPERLY PLACED UNDER MY SUPERVISION IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS OF THE COUNTY OF HIDALGO, TEXAS.

DATED THIS _____ DAY OF _____, 20____.

FRED L. KURTH, R.P.L.S. #A-4750
STATE OF TEXAS
DATE SURVEYED: 6-3-2021
17:127 P.O. #
SURVEY JOB # 21487-20

I, THE UNDERSIGNED, MAYOR OF THE CITY OF EDINBURG, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEN MY APPROVAL IS REQUIRED.

MAYOR CITY OF EDINBURG _____ DATE _____

CITY SECRETARY _____ DATE _____

I, THE UNDERSIGNED, CHAIRPERSON OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF EDINBURG, TEXAS, DO HEREBY CERTIFY THE MAJOR SUBDIVISION PLAT KNOWN AS JALPA OAKS SUBDIVISION CONFORMS TO ALL SUBDIVISION REQUIREMENTS OF THIS CITY WHEN MY APPROVAL IS REQUIRED AND HAS BEEN APPROVED FOR RECORDING ON THIS _____ DAY OF _____, 20____.

CHAIRPERSON PLANNING AND ZONING COMMISSION

STATE OF TEXAS
COUNTY OF HIDALGO

APPROVED BY DRAINAGE DISTRICT:

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEXAS WATER CODE §49.21 (C). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER AND ENGINEER TO MAKE THEIR OWN DETERMINATIONS.

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1

RAUL E. SESNA, P.E., C.F.M.
GENERAL MANAGER

DATE: _____

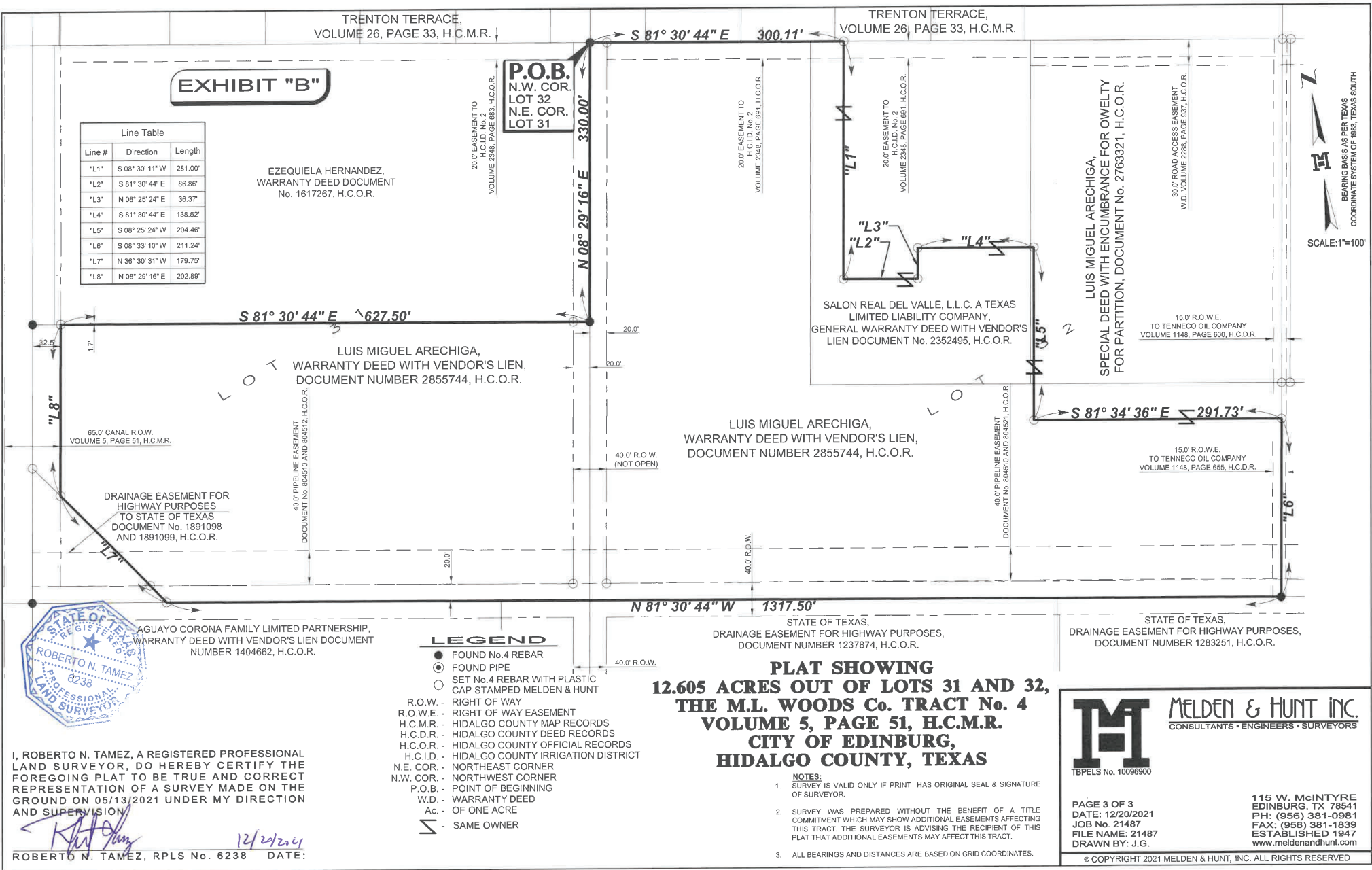
FILED FOR RECORD IN
HIDALGO COUNTY, TEXAS
ARTURO GUJARDO, JR.
HIDALGO COUNTY CLERK

DATE: _____

INSTRUMENT NUMBER _____

OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS

BY: _____ DEPUTY





Case #

Edinburg
THE CITY OF

Planning & Zoning Department
415 W. University Drive
Edinburg, Texas 78539
(956) 388-8202

Zone Change Application

1. Name: Luis Miguel Arechiga Phone No. 910 381-0981
2. Mailing Address: 4519 S Veterans Blvd
3. City: Edinburg State: TX Zip: 78542
4. Email Address: c/o mario@meldenandhunt.com Cell No. _____
5. Agent: Melden & Hunt, Inc Phone No. 381-0981
6. Agent's Mailing Address: 115 W McIntyre
7. City: Edinburg State: TX Zip: 78542
8. Email Address: mario@meldenandhunt.com
9. Address/Location being Rezoned: _____
10. Legal Description of Property: _____ Property ID: 330878
Being a 12.605 ac o/o Lots 31 & 32, The M.L. Woods Co. Tract No.4 Subdivision, According
to the plat thereof recorded in Volume 5, Page 51, Hidalgo County Map Records
11. Zone Change: From: AG - Agriculture To: AU - Auto-Urban Residential
12. Existing Land Use: vacant
13. Reason for Zone Change: Residential subdivision

Mario A. Reyna

(Please Print Name)


Signature

AMOUNT PAID \$ _____ RECEIPT NUMBER _____

PUBLIC HEARING DATE (PLANNING & ZONING COMMISSION) – 4:00 PM: _____

PUBLIC HEARING DATE (CITY COUNCIL) – 6:00 PM: _____

(NOTE: BOTH MEETINGS ARE HELD AT THE EDINBURG CITY COUNCIL CHAMBERS)

RECEIVED

DEC 22 2021

Name: NC 4:19pm



Rezoning Request

MELDEN & HUNT / JALPA OAKS - RESIDENTIAL

4801 South Veterans Boulevard





CITY OF EDINBURG
Planning & Zoning Commission

Regular Meeting

Meeting Date:

01/17/2022

Comprehensive Plan Amendment and Rezoning Request

AGENDA ITEM 6E:

Consider the Comprehensive Plan Amendment from Auto Urban Uses to General Commercial Uses and the Rezoning Request from Agriculture (AG) District to Commercial General (CG) District, being a 4.349 acre tract of land out of Lots 31 & 32, The M.L. Woods Co. Tract No. 4, located at 4513 South Veterans Boulevard, as requested by Melden & Hunt, Inc.

DESCRIPTION / SCOPE:

The property is located on the west side of South Veterans Boulevard, approximately 900 ft. north of East Alberta Road and is occupied by the Real del Valle Event Center. The tract has an irregular shape with 448.76 ft. of frontage along South Veterans Boulevard and a tract size of 4.349 acres. The requested zoning designation allows for commercial uses on the subject property. The applicant is requesting the change of zone to accommodate the use of an existing commercial event center. A subdivision submitted under the name of Jalpa Oaks received preliminary approval by this Board on November 9, 2021, and includes the lot for this rezoning request, Lot 49.

The property is currently zoned Agriculture (AG) District. The surrounding zoning is Agriculture (AG) District to the north, south and west, and Auto-Urban Residential (AU) District to the east. The future land use designation is for Auto-Urban Uses.

Staff mailed a notice of the public hearing before to 17 neighboring property owners and received no comments in favor or against this request by the time this report was prepared.

BACKGROUND / HISTORY

The location of the subject property was part of the City's 2012 Annexation Plan. As per City of Edinburg Unified Development Code (UDC) Section 1.205, "Any newly annexed land shall be designated AG unless controlled by a pre-annexation agreement that provides otherwise." The commercial uses at this location commenced in 2008, predating annexation. Staff received a Zone Change Application for the subject property on December 22, 2021, requesting Commercial General (CG) District zoning. Submitted with the Application was a survey and a proposed subdivision plat.

ESTIMATED TIMELINE:

The recommendation of approval or denial of this public hearing is scheduled for consideration by the City Council on February 1, 2022. City Council's decision is the final step in the zoning process for this property. If denied the applicant may not request the proposed zoning classification for a 12 month period from the date of denial.

STAFF RECOMMENDATION:

Staff recommends approval of the Comprehensive Plan Amendment from Auto Urban Uses to General Commercial Uses and the Rezoning Request from Agriculture (AG) District to Commercial General (CG) District based on existing land uses.

If approved, the applicant will need to comply with all requirements during the permitting process including compliance with subdivision regulations, building and fire codes, fire protection, parking, landscape buffer-yards, solid waste services, utility, and any other City requirements, as applicable.

JUSTIFICATION:

Staff recommendation is based on existing land uses. The proposed zoning will conform to current land use. City-imposed zoning of Agriculture (AG) District is not appropriate for this location.

Nikki Marie Cavazos
Planner I

Kimberly A. Mendoza, MPA
Director of Planning & Zoning

MEETING DATES:
PLANNING & ZONING COMMISSION – 1/17/2022
CITY COUNCIL – 2/01/2022
DATE PREPARED – 1/11/2022

STAFF REPORT
GENERAL INFORMATION

APPLICATION: Comprehensive Plan Amendment from Auto Urban Uses to General Commercial Uses and Rezoning Request from Agriculture (AG) District to Commercial General (CG) District

APPLICANT: Luis Miguel Arechiga

AGENT: Melden & Hunt, Inc.

LEGAL: A 4.349 acre tract of land out of Lots 31 & 32, The M.L. Woods Co. Tract No. 4

LOCATION: Located at 4513 South Veterans Boulevard

LOT/TRACT SIZE: 4.349 acres

CURRENT USE: Commercial

PROPOSED USE: Commercial

EXISTING ZONING: Agriculture (AG) District

ADJACENT ZONING: North – Agriculture (AG) District
South – Agriculture (AG) District
East – Auto-Urban Residential (AU) District
West – Agriculture (AG) District

LAND USE PLAN: Auto-Urban Uses

PUBLIC SERVICES: North Alamo Water/City of Edinburg Sewer

RECOMMENDATION: Staff recommends approval of the Comprehensive Plan Amendment from Auto Urban Uses to General Commercial Uses and Rezoning Request from Agriculture (AG) to Commercial General (CG) District

**REZONING REQUEST
LUIS MIGUEL ARECHIGA**

EVALUATION

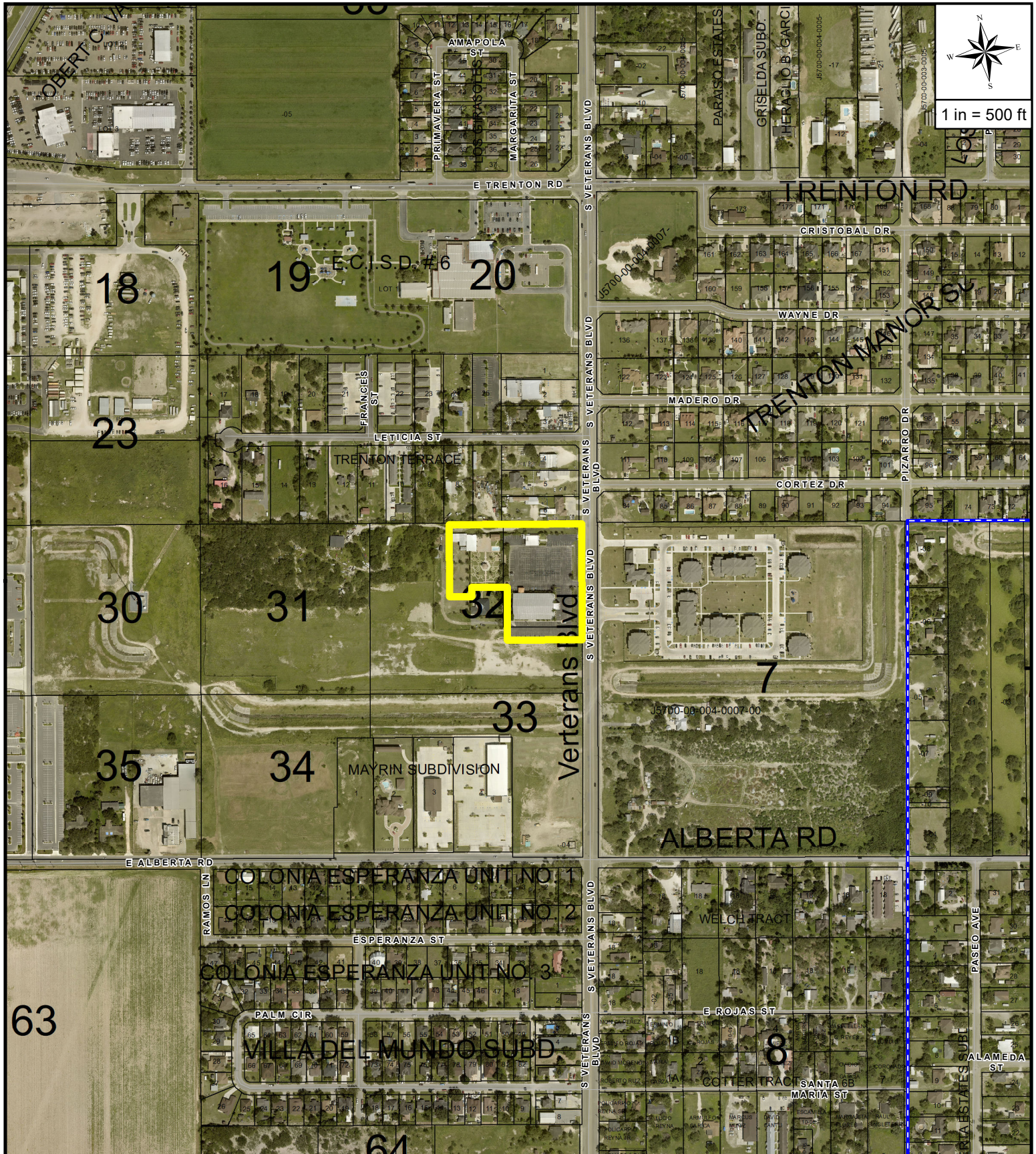
The following is staff's evaluation of the request.

1. This area was part of the City's 2012 Annexation Plan and brought into the City as Agriculture (AG) District despite existing use.
2. The applicant is requesting the change of zone to conform zoning to existing use of the subject property.

Staff recommends approval of the Comprehensive Plan Amendment from Auto Urban Uses to General Commercial Uses and the Rezoning Request from Agriculture (AG) District to Commercial General (CG) District based on existing land uses at this location. If approved, the applicant will need to comply with all requirements during the permitting process including compliance with subdivision regulations, building and fire codes, fire protection, parking, landscape buffer-yards, solid waste services, utility, and any other City requirements, as applicable.

Staff mailed a notice of the public hearing before to 17 neighboring property owners and received no comments in favor or against this request by the time this report was prepared.

ATTACHMENTS: Aerial Photo
Site Map
Zoning Map
Future Land Use Map
Photo of site
Exhibits





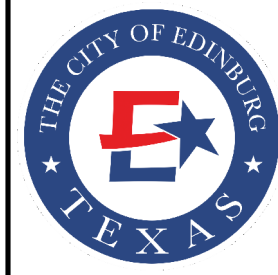
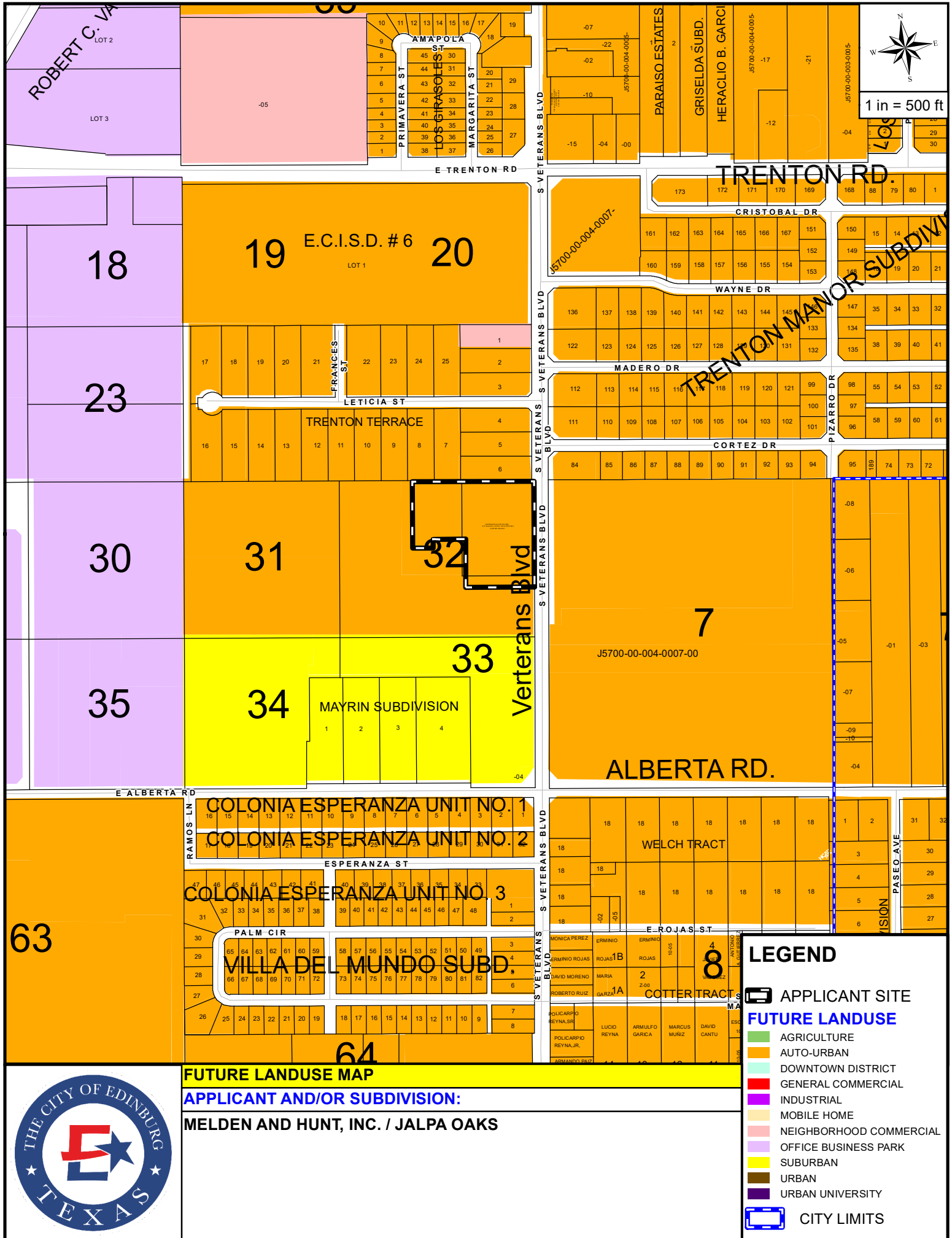
AERIAL MAP

APPLICANT AND/OR SUBDIVISION:

MELDEN AND HUNT, INC. / JALPA OAKS

LEGEND

-  APPLICANT SITE
-  CITY LIMITS



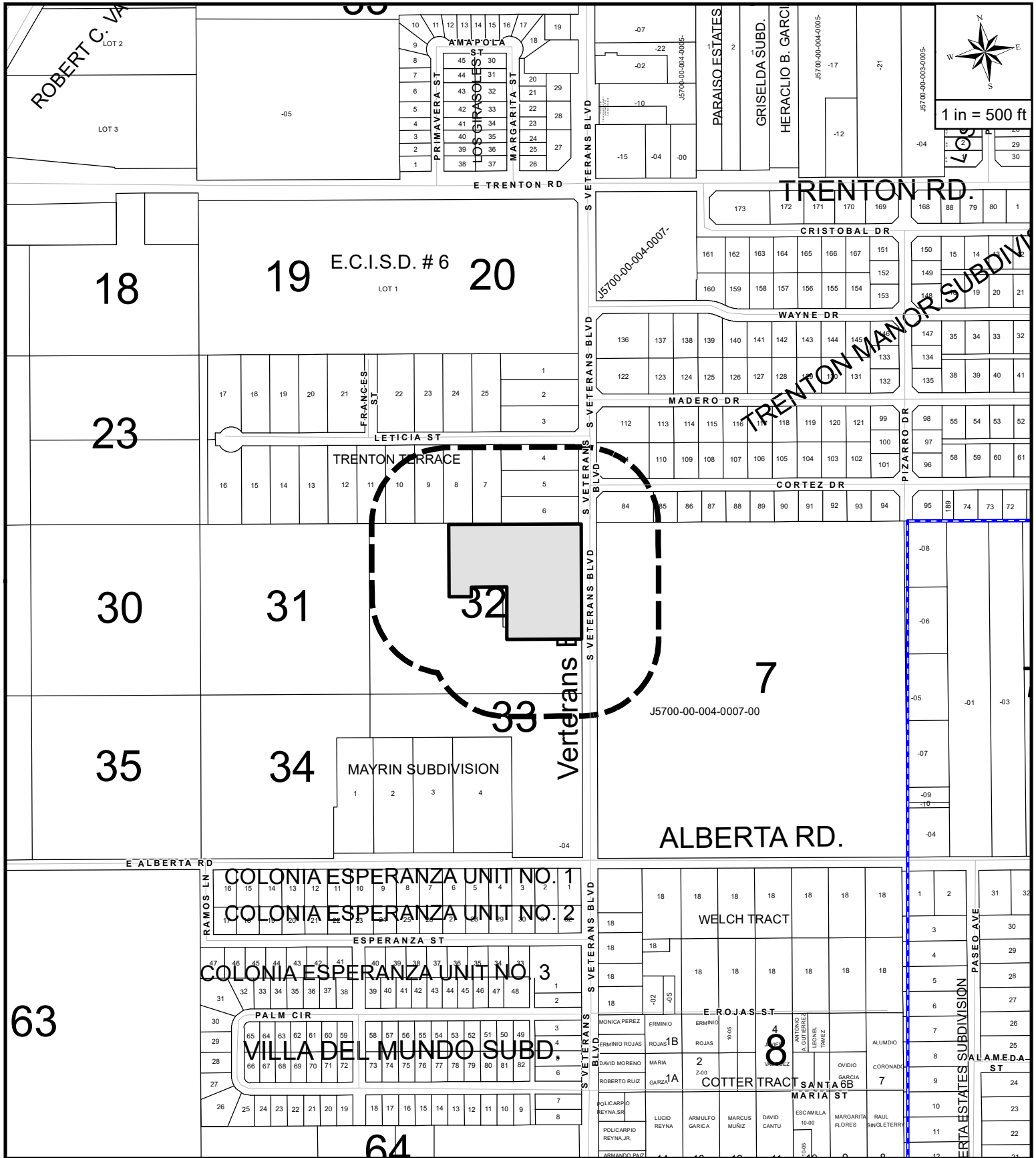
FUTURE LANDUSE MAP

APPLICANT AND/OR SUBDIVISION:

MELDEN AND HUNT, INC. / JALPA OAKS

LEGEND

- AGRICULTURE
- AUTO-URBAN
- DOWNTOWN DISTRICT
- GENERAL COMMERCIAL
- INDUSTRIAL
- MOBILE HOME
- NEIGHBORHOOD COMMERCIAL
- OFFICE BUSINESS PARK
- SUBURBAN
- URBAN
- URBAN UNIVERSITY
- CITY LIMITS






MAILOUT AND SITE MAP

APPLICANT AND/OR SUBDIVISION:

MELDEN AND HUNT, INC. / JALPA OAKS

LEGEND

-  APPLICANT SITE
-  300FT NOTIFICATION
-  CITY LIMITS



Case #

Edinburg
THE CITY OF

Planning & Zoning Department
415 W. University Drive
Edinburg, Texas 78539
(956) 388-8202

Zone Change Application

1. Name: Luis Miguel Arechiga Phone No. 409 381-0981
 2. Mailing Address: 4519 S Veterans Blvd
 3. City: Edinburg State: TX Zip: 78542
 4. Email Address: c/o mario@meldenandhunt.com Cell No. _____
 5. Agent: Melden & Hunt, Inc Phone No. 381-0981
 6. Agent's Mailing Address: 115 W McIntyre
 7. City: Edinburg State: TX Zip: 78542
 8. Email Address: mario@meldenandhunt.com
 9. Address/Location being Rezoned: _____
 10. Legal Description of Property: _____ Property ID: 330831
Being a 4.349 ac o/o Lots 32, The M.L. Woods Co. Tract No.4 Subdivision, According
to the plat thereof recorded in Volume 5, Page 51, Hidalgo County Map Records
 11. Zone Change: From: AG - Agriculture To: CG - Commerical General
 12. Existing Land Use: Event Center
 13. Reason for Zone Change: Commercial Use of Event Center
- Mario A. Reyna _____
(Please Print Name) Signature
- AMOUNT PAID \$ _____ RECEIPT NUMBER _____

PUBLIC HEARING DATE (PLANNING & ZONING COMMISSION) – 4:00 PM: _____

PUBLIC HEARING DATE (CITY COUNCIL) – 6:00 PM: _____

(NOTE: BOTH MEETINGS ARE HELD AT THE EDINBURG CITY COUNCIL CHAMBERS)

RECEIVED

DEC 22 2021

Name: NC 4:19pm



Rezoning Request

MELDEN & HUNT / JALPA OAKS - COMMERCIAL

4513 South Veterans Boulevard





City of Edinburg
PLANNING & ZONING COMMISSION

Regular Meeting: 1/17/2022

REZONING REQUEST

AGENDA ITEM 6F:

Consider the Rezoning Request from Neighborhood Conservation 7.1 (NC7.1) District to Urban Residential (UR) District, Lot 5, Block 287, Original Edinburg Townsite Subdivision, located at 1120 East Mahl Street, as requested by Gustavo Montemayor.

DESCRIPTION / SCOPE:

The property is located on the south side of East Mahl Street, approximately 210 ft. east of South 21st Avenue and is vacant. The requested zoning designation allows for single and multifamily uses on the subject property. The applicant is requesting the change of zone to construct a duplex.

The property is currently zoned Neighborhood Conservation 7.1 (NC7.1) District. The surrounding zoning is Neighborhood Conservation 7.1 (NC7.1) District to the north, south, and east, and Urban Residential (UR) District to the west. The future land use designation is for Urban Uses.

Staff received a Zone Change Application for the subject property on December 1, 2021. The applicant indicated that his intent is to build apartments. A site plan submitted with the property proposes a single structure with two apartment units on the lot. Rezoning is required to accommodate the proposed use.

The adjacent two lots west of the subject property belong to the same owner and were rezoned to urban residential on March 7, 2017. The subject property is intended to be an expansion of this development.

Staff mailed a notice of the public hearing before to 55 neighboring property owners and received one comment in favor and none against this request by the time this report was prepared.

ESTIMATED TIMELINE:

The recommendation of approval or denial of this public hearing is scheduled for consideration by the City Council on February 1, 2022. City Council's decision is the final step in the zoning process for this property. If denied the applicant may not request the proposed zoning classification for a 12 month period from the date of denial.

STAFF RECOMMENDATION:

Staff recommends approval of the Rezoning Request from Neighborhood Conservation 7.1 (NC7.1) District to Urban Residential (UR) District based on the adjacent zoning and land uses. The intended use is part of an ongoing development and in keeping with the City's Future Land Use Plan.

If approved, the applicant will need to comply with all requirements during the permitting process including compliance with subdivision regulations, building and fire codes, fire protection, parking, landscape buffer-yards, solid waste services, utility, and any other City requirements, as applicable.

JUSTIFICATION:

Staff recommendation is based on adjacent zoning and land uses. Adjacent lots to the west are part of the same type of development by the same owner. The requested zoning is in keeping with the City's Future Land Use Plan.

D. Austin Colina
Planner I

Kimberly A. Mendoza, MPA
Director of Planning & Zoning

MEETING DATES:
PLANNING & ZONING COMMISSION – 1/17/2022
CITY COUNCIL – 2/01/2022
DATE PREPARED – 1/04/2022

STAFF REPORT
GENERAL INFORMATION

APPLICATION: Rezoning Request from Neighborhood Conservation 7.1 (NC7.1) District to Urban Residential (UR) District

APPLICANT: Gustavo Montemayor

AGENT: N/A

LEGAL: Lot 5, Block 287, Original Edinburg Townsite Subdivision

LOCATION: 1120 East Mahl Street

LOT/TRACT SIZE: 7,100 sq. ft.

CURRENT USE: Vacant

PROPOSED USE: Multifamily Residential

EXISTING ZONING: Neighborhood Conservation 7.1 (NC7.1) District

ADJACENT ZONING: North – Neighborhood Conservation 7.1 (NC7.1) District
South – Neighborhood Conservation 7.1 (NC7.1) District
East – Neighborhood Conservation 7.1 (NC7.1) District
West – Urban Residential (UR) District

LAND USE PLAN: Urban

PUBLIC SERVICES: City of Edinburg Water & Sewer

RECOMMENDATION: Staff recommends approval of the Rezoning Request from Neighborhood Conservation 7.1 (NC7.1) District to Urban Residential (UR) District

REZONING REQUEST
GUSTAVO MONTEMAYOR

EVALUATION

The following is staff's evaluation of the request.

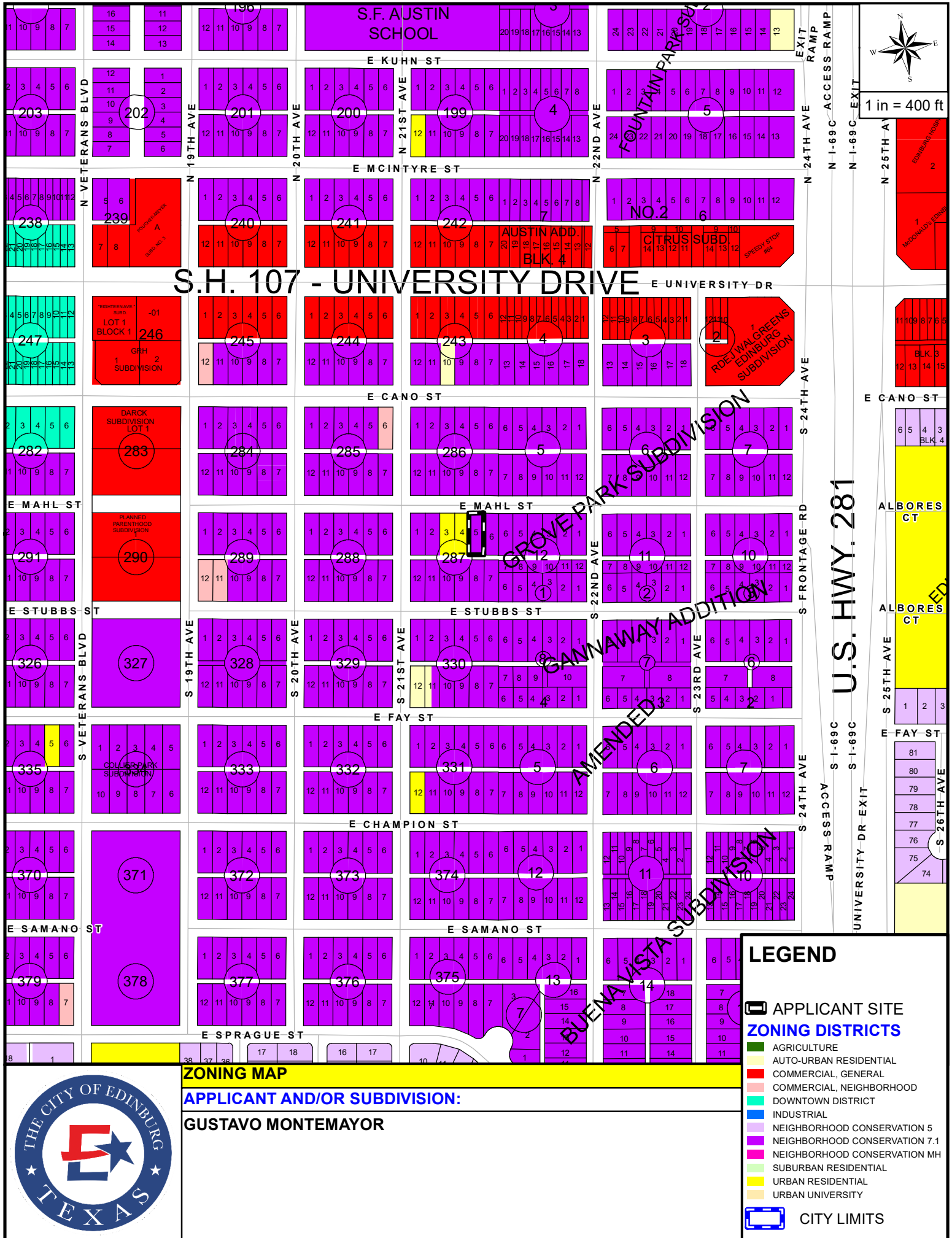
1. The land use pattern for this area of the community consists mostly of single family residential uses.
2. The applicant is requesting the change of zone to construct apartment units on the subject property. This is part of an ongoing project that received rezoning approval in 2017.

Staff recommends approval of the Rezoning Request from Neighborhood Conservation 7.1 (NC7.1) District to Urban Residential (UR) District based on the adjacent zoning, as well as prior rezoning received. The intended use is part of an ongoing project by the property owner.

If approved, the applicant will need to comply with all requirements during the permitting process including compliance with subdivision regulations, building and fire codes, fire protection, parking, landscape buffer-yards, solid waste services, utility, and any other City requirements, as applicable.

Staff mailed a notice of the public hearing before to 55 neighboring property owners and received no comments in favor or against this request by the time this report was prepared.

ATTACHMENTS: Aerial Photo
Site Map
Zoning Map
Future Land Use Map
Photo of site
Exhibits



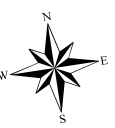
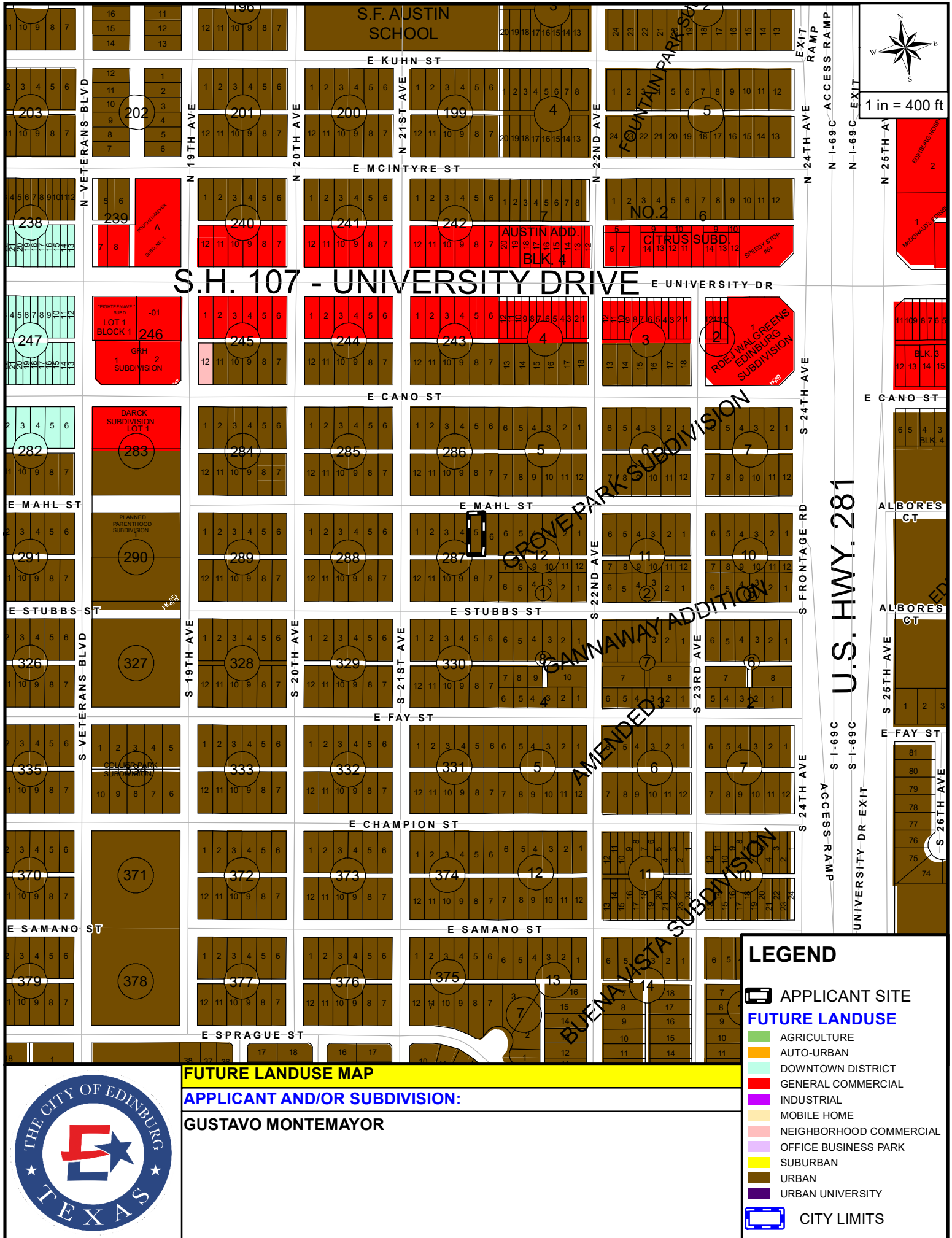
ZONING MAP

APPLICANT AND/OR SUBDIVISION:

GUSTAVO MONTEMAYOR

LEGEND

- APPLICANT SITE
- ZONING DISTRICTS**
- AGRICULTURE
- AUTO-URBAN RESIDENTIAL
- COMMERCIAL, GENERAL
- COMMERCIAL, NEIGHBORHOOD
- DOWNTOWN DISTRICT
- INDUSTRIAL
- NEIGHBORHOOD CONSERVATION 5
- NEIGHBORHOOD CONSERVATION 7.1
- NEIGHBORHOOD CONSERVATION MH
- SUBURBAN RESIDENTIAL
- URBAN RESIDENTIAL
- URBAN UNIVERSITY
- CITY LIMITS



1 in = 400 ft

LEGEND

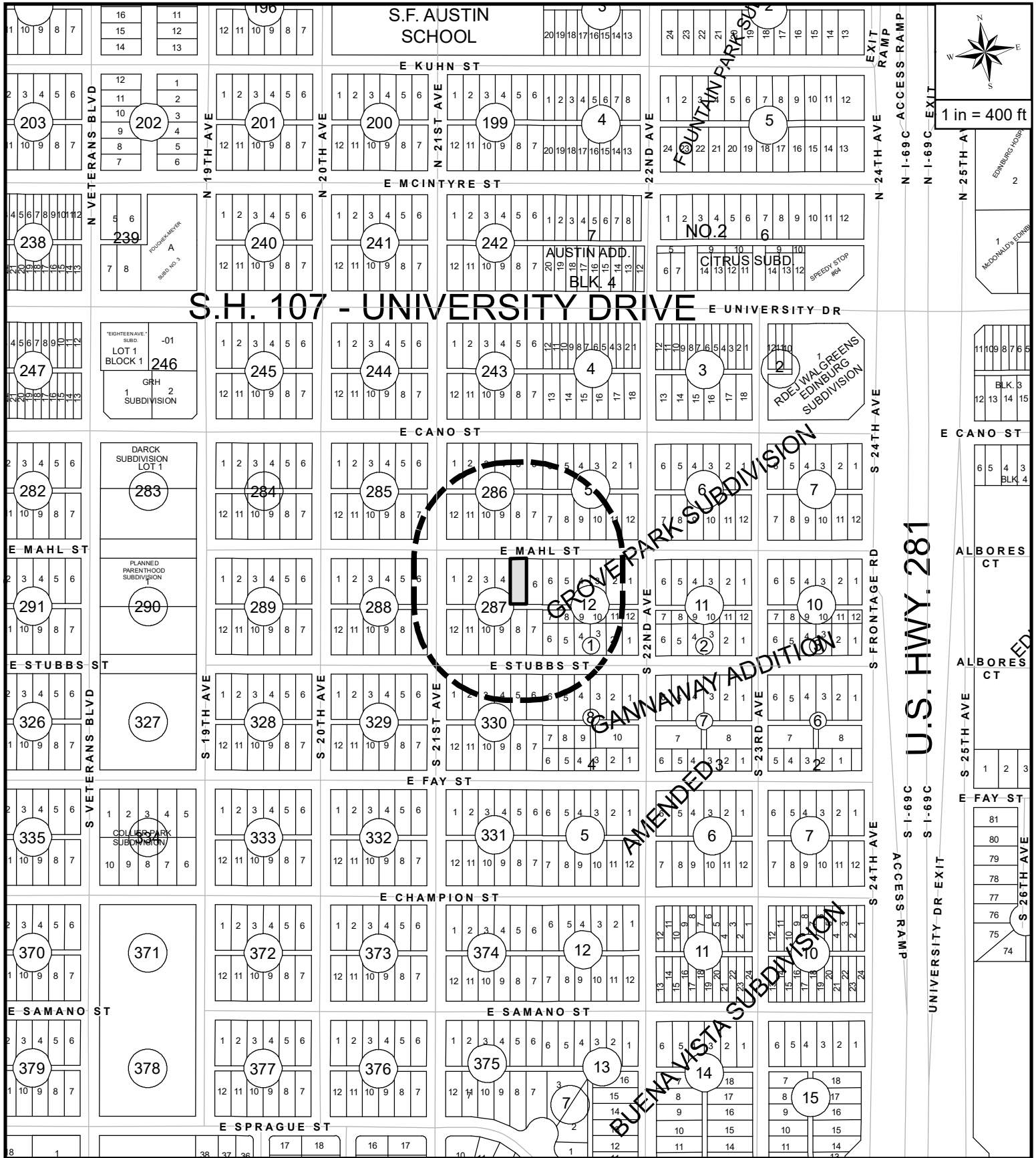
- APPLICANT SITE
- FUTURE LANDUSE
- AGRICULTURE
- AUTO-URBAN
- DOWNTOWN DISTRICT
- GENERAL COMMERCIAL
- INDUSTRIAL
- MOBILE HOME
- NEIGHBORHOOD COMMERCIAL
- OFFICE BUSINESS PARK
- SUBURBAN
- URBAN
- URBAN UNIVERSITY
- CITY LIMITS

FUTURE LANDUSE MAP

APPLICANT AND/OR SUBDIVISION:

GUSTAVO MONTEMAYOR








MAILOUT AND SITE MAP

APPLICANT AND/OR SUBDIVISION:

GUSTAVO MONTEMAYOR

LEGEND

-  APPLICANT SITE
-  300FT NOTIFICATION
-  CITY LIMITS



Dear Property Owner:

NOTIFICATION

A public hearing will be held on **Monday, January 17, 2022 at 4:00 P.M.** in the Edinburg City Hall, City Council Chambers, located at 415 West University Drive, at which time the Planning and Zoning Commission will consider the following:

CONSIDER THE REZONING REQUEST FROM NEIGHBORHOOD CONSERVATION 7.1 (NC7.1) DISTRICT TO URBAN RESIDENTIAL (UR) DISTRICT, LOT 5, BLOCK 287, ORIGINAL EDINBURG TOWNSITE SUBDIVISION, LOCATED AT 1120 EAST MAHL STREET, AS REQUESTED BY GUSTAVO MONTEMAYOR

The Zoning District requested allows to create higher density residential neighborhoods to meet the community's housing needs. The proposed use is for a multi-family residential (duplex) development.

This request is scheduled to be heard by the **City Council on Tuesday, February 1, 2022 at 6:00 P.M.** As a property owner within 300 ft. of the subject property, you are invited to attend. Please note that meeting time (s) and date (s) are subject to change. Therefore, please call on the date of the meeting to assure that the item is on the agenda. As part of the City effort to encourage greater participation in the rezoning process, the City is using this notice to solicit your input, but no action or response is required. Should you have any questions or need more information regarding this notice, you may call (956) 388-8202.

You may return your response by one of the following:

MAIL: P. O. Box 1079 Edinburg, Texas 78540
FAX: (956) 292-2080 by Friday, January 14, 2022
EMAIL: planning@cityofedinburg.com by Friday, January 14, 2022

Please place a checkmark on the appropriate box to indicate if you are in favor, against, or have no comments on this request.

☒ In Favor/A Favor ☐ Against/En Contra ☐ No Comments/No Comentario

Comments: In favor because the apartments that are there already are well kept and a nice look for our neighborhood.

Print Name: _____ Phone No. _____

Address: _____ City: _____ State: _____ Zip: _____

NOTIFICACIÓN

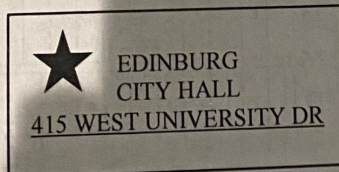
Si tiene preguntas o necesita información sobre esta aplicación en español, por favor llame al 956-388-8202.

Planning and Zoning Department

City of Edinburg

PO BOX 1079

Edinburg, TX 78540-1079



University Dr. (S.H.107)

8th Ave.



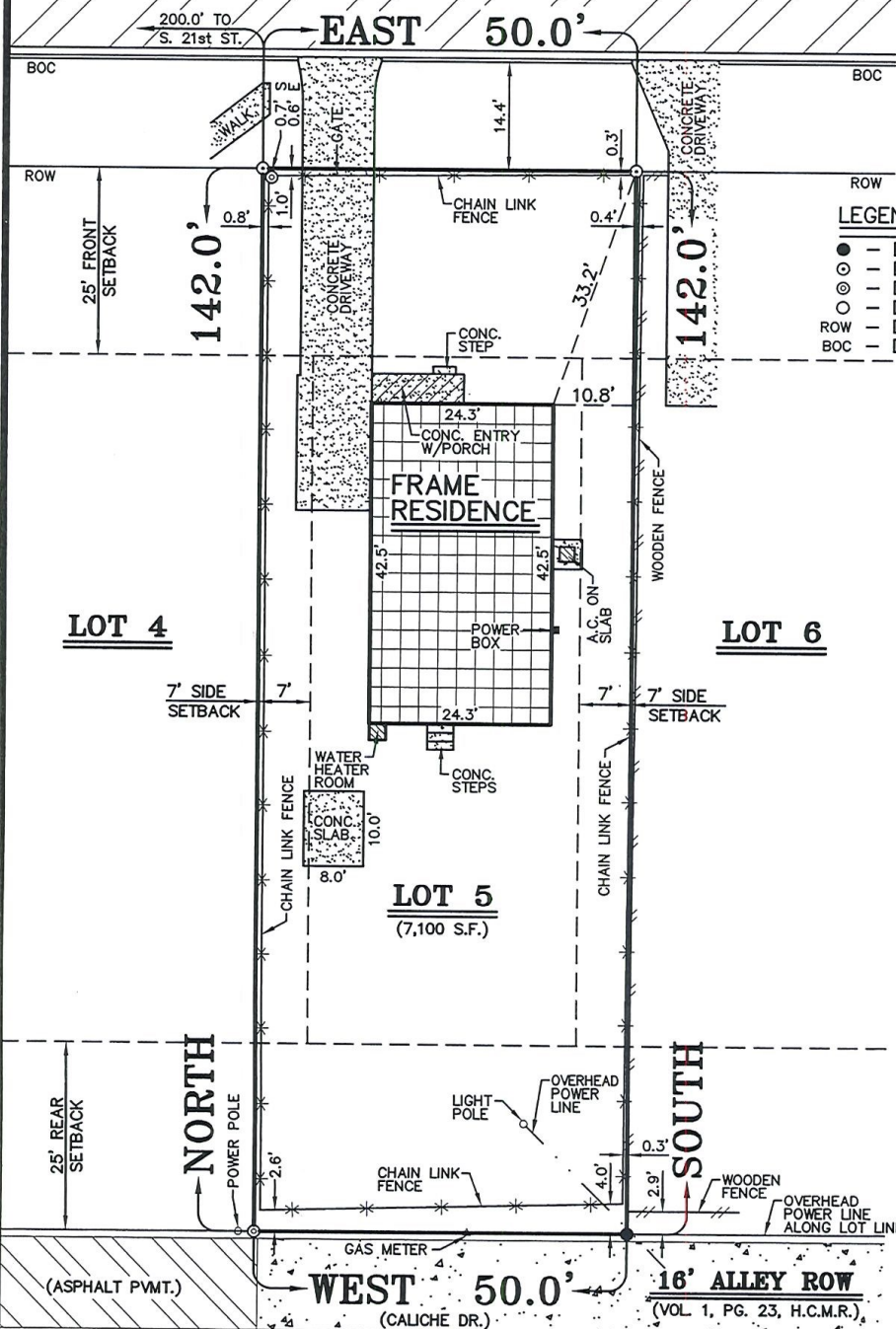
ART SALINAS

ENGINEERING & SURVEYING

1524 DOVE AVENUE, McALLEN, TEXAS 78504 PH: (956) 618-5565 FAX: (956) 618-5540

E. MAHL ST.

(60' ROW-VOL. 1, PG. 23, H.C.M.R.)



LEGEND

- - DENOTES FOUND 1/2" ROD
- - DENOTES SET 1/2" ROD
- ⊙ - DENOTES FOUND 5/8" PIPE
- - DENOTES NO MONUMENT
- ROW - DENOTES RIGHT OF WAY
- BOC - DENOTES BACK OF CURB



FLOOD ZONE DESIGNATION: The property shown hereon lies in Zone "X". Zone "X" areas are areas of 500-year flood; areas of 100-year flood with average depths of less than 1 foot or with drainage areas of less than 1 square mile; and areas protected by levees from 100-year flood as per F.E.M.A. Flood Insurance Rate Map No. 480338-0020-E dated 06-06-00.

- PLAT NOTES:**
- There are no discrepancies, conflicts, shortages in area or boundary lines, encroachments, overlapping of improvements or visible or apparent easements except as shown on this plat.
 - This survey plat is prepared in connection with Title Policy G.F. # 212441123 and does not guarantee title. This survey is for the exclusive use of the client and is not to be used for any other purpose without the express written consent of the surveyor.
 - This plat is a standard survey and does not include the location or subsurface investigation of underground utility, irrigation and/or gas lines. Building setbacks, zoning, platting and/or Regulatory Laws and/or Ordinance of any Municipal and/or other Governmental Authority.
 - This is a standard survey and does not include the location or subsurface investigation of underground utility, irrigation and/or gas lines. Building setbacks, zoning, platting and/or Regulatory Laws and/or Ordinance of any Municipal and/or other Governmental Authority.
 - Subject to any oil, gas and mineral lease of record.
 - Bearing Basis: "N. line of Lot 5, Block 287, Original Townsite of Edinburg"
 - Surveyor: Gustavo Montemayor

THIS IS TO CERTIFY THAT I HAVE, THIS DATE, PREPARED A SURVEY ON THE GROUND WHICH IS LOCATED AT 1120 E. MAHL ST., in EDINBURG, TEXAS, DESCRIBED AS FOLLOWS:
 LOT FIVE (5), BLOCK TWO HUNDRED EIGHTY SEVEN (287), ORIGINAL TOWNSITE OF EDINBURG, HIDALGO COUNTY, TEXAS, AS PER MAP OR PLAT THEREOF RECORDED IN VOLUME 1, PAGE 23, MAP RECORDS OF HIDALGO COUNTY, TEXAS, REFERENCE TO WHICH IS HERE MADE FOR ALL PURPOSES.

21-61184
Job No.

08-14-21
Date

© COPYRIGHT 2021 ART SALINAS ENGINEERING INC. THIS SURVEY WAS PROVIDED IN MULTIPLE ORIGINALS SOLELY FOR THE USE OF THE BORROWER NAMED HEREON. NO LICENSE HAS BEEN CREATED, EXPRESSED OR IMPLIED TO COPY THIS SURVEY.



Mahl St.

Parking

Bldg
1

Lot 5

Block 287

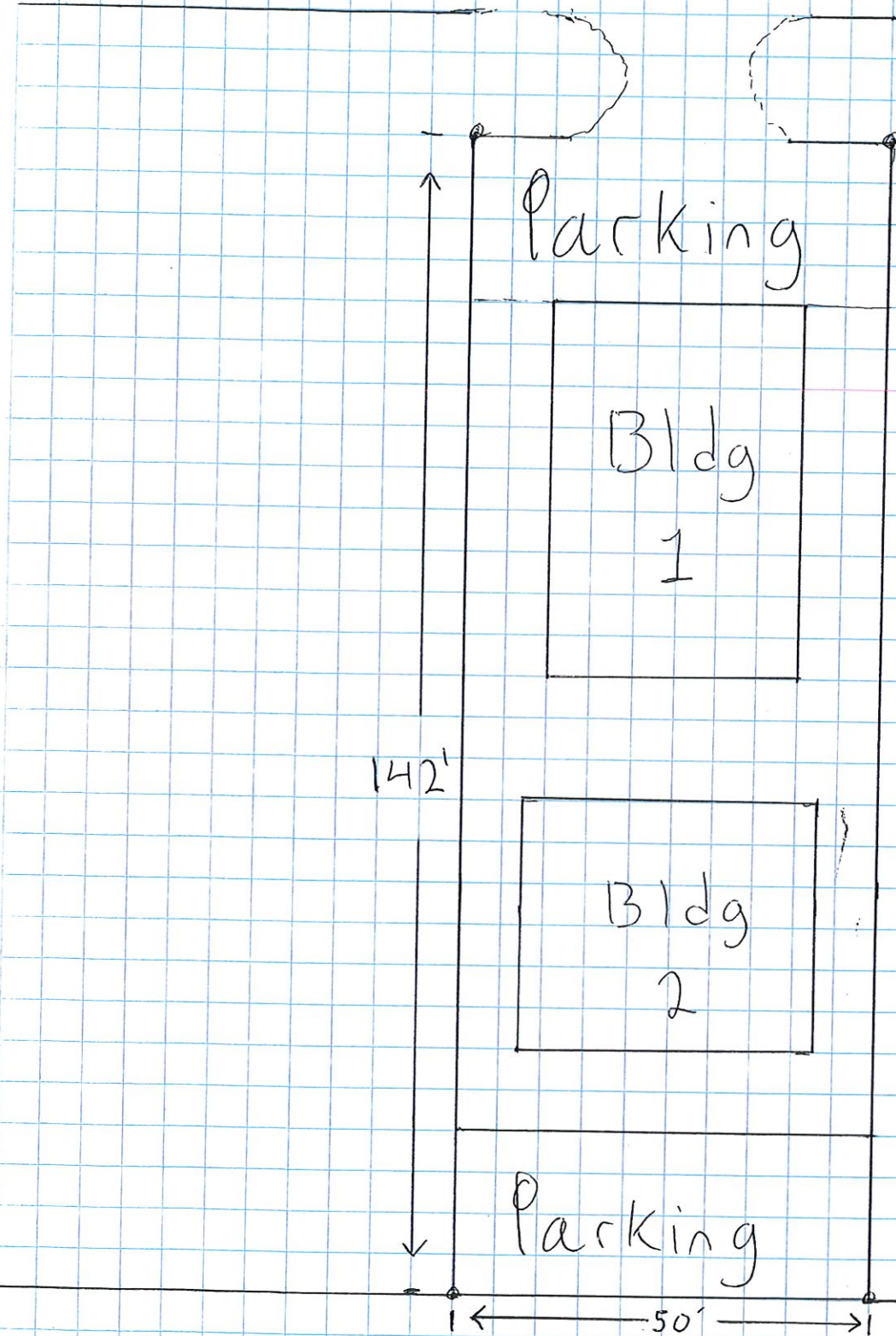
142'

Bldg
2

Parking

50'

Alley





Case #

Edinburg THE CITY OF

Planning & Zoning Department
415 W. University Drive
Edinburg, Texas 78539
(956) 388-8202

RZNE-2021-0029

Zone Change Application

Date: 12-1-211. Name: Gustavo Montemayor 2. Phone: 956 279-78773. Mailing Address: 730 Oregon St.4. City: Edinburg State: TX Zip: 785415. Email Address: Esthermontemayor@yahoo.com 6. Cell No. 956-279-78777. Agent: N/A 8. Agent's Phone: N/A9. Agent's Mailing Address: N/A10. City: N/A State: N/A Zip: N/A11. Agent's Email: N/A12. Address/Location being Rezoned: 1120 E. MAHL ST. Edinburg TX 7854113. Legal Description of Property: 14. Property ID(s): 165246Lot 5 Block 287 ORIGINAL Townsite of Edinburg,
Hidalgo County, Texas15. Zone Change: From: NC7.1 To: UR16. Existing Land Use: VACANT17. Reason for Zone Change: Build Apt.Gustavo Montemayor
(Please Print Name)[Signature]
Signature

AMOUNT PAID \$ _____ RECEIPT NUMBER _____

PUBLIC HEARING DATE (PLANNING & ZONING COMMISSION) – 4:00 PM: _____

PUBLIC HEARING DATE (CITY COUNCIL) – 6:00 PM: _____

(NOTE: BOTH MEETINGS ARE HELD AT THE EDINBURG CITY COUNCIL CHAMBERS)

J'ED
12-1-21



Rezoning Request

GUSTAVO MONTEMAYOR

1120 East Mahl Street





STAFF REPORT: NORTH MCCOLL ESTATES SUBDIVISION

Date Prepared: January 6, 2022
Planning and Zoning Meeting: January 17, 2022
Agenda Item: 7A Preliminary Plat

Subject: Consider the Preliminary Plat of **NORTH MCCOLL ESTATES SUBDIVISION**, being a 29.130-acre tract out of land out of Lot 3, Section 276, Texas-Mexican Railway Company's Survey, located at 3050 West Schunior Street, as requested by Melden & Hunt, Inc.

Location: The property is located on the south side of West Shunior Street, east of North McColl Road (FM 2061) and is within the City of Edinburg city limits.

Zoning: Auto Urban Residential District.

Analysis: The Preliminary Plat proposes multi-family residential development with a total of seventy six (76) lots averaging approximately 11,250 sq. ft. with set backs based on Auto-Urban Residential (UR) being: Front 20 ft., Side 6 ft., and Rear 20 ft. This subdivision is requesting a variance to the 800 ft. block length requirement.

Utilities: Water Distribution System is within Sharyland Alamo Water Supply Corporation, service CCN and Sanitary Sewer System is within City of Edinburg Sanitary Sewer Collection, service CCN. All utility improvements within the proposed subdivision that are not limited to water, sewer, curb & gutter, and fire hydrants will be installed by the developer in accordance with the approved 2014 Standards Manual.

Recommendations:

City of Edinburg Planning & Zoning Department:

Staff recommends approval of the Preliminary Plat, subject to the compliance with the Unified Development Code, General Notes; on FEMA flood zone, zoning, setbacks, finish floor elevation, benchmark, drainage detention, parkland fees, limited access, SWP3 requirements, sidewalks, and other notes as required based on development.

City of Edinburg Engineering / Utilities Department:

Preliminary Phase Submittal comments for this subdivision are included in the packet. As per Engineering, the plat shall be Preliminarily Approved until all comments have been addressed by the project engineer.

City of Edinburg Fire Department:

The following are the preliminary phase submittal comments as noted by the Fire Department:

1. Provide street names to the City of Edinburg Engineering Department for approval.
2. Fire lane 15 ft. in width shall be painted in front of all fire hydrants.
3. Provide double face blue fire hydrant street marker on center on the street in front of the fire hydrant.
4. Fire hydrant shall be every 600 ft. for one and two family dwellings as per Section 507.5.1 of 2012 IFC.
5. All streets should be 32 ft. B-B paving section according to Table 8.204 of the Edinburg Unified Development Code.

City of Edinburg Storm Water:

The following are the preliminary phase submittal comments as noted by Storm Water:

1. **SW3P** (Stormwater Pollution Prevention Plan)
2. **NOI** (Notice of Intent, Per TCEQ)
3. **Large Construction Notice** (Per TCEQ Inventory)
4. **Detailed Erosion Control Plan** (Silt Fence, Construction Entrance, Inlet Protection, Concrete Washout)
5. **Detailed Post Construction BMP's Plan** (70% Vegetation or Silt Fence back of curb)
6. **Plat Note** (All construction shall comply with Stormwater Pollution Prevention Plan (SW3P) requirements. Erosion and Sedimentation Controls constructed in accordance with the Stormwater Ordinance 98.30 of the City of Edinburg are required for all construction on each lot including single family and duplex/multi-family construction)
7. **NOT** (Notice of Termination, Per TCEQ) will now be required before the final walk through.
8. **Comments:**
 - SW3P Plat note has been revised. Please see the note for your reference.
 - NOT will need to be submitted before the final walk through.
 - Stormwater is now requiring a Post Construction Plan on plans that are submitted, either 70% vegetation or Install Silt Fence behind the back of curb.
 - Silt Fence around the entire project.
 - Large Construction Notice needs to be submitted with contractors contact information.
 - All items must be submitted before the NTP is issued.
 - Please email pending items to rvalenzuela@cityofedinburg.com

City of Edinburg Solid Waste:

Multi Family Residential Development within the City of Edinburg – City Limits



ENGINEERING DEPARTMENT

Preliminary Staff Review

January 11, 2022

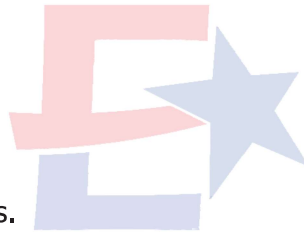
Mario A. Reyna, P.E.

Melden & Hunt, inc.
115 W. McIntyre.
Edinburg, TX 78541
(956) 381-0981

RE: NORTH McCOLL ESTATES – PRELIMINARY REVIEW

Mr. Reyna,

Attached are the Preliminary Phase Submittal comments for North McColl Estates Subdivision. Submittal is adequate as presented and recommended for preliminary approval.



Any questions feel free to contact us.

Thanks,

Digitally signed by Peter
Hermida
Date: 2022.01.11
11:39:02 -06'00'

Peter Hermida E.I.T.

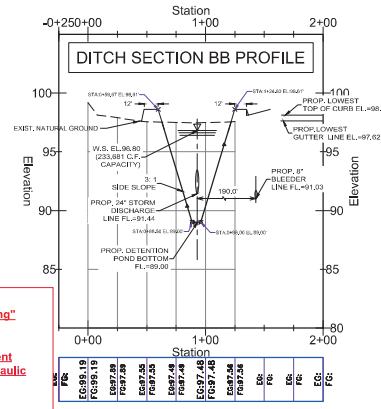
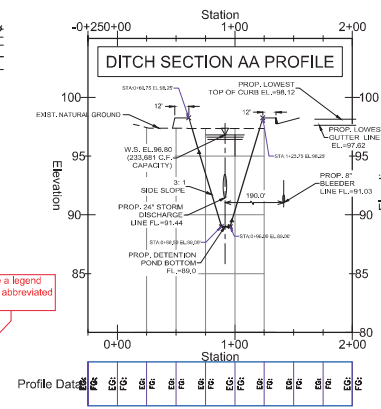
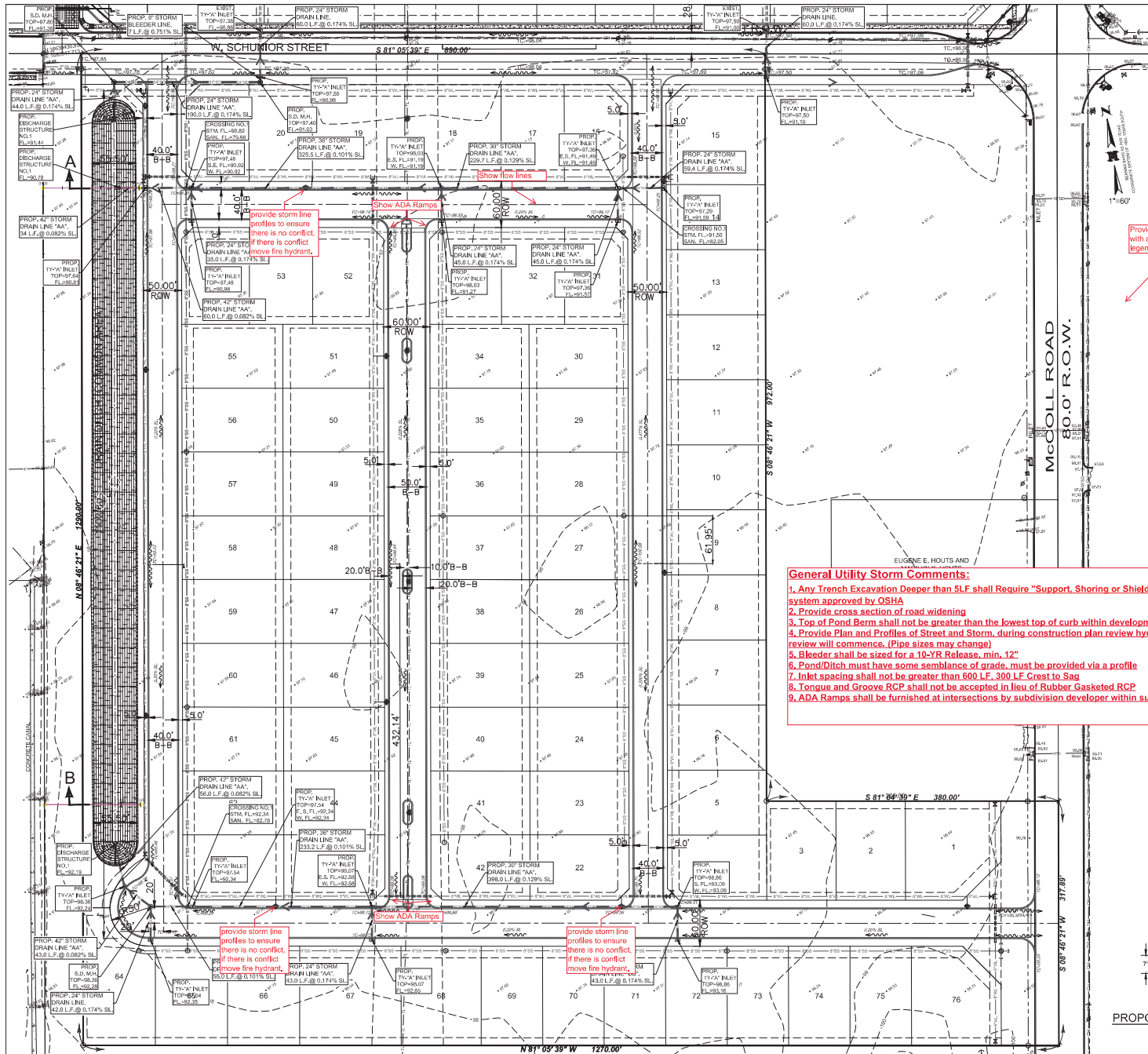
Email: phermida@cityofedinburg.com

415 W. University Drive
Edinburg, Texas 78539

Cc: Mardoqueo Hinojosa, P.E., CFM, City Engineer, Patrizia Longoria, Engineer III, Roberto Hernandez, Engineer I, Abel Beltran, Planner I, Vince Romero, Director of Public Works, Robert Valenzuela, Storm Water Specialist, Kimberly Mendoza, Director of Planning and Zoning, Rita Lee Guerrero, Planner I, Jaime Xavier Ayala, Planner II, Gerardo Carmona P.E., Director of Utilities, Jose Flores, Systems Superintendent, Omar Garza, Fire Marshal, Ramiro Gomez, Director of Solid Waste

REFERENCES:

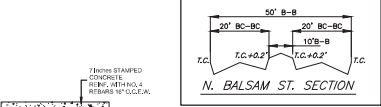
City of Edinburg – 2014 Standard Manual – Construction and Development Requirements; Unified Development Code; and if required a TX-Dot Permitting UIR permitting process.



STAGE STORAGE TABLE									
ELEV.	AREA (SQ. FT.)	DEPTH (FT.)	AVG. END INC. VOL. (CU. FT.)	AVG. END DEC. VOL. (CU. FT.)	COMB. INC. VOL. (CU. FT.)	COMB. DEC. VOL. (CU. FT.)	COMB. TOTAL VOL. (CU. FT.)	COMB. TOTAL VOL. (CU. FT.)	COMB. TOTAL VOL. (CU. FT.)
86.20	12,741.00	1.00	12,741.00	0.00	12,741.00	0.00	12,741.00	12,741.00	12,741.00
86.10	12,741.00	1.00	12,741.00	0.00	12,741.00	0.00	12,741.00	12,741.00	12,741.00
86.00	12,741.00	1.00	12,741.00	0.00	12,741.00	0.00	12,741.00	12,741.00	12,741.00
85.90	12,741.00	1.00	12,741.00	0.00	12,741.00	0.00	12,741.00	12,741.00	12,741.00
85.80	12,741.00	1.00	12,741.00	0.00	12,741.00	0.00	12,741.00	12,741.00	12,741.00
85.70	12,741.00	1.00	12,741.00	0.00	12,741.00	0.00	12,741.00	12,741.00	12,741.00
85.60	12,741.00	1.00	12,741.00	0.00	12,741.00	0.00	12,741.00	12,741.00	12,741.00
85.50	12,741.00	1.00	12,741.00	0.00	12,741.00	0.00	12,741.00	12,741.00	12,741.00
85.40	12,741.00	1.00	12,741.00	0.00	12,741.00	0.00	12,741.00	12,741.00	12,741.00
85.30	12,741.00	1.00	12,741.00	0.00	12,741.00	0.00	12,741.00	12,741.00	12,741.00

NOTE: ALL ADA RAMPS WITHIN THE SUBDIVISION ARE TO BE INSTALLED DURING SUBDIVISION CONSTRUCTION PHASE AND MUST BE IN PLACE PRIOR TO FINAL WALK-THRU.

PROPOSED DETENTION POND
241,283 C.F. CAPACITY AVAILABLE
233,681 C.F. CAPACITY REQUIRED



- General Utility Storm Comments:**
1. Any Trench Excavation Deeper than 5LF shall Require "Support, Shoring or Shielding" system approved by OSHA
 2. Provide cross section of road widening
 3. Top of Pond Berm shall not be greater than the lowest top of curb within development
 4. Provide Plan and Profiles of Street and Storm, during construction plan review hydraulic review will commence. (Pipe sizes may change)
 5. Bleeder shall be sized for a 10-YR Release, min. 12"
 6. Pond/Ditch must have some semblance of grade, must be provided via a profile
 7. Inlet spacing shall not be greater than 600 LF, 300 LF Crest to Sag
 8. Tongue and Groove RCP shall not be accepted in lieu of Rubber Gasketed RCP
 9. ADA Ramps shall be furnished at intersections by subdivision developer within subdivision

JOB No. 21205.01

PROJECT NO. 21205.01

DATE: 11/11/2019

1. RELEASE DATE: 11/11/2019

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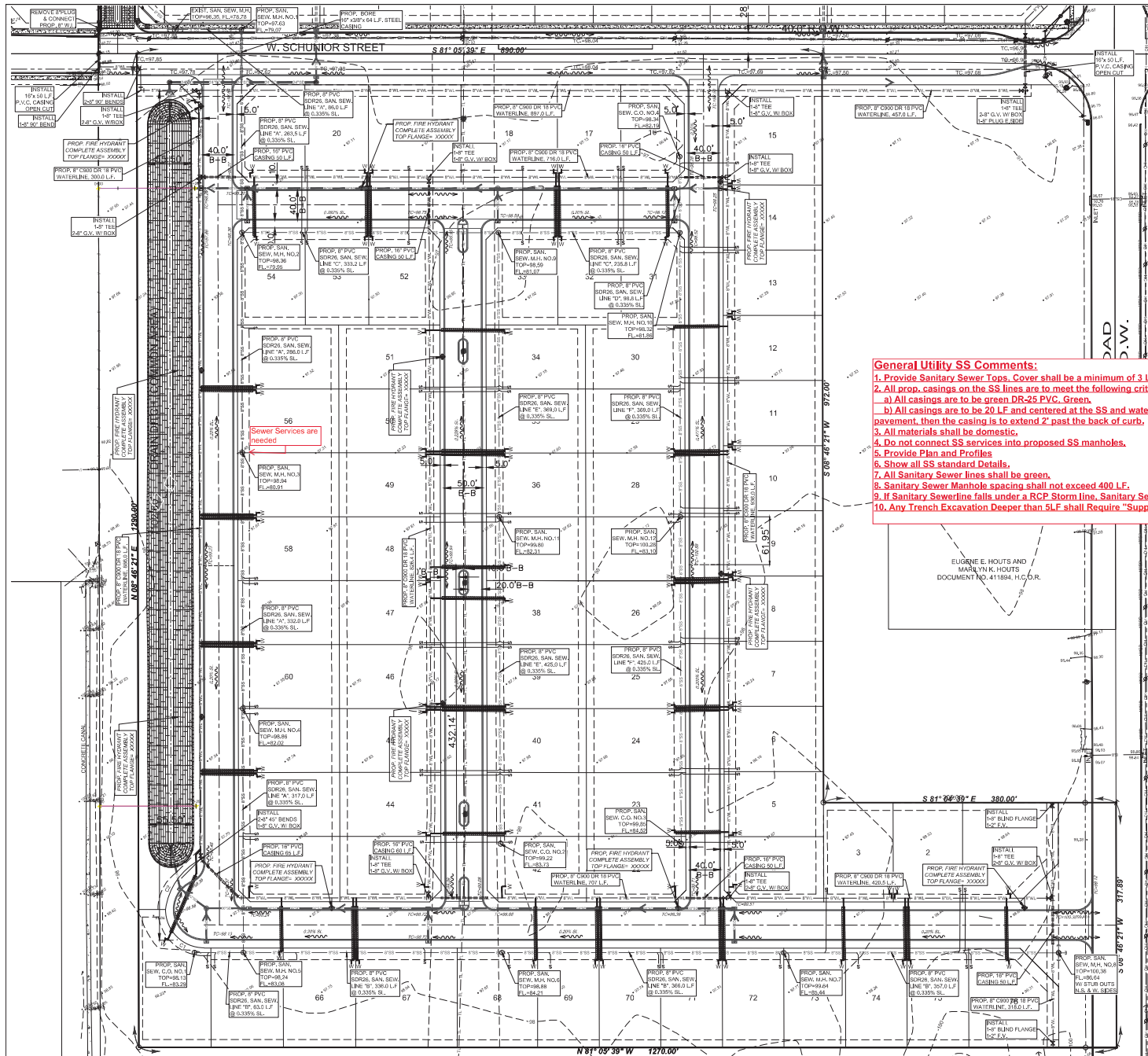
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PROPOSED PAVING & DRAINAGE IMPROVEMENTS



Manholes Required in Lieu of Cleanouts
System shall be moved in to Utility Easements
Schunior Bore Required
Lift Station shall be reviewed for capacity,
from Matthew to 107

- General Utility SS Comments:**
1. Provide Sanitary Sewer Tops. Cover shall be a minimum of 3 LF from Crest of Pipe
 2. All prop. casings on the SS lines are to meet the following criteria:
 - a) All casings are to be green DR-25 PVC, Green.
 - b) All casings are to be 20 LF and centered at the SS and water crossings. If one end of the pipe falls underneath the prop. pavement, then the casing is to extend 2' past the back of curb.
 3. All materials shall be domestic.
 4. Do not connect SS services into proposed SS manholes.
 5. Provide Plan and Profiles
 6. Show all SS standard Details.
 7. All Sanitary Sewer lines shall be green.
 8. Sanitary Sewer Manhole spacing shall not exceed 400 LF.
 9. If Sanitary Sewerline falls under a RCP Storm line, Sanitary Sewer Line shall be encased in steel.
 10. Any Trench Excavation Deeper than 5LF shall Require "Support, Shoring or Shielding" system approved by OSHA

WATER LEGEND

- PROP. FIRE HYDRANT
- PROP. GATE VALVE
- PROP. TEE
- 4" FOR THE 4PLEX 1" FOR HOUSE-IRRIGATION ETC.
- 4" FOR THE 4PLEX 1" FOR HOUSE-IRRIGATION ETC.
- 2" SERVICE WITH MULTI-HAND CONNECTION
- TRENCH
- 1" SINGLE WATER SERV. CONN.
- 2" SINGLE WATER SERV. CONN.

JOB No.
21205.01

PROJECT FIRM MAIL
HOLDEN & HUTT INC.
1115 W. UNIVERSITY - EDMOND, OK 73119
P: 405.241.1111
F: 405.241.1112
WWW.HOLDENANDHUTT.COM

DATE
10/20/21

PROJECT NO.
21205.01

SCALE
1" = 60'

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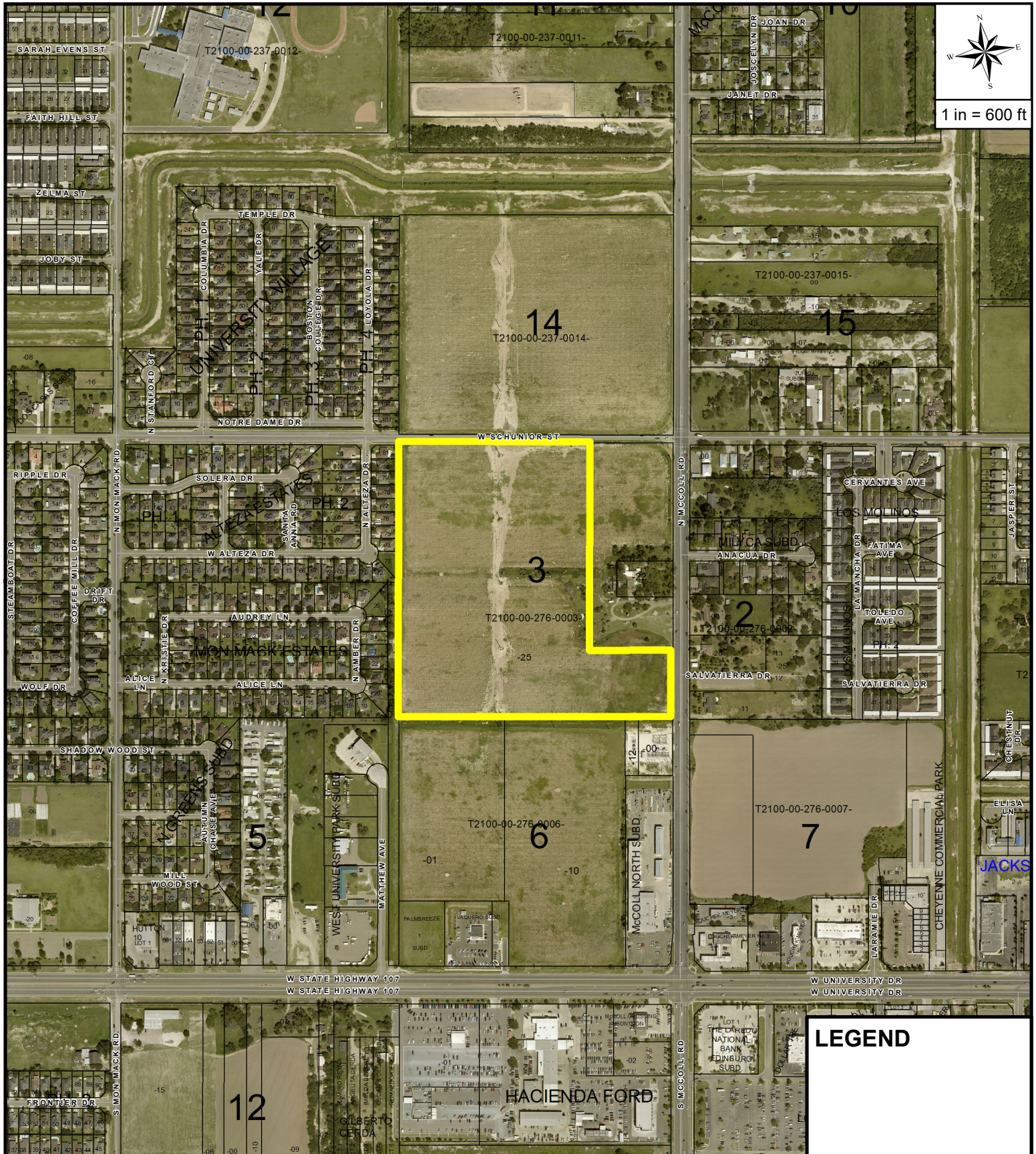
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21205.01

SCALE
1" = 60'

NORTH MCCOLL ESTATES
EDINBURG, TEXAS

PROPOSED WATER & SANITARY
IMPROVEMENTS

Copyright 2021 Holden & Hutt, Inc.
All Rights Reserved.
File Name: ACERO
SHEET 1 OF 2



AERIAL MAP

APPLICANT AND/OR SUBDIVISION:

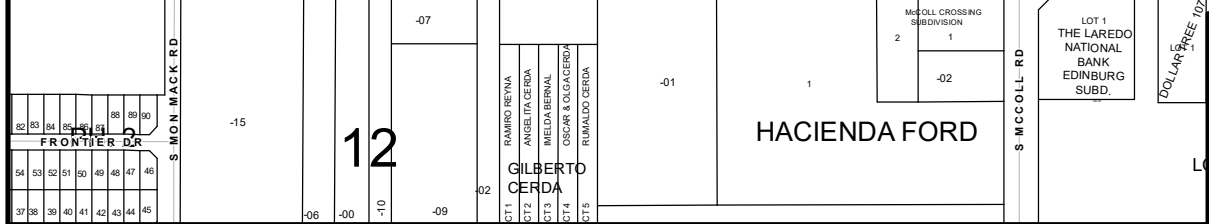
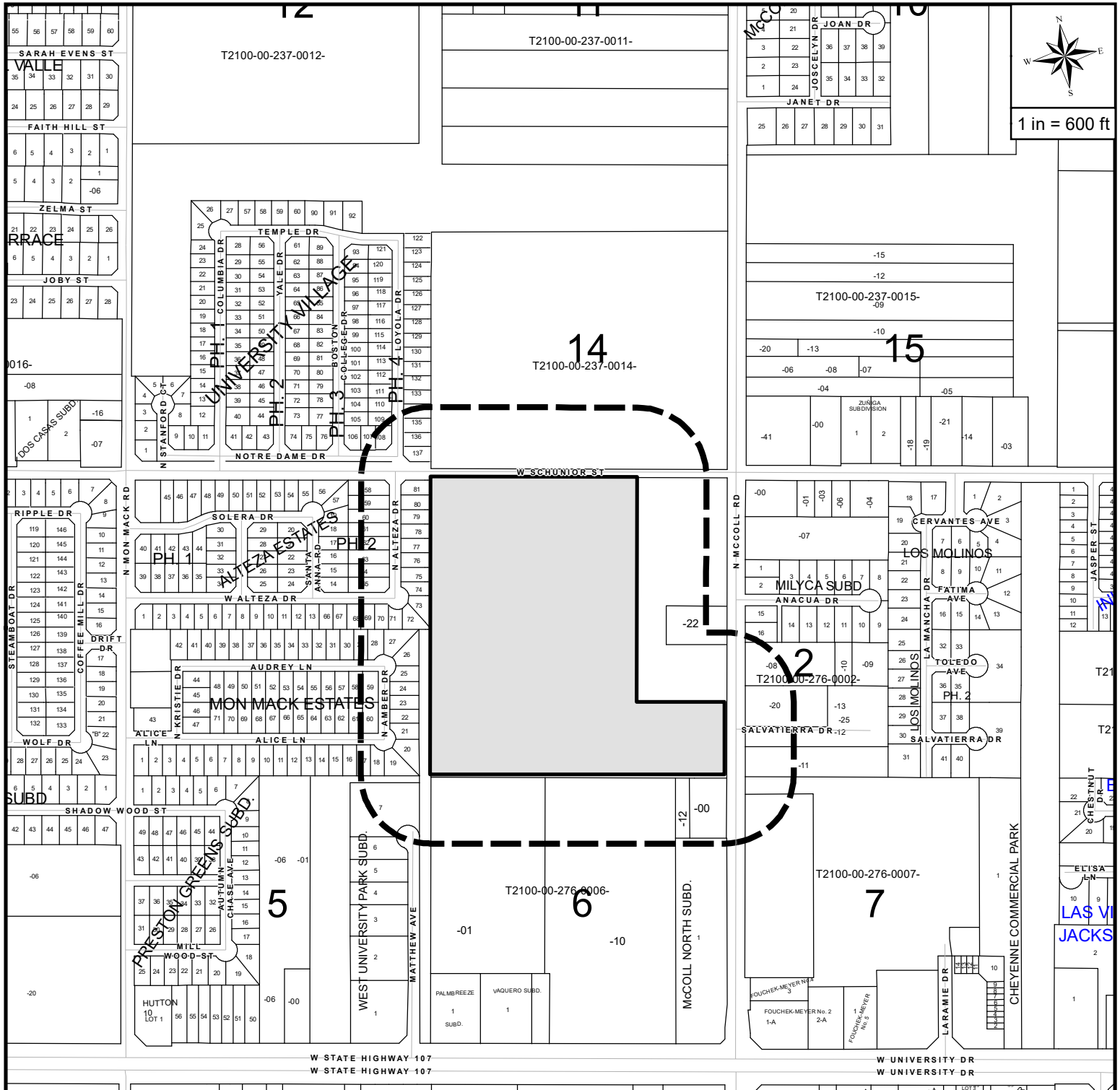
MELDEN AND HUNT INC


NORTH MCCOLL ESTATES

LEGEND

 SUBDIVISION SITE

 CITY LIMITS





SITE MAP

APPLICANT AND/OR SUBDIVISION:

MELDEN AND HUNT INC

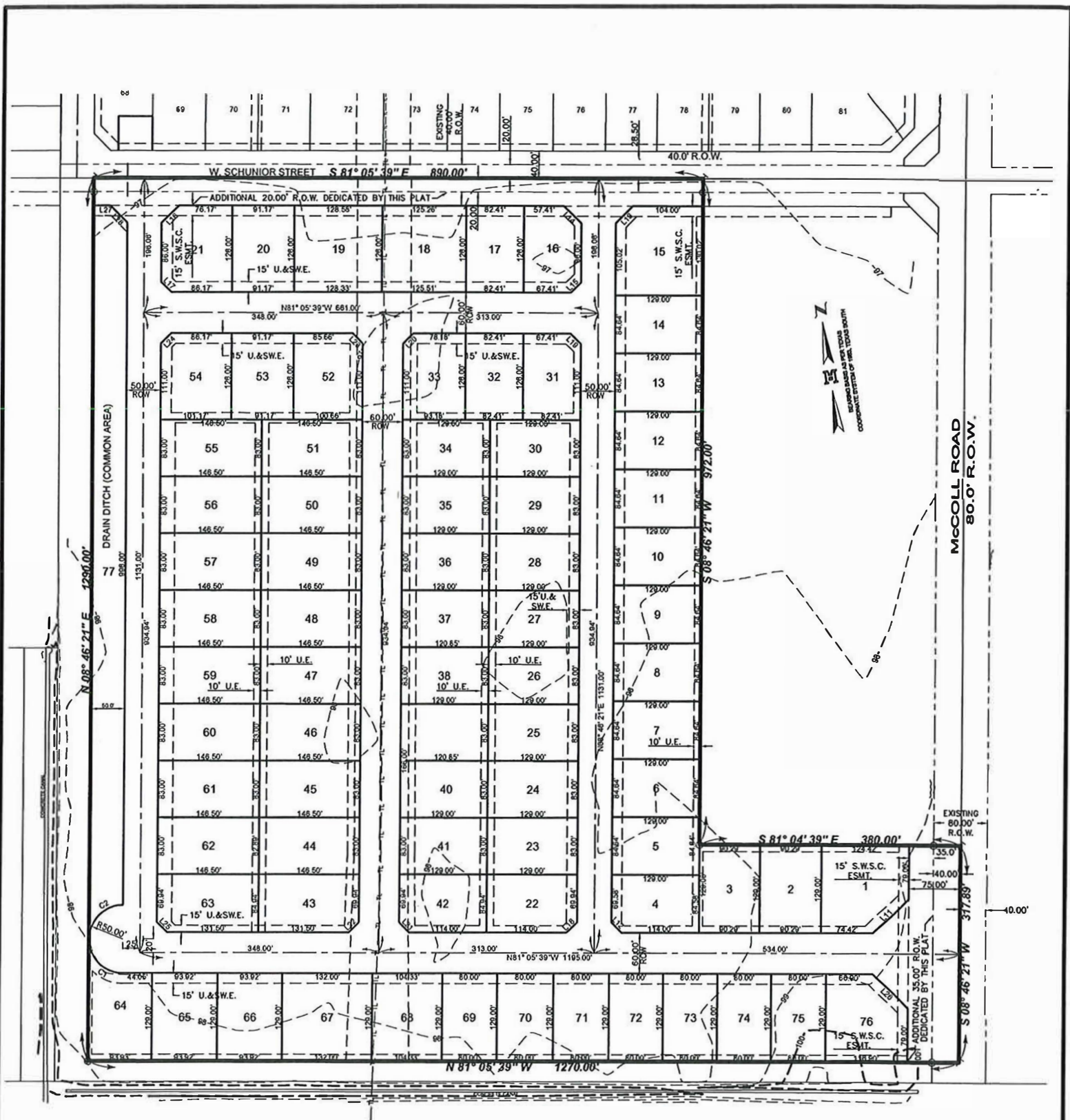
NORTH MCCOLL ESTATES

LEGEND

SUBDIVISION SITE

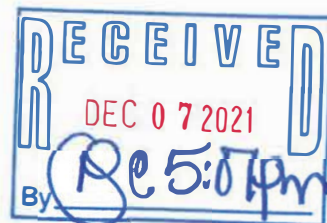
300FT NOTIFICATION

CITY LIMITS



SUBDIVISION MAP OF NORTH MCCOLL ESTATES

BEING 29.130 ACRES
OUT OF LOT 3, SECTION 276
TEXAS-MEXICAN RAILWAY COMPANY'S SURVEY
VOLUME 1, PAGE 12 H.C.M.R.
CITY OF EDINBURG,
HIDALGO COUNTY, TEXAS





Case #

THE CITY OF
EdinburgPlanning & Zoning Department
415 W. University Drive
Edinburg, Texas 78539

(956) 388-8202

Subdivision Application

Date: December 6, 2021Request Type: Preliminary PlatFinal Plat1. Developer: Acero Investments, LLC2. Owner/Contact Name: Marilyn K. Houts3. Owner/Contact Phone: (956) 381-09814. Owner/Contact Email: c/o mario@meldenandhunt.com5. Owner Address: 515 N. McColl Rd. Edinburg, Texas 785416. Exact Name of Subdivision: North McColl Estates7. Property ID: 2973348. Current Zoning: AU - Auto-Urban Residential

Required Zoning: _____

10. Legal Description: _____

29.130 acres out of Lot 3, Section 276, Texas Mexican Railway Company11. Inside City Limits? Yes

If "No," is in the _____

Comprehensive Development Area _____

Rural Development Area _____

12. Primary Consulting Firm: Melden & Hunt, Inc.13. Phone: (956) 381-098114. Consulting Firm Address: 115 W. McNytte Street Edinburg, Texas 7854115. Consulting Firm Email(s): mario@meldenandhunt.com/lydia@meldenandhunt.com16. Desired Land Use Option: Multifamily

17. Number of Lots: Single Family _____

Multi-Family 76

Commercial _____

Industrial _____

18. Proposed Wastewater Treatment: ☒ Sanitary Sewer☐ OSSF (On-Site Sewage Facility)19. Electric Power and Light Company to Serve the Proposed Subdivision: AEP (Central Power & Light)20. Irrigation District: Hidalgo County No. 1Potable-water Retailer: Sharyland Water Supply Corp.

Owner of record, holding title to real estate within the proposed subdivision. Ownership instrument (i.e. Title Policy, Warranty Deed and Deed of Trust) shall be submitted with application. All such owners are listed immediately below.

Owner Name(s) (Print or Type)

Marilyn K. Houts

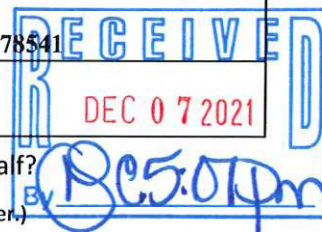
Owner Phone Number

(956) 381-0981

Owner Mailing Address & Zip Code

515 N. McColl Rd. Edinburg, Texas 78541

Owner Email

c/o mario@meldenandhunt.com

Have any of said owners designated agents to submit and revise this plat application on their behalf?



Yes

☐ No

(If "Yes" attached duly notarized documentation to that effect, signed by each such owner.)

The undersigned owner(s) of record (or their authorized agents) hereby agree to make all improvements and meet all requirements and standards as specified in the City of Edinburg Unified Development Code and Ordinances. The undersigned hereby request that the Edinburg Planning & Zoning Commission and the City Commission approve the attached subdivision plat. I certify that all items contained in this application and attachments (including all construction plans) are true and correct to the best of my knowledge and not in conflict with any deed restrictions or restrictive covenants. Furthermore, I understand that any omission or incorrect information may result in approval or permit being denied or revoked. Developer's requirement sheet must be completed, signed, and submitted with the application form.

Signature

Digitally signed by Mario A. Reyna
DN: cn = Mario A. Reyna, email =
mario@meldenandhunt.com, c = US O = Melden and
Hunt Inc OU = PE
Date: 2021.12.07 11:31:31 -0600

Date

December 7, 2021

**SUBDIVISION WITHIN CITY LIMITS CHECK LIST
SUBDIVISION PROCESS**
PRELIMINARY STAGE

PLANNING & ZONING DEPARTMENT (956) 388-8202

 Date : January 13, 2022

Date Filed: <u>December 7, 2021</u>	P&Z Preliminary: <u>January 17, 2022</u>	P&Z Final: _____	City Council: _____
Reviewed By: <u>Abel Beltran, Subd. Coord.</u> abeltran@cityofedinburg.com	Staff Review : <u>December 17, 2021</u> Staff / Engineer : <u>December 22, 2021</u>	Time Line : <u>365</u> Days 1st Extension : <u>0</u> Days 2nd Extension : <u>0</u> Days	Expires : _____ Expires 1: _____ Expires 2: _____

Planning & Zoning Department:	Kimberly A. Mendoza, MPA	Email : kmendoza@cityofedinburg.com	City Office #: (956) 388-8202
Utility Department	Gerardo Carmona, P.E.	Email : gcarmona@cityofedinburg.com	City Office #: (956) 388-8212
Director of Public Works	Vincent Romero	Email : layala@cityofedinburg.com	City Office #: (956) 388-8210
Director of Engineering	Mardoqueo Hinojosa, P.E., CPM	Email : mhinojosa@cityofedinburg.com	City Office #: (956) 388-8211

Owner:	Acero Investments, LLC.	501 N. McColl Road, Edinburg, TX 78541				Mario Reyna, P.E., Project Engineer
NORTH McCOLL ESTATES SUBDIVISION					Consultant : Melden & Hunt, Inc.	
DESCRIPTION	Provided	Need to Provide	Not Applicable	Need to Revise	COMMENTS	

Subdivision Process:

Subdivision Plat Submittal	✓				
Warranty Deed	✓				
Topography Survey	✓				
Drainage Report Submittal (As Per City Drainage Policy)	✓				Approved by H.C.D.D.#1 Date: Pending Approval
Zoning : City Limits - Commercial General	✓				
Flood Zone	✓				Zone "X" (Un-Shaded)

Preliminary Submittals:

Existing & Proposed Water Distribution Layout	✓				Sharyland Water Supply Corporation - Distribution System
Water Distribution System Provider:	✓				Sharyland Water Supply Corporation - Distribution System
Existing & Proposed Sewer Collection Layout	✓				City of Edinburg Sanitary Sewer Collection System
Sanitary Sewer Collection System Provider:	✓				City of Edinburg Sanitary Sewer Collection System
Existing and Proposed Drainage Layout System:	✓				Private Drainage System onto H.C.D.D. # 1
MPO Collector / Arterial Right-of-way Dedication	✓				Proposed Private Streets
Minor / Major Collector Street Pavement Section	✓				In Accordance to Standard Street Policy
Variances Appeals Request: (Date)	✓				Planning & Zoning Meeting Results City Council Meeting
Street Widening Improvements			✓		
Street 5-ft Sidewalk Improvements			✓		
Drainage Improvements	✓				

Construction Plans Review Submittals:

(See Section 4 Construction Plans Submittals Policy, 2014 STANDARD POLICY MANUAL)

Cover Sheet		✓			
Topography Sheet (Utilities, Bench Marks)		✓			
Sanitary Sewer Improvements: On-Site & Off-Site		✓			City of Edinburg Sanitary Sewer Standard Policy's
Sanitary Sewer Detail Sheets		✓			See Section 3 Utility Policy, 2014 Standard Policy Manual
Water Distribution Improvements: On-Site & Off-Site		✓			North Alamo Water Supply Standard Policy's
Water Distribution Detail Sheet (Fire Hydrant Assembly)		✓			See Section 3 Utility Policy, 2014 Standard Policy Manual
Drainage Improvements:		✓			
Drainage Detail Sheets		✓			See Section 1 Drainage Policy, 2014 Standard Policy Manual
Minor/Major Collector Streets Improvements:		✓			See Section 2 Streets Policy, 2014 Standard Policy Manual
Street Sign Sheet:		✓			
Street Detail Sheets		✓			See Section 2 Streets Policy, 2014 Standard Policy Manual
Street Lighting Sheet:		✓			
Traffic Control Plan:		✓			
Erosion Control Plan		✓			
Erosion Control Plan Detail Sheet		✓			See Storm Water Management, 2014 Standard Policy Manual

DESCRIPTION	Provided	Need to Provide	Not Applicable	Need to Revise	COMMENTS
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Pre-Construction Meeting:

Notice To Proceed		✓			Dated:
Roadway Open-Cut or Bore Permit Application		✓			Dated:
TX-Dot Water UIR Permit			✓		
TX-Dot Sewer UIR Permit			✓		
N.O.I. Submittal		✓			Dated:
SWPP Booklet Submittal		✓			Dated:
RFI #1 Request		✓			Dated:
Change Orders		✓			Dated:
Final Walk Though		✓			Dated:
Punch List		✓			Dated:
Punch List (Completed and Approved)		✓			Dated:
Letter of Acceptance		✓			Dated:
1-year Warranty (Water/Sewer/Paving/Drainage)		✓			Dated:
Backfill Testing Results		✓			Dated:
As-Builts (Revised Original Submittal)		✓			Dated:

Recording Process:

Public Improvements with (Letter of Credit)		✓			Dated:	Expires:
Recording Fees	\$ 106.00	✓			As required by County Clerks office	
Copy of H.C.D.D. #1 of invoice		✓			Required to be paid prior to Final Stages	
Street Light Escrow	\$ -	✓			Required: 0	EA. @ \$ -
Street Escrow (Road)	\$ -	✓			Required: 0	EA. @ \$ -
Sidewalk Escrow (Road)	\$ -	✓			Required: 0	LF @ \$ 25.00
TOTAL OF ESCROWS:	\$ -					
Total Developer's Construction Cost: (Letter of Credit)					Date :	Lender :
Laboratory Testing Fee: 3%	\$ -	✓			\$ -	Estimated Construction Cost
Inspection Fee: 2%	\$ -	✓			\$ -	Final Construction Cost
Park Land Fees: Park Zone # 2	\$ -		✓		0 Lots @ \$ -	Full rate within the ETJ
0 Residential \$ -	\$ -		✓		50% Development	50% Building Stage
76 Multi-Family \$ 300.00	\$ 22,800.00	✓			0% Development	0% Building Stage
Water Rights: SWSC - CCN	\$ -		✓		37.640	Acres \$ 2,896.81
Water 30-year Letter (Residential)	\$ -		✓		0	Lots @ \$ - SWSC WATER-CCN
Water 30-year Letter (Multi-Family)	\$ 380.00		✓		76	Lots @ \$ 5.00 TRANSFER SWSC WATER-CCN
Sewer 30-year Letter COE - CCN	\$ 4,940.00		✓		76	Lots @ \$ 65.00 COE SEWER-CCN
TOTAL OF FEES:	\$ 27,740.00					

Reimbursements:

Developer Sewer Improvements	\$ -		✓		Off-Site System: 0.000	AC	\$ -
Developer Water Improvements	\$ -		✓		Off-Site System 0.00	AC	\$ -
TOTAL OF REIMBURSEMENTS:	\$ -						

Buyouts:

North Alamo Water Supply Corporation	\$ -	✓			Required Buyout 0.00	AC.	\$ -
Sharyland Water Supply Corporation			✓		Not Applicable		

Tax Certificates

County of Hidalgo / School District		✓					
Water District		✓			Hidalgo County Irrigation District # 1		

Total of Escrows, Fees, Reimbursements and Buyouts:

Escrows	\$ -	Street & Sidewalk Improvements for Trenton Road (Not Required)					
Inspections other Fees	\$ 27,740.00	Parkland Fees, Water/Sewer 30-year Agreement/Water Rights					
Reimbursements	\$ -	Reimbursement to the Developer of Subdivision					
City of Edinburg	\$ -	15% Payable to the City of Edinburg for Administrative Fee					
To the Developer of Record	\$ -	85% Payable to the Developer of Record Owner / Developer					
Buyouts	\$ -	Based on Subdivision (Need Request and Approval rate from ? Broad)					
TOTAL :	\$ 27,740.00	Developer Total Cost of Fees, Escrows, Reimbursements & Buyouts					

STAFF REPORT: RUSSELL OAKS ESTATES SUBDIVISION

Date Prepared: January 13, 2022
Planning and Zoning Meeting: January 17, 2022
Agenda Item: **7B** Preliminary Plat

Subject: Consider the Preliminary Plat of **RUSSELL OAKS ESTATES SUBDIVISION**, being a 38.786 acre tract out of land out of Lot 16, Block 53, Alamo Land & Sugar Company Subdivision, located at 2300 North Cesar Chavez Road, as requested by Melden & Hunt, Inc.

Location: The property is located at the northeast corner of West Cesar Chavez Road and East Mile 17 ½ Road and is within the City of Edinburg ETJ.

Zoning: Proposed subdivision is in the City of Edinburg ETJ

Analysis: The Preliminary Plat proposes single-family residential development with a total of fifty (50) lots averaging approximately 22,000 sq. ft. with the proposed set backs as follows: Front 25 ft., Side 10 ft., and Rear 30 ft. The developer is requesting a variance to the 800 ft. block length requirement.

Utilities: Water Distribution System is within North Alamo Water Supply Corporation, service CCN and Sanitary Sewer System an O.S.S.F. County septic system. All utility improvements within the proposed subdivision that are not limited to water, OSSF sewer, curb & gutter, and fire hydrants will be installed by the developer in accordance with the approved 2014 Standards Manual.

Recommendations:

City of Edinburg Planning & Zoning Department:

Staff recommends approval of the Preliminary Plat, subject to the compliance with the Unified Development Code, General Notes; on FEMA flood zone, zoning, setbacks, finish floor elevation, benchmark, drainage detention, parkland fees, limited access, SWP3 requirements, sidewalks, and other notes as required based on development.

City of Edinburg Engineering / Utilities Department:

Preliminary Phase Submittal comments for this subdivision are included in the packet. As per Engineering, the plat shall be Preliminarily Approved until all comments have been addressed by the project engineer.

City of Edinburg Fire Department:

The following are the preliminary phase submittal comments as noted by the Fire Department:

1. Provide street names to the City of Edinburg Engineering Department for approval.
2. Fire lane 15 ft. in width shall be painted in front of all fire hydrants.
3. Provide double face blue fire hydrant street marker on center on the street in front of the fire hydrant.
4. Fire hydrant shall be every 600 ft. for one and two family dwellings as per Section 507.5.1 of 2012 IFC.
5. All streets should be 32 ft. B-B paving section according to Table 8.204 of the Edinburg Unified Development Code.

City of Edinburg Storm Water:

The following are the preliminary phase submittal comments as noted by Storm Water:

1. **SW3P** (Stormwater Pollution Prevention Plan)
2. **NOI** (Notice of Intent, Per TCEQ)
3. **Large Construction Notice** (Per TCEQ Inventory)
4. **Detailed Erosion Control Plan** (Silt Fence, Construction Entrance, Inlet Protection, Concrete Washout)
5. **Detailed Post Construction BMP's Plan** (70% Vegetation or Silt Fence back of curb)
6. **Plat Note** (All construction shall comply with Stormwater Pollution Prevention Plan (SW3P) requirements. Erosion and Sedimentation Controls constructed in accordance with the Stormwater Ordinance 98.30 of the City of Edinburg are required for all construction on each lot including single family and duplex/multi-family construction)
7. **NOT** (Notice of Termination, Per TCEQ) will now be required before the final walk through.
8. **Comments:**
 - SW3P Plat note has been revised. Please see the note for your reference.
 - NOT will need to be submitted before the final walk through.
 - Stormwater is now requiring a Post Construction Plan on plans that are submitted, either 70% vegetation or Install Silt Fence behind the back of curb.
 - Silt Fence around the entire project.
 - Large Construction Notice needs to be submitted with contractors contact information.
 - All items must be submitted before the NTP is issued.
 - Please email pending items to rvalenzuela@cityofedinburg.com

City of Edinburg Solid Waste:

City of Edinburg Solid Waste do not service in the City of Edinburg ETJ



ENGINEERING DEPARTMENT

Preliminary Staff Review

January 11, 2022

Mario A. Reyna, P.E.

Melden & Hunt, inc.
115 W. McIntyre.
Edinburg, TX 78541
(956) 381-0981

RE: RUSSELL OAK ESTATES – PRELIMINARY REVIEW

Mr. Reyna,

Attached are the Preliminary Phase Submittal comments for Russell Oak Estates Subdivision. Submittal is adequate as presented and recommended for preliminary approval.

Any questions feel free to contact us.



Thanks,

Digitally signed by Peter
Hermida
Date: 2022.01.11
11:51:51 -06'00'

Peter Hermida E.I.T.

Email: phermida@cityofedinburg.com

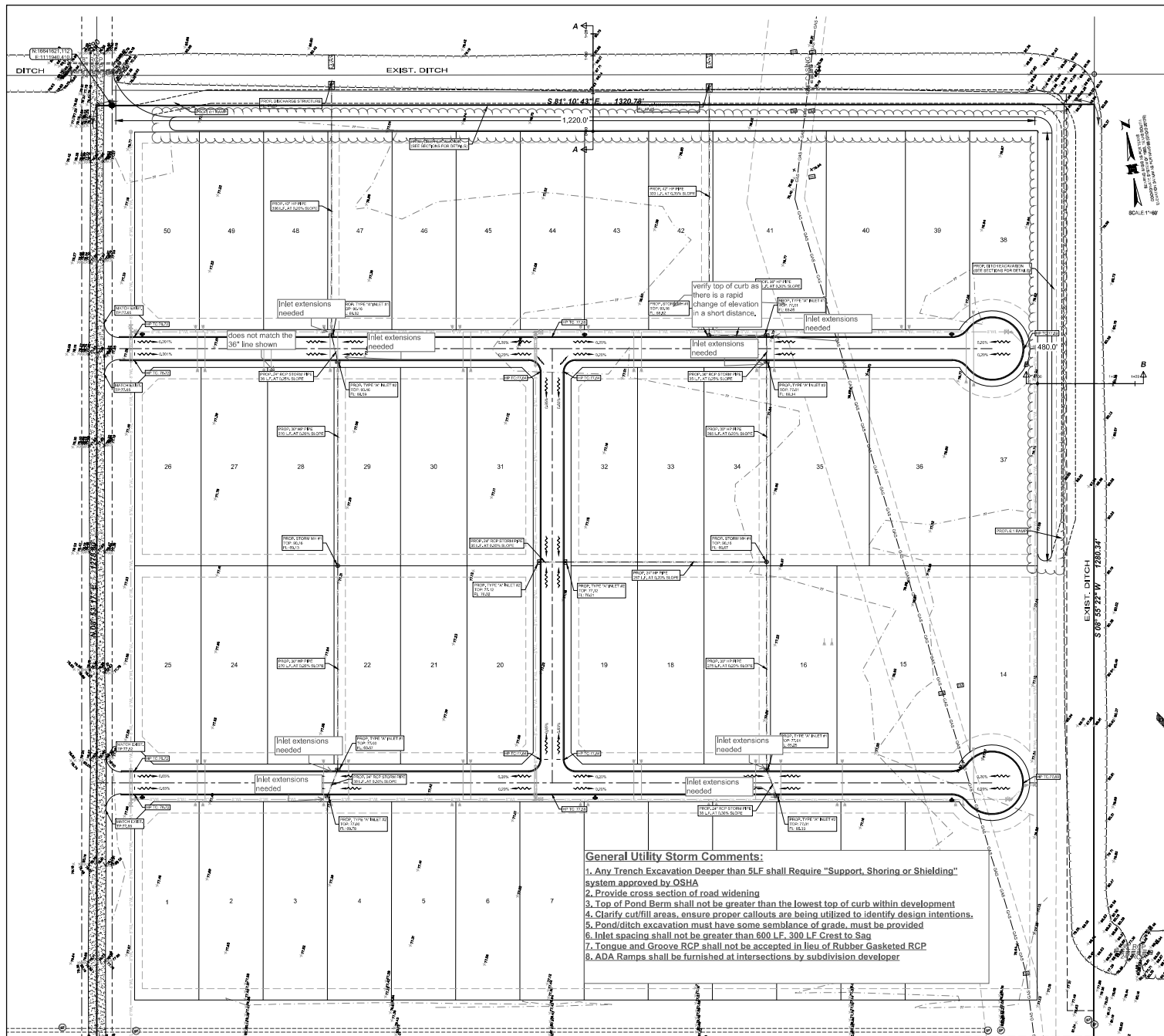
415 W. University Drive
Edinburg, Texas 78539

Cc: Mardoqueo Hinojosa, P.E., CFM, City Engineer, Patrizia Longoria, Engineer III, Roberto Hernandez, Engineer I, Abel Beltran, Planner I, Vince Romero, Director of Public Works, Robert Valenzuela, Storm Water Specialist, Kimberly Mendoza, Director of Planning and Zoning, Rita Lee Guerrero, Planner I, Jaime Xavier Ayala, Planner II, Gerardo Carmona P.E., Director of Utilities, Jose Flores, Systems Superintendent, Omar Garza, Fire Marshal, Ramiro Gomez, Director of Solid Waste

REFERENCES:

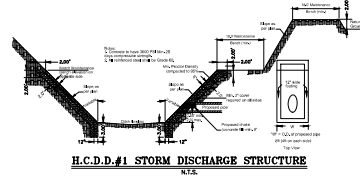
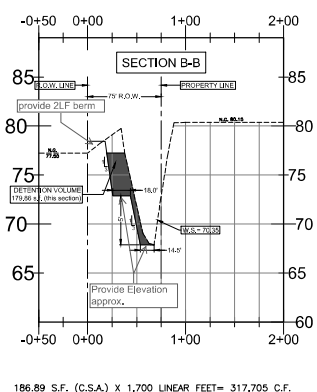
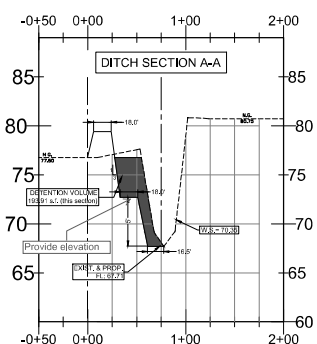
City of Edinburg – 2014 Standard Manual – Construction and Development Requirements; Unified Development Code; and if required a TX-Dot Permitting UIR permitting process.

© Land Use Concerns/Reddixville | Edited by 21/176 - Genes: Paines-Chenoweth Russell Ross/Myriad | 66121176/176 | 12/16/2017 | 4:42:55 PM | PMG To PDF ac3



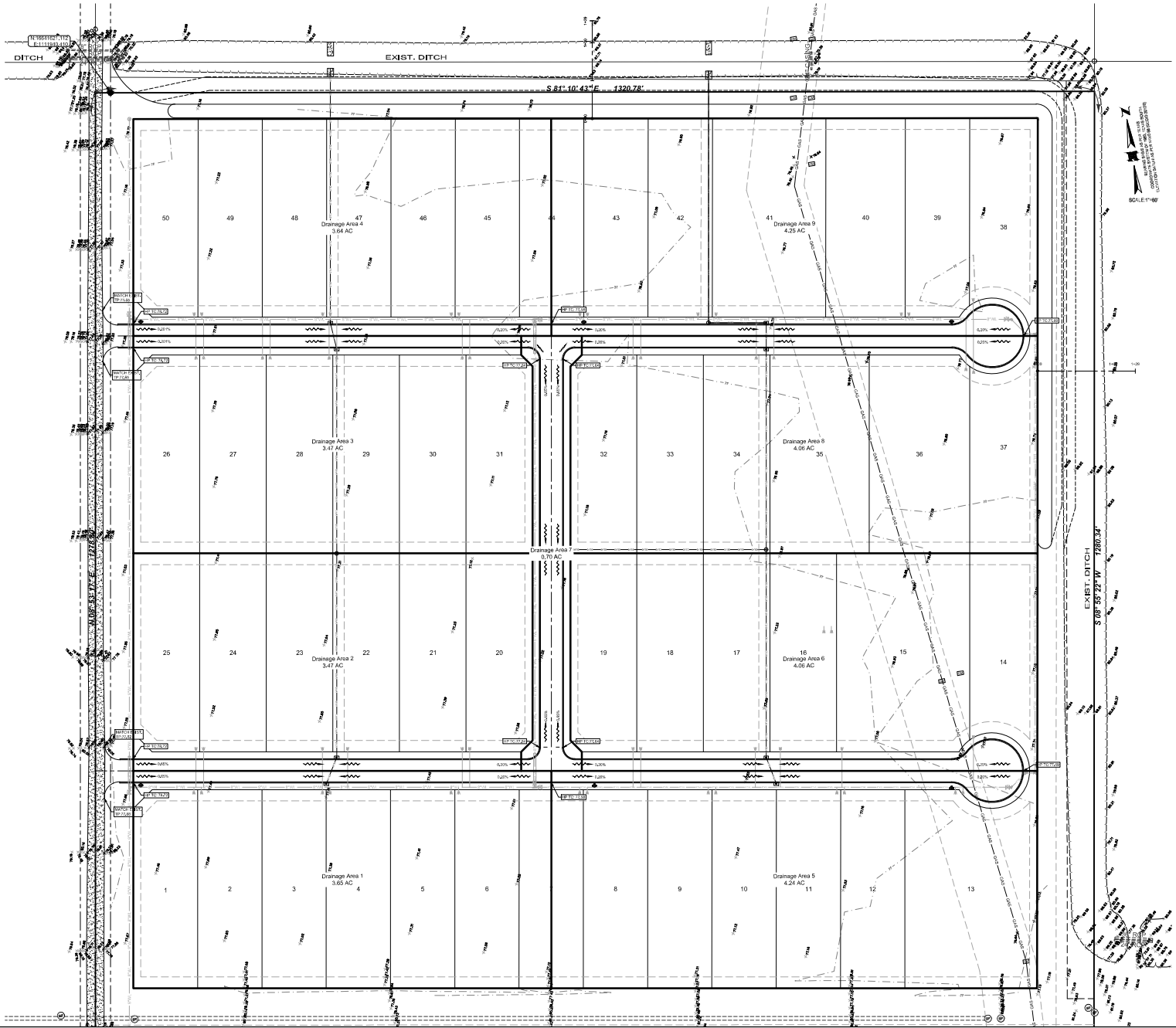
General Utility Storm Comments:

1. Any Trench Excavation Deeper than 5LF shall Require "Support, Shoring or Shielding" system approved by OSHA
2. Provide cross section of road widening
3. Top of Pond Berm shall not be greater than the lowest top of curb within development
4. Clarify cutfill areas, ensure proper callouts are being utilized to identify design intentions
5. Pond/ditch excavation must have some semblance of grade, must be provided
6. Inlet spacing shall not be greater than 600 LF, 300 LF Crest to Sag
7. Tongue and Groove RCP shall not be accepted in lieu of Rubber Gasketed RCP
8. ADA Ramps shall be furnished at intersections by subdivision developer

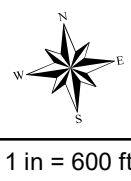
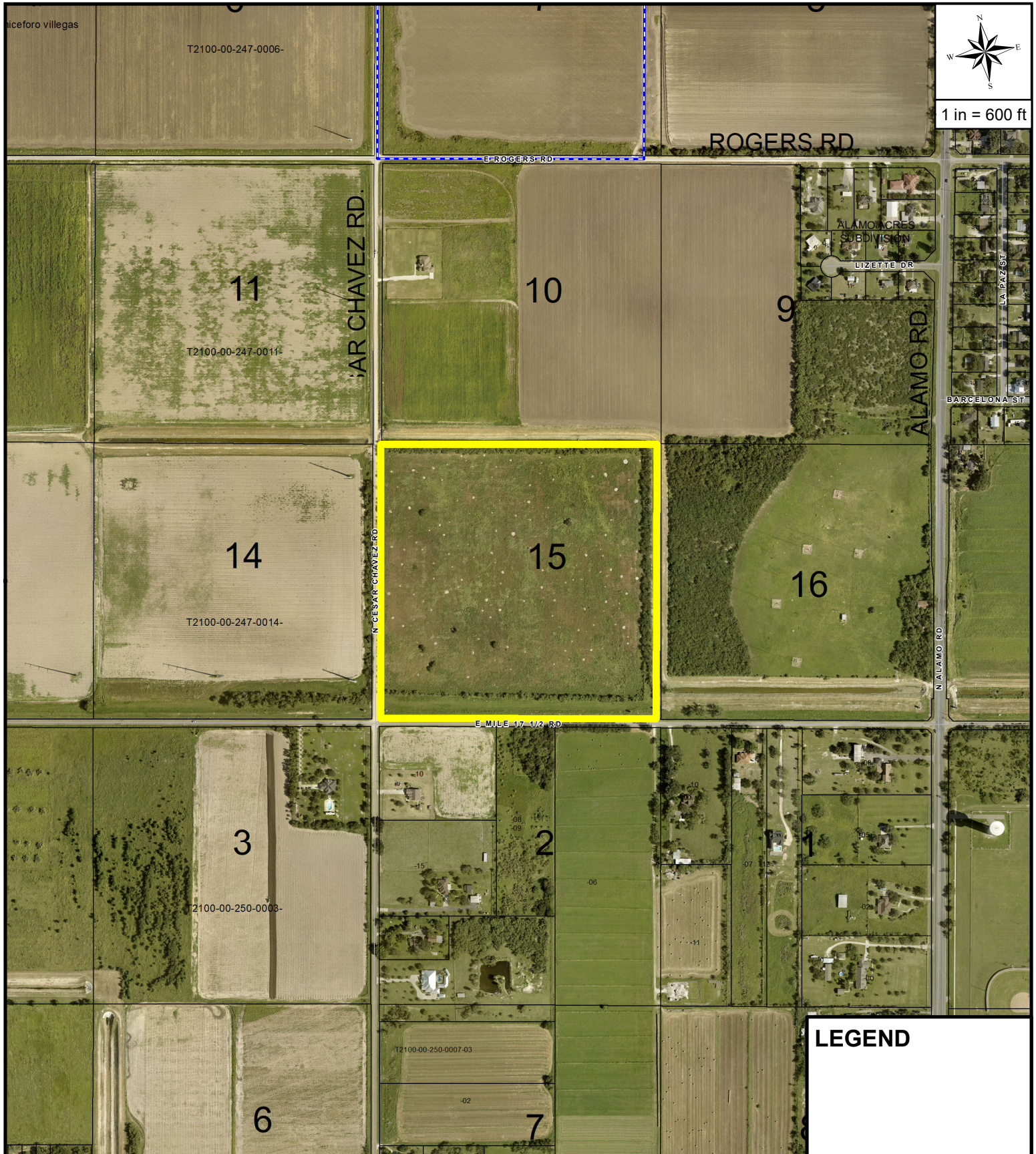


RETENTION REQUIRED= 275,846 C.F.
RETENTION PROVIDED= 317,705 C.F.

JOB No. 21176.00	
DESIGNED BY MELEN & HUNT, INC.	DATE 07/27/2021
PROJECT NO. 21176.00	REVISION 1.0
PROJECT NAME RUSSELL OAK ESTATES SUBDIVISION	LOCATION EDINBURG, TEXAS
PROJECT OWNER RUSSELL OAK ESTATES SUBDIVISION	PROJECT MANAGER MELEN & HUNT, INC.
PROJECT ENGINEER MELEN & HUNT, INC.	PROJECT DATE 07/27/2021
PROJECT SCALE 1" = 60'	PROJECT SCALE 1" = 60'
<p>THIS DOCUMENT IS RELEASED FOR THE PROJECT AND IS NOT TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT PERMISSION IN WRITING FROM MELEN & HUNT, INC.</p>	
<p>RUSSELL OAK ESTATES SUBDIVISION EDINBURG, TEXAS</p>	
<p>DRAINAGE & GRADING LAYOUT</p>	
<p>© 2021 MELEN & HUNT, INC.</p> <p>File Name: 160721</p>	<p>SHEET 1 OF 1</p>



JOB No.		21176.00	
PROJECT		RUSSELL OAK ESTATES SUBDIVISION, EDINBURG, TEXAS	
DRAWN BY		J. L. HUNT	
CHECKED BY		J. L. HUNT	
DATE		10/27/21	
SCALE		1" = 60'	
SHEET 1 OF 1			
<p>THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF IMPROVING THE QUALITY OF THE PROJECT. IT IS NOT TO BE USED FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN PERMISSION OF THE ENGINEER.</p>			
<p>RUSSELL OAK ESTATES SUBDIVISION EDINBURG, TEXAS</p>			
<p>DRAINAGE AREAS</p>			
<p>Copyright 2021 Hudson & Hunt, Inc. All Rights Reserved. File Name: 10207.dwg</p>			



LEGEND

- SUBDIVISION SITE
- CITY LIMITS

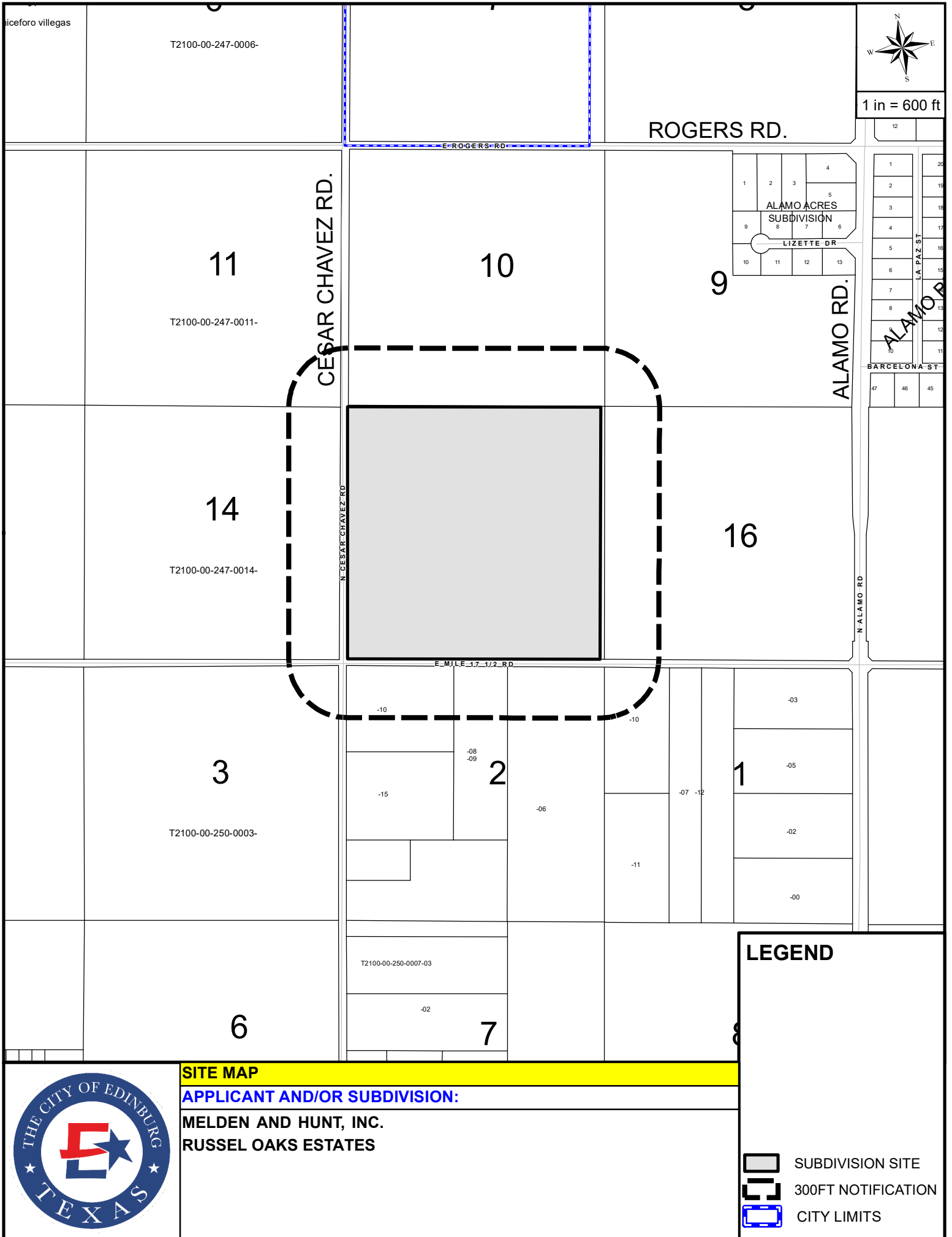


AERIAL MAP

APPLICANT AND/OR SUBDIVISION:

MELDEN AND HUNT, INC.

RUSSEL OAKS ESTATES





Case #

Edinburg

Planning & Zoning Department
415 W. University Drive
Edinburg, Texas 78539

(956) 388-8202

Subdivision Application

Date: December 6, 2021Request Type: Preliminary Plat ☐ Final Plat ☐1. Developer: Gomez Paving LLC2. Owner/Contact Name: Luis Marco Gomez3. Owner/Contact Phone: (956) 655-46694. Owner/Contact Email: mgomez@southtexaspaving.com5. Owner Address: 3421 North Trosper Mission, Texas 78573-19816. Exact Name of Subdivision: Russel Oaks Estates Subdivision7. Property ID: 2960058. Current Zoning: ☐Required Zoning: ☐

10. Legal Description:

Being a subdivision of 39.968 acres situated in the county of Hidalgo, Texas, Being part or portion out of Lot 16, Block 53, Alamo Land and Sugar Company Subdivision, according to the plat thereof recorded in Volume 1, Pages 24-26, Hidalgo

County Map Records.

11. Inside City Limits? No ☐

If "No," is in the



Comprehensive Development Area

Rural Development Area

12. Primary Consulting Firm: Melden & Hunt, Inc13. Phone: (956) 381-089114. Consulting Firm Address: 115 West McIntyre Street, Edinburg, Texas 7854115. Consulting Firm Email(s): mario@meldenandhunt.com cc:drobles@meldenandhunt.com16. Desired Land Use Option: Single Family ☐17. Number of Lots: Single Family 50

Multi-Family

Commercial

Industrial

18. Proposed Wastewater Treatment:



Sanitary Sewer

OSSF (On-Site Sewage Facility)

19. Electric Power and Light Company to Serve the Proposed Subdivision: Magic Valley Electric Co-op ☐20. Irrigation District: Hidalgo County No. 2 ☐Potable-water Retailer: North Alamo Water Supply Corp. ☐

Owner of record, holding title to real estate within the proposed subdivision. Ownership instrument (i.e. Title Policy, Warranty Deed and Deed of Trust) shall be submitted with application. All such owners are listed immediately below.

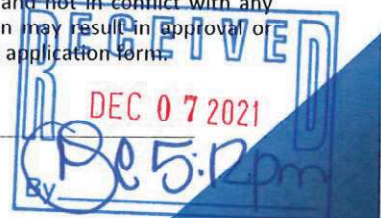
Owner Name(s) (Print or Type)	Owner Mailing Address & Zip Code
Maria Elena Falcon, Trustee of The Sarah Ann Villeda Irrevocable Trust	
Owner Phone Number	Owner Email

Have any of said owners designated agents to submit and revise this plat application on their behalf?

☒ Yes ☐ No (If "Yes" attached duly notarized documentation to that effect, signed by each such owner.)

The undersigned owner(s) of record (or their authorized agents) hereby agree to make all improvements and meet all requirements and standards as specified in the City of Edinburg Unified Development Code and Ordinances. The undersigned hereby request that the Edinburg Planning & Zoning Commission and the City Commission approve the attached subdivision plat. I certify that all items contained in this application and attachments (including all construction plans) are true and correct to the best of my knowledge and not in conflict with any deed restrictions or restrictive covenants. Furthermore, I understand that any omission or incorrect information may result in approval or permit being denied or revoked. Developer's requirement sheet must be completed, signed, and submitted with the application form.

Signature

Date December 6, 2021

DESCRIPTION	Provided	Need to Provide	Not Applicable	Need to Revise	COMMENTS
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Pre-Construction Meeting:

Notice To Proceed		✓			Dated:
Roadway Open-Cut or Bore Permit Application		✓			Dated:
TX-Dot Water UIR Permit			✓		
TX-Dot Sewer UIR Permit			✓		
N.O.I. Submittal		✓			Dated:
SWPP Booklet Submittal		✓			Dated:
RFI #1 Request		✓			Dated:
Change Orders		✓			Dated:
Final Walk Though		✓			Dated:
Punch List		✓			Dated:
Punch List (Completed and Approved)		✓			Dated:
Letter of Acceptance		✓			Dated:
1-year Warranty (Water/Sewer/Paving/Drainage)		✓			Dated:
Backfill Testing Results		✓			Dated:
As-Builts (Revised Original Submittal)		✓			Dated:

Recording Process:

Public Improvements with (Letter of Credit)		✓			Dated:	Expires:
Recording Fees	\$ 106.00	✓			As required by County Clerks office	
Copy of H.C.D.D. #1 of invoice		✓			Required to be paid prior to Final Stages	
Street Light Escrow	\$ -	✓			Required: 0	EA. @ \$ -
Street Escrow (Cesar Chavez & 17 1/2 Road)	\$ -	✓			Required: 1132	EA. @ \$ -
Sidewalk Escrow (Cesar Chavez Road)	\$ 28,300.00	✓			Required: 1132	LF @ \$ 25.00
TOTAL OF ESCROWS:	\$ 28,300.00					
Total Developer's Construction Cost: (Letter of Credit)					Date :	Lender :
Laboratory Testing Fee: 3%	\$ -	✓			\$ -	Estimated Construction Cost
Inspection Fee: 2%	\$ -	✓			\$ -	Final Construction Cost
Park Land Fees: Park Zone # 5	\$ -		✓		0 Lots @ \$ -	Full rate within the ETJ
50 Residential \$ 300.00	\$ 15,000.00		✓		50% Development	50% Building Stage
0 Multi-Family \$ -	\$ -	✓			0% Development	0% Building Stage
Water Rights: NAWSC - CCN	\$ -		✓		39.968	Acres \$ 2,896.81
Water 30-year Letter (Residential)	\$ -		✓		0	Lots @ \$ - TRANSFER NAWSC WATER-CCN
Water 30-year Letter (Multi-Family)	\$ -		✓		0	Lots @ \$ - TRANSFER NAWSC WATER-CCN
Sewer 30-year Letter COE - CCN	\$ -		✓		0	Lots @ \$ - COE SEWER-CCN
TOTAL OF FEES:	\$ 15,000.00					

Reimbursements:

Developer Sewer Improvements	\$ -		✓		Off-Site System: 0.000	AC	\$ -
Developer Water Improvements	\$ -		✓		Off-Site System 0.00	AC	\$ -
TOTAL OF REIMBURSEMENTS:	\$ -						

Buyouts:

North Alamo Water Supply Corporation	\$ -	✓			Required Buyout 0.00	AC.	\$ -
Sharyland Water Supply Corporation			✓		Not Applicable		

Tax Certificates

County of Hidalgo / School District		✓					
Water District		✓			Hidalgo County Irrigation District # 1		

Total of Escrows, Fees, Reimbursements and Buyouts:

Escrows	\$ 28,300.00	Street & Sidewalk Improvements for Trenton Road (Not Required)					
Inspections other Fees	\$ 15,000.00	Parkland Fees, Water/Sewer 30-year Agreement/Water Rights					
Reimbursements	\$ -	Reimbursement to the Developer of Subdivision					
City of Edinburg	\$ -	15% Payable to the City of Edinburg for Administrative Fee					
To the Developer of Record	\$ -	85% Payable to the Developer of Record Owner / Developer					
Buyouts	\$ -	Based on Subdivision (Need Request and Approval rate from ? Broad)					
TOTAL :	\$ 43,300.00	Developer Total Cost of Fees, Escrows, Reimbursements & Buyouts					

STAFF REPORT: CESAR CHAVEZ HEIGHTS SUBDIVISION

Date Prepared: January 13, 2022
Planning and Zoning Meeting: January 17, 2022
Agenda Item: 7C Preliminary Plat

Subject: Consider the Preliminary Plat of **CESAR CHAVEZ HEIGHTS SUBDIVISION**, being a 17.94-acre tract out of land out of Lot 4, Block 55, Alamo Land & Sugar Company Subdivision located at 3101 North Cesar Chavez Road, as requested by Trevino Engineering.

Location: The property is located on the west side of South Cesar Chavez Road, approximately 660 ft. south of East Canton Road and is within the City of Edinburg ETJ.

Zoning: Not applicable

Analysis: The Preliminary Plat proposes single-family residential development with a total of eighty-two (82) lots averaging approximately 6,250 sq. ft. with set backs as follows: Front 20-ft., Side 6-ft., and Rear 20-ft. This subdivision does not meet the 800 ft. maximum Block length requirement.

Utilities: Water Distribution System and Sanitary Sewer Collection System is within North Alamo Water Supply Corporation, service CCN. All utility improvements within the proposed subdivision that are not limited to water, sewer, curb & gutter, and fire hydrants will be installed by the developer in accordance with the approved 2014 Standards Manual.

Recommendations:

City of Edinburg Planning & Zoning Department:

Staff recommends approval of the Preliminary Plat, subject to the compliance with the Unified Development Code, General Notes; on FEMA flood zone, zoning, setbacks, finish floor elevation, benchmark, drainage detention, parkland fees, limited access, SWP3 requirements, sidewalks, and other notes as required based on development.

City of Edinburg Engineering / Utilities Department:

Preliminary Phase Submittal comments for this subdivision are included in the packet. As per Engineering, the plat shall be Preliminarily Approved until all comments have been addressed by the project engineer.

City of Edinburg Fire Department:

The following are the preliminary phase submittal comments as noted by the Fire Department:

1. Provide street names to the City of Edinburg Engineering Department for approval.
2. Fire lane 15 ft. in width shall be painted in front of all fire hydrants.
3. Provide double face blue fire hydrant street marker on center on the street in front of the fire hydrant.
4. Fire hydrant shall be every 600 ft. for one and two family dwellings as per Section 507.5.1 of 2012 IFC.
5. All streets should be 32 ft. B-B paving section according to Table 8.204 of the Edinburg Unified Development Code.

City of Edinburg Storm Water:

The following are the preliminary phase submittal comments as noted by Storm Water:

1. **SW3P** (Stormwater Pollution Prevention Plan)
2. **NOI** (Notice of Intent, Per TCEQ)
3. **Large Construction Notice** (Per TCEQ Inventory)
4. **Detailed Erosion Control Plan** (Silt Fence, Construction Entrance, Inlet Protection, Concrete Washout)
5. **Detailed Post Construction BMP's Plan** (70% Vegetation or Silt Fence back of curb)
6. **Plat Note** (All construction shall comply with Stormwater Pollution Prevention Plan (SW3P) requirements. Erosion and Sedimentation Controls constructed in accordance with the Stormwater Ordinance 98.30 of the City of Edinburg are required for all construction on each lot including single family and duplex/multi-family construction)
7. **NOT** (Notice of Termination, Per TCEQ) will now be required before the final walk through.
8. **Comments:**
 - SW3P Plat note has been revised. Please see the note for your reference.
 - NOT will need to be submitted before the final walk through.
 - Stormwater is now requiring a Post Construction Plan on plans that are submitted, either 70% vegetation or Install Silt Fence behind the back of curb.
 - Silt Fence around the entire project.
 - Large Construction Notice needs to be submitted with contractors contact information.
 - All items must be submitted before the NTP is issued.
 - Please email pending items to rvalenzuela@cityofedinburg.com

City of Edinburg Solid Waste:

Multi Family Residential Development within the City of Edinburg - ETJ.



ENGINEERING DEPARTMENT

Preliminary Staff Review

January 11, 2021

Iden I. Treviño, P.E.

Treviño Engineering
200 S. 10th. St. Ste. 1303
McAllen, TX 78501
(956) 283-8847

RE: CESAR CHAVEZ HEIGHTS – PRELIMINARY REVIEW

Mr. Treviño,

Attached are the Preliminary Phase Submittal comments for Cesar Chavez Heights Subdivision. Submittal is adequate as presented and recommended for preliminary approval.

Any questions feel free to contact us.



Thanks,

Digitally signed by Peter
Hermida
Date: 2022.01.11
17:40:43 -06'00'

Peter Hermida E.I.T.

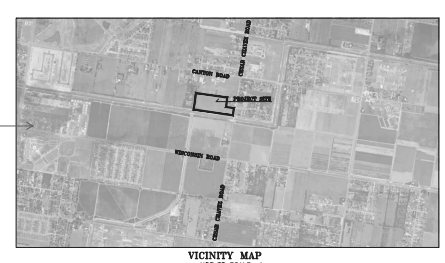
Email: phermida@cityofedinburg.com

415 W. University Drive
Edinburg, Texas 78539

Cc: Mardoqueo Hinojosa, P.E., CFM, City Engineer, Patrizia Longoria, Engineer III, Roberto Hernandez, Engineer I, Abel Beltran, Planner I, Vince Romero, Director of Public Works, Robert Valenzuela, Storm Water Specialist, Kimberly Mendoza, Director of Planning and Zoning, Rita Lee Guerrero, Planner I, Jaime Xavier Ayala, Planner II, Gerardo Carmona P.E., Director of Utilities, Jose Flores, Systems Superintendent, Omar Garza, Fire Marshal, Ramiro Gomez, Director of Solid Waste

REFERENCES:

City of Edinburg – 2014 Standard Manual – Construction and Development Requirements; Unified Development Code; and if required a TX-Dot Permitting UIR permitting process.



CITY & ZIP	PHONE
EDINBURG, TEXAS 78541	N/A
McALLEN, TEXAS 78501	(956) 283-8844
McALLEN, TEXAS 78505	(956) 369-0988

FILED FOR RECORD IN HIDALGO COUNTY
ARTURO GUJARDO, JR.
HIDALGO COUNTY, TEXAS

INSTRUMENT NUMBER _____
OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS

800 SECURITY CLEARANCE

Add Note: All Lots shall have a post development finish grade from the rear of the lot to the curb at a 1% min slope to accomplish positive drainage.

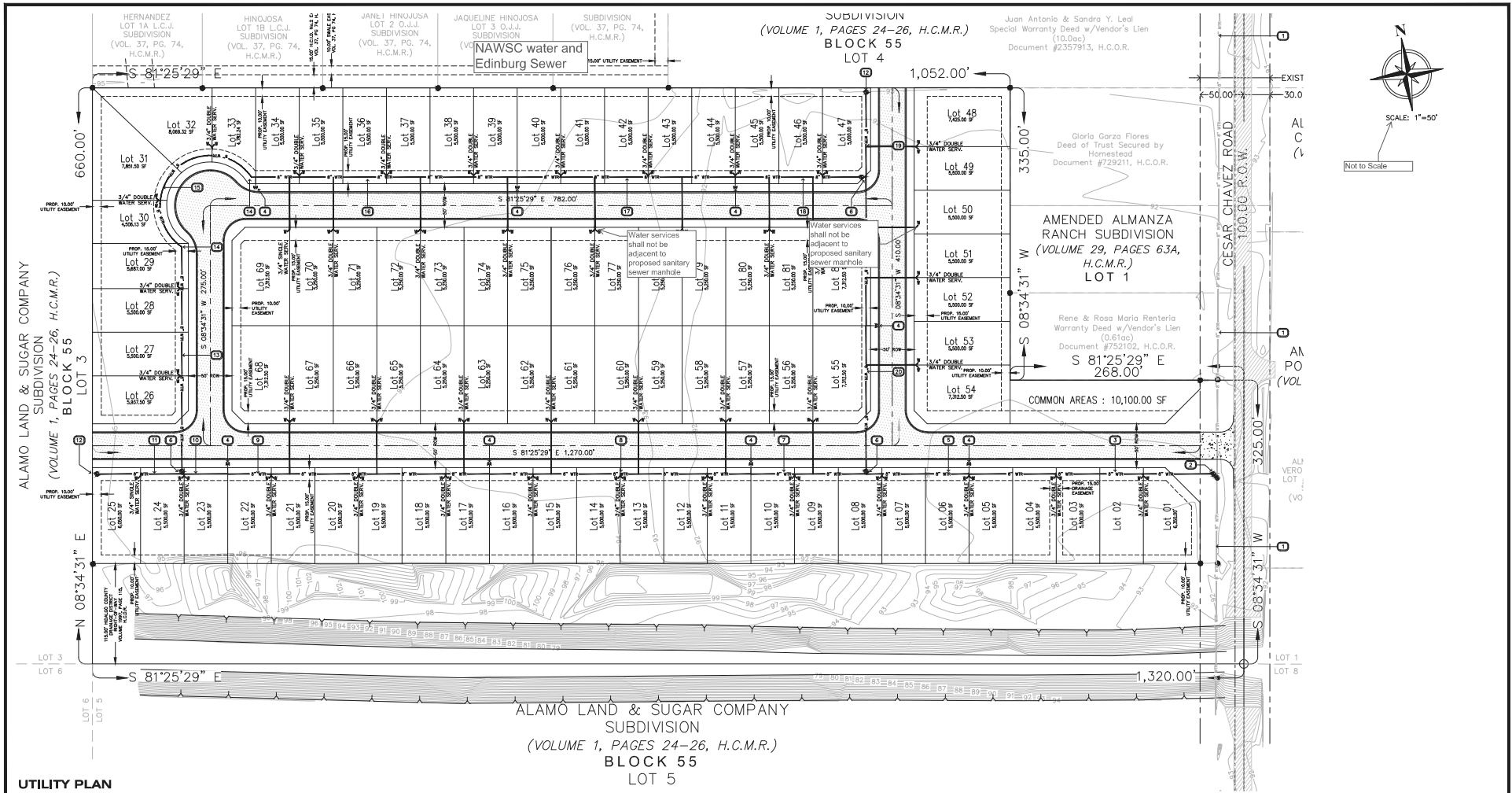
1.31 RESIDENTIAL LOTS

A 17.94-ACRE TRACT OF LAND, MORE OR LESS, OUT OF LOT 4, BLOCK 55, ALAMO LAND AND SUGAR COMPANY SUBDIVISION, MAP OR PLAT THEREOF RECORDED IN VOLUME 1, PAGES 24-26, HIDALGO COUNTY MAP RECORDS, TEXAS

DATE OF PREPARATION: DECEMBER 1, 2021

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McAllen, Texas 78501

ident@trevenoengineering.com



SCALE: 1"=50'

- UTILITY PLAN
WATER DISTRIBUTION KEYNOTES**
- 1 EXISTING 8" PVC WATER DISTRIBUTION LINE (NORTH ALAMO WATER SUPPLY CORPORATION)
 - 2 PROPOSED 8" x 8" WET TAP WITH 2 (TWO) 8" GATE VALVE AND BOX TO EXISTING 8" WATER LINE.
 - 3 PROPOSED 8" C-900, DR-18 PVC WATERLINE ~ 277.00 LF
 - 4 PROPOSED COMPLETE FIRE HYDRANT ASSEMBLY WITH 8" x 6" TAP AND 6" VALVE. BOTTOM OF FLANGE ELEVATION SHALL NOT BE LESS THAN 6" ABOVE THE TOP OF CURB ELEVATION.
 - 5 PROPOSED 8" C-900, DR-18 PVC WATERLINE ~ 118.00 LF
 - 6 PROPOSED 8" TEE AND 8" GATE VALVE (PLEASE REFER TO UTILITY DETAILS SHEET OF NORTH ALAMO WATER SUPPLY CORPORATION FOR DETAILS AND SPECIFICATIONS)
 - 7 PROPOSED 8" C-900, DR-18 PVC WATERLINE ~ 132.00 LF
 - 8 PROPOSED 8" C-900, DR-18 PVC WATERLINE ~ 300.00 LF
 - 9 PROPOSED 8" C-900, DR-18 PVC WATERLINE ~ 300.00 LF
 - 10 PROPOSED 8" C-900, DR-18 PVC WATERLINE ~ 52.50 LF
 - 11 PROPOSED 8" C-900, DR-18 PVC WATERLINE ~ 95.00 LF
 - 12 PROPOSED 8" FLUSH VALVE FOR PROPOSED WATER MAIN
 - 13 PROPOSED 8" C-900, DR-18 PVC WATERLINE ~ 254.00 LF
 - 14 PROPOSED 8" MJ 90° ELBOW AND 8" GATE VALVE (PLEASE REFER TO UTILITY DETAILS SHEET OF NORTH ALAMO WATER SUPPLY CORPORATION FOR DETAILS AND SPECIFICATIONS)
 - 15 PROPOSED 8" C-900, DR-18 PVC WATERLINE ~ 200.00 LF
 - 16 PROPOSED 8" C-900, DR-18 PVC WATERLINE ~ 300.00 LF
 - 17 PROPOSED 8" C-900, DR-18 PVC WATERLINE ~ 250.00 LF
 - 18 PROPOSED 8" C-900, DR-18 PVC WATERLINE ~ 142.00 LF
 - 19 PROPOSED 8" C-900, DR-18 PVC WATERLINE ~ 95.00 LF
 - 20 PROPOSED 8" C-900, DR-18 PVC WATERLINE ~ 164.00 LF

CONTRACTOR NOTE:

PLEASE REFER TO THE NORTH ALAMO WATER SUPPLY CORPORATION FOR ALL UTILITY DETAILS AND SPECIFICATIONS.

WATER METERS SHALL BE PLACED OUTSIDE OF PAVED AREAS.

CONTRACTOR SHALL VERIFY AND COMPLY WITH ALL TEXAS COMMISSION ON ENVIRONMENTAL QUALITY (TCEQ) SEPARATION DISTANCES OF UTILITIES.

ALL WATER IMPROVEMENTS MUST BE INSTALLED WITHIN 1 YEAR OF NORTH ALAMO WATER SUPPLY CORPORATION APPROVALS. SUBDIVISION APPLICATION, PLAN REVIEWS AND FEES ARE SUBJECT TO RE-SUBMITTAL/RE-ASSESSMENT AFTER THIS TIME PERIOD.

NO.	SHEET	REVISION	DATE	APPROVED

PRINCIPAL CONTACTS:			
NAME	ADDRESS	CITY & ZIP	PHONE
OWNER: MORAM INVESTMENTS LLC	5417 W. ROGERS ROAD	EDINBURG, TEXAS 78541	N/A
ENGINEER: IDEN I. TREVIÑO, P.E.	200 S. 10TH ST. SUITE 1303	MCALLEN, TEXAS 78501	(956) 283-8847
SURVEYOR: HOMERO LUIS GUTIERREZ, RLS	P.O. BOX 548	MCALLEN, TEXAS 78505	(956) 368-0988

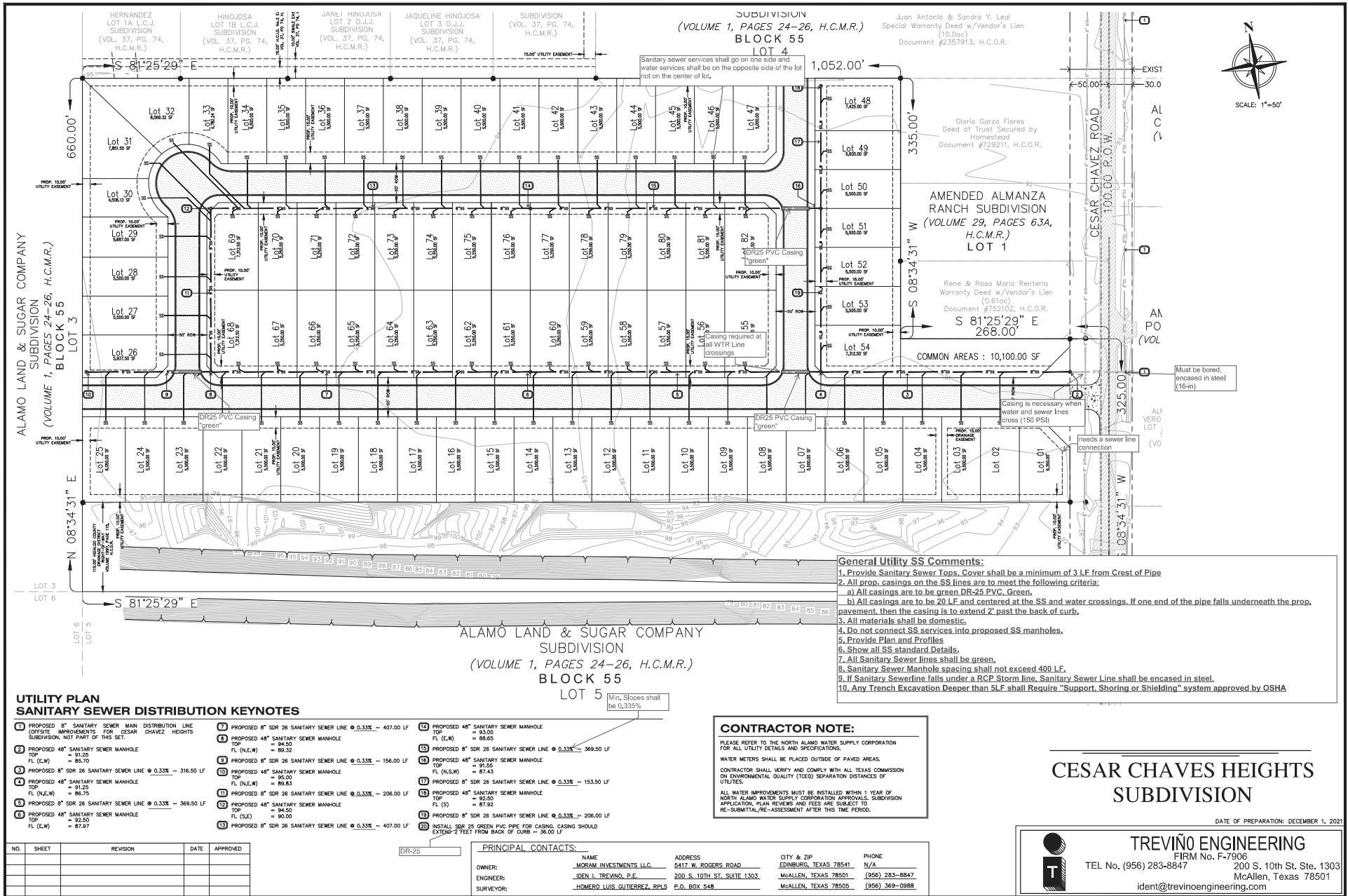
CESAR CHAVES HEIGHTS SUBDIVISION

DATE OF PREPARATION: DECEMBER 1, 2021



TREVIÑO ENGINEERING
FIRM No. F-7906
TEL No. (956) 283-8847
id@trevinoengineering.com

200 S. 10th St. Ste. 1303
McAllen, Texas 78501



UTILITY PLAN
SANITARY SEWER DISTRIBUTION KEYNOTES

- 1. PROPOSED 8" SANITARY SEWER MAIN DISTRIBUTION LINE (OFFSITE IMPROVEMENTS FOR CESAR CHAVEZ HEIGHTS SUBDIVISION, NOT PART OF THIS SET.)
- 2. PROPOSED 48" SANITARY SEWER MANHOLE TOP = 91.55 FL (E.W.) = 85.70
- 3. PROPOSED 8" SDR 26 SANITARY SEWER LINE @ 0.33% ~ 316.50 LF
- 4. PROPOSED 48" SANITARY SEWER MANHOLE TOP = 91.55 FL (N.E.W.) = 86.75
- 5. PROPOSED 8" SDR 26 SANITARY SEWER LINE @ 0.33% ~ 369.50 LF
- 6. PROPOSED 48" SANITARY SEWER MANHOLE TOP = 92.50 FL (E.W.) = 87.97
- 7. PROPOSED 8" SDR 26 SANITARY SEWER LINE @ 0.33% ~ 407.00 LF
- 8. PROPOSED 48" SANITARY SEWER MANHOLE TOP = 94.50 FL (N.E.W.) = 89.32
- 9. PROPOSED 8" SDR 26 SANITARY SEWER LINE @ 0.33% ~ 156.00 LF
- 10. PROPOSED 48" SANITARY SEWER MANHOLE TOP = 95.00 FL (N.E.W.) = 89.83
- 11. PROPOSED 8" SDR 26 SANITARY SEWER LINE @ 0.33% ~ 208.00 LF
- 12. PROPOSED 48" SANITARY SEWER MANHOLE TOP = 94.50 FL (S.E.) = 90.00
- 13. PROPOSED 8" SDR 26 SANITARY SEWER LINE @ 0.33% ~ 407.00 LF
- 14. PROPOSED 48" SANITARY SEWER MANHOLE TOP = 93.00 FL (E.W.) = 88.65
- 15. PROPOSED 8" SDR 26 SANITARY SEWER LINE @ 0.33% ~ 369.50 LF
- 16. PROPOSED 48" SANITARY SEWER MANHOLE TOP = 91.55 FL (N.S.W.) = 87.43
- 17. PROPOSED 8" SDR 26 SANITARY SEWER LINE @ 0.33% ~ 153.50 LF
- 18. PROPOSED 48" SANITARY SEWER MANHOLE TOP = 92.50 FL (S) = 87.92
- 19. PROPOSED 8" SDR 26 SANITARY SEWER LINE @ 0.33% ~ 206.00 LF
- 20. INSTALL SDR 25 GREEN PVC PIPE FOR CASING, CASING SHOULD EXTEND 2 FEET FROM BACK OF CURB ~ 36.00 LF

CONTRACTOR NOTE:
PLEASE REFER TO THE NORTH ALAMO WATER SUPPLY CORPORATION FOR ALL UTILITY DETAILS AND SPECIFICATIONS.
WATER METERS SHALL BE PLACED OUTSIDE OF PAVED AREAS.
CONTRACTOR SHALL VERIFY AND COMPLY WITH ALL TEXAS COMMISION ON ENVIRONMENTAL QUALITY (TCEQ) SEPARATION DISTANCES OF UTILITIES.
ALL WATER IMPROVEMENTS MUST BE INSTALLED WITHIN 1 YEAR OF NORTH ALAMO WATER SUPPLY CORPORATION APPROVED SUBDIVISION APPLICATION, PLAN REVIEWS AND FEES ARE SUBJECT TO RE-SUBMITTAL/RE-ASSESSMENT AFTER THIS TIME PERIOD.

General Utility SS Comments:
1. Provide Sanitary Sewer Tops, Cover shall be a minimum of 3 LF from Crest of Pipe
2. All prop. casings on the SS lines are to meet the following criteria:
a) All casings are to be green DR-25 PVC, Green.
b) All casings are to be 20 LF and centered at the SS and water crossings. If one end of the pipe falls underneath the prop. pavement, then the casing is to extend 2' past the back of curb.
3. All materials shall be domestic.
4. Do not connect SS services into proposed SS manholes.
5. Provide Plan and Profiles
6. Show all SS standard Details.
7. All Sanitary Sewer lines shall be green.
8. Sanitary Sewer Manhole spacing shall not exceed 400 LF.
9. If Sanitary Sewerline falls under a RCP Storm line, Sanitary Sewer Line shall be encased in steel.
10. Any Trench Excavation Deeper than 5LF shall Require "Support, Shoring or Shielding" system approved by OSHA

NO.	SHEET	REVISION	DATE	APPROVED

DR-25

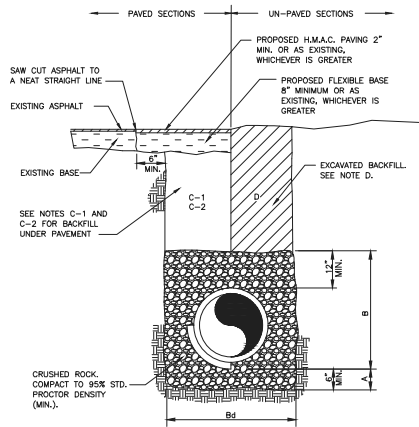
PRINCIPAL CONTACTS:

NAME	ADDRESS	CITY & ZIP	PHONE
OWNER: MORAN INVESTMENTS LLC	5417 W. ROGERS ROAD	EDINBURG, TEXAS 78451	N/A
ENGINEER: DEAN J. TREVIÑO, P.E.	200 S. 10TH ST. SUITE 1303	MCALLEN, TEXAS 78501	(956) 283-8847
SURVEYOR: HOMERO LUIS GUTIERREZ, RLS	P.O. BOX 548	MCALLEN, TEXAS 78505	(956) 368-0988

CESAR CHAVEZ HEIGHTS
SUBDIVISION

DATE OF PREPARATION: DECEMBER 1, 2021

TREVIÑO ENGINEERING
FIRM No. F-7906
TEL No. (956) 283-8847 200 S. 10th St. Ste. 1303
McAllen, Texas 78501
id@trevinoengineering.com



GENERAL NOTES:

- CRUSHED ROCK BEDDING PLACED, HAND LEVELLED, AND COMPACTED BEFORE PIPE IS LAID, UP TO BOTTOM OF PIPE (MIN. THICKNESS = 6").
- CRUSHED ROCK BACKFILL PLACED AND COMPACTED AFTER PIPE IS LAID, FROM BOTTOM OF PIPE TO 12" ABOVE THE TOP OF PIPE. WORK IN UNDER PIPE HAUNCHES AND COMPACT BY HAND TO SPRING LINE. USE VIBRATORY-TYPE COMPACTORS FOR LIFTS ABOVE THE SPRING LINE. MAXIMUM 6" LIFTS.
- MINIMUM TRENCH WIDTH: PIPE O.D. + 16" (FOR 16" PIPE AND SMALLER); PIPE O.D. X 1.25 + 12" (FOR 18" PIPE AND LARGER).
- (CITY STREETS, PARKING AREA, AND DRIVEWAYS) SELECT EXCAVATED BACKFILL MECHANICALLY COMPACTED TO 95% STANDARD PROCTOR DENSITY IN 6" MAX. LIFTS.
- (STATE MAINTAINED ROADWAY) SAND/CEMENT STABILIZED BACKFILL WITH 7% PORTLAND CEMENT COMPACTED TO 95% STANDARD PROCTOR DENSITY.
- EXCAVATED EARTH BACKFILL MECHANICALLY COMPACTED IN 12" MAX. LIFTS. MINIMUM STANDARD PROCTOR DENSITY: 90% OUTSIDE RIGHT OF WAY; 95% INSIDE RIGHT OF WAY.

EMBEDMENT SHALL BE IN ACCORDANCE WITH THE REQUIREMENTS OF ASTM D 2321. EMBEDMENT MATERIAL SHALL BE CLASS 1A (CRUSHED ROCK) OR 1B (CRUSHED ROCK-SAND MIXTURE) WITH LESS THAN 80% PASSING A No. 4 SIEVE. MAXIMUM $\frac{3}{4}$ " SIZE FOR PIPE SIZE 15". GREATER THAN 80% OF CRUSHED ROCK SHALL HAVE AT LEAST THREE BROKEN FACES. NO MORE THAN 2% UNBROKEN FRACTION ALLOWED.

IN SATURATED OR UNSTABLE SOILS, EMBEDMENT SHALL BE CLASS 1B ONLY (SEE SPECIFICATIONS FOR GRADATION REQUIREMENTS).

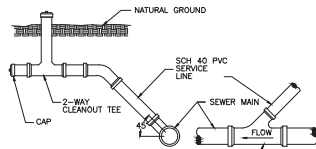
WHERE THIS STANDARD CONFLICTS WITH THE RECOMMENDATION OF ANY GEOTECHNICAL REPORT, OBTAIN WRITTEN CLARIFICATION FROM THE UTILITY ENGINEER PRIOR TO CONSTRUCTION.

FOUNDATION PREPARATION USING COBBLES, GRAVEL, CEMENT STABILIZATION, OR OTHER METHODS AS APPROVED BY THE ENGINEER SHALL BE REQUIRED WHEN TRENCH BOTTOM IS UNSTABLE.

BACKFILLING AT STRUCTURES SHALL BE PLACED IN UNIFORM LAYERS, AND COMPACTED TO 95% STANDARD PROCTOR DENSITY IN 6" MAXIMUM LIFTS. STRUCTURE BACKFILL MATERIAL SHALL BE SAND.

TYPICAL SANITARY SEWER PIPE BEDDING DETAIL

Not to Scale

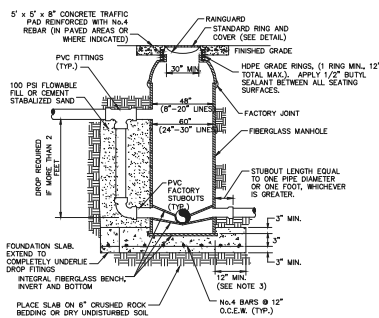


NOTES

- INDIVIDUAL SERVICE LATERALS TO BE PROVIDED TO EACH LOT.
- SINGLE FAMILY SERVICE SHALL BE 4" MIN. MULTI-FAMILY, COMMERCIAL, AND INDUSTRIAL SERVICE SHALL BE 6" OR GREATER AS REQUIRED.

STANDARD SEWER CONNECTION DETAIL

Not to Scale

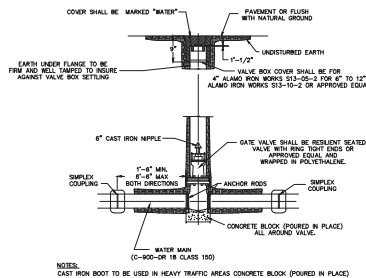


NOTES

- INSTALL IN STRICT ACCORDANCE WITH MANUFACTURER'S INSTRUCTIONS.
- BACKFILL SHALL BE SAND COMPACTED TO 95% STANDARD PROCTOR.
- BASE SLAB SHALL BE 4 FT. LARGER THAN MANHOLE DIAMETER WHERE SOIL BEARING CAPACITY < 3000 PSF. WATER TABLE < 5 FT. OR DEPTH > 30 FT. SLAB SHALL BE DESIGNED TO PREVENT FLOTATION OF MANHOLE.
- COAT ALL INTERNAL CONDITIONS AND METALLIC SURFACES WITH COAL TAR EPOXY.
- OUTLET STUBOUT SHALL BE SPOOT END. INLET STUBOUTS SHALL BE BELL END EXCEPT FOR DROP CONNECTIONS.

PRECAST SANITARY SEWER COLLECTION MANHOLE

Not to Scale

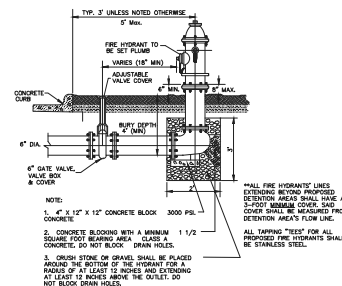


NOTES

CAST IRON BOOT TO BE USED IN HEAVY TRAFFIC AREAS CONCRETE BLOCK (POURED IN PLACE)

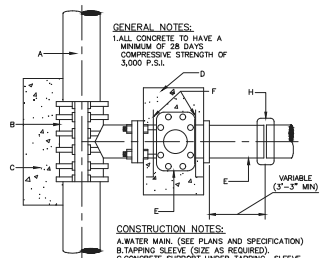
TYPICAL GATE VALVE AND BOX DETAIL

Not to Scale



TYPICAL FIRE HYDRANT INSTALLATION DETAIL

Not to Scale

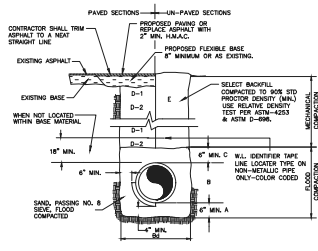


CONSTRUCTION NOTES:

- WATER MAIN (SEE PLANS AND SPECIFICATION)
- TAPPING SLEEVE (SIZE AS REQUIRED)
- CONCRETE SUPPORT UNDER TAPPING SLEEVE AND BENTHOL
- THRUST BLOCK AS PER SPECIFICATIONS
- FLANGED AND HUB ENDS TO "O" RING SEALS WITH 2" SQUARE WRENCH NUT GATE VALVE
- G.P.V. PIPE
- SIMPLEX COUPLING

WATER TAPPING SLEEVE & VALVE INSTALLATION

Not to Scale



NOTES

A. SAND BEDDING PLACED BEFORE PIPE IS LAID UP TO FLOW LINE OF PIPE (MIN. THICKNESS=4")

B. SAND BACKFILL PLACED AFTER PIPE IS LAID FROM BOTTOM OF PIPE TO SPRING LINE OF PIPE (4\"/>

C. SAND BACKFILL PLACED FROM SPRING LINE OF PIPE TO 6\"/>

D-1 (CITY STREETS, PARKING AREA, SELECT EXCAVATED BACKFILL MATERIAL COMPACTED TO 95% SPD (8\"/>

D-2 (STATE MAINTAINED ROADWAY) COMPACTED SAND/CEMENT STABILIZED BACKFILL WITH 7% PORTLAND CEMENT COMPACTED AS PER ASTM D-4253 AND ASTM D-698

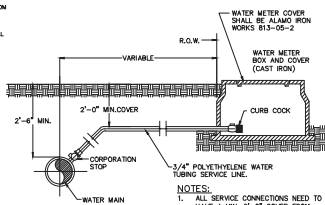
E. SELECT EARTH BACKFILL COMPACTED TO 95% STD (12\"/>

F. STRUCTURES SHALL BE PLACED IN UNIFORM LAYERS, MINSTENDED AS REQUIRED TO APPROXIMATE OPTIMUM MOISTURE CONTENT, AND COMPACTED TO 95% STD. PROCTOR DENSITY (USE RELATIVE DENSITY TEST PER ASTM D-4253 & ASTM D-698). THE THICKNESS OF EACH LOOSE LAYER SHALL NOT EXCEED 4\"/>

NOTE: SHOULD A CONFLICT BETWEEN THIS STANDARD AND THE RECOMMENDATION OF ANY GEOTECHNICAL REPORT ARISE, WRITTEN APPROVAL MUST BE RECEIVED BY CONTRACTOR FROM THE CITY. CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF EITHER.

WATER LINE BEDDING TYPICAL DETAIL

Not to Scale



CONSTRUCTION NOTES:

- ALL SERVICE CONNECTIONS NEED TO HAVE A MIN. 2'-0" COVER FROM FINISHED GRADE
- WATER METER COVER SHALL BE ALUMINUM WORKING BOX 30 INCHES OF COVER FROM FINISHED GRADE
- ALL WATER MAINS HAVE 30 INCHES OF COVER FROM FINISHED GRADE
- METER BOX SHALL BE CAST IRON, DAYS COMPRESSIVE STRENGTH OF 3000 P.S.I.
- 2" GATE VALVE ONLY REQUIRED FOR 2" SERVICE
- POLYETHYLENE TUBING ACCEPTABLE FOR LINE SIZES 1" OR LESS, SCHEDULE 40 PVC REQUIRED FOR LINE SIZES 1" OR GREATER

TYPICAL WATER SERVICE CONNECTION WITH METER BOX

Not to Scale

NO.	SHEET	REVISION	DATE	APPROVED

PRINCIPAL CONTACTS:

NAME	ADDRESS	CITY & ZIP	PHONE
OWNER: MORAN INVESTMENTS LLC.	5417 W. ROGERS ROAD	EDINBURG, TEXAS 78541	N/A
ENGINEER: ISAL I. TREVIÑO, P.E.	220 S. 10TH ST. SUITE 1303	MCALLEN, TEXAS 78501	(956) 283-8847
SURVEYOR: HOMERO LUIS GUTIERREZ, RLS	P.O. BOX 548	MCALLEN, TEXAS 78505	(956) 369-0988

DATE OF PREPARATION: DECEMBER 1, 2021



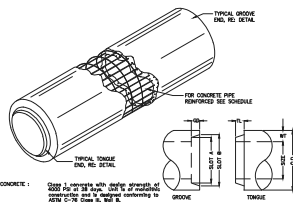
TREVIÑO ENGINEERING

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TEL No. (956) 283-8847 200 S. 10th St. Ste. 1303

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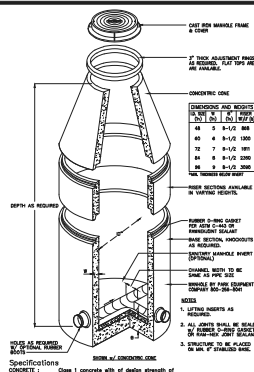
CONCRETE : CAST IN PLACE CONCRETE OF APPROXIMATE STRENGTH OF 3000 PSI. CONCRETE SHALL BE PLACED IN TIGHT WORKING TO AVOID AIR ENTRIES AND TO PROVIDE A WEATHER TIGHT JOINT.

REINFORCEMENT : SHALL BE PLACED IN TIGHT WORKING TO AVOID AIR ENTRIES AND TO PROVIDE A WEATHER TIGHT JOINT.

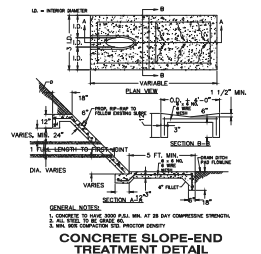
JOINT SEALANT : IN JOINTS, SEALANT SHALL BE PLACED IN TIGHT WORKING TO AVOID AIR ENTRIES AND TO PROVIDE A WEATHER TIGHT JOINT.

DIMENSION SCHEDULE OF C-75 TONGUE & GROOVE PIPE									
PIPE SIZE (IN.)	OD (IN.)	WT. (LBS./FT.)	REINFORCEMENT (IN.)	WALL THICKNESS (IN.)	TONGUE DEPTH (IN.)	GROOVE DEPTH (IN.)	JOINT SEALANT (IN.)	JOINT SEALANT (IN.)	JOINT SEALANT (IN.)
12"	12"	100 LBS.	4" @ 6"	0.5000	1/2"	1/2"	1/2"	1/2"	1/2"
15"	15"	150 LBS.	4" @ 6"	0.5000	1/2"	1/2"	1/2"	1/2"	1/2"
18"	18"	180 LBS.	4" @ 6"	0.5000	1/2"	1/2"	1/2"	1/2"	1/2"
21"	21"	210 LBS.	4" @ 6"	0.5000	1/2"	1/2"	1/2"	1/2"	1/2"
24"	24"	240 LBS.	4" @ 6"	0.5000	1/2"	1/2"	1/2"	1/2"	1/2"
27"	27"	270 LBS.	4" @ 6"	0.5000	1/2"	1/2"	1/2"	1/2"	1/2"
30"	30"	300 LBS.	4" @ 6"	0.5000	1/2"	1/2"	1/2"	1/2"	1/2"
36"	36"	360 LBS.	4" @ 6"	0.5000	1/2"	1/2"	1/2"	1/2"	1/2"
42"	42"	420 LBS.	4" @ 6"	0.5000	1/2"	1/2"	1/2"	1/2"	1/2"
48"	48"	480 LBS.	4" @ 6"	0.5000	1/2"	1/2"	1/2"	1/2"	1/2"

REINFORCED CONCRETE PIPE
12" THRU 48"
Not to Scale



REINFORCED CONCRETE PIPE
12" THRU 48"
Not to Scale



GENERAL NOTES:

- DESIGN ELEVATIONS TO BE GIVEN AT P.C., P.T. AND MID POINT OF THE CURB RADIUS (FLOW OF CURB ELEVATION) AND AT INTERSECTIONS OF PROJECTED FLOWLINES (FLOWLINE ELEVATION). ON UPSTREAM AND DOWNSTREAM ENDS OF THE INTERSECTION, VALLEY GUTTER CONSTRUCTION SHALL EXTEND TO THE END OF RETURN.
- THE VALLEY GUTTER TO BE REINFORCED WITH 6" X 6" X NO. 6 GA. WIRE MESH, OR NO. 3 @ 12" O.C.E.W.
- INVERT OF VALLEY GUTTER TO EXTEND FROM FLOWLINE OF UPSTREAM CURB RETURN TO FLOWLINE OF DOWNSTREAM CURB RETURN.
- FOR NEW CONSTRUCTION, VALLEY GUTTER SHALL BE CONSTRUCTED PRIOR TO ADJACENT PAVEMENT. PRIOR TO CONSTRUCTION OF NEW VALLEY GUTTER ON EXISTING ACCEPTED STREETS, PAVEMENT SHALL BE REMOVED AS SHOWN ON PLANS.
- VALLEY GUTTER SHALL BE PLACED USING 3000 PSI CONCRETE.
- FOR HANDICAP RAMP, SEE DETAIL.
- EXISTING CURB OR PAVEMENT SHALL BE SAWCUT WHERE NECESSARY TO CONNECT TO PROPOSED VALLEY GUTTER.

CONSTRUCTION NOTES:

- END OF CURB RETURN, SEE NOTE 1.
- PROJECTED FLOW LINE OF 1 1/2" INVERT SEE NOTE 2.
- DIRECTION OF FLOW, SEE NOTE 2.
- INVERT OF FLOW F. FLOWLINE F. 6" X 6" NO. 6 GA. WIRE MESH.
- NO. 3 BARS AT 12" O.C.E.W.
- THE 1 1/2" INVERT DEPTH MAY BE REDUCED TO IMPROVE DRAINABILITY WITH APPROVAL FROM THE CITY ENGINEER.

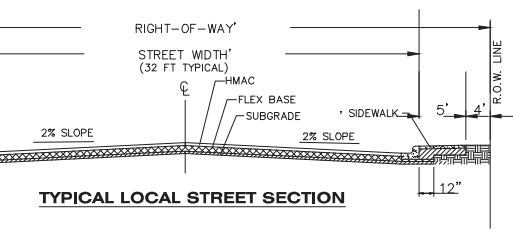
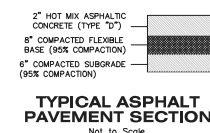
GENERAL NOTES:

- CURBS AND GUTTERS TO BE CONSTRUCTED OF 3000 PSI CONCRETE.
- FOR NON-REINFORCED STANDARD CURB OR CURB & GUTTER PROVIDE SAWED CONTRACTION JOINTS 10' O.C. MAX. ALSO PROVIDE 1/2" EXPANSION JOINTS AT 30' O.C. MAX. AT POINTS OF CURVATURE, CURB INLETS, BOX CULVERTS, AT EACH SIDE OF DRIVEWAYS AND ADJACENT TO SIDEWALKS.
- FOR REINFORCED STANDARD CURB OR CURB & GUTTER PROVIDE SAWED CONTRACTION JOINTS 10' O.C. MAX AND EXPANSION JOINTS SHALL BE SPACED AT 10' O.C. MAX. AT POINTS OF CURVATURE, CURB INLETS, BOX CULVERTS, AT EACH SIDE OF DRIVEWAYS AND ADJACENT TO SIDEWALKS.
- EDGES NOT SPECIFIED WITH DIMENSIONS SHALL BE EDGED WITH A 3/8" EDGING TOOL.
- A MEMBRANE CURING COMPOUND SHALL BE APPLIED TO EXPOSED CURB OR CURB & GUTTER AFTER THE SURFACE FINISH HAS BEEN COMPLETED AT A MIN. RATE OF 1 GAL/180 S.F. OF SURFACE AREA.
- DESIGN ELEVATIONS TO BE GIVEN AT P.C., P.T. AND MID POINT OF THE CURB RADIUS (FLOW OF CURB ELEVATION) AND AT INTERSECTIONS OF PROJECTED FLOWLINES (FLOWLINE ELEVATION).
- ON UPSTREAM AND DOWNSTREAM ENDS OF THE INTERSECTION, VALLEY GUTTER CONSTRUCTION SHALL EXTEND TO THE END OF RETURN.
- THE VALLEY GUTTER TO BE REINFORCED WITH 6" X 6" X NO. 6 GA. WIRE MESH, OR NO. 3 @ 12" O.C.E.W. 4. INVERT OF VALLEY GUTTER TO EXTEND FROM FLOWLINE OF UPSTREAM CURB RETURN TO FLOWLINE OF DOWNSTREAM CURB RETURN.
- FOR NEW CONSTRUCTION, VALLEY GUTTER SHALL BE CONSTRUCTED PRIOR TO ADJACENT PAVEMENT.
- PRIOR TO CONSTRUCTION OF NEW VALLEY GUTTER ON EXISTING ACCEPTED STREETS, PAVEMENT SHALL BE REMOVED AS SHOWN ON PLANS.
- FOR HANDICAP RAMP, SEE DETAIL.
- EXISTING CURB OR PAVEMENT SHALL BE SAWCUT WHERE NECESSARY TO CONNECT TO PROPOSED VALLEY GUTTER.

GENERAL NOTES CURB & GUTTER

Not to Scale

TYPE "A" INLET
Not to Scale

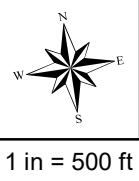
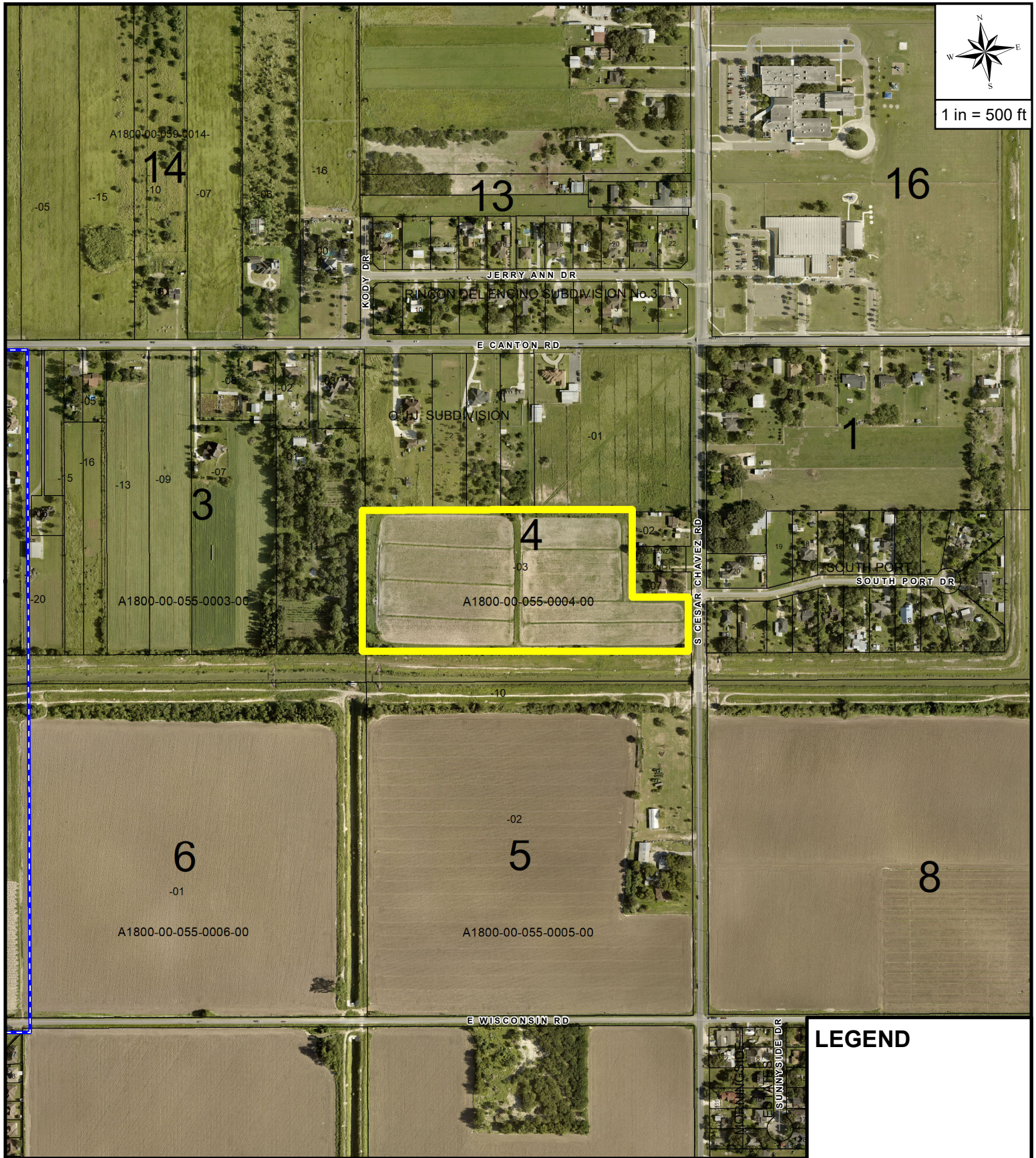


NO.	SHEET	REVISION	DATE	APPROVED

PRINCIPAL CONTACTS:				
	NAME	ADDRESS	CITY & ZIP	PHONE
OWNER:	<u>MORAN INVESTMENTS LLC.</u>	<u>5417 W. ROGERS ROAD</u>	<u>EDINBURG, TEXAS 78541</u>	<u>N/A</u>
ENGINEER:	<u>IDEN I. TRFVINO, P.E.</u>	<u>200 S. 10TH ST. SUITE 1303</u>	<u>MCALLEN, TEXAS 78501</u>	<u>(956) 283-8847</u>
SURVEYOR:	<u>HOMERO LUIS GUTIERREZ, RPLS</u>	<u>P.O. BOX 548</u>	<u>MCALLEN, TEXAS 78505</u>	<u>(956) 369-0988</u>

TREVIÑO ENGINEERING
FIRM No. F-7906
TEL No. (956) 283-8847
200 S. 10th St. Ste. 1303
McAllen, Texas 78501
id@trevinoengineering.com

DATE OF PREPARATION: DECEMBER 1, 2021

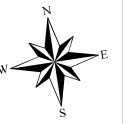


AERIAL MAP	
APPLICANT AND/OR SUBDIVISION:	
TREVINO ENGINEERING	
CESAR CHAVEZ HEIGHTS	

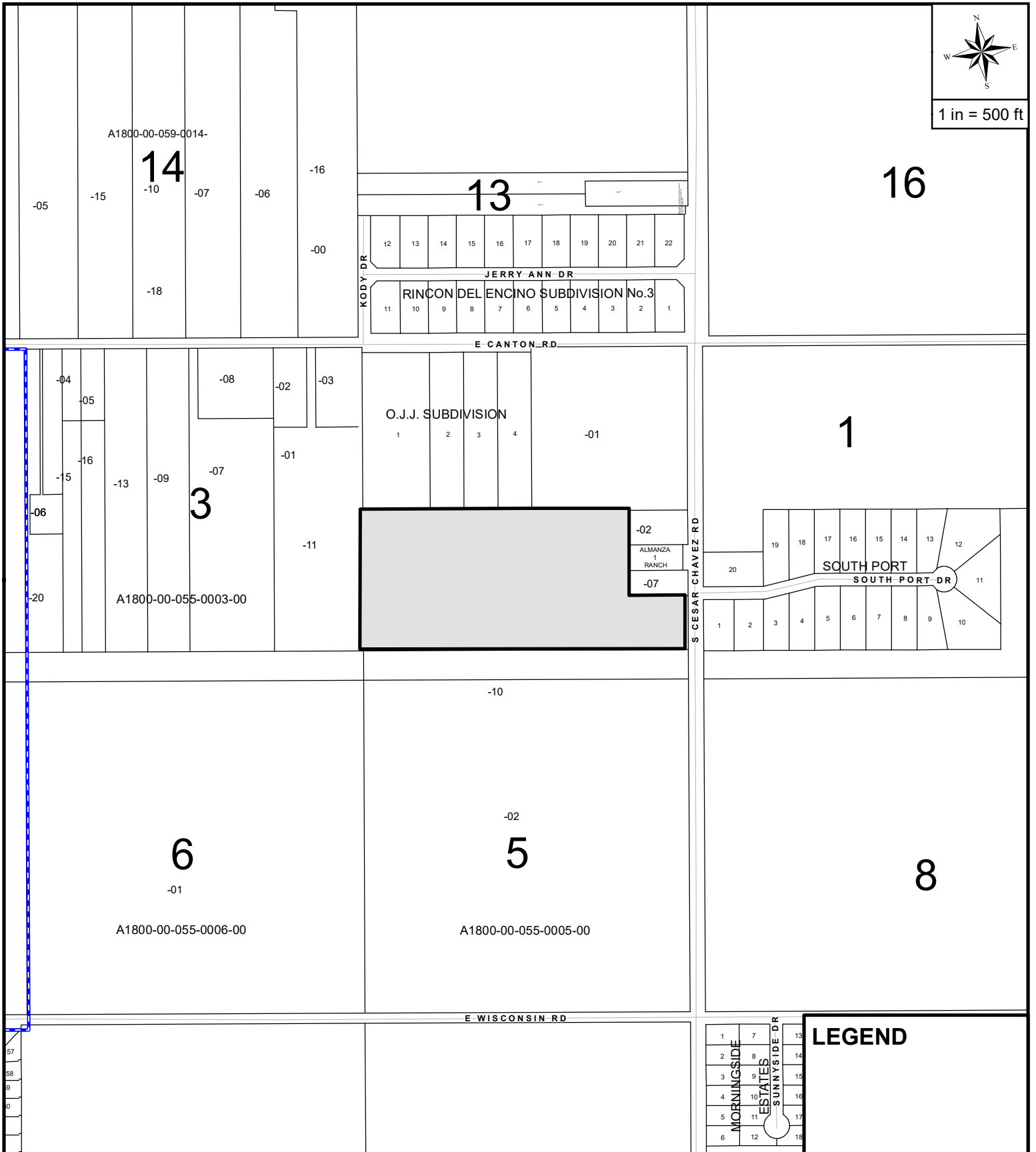
LEGEND

 SUBDIVISION SITE

 CITY LIMITS



1 in = 500 ft






MAILOUT AND SITE MAP

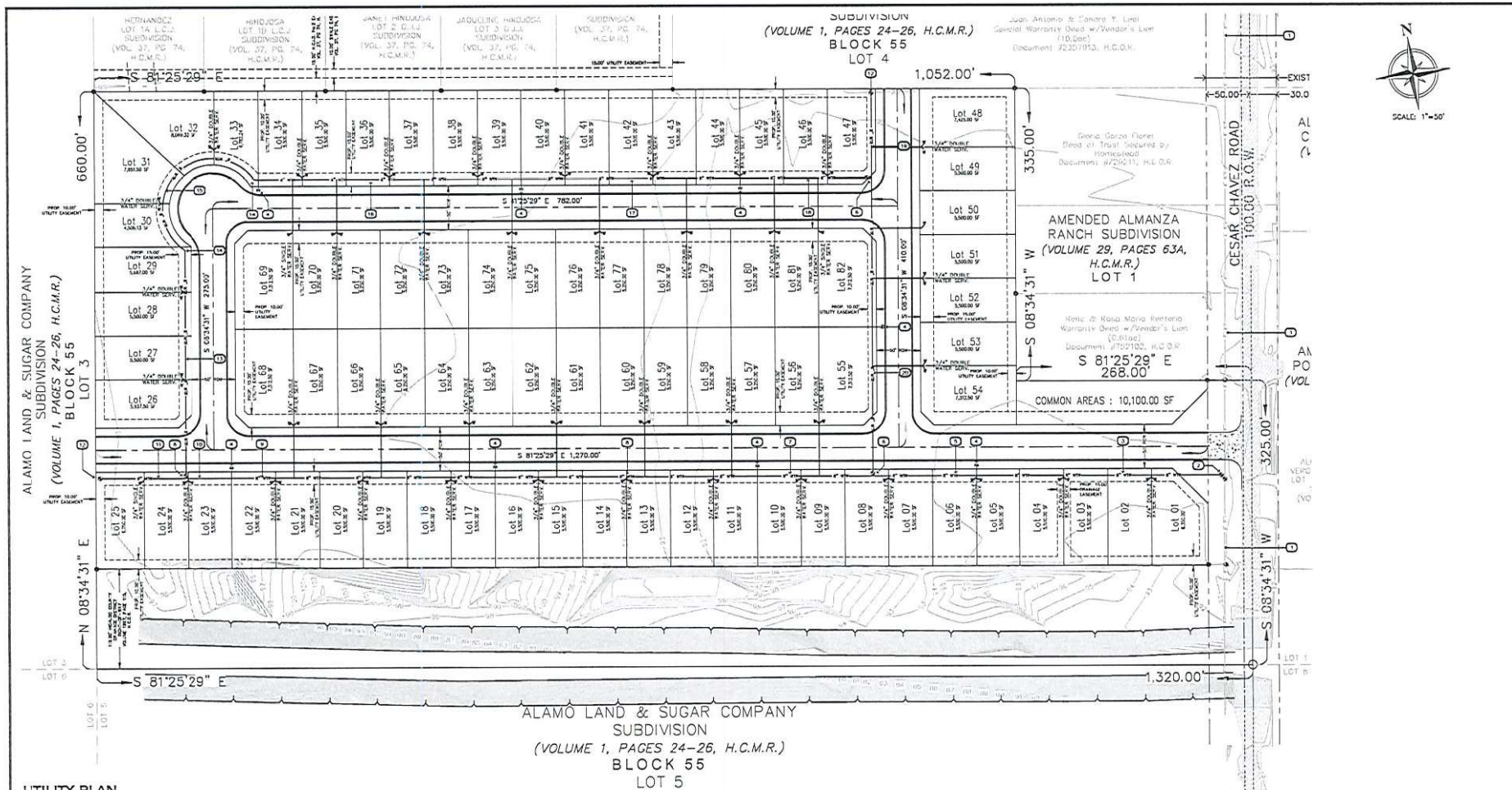
APPLICANT AND/OR SUBDIVISION:

TREVINO ENGINEERING

CESAR CHAVEZ HEIGHTS

LEGEND

-  SUBDIVISION SITE
-  300FT NOTIFICATION
-  CITY LIMITS



UTILITY PLAN **WATER DISTRIBUTION KEYNOTES**

- 1 EXISTING 8" PVC WATER DISTRIBUTION LINE (NORTH ALAMO WATER SUPPLY CORPORATION)
- 2 PROPOSED 8" x 8" MET TAP WITH 2 (TWO) 8" GATE VALVE AND BOX TO EXISTING 8" WATER LINE
- 3 PROPOSED 8" C-900, DR-18 PVC WATERLINE
- 4 PROPOSED COMPLETE FIRE HYDRANT ASSEMBLY WITH 8" x 8" TAP AND 8" VALVE, BOTTOM OF FLANGE ELEVATION SHALL NOT BE LESS THAN 8" ABOVE THE TOP OF CURB ELEVATION
- 5 PROPOSED 8" C-900, DR-18 PVC WATERLINE
- 6 PROPOSED 8" TEE AND 8" GATE VALVE (PLEASE REFER TO UTILITY DETAILS SHEET OF NORTH ALAMO WATER SUPPLY CORPORATION FOR DETAILS AND SPECIFICATIONS)

- 7 PROPOSED 8" C-900, DR-18 PVC WATERLINE
- 8 PROPOSED 8" C-900, DR-18 PVC WATERLINE
- 9 PROPOSED 8" C-900, DR-18 PVC WATERLINE
- 10 PROPOSED 8" C-900, DR-18 PVC WATERLINE
- 11 PROPOSED 8" C-900, DR-18 PVC WATERLINE
- 12 PROPOSED 8" FLUSH VALVE FOR PROPOSED WATER LINE MAIN
- 13 PROPOSED 8" C-900, DR-18 PVC WATERLINE
- 14 PROPOSED 8" 40' END CURB AND 8" GATE VALVE (PLEASE REFER TO UTILITY DETAILS SHEET OF NORTH ALAMO WATER SUPPLY CORPORATION FOR DETAILS AND SPECIFICATIONS)

- 15 PROPOSED 8" C-900, DR-18 PVC WATERLINE
- 16 PROPOSED 8" C-900, DR-18 PVC WATERLINE
- 17 PROPOSED 8" C-900, DR-18 PVC WATERLINE
- 18 PROPOSED 8" C-900, DR-18 PVC WATERLINE
- 19 PROPOSED 8" C-900, DR-18 PVC WATERLINE
- 20 PROPOSED 8" C-900, DR-18 PVC WATERLINE
- 21 PROPOSED 8" C-900, DR-18 PVC WATERLINE
- 22 PROPOSED 8" C-900, DR-18 PVC WATERLINE

CONTRACTOR NOTE:

PLEASE REFER TO THE NORTH ALAMO WATER SUPPLY CORPORATION FOR ALL UTILITY DETAILS AND SPECIFICATIONS.
WATER METERS SHALL BE PLACED OUTSIDE OF PAVED AREAS.
CONTRACTOR SHALL VERIFY AND COMPLY WITH ALL TEXAS COMMISSION ON ENVIRONMENTAL QUALITY (CEQ) SEPARATION DISTANCES OF UTILITIES.

ALL WATER IMPROVEMENTS MUST BE INSTALLED WITHIN 1 YEAR OF NORTH ALAMO WATER SUPPLY CORPORATION APPROVAL. SUBDIVISION APPLICATION, PLAN REVIEW AND FEES ARE SUBJECT TO RE-SUBMITAL/RE-ASSESSMENT AFTER THIS TIME PERIOD.

NO.	SHEET	REVISION	DATE	APPROVED

PRINCIPAL CONTACTS:

OWNER:	NAME	ADDRESS	CITY & ZIP	PHONE
ENGINEER:	MORAN ENGINEERS, L.L.C.	2417 W. BROSERS BOULEVARD	EDINBURG, TEXAS 78015	N/A
SURVEYOR:	JOHN I. TREVIÑO, P.E.	200 S. 10TH ST. SUITE 1303	MCALLEN, TEXAS 78501	(956) 283-8847
	HOWARD LUIS GUTIERREZ, RLS	P.O. BOX 2448	MCALLEN, TEXAS 78501	(956) 369-0588

CESAR CHAVES HEIGHTS SUBDIVISION

DATE OF PREPARATION: DECEMBER 1, 2021

TREVIÑO ENGINEERING
FIRM No. F-7906

TEL No. (956) 283-8847 200 S. 10th St. Ste. 1303
McAllen, Texas 78501
idest@trvinoengineering.com





Case #

THE CITY OF
EdinburgPlanning & Zoning Department
415 W. University Drive
Edinburg, Texas 78539

(956) 388-8202

Subdivision Application

Date: December 3, 2021Request Type: Preliminary Plat1. Developer: URBAN CITY DEVELOPERS2. Owner/Contact Name: RODOLFO MORA3. Owner/Contact Phone: (956) 358-12124. Owner/Contact Email: mlopez@urbancitytx.com5. Owner Address: 601 PECAN SUITE 180, MCALLEN TEXAS 785016. Exact Name of Subdivision: CESAR CHAVEZ HEIGHTS SUBDIVISION7. Property ID: 113327

8. Current Zoning: _____

Required Zoning: S - Suburban Residential

10. Legal Description: _____

A 17.94-ACRE TRACT OF LAND, MORE OR LESS, OUT OF LOT 4, BLOCK 55, ALAMO LAND AND SUGAR COMPANY SUBDIVISION, MAP OR PLAT THEREOF RECORDED IN VOLUME 1, PAGES 24-26, HIDALGO COUNTY MAP RECORDS, TEXAS, REFERENCE TO WHICH IS HERE MADE FOR ALL PURPOSE, LOCATED ON THE WEST SIDE OF CESAR CHAVEZ ROAD APPROXIMATELY 995.00 FEET SOUTH OF CANTON ROAD

11. Inside City Limits? No If "No," is in the ☒ Comprehensive Development Area _____ Rural Development Area _____12. Primary Consulting Firm: TREVINO ENGINEERING13. Phone: (956) 283-884714. Consulting Firm Address: 200 S. 10TH ST. SUITE 1303 MCALLEN, TEXAS 7850115. Consulting Firm Email(s): IDENT@TREVINOENGINEERING.COM, KARIME@TREVINOENGINEERING.COM16. Desired Land Use Option: Single Family17. Number of Lots: Single Family 82 Multi-Family _____ Commercial _____ Industrial _____18. Proposed Wastewater Treatment: ☒ Sanitary Sewer _____ OSSF (On-Site Sewage Facility)19. Electric Power and Light Company to Serve the Proposed Subdivision: Magic Valley Electric Co-op20. Irrigation District: Hidalgo County No. 2Potable-water Retailer: North Alamo Water Supply Corp.

Owner of record, holding title to real estate within the proposed subdivision. Ownership instrument (i.e. Title Policy, Warranty Deed and Deed of Trust) shall be submitted with application. All such owners are listed immediately below.

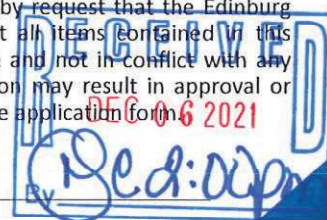
Owner Name(s) (Print or Type) RODOLFO MORA	Owner Mailing Address & Zip Code 601 PECAN SUITE 180, MCALLEN TEXAS 78501
Owner Phone Number (956) 358-1212	Owner Email MLOPEZ@URBANCITYTX.COM

Have any of said owners designated agents to submit and revise this plat application on their behalf?

☒ Yes _____ No (If "Yes" attached duly notarized documentation to that effect, signed by each such owner.)

The undersigned owner(s) of record (or their authorized agents) hereby agree to make all improvements and meet all requirements and standards as specified in the City of Edinburg Unified Development Code and Ordinances. The undersigned hereby request that the Edinburg Planning & Zoning Commission and the City Commission approve the attached subdivision plat. I certify that all items contained in this application and attachments (including all construction plans) are true and correct to the best of my knowledge and not in conflict with any deed restrictions or restrictive covenants. Furthermore, I understand that any omission or incorrect information may result in approval or permit being denied or revoked. Developer's requirement sheet must be completed, signed, and submitted with the application form.

Signature _____

Date December 3, 2021

DESCRIPTION	Provided	Need to Provide	Not Applicable	Need to Revise	COMMENTS
-------------	----------	-----------------	----------------	----------------	----------

Pre-Construction Meeting:

Notice To Proceed		✓			Dated:
Roadway Open-Cut or Bore Permit Application		✓			Dated:
TX-Dot Water UIR Permit			✓		
TX-Dot Sewer UIR Permit			✓		
N.O.I. Submittal		✓			Dated:
SWPP Booklet Submittal		✓			Dated:
RFI #1 Request		✓			Dated:
Change Orders		✓			Dated:
Final Walk Though		✓			Dated:
Punch List		✓			Dated:
Punch List (Completed and Approved)		✓			Dated:
Letter of Acceptance		✓			Dated:
1-year Warranty (Water/Sewer/Paving/Drainage)		✓			Dated:
Backfill Testing Results		✓			Dated:
As-Builts (Revised Original Submittal)		✓			Dated:

Recording Process:

Public Improvements with (Letter of Credit)		✓			Dated:	Expires:
Recording Fees	\$ 106.00	✓			As required by County Clerks office	
Copy of H.C.D.D. #1 of invoice		✓			Required to be paid prior to Final Stages	
Street Light Escrow	\$ -	✓			Required: 0	EA. @ \$ -
Street Escrow (Cesar Chavez Road)	\$ -	✓			Required: 153	EA. @ \$ -
Sidewalk Escrow (Cesar Chavez Road)	\$ 3,825.00	✓			Required: 153	LF @ \$ 25.00
TOTAL OF ESCROWS:	\$ 3,825.00					
Total Developer's Construction Cost: (Letter of Credit)					Date :	Lender :
Laboratory Testing Fee: 3%	\$ -	✓			\$ -	Estimated Construction Cost
Inspection Fee: 2%	\$ -	✓			\$ -	Final Construction Cost
Park Land Fees: Park Zone # 6	\$ -		✓		0 Lots @ \$ -	Full rate within the ETJ
82 Residential \$ 300.00	\$ 24,600.00		✓		50% Development	50% Building Stage
0 Multi-Family \$ -	\$ -	✓			0% Development	0% Building Stage
Water Rights: NAWSC - CCN	\$ -		✓		17.940	Acres \$ 2,896.81
Water 30-year Letter (Residential)	\$ -		✓		82	Lots @ \$ - NAWSC WATER-CCN
Water 30-year Letter (Multi-Family)	\$ -		✓		0	Lots @ \$ -
Sewer 30-year Letter NAWSC - CCN	\$ -		✓		82	Lots @ \$ - NAWSC SEWER-CCN
TOTAL OF FEES:	\$ 24,600.00					

Reimbursements:

Developer Sewer Improvements	\$ -		✓		Off-Site System: 0.000	AC	\$ -
Developer Water Improvements	\$ -		✓		Off-Site System 0.00	AC	\$ -
TOTAL OF REIMBURSEMENTS:	\$ -						

Buyouts:

North Alamo Water Supply Corporation	\$ -	✓			Required Buyout 0.00	AC.	\$ -
Sharyland Water Supply Corporation			✓		Not Applicable		

Tax Certificates

County of Hidalgo / School District		✓					
Water District		✓			Hidalgo County Irrigation District # 1		

Total of Escrows, Fees, Reimbursements and Buyouts:

Escrows	\$ 3,825.00	Street & Sidewalk Improvements for Trenton Road (Not Required)					
Inspections other Fees	\$ 24,600.00	Parkland Fees, Water/Sewer 30-year Agreement/Water Rights					
Reimbursements	\$ -	Reimbursement to the Developer of Subdivision					
City of Edinburg	\$ -	15% Payable to the City of Edinburg for Administrative Fee					
To the Developer of Record	\$ -	85% Payable to the Developer of Record Owner / Developer					
Buyouts	\$ -	Based on Subdivision (Need Request and Approval rate from ? Broad)					
TOTAL :	\$ 28,425.00	Developer Total Cost of Fees, Escrows, Reimbursements & Buyouts					

STAFF REPORT: ALBERTA HEIGHTS SUBDIVISION PHASE II

Date Prepared: January 13, 2022
Planning and Zoning Meeting: January 17, 2022
Agenda Item: 7D Preliminary Plat

Subject: Consider the Preliminary Plat of **ALBERTA HEIGHTS SUBDIVISION PHASE II**, being a 3.261-acre tract out of land out of Lot 53, Kelly-Pharr Subdivision, located at 801 West Alberta Road, as requested by Trevino Engineering.

Location: The property is located on the north side of West Alberta Rd, west of Closner Blvd and is within the City of Edinburg City Limits

Zoning: The property is zoned Auto Urban Residential

Analysis: The Preliminary Plat proposes single-family residential development with a total of fourteen (14) lots averaging approximately 6,450 sq. ft. with set backs as follows: Front 20 ft., Side 6 ft., and Rear 20 ft. This subdivision does not comply with the 800 ft. Block length requirement.

Utilities: Water Distribution System is within North Alamo Water Supply Corporation, service CCN and Sanitary Sewer System an O.S.S.F. County septic system. All utility improvements within the proposed subdivision that are not limited to water, OSSF sewer, curb & gutter, and fire hydrants will be installed by the developer in accordance with the approved 2014 Standards Manual.

Recommendations:

City of Edinburg Planning & Zoning Department:

Staff recommends approval of the Preliminary Plat, subject to the compliance with the Unified Development Code, General Notes; on FEMA flood zone, zoning, setbacks, finish floor elevation, benchmark, drainage detention, parkland fees, limited access, SWP3 requirements, sidewalks, and other notes as required based on development.

City of Edinburg Engineering / Utilities Department:

Preliminary Phase Submittal comments for this subdivision are included in the packet. As per Engineering, the plat shall be Preliminarily Approved until all comments have been addressed by the project engineer.

City of Edinburg Fire Department:

The following are the preliminary phase submittal comments as noted by the Fire Department:

1. Provide street names to the City of Edinburg Engineering Department for approval.
2. Fire lane 15 ft. in width shall be painted in front of all fire hydrants.
3. Provide double face blue fire hydrant street marker on center on the street in front of the fire hydrant.
4. Fire hydrant shall be every 600 ft. for one and two family dwellings as per Section 507.5.1 of 2012 IFC.
5. All streets should be 32 ft. B-B paving section according to Table 8.204 of the Edinburg Unified Development Code.

City of Edinburg Storm Water:

The following are the preliminary phase submittal comments as noted by Storm Water:

1. **SW3P** (Stormwater Pollution Prevention Plan)
2. **NOI** (Notice of Intent, Per TCEQ)
3. **Large Construction Notice** (Per TCEQ Inventory)
4. **Detailed Erosion Control Plan** (Silt Fence, Construction Entrance, Inlet Protection, Concrete Washout)
5. **Detailed Post Construction BMP's Plan** (70% Vegetation or Silt Fence back of curb)
6. **Plat Note** (All construction shall comply with Stormwater Pollution Prevention Plan (SW3P) requirements. Erosion and Sedimentation Controls constructed in accordance with the Stormwater Ordinance 98.30 of the City of Edinburg are required for all construction on each lot including single family and duplex/multi-family construction)
7. **NOT** (Notice of Termination, Per TCEQ) will now be required before the final walk through.
8. **Comments:**
 - SW3P Plat note has been revised. Please see the note for your reference.
 - NOT will need to be submitted before the final walk through.
 - Stormwater is now requiring a Post Construction Plan on plans that are submitted, either 70% vegetation or Install Silt Fence behind the back of curb.
 - Silt Fence around the entire project.
 - Large Construction Notice needs to be submitted with contractors contact information.
 - All items must be submitted before the NTP is issued.
 - Please email pending items to rvalenzuela@cityofedinburg.com

City of Edinburg Solid Waste:

Single Family Residential Development within the City of Edinburg - ETJ.



ENGINEERING DEPARTMENT

Preliminary Staff Review

January 11, 2022

Iden I. Treviño, P.E.

Treviño Engineering
200 S. 10th. St. Ste. 1303
McAllen, TX 78501
(956) 283-8847

RE: ALBERTA HEIGHTS PHASE II SUBDIVISION– PRELIMINARY REVIEW

Mr. Treviño,

Attached are the Preliminary Phase Submittal comments for Alberta Heights Phase 2 Subdivision. Submittal is adequate as presented and recommended for preliminary approval.

Any questions feel free to contact us.



Thanks,

Digitally signed by Peter
Hermida
Date: 2022.01.11
17:37:34 -06'00'

Peter Hermida E.I.T.

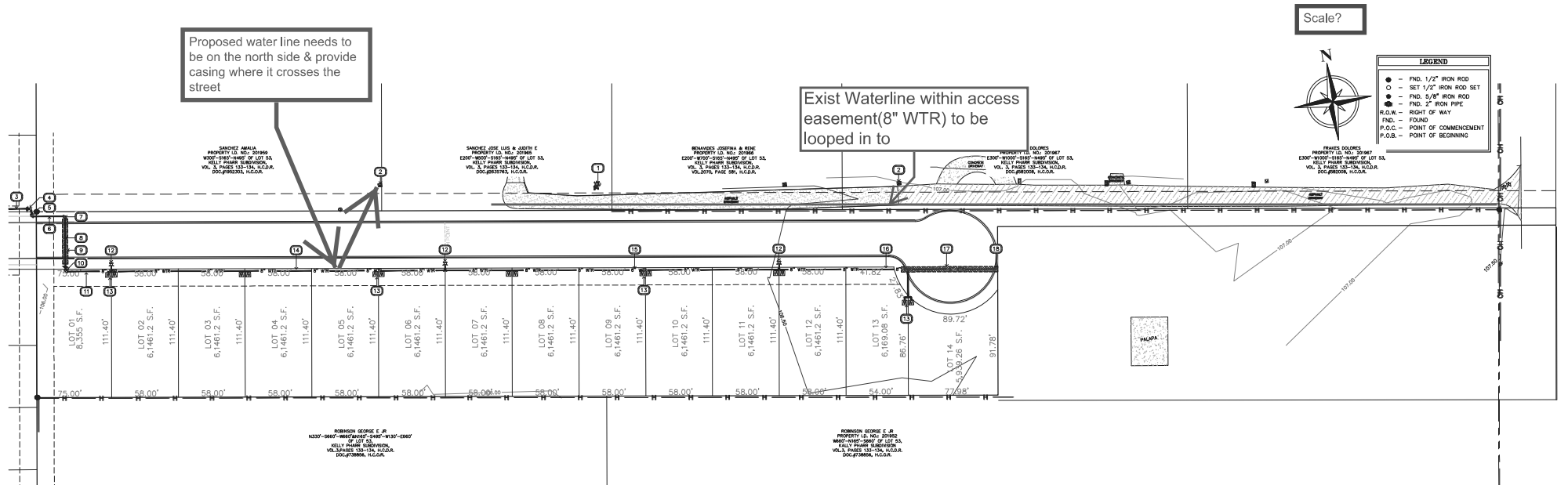
Email: phermida@cityofedinburg.com

415 W. University Drive
Edinburg, Texas 78539

Cc: Mardoqueo Hinojosa, P.E., CFM, City Engineer, Patrizia Longoria, Engineer III, Roberto Hernandez, Engineer I, Abel Beltran, Planner I, Vince Romero, Director of Public Works, Robert Valenzuela, Storm Water Specialist, Kimberly Mendoza, Director of Planning and Zoning, Rita Lee Guerrero, Planner I, Jaime Xavier Ayala, Planner II, Gerardo Carmona P.E., Director of Utilities, Jose Flores, Systems Superintendent, Omar Garza, Fire Marshal, Ramiro Gomez, Director of Solid Waste

REFERENCES:

City of Edinburg – 2014 Standard Manual – Construction and Development Requirements; Unified Development Code; and if required a TX-Dot Permitting UIR permitting process.



UTILITY PLAN KEYNOTES

1. EXISTING FIRE HYDRANT TO REMAIN IN PLACE.
2. EXISTING WATER METER TO REMAIN IN PLACE.
3. EXISTING 8" WATER LINE FROM ALBERTA HEIGHTS PHASE I.
4. TIE INTO EXISTING 8" WATER LINE WITH AN 8" 90° ELBOW.
5. PROPOSED
 - 1) 8" PVC C-100 WATER LINE ~ 6.0 L.F.
 - 1) 90° PVC ELBOW
6. PROPOSED 8" PVC C-100 WATER LINE ~ 29.50 L.F.
7. PROPOSED 8" PVC 90° ELBOW.
8. PROPOSED 8" PVC C-100 WATER LINE ~ 48.0 L.F.
9. PROPOSED DR-25 BLUE PVC PIPE FOR CASING, EXTEND 2 FEET FROM BACK OF CURB ~ 36.0 L.F.
10. PROPOSED
 - 1) 8" GATE VALVE & BOX.
 - 1) 90° PVC ELBOW
11. PROPOSED 8" PVC C-100 WATER LINE ~ 40.0 L.F.
12. PROPOSED
 - 1) 8" GATE VALVE & BOX
 - 1) FIRE HYDRANT ASSEMBLY
13. PROPOSED 3/4" DUAL SERVICE
14. PROPOSED 8" PVC C-100 WATER LINE ~ 290.0 L.F.
15. PROPOSED 8" PVC C-100 WATER LINE ~ 290.0 L.F.
16. PROPOSED 8" PVC C-100 WATER LINE ~ 190.0 L.F.
17. PROPOSED DR-25 BLUE PVC PIPE FOR CASING, EXTEND 2 FEET FROM BACK OF CURB ~ 84.0 L.F.
18. PROPOSED 8" FLASH VALVE.

PRINCIPAL CONTACTS:

NAME	ADDRESS	CITY & ZIP	PHONE
OWNER: URBAN CITY DEVELOPERS, LLC.	4501 EXPRESSWAY 83	McALLEN, TEXAS 78503	(956) 358-1212
ENGINEER: IDEN I. TREVINO, P.E.	200 S. 10TH ST. SUITE 1303	McALLEN, TEXAS 78501	(956) 283-8847
SURVEYOR: HOMERO L. GUTIERREZ, RPLS.	P.O. BOX 548	McALLEN, TEXAS 78505	(956) 249-8061

ALBERTA HEIGHTS SUBDIVISION PHASE II

A 3.261-ACRE TRACT OF LAND (3.33 ACRES RECORDED) OUT OF LOT 53, KELLY PHARR SUBDIVISION, AS PER THE MAP OR PLAT THEREOF RECORDED IN VOLUME 3, PAGES 133 & 134, DEED RECORDS IN THE OFFICE OF THE COUNTY CLERK OF HIDALGO COUNTY, TEXAS, REFERENCE TO WHICH IS HERE MADE FOR ALL PURPOSES, LOCATED ON THE WEST SIDE OF SOUTH BUSINESS US 281 APPROXIMATELY 810 FEET NORTH OF ALBERTA ROAD IN THE CITY OF EDINBURG.

STATE OF TEXAS
COUNTY OF HIDALGO

I, THE UNDERSIGNED, IDEN I. TREVINO, A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN TO THIS PLAN.

IDEN I. TREVINO, PE

No. 92036

11/30/2021
DATE



DATE OF PREPARATION: OCTOBER 11, 2021

WATER LINE DISTRIBUTION - PLAN

C1.0



TREVISIO ENGINEERING

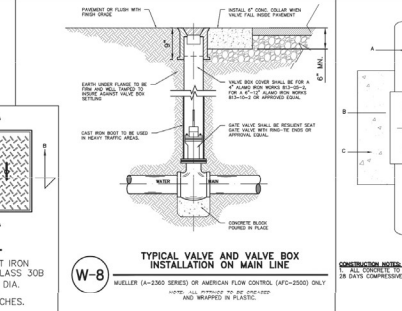
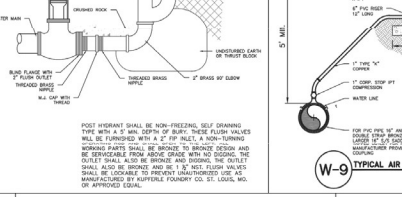
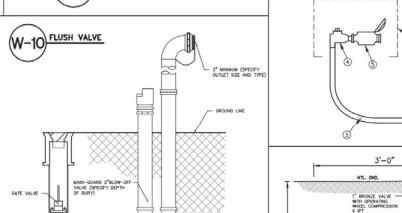
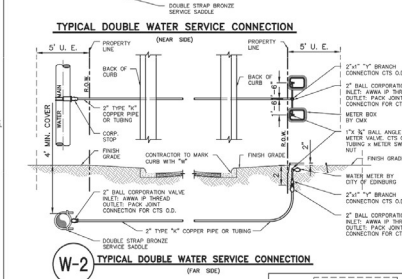
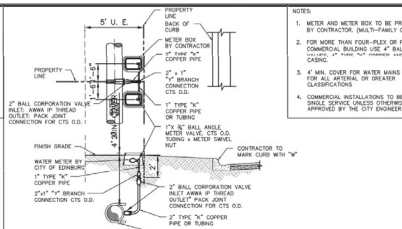
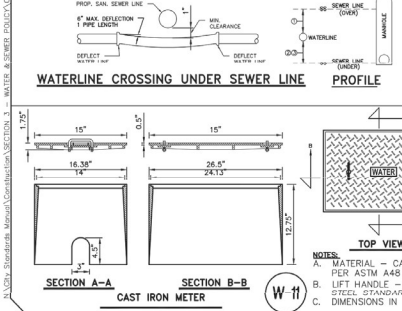
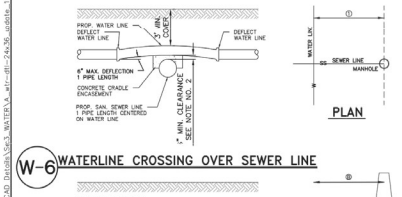
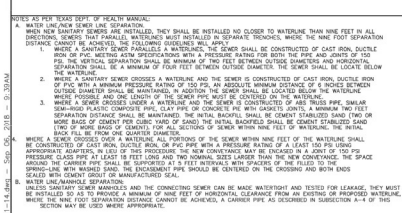
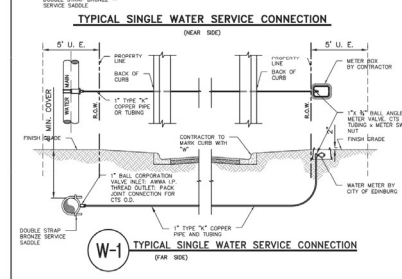
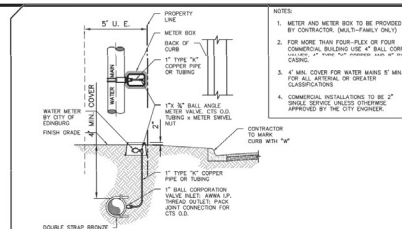
FIRM No. F-7906

TEL No. (956) 283-8847

200 S. 10th St. Ste. 1303

McAllen, Texas 78501

ident@trevisoengineering.com



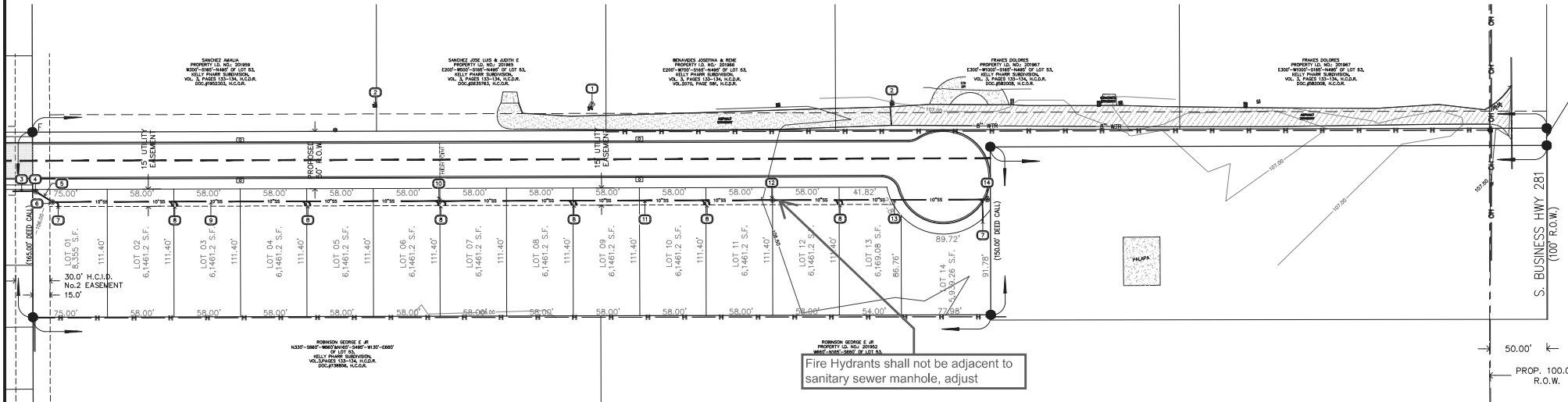
THURST BLOCK SIZE

DIAMETER OF PIPES	SURFACE AREA (SQ. FT.)	THICKNESS IN INCHES	HEIGHT AT JOINT (INCHES)
24-1/2" BENDS			
6" OR LESS	2	8	1,500
8" OR LESS	3	12	3,000
10" OR LESS	4	16	4,500
12" OR LESS	5	20	6,000
14" OR LESS	6	24	7,500
16" OR LESS	7	28	9,000
18" OR LESS	8	32	10,500
20" OR LESS	9	36	12,000
22" OR LESS	10	40	13,500
24" OR LESS	11	44	15,000
26" OR LESS	12	48	16,500
28" OR LESS	13	52	18,000
30" OR LESS	14	56	19,500
32" OR LESS	15	60	21,000
34" OR LESS	16	64	22,500
36" OR LESS	17	68	24,000
38" OR LESS	18	72	25,500
40" OR LESS	19	76	27,000
42" OR LESS	20	80	28,500
44" OR LESS	21	84	30,000
46" OR LESS	22	88	31,500
48" OR LESS	23	92	33,000
50" OR LESS	24	96	34,500
52" OR LESS	25	100	36,000
54" OR LESS	26	104	37,500
56" OR LESS	27	108	39,000
58" OR LESS	28	112	40,500
60" OR LESS	29	116	42,000
62" OR LESS	30	120	43,500
64" OR LESS	31	124	45,000
66" OR LESS	32	128	46,500
68" OR LESS	33	132	48,000
70" OR LESS	34	136	49,500
72" OR LESS	35	140	51,000
74" OR LESS	36	144	52,500
76" OR LESS	37	148	54,000
78" OR LESS	38	152	55,500
80" OR LESS	39	156	57,000
82" OR LESS	40	160	58,500
84" OR LESS	41	164	60,000
86" OR LESS	42	168	61,500
88" OR LESS	43	172	63,000
90" OR LESS	44	176	64,500
92" OR LESS	45	180	66,000
94" OR LESS	46	184	67,500
96" OR LESS	47	188	69,000
98" OR LESS	48	192	70,500
100" OR LESS	49	196	72,000
102" OR LESS	50	200	73,500
104" OR LESS	51	204	75,000
106" OR LESS	52	208	76,500
108" OR LESS	53	212	78,000
110" OR LESS	54	216	79,500
112" OR LESS	55	220	81,000
114" OR LESS	56	224	82,500
116" OR LESS	57	228	84,000
118" OR LESS	58	232	85,500
120" OR LESS	59	236	87,000
122" OR LESS	60	240	88,500
124" OR LESS	61	244	90,000
126" OR LESS	62	248	91,500
128" OR LESS	63	252	93,000
130" OR LESS	64	256	94,500
132" OR LESS	65	260	96,000
134" OR LESS	66	264	97,500
136" OR LESS	67	268	99,000
138" OR LESS	68	272	100,500
140" OR LESS	69	276	102,000
142" OR LESS	70	280	103,500
144" OR LESS	71	284	105,000
146" OR LESS	72	288	106,500
148" OR LESS	73	292	108,000
150" OR LESS	74	296	109,500
152" OR LESS	75	300	111,000
154" OR LESS	76	304	112,500
156" OR LESS	77	308	114,000
158" OR LESS	78	312	115,500
160" OR LESS	79	316	117,000
162" OR LESS	80	320	118,500
164" OR LESS	81	324	120,000
166" OR LESS	82	328	121,500
168" OR LESS	83	332	123,000
170" OR LESS	84	336	124,500
172" OR LESS	85	340	126,000
174" OR LESS	86	344	127,500
176" OR LESS	87	348	129,000
178" OR LESS	88	352	130,500
180" OR LESS	89	356	132,000
182" OR LESS	90	360	133,500
184" OR LESS	91	364	135,000
186" OR LESS	92	368	136,500
188" OR LESS	93	372	138,000
190" OR LESS	94	376	139,500
192" OR LESS	95	380	141,000
194" OR LESS	96	384	142,500
196" OR LESS	97	388	144,000
198" OR LESS	98	392	145,500
200" OR LESS	99	396	147,000
202" OR LESS	100	400	148,500
204" OR LESS	101	404	150,000
206" OR LESS	102	408	151,500
208" OR LESS	103	412	153,000
210" OR LESS	104	416	154,500
212" OR LESS	105	420	156,000
214" OR LESS	106	424	157,500
216" OR LESS	107	428	159,000
218" OR LESS	108	432	160,500
220" OR LESS	109	436	162,000
222" OR LESS	110	440	163,500
224" OR LESS	111	444	165,000
226" OR LESS	112	448	166,500
228" OR LESS	113	452	168,000
230" OR LESS	114	456	169,500
232" OR LESS	115	460	171,000
234" OR LESS	116	464	172,500
236" OR LESS	117	468	174,000
238" OR LESS	118	472	175,500
240" OR LESS	119	476	177,000
242" OR LESS	120	480	178,500
244" OR LESS	121	484	180,000
246" OR LESS	122	488	181,500
248" OR LESS	123	492	183,000
250" OR LESS	124	496	184,500
252" OR LESS	125	500	186,000
254" OR LESS	126	504	187,500
256" OR LESS	127	508	189,000
258" OR LESS	128	512	190,500
260" OR LESS	129	516	192,000
262" OR LESS	130	520	193,500
264" OR LESS	131	524	195,000
266" OR LESS	132	528	196,500
268" OR LESS	133	532	198,000
270" OR LESS	134	536	199,500
272" OR LESS	135	540	201,000
274" OR LESS	136	544	202,500
276" OR LESS	137	548	204,000
278" OR LESS	138	552	205,500
280" OR LESS	139	556	207,000
282" OR LESS	140	560	208,500
284" OR LESS	141	564	210,000
286" OR LESS	142	568	211,500
288" OR LESS	143	572	213,000
290" OR LESS	144	576	214,500
292" OR LESS	145	580	216,000
294" OR LESS	146	584	217,500
296" OR LESS	147	588	219,000
298" OR LESS	148	592	220,500
300" OR LESS	149	596	222,000
302" OR LESS	150	600	223,500
304" OR LESS	151	604	225,000
306" OR LESS	152	608	226,500
308" OR LESS	153	612	228,000
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312" OR LESS	155	620	231,000
314" OR LESS	156	624	232,500
316" OR LESS	157	628	234,000
318" OR LESS	158	632	235,500
320" OR LESS	159	636	237,000
322" OR LESS	160	640	238,500
324" OR LESS	161	644	240,000
326" OR LESS	162	648	241,500
328" OR LESS	163	652	243,000
330" OR LESS	164	656	244,500
332" OR LESS	165	660	246,000
334" OR LESS	166	664	247,500
336" OR LESS	167	668	249,000
338" OR LESS	168	672	250,500
340" OR LESS	169	676	252,000
342" OR LESS	170	680	253,500
344" OR LESS	171	684	255,000
346" OR LESS	172	688	256,500
348" OR LESS	173	692	258,000
350" OR LESS	174	696	259,500
352" OR LESS	175	700	261,000
354" OR LESS	176	704	262,500
356" OR LESS	177	708	264,000
358" OR LESS	178	712	265,500
360" OR LESS	179	716	267,000
362" OR LESS	180	720	268,500
364" OR LESS	181	724	270,000
366" OR LESS	182	728	271,500
368" OR LESS	183	732	273,000
370" OR LESS	184	736	274,500
372" OR LESS	185	740	276,000
374" OR LESS	186	744	277,500
376" OR LESS	187	748	279,000
378" OR LESS	188	752	280,500
380" OR LESS	189	756	282,000
382" OR LESS	190	760	283,500
384" OR LESS	191	764	285,000
386" OR LESS	192	768	286,500
388" OR LESS	193	772	288,000
390" OR LESS	194	776	289,500
392" OR LESS	195	780	291,000
394" OR LESS	196	784	292,500
396" OR LESS	197	788	294,000
398" OR LESS	198	792	295,500
400" OR LESS	199	796	297,000
402" OR LESS	200	800	298,500
404" OR LESS	201	804	300,000
406" OR LESS	202	808	301,500
408" OR LESS	203	812	303,000
410" OR LESS	204	816	304,500
412" OR LESS	205	820	306,000
414" OR LESS	206	824	307,500
416" OR LESS	207	828	309,000
418" OR LESS	208	832	310,500
420" OR LESS	209	836	312,000
422" OR LESS	210	840	313,500
424" OR LESS	211	844	315,000
426" OR LESS	212	848	316,500
428" OR LESS	213	852	318,000
430" OR LESS	214	856	319,500
432" OR LESS	215	860	321,000
434" OR LESS	216	864	322,500
436" OR LESS	217	868	324,000
438" OR LESS	218	872	325,500
440" OR LESS	219	876	327,000
442" OR LESS	220	880	328,500
444" OR LESS	221	884	330,000
446" OR LESS	222	888	331,500
448" OR LESS	223	892	33

Plans are not to scale



LEGEND	
●	- FND. 1/2" IRON ROD
○	- SET 1/2" IRON ROD SET
●	- FND. 5/8" IRON ROD
●	- FND. 2" IRON PIPE
R.O.W.	- RIGHT OF WAY
FND.	- FOUND
P.O.C.	- POINT OF COMMENCEMENT
P.O.B.	- POINT OF BEGINNING



Verify slope

UTILITY PLAN KEYNOTES

- 1 EXISTING FIRE HYDRANT TO REMAIN IN PLACE.
- 2 EXISTING WATER METER TO REMAIN IN PLACE.
- 3 EXISTING 10" SEWER LINE FROM ALBERTA HEIGHTS PHASE I
- 4 EXISTING MANHOLE
TOP = 106.80
FL = 100.47
- 5 PROPOSED 10" SDR-26 PVC SEWER LINE @ 0.25% SLOPE ~ 13.0 L.F.
- 6 PROPOSED MANHOLE
TOP = 106.70
FL = 100.50
- 7 PROPOSED
1) 4" SINGLE SEWER SERVICE
- 8 PROPOSED
2) 4" SINGLE SEWER SERVICE
- 9 PROPOSED 10" SDR-26 PVC SEWER LINE @ 0.25% SLOPE ~ 334.0 L.F.
- 10 PROPOSED MANHOLE
TOP = 107.00
FL = 101.33
- 11 PROPOSED 10" SDR-26 PVC SEWER LINE @ 0.25% SLOPE ~ 286.0 L.F.
- 12 PROPOSED MANHOLE
TOP = 108.70
FL = 102.05
- 13 PROPOSED 10" SDR-26 PVC SEWER LINE @ 0.25% SLOPE ~ 183.0 L.F.
- 14 PROPOSED MANHOLE
TOP = 107.20
FL = 102.51

ALBERTA HEIGHTS SUBDIVISION PHASE II

A 3.261-ACRE TRACT OF LAND (3.33 ACRES RECORDED) OUT OF LOT 53, KELLY PHARR SUBDIVISION, AS PER THE MAP OR PLAT THEREOF RECORDED IN VOLUME 3, PAGES 133 & 134, DEED RECORDED IN THE OFFICE OF THE COUNTY CLERK OF HIDALGO COUNTY, TEXAS, REFERENCE TO WHICH IS HERE MADE FOR ALL PURPOSES, LOCATED ON THE WEST SIDE OF SOUTH BUSINESS US 281 APPROXIMATELY 810 FEET NORTH OF ALBERTA ROAD IN THE CITY OF EDINBURG.

STATE OF TEXAS
COUNTY OF HIDALGO

I, THE UNDERSIGNED, IDEN L. TREVIÑO, A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN TO THIS PLAT.

IDEN L. TREVIÑO, P.E.

NO. 92036
DATE 11/30/2021



DATE OF PREPARATION: APRIL 22, 2020

SANITARY SEWER LAYOUT

C2.0

PRINCIPAL CONTACTS:			
OWNER:	NAME	ADDRESS	CITY & ZIP
ENGINEER:	URBAN CITY DEVELOPERS, LLC	4501 EXPRESSWAY 83	McALLEN, TEXAS 78503
SURVEYOR:	IDEN L. TREVIÑO, P.E.	200 S. 10TH ST. SUITE 1303	McALLEN, TEXAS 78501
	HOMERO L. GUTIERREZ, RPLS	P.O. BOX 548	McALLEN, TEXAS 78505
			PHONE (956) 358-1212
			(956) 283-8847
			(956) 249-8061



TREÑO ENGINEERING

FIRM No. F-7906
TEL No. (956) 283-8847
200 S. 10th St. Ste. 1303
McAllen, Texas 78501
ident@treñoengineering.com

FILE NAME:
DATE: MAY, 2019
SURVEYED BY:
DESIGNED BY: JAG/GC
DRAWN BY: RM
REVISED BY: JAG/GC
CHECKED BY: JP/GC

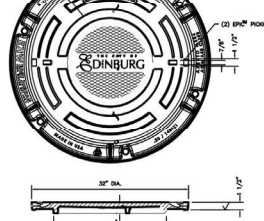
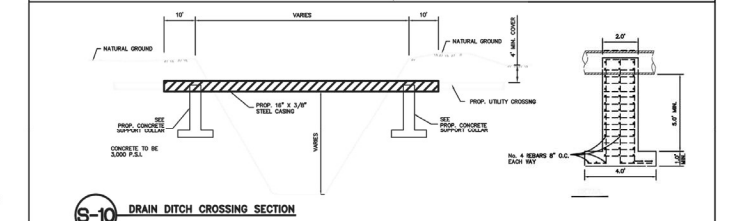
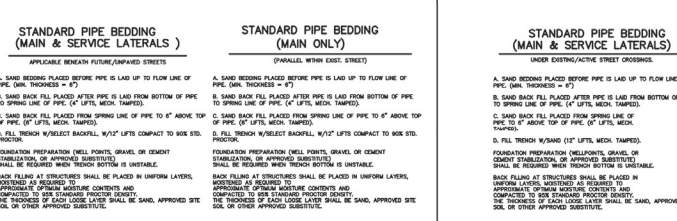
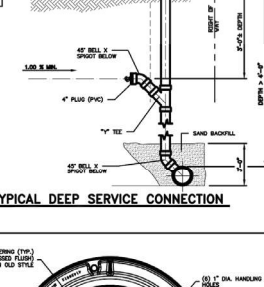
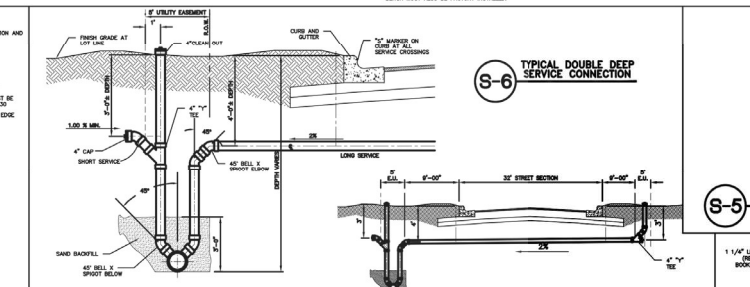
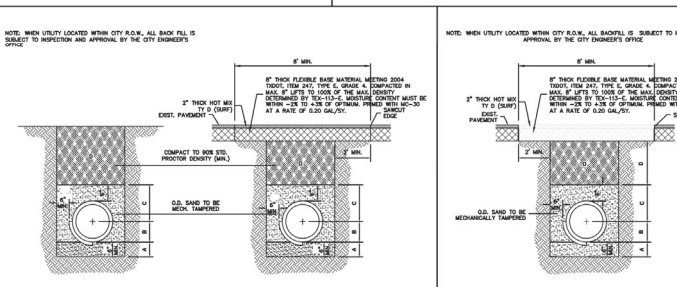
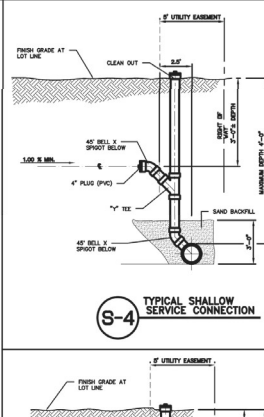
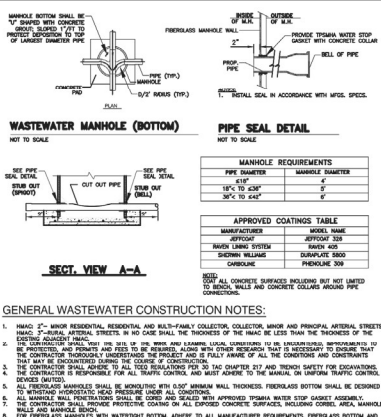
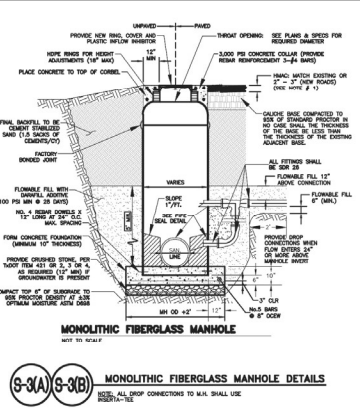
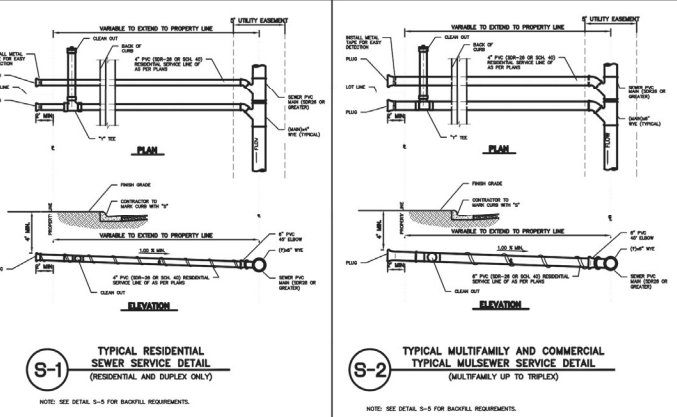
SANITARY SEWER COLLECTION SYSTEM
STANDARD DETAILS



THE CITY OF
Edinburg
TEXAS

HOR: 1" = NTS
VERT: 1" = NTS
SCALE:
SHEET NO.: 1 OF 1
DATE:

C2.1



SEWER STANDARD PIPE BEDDING

APPLICABLE BENEATH FUTURE/IMPROVED STREETS

A. SAND BEDDING PLACED BEFORE PIPE IS LAD UP TO FLOW LINE OF PIPE. (MIN. THICKNESS = 4")

B. SAND BACK FILL PLACED AFTER PIPE IS LAD FROM BOTTOM OF PIPE TO SPRING LINE OF PIPE. (4" LIFTS, MECH. TAMPED)

C. SAND BACK FILL PLACED FROM SPRING LINE OF PIPE TO 6" ABOVE TOP OF PIPE. (4" LIFTS, MECH. TAMPED)

D. FILL TRENCH W/SELECT BACKFILL, 1/2" LIFTS COMPACT TO MEET STD. PROSPEC.

FOUNDATION PREPARATION (WELL POINTS, GRAVEL OR CONCRETE STABILIZATION, OR APPROVED SUBSTITUTE) SHALL BE REQUIRED WHEN TRENCH BOTTOM IS UNSTABLE.

BACK FILLING AT STRUCTURES SHALL BE PLACED IN UNIFORM LAYERS, WORKED AS REQUIRED TO APPROXIMATE OPTIMUM MOISTURE CONTENTS AND COMPACTED TO MEET STANDARD PROCTOR DENSITY.

THE THICKNESS OF EACH LAYER SHALL BE SAND, APPROVED SITE USE, OR OTHER APPROVED SUBSTITUTE.

NOTE: ALL EXISTING/ACTIVE STREET CROSSINGS SHALL REQUIRE SAND BACKFILL OF EXIST. TRENCH. (SEE DETAIL S-4)

SEWER STANDARD PIPE BEDDING (MAIN ONLY)

APPLICABLE BENEATH EXIST. STREETS

A. SAND BEDDING PLACED BEFORE PIPE IS LAD UP TO FLOW LINE OF PIPE. (MIN. THICKNESS = 4")

B. SAND BACK FILL PLACED AFTER PIPE IS LAD FROM BOTTOM OF PIPE TO SPRING LINE OF PIPE. (4" LIFTS, MECH. TAMPED)

C. SAND BACK FILL PLACED FROM SPRING LINE OF PIPE TO 6" ABOVE TOP OF PIPE. (4" LIFTS, MECH. TAMPED)

D. FILL TRENCH W/SELECT BACKFILL, 1/2" LIFTS COMPACT TO MEET STD. PROSPEC.

FOUNDATION PREPARATION (WELL POINTS, GRAVEL OR CONCRETE STABILIZATION, OR APPROVED SUBSTITUTE) SHALL BE REQUIRED WHEN TRENCH BOTTOM IS UNSTABLE.

BACK FILLING AT STRUCTURES SHALL BE PLACED IN UNIFORM LAYERS, WORKED AS REQUIRED TO APPROXIMATE OPTIMUM MOISTURE CONTENTS AND COMPACTED TO MEET STANDARD PROCTOR DENSITY.

THE THICKNESS OF EACH LAYER SHALL BE SAND, APPROVED SITE USE, OR OTHER APPROVED SUBSTITUTE.

NOTE: ALL EXISTING/ACTIVE STREET CROSSINGS SHALL REQUIRE SAND BACKFILL OF EXIST. TRENCH. (SEE DETAIL S-4)

UTILITY CROSSING AT EXIST./ACTIVE STREET DETAIL (WATER/SEWER)

UNDER EXISTING/ACTIVE STREET CROSSINGS

A. SAND BEDDING PLACED BEFORE PIPE IS LAD UP TO FLOW LINE OF PIPE. (MIN. THICKNESS = 4")

B. SAND BACK FILL PLACED AFTER PIPE IS LAD FROM BOTTOM OF PIPE TO SPRING LINE OF PIPE. (4" LIFTS, MECH. TAMPED)

C. SAND BACK FILL PLACED FROM SPRING LINE OF PIPE TO 6" ABOVE TOP OF PIPE. (4" LIFTS, MECH. TAMPED)

D. FILL TRENCH W/SELECT BACKFILL, 1/2" LIFTS COMPACT TO MEET STD. PROSPEC.

FOUNDATION PREPARATION (WELL POINTS, GRAVEL OR CONCRETE STABILIZATION, OR APPROVED SUBSTITUTE) SHALL BE REQUIRED WHEN TRENCH BOTTOM IS UNSTABLE.

BACK FILLING AT STRUCTURES SHALL BE PLACED IN UNIFORM LAYERS, WORKED AS REQUIRED TO APPROXIMATE OPTIMUM MOISTURE CONTENTS AND COMPACTED TO MEET STANDARD PROCTOR DENSITY.

THE THICKNESS OF EACH LAYER SHALL BE SAND, APPROVED SITE USE, OR OTHER APPROVED SUBSTITUTE.

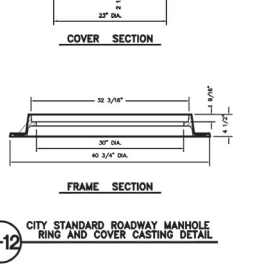
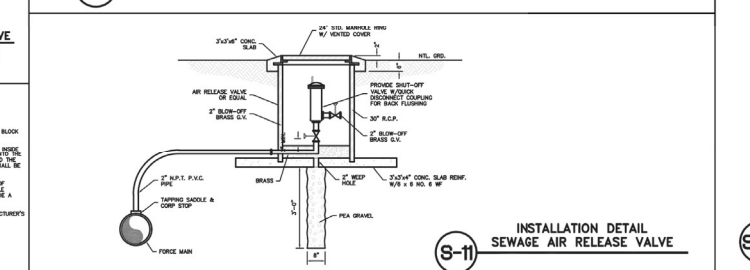
NOTE: ALL EXISTING/ACTIVE STREET CROSSINGS SHALL REQUIRE SAND BACKFILL OF EXIST. TRENCH. (SEE DETAIL S-4)

UTILITY LINE BORE

GENERAL NOTES:

1. ALL STEEL CASING SHALL BE WELDED.
2. STEEL CASING SHALL BE CLOSED AT EACH END USING BRICK OR BLOCK AND MASONRY GROUTED.
3. CASING SPACERS SHALL BE USED TO INSTALL THE CASING. PIPE HOLE SPACERS SHALL BE USED TO HOLD THE CASING IN PLACE. CASING SPACERS SHALL BE USED TO HOLD THE CASING IN PLACE.
4. PROTECTION - TYPE CASING SPACERS SHALL BE CONSTRUCTED OF HIGH DENSITY POLYETHYLENE CASING SPACERS 6" OR 8" DIA. (MAX).
5. INSTALLATION AND SIZE OF SPACERS SHALL BE AS PER MANUFACTURER'S RECOMMENDATIONS.

CARRIER PIPE SIZE	PIPE CASING SIZE	MIN. WALL THICKNESS
6"	14"	0.187"
8"	16"	0.207"
10"	18"	0.227"
12"	20"	0.247"
14"	22"	0.267"
16"	24"	0.287"
18"	26"	0.307"
20"	28"	0.327"
22"	30"	0.347"
24"	32"	0.367"
26"	34"	0.387"
28"	36"	0.407"
30"	38"	0.427"



ALBERTA HEIGHTS
SUBDIVISION PHASE II

STATE OF TEXAS
COUNTY OF HIDALGO

I, THE UNDERSIGNED, IDEN I. TREVIÑO, A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN TO THIS PLAN.

DATE: 11/30/21
NO. 92536

DATE OF PREPARATION: APRIL 22, 2020



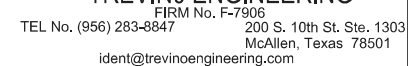
SANITARY SEWER - DETAILS

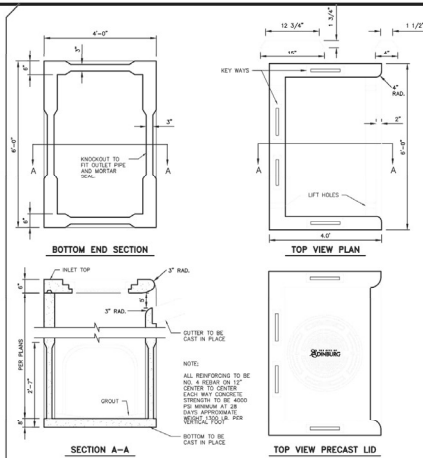
TREVIÑO ENGINEERING
FIRM No. F-7906
TEL No. (956) 283-8847
200 S. 10th St. Ste. 1303
McAllen, Texas 78501
ident@trevinoengineering.com

LEGEND

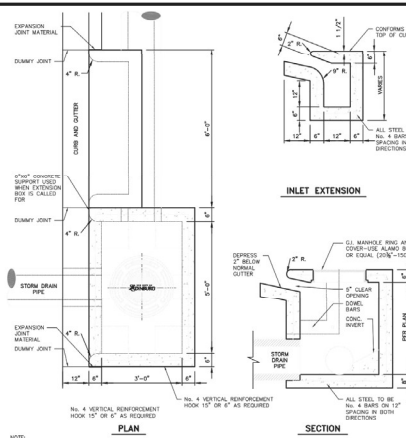
- - FND. 1/2" IRON ROD
- - SET 1/2" IRON ROD SET
- - FND. 5/8" IRON ROD
- ⊙ - FND. 2" IRON PIPE

R.O.W. - RIGHT OF WAY
FND. - FOUND
P.O.C. - POINT OF COMMENCEMENT
P.O.B. - POINT OF BEGINNING

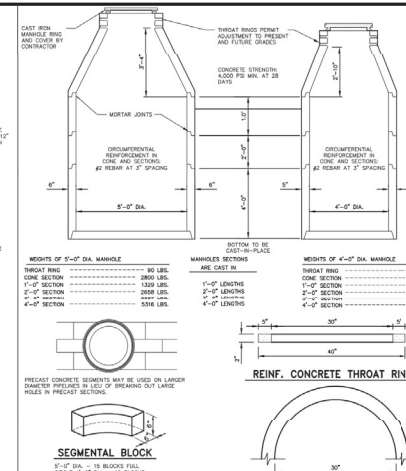




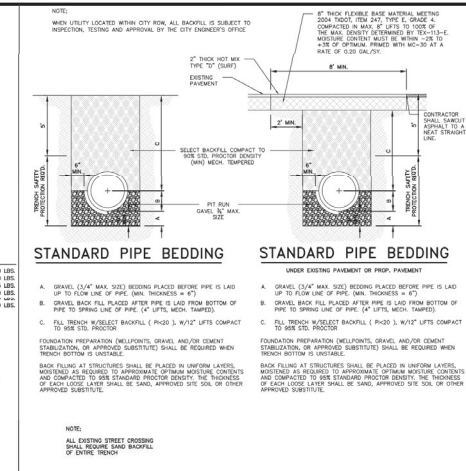
D-1 PRECAST TYPE "A" INLET



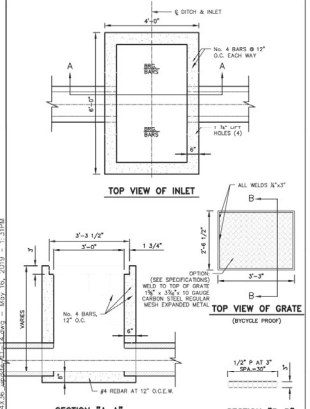
D-2 TYPE "A" INLET WITH EXTENSION - DETAILS



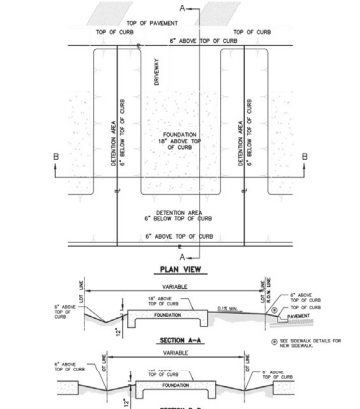
D-4 PRECAST CONCRETE MANHOLES - DETAILS



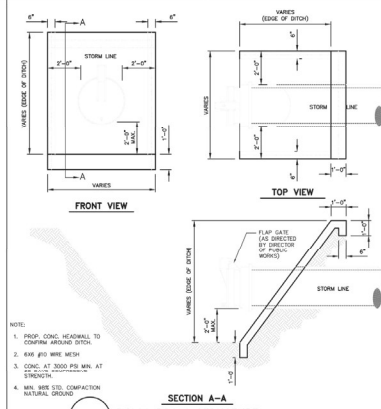
D-8 STANDARD PIPE BEDDING - DETAILS



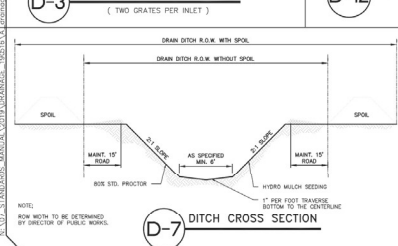
D-3 TYPE "C-C" GRATED INLET
(2 GRATES PER INLET)



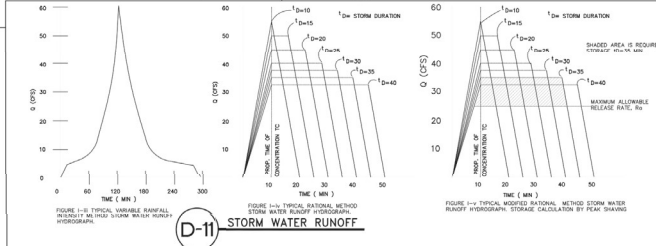
D-12 TYPICAL LOT LAYOUT GRADING DETAILS



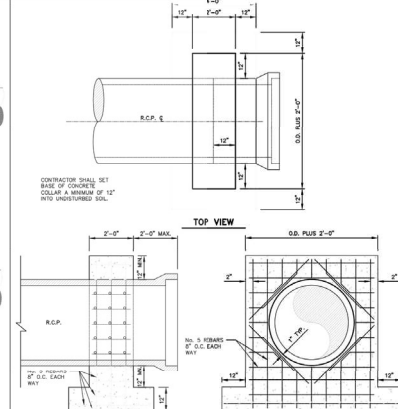
D-6 DOWN DRAIN STRUCTURE



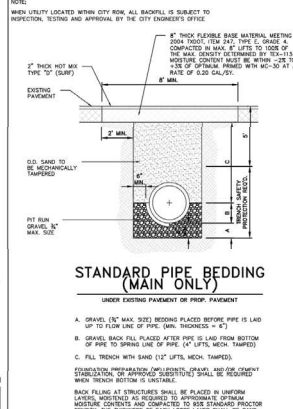
D-7 DITCH CROSS SECTION



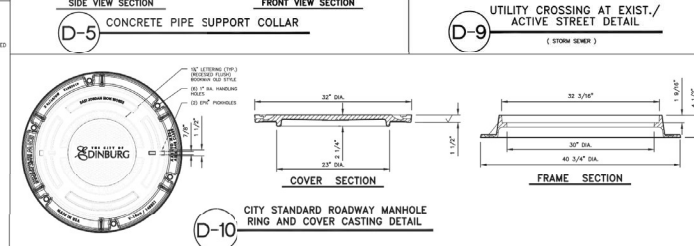
D-11 STORM WATER RUNOFF



D-5 CONCRETE PIPE SUPPORT COLLAR



D-9 UTILITY CROSSING AT EXIST./ACTIVE STREET DETAIL
(STORM SEWER)



D-10 CITY STANDARD ROADWAY MANHOLE RING AND COVER CASTING DETAIL

ALBERTA HEIGHTS SUBDIVISION PHASE II

STATE OF TEXAS
COUNTY OF HIDALGO

I, THE UNDERSIGNED, IDEN L. TREVIÑO, A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN TO THIS PLAN.

DATE: 11/30/21
NO. 92036



DATE OF PREPARATION: APRIL 22, 2020

STORM SEWER - DETAILS



TREVIÑO ENGINEERING

FIRM No. F-7906
TEL No. (956) 283-8847
200 S. 10th St. Ste. 1303
McAllen, Texas 78501
ident@trevinoengineering.com

DATE: 11/30/21
SHEET NO.: 1 OF 1

FILE NAME: A:\stormage_dtl_2.dwg
DATE: MAY 2014
DESIGNED BY: I.P.
DRAWN BY: R.M.M.
REVIEWED BY: I.P.
CHECKED BY: I.P.

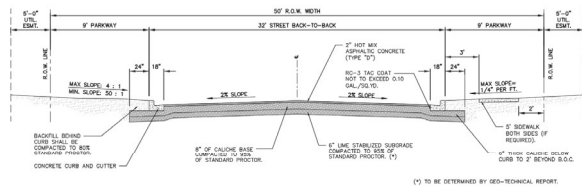
RAINAGE SYSTEM
STANDARD DETAILS



THE CITY OF
Edinburg

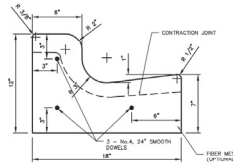
HOR: 1" = N.T.S.
VERT: 1" = N.T.S.

C3.1

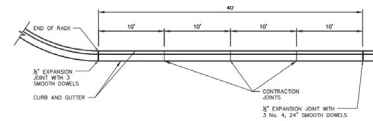


FLEXIBLE BASE (TYPE E GRADE 4) SHALL CONFORM TO THE FOLLOWING REQUIREMENTS, PRIOR TO THE ADDITION OF LIME:	
Retained on No. 20 Sieve	Percent Required
No. 20	0
No. 40	20 - 40
No. 60	40 - 75
No. 100	70 - 90
Max. FC	15
Max. Wet Ball FC	15
Wet Ball Mill Max Amount	50

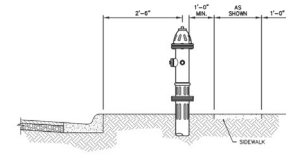
P-1 MINOR RESIDENTIAL STREET SECTION (32' BB - 50' R.O.W.) - DETAIL



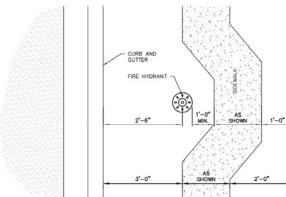
CURB AND GUTTER DETAIL



P-8 TYPICAL JOINTS

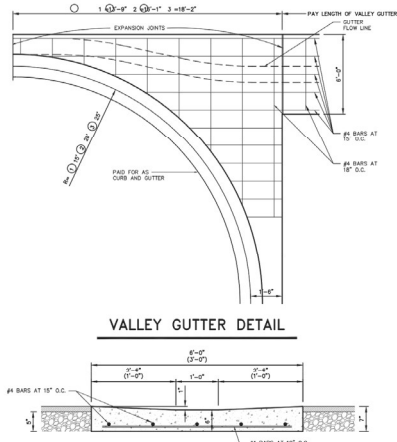


FIRE HYDRANT LOCATION - PROFILE

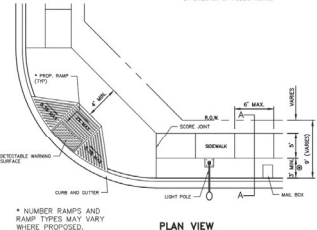


FIRE HYDRANT LOCATION - PLAN

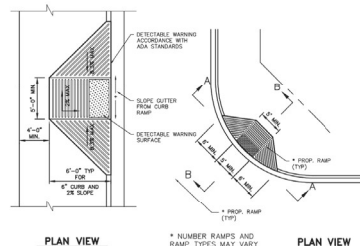
P-19



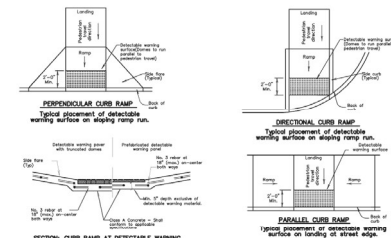
P-9 TYPICAL VALLEY GUTTER SECTION



P-10 TYPICAL CONCRETE SIDEWALK DETAIL MINOR STREETS



P-11 HANDICAP RAMP - DETAILS



P-15 PEDESTRIAN FACILITIES DETECTABLE WARNINGS

FILE NAME:
DATE: MAY, 2014
SURVEYED BY:
DESIGNED BY: IP/JAG
DRAWN BY: RMM
REVISED BY: IP/JAG
CHECKED BY: IP/JAG

PAVING SYSTEM
STANDARD DETAILS



THE CITY OF
Edinburg
Engineering

SCALE: HORIZ: 1\"/>

SHEET NO.: 1 OF 3

ALBERTA HEIGHTS
SUBDIVISION PHASE II

STATE OF TEXAS
COUNTY OF HIDALGO
I, THE UNDERSIGNED, **IDEN L. TREVIÑO**, A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN TO THIS PLAN.
IDEN L. TREVIÑO
IDEN L. TREVIÑO, PE NO. 92036 11/30/21 DATE

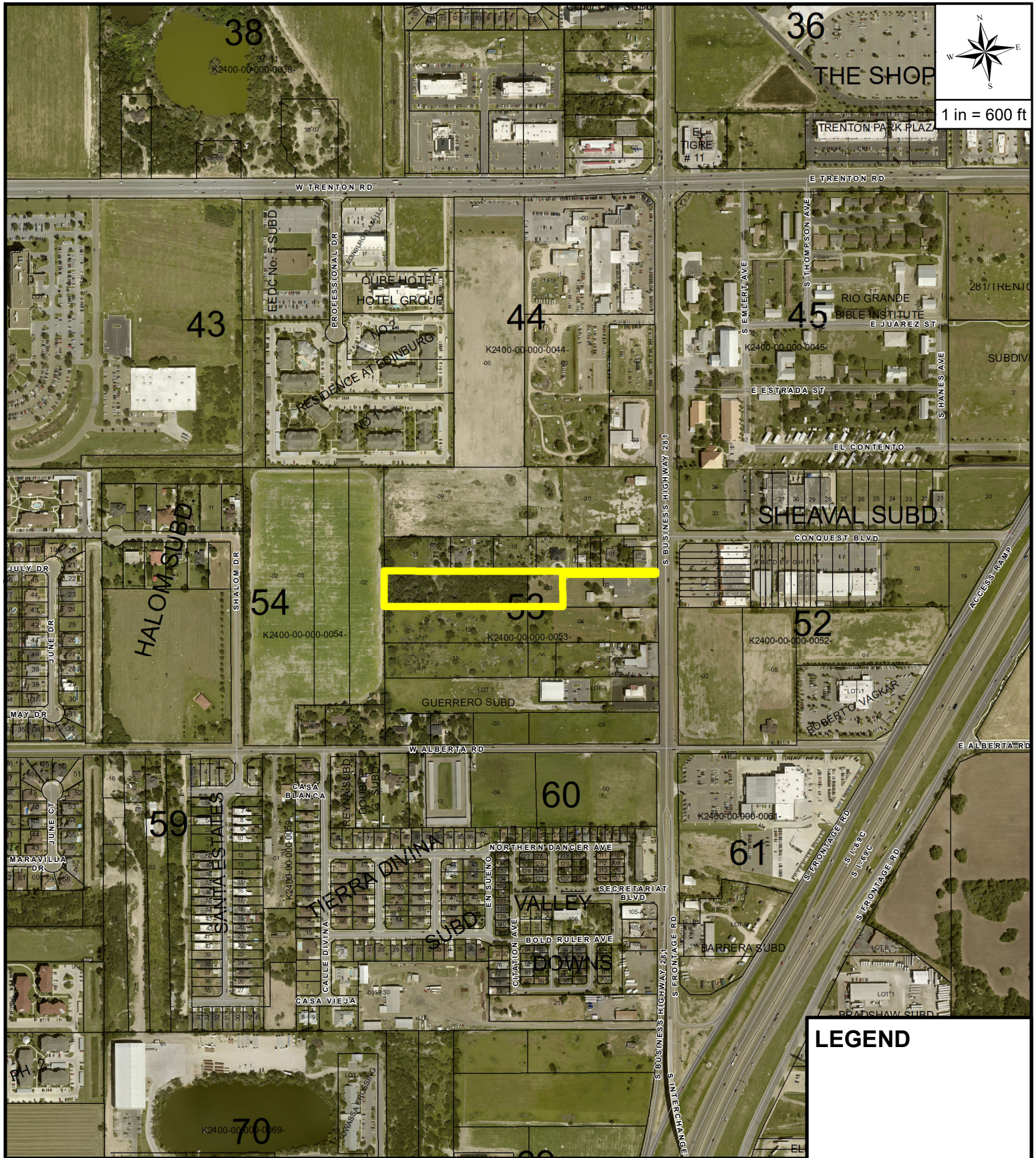


DATE OF PREPARATION: APRIL 22, 2020

PAVING - DETAILS



TREVIÑO ENGINEERING
FIRM No. F-7906
TEL No. (956) 283-8847 200 S. 10th St. Ste. 1303
McAllen, Texas 78501
ident@trevinoengineering.com



AERIAL MAP

APPLICANT AND/OR SUBDIVISION:

**TREVINO ENGINEERING
ALBERTA HEIGHTS PHASE II**

LEGEND

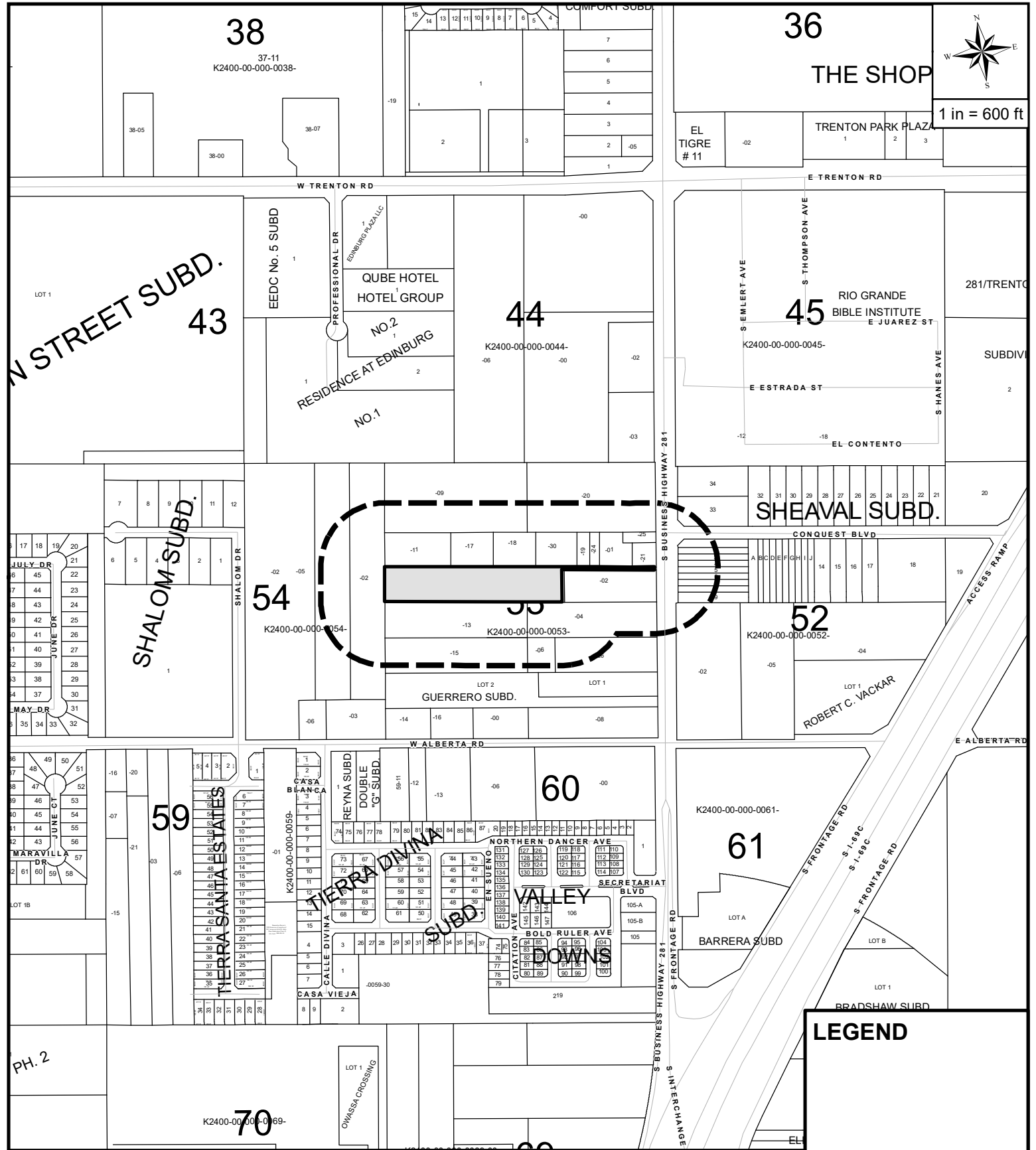


SUBDIVISION SITE



CITY LIMITS








SITE MAP

APPLICANT AND/OR SUBDIVISION:

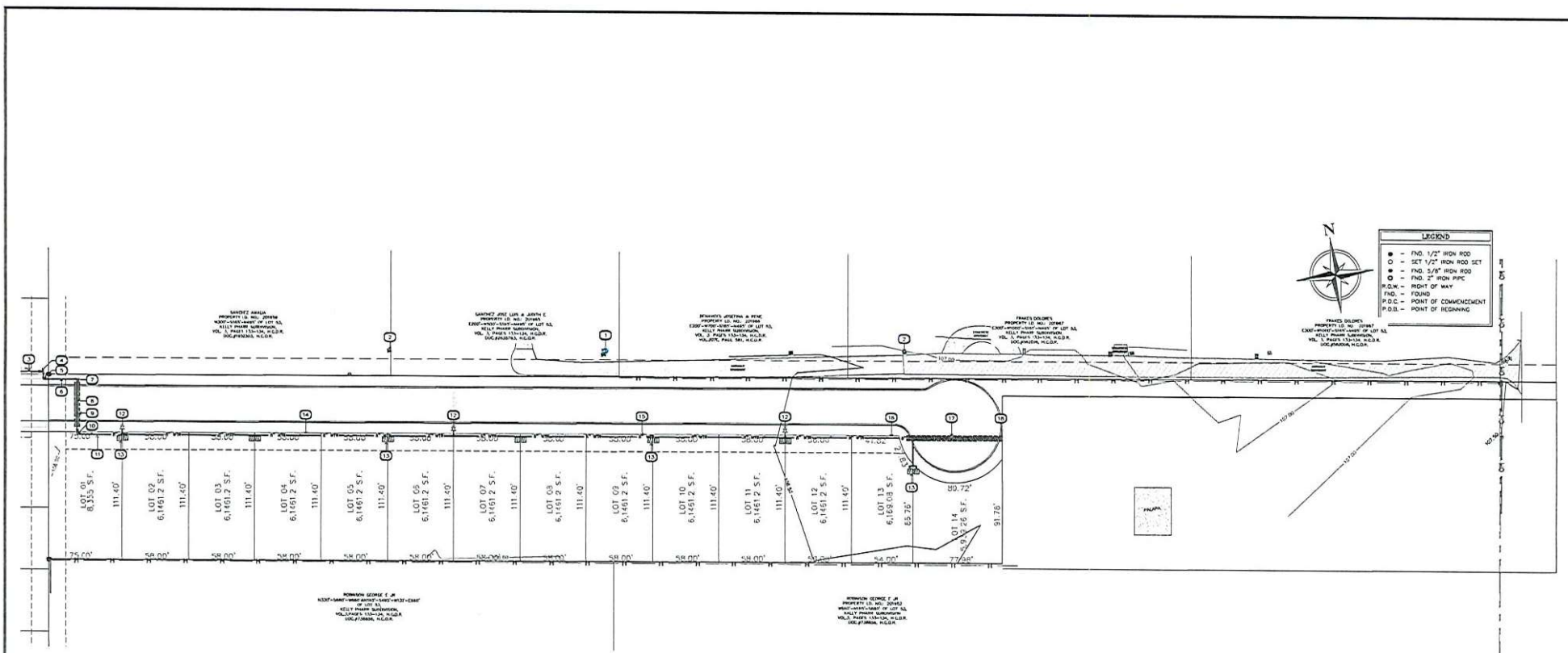
TREVINO ENGINEERING

ALBERTA HEIGHTS PHASE II

LEGEND

-  SUBDIVISION SITE
-  300FT NOTIFICATION
-  CITY LIMITS





UTILITY PLAN KEYNOTES

- 1) EXISTING FIRE HYDRANT TO REMAIN IN PLACE.
- 2) EXISTING WATER METER TO REMAIN IN PLACE.
- 3) EXISTING 8" WATER LINE FROM ALBERTA HEIGHTS PHASE I
- 4) TIE INTO EXISTING 8" WATER LINE WITH AN 8" 90° ELBOW.
- 5) PROPOSED
 - 1) 8" PVC C-100 WATER LINE = 6.5 L.F.
 - 1) 90° PVC ELBOW
- 6) PROPOSED 8" PVC C-100 WATER LINE = 29.00 L.F.
- 7) PROPOSED 8" PVC 90° ELBOW.
- 8) PROPOSED 8" PVC C-100 WATER LINE = 48.0 L.F.
- 9) PROPOSED DR-25 BLUE PVC PIPE FOR CASING, EXTEND 2 FEET FROM BACK OF CURB = 30.0 L.F.
- 10) PROPOSED
 - 1) 8" GATE VALVE & BOX.
 - 1) 90° PVC ELBOW
- 11) PROPOSED 8" PVC C-100 WATER LINE = 40.0 L.F.
- 12) PROPOSED
 - 1) 8" GATE VALVE & BOX.
 - 1) 90° PVC ELBOW
- 13) PROPOSED 3/4" DUAL SERVICE
- 14) PROPOSED 8" PVC C-100 WATER LINE = 29.00 L.F.
- 15) PROPOSED 8" PVC C-100 WATER LINE = 29.00 L.F.
- 16) PROPOSED 8" PVC C-100 WATER LINE = 190.0 L.F.
- 17) PROPOSED DR-25 BLUE PVC PIPE FOR CASING, EXTEND 2 FEET FROM BACK OF CURB = 84.0 L.F.
- 18) PROPOSED 8" FLASH VALVE.

ALBERTA HEIGHTS SUBDIVISION PHASE II

A 3.261-ACRE TRACT OF LAND (3.33 ACRES RECORDED) OUT OF LOT 55, KELLY PHARM SUBDIVISION, AS PER THE MAP OR PLAT THEREOF RECORDED IN VOLUME 3, PAGES 123 & 134, DEED RECORDS IN THE OFFICE OF THE COUNTY CLERK OF HIDALGO COUNTY, TEXAS, INTENDED TO BE HEREIN MADE FOR ALL PURPOSES, LOCATED ON THE WEST SIDE OF SOUTH BUSINESS US 281 APPROXIMATELY 810 FEET NORTH OF ALBERTA ROAD IN THE CITY OF CEDAR RAPIDS.

STATE OF TEXAS
COUNTY OF HIDALGO

I, THE UNDERSIGNED, **RONALD TREVIÑO**, A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN TO THIS PLAN.

R. Treviño
RONALD TREVIÑO, P.E.
NO. 92038

11/20/2021
DATE



DATE OF PREPARATION: OCTOBER 11, 2021

WATER LINE DISTRIBUTION - PLAN

C1.0



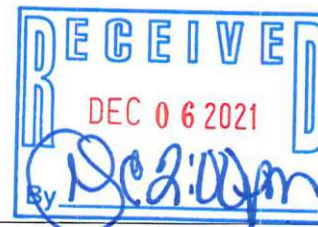
TREVIÑO ENGINEERING

FIRM No. F-7906

TEL No. (956) 283-8847 200 S. 10th St. Ste. 1303
McAllen, Texas 78501
id@trevinoengineering.com

PRINCIPAL CONTACTS:

OWNER:	NAME	ADDRESS	CITY & ZIP	PHONE
OWNER:	URBAN CITY DEVELOPERS, LLC	4501 EXPRESSWAY 83	MCALLEN, TEXAS 78503	(956) 358-1712
ENGINEER:	RONALD TREVIÑO, P.E.	200 S. 10TH ST. SUITE 1303	MCALLEN, TEXAS 78501	(956) 283-8847
SURVEYOR:	HOMERO L. GUTIERREZ, RPLS.	P.O. BOX 348	MCALLEN, TEXAS 78505	(956) 249-8081





Case #

Edinburg THE CITY OF

Planning & Zoning Department
415 W. University Drive
Edinburg, Texas 78539

Subdivision Application

(956) 388-8202

Date: December 1, 2021Request Type: Preliminary Plat

1. Developer: URBAN CITY DEVELOPERS 2. Owner/Contact Name: MANUEL B. PEREZ
3. Owner/Contact Phone: (956) 358-1212 4. Owner/Contact Email: MLOPEZ@URBANCITYTX.COM
5. Owner Address: 601 PECAN SUITE 180, MCALLEN TEXAS 78501

6. Exact Name of Subdivision: ALBERTA HEIGHTS SUBDIVISION PHASE II 7. Property ID: 2019518. Current Zoning: S - Suburban Residential Required Zoning: _____

10. Legal Description: _____

A 3.261-ACRE TRACT OF LAND (3.33 ACRES RECORDED) OUT OF LOT 53, KELLY PHARR SUBDIVISION, AS PER THE MAP OR PLAT THEREOF RECORDED IN VOLUME 3, PAGES 133 & 134, DEED RECORDS IN THE OFFICE OF THE COUNTY CLERK OF HIDALGO COUNTY, TEXAS, REFERENCE TO WHICH IS HERE MADE FOR ALL PURPOSE, LOCATED ON THE WEST SIDE OF SOUTH BUSINESS US 281 APPROXIMATELY 810 FEET ±

11. Inside City Limits? Yes If "No," is in the _____ Comprehensive Development Area _____ Rural Development Area12. Primary Consulting Firm: TREVINO ENGINEERING 13. Phone: (956) 283-884714. Consulting Firm Address: 200 S. 10TH ST. SUITE 1303 MCALLEN, TEXAS 7850115. Consulting Firm Email(s): IDENT@TREVINOENGINEERING.COM, KARIME@TREVINOENGINEERING.COM16. Desired Land Use Option: Single Family17. Number of Lots: Single Family 14 Multi-Family _____ Commercial _____ Industrial _____18. Proposed Wastewater Treatment: ☒ Sanitary Sewer _____ OSSF (On-Site Sewage Facility)19. Electric Power and Light Company to Serve the Proposed Subdivision: Magic Valley Electric Co-op20. Irrigation District: Hidalgo County No. 2 Potable-water Retailer: City of Edinburg

Owner of record, holding title to real estate within the proposed subdivision. Ownership instrument (i.e. Title Policy, Warranty Deed and Deed of Trust) shall be submitted with application. All such owners are listed immediately below.

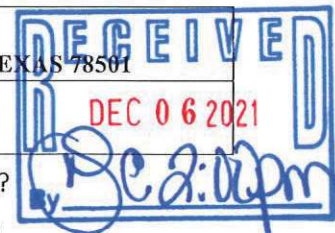
Owner Name(s) (Print or Type) <u>MANUEL B. PEREZ</u>	Owner Mailing Address & Zip Code <u>601 PECAN SUITE 180, MCALLEN TEXAS 78501</u>
Owner Phone Number <u>(956) 358-1212</u>	Owner Email <u>MLOPEZ@URBANCITYTX.COM</u>

Have any of said owners designated agents to submit and revise this plat application on their behalf?

☒ Yes _____ No (If "Yes" attached duly notarized documentation to that effect, signed by each such owner.)

The undersigned owner(s) of record (or their authorized agents) hereby agree to make all improvements and meet all requirements and standards as specified in the City of Edinburg Unified Development Code and Ordinances. The undersigned hereby request that the Edinburg Planning & Zoning Commission and the City Commission approve the attached subdivision plat. I certify that all items contained in this application and attachments (including all construction plans) are true and correct to the best of my knowledge and not in conflict with any deed restrictions or restrictive covenants. Furthermore, I understand that any omission or incorrect information may result in approval or permit being denied or revoked. Developer's requirement sheet must be completed, signed, and submitted with the application form.

Signature

Date December 1, 2021

**SUBDIVISION WITHIN CITY LIMITS CHECK LIST
SUBDIVISION PROCESS**
PRELIMINARY STAGE

PLANNING & ZONING DEPARTMENT (956) 388-8202

 Date : January 7, 2022

Date Filed: <u>December 6, 2021</u>	P&Z Preliminary: <u>January 17, 2022</u>	P&Z Final: _____	City Council: _____
Reviewed By: <u>Abel Beltran, Subd. Coord.</u> abeltran@cityofedinburg.com	Staff Review : <u>December 17, 2021</u> Staff / Engineer : <u>December 22, 2021</u>	Time Line : <u>365</u> Days 1st Extension : <u>0</u> Days 2nd Extension : <u>0</u> Days	Expires : _____ Expires 1: _____ Expires 2: _____

Planning & Zoning Department:	Kimberly A. Mendoza, MPA	Email : kmendoza@cityofedinburg.com	City Office #: (956) 388-8202
Utility Department	Gerardo Carmona, P.E.	Email : gcarmona@cityofedinburg.com	City Office #: (956) 388-8212
Director of Public Works	Vincent Romero	Email : layala@cityofedinburg.com	City Office #: (956) 388-8210
Director of Engineering	Mardoqueo Hinojosa, P.E., CPM	Email : mhinojosa@cityofedinburg.com	City Office #: (956) 388-8211

Owner:	URBAN CITY DEVELOPERS				601 Pecan Suite 180, McAllen, TX 78501				Iden Trevino, P.E., Project Engineer						
ALBERTA HEIGHTS SUBDIVISION PHASE II						Consultant : Trevino Engineering									
DESCRIPTION						Provided	Need to Provide	Not Applicable	Need to Revise	COMMENTS					

Subdivision Process:

Subdivision Plat Submittal	✓				
Warranty Deed	✓				
Topography Survey	✓				
Drainage Report Submittal (As Per City Drainage Policy)	✓				Approved by H.C.D.D.#1 Date: Pending Approval
Zoning : City Limits - Commercial General	✓				
Flood Zone	✓				Zone "X" (Un-Shaded)

Preliminary Submittals:

Existing & Proposed Water Distribution Layout	✓				City of Edinburg - Water Distribution System
Water Distribution System Provider:	✓				City of Edinburg - Water Distribution System
Existing & Proposed Sewer Collection Layout	✓				City of Edinburg - Sanitary Sewer Collection System
Sanitary Sewer Collection System Provider:	✓				City of Edinburg - Sanitary Sewer Collection System
Existing and Proposed Drainage Layout System:	✓				City of Edinburg Drainage System
MPO Collector / Arterial Right-of-way Dedication	✓				Proposed City Streets
Minor / Major Collector Street Pavement Section	✓				In Accordance to Standard Street Policy
Variances Appeals Request: (Date)	✓				Planning & Zoning Meeting Results City Council Meeting
Street Widening Improvements			✓		
Street 5-ft Sidewalk Improvements			✓		
Drainage Improvements	✓				

Construction Plans Review Submittals:
(See Section 4 Construction Plans Submittals Policy, 2014 STANDARD POLICY MANUAL)

Cover Sheet		✓			
Topography Sheet (Utilities, Bench Marks)		✓			
Sanitary Sewer Improvements: On-Site & Off-Site		✓			City of Edinburg Sanitary Sewer Standard Policy's
Sanitary Sewer Detail Sheets		✓			See Section 3 Utility Policy, 2014 Standard Policy Manual
Water Distribution Improvements: On-Site & Off-Site		✓			City of Edinburg Water Supply Standard Policy's
Water Distribution Detail Sheet (Fire Hydrant Assembly)		✓			See Section 3 Utility Policy, 2014 Standard Policy Manual
Drainage Improvements:		✓			
Drainage Detail Sheets		✓			See Section 1 Drainage Policy, 2014 Standard Policy Manual
Minor/Major Collector Streets Improvements:		✓			See Section 2 Streets Policy, 2014 Standard Policy Manual
Street Sign Sheet:		✓			
Street Detail Sheets		✓			See Section 2 Streets Policy, 2014 Standard Policy Manual
Street Lighting Sheet:		✓			
Traffic Control Plan:		✓			
Erosion Control Plan		✓			
Erosion Control Plan Detail Sheet		✓			See Storm Water Management, 2014 Standard Policy Manual

DESCRIPTION	Provided	Need to Provide	Not Applicable	Need to Revise	COMMENTS
-------------	----------	-----------------	----------------	----------------	----------

Pre-Construction Meeting:

Notice To Proceed		✓			Dated:
Roadway Open-Cut or Bore Permit Application		✓			Dated:
TX-Dot Water UIR Permit			✓		
TX-Dot Sewer UIR Permit			✓		
N.O.I. Submittal		✓			Dated:
SWPP Booklet Submittal		✓			Dated:
RFI #1 Request		✓			Dated:
Change Orders		✓			Dated:
Final Walk Through		✓			Dated:
Punch List		✓			Dated:
Punch List (Completed and Approved)		✓			Dated:
Letter of Acceptance		✓			Dated:
1-year Warranty (Water/Sewer/Paving/Drainage)		✓			Dated:
Backfill Testing Results		✓			Dated:
As-Builts (Revised Original Submittal)		✓			Dated:

Recording Process:

Public Improvements with (Letter of Credit)		✓			Dated:	Expires:
Recording Fees	\$ 106.00	✓			As required by County Clerks office	
Copy of H.C.D.D. #1 of invoice		✓			Required to be paid prior to Final Stages	
Street Light Escrow	\$ -	✓			Required: 0	EA. @ \$ -
Street Escrow (Interior Street)	\$ -	✓			Required: 0	EA. @ \$ -
Sidewalk (Interior)	\$ -	✓			Required: 0	LF @ \$ 25.00
TOTAL OF ESCROWS:	\$ -					
Total Developer's Construction Cost: (Letter of Credit)					Date :	Lender :
Laboratory Testing Fee: 3%	\$ -	✓			\$ -	Estimated Construction Cost
Inspection Fee: 2%	\$ -	✓			\$ -	Final Construction Cost
Park Land Fees: Park Zone # 1	\$ -		✓		0 Lots @ \$ -	Full rate within the ETJ
14 Residential \$ 300.00	\$ 4,200.00	✓			50% Development	50% Building Stage
0 Multi-Family \$ -	\$ -		✓		0% Development	0% Building Stage
Water Rights: COE - CCN	\$ 9,446.50		✓		3.261 Acres	\$ 2,896.81
Water 30-year Letter (Residential)	\$ 4,550.00		✓		14 Lots @ \$ 325.00	COE WATER-CCN
Water 30-year Letter (Multi-Family)	\$ -		✓		0 Lots @ \$ -	
Sewer 30-year Letter COE - CCN	\$ 910.00		✓		14 Lots @ \$ 65.00	COE SEWER-CCN
TOTAL OF FEES:	\$ 19,106.50					

Reimbursements:

Developer Sewer Improvements	\$ -		✓		Off-Site System: 0.000	AC	\$ -
Developer Water Improvements	\$ -		✓		Off-Site System 0.00	AC	\$ -
TOTAL OF REIMBURSEMENTS:	\$ -						

Buyouts:

North Alamo Water Supply Corporation	\$ -	✓			Required Buyout 0.00	AC.	\$ -
Sharyland Water Supply Corporation			✓		Not Applicable		

Tax Certificates

County of Hidalgo / School District		✓					
Water District		✓			Hidalgo County Irrigation District # 1		

Total of Escrows, Fees, Reimbursements and Buyouts:

Escrows	\$ -	Street & Sidewalk Improvements for Trenton Road (Not Required)					
Inspections other Fees	\$ 19,106.50	Parkland Fees, Water/Sewer 30-year Agreement/Water Rights					
Reimbursements	\$ -	Reimbursement to the Developer of Subdivision					
City of Edinburg	\$ -	15% Payable to the City of Edinburg for Administrative Fee					
To the Developer of Record	\$ -	85% Payable to the Developer of Record Owner / Developer					
Buyouts	\$ -	Based on Subdivision (Need Request and Approval rate from ? Broad)					
TOTAL :	\$ 19,106.50	Developer Total Cost of Fees, Escrows, Reimbursements & Buyouts					

STAFF REPORT: HIGHLAND HEIGHTS SUBDIVISION

Date Prepared: January 13, 2022
Planning and Zoning Meeting: January 17, 2022
Agenda Item: 7E Preliminary Plat

Subject: Consider the Preliminary Plat of **HIGHLAND HEIGHTS SUBDIVISION**, being a 26.80 acre tract out of land out of Lot 14, Block 1, John Closner, Et. Al., Subdivision, located at 4700 South Raul Longoria Road (FM 1426), as requested by SAMES Engineering.

Location: The property is located on the east side of South Raul Longoria Road (FM 1426), and north of East Alberta Road and is currently within the City of Edinburg ETJ.

Zoning: Proposed Urban Residential

Analysis: The Preliminary Plat proposes single-family residential development with a total of one hundred and forty four (144) lots averaging approximately 4,325.00 sq. ft. with set backs are as follows: Front 10 ft., Side 5 ft., and Rear 15 ft. This subdivision is not within the maximum 800 ft. Block length if required.

Utilities: Water Distribution System and Sanitary Sewer Collection System are within North Alamo Water Supply Corporation - CCN. All utility improvements within the proposed subdivision that are not limited to water, sewer, curb & gutter, and fire hydrants will be installed by the developer in accordance with the approved 2014 Standards Manual.

Recommendations:

City of Edinburg Planning & Zoning Department:

Staff recommends approval of the Preliminary Plat, subject to the compliance with the Unified Development Code, General Notes; on FEMA flood zone, zoning, setbacks, finish floor elevation, benchmark, drainage detention, parkland fees, limited access, SWP3 requirements, sidewalks, and other notes as required based on development.

City of Edinburg Engineering / Utilities Department:

Preliminary Phase Submittal comments for this subdivision are included in the packet. As per Engineering, the plat shall be Preliminarily Approved until all comments have been addressed by the

project engineer.

City of Edinburg Fire Department:

The following are the preliminary phase submittal comments as noted by the Fire Department:

1. Provide street names to the City of Edinburg Engineering Department for approval.
2. Fire lane 15 ft. in width shall be painted in front of all fire hydrants.
3. Provide double face blue fire hydrant street marker on center on the street in front of the fire hydrant.
4. Fire hydrant shall be every 600 ft. for one and two family dwellings as per Section 507.5.1 of 2012 IFC.
5. All streets should be 32 ft. B-B paving section according to Table 8.204 of the Edinburg Unified Development Code.

City of Edinburg Storm Water:

The following are the preliminary phase submittal comments as noted by Storm Water:

1. **SW3P** (Stormwater Pollution Prevention Plan)
2. **NOI** (Notice of Intent, Per TCEQ)
3. **Large Construction Notice** (Per TCEQ Inventory)
4. **Detailed Erosion Control Plan** (Silt Fence, Construction Entrance, Inlet Protection, Concrete Washout)
5. **Detailed Post Construction BMP's Plan** (70% Vegetation or Silt Fence back of curb)
6. **Plat Note** (All construction shall comply with Stormwater Pollution Prevention Plan (SW3P) requirements. Erosion and Sedimentation Controls constructed in accordance with the Stormwater Ordinance 98.30 of the City of Edinburg are required for all construction on each lot including single family and duplex/multi-family construction)
7. **NOT** (Notice of Termination, Per TCEQ) will now be required before the final walk through.
8. **Comments:**
 - SW3P Plat note has been revised. Please see the note for your reference.
 - NOT will need to be submitted before the final walk through.
 - Stormwater is now requiring a Post Construction Plan on plans that are submitted, either 70% vegetation or Install Silt Fence behind the back of curb.
 - Silt Fence around the entire project.
 - Large Construction Notice needs to be submitted with contractors contact information.
 - All items must be submitted before the NTP is issued.
 - Please email pending items to rvalenzuela@cityofedinburg.com

City of Edinburg Solid Waste:



Single Family Residential Development within the City of Edinburg - ETJ.



ENGINEERING DEPARTMENT

Preliminary Staff Review

January 11, 2022

Nadia M. Lopez, P.E.

SAMES, Inc.

200 S. 10th St. Suite 1500.

McAllen, TX 78501

(956) 702-8880

RE: HIGHLAND HEIGHTS – PRELIMINARY REVIEW

Ms. Lopez

Attached are the Preliminary Phase Submittal comments for Highland Heights Subdivision. Submittal is adequate as presented and recommended for preliminary approval.

Any questions feel free to contact us.



Thanks,

Digitally signed by Peter
Hermida
Date: 2022.01.11
18:16:49 -06'00'

Peter Hermida E.I.T.

Email: phermida@cityofedinburg.com

415 W. University Drive

Edinburg, Texas 78539

Cc: Mardoqueo Hinojosa, P.E., CFM, City Engineer, Patrizia Longoria, Engineer III, Roberto Hernandez, Engineer I, Abel Beltran, Planner I, Vince Romero, Director of Public Works, Robert Valenzuela, Storm Water Specialist, Kimberly Mendoza, Director of Planning and Zoning, Rita Lee Guerrero, Planner I, Jaime Xavier Ayala, Planner II, Gerardo Carmona P.E., Director of Utilities, Jose Flores, Systems Superintendent, Omar Garza, Fire Marshal, Ramiro Gomez, Director of Solid Waste

REFERENCES:

City of Edinburg – 2014 Standard Manual – Construction and Development Requirements; Unified Development Code; and if required a TX-Dot Permitting UIR permitting process.

LEGEND

- - 1/2" IRON ROD
- - SET 1/2" IRON ROD W/CAP STAMPED "SAMES"
- - 5/8" IRON ROD
- - ON-SITE BENCHMARK
- SET CONCRETE MONUMENTS
- CENTER LINE
- H.C.M.R. - HIGHLAND COUNTY MAP RECORDS
- H.C.O.R. - HIGHLAND COUNTY OFFICIAL RECORDS
- P.U.E. - PUBLIC UTILITY EASEMENT
- P.O.B. - POINT OF BEGINNING
- MON. - MONUMENT
- PROP. - PROPOSED
- ELEV. - ELEVATION
- R.O.W. - RIGHT OF WAY
- IND. - FOUND

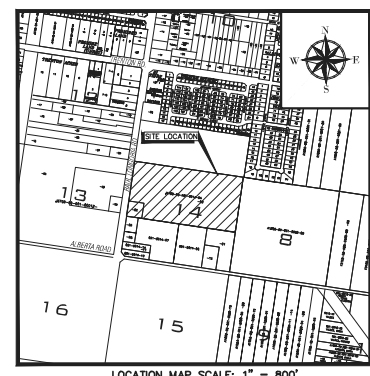
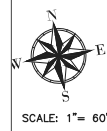
SURVEY NOTES:

1. BASIS OF BEARING: THE NORTH LINE LOT 14, BLOCK 1, JOHN CLOSER ET AL SUBDIVISION OF LANDS, HIGHLAND COUNTY, TEXAS, AS PER MAP OR PLAT THEREOF RECORDED IN VOLUME 0, PAGE 4, MAP RECORDS, HIGHLAND COUNTY, TEXAS.
2. ALL COORDINATES, BEARINGS, AND DISTANCES, ARE BASED ON THE TEXAS COORDINATE SYSTEM, (NAD 83) 2011 ADJUSTMENT, TEXAS STATE PLANNER, SOUTH ZONE (4205), US SURVEY FEET, GRID BEARINGS AND DISTANCES SHOWN IN PARENTHESES ARE BASED ON RECORDED DOCUMENT.
3. ALL HORIZONTAL CONTROL ON THIS PROJECT WAS ESTABLISHED UTILIZING RTK GPS METHODS.
4. THIS SURVEY WAS COMPLETED WITHOUT THE BENEFIT OF AN ABSTRACT OF TITLE, THERE MAY BE EASEMENTS OR OTHER MATTERS THAT ARE NOT SHOWN.

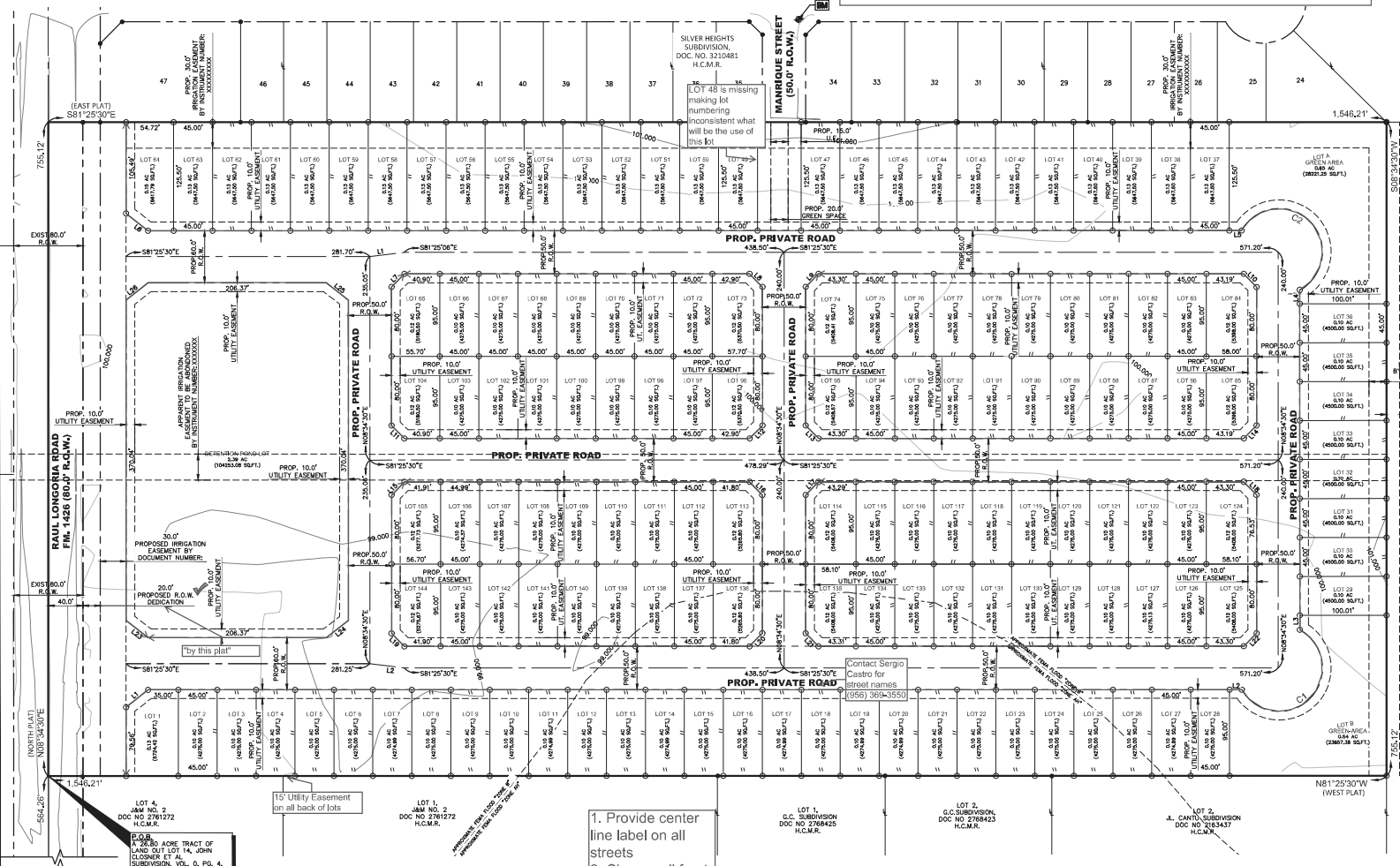
NAWSC Water and Sewer

General Comments:

1. Provide trip generation Worksheet, attached
2. Utility Configurations appear acceptable, pending road configurations after stubouts, then after provide construction plans after plat is preliminarily approved.
3. Once a drainage Plan and Profiles and Drainage areas are provided, Hydraulic Review shall proceed
4. Approved drainage report shall be required before final, drainage volumes cannot be verified plans submitted are inadequate.
5. Provide SW3P, Signage and Striping, Lighting, Storm, Paving, & Sewer Plan and Profile for Construction Plans Review
6. Provide Details for Plans
7. Water/Sewer belongs to NAWSC
8. Coordinate with Ismael Medina United States Postal Service - Growth Coordinator in regards to cluster boxes (956)383-5383



HIGHLAND HTS
(PRIVATE SUBDIVISION)



LOT LINE TABLE

Line #	Length	Direction
L1	32.00'	N59°50'59\"
L2	14.10'	S81°25'30\"
L3	16.72'	N08°34'50\"
L4	15.86'	N08°34'50\"
L5	14.10'	N81°25'58\"
L6	32.00'	N42°45'15\"
L7	21.07'	N53°11'26\"
L8	21.07'	S36°02'26\"
L9	21.07'	S53°11'26\"
L10	21.06'	S36°02'09\"
L11	21.07'	N36°02'26\"
L12	21.07'	S53°11'26\"
L13	21.07'	N36°02'26\"
L14	21.06'	S53°11'26\"
L15	21.07'	N53°11'26\"
L16	21.07'	S36°02'39\"
L17	21.07'	N53°12'52\"
L18	21.07'	S36°01'56\"
L19	21.07'	N36°02'26\"
L20	21.07'	S53°11'45\"
L21	21.06'	N36°03'11\"
L22	21.06'	S53°12'52\"
L23	32.00'	N42°45'55\"
L24	32.27'	S60°16'38\"
L25	32.28'	S43°06'48\"
L26	32.02'	N59°54'15\"

CL. LINE TABLE

Line #	Length	Direction
L1	40.11'	S88°30'11\"
L2	40.10'	S74°20'36\"

LOTS CURVE DATA TABLE

CURVE	ARC LENGTH	RADIUS	DELTA	CHORD BEARING	CHORD LENGTH
C1	92.32'	50.00'	105°47'20\"	S74°19'06\"	79.75'
C2	185.23'	50.00'	212°15'40\"	N35°57'43\"	96.06'

1. Provide center line label on all streets
2. Change all front Utility Easements to 15 LF.

PRINCIPAL CONTACTS:

NAME
OWNER: MAURICIO CARBAJAL
ENGINEER: JESSICA M. MALDONADO, P.E.
SURVEYOR: OSCAR HERNANDEZ, R.P.S.

ADDRESS
3910 W. FREDDY GONZALEZ DR.
200 S. 10TH ST., SUITE 1500
200 S. 10TH ST., SUITE 1500

CITY & ZIP
EDINBURG, TX 78539
MALLEN, TX 78501
MALLEN, TX 78501

PHONE
(956) 404-4861
(956) 702-8880
(956) 702-8880

FAX
(000) 000-0000
(956) 702-8883
(956) 702-8883

DATE OF PREPARATION: DECEMBER 2021

REGISTRATION # F-10602 SHEET 1 OF 4

SAMES SAM Engineering & Surveying, Inc.
200 S. 10th St, Ste. 1500
McAllen, TEXAS 78501
TEL: (956) 702-8880
FAX: (956) 702-8883

COUNTY OF HIDALGO
CERTIFICATE OF PLAT APPROVAL
UNDER LOCAL GOVERNMENT CODE § 232.056(A)
WE, THE UNDERSIGNED, CERTIFY THAT THIS PLAT OF HIGHLAND HEIGHTS SUBDIVISION WAS REVIEWED AND APPROVED BY THE HIDALGO COUNTY COMMISSIONER ON _____, 20____.

ATTEST: _____ HIDALGO COUNTY JUDGE _____ DATE _____
_____ HIDALGO COUNTY CLERK _____ DATE _____

STATE OF TEXAS
COUNTY OF HIDALGO

I, THE UNDERSIGNED, OWNER OF THE LAND SHOWN ON THIS PLAT, AND DESIGNATED AS **HIGHLAND HEIGHTS SUBDIVISION**, DO HEREBY GRANT AN EASEMENT TO THE CITY OF EDINBURG, TEXAS, AND THOSE WHOSE MAY NOW OR HEREAFTER HOLD FRANCHISE UNDER SAID CITY, THE PRIVATE ACCESS, STREET LIGHTS, TRAFFIC CONTROL DEVICES, SIDEWALKS AND OTHER IMPROVEMENTS AND EASEMENTS, HEREON SHOWN, SURFACE USE OF THE STREET AND ALLEYS IS RESTRICTED TO THE EMPLOYEES OR AGENTS OF THE CITY OF EDINBURG, EMPLOYEES OF UTILITIES OPERATING UNDER FRANCHISE TO THE CITY OF EDINBURG AND RESIDENTS OF THE SUBDIVISION AND THEIR GUESTS.

OR INVERSONES LLC
MAURICIO CARBAJAL, — MANAGING MEMBER
3810 W FREDY GONZALEZ DR.
EDINBURG, TX, 78539

STATE OF TEXAS
COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, ON THIS DAY PERSONALLY APPEARED, **MAURICIO CARBAJAL**, PROVED TO ME THROUGH HIS/HER TEXAS DEPARTMENT OF PUBLIC SAFETY OFFICE, TO BE THE PERSONS WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, WHO BEING BY ME FIRST DULY SEVERALLY DECLARED THAT THE SIGNATURES WERE TRUE AND CORRECT AND ACKNOWLEDGED THAT HE/SHE EXECUTED THE SAME FOR THE PURPOSE AND CONSIDERATION THEREBY EXPRESSED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS ____ DAY OF _____, 20____.

NOTARY PUBLIC, HIDALGO COUNTY, TEXAS

APPROVED BY DRAINAGE DISTRICT:

HIDALGO COUNTY DRAINAGE DISTRICT No. 1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER THE TEXAS WATER CODE. ANALYTICAL DISTRICT HAS NOT REVIEWED, AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER AND HIS ENGINEER TO MAKE THEIR DETERMINATIONS.

HIDALGO COUNTY DRAINAGE DISTRICT No. 1

RAUL E. SESIN, P.E.
GENERAL MANAGER _____ DATE _____

PLANNING & ZONING
COMMISSION CERTIFICATION

THIS PLAT OF HIGHLAND HEIGHTS SUBDIVISION HAS BEEN SUBMITTED TO AND CONSIDERED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF EDINBURG, TEXAS AND IS HERE BY APPROVED BY SUCH COMMISSION.

DATE THIS ____ DAY OF _____

CHAIRPERSON-PLANNING AND ZONING COMMISSION

MAYOR'S CERTIFICATION

I, THE UNDERSIGNED, MAYOR OF THE CITY OF EDINBURG, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS (TITLE 11 OF THE MUNICIPAL CODE) OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

ATTEST: _____
MAYOR, CITY OF EDINBURG _____ DATE _____ CITY SECRETARY _____ DATE _____

HIDALGO COUNTY CERTIFICATE OF PLAT APPROVAL

I, THE UNDERSIGNED, CERTIFY THAT THIS PLAT OF **HIGHLAND HEIGHTS SUBDIVISION** WAS REVIEWED AND APPROVED BY THE HIDALGO COUNTY HEALTH DEPARTMENT ON _____, 20____.

HIDALGO COUNTY ENVIRONMENTAL HEALTH DIVISION MANAGER _____ DATE _____

HIDALGO COUNTY IRRIGATION DISTRICT No. 2

THIS PLAT IS HEREBY APPROVED BY HIDALGO COUNTY IRRIGATION DISTRICT No. ____ ON THIS, THE ____ DAY OF _____, 20____.

HIDALGO COUNTY IRRIGATION DISTRICT NO. TWO WILL NOT BE RESPONSIBLE FOR DRAINAGE OR DELIVERY OF WATER TO ANY LOT IN THIS SUBDIVISION. ALSO THERE WILL NOT BE ANY PERMANENT STRUCTURES ON THE DISTRICT RIGHT-OF-WAYS AND/OR EASEMENTS.

NO IMPROVEMENTS OF ANY KIND SHALL BE PLACED UNDER THE HIDALGO COUNTY IRRIGATION DISTRICT No. 2 RIGHT-OF-WAYS OR EASEMENTS WITHOUT THE WRITTEN PERMISSION OF HCD No. 2.

PRESIDENT _____ SECRETARY _____

FILED FOR RECORD IN HIDALGO COUNTY
ARTURO GUJARDO JR.
HIDALGO COUNTY CLERK

ON: _____ AT _____ AM/PM.

INSTRUMENT NUMBER _____
OF MAP RECORD OF HIDALGO COUNTY TEXAS.

BY: _____ DEPUTY.

GENERAL NOTES:

1. THE PROPERTY SHOWN HEREON LIES WITHIN THE CITY OF EDINBURG, TEXAS CITY LIMITS.

2. THE PROPERTY IS ZONED: NC-7, NEIGHBORHOOD CONSERVATION.

3. THE MINIMUM BUILDING SETBACK LINES SHALL BE AS FOLLOW:
FRONT SETBACK: 10 FT. OR 50 FT. FOR MAJOR ROADS
FRONT GARAGE: 18 FT.
REAR SETBACK: 10 FT.
SIDE CORNER: 10 FT.
REAR SETBACK: 15 FT.
OR EASEMENTS; WHICHEVER IS GREATER FOR ALL CASES.

4. THIS SUBDIVISION IS IN "ZONE AH" & "ZONE B".
"ZONE AH" - FLOOD DEPTHS OF 1 TO 3 FEET (USUALLY AREAS OF PONDING); BASE FLOOD ELEVATIONS DETERMINED

"ZONE B" - AREAS BETWEEN LIMITS OF THE 100-YEAR FLOOD AND 500-YEAR FLOOD; OR CERTAIN AREAS SUBJECT TO 100-YEAR FLOODING WITH AVERAGE DEPTHS LESS THAN 1) FOOT OR WHERE THE CONTRIBUTING DRAINAGE AREA IS LESS THAN ONE SQUARE MILE; OR AREAS PROTECTED BY LEVEES FROM THE BASE FLOOD.

COMMUNITY-PANEL NUMBER 480334 D428 C- ← Does not match drainage report
MAP REVISED: NOVEMBER 16, 1992
PANEL NUMBER IS 4803340250

5. BENCHMARK DESCRIPTION: NO. OF AN EXISTING BENCHMARK IS LOCATED NEAR THE NORTHWEST CORNER OF LOT 34, SILVER HEIGHTS SUBDIVISION, AND AN ELEVATION OF 99.64'.

7. NO MORE THAN ONE SINGLE-FAMILY DETACHED DWELLING SHALL BE LOCATED ON EACH LOT. THIS MUST BE STIPULATED ON ALL DEEDS AND CONTRACTS FOR DEEDS. APPLICATIONS FOR CONSTRUCTION ARE REQUIRED PRIOR TO OCCUPANCY OF THE LOT.

8. MINIMUM FINISH FLOOR ELEVATION SHALL BE 24" ABOVE TOP OF CURB OR CENTER OF ROAD, MEASURED AT FRONT OF LOT, WHICHEVER IS GREATER.

9. ALL LOTS SHALL HAVE A POST DEVELOPMENT FINISH GRADE FROM THE REAR OF THE LOT TO THE CURB AT A 1.0% MINIMUM SLOPE TO PROVIDE POSITIVE DRAINAGE.

10. ALL LOT CORNERS ARE SET WITH 1/2 INCH IRON RODS.

11. IN ACCORDANCE WITH THE HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 REQUIREMENTS, THIS DEVELOPMENT WILL BE REQUIRED TO OBTAIN A TOTAL OF 4.121 AC-FT (179,514.00 CF) STORM WATER RUNOFF.

12. THE DEVELOPER SHALL BE RESPONSIBLE TO OBTAIN AND ACCOMMODATE MORE THAN THE OBTAINED VOLUME SHOWN ON THIS PLAT IF IT IS DETERMINED AT THE DEVELOPMENT STAGE THAT THE DETENTION REQUIREMENTS ARE GREATER THAN STATED ON THIS PLAT, DUE TO THE IMPROVED AREA BEING GREATER THAN THE PLAT ENGINEER CONSIDERED IN THE HYDRAULIC CALCULATIONS OF THIS SUBDIVISION.

13. MAINTENANCE OF DETENTION AREAS ARE THE RESPONSIBILITY OF THE HOME OWNERS ASSOCIATION OR INDIVIDUAL LOT OWNER.

14. NO PERMANENT STRUCTURES SHALL BE ALLOWED WITHIN EASEMENTS. EASEMENTS SHALL BE KEPT CLEAR OF BUILDINGS, SHEDS, SHRUBS, TREES, AND OTHER PLANTING (EXCEPT LOW, LESS THAN 18 INCHES MATURE HOODY, GRASS OR FLOWERS) AND OTHER OBSTRUCTIONS THAT WOULD INTERFERE WITH THE OPERATIONS AND MAINTENANCE OF THE EASEMENT.

15. LOT OWNERS SHALL INSTALL A REQUIRED 5 FOOT SIDEWALK WITH ADA RAMPS AND LANDINGS ALONG BOTH SIDES OF THE INTERIOR STREET AT THE BUILDING PERMIT STAGE. SIDEWALKS SHALL BE LOCATED 3 FEET BEHIND THE BACK OF CURB. A 5.0 FOOT SIDEWALK ALONG RAIL LONGORIA ROAD WILL BE REQUIRED DURING THE CONSTRUCTION OF THE SUBDIVISION. THE SIDEWALKS ALONG RAIL LONGORIA ROAD (FM 1426) SHALL REQUIRE A TYPOT PERMIT.

16. LOT 1 AND LOT 64, SHALL NOT CONSTRUCT A DRIVEWAY OR ACCESS DRIVE ABOUNDING RAIL LONGORIA ROAD.

17. ALL CONSTRUCTION SHALL COMPLY WITH STORM WATER POLLUTION PREVENTION PLAN (SWP) REQUIREMENTS.

18. PARKLAND FEE: 50% PARK FEE PER UNIT WILL BE DUE AT BUILDING PERMIT STAGE. (\$300.00 PER LOT).

19. LOTS A & B ARE DESIGNATED AS A GREEN SPACE.

20. THIS SUBDIVISION IS SERVED BY THE CITY OF EDINBURG SANITARY SEWER SYSTEM. → NAWSC SEWER

21. THIS SUBDIVISION IS SERVED BY NORTH ALAMO WATER SUPPLY CORPORATION.

OSCAR HERNANDEZ, R.P.L.S. _____ NO. 0008 _____ DATE _____

STATE OF TEXAS
COUNTY OF HIDALGO

I, THE UNDERSIGNED, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECT, AND WAS MADE AND PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY DONE ON THE GROUND UNDER MY SUPERVISION.

JESSICA M. MALDONADO, PE, PHD, CFM _____ NO. 115179 _____ DATE _____

STATE OF TEXAS
COUNTY OF HIDALGO

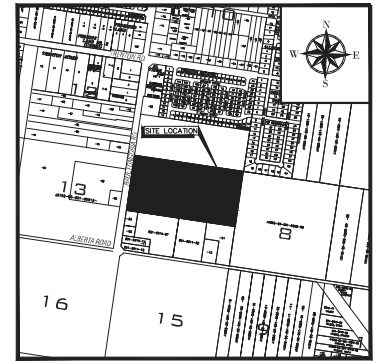
I, THE UNDERSIGNED, A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN TO THIS PLAT.

JESSICA M. MALDONADO, PE, PHD, CFM _____ NO. 115179 _____ DATE _____

PRINCIPAL CONTACTS:

	NAME	ADDRESS	CITY & ZIP
OWNER:	MAURICIO CARBAJAL	3810 W FREDDY GONZALEZ DR.	EDINBURG, TX, 78539
ENGINEER:	JESSICA M. MALDONADO, P.E.	200 S. 10TH ST., SUITE 1500	MALLEN, TX 78501
SURVEYOR:	OSCAR HERNANDEZ, R.P.L.S.	200 S. 10TH ST., SUITE 1500	MALLEN, TX 78501

PHONE	FAX
(956) 404-4861	(000) 000-0000
(956) 702-8880	(956) 702-8883
(956) 702-8880	(956) 702-8883



LOCATION MAP SCALE: 1" = 800'
HIGHLAND HEIGHTS
Scale must be 1"=1000'
(PRIVATE SUBDIVISION)

A 26.80 ACRE (1,167,408.00 SQ. FT.) GROSS, 26.11 ACRE (1,137,366.46 SQ. FT.) NET, TRACT OF LAND OUT OF LOT 14, BLOCK 1, JOHN CLOSER ET AL. SUBDIVISION OF LANDS, AS RECORDED IN VOLUME 0, PAGE 4, MAP RECORDS, HIDALGO COUNTY, TEXAS.

METES AND BOUNDS

A 26.80 ACRE (1,167,408.00 SQ. FT.) GROSS, 26.11 ACRE (1,137,366.46 SQ. FT.) NET, MORE OR LESS, OUT OF LOT 14, BLOCK 1, JOHN CLOSER ET AL. SUBDIVISION OF LANDS, HIDALGO COUNTY, TEXAS, AS PER MAP ON PLAT THEREOF RECORDED IN VOLUME 0, PAGE 4, MAP RECORDS, HIDALGO COUNTY, TEXAS, THEREBY CONVEYED TO RAMON ESTEVES, AS RECORDED IN VOLUME 1256, PAGE 992, DEED RECORDS, HIDALGO COUNTY, TEXAS, AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS, AS FOLLOWS:

COMMENCING AT THE SOUTH COMMON CORNER OF LOT 13, AND LOT 14, OF SAID JOHN CLOSER ET AL. SUBDIVISION OF LANDS, BEING THE INTERSECTION OF RAIL LONGORIA ROAD F.M. 1426 (HAVING AN 80.0 FOOT RIGHT OF WAY), AND THE CENTERLINE OF ALBERTA ROAD (40.0 FOOT RIGHT OF WAY), THENCE: NORTH 08°34'30" EAST (NORTH PLAT), ALONG THE CENTERLINE OF SAID RAIL LONGORIA ROAD, A DISTANCE OF 564.28 FEET, TO A POINT LYING ON SAID ROAD, FOR THE NORTHWEST CORNER OF JAMA NO. 2, AS RECORDED IN INSTRUMENT NUMBER 2781272, MAP RECORDS OF HIDALGO COUNTY, TEXAS, AND BEING THE SOUTHWEST CORNER OF THIS HEREIN DESCRIBED TRACT OF LAND, FOR THE POINT OF BEGINNING, HAVING A GRID COORDINATE OF 641100671.2912, N=14617218.2016.

THENCE: NORTH 08°34'30" EAST (NORTH PLAT), CONTINUING ALONG THE CENTERLINE OF SAID RAIL LONGORIA ROAD, ALSO BEING THE WEST LINE OF LOT 14, BLOCK 1, AND THE EAST LINE OF LOT 13, BLOCK 1, OF THE JOHN CLOSER ET AL. SUBDIVISION OF LANDS, A DISTANCE OF 795.12 FEET, TO A POINT, FOR THE SOUTHWEST CORNER OF SILVER HEIGHTS SUBDIVISION, AS RECORDED IN DOCUMENT NUMBER 3210481, MAP RECORDS OF HIDALGO COUNTY, TEXAS, AND BEING THE NORTHWEST CORNER OF THIS HEREIN DESCRIBED TRACT OF LAND;

THENCE: SOUTH 81°25'30" EAST (EAST PLAT), ALONG THE SOUTH LINE OF SAID SILVER HEIGHTS SUBDIVISION, AT A DISTANCE OF 40.00 FEET, PASS A FOUND HALF (1/2) INCH IRON ROD, AT THE EAST RIGHT OF WAY LINE OF SAID RAIL LONGORIA ROAD, CONTINUING A TOTAL DISTANCE OF 1,546.21 FEET, TO A FOUND HALF (1/2) INCH IRON ROD, BEING THE SOUTHWEST CORNER OF SAID SILVER HEIGHTS SUBDIVISION AND BEING THE NORTHWEST CORNER OF A TRACT OF LAND CONVEYED TO NICOLE KENYON SCHWEDER, AS RECORDED IN DOCUMENT 3208508, OFFICIAL RECORDS, HIDALGO COUNTY, TEXAS, FOR THE NORTHEAST CORNER OF THIS HEREIN DESCRIBED TRACT OF LAND;

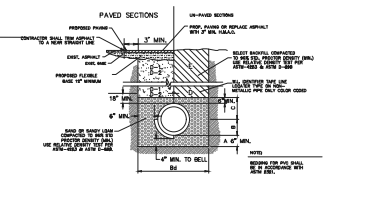
THENCE: SOUTH 08°34'30" WEST (SOUTH PLAT), ALONG THE WEST LINE OF SAID TRACT OF LAND CONVEYED TO NICOLE KENYON SCHWEDER, A DISTANCE OF 1,546.21 FEET, TO A SET HALF (1/2) INCH IRON ROD WITH A PLASTIC CAP STAMPED "SAMES", BEING THE NORTHEAST CORNER OF LOT 2, OF J. L. CANTU SUBDIVISION, AS RECORDED IN DOCUMENT NUMBER 2163437, MAP RECORDS, HIDALGO COUNTY, TEXAS, FOR THE SOUTHWEST CORNER OF THIS HEREIN DESCRIBED TRACT OF LAND;

THENCE: NORTH 81°25'30" WEST (WEST PLAT), ALONG NORTH LINE OF SAID J. L. CANTU SUBDIVISION, AT A DISTANCE OF 386.54 FEET, PASS A FOUND HALF (1/2) INCH IRON ROD, CONTINUING ALONG THE NORTH LINE G.C. SUBDIVISION, AS RECORDED IN DOCUMENT NUMBER 2784433, MAP RECORDS, HIDALGO COUNTY, TEXAS, AT A DISTANCE 772.58 FEET, PASS A FOUND HALF (1/2) INCH IRON ROD, AT A DISTANCE OF 1,506.21 FEET, PASS A FOUND A HALF (1/2) INCH IRON ROD, AT THE EAST RIGHT OF WAY OF RAIL LONGORIA ROAD, A TOTAL DISTANCE OF 1,546.21 FEET, TO THE POINT OF BEGINNING, CONTAINING A 26.80 ACRE (1,167,408.00 SQ. FT.) GROSS, 26.11 ACRE (1,137,366.46 SQ. FT.) NET, TRACT OF LAND, MORE OR LESS.

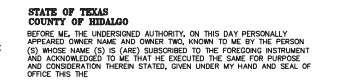
DATE OF PREPARATION: DECEMBER 2021

REGISTRATION # F-10602 SHEET 2 OF 4

SAMES SAM Engineering & Surveying, Inc.
200 S. 10th St., Ste. 1500
McAllen, TEXAS 78501
TEL: (956) 702-8880
FAX: (956) 702-8883



1. EXISTING STRUCTURED TO BE RELOCATED TO CLEAR NEW RIGHT OF WAY AND MEET SETBACK REQUIREMENTS.
2. CASING REQUIRED ON ALL SERVICES EXTENDING ACROSS RIGHT-OF-WAY.
3. METER BOX TO BE PROVIDED BY DEVELOPER/OWNER.
4. WATER METER TO BE PROVIDED BY THE NORTH ALAMO WATER SUPPLY CORPORATION.
5. THE CITY OF EDINBURG WILL DETERMINE THE SIZE OF WATER METER.
6. ALL WATER SERVICES SHALL BE INSTALLED INSIDE UTILITY EASEMENTS.



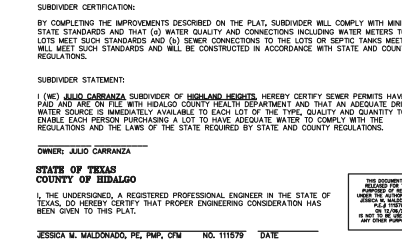
_____ DAY OF _____ 20_____

 NOTARY PUBLIC
 MY COMMISSION EXPIRES _____

SHEET 3 OF 4
 REGISTRATION # F-10602

SAM Engineering & Surveying Inc

200 S. 10TH ST. SUITE 1500. TEL. (956) 702-8880
McALLEN, TEXAS 78501 FAX: (956) 702-8883



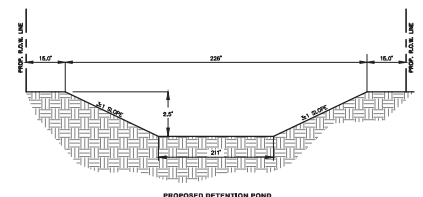
PRINCIPAL CONTACTS:
NAME
OWNER: MAURICIO CARBAJAL
ENGINEER: JESSICA M. MALDONADO, P.E.
SURVEYOR: OSCAR HERNANDEZ, R.P.L.S.

ADDRESS	CITY & ZIP	PHONE	FAX
<u>3910 W. FREDDY GONZALEZ DR.</u>	<u>EDINBURG, TX. 78539</u>	<u>(956) 404-4861</u>	<u>(000) 000-0000</u>
<u>200 S. 10TH ST., SUITE 1500</u>	<u>MCALLEN, TX 78501</u>	<u>(956) 702-8880</u>	<u>(956) 702-8883</u>
<u>200 S. 10TH ST., SUITE 1500</u>	<u>MCALLEN, TX 78501</u>	<u>(956) 702-8880</u>	<u>(956) 702-8883</u>

SAMES SAM Engineering & Surveying, Inc.
200 S. 10TH ST. SUITE 1500. TEL: (956) 702-8880
McALLEN, TEXAS 78501 FAX: (956) 702-8893

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HIGHLAND HEIGHTS DRAINAGE LAYOUT



- EXISTING STRUCTURES TO BE RELOCATED TO CLEAR THE FOOT OF ANY AND MEET SETBACK REQUIREMENTS.
- NOTE TO CONTRACTOR: EXISTING LOT GRADING MUST BE PROPERLY COME BY EXISTING TO SPECIFY A PROPER SLOPE. A 1:0.5 SLOPE TO THE STREET AT THE ROAD SIDE OF THE LOT.

REVISED 08-10-2011
REVISIONS: 1. 10' WIDE SIDEWALK
2. 10' WIDE SIDEWALK

WITH REFERENCE TO THE TOPOGRAPHIC MAP, THE PROPOSED DEVELOPMENT IS IN THE NORTH EAST CORNER OF THE SUBDIVISION. THE PROPOSED DEVELOPMENT IS IN THE NORTH EAST CORNER OF THE SUBDIVISION. THE PROPOSED DEVELOPMENT IS IN THE NORTH EAST CORNER OF THE SUBDIVISION.

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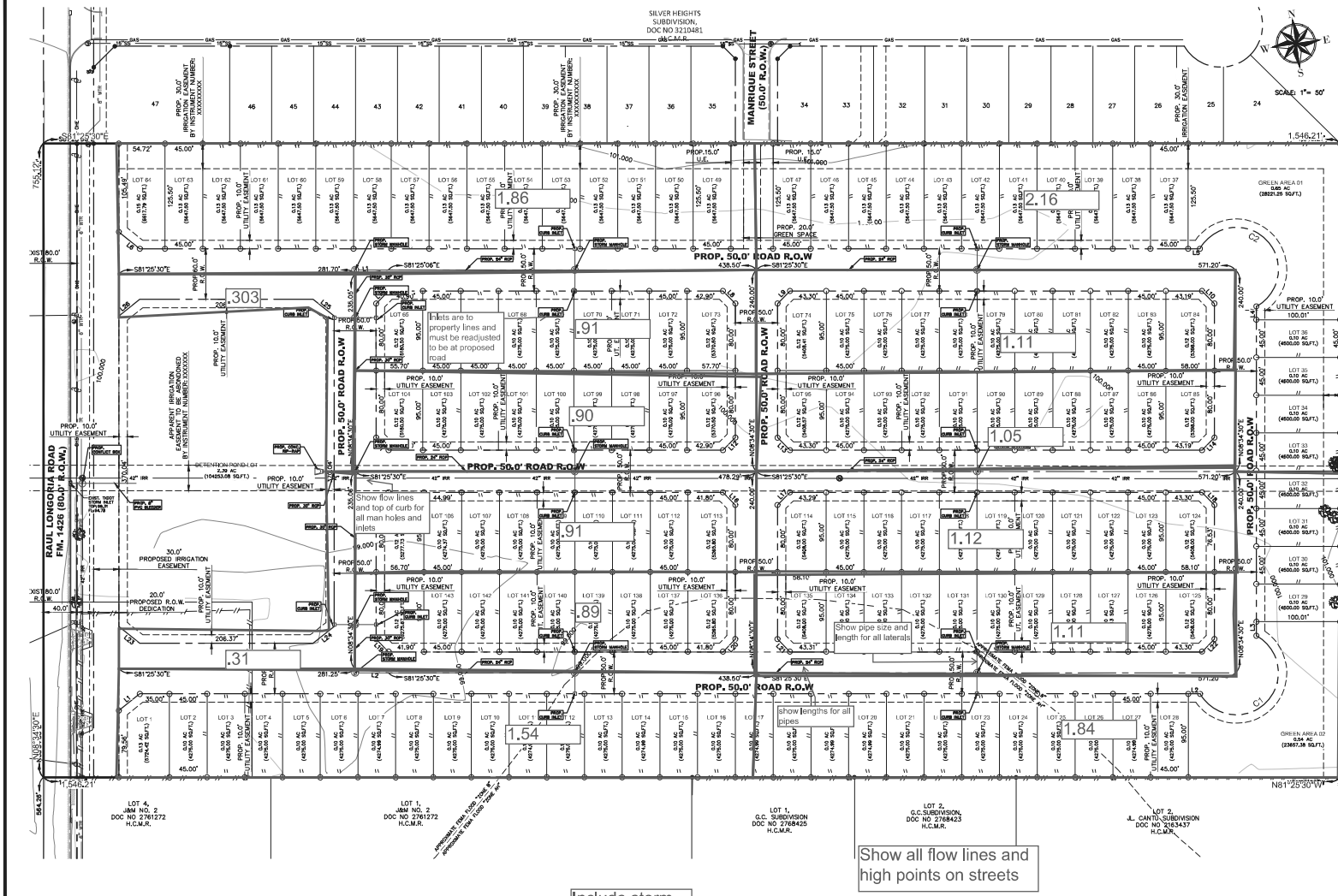
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General Utility Storm Comments:

- Any Trench Excavation Deeper than 5LF shall Require "Support, Shoring or Shielding" system approved by OSHA
- Provide cross section of road widening
- Top of Pond Berm shall not be greater than the lowest top of curb within development
- Maximum Inlet spacing is 600 LF crest to sag is 300 LF
- Will require a Pilot Channel for a pond this size.
- Storm water review is still continuing and will be finalized once storm line is in it's final state, pipe sizes may need to be upsized based on flow capacity
- Tongue and Groove RCP shall not be accepted in lieu of Rubber Gasketed RCP
- ADA Ramps shall be furnished at intersections by subdivision developer
- Coordinate with TxDOT in regards to tying in to their system, UIR Permit must be submitted through city

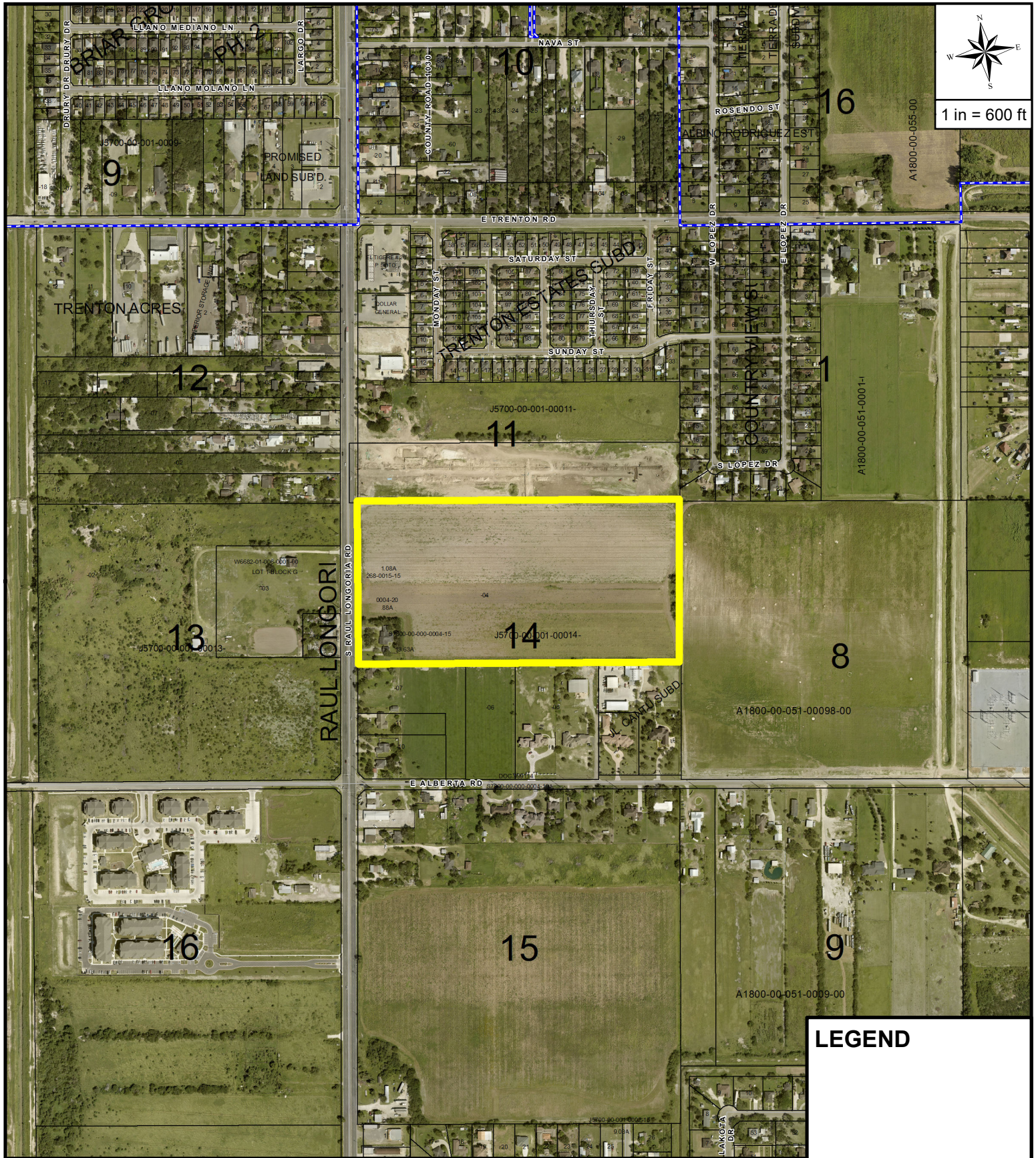
INDEX TO SHEETS OF HIGHLAND HEIGHTS				
SHEET	NO.	SHEET	REVISION	DATE
SHEET 1	1	1		
SHEET 2	2	2		
SHEET 3	3	3		

DATE OF PREPARATION: DECEMBER 2021

REGISTRATION # F-10602

SAMES SAM Engineering & Surveying, Inc.

200 S. 10TH ST. SUITE 1500. TEL: (956) 702-8880
McALLEN, TEXAS 78501 FAX: (956) 702-8883




AERIAL MAP


APPLICANT AND/OR SUBDIVISION:

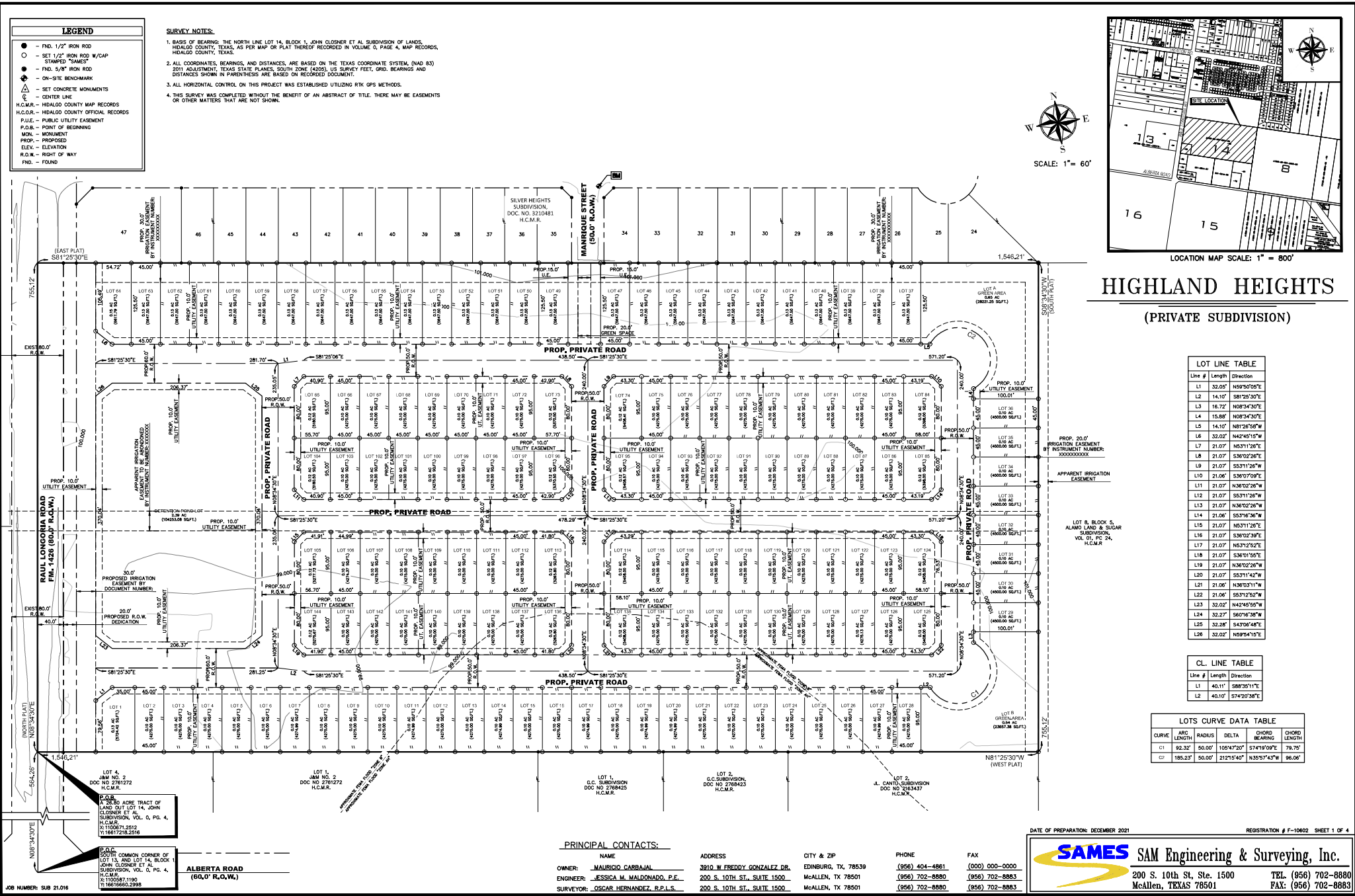
SAMES, INC.

HIGHLAND HEIGHTS SUBDIVISION

LEGEND

 SUBDIVISION SITE

 CITY LIMITS



LEGEND	
●	1/2" IRON ROD
○	1/2" IRON ROD W/CAP
●	1/2" IRON ROD
●	ON-SITE BENCHMARK
▲	SET CONCRETE MONUMENTS
●	CENTER LINE
H.C.M.R.	HIDALGO COUNTY MAP RECORDS
H.C.O.R.	HIDALGO COUNTY OFFICIAL RECORDS
P.U.E.	PUBLIC UTILITY EASEMENT
P.O.B.	POINT OF BEGINNING
MON.	MONUMENT
PROP.	PROPOSED
ELEV.	ELEVATION
R.O.W.	RIGHT OF WAY
IND.	FOUND

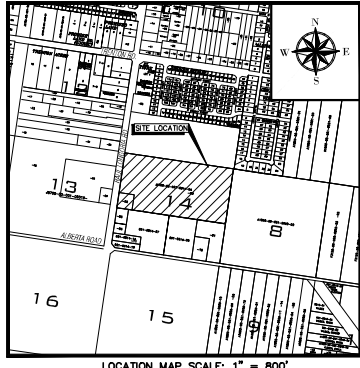
SURVEY NOTES:

1. BASIS OF BEARING: THE NORTH LINE LOT 14, BLOCK 1, JOHN CLOSER ET AL SUBDIVISION OF LANDS, HIDALGO COUNTY, TEXAS, AS PER MAP OR PLAT THEREOF RECORDED IN VOLUME 4, PAGE 4, MAP RECORDS, HIDALGO COUNTY, TEXAS.

2. ALL COORDINATES, BEARINGS, AND DISTANCES ARE BASED ON THE TEXAS COORDINATE SYSTEM, (NAD 83) 2011 ADJUSTMENT, TEXAS STATE PLANE, SOUTH ZONE (4200), US SURVEY FEET, GRID. BEARINGS AND DISTANCES SHOWN IN PARENTHESES ARE BASED ON RECORDED DOCUMENT.

3. ALL HORIZONTAL CONTROL ON THIS PROJECT WAS ESTABLISHED UTILIZING RTK GPS METHODS.

4. THIS SURVEY WAS COMPLETED WITHOUT THE BENEFIT OF AN ABSTRACT OF TITLE. THERE MAY BE EASEMENTS OR OTHER MATTERS THAT ARE NOT SHOWN.



HIGHLAND HEIGHTS

(PRIVATE SUBDIVISION)

LOT LINE TABLE		
Line #	Length	Direction
L1	32.00'	N59°50'00"E
L2	14.10'	S89°25'00"E
L3	16.72'	N03°34'30"E
L4	15.08'	N03°34'30"E
L5	14.10'	N81°26'50"W
L6	32.00'	N42°45'10"W
L7	21.07'	N53°12'26"E
L8	21.07'	S36°02'26"E
L9	21.07'	S53°12'26"E
L10	21.06'	S36°07'09"E
L11	21.07'	N36°02'26"W
L12	21.07'	S53°12'26"W
L13	21.07'	N36°02'26"W
L14	21.06'	S53°16'36"W
L15	21.07'	N53°12'26"E
L16	21.07'	S36°02'30"E
L17	21.07'	N53°12'26"E
L18	21.07'	S36°01'50"E
L19	21.07'	N36°02'26"W
L20	21.07'	S53°12'26"W
L21	21.06'	N36°03'11"E
L22	21.06'	S53°12'52"W
L23	32.00'	N42°45'05"W
L24	32.27'	S60°16'38"W
L25	32.28'	S43°06'48"E
L26	32.00'	N03°34'10"E

CL. LINE TABLE		
Line #	Length	Direction
L1	40.11'	S88°30'11"E
L2	40.10'	S74°20'38"E

LOTS CURVE DATA TABLE				
CURVE	ARC LENGTH	RADIUS	CHORD BEARING	CHORD LENGTH
C1	92.32'	50.00'	105°47'20"	57°41'00"E 79.75'
C2	185.23'	50.00'	212°15'40"	N35°57'43"W 96.06'

PRINCIPAL CONTACTS:

NAME
OWNER: MAURICIO CARBAJAL
ENGINEER: JESSICA M. MALDONADO, P.E.
SURVEYOR: OSCAR HERNANDEZ, R.P.S.

ADDRESS
3910 W. FREDDY GONZALEZ DR.
200 S. 10TH ST., SUITE 1500
200 S. 10TH ST., SUITE 1500

CITY & ZIP
EDINBURG, TX 78539
McALLEN, TX 78501
McALLEN, TX 78501

PHONE
(956) 404-4861
(956) 702-8880
(956) 702-8880

FAX
(000) 000-0000
(956) 702-8883
(956) 702-8883

DATE OF PREPARATION: DECEMBER 2021

REGISTRATION # F-10602 SHEET 1 OF 4

**SAM Engineering & Surveying, Inc.**

200 S. 10th St, Ste. 1500
McAllen, TEXAS 78501

TEL: (956) 702-8880
FAX: (956) 702-8883



Case #

Edinburg THE CITY OF

Planning & Zoning Department
415 W. University Drive
Edinburg, Texas 78539

Subdivision Application

(956) 388-8202

Highland Heights

Date: December 6, 2021

Request Type: Preliminary Plat

1. Developer: Julio Carranza

2. Owner/Contact Name: Berta Estevis

3. Owner/Contact Phone: (956) 207-0987

4. Owner/Contact Email: 'Julio Carranza' <admin@mycjehome>

5. Owner Address: 802 Amistad Circle Edinburg, TX 78539

6. Exact Name of Subdivision: Highland Heights

7. Property ID: 199630

8. Current Zoning: AG - Agriculture

Required Zoning: UR - Urban Residential

10. Legal Description:

JOHN CLOSER LOT 14-1AC/SW5/N26.85 BLK 1 1.0 AC NET & JOHN CLOSER N26.85' EXC SW5AC & NW1AC LOT 14 BLK 1

11. Inside City Limits? No If "No," is in the Comprehensive Development Area Rural Development Area

12. Primary Consulting Firm: SAMES, INC.

13. Phone: (956) 702-8880

14. Consulting Firm Address: 200 S 10TH ST SUITE 1500 MCALLEN, TX 78501

15. Consulting Firm Email(s): jessica@samengineering-surveying.com & alex@samengineering-surveying.com

16. Desired Land Use Option: Single Family

17. Number of Lots: Single Family 144 Multi-Family Commercial Industrial

18. Proposed Wastewater Treatment: Sanitary Sewer OSSF (On-Site Sewage Facility)

19. Electric Power and Light Company to Serve the Proposed Subdivision: AEP (Central Power & Light)

20. Irrigation District: Hidalgo County No. 2

Potable-water Retailer: North Alamo Water Supply Corp.

Owner of record, holding title to real estate within the proposed subdivision. Ownership instrument (i.e. Title Policy, Warranty Deed and Deed of Trust) shall be submitted with application. All such owners are listed immediately below.

Owner Name(s) (Print or Type) Ramon Estevis	Owner Mailing Address & Zip Code 802 Amistad Cir Edinburg, TX 78539
Owner Phone Number (956) 207-0987	Owner Email

Have any of said owners designated agents to submit and revise this plat application on their behalf?

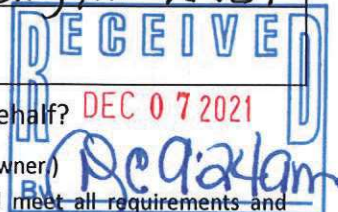
Yes No (If "Yes" attached duly notarized documentation to that effect, signed by each such owner)

The undersigned owner(s) of record (or their authorized agents) hereby agree to make all improvements and meet all requirements and standards as specified in the City of Edinburg Unified Development Code and Ordinances. The undersigned hereby request that the Edinburg Planning & Zoning Commission and the City Commission approve the attached subdivision plat. I certify that all items contained in this application and attachments (including all construction plans) are true and correct to the best of my knowledge and not in conflict with any deed restrictions or restrictive covenants. Furthermore, I understand that any omission or incorrect information may result in approval or permit being denied or revoked. Developer's requirement sheet must be completed, signed, and submitted with the application form.

Signature

Date

12/6/21



DESCRIPTION	Provided	Need to Provide	Not Applicable	Need to Revise	COMMENTS
-------------	----------	-----------------	----------------	----------------	----------

Pre-Construction Meeting:

Notice To Proceed		✓			Dated:
Roadway Open-Cut or Bore Permit Application		✓			Dated:
TX-Dot Water UIR Permit		✓			Bore / Open Cut / etc.
TX-Dot Sewer UIR Permit		✓			Bore / Open Cut / etc.
N.O.I. Submittal		✓			Dated:
SWPP Booklet Submittal		✓			Dated:
RFI #1 Request		✓			Dated:
Change Orders		✓			Dated:
Final Walk Though		✓			Dated:
Punch List		✓			Dated:
Punch List (Completed and Approved)		✓			Dated:
Letter of Acceptance		✓			Dated:
1-year Warranty (Water/Sewer/Paving/Drainage)		✓			Dated:
Backfill Testing Results		✓			Dated:
As-Builts (Revised Original Submittal)		✓			Dated:

Recording Process:

Public Improvements with (Letter of Credit)		✓			Dated:	Expires:
Recording Fees	\$ 106.00	✓			As required by County Clerks office	
Copy of H.C.D.D. #1 of invoice		✓			Required to be paid prior to Final Stages	
Street Light Escrow	\$ -	✓			Required: 0	EA. @ \$ -
Street Escrow (FM 1426) Raul Longoria Rd	\$ -		✓		Required: 0	EA. @ \$ -
Sidewalk (Exterior 5-ft)	\$ 16,500.00	✓			Required: 660	LF @ \$ 25.00
TOTAL OF ESCROWS:	\$ 16,500.00					
Total Developer's Construction Cost: (Letter of Credit)					Date :	Lender :
Laboratory Testing Fee: 3%	\$ -	✓			\$ -	Estimated Construction Cost
Inspection Fee: 2%	\$ -	✓			\$ -	Final Construction Cost
Park Land Fees: Park Zone # 6	\$ 43,200.00	✓	✓		144 Lots @ \$ 300.00	Full rate within the ETJ
0 Residential \$ -	\$ -		✓		50% Development	50% Building Stage
0 Multi-Family \$ -	\$ -		✓		0% Development	0% Building Stage
Water Rights: NAWSC - CCN	\$ -		✓		26.80 Acres	\$ 2,896.81
Water 30-year Letter (Residential)	\$ -		✓		144 Lots @ \$ -	NAWSC WATER-CCN
Water 30-year Letter (Multi-Family)	\$ -		✓		0 Lots @ \$ -	
Sewer 30-year Letter NAWSC - CCN	\$ -		✓		144 Lots @ \$ -	NAWSC SEWER-CCN
TOTAL OF FEES:	\$ 43,200.00					

Reimbursements:

Developer Sewer Improvements	\$ -		✓		Off-Site System: 0.000	AC	\$ -
Developer Water Improvements	\$ -		✓		Off-Site System 0.00	AC	\$ -
TOTAL OF REIMBURSEMENTS:	\$ -						

Buyouts:

North Alamo Water Supply Corporation	\$ -	✓			Required Buyout 0.00	AC.	\$ -
Sharyland Water Supply Corporation			✓		Not Applicable		

Tax Certificates

County of Hidalgo / School District		✓					
Water District		✓			Hidalgo County Irrigation District # 1		

Total of Escrows, Fees, Reimbursements and Buyouts:

Escrows	\$ 16,500.00	Street & Sidewalk Improvements for Trenton Road (Not Required)					
Inspections other Fees	\$ 43,200.00	Parkland Fees, Water/Sewer 30-year Agreement/Water Rights					
Reimbursements	\$ -	Reimbursement to the Developer of Subdivision					
City of Edinburg	\$ -	15% Payable to the City of Edinburg for Administrative Fee					
To the Developer of Record	\$ -	85% Payable to the Developer of Record Owner / Developer					
Buyouts	\$ -	Based on Subdivision (Need Request and Approval rate from ? Broad)					
TOTAL :	\$ 59,700.00	Developer Total Cost of Fees, Escrows, Reimbursements & Buyouts					

STAFF REPORT: RICDEZ ESTATES SUBDIVISION

Date Prepared: January 13, 2022
Planning and Zoning Meeting: January 17, 2022
Agenda Item: 7F Preliminary Plat

Subject: Consider the Preliminary Plat of **RICDEZ ESTATES SUBDIVISION**, being a 5.0 acre tract out of land out of Lot 8, Section 250, Texas-Mexican Railway Company's Survey Subdivision, located at 5201 East Mile 17 North (Chapin St), as requested by SAMES Engineering.

Location: The property is located at the northwest corner of East Mile 17 North (Chapin St) and North Alamo Road, and is within the City of Edinburg ETJ.

Zoning: Not Applicable

Analysis: The Preliminary Plat proposes a single-family residential development with a total of five (5) lots averaging approximately 21,100.00 sq. ft. with proposed set backs as follows: Front 20 ft., Side 6 ft., and Rear 15 ft.

Utilities: Water Distribution System and Sanitary Sewer Collection System are within North Alamo Water Supply Corporation – CCN and with the availability to extend sewer to serve development. All utility improvements within the proposed subdivision that are not limited to water, sewer, curb & gutter, and fire hydrants will be installed by the developer in accordance with the approved 2014 Standards Manual.

Recommendations:

City of Edinburg Planning & Zoning Department:

Staff recommends approval of the Preliminary Plat, subject to the compliance with the Unified Development Code, General Notes; on FEMA flood zone, zoning, setbacks, finish floor elevation, benchmark, drainage detention, parkland fees, limited access, SWP3 requirements, sidewalks, and other notes as required based on development.

City of Edinburg Engineering / Utilities Department:

Preliminary Phase Submittal comments for this subdivision are included in the packet. As per Engineering, the plat shall be Preliminarily Approved until all comments have been addressed by the project engineer.



City of Edinburg Fire Department:

The following are the preliminary phase submittal comments as noted by the Fire Department:

1. Provide street names to the City of Edinburg Engineering Department for approval.
2. Fire lane 15 ft. in width shall be painted in front of all fire hydrants.
3. Provide double face blue fire hydrant street marker on center on the street in front of the fire hydrant.
4. Fire hydrant shall be every 600 ft. for one and two family dwellings as per Section 507.5.1 of 2012 IFC.
5. All streets should be 32 ft. B-B paving section according to Table 8.204 of the Edinburg Unified Development Code.

City of Edinburg Storm Water:

The following are the preliminary phase submittal comments as noted by Storm Water:

1. **SW3P** (Stormwater Pollution Prevention Plan)
2. **NOI** (Notice of Intent, Per TCEQ)
3. **Large Construction Notice** (Per TCEQ Inventory)
4. **Detailed Erosion Control Plan** (Silt Fence, Construction Entrance, Inlet Protection, Concrete Washout)
5. **Detailed Post Construction BMP's Plan** (70% Vegetation or Silt Fence back of curb)
6. **Plat Note** (All construction shall comply with Stormwater Pollution Prevention Plan (SW3P) requirements. Erosion and Sedimentation Controls constructed in accordance with the Stormwater Ordinance 98.30 of the City of Edinburg are required for all construction on each lot including single family and duplex/multi-family construction)
7. **NOT** (Notice of Termination, Per TCEQ) will now be required before the final walk through.
8. **Comments:**
 - SW3P Plat note has been revised. Please see the note for your reference.
 - NOT will need to be submitted before the final walk through.
 - Stormwater is now requiring a Post Construction Plan on plans that are submitted, either 70% vegetation or Install Silt Fence behind the back of curb.
 - Silt Fence around the entire project.
 - Large Construction Notice needs to be submitted with contractors contact information.
 - All items must be submitted before the NTP is issued.
 - Please email pending items to rvalenzuela@cityofedinburg.com

City of Edinburg Solid Waste:

Single Family Residential Development within the City of Edinburg - ETJ.



ENGINEERING DEPARTMENT

Preliminary Staff Review

January 11, 2022

Nadia M. Lopez, P.E.

SAMES, Inc.
200 S. 10th St. Suite 1500.
McAllen, TX 78501
(956) 702-8880

RE: RICDEZ ESTATES – PRELIMINARY REVIEW

Ms. Lopez,

Attached are the Preliminary Phase Submittal comments for Ricdez Estates Subdivision. Submittal is adequate as presented and recommended for preliminary approval.

Any questions feel free to contact us.



Thanks,

Digitally signed by Peter
Hermida
Date: 2022.01.11
18:22:19 -06'00'

Peter Hermida E.I.T.

Email: phermida@cityofedinburg.com

415 W. University Drive
Edinburg, Texas 78539

Cc: Mardoqueo Hinojosa, P.E., CFM, City Engineer, Patrizia Longoria, Engineer III, Roberto Hernandez, Engineer I, Abel Beltran, Planner I, Vince Romero, Director of Public Works, Robert Valenzuela, Storm Water Specialist, Kimberly Mendoza, Director of Planning and Zoning, Rita Lee Guerrero, Planner I, Jaime Xavier Ayala, Planner II, Gerardo Carmona P.E., Director of Utilities, Jose Flores, Systems Superintendent, Omar Garza, Fire Marshal, Ramiro Gomez, Director of Solid Waste

REFERENCES:

City of Edinburg – 2014 Standard Manual – Construction and Development Requirements; Unified Development Code; and if required a TX-Dot Permitting UIR permitting process.



LOCATION OF SUBDIVISION WITH RESPECT TO THE EXTRATERRITORIAL
HIDEZ ESTATES SUBDIVISION IS LOCATED APPROXIMATELY 780 FEET WEST OF ALAMO ROAD ON THE NORTH SIDE OF F. CUMBERLAND IS THE ONLY NEARBY MUNICIPALITY CITY OF EDINBURG, ACCORDING TO THE OFFICIAL MAP IN THE OFFICES OF THE SECRETARY OF THE CITY OF EDINBURG AND HIDALGO COUNTY PLANNING AND DEPARTMENT. THIS SUBDIVISION LIES WITHIN 1 MILE EXISTING JURISDICTION (E.T.) OF THE CITY OF EDINBURG. LOCAL GOVERNMENT CODE 212.001 PRESCRIPT No. 1.

BEING 5.0 ACRES (217,800 SQUARE FEET) OF LAND COMPRISED OF THE FOLLOWING:
TRACT 1: 0.98 of an acre (42,900 square feet) of land described as the WEST 130 FEET OF THE EAST 427 FEET OF THE SOUTH FIVE (5) ACRES OF THE EAST TWENTY (20) ACRES CONVEYED TO RICEPROPERTIES, LLC, RECORDED IN DOCUMENT NUMBER 3190792, OFFICIAL RECORDS, HIDALGO COUNTY, TEXAS.
TRACT 2: 4.02 ACRES (175,111.20 SQUARE FEET) OF LAND OUT OF THE SOUTH FIVE (5) ACRES OF THE EAST TWENTY (20) ACRES CONVEYED TO RICARDO REZENDEZ, RECORDED IN DOCUMENT NUMBER 3133445, OFFICIAL RECORDS, HIDALGO COUNTY, TEXAS.

COMMENCING AT THE COMMON CORNER FOR LOTS 8, AND 9, SECTION 260, OF SAID TEXAS-MEXICAN RAILWAY COMPANY'S SURVEY, HIDALGO COUNTY, TEXAS, AND THE SOUTHWEST CORNER OF EDINBURG CONSOLIDATED INDEPENDENT SCHOOL DISTRICT, RECORDED IN DOCUMENT NUMBER 1919415, OFFICIAL RECORDS, HIDALGO COUNTY, TEXAS, BEING AT THE CENTERLINE OF CHAPIN ROAD (HAVING A 40.0 FT. RIGHT OF WAY) FOR THE SOUTHEAST CORNER AND POINT OF BEGINNING OF THE TRACT HEREIN DESCRIBED; (HAVING A STATE PLANE COORDINATE OF X=113924.0772 Y=16637344.319)

2. THENCE, NORTH 09 DEG. 07 MIN. 43 SEC. EAST, (NORTH-PLAT) ALONG THE COMMON LINE OF SAID FIVE (5) ACRES OF THE EAST TWENTY (20) ACRES CONVEYED TO RICARDO RESENDEZ, AND A 0.98 ACRE TRACT CONVEYED TO JOSE L. GARCIA AND ROSENDA GARCIA, AT A DISTANCE OF 20.0 FEET PASS A FOUND 1/2 INCH IRON ROD WITH PLASTIC CAP STAMPED 'SAMES' FOR THE NORTH RIGHT OF WAY LINE. SAID CHAPIN ROAD, CONTINUING A TOTAL DISTANCE OF 330.00 FEET TO A FOUND 1/2 INCH IRON ROD ON THE COMMON CORNER OF SAID FIVE (5) ACRES OF THE EAST TWENTY (20) ACRES CONVEYED TO RICARDO RESENDEZ, AND A 5.0 ACRE TRACT CONVEYED TO JOSE ROBERTO PULIDO JR. RECORDED IN DOCUMENT NUMBER 137089R, OFFICIAL RECORDS, HIDALGO COUNTY, TEXAS, FOR THE NORTHWEST CORNER OF THE TRACT HEREIN DESCRIBED;

4. THENCE, SOUTH 08 DEG. 51' 04" SEC. WEST, (SOUTH-PLAT) ALONG THE COMMON LINE OF SAID FIVE (5) ACRES OF THE EAST TWENTY (20) ACRES CONVEYED TO RICARDO RENDEZ, AND OF SAID EDINBURG CONSOLIDATED INDEPENDENT SCHOOL DISTRICT SUBDIVISION AND THE EAST LINE OF LOT 8, SECTION 250, OF SAID TEXAS-MEXICAN RAILWAY COMPANY'S SURVEY, A DISTANCE OF 330.00 FEET, TO THE POINT OF BEGINNING; CONTAINING 80 ACRES (217,800 SQUARE FEET) OF LAND WITHIN THIS METES AND BOUNDS DESCRIPTION.

THIS DOCUMENT IS
RELEASED FOR THE
PURPOSES OF REVIEW
UNDER THE AUTHORITY OF
OSCAR WERNERKE
SP-11J, 8 9000
ON 12/26/2001
IT IS NOT TO BE USED FOR
ANY OTHER PURPOSES.

000001 000002 000003 000004 000005 000006 000007 000008 000009 000010 000011 000012 000013 000014 000015 000016 000017 000018 000019 000020 000021 000022 000023 000024 000025 000026 000027 000028 000029 000030 000031 000032 000033 000034 000035 000036 000037 000038 000039 000040 000041 000042 000043 000044 000045 000046 000047 000048 000049 000050 000051 000052 000053 000054 000055 000056 000057 000058 000059 000060 000061 000062 000063 000064 000065 000066 000067 000068 000069 000070 000071 000072 000073 000074 000075 000076 000077 000078 000079 000080 000081 000082 000083 000084 000085 000086 000087 000088 000089 000090 000091 000092 000093 000094 000095 000096 000097 000098 000099 000100 000101 000102 000103 000104 000105 000106 000107 000108 000109 000110 000111 000112 000113 000114 000115 000116 000117 000118 000119 000120 000121 000122 000123 000124 000125 000126 000127 000128 000129 000130 000131 000132 000133 000134 000135 000136 000137 000138 000139 000140 000141 000142 000143 000144 000145 000146 000147 000148 000149 000150 000151 000152 000153 000154 000155 000156 000157 000158 000159 000160 000161 000162 000163 000164 000165 000166 000167 000168 000169 000170 000171 000172 000173 000174 000175 000176 000177 000178 000179 000180 000181 000182 000183 000184 000185 000186 000187 000188 000189 000190 000191 000192 000193 000194 000195 000196 000197 000198 000199 000200 000201 000202 000203 000204 000205 000206 000207 000208 000209 000210 000211 000212 000213 000214 000215 000216 000217 000218 000219 000220 000221 000222 000223 000224 000225 000226 000227 000228 000229 000230 000231 000232 000233 000234 000235 000236 000237 000238 000239 000240 000241 000242 000243 000244 000245 000246 000247 000248 000249 000250 000251 000252 000253 000254 000255 000256 000257 000258 000259 000260 000261 000262 000263 000264 000265 000266 000267 000268 000269 000270 000271 000272 000273 000274 000275 000276 000277 000278 000279 000280 000281 000282 000283 000284 000285 000286 000287 000288 000289 000290 000291 000292 000293 000294 000295 000296 000297 000298 000299 000300 000301 000302 000303 000304 000305 000306 000307 000308 000309 000310 000311 000312 000313 000314 000315 000316 000317 000318 000319 000320 000321 000322 000323 000324 000325 000326 000327 000328 000329 000330 000331 000332 000333 000334 000335 000336 000337 000338 000339 000340 000341 000342 000343 000344 000345 000346 000347 000348 000349 000350 000351 000352 000353 000354 000355 000356 000357 000358 000359 000360 000361 000362 000363 000364 000365 000366 000367 000368 000369 000370 000371 000372 000373 000374 000375 000376 000377 000378 000379 000380 000381 000382 000383 000384 000385 000386 000387 000388 000389 000390 000391 000392 000393 000394 000395 000396 000397 000398 000399 000400 000401 000402 000403 000404 000405 000406 000407 000408 000409 000410 000411 000412 000413 000414 000415 000416 000417 000418 000419 000420 000421 000422 000423 000424 000425 000426 000427 000428 000429 000430 000431 000432 000433 000434 000435 000436 000437 000438 000439 000440 000441 000442 000443 000444 000445 000446 000447 000448 000449 000450 000451 000452 000453 000454 000455 000456 000457 000458 000459 000460 000461 000462 000463 000464 000465 000466 000467 000468 000469 000470 000471 000472 000473 000474 000475 000476 000477 000478 000479 000480 000481 000482 000483 000484 000485 000486 000487 000488 000489 000490 000491 000492 000493 000494 000495 000496 000497 000498 000499 000500 000501 000502 000503 000504 000505 000506 000507 000508 000509 000510 000511 000512 000513 000514 000515 000516 000517 000518 000519 000520 000521 000522 000523 000524 000525 000526 000527 000528 000529 000530 000531 000532 000533 000534 000535 000536 000537 000538 000539 000540 000541 000542 000543 000544 000545 000546 000547 000548 000549 000550 000551 000552 000553 000554 000555 000556 000557 000558 000559 000560 000561 000562 000563 000564 000565 000566 000567 000568 000569 000570 000571 000572 000573 000574 000575 000576 000577 000578 000579 000580 000581 000582 000583 000584 000585

I, THE UNDERSIGNED, A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN TO THIS PLAN.

UNDER THE AUTHORITY OF JESSICA M. MALDONADO, PE, LICENSE NO. 115759, ON 12/15/2021, IT IS 100% PASS FOR ANY OTHER PURPOSES.

JESSICA M. MALDONADO, PE NO. 115759 DATE _____

SAMES SAM Engineering & Surveying

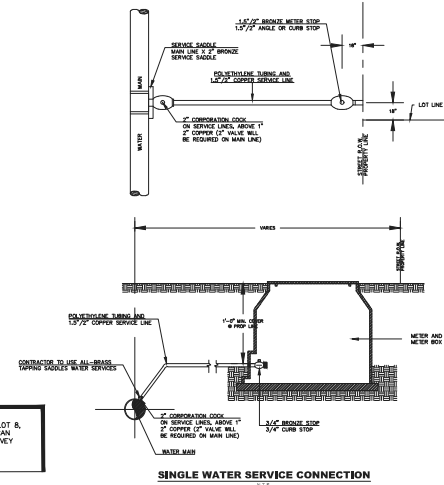
NAME
OWNER: RICARDO RESENDEZ
ENGINEER: JESSICA M. MALDONADO, P.E.
SURVEYOR: OSCAR HERNANDEZ, RPLS

	PHONE	FA
TX 78539	(000) 000-0000	(0
TX 78501	(956) 702-8880	(9
TX 78501	(956) 702-8880	(9

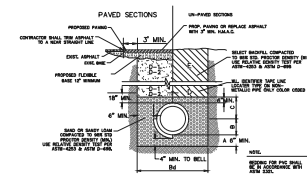
SAM Engineering
200 S. 10TH ST. SUITE 150
McALLEN, TEXAS 78501

00. TEL. (956) 702-8880
FAX: (956) 702-8883

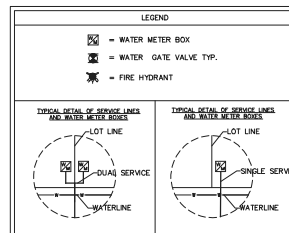
SCALE: 1" = 40'



- | | |
|------------------------|--------------|
| <u>COST ESTIMATE</u> | |
| DRAINAGE IMPROVEMENTS: | \$200,000 |
| WATER DISTRIBUTION: | \$4,000,000 |
| OSSF: | \$10,000,000 |



- [illegible]

[illegible]

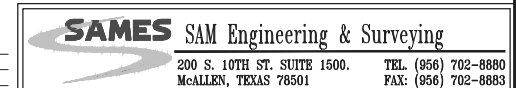
NO.	SHEET	REVISION	DATE	APPROVED

PRINCIPAL CONTACTS	
NAME	ADDRESS
OWNER: RICARDO RESENDEZ	204 E. CANO STREET
ENGINEER: JESSICA M. MALDONADO	200 S. 10TH ST., SUITE 1500
SURVEYOR: OSCAR HERNANDEZ, RPLS	200 S. 10TH ST., SUITE 1500

CITY & ZIP	PHONE	FAX
<u>EDINBURG, TX, 78539</u>	<u>(956) XXX-XXXX</u>	<u>(000) 000-0000</u>
<u>McALLEN, TX 78501</u>	<u>(956) 702-8880</u>	<u>(956) 702-8883</u>
<u>McALLEN, TX 78501</u>	<u>(956) 702-8880</u>	<u>(956) 702-8883</u>

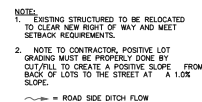
DATE OF PREPARATION: DECEMBER 2021

SHEET 2 OF 3
REGISTRATION # F-10602



General Utility Storm Comments:

1. Any Trench Excavation Deeper than 5LF shall Require "Support, Shoring or Shielding" system approved by OSHA
2. Provide cross section of road widening,
3. Pond/ditch excavation must have some semblance of grade, must be provided in the form of a profile,
4. Tongue and Groove RCP shall not be accepted in lieu of Rubber Gasketed RCP



REVISED 12-06-2021
DRAINAGE REPORT
RICEZ ESTATES SUBDIVISION
UNDEVELOPED DRAINAGE PATTERN:

WITH REFERENCE TO USGS, TOPOGRAPHIC MAP AND FIELD OBTAINED TOPOGRAPHIC SURVEY, THE SITE EXISTING WATERSHED RUNOFF TRAVELS FROM THE NORTHWEST OF THE PROPERTY OVERLAND APPROXIMATELY 100 FEET, CONTINUING AS CONCENTRATED FLOW FOR APPROXIMATELY 925 FEET EAST UNTIL REACHING AN ELEVATION OF 78.32 FEET. ACCORDING TO THE CALCULATIONS, UTILIZING THE RAINFALL-RUNOFF MODEL - THE RAINFALL-RUNOFF, THE EXISTING POND RUNOFF FROM A 10-AC STORM EVENT IS APPROXIMATELY 3.49 CFS FOR THIS PROPERTY AS UNDEVELOPED. THERE IS AN EXISTING RESIDENTIAL HOME OF APPROXIMATELY 3,800 SQ.FT. AND DRIVEWAY HOWEVER WAS NOT APPROPRIATELY DESIGNED FOR THE PROPOSED DRAINAGE CALCULATIONS.

PROPOSED USE AND DRAINAGE IMPROVEMENTS:

THE PROPOSED DEVELOPMENT ANTICIPATES THAT THIS PROPERTY WILL CONSIST OF TOTAL OF 5 SINGLE-FAMILY RESIDENTIAL HOMES WITH ASSOCIATED ENTRANCE DRIVES FROM E. CHAPIN RD AND ALAMO ROAD. THE REQUIRED BUILDINGS FINISH FLOOR ELEVATION IS 18 FEET. THE PROPOSED DEVELOPMENT ANTICIPATES THAT THE PROPOSED DEVELOPMENT WILL BE 100 FEET. POST DEVELOPMENT RUNOFF EVALUATION ANTICIPATES OVERLAND FLOW FROM ROOFS AND SHALLOW CONCENTRATED FROM GRASS AREAS AND PAVEMENT GRADED TO ROADWAY. ROADWAY MAY BE GRADED TO 18 FEET. THE PROPOSED DEVELOPMENT ANTICIPATES GRADED ALONG THE NORTH RIGHT OF WAY LINE OF E. CHAPIN RD, AND CONTINUING TO FLOW ALONG THE WEST RIGHT OF WAY LINE OF N. ALAMO RD. (FM 907). THE ANTICIPATED INCREASE IN POST-DEVELOPMENT RUNOFF WAS CALCULATED TO BE 11.3 CFS, WITH THE PEAK FLOW ANTICIPATED TO BE 106.2 CFS FOR A 10 YEAR RAINFALL EVENT.

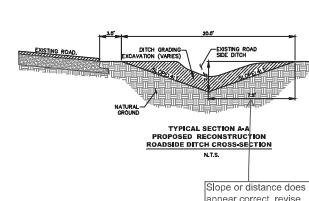
CALCULATIONS:

THE ANTICIPATED POST DEVELOPMENT PEAK RUNOFF CALCULATED FOR A 50-YEAR STORM EVENT IS 8.33 CFS. AN INCREASE OF 5.13 CFS, FROM THE EXISTING 10-YR STORM RUNOFF CONDITIONS.

THE REQUIRED DETENTION WILL BE ACCOMPLISHED BY DETAINING RUNOFF WITHIN A PROPOSED ROADSIDE DITCH LOCATED WITHIN THE ADDITIONAL 20.0 FT. OF RIGHT-OF-WAY DEDICATED PROPOSED WITH THIS SUBDIVISION. THE PROPOSED ROADSIDE DITCH REGARDING THAT WILL BE CONSISTING OF (APPROXIMATELY 860 LINEAR FEET) ADJACENT TO THE SOUTH AND THE EAST SIDES OF THE PROPOSED DEVELOPMENT, THAT WILL ULTIMATELY HAVE A CAPACITY OF 7,420.0 CF. (SEE ATTACHED DRAINAGE LAYOUT AND TYPICAL CROSS-SECTION FOR DETAILS). STORM RUNOFF WILL CONTINUE NORTH WITHIN THE EXISTING ALAMO ROAD WEST RIGHT-OF-WAY DITCH FOR APPROXIMATELY 2,480 LINEAR FEET UNTIL IT REACHES THE EXISTING DITCH. SAFETY ENGINEERS HAVE RECOMMENDED THAT NORTH BRANCH DRAINAGE OF MILE 17 1/2 N. THE DITCH HAS A FLOW LINE ELEVATION OF APPROXIMATELY 62.77 FT.

DETENTION TABLE	
TOTAL DETENTION REQ'D CALCULATIONS	7,323.00 CUFT
TOTAL DETENTION PROVIDED	7,420.00 CUFT

must accomodate at least 14633 cu.ft.



DRAINAGE REQUIREMENTS LOT 1:

PROPOSED USE:
CALCULATION METHOD:
DESIGN STORM:
PRE-DEVELOPMENT PEAK RUNOFF:
POST-DEVELOPMENT PEAK RUNOFF:
DETENTION REQUIREMENT:
OUTFALL LOCATION:

BY MY SIGNATURE BELOW, I CERTIFY THAT THIS SUBDIVISION LIES IN A ZONE "X" AREAS BETWEEN LIMITS OF 100-YEAR AND 500 YEAR FLOOD; OR AREAS OF 100-YEARS FLOOD WITH AVERAGE DEPTHS FT LESS THAN 1 FOOT; OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 100-YEAR FLOOD.

COMMUNITY PANEL NUMBER 480334 0325 D,
MAP REVISED JUNE 6, 2000.

THIS DOCUMENT IS
RELEASED FOR THE

PREPARED BY: JESSICA M. MALDONADO, P.E.

DATE _____

NO.	SHEET	REVISION	DATE	APPROVED

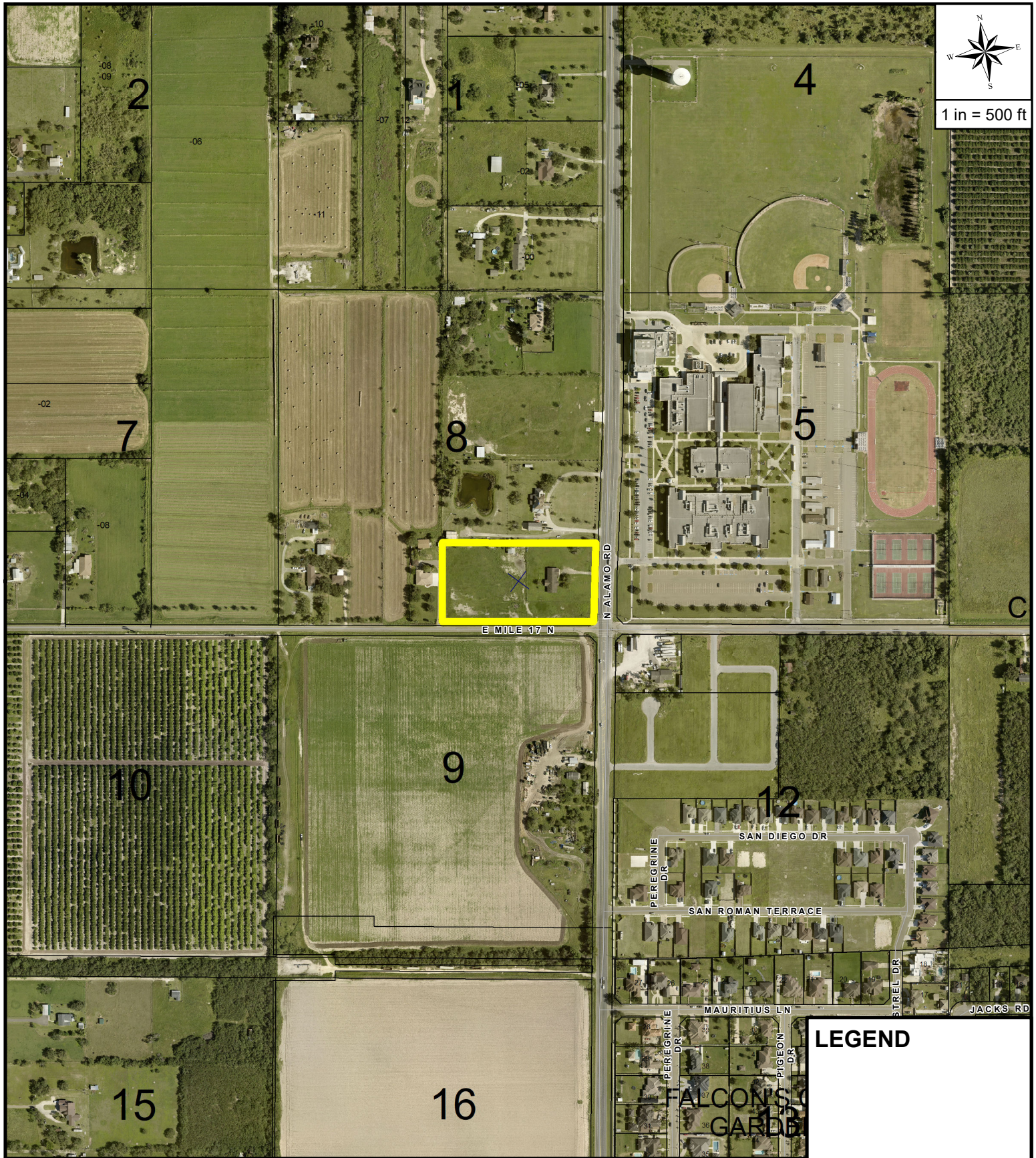
PRINCIPAL CONTACTS:

	NAME	ADDRESS	CITY & ZIP
OWNER:	<u>RICARDO RESENDEZ</u>	<u>204 E. CANO ST.</u>	<u>EDINBURG, TX, 78539</u>
ENGINEER:	<u>JESSICA M. MALDONADO P.E.</u>	<u>200 S. 10TH ST., SUITE 1500</u>	<u>McALLEN, TX 78501</u>
SURVEYOR:	<u>OSCAR HERNANDEZ, R.P.L.S.</u>	<u>200 S. 10TH ST., SUITE 1500</u>	<u>McALLEN, TX 78501</u>

DATE OF PREPARATION: DECEMBER 2021



SHEET 3 OF 3
REGISTRATION # F-10602

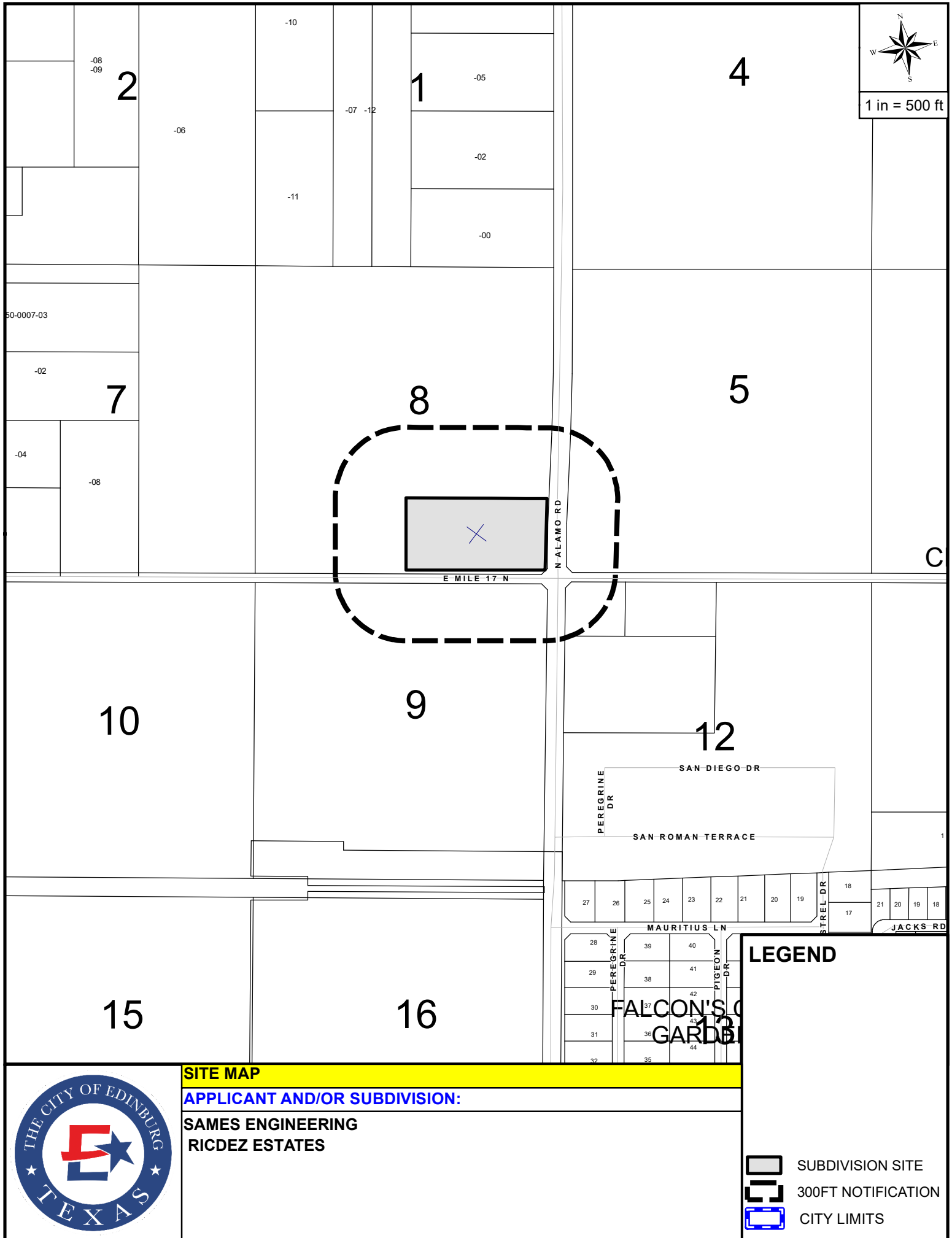
SAMES SAM Engineering & Surveying
200 S. 10TH ST. SUITE 1500. TEL. (956) 702-8880
McALLEN, TEXAS 78501 FAX: (956) 702-8883



AERIAL MAP	
APPLICANT AND/OR SUBDIVISION:	
SAMES ENGINEERING	
RICDEZ ESTATES	

LEGEND

-  SUBDIVISION SITE
-  CITY LIMITS



SITE MAP

APPLICANT AND/OR SUBDIVISION:

SAMES ENGINEERING
RICDEZ ESTATES

LEGEND

SUBDIVISION SITE

300FT NOTIFICATION

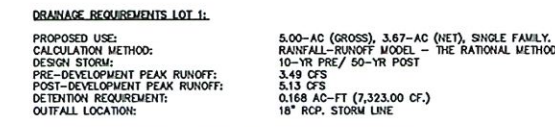
CITY LIMITS

DATE OF PREPARATION: DECEMBER 2021

SHEET 3 OF 3
REGISTRATION # F-10602

SAMES SAM Engineering & Surveying

200 S. 10TH ST. SUITE 1500. TEL. (956) 702-8880
McALLEN, TEXAS 78501 FAX: (956) 702-8883



BY MY SIGNATURE BELOW, I CERTIFY THAT THIS SUBDIVISION LIES IN A ZONE "X" AREAS BETWEEN LIMITS OF 100-YEAR AND 500 YEAR FLOOD; OR AREAS OF 100-YEAR FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR AREAS OF DRAINAGE AREAS LESS THAN ONE SQUARE MILE; AND AREAS PROTECTED BY LEWS FROM 100-YEAR FLOOD.

COMMUNITY PANEL NUMBER 480334 0325 D,
MAP REVISED JUNE 6, 2000.

THIS DOCUMENT IS
MAINTAINED FOR THE
PURPOSES OF REVIEW
FOR THE FLOODING
Hazard

PREPARED BY: JESSICA M. MALDONADO, P.E.

DATE _____

DETENTION TABLE	
TOTAL DETENTION REQ'D CALCULATIONS	7,323.00 CU.FT.
TOTAL DETENTION PROVIDED	7,420.00 CU.FT.

PRINCIPAL CONTACTS:

NAME
OWNER: RICARDO RESENDEZ
ENGINEER: JESSICA M. MALDONADO P.E.
SURVEYOR: OSCAR HERNANDEZ, R.P.L.S.

ADDRESS

204 E. CANO ST.
200 S. 10TH ST., SUITE 1500
200 S. 10TH ST., SUITE 1500

CITY & ZIP

EDINBURG, TX, 78539
McALLEN, TX 78501
McALLEN, TX 78501

DATE OF PREPARATION: DECEMBER 2021

SHEET 3 OF 3
REGISTRATION # F-10602

NO.	SHEET	REVISION	DATE	APPROVED



Case #

Edinburg

Planning & Zoning Department
415 W. University Drive
Edinburg, Texas 78539

Subdivision Application

(956) 388-8202
*Ricdez Estates*Date: November 23, 2021Request Type: Minor PlatMinor Plat1. Developer: Nick Cantu2. Owner/Contact Name: Ricdez Properties LLC3. Owner/Contact Phone: (956) 292-04054. Owner/Contact Email: nick@foxrealestatepros.com5. Owner Address: 204 E Cano St. Edinburg, TX 785396. Exact Name of Subdivision: TEX-MEX SURVEY7. Property ID: 2961578. Current Zoning: AG - Agriculture

Required Zoning: _____

10. Legal Description: _____

TEX-MEX SURVEY E660'-S330' LOT 8 SEC 250 5 ACRE GR 4.68 AC NET11. Inside City Limits? No If "No," is in the _____ Comprehensive Development Area _____ Rural Development Area12. Primary Consulting Firm: SAMES, Inc.13. Phone: (956) 702-888014. Consulting Firm Address: 200 S. 10th St. Suite 1500 McAllen, TX15. Consulting Firm Email(s): jessica@samengineering-surveying.com, alex@samengineering-surveying.com

16. Desired Land Use Option: _____

17. Number of Lots: Single Family 5 Multi-Family _____ Commercial _____ Industrial _____18. Proposed Wastewater Treatment: _____ Sanitary Sewer ☒ OSSF (On-Site Sewage Facility)

19. Electric Power and Light Company to Serve the Proposed Subdivision: _____

20. Irrigation District: Hidalgo County No. 1Potable-water Retailer: North Alamo Water Supply Corp.

Owner of record, holding title to real estate within the proposed subdivision. Ownership instrument (i.e. Title Policy, Warranty Deed and Deed of Trust) shall be submitted with application. All such owners are listed immediately below.

Owner Name(s) (Print or Type) <u>Ricardo Resendez</u>	Owner Mailing Address & Zip Code <u>501 W Cano St. 78539</u>
Owner Phone Number <u>956 735 6624</u>	Owner Email <u>ricdez305@gmail.com</u>

Have any of said owners designated agents to submit and revise this plat application on their behalf?

☒ Yes ☐ No (If "Yes" attached duly notarized documentation to that effect, signed by each such owner.)

The undersigned owner(s) of record (or their authorized agents) hereby agree to make all improvements and meet all requirements and standards as specified in the City of Edinburg Unified Development Code and Ordinances. The undersigned hereby request that the Edinburg Planning & Zoning Commission and the City Commission approve the attached subdivision plat. I certify that all items contained in this application and attachments (including all construction plans) are true and correct to the best of my knowledge and not in conflict with any deed restrictions or restrictive covenants. Furthermore, I understand that any omission or incorrect information may result in approval or permit being denied or revoked. Developer's requirement sheet must be completed, signed, and submitted with the application form.

Signature

Date

11-23-2021

**SUBDIVISION WITHIN CITY LIMITS CHECK LIST
SUBDIVISION PROCESS**
PRELIMINARY STAGE

PLANNING & ZONING DEPARTMENT (956) 388-8202

 Date : January 13, 2022

Date Filed: <u>December 7, 2021</u>	P&Z Preliminary: <u>January 17, 2022</u>	P&Z Final: _____	City Council: _____
Reviewed By: <u>Abel Beltran, Subd. Coord.</u> abeltran@cityofedinburg.com	Staff Review : <u>December 17, 2021</u> Staff / Engineer : <u>December 22, 2021</u>	Time Line : <u>365</u> Days 1st Extension : <u>0</u> Days 2nd Extension : <u>0</u> Days	Expires : _____ Expires 1: _____ Expires 2: _____

Planning & Zoning Department:	Kimberly A. Mendoza, MPA	Email : kmendoza@cityofedinburg.com	City Office #: (956) 388-8202
Utility Department	Gerardo Carmona, P.E.	Email : gcarmona@cityofedinburg.com	City Office #: (956) 388-8212
Director of Public Works	Vincent Romero	Email : layala@cityofedinburg.com	City Office #: (956) 388-8210
Director of Engineering	Mardoqueo Hinojosa, P.E., CPM	Email : mhinojosa@cityofedinburg.com	City Office #: (956) 388-8211

Owner:	Ricardo Resenez, Developer	204 Cano Street Edinburg, TX 78539			Jessica Maldonado, P.E., Project Engineer
RICDEZ ESTATES SUBDIVISION				Consultant : SAMES, Inc.	
DESCRIPTION	Provided	Need to Provide	Not Applicable	Need to Revise	COMMENTS

Subdivision Process:

Subdivision Plat Submittal	✓				
Warranty Deed	✓				
Topography Survey	✓				
Drainage Report Submittal (As Per City Drainage Policy)	✓				Approved by H.C.D.D.#1 Date: Pending Approval
Zoning : City Limits - Commercial General	✓				
Flood Zone	✓				Zone "X" (Un-Shaded), Panel # 480334 0325 D, Dated June 6, 2000

Preliminary Submittals:

Existing & Proposed Water Distribution Layout	✓				City of Edinburg - Water Distribution System
Water Distribution System Provider:	✓				City of Edinburg - Water Distribution System
Existing & Proposed Sewer Collection Layout	✓				City of Edinburg - Sanitary Sewer Collection System
Sanitary Sewer Collection System Provider:	✓				City of Edinburg - Sanitary Sewer Collection System
Existing and Proposed Drainage Layout System:	✓				City of Edinburg Drainage System
MPO Collector / Arterial Right-of-way Dedication	✓				Proposed City Streets
Minor / Major Collector Street Pavement Section	✓				In Accordance to Standard Street Policy
Variances Appeals Request: (Date)	✓				Planning & Zoning Meeting Results City Council Meeting
Street Widening Improvements			✓		
Street 5-ft Sidewalk Improvements			✓		
Drainage Improvements	✓				

Construction Plans Review Submittals:

(See Section 4 Construction Plans Submittals Policy, 2014 STANDARD POLICY MANUAL)

Cover Sheet		✓			
Topography Sheet (Utilities, Bench Marks)		✓			
Sanitary Sewer Improvements: On-Site & Off-Site		✓			City of Edinburg Sanitary Sewer Standard Policy's
Sanitary Sewer Detail Sheets		✓			See Section 3 Utility Policy, 2014 Standard Policy Manual
Water Distribution Improvements: On-Site & Off-Site		✓			City of Edinburg Water Supply Standard Policy's
Water Distribution Detail Sheet (Fire Hydrant Assembly)		✓			See Section 3 Utility Policy, 2014 Standard Policy Manual
Drainage Improvements:		✓			
Drainage Detail Sheets		✓			See Section 1 Drainage Policy, 2014 Standard Policy Manual
Minor/Major Collector Streets Improvements:		✓			See Section 2 Streets Policy, 2014 Standard Policy Manual
Street Sign Sheet:		✓			
Street Detail Sheets		✓			See Section 2 Streets Policy, 2014 Standard Policy Manual
Street Lighting Sheet:		✓			
Traffic Control Plan:		✓			
Erosion Control Plan		✓			
Erosion Control Plan Detail Sheet		✓			See Storm Water Management, 2014 Standard Policy Manual

DESCRIPTION	Provided	Need to Provide	Not Applicable	Need to Revise	COMMENTS
Pre-Construction Meeting:					
Notice To Proceed		✓			Dated:
Roadway Open-Cut or Bore Permit Application		✓			Dated:
TX-Dot Water UIR Permit			✓		
TX-Dot Sewer UIR Permit			✓		
N.O.I. Submittal		✓			Dated:
SWPP Booklet Submittal		✓			Dated:
RFI #1 Request		✓			Dated:
Change Orders		✓			Dated:
Final Walk Though		✓			Dated:
Punch List		✓			Dated:
Punch List (Completed and Approved)		✓			Dated:
Letter of Acceptance		✓			Dated:
1-year Warranty (Water/Sewer/Paving/Drainage)		✓			Dated:
Backfill Testing Results		✓			Dated:
As-Builts (Revised Original Submittal)		✓			Dated:
Recording Process:					
Public Improvements with (Letter of Credit)		✓			Dated: Expires:
Recording Fees	\$ 106.00	✓			As required by County Clerks office
Copy of H.C.D.D. #1 of invoice		✓			Required to be paid prior to Final Stages
Street Light Escrow	\$ -	✓			Required: 0 EA. @ \$ -
Street Escrow (E. Chapin Road)	\$ 34,426.83	✓			Required: 425 EA. @ \$ 81.00
Sidewalk Escrow (E. Chapin Road)	\$ 10,625.00	✓			Required: 425 LF @ \$ 25.00
TOTAL OF ESCROWS:	\$ 45,051.83				
Total Developer's Construction Cost: (Letter of Credit)					Date : Lender :
Laboratory Testing Fee: 3%	\$ -	✓			\$ - Estimated Construction Cost
Inspection Fee: 2%	\$ -	✓			\$ - Final Construction Cost
Park Land Fees: Park Zone # 5	\$ 1,500.00	✓			5 Lots @ \$ 300.00 Full rate within the ETJ
0 Residential \$ -	\$ -	✓			50% Development 50% Building Stage
0 Multi-Family \$ -	\$ -		✓		0% Development 0% Building Stage
Water Rights: COE - CCN	\$ -		✓		5.000 Acres \$ -
Water 30-year Letter (Residential)	\$ -		✓		5 Lots @ \$ - NAWSC WATER-CCN
Water 30-year Letter (Multi-Family)	\$ -		✓		0 Lots @ \$ -
Sewer 30-year Letter COE - CCN	\$ -		✓		5 Lots @ \$ - NAWSC SEWER-CCN
TOTAL OF FEES:	\$ 1,500.00				
Reimbursements:					
Developer Sewer Improvements	\$ -		✓		Off-Site System: 0.000 AC \$ -
Developer Water Improvements	\$ -		✓		Off-Site System 0.00 AC \$ -
TOTAL OF REIMBURSEMENTS:	\$ -				
Buyouts:					
North Alamo Water Supply Corporation	\$ -		✓		Required Buyout 0.00 AC. \$ -
Sharyland Water Supply Corporation			✓		Not Applicable
Tax Certificates					
County of Hidalgo / School District		✓			
Water District		✓			Hidalgo County Irrigation District # 1
Total of Escrows, Fees, Reimbursements and Buyouts:					
Escrows	\$ 45,051.83				Street & Sidewalk Improvements for E. Chapin Road
Inspections other Fees	\$ 1,500.00				Parkland Fees, Water/Sewer 30-year Agreement/Water Rights
Reimbursements	\$ -				Reimbursement to the Developer of Subdivision
City of Edinburg	\$ -				15% Payable to the City of Edinburg for Administrative Fee
To the Developer of Record	\$ -				85% Payable to the Developer of Record Owner / Developer
Buyouts	\$ -				Based on Subdivision (Need Request and Approval rate from ? Broad)
TOTAL :	\$ 46,551.83				Developer Total Cost of Fees, Escrows, Reimbursements & Buyouts

STAFF REPORT: BORDERTOWN SUBDIVISION PHASE 3

Date Prepared: January 13, 2022
Planning and Zoning Meeting: January 17, 2022
Agenda Item: **8A** Final Plat

Subject: Consider the Final Plat of Border Town Subdivision Phase 3, being a 66.75 acre tract of land, more or less, out of and forming part or portion of Lots 13 and 14, Block 70, Engelman Re-subdivision, located at 8201 FM 2812, as requested by Rio Delta Engineering.

Location: The property is located at the northwest corner of North 3rd Avenue (Uresti St.) and FM 2812.

Zoning: This property is located within the City of Edinburg Extra Territorial Jurisdiction (ETJ) and Setbacks as per County of Hidalgo.

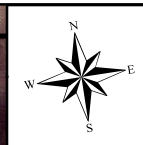
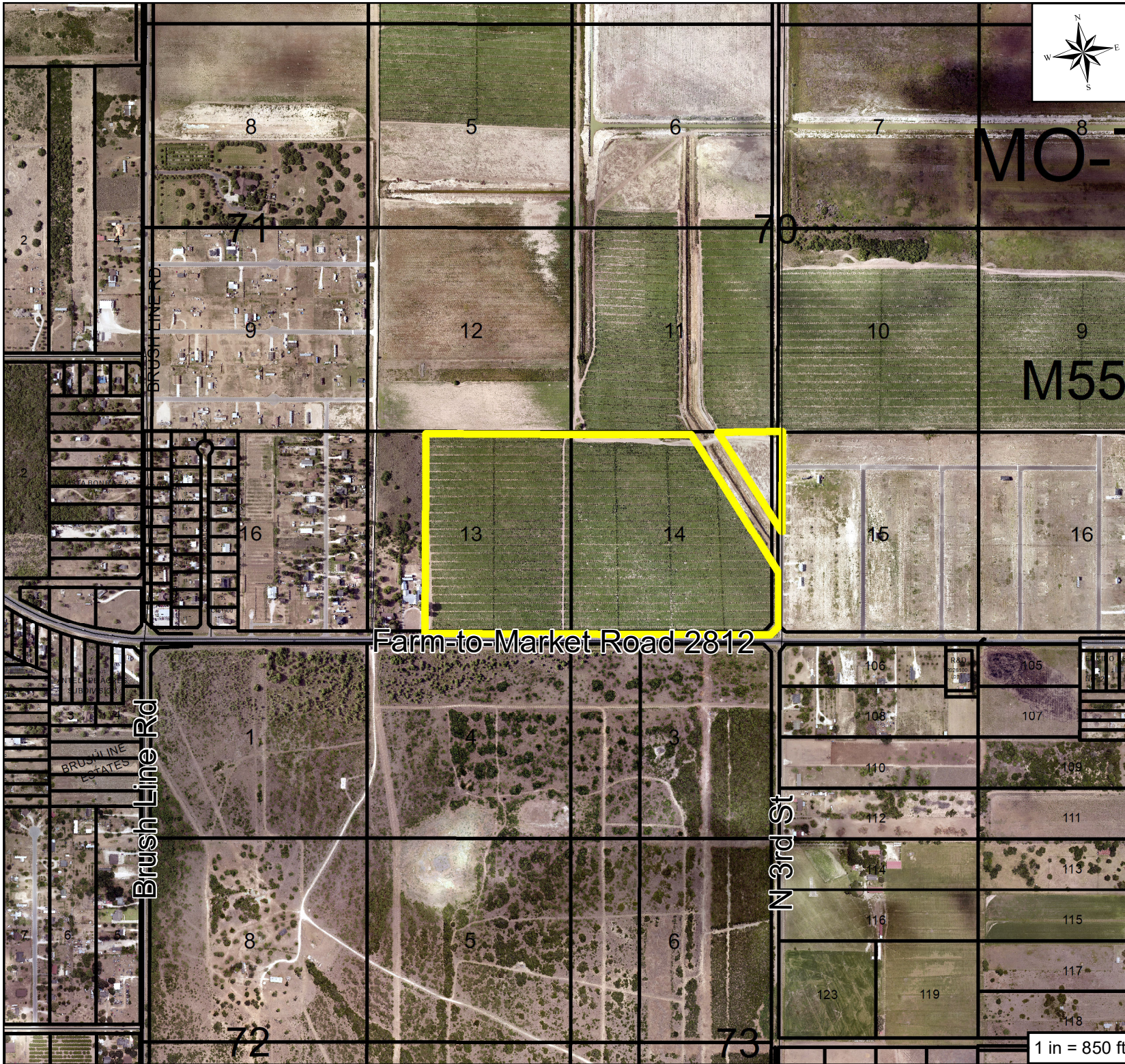
Analysis: The Preliminary Plat was approved by the Planning and Zoning Commission on February 9, 2021 for a single family residential development with one-hundred and nine (**109**) lots averaging approximately 22,825 sq. ft. per lot.

Utilities: Water Distribution System is within North Alamo Water Supply Corporation – CCN and sanitary sewer will utilize an O.S.S.F. septic system per lot. All utility improvements within the proposed subdivision that are not limited to water, sewer, curb & gutter, fire hydrants, storm drain inlets, and pavement will be installed by the developer in accordance with City of Edinburg’s Unified Development Code and approved 2014 Standards Manual.

Recommendations:

City of Edinburg

Saff recommends approval of the Final Plat, subject to compliance with the Unified Development Code, accepted cost estimates by the City of Edinburg, and acceptance of the financial guarantee for the completion of the subdivision improvements prior to recording the subdivision plat. Financial Guarantee will be released upon completion and inspection of public improvements.



AERIAL MAP



CASE CAPTION:

SUBDIVISION NAME:

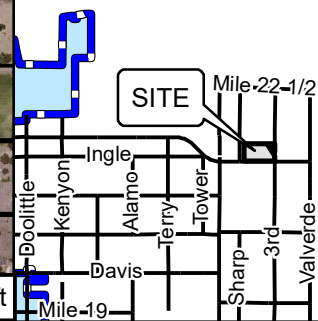
BORDERTOWN PHASE 3

M55

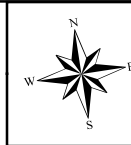
Legend

-  CITY LIMITS
-  SUBDIVISION SITE

SITE LOCATION MAP



1 in = 850 ft

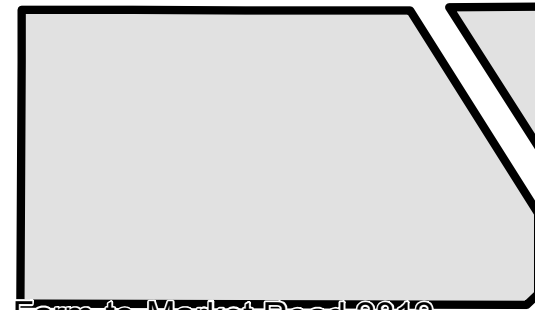


SITE MAP

CASE CAPTION:

SUBDIVISION NAME:
BORDERTOWN PHASE 3

Brush Line Rd



Farm-to-Market Road 2812

N 3rd St

Benito A.
Ramirez Rd

Legend

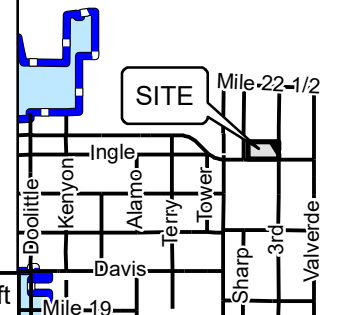


CITY LIMITS



SUBDIVISION SITE

SITE LOCATION MAP



1 in = 850 ft

SUBDIVISION WITHIN CITY LIMITS CHECK LIST
FINAL STAGE

ENGINEERING DEPARTMENT (956) 388-8211

SUBDIVISION PROCESS

Date Prepared :

January 10, 2022

Application Filed: December 9, 2020	P&Z Preliminary: January 12, 2021	P&Z Final: _____	City Council: _____
Reviewed By: Abel Beltran, Subd. Coord. abeltran@cityofedinburg.com	Staff Review : January 21, 2021 Staff / Engineer : January 28, 2021	Time Line : 365 Days 1st Extension : 0 Days 2nd Extension : 0 Days	Expires : December 9, 2021 Expires 1: _____ Expires 2: _____
Director of Planning & Zoning : Kimberly A. Mendoza	Director of Utilities : Arturo Martinez	Email : kmendoza@cityofedinburg.com	City Office : (956) 388-8202
Director of Public Works : Vincent Romero	Director of Engineering : Mardoqueo Hinojosa, P.E., CPM	Email : amartinez@cityofedinburg.com	City Office : (956) 388-8212
		Email : layala@cityofedinburg.com	City Office : (956) 388-8210
		Email : mhinojosa@cityofedinburg.com	City Office : (956) 388-8211

Owner:	BorderTown 3 Development, LLC.				8201 FM 2812,Edinburg, TX		Ivan Garcia, P.E., Project Engineer	
BORDERTOWN NO. 3 SUBDIVISION					Consultant : RIO DELTA Engineering			
DESCRIPTION			Provided	Need to Provide	Not Applicable	Need to Revise	COMMENTS	

Subdivision Process:

Subdivision Plat Submittal	✓				Date : December 4, 2020
Warranty Deed	✓				
Topography Survey	✓				
Drainage Report Submittal (As Per City Drainage Policy)	✓				Approved by H.C.D.D.#1 Date:
Zoning : City Limits - Residential	✓				
Flood Zone	✓				Zone "X" (Shaded)

Preliminary Submittals:

Existing & Proposed Water Distribution Layout	✓				North Alamo Water Supply Corporation - Distribution System
Water Distribution System Provider:	✓				North Alamo Water Supply Corporation - Distribution System
Existing & Proposed Sewer Collection Layout	✓				County of Hidalgo Offsite Septic System Faciality
Sanitary Sewer Collection System Provider:			✓		
Existing and Proposed Drainage Layout System:	✓				Hidalgo County Drainage District # 1
MPO Collector / Arterial Right-of-way Dedication	✓				Right-of-Way Dedication as per MPO requiremenets (0-Feet)
Minor / Major Collector Street pavement Section	✓				Street Section of 0-ft Back-Back
Variances Appeals Request:					Planning & Zoning Meeting Results City Council Meeting
			✓		
			✓		
			✓		

Construction Plans Review Submittals:

(See Section 4 Construction Plans Submittals Policy, 2014 STANDARD POLICY MANUAL)

Cover Sheet	✓				
Topography Sheet (Utilities, Bench Marks)	✓				
Sanitary Sewer Improvements: On-Site & Off-Site	✓				County of Hidalgo Offsite Septic System Faciality
Sanitary Sewer Detail Sheets	✓				County of Hidalgo Offsite Septic System Faciality
Water Distribution Improvements: On-Site & Off-Site	✓				North Alamo Water Supply Corporation Standard Policies
Water Distribution Detail Sheet	✓				North Alamo Water Supply Corporation Standard Policies
Drainage Improvements:			✓		
Drainage Detail Sheets			✓		See Section 1 Drainage Policy, 2014 Standard Policy Manual
Minor/Major Collector Streets Improvements:			✓		See Section 2 Streets Policy, 2014 Standard Policy Manual
Street Sign Sheet:			✓		
Street Detail Sheets			✓		See Section 2 Streets Policy, 2014 Standard Policy Manual
Street Lighting Sheet:	✓				
Traffic Control Plan:	✓				
Erosion Control Plan	✓				
Erosion Control Plan Detail Sheet	✓				See Storm Water Management, 2014 Standard Policy Manual

DESCRIPTION	Provided	Need to Provide	Not Applicable	Need to Revise	COMMENTS
Pre-Construction Meeting:					
Notice To Proceed	✓				Dated:
Roadway Open-Cut or Bore Permit Application	✓				Dated:
TX-Dot Water UIR Permit			✓		Dated:
TX-Dot Sewer UIR Permit			✓		Dated:
N.O.I. Submittal	✓				Dated:
SWPP Booklet Submittal	✓				Dated:
RFI #1 Request	✓				Dated:
Change Orders	✓				Dated:
Final Walk Though	✓				Dated:
Punch List	✓				Dated:
Punch List (Completed and Approved)	✓				Dated:
Letter of Acceptance	✓				Dated:
1-year Warranty (Water/Sewer/Paving/Drainage)	✓				Dated:
Backfill Testing Results	✓				Dated:
As-Builts (Revised Original Submittal)	✓				Dated:
Recording Process:					
Public Improvements with (Letter of Credit)			✓		Dated: Expires:
Recording Fees (Copy of Receipt)	\$ 106.00	✓			As required by County Clerks office
Copy of H.C.D.D. #1 of PAID invoice	\$ 250.00	✓			Required to be paid prior to Final Stages
Street Light Escrow	\$ -	✓			Required: 0 EA. @ \$ -
Fire Hydrant Escrow	\$ -	✓			Required: 0 EA. @ \$ -
S/W Escrow (FM 2812, 2.75-Mile ETJ)	\$ 56,825.00	✓			Required: 2273 LF @ \$ 25.00
TOTAL OF ESCROWS:	\$ 56,825.00				Street Width : 324 20 Curb Radius
Total Developer's Construction Cost: (Letter of Credit)			✓		Date : Lender :
Laboratory Testing Fee: 3%	\$ -		✓		\$ - Estimated Construction Cost
Inspection Fee: 2%	\$ -		✓		\$ - Final Construction Cost
Park Land Fees: Within City ETJ	\$ 32,700.00	✓	✓		109 Lots @ \$ 300.00
0 Residential \$ -	\$ -	✓			100% Development 0% Building Stage
0 Multi-Family \$ -	\$ -		✓		0% Development 0% Building Stage
Total Water Rights Fees : NAWSC - CCN	\$ -		✓		66.75 Acre(s) RGRWA 2020 Fees : \$ 2,896.81
Water 30-year Letter NAWSC - CCN	\$ -		✓		109 Lots @ \$ - Meter Fee: NAWSC WATER-CCN
Sewer 30-year Letter OSSF System	\$ -		✓		109 Lots @ \$ - Sewer Fee: COUNTY OSSF
TOTAL OF FEES:	\$ -				
Reimbursements:					
Developer Sewer Improvements	\$ -		✓		Off-Site System: 0.00 AC \$ -
Developer Water Improvements	\$ -		✓		Off-Site System 0.00 AC \$ -
Developer Drainage Improvements	\$ -		✓		Off-Site System 0.00 TOTAL \$ -
TOTAL OF REIMBURSEMENTS:	\$ -				
Buyouts:					
North Alamo Water Supply Corporation			✓		Not Applicable
Sharyland Water Supply Corporation			✓		Not Applicable
Tax Certificates					
County of Hidalgo / School District		✓			
Water District		✓			Hidalgo County Irrigation District # 2
Total of Escrows, Fees, Reimbursements and Buyouts:					
Escrows	\$ 56,825.00				Street & Sidewalk Improvements for Russell Road
Inspections other Fees	\$ -				Parkland Fees, Water/Sewer 30-year Agreement/Water Rights
Reimbursements	\$ -				Riembursement to the Developer of Subdivision
City of Edinburg	\$ -				0% Payable to the City of Edinburg for Administrative Fee
To the Developer of Record	\$ -				0% Payable to the Developer of Record Owner / Developer
Buyouts	\$ -				
TOTAL :	\$ 56,825.00				Developer Total Cost of Fees, Escrows, Reimbursements & Buyouts

STAFF REPORT: CANTON HEIGHTS 2 SUBDIVISION

Date Prepared: January 13, 2022
Planning and Zoning Meeting: January 12, 2022
Agenda Item: **8B** Final Plat

Subject: Consider the Final Plat for **CANTON HEIGHTS SUBDIVISION PHASE 2**, being a total 8.33 acre tract of land out of Lot 4, Block 1, John Closner, et. al. Subdivision, located on 2200 East Canton Road, as requested by Supreme Engineering.

Location: The property is located on the south side of East Canton Road and east of South Raul Longoria Road (FM 1426).

Zoning: This property is located within the City Limits with Zoning Auto Urban Residential and Setbacks as follow: 20-ft Front, 6-ft Side, and 20-ft Rear.

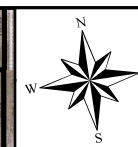
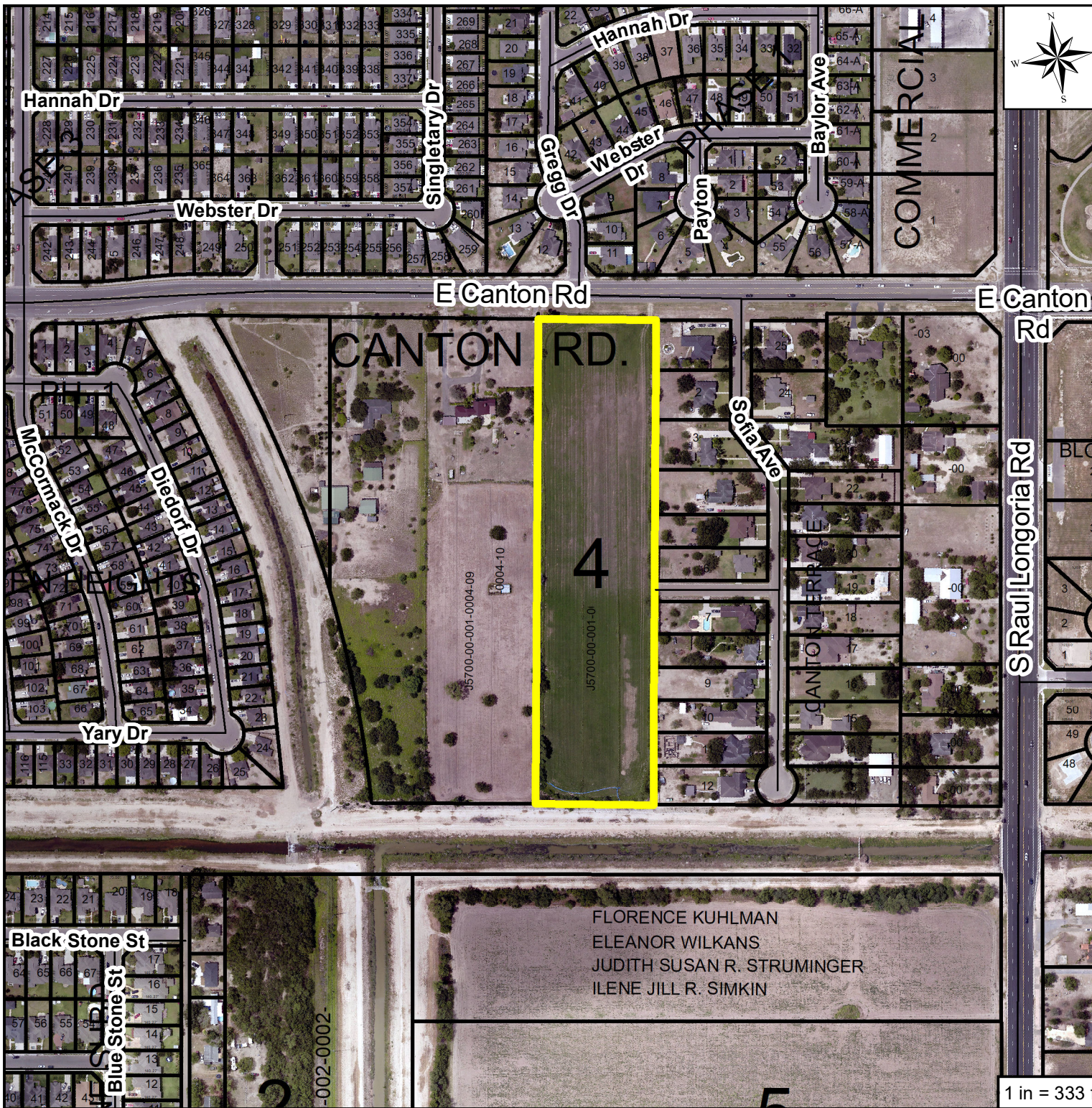
Analysis The Preliminary Plat was approved by the Planning and Zoning Commission on June 8, 2021 for a single family residential development with twenty-two (22) lots averaging approximately 7,250 sq. ft. per lot.

Utilities: Water Distribution System is within North Alamo Water Supply Corporation – CCN and Sanitary Sewer Collection System is served by the City of Edinburg. All utility improvements within the proposed subdivision that are not limited to water, sewer, curb & gutter, fire hydrants, storm drain inlets, and pavement will be installed by the developer in accordance with City of Edinburg’s Unified Development Code and approved 2014 Standards Manual.

Recommendations:

City of Edinburg

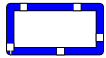

Staff recommends approval of the Final Plat, subject to compliance with the Unified Development Code, accepted cost estimates by the City of Edinburg, and acceptance of the financial guarantee for the completion of the subdivision improvements prior to recording the subdivision plat. Financial Guarantee will be released upon completion and inspection of public improvements.



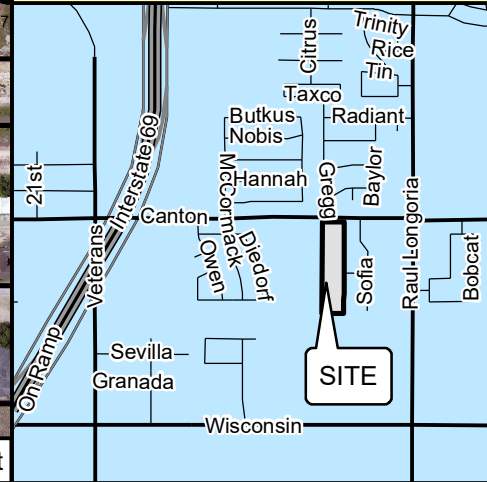
CASE CAPTION:

SUBDIVISION NAME:
CANTON HEIGHTS NO 2

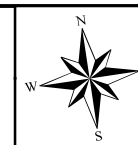
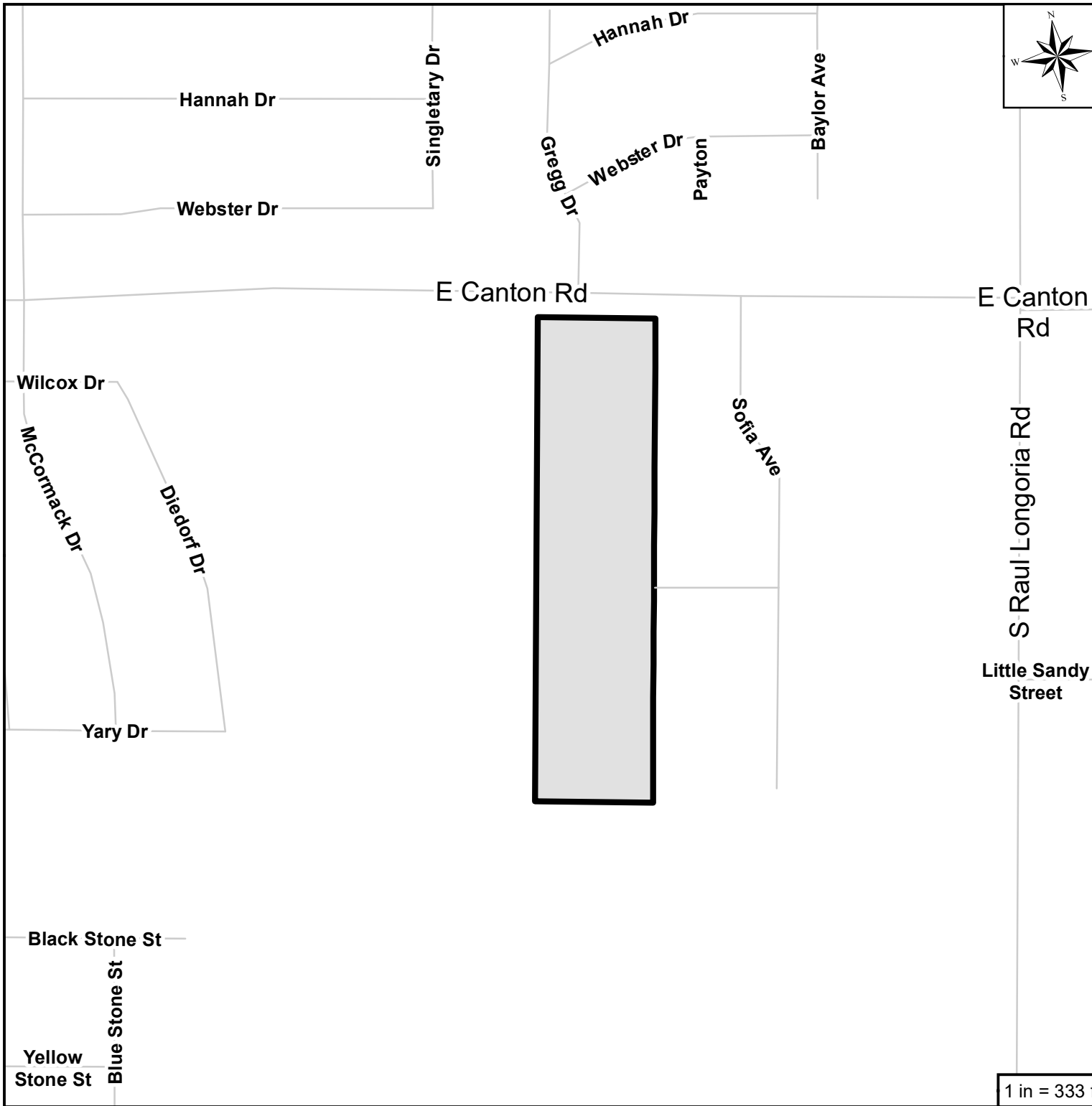
Legend

-  CITY LIMITS
-  SUBDIVISION SITE

SITE LOCATION MAP



1 in = 333 ft



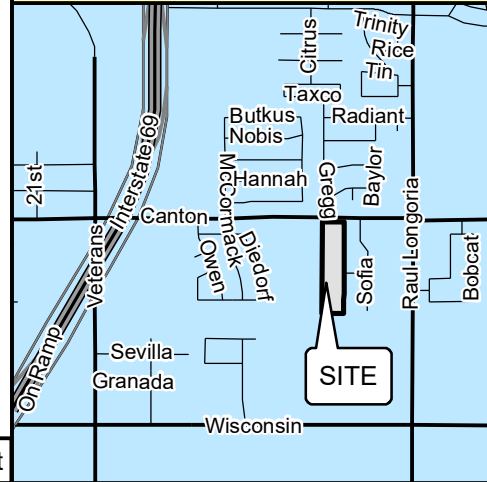
CASE CAPTION:

SUBDIVISION NAME:
CANTON HEIGHTS NO 2

Legend

- CITY LIMITS
- STREETS
- SUBDIVISION SITE

SITE LOCATION MAP



1 in = 333 ft

SUBDIVISION WITHIN CITY LIMITS CHECK LIST
FINAL RECORDING STAGE

ENGINEERING DEPARTMENT (956) 388-8211

SUBDIVISION PROCESS

Date Prepared : **January 11, 2022**

Application Filed: **December 9, 2020** P&Z Preliminary: **January 12, 2021** P&Z Final: **January 17, 2022** City Council: _____
 Reviewed By: **Abel Beltran, Subd. Coord.** Staff Review: **January 21, 2021** Time Line: **365** Days Expires: **December 9, 2021**
abeltran@cityofedinburg.com Staff / Engineer: **January 28, 2021** 1st Extension: **0** Days Expires 1: _____
 2nd Extension: **0** Days Expires 2: _____

Director of Planning & Zoning : Kimberly A. Mendoza Email : kmendoza@cityofedinburg.com City Office : (956) 388-8202
 Director of Utilities Arturo Martinez Email : amartinez@cityofedinburg.com City Office : (956) 388-8212
 Director of Public Works Vincent Romero Email : layala@cityofedinburg.com City Office : (956) 388-8210
 Director of Engineering Mardoqueo Hinojosa, P.E., CPM Email : mhinojosa@cityofedinburg.com City Office : (956) 388-8211

Owner:	ALPHA MAVERICK DEVELOPMENT			2200 East Canton Road		Omar Cano, P.E., Project Engineer	
CANTON HEIGHTS II SUBDIVISION				Consultant : SUPREME Engineering			
DESCRIPTION			Provided	Need to Provide	Not Applicable	Need to Revise	COMMENTS

Subdivision Process:

Subdivision Plat Submittal	✓				Date : December 4, 2020
Warranty Deed	✓				
Topography Survey	✓				
Drainage Report Submittal (As Per City Drainage Policy)	✓				Approved by H.C.D.D.#1 Date:
Zoning : City Limits - Residential	✓				
Flood Zone	✓				Zone "X" (Shaded)

Preliminary Submittals:

Existing & Proposed Water Distribution Layout	✓				North Alamo Water Supply Corporation - Distribution System
Water Distribution System Provider:	✓				North Alamo Water Supply Corporation - Distribution System
Existing & Proposed Sewer Collection Layout	✓				City of Edinburg Sanitary Sewer Collection System
Sanitary Sewer Collection System Provider:			✓		
Existing and Proposed Drainage Layout System:	✓				Hidalgo County Drainage District # 1
MPO Collector / Arterial Right-of-way Dedication	✓				Right-of-Way Dedication as per MPO requirements (0-Feet)
Minor / Major Collector Street pavement Section	✓				Street Section of 0-ft Back-Back

Variances Appeals Request:

					Planning & Zoning Meeting	Results	City Council Meeting
			✓				
			✓				
			✓				

Construction Plans Review Submittals:
(See Section 4 Construction Plans Submittals Policy, 2014 STANDARD POLICY MANUAL)

Cover Sheet	✓				
Topography Sheet (Utilities, Bench Marks)	✓				
Sanitary Sewer Improvements: On-Site & Off-Site	✓				County of Hidalgo Offsite Septic System Facility
Sanitary Sewer Detail Sheets	✓				County of Hidalgo Offsite Septic System Facility
Water Distribution Improvements: On-Site & Off-Site	✓				North Alamo Water Supply Corporation Standard Policies
Water Distribution Detail Sheet	✓				North Alamo Water Supply Corporation Standard Policies
Drainage Improvements:			✓		
Drainage Detail Sheets			✓		See Section 1 Drainage Policy, 2014 Standard Policy Manual
Minor/Major Collector Streets Improvements:			✓		See Section 2 Streets Policy, 2014 Standard Policy Manual
Street Sign Sheet:			✓		
Street Detail Sheets			✓		See Section 2 Streets Policy, 2014 Standard Policy Manual
Street Lighting Sheet:	✓				
Traffic Control Plan:	✓				
Erosion Control Plan	✓				
Erosion Control Plan Detail Sheet	✓				See Storm Water Management, 2014 Standard Policy Manual

DESCRIPTION		Provided	Need to Provide	Not Applicable	Need to Revise	COMMENTS	
Pre-Construction Meeting:							
Notice To Proceed		✓				Dated:	
Roadway Open-Cut or Bore Permit Application		✓				Dated:	
TX-Dot Water UIR Permit				✓		Dated:	
TX-Dot Sewer UIR Permit				✓		Dated:	
N.O.I. Submittal		✓				Dated:	
SWPP Booklet Submittal		✓				Dated:	
RFI #1 Request		✓				Dated:	
Change Orders		✓				Dated:	
Final Walk Though		✓				Dated:	
Punch List		✓				Dated:	
Punch List (Completed and Approved)		✓				Dated:	
Letter of Acceptance		✓				Dated:	
1-year Warranty (Water/Sewer/Paving/Drainage)		✓				Dated:	
Backfill Testing Results		✓				Dated:	
As-Builts (Revised Original Submittal)		✓				Dated:	
Recording Process:							
Public Improvements with (Letter of Credit)				✓		Dated: Expires:	
Recording Fees (Copy of Receipt)	\$ 106.00	✓				As required by County Clerks office	
Copy of H.C.D.D. #1 of PAID invoice	\$ 250.00	✓				Required to be paid prior to Final Stages	
Street Light Escrow	\$ -	✓				Required: 0 EA. @ \$ -	
Fire Hydrant Escrow	\$ -	✓				Required: 0 EA. @ \$ -	
S/W Escrow (Canton Road)	\$ 5,150.00	✓				Required: 206 LF @ \$ 25.00	
TOTAL OF ESCROWS:	\$ 5,150.00						
Total Developer's Construction Cost: (Letter of Credit)				✓		Date : Lender :	
Laboratory Testing Fee: 3%	\$ -	✓				\$ - Estimated Construction Cost	
Inspection Fee: 2%	\$ -	✓				\$ - Final Construction Cost	
Park Land Fees: Within City ETJ	\$ -	✓				0 Lots @ \$ -	
32 Residential \$ 300.00	\$ 9,600.00	✓				50% Development 50% Building Stage	
0 Multi-Family \$ -	\$ -	✓				0% Development 0% Building Stage	
Total Water Rights Fees : NAWSC - CCN	\$ -	✓				8.33 Acre(s) RGRWA 2020 Fees : \$ 2,896.81	
Water 30-year Letter NAWSC - CCN	\$ 160.00	✓				32 Lots @ \$ 5.00 Meter Fee: NAWSC WATER-CCN	
Sewer 30-year Letter COE - CCN	\$ 2,080.00	✓				32 Lots @ \$ 65.00 Sewer Fee: COE - SEWER CCN	
TOTAL OF FEES:	\$ 11,840.00						
Reimbursements:							
Developer Sewer Improvements	\$ -	✓				Off-Site System: 0.00 AC \$ -	
Developer Water Improvements	\$ -	✓				Off-Site System 0.00 AC \$ -	
Developer Drainage Improvements	\$ -	✓				Off-Site System 0.00 TOTAL \$ -	
TOTAL OF REINBURSEMENTS:	\$ -						
Buyouts:							
North Alamo Water Supply Corporation				✓		Not Applicable	
Sharyland Water Supply Corporation				✓		Not Applicable	
Tax Certificates							
County of Hidalgo / School District			✓				
Water District			✓			Hidalgo County Irrigation District # 2	
Total of Escrows, Fees, Reimbursements and Buyouts:							
Escrows	\$ 5,150.00	Street & Sidewalk Improvements for Russell Road					
Inspections other Fees	\$ 11,840.00	Parkland Fees, Water/Sewer 30-year Agreement/Water Rights					
Reimbursements	\$ -	Riembursement to the Developer of Subdivision					
City of Edinburg	\$ -	0% Payable to the City of Edinburg for Administrative Fee					
To the Developer of Record	\$ -	0% Payable to the Developer of Record Owner / Developer					
Buyouts	\$ -						
TOTAL :	\$ 16,990.00	Developer Total Cost of Fees, Escrows, Reimbursements & Buyouts					



STAFF REPORT: T&O RANCH NO. 2 SUBDIVISION

Date Prepared: January 7, 2022
Planning and Zoning Meeting: January 17, 2022
Agenda Item: **8C** Final Plat

Subject: Consider the Final Plat for **T&O RANCH NO. 2 SUBDIVISION**, being a 4.95 acre tract of land out of Lots 2 & 3, Block 28, Santa Cruz Gardens Unit 2 Subdivision, located at 7100 East Benito A. Ramirez Road, as requested by Quintanilla, Headley and Associates, Inc.

Location: The property is located on the south side of East Benito A. Ramirez Road, approximately 300 ft. west of Brushline Rd. and is within the City of Edinburg's Extra-Territorial Jurisdiction (ETJ).

Zoning: Not Applicable.

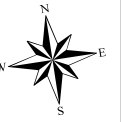
Analysis The Preliminary Plat proposes a single-family residential development with four (4) lots averaging approximately 49,950 sq. ft. with set backs based on Hidalgo County requirements.

Utilities: Water Distribution System is within North Alamo Water Supply Corporation – CCN and sanitary sewer will utilize an O.S.S.F. septic system per lot. All utility improvements within the proposed subdivision that are not limited to water, sewer, curb & gutter, fire hydrants, storm drain inlets, and pavement will be installed by the developer in accordance with City of Edinburg's Unified Development Code and approved 2014 Standards Manual.

Recommendations:

City of Edinburg

Staff recommends approval of the Final Plat, subject to compliance with the Unified Development Code, accepted cost estimates by the City of Edinburg, and acceptance of the financial guarantee for the completion of the subdivision improvements prior to recording the subdivision plat. Financial Guarantee will be released upon completion and inspection of public improvements.



1 in = 500 ft

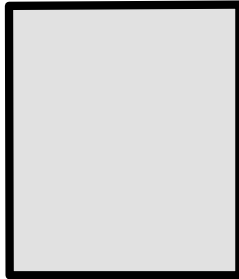
CORINA DR

BLUE JAY LN

BENITO A RAMIREZ RD

N TOWER RD

BARBARA LN



BRUSHLINE RD

RAM CIR



SITE MAP

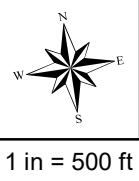
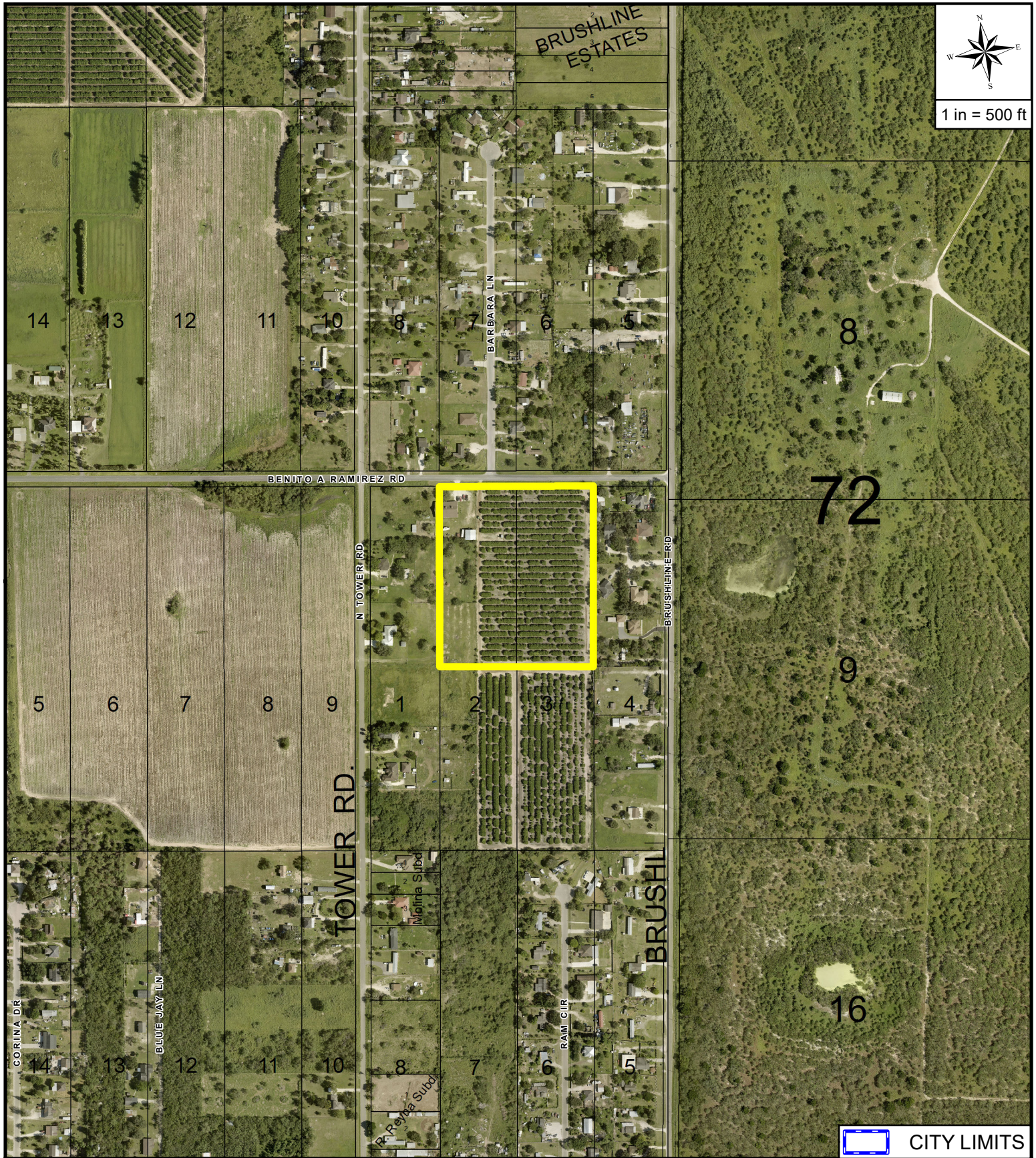
APPLICANT/SUBDIVISION: T&O RANCH INVESTMENTS LLC

CASE CAPTION:



 CITY LIMITS

LEGEND

 SUBDIVISION SITE



AERIAL MAP	
APPLICANT/SUBDIVISION:	T&O RANCH INVESTMENTS LLC
CASE CAPTION:	

	CITY LIMITS
	APPLICANT SITE

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MAYOR'S CERTIFICATION

I, THE UNDERSIGNED, MAYOR OF THE CITY OF EDINBURG, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THE CITY HEREIN MY APPROVAL IS REQUIRED.

MAYOR'S SIGNATURE

DATE

ATTEST:

CITY SECRETARY

DATE

STATE OF TEXAS
COUNTY OF HIDALGO

UNDER LOCAL GOVERNMENT CODE §232.028(a)

WE THE UNDERSIGNED CERTIFY THAT THIS PLAT OF THE T & O RANCH No.2 SUBDIVISION WAS REVIEWED AND APPROVED BY THE HIDALGO COUNTY COMMISSIONERS COURT ON

HIDALGO COUNTY JUDGE

DATE

BEARING BASIS AS PER NAD
1983 STATE PLANE COORDINATES
TEXAS SOUTH FIPS 4205 FEET

SCALE 1"=50'

LEGEND
● 1/2" BORE HOLE FOUND
○ 1/2" BORE HOLE SET
□ 3/4" BORE HOLE

P.O.B./P.O.C.
N.E. Corner of
Lot 3, Block 28

A 4.95-ACRE TRACT
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T & O RANCH DEVELOPMENT

HIDALGO COUNTY DRAIN
FOR THIS SUBDIVISION
UNDER TEX. WATER COD
CERTIFY THAT THE DRAIN
SUBDIVISION, BASED ON
RESPONSIBILITY OF THE
DETERMINATIONS.

SUBDIVISION WITHIN CITY LIMITS CHECK LIST
PRELIMINARY STAGE

PLANNING & ZONING DEPARTMENT (956) 388-8202

SUBDIVISION PROCESS

 Date : **November 1, 2021**

Date Filed: **November 3, 2021**
 P&Z Preliminary: **November 9, 2021**
 P&Z Final: _____
 City Council: _____
 Reviewed By: **Abel Beltran, Subd. Coord.**
 Staff Review: **October 21, 2021**
 Staff / Engineer: **October 28, 2021**
 Time Line : **365** Days
 1st Extension : **0** Days
 2nd Extension : **0** Days
 Expires : _____
 Expires 1: _____
 Expires 2: _____
abeltran@cityofedinburg.com

Planning & Zoning Department: Kimberly A. Mendoza, MPA Email : kmendoza@cityofedinburg.com City Office #: (956) 388-8202
 Utility Department: Gerardo Carmona, P.E. Email : gcarmona@cityofedinburg.com City Office #: (956) 388-8212
 Director of Public Works: Vincent Romero Email : layala@cityofedinburg.com City Office #: (956) 388-8210
 Director of Engineering: Mardoqueo Hinojosa, P.E., CPM Email : mhinojosa@cityofedinburg.com City Office #: (956) 388-8211

Owner:	Tomas Arredondo, Owner	7100 East Benito A. Ramirez Road	Alfonso Quintanilla, P.E. Project Engineer		
T & O RANCH SUBDIVISION NO. 2		Consultant : Quintanilla, Headley & Associates, Inc.			
DESCRIPTION	Provided	Need to Provide	Not Applicable	Need to Revise	COMMENTS

Subdivision Process:

Subdivision Plat Submittal	✓				
Warranty Deed	✓				
Topography Survey	✓				
Drainage Report Submittal (As Per City Drainage Policy)	✓				Approved by H.C.D.D.#1 Date: Pending Approval
Zoning : City Limits - Commercial General	✓				
Flood Zone	✓				Zone "X" (Un-Shaded)

Preliminary Submittals:

Existing & Proposed Water Distribution Layout	✓				North Alamo Water Supply Corporation - Distribution System
Water Distribution System Provider:	✓				North Alamo Water Supply Corporation - Distribution System
Existing & Proposed Sewer Collection Layout	✓				County of Hidalgo OSSF System
Sanitary Sewer Collection System Provider:	✓				City of Edinburg Sanitary Sewer Collection System
Existing and Proposed Drainage Layout System:	✓				Private Drainage System onto H.C.D.D. # 1
MPO Collector / Arterial Right-of-way Dedication	✓				Proposed Private Streets
Minor / Major Collector Street Pavement Section	✓				In Accordance to Standard Street Policy
Variances Appeals Request: (Date)	✓				Planning & Zoning Meeting Results City Council Meeting
Street Widening Improvements		✓			
Street 5-ft Sidewalk Improvements		✓			
Drainage Improvements	✓				

Construction Plans Review Submittals:

(See Section 4 Construction Plans Submittals Policy, 2014 STANDARD POLICY MANUAL)

Cover Sheet		✓			
Topography Sheet (Utilities, Bench Marks)		✓			
Sanitary Sewer Improvements: On-Site & Off-Site			✓		City of Edinburg Sanitary Sewer Standard Policy's
Sanitary Sewer Detail Sheets			✓		See Section 3 Utility Policy, 2014 Standard Policy Manual
Water Distribution Improvements: On-Site & Off-Site			✓		North Alamo Water Supply Standard Policy's
Water Distribution Detail Sheet (Fire Hydrant Assembly)			✓		See Section 3 Utility Policy, 2014 Standard Policy Manual
Drainage Improvements:			✓		
Drainage Detail Sheets			✓		See Section 1 Drainage Policy, 2014 Standard Policy Manual
Minor/Major Collector Streets Improvements:		✓			See Section 2 Streets Policy, 2014 Standard Policy Manual
Street Sign Sheet:			✓		
Street Detail Sheets			✓		See Section 2 Streets Policy, 2014 Standard Policy Manual
Street Lighting Sheet:			✓		
Traffic Control Plan:		✓			
Erosion Control Plan		✓			
Erosion Control Plan Detail Sheet		✓			See Storm Water Management, 2014 Standard Policy Manual

DESCRIPTION	Provided	Need to Provide	Not Applicable	Need to Revise	COMMENTS
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Pre-Construction Meeting:

Notice To Proceed		✓			Dated:
Roadway Open-Cut or Bore Permit Application			✓		Dated:
TX-Dot Water UIR Permit			✓		
TX-Dot Sewer UIR Permit			✓		
N.O.I. Submittal		✓			Dated:
SWPP Booklet Submittal		✓			Dated:
RFI #1 Request		✓			Dated:
Change Orders		✓			Dated:
Final Walk Though		✓			Dated:
Punch List		✓			Dated:
Punch List (Completed and Approved)		✓			Dated:
Letter of Acceptance		✓			Dated:
1-year Warranty (Water/Sewer/Paving/Drainage)		✓			Dated:
Backfill Testing Results		✓			Dated:
As-Built (Revised Original Submittal)		✓			Dated:

Recording Process:

Public Improvements with (Letter of Credit)		✓			Dated:	Expires:
Recording Fees	\$ 106.00	✓			As required by County Clerks office	
Copy of H.C.D.D. #1 of invoice		✓			Required to be paid prior to Final Stages	
Street Light Escrow	\$ -	✓			Required: 0	EA. @ \$ -
Street Escrow Ramseyer Road	\$ 28,650.00	✓			Required: 400	EA. @ \$ 71.63
Sidewalk Escrow: Ramsyser Road	\$ 10,000.00	✓			Required: 400	LF @ \$ 25.00
TOTAL OF ESCROWS:	\$ 38,650.00					
Total Developer's Construction Cost: (Letter of Credit)			✓		Date :	Lender :
Laboratory Testing Fee: 3%	\$ 859.50	✓			\$ 28,650.00	Estimated Construction Cost
Inspection Fee: 2%	\$ -		✓		\$ -	Final Construction Cost
Park Land Fees: Park Zone # 4	\$ 2,400.00	✓			4 Lots @ \$ 600.00	Full rate within the ETJ
0 Residential \$ -	\$ -		✓		50% Development	50% Building Stage
0 Multi-Family \$ -	\$ -		✓		0% Development	0% Building Stage
Water Rights: NAWSC - CCN	\$ -		✓		4.580	Acres \$ -
Water 30-year Letter (Residential)	\$ -	✓			4	Lots @ \$ - NAWSC WATER-CCN
Water 30-year Letter (Multi-Family)	\$ -		✓		0	Lots @ \$ -
Sewer 30-year Letter COE - CCN	\$ -	✓			4	Lots @ \$ - COE SEWER-CCN
TOTAL OF FEES:	\$ 2,400.00					

Reimbursements:

Developer Sewer Improvements	\$ -		✓		Off-Site System: 0.000	AC	\$ -
Developer Water Improvements	\$ -		✓		Off-Site System 0.00	AC	\$ -
TOTAL OF REINBURSEMENTS:	\$ -						

Buyouts:

North Alamo Water Supply Corporation	\$ -	✓			Required Buyout 0.00	AC.	\$ -
Sharyland Water Supply Corporation			✓		Not Applicable		

Tax Certificates

County of Hidalgo / School District		✓					
Water District		✓			Hidalgo County Irrigation District # 1		

Total of Escrows, Fees, Reimbursements and Buyouts:

Total of Escrows, Fees, Reimbursements and Buyouts:			
Escrows	\$	38,650.00	Street & Sidewalk Improvements for Ramseyer Road
Inspections other Fees	\$	2,400.00	Parkland Fees, Water/Sewer 30-year Agreement/Water Rights
Reimbursements	\$	-	Reimbursement to the Developer of Subdivision
City of Edinburg	\$	-	15% Payable to the City of Edinburg for Administrative Fee
To the Developer of Record	\$	-	85% Payable to the Developer of Record Owner / Developer
Buyouts	\$	-	Based on Subdivision (Need Request and Approval rate from ? Broad)
	TOTAL : \$	41,050.00	Developer Total Cost of Fees, Escrows, Reimbursements & Buyouts

STAFF REPORT: LAS ENCINITAS SUBDIVISION PHASE II

Date Prepared: January 14, 2022
Planning and Zoning Meeting: January 17, 2022
Agenda Item: **8D** Final Plat

Subject: Consider the Final Plat for **LAS ENCINITAS SUBDIVISION PHASE II**, being a total 72.20 acre tract of land out of Lots “R” & “S”, Block 2, Santa Cruz Ranch Subdivision, located at 6101 East Monte Cristo Rd, as requested by Quintanilla, Headley & Associates, Inc.

Location: The property is located on the north side of Monte Cristo Road (FM 1925), east of Terry Road.

Zoning: This property is located within the City of Edinburg Extra Territorial Jurisdiction (ETJ) and Setbacks as per County of Hidalgo.

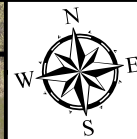
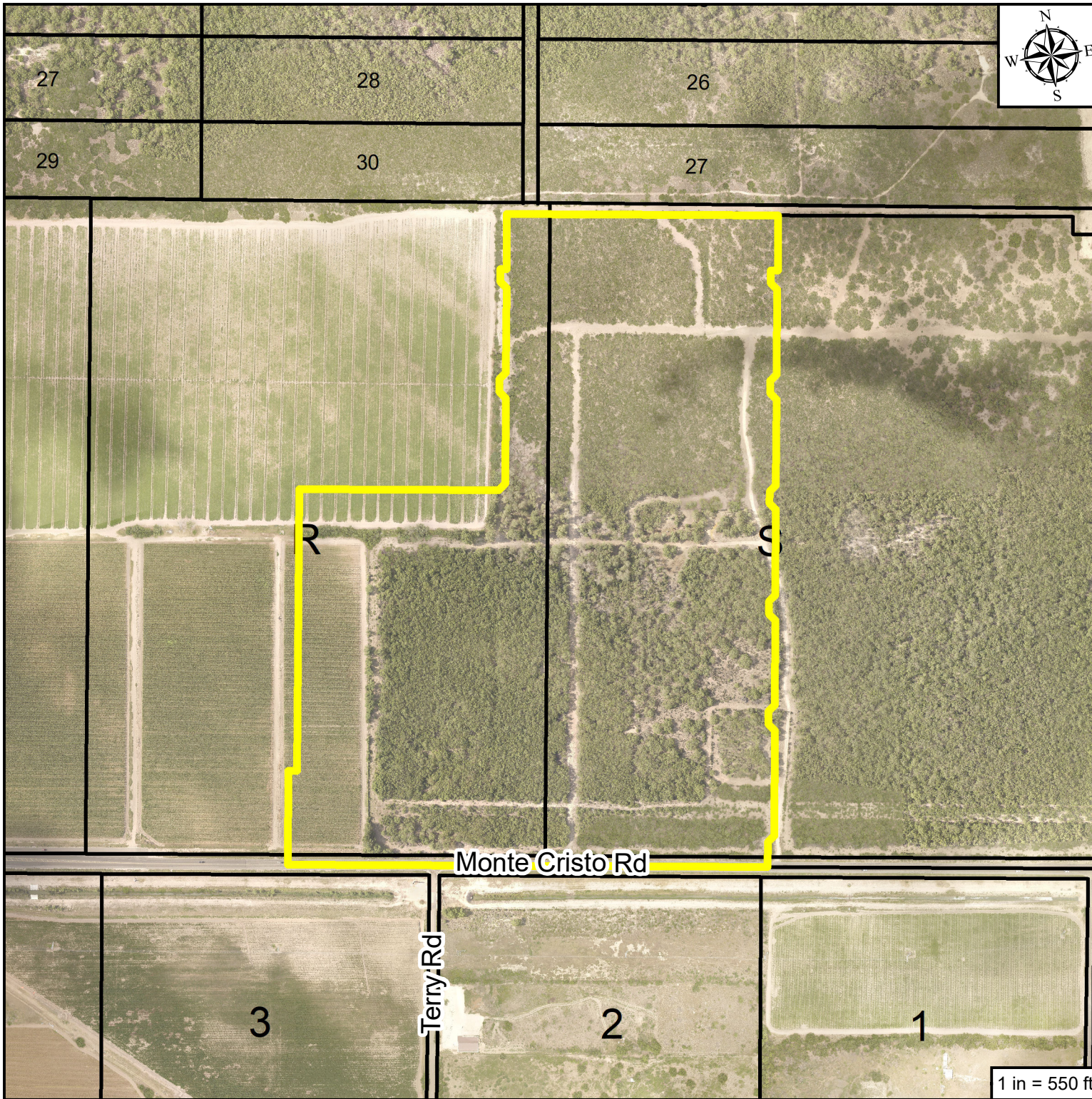
Analysis The Preliminary Plat was approved by the Planning and Zoning Commission on February 9, 2021 for a single family residential development with one-hundred and forty-three (143) lots averaging approximately 21,785 sq. ft. per lot.

Utilities: Water Distribution System is within North Alamo Water Supply Corporation – CCN and sanitary sewer will utilized an O.S.S.F. septic system per lot. All utility improvements within the proposed subdivision that are not limited to water, sewer, curb & gutter, fire hydrants, storm drain inlets, and pavement will be installed by the developer in accordance with City of Edinburg’s Unified Development Code and approved 2014 Standards Manual.

Recommendations:

City of Edinburg

Staff recommends approval of the Final Plat, subject to compliance with the Unified Development Code, accepted cost estimates by the City of Edinburg, and acceptance of the financial guarantee for the completion of the subdivision improvements prior to recording the subdivision plat. Financial Guarantee will be released upon completion and inspection of public improvements.



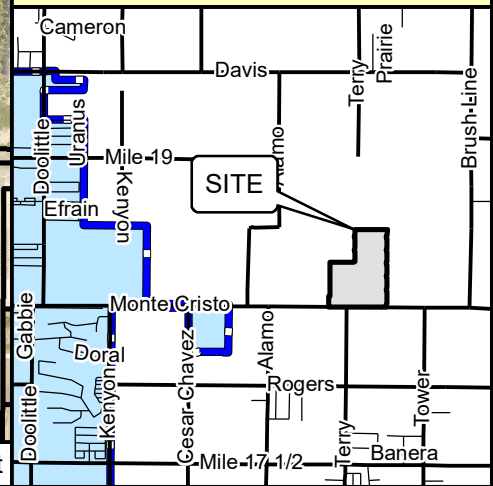
CASE CAPTION:

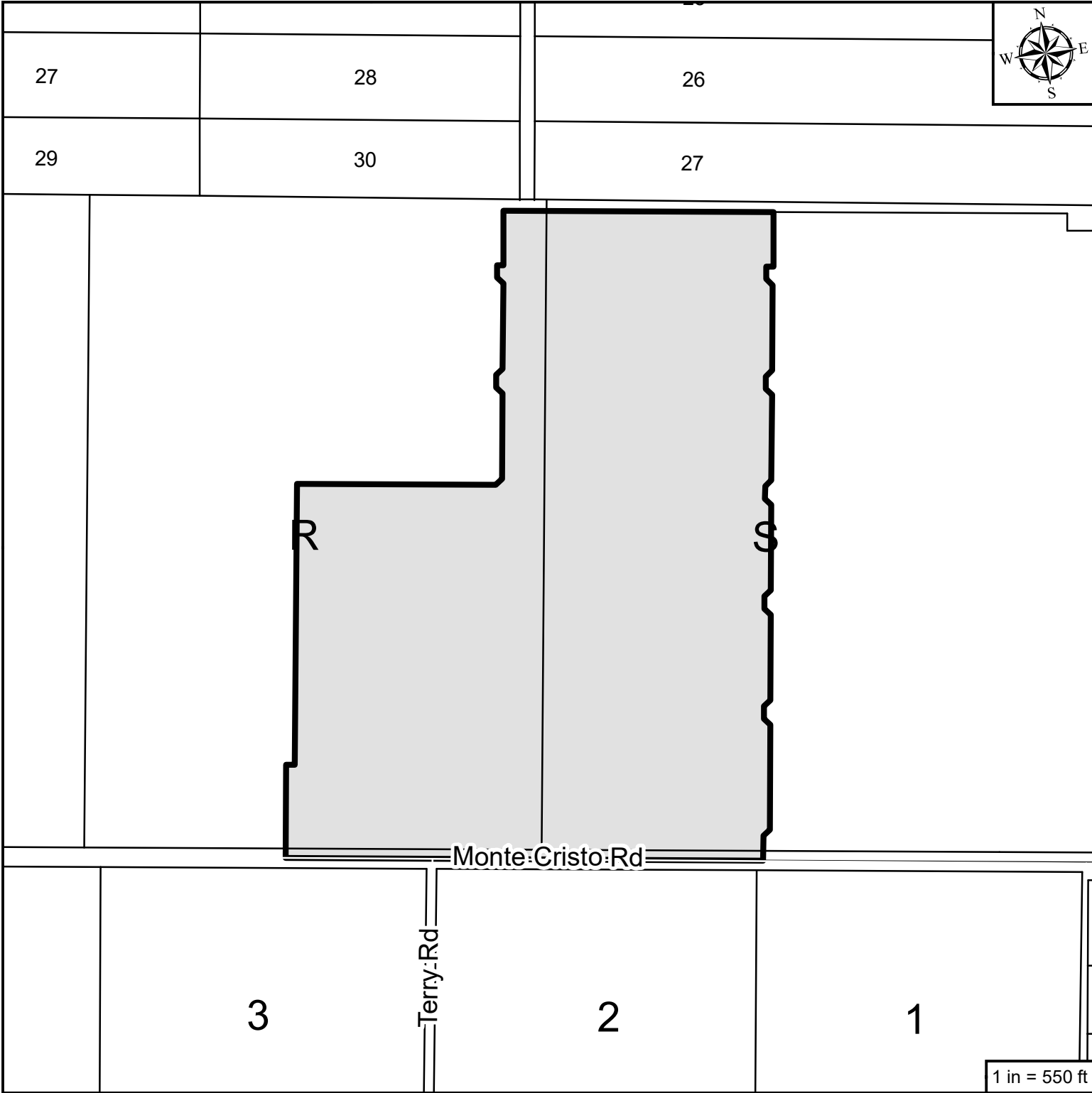
APPLICANT NAME:
LAS ENCINITAS SUBD. PH II

Legend

 APPLICANT SITE

SITE LOCATION MAP





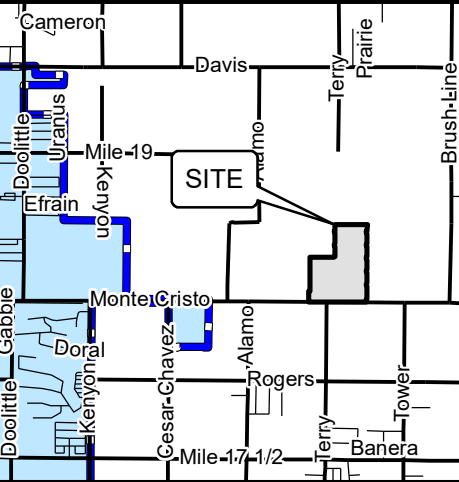
CASE CAPTION:

APPLICANT NAME:
LAS ENCINITAS SUBD. PH II

Legend

 APPLICANT SITE

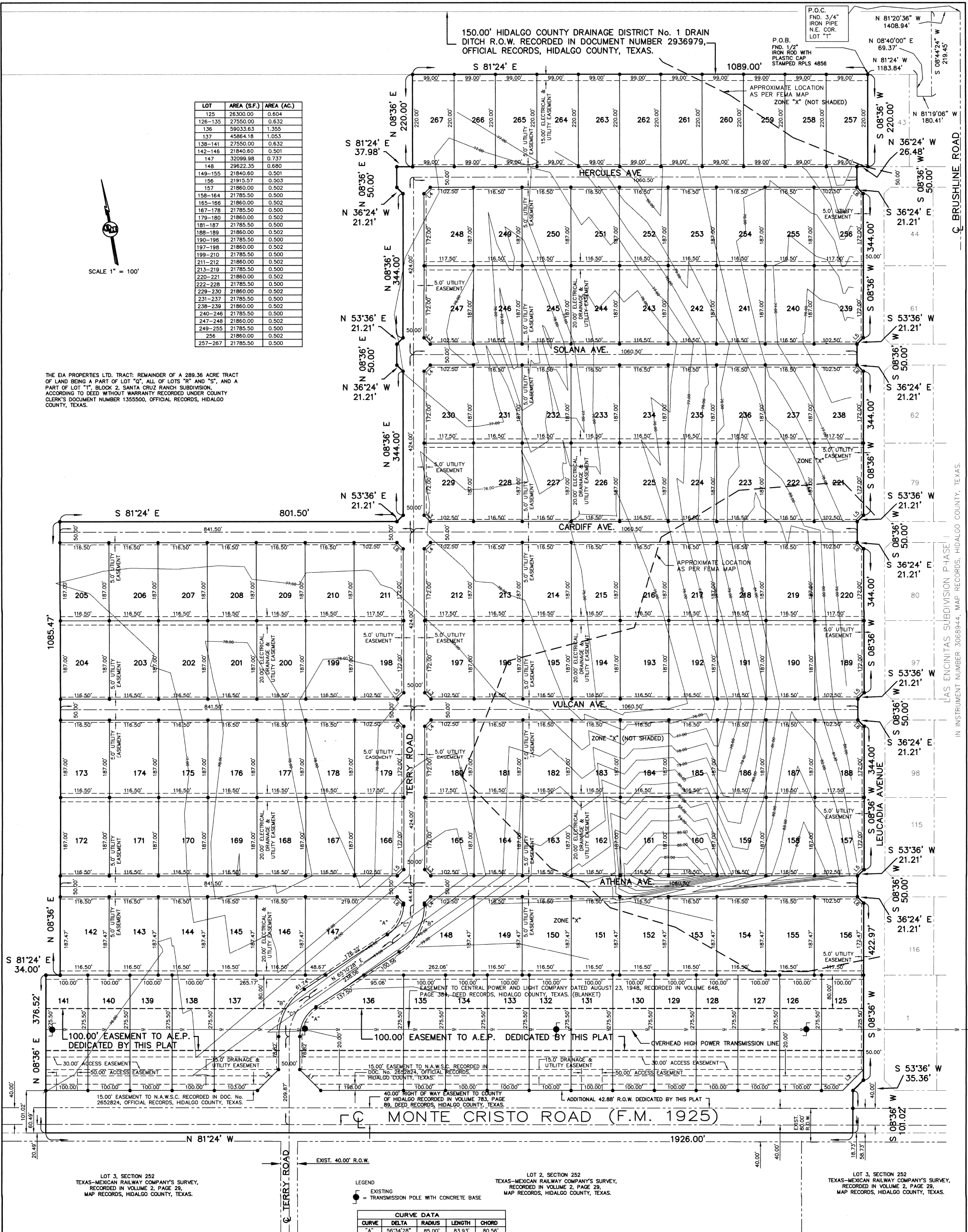
SITE LOCATION MAP



LOT	AREA (S.F.)	AREA (AC.)
125	26300.00	0.604
126-135	27550.00	0.632
136	59033.63	1.355
137	45864.18	1.053
138-141	27550.00	0.632
142-146	21840.60	0.501
147	32099.98	0.737
148	29622.35	0.680
149-155	21840.60	0.501
156	21915.57	0.503
157	21860.00	0.502
158-164	21785.50	0.500
165-166	21860.00	0.502
167-178	21785.50	0.500
179-180	21860.00	0.502
181-187	21785.50	0.500
188-189	21860.00	0.502
190-196	21785.50	0.500
197-198	21860.00	0.502
199-210	21785.50	0.500
211-212	21860.00	0.502
213-219	21785.50	0.500
220-221	21860.00	0.502
222-228	21785.50	0.500
229-230	21860.00	0.502
231-237	21785.50	0.500
238-239	21860.00	0.502
240-246	21785.50	0.500
247-248	21860.00	0.502
249-255	21785.50	0.500
256	21860.00	0.502
257-267	21785.50	0.500

SCALE 1" = 100'

THE EIA PROPERTIES LTD. TRACT: REMAINDER OF A 289.36 ACRE TRACT OF LAND BEING A PART OF LOT "Q", ALL OF LOTS "R" AND "S", AND A PART OF LOT "T", BLOCK 2, SANTA CRUZ RANCH SUBDIVISION, ACCORDING TO DEED WITHOUT WARRANTY RECORDED UNDER COUNTY CLERK'S DOCUMENT NUMBER 1355500, OFFICIAL RECORDS, HIDALGO COUNTY, TEXAS.



LAS ENCINITAS SUBDIVISION PHASE II

A 91.43 ACRE TRACT OF LAND OUT OF LOTS "R" AND "S", BLOCK 2, SANTA CRUZ RANCH SUBDIVISION, HIDALGO COUNTY, TEXAS, ACCORDING TO THE PLAT OF MAP THEREOF RECORDED IN VOLUME "Z", PAGES 160-161, DEED RECORDS HIDALGO COUNTY, TEXAS, AND ACCORDING TO DEED WITHOUT WARRANTY RECORDED UNDER COUNTY CLERK'S DOCUMENT NUMBER 1355500, OFFICIAL RECORDS, HIDALGO COUNTY, TEXAS.

STATE OF TEXAS
COUNTY OF HIDALGO

I, THE UNDERSIGNED, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECT, AND WAS MADE AND PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY DONE ON THE GROUND UNDER MY SUPERVISION.



ALFONSO QUINTANILLA

R.P.L.S. No. 4856

JULY 20, 2018

DATE



QUINTANILLA, HEADLEY AND ASSOCIATES, INC.

CONSULTING ENGINEERS

LAND SURVEYORS

124 E. STUBBS ST.

PHONE 956-381-8480

EDINBURG, TEXAS 78539

FAX 956-381-0527

REGISTRATION NUMBER F-1513

ALFONSO@QHA-ENG.COM

SURVEYING REGISTRATION NUMBER 100411-00



FILED FOR RECORD IN
HIDALGO COUNTY
ARTURO GUJARDO, JR.
HIDALGO COUNTY CLERK

ON: _____ AT: _____ AM/PM

INSTRUMENT NUMBER _____

OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS

BY: _____ DEPUTY

DATE OF PREPARATION: MAY 14, 2019

FILENAME: F:\DATA\SUBDIVS\HIDALGO CO.\LAS ENCINITAS SUBDIVISION\PLAT	DATE PREPARED: MAY 14, 2019	PREPARED BY: LG	CHECKED BY: _____	APPROVED BY: _____
SHEET NO. 1	DATE REVISED: _____	REVISED BY: _____	CHECKED BY: _____	APPROVED BY: _____
OF 5 SHEETS				

SUBDIVISION WITHIN CITY LIMITS CHECK LIST
FINAL STAGE

ENGINEERING DEPARTMENT (956) 388-8211

SUBDIVISION PROCESS

Date Prepared :

January 10, 2022

Application Filed: December 9, 2020	P&Z Preliminary: January 12, 2021	P&Z Final: _____	City Council: _____
Reviewed By: Abel Beltran, Subd. Coord. abeltran@cityofedinburg.com	Staff Review : January 21, 2021 Staff / Engineer : January 28, 2021	Time Line : 365 Days 1st Extension : 0 Days 2nd Extension : 0 Days	Expires : December 9, 2021 Expires 1: _____ Expires 2: _____
Director of Planning & Zoning : Director of Utilities Director of Public Works Director of Engineering	Kimberly A. Mendoza Arturo Martinez Vincent Romero Mardoqueo Hinojosa, P.E., CPM	Email : kmendoza@cityofedinburg.com Email : amartinez@cityofedinburg.com Email : layala@cityofedinburg.com Email : mhinojosa@cityofedinburg.com	City Office : (956) 388-8202 City Office : (956) 388-8212 City Office : (956) 388-8210 City Office : (956) 388-8211

Owner:	Quintanilla, Headley & Associates, Inc	6101 East Monte Cristo Rd.	Alfonso Quintanilla, P.E., Project Engineer		
LAS ENCINITAS SUBDIVISION PHASE II			Consultant : Quintilla, Headley & Associates, Inc.		
DESCRIPTION	Provided	Need to Provide	Not Applicable	Need to Revise	COMMENTS

Subdivision Process:

Subdivision Plat Submittal	✓				Date : December 4, 2020
Warranty Deed	✓				
Topography Survey	✓				
Drainage Report Submittal (As Per City Drainage Policy)	✓				Approved by H.C.D.D.#1 Date:
Zoning : City Limits - Residential	✓				
Flood Zone	✓				Zone "X" (Shaded)

Preliminary Submittals:

Existing & Proposed Water Distribution Layout	✓				North Alamo Water Supply Corporation - Distribution System
Water Distribution System Provider:	✓				North Alamo Water Supply Corporation - Distribution System
Existing & Proposed Sewer Collection Layout	✓				County of Hidalgo Offsite Septic System Faciality
Sanitary Sewer Collection System Provider:			✓		
Existing and Proposed Drainage Layout System:	✓				Hidalgo County Drainage District # 1
MPO Collector / Arterial Right-of-way Dedication	✓				Right-of-Way Dedication as per MPO requiremenets (0-Feet)
Minor / Major Collector Street pavement Section	✓				Street Section of 0-ft Back-Back
Variances Appeals Request:					Planning & Zoning Meeting Results City Council Meeting
			✓		
			✓		
			✓		

Construction Plans Review Submittals:

(See Section 4 Construction Plans Submittals Policy, 2014 STANDARD POLICY MANUAL)

Cover Sheet	✓				
Topography Sheet (Utilities, Bench Marks)	✓				
Sanitary Sewer Improvements: On-Site & Off-Site	✓				County of Hidalgo Offsite Septic System Faciality
Sanitary Sewer Detail Sheets	✓				County of Hidalgo Offsite Septic System Faciality
Water Distribution Improvements: On-Site & Off-Site	✓				North Alamo Water Supply Corporation Standard Policies
Water Distribution Detail Sheet	✓				North Alamo Water Supply Corporation Standard Policies
Drainage Improvements:			✓		
Drainage Detail Sheets			✓		See Section 1 Drainage Policy, 2014 Standard Policy Manual
Minor/Major Collector Streets Improvements:			✓		See Section 2 Streets Policy, 2014 Standard Policy Manual
Street Sign Sheet:			✓		
Street Detail Sheets			✓		See Section 2 Streets Policy, 2014 Standard Policy Manual
Street Lighting Sheet:	✓				
Traffic Control Plan:	✓				
Erosion Control Plan	✓				
Erosion Control Plan Detail Sheet	✓				See Storm Water Management, 2014 Standard Policy Manual

DESCRIPTION				Provided	Need to Provide	Not Applicable	Need to Revise	COMMENTS				
Pre-Construction Meeting:												
Notice To Proceed				✓				Dated:				
Roadway Open-Cut or Bore Permit Application				✓				Dated:				
TX-Dot Water UIR Permit						✓		Dated:				
TX-Dot Sewer UIR Permit						✓		Dated:				
N.O.I. Submittal				✓				Dated:				
SWPP Booklet Submittal				✓				Dated:				
RFI #1 Request				✓				Dated:				
Change Orders				✓				Dated:				
Final Walk Though				✓				Dated:				
Punch List				✓				Dated:				
Punch List (Completed and Approved)				✓				Dated:				
Letter of Acceptance				✓				Dated:				
1-year Warranty (Water/Sewer/Paving/Drainage)				✓				Dated:				
Backfill Testing Results				✓				Dated:				
As-Builts (Revised Original Submittal)				✓				Dated:				
Recording Process:												
Public Improvements with (Letter of Credit)						✓		Dated:		Expires:		
Recording Fees (Copy of Receipt)		\$ 106.00			✓			As required by County Clerks office				
Copy of H.C.D.D. #1 of PAID invoice		\$ 250.00			✓			Required to be paid prior to Final Stages				
Street Light Escrow		\$ -			✓			Required: 0		EA. @ \$ -		
Fire Hydrant Escrow		\$ -			✓			Required: 0		EA. @ \$ -		
S/W Escrow (FM 2812, 2.75-Mile ETJ)		\$ 56,825.00			✓			Required: 2273		LF @ \$ 25.00		
TOTAL OF ESCROWS:		\$ 56,825.00										
Total Developer's Construction Cost: (Letter of Credit)						✓		Date :		Lender :		
Laboratory Testing Fee: 3%		\$ -				✓		\$ -		Estimated Construction Cost		
Inspection Fee: 2%		\$ -				✓		\$ -		Final Construction Cost		
Park Land Fees: Within City ETJ		\$ 42,900.00			✓	✓		143	Lots @	\$ 300.00		
0 Residential		\$ -			✓			100% Development		0% Building Stage		
0 Multi-Family		\$ -				✓		0% Development		0% Building Stage		
Total Water Rights Fees : NAWSC - CCN		\$ -				✓		91.43	Acre(s)	RGRWA 2020 Fees : \$ 2,896.81		
Water 30-year Letter NAWSC - CCN		\$ -				✓		143143	Lots @	\$ - Meter Fee: NAWSC WATER-CCN		
Sewer 30-year Letter OSSF System		\$ -				✓		142	Lots @	\$ - Sewer Fee: COUNTY OSSF		
TOTAL OF FEES:		\$ -										
Reimbursements:												
Developer Sewer Improvements		\$ -				✓		Off-Site System: 0.00		AC \$ -		
Developer Water Improvements		\$ -				✓		Off-Site System 0.00		AC \$ -		
Developer Drainage Improvements		\$ -				✓		Off-Site System 0.00		TOTAL \$ -		
TOTAL OF REIMBURSEMENTS:		\$ -										
Buyouts:												
North Alamo Water Supply Corporation						✓		Not Applicable				
Sharyland Water Supply Corporation						✓		Not Applicable				
Tax Certificates												
County of Hidalgo / School District					✓							
Water District					✓			Hidalgo County Irrigation District # 2				
Total of Escrows, Fees, Reimbursements and Buyouts:												
Escrows		\$ 56,825.00		Street & Sidewalk Improvements for Russell Road								
Inspections other Fees		\$ -		Parkland Fees, Water/Sewer 30-year Agreement/Water Rights								
Reimbursements		\$ -		Riembursement to the Developer of Subdivision								
City of Edinburg		\$ -		0% Payable to the City of Edinburg for Administrative Fee								
To the Developer of Record		\$ -		0% Payable to the Developer of Record Owner / Developer								
Buyouts		\$ -										
TOTAL :		\$ 56,825.00		Developer Total Cost of Fees, Escrows, Reimbursements & Buyouts								

STAFF REPORT: CANTON HEIGHTS No. 3 SUBDIVISION

Prepared: January 7, 2022
Planning and Zoning Meeting: January 18, 2022
Agenda Item: **8E** Final Plat

Subject: Consider the Final Plat for **CANTON HEIGHTS SUBDIVISION No. 3**, being a 5.60-acre tract of land out of Lot 4, Block 1, John Closner Et. Al. Subdivision, located 2200 East Canton Road, as requested by Supreme Engineering.

Location: The property is located on the south side of E. Canton Road, approximately 850 ft. west of Raul Longoria Road (FM 1426).

Zoning: This property is located within the City Limits with Zoning –Auto Urban Residential and Setbacks as follow: 20-ft Front, 6-ft Side, and 20-ft Rear.

Analysis The Preliminary Plat was approved by the Planning and Zoning Commission on June 8, 2021 for a single family residential development with Twenty Two (22) lots averaging approximatley 7250 sq. ft. per lot.

Utilities: Water Distribution System is within North Alamo Water Supply Corporation – CCN and Sanitary Sewer Collection System is served by the City of Edinburg. All utility improvements within the proposed subdivision that are not limited to water, sewer, curb & gutter, fire hydrants, storm drain inlets, and pavement will be installed by the developer in accordance with City of Edinburg’s Unified Development Code and approved 2014 Standards Manual.

Recommendations:

City of Edinburg

Saff recommends approval of the Final Plat, subject to compliance with the Unified Development Code, accepted cost estimates by the City of Edinburg, and acceptance of the financial guarantee for the completion of the subdivision improvements prior to recording the subdivision plat. Financial Guarantee will be released upon completion and inspection of public improvements.





AERIAL MAP

CASE CAPTION:

SUBDIVISION NAME:

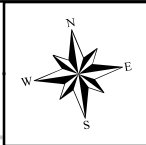
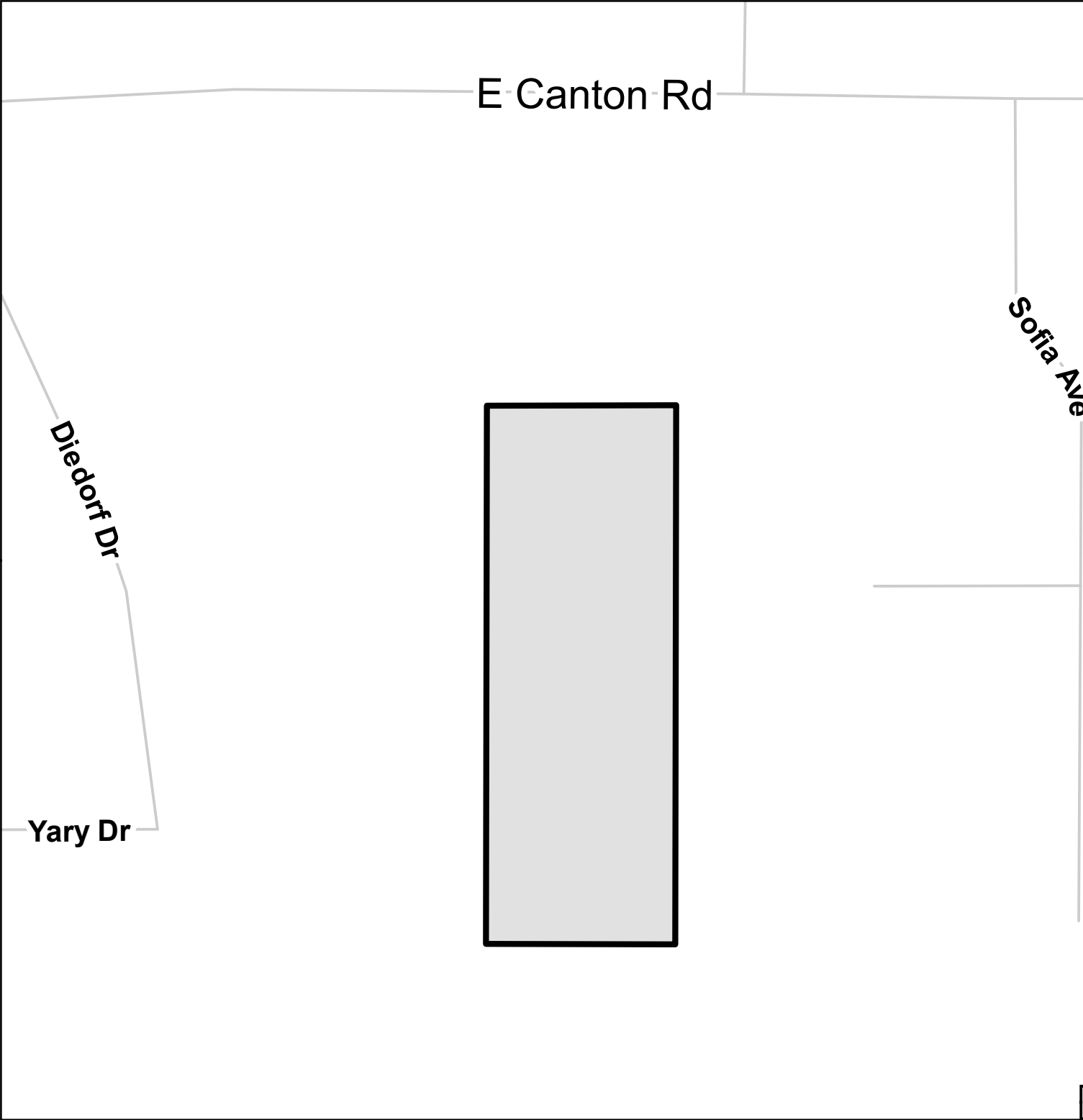
CANTON HEIGHTS NO. 3

Legend

-  CITY LIMITS
-  SUBDIVISION SITE

SITE LOCATION MAP







SITE MAP

CASE CAPTION:

SUBDIVISION NAME:

Legend

-  CITY LIMITS
-  SUBDIVISION SITE

SITE LOCATION MAP



1 in = 200 ft

[illegible]

SUBDIVISION WITHIN CITY LIMITS CHECK LIST
FINAL RECORDING STAGE

ENGINEERING DEPARTMENT (956) 388-8211

SUBDIVISION PROCESS

Date Prepared : **January 11, 2022**

Application Filed: May 4, 2021	P&Z Preliminary: June 9, 2021	P&Z Final: _____	City Council: _____
Reviewed By: Abel Beltran, Subd. Coord. abeltran@cityofedinburg.com	Staff Review : May 21, 2021 Staff / Engineer : May 28, 2021	Time Line : 365 Days 1st Extension : 0 Days 2nd Extension : 0 Days	Expires : May 4, 2022 Expires 1: _____ Expires 2: _____
Director of Planning & Zoning : Kimberly A. Mendoza	Director of Utilities : Arturo Martinez	Email : kmendosa@cityofedinburg.com	City Office : (956) 388-8202
Director of Public Works : Vincent Romero	Director of Engineering : Mardoqueo Hinojosa, P.E., CPM	Email : amartinez@cityofedinburg.com	City Office : (956) 388-8212
		Email : layala@cityofedinburg.com	City Office : (956) 388-8210
		Email : mhinojosa@cityofedinburg.com	City Office : (956) 388-8211

Owner:	ALPHA MAVERICK DEVELOPMENT			P.O. Box 959 Edinburg, Texas		Omar Cano, P.E., Project Engineer	
CANTON HEIGHTS III SUBDIVISION				Consultant : SUPREME Engineering			
DESCRIPTION			Provided	Need to Provide	Not Applicable	Need to Revise	COMMENTS

Subdivision Process:

Subdivision Plat Submittal	✓				Date : May 4, 2021
Warranty Deed	✓				
Topography Survey	✓				
Drainage Report Submittal (As Per City Drainage Policy)	✓				Approved by H.C.D.D.#1 Date:
Zoning : City Limits - Residential	✓				
Flood Zone	✓				Zone "X" (Shaded)

Preliminary Submittals:

Existing & Proposed Water Distribution Layout	✓				North Alamo Water Supply Corporation - Distribution System
Water Distribution System Provider:	✓				North Alamo Water Supply Corporation - Distribution System
Existing & Proposed Sewer Collection Layout	✓				City of Edinburg Sanitary Sewer Collection System
Sanitary Sewer Collection System Provider:			✓		
Existing and Proposed Drainage Layout System:	✓				Hidalgo County Drainage District # 1
MPO Collector / Arterial Right-of-way Dedication	✓				Right-of-Way Dedication as per MPO requirements (0-Feet)
Minor / Major Collector Street pavement Section	✓				Street Section of 0-ft Back-Back
Variances Appeals Request:					Planning & Zoning Meeting Results City Council Meeting
			✓		
			✓		
			✓		

Construction Plans Review Submittals:

(See Section 4 Construction Plans Submittals Policy, 2014 STANDARD POLICY MANUAL)

Cover Sheet	✓				
Topography Sheet (Utilities, Bench Marks)	✓				
Sanitary Sewer Improvements: On-Site & Off-Site	✓				County of Hidalgo Offsite Septic System Facility
Sanitary Sewer Detail Sheets	✓				County of Hidalgo Offsite Septic System Facility
Water Distribution Improvements: On-Site & Off-Site	✓				North Alamo Water Supply Corporation Standard Policies
Water Distribution Detail Sheet	✓				North Alamo Water Supply Corporation Standard Policies
Drainage Improvements:			✓		
Drainage Detail Sheets			✓		See Section 1 Drainage Policy, 2014 Standard Policy Manual
Minor/Major Collector Streets Improvements:			✓		See Section 2 Streets Policy, 2014 Standard Policy Manual
Street Sign Sheet:			✓		
Street Detail Sheets			✓		See Section 2 Streets Policy, 2014 Standard Policy Manual
Street Lighting Sheet:	✓				
Traffic Control Plan:	✓				
Erosion Control Plan	✓				
Erosion Control Plan Detail Sheet	✓				See Storm Water Management, 2014 Standard Policy Manual

DESCRIPTION		Provided	Need to Provide	Not Applicable	Need to Revise	COMMENTS	
Pre-Construction Meeting:							
Notice To Proceed		✓				Dated:	
Roadway Open-Cut or Bore Permit Application		✓				Dated:	
TX-Dot Water UIR Permit				✓		Dated:	
TX-Dot Sewer UIR Permit				✓		Dated:	
N.O.I. Submittal		✓				Dated:	
SWPP Booklet Submittal		✓				Dated:	
RFI #1 Request		✓				Dated:	
Change Orders		✓				Dated:	
Final Walk Though		✓				Dated:	
Punch List		✓				Dated:	
Punch List (Completed and Approved)		✓				Dated:	
Letter of Acceptance		✓				Dated:	
1-year Warranty (Water/Sewer/Paving/Drainage)		✓				Dated:	
Backfill Testing Results		✓				Dated:	
As-Builts (Revised Original Submittal)		✓				Dated:	
Recording Process:							
Public Improvements with (Letter of Credit)				✓		Dated: Expires:	
Recording Fees (Copy of Receipt)	\$ 106.00		✓			As required by County Clerks office	
Copy of H.C.D.D. #1 of PAID invoice	\$ 250.00		✓			Required to be paid prior to Final Stages	
Street Light Escrow	\$ -		✓			Required: 0 EA. @ \$ -	
Fire Hydrant Escrow	\$ -		✓			Required: 0 EA. @ \$ -	
S/W Escrow (Canton Road)	\$ -		✓			Required: 0 LF @ \$ 25.00	
TOTAL OF ESCROWS:		\$ -					
Total Developer's Construction Cost: (Letter of Credit)				✓		Date : Lender :	
Laboratory Testing Fee: 3%	\$ -		✓			\$ - Estimated Construction Cost	
Inspection Fee: 2%	\$ -		✓			\$ - Final Construction Cost	
Park Land Fees: Within City ETJ	\$ -		✓			0 Lots @ \$ -	
22 Residential	\$ 300.00	\$ 6,600.00	✓			50% Development 50% Building Stage	
0 Multi-Family	\$ -	\$ -	✓			0% Development 0% Building Stage	
Total Water Rights Fees : NAWSC - CCN	\$ -		✓			5.6 Acre(s) RGRWA 2020 Fees : \$ 2,896.81	
Water 30-year Letter NAWSC - CCN	\$ 110.00		✓			22 Lots @ \$ 5.00 Meter Fee: NAWSC WATER-CCN	
Sewer 30-year Letter COE - CCN	\$ 1,430.00		✓			22 Lots @ \$ 65.00 Sewer Fee: COE - SEWER CCN	
TOTAL OF FEES:		\$ 8,140.00					
Reimbursements:							
Developer Sewer Improvements	\$ -		✓			Off-Site System: 0.00 AC \$ -	
Developer Water Improvements	\$ -		✓			Off-Site System 0.00 AC \$ -	
Developer Drainage Improvements	\$ -		✓			Off-Site System 0.00 TOTAL \$ -	
TOTAL OF REINBURSEMENTS:		\$ -					
Buyouts:							
North Alamo Water Supply Corporation				✓		Not Applicable	
Sharyland Water Supply Corporation				✓		Not Applicable	
Tax Certificates							
County of Hidalgo / School District			✓				
Water District			✓			Hidalgo County Irrigation District # 2	
Total of Escrows, Fees, Reimbursements and Buyouts:							
Escrows	\$ -	Street & Sidewalk Improvements for Russell Road					
Inspections other Fees	\$ 8,140.00	Parkland Fees, Water/Sewer 30-year Agreement/Water Rights					
Reimbursements	\$ -	Riembursement to the Developer of Subdivision					
City of Edinburg	\$ -	0% Payable to the City of Edinburg for Administrative Fee					
To the Developer of Record	\$ -	0% Payable to the Developer of Record Owner / Developer					
Buyouts	\$ -						
TOTAL :		\$ 8,140.00	Developer Total Cost of Fees, Escrows, Reimbursements & Buyouts				



City of Edinburg
PLANNING & ZONING COMMISSION
Regular Meeting: 01/17/2022

— SUBDIVISION VARIANCE —

Agenda Item No: 9A
LA RESERVA SUBDIVISION PHASE II

1. **Agenda Item:** Consider Variance Requests to the City’s Unified Development Code: 1) Section 7.404B Block Length, 2) Section 8.204A Streets, Paving Width and 3) Section 8.213 Sidewalks, proposed La Reserva Subdivision Phase II, being an 81.74 acre tract of land out of Lots 3, 4, 5, 6, 11, & 12, Block 73, Engelman Resubdivision or the Missouri-Texas Land and Irrigation Company’s Subdivision in Las Mestañas Grant, located at 8200 East Farm to Market 2812, as requested by Quintanilla, Headley & Associates, Inc.
2. **Description/Scope:** The proposed La Reserva Subdivision Phase II is located on the south side of East Farm to Market 2812, approximately 850 ft. west of Uresti Street, in the City’s extraterritorial jurisdiction (ETJ), approximately 2.7 miles from the City Limits at its closest point. The 81.74 acre tract is currently vacant. The proposed subdivision is for a single family residential development consisting of 84 lots averaging approximately 22,000 sq. ft. each. Quintanilla, Headley, & Associates, Inc., on behalf of the developer, is requesting two variances to the City’s Unified Development Code (UDC) for the aforementioned subdivision.

Variance Request #1: 7.404B Blocks and Block Length

This Variance Request is to the maximum block length allowed for subdivisions.

UDC Section 7.404B states: “No block may exceed 800 feet in length.” The proposed subdivision has blocks measuring 1,300.14 ft., 1,320 ft. and 1,256.00 ft. from north to south. These blocks are up to 65%, longer than the maximum allowed by UDC regulations.

Variance Request #2: 8.204A Streets, Paving Width

This Variance Request is to reduce the required paving width on Benito A. Ramizez Road from 57 ft. to 32 ft.

UDC Section 8.204A requires 80 ft. of right-of-way (ROW) and 57 ft. back-to-back paving for Collector streets. The Rio Grande Valley Metropolitan Planning Organization (MPO) Metropolitan Transportation Plan classifies the existing portion of Benito A. Ramirez Road west of the City Limits as an Expansion Collector street. There is no existing roadway for Benito A. Ramirez Road in the location of the proposed subdivision; the ROW for this street is marked as a “New Facility Collector” by the MPO. Estimated cost of street construction is \$106,596.33.

Variance Request #3: Section 8.213 Sidewalks

This Variance Request is to the required sidewalks on Farm to Market 2812, approximately 692 LF along the south side of this development.

UDC Section 8.213 requires that sidewalks be provided in the area between the parkway and the edge of the right-of-way. The developer is proposing to dedicate an additional 20 ft. of ROW, but not to construct the required sidewalks. Estimated cost for sidewalk improvements is \$17,300.00.

3. Staff's Recommendation: Staff recommends partial approval of Variance #1 and disapproval of Variances #2 and Variance #3.

Variance #1: The proposed subdivision is the second phase of the La Reserva Subdivision developments. La Reserva Subdivision Phase 1, located to the east, received a variance for block length and provided stub out streets for connecting to this phase, Phase II. Shortening the block length along the east side of La Reserva Phase II is not possible due to the existing design of Phase I. However, the developer should adhere to the block length requirements for the west side of this development and provide stub outs to the west at a spacing of no more than 800 ft., such that future development will meet UDC block length requirements.

Variance #2: The section of Benito A. Ramirez Road created by this subdivision will not immediately connect to the main portions of Benito A. Ramirez Road east or west of this location. Existing portions of Benito A. Ramirez Road are narrower than the width proposed by this variance. The road, as proposed, will only serve the immediate neighborhood until additional development occurs and provides connections to the east and west. Until that time, additional street width is neither desirable nor warranted. However, the developer should pay the fee in lieu of these improvements as required by UDC Section 7.502C.

Variance #3: The required sidewalks along the southern side of the proposed development (along Farm to Market 2812) total approximately 980 ft. There are currently no sidewalks east or west of this development and no schools nearby. However, if the developer does not wish to provide the required improvements, they should, at a minimum, provide off-street trails suitable for meeting the needs of pedestrians and cyclists.

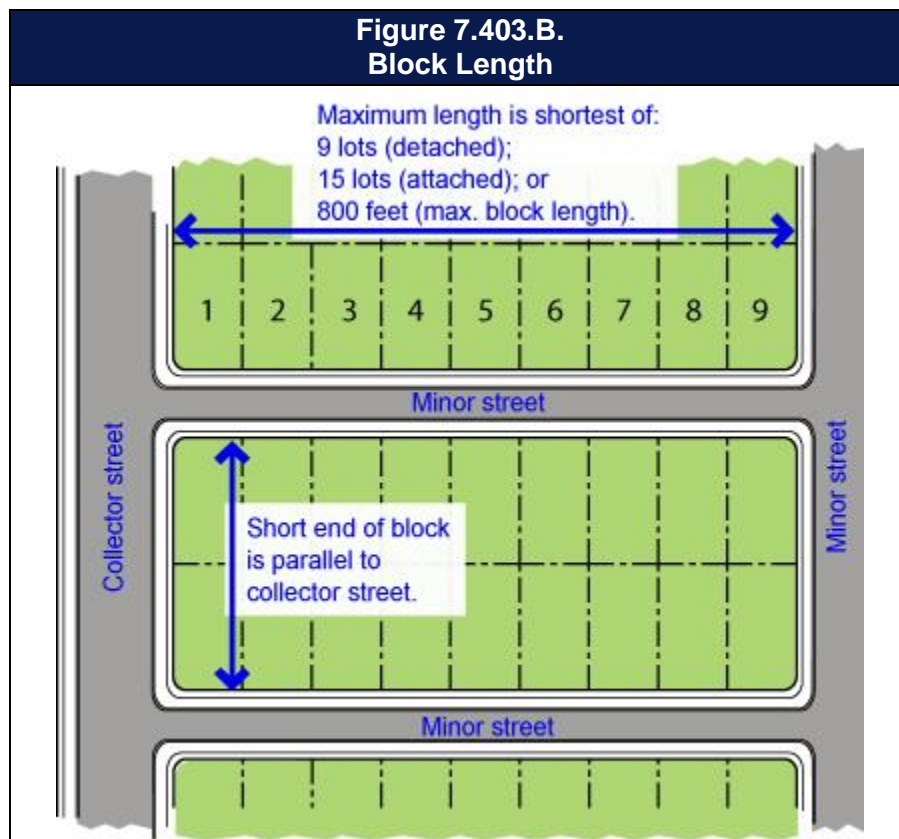
Prepared By:
D. Austin Colina
Planner I

Approved By:
Kimberly Mendoza, MPA
Director of Planning and Zoning

Attachments:
Unified Development Code
Aerial Photo
Subdivision Plat
Cost Estimate

Sec. 7.404 Blocks

- A. **Block pattern.** In general, streets shall be laid out to create blocks. Within any superblock created by arterials or collectors, the design objective is to provide an interconnected network of streets so that people may reach other locations within the superblock without having to access arterial or collector streets. See Figure 7.403.A., *Illustrative Block Pattern in Superblock to Create Connectivity*. If practicable, streets shall be arranged in a grid or comparable formal arrangement, and open spaces shall be integrated into the block design. Exceptions will be made for green spaces along drainage or stream channels or where other natural resources make a grid or comparable formal arrangement difficult or cost prohibitive.
- B. **Block Length.** Where possible, blocks shall be laid out to have their short length abutting arterials, collectors, or the development's major road. The blocks should not, in most instances, exceed nine lots in length on one side of the street, except for attached units on individual lots, which shall not exceed 15 lots (or, in the case of condominiums, cooperatives, or rental housing, 15-unit footprints plus required building side yards). See Figure 7.403.B., *Block Length*. **No block may exceed 800 feet in length.** The length, width, and shape of blocks should be determined with due regard to the provision of adequate sites for buildings of the type proposed, zoning requirements, fire access, emergency service, and police protection.
- C.



Sec. 8.204 Street Standards

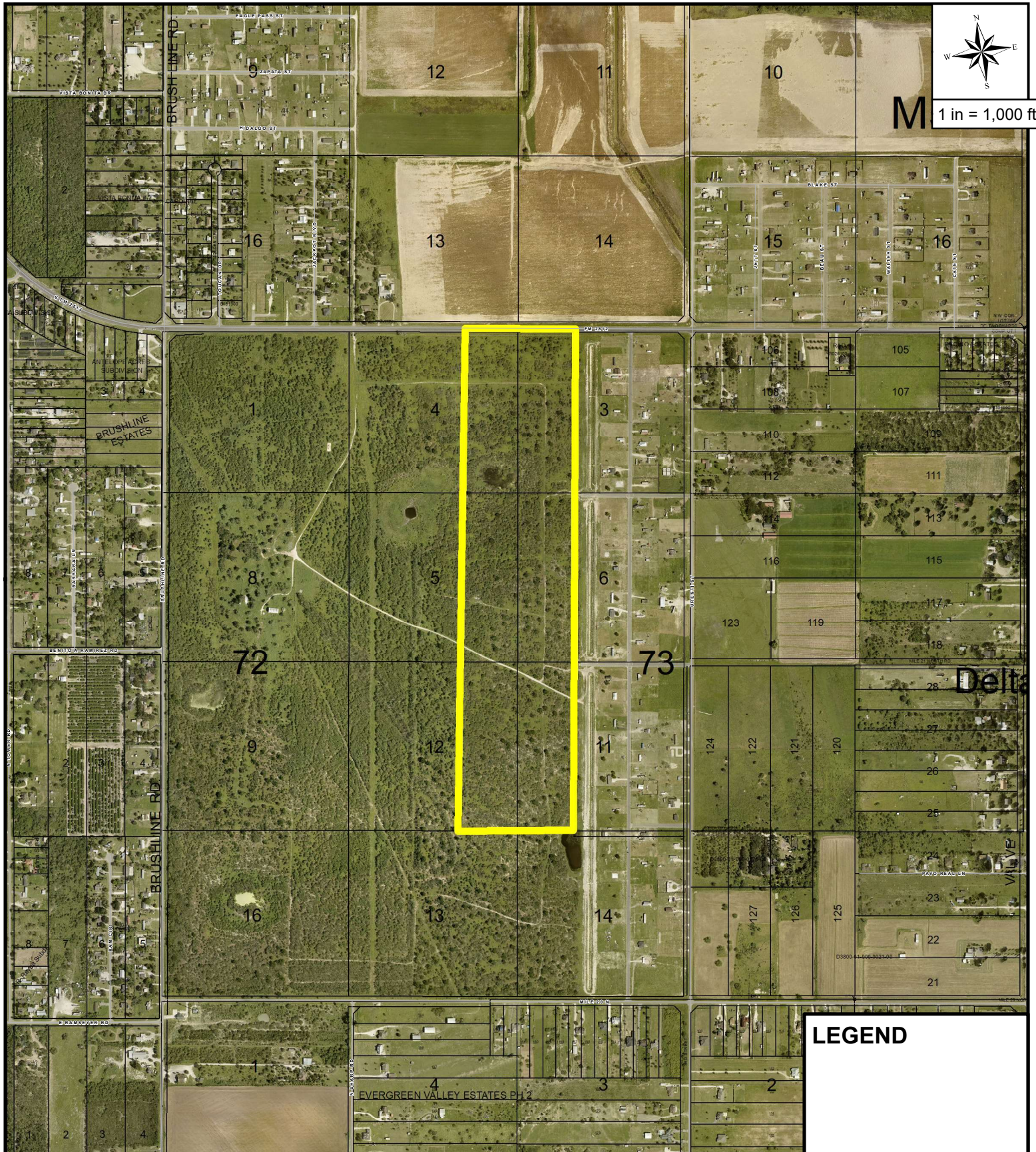
- A. **Streets.** The standards in Table 8.204, *Street Standards*, shall govern all street construction, except with regard to State highways, which shall meet Texas Department of Transportation (TxDOT) specifications.

Table 8.204 Street Standards ¹		
Right-of-way Width	Paving Width ²	Paving Sections Escrow
50 ft. (w/5 ft. U.E.) Minor (60 ft. with street trees)	32 ft. B-B	8-inch Caliche 2-inch HMAC
60 ft. Residential Collector ³	43 ft. 2 lanes (+) 2 park (+) C&G ⁴	8-inch Caliche 2-inch HMAC
80 ft. Collector	57 ft. B-B 2 lanes (1 OL) (+) 2 park (+) C&G	10-inch Caliche 2-inch HMAC
100 ft. Minor Arterial	65 ft. B-B 5 lanes (1CL) (+) C&G	12-inch Caliche 3-inch HMAC
120 ft. Arterial	81 ft. B-B 5 lanes (1CL) (+) 2 park (+) C&G 1 side	12-inch Caliche 3-inch HMAC
¹ Source: City Standards Manual, Section II-3. ² Travel lanes are 12 ft. wide and parking lanes ("park") are 8 ft. wide. Continuous Left (CL) and Occasional Left (OL) lanes are 14 ft. wide. ³ Multi-family subdivisions shall be required to comply with residential collector street standards. ⁴ C&G means 1.5 ft. wide curb and gutter on each side of the street.		

- B. **Adjustments.** The City shall, where feasible, require the street's design to minimize the disturbance of natural resources, including floodplains. Where additional right-of-way is needed to obtain vertical curve, grade, clear sight triangles, turn lanes, or medians, the required right-of-way shall be adjusted to the extent necessary in accordance with local needs as determined by the Planning and Engineering Departments.
- C. **Half Streets Prohibited.** No half-streets shall be permitted in new subdivision plats.

Sec. 8.213 Sidewalks

- A. **Sidewalk plan and permit required.** A sidewalk plan shall be submitted with the preliminary plat, development plat, and minor plat application and with the building permit application for unplatted property. A sidewalk permit shall be required to ensure compliance with the approved Sidewalk Plan. The sidewalk permit shall be filed with and reviewed by the City Engineer in accordance with the permit requirements set forth in Chapter 98 of the Code of Ordinances.
- B. **Location of sidewalks.**
1. Sidewalks shall be provided in the area between the parkway and the edge of the right-of-way, as shown in the Engineering Standards Manual, latest edition.
 2. The outer boundaries of sidewalks shall be located in the platted street right-of-way, generally one foot from the property line. This one foot width shall be subtracted from the required parkway width. Sidewalks may meander into the parkway to protect the root system of a mature tree, provided that no sidewalk be located closer than four feet to the back of curb or edge of pavement if no curb is present. This arrangement shall not reduce the right-of-way width requirement.
 3. Walks shall also be installed in any pedestrian easements as may be required by the Planning Department.
- C. **Modification of sidewalk requirements.** Sidewalk requirements may be altered or waived if a sidewalk plan that provides equal or greater pedestrian circulation is submitted to and approved by the Planning and Zoning Commission at the time of platting. These trade-offs may be permitted:
1. In suburban estate developments to allow off-street trails in lieu of sidewalks, thereby meeting the needs of walkers and cyclists; or
 2. In order to implement the City's Parks and Recreation Master Plan, as set out in subsection D., below.
- D. **Completion of sidewalk networks.**
1. In general, sidewalks should be constructed concurrent with street construction, with special provisions to protect their condition and integrity during the process of building construction. However, this requirement may be waived at the discretion of the Planning and Zoning Commission if reasonable assurances are provided that:
 - a. Sidewalk segments across individual lots will be constructed after buildings are constructed on the individual lots, but before they are occupied; and
 - b. The timing and phasing of development will result in the completion of the sidewalks on each street segment within 2 years of the date that building construction on the street segment is commenced.
 2. Sidewalks should be installed along street corridors on a priority basis in areas where they are not currently available.
- E. **Maintenance of Sidewalks Outside of the City.** Developers of property in the ETJ shall provide for the continuing maintenance of sidewalks by property owners, homeowners association or other appropriate means. If the development is located adjacent to the City limits, then voluntary annexation shall be required in lieu of this requirement. Sidewalks inside the City shall be maintained by the City and/or adjoining property owners.



AERIAL MAP

APPLICANT/SUBDIVISION: QUINTANILLA, HEADLEY & ASSOCIATES, INC / LA RESERVA

CASE CAPTION:

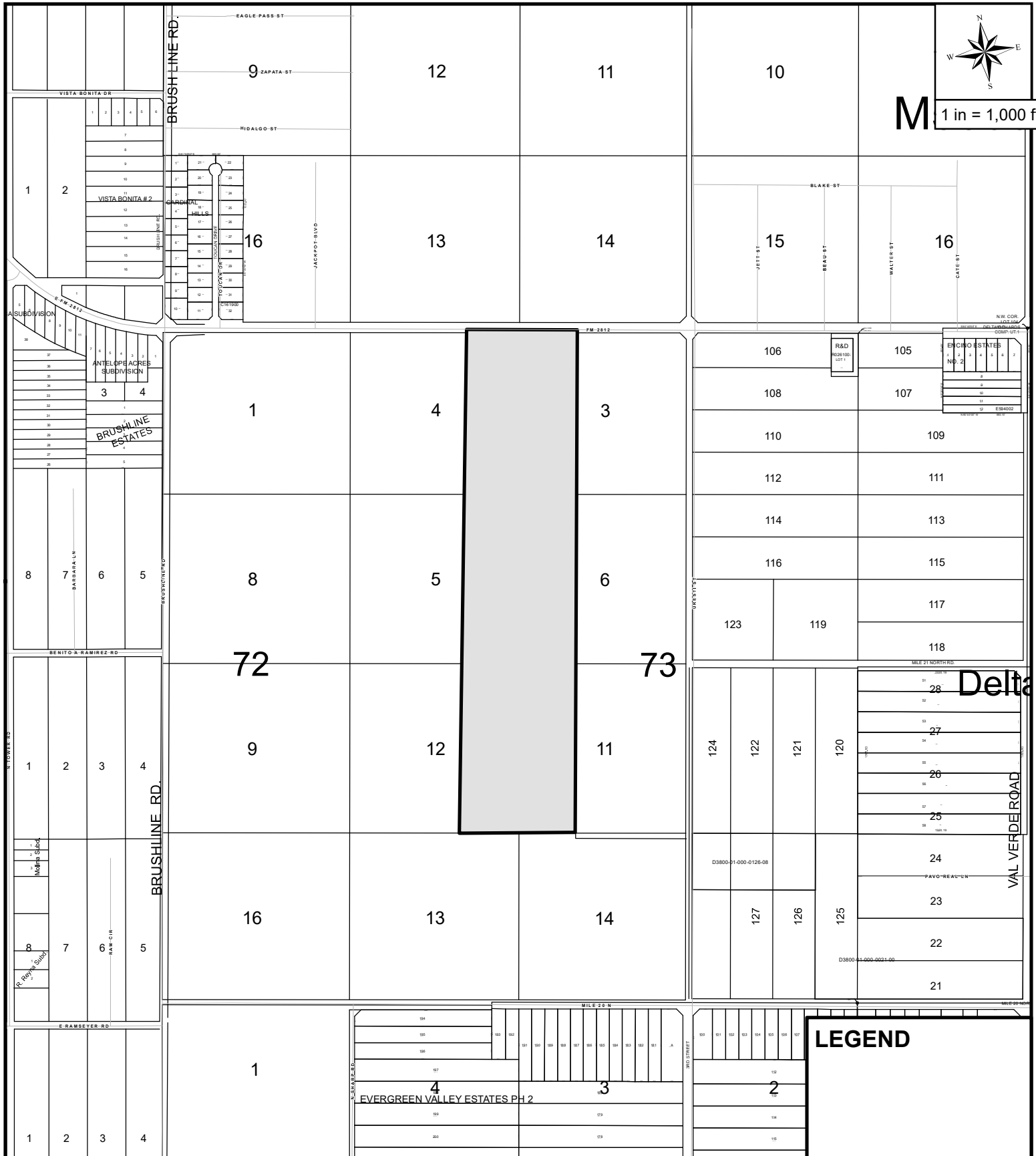
LEGEND



SUBDIVISION SITE



CITY LIMITS



SITE MAP

APPLICANT/SUBDIVISION: QUINTANILLA, HEADLEY & ASSOCIATES, INC / LA RESERVA

CASE CAPTION:

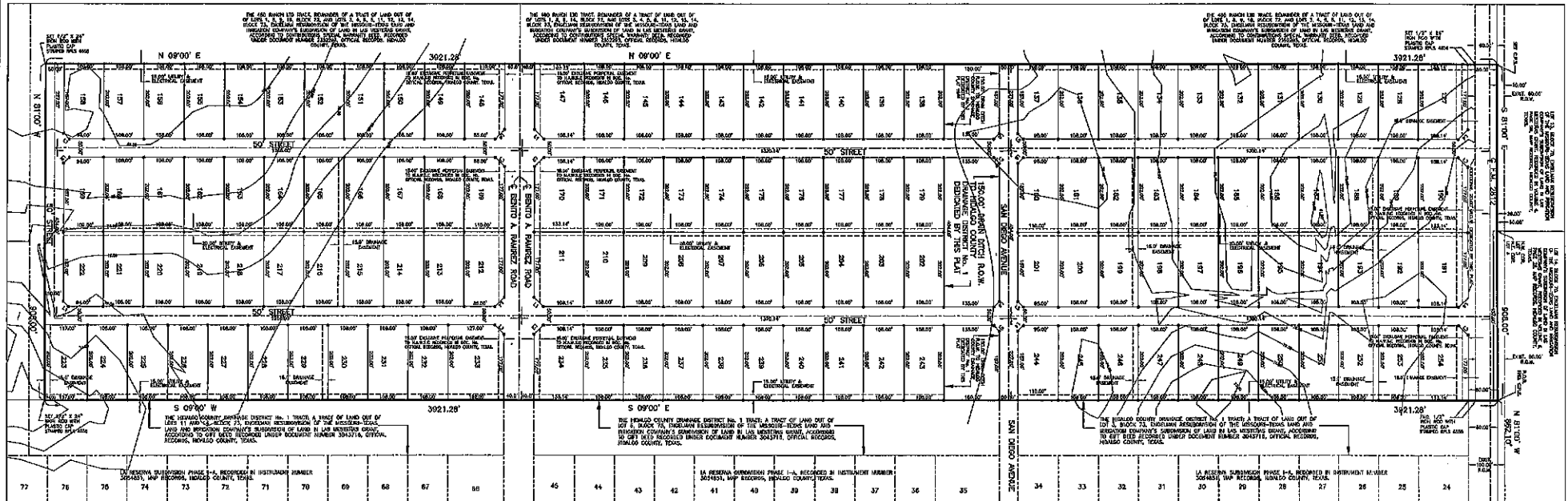
LA RESERVA SUBDIVISION

LEGEND

- SUBDIVISION SITE
- CITY LIMITS

LA RESERVA SUBDIVISION PHASE II

EXHIBIT



LA RESERVA SUBDIVISION PHASE II

AN 81.74 ACRE TRACT OF LAND OUT OF LOTS 3, 4, 5, 6, 11 & 12, BLOCK 73, ENGELMAN RESUBDIVISION OF THE MISSOURI-TEXAS LAND AND IRRIGATION COMPANY'S SUBDIVISION OF LAND IN LAS MESTENAS GRANT, HIDALGO COUNTY, TEXAS, ACCORDING TO THE MAP OR PLAT THEREOF RECORDED IN VOLUME 6, PAGE 28, MAP RECORDS, HIDALGO COUNTY, TEXAS AND ACCORDING TO CONTRIBUTION SPECIAL WARRANTY DEED RECORDED UNDER DOCUMENT NUMBER 2352293, OFFICIAL RECORDS, HIDALGO COUNTY, TEXAS.



QUINTANILLA, HEADLEY AND ASSOCIATES, INC.

CONSULTING ENGINEERS
124 E. STUBBS ST.
EDINBURG, TEXAS 78539
REGISTRATION NUMBER F-1513

LAND SURVEYORS
PHONE 856-381-6480
FAX 856-381-0527
ALFONSO@QHA-ENG.COM



Case #

Edinburg
THE CITY OF

Planning & Zoning Department
415 W. University Drive
Edinburg, Texas 78539
(956) 388-8202

Subdivision Appeals / Variance Application

Submittal Date: _____

Legal Description:

An 81.74 acre tract out of Lots 3, 4, 5, 6, 11, & 12, Block 73, Engleman Resubdivision of the Missouri-Texas Land and Irrigation Company's Subdivision of Land in Las Mestenas Grant, Hidalgo County, Texas.

Variance Requested (Identify section of code for which variance is being requested):

Sec. 7.404.B Block Length

Reason for Request:

Sec. 7.404.B Block Length

Required block length is 800 feet, proposed block length is 1,320 feet. We are proposing 11 half acre lots in the block.

B&MJ, LLC General Partner to La Reserva Phase II, Ltd.
By: William A. Schwarz, President

Property Owner (Print legibly or type)

5711 N. 10th Street

Address

McAllen, Texas 78504

City, State, Zip

(956) 682-4128

Telephone

butch11111@aol.com

Email address

Signature

Quintanilla, Headley & Associates, Inc.

Applicant / Agent (Print legibly or type)

124 E. Stubbs Street

Address

Edinburg, Texas 78539

City, State, Zip

(956) 381-6480

Telephone

alfonsoq@qha-eng.com

Email address

Signature

\$450 Application Fee: _____

Received By: _____



Case # _____

Edinburg
THE CITY OF

Planning & Zoning Department
415 W. University Drive
Edinburg, Texas 78539
(956) 388-8202

Subdivision Appeals / Variance Application

Submittal Date: _____

Legal Description:

A 81.74 acre tract out of Lots 3, 4, 5, 6, 11 and 12, Block 73, Engelman Resubdivision of the Missouri-Texas Land & Irrigation Company's Subdivision of land in Las Mesteñas Grant, Hidalgo County, Texas

Variance Requested (Identify section of code for which variance is being requested):

Sec. 7.502 C. 1 Benito Ramirez Road to be paved 32' B-B in lieu of 57' B-B Collector

8.204A Streets, Paving Width

Reason for Request:

Property is too far from the City Limits

B&MJ LLC, General Partner to La Reserva Phase II, LTD.

By: William A. Schwarz, President

Property Owner (Print legibly or type)

5711 N. 10th Street

Address

McAllen, Texas 78504

City, State, Zip

(956) 682-4128

Telephone

butch1111@aol.com

Email address

Signature

Quintanilla, Headley & Associates, Inc.

Applicant / Agent (Print legibly or type)

124 E. Stubbs

Address

Edinburg, Texas 78539

City, State, Zip

(956) 381-6480

Telephone

alfonsoq@qha-eng.com

Email address

Signature

\$450 Application Fee: _____

Received By: _____

RECEIVED

DEC 10 2021

Name: _____ 1:55p.m.



Case # _____

Edinburg THE CITY OF

Planning & Zoning Department
415 W. University Drive
Edinburg, Texas 78539
(956) 388-8202

Subdivision Appeals / Variance Application

Submittal Date: _____

Legal Description:

A 81.74 acre tract out of Lots 3, 4, 5, 6, 11 and 12, Block 73, Engelman Resubdivision of the Missouri-Texas Land & Irrigation Company's Subdivision of land in Las Mesteñas Grant, Hidalgo County, Texas

Variance Requested (Identify section of code for which variance is being requested):

Sec 8.213 Sidewalk along FM2812 - Property is too far from the City Limits and there are no schools nearby.

Reason for Request:

Sec 8.213 Sidewalk along FM2812 - Property is too far from the City Limits and there are no schools nearby.

B&MJ LLC, General Partner to La Reserva Phase II, LTD.

By: William A. Schwarz, President

Property Owner (Print legibly or type)

5711 N. 10th Street

Address

McAllen, Texas 78504

City, State, Zip

(956) 682-4128

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Signature

\$450 Application Fee: _____

Received By: _____

RECEIVED

DEC 10 2021

Name: _____ 1:55pm



City of Edinburg
PLANNING & ZONING COMMISSION
Regular Meeting: 01/17/2022

— SUBDIVISION VARIANCE —

Agenda Item No: 9B
NORTH MCCOLL ESTATES SUBDIVISION

1. **Agenda Item:** Consider Variance Requests to the City’s Unified Development Code: 1) Section 3.303 Multi-Family Lot and Building Standards, Lot Width, 2) Section 7.404B Block Length, and 3) Section 8.204 Street Standards, Right-of-way Width, Paving Width, proposed North McColl Estates Subdivision, being 29.130 acres out of Lot 3, Section 276, Texas-Mexican Railway Company’s Survey, located at 501 North McColl Road, as requested by Melden & Hunt, Inc.
2. **Description/Scope:** The proposed North McColl Estates Subdivision has 890 ft. of frontage on West Schunior Street, approximately 350 ft. west of North McColl Road. The property as an “L” shape that provides access and 317.89 ft. of frontage on North McColl Road, approximately 970 ft. south of West Schunior Street. The 29.13 acre tract is currently vacant and zoned Auto Urban Residential (AU) District. The proposed subdivision is for a multifamily residential development consisting of 76 lots. Melden & Hunt, Inc., on behalf of the developer, is requesting three variances to the City’s Unified Development Code (UDC) for the aforementioned subdivision.

Variance Request #1: 3.303 Multi-Family Lot and Building Standards, Lot Width

This Variance Request is to the lot width requirement for a multi-family development. Lots for multifamily developments in Auto Urban Residential (AU) District require a minimum of 100 ft. of frontage, according to the UDC, Section 3.303 Multi-Family Lot and Building Standards. Most lots in the proposed development range between 80 and 85 ft. in width. These lot widths do not conform to the requirements of the Unified Development Code.

Variance Request #2: 7.404B Blocks and Block Length

This Variance Request is to the maximum block length allowed for subdivisions.

UDC Section 7.404B states: “No block may exceed 800 feet in length.” The proposed subdivision has blocks measuring 934.94 ft. from north to south. These blocks are 16.87%, longer than the maximum allowed by UDC regulations.

Variance Request #3: 8.204 Street Standards, Right-of-way Width, Paving Width

This Variance Request is to both the required right-of-way (ROW) width and street widths for the interior streets for this subdivision.

UDC Section 8.204 requires 60 ft. of ROW and 43 ft. of back-to-back paving for multifamily subdivisions. The developer is proposing to dedicate 50 ft. of ROW and provide 40 ft. of back-to-back paving for this subdivision, 20% and approximately 7% reductions respectively. The developer is proposing to dedicate 10-15 utility easements along all street yards.

3. **Staff's Recommendation:** Staff recommends disapproval of all three variance requests and that the developer comply with all UDC requirements and engineering standards. No viable hardship or rationale for these variance requests has been established.

Variance #1: The proposed subdivision could be easily modified to provide lot widths as required by the UDC. Lot width standards make for more desirable developments by providing adequate space for parking, maneuvering, solid waste collection, emergency vehicle access, landscaping, air, light, sound dispersion, etc. The stated reason for this request is due to "property constraints." No such constraints are immediately evident.

Variance #2: The proposed subdivision could be easily modified to provide block lengths as required by the UDC. Excessive block lengths contribute to complications with access, traffic flow, and traffic speed. Traffic calming measures (speed humps, chicanes, island, raised pedestrian crossing, etc.) are recommended if this variance is approved.

Variance #3: The proposed reduction to street paving width would result in streets only three feet narrower than required by the UDC. However, the reduction to required ROW would require sidewalks be constructed over proposed utility easements. This would result in a subdivision where sidewalks have to be removed to access or service utility lines and then replaced afterwards.

Prepared By:
D. Austin Colina
Planner I

Approved By:
Kimberly Mendoza, MPA
Director of Planning and Zoning

Attachments:
Unified Development Code
Aerial Photo
Subdivision Plat
Cost Estimate

Sec. 3.303 Multi-Family

The following bulk standards apply to multi-family buildings that are not part of a planned development:

Table 3.303 Multi-Family Lot and Building Standards						
Zoning District	Minimum					Maximum
	Lot Area per Building (sf.)	Lot Width (ft.) ¹	Street Yard (ft.) ²	Side Yard total (ft.) ²	Rear Yard (ft.) ²	Height (ft.)
Auto-Urban Residential (AU)	10,000	100	20	12	20	40
Urban Residential (UR)	10,000	100	20	12	20	48
Urban University (UU)	15,000	100	20	12	20	60
Downtown (D)	10,000	100	20	12	20	72

¹ Along arterials, frontages in excess of the minimum lot width may be required. See [Division 9.400](#), *Access Management and Circulation*.

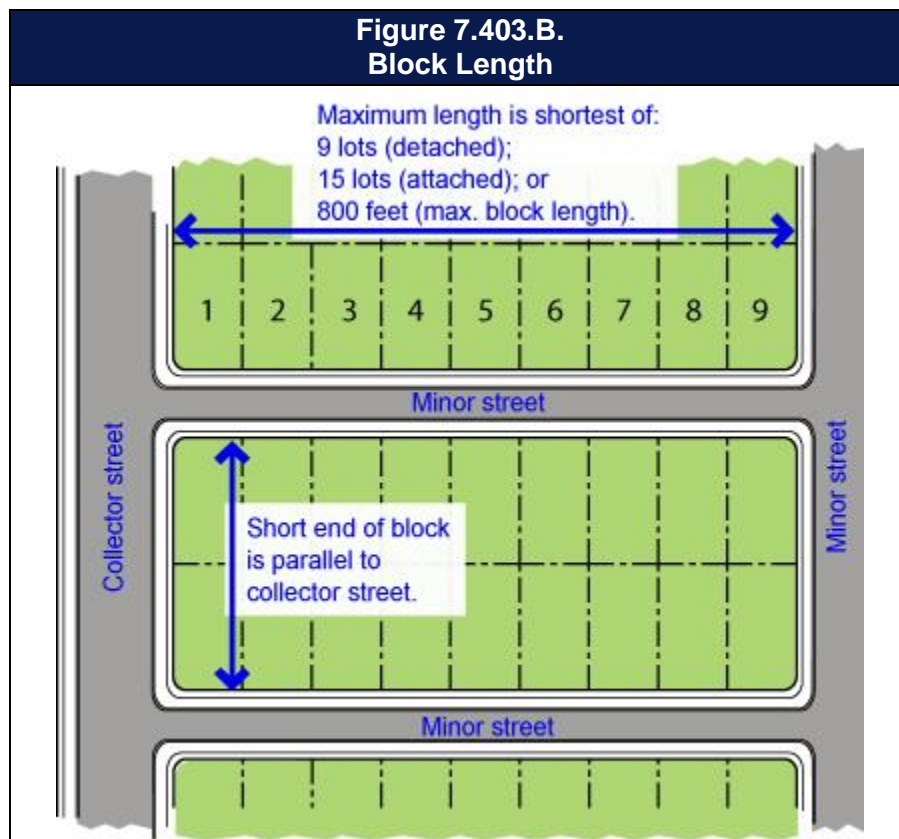
² If a larger bufferyard is required, the setback shall be the width of the bufferyard.

¹ Along arterials, frontages in excess of the minimum lot width may be required. See [Division 9.400](#), *Access Management and Circulation*.

² If a larger bufferyard is required, the setback shall be the width of the bufferyard.

Sec. 7.404 Blocks

- A. **Block pattern.** In general, streets shall be laid out to create blocks. Within any superblock created by arterials or collectors, the design objective is to provide an interconnected network of streets so that people may reach other locations within the superblock without having to access arterial or collector streets. See Figure 7.403.A., *Illustrative Block Pattern in Superblock to Create Connectivity*. If practicable, streets shall be arranged in a grid or comparable formal arrangement, and open spaces shall be integrated into the block design. Exceptions will be made for green spaces along drainage or stream channels or where other natural resources make a grid or comparable formal arrangement difficult or cost prohibitive.
- B. **Block Length.** Where possible, blocks shall be laid out to have their short length abutting arterials, collectors, or the development's major road. The blocks should not, in most instances, exceed nine lots in length on one side of the street, except for attached units on individual lots, which shall not exceed 15 lots (or, in the case of condominiums, cooperatives, or rental housing, 15-unit footprints plus required building side yards). See Figure 7.403.B., *Block Length*. **No block may exceed 800 feet in length.** The length, width, and shape of blocks should be determined with due regard to the provision of adequate sites for buildings of the type proposed, zoning requirements, fire access, emergency service, and police protection.

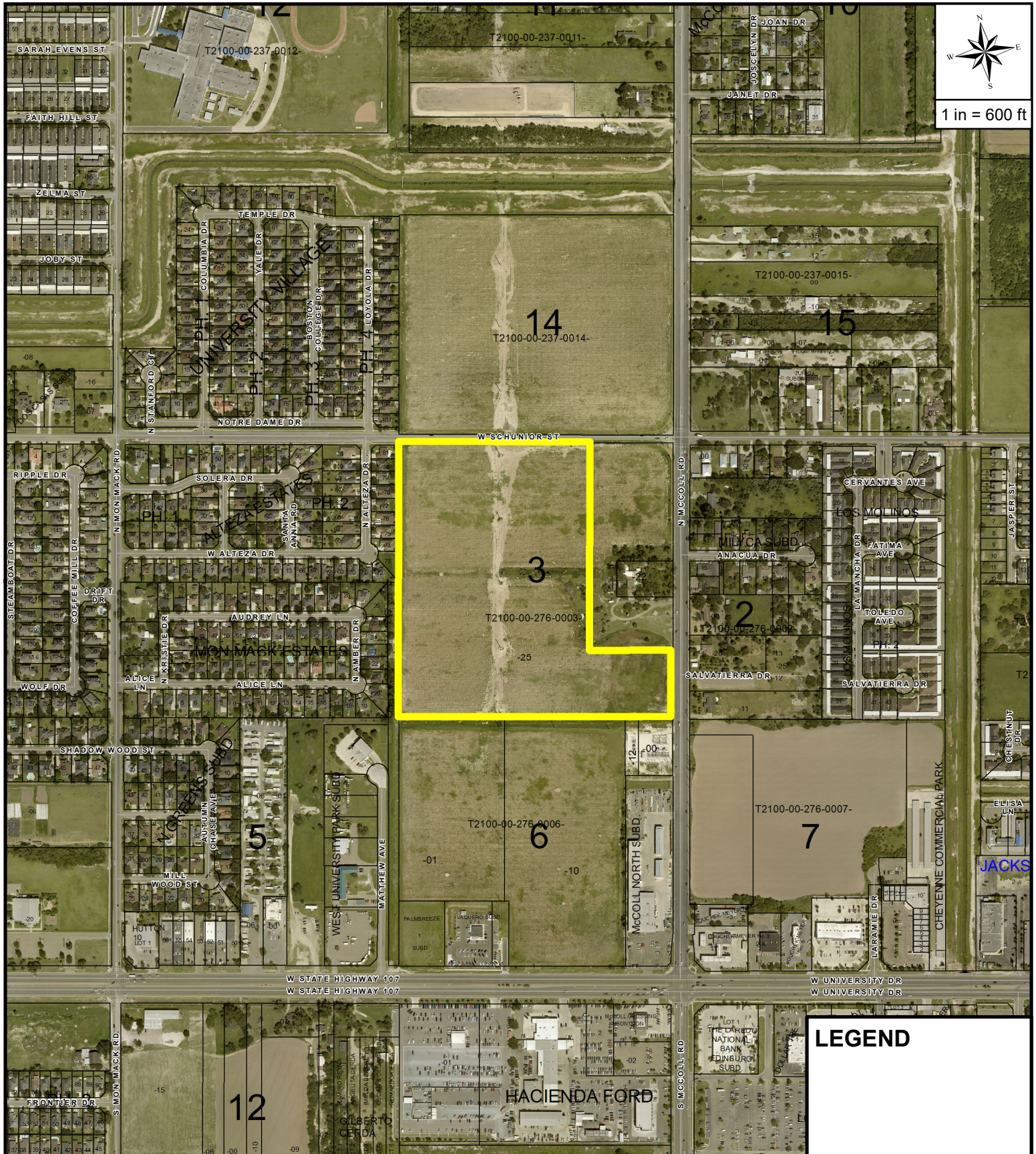


Sec. 8.204 Street Standards

- A. **Streets.** The standards in Table 8.204, *Street Standards*, shall govern all street construction, except with regard to State highways, which shall meet Texas Department of Transportation (TxDOT) specifications.

Table 8.204 Street Standards ¹		
Right-of-way Width	Paving Width ²	Paving Sections Escrow
50 ft. (w/5 ft. U.E.) Minor (60 ft. with street trees)	32 ft. B-B	8-inch Caliche 2-inch HMAC
60 ft. Residential Collector ³	43 ft. 2 lanes (+) 2 park (+) C&G ⁴	8-inch Caliche 2-inch HMAC
80 ft. Collector	57 ft. B-B 2 lanes (1 OL) (+) 2 park (+) C&G	10-inch Caliche 2-inch HMAC
100 ft. Minor Arterial	65 ft. B-B 5 lanes (1CL) (+) C&G	12-inch Caliche 3-inch HMAC
120 ft. Arterial	81 ft. B-B 5 lanes (1CL) (+) 2 park (+) C&G 1 side	12-inch Caliche 3-inch HMAC
¹ Source: City Standards Manual, Section II-3. ² Travel lanes are 12 ft. wide and parking lanes ("park") are 8 ft. wide. Continuous Left (CL) and Occasional Left (OL) lanes are 14 ft. wide. ³ Multi-family subdivisions shall be required to comply with residential collector street standards. ⁴ C&G means 1.5 ft. wide curb and gutter on each side of the street.		

- B. **Adjustments.** The City shall, where feasible, require the street's design to minimize the disturbance of natural resources, including floodplains. Where additional right-of-way is needed to obtain vertical curve, grade, clear sight triangles, turn lanes, or medians, the required right-of-way shall be adjusted to the extent necessary in accordance with local needs as determined by the Planning and Engineering Departments.
- C. **Half Streets Prohibited.** No half-streets shall be permitted in new subdivision plats.



AERIAL MAP

APPLICANT AND/OR SUBDIVISION:

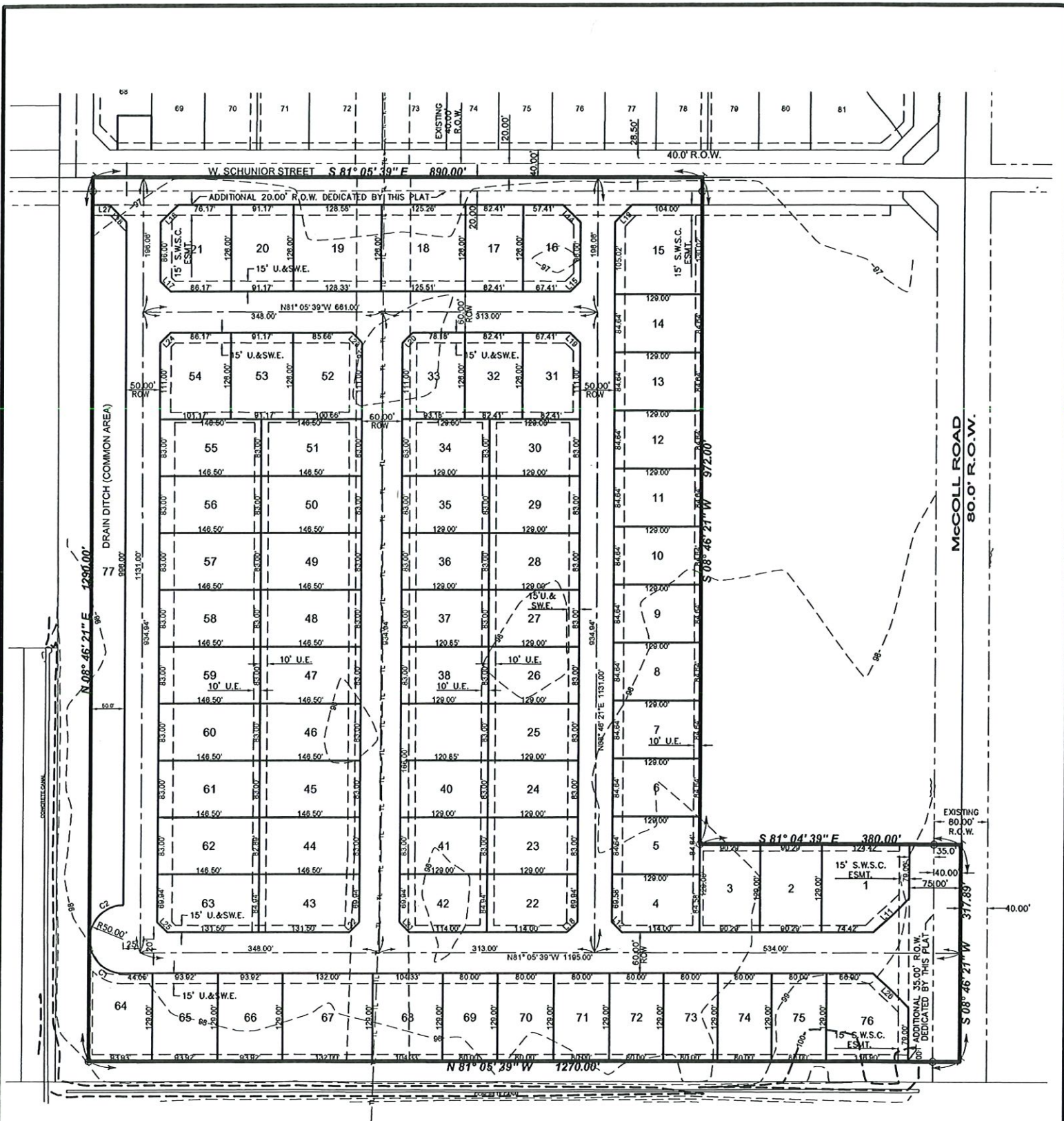
MELDEN AND HUNT INC

NORTH MCCOLL ESTATES

LEGEND

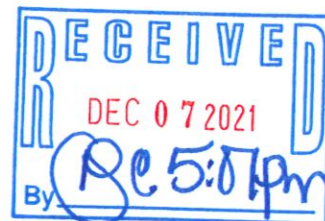
 SUBDIVISION SITE

 CITY LIMITS



SUBDIVISION MAP OF NORTH McCOLL ESTATES

BEING 29.130 ACRES
OUT OF LOT 3, SECTION 276
TEXAS-MEXICAN RAILWAY COMPANY'S SURVEY
VOLUME 1, PAGE 12 H.C.M.R.
CITY OF EDINBURG,
HIDALGO COUNTY, TEXAS





Case #

THE CITY OF
Edinburg

Planning & Zoning Department
415 W. University Drive
Edinburg, Texas 78539
(956) 388-8202

Subdivision Appeals / Variance Application

Submittal Date: 12/7/21

Legal Description:

Being a 29.130 acres out of Lot 3, Section 276 Texas-Mexican Railway Company's Survey

Variance Requested (Identify section of code for which variance is being requested):

3. Article 3 – District and Bulk Standards, Section 3.303 Multi-Family Lot and Building Standards – Square Footage

Reason for Request:

Property constraints for multi-family development

Marilyn K. Houts

Property Owner (Print legibly or type)

515 N. McColl Rd.

Address

Edinburg, Texas 78541

City, State, Zip

c/o (956) 381-0981

Telephone

c/o mario@meldenandhunt.com

Email address

(see attached owner's authorization)

Signature

\$450 Application Fee: _____

Received By: _____

Melden & Hunt, Inc. c/o Mario A. Reyna, P.E.

Applicant / Agent (Print legibly or type)

115 W. McIntyre Street

Address

Edinburg, Texas 78541

City, State, Zip

(956) 381-0981

Telephone

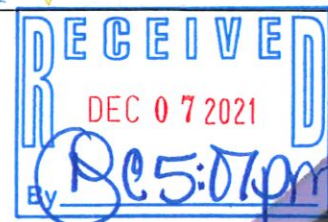
mario@meldenandhunt.com/lydia@meldenandh

Email address



Signature

Digitally signed by Mario A. Reyna
DN: CN = Mario A. Reyna email = mario@meldenandhunt.com
C = US O = Melden and Hunt Inc OU = PE
Date: 2021.12.07 13:27:14 -0600





Case #

THE CITY OF
Edinburg

Planning & Zoning Department
415 W. University Drive
Edinburg, Texas 78539
(956) 388-8202

Subdivision Appeals / Variance Application

Submittal Date: 12/7/21

Legal Description:

Being 29.130 acres out of Lot 3, Section 276 Texas-Mexican Railway Company's Survey

Variance Requested (Identify section of code for which variance is being requested):

2. Article 3 – District and Bulk Standards, Section 3.303 Multi-Family Lot and Building Standards – Lot Width

Reason for Request:

Property constraints for multi-family development

Marilyn K. Houts

Property Owner (Print legibly or type)

515 N. McColl Rd.

Address

Edinburg, Texas 78541

City, State, Zip

c/o (956) 381-0981

Telephone

c/o mario@meldenandhunt.com

Email address

(see attached owner's authorization)

Signature

\$450 Application Fee: _____

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Melden & Hunt, Inc. c/o Mario A. Reyna, P.E.

Applicant / Agent (Print legibly or type)

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Address

Edinburg, Texas 78541

City, State, Zip

(956) 381-0981

Telephone

mario@meldenandhunt.com/lydia@meldenandhu

Email address


Signature

Digitally signed by Mario A. Reyna
DN: CN = Mario A. Reyna email = mario@meldenandhunt.com
C = US O = Melden and Hunt Inc OU = PE
Date: 2021.12.07 13:10:17 -0600





Case #

THE CITY OF
Edinburg

Planning & Zoning Department
415 W. University Drive
Edinburg, Texas 78539
(956) 388-8202

Subdivision Appeals / Variance Application

Submittal Date: 12/7/21

Legal Description:

Being 29.130 acres out of Lot 3, Section 276 Texas-Mexican Railway Company's Survey

Variance Requested (Identify section of code for which variance is being requested):

1. Article 8 – Streets, Utilities and Drainage, Section 8.204 Street Standards – ROW Width

Reason for Request:

Property constraints for multi-family development

Marilyn K. Houts

Property Owner (Print legibly or type)

515 N. McColl Rd. Edinburg, Texas 78541

Address

Edinburg, Texas 78541

City, State, Zip

c/o (956) 381-0981

Telephone

c/o mario@meldenandhunt.com

Email address

(See attached Owner's Authorization)

Signature

\$450 Application Fee: _____

Received By: _____

Melden & Hunt, Inc. c/o Mario A. Reyna, P.E.

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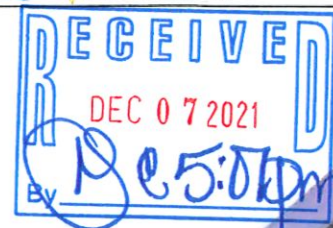
mario@meldenandhunt.com

Email address



Signature

Digitally signed by Mario A. Reyna
DN: CN = Mario A. Reyna, email = mario@meldenandhunt.com, C = US, O = Melden and Hunt Inc, OU = PE
Date: 2021.12.07 11:59:45 -0600



Planning and Zoning Commission

Attendance - 2021

			2021											
First Name	Last Name	Position	Jan	Feb	Mar	Apr	May	June	July	August	September	October	November	December
Joe	Ochoa	Chairperson	P	P	A	A	P	A	A	P	A	P	A	A
Hiren	Govind	Vice-Chair	P	A	A	P	P	P	A	P	P	P	A	P
Becky	Hessbrook-Garcia	Commissioner	A	P	P	A	P	A	P	A				
Carlos	Jasso	Commissioner	P	P	A	P	P	P	P	A				
Miki	McCarthy	Commissioner	P	A	P	P	P	A	P	P				
Jorge	Sotelo	Commissioner	P	P	P	P	P	P	A	P	P	P	P	P
Ruby	Casas	Commissioner	A	P	P	P	P	P	P	P	P	P	A	P
Jorge	Gonzalez	Commissioner									P	P	P	P
Victor	Daniec	Commissioner									P	P	P	A
Rene	Olivarez	Commissioner									P	P	P	P