



**PLANNING AND ZONING COMMISSION
REGULAR MEETING
MAY 10, 2022 - 05:30 PM
CITY HALL-COUNCIL CHAMBERS
415 WEST UNIVERSITY DR.
EDINBURG, TEXAS 78539**

AGENDA

1. Call Meeting To Order, Establish Quorum

A. Prayer

B. Pledge of Allegiance

2. Certification of Public Notice

3. Disclosure of Conflict of Interest

4. Meeting Procedures

The following are the meeting procedures used by the Planning and Zoning Commission:

A. All the items are generally considered as they appear on the agenda as each item is introduced.

B. Staff will present its findings and recommendation on the item being considered.

C. The party making the request may make a presentation and may address the Commission on any issues arising during the discussion of the item being considered.

D. Anyone in the audience desiring to speak in favor or in opposition may do so. A 3-5 minute time limit will be given to each person interested in speaking on the item. The use of a spokesperson for large groups of people will be required.

E. Once the Chair closes the public hearing, the Commission may question anyone and maintain any discussion which clarifies the proposal and will take what action it feels to be appropriate.

5. **MINUTES**

A. Consider approval of the Minutes for the April 13, 2022 Regular Meeting

6. **PUBLIC COMMENTS**

7. **PUBLIC HEARINGS**

- A. Consider the Rezoning Request from Urban Residential (UR) District to Commercial General (CG) District, Lots 13-16, Block 12, Country Club Place Subdivision, located at 101 West Freddy Gonzalez Drive, as requested by Melden & Hunt, Inc., on behalf of 3BU Family Limited Partnership (**TABLED 04/13/2022**)
- B. Consider the Comprehensive Plan Amendment from Suburban Uses to General Commercial Uses and the Rezoning Request from Suburban Residential (S) District to Commercial General (CG) District, a 1.09 acre tract of land out of the North 10 acres of the North 15 acres of the South 20 acres of Lot 12, Section 268, Texas-Mexican Railway Company's Survey, located at 1002 South Raul Longoria Road, as requested by Julio C. Martinez
- C. Consider the Comprehensive Plan Amendment from Urban Uses to General Commercial Uses and the Rezoning Request from Suburban Residential (S) District to Commercial General (CG) District, a 2.00 acre tract of land being a portion of Block 39, Santa Cruz Ranch Subdivision, located at 5016 North Denkhau Boulevard, as requested by Sandra Ozuna
- D. Consider the Comprehensive Plan Amendment from Auto-Urban Uses to Neighborhood Commercial Uses and the Rezoning Request from Urban Residential (UR) District to Commercial Neighborhood (CN) District, 0.897 acre out of Lot 1, Section 276, Texas-Mexican Railway Company's Survey, located at 613 North Jackson Road, as requested by Ricardo Pedraza, PE, on behalf of Rodolfo V. Garcia
- E. Consider the Comprehensive Plan Amendment from Office Business Park Uses to General Commercial Uses and the Rezoning Request from Agriculture (AG) District to Commercial General (CG) District, 1.402 acres out of Lot 2, Block 4, Steele and Pershing Subdivision, located at 4421 South McColl Road, as requested by Melden & Hunt, Inc., on behalf of MVP Partnership LTD
- F. Consider the Initial Zoning Request to Auto-Urban Residential (AU) District, 38.786 acres out of Lot 15, Section 247, Texas-Mexican Railway Company's Survey, located at 2300 North Cesar Chavez Road, as requested by Melden & Hunt, Inc., on behalf of Gomez Paving, LLC.
- G. Consider the Rezoning Request from Commercial General (CG) District to Neighborhood Conservation 5 (NC5) District, 11.878 acres out of Lot 3, Section 275, Texas-Mexican Railway Company's Survey, located at 931 South McColl Road, as requested by Melden & Hunt, Inc., on behalf of Garman Investments, LP

8. **SUBDIVISIONS**

- A. Consider the Preliminary Plat of Las Encinitas Phase III Subdivision, being a 121.04 acre tract of land out of Lots "R" and "Q", Block 2, Santa Cruz Ranch Subdivision, located at 5721 East Monte Cristo Road as requested by Quintanilla, Headley and Associates, Inc.
- B. Consider the Preliminary Plat of Sol Alegre Phase 2 Subdivision, being a 15.155 acre tract of land out of Lots 3, 4, 5, and 6, Block 37, Amended Map of Santa Cruz Gardens Unit No. 2, located at 1001 East Flag Drive as requested by Melden & Hunt, Inc.

9. **CONSENT AGENDA**

- A. Consider Final Plat of Brentwood Manor Subdivision, being a 36.65 acre tract of land, out of Lot 11, Section 275, Texas-Mexican Railway Company's Survey, located at 3100 West Freddy Gonzalez Drive as requested by AEC Engineering, LLC

10. **SUBDIVISION VARIANCES**

- A. Consider a Variance Request to the City's Unified Development Code, Article 7 Plat and Site Plan Design, Section 7.301 Family Partitions, a 1.20 acre tract of land out of Lot 10, Section 237, Texas-Mexican Railway Company's Survey, located at 2710 West Chapin Street, as requested by R.E. Garcia and Associates, Inc.
- B. Consider a Variance Request to the City's Unified Development Code, Article 8 Street, Utilities, and Drainage Section 8.402 Water Supply. Hacienda San Miguel-Cisneros Subdivision, 2.36 acre tract of land out of Lot 11, Section 266, Texas-Mexican Railway Company's Survey, located at 7935 Tex-Mex Road, as requested by R.E. Garcia and Associates, Inc.
- C. Consider Variance Requests to the City's Unified Development Code: 1) Section 8.204A Streets, Paving Width and 2) Section 8.213 Sidewalks, proposed La Reserva Subdivision Phase I-C, being a 4.048 acre tract out of Lots 6 & 11, Block 73, Engelman, Re-Subdivision Las Mesteñas Grant, of the Missouri-Texas and Irrigation Company's Subdivision, located at 23501 Uresti Street, as requested by HALFF & Associates, Inc.
- D. Consider Variance Requests to the City's Unified Development Code: 1) Section 8.204A Streets, Paving Width and 2) Section 8.213 Sidewalks, proposed La Reserva Subdivision Phase I-D, being a 4.652 acre tract out of Lot 14, Block 73, Engelman, Re-Subdivision, of the Missouri-Texas and Irrigation Company's Subdivision in Las Mesteñas Grant, located at 23001 Uresti Street as requested by HALFF & Associates, Inc.
- E. Consider Variance Requests to the City's Unified Development Code Section 7.404.B Block Length. Las Encinitas Phase III Subdivision being a 121.04 acre tract of land out of Lots "R" and "Q", Block 2, Santa Cruz Ranch Subdivision, located at 5721 East Monte Cristo Road, as requested by Quintanilla, Headley & Associates, Inc.

11. **DIRECTOR'S REPORT**

- A. Unified Development Code Update
- B. City Council Actions: April 19, 2022 & May 3, 2022

I hereby certify that this notice of meeting was posted in accordance with the Open Meetings Act, V.T.C.A., Government Code, Section 551.041, at the Edinburg City Hall Building, 415 West University Drive, Edinburg, Texas, visible and accessible to the general public after regular working hours, at 3:00pm on Friday May 6, 2022 .

Claudia Mariscal, Administrative Assistant
Planning & Zoning Department

12. **INFORMATION ONLY**

A. Attendance Roster

13. **ADJOURNMENT**

NOTICE

PERSONS WITH DISABILITIES WHO NEED TO COMMUNICATE MORE EFFECTIVELY WITH CITY OFFICIALS AND WHO MAY NEED AUXILIARY AIDS OR SERVICES SUCH AS INTERPRETERS FOR PERSONS WHO ARE DEAF OR HEARING IMPAIRED ARE REQUESTED TO CONTACT THE OFFICE OF THE CITY SECRETARY AT (956) 388-8204 THREE WORKING DAYS PRIOR TO ANY MEETING SO THAT APPROPRIATE ARRANGEMENTS CAN BE MADE.

AGENDA ITEM AND RECOMMENDATION SUMMARY
PLANNING & ZONING COMMISSION
MAY 10, 2022

Consider approval of the Minutes for the April 13, 2022 Regular Meeting

STAFF COMMENTS AND RECOMMENDATION

RECOMMENDATION

Prepared By:

Approved By:

STAFF REPORT
GENERAL INFORMATION

APPLICATION:

APPLICANT:

AGENT:

LEGAL:

LOCATION:

LOT/TRACT SIZE:

CURRENT USE OF PROPERTY:

PROPOSED USE OF PROPERTY:

EXISTING LAND USE:

ADJACENT ZONING:

LAND USE PLAN DESIGNATION:

ACCESS AND CIRCULATION:

PUBLIC SERVICES:

RECOMMENDATION:

Evaluation

ATTACHMENTS: Minutes



**PLANNING AND ZONING COMMISSION
REGULAR MEETING
APRIL 13, 2022 - 4:00 P.M.
CITY HALL-COUNCIL CHAMBERS
415 WEST UNIVERSITY DR.
EDINBURG, TEXAS 78539**

**VICE- CHAIRPERSON HIREN GOVIND
COMMISSION MEMBERS:
JORGE SOTELOS
RUBY CASAS
RENE OLIVARES
JORGE GONZALEZ
VICTOR DANIEC**

MINUTES

1. Call Meeting To Order, Establish Quorum
 - A. Prayer – Prayer was announced by Commission Member Ruby Casas.
 - B. Pledge of Allegiance – The Pledge of Allegiance was said.
2. Certification of Public Notice **DIRECTOR KIMBERLY MENDOZA- 03/04/2022- 3:45 P.M.**
3. Disclosure of Conflict of Interest
4. Meeting Procedures

The following are the meeting procedures used by the Planning and Zoning Commission:

- A. All the items are generally considered as they appear on the agenda, as each item is introduced.
- B. Staff will present its findings and recommendation on the item being considered.
- C. The party making the request may make a presentation and may address the Commission on any issues arising during the discussion of the item being considered.

- D. Anyone in the audience desiring to speak in favor or in opposition may do so. A 3-5 Minute time limit will be given to each person interested in speaking on the item. The use of a spokesperson for large groups of people will be required.
- E. Once the Chair close the public hearing, the commission may question anyone and maintain any discussion which clarifies the proposal and will take what action it feel to be appropriate.

5. **MINUTES**

- A. Consider approval of the Minutes for the February 8, 2022 Regular Meeting
- B. Consider approval of the Minutes for the March 8, 2022 Regular Meeting

MOTION WAS MADE BY COMMISSION MEMBER JORGE SOTELO AND SECONDED BY COMMISSION MEMBER VICTOR DANIEC TO APPROVE THE MINUTES FOR THE MARCH 8, 2022 AND FEBRUARY 8, 2022. MOTION CARRIED UNANIMOUSLY WITH A VOTE OF 6-0

6. **PUBLIC COMMENTS**

- A. If you would like to participate under public comments, you must submit a request beginning at 9:00 A.M. the day of the meeting by (a) sending an email to PublicHearing@cityofedinburg.com or (b) calling the Planning & Zoning Department at 956-388-8202. All request should include your name, address, and telephone number. We ask for everyone's cooperation in following this procedure.

Diane Teter – Professor (Ecologist) discussed being a resident in Downtown Edinburg, having ample Parks in the area.

Sarah Chavez – Russell Park – vast development- traffic and multifamily concerns, such as criminal behavior.

David Garza discussed concerns for drainage and flooding of streets for new developments.

7. **PUBLIC HEARINGS**

- A. Consider the Comprehensive Plan Amendment from Auto-Urban Uses to General Commercial Uses and the Rezoning Request from Agriculture (AG) District to Commercial General (CG) District, Lot 5, Villa Del Mundo Subdivision, located at 5121 South Veterans Boulevard, as requested by Jose A. Pardo

NO COMMENTS IN FAVOR NOR AGAINST/ APPLICANT WAS PRESENT

VICTOR DANIEC INQUIRED WHAT THE USE OF THE PROPERTY WOULD BE AND APPLICANT STATED THAT IT WOULD BE AN ELECTRIC COMPANY OFFICE. JORGE SOTELO ASKED APPLICANT WHAT KIND OF

CONSTRUCTION MATERIAL WOULD BE STORED THAT AND APPLICANT STATED METAL.

APPROVED BASED ON STAFF'S RECOMMENDATION - SOTELO /DANIEC 6-0

- B. Consider the Initial Zoning Request to Auto-Urban Residential (AU) District, a 12.45 acre tract of land out of Lots 3 and 6, Section 235, Texas-Mexican Railway Company's Survey, located at 311 Trooper Moises Sanchez Boulevard, as Requested by Be the Light Ventures, LLC on behalf of Maria Elena Falcon

THE APPLICANT'S REPRESENTATIVE, OMAR CANTU WAS PRESENT, BUT DID NOT ADDRESS THE BOARD. MR. DAVID GARZA WAS PRESENT AND EXPLAINED THAT HE WAS NOT AGAINST DEVELOPMENT BUT REQUESTED FOR IT TO BE DONE CORRECTLY BECAUSE HIS CONCERN WAS DRAINAGE AND TRAFFIC. VICE CHAIRPERSON GOVIND INQUIRED IF THE PROPERTY WAS GOING THROUGH A VOLUNTARY ANNEXATION PROCESS. AUSTIN COLINA STATED THAT THE APPLICANT HAD NOT SUBMITTED A SUBDIVISION APPLICATION. COMMISSION VICTOR DANIEC ASKED STAFF FOR THE REASON THE COMMENT AGAINST THE ZONING AND AUSTIN EXPLAINED THAT EVERYONE WITHIN THE 300 FOOT RADIUS RECEIVES THE NOTIFICATION WHETHER OR NOT THEY ARE IN OUR JURISDICTION AND RESIDENTS WILL INCLUDE COMMENTS AND SOME DO NOT INCLUDE ANY.

APPROVED BASED ON STAFF'S RECOMMENDATION - CASA/ DANIEC 6-0

- C. Consider the Rezoning Request from Agriculture (AG) District to Auto-Urban Residential (AU) District, 13.785 Acres out of lot 9, Section 246, Texas-Mexican Railway Company's Survey, located at 2200 East Chapin Street, as requested by M2 Engineering, PLLC, on behalf of City Place at Chapin, LLC

APPLICANT'S REPRESENTATIVE HECTOR MORENO, WAS PRESENT AND STATED THAT THE PROPERTY WILL BE FOR A MULTIFAMILY 44 LOT DEVELOPMENT. THE FEASIBILITY PLAN AND GEO TECH HAS BEEN DONE, BUT SUBJECT TO CHANGE THE LOT SIZE TO A MINIMUM OF 10,000 SQ FT. VICE CHAIRPERSON GOVIND STATED THAT THE BLOCK LENGTH OF THE CURRENT PLAN WOULD NEED TO BE REVISED TO NOT EXCEED 800 FEET. SOTELO INQUIRE ABOUT DRAINAGE CONNECTION AND MR. MORENO EXPLAINED THAT THEY WOULD EITHER CONNECT TO RICHARDSON ROAD OR DO A BIO RETENTION POND. AUSTIN COLINA STATED THAT ALL COMMISSIONERS COMMENTS WILL BE NOTED BUT AT THE MOMENT ZONING OF THE PROPERTY IS NEEDING ACTION TO PROCEED WITH THE PROJECT. SUBDIVISION WILL BE PRESENTED TO THE BOARD ONCE STAFF HAS RECEIVED PRELIMINARY CONSIDERATION.

APPROVED BASED ON STAFF RECOMMENDATION - DANIEC/ SOTELO 6-0

- D. Consider the Comprehensive Plan Amendment from Industrial Uses to General Commercial Uses and the Rezoning Request from Agriculture (AG) District to Commercial General (CG) District, a 8.409 acres out of land out of Lot 2, Section 241, Texas-Mexican Railway Company's Survey, located at 500 East Russell Road, as requested by Iden I. Trevino on behalf of EIA Properties

APPLICANT MARCO LOPEZ WITH URBAN CITY INVESTMENTS WAS PRESENT AND ADDRESSED THE BOARD AND STATED THAT HE WAS PROPOSING A MIXED USE DEVELOPMENT IN EDINBURG, COMMERCIAL IN THE FRONT AND RESIDENTIAL IN THE BACK. MR. LOPEZ ALSO EXPLAINED THAT THERE WOULD BE A PARK AS WELL. COMMISSIONER RENE OLIVARES INQUIRED ABOUT RESTAURANTS AND MR. LOPEZ STATED THAT HE WAS PROPOSING PATIO TYPE RESTAURANTS AND COFFEE SHOPS. HE CONTINUED TO EXPLAIN THAT HE HAD THE DOMAIN IN MIND FOR THIS PROJECT. MS. SARAH CHAVEZ WAS PRESENT AND WAS AGAINST THE REQUEST DUE TO TRAFFIC LIGHTS AND TRAFFIC CONCERNS FOR A MULTIFAMILY DEVELOPMENT. COMMISSION VICTOR DANIEC DISCUSSED ROAD WIDENING.

APPROVED BASED ON STAFFS RECOMMENDATION- SOTELO/ DANIEC 6-0

- E. Consider the Comprehensive Plan Amendment from Industrial Uses and Office Business Park Uses to Auto-Urban Uses and the Rezoning Request from Agriculture (AG) District to Auto-Urban Residential (AU) District, 68.277 acres being all of Lot 1 and 28.277 acres of Lot 2, Section 241, Texas-Mexican Railway Company's Survey, located at 500 East Russell Road, as requested by Iden I. Trevino on behalf of EIA Properties

THERE WAS ONE COMMON RECEIVED AGAINST THE PROPOSAL. APPLICANT MARCO LOPEZ WITH URBAN CITY DEVELOPERS WAS PRESENT AND STATED THAT THE STREET WILL BE WIDENED AT THE TIME OF THE SUBDIVISION PROCESS. MR. LOPEZ DID STATED THAT HE DID NOT KNOW IF THE PROPERTY WAS GOING TO BE PUBLIC OR PRIVATE FOR SECURITY PURPOSES. MS. SARAH CHAVEZ STATED SHE WAS AGAINST THE REQUEST DUE TO MULTIFAMILY TRAFFIC CONCERNS.

APPROVED BASED ON STAFFS RECOMMENDATION- DANIEC/ SOTELO 6-0

- F. Consider the Comprehensive Plan Amendment from Suburban Uses to Auto-Urban Uses and the Rezoning Request from Agriculture (AG) District to Auto-Urban Residential (AU) District, a 20.00 acre tract of land out of Lot 5, Block 1, John Closner Subdivision, located at 3301 South Raul Longoria Road, as requested by Isidro Navarro on behalf of Maverick Valley Builders, LLC

APPLICANT REPRESENTATIVE ISIDRO NAVARRO WAS PRESENT BUT DID NOT ADDRESS THE BOARD. NO ONE WAS PRESENT IN FAVOR OR AGAINST FOR THE REQUEST. THERE WAS NO DISCUSSION.

**APPROVED BASED ON STAFFS RECOMMENDATION- SOTELO/OLIVARES
6-0**

- G. Consider the Rezoning Request from Urban Residential (UR) District to Commercial General (CG) District, Lots 13-16, Block 12, Country Club Place Subdivision, located at 101 West Freddy Gonzalez Drive, as requested by Melden & Hunt, Inc., on behalf of 3BU Family Limited Partnership

APPLICANT NOT PRESENT AND NO ONE WAS PRESENT IN FAVOR NOR AGAINST THE REQUEST. VICE CHAIRPERSON GOVIND INQUIRED STAFF'S DISAPPROVAL RECOMMENDATION AND AUSTIN COLINA EXPLAINED AN ALLEY TO THE RIGHT SIDE OF THIS PROPERTY AND IS PROPOSING A CARWASH. AFTER A LENGTHY BOARD DISCUSSION REGARDING SURROUNDING LAND USES AND ZONING. SOTELO STATED LOTS 11 AND 12 ACROSS THE STREET WAS PRESENTED TO P&Z AND RECOMMENDED DENIAL BUT CITY COUNCIL OVERTURNED TO NEIGHBORHOOD COMMERCIAL FOR A LAWYER OFFICE.

**APPROVED BASED ON STAFFS RECOMMENDATION- DANIEC/ GONZALEZ
6-0**

- H. Consider the Rezoning Request from Commercial General (CG) District to Industrial (I) District, 5.157 acres out of Lot 39, Santa Cruz Ranch Subdivision, located at 4805 North Expressway 281, as requested by Spoor Engineering Consultants, Inc., on behalf of Nogales- Texas Properties, LLC

THERE WAS NO ONE PRESENT IN FAVOR OR AGAINST FOR REQUEST. APPLICANT MR. SPOOR WAS PRESENT BUT DID NOT ADDRESS THE BOARD. COMMISSIONER JORGE GONZALEZ INQUIRED ABOUT THE 20' GAP, STAFF RESEARCHED BUT THERE WAS NO DOCUMENTATION SHOWING PURPOSE OF GAP EASEMENT OR ENFORCEMENT. A PROPANE TANK IS LOCATED IN THE GAP.

**APPROVED BASED ON STAFFS RECOMMENDATION- DANIEC/ OLIVARES
6-0**

- I. Consider the Comprehensive Plan Amendment from Urban Uses to Industrial Uses and the Rezoning Request from Suburban Residential (S) District to Industrial (I) District, 6.39 acres out of Lot 39, Santa Cruz Ranch Subdivision, located at 4805 North Expressway 281, as requested by Spoor Engineering Consultants, Inc., on behalf of Nogales-Texas Properties, LLC

THERE WERE NO COMMENTS IN FAVOR NOR AGAINST. APPLICANT MR. SPOOR WAS PRESENT AND MR. GOVIND BRIEFLY SPOKE ABOUT TRACT 3 IN THE SURVEY. COMMISSIONER JORGE GONZALEZ INQUIRED IF THERE WERE ANY RESTRICTIONS ON INGRESS AND EGRESS AND MR. SPOOR STATED THAT THERE WERE NO PLANS TO ADD ANY OTHER INGRESS OR EGRESS.

**APPROVED BASED ON STAFFS RECOMMENDATION- DANIEC/ GONZALEZ
6-0**

8. **PUBLIC HEARINGS (SUBDIVISIONS)**

- A. Consider the Re-Plat of Lot 24, Santa Cruz Ranch No. 2 Subdivision, being a 2.87 acre tract of land out of Lot 24, Santa Cruz Ranch No. 2 Subdivision located at 9825 Calle Paris Road, as requested by Garza-Garza Consulting Engineers.

NO COMMENTS IN FAVOR NOR AGAINST/ NO DISCUSSION.

**APPROVED BASED ON STAFFS RECOMMENDATION- SOTELO/ OLIVARES
6-0**

- B. Consider the Re-Plate of Lot 10, North Industrial Park Subdivision being a 20.00 acre tract of land out of Lot 10, North Industrial Park, located at 6401 Republic Drive, as requested by Garza-Garza Consulting Engineers.

NO COMMENTS IN FAVOR NOR AGAINST/ NO DISCUSSION.

**APPROVED BASED ON STAFFS RECOMMENDATION- SOTELO/ OLIVARES
6-0**

9. **CONSENT AGENDA**

- A. Consider the Final Plat of UHS Cornerstone Hospital Subdivision, an approximate 9.47 acre tract of land out of Lot 1A, of Cornerstone Medical Park Phase I, a Re-Subdivision of Lots 1-2, Block 4 and the West 5 acres of Lot 15, Cornerstone Heart Hospital Subdivision, located at 2300 North Cornerstone Boulevard, as requested by Perez Consulting Engineers.

**VICE CHAIRPERSON HIREN GOVIND GROUPED ITEMS 9A, 9B, 9C, AND 9C
ALL TOGETHER FOR VOTING.**

**NO DISCUSSION - APPROVED BASED ON STAFFS RECOMMENDATION-
CASAS/ SOTELO- 6-0**

- B. Consider the Final Plat of Del Rey Estates Unit 4 Subdivision, an approximate 13.03 acre tract of land out of Lot 3, Section 246, Santa Cruz Unit No. 2 Subdivision, located at 5301 Benito A. Ramirez Road, as requested by Melden & Hunt, Inc.

**NO DISCUSSION - APPROVED BASED ON STAFFS RECOMMENDATION-
CASAS/ SOTELO- 6-0**

- C. Consider Final Plat of Pueblo De Palmas Phase 25 Subdivision, an approximate 25.50 acre tract of land out of Lots 17, 19, 21, & 23, Block 62, Amended Map of Santa Cruz Gardens Unit No. 2, located at 4420 North Cesar Chavez Road, as requested by Melden & Hunt, Inc.

APPROVED BASED ON STAFFS RECOMMENDATION- CASAS/ SOTELO- 6-0

- D. Consider Final Plat of Ensenada Estates Subdivision, an approximate 17.42 acre tract of land out of Lot 6, Section 249, Texas-Mexican Railway Company's Survey, located at 1701 North Terry Road, as requested by Melden & Hunt, Inc.

APPROVED BASED ON STAFFS RECOMMENDATION- CASAS/ SOTELO- 6-0

10. **SUBDIVISIONS**

- A. Consider the Preliminary Plat of Las Magnolias Subdivision being a 9.11 acre tract of land out of a part or portion of Lot 13, Section 239, Texas-Mexican Railway Company's Survey, located at 4001 South Veterans Road, as requested by CLH Engineering, Inc.

VICE CHAIRPERSON HIREN GOVIND GROUPED ITEMS 10A, 10B, 10C, 10D, 10E, AND 10F AND WERE VOTED ALL TOGETHER.

APPROVED BASED ON STAFFS RECOMMENDATION- SOTELO/CASAS 6-0

- B. Consider the Preliminary Plat of The Heavens at Alamo Subdivision, being an 8.00 acre tract of land out of a part or portion of Lot 10, Block 24, Santa Cruz Gardens Unit No. 2 Subdivision, located at 5301 Benito A. Ramirez Road, as requested by Melden & Hunt, Inc.

APPROVED BASED ON STAFFS RECOMMENDATION- SOTELO/CASAS 6-0

- C. Consider the Preliminary Plat of Water Walk at La Sienna Subdivision being a 25.16 acre tract of land out of a part or portion of Lot 7, La Sienna Development Subdivision, located at 421 La Sienna Parkway, as requested by Melden & Hunt, Inc.

APPROVED BASED ON STAFFS RECOMMENDATION- SOTELO/CASAS 6-0

- D. Consider the Preliminary Plat of Provence Ridge Subdivision being a 20.00 acre tract of land out of a part or portion of Lot 5, Block 1, John Closner, ET AL., Subdivision, located at 331 South Raul Longoria Road, as requested by I.N. Civil Designs, LLC.

APPROVED BASED ON STAFFS RECOMMENDATION- SOTELO/CASAS 6-0

- E. Consider the Preliminary Plat of Montreal Estates Subdivision being a 19.37 acre tract of land out of a part or portion of Lots 1 & 2, Block 7, Santa Cruz Gardens Unit No. 3 Subdivision, located at 4216 North Kenyon Road, as requested by Rio Delta Engineering, Inc.

APPROVED BASED ON STAFFS RECOMMENDATION- SOTELO/CASAS 6-0

- F. Consider the Preliminary Plat of Hacienda San Miguel-Cisneros, being a 2.36 acre tract of land out of a part or portion of Lot 11, Section 266, Texas-Mexican Railway Company

Survey Subdivision, located at 7935 Tex-Mex Road, as requested by R. E. Garcia & Associates.

APPROVED BASED ON STAFFS RECOMMENDATION- SOTELO/CASAS 6-0

11. **DIRECTOR'S REPORT**

A. City Council Actions: March 15, 2022 & April 5, 2022

MRS. KIMBERLY MENDOZA DISCUSSED THE CITY COUNCIL ACTIONS FOR THE MARCH 15, 2022 AND APRIL 5, 2022 MEETINGS. MRS. MENDOZA ADVISED A VARIANCE REQUEST FOR LOS CORTIJOS HAVING TO DO WITH STREET STANDARDS, PAVING WIDTH BY 12 FEET, WHICH WAS APPROVED. TWO SPECIAL USE PERMITS WERE APPROVED ONE FOR “2ND ANNUAL WIPE OUT COLON CANCER 5K RUN/WALK” AND THE “7TH ANNUAL SUPERHEROS 5K RUN AND BUDDY FUN WALK”. FOR THE APRIL 5 CITY COUNCIL MEETING ALL THE OF THE REZONING WERE RECOMMENDED FOR APPROVAL AND WERE APPROVED BY CITY COUNCIL EXCEPT FOR ONE ITEM THAT WAS WITHDRAWN BY RIO TEX. AND ANOTHER WAS THE RENAMING OF THE EL TULE RECREATION CENTER WHICH WAS APPROVED. THE SPECIAL USE PERMITS WERE ALL APPROVED AS WELL.

B. Unified Development Code Update

MRS. KIMBELY MENDOZA ADVISED THE FINAL DRAFT IS UNDER REVIEW WITH CITY STAFF, SCHEDULING WITH CONSULTANT TO COMPARE.

COMMISSIONER VICTOR DANIEC ASKED FOR A COPY OF THE DRAFT THAT IS CREATED.

VICE CHAIRPERSON HIREN GOVIND INQUIRED ON THE TIMEFRAME AND IF HEARING COULD BE MOVED TO A CLOSER DATE.

THERE WAS BRIEF DISCUSSION REGARDING THE HEARING AND HAVING A SEPARATE HEARING FROM P&Z.

VICE CHAIRPERSON GOVIND INQUIRED ABOUT HAVING A EXCUSED ABSENCE AND MS. MENDOZA ASKED THAT IF ANYONE NEEDED TO BE OUT TO PLEASE SEND US AN EMAIL.

12. **INFORMATION ONLY**

A. Attendance Roster

13. **ADJOURNMENT**

I hereby certify that this notice of meeting was posted in accordance with the Open Meetings Act, V.T.C.A., Government Code, Section 551.041, at the Edinburg City Hall Building, 415 West University Drive, Edinburg, Texas, visible and accessible to the general public during regular working hours, at 4:00 P.M. on Friday, April 8, 2022.

Claudia Mariscal

Claudia Mariscal, Planning Assistant
Planning & Zoning Department

NOTICE

PERSONS WITH DISABILITIES WHO NEED TO COMMUNICATE MORE EFFECTIVELY WITH CITY OFFICIALS AND WHO MAY NEED AUXILIARY AIDS OR SERVICES SUCH AS INTERPRETERS FOR PERSONS WHO ARE DEAF OR HEARING IMPAIRED ARE REQUESTED TO CONTACT THE OFFICE OF THE CITY SECRETARY AT (956) 388-8204 THREE WORKING DAYS PRIOR TO ANY MEETING SO THAT APPROPRIATE ARRANGEMENTS CAN BE MADE.



City of Edinburg

PLANNING & ZONING COMMISSION

Regular Meeting: May 10, 2022

REZONING REQUEST

AGENDA ITEM 7A:

Consider the Rezoning Request from Urban Residential (UR) District to Commercial General (CG) District, Lots 13-16, Block 12, Country Club Place Subdivision, located at 101 West Freddy Gonzalez Drive, as requested by Melden & Hunt, Inc., on behalf of 3BU Family Limited Partnership (**TABLED 04/13/2022**) [Planning & Zoning – Kimberly Mendoza, Director of Planning & Zoning]

DESCRIPTION / SCOPE:

The applicant is requesting the change of zone to construct a carwash at this location.

The property is located at the northeast corner of West Freddy Gonzalez Drive and South 10th Avenue, approximately 150 ft. west of South Closner Boulevard. The property has 161.25 ft. of frontage on West Freddy Gonzalez Drive and a depth of 221.00 ft. for total area of 35,636.25 sq. ft. and is currently vacant. The requested zoning designation allows for a wide range of commercial uses on the subject property.

The property is currently zoned Urban Residential (UR) District. Adjacent zoning is Urban Residential (UR) District to the north, Commercial General (CG) District to the south and east, and Neighborhood Conservation 7.1 (NC7.1) and Commercial Neighborhood (CN) Districts to the west. Adjacent land uses are mostly single-family residential to the north and west and light commercial uses to the south and east. The property is approximately 275 ft. northwest of the City of Edinburg Municipal Court and Police Station and approximately 1,170 ft. east of South Middle School. The future land use designation is for Commercial Uses.

Staff received a Zone Change Application for the subject property on March 16, 2022. The applicant intends to establish a carwash on the southern half of the subject property on West Freddy Gonzalez Drive and stated that plans are to leave the northern half vacant for now. Rezoning is needed to accommodate the proposed project.

This Zone Change Request was originally scheduled at the Planning & Zoning Commission meeting of April 13, 2022, and was tabled due to the applicant and agent not being present.

Staff mailed a notice of the public hearing to 24 neighboring property owners on Friday, April 29, 2022, and had received one comment in favor and none against this request at the time this report was prepared. Notice of this public hearing will be published in the newspaper on May 18, 2022.

ESTIMATED TIMELINE:

The recommendation of approval or denial of this public hearing is scheduled for consideration by the City Council on June 7, 2022. City Council's decision is the final step in the zoning process for this property. If denied the applicant may not request the proposed zoning classification for a 12 month period from the date of denial.

STAFF RECOMMENDATION:

Staff recommends disapproval of the Rezoning Request from Urban Residential (UR) District to Commercial General (CG) District based on the adjacent residential uses to the north and west. Also along the same street, there are light commercial uses to the north (i.e. offices, boutique, pharmacy, and a restaurant. Although the subject property is in an area with mixed residential and commercial uses, the residential use along South 10th Avenue should be protected.

If approved, the applicant will need to comply with all requirements during the permitting process including compliance with subdivision regulations, building and fire codes, fire protection, parking, landscape buffer-yards, solid waste services, utility, and any other City requirements, as applicable.

JUSTIFICATION:

Staff recommendation is based on adjacent zoning and land uses. There are both light commercial and residential uses adjacent to the subject property. No separation will exist between this property and the residential use to the north. The homeowners on South 10th Avenue should be protected from a commercial zone extending approximately 220 ft. northward into this residential street.

D. Austin Colina
Planner I

Kimberly A. Mendoza, MPA
Director of Planning & Zoning

MEETING DATES:
PLANNING & ZONING COMMISSION – 5/10/2022
CITY COUNCIL – 6/07/2022
DATE PREPARED – 4/29/2022

STAFF REPORT
GENERAL INFORMATION

APPLICATION: Rezoning Request from Urban Residential (UR) District to Commercial General (CG) District

APPLICANT: 3BU Family Limited Partnership

AGENT: Melden & Hunt, Inc.

LEGAL: Lots 13-16, Block 12, Country Club Place Subdivision

LOCATION: 101 West Freddy Gonzalez Drive

LOT/TRACT SIZE: 35,636.25 sq. ft.

CURRENT USE: Vacant

PROPOSED USE: Commercial (carwash)

EXISTING ZONING: Urban Residential (UR) District

ADJACENT ZONING: North – Urban Residential (UR) District
South – Commercial General (CG) District
East – Commercial General (CG) District
West – Neighborhood Conservation 7.1 (NC7.1) and Commercial Neighborhood (CN) Districts

LAND USE PLAN: General Commercial Uses

PUBLIC SERVICES: City of Edinburg Water and Sewer

RECOMMENDATION: Staff recommends disapproval of the Rezoning Request from Urban Residential (UR) District to Commercial General (CG) District.

REZONING REQUEST

3BU FAMILY LIMITED PARTNERSHIP

EVALUATION

The following is staff's evaluation of the request.

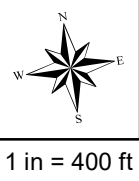
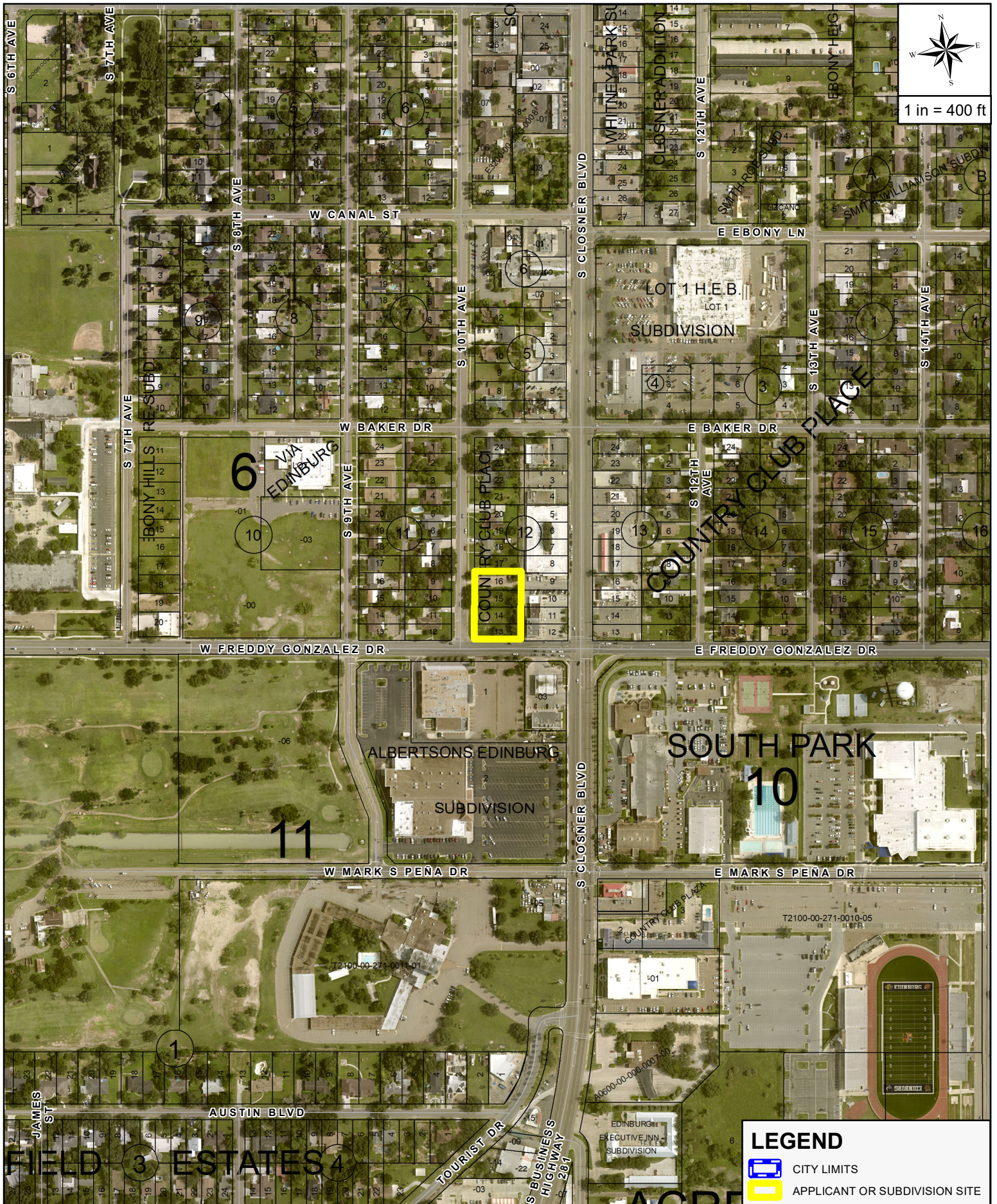
1. The land use pattern for this area consists of residential and commercial uses, with commercial uses concentrated on the arterial streets of West Freddy Gonzalez Drive and South Closner Boulevard.
2. Commercial uses are common along West Freddy Gonzalez Drive.
3. Adjacent uses to the north and west are single family residential.
4. The rezoning will extend approximately 220 ft. north on South 10th Avenue, a residential street.
5. The requested zoning is for the construction of a carwash, a heavy commercial use.

Staff recommends disapproval of the Rezoning Request from Urban Residential (UR) District to Commercial General (CG) District based on adjacent zoning and land uses. The proposed commercial district is incompatible with the adjacent uses on South 10th Avenue. The intended uses of a carwash is a heavier commercial use, making it less compatible. However, the proposed zone conforms to the Future Land Use Plan for this location.

If approved, the applicant will need to comply with all requirements during the permitting process including compliance with subdivision regulations, building and fire codes, fire protection, parking, landscape buffer-yards, solid waste services, utility, and any other City requirements, as applicable.

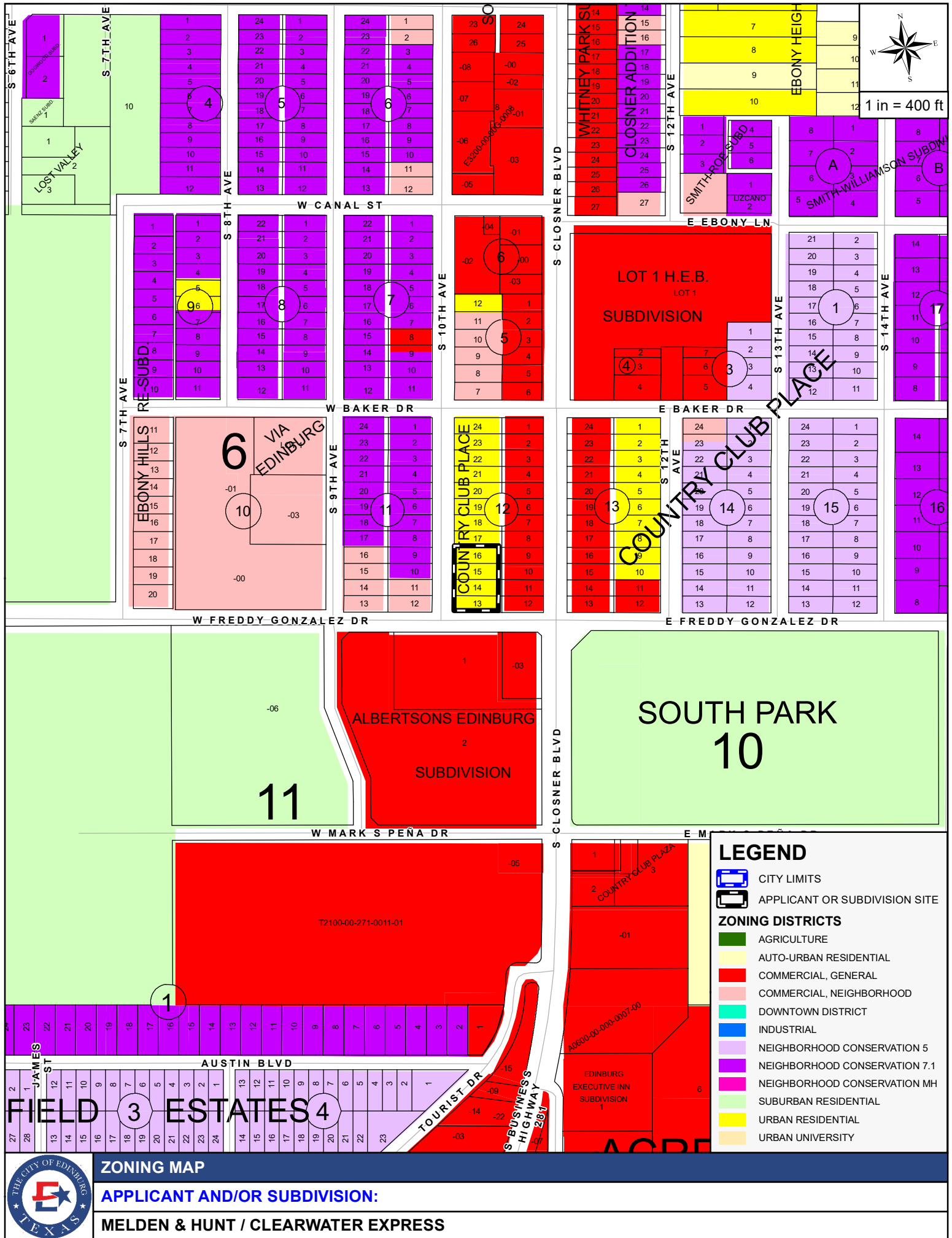
Staff mailed a notice of the public hearing to 24 neighboring property owners on Friday, April 29, 2022, and had received no comments in favor or against this request at the time this report was prepared. Original notice of this public hearing was published in the newspaper on April 1, 2022. It will be published again on May 18, 2022.

ATTACHMENTS: Aerial Photo
Site Map
Zoning Map
Future Land Use Map
Photo of site
Exhibits



LEGEND

- CITY LIMITS
- APPLICANT OR SUBDIVISION SITE



LEGEND

CITY LIMITS

APPLICANT OR SUBDIVISION SITE

ZONING DISTRICTS

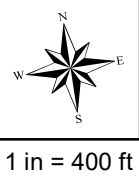
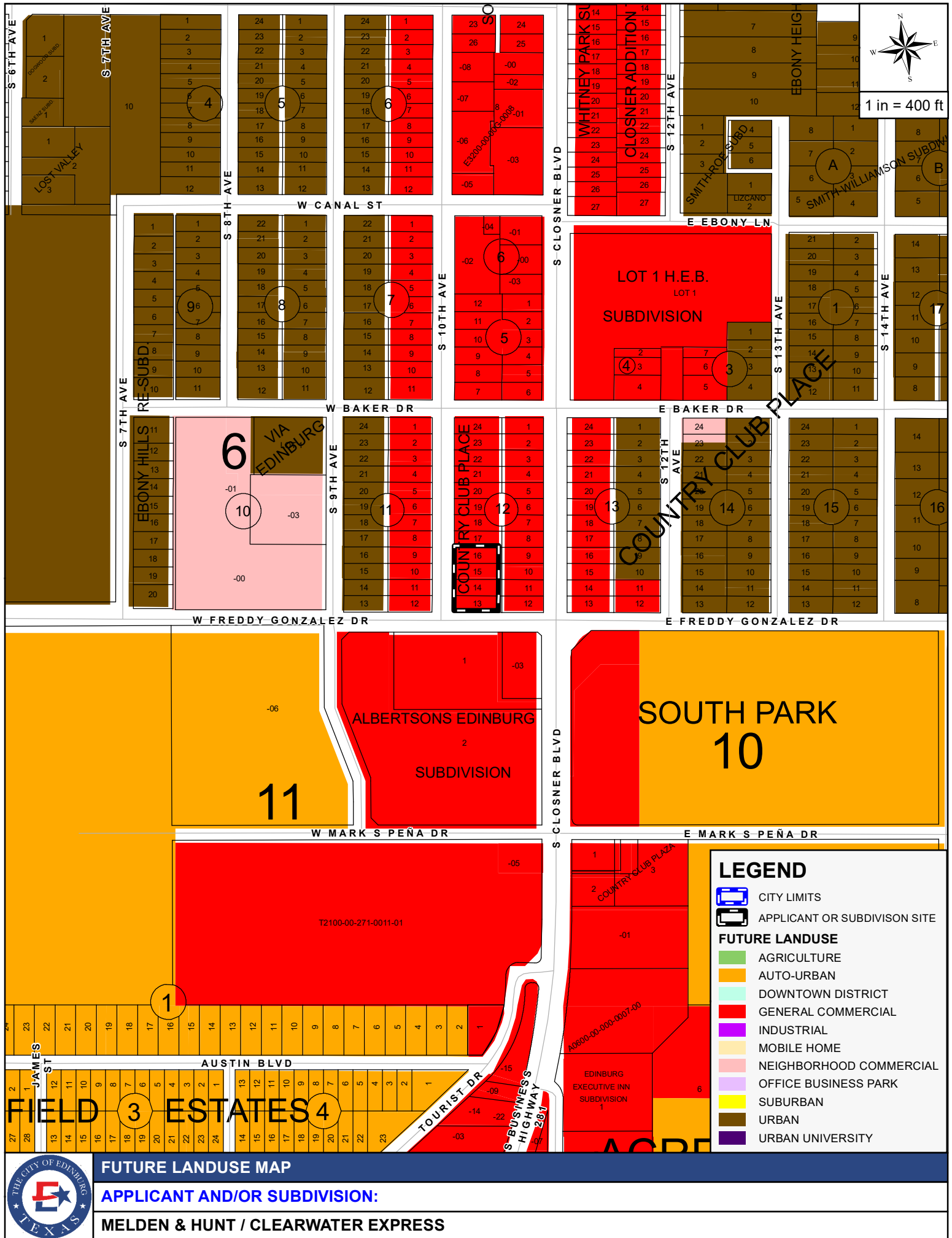
- AGRICULTURE
- AUTO-URBAN RESIDENTIAL
- COMMERCIAL, GENERAL
- COMMERCIAL, NEIGHBORHOOD
- DOWNTOWN DISTRICT
- INDUSTRIAL
- NEIGHBORHOOD CONSERVATION 5
- NEIGHBORHOOD CONSERVATION 7.1
- NEIGHBORHOOD CONSERVATION MH
- SUBURBAN RESIDENTIAL
- URBAN RESIDENTIAL
- URBAN UNIVERSITY

ZONING MAP

APPLICANT AND/OR SUBDIVISION:

MELDEN & HUNT / CLEARWATER EXPRESS





LEGEND

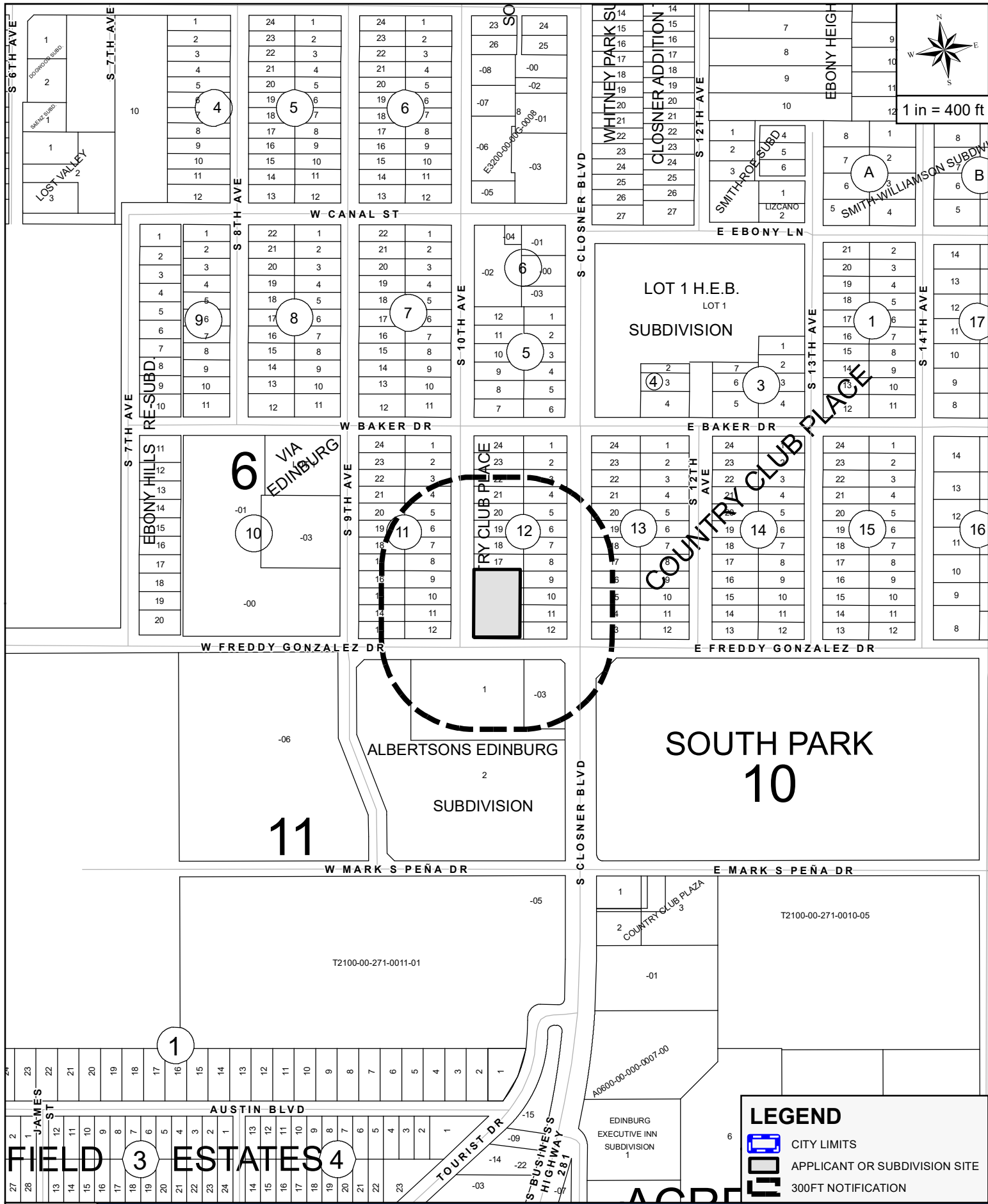
- CITY LIMITS
- APPLICANT OR SUBDIVISION SITE
- FUTURE LANDUSE**
 - AGRICULTURE
 - AUTO-URBAN
 - DOWNTOWN DISTRICT
 - GENERAL COMMERCIAL
 - INDUSTRIAL
 - MOBILE HOME
 - NEIGHBORHOOD COMMERCIAL
 - OFFICE BUSINESS PARK
 - SUBURBAN
 - URBAN
 - URBAN UNIVERSITY

FUTURE LANDUSE MAP

APPLICANT AND/OR SUBDIVISION:

MELDEN & HUNT / CLEARWATER EXPRESS





LEGEND

- CITY LIMITS
- APPLICANT OR SUBDIVISION SITE
- 300FT NOTIFICATION



Case #

THE CITY OF
Edinburg

Planning & Zoning Department
415 W. University Drive
Edinburg, Texas 78539
(956) 388-8202

Zone Change Application

Date: March 11, 2022

1. Property Owner: 3BU Family Limited Partnership 2. Phone: (956) 381-0981
3. Mailing Address: 533 N Alamo Road
4. City: Alamo State: TX Zip: 78516
5. Email Address: c/o mario@meldenandhunt.com 6. Cell No. _____
7. Agent: Melden & Hunt, Inc. 8. Agent's Phone: (956) 381-0981
9. Agent's Mailing Address: 115 W. McIntyre Street
10. City: Edinburg State: TX Zip: 78541
11. Agent's Email: mario@meldenandhunt.com
12. Address/Location being Rezoned: 1515-1517 S Closner Blvd
13. Legal Description of Property: _____ 14. Property ID(s): 154545; 154546
- Country Club Place Lots 13, 14, 15 & 16 Blk 12

15. Zone Change: From: AU - Auto-Urban Residential To: CG - Commerical General

16. Existing Land Use: Vacant

17. Reason for Zone Change: Vacant for now

Mario A Reyna
(Please Print Name)

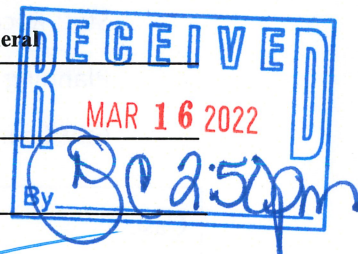
[Signature]
Signature

AMOUNT PAID \$ 400.00 RECEIPT NUMBER _____

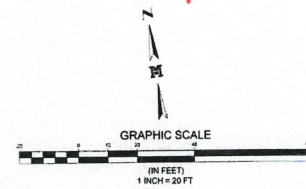
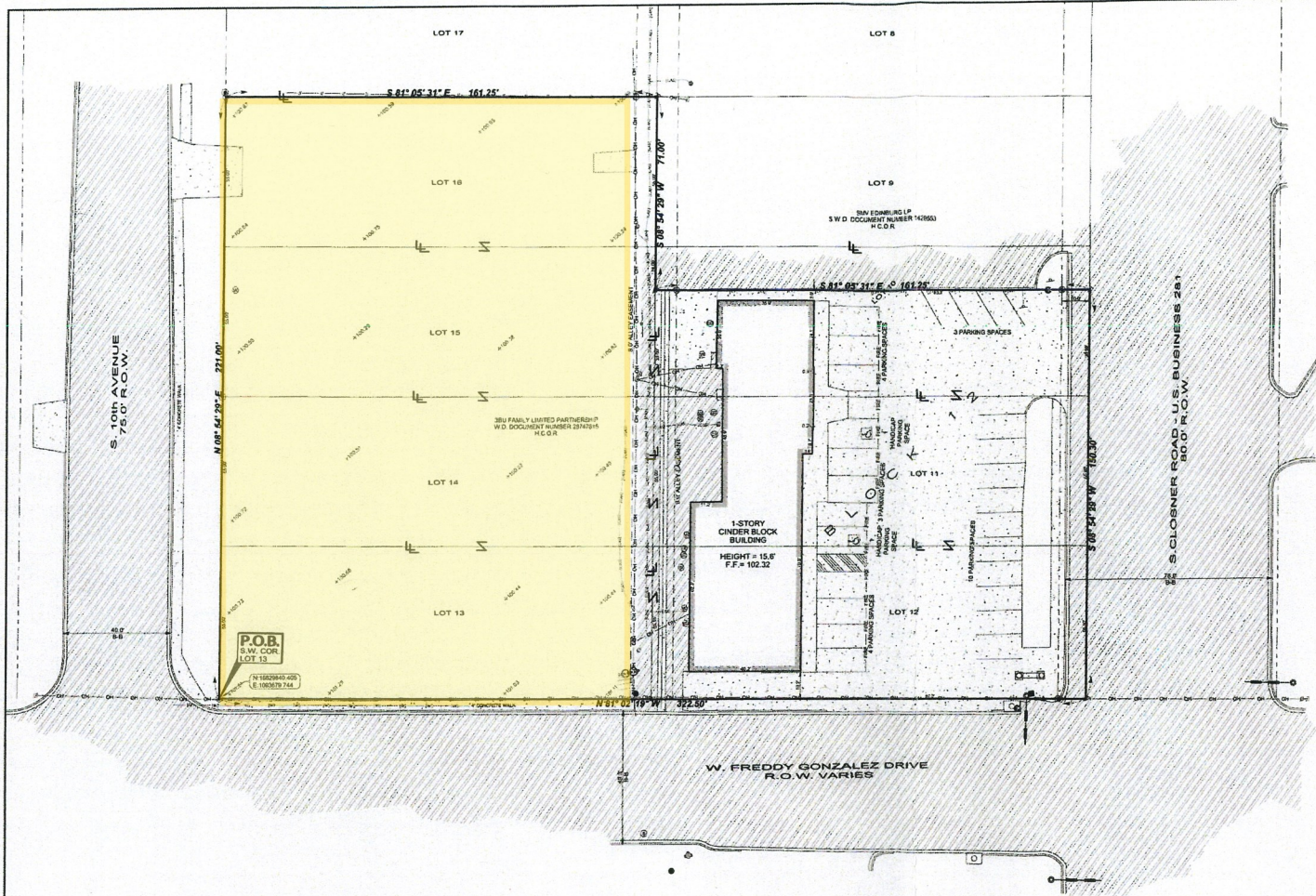
PUBLIC HEARING DATE (PLANNING & ZONING COMMISSION) - 4:00 PM: 4/12/2022

PUBLIC HEARING DATE (CITY COUNCIL) - 6:00 PM: 5/3/22

(NOTE: BOTH MEETINGS ARE HELD AT THE EDINBURG CITY COUNCIL CHAMBERS)



Clearwater
Express-REZ



- LEGEND**
- FOUND IRON REBAR
 - FOUND CONCRETE MONUMENT
 - ▲ FOUND IRON NAIL
 - FOUND PIPE
 - △ FOUND COTTON PICKER EFFICIENCY
 - FOUND "Y" MARK ON CONCRETE
 - SET IRON REBAR WITH PLASTIC CAP STAMPED MOLDEN & HUNT
 - ▲ SET NAIL
 - ▲ POWER POLE
 - ▲ SOURCE POLE
 - ▲ GUY WIRE
 - ▲ SINGLE POST SIGN
 - ▲ DOUBLE POST SIGN
 - ▲ FIRE HYDRANT
 - ▲ WATER METER
 - ▲ SANITARY SEWER MANHOLE
 - ▲ TYPE "Y" INLET
 - IRRIGATION STAND PIPE (SIZE AS NOTED)
 - GAS METER
 - TRAFFIC LIGHT POLE
 - GUARD RAIL
 - OVERHEAD POWER LINE
 - ELECTRIC CONDUIT LINE
 - SPOTTED GAS LINE
 - APPROXIMATE LOCATION
 - ASPHALT AREA
 - CONCRETE AREA
 - BACK OF CURB TO BACK OF CURB
 - RIGHT OF WAY
 - H.C.M.R. - HIDALGO COUNTY MAP RECORDS
 - S.W. COR. - SOUTHWEST CORNER
 - P.O.B. - POINT OF BEGINNING
 - W.D. - WARRANTY DEED
 - S.W.D. - SPECIAL WARRANTY DEED
 - LOT LINE
 - SAME OWNER
 - HANDICAP PARKING SIGN

PARKING SPACES
21 REGULAR PARKING SPACES
2 HANDICAP PARKING SPACES
26 TOTAL PARKING SPACES

**PLAT SHOWING
1375 ACRES
BEING
THE SOUTH 39.0 FEET LOT 10, AND ALL
OF LOTS 11, 12, 13, 14, 15 AND 16, BLOCK 12
COUNTY CLUB PLACE
VOLUME 5, PAGES 15 AND 16 H.C.M.R.
CITY OF EDINBURG
HIDALGO COUNTY, TEXAS**

RECEIVED
MAR 16 2022
By Be 2:50pm

THE UNDERSIGNED HEREBY CERTIFIES THAT THIS SURVEY AS DESCRIBED HEREON WAS BASED ON THE GROUND ON 3/7/22 UNDER MY DIRECTION, THAT THE ONLY IMPROVEMENTS ON THE GROUND ARE AS SHOWN, THAT THERE ARE NO VISIBLE ENCROACHMENTS, VISIBLE OVERLAPPING, APPARENT CONFLICTS, OR VISIBLE EASEMENTS EXCEPT AS SHOWN HEREON



FLOOD ZONE
ZONE "X" (UNSHADED)
AREA NOTED ON THE SURVEY
COMPLETION DATE: 3/7/22
COMPLETION DATE: 3/7/22
COMPLETION DATE: 3/7/22

ADDRESS: 1915 S. CLOSER RD.
EDINBURG, TEXAS

FOR: _____

JOB No.	22043.02-08		
DRAWING DATE	3/7/2022	REVISION	DATE BY
DRAWN BY	B.M./J.C.		
FILE NAME	22043.02		
T-1147, PG 29			

MELDEN & HUNT INC.
CONSULTANTS • ENGINEERS • SURVEYORS
115 W. McINTYRE - EDINBURG, TX 78841
PH: (281) 381-0881 • FAX: (281) 381-1638
ESTABLISHED 1947 • www.meldenandhunt.com



Rezoning Request Site Photo

3BU FAMILY LIMITED PARTNERSHIP

101 West Freddy Gonzalez Drive





City of Edinburg

PLANNING & ZONING COMMISSION

Regular Meeting: May 10, 2022

COMPREHENSIVE PLAN AMENDMENT AND REZONING REQUEST

AGENDA ITEM 7B:

Consider the Comprehensive Plan Amendment from Suburban Uses to General Commercial Uses and the Rezoning Request from Suburban Residential (S) District to Commercial General (CG) District, a 1.09 acre tract of land out of the North 10 acres of the North 15 acres of the South 20 acres of Lot 12, Section 268, Texas-Mexican Railway Company's Survey, located at 1002 South Raul Longoria Road, as requested by Julio C. Martinez

DESCRIPTION / SCOPE:

The applicant is requesting the change of zone to establish an event center.

The property is located at the intersection of South Raul Longoria Road and East Golf Ball Drive. The property has 1001.06 ft. of frontage on South Raul Longoria Road with a lot depth of 474 ft. for a lot area of approximately 74780.40 gross acres and is currently vacant. The requested zoning designation of Commercial General (CG) District is the primary commercial district and would allow a wide range of commercial uses.

The property is currently zoned Suburban Residential (S) District. The adjacent zoning is Suburban Residential(S) District to the north and south, Neighborhood Conservation 5 (NC5) District to the east, and Commercial Neighborhood (CN) District to the west. Adjacent land uses is a City of Edinburg Detention Pond to the north and mostly single family residential and vacant land to the south, east and west. The property is approximately 1,000 ft. west of Edinburg Municipal Park and approximately 1,000 ft. north of HEB RGV Park. The future land use designation is for Suburban Uses.

Staff received a Zone Change Application for the subject property on April 1, 2022. The applicant intends to establish an event center with palapa and pool. Rezoning is needed to accommodate the proposed project.

Staff mailed a notice of the public hearing to 30 neighboring property owners on Friday, April 29, 2022, and had no comments in favor or against this request at the time this report was prepared. Notice of this public hearing will be published in the newspaper on May 18, 2022.

ESTIMATED TIMELINE:

The recommendation of approval or denial of this public hearing is scheduled for consideration by the City Council on June 7, 2022. City Council's decision is the final step in the zoning process for this property. If denied the applicant may not request the proposed zoning classification for a 12 month period from the date of denial.

STAFF RECOMMENDATION:

Staff recommends disapproval of the Comprehensive Plan Amendment from Suburban Uses to General Commercial Uses and the and Rezoning Request from Suburban Residential (S) District to Commercial General (CG) District based on the adjacent residential uses to the south and east.

The subject property is in an area with mostly residential uses and vacant land, the residential use along South Raul Longoria should be protected.

If approved, the applicant will need to comply with all requirements during the permitting process including compliance with subdivision regulations, building and fire codes, fire protection, parking, landscape buffer-yards, solid waste services, utility, and any other City requirements, as applicable.

JUSTIFICATION:

Staff recommendation is based on adjacent zoning and land uses. South Raul Longoria Road is suitable for residential uses, and the proposed commercial general use should would present conflict with the residential uses to the south, east and west.

Nikki Marie Cavazos
Planner I

Kimberly A. Mendoza, MPA
Director of Planning & Zoning

MEETING DATES:
PLANNING & ZONING COMMISSION – 05/10/2022
CITY COUNCIL – 06/07/2022
DATE PREPARED – 05/04/2022

STAFF REPORT
GENERAL INFORMATION

APPLICATION: Comprehensive Plan Amendment from Suburban Uses to General Commercial Uses and the Rezoning Request from Suburban Residential (S) District to Commercial General (CG) District

APPLICANT: Julio C. Martinez

AGENT: N/A

LEGAL: A 1.09 acre tract of land out of the north 10 acres of the north 15 acres of the south 20 acres of Lot 12, Section 268, Texas-Mexican Railway Company's Survey

LOCATION: 1002 South Raul Longoria

LOT/TRACT SIZE: 47480.40 sq. ft.

CURRENT USE: Vacant

PROPOSED USE: Commercial (Event Center)

EXISTING ZONING: Suburban Residential (S) District

ADJACENT ZONING: North - Suburban Residential (S) District
South - Suburban Residential (S) District
East - Neighborhood Conservation 5 (NC5) District
West - Commercial Neighborhood (CN) District

LAND USE PLAN: Suburban Uses

PUBLIC SERVICES: City of Edinburg Water and Sewer

RECOMMENDATION: Staff recommends disapproval of the Comprehensive Plan Amendment from Suburban Uses to General Commercial Uses and the Rezoning Request from Suburban Residential (S) to Commercial General (CG) District.

COMPREHENSIVE PLAN AMENDMENT AND REZONING REQUEST JULIO C. MARTINEZ

EVALUATION

The following is staff's evaluation of the request.

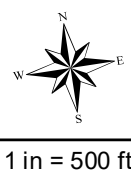
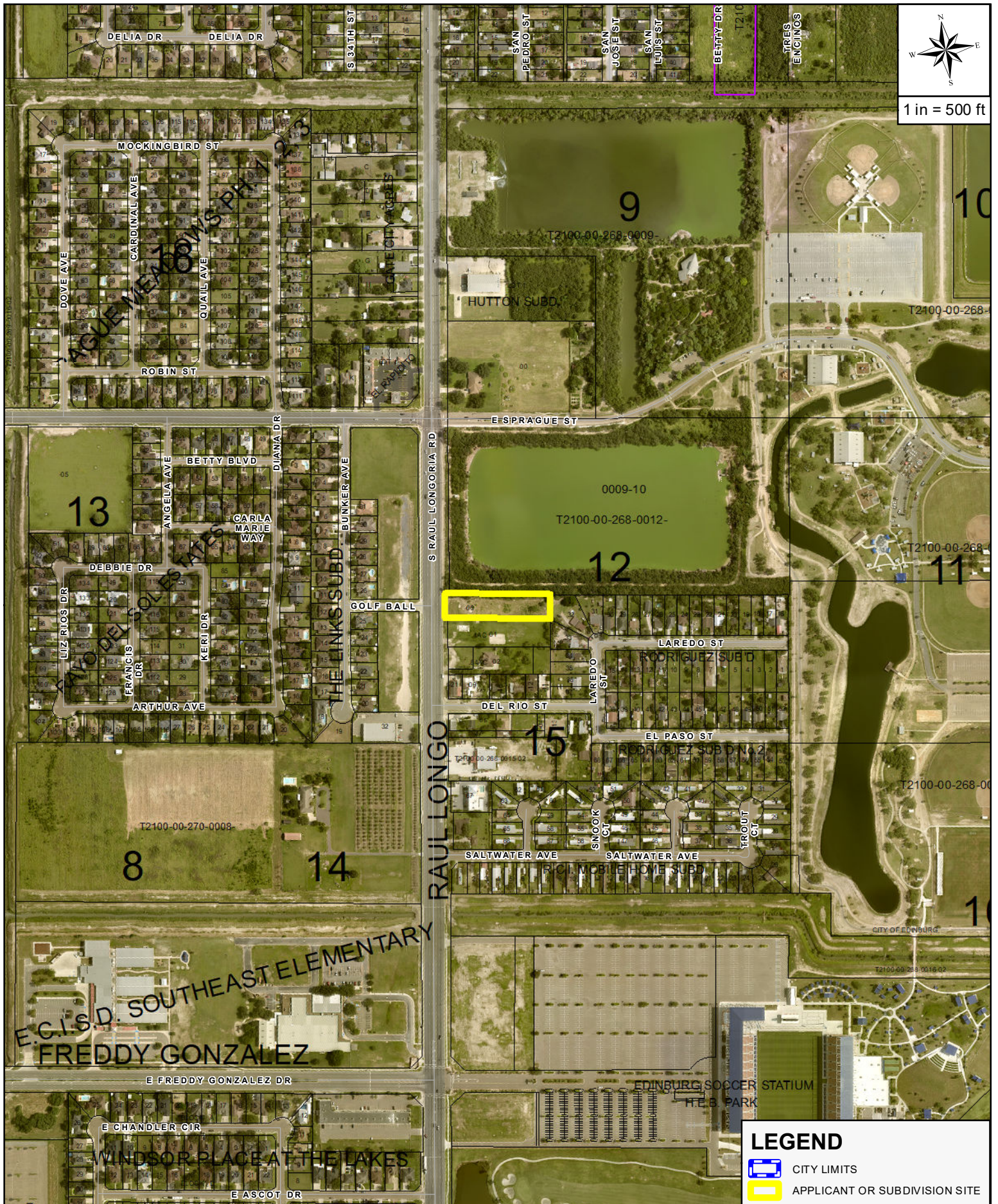
1. The land use pattern for this area consists of residential and vacant land.
2. Residential uses are common along South Raul Longoria Road.
3. Adjacent uses to the south, east and west are single family residential.
4. The requested zoning is for the construction of an event center with palapa and pool.

Staff recommends disapproval of the Comprehensive Plan Amendment from Suburban Uses to General Commercial Uses and the Rezoning Request from Suburban Residential (S) District to Commercial General (CG) District based on the adjacent residential uses to the south and east. The subject property is in an area with mostly residential uses and vacant land, the residential use along South Raul Longoria should be protected.



If approved, the applicant will need to comply with all requirements during the permitting process including compliance with subdivision regulations, building and fire codes, fire protection, parking, landscape buffer-yards, solid waste services, utility, and any other City requirements, as applicable.

Staff mailed a notice of the public hearing to 30 neighboring property owners on Friday, April 29, 2022, and had no comments in favor or against this request at the time this report was prepared. Notice of this public hearing will be published in the newspaper on May 18, 2022.

ATTACHMENTS: Aerial Photo
Site Map
Zoning Map
Future Land Use Map
Mailout and Site Map
Application
Survey
Site Plan
Site Picture



LEGEND

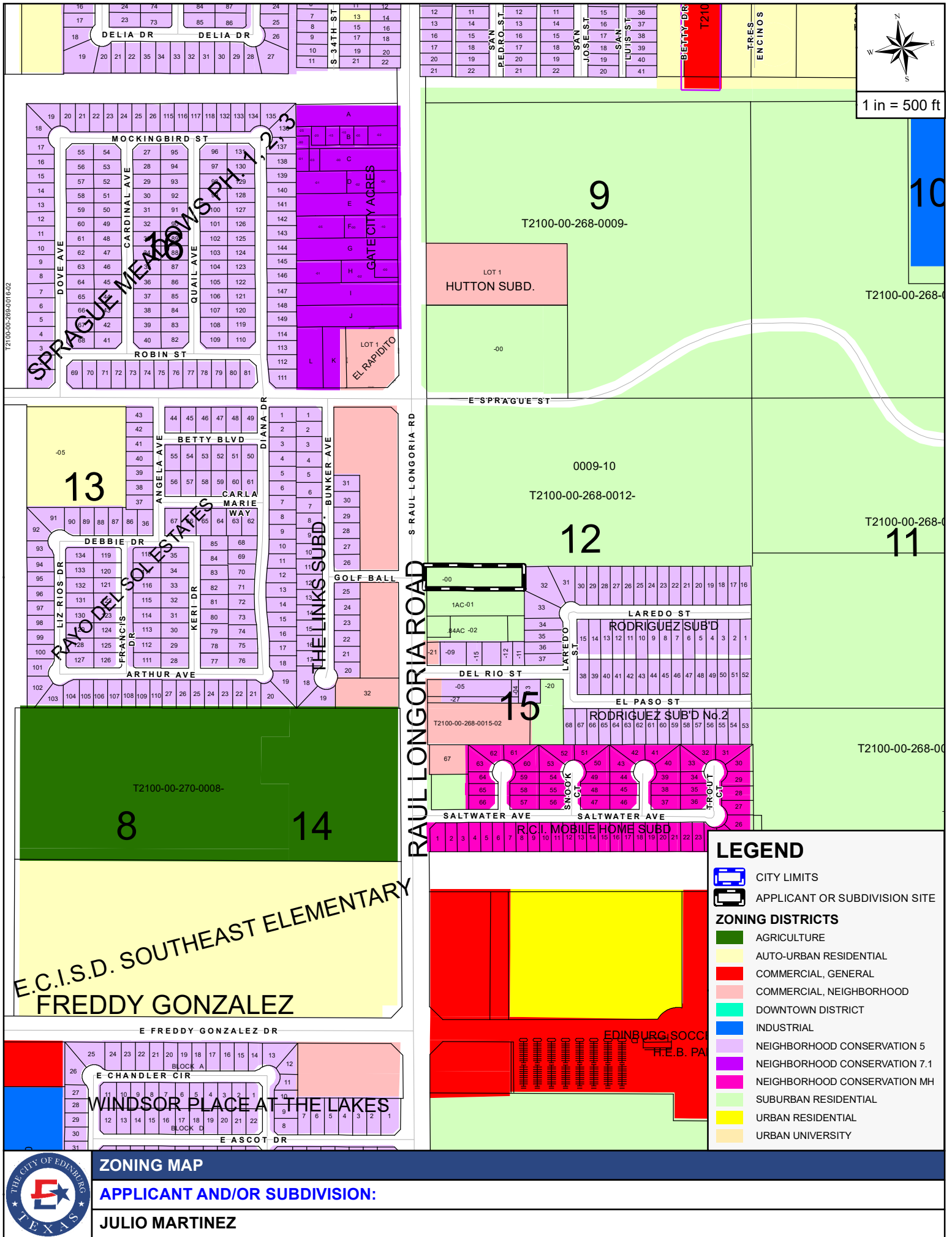
-  CITY LIMITS
-  APPLICANT OR SUBDIVISION SITE

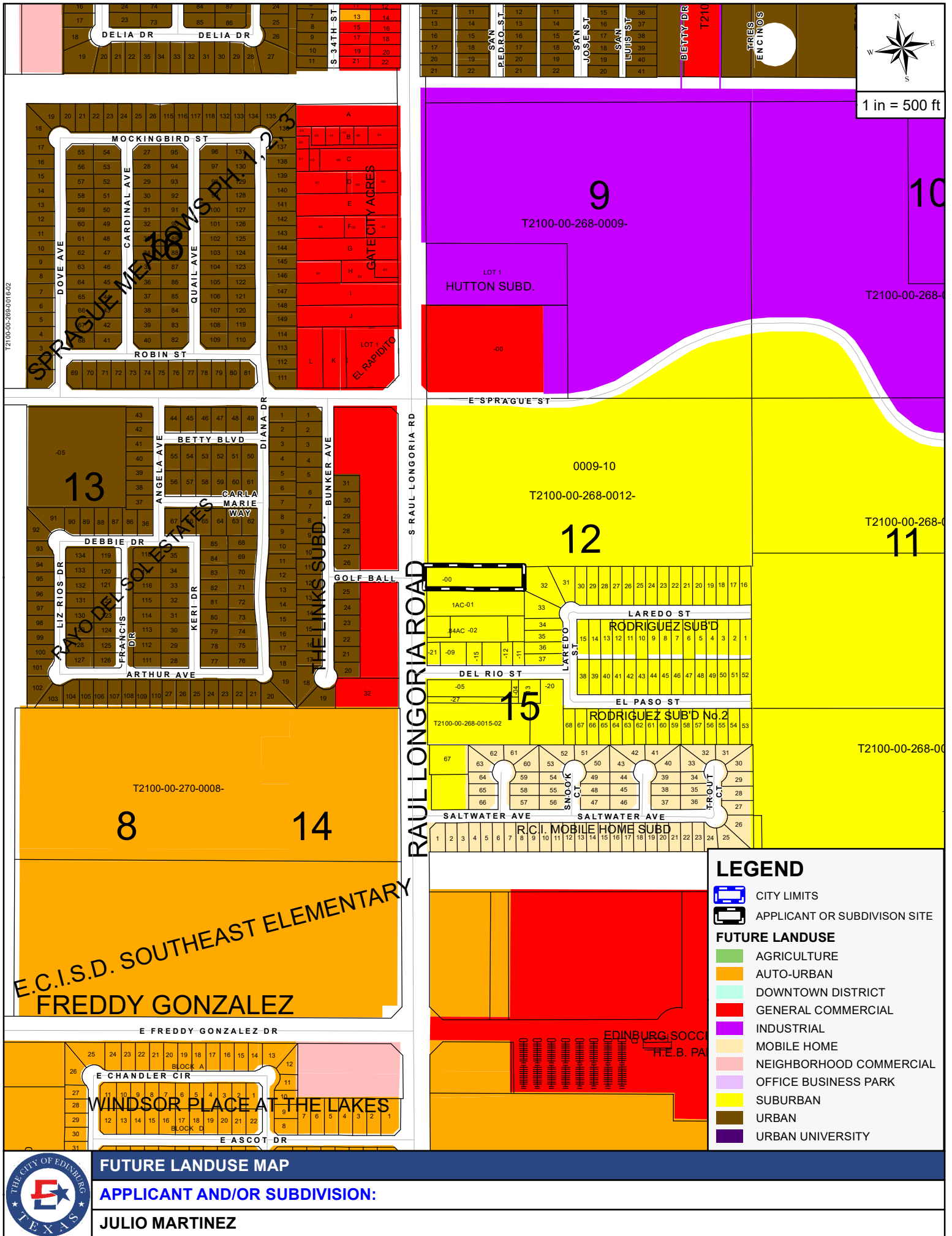


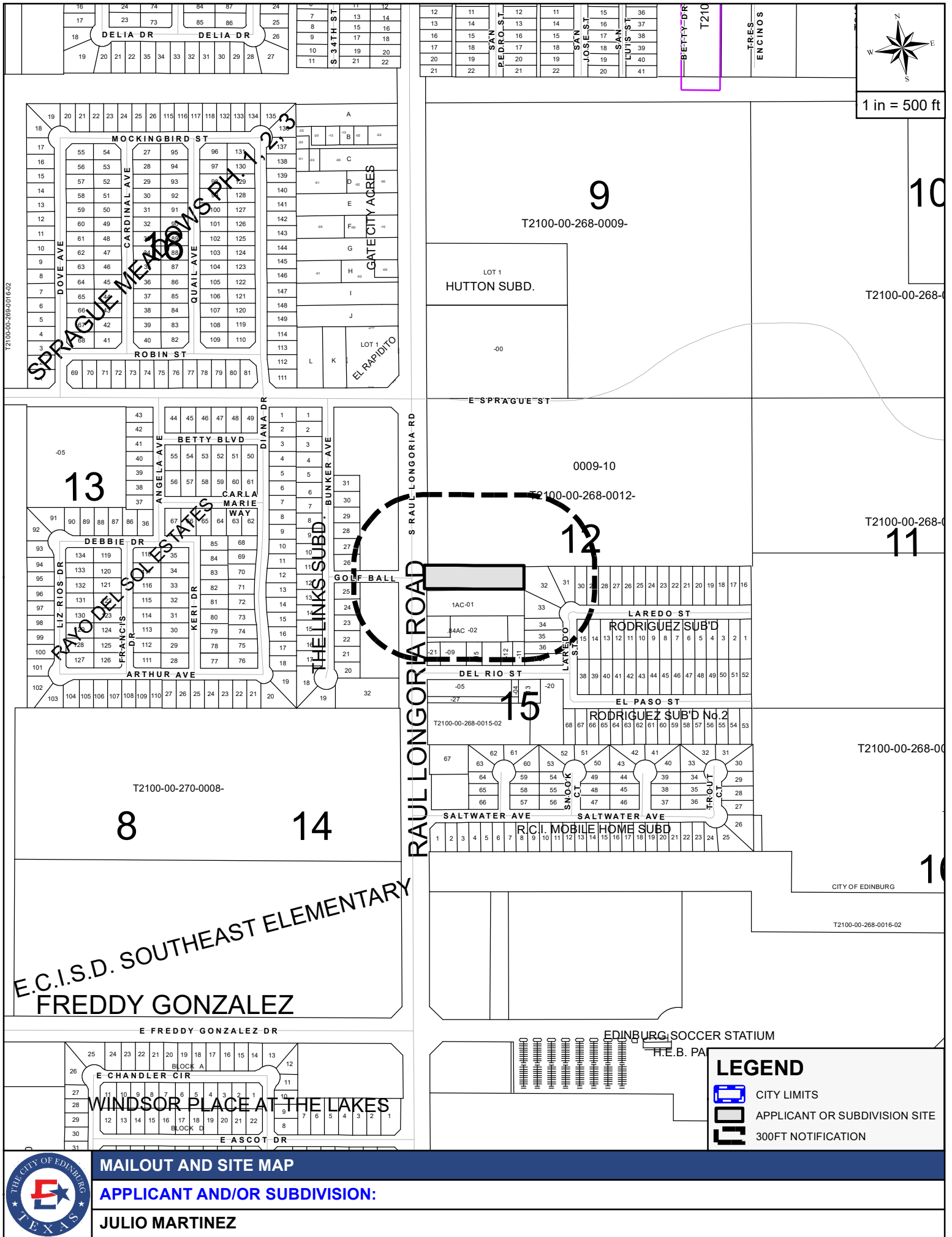
AERIAL MAP

APPLICANT AND/OR SUBDIVISION:

JULIO MARTINEZ









Case #

Edinburg

Planning & Zoning Department
415 W. University Drive
Edinburg, Texas 78539
(956) 388-8202

Zone Change Application

1. Name: Julio C Martinez Phone No. 956-451-1025
2. Mailing Address: 1410 Madero Dr
3. City: Edinburg State: Texas Zip: 78542
4. Email Address: JMartinez1040@yahoo.com Cell No. 956-451-1025
5. Agent: _____ Phone No. _____
6. Agent's Mailing Address: _____
7. City: _____ State: _____ Zip: _____
8. Email Address: _____
9. Address/Location being Rezoned: 1002 S Raul Longoria Rd.
10. Legal Description of Property: _____ Property ID: 296927 **296926**
- 109 acre tract of land out of the north 10 acres of the 15 acres
of the south 20 acres of lot 12 section 268, Texas-Mexican Railway Company's
Survey, Hidalgo County, Texas Commercial General
11. Zone Change: From: Residential To: Commercial Neighborhood
12. Existing Land Use: Vacant
13. Reason for Zone Change: Build a pavilion (Palapa)
- Julio C Martinez Julio C Martinez
(Please Print Name) Signature

AMOUNT PAID \$ _____ RECEIPT NUMBER _____

RECEIVED

PUBLIC HEARING DATE (PLANNING & ZONING COMMISSION) – 4:00 PM: _____

PUBLIC HEARING DATE (CITY COUNCIL) – 6:00 PM: _____

(NOTE: BOTH MEETINGS ARE HELD AT THE EDINBURG CITY COUNCIL CHAMBERS)

APR 01 2022

Name: Jane X

RAUL LONGORIA RD

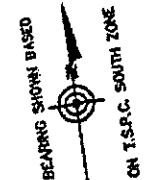
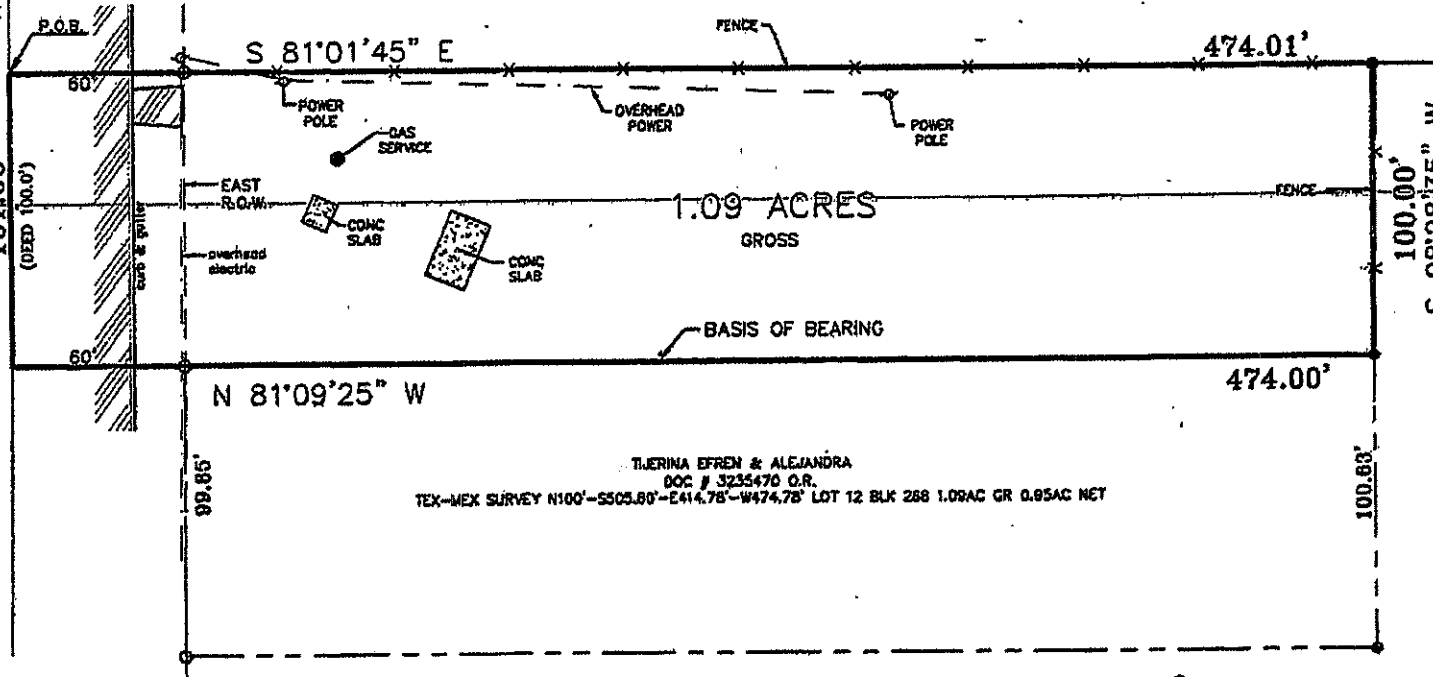
(PUBLIC R.O.W.)

N 08°28'35" E
101.06'

S 08°28'35" W
714.2'

P.O.C.
N.W.C. LOT 12
SECT 288

CITY OF EDINBURG
TEX-MEX SURVEY LOT 9-W 20-E 23.76 ACS & NW 10.0 LOT 12-N 23.62 AC BLK 268 48.84



SCALE: 1" = 50'

SCHEDULE B ITEMS

- A. ANY USABLE AND APPARENT UNRECORDED ENCROACHMENTS ON THE INSURED PROPERTY. (OWNER'S POLICY ONLY)
- B. STATUTORY RIGHTS, RULES, REGULATIONS, EASEMENTS AND LIENS IN FAVOR OF HIDALGO COUNTY IRRIGATION DISTRICT NO. 1, PURSUANT TO APPLICABLE SECTIONS OF THE TEXAS WATER CODE. (DRAWNIST)
- C. RIGHTS OR CLAIMS BY HIDALGO COUNTY IRRIGATION DISTRICT NO. 1 TO ANY PORTION OF PROPERTY LYING WITHIN CANAL AND/OR DRAIN DITCH EASEMENTS AND/OR RIGHTS OF WAY LOCATED ON THE PROPERTY
- D. EASEMENTS AND RESERVATIONS AS SHOWN ACCORDING TO THE MAP OR PLAT THEREOF RECORDED IN VOLUME 24, PAGE 168, DEED RECORDS OF HIDALGO COUNTY, TEXAS.

RODRIGUEZ SUBDIVISION
VOL. 15, PAGE 25
MAP RECORDS

NOTE:
A METES AND BOUNDS DESCRIPTION OF EVEN SURVEY DATE HERE WITH ACCOMPANIES THIS PLAT.

PLAT SHOWING

A 1.09 ACRE TRACT OF LAND OUT OF THE NORTH 10 ACRES OF THE NORTH 15 ACRES OF THE SOUTH 20 ACRES OF LOT TWELVE (12), SECTION TWO HUNDRED SIXTY EIGHT (268), TEXAS-MEXICAN RAILWAY COMPANY'S SURVEY, HIDALGO COUNTY, TEXAS, AS PER MAP OR PLAT THEREOF RECORDED IN VOLUME 24, PAGE 168, DEED RECORDS OF HIDALGO COUNTY, TEXAS

LEGEND

- - SET 1/2" ROD W/ CAP
- ⊕ - FD 1/2" PIPE
- - FD 1/2" ROD



I, JOSE MARIO GONZALEZ, CERTIFY THAT THE ABOVE PLAT IS AN ACTUAL SURVEY MADE ON THE GROUND UNDER MY SUPERVISION AND THAT THERE ARE NO VISIBLE EASEMENTS OR ENCROACHMENTS EXCEPT AS SHOWN AND THAT ALL CORNERS HAVE BEEN LOCATED AS INDICATED.

REGISTERED PROFESSIONAL LAND SURVEYOR NO. 5571



RIO DELTA SURVEYING

24593 FM 88, MONTE ALTO, TX 78538
(TEL) 956-380-5154 (FAX) 956-380-5156
EMAIL: MARIO@RIODELTASURVEYING.COM
T.B.P.L.S. FIRM # 10013800

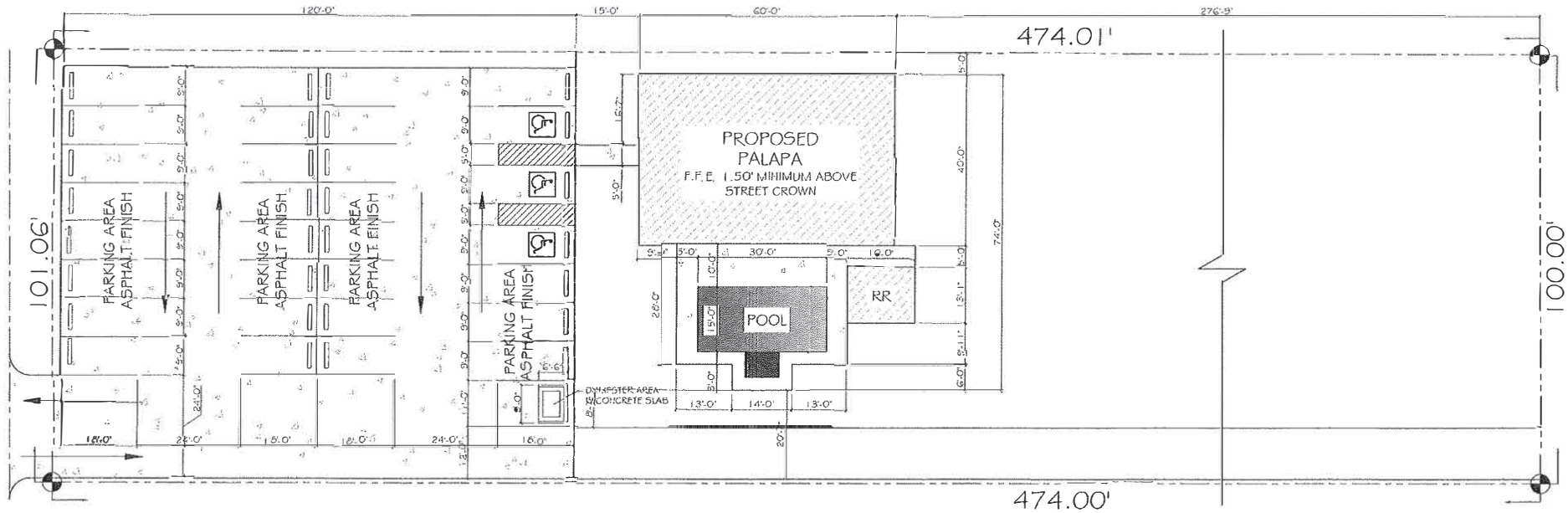
JOB NUMBER

RIO 21 277

© COPYRIGHT 2001 RIO DELTA SURVEYING THIS SURVEY WAS PROVIDED IN MULTIPLE ORIGINALS SOLELY FOR THE USE OF THE BORROWER NAMES HEREIN. NO LICENSE HAS BEEN GRANTED, EXPRESSED OR IMPLIED TO COPY THIS SURVEY.

Julio Cesar Martinez

RAUL LONGORIA RD



LEGAL DESCRIPTION
 1.09 ACRE TRACT OF LAND OUT OF THE
 NORTH 10 ACRES OF THE NORTH 15 ACRES
 OF THE SOUTH 20 ACRES OF LOT 12,
 SECTION 26S, TEXAS-MEXICAN RAILWAY
 COMPANY'S SURVEY, HIDALGO COUNTY, TEXAS

AREAS	SOFT	PARKING SPACES
PARKING:	11,809.00	SPACES: 28
PALAPA:	2,610.00	HANDI-CAP: 3
SIDE-WALK:	861.00	TOTAL: 31
LANDSCAPING:	27,413.00	

1 SITE PLAN
 SCALE: NTS



Rezoning Request Site Photo

JULIO C. MARTINEZ

1002 South Raul Longoria Road





City of Edinburg

PLANNING & ZONING COMMISSION

Regular Meeting: May 10, 2022

COMPREHENSIVE PLAN AMENDMENT AND REZONING REQUEST

AGENDA ITEM 7C:

Consider the Comprehensive Plan Amendment from Urban Uses to General Commercial Uses and the Rezoning Request from Suburban Residential (S) District to Commercial General (CG) District, a 2.00 acre tract of land being a portion of Block 39, Santa Cruz Ranch Subdivision, located at 5016 North Denkhaus Boulevard, as requested by Sandra Ozuna

DESCRIPTION / SCOPE:

The applicant is requesting the change of zone to establish an office for a commercial painting business.

The property is located on the east side of North Denhaus Boulevard, approximately 250 ft. south of Phillips Way. The property has 215.12 ft. of frontage on North Denhaus Boulevard with a lot depth of 474 ft. for a lot area of approximately 2.00 gross acres and is currently vacant. The requested zoning designation of Commercial General (CG) District is the primary commercial district and would allow a wide range of commercial uses.

The property is currently zoned Suburban Residential (S) District. The adjacent zoning is Suburban Residential(S) District to the north, south and west, and Commercial General (CG) District to the west. Adjacent land uses is most single family residential uses and vacant land in all directions. The property is approximately 1,000 ft. west of Texas Department of Public Safety Office. The future land use designation is for Suburban Uses.

Staff received a Zone Change Application for the subject property on April 6, 2022. The applicant intends to establish an office for a commercial painting business. Rezoning is needed to accommodate the proposed project.

Staff mailed a notice of the public hearing to 13 neighboring property owners on Friday, April 29, 2022, and had one comment in favor and two against this request at the time this report was prepared. Notice of this public hearing will be published in the newspaper on May 18, 2022.

ESTIMATED TIMELINE:

The recommendation of approval or denial of this public hearing is scheduled for consideration by the City Council on June 7, 2022. City Council's decision is the final step in the zoning process for this property. If denied the applicant may not request the proposed zoning classification for a 12 month period from the date of denial.

STAFF RECOMMENDATION:

Staff recommends approval of the Comprehensive Plan Amendment from Urban Uses to General Commercial Uses and the and Rezoning Request from Suburban Residential (S) District to Commercial General (CG) District is based on the adjacent mixed uses in all directions.

If approved, the applicant will need to comply with all requirements during the permitting process including compliance with subdivision regulations, building and fire codes, fire protection, parking, landscape buffer-yards, solid waste services, utility, and any other City requirements, as applicable.

JUSTIFICATION:

Staff recommendation is based on the adjacent mixed uses in all directions.

Nikki Marie Cavazos
Planner I

Kimberly A. Mendoza, MPA
Director of Planning & Zoning

MEETING DATES:
PLANNING & ZONING COMMISSION – 05/10/2022
CITY COUNCIL – 06/07/2022
DATE PREPARED – 05/04/2022

STAFF REPORT
GENERAL INFORMATION

APPLICATION: Comprehensive Plan Amendment from Urrban Uses to General Commercial Uses and the Rezoning Request from Suburban Residential (S) District to Commercial General (CG) District

APPLICANT: Sandra Ozuna

AGENT: N/A

LEGAL: A 2.00 acre tract of land being a portion of Block 39, Santa Cruz Ranch Subdivision

LOCATION: 5016 North Denkhaus Boulevard

LOT/TRACT SIZE: 87,120 sq. ft.

CURRENT USE: Vacant

PROPOSED USE: Commercial (Office)

EXISTING ZONING: Suburban Residential (S) District

ADJACENT ZONING: North - Suburban Residential (S) District
South - Suburban Residential (S) District
East – Suburban Residential (S) District
West - Commercial General (CG) District

LAND USE PLAN: Suburban Uses

PUBLIC SERVICES: City of Edinburg Water and Sewer

RECOMMENDATION: Staff recommends approval of the Comprehensive Plan Amendment from Suburban Uses to General Commercial Uses and the Rezoning Request from Suburban Residential (S) to Commercial General (CG) District.

COMPREHENSIVE PLAN AMENDMENT AND REZONING REQUEST

SANDRA OZUNA

EVALUATION

The following is staff's evaluation of the request.

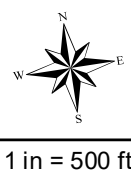
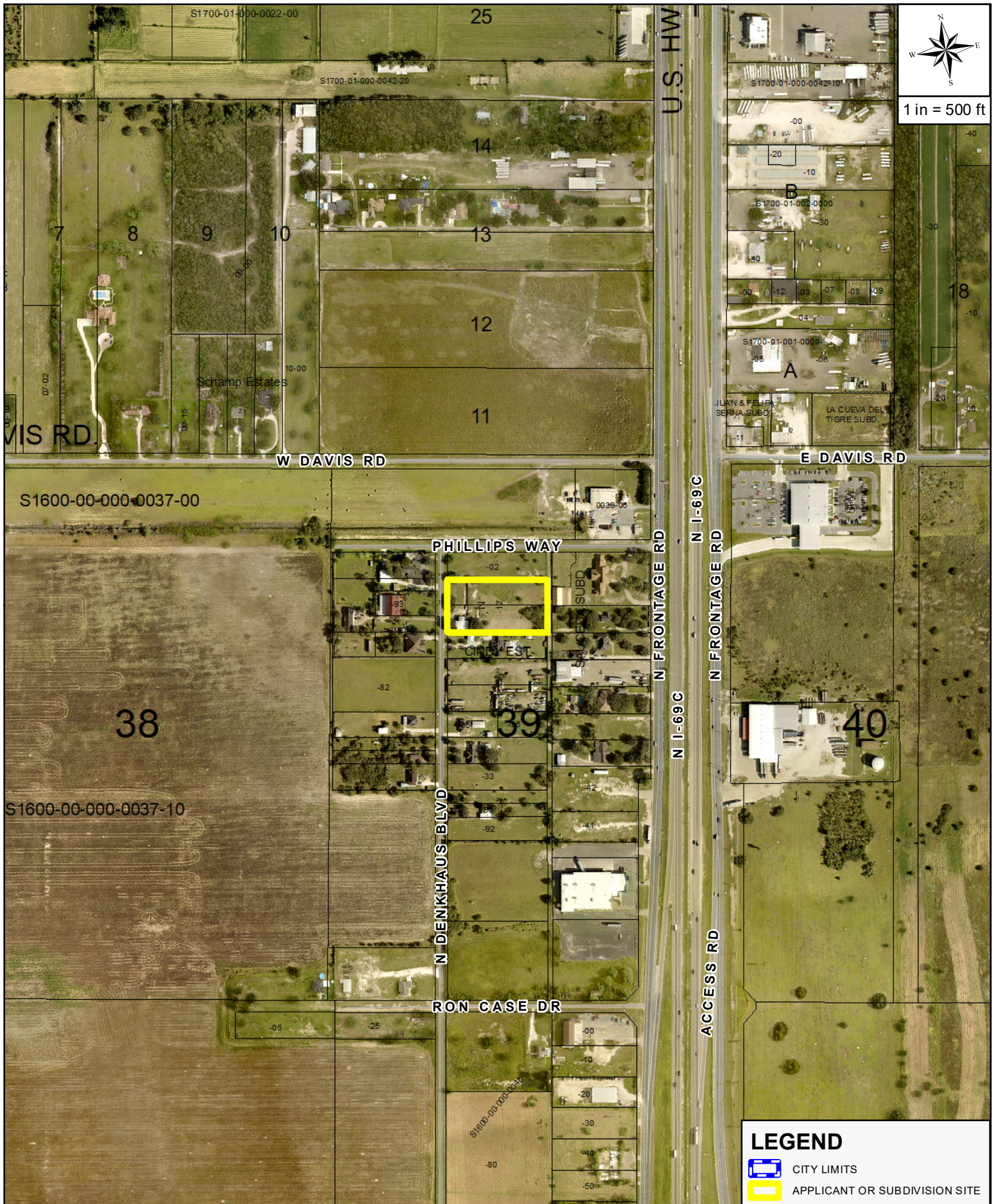
1. The land use pattern for this area consists of residential and vacant land.
2. The requested zoning is for the construction of an office.

Staff recommends approval of the Comprehensive Plan Amendment from Urban Uses to General Commercial Uses and the and Rezoning Request from Suburban Residential (S) District to Commercial General (CG) District is based on the adjacent mixed uses in all directions.

If approved, the applicant will need to comply with all requirements during the permitting process including compliance with subdivision regulations, building and fire codes, fire protection, parking, landscape buffer-yards, solid waste services, utility, and any other City requirements, as applicable.

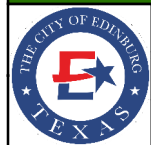
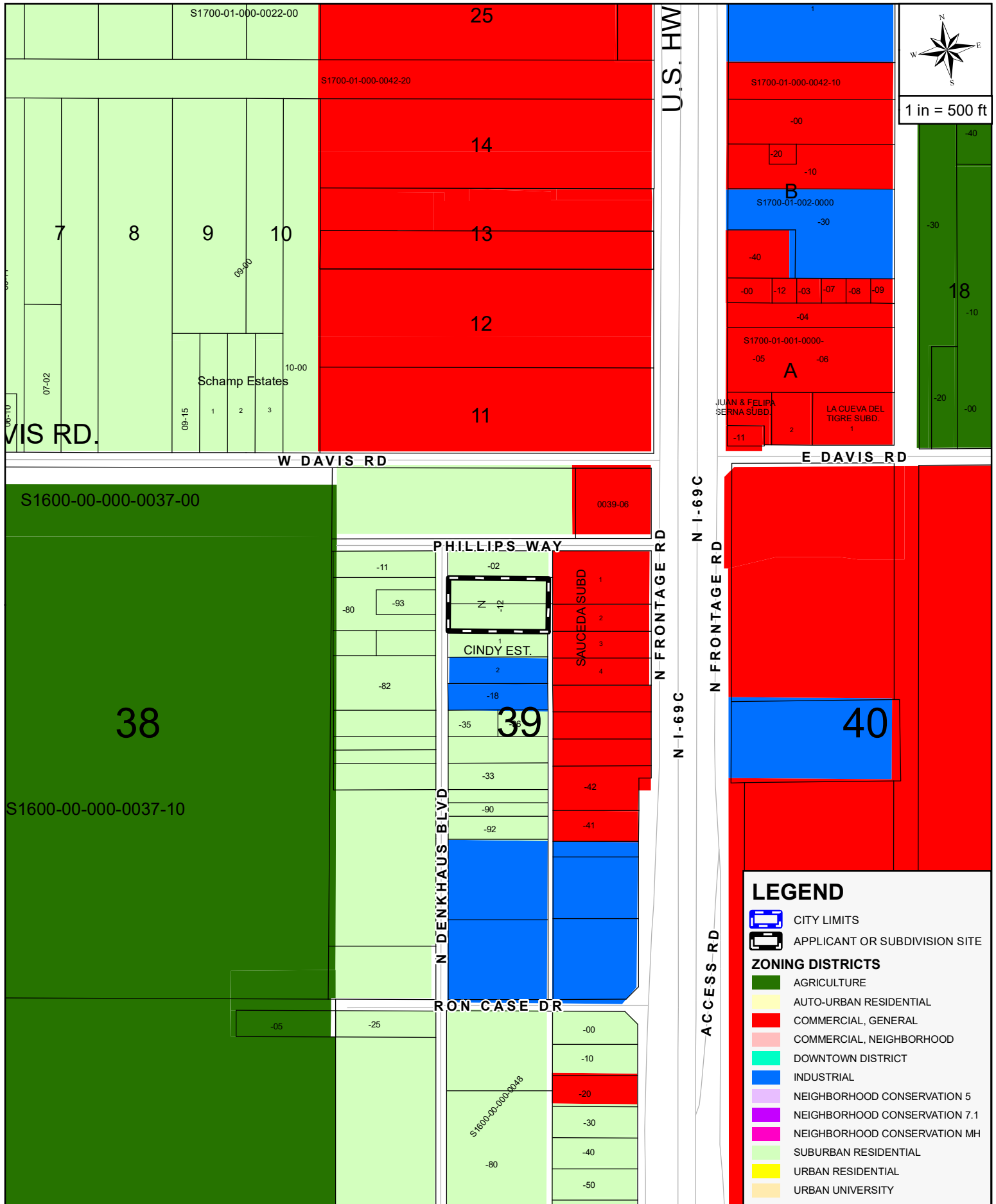
Staff mailed a notice of the public hearing to 30 neighboring property owners on Friday, April 29, 2022, and had no comments in favor or against this request at the time this report was prepared. Notice of this public hearing will be published in the newspaper on May 18, 2022.

ATTACHMENTS: Aerial Photo
Site Map
Zoning Map
Future Land Use Map
Mailout and Site Map
Application
Survey
Site Picture



LEGEND

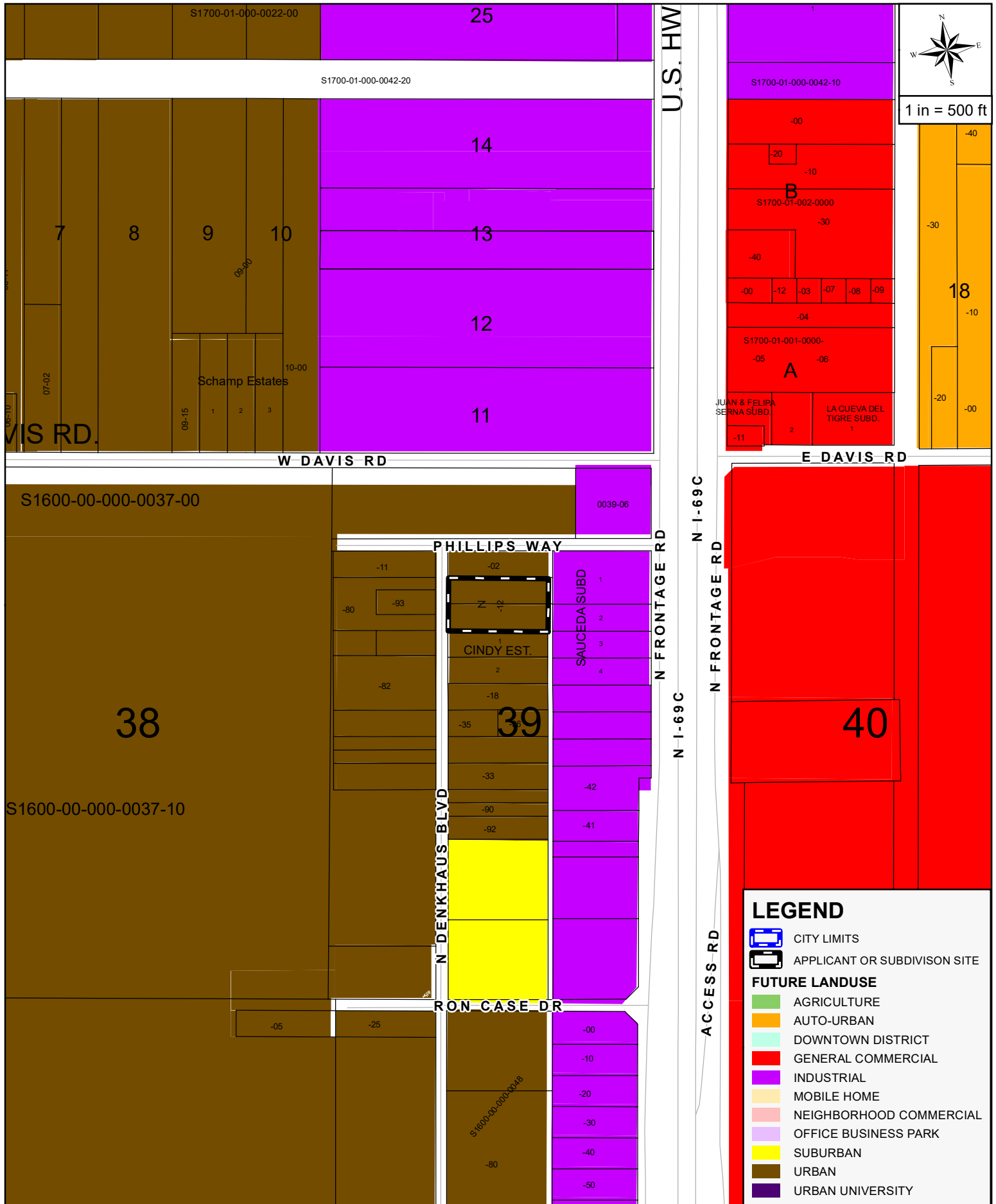
- CITY LIMITS
- APPLICANT OR SUBDIVISION SITE



ZONING MAP

APPLICANT AND/OR SUBDIVISION:

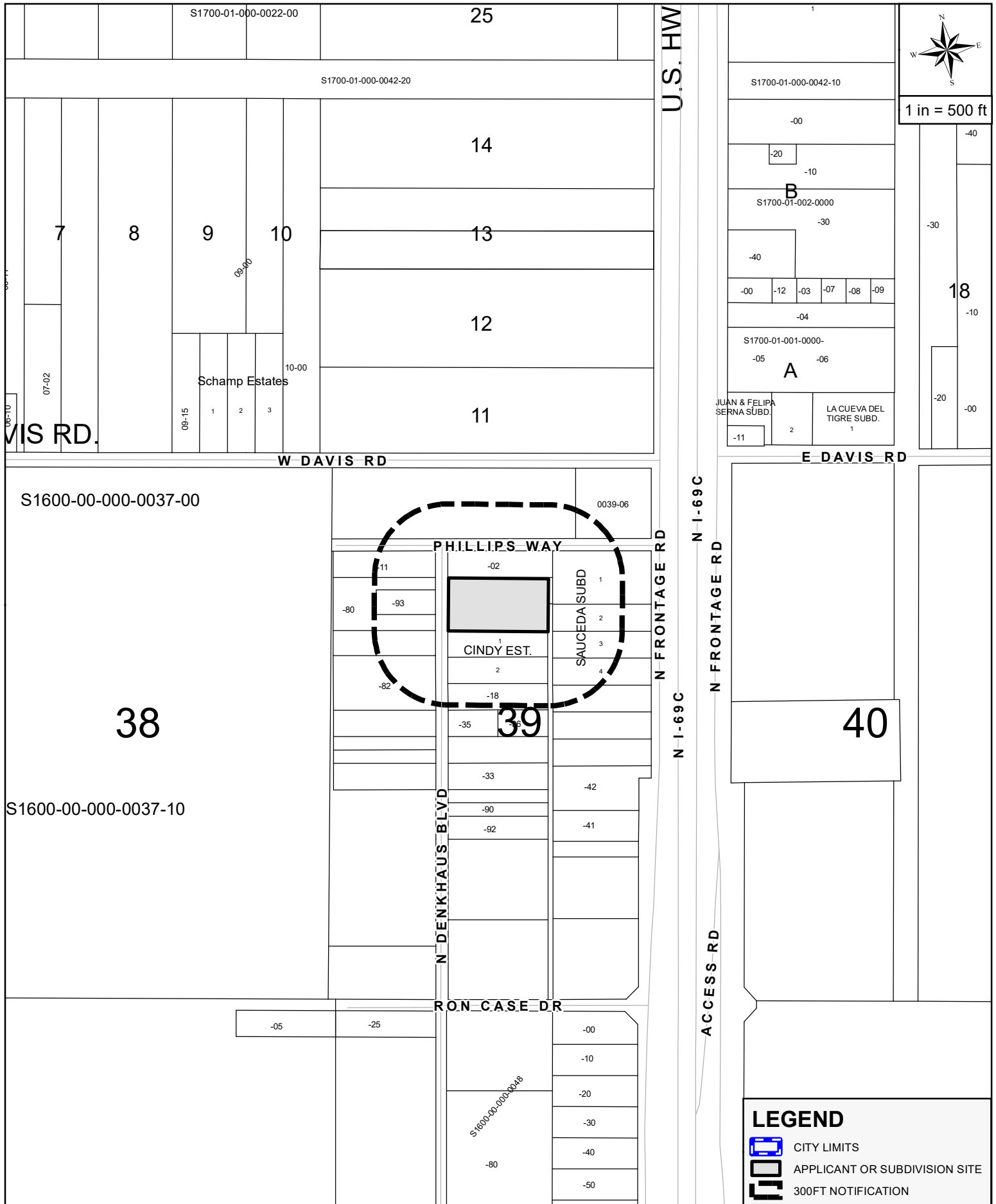
SANDRA OZUNA



FUTURE LANDUSE MAP

APPLICANT AND/OR SUBDIVISION:

SANDRA OZUNA





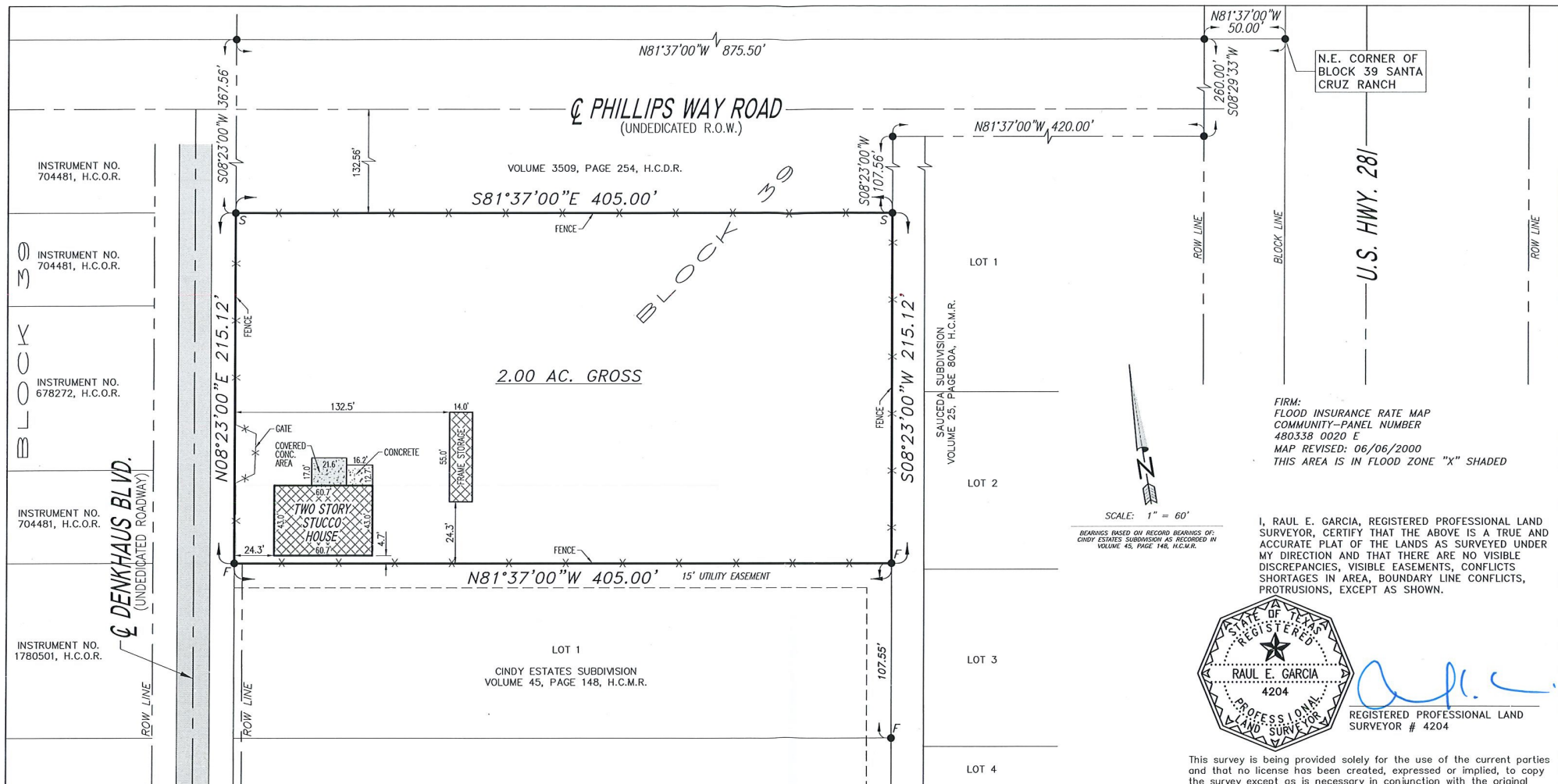
Case #

THE CITY OF
EdinburgPlanning & Zoning Department
415 W. University Drive
Edinburg, Texas 78539
(956) 388-8202**Zone Change Application**

1. Name: Sandra Ozuna Phone No. (956) 655-1215
2. Mailing Address: PO Box 3607
3. City: Edinburg State: Texas Zip: 78540
4. Email Address: sandra.ozuna@hotmail.com Cell No. 956-655-1215
5. Agent: N/A Phone No. _____
6. Agent's Mailing Address: _____
7. City: _____ State: _____ Zip: _____
8. Email Address: _____
9. Address/Location being Rezoned: 5016 N. Denkhaus Rd. Edinburg TX
10. Legal Description of Property: Property ID: 277503
Santa Cruz Ranch S215.12'-N582.68'-W405'-E875'
Lot 39 2.05 AC
Suburban
11. Zone Change: From: ~~Residential~~ To: Commercial General
12. Existing Land Use: Warehouse for Storage
13. Reason for Zone Change: Proposed business, commercial painting
(not a store front)
- Sandra Ozuna Signature [Signature]
(Please Print Name)
- AMOUNT PAID \$ _____ RECEIPT NUMBER _____
- PUBLIC HEARING DATE (PLANNING & ZONING COMMISSION) – 4:00 PM: Name: _____
- PUBLIC HEARING DATE (CITY COUNCIL) – 6:00 PM: _____
- (NOTE: BOTH MEETINGS ARE HELD AT THE EDINBURG CITY COUNCIL CHAMBERS)

RECEIVED

APR 06 2022



PLAT SHOWING

A 2.00 ACRE TRACT OF LAND BEING A PORTION OF BLOCK 39, SANTA CRUZ RANCH SUBDIVISION, AS RECORDED IN VOLUME Z, PAGE 161, DEED RECORDS, HIDALGO COUNTY, TEXAS, ALSO BEING THOSE CERTAIN TRACTS DESCRIBED IN WARRANTY DEED WITH VENDOR'S LIEN RECORDED IN DOCUMENT #1880321, OFFICIAL RECORDS, HIDALGO COUNTY, TEXAS.

RECEIVED
APR 06 2022
LEGEND:
F - FOUND 1/2" IRON ROD
S - SET 1/2" IRON ROD WITH
CAP LABELED "RPLS 4204"

Name: _____

ADDRESS:
5016 N. DENKHAUS ROAD
EDINBURG, TX 78541

R.E. Garcia
PLANNERS & SURVEYORS
Associates

R. E. GARCIA & ASSOCIATES
ENGINEERS, SURVEYORS, PLANNERS
ENGINEER (F-5001) & SURVEYOR (10015300)
116 NORTH 12th AVE.
EDINBURG, TEXAS 78541 (956) 381-1061
EMAIL: REGAASSOC@AOL.COM

TITLE:
IMPROVEMENT SURVEY
DATE: APRIL 4, 2022 REV:
JOB # 2022-069 BOOK T-155/P.63
SCALE: 1" = 60'
DRAWN BY: E.S.



Rezoning Request Site Photo

SANDRA OZUNA

5016 North Denkhaus Boulevard





NOTIFICATION

Dear Property Owner:

A public hearing will be held on **Tuesday May 10, 2022 at 5:30 P.M.** in the Edinburg City Hall, City Council Chambers, located at 415 West University Drive, at which time the Planning and Zoning Commission will consider the following:

CONSIDER THE COMPREHENSIVE PLAN AMENDMENT FROM URBAN USES TO COMMERCIAL USES AND THE REZONING REQUEST FROM SUBURBAN RESIDENTIAL (S) DISTRICT TO COMMERCIAL GENERAL (CG) DISTRICT, A 2.00 ACRE TRACT OF LAND BEING A PORTION OF BLOCK 39, SANTA CRUZ RANCH SUBDIVISION, LOCATED AT 5016 NORTH DENKHAUS BOULEVARD, AS REQUESTED BY SANDRA OZUNA

The Zoning District requested is the primary commercial district. It accommodates a wide range of commercial uses. The applicant is proposing an office for a commercial painting business at this location.

This request is scheduled to be heard by the **City Council on Tuesday, June 7, 2022 at 6:00 P.M.** As a property owner within 300 ft. of the subject property, you are invited to attend. Please note that meeting time (s) and date (s) are subject to change. Therefore; please call on the date of the meeting to assure that the item is on the agenda. As part of the City effort to encourage greater participation in the rezoning process, **the City is using this notice to solicit your input, but no action or response is required.** Should you have any questions or need more information regarding this notice, you may call (956) 388-8202.

You may return your response by one of the following: MAIL: P. O. Box 1079 Edinburg, Texas 78540
FAX: (956) 292-2080 by Monday, May 9, 2022
EMAIL: planning@cityofedinburg.com by Monday, May 9, 2022

Please place a checkmark on the appropriate box to indicate if you are in favor, against, or have no comments on this request.

☐ In Favor/A Favor

☒ Against/En Contra

☐ No Comments/No Comentario

Comments: We do not need anymore Commercial activity. Its bad enough
We have 18 wheelers to the south of us making noise at all hours of the
night.

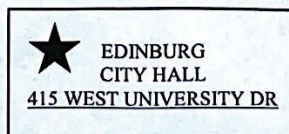
Print Name: Cynthia Garcia & Rene Rodriguez Phone No. 956-739-7980

Address: 5000 N Denkhau Blvd City: Edinburg State: TX Zip: 78541

NOTIFICACIÓN

Si tiene preguntas o necesita información sobre esta aplicación en español, por favor llame al 956-388-8202.

Planning and Zoning Department
City of Edinburg
PO BOX 1079
Edinburg, TX 78540-1079



University Dr. (S.H.107)

8th Ave.

RECEIVED

By Nikki Marie Cavazos at 8:55 am, May 05, 2022

RECEIVED VIA EMAIL 05/02/2022 AT 1:36 PM



NOTIFICATION

Dear Property Owner:

A public hearing will be held on **Tuesday May 10, 2022 at 5:30 P.M.** in the Edinburg City Hall, City Council Chambers, located at 415 West University Drive, at which time the Planning and Zoning Commission will consider the following:

CONSIDER THE COMPREHENSIVE PLAN AMENDMENT FROM URBAN USES TO COMMERCIAL USES AND THE REZONING REQUEST FROM SUBURBAN RESIDENTIAL (S) DISTRICT TO COMMERCIAL GENERAL (CG) DISTRICT, A 2.00 ACRE TRACT OF LAND BEING A PORTION OF BLOCK 39, SANTA CRUZ RANCH SUBDIVISION, LOCATED AT 5016 NORTH DENKHAUS BOULEVARD, AS REQUESTED BY SANDRA OZUNA

The Zoning District requested is the primary commercial district. It accommodates a wide range of commercial uses. The applicant is proposing an office for a commercial painting business at this location.

This request is scheduled to be heard by the **City Council on Tuesday, June 7, 2022 at 6:00 P.M.** As a property owner within 300 ft. of the subject property, you are invited to attend. Please note that meeting time (s) and date (s) are subject to change. Therefore; please call on the date of the meeting to assure that the item is on the agenda. As part of the City effort to encourage greater participation in the rezoning process, **the City is using this notice to solicit your input, but no action or response is required.** Should you have any questions or need more information regarding this notice, you may call (956) 388-8202.

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FAX: (956) 292-2080 by Monday, May 9, 2022
EMAIL: planning@cityofedinburg.com by Monday, May 9, 2022

Please place a checkmark on the appropriate box to indicate if you are in favor, against, or have no comments on this request.

☒ In Favor/A Favor ☐ Against/En Contra ☐ No Comments/No Comentario

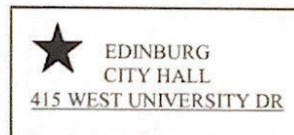
Comments: _____

Print Name: Efrain Rosas Phone No. 956-454-0008
Address: 5001 N Hwy 281 City: Edinburg State: TX Zip: 78542

NOTIFICACIÓN

Si tiene preguntas o necesita información sobre esta aplicación en español, por favor llame al 956-388-8202.

Planning and Zoning Department
City of Edinburg
PO BOX 1079
Edinburg, TX 78540-1079



University Dr. (S.H.107)

RECEIVED

By Nikki Marie Cavazos at 9:54 am, May 05, 2022

RECEIVED VIA EMAIL 05/02/2022 AT 11:33 AM



NOTIFICATION

Dear Property Owner:

A public hearing will be held on **Tuesday May 10, 2022 at 5:30 P.M.** in the Edinburg City Hall, City Council Chambers, located at 415 West University Drive, at which time the Planning and Zoning Commission will consider the following:

CONSIDER THE COMPREHENSIVE PLAN AMENDMENT FROM URBAN USES TO COMMERCIAL USES AND THE REZONING REQUEST FROM SUBURBAN RESIDENTIAL (S) DISTRICT TO COMMERCIAL GENERAL (CG) DISTRICT, A 2.00 ACRE TRACT OF LAND BEING A PORTION OF BLOCK 39, SANTA CRUZ RANCH SUBDIVISION, LOCATED AT 5016 NORTH DENKHAUS BOULEVARD, AS REQUESTED BY SANDRA OZUNA

The Zoning District requested is the primary commercial district. It accommodates a wide range of commercial uses. The applicant is proposing an office for a commercial painting business at this location.

This request is scheduled to be heard by the **City Council on Tuesday, June 7, 2022 at 6:00 P.M.** As a property owner within 300 ft. of the subject property, you are invited to attend. Please note that meeting time (s) and date (s) are subject to change. Therefore; please call on the date of the meeting to assure that the item is on the agenda. As part of the City effort to encourage greater participation in the rezoning process, **the City is using this notice to solicit your input, but no action or response is required.** Should you have any questions or need more information regarding this notice, you may call (956) 388-8202.

You may return your response by one of the following: MAIL: P. O. Box 1079 Edinburg, Texas 78540
FAX: (956) 292-2080 by Monday, May 9, 2022
EMAIL: planning@cityofedinburg.com by Monday, May 9, 2022

Please place a checkmark on the appropriate box to indicate if you are in favor, against, or have no comments on this request.

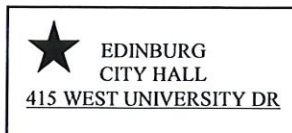
☐ In Favor/A Favor ☒ Against/En Contra ☐ No Comments/No Comentario

Comments: I am extremely against this rezoning, this is a neighborhood we have no need all for commercial trucks on our road especially at the night
Print Name: Ruben Alvaro Jr Phone No. 956-445-6554
Address: 5003 Denkhous City: Edinburg State: TX Zip: 78541

NOTIFICACIÓN

Si tiene preguntas o necesita información sobre esta aplicación en español, por favor llame al 956-388-8202.

Planning and Zoning Department
City of Edinburg
PO BOX 1079
Edinburg, TX 78540-1079



University Dr. (S.H.107)

RECEIVED

MAY 05 2022

Name: 10:44a.m
in person

8th Ave.



City of Edinburg

PLANNING & ZONING COMMISSION

Regular Meeting: May 10, 2022

COMPREHENSIVE PLAN AMENDMENT AND REZONING REQUEST

AGENDA ITEM 7D:

Consider the Comprehensive Plan Amendment from Auto-Urban Uses to Neighborhood Commercial Uses and the Rezoning Request from Urban Residential (UR) District to Commercial Neighborhood (CN) District, 0.897 acre out of Lot 1, Section 276, Texas-Mexican Railway Company's Survey, located at 613 North Jackson Road, as requested by Ricardo Pedraza, PE, on behalf of Rodolfo V. Garcia [Planning & Zoning – Kimberly Mendoza, Director of Planning & Zoning]

DESCRIPTION / SCOPE:

The applicant is requesting the change of zone to establish a restaurant at this location.

The property is located at the southwest corner of Peridot Street and North Jackson Road, approximately 470 ft. south of West Schunior Street. The property has 145.4 ft. of frontage on North Jackson Road with a lot depth of 221.36 ft. at its deepest point for a lot area of approximately 0.897 acre and is the location of a one-story brick house. The requested zoning designation allows for light commercial uses on the subject property.

The property is currently zoned Urban Residential (UR) District. The adjacent zoning is Commercial Neighborhood (CN) District to the north, Urban Residential (UR) District to the south and west, and Urban University (UU) District to the east. Adjacent land uses are light commercial to the north and east, multifamily residential to the west, and vacant land to the south. The UTRGV campus is located directly across North Jackson Road from the subject property, adjacent to the light commercial use. The future land use designation is for Auto-Urban Uses.

Staff received a Zone Change Application for the subject property on April 11, 2022. The applicant indicated that the intended use is for a proposed commercial restaurant. Rezoning is required to accommodate the intended use.

Staff mailed a notice of the public hearing to 15 neighboring property owners on Friday, April 29, 2022, and had received no comments in favor or against this request at the time this report was prepared. Notice of this public hearing will be published in the newspaper on May 18, 2022.

ESTIMATED TIMELINE:

The recommendation of approval or denial of this public hearing is scheduled for consideration by the City Council on June 7, 2022. City Council's decision is the final step in the zoning process for this property. If denied the applicant may not request the proposed zoning classification for a 12 month period from the date of denial.

STAFF RECOMMENDATION:

Staff recommends approval of the Comprehensive Plan Amendment from Auto-Urban Uses to Neighborhood Commercial Uses and the Rezoning Request from Urban Residential (UR) District to Commercial Neighborhood (CN) District based on the adjacent zoning and land uses.

If approved, the applicant will need to comply with all requirements during the platting and permitting process including compliance with subdivision regulations, building and fire codes, fire protection, parking, landscape buffer-yards, solid waste services, utility, and any other City requirements, as applicable.

JUSTIFICATION:

Staff recommendation is based on adjacent zoning and land uses. Location along North Jackson Road is suitable for commercial uses, and the light commercial use proposed should not present a conflict with the multifamily uses to the west.

D. Austin Colina
Planner I

Kimberly A. Mendoza, MPA
Director of Planning & Zoning

MEETING DATES:
PLANNING & ZONING COMMISSION – 05/10/2022
CITY COUNCIL – 06/07/2022
DATE PREPARED – 05/02/2022

STAFF REPORT
GENERAL INFORMATION

APPLICATION: Comprehensive Plan Amendment from Auto-Urban Uses to Neighborhood Commercial Uses and the Rezoning Request from Urban Residential (UR) District to Commercial Neighborhood (CN) District

APPLICANT: Rodolfo V. Garcia

AGENT: Ricardo Pedraza, PE

LEGAL: 0.897 acre out of Lot 1, Section 276, Texas-Mexican Railway Company's Survey

LOCATION: 613 North Jackson Road

LOT/TRACT SIZE: 0.897 acre

CURRENT USE: Single-family residential

PROPOSED USE: Commercial (restaurant)

EXISTING ZONING: Urban Residential (UR) District

ADJACENT ZONING: North – Commercial Neighborhood (CN) District
South – Urban Residential (UR) District
East – Urban University (UU) District
West – Urban Residential (UR) District

LAND USE PLAN: Auto-Urban

PUBLIC SERVICES: City of Edinburg Water and Sewer

RECOMMENDATION: Staff recommends approval of the Comprehensive Plan Amendment from Auto-Urban Uses to Neighborhood Commercial Uses and the Rezoning Request from Urban Residential (UR) District to Commercial Neighborhood (CN) District.

COMPREHENSIVE PLAN AMENDMENT AND REZONING REQUEST RODOLFO V. GARCIA

EVALUATION

The following is staff's evaluation of the request.

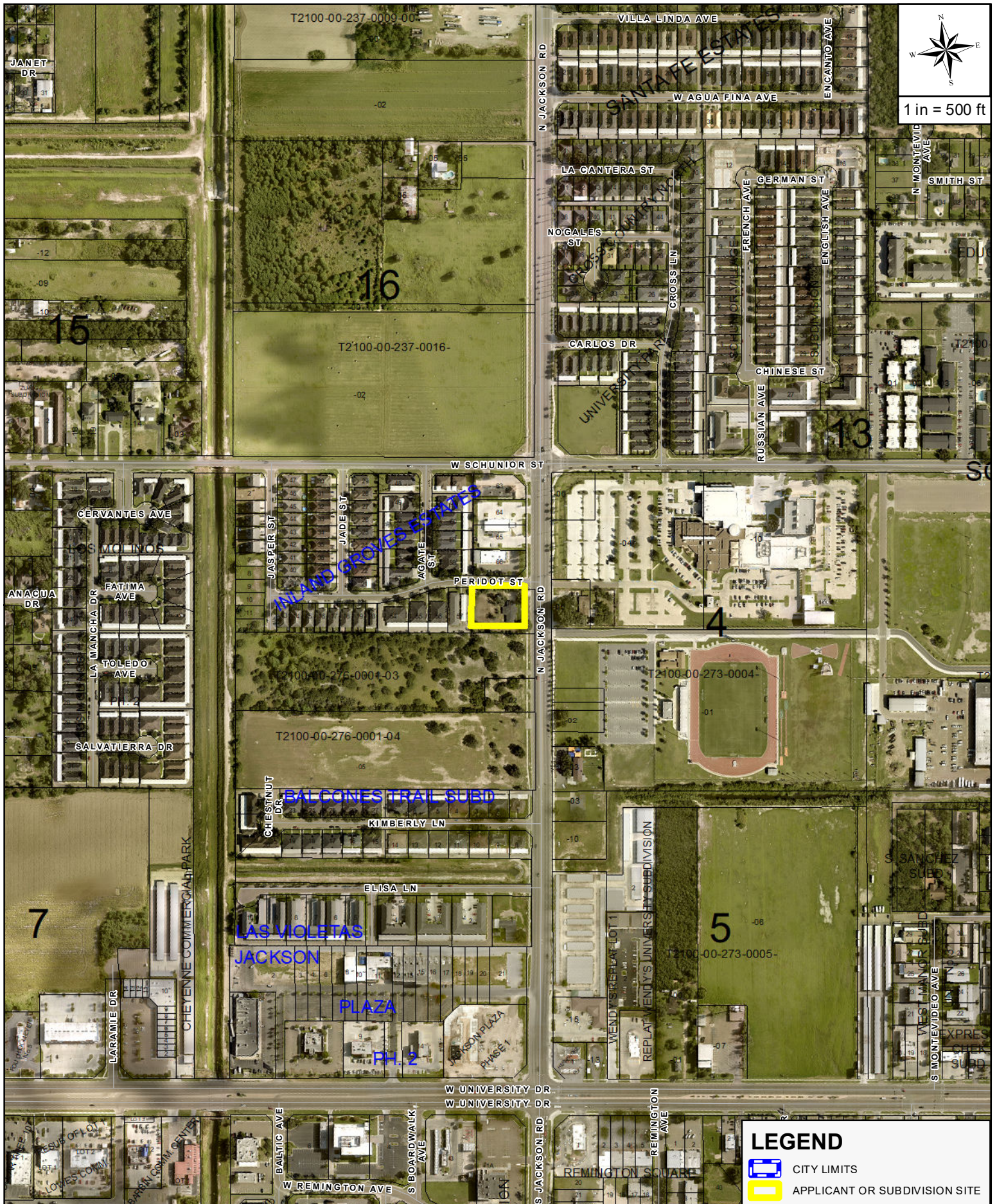
1. The land use pattern for this area of the community consists of light commercial and multifamily uses.
2. The UTRGV Campus is across North Jackson Road from this location.
3. The applicant is requesting the change of zone to establish a restaurant at the subject property.

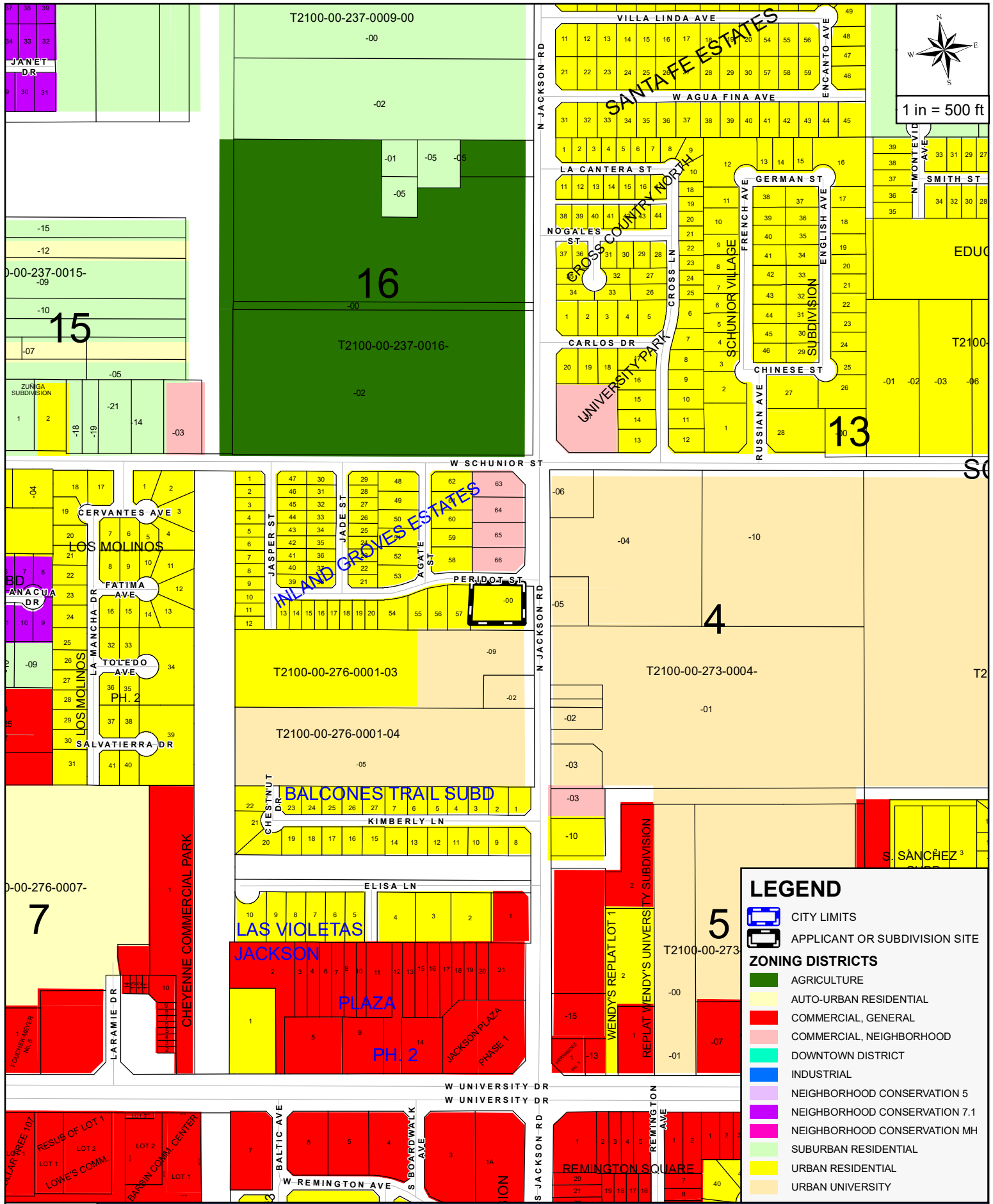
Staff recommends approval of the Comprehensive Plan Amendment from Auto-Urban Uses to Neighborhood Commercial Uses and the Rezoning Request from Urban Residential (UR) District to Commercial Neighborhood (CN) District based on adjacent zoning land uses. Light commercial uses exist to the north and east of this location, and the proposed use should not present a conflict with the multifamily uses to the west. Commercial uses are appropriate along North Jackson Road, a principal arterial street. However, the requested zoning does not conform to the Future Land Use Plan.

If approved, the applicant will need to comply with all requirements during the platting and permitting process including compliance with subdivision regulations, building and fire codes, fire protection, parking, landscape buffer-yards, solid waste services, utility, and any other City requirements, as applicable.

Staff mailed a notice of the public hearing to 15 neighboring property owners on Friday, April 1, 2022, and had received no comments in favor or against this request at the time this report was prepared. Notice of this public hearing will be published in the newspaper on May 18, 2022.

ATTACHMENTS: Aerial Photo
Site Map
Zoning Map
Future Land Use Map
Photo of site
Exhibits





ZONING MAP

APPLICANT AND/OR SUBDIVISION:

RICARDO PEDRAZA





Case # RZNE-2022-0058

Edinburg THE CITY OF

Planning & Zoning Department
415 W. University Drive
Edinburg, Texas 78539
(956) 388-8202

Zone Change Application

Date: April 6, 2022

1. Property Owner: Rodolfo V. Garcia 2. Phone: (956) 588-9463

3. Mailing Address: 511 W. La Quinta Dr.

4. City: Pharr State: Texas Zip: 78577

5. Email Address: rvggrocerystore@hotmail.com 6. Cell No. (956) 588-9463

7. Agent: Ricardo Pedraza, PE 8. Agent's Phone: (512) 788-4629

9. Agent's Mailing Address: 1803 S Dominique Dr

10. City: Pharr State: Texas Zip: 78577

11. Agent's Email: rick.pedraza@gmail.com

12. Address/Location being Rezoned: 613 N. Jackson, Edinburg Texas 78

13. Legal Description of Property: TEX-MEX SURVEY S179.17'-N683.5'-E204.35' LOT 1 SEC 276 0.85AC GR 0.59 AC NET

14. Property ID(s): 297306

15. Zone Change: From: UR - Urban Residential To: CN - Commerical Neighborhood

16. Existing Land Use: RESIDENTIAL HOME

17. Reason for Zone Change: PROPOSED COMMERCIAL RESTAURANT

RICARDO PEDRAZA, PE

(Please Print Name)

Signature

AMOUNT PAID \$ _____ RECEIPT NUMBER _____

RECEIVED

PUBLIC HEARING DATE (PLANNING & ZONING COMMISSION) – 4:00 PM: APR 11 2022

PUBLIC HEARING DATE (CITY COUNCIL) – 6:00 PM: _____ Name: _____

(NOTE: BOTH MEETINGS ARE HELD AT THE EDINBURG CITY COUNCIL CHAMBERS)

- NEED METES + BOUNDS

Zone Change Requirements

All items are required to be submitted with the application.

<u>ITEM</u>	<u>DESCRIPTION</u>	<u>DATE</u>	<u>INITIALS</u>
1.	Zoning Application	_____	_____
2.	Application Fee \$400 (FEE IS NON-REFUNDABLE)	_____	_____
3.	Survey	_____	_____
4.	Metes & Bounds Description	_____	_____
5.	Warranty Deed	_____	_____
6.	Preliminary Site Plan/Sketch	_____	_____
7.	If not owner, Authorization Letter from Owner	_____	_____
8.	Special Use Permit (if applicable)	_____	_____

NOTE: IF ACREAGE PROPERTY IS INVOLVED, THEN A SURVEY AND A METES AND BOUNDS DESCRIPTION ARE REQUIRED.

A SITE INSPECTION WILL BE CONDUCTED AS PART OF THE REZONING PROCESS

OFFICE USE ONLY

Staff Recommendation

☐ Approval☐ Denial

Planning & Zoning

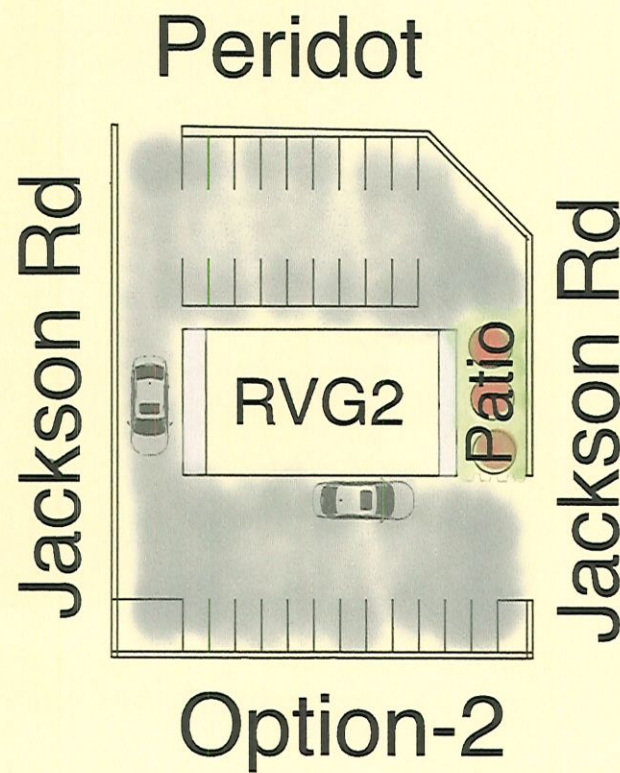
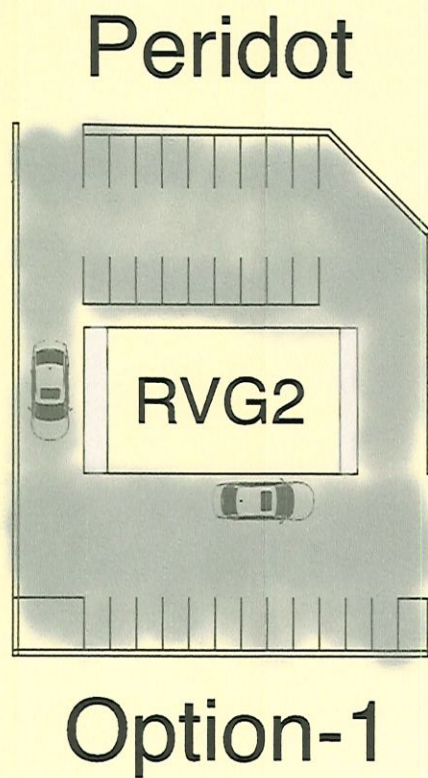
☐ Approved☐ Denied

City Council

☐ Approved☐ Denied

Case #

Comments:



RECEIVED

APR 11 2022

Name: _____

RUDS Engineering & Construction Servi...
Mar 9, 2022



SK1

RVG2 CONCEPTS



Rezoning Request Site Photo

RODOLFO V. GARCIA

613 North Jackson Road





City of Edinburg

PLANNING & ZONING COMMISSION

Regular Meeting: May 10, 2022

REZONING REQUEST

AGENDA ITEM 7E:

Consider the Rezoning Request from Agriculture (AG) District to Commercial General (CG) District, 1.402 acre out of Lot 2, Block 4 Steal and Pershing subdivision located at 4421 South McColl Road, as requested by Melden & Hunt, Inc., on behalf of MVP Family Limited Partnership [Planning & Zoning – Kimberly Mendoza, Director of Planning & Zoning]

DESCRIPTION / SCOPE:

The applicant is requesting the change of zone to construct a carwash at this location.

The property is located on the west side of South McColl Road approximately 360 ft. south of West Trenton Road. The property has approximately 200 ft. of frontage on South McColl Road and a depth of 310 ft. for total area of 62,000 sq. ft. and is currently vacant. The requested zoning designation allows for a wide range of commercial uses on the subject property.

The property is currently zoned Agriculture (AG) District. Adjacent zoning is Commercial General (CG) District to the north and east, and Agriculture (AG) District to the south and west. Adjacent land uses are mostly commercial to the north and east, and vacant land to the south and west. The future land use designation is for Office Business Park.

Staff received a Zone Change Application for the subject property on April 11, 2022. The applicant intends to establish a carwash on the subject property. Rezoning is needed to accommodate the proposed project.

Staff mailed a notice of the public hearing to 13 neighboring property owners on Friday, April 29, 2022, and had received no comments in favor or against this request at the time this report was prepared. Notice of this public hearing will be published in the newspaper on May 18, 2022.

ESTIMATED TIMELINE:

The recommendation of approval or denial of this public hearing is scheduled for consideration by the City Council on June 7, 2022. City Council's decision is the final step in the zoning process for this property. If denied the applicant may not request the proposed zoning classification for a 12 month period from the date of denial.

STAFF RECOMMENDATION:

Staff recommends approval of the Rezoning Request from Agriculture (AG) District to Commercial General (CG) District based on the adjacent land uses in the area.

If approved, the applicant will need to comply with all requirements during the permitting process including compliance with subdivision regulations, building and fire codes, fire protection, parking, landscape buffer-yards, solid waste services, utility, and any other City requirements, as applicable.

JUSTIFICATION:

Staff recommendation is based on adjacent zoning and land uses. A carwash is a permitted use in the requested zoning designation.

Jaime X. Ayala
Planner II

Kimberly A. Mendoza, MPA
Director of Planning & Zoning

MEETING DATES:
PLANNING & ZONING COMMISSION – 5/10/2022
CITY COUNCIL – 6/07/2022
DATE PREPARED – 4/29/2022

STAFF REPORT
GENERAL INFORMATION

<u>APPLICATION:</u>	Rezoning Request from Agriculture (AG) District to Commercial General (CG) District
<u>APPLICANT:</u>	MVP Partnership
<u>AGENT:</u>	Melden & Hunt, Inc.
<u>LEGAL:</u>	1.402 acre out of Lot 2, Block 4, Steele and Pershing Subdivision
<u>LOCATION:</u>	4221 South McColl Road
<u>LOT/TRACT SIZE:</u>	62,000 sq. ft.
<u>CURRENT USE:</u>	Vacant
<u>PROPOSED USE:</u>	Commercial (carwash)
<u>EXISTING ZONING:</u>	Agriculture (AG) District
<u>ADJACENT ZONING:</u>	North – Commercial General (CG) District South – Agriculture (AG) District East – Commercial General (CG) District West – Agriculture District (AG)
<u>LAND USE PLAN:</u>	General Commercial Uses
<u>PUBLIC SERVICES:</u>	City of Edinburg Water and Sewer
<u>RECOMMENDATION:</u>	Staff recommends approval of the Rezoning Request from Agriculture (AG) District to Commercial General (CG) District.

**REZONING REQUEST
MELDEN & HUNT, INC.
MVP PARTNERSHIP**

EVALUATION

The following is staff's evaluation of the request.

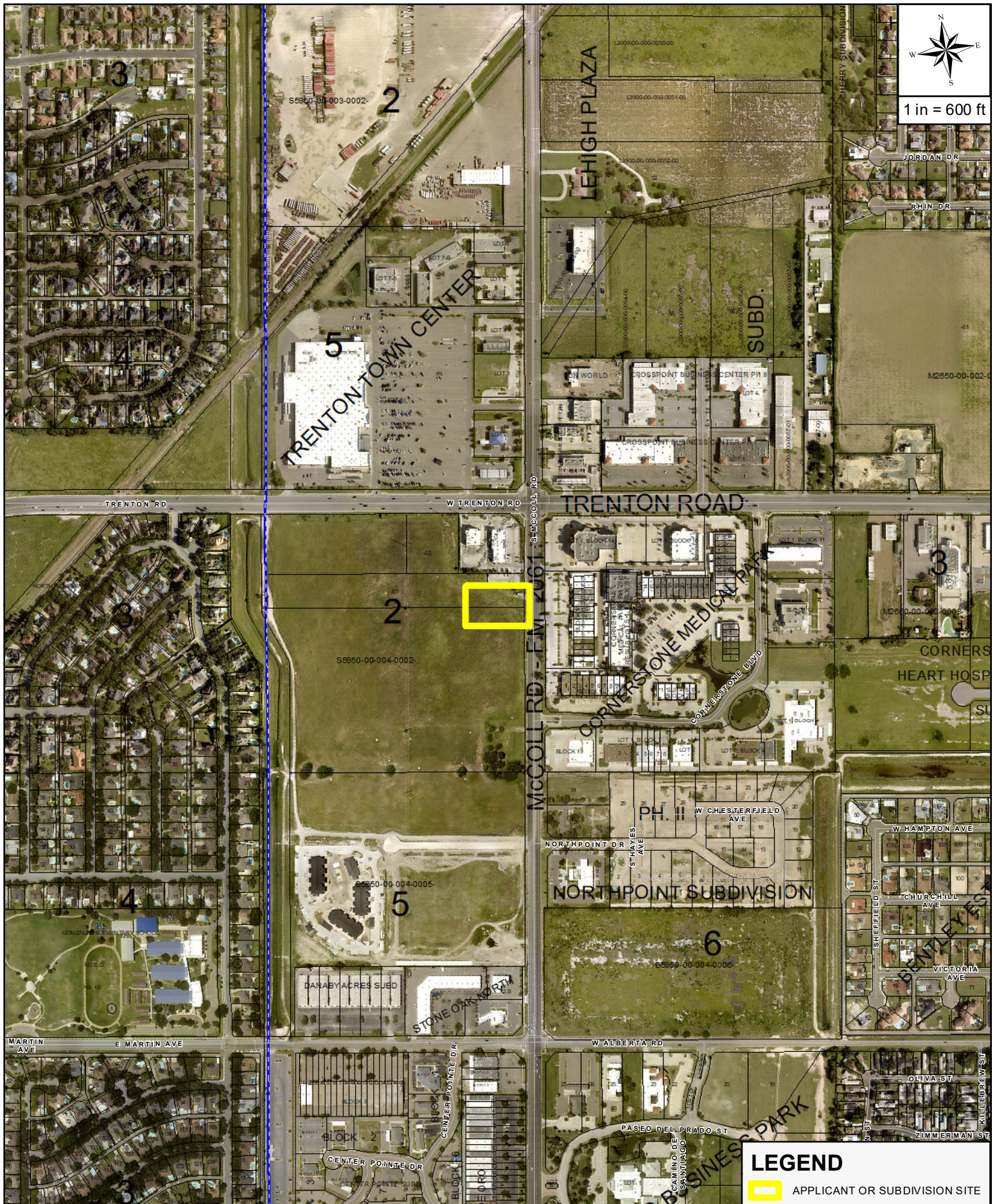
1. The land use pattern for this area consists of commercial uses concentrated on the arterial streets of West Trenton Road and South McColl Road
2. Commercial uses are common along West Trenton Road and on South McColl Road
3. Adjacent uses to the north and east are commercial uses.

Staff recommends approval of the Rezoning Request from Agriculture (AG) District to Commercial General (CG) District based on adjacent zoning and land uses. The intended use of a carwash is a heavy commercial use and is compatible with the existing surrounding land uses.

If approved, the applicant will need to comply with all requirements during the permitting process including compliance with subdivision regulations, building and fire codes, fire protection, parking, landscape buffer-yards, solid waste services, utility, and any other City requirements, as applicable.

Staff mailed a notice of the public hearing to 13 neighboring property owners on Friday, April 29, 2022, and had received no comments in favor or against this request at the time this report was prepared. Notice of this public hearing was published in the newspaper on May 18, 2022.

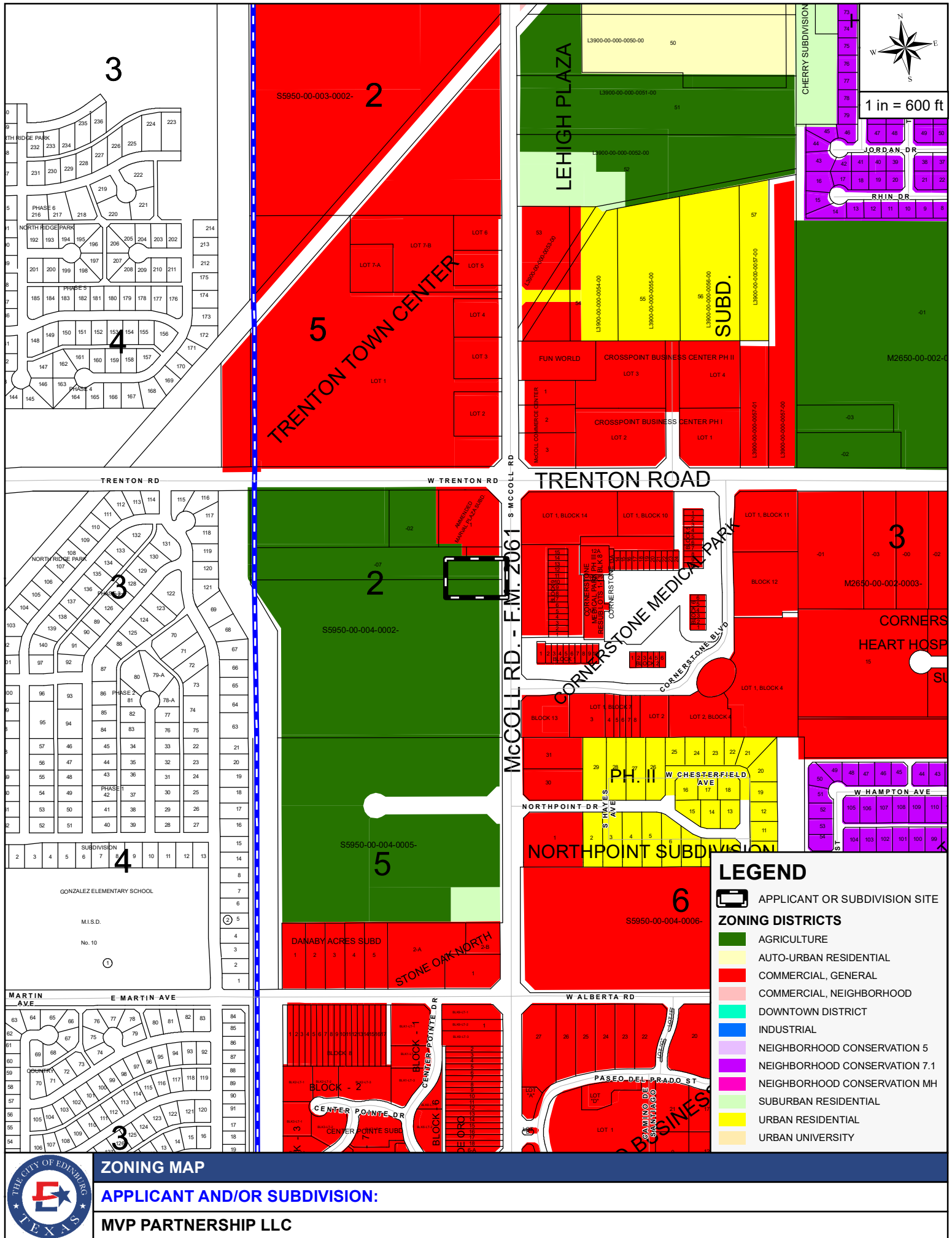
ATTACHMENTS: Aerial Photo
Zoning Map
Future Land Use Map
Mailout and Site Map
Application
Plat
Site Plan
Site Picture



AERIAL MAP

APPLICANT AND/OR SUBDIVISION:

MVP PARTNERSHIP LLC



3

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3














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LEGEND

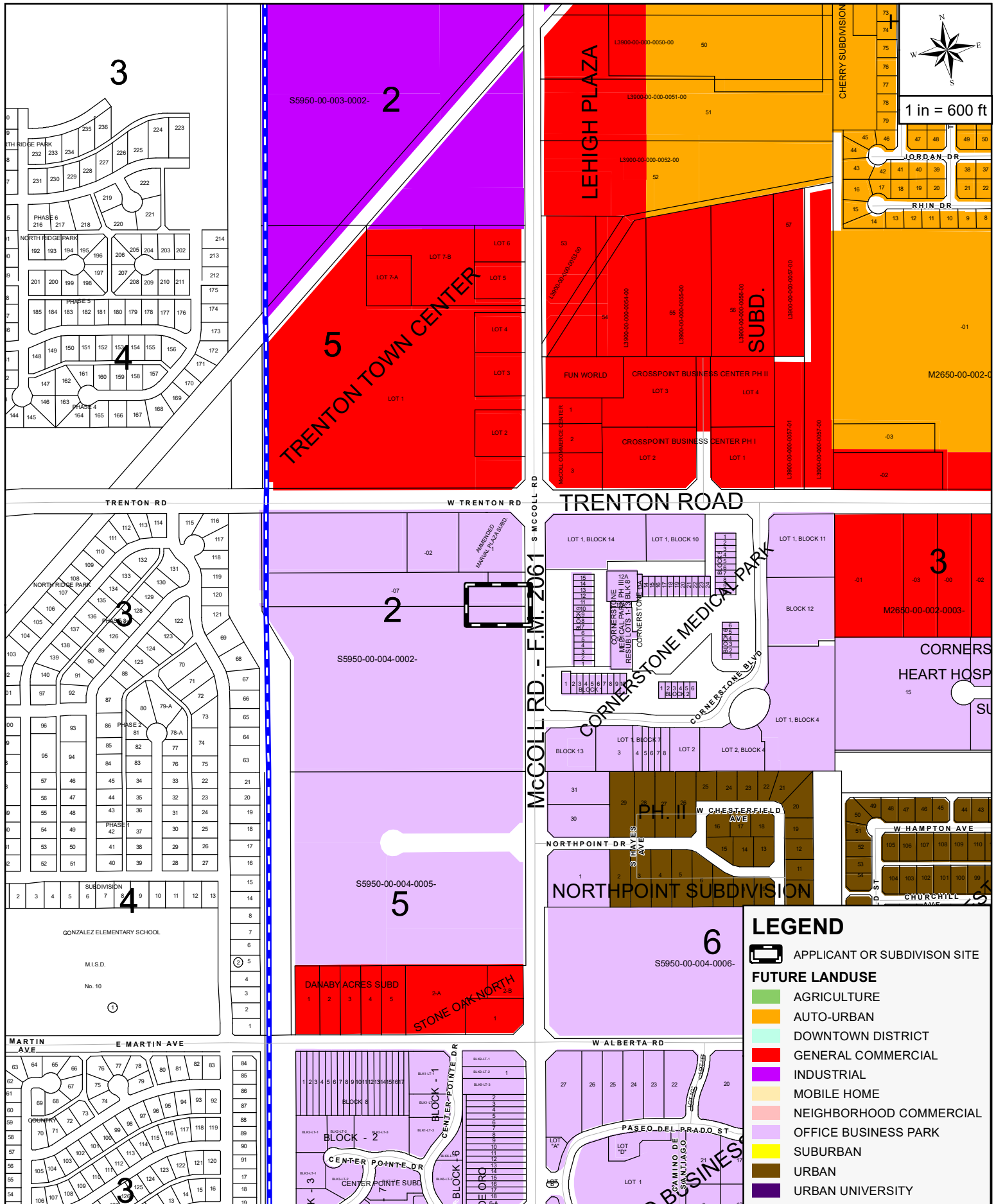
-  APPLICANT OR SUBDIVISION SITE
- ZONING DISTRICTS**
-  AGRICULTURE
-  AUTO-URBAN RESIDENTIAL
-  COMMERCIAL, GENERAL
-  COMMERCIAL, NEIGHBORHOOD
-  DOWNTOWN DISTRICT
-  INDUSTRIAL
-  NEIGHBORHOOD CONSERVATION 5
-  NEIGHBORHOOD CONSERVATION 7.1
-  NEIGHBORHOOD CONSERVATION MH
-  SUBURBAN RESIDENTIAL
-  URBAN RESIDENTIAL
-  URBAN UNIVERSITY

ZONING MAP

APPLICANT AND/OR SUBDIVISION:

MVP PARTNERSHIP LLC



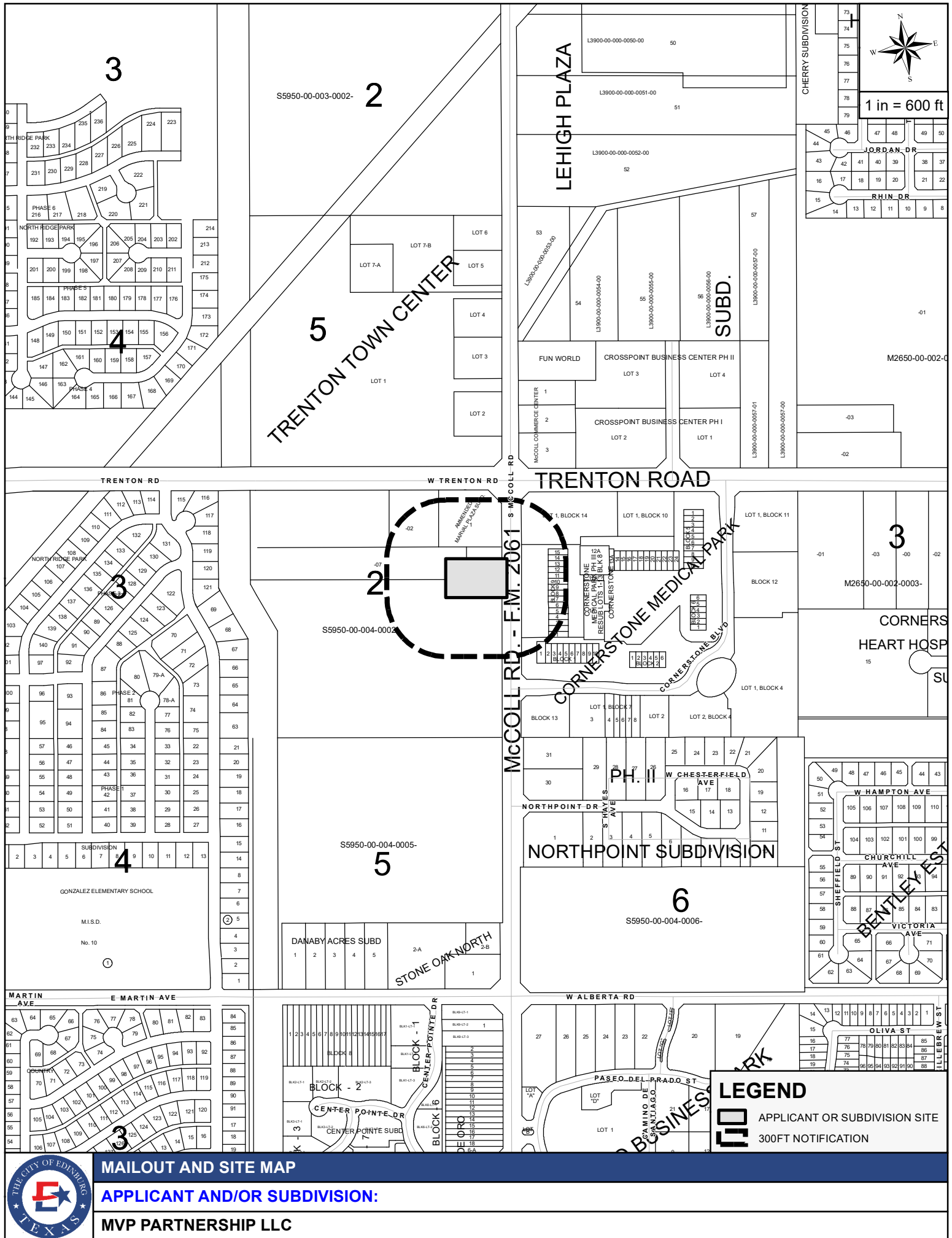


FUTURE LANDUSE MAP

APPLICANT AND/OR SUBDIVISION:

MVP PARTNERSHIP LLC





MAILOUT AND SITE MAP

APPLICANT AND/OR SUBDIVISION:

MVP PARTNERSHIP LLC





Case #

Edinburg THE CITY OF

Planning & Zoning Department
415 W. University Drive
Edinburg, Texas 78539
(956) 388-8202

Zone Change Application

1. Name: MVP Partnership LTD Phone No. (956) 381-0981
2. Mailing Address: 4311 N McColl Road
3. City: McAllen State: Texas Zip: 78504
4. Email Address: c/o mario@meldenandhunt.com Cell No. _____
5. Agent: Melden & Hunt, Inc. Phone No. (956) 381-0981
6. Agent's Mailing Address: 115 W. McIntyre Street
7. City: Edinburg State: Texas Zip: 78541
8. Email Address: mario@meldenandhunt.com
9. Address/Location being Rezoned: The 4500 Blk of South McColl Road
10. Legal Description of Property: _____ Property ID: 289994
1.402 Acres o/o Lot 2, Block 4 Steel and Pershing Subdivision
11. Zone Change: From: AG - Agriculture To: CG - Commerical General
12. Existing Land Use: Vacant
13. Reason for Zone Change: Proposing a Carwash

Mario A. Reyna

(Please Print Name)

[Signature]
Signature

RECEIVED

APR 11 2022

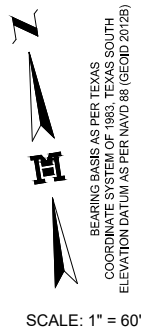
AMOUNT PAID \$ _____ RECEIPT NUMBER _____

Name: [Signature]

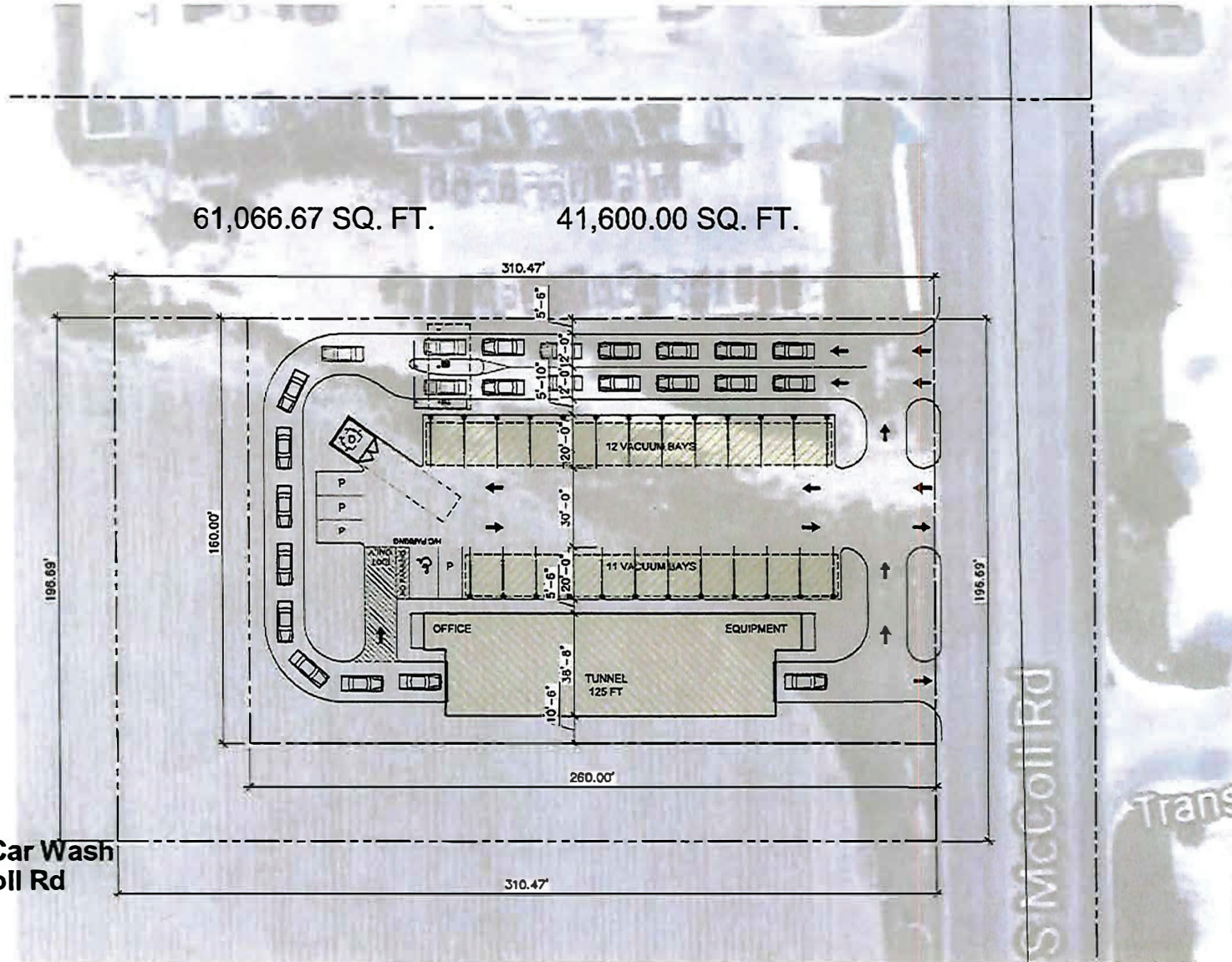
PUBLIC HEARING DATE (PLANNING & ZONING COMMISSION) – 4:00 PM: _____

PUBLIC HEARING DATE (CITY COUNCIL) – 6:00 PM: _____

(NOTE: BOTH MEETINGS ARE HELD AT THE EDINBURG CITY COUNCIL CHAMBERS)



1.402 ACRES OUT OF LOT 2, BLOCK 4, STEELE AND PERSHING SUBDIVISION
VOLUME 8, PAGE 115, H.C.D.R.,
CITY OF EDINBURG, HIDALGO COUNTY, TEXAS



ClearWater Express Car Wash
Trenton Rd and McColl Rd
Edinburg, TX. 78539

SITE PLAN 1.0

Disclaimer:
 This plan is only conceptual in nature and used to provide a general overview of the site. It is not to be used for engineering, permitting or any other purpose. This is not to be used for engineering, permitting or any other purpose.



February 9, 2022
 © COPYRIGHT A PLUS DESIGN GROUP 2022



Rezoning Request Site Photo

MVP FAMILY LIMITED PARTNERSHIP

4510 South McColl Road





City of Edinburg

PLANNING & ZONING COMMISSION

Regular Meeting: May 10, 2022

REZONING REQUEST

AGENDA ITEM 7E:

Consider the Initial Zoning Request to Auto-Urban Residential (AU) District, 38.786 acres out of Lot 15, Section 247, Texas-Mexican Railway Company's Survey, located 2300 North Cesar Chavez Road, as requested by Melden & Hunt, Inc., on behalf of Gomez Paving, LLC. [Planning & Zoning – Kimberly Mendoza, Director of Planning & Zoning]

DESCRIPTION / SCOPE:

The applicant is requesting the change of zone to develop a single family residential subdivision.

The property is located on the northeast corner of East Mile 17 ½ North Rd and North Cesar Chavez Road. The property is currently vacant. The applicant is requesting initial zoning for the property to be designated Auto-Urban Residential (AU) District. The requested zoning designation allows for single-family and multi-family residential uses on the subject property. A subdivision submitted under the name of Russell Oaks Estates Subdivision at this location was approved by the Planning & Zoning Commission on January 17, 2022.

The property is located within the extraterritorial jurisdiction (ETJ) and a petition for voluntary annexation is scheduled for consideration by the City Council on June 7, 2022. The area is currently outside the city limits and has no adjacent zoning. Nearest zoned areas inside the City Limits are Auto Urban (AU) District to the north, Neighborhood Conservation (NC5) District to the west, and Agriculture (AG) District to the south west. Land uses in the area are single-family residential and vacant land.

Staff received a Zone Change Application for the subject property on April 11, 2022. The applicant intends to develop a single family residential subdivision. Rezoning is needed to accommodate the proposed project.

Staff mailed a notice of the public hearing to 13 neighboring property owners on Friday, April 29, 2022, and had received no comments in favor or against this request at the time this report was prepared. Notice of this public hearing will be published in the newspaper on May 18, 2022.

ESTIMATED TIMELINE:

The recommendation of approval or denial of this public hearing is scheduled for consideration by the City Council on July 5, 2022. City Council's decision is the final step in the zoning process for this property. If denied the applicant may not request the proposed zoning classification for a 12 month period from the date of denial.

STAFF RECOMMENDATION:

Staff recommends approval of the Initial Zoning Request to Auto-Urban Residential (AU) District based on the surrounding land uses in the area.

If approved, the applicant will need to comply with all requirements during the permitting process including compliance with subdivision regulations, building and fire codes, fire protection, parking, landscape buffer-yards, solid waste services, utility, and any other City requirements, as applicable.

JUSTIFICATION:

Staff recommendation is based on surrounding land uses. A single family residential development is a permitted use in the requested zoning designation.

Jaime X. Ayala
Planner II

Kimberly A. Mendoza, MPA
Director of Planning & Zoning

MEETING DATES:
PLANNING & ZONING COMMISSION – 05/10/2022
CITY COUNCIL – 06/07/2022
DATE PREPARED – 05/02/2022

STAFF REPORT
GENERAL INFORMATION

APPLICATION: Initial Zoning Request to Auto Urban Residential (AU) District

APPLICANT: Gomez Paving LLC

AGENT: Salinas Engineering & Associates

LEGAL: Consider the Initial Zoning Request to Auto Urban Residential (AU) District of a 38.796 acre tract of land, more or less, consisting of all of Lot 15, Section 247, Texas Mexican Railway Company's Survey, located 2320 N Cesar Chavez Rd as requested by Melden & Hunt, Inc.

LOCATION: Located at 2320 N Cesar Chavez

LOT/TRACT SIZE: 38.796 acres

CURRENT USE: Vacant

PROPOSED USE: Single-family Residential

EXISTING ZONING: N/A

ADJACENT ZONING: North – N/A
South – N/A
East – N/A
West – N/A

LAND USE PLAN: Auto – Urban Uses

PUBLIC SERVICES: North Alamo Water & North Alamo Water Sewer

RECOMMENDATION: Staff recommends approval of the Initial Zoning Request to Auto Urban Residential (AU) District

INITIAL ZONING REQUEST GOMEZ PAVING LLC

EVALUATION

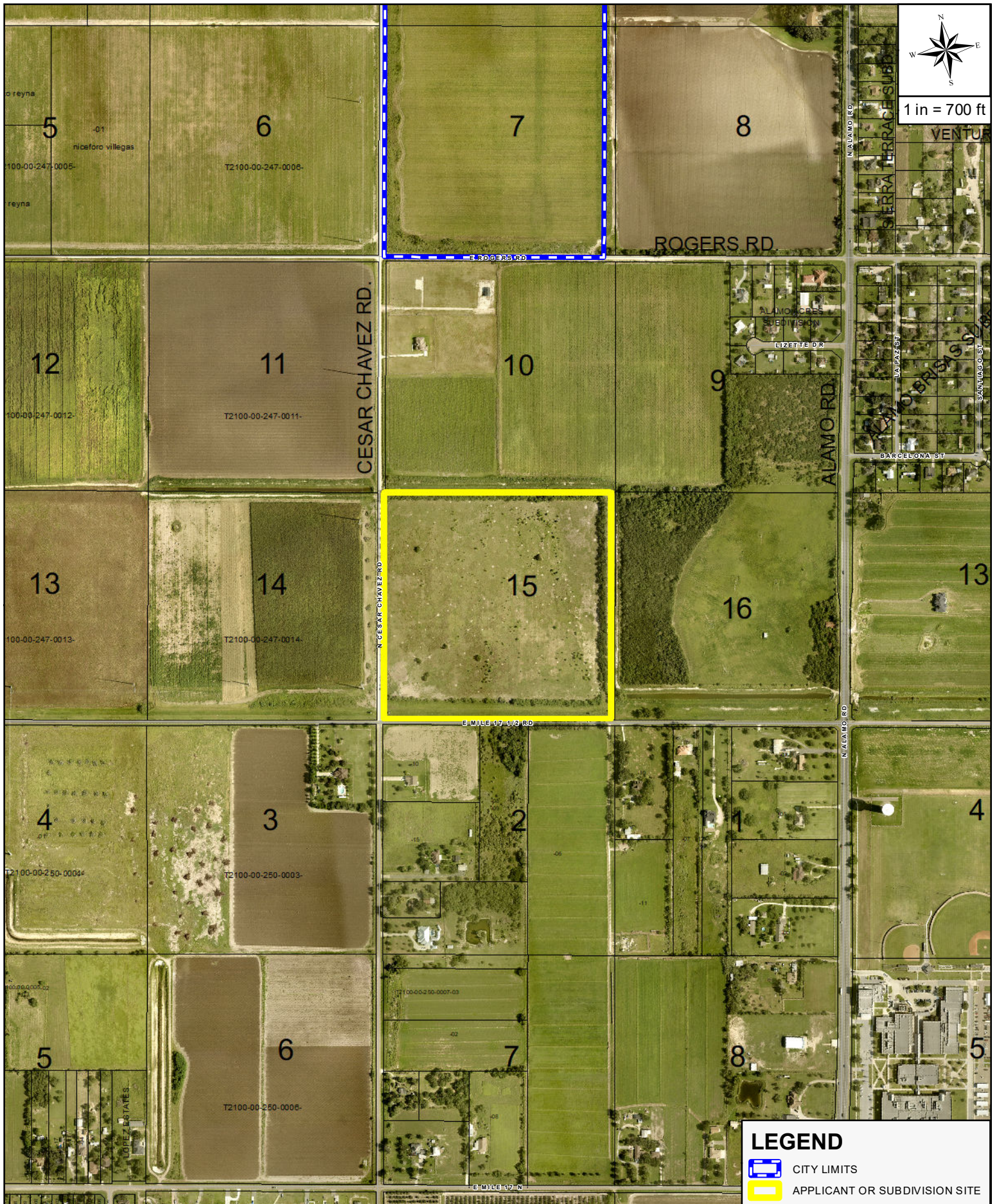
The following is staff's evaluation of the request.

1. The land use in the area mostly consist of low-density residential uses and vacant land.
2. Requested zoning is consistent with the proposed subdivision, existing uses in the area, and Future Land Use plan.

Staff recommends approval of the Initial Zoning Request to Auto Urban Residential (AU) District, based on surrounding land uses in the area and related subdivision proposed at this location. If approved, the applicant will need to comply with all requirements during the permitting process including compliance with subdivision regulations, building and fire codes, fire protection, parking, landscape buffer-yards, solid waste services, utility, and any other City requirements, as applicable.

Staff mailed a notice of the public hearing before to 33 neighboring property owners and received no comments in favor or against this request by the time this report was prepared.

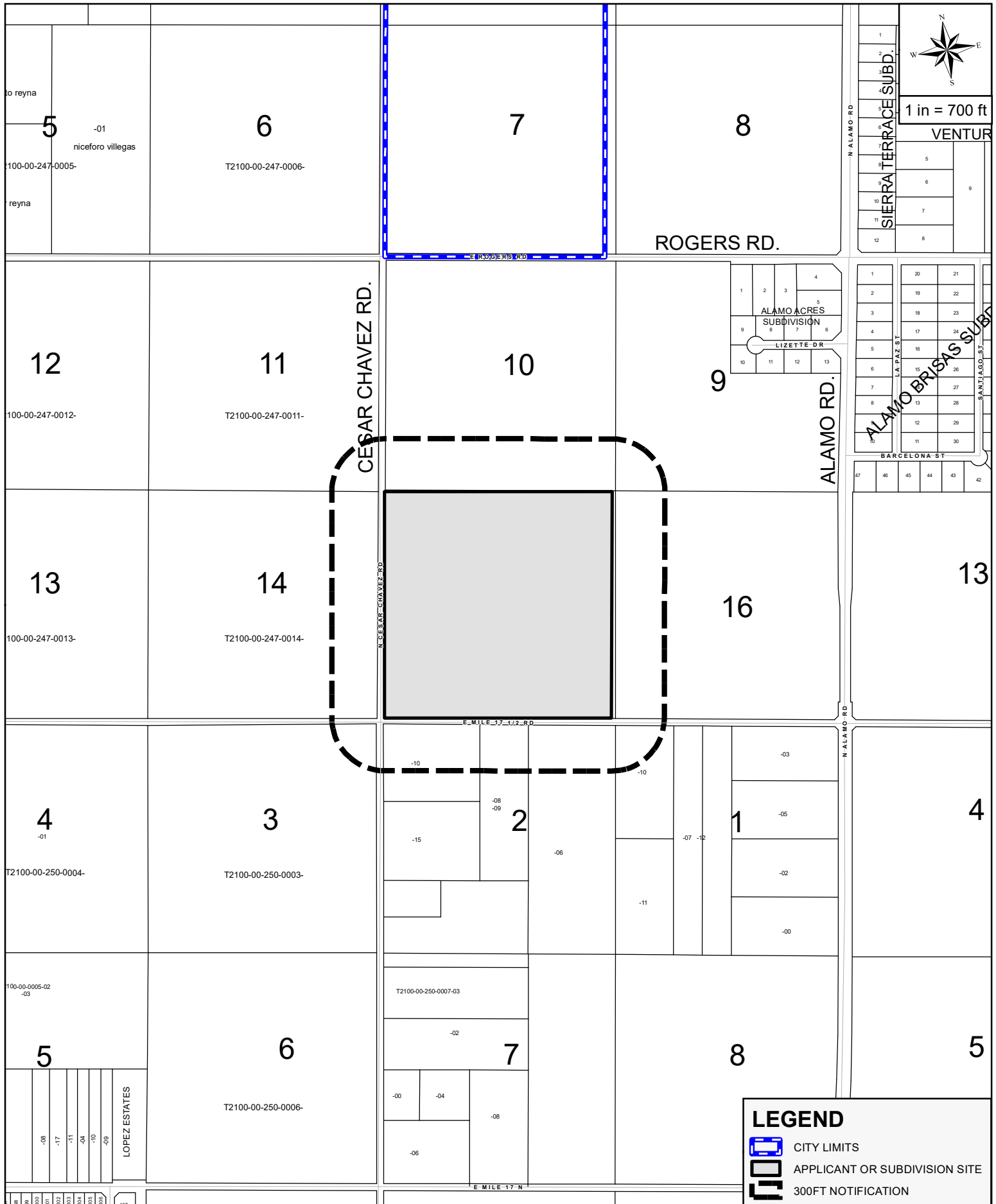
ATTACHMENTS: Aerial Map
Mailout and Site Map
Application
Plat
Survey
Site Picture



AERIAL MAP

APPLICANT AND/OR SUBDIVISION:

MELDEN & HUNT / GOMEZ PAVING LLC



LEGEND

- CITY LIMITS
- APPLICANT OR SUBDIVISION SITE
- 300FT NOTIFICATION



Case #

Edinburg
THE CITY OF

Planning & Zoning Department
415 W. University Drive
Edinburg, Texas 78539
(956) 388-8202

Zone Change Application

Date: April 11, 2022

1. Property Owner: Gomez Paving LLC 2. Phone: (956) 655-4669
3. Mailing Address: 3421 North Trosper
4. City: Mission State: Texas Zip: 78573
5. Email Address: mgomez@southtexaspaving.com 6. Cell No. (956) 655-4669
7. Agent: Melden & Hunt, Inc. 8. Agent's Phone: (956) 381-0981
9. Agent's Mailing Address: 115 W. McIntyre Street
10. City: Edinburg State: Texas Zip: 78541
11. Agent's Email: mario@meldenandhunt.com
12. Address/Location being Rezoned: Corner of N. Cesar Chavez and E Mile 17 1/2 Road
13. Legal Description of Property: 14. Property ID(s): 296005
- 38.796 acres o/o Lot 15, Section 247, Texas Mexican Railway Company's Survey

15. Zone Change: From: AG - Agriculture To: AU - Auto-Urban Residential

16. Existing Land Use: Vacant

17. Reason for Zone Change: Want to develop a single family -residential subdivision

Mario A. Reyna, P.E.
(Please Print Name)

[Signature]
Signature

RECEIVED

APR 11 2022

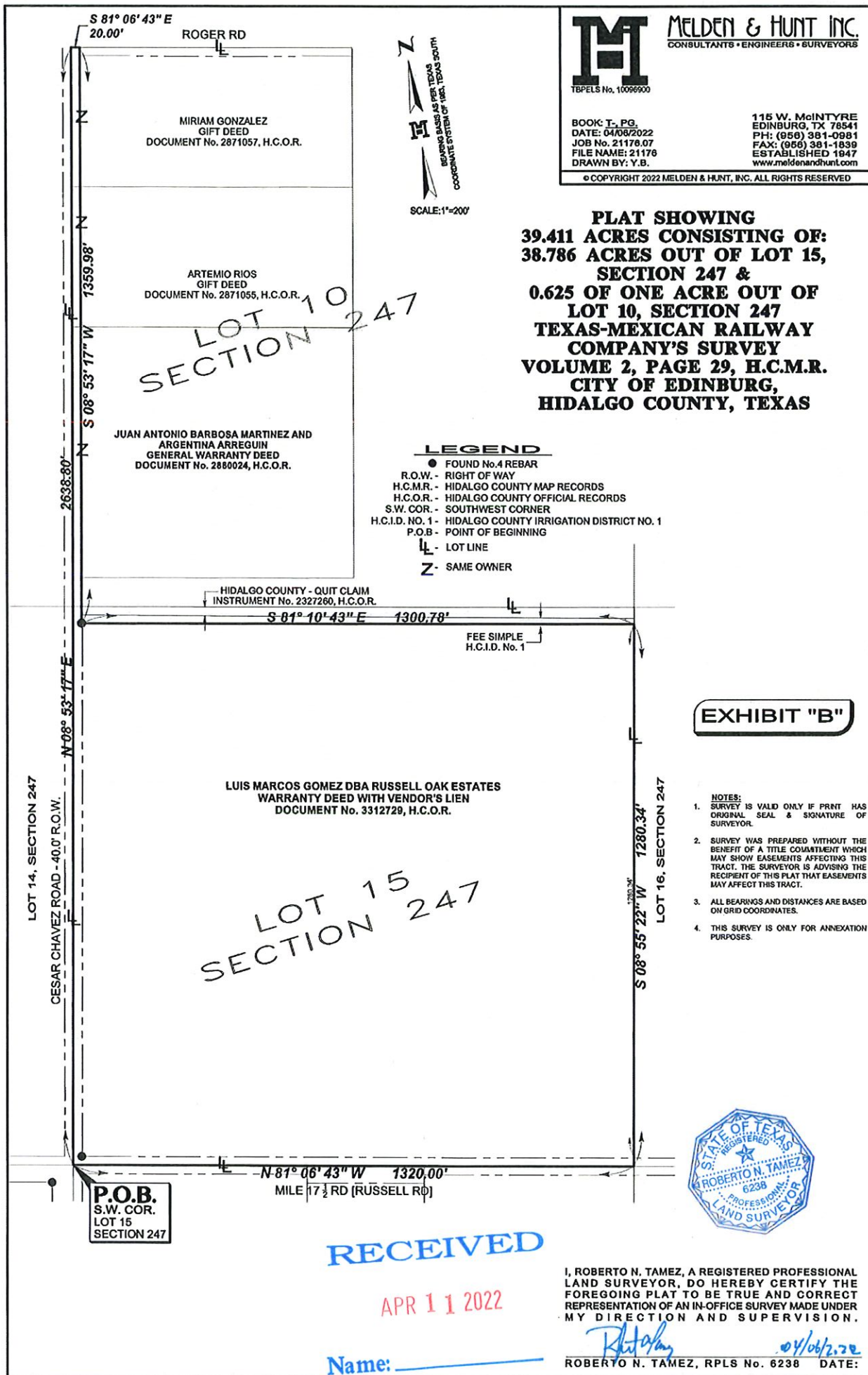
AMOUNT PAID \$ _____ RECEIPT NUMBER _____

Name: [Signature]

PUBLIC HEARING DATE (PLANNING & ZONING COMMISSION) – 4:00 PM: _____

PUBLIC HEARING DATE (CITY COUNCIL) – 6:00 PM: _____

(NOTE: BOTH MEETINGS ARE HELD AT THE EDINBURG CITY COUNCIL CHAMBERS)





Rezoning Request Site Photo

GOMEZ PAVING LLC

3200 North Cesar Chavez Road





City of Edinburg

PLANNING & ZONING COMMISSION

Regular Meeting: May 10, 2022

REZONING REQUEST

AGENDA ITEM 7G:

Consider the Rezoning Request from Commercial General (CG) District to Neighborhood Conservation 5 (NC5) District, 11.878 acres out of Lot 3, Section 275, Texas-Mexican Railway Company's Survey, located at 931 South McColl Road, as requested by Melden & Hunt, Inc., on behalf of Garman Investments, LP [Planning & Zoning – Kimberly Mendoza, Director of Planning & Zoning]

DESCRIPTION / SCOPE:

The property is located on the south side of West Sprague Street, approximately 340 ft. west of South McColl Road and is currently used for agriculture. The tract has 495.04 ft. of frontage along Sprague Street and 1,045.28 ft. of depth at its deepest point for a tract size of 11.878 acres. The requested zoning designation allows for single family and multi-family uses on the subject property. The applicant is requesting the change of zone to develop a single-family residential subdivision.

The property is currently zoned Commercial General (CG) District. The surrounding zoning is Neighborhood Conservation 7.1 (NC 7.1) District to the north, Commercial General (CG) District south and east, and Urban Residential (UR) District to the west. The surrounding land uses consist of single-family residential uses to the north, commercial uses to the south, and vacant land to the east and west. The future land use designation is for Auto Urban Uses.

This property was proposed for rezoning to Urban Residential (UR) District last year and considered by this Board at its regular meeting of September 14, 2021. The Board recommended for approval, as per staff recommendation. There was also some public opposition with regards to the multi-family residential uses proposed at the time. The rezoning was considered by City Council on October 5, 2021, and disapproved due to continued and intensified public opposition. The applicant submitted a new Zone Change Application on April 28, 2022, proposing a single-family development. Rezoning is required to accommodate the proposed project.

Staff mailed a notice of the public hearing before the Planning & Zoning Commission to 19 neighboring property owners on Friday, April 29, 2022 and received no comments in favor and one against this request by the time the report was prepared. Notice of this public hearing will be published in the newspaper on May 18, 2022.

ESTIMATED TIMELINE:

The recommendation of approval or denial of this public hearing is scheduled for consideration by the City Council on October 5, 2021. City Council's decision is the final step in the zoning process for this property. If denied the applicant may not request the proposed zoning classification for a 12 month period from the date of denial.

STAFF RECOMMENDATION:

Staff recommends approval of the Rezoning Request from Commercial General (CG) District to Neighborhood Conservation 5 (NC5) District based on adjacent zoning and land uses. This designation may be agreeable to the surrounding neighborhoods based on public feedback received last year. If approved, the applicant will need to comply with all requirements during the permitting process including compliance with subdivision regulations, building and fire codes, fire protection, parking, landscape buffer-yards, solid waste services, utility, and any other City requirements, as applicable.

JUSTIFICATION:

Staff recommends approval of the Rezoning Request from Commercial General (CG) District to Neighborhood Conservation 5 (NC5) District based on the adjacent zoning to the north and west. Single-family developments are permitted in the Neighborhood Conservation 5 (NC5) District.

D. Austin Colina
Planner I

Kimberly A. Mendoza
Director of Planning & Zoning

MEETING DATES:
PLANNING & ZONING COMMISSION – 05/10/2022
CITY COUNCIL – 06/07/2022
DATE PREPARED – 05/02/2022

STAFF REPORT
GENERAL INFORMATION

APPLICATION: Rezoning Request from Commercial General (CG) District to Neighborhood Conservation 5 (NC5) District

APPLICANT: Garman Investments, LP

AGENT: Melden & Hunt, Inc.

LEGAL: 11.878 acres out of Lot 3, Section 275, Texas-Mexican Railway Company's Survey

LOCATION: located at 2900 West Sprague Street

LOT/TRACT SIZE: 11.878 acres

CURRENT USE: Vacant

PROPOSED USE: Single-Family Residential Development

EXISTING ZONING: Commercial General (CG) District

ADJACENT ZONING: North – Neighborhood Conservation 7.1 (NC 7.1) District
South – Commercial General (CG) District
East – Commercial General (CG) District
West – Auto-Urban Residential (AU) District

LAND USE PLAN: Auto Urban Uses

PUBLIC SERVICES: City of Edinburg Water/ Sewer

RECOMMENDATION: Staff recommends approval of the Rezoning Request from Commercial General (CG) District to Neighborhood Conservation 5 (NC5) District

**REZONING REQUEST
GARMAN INVESTMENTS, LP
PAGE 3**

EVALUATION

The following is staff's evaluation of the request.

1. The land use pattern for this area of the community consists of single family residential uses, commercial uses and vacant land.
2. The applicant is requesting the change of zone to construct a single-family residential development.
3. Considerable public opposition was faced for a multifamily development proposed last year.

Staff recommends approval of the Rezoning Request from Commercial General (CG) District to Neighborhood Conservation 5 (NC5) District based on the adjacent zoning and land uses to the north and west. If approved, the applicant will need to comply with all requirements during the permitting process including compliance with subdivision regulations, building and fire codes, fire protection, parking, landscape buffer-yards, solid waste services, utility, and any other City requirements, as applicable.

Staff mailed a notice of the public hearing before the Planning & Zoning Commission to 19 neighboring property owners and received no comments in favor and one against this request at the time of the report.

ATTACHMENTS: Aerial Photo
Zoning Map
Future Land Use Map
Photo of site
Exhibits




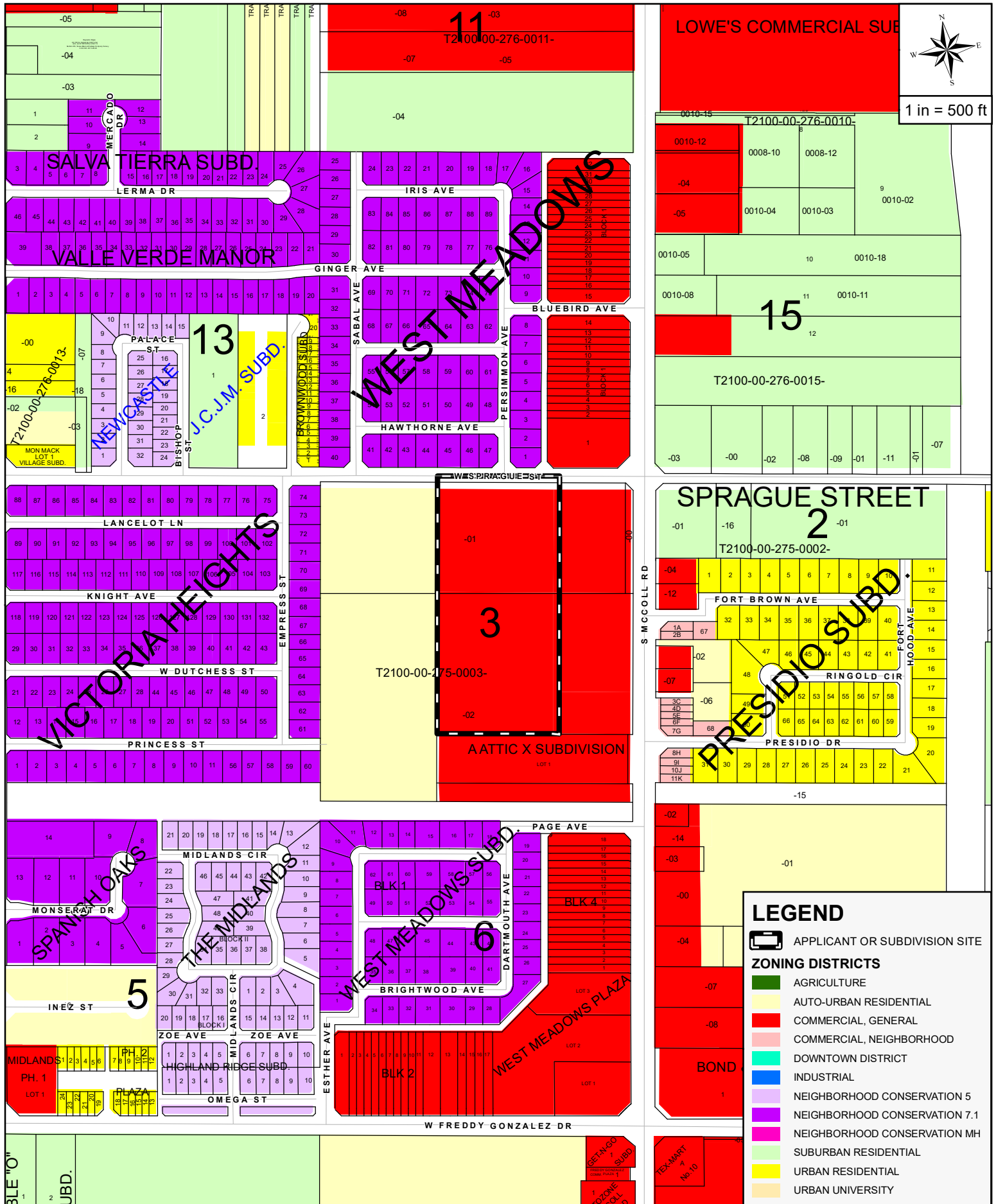
AERIAL MAP

APPLICANT AND/OR SUBDIVISION:

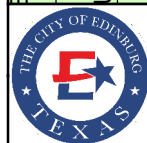
GARMAN INVESTMENTS LP

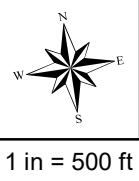
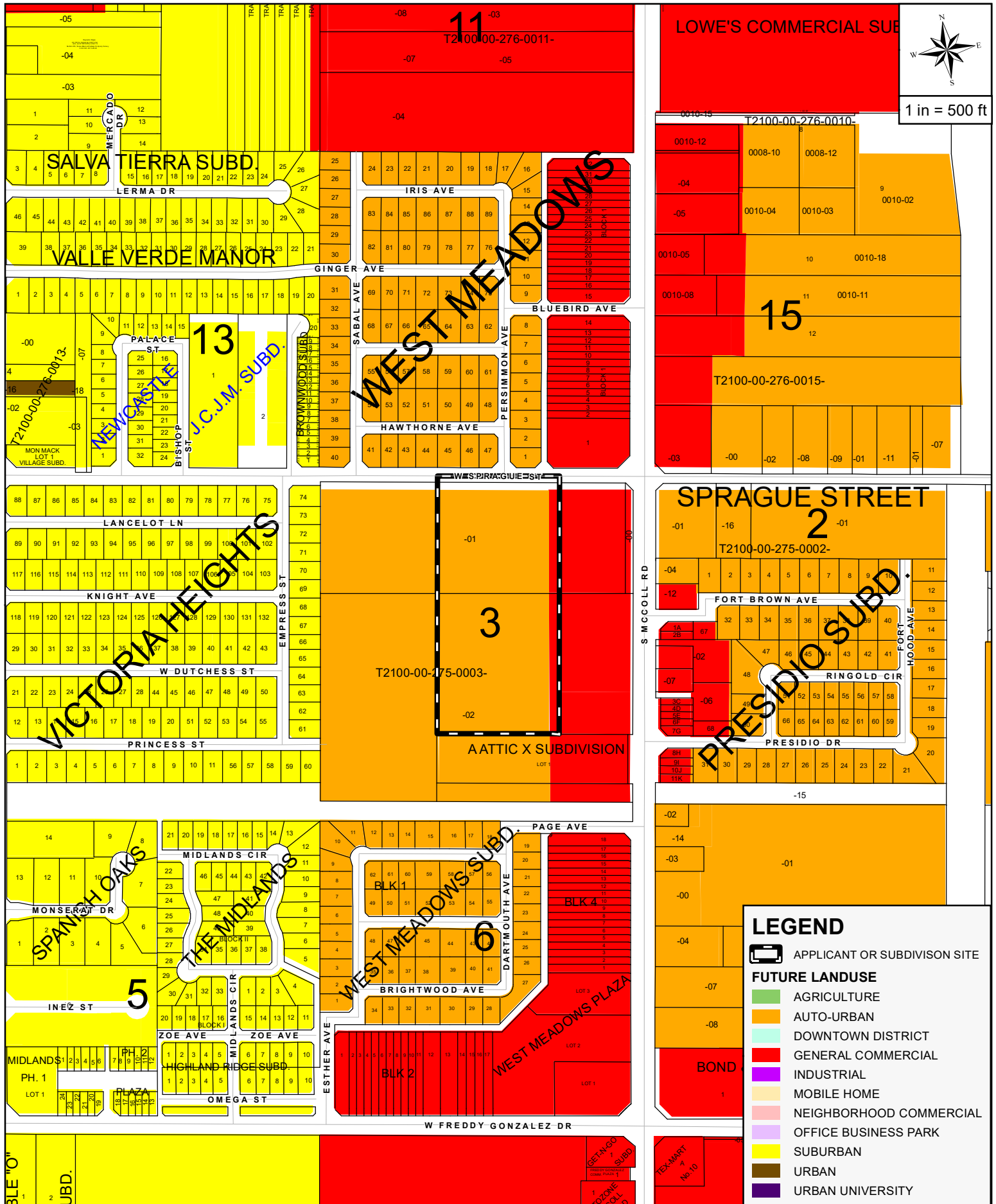
LEGEND

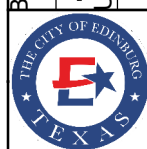
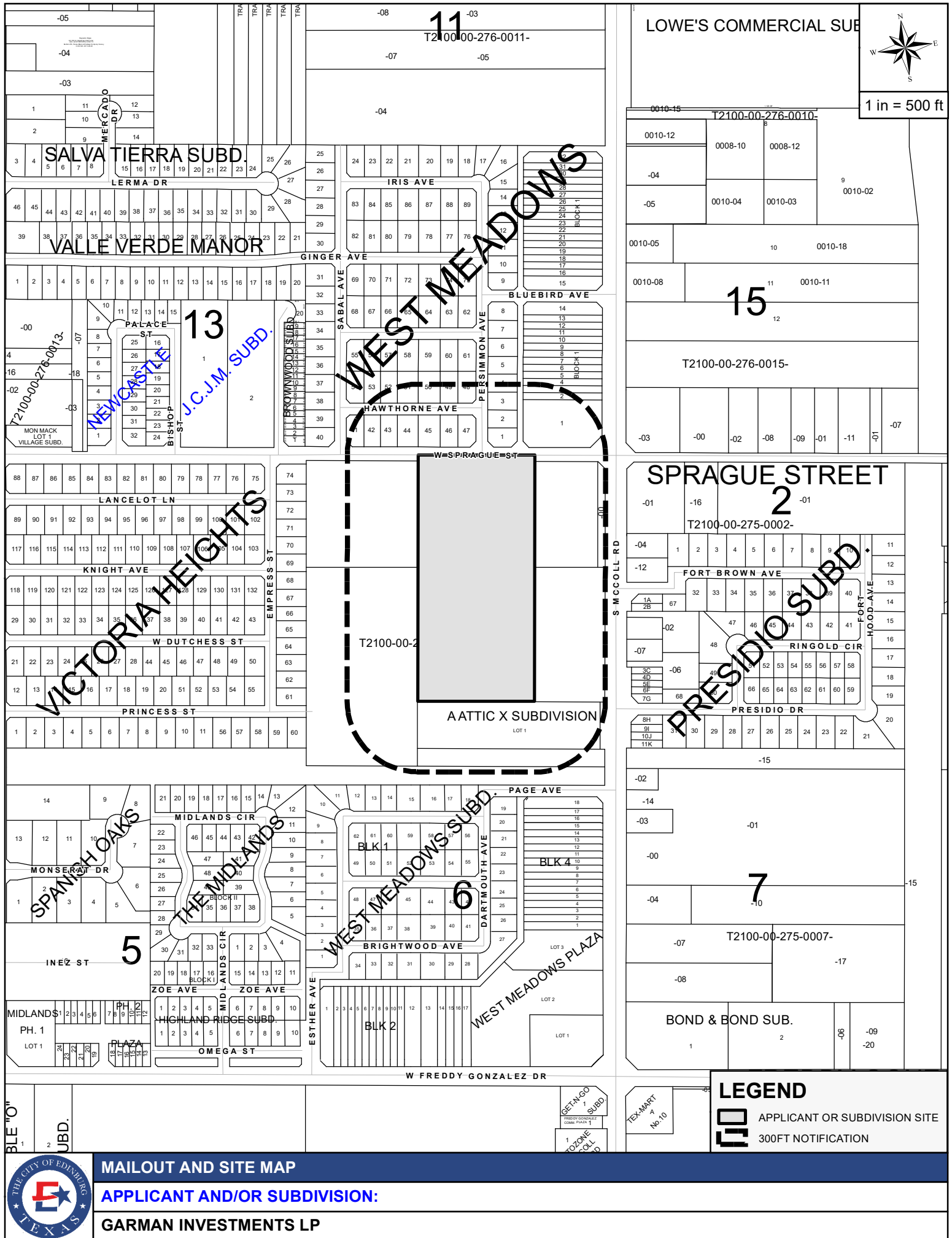
 APPLICANT OR SUBDIVISION SITE



AERIAL MAP
APPLICANT AND/OR SUBDIVISION:
GARMAN INVESTMENTS LP







MAILOUT AND SITE MAP

APPLICANT AND/OR SUBDIVISION:

GARMAN INVESTMENTS LP



Case #

Edinburg
THE CITY OF

Planning & Zoning Department
415 W. University Drive
Edinburg, Texas 78539
(956) 388-8202

Zone Change Application

1. Name: Garman Investments, LP Phone No. c/o (956) 381-0981
2. Mailing Address: 1804 North 23rd Street
3. City: McAllen State: Texas Zip: 78501
4. Email Address: robertog20@yahoo.com ireneuribe00@yahoo.com Cell No. (956) 492-5638
5. Agent: Melden & Hunt, Inc. Phone No. (956) 381-0981
6. Agent's Mailing Address: 115 West McIntyre Street
7. City: Edinburg State: Texas Zip: 78541
8. Email Address: ruben@meldenandhunt.com drobles@meldenandhunt.com
9. Address/Location being Rezoned: Corner of West Sprague Street and McColl Road
10. Legal Description of Property: Property ID: 297247 & 297248
26.79 acres +/- out of Lot 3, Block 275, Texas Mexican Railway Company's Survey Subdivision, as per
map or plat thereof recorded in Volume 24, Page 168-171, Deed records
11. Zone Change: From: CG - Commercial General To: UR - Urban Residential
12. Existing Land Use: Vacant
13. Reason for Zone Change: To develop the property for multi-family use (4-plex)
- Ruben James de Jesus, P.E., R.P.L.S.
(Please Print Name) Signature
- AMOUNT PAID \$ 400.00 RECEIPT NUMBER _____

PUBLIC HEARING DATE (PLANNING & ZONING COMMISSION) – 4:00 PM: September 14, 2021

PUBLIC HEARING DATE (CITY COUNCIL) – 6:00 PM: October 05, 2021

(NOTE: BOTH MEETINGS ARE HELD AT THE EDINBURG CITY COUNCIL CHAMBERS)

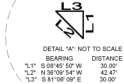
RECEIVED

AUG 16 2021

Name: B 4:22

PLAT SHOWING
11.878 ACRES OF LAND
OUT OF
LOT 3, SECTION 275
TEXAS-MEXICAN RAILWAY COMPANY'S SURVEY
VOLUME 24, PAGES 168-171, H.C.D.R.

SAVE AND EXCEPT



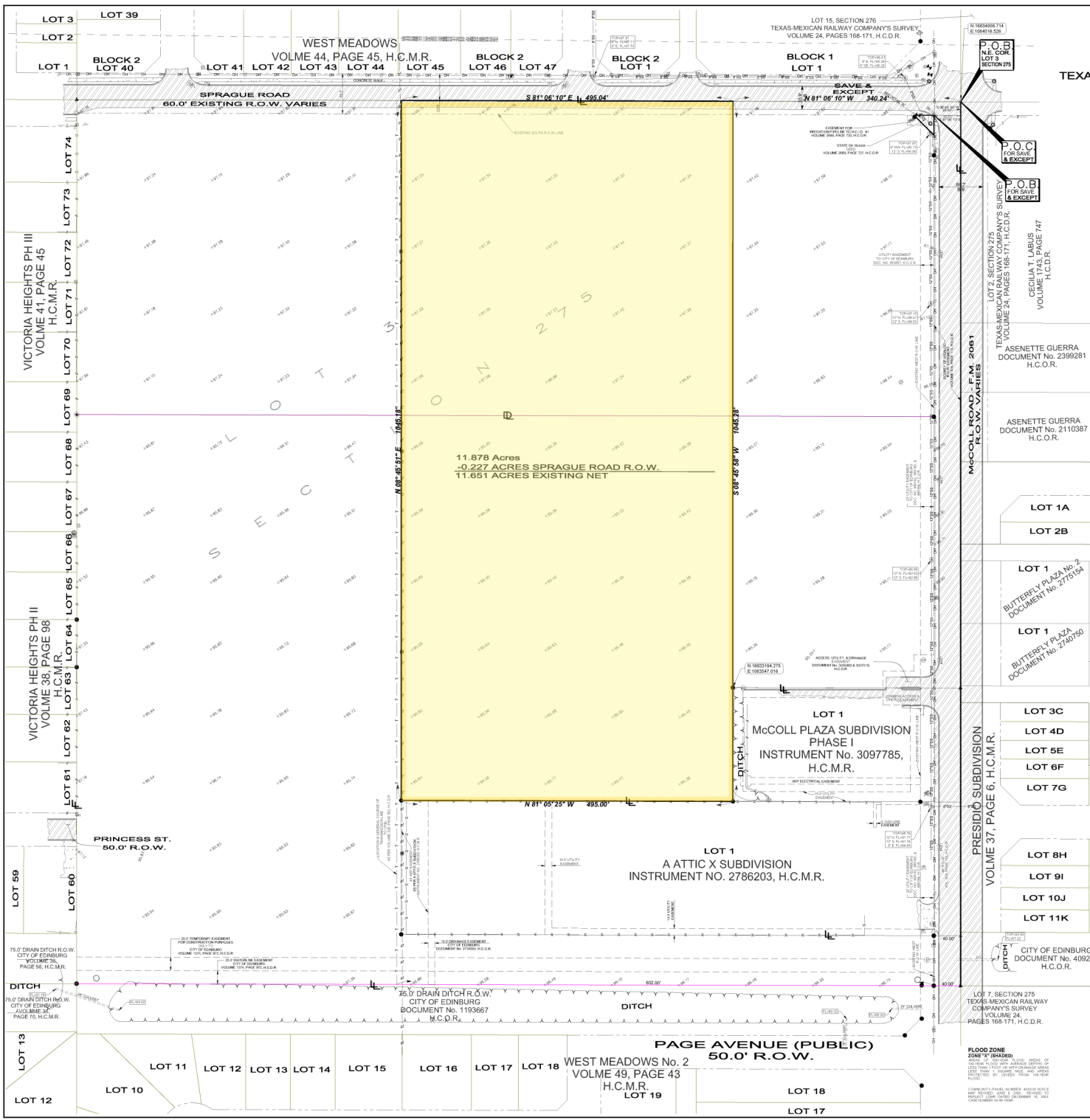
- LEGEND**
- FOUND NO 4 REBAR
 - FOUND COTTON PICKER SPICLE
 - FOUND PIPE
 - FOUND C-PIPE MARKER
 - SET IN A REBAR WITH PLASTIC CAP STAMPED MILLER & HUNT
 - POWER POLE
 - SERVICE POLE
 - ABANDONED SERVICE POLE
 - TRANSMISSION POLE
 - CABLE PEDESTAL
 - TELEPHONE PEDESTAL
 - TELEPHONE BOX
 - UNDERGROUND CABLE MARKER
 - SPINCE POSE SIGN
 - FLUSH VALVE
 - WATER VALVE
 - AT&T MANHOLE
 - SOUTHWESTER BELL MANHOLE
 - CLENDON
 - SANITARY SEWER MANHOLE
 - STORM SEWER MANHOLE
 - TYPE "W" ALLET
 - IRRIGATION BOX
 - IRRIGATION STAND PIPE
 - GAS MANHOLE
 - GAS SERVICE
 - TRAFFIC SIGNAL BOX
 - TRANSFORMER
 - ABANDONED ELECTRICAL METER
 - TRAFFIC LIGHT POLE
 - BLOCK FENCE
 - CHAIN LINK FENCE
 - WOOD FENCE
 - EDGE OF DITCH TOP
 - F-10 SANITARY SEWER LINE
 - 12" SANITARY SEWER LINE
 - TRANSMISSION LINE
 - OVERHEAD POWER LINE
 - ASPHALT AREA
 - CONCRETE AREA
 - FLOOD ZONE #1
 - H.C.M.B. - HDALGO COUNTY MAP RECORDS
 - H.C.D.R. - HDALGO COUNTY DEED RECORDS
 - H.C.O.R. - HDALGO COUNTY OFFICIAL RECORDS
 - R.O.W. - RIGHT OF WAY
 - A.A. - EDGE OF ASPHALT TO BACK OF CURB
 - B.B. - BACK OF CURB TO BACK OF CURB
 - P.O.B. - POINT OF BEGINNING
 - P.O.C. - POINT OF COMMENCEMENT
 - N.E. COR. - NORTHEAST CORNER
 - D.F. - DITCH LINE
 - D.E.D. - DEED LINE

- NOTES**
1. SURVEY IS VALID ONLY IF PRINT HAS ORIGINAL SEAL & SIGNATURE OF SURVEYOR.
 2. SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE COMMITMENT WHICH MAY SHOW ADDITIONAL EASEMENTS AFFECTING THIS TRACT. THE SURVEYOR IS ADVISING THE RECIPIENT OF THIS PLAT THAT ADDITIONAL EASEMENTS MAY AFFECT THIS TRACT.
 3. ALL BEARINGS AND DISTANCES ARE BASED ON GRID COORDINATES.
 4. SUBJECT TO AN EASEMENT GRANTED TO SOUTH TEXAS NATURAL GAS GATHERING COMPANY AS PER VOLUME 128, PAGE 320, H.C.D.R. SAID EASEMENT TO BE WITHIN LATERAL AREA BELONGING TO HDALGO COUNTY WATER CONTROL AND IMPROVEMENT DISTRICT NO. 1. SAID LATERAL AREA IS LOCATED ON THE NORTH SIDE OF SAID LOT 3, SECTION 275. SAID EASEMENT HAS NO EFFECT ON LOCATION OR WIDTH.
 5. WE CONTACTED HDALGO COUNTY IRRIGATION DISTRICT NO. 1 FOR ANY OF THESE EASEMENTS AND FEE SIMPLES, BUT NO RESPONSE.
 6. SUBJECT TO EASEMENTS CONVEYED TO THE CITY OF EDINBURG AS PER VOLUME 157A, PAGE 872, H.C.D.R. PLOTTED AND SHOWN HEREON.
 7. SUBJECT TO AN EASEMENT FOR IRRIGATION PRELIMINARY TO HDALGO COUNTY IRRIGATION DISTRICT NO. 1 AS PER VOLUME 288A, PAGE 726, H.C.D.R. PLOTTED AND SHOWN HEREON.
 8. SUBJECT TO A UTILITY EASEMENT CONVEYED TO CITY OF EDINBURG AS PER DOCUMENT NO. 85881, H.C.D.R. PLOTTED AND SHOWN HEREON.
 9. SUBJECT TO A TRANSMISSION LINE CONVEYED TO CENTRAL POWER AND LIGHT COMPANY AS PER VOLUME 320, PAGE 86, H.C.D.R. WIDTH OF EASEMENT IS NOT SPECIFIED. LOCATION OF TRANSMISSION LINE IS PLOTTED AND SHOWN HEREON.
 10. SUBJECT TO A 36" POST UTILITY EASEMENT TO CITY OF EDINBURG AS PER DOCUMENT NO. 858162, 858163, AND 858164, H.C.D.R. PLOTTED AND SHOWN HEREON.

I, FRED L. KURTH, A REGISTERED PROFESSIONAL LAND SURVEYOR, DO HEREBY CERTIFY THAT THE FOREGOING PLAT TO BE TRUE AND CORRECT REPRESENTATION OF A SURVEY MADE ON THE GROUND ON 8/8/21 UNDER MY DIRECTION AND SUPERVISION.

PRELIMINARY - NOT INTENDED FOR RECORDING PURPOSES
FRED L. KURTH, R.P.L.S. No. 4750 DATE:

JOB NO.	21151.02-08
DRAWING DATE	8/25/2021
DRAWN BY	J.C.B.
FILE NAME	21151.02.08REV
1:1132, PG. 3.49	
CONSULTANTS - ENGINEERS - SURVEYORS	
115 W. MAINTYRE - EDINBURG, TX 78541	
PH: (800) 381-0281 - FAX: (800) 381-1338	
ESTABLISHED 1947 - www.meldenandhunt.com	





Rezoning Request Site Photo

GARMAN INVESTMENTS, LP

2900 West Sprague Street



STAFF REPORT: LAS ENCINITAS PHASE III SUBDIVISION

Date Prepared: April 26, 2022
Planning and Zoning Meeting: May 10, 2022
Agenda Item: 8A Preliminary Plat

Subject: Consider the Preliminary Plat of **LAS ENCINITAS PHASE III SUBDIVISION**, being a 121.04 acre tract of Lots “R” and “Q”, Block 2, Santa Cruz Ranch Subdivision, Hidalgo County, Texas, located 5721 East Monte Cristo Road as requested by Quintanilla, Headley and Associates, Inc.

Location: The property is located on the south side of FM 2812 Road and the north side of Mile 20 North Road. The property is approximately 3,100 ft. east of Brushline Road and is within the City of Edinburg’s Extra Territorial Jurisdiction (ETJ), approximately 3.4 miles from the closest (northeast) boundary line.

Zoning: Non Applicable Property in the ETJ

Setbacks: Front: 25 ft., Side: 10 ft., and Rear: 15 ft.

Analysis: The Preliminary Plat is proposed as a residential development with a total of 188 lots that average from 1.00-acre (43,560) square feet to 3.9-acre (169,884) square feet.

Utilities: Water Distribution System will provided by North Alamo Water Supply Corporation and the with an O.S.S.F. Septic System with the County of Hidalgo. All utility improvements within the proposed subdivision that are not limited to water system, sewer system, curb & gutter, and fire hydrants will be installed by the developer in accordance with County Standards.

Recommendations:

City of Edinburg Planning & Zoning Department:

Staff recommends approval of the Preliminary Plat, subject to the compliance with the Unified Development Code, General Notes; on FEMA flood zone, zoning, setbacks, finish floor elevation, benchmark, drainage detention, parkland fees, limited access, SWP3 requirements, sidewalks, and other notes as required based on development.

City of Edinburg Engineering / Utilites Department:



Preliminary Phase Submittal comments for this subdivision are included in the packet. As per Engineering, the plat shall be Preliminarily Approved until all comments have been addressed by the project engineer.

City of Edinburg Fire Department:

The following are the preliminary phase submittal comments as noted by the Fire Department:

1. Provide street names to the City of Edinburg Engineering Department for approval.
2. Fire lane 15 ft. in width shall be painted in front of all fire hydrants.
3. Provide double face blue fire hydrant street marker on center on the street in front of the fire hydrant.
4. Fire hydrant shall be every 600 ft. for one and two family dwellings as per Section 507.5.1 of 2012 IFC.
5. All streets should be 32 ft. B-B paving section according to Table 8.204 of the Edinburg Unified Development Code.

City of Edinburg Storm Water:

The following are the preliminary phase submittal comments as noted by Storm Water:

1. **SW3P** (Stormwater Pollution Prevention Plan)
2. **NOI** (Notice of Intent, Per TCEQ)
3. **Large Construction Notice** (Per TCEQ Inventory)
4. **Detailed Erosion Control Plan** (Silt Fence, Construction Entrance, Inlet Protection, Concrete Washout)
5. **Detailed Post Construction BMP's Plan** (70% Vegetation or Silt Fence back of curb)
6. **Plat Note** (All construction shall comply with Stormwater Pollution Prevention Plan (SW3P) requirements. Erosion and Sedimentation Controls constructed in accordance with the Stormwater Ordinance 98.30 of the City of Edinburg are required for all construction on each lot including single family and duplex/multi-family construction)
7. **NOT** (Notice of Termination, Per TCEQ) will now be required before the final walk through.
8. **Comments:**
 - SW3P Plat note has been revised. Please see the note for your reference.
 - NOT will need to be submitted before the final walk through.
 - Stormwater is now requiring a Post Construction Plan on plans that are submitted, either 70% vegetation or Install Silt Fence behind the back of curb.
 - Silt Fence around the entire project.
 - Large Construction Notice needs to be submitted with contractors contact information.
 - All items must be submitted before the NTP is issued.
 - Please email pending items to rvalenzuela@cityofedinburg.com



City of Edinburg Solid Waste:

Single Family Residential Development within the City of Edinburg - ETJ.



ENGINEERING DEPARTMENT

Preliminary Staff Review

April 27, 2022

Alphonso Quintanilla, P.E.

Quintanilla, Headley and Associates Inc.
124 E. Stubbs St.
Edinburg, TX 78539
(956) 381-6480

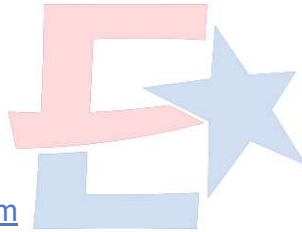
RE: LAS ENCENITAS SUBDIVISION PHASE 3 – PRELIMINARY REVIEW

Mr. Quintanilla,

Attached are the Preliminary Phase Submittal comments for Las Encenitas Subdivision Phase 3. Submittal is adequate as presented and recommended for preliminary approval.

Any questions feel free to contact us.

Thanks,



Peter Hermida E.I.T.

Email: phermida@cityofedinburg.com

415 W. University Drive
Edinburg, Texas 78539

Cc: Mardoqueo Hinojosa, P.E., CFM, City Engineer, Patrizia Longoria, Engineer III, Roberto Hernandez, Engineer I, Abel Beltran, Planner I, Vince Romero, Director of Public Works, Robert Valenzuela, Storm Water Specialist, Kimberly Mendoza, Director of Planning and Zoning, Rita Lee Guerrero, Planner I, Jaime Xavier Ayala, Planner II, Gerardo Carmona P.E., Director of Utilities, Jose Flores, Systems Superintendent, Omar Garza, Fire Marshal, Ramiro Gomez, Director of Solid Waste

REFERENCES:

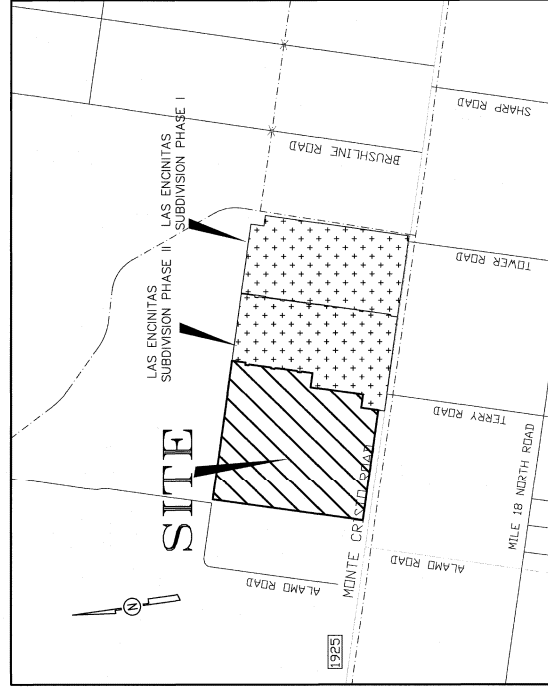
City of Edinburg – 2014 Standard Manual – Construction and Development Requirements; Unified Development Code; and if required a TX-Dot Permitting UIR permitting process.

LAS ENCINITAS SUBDIVISION PHASE III

WATERLINE, PAVING & DRAINAGE SYSTEMS CONSTRUCTION SET

Coordinate with Planning in regards to an existing Reimbursement Agreement from Public Use Policies

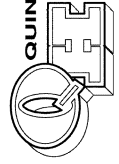
LOCATION MAP SCALE 1:2000



Antonio Quintanilla P.E.
ANTONIO QUINTANILLA
P.E. No. 95534
4-6-22 DATE

INDEX

- 1.- COVER SHEET
- 2-4.- PLAT
- 5.- EXISTING UTILITIES & TOPOGRAPHY
- 6 & 7.- WATER DISTRIBUTION SYSTEM
- 8.- PAVING AND DRAINAGE LAYOUT
- 9.- DRAINAGE LAYOUT(COMMERCIAL)
- 10.- DRAINAGE AREAS
- 11. PAVING AND DRAINAGE DETAILS
- 12. IRRIGATION LAYOUT
- 13-18.- PLAN AND PROFILE
- 19.- EROSION CONTROL PLAN
- 20-21.- EROSION CONTROL PLAN DETAILS
- 22.- STREET LIGHT LAYOUT
- 23.- N.A.W.S.C. DETAILS
- 22-27.- CITY OF EDINBURG DETAILS



QUINTANILLA, HEADLEY AND ASSOCIATES, INC.

CONSULTING ENGINEERS
124 E. STUBBS ST.
EDINBURG, TEXAS 78539
REGISTRATION NUMBER F-1513
SURVEYING REGISTRATION NUMBER 100411-00

LAND SURVEYORS
PHONE 956-381-6480
FAX 956-381-0527

SCALE 1" = 100'

Provide road centerlines for proposed all roads

LOT	AREA (SQ. FT.)	AREA (AC.)
237-258	21780.00	0.500
259	21842.28	0.501
260	21860.00	0.501
261-266	21780.00	0.500
267-268	21860.00	0.501
269-275	21780.00	0.500
276-277	21860.00	0.501
278-284	21780.00	0.500
285-286	21860.00	0.501
287-292	21780.00	0.500
293-294	21860.00	0.501
295-300	21780.00	0.500
301-302	21860.00	0.501
303-309	21780.00	0.500
310-311	21860.00	0.501
312-318	21780.00	0.500
319-320	21860.00	0.501
321-326	21780.00	0.500
327-328	21860.00	0.501
329-334	21780.00	0.500
335-336	21860.00	0.501
337-343	21780.00	0.500
344	21860.00	0.501
345-350	21780.00	0.500
351-352	21860.00	0.501
353-358	21780.00	0.500
359-360	21860.00	0.501
361-369	21780.00	0.500
370-378	21860.00	0.501
379-380	21780.00	0.500
381-382	21860.00	0.501
383-388	21780.00	0.500
389	21860.00	0.501
390	21868.71	0.502
391	21881.18	0.502
392	21893.33	0.503
393	21905.50	0.504
394	21917.67	0.505
395	22019.84	0.506
396	22022.01	0.506
397	22104.18	0.507
398	22146.35	0.508
399	22188.52	0.509
400	22230.69	0.510
401	22272.86	0.511
402	22315.03	0.512
403	22357.20	0.513
404	22400.00	0.514
405	22442.17	0.515
406-411	21840.00	0.501
412-413	21815.87	0.503
414-419	21840.00	0.501
420-424	27500.00	0.632
425	26300.00	0.604
426	42571.90	0.977
427-436	27500.00	0.632
437	27547.88	0.635

LEGEND
● EXISTING
○ TRANSMISSION POLE WITH CONCRETE BASE

Update legend to include SET and FOUND rods

LOT	BEARING	LENGTH
L1	N 36°24' W	70.71'
L2	S 53°36' W	70.71'
L3	N 36°24' W	21.21'
L4	N 53°36' E	21.21'
L5	S 53°36' W	21.21'
L6	S 36°24' E	21.21'

LAS ENCINITAS SUBDIVISION PHASE III

A 121.04 ACRE TRACT OF LAND OUT OF LOTS "R" AND "Q", BLOCK 2, SANTA CRUZ RANCH SUBDIVISION, HIDALGO COUNTY, TEXAS, ACCORDING TO THE PLAT OF MAP THEREOF RECORDED IN VOLUME "2", PAGES 160-161, DEED RECORDS HIDALGO COUNTY, TEXAS, AND ACCORDING TO DEED WITHOUT WARRANTY RECORDED UNDER COUNTY CLERK'S DOCUMENT NUMBER 1355500, OFFICIAL RECORDS, HIDALGO COUNTY, TEXAS.

STATE OF TEXAS
COUNTY OF HIDALGO

I, THE UNDERSIGNED, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECT, AND WAS MADE AND PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY DONE ON THE GROUND UNDER MY SUPERVISION.



ALFONSO QUINTANILLA
R.L.S. No. 4658

DECEMBER 15, 2021

DATE

STATE OF TEXAS
COUNTY OF HIDALGO

I, THE UNDERSIGNED, A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THE PROPER ENGINEERING CONSIDERATIONS HAVE BEEN GIVEN TO THIS PLAT.



ALFONSO QUINTANILLA
P.E. No. 95534

4-6-22

DATE



QUINTANILLA, HEADLEY AND ASSOCIATES, INC.
CONSULTING ENGINEERS
124 E. STURDIVANT ST.
EDINBURG, TEXAS 78539
REGISTRATION NUMBER F-1913
SURVEYING REGISTRATION NUMBER 100411-00

LAND SURVEYORS
PHONE 936-381-4440
FAX 936-381-0527
ALFONSO@QHA-ENG.COM



FILED FOR RECORD IN
HIDALGO COUNTY
ARTURO GUJARDO, JR.
HIDALGO COUNTY CLERK

ON _____ AT _____ AM/PM
INSTRUMENT NUMBER _____
OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS

BY: _____ DEPUTY

SHEET 3

200 LOTS DATE OF PREPARATION: JAN. 12, 2022

SHEET No. 2
OF 5 SHEETS

FILENAME	F:\DATA\SUBDIVISIONS\HIDALGO CO\LAS ENCINITAS SUBDIVISION PH III\PLAT
DATE PREPARED	12-15-2022
PREPARED BY	LG
CHECKED BY	
APPROVED BY	
DATE REVISED	
REVISED BY	
CHECKED BY	
APPROVED BY	

LOT	AREA (S.F.)	AREA (AC.)
237-238	21780.00	0.500
239	21842.29	0.501
240	21860.00	0.501
241-242	21780.00	0.500
243-244	21860.00	0.501
245-246	21780.00	0.500
247-248	21860.00	0.501
249-250	21780.00	0.500
251-252	21860.00	0.501
253-254	21780.00	0.500
255-256	21860.00	0.501
257-258	21780.00	0.500
259-260	21860.00	0.501
261-262	21780.00	0.500
263-264	21860.00	0.501
265-266	21780.00	0.500
267-268	21860.00	0.501
269-270	21780.00	0.500
271-272	21860.00	0.501
273-274	21780.00	0.500
275-276	21860.00	0.501
277-278	21780.00	0.500
279-280	21860.00	0.501
281-282	21780.00	0.500
283-284	21860.00	0.501
285-286	21780.00	0.500
287-288	21860.00	0.501
289-290	21780.00	0.500
291-292	21860.00	0.501
293-294	21780.00	0.500
295-296	21860.00	0.501
297-298	21780.00	0.500
299-300	21860.00	0.501
301-302	21780.00	0.500
303-304	21860.00	0.501
305-306	21780.00	0.500
307-308	21860.00	0.501
309-310	21780.00	0.500
311-312	21860.00	0.501
313-314	21780.00	0.500
315-316	21860.00	0.501
317-318	21780.00	0.500
319-320	21860.00	0.501
321-322	21780.00	0.500
323-324	21860.00	0.501
325-326	21780.00	0.500
327-328	21860.00	0.501
329-330	21780.00	0.500
331-332	21860.00	0.501
333-334	21780.00	0.500
335-336	21860.00	0.501
337-338	21780.00	0.500
339-340	21860.00	0.501
341-342	21780.00	0.500
343-344	21860.00	0.501
345-346	21780.00	0.500
347-348	21860.00	0.501
349-350	21780.00	0.500
351-352	21860.00	0.501
353-354	21780.00	0.500
355-356	21860.00	0.501
357-358	21780.00	0.500
359-360	21860.00	0.501
361-362	21780.00	0.500
363-364	21860.00	0.501
365-366	21780.00	0.500
367-368	21860.00	0.501
369-370	21780.00	0.500
371-372	21860.00	0.501
373-374	21780.00	0.500
375-376	21860.00	0.501
377-378	21780.00	0.500
379-380	21860.00	0.501
381-382	21780.00	0.500
383-384	21860.00	0.501
385-386	21780.00	0.500
387-388	21860.00	0.501
389-390	21780.00	0.500
391-392	21860.00	0.501
393-394	21780.00	0.500
395-396	21860.00	0.501
397-398	21780.00	0.500
399-400	21860.00	0.501
401-402	21780.00	0.500
403-404	21860.00	0.501
405-406	21780.00	0.500
407-408	21860.00	0.501
409-410	21780.00	0.500
411-412	21860.00	0.501
413-414	21780.00	0.500
415-416	21860.00	0.501
417-418	21780.00	0.500
419-420	21860.00	0.501
421-422	21780.00	0.500
423-424	21860.00	0.501
425-426	21780.00	0.500
427-428	21860.00	0.501
429-430	21780.00	0.500
431-432	21860.00	0.501
433-434	21780.00	0.500
435-436	21860.00	0.501
437-438	21780.00	0.500
439-440	21860.00	0.501
441-442	21780.00	0.500
443-444	21860.00	0.501
445-446	21780.00	0.500
447-448	21860.00	0.501
449-450	21780.00	0.500
451-452	21860.00	0.501
453-454	21780.00	0.500
455-456	21860.00	0.501
457-458	21780.00	0.500
459-460	21860.00	0.501
461-462	21780.00	0.500
463-464	21860.00	0.501
465-466	21780.00	0.500
467-468	21860.00	0.501
469-470	21780.00	0.500
471-472	21860.00	0.501
473-474	21780.00	0.500
475-476	21860.00	0.501
477-478	21780.00	0.500
479-480	21860.00	0.501
481-482	21780.00	0.500
483-484	21860.00	0.501
485-486	21780.00	0.500
487-488	21860.00	0.501
489-490	21780.00	0.500
491-492	21860.00	0.501
493-494	21780.00	0.500
495-496	21860.00	0.501
497-498	21780.00	0.500
499-500	21860.00	0.501

Provide road centerlines for proposed all roads

Contact county 911 Department for road names

Centerline bearing is different from boundary line bearing, and must be noted

Provide a stub out to west

Provide a stub out to the west

This lot is not shown on the plat layout, this lot is 2017

Update legend to include SET and FOUND rods

LEGEND

EXISTING TRANSMISSION POLE WITH CONCRETE BASE

CURVE	DATA	BEARING	LENGTH	CHORD
1	100.00'	90.00'	50.00'	70.71'

LOT	BEARING	LENGTH
1	N 36°24' W	70.71'
2	S 53°36' W	70.71'
3	N 36°24' W	21.21'
4	S 53°36' W	21.21'
5	S 36°24' E	21.21'
6	S 36°24' E	21.21'

LAS ENCINITAS SUBDIVISION PHASE III

A 121.04 ACRE TRACT OF LAND OUT OF LOTS "R" AND "Q", BLOCK 2, SANTA CRUZ RANCH SUBDIVISION, HIDALGO COUNTY, TEXAS, ACCORDING TO THE PLAT OF MAP THEREOF RECORDED IN VOLUME "72", PAGES 160-161, DEED RECORDS HIDALGO COUNTY, TEXAS, AND ACCORDING TO DEED WITHOUT WARRANTY RECORDED UNDER COUNTY CLERK'S DOCUMENT NUMBER 1355500, OFFICIAL RECORDS, HIDALGO COUNTY, TEXAS.

STATE OF TEXAS
COUNTY OF HIDALGO

I, THE UNDERSIGNED, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECT, AND WAS MADE AND PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY DONE BY ME OR UNDER MY SUPERVISION.



ALFONSO QUINTANILLA
R.P.L.S. No. 4856

DECEMBER 15, 2021

DATE

STATE OF TEXAS
COUNTY OF HIDALGO

I, THE UNDERSIGNED, A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THE PROPER ENGINEERING CONSIDERATIONS HAVE BEEN GIVEN TO THIS PLAT.



ALFONSO QUINTANILLA
P.E. No. 85534

DATE



QUINTANILLA, HEADLEY AND ASSOCIATES, INC.
CONSULTING ENGINEERS
LAND SURVEYORS
124 E. STUBBS ST.
EDINBURG, TEXAS 78539
REGISTRATION NUMBER F-1513
SURVEYING REGISTRATION NUMBER 100411-00

LAND SURVEYORS
PHONE 361-381-8480
FAX 361-381-0527
ALFONSO@QHA-ENG.COM



FILED FOR RECORD IN
HIDALGO COUNTY
ARTURO GUJARDO, JR.
HIDALGO COUNTY CLERK

ON: _____ AT _____ AM/PM

INSTRUMENT NUMBER _____

OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS

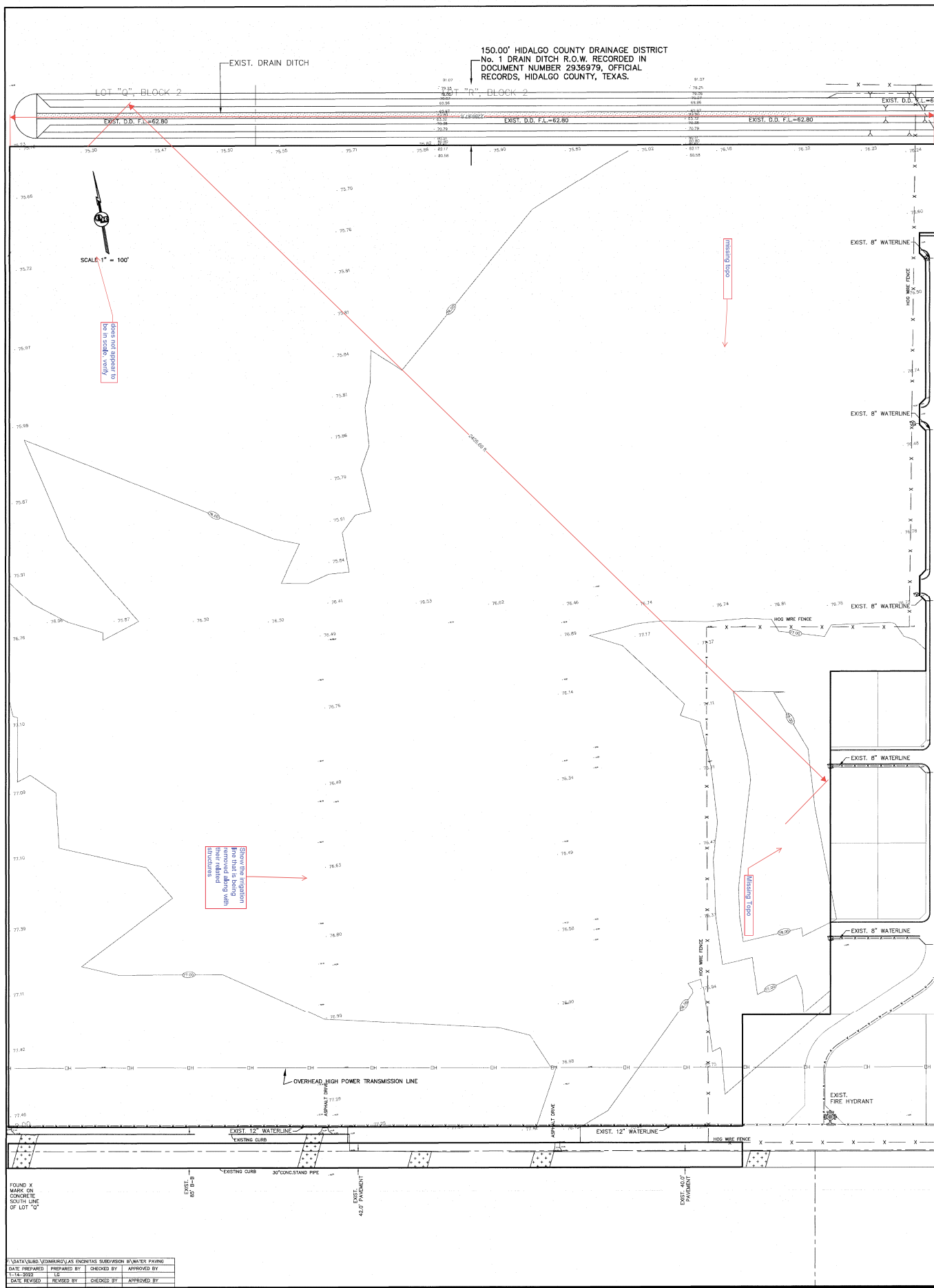
BY: _____ DEPUTY

SHEET 4

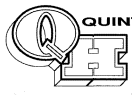
200 LOTS DATE OF PREPARATION: JAN. 12, 2022

FILE NAME	F:\DATA\SUBDIVISIONS\HIDALGO CO.\LAS ENCINITAS SUBDIVISION PH III\PLAT
DATE PREPARED	11-12-2021
PREPARED BY	ALFONSO QUINTANILLA
CHECKED BY	ALFONSO QUINTANILLA
APPROVED BY	ALFONSO QUINTANILLA
DATE REVISED	
REVISED BY	
CHECKED BY	
APPROVED BY	

SHEET NO. 3
OF 5 SHEETS



DATE PREPARED	PREPARED BY	CHECKED BY	APPROVED BY
03-28-2022	LS		
DATE REVISION	REVISION	CHECKED BY	APPROVED BY



QUINTANILLA, HEADLEY AND ASSOCIATES, INC.
 CONSULTING ENGINEERS
 124 E. STUBBS ST.
 EDINBURG, TEXAS 78539
 ENGINEERING REGISTRATION NUMBER F-1513
 SURVEYING REGISTRATION NUMBER 100411-00

LAND SURVEYORS
 PHONE 956-381-6480
 FAX 956-381-0527
 ALFONSO@Q&H-ENG.COM



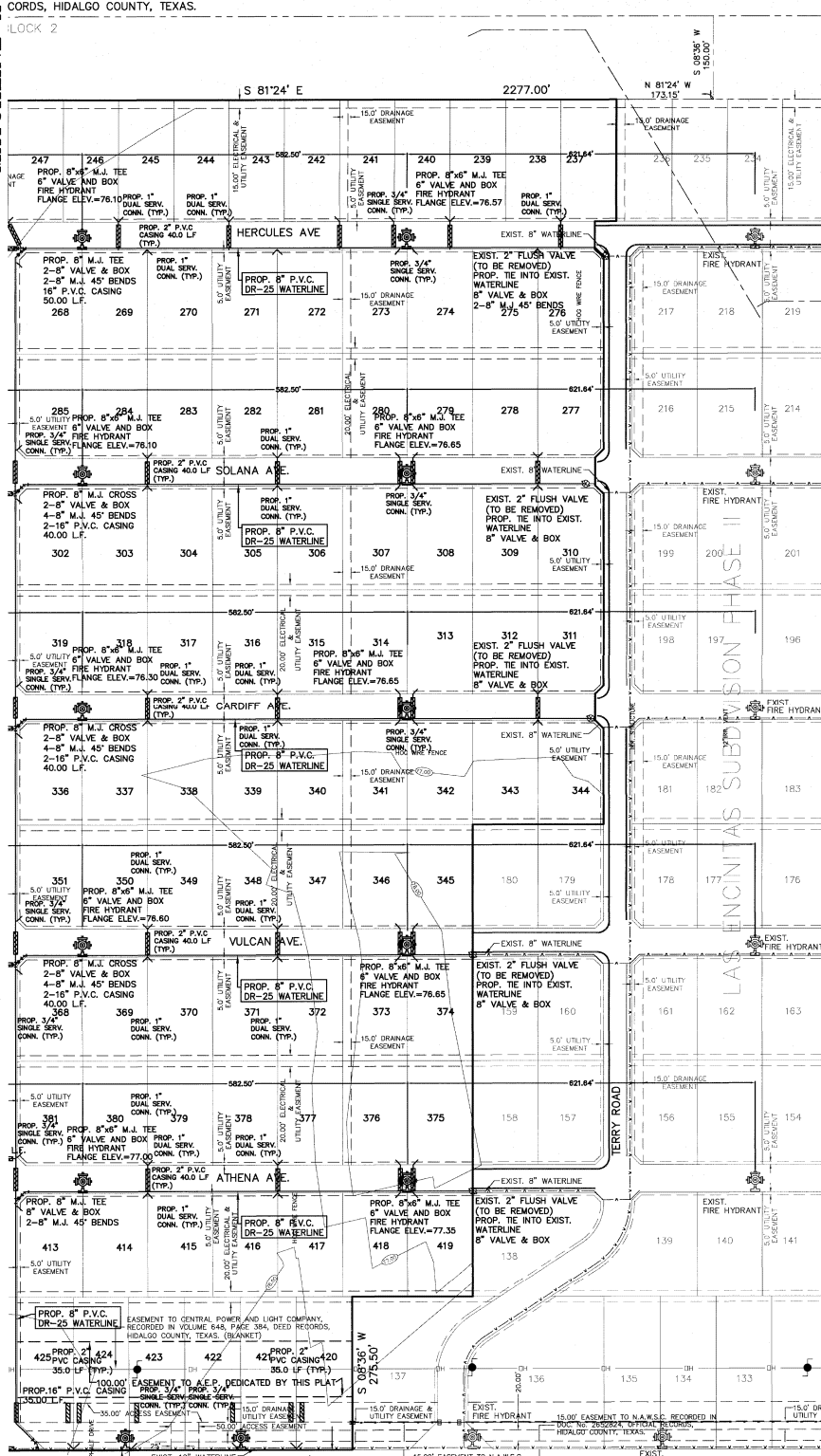
LAS ENCINITAS SUBDIVISION
PHASE III
EXIST. UTILITIES & TOPOGRAPHY

DATE 1-14-2022
 REVISION 03-28-2022
 SCALE 1"=100'
 DRAWN BY LS
 SHEET 5



3.00' HIDALGO COUNTY DRAINAGE DISTRICT
1 DRAIN DITCH R.O.W. RECORDED IN
CUMENT NUMBER 2936979, OFFICIAL
CORDS, HIDALGO COUNTY, TEXAS.
LOCK 2

MATCHLINE A



General Utility Water Comments:
1. Fire Hydrants are to be spaced out 600' max.

DATE PREPARED	DATE CHECKED	DATE APPROVED
11-14-2022	11-14-2022	11-14-2022
DATE REVISION	DATE CHECKED	DATE APPROVED

SURVEY,
TEXAS.

THE STATE OF TEXAS TRACT, A 1.769 ACRE TRACT OUT OF BLOCK
74 AND 75, SANTA CRUZ RANCH SUBDIVISION, ACCORDING TO
DEED RECORDED UNDER COUNTY CLERK DOCUMENT NUMBER
330917, OFFICIAL RECORDS, HIDALGO COUNTY, TEXAS.



QUINTANILLA, HEADLEY AND ASSOCIATES, INC.
CONSULTING ENGINEERS
124 E. STUBBS ST.
EDINBURG, TEXAS 78539
ENGINEERING REGISTRATION NUMBER F-1513
SURVEYING REGISTRATION NUMBER 10041-00

LAND SURVEYORS
PHONE 956-381-6480
FAX 956-381-0527
ALFONSO@QHA-ENG.COM



LAS ENCINITAS SUBDIVISION
PHASE III
WATER DISTRIBUTION SYSTEM

JOB NO. 1-14-2022
DATE 03-28-2023
REVISION 1-100'
SCALE 1.0
SHEET 6



150.00' HIDA
No. 1 DRAIN
DOCUMENT 1
RECORDS, HI

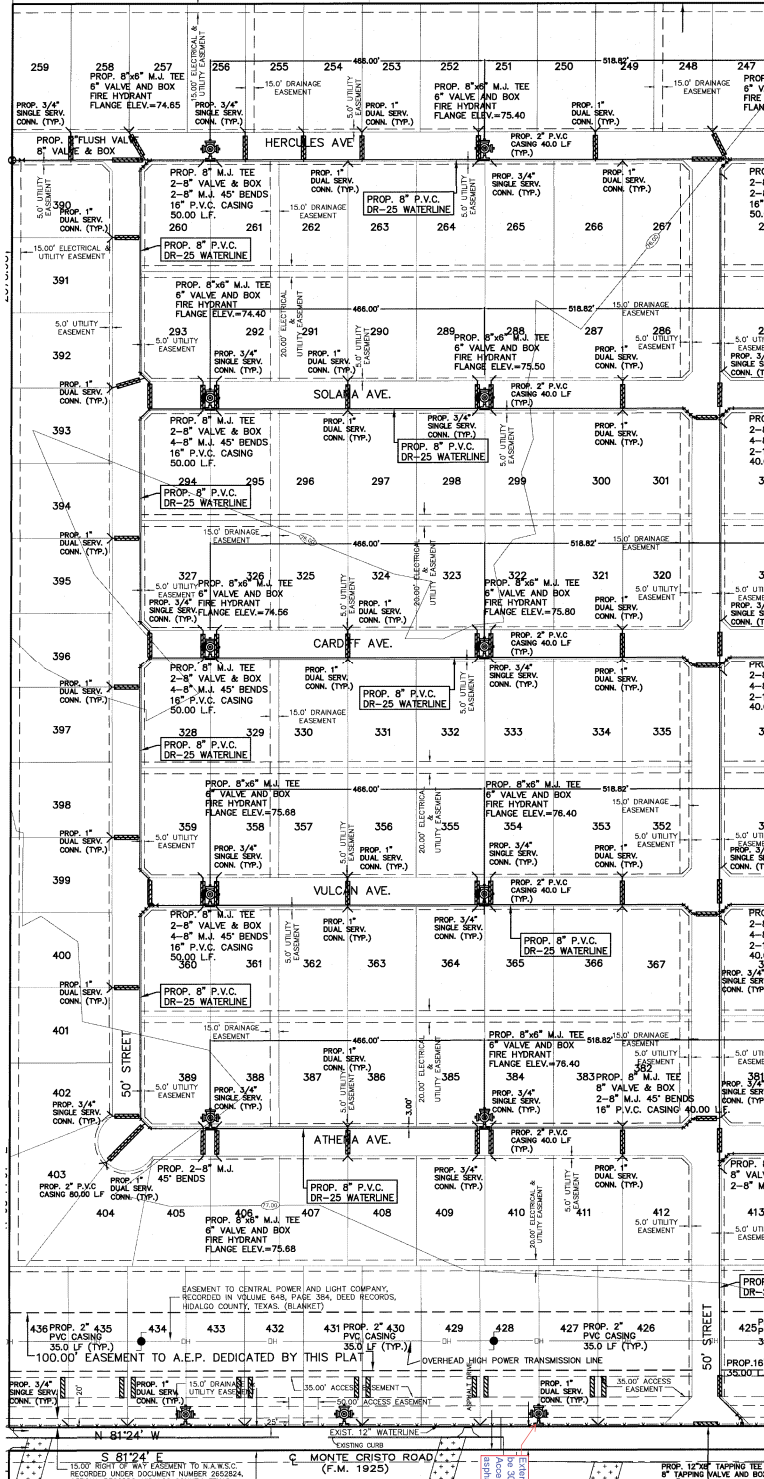
LOT "Q", BLOCK 2

LOT "R", BLOCK 2

S 81°24' E

2277.00'

MATCHLINE A



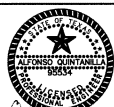
General Utility Water Comments:
1. Fire Hydrants are to be spaced out 600' max.

DATA SUBMITTED BY: LAS ENCINITAS SUBDIVISION (WATER PAVING)
DATE PREPARED: 11/14/2022 BY: J. STUBBS
DATE CHECKED: 11/14/2022 BY: J. STUBBS
DATE REVISION: 03/28/2023 BY: J. STUBBS



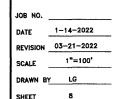
QUINTANILLA, HEADLEY AND ASSOCIATES, INC.
CONSULTING ENGINEERS
124 E. STUBBS ST.
EDINBURG, TEXAS 78839
ENGINEERING REGISTRATION NUMBER F-1513
SURVEYING REGISTRATION NUMBER 100411-00

LAND SURVEYORS
PHONE 956-381-6480
FAX 956-381-0527
ALFONSO@QHA-ENG.COM

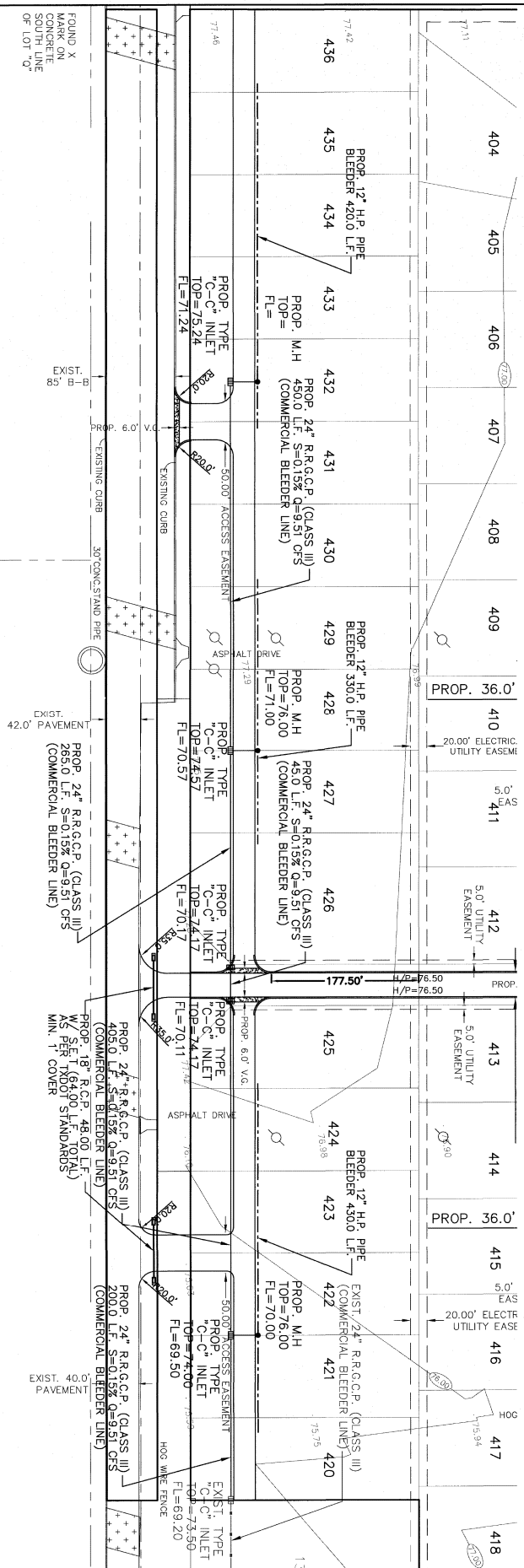
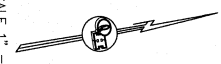


LAS ENCINITAS SUBDIVISION PHASE III WATER DISTRIBUTION SYSTEM

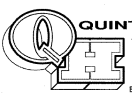
JOB NO. _____
DATE 11-14-2022
REVISION 03-28-2023
SCALE 1"=100'
DRAWN BY J.S.
SHEET 7



SCALE 1" = 60'

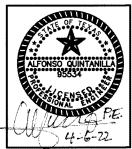


DATE PREPARED	DATE CHECKED	DATE APPROVED
12-28-2022	12-28-2022	12-28-2022
BY: [Signature]	BY: [Signature]	BY: [Signature]
IN CHARGE	IN CHARGE	IN CHARGE



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 CONSULTING ENGINEERS
 124 E. STUBBS ST.
 EDINBURG, TEXAS 78539
 ENGINEERING REGISTRATION NUMBER F-1513
 SURVEYING REGISTRATION NUMBER 100411-00

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 ALFONSO@QHA-ENG.COM

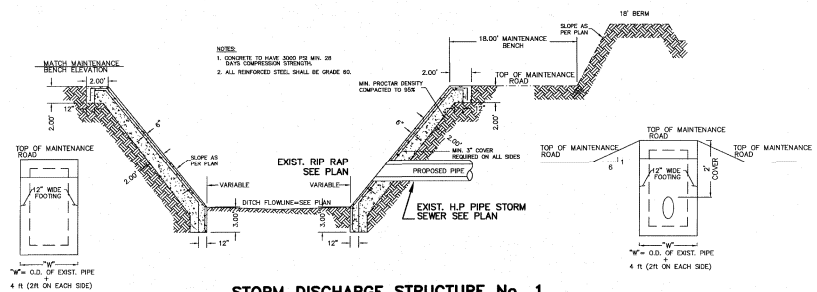


**LAS ENCINITAS SUBDIVISION
 PHASE III
 DRAINAGE SYSTEM
 (COMMERCIAL ONLY)**

JOB NO.	1-14-2022
DATE	03-28-2022
REVISION	1"=60'
SCALE	10
DRAWN BY	8
SHEET	

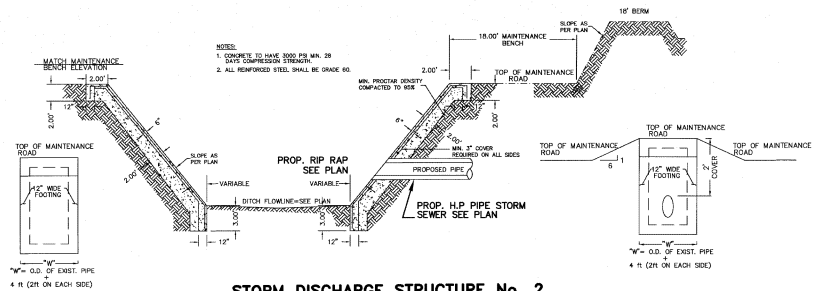


JOB NO.	
DATE	01-14-2022
REVISION	03-21-2022
SCALE	1"=100'
DRAWN BY	LG
SHEET	10



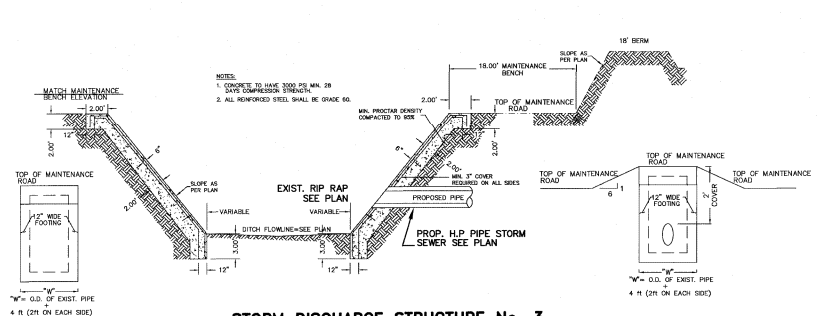
STORM DISCHARGE STRUCTURE No. 1

NOT TO SCALE



STORM DISCHARGE STRUCTURE No. 2

NOT TO SCALE

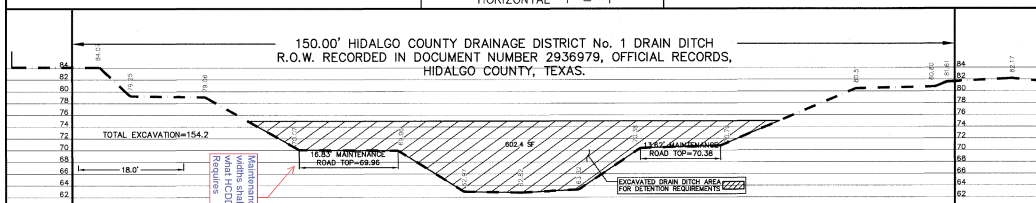


STORM DISCHARGE STRUCTURE No. 3

NOT TO SCALE

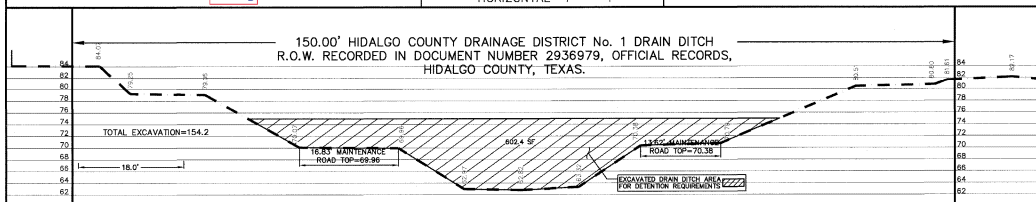
CROSS SECTION "A-A"

SCALE: HORIZONTAL 1" = 10'
HORIZONTAL 1" = 1'



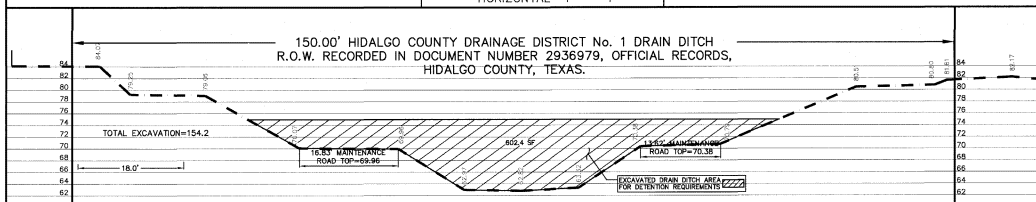
CROSS SECTION "B-B"

SCALE: HORIZONTAL 1" = 10'
VERTICAL 1" = 1'



CROSS SECTION "C-C"

SCALE: HORIZONTAL 1" = 10'
VERTICAL 1" = 1'



I:\DATA\SUBD\EDINBURG\LAS ENCINITAS SUBDIVISION B\WATER PAVING			
DATE PREPARED	PREPARED BY	CHECKED BY	APPROVED BY
1-14-2022	LG		
DATE REVISED	REVISED BY	CHECKED BY	APPROVED BY



QUINTANILLA, HEADLEY AND ASSOCIATES, INC.

CONSULTING ENGINEERS
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ENGINEERING REGISTRATION NUMBER F-1513
SURVEYING REGISTRATION NUMBER 100411-00


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FAX 956-381-0527
ALFONSOQ@QHA-ENG.COM



LAS ENCINITAS SUBDIVISION
PHASE III
PAVING & DRAINAGE DETAIL

JOB NO. _____
DATE 1-14-2022
REVISION 03-21-2022
SCALE 1"=100'
DRAWN BY LG
SHEET 11





QUINTANILLA, HEADLEY AND ASSOCIATES, INC.
CONSULTING ENGINEERS
124 E. STUBBS ST.
EDINBURG, TEXAS 78539
ENGINEERING REGISTRATION NUMBER F-1913
SURVEYING REGISTRATION NUMBER 100411-00

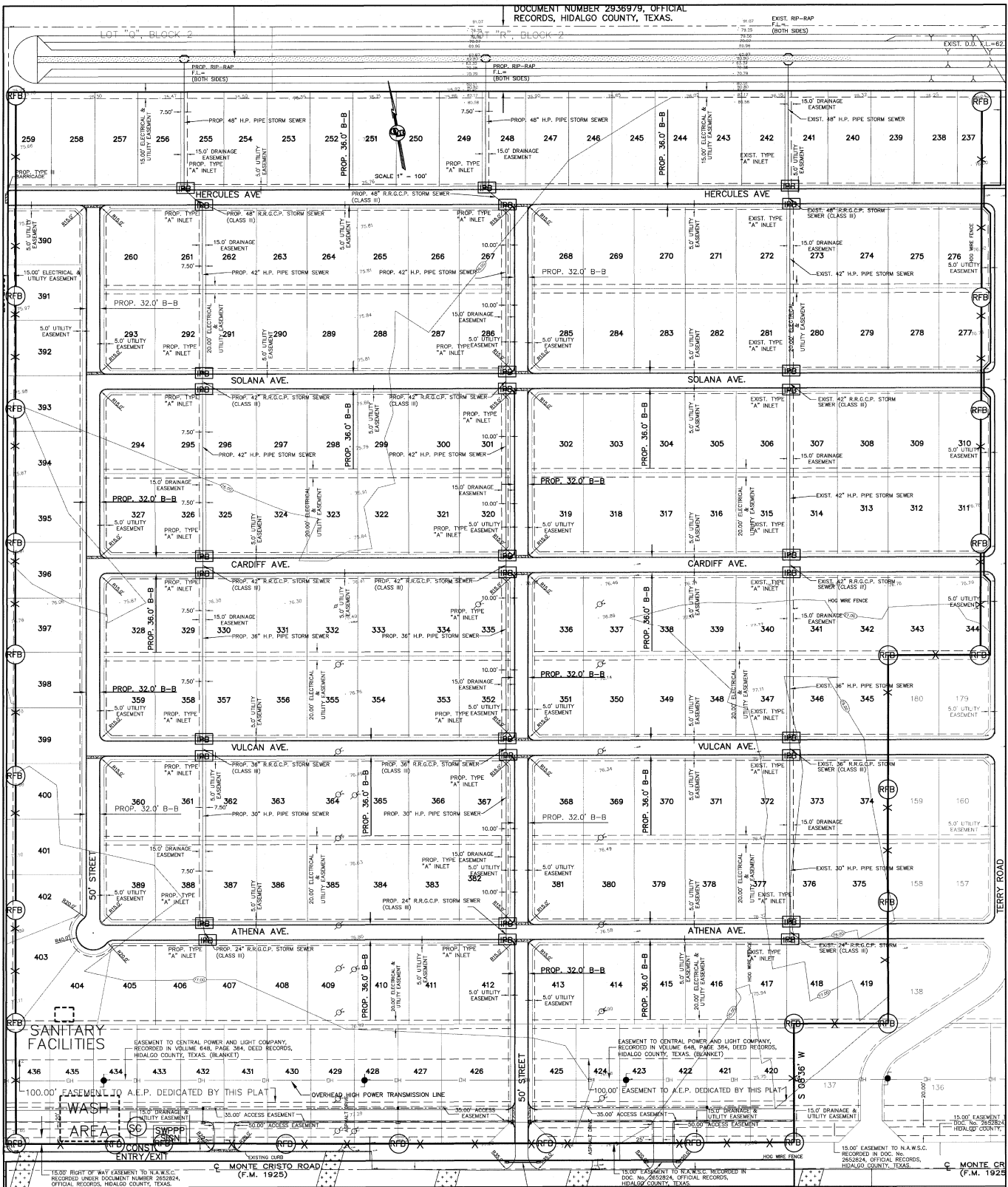
LAND SURVEYORS
PHONE 956-381-6480
FAX 956-381-0527
ALFONSO@Q&H-ENG.COM



**LAS ENCINITAS SUBDIVISION
PHASE III
IRRIGATION LAYOUT**

LOT 3, SECTION 292
TEXAS-MEXICAN RAILWAY COMPANY'S SURVEY,
RECORDED IN VOLUME 2, PAGE 28,
MAP RECORDS, HIDALGO COUNTY, TEXAS.

JOB NO.	1-14-2022
DATE	1-14-2022
REVISION	03-21-2022
SCALE	1"=100'
DRAWN BY	LG
SHEET	12



LEGEND

- (I) INLET
- (P) INLET PROTECTION BARRIER
- (H) HYDROMULCH SEEDING
- (S) STABILIZED CONSTRUCTION EXIT
- (F) FILTER FABRIC FENCE
- (B) PROPOSED FILTER FABRIC BARRIER
- (---) PROP. BERM

NOTES: POLLUTION PREVENTION

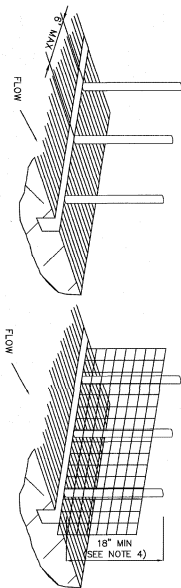
- 1.- CONTRACTOR SHALL REMOVE SILT DEPOSITS FROM ROADWAY ON A DAILY BASIS OR AS DIRECTED BY PROJECT ENGINEER.
- 2.- CONTRACTOR SHALL CONTROL DUSTING BY WATERING.
- 3.- CONTRACTOR SHALL HYDROMULCH SEED OR SOO AS INDICATED ON THIS SHEET AND PAVEMENT TYPICAL SECTION. ALL DISTURBED AREAS UPON ACCEPTANCE OF GRADING.
- 4.- CONTRACTOR SHALL KEEP LOG OF SITE RAINFALL & SWPP MAINTENANCE AS CALLED FOR IN THE NOTES OF INTENT.

NOTES: EROSION CONTROL

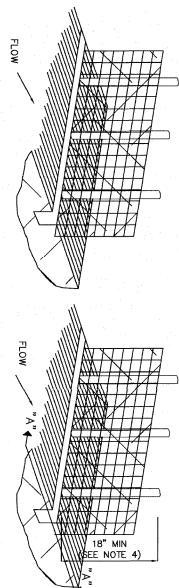
- 1.- ALL NON-PAVED DISTURBED AREAS SHALL BE PROTECTED WITH EROSION CONTROL MEASURES IMMEDIATELY UPON COMPLETION OF FINAL GRADING. ALL AREAS DISTURBED AFTER FINAL SEEDING BY DESIGN OR CONSTRUCTION SHALL BE RESEED.
- 2.- STOCKPILE TOPSOIL FROM SITE AT DESIGNATED AREA.
- 3.- CONTRACTOR SHALL COORDINATE WITH ALL WORK BY OTHERS (UTILITY ROAD AND UTILITIES TO BE INSTALLED) TO AVOID CONFLICT DURING THE CONSTRUCTION PERIOD.
- 4.- CONSTRUCT TEMPORARY CONSTRUCTION ENTRANCES AND PROTECT SITE FIELD OFFICE AND CONSTRUCTION AREA (ALL WEATHER SURFACE, CALICHE PAVING).
- 5.- CONSTRUCT THE WASH AREA AT CONSTRUCTION EXIT. WASH SURFACE SHALL BE 1" MIN. A.C. THE WASH AREA TO DRAIN INTO EXISTING DITCH.
- 6.- CONSTRUCT TEMPORARY SEDIMENT TRAPS AND BARRIS AS SHOWN ON THE PLAN.
- 7.- CONSTRUCT TEMPORARY SILT FENCES AS SHOWN ON THE PLAN.
- 8.- CONSTRUCT/INSTALL PIPE CULVERTS AND STORM SYSTEMS TO ALLOW SILT TRAPS TO FUNCTION AS DESIGNED.

SWPPP SIGN

1. SET POSTS AND EXCAVATE A 4"x4" TRENCH UP TO LINE OF POSTS (SEE NOTE 1).
2. SECURE WIRE FENCING TO POSTS (SEE NOTE 2).

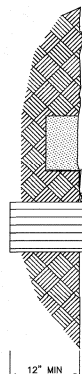


3. ATTACH FILTER MATERIAL TO WIRE FENCE AND EXTEND IT INTO THE TRENCH (SEE NOTE 3).
4. BACKFILL AND COMPACT THE EXCAVATED SOIL.



EXTENSION OF FABRIC INTO TRENCH

FLOW

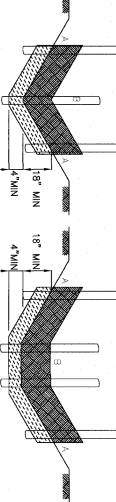


SECTION "A-A"

FLOW



POINT A SHOULD BE HIGHER THAN POINT B, OR AT TOP OF BANK (TYP)



"A-A" DITCH" SECTION/ELEVATION

TRAPEZOIDAL SECTION/ELEVATION

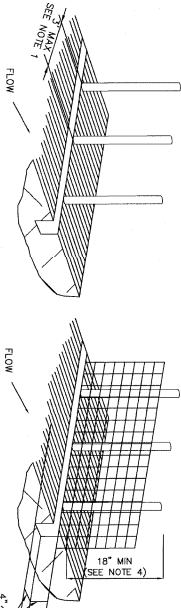
CONSTRUCTION NOTES:

- 1.- SET RAIL ROD 1/2" X 3/8" OR USE ALVCS 3/8" POST SPACED A MAX OF 6 FEET APART AND EMBEDDED 4 MIN OR 12 INCHES.
- 2.- WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH METAL TIES.
- 3.- FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE, WITH TIES SPACED EVERY 24 INCHES AT TOP AND BOTTOM.
- 4.- MINIMUM HEIGHT OF FILTER SHOULD BE 18 INCHES AND A MAXIMUM OF 36 INCHES ABOVE NATURAL GROUND.
- 5.- WHEN TWO SECTIONS OF FILTER CLOTH ADJACENT OTHER THEY SHALL BE OVERLAPPED 6 INCHES AT THE 1/2" RAIL ROD OR ALVCS 3/8" POSTS, AND FOLDED.
- 6.- SEE STANDARD SPECIFICATION FOR FILTER FABRIC BARRIER.

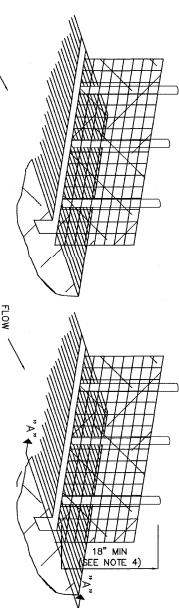


REINFORCED FILTER FABRIC BARRIER

1. SET POSTS AT REQUIRED SPACING.
2. EXCAVATE A 4"x4" TRENCH UP TO LINE OF STAKES.

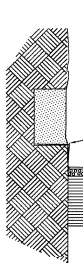


3. ATTACH FILTER MATERIAL TO STAKES AND EXTEND IT INTO THE TRENCH.
4. BACKFILL AND COMPACT THE EXCAVATED SOIL.



EXTENSION OF FABRIC INTO TRENCH

FLOW



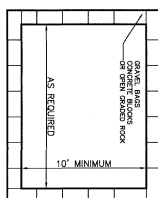
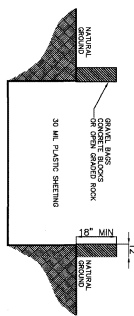
SECTION "B-B"

CONSTRUCTION NOTES:

- 1.- RAIL ROD 1/2" X 3/8" OR USE ALVCS 3/8" POST TO BE SET AT MAX SPACING OF 3 FEET AND EMBEDDED 4 MIN OR 12 INCHES.
- 2.- ATTACH FILTER FABRIC TO RAIL ROD 1/2" X 3/8" OR USE ALVCS 3/8" POST FILTER FABRIC FENCE SHALL HAVE A MINIMUM HEIGHT OF 18 INCHES AND MAX HEIGHT OF 36 INCHES ABOVE NATURAL GROUND.
- 3.- WHEN TWO SECTIONS OF FILTER CLOTH ADJACENT OTHER THEY SHOULD BE OVERLAPPED 6 INCHES AT THE 1/2" RAIL ROD OR USE ALVCS 3/8" POST, AND FOLDED.
- 4.- SEE STANDARD SPECIFICATION FOR FILTER FABRIC FENCE.

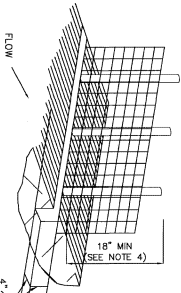
FILTER FABRIC FENCE

WASHOUT DETAIL

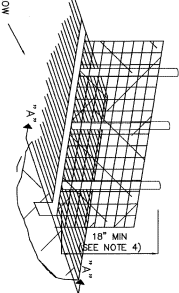


- 1.- WASHOUT DETAIL FOR THE CONCRETE TRUCK WASHOUT DETAIL SHALL BE A MINIMUM OF 18 INCHES AND MAX HEIGHT OF 36 INCHES ABOVE NATURAL GROUND.
- 2.- ATTACH FILTER FABRIC TO RAIL ROD 1/2" X 3/8" OR USE ALVCS 3/8" POST FILTER FABRIC FENCE SHALL HAVE A MINIMUM HEIGHT OF 18 INCHES AND MAX HEIGHT OF 36 INCHES ABOVE NATURAL GROUND.
- 3.- WHEN TWO SECTIONS OF FILTER CLOTH ADJACENT OTHER THEY SHOULD BE OVERLAPPED 6 INCHES AT THE 1/2" RAIL ROD OR USE ALVCS 3/8" POST, AND FOLDED.
- 4.- SEE STANDARD SPECIFICATION FOR FILTER FABRIC FENCE.

2. EXCAVATE A 4"x4" TRENCH UP TO LINE OF STAKES.

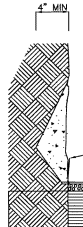


3. ATTACH FILTER MATERIAL TO STAKES AND EXTEND IT INTO THE TRENCH.
4. BACKFILL AND COMPACT THE EXCAVATED SOIL.



EXTENSION OF FABRIC INTO TRENCH

FLOW



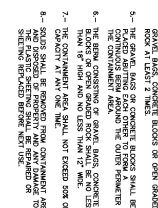
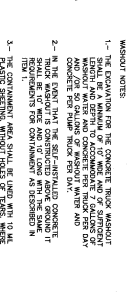
SECTION "B-B"

CONSTRUCTION NOTES:

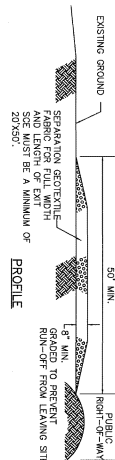
- 1.- RAIL ROD 1/2" X 3/8" OR USE ALVCS 3/8" POST TO BE SET AT MAX SPACING OF 3 FEET AND EMBEDDED 4 MIN OR 12 INCHES.
- 2.- ATTACH FILTER FABRIC TO RAIL ROD 1/2" X 3/8" OR USE ALVCS 3/8" POST FILTER FABRIC FENCE SHALL HAVE A MINIMUM HEIGHT OF 18 INCHES AND MAX HEIGHT OF 36 INCHES ABOVE NATURAL GROUND.
- 3.- WHEN TWO SECTIONS OF FILTER CLOTH ADJACENT OTHER THEY SHOULD BE OVERLAPPED 6 INCHES AT THE 1/2" RAIL ROD OR USE ALVCS 3/8" POST, AND FOLDED.
- 4.- SEE STANDARD SPECIFICATION FOR FILTER FABRIC FENCE.

FILTER FABRIC FENCE

WASHOUT DETAIL



- 1.- WASHOUT DETAIL FOR THE CONCRETE TRUCK WASHOUT DETAIL SHALL BE A MINIMUM OF 18 INCHES AND MAX HEIGHT OF 36 INCHES ABOVE NATURAL GROUND.
- 2.- ATTACH FILTER FABRIC TO RAIL ROD 1/2" X 3/8" OR USE ALVCS 3/8" POST FILTER FABRIC FENCE SHALL HAVE A MINIMUM HEIGHT OF 18 INCHES AND MAX HEIGHT OF 36 INCHES ABOVE NATURAL GROUND.
- 3.- WHEN TWO SECTIONS OF FILTER CLOTH ADJACENT OTHER THEY SHOULD BE OVERLAPPED 6 INCHES AT THE 1/2" RAIL ROD OR USE ALVCS 3/8" POST, AND FOLDED.
- 4.- SEE STANDARD SPECIFICATION FOR FILTER FABRIC FENCE.



STABILIZED CONSTRUCTION EXIT

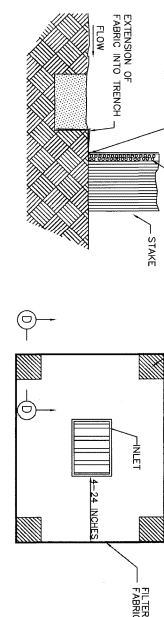


CONSTRUCTION NOTES:

- 1.- LENGTH SHALL BE AS SHOWN ON THE CONSTRUCTION DRAWINGS, BUT NOT LESS THAN 50 FEET.
- 2.- THICKNESS SHALL BE NOT LESS THAN 8 INCHES.
- 3.- WIDTH SHALL BE NOT LESS THAN FULL WIDTH OF ALL POINTS OF INGRESS OR EGRESS.
- 4.- STABILIZATION FOR OTHER AREAS HAVE THE SAME AGGREGATE THICKNESS AND WIDTH REQUIREMENTS AS THE STABILIZED CONSTRUCTION EXIT, UNLESS OTHERWISE SHOWN ON THE CONSTRUCTION DRAWINGS.
- 5.- STABILIZED AREA MAY BE WIDENED TO ACCOMMODATE A TRUCK WASHING AREA, AN OUTLET SEDIMENT TRAP MUST BE PROVIDED FOR THE TRUCK WASHING AREA.
- 6.- SEE STANDARD SPECIFICATION FOR STABILIZED CONSTRUCTION EXIT.
- 7.- STABILIZED CONSTRUCTION EXIT SHALL BE MAINTAINED FREE OF SEDIMENT FOR THE DURATION OF THE PROJECT.



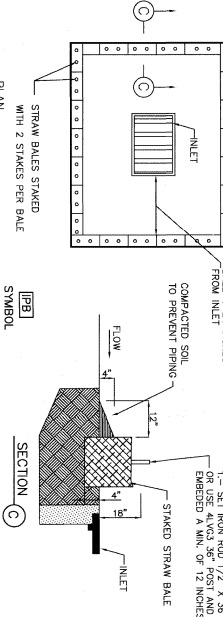
STABILIZED CONSTRUCTION EXIT



STABILIZED CONSTRUCTION EXIT

CONSTRUCTION NOTE:

- 1.- SEE CONSTRUCTION NOTES FOR REB.



STRAW BALE DROP INLET PROTECTION BARRIER

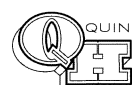
JOB NO.	09-27-19
DATE	
REVISION	
SCALE	1"=100'
DRAWN BY	JS
SHEET	19

LAS ENCINITAS
SUBDIVISION PHASE III
EROSION CONTROL PLAN AND
POLLUTION PREVENTION
DETAILS

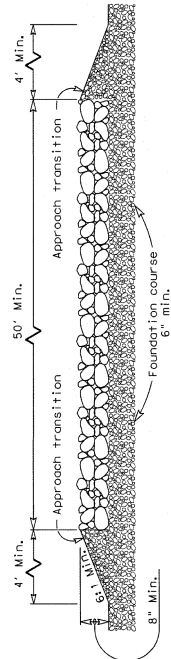
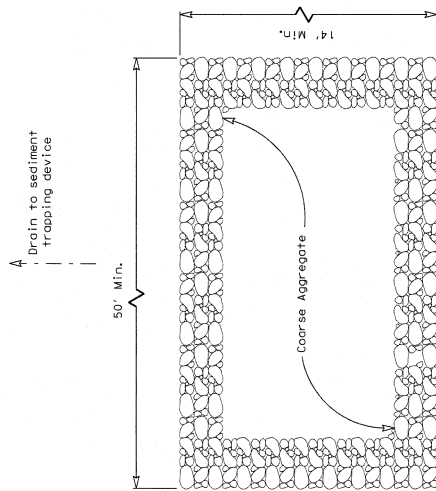


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FAX 956-381-0527
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CONSULTING ENGINEERS
124 E. STUBBS ST.
EDINBURG, TEXAS 78539
REGISTRATION NUMBER F-1513



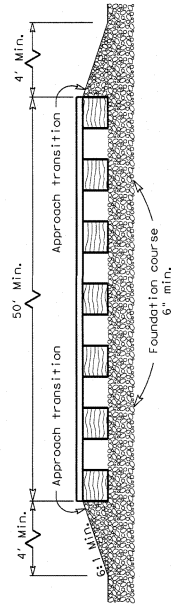
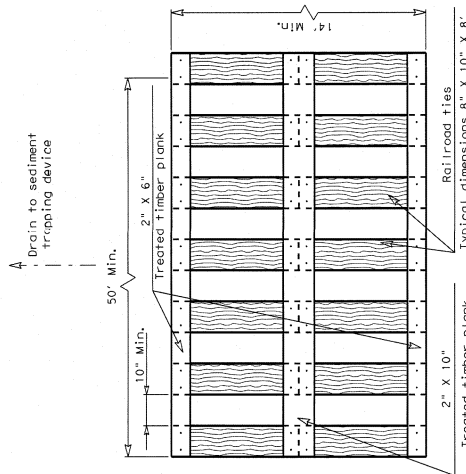
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CONSTRUCTION EXIT (TYPE 1)

GENERAL NOTES

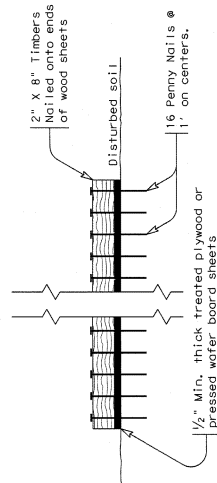
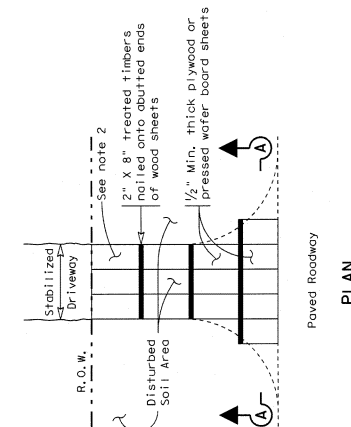
1. The length of the type 1 construction exit shall be as indicated on the plans, but not less than 50'.
2. The coarse aggregate should be open graded with a size of 4" to 8".
3. The approach transitions should be no steeper than 6:1 and constructed as directed by the Engineer.
4. The construction exit foundation course shall be flexible base, bituminous concrete, portland cement concrete or other material as approved by the Engineer.
5. The construction exit shall be graded to allow drainage to a sediment trapping device.
6. The guidelines shown hereon are suggestions only and may be modified by the Engineer.



CONSTRUCTION EXIT (TYPE 2)

GENERAL NOTES

1. The length of the type 2 construction exit shall be as indicated on the plans, but not less than 50'.
2. The treated timber planks shall be attached to the railroad ties with $\frac{1}{2}$ " x 6" min. lag bolts. Other fasteners may be used as approved by the Engineer.
3. The treated timber planks shall be #2 grade min., and should be free from large and loose knots.
4. The approach transitions shall be no steeper than 6:1 and constructed as directed by the Engineer.
5. The construction exit foundation course shall be flexible base, bituminous concrete, portland cement concrete or other material as approved by the Engineer.
6. The construction exit should be graded to allow drainage to a sediment trapping device.
7. The guidelines shown hereon are suggestions only and may be modified by the Engineer.



CONSTRUCTION EXIT (TYPE 3)

GENERAL NOTES

1. The length of the type 3 construction exit shall be as shown on the plans, or as directed by the Engineer.
2. The type 3 construction exit may be constructed from open graded crushed stone with a size of two to four inches spread a min. of 4" thick to the limits shown on the plans.
3. The treated timber planks shall be #2 grade min., and should be free from large and loose knots.
4. The guidelines shown hereon are suggestions only and may be modified by the Engineer.

**TEMPORARY EROSION,
SEDIMENT AND WATER
POLLUTION CONTROL MEASURES**

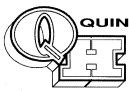
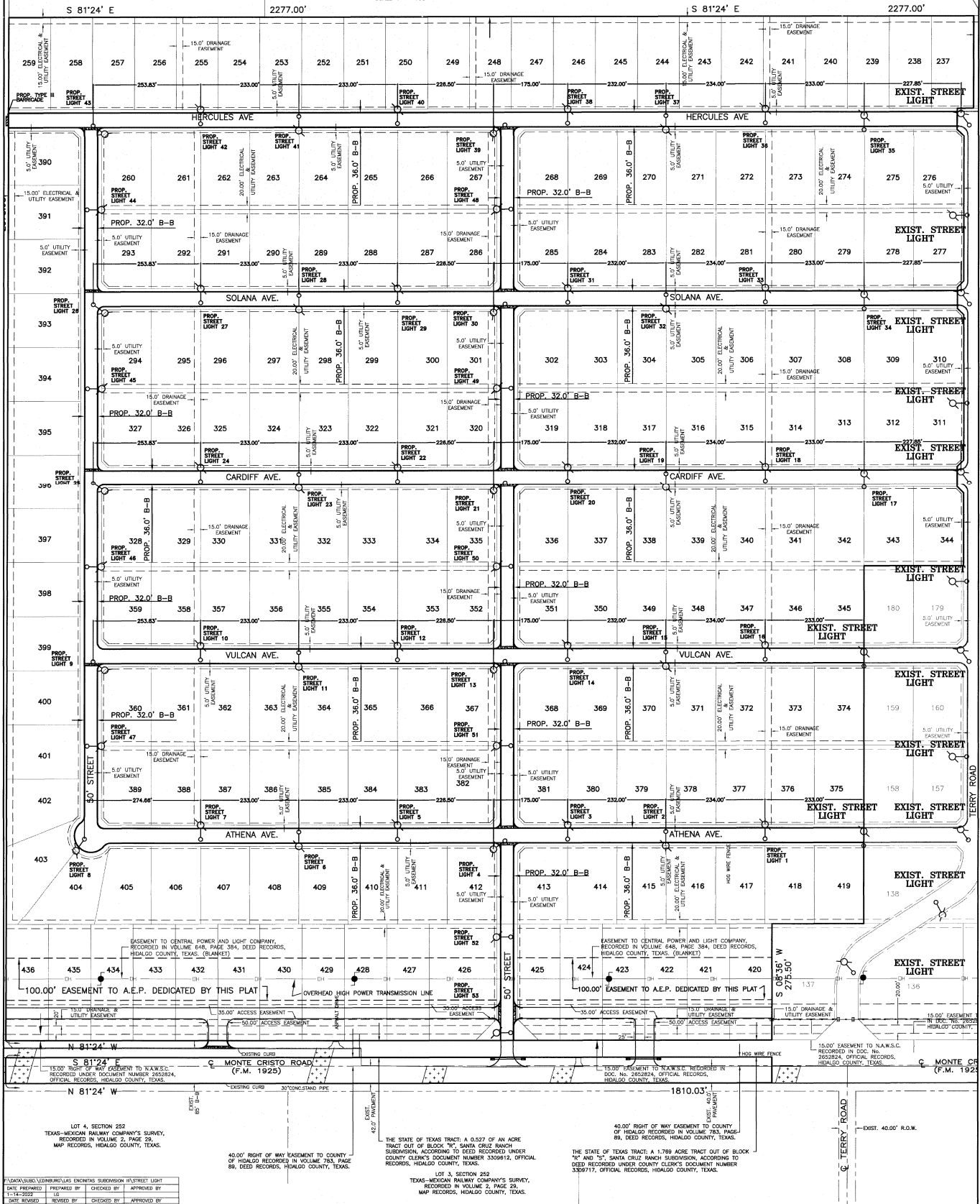
CONSTRUCTION EXITS

EC (3) - 93

FILE#	ec393, gpn	REV	1/001	DATE	04/
PROJECT	June 1993	SECTION	008	REVISION	
COUNTY		DIST		COUNTY	
SHEET NO.					

LOT "R", BLOCK 2

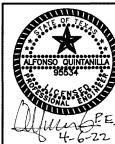
SCALE 1" = 100



QUINTANILLA, HEADLEY AND ASSOCIATES, INC.

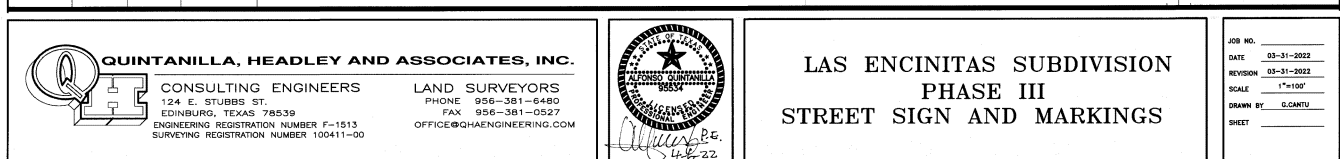
CONSULTING ENGINEERS
124 E. STUBBS ST.
EDINBURG, TEXAS 78539
ENGINEERING REGISTRATION NUMBER F-1513
SURVEYING REGISTRATION NUMBER 100411-06

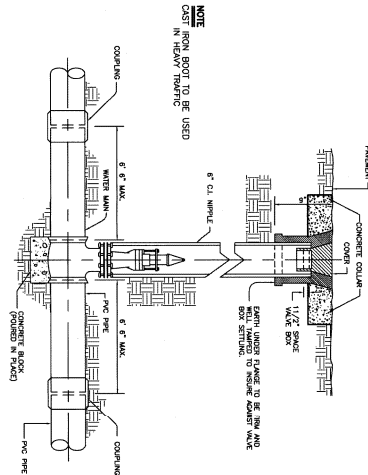
LAND SURVEYORS
PHONE 956-381-6480
FAX 956-381-0527
ALFONSOQ@QHA-ENG.COM



LAS ENCINITAS SUBDIVISION
PHASE III
STREET LIGHT LAYOUT

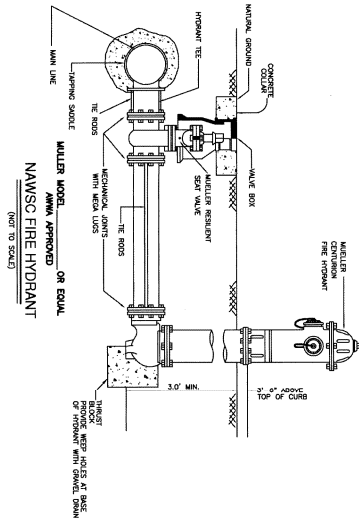
JOB NO. _____
DATE 03-31-2022
REVISION 03-31-2022
SCALE 1"=100'
DRAWN BY G.CANTU
SHEET 8



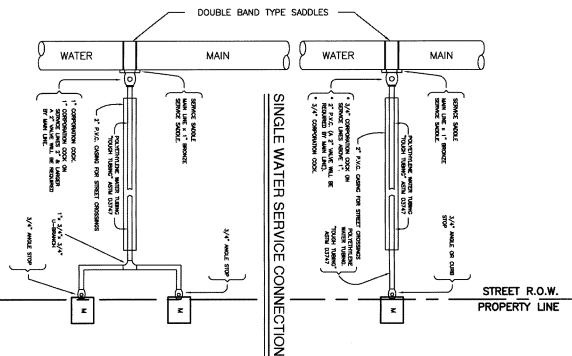


TYPICAL VALVE & BOX INSTALLATION

(NOT TO SCALE)

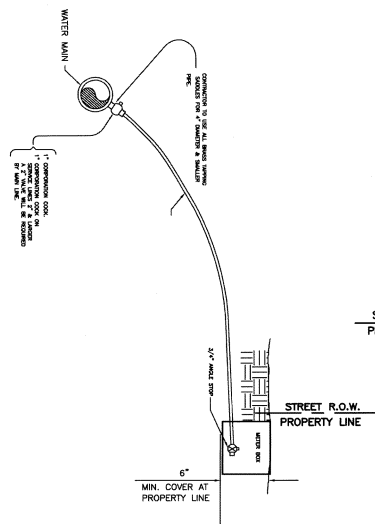


MULLER MODEL OR EQUAL
AWWA APPROVED
NAMESO FIRE HYDRANT
(NOT TO SCALE)



DUAL WATER SERVICE CONNECTION

(NOT TO SCALE)



SINGLE WATER SERVICE CONNECTION



QUINTANILLA, HEADLEY AND ASSOCIATES, INC.
CONSULTING ENGINEERS
124 E. STURGES ST.
EDINBURG, TEXAS 78539
ENGINEERING REGISTRATION NUMBER F-1513
SURVEYING REGISTRATION NUMBER 10041-00

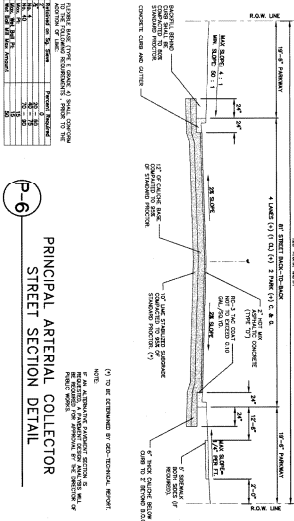
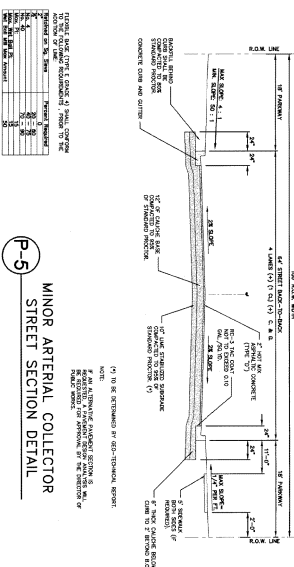
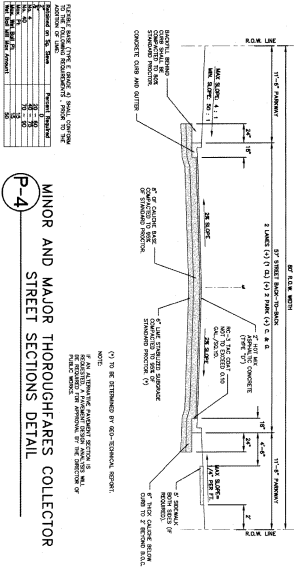
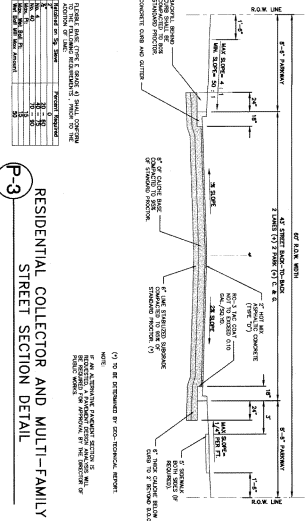
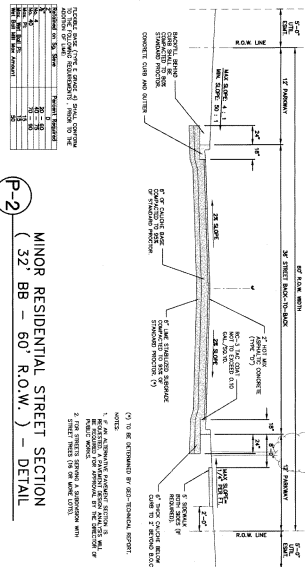
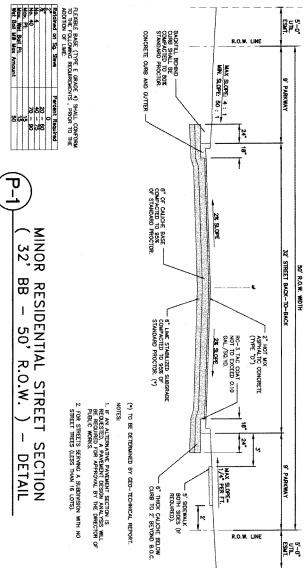
LAND SURVEYORS
PHONE 956-381-6480
FAX 956-381-0527
OFFICE@QHAENGINEERING.COM



NORTH ALAMO WATER SUPPLY DETAIL SHEET

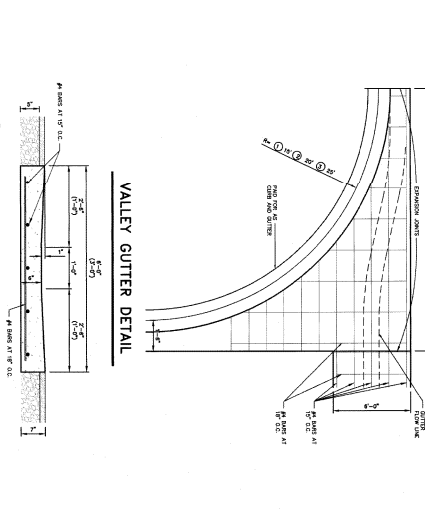
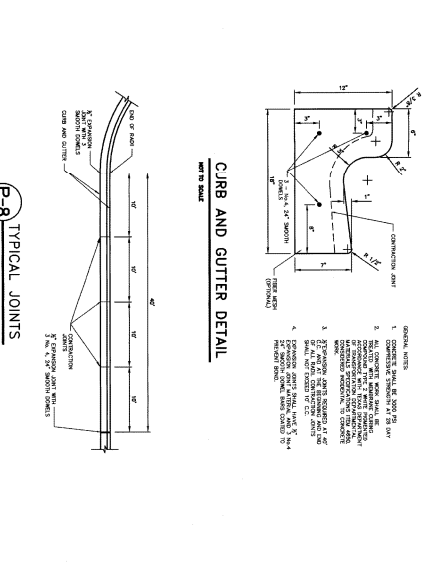
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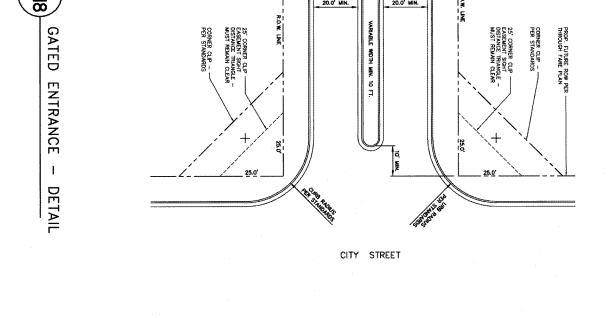
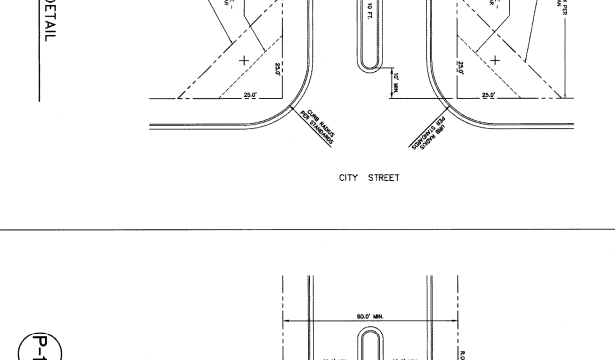
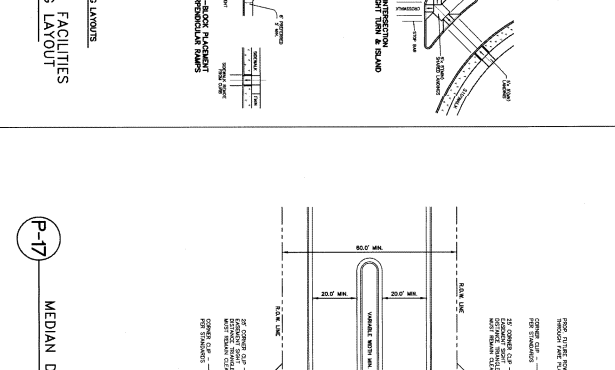
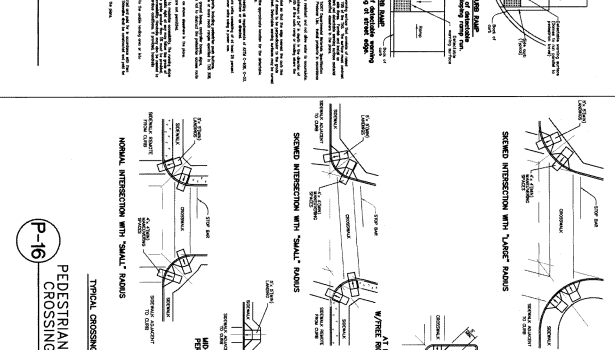
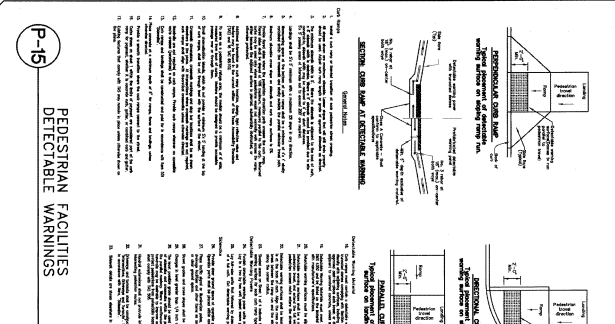
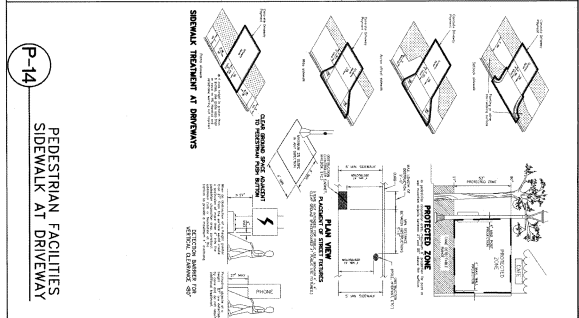
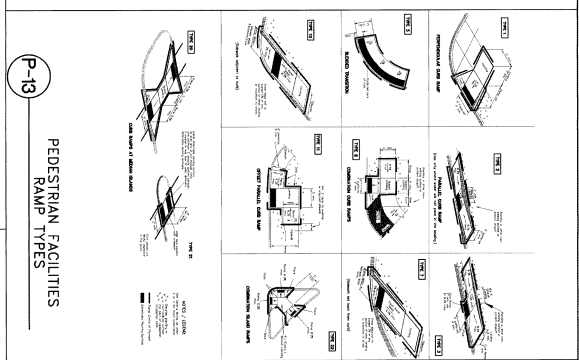
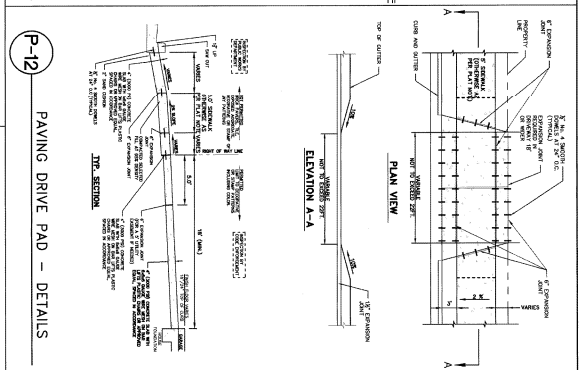
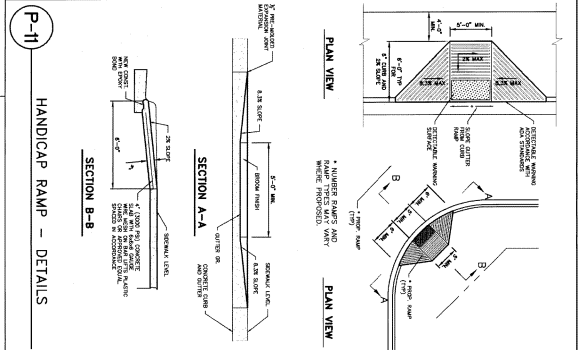
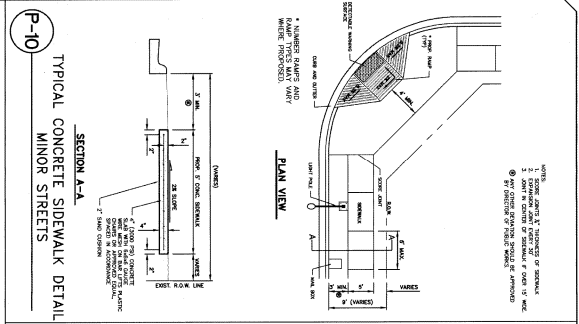
JOB NO. 9-03-01
DATE
REVISIONS
DRAWN BY JULIS

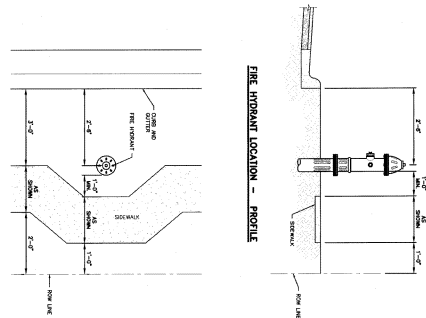


P-7 RURAL PAVING STREET SECTION DETAIL

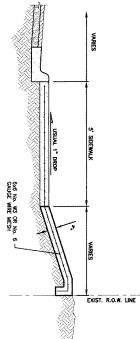
NOTES:
1. ALL RURAL PAVING STREET SECTIONS SHALL BE DESIGNED BY GEO-TECHNICAL REPORT.
2. ALL RURAL PAVING STREET SECTIONS SHALL BE DESIGNED BY GEO-TECHNICAL REPORT.
3. ALL RURAL PAVING STREET SECTIONS SHALL BE DESIGNED BY GEO-TECHNICAL REPORT.



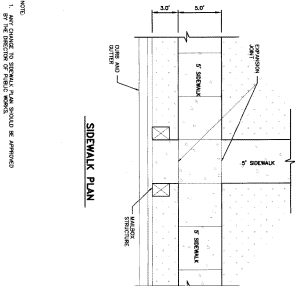




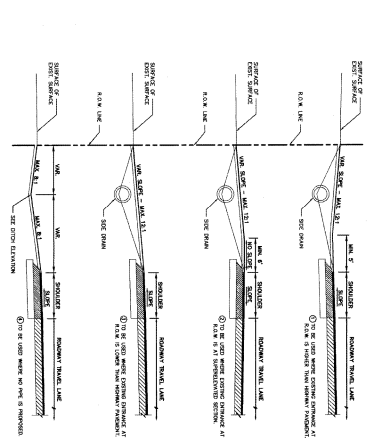
P-19
FIRE HYDRANT LOCATION - PROFILE
SIDEWALK DEVIATION AT
FIRE HYDRANT



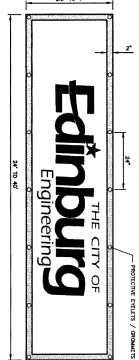
P-20
SIDEWALK RIP-RAP
SIDEWALK RIP-RAP



P-21
ADA SIDEWALK AT
MAILBOX - DETAIL
SIDEWALK PLAN

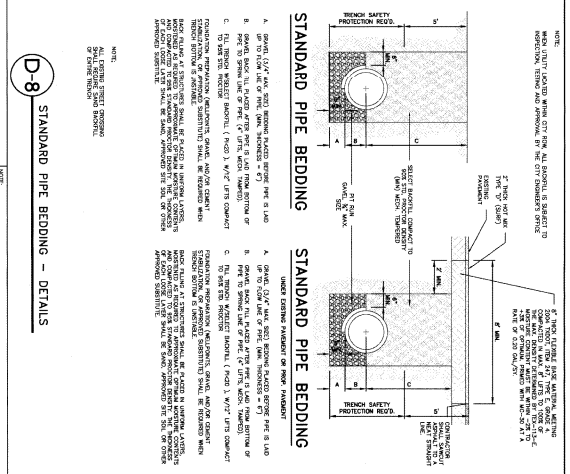
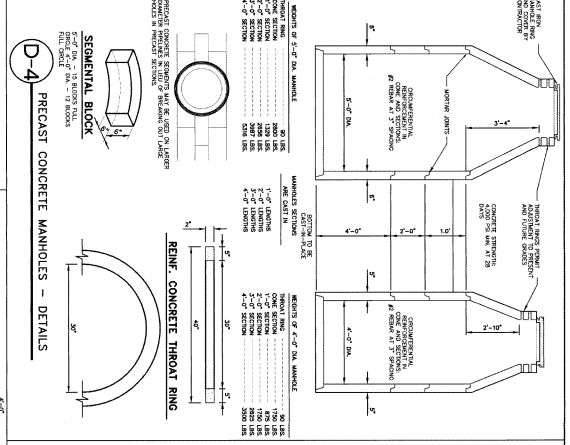
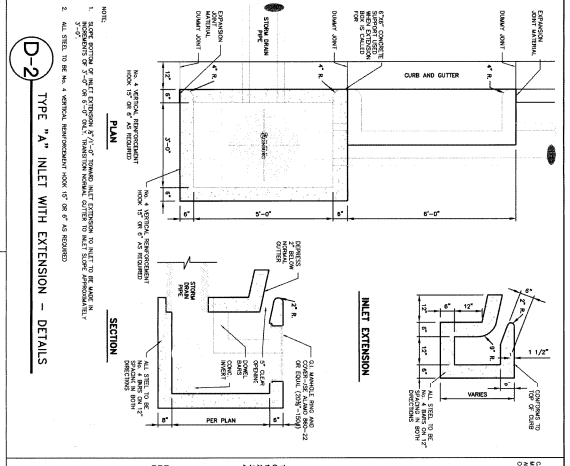
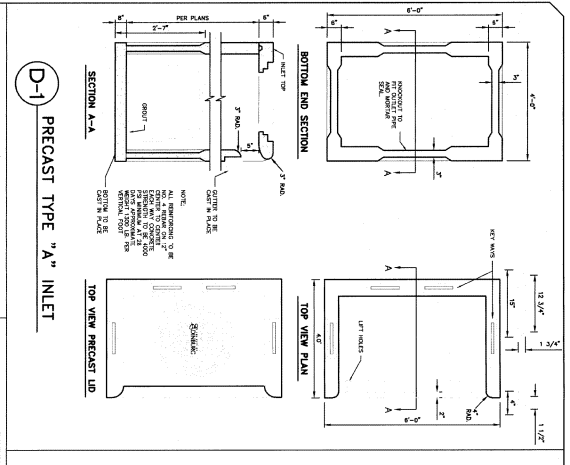
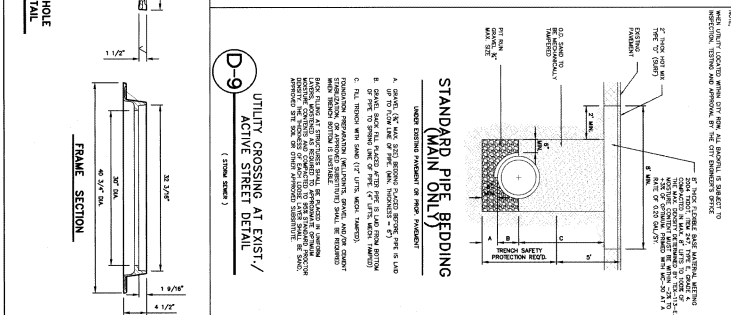
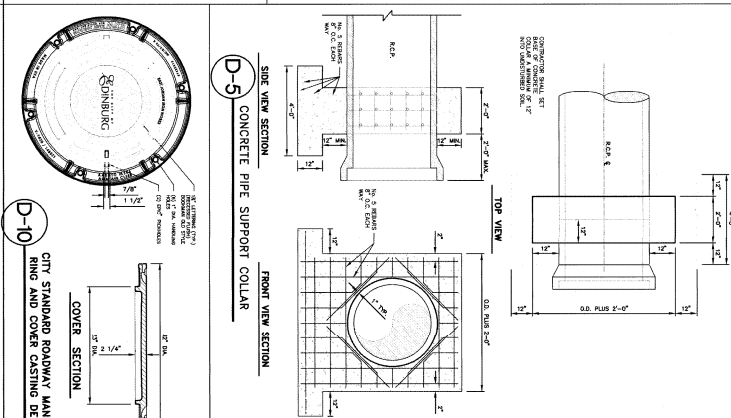
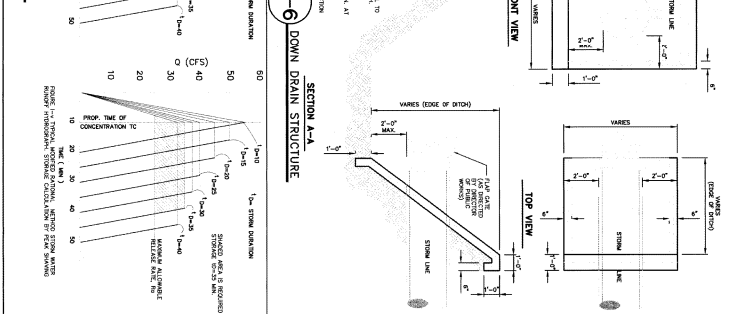
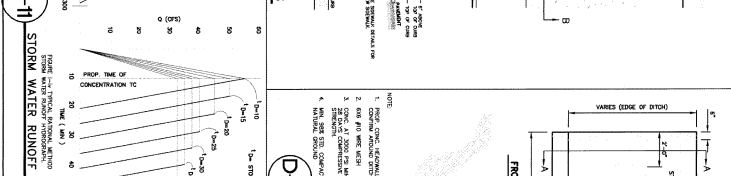
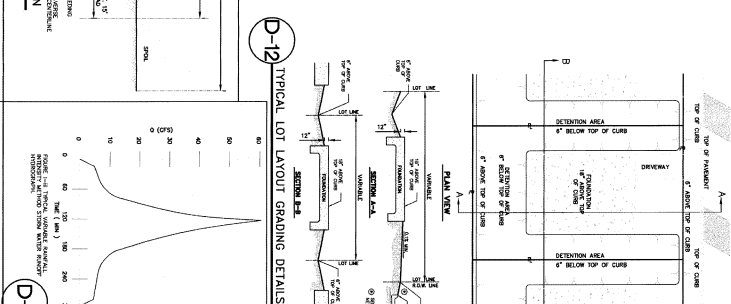
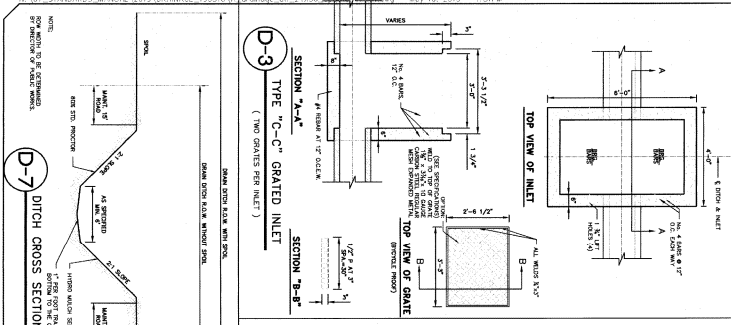


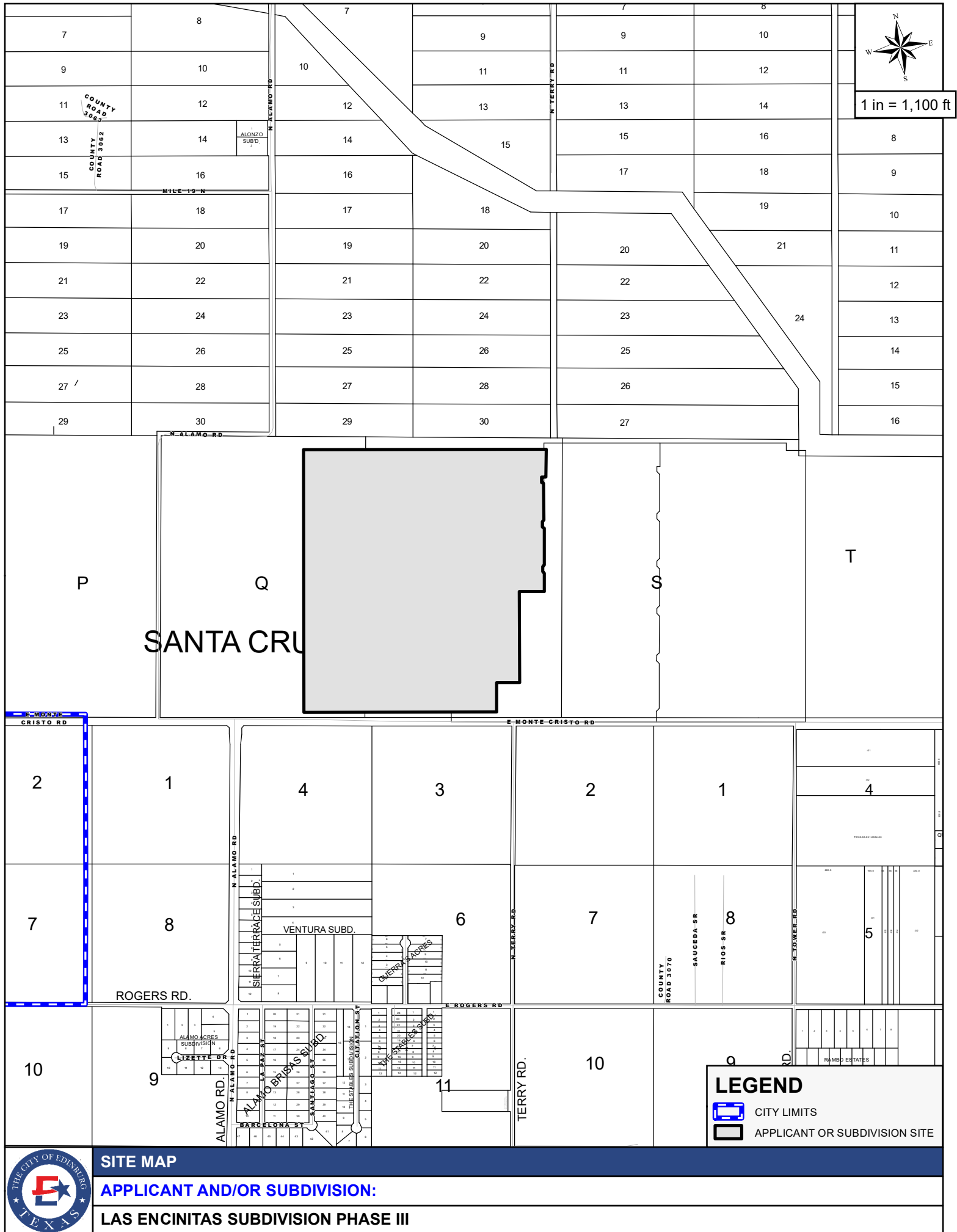
P-22
TYPICAL ENTRANCE PROFILE FOR DRIVEWAYS W/OUT C&G
ENTRANCE PROFILE FOR
DRIVEWAYS WITHOUT C&G



P-23
TYPICAL BANNER
DETAIL

NOTES:
1. THE SIDEWALK SHALL BE CONCRETE WITH A FINISH OF BROOM.
2. THE SIDEWALK SHALL BE 3 FEET WIDE.
3. THE SIDEWALK SHALL BE 3 FEET WIDE.
4. THE SIDEWALK SHALL BE 3 FEET WIDE.
5. THE SIDEWALK SHALL BE 3 FEET WIDE.
6. THE SIDEWALK SHALL BE 3 FEET WIDE.
7. THE SIDEWALK SHALL BE 3 FEET WIDE.
8. THE SIDEWALK SHALL BE 3 FEET WIDE.
9. THE SIDEWALK SHALL BE 3 FEET WIDE.
10. THE SIDEWALK SHALL BE 3 FEET WIDE.





**SUBDIVISION WITHIN CITY LIMITS CHECK LIST
SUBDIVISION PROCESS**
PRELIMINARY STAGE

PLANNING & ZONING DEPARTMENT (956) 388-8202

 Date : May 4, 2022

Date Filed: <u>April 14, 2022</u>	P&Z Preliminary: <u>May 12, 2020</u>	P&Z Final: _____	City Council: _____
Reviewed By: <u>Abel Beltran, Subd. Coor.</u> abeltran@cityofedinburg.com	Staff Review : <u>April 23, 2020</u> Staff / Engineer : <u>April 30, 2020</u>	Time Line : <u>365</u> Days 1st Extension : <u>0</u> Days 2nd Extension : <u>0</u> Days	Expires : _____ Expires 1: _____ Expires 2: _____

Planning & Zoning Department:	Kimberly A. Mendoza, MPA	Email : kmendoza@cityofedinburg.com	City Office #: (956) 388-8202
Director of Utilities	Gerardo Carmona, P.E.	Email : gcarmona@cityofedinburg.com	City Office #: (956) 388-8212
Director of Public Works	Vincent Romero,	Email : layala@cityofedinburg.com	City Office #: (956) 388-8210
Director of Engineering	Mardoqueo Hinojosa, P.E., CPM	Email : mhinojosa@cityofedinburg.com	City Office #: (956) 388-8211

Owner:	CWL Limited By: Three, LLC.		P.O. Box 118 Edinburg, TX 78540		Alfonso Quintanilla, P.E., Project Engineer	
LAS ENCINITAS SUBDIVISION PHASE III				Consultant : Quintanilla, Headley & Associates, Inc.		
DESCRIPTION		Provided	Need to Provide	Not Applicable	Need to Revise	COMMENTS

Subdivision Process:

Subdivision Plat Submittal	✓				
Warranty Deed	✓				
Topography Survey	✓				
Drainage Report Submittal (As Per City Drainage Policy)	✓				Approved by H.C.D.D.#1 Date: Pending Approval
Zoning : City Limits - Residential	✓				
Flood Zone	✓				Zone "X" (Shaded) Panel # 4800334 0325 D LOMR 5/17/2001

Preliminary Submittals:

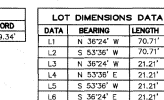
Existing & Proposed Water Distribution Layout	✓				North Alamo Water Supply Corporation - Water Distribution System
Water Distribution System Provider:	✓				North Alamo Water Supply Corporation - Water Distribution System
Existing & Proposed Sewer Collection Layout	✓				County of Hidalgo O.S.S.F., (On-Site Sewage Facility)
Sanitary Sewer Collection System Provider:	✓				County of Hidalgo O.S.S.F., (On-Site Sewage Facility)
Existing and Proposed Drainage Layout System:	✓				Private Drainage System onto H.C.D.D. # 1
MPO Collector / Arterial Right-of-way Dedication	✓				Proposed Private Streets
Minor / Major Collector Street Pavement Section	✓				In Accordance to Standard Street Policy
Variances Appeals Request:		✓			Planning & Zoning Meeting Results City Council Meeting
Street Widening Improvements		✓			
Street 5-ft Sidewalk Improvements		✓			
Drainage Improvements		✓			

Construction Plans Review Submittals:

(See Section 4 Construction Plans Submittals Policy, 2014 STANDARD POLICY MANUAL)

Cover Sheet	✓				
Topography Sheet (Utilities, Bench Marks)	✓				
Sanitary Sewer Improvements: On-Site & Off-Site	✓				County of Hidalgo O.S.S.F., (On-Site Sewage Facility)
Sanitary Sewer Detail Sheets	✓				County of Hidalgo O.S.S.F., (On-Site Sewage Facility Details)
Water Distribution Improvements: On-Site & Off-Site	✓				North Alamo Water Supply Standard Policy's
Water Distribution Detail Sheet (Fire Hydrant Assembly)	✓				See Section 3 Utility Policy, 2014 Standard Policy Manual
Drainage Improvements:	✓				
Drainage Detail Sheets	✓				See Section 1 Drainage Policy, 2014 Standard Policy Manual
Minor/Major Collector Streets Improvements:	✓				See Section 2 Streets Policy, 2014 Standard Policy Manual
Street Sign Sheet:	✓				
Street Detail Sheets	✓				See Section 2 Streets Policy, 2014 Standard Policy Manual
Street Lighting Sheet:	✓				
Traffic Control Plan:	✓				
Erosion Control Plan	✓				
Erosion Control Plan Detail Sheet	✓				See Storm Water Management, 2014 Standard Policy Manual

DESCRIPTION	Provided	Need to Provide	Not Applicable	Need to Revise	COMMENTS
Pre-Construction Meeting:					
Notice To Proceed	√				Dated:
Roadway Open-Cut or Bore Permit Application	√				Dated:
TX-Dot Water UIR Permit	√				
TX-Dot Sewer UIR Permit	√				
N.O.I. Submittal	√				Dated:
SWPP Booklet Submittal	√				Dated:
RFI #1 Request	√				Dated:
Change Orders	√				Dated:
Final Walk Though	√				Dated:
Punch List	√				Dated:
Punch List (Completed and Approved)	√				Dated:
Letter of Acceptance	√				Dated:
1-year Guarantee (Water/Sewer/Paving/Drainage)	√				Dated:
Backfill Testing Results	√				Dated:
As-Builts (Revised Original Submittal)	√				Dated:
Recording Process:					
Public Improvements with (Letter of Credit)		√			Dated: Expires:
Recording Fees	\$ 106.00	√			As required by County Clerks office
Copy of H.C.D.D. #1 of invoice	\$ 250.00	√			Required to be paid prior to Final Stages
Street Escrow -Flag Drive (43-ft.)	\$ -	√			Required: 0 EA. @ \$ -
Street Escrow - (00-ft B-B)			√		Required: 0 EA. @ \$ -
Sidewalk / ADA Ramp Escrow: Flag Drive	\$ -	√			Required: 0 LF @ \$ -
TOTAL OF ESCROWS:	\$ -				
Total Developer's Construction Cost: (Letter of Credit)					Date : Lender :
Laboratory Testing Fee: 3%	\$ -	√			\$ - Estimated Construction Cost
Inspection Fee: 2%	\$ -	√			\$ - Final Construction Cost
Park Land Fees: Park Zone # 5	\$ 54,900.00	√			183 Lots @ \$ 300.00 Full rate within the ETJ
0 Residential \$ -	\$ -		√		50% Development 50% Building Stage
0 Multi-Family \$ -	\$ -		√		0% Development 0% Building Stage
Water Rights: NAWSC - CCN	\$ -		√		0.00 Acres \$ 2,896.81
Water 30-year Letter (Residential)	\$ -		√		183 Lots @ \$ - NAWSC - CCN
Water 30-year Letter (Multi-Family)	\$ -		√		0 Lots @ \$ -
Sewer 30-year Letter County O.S.S.F.	\$ -		√		0 Lots @ \$ - O.S.S.F. System
TOTAL OF FEES:	\$ 54,900.00				
Reimbursements:					
Developer Sewer Improvements	\$ -		√		Off-Site System: 0.000 AC \$ -
Developer Water Improvements	\$ -		√		Off-Site System 0.00 AC \$ -
TOTAL OF REINBURSEMENTS:	\$ -				
Buyouts:					
North Alamo Water Supply Corporation	\$ -		√		Required Buyout 0.00 AC. \$ -
Sharyland Water Supply Corporation			√		Not Applicable
Tax Certificates					
County of Hidalgo / School District		√			
Water District		√			Hidalgo County Irrigation District # 1
Total of Escrows, Fees, Reimbursements and Buyouts:					
Escrows	\$ -				Street & Sidewalk Improvements for Trenton Road (Not Required)
Inspections other Fees	\$ 54,900.00				Parkland Fees, Water/Sewer 30-year Agreement/Water Rights
Reimbursements	\$ -				Reimbursement to the Developer of Subdivision
City of Edinburg	\$ -				15% Payable to the City of Edinburg for Administrative Fee
To the Developer of Record	\$ -				85% Payable to the Developer of Record Owner / Developer
Buyouts	\$ -				Based on Subdivision (Need Request and Approval rate from ? Broad)
TOTAL :	\$ 54,900.00				Developer Total Cost of Fees, Escrows, Reimbursements & Buyouts



F1106.02	TVA F1106.02 P 1	NON FUSIONE-GLASSI SP 7	C.C. 1 C.C. 8 9 10 11 SP 7

**SUBDIVISION WITHIN CITY LIMITS CHECK LIST
SUBDIVISION PROCESS**
PRELIMINARY STAGE

PLANNING & ZONING DEPARTMENT (956) 388-8202

 Date : May 4, 2022

Date Filed: <u>April 14, 2022</u>	P&Z Preliminary: <u>May 12, 2020</u>	P&Z Final: _____	City Council: _____
Reviewed By: <u>Abel Beltran, Subd. Coor.</u> abeltran@cityofedinburg.com	Staff Review : <u>April 23, 2020</u> Staff / Engineer : <u>April 30, 2020</u>	Time Line : <u>365</u> Days 1st Extension : <u>0</u> Days 2nd Extension : <u>0</u> Days	Expires : _____ Expires 1: _____ Expires 2: _____

Planning & Zoning Department:	Kimberly A. Mendoza, MPA	Email : kmendoza@cityofedinburg.com	City Office #: (956) 388-8202
Director of Utilities	Gerardo Carmona, P.E.	Email : gcarmona@cityofedinburg.com	City Office #: (956) 388-8212
Director of Public Works	Vincent Romero,	Email : layala@cityofedinburg.com	City Office #: (956) 388-8210
Director of Engineering	Mardoqueo Hinojosa, P.E., CPM	Email : mhinojosa@cityofedinburg.com	City Office #: (956) 388-8211

Owner:	CWL Limited By: Three, LLC.			P.O. Box 118 Edinburg, TX 78540		Alfonso Quintanilla, P.E., Project Engineer		
LAS ENCINITAS SUBDIVISION PHASE III					Consultant : Quintanilla, Headley & Associates, Inc.			
DESCRIPTION				Provided	Need to Provide	Not Applicable	Need to Revise	COMMENTS

Subdivision Process:

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Warranty Deed	✓				
Topography Survey	✓				
Drainage Report Submittal (As Per City Drainage Policy)	✓				Approved by H.C.D.D.#1 Date: Pending Approval
Zoning : City Limits - Residential	✓				
Flood Zone	✓				Zone "X" (Shaded) Panel # 4800334 0325 D LOMR 5/17/2001

Preliminary Submittals:

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Minor / Major Collector Street Pavement Section	✓				In Accordance to Standard Street Policy
Variances Appeals Request:		✓			Planning & Zoning Meeting Results City Council Meeting
Street Widening Improvements		✓			
Street 5-ft Sidewalk Improvements		✓			
Drainage Improvements		✓			

Construction Plans Review Submittals:
(See Section 4 Construction Plans Submittals Policy, 2014 STANDARD POLICY MANUAL)

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Topography Sheet (Utilities, Bench Marks)	✓				
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Sanitary Sewer Detail Sheets	✓				County of Hidalgo O.S.S.F., (On-Site Sewage Facility Details)
Water Distribution Improvements: On-Site & Off-Site	✓				North Alamo Water Supply Standard Policy's
Water Distribution Detail Sheet (Fire Hydrant Assembly)	✓				See Section 3 Utility Policy, 2014 Standard Policy Manual
Drainage Improvements:	✓				
Drainage Detail Sheets	✓				See Section 1 Drainage Policy, 2014 Standard Policy Manual
Minor/Major Collector Streets Improvements:	✓				See Section 2 Streets Policy, 2014 Standard Policy Manual
Street Sign Sheet:	✓				
Street Detail Sheets	✓				See Section 2 Streets Policy, 2014 Standard Policy Manual
Street Lighting Sheet:	✓				
Traffic Control Plan:	✓				
Erosion Control Plan	✓				
Erosion Control Plan Detail Sheet	✓				See Storm Water Management, 2014 Standard Policy Manual

DESCRIPTION	Provided	Need to Provide	Not Applicable	Need to Revise	COMMENTS
Pre-Construction Meeting:					
Notice To Proceed	√				Dated:
Roadway Open-Cut or Bore Permit Application	√				Dated:
TX-Dot Water UIR Permit	√				
TX-Dot Sewer UIR Permit	√				
N.O.I. Submittal	√				Dated:
SWPP Booklet Submittal	√				Dated:
RFI #1 Request	√				Dated:
Change Orders	√				Dated:
Final Walk Though	√				Dated:
Punch List	√				Dated:
Punch List (Completed and Approved)	√				Dated:
Letter of Acceptance	√				Dated:
1-year Guarantee (Water/Sewer/Paving/Drainage)	√				Dated:
Backfill Testing Results	√				Dated:
As-Builts (Revised Original Submittal)	√				Dated:
Recording Process:					
Public Improvements with (Letter of Credit)		√			Dated: Expires:
Recording Fees	\$ 106.00	√			As required by County Clerks office
Copy of H.C.D.D. #1 of invoice	\$ 250.00	√			Required to be paid prior to Final Stages
Street Escrow -Flag Drive (43-ft.)	\$ -	√			Required: 0 EA. @ \$ -
Street Escrow - (00-ft B-B)			√		Required: 0 EA. @ \$ -
Sidewalk / ADA Ramp Escrow: Flag Drive	\$ -	√			Required: 0 LF @ \$ -
TOTAL OF ESCROWS:	\$ -				
Total Developer's Construction Cost: (Letter of Credit)					Date : Lender :
Laboratory Testing Fee: 3%	\$ -	√			\$ - Estimated Construction Cost
Inspection Fee: 2%	\$ -	√			\$ - Final Construction Cost
Park Land Fees: Park Zone # 5	\$ 54,900.00	√			183 Lots @ \$ 300.00 Full rate within the ETJ
0 Residential \$ -	\$ -		√		50% Development 50% Building Stage
0 Multi-Family \$ -	\$ -		√		0% Development 0% Building Stage
Water Rights: NAWSC - CCN	\$ -		√		0.00 Acres \$ 2,896.81
Water 30-year Letter (Residential)	\$ -		√		183 Lots @ \$ - NAWSC - CCN
Water 30-year Letter (Multi-Family)	\$ -		√		0 Lots @ \$ -
Sewer 30-year Letter County O.S.S.F.	\$ -		√		0 Lots @ \$ - O.S.S.F. System
TOTAL OF FEES:	\$ 54,900.00				
Reimbursements:					
Developer Sewer Improvements	\$ -		√		Off-Site System: 0.000 AC \$ -
Developer Water Improvements	\$ -		√		Off-Site System 0.00 AC \$ -
TOTAL OF REINBURSEMENTS:	\$ -				
Buyouts:					
North Alamo Water Supply Corporation	\$ -		√		Required Buyout 0.00 AC. \$ -
Sharyland Water Supply Corporation			√		Not Applicable
Tax Certificates					
County of Hidalgo / School District		√			
Water District		√			Hidalgo County Irrigation District # 1
Total of Escrows, Fees, Reimbursements and Buyouts:					
Escrows	\$ -				Street & Sidewalk Improvements for Trenton Road (Not Required)
Inspections other Fees	\$ 54,900.00				Parkland Fees, Water/Sewer 30-year Agreement/Water Rights
Reimbursements	\$ -				Reimbursement to the Developer of Subdivision
City of Edinburg	\$ -				15% Payable to the City of Edinburg for Administrative Fee
To the Developer of Record	\$ -				85% Payable to the Developer of Record Owner / Developer
Buyouts	\$ -				Based on Subdivision (Need Request and Approval rate from ? Broad)
TOTAL :	\$ 54,900.00				Developer Total Cost of Fees, Escrows, Reimbursements & Buyouts



STAFF REPORT: SOL ALEGRE PHASE 2 SUBDIVISION

Date Prepared: April 27, 2022
Planning and Zoning Meeting: May 10, 2022
Agenda Item: **9B** Preliminary Plat

Subject: Consider the Preliminary Plat of **SOL ALEGRE PHASE 2 SUBDIVISION**, being a 15.15 acre tract of land out of Lots 3, 4, 5, and 6, Block 37, Amended Map of Santa Cruz Gardens Unit No. 2, located at 1001 East Flag Drive, as requested by Melden & Hunt, Inc.

Location: The property is located on the north side of East Flag Drive, approximately 1,380 ft. east of U.S. Highway 281, property is within the City of Edinburg's city limits.

Setbacks: Front 25 ft., Side 6 ft., and Rear: 20 ft.

Zoning: Setbacks established prior to final plat as per City of Edinburg Unified Development Code for residential requirements.

Analysis: The Preliminary Plat is proposed as a residential development with a total of 90 lots that average approximately (5,200) square feet.

Utilities: Water Distribution System will provided by City of Edinburg Water Distribution System and with extending a Sanitary Sewer System to serve each lot. All utility improvements within the proposed subdivision that are not limited to water system, sewer system, curb & gutter, and fire hydrants will be installed by the developer in accordance with County Standards.

Recommendations:

City of Edinburg Planning & Zoning Department:

Staff recommends approval of the Preliminary Plat, subject to compliance with the Unified Development Code, General Notes; on FEMA flood zone, zoning, setbacks, finish floor elevation, benchmark, drainage detention, parkland fees, SWP3 requirements, sidewalks, and other notes as required based on development.

City of Edinburg Engineering / Utilites Department:

Preliminary Phase Submittal comments for this subvission are included in the packet. As per

Engineering, the plat shall be Preliminarily Approved until all comments have been addressed by the project engineer.

City of Edinburg Fire Department:

The following are the preliminary phase submittal comments as noted by the Fire Department:

1. Provide street names to the City of Edinburg Engineering Department for approval.
2. Fire lane 15 ft. in width shall be painted in front of all fire hydrants.
3. Provide double face blue fire hydrant street marker on center on the street in front of the fire hydrant.
4. Fire hydrant shall be every 300-ft. for commercial general district as per Section 507.5.1 of 2012 IFC.
5. All streets should be based as per 2014 Standards Manual Standards, Construction & Development Requirements.

City of Edinburg Storm Water:

The following are the preliminary phase submittal comments as noted by Storm Water:

1. **SW3P** (Stormwater Pollution Prevention Plan)
2. **NOI** (Notice of Intent, Per TCEQ)
3. **Large Construction Notice** (Per TCEQ Inventory)
4. **Detailed Erosion Control Plan** (Silt Fence, Construction Entrance, Inlet Protection, Concrete Washout)
5. **Detailed Post Construction BMP's Plan** (70% Vegetation or Silt Fence back of curb)
6. **Plat Note** (All construction shall comply with Stormwater Pollution Prevention Plan (SW3P) requirements. Erosion and Sedimentation Controls constructed in accordance with the Stormwater Ordinance 98.30 of the City of Edinburg are required for all construction on each lot including single family and duplex/multi-family construction)
7. **NOT** (Notice of Termination, Per TCEQ) will now be required before the final walk through.
8. **Comments:**
 - SW3P Plat note has been revised. Please see the note for your reference.
 - NOT will need to be submitted before the final walk through.
 - Stormwater is now requiring a Post Construction Plan on plans that are submitted, either 70% vegetation or Install Silt Fence behind the back of curb.
 - Silt Fence around the entire project.
 - Large Construction Notice needs to be submitted with contractors contact information.
 - All items must be submitted before the NTP is issued.
 - Please email pending items to rvalenzuela@cityofedinburg.com



City of Edinburg Solid Waste:

Residential District Development within the City of Edinburg ETJ.



ENGINEERING DEPARTMENT

Preliminary Staff Review

May 6, 2022

Mario A. Reyna, P.E.

Melden & Hunt, inc.
115 W. McIntyre.
Edinburg, TX 78541
(956) 381-0981

RE: SOL ALEGRE PHASE II SUBDIVISION – PRELIMINARY REVIEW

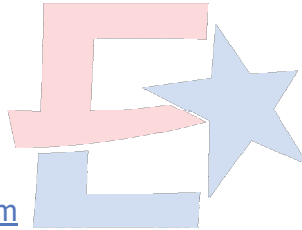
Mr. Reyna,

Attached are the Preliminary Phase Submittal comments for Sol Alegre Phase II Subdivision. Submittal is adequate as presented and recommended for preliminary approval.

Any questions feel free to contact us.

Thanks,

Digitally signed by Peter
Hermida
Date: 2022.05.06
10:49:14 -05'00'



Peter Hermida E.I.T.

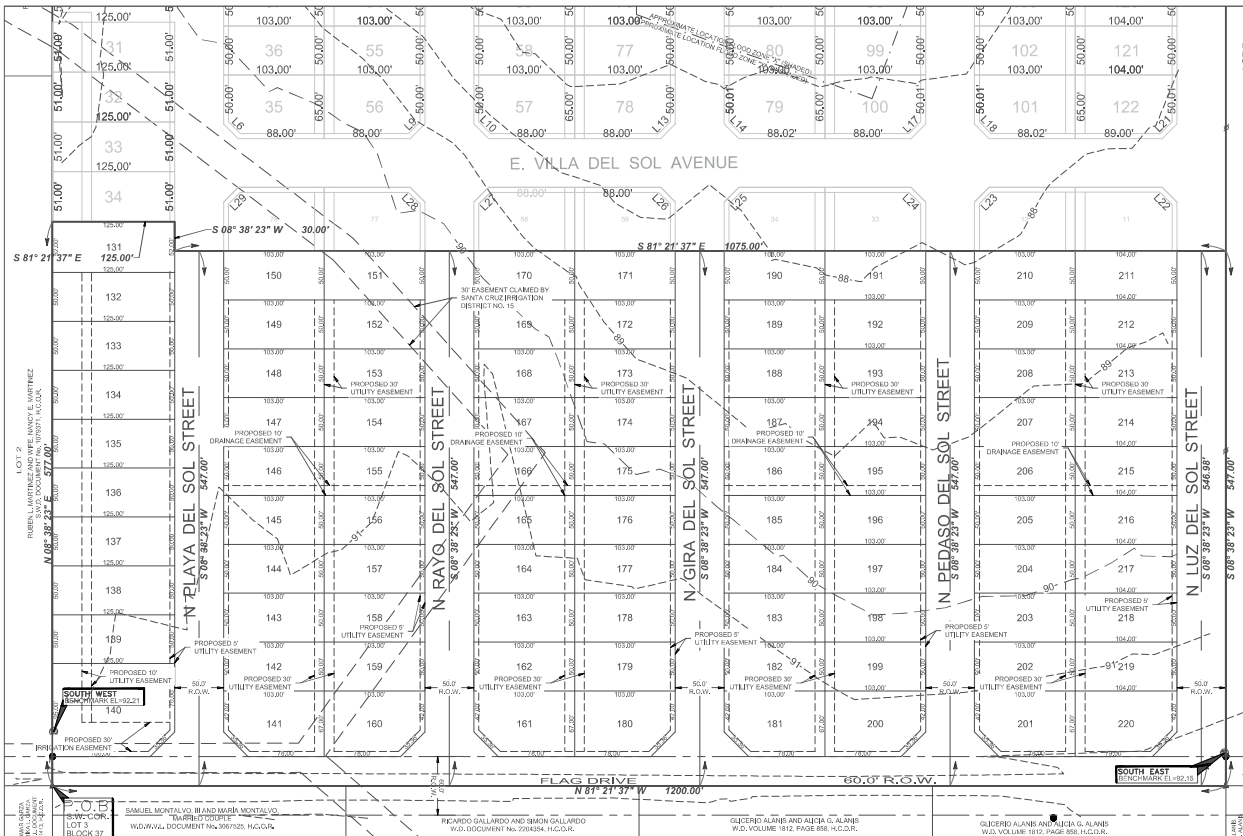
Email: phermida@cityofedinburg.com

415 W. University Drive
Edinburg, Texas 78539

Cc: Mardoqueo Hinojosa, P.E., CFM, City Engineer, Patrizia Longoria, Engineer III, Roberto Hernandez, Engineer I, Abel Beltran, Planner I, Vince Romero, Director of Public Works, Robert Valenzuela, Storm Water Specialist, Kimberly Mendoza, Director of Planning and Zoning, Rita Lee Guerrero, Planner I, Jaime Xavier Ayala, Planner II, Gerardo Carmona P.E., Director of Utilities, Jose Flores, Systems Superintendent, Omar Garza, Fire Marshal, Ramiro Gomez, Director of Solid Waste

REFERENCES:

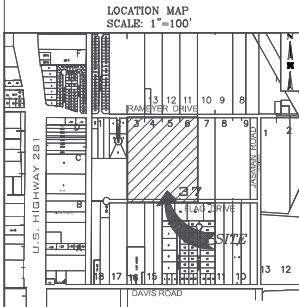
City of Edinburg – 2014 Standard Manual – Construction and Development Requirements; Unified Development Code; and if required a TX-Dot Permitting UIR permitting process.



**SUBDIVISION MAP OF
SOL ALEGRE SUBDIVISION
PHASE 2**
A TRACT OF LAND CONTAINING 15.155 ACRES SITUATED IN THE
COUNTY OF HIDALGO, TEXAS BEING ALL OF LOTS 3, 4, 5 AND 6,
BLOCK 37, AMENDED MAP SUBDIVISION OF SANTA CRUZ
GARDENS UNIT NO. 2

METES AND BOUNDS DESCRIPTION:

- A TRACT OF LAND CONTAINING 15.155 ACRES SITUATED IN THE COUNTY OF HIDALGO, TEXAS, BEING ALL OF LOTS 3, 4, 5 AND 6, BLOCK 37, AMENDED MAP SUBDIVISION OF SANTA CRUZ GARDENS UNIT NO. 2, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 8, PAGE 79-83, HIDALGO COUNTY MAP RECORDS, S.A.D. 15.155 ACRES WERE CONVEYED TO E & CHAPA INVESTMENTS, L.L.C. A TEXAS LIMITED LIABILITY COMPANY, BY VIRTUE OF A WARRANTY DEED WITH VENDORS' LBN RECORDED UNDER DOCUMENT NUMBER 310244, HIDALGO COUNTY OFFICIAL RECORDS, S.A.D. 15.155 ACRES ALSO BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
- BEGINNING AT A COTTON PICKER SPINDLE FOUND AT THE SOUTHWEST CORNER OF SAID LOT 3, BLOCK 37:
- THENCE, N 0° 32' 23" E A DISTANCE OF 30.00 FEET PASS A NO. 4 REBAR FOUND ON THE NORTH RIGHT-OF-WAY LINE OF FLAG DRIVE, CONTINUING A TOTAL DISTANCE OF 87.00 FEET FOR THE NORTHWEST CORNER OF THIS TRACT;
 - THENCE, S 81° 21' 37" E A DISTANCE OF 125.00 FEET TO A NO. 4 REBAR SET FOR AN OUTSIDE CORNER OF THIS TRACT;
 - THENCE, S 0° 38' 32" W A DISTANCE OF 30.00 FEET TO A NO. 4 REBAR SET FOR AN INSIDE CORNER OF THIS TRACT;
 - THENCE, S 81° 21' 37" E A DISTANCE OF 107.50 FEET TO A NO. 4 REBAR SET FOR THE NORTHEAST CORNER OF THIS TRACT;
 - THENCE, S 0° 38' 32" W ALONG THE EAST LINE OF SAID LOT 6, AT A DISTANCE OF 57.00 FEET PASS A NO. 4 REBAR FOUND ON THE NORTH RIGHT-OF-WAY LINE OF FLAG DRIVE, CONTINUING A TOTAL DISTANCE OF 84.00 FEET TO A COTTON PICKER SPINDLE FOUND AT THE SOUTHEAST CORNER OF SAID LOT 6, FOR THE SOUTHEAST CORNER OF THIS TRACT;
 - THENCE, N 81° 21' 37" W ALONG THE SOUTH LINE OF SAID LOTS 3, 4, 5 AND 6 AND WITHIN THE EXISTING RIGHT-OF-WAY OF FLAG DRIVE A DISTANCE OF 1,200.00 FEET TO THE POINT OF BEGINNING AND CONTAINING 15.155 ACRES, OF WHICH 15.00 OF ONE ACRE LIES WITHIN THE EXISTING RIGHT-OF-WAY OF FLAG DRIVE, LEAVING A NET OF 143.00 ACRES OF LAND, MORE OR LESS.



LEGEND

- PROPERTY LINE
- PROPOSED STREET CENTERLINE
- EXISTING CONTOUR LINE
- FOUND REBAR
- SET NO. 4 REBAR WITH PLASTIC CAP STAMPED MELDEN & HUNT
- NET MEAS.
- EDGE OF ASPHALT TO EDGE OF ASPHALT
- RIGHT OF WAY
- HIDALGO COUNTY MAP RECORDS
- HIDALGO COUNTY OFFICIAL RECORDS
- NORTHEAST CORNER
- NOT TO SCALE
- WARRANTY DEED WITH VENDORS' LBN
- HIDALGO COUNTY INHERITANCE DISTRICT
- POINT OF BEGINNING
- POINT OF BEGINNING
- SPECIAL WARRANTY DEED

GENERAL PLAT NOTES & RESTRICTIONS

- BUILDING SETBACKS:**
 - FRONT YARD SETBACK LINE SHALL BE TWENTY (20) FEET OR EASEMENT WHICHEVER IS GREATER.
 - REAR YARD SETBACK LINE SHALL BE TWENTY (20) FEET OR EASEMENT WHICHEVER IS GREATER.
 - SIDE YARD SETBACK LINE SHALL BE SIX (6) FEET OR EASEMENT WHICHEVER IS GREATER.
 - CORNER YARD SETBACK SHALL BE FIFTEEN (15) FEET OR EASEMENT WHICHEVER IS GREATER.
- FLOOD ZONE "X" SHADED & UNSHADED, ZONE "X" UNSHADED IS DEFINED AS "AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOOD PLAIN, ZONE "X" SHADED IS DEFINED AS "AREAS OF 500-YEAR FLOOD AREAS OF 100-YEAR FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE AND AREA PROTECTED BY LEVEES FROM 100-YEAR FLOOD."**
- OUT PARCEL "A" SHALL BE FOR LEFT STATION USE ONLY.**
- MINIMUM FINISHED FLOOR ELEVATION SHALL BE 18 INCHES ABOVE THE TOP OF CURB OR BASE FLOOD ELEVATION WHICH EVER IS GREATER.**
- ZONE CLASSIFICATION AUTOMOBILE RESIDENTIAL.**
- A FIVE (5) FOOT SIDEWALK WITH ADA RAMPS THREE (3) FEET BEHIND THE BACK OF CURB IS REQUIRED AT THE BUILDING PERMIT STAGE.**
- SIDEWALK WITH ADA RAMPS SHALL BE REQUIRED DURING SUBDIVISION DEVELOPMENT ALONG THE SOUTH SIDE OF RAMSEY DRIVE AND ALONG THE EAST SIDE OF N. DEL SOL STREET.**
- NO PERMANENT STRUCTURES SHALL BE ALLOWED WITHIN UTILITY EASEMENTS, GAS EASEMENTS, IRRIGATION EASEMENTS OR LOT LINES.**
- ALL INTERIOR LOT CORNERS WILL HAVE A NO. 4 REBAR SET WITH PLASTIC CAP STAMPED MELDEN & HUNT, INC.**
- BENCHMARK NO. 1: 1" HWM MONUMENT SET IN CONCRETE LOCATED AT THE EAST LINE OF LOT 2.**
N. 108°14'00"E, 1'10.00" S, 200.00' EL. 100.00'
- BENCHMARK NO. 2: 1" HWM MONUMENT SET IN CONCRETE LOCATED AT THE SOUTH CLIP AT THE SOUTHEAST CORNER OF LOT 14.**
N. 108°14'00"E, 1'10.00" S, 200.00' EL. 100.00'
- NO MORE THAN ONE SINGLE FAMILY DETACHED DWELLING SHALL BE LOCATED PER LOT.**
- ALL CONSTRUCTION SHALL COMPLY WITH STORM WATER POLLUTION PREVENTION PLAN (SWPP) REQUIREMENTS.**
- DRAINAGE NOTE:**
IN ACCORDANCE WITH THE HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 AND HIDALGO COUNTY DRAINAGE REQUIREMENTS, THIS DEVELOPMENT IS REQUIRED TO DETAIN A TOTAL OF 220,763 G.P.D. (1.13 A.C.F.T.) OF STORM WATER RUNOFF, DRAINAGE DETENTION IN ACCORDANCE WITH THE LOCAL REQUIREMENTS WILL BE COMPLETED AS STATED IN THE DRAINAGE REPORT.
- LOTS 1 THROUGH 18 SHALL HAVE NO ACCESS FROM RAMSEY DRIVE.**
- ALL LOTS SHALL HAVE A POST DEVELOPMENT FINISH GRADE FROM THE REAR OF THE LOT TO THE CURB AND/OR ROADSIDE STOP AT A 1% SLOPE TO ACCOMPLISH POSITIVE DRAINAGE. THIS IS IN ACCORDANCE WITH HIDALGO COUNTY APPENDIX 5: COUNTY CONSTRUCTION.**

STATE OF TEXAS

COUNTY OF HIDALGO
I, THE UNDERSIGNED, MARIA A. REYNA, A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN TO THIS PLAT.
DATED THIS _____ DAY OF _____, 20____.

MARIA A. REYNA, PROFESSIONAL ENGINEER NO. 117368
ENGINEERING JOB # 20051.00



Lot Area Table

Lot #	SQ. FT.	Area
131	6,488.97	0.148
132	6,488.97	0.148
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Lot Area Table

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STATE OF TEXAS

COUNTY OF HIDALGO
WE, THE UNDERSIGNED, OWNERS OF THE LAND SHOWN ON THIS PLAT AND DESIGNATED HEREIN AS THE SOL ALEGRE SUBDIVISION, BEING ALL OF LOTS 3, 4, 5 AND 6, BLOCK 37, AMENDED MAP SUBDIVISION OF SANTA CRUZ GARDENS UNIT NO. 2, HEREBY CERTIFY TO THE USE OF THE PUBLIC: ALL STREETS, ALLEYS, PARKS, WATER COURSES, DRAINAGE EASEMENTS, AND PUBLIC PLACES THEREON SHOWN FOR THE PURPOSE OF CONSIDERATION THEREIN EXPRESSED.

EAS CHAPAINVESTMENTS, L.L.C.

ELVO CHAPA, MANAGER
340 PALMIST DRIVE
PALMHURST, TEXAS 78153

STATE OF TEXAS

COUNTY OF HIDALGO
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED ELVO CHAPA, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS _____ DAY OF _____, 20____.

NOTARY PUBLIC, IN THE STATES OF TEXAS

MY COMMISSION EXPIRES _____

APPROVED BY IRRIGATION DISTRICT

THIS PLAT APPROVED BY SANTA CRUZ IRRIGATION DISTRICT NO. 18 ON THIS _____

DAY OF _____, 20____, SUBJECT TO THE FOLLOWING:
1. NO IRRIGATION ALLOWED ON TOP OF AN IRRIGATION LINE.
2. FIFTY (50) FEET EASEMENT ON EACH SIDE OF IRRIGATION LINE OR CANAL.
3. ALL LOTS SUBJECT TO RULES, REGULATIONS, RIGHTS-OF-WAY AND EASEMENTS OF DISTRICT; AND
4. IF SUBDIVISION IS NOT EXCLUDED FROM DISTRICT AND IRRIGATION TO NON-INDIVIDUAL LOTS IS DESIRED, EASEMENTS FOR NECESSARY IRRIGATION FACILITIES TO SUCH LOTS FROM THE EXISTING DISTRICT DELIVERY POINT SHALL BE PROVIDED; THE LOT OWNER BEING RESPONSIBLE TO INSTALL NECESSARY FACILITIES.

SECRETARY PRESIDENT

I, THE UNDERSIGNED, CHAIRPERSON OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF EDINBURG, HEREBY CERTIFY THAT THIS SUBDIVISION OF THE SOL ALEGRE SUBDIVISION, BEING ALL OF LOTS 3, 4, 5 AND 6, BLOCK 37, AMENDED MAP SUBDIVISION OF SANTA CRUZ GARDENS UNIT NO. 2, CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEN IN APPROVAL IS REQUIRED.

AND HAS BEEN APPROVED FOR RECORDING ON THE _____ DAY OF _____, 20____.

CHAIRPERSON PLANNING AND ZONING COMMISSION

I, THE UNDERSIGNED, MAYOR OF THE CITY OF EDINBURG, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEN IN APPROVAL IS REQUIRED.

MAYOR CITY OF EDINBURG

CITY SECRETARY

APPROVED BY DRAINAGE DISTRICT:

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEXAS WATER CODE, §48.211 (C). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE PROPOSED SUBDIVISION BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER AND HIS ENGINEER TO MAKE THESE DETERMINATIONS.

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1

RAUL E. SEIN, P.E., C.F.M.
GENERAL MANAGER

STATE OF TEXAS

COUNTY OF HIDALGO

I, FRED L. KURTH, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECTLY MADE FROM AN ACTUAL SURVEY MADE ON THE GROUND OF THE PROPERTY LEGALLY DESCRIBED HEREON, AND THAT THERE ARE NO APPARENT DISCREPANCIES, CONFLICTS, OR OVERLAPping OF IMPROVEMENTS, VISIBLE UTILITY LINES OR ROADS IN PLACE, EXCEPT AS SHOWN ON THE ACCOMPANYING PLAT; AND THAT THE CORNER MONUMENTS SHOWN THEREON WERE PROPERLY PLACED IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS OF THE CITY OF EDINBURG, TEXAS.

DATED THIS _____ DAY OF _____, 20____.

FRED L. KURTH, PROFESSIONAL LAND SURVEYOR No.4750
STATE OF TEXAS

DATE SURVEYED: 08/03/2020
SURVEY JOB # 20051.00



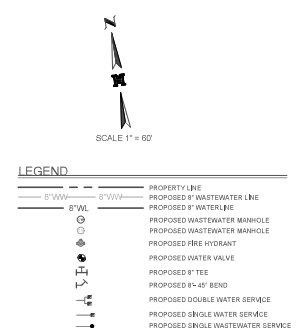
**FILED FOR RECORD IN
HIDALGO COUNTY
ARTURO GILALDEZ, JR.
HIDALGO COUNTY CLERK**

ON: _____ AT _____ AM/PM

INSTRUMENT NUMBER _____

OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS

BY: _____ DEPUTY



OVERALL UTILITY PLAN

SOL ALLEGRE PHASE II SUBDIVISION EDINBURG, TEXAS

22051.00

220521.00

ENC. DESIGNED: 00

PROJECT ENC. MADE:

1-BOOK: _____ PR. _____

1. RELEASE DATE:

2. RELEASE DATE:


3. RELEASE DATE:

SCALE:

REVISION

DATE

BY



MELDEN & HUNT INC.
CONSULTING ENGINEERS & ARCHITECTS
1118 W. HWY. 17, SUITE 101
EDINBURG, TEXAS 77541
PH: (281) 495-3056
FAX: (281) 381-0084
WWW.MELDENANDHUNT.COM
ESTABLISHED 1987

THE SEAL APPEARING ON
THIS DOCUMENT WAS
AUTHORIZED BY
MARK A. RETINA, P.E. 173368

UNNOTED
ALTERATION OF A SEALED DOCUMENT
WITHOUT PROVIDING NOTIFICATION
TO THE RESPONSIBLE ENGINEER
IS AN OFFENSE UNDER THE
TEXAS ENGINEERING PRACTICE LAW


SHEET

01 of 02

File Name: 22051.00



REVISION	DATE	BY



MELDEN & HUNT INC.

CONSULTANTS ENGINEERS SURVEYORS

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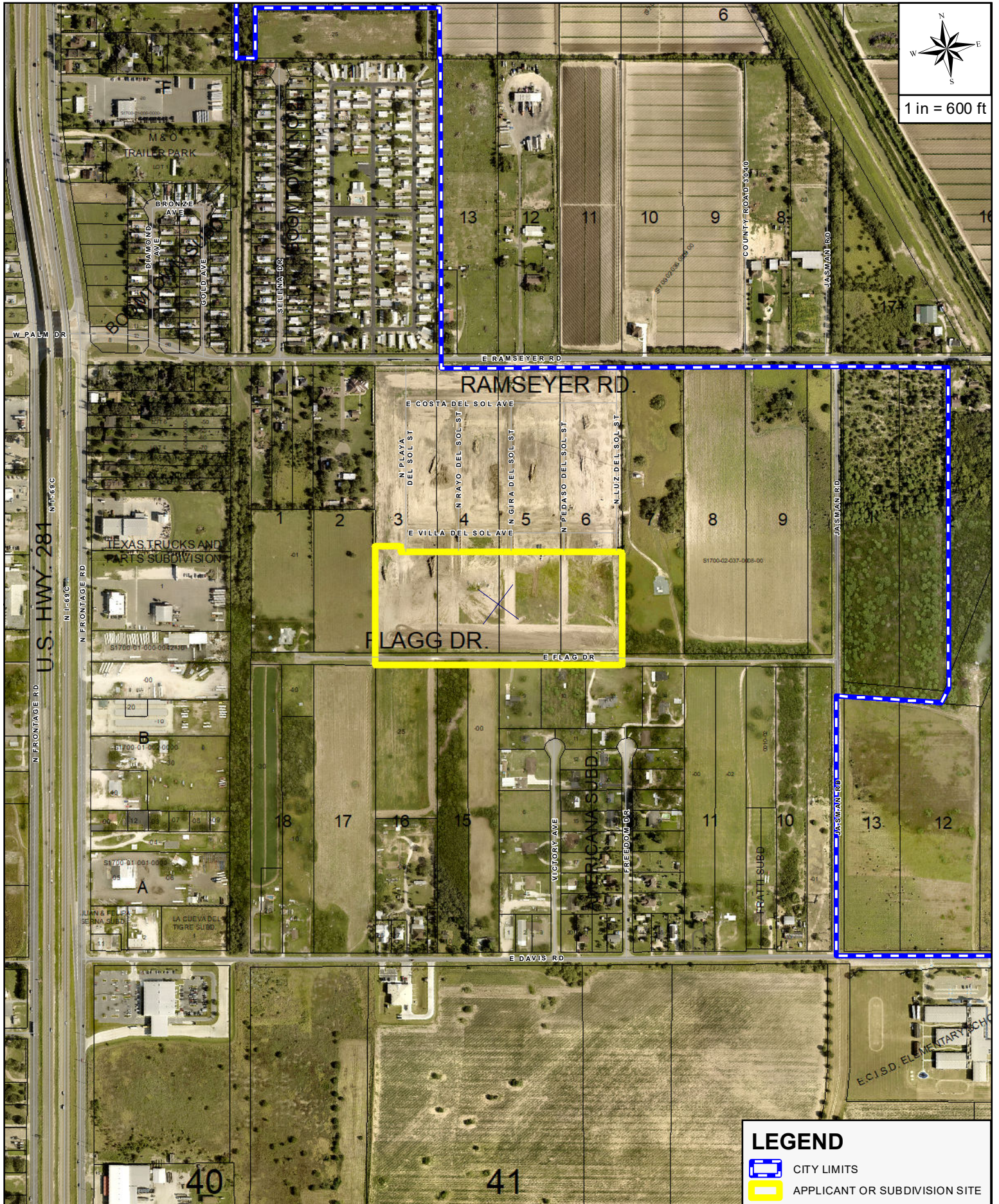
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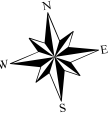
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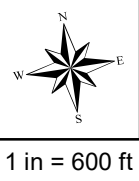
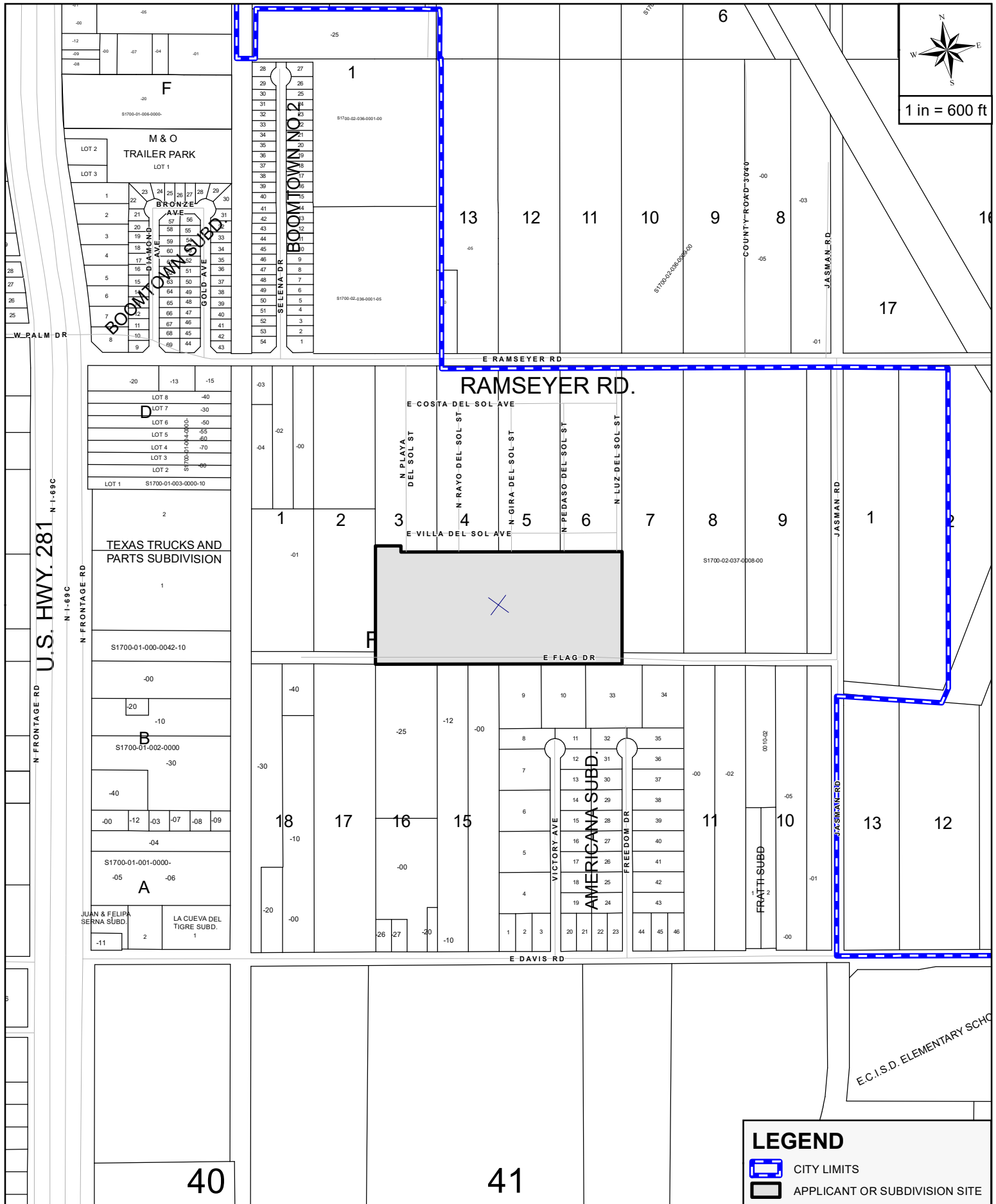
1 in = 600 ft



CITY LIMITS

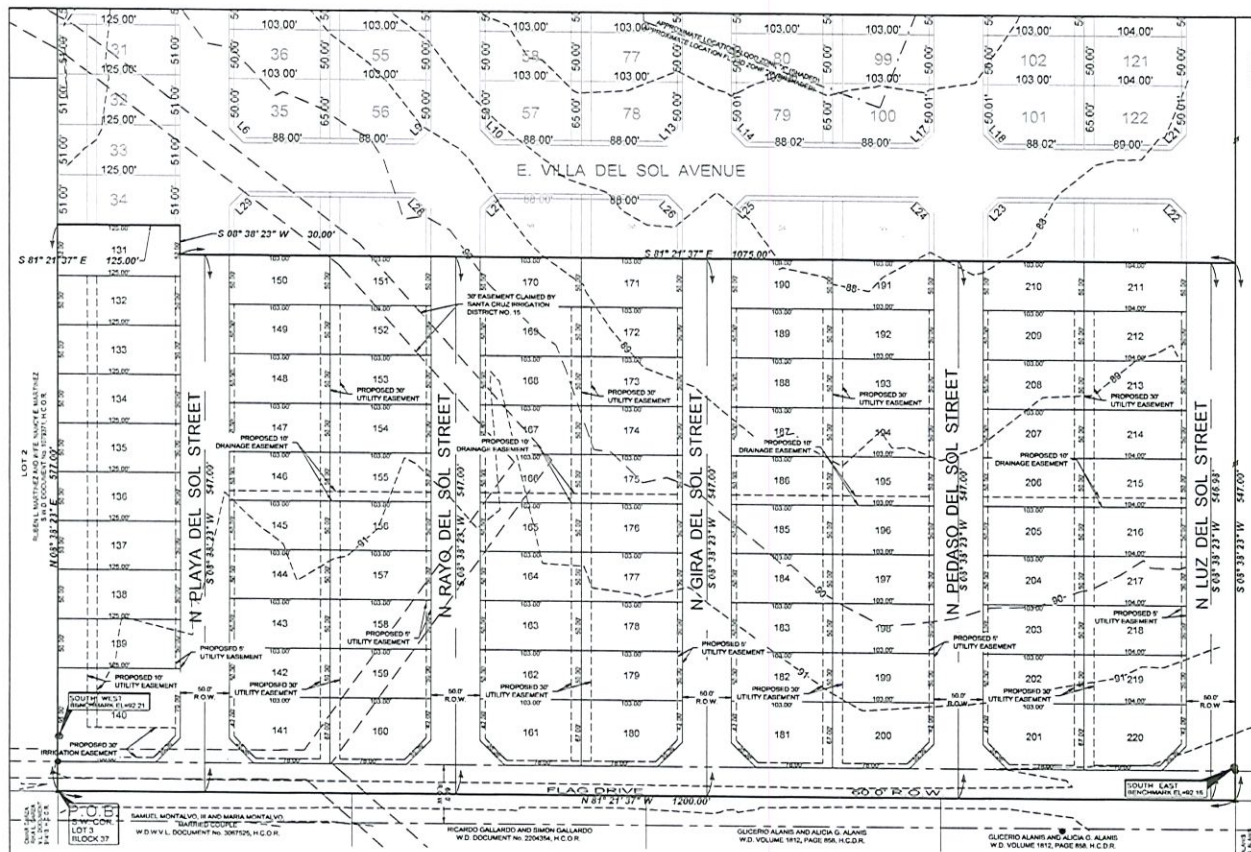


APPLICANT OR SUBDIVISION SITE



LEGEND

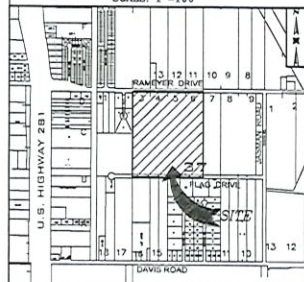
- CITY LIMITS
- APPLICANT OR SUBDIVISION SITE



SUBDIVISION MAP OF SOL ALEGRE SUBDIVISION PHASE 2

A TRACT OF LAND CONTAINING 15.155 ACRES SITUATED IN THE
COUNTY OF HIDALGO, TEXAS BEING ALL OF LOTS 3, 4, 5 AND 6,
BLOCK 37, AMENDED MAP SUBDIVISION OF SANTA CRUZ
GARDENS UNIT NO. 2

LOCATION MAP
SCALE: 1"=100'



MELDEN & HUNT, INC.
TEXAS SURVEYORS & LAND
CONSULTANTS & ENGINEERS
115 W. MOUNTAIN VIEW, EDINBURG, TX 78141
PH: (361) 381-0001 • FAX: (361) 381-1000
ESTABLISHED 1947 • www.meldenandhunt.com

Drawn by: J.E. DATE: 4/13/2022
Surveyed, checked by: DATE: SHEET 3 OF 21 SHEETS

RECEIVED

APR 14 2022

Name: _____



Case #

Edinburg

Planning & Zoning Department
415 W. University Drive
Edinburg, Texas 78539

(956) 388-8202

Subdivision Application

Date: April 13, 2022Request Type: Preliminary PlatFinal Plat1. Developer: E&S Chapa Investments, LLC2. Owner/Contact Name: Eloy Chapa3. Owner/Contact Phone: (956) 381-09814. Owner/Contact Email: mario@meldenandhunt.com5. Owner Address: 2400 Palmhurst Dr. Palmhurst, Texas 78573-83486. Exact Name of Subdivision: Sol Alegre Phase 27. Property ID: 2784808. Current Zoning: AU - Auto-Urban Residential

Required Zoning: _____

10. Legal Description: _____

Being a 15.155 acres o/o Lots 3, 4, 5 & 6 Block 37 Amended Map of Santa Cruz Gardens Unit No. 211. Inside City Limits? Yes If "No," is in the _____ Comprehensive Development Area _____ Rural Development Area12. Primary Consulting Firm: Melden & Hunt, Inc. c/o Mario A. Reyna, P.E. 13. Phone: (956) 381-098114. Consulting Firm Address: 115 W. McIntyre Street Edinburg, Texas 7854115. Consulting Firm Email(s): mario@meldenandhunt.com & lydia@meldenandhunt.com16. Desired Land Use Option: Single Family17. Number of Lots: Single Family 90 Multi-Family _____ Commercial _____ Industrial _____18. Proposed Wastewater Treatment: ☒ Sanitary Sewer _____ OSSF (On-Site Sewage Facility)19. Electric Power and Light Company to Serve the Proposed Subdivision: AEP (Central Power & Light)20. Irrigation District: Santa Cruz No. 15 Potable-water Retailer: City of Edinburg

Owner of record, holding title to real estate within the proposed subdivision. Ownership instrument (i.e. Title Policy, Warranty Deed and Deed of Trust) shall be submitted with application. All such owners are listed immediately below.

Owner Name(s) (Print or Type) <u>E&S Chapa Investments, LLC</u>	Owner Mailing Address & Zip Code <u>400 Palmhurst Dr. Palmhurst, Texas 78573-8348</u>
Owner Phone Number <u>(956) 381-0981</u>	Owner Email <u>c/o mario@meldenandhunt.com</u>

Have any of said owners designated agents to submit and revise this plat application on their behalf? Name: ☒ Yes _____ No (If "Yes" attached duly notarized documentation to that effect, signed by each such owner.)

The undersigned owner(s) of record (or their authorized agents) hereby agree to make all improvements and meet all requirements and standards as specified in the City of Edinburg Unified Development Code and Ordinances. The undersigned hereby request that the Edinburg Planning & Zoning Commission and the City Commission approve the attached subdivision plat. I certify that all items contained in this application and attachments (including all construction plans) are true and correct to the best of my knowledge and not in conflict with any deed restrictions or restrictive covenants. Furthermore, I understand that any omission or incorrect information may result in approval or permit being denied or revoked. Developer's requirement sheet must be completed, signed, and submitted with the application form.

Signature



Digitally signed by Mario A. Reyna
CN = Mario A. Reyna, email =
mario@meldenandhunt.com, C = US O = Melden and
Hunt Inc OU = PE
Date: 2022.04.13 11:02:25 -0600

Date

April 13, 2022

**SUBDIVISION WITHIN CITY LIMITS CHECK LIST
SUBDIVISION PROCESS**
PRELIMINARY STAGE

PLANNING & ZONING DEPARTMENT (956) 388-8202

 Date : May 6, 2022

Date Filed: April 14, 2022 P&Z Preliminary: May 10, 2022 P&Z Final: _____ City Council: _____
 Reviewed By: Abel Beltran, Subd. Coord. Staff Review: April 21, 2022 Time Line: 365 Days Expires: _____
abeltran@cityofedinburg.com Staff / Engineer: April 28, 2022 1st Extension: 0 Days Expires 1: _____
 2nd Extension: 0 Days Expires 2: _____

Planning & Zoning Department: Kimberly A. Mendoza, MPA Email: kmendoza@cityofedinburg.com City Office #: (956) 388-8202
 Director of Utilities: Gerardo Carmona, P.E. Email: gcarmona@cityofedinburg.com City Office #: (956) 388-8212
 Director of Public Works: Vincent Romero, Email: layala@cityofedinburg.com City Office #: (956) 388-8210
 Director of Engineering: Mardoqueo Hinojosa, P.E., CPM Email: mhinojosa@cityofedinburg.com City Office #: (956) 388-8211

Owner:	E&S Chapa Investments, LLC.	2400 Palmhurst Dr. Palmhurst, TX 78573			Mario A. Reyna, P.E., Project Engineer
SOL ALEGRE PHASE 2 SUBDIVISION				Consultant : Melden & Hunt, Inc.	
DESCRIPTION	Provided	Need to Provide	Not Applicable	Need to Revise	COMMENTS

Subdivision Process:

Subdivision Plat Submittal	✓				
Warranty Deed	✓				
Topography Survey	✓				
Drainage Report Submittal (As Per City Drainage Policy)	✓				Approved by H.C.D.D.#1 Date: Pending Approval
Zoning : City Limits - Commercial General	✓				
Flood Zone	✓				Zone "X" (Shaded)

Preliminary Submittals:

Existing & Proposed Water Distribution Layout	✓				City of Edinburg Water Distribution System
Water Distribution System Provider:	✓				City of Edinburg Water Distribution System
Existing & Proposed Sewer Collection Layout	✓				City of Edinburg Sanitary Sewer Collection System
Sanitary Sewer Collection System Provider:	✓				City of Edinburg Sanitary Sewer Collection System
Existing and Proposed Drainage Layout System:	✓				Private Drainage System onto H.C.D.D. # 1
MPO Collector / Arterial Right-of-way Dedication	✓				Proposed Private Streets
Minor / Major Collector Street Pavement Section	✓				In Accordance to Standard Street Policy
Variances Appeals Request:		✓			Planning & Zoning Meeting Results City Council Meeting
Street Widening Improvements		✓			
Street 5-ft Sidewalk Improvements		✓			
Drainage Improvements		✓			

Construction Plans Review Submittals:

(See Section 4 Construction Plans Submittals Policy, 2014 STANDARD POLICY MANUAL)

Cover Sheet	✓				
Topography Sheet (Utilities, Bench Marks)	✓				
Sanitary Sewer Improvements: On-Site & Off-Site	✓				City of Edinburg Sanitary Sewer Supply Standard Policy's
Sanitary Sewer Detail Sheets	✓				See Section 3 Utility Policy, 2014 Standard Policy Manual
Water Distribution Improvements: On-Site & Off-Site	✓				City of Edinburg Water Supply Standard Policy's
Water Distribution Detail Sheet (Fire Hydrant Assembly)	✓				See Section 3 Utility Policy, 2014 Standard Policy Manual
Drainage Improvements:	✓				
Drainage Detail Sheets	✓				See Section 1 Drainage Policy, 2014 Standard Policy Manual
Minor/Major Collector Streets Improvements:	✓				See Section 2 Streets Policy, 2014 Standard Policy Manual
Street Sign Sheet:	✓				
Street Detail Sheets	✓				See Section 2 Streets Policy, 2014 Standard Policy Manual
Street Lighting Sheet:	✓				
Traffic Control Plan:	✓				
Erosion Control Plan	✓				
Erosion Control Plan Detail Sheet	✓				See Storm Water Management, 2014 Standard Policy Manual

DESCRIPTION	Provided	Need to Provide	Not Applicable	Need to Revise	COMMENTS
Pre-Construction Meeting:					
Notice To Proceed	√				Dated:
Roadway Open-Cut or Bore Permit Application	√				Dated:
TX-Dot Water UIR Permit	√				
TX-Dot Sewer UIR Permit	√				
N.O.I. Submittal	√				Dated:
SWPP Booklet Submittal	√				Dated:
RFI #1 Request	√				Dated:
Change Orders	√				Dated:
Final Walk Though	√				Dated:
Punch List	√				Dated:
Punch List (Completed and Approved)	√				Dated:
Letter of Acceptance	√				Dated:
1-year Guarantee (Water/Sewer/Paving/Drainage)	√				Dated:
Backfill Testing Results	√				Dated:
As-Builts (Revised Original Submittal)	√				Dated:
Recording Process:					
Public Improvements with (Letter of Credit)		√			Dated: Expires:
Recording Fees	\$ 106.00	√			As required by County Clerks office
Copy of H.C.D.D. #1 of invoice	\$ 250.00	√			Required to be paid prior to Final Stages
Street Escrow -Flag Drive (43-ft.)	\$ 97,078.67	√			Required: 1040 EA. @ \$ 93.34
Street Escrow - (00-ft B-B)			√		Required: EA. @ \$ -
Sidewalk / ADA Ramp Escrow: Flag Drive	\$ 21,000.00	√			Required: 840 LF @ \$ 25.00
TOTAL OF ESCROWS:	\$ 118,078.67				
Total Developer's Construction Cost: (Letter of Credit)					Date : Lender :
Laboratory Testing Fee: 3%	\$ -	√			\$ - Estimated Construction Cost
Inspection Fee: 2%	\$ -	√			\$ - Final Construction Cost
Park Land Fees: Park Zone # 2	\$ -	√			0 Lots @ \$ 300.00 Full rate within the ETJ
90 Residential \$ 300.00	\$ 27,000.00		√		50% Development 50% Building Stage
0 Multi-Family \$ -	\$ -		√		0% Development 0% Building Stage
Water Rights: COE - CCN	\$ 43,886.67		√		15.15 Acres \$ 2,896.81
Water 30-year Letter (Residential)	\$ 29,250.00		√		90 Lots @ \$ 325.00 COE - CCN
Water 30-year Letter (Multi-Family)	\$ -		√		0 Lots @ \$ -
Sewer 30-year Letter COE - CCN	\$ 5,850.00		√		90 Lots @ \$ 65.00 COE - CCN
TOTAL OF FEES:	\$ 105,986.67				
Reimbursements:					
Developer Sewer Improvements	\$ -		√		Off-Site System: 0.000 AC \$ -
Developer Water Improvements	\$ -		√		Off-Site System 0.00 AC \$ -
TOTAL OF REINBURSEMENTS:	\$ -				
Buyouts:					
North Alamo Water Supply Corporation	\$ -		√		Required Buyout 0.00 AC. \$ -
Sharyland Water Supply Corporation			√		Not Applicable
Tax Certificates					
County of Hidalgo / School District		√			
Water District		√			Hidalgo County Irrigation District # 1
Total of Escrows, Fees, Reimbursements and Buyouts:					
Escrows	\$ 118,078.67				Street & Sidewalk Improvements for Trenton Road (Not Required)
Inspections other Fees	\$ 105,986.67				Parkland Fees, Water/Sewer 30-year Agreement/Water Rights
Reimbursements	\$ -				Reimbursement to the Developer of Subdivision
City of Edinburg	\$ -				15% Payable to the City of Edinburg for Administrative Fee
To the Developer of Record	\$ -				85% Payable to the Developer of Record Owner / Developer
Buyouts	\$ -				Based on Subdivision (Need Request and Approval rate from ? Broad)
TOTAL :	\$ 224,065.34				Developer Total Cost of Fees, Escrows, Reimbursements & Buyouts

STAFF REPORT: BRENTWOOD MANOR SUBDIVISION

Prepared on: April 29, 2022
Planning and Zoning Meeting: May 10, 2022
Agenda Item 9A: Final Plat

Subject: Consider Final Plat of **BRENTWOOD SUBDIVISION** being a 36.65 acre tract of land out of Lot 11, Section 275, Texas-Mexican Railway Company Survey Subdivision, located at 3100 West Freddy Gonzalez Drive, as requested by AEC Engineering, LLC.

Location: The property is located on the west side of South McColl Road (FM 2061), and south of Freddy Gonzalez Drive within the City of Edinburg, city limits.

Zoning: This property is within the city limits currently zoned Commerical Gerenal.

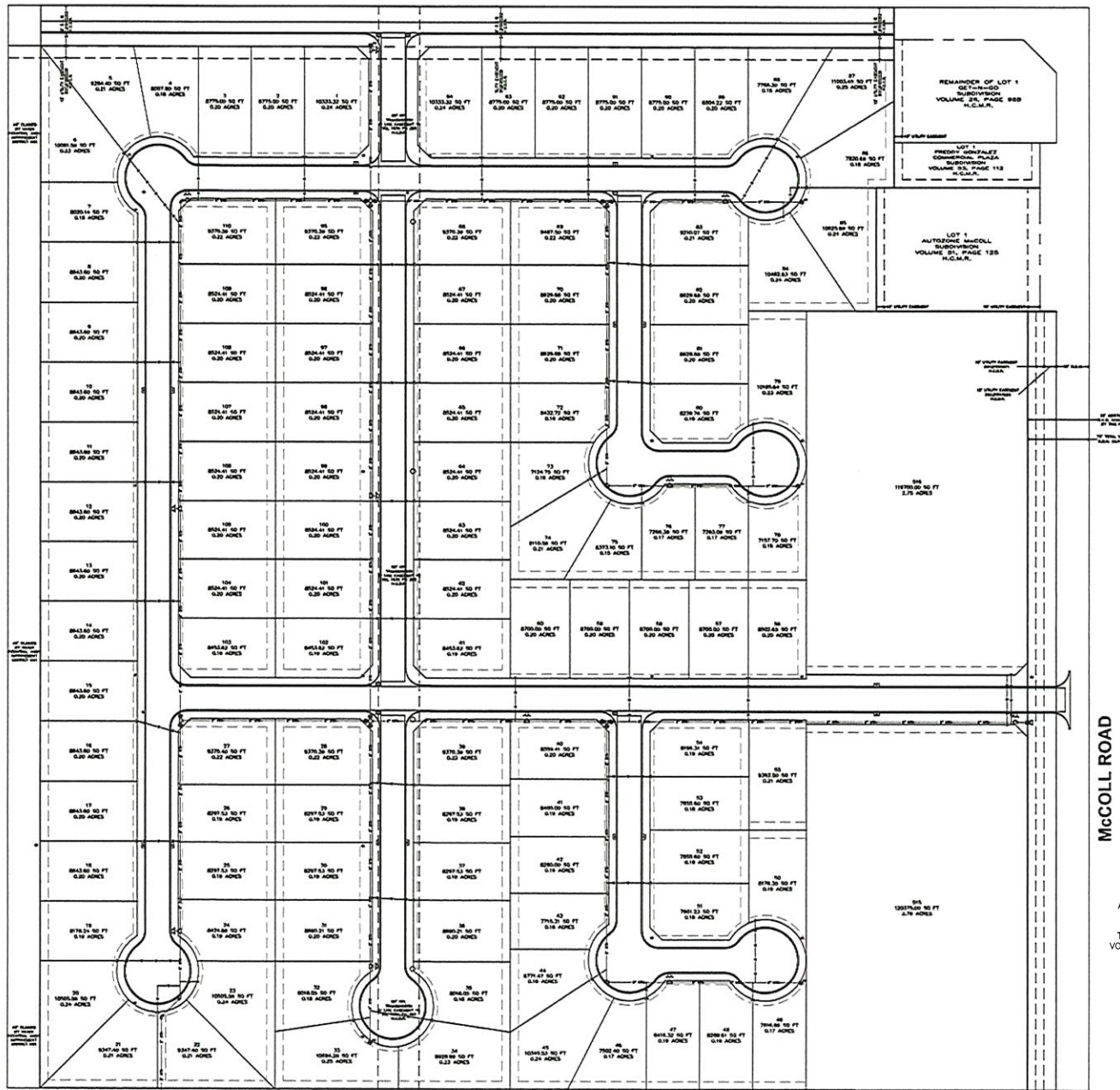
Setbacks: Residential portion; Front: 20 ft., Side: 6ft., and Rear: 20 ft. and Commercial portion; Front: 25 ft., Side: 10ft., and Rear: 10 ft.

Analysis: The Final Plan proposes to establish a 111 single family residential lots with 4 Commerical lots on McColl Road. The configuration of this development is in compliance with the City of Edinburg Unified Development Code.

Utilities: Water Distribution will be provided by the City of Edinburg Water System and Sanitary Sewer Collection System. All utility improvements within the proposed subdivision that are not limited to water, sewer, curb and gutter, fire hydrants, storm drain inlets and pavement will be installed by the developer in accordance with City of Edinburg's Unified Development Code and approved engineering standards.

Recommendation: **City of Edinburg Engineering Department** approved the engineering construction plans, the installation of the utilities, streets and drainage of the improvements for this development pending responses from the engineer of record (EOR) on engineering items of concerns that will need to be addressed on the construction and approval to this phase of development review for Brentwood Manor Subdivision.

FREDDY GONZALEZ



McCull Road

Brentwood Estates

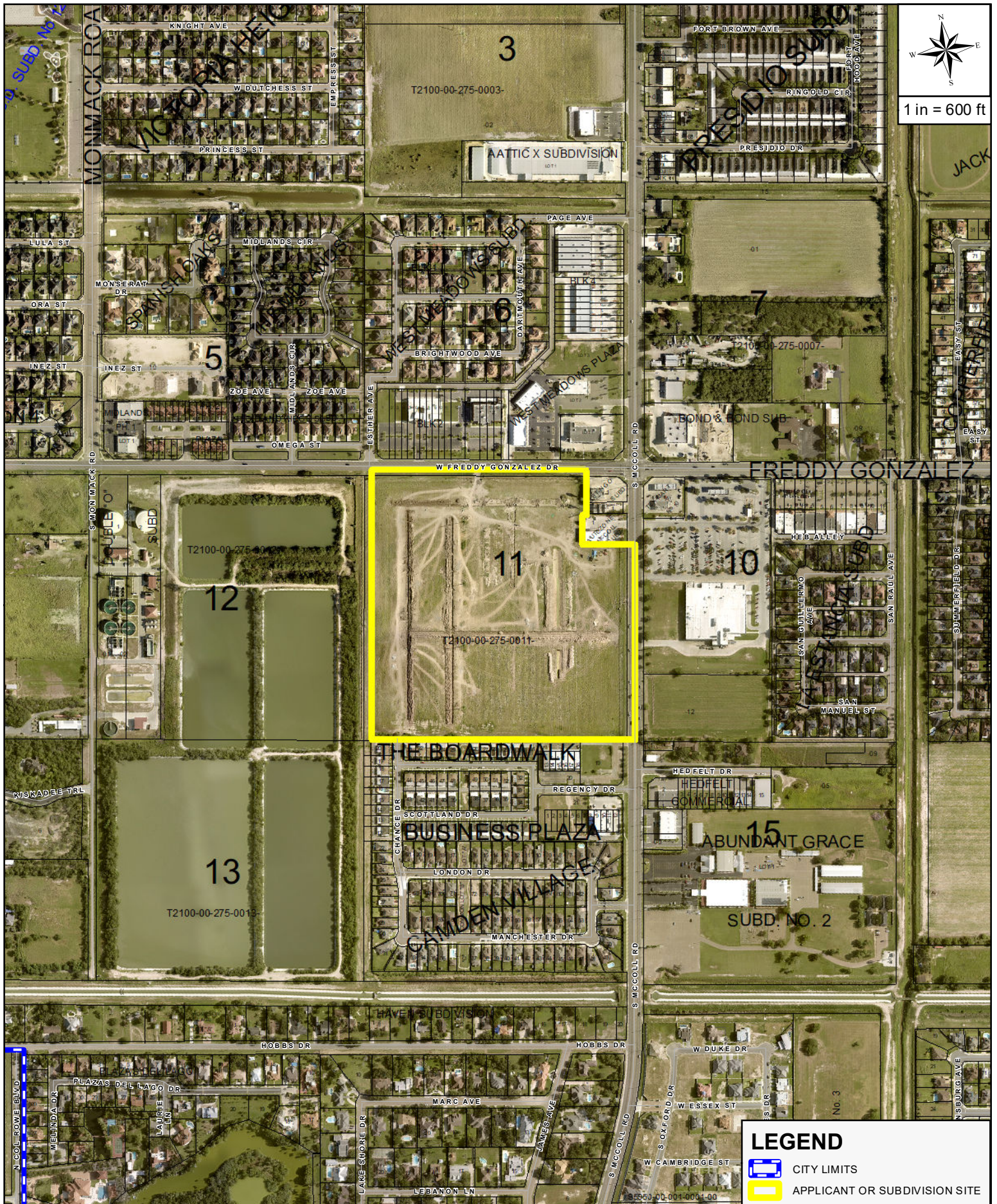
A 36.65-ACRE TRACT OF LAND, MORE OR LESS, OUT OF LOT 11, SECTION 27S, TEXAS MEXICAN RAILWAY COMPANY SURVEY, AN ADDITION TO THE CITY OF EDINBURG, COUNTY OF HIDALGO, TEXAS, ACCORDING TO THE MAP OR PLAT THEREOF RECORDED IN VOLUME 24, PAGE 168, DEED RECORDS OF HIDALGO COUNTY, TEXAS.

Plot Scale: 1"=60' JOB # 1497.001
Prepared by: J. d' Z. Date: MAY 11, 2020

AEC ENGINEERING, LLC.
Agricultural * Environmental * Civil

P.O. Box 480 Office: (956) 380-8558
Edinburg, Texas 78540 Fax: (956) 380-6110
www.aecengineering.net

A TEXAS REGISTERED ENGINEERING FIRM - F9688



AERIAL MAP

APPLICANT AND/OR SUBDIVISION:

BRENTWOOD MANOR SUBDIVISION

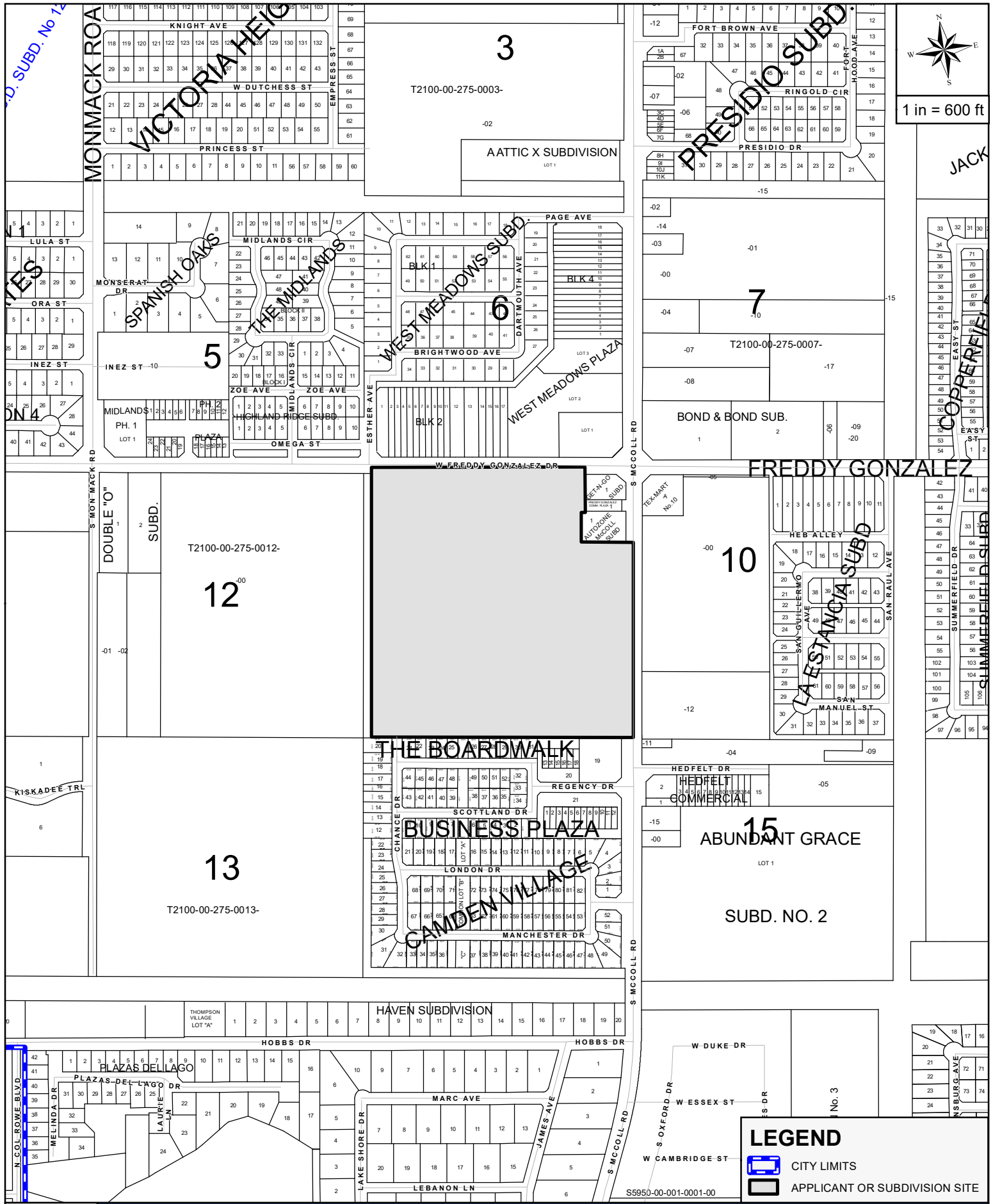
LEGEND





CITY LIMITS



APPLICANT OR SUBDIVISION SITE



SITE MAP
APPLICANT AND/OR SUBDIVISION:
BRENTWOOD MANOR SUBDIVISION

LEGEND
 CITY LIMITS
 APPLICANT OR SUBDIVISION SITE

**SUBDIVISION WITHIN CITY LIMITS CHECK LIST
SUBDIVISION PROCESS**
FINAL RECORDING STAGE

PLANNING & ZONING DEPARTMENT (956) 388-8202

 Date : May 3, 2022

Date Filed: May 7, 2020 P&Z Preliminary: June 9, 2020 P&Z Final: May 10, 2022 City Council: _____
 Reviewed : _____ Staff Review : May 21, 2020 Time Line : 365 Days Expires : _____
 By: Abel Beltran, Planner I Staff / Engineer : May 28, 2020 1st Extension : 0 Days Expires 1: _____
abeltran@cityofedinburg.com 2nd Extension : 0 Days Expires 2: _____

Director of Planning & Zoning : Kimberly A. Mendoza, MPA Email : kmendoza@cityofedinburg.com City Office #: (956) 388-8202
 Director of Utilities : Gerardo Carmona, P.E. Email : gcarmona@cityofedinburg.com City Office #: (956) 388-8212
 Director of Public Works : Vincent Romero Email : layala@cityofedinburg.com City Office #: (956) 388-8210
 Director of Engineering : Mardoqueo Hinojosa, P.E., CPM Email : mhinojosa@cityofedinburg.com City Office #: (956) 388-8211

Owner:	Shavi Mahtani, Owner	1000 E. Nolana Ste. 130 McAllen, TX	Carlos Garza, P.E., Project Engineer		
BRENTWOOD ESTATES SUBIVISION			Consultant : AEC Engineering, LLC		
DESCRIPTION	Provided	Need to Provide	Not Applicable	Need to Revise	COMMENTS

Subdivision Process:

Subdivision Plat Submittal	✓				
Warranty Deed	✓				
Topography Survey	✓				
Drainage Report Submittal (As Per City Drainage Policy)	✓				Approved by H.C.D.D.#1 Date: Pending Approval
Zoning : City Limits - ETJ	✓				
Flood Zone	✓				Zone "X" (Shaded) Panel # 480338-0030 E (JUNE 6, 2000)

Preliminary Submittals:

Existing & Proposed Water Distribution Layout	✓				City of Edinburg Water Distribution System
Water Distribution System Provider:	✓				City of Edinburg Water Distribution System
Existing & Proposed Sewer Collection Layout	✓				City of Edinburg Sanitary Sewer Collection System
Sanitary Sewer Collection System Provider:	✓				City of Edinburg Sanitary Sewer Collection System
Existing and Proposed Drainage Layout System:	✓				Private Drainage System onto H.C.D.D. # 1
MPO Collector/Arterial Right-of-Way Right-of-way Dedication	✓				Street Section (Existing Original Plat Street Section)
Minor / Major Collector Street pavement Section	✓				In Accordance to Standard Street Policy
Variances Appeals Request: 2022	✓				Planning & Zoning Meeting Results City Council Meeting
Street Widening Improvements (N/A)			✓		
Street 5-ft Sidewalk Improvements (Building Permit Stage)			✓		
Drainage Improvements			✓		

Construction Plans Review Submittals:
(See Section 4 Construction Plans Submittals Policy, 2014 STANDARD POLICY MANUAL)

Cover Sheet	✓				
Topography Sheet (Utilities, Bench Marks)	✓				
Sanitary Sewer Improvements: On-Site & Off-Site	✓				City of Edinburg Water Supply Corporation - CCN
Sanitary Sewer Detail Sheets	✓				See Section 3 Utility Policy, 2014 Standard Policy Manual
Water Distribution Improvements: On-Site & Off-Site	✓				City of Edinburg Water Supply Corporation - CCN
Water Distribution Detail Sheet (Fire Hydrant Assembly)	✓				See Section 3 Utility Policy, 2014 Standard Policy Manual
Drainage Improvements:	✓				
Drainage Detail Sheets	✓				See Section 1 Drainage Policy, 2014 Standard Policy Manual
Principal/Major Arterial Streets Improvements:	✓				See Section 2 Streets Policy, 2014 Standard Policy Manual
Street Sign Sheet:	✓				
Street Detail Sheets	✓				See Section 2 Streets Policy, 2014 Standard Policy Manual
Street Lighting Sheet:	✓				
Traffic Control Plan:	✓				
Erosion Control Plan	✓				
Erosion Control Plan Detail Sheet	✓				See Storm Water Management, 2014 Standard Policy Manual

DESCRIPTION	Provided	Need to Provide	Not Applicable	Need to Revise	COMMENTS
Pre-Construction Meeting:					
Notice To Proceed	√				Dated:
Roadway Open-Cut or Bore Permit Application	√				Dated:
TX-Dot Water UIR Permit		√			Dated:
TX-Dot Sewer UIR Permit		√			Dated:
N.O.I. Submittal	√				Dated:
SWPP Booklet Submittal	√				Dated:
RFI #1 Request	√				Dated:
Change Orders	√				Dated:
Final Walk Though	√				Dated:
Punch List - 1st Draft	√				Dated:
Punch List - Final	√				Dated:
Letter of Acceptance	√				Dated:
1-year Warranty (Water/Sewer/Paving/Drainage)	√				Dated:
Backfill Testing Results	√				Dated:
As-Built (Revised Original Submittal)	√				Dated:
Recording Process:					
Public Improvements with (Letter of Credit)			√		Dated: Expires:
Recording Fees	\$ 106.00	√			As required by County Clerks office
Copy of H.C.D.D. #1 of invoice	\$ 250.00	√			Required to be paid prior to Final Stages
Street Light Escrow	\$ -		√		Required: 0 EA. @ \$ -
Street Escrow (Freddy Gonzalez Drive)	\$ 64,723.33		√		Required: 1042 EA. @ \$ 62.11
Sidewalk Escrow (Freddy Gonzalez Drive)	\$ 24,250.00		√		Required: 970 LF @ \$ 25.00
TOTAL OF ESCROWS:	\$ 88,973.33				
Total Developer's Construction Cost: (Letter of Credit)			√		Date : Lender :
Laboratory Testing Fee: 3%	\$ -		√		\$ - FINAL Construction Cost
Inspection Fee: (FINAL) 2%	\$ 39,162.01	√			\$ 1,958,100.50 FINAL Construction Cost
Park Land Fees: Park Zone # 1	\$ -		√		0 Lots @ \$ - Full rate within the ETJ
111 Residential \$ 300.00	\$ 33,300.00		√		50% Development 50% Building Stage
0 Multi-Family \$ -	\$ -		√		50% Development 50% Building Stage
Water Rights: COE - CCN	\$ 93,194.22	√			32.17 Acres \$ 2,896.81
Water 30-year Letter (Commercial)	\$ 4,220.00	√			2 Lots @ \$ 2,110.00 COE WATER - CCN
Water 30-year Letter (Single-Family)	\$ 36,075.00	√			111 Units @ \$ 325.00
Sewer 30-year Letter COE - CCN	\$ 7,215.00	√			111 Lots @ \$ 65.00 COE SEWER - CCN
TOTAL OF FEES:	\$ 213,166.23	√			
Reimbursements:					
Developer Sewer Improvements	\$ -		√		Off-Site System: 0.000 AC \$ -
Developer Water Improvements	\$ -		√		Off-Site System 0.00 AC \$ -
TOTAL OF REINBURSEMENTS:	\$ -				
Buyouts:					
North Alamo Water Supply Corporation	\$ -		√		Required Buyout 0.00 AC. \$ -
Sharyland Water Supply Corporation			√		Not Applicable
Tax Certificates					
County of Hidalgo / School District		√			
Water District		√			Hidalgo County Irrigation District # 1
Total of Escrows, Fees, Reimbursements and Buyouts:					
Escrows	\$ 88,973.33				Street & Sidewalk Improvements for (I69C Interstate)
Material Testing Fee Inspection Fees, Other F	\$ 213,166.23				Parkland Fees, Water Rights/Water & Sewer 30-year Agreements
Reimbursements	\$ -				Reimbursement to the Developer of Subdivision
City of Edinburg	\$ -				15% Payable to the City of Edinburg for Administrative Fee
To the Developer of Record	\$ -				85% Payable to the Developer of Record Owner / Developer
Buyouts	\$ -				Based on Subdivision (Need Request and Approval rate from SWSC/NAWSC Broads)
TOTAL :	\$ 302,139.56				Developer Total Cost of Fees, Escrows, Reimbursements & Buyouts



City of Edinburg
PLANNING & ZONING COMMISSION
Regular Meeting: 05/10/2022

— SUBDIVISION VARIANCE —

Agenda Item No: 10A
MOLINA FAMILY PARTITIONS

1. **Agenda Item:** Consider a Variance Request to the City's Unified Development Code, Article 7 Plat and Site Plan Design, Section 7.301 Family Partitions, a 1.20 acre tract of land out of Lot 10, Section 237, Texas-Mexican Railway Company's Survey, located at 2710 West Chapin Street, as requested by R.E. Garcia and Associates, Inc.
2. **Description/Scope:** The property has 165 ft. of frontage onto Chapin Road, and is approximately 615 ft. east of North McColl Street. The property or Lot 2 will have an access or frontage of 50-ft onto West Chapin Street. The 4.43 acre tract currently occupied with one existing residential home and is in the city limits and zoned Suburban Residential (S) District. The family partition is for two single family residential lots. R.E. Garcia & Associates, Inc., on behalf of the developer, is requesting a variance to the City's Unified Development Code (UDC) for the aforementioned family partition.

Variance Request: Section 7.301 Family Partitions.

This Variance Request is to the minimum lot width requirement for a Family Partition in Physical Requirements. Lots exempt from the platting processes must have a minimum lot frontage of 100 ft. The property owner is requesting to have a lot frontage of 50 ft. which is a reduction by 50%. Lack of a 100 ft. frontage would be non-conforming to the requirements of the Unified Development Code.

3. **Staff's Recommendation:** Staff recommends approval of the lot width variance request and that the developer comply with all other UDC requirements. The slim shape of the lot concerning the portion abutting West Chapin Street creates a confined lot regarding lot width.

Prepared By:
Adan A. Elizondo, MPA
Planner I

Approved By:
Kimberly Mendoza, MPA
Director of Planning and Zoning

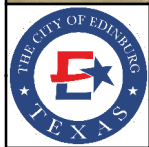
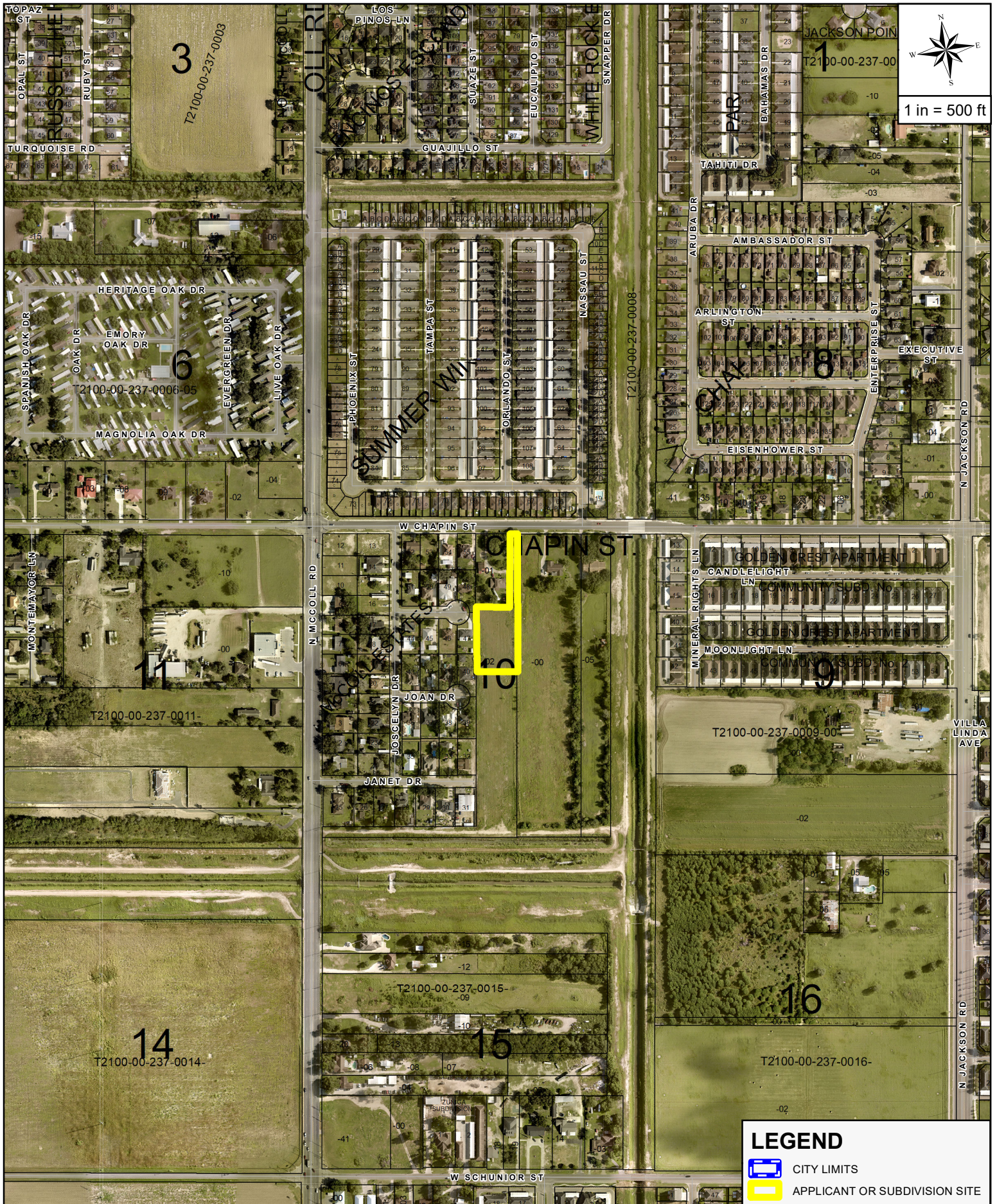
Attachments:
Unified Development Code
Aerial Photo
Site Map
Subdivision Plat

ARTICLE 7 PLAT AND SITE PLAN DESIGN

DIVISION 7.300 FAMILY PARTITIONS AND AGRICULTURAL LOTS.

Sec. 7.301 Family Partitions

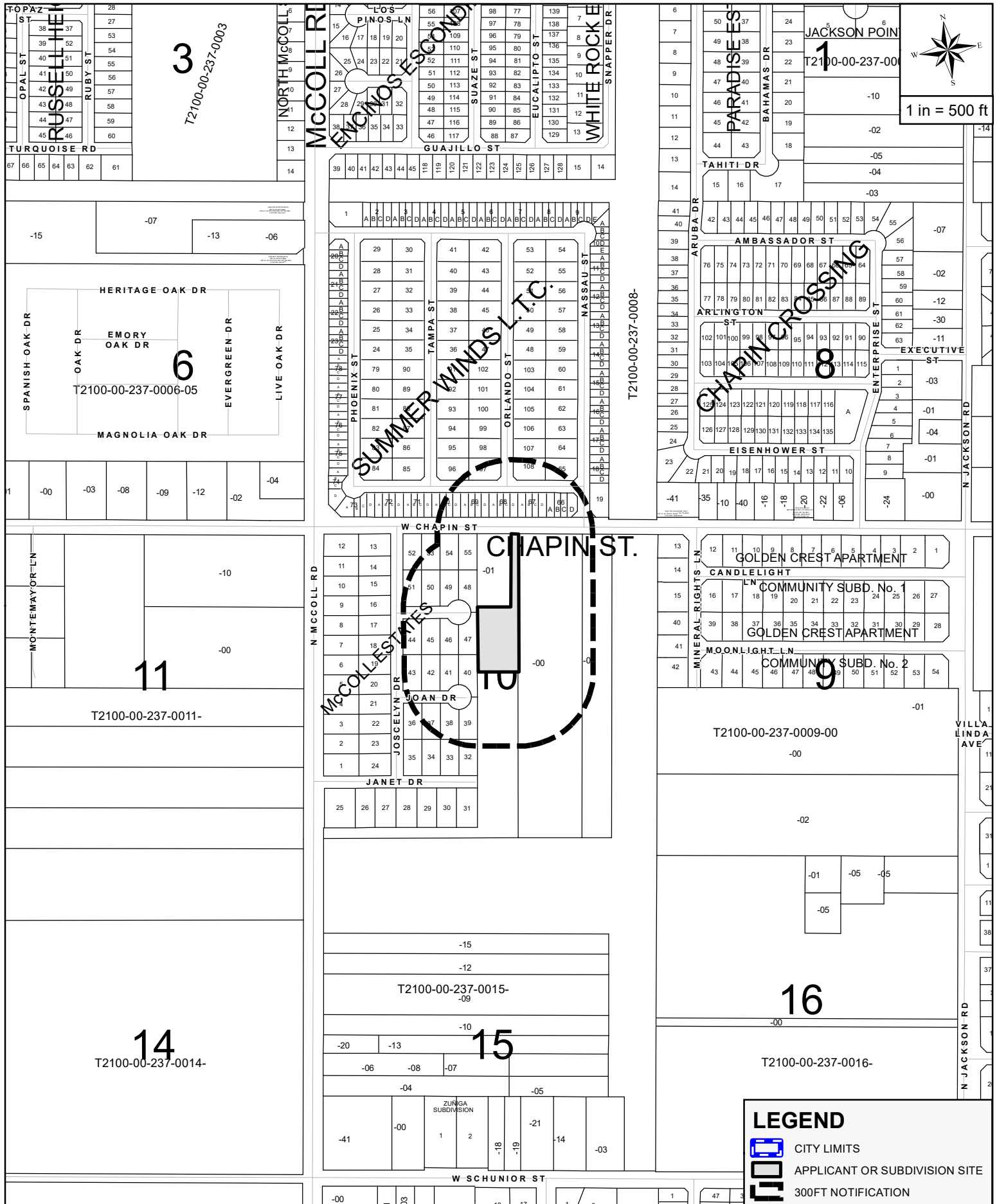
- A. **General.** No subdivision plat or development plat need be filed for lots created by family partition if such lots meet the requirements of this Section. A family member is defined as a spouse, a brother or sister, natural or adopted child, grandson or granddaughter of the donor.
- B. **Physical requirements.** To qualify for the exemption from subdivision plat and development plat requirements, it shall be demonstrated that each lot created by family partition meets all of the standards of this Subsection B. Any small lots or tracts that do not meet the minimum lot size requirements shall require a subdivision.
1. The lot abuts a street dedicated to the public which provides principal access to the property.
 2. Has a minimum frontage of one-hundred (100) feet.
 3. No access or utility easements are layout that resembles that of a subdivision plat.
 4. The net area of the lot is no less than:
 - a. 7,100 square feet if the lot is served by an approved public water supply and connected to the city's sanitary sewer system; or
 - b. 21,780 square feet if the lot is served by an approved public water supply but uses a septic tank for sewage disposal (approval from the Hidalgo County Health Department for the septic tank is required).
 5. The use of the lot is limited to one single-family residential unit.



AERIAL MAP

APPLICANT AND/OR SUBDIVISION:

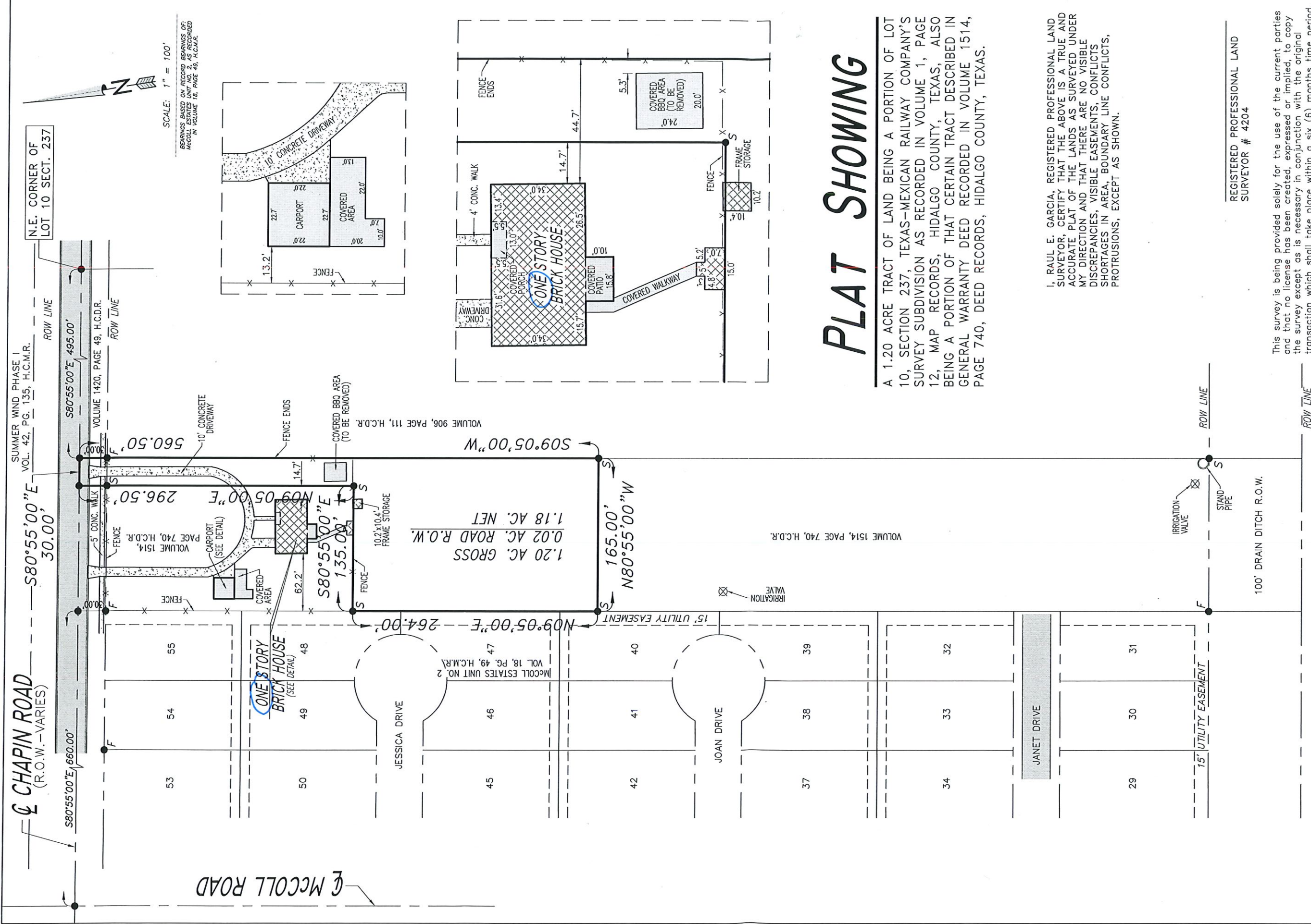
BALDEMAR MOLINA / R.E. GARCIA & ASSOCIATES



MAILOUT AND SITE MAP

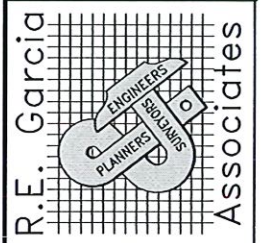
APPLICANT AND/OR SUBDIVISION:

BALDEMAR MOLINA / R.E. GARCIA & ASSOCIATES



LEGEND:
F - FOUND 1/2"Ø IRON ROD
S - SET 1/2"Ø IRON ROD W/
A CAP LABELED "RPLS 4204"

FIRM:
FLOOD INSURANCE RATE MAP
COMMUNITY-PANEL NUMBER
480338 0015 E
MAP REVISED: 06/06/2000
THIS AREA IS IN FLOOD ZONE "X"
SHADED



R. E. GARCIA & ASSOCIATES
ENGINEERS, SURVEYORS, PLANNERS
ENGINEER (F-5001) & SURVEYOR (10015300)
116 NORTH 12th AVE.
EDINBURG, TEXAS 78541 (956) 381-1061
EMAIL: REGAASSOC@AOL.COM

TITLE: **PARTITION SURVEY**
DATE: FEBRUARY 28, 2022 REV:
JOB # 2022-015 BOOK T-156/PG.66
SCALE: 1" = 100'
DRAWN BY: E.S.

PLAT SHOWING

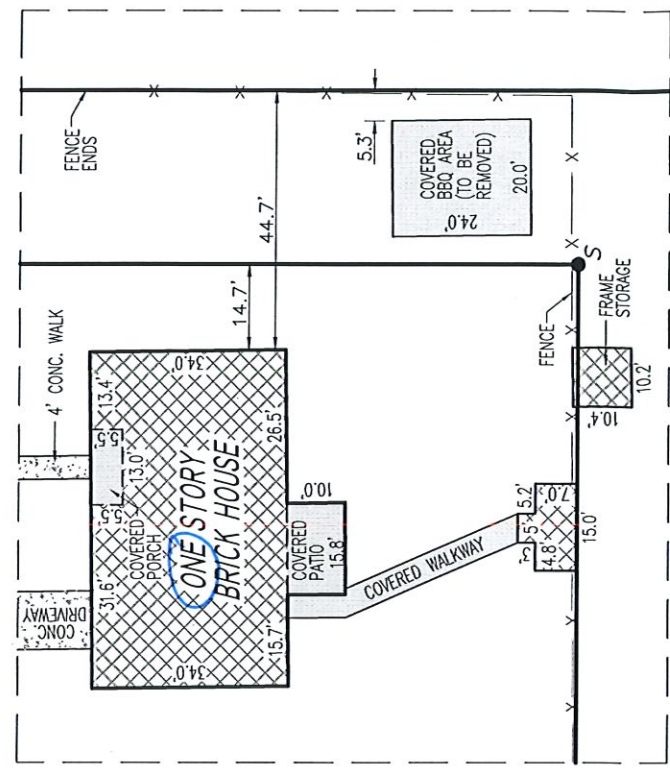
A 1.20 ACRE TRACT OF LAND BEING A PORTION OF LOT 10, SECTION 237, TEXAS-MEXICAN RAILWAY COMPANY'S SURVEY SUBDIVISION AS RECORDED IN VOLUME 1, PAGE 12, MAP RECORDS, HIDALGO COUNTY, TEXAS, ALSO BEING A PORTION OF THAT CERTAIN TRACT DESCRIBED IN GENERAL WARRANTY DEED RECORDED IN VOLUME 1514, PAGE 740, DEED RECORDS, HIDALGO COUNTY, TEXAS.

I, RAUL E. GARCIA, REGISTERED PROFESSIONAL LAND SURVEYOR, CERTIFY THAT THE ABOVE IS A TRUE AND ACCURATE PLAT OF THE LANDS AS SURVEYED UNDER MY DIRECTION AND THAT THERE ARE NO VISIBLE DISCREPANCIES, VISIBLE EASEMENTS, CONFLICTS SHORTAGES IN AREA, BOUNDARY LINE CONFLICTS, PROTRUSIONS, EXCEPT AS SHOWN.

REGISTERED PROFESSIONAL LAND
SURVEYOR # 4204

This survey is being provided solely for the use of the current parties and that no license has been created, expressed or implied, to copy the survey except as is necessary in conjunction with the original transaction which shall take place within a six (6) months time period.

NOTE:
OVERHEAD AND UNDERGROUND FACILITIES ARE NOT SHOWN ON THIS SURVEY.
SURVEY COMPLETED WITHOUT THE BENEFIT OF A TITLE COMMITMENT.





Case #

THE CITY OF
Edinburg

Planning & Zoning Department
415 W. University Drive
Edinburg, Texas 78539
(956) 388-8202

Subdivision Appeals / Variance Application

Submittal Date: March 4, 2022

Legal Description:

A 1.20 acre tract of land being a portion of Lot 10, Section 237, Texas-Mexican Railway Company's Survey Subdivision as recorded in Volume 1, Page 12, Map Records, Hidalgo County, Texas, also being a portion of that certain tract described in General Warranty Deed recorded in Volume 1514, Page 740, Deed Records, Hidalgo County, Texas.

Variance Requested (Identify section of code for which variance is being requested):

DIVISION 7.300 FAMILY PARTITIONS AND AGRICULTURAL LOTS, Sec. 7.301 Family Partitions, B. Physical requirements. 2. Has a minimum frontage of one-hundred (100) feet.

Reason for Request:

Mr. and Mrs. Molina desire to gift there son the subject 1.20 acre tract in order to build a single family home behind their residence. Their existing residence is located approximately 34.70 feet west of the east line of their five acre tract which does not allow for the required 100.00' public frontage. The proposed 30.00 foot frontage of their son's tract would allow for a 14.70 foot setback from the existing home and allow for the use the existing driveway as access.

Baldemar & Delia Molina

Property Owner (Print legibly or type)

2710 W. Chapin

Address

Edinburg, Texas 78541

City, State, Zip

(956) 381-0246

Telephone

mamakitty2u@gmail.com

Email address

Signature Baldemar Molina
Delia Molina

Raul E. Garcia, PE, RPLS, CFM

Applicant / Agent (Print legibly or type)

116 N. 12th

Address

Edinburg, Texas 78541

City, State, Zip

(956) 381-1061

Telephone

regaassoc@aol.com

Email address

Signature Raul E. Garcia

\$450 Application Fee: _____

Received By: _____

RECEIVED

MAR 18 2022

Name: Raul
3:10 pm



City of Edinburg
PLANNING & ZONING COMMISSION
Regular Meeting: 05/10/2022

— SUBDIVISION VARIANCE —

Agenda Item No: 8B
HACIENDA SAN MIGUEL-CISNEROS SUBDIVISION

1. **Agenda Item:** Consider a Variance Request to the City's Unified Development Code, Article 8 Street, Utilities, and Drainage Section 8.402 Water Supply. Hacienda San Miguel-Cisneros Subdivision, 2.36 acre tract of land out of Lot 11, Section 266, Texas-Mexican Railway Company's Survey, located at 7935 Tex-Mex Road, as requested by R.E. Garcia and Associates, Inc.
2. **Description/Scope:** The Preliminary Plat of Hacienda San Miguel-Cisneros Subdivision has 129-ft. of frontage onto Tex-Mex Road, and is approximately 300-ft. east of Magnolia Village Drive. The property or Lot 2 will have an access or frontage of 50-ft onto Tex-Mex Road. Tex-Mex Road runs parallel to SH 107, approximately 1600-ft south of SH 107. The 2.36-acre tract currently occupied with one existing residential home and is in the Extra-Territorial Jurisdiction (ETJ). The subdivision is for two single-family residential lots. R.E. Garcia & Associates, Inc., on behalf of the developer, is requesting a variance to the City's Unified Development Code (UDC) for the aforementioned subdivision.

Variance Request: Section 8.402 – Water Supply Standards.

This Variance Request is to the fire hydrant requirement for a Residential development in the ETJ in Table 8.402 – water supply standards. Lots for Single Family developments in the ETJ is that one exists every 600 ft. or less, with a minimum line size of 8 inches, according to the UDC, Section 8.402.B Water Supply Standards for a residential property. The property owner is requesting not to be required to have a fire hydrant installed which has a unit cost of \$5,200. Lack of a fire hydrant would be non-conforming to the requirements of the Unified Development Code.

3. **Staff's Recommendation:** Staff recommends disapproval of the fire hydrant requirement variance requests and that the developer comply with all UDC requirements and Fire Department standards. No practical rational hardships for this variance request been established.
The propose subdivision can provide a fire hydrant as required by the UDC. Fire protection makes for a more desirable development by providing safety to the home and those in the surrounding area. The stated reason for this request is due to "fire hydrant material and installation cost." No constraints are immediately evident.

Prepared By:
Adan A. Elizondo, MPA
Planner I

Approved By:
Kimberly Mendoza, MPA
Director of Planning and Zoning

Attachments:
Unified Development Code
Aerial Photo
Site Map
Subdivision Plat
Cost Estimate of Hydrant

ARTICLE 8 STREETS, UTILITIES, AND DRAINAGE

DIVISION 8.400 UTILITIES

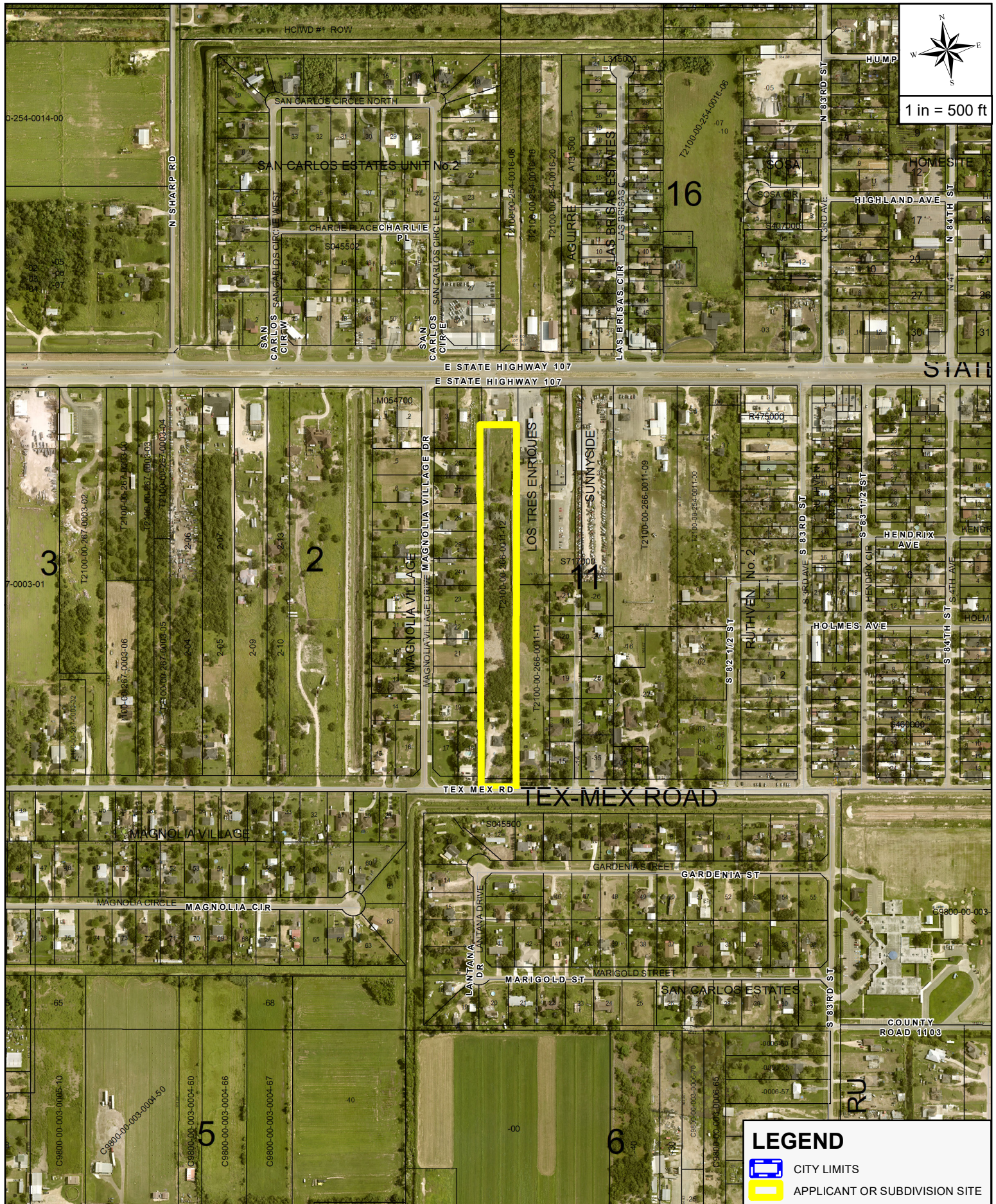
Sec. 8.402 Water Supply

A. **General.** All developments shall be connected to a public potable water system, except those in the AG District where on-site service is approved. For developments in all other Districts, plans shall be reviewed by the City. All public water supply shall meet the minimum specifications in Table 8.302, *Water Supply Standards*. The standards may be increased to meet local area needs of the water system.

Table 8.402 Water Supply Standards				
District	Quantity (gallons per minute)	Pressure (psi)	Hydrant Spacing (feet)	
S, AU, UR, NC, UU, CN, CG, UC, BP, and I	1,000 to 1,500	30	Residential: 600 Nonresidential: 300	8
AG	na.	na.	na.	na.
ETJ (no district)	1,000 to 1,500	30	Residential: 600 Nonresidential: 300	8

B. Fire flows and hydrants.

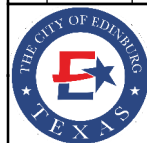
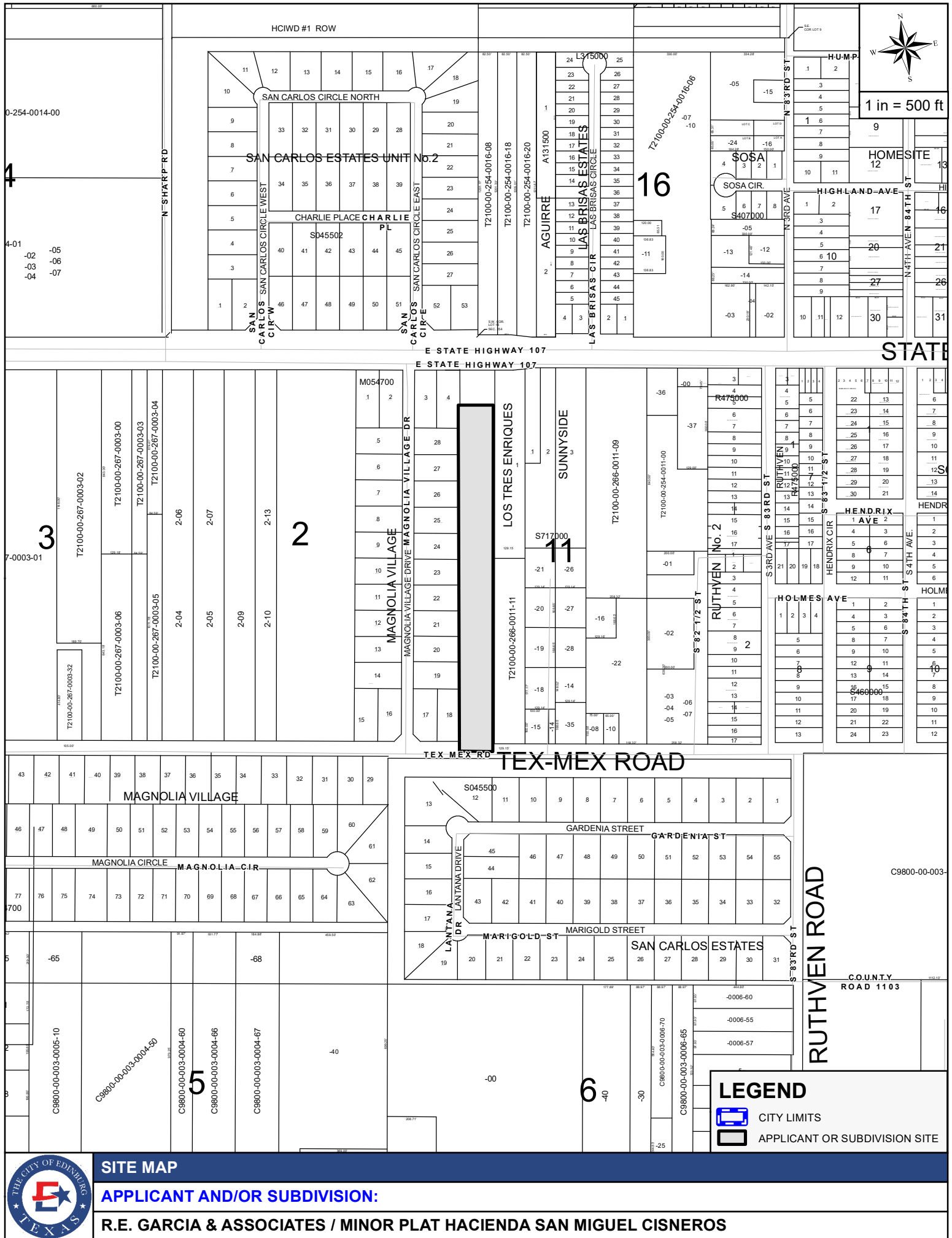
1. All development must be served by adequate water supply and pressure to provide fire protection according to standards provided by the Fire Department. If fire protection demands are greater than the standards in Table 8.402, then the supply and pressure requirements for fire protection shall control.
2. Subdivisions that are connected to a City water line or another utility's potable water service shall be provided with fire hydrants in accordance with City Engineering, State Board of Insurance, Insurance Service Organization, or adopted Fire Code requirements, whichever is most stringent.



AERIAL MAP

APPLICANT AND/OR SUBDIVISION:

R.E. GARCIA & ASSOCIATES / MINOR PLAT HACIENDA SAN MIGUEL CISNEROS



SITE MAP

APPLICANT AND/OR SUBDIVISION:

R.E. GARCIA & ASSOCIATES / MINOR PLAT HACIENDA SAN MIGUEL CISNEROS



116 NORTH 12th AVE.
EDINBURG, TEXAS 78541 (956) 381-1061
EMAIL: REGAASSOC@AOL.COM



Case #

Edinburg
THE CITY OF

Planning & Zoning Department
415 W. University Drive
Edinburg, Texas 78539
(956) 388-8202

Subdivision Appeals / Variance Application

Submittal Date: February 11, 2022

Legal Description:

A 236 acre tract of land being a portion of Lot 11, Section 266, Texas-Mexican Railway Company's Survey Subdivision as recorded in Volume 2, Page 29, Map Records, Hidalgo County, Texas, also being a portion of that certain tract described in Warranty Deed recorded in Volume 1662, Page 37, Deed Records, Hidalgo County, Texas. (Proposed Hacienda San Miguel-Cisneros Subdivision)

Variance Requested (Identify section of code for which variance is being requested):

Article 3 District and Bulk Standards Section 3.301 Single-Family Detached A. General Figure 3.301 Auto-Urban Residential Lot Width - 50'

Reason for Request:

The proposed subdivision is a formalized family partition. The existing home of the site (proposed Lot 1) established that the maximum frontage available for proposed Lot 2 is 35.00 feet. The proposed 35' width for Lot 2 allows for a side setback of 15.60' setback to the existing home. Lot 2 will expand to 129.13 feet in width once proposed Lot 1 is cleared.

Mario & Ofiela Cisneros

Property Owner (Print legibly or type)

7958 E. SH 107

Address

Edinburg, Texas 78542

City, State, Zip

(956) 560-7884

Telephone

ccisneros4949@gmail.com

Email address


Signature

Raul E. Garcia, P.E., R.P.L.S., C.F.M.

Applicant / Agent (Print legibly or type)

116 N. 12th

Address

Edinburg, Texas 78541

City, State, Zip

(956) 381-1061

Telephone

regaassoc@aol.com

Email address


Signature

\$450 Application Fee: _____

Received By: _____

RECEIVED

FEB 22 2022

Name:  8:46

Water Distribution System (CoE)

Item	Description	Unit	COE Unit Cost
1	8" P.V.C. DR-18	LF	\$ 19.25
2	8" Valve & Box	EA	\$ 1,850.00
3	2" Flush Valve	EA	\$ 1,250.00
4	8: M.J. Cross	EA	\$ 1,150.00
5	8" M.J. Tee	EA	\$ 1,000.00
6	8" M.J. 22.5° or 45° or 90° Bend	EA	\$ 800.00
7	8" X 6" M.J. Tee	EA	\$ 800.00
8	6" Valve & Box	EA	\$ 1,650.00
9	Fire Hydrant	EA	\$ 4,500.00
10	1" Single Service Connection Long	EA	\$ 875.00
11	1" Single Service Connection Short	EA	\$ 525.00
12	2" Dual Service Connection Long	EA	\$ 2,375.00
13	2" Dual Service Connection Short	EA	\$ 1,275.00
14	10" X 8" Tapping Sleeve	EA	\$ 4,350.00
15	12" X 8" Tapping Sleeve	EA	\$ 6,500.00
16	8" Tapping Valve & Box	EA	\$ 4,000.00
17	Backfill as per City of Edinburg	CY	\$ 22.20
18	Meter Box	EA	\$ 75.00
19	Bore & Install 16" steel casing	LF	\$ 225.00
20	8" TAPPING Tee w/8" Valve	EA	\$ 4,000.00
21	16 PVC SDR 26 Casing	LF	\$ 40.00
22	Fire Hydrant w/6" valve	EA	\$ 5,200.00
23	16"X 6" Tapping Sleeve	EA	\$ 7,500.00
24	6" MJ Gate Valve & Box w/ Cover	EA	\$ 600.00
25	2" Single Service Connection w/ Manifold	EA	\$ 4,460.00
26			
27	10" P.V.C. C900 DR 25	LF	\$ 20.00
28	8" PVC DR 25	LF	\$ 12.50
29	1" Dual Service Connection	EA	\$ 600.00
30	3/4" Dual Service Connection	EA	\$ 400.00
31	21" PVC Casing SDR 26	LF	\$ 45.00
32	Tie in (Remove 2" Valve Flush Valve)	EA	\$ 1,500.00
33	10" X 8" MJ Tee	EA	\$ 500.00
34	10" Valve & Box	EA	\$ 2,400.00
35	8" Flange MJ gate valve	EA	1500
36	12" MJ Flange Tee	EA	\$ 1,000.00
	12"x8" Reducer	EA	\$ 900.00
	2 1/2" cap	ea	50
	12" Flange MJ Gate valve	EA	\$ 4,100.00
	12" PVC C900 DR25	LF	\$ 26.00
	8" Gate valve w/box	EA	\$ 2,400.00
	2" Flush valve w/threaded cap	EA	\$ 1,000.00



City of Edinburg
PLANNING & ZONING COMMISSION
Regular Meeting: 05/10/2022

— SUBDIVISION VARIANCE —

Agenda Item No: 10C
LA RESERVA SUBDIVISION PHASE I-C

1. **Agenda Item:** Consider Variance Requests to the City's Unified Development Code: 1) Section 8.204A Streets, Paving Width and 2) Section 8.213 Sidewalks, proposed La Reserva Subdivision Phase I-C, being a 4.048 acre tract out of Lots 6 & 11, Block 73, Engelman, Re-Subdivision Las Mesteñas Grant, of the Missouri-Texas and Irrigation Company's Subdivision, located at 23501 Uresti Street, as requested by Halff & Associates, Inc.
2. **Description/Scope:** The property is located at the west side of the intersection of Benito A. Ramirez and Uresti Street. The property is approximately 3,100 ft. east of Brushline Road and is within the City of Edinburg's Extra Territorial Jurisdiction (ETJ), approximately 3.4 miles from the closest (northeast) boundary line. The 4.048 acre tract is currently vacant. The proposed subdivision is for a single family residential development consisting of six lots averaging approximately 24,716 sq. ft. each. Halff & Associates, Inc., on behalf of the developer, is requesting two variances to the City's Unified Development Code (UDC) for the aforementioned subdivision.

Variance Request #1: 8.204A Streets, Paving Width

This Variance Request is to forego required paving improvements or escrowing the fees for said improvements along the east portion of the subdivision, along Uresti Road. UDC Section 8.204 requires 80 ft. of ROW and 57 ft. of back-to-back paving for single family subdivisions. The developer is proposing to dedicate the requires additional 10 ft. of ROW and the Right of Way currently has 24 ft. of back-to-back paving for this section of Uresti, which is an approximate 58% reduction of the required paving. The developer is proposing to dedicate 10-15 ft. utility easements along all street yards. Estimated cost of street construction is \$62,745.28.

Variance Request #2: Section 8.213 Sidewalks

This Variance Request is to the required sidewalks on Uresti Road, approximately 641 linear feet along the east side of this development. UDC Section 8.213 requires that sidewalks be provided in the area between the parkway and the edge of the right-of-way. The developer is proposing to dedicate an additional 10 ft. of ROW, but not to construct the required sidewalks. Estimated cost for sidewalk improvements is \$14,875.00.

1. **Staff's Recommendation:** Staff recommends an approval of Variance #1 and Variance #2.

Variance #1: The proposed subdivision is the fourth phase of the La Reserva Subdivision developments, proceeding Phase I-A, I-B, and II. The two phases that also border Uresti Road are Phases I-A and I-B. Of which, both have been previously approved for variances to the Unified Development Code to not have to improve the Right of Way or escrow the fees. If approved phase

I-C would simply be a continuation of what is already in progress for the other phases. However, the developer should pay the fee in lieu of these improvements as required by UDC Section 7.502C.

Variance #2: The required sidewalks along the eastern side of the proposed development (along Uresti Road) total approximately 642 ft. There are currently no sidewalks that run along the east side of this development and there are no schools nearby. However, if the developer does not wish to provide the required improvements, they should, at a minimum, provide off-street trails suitable for meeting the needs of pedestrians and cyclists.

Prepared By:

Adan A. Elizondo, MPA
Planner I

Approved By:

Kimberly Mendoza, MPA
Director of Planning and Zoning

Attachments:

Unified Development Code
Aerial Photo
Site Map
Subdivision Plat& Reduced
Application
Cost Estimate
Previous Phase Approval Letters

Sec. 8.204 Street Standards

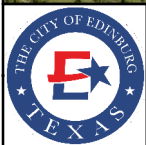
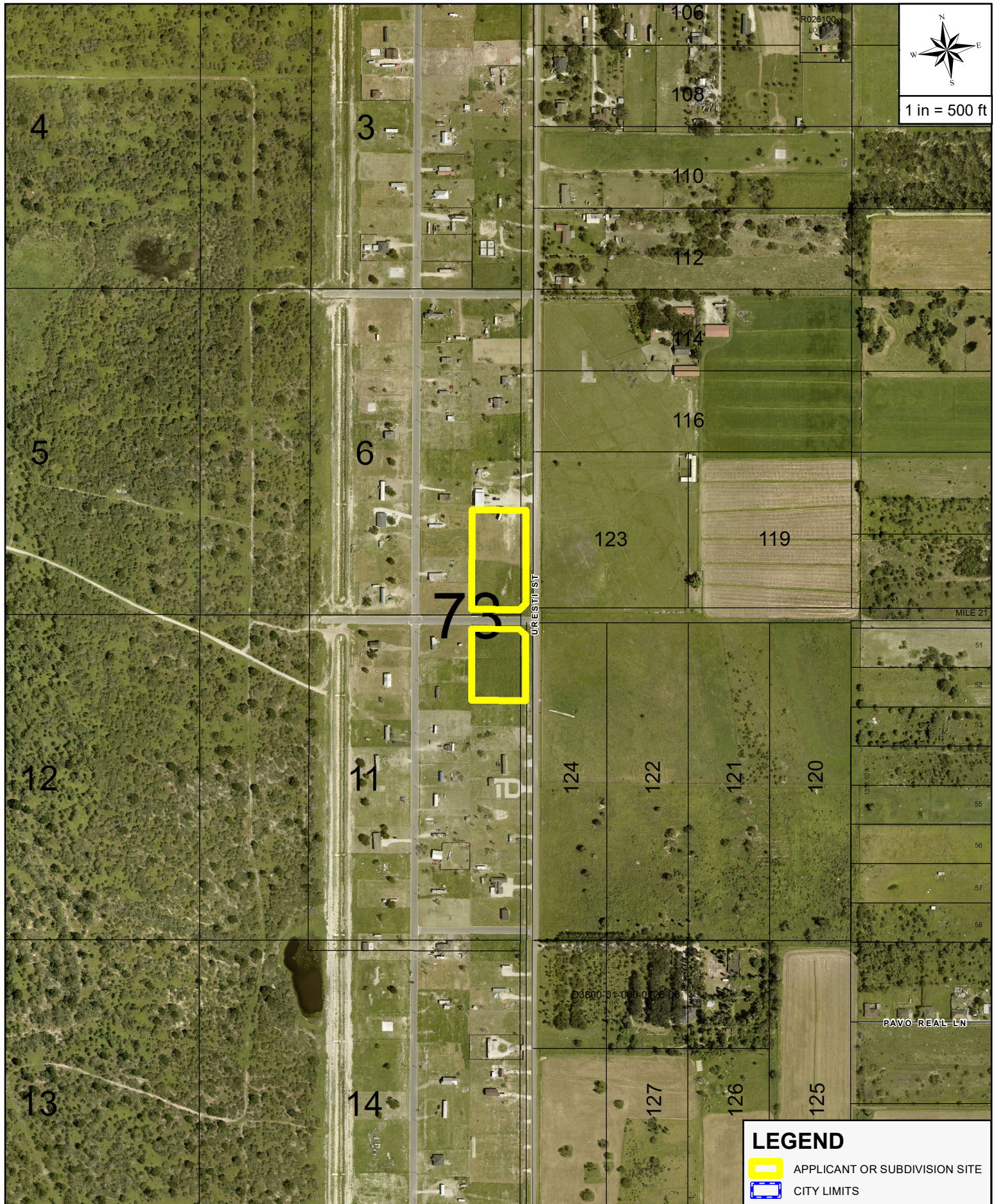
- A. **Streets.** The standards in Table 8.204, *Street Standards*, shall govern all street construction, except with regard to State highways, which shall meet Texas Department of Transportation (TxDOT) specifications.

Table 8.204 Street Standards ¹		
Right-of-way Width	Paving Width ²	Paving Sections Escrow
50 ft. (w/5 ft. U.E.) Minor (60 ft. with street trees)	32 ft. B-B	8-inch Caliche 2-inch HMAC
60 ft. Residential Collector ³	43 ft. 2 lanes (+) 2 park (+) C&G ⁴	8-inch Caliche 2-inch HMAC
80 ft. Collector	57 ft. B-B 2 lanes (1 OL) (+) 2 park (+) C&G	10-inch Caliche 2-inch HMAC
100 ft. Minor Arterial	65 ft. B-B 5 lanes (1CL) (+) C&G	12-inch Caliche 3-inch HMAC
120 ft. Arterial	81 ft. B-B 5 lanes (1CL) (+) 2 park (+) C&G 1 side	12-inch Caliche 3-inch HMAC
¹ Source: City Standards Manual, Section II-3. ² Travel lanes are 12 ft. wide and parking lanes ("park") are 8 ft. wide. Continuous Left (CL) and Occasional Left (OL) lanes are 14 ft. wide. ³ Multi-family subdivisions shall be required to comply with residential collector street standards. ⁴ C&G means 1.5 ft. wide curb and gutter on each side of the street.		

- B. **Adjustments.** The City shall, where feasible, require the street's design to minimize the disturbance of natural resources, including floodplains. Where additional right-of-way is needed to obtain vertical curve, grade, clear sight triangles, turn lanes, or medians, the required right-of-way shall be adjusted to the extent necessary in accordance with local needs as determined by the Planning and Engineering Departments.
- C. **Half Streets Prohibited.** No half-streets shall be permitted in new subdivision plats.

Sec. 8.213 Sidewalks

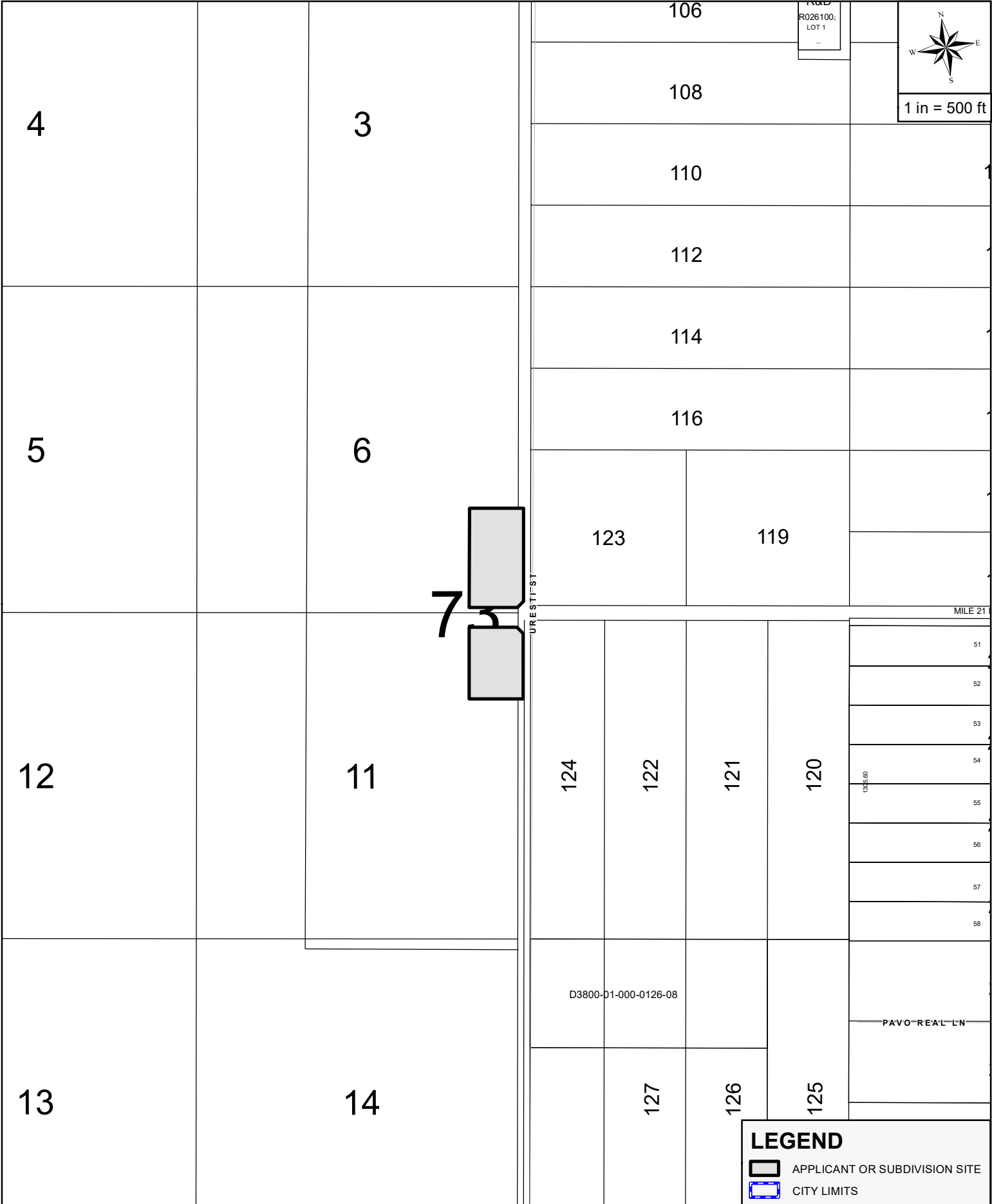
- A. **Sidewalk plan and permit required.** A sidewalk plan shall be submitted with the preliminary plat, development plat, and minor plat application and with the building permit application for unplatted property. A sidewalk permit shall be required to ensure compliance with the approved Sidewalk Plan. The sidewalk permit shall be filed with and reviewed by the City Engineer in accordance with the permit requirements set forth in Chapter 98 of the Code of Ordinances.
- B. **Location of sidewalks.**
1. Sidewalks shall be provided in the area between the parkway and the edge of the right-of-way, as shown in the Engineering Standards Manual, latest edition.
 2. The outer boundaries of sidewalks shall be located in the platted street right-of-way, generally one foot from the property line. This one foot width shall be subtracted from the required parkway width. Sidewalks may meander into the parkway to protect the root system of a mature tree, provided that no sidewalk be located closer than four feet to the back of curb or edge of pavement if no curb is present. This arrangement shall not reduce the right-of-way width requirement.
 3. Walks shall also be installed in any pedestrian easements as may be required by the Planning Department.
- C. **Modification of sidewalk requirements.** Sidewalk requirements may be altered or waived if a sidewalk plan that provides equal or greater pedestrian circulation is submitted to and approved by the Planning and Zoning Commission at the time of platting. These trade-offs may be permitted:
1. In suburban estate developments to allow off-street trails in lieu of sidewalks, thereby meeting the needs of walkers and cyclists; or
 2. In order to implement the City's Parks and Recreation Master Plan, as set out in subsection D., below.
- D. **Completion of sidewalk networks.**
1. In general, sidewalks should be constructed concurrent with street construction, with special provisions to protect their condition and integrity during the process of building construction. However, this requirement may be waived at the discretion of the Planning and Zoning Commission if reasonable assurances are provided that:
 - a. Sidewalk segments across individual lots will be constructed after buildings are constructed on the individual lots, but before they are occupied; and
 - b. The timing and phasing of development will result in the completion of the sidewalks on each street segment within 2 years of the date that building construction on the street segment is commenced.
 2. Sidewalks should be installed along street corridors on a priority basis in areas where they are not currently available.
- E. **Maintenance of Sidewalks Outside of the City.** Developers of property in the ETJ shall provide for the continuing maintenance of sidewalks by property owners, homeowners association or other appropriate means. If the development is located adjacent to the City limits, then voluntary annexation shall be required in lieu of this requirement. Sidewalks inside the City shall be maintained by the City and/or adjoining property owners.



AERIAL MAP

APPLICANT AND/OR SUBDIVISION:

HALFF ASSOCIATES, INC. / LA RESERVA PHASE I-C



METES AND BOUNDS DESCRIPTION: No 1

BEING a 2.356 acre (102,641 sq. ft.) tract of land out Lot 6, Block 73 of the ENGELMAN RESUBDIVISION OF THE MISSOURI-TEXAS AND IRRIGATION COMPANY'S SUBDIVISION as per plat of record in Volume 6, Page 28, of the Map Records Hidalgo County, Texas, (M.R.H.C.T.), same being out of that called 2.36 acre tract conveyed to La Reserva Phase 1, LTD, as recorded in Document Number 2964039 of the Official Records of Hidalgo County, Texas (O.R.H.C.T.); said 2.356 acre tract being more particularly described as follows:

COMMENCING at the common corner of Lots 6 and said Lot 11 of said Subdivision, same being at the intersection of the center line of Uresti Road (60' right of way) and Benito Ramirez Road (80' right of way);

THENCE, North 81° 02' 34" West, along the common line of said Lots 6 and 11, same being the center line of said Benito Ramirez Road, a distance of 258.69 feet to a point;

THENCE, North 08° 57' 26" East, across and perpendicular to said center line of Benito Ramirez Road, a distance of 40.00 feet to a 1/2-inch iron rod with cap stamped "4856" found at the southeast corner of Lot 46 of LA RESERVA SUBDIVISION PHASE IA as per plat of record Instrument No. 3054651 M.R.H.C.T., same being in the northerly right of way line of said Benito Ramirez Road, marking the POINT OF BEGINNING, for the southwesterly corner of the herein described tract;

THENCE, North 08° 57' 26" East, leaving said northerly right of way line of Benito A. Ramirez Road and with the easterly line of said Lot 46 and the easterly line of Lots 47 through Lot 49 of said LA RESERVA SUBDIVISION PHASE IA SUBDIVISION, a distance of 402.00 feet to a 1/2-inch iron rod with stamped "Half" set at the southwesterly corner of Lot 65 of said LA RESERVA SUBDIVISION PHASE IA, for the northwesterly corner of the herein described tract;

THENCE, South 81° 02' 34" East, with the southerly line of said Lot 65 and the northerly line of said 2.36 acre tract, at a distance of 218.45 pass a 1/2-inch iron rod with stamped "Half" set at the west right of way line of said Benito Ramirez Road, continuing for a total distance of 258.55 feet, for the northeastern corner of the herein described tract;

THENCE, South 08° 56' 46" West, along the easterly line of the aforementioned Lot 6 and along the center line of said Uresti Road, a distance of 377.00 feet, for the southeasterly corner of the herein described tract;

THENCE, North 81° 03' 14" West, along the southerly line of said of said 2.36 acre tract and across said Uresti Road, a distance of 40.00 feet to a 1/2-inch iron rod with cap stamped "4856" found, for an interior corner of the herein described tract;

THENCE, South 53° 57' 03" East, along the northerly right of way line of said Benito Ramirez Road and the southerly line of said 2.36 acre tract, a distance of 35.35 feet to a 1/2-inch iron rod with cap stamped "4856" found at an angle corner of said Lot 130, for the most southerly southeast corner of the herein described tract;

THENCE, North 81° 02' 34" West, along the northerly right of way line of Benito A. Ramirez Road, a distance of 193.63 feet to the POINT OF BEGINNING and containing an area of 2.356 acre (102,641 sq. ft.), more or less.

METES AND BOUNDS DESCRIPTION: No 2

BEING a 1.692 acre (73,715 sq. ft.) tract of land out Lot 11, Block 73 of the ENGELMAN RESUBDIVISION OF THE MISSOURI-TEXAS AND IRRIGATION COMPANY'S SUBDIVISION IN LAS MESTENAS GRANT as per plat of record in Volume 6, Page 28, of the Map Records Hidalgo County, Texas, (M.R.H.C.T.), same being out of that called 1.69 acre tract conveyed to La Reserva Phase 1, LTD, as recorded in Document Number 2964039 of the Official Records of Hidalgo County, Texas (O.R.H.C.T.); said 1.692 acre tract being more particularly described as follows:

COMMENCING at the common corner of Lots 6 and said Lot 11 of said Subdivision, same being at the intersection of the center line of Uresti Road (60' right of way) and Benito Ramirez Road (80' right of way);

THENCE, North 81° 02' 34" West, along the common line of said Lots 6 and 11, same being the center line of said Benito Ramirez Road, a distance of 258.69 feet to a point;

THENCE, South 08° 57' 26" West, across and perpendicular to said center line of Benito Ramirez Road, a distance of 40.00 feet to a 1/2-inch iron rod with cap stamped "4856" found at the northeastern corner of Lot 88 of LA RESERVA SUBDIVISION PHASE IA as per plat of record Instrument No. 3054651 M.R.H.C.T., same being in the southerly right of way line of said Benito Ramirez Road, marking the POINT OF BEGINNING, for the northwesterly corner of the herein described tract;

THENCE, South 81° 02' 34" East, along said southerly right of way line of Benito A. Ramirez Road, a distance of 193.61 feet to a 1/2-inch iron rod with cap stamped "4856" found, for an angle corner of the herein described tract;

THENCE, South 36° 02' 20" East, continuing along said southerly right of way line of Benito A. Ramirez Road, a distance of 35.56 feet to a 1/2-inch iron rod with cap stamped "4856" found in existing westerly right of way line of said Uresti Road, for an angle corner of the herein described tract;

THENCE, South 81° 03' 14" East, along the northerly line of said 1.69 acre tract, a distance of 40.00 feet to a point in the east line of said Lot 11, same being the center line said Uresti Road, for the northwesterly corner of the herein described tract;

THENCE, South 08° 56' 46" West, along the common line of said east line of Lot 11 and the center line said Uresti Road, a distance of 264.83 feet to a point, for the southeasterly corner of the herein described tract;

THENCE, North 81° 02' 34" West, leaving said common line and along the south line of said 1.69 acre tract, at a distance of 30.00 feet pass the 10-foot dedicated westerly right of way line of said Uresti Road, at a distance of 40.00 feet pass a 1/2-inch iron rod stamped "4856" found at the northeastern corner of Lot 89 of the aforementioned LA RESERVA SUBDIVISION PHASE IA, continuing along the northerly line of said Lot 89 for a total distance of 258.80 feet to a 1/2-inch iron rod stamped "4856" found in the easterly line of Lot 86, same being the northwesterly corner of said Lot 89, for the southwesterly corner of the herein described tract;

THENCE, North 08° 57' 26" East, along the easterly line said Lot 86, Lot 87 and said Lot 88 and the westerly line said 1.69 acre tract, at a distance of 71.87 feet pass the common corner of said Lot 86 and Lot 87, continuing along said easterly line, at a distance of 179.90 feet pass the common corner of said Lot 87 and said Lot 88, continuing along said easterly line of said Lot 88 and said westerly line of said 1.69 acre tract, for a total distance of 289.97 feet to the **POINT OF BEGINNING** and containing an area of 1.692 acre (73,715 sq. ft.), more or less.

LOCATION OF SUBDIVISION WITH RESPECT TO THE EXTRATERRITORIAL JURISDICTION OF A MUNICIPALITY:

LA RESERVA SUBDIVISION PHASE I-C, IS LOCATED IN CENTRAL HIDALGO COUNTY ON THE SOUTHWEST CORNER AND NORTHWEST CORNER OF THE INTERSECTION OF BENITO A. RAMIREZ ROAD AND URESTI ROAD. THE ONLY NEARBY MUNICIPALITY IS THE CITY OF EDINBURG ACCORDING TO THE OFFICIAL MAP IN THE OFFICE OF THE SECRETARY OF THE CITY OF EDINBURG (POPULATION 63,970). LA RESERVA SUBDIVISION PHASE I-C LIES APPROXIMATELY 3.00 MILES FROM THE CITY LIMITS AND IT IS WITHIN THE CITY'S 3 1/2 MILE EXTRA TERRITORIAL JURISDICTION (ETJ) UNDER LOCAL GOVERNMENT CODE § 42.021. IT LIES IN PRECINCT NO. 4.

MAYOR'S CERTIFICATION

I, THE UNDERSIGNED, MAYOR OF THE CITY OF EDINBURG, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

MAYOR'S SIGNATURE

DATE

ATTEST:

CITY SECRETARY

DATE

RIGHT OF WAY EASEMENT

KNOW ALL MEN BY THESE PRESENTS, that the undersigned, owners of the property shown on this plat, their successors, assigns, and transferees (hereinafter called "Grantor" whether one or more persons are named), in consideration of one dollar (\$1.00) and other good and valuable consideration paid by North Alamo Water Supply Corporation, (hereinafter called "Grantee"). The receipt and sufficiency of which is hereby acknowledged, does hereby grant, bargain, sell, transfer, and convey to said Grantee, its successors, and assigns, a perpetual easement with the right to erect, construct, install and thereafter use, operate, inspect, repair maintain, replace, and remove water distribution lines and appurtenances over and across the lands shown on this plat, together with the right of ingress and egress over Grantor's adjacent lands of the purpose for which the above mentioned rights are granted. The easement hereby granted shall not exceed 15' in width, and Grantee is hereby authorized to designate the course of the easement herein conveyed except that when the pipeline(s) is installed, the easement herein granted shall be limited to a strip of land 15' in width, the center line thereof being the pipeline installed.

In the event the easement hereby granted abuts on a public road and the city, county or state hereafter widens or relocates the public road so as to require the relocation of this water line as installed, Grantor further grants to Grantee an additional easement over and across the land shown on this plat for the purpose of laterally relocate said water line as may be necessary to clear the road improvements, which easement hereby granted shall be limited to a strip of land 15' in width, the center line thereof being the pipeline as relocated.

The consideration recited herein shall constitute payment in full for all damages sustained by Grantor by reason of the installation, maintenance, repair, replacement and relocation of the structures referred to herein. This agreement together with other provisions of this grant shall constitute an easement for the benefit of the above described lands and that said lands are free and clear of all encumbrances and liens except the following:

The easement conveyed herein was obtained or improved through Federal financial assistance. This easement is subject to the provisions of Title VI of the Civil Rights Act of 1964 and the regulations issued pursuant thereto for so long as the easement continues to be used for the same or similar purpose for which financial assistance was extended or for so long as the Grantee owns it, whichever is longer.

IN WITNESS WHEREOF the said Grantor executed this instrument this _____ day of _____, 20____.

LA RESERVA PHASE I, LTD.
BY: WILLIAM A. SCHWARTZ

Date

HIDALGO COUNTY

CERTIFICATE OF PLAT APPROVAL

I THE UNDERSIGNED CERTIFY THAT THIS PLAT OF LA RESERVA SUBDIVISION PHASE I-C WAS REVIEWED AND APPROVED BY THE HIDALGO COUNTY HEALTH DEPARTMENT ON _____, 20____.

ENVIRONMENTAL HEALTH DIVISION MANAGER

Date

APPROVED BY DRAINAGE DISTRICT:

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER THE TEXAS WATER CODE 49.211(C). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER AND HIS ENGINEER TO MAKE THEIR DETERMINATIONS.

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1

RAUL SESIN, P.E., C.F.M.
GENERAL MANAGER

Date

STATE OF TEXAS:
COUNTY OF HIDALGO:

I, RAUL GARCIA, JR., A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN TO THIS PLAT.

RAUL GARCIA, JR.
LICENSED PROFESSIONAL ENGINEER
P.E. REGISTRATION NO. 94855

STATE OF TEXAS:
COUNTY OF HIDALGO:

I, JUAN M. CASTILLO, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY MADE UNDER MY SUPERVISION ON THE GROUND.

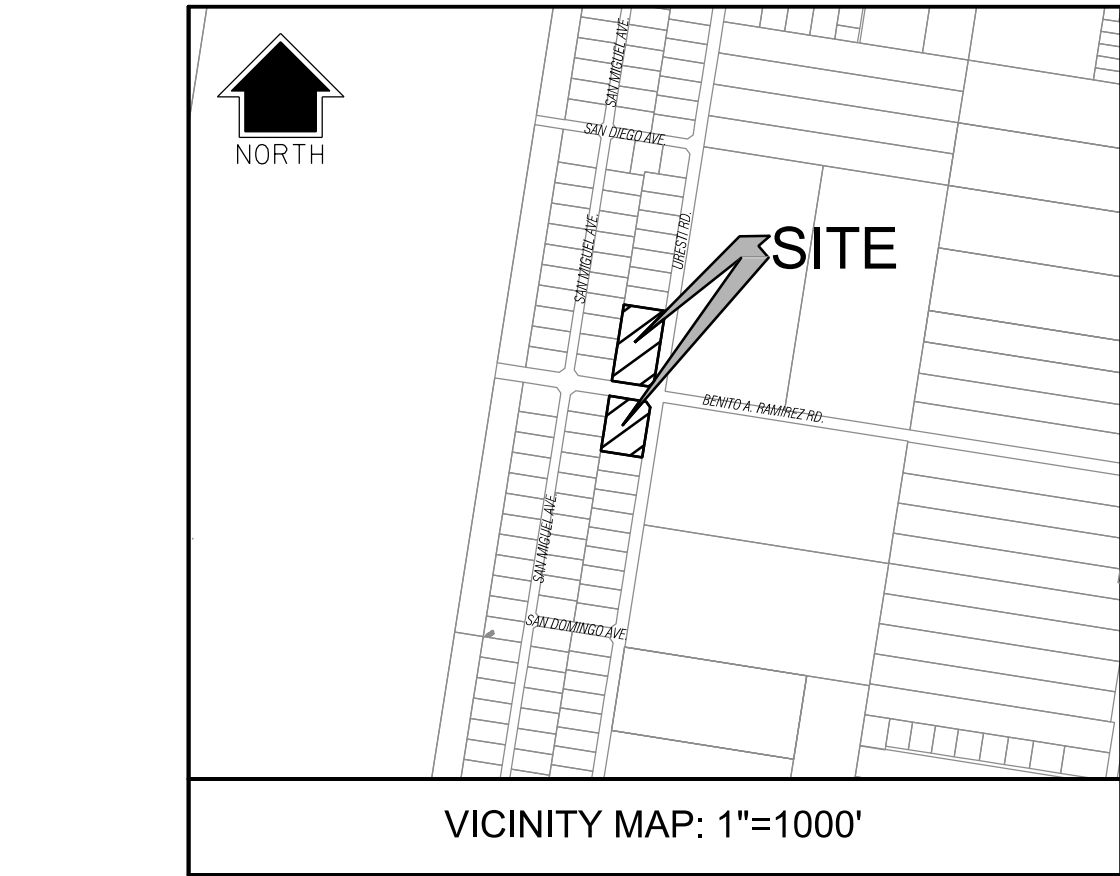
JUAN M. CASTILLO
REGISTERED PROFESSIONAL LAND SURVEYOR
STATE OF TEXAS NO. 6500

PRINCIPAL CONTACTS
OWNER: LA RESERVA PHASE I, LTD.
WILLIAM A. SCHWARTZ
ENGINEER: HALFF ASSOCIATES, INC.
SURVEYOR: HALFF ASSOCIATES, INC.

900 E. LAKEVIEW DRIVE
5000 W. MILITARY STE. 100
5000 W. MILITARY STE. 100

McALLEN, TX 78501
McALLEN, TX 78503
McALLEN, TX 78503

(956) 642-9400
(956) 664-0286
(956) 664-0286



STATE OF TEXAS
COUNTY OF HIDALGO
OWNER'S DEDICATION, CERTIFICATION, AND ATTESTATION

WE, WILLIAM A. SCHWARTZ, LA RESERVA PHASE I LTD., AS OWNER OF THE 62.51 ACRES TRACT OF LAND ENCOMPASSED WITHIN THE PROPOSED LA RESERVA SUBDIVISION PHASE I-C, HEREBY SUBDIVIDE THE LAND AS DEPICTED IN THIS SUBDIVISION PLAT AND DEDICATE TO PUBLIC USE THE STREET, PARK, AND EASEMENTS SHOWN HEREIN.

I CERTIFY THAT I HAVE COMPLIED WITH THE REQUIREMENTS OF TEXAS LOCAL GOVERNMENT CODE §232.032 AND THAT:

(A) THE WATER QUALITY AND CONNECTIONS TO THE LOTS MEET, OR WILL MEET, THE MINIMUM STATE STANDARDS;

(B) SEWER CONNECTIONS TO THE LOTS OR SEPTIC TANKS MEET, OR WILL MEET, THE MINIMUM REQUIREMENTS OF STATE STANDARDS;

(C) ELECTRICAL CONNECTIONS PROVIDED TO THE LOTS MEET, OR WILL MEET, THE MINIMUM STATE STANDARDS;

(D) GAS CONNECTIONS, IF AVAILABLE, PROVIDED TO THE LOTS MEET, OR WILL MEET, THE MINIMUM STATE STANDARDS.

I ATTEST THAT THE MATTERS ASSERTED IN THIS PLAT ARE TRUE AND COMPLETE.

LA RESERVA PHASE I, LTD.
BY: WILLIAM A. SCHWARTZ, MEMBER
ADDRESS: 900 E. LAKEVIEW DRIVE
McALLEN, TX 78501

Date

STATE OF TEXAS
COUNTY OF HIDALGO

BEFORE ME, the undersigned notary public, on this day personally appeared WILLIAM A. SCHWARTZ, LA RESERVA PHASE I, LTD. proved to me through their Texas Department of Public Safety Driver License to be the person whose name is subscribed to the foregoing instrument, who, being by me first duly sworn, declared that the statements therein are true and correct and acknowledged th.t she executed the some for the purposes and consideration thereby expressed.

Given under my hand and seal of office this _____ day of _____, 20____.

NOTARY PUBLIC

HIDALGO COUNTY
CERTIFICATE OF PLAT APPROVAL UNDER
LOCAL GOVERNMENT CODE §232.028(a)

Date

WE THE UNDERSIGNED CERTIFY THAT this plat of LA RESERVA SUBDIVISION PHASE I-C was reviewed and approved by the Hidalgo County Commissioners Court on _____

Hidalgo County Judge

Date

ATTEST:
Hidalgo County Clerk

Date

PLANNING & ZONING
COMMISSION CERTIFICATION

"I, the undersigned, Chairperson of the Planning and Zoning Commission of the City of Edinburg, hereby certify that this subdivision plat known as LA RESERVA SUBDIVISION PHASE I-C conforms to all requirements of the Subdivision Regulations this City wherein my approval is required and has been approved for recording on the _____ day of _____, 20____."

CHAIRPERSON PLANNING & ZONING COMMISSION

AREA TABLE		
LOT	S.F.	AC.
128	31,708	0.73
129	29,041	0.67
130	21,855	0.50
131	21,855	0.50
132	21,855	0.50
133	21,855	0.50

FILE FOR RECORD IN
HIDALGO COUNTY
ARTURO GUJARDO, JR.
HIDALGO COUNTY CLERK

ON: _____ AT _____ AM/PM
INSTRUMENT NUMBER _____
OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS
BY: _____ DEPUTY

PRELIMINARY PLAT
LA RESERVA SUBDIVISION PHASE I-C
OUT OF LOTS 6 AND 11, BLOCK 73
ENGELMAN RESUBDIVISION

HIDALGO COUNTY, TEXAS
DATE OF PREPARATION: 1/28/2022



5000 WEST MILITARY, SUITE 100
McALLEN, TX 78503
(956) 664-0286
TBPELS SURVEYING FIRM NO. 10194444

15' DRAINAGE EASEMENT
DOC. NO. 3015345
O.R.H.C.T.

LA RESERVA SUBDIVISION PHASE 1-A
INST. NO. 3054851
M.R.H.C.T.

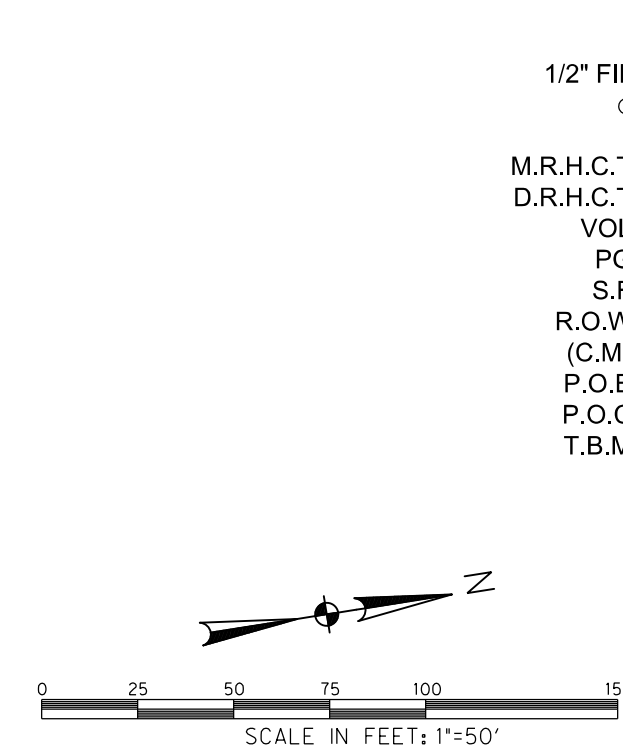
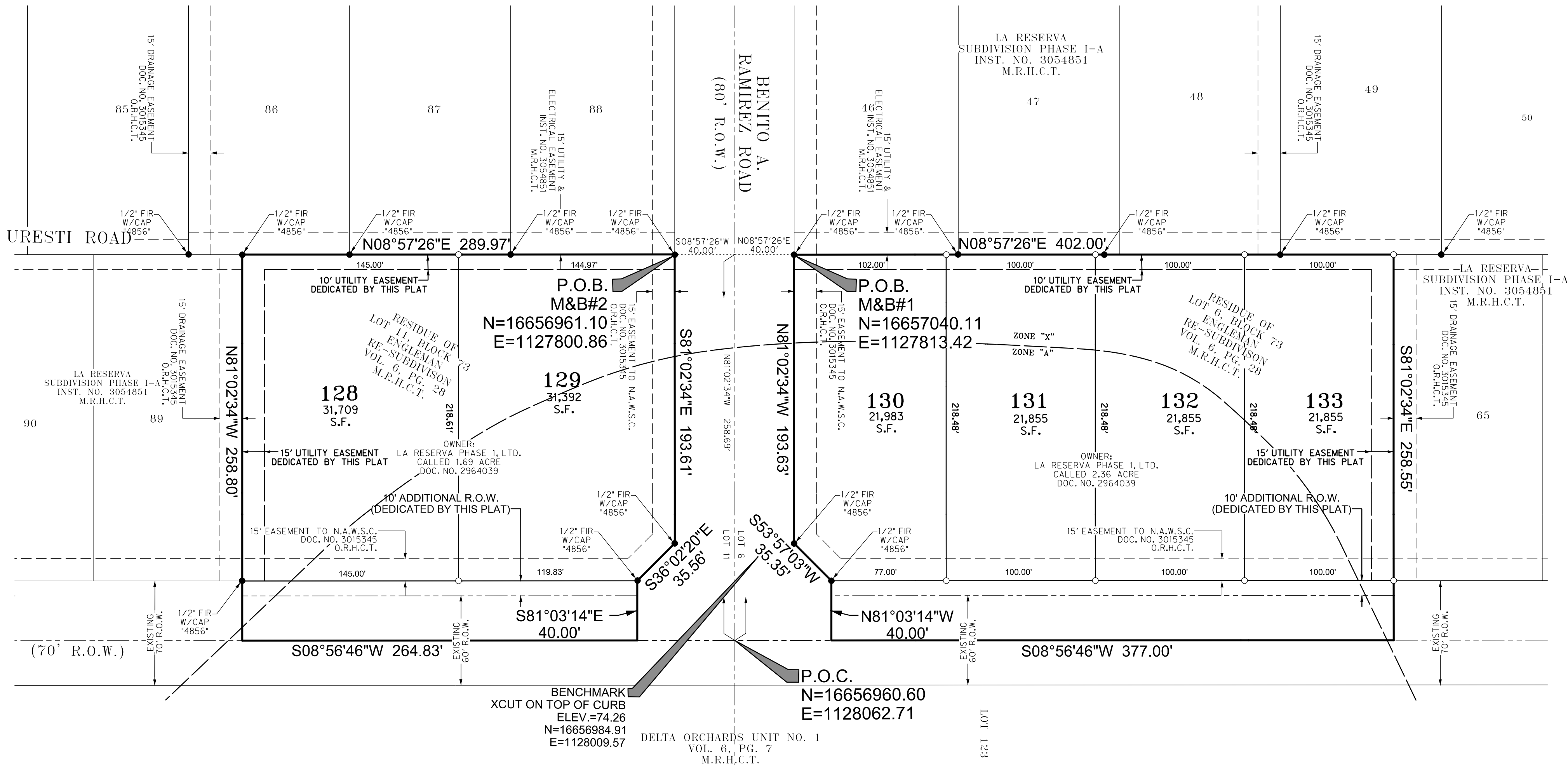
LA RESERVA SUBDIVISION PHASE 1-A
INST. NO. 3054851
M.R.H.C.T.

LA RESERVA SUBDIVISION PHASE 1-A
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LA RESERVA SUBDIVISION PHASE 1-A
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LA RESERVA SUBDIVISION PHASE 1-A
INST. NO. 3054851
M.R.H.C.T.

LA RESERVA SUBDIVISION PHASE 1-A
INST. NO. 3054851
M.R.H.C.T.



AREA TABLE		
LOT	S.F.	AC.
128	31,709	0.73
129	29,041	0.67
130	21,983	0.50
131	21,855	0.50
132	21,855	0.50
133	21,855	0.50

STATE OF TEXAS:
COUNTY OF HIDALGO:

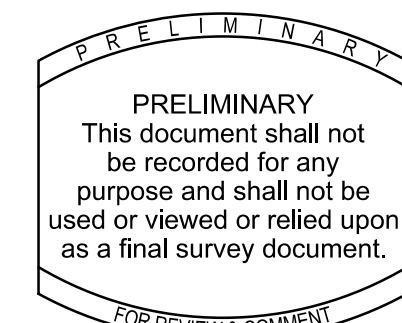
I, RAUL GARCIA, JR., A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN TO THIS PLAT.

RAUL GARCIA, JR.
LICENSED PROFESSIONAL ENGINEER
P.E. REGISTRATION NO. 94855

STATE OF TEXAS:
COUNTY OF HIDALGO:

I, JUAN M. CASTILLO, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY MADE UNDER MY SUPERVISION ON THE GROUND.

JUAN M. CASTILLO
REGISTERED PROFESSIONAL LAND SURVEYOR
STATE OF TEXAS NO. 6146



FILE FOR RECORD IN
HIDALGO COUNTY
ARTURO GUAJARDO, JR.
HIDALGO COUNTY CLERK

ON: _____ AT: _____ AM/PM
INSTRUMENT NUMBER _____
OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS
BY: _____ DEPUTY

LOCATION OF SUBDIVISION WITH RESPECT TO THE EXTRATERRITORIAL JURISDICTION OF A MUNICIPALITY:

LA RESERVA SUBDIVISION PHASE 1-C, IS LOCATED IN CENTRAL HIDALGO COUNTY ON THE SOUTHWEST CORNER AND NORTHWEST CORNER OF THE INTERSECTION OF BENITO A. RAMIREZ ROAD AND URESTI ROAD. THE ONLY NEARBY MUNICIPALITY IS THE CITY OF EDINBURG ACCORDING TO THE OFFICIAL MAP IN THE OFFICE OF THE SECRETARY OF THE CITY OF EDINBURG (POPULATION 63,970). LA RESERVA SUBDIVISION PHASE 1-C LIES APPROXIMATELY 3.00 MILES FROM THE CITY LIMITS AND IT IS WITHIN THE CITY'S 3 1/2 MILE EXTRA TERRITORIAL JURISDICTION (ETJ) UNDER LOCAL GOVERNMENT CODE § 42.021. IT LIES IN PRECINCT NO. 4.

PRINCIPAL CONTACTS
OWNER: LA RESERVA PHASE I, LTD.
WILLIAM A. SCHWARTZ
ENGINEER: HALFF ASSOCIATES, INC.
SURVEYOR: HALFF ASSOCIATES, INC.

900 E. LAKEVIEW DRIVE
5000 W. MILITARY STE. 100
5000 W. MILITARY STE. 100

McALLEN, TX 78501 (956) 642-9400
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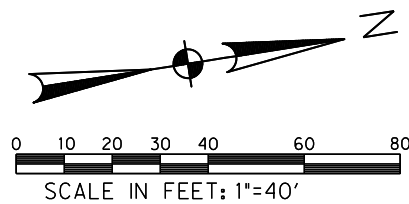


PRELIMINARY PLAT

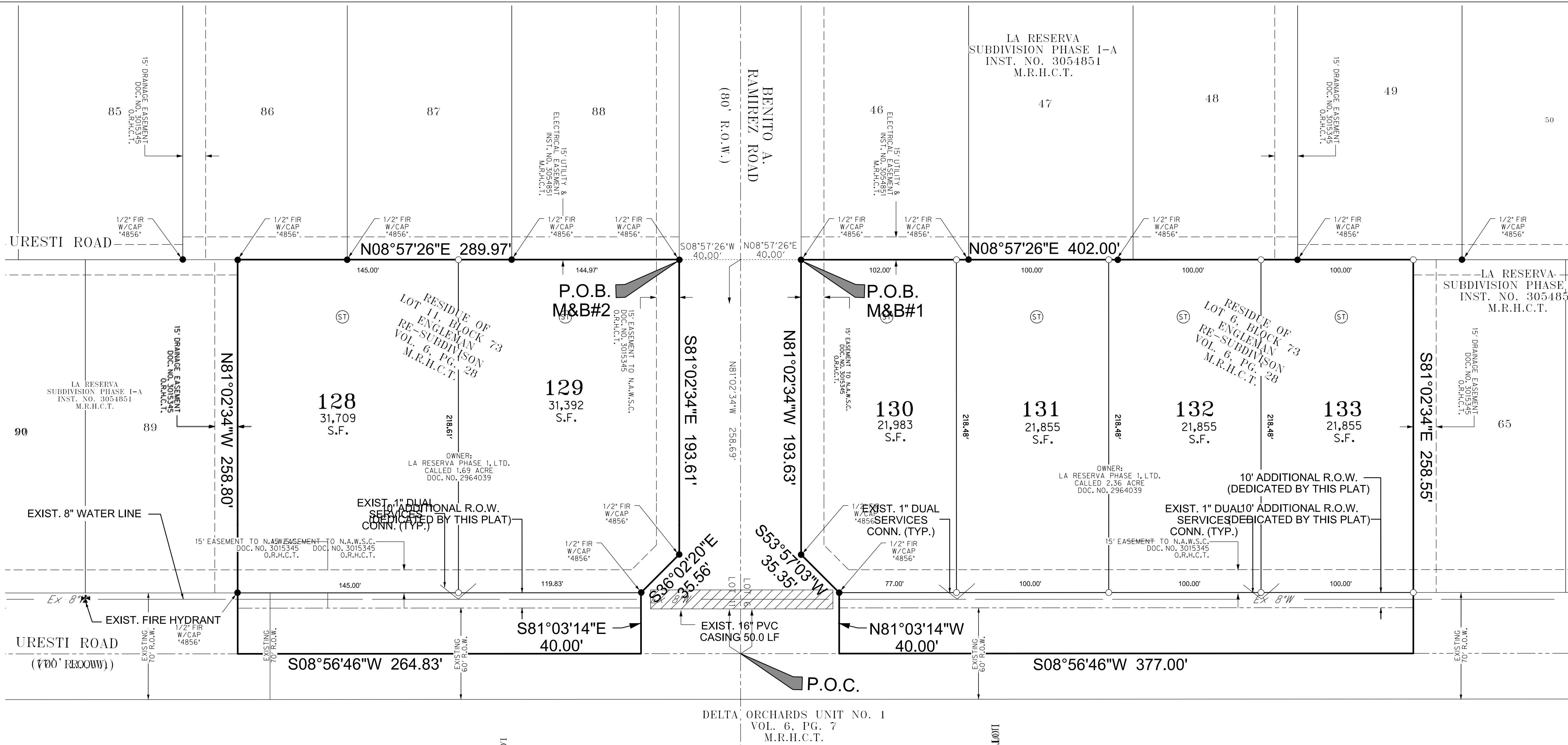
LA RESERVA SUBDIVISION PHASE 1-C

OUT OF LOTS 6 AND 11, BLOCK 73
ENGELMAN RESUBDIVISION
OF THE MISSOURI-TEXAS AND IRRIGATION
COMPANY'S SUBDIVISION
IN LAS MESTEÑAS GRANT

HIDALGO COUNTY, TEXAS
DATE OF PREPARATION: 1/28/2022



ST SEPTIC TANK (OSSF)



WATER SUPPLY: Description and Costs.

LA RESERVA SUBDIVISION PHASE 1-C WILL BE PROVIDED WITH POTABLE WATER BY NORTH ALAMO WATER SUPPLY CORPORATION ("N.A.W.S.C.") THE SUBDIVIDER AND N.A.W.S.C. HAVE ENTERED INTO CONTRACT IN WHICH N.A.W.S.C. PROMISED TO PROVIDE SUFFICIENT WATER TO THE SUBDIVISION FOR AT LEAST 30 YEARS. N.A.W.S.C. HAVE PROVIDED DOCUMENTATION TO SUFFICIENTLY ESTABLISH THE LONG-TERM QUANTITY OF THE AVAILABLE WATER SUPPLIES TO SERVE THE FULL DEVELOPMENT OF THE SUBDIVISION. N.A.W.S.C. HAS AN EXISTING 10" DIAMETER WATERLINE RUNNING ALONG THE NORTH SIDE OF F.M. 2812.

THE WATER SYSTEM FOR LA RESERVA SUBDIVISION CONSISTS OF AN 8" DIAMETER WATERLINE THAT TIE INTO THE EXISTING 10" DIAMETER WATERLINE AND RUNS SOUTH ALONG THE WEST SIDE OF URESTI ROAD.

THE 8" DIAMETER WATERLINE END WITH A 2" FLUSH VALVE LOCATED ON THE SOUTH SIDE OF THE SUBDIVISION. AN ADDITIONAL 8" DIAMETER WATERLINE RUNS ALONG THE NORTH SIDE OF SAN DIEGO AVE AND BENITO RAMIREZ RD AND LOOPS THE TWO PREVIOUS WATERLINES TOGETHER, FROM THE 8" WATER LINE FIVE (5) ¾ DIAMETER SINGLE SERVICES GOING TO THE METER BOXES FOR EACH LOT.

THE 8" DIAMETER WATERLINE, THE ¾" SINGLE SERVICE LINES AND THE WATER METER BOXES HAVE BEEN INSTALLED AT A TOTAL COST OF \$ 19,115.10 OR \$3,185.85 PER LOT. IN ADDITION, THE SUBDIVIDER WILL PAY N.A.W.S.C. THE SUM OF \$7,718.16 OR \$1,286.36 PER LOT AS STATED IN THE 30 YEAR WATER SERVICE AGREEMENT WHICH SUM REPRESENTS THE TOTAL COST OF WATER METER, RIGHTS ACQUISITION FEES AND ALL MEMBERSHIPS OR OTHER FEES ASSOCIATED WITH CONNECTING THE INDIVIDUAL LOTS IN THE SUBDIVISION TO N.A.W.S.C. UPON REQUEST BY THE LOT OWNER OF A LOT N.A.W.S.C. WILL PROMPTLY INSTALL AT NO CHARGE THE WATER METER FOR THAT LOT. THE SUBDIVIDER HAS INSTALLED ELEVEN (11) FIREHYDRANTS AT UNIT COST OF \$3,200.00 FOR A TOTAL COST OF \$35,200.00 THE ENTIRE WATER FACILITIES HAVE BEEN APPROVE AND ACCEPTED BY N.A.W.S.C. AND SAID DISTRIBUTION SYSTEM IS OPERABLE AS OF THE DATE OF THE RECORDING OF THE PLAT.

SUMINISTRO DE AGUA: Descripción y Costos.

LA SUBDIVISION LA RESERVA FASE 1-C SERÁ PROVISTA DE AGUA POTABLE POR LA COMPANIA DE AGUA NORTH ALAMO WATER SUPPLY CORPORATION ("N.A.W.S.C.") EL SUBDIVISOR Y N.A.W.S.C. HAN REALIZADO UN CONTRATO EN EL CUAL N.A.W.S.C. SE COMPROMETIO A PROPORCIONAR SUFICIENTE AGUA A LA SUBDIVISION DURANTE AL MENOS 30 AÑOS. N.A.W.S.C. HA PROPORCIONADO DOCUMENTACION DEMOSTRANDO LA DISPONIBILIDAD DE CANTIDAD Y CALIDAD DE LOS SUMINISTROS DE AGUA DISPONIBLES PARA SERVIR EL DESARROLLO COMPLETO DE LA SUBDIVISION. N.A.W.S.C. TIENE UNA LINEA DE AGUA EXISTENTE DE 10" DE DIAMETRO QUE CORRE A LO LARGO DEL LADO NORTE DE LA CALLE F.M. 2812.

EL SISTEMA DE AGUA PARA LA SUBDIVISION DE LA RESERVA CONSTA DE UNA LINEA DE AGUA DE 8" DE DIAMETRO QUE SE ENCUENTRA CON LA LINEA DE AGUA DE DIAMETRO EXISTENTE DE 10" Y CORRIDA HACIA EL SUR POR EL LADO OESTE DE URESTI ROAD. LA LINEA DE AGUA DE 8" DE DIAMETRO TERMINA CON UNA VÁLVULA DE DESCARGA DE 2" UBICADA EN EL LADO SUR DE LA SUBDIVISION.

UNA LINEA DE AGUA ADICIONAL DE 8" DE DIAMETRO CORRE A LO LARGO DEL LADO NORTE DE SAN DIEGO AVE Y BENITO RAMIREZ RD Y BUCE LAS DOS LINEAS DE AGUA PREVIOS JUNTAS. DESDE LA LINEA DE AGUA DE 8", CINCO (5) SERVICIOS ÚNICOS DE ¾" DE DIAMETRO Y LAS CAJAS DE MEDIDOR PARA CADA LOTE.

LA LINEA DE AGUA DE 8" DE DIAMETRO, LAS LINEAS DE SERVICIO ÚNICAS DE ¾" Y LAS CAJAS DEL MEDIDOR DE AGUA SE HAN INSTALADO A UN COSTO TOTAL DE \$ 19,115.10 O \$ 3,185.85 POR LOTE. ADemás, EL SUBDIVISIONADOR PAGARÁ A NAWSCA SUMA DE \$ 7,718.16 O \$ 1,286.36 POR LOTE COMO SE INDICA EN EL ACUERDO DE SERVICIO DE AGUA DE 30 AÑOS, CUYA SUMA REPRESENTA EL COSTO TOTAL DEL MEDIDOR DE AGUA, LAS TARIFAS DE ADQUISICIÓN DE DERECHOS Y TODAS LAS MEMBRERIAS U OTRAS TARIFAS ASOCIADAS CON LAS CONDICIONES INDIVIDUALES LA SUBDIVISION DE NAWSC. A SOLICITUD DEL PROPIETARIO DE UN LOTE N.A.W.S.C. PROMPLEMENTARÁ INSTALARÁ SIN CARGO EL MEDIDOR DE AGUA PARA ESE LOTE. EL SUBDIVISOR HA INSTALADO ONCE (11) HIDRANTES DE FUEGO A UN COSTO UNITARIO DE \$ 3,200.00 POR UN COSTO TOTAL DE \$ 35,200.00. TODAS LAS INSTALACIONES DE AGUA HAN SIDO APROBADAS Y ACEPTADAS POR N.A.W.S.C. Y DICHO SISTEMA DE DISTRIBUCIÓN ES OPERATIVO A PARTIR DE LA FECHA EN LA QUE LA SUBDIVISION SEA REGISTRADA.

SUBDIVIDER CERTIFICATION:

BY COMPLETING THE IMPROVEMENTS DESCRIBED ON THE PLAT, SUBDIVIDER WILL COMPLY WITH MINIMUM STATE STANDARDS AND THAT (a) WATER QUALITY AND CONNECTIONS INCLUDING WATER METERS TO THE LOTS MEET SUCH STANDARDS AND THAT (b) SEWER CONNECTIONS INCLUDING TO THE LOTS OR SEPTIC TANKS MEET OR WILL MEET SUCH STANDARDS AND WILL BE CONSTRUCTED IN ACCORDANCE WITH STATE AND COUNTY REGULATIONS.

SUBDIVIDER STATEMENT:

I (WE), SUBDIVIDERS OF LA RESERVA PHASE 1-C HEREBY CERTIFY SEWER PERMITS, AS APPLICABLE, HAVE BEEN PAID AND COPIES OF RECEIPTS ARE ON FILE WITH THE HIDALGO COUNTY HEALTH DEPARTMENT AND THAT AN ADEQUATE DRINKING WATER SOURCE IS IMMEDIATELY AVAILABLE TO EACH LOT OF THE TYPE, QUALITY & QUANTITY TO ENABLE EACH PERSON PURCHASING A LOT HAVE ADEQUATE WATER TO COMPLY WITH THE REGULATIONS AND THE LAWS OF THE STATE AS REQUIRED BY STATE AND COUNTY REGULATIONS.

LA RESERVA PHASE I, LTD.
BY: WILLIAM A. SCHWARZ, MEMBER
900 E. LAKEVIEW DRIVE
MCALLEN, TX 78501

STATE OF TEXAS
COUNTY OF HIDALGO

BEFORE ME, the undersigned notary public, on this day personally appeared WILLIAM A. SCHWARZ, LA RESERVA PHASE I, LTD proved to me through their Texas Department of Public Safety Driver License to be the person whose name is subscribed to the foregoing instrument, who, being by me truly sworn, declared that the statements therein are true and correct and acknowledged tht. she executed the some for the purposed and consideration thereby expressed.

Given under my hand and seal of office this _____ day of _____, 20____.

STATE OF TEXAS:
COUNTY OF HIDALGO:

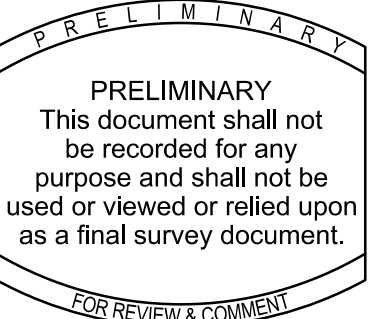
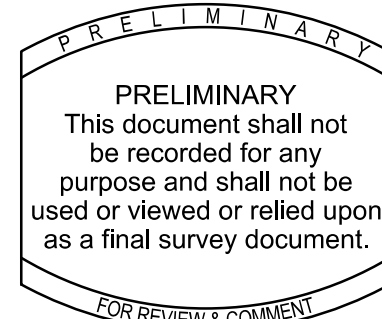
I, RAUL GARCIA, JR., A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN TO THIS PLAT.

RAUL GARCIA, JR.
LICENSED PROFESSIONAL ENGINEER
P.E. REGISTRATION NO. 94855

STATE OF TEXAS:
COUNTY OF HIDALGO:

I, JUAN M. CASTILLO, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY MADE UNDER MY SUPERVISION ON THE GROUND.

JUAN M. CASTILLO
REGISTERED PROFESSIONAL LAND SURVEYOR
STATE OF TEXAS NO. 6500



FILE FOR RECORD IN
HIDALGO COUNTY
ARTURO GUJARDO, JR.
HIDALGO COUNTY CLERK

ON: _____ AT: _____ AM/PM
INSTRUMENT NUMBER _____
OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS
BY: _____ DEPUTY

PRELIMINARY PLAT
LA RESERVA SUBDIVISION PHASE 1-C
OUT OF LOTS 6 AND 11 BLOCK 73
ENGELMAN RESUBDIVISION
WATER DISTRIBUTION

HIDALGO COUNTY, TEXAS
DATE OF PREPARATION: 1/28/2022



5000 WEST MILITARY, SUITE 100
MCALLEN, TX 78503
(956) 664-0286
TBPELS SURVEYING FIRM NO. 10194444

SHEET NO.
3 OF 5

LOCATION OF SUBDIVISION WITH RESPECT TO THE EXTRATERRITORIAL JURISDICTION OF A MUNICIPALITY:

LA RESERVA SUBDIVISION PHASE 1-C, IS LOCATED IN CENTRAL HIDALGO COUNTY ON THE SOUTHWEST CORNER AND NORTHWEST CORNER OF THE INTERSECTION OF BENITO A. RAMIREZ ROAD AND URESTI ROAD. THE ONLY NEARBY MUNICIPALITY IS THE CITY OF EDINBURG ACCORDING TO THE OFFICIAL MAP IN THE OFFICE OF THE SECRETARY OF THE CITY OF EDINBURG (POPULATION 63,970). LA RESERVA SUBDIVISION PHASE 1-C LIES APPROXIMATELY 3.00 MILES FROM THE CITY LIMITS AND IT IS WITHIN THE CITY'S 3 1/2 MILE EXTRA TERRITORIAL JURISDICTION (ETJ) UNDER LOCAL GOVERNMENT CODE § 42.021. IT LIES IN PRECINCT NO. 4.

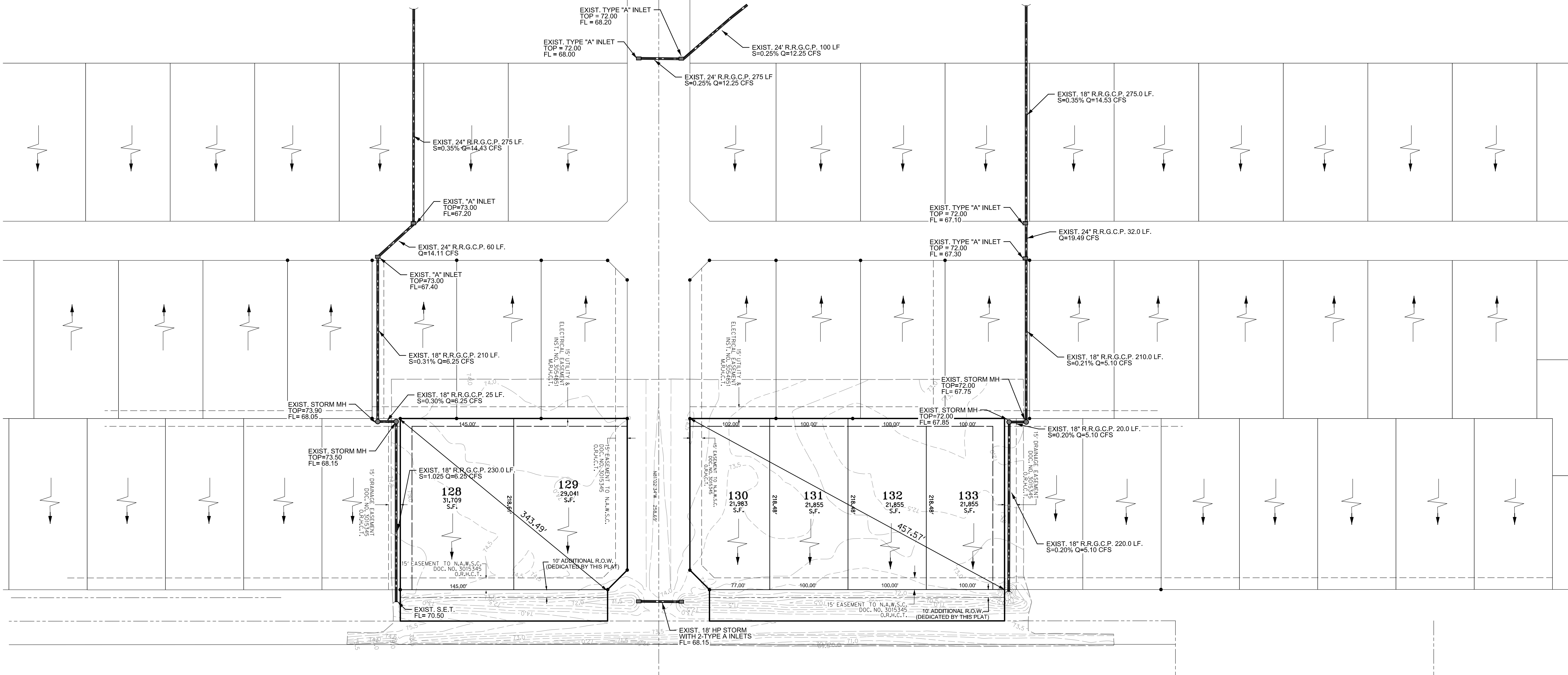
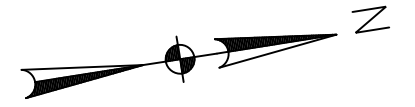
PRINCIPAL CONTACTS

OWNER: LA RESERVA PHASE I, LTD.
WILLIAM A. SCHWARTZ
ENGINEER: HALFF ASSOCIATES, INC.
SURVEYOR: HALFF ASSOCIATES, INC.

900 E. LAKEVIEW DRIVE
5000 W. MILITARY STE. 100
5000 W. MILITARY STE. 100

MCALLEN, TX 78501
MCALLEN, TX 78503
MCALLEN, TX 78503

(956) 642-9400
(956) 664-0286
(956) 664-0286



SEWAGE FACILITIES: Description and Costs.

SEWAGE FROM LAS RESERVA RE-SUBDIVISION PHASE 1-C IS TREATED BY INDIVIDUAL ON-SITE SEWAGE FACILITIES ("OSSF") CONSISTING OF A STANDARD DESIGN DUAL COMPARTMENT SEPTIC TANK AND A DRAINFIELD ON EACH LOT. THE SITE EVALUATOR (LICENSE NUMBER OS 12258) HAS EVALUATED THE SUSTAINABILITY OF THE SUBDIVISION SITE FOR OSSF AND SUBMITTED A REPORT CONCLUDING THAT THE SITE IS SUITABLE FOR OSSF. THE REPORT REVIEWED AND APPROVED BY THE HIDALGO COUNTY HEALTH DEPARTMENT, HIGHLIGHTS OF THE REPORT AS FOLLOWS:

EACH LOT IN THE SUBDIVISION IS AT LEAST 1/4 ACRE IN SIZE THE UNITED STATES OF AGRICULTURE SOIL CONSERVATION SERVICE SOIL SURVEY BOOK INDICATED A FINE SANDY LOAM. THE SITE EVALUATOR (LICENSE NUMBER 12258) HAD TWELVE (12) TEST BORINGS MADE AT OPPOSITE AREAS OF THE SUBDIVISION AT THE CENTERS OF LOTS 1, 2, 11, 33, 27, 43, 61, 71, 89, 91, & 97. (ADDITIONAL BORINGS WERE UNNECESSARY BECAUSE THE SOILS ARE VERY UNIFORM WITHIN THIS LIMITED AREA) THE SOIL REPORT AS PREPARED BY SITE EVALUATOR INDICATES A CLAY LOAM AND SANDY CLAY LOAM (WITH TEXTURE CLASS II) EXTENDING MORE THAN 24" BELOW THE BOTTOM OF ANY EXIST. EXCAVATIONS. THE SUBDIVISION DRAINS WELL. THE 10-YEAR STORM BEING CONTAINED WITHIN THE STREET AND THE DRAINAGE EASEMENTS.

THE COST TO INSTALL A SEPTIC SYSTEM ON AN INDIVIDUAL LOT IS \$2,300.00 INCLUDING THE COST FOR REQUIRED PERMIT AND LICENSE ALL OSSFS HAVE BEEN INSTALLED AS OF THE APPLICATION FOR FINAL PLAT APPROVAL. AT A TOTAL COST OF \$13,800.00, THE HIDALGO COUNTY HEALTH DEPARTMENT HAS INSPECTED AND APPROVED THE INSTALLATION OF ALL OSSF ON (DATE).

DRENAGE AGUAS RESIDUALES: Descripción y Costos.

EL DRENAGE DE LAS AGUAS RESIDUALES DE LA SUBDIVISION DE "LA RESERVA" FASE 1-C TENDRA FOSAS SEPTICAS INDIVIDUALES ("OSSF") QUE CONSISTEN EN UN TANQUE SEPTICO DE DOBLE COMPARTIMIENTO DE DISEÑO ESTÁNDAR Y UN CAMPO DE DRENAJE EN CADA LOTE. EL EVALUADOR DEL SITIO (NUMERO DE LICENCIA OS 12258) HA EVALUADO LA SOSTENIBILIDAD DEL SITIO DE LA SUBDIVISION PARA OSSF Y ENVIO UN INFORME CONCLUYENDO QUE EL SITIO ES ADECUADO PARA OSSF. EL INFORME FUE REVISADO Y APROBADO POR EL DEPARTAMENTO DE LA SALUD DEL CONDADO DE HIDALGO.

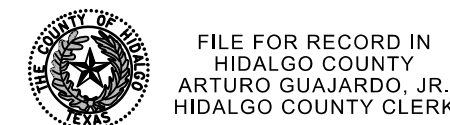
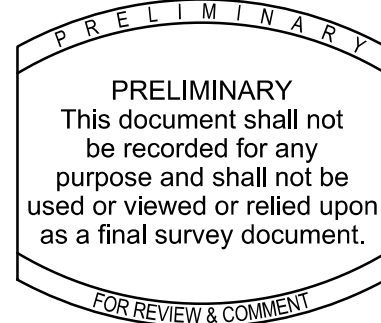
CADA LOTE EN LA SUBDIVISION TIENE POR LO MENOS 1/4 ACRE DE TAMAÑO. EL LIBRO DE SERVICIOS Y CONSERVACION DEL SUELO DEL DEPARTAMENTO DE AGRICULTURA DE LOS ESTADOS UNIDOS (USDA) INDICA MEZCLA DE BARRO ARENOSO. EL EVALUADOR DEL SITIO (NUMERO DE LICENCIA 12258) TENIA DOCE (12) PERFORACIONES DE PRUEBA REALIZADAS EN AREAS OPUESTAS DE LA SUBDIVISION, ESPECIFICAMENTE EN EL CENTRO DE LOS LOTES 1, 2, 11, 33, 27, 43, 61, 71, 89, 91 Y 97. (PERFORACIONES ADICIONALES NO FUERON NECESARIAS PORQUE LOS SUELOS SON MUY UNIFORMES DENTRO DE ESTA AREA LIMITADA) EL INFORME DE SUELO PREPARADO POR EL EVALUADOR DEL SITIO INDICA UNA MARGA DE BARRO ARENOSO Y MARGA DE BARRO (CON TEXTURA CLASE II) QUE SE EXTIENDE MAS DE 24" POR DEBAJO DE LA EXCAVACION. LA SUBDIVISION DRENA BIEN LA TORMENTA DE 10 AÑOS. LA CUAL ESTÁ CONTENIDA DENTRO DE LA CALLE Y LAS LIENAS DE DRENAJE.

EL COSTO DE INSTALAR UN SISTEMA SEPTICO EN UN LOTE INDIVIDUAL ES DE \$ 2,300 INCLUYENDO EL COSTO DEL PERMISO Y LICENCIA REQUERIDOS TODOS LOS OSSFS SE HAN INSTALADO A PARTIR DE LA SOLICITUD DE APROBACION DE PLACA FINAL. A UN COSTO TOTAL DE \$13,800 EL DEPARTAMENTO DE SALUBRIDAD DEL CONDADO DE HIDALGO HA INSPECCIONADO Y APROBADO LA INSTALACION DE TODOS LOS OSSF DESDE EL 7 DE MARZO DE 2019.

STATE OF TEXAS:
COUNTY OF HIDALGO:

I, RAUL GARCIA, JR., A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN TO THIS PLAT.

RAUL GARCIA, JR.
LICENSED PROFESSIONAL ENGINEER
P.E. REGISTRATION NO. 94855



ON: _____ AT: _____ AM/PM
INSTRUMENT NUMBER _____
OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS
BY: _____ DEPUTY

PRELIMINARY PLAT
LA RESERVA SUBDIVISION PHASE 1-C
OUT OF LOTS 6 & 11, BLOCK 73
ENGELMAN RESUBDIVISION
TOPOGRAPHY AND DRAINAGE

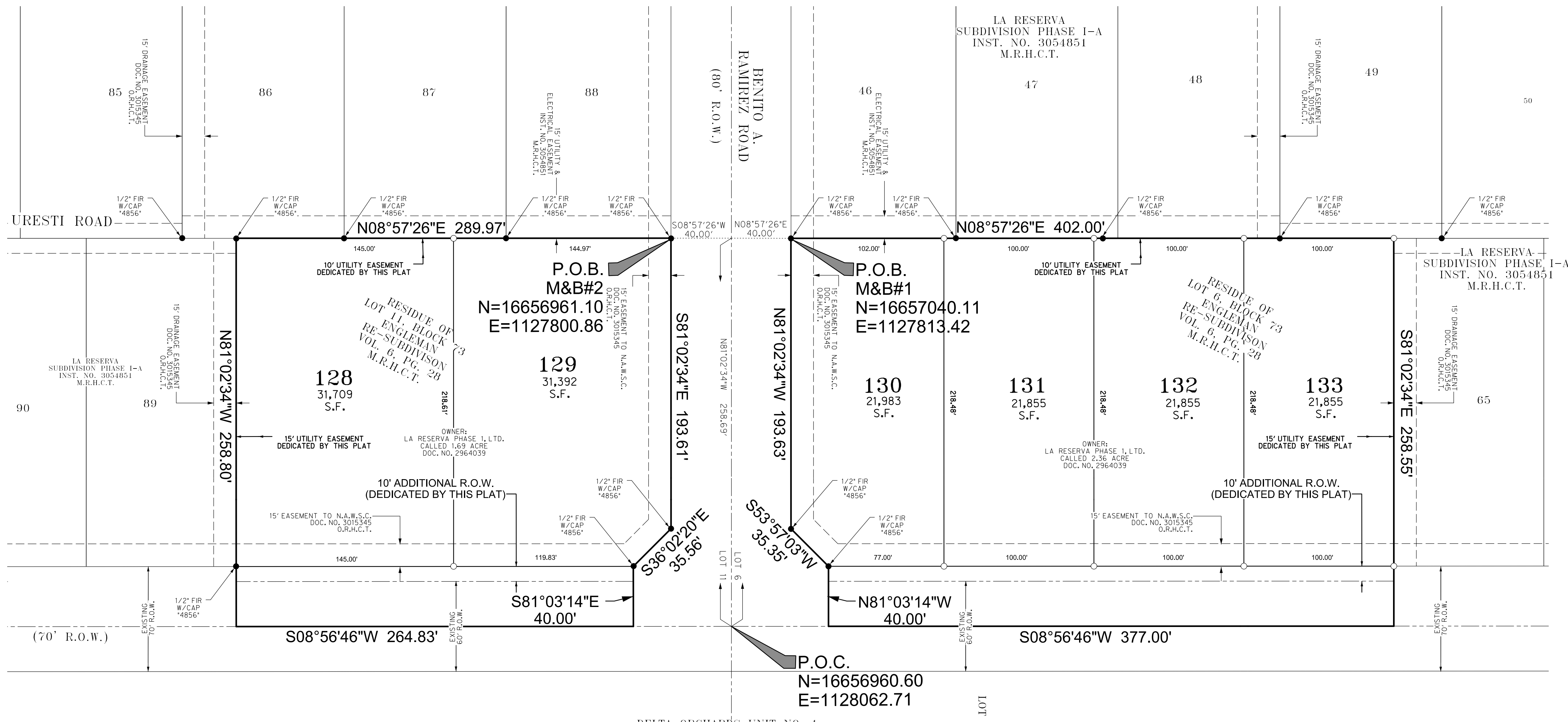
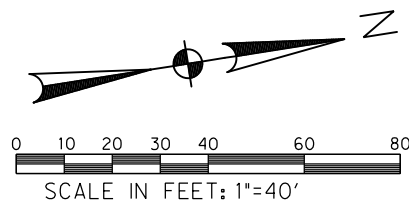
HIDALGO COUNTY, TEXAS
DATE OF PREPARATION: 1/29/2022



PRINCIPAL CONTACTS			
OWNER: LA RESERVA PHASE I, LTD.	900 E. LAKEVIEW DRIVE	McAlLEN, TX 78501	(959) 642-9400
ENGINEER: HALFF ASSOCIATES, INC.	5000 W. MILITARY STE. 100	McAlLEN, TX 78503	(959) 664-0286
SURVEYOR: HALFF ASSOCIATES, INC.	5000 W. MILITARY STE. 100	McAlLEN, TX 78503	(959) 664-0286

LOCATION OF SUBDIVISION WITH RESPECT TO THE EXTRATERRITORIAL JURISDICTION OF A MUNICIPALITY:

LA RESERVA SUBDIVISION PHASE 1-C, IS LOCATED IN CENTRAL HIDALGO COUNTY ON THE SOUTHWEST CORNER AND NORTHWEST CORNER OF THE INTERSECTION OF BENITO A. RAMIREZ ROAD AND URESTI ROAD. THE ONLY NEARBY MUNICIPALITY IS THE CITY OF EDINBURG ACCORDING TO THE OFFICIAL MAP IN THE OFFICE OF THE SECRETARY OF THE CITY OF EDINBURG (POPULATION 63,970). LA RESERVA SUBDIVISION PHASE 1-C LIES APPROXIMATELY 3.00 MILES FROM THE CITY LIMITS AND IT IS WITHIN THE CITY'S 3 1/2 MILE EXTRA TERRITORIAL JURISDICTION (ETJ) UNDER LOCAL GOVERNMENT CODE § 42.021. IT LIES IN PRECINCT NO. 4.



SUBDIVIDER CERTIFICATION:

BY COMPLETING THE IMPROVEMENTS DESCRIBED ON THE PLAT, SUBDIVIDER WILL COMPLY WITH MINIMUM STATE STANDARDS AND THAT (a) WATER QUALITY AND CONNECTIONS INCLUDING WATER METERS TO THE LOTS MEET SUCH STANDARDS AND THAT(b) SEWER CONNECTIONS INCLUDING TO THE LOTS OR SEPTIC TANKS MEET OR WILL MEET SUCH STANDARDS AND WILL BE CONSTRUCTED IN ACCORDANCE WITH STATE AND COUNTY REGULATIONS.

SUBDIVIDER STATEMENT:

I (WE), SUBDIVIDERS OF LA RESERVA PHASE 1-C HEREBY CERTIFY SEWER PERMITS, AS APPLICABLE, HAVE BEEN PAID AND COPIES OF RECEIPTS ARE ON FILE WITH THE HIDALGO COUNTY HEALTH DEPARTMENT AND THAT AN ADEQUATE DRINKING WATER SOURCE IS IMMEDIATELY AVAILABLE TO EACH LOT OF THE TYPE, QUALITY & QUANTITY TO ENABLE EACH PERSON PURCHASING A LOT HAVE ADEQUATE WATER TO COMPLY WITH THE REGULATIONS AND THE LAWS OF THE STATE AS REQUIRED BY STATE AND COUNTY REGULATIONS.

LA RESERVA PHASE I, LTD.
BY: WILLIAM A. SCHWARZ, MEMBER
900 E. LAKEVIEW DRIVE
MCALLEN, TX 78501

STATE OF TEXAS
COUNTY OF HIDALGO

BEFORE ME, the undersigned notary public, on this day personally appeared WILLIAM A. SCHWARZ, LA RESERVA PHASE I, LTD proved to me through their Texas Department of Public Safety Driver License to be the person whose name is subscribed to the foregoing instrument, who, being by me first duly sworn, declared that the statements therein are true and correct and acknowledged that she executed the same for the purposes and consideration thereby expressed.

ENGINEER CERTIFICATION

BY MY SIGNATURE BELOW, I CERTIFY THAT THE WATER AND SEWAGE FACILITIES DESCRIBED ABOVE ARE IN COMPLIANCE WITH THE MODEL RULES ADOPTED UNDER SECTION 16.343 WATER CODE. I CERTIFY THAT THE COSTS TO INSTALL THE WATER AND CONSTRUCTED ON-SITE SEWAGE FACILITIES DISCUSSED ABOVE ARE AS FOLLOWS:

WATER FACILITIES-THSE FACILITIES FULLY CONSTRUCTED, WITH THE INSTALLATION OF WATER METERS, WILL COST A GRAND TOTAL OF \$26,833.32, WHICH EQUALS, \$4,472.22 PER LOT.
SEWAGE FACILITIES-SEPTIC SYSTEM IS ESTIMATED TO COST \$2,300.00 PER LOT, (ALL INCLUSIVE) FOR A TOTAL OF \$13,800.00 FOR THE ENTIRE SUBDIVISION.

CERTIFICACION DE INGENIERO

CON MI FIRMA A CONTINUACIÓN, CERTIFICO QUE LAS INSTALACIONES DE SERVICIO DE AGUA Y AGUAS RESIDUALES DESCRITAS ANTERIORMENTE CUMPLEN CON LAS REGLAS MODELO ADOPTADAS BAJO LA SECCIÓN 16.343 DEL CÓDIGO DE AGUA. CERTIFICO QUE LOS COSTOS DE INSTALAR EL AGUA Y LAS INSTALACIONES CONSTRUIDAS EN EL LUGAR DE AGUAS RESIDUALES ANTERIORES SON LOS SIGUIENTES:

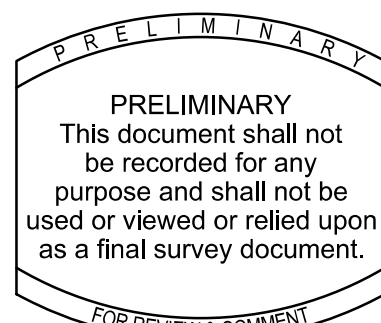
INSTALACIONES DE AGUA - ESTAS INSTALACIONES TOTALMENTE CONSTRUIDAS, CON LA INSTALACIÓN DE MEDIDORES DE AGUA, COSTARÁN UN GRAN TOTAL DE \$26,833.32, QUE ES IGUAL A \$4,472.22 POR LOTE.

INSTALACIONES DE AGUAS RESIDUALES: EL SISTEMA SEPTICO SE ESTIMA EN UN COSTO DE \$2,300 POR LOTE (TODO INCLUIDO) PARA UN TOTAL DE \$13,800.00 PARA LA SUBDIVISIÓN ENTERA.

STATE OF TEXAS:
COUNTY OF HIDALGO:

I, RAUL GARCIA, JR., A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN TO THIS PLAT.

RAUL GARCIA, JR.
LICENSED PROFESSIONAL ENGINEER
P.E. REGISTRATION NO. 94855



LOCATION OF SUBDIVISION WITH RESPECT TO THE EXTRATERRITORIAL JURISDICTION OF A MUNICIPALITY:

LA RESERVA SUBDIVISION PHASE I-C, IS LOCATED IN CENTRAL HIDALGO COUNTY ON THE SOUTHWEST CORNER AND NORTHWEST CORNER OF THE INTERSECTION OF BENITO A. RAMIREZ ROAD AND URESTI ROAD. THE ONLY NEARBY MUNICIPALITY IS THE CITY OF EDINBURG ACCORDING TO THE OFFICIAL MAP IN THE OFFICE OF THE SECRETARY OF THE CITY OF EDINBURG (POPULATION 53,970). LA RESERVA SUBDIVISION PHASE 1-C LIES APPROXIMATELY 3.00 MILES FROM THE CITY LIMITS AND IT IS WITHIN THE CITY'S 3 1/2 MILE EXTRA TERRITORIAL JURISDICTION (ETJ) UNDER LOCAL GOVERNMENT CODE § 42.021. IT LIES IN PRECINCT NO. 4.

PRINCIPAL CONTACTS
OWNER: LA RESERVA PHASE I, LTD.
WILLIAM A. SCHWARTZ
ENGINEER: HALFF ASSOCIATES, INC.
SURVEYOR: HALFF ASSOCIATES, INC.

900 E. LAKEVIEW DRIVE
5000 W. MILITARY STE. 100
5000 W. MILITARY STE. 100

MCALLEN, TX 78501
MCALLEN, TX 78503
MCALLEN, TX 78503

(956) 642-9400
(956) 664-0286
(956) 664-0286



FILE FOR RECORD IN
HIDALGO COUNTY
ARTURO GUAJARDO, JR.
HIDALGO COUNTY CLERK

ON: _____ AT _____ AM/PM
INSTRUMENT NUMBER _____
OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS
BY: _____ DEPUTY

**PRELIMINARY PLAT
LA RESERVA SUBDIVISION PHASE I-C
OUT OF LOTS 6 AND 11 BLOCK 73
ENGELMAN RESUBDIVISION
ENGINEERING REPORT**

HIDALGO COUNTY, TEXAS
DATE OF PREPARATION: 1/28/2022



5000 WEST MILITARY, SUITE 100
MCALLEN, TX 78503
(956) 664-0286
TPELS SURVEYING FIRM NO. 10194444

HALFF

HALFF

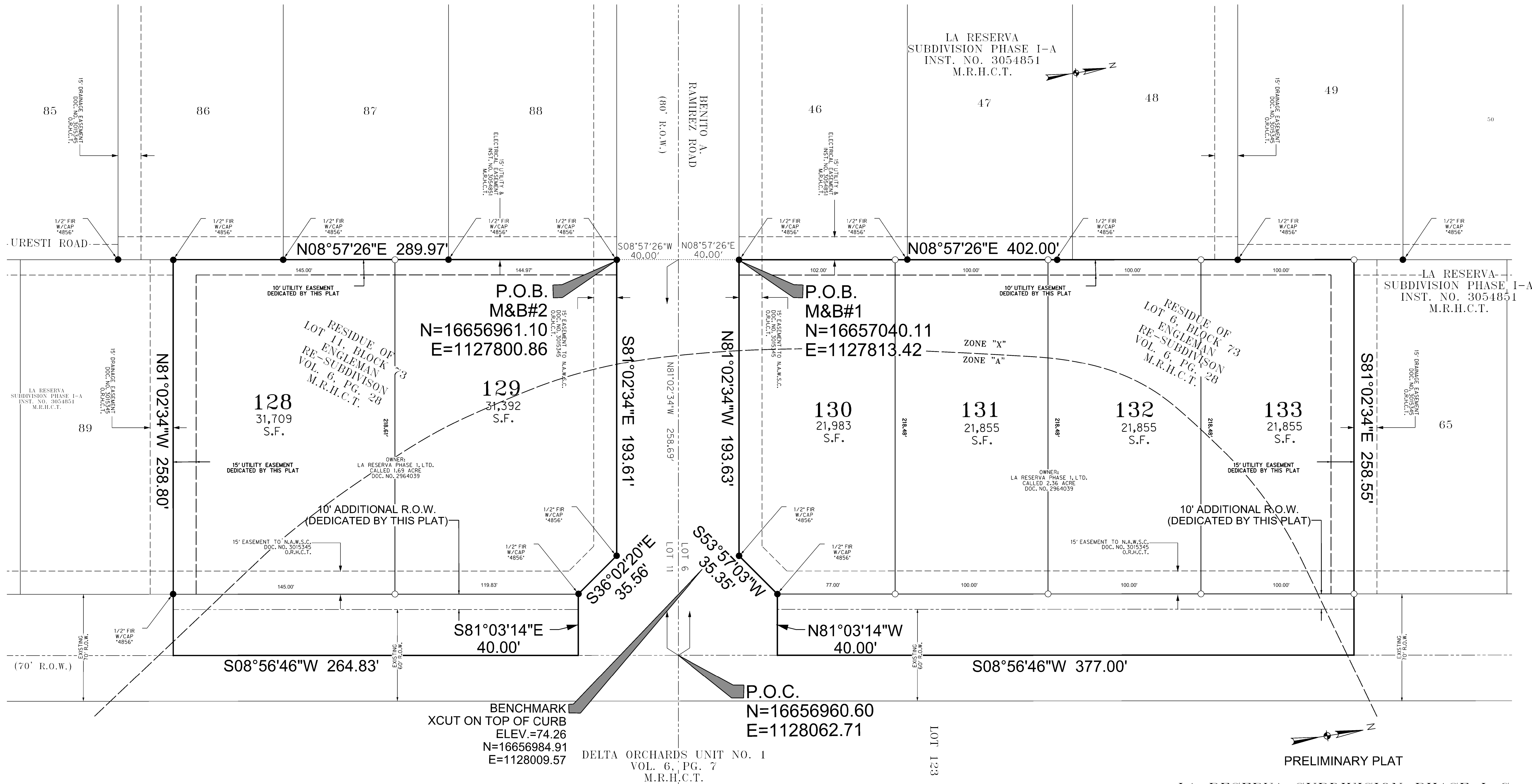
HALFF

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HALFF

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PRELIMINARY PLAT

LA RESERVA SUBDIVISION PHASE I-C

OUT OF LOTS 6 AND 11, BLOCK 73
ENGELMAN RESUBDIVISION
OF THE MISSOURI-TEXAS AND IRRIGATION
COMPANY'S SUBDIVISION
IN LAS MESTENAS GRANT

HIDALGO COUNTY, TEXAS
DATE OF PREPARATION:



HALFF

5000 WEST MILITARY, SUITE 100
MCALLEN, TX 78503
(361) 564-0286
TBP&S SURVEYING FIRM NO. 10194444



Case #

THE CITY OF
Edinburg

Planning & Zoning Department
415 W. University Drive
Edinburg, Texas 78539
(956) 388-8202

Subdivision Appeals / Variance Application

Submittal Date: 01/29/22

Legal Description:

La Reserva being a 4.048 acre tract of land out Lot 6, Block 73 of the Engelman Resubdivision of The Missouri, Texas and Irrigation Company subdivision as per Plat of record in Volume 6, Page 28, of the Map Records Hidalgo County, Texas (M.R.H.C.T.) same being out of the called 2.36 acre of Hidalgo County, Texas (O.R.H.C.T.).

Variance Requested (Identify section of code for which variance is being requested):

Sidewalk & road improvements for Phase I-C.

Reason for Request:

Escrow variance was granted during Phases I-A & I-B. No widening planned for Uresti Rd & Mile 20 Rd.

William A. Schwarz

Property Owner (Print legibly or type)

800 E. Lakeview Dr

Address

McAllen TX 78501

City, State, Zip

956 630 9400

Telephone

bstone@rioco.com

Email address

[Signature]

Signature

Angelica M. Neira

Applicant / Agent (Print legibly or type)

5000 West Military Highway ste 100

Address

McAllen, TX 78503

City, State, Zip

956 445 5262

Telephone

aneira@hauff.com

Email address

[Signature]

Signature

\$450 Application Fee: check

Received By: _____



January 26, 2022

Quintanilla, Headley, & Associates Inc.
Alfonso Quintanilla
124 E. Stubbs
Edinburg, Texas 78542

Dear Mr. Alfonso Quintanilla,

Your Request to Consider the Variance Requests to the City's Unified Development Code: 1). Section 7.404B Block Length, 2) Section 8.204A Streets, Paving Width and 3) Section 8.213 Sidewalks, proposed La Reserva Subdivision Phase II, being an 81.74 acre tract of land out of Lots 3, 4, 5, 6, 11, & 12, Block 73, Engelman Re-subdivision or the Missouri-Texas Land and Irrigation Company's Subdivision in Las Mestefias Grant, located at 8200 East Farm to Market 2812, was recommended for approval on Variance Request #1 Section 7.404B Block Length, subject to providing traffic calming devices; recommended for approval on Variance Request #2 Section 8.204A Street, Paving Width and recommended for denial on Variance Request #3 Section 8.213 Sidewalks with a 7-0 vote by the Planning and Zoning Commission on Monday, January 17, 2022 and will be heard by City Council on February 01, 2022 at 6:00 P.M. This meeting will be held at the Edinburg City Hall, City Council Chambers, located at 415 W. University Drive, Edinburg, Texas.

If you need additional information, please feel free to call me at 956-388-8202.

Sincerely,

Kimberly A. Mendoza, MPA
Director of Planning & Zoning



July 14, 2017

Alfonso Quintanilla, P.E., R.P.L.S.
Quintanilla Headley & Associates
124 E. Stubbs
Edinburg, Texas 78539

Dear Mr. Quintanilla:

Your Variance Request's for La Reserva Subdivision Phase I-A, Being a 75.63 Acre Tract of Land out of Lots 3, 6, & 14, Block 73, Engelman Mestenas Grant, Hidalgo County, Texas, Located North of Mile 20, North on Uresti Road were taken to the City Council on Wednesday, July 5, 2017 at 6:00 p.m. and the following actions were taken.

1. Variance Request to Article 7, Plat & Site Design Section 7.405 Protection of Rural Character - **Approved**
2. Variance Request to Article 7, Plat and Site Design, Section 7.502 Streets and Right of Way for Uresti Road and Benito Ramirez Road - **Approved**
3. Variance Request to Article 8, Streets, Utilities and Drainage, Section 8.213 Sidewalks- **Approved**

If you need additional information, please feel free to call me at 388-8202.

Sincerely,

Jesus R. Saenz
Director of Planning & Zoning



415 W. University Drive • P.O. Box 1079 • Edinburg, Texas 78540
Phone (956) 388-8204 • Fax (956) 383-7111





July 14, 2017

Alfonso Quintanilla, P.E., R.P.L.S.
Quintanilla Headley & Associates
124 E. Stubbs
Edinburg, Texas 78539

Dear Mr. Quintanilla:

Your Variance Request's for La Reserva Subdivision Phase I-B, Being a 20.23 Acre Tract of Land out of Lot 14, Block 73, Engelman Re-Subdivision of the Missouri-Texas Land and Irrigation Company Survey Subdivision Land in Las Mestenas Grant, Hidalgo County Texas, Located North of Mile 20, North on Uresti Road were taken to the City Council on Wednesday, July 5, 2017 at 6:00 p.m. and the following actions were taken.

1. Variance Request to Article 7, Plat & Site Design Section 7.405 Protection of Rural Character - **Approved**
2. Variance Request to Article 7, Plat and Site Design, Section 7.502 Streets and Right of Way for Uresti Road - **Approved**
3. Variance Request to Article 8, Streets, Utilities and Drainage, Section 8.213 Sidewalks- **Approved**

If you need additional information, please feel free to call me at 388-8202.

Sincerely,

Jesus R. Saenz
Director of Planning & Zoning



415 W. University Drive • P.O. Box 1079 • Edinburg, Texas 78540
Phone (956) 388-8204 • Fax (956) 383-7111





City of Edinburg
PLANNING & ZONING COMMISSION
Regular Meeting: 01/10/2022

— SUBDIVISION VARIANCE —

Agenda Item No: 10D
LA RESERVA SUBDIVISION PHASE I-D

1. **Agenda Item:** Consider Variance Requests to the City's Unified Development Code: 1) Section 8.204A Streets, Paving Width and 2) Section 8.213 Sidewalks, proposed La Reserva Subdivision Phase I-D, being a 4.652 acre tract out of Lot 14, Block 73, Engelman, Re-Subdivision, of the Missouri-Texas and Irrigation Company's Subdivision in Las Mestañas Grant, located at 23001 Uresti Street as requested by Halff & Associates, Inc.
2. **Description/Scope:** The property is located at the northwest corner of Mile 20 North Road and Uresti Street. The property is approximately 3,100 ft. east of Brushline Road and is within the City of Edinburg's Extra Territorial Jurisdiction (ETJ), approximately 3.4 miles from the closest (northeast) boundary line. The 4.652 acre tract is currently part of a subdivision being developed. The proposed subdivision is for a single family residential development consisting of six lots averaging approximately 25,383 sq. ft. each. Halff & Associates, Inc., on behalf of the developer, is requesting two variances to the City's Unified Development Code (UDC) for the aforementioned subdivision.

Variance Request #1: 8.204A Streets, Paving Width

This Variance Request is to forgo the improvements and/or escrowing the fees for said improvements along two roads that border the eastern and southern portion of the subdivision, which are Uresti Street and Mile 20 North Road respectively. UDC Section 8.204A requires 80 ft. of right-of-way (ROW) and 57 ft. back-to-back paving for Collector streets, and 120 ft. of ROW and 81 ft. back-to-back for Arterial streets. The Rio Grande Valley Metropolitan Planning Organization (MPO) Metropolitan Transportation Plan classifies the existing portion Uresti as a Collector street and Mile 20 North as an Arterial street. Existing paving for Uresti Street and Mile 20 North is 24 ft. back-to-back, which is an approximate reduction of 42% and 70% respectively. Estimated cost of street construction is \$67,358.33.

Variance Request #2: Section 8.213 Sidewalks

This Variance Request is to the required sidewalks on Uresti Street and Mile 20 North Road, which is approximately 392 linear feet along the east side of this development and 648 ft. along the south side of this development. UDC Section 8.213 requires that sidewalks be provided in the area between the parkway and the edge of the right-of-way. The developer is proposing to dedicate an additional 40 ft. of ROW, but not to construct the required sidewalks. Estimated cost for sidewalk improvements is \$12,300.00.

1. Staff's Recommendation: Staff recommends a disapproval of the Variances as requested.

Variance #1: The proposed subdivision is the fifth phase of the La Reserva Subdivision developments, proceeding Phase I-A, I-B, I-C and II. The three phases that also border Uresti Street are Phases I-A, I-B, and I-C. Of which, I-A and I-B have both been previously approved for variances to the Unified Development Code to not have to improve the Right of Way or escrow the fees. If approved phase I-D would simply be a continuation of what is already in progress for the other phases along Uresti street the only phase that also borders Mile 20 North is Phase II, which did not receive a variance for road improvement. The developer may also opt to pay the fee in lieu of these improvements as required by UDC Section 7.502C.

Variance #2: The required sidewalks along the eastern side of the proposed development (along Uresti Street) total approximately 356.16 ft. and approximately 612.96 ft. along the southern side (Mile 20 North). There are currently no sidewalks that run along the east or south side of this development and there are no schools nearby. However, if the developer does not wish to provide the required improvements, they should, provide off-street trails suitable for meeting the needs of pedestrians and cyclists.

Prepared By:

Adan A. Elizondo, MPA
Planner I

Approved By:

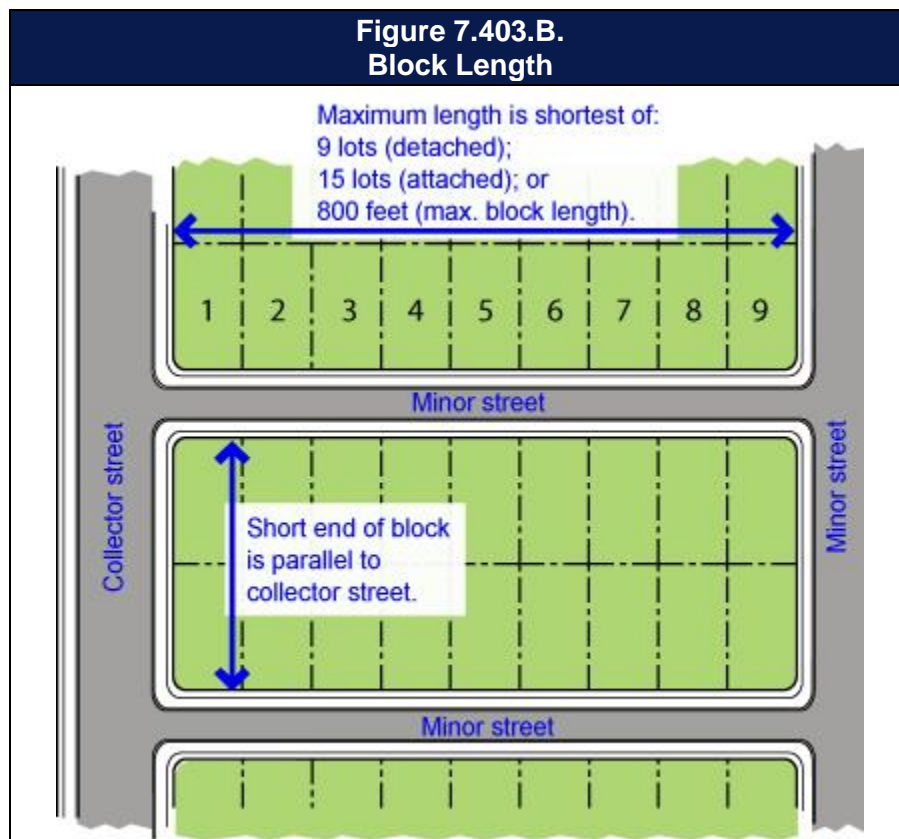
Kimberly Mendoza, MPA
Director of Planning and Zoning

Attachments:

Unified Development Code
Aerial Photo
Site Map
Subdivision Plat& Reduced
Application
Cost Estimate
Previous Phase Approval Letters

Sec. 7.404 Blocks

- A. **Block pattern.** In general, streets shall be laid out to create blocks. Within any superblock created by arterials or collectors, the design objective is to provide an interconnected network of streets so that people may reach other locations within the superblock without having to access arterial or collector streets. See Figure 7.403.A., *Illustrative Block Pattern in Superblock to Create Connectivity*. If practicable, streets shall be arranged in a grid or comparable formal arrangement, and open spaces shall be integrated into the block design. Exceptions will be made for green spaces along drainage or stream channels or where other natural resources make a grid or comparable formal arrangement difficult or cost prohibitive.
- B. **Block Length.** Where possible, blocks shall be laid out to have their short length abutting arterials, collectors, or the development's major road. The blocks should not, in most instances, exceed nine lots in length on one side of the street, except for attached units on individual lots, which shall not exceed 15 lots (or, in the case of condominiums, cooperatives, or rental housing, 15-unit footprints plus required building side yards). See Figure 7.403.B., *Block Length*. No block may exceed 800 feet in length. The length, width, and shape of blocks should be determined with due regard to the provision of adequate sites for buildings of the type proposed, zoning requirements, fire access, emergency service, and police protection.
- C.



Sec. 8.204 Street Standards

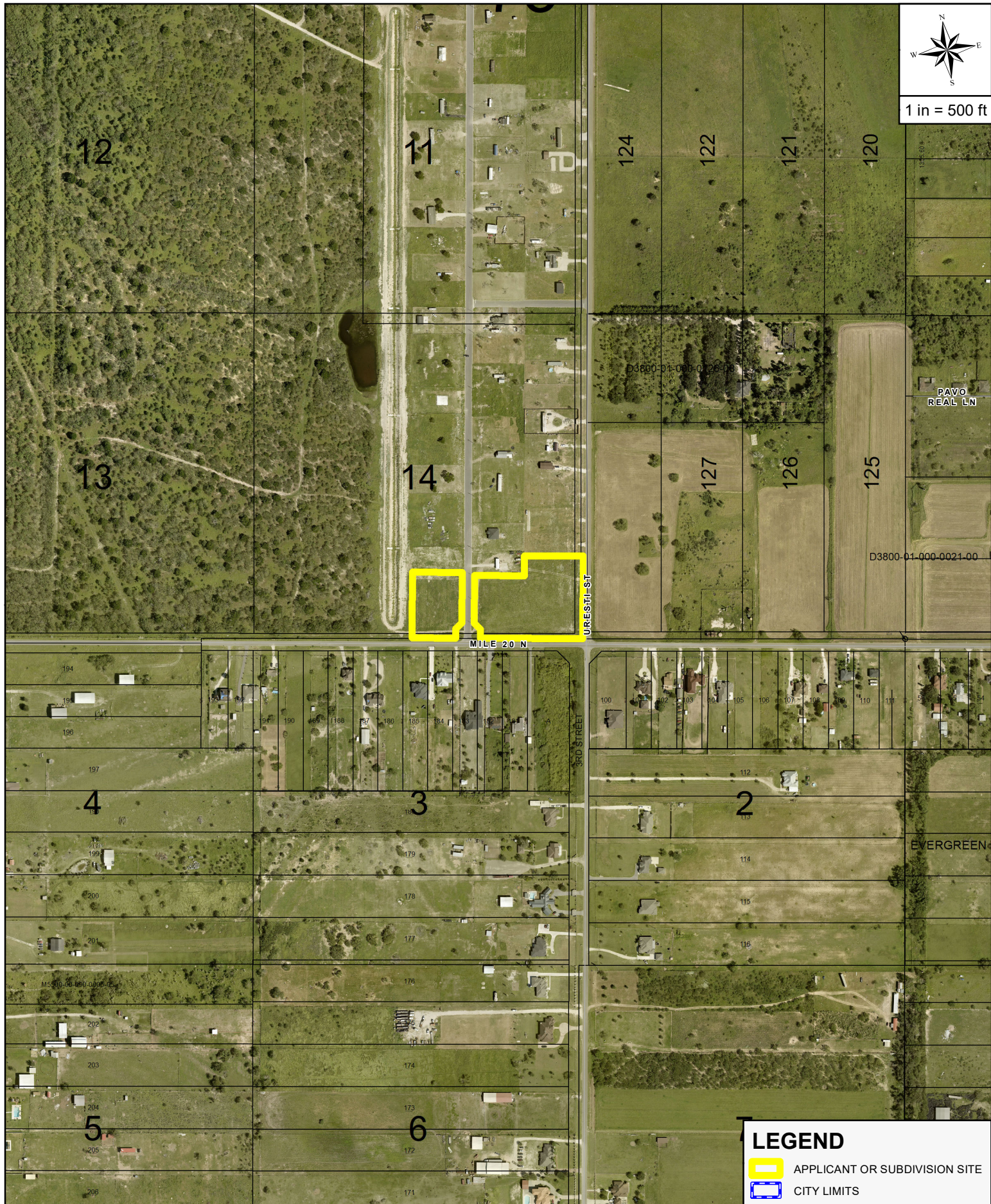
- A. **Streets.** The standards in Table 8.204, *Street Standards*, shall govern all street construction, except with regard to State highways, which shall meet Texas Department of Transportation (TxDOT) specifications.

Table 8.204 Street Standards ¹		
Right-of-way Width	Paving Width ²	Paving Sections Escrow
50 ft. (w/5 ft. U.E.) Minor (60 ft. with street trees)	32 ft. B-B	8-inch Caliche 2-inch HMAC
60 ft. Residential Collector ³	43 ft. 2 lanes (+) 2 park (+) C&G ⁴	8-inch Caliche 2-inch HMAC
80 ft. Collector	57 ft. B-B 2 lanes (1 OL) (+) 2 park (+) C&G	10-inch Caliche 2-inch HMAC
100 ft. Minor Arterial	65 ft. B-B 5 lanes (1CL) (+) C&G	12-inch Caliche 3-inch HMAC
120 ft. Arterial	81 ft. B-B 5 lanes (1CL) (+) 2 park (+) C&G 1 side	12-inch Caliche 3-inch HMAC
¹ Source: City Standards Manual, Section II-3. ² Travel lanes are 12 ft. wide and parking lanes ("park") are 8 ft. wide. Continuous Left (CL) and Occasional Left (OL) lanes are 14 ft. wide. ³ Multi-family subdivisions shall be required to comply with residential collector street standards. ⁴ C&G means 1.5 ft. wide curb and gutter on each side of the street.		

- B. **Adjustments.** The City shall, where feasible, require the street's design to minimize the disturbance of natural resources, including floodplains. Where additional right-of-way is needed to obtain vertical curve, grade, clear sight triangles, turn lanes, or medians, the required right-of-way shall be adjusted to the extent necessary in accordance with local needs as determined by the Planning and Engineering Departments.
- C. **Half Streets Prohibited.** No half-streets shall be permitted in new subdivision plats.

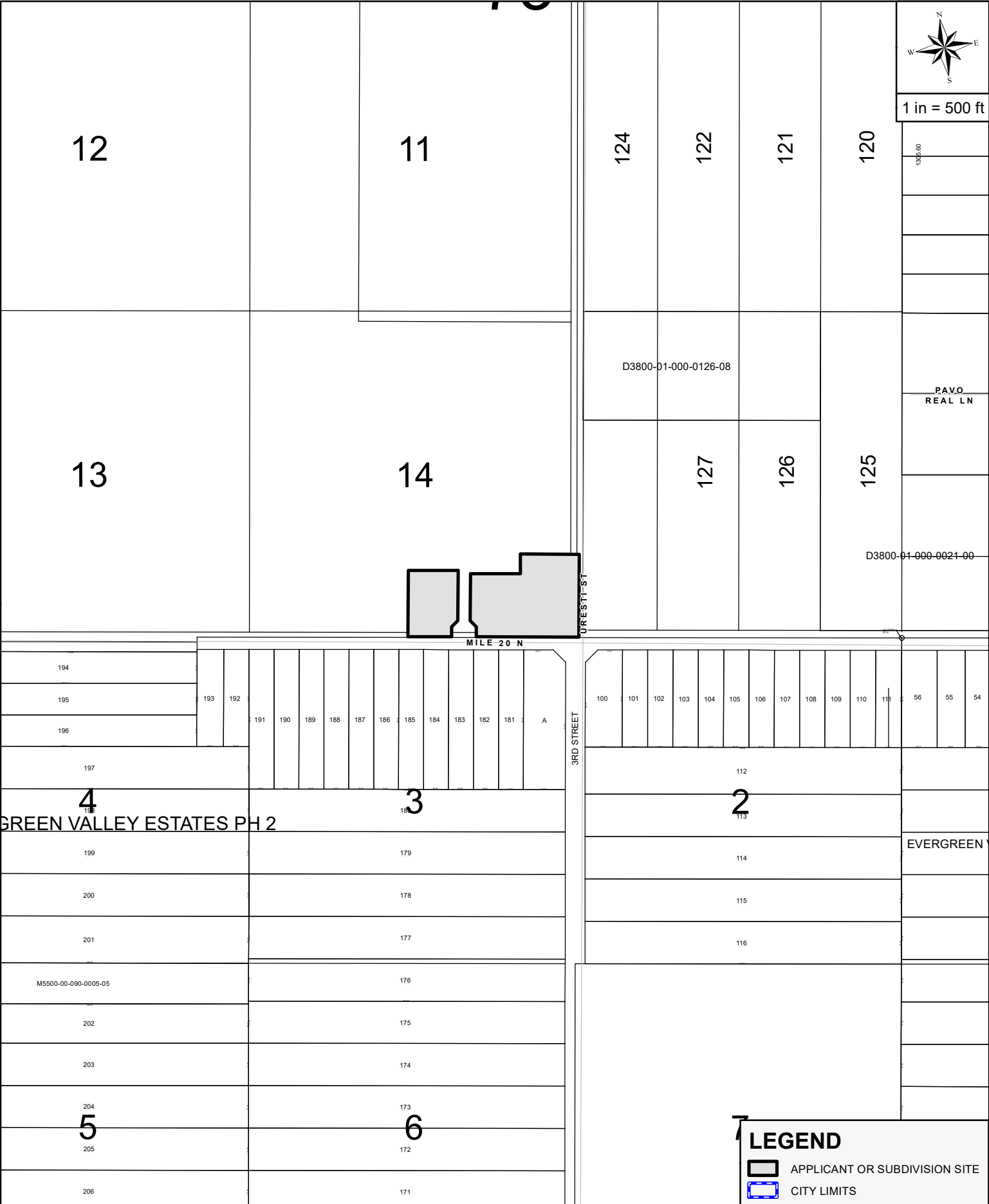
Sec. 8.213 Sidewalks

- A. **Sidewalk plan and permit required.** A sidewalk plan shall be submitted with the preliminary plat, development plat, and minor plat application and with the building permit application for unplatted property. A sidewalk permit shall be required to ensure compliance with the approved Sidewalk Plan. The sidewalk permit shall be filed with and reviewed by the City Engineer in accordance with the permit requirements set forth in Chapter 98 of the Code of Ordinances.
- B. **Location of sidewalks.**
1. Sidewalks shall be provided in the area between the parkway and the edge of the right-of-way, as shown in the Engineering Standards Manual, latest edition.
 2. The outer boundaries of sidewalks shall be located in the platted street right-of-way, generally one foot from the property line. This one foot width shall be subtracted from the required parkway width. Sidewalks may meander into the parkway to protect the root system of a mature tree, provided that no sidewalk be located closer than four feet to the back of curb or edge of pavement if no curb is present. This arrangement shall not reduce the right-of-way width requirement.
 3. Walks shall also be installed in any pedestrian easements as may be required by the Planning Department.
- C. **Modification of sidewalk requirements.** Sidewalk requirements may be altered or waived if a sidewalk plan that provides equal or greater pedestrian circulation is submitted to and approved by the Planning and Zoning Commission at the time of platting. These trade-offs may be permitted:
1. In suburban estate developments to allow off-street trails in lieu of sidewalks, thereby meeting the needs of walkers and cyclists; or
 2. In order to implement the City's Parks and Recreation Master Plan, as set out in subsection D., below.
- D. **Completion of sidewalk networks.**
1. In general, sidewalks should be constructed concurrent with street construction, with special provisions to protect their condition and integrity during the process of building construction. However, this requirement may be waived at the discretion of the Planning and Zoning Commission if reasonable assurances are provided that:
 - a. Sidewalk segments across individual lots will be constructed after buildings are constructed on the individual lots, but before they are occupied; and
 - b. The timing and phasing of development will result in the completion of the sidewalks on each street segment within 2 years of the date that building construction on the street segment is commenced.
 2. Sidewalks should be installed along street corridors on a priority basis in areas where they are not currently available.
- E. **Maintenance of Sidewalks Outside of the City.** Developers of property in the ETJ shall provide for the continuing maintenance of sidewalks by property owners, homeowners association or other appropriate means. If the development is located adjacent to the City limits, then voluntary annexation shall be required in lieu of this requirement. Sidewalks inside the City shall be maintained by the City and/or adjoining property owners.



LEGEND

- APPLICANT OR SUBDIVISION SITE
- CITY LIMITS



SITE MAP

APPLICANT AND/OR SUBDIVISION:

HALFF ASSOCIATES, INC. / LA RESERVA PHASE I-D SUBDIVISION

GENERAL PLAT NOTES AND RESTRICTIONS

- BY SCALING THE SURVEYED TRACT ONTO THE FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) FLOOD INSURANCE RATE MAP (FIRM) NO. 4803340325-D, REVISED DATE JUNE 6, 2000, THE SUBJECT PROPERTY IS IN ZONE "X" AND ZONE "A". ZONE "X" IS DEFINED AS "AREAS DETERMINED TO BE OUTSIDE THE 500-YEAR FLOODPLAIN" AND ZONE "A" IS DEFINED BY "NO BASE FLOOD ELEVATIONS DETERMINED". THE SURVEYOR MAKES NO REPRESENTATION AS TO THE ACCURACY OF SAID FIRM OR THAT IT IS THE MOST CURRENT PUBLISHED FLOOD MAP.
- THE AREAS WITHIN THE DRAINAGE EASEMENTS AND THE PROPOSED STREET RIGHT-OF-WAY ARE WITHIN THE 100-YEAR FLOOD PLAIN. COMMUNITY-PANEL NO. 4803340325-D EFFECTIVE DATE: JUNE 6, 2000 OF THE FEDERAL EMERGENCY MANAGEMENT AGENCY MAPS FOR HIDALGO COUNTY, TEXAS AND THE LOCAL FLOOD PLAIN ADMINISTRATOR HAVE IDENTIFIED NO OTHER AREAS AS SHOWN ON THIS PLAT ARE WITHIN THE PROPOSED SUBDIVISION TO BE WITHIN THE 100-YEAR FLOOD PLAIN.
- CONSTRUCTION OF RESIDENTIAL HOUSING WITHIN ANY AREA OF THE SUBDIVISION THAT IS IN THE 100-YEAR FLOOD PLAIN IS PROHIBITED UNLESS THE HOUSING QUALIFIES FOR INSURANCE UNDER THE NATIONAL FLOOD INSURANCE ACT OF 1968 (42 U.S.C. SECTIONS 4001 THROUGH 4127).
- MINIMUM FINISH FLOOR NOTE:
MINIMUM FINISH FLOOR ELEVATION SHALL BE 18" ABOVE CENTERLINE OF THE STREET OR 18" ABOVE NATURAL GROUND, WHICHEVER IS GREATER. THE SUBDIVISION IS ELEVATION CERTIFICATE MAY BE REQUIRED FOR LOTS LOCATED OUTSIDE A DESIGNATED FLOOD ZONE AT THE TIME FOR APPLICATION FOR CONSTRUCTION TO VERIFY PRE AND POST CONSTRUCTION FINISH FLOOR ELEVATIONS. AN ELEVATION CERTIFICATE SHALL BE REQUIRED FOR ALL LOTS WITHIN A DESIGNATED FLOOD ZONE AT THE TIME FOR A DEVELOPMENT PERMIT APPLICATION.
- THERE ARE NO WATER WELLS WITHIN 150 FEET FROM THE BOUNDARIES OF THIS SUBDIVISION.
- SETBACKS:
FRONT: 25.00 FEET
REAR: 15.00 FEET
SIDE: 6.00 FEET
CORNER SIDE: 10.00 FEET
GARAGE: 18.00 FEET
- NO STRUCTURE SHALL BE PERMITTED OVER ANY EASEMENT. EASEMENTS SHALL BE KEPT CLEAR OF FENCES, BUILDINGS, SHEDS, SHRUBS TREES, AND OTHER PLANTINGS (EXCEPT LOW, LESS THAN 18 INCHES MATURE HEIGHT, GROUND COVER, GRASS, OR FLOWERS) AND OTHER OBSTRUCTIONS THAT WOULD INTERFERE WITH THE OPERATIONS AND MAINTENANCE OF THE EASEMENT.
- DRAINAGE:
IN ACCORDANCE WITH THE CITY OF EDINBURG AND HIDALGO COUNTY REQUIREMENTS, THIS DEVELOPMENT DOES NOT REQUIRE STORM SEWER RUNOFF DETENTION FOR THIS SUBDIVISION AS PER LA RESERVA PLAT PHASES I-A AND I-B, HAVE ALREADY ACCOUNTED FOR THIS LOTS.

- BENCHMARK NOTE: COTTON PICKER SPINDLE LOCATED AT SOUTHEAST INTERSECTION OF MILE 20 ROAD AND URESTI ROAD ELEVATION=75.64 (NAVD88)
- ALL PUBLIC UTILITIES EASEMENTS DEDICATED BY THIS PLAT SHALL BE A MINIMUM WIDTH OF 15.00 FEET AS PER THE HIDALGO COUNTY MODEL SUBDIVISION RULES. BY SIGNING THIS PLAT DEVELOPER AND ENGINEER CERTIFY THAT ALL OTHER EASEMENTS SHOWN COMPLY WITH THE SIZE REQUIRED BY EACH UTILITY PROVIDER OCCUPYING AN EASEMENT.
- GENERAL NOTE FOR SINGLE FAMILY RESIDENCES:
NO MORE THAN ONE-SINGLE FAMILY DETACHED DWELLING SHALL BE LOCATED ON EACH LOT. THIS MUST BE STIPULATED ON ALL DEEDS AND CONTRACTS FOR DEEDS. (ANY OTHER USE SHALL REQUIRE PLANNING DEPARTMENT, OFFICE OF ENVIRONMENTAL COMPLIANCE, HEALTH DEPARTMENT AND FIRE MARSHALL APPROVAL) APPLICATIONS FOR CONSTRUCTION ARE REQUIRED PRIOR TO OCCUPYING THE LOT. NO COMMERCIAL USE SHALL BE ALLOWED ON ALL INTERNAL LOTS.
- EACH PURCHASED CONTRACT MADE BETWEEN A SUBDIVIDER AND PURCHASER OF A LOT IN THIS SUBDIVISION SHALL CONTAIN A STATEMENT DESCRIBING HOW AND WHEN WATER, SEWER, ELECTRICITY AND GAS SERVICES WILL BE MADE AVAILABLE TO THE SUBDIVISION.
- ON-SITE SEWAGE FACILITIES (OSSF) NOTE:

- THIS SUBDIVISION SHALL USE ON-SITE SEWAGE FACILITIES IN ACCORDANCE WITH TCEQ AND HIDALGO COUNTY REGULATIONS FOR SEWAGE DISPOSAL. THE SUBDIVIDER IS RESPONSIBLE FOR PROVIDING AN OSSF ON ALL LOTS.
- OSSF SYSTEM IS BEING DESIGNED FOR DISPOSAL OF DOMESTIC SEWERAGE ONLY A SEPARATE DESIGN SHALL BE SUBMITTED FOR COMMERCIAL USE.
 - EACH LOT ON THIS PLAT COMPUES WITH THE MINIMUM 21,780 SQUARE FEET LOT APEA WITH POTABLE WATER SUPPLY.
 - OSSF SYSTEM SHALL REQUIRE INSPECTION AND APPROVAL BY HIDALGO COUNTY AUTHORIZED DEPARTMENT.
 - SOIL ANALYSIS HAVE BEEN SUBMITTED TO THE AUTHORIZED HIDALGO COUNTY DEPARTMENT AND EXCEPT MAY BE ALSO SEEN ON THE UTILITY LAYOUT FOR THIS SUBDIVISION AS SUBMITTED TO THE HIDALGO COUNTY PLANNING DEPARTMENT, THE SOIL EVALATOR HAS DETERMINED THAT THE SOIL IS SUITABLE FOR A STANDARD SEPTIC TANK AND ABSORPTIVE DRAINFIELD SYSTEM.
 - APPROVED "OSSF" PERMIT APPLICATION IS REQUIRED INCLUDING INDIVIDUAL LOT PLANNING MATERIALS PRIOR TO OCCUPYING A LOT.
 - ALL LOTS SHALL HAVE A POST DEVELOPMENT FINISHED GRADE FROM THE REAR OF THE LOT TO THE CURB AND/OR ROADSIDE DITCH AT A 1.0% SLOPE TO ACCOMPLISH POSITIVE DRAINAGE. THIS IS IN ACCORDANCE WITH HIDALGO COUNTY SUBDIVISION RULES APPENDIX 3.1.4.
 - 100% OF PARKLAND FEE (\$300.00) PER LOT HAS BEEN PAID BY DEVELOPER.
 - ALL SUBDIVISION IMPROVEMENTS SHALL COMPLY WITH STORM WATER POLLUTION PREVENTION PLAN (SWPPP) REQUIREMENTS.
 - A 5.0' SIDEWALK IS REQUIRED ON ALL INTERIOR STREETS AS PER CITY OF EDINBURG CONSTRUCTION STANDARDS MANUAL LATEST EDITION OR AS PER CITY ENGINEER AT BUILDING PERMIT STAGE.

LOCATION OF SUBDIVISION WITH RESPECT TO THE EXTRATERRITORIAL JURISDICTION OF A MUNICIPALITY:

LA RESERVA SUBDIVISION PHASE I-D IS LOCATED IN CENTRAL HIDALGO COUNTY ON THE NORTHWEST CORNER OF THE INTERSECTION OF MILE 20 NORTH ROAD AND URESTI ROAD. THE ONLY NEARBY MUNICIPALITY IS THE CITY OF EDINBURG ACCORDING TO THE OFFICIAL MAP IN THE OFFICE OF THE SECRETARY OF THE CITY OF EDINBURG (POPULATION 63,970). LA RESERVA SUBDIVISION PHASE I-D LIES APPROXIMATELY 3.00 MILES FROM THE CITY LIMITS AND IT IS WITHIN THE CITY'S 3 1/2 MILE EXTRA TERRITORIAL JURISDICTION (ETJ) UNDER LOCAL GOVERNMENT CODE § 42.021. IT LIES IN PRECINCT NO. 4.

MAYOR'S CERTIFICATION

I, THE UNDERSIGNED, MAYOR OF THE CITY OF EDINBURG, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

MAYOR'S SIGNATURE _____ DATE _____

ATTEST: _____

CITY SECRETARY _____ DATE _____

RIGHT OF WAY EASEMENT

KNOW ALL MEN BY THESE PRESENTS, that the undersigned, owners of the property shown on this plat, their successors, assigns, and transferees (hereinafter called "Grantor" whether one or more persons are named), in consideration of one dollar (\$1.00) and other good and valuable consideration paid by North Alamo Water Supply Corporation, (hereinafter called "Grantee"). The receipt and sufficiency of which is hereby acknowledged, does hereby grant, bargain, sell, transfer, and convey to said Grantee, its successors, and assigns, a perpetual easement with the right to erect, construct, install and thereafter use, operate, inspect, repair maintain, replace, and remove water distribution lines and appurtenances over and across the lands shown on this plat, together with the right of ingress and egress over Grantor's adjacent lands of the purpose for which the above mentioned rights are granted. The easement hereby granted shall not exceed 15' in width, and Grantee is hereby authorized to designate the course of the easement herein conveyed except that when the pipeline(s) is installed, the easement herein granted shall be limited to a strip of land 15' in width, the center line thereof being the pipeline installed.

In the event the easement hereby granted abuts on a public road and the city, county or state hereafter widens or relocates the public road so as to require the relocation of this water line as installed, Grantor further grants to Grantee an additional easement over and across the land shown on this plat for the purpose to laterally relocate said water line as may be necessary to clear the road improvements, which easement hereby granted shall be limited to a strip of land 15' in width, the center line thereof being the pipeline as relocated.

The consideration recited herein shall constitute payment in full for all damages sustained by Grantor by reason of the installation, maintenance, repair, replacement and relocation of the structures referred to herein. Thus agreement together with other provisions of this grant shall constitute an easement for the benefit of the above described lands and that said lands are free and clear of all encumbrances and liens except the following:

The easement conveyed herein was obtained or improved through Federal financial assistance. This easement is subject to the provisions of Title VI of the Civil Rights Act of 1964 and the regulations issued pursuant thereto for so long as the easement continues to be used for the same or similar purpose for which financial assistance was extended or for so long as the Grantee owns it, whichever is longer.

IN WITNESS WHEREOF the said Grantor executed this instrument this _____ day of _____, 20____.

LA RESERVA PHASE I, LTD.
BY: WILLIAM A. SCHWARTZ _____ Date _____

HIDALGO COUNTY
CERTIFICATE OF PLAT APPROVAL
I, THE UNDERSIGNED CERTIFY THAT THIS PLAT OF LA RESERVA SUBDIVISION PHASE I-C WAS REVIEWED AND APPROVED BY THE HIDALGO COUNTY HEALTH DEPARTMENT ON _____, 20____.

ENVIRONMENTAL HEALTH DIVISION MANAGER _____ Date _____

APPROVED BY DRAINAGE DISTRICT:

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER THE TEXAS WATER CODE 49.211(C). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER AND HIS ENGINEER TO MAKE THEIR DETERMINATIONS.

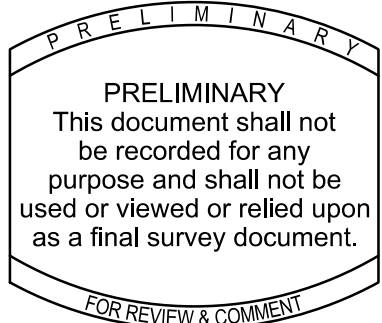
HIDALGO COUNTY DRAINAGE DISTRICT NO. 1

RAUL SESIN, P.E., C.F.M.
GENERAL MANAGER _____ Date _____

STATE OF TEXAS:
COUNTY OF HIDALGO:

I, RAUL GARCIA, JR., A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN TO THIS PLAT.

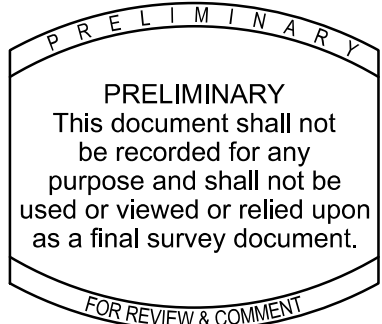
RAUL GARCIA, JR.
LICENSED PROFESSIONAL ENGINEER
P.E. REGISTRATION NO. 94855



STATE OF TEXAS:
COUNTY OF HIDALGO:

I, JUAN M. CASTILLO, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY MADE UNDER MY SUPERVISION ON THE GROUND.

JUAN M. CASTILLO
REGISTERED PROFESSIONAL LAND SURVEYOR
STATE OF TEXAS NO. 6500

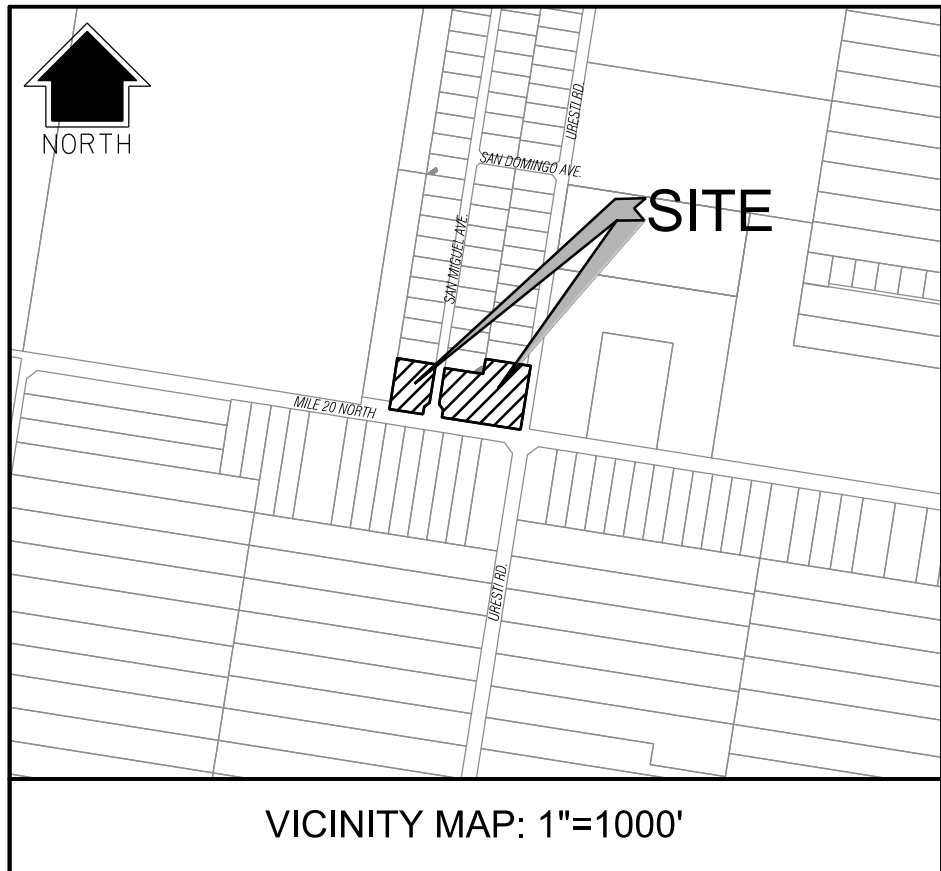


PRINCIPAL CONTACTS
OWNER: LA RESERVA PHASE I, LTD.
WILLIAM A. SCHWARTZ
ENGINEER: HALFF ASSOCIATES, INC.
SURVEYOR: HALFF ASSOCIATES, INC.

900 E. LAKEVIEW DRIVE
5000 W. MILITARY STE. 100
5000 W. MILITARY STE. 100

McALLEN, TX 78501
McALLEN, TX 78503
McALLEN, TX 78503

(956) 842-9400
(956) 864-0286
(956) 864-0286



STATE OF TEXAS
COUNTY OF HIDALGO
OWNER'S DEDICATION, CERTIFICATION, AND ATTESTATION

WE, WILLIAM A. SCHWARTZ, LA RESERVA PHASE I, LTD., AS OWNER OF THE 62.51 ACRES TRACT OF LAND ENCOMPASSED WITHIN THE PROPOSED LA RESERVA SUBDIVISION PHASE I-A, HEREBY SUBDIVIDE THE LAND AS DEPICTED IN THIS SUBDIVISION PLAT AND DEDICATE TO PUBLIC USE THE STREET, PARK, AND EASEMENTS SHOWN HEREIN.

I CERTIFY THAT I HAVE COMPLIED WITH THE REQUIREMENTS OF TEXAS LOCAL GOVERNMENT CODE §232.032 AND THAT:

- THE WATER QUALITY AND CONNECTIONS TO THE LOTS MEET, OR WILL MEET, THE MINIMUM STATE STANDARDS;
- SEWER CONNECTIONS TO THE LOTS OR SEPTIC TANKS MEET, OR WILL MEET, THE MINIMUM REQUIREMENTS OF STATE STANDARDS;
- ELECTRICAL CONNECTIONS PROVIDED TO THE LOTS MEET, OR WILL MEET, THE MINIMUM STATE STANDARDS;
- GAS CONNECTIONS, IF AVAILABLE, PROVIDED TO THE LOTS MEET, OR WILL MEET, THE MINIMUM STATE STANDARDS.

I ATTEST THAT THE MATTERS ASSERTED IN THIS PLAT ARE TRUE AND COMPLETE.

LA RESERVA PHASE I, LTD.
BY: WILLIAM A. SCHWARTZ, MEMBER
ADDRESS: 900 E. LAKEVIEW DRIVE
McALLEN, TX 78501

STATE OF TEXAS
COUNTY OF HIDALGO

BEFORE ME, the undersigned notary public, on this day personally appeared WILLIAM A. SCHWARTZ, LA RESERVA PHASE I, LTD. proved to me through their Texas Department of Public Safety Driver License to be the person whose name is subscribed to the foregoing instrument, who, being by me first duly sworn, declared that the statements therein are true and correct and acknowledged that she executed the same for the purposes and consideration therein expressed.

Given under my hand and seal of office this _____ day of _____, 20____.

NOTARY PUBLIC _____ Date _____

HIDALGO COUNTY
CERTIFICATE OF PLAT APPROVAL UNDER
LOCAL GOVERNMENT CODE §232.028(a)

WE THE UNDERSIGNED CERTIFY that this plat of LA RESERVA SUBDIVISION PHASE I-D was reviewed and approved by the Hidalgo County Commissioners Court on _____.

Hidalgo County Judge _____ Date _____

ATTEST: _____

Hidalgo County Clerk _____ Date _____

PLANNING AND ZONING COMMISSION CERTIFICATION

"I, the undersigned, Chairperson of the Planning and Zoning Commission of the City of Edinburg, hereby certify that this subdivision plat known as LA RESERVA SUBDIVISION PHASE I-D conforms to all requirements of the Subdivision Regulations of this City wherein my approval is required and has been approved for recording on the _____ day of _____, 20____."

CHAIRPERSON PLANNING & ZONING COMMISSION

AREA TABLE		
LOT	S.F.	AC.
134	21,822	0.50
135	24,002	0.55
136	21,815	0.50
137	21,784	0.50
138	30,870	0.71
139	32,004	0.73



FILE FOR RECORD IN
HIDALGO COUNTY
ARTURO GUJARDO, JR.
HIDALGO COUNTY CLERK

ON: _____ AT _____ AM/PM
INSTRUMENT NUMBER _____
OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS
BY: _____ DEPUTY

PRELIMINARY PLAT
LA RESERVA SUBDIVISION PHASE I-D
OUT OF LOTS 6,11 AND LOT 14, BLOCK 73
ENGELMAN RESUBDIVISION

HIDALGO COUNTY, TEXAS
DATE OF PREPARATION: 1/28/2022



5000 WEST MILITARY, SUITE 100
McALLEN, TX 78503
(956) 864-0286
TBPELS SURVEYING FIRM NO. 10194444

15010002

15010002

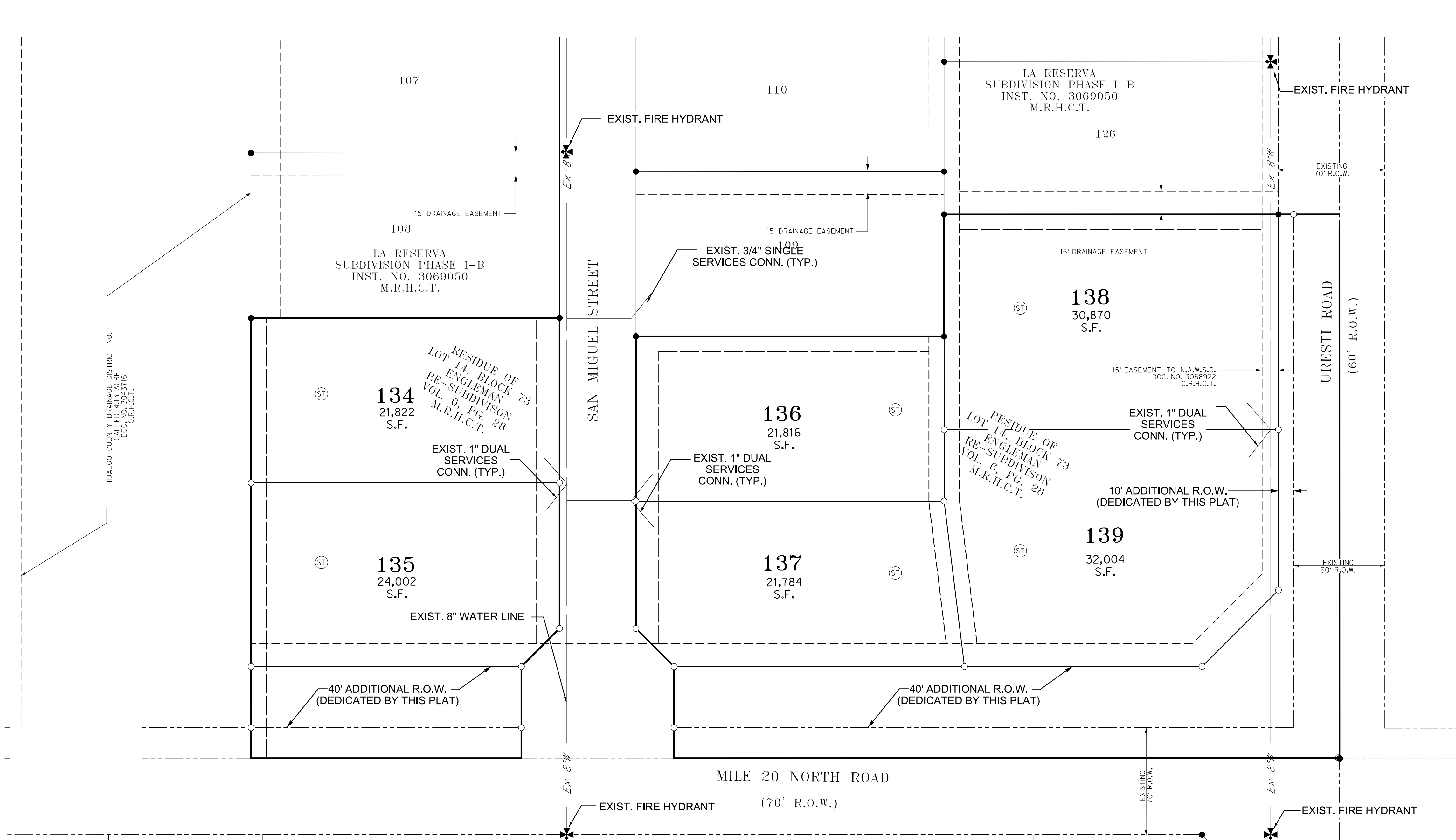
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WATER SUPPLY: Description and Costs.

LA RESERVA SUBDIVISION PHASE 1-C WILL BE PROVIDED WITH POTABLE WATER BY NORTH ALAMO WATER SUPPLY CORPORATION ("N.A.W.S.C.") THE SUBDIVIDER AND N.A.W.S.C. HAVE ENTERED INTO CONTRACT IN WHICH N.A.W.S.C. PROMISED TO PROVIDE SUFFICIENT WATER TO THE SUBDIVISION FOR AT LEAST 30 YEARS. N.A.W.S.C. HAVE PROVIDED DOCUMENTATION TO SUFFICIENTLY ESTABLISH THE LONG-TERM QUANTITY OF THE AVAILABLE WATER SUPPLIES TO SERVE THE FULL DEVELOPMENT OF THE SUBDIVISION. N.A.W.S.C. HAS AN EXISTING 10" DIAMETER WATERLINE RUNNING ALONG THE NORTH SIDE OF F.M. 2812.

THE WATER SYSTEM FOR LA RESERVA SUBDIVISION CONSISTS OF AN 8" DIAMETER WATERLINE THAT TIE INTO THE EXISTING 10" DIAMETER WATERLINE AND RUNS SOUTH ALONG THE WEST SIDE OF URESTI ROAD.

THE 8" DIAMETER WATERLINE END WITH A 2" FLUSH VALVE LOCATED ON THE SOUTH SIDE OF THE SUBDIVISION. AN ADDITIONAL 8" DIAMETER WATERLINE RUNS ALONG THE NORTH SIDE OF SAN DIEGO AVE AND BENITO RAMIREZ RD AND LOOPS THE TWO PREVIOUS WATERLINES TOGETHER. FROM THE 8" WATER LINE FIVE (5) ¾" DIAMETER SINGLE SERVICES GOING TO THE METER BOXES FOR EACH LOT.

THE 8" DIAMETER WATERLINE, THE ¾" SINGLE SERVICE LINES AND THE WATER METER BOXES HAVE BEEN INSTALLED AT A TOTAL COST OF \$ 19,115.10 OR \$3,185.85 PER LOT. IN ADDITION, THE SUBDIVIDER WILL PAY N.A.W.S.C. THE SUM OF \$7,718.16 OR \$1,286.36 PER LOT AS STATED IN THE 30 YEAR WATER SERVICE AGREEMENT WHICH SUM REPRESENTS THE TOTAL COST OF WATER METER, RIGHTS ACQUISITION FEES AND ALL MEMBERSHIPS OR OTHER FEES ASSOCIATED WITH CONNECTING THE INDIVIDUAL LOTS IN THE SUBDIVISION TO N.A.W.S.C. UPON REQUEST BY THE LOT OWNER OF A LOT N.A.W.S.C. WILL PROMPTLY INSTALL AT NO CHARGE THE WATER METER FOR THAT LOT. THE SUBDIVIDER HAS INSTALLED ELEVEN (11) FIREHYDRANTS AT UNIT COST OF \$3,200.00 FOR A TOTAL COST OF \$35,200.00. THE ENTIRE WATER FACILITIES HAVE BEEN APPROVED AND ACCEPTED BY N.A.W.S.C. AND SAID DISTRIBUTION SYSTEM IS OPERABLE AS OF THE DATE OF THE RECORDING OF THE PLAT.

SUMINISTRO DE AGUA: Descripción y Costos.

LA SUBDIVISIÓN LA RESERVA FASE 1-C SERÁ PROVISITA DE AGUA POTABLE POR LA COMPAÑIA DE AGUA NORTH ALAMO WATER SUPPLY CORPORATION ("N.A.W.S.C.") EL SUBDIVISOR Y N.A.W.S.C. HAN REALIZADO UN CONTRATO EN EL CUAL N.A.W.S.C. SE COMPROMETIÓ A PROPORCIONAR SUFFICIENTE AGUA A LA SUBDIVISIÓN DURANTE AL MENOS 30 AÑOS. N.A.W.S.C. HA PROPORCIONADO DOCUMENTACIÓN DEMOSTRANDO LA DISPONIBILIDAD DE CANTIDAD Y CALIDAD DE LOS SUMINISTROS DE AGUA DISPONIBLES PARA SERVIR EL DESARROLLO COMPLETO DE LA SUBDIVISIÓN. N.A.W.S.C. TIENE UNA LÍNEA DE AGUA EXISTENTE DE 10" DE DIÁMETRO QUE CORRE A LO LARGO DEL LADO NORTE DE LA CALLE F.M. 2812.

EL SISTEMA DE AGUA PARA LA SUBDIVISIÓN DE LA RESERVA CONSTA DE UNA LÍNEA DE AGUA DE 8" DE DIÁMETRO QUE SE ENCUENTRA CON LA LÍNEA DE AGUA DE DIÁMETRO EXISTENTE DE 10" Y CORRIDA HACIA EL SUR POR EL LADO OESTE DE URESTI ROAD. LA LÍNEA DE AGUA DE 8" DE DIÁMETRO TERMINA CON UNA VALVULA DE DESCARGA DE 2" UBICADA EN EL LADO SUR DE LA SUBDIVISIÓN.

UNA LÍNEA DE AGUA ADICIONAL DE 8" DE DIÁMETRO CORRE A LO LARGO DEL LADO NORTE DE SAN DIEGO AVE Y BENITO RAMIREZ RD Y BUCE LAS DOS LÍNEAS DE AGUA PREVIOS JUNTAS. DESDE LA LÍNEA DE AGUA DE 8", CINCO (5) SERVICIOS ÚNICOS DE ¾" DE DIÁMETRO Y LAS CAJAS DE MEDIDOR PARA CADA LOTE.

LA LÍNEA DE AGUA DE 8" DE DIÁMETRO, LAS LÍNEAS DE SERVICIO ÚNICAS DE ¾" Y LAS CAJAS DEL MEDIDOR DE AGUA SE HAN INSTALADO A UN COSTO TOTAL DE \$ 19,115.10 O \$ 3,185.85 POR LOTE. ADemás, EL SUBDIVISIONADOR PAGARÁ A NAWSC LA SUMA DE \$ 7,718.16 O \$ 1,286.36 POR LOTE COMO SE INDICA EN EL ACUERDO DE SERVICIO DE AGUA DE 30 AÑOS, CUYA SUMA REPRESENTA EL COSTO TOTAL DEL MEDIDOR DE AGUA, LAS TARIFAS DE ADQUISICIÓN DE LAS LÍNEAS Y TODAS LAS MEMBRESÍAS U OTRAS TARIFAS ASOCIADAS CON LAS CONDICIONES INDIVIDUALES LA SUBDIVISION DE NAWSC. A SOLICITUD DEL PROPIETARIO DE UN LOTE N.A.W.S.C. PROMPLEMENTARÁ INSTALARÁ SIN CARGO EL MEDIDOR DE AGUA PARA ESE LOTE. EL SUBDIVISOR HA INSTALADO ONCE (11) HIDRANTES DE FUEGO A UN COSTO UNITARIO DE \$ 3,200.00 POR UN COSTO TOTAL DE \$ 35,200.00. TODAS LAS INSTALACIONES DE AGUA HAN SIDO APROBADAS Y ACEPTADAS POR N.A.W.S.C. Y DICHO SISTEMA DE DISTRIBUCIÓN ES OPERATIVO A PARTIR DE LA FECHA EN LA QUE LA SUBDIVISION SEA REGISTRADA.

LOCATION OF SUBDIVISION WITH RESPECT TO THE EXTRATERRITORIAL JURISDICTION OF A MUNICIPALITY:

LA RESERVA SUBDIVISION PHASE 1-C, IS LOCATED IN CENTRAL HIDALGO COUNTY ON THE SOUTHWEST CORNER AND NORTHWEST CORNER OF THE INTERSECTION OF BENITO A. RAMIREZ ROAD AND URESTI ROAD. THE ONLY NEARBY MUNICIPALITY IS THE CITY OF EDINBURG ACCORDING TO THE OFFICIAL MAP IN THE OFFICE OF THE SECRETARY OF THE CITY OF EDINBURG (POPULATION 63,970). LA RESERVA SUBDIVISION PHASE 1-C LIES APPROXIMATELY 3.00 MILES FROM THE CITY LIMITS AND IT IS WITHIN THE CITY'S 3 1/2 MILE EXTRA TERRITORIAL JURISDICTION (ETJ) UNDER LOCAL GOVERNMENT CODE § 42.021. IT LIES IN PRECINCT NO. 4.

PRINCIPAL CONTACTS
OWNER: LA RESERVA PHASE I, LTD.
WILLIAM A. SCHWARTZ
ENGINEER: HALFF ASSOCIATES, INC.
SURVEYOR: HALFF ASSOCIATES, INC.

900 E. LAKEVIEW DRIVE
5000 W. MILITARY STE. 100
5000 W. MILITARY STE. 100

McALLEN, TX 78501
McALLEN, TX 78503
McALLEN, TX 78503

(956) 642-9400
(956) 664-0286
(956) 664-0286

SUBDIVIDER CERTIFICATION:

BY COMPLETING THE IMPROVEMENTS DESCRIBED ON THE PLAT, SUBDIVIDER WILL COMPLY WITH MINIMUM STATE STANDARDS AND THAT (a) WATER QUALITY AND CONNECTIONS INCLUDING WATER METERS TO THE LOTS MEET SUCH STANDARDS AND THAT (b) SEWER CONNECTIONS INCLUDING TO THE LOTS OR SEPTIC TANKS MEET OR WILL MEET SUCH STANDARDS AND WILL BE CONSTRUCTED IN ACCORDANCE WITH STATE AND COUNTY REGULATIONS.

SUBDIVIDER STATEMENT:

I (WE), _____ SUBDIVIDERS OF LA RESERVA PHASE 1-D HEREBY CERTIFY SEWER PERMITS, AS APPLICABLE, HAVE BEEN PAID AND COPIES OF RECEIPTS ARE ON FILE WITH THE HIDALGO COUNTY HEALTH DEPARTMENT AND THAT AN ADEQUATE DRINKING WATER SOURCE IS IMMEDIATELY AVAILABLE TO EACH LOT OF THE TYPE, QUALITY & QUANTITY TO ENABLE EACH PERSON PURCHASING A LOT HAVE ADEQUATE WATER TO COMPLY WITH THE REGULATIONS AND THE LAWS OF THE STATE AS REQUIRED BY STATE AND COUNTY REGULATIONS.

LA RESERVA PHASE I, LTD.
BY: WILLIAM A. SCHWARZ, MEMBER
900 E. LAKEVIEW DRIVE
MCALLEN, TX 78501

STATE OF TEXAS
COUNTY OF HIDALGO

BEFORE ME, the undersigned notary public, on this day personally appeared WILLIAM A. SCHWARZ, LA RESERVA PHASE I, LTD proved to me through their Texas Department of Public Safety Driver License to be the person whose name is subscribed to the foregoing instrument. who, being by me first duly sworn, declared that the statements therein are true and correct and acknowledged th.t she executed the some for the purposed and consideration thereby expressed.

Given under my hand and seal of office this _____ day of _____, 20____.

STATE OF TEXAS:
COUNTY OF HIDALGO:

I, RAUL GARCIA, JR., A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN TO THIS PLAT.

RAUL GARCIA, JR.
LICENSED PROFESSIONAL ENGINEER
P.E. REGISTRATION NO. 94855

STATE OF TEXAS:
COUNTY OF HIDALGO:

I, JUAN M. CASTILLO, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THIS PLAT WAS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY MADE UNDER MY SUPERVISION ON THE GROUND.

JUAN M. CASTILLO
REGISTERED PROFESSIONAL LAND SURVEYOR
STATE OF TEXAS NO. 6500



FILE FOR RECORD IN
HIDALGO COUNTY
ARTURO GUAJARDO, JR.
HIDALGO COUNTY CLERK

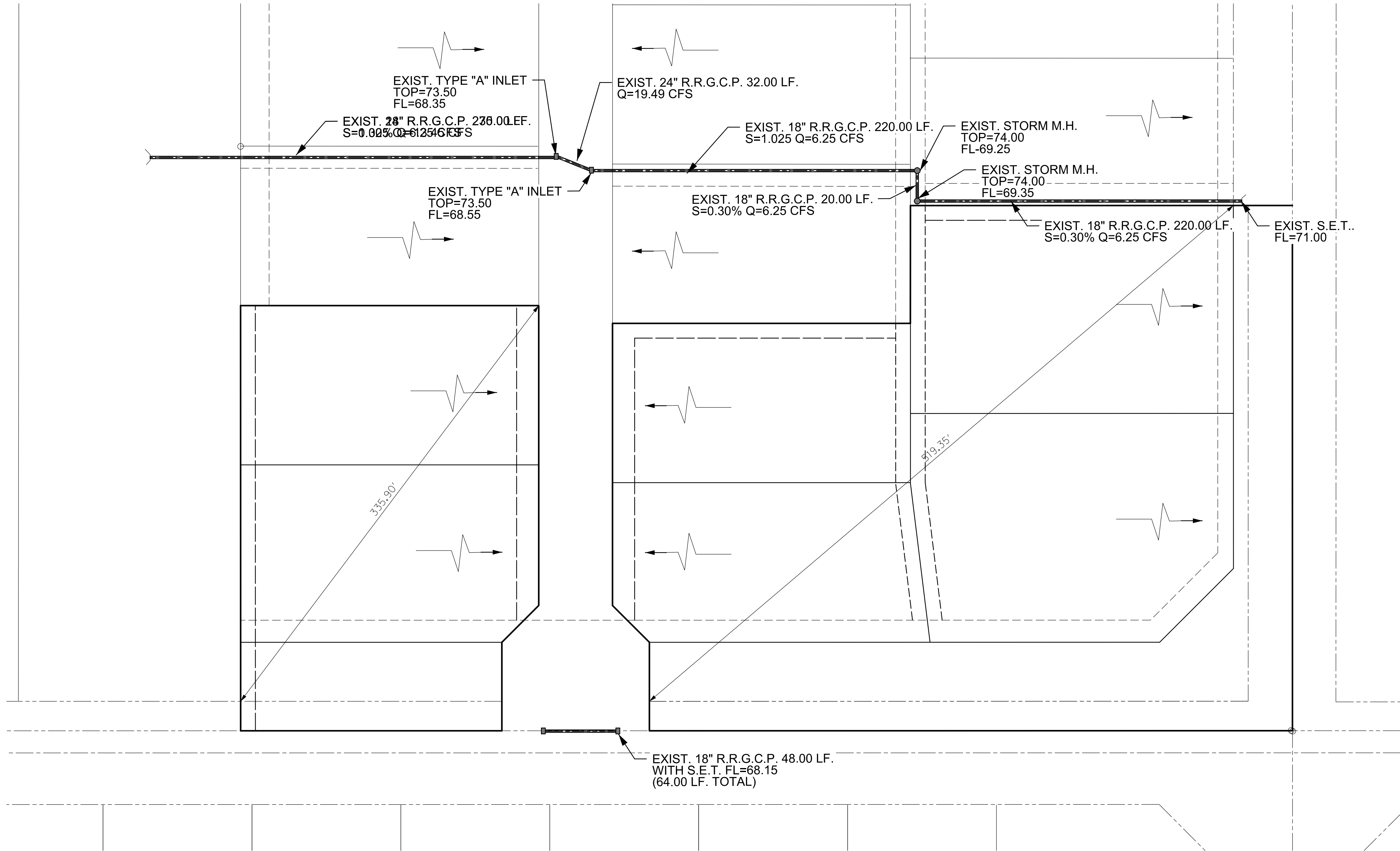
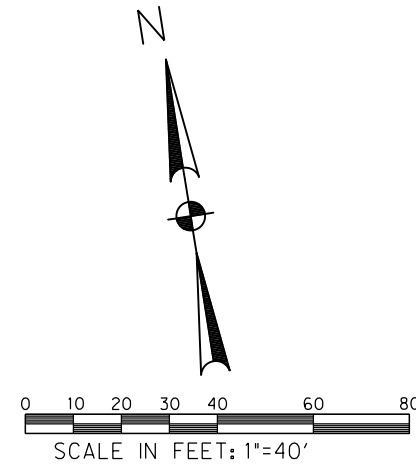
ON: _____ AT: _____ AM/PM
INSTRUMENT NUMBER _____
OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS
BY: _____ DEPUTY

PRELIMINARY PLAT
LA RESERVA SUBDIVISION PHASE I-D
OUT OF LOT 14, BLOCK 73
ENGELMAN RESUBDIVISION
WATER DISTRIBUTION

HIDALGO COUNTY, TEXAS
DATE OF PREPARATION: 1/28/2022



5000 WEST MILITARY, SUITE 100
MCALLEN, TX 78503
(956) 642-9400
TPELS SURVEYING FIRM NO. 10194444



SEWAGE FACILITIES: Descripción y Costos.

SEWAGE FROM LAS RESERVA RE-SUBDIVISION PHASE 1-C IS TREATED BY INDIVIDUAL ON-SITE SEWAGE FACILITIES ("OSSF") CONSISTING OF A STANDARD DESIGN DUAL COMPARTMENT SEPTIC TANK AND A DRAINFIELD ON EACH LOT. THE SITE EVALUATOR (LICENSE NUMBER OS 12258) HAS EVALUATED THE SUSTAINABILITY OF THE SUBDIVISION SITE FOR OSSF AND SUBMITTED A REPORT CONCLUDING THAT THE SITE IS SUITABLE FOR OSSF THE REPORT REVIEWED AND APPROVED BY THE HIDALGO COUNTY HEALTH DEPARTMENT, HIGHLIGHTS OF THE REPORT AS FOLLOWS:

EACH LOT IN THE SUBDIVISION IS AT LEAST ¼ ACRE IN SIZE THE UNITED STATES OF AGRICULTURE SOIL CONSERVATION SERVICE SOIL SURVEY BOOK INDICATED A FINE SANDY LOAM. THE SITE EVALUATOR (LICENSE NUMBER 12258) HAD TWELVE (120 TEST BORINGS MADE AT OPPOSITE AREAS OF THE SUBDIVISION AT THE CENTERS OF LOTS 1, 2, 11, 33, 27, 43, 61, 71, 89, 91, & 97. (ADDITIONAL BORINGS WERE UNNECESSARY BECAUSE THE SOILS ARE VERY UNIFORM WITHIN THIS LIMITED AREA) THE SOIL REPORT AS PREPARED BY SITE EVALUATOR INDICATES A CLAY LOAM AND SANDY CLAY LOAM (WITH TEXTURE CLASS II) EXTENDING MORE THAN 24" BELOW THE BOTTOM OF ANY EXIST. EXCAVATIONS. THE SUBDIVISION DRAINS WELL. THE 10-YEAR STORM BEING CONTAINED WITHIN THE STREET AND THE DRAINAGE EASEMENTS.

THE COST TO INSTALL A SEPTIC SYSTEM ON AN INDIVIDUAL LOT IS \$2,300.00 INCLUDING THE COST FOR REQUIRED PERMIT AND LICENSE ALL OSSFS HAVE BEEN INSTALLED AS OF THE APPLICATION FOR FINAL PLAT APPROVAL. AT A TOTAL COST OF \$27,600.00 THE HIDALGO COUNTY HEALTH DEPARTMENT HAS INSPECTED AND APPROVED THE INSTALLATION OF ALL OSSF ON MARCH 7, 2019.

DRENAGE AGUAS RESIDUALES: Descripción y Costos.

EL DRENAGE DE LAS AGUAS RESIDUALES DE LA SUBDIVISION DE "LA RESERVA" FASE 1-C TENDRA FOSAS SEPTICAS INDIVIDUALES ("OSSF") QUE CONSISTEN EN UN TANQUE SEPTICO DE DOBLE COMPARTIMIENTO DE DISEÑO ESTANDAR Y UN CAMPO DE DRENADAJE EN CADA LOTE. EL EVALUADOR DEL SITIO (NUMERO DE LICENCIA OS 12258) HA EVALUADO LA SOSTENIBILIDAD DEL SITIO DE LA SUBDIVISION PARA OSSF Y ENVIO UN INFORME CONCLUYENDO QUE EL SITIO ES ADECUADO PARA OSSF. EL INFORME FUE REVISADO Y APROBADO POR EL DEPARTAMENTO DE LA SALUD DEL CONDADO DE HIDALGO.

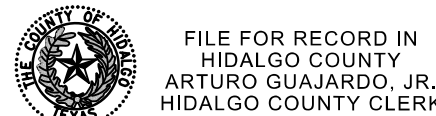
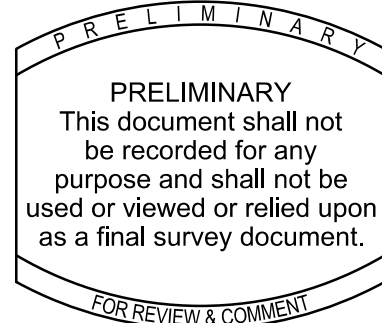
CADA LOTE EN LA SUBDIVISION TIENE POR LO MENOS ¼ ACRE DE TAMAÑO. EL LIBRO DE SERVICIOS Y CONSERVACION DEL SUELO DEL DEPARTAMENTO DE AGRICULTURA DE LOS ESTADOS UNIDOS (USDA) INDICA MEZCLA DE BARRO ARENOSO. EL EVALUADOR DEL SITIO (NUMERO DE LICENCIA 12258) TENIA DOCE (12) PERFORACIONES DE PRUEBA REALIZADAS EN AREAS OPUESTAS DE LA SUBDIVISION. ESPECIFICAMENTE EN EL CENTRO DE LOS LOTES 1, 2, 11, 33, 27, 43, 61, 71, 89, 91 y 97. (PERFORACIONES ADICIONALES NO FUERON NECESARIAS PORQUE LOS SUELOS SON MUY UNIFORMES DENTRO DE ESTA AREA LIMITADA) EL INFORME DE SUELO PREPARADO POR EL EVALUADOR DEL SITIO INDICA UNA MARGA DE BARRO ARENOSO Y MARGA DE BARRO (CON TEXTURA CLASE II) QUE SE EXTIENDE MÁS DE 24" POR DEBAJO DE LA EXCAVACIÓN. LA SUBDIVISION DRENA BIEN LA TORMENTA DE 10 AÑOS, LA CUAL ESTÁ CONTENIDA DENTRO DE LA CALLE Y LAS LIENAS DE DRENADAJE.

EL COSTO DE INSTALAR UN SISTEMA SEPTICO EN UN LOTE INDIVIDUAL ES DE \$ 2,300.00 INCLUYENDO EL COSTO DEL PERMISO Y LICENCIA REQUERIDOS TODOS LOS OSSFS SE HAN INSTALADO A PARTIR DE LA SOLICITUD DE APROBACION DE PLACA FINAL. A UN COSTO TOTAL DE \$27,600.00 EL DEPARTAMENTO DE SALUBRIDAD DEL CONDADO DE HIDALGO HA INSPECCIONADO Y APROBADO LA INSTALACION DE TODOS LOS OSSF DESDE EL 7 DE MARZO DE 2019.

STATE OF TEXAS:
COUNTY OF HIDALGO:

I, RAUL GARCIA, JR., A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN TO THIS PLAT.

RAUL GARCIA, JR.
LICENSED PROFESSIONAL ENGINEER
P.E. REGISTRATION NO. 94855



ON: _____ AT: _____ AM/PM
INSTRUMENT NUMBER _____
OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS
BY: _____ DEPUTY

PRELIMINARY PLAT
LA RESERVA SUBDIVISION PHASE 1-D
OUT OF LOT 14, BLOCK 73
ENGELMAN RESUBDIVISION
TOPOGRAPHY AND DRAINAGE
HIDALGO COUNTY, TEXAS
DATE OF PREPARATION: 1/28/2022



SHEET NO.
4 OF 5

LOCATION OF SUBDIVISION WITH RESPECT TO THE EXTRATERRITORIAL JURISDICTION OF A MUNICIPALITY:

LA RESERVA SUBDIVISION PHASE 1-D, IS LOCATED IN CENTRAL HIDALGO COUNTY ON THE NORTHWEST CORNER OF THE INTERSECTION OF MILE 20 NORTH ROAD AND URESTI ROAD. THE ONLY NEARBY MUNICIPALITY IS THE CITY OF EDINBURG ACCORDING TO THE OFFICIAL MAP IN THE OFFICE OF THE SECRETARY OF THE CITY OF EDINBURG (POPULATION 63,970). LA RESERVA SUBDIVISION PHASE 1-D LIES APPROXIMATELY 3.00 MILES FROM THE CITY LIMITS AND IT IS WITHIN THE CITY'S 3 1/2 MILE EXTRA TERRITORIAL JURISDICTION (ETJ) UNDER LOCAL GOVERNMENT CODE § 42.021. IT LIES IN PRECINCT NO. 4.

PRINCIPAL CONTACTS

OWNER: LA RESERVA PHASE I, LTD.
WILLIAM A. SCHWARTZ
ENGINEER: HALFF ASSOCIATES, INC.
SURVEYOR: HALFF ASSOCIATES, INC.

900 E. LAKEVIEW DRIVE
5000 W. MILITARY STE. 100
5000 W. MILITARY STE. 100

MCALLEN, TX 78501
MCALLEN, TX 78503
MCALLEN, TX 78503

(956) 642-9400
(956) 664-0286
(956) 664-0286

10/10/2022

10/10/2022

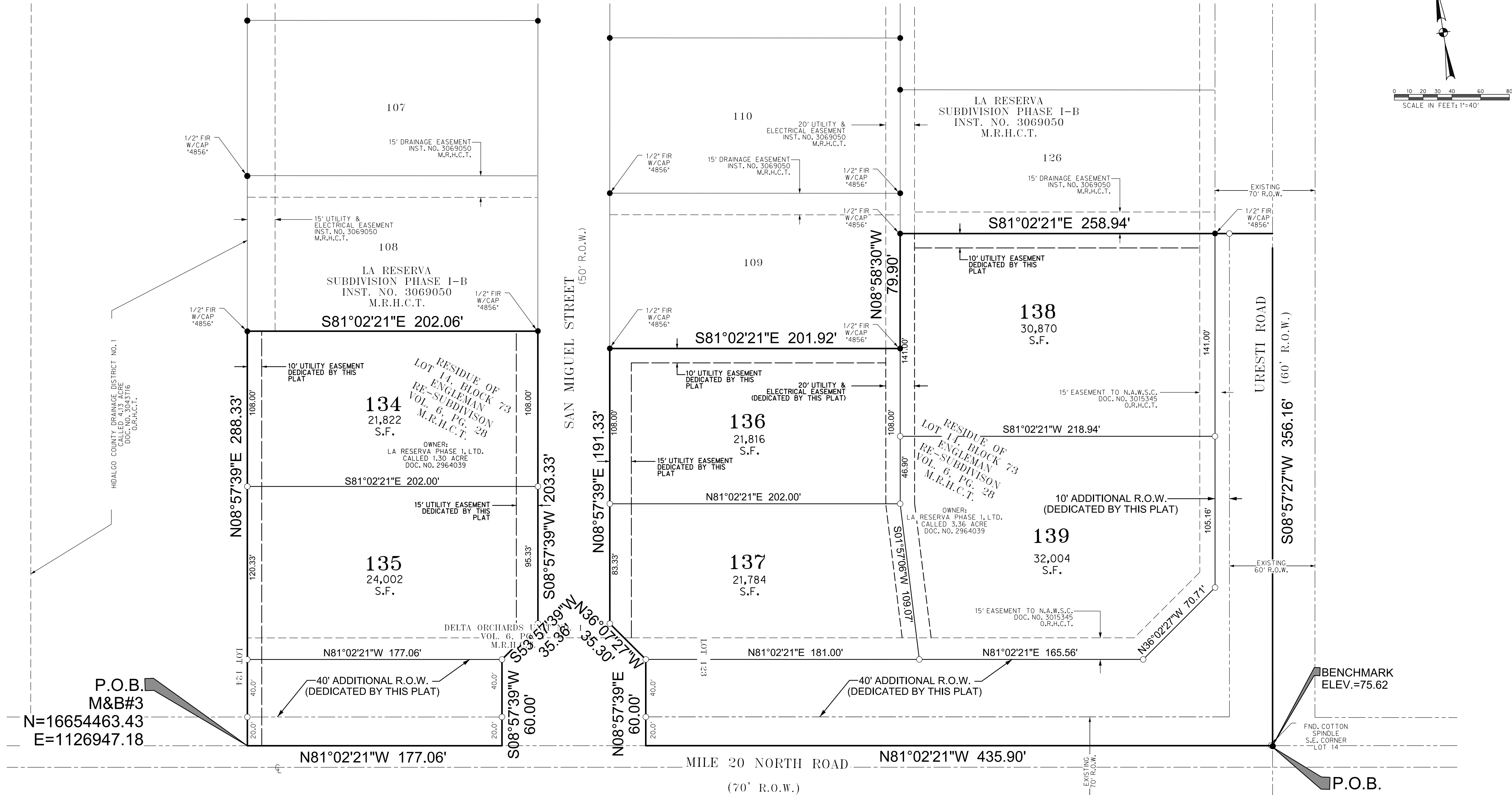
10/10/2022

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10/10/2022

10/10/2022

10/10/2022



SUBDIVIDER CERTIFICATION:
BY COMPLETING THE IMPROVEMENTS DESCRIBED ON THE PLAT, SUBDIVIDER WILL COMPLY WITH MINIMUM STATE STANDARDS AND THAT (a) WATER QUALITY AND CONNECTIONS INCLUDING WATER METERS TO THE LOTS MEET SUCH STANDARDS AND THAT (b) SEWER CONNECTIONS INCLUDING TO THE LOTS OR SEPTIC TANKS MEET OR WILL MEET SUCH STANDARDS AND WILL BE CONSTRUCTED IN ACCORDANCE WITH STATE AND COUNTY REGULATIONS.

SUBDIVIDER STATEMENT:
I (WE), SUBDIVIDERS OF LA RESERVA PHASE I-D HEREBY CERTIFY SEWER PERMITS, AS APPLICABLE, HAVE BEEN PAID AND COPIES OF RECEIPTS ARE ON FILE WITH THE HIDALGO COUNTY HEALTH DEPARTMENT AND THAT AN ADEQUATE DRINKING WATER SOURCE IS IMMEDIATELY AVAILABLE TO EACH LOT OF THE TYPE, QUALITY & QUANTITY TO ENABLE EACH PERSON PURCHASING A LOT HAVE ADEQUATE WATER TO COMPLY WITH THE REGULATIONS AND THE LAWS OF THE STATE AS REQUIRED BY STATE AND COUNTY REGULATIONS.

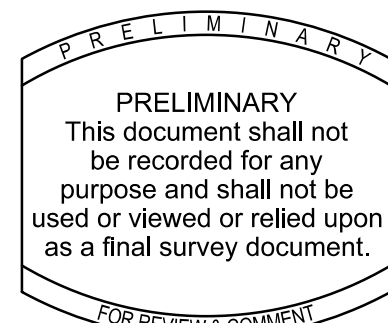
LA RESERVA PHASE I, LTD.
BY: WILLIAM A. SCHWARZ, MEMBER
900 E. LAKEVIEW DRIVE
MCALLEN, TX 78501

ENGINEER CERTIFICATION
BY MY SIGNATURE BELOW, I CERTIFY THAT THE WATER AND SEWAGE SERVICE FACILITIES DESCRIBED ABOVE ARE IN COMPLIANCE WITH THE MODEL RULES ADOPTED UNDER SECTION 16.343 WATER CODE. I CERTIFY THAT THE COSTS TO INSTALL THE WATER AND CONSTRUCTED ON-SITE SEWAGE FACILITIES DISCUSSED ABOVE ARE AS FOLLOWS:
WATER FACILITIES- THESE FACILITIES FULLY CONSTRUCTED, WITH THE INSTALLATION OF WATER METERS, WILL COST A GRAND TOTAL OF \$53,666.64, WHICH EQUALS \$4,472.22 PER LOT.
SEWAGE FACILITIES- SEPTIC SYSTEM IS ESTIMATED TO COST \$2,300 PER LOT (ALL INCLUSIVE) FOR A TOTAL OF \$27,600.00 FOR THE ENTIRE SUBDIVISION.

CERTIFICACION DE INGENIERO
CON MI FIRMA A CONTINUACION, CERTIFICO QUE LAS INSTALACIONES DE SERVICIO DE AGUA Y AGUAS RESIDUALES DESCRITAS ANTERIORMENTE CUMPLEN CON LAS REGLAS MODELO ADOPTADAS BAJO LA SECCION 16.343 DEL CODIGO DE AGUA. CERTIFICO QUE LOS COSTOS DE INSTALAR EL AGUA Y LAS INSTALACIONES CONSTRUIDAS EN EL LUGAR DE AGUAS RESIDUALES ANTERIORES SON LOS SIGUIENTES:
INSTALACIONES DE AGUA - ESTAS INSTALACIONES TOTALMENTE CONSTRUIDAS, CON LA INSTALACION DE MEDIDORES DE AGUA, COSTARAN UN GRAN TOTAL DE \$53,666.64, QUE ES IGUAL A \$4,472.22 POR LOTE.
INSTALACIONES DE AGUAS RESIDUALES: EL SISTEMA SEPTICO SE ESTIMA EN UN COSTO DE \$2,300.00 POR LOTE (TODO INCLUIDO) PARA UN TOTAL DE \$27,600.00 PARA LA SUBDIVISION ENTERA.

STATE OF TEXAS:
COUNTY OF HIDALGO:
I, RAUL GARCIA, JR., A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN TO THIS PLAT.

RAUL GARCIA, JR.
LICENSED PROFESSIONAL ENGINEER
P.E. REGISTRATION NO. 94855



PRINCIPAL CONTACTS			
OWNER: LA RESERVA PHASE I, LTD.			
OWNER: WILLIAM A. SCHWARTZ	900 E. LAKEVIEW DRIVE	McALLEN, TX 78501	(956) 642-9400
ENGINEER: HALFF ASSOCIATES, INC.	5000 W. MILITARY STE. 100	McALLEN, TX 78503	(956) 664-0286
SURVEYOR: HALFF ASSOCIATES, INC.	5000 W. MILITARY STE. 100	McALLEN, TX 78503	(956) 664-0286

LOCATION OF SUBDIVISION WITH RESPECT TO THE EXTRATERRITORIAL JURISDICTION OF A MUNICIPALITY:

LA RESERVA SUBDIVISION PHASE I-D, IS LOCATED IN CENTRAL HIDALGO COUNTY ON THE NORTHWEST CORNER OF THE INTERSECTION OF MILE 20 NORTH ROAD AND URESTI ROAD. THE ONLY NEARBY MUNICIPALITY IS THE CITY OF EDINBURG ACCORDING TO THE OFFICIAL MAP IN THE OFFICE OF THE SECRETARY OF THE CITY OF EDINBURG (POPULATION 63,970). LA RESERVA SUBDIVISION PHASE I-D LIES APPROXIMATELY 3.00 MILES FROM THE CITY LIMITS AND IT IS WITHIN THE CITY'S 3 1/2 MILE EXTRA TERRITORIAL JURISDICTION (ETJ) UNDER LOCAL GOVERNMENT CODE § 42.021. IT LIES IN PRECINCT NO. 4.

FILE FOR RECORD IN
HIDALGO COUNTY
ARTURO GUJARDO, JR.
HIDALGO COUNTY CLERK

ON: _____ AT: _____ AM/PM
INSTRUMENT NUMBER _____
OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS
BY: _____ DEPUTY

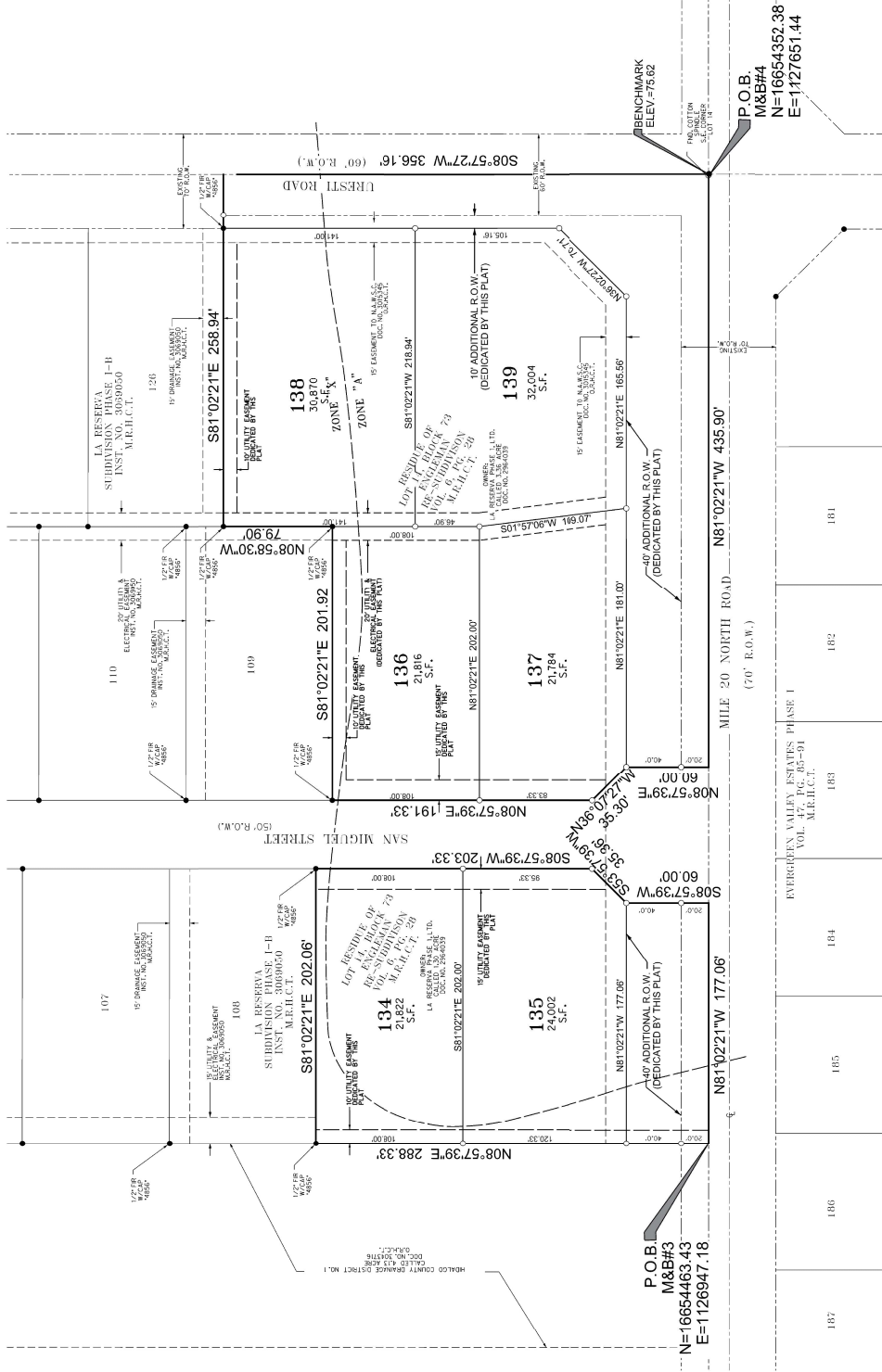
PRELIMINARY PLAT
LA RESERVA SUBDIVISION PHASE I-D
OUT OF LOT LOT 14, BLOCK 73
ENGELMAN RESUBDIVISION
ENGINEERING REPORT

HIDALGO COUNTY, TEXAS
DATE OF PREPARATION: 1/28/2022



5000 WEST MILITARY, SUITE 100
MCALLEN, TX 78503
(956) 664-0286
TPELS SURVEYING FIRM NO. 10194444

SHEET NO.
5 OF 5



PRELIMINARY PLAT

LA RESERVA SUBDIVISION PHASE I-D

OUT OF LOT 14, BLOCK 73
ENGELMAN RESUBDIVISION
OF THE MISSOURI-TEXAS AND IRRIGATION
COMPANY'S SUBDIVISION
IN LAS MESTENAS GRANT
HIDALGO COUNTY, TEXAS
DATE OF PREPARATION: 10/1/2022



HALFF
100 WEST MILITARY SUITE 100
DALLAS, TEXAS 75201
TEL: 214.440.0000
WWW.HALFF.COM



Case #

THE CITY OF
Edinburg

Planning & Zoning Department
415 W. University Drive
Edinburg, Texas 78539
(956) 388-8202

Subdivision Appeals / Variance Application

Submittal Date: 04/29/22

Legal Description:

La Reserva being a 4.652 acre tract of Land out of Lot 6, Block 73 of the Engelmann Resubdivision of the Missouri-Texas and Irrigation Company Subdivision as per Plat of record in Volume 6, Page 28, of the Map Records Hidalgo County, Texas (M.R.H.C.T.) same being out of the called 236 acre of Hidalgo County, Texas (O.R.H.C.T.).

Variance Requested (Identify section of code for which variance is being requested):

Sidewalk & road improvements for phase I-D.

Reason for Request:

Escrow variancee was granted during Phases I-A & I-B. No widening planned for Uresti Rd & Mile 20 Rd.

William A. Schwarz

Property Owner (Print legibly or type)

900 E. Lakeview Dr

Address

McAllen TX 78501

City, State, Zip

956 630 9400

Telephone

tstone@rioco.com

Email address

Signature

Angelica M. Neira

Applicant / Agent (Print legibly or type)

5000 West Military Highway Ste 100

Address

McAllen, TX 78503

City, State, Zip

956 445 5262

Telephone

aneira@haiff.com

Email address

Signature

\$450 Application Fee: check

Received By: _____

ESTIMATED NUMBER : 1
PROJECT NO. :

LA RESERVA I-D SUBDIVISION



January 26, 2022

Quintanilla, Headley, & Associates Inc.
Alfonso Quintanilla
124 E. Stubbs
Edinburg, Texas 78542

Dear Mr. Alfonso Quintanilla,

Your Request to Consider the Variance Requests to the City's Unified Development Code: 1). Section 7.404B Block Length, 2) Section 8.204A Streets, Paving Width and 3) Section 8.213 Sidewalks, proposed La Reserva Subdivision Phase II, being an 81.74 acre tract of land out of Lots 3, 4, 5, 6, 11, & 12, Block 73, Engelman Re-subdivision or the Missouri-Texas Land and Irrigation Company's Subdivision in Las Mestefias Grant, located at 8200 East Farm to Market 2812, was recommended for approval on Variance Request #1 Section 7.404B Block Length, subject to providing traffic calming devices; recommended for approval on Variance Request #2 Section 8.204A Street, Paving Width and recommended for denial on Variance Request #3 Section 8.213 Sidewalks with a 7-0 vote by the Planning and Zoning Commission on Monday, January 17, 2022 and will be heard by City Council on February 01, 2022 at 6:00 P.M. This meeting will be held at the Edinburg City Hall, City Council Chambers, located at 415 W. University Drive, Edinburg, Texas.

If you need additional information, please feel free to call me at 956-388-8202.

Sincerely,

Kimberly A. Mendoza, MPA
Director of Planning & Zoning



July 14, 2017

Alfonso Quintanilla, P.E., R.P.L.S.
Quintanilla Headley & Associates
124 E. Stubbs
Edinburg, Texas 78539

Dear Mr. Quintanilla:

Your Variance Request's for La Reserva Subdivision Phase I-A, Being a 75.63 Acre Tract of Land out of Lots 3, 6, & 14, Block 73, Engelman Mestenas Grant, Hidalgo County, Texas, Located North of Mile 20, North on Uresti Road were taken to the City Council on Wednesday, July 5, 2017 at 6:00 p.m. and the following actions were taken.

1. Variance Request to Article 7, Plat & Site Design Section 7.405 Protection of Rural Character - **Approved**
2. Variance Request to Article 7, Plat and Site Design, Section 7.502 Streets and Right of Way for Uresti Road and Benito Ramirez Road - **Approved**
3. Variance Request to Article 8, Streets, Utilities and Drainage, Section 8.213 Sidewalks- **Approved**

If you need additional information, please feel free to call me at 388-8202.

Sincerely,

Jesus R. Saenz
Director of Planning & Zoning



415 W. University Drive • P.O. Box 1079 • Edinburg, Texas 78540
Phone (956) 388-8204 • Fax (956) 383-7111





July 14, 2017

Alfonso Quintanilla, P.E., R.P.L.S.
Quintanilla Headley & Associates
124 E. Stubbs
Edinburg, Texas 78539

Dear Mr. Quintanilla:

Your Variance Request's for La Reserva Subdivision Phase I-B, Being a 20.23 Acre Tract of Land out of Lot 14, Block 73, Engelman Re-Subdivision of the Missouri-Texas Land and Irrigation Company Survey Subdivision Land in Las Mestenas Grant, Hidalgo County Texas, Located North of Mile 20, North on Uresti Road were taken to the City Council on Wednesday, July 5, 2017 at 6:00 p.m. and the following actions were taken.

1. Variance Request to Article 7, Plat & Site Design Section 7.405 Protection of Rural Character - **Approved**
2. Variance Request to Article 7, Plat and Site Design, Section 7.502 Streets and Right of Way for Uresti Road - **Approved**
3. Variance Request to Article 8, Streets, Utilities and Drainage, Section 8.213 Sidewalks- **Approved**

If you need additional information, please feel free to call me at 388-8202.

Sincerely,

Jesus R. Saenz
Director of Planning & Zoning



415 W. University Drive • P.O. Box 1079 • Edinburg, Texas 78540
Phone (956) 388-8204 • Fax (956) 383-7111





City of Edinburg
PLANNING & ZONING COMMISSION
Regular Meeting: 05/10/2022

— SUBDIVISION VARIANCE —

Agenda Item No: 10E
LAS ENCINITAS PHASE III

1. **Agenda Item:** Consider Variance Requests to the City's Unified Development Code Section 7.404B Block Length. Being a 121.04 acre tract of land out of Lots "R" and "Q", Block 2, Santa Cruz Ranch Subdivision, located at 5721 East Monte Cristo Road, as requested by Quintanilla, Headley & Associates, Inc.
2. **Description/Scope:** The proposed Las Encinitas Phase III is located on the north side of East Monte Cristo Road (FM 1925), approximately 530 ft. west of Terry Road, the City's Extra-Territorial Jurisdiction. The proposed subdivision is for a single-family residential development consisting of 188 lots averaging from 1.00 acre (43,560 square feet) to 3.9 acres (169,884 square feet) each. Quintanilla, Headley, & Associates, Inc., on behalf of the developer, is requesting a variance to the City's Unified Development Code (UDC) for the aforementioned subdivision.

Variance Request: Section 7.404B Blocks and Block Length

This Variance Request is to the maximum block length allowed for subdivisions.

UDC Section 7.404B states: "No block may exceed 800 feet in length." The proposed subdivision has blocks measuring 1,020.5 ft. and 904 ft. from east to west. These blocks are up to 27.56% and 13%, longer than the maximum allowed by UDC regulations, respectively.

3. **Staff's Recommendation:**

Staff recommends disapproval of the requested Variance. The proposed subdivision is the third phase of the Las Encinitas Subdivision developments. Las Encinitas Phase 2 Subdivision, located to the east, received a variance for block length and provided stub out streets for connecting to this phase, Phase 2. Shortening the block length along the east side of La Reserva Phase II is not possible due to the existing design of Phase 1. However, the developer should adhere to the block length requirements for the west side of this development and provide stub outs to the west at a spacing of no more than 800 ft., such that future development will meet UDC block length requirements.

Prepared By:

Adan A. Elizondo, MPA
Planner I

Approved By:

Kimberly Mendoza, MPA
Director of Planning and Zoning

Attachments:

Unified Development Code

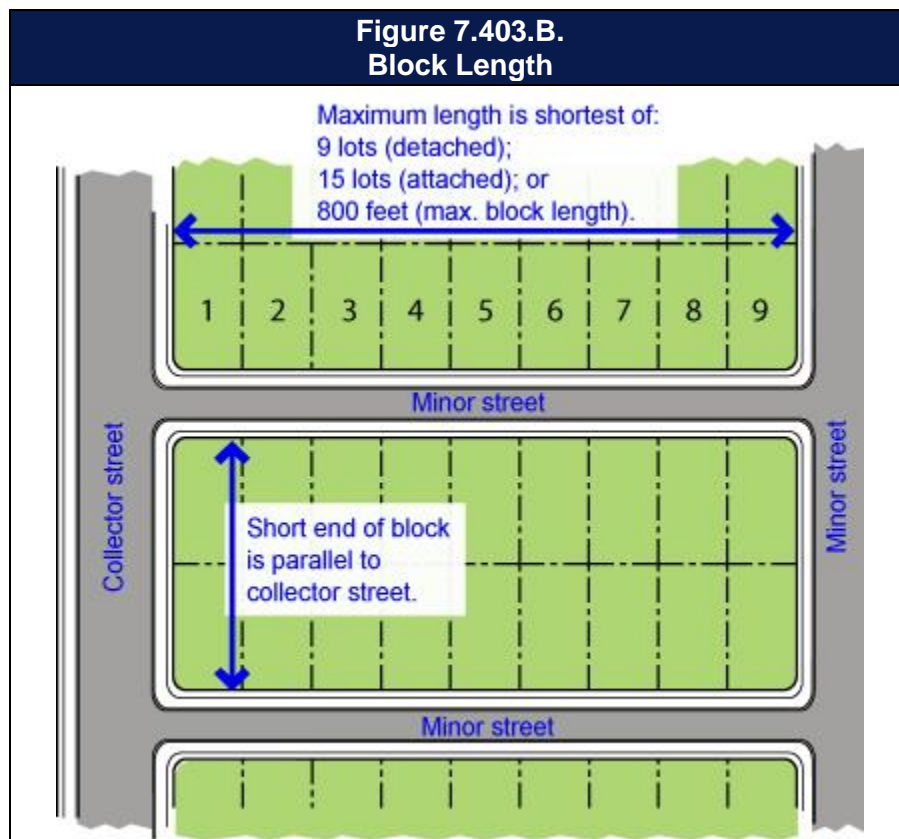
Aerial Photo

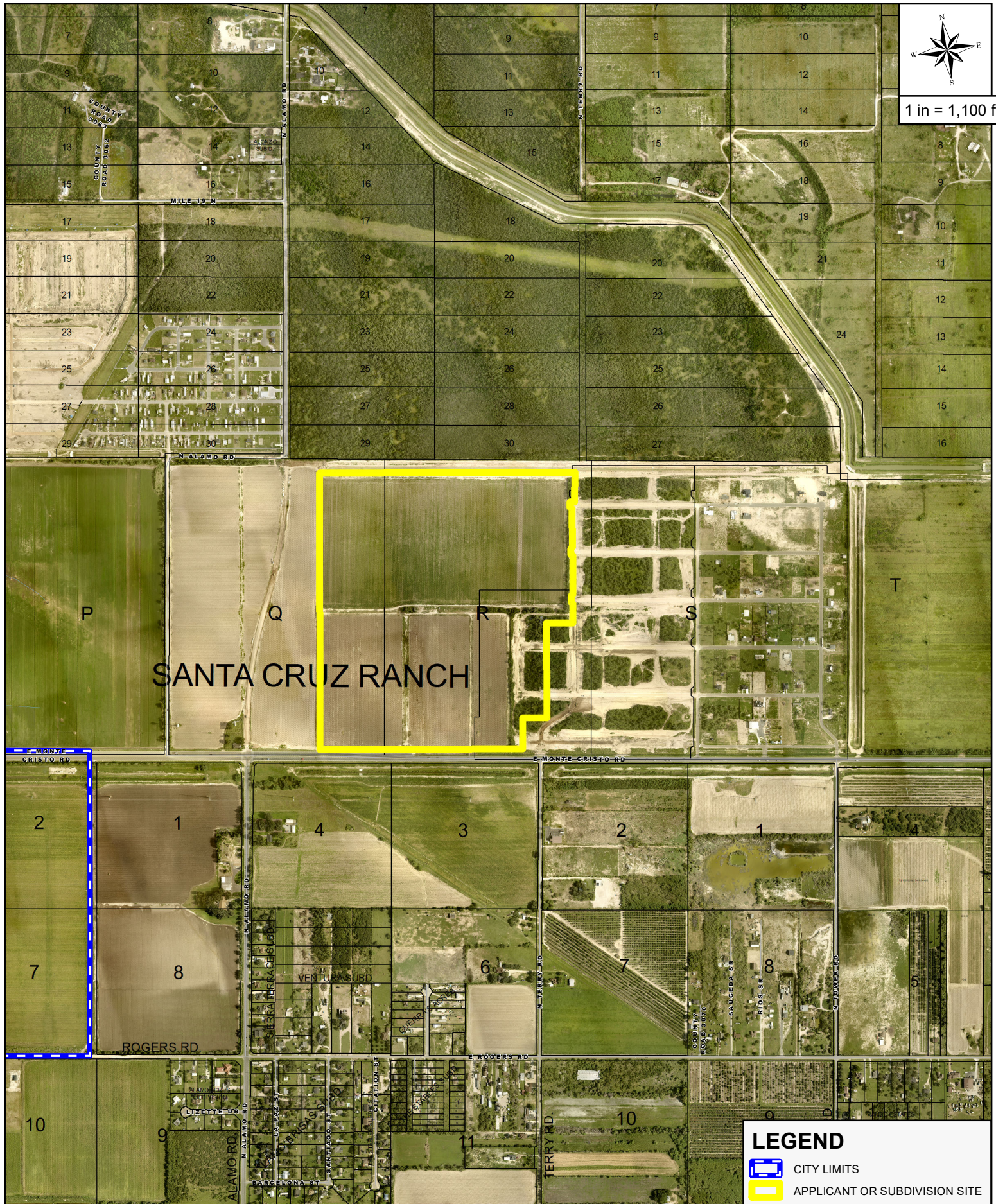
Site Map

Subdivision Plat

Sec. 7.404 Blocks

- A. **Block pattern.** In general, streets shall be laid out to create blocks. Within any superblock created by arterials or collectors, the design objective is to provide an interconnected network of streets so that people may reach other locations within the superblock without having to access arterial or collector streets. See Figure 7.403.A., *Illustrative Block Pattern in Superblock to Create Connectivity*. If practicable, streets shall be arranged in a grid or comparable formal arrangement, and open spaces shall be integrated into the block design. Exceptions will be made for green spaces along drainage or stream channels or where other natural resources make a grid or comparable formal arrangement difficult or cost prohibitive.
- B. **Block Length.** Where possible, blocks shall be laid out to have their short length abutting arterials, collectors, or the development's major road. The blocks should not, in most instances, exceed nine lots in length on one side of the street, except for attached units on individual lots, which shall not exceed 15 lots (or, in the case of condominiums, cooperatives, or rental housing, 15-unit footprints plus required building side yards). See Figure 7.403.B., *Block Length*. **No block may exceed 800 feet in length.** The length, width, and shape of blocks should be determined with due regard to the provision of adequate sites for buildings of the type proposed, zoning requirements, fire access, emergency service, and police protection.
- C.

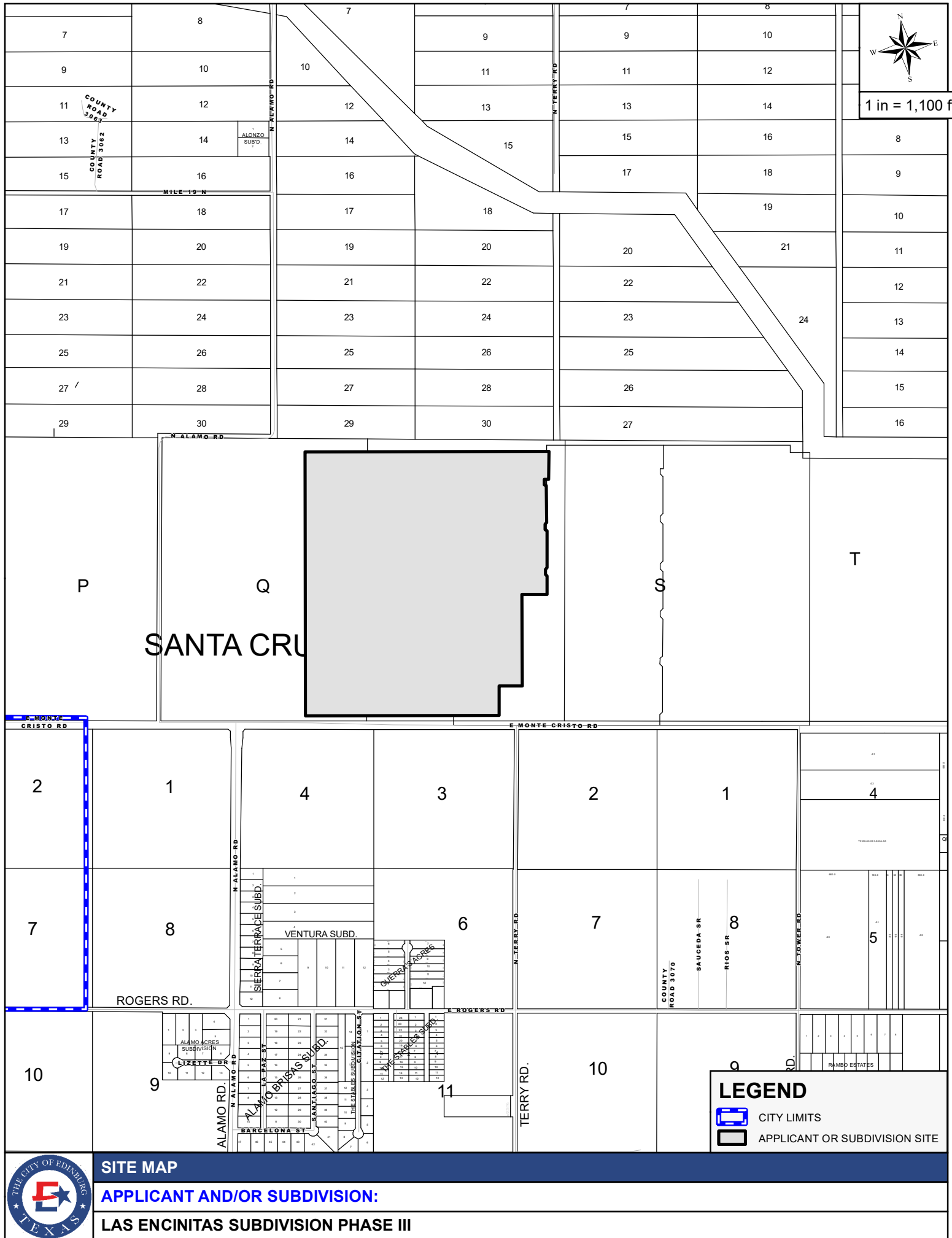


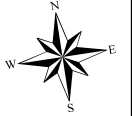


AERIAL MAP


APPLICANT AND/OR SUBDIVISION:

LAS ENCINTAS SUBDIVISION PHASE III






1 in = 1,100 ft



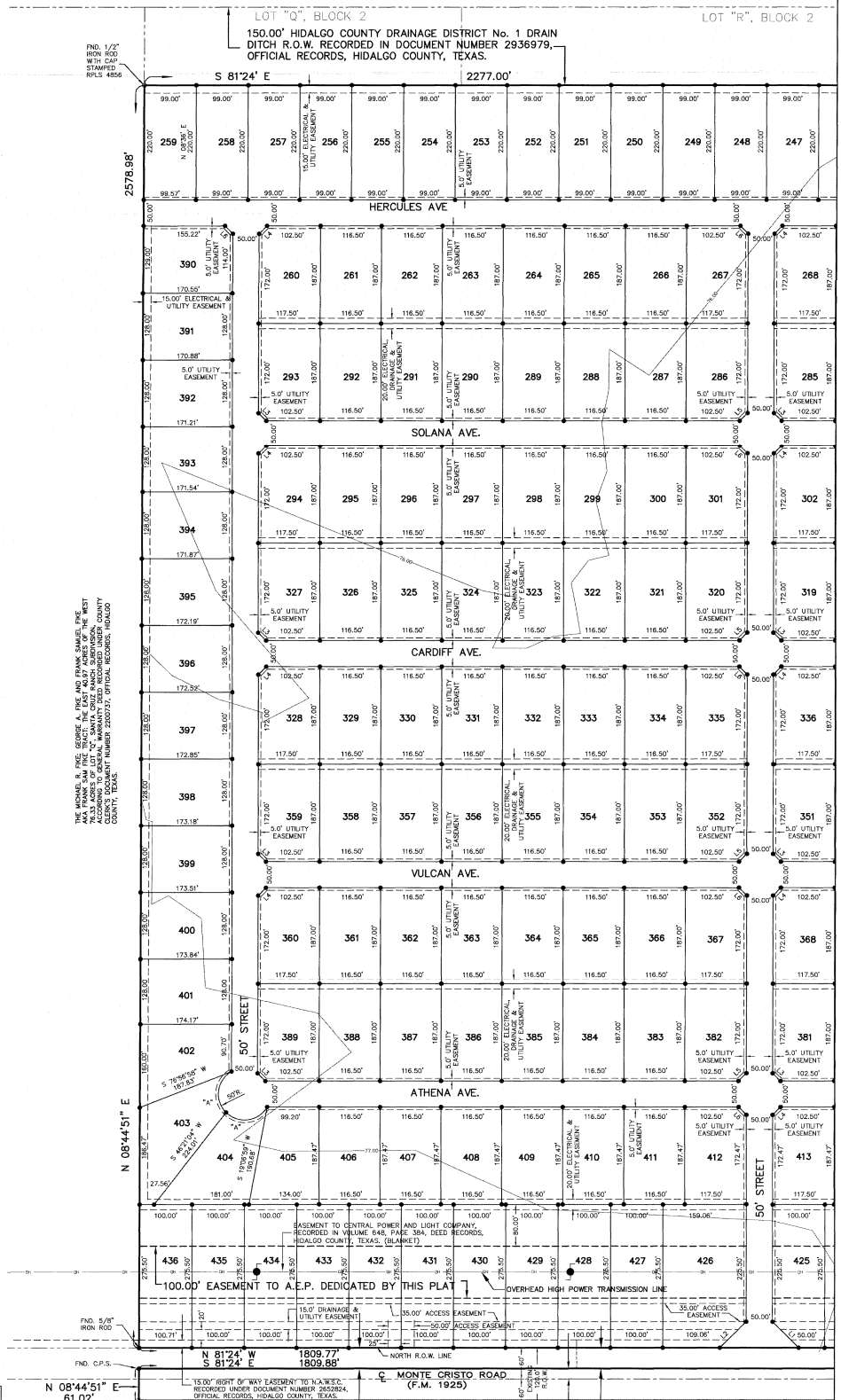
CITY LIMITS



APPLICANT OR SUBDIVISION SITE

LOT	AREA (S.F.)	AREA (AC.)
237-238	21780.00	0.500
239	21842.29	0.501
240	21860.00	0.501
241-242	21780.00	0.500
243-244	21860.00	0.501
245-246	21780.00	0.500
247-248	21860.00	0.501
249-250	21780.00	0.500
251-252	21860.00	0.501
253-254	21780.00	0.500
255-256	21860.00	0.501
257-258	21780.00	0.500
259-260	21860.00	0.501
261-262	21780.00	0.500
263-264	21860.00	0.501
265-266	21780.00	0.500
267-268	21860.00	0.501
269-270	21780.00	0.500
271-272	21860.00	0.501
273-274	21780.00	0.500
275-276	21860.00	0.501
277-278	21780.00	0.500
279-280	21860.00	0.501
281-282	21780.00	0.500
283-284	21860.00	0.501
285-286	21780.00	0.500
287-288	21860.00	0.501
289-290	21780.00	0.500
291-292	21860.00	0.501
293-294	21780.00	0.500
295-296	21860.00	0.501
297-298	21780.00	0.500
299-300	21860.00	0.501
301-302	21780.00	0.500
303-304	21860.00	0.501
305-306	21780.00	0.500
307-308	21860.00	0.501
309-310	21780.00	0.500
311-312	21860.00	0.501
313-314	21780.00	0.500
315-316	21860.00	0.501
317-318	21780.00	0.500
319-320	21860.00	0.501
321-322	21780.00	0.500
323-324	21860.00	0.501
325-326	21780.00	0.500
327-328	21860.00	0.501
329-330	21780.00	0.500
331-332	21860.00	0.501
333-334	21780.00	0.500
335-336	21860.00	0.501
337-338	21780.00	0.500
339-340	21860.00	0.501
341-342	21780.00	0.500
343-344	21860.00	0.501
345-346	21780.00	0.500
347-348	21860.00	0.501
349-350	21780.00	0.500
351-352	21860.00	0.501
353-354	21780.00	0.500
355-356	21860.00	0.501
357-358	21780.00	0.500
359-360	21860.00	0.501
361-362	21780.00	0.500
363-364	21860.00	0.501
365-366	21780.00	0.500
367-368	21860.00	0.501
369-370	21780.00	0.500
371-372	21860.00	0.501
373-374	21780.00	0.500
375-376	21860.00	0.501
377-378	21780.00	0.500
379-380	21860.00	0.501
381-382	21780.00	0.500
383-384	21860.00	0.501
385-386	21780.00	0.500
387-388	21860.00	0.501
389-390	21780.00	0.500
391-392	21860.00	0.501
393-394	21780.00	0.500
395-396	21860.00	0.501
397-398	21780.00	0.500
399-400	21860.00	0.501
401-402	21780.00	0.500
403-404	21860.00	0.501
405-406	21780.00	0.500
407-408	21860.00	0.501
409-410	21780.00	0.500
411-412	21860.00	0.501
413-414	21780.00	0.500
415-416	21860.00	0.501
417-418	21780.00	0.500
419-420	21860.00	0.501
421-422	21780.00	0.500
423-424	21860.00	0.501
425-426	21780.00	0.500
427-428	21860.00	0.501
429-430	21780.00	0.500
431-432	21860.00	0.501
433-434	21780.00	0.500
435-436	21860.00	0.501

THE MONITOR, R. FINE, GEORGE A. FINE AND FRANK SAMUEL, P.E. HAVE BEEN ADVISED BY THE SURVEYOR THAT THE WEST 76.33 ACRES OF LOT "Q", SANTA CRUZ RANCH SUBDIVISION, HIDALGO COUNTY, TEXAS, IS BEING SURVEYED BY THE SURVEYOR. THE SURVEYOR'S DOCUMENT NUMBER 220273, OFFICIAL RECORDS, HIDALGO COUNTY, TEXAS.



LEGEND

EXISTING TRANSMISSION POLE WITH CONCRETE BASE

CURVE	DATA	BEARING	LENGTH	CHORD
1	100.00'	S 01°00'00" E	50.00'	99.33'

LOT	BEARING	LENGTH
1	N 30°24' W	70.71'
2	S 53°36' W	70.71'
3	N 30°24' W	21.21'
4	S 53°36' W	21.21'
5	S 53°36' W	21.21'
6	S 30°24' E	21.21'

LAS ENCINITAS SUBDIVISION PHASE III

A 121.04 ACRE TRACT OF LAND OUT OF LOTS "R" AND "Q", BLOCK 2, SANTA CRUZ RANCH SUBDIVISION, HIDALGO COUNTY, TEXAS, ACCORDING TO THE PLAT OF MAP THEREOF RECORDED IN VOLUME "72", PAGES 160-161, DEED RECORDS HIDALGO COUNTY, TEXAS, AND ACCORDING TO DEED WITHOUT WARRANTY RECORDED UNDER COUNTY CLERK'S DOCUMENT NUMBER 1355500, OFFICIAL RECORDS, HIDALGO COUNTY, TEXAS.

STATE OF TEXAS
COUNTY OF HIDALGO

I, THE UNDERSIGNED, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECT, AND WAS MADE AND PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY DONE ON THE GROUND UNDER MY SUPERVISION.



Alfonso Quintanilla
R.P.L.S. No. 4856

DECEMBER 15, 2021

STATE OF TEXAS
COUNTY OF HIDALGO

I, THE UNDERSIGNED, A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THE PROPER ENGINEERING CONSIDERATIONS HAVE BEEN GIVEN TO THIS PLAT.



Alfonso Quintanilla
P.E. No. 48534

LOT 4, SECTION 252
TEXAS-MEXICAN RAILWAY COMPANY'S SURVEY,
RECORDED IN VOLUME 4, PAGE 28,
MAP RECORDS, HIDALGO COUNTY, TEXAS.

LOT 3, SECTION 252
TEXAS-MEXICAN RAILWAY COMPANY'S SURVEY,
RECORDED IN VOLUME 2, PAGE 28,
MAP RECORDS, HIDALGO COUNTY, TEXAS.



Arturo Guajardo, Jr.
HIDALGO COUNTY CLERK

ON: _____ AT _____ AM/PM
INSTRUMENT NUMBER _____
OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS

BY: _____ DEPUTY
SHEET 4

200 LOTS DATE OF PREPARATION: JAN. 12, 2022

FILENAME	F:\DATA\SUBDIVISIONS\HIDALGO CO.\LAS ENCINITAS SUBDIVISION PH III\PLAT
DATE PREPARED	11-12-2021
PREPARED BY	ALFONSO QUINTANILLA
CHECKED BY	ALFONSO QUINTANILLA
APPROVED BY	ALFONSO QUINTANILLA
DATE REVISED	
REVISED BY	
CHECKED BY	
APPROVED BY	

SHEET NO. 3
OF 5 SHEETS

QUINTANILLA, HEADLEY AND ASSOCIATES, INC.
CONSULTING ENGINEERS LAND SURVEYORS
124 E. STUBBS ST. EDINBURG, TEXAS 77532
REGISTRATION NUMBER F-1513 ALFONSO@QHA-ENG.COM
SURVEYING REGISTRATION NUMBER 100411-00

SCALE 1" = 100'

LOT	AREA (SQ. FT.)	AREA (AC.)
237-258	21780.00	0.500
259	21842.28	0.501
260	21860.00	0.501
261-266	21780.00	0.500
267-268	21860.00	0.501
269-275	21780.00	0.500
276-277	21860.00	0.501
278-284	21780.00	0.500
285-286	21860.00	0.501
287-292	21780.00	0.500
293-294	21860.00	0.501
295-300	21780.00	0.500
301-302	21860.00	0.501
303-309	21780.00	0.500
310-311	21860.00	0.501
312-318	21780.00	0.500
319-320	21860.00	0.501
321-326	21780.00	0.500
327-328	21860.00	0.501
329-334	21780.00	0.500
335-336	21860.00	0.501
337-343	21780.00	0.500
344	21860.00	0.501
345-350	21780.00	0.500
351-352	21860.00	0.501
353-358	21780.00	0.500
359-360	21860.00	0.501
361-369	21780.00	0.500
370-378	21860.00	0.501
379-380	21780.00	0.500
381-382	21860.00	0.501
383-388	21780.00	0.500
389	21860.00	0.501
390	21868.71	0.502
391	21881.18	0.502
392	21893.33	0.503
393	21905.50	0.504
394	21917.67	0.505
395	22019.84	0.508
396	22022.01	0.508
397	22104.18	0.507
398	22146.25	0.508
399	22188.32	0.509
400	22230.39	0.510
401	22272.46	0.511
402	22314.53	0.512
403	22356.60	0.513
404	22398.67	0.514
405	22440.74	0.515
406-411	21840.80	0.501
412-413	21815.87	0.500
414-419	21840.80	0.501
420-424	27500.00	0.632
425	26300.00	0.603
426	42571.80	0.977
427-436	27500.00	0.632
437	27547.88	0.635

LEGEND
 ● EXISTING
 ○ TRANSMISSION POLE WITH CONCRETE BASE

LOT	BEARING	LENGTH
L1	N 35°24' E	70.71'
L2	S 53°36' W	70.71'
L3	N 36°24' W	21.21'
L4	N 53°36' E	21.21'
L5	S 53°36' W	21.21'
L6	S 36°24' E	21.21'

LAS ENCINITAS SUBDIVISION PHASE III

A 121.04 ACRE TRACT OF LAND OUT OF LOTS "R" AND "Q", BLOCK 2, SANTA CRUZ RANCH SUBDIVISION, HIDALGO COUNTY, TEXAS, ACCORDING TO THE PLAT OF MAP THEREOF RECORDED IN VOLUME "2", PAGES 160-161, DEED RECORDS HIDALGO COUNTY, TEXAS, AND ACCORDING TO DEED WITHOUT WARRANTY RECORDED UNDER COUNTY CLERK'S DOCUMENT NUMBER 1355500, OFFICIAL RECORDS, HIDALGO COUNTY, TEXAS.

STATE OF TEXAS
 COUNTY OF HIDALGO

I, THE UNDERSIGNED, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECT, AND WAS MADE AND PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY DONE ON THE GROUND UNDER MY SUPERVISION.



ALFONSO QUINTANILLA
 R.L.S. No. 4658

DECEMBER 15, 2021
 DATE

STATE OF TEXAS
 COUNTY OF HIDALGO

I, THE UNDERSIGNED, A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THE PROPER ENGINEERING CONSIDERATIONS HAVE BEEN GIVEN TO THIS PLAT.



ALFONSO QUINTANILLA
 P.E. No. 95534

4-6-22
 DATE



QUINTANILLA, HEADLEY AND ASSOCIATES, INC.
 CONSULTING ENGINEERS
 124 E. STURDIVANT ST.
 EDINBURG, TEXAS 78539
 REGISTRATION NUMBER F-1913
 SURVEYING REGISTRATION NUMBER 100411-00

LAND SURVEYORS
 PHONE 936-381-6440
 FAX 936-381-0527
 ALFONSO@QHA-ENG.COM



FILED FOR RECORD IN
 HIDALGO COUNTY
 ARTURO GUJARDO, JR.
 HIDALGO COUNTY CLERK

ON _____ AT _____ AM/PM
 INSTRUMENT NUMBER _____
 OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS

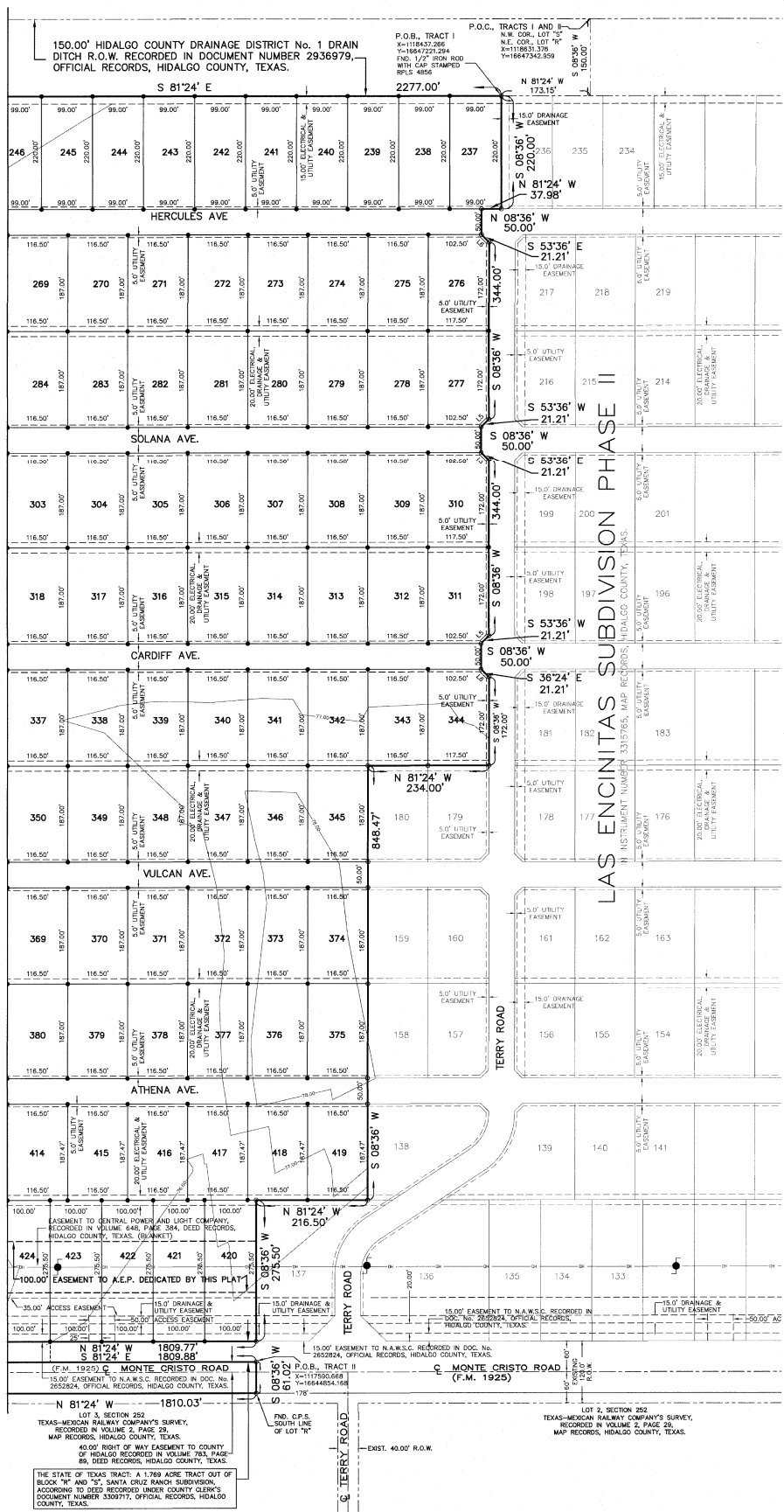
BY: _____ DEPUTY

SHEET 3

FILE NAME	DATE PREPARED	DATE REVISION	REVISION	CHECKED BY	APPROVED BY
F:\DATA\SUBDIVISIONS\LAS ENCINITAS SUBDIVISION PH III\PLAT	12-15-2021	12-15-2021	1	ALFONSO QUINTANILLA	ALFONSO QUINTANILLA

MATCHLINE A

MATCHLINE A





Case # **VAR-2022-0086**

Edinburg THE CITY OF

Planning & Zoning Department
415 W. University Drive
Edinburg, Texas 78539
(956) 388-8202

Subdivision Appeals / Variance Application

Submittal Date: _____

Legal Description:

A 121.04 acre tract of land out of Lots "R" and "Q", Block 2, Santa Cruz Ranch Subdivision, Hidalgo County, Texas

Variance Requested (Identify section of code for which variance is being requested):

Sec. 7.404B Block Length

Reason for Request:

Proposed block lengths of 1,060.0' and 935.0'. We are proposing a traffic calming device and a 36' back of curb to back of curb width in lieu of the standard 32' B-B.

CWL Limited By: Three, LLC

Property Owner (Print legibly or type)

P.O. Box 118

Address

Edinburg, TX 78540

City, State, Zip

(956) 383-7032

Telephone

frunnels@cia-p.com

Email address

CWL LIMITED
By: **THREE LLC, It's General Partner**

Signature

By:

Quintanilla, Headley & Associates, Inc.

Applicant / Agent (Print legibly or type)

124 E. Stubbs

Address

Edinburg, TX 78539

City, State, Zip

(956) 381-6480

Telephone

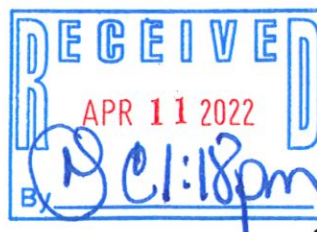
alfonsoq@qha-eng.com

Email address

Signature

\$450 Application Fee: _____

Received By: _____



AGENDA ITEM AND RECOMMENDATION SUMMARY
PLANNING & ZONING COMMISSION
MAY 10, 2022

Unified Development Code Update

STAFF COMMENTS AND RECOMMENDATION

RECOMMENDATION

Prepared By:

Approved By:

STAFF REPORT
GENERAL INFORMATION

APPLICATION:

APPLICANT:

AGENT:

LEGAL:

LOCATION:

LOT/TRACT SIZE:

CURRENT USE OF PROPERTY:

PROPOSED USE OF PROPERTY:

EXISTING LAND USE:

ADJACENT ZONING:

LAND USE PLAN DESIGNATION:

ACCESS AND CIRCULATION:

PUBLIC SERVICES:

RECOMMENDATION:

Evaluation

ATTACHMENTS:

**AGENDA ITEM AND RECOMMENDATION SUMMARY
PLANNING & ZONING COMMISSION
MAY 10, 2022**

City Council Actions: April 19, 2022 & May 3, 2022

STAFF COMMENTS AND RECOMMENDATION

RECOMMENDATION

Prepared By:

Approved By:

**STAFF REPORT
GENERAL INFORMATION**

APPLICATION:

APPLICANT:

AGENT:

LEGAL:

LOCATION:

LOT/TRACT SIZE:

CURRENT USE OF PROPERTY:

PROPOSED USE OF PROPERTY:

EXISTING LAND USE:

ADJACENT ZONING:

LAND USE PLAN DESIGNATION:

ACCESS AND CIRCULATION:

PUBLIC SERVICES:

RECOMMENDATION:

Evaluation

ATTACHMENTS: City Council Actions
City Council Actions



City Council Actions
Meeting Date: May 3, 2022

REZONING:

Hold Public Hearing and Consider the Rezoning Request from Agriculture (AG) District to Auto-Urban Residential (AU) District, 13.785 acres out of Lot 9, Section 246, Texas-Mexican Railway Company's Survey, located at 2200 East Chapin Street, as requested by M2 Engineering, PLLC, City Place at Chapin, LLC.

- Planning & Zoning Commission recommended approval on April 13, 2022
- City Council **approved** on May 3, 2022

Hold Public Hearing and Consider the Rezoning Request from Commercial General (CG) District to Industrial (I) District, 5.157 acres out of Lot 39, Santa Cruz Ranch Subdivision, located at 4805 North Expressway 281, as requested by Spoor Engineering Consultants, Inc., Nogales-Texas Properties, LLC.

- Planning & Zoning Commission recommended approval on April 13, 2022
- City Council **approved** on May 3, 2022

COMPREHENSIVE PLAN AMENDMENT & REZONING:

Hold Public Hearing and Consider the Comprehensive Plan Amendment from Auto-Urban Uses to General Commercial Uses and the Rezoning Request from Agriculture (AG) District to Commercial General (CG) District, Lot 5, Villa Del Mundo Subdivision, located at 5121 South Veterans Boulevard, as requested by Jose A Pardo

- Planning & Zoning Commission recommended approval on April 13, 2022
- City Council **approved** on May 3, 2022

Hold Public Hearing and Consider the Comprehensive Plan Amendment from Industrial Uses to General Commercial and the Rezoning Request from Agriculture (AG) District to Commercial General (CG) District, 8.409 acres out of Lot 2, Section 241, Texas-Mexican Railway Company's Survey, located at 500 East Russell Road, as requested by Iden I. Trevino, EIA Properties

- Planning & Zoning Commission recommended approval on April 13, 2022
- Item was **TABLED** at the owner's request on May 2, 2022

Hold Public Hearing and Consider the Comprehensive Plan Amendment from Industrial Uses and Office Business Park Uses to Auto-Urban Uses and the Rezoning Request from Agriculture (AG) District to Auto-Urban Residential (AU) District, 68.277 acres being all of Lot 1 and 28.277 acres out of Lot 2, Section 241, Texas-Mexican Railway Company's Survey, located at 500 East Russell Road, as requested by Iden I. Trevino, EIA Properties

- Planning & Zoning Commission recommended approval on April 13, 2022
- Item was **TABLED** at the owner's request on May 2, 2022

Hold Public Hearing and Consider the Comprehensive Plan Amendment from Suburban Uses to Auto-Urban Uses and the Rezoning Request from Agriculture (AG) District to Auto-Urban Residential (AU) District, a 20.0 acre tract of land out of Lot 5, Block 1, John Closner, et al. Subdivision, located at 3301 South Raul Longoria Road, as requested by Isidro Navarro, Maverick Valley Builders, LLC.

- Planning & Zoning Commission recommended approval on April 13, 2022
- City Council **approved** on May 3, 2022

Hold Public Hearing and Consider the Comprehensive Plan Amendment from Urban Uses to Industrial Uses and the Rezoning Request from Suburban Residential (S) District to Industrial (I) District, 6.39 acres out of Lot 39, Santa Cruz Ranch Subdivision, located at 4805 North Expressway 281, as requested Spoor Engineering Consultants, Inc., Nogales-Texas Properties, LLC.

- Planning & Zoning Commission recommended approval on April 13, 2022
- City Council **approved** on May 3, 2022

SPECIAL USE PERMITS:

Consider Ordinance providing for a temporary special use permit and request for waiver of fees for the "70th Annual National Day of Prayer" to be held on Thursday, May 5, 2022 at Hidalgo County Executive Office, Lots 15-32, Block 1, West Meadows Subdivision, located at 505 South McColl Road, as requested by National Day of Prayer RGV, Elma Esparza

- City Council **approved** on May 3, 2022



City Council Actions
Meeting Date: April 19, 2022

SPECIAL USE PERMIT:

Consider the Ordinance providing for a temporary special use permit and a request for waiver of fees for a Special Event, “2nd Annual Dia Del Nino Celebration” to be held on Sunday, April 24, 2022 at UR Home Church, Lots 1 & 2, Block 282, Original Townsite of Edinburg, located at 704 East Cano Street, as requested by UR Home Church, Pastor Eddie Salinas

- City Council ***approved*** on April 19, 2022

VOLUNTARY ANNEXATION:

Consider the Petition providing for the Voluntary Annexation of 12.436 acres out of Lots 3 and 6, Section 235, and 2.42 acres out of Lots 6 and 7, Section 235, Texas-Mexican Railway Company’s Survey, being all of the existing road right-of-way of North Trooper Moises Sanchez Boulevard, located at 3101 Trooper Moises Sanchez Boulevard, as requested by Be the Light Ventures, LLC., Maria Elena Falcon

- City Council ***approved*** on April 19, 2022

DEVELOPMENT AGREEMENT:

Consider authorizing the City Manager to execute a Development Agreement between the City of Edinburg and Be the Light Ventures, LLC., pursuant to Section 212.172 of the Texas local Government Code, for a 12.436 acre tract of land out of Lots 3 & 6, Section 235, Texas-Mexican Railway Company’s Survey, located at 3101 Trooper Moises Sanchez Boulevard, as requested by Be the Light Ventures, LLC., Maria Elena Falcon

- City Council ***approved*** on April 19, 2022

AGENDA ITEM AND RECOMMENDATION SUMMARY
PLANNING & ZONING COMMISSION
MAY 10, 2022

Attendance Roster

STAFF COMMENTS AND RECOMMENDATION

RECOMMENDATION

Prepared By:

Approved By:

STAFF REPORT
GENERAL INFORMATION

APPLICATION:

APPLICANT:

AGENT:

LEGAL:

LOCATION:

LOT/TRACT SIZE:

CURRENT USE OF PROPERTY:

PROPOSED USE OF PROPERTY:

EXISTING LAND USE:

ADJACENT ZONING:

LAND USE PLAN DESIGNATION:

ACCESS AND CIRCULATION:

PUBLIC SERVICES:

RECOMMENDATION:

Evaluation

ATTACHMENTS: Attendance

Planning and Zoning Commission

Attendance - 2022

2022

First Name	Last Name	Position	Jan	Feb	Mar	Apr	May	June	July	August	September	October	November	December
Joe	Ochoa	Chairperson	P	P	P	A								
Hiren	Govind	Vice-Chair	P	P	P	P								
Jorge	Sotelo	Commissioner	P	P	P	P								
Ruby	Casas	Commissioner	P	P	P	P								