

PLANNING AND ZONING COMMISSION REGULAR MEETING MARCH 14, 2023 - 05:30 PM CITY HALL-COUNCIL CHAMBERS 415 WEST UNIVERSITY DR. EDINBURG, TEXAS 78539

AGENDA

- 1. Call Meeting To Order, Establish Quorum
 - A. Prayer
 - B. Pledge of Allegiance
- 2. Certification of Public Notice
- 3. Disclosure of Conflict of Interest
- 4. Meeting Procedures

The following are the meeting procedures used by the Planning and Zoning Commission:

- A. All the items are generally considered as they appear on the agenda. As each item is introduced
- B. Staff will present its findings and recommendation on the item being considered.
- C. The party making the request may make a presentation and may address the Commission on any issues arising during the discussion of the item being considered
- D. Anyone in the audience desiring to speak in favor or in opposition may do so. A 3-5 Minute time limit will be given to each person interested in speaking on the item. The use of a spokesperson for large groups of people will be required.
- E. Once the Chair close the public hearing, the commission may question anyone and maintain any discussion which clarifies the proposal and will take what action it feel to be appropriate.

5. **PUBLIC COMMENTS**

A. If you would like to participate under public comments, you must submit a request beginning at 9:00 A.M. the day of the meeting by (a) sending an email to PublicHearing@cityofedinburg.com or (b) calling the Planning & Zoning Department at 956-388-8202. All request should include your name, address, and telephone number. We ask for everyone's cooperation in following this procedure.

6. **MINUTES**

A. Consider Approval of the Minutes for February 14, 2023

7. **PUBLIC HEARINGS**

- A. Consider the Rezoning Request from Residential, Primary (RP) District to Commercial, Neighborhood (CN) District, a one-acre tract of land out of the Southwest corner of Block Twenty-Six (26) of Kelly-Pharr Subdivision, located at 3902 South Sugar Road, as requested by Farmed Projects LLC
- B. Consider the Rezoning Request from Residential, Suburban (RS) District to Residential, Multifamily and Urban (RM) District, a 2.0 acre tract of land, more or less, being the East 2.00 acres of the West 2.68 acres of the South ½ of Lot 8, Section 244, Texas-Mexican Railway Company's Survey Subdivision, located at 501 East Rogers Road, as requested by Diana Ortiz on behalf of Hieh Nyugen
- C. Consider the Rezoning Request from Commercial, General (CG) District to Residential, Multifamily and Urban (RM) District, being the east 5.0 acre tract of land, out of Lot 15, Block 37, Santa Cruz Gardens Unit No. 2 Subdivision, located at 905 East Davis Road, as requested by Abakwa Partners LLC
- D. Consider the Rezoning Request from Commercial, Neighborhood (CN) District to Residential, Multifamily and Urban (RM) District, Lots A, B, C, D, and E, McColl Manor Subdivision, located at 2622, 2614, 2610, 2606, and 2602 North McColl Road, as requested by Mario A. Salinas, PE, on behalf of Yosvasq, LLC
- E. Consider the Rezoning Request from Commercial, Neighborhood (CN) District to Residential, Multifamily and Urban (RM) District, a 3.152 acre tract of land, more or less, out of Lot 3, Block 1, A.J. & McColl Subdivision, located at 2400 West Canton Road, as requested by SDI Engineering, LLC, on behalf of Raul Villarreal
- F. Consider the Rezoning Request from Industrial, General (IG) District to Commercial, General (CG) District, 6.252 acres out of Lot "G", Santa Cruz Ranch Subdivision, located at 101 East Monte Cristo Road, as requested by Melden & Hunt, Inc., on behalf Monte Cristo Plaza II LLC
- G. Consider the Rezoning Request from Agriculture and Open Space (AO) District to Residential, Multifamily and Urban (RM) District, a 18.623 acre tract being the south 19.52 acres of Lot 10, Section 244, Texas-Mexican Railway Company's Survey Subdivision, located at 2600 North Closner Boulevard, as requested by Vista Property Investments, LLC, on behalf of EIA Properties LTD

8. **CONSENT AGENDA**

- A. Consider the Preliminary Plat approval of AMIG Heights Subdivision, being a 3.24 acre tract of land out of Lot 27, Kelly-Pharr Subdivision, located at 408 West Wisconsin Road, as requested by HLG Plan Services
- B. Consider the Preliminary Plat approval of Las Fuentes Heights at Rincon Subdivision, being a 3.15 acre tract of land out of Lot 3, Block 1, A.J. McColl Subdivision, located at 2400 West Canton Road, as requested by SDI Engineering
- C. Consider the Preliminary Plat approval of Brownwood Subdivision Phase 3, being a 5.00 acre tract of land out of Lot 9, Section 233, Texas-Mexican Railway Company Survey Subdivision, located at 1205 Hoehn Road, as requested by HLG Plan Services

9. **OTHER BUSINESS**

A. Presentation, discussion, and possible action on proposed UDC changes.

10. **INFORMATION ONLY**

A. Attendance Roster

11. **ADJOURNMENT**

I hereby certify that this notice of meeting was posted in accordance with the Open Meetings Act, V.T.C.A., Government Code, Section 551.041, at the Edinburg City Hall Building, 415 West University Drive, Edinburg, Texas, visible and accessible to the general public after regular working hours, at 4:00 P.M. on Friday February 10, 2023.

Claudia Mariscal, Administrative Assistant

Vandra Marina

NOTICE

PERSONS WITH DISABILITIES WHO NEED TO COMMUNICATE MORE EFFECTIVELY WITH CITY OFFICIALS AND WHO MAY NEED AUXILIARY AIDS OR SERVICES SUCH AS INTERPRETERS FOR PERSONS WHO ARE DEAF OR HEARING IMPAIRED ARE REQUESTED TO CONTACT THE OFFICE OF THE CITY SECRETARY AT (956) 388-8204 THREE WORKING DAYS PRIOR TO ANY MEETING SO THAT APPROPRIATE ARRANGEMENTS CAN BE MADE.



PLANNING AND ZONING COMMISSION REGULAR MEETING FEBRUARY 14, 2023 - 5:30 P.M. CITY HALL-COUNCIL CHAMBERS 415 WEST UNIVERSITY DR. EDINBURG, TEXAS 78539

PRESENT:

CHAIRPERSON- JOE OCHOA
VICE CHAIRPERSON- JORGE SOTELO
COMMISSION MEMBERS:
JORGE GONZALEZ
RENE OLIVARES
VICTOR DANIEC
RUBY CASAS
ELIAS LONGORIA, JR.

MINUTES

- 1. Call Meeting To Order, Establish Quorum
 - A. Prayer Prayer was announced by Commission Member Ruby Casas
 - B. Pledge of Allegiance The Pledge of Allegiance was said.
- 2. Certification of Public Notice JAIME AYALA- FEBRUARY 10, 2022 AT 4:30P.M.
- 3. Disclosure of Conflict of Interest
- 4. Meeting Procedures

The following are the meeting procedures used by the Planning and Zoning Commission:

A. All the items are generally considered as they appear on the agenda, as each item is introduced.

- B. Staff will present its findings and recommendation on the item being considered.
- C. The party making the request may make a presentation and may address the Commission on any issues arising during the discussion of the item being considered.
- D. Anyone in the audience desiring to speak in favor or in opposition may do so. A 3-5 Minute time limit will be given to each person interested in speaking on the item. The use of a spokesperson for large groups of people will be required.
- E. Once the Chair close the public hearing, the commission may question anyone and maintain any discussion which clarifies the proposal and will take what action it feel to be appropriate.

5. **PUBLIC COMMENTS**

If you would like to participate under public comments, you must submit a request beginning at 9:00 a.m. the day of the meeting by (a) sending an email to Publichearing@cityofedinburg.com or (b) calling the planning & zoning Department at 956-388-8202. All request should include your name, address, and Telephone number. We ask for everyone's cooperation in following this procedure.

VICE CHAIRPERSON JORGE SOTELO JOINED THE MEETING

6. **MINUTES**

A. Consider approval of the Minutes for the January 10, 2022 Regular Meeting

MOTION WAS MADE BY COMMISSION MEMBER RUBY CASAS AND SECONDED BY COMMISSION MEMBER RENE OLIVAREZ TO APPROVE. MOTION WAS CARRIED UNANIMOUSLY WITH A VOTE OF 6-0.

7. **PUBLIC HEARINGS**

A. Consider the Rezoning Request from Commercial, General (CG) District to Residential, Multifamily and Urban (RM) District, a 15.25 acre tract of land being a part or portion of Lot 15, Section 270, Texas-Mexican Railway Company's Survey Subdivision, proposed Oakview Center Subdivision, located at 2300 South Interstate Highway 69C, as requested by Quintanilla, Headley & Associates, Inc. on behalf of Red Rock Real Estate Development Group, LTD

MR. ALFONSO QUINTANILLA PROJECT ENGINEER WAS PRESENT AND ADDRESSED THE BOARD. THERE WAS NO ONE PRESENT IN OPPOSITION OR IN FAVOR OF THE REZONING REQUEST.

AFTER THE BRIEF DISCUSSION A MOTION WAS MADE BY COMMISSION MEMBER ELIAS LONGORIA, JR. AND SECONDED BY COMMISSION MEMBER RUBY CASAS TO APPROVE, MOTION WAS CARRIED UNANIMOUSLY WITH A VOTE OF 6-0.

COMMISSION MEMBER VICTOR DANIEC JOINED THE MEETING

B. Consider the Rezoning Request from Agriculture and Open Space (AO) District to Residential, Primary (RP) District, being 8.555 acres out of Lot 9, Section 233, Texas-Mexican Railway Company's Survey Subdivision, proposed Oak Hill at Villanueva Estates Phase 2 Subdivision, located at 1201 North Hoehn Road, as requested by Melden & Hunt, Inc. on behalf of Villanueva Properties & Investments, LLC

THERE WAS NO ONE PRESENT IN OPPOSITION OR IN FAVOR OF THE REZONE REQUEST.

AFTER THE BRIEF DISCUSSION A MOTION WAS MADE BY VICE CHAIRPERSON JORGE SOTELO AND SECONDED BY COMMISSION MEMBER ELIAS LONGORIA, JR. TO APPROVE, MOTION WAS CARRIED UNANIMOUSLY WITH A VOTE OF 6-0. MR. VICTOR DANIEC ABSTAINED FROM VOTING ON THIS CASE.

C. Consider the Rezoning Request from Residential, Suburban (RS) District to Residential, Primary (RP) District, being 10.00 acres out of Lot 10, Section 233, Texas-Mexican Railway Company's Survey Subdivision, proposed Oak Hill at Villanueva Estates Phase 1 Subdivision, located at 1200 North Depot Road, as requested Melden & Hunt, Inc. on behalf of Villanueva Properties & Investments, LLC

THERE WAS NO ONE PRESENT IN OPPOSITION OR IN FAVOR OF THE REZONE REQUEST.

BEING NO DISCUSSION A MOTION WAS MADE BY COMMISSION MEMBER ELIAS LONGORIA, JR. TO APPROVE AND SECONDED BY COMMISSION MEMBER RUBY CASAS TO TAKE NO ACTION, MOTION WAS CARRIED UNANIMOUSLY WITH A VOTE OF 7-0.

8. <u>SUBDIVISION (VARIANCES)</u>

A. Consider Variance Request to the City's Unified Development Code Section 5.203(A) Right-of-Way Widths & Paving Width & Right-of-Way width for RICDEZ Subdivision, being a 5.0 acre tract out of land out of Lot 8, Section 250, Texas-Mexican Railway Company's Survey Subdivision, located at 5201 East Mile 17 North (Chapin St), as requested by Sames Engineering, on behalf of Ricardo Resendez.

COMMISSION MEMBER ELIAS LONGORIA, JR. ASKED STAFF WHY THE AMOUNT WENT UP SO MUCH AND MR. ADAM ELIZONDO FROM THE PLANNING AND ZONING DEPARTMENT EXPLAINED THAT THE CALCULATIONS FOR THE WIDENING OF THE STREETS WERE WRONG. MR. LUIS MENDEZ THE PROJECT ENGINEER WAS PRESENT AND STATED THAT THEY WERE WILLING TO ESCROW 25,000.00.

AFTER THE DISCUSSION MOTION WAS MADE BY COMMISSION MEMBER ELIAS LONGORIA, JR. AND SECONDED BY COMMISSION MEMBER VICTOR DANIEC TO APPROVE THE VARIANCE FOR THE DEVELOPER TO PAY THE 25,000.00. MOTION WAS CARRIED WITH A VOTE OF 5-2.

9. **CONSENT AGENDA**

A. Consider the Preliminary Staff Review for Gem Estates Subdivision, being a 26.35-acre tract out of Lot 3, Block 276, Texas-Mexican Railway Company's Survey Subdivision, Hidalgo County, Texas located at 3100 W. Schunior Road as requested by Melden & Hunt, Inc.

ITEMS 9A, 9B, 9C, 9D, AND 9E WERE VOTED ON ALTOGHER AND THERE WAS NO DISCUSSION.

APPROVED BASED ON STAFF'S RECOMMENDATION- LONGORIA/DANIEC 7-0

B. Consider the Preliminary Staff Review for Ebony Winds Subdivision, being a 66.30-acre tract out of Share "C" Plat of the original Share No. 5, Las Mestenas Grant Subdivision, out of J.M. De La Vinus Heirs, Hidalgo County, Texas located at 8501 East Mile 22 ½ Road as requested by Rio Delta Engineering, Inc.

ITEMS 9A, 9B, 9C, 9D, AND 9E WERE VOTED ON ALTOGHER AND THERE WAS NO DISCUSSION.

APPROVED BASED ON STAFF'S RECOMMENDATION- LONGORIA/DANIEC 7-0

C. Consider the Final Plat approval of Oak Hill At Villanueva Estates Phase I being a 10.002 acre tract of land out of Lot 10, Section 233, Texas-Mexican Railway Subdivision, located at 1900 East Depot Road, as requested by Melden & Hunt, Inc.

ITEMS 9A, 9B, 9C, 9D, AND 9E WERE VOTED ON ALTOGHER AND THERE WAS NO DISCUSSION.

APPROVED BASED ON STAFF'S RECOMMENDATION- LONGORIA/DANIEC 7-0

D. Consider the Final Plat approval of Monarca Estates Subdivision, being a 37.576 acre tract of land out of Lots 16, Block 53, Alamo Land & Sugar Company Subdivision, located at 6001 East Owassa Road, as requested by Melden & Hunt, Inc.

ITEMS 9A, 9B, 9C, 9D, AND 9E WERE VOTED ON ALTOGHER AND THERE WAS NO DISCUSSION.

APPROVED BASED ON STAFF'S RECOMMENDATION- LONGORIA/DANIEC 7-0

E. Consider the Final Plat approval of Sol Alegre Subdivision, being a 24.85 – acre tract of land out of Lots 3, 4, 5, & 6, Santa Cruz Gardens Subdivision Unit #2, located at 1000 East Ramseyer Road as requested by Melden & Hunt, Inc.

ITEMS 9A, 9B, 9C, 9D, AND 9E WERE VOTED ON ALTOGHER AND THERE WAS NO DISCUSSION.

APPROVED BASED ON STAFF'S RECOMMENDATION- LONGORIA/DANIEC 7-0

11. OTHER BUSINESS

A. Discussion on Upcoming Proposed UDC Revisions

12. INFORMATION ONLY

A. Attendance Roster

13. ADJOURNMENT

I hereby certify that this notice of meeting was posted in accordance with the Open Meetings Act, V.T.C.A., Government Code, Section 551.041, at the Edinburg City Hall Building, 415 West University Drive, Edinburg, Texas, visible and accessible to the general public during regular working hours, at 5:00 P.M. on Friday, February 10, 2023.

Claudía Maríscal

Claudia Mariscal, Planning Assistant Planning & Zoning Department

NOTICE

PERSONS WITH DISABILITIES WHO NEED TO COMMUNICATE MORE EFFECTIVELY WITH CITY OFFICIALS AND WHO MAY NEED AUXILIARY AIDS OR SERVICES SUCH AS INTERPRETERS FOR PERSONS WHO ARE DEAF OR HEARING IMPAIRED ARE REQUESTED TO CONTACT THE OFFICE OF THE CITY SECRETARY AT (956) 388-8204 THREE WORKING DAYS PRIOR TO ANY MEETING SO THAT APPROPRIATE ARRANGEMENTS CAN BE MADE.



City of Edinburg

PLANNING & ZONING COMMISSION

March 14, 2023

REZONING REQUEST

AGENDA ITEM:

Consider the Rezoning Request from Residential, Primary (RP) District to Commercial, Neighborhood (CN) District, a one-acre tract of land out of the Southwest corner of Block Twenty-Six (26) of Kelly-Pharr Subdivision, located at 3902 South Sugar Road, as requested by Farmed Projects LLC

DESCRIPTION / SCOPE:

The property is located on the southeast corner of the South Sugar Road and Eva Street, approximately 900 ft. south of West Wisconsin Road. The lot has 208.75 ft. of frontage on South Sugar Road and 208.75 ft. of depth for a total area of 1.00 gross acres. The lot is currently vacant. The requested zoning designation is the light commercial district, intended to provide small neighborhood shopping opportunities and services in areas that are largely residential in use. Permitted uses are smaller-scale commercial businesses that, while auto-urban commercial in nature, have buildings scaled to the surrounding residential area and more landscaping. The proposed use is for a commercial plaza at this location.

The property is currently zoned Residential, Primary (RP) District. Adjacent zoning is Commercial, Neighborhood (CN) District to the north, Agriculture and Open Space (AO) District to the south, Residential, Primary District to the east, and Commercial, Neighborhood (CN) and Residential, Primary (RP) Districts to the west. The future land use designation is for Auto-Urban Uses at this location.

Staff received a Zone Change Application for the subject property on January 17, 2023. The applicant indicated that the reason for the zone change is to build a commercial plaza.

Staff mailed a notice of the public hearing to 37 neighboring property owners on Thursday, March 2, 2023, and had received two comments in favor and none against this request at the time this report was prepared. Notice of this public hearing will be published in the newspaper on March 14, 2023.

STAFF RECOMMENDATION:

Staff recommends approval of the Rezoning Request from Residential, Primary (RP) District to Commercial, Neighborhood (CN) District based on adjacent zoning and land use. Commercial Neighborhood (CN) zoning exists to the north and west of the subject property, with existing light commercial uses. Location on South Sugar Road, a minor arterial street, is well suited for commercial uses. The proposed zoning is not in keeping with the Future Land Use Plan; however, this plan is arguably outdated for this area as South Sugar Road, a minor arterial street, is developing as a commercial corridor.

If approved, the applicant will need to comply with all requirements during the permitting process including compliance with subdivision regulations, building/ fire codes, fire protection, parking, landscape buffer-yards, solid waste services, utility, and other City requirements, as applicable.

Prepared by:

D. Austin Colina

Planner I

Reviewed by:

Jaime Acevedo, MPA

Director of Planning and Zoning

MEETING DATES: PLANNING & ZONING COMMISSION – 3/14/2023 CITY COUNCIL – 4/04/2023 DATE PREPARED – 3/06/2023

STAFF REPORT GENERAL INFORMATION

APPLICATION: Rezoning Request from Residential, Primary (RP) District to

Commercial, Neighborhood (CN) District

APPLICANT: Farmed Projects LLC

 $\mathbf{\underline{AGENT}}: \qquad \qquad \mathsf{N/A}$

LEGAL: A one-acre tract of land out of the Southwest corner of Block Twenty-

Six (26) of Kelly-Pharr Subdivision

LOCATION: 3902 South Sugar Road

LOT/TRACT SIZE: 1.00 acres

CURRENT USE: Vacant

PROPOSED USE: Neighborhood Commercial

EXISTING ZONING: Residential, Primary (RP) District

ADJACENT ZONING: North – Commercial, Neighborhood (CN)

South – Agriculture and Open Space (AO)

East – Residential, Primary (RP)

West - Commercial, Neighborhood (CN) and

Residential, Primary (RP)

LAND USE PLAN: Auto-Urban

PUBLIC SERVICES: City of Edinburg Water and Sewer

RECOMMENDATION: Staff recommends approval of the Rezoning Request from

Residential, Primary (RP) District to Commercial, Neighborhood

(CN) District.

REZONING REQUEST FARMED PROJECTS LLC

EVALUATION

The following is staff's evaluation of the request.

- 1. The land use pattern for this area of the community is a mix of single-family, light commercial, and vacant land. There are some nearby multifamily uses.
- 2. The proposed zoning exists to the north and west of the subject property.
- 3. The proposed light commercial use is congruous with uses to the north and west.
- 4. Commercial developments are appropriate for arterial streets such as South Sugar Road.
- 5. The proposed use is in keeping with the requested District and not likely to create conflict at this location.
- 6. The proposed zoning is not in keeping with the Future Land Use Plan.

Rezoning Request from Residential, Primary (RP) District to Commercial, Neighborhood (CN) District based on adjacent land uses and zoning to this location. The proposed use should not present a conflict with existing and expected future uses. Light commercial use is appropriate and desirable for location on an arterial street such as this one.

If approved, the applicant will need to comply with all requirements during the permitting process including compliance with subdivision regulations, building and fire codes, fire protection, parking, landscape buffer-yards, solid waste services, utility, and any other City requirements, as applicable.

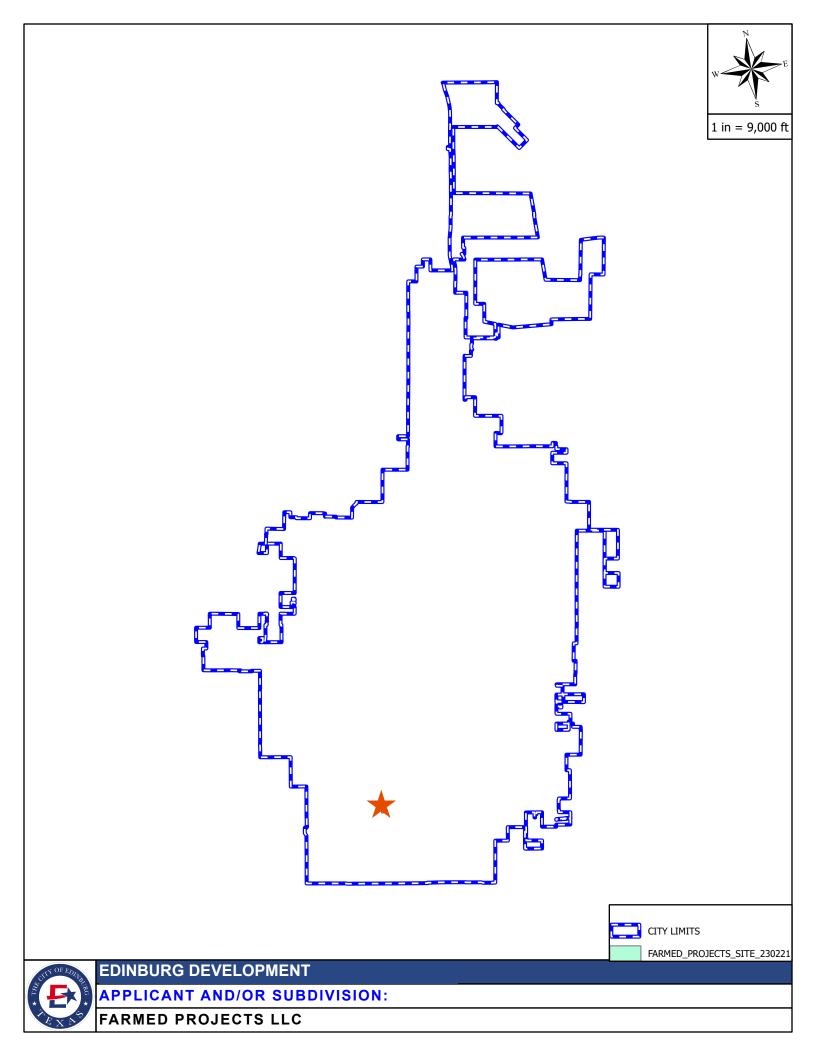
Staff mailed a notice of the public hearing to 37 neighboring property owners on Thursday, March 2, 2023, and had received two comments in favor and none against this request at the time this report was prepared. Notice of this public hearing will be published in the newspaper on March 14, 2023.

ATTACHMENTS: Aerial Photo

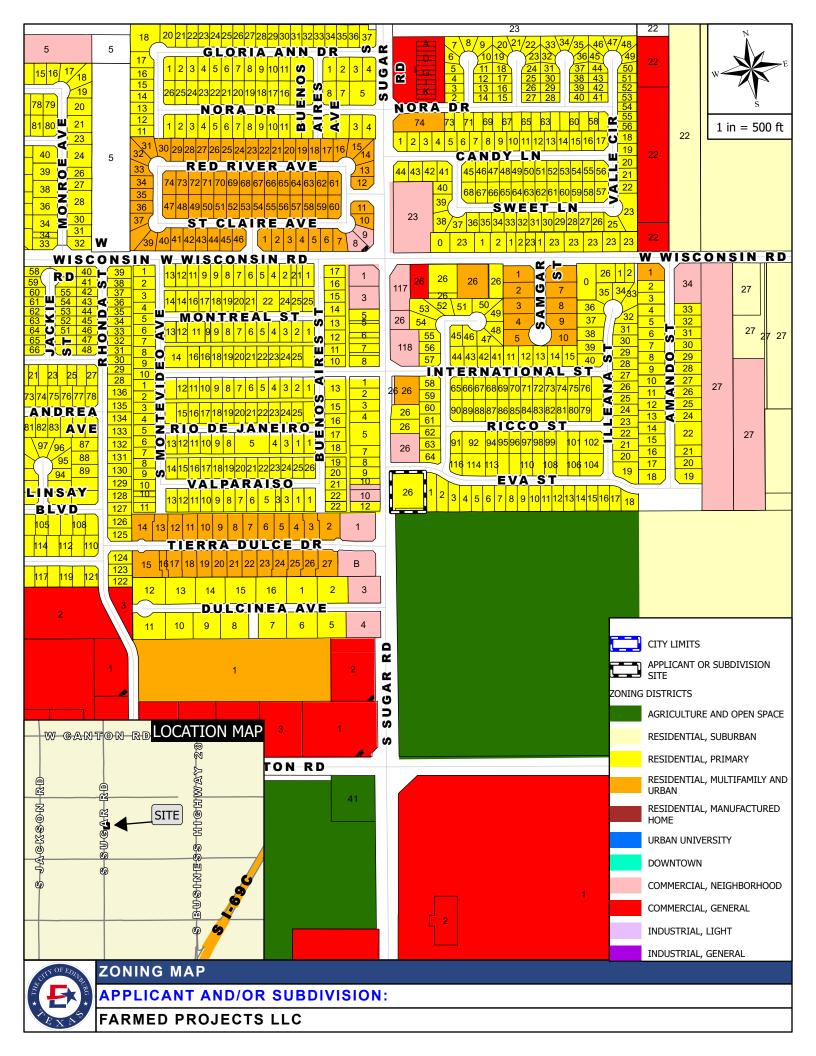
Site Map Zoning Map

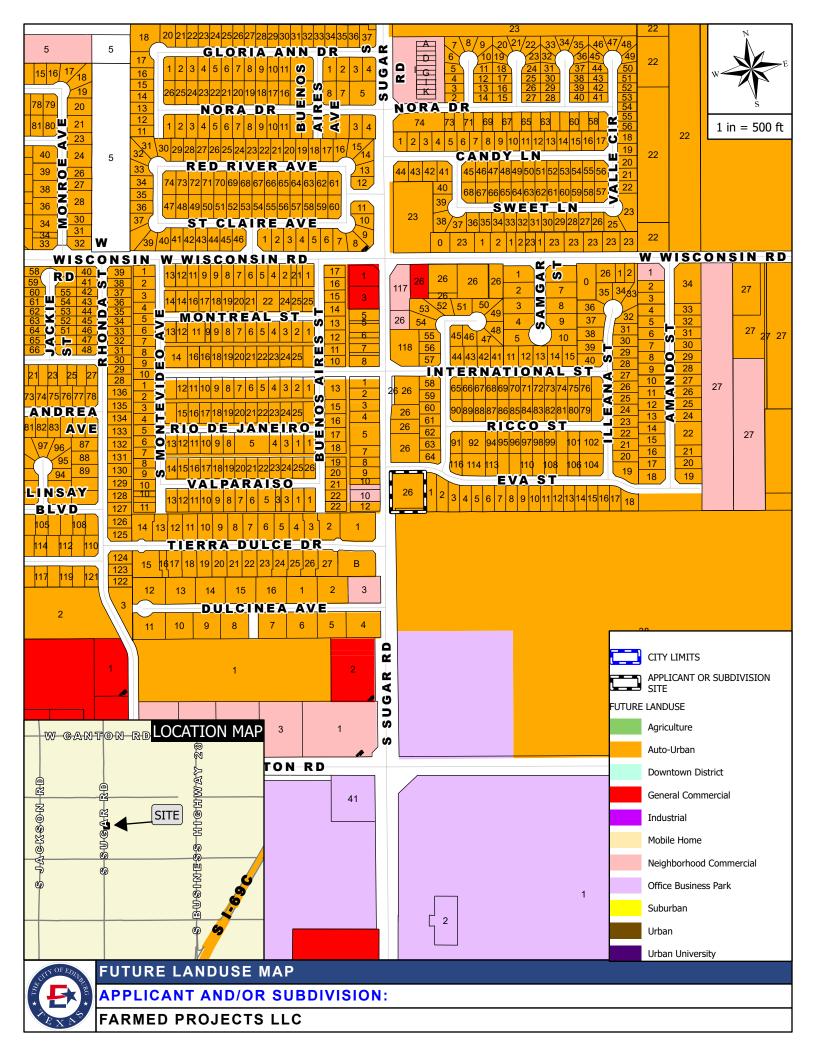
Future Land Use Map

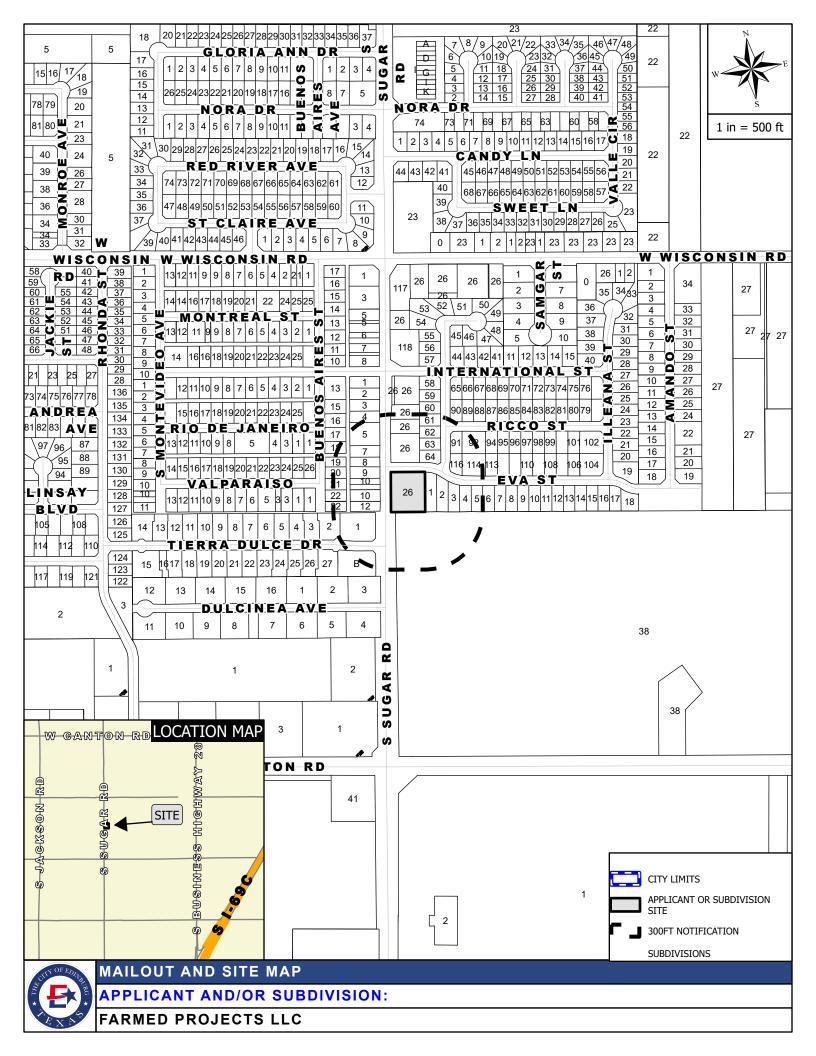
Photo of Site Exhibits











Planning & Zoning

415 West University Drive Edinburg, Texas 78539 (956) 388-8202



ENERGOV CASE # RZNE - 2023 - 010(e

Date: $1 - 17 - 20^{23}$	
1. Property Owner (required): Farmed Projects LLC	2. Phone: (210) 749-0974
3. Mailing Address: 5 Old Orchard Road	
4. City: McAllen State:	Zip: 78503
5. Owner's Email: ahmedsubhani@gmail.com	6. Cell No. (210) 749-0974
7. Agent (not owner):	8. Agent's Phone:
9. Agent's Mailing Address:	
10. City: State:	Zip:
11. Agent's Email:	
12. Address/Location being Rezoned: 3902 S Sugar Ro	ad, Edinburg TX 78539
13. Legal Description of Property: 14. Property: 15. KELLY PHARR TRACT S208.75'-W208.75' LOT	erty ID(s): 201819 26 1.0AC GR 0.81AC NET
15. Zone Change: From: RP RS - Residential, Suburban 16. Existing Land Use:	
17. Reason for Zone Change: Plan to build commerci Mohammed Subhani	
	nature JAN 1 7 2023
Application Fee \$400 RECEIPT NUMBER:	EWED BY: Name:
PUBLIC HEARING DATE (PLANNING & ZONING COMMISS	ION) - 5:30 PM: March 14.23
PUBLIC HEARING DATE (CITY COUNCIL) – 6:00 PM:	April 4.23
(NOTE: BOTH MEETINGS ARE HELD AT THE EDINBURG CI	TY COUNCIL CHAMBERS)

ZONING CASE OWNER NOTIFICATION LIST

HERNANDEZ MARIO F & MARIO JR

4305 LINDA VISTA ST

PHARR, TX 78577-9588

VASQUEZ PATRICIO JR 3721 S SUGAR RD

EDINBURG, TX 78539-9694

RENTERIA NICHOLE ROSE & ROLANDO J JR

3811 S SUGAR RD

EDINBURG, TX 78539-9690

HERNANDEZ ISRAEL 3808 BUENOS AIRES ST EDINBURG, TX 78539-7607

CINDO JUAN J

3804 BUENOS AIRES ST EDINBURG, TX 78539-7607

POWERS ADRIANA RODRIGUEZ

938 VISTA SERENA SAN ANTONIO, TX 78260

MARQUEZ VANESSA 5423 S NATOMA AVE CHICAGO, IL 60638-2411

SALINAS MARGARITA GUZMAN

PO BOX 3160

EDINBURG, TX 78540-3160

ESTIMBO CELIA

1708 RIO DE JANEIRO ST EDINBURG, TX 78539-7619

SANCHEZ ORLANDO & MARISELA

1429 EVA

EDINBURG, TX 78539-2179

TEJU CINIMOL & TEJU THOMAS

1422 RICCO ST

EDINBURG, TX 78539-2197

SAUCEDA NATALIE J A/K/A NATALIE J SANCHEZ &

ROGELIO SANCHEZ 1430 RICCO ST

EDINBURG, TX 78539-2197

ANZALDUA HECTOR D & ESMERALDA NUNEZ

1429 RICCO ST

EDINBURG, TX 78539-2178

1ST VALUE CAPITAL LLC 1505 PAMPLONA ST APT 1

PHARR, TX 78577

MUTH WILLIAM C 3819 S SUGAR RD

EDINBURG, TX 78539-9889

GUTIERREZ FELIX & SANDRA GARCIA

3735 BLANCA ST EDINBURG, TX 78539

GARZA JERRY LEE 1817 E ALBERTA RD

EDINBURG, TX 78542-2094

RIVERA SALVADOR M JR & MARIFE

3745 BIANCA

EDINBURG, TX 78539-2304

GONZALEZ TONY 3734 BIANCA

EDINBURG, TX 78539

ESCOBEDO HEATHER & DAVID

1408 EVA ST

EDINBURG, TX 78539-2179

PEQUENO RUBY J 4806 MAYA DR

SAN JUAN, TX 78589-5002

GARCIA DANIEL

3722 BUENOS AIRES ST EDINBURG, TX 78539-7605

LOPEZ RUDY JR & JANIE A

4831 E IOWA RD

EDINBURG, TX 78542-2702

ALMANZA GLORIA A & MARIA E GONZALEZ

1435 EVA ST

EDINBURG, TX 78539-2179

ZONING CASE OWNER NOTIFICATION LIST

GOMEZ CESAR H & MARTHA B 1424 EVA DR EDINBURG, TX 78539-2179 KRSKA ELLEN I ETAL 1713 S DILWORTH RD HARLINGEN, TX 78552-3866

MEDINA JORGE J 1432 EVA EDINBURG, TX 78539-2179

ROCHA CLAUDIA M 1330 EVA ST EDINBURG, TX 78539-2134

GARZA GUILLERMO JR 3812 BUENOS AIRES ST EDINBURG, TX 78539-7607

VPH INVESTMENTS LLC PO BOX 623 EDINBURG, TX 78540-0623

FLORES GLORIA D & THELMA BANDA 201 E LOVETT ST EDINBURG, TX 78541-3443

FARMED PROJECTS LLC 5 OLD ORCHARD RD MCALLEN, TX 78503

DAVALOS CARLOS KEITH 3712 S SUGAR RD EDINBURG, TX 78539

DIAZ EDWARD B 6613 N 24TH ST MCALLEN, TX 78504-4257

JAR GROUP INVESTMENTS LP 3907 S SUGAR RD EDINBURG, TX 78539-9888

YSQUIERDO ALVARO & SONIA ZAPATA 1416 EVA EDINBURG, TX 78539-2179

KRSKA ELLEN ET AL 1013 W TRENTON RD EDINBURG, TX 78539-3556



Dear Property Owner:

A public hearing will be held on Tuesday, March 14, 2023 at 5:30 P.M. in the Edinburg City Hall, City Council Chambers, located at 415 West University Drive, at which time the Planning and Zoning Commission will consider the following:

CONSIDER THE REZONING REQUEST FROM RESIDENTIAL, PRIMARY (RP) DISTRICT TO COMMERCIAL, NEIGHBORHOOD (CN) DISTRICT, A ONE-ACRE TRACT OF LAND OUT OF THE SOUTHWEST CORNER OF BLOCK TWENTY-SIX (26) OF KELLY-PHARR SUBDIVISION, LOCATED AT 3902 SOUTH SUGAR ROAD, AS REQUESTED BY FARMED PROJECTS LLC

The requested zoning designation is the light commercial district. It is intended to provide small neighborhood shopping opportunities and services in areas that are largely residential in use. The applicant is proposing a commercial plaza at this location.

This request is scheduled to be heard by the City Council on Tuesday, April 4, 2023 at 6:00 P.M. As a property owner within 300 ft. of the subject property, you are invited to attend. Please note that meeting time (s) and date (s) are subject to change. Therefore; please call on the date of the meeting to assure that the item is on the agenda. As part of the City effort to encourage greater participation in the rezoning process, the City is using this notice to solicit your input, but no action or response is required. Should you have any questions or need more information regarding this notice, you may call (956) 388-8202.

You may return your response by one of the following:

MAIL:

P. O. Box 1079 Edinburg, Texas 78540

FAX:

(956) 292-2080 by Monday, March 13, 2023

EMAIL: planning@cityofedinburg.com by Monday, March 13, 2023

Please place a checkmark on the appropriate box to indicate if you are in favor, against, or have no comments on this request. ☐ No Comments/No Comentario In Favor/A Favor ☐ Against/En Contra Comments: Print Name: Mohammed Subliani Phone No. 210-749-0974

Address: 501d Orchard City: McAllen State: TX Zip: 78503

NOTIFICACIÓN

Si tiene preguntas o necesita información sobre esta aplicación en español, por favor llame al 956-388-8202.

Planning and Zoning Department

City of Edinbura PO BOX 1079 Edinburg, TX 78540-1079



University Dr. (S.H.107)

8th Ave.



Dear Property Owner:

A public hearing will be held on <u>Tuesday, March 14, 2023 at 5:30 P.M.</u> in the Edinburg City Hall, City Council Chambers, located at 415 West University Drive, at which time the Planning and Zoning Commission will consider the following:

CONSIDER THE REZONING REQUEST FROM RESIDENTIAL, PRIMARY (RP) DISTRICT TO COMMERCIAL, NEIGHBORHOOD (CN) DISTRICT, A ONE-ACRE TRACT OF LAND OUT OF THE SOUTHWEST CORNER OF BLOCK TWENTY-SIX (26) OF KELLY-PHARR SUBDIVISION, LOCATED AT 3902 SOUTH SUGAR ROAD, AS REQUESTED BY FARMED PROJECTS LLC

The requested zoning designation is the light commercial district. It is intended to provide small neighborhood shopping opportunities and services in areas that are largely residential in use. The applicant is proposing a commercial plaza at this location.

This request is scheduled to be heard by the <u>City Council on Tuesday, April 4, 2023 at 6:00 P.M.</u> As a property owner within 300 ft. of the subject property, you are invited to attend. Please note that meeting time (s) and date (s) are subject to change. Therefore; please call on the date of the meeting to assure that the item is on the agenda. As part of the City effort to encourage greater participation in the rezoning process, <u>the City is using this notice to solicit your input, but no action or response is required</u>. Should you have any questions or need more information regarding this notice, you may call (956) 388-8202.

You may return your response by one of the following:

MAIL:

P. O. Box 1079 Edinburg, Texas 78540

FAX:

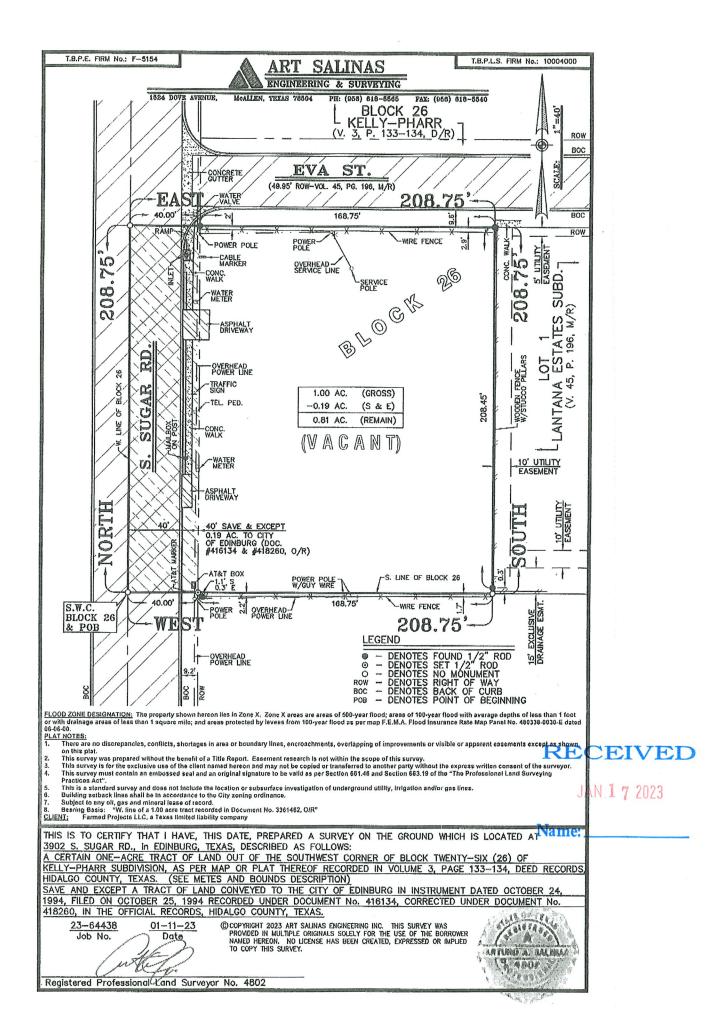
(956) 292-2080 by Monday, March 13, 2023

EMAIL:

planning@cityofedinburg.com by Monday, March 13, 2023

Please place a checkmark on the appropriate box to indicate if you are in favor, against, or have no comments on this request.

In Favor/A Favor	☐ Against/En Contra		nts/No Comentario
Comments: I'm IN	FANOR For	progress	I pespectfully
Request 3	speed Bumps	Be 125/11/1	ed on Eur Street.
	te increase of		
Print Name: Orlando	SANC 42	Phone No.	
Address: 1429 Fue	7	City: Edinburg	State: Zip:
	N	IOTIFICACIÓN	
Si tiene preguntas o necesit	a información sobre esta a	olicación en español, por fa	vor llame al 956-388-8202.
Planning and Zoning Depa City of Edinburg PO BOX 1079 Edinburg, TX 78540-1079	artment	EDINBURG CITY HALL 415 WEST UNIVERSITY DR	
	•		University Dr. (S.H.107)
DEG (MAR By Mai	E I W E D 0 6 2023 J 1 3:208.11.		8 th Ave.



SITE PLAN 3902 S Sugar Rd Edinburg, TX 78539 Parcel ID: K2400-00-000-0026-03 Eva St Lot area: 0.81 Acres scale 1"=30' centerline Paper Size: 11"x17" Property line Property line driveway PROPOSED 5 BUILDING S Sugar Rd driveway Property line Property line Created by: RECEIVED JAN 1 7 2023

Name: ____







City of Edinburg

PLANNING & ZONING COMMISSION

March 14, 2023

REZONING REQUEST

AGENDA ITEM:

Consider the Rezoning Request from Residential, Suburban (RS) District to Residential, Multifamily and Urban (RM) District, a 2.00 acre tract of land, more or less, being the East 2.00 acres of the West 2.68 acres of the South ½ of Lot 8, Section 244, Texas-Mexican Railway Company's Survey Subdivision, located at 501 East Rogers Road, as requested by Diana Ortiz on behalf of Hieh Nyugen

DESCRIPTION / SCOPE:

The property is located on the north side of East Rogers Road, approximately 1,280 ft. east of North Closner Boulevard. The property has 132 ft, of frontage on East Rogers Road and 640 ft. of depth for a total lot area of 2.00 gross acres. The lot is currently vacant. The requested zoning designation is the highest intensity residential district and allows for single and multifamily residential uses. The proposed use is for a multifamily development at this location.

The property is currently zoned Residential, Suburban (RS) District. Adjacent zoning is Residential, Suburban (RS) District in all directions. The lot is currently vacant. The future land use designation is for Auto-Urban Uses at this location.

Staff received a Zone Change Application for the subject property on January 25, 2023. The applicant indicated that the reason for the zone change for multifamily units.

Staff mailed a notice of the public hearing to 36 neighboring property owners on Thursday, March 2, 2023, and had received no comments in favor and one against this request at the time this report was prepared. Notice of this public hearing will be published in the newspaper on March 14, 2023.

STAFF RECOMMENDATION:

Staff recommends denial of the Rezoning Request from Residential, Suburban (RS) District to Residential, Multifamily and Urban (RM) District based on adjacent zoning, residential densities, and land use. The requested zoning is inconsistent with adjacent zoning. Adjacent land uses are all single-family detached residential on large lots. The proposed multifamily development is entirely out of character with adjacent land uses. The proposed zoning is not in keeping with the Future Land Use Plan.

If approved, the applicant will need to comply with all requirements during the permitting process including compliance with subdivision regulations, building/ fire codes, fire protection, parking, landscape buffer-yards, solid waste services, utility, and other City requirements, as applicable.

Prepared by:

D. Austin Colina

Planner I

Reviewed by:

Jaime Acevedo, MPA

Director of Planning and Zoning

MEETING DATES: PLANNING & ZONING COMMISSION – 3/14/2023 CITY COUNCIL – 4/04/2023 DATE PREPARED – 3/06/2023

STAFF REPORT GENERAL INFORMATION

APPLICATION: Rezoning Request from Residential, Suburban (RS) District to

Residential, Multifamily and Urban (RM) District

APPLICANT: Hieh Nyugen

AGENT: Diana Ortiz

LEGAL: A 2.00 acre tract of land, more or less, being the East 2.00 acres of

the West 2.68 acres of the South ½ of Lot 8, Section 244, Texas-

Mexican Railway Company's Survey Subdivision

LOCATION: 501 East Rogers Road

LOT/TRACT SIZE: 2.00 acres

CURRENT USE: Vacant

PROPOSED USE: Multifamily Residential

EXISTING ZONING: Residential, Suburban (RS) District

ADJACENT ZONING: North – Residential, Suburban (RS)

South – Residential, Suburban (RS) East – Residential, Suburban (RS) West – Residential, Suburban (RS)

LAND USE PLAN: Auto-Urban

PUBLIC SERVICES: North Alamo Water and City of Edinburg Sewer

RECOMMENDATION: Staff recommends denial of the Rezoning Request from Residential,

Suburban (RS) District to Residential, Multifamily and Urban (RM)

District.

REZONING REQUEST HIEH NYUGEN

EVALUATION

The following is staff's evaluation of the request.

- 1. The land use pattern for this area of the community consists of single-family residential and vacant land.
- 2. The proposed multifamily use is inconsistent with adjacent land uses.
- 3. Adjacent zoning is entirely Residential, Suburban (RS) District. The proposed zoning is Residential, Multifamily and Urban (RM) District. If approved, this would constitute spot zoning and should be avoided.
- 4. Adjacent property owners and the character of this area should be considered and protected.
- 5. Increased housing supply is needed in the community.
- 6. The proposed zoning is not in keeping with the Future Land Use Plan.

Staff recommends denial of the Rezoning Request from Residential, Suburban (RS) District to Residential, Multifamily and Urban (RM) District based on adjacent zoning and land uses. The existing and adjacent zoning is the lowest-density residential district. The requested zoning is the highest-density residential district and incongruous with adjacent zoning. Adjacent land uses are all suburban-style homes on large lots. The proposed development, based on the site plan submitted by the applicant, would be among the highest intensity residential uses in the City and is out of character with the adjacent lots and surrounding area for this location.

If approved, the applicant will need to comply with all requirements during the permitting process including compliance with subdivision regulations, building and fire codes, fire protection, parking, landscape buffer-yards, solid waste services, utility, and any other City requirements, as applicable.

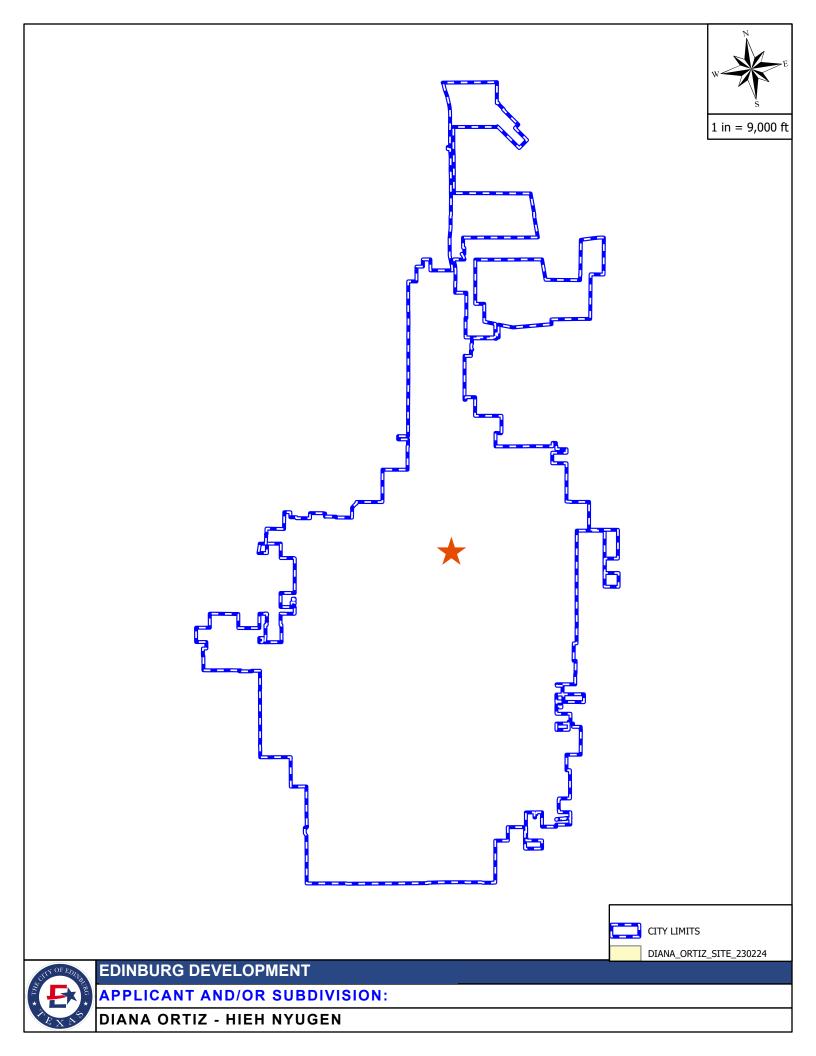
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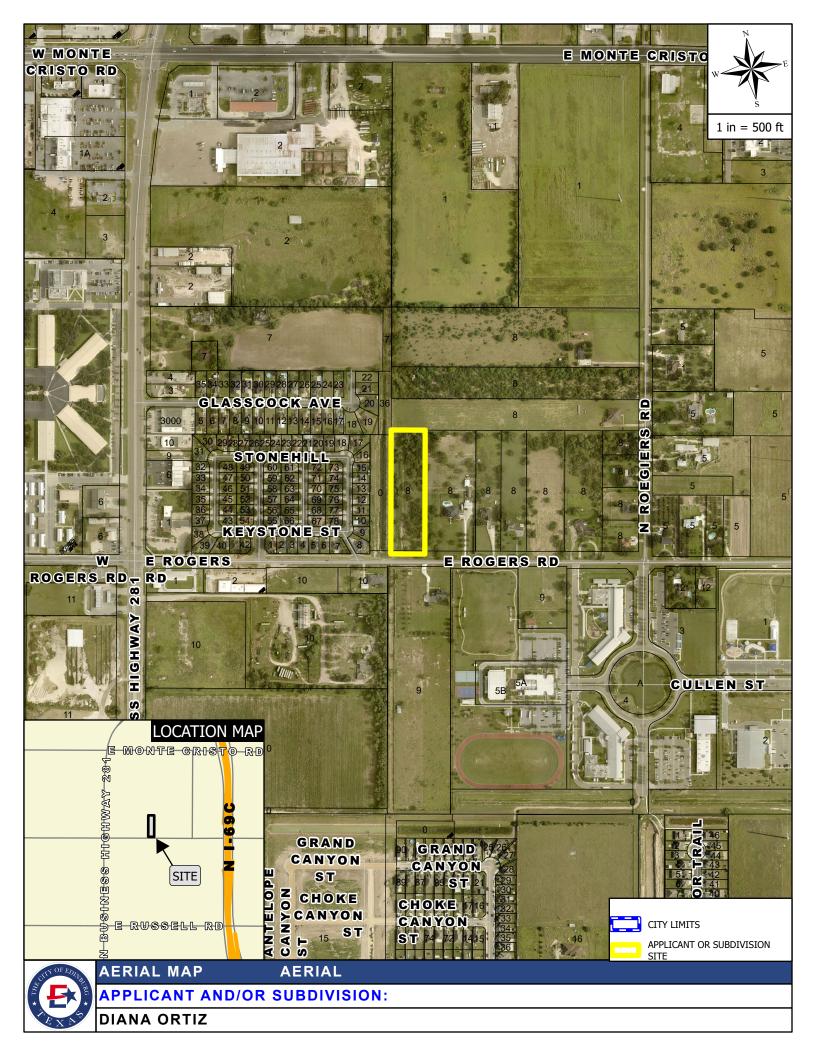
ATTACHMENTS: Aerial Photo

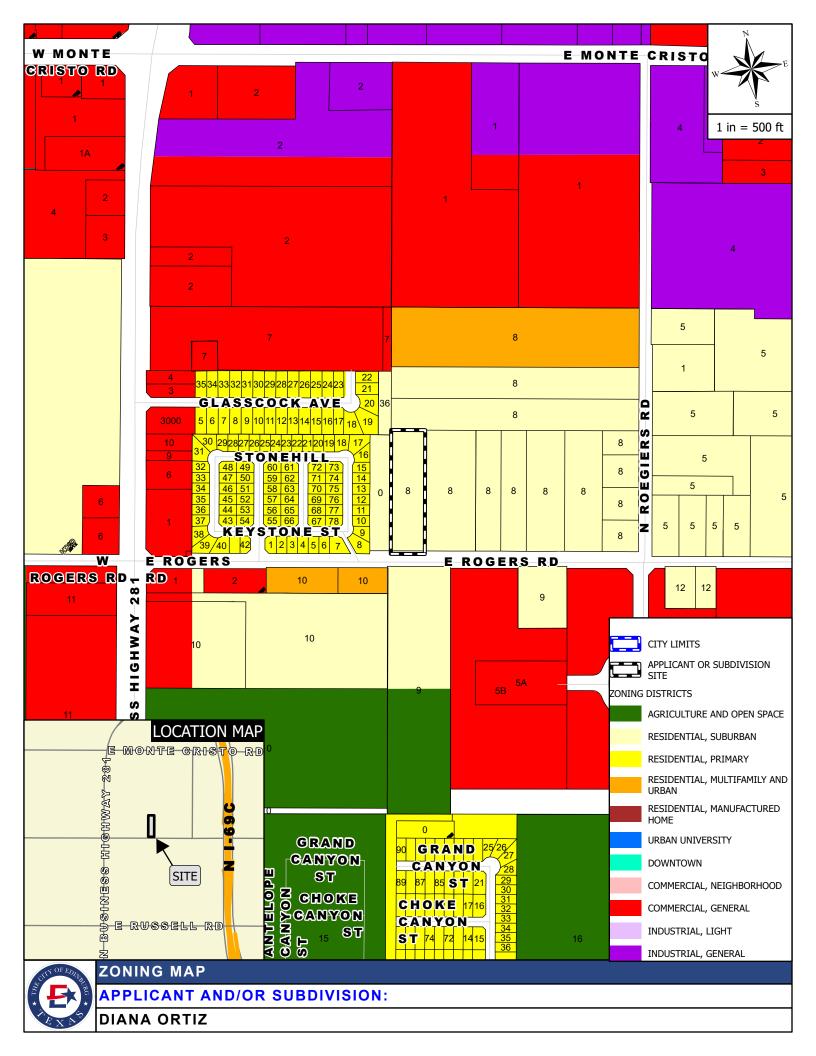
Site Map Zoning Map

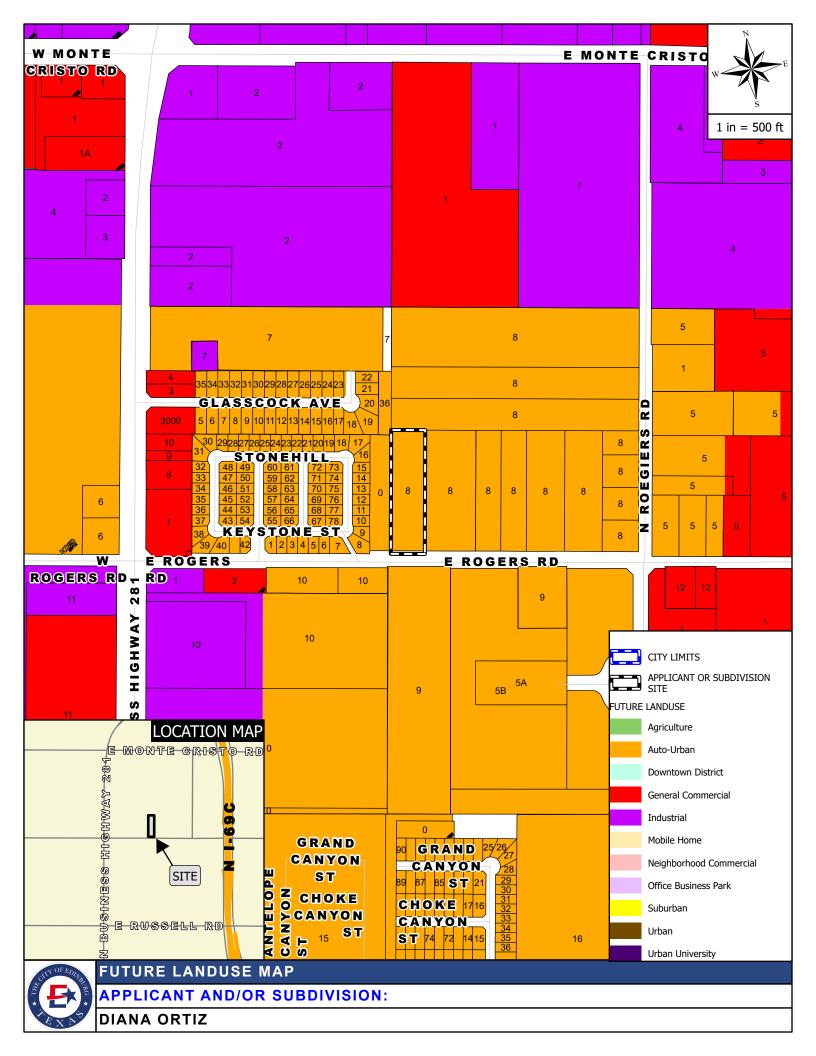
Future Land Use Map

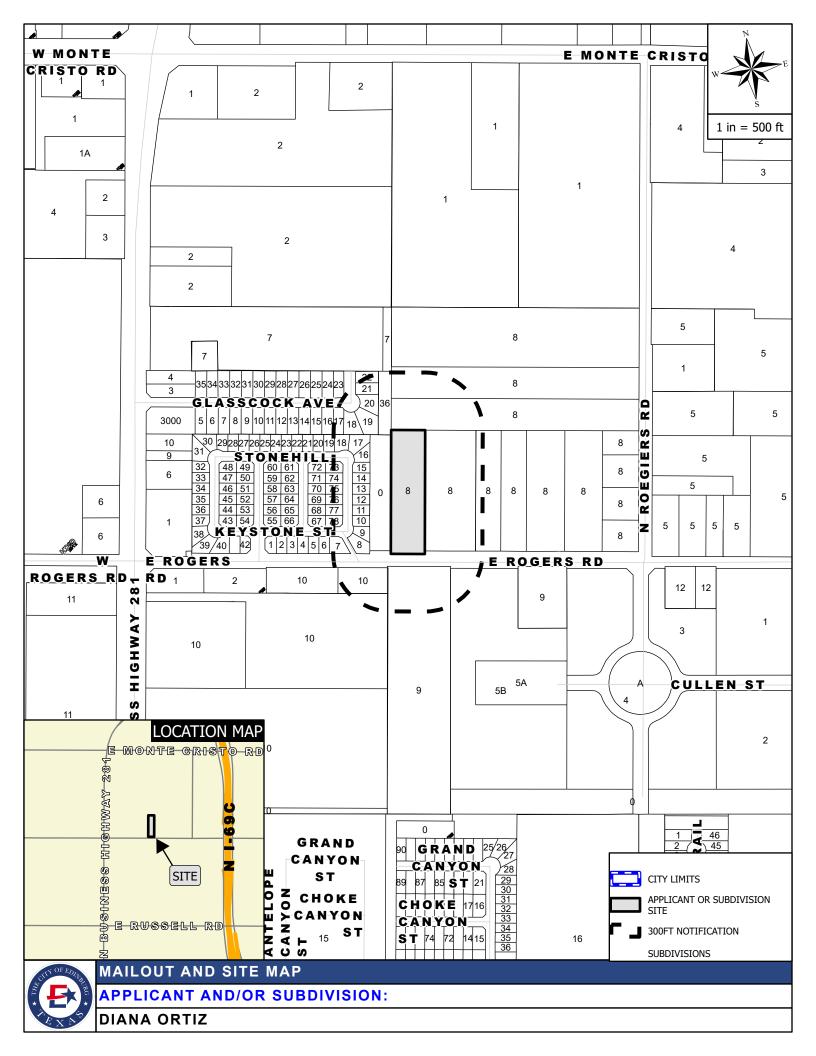
Photo of Site Exhibits











Planning & Zoning

415 West University Drive Edinburg, Texas 78539 (956) 388-8202



Zone Change Application ENERGOV CASE # RZNE-2023-0107
Date: 124 202 3
1. Property Owner (required): High Nyugen 2. Phone: 832-704-1315
3. Mailing Address: 801 Chayenne AVL
4. City: Phar State: Texas zip: 78577
5. Owner's Email: hierphungyuyen ogmiel (46. Cell No. 832-704-1315
7. Agent (not owner): Diana Ortiz 8. Agent's Phone: 970-878-5318
9. Agent's Mailing Address: 2575 F griffen Park Way Ste 14
10. City: Mission State: 12 Xas Zip: 78572
11. Agent's Email: dianapritiz real tor 4 @ gmail. Com
12. Address/Location being Rezoned: DO Rogers, Colinburg
13. Legal Description of Property: 14. Property ID(s): 29 58 10
* A . 200 Gove tract of land more or Less
being milean 2.40 Secres is the west a les acres
15. Zone Change: From: Will famely To: Mull famely
16. Existing Land Use: Vacant Property
17. Reason for Zone Change: Muli - family Units.
Hien Nguyen My
(Please Print Name) Signature RECEIVED
OFFICE USE ONLY JAN 2 5 2023
REVIEWED BY DATE RECEIVED 2-2-23 Name: Colina
*INCOMPLETE APPLICATIONS WILL NOT BE PROCESSED OR SCHEDULED EVEN IF PAYMENT IS MADE.

ZONING CASE OWNER NOTIFICATION LIST

LUBIN LORENA 422 E ROGERS RD

EDINBURG, TX 78541-7887

STEWART CHARLES W & MARIA DEL LOURDES

PO BOX 3598

MCALLEN, TX 78502-3598

OROCIO JORGE & KARINA

2708 S WARE RD

MCALLEN, TX 78503-8491

PENA MAYRA Y

719 ROYAL ST

EDINBURG, TX 78539-6367

LOPEZ JUAN M & DAITTRA M

615 E ROGERS RD

EDINBURG, TX 78541-8264

GAYTAN JOHNNY & YVETTE

3011 N ROEGIERS RD

EDINBURG, TX 78541-8628

BALDERAS VERONICA M

2922 STONEVIEW

EDINBURG, TX 78541-7404

SALINAS RICARDO V & SANDRA R

2910 STONEVIEW

EDINBURG, TX 78541-7404

GARCIA ERICA

338 KEYSTONE

EDINBURG, TX 78541-7935

MORENO JENNIFER

2826 STONEVIEW

EDINBURG, TX 78541-7403

BLANCO CYNTHIA ANN

2820 STONEVIEW

EDINBURG, TX 78541-7403

GONZALEZ AGUSTIN

2814 STONEVIEW

EDINBURG, TX 78541-7403

QUIROZ BLANCA L 2808 STONEVIEW

EDINBURG, TX 78541-7403

JIMENEZ ROSALVA T & JUAN F

1500 N CLOSNER BLVD

EDINBURG, TX 78541-3872

REYES ANITA

2813 STONEVIEW

EDINBURG, TX 78541-7446

ULLOA FRANCISCO JAVIER

2819 STONEVIEW

EDINBURG, TX 78541-7446

TAPIA JESUS

2916 STONEVIEW

EDINBURG, TX 78541-7404

ORTIZ ADELINA M

2904 STONEVIEW

EDINBURG, TX 78541-7404

MORALES DANIEL & YOLANDA Y

2802 STONEVIEW

EDINBURG, TX 78541-7403

CEPEDA JAVIER & ERNESTINA

333 STONEHILL

EDINBURG, TX 78541-6448

HERNANDEZ FEDERICO U & YADIRA MONTES

339 STONEHILL ST

EDINBURG, TX 78541-6448

MARTINEZ LORENA G & JOEL G CARRIZALES

2928 STONEVIEW

EDINBURG, TX 78541-7404

GONZALEZ JOSE S JR

2915 STONEVIEW DR

EDINBURG, TX 78541-7447

CHAVEZ JOSEPHINE

2909 STONEVIEW

EDINBURG, TX 78541-7447

ZONING CASE OWNER NOTIFICATION LIST

SORIANO MACARIO I PENA & IRMA VASQUEZ 2921 STONEVIEW ST EDINBURG, TX 78541-7447

BELTRAN RELMBELI AKA CONTRERAS & 410 GLASSCOCK EDINBURG, TX 78541-2587

ELIZONDO RAFAEL & BLANCA G 104 E WELLS ST EDINBURG, TX 78541-2566

ELIZONDO SILVANO RAFAEL 414 GLASSCOCK EDINBURG, TX 78541-2587

REYES-PAZ JOSE C 3016 STONEVIEW EDINBURG, TX 78541-8131

RAMIREZ JOSE A JR & PATRICIA 3020 STONEVIEW EDINBURG, TX 78541-8131

GARZA GABRIEL H 2026 E CANTON RD EDINBURG, TX 78542

RUSHMORE CONSTRUCTION INVESTMENT GROUP INC 810 STANFORD COURT EDINBURG, TX 78541-8534

SALAZAR JOSE & BERTA ALICIA 1821 W ROGERS RD EDINBURG, TX 78541

VENTO JAVIER 10620 CIBOLO DR EDINBURG, TX 78542-4251

FIRST NATIONAL BANK PO BOX 810 EDINBURG, TX 78540-0810

DILLARD WILLIAM SCOTT 4205 LEBANON LN EDINBURG, TX 78539-7748



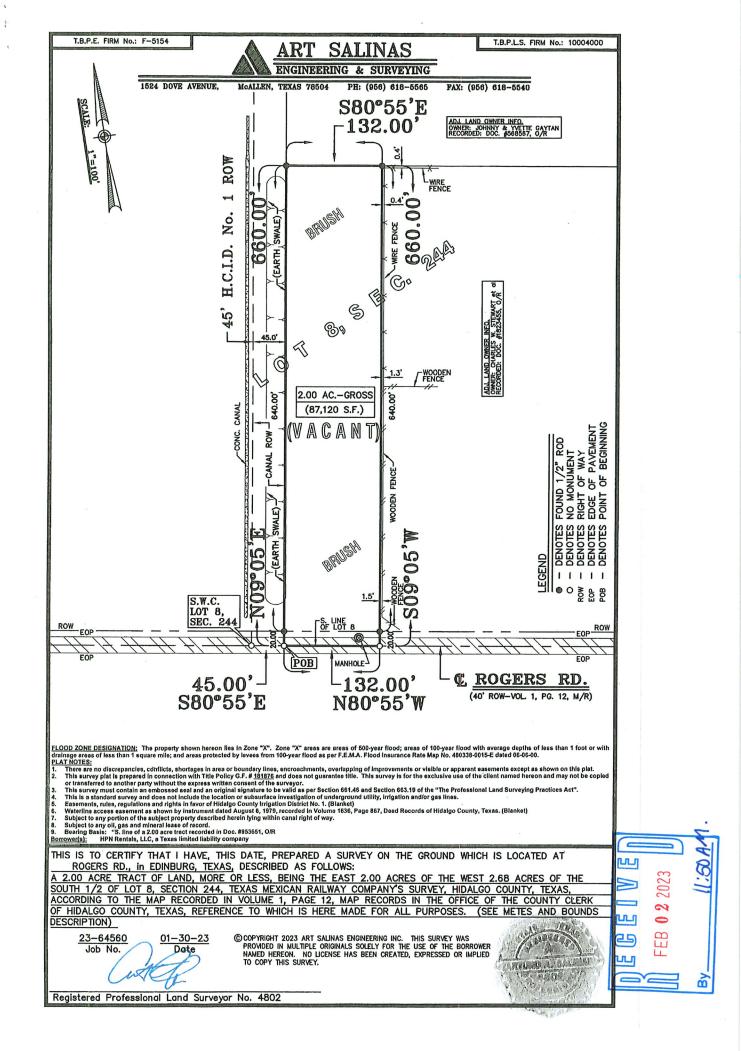
Rezoning 501 E Rogers

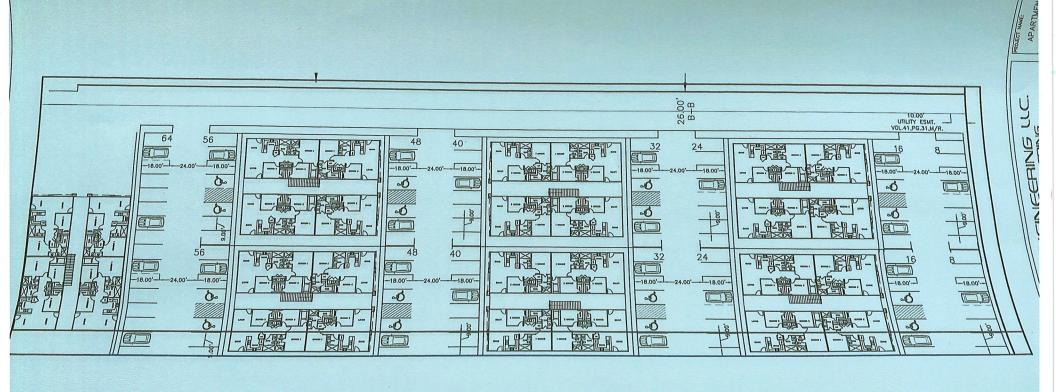
Jenifer Moreno <jen1981.jm@gmail.com> To: planning@cityofedinburg.com

Thu, Mar 9, 2023 at 1:50 PM

Please be advised that I am against the rezoning of this area.

Thank you, Jenifer Moreno





GE

FEB **02** 2023

2pm







City of Edinburg

PLANNING & ZONING COMMISSION

March 14, 2023

REZONING REQUEST

AGENDA ITEM:

Consider the Rezoning Request from Commercial, General (CG) District to Residential, Multifamily and Urban (RM) District, being the east 5.000 acre tract of land, out of Lot 15, Block 37, Santa Cruz Gardens Unit No. 2 Subdivision, located at 905 East Davis Road, as requested by Abakwa Partners LLC

DESCRIPTION / SCOPE:

The property is located on the north side of East Davis Road, approximately 1,850 ft. east of the North Interstate 69C Frontage Road. The property has 150 ft. of frontage on East Davis Road and 1,452 ft. of depth for a total lot area of 5.00 gross acres. There is a single-family detached residential structure on the property. The requested zoning designation is the highest intensity residential district and allows for single and multifamily residential uses on the subject property. The proposed use is for apartments at this location.

The property was rezoned from Agriculture (AG) District to Commercial, General (CG) on September 3, 2019. The proposed commercial uses from that time never materialized and have resulted in a nonconforming lot. Adjacent zoning is Agriculture and Open Space (AO) District to the north and west; Residential, Suburban (RS) and Residential, Primary (RP) Districts to the east; and Residential, Multifamily and Urban (RM) District to the south. The lot contains a single-family detached residential structure that has been abandoned for some time. The future land use designation at this location was changed from Auto-Urban Uses to Commercial Uses when the property was rezoned in 2019.

Staff received a Zone Change Application for the subject property on January 30, 2023. The applicant indicated that the reason for the zone change is for the development of an apartment complex. A site plan submitted by the applicant shows a high-density apartment complex with 150 units in 5 three-story residential buildings with 36 units each.

Staff mailed a notice of the public hearing to 18 neighboring property owners on Thursday, March 2, 2023, and had received no comments in favor and two against this request at the time this report was prepared. Notice of this public hearing will be published in the newspaper on March 14, 2023.

STAFF RECOMMENDATION:

Staff recommends denial of the Rezoning Request from Commercial, General (CG) District to Residential, Multifamily and Urban (RM) District based on adjacent zoning, residential densities, and land use. All adjacent land uses to the subject property are low-density single-family uses. The intended land use is high-density multifamily and inconsistent with all adjacent uses. The requested zoning is out of character with zoning in this area. Land to the south belongs to the City of Edinburg and ECISD and will be used for institutional developments. The proposed zoning is not in keeping with the Future Land Use Plan.

If approved, the applicant will need to comply with all requirements during the permitting process including compliance with subdivision regulations, building/ fire codes, fire protection, parking, landscape buffer-yards, solid waste services, utility, and other City requirements, as applicable.

Prepared by:

D. Austin Colina

Planner I

Reviewed by:

Jaime Acevedo, MPA

Director of Planning and Zoning

MEETING DATES: PLANNING & ZONING COMMISSION – 3/14/2023 CITY COUNCIL – 4/04/2023 DATE PREPARED – 3/06/2023

STAFF REPORT GENERAL INFORMATION

APPLICATION: Rezoning Request from Commercial, General (CG) District to

Residential, Multifamily and Urban (RM) District

APPLICANT: Abakwa Partners LLC

 $\overline{\mathbf{AGENT}}$: N/A

LEGAL: The east 5.000 acre tract of land, out of Lot 15, Block 37, Santa Cruz

Gardens Unit No. 2 Subdivision

LOCATION: 905 East Davis Road

LOT/TRACT SIZE: 5.00 acres

CURRENT USE: Single-family Residential

PROPOSED USE: Multifamily Residential

EXISTING ZONING: Commercial, General (CG) District

ADJACENT ZONING: North – Agriculture and Open Space (AO)

South – Residential, Multifamily and Urban (RM)

East – Residential, Suburban (RS) and Residential, Primary (RP)

West – Agriculture and Open Space (AO)

LAND USE PLAN: Commercial Uses

PUBLIC SERVICES: City of Edinburg Water and Sewer

RECOMMENDATION: Staff recommends denial of the Rezoning Request from Commercial,

General (CG) District to Residential, Multifamily and Urban (RM)

District.

REZONING REQUEST ABAKWA PARTNERS LLC

EVALUATION

The following is staff's evaluation of the request.

- 1. The land use pattern for this area of the community consists of low-density single-family residential with vacant land to the south.
- 2. The proposed multifamily use is inconsistent with adjacent land uses.
- 3. Proposed residential densities are out of character with adjacent land uses.
- 4. Adjacent property owners and the character of this area should be considered and protected.
- 5. Land to the south of this property, across East Davis Road, belongs to the City of Edinburg and will likely be the location of future institutional uses.
- 6. Increased housing supply is needed in the community.
- 7. The proposed zoning is not in keeping with the Future Land Use Plan.

Staff recommends denial of the Rezoning Request from Commercial, General (CG) District to Residential, Multifamily and Urban (RM) District based on adjacent land uses and residential densities. Adjacent land uses are low-density residential uses. The proposed development would be among the highest-density residential developments in the City and incongruous with adjacent uses. Adjacent land uses are all suburban-style homes on large lots. The proposed development is out of character with the adjacent uses and surrounding area for this location.

If approved, the applicant will need to comply with all requirements during the permitting process including compliance with subdivision regulations, building and fire codes, fire protection, parking, landscape buffer-yards, solid waste services, utility, and any other City requirements, as applicable.

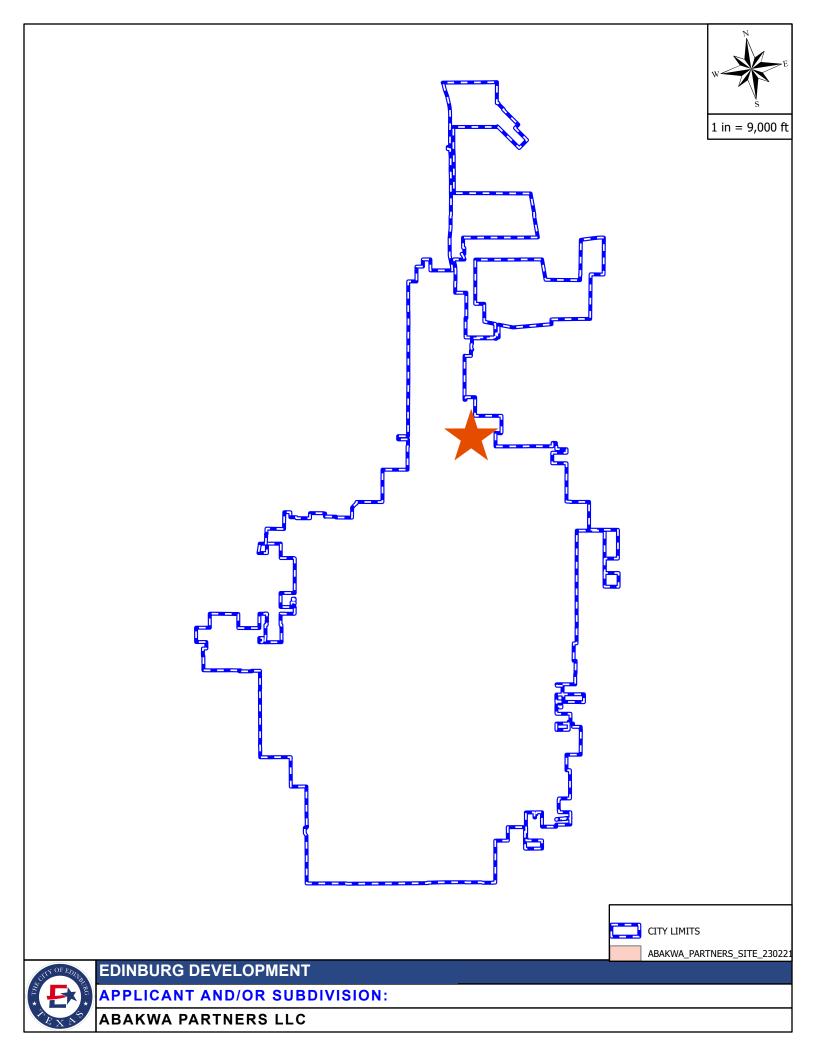
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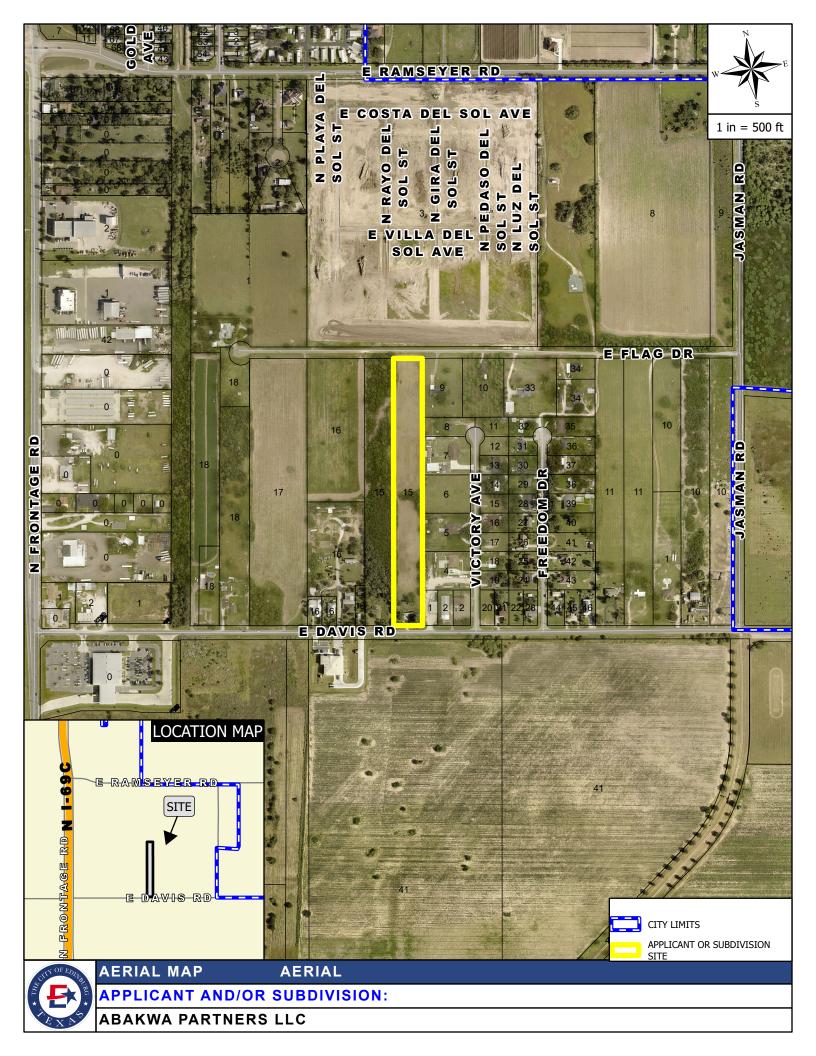
ATTACHMENTS: Aerial Photo

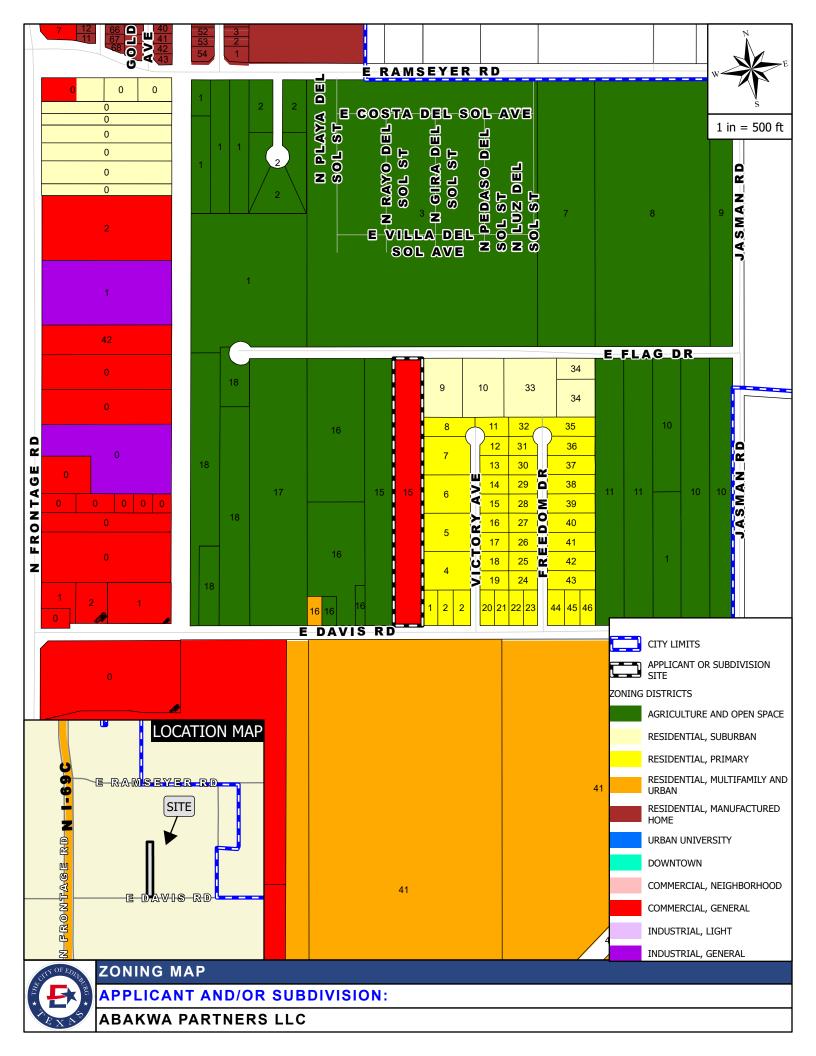
Site Map
Zoning Map

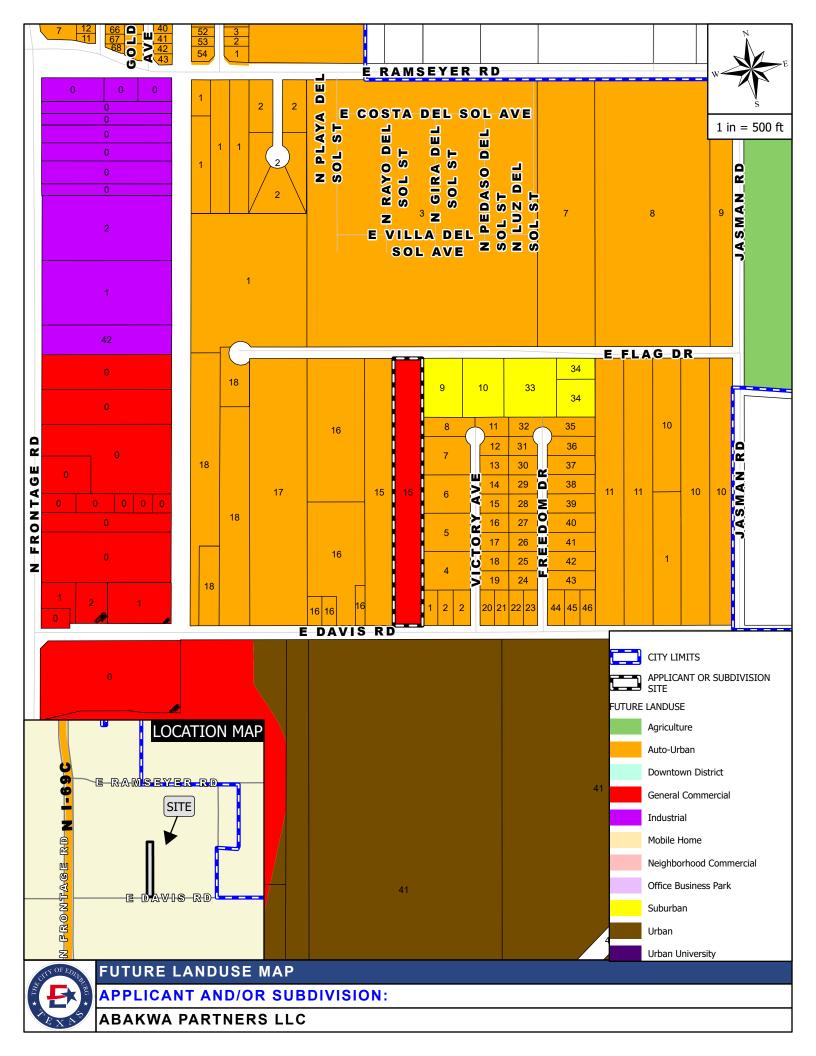
Future Land Use Map

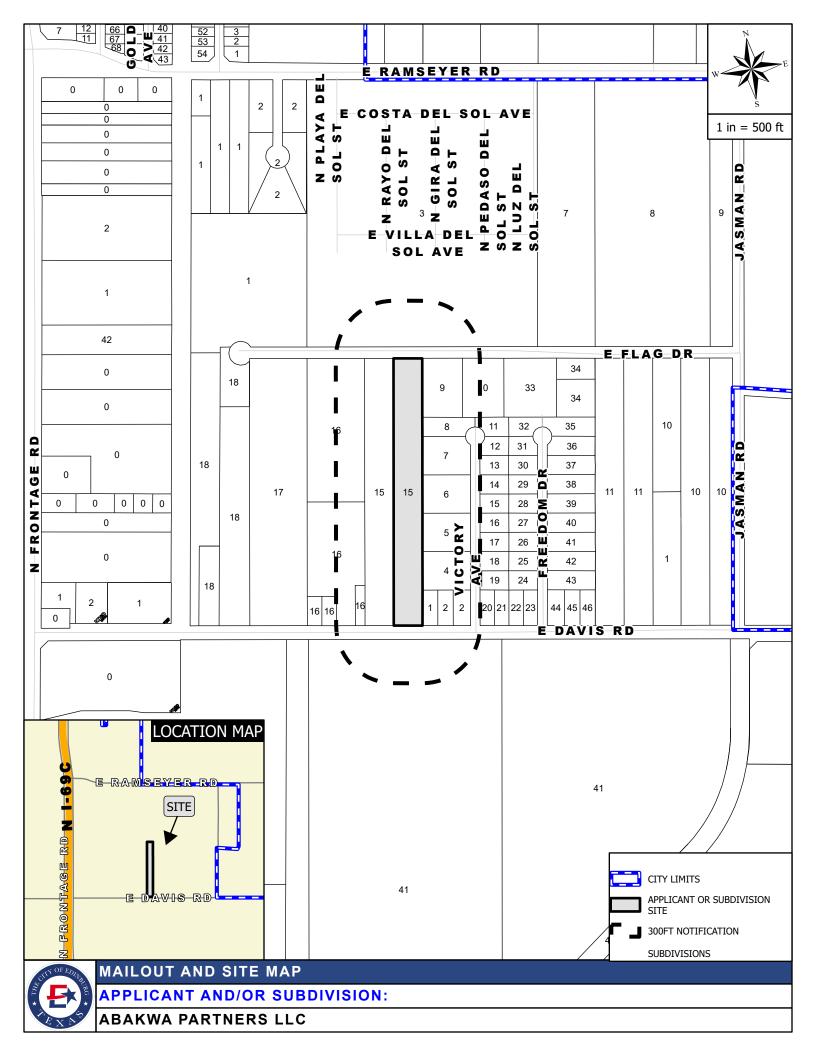
Photo of Site Exhibits











Planning & Zoning

415 West University Drive Edinburg, Texas 78539 (956) 388-8202



Zone Change Application

ENERGOV CASE #

RZNE-2023-0108

Da	ite:					
1.	1. Property Owner (required): Abakwa Partners LLC 2. Phone: (832) 341-1583					
3.	Mailing Address	9950 Westpark Drive,	Suite124.			
4.	City: Houston		State: Texas	, '	Zip: 77063	
5.	Owner's Email:	eric.tanifum@gmail.co	m	_ 6. Cell No.	(832) 341-1583	
7.	Agent (not owner)	: N/A	8	. Agent's Phor	ne:	
	Agent's Mailing A	NUA				
10.	City: N/A	S	state:		Zip:	
11.	Agent's Email:	N/A				
12.	Address/Location	being Rezoned: 905 E Da	vis Road, Edi	inburg Tx. 78	3542	
13. Legal Description of Property: 14. Property ID(s): 278486 BEING THE EAST 5.000 ACRE TRACT OF LAND, OUT OF LOT 15, BLOCK 37, SANTA CRUZ						
	GARDENS UNI	T No. 2 SUBDIVISION, A ALGO COUNTY, TEXAS		D IN VOL. 8,	PG. 28-29, MAP	
15. Zone Change: From: RP - Residential, Primary CG To: RM - Residential, Multifamily & Urba To: RM - RM						
	Existing Land Use				RECEIVED	
17.	Reason for Zone (Change: Develop proper	ty to apartme ∧	nt complex.	JAN 3 0 7323	
Dr	. Eric Tanifum			Fal.	Name: Colina	
(Ple	ease Print Name)		Signature) 00	Ivame:	
	lication Fee \$400 CEIPT NUMBER: _	RO1970090	REVIEWED	BY:	1.	
PUI	BLIC HEARING DAT	TE (PLANNING & ZONING C	OMMISSION) –	5:30 PM:	Narch. 14. 2023	
PUE	BLIC HEARING DAT	TE (CITY COUNCIL) – 6:00 PI	M:	April 4.	2023,	
(NC	OTE: BOTH MEETII	NGS ARE HELD AT THE EDIN	BURG CITY COL	JNCIL CHAMBI	ERS)	

ZONING CASE OWNER NOTIFICATION LIST

ABAKWA PARTNERS LLC 9950 WESTPARK DR STE 124 HOUSTON, TX 77063

BALDAZO ADELA 5411 VICTORY AVE EDINBURG, TX 78542-8691

CASAS ELIAS 801 E DAVIS RD EDINBURG, TX 78542-9685

CASAS ENRIQUE & JOSEFA S 801 E DAVIS RD EDINBURG, TX 78542-9685

E & S CHAPA INVESTMENTS LLC 2400 PALMHURST DR PALMHURST, TX 78573-8348

GALLARDO RICARDO & SIMON 704 W GORE AVE PHARR, TX 78577-5212

GOMEZ SAN JUANITA C 711 E DAVIS RD EDINBURG, TX 78542-9699

GONZALEZ MANUEL JR & GUADALUPE SAUCEDA 5303 VICTORY AVE EDINBURG, TX 78542-7535

GONZALEZ RUBEN ROBERTO 5204 N VICTORY AVE EDINBURG, TX 78542

IGLESIA CRISTIANA BETESDA 1005 E DAVIS RD EDINBURG, TX 78542-9683

MONTALVO SAMUEL III & MARIA 1922 MEADOW WAY DR MISSION, TX 78572-7728

ORTIZ REYNALDO & ARACELI 5304 VICTORY AVE EDINBURG, TX 78542-4065 RAMOS GILBERTO & THELMA PO BOX 2166 SAN JUAN, TX 78589-7166

RINES LUCY W PO BOX 273 EDINBURG, TX 78540-0273

TIJERINA PATRICIA ETAL 5202 VICTORY AVE EDINBURG, TX 78542-8690

VARGAS SILVESTRE JR & MARY 5201 VICTORY AVE EDINBURG, TX 78542-4070

VASQUEZ MARCO A ETAL 1104 FLAG DR EDINBURG, TX 78542

VILLARREAL RUBEN & MIRIAM 5409 VICTORY AVE EDINBURG, TX 78542



Rezoning protest

reyortiz <reyortiz@prodigy.net>
To: planning@cityofedinburg.com

Sun, Mar 5, 2023 at 9:50 PM

I, Reynaldo Ortiz current resident on the zone affected by the rezoning request from commecial to residential multifamily of the east 5.000 acre tract of land out of lot 15, block 37, Santa Cruz Gardens unit No. 2 subdivision, located at 905 East Davis Rd. hereby extend my notification to the city of Edinburg that I declare myself in total AGAINST such rezoning request.



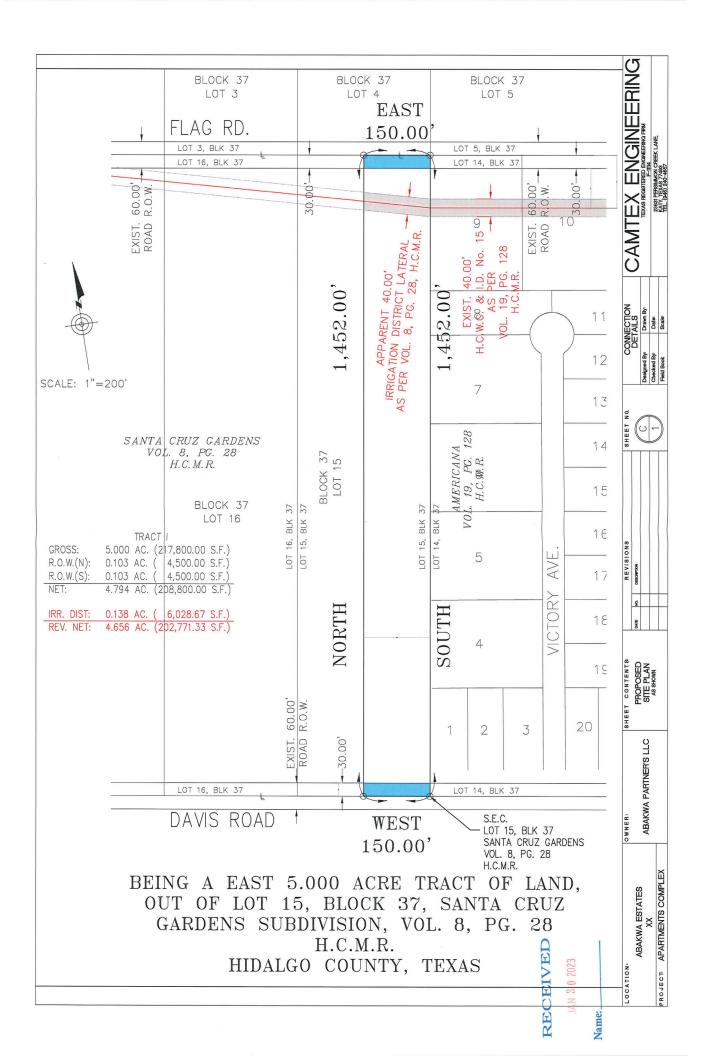


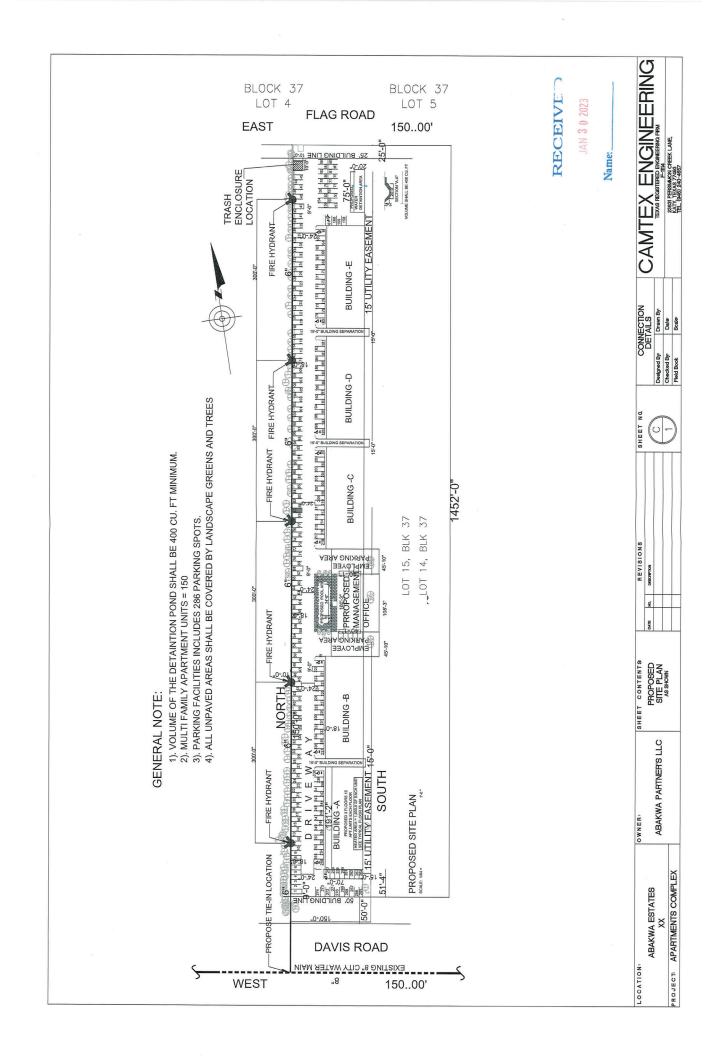
415 West University Drive Edinburg, Texas 78539 (956) 388-8202 https://cityofedinburg.com

Phone call from Jaynie Gomez (<u>jayniegomez@gmail.com</u>) was received with comments **AGAINST** this request on March 7, 2023, at 10:00 AM.

By: D. Austin Colina, Planner I













City of Edinburg

PLANNING & ZONING COMMISSION

March 14, 2023

REZONING REQUEST

AGENDA ITEM:

Consider the Rezoning Request from Commercial, Neighborhood (CN) District to Residential, Multifamily and Urban (RM) District, Lots A, B, C, D, and E, McColl Manor Subdivision, located at 2622, 2614, 2610, 2606, and 2602 North McColl Road, as requested by Mario A. Salinas, PE, on behalf of Yosvasq, LLC

DESCRIPTION / SCOPE:

The properties are located on the east side of North McColl Road at the intersections of McColl Road with Primrose Avenue and Larkspur Avenue. The properties are five lots in the McColl Manor Subdivision and are currently vacant. The requested zoning designation is the highest intensity residential district and allows for single and multifamily residential uses on the subject property. The proposed use is for multiplexes on these lots.

The property is currently zoned Commercial, Neighborhood (CN) District. Adjacent zoning is Residential, Suburban (RS) District to the north, south, and west, and Residential, Multifamily and Urban (RM) District to the east. The future land use designation is for Commercial Uses.

The original intent for this subdivision was to have commercial developments along North McColl Road. The intent is now to have an expansion of the multifamily uses existing to the east of these locations. Staff received a Zone Change Application for the subject property on February 7, 2023. The applicant indicated that the reason for the zone change is to allow for multifamily development to extend to these locations. No site plans for these lots have been received.

Staff mailed a notice of the public hearing to 35 neighboring property owners on Thursday, March 2, 2023, and had received no comments in favor or against this request at the time this report was prepared. Notice of this public hearing will be published in the newspaper on March 14, 2023.

STAFF RECOMMENDATION:

Staff recommends approval of the Rezoning Request from Rezoning Request from Commercial, Neighborhood (CN) District to Residential, Multifamily and Urban (RM) District based on adjacent zoning and land use to the west. An extension of the existing multifamily residential uses and zoning should not present a conflict or compromise the character of this subdivision. Any residential development on these lots must take access from adjacent minor streets to comply with UDC requirements; Lots B and E would have to take . The proposed zoning, however, is not in keeping with the Future Land Use Plan.

If approved, the applicant will need to comply with all requirements during the permitting process including compliance with subdivision regulations, building/ fire codes, fire protection, parking, landscape buffer-yards, solid waste services, utility, and other City requirements, as applicable.

Prepared by:

D. Austin Colina

Planner I

Reviewed by:

Jaime Acevedo, MPA
Director of Planning and Zoning

MEETING DATES: PLANNING & ZONING COMMISSION – 3/14/2023 CITY COUNCIL – 4/04/2023 DATE PREPARED – 3/06/2023

STAFF REPORT GENERAL INFORMATION

APPLICATION: Rezoning Request from Commercial, Neighborhood (CN) District to

Residential, Multifamily and Urban (RM) District

APPLICANT: Yosvasq, LLC

AGENT: Mario A. Salinas, PE (MAS Engineering)

LEGAL: Lots A, B, C, D, and E, McColl Manor Subdivision

LOCATION: 2622, 2614, 2610, 2606, and 2602 North McColl Road

LOT/TRACT SIZE: 9,668.10 sf, 8,125.00 sf, 9,062.50 sf, 9,287.50 sf, 7,200.00 sf

(43,343.10 sf total)

CURRENT USE: Vacant

PROPOSED USE: Multifamily Residential

EXISTING ZONING: Commercial, Neighborhood (CN) District

ADJACENT ZONING: North – Residential, Suburban (RS)

South – Residential, Suburban (RS)

East – Residential, Multifamily and Urban (RM)

West – Residential, Suburban (RS)

LAND USE PLAN: Commercial Uses

PUBLIC SERVICES: Sharyland WSC Water and City of Edinburg Sewer

RECOMMENDATION: Staff recommends approval of the Rezoning Request from

Commercial, Neighborhood (CN) District to Residential,

Multifamily and Urban (RM) District.

REZONING REQUEST YOSVASQ, LLC

EVALUATION

The following is staff's evaluation of the request.

- 1. Original plans for this subdivision intended commercial uses on North McColl Road, but developed never occurred, and lots are vacant.
- 2. The proposed multifamily use is consistent with adjacent land uses in this subdivision.
- 3. Proposed land use should not present a conflict or change the character of the neighborhood.
- 4. Residential access on McColl Road, a high-speed principal arterial street, would be prohibited by the UDC for these lots if rezoning is approved. Residential development on the subject property would be limited to access from Larkspur or Primrose Avenues.
- 5. Increased housing supply is needed in the community.
- 6. The proposed zoning is not in keeping with the Future Land Use Plan.

Staff recommends approval of the Rezoning Request from Commercial, Neighborhood (CN) District to Residential, Multifamily and Urban (RM) District based on adjacent zoning and land uses. This change should not present a conflict or change the existing character of this subdivision.

If approved, the applicant will need to comply with all requirements during the permitting process including compliance with subdivision regulations, building and fire codes, fire protection, parking, landscape buffer-yards, solid waste services, utility, and any other City requirements, as applicable.

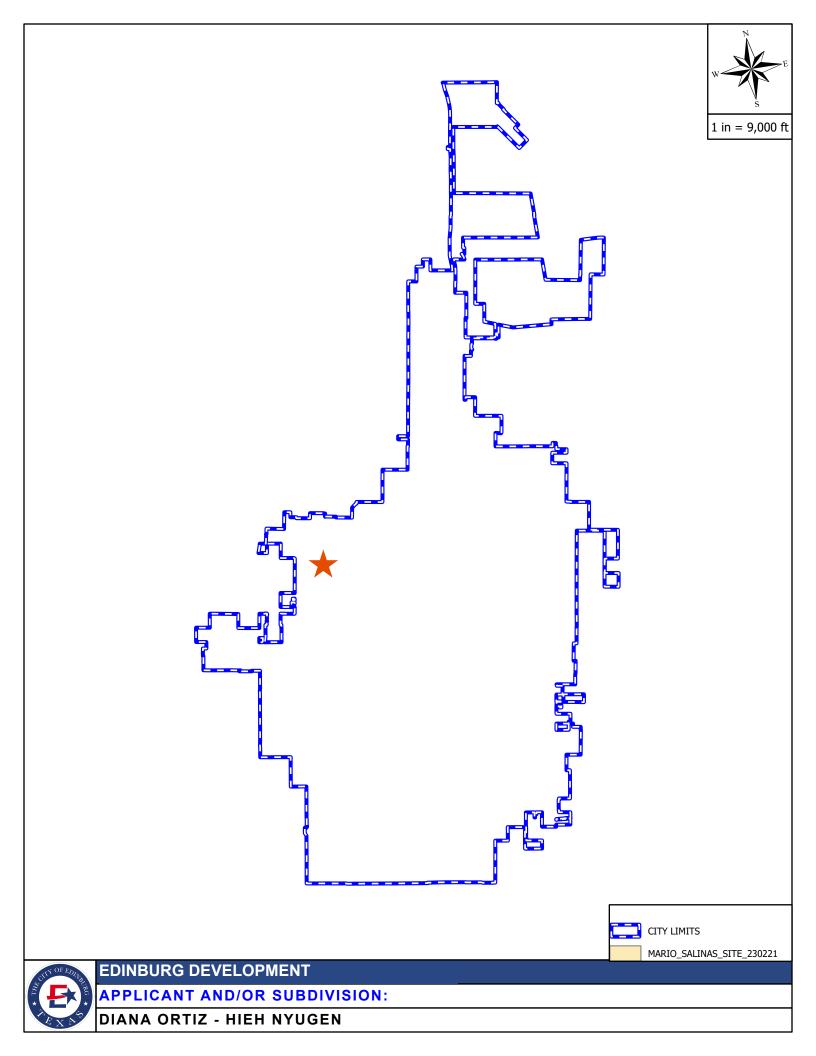
Staff mailed a notice of the public hearing to 35 neighboring property owners on Thursday, March 2, 2023, and had received no comments in favor or against this request at the time this report was prepared. Notice of this public hearing will be published in the newspaper on March 14, 2023.

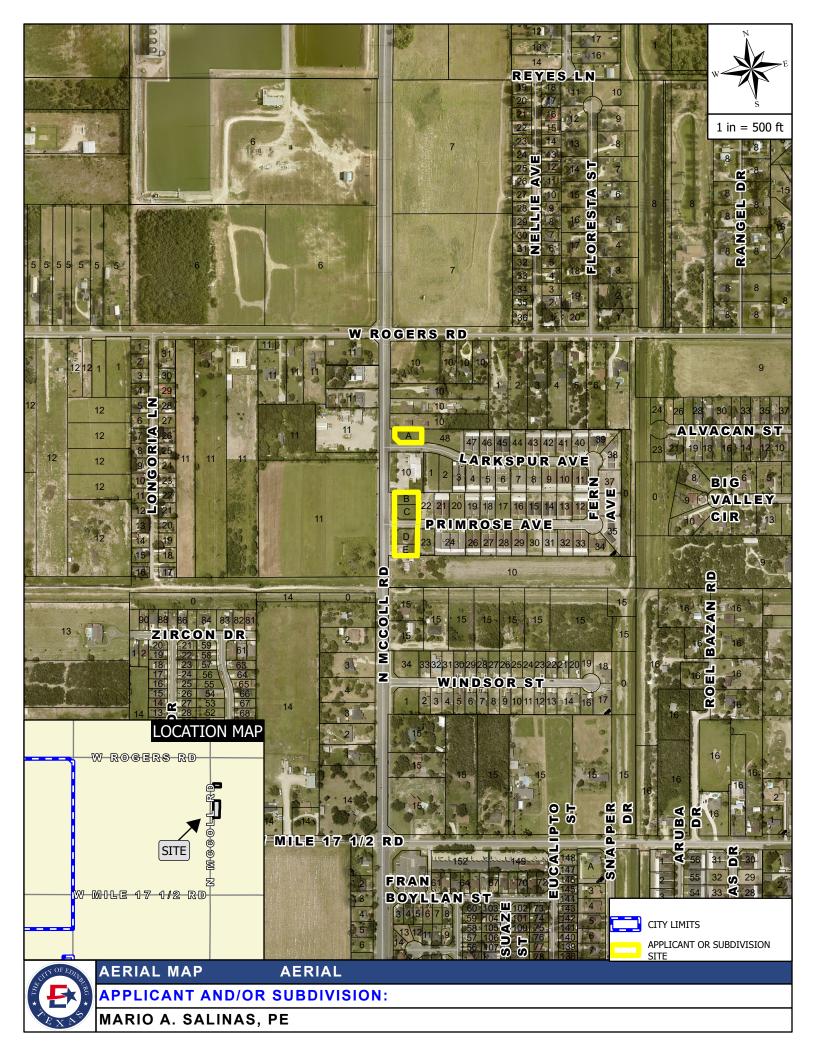
ATTACHMENTS: Aerial Photo

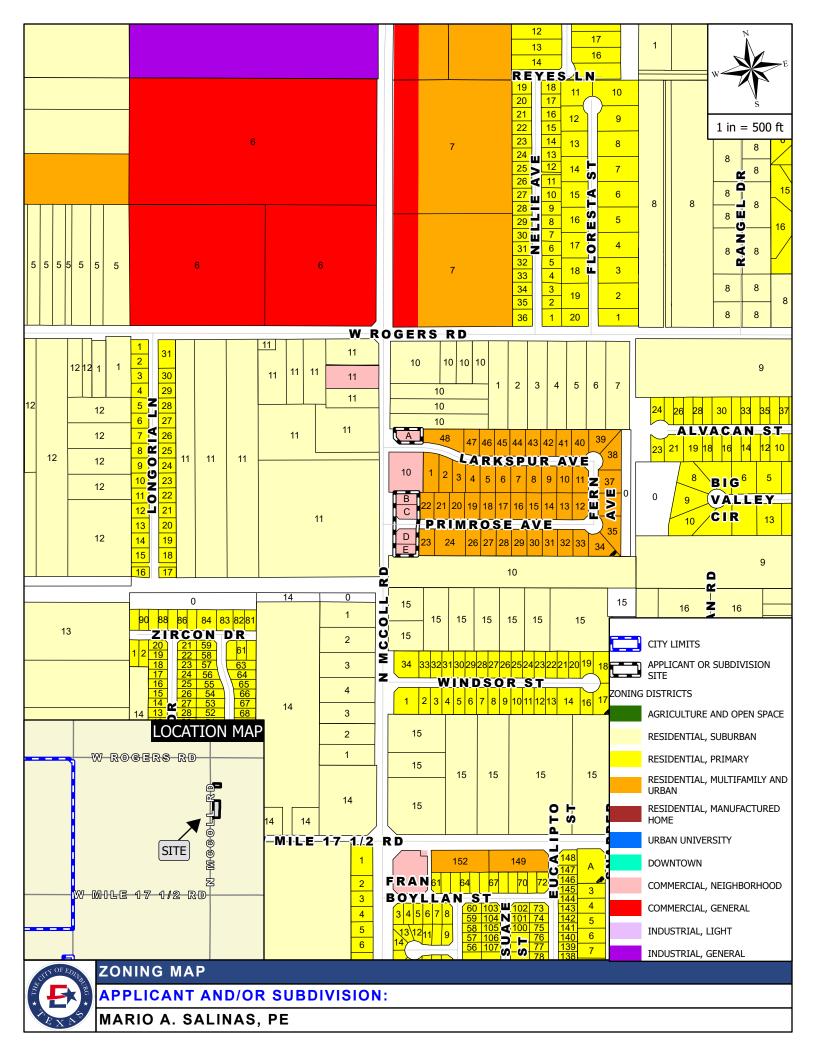
Site Map Zoning Map

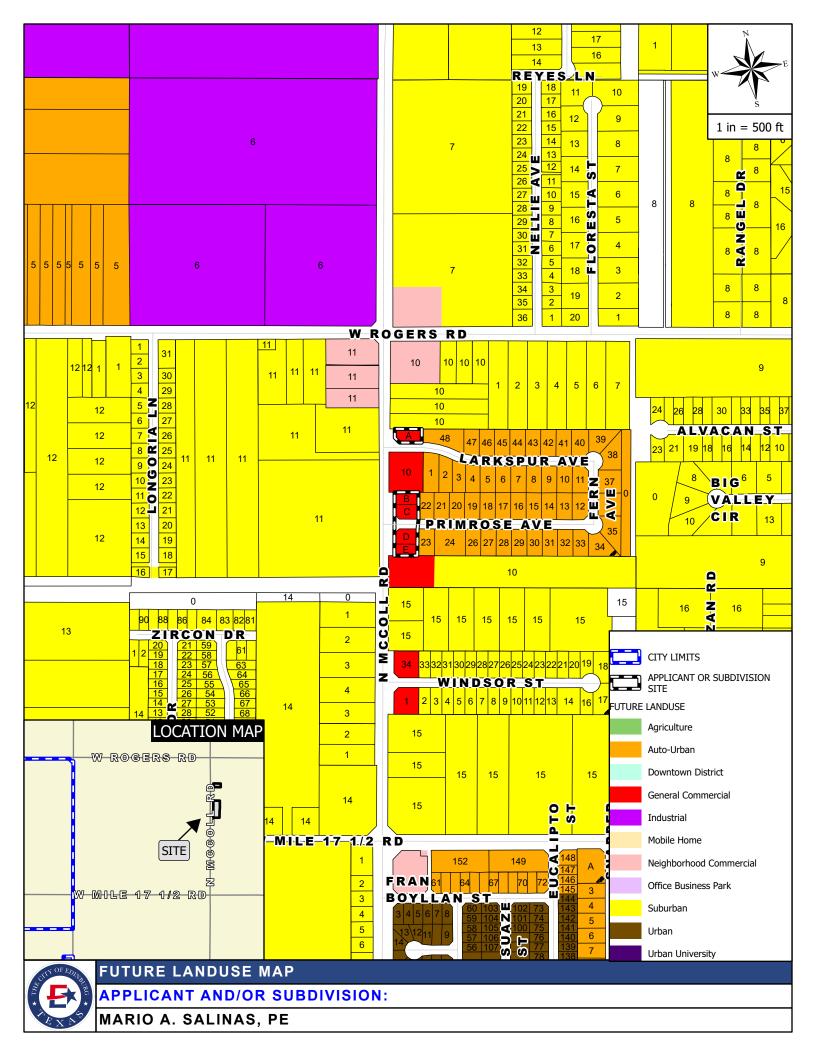
Future Land Use Map

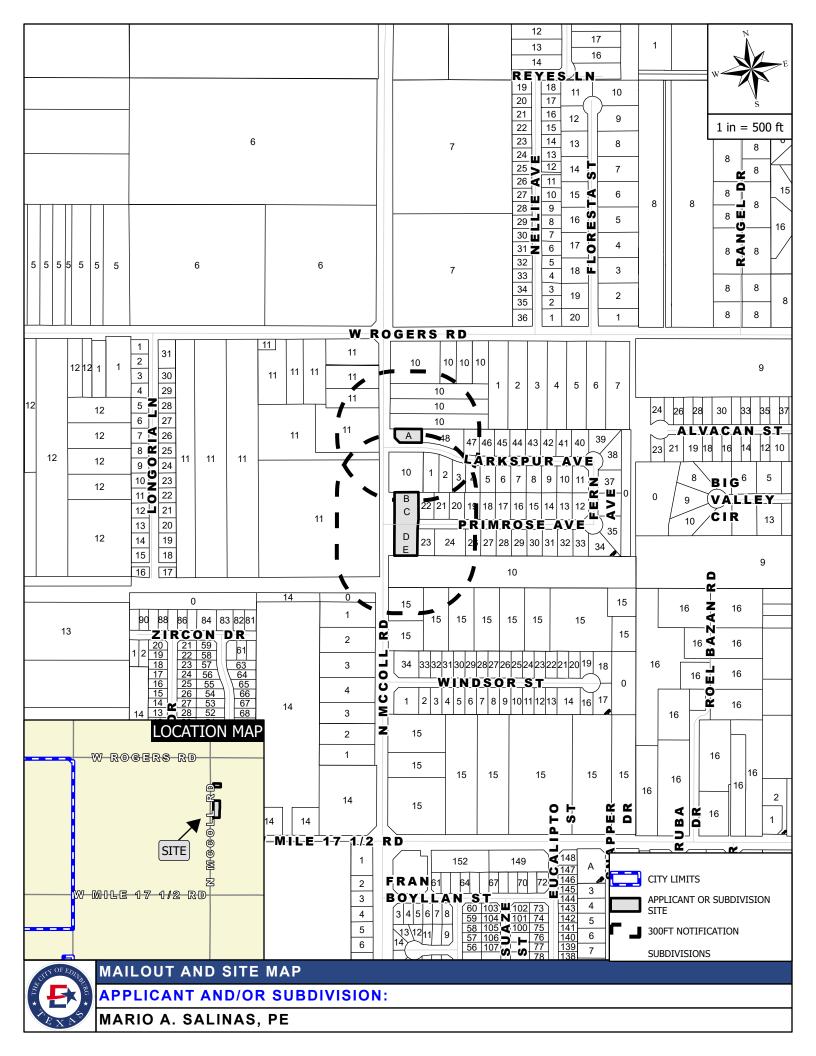
Photo of Site Exhibits











Planning & Zoning

415 West University Drive Edinburg, Texas 78539 (956) 388-8202



Zone Change Application ENERGOV CASE # RZNE- 2023-0110
Date: 2/4/2023
1. Property Owner (required): 105/05/05/05/05/05/2. Phone: 150-901-0018
3. Mailing Address: 502 Alberta Road
4. City: 100000 State: X Zip: 18539
5. Owner's Email: Cadivvezzane Vahab. Cancell No. 950-907-0018
7. Agent (not owner): May 10 A Sollings 8. Agent's Phone: 950-537-1311
9. Agent's Mailing Address: St. N. 10th Street, Suite H
10. City: MCH (Qr) State: Zip: 18501
11. Agent's Email: MSQ1106 W13COTT onet
12. Address/Location being Rezoned: MCD MOYOV LOTS ABCD TO THE PROPERTY OF THE
13. Legal Description of Property: 14. Property ID(s): 1008007 of ROJEIS RO
1068008,1068009,1068010,1068011
VIIII (RM)
15. Zone Change: From: COMMERCIA! NOIGH To: KCS. MUHI TUVOM
16. Existing Land Use: Walland
17. Reason for Zone Change: 10 develop duplex 4 tour plex
multitamily
Mark Montalvo (Please Print Name)
(Please Print Name) Signature
REVIEWED BY DATE RECEIVED 7 Feb 23
REVIEWED BY DATE RECEIVED 7 Tels 23
*INCOMPLETE APPLICATIONS WILL NOT BE PROCESSED OR SCHEDULED EVEN IF PAYMENT IS MADE.

ZONING CASE OWNER NOTIFICATION LIST

AGUILERA JOSE 1329 W OWASSA RD EDINBURG, TX 78539-7054

ALVARADO FELIPE & BENITA 2510 N MCCOLL RD EDINBURG, TX 78541-9451

ARRIAGA OSCAR 2016 QUEENS RD MCALLEN, TX 78504-2295

BOX JERRY J PO BOX 3376 MCALLEN, TX 78502-3376

CADENA AMADA G & JUAN JOSE PO BOX 1184 EDINBURG, TX 78540-1184

CERDA ELISEO & DELIA R 2528 N MCCOLL RD EDINBURG, TX 78541-9451

DE LEON JUAN A 2714 E ALBERTA RD EDINBURG, TX 78542-3553

DR GEORGE REAL ESTATE LLC 2607 SOLERA DR MISSION, TX 78572

EBEN EMMANUEL E 1314 E 28TH ST MISSION, TX 78574-2800

ESTRADA OMAR A 611 SYCAMORE AVE MISSION, TX 78572

GALVAN VICTOR M & CYNTHIA PO BOX 301 LINN, TX 78563-0301 GARCIA ROBERTO 2502 N MCCOLL RD UT B EDINBURG, TX 78541

HIDALGO CO DRAINAGE DIST #1 10124 GLASSCOCK RD MISSION, TX 78573-5910

HINOJOSA JOSE RAMIRO 1811 E MILE 2 RD MISSION, TX 78574

IBARRA OSCAR HUGO & ANITA MENDOZA-IBARRA 1807 E CHANDLER CIR EDINBURG, TX 78542

LEE DAVID R 2611 LAKE SHORE DR EDINBURG, TX 78539-7711

LOPEZ GLORIA EMILIA 2804 W ROGERS RD EDINBURG, TX 78541

MILLAN DEVELOPMENT LLC 114 E TEAROSE AVE MCALLEN, TX 78504

MIRMOHAMMADI MOHAMMAD H 801 E NOLANA AVE STE 21 MCALLEN, TX 78504-6106

NANNAFRANCHESCA MANAGEMENT INC 430 E 162ND ST STE 305 SOUTH HOLLAND, IL 60473

OBIYO CHARLES & OLUCHI S 1314 E 28TH ST MISSION, TX 78574-2800

PARIKH ANUSHI 2603 DRAKENSBURG AVE EDINBURG, TX 78539

ZONING CASE OWNER NOTIFICATION LIST

RAIYA2011 LLC 5704 N 3RD ST MCALLEN, TX 78504-2165

RAIYA2011 LLC 1218 WILLOWBROOK CRT SUGARLAND, TX 77479

RODRIGUEZ ARTURO R & DELIA A 2633 MCCOLL EDINBURG, TX 78542

RODRIGUEZ JUAN M & MARIA 2806 N MCCOLL RD EDINBURG, TX 78541-9475

RODRIGUEZ NERI PO BOX 2036 EDINBURG, TX 78540-2036

SAZ PROPERTIES INC 2679 EASY ST EDINBURG, TX 78539-7385

TREVINO ROBERTO & MYRIAM GARZA 3511 W MILE 17 1/2 RD EDINBURG, TX 78541-6264

VERMA KIRAN 1218 WILLOWBROOK CRT SUGARLAND, TX 77479

VERMA KIRAN 2801 W LARKSPUR AVE EDINBURG, TX 78541-4885

VILLARREAL ROEL & MELISSA 22538 SYLVAN AVE BROWNSTOWN, MI 48134-9562

YOSVASQ LLC 3012 FIR AVE MCALLEN, TX 78501 YOSVASQ LLC 3417 LOYOLA AVE MCALLEN, TX 78504-6192

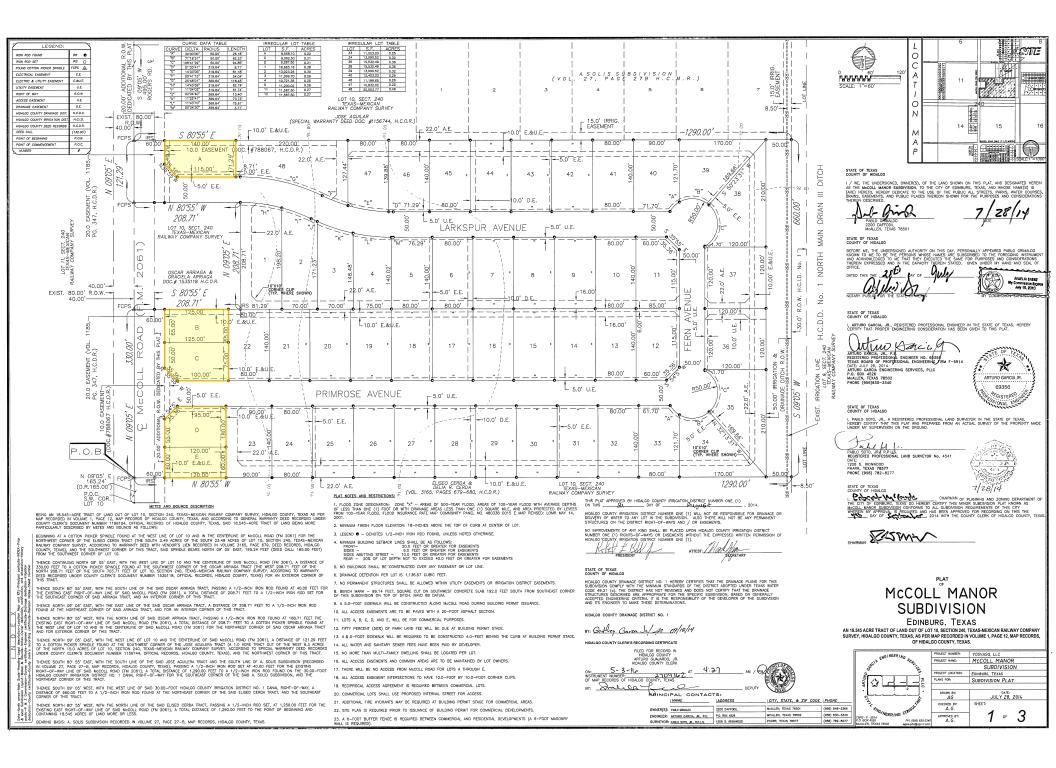
ZEN EZRA NEXUS LLC 2514 W FREDDY GONZALEZ EDINBURG, TX 78539-7339



415 West University Drive Edinburg, Texas 78539 (956) 388-8202 https://cityofedinburg.com



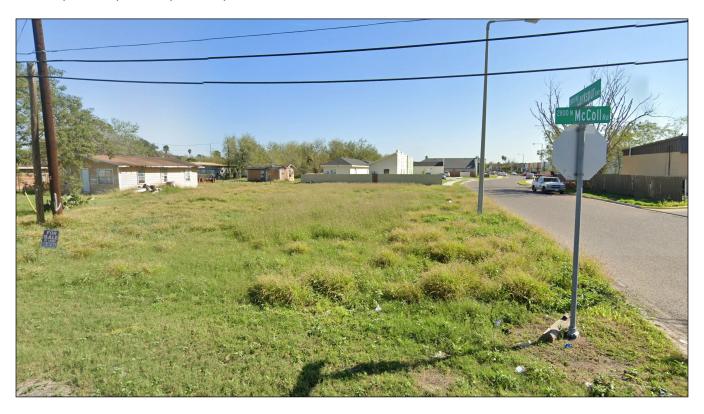
NO RESPONSES TO LEGAL NOTICE FOR REZONING AT **2622, 2614, 2610, 2606, AND 2602 NORTH MCCOLL RD** HAD BEEN RECEIVED WHEN THIS PACKET WAS PREPARED.



Rezoning Request Site Photos

YOSVASQ, LLC

2622, 2614, 2610, 2606, and 2602 North McColl Road





Rezoning Request Site Photos

YOSVASQ, LLC

2622, 2614, 2610, 2606, and 2602 North McColl Road







City of Edinburg

PLANNING & ZONING COMMISSION

March 14, 2023

REZONING REQUEST

AGENDA ITEM:

Consider the Rezoning Request from Commercial, Neighborhood (CN) District to Residential, Multifamily and Urban (RM) District, a 3.152 acre tract of land, more or less, out of Lot 3, Block 1, A.J. & McColl Subdivision, located at 2400 West Canton Road, as requested by SDI Engineering, LLC, on behalf of Raul Villarreal

DESCRIPTION / SCOPE:

The property is located on the southeast corner of the intersection of West Canton Road and Allen Drive, approximately 360 ft. west of South Jackson Road. The lot has an irregular shape with 590.60 ft. of frontage on West Canton Road, 241.35 ft. of frontage on Allen Drive, and a total area of 3.152 acres. The property is currently vacant. The requested zoning designation is the highest intensity residential district and allows for single and multifamily residential uses on the subject property. The proposed use is for townhomes on these lots.

The property is currently zoned Commercial, Neighborhood (CN) District. Adjacent zoning is Residential, Multifamily and Urban (RM) District to the north; Residential, Primary (RP) and Residential, Multifamily and Urban (RM) Districts to the south; Residential, Primary (RP) and Commercial, General (CG) Districts to the east; and Industrial, General (IG) District to the west. The future land use designation is for Neighborhood Commercial Uses at this location.

Staff received a Zone Change Application for the subject property on February 14, 2023. The applicant indicated that the reason for the zone change is for the construction of townhomes. Staff received a Subdivision Application for this location on February 6, 2023: the proposed Las Fuentes Heights at Rincon, a 26-lot townhome development. This subdivision is scheduled for preliminary consideration by this Board at today's meeting.

Staff mailed a notice of the public hearing to 51 neighboring property owners on Thursday, March 2, 2023, and had received no comments in favor or against this request at the time this report was prepared. Notice of this public hearing will be published in the newspaper on March 14, 2023.

STAFF RECOMMENDATION:

Staff recommends approval of the Rezoning Request from Rezoning Request from Commercial, Neighborhood (CN) District to Residential, Multifamily and Urban (RM) District based on adjacent zoning and land use. Multifamily zoning and uses exist to the south of the subject property. Single family zoning and uses exist north and south of the subject property. The proposed zoning and use is generally compatible with surrounding uses. The subdivision, as designed, will take access from Allen Drive, a minor street, and not West Canton Road, a collector street. The proposed zoning, however, is not in keeping with the Future Land Use Plan

If approved, the applicant will need to comply with all requirements during the permitting process including compliance with subdivision regulations, building/ fire codes, fire protection, parking, landscape buffer-yards, solid waste services, utility, and other City requirements, as applicable.

Prepared by:

D. Austin Colina

Planner I

Reviewed by:

Jaime Acevedo, MPA

Director of Planning and Zoning

MEETING DATES: PLANNING & ZONING COMMISSION – 3/14/2023 CITY COUNCIL – 4/04/2023 DATE PREPARED – 3/06/2023

STAFF REPORT GENERAL INFORMATION

APPLICATION: Rezoning Request from Commercial, Neighborhood (CN) District to

Residential, Multifamily and Urban (RM) District

APPLICANT: Raul Villarreal

AGENT: SDI Engineering, LLC

LEGAL: A 3.152 acre tract of land, more or less, out of Lot 3, Block 1, A.J. &

McColl Subdivision

LOCATION: 2400 West Canton Road

LOT/TRACT SIZE: 3.152 acres

CURRENT USE: Vacant

PROPOSED USE: Single Family Attached

EXISTING ZONING: Commercial, Neighborhood (CN) District

ADJACENT ZONING: North – Residential, Multifamily and Urban (RM)

South – Residential, Multifamily and Urban (RM) and Residential,

Primary (RP)

East – Commercial, Commercial (CG) and Residential, Primary (RP)

West – Industrial, General (IG)

LAND USE PLAN: Neighborhood Commercial Uses

PUBLIC SERVICES: City of Edinburg Water and Sewer

RECOMMENDATION: Staff recommends approval of the Rezoning Request from

Commercial, Neighborhood (CN) District to Residential,

Multifamily and Urban (RM) District.

REZONING REQUEST RAUL VILLARREAL

EVALUATION

The following is staff's evaluation of the request.

- 1. High-density multifamily uses exist to the south of the subject property.
- 2. Single family uses exist north and south of the subject property.
- 3. There are light industrial uses to the west and vacant land to the east.
- 4. Proposed land use should not present a conflict with existing uses and is in keeping with the density and character with developments to the south.
- 5. The proposed subdivision does not take access from West Canton Road, a collector street.
- 6. Increased housing supply is needed in the community.
- 7. The proposed zoning is not in keeping with the Future Land Use Plan.

Staff recommends approval of the Rezoning Request from Commercial, Neighborhood (CN) District to Residential, Multifamily and Urban (RM) District based on adjacent zoning and land uses. This change should not present a conflict or appreciably change the existing character of this area.

If approved, the applicant will need to comply with all requirements during the permitting process including compliance with subdivision regulations, building and fire codes, fire protection, parking, landscape buffer-yards, solid waste services, utility, and any other City requirements, as applicable.

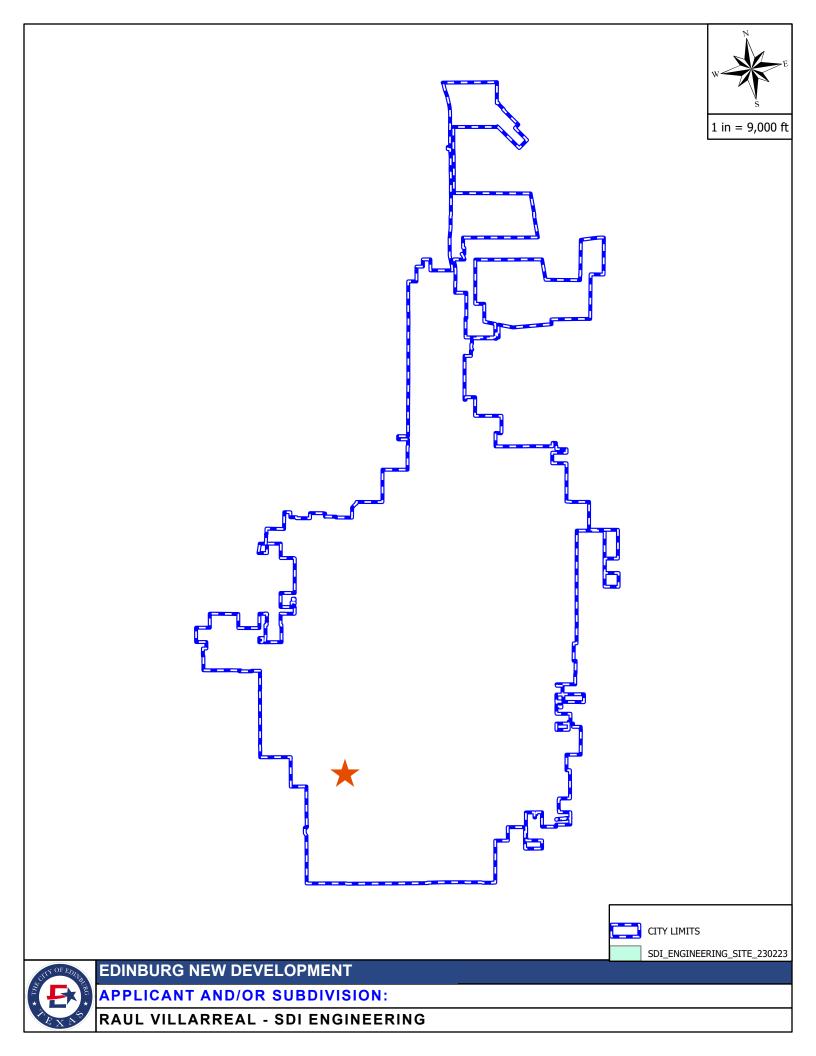
Staff mailed a notice of the public hearing to 51 neighboring property owners on Thursday, March 2, 2023, and had received no comments in favor or against this request at the time this report was prepared. Notice of this public hearing will be published in the newspaper on March 14, 2023.

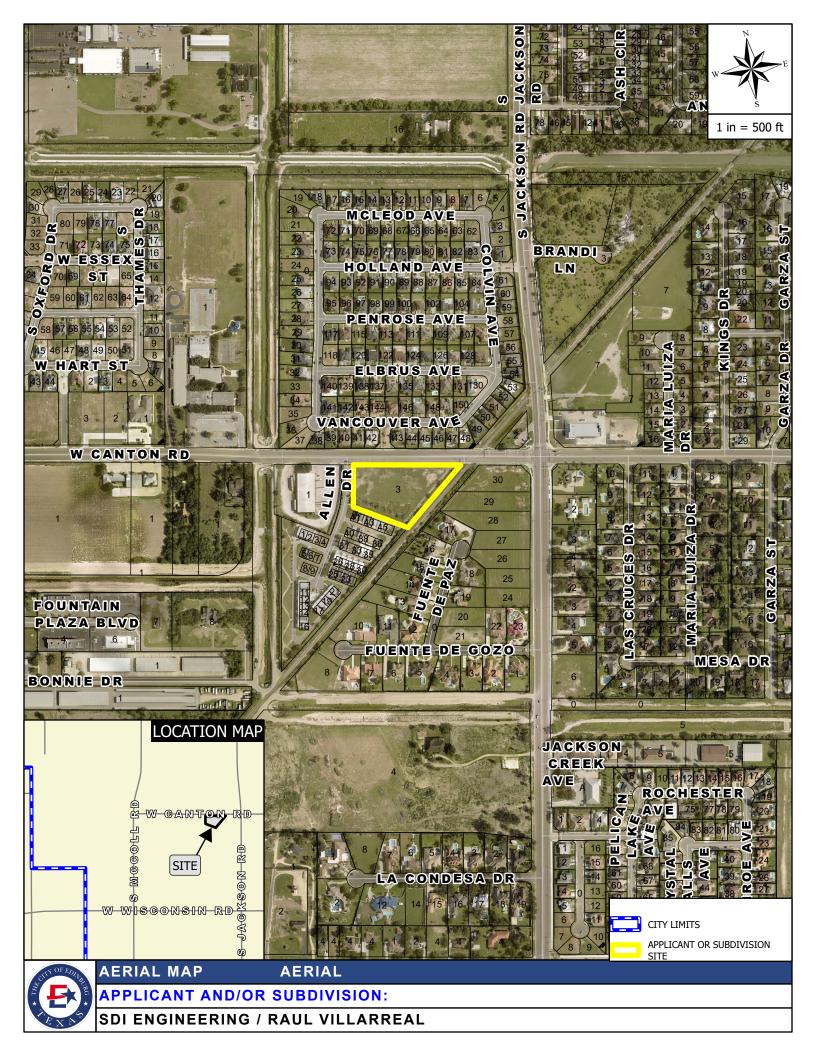
ATTACHMENTS: Aerial Photo

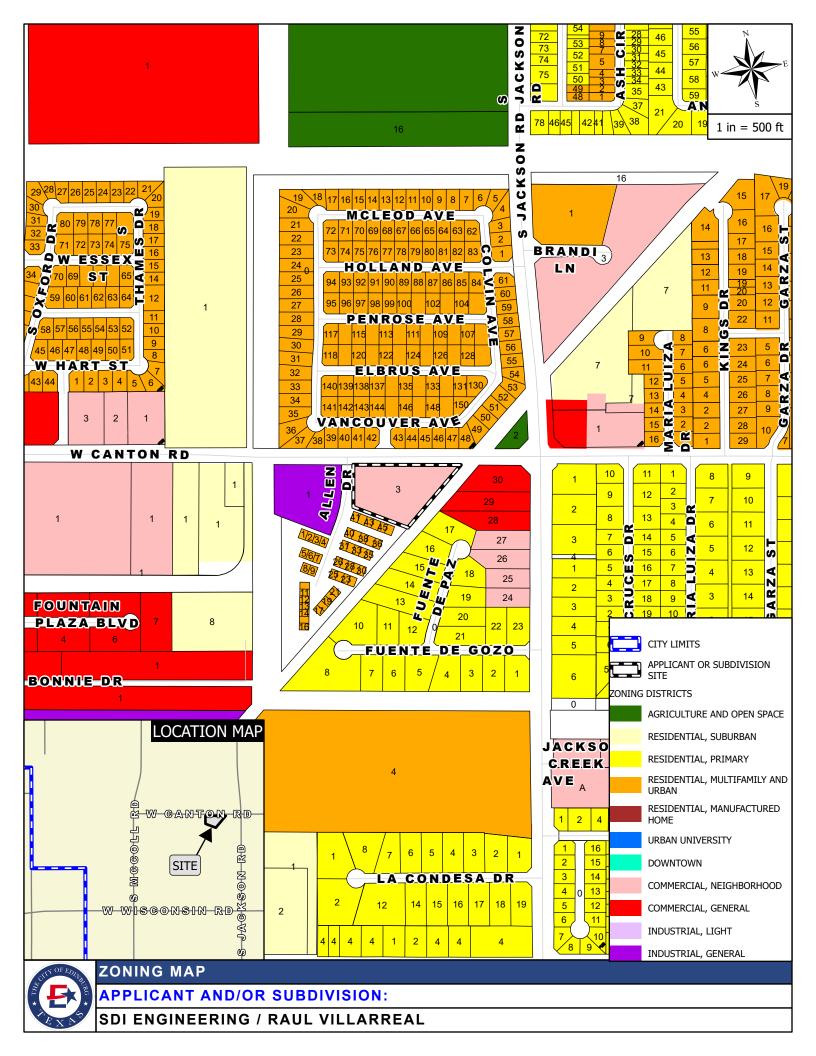
Site Map Zoning Map

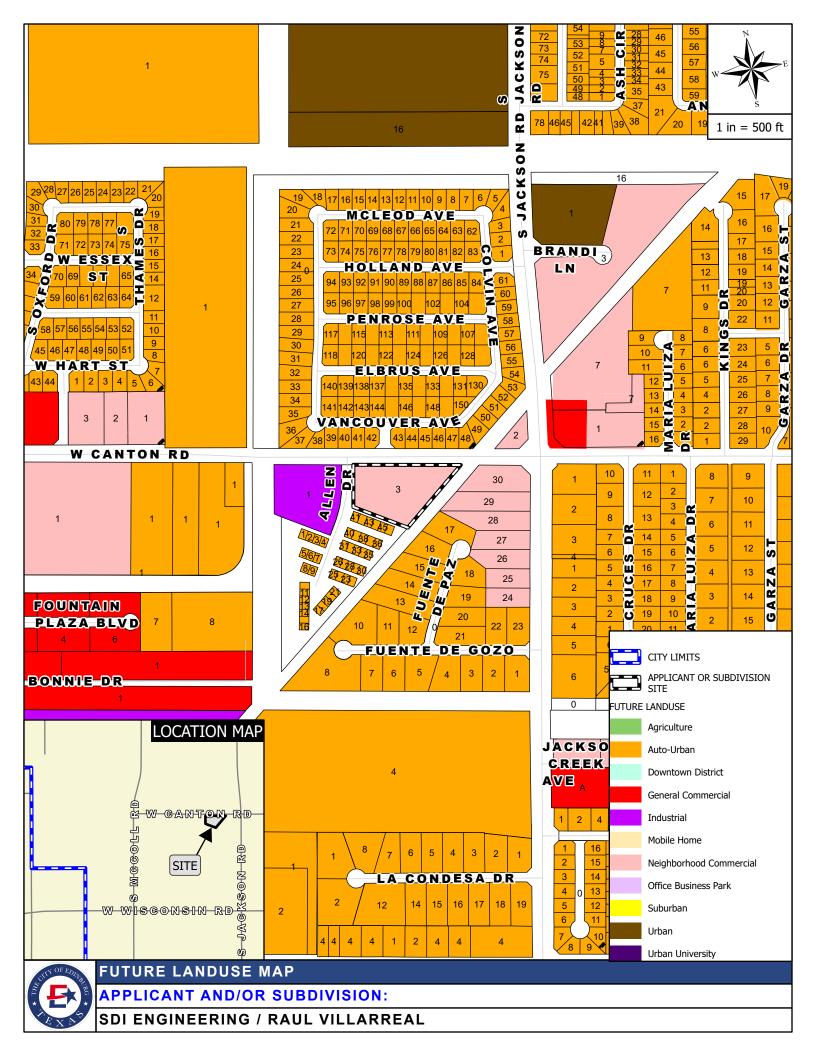
Future Land Use Map

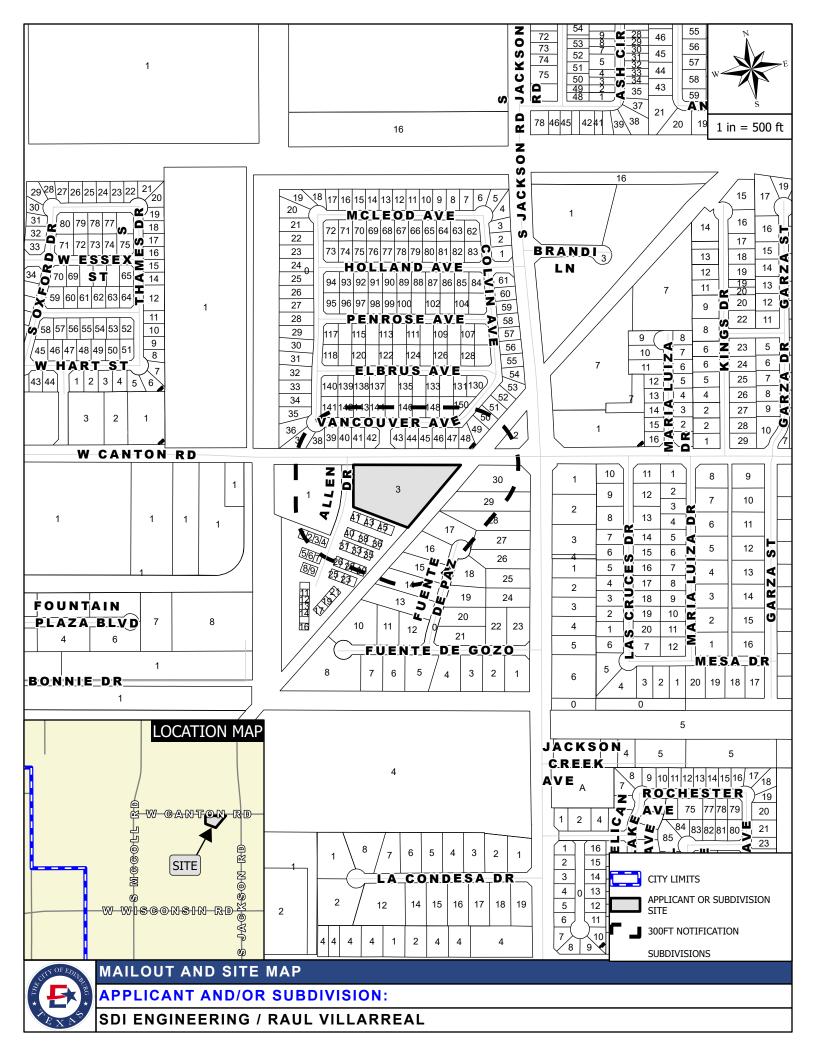
Photo of Site Exhibits











Planning & Zoning

415 West University Drive Edinburg, Texas 78539 (956) 388-8202



Zone Change Application ENERGOV CASE # RZNE-2023-011
Date: February 1, 2023
1. Property Owner (required): Raul Villarreal 2. Phone: (956) 655-1909
3. Mailing Address: 4712 N. McColl Rd
4. City: McAllen State: Tx Zip: 78504
5. Owner's Email: raulberit@me.com 6. Cell No. (956) 655-1909
7. Agent (not owner): SDI Engineering, LLC 8. Agent's Phone: (956) 287-1818
9. Agent's Mailing Address: 2105 S Jackson Rd
10. City: Edinburg State: Tx Zip: 78539
11. Agent's Email: iposadas@sdi-engineering.com
12. Address/Location being Rezoned: SEE EXHIBIT
13. Legal Description of Property: 14. Property ID(s): 330877
A Acre Tract of Land out of Lot Three (3), Block One (1), A.J. McColl's Subdivision, as per Map or Plat recorded in Volume 21, Page 598
San arrison, as per map of Flac 1000 and my oranic 21, 1 age 000
15. Zone Change: From: CN - Commercial, Neighborhood To: RM To: RP Residential, Primary
16. Existing Land Use: Commercial, Neighborhood
17. Reason for Zone Change: Construction of Townhomes
Raul Villarreal 02/02/23
(Please Print Name) Signature
OFFICE USE ONLY , 14 /
REVIEWED BY June A Sylvenia DATE RECEIVED 2/15/23
*INCOMPLETE APPLICATIONS WILL NOT BE PROCESSED OR SCHEDULED EVEN IF PAYMENT IS MAD

LIQUITAY GINEVRA I 12440 EMILY CRT STE 402 SUGAR LAND, TX 77478-4539

GARZA FERNANDO 1405 N 15TH ST APT 14 MCALLEN, TX 78501

FATEHI MAZIAR 2112 W UNIVERSITY DR EDINBURG, TX 78539-2862

VILLA LAS FUENTES HOME OWNER'S ASSOCIATION INC 2112 W UNIVERSITY NO. 700 EDINBURG, TX 78539-2862

JETT JOHN & MICHELLE MONTANO 2210 VANCOUVER AVE EDINBURG, TX 78539-0185

RIVERA CLAUDIA ELIZABETH 2214 VANCOUVER AVE EDINBURG, TX 78539-0185

CHINTAPALLI RAMA KIRSHNA 2304 VANCOUVER AVE EDINBURG, TX 78539-0124

OLIVAREZ YVONNE 2308 VANCOUVER EDINBURG, TX 78539-0124

CALDERON FREDDY & GRACIELA 2309 VANCOUVER AVE EDINBURG, TX 78539-0124

FLORES JORGE 2312 VANCOUVER AVE EDINBURG, TX 78539-0124

POSADAS ISAEL 2327 RHIN DR EDINBURG, TX 78539-4343 POSADAS ISAEL 2327 W RHIN DR EDINBURG, TX 78539-4343

GONZALEZ CRISTINA R 2402 VANCOUVER AVE EDINBURG, TX 78539-0125

ZRUBEK JUDY LYNN 2403 VANCOUVER AVE EDINBURG, TX 78539-0125

LEWIS THOMAS M 2406 VANCOUVER AVE EDINBURG, TX 78539-0125

GEORGE LOUIS & ERIKA 2407 VANCOUVER AVE EDINBURG, TX 78539-0125

JONES VANESSA LEE 2411 VANCOUVER AVE EDINBURG, TX 78539-0125

BERNAL RHASE CHRISTIAN & KASIE RAE 2415 VANCOUVER AVE EDINBURG, TX 78539

ESCAMILLA JESUS & MARTA RAMIREZ 2501 VANCOUVER AVE EDINBURG, TX 78539-0126

ZAVALA ADILIA L & MANUEL 2504 VANCOUVER AVE EDINBURG, TX 78539-0126

YBARRA JOSE A & EVA C 2505 VANCOUVER AVE EDINBURG, TX 78539-0126

PEREZ ISAURO JR 2508 VANCOUVER AVE EDINBURG, TX 78539-0126

BELLO FATIMAH O & ARAMIDE M TIJANI 2509 VANCOUVER AVE

EDINBURG, TX 78539-0126

MADRILEJOS LARMEL DIMATULAC

2512 VANCOUVER AVE

EDINBURG, TX 78539-0126

MEZA JORGE A & EMILY GARCIA

2516 VANCOUVER

EDINBURG, TX 78539-0126

TREVINO JOSE ALFREDO 2602 VANCOUVER AVE

EDINBURG, TX 78539-0186

MILLER GLEN O III

2817 FUENTE DE PAZ

EDINBURG, TX 78539-6271

MEDINA GLORIA M

2828 ALLEN DR

EDINBURG, TX 78539

MARTINEZ ALEJANDRO THOMAS & CAROLINE

ELIZABETH WATKINS

2830 ALLEN DR

EDINBURG, TX 78539

CHANG CHRONG DER

2842 ALLEN DR

EDINBURG, TX 78539

URIAS MARTIN ALBERTO

2902 ALLEN DR

EDINBURG, TX 78539-4715

GARZA JESUS A

2904 ALLEN DR

EDINBURG, TX 78539

OLAZARAN ROSALBA NORA CANABAL

2905 ALLEN DR

EDINBURG, TX 78539

GARZA EVA MARIE 2908 ALLEN DR

EDINBURG, TX 78539

DAVILA ERICA

2910 ALLEN DR

EDINBURG, TX 78539

CASE SHARON

2913 ALLEN DR

EDINBURG, TX 78539

BENITEZ STEPHANIE VILLANUEVA

3528 BUDDY OWENS BLVD

MCALLEN, TX 78504-5465

ALVARADO JEFFREY

4428 N MCCOLL RD

MCALLEN, TX 78504-2480

ROBINSON DEVELOPMENT LLC

4516 BEN HOGAN AVE

MCALLEN, TX 78503-7334

RINCON DE LAS FUENTES PROPERTY OWNERS

ASSOCIATION

4712 N MCCOLL RD

MCALLEN, TX 78504

J PENA LAND COMPANY LTD

5808 N 23RD ST

MCALLEN, TX 78504-3957

VELRA HOLDINGS LTD

609 WATER LILLY AVE

MCALLEN, TX 78504-2852

JACKSON HEIGHTS HOA INC

6500 N 10TH ST STE R

MCALLEN, TX 78504

RAN GUO & QILIN YE

6998 LOVERS LN

CORPUS CHRISTI, TX 78413

GONZALEZ JOSE TELESFORO & 711 STUDIO LN EDINBURG, TX 78542-5785

GARZA JESUS ANDRES 8801 N WARE RD MCALLEN, TX 78504-9641

GARCIA JOSE G & RAQUEL LEAL 925 RIO GRANDE DR MISSION, TX 78572-7445

TIERRA RUIZ LLC P O BOX 4869 TUBAC, AZ 85646-4869

ANAZALDUA ALVESA P & RENE A PO BOX 2658 EDINBURG, TX 78540-2658

HERENCIA CAPITAL LLC PO BOX 720544 MCALLEN, TX 78504

BERIT INC PEDRO VILLARREAL RIO VOLGA #218 MEXICO, NULL

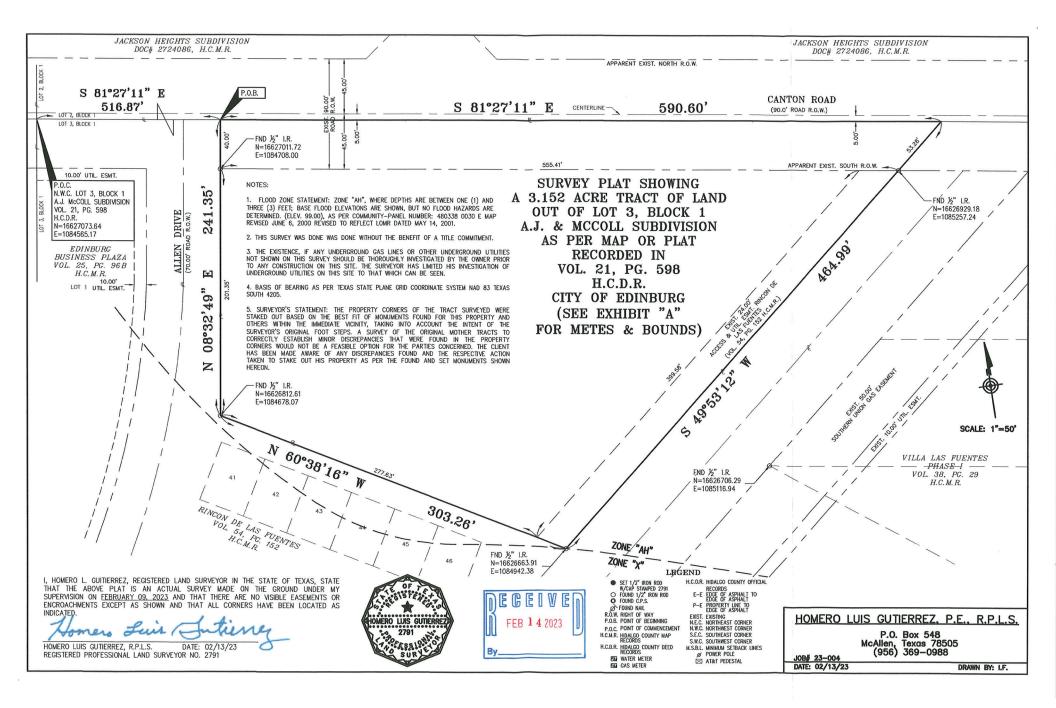


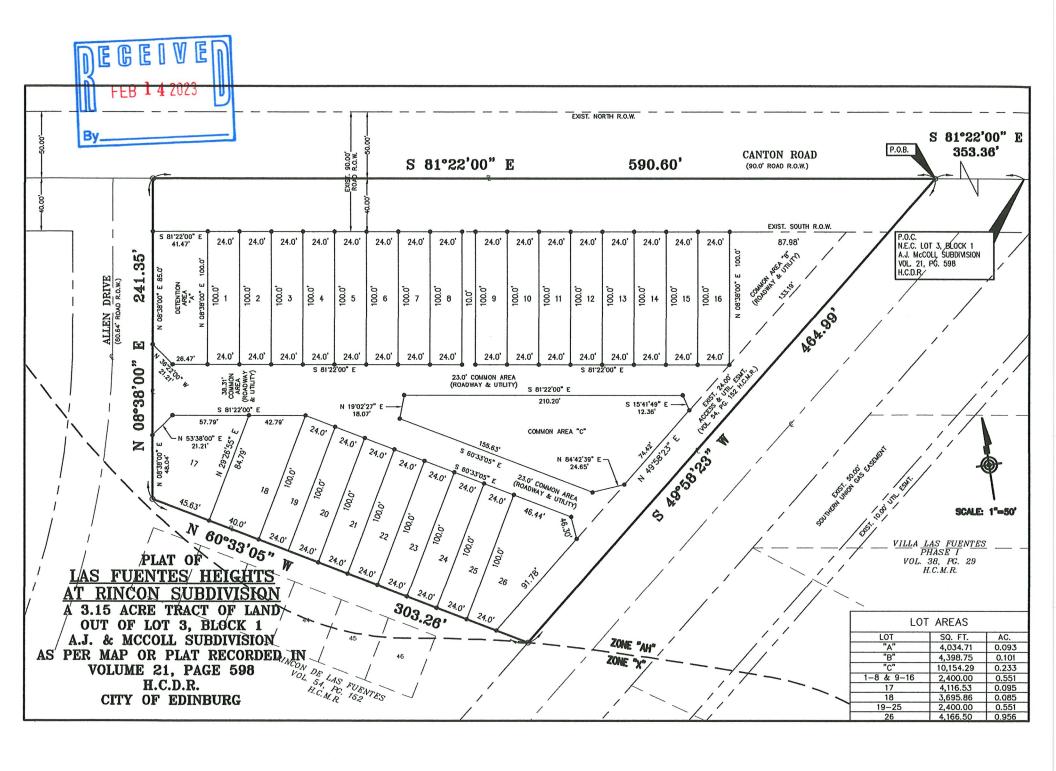
415 West University Drive Edinburg, Texas 78539 (956) 388-8202 https://cityofedinburg.com



NO RESPONSES TO LEGAL NOTICE FOR REZONING AT **2400 WEST CANTON ROAD** HAD BEEN RECEIVED WHEN THIS PACKET WAS PREPARED.























City of Edinburg

PLANNING & ZONING COMMISSION

March 14, 2023

REZONING REQUEST

AGENDA ITEM:

Consider the Rezoning Request from Industrial, General (IG) District to Commercial, General (CG) District, 6.252 acres out of Lot "G", Santa Cruz Ranch Subdivision, located at 101 East Monte Cristo Road, as requested by Melden & Hunt, Inc., on behalf Monte Cristo Plaza II LLC

DESCRIPTION / SCOPE:

The property is located on the northeast corner of the intersection of East Monte Cristo Road and North Business Highway 281 (Closner Boulevard). The lot has an irregular shape with a total area of 6.252 acres. The property is currently vacant. The requested zoning designation is the primary commercial district and accommodates a wide range of commercial uses. The proposed use is for an unspecified commercial development at this location.

The property is currently zoned Industrial, General (IG) District. Adjacent zoning is Commercial, General (CG) and Industrial, General (IG) Districts to the north and south; Industrial, General (IG) District to the east; and Commercial, General (CG) District to the west. The future land use designation is for Industrial Uses at this location.

Staff received a Zone Change Application for the subject property on February 10, 2023. The applicant indicated that the reason for the zone change is "for a future commercial development."

Staff mailed a notice of the public hearing to 10 neighboring property owners on Thursday, March 2, 2023, and had received one comment in favor and none against this request at the time this report was prepared. Notice of this public hearing was published in the newspaper on March 3, 2023.

STAFF RECOMMENDATION:

Staff recommends approval of the Rezoning Request from industrial, General (IG) District to Commercial, General (CG) District based on adjacent zoning and land use. Both commercial and light industrial zoning and uses exist adjacent to the subject property. Heavy commercial and light industrial uses are similar, and the requested zoning district is the lighter of the two in allowed land uses. Uses allowed in the Commercial, General (CG) District should not present a conflict at this location. The proposed zoning is not in keeping with the Future Land Use Plan.

If approved, the applicant will need to comply with all requirements during the permitting process including compliance with subdivision regulations, building/ fire codes, fire protection, parking, landscape buffer-yards, solid waste services, utility, and other City requirements, as applicable.

Prepared by:

D. Austin Colina

Planner I

Reviewed by:

Jaime Acevedo, MPA

Director of Planning and Zoning

MEETING DATES: PLANNING & ZONING COMMISSION – 3/14/2023 CITY COUNCIL – 3/21/2023 DATE PREPARED – 3/06/2023

STAFF REPORT GENERAL INFORMATION

APPLICATION: Rezoning Request from Industrial, General (IG) District to

Commercial, General (CG) District

APPLICANT: Monte Cristo Plaza II LLC

AGENT: Melden & Hunt, Inc.

LEGAL: 6.252 acres out of Lot "G", Santa Cruz Ranch Subdivision

LOCATION: 101 East Monte Cristo Road

LOT/TRACT SIZE: 6.252 acres

CURRENT USE: Vacant

PROPOSED USE: General Commercial

EXISTING ZONING: Industrial, General (IG) District

ADJACENT ZONING: North – Commercial, General (CG) and Industrial, General (IG)

South – Commercial, General (CG) and Industrial, General (IG)

East – Industrial, General (IG) West – Commercial, General (CG)

LAND USE PLAN: Industrial Uses

PUBLIC SERVICES: City of Edinburg Water and Sewer

RECOMMENDATION: Staff recommends approval of the Rezoning Request from Industrial,

General (IG) District to Commercial, General (CG) District.

REZONING REQUEST MONTE CRISTO PLAZA II LLC

EVALUATION

The following is staff's evaluation of the request.

- 1. Light industrial and heavy commercial land uses exist adjacent and nearby the subject property.
- 2. Light industrial and heavy commercial uses are generally similar.
- 3. Proposed development allowed in the requested Commercial, General (CG) District should not present a conflict with existing uses.
- 4. The proposed zoning is not in keeping with the Future Land Use Plan.

Staff recommends approval of the Rezoning Request from industrial, General (IG) District to Commercial, General (CG) District based on adjacent zoning and land uses. This change should not present a conflict or appreciably change the existing character of this area.

If approved, the applicant will need to comply with all requirements during the permitting process including compliance with subdivision regulations, building and fire codes, fire protection, parking, landscape buffer-yards, solid waste services, utility, and any other City requirements, as applicable.

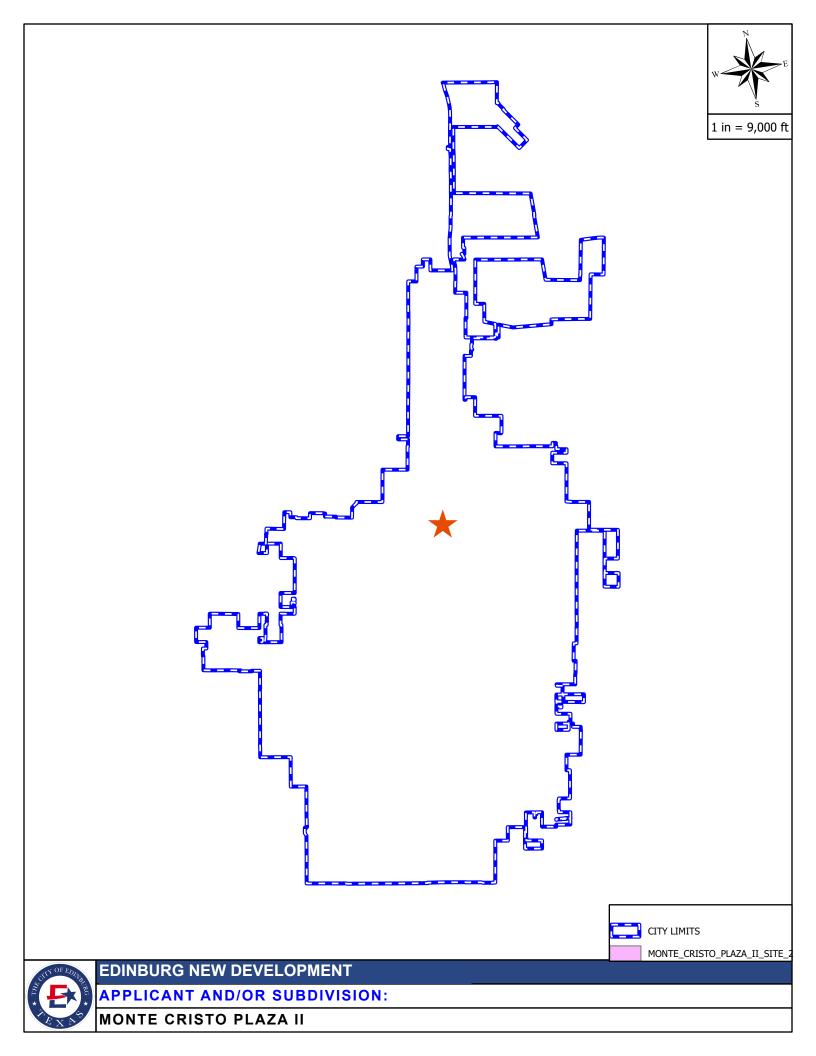
Staff mailed a notice of the public hearing to 10 neighboring property owners on Thursday, March 2, 2023, and had received one comment in favor and none against this request at the time this report was prepared. Notice of this public hearing was published in the newspaper on March 3, 2023.

ATTACHMENTS: Aerial Photo

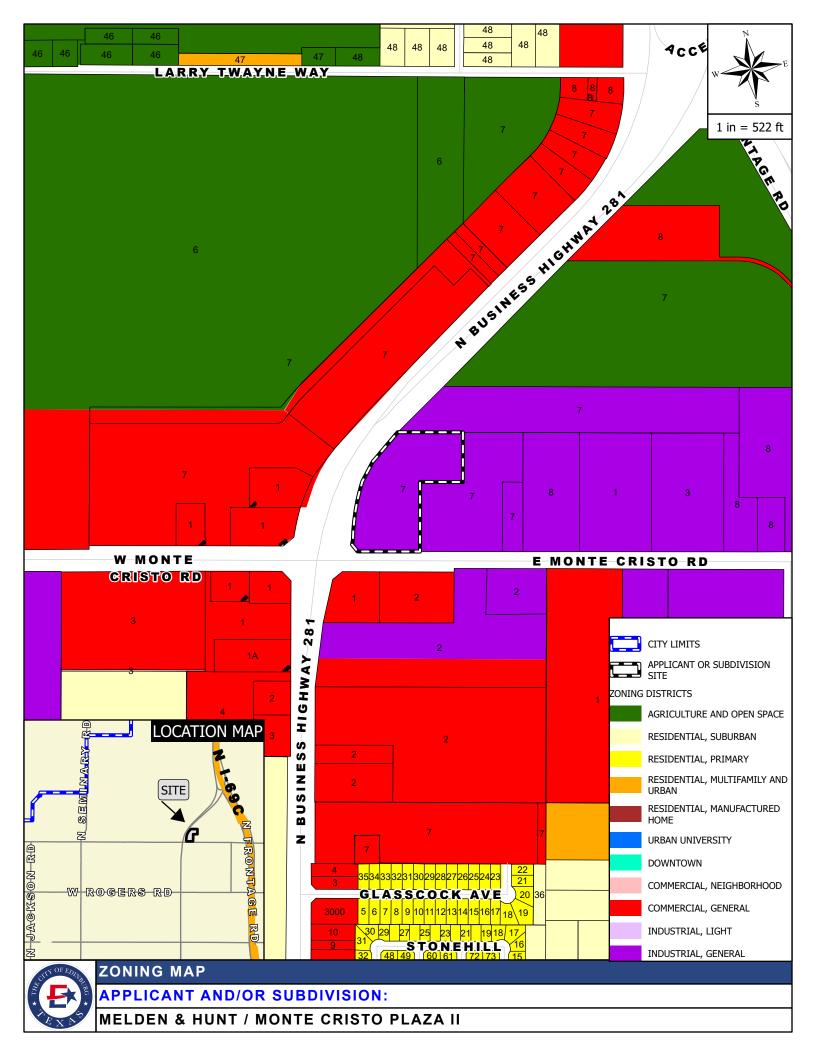
Site Map Zoning Map

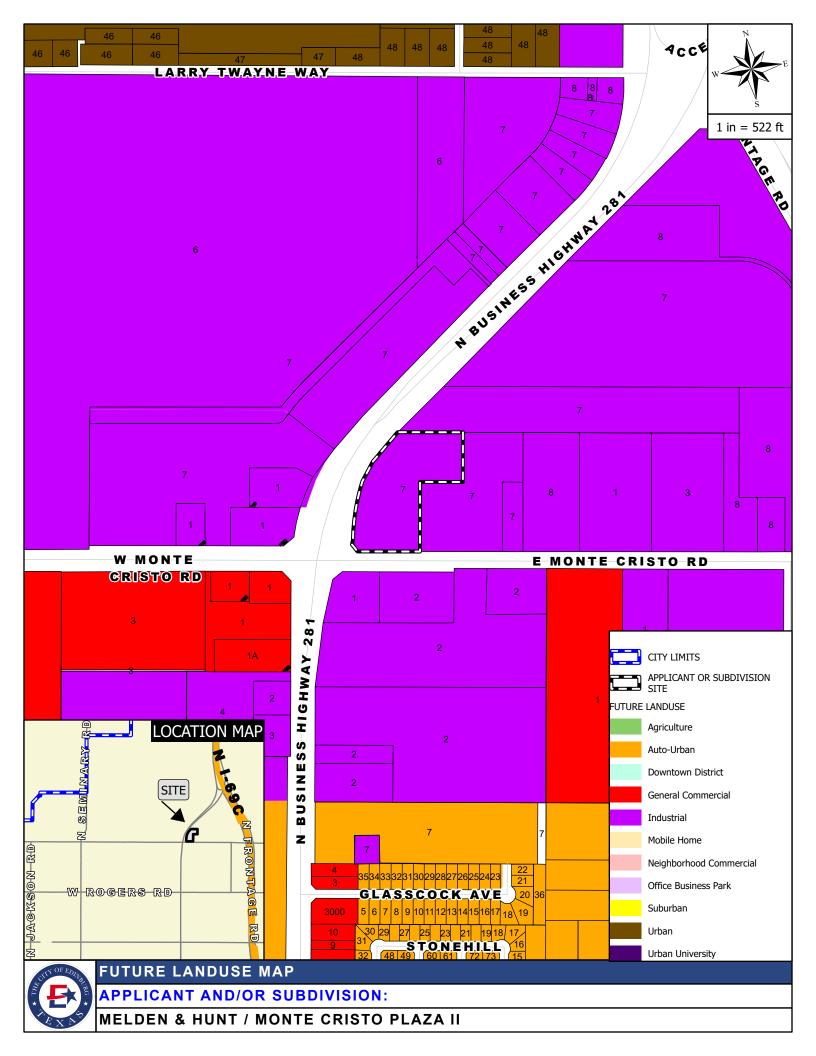
Future Land Use Map

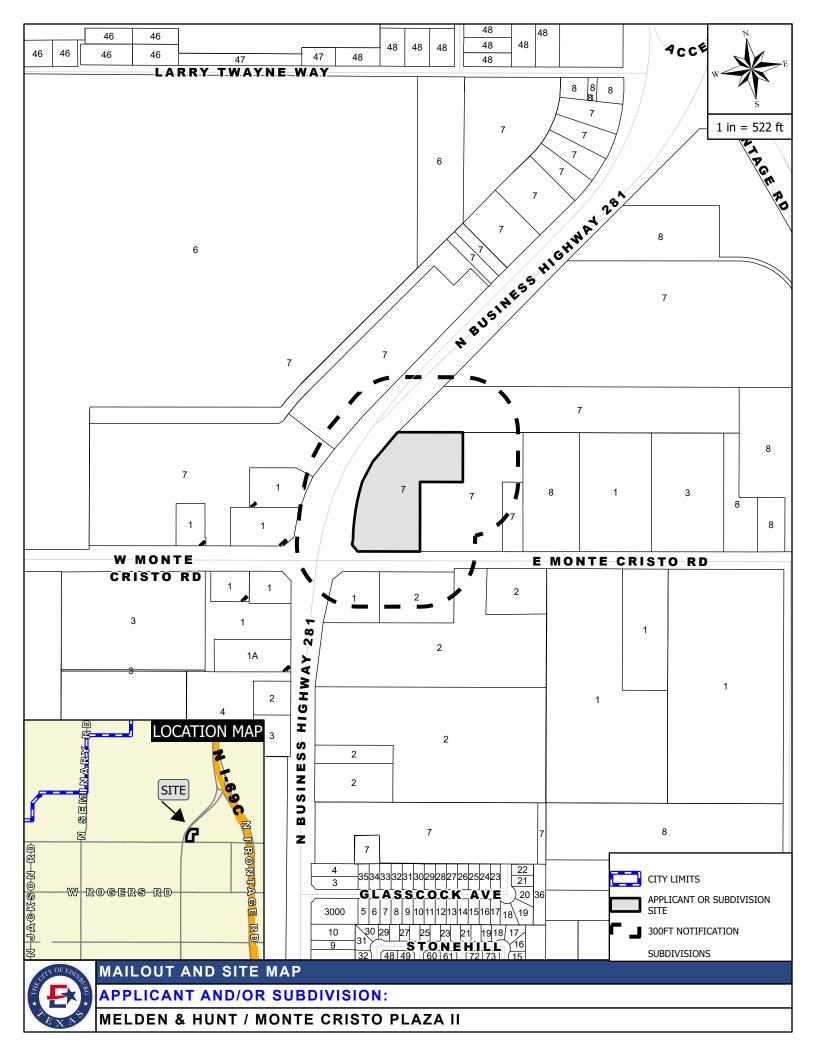
Photo of Site Exhibits











Planning & Zoning

415 West University Drive Edinburg, Texas 78539 (956) 388-8202



Zone Change Application

ENERGOV CASE # R2NE - 2023 - 0113

Date: 2	-10-23		
1. Prop	erty Owner (required): Monte Cristo Pla	za II LLC 2. Phone:	c/o (956) 381-0981
3. Mail	ing Address: 500 Chula Vista Street		
4. City:	McAllen	State: TX	Zip: <u>78501-1111</u>
5. Own	er's Email:	6. Cell No	
7. Agen	t (not owner): Melden & Hunt, Inc.	8. Agent's Phone:	(956) 381-0981
9. Agent	s's Mailing Address: 115 W. McIntyre St	treet	
10. City:	Edinburg S	tate: <u>TX</u>	Zip: 78541
11. Agent	's Email:mario@meldenandhunt.co	m	
12. Addre	ess/Location being Rezoned:101 E. M	onte Cristo Road Edinburg TX	
13. Legal	Description of Property:	14. Property ID(s):	
6.25	2 Acres o/o Lot "G" Santa Cruz Ranch S	Subdivision Volume Z, Page 161	, H.C.M.R.
15. Zone	Change: From: Industrial General	To: Commercia	l General
16. Existi	ng Land Use: Vacant Property		
17. Reaso	on for Zone Change: For a future Comr	mercial Development	
	Reyna	Mon	
(Please P	rint Name)	Signature	
OFFICE USE	$A \sim A \sim A$	DATE RECEIVED	2-111-23
REVIEWE		CESSED OR SCHEDULED EVEN IF	PAYMENT IS MADE
*INCOMI	LETE APPLICATIONS WILL NOT BE PRO	CESSED ON SCHEDOLED EVEN II	LATINETAL IS MINOL.

ABRAHAM ISHMAEL ISAAC TRUST 13644 BRETON RIDGES STE F HOUSTON, TX 77070-6087

MASAKO KOGA TRUSTEE 1754 ABAJO DR MONTEREY PARK, CA 91754

BS MERCEDES LLC 1806 S CLOSNER EDINBURG, TX 78539-6314

MARTIN FARM & RANCH SUPPLY INC 215 E MONTE CRISTO RD EDINBURG, TX 78541-8630

MONTE CRISTO PLAZA LTD 500 CHULA VISTA ST MCALLEN, TX 78501-1111

EDINBURG LIVESTOCK AUCTION INC PO BOX 1048 EDINBURG, TX 78540-1048

MCALLEN JAMES A PO BOX 1139 EDINBURG, TX 78540-1139

EIA PROPERTIES LTD PO BOX 118 EDINBURG, TX 78540-0118

JME ENTERPRISES PO BOX 99 O FALLON, IL 62269-0099

EDINBURG JOD LLC 1200 TICES LANE EAST BRUNSWICK, NJ 8816



Dear Property Owner:

A public hearing will be held on Tuesday, March 14, 2023 at 5:30 P.M. in the Edinburg City Hall, City Council Chambers, located at 415 West University Drive, at which time the Planning and Zoning Commission will consider the following:

CONSIDER THE REZONING REQUEST FROM INDUSTRIAL, GENERAL (IG) DISTRICT TO COMMERCIAL, GENERAL (CG) DISTRICT, 6.252 ACRES OUT OF LOT "G", SANTA CRUZ RANCH SUBDIVISION, LOCATED AT 101 EAST MONTE CRISTO ROAD, AS REQUESTED BY MELDEN & HUNT, INC. ON BEHALF MONTE CRISTO PLAZA II LLC

The requested zoning designation is the primary commercial district. It accommodates a wide range of commercial uses. The proposed use is for a commercial development at this location.

This request is scheduled to be heard by the City Council on Tuesday, March 21, 2023 at 6:00 P.M. As a property owner within 300 ft. of the subject property, you are invited to attend. Please note that meeting time (s) and date (s) are subject to change. Therefore; please call on the date of the meeting to assure that the item is on the agenda. As part of the City effort to encourage greater participation in the rezoning process, the City is using this notice to solicit your input, but no action or response is required. Should you have any guestions or need more information regarding this notice, you may call (956) 388-8202.

Y	(OII	may	return	VOUL	response	hv	one	Of	the	tol	lowing:

MAIL:

P. O. Box 1079 Edinburg, Texas 78540

FAX:

(956) 292-2080 by Monday, March 13, 2023

EMAIL: planning@cityofedinburg.com by Monday, March 13, 2023

Please place a checkmark on the appropriate box to indicate if you are in favor, against, or have no comments on this request. In Favor/A Favor ☐ Against/En Contra ■ No Comments/No Comentario Comments: Print Name: Mrs. Calvin R. Bentsen (monte Cristo IIIIC) Phone No. 956 607-0000 Address: 500 Chiefalista City: McAllen State: Tex Zip: 78501

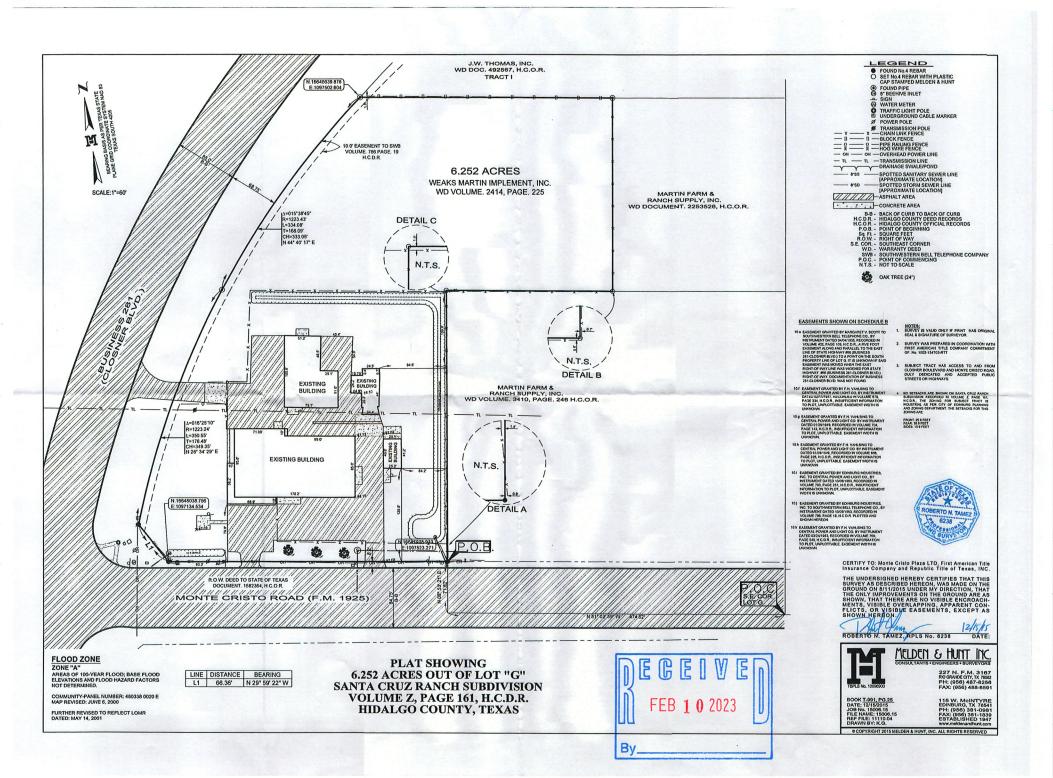
NOTIFICACIÓN

Si tiene preguntas o necesita información sobre esta aplicación en español, por favor llame al 956-388-8202.

Planning and Zoning Department City of Edinbura PO BOX 1079 Edinburg, TX 78540-1079



University Dr. (S.H.107)









City of Edinburg

PLANNING & ZONING COMMISSION

March 14, 2023

REZONING REQUEST

AGENDA ITEM:

Consider the Rezoning Request from Agriculture and Open Space (AO) District to Residential, Multifamily and Urban (RM) District, a 18.623 acre tract being the south 19.52 acres of Lot 10, Section 244, Texas-Mexican Railway Company's Survey Subdivision, located at 2600 North Closner Boulevard, as requested by Vista Property Investments, LLC, on behalf of EIA Properties LTD

DESCRIPTION / SCOPE:

The property is located on the east side of North Closner Boulevard, approximately 630 ft. south of East Rogers Road. The lot has 622.00 ft. of frontage on North Closner Boulevard and 1,304.20 ft. of depth for a total area of 18.623 acres. The property is currently vacant. The requested zoning designation is the highest intensity residential district and allows for single and multifamily residential uses on the subject property. The proposed use is for a multifamily development.

The property is currently zoned Agriculture and Open Space (AO) District. Adjacent zoning is Commercial, General (CG) and Residential, Suburban (RS) Districts to the north; Commercial, General (CG) and Agriculture and Open Space (AO) Districts to the south; Agriculture and Open Space (AO) District to the east; and Commercial, General (CG) District to the west. The future land use designation is for Industrial and Auto-Urban Uses at this location.

Staff received a Zone Change Application for the subject property on February 23, 2023. The applicant indicated that the reason for the zone change is for a multifamily development.

Staff mailed a notice of the public hearing to 23 neighboring property owners on Thursday, March 2, 2023, and had received no comments in favor or against this request at the time this report was prepared. Notice of this public hearing will be published in the newspaper on March 14, 2023.

STAFF RECOMMENDATION:

Staff recommends approval of the Rezoning Request from Agriculture and Open Space (AO) District to Residential, Multifamily and Urban (RM) District based on location and nearby land use. Mixed uses and zonings surround the subject property. There is a multifamily development immediately southwest of this location. Location on North Closner Boulevard, a principal arterial street, is suited to commercial and/or multifamily developments. The proposed zoning, however, is not in keeping with the Future Land Use Plan.

If approved, the applicant will need to comply with all requirements during the permitting process including compliance with subdivision regulations, building/ fire codes, fire protection, parking, landscape buffer-yards, solid waste services, utility, and other City requirements, as applicable.

Prepared by:

D. Austin Colina

Planner I

Reviewed by:

Jaime Acevedo, MPA

Director of Planning and Zoning

MEETING DATES: PLANNING & ZONING COMMISSION – 3/14/2023 CITY COUNCIL – 4/04/2023 DATE PREPARED – 3/06/2023

STAFF REPORT GENERAL INFORMATION

APPLICATION: Rezoning Request from Agriculture and Open Space (AO) District to

Residential, Multifamily and Urban (RM) District

APPLICANT: EIA Properties LTD

AGENT: Vista Property Investments, LLC

LEGAL: A 18.623 acre tract being the south 19.52 acres of Lot 10, Section

244, Texas-Mexican Railway Company's Survey Subdivision

LOCATION: 2600 North Closner Boulevard

LOT/TRACT SIZE: 18.623 acres

CURRENT USE: Vacant

PROPOSED USE: Multifamily

EXISTING ZONING: Agriculture and Open Space (AO) District

ADJACENT ZONING: North – Commercial, General (CG) and Residential, Suburban (RS)

South – Commercial, General (CG) and Agriculture and Open

Space (AO)

East – Agriculture and Open Space (AO)

West – Commercial, General (CG)

LAND USE PLAN: Industrial and Auto-Urban Uses

PUBLIC SERVICES: North Alamo Water and City of Edinburg Sewer

RECOMMENDATION: Staff recommends approval of the Rezoning Request from

Agriculture and Open Space (AO) District to Residential,

Multifamily and Urban (RM) District.

REZONING REQUEST EIA PROPERTIES LTD

EVALUATION

The following is staff's evaluation of the request.

- 1. Mixed zoning and land uses surround the subject property.
- 2. Agriculture and Open Space (AO) District is no longer appropriate for this location.
- 3. A high-density multifamily development was recently constructed to the southwest of this location
- 4. Increased housing supply is needed in the community.
- 5. The proposed zoning is not in keeping with the Future Land Use Plan.

Staff recommends approval of the Rezoning Request from Agriculture and Open Space (AO) District to Residential, Multifamily and Urban (RM) District based on adjacent zoning and land uses. This change should not present a conflict or change the existing character of this area.

If approved, the applicant will need to comply with all requirements during the permitting process including compliance with subdivision regulations, building and fire codes, fire protection, parking, landscape buffer-yards, solid waste services, utility, and any other City requirements, as applicable.

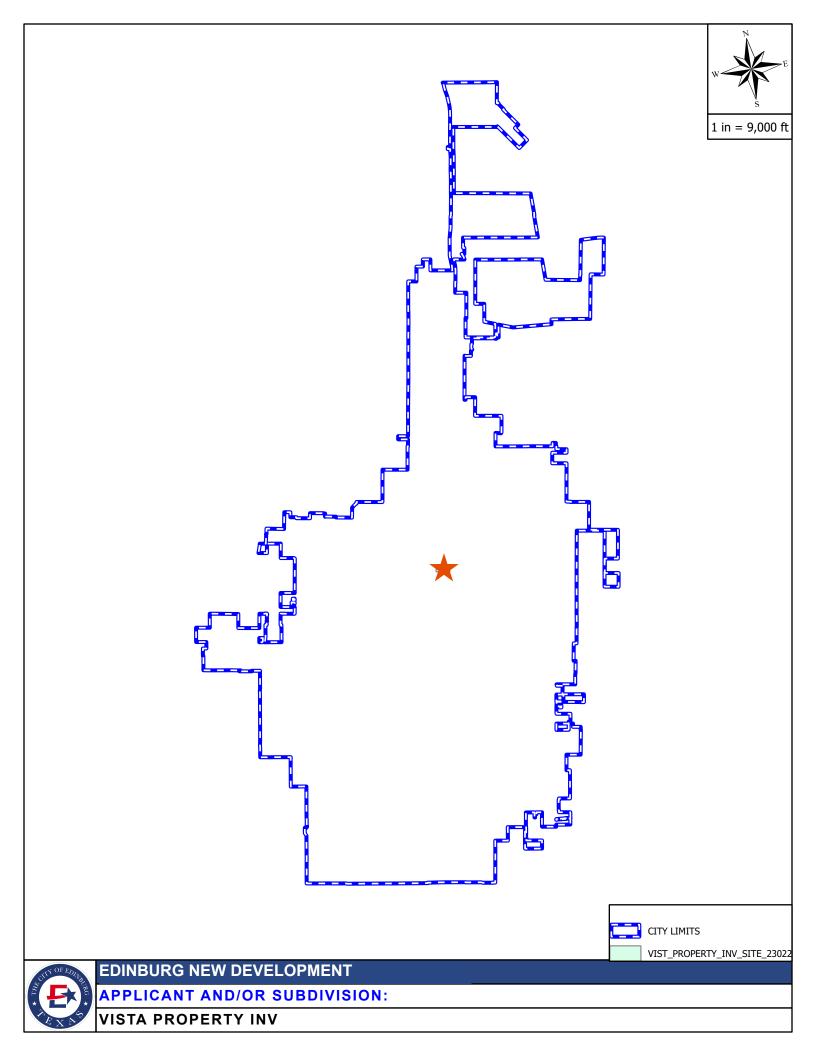
Staff mailed a notice of the public hearing to 23 neighboring property owners on Thursday, March 2, 2023, and had received no comments in favor or against this request at the time this report was prepared. Notice of this public hearing will be published in the newspaper on March 14, 2023.

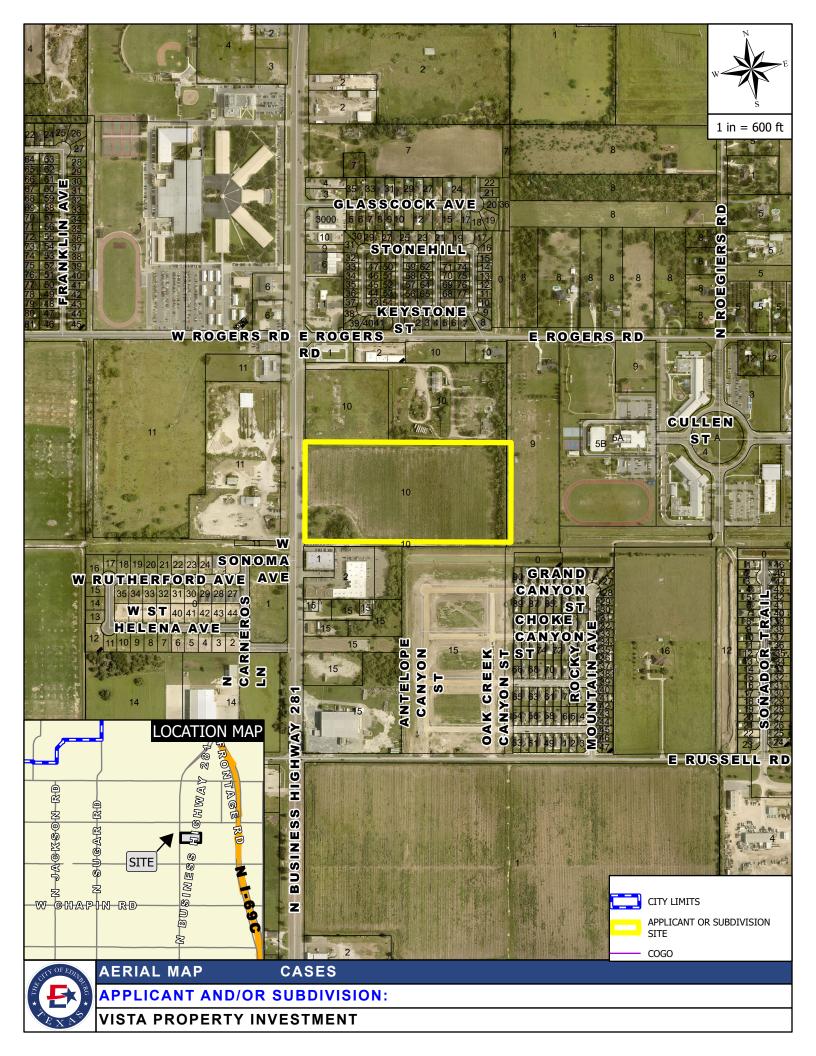
ATTACHMENTS: Aerial Photo

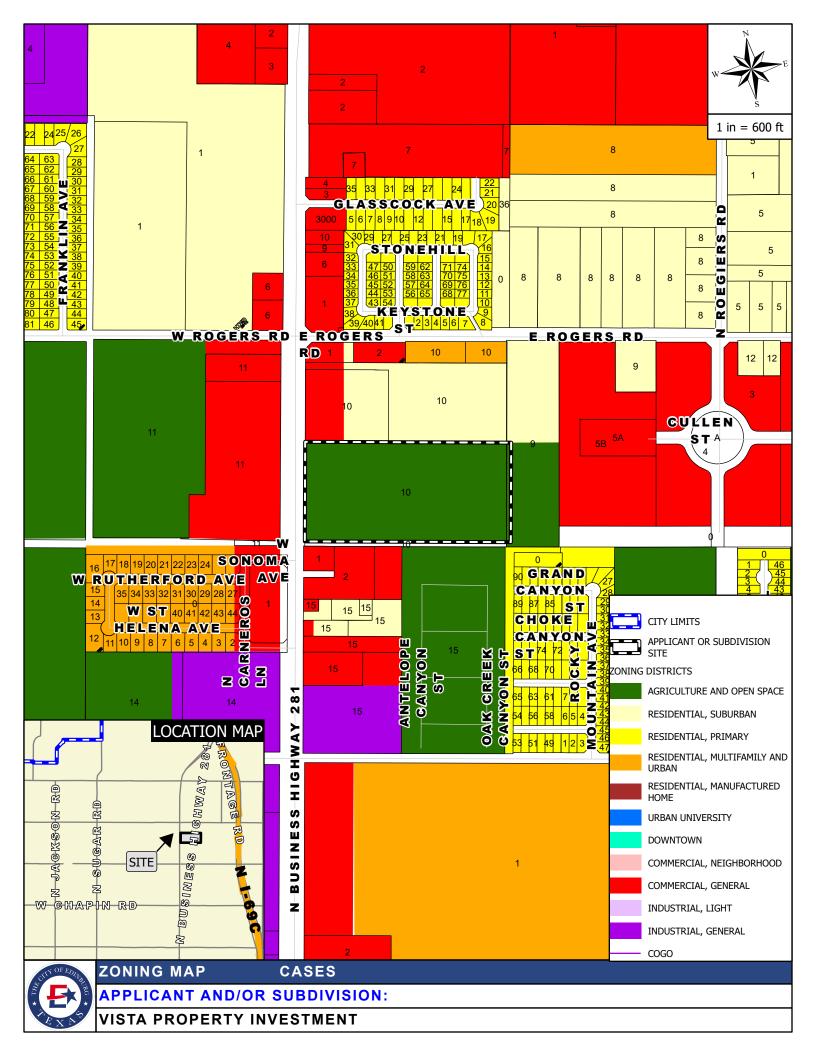
Site Map Zoning Map

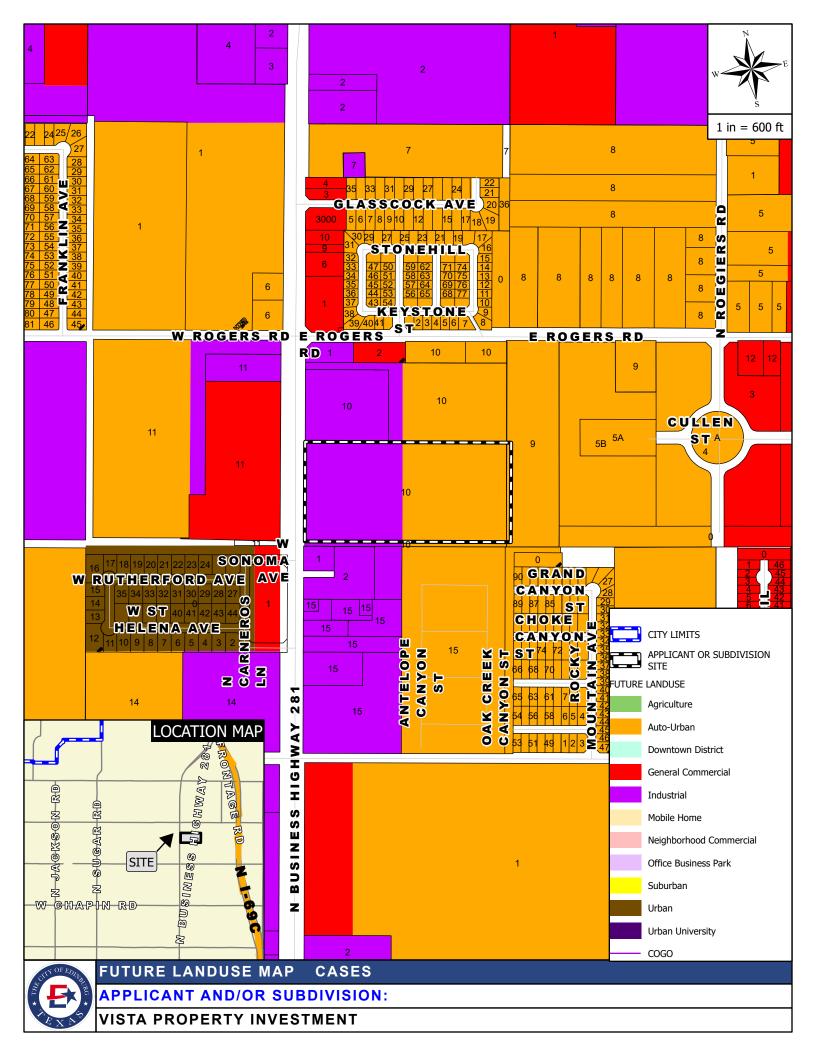
Future Land Use Map

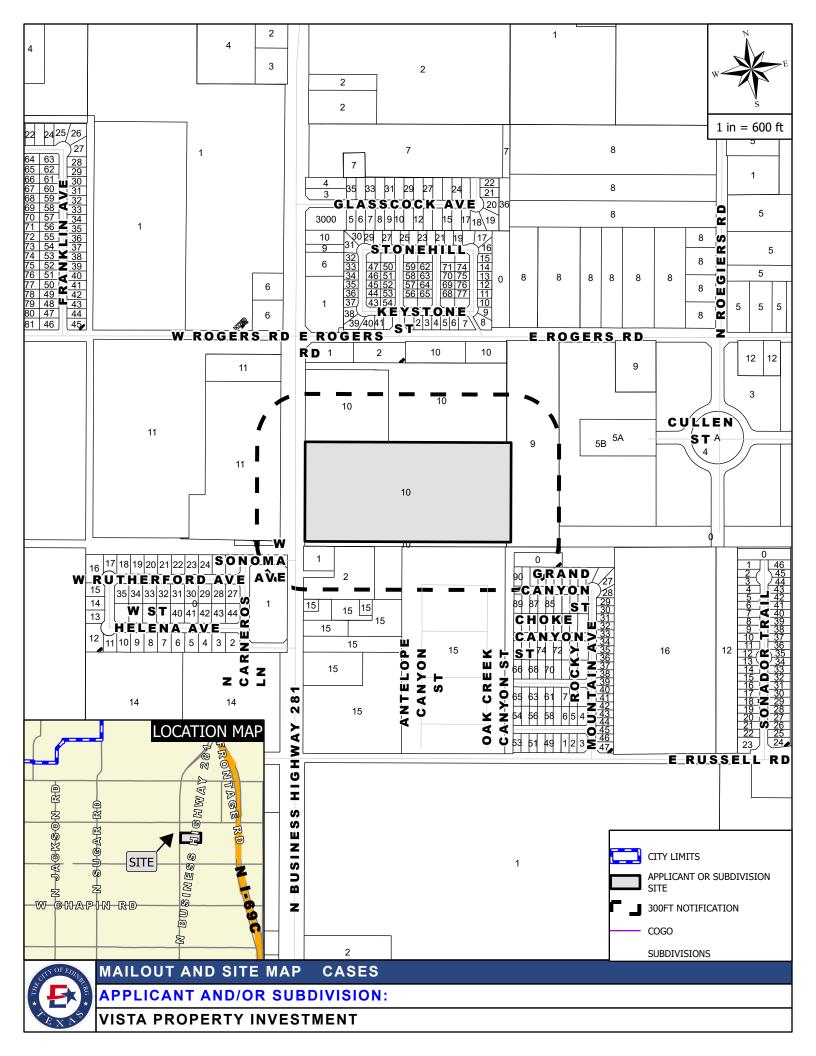
Photo of Site Exhibits











Planning & Zoning

415 West University Drive Edinburg, Texas 78539 (956) 388-8202



Zone Change Application

ENERGOV CASE # RZNE-2023-0114

Date: February 16, 2023
1. Property Owner (required): EIA PROPERTIES LTD 2. Phone: (956) 330-3850
3. Mailing Address: 506 E. Canton Rd.
4. City: Edinburg State: TX Zip: 78539
5. Owner's Email: mlopez@urbancitytx.com 6. Cell No. (956) 330-3850
7. Agent (not owner): Vista Property Investments, LLC 8. Agent's Phone: (956) 358-1212
9. Agent's Mailing Address: 601 Pecan Rd. Ste #180
10. City: McAllen State: TX Zip: _78501
11. Agent's Email: mlopez@urbancitytx.com
12. Address/Location being Rezoned: N. Business 281, 1,700 North of Russell Rd.
13. Legal Description of Property: 14. Property ID(s): 295824 A 18.623 ACRE TRACT BEING THE SOUTH 19.52 ACRES OF LOT 10, SECTION 244, TEXAS MEXICAN RAILWAY COMPANY'S SURVEY, HIDALGO COUNTY, TEXAS, AS PER MAP OR PLAT THEREOF RECORDED IN VOLUME 1, PAGE 12, MAP RECORDS, HIDALGO COUNTY, TEXAS.
15. Zone Change: From: AO - Agriculture/Open Space To: RM - Residential, Multifamily & Urban
16. Existing Land Use: Agriculture
17. Reason for Zone Change: Multi-Family Development
MARCO LOREL
(Please Print Name) Signature
REVIEWED BY DATE RECEIVED 2 23 23 23
*INCOMPLETE APPLICATIONS WILL NOT BE PROCESSED OR SCHEDULED EVEN IF PAYMENT IS MADE.

ZONING CASE OWNER NOTIFICATION LIST

DGV LP 1220 NORTHGATE LN MCALLEN, TX 78504-9556

KONETI SRAVAN KUMAR & LIZ JANNET ALMANZA GARCIA 1321 CHESHIRE COURT

PROSPER, TX 75078-0798

WW ESCONDIDO LP 201 W HILLSIDE STE 7 LAREDO, TX 78041-6905

RGRM INVESTMENTS LLC 2605 N CLOSNER BLVD EDINBURG, TX 78541-2598

BIC DEVELOPMENT CORP 3910 W FREDDY GONZALEZ DR EDINBURG, TX 78539-9308

GARZA RICHARD A 3910 W FREDDY GONZALEZ DR EDINBURG, TX 78539-9308

KATZ DAVID & ROSA E 3920 WOODLEIGH ST HOUSTON, TX 77023-1622

RICHMOND PARK LLC 40 VARDA LANDING RD SAUSALITO, CA 94965-1417

CANTU RUBEN 401 GRAND CANYON ST EDINBURG, TX 78542

GUTIERREZ ROBERTO RUBEN JR 4012 WHITEWING AVE EDINBURG, TX 78539-4579

TOVIAS JOSE LUIS III ET AL 405 GRAND CANYON ST EDINBURG, TX 78541 VILLANUEVA GERARDO JR 409 GRAND CANYON ST EDINBURG, TX 78541

DIAZ OSCAR JR 413 GRAND CANYON ST EDINBURG, TX 78542

SUAREZ ZEBEDEE & ADELA GAMEZ 417 GRAND CANYON ST EDINBURG, TX 78541

DILLARD WILLIAM SCOTT 4205 LEBANON LN EDINBURG, TX 78539-7748

LUBIN LORENA 422 E ROGERS RD EDINBURG, TX 78541-7887

MARTIN KENNETH & ERIKA 501 GRAND CANYON ST EDINBURG, TX 78541-0776

RODRIGUEZ DESIDERIO LEE 505 GRAND CANYON ST EDINBURG, TX 78541-0776

VILLEGAS ROBERT & NICOLE D 509 GRAND CANYON ST EDINBURG, TX 78541-0776

GAYA CARLOS YAMIL 517 GRAND CANYON ST EDINBURG, TX 78541-0776

WESTWIND DEVELOPMENT GP RGV LLC PO BOX 112 WESLACO, TX 78599-0112

EIA PROPERTIES LTD PO BOX 118 EDINBURG, TX 78540-0118

HIDALGO CO IRRIGATION DIST #1 PO BOX 870 EDINBURG, TX 78540-0870

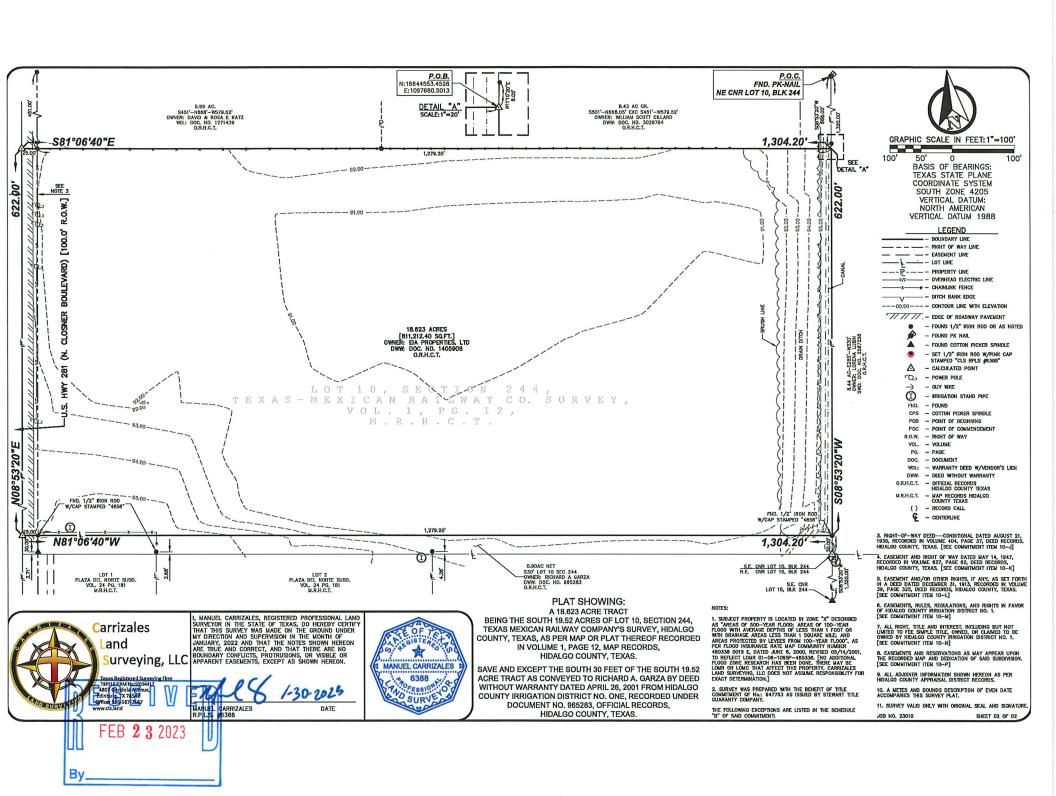


415 West University Drive Edinburg, Texas 78539 (956) 388-8202 https://cityofedinburg.com



NO RESPONSES TO LEGAL NOTICE FOR REZONING AT **2600 NORTH CLOSNER BLVD** HAD BEEN RECEIVED WHEN THIS PACKET WAS PREPARED.











STAFF REPORT: AMIG HEIGHTS SUBDIVISION

Date Prepared: February 20, 2023 Planning and Zoning Meeting: March 14, 2023

Preliminary Plat Approval

Subject: Consider the Preliminary Plat approval of **AMIG HEIGHTS Subdivision**,

being a 3.24 - acre tract of land out of Lot 27, Kelly-Pharr Subdivision, located

on Wisconsin Road, as requested by HLG Plan Services.

Location: The property is located on the south side of Wisconsin Road, and west of US

Business 281 (Closner Blvd), within the City of Edinburg's City Limits.

Zoning: Property zoning is currently zoned as Agricultural District (AG), with

proposed Residential Primary District.

Setbacks: UDC Setbacks for Residential Primary District, Setbacks; Front 20-ft., Side

6-ft., and Rear 20-ft

Analysis: The Preliminary Plat development of **32** Residential lots.

Utilities: Propopsed Water Distribution and Sanitary Sewer Collection Systems, can

utilized and connect to an existing City of Edinburg water and sewer systems.

All utility improvements within the proposed subdivision that are not limited to water system, sewer system, curb & gutter, and fire hydrants will be installed by the developer in accordance with the approved 2021 Standards

Manual.

Recommendations:

City of Edinburg Planning & Zoning Department:

Staff recommends approval of the Preliminary Plat, subject to compliance with the Unified Development Code, General Notes; on FEMA flood zone, zoning, setbacks, finish floor elevation, benchmark, drainage detention, parkland fees, limited access, SWP3 requirements, sidewalks, and other notes as required based on development.

City of Edinburg Engineering / Utilities Department:

Preliminary Phase Submittal comments for this subdivision are included in the packet. As per Engineering, the plat shall be Preliminarily Approved until all comments have been addressed by the project engineer.



ENGINEERING DEPARTMENT

Preliminary Staff Review

February 22,2023

Homero L. Gurtierrez, P.E.

HGL Plan Review Services P.O. Box 548 McAllen, TX 78505 (956) 369-0988

RE: AMIG HEIGHTS SUBDIVISION-PRELIMINARY REVIEW

Mr. Gutierrez,

Attached are the Preliminary Phase Submittal comments for Amig Heights Subdivision. Submittal is adequate as presented and recommended for preliminary approval.

Any questions feel free to contact us.

Digitally signed by Peter

Thanks,

Date: 2023.03.02 13:23:13 -06'00'

Peter Hermida, P.E.

Email: phermida@cityofedinburg.com

Hermida

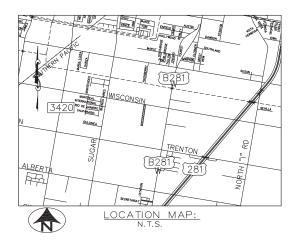
415 W. University Drive Edinburg, Texas 78539

Cc: Mardoqueo Hinojosa, P.E., CFM, City Engineer, Patrizia Longoria, P.E., Engineer III, Roberto Hernandez, CFM, Engineer II, Abel Beltran, Planner I, Vince Romero, Director of Public Works, Robert Valenzuela, Storm Water Specialist, Jaime Acevedo, Director of Planning and Zoning, Rita Lee Guerrero, Management Analyst, Jaime Xavier Ayala, Planner II, Gerardo Carmona P.E., Director of Utilities, Jose Flores, Systems Superintendent, Omar Garza, Fire Marshal, Ramiro

Gomez, Director of Solid Waste

REFERENCES:

City of Edinburg – 2021 Standard Manual – Construction and Development Requirements; Unified Development Code; and if required a TX-Dot Permitting UIR permitting process.





PROJECT CONTACTS:

CIVIL ENGINEERING FIRM:

HLG PLAN REVIEW SERVICES HOMERO L. GUTIERREZ. P.E., OWNER P.O. Box 548, McAllen, Texas 78505 Tel: 956-369-0988 TBPE Firm Licensed No. F-10426

AMIG HEIGHTS

NOTE:

CONTRACTORS SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES FOUND ON THESE SET OF DRAWINGS, PRIOR TO ANY CONSTRUCTION.

SUBDIVISION

COVER SHEET:

1 COVER & INDEX SHEET

SUBDIVISION PLAT:

2 SUBDIVISION PLAT

CIVIL & CONSTRUCTION PLANS:

3 EXISTING TOPOGRAPHICAL SURVEY MAP 4 WATER IMPROVEMENTS

5 SANITARY SEWER IMPROVEMENTS

6 PAVING & DRAINAGE IMPROVEMENTS

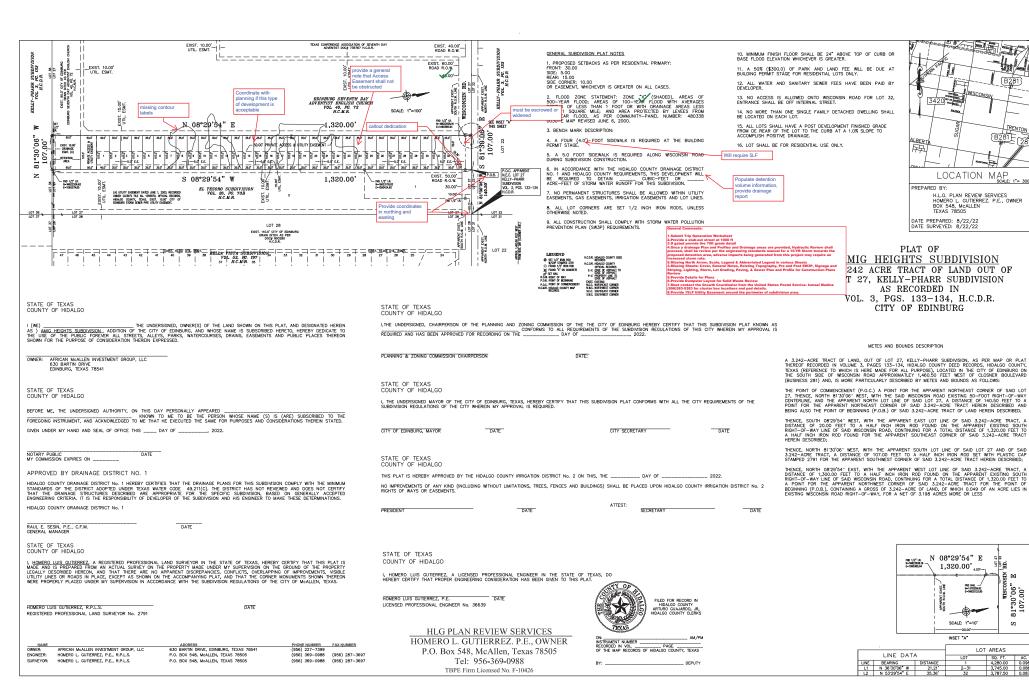
7 EROSION CONTROL PLANS

8 LIGHTING PLAN

HLG PLAN REVIEW SERVICES HOMERO L. GUTIERREZ. P.E., OWNER

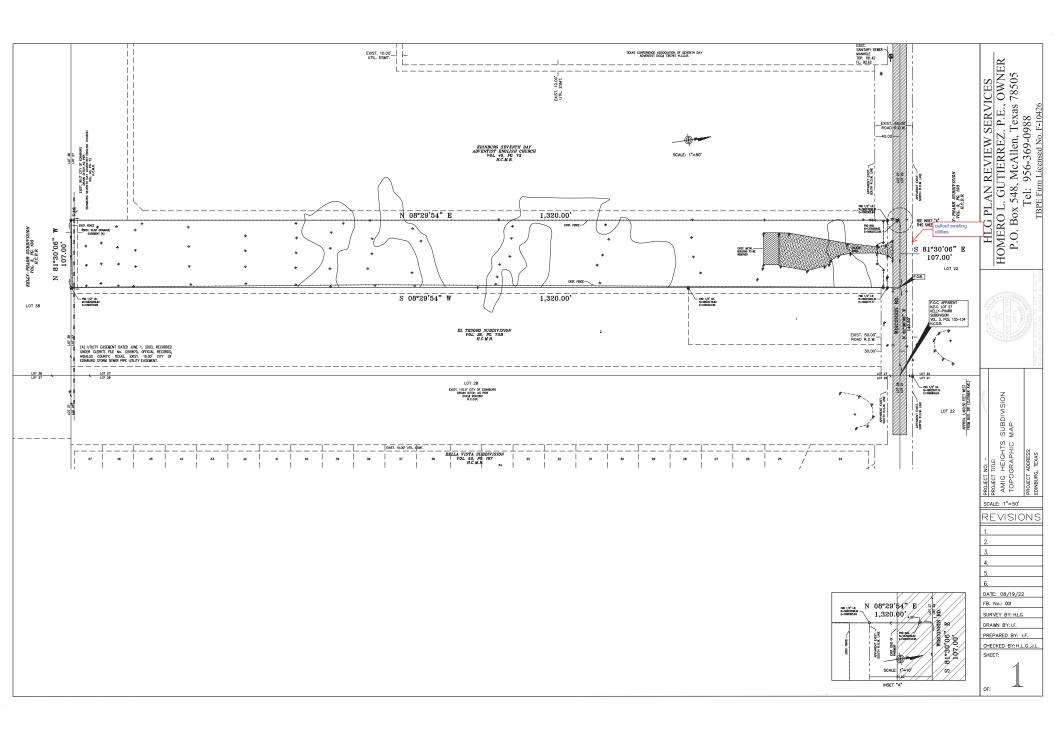
P.O. Box 548, McAllen, Texas 78505 Tel: 956-369-0988

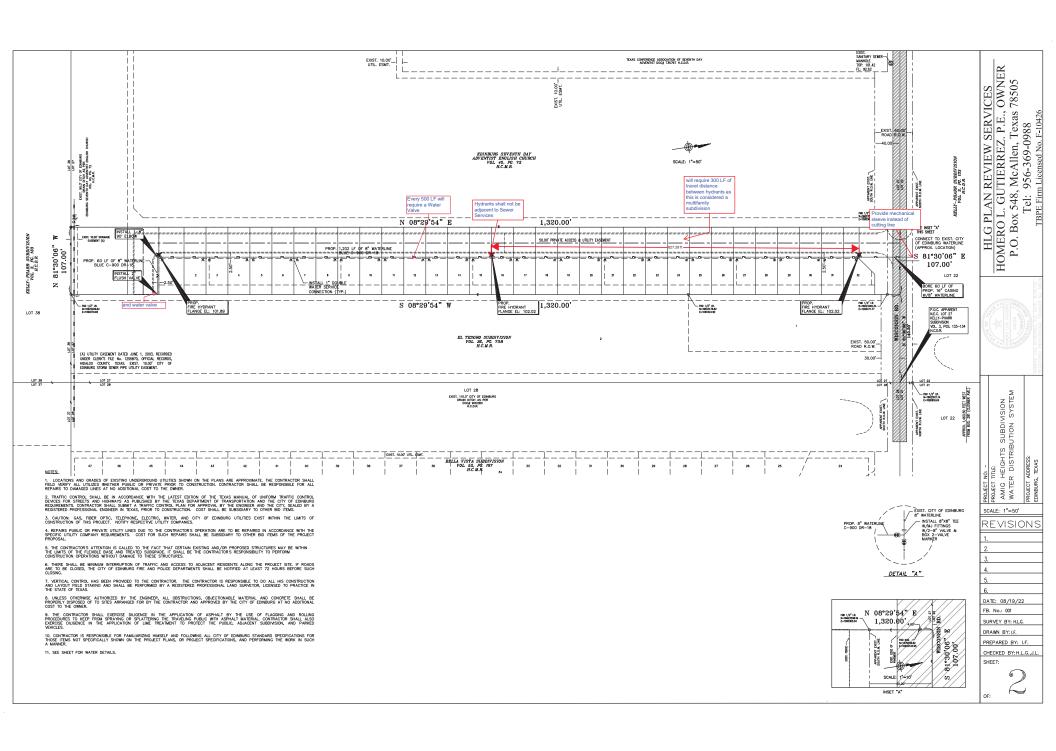
TBPE Firm Licensed No. F-10426

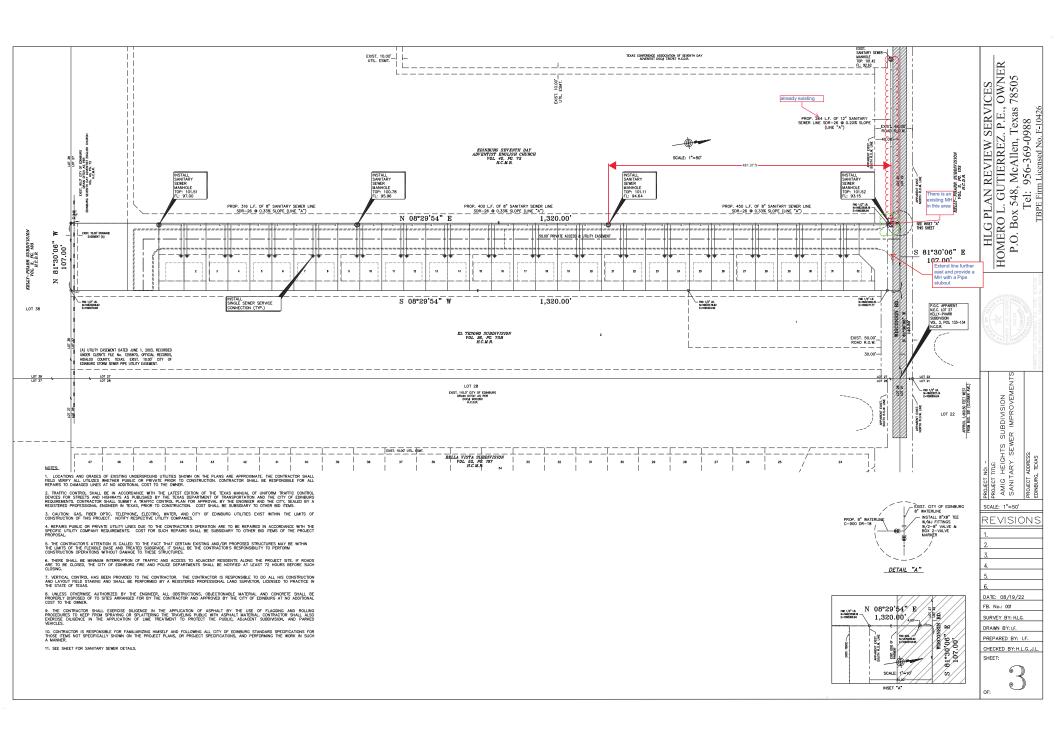


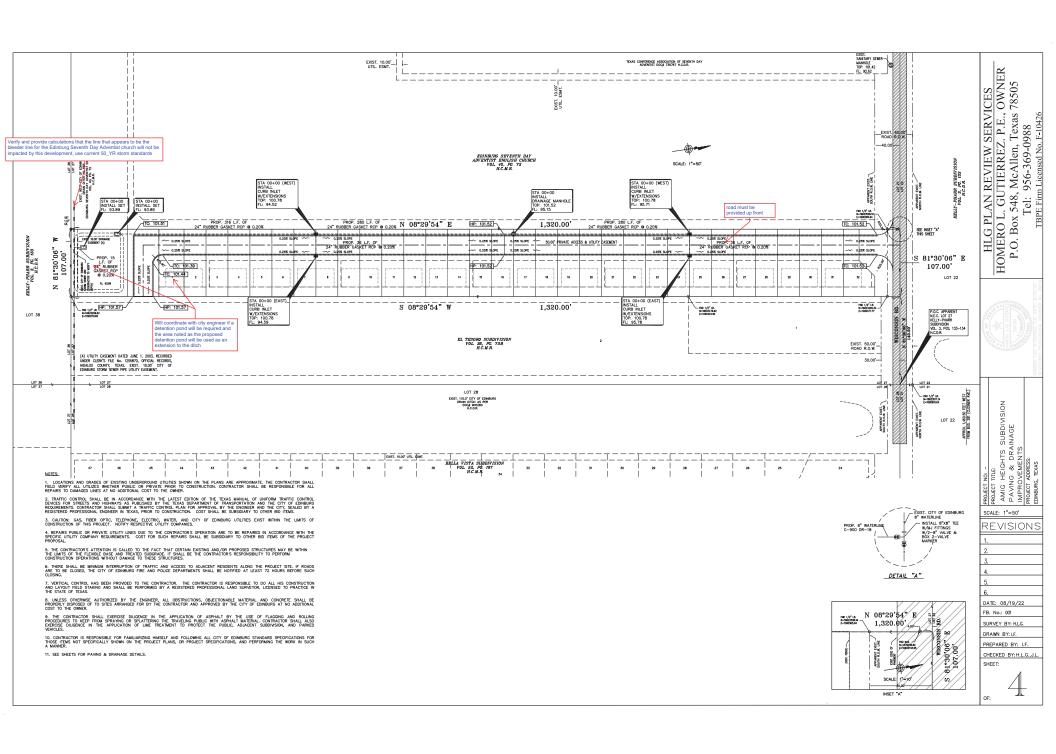
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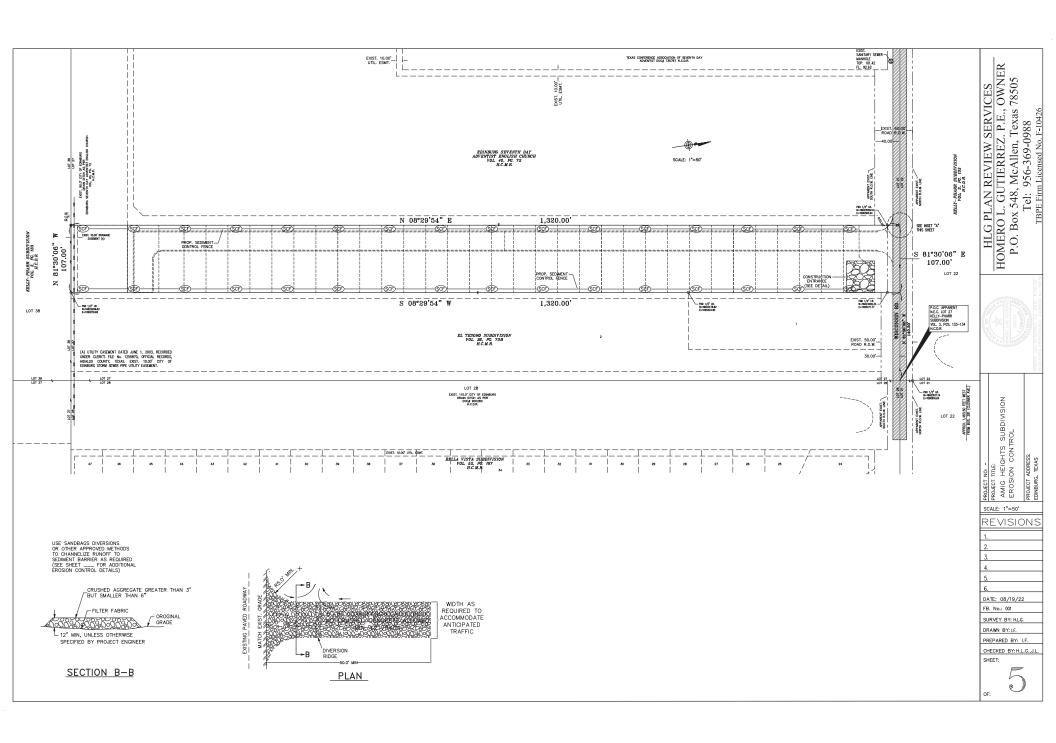
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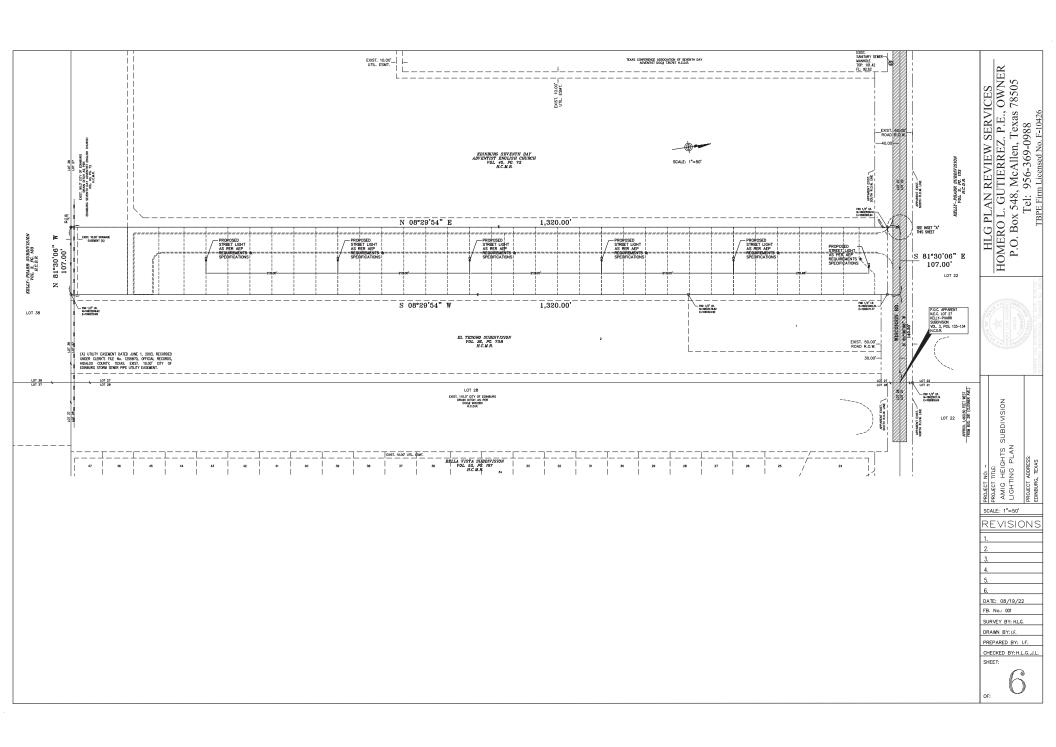














To: Adam Elizondo, Planning & Zoning, City of Edinburg

Homero L. Gutierrez, P.E., HLG Plan Review Services

From: Robert Valenzuela, Stormwater Manager

Date: February 21, 2023

Subject: Amig Heights Subdivision

Stormwater

Amig Heights Subdivision 3.242 Acres

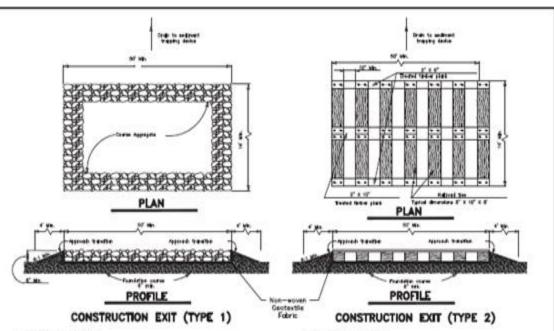
As of July of 2022, New Stormwater Standards will now be enforced.

Required Information

- *The following items are required by TCEQ and the City of Edinburg. Please Submit the following at your earliest convinces.
- 1. Small Construction Notice (Per TCEQ Inventory)
- Detailed Erosion Control Plan (Silt Fence, Construction Entrance, Inlet Protection, Concrete Washout)
- Detailed Post Construction BMP Plan (Silt Fence back of Curb, Example Attached)
- 4. Plat Note (All construction shall comply with Stormwater Pollution Prevention Plan (SW3P) requirements. Erosion and Sedimentation Controls constructed in accordance with the Stormwater Ordinance 98.30 of the City of Edinburg are required for all construction on each lot including single family and duplex/multifamily construction)

Comments

- Small Construction Notice needs to be submitted with contractors contact information
- New Stormwater Standards (BMPs) need to be placed within the Erosion Control on the final plans, (Please get with Engineering for cad files)
- All BMPs need to be identified on the Erosion Control
- Post Construction Plans need to be submitted with Final plans
- Please email pending items to rvalenzuela@cityofedinburg.com



GENERAL NOTES

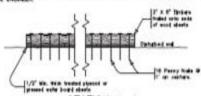
- THE LENGTH OF TWE I CONSTRUCTION ENT SHALL BE AS INDICATED ON THE PLANS, BUT NOT LESS THAN SO.

 BUT NOT LESS THAN SO.

 THE CONNER AGRICULTE SHOULD BE OFFIN GRADED WITH A SIZE OF 4" TO S".

 THE APPROACH TOWERS DON'S SHOULD BE NO STEEPER THAN BY AND CONSTRUCTED AS CHRESTED BY THE BURNESS.

 THE CONSTRUCTION OF IT FOUNDATION COURSE SHALL BE PLEASURE BASE, BITAMHOUS DON'S PROPERTY CONSTRUCTED BY THE DESIGNATION OF THE TOWN CONSTRUCTION OF THE PLEASURED TO A SEDMONT TRAPPING OFFICE BY THE DESIGNATION OF THE PLEASURED BY THE GENERAL SHOWN HEREOM ARE SUGGESTIONS ONLY AND MAY BE MODIFIED BY THE ENGINEER.



SECTION A-A

CONSTRUCTION EXIT (TYPE 3)

GENERAL NOTES

- THE LENGTH OF THE 3 CONSTRUCTION DUT SHALL BE AS INDICATED ON THE PLANS, OR AS DIRECTED BY THE ENGINEER.

 THE THE 3 CONSTRUCTION ACCESS/EXIT MAY BE CONSTRUCTED FROM OFTEN GRADED CRUSINES STOKE WITH A STEEL OF 2" TO 4" SPREAD AND A MIN. OF 4" THEN TO THE LIMITS SHOWN ON THE FRANS.

 THE SPACES THIS PRINCE PLANS.

 THE SPACES THIS PRINCE SHALL BE 40 GRADE MIN. AND SHOULD BE FREE FROM LANCE AND LOGIC NOTE.

 THE CUBELINES SHOWN HOTEON ARE SUGGESTIONS ONLY AND MAY BE MODIFIED BY THE CHIRALER.

GENERAL NOTES

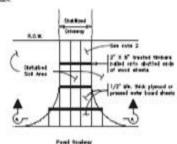
- THE LEWITH OF TWISE 2 CONSTRUCTION DUT SHALL BE AS INSECRITED ON THE PLANS, BUT NOT LESS THAN 50.

 THE TERRITE THREE PLANS SHALL BE ATTACHED TO THE RALFORD TES WITH 1/2 x 5° MIS. LAG BOLTS. OTHER FASTENCES MAY BE USED AS APPROVED BY THE DIVARIES.

 THE TERRITE THREE PLANS SHALL BE AS GRADE MIN. AND SHOULD BE STREE FROM LANCE AND LOOKE NOTS.

 THE APPROVED THREE PLANS SHALL BE AS GRADE MIN. AND SHOULD BE STREET FROM LANCE AND LOOKE THAN 51 AND CONSTRUCTED.

 AS LONGETTED OF BUT FOUNDATION COURSE SHALL BE TADBREE BASE, BITAINFOUS TO CONSTRUCTED AND CONSTRUCTED AND CONSTRUCTION COURSES THAT THE ADMINISTRATION OF SHALL BE GRADED TO ALLOW GRAPHAGE TO A SERVICULT THE CONSTRUCTION DUT'S SHALL BE GRADED TO ALLOW GRAPHAGE TO A SERVICULT STREET AND CONSTRUCTION DUT'S SHALL BE GRADED TO ALLOW GRAPHAGE TO A SERVICULT STREET AND CONSTRUCTION DUT'S SHALL BE GRADED TO ALLOW GRAPHAGE TO A SERVICULT STREET AND CONSTRUCTION DUT'S SHALL BE GRADED TO ALLOW GRAPHAGE TO A SERVICULT STREET AND CONSTRUCTION DUT'S SHALL BE GRADED TO ALLOW GRAPHAGE TO A SERVICULT STREET AND CONSTRUCTION OF THE DIVINE SHOW HEREON AND SUSSECTIONS ONLY AND MAY BE MOCIFIED BY THE BLOCKED.



PLAN

FILTER FABRIC NON-WOVEN GEOTEXTILE FABRIC

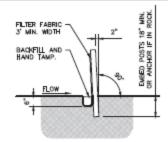
6 MIN. FABRIC WEIGHT OZ/SY PERMITTATY 1/900 0.5 MN TENSILE STRENGTH 200 MIN. 80-120 1.05 APPARENT OPENING SIZE ELONGATION AT HELD SIEVE NO. 20-100 TRAPEZOIDAL TEAR

STW-5

TEMPORARY EROSION CONTROL CONSTRUCTION ACCESS/EXIT

SCALE: N.T.S.	REMSED: I.P./AC						
DATE: MAY, 2022	DRAWN BY: RMM						





SECTION A-A

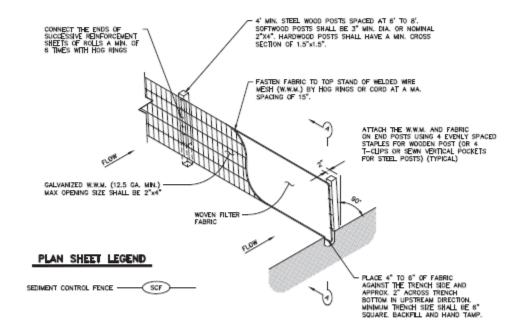
GENERAL NOTES

 THE GUIDELINES SHOW HEREON ARE SUGGESTIONS ONLY AND MAY BE MODIFIED BY THE ENGINEER.

SEDIMENT CONTROL FENCE USAGE GUIDELINES

A SEDIMENT CONTROL FENCE MAY BE CONSTRUCTED NEAR THE DOWNSTREAM PERIMETER OF A DISTURBED AREA ALONG A CONTOUR TO INTERCEPT SEDIMENT FROM OVERLAND RUNDER. A 2 YEAR STORM FREQUENCY MAY BE USED TO CALCULATE THE FLOW RATE TO BE FILTERED.

SEDIMENT CONTROL FENCE SHOULD BE SIZED TO FILTER A MAX. FLOW THROUGH RATE OF 100 GPM/FT--SEDMENT CONTROL FENCE IS NOT RECOMMENDED TO CONTROL EROSION FROM A DRAINAGE AREA LARGER THAN 2 ACRES.

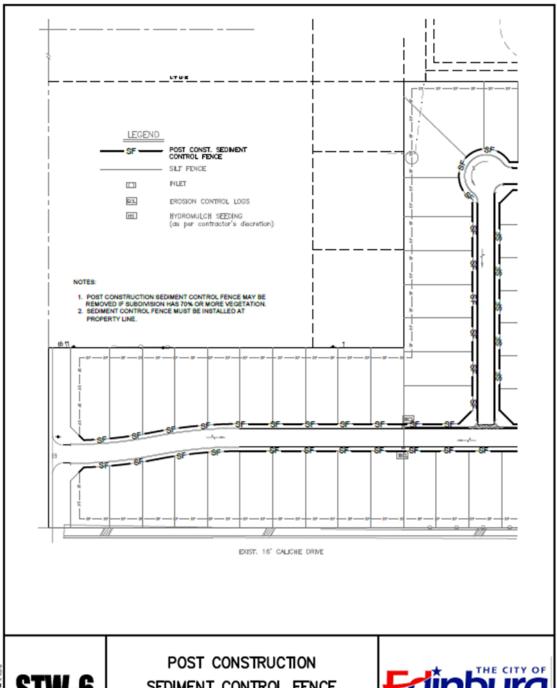


STW-2

TEMPORARY SEDIMENT CONTROL FENCE - DETAILS

	REVISED: I.P./AC
DATE: MAY, 2022	DRAWN BY: RMM



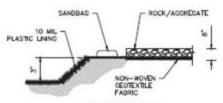


STW-6

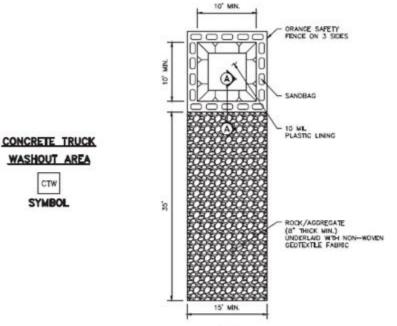
SEDIMENT CONTROL FENCE

SCALE: N.T.S.	REVISED: I.P./AC						
DATE: MAY, 2022	DRAWN BY: RMM						





SECTION A-A



- 1. VERBALLY INSTRUCT THE CONCRETE TRUCK DRIVERS WHERE THE PIT IS AND TO WASHOUT THEIR TRUCKS IN THE PIT AND NOWHERE ELSE.

 2. UPON THE CONCRETE SETTING UP (CURRIC, DRYNIC OUT), THE CONCRETE WASTE SHALL BE REMOVED FROM THE PROJECT SITE AND DISPOSED OF PROPERLY BY THE CONTRACTOR. AFTER REMOVAL OF THE CONCRETE WASTE, THE WASHOUT PIT SHALL BE FILLED WITH CLEAN FILL MATERIAL AND COMPACED TO N—SITU CONCITIONS, OR AS DIRECTED BY THE PROJECT SPECIFICATIONS.

 3. CONCRETE WASHOUT PITS SHALL NOT SELECATED DIRECTLY ADJACENT TO, NOR AT ANY TIME DRAIN INTO THE STORM SEWER SYSTEM OR ANY OTHER SWALE DITCH, OR WATERWAY.

 4. CONSTRUCT ENTRY ROAD AND BOTTON OF WASHOUT AREA TO SUPPORT EXPECTED LOADINGS FROM TRUCKS EQUIPMENT.

 5. FILTER FABRIC NON-WOVEN GEOTEXTILE FABRIC
 FABRIC WORN-WOVEN GEOTEXTILE FABRIC
 FABRIC WORN-WOVEN GEOTEXTILE FABRIC
 FABRIC WORN-WOVEN GEOTEXTILE FABRIC
 TENSILE STRENGTH

 LBS

 200 MIN.
 APPARENT OPENING SIZE SIEVEN

 80—120
 ELONGATION AT TIELD

 X

 20—100

PLAN

0.5 MN. 200 MN. 80-120 20-100 75 MN. TENSILE STRENGTH
APPARENT OPENING SIZE
ELONGATION AT YIELD
TRAPEZODAL TEAR LBS

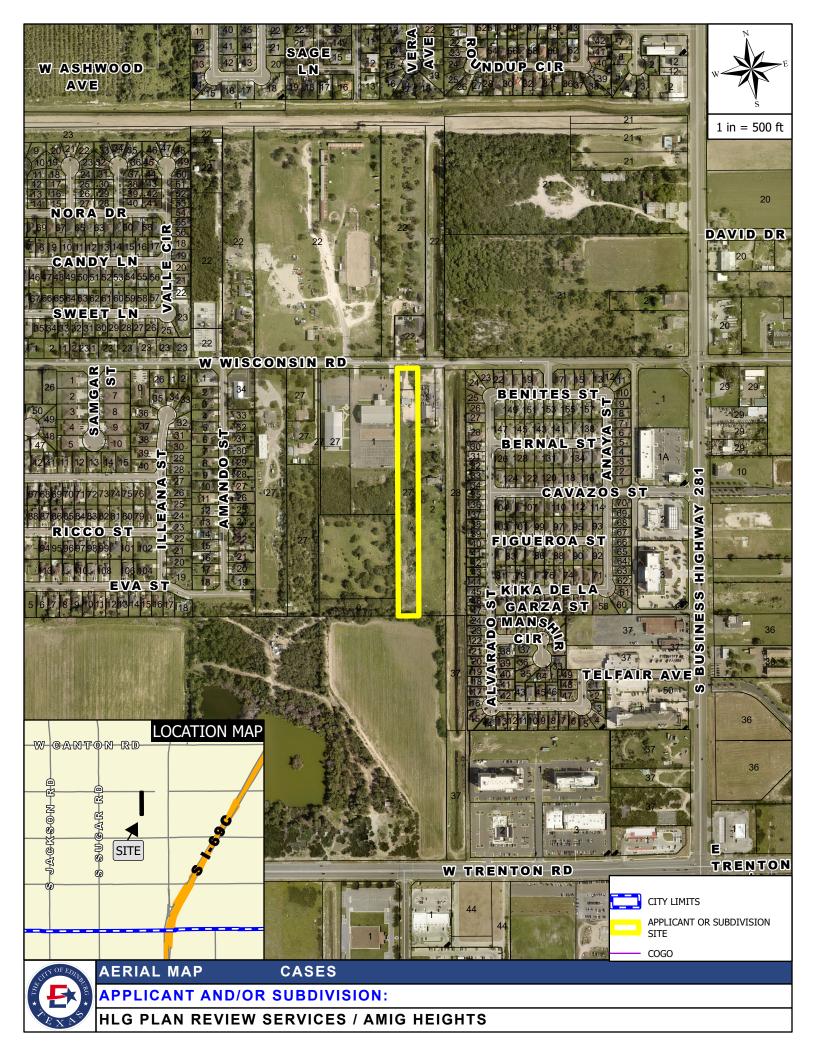
CTW

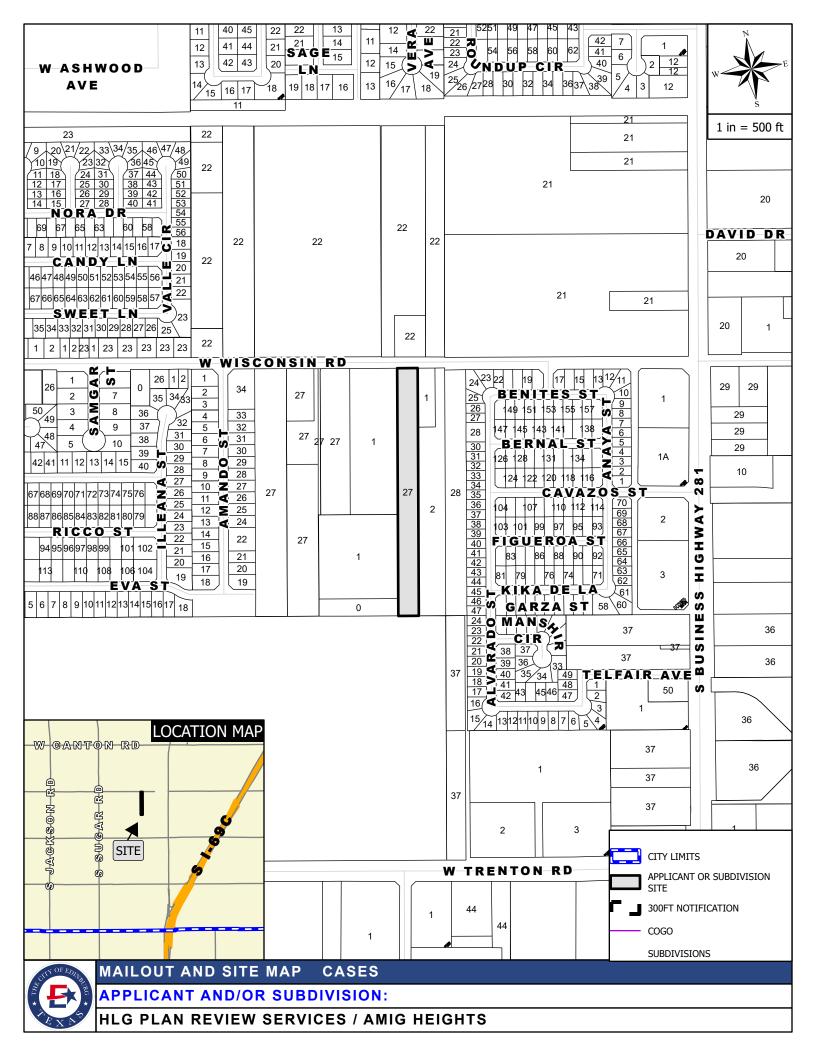
STW-8

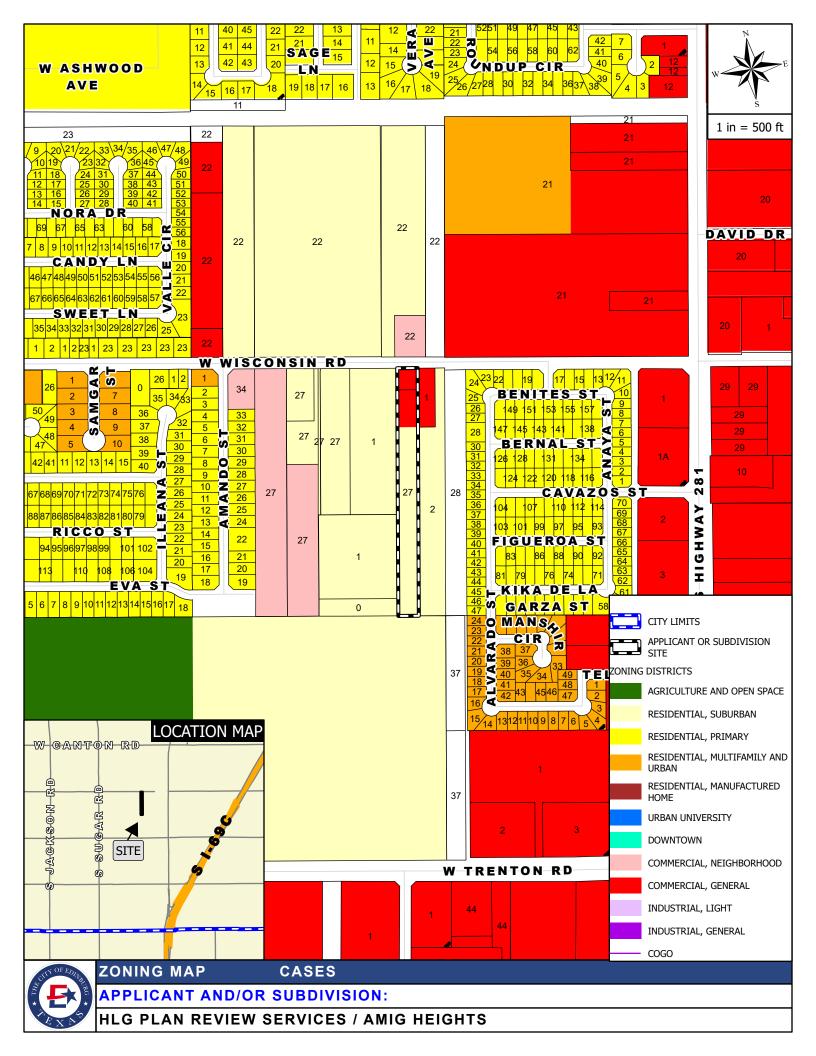
CONCRETE TRUCK WASHOUT AREA

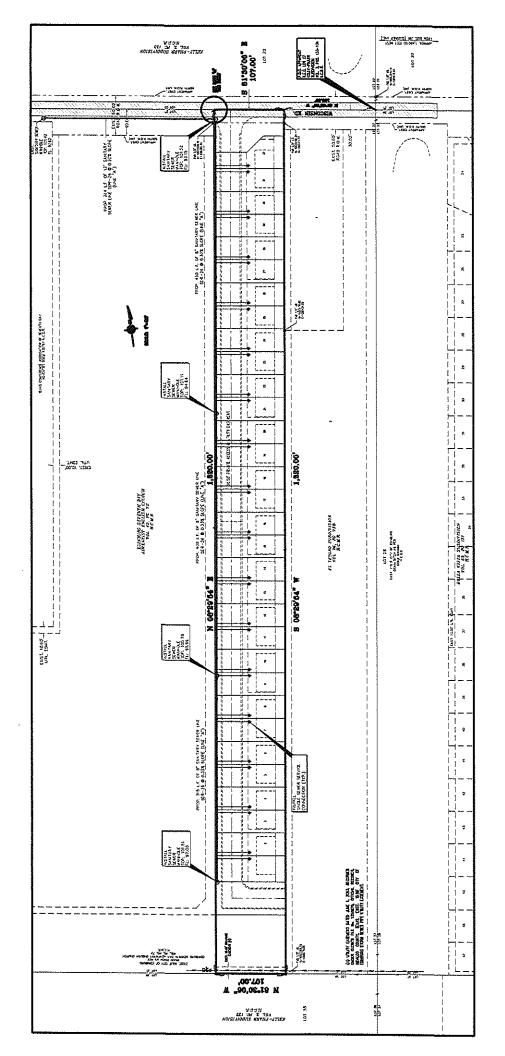
SCALE: N.T.S.	REVISED: I.P./AC
DATE: MAY 2022	DRAWN BY: RMM











Planning & Zoning

415 West University Drive Edinburg, Texas 78539 (956) 388-8202



Subdivision Application

ENERGOV CASE # PLAT-2023-0160

Date:	December 8, 2022	Request Type	: Preliminary Plat	Final	Plat				
1. Exa	ct Name of Subdivision: AMiG	HEIGH	HTS	~~~					
2. Pro	perty Owner: AMIG GRO	COP	3. Developer:	mega	Developmen	57			
4. Ow	ner Phone: <u>956 - 227 - 73</u>	99	5. Owner Email: Acc	×9275	e yahoo. Con	n			
6. Ow	ner Address: 3525 W. PRE	DDY G	MZALEZ DR. 8	BTE.B., 8	EDINBURG 785	3			
7. Cur	rent Zoning: RP - Residential, Primary		8. Required Zoning						
9. Leg	A 3.242-ACRE TRACT MAP OR PLAT THERE DEED RECORDS		T OF LOT 27, KELLY-P D IN VOLUME 3, PAGE						
			10	. Property ID:	20183Le				
11. Ins	side City Limits? Yes If "No								
12. Pri	mary Consulting Firm: HLG PLAN RE	VIEW SERVIC	ES 13.1	Phone: <u>(956)</u>	369-0988				
14. Co	nsulting Firm Address: PO Box 548 M	cAllen Texas 7	8505						
15. Co	nsulting Firm Email(s): homero_guti	errez@sbcglol	oal.net / ifernandez@lar	ıd-mark-serv	ices.com				
16. De	sired Land Use Option: Single Family	/							
17. Nu	ımber of Lots: Single Family 32	_ Multi-Family	Commercia	al	Industrial				
18. Pr	oposed Wastewater Treatment:	Sanitary Sew	er OSSF (On-Si	ite Sewage Fa	cility)				
19. Ele	ectric Power and Light Company to Serv	e the Proposed	Subdivision: AEP (Ce	ntral Power 8	և Light)				
20. lrr	igation District: Hidalgo County No.	2 Pota	able-water Retailer: _ Ci	ty of Edinbur	g				
	of record, holding title to real estate within the hall be submitted with application. All such own	•		. Title Policy, Wa	irranty Deed and Deed of				
	e(s) (Print or Type)		Mailing Address & Zip (Code		0			
Phon	e Number		Email						
Have a	any of said owners designated agents to	o submit and re	vise this plat application	on their beha	alts XV	17			
standar Commis to ensu be com	dersigned owners of record (or their authorized ds as specified in the City of Edinburg Code of Cossion and the City Commission approve the attaine that all items contained in this application (in pleted, signed, and submitted with the application)	agents) hereby agr Ordinances. The und ched subdivision pl Ircluding all constru	dersigned hereby request that at. The undersigned hereby d	ents, and to mee the Edinburg Pla eclared that we l	t all the requirements and anning & Zoning have made a diligent effort				
Signat	aure A. Mouhos	Devi	Date 12-14	-2022					



PLANNING & ZONING DEPARTMENT

Inter-Gov 2023-0160 PLANNING & ZONING DEPARTMENT (956) 388-8202	SUBDIVISI				CHECK LIST	PRELIMINARY APPROVAL Date: March 7, 2023						
PLANNING & ZUNING DEPARTMENT (950) 300-0202		PORDIA	ISION P	ROCESS		Date : March 7, 2023						
Date P&Z Filed: January 13, 2022 Preliminary:	Ma	ırch 14, 2	.023	P&Z Final:			City Council:					
Reviewed : Staff Review By: Abel Beltran, Subd. Coor. abeltran@cityofedinburg.com	er: Feb	ruary 16, ruary 23, ances Rec	2023	30-Day	ne Line : 365 Prelim : 30 tension : 0	_ Days _ Days _ Days	Expires : Approval : Expires 2:	January 13, 2023 February 12, 2022				
Director of Planning & Zoning Director of Utilities Director of Public Works Director of Engineering Jaime Acevedo, Gerardo Carmon Vincent Romero Mardoqueo Hino	na, P.E.	CPM	Email : Email : Email :	gcarmo layala@ mhinoj	do@cityofedinb ona@cityofedinb @cityofedinbur osa@cityofedin	ourg.com g.com	City Office #: City Office #: City Office #:	(956) 388-8202 (956) 388-8212 (956) 388-8210 (956) 388-8211				
AFRICAN McALLEN INVESTMENT GROUP, LLC.		630 Bı	urtin, Ed	inburg, T		<u> </u>		., Project Engineer				
AMIG HEIGHTS SUBDIVISION	<u> </u>			Cor	nsultant : HLG P l	LAN REVIEW S	ERVICES, Ir	nc, McAllen, TX.				
DESCRIPTION	Provided	Need to Provide	Not Applicable	Need to Revise		COM	MENTS					
Subdivision Process:		1	•									
Subdivision Plat Submittal January 13, 2023	٧				30 DAY	APPROVAL		February 12, 2023				
Warranty Deed	٧											
Topography Survey	٧											
Drainage Report Submittal (As Per City Drainage Policy)	٧				Approved by H.C.	.D.D.#1	Date:	Pending Approval				
Zoning : City Limits - ETJ	٧											
Flood Zone	٧											
Preliminary Submittals:			,									
Existing & Proposed Water Distribution Layout	٧	ļ			City of Edinburg V	Vater Suppy Dist	ribution Systen	n (CCN)				
Water Distribution System Provider:	٧				City of Edinburg V	g Water Suppy Distribution System (CCN)						
Existing & Proposed Sewer Collection Layout	٧				City of Edinburg S	ourg Sanitary Sewer Collection System (CCN)						
Sanitary Sewer Collection System Provider:	٧				City of Edinburg S	f Edinburg Sanitary Sewer Collection System (CCN)						
Existing and Proposed Drainage Layout System:	٧				Proposed Drainag	oposed Drainage System onto H.C.D.D. #1						
Principal Arterial Street Right-of-way Dedication	٧				Street Section (Existing Original Plat Street Section -57-ft B-B)							
Principal Arterial Street Pavement Section (80-ft ROW) (57-ft)	٧				In Accordance to	In Accordance to Standard Street Policy (Road)						
Variances Appeals Request: 2023		٧			Planning & Zo	oning Meeting	Results	City Council Meeting				
Street Widening Improvements (Wisconsin Road)		٧										
Street 5-ft Sidewalk Improvements (Wisconsin Road)		٧										
		٧										
Construction Plans Review Submittals: (Se	e Section 4	Constr	uction l	Plans Su	bmittals Policy	, 2014 STANDA	ARD POLICY	MANUAL)				
Cover Sheet		٧										
Topography Sheet (Utilities, Bench Marks)		٧										
Sanitary Sewer Improvements: On-Site & Off-Site		٧			City of Edinburg S	Sewer Collection	System (CCN)					
Sanitary Sewer Detail Sheets		٧			See Section 3 Uti	lity Policy, 2014	Standard Policy	/ Manual				
Water Distribution Improvements: On-Site & Off-Site		٧			City of Edinburg V	Water Suppy Distribution System (CCN)						
Water Distribution Detail Sheet (Fire Hydrant Assembly)		٧			See Section 3 Uti	n 3 Utility Policy, 2014 Standard Policy Manual						
Drainage Improvements:		٧										
Drainage Detail Sheets		٧			See Section 1 Dra	Drainage Policy, 2014 Standard Policy Manual						
Principal/Major Arterial Streets Improvements:		٧			See Section 2 Str	Section 2 Streets Policy, 2014 Standard Policy Manual						
Street Sign Sheet:		٧										
Street Detail Sheets		٧			See Section 2 Str	eets Policy, 2014	Standard Poli	cy Manual				
Street Lighting Sheet:		٧										
Traffic Control Plan:		٧										
Erosion Control Plan		٧										
Erosion Control Plan Detail Sheet		٧			See Storm Water	Management, 20	14 Standard P	olicy Manual				

AMIG HEIGHTS SUBDIVISION Page 1 of 2

DESCRIPTION	Provided	Need to Provide	Not Applicable	Need to Revise	COMMENTS								
Pre-Construction Meeting:													
Notice To Proceed				٧			Dated:						
Roadway Open-Cut or Bore Permit Application	n			٧			Dated:						
TX-Dot Water UIR Permit	•••				٧		UIR:						
TX-Dot Sewer UIR Permit					V		UIR:						
N.O.I. Submittal				V			Dated:						
SWPP Booklet Submittal				٧			Dated:						
RFI #1 Request				٧			Dated:						
Change Orders				٧			Dated:						
Final Walk Though				٧			Dated:						
Punch List - 1st Draft				٧			Dated:						
				٧ ٧									
Punch List - Final				۷ ۷			Dated:						
Letter of Acceptance							Dated:						
1-year Warranty (Water/Sewer/Paving/Draina	ige)			√ √			Dated:						
Backfill Testing Results				 			Dated:						
As-Built (Revised Original Submittal)				٧			Dated:						
Recording Process:							D-44-				Fi		
Public Improvements with (Letter of Credit)	T.			٧			Dated:			01 1 60	Expires:		
Recording Fees	\$	106.00		٧				•		Clerks offic			
Copy of H.C.D.D. #1 of invoice	\$	250.00		٧					id pri	or to Final S	-		
Street Light Escrow	\$	-		٧				uired:		0	EA. @	\$	-
Street Escrow: (BURNS BLVD)	\$	-		٧				uired:		0	LF @	\$	-
Sidewalk Escrow: (5-ft.)(BURNS BLVD)	\$	-		٧			Red	uired:		0	LF @	\$	-
TOTAL OF ESCROWS:		•											
Total Developer's Construction Cost: (Letter	1	it)			٧		Date :				Lender:		
Laboratory Testing Fee: 3%	\$	-		٧			\$			-	ESTIMATE		
Inspection Fee: 2%	\$	-		٧			\$			-	ESTIMATE	D Constru	ıction Cost
Park Land Fees: Zone # 5	\$	-					0	Lots @	\$	-	Full rate with	nin the ET	J
32 Residential \$ 300.00	+ -	9,600.00		٧			50%	Developm	ent		50%	Buildin	g Stage
0 Multi-Family \$ -	\$	-			٧			Developm			50%	Buildin	g Stage
Water Rights: COE-CCN	\$	8,768.01		٧				.92	Acr	es		\$	3,000.00
Water 30-year Letter (Commercial)	\$	-			٧		0	Lots @	\$	-			
Water 30-year Letter (Single-Family)	\$	10,400.00		٧			32	Lots @	\$	325.00		COE-\	NATER - CCN
Sewer 30-Year Letter Service (4")	\$	2,080.00		٧			32	Lots @	\$	65.00		COE-S	SEWER - CCN
TOTAL OF FEES:	\$	30,848.01											
Reimbursements:													
Developer Sewer Improvements	\$	-			٧		 	System:		0.00	AC	\$	-
Developer Water Improvements	\$	-			٧		Off-Site	System		0.00	AC	\$	-
TOTAL OF REINBURSEMENTS:	\$	•											
Buyouts:				1		1	Ι						
North Alamo Water Supply Corporation	\$	-			٧			d Buyout		0.00	AC.	\$	-
Sharyland Water Supply Corporation	\$	-			٧		Require	d Buyout		0.00	AC.	\$	-
Tax Certificates		-		1			1						
County of Hidalgo / School District				٧									
Water District				٧			Hidalgo	County Irr	gatio	n District #	2		
Total of Escrows, Fees, Reimbursements and Buyouts:													
Escrows	Street	& Sidewa	lk Improv	ements f	or (Canton	Roa	d)						
Material Testing Fee Inspection Fees, Other	Material Testing Fee Inspection Fees, Other F \$ 30,848.01 Parkland Fees, Water Rights/Water & Sewer 30-year Agreements												
Reimbursements - 2022	\$		-	Reimbu	ırsement	to the De	eveloper	N/A					
2022 City of Edinburg					0% Payable to the City of Edinburg for Administrative Fee								
2022 To the Developer of Record	\$		-	0% Payable to the Developer of Record Owner / Developer									
Buyouts \$ -					Based on Subdivision (Need Request and Approval rate from SWSC/NAWSC Broads)								
TOTAL	Developer Total Cost of Fees, Escrows, Reimbursements & Buyouts												

AMIG HEIGHTS SUBDIVISION

Page 2 of 2



STAFF REPORT: LAS FUENTES HEIGHTS at RICON SUBDIVISION

Date Prepared: March 7, 2023 Planning and Zoning Meeting: March 14, 2023

Preliminary Plat Approval

Subject: Consider the Preliminary Plat approval of LAS FUENTES at RINCON

SUBDIVISION, being a 3.15- acre tract of land out of Lot 3, Block 1, A.J. McColl Subdivision, located south of Canton Road and east of Allen Drive,

as requested by SDI Engineering.

Location: The property is located on the south side of Canton Road, east of Allen Drive,

and is within the City of Edinburg's City Limits.

Zoning: Property zoning is currently zoned as Commerical, Neighborhood District,

with proposed Residential, Multi-Family and Urban District.

Setbacks: UDC Setbacks for Residential, Multi-Family and Urban District, Setbacks are

as follows; Front 25-ft., Side 06-ft., and Rear 30-ft. (If Multifamily these may

change)

Analysis: The Preliminary Plat development of **26** - Residential Townhouse lots.

Utilities: Development will utilize an existing City of Edinburg Water Distribution

System and Sanitary Sewer System located on Canton Road and Allen Drive.

All utility improvements within the proposed subdivision that are not limited to water system, sewer system, curb & gutter, and fire hydrants will be installed by the developer in accordance with the approved 2021 Standards

Manual.

Recommendations:

City of Edinburg Planning & Zoning Department:

Staff recommends approval of the Preliminary Plat, subject to compliance with the Unified Development Code, General Notes; on FEMA flood zone, zoning, setbacks, finish floor elevation, benchmark, drainage detention, parkland fees, limited access, SWP3 requirements, sidewalks, and other notes as required based on development.

City of Edinburg Engineering / Utilities Department:

Preliminary Phase Submittal comments for this subdivision are included in the packet. As per Engineering, the plat shall be Preliminarily Approved until all comments have been addressed by the project engineer.



ENGINEERING DEPARTMENT

Preliminary Staff Review

February 22,2023

Isael Posadas, P.E.

SDI Engineering 2105 S Jackson Rd Edinburg, TX 78539 (956) 287-1818

RE: LAS FUENTES HEIGHTS AT RINCON SUBDIVISION— PRELIMINARY REVIEW

Mr. Posadas,

Attached are the Preliminary Phase Submittal comments for Las Fuentes Heights At Rincon Subdivision. Submittal is adequate as presented and recommended for preliminary approval.

Any questions feel free to contact us.

Thanks,

Digitally signed by Peter Hermida Date: 2023.02.23 13:25:16 -06'00'

Peter Hermida, P.E.

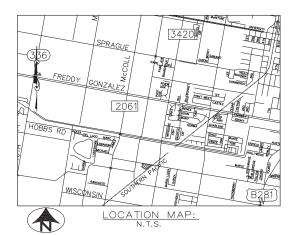
Email: phermida@cityofedinburg.com

415 W. University Drive Edinburg, Texas 78539

Cc: Mardoqueo Hinojosa, P.E., CFM, City Engineer, Patrizia Longoria, P.E., Engineer III, Roberto Hernandez, CFM, Engineer II, Abel Beltran, Planner I, Vince Romero, Director of Public Works, Robert Valenzuela, Storm Water Specialist, Jaime Acevedo, Director of Planning and Zoning, Rita Lee Guerrero, Management Analyst, Jaime Xavier Ayala, Planner II, Gerardo Carmona P.E., Director of Utilities, Jose Flores, Systems Superintendent, Omar Garza, Fire Marshal, Ramiro Gomez, Director of Solid Waste

REFERENCES:

City of Edinburg – 2021 Standard Manual – Construction and Development Requirements; Unified Development Code; and if required a TX-Dot Permitting UIR permitting process.





LAS FUENTES HEIGHTS AT RINCON SUBDIVISION

COVER SHEET:

COVER & INDEX SHEET

SUBDIVISION PLAT:

1 SUBDIVISION PLAT

CIVIL & CONSTRUCTION PLANS:

- 2 EXISTING TOPOGRAPHICAL MAP 3 WATER IMPROVEMENTS
- 4 SANITARY SEWER IMPROVEMENTS
- 5 PAVING & DRAINAGE IMPROVEMENTS
- 6 EROSION CONTROL PLANS
- 7 LIGHTING PLAN

PROJECT CONTACTS:

CIVIL ENGINEERING FIRM:

SDI ENGINEERING, L.L.C. 2105 S. JACKSON RD. EDINBURG, TEXAS 78539 ISAEL POSADAS, P.E.

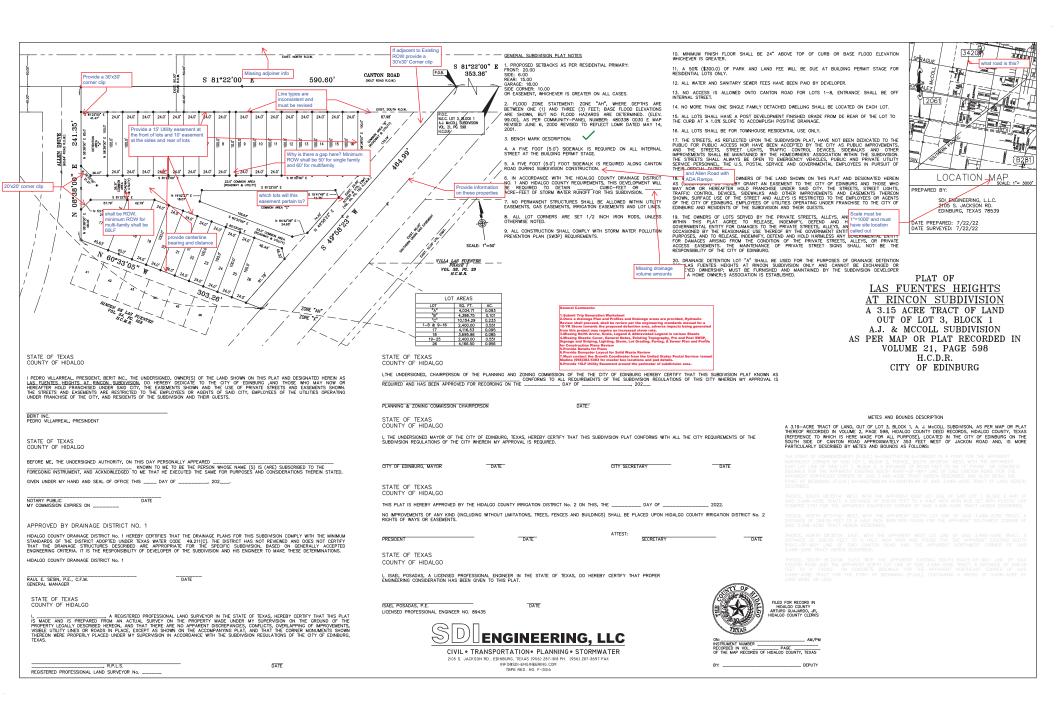
PHONE: (956) 287-1818 (956) 287-3697 E-MAIL: info@sdi-engineering.com

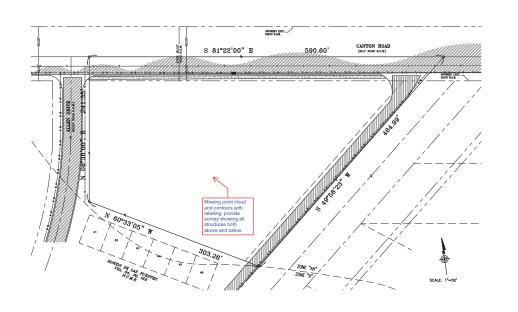
NOTE:

CONTRACTORS SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES FOUND ON THESE SET OF DRAWINGS, PRIOR TO ANY CONSTRUCTION.



CIVIL . TRANSPORTATION . PLANNING . STORMWATER 2105 S. JACKSON RD., EDINBURG, TEXAS (956) 287-1818 PH. (956) 287-3697 FAX INFO@SDI-ENGINEERING.COM





LC LAS FUENTES HEIGHTS
AT RINCON SUBDIVISION
ATER
TOPOGRAPHIC MAP

DATE: 02/06/23
SURVEYED BY:
DESIGNED BY:
IF
DRAWN BY:

CHECKED BY:

CIVIL - TRANSPORTATION - PLANNING - STORMWATER
ZUOS S. JACKGON (P.C. EDINGS) 257-188 PH. (056) 237-3697 FAX
INCREMINE TRANSPORTATION - PROPERTY OF PRO

| FULL: N.T.S. | HALF: N.T.S. | TBPE REG. NO. F-13016

NOT FOR CONSTRUCTION

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DATE: <u>02/06/23</u> SHEET NO.:

LAS FUENTES HEIGHTS AT RINCON SUBDIVISION

IMPROVEMENTS

WATER

General Utility COE Comments:

1. Per Water Improvements 3.03.4.9 Residential FH are to be spaced out 600' max. and 300' for Multi-family, FH are to provide 1000 gpm. Provide calculations.

2. All vater lines underneath streets are to have a min. 3 of cover.

3. Witer and 35 services are to be on apposite sides of each lot and are not to be in

TITLE CONTROL SHALL BY ACCOUNTED BY THE LITEST BITCH OF THE TEXAS MALLA, OF INSTAIN THEFT, CONTROL CONTROL THE TEXAS MALLA, OF INSTAIN THE CONTROL CONTROL CONTROL TO THAT CONTROL AND THE CHIT OF DIBERGES. REQUIREDING, CONTRACTOR SHALL SUBMIT A TRAFFIC CONTROL PLAN FOR APPROVAL BY THE ENGREEN AND THE CITY SEALD BY A RECISTEDED PROFESSIONAL DENDER IN TEXAS, PROFE TO CONSTRUCTION, COST SHALL BE SUBMITED TO TO THE ORD. 3. CAUTION: GAS, FIBER OPTIC, TELEPHONE, ELECTRIC, WATER, AND CITY OF EDINBURG UTILITIES EXIST WITHIN THE LIMITS OF CONSTRUCTION OF THIS PROJECT. NOTIFY RESPECTIVE UTILITY COMPANIES. 4. REPAIRS PUBLIC OR PRIVATE UTILITY LINES DUE TO THE CONTRACTORS OPERATION ARE TO BE REPAIRED IN ACCORDANCE WITH THE SPECIFIC UTILITY COMPANY REQUIREMENTS. COST FOR SUCH REPAIRS SHALL BE SUBSIDIARY TO OTHER BID ITEMS OF THE PROJECT PROPOSAL.

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6. THERE SHALL BE MANAMA INTERRIPTION OF TRAFFIC AND ACCESS TO ADJACENT RESIDENTS ALONG THE PROJECT SITE IF ROADS ARE TO BE CLOSED, THE CITY OF EDINBURG FIRE AND POLICE GEPARTMENTS SHALL BE NOTIFIED AT LEAST 72 HOURS BEFORE SUCH CLOSING.

7. VERTICAL CONTROL HAS BEEN PROVIDED TO THE CONTRACTOR. THE CONTRACTOR IS RESPONSIBLE TO DO ALL HIS CONSTRUCTION AND LAYOUT FIELD STAKING AND SHALL BE PERFORMED BY A REGISTERED PROFESSIONAL LAND SURVEYOR, LICENSED TO PRACTICE IN THE STATE OF TEXAS. B. UNLESS OTHERMISE AUTHORIZED BY THE ENGINEER, ALL OBSTRUCTIONS, OBJECTIONABLE MATERIAL AND CONCRETE SHALL BE PROPERLY DISPOSED OF TO SITES ARRANGED FOR BY THE CONTRACTOR AND APPROVED BY THE CITY OF EDINBURG AT NO ADDITIONAL COST TO THE OWNER.

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10. CONTRACTOR IS RESPONSIBLE FOR FAMILARIZING HIMSELF AND FOLLOWING ALL CITY OF EDINBURG STANDARD SPECIFICATIONS FOR THOSE ITEMS NOT SPECIFICALLY SHOWN ON THE PROJECT PLANS, OR PROJECT SPECIFICATIONS, AND PERFORMING THE WORK IN SUCH A MANNER.

02/06/23 SURVEYED BY: DESIGNED BY: DRAWN BY: REVISED BY: CHECKED BY:

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TBPE REG. NO. F-13016

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General Utility SS Comments:

1. Do not connect SS services into proposed SS manholes.
2. Sewer services shall be 6° for multi-family developments
3. Provide Sewer Plan and Profiles for SS
4. Provide center road stationing
5. Water & Sewer services shall not be adjacent to each other and must be on opposite ends of each lot
6. Include sheet with current COE Details for SS
7. Any Trench Excavation Deeper than SLF shall require "Support, Shoring or Shielding" system approved
by OSHA

III - TRANSPORTATION - PLANINING - STORWWATER S.S. JACKGON RD. EDNISME, TEACH CROSS 287-5697 FAX TEACH CONTRIBUTION CONTRI ENGINEERING,

02/06/23 SURVEYED BY: DESIGNED BY: DRAWN BY: REVISED BY:

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CHECKED BY:

FUENTES HEIGHTS INCON SUBDIVISION

LAS FUENTE AT RINCON 3

CIVIL 2105 S. .

W.

SCALE: HALF: N.T.S. TBPE REG. NO. F-13016

DATE: _02/06/23 SHEET NO.:

III - TRANSPORTATION - PLANINING - STORWWATER S.S. JACKGON RD. EDNISME, TEACH CROSS 287-5697 FAX TEACH CONTRIBUTION CONTRI

ENGINEERING,

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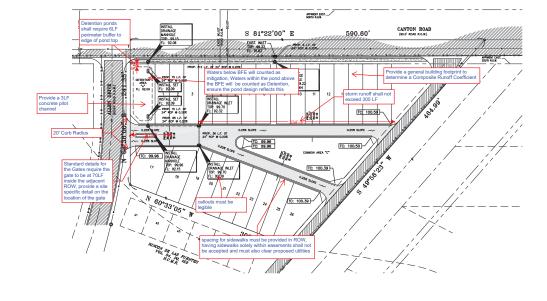
FUENTES HEIGHTS INCON SUBDIVISION

LAS FUENTE AT RINCON

SCALE: HALF: N.T.S. TBPE REG. NO. F-13016

THE SOCIAMONT IS METHOD FOR REVIEW ONLY AND IS NOT IMPOSED. SOCIAMONTH PROPRIES. SOLI ENGINEER IN SOCIAMONTH NO BANGS OWNER HE OF 2023

DATE: _02/06/23 SHEET NO.:



General Utility Storm Comments:

1. Any trench excavation deeper than SLF shall require "Support, Shoring or shielding" system approved by OSHA 2. Top of pond berm shall not be greater than the lowest top of curb within development 3. Provide plan and profiles of street and storm and drainage area map, during construction plan review hydraulic review will commence. (Pipe sizes may change) 4. Verify and include street width.

review will commence, trips sizes may cnange).

4. Verify and include street without shall be RCP, All RCP Lines shall be Rubber Gasketed Concrete Splgot, Tongue and groove shall not be acceptable.

5. Size subsurface system to a 10-YR Storm (Maning's Eq.) show hydraulic grade lines within profiles 7. Provide stationing and structure alignment referenced to the centerline.

6. The very control cross section of the pond with dimensions and stations to verify detention and mitigation waters stored above BFE shall be considered detention.

Pond/Ditch must have some semblance of grade, must be provided via a profile 10.ADA ramps shall be furnished at intersections by subdivision developer within su

2. TRAFFIC CONTENC, SHALL SET IN ACCORDANCE WITH THE LATEST EDITION OF THE TEACH MAINLAN OF INMETION THAFFIC CONTENT, DEVICES FOR STREETS AND HOMEWAY SA PRESIDENCE FOR THE TEACH SEPARATION OF TRAFFIC PROPERTIES AND HOMEWAY SA PRESIDENT CONTINUE AND THE CITY OF TRAFFIC PROPERTIES CONTRACTOR SHALL SUBBIT A TRAFFIC CONTRICT, HAN FOR APPROVAL BY THE DRIVEREY AND THE CITY, SEALED BY A REGISTERED PROPESSAML ENDERS IN TEXAS, PRIOR OF LOOSTBUCTION. COST SHALL BE SUBJURANT TO THEM BO ITEMS.

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USE SANDBAGS DIVERSIONS OR OTHER APPROVED METHODS TO CHANNELIZE RUNOFF TO SEDIMENT BARRIER AS REQUIRED (SEE SHEET FOR ADDITIONAL EROSION CONTROL DETAILS)

CRUSHED AGGREGATE GREATER THAN 3"
BUT SMALLER THAN 6" FILTER FABRIC - OROGINAL GRADE 12" MIN, UNLESS OTHERWISE SPECIFIED BY PROJECT ENGINEER

EXISTING PAVED ROADWAY WIDTH AS REQUIRED TO ACCOMMODATE ANTICIPATED TRAFFIC DIVERSION RIDGE ÷B _PLAN_

SECTION B-B

02/06/23 SURVEYED BY: DESIGNED BY: DRAWN BY: CHECKED BY: LAS FUENTES HEIGHTS AT RINCON SUBDIVISION PLAN EROSION

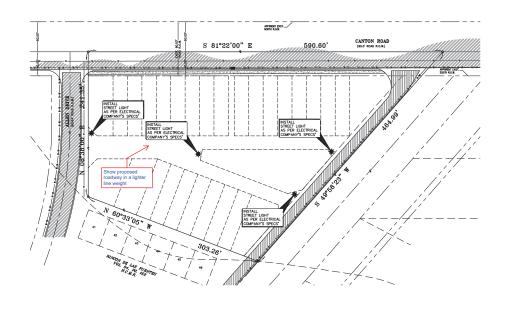
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SCALE: N.T.S.

HALF: N.T.S.

TBPE REG. NO. F=13016

DATE: <u>02/06/23</u> SHEET NO.: 6



DATE: 02/06/23 SURVEYED BY: DESIGNED BY: DRAWN BY: CHECKED BY: LAS FUENTES HEIGHTS AT RINCON SUBDIVISION LIGHT PLAN

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SCALE: | FULL: N.T.S. | HALF: N.T.S. |
TBPE REG. NO. F=13016

DATE: <u>02/06/23</u> SHEET NO.: 7



To: Adam Elizondo, Planning & Zoning, City of Edinburg

SDI Engineering, LLC

From: Robert Valenzuela, Stormwater Manager

Date: February 21, 2023

Subject: Las Fuentes Heights at Rincon Subdivision

Stormwater

Las Fuentes Heights at Rincon Subdivision 3.15 Acres

As of July of 2022, New Stormwater Standards will now be enforced.

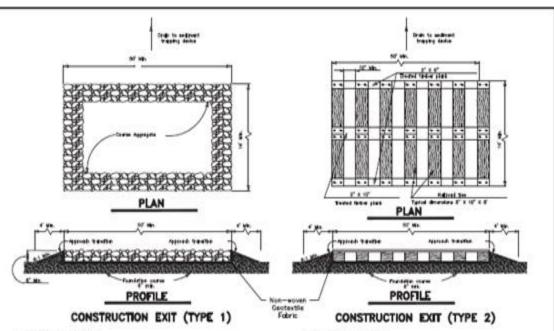
Required Information

*The following items are required by TCEQ and the City of Edinburg. Please Submit the following at your earliest convinces.

- 1. Small Construction Notice (Per TCEQ Inventory)
- Detailed Erosion Control Plan (Silt Fence, Construction Entrance, Inlet Protection, Concrete Washout)
- Detailed Post Construction BMP Plan (Silt Fence back of Curb, Example Attached)
- 4. Plat Note (All construction shall comply with Stormwater Pollution Prevention Plan (SW3P) requirements. Erosion and Sedimentation Controls constructed in accordance with the Stormwater Ordinance 98.30 of the City of Edinburg are required for all construction on each lot including single family and duplex/multifamily construction)

Comments

- Small Construction Notice needs to be submitted with contractors contact information
- New Stormwater Standards (BMPs) need to be placed within the Erosion Control on the final plans, (Please get with Engineering for cad files)
- All BMPs need to be identified on the Erosion Control
- Post Construction Plans need to be submitted with Final plans
- Please email pending items to rvalenzuela@cityofedinburg.com



GENERAL NOTES

- THE LENGTH OF TWE I CONSTRUCTION ENT SHALL BE AS INDICATED ON THE PLANS, BUT NOT LESS THAN SO.

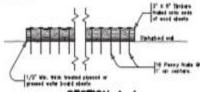
 BUT NOT LESS THAN SO.

 THE CONNER AGRICULTE SHOULD BE OFFIN GRADED WTO A SIZE OF 4" TO S".

 THE APPROACH TOWARD SHOULD BE OFFIN GRADED WTO A SIZE OF 4" TO S".

 THE APPROACH TOWARD SHOULD BE NO STEEPER THAN B 1 AND CONSTRUCTED AS CHARLEST OF TOWARD CONTROL BY LAW FLOWER BASE. BITAMHOUS AS CHARLES, PORTLAND CONTROL TOWARD TO A SEMINOUS BOALD CONTROL TOWARD AND THE CONSTRUCTION OF THE SHALL BE GRADED TO ALLOW DRAMAGE TO A SEMINOUS TRAPPING CONCE.

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SECTION A-A

CONSTRUCTION EXIT (TYPE 3)

GENERAL NOTES

- THE LEWITH OF THE 3 CONSTRUCTION DUT SHALL BE AS INDICATED ON THE PLANS, OR AS DIRECTED BY THE ENGINEER.

 THE THE 3 CONSTRUCTION AGGISS/EXIT MAY BE CONSTRUCTED FROM OFTEN GRADED CRUSINES STOOM WITH A SIZE OF 2" TO 4" SPREAD AND A MIR. OF 4" THEK TO THE LIMITS SHOWN ON THE PLANS.

 THE PREATED THISPER PLANS. SHALL BE 40 GRADE MIN. AND SHOULD BE FREE FROM LANG. AND LOOSE KNOTS.

 THE DEFINITE SHOWN HEREON ARE SUGGESTIONS ONLY AND MAY BE MODIFIED BY THE EMBLADE.

GENERAL NOTES

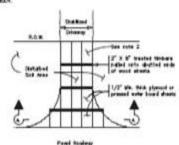
- THE LEWITH OF TWISE 2 CONSTRUCTION DUT SHALL BE AS INSECRITED ON THE PLANS, BUT NOT LESS THAN 50.

 THE TERRITE THREE PLANS SHALL BE ATTACHED TO THE RALFORD TES WITH 1/2 x 5° MIS. LAG BOLTS. OTHER FASTENCES MAY BE USED AS APPROVED BY THE DIVANCES.

 THE TERRITE THREE PLANS SHALL BE AS GRADE MIN. AND SHOULD BE STREE FROM LANCE AND LOOKE NOTS.

 THE APPROVED THREE PLANS SHALL BE AS GRADE MIN. AND SHOULD BE STREET FROM LANCE AND LOOKE THAN 51 AND CONSTRUCTED.

 AS LONGESTED OF THE EMPLOYED TO SHALL BE TADORDE BASE, BITAINFOUS TO CONSTRUCTED BASE, BITAINFOUS DOCUMENT CONSTRUCTION OF THE PLANS OF THE PLAN

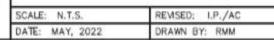


PLAN

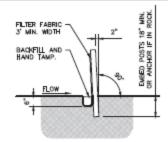
FILTER FABRIC NON-WOVEN GEOTEXTILE FABRIC 6 MIN. FABRIC WEIGHT OZ/SY PERMITTATY 1/900 0.5 MN TENSILE STRENGTH 200 MIN. 80-120 1.05 APPARENT OPENING SIZE ELONGATION AT HELD SIEVE NO. 20-100 TRAPEZOIDAL TEAR



TEMPORARY EROSION CONTROL CONSTRUCTION ACCESS/EXIT







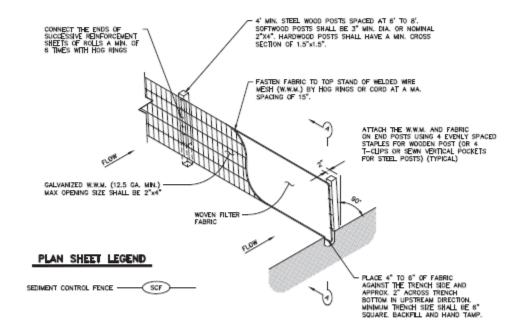
GENERAL NOTES

 THE GUIDELINES SHOW HEREON ARE SUGGESTIONS ONLY AND MAY BE MODIFIED BY THE ENGINEER.

SEDIMENT CONTROL FENCE USAGE GUIDELINES

A SEDIMENT CONTROL FENCE MAY BE CONSTRUCTED NEAR THE DOWNSTREAM PERIMETER OF A DISTURBED AREA ALONG A CONTOUR TO INTERCEPT SEDIMENT FROM OVERLAND RUNDER. A 2 YEAR STORM FREQUENCY MAY BE USED TO CALCULATE THE FLOW RATE TO BE FILTERED.

SEDIMENT CONTROL FENCE SHOULD BE SIZED TO FILTER A MAX. FLOW THROUGH RATE OF 100 GPM/FT--SEDMENT CONTROL FENCE IS NOT RECOMMENDED TO CONTROL EROSION FROM A DRAINAGE AREA LARGER THAN 2 ACRES.

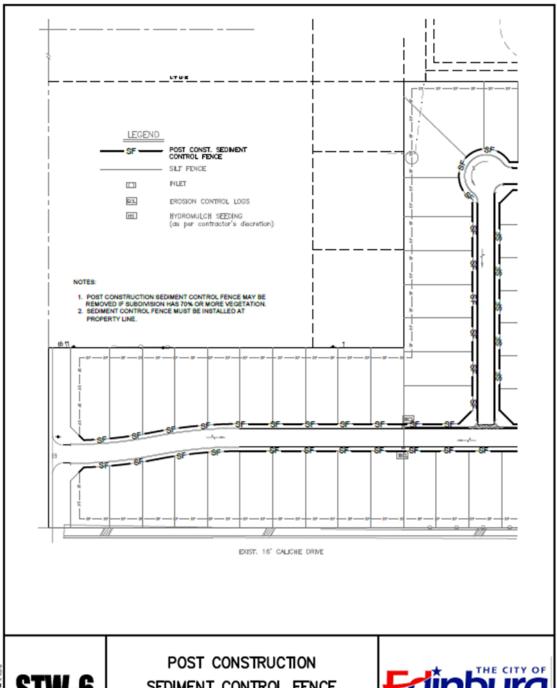


STW-2

TEMPORARY SEDIMENT CONTROL FENCE — DETAILS

	REVISED: I.P./AC
DATE: MAY, 2022	DRAWN BY: RMM



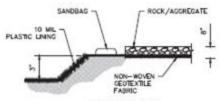


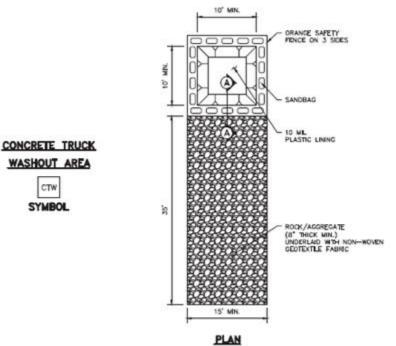
STW-6

SEDIMENT CONTROL FENCE

SCALE: N.T.S.	REVISED: I.P./AC
DATE: MAY, 2022	DRAWN BY: RMM







- 1. VERBALLY INSTRUCT THE CONCRETE TRUCK DRIVERS WHERE THE PIT IS AND TO WASHOUT THEIR TRUCKS IN THE PIT AND NOWHERE ELSE.

 2. UPON THE CONCRETE SETTING UP (CURRIC, DRYNIC OUT), THE CONCRETE WASTE SHALL BE REMOVED FROM THE PROJECT SITE AND DISPOSED OF PROPERLY BY THE CONTRACTOR. AFTER REMOVAL OF THE CONCRETE WASTE, THE WASHOUT PIT SHALL BE FILLED WITH CLEAN FILL MATERIAL AND COMPACED TO N—SITU CONCITIONS, OR AS DIRECTED BY THE PROJECT SPECIFICATIONS.

 3. CONCRETE WASHOUT PITS SHALL NOT SELECATED DIRECTLY ADJACENT TO, NOR AT ANY TIME DRAIN INTO THE STORM SEWER SYSTEM OR ANY OTHER SWALE DITCH, OR WATERWAY.

 4. CONSTRUCT ENTRY ROAD AND BOTTON OF WASHOUT AREA TO SUPPORT EXPECTED LOADINGS FROM TRUCKS EQUIPMENT.

 5. FILTER FABRIC NON-WOVEN GEOTEXTILE FABRIC
 FABRIC WORN-WOVEN GEOTEXTILE FABRIC
 FABRIC WORN-WOVEN GEOTEXTILE FABRIC
 FABRIC WORN-WOVEN GEOTEXTILE FABRIC
 TENSILE STRENGTH

 LBS

 200 MIN.
 APPARENT OPENING SIZE SIEVEN

 80—120
 ELONGATION AT TIELD

 X

 20—100

0.5 MN. 200 MN. 80-120 20-100 75 MN. TENSILE STRENGTH
APPARENT OPENING SIZE
ELONGATION AT YIELD
TRAPEZODAL TEAR LBS

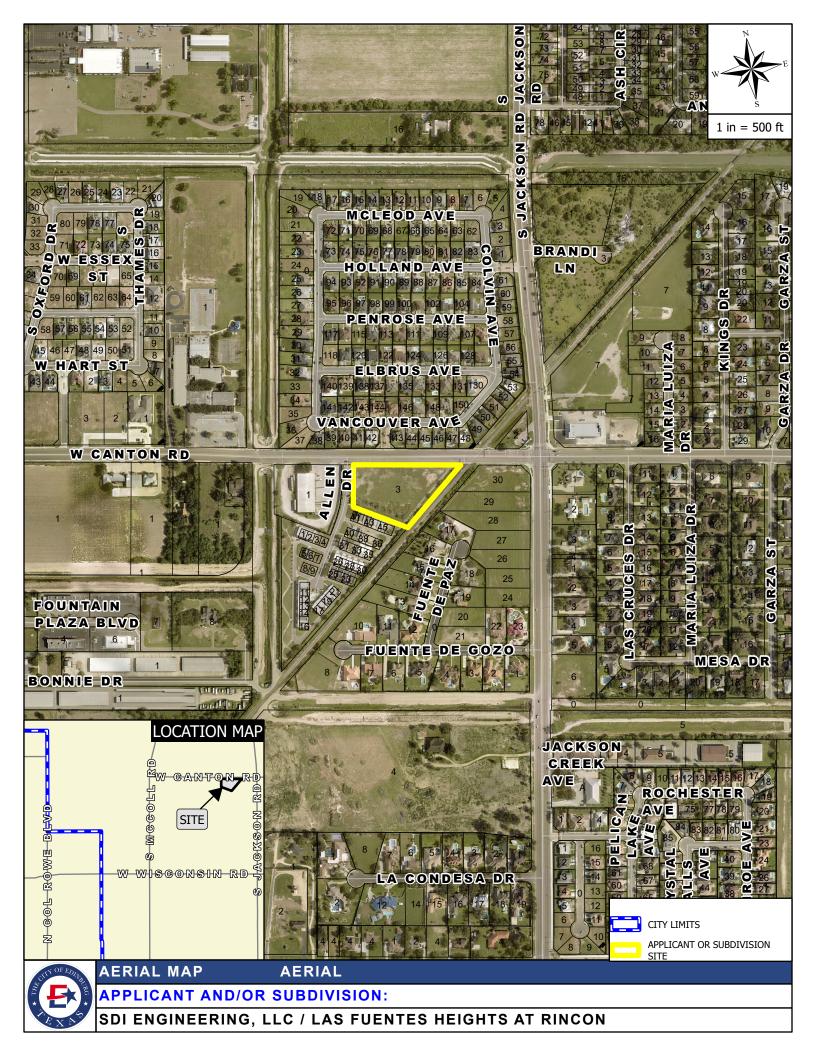
CTW

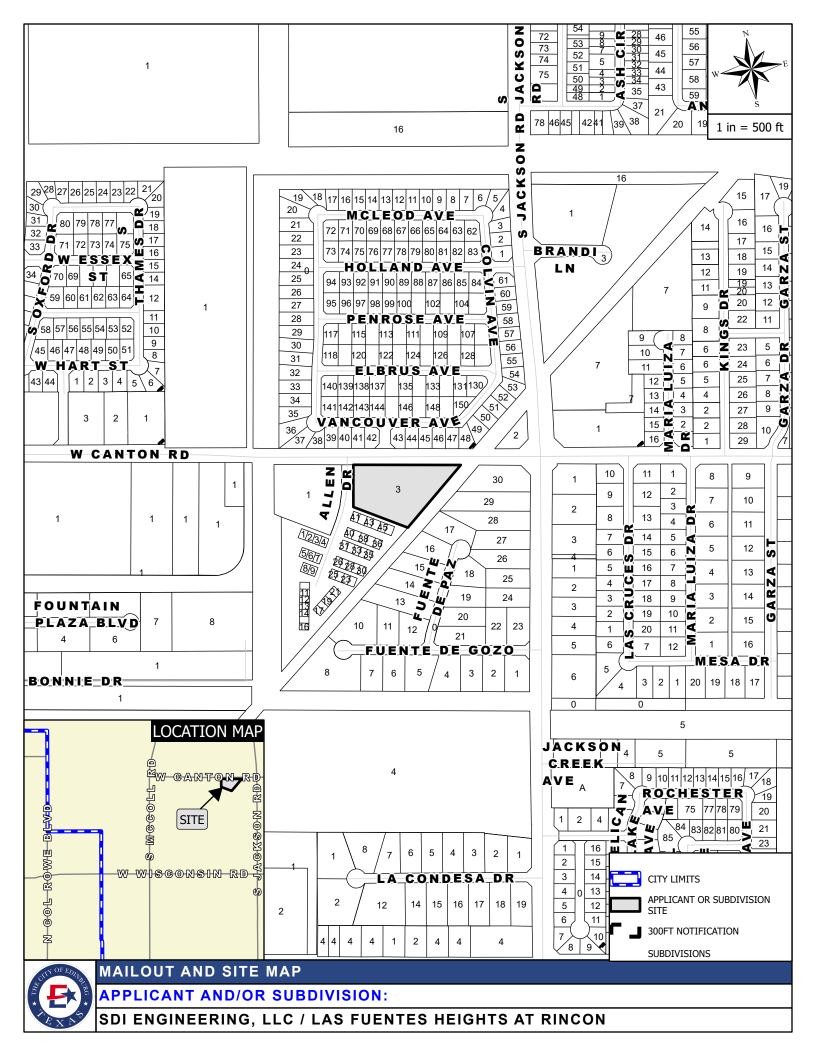
STW-8

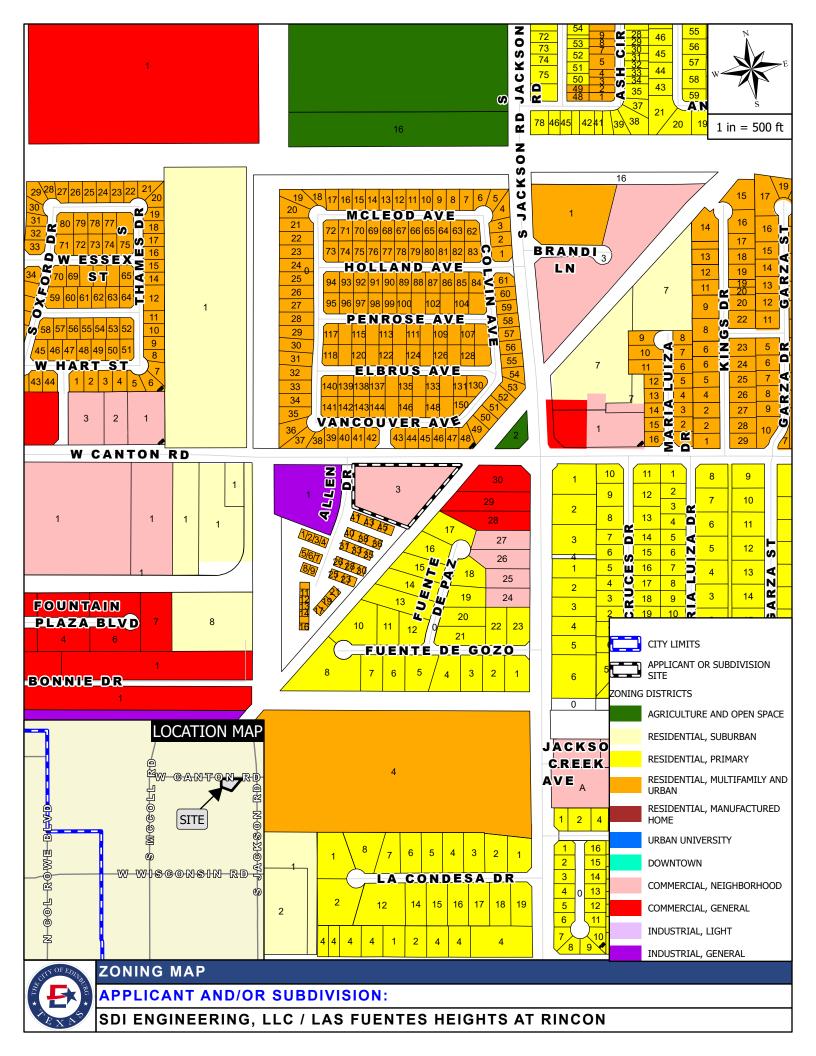
CONCRETE TRUCK WASHOUT AREA

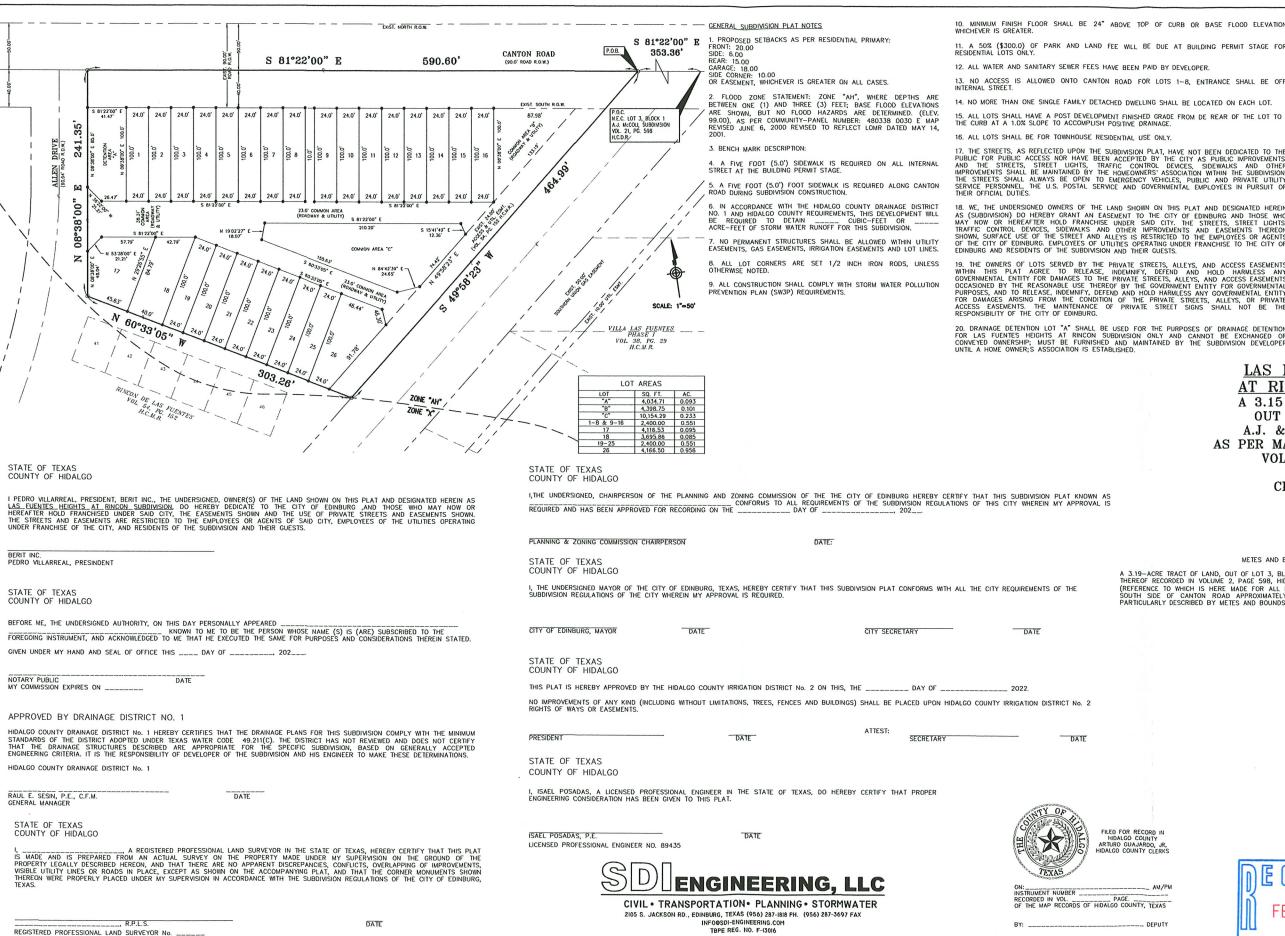
SCALE: N.T.S.	REVISED: I.P./AC
DATE: MAY 2022	DRAWN BY: RMM











10. MINIMUM FINISH FLOOR SHALL BE 24" ABOVE TOP OF CURB OR BASE FLOOD ELEVATION WHICHEVER IS GREATER.

11. A 50% (\$300.0) OF PARK AND LAND FEE WILL BE DUE AT BUILDING PERMIT STAGE FOR RESIDENTIAL LOTS ONLY.

12. ALL WATER AND SANITARY SEWER FEES HAVE BEEN PAID BY DEVELOPER.

13. NO ACCESS IS ALLOWED ONTO CANTON ROAD FOR LOTS 1–8, ENTRANCE SHALL BE OFF INTERNAL STREET.

14. NO MORE THAN ONE SINGLE FAMILY DETACHED DWELLING SHALL BE LOCATED ON EACH LOT.

17. THE STREETS, AS REFLECTED UPON THE SUBDIVISION PLAT, HAVE NOT BEEN DEDICATED TO THE PUBLIC FOR PUBLIC ACCESS NOR HAVE BEEN ACCEPTED BY THE CITY AS PUBLIC IMPROVEMENTS, AND THE STREETS, STREET LIGHTS, TRAFFIC CONTROL DEVICES, SIDEWALKS AND OTHER IMPROVEMENTS SHALL BE MAINTAINED BY THE HOMEOWNERS' ASSOCIATION WITHIN THE SUBDIVISION. THE STREETS SHALL ALWAYS BE OPEN TO EMERGENCY VEHICLES, PUBLIC AND PRIVATE UTILITY SERVICE PERSONNEL, THE U.S. POSTAL SERVICE AND GOVERNMENTAL EMPLOYEES IN PURSUIT OF THE PROPERTIES UNITED.

18. WE, THE UNDERSIGNED OWNERS OF THE LAND SHOWN ON THIS PLAT AND DESIGNATED HEREIN 18. WE, THE UNDERSIGNED OWNERS OF THE LAND SHOWN ON THIS PLAT AND DESIGNATED HEREIN AS (SUBDIVISION) DO HEREBY GRANT AN EASEMENT TO THE CITY OF EDINBURG AND HOSE WHO MAY NOW OR HEREAFTER HOLD FRANCHISE UNDER SAID CITY. THE STREETS, STREET LIGHTS, TRAFFIC CONTROL DEVICES, SIDEWALKS AND OTHER IMPROVEMENTS AND EASEMENTS THEREON SHOWN, SURFACE USE OF THE STREET AND ALLEYS IS RESTRICTED TO THE EMPLOYEES OR AGENTS OF THE CITY OF EDINBURG. EMPLOYEES OF UTILITIES OPERATING UNDER FRANCHISE TO THE CITY OF EDINBURG AND RESIDENTS OF THE SUBDIVISION AND THEIR GUESTS.

19. THE OWNERS OF LOTS SERVED BY THE PRIVATE STREETS, ALLEYS, AND ACCESS EASEMENTS WITHIN THIS PLAT AGREE TO RELEASE, INDEMNIFY, DEFEND AND HOLD HARMLESS ANY GOVERNMENTAL ENTITY FOR DAMAGES TO THE PRIVATE STREETS, ALLEYS, AND ACCESS EASEMENTS COCASIONED BY THE REASONABLE USE THEREOF BY THE GOVERNMENT ENTITY FOR GOVERNMENTAL PURPOSES, AND TO RELEASE, INDEMNIFY, DEFEND AND HOLD HARMLESS ANY GOVERNMENTAL ENTITY FOR DAMAGES ARISING FROM THE CONDITION OF THE PRIVATE STREETS, ALLEYS, OR PRIVATE ACCESS EASEMENTS. THE MAINTENANCE OF PRIVATE STREET SIGNS SHALL NOT BE THE RESPONSIBILITY OF THE CITY OF EDINBURG.

20. DRAINAGE DETENTION LOT "A" SHALL BE USED FOR THE PURPOSES OF DRAINAGE DETENTION FOR LAS FUENTES HEIGHTS AT RINCON SUBDIVISION ONLY AND CANNOT BE EXCHANGED OR CONVEYED OWNERSHIP; MUST BE FURNISHED AND MAINTAINED BY THE SUBDIVISION DEVELOPER UNTIL A HOME OWNER;S ASSOCIATION IS ESTABLISHED.

2061 LOCATION MAP

SDI ENGINEERING LLC 2105 S. JACKSON RD. EDINBURG, TEXAS 78539

DATE PREPARED: 7/22/22 DATE SURVEYED: 7/22/22

PLAT OF LAS FUENTES HEIGHTS AT RINCON SUBDIVISION A 3.15 ACRE TRACT OF LAND OUT OF LOT 3, BLOCK 1 A.J. & MCCOLL SUBDIVISION AS PER MAP OR PLAT RECORDED IN VOLUME 21, PAGE 598 H.C.D.R. CITY OF EDINBURG

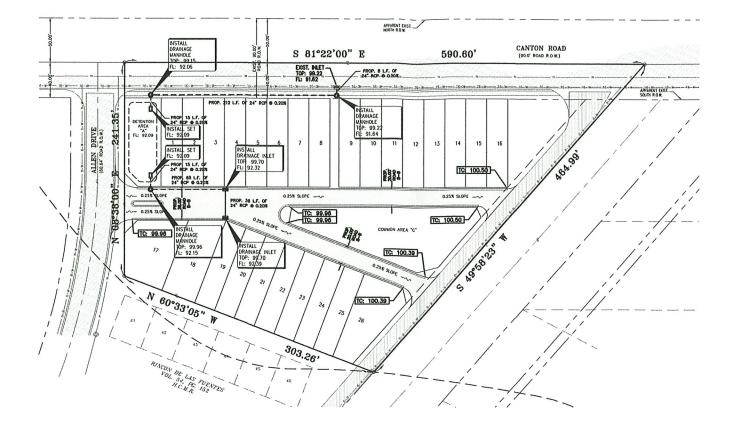
METES AND BOUNDS DESCRIPTION

A 3.19—ACRE TRACT OF LAND, OUT OF LOT 3, BLOCK 1, A. J. McCOLL SUBDIMSON, AS PER MAP OR PLAT THEREOF RECORDED IN VOLUME 2, PAGE 598, HIDALGO COUNTY DEED RECORDS, HIDALGO COUNTY, TEXAS (REFERENCE TO WHICH IS HERE MADE FOR ALL PURPOSE), LOCATED IN THE CITY OF EDINBURG ON THE SOUTH SIDE OF CANTON RODA APPROXIMATELY 353 FEET WEST OF JACKON ROAD AND, IS MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

CORDED IN VOL. PAGE.
THE MAP RECORDS OF HIDALGO COUNTY, TEXAS







LOCATIONS AND GRADES OF EXSTING UNDERGROUND UTILITIES SHOWN ON THE PLANS ARE APPROXIMATE. THE CONTRACTOR SHALL FIELD VERIFY ALL UTILIZES WHETHER PUBLIC OR PRIVATE PRIOR TO CONSTRUCTION. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL REPARTS TO DAMAGED LINES AT NO ADDITIONAL COST TO THE OWNER.

2. TRAFFIC CONTROL SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE TEXAS MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS AS PUBLISHED BY THE TEXAS DEPARTMENT OF TRANSPORTING AND THE CITY OF EDINBURG REQUIRILENTS. CONTRACTOR SHALL SUBMIT A TRAFFIC CONTROL PLAN FOR APPROVAL BY THE ENGINEER AND THE CITY, SEALED BY A REGISTERED PROFESSIONAL ENGINEER IN TEXAS, PRIOR TO CONSTRUCTION. COST SHALL BE SUBSDIARY TO OTHER BID ITEMS.

CAUTION: GAS, FIBER OPTIC, TELEPHONE, ELECTRIC, WATER, AND CITY OF EDINBURG UTILITIES EXIST WITHIN THE LIMITS OF CONSTRUCTION OF THIS PROJECT. NOTIFY RESPECTIVE UTILITY COMPANIES.

5. THE CONTRACTOR'S ATTENTION IS CALLED TO THE FACT THAT CERTAIN EXISTING AND/OR PROPOSED STRUCTURES MAY BE WITHIN THE LIMITS OF THE FLEMBLE BASE AND TREATED SUBGRADE. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PERFORM CONSTRUCTION OPERATIONS WITHOUT DAMAGE TO THESE STRUCTURES.

6. THERE SHALL BE MINIMUM INTERRUPTION OF TRAFFIC AND ACCESS TO ADJACENT RESIDENTS ALONG THE PROJECT SITE. IF ROADS ARE TO BE CLOSED, THE CITY OF EDINBURG FIRE AND POLICE DEPARTMENTS SHALL BE NOTIFIED AT LEAST 72 HOURS BEFORE SUCH CLOSING.

7. VERTICAL CONTROL HAS BEEN PROVIDED TO THE CONTRACTOR. THE CONTRACTOR IS RESPONSIBLE TO DO ALL HIS CONSTRUCTION AND LAYOUT FIELD STAKING AND SHALL BE PERFORMED BY A REGISTERED PROFESSIONAL LAND SURVEYOR, LICENSED TO PRACTICE IN THE STATE OF TEXAS.

B. UNLESS OTHERWISE AUTHORIZED BY THE ENGINEER, ALL OBSTRUCTIONS, OBJECTIONABLE MATERIAL AND CONCRETE SHALL BE PROPERLY DISPOSED OF TO SITES ARRANGED FOR BY THE CONTRACTOR AND APPROVED BY THE CITY OF EDINBURG AT NO ADDITIONAL COST TO THE OWNER.

9. THE CONTRACTOR SHALL EXERCISE DILIGENCE IN THE APPLICATION OF ASPHALT BY THE USE OF FLAGGING AND ROLLING PROCEDURES TO KEEP FROM SPRAYING OR SPLATTERING THE TRAVELING PUBLIC WITH ASPHALT MATERIAL CONTRACTOR SHALL ALSO EXERCISE DILIGENCE IN THE APPLICATION OF LIME TREATMENT TO PROTECT THE PUBLIC, ADJACENT SUBDIVISION, AND PARKED VEHICLES.

10. CONTRACTOR IS RESPONSIBLE FOR FAMILIARIZING HIMSELF AND FOLLOWING ALL CITY OF EDINBURG STANDARD SPECIFICATIONS FOR THOSE ITEMS NOT SPECIFICALLY SHOWN ON THE PROJECT PLANS, OR PROJECT SPECIFICATIONS, AND PERFORMING THE WORK IN SUCH A MANNER.

11. SEE SHEET _____ FOR WATER DETAILS.

NG, LLC 3 • STORMWATER (956) 287-5697 FAX

ILE NAME: 02/06/23 RVEYED BY: ESIGNED BY: AWN BY: EVISED BY: CHECKED BY: IMPROVEMENTS TES HEIGHTS SUBDIVISION FUENTES GE AINA RINCON DR LAS AT R \approx \circ PAVIN

ENGINEERING, STORMW
S. JACKSON RD. EDINBURG. TEXAS (956) 287-3697
INPOSEDIENG. COM
TEPE REG. NO. F-15016

|FULL: N.T.S. SCALE: HALF: N.T.S. TBPE REG. NO. F-13016

CIVIL 2105 S. J

LLC THE DOCUMENT IS INTERED FOR PEOPLY DAY, AND SKYON PRICED FOR BECHBACK.

SDI ENGINEERING, LL.

EDORTE: BALL POSADAS, P.E.

ELOS FROSTBAND IN REASON

DATE. FOR 0223

DATE: _02/06/23 SHEET NO .: 5

Planning & Zoning

415 West University Drive Edinburg, Texas 78539 (956) 388-8202



Subdivision Application

ENERGOV CASE # PLAT-2023-0168

Date: February 2, 2023 Reque	est Type: Preliminary Plat Final Plat
1. Exact Name of Subdivision: Las Fuentes Heights	at Rincon
2. Property Owner: Raul Villarreal	3. Developer: Berit, Inc.
4. Owner Phone: <u>(956)</u> 655-1909	5. Owner Email: raulberit@me.com
6. Owner Address: 4712 N. McColl Rd, McAllen, Tx	78504
7. Current Zoning: CN - Commercial, Neighborhood	8. Required Zoning RP - Residential, Primary
9. Legal Description: A 3,19 Acre Track of Landas per Map or Plat recorded in	d out of Lot Three (3), Block One (1), A.J. McColl's Subdivision n Volume 21, Page 598
	10. Property ID: 230877
11. Inside City Limits? Yes If "No," is in the	e Comprehensive Development Area Rural Development Area
12. Primary Consulting Firm: SDI Engineering, LLC	13. Phone: (956) 287-1818
14. Consulting Firm Address: 2105 S. Jackson Rd, E	Edinburg, Tx 78539
15. Consulting Firm Email(s): _iposadas@sdi-engin	eering.com / psanchez@sdi-engineering.com
16. Desired Land Use Option: Multifamily	
17. Number of Lots: Single Family 26 Multi	-Family Commercial Industrial
18. Proposed Wastewater Treatment:	ary Sewer OSSF (On-Site Sewage Facility)
19. Electric Power and Light Company to Serve the Pr	oposed Subdivision: Magic Valley Electric Co-op
20. Irrigation District: Hidalgo County No. 1	Potable-water Retailer: City of Edinburg
Owner of record, holding title to real estate within the proposed Trust) shall be submitted with application. All such owners are lis	subdivision. Ownership instrument (i.e. Title Policy, Warranty Deed and Deed of ted immediately below.
Name(s) (Print or Type) Raul Villarreal	Mailing Address & Zip Code 4712 N. McColl Rd, McAllen, Tx 78504
Phone Number (956) 655-1909	Email raulberit@me.com
Have any of said owners designated agents to submit	and revise this plat application on their behalf?
The undersigned owners of record (or their authorized agents) he standards as specified in the City of Edinburg Code of Ordinances Commission and the City Commission approve the attached subd	documentation to that effect, signed by each such owner.) ereby agree to make all the improvements, and to meet all the requirements and and the undersigned hereby request that the Edinburg Planning & Zoning livision plat. The undersigned hereby declared that we have made a diligent effort I construction plans) are true and complete. Developer's requirement sheet must Date O2/02/23



PLANNING & ZONING DEPARTMENT

	Inter-Gov	2023-0160	SU	IBDIVISIO	ON WITH	IIN CITY	LIMITS (CHECK LIST	PREI	IMINARY A	PPROVAL
PLANNIN	IG & ZONING DE	PARTMENT (956	_			ISION P			Date :	Ma	rch 7, 2023
Date Filed:	January	13, 2023	P&Z Preliminary:	Ma	rch 14, 2	2023	P&Z Final:			City Council:	
Reviewed By:	: Abel Beltran		Staff Review : Staff / Engineer :	Febr	ruary 16, ruary 23, ances Re	2023	1st Ex	me Line : 365 tension : 30 tension : 0	Days Days Days	Expires : Expires 1: Expires 2:	January 13, 2024 February 12, 2023
	abelti ali@cityc	neumburg.com	<u> </u>	II Valia	111003110	quesieu	ZIIU LX		Days	LAPIIGS Z.	
Director of	f Planning & Zonir	ng	Jaime Acevedo, Pla	nning Dir	ector	Email:	jaceve	do@cityofedi	nburg.com	City Office #:	(956) 388-8202
Director of			Gerardo Carmona, I	P.E.				ona@cityofedi		City Office #:	(956) 388-8212
	f Public Works		Vincent Romero					<u>@cityofedinbu</u>		City Office #:	(956) 388-8210
Director of	f Engineering		Mardoqueo Hinojosa	a, P.E., C	PM	Email :	mhinoj	josa@cityofedi	nburg.com	City Office #:	(956) 388-8211
		BERIT INC.				urtin, Ed	inburg, 1	ΓX 78541			oject Engineer
LA	S FUENTES I	HEIGHTS at I	RINCON SUBD	IVISIO	N			Consultant :	SDI ENGINEERI	NG, LLC, Edi	nburg, TX.
	DE	ESCRIPTION		Provided	Need to Provide	Not Applicable	Need to Revise		СОМ	MENTS	
Subdivis	ion Process:							•			
Subdivision	on Plat Submittal			٧							
Warranty				٧							
Topograp				٧							
	Report Submittal (As Per City Drain	age Policy)	٧				Approved by H.	C.D.D.#1	Date:	Pending Approval
	City Limits - ETJ			٧							
Flood Zon				٧							
	ary Submittals:	D: () ()		Ι.		<u> </u>	Ι	To: (F.:.)	W 1 0 B: 1	" " 0 1	(001)
	Proposed Water	•	<u>ut </u>	٧.				 	Water Suppy Dist	•	
	tribution System F		<u> </u>	٧				 	Water Suppy Dist	•	
	Proposed Sewer		[٧				 	Sanitary Sewer C	•	
	Sewer Collection S	•	om:	٧					Sanitary Sewer C		III (CCN)
	nd Proposed Drai Arterial Street Righ			√ √					age System onto F Existing Original Pl		on 57 ft D D\
	Arterial Street Pav			V				—	o Standard Street I		011 -0 <i>1</i> -11 D-D)
_	Appeals Request		0-11 KOVV) (37-11)	_ v	V				Zoning Meeting	Results	City Council Meeting
	dening Improveme		Road)		V			i lanning &	Ediling Meeting	rtoduito	Oity Courier Mccarig
	Sidewalk Improve		,		V						
Olloot o It	Oldowalk Improve	onionio (TTIOOOTIO	m rtouu _j		V						
Construc	ction Plans Revie	w Submittals:	(See S	ection 4		uction I	Plans Su	ubmittals Polic	y, 2014 STAND	RD POLICY	MANUAL)
Cover She	eet				٧						
Topograp	hy Sheet (Utilities,	Bench Marks)			٧						
Sanitary S	Sewer Improvemer	nts: On-Site & Off	-Site		٧			City of Edinburg	Sewer Collection	System (CCN)	
Sanitary S	Sewer Detail Shee	ts			٧			See Section 3 l	Itility Policy, 2014	Standard Policy	y Manual
	tribution Improven				٧				Water Suppy Dist	-	
Water Dis	tribution Detail Sh	eet (Fire Hydrant	Assembly)		٧			See Section 3 l	Itility Policy, 2014	Standard Policy	y Manual
	Improvements:				٧						
	Detail Sheets				٧			•	Prainage Policy, 20		•
_	Major Arterial Stre	ets Improvements	S:		٧			See Section 2 S	Streets Policy, 2014	Standard Poli	cy Manual
Street Sig					٧					<u> </u>	
	tail Sheets				٧			See Section 2 S	Streets Policy, 2014	Standard Poli	cy Manual
	hting Sheet:				٧.						
Traffic Co					٧.						
	ontrol Plan	Chaot			٧			Con Charres IAI 1	on Manager and OC	111 Ct	Ooliov Mosses
∟rosion C	ontrol Plan Detail	SHEEL		1	ı V	1	l .	I See Storm Wat	er Management, 20	114 Standard F	olicy ivianual

AMIG HEIGHTS SUBDIVISION Page 1 of 2

DESCRIPTION			Provided	Need to Provide	Not Applicable	Need to Revise				COMM	MENTS		
Pre-Construction Meeting:													
Notice To Proceed				٧			Dated:						
Roadway Open-Cut or Bore Permit Applicatio	n			٧			Dated:						
TX-Dot Water UIR Permit	••				٧		UIR:						
TX-Dot Sewer UIR Permit					٧		UIR:						
N.O.I. Submittal				V			Dated:						
SWPP Booklet Submittal				٧			Dated:						
RFI #1 Request				٧			Dated:						
Change Orders				٧			Dated:						
Final Walk Though				٠ ٧			Dated:						
Punch List - 1st Draft				٧			Dated:						
				V			-						
Punch List - Final				-			Dated:						
Letter of Acceptance				٧			Dated:						
1-year Warranty (Water/Sewer/Paving/Draina	ge)			٧			Dated:						
Backfill Testing Results				٧			Dated:						
As-Built (Revised Original Submittal)				V			Dated:						
Recording Process:													
Public Improvements with (Letter of Credit)				٧			Dated:				Expires:		
Recording Fees	\$	106.00		٧			As requ	uired by Co	ounty	Clerks offic	е		
Copy of H.C.D.D. #1 of invoice	\$	250.00		٧			Require	ed to be pa	aid pr	ior to Final S	Stages		
Street Light Escrow	\$	-		٧			Red	uired:		0	EA. @	\$	-
Street Escrow: (BURNS BLVD)	\$	-		٧			Red	uired:		0	LF @	\$	-
Sidewalk Escrow: (5-ft.)(BURNS BLVD)	\$	-		٧			Red	juired:		0	LF@	\$	-
TOTAL OF ESCROWS:	\$												
Total Developer's Construction Cost: (Letter	of Cred	lit)			٧		Date :				Lender:		
Laboratory Testing Fee: 3%	\$	-		٧			\$			-	ESTIMATE	D Construct	ion Cost
Inspection Fee: 2%	\$	-		٧			\$			-	ESTIMATE	D Construct	ion Cost
Park Land Fees: Zone # 5	\$	-					0	Lots @	\$	-	Full rate with	nin the ETJ	
16 Residential \$ 300.00	\$	4,800.00		٧			50%	Developm	ent		50%	Building S	Stage
0 Multi-Family \$ -	\$	-			٧		50%	Developm			50%	Building S	
Water Rights: COE-CCN	\$	7,822.76		٧				.61	Acr	es		\$	3,000.00
Water 30-year Letter (Commercial)	\$	-			٧		0	Lots @	\$	-			,
Water 30-year Letter (Single-Family)	\$	5,200.00		٧			16	Lots @	\$	325.00		COE-WA	TER - CCN
Sewer 30-Year Letter Service (4")	\$	1,040.00		٧			16	Lots @	\$	65.00			WER - CCN
TOTAL OF FEES:	\$	18,862.76		<u> </u>									
Reimbursements:		,											
Developer Sewer Improvements	\$	-			٧		Off-Site	e System:		0.00	AC	\$	-
Developer Water Improvements	\$	_			٧			e System		0.00	AC	\$	_
TOTAL OF REINBURSEMENTS:	\$							<i>y</i>		0.00	7.0	<u> </u>	
Buyouts:													
North Alamo Water Supply Corporation	\$	-			٧		Require	d Buyout		0.00	AC.	\$	_
Sharyland Water Supply Corporation	\$	_			٧			d Buyout		0.00	AC.	\$	_
Tax Certificates				!	-		rtoquire	a Bayout		0.00	710.	Ψ	
County of Hidalgo / School District				٧									
Water District				٠ ٧			Hidalaa	County Irr	iaatio	on District #	າ		
	and Di	uvoutou					Tilualgo	County III	iyalik	JII DISHICL#			
Total of Escrows, Fees, Reimbursements		uyouts:		C44	0 0:4	II. Imaman		i / Ct	Daa	۵۱/			
Escrows \$ -		000.70			•		or (Canton						
Material Testing Fee Inspection Fees, Other F		18	,862.76	 					r 3U-y	ear Agreem	ients		
Reimbursements - 2022	\$		-	1		to the De	•			=			
2022 City of Edinburg				0%	•		_			nistrative Fe			
2022 To the Developer of Record	\$		-	0%						ner / Develo			
Buyouts	\$		-	1							SWSC/NAW	SC Broads)	
TOTAL :	\$	18	,862.76	Develop	er Total	Cost of F	ees, Esc	rows, Rein	nburs	ements & E	Buyouts		

AMIG HEIGHTS SUBDIVISION Page 2 of 2

WATER TAP FEES (INSIDE CITY LIMITS)

			1	•	-,		
Meter Size	Tap Fee (1)			Deposit	Total		
5/8" - 3/4"	\$	325.00	\$	125.00	\$	450.00	
1"	\$	485.00	\$	137.50	\$	622.50	
1 1/2"	\$	950.00	\$	187.50	\$	1,137.50	
2" Turbo	\$	1,235.00	\$	250.00	\$	1,435.00	
2" Compound	\$	2,110.00	\$	281.25	\$	2,391.25	

⁽¹⁾ Cost of street crossing shall be charged in addition to the tap fee.

WATER TAP FEES (OUTSITE CITY LIMITS - CCN)

Meter Size	1	Гар Fee (1)	Deposit	Total
5/8" - 3/4"	\$	406.25	\$ 125.00	\$ 531.25
1"	\$	606.25	\$ 137.50	\$ 743.75
1 1/2"	\$	1,187.50	\$ 187.50	\$ 1,375.00
2" Turbo	\$	1,543.75	\$ 250.00	\$ 1,435.00
2" Compound	\$	2,637.50	\$ 281.25	\$ 2,918.75

⁽¹⁾ Cost of street crossing shall be charged in addition to the tap fee.

Within: City of Edinburg Water Distribution Service Area - CCN

SEWER TAP FEES (CITY OF EDINBURG - CCN)

Service Lines	Inspection Fee			NAWSC-CCN
4"	\$	65.00	\$	5.00
				Transfer Fee
Within: North Ala	amo Wa	ater Supply	Se	rvice Area CCN

	WATER RIGHTS TABULATION (Net Acreage Only)							
3.24	TOTAL ACRES			Lots	16	\$	-	EA.
0.542	43560.00	- 590	40	Canton	Road R	.O.W. D	edication	
0.093	43560.00	4035	SF	Detention	n Out F	Parcel A		
0.000	43560.00	0	0					
	CITY OF EDI	NBURG \	NATER DIS	STRIBUTI	ON SYS	STEM		
0.63	ACRES			Road &	Ditch R	ight-of-\	Nay Dedu	ction
Current Acre \	Nater Rights Cost :	\$	3,000.00	_	\$		7,822.76	_
2.61	NET ACRES		\$	1,903.24		СО	E - CCN	

⁽²⁾ Estimated fee: Final cost be based on actual cost of the material & Labor

⁽²⁾ Estimated fee: Final cost be based on actual cost of the material & labor



STAFF REPORT: BROWNWOOD SUBDIVISION PHASE 3

Date Prepared: March 7, 2023 Planning and Zoning Meeting: March 14, 2023

Preliminary Plat Approval

Subject: Consider the Preliminary Plat approval of **BROWNWOOD SUBDIVISION**

PHASE 3, being a 5.00- acre tract of land out of Lot 9, Section 233, Texas-Mexican Railway Company Survey Subdivision, located on Hoehn Road, as

requested by HLG Plan Services.

Location: The property is located on the west side of Hoehn Road, south of Chapin Road,

and is within the City of Edinburg's City Limits.

Zoning: Property zoning is currently zoned as Agricultural District (AG), with

proposed Residential Primary District.

Setbacks: UDC Setbacks for Residential Primary District, Setbacks are as follows; Front

20-ft., Side 6-ft., and Rear 20-ft.

Analysis: The Preliminary Plat development of 24 - Residential lots.

Utilities: Development will utilize an existing Sharyland Water Distribution System,

located on Hoehn Road. Also, an existing sanitary sewer system will extend an 12-inch line along Hoehn Road north to serve development, and subject to

a Lift Station reimbursement contract.

All utility improvements within the proposed subdivision that are not limited to water system, sewer system, curb & gutter, and fire hydrants will be installed by the developer in accordance with the approved 2021 Standards

Manual.

Recommendations:

City of Edinburg Planning & Zoning Department:

Staff recommends approval of the Preliminary Plat, subject to compliance with the Unified Development Code, General Notes; on FEMA flood zone, zoning, setbacks, finish floor elevation, benchmark, drainage detention, parkland fees, limited access, SWP3 requirements, sidewalks, and other notes as required based on development.

City of Edinburg Engineering / Utilities Department:

Preliminary Phase Submittal comments for this subdivision are included in the packet. As per Engineering, the plat shall be Preliminarily Approved until all comments have been addressed by the project engineer.



ENGINEERING DEPARTMENT

Preliminary Staff Review

February 22,2023

Homero L. Gutierrez, P.E., R.P.L.S.

HGL Plan Review Services P.O. Box 548 McAllen, TX 78505 (956) 369-0988

RE: BROWNWOOD PHASE 3 - PRELIMINARY REVIEW

Mr. Gutierrez,

Attached are the Preliminary Phase Submittal comments for Brownwood Phase 3 Subdivision. Submittal is adequate as presented and recommended for preliminary approval.

Any questions feel free to contact us.

Digitally signed by Peter

Thanks,

Hermida
Date: 2023.02.27
17:13:42 -06'00'

Peter Hermida, P.E.

Email: phermida@cityofedinburg.com

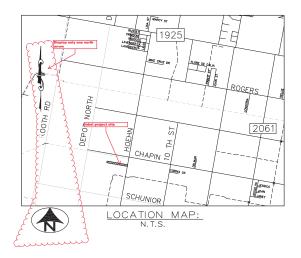
415 W. University Drive Edinburg, Texas 78539

Cc: Mardoqueo Hinojosa, P.E., CFM, City Engineer, Patrizia Longoria, P.E., Engineer III, Roberto Hernandez, CFM, Engineer II, Abel Beltran, Planner I, Vince Romero, Director of Public Works, Robert Valenzuela, Storm Water Specialist, Jaime Acevedo, Director of Planning and Zoning, Rita Lee Guerrero, Management Analyst, Jaime Xavier Ayala, Planner II, Gerardo Carmona P.E., Director of Utilities, Jose Flores, Systems Superintendent, Omar Garza, Fire Marshal, Ramiro

Gomez, Director of Solid Waste

REFERENCES:

City of Edinburg – 2021 Standard Manual – Construction and Development Requirements; Unified Development Code; and if required a TX-Dot Permitting UIR permitting process.





SUBDIVISION PLAT:

1 SUBDIVISION PLAT

COVER SHEET: COVER & INDEX SHEET

CIVIL & CONSTRUCTION PLANS:

- 2 EXISTING TOPOGRAPHICAL SURVEY MAP 3 WATER IMPROVEMENTS
- 4 SANITARY SEWER IMPROVEMENTS
- 5 PAVING & DRAINAGE IMPROVEMENTS
- 6 EROSION CONTROL PLANS
- 7 LIGHTING PLAN

PROJECT CONTACTS:

CIVIL ENGINEERING FIRM:

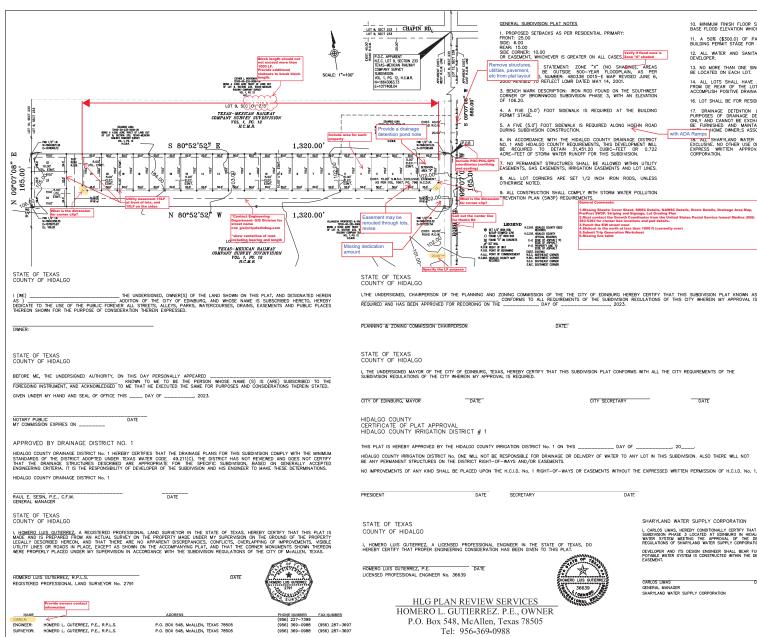
HLG PLAN REVIEW SERVICES HOMERO L. GUTIERREZ. P.E., OWNER P.O. Box 548, McAllen, Texas 78505 Tel: 956-369-0988 TBPE Firm Licensed No. F-10426

BROWNWOOD PHASE 3 SUBDIVISION

NOTE:

CONTRACTORS SHALL IMMEDIATELY NOTIFY THE ENGINEER OF ANY DISCREPANCIES FOUND ON THESE SET OF DRAWINGS, PRIOR TO ANY CONSTRUCTION.

HLG PLAN REVIEW SERVICES HOMERO L. GUTIERREZ. P.E., OWNER P.O. Box 548, McAllen, Texas 78505 Tel: 956-369-0988 TBPE Firm Licensed No. F-10426



10. MINIMUM FINISH FLOOR SHALL BE 24" ABOVE TOP OF CURB OR BASE FLOOD ELEVATION WHICHEVER IS GREATER.

11. A 50% (\$300.0) OF PARK AND LAND FEE WILL BE DUE AT BUILDING PERMIT STAGE FOR RESIDENTIAL LOTS ONLY.

13. NO MORE THAN ONE SINGLE FAMILY DETACHED DWELLING SHALL BE LOCATED ON EACH LOT.

14. ALL LOTS SHALL HAVE A POST DEVELOPMENT FINISHED GRADE FROM DE REAR OF THE LOT TO THE CURB AT A 1.0% SLOPE TO ACCOMPLISH POSITIVE DRAINAGE.

16. LOT SHALL BE FOR RESIDENTIAL USE ONLY.

17. DRAINAGE DETENTION LOT "A" SHALL BE USED FOR THE PURPOSES OF DRAINAGE DETENTION FOR SUBBIVISION NOLY AND CANNOT BE EXCHANGED OR CONVEYED OWNERSH: MUST BE FURNISHED AND MAINTAINED BY THE SUBDIVISION DEVELOPER LABORIT

Ramps
TEO. ALL SHARYLAND WATER SUPPLY CORPORATION EASEMENTS ARE
EXCLUSIVE. NO OTHER USE OF EASEMENT IS PERMITTED WITHOUT THE
EXPRESS WRITTEN APPROVAL OF SHARYLAND WATER SUPPLY
CORPORATION.

2061 LOCATION MAP PREPARED BY:

H.L.G. PLAN REVIEW SERVICES HOMERO L. GUTIERREZ. P.E., OWNER BOX 548, McALLEN TEXAS 78505

DATE PREPARED: 12/22/22 DATE SURVEYED: 10/04/22

PLAT OF BROWNWOOD SUBDIVISION PHASE 3

A 5.000 ACRE TRACT OF LAND OUT OF LOT 9, SECTION 233, TEXAS-MEXICAN RAILWAY COMPANY SURVEY SUBDIVISION

AS RECORDED IN VOL. 1, PG. 12, H.C.M.R. LOCATED IN THE CITY OF EDINBURG

METES AND BOUNDS DESCRIPTION

A 5.000-AGÉE TRACT OF LAND, OUT OF LOT 9, SECTION 233, TEXAS-MEXICAN RAILWAY COMPANY SURVEY SUBDIVISION, AS PER MAP OR PLAT THEREOR RECORDED IN VOLUME 1, PAGE 12, HIDALGO COUNTY MAP RECORDS, HIDALGO COUNTY INCOME TO THE WEST SIDE OF HORM ROAD APPROXIMATILEY 68.00 FEET SOUTH OF CHAPT ROAD AND, TO MORE PARTICULARLY DESCRIBED BY WEETS AND BOUNDS AS FOLLOWS:

THE POINT OF COMMENCEMENT (P.O.C.) A POINT FOR THE APPARENT NORTHEAST CORRER OF SAD LOT 9 SCCION 233, THENCE, SOUTH 09070'08 WEST, WITH THE SAD HORM ROAD EXISTING 40-FOOT DISTANCE OF GROOD FEET TO A POINT FOR THE APPARENT NORTHEAST CORRER OF \$20 0.500-ACRE TRACT HEREIN DESCRIBED AND BEING ALSO THE POINT OF BEGINNING (P.O.B.) OF SAID 5.000-ACRE TRACT OF LAND HERD DESCRIBED.

THENCE, SOUTH 090708' WEST, WITH THE SAID HOEHN ROAD EXISTING 40-FOOT RIGHT-OF-WAY CENTERINE, AND THE APPARENT EAST LOT LINE OF SAID LOT 9, SECTION 233 AND OF SAID 5,000-ACRE TRACT, A DISTANCE OF 165.00 FEET TO A POINT FOR THE APPARENT SOUTHEAST CORNER OF SAID 5,000-ACRE TRACT HEREN DESCRIBED;

THENCE, NORTH 80'\$2'\$2' WEST, WITH THE APPARENT SOUTH LOT LINE OF SAID 5.000-ACRE TRACT A DISTANCE OF 2.0.00 FEET TO A HALF INCH IRON ROD FOUND ON THE APPARENT EXISTING WEST RICH-TO-MAY THE OF SAID HOLDEN ROD, CONTINUES FOR A TOTAL DISTANCE OF 1,32.00 FEET TO A HALF INCH IRON ROD FOUND FOR THE APPARENT SOUTHWEST CORNER OF SAID 5.000-ACRE TRACT HEREN DESCRIBED.

THENCE, NORTH 09'07'08" EAST, WITH THE APPARENT WEST LOT LINE OF SAID 5.000—ACRE TRACT A DISTANCE OF 165.00 FEET TO A HALF INCH IRON ROO SET WITH PLASTIC CAP STAMPED 2791 FOR THE APPARENT NORTHWEST CORNER OF SAID 5.000—ACRE TRACT HEREIN DESCRIBED:

THENCE, SOUTH BROSYSS - EST, WITH THE APPARENT NORTH LOT UNE OF SUD 5,000-NOR TRACT A DIGTANCE OF 1,000.00 TEET TO A HAUT NICH HOWN 600 FORDOW CH. THE APPARENT SOSTIMO RIGHT-OF-WAY LINE OF SAID HOEHN ROAD, CONTINUING FOR A TOTAL DISTANCE OF 1,320.00 FEET TO A POINT FOR THE APPARENT NORTHEAST CORNER OF SAID 5,000-ACRE TRACT FOR THE POINT FOR BEGINNING (P.O.B.), CONTAINING A GROSS OF 5.000-ACRE OF LAND, OF WHICH 0.076 OF AN ACRE LIES IN EXISTING HOEHN ROAD RIGHT-OF-WAY, FOR A NET OF 4.924 ACRES MORE OR LESS

DATE

I, CARLOS LUACA, REGERY CONSTITUALLY CEPTRY THAT POTREEL WATER SERVICE IS AVAILABLE FOR THE REPORTMENT SERVICION FAMER SI LOCATED IT CORDEROR IN HUADOL COUNTY, TOXAS, SIGRECT TO THE SERVICIONS POTABLE WATER SYSTEM MECTING THE APPROVAL OF THE DEVELOPER'S DESIGN ENGINEER, ALL APPLICABLE RILES AND REGULATIONS OF SHAPTAMO WATER SIPPLY COPPORTATION, AND LOCAL, STATE, AND TEEPAL AGENCES.

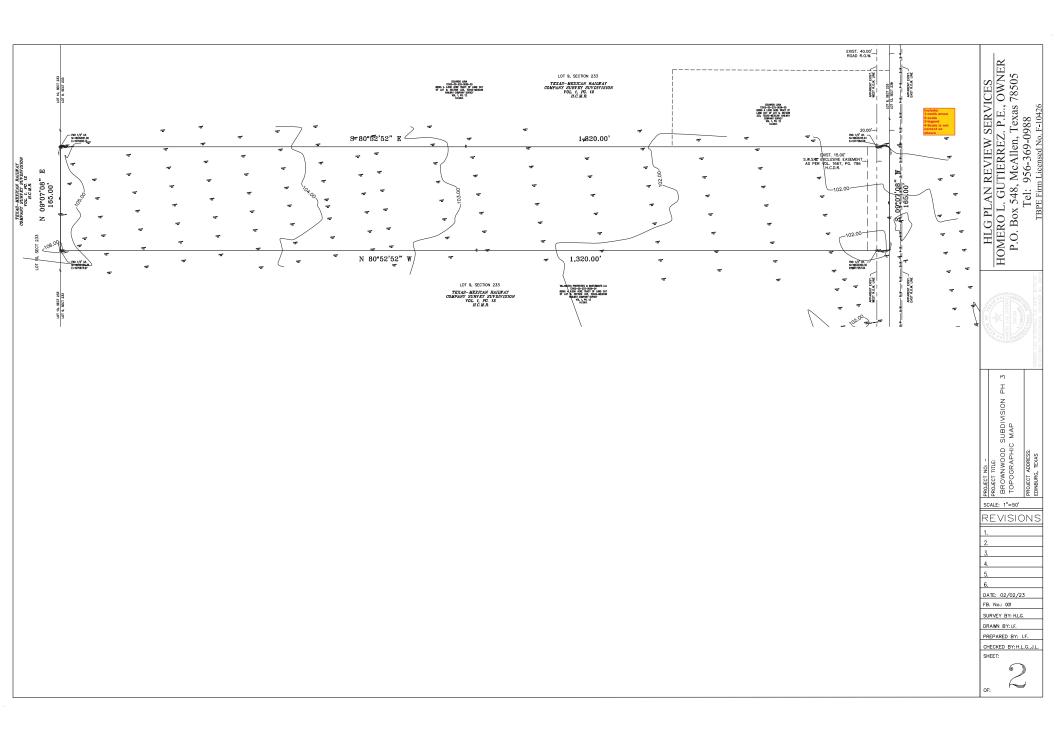
SHARYLAND WATER SUPPLY CORPORATION

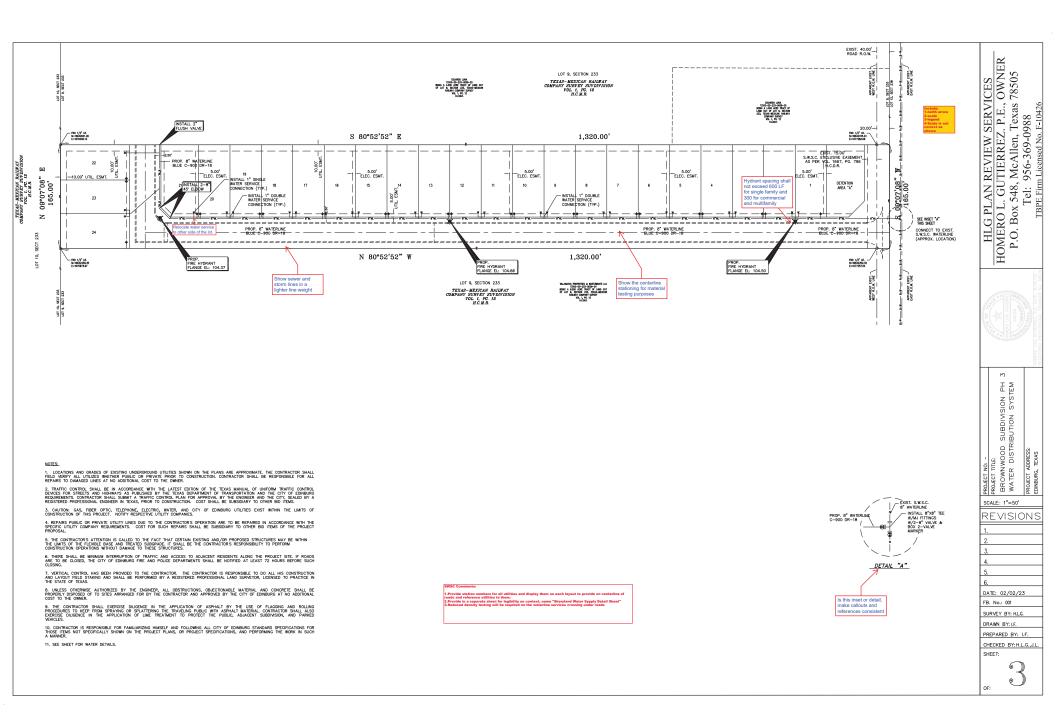


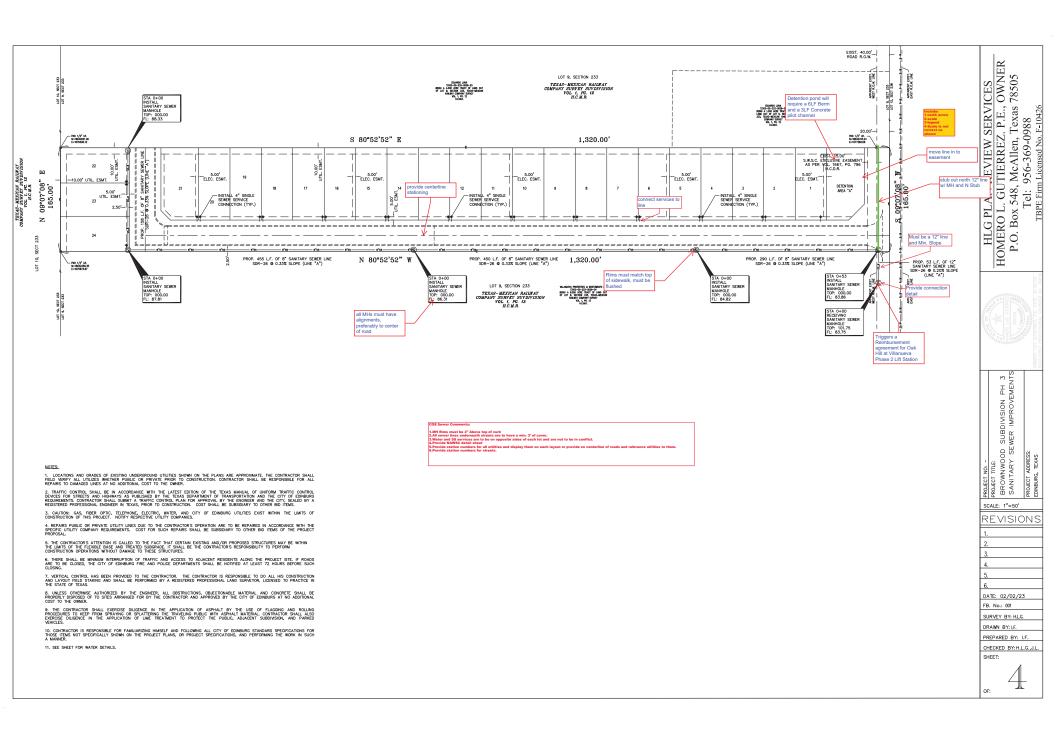
THE MAP RECORDS OF HIDALGO COUNTY, TEXAS

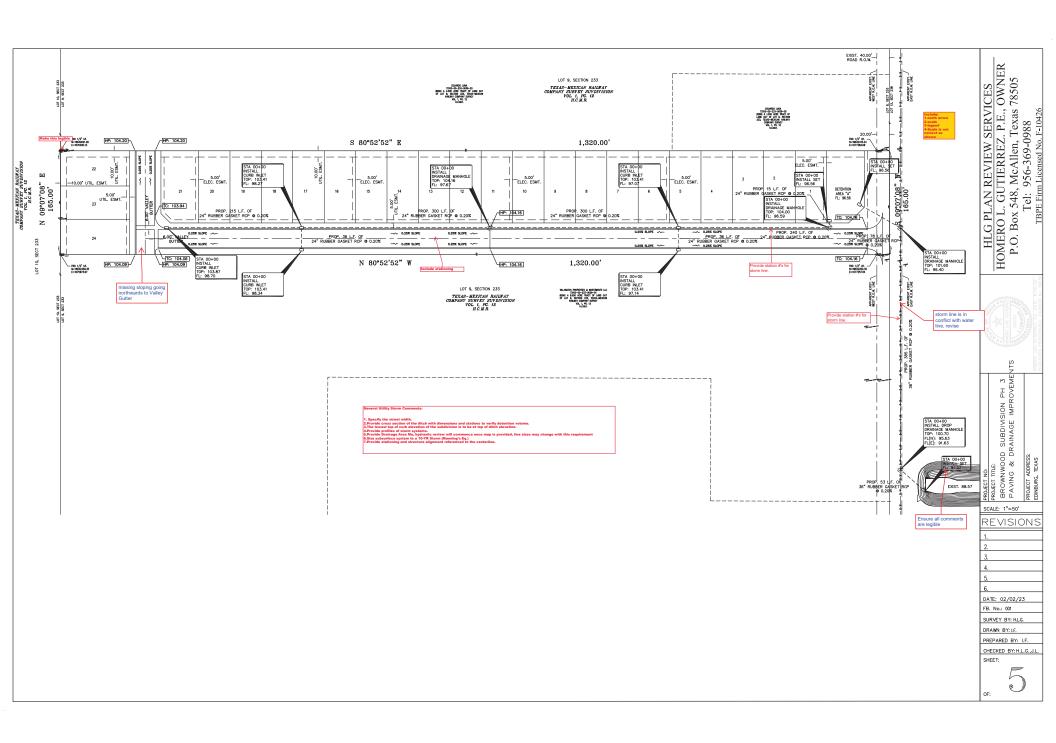
				MINERS	
			LOT	SQ. FT.	AC.
	LINE DATA	^	1-20	5,750.00	0.132
	LINE DATA	٠,	21	6,787.50	0.156
LINE	BEARING	DISTANCE	22 & 24	6,160.00	0.141
L1	N 35'52'52" W	21.21	23	5,830.00	0.134
L2	S 54'07'08" W	35.36	"A"	6.587.50	0.151

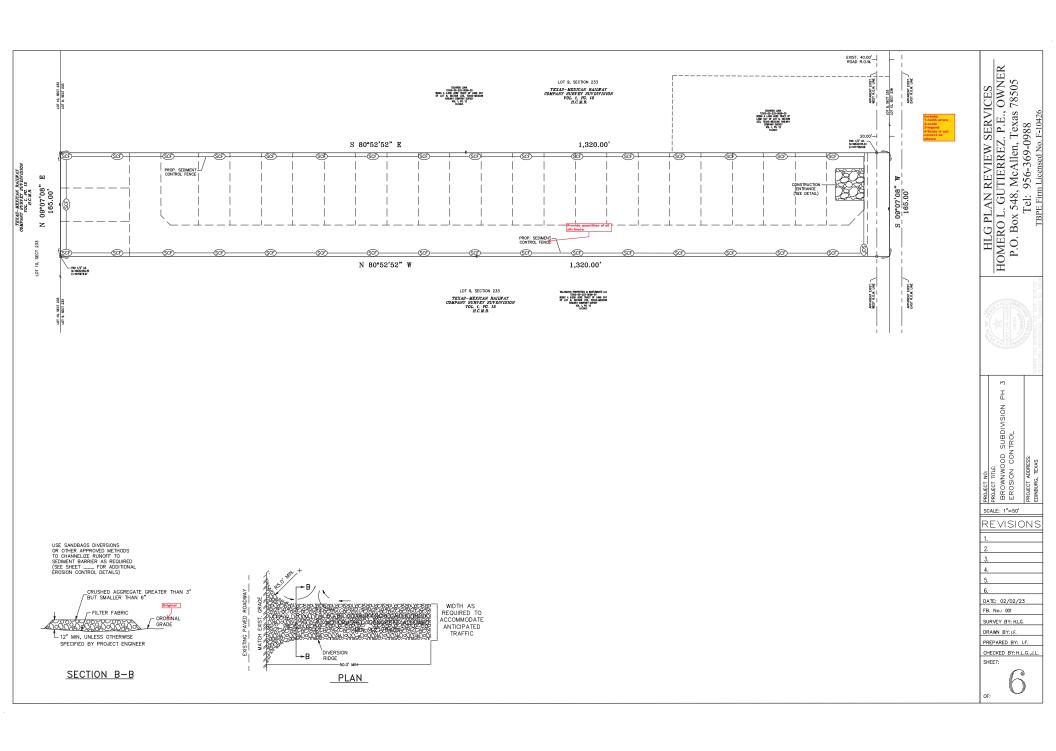
TBPE Firm Licensed No. F-10426

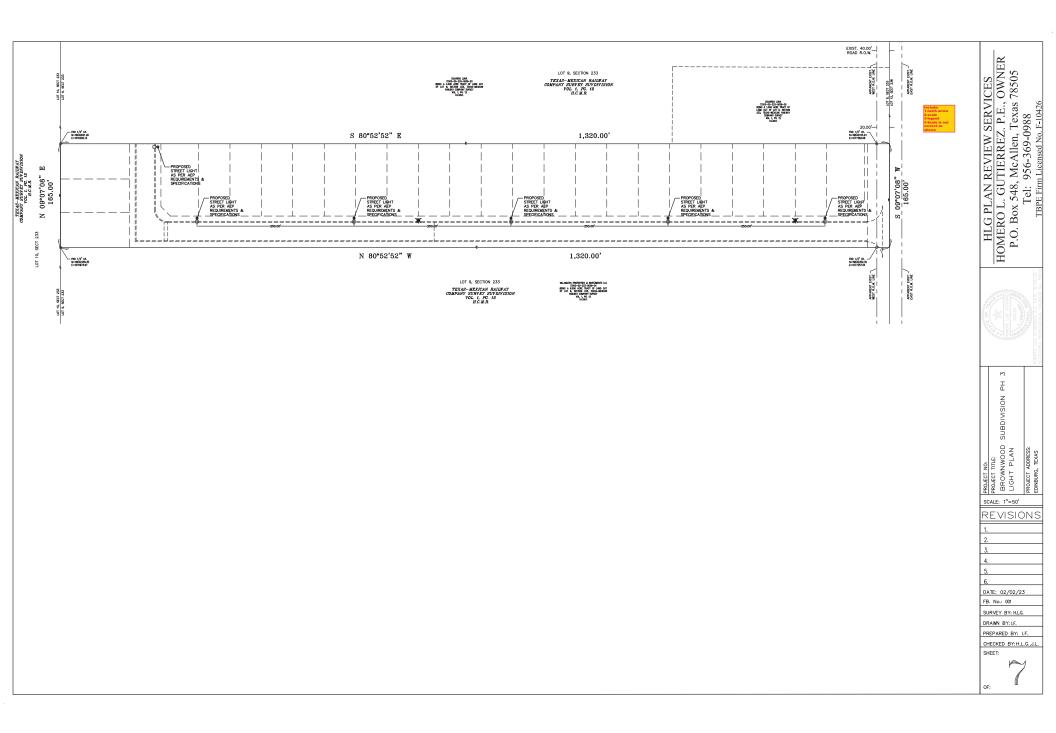














To: Adam Elizondo, Planning & Zoning, City of Edinburg

Homero L. Gutierrez, P.E., HLG Plan Review Services

From: Robert Valenzuela, Stormwater Manager

Date: February 21, 2023

Subject: Brownwood Phase 3 Subdivision

Stormwater

Brownwood Phase 3 Subdivision 5Acres

As of July of 2022, New Stormwater Standards will now be enforced.

Required Information

The following items are required by TCEQ and the City of Edinburg. Please submit the following at your earliest convinces

- 1. SW3P (Stormwater Pollution Prevention Plan)
- 2. NOI (Notice of Intent, Per TCEQ)
- 3. Large Construction Notice (Per TCEQ Inventory)
- 4. Plat Note (All construction shall comply with Stormwater Pollution Prevention Plan (SW3P) requirements. Erosion and Sedimentation Controls constructed in accordance with the Stormwater Ordinance 98.30 of the City of Edinburg are required for all construction on each lot including single family and duplex/multi-family construction)
- 5. Detailed Erosion Control Plan (Silt Fence, Construction Entrance, Inlet Protection, Concrete Washout)
- 6. Detailed Post Construction BMP's Plan (Silt Fence back of curb, Example Attached)

Comments:

Before Construction:

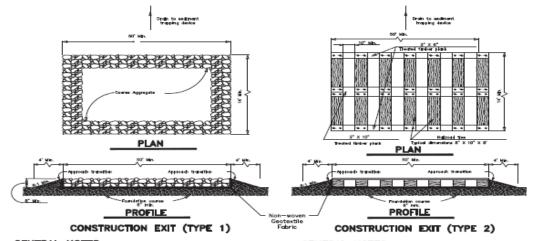
- SW3P must but submitted with NOI and Large Construction Notice
- New Stormwater Standards (BMPs) need to be placed within the Erosion Control on the final plans (Please get with Engineering for Cad Files)
- All BMPS need to be identified on the Erosion Control
- Post Construction Plans need to be submitted with final plans
- Plat Note #9 needs to be revised. Please see the above information (#4).

- All items must be submitted before the NTP is issued.
- Please email pending items to rvalenzuela@cityofedinburg.com

Post Construction:

- Contractor must install silt fence behind back of curb before the final walk through.
- Socks must be placed on all inlets before the final walk through.
- Notice of Termination Per TCEQ needs to be submitted at the end of final walk through





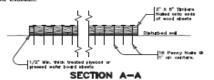
GENERAL NOTES

- THE LENGTH OF TIME 1 CONSTRUCTION ENT SHALL BE AS INDICATED ON THE PLANS, BUT NOT LESS THAN 50.

 THE COARSE ADDRESS HOURS BE OFFEN CRADED WITH A SIZE OF 4" TO 8".

 THE COARSE ADDRESS HOULD BE ONE STEEPER THAN 6:1 AND CONSTRUCTED AS DIRECTED BY THE ENGINEER.

 THE CONSTRUCTION ENT FOUNDATION COURSE SHALL BE FLIMBLE BASE, BITMANOUS CONNECTE, PORTLAND COUNDETT, CONTROLLED OF THE ADDRESS ADDRESS HOUSE AND ADDRESS ADDRESS ADDRESS HOUSE ADDRESS ADDR



CONSTRUCTION EXIT (TYPE 3)

GENERAL NOTES

- 1. THE LENGTH OF THE 3 CONSTRUCTION EXIT SHALL BE AS INDICATED ON THE PLANS, OR AS DISECTED BY THE ENGINEER.

 OR AS DISECTED BY THE PLANS AS SHALL BE 42 GRADE MIN. AND SHOULD BE FREE FROM THE PLANS.

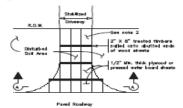
 IT ET TRAINED THESE THAN SHALL BE 42 GRADE MIN. AND SHOULD BE FREE FROM THE DUSTED BY SHOWN HORSEN ARE SUGGESTIONS ONLY AND MAY BE MODIFIED BY THE ENGINEER.

GENERAL NOTES

- SENERAL NOTES

 THE LEDGH OF TYPE 2 CONSTRUCTION ENT SHALL BE AS INDICATED ON THE PLANS,
 THE TREATED THREE PLANS SHALL BE ATTACHED TO THE RALFOAD TES WITH 1/2 ×
 6" MIN. LAG BOLTS. OTHER PASTENES MAY BE USED AS APPROVED BY THE
 BENEVILLE.

 THE APPROACH TRAMESTIONS SHALL BE 82 GRADE MIN. AND SHOULD BE FREE PROV.
 LARGE AND LOOSE KNOTS.
 THE APPROACH TRAMESTIONS SHOULD BE NO STEEPER THAN 6:1 AND CONSTRUCTED
 THE APPROACH TRAMESTIONS SHOULD BE NO STEEPER THAN 6:1 AND CONSTRUCTED
 THE APPROACH TRAMESTIONS SHOULD BE NO STEEPER THAN 6:1 AND CONSTRUCTED
 CONSTRUCTION BUT FOUNDATION COURSE SHALL BE FLEMBLE BASE, BITUMINOUS
 CONCERNED FOUNTAINCE OF THE MATERIAL AS APPROVED BY THE
 TRAPPHOE CONSTRUCTION BUT SHALL BE GRADED TO ALLOW DRAMAGE TO A SEDIMENT
 THAPPHOE CONSTRUCTION BUT SHALL BE GRADED TO ALLOW DRAMAGE TO A SEDIMENT
 THAPPHOE CONSTRUCTION BUT SHALL BE GRADED TO ALLOW DRAMAGE TO A SEDIMENT
 THAPPHOE CONSTRUCTION BUT SHALL BE GRADED TO ALLOW DRAMAGE TO A SEDIMENT
 THAPPHOE DESCRIPTIONS ON HEREON ARE SUGGESTIONS ONLY AND MAY BE MODIFIED BY
 BENEFALL BY THE STATEMENT OF THE PROACH THE PROACH



PLAN

FILTER FABRIC: NON-WOVEN GEOTEXTILE FABRIC FABRIC WEIGHT 0Z/SY
PERMITWITY 1/SEC
TENSILE STRENGTH LBS
APPARENT OPENING SIZE SIEVE NO.
ELONGATION AT 19LD %
TRAPEZOUDAL TEAR LBS 6 MIN. 0.5 MIN. 200 MIN. 80-120 20-100 75 MIN.

STW-5

TEMPORARY EROSION CONTROL CONSTRUCTION ACCESS/EXIT

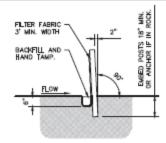
SCALE: N.T.S. REVISED: I.P./AC DATE: MAY, 2022 DRAWN BY: RMM











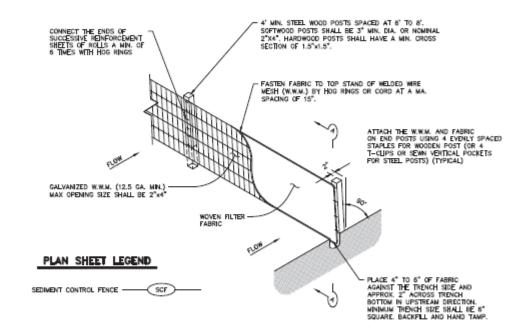
GENERAL NOTES

 THE GUIDELINES SHOW HEREON ARE SUGGESTIONS ONLY AND MAY BE MODIFIED BY THE ENGINEER.

SEDIMENT CONTROL FENCE USAGE GUIDELINES

A SEDIMENT CONTROL FENCE MAY BE CONSTRUCTED NEAR THE DOWNSTREAM PERIMETER OF A DISTURBED AREA ALONG A CONTOUR TO INTERCEPT SEDIMENT FROM OVERLAND RUNGER. A 2 YEAR STORM FREQUENCY MAY BE USED TO CALCULATE THE FLOW RATE TO BE FILTERED.

SEDIMENT CONTROL FENCE SHOULD BE SIZED TO FILTER A MAX. FLOW THROUGH RATE OF 100 GPM/FT—SEDIMENT CONTROL FENCE IS NOT RECOMMENDED TO CONTROL EROSION FROM A DRAINAGE AREA LARGER THAN 2 ACRES.

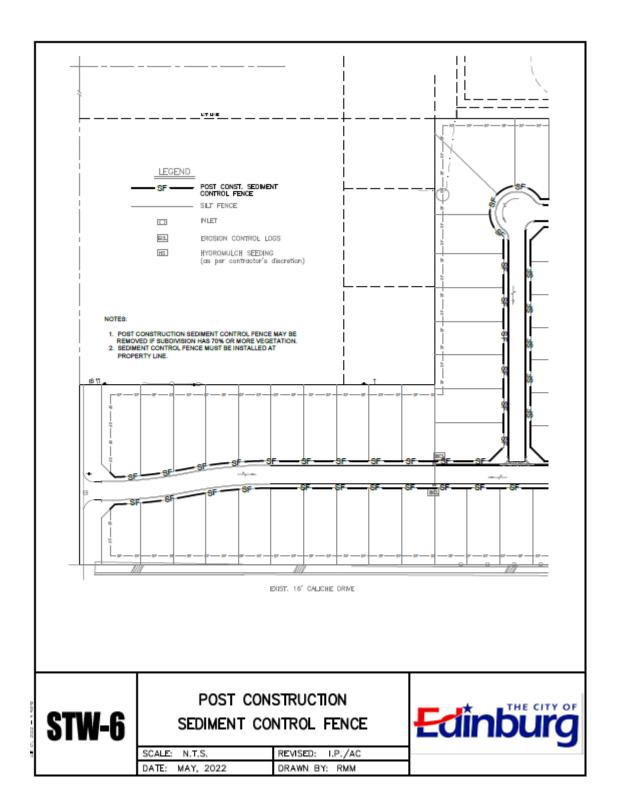


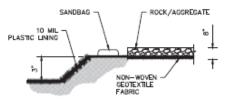
STW-2

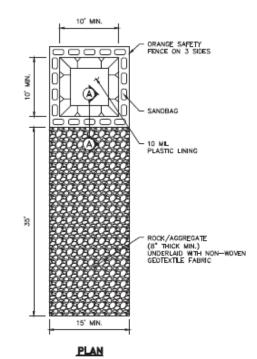
TEMPORARY SEDIMENT CONTROL FENCE — DETAILS

	REVISED: I.P./AC
DATE: MAY, 2022	DRAWN BY: RMM









NOTES:

- 1. VERBALLY INSTRUCT THE CONCRETE TRUCK DRIVERS WHERE THE PIT IS AND TO WASHOUT THEIR TRUCKS IN THE PIT AND NOWHERE ELSE.
 2. UPON THE CONCRETE SETTING UP (CURING, DRYING OUT), THE CONCRETE WASTE SHALL BE REMOVED FROM THE PROJECT SITE AND DISPOSED OF PROPERLY BY THE CONTRACTOR. AFTER REMOVAL OF THE CONCRETE WASTE, THE WASHOUT PIT SHALL BE FILLED WITH CLEAN FILL MATERIAL AND COMPACTED TO IN-SITU CONDITIONS, OR AS DIRECTED BY THE PROJECT SPECIFICATIONS.
 3. CONCRETE WASHOUT PITS SHALL NOT BE LOCATED DIRECTLY ADJACENT TO, NOR AT ANY TIME DRAIN INTO THE STORM SEWER SYSTEM OR ANY OTHER SWALE, DITCH, OR WATERWAY.
 4. CONSTRUCT ENTRY ROAD AND BOTTOM OF WASHOUT AREA TO SUPPORT EXPECTED LOADINGS FROM TRUCKS EQUIPMENT.
 5. FILTER FABRIC: NON-WOVEN GEOTEXTILE FABRIC
 FABRIC WEIGHT OZ/SY 6 MIN.

0.5 MIN. 200 MIN. 80-120 20-100 75 MIN. PERMITIVITY
TENSILE STRENGTH 1/SEC LBS APPARENT OPENING SIZE ELONGATION AT YIELD TRAPEZOIDAL TEAR SIEVE NO. % LBS

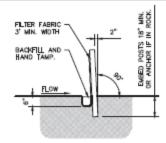
CONCRETE TRUCK WASHOUT AREA CTW SYMBOL

STW-8

CONCRETE TRUCK WASHOUT AREA

SCALE: N.T.S.	REVISED: I.P./AC
DATE: MAY 2022	DRAWN BY: RMM





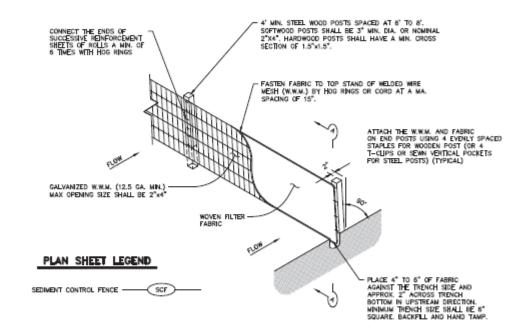
GENERAL NOTES

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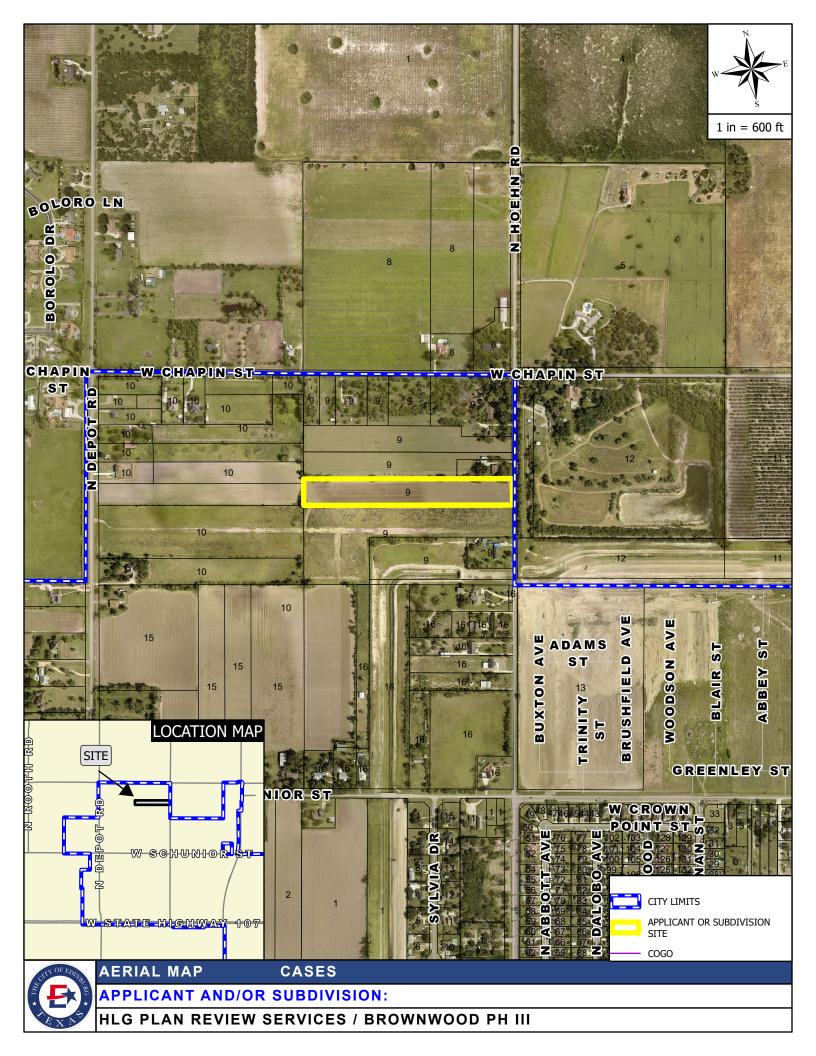


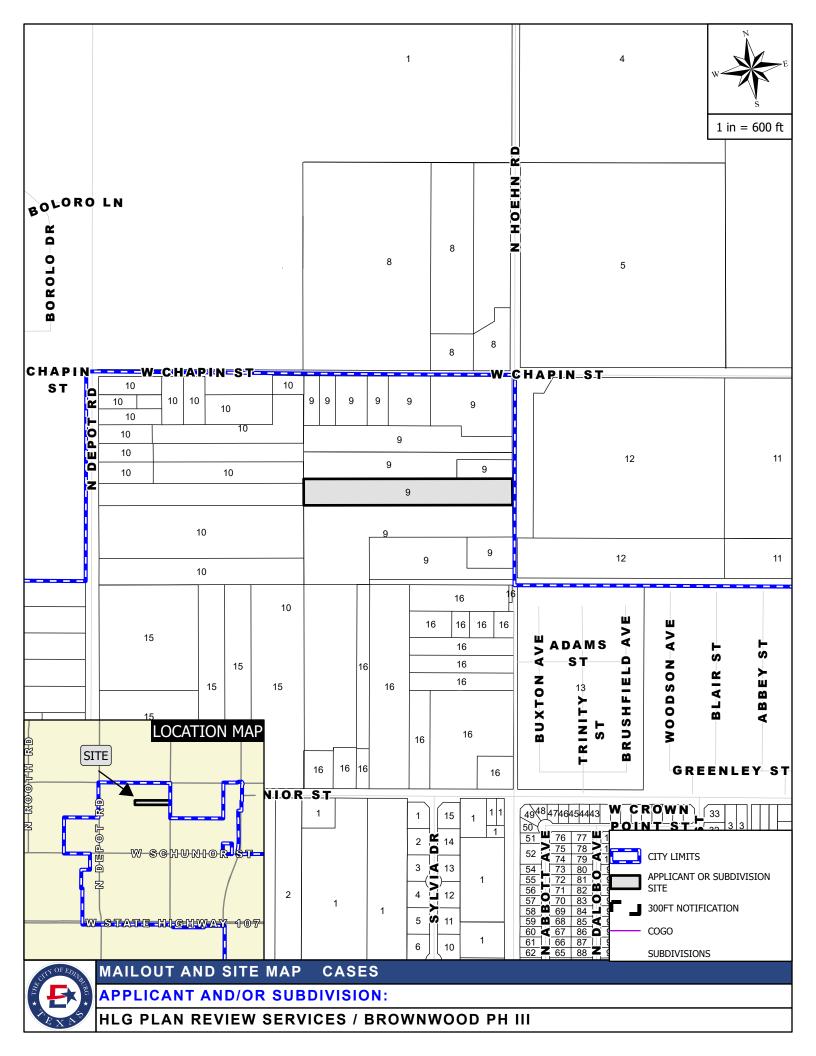
STW-2

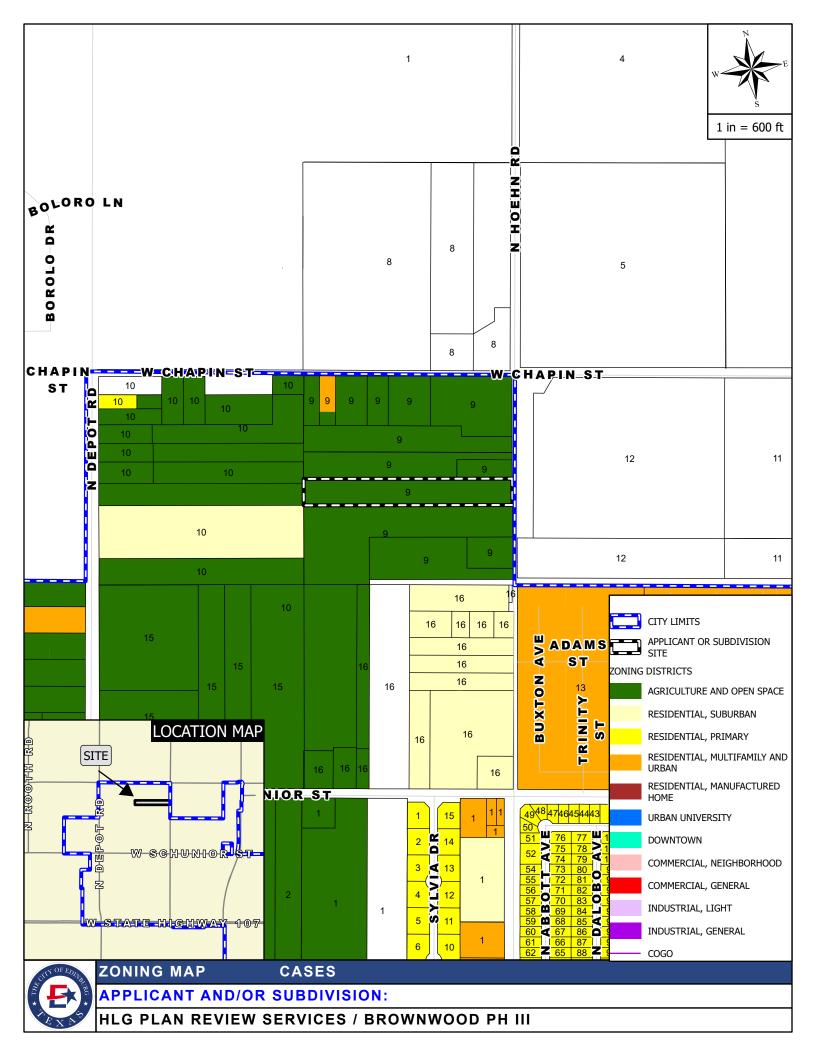
TEMPORARY SEDIMENT CONTROL FENCE — DETAILS

	REVISED: I.P./AC						
DATE: MAY, 2022	DRAWN BY: RMM						









Planning & Zoning

415 West University Drive Edinburg, Texas 78539 (956) 388-8202



ENERGOV CASE # PLAT-2023 - 0169

Date: 2/6/23 Request Type: PRELIMINARY / FINAL PLAT	_
1. Exact Name of Subdivision: BROWN WOOD PHASE 3	
2. Property Owner: LASHAMIE ENT. INC. 3. Developer: LASHAMIE ENT. INC.	_
4. Owner Phone: (956) 227 - 7399 5. Owner Email: (1) e x 9275 @ yahoo. con	<u>^</u>
6. Owner Address: 3525 W. FREDDY GUNZALEZ DR. STE. B EDINBURG TY 78	<u>′530</u>
7. Current Zoning: RP-PRIMARY RES 8. Required Zoning RP-PRIMARY RES	_
9. Legal Description: 5 ACRE TRACT OF LAND OUT OF LUT 9, SECTION	
233 TEXAS-MEXICAN RAILWAY COMPANY SURVEY	_
10. Property ID: 294734	
11. Inside City Limits? YES If "No," is in the Comprehensive Development Area Rural Development Area	ea
12. Primary Consulting Firm: HLG PLAN REVIEW SERVICES 13. Phone: 956-369 - 0988	
14. Consulting Firm Address: PO BOX 548 McAUEM TEXAS 78505	
15. Consulting Firm Email(s): HOMERO_GUTIERREZ@SBCGLOBAL. NET	_
16. Desired Land Use Option: RESIDENTIAL	_ /
17. Number of Lots: Single Family Multi-Family Commercial Industrial	لهع
18. Proposed Wastewater Treatment: Sanitary Sewer OSSF (On-Site Sewage Facility)	30
19. Electric Power and Light Company to Serve the Proposed Subdivision:	_
20. Irrigation District: H.C.I.D. 1 Potable-water Retailer: CITY OF EDITIONS	<u> </u>
Owner of record, holding title to real estate within the proposed subdivision. Ownership instrument (i.e. Title Policy, Warranty Deed and Deed of Trust) shall be submitted with application. All such owners are listed immediately below.	!
Name(s) (Print or Type) Mailing Address & Zip Code	
Phone Number S575 W. FREDDY GUYZQUEZ Email	-
(956) 227-7399 alex9275 eyahou. com	
Have any of said owners designated agents to submit and revise this plat application on their behalf?	
Yes No (If "Yes" attached duly notarized documentation to that effect, signed by each such owner.)	
The undersigned owners of record (or their authorized agents) hereby agree to make all the improvements, and to meet all the requirements and standards as specified in the City of Edinburg Code of Ordinances. The undersigned hereby request that the Edinburg Planning & Zoning Commission and the City Commission approve the attached subdivision plat. The undersigned hereby declared that we have made a diligent effort or ensure that all items contained in this application (including all construction plans) are true and complete. Developer's requirement sheet must be completed, signed, and submitted with the application form.	rt
Signature A A A A A A A A A A A A A A A A A A A	



PLANNING & ZONING DEPARTMENT

Inter-Gov <u>2023-0169</u>	SUBDIVIS	SION WITH	IIN CITY	LIMITS C	HECK LIST	PRELIMINARY APPROVAL					
PLANNING & ZONING DEPARTMENT (956) 388-	8202	SUBDIV	ISION P	ROCESS		Date :	Ma	rch 7, 2023			
Date Filed: February 7, 2023	P&Z Preliminary: <u>N</u>	larch 14, 2	2023	P&Z Final:			City Council:				
Reviewed:	taff Review : Fe	bruary 16,	2023	Tir	ne Line : 55	Days	Expires :	April 3, 2023			
		bruary 23,		-	tension : 0	_ Days	Expires 1:				
abeltran@cityofedinburg.com	If Var	iances Re	quested	2nd Ex	tension : 0	Days	Expires 2:				
Director of Planning & Zoning Jaim	ie Acevedo, Planning D)irootor	Email :	iacovo	do@cityofedin	hura com	City Office #:	(956) 388-8202			
	ardo Carmona, P.E.	ni ectoi			na@cityofedin		City Office #:	, ,			
	ent Romero				ocityofedinbur		City Office #:	, ,			
	doqueo Hinojosa, P.E.,	CPM			osa@cityofedir		City Office #:	` '			
LASHANTE EMT, INC. BROWNTOWN SUBDIV		W. Fredo	iy Gonza		e, Edinburg, TX.	<u> </u>		Project Engineer			
BROWNTOWN SUBDIV		1	ο υ		onsultant : HLG	PLAN REVIE	W SERVICES,	Edinburg, TA.			
DESCRIPTION	Provided	Need to Provide	Not Applicable	Need to Revise		CO	MMENTS				
Subdivision Process:											
Subdivision Plat Submittal	٧										
Warranty Deed	٧										
Topography Survey	V										
Drainage Report Submittal (As Per City Drainage P	olicy) v				Approved by H.C	C.D.D.#1	Date:	Pending Approval			
Zoning : City Limits - ETJ	V										
Flood Zone	√										
Preliminary Submittals:		<u> </u>	<u> </u>		0 1 134/4	0 0:1:1:1	. 0 1 (00)	AD.			
Existing & Proposed Water Distribution Layout	V	+			•	er Suppy Distribution System (CCN)					
Water Distribution System Provider:	V	+			•	r Suppy Distribution System (CCN) Sanitary Sewer Collection System (CCN)					
Existing & Proposed Sewer Collection Layout	V	+				•					
Sanitary Sewer Collection System Provider:	√	+			City of Edinburg Proposed Draina	•	•	m (CCN)			
Existing and Proposed Drainage Layout System: Collector Street Right-of-way Dedication:	√	+			Street Section (E	<u> </u>		on 57 ft D D\			
Collector Street Pavement Section (80-ft ROW) (57					In Accordance to						
Variances Appeals Request: 2023	-it b-b) V	V				oning Meeting	Results	City Council Meeting			
Street Widening Improvements (Hoehn Road)		V			1 Idining & 2	orning mooting	1 toodito	only countries meeting			
Street 5-ft Sidewalk Improvements (Hoehn Road)		٧									
		٧									
Construction Plans Review Submittals:	(See Section	4 Constr	uction I	lans Su	bmittals Policy	, 2014 STANI	DARD POLICY	MANUAL)			
Cover Sheet		٧									
Topography Sheet (Utilities, Bench Marks)		٧									
Sanitary Sewer Improvements: On-Site & Off-Site		٧			City of Edinburg	Sewer Collectio	n System (CCN)				
Sanitary Sewer Detail Sheets		٧			See Section 3 Ut	tility Policy, 2014	4 Standard Policy	y Manual			
Water Distribution Improvements: On-Site & Off-Sit	e	٧			Sharyland Water	Suppy Distribut	tion System (CC	N)			
Water Distribution Detail Sheet (Fire Hydrant Asser	mbly)	٧			See Section 3 Ut	tility Policy, 2014	4 Standard Policy	y Manual			
Drainage Improvements:		٧									
Drainage Detail Sheets		٧			See Section 1 Dr			•			
Principal/Major Arterial Streets Improvements:		٧			See Section 2 St	reets Policy, 20	14 Standard Poli	cy Manual			
Street Sign Sheet:		٧									
Street Detail Sheets		V			See Section 2 St	reets Policy, 20	14 Standard Poli	cy Manual			
Street Lighting Sheet:		٧									
Traffic Control Plan:		٧									
Erosion Control Plan		٧			0 0 1111		0044.04	N P NA P			
Erosion Control Plan Detail Sheet BROWNTOWN SUBDIVISION NO.3		V	1		See Storm Wate	r Management,	2014 Standard F	Policy Manual Page 1 of 2			

DESCRIPTION	Provided	Need to Provide	Not Applicable	Need to Revise				COM	MENTS				
Pre-Construction Meeting:													
Notice To Proceed				٧			Dated:						
Roadway Open-Cut or Bore Permit Application		V			Dated:								
TX-Dot Water UIR Permit			٧		UIR:								
TX-Dot Sewer UIR Permit			٧		UIR:								
N.O.I. Submittal		V	_		Dated:								
SWPP Booklet Submittal		v			Dated:								
RFI #1 Request		V			Dated:								
Change Orders				٧			Dated:						
Final Walk Though				٧ ٧			Dated:						
Punch List - 1st Draft				٧ ٧			Dated:						
				V									
Punch List - Final				V			Dated:						
Letter of Acceptance	``						Dated:						
1-year Warranty (Water/Sewer/Paving/Drainage	ge)			٧			Dated:						
Backfill Testing Results				٧			Dated:						
As-Built (Revised Original Submittal)				٧		ļ	Dated:						
Recording Process:					l	1	<u> </u>						
Public Improvements with (Letter of Credit)				٧			Dated:				Expires:		
Recording Fees	\$	106.00		٧						Clerks offic			
Copy of H.C.D.D. #1 of invoice	\$	250.00		٧					aid pri	or to Final	_		
Street Light Escrow	\$	-		٧				uired:		0	EA. @	\$	-
Street Escrow: (HOEHN ROAD)	\$	10,102.42		٧				uired:		165	LF @	\$	61.23
Sidewalk Escrow: (5-ft.)(HOEHN ROAD)	\$	2,375.00		٧			Red	uired:		95	LF @	\$	25.00
	\$	12,477.42											
Total Developer's Construction Cost: (Letter of	1	lit)		ļ	٧		Date :				Lender:		
Laboratory Testing Fee: 3%	\$	-		٧			\$			-	ESTIMATE		
Inspection Fee: 2%	\$	-		٧			\$			-	ESTIMATE	D Construc	ction Cost
Park Land Fees: Zone # 5	\$	-					0	Lots @	\$	-	Full rate with	nin the ETJ	
24 Residential \$ 300.00	\$	7,200.00		٧			50%	Developn	nent		50%	Building	Stage
0 Multi-Family \$ -	\$	-			٧		50%	Developn	nent		50%	Building	Stage
Water Rights: SWSC-CCN	\$	-		V			0	.00	Acr	es		\$	3,000.00
Water 30-year Letter (Commercial)	\$	-			٧		0	Lots @	\$	-			
Water 30-year Letter (Single-Family)	\$	-		٧			0	Lots @	\$	-		SWSC-W	ATER - CCN
Sewer 30-Year Letter Service (4")	\$	1,560.00		٧			24	Lots @	\$	65.00		COE-SI	EWER - CCN
TOTAL OF FEES:	\$	8,760.00											
Reimbursements:													
Developer Sewer Improvements	\$	-			٧		Off-Site	System:		0.00	AC	\$	-
Developer Water Improvements	\$	-			٧		Off-Site	System		0.00	AC	\$	-
TOTAL OF REINBURSEMENTS:	\$	•											
Buyouts:						,							
North Alamo Water Supply Corporation	\$	-		ļ	٧		Require	d Buyout		0.00	AC.	\$	-
Sharyland Water Supply Corporation	\$	-			٧		Require	d Buyout		0.00	AC.	\$	-
Tax Certificates													
County of Hidalgo / School District				٧									
Water District				٧			Hidalgo	County Ir	rigatio	n District#	2		
Total of Escrows, Fees, Reimbursements	and Bu	uyouts:											
Escrows	\$	12	,477.42	Street	& Sidewa	ılk Improv	ements t	or (Hoehn	Road	d)			
Material Testing Fee Inspection Fees, Other F	Parklar	nd Fees,	Water Ri	ghts/Wat	er & Sewe	r 30-y	ear Agreen	nents					
Reimbursements - 2022	\$		-	1		to the De							
2022 City of Edinburg				0%					Admi	nistrative Fe	ee		
2022 To the Developer of Record	\$		-										
Buyouts	\$		-		ased on Subdivision (Need Request and Approval rate from SWSC/NAWSC Broads)							s)	
TOTAL:		21	,237.42	+					•	ements & I		500	,
BROWNTOWN SUBDIVISION NO.3	<u>τ</u>		,·· :=	_ = 0.000		222.011	, <u>200</u>	, 11011			-y - 0.0	1	Page 2 of 2

Planning and Zoning Commission

Attendance - 2023

2023

First Name	Last Name	Position	Jan	Feb	Mar	Apr	May	June	July	Aug	Sept	Oct	Nov	Dec
Joe	Ochoa	Chairperson	Α	Р										
Jorge	Sotelo	Vice-Chair	Р	Р										
Ruby	Casas	Commissioner	Р	Р										
Jorge	Gonzalez	Commissioner	Р	Р										
Victor	Daniec	Commissioner	Р	Р										
Rene	Olivarez	Commissioner	Р	Р										
Elias	Longoria, Jr.	Commissioner	Α	Р										