



**PLANNING AND ZONING COMMISSION
REGULAR MEETING**

OCTOBER 12, 2021 – 4:00 P.M.

EDINBURG CITY HALL

415 WEST UNIVERSITY DRIVE

EDINBURG, TEXAS 78539

AGENDA

1. Call Meeting To Order, Establish Quorum

A. Prayer

B. Pledge of Allegiance

2. Certification of Public Notice

3. Meeting Procedures

The following are the meeting procedures used by the Planning and Zoning Commission:

A. All the items are generally considered as they appear on the agenda as each item is introduced

B. Staff will present its findings and recommendation on the item being considered.

C. The party making the request may make a presentation and may address the Commission on any issues arising during the discussion of the item being considered

D. Anyone in the audience desiring to speak in favor or in opposition may do so. A 3 minute time limit will be given to each person interested in speaking on the item. The use of a spokesperson for large groups of people will be required.

E. Once the Chair close the public hearing, the commission may question anyone and maintain any discussion which clarifies the proposal and will take what action it feel to be appropriate.

4. **PUBLIC COMMENTS**

A. If you would like to participate under public comments, you must submit a request beginning at 9:00 A.M. the day of the meeting by (a) sending an email to PublicHearing@cityofedinburg.com or (b) calling the Planning and Zoning Department at 956-388-8202. All request should include your name, address, and telephone number. We ask for everyone's cooperation in following this procedure.

5. **MINUTES**

- A. Consider approval of the Minutes for the September 14, 2021 Regular Meeting

6. **PUBLIC HEARINGS**

- A. Hold Public Hearing and Consider the Comprehensive Plan Amendment from Auto Urban Uses to General Commercial Uses and the Rezoning Request from Neighborhood Conservation 7.1 (NC7.1) District to Commercial General (CG) District, being all of Lot 2, Block 1, Enfield Estates Subdivision, located at 105 Austin Boulevard, as requested by Enrique Omar Maldonado
- B. Hold Public Hearing and Consider the Special Use Permit for a Licensed Child Care Home, being Lot 2, Las Villas at Autumn Ridge Subdivision, located at 3511 Monette Street, as requested by Yadira P. Castillas Leonel
- C. Hold Public Hearing and Consider the Special Use Permit for On-Premise Consumption of Alcoholic Beverages, being Lot 1, Eulogio Diaz Subdivision, located at 3721 North Doolittle Road, as requested by Miguel A. Andrade Estrada

7. **SUBDIVISIONS (PLATS)**

- A. Consider the Preliminary Plat of Carmen Avila Subdivision Phase 5, being a 33.13 acre tract out of Tract 156, San Salvador Del Tule Grant, located at 8600 North Alamo Road, as requested by Quintanilla, Headley and Associates, Inc.
- B. Consider the Preliminary Plat of RG Estates Phase III, being a 10 acre tract out of Lot 7, Block 23, Santa Cruz Gardens Unit No. 2, located at 4100 East Ingle Road, as requested by Quintanilla, Headley and Associates, Inc.
- C. Consider the Preliminary Plat of Cole Crossing Subdivision, being an 18 acre tract of land out of Lots 12 & 13, Block 35, Santa Cruz Gardens Unit No. 2, located at 2200 Ramseyer Road, as requested by SDI Engineering, Inc.
- D. Consider the Preliminary Plat of University Village on 10th Subdivision, being a 34.56 acre tract being part or portion of Lot 1, 2, and 3, Lomas Y Lagos Subdivision, located on the east side of 10th Street (SH 336), and south of University Drive (SH 107), as requested by Rio Delta Engineering, Inc.

8. **SUBDIVISIONS (VARIANCES)**

- A. Consider Variance Request to the City's Unified Development Code (UDC) as follows: 1) Section 7.502 (C) Streets and Rights of Way, Perimeter Streets; Pavement or Fee in Lieu Required and 2) Section 8.213 Sidewalks, RG Estates Phase III Subdivision, a 10 acre tract being all of Lot 7, Block 23, Santa Cruz Gardens Unit No. 2 Subdivision, located at 4120 East Ingle Road, as requested by Quintanilla, Headley and Associates, Inc.

9. **CONSENT AGENDA**

- A. Consider the Final Plat of Newcastle Subdivision, being a 9.63 acre tract of land out of Lot 8, Block 2, Steele and Pershing Subdivision, located at the northeast corner of Wisconsin Road, as requested by Quintanilla, Headley, and Associates, Inc.
- B. Consider the Final Plat for Queens Court Subdivision, being a 2.64 acre tract out of Lot 6, Block 2, Steele and Pershing Subdivision, located at 2701 West Wisconsin Road, as requested by Quintanilla, Headley and Associates, Inc.

10. **DIRECTOR'S REPORT**

- A. City Council Actions: August 17, 2021, September 7, 2021, September 21, 2021, & October 5, 2021
- B. Unified Development Code Update
- C. APA Conference

11. **ADJOURNMENT**

I hereby certify that this notice of meeting was posted in accordance with the Open Meetings Act, V.T.C.A., Government Code, Section 551.041, at the Edinburg City Hall Building, 415 West University Drive, Edinburg, Texas, visible and accessible to the general public during regular working hours, on October 8, 2021 at 4:25 P.M.

Alejandra Gonzalez, Administrative Assistant
Planning & Zoning Department

NOTICE

PERSONS WITH DISABILITIES WHO NEED TO COMMUNICATE MORE EFFECTIVELY WITH CITY OFFICIALS AND WHO MAY NEED AUXILIARY AIDS OR SERVICES SUCH AS INTERPRETERS FOR PERSONS WHO ARE DEAF OR HEARING IMPAIRED ARE REQUESTED TO CONTACT THE OFFICE OF THE CITY SECRETARY AT (956) 388-8204 THREE WORKING DAYS PRIOR TO ANY MEETING SO THAT APPROPRIATE ARRANGEMENTS CAN BE MADE.

**PLANNING AND ZONING COMMISSION
REGULAR MEETING
SEPTEMBER 14, 2021- 4:00 P.M.
EDINBURG CITY HALL – CITY COUNCIL CHAMBERS
415 WEST UNIVERSITY DRIVE
EDINBURG, TEXAS 78541**

MEMBERS PRESENT

Victor Daniec, Commissioner
Ruby Casas, Commissioner
Hiren Govind, Vice Chairperson
Jorge Sotelo, Commissioner
Rene Olivarez, Commissioner
Jorge Gonzalez, Commissioner

MEMBERS ABSENT

Joe Ochoa, Chairperson

STAFF PRESENT

Kimberly A. Mendoza, Planning & Zoning Director
Alejandra Gonzalez, Administrative Assistant
Nikki Marie Cavazos, Planner I
Omar Garza, Deputy Chief
Peter Hermida, Engineer III
Omar Ochoa, City Attorney
Brian Kelsey, Assistant City Manager
Tomas Reyna, Assistant City Manager
Rita Lee Guerrero, Management Analyst

Abel Beltran, Planner I
Jaime Ayala, Planner II
Daniel A. Colina, Planner I
Patrizia Longoria, Engineer III
Tilfred Farley, Planning Assistant
Mardoqueo Hinojosa, City Engineer
Robert Hernandez, Engineer I

VISITORS

Jesus Garza
Delia Perez
Ram Ramirez
Dama Ramirez
Alex Gonzalez
Andra Mora
Enrique De La Mora
Mark Corbitt
Efren Tijerina
Alejandra Tijerina
Irene Uribe Manuque

Juan Lopez
Nadia Lopez
Javier Chamberlain
Iden I. Trevino
Karime Farachala
Ruben James De Jesus
Neo Cruz
Nan Xiao
Fabiola Cervantes
Valerie Ramirez
Justin Serna

1. CALL MEETING TO ORDER, ESTABLISH QUORUM

The meeting was formally called to order by Vice Chairperson Mr. Hiren Govind at 4:03 P.M.

- A. Prayer – Prayer was announced by Commission Member Mrs. Ruby Casas
- B. Pledge of Allegiance – The Pledge of Allegiance was said.

2. CERTIFICATION OF PUBLIC NOTICE

Mr. Daniel A. Colina verified the posting of the Planning and Zoning Commission Meeting Notice and its compliance with the Open Meetings Act. Staff indicated the agenda had been posted on September 10, 2021 after regular working hours at 6:20 P.M.

3. MEETING PROCEDURES

The following are the meeting procedures used by the Planning and Zoning Commission:

- A. All the items are generally considered as they appear on the agenda. As each item is introduced.
- B. Staff will present its findings and recommendation on the item being considered.
- C. The party making the request may make a presentation and may address the Commission on any issues arising during the discussion of the item being considered.
- D. Anyone in the audience desiring to speak in favor or in opposition may do so. A 3 minute time limit will be given to each person interested in speaking on the item. The use of a spokesperson for large groups of people will be required.
- E. Once the Chair close the public hearing, the commission may question anyone and maintain any discussion which clarifies the proposal and will take what action it feel to be appropriate.

4. PUBLIC COMMENTS

If you would like to participate under public comments, you must submit a request beginning at 9:00 a.m. the day of the meeting by (a) sending an email to PublicHearing@cityofedinburg.com or (b) calling the Planning and Zoning Department at 956-388-8202. All request should include your name, address, and telephone number. We ask for everyone's cooperation in following this procedure.

5. MINUTES

- A. Consider approval of the Minutes for the August 10, 2021 Regular Meeting

MOTION WAS MADE BY COMMISSION MEMBER MR. JORGE SOTELO AND SECONDED BY COMMISSION MEMBER MRS. RUBY CASAS TO APPROVE THE MINUTES FOR THE AUGUST 10, 2021 REGULAR MEETING. MOTION CARRIED UNANIMOUSLY WITH A VOTE OF 6-0.

6. PUBLIC HEARINGS

- A. Hold Public Hearing and Consider the Rezoning Request From Neighborhood Conservation 7.1 (NC 7.1) District to Auto Urban Residential (AU) District, being Lot 7, Block 156, Edinburg Original Townsite, located 401 North 21st Avenue, as requested by RT Homes , LLC.

MOTION WAS MADE BY COMISSION MEMBER MR. JORGE SOTELO AND SECONDED BY COMISSION MEMBER MRS. RUBY CASAS TO RECOMMEND APPROVAL OF THE REZONING REQUEST. MOTION CARRIED WITH A VOTE OF 5-1. COMMISSION MEMBER MR. JORGE GONZALEZ RECOMMENDED DISAPPROVAL.

- B. Hold Public Hearing and Consider the Rezoning Request From Neighborhood Conservation 7.1 (NC 7.1) District to Urban Residential (UR) District, being Lot 12, Block 199, Edinburg Original Townsite, located at 1101 East McIntyre Street, as requested by Fabiola & Mauricio Cervantes.

MOTION WAS MADE BY COMMISSION MEMBER MR. JORGE SOTELO AND SECONDED BY COMMISSION MEMBER MRS. RUBY CASAS TO RECOMMEND APPROVAL OF THE REZONING REQUEST. MOTION CARRIED WITH A VOTE OF 5-1. COMMISSION MEMBER MR. JORGE GONZALEZ RECOMMENDED DISAPPROVAL.

- C. Hold Public Hearing and Consider the Comprehensive Plan Amendment from General Commercial uses to Auto Uses and the Rezoning Request From Commercial General (CG) District and Suburban Residential (S) District to Auto Urban Residential (AU), being a 3.261 arce tract of land out of Lot 53, Kelly Pharr Subdivision, located at 525 West Alberta Road, as requested by Manuel B. Perez.

MOTION WAS MADE BY COMMISSION MEMBER MR. JORGE SOTELO AND SECONDED BY COMMISSION MEMBER MRS. RUBY CASAS TO RECOMMEND APPROVAL OF THE COMPREHENSIVE PLAN AMENDMENT AND REZONING REQUEST. MOTION CARRIED UNANIMOUSLY WITH A VOTE OF 6-0.

- D. Hold Public Hearing and Consider the Comprehensive Plan Amendment from Urban Uses to Auto Urban Uses and the Rezoning Request from Suburban Residential (S) District to Neighborhood Conservation 7.1 (NC 7.1) District, being a 15.5 acre tract of land, Lots 37 and 38, Santa Cruz Gardens Unit No. 1, located at 501 West Palm Drive, as requested by SAMES Engineering.

MOTION WAS MADE BY COMMISSION MEMBER MR. VICTOR DANIEC AND SECONDED BY COMMISSION MEMBER MR. JORGE GONZALEZ TO RECOMMEND APPROVAL OF THE COMPREHENSIVE PLAN AMENDMENT AND REZONING REQUEST. MOTION CARRIED UNANIMOUSLY WITH A VOTE OF 6-0.

- E. Hold Public Hearing and Consider the Comprehensive Plan Amendment from Auto Urban Uses to Urban Uses, being a 26.79 acres more or less out of Lot 3, Section 275, Texas-Mexican Railway Company's Survey, located at 2900 West Sprague Street, as requested by Melden & Hunt Inc.

MOTION WAS MADE BY COMMISSION MEMBER MRS. RUBY CASAS AND SECONDED BY COMMISSION MEMBER MR. VICTOR DANIEC TO RECOMMEND APPROVAL OF THE COMPREHENSIVE PLAN AMENDMENT REQUEST. MOTION CARRIED UNANIMOUSLY WITH A VOTE OF 6-0.

- F. Hold Public Hearing and Consider the Rezoning Request from Commercial General (CG) District to Urban Residential (UR) District, being 11.878 acres of land out of Lot 3, Section 275, Texas- Mexican Railway Company's Survey, located at 2900 West Sprague Street, as requested by Melden & Hunt Inc.

MOTION WAS MADE BY COMMISSION MEMBER MRS. RUBY CASAS AND SECONDED BY COMMISSION MEMBER MR. JORGE SOTELO TO RECOMMEND APPROVAL OF THE REZONING REQUEST. MOTION CARRIED UNANIMOUSLY WITH A VOTE OF 6-0.

- G. Hold Public Hearing and Consider the Comprehensive Plan Amendment from Auto Urban Uses to Urban Uses and the Rezoning Request from Auto Urban Residential (AU) District to Urban Residential (UR) District, containing 14.998 acres being all of Lots 2 through 15 and part of Northpoint Drive, Northpoint Subdivision Phase 1, located at 4700 South McColl Road, as requested by Melden & Hunt Inc.

MOTION WAS MADE BY COMMISSION MEMBER MR. VICTOR DANIEC AND SECONDED BY COMMISSION MEMBER MR. JORGE SOTELO TO RECOMMEND APPROVAL OF THE COMPREHENSIVE PLAN AMENDMENT AND THE REZONING REQUEST. MOTION CARRIED UNANIMOUSLY WITH A VOTE OF 6-0.

- H. Hold Public Hearing and Consider the Comprehensive Plan Amendment from Suburban Uses to Auto Urban uses and the Rezoning Request from Suburban Residential (S) District to Auto Urban Residential (AU) District, being a 9.066 acre tract out Lot 5, Section 239, Texas-Mexican Railway Company's Survey, located at 1901 West Rogers Road, as requested by Melden & Hunt Inc.

MOTION WAS MADE BY COMMISSION MEMBER MR. RENE OLIVAREZ AND SECONDED BY COMMISSION MEMBER MR. JORGE SOTELO TO RECOMMEND APPROVAL OF THE COMPREHENSIVE PLAN AMENDMENT AND THE REZONING REQUEST. MOTION CARRIED UNANIMOUSLY WITH A VOTE OF 6-0.

- I. Hold Public Hearing and Consider the Comprehensive Plan Amendment from Suburban Uses to Auto Uses and the Rezoning Request from Suburban Residential (S) District to Auto Urban Residential (AU) District, being 7.34 acres out of Lot 5, Section 239, Texas-Mexican Railway Company's Survey, located at 1907 West Rogers Road, as requested by Melden & Hunt Inc.

MOTION WAS MADE BY COMMISSION MEMBER MR. VICTOR DANIEC AND SECONDED BY COMMISSION MEMBER MR. RENE OLIVAREZ TO RECOMMEND APPROVAL OF THE COMPREHENSIVE PLAN AMENDMENT AND THE REZONING REQUEST. MOTION CARRIED UNANIMOUSLY WITH A VOTE OF 6-0.

7. SUBDIVISIONS

- A. Consider the Preliminary Plat of Ranchitos On Seminary Subdivision, being a 14.768 acre tract consisting of Tracts 11 & 12 Whittenburg-Looney Subdivision, located at 6400 Seminary Road, as requested by Melden & Hunt Inc.

MOTION WAS MADE BY COMMISSION MEMBER MR. JORGE SOTELO AND SECONDED BY COMMISSION MEMBER VICTOR DANIEC TO APPROVE THE PRELIMINARY PLAT. MOTION CARRIED UNANIMOUSLY WITH A VOTE OF 6-0.

PLANNING & ZONING COMMISSION MEETING

SEPTEMBER 14, 2021

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- B. Consider the Preliminary Plat of Cantonside Ranches Subdivision, being a 23.55 acre tract out of Lot 10, Kelly-Pharr Subdivision, located at 1200 West Canton Road, as requested by Melden & Hunt Inc.

MOTION WAS MADE BY COMMISSION MEMBER MR. JORGE SOTELO AND SECONDED BY COMMISSION MEMBER MRS. RUBY CASAS TO APPROVE THE PRELIMINARY PLAT. MOTION CARRIED UNANIMOUSLY WITH A VOTE OF 6-0.

- C. Consider the Preliminary Plat of Victoria Heights Subdivision being a 1.47 acre tract being out Lot 10, Section 244, Texas-Mexican Railway Company's Survey, located at 300 East Rogers Road, as requested by Robles Engineering.

MOTION WAS MADE BY COMMISSION MEMBER MR. VICTOR DANIEC AND SECONDED BY COMMISSION MEMBER MR. JORGE SOTELO TO APPROVE THE PRELIMINARY PLAT. MOTION CARRIED UNANIMOUSLY WITH A VOTE OF 6-0.

- D. Consider the Preliminary Plat of The Hills at Canton Subdivision, being a 19.09 acre tract of land out of Lot 14, Kelly-Pharr Subdivision, located at 500 East Canton Road, as requested by Quintanilla, Headley, & Associates, Inc.

MOTION WAS MADE BY COMMISSION MEMBER JORGE SOTELO AND SECONDED BY COMMISSION MEMBER RENE OLIVAREZ TO APPROVE THE PRELIMINARY PLAT. MOTION CARRIED UNANIMOUSLY WITH A VOTE OF 6-0.

- E. Consider the Preliminary Plat of Texas Ranch Subdivision, being a 9.50 acre tract of land, more or less, out of Lot 9, Block 26, Alamo Land & Sugar Company Subdivision, located at 4900 East Texas Road, as requested by Trevino Engineering.

MOTION WAS MADE BY COMMISSION MEMBER MR. RENE OLIVAREZ AND SECONDED BY COMMISSION MEMBER MR. VICTOR DANIEC TO APPROVE THE PRELIMINARY PLAT. MOTION CARRIED UNANIMOUSLY WITH A VOTE OF 6-0.

- F. Consider the Preliminary Plat of West Palm Subdivision, being a 15.50 acre tract of land, more or less, out of Lots 37 & 38, Santa Cruz Gardens Unit No.1 Subdivision, located at 501 West Palm Drive, as requested by SAMES Engineering.

MOTION WAS MADE BY COMMISSION MEMBER MRS. RUBY CASAS AND SECONDED BY COMMISSION MEMBER MR. JORGE SOTELO TO APPROVE THE PRELIMINARY PLAT. MOTION CARRIED UNANIMOUSLY WITH A VOTE OF 6-0.

- G. Consider the Preliminary Plat of Wisconsin Water Subdivision, being a 12.00 acres of the East ½ of Lot 9, Section 278, Texas-Mexican Railway Company's Survey, located at 4700 East Wisconsin Road, as requested by MAS Engineering.

MOTION WAS MADE BY COMMISSION MEMBER MR. JORGE SOTELO AND SECONDED BY COMMISSION MEMBER MRS. RUBY CASAS TO APPROVE THE PRELIMINARY PLAT. MOTION CARRIED UNANIMOUSLY WITH A VOTE OF 6-0.

**PLANNING & ZONING COMMISSION MEETING
SEPTEMBER 14, 2021
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- H. Consider the Preliminary Plat of Crestwood Estates Subdivision, being the North 9.39 acres of land out of the North 19.39 acres of Lot 8, Section 244, Texas-Mexican Railway Company's Survey, located at 3117 North Rogers Road, as requested by MDC Engineering, PLLC.

MOTION WAS MADE BY COMMISSION MEMBER MR. JORGE GONZALEZ AND SECONDED BY COMMISSION MEMBER MR. JORGE SOTELO TO APPROVE THE PRELIMINARY PLAT. MOTION CARRIED UNANIMOUSLY WITH A VOTE OF 6-0.

8. SUBDIVISION (VARIANCES)

- A. Consider Variance Request to the City's Unified Development Code (UDC), Division 7.100 Purpose and Applicability, being a 0.951 acre tract out of Lot 12, Section 268 Texas-Mexican Railway Company's Survey and located at 1006 South Raul Longoria Road, as requested by Efren Tijerina.

MOTION WAS MADE BY VICE CHAIRPERSON MR. HIREN GOVIND AND SECONDED BY COMMISSION MEMBER MR. JORGE SOTELO TO APPROVE THE VARIANCE REQUEST NUMBER ONE AND TWO. MOTION CARRIED UNANIMOUSLY WITH A VOTE OF 6-0.

- B. Consider Variance Request to the City's Unified Development Code (UDC), Section 8.204 Street Standards, Azaleas Estates Subdivision, being a 30 acre tract consisting of all Lots 20, 21, and 22, Caledonian Estates Subdivision, located at 3701 East Curve Road, as requested by Salinas Engineering & Associates.

MOTION WAS MADE BY VICE CHAIRPERSON MR. HIREN GOVIND AND SECONDED BY COMMISSION MEMBER MR. RENE OLIVAREZ TO TABLE THE ITEM AT THE APPLICANT'S REQUEST. MOTION CARRIED UNANIMOUSLY WITH A VOTE OF 6-0.

9. CONSENT AGENDA

- A. Consider the Final Plat of Santa Cruz Section I Phase IV – 2 Subdivision, being a resubdivision of 8.783 acres out of Lot 1, La Sienna Development, located at 3901 South Santa Cruz Street, as requested by Melden & Hunt Inc.
- B. Consider the Final Plat of Sonador Coves Phase II Subdivision, being a 11.564 acre tract of land out of Lot 3, Section 246, Texas-Mexican Railway Company's Survey, located at 2000 North I-69C, as requested by Melden & Hunt Inc.
- C. Consider the Final Plat of Pearl Estates Subdivision, being a 10.00 acre tract of land out Lot 7, Section 239, Texas-Mexican Railway Company's Survey Subdivision, located at 1101 West Rogers Road, as requested by HLG Plan Review Services.

MOTION WAS MADE BY COMMISSION MEMBER MR. JORGE SOTELO AND SECONDED BY COMMISSION MEMBER MRS. RUBY CASAS TO APPROVE THE CONSENT AGENDA ITEMS 9A-9C. MOTION CARRIED UNANIMOUSLY WITH A VOTE OF 7-0.

10. ADJOURNMENT

There being no further information to consider, the meeting was adjourned at 6:37 P.M.

Alejandra Gonzalez

Alejandra Gonzalez, Administrative Assistant
Planning & Zoning Department



CITY OF EDINBURG
Planning & Zoning Commission

Regular Meeting

Meeting Date:

October 12, 2021

Rezoning Request

AGENDA ITEM 6A:

Consider the Comprehensive Plan Amendment from Auto Urban Uses to General Commercial Uses and the Rezoning Request from Neighborhood Conservation 7.1 (NC7.1) District to Commercial General (CG) District, being all of Lot 2, Block 1, Enfield Estates Subdivision, located at 105 Austin Boulevard, as requested by Enrique Omar Maldonado [Planning & Zoning – Kimberly Mendoza, Director of Planning & Zoning]

DESCRIPTION / SCOPE:

The property is located at the north side of Austin Boulevard, approximately 100 ft. west of South Tourist Drive and is currently vacant. The tract has 70 ft. of frontage along Austin Boulevard and 170 ft. of depth for a tract size of 11,900 sq. ft. The requested zoning designation allows for commercial uses on the subject property. The applicant is requesting the change of zone to accommodate a parking area that is part of a planned expansion to the Cubby Hole Bar & Grill.

The property is currently zoned Neighborhood Conservation 7.1 (NC7.1) District. Adjacent zoning is Commercial General (CG) District to the north and east, Neighborhood Conservation 5 (NC5) District to the south, and Neighborhood Conservation 7.1 (NC7.1) District to the west. The surrounding land uses consist of single-family residential and commercial uses. The future land use designation is Auto Urban.

Staff mailed a notice of the public hearing before to 36 neighboring property owners and received one comment in favor and none against this request as of today.

BACKGROUND / HISTORY

The rezoning application and proposed site plan were received by the City on September 3, 2021. The site plan shows a proposed expansion to the parking and outdoor seating area of the Cubby Hole Bar & Grill. The expansion includes a portion of the commercial property to the north and the residential lot to the west, which was recently purchased by the applicant. Rezoning is needed for the applicant to proceed with the planned development.

ESTIMATED TIMELINE:

The recommendation of approval or denial of this public hearing is scheduled for consideration by the City Council on November 16, 2021. City Council's decision is the final step in the zoning process for this property. If denied the applicant may not request the proposed zoning classification for a 12 month period from the date of denial.

STAFF RECOMMENDATION:

Staff recommends disapproval of the Rezoning Request from Neighborhood Conservation 7.1 (NC7.1) District to Commercial General (CG) District. However, staff recommends approval of rezoning to Commercial Neighborhood (CN) District which would allow for the proposed development but limit future uses on this lot. However if approved, the applicant will need to provide a bufferyard between the proposed development and existing single-family residences. Furthermore, the applicant will need to comply with all requirements during the permitting process including compliance with subdivision regulations, building and fire codes, fire protection, parking, landscape buffer-yards, solid waste services, utility, and any other City requirements, as applicable.

JUSTIFICATION:

Staff recommendation is based on the proposed lot being part of an existing single-family residential subdivision. The recommended zone is intended to protect the integrity of the subdivision.

D. Austin Colina
Planner I

Kimberly A. Mendoza, MPA
Director of Planning & Zoning

MEETING DATES:
PLANNING & ZONING COMMISSION – 10/12/2021
CITY COUNCIL – 11/16/2021
DATE PREPARED – 10/05/2021

STAFF REPORT
GENERAL INFORMATION

APPLICATION: Rezoning Request from Neighborhood Conservation 7.1 (NC 7.1) Commercial General (CG) District

APPLICANT: Enrique Omar Maldonado

AGENT: N/A

LEGAL: Lot 2, Block 1, Enfield Estates Subdivision

LOCATION: Located at 105 Austin Boulevard

LOT/TRACT SIZE: 11,900 square ft.

CURRENT USE: Vacant single-family residential lot

PROPOSED USE: Commercial property parking

EXISTING ZONING: Neighborhood Conservation 7.1 (NC 7.1) District

ADJACENT ZONING: North – Commercial General (CG) District
South – Neighborhood Conservation 5 (NC5) District
East – Commercial General (CG) District
West – Neighborhood Conservation 7.1 (NC 7.1) District

LAND USE PLAN: Auto Urban Uses

PUBLIC SERVICES: City of Edinburg Water & Sewer

RECOMMENDATION: Staff recommends disapproval of the Rezoning Request from Neighborhood Conservation 7.1 (NC 7.1) District to Commercial General (CG) District

REZONING REQUEST
ENRIQUE OMAR MALDONADO
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EVALUATION

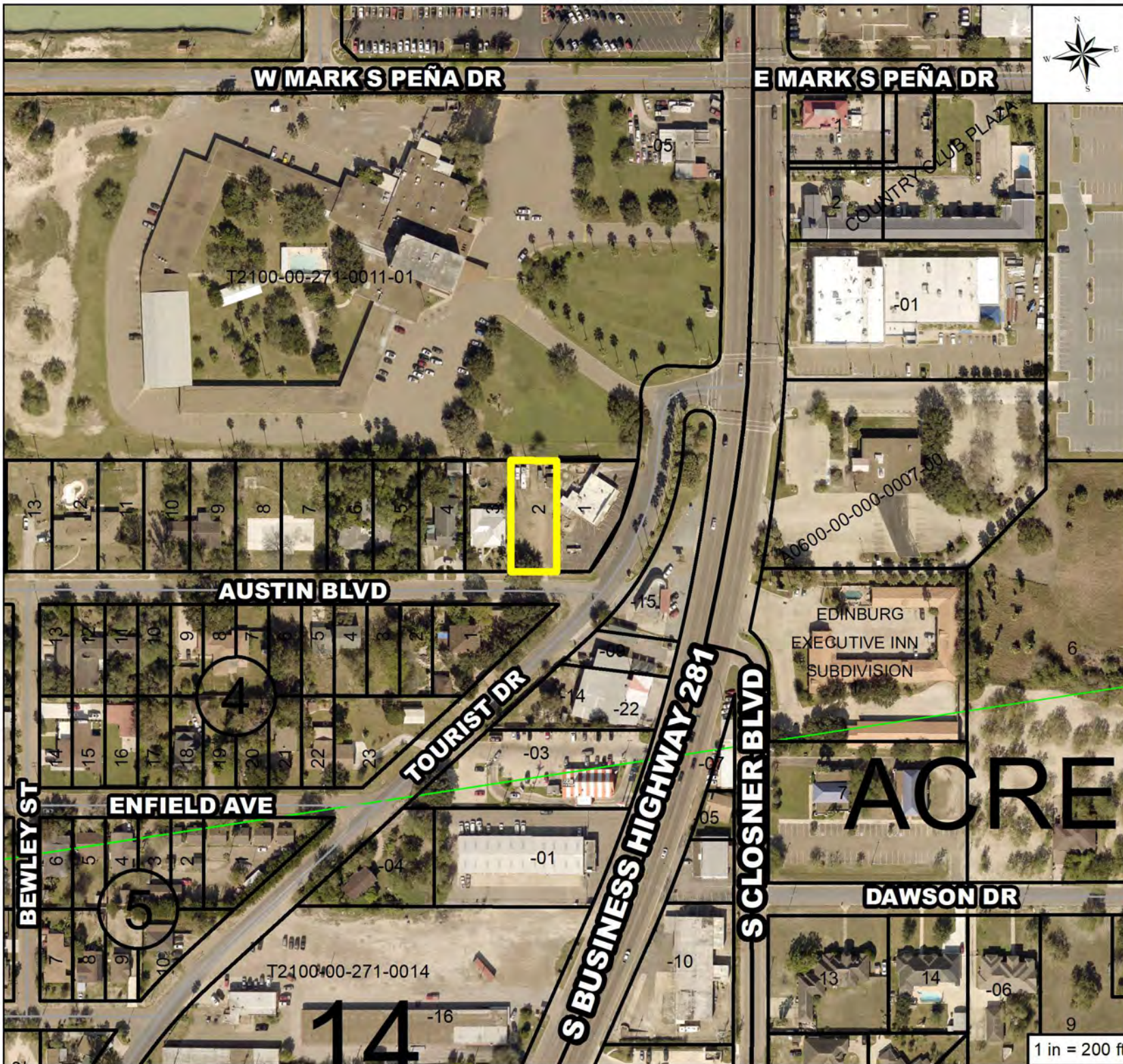
The following is staff's evaluation of the request.

1. The land use pattern for this area of the community consists of single family & commercial uses.
2. The applicant is requesting the change of zone to expand the parking area of an existing restaurant (bar and grill).

Staff recommends disapproval of the Rezoning Request from Neighborhood Conservation 7.1 (NC7.1) District to Commercial General (CG) District, based on the proposed lot being part of an existing single-family residential subdivision. The requested zoning is inconsistent with uses and character of Austin Boulevard. The more limited characteristics of the Commercial Neighborhood (CN) District which would allow for the proposed development but limit future uses on this lot and is recommended by staff. If approved, the applicant will need to comply with all requirements during the permitting process including bufferyards, compliance with subdivision regulations, building and fire codes, fire protection, parking, landscape buffer-yards, solid waste services, utility, and any other City requirements, as applicable.

Staff mailed a notice of the public hearing before to 36 neighboring property owners and received one comment in favor and none against this request at the time of the report.

ATTACHMENTS: Aerial Photo
Map
Future Land Use Map
Photo of site
Exhibits



AERIAL MAP



CASE CAPTION:

APPLICANT NAME:

ENRIQUE OMAR MALDONADO

CONSIDER THE COMPREHENSIVE PLAN AMENDMENT FROM AUTO URBAN USES GENERAL COMMERCIAL USES AND THE REZONING REQUEST FROM NEIGHBORHOOD CONSERVATION 7.1 (NC7.1) DISTRICT TO COMMERCIAL GENERAL (CG) DISTRICT, BEING LOT 2, BLOCK 1, ENFIELD ESTATES SUBDIVISION, LOCATED AT 105 AUSTIN BOULEVARD, AS REQUESTED BY ENRIQUE OMAR MALDONADO.

Legend

-  CITY LIMITS
-  APPLICANT SITE

SITE LOCATION MAP



1 in = 200 ft

W MARK S PEÑA DR

E MARK S PEÑA DR



ZONING MAP

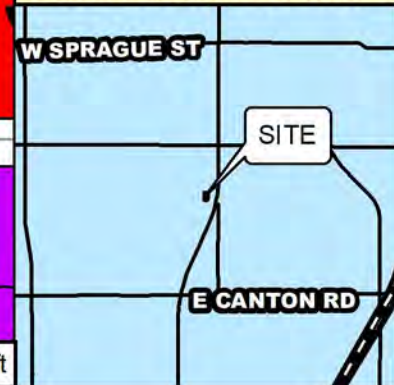
CASE CAPTION:

APPLICANT NAME:
ENRIQUE OMAR MALDONADO

Legend

- CITY LIMITS
- APPLICANT SITE
- ZONING DISTRICTS**
 - AGRICULTURE
 - AUTO-URBAN RESIDENTIAL
 - COMMERCIAL, GENERAL
 - COMMERCIAL, NEIGHBORHOOD
 - DOWNTOWN DISTRICT
 - INDUSTRIAL
 - NEIGHBORHOOD CONSERVATION 5
 - NEIGHBORHOOD CONSERVATION 7.1
 - NEIGHBORHOOD CONSERVATION MH
 - SUBURBAN RESIDENTIAL
 - URBAN RESIDENTIAL
 - URBAN UNIVERSITY

SITE LOCATION MAP



T2100-00-271-0011-01

1
2
3
COUNTRY CLUB PLAZA

-01

A0600-00-000-0007-00

EDINBURG
EXECUTIVE INN
SUBDIVISION
1

7
ACRE

DAWSON DR

AUSTIN BLVD

TOURIST DR

S BUSINESS HIGHWAY 281

SCLOSSER BLVD

14

1 in = 200 ft

4

ENFIELD AVE

5

BEWLEY ST

W MARK SPENA DR

E MARK SPENA DR



FUTURE LANDUSE MAP

CASE CAPTION:

APPLICANT NAME:
ENRIQUE OMAR MALDONADO

Legend

- CITY LIMITS
- APPLICANT SITE
- FUTURE LANDUSE**
 - Agriculture
 - Auto-Urban
 - Downtown District
 - General Commercial
 - Industrial
 - Mobile Home
 - Neighborhood Commercial
 - Office Business Park
 - Suburban
 - Urban
 - Urban University

SITE LOCATION MAP



T2100-00-271-0011-01

1
2
3
COUNTRY CLUB PLAZA

-01

A0600-00-000-0007-00

EDINBURG
EXECUTIVE INN
SUBDIVISION
1

7
ACRE

DAWSON DR

AUSTIN BLVD

TOURIST DR

S BUSINESS HIGHWAY 281

SCLOSSNER BLVD

BEWLEY ST

ENFIELD AVE

4

5

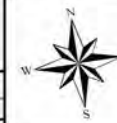
T2100-00-271-0014

14

1 in = 200 ft

W MARK S PEÑA DR

E MARK S PEÑA DR



MAILOUT AND SITE MAP

CASE CAPTION:

APPLICANT NAME:
ENRIQUE OMAR MALDONADO

CONSIDER THE COMPREHENSIVE PLAN AMENDMENT FROM AUTO URBAN USES GENERAL COMMERCIAL USES AND THE REZONING REQUEST FROM NEIGHBORHOOD CONSERVATION 7.1 (NC7.1) DISTRICT TO COMMERCIAL GENERAL (CG) DISTRICT, BEING LOT 2, BLOCK 1, ENFIELD ESTATES SUBDIVISION, LOCATED AT 105 AUSTIN BOULEVARD, AS REQUESTED BY ENRIQUE OMAR MALDONADO.

Legend

- CITY LIMITS
- 300FT NOTIFICATION
- APPLICANT SITE

SITE LOCATION MAP



T2100-00-271-0011-01

AUSTIN BLVD

4

ENFIELD AVE

5

T2100-00-271-0014

14

TOURIST DR

S BUSINESS HIGHWAY 281

SCLOSSNER BLVD

A0600-00-000-0007-00

EDINBURG
EXECUTIVE INN
SUBDIVISION
1

7 ACRE

DAWSON DR

1 in = 200 ft

V. 4 p. 27

V. 4 P. 27

150' Canal.



A. F. Buchanan, Jr. of Hidalgo County, Texas hereby dedicates for Public use the streets and roadways as shown on this map or Plat, Designated "EMFIELD ESTATES" A subdivision of parts of Lots 15 and 14, Section 271, Tex-Mex. Railway Survey, in Hidalgo County, Texas, with the expressed reservation to himself his successors and assigns of the right to use and occupy said street and easements for purposes of constructing and operating a gas pipeline, lines and lines of wire for the distribution, and sale of water, heat, light and power. Witness my hand this 11th day of March A.D. 1927.

A. F. Buchanan
OWNER.

Before me the undersigned authority on
This day personally appeared A. F. Buchanan, Jr. known to me
to be the person whose name is subscribed to the foregoing
instrument and acknowledged to me that he executed the
same for the purposes and considerations therein expressed.
Given under my hand and seal of office this 11th day
of MARCH A. D. 1927

C. H. Horton
Notary Public, Hidalgo County, Texas.

I, H.E. Wilcox Civil Engineer and Surveyor
do hereby certify that the foregoing map or plat is a
true and correct map or plat and a true representation
of the survey of "Entitled Estates," as caused to be
surveyed by me during December 1926 and January
1927.

STATE OF TEXAS
COUNTY OF HIDALGO
11th day of March A.D. 1927

Notary Public Hidalgo County, Texas

V. 4 P. 27

3.30 P. M.

E. J. Rupp

TEXAS
MAP
1927
7 330 P
P MAP
March 11th
March 11th
March 7 430
A 27
G.M.E. Hill



Planning & Zoning Department
415 W. University Dr.
(956) 388-8202

ZONE CHANGE APPLICATION

1. Name: Enrique Omar Maldonado Phone No. 956-212-6040

2. Mailing Address: 1911 Mesa Dr.

City: Edinburg State: Texas Zip 78539

Email Address: eomarmaldonado@gmail.com Cell No. _____

3. Agent: _____ Phone No. _____

4. Agent's Mailing Address: _____

City: _____ State: _____ Zip _____

5. Email Address: _____

6. Address/Location being Rezoned: 105 Austin Boulevard

7. Legal Description of Property: Enfield Estates Lot 2 Blk 1

8. Zone Change: From: Residential To: Commercial

9. Present Land Use: Vacant Lot

10. Reason for Zone Change: Parking lot + outdoor seating for adjacent property

Enrique Omar Maldonado
(Please Print Name)

[Signature]
Signature

AMOUNT PAID \$ 400⁰⁰

RECEIPT NUMBER _____

PUBLIC HEARING DATE (PLANNING & ZONING COMMISSION) – 4:00 P.M.: _____

PUBLIC HEARING DATE (CITY COUNCIL) – 6:00 P.M.: _____

(NOTE: BOTH MEETINGS ARE HELD AT THE CITY COUNCIL CHAMBERS)

RECEIVED

SEP 03 2021

Name: [Signature] 3:09pm



From: ["Pena, Michelle" via Planning and Zoning](#)
To: ["planning@cityofedinburg.com"](mailto:planning@cityofedinburg.com)
Subject: zoning request: lot 2, block 1, Enfield Estates Subdivision, 105 Austin Boulevard, requested by Omar Maldonado
Date: Sunday, October 3, 2021 9:39:26 PM
Attachments: [image001.png](#)
[image002.png](#)

I'm in favor of the zoning request and look forward to the added value to the neighborhood and community with Mr. Maldonado's establishment and investment.
Thank you,

Michelle Pena

HR Resource, Borderstone
mpena@ensignservices.net

956-540-3628 (cell)



Walk to Defeat ALS
October 30, 2021
9am-11am
Team Marky Sparky
<http://web.alsa.org/goto/MarkySparky>

E-MAIL CONFIDENTIALITY NOTICE: The contents of this e-mail message and any attachments are intended solely for the addressee(s) and may contain confidential and/or legally privileged information. If you are not the intended recipient of this message or if this message has been addressed to you in error, please immediately alert the sender by reply e-mail and then delete this message and any attachments. If you are not the intended recipient, you are notified that any use, dissemination, distribution, copying, or storage of this message or any attachment is strictly prohibited.



CITY OF EDINBURG
Planning & Zoning Commission

Regular Meeting

Meeting Date:
10/12/2021

Special Use Permit

AGENDA ITEM:

Hold Public Hearing and Consider the Special Use Permit for a Licensed Child Care Home, being Lot 2, Las Villas at Autumn Ridge Subdivision, located at 3511 Monette Street, as requested by Yadira P. Castillas Leonel [Planning & Zoning – Kimberly Mendoza, Director of Planning & Zoning]

DESCRIPTION / SCOPE:

The property is located on the west side of Monette Street, approximately 85 ft. south of West Wisconsin Road and currently has a home on the property. The tract has 50 ft. of frontage along Monette Street and a depth of 110.32 ft. for a tract size of 5,516 sq. ft. The approval of the Special Use Permit will allow for a Licensed Child Care Home.

A Licensed Child Care Home is defined as the primary caregiver that provides regular care in the caregiver's own home for not more than six (6) children from birth through thirteen (13) years of age plus six (6) additional school-aged children before and after the customary school day. The total number of children in care at any given time, including the children related to the caregiver, must not exceed twelve (12). The proposed days and hours of operation are from Monday thru Friday from 7:00 A.M. to 6:00 P.M.

The property is currently zoned Neighborhood Conservation 5 (NC 5) District. The surrounding zoning in the area is Neighborhood Conservation 7.1 (NC 7.1) District to the north, Neighborhood Conservation 5 (NC 5) District to the south and east and Commercial General (CG) District to the west. The surrounding area consists of residential and commercial uses.

Staff mailed a notice of the public hearing before the Planning & Zoning Commission to thirty-seven (37) neighboring property owners and received no comments in favor and one against this request at the time of the report.

ESTIMATED TIMELINE:

The recommendation of approval or denial of this public hearing is scheduled for consideration by the City Council on November 16, 2021. City Council's decision is the final step in the special use permit process. Renewals shall be reviewed as original applications for the first year after the original approval. Application for renewal shall be made thirty (30) days before permit expires on **November 16, 2021**. A fifty dollar (\$50.00) fee is required for renewal.

STAFF RECOMMENDATION:

Staff recommends approval of the Special Use Permit for a Licensed Child Care Home, being Lot 2, Las Villas at Autumn Ridge Subdivision, located at 3511 Monette Street. If approved, the applicant will need to comply with all requirements during the permitting process including compliance with subdivision regulations, building and fire codes, fire protection, parking, landscape buffer-yards, solid waste services, utility, and any other City requirements, as applicable.

JUSTIFICATION:

The applicant is requesting the Special Use Permit to allow for a Licensed Child Care Home.

Nikki Marie Cavazos

Planner I

Kimberly A. Mendoza, MPA

Director of Planning & Zoning

MEETING DATES:
PLANNING & ZONING COMMISSION – 10/12/2021
CITY COUNCIL – 11/16/2020
DATE PREPARED – 10/06/2021

STAFF REPORT
GENERAL INFORMATION

<u>APPLICATION:</u>	Special Use Permit for a Licensed Child Care Home
<u>APPLICANT:</u>	Yadira P. Casillas Leonel
<u>AGENT:</u>	N/A
<u>LEGAL:</u>	Being Lot 2, Las Villas at Autumn Ridge
<u>LOCATION:</u>	Located at 3511 Monette Street
<u>LOT/TRACT SIZE:</u>	5516 square feet
<u>CURRENT USE OF PROPERTY:</u>	Residential / Licensed Child Care Home
<u>PROPOSED USE OF PROPERTY:</u>	Licensed Child Care Home
<u>EXISTING LAND USE</u>	Urban Uses
<u>ADJACENT ZONING:</u>	North - Neighborhood Conservation 7.1 (NC 7.1) District South - Neighborhood Conservation 5 (NC 5) District East - Neighborhood Conservation 5 (NC 5) District West - Commercial General (CG) District
<u>LAND USE PLAN DESIGNATION:</u>	Auto-Urban Uses
<u>PUBLIC SERVICES:</u>	City of Edinburg Water and Sewer
<u>RECOMMENDATION:</u>	Staff recommends approval of the Special Use Permit for a Licensed Child Care Home. A comprehensive evaluation is on the following page (s).

EVALUATION

The following is the staff's evaluation of this application:

A Licensed Child Care Home is defined as the primary caregiver that provides regular care in the caregiver's own home for not more than six (6) children from birth through thirteen (13) years. Child day care can be provided for six (6) additional school-aged children before and after the customary school day. The total number of children in care at any given time, including the children related to the caregiver, must not exceed twelve (12). The proposed days and hours of operation are from Mondays thru Fridays from 7:00 A.M. to 6:00 P.M.

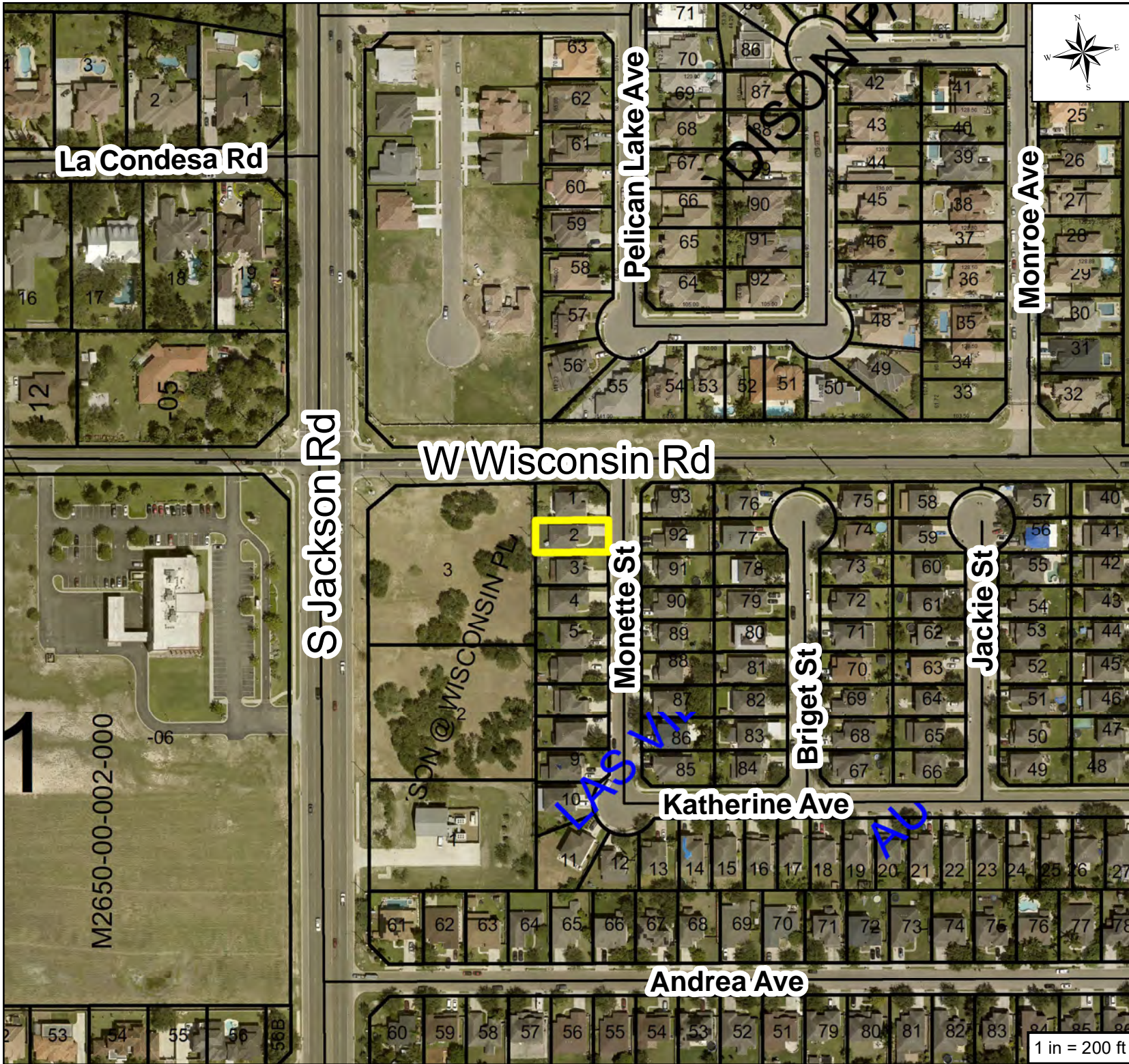
Each permit is reviewed on a case by case basis and neighborhood input is a vital component in the final outcome of an application for a child care facility in the community. The City does not enforce deed restrictions; the applicant was advised to check for any restrictions to ensure that the proposed use is not in conflict with them.

Staff is recommending approval of the Special Use Permit. If approved, staff recommends the following conditions for the proposed Licensed Child Care Home as stated in Unified Development Code (UDC) Section 2.413 and Section 12.301.A. of the Unified Development Code:

1. Fire and health inspections are undertaken. Facility shall be in compliance with local fire, health codes, and applicable state requirements including a residential fire suppression system.
2. The Licensed Child Care Home shall be clearly secondary to the residential use. This means the person must live at this residence on site.
3. No more than 1 non-related person who does not reside on the premises shall be employed.
4. A sign advertising the service shall be limited to one sign. It shall not exceed four (4) square feet in size. **Lighted and portable signs shall be prohibited at this location.**
5. The proposed use shall meet the requirements of the Texas Department of Human Services, Child Care Licensing Division.
6. The structure must comply with the City's building and fire codes before it is allowed to operate as a Licensed Child Care Home. The structure will need to be inspected to determine if any modifications are needed prior to being used for a Registered Child Care Home.
7. The outdoor play areas are enclosed by a fence that is at least six (6) feet in height.
8. The applicant provides two (2) additional parking spaces for applicant's vehicles.
9. Renewals shall be reviewed as original applications for the first year after the original approval. Application for renewal shall be made thirty (30) days before permit expires on **September 1, 2022.** A fifty dollar (\$50.00) fee is required for renewal.

Staff mailed a notice of the public hearing before the Planning & Zoning Commission to thirty-seven (37) neighboring property owners and received no comment in favor and one against this request at the time of this report.

ATTACHMENTS: Aerial Map
Zoning Map
Mailout and Site Map
Application
Applicant Letter
Floor Plan
Notification Response
Site Picture



AERIAL MAP



CASE CAPTION:

APPLICANT NAME:

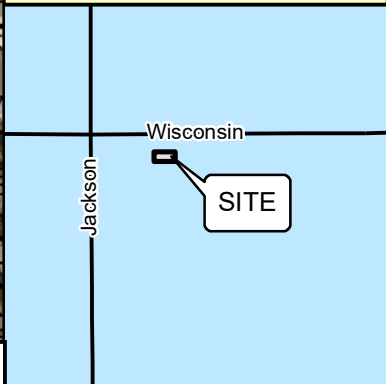
YADIRA CASILLAS LEONEL

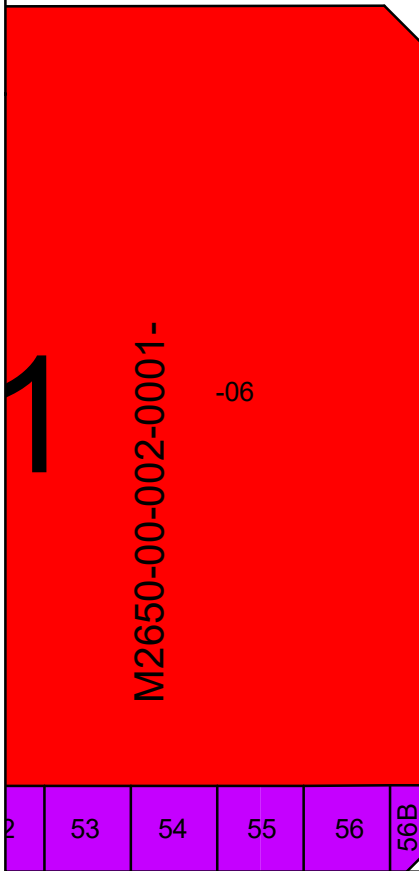
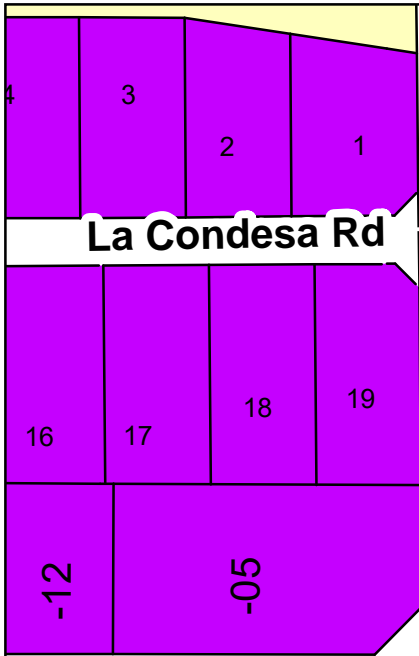
CONSIDER THE SPECIAL USE PERMIT FOR A LICENSED CHILD CARE HOME, BEING LOT 2, LAS VILLAS AT AUTUMN RIDGE SUBDIVISION, LOCATED AT 3511 MONETTE STREET, AS REQUESTED BY YADIRA P. CASTILLAS LEONEL

Legend

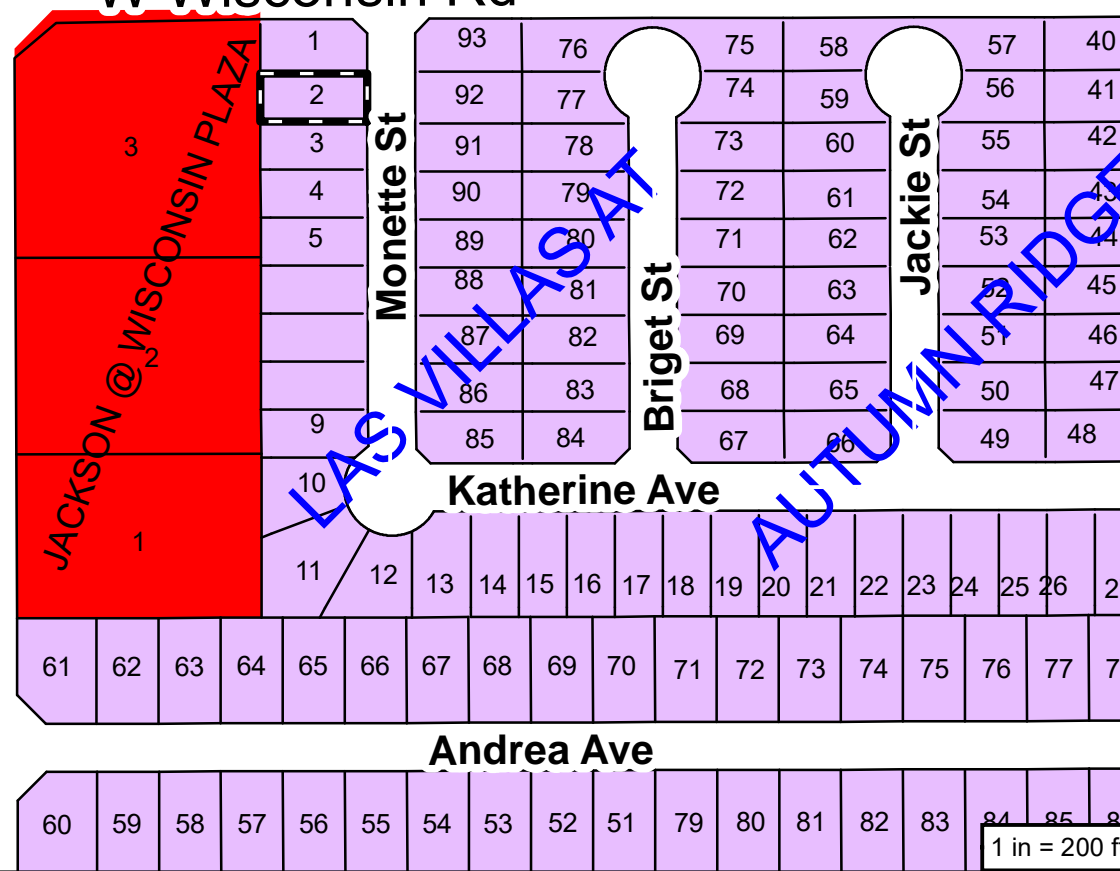
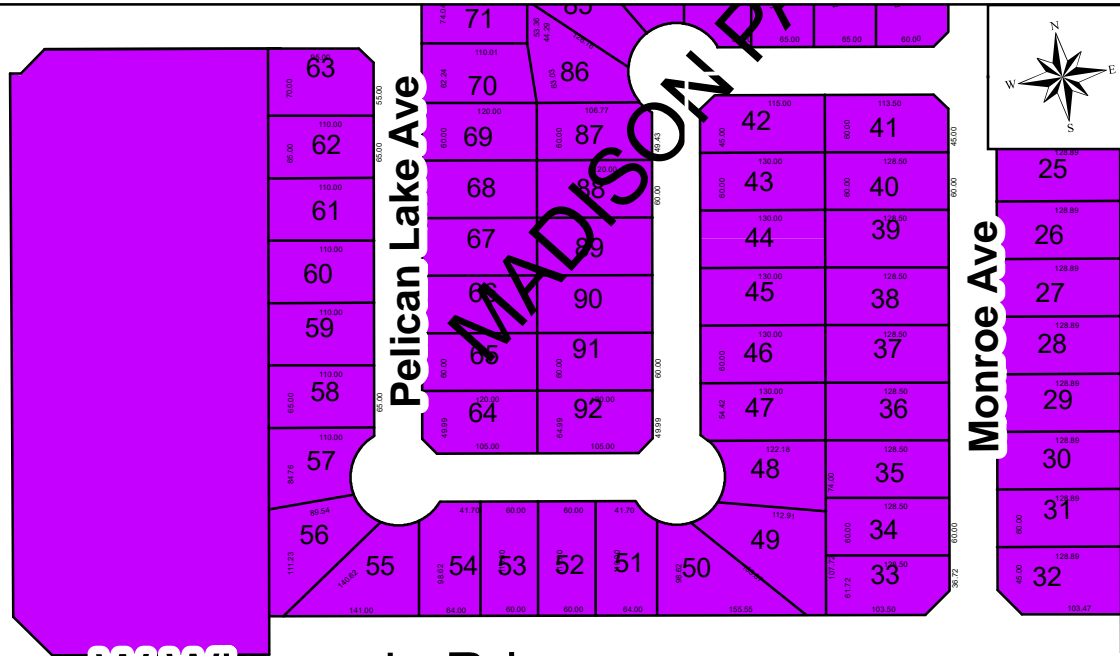
-  CITY LIMITS
-  SUBDIVISION SITE

SITE LOCATION MAP





S Jackson Rd



ZONING MAP

CASE CAPTION:

APPLICANT NAME:

YADIRA CASILLAS LEONEL

Legend

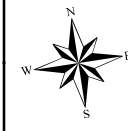
- CITY LIMITS
- APPLICANT SITE
- ZONING DISTRICTS**
 - AGRICULTURE
 - AUTO-URBAN RESIDENTIAL
 - COMMERCIAL, GENERAL
 - COMMERCIAL, NEIGHBORHOOD
 - DOWNTOWN DISTRICT
 - INDUSTRIAL
 - NEIGHBORHOOD CONSERVATION 5
 - NEIGHBORHOOD CONSERVATION 7.1
 - NEIGHBORHOOD CONSERVATION MH
 - SUBURBAN RESIDENTIAL
 - URBAN RESIDENTIAL
 - URBAN UNIVERSITY

SITE LOCATION MAP

Wisconsin

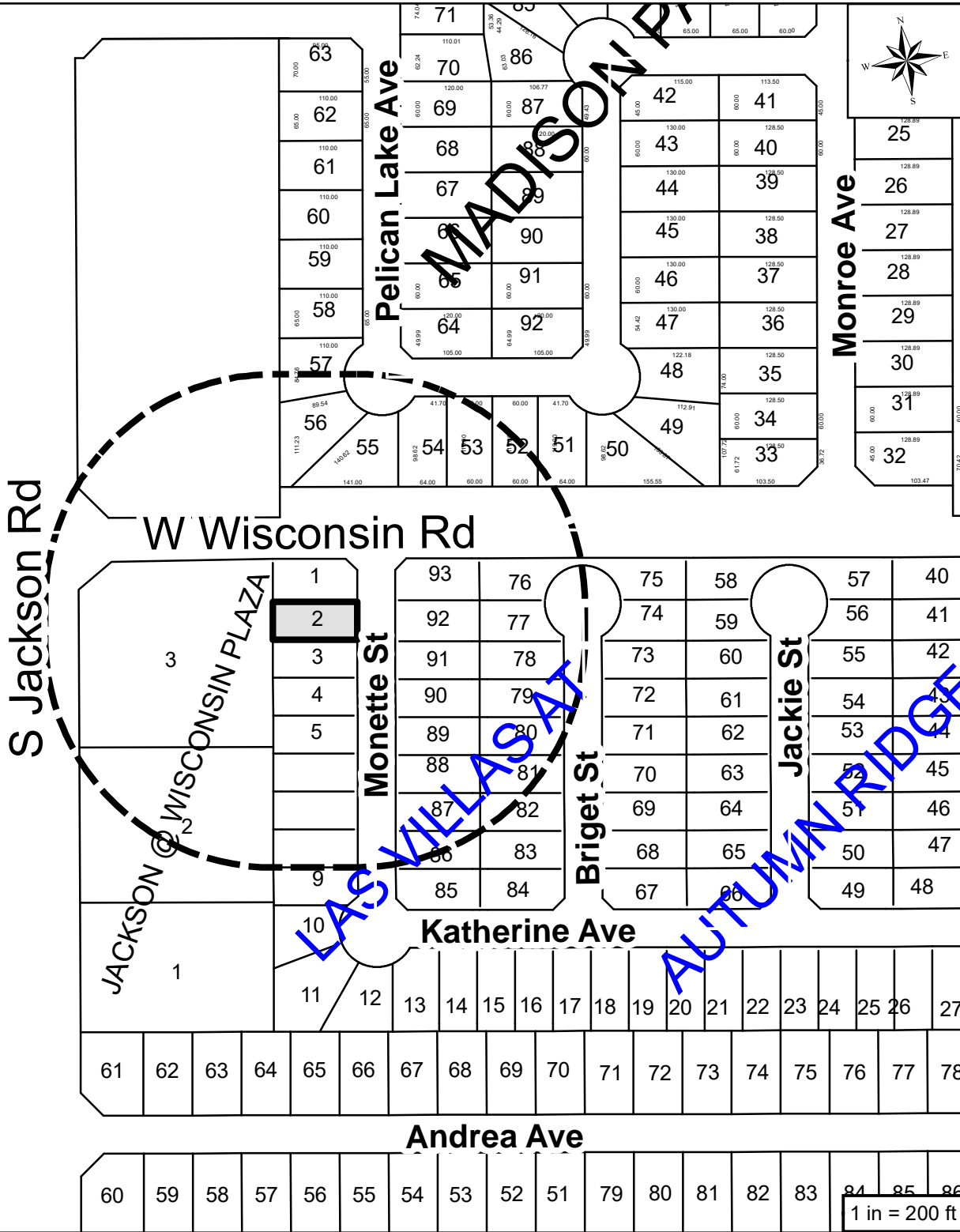
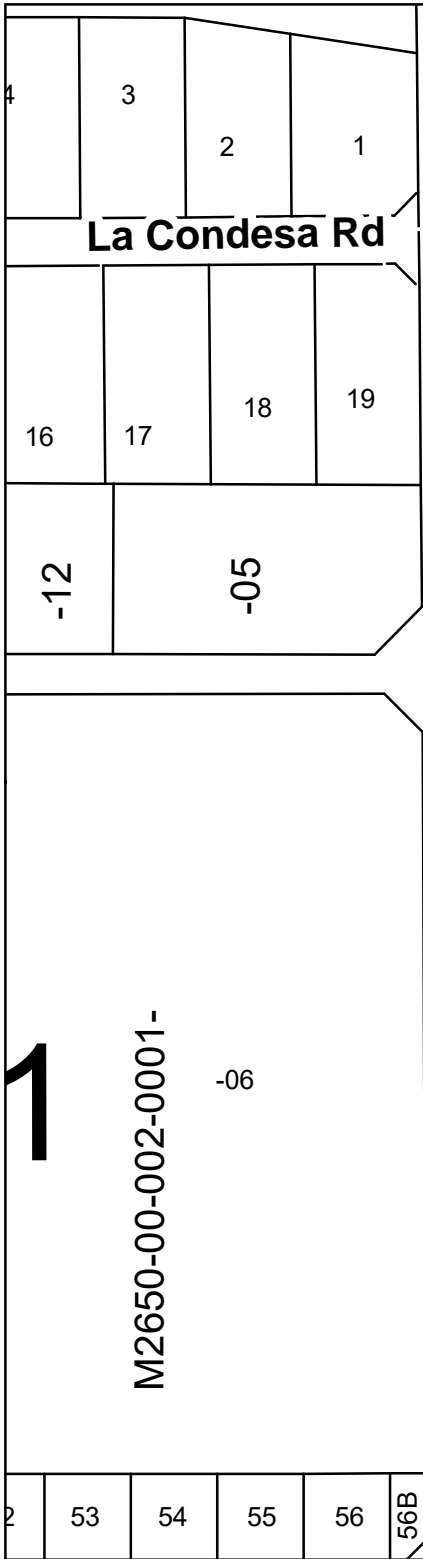
Jackson

SITE



Monroe Ave

1 in = 200 ft



MAILOUT AND SITE MAP

CASE CAPTION:

APPLICANT NAME:

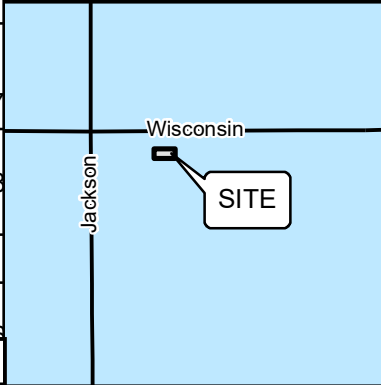
YADIRA CASILLAS LEONEL

CONSIDER THE SPECIAL USE PERMIT FOR A LICENSED CHILD CARE HOME, BEING LOT 2, LAS VILLAS AT AUTUMN RIDGE SUBDIVISION, LOCATED AT 3511 MONETTE STREET, AS REQUESTED BY YADIRA P. CASTILLAS LEONEL

Legend

- CITY LIMITS
- 300FT NOTIFICATION
- APPLICANT SITE

SITE LOCATION MAP



1 in = 200 ft



Special Use Permit Application Day Care (Child Care Homes)

APPLICATION TYPE: Registered Child Care Homes

1. APPLICANT INFORMATION (PLEASE PRINT)

Date: September 13, 2021

Yadira P. Casillas Leonel

(956) 651-2389

Applicant's Name

Phone No:

3511 Monette Street

Edinburg

Texas

78539

Mailing Address

City

State

Zip

yadira.casillas82@hotmail.com

Email Address

IF APPLICANT IS DIFFERENT THAN OWNER, ATTACH LETTER OF AUTHORIZATION FROM OWNER.

Property Owner's Name

Phone No:

Mailing Address

City

State

Zip

Email Address

2. PROPERTY INFORMATION (PLEASE PRINT)

Property Address/Location: 3511 Monette Street, Edinburg, Texas 78539

Legal Description: Lot(s) 2 Block N/A Subdivision Las Villas at Autumn Ridge

Zoning: NC - Neighborhood Conservation

7:00 AM to 6:00 PM

2

4

PROPOSED DAYS & HOURS OF OPERATION

No. OF VEHICLES OWNED BY RESIDENTS

No. OF PARKING SPACES AVAILABLE

3. ATTEST

AS OWNER/AGENTS FOR THE ABOVE DESCRIBED PROPERTY, I/WE, HEREBY REQUEST A HEARING BEFORE THE PLANNING AND ZONING COMMISSION.

APPLICANT'S SIGNATURE

September 13, 2021

DATE

DEADLINE: September 13, 2021

RECEIPT NO.:

RECEIVED BY:

PUBLIC HEARING DATE (PLANNING & ZONING COMMISSION) - 4:00 PM: October 12, 2021

RECEIVED

PUBLIC HEARING DATE (CITY COUNCIL) - 6:00 PM: November 2, 2021

SEP 13 2021

(NOTE: BOTH MEETINGS ARE HELD AT THE EDINBURG CITY COUNCIL CHAMBERS)

Name: [Signature]

3:10

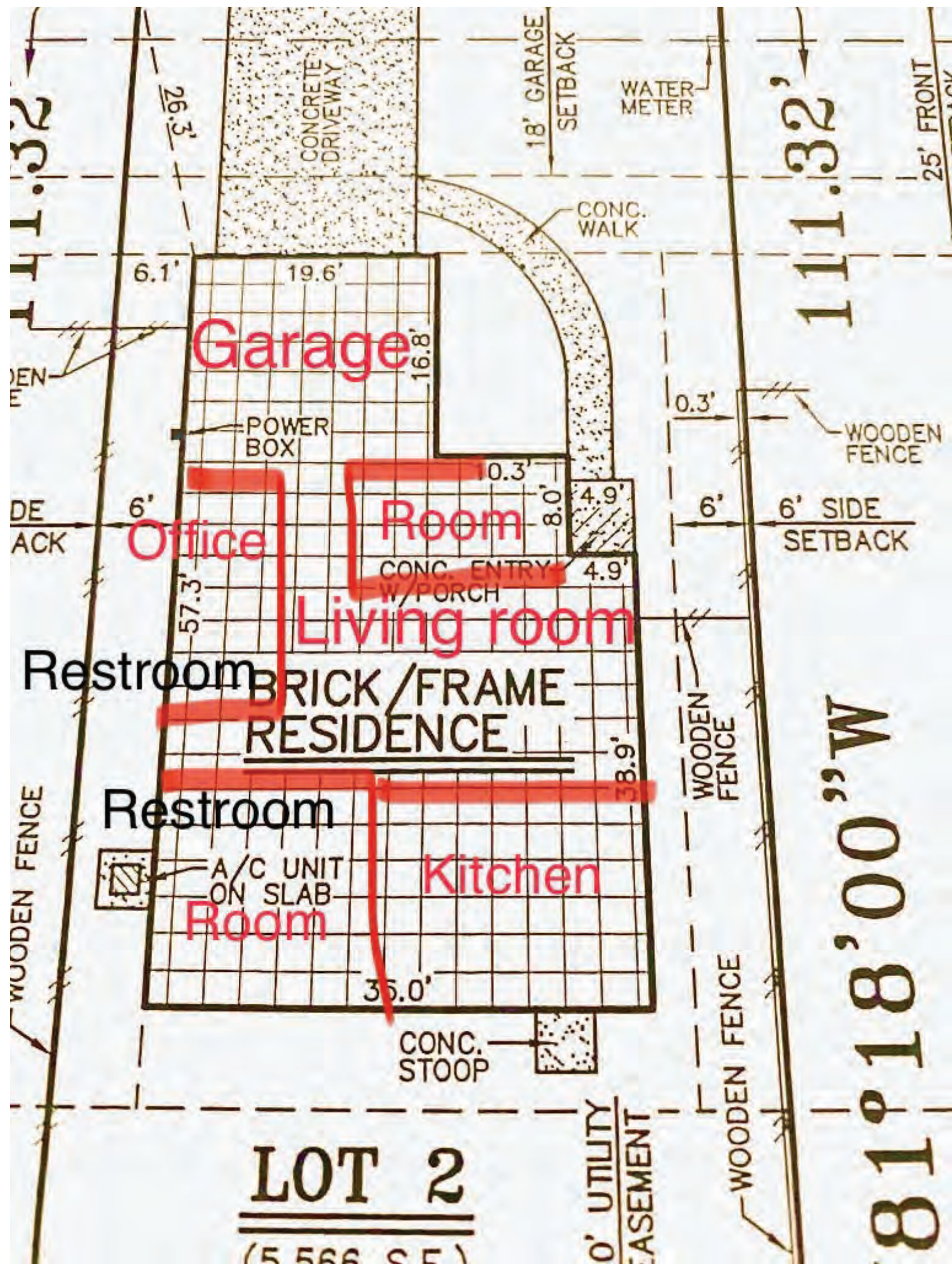
From: yadira.casillas
To: ncavazos@cityofedinburg.com
Subject: Foto de propiedad - 3511 Monette St.
Date: Wednesday, September 22, 2021 5:36:11 PM

Hola buenas tardes, no encontramos un plano con las especificaciones así que con el que teníamos pusimos las especificaciones.

La dirección es:
3511 Monette St.
Edinburg, TX 78539

Es una casa de ladrillo, piso de azulejo en toda la construcción, 3 habitaciones, cochera para dos vehículos, dos baños completos, una habitación puede servir como oficina, el patio esta libre, tiene césped alrededor de toda la casa, sin árboles ni obstrucciones.

Cualquier pregunta o duda, por favor, hágamelo saber.
Gracias



THE CITY OF Edinburg

NOTIFICATION

Dear Property Owner:

A public hearing will be held on Tuesday, October 12, 2021, at 4:00 p.m. in the Edinburg City Hall, City Council Chambers, located 415 West University Drive, at which time the Planning and Zoning Commission will consider the following:

CONSIDER THE SPECIAL USE PERMIT FOR A LICENSED CHILD CARE HOME, BEING LOT LAS VILLAS AT AUTUMN RIDGE SUBDIVISION, LOCATED AT 3511 MONETTE STREET, REQUESTED BY YADIRA P. CASTILLAS LEONEL

This request is scheduled to be heard by the City Council on Tuesday, November 16, 2021 at 6:00 p.m. As adjacent property you are invited to attend. Please note that meeting time (s) and date (s) are subject to change. Therefore, please call on the date meeting to assure that the item is on the agenda. As part of the City effort to encourage greater participation in the rezoning process, City is using this notice to solicit your input. Please place a checkmark on the appropriate box to indicate if you are in favor, against, or have no comments on this request.

You may return your response by one of the following:

- MAIL- P. O. Box 1079 Edinburg, Texas 78540
- FAX- (956) 292-2080 by Tuesday, October 12, 2021
- EMAIL- planning@cityofedinburg.com by Tuesday, October 12, 2021

Should you have any questions or need more information regarding this notice, you may call (956) 388-8202.

☐ In Favor/A Favor

☒ Against/En Contra

☐ No Comments/No Comentario

Comments: _____

Print Name:

Guillermo Lozano

Phone No.:

956-607-4591

Address:

3518 Monette st

City:

Edinburg

State:

TX

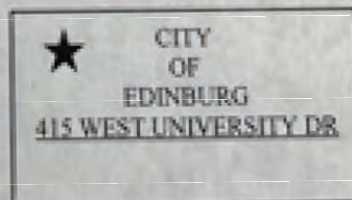
Zip:

78539

NOTIFICACION

Si Tiene preguntas o necesita mas información sobre esta aplicación, o el lugar de la audiencia, por favor llame al 956-388-8202.

Planning and Zoning Department
City of Edinburg
PO BOX 1079
Edinburg, TX 78540-1079



8th Ave.

University Dr. (S.H.10)





CITY OF EDINBURG
Planning & Zoning Commission
Regular Meeting
Meeting Date: 10/12/2021

Special Use Permit

AGENDA ITEM:

Hold Public Hearing and Consider the Special Use Permit for On-Premise Consumption of Alcoholic Beverages, being Lot 1, Eulogio Diaz Subdivision, located at 3721 North Doolittle Road, as requested by Miguel A. Andrade Estrada [Planning & Zoning – Kimberly Mendoza, Director of Planning & Zoning]

DESCRIPTION / SCOPE:

The applicant is requesting a Special Use Permit for the On-Premise Consumption of Alcoholic Beverages. The property is located on the west side of North Doolittle Road, approximately 220 ft. north of East Monte Cristo Road. The proposed days and hours of operation are Monday through Sunday from 8:00 A.M to 12:00 A.M. The applicant is in the process of leasing the property and is requesting to open a Drive-Thru with On-Premise Consumption, which requires the special use permit process. If approved, the applicant will proceed to obtain the necessary (BG) Wine and Malt Beverage Retailer's Permit from the Texas Alcoholic Beverage Commission.

The property is currently zoned Commercial Neighborhood (CN) District. The surrounding zoning is Suburban Residential (S) District to the north, Neighborhood Conservation 7.1 (NC 7.1) District to the south and west, and Commercial General (CG) District to the east. Staff recommends approval of the Special Use Permit. If approved, the applicant will be required to comply with the following conditions:

1. The applicant complies with the hours of operation for the On-Premise Consumption of beer, wine and mixed beverages as allowed by the City and the Texas Alcoholic Beverage Commission.
2. Adequate security lighting must be provided for customer's safety and crime prevention purposes.
3. The applicant complies with all city requirements, including but not limited to building, building occupancy, fire codes, health permit, landscaping, parking, and all other City requirements.
4. Operations in connection with the proposed special use permit must not be more objectionable to nearby properties by reason of noise or other characteristics than would the operations of any permitted use not requiring special use approval. The use must comply with the City's Noise Standards as per the Unified Development Code.
5. The Special Use Permit may be revoked at any time by the Planning and Zoning Commission and City Council.

Staff mailed a notice of the public hearing before the Planning & Zoning Commission to eight neighboring property owners and received no comments in favor or against this request at the time of the report.

ESTIMATED TIMELINE:

The recommendation of approval or denial of this public hearing is scheduled for consideration by the City Council on November 16, 2021. City Council's decision is the final step in the public hearing process for this property. If denied the applicant may not request the proposed special use permit for a 12 month period from the date of denial.

STAFF RECOMMENDATION:

Staff recommends approval of the Special Use Permit subject to compliance with the conditions noted. If approved, the applicant will need to comply with all requirements during the permitting process such as the building and fire code, fire protection, parking, landscape buffer-yards, solid waste services, utility and any other City requirements, as may be applicable.

JUSTIFICATION:

Staff recommends approval of the Special Use Permit, which allows for the applicant to have On-Premise Consumption of Alcoholic Beverages. Should the request be approved, the applicant will continue to proceed with obtaining the necessary permit(s) from the Texas Alcoholic Beverage Commission.

Nikki Marie Cavazos

Planner I

Kimberly Mendoza

Director of Planning & Zoning

MEETING DATES:
PLANNING & ZONING COMMISSION – 10/12/2021
CITY COUNCIL –11/16/2021
DATE PREPARED –10/06/2021

STAFF REPORT
GENERAL INFORMATION

<u>APPLICATION:</u>	Special Use Permit for On-Premise Consumption of Alcoholic Beverages
<u>APPLICANT:</u>	Miguel A. Andrade Estrada
<u>AGENT:</u>	Ismael Morin
<u>LEGAL:</u>	Being Lot 1, Eulogio Diaz Subdivision
<u>LOCATION:</u>	Located at 3721 North Doolittle Road
<u>LOT/TRACT SIZE:</u>	N/A
<u>CURRENT USE OF PROPERTY:</u>	Commercial Neighborhood
<u>PROPOSED USE OF PROPERTY:</u>	Drive-Thru
<u>EXISTING LAND USE/ ADJACENT ZONING:</u>	North - Suburban Residential (S) District South - Neighborhood Conservation 7.1 (NC 7.1) District East - Commercial General (CG) District West - Neighborhood Conservation 7.1 (NC 7.1) District
<u>LAND USE PLAN DESIGNATION:</u>	Residential and General Commercial Uses
<u>ACCESS AND CIRCULATION:</u>	This property has access to North Doolittle Road
<u>PUBLIC SERVICES:</u>	City of Edinburg Water and Sewer are available for this site
<u>RECOMMENDATION:</u>	Staff recommends approval of the special use permit subject to the conditions listed in the staff report. A comprehensive evaluation is on the following page(s).

EVALUATION

The following is staff's evaluation of the request.

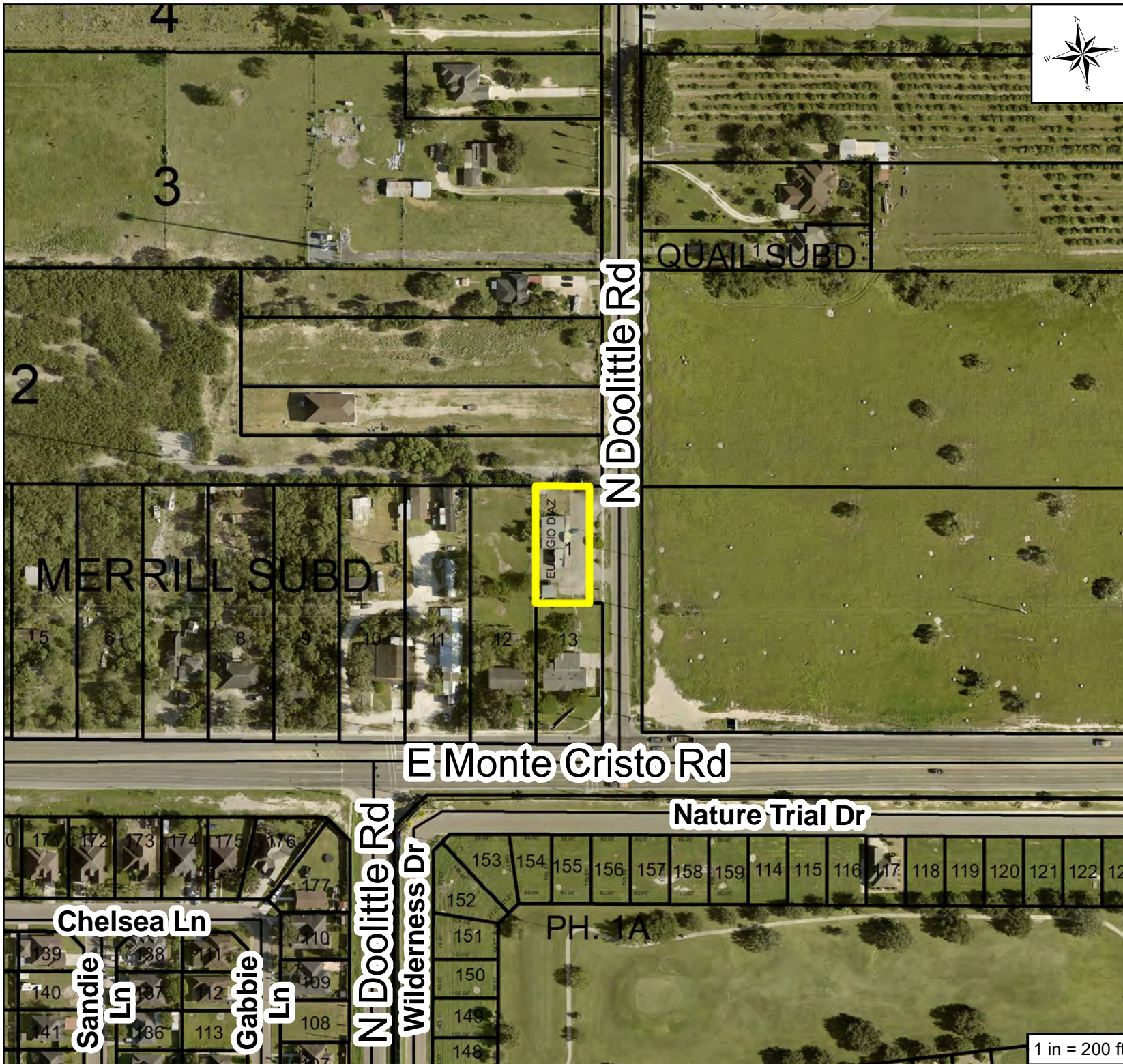
1. The surrounding land uses consist of commercial uses.
2. The proposed days and hours of operation are: Monday through Sunday from 8:00 A.M. to 12:00 A.M.
3. The applicant is requesting the City's approval to sell beer, wine and mixed beverages in the subject location.
4. Staff mailed a notice of the public hearing before the Planning & Zoning Commission to ten neighboring property owners and received no comment in favor or against this request at the time of this report.
5. The On-Premise Consumption of alcoholic beverages a special use permit for this type of business.

The City may impose appropriate conditions and safeguards including a specific period of time. Each permit is reviewed on a case by case basis and neighborhood input is a vital component in the final outcome of an application for the On-Premise Consumption of beer and wine and mixed beverages at this location. Additionally, land use characteristics of an area, traffic and other factors are considered in reviewing these requests.

Staff recommends approval of the renewal of the special use permit for the On-Premise Consumption of alcoholic beverages at the subject location with the following conditions:

1. The applicant complies with the hours of operation for the On-Premise Consumption of beer, wine and mixed beverages as allowed by the City and the Texas Alcoholic Beverage Commission.
2. Adequate security lighting must be provided for customer's safety and crime prevention purposes.
3. The applicant complies with all city requirements, including but not limited to building, building occupancy, fire codes, health permit, landscaping, parking, and all other City requirements.
4. Operations in connection with the proposed Special Use Permit must not be more objectionable to nearby properties by reason of noise or other characteristics than would the operations of any permitted use not requiring special use approval. The use must comply with the City's Noise Standards as per the Unified Development Code.
5. The special use permit may be revoked at any time by the Planning and Zoning Commission and City Council for any violations of City and TABC regulations.

ATTACHMENTS: Aerial Map
Zoning Map
Site Map
Application
Letter of Intent
Menu
Hours of Operation
Site Plan
Site Picture




AERIAL MAP


CASE CAPTION:

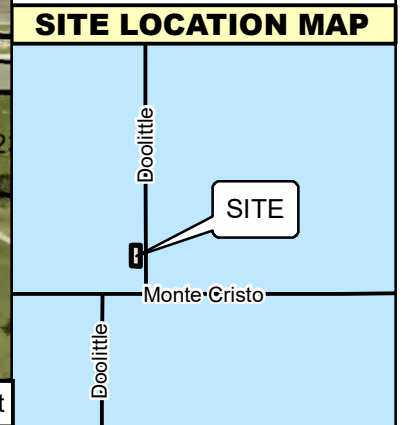
APPLICANT NAME:
MIGUEL ANDRADE ESTRADA

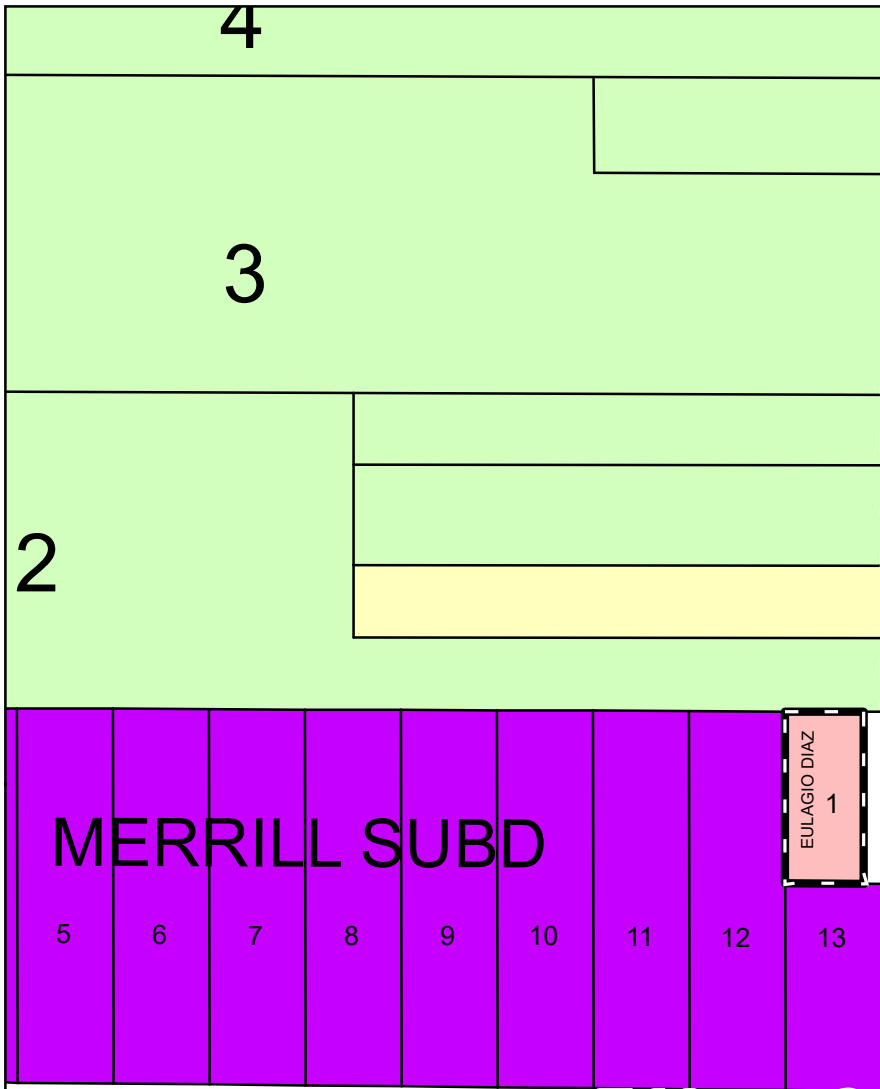
Consider the Special Use Permit for On-Premise Consumption of Alcoholic Beverages for Late Hours, being Lot 1, Eulogio Diaz Subdivision, located at 3721 North Doolittle Road, as requested by Miguel A. Andrade Estrada

Legend

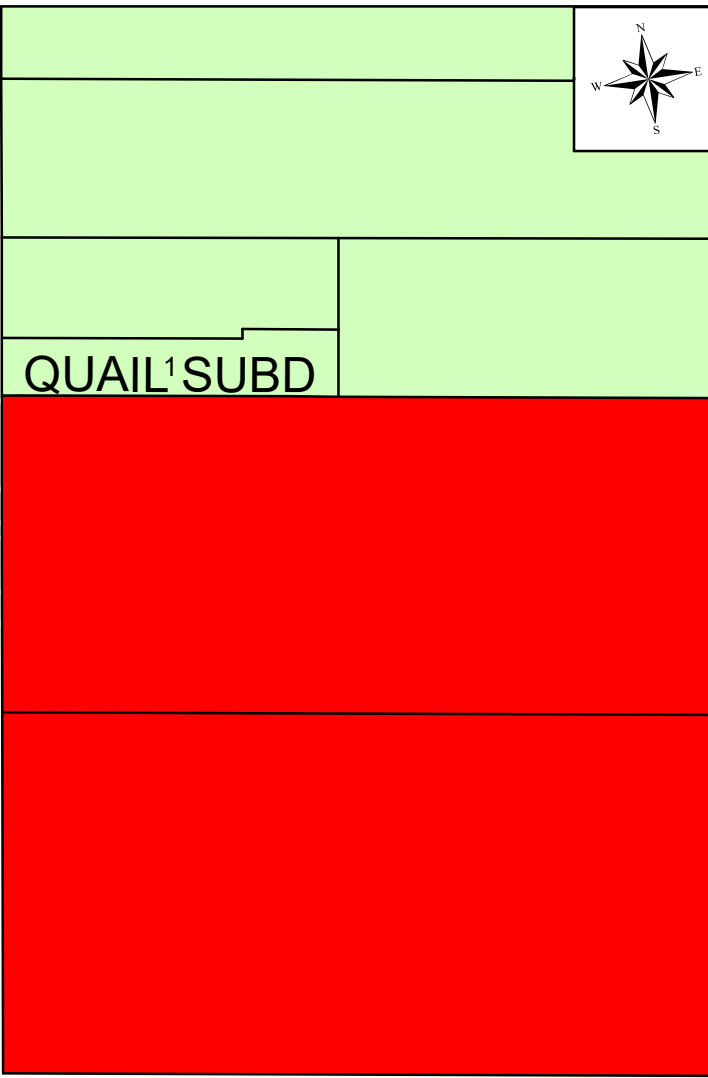
 CITY LIMITS

 APPLICANT SITE





N Doolittle Rd



ZONING MAP

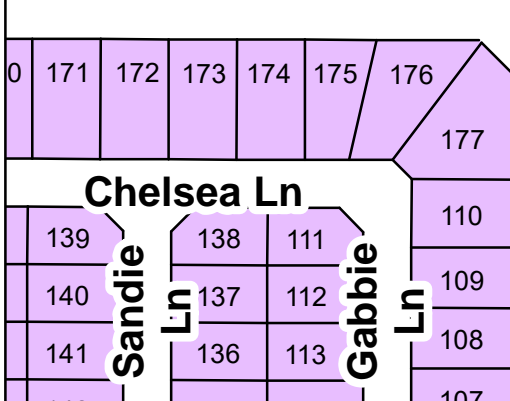
CASE CAPTION:

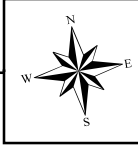
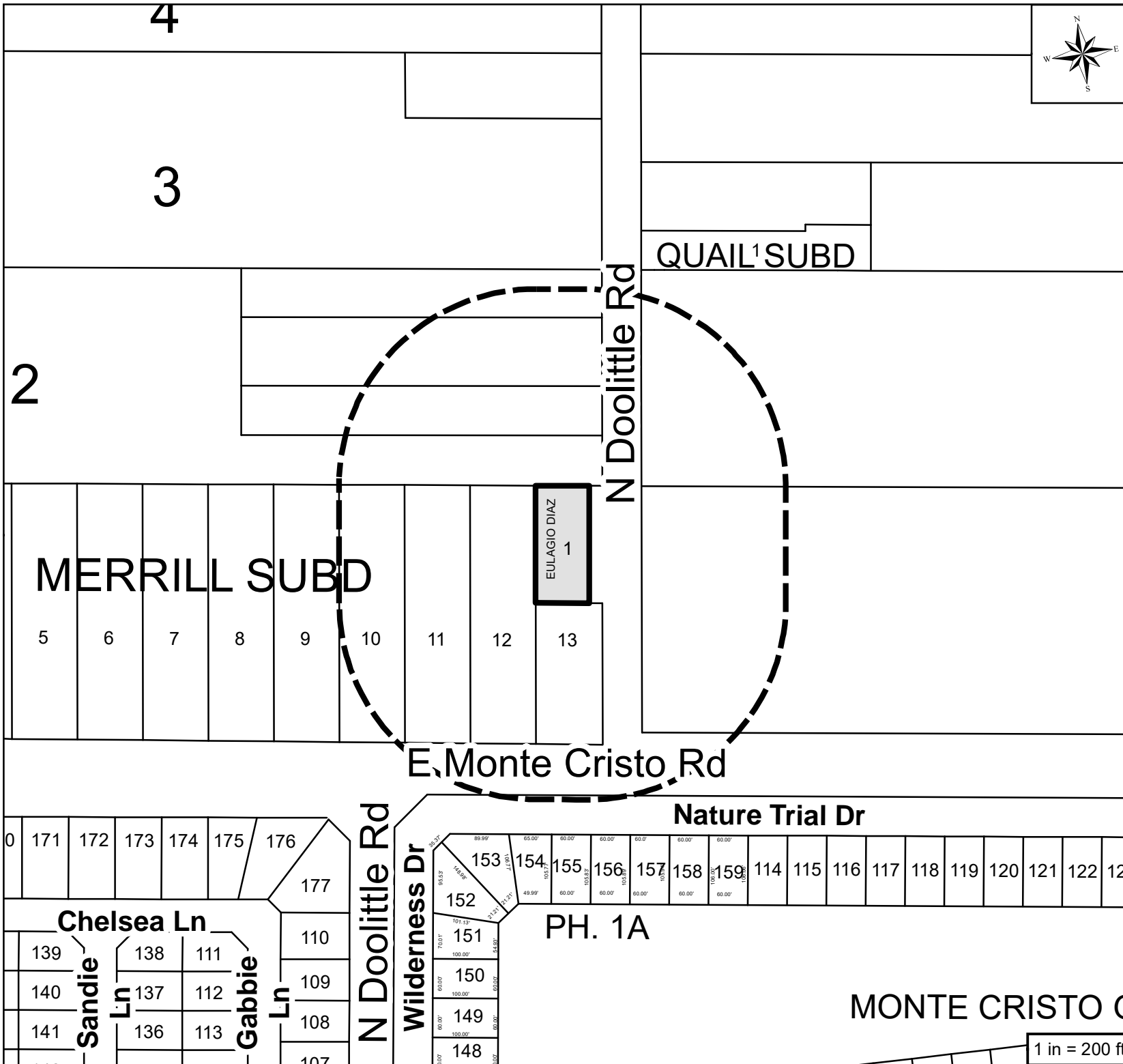
APPLICANT NAME:
MIGUEL ANDRADE ESTRADA

Legend

- CITY LIMITS
- APPLICANT SITE
- ZONING DISTRICTS**
- AGRICULTURE
- AUTO-URBAN RESIDENTIAL
- COMMERCIAL, GENERAL
- COMMERCIAL, NEIGHBORHOOD
- DOWNTOWN DISTRICT
- INDUSTRIAL
- NEIGHBORHOOD CONSERVATION 5
- NEIGHBORHOOD CONSERVATION 7.1
- NEIGHBORHOOD CONSERVATION MH
- SUBURBAN RESIDENTIAL
- URBAN RESIDENTIAL
- URBAN UNIVERSITY

E Monte Cristo Rd





MAILOUT AND SITE MAP

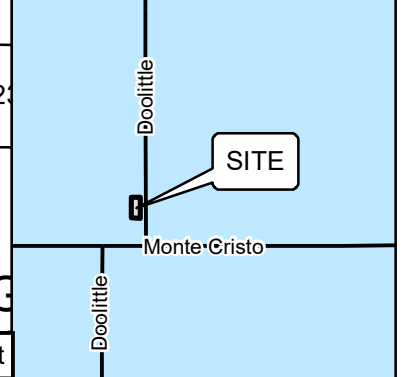
CASE CAPTION:

APPLICANT NAME:
MIGUEL ANDRADE ESTRADA
 Consider the Special Use Permit for On-Premise Consumption of Alcoholic Beverages for Late Hours, being Lot 1, Eulogio Diaz Subdivision, located at 3721 North Doolittle Road, as requested by Miguel A. Andrade Estrada

Legend

- CITY LIMITS
- 300FT NOTIFICATION
- APPLICANT SITE

SITE LOCATION MAP





Case #

THE CITY OF
EdinburgPlanning & Zoning Department
415 W. University Drive
Edinburg, Texas 78539
(956) 388-8202**Special Use Permit Application
On-Premise Consumption of Alcoholic Beverages****1. APPLICANT INFORMATION**APPLICATION DATE: 09/01/2021Miguel A Andrade Estrada
Applicant's Name

Phone No:

1201 E Moore Rd TRLR 298 Pharr Texas 78577
Mailing Address City State Zipchachosdrivethru@gmail.com
Email Address

IF APPLICANT IS DIFFERENT THAN OWNER, ATTACH LETTER OF AUTHORIZATION FROM OWNER.

Edya Gutierrez
Property Owner's Name956-239-3230
Phone No:307 N Mockingbird Ave Mission TX 78572
Mailing Address City State Zipgenylea@me.com
Email Address**2. PROPERTY INFORMATION**Property Address/Location: 3721 N Doolittle Rd Edinburg TX 78542
Legal Description: Lot(s) 4 Block _____ Subdivision EULOGIO DIAZZoning: COTHE FOLLOWING INFORMATION IS REQUIRED FROM THE OWNER OR PERSON MAKING A REQUEST FOR
ON-PREMISE CONSUMPTION OF ALCOHOLIC BEVERAGES ONLYProposed Days and Hours of Operation: 8AM - 12:00AM (Saturday - thru Sunday)**3. ATTEST**AS OWNER/AGENTS FOR THE ABOVE DESCRIBED PROPERTY, I/WE, HEREBY REQUEST A HEARING BEFORE THE EDINBURG
PLANNING AND ZONING COMMISSION.X Miguel A. Andrade Estrada
APPLICANT'S SIGNATURE

DATE

09/01/2021

PUBLIC HEARING DATE (PLANNING & ZONING COMMISSION) - 4:00 PM: _____

PUBLIC HEARING DATE (CITY COUNCIL) - 6:00 PM: _____

(NOTE: BOTH MEETINGS ARE HELD AT THE EDINBURG CITY COUNCIL CHAMBERS)

RECEIVED

SEP 02 2021

Name: CS 11:53am

September 1, 2021

To: Planning & Zoning Department
City of Edinburg
415 W University Drive
Edinburg, Tx. 78539
(956) 388-8202

From: Miguel A Andrade Estrada (business Owner)

REFERENCE: LETTER OF INTENT

RECEIVED

SEP 02 2021

Name: MB 11:53

My Name is Miguel A Andrade Estrada, if approved I wish to open my business in the City of Edinburg. Also, my intent is to buy property and expand my business'

This facility will assist with the economic infrastructure of the community as it will create employment of a minimum of 10 employees, will generate tax revenues. If approved I will assure the city that all federal, state, and local laws, along with regulations and ordinances, be strictly adhered to.

Thank you,


Miguel A. Andrade Estrada

CHACHO'S DRIVE THRU

3721 N. DOOLITTLE RD.
EDINBURG, TEXAS 78542
956-600-0467

Owner: Miguel A. Andrade Estrada

Manager: Gris Andrade

chachosdrivethru@gmail.com

- Frozen Margaritas
- Lime Margarita
- Blueberry Margarita
- Chamoy Margaritas

All drinks are sealed to go.

All drinks have less than 0.18 percent alcohol.

1 oz per drink.

-Mgmt.

RECEIVED

SEP 02 2021

Name: JS 11:53

CHACHO'S DRIVE THRU
3723 N DOOLITTLE RD.
EDINBURG, TEXAS 78542

HOURS OF OPERATION

7 DAYS A WEEK 8:00 AM-12:00AM
SATURDAY THRU SUNDAY

TACO PLACE

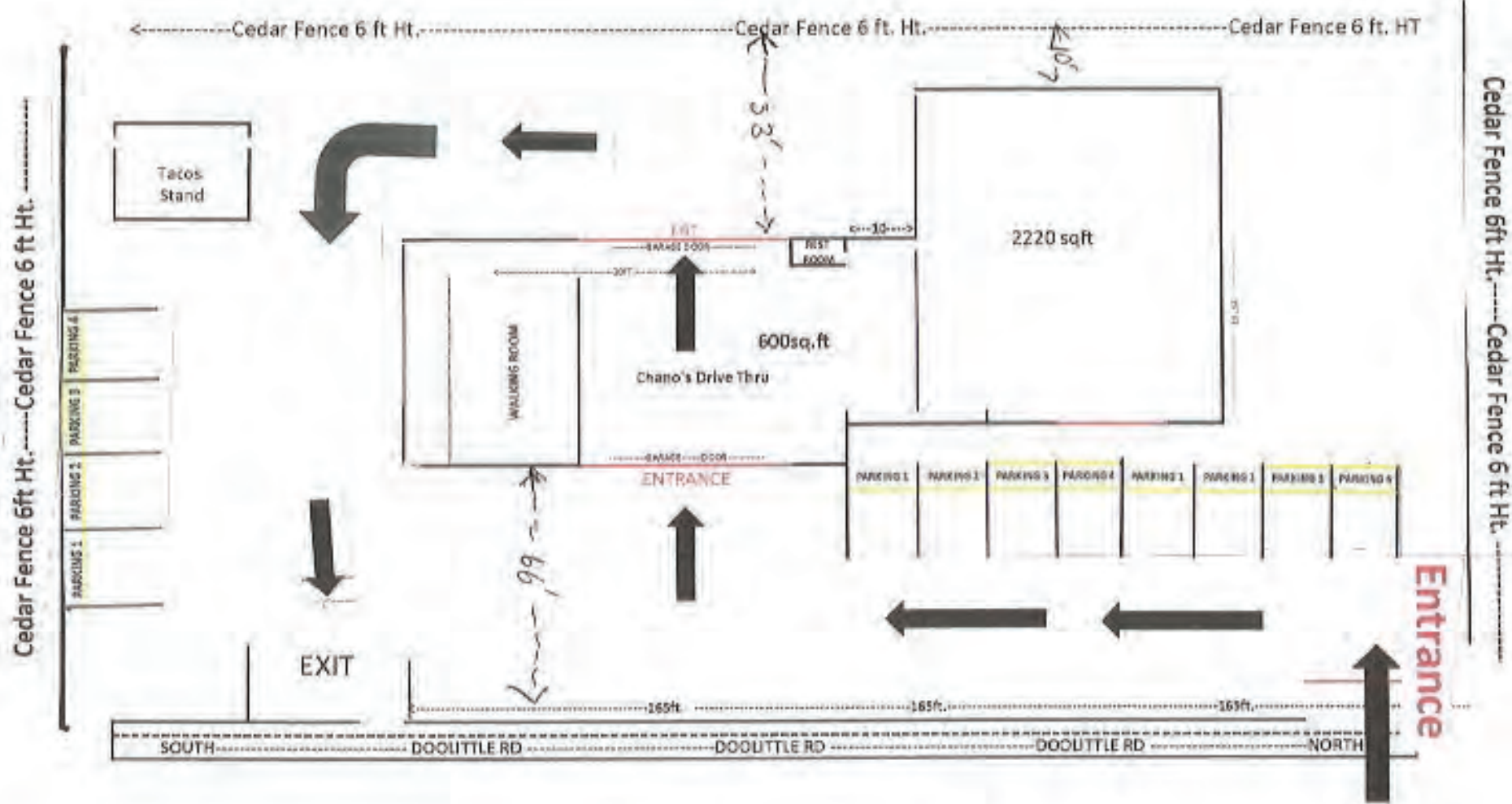
7 DAYS A WEEK 6:00 PM-11:00 PM
SATURDAY THRU SUNDAY

GYM/ZUMBA

7 DAYS A WEEK 7:00AM—THRU ———9:00AM
6:00 PM—THRU———9:00PM

S

N



**Chaco's Drive Thru
Floor Plan
3721 N Doolittle Rd
Edinburg, Texas 78542**



DOOLITTLE SNACKLAND



STAFF REPORT: CARMEN AVILA SUBDIVISION PHASE V

September 21, 2021

Planning and Zoning Meeting:

October 12, 2021

Agenda Item: 7A

Preliminary Plat

- Subject:** Consider the Preliminary Plat of **CARMEN AVILA SUBDIVISION PHASE V**, being a 33.13 acre tract out of Tract 156, San Salvador Del Tule Grant, as per map or plat thereof recorded in Volume 10, Page 58-60, Map Records of Hidalgo County, Texas. Located at 8600 N. Alamo Road, as requested by Quintanilla, Headley and Associates, Inc.
- Location:** The property is located on the east side of Carmen Avila Road, approximately 1,700 ft. south of Mile 22 ½ North Road and within the City of Edinburg's Extraterritorial Jurisdiction (ETJ).
- Zoning:** Not applicable.
- Analysis:** The Preliminary Plat proposes a single-family residential development with a total of one-hundred and thirty-six (136) lots, averaging approximately 5,125 sq. ft. and 22,000 sq.ft Setbacks are to be determined by ETJ requirements.
- Utilities:** Water Distribution System is within North Alamo Water Supply Corporation, and will utilize a City of Edinburg sanitary sewer system. All utility improvements within the proposed subdivision that are not limited to water, sewer, curb and gutter, fire hydrants, will be installed by the developer in accordance with the approved 2014 Standards Manual.
-

Recommendations:

City of Edinburg Planning & Zoning Department

Staff recommends approval of the Preliminary Plat, subject to the compliance of the Unified Development Code, General Notes; on FEMA flood zone, zoned setbacks, finish floor elevation, benchmark, drainage detention, parkland fees, limited access, SWP3 requirements, sidewalks, and other notes as required based on development.

City of Edinburg Engineering / Utilities Department

Preliminary Phase Submittal comments for this subdivision are included in the packet. As per Engineering, the plat shall be Preliminarily Approved until all comments have been addressed by the project engineer.

City of Edinburg Fire Department

The following are the preliminary phase submittal comments as noted by the Fire Department:

1. Provide street names to the City of Edinburg Engineering Department for approval.
2. Fire lane 15 ft. in width shall be painted in front of all fire hydrants.
3. Provide double face blue fire hydrant street marker on center on the street in front of the fire hydrant.
4. Fire hydrant shall be every 600 ft. for one and two family dwellings as per Section 507.5.1 of 2012 IFC.
5. All streets should be 32 ft. B-B paving section according to Table 8.204 of the Edinburg Unified Development Code.

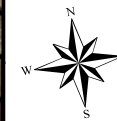
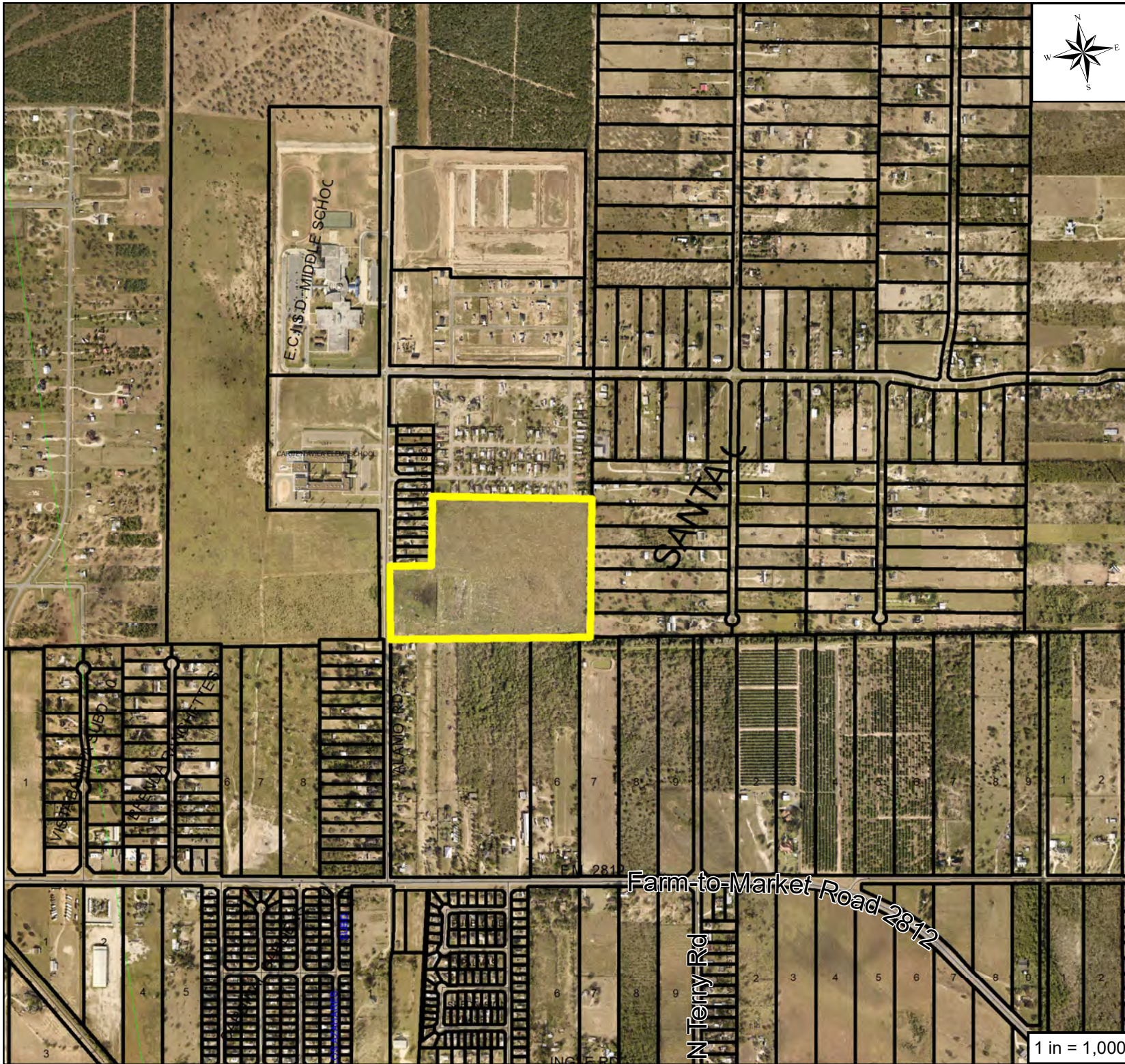
City of Edinburg Storm Water

The following are the preliminary phase submittal comments as noted by Storm Water

1. **SW3P** (Stormwater Pollution Prevention Plan)
2. **NOI** (Notice of Intent, Per TCEQ)
3. **Large Construction Notice** (Per TCEQ Inventory)
4. **Detailed Erosion Control Plan** (Silt Fence, Construction Entrance, Inlet Protection, Concrete Washout)
5. **Detailed Post Construction BMP's Plan** (70% Vegetation or Silt Fence back of curb)
6. **Plat Note** (All construction shall comply with Stormwater Pollution Prevention Plan (SW3P) requirements. Erosion and Sedimentation Controls constructed in accordance with the Stormwater Ordinance 98.30 of the City of Edinburg are required for all construction on each lot including single family and duplex/multi-family construction)
7. **NOT** (Notice of Termination, Per TCEQ) will now be required before the final walk through.
8. **Comments:**
 - SW3P Plat note has been revised. Please see the note for your reference.
 - NOT will need to be submitted before the final walk through.
 - Stormwater is now requiring a Post Construction Plan on plans that are submitted, either 70% vegetation or Install Silt Fence behind the back of curb.
 - Silt Fence around the entire project.
 - Large Construction Notice needs to be submitted with contractors contact information.
 - All items must be submitted before the NTP is issued.
 - Please email pending items to rvalenzuela@cityofedinburg.com

City of Edinburg Solid Waste

Not applicable for Single Family Residential Development.



AERIAL MAP

CASE CAPTION:

SUBDIVISION NAME:

CARMEN AVILA PHASE V

Legend

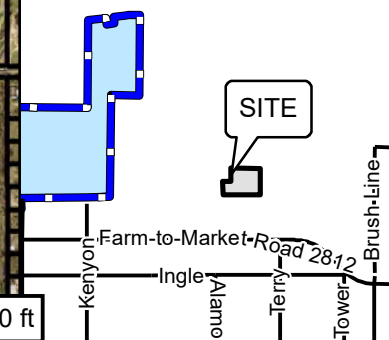
- CITY LIMITS
- SUBDIVISION SITE
- Boundary
- Footprint

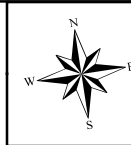
Image

RGB

- Red: Band_1
- Green: Band_2
- Blue: Band_3

SITE LOCATION MAP





SITE MAP

CASE CAPTION:

SUBDIVISION NAME:

CARMEN AVILA PHASE V

Consider the preliminary Plat of Carmen Avila Subdivision Phase 5 being a 33.13 acre tract out of Tracts 156, San Salvador Del Tule Grant, as per map or plat thereof recorded in Volume 10, Page 58-60, map Records of Hidalgo County, Texas. Located South of Mile 2 1/2 North Road, East of Carmen Avila Road, As requested by Quintanilla, Headley and Associates, Inc.

Legend

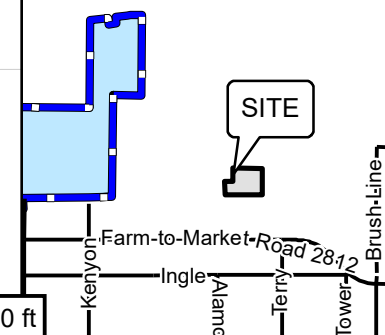


CITY LIMITS



SUBDIVISION SITE

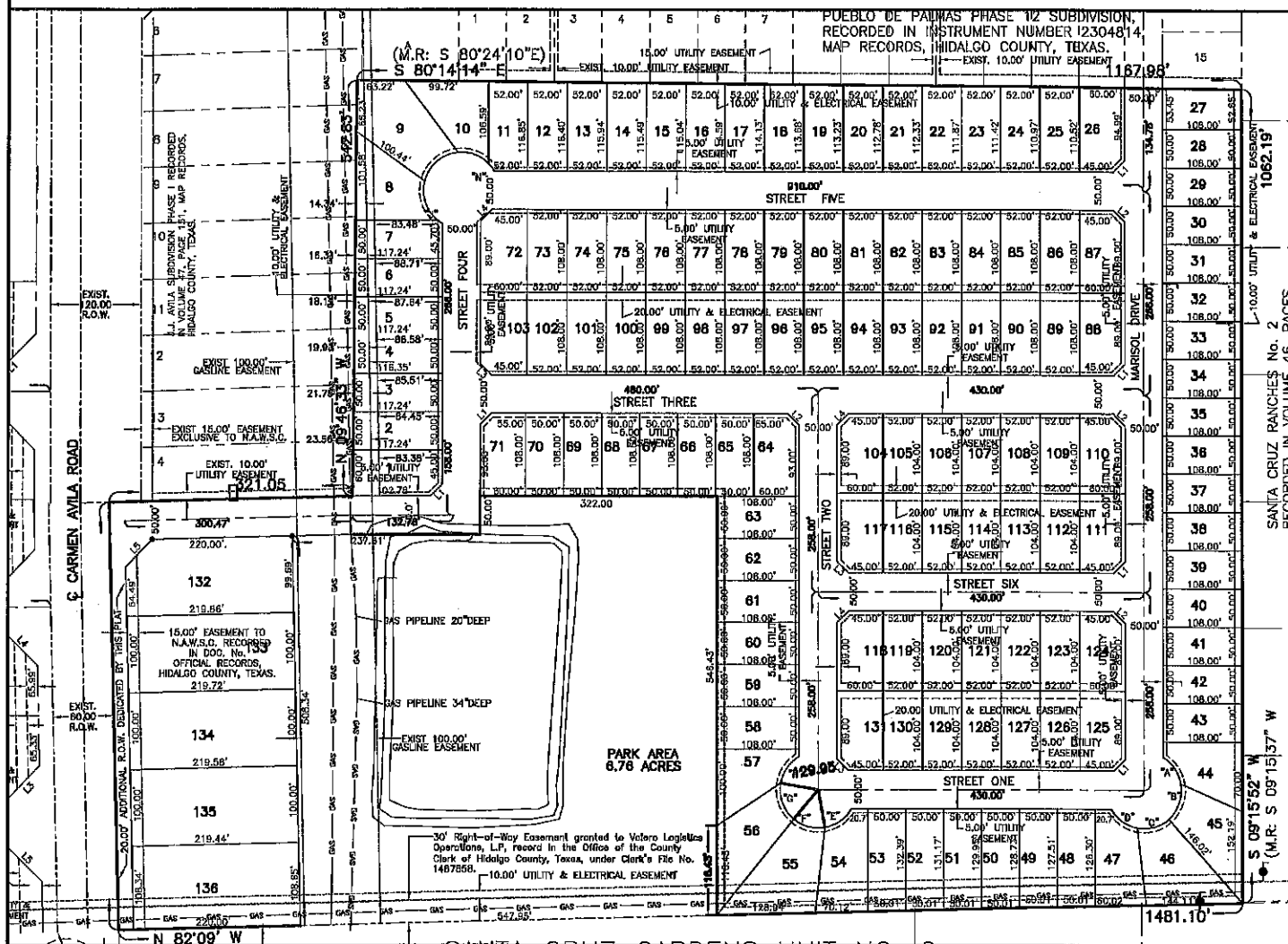
SITE LOCATION MAP



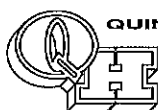
A 26.36 ACRE TRACT OF LAND OUT OF TRACT 156, SAN SALVADOR DEL TULE GRANT, HIDALGO COUNTY, TEXAS, ACCORDING TO THE MAP OR PLAT THEREOF RECORDED IN VOLUME 10, PAGES 58-60, MAP RECORDS, HIDALGO COUNTY, TEXAS, AND ACCORDING TO WARRANTY DEED WITH VENDOR'S LIEN RECORDED UNDER COUNTY CLERK'S DOCUMENT NUMBER 2764753, OFFICIAL RECORDS, HIDALGO COUNTY, TEXAS.



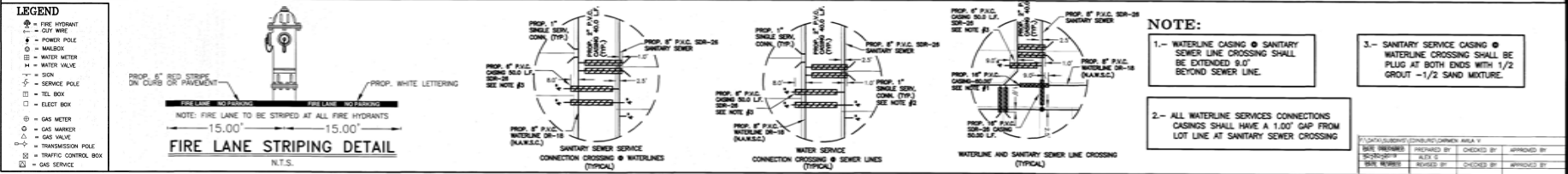
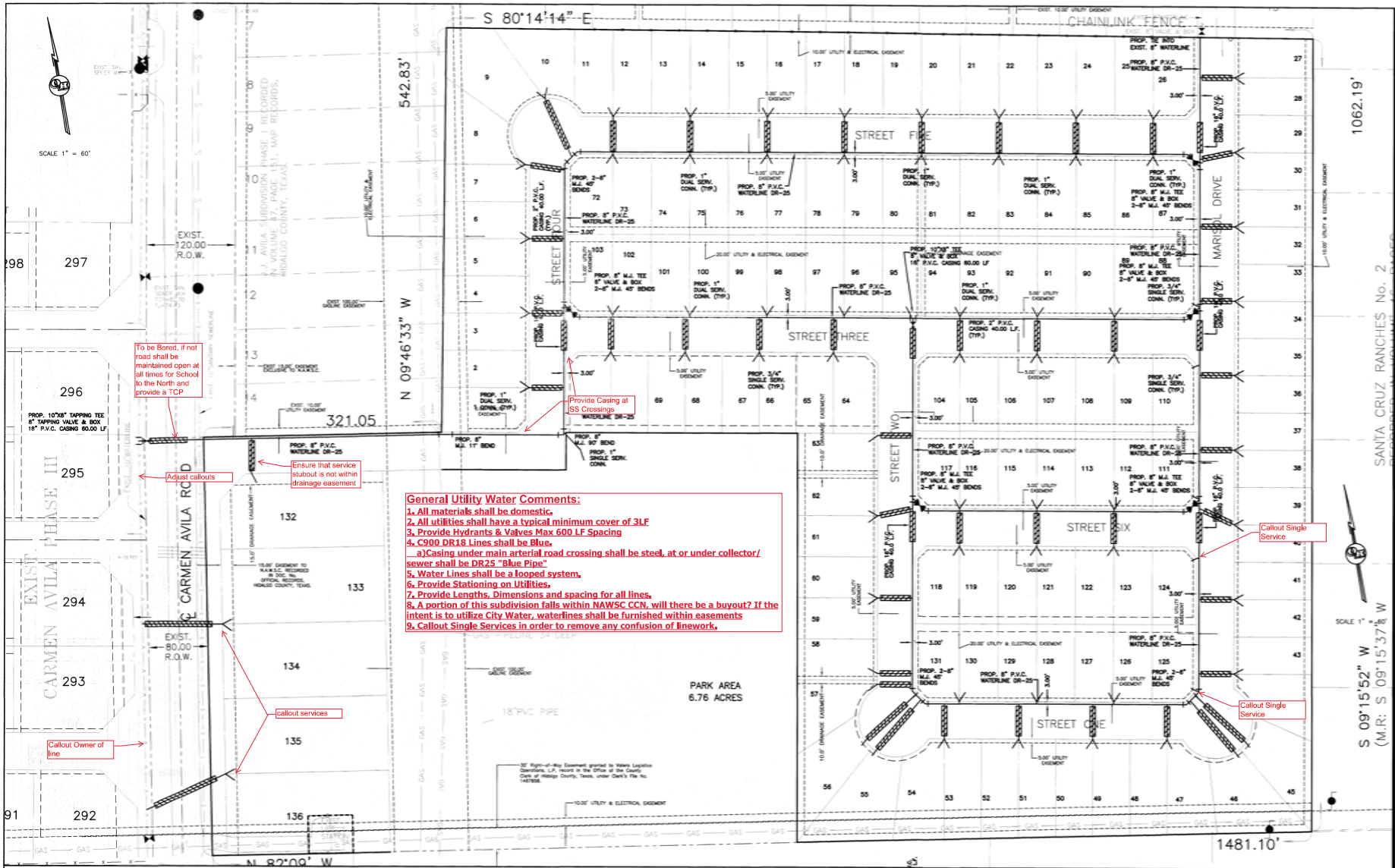
SCALE 1" = 100'



PRELIMINARY LAYOUT



CONSULTING ENGINEERS • LAND SURVEYORS
124 E. STUBBS ST. PHONE 958-381-8480
EDINBURG, TEXAS 78539 FAX 958-381-0527
REGISTRATION NUMBER F-1513 ALFONSO@OHA-ENG.COM



**CARMEN AVILA SUBDIVISION
PHASE V
WATER DISTRIBUTION
LAYOUT**

SANTA CRUZ RANCHES No. 2

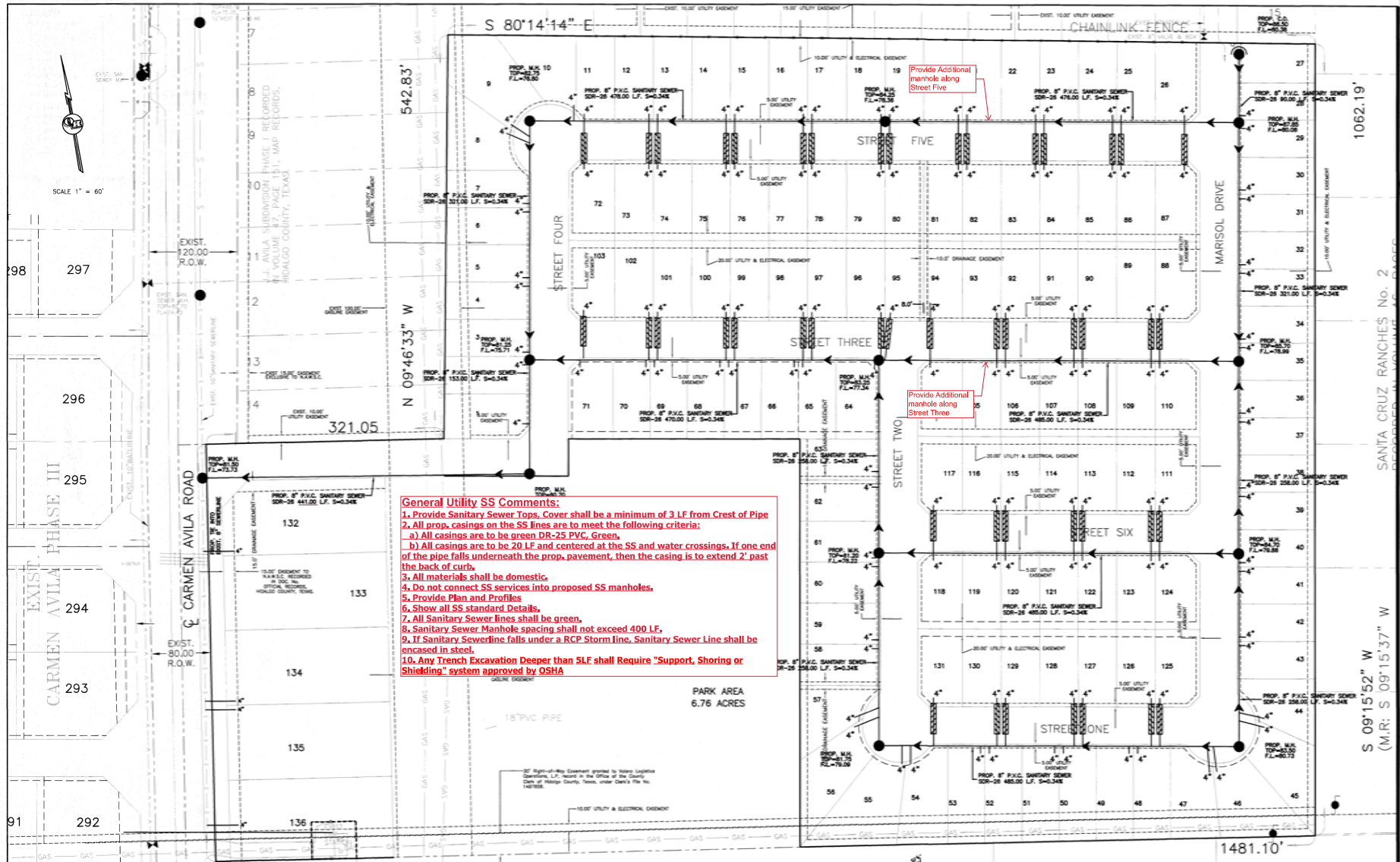
9-15-21

JOB NO. _____
DATE MAY 21, 2021
REGION _____
SCALE 1"=40'
DRAWN BY AVE.S
SHEET _____
APPROVED _____

QUINTANILLA, HEADLEY AND ASSOCIATES, INC.
CONSULTING ENGINEERS
124 E. STUBBS ST.
EDINBURG, TEXAS 78539
PHONE 936-381-6480
FAX 936-381-0027
SURVEYING REGISTRATION NUMBER 100411-00

MARCO A. GONZALEZ
10018
REGISTERED PROFESSIONAL ENGINEER
STATE OF TEXAS

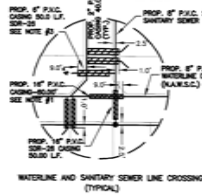
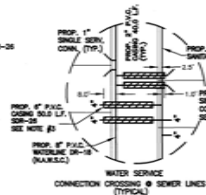
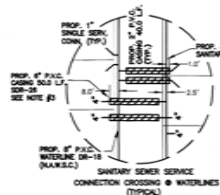
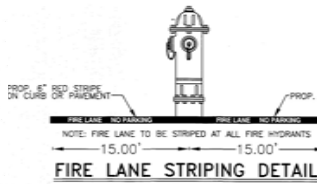
Mark Gonzales



General Utility SS Comments:
 1. Provide Sanitary Sewer Tops. Cover shall be a minimum of 3 LF from Crest of Pipe
 2. All prop. casings on the SS lines are to meet the following criteria:
 a) All casings are to be green DR-25 PVC, Green.
 b) All casings are to be 20 LF and centered at the SS and water crossings. If one end of the pipe falls underneath the prop. pavement, then the casing is to extend 2' past the back of curb.
 3. All materials shall be domestic.
 4. Do not connect SS services into proposed SS manholes.
 5. Provide Plan and Profiles
 6. Show all SS standard Details.
 7. All Sanitary Sewer lines shall be green.
 8. Sanitary Sewer Manhole spacing shall not exceed 400 LF.
 9. If Sanitary Sewerline falls under a RCP Storm Line, Sanitary Sewer Line shall be encased in steel.
 10. Any Trench Excavation Deeper than 5LF shall Require "Support, Shoring or Shielding" system approved by OSHA

LEGEND

- FIRE HYDRANT
- GUY WIRE
- POWER POLE
- MANHOLE
- WATER METER
- WATER VALVE
- SOI
- SERVICE POLE
- TEL BOX
- ELECT BOX
- GAS METER
- GAS MARKER
- GAS VALVE
- TRANSMISSION POLE
- TRAFFIC CONTROL BOX
- GAS SERVICE



NOTE:

- 1.- WATERLINE CASING @ SANITARY SEWER LINE CROSSING SHALL BE EXTENDED 8.0' BEYOND SEWER LINE.
- 2.- ALL WATERLINE SERVICES CONNECTIONS CASINGS SHALL HAVE A 1.00' GAP FROM LOT LINE AT SANITARY SEWER CROSSING

- 3.- SANITARY SERVICE CASING @ WATERLINE CROSSING SHALL BE PLUG AT BOTH ENDS WITH 1/2 GROUT - 1/2 SAND MIXTURE.

DESIGNED BY: J. L. CARMEN
 DATE PREPARED: MAY 24, 2011
 PREPARED BY: J. L. CARMEN
 DATE REVISION: MAY 24, 2011
 REVISION BY: J. L. CARMEN
 CHECKED BY: J. L. CARMEN
 APPROVED BY: J. L. CARMEN

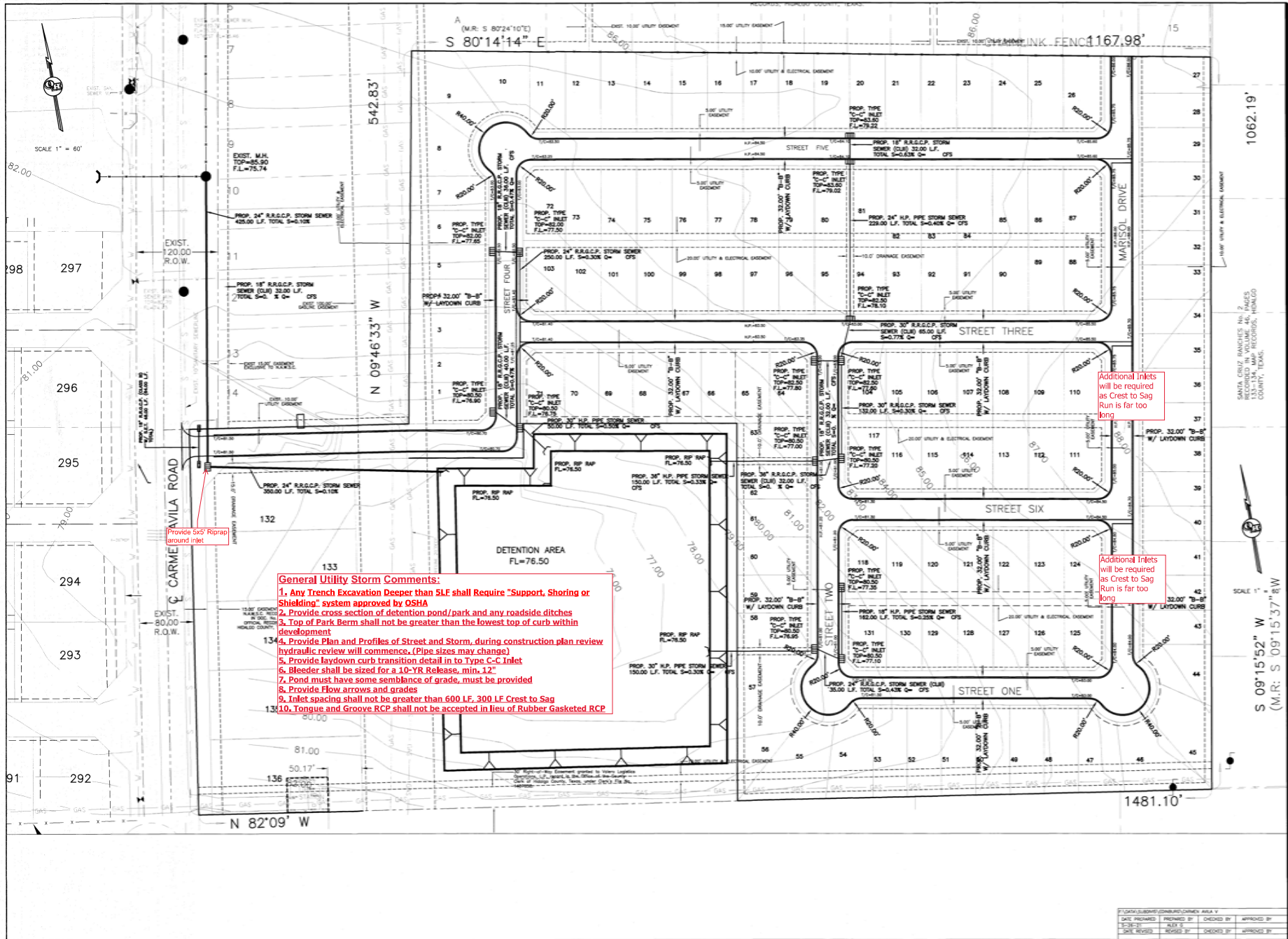
DATE: MAY 24, 2011
 REVISION: 1"
 SCALE: 1"=40'
 SHEET: 1 OF 2
 APPROVED: J. L. CARMEN

CARMEN AVILA SUBDIVISION PHASE V SANITARY SEWER COLLECTION SYSTEM LAYOUT



QUINTANILLA, HEADLEY AND ASSOCIATES, INC.
 CONSULTING ENGINEERS
 124 E. STUBBS ST.
 AUSTIN, TEXAS 78701
 PHONE: 512-476-1640
 FAX: 512-476-1641
 REGISTRATION NUMBER: 100411-00
 SURVEYING REGISTRATION NUMBER: 100411-00





JOB NO.	100411-00
DATE	MAY 21, 2011
REVISION	
SCALE	1"=60'
DRAWN BY	ALX 3
CHECKED BY	
APPROVED BY	

**CARMEN AVILA SUBDIVISION
PHASE V
PAVING & DRAINAGE
LAYOUT**

9/5-21



QUINTANILLA, HEADLEY AND ASSOCIATES, INC.
CONSULTING ENGINEERS
124 E. STURGIS ST.
EDWING, TEXAS 78549
PHONE 936-381-6480
FAX 936-381-0327
ALFONSO@QHA-ENG.COM

100411-00

DATE PREPARED	PREPARED BY	CHECKED BY	APPROVED BY
DATE REVISED	REVISED BY	CHECKED BY	APPROVED BY



Case #

Edinburg

Planning & Zoning Department
415 W. University Drive
Edinburg, Texas 78539

(956) 388-8202

Subdivision Application

Date: _____ Request Type: Preliminary Plat1. Developer: Jefferson Road Property Investments 2. Owner/Contact Name: Victor Daniec3. Owner/Contact Phone: (956) 821-7108 4. Owner/Contact Email: victordaniec@hotmail.com5. Owner Address: P.O. Box 2604 Edinburg, TX 785406. Exact Name of Subdivision: Carmen Avila Subdivision Phase V 7. Property ID: 158353

8. Current Zoning: _____ Required Zoning: _____

10. Legal Description: _____

A 33.13 Acre tract of land out of Tract 156, San Salvador Del Tule Grant, Hidalgo County, Texas11. Inside City Limits? No If "No," is in the _____ Comprehensive Development Area ☒ Rural Development Area12. Primary Consulting Firm: Quintanilla, Headley & Associates, Inc. 13. Phone: (956) 381-648014. Consulting Firm Address: 124 E. Stubbs St. Edinburg, TX 7853915. Consulting Firm Email(s): alfonsoq@qha-eng.com16. Desired Land Use Option: Single Family17. Number of Lots: Single Family 131 Multi-Family _____ Commercial 5 Industrial _____18. Proposed Wastewater Treatment: ☒ Sanitary Sewer _____ OSSF (On-Site Sewage Facility)19. Electric Power and Light Company to Serve the Proposed Subdivision: Magic Valley Electric Co-op20. Irrigation District: N/A Potable-water Retailer: North Alamo Water Supply Corp.

Owner of record, holding title to real estate within the proposed subdivision. Ownership instrument (i.e. Title Policy, Warranty Deed and Deed of Trust) shall be submitted with application. All such owners are listed immediately below.

Owner Name(s) (Print or Type) Victor Daniec	Owner Mailing Address & Zip Code P.O. Box 2604 Edinburg, TX 78540
Owner Phone Number (956) 821-7108	Owner Email victordaniec@hotmail.com

Have any of said owners designated agents to submit and revise this plat application on their behalf?

Yes ☒ No (If "Yes" attached duly notarized documentation to that effect, signed by each such owner.)

The undersigned owner(s) of record (or their authorized agents) hereby agree to make all improvements and meet all requirements and standards as specified in the City of Edinburg Unified Development Code and Ordinances. The undersigned hereby request that the Edinburg Planning & Zoning Commission and the City Commission approve the attached subdivision plat. I certify that all items contained in this application and attachments (including all construction plans) are true and correct to the best of my knowledge and not in conflict with any deed restrictions or restrictive covenants. Furthermore, I understand that any omission or incorrect information may result in approval or permit being denied or revoked. Developer's requirement sheet must be completed, signed, and submitted with the application form.

Signature

Date

9-15-21Name: B. 9

SEP 16 2021

SUBDIVISION WITHIN CITY LIMITS CHECK LIST
PRELIMINARY STAGE

PLANNING & ZONING DEPARTMENT (956) 388-8202

SUBDIVISION PROCESS

 Date : **October 5, 2021**

Date Filed: August 9, 2021	P&Z Preliminary: September 14, 2021	P&Z Final: _____	City Council: _____
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Reviewed By: Abel Beltran, Subd. Coord. abeltran@cityofedinburg.com	Staff Review : August 19, 2021 Staff / Engineer : August 26, 2021	Time Line : 365 Days 1st Extension : 0 Days 2nd Extension : 0 Days	Expires : _____ Expires 1: _____ Expires 2: _____
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Director of Planning & Zoning :	Kimberly A. Mendoza, MPA	Email : kmendoza@cityofedinburg.com	City Office #: (956) 388-8202
Director of Utilities	Gerardo Carmona, P.E.	Email : gcarmona@cityofedinburg.com	City Office #: (956) 388-8212
Director of Public Works	Vincent Romero	Email : layala@cityofedinburg.com	City Office #: (956) 388-8210
Director of Engineering	Mardoqueo Hinojosa, P.E., CPM	Email : mhinojosa@cityofedinburg.com	City Office #: (956) 388-8211

Owner:	Victor Daniec, Manager	P.O. Box 2604, Edinburg, TX 78540		Alfonso Quintanilla, P.E. Project Engineer	
CARMEN AVILA SUBDIVISION PHASE V			Consultant : Quintanilla, Headley and Associates, Inc.		
DESCRIPTION	Provided	Need to Provide	Not Applicable	Need to Revise	COMMENTS

Subdivision Process:

Subdivision Plat Submittal	✓				
Warranty Deed	✓				
Topography Survey	✓				
Drainage Report Submittal (As Per City Drainage Policy)	✓				Approved by H.C.D.D.#1 Date: Pending Approval
Zoning : City Limits - Commercial General	✓				
Flood Zone	✓				Zone "X" (Un-Shaded)

Preliminary Submittals:

Existing & Proposed Water Distribution Layout	✓				North Alamo Water Supply Corporation - Distribution System
Water Distribution System Provider:	✓				North Alamo Water Supply Corporation - Distribution System
Existing & Proposed Sewer Collection Layout		✓			City of Edinburg Sanitary Sewer Collection System
Sanitary Sewer Collection System Provider:		✓			City of Edinburg Sanitary Sewer Collection System
Existing and Proposed Drainage Layout System:	✓				Private Drainage System onto H.C.D.D. # 1
MPO Collector / Arterial Right-of-way Dedication	✓				Proposed Private Streets
Minor / Major Collector Street pavement Section	✓				In Accordance to Standard Street Policy
Variances Appeals Request: (September 14, 2021)	✓				Planning & Zoning Meeting Results City Council Meeting
Street Widening Improvements		✓			Ingle Road
Street 5-ft Sidewalk Improvements		✓			Ingle Road
Drainage Improvements			✓		

Construction Plans Review Submittals: (See Section 4 Construction Plans Submittals Policy, 2014 STANDARD POLICY MANUAL)

Cover Sheet		✓			
Topography Sheet (Utilities, Bench Marks)		✓			
Sanitary Sewer Improvements: On-Site & Off-Site		✓			City of Edinburg Sanitary Sewer Standard Policy's
Sanitary Sewer Detail Sheets		✓			See Section 3 Utility Policy, 2014 Standard Policy Manual
Water Distribution Improvements: On-Site & Off-Site		✓			North Alamo Water Supply Standard Policy's
Water Distribution Detail Sheet (Fire Hydrant Assembly)		✓			See Section 3 Utility Policy, 2014 Standard Policy Manual
Drainage Improvements:		✓			
Drainage Detail Sheets		✓			See Section 1 Drainage Policy, 2014 Standard Policy Manual
Minor/Major Collector Streets Improvements:		✓			See Section 2 Streets Policy, 2014 Standard Policy Manual
Street Sign Sheet:		✓			
Street Detail Sheets		✓			See Section 2 Streets Policy, 2014 Standard Policy Manual
Street Lighting Sheet:		✓			
Traffic Control Plan:		✓			
Erosion Control Plan		✓			
Erosion Control Plan Detail Sheet		✓			See Storm Water Management, 2014 Standard Policy Manual

DESCRIPTION	Provided	Need to Provide	Not Applicable	Need to Revise	COMMENTS
Pre-Construction Meeting:					
Notice To Proceed		✓			Dated:
Roadway Open-Cut or Bore Permit Application		✓			Dated:
TX-Dot Water UIR Permit			✓		
TX-Dot Sewer UIR Permit			✓		
N.O.I. Submittal		✓			Dated:
SWPP Booklet Submittal		✓			Dated:
RFI #1 Request		✓			Dated:
Change Orders		✓			Dated:
Final Walk Through		✓			Dated:
Punch List		✓			Dated:
Punch List (Completed and Approved)		✓			Dated:
Letter of Acceptance		✓			Dated:
1-year Warranty (Water/Sewer/Paving/Drainage)		✓			Dated:
Backfill Testing Results		✓			Dated:
As-Built (Revised Original Submittal)		✓			Dated:
Recording Process:					
Public Improvements with (Letter of Credit)		✓			Dated: Expires:
Recording Fees \$ 106.00		✓			As required by County Clerks office
Copy of H.C.D.D. #1 of invoice		✓			Required to be paid prior to Final Stages
Street Light Escrow \$ -		✓			Required: 0 EA. @ \$ -
Street Escrow (Carmen Avila Road) \$ 42,276.00		✓			Required: 0 EA. @ 0
Sidewalk Escrow (Carmen Avila Road) \$ 13,950.00		✓			Required: 558 LF @ \$ 25.00
TOTAL OF ESCROWS: \$ 56,226.00					
Total Developer's Construction Cost: (Letter of Credit)					Date : Lender :
Laboratory Testing Fee: 3% \$ -		✓			\$ - Estimated Construction Cost
Inspection Fee: 2% \$ 845.52		✓			\$ 42,276.00 Final Construction Cost
Park Land Fees: ETJ Park Zone # 3 \$ 81,600.00		✓			136 Lots @ \$ 600.00 Full rate within the ETJ
0 Residential \$ - \$ -			✓		50% Development 50% Building Stage
0 Multi-Family \$ - \$ -			✓		0% Development 0% Building Stage
Water Rights: NAWSC - CCN \$ -			✓		14.017 Acres \$ -
Water 30-year Letter (Residential-ETJ) \$ -			✓		49 Lots @ \$ - Transfer Fee SWSC WATER-CCN
Water 30-year Letter (Multi-Family) \$ -			✓		0 Lots @ \$ -
Sewer 30-year Letter COE - CCN \$ -			✓		49 Lots @ \$ - OSSF SEWER-CCN
TOTAL OF FEES: \$ 82,445.52					
Reimbursements:					
Developer Sewer Improvements \$ -			✓		Off-Site System: 0.000 AC \$ -
Developer Water Improvements \$ -			✓		Off-Site System 0.00 AC \$ -
TOTAL OF REIMBURSEMENTS: \$ -					
Buyouts:					
North Alamo Water Supply Corporation \$ -	✓				Required Buyout 0.00 AC. \$ -
Sharyland Water Supply Corporation			✓		Not Applicable
Tax Certificates					
County of Hidalgo / School District		✓			
Water District		✓			Hidalgo County Irrigation District # 1
Total of Escrows, Fees, Reimbursements and Buyouts:					
Escrows \$ 56,226.00					Street & Sidewalk Improvements for Seminary Road & Barb Mar Lane Road
Inspections other Fees \$ 82,445.52					Parkland Fees, Water/Sewer 30-year Agreement/Water Rights
Reimbursements \$ -					Reimbursement to the Developer of Subdivision
City of Edinburg \$ -					15% Payable to the City of Edinburg for Administrative Fee
To the Developer of Record \$ -					85% Payable to the Developer of Record Owner / Developer
Buyouts \$ -					Based on Subdivision (Need Request and Approval rate from ? Broad)
TOTAL : \$ 138,671.52					Developer Total Cost of Fees, Escrows, Reimbursements & Buyouts

STAFF REPORT: RG ESTATES PHASE III

September 21, 2021

Planning and Zoning Meeting:

October 12, 2021

Agenda Item: **7B**

Preliminary Plat

Subject: Consider the Preliminary Plat of **RG ESTATES PHASE III**, being a 10.00 acre tract out of Lot 7, Block 23, Santa Cruz Gardens Unit No. 2, as per map or plat thereof recorded in Volume 8, Page 28-29, Map Records of Hidalgo County, Texas. Located at 4100 East Ingle Road,, as requested by Quintanilla, Headley and Associtaes, Inc.

Location: The property is located on the south side of Ingle Road, approximately 1,780-ft. east of Kenyon Road and within the City of Edinburg's Extraterritorial Jurisdiction (ETJ).

Zoning: Not applicable.

Analysis The Preliminary Plat proposes a single-family residential development with a total of forty nine (49) lots averaging approximately 6,125 sq. ft. Set backs to be determined by Extra Territorial Jurisdiction Requirements. Utilities:

Water Distribution System is within North Alamo Water Supply Corporation, and will utilize a City of Edinburg sanitary sewer system. All utility improvements within the proposed subdivision that are not limited to water, sewer, curb and gutter, fire hydrants, will be installed by the developer in accordance with the approved 2014 Standards Manual.

Recommendations:

City of Edinburg Planning & Zoning Department

Staff recommends approval of the Preliminary Plat, subject to the compliance of the Unified Development Code, General Notes; on FEMA flood zone, zoned setbacks, finish floor elevation, benchmark, drainage detention, parkland fees, limited access, SWP3 requirements, sidewalks, and other notes as required based on development.

City of Edinburg Engineering / Utilities Department

Preliminary Phase Submittal comments for this subdivision are included in the packet. As per Engineering, the plat shall be Preliminarily Approved until all comments have been addressed by the project engineer.

City of Edinburg Fire Department

The following are the preliminary phase submittal comments as noted by the Fire Department:

1. Provide street names to the City of Edinburg Engineering Department for approval.
2. Fire lane 15 ft. in width shall be painted in front of all fire hydrants.
3. Provide double face blue fire hydrant street marker on center on the street in front of the fire hydrant.
4. Fire hydrant shall be every 600 ft. for one and two family dwellings as per Section 507.5.1 of 2012 IFC.
5. All streets should be 32 ft. B-B paving section according to Table 8.204 of the Edinburg Unified Development Code.

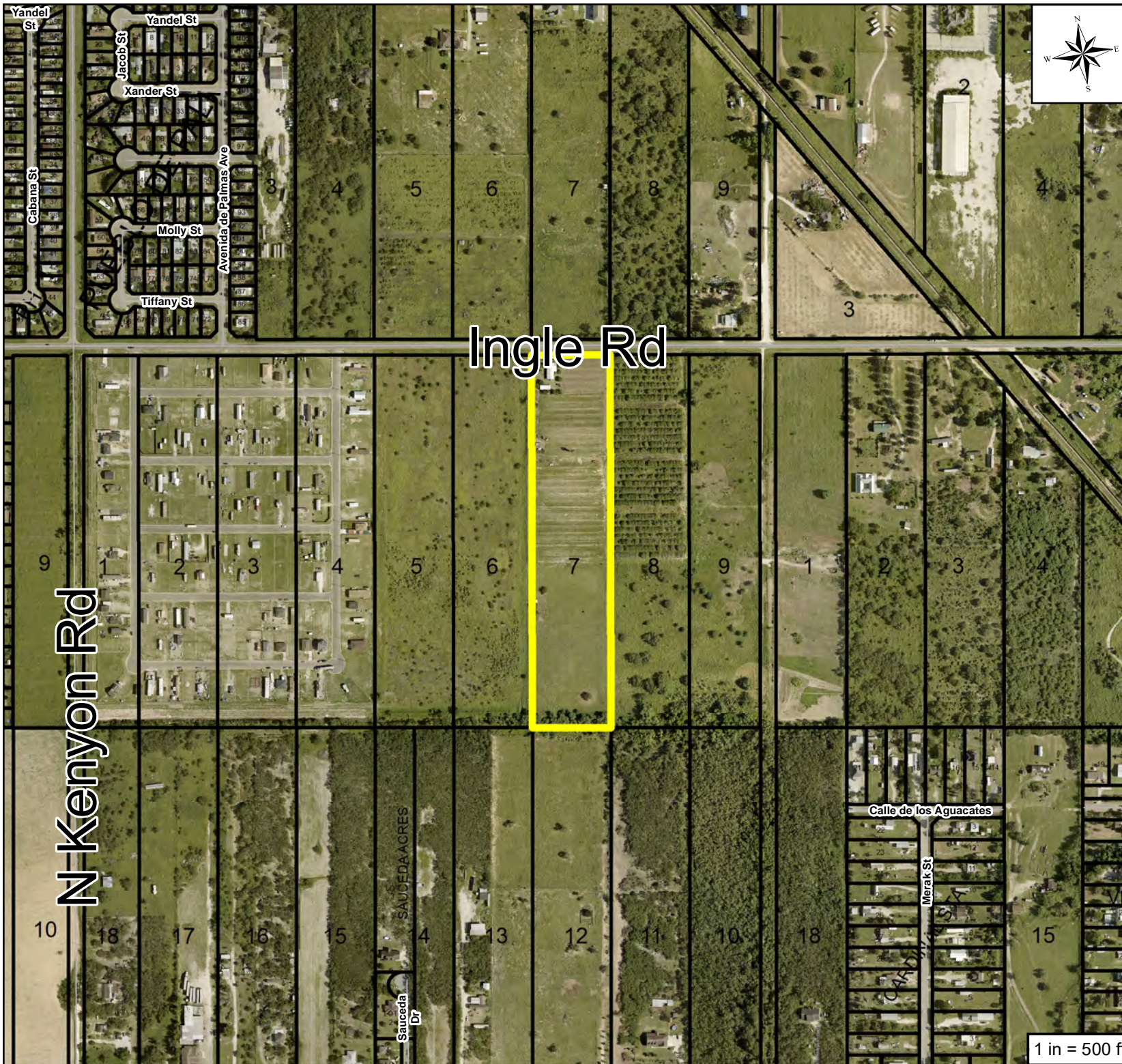
City of Edinburg Storm Water

The following are the preliminary phase submittal comments as noted by Storm Water

1. **SW3P** (Stormwater Pollution Prevention Plan)
2. **NOI** (Notice of Intent, Per TCEQ)
3. **Large Construction Notice** (Per TCEQ Inventory)
4. **Detailed Erosion Control Plan** (Silt Fence, Construction Entrance, Inlet Protection, Concrete Washout)
5. **Detailed Post Construction BMP's Plan** (70% Vegetation or Silt Fence back of curb)
6. **Plat Note** (All construction shall comply with Stormwater Pollution Prevention Plan (SW3P) requirements. Erosion and Sedimentation Controls constructed in accordance with the Stormwater Ordinance 98.30 of the City of Edinburg are required for all construction on each lot including single family and duplex/multi-family construction)
7. **NOT** (Notice of Termination, Per TCEQ) will now be required before the final walk through.
8. **Comments:**
 - SW3P Plat note has been revised. Please see the note for your reference.
 - NOT will need to be submitted before the final walk through.
 - Stormwater is now requiring a Post Construction Plan on plans that are submitted, either 70% vegetation or Install Silt Fence behind the back of curb.
 - Silt Fence around the entire project.
 - Large Construction Notice needs to be submitted with contractors contact information.
 - All items must be submitted before the NTP is issued.
 - Please email pending items to rvalenzuela@cityofedinburg.com

City of Edinburg Solid Waste

Not applicable for Single Family Residential Development.



AERIAL MAP



CASE CAPTION:

SUBDIVISION NAME:

RG ESTATES PHASE III

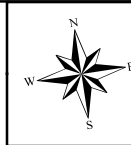
Consider the preliminary Plat of Carmen Avila Subdivision Phase 5 being a 33.13 acre tract out of Tracts 156, San Salvador Del Tule Grant, as per map or plat thereof recorded in Volume 10, Page 58-60, map Records of Hidalgo County, Texas. Located South of Mile 2 1/2 North Road, East of Carmen Avila Road, As requested by Quintanilla, Headley and Associates, Inc.

Legend

-  CITY LIMITS
-  SUBDIVISION SITE

SITE LOCATION MAP





SITE MAP

CASE CAPTION:

SUBDIVISION NAME: RG ESTATES PHASE III

CONSIDER THE PRELIMINARY PLAT OF RG ESTATES PHASE III, BEING A 10.00 ACRE TRACT OUT OF LOT 7, BLOCK 23, SANT CRUZ GARDENS UNIT NO. 2, AS PER MAP OR PLAT THEREOF RECORDED IN VOLUME 8, PAGE 28-29, MAP RECORDS OF HIDALGO COUNTY, TEXAS. LOCATED SOUTH OF INGLE ROAD, WEST OF CESAR CHAVEZ ROAD, AS REQUESTED BY QUINTANILLA, HEADLEY AND ASSOCIATES

Legend

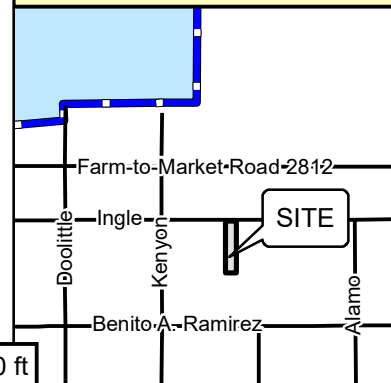


CITY LIMITS



SUBDIVISION SITE

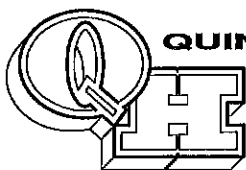
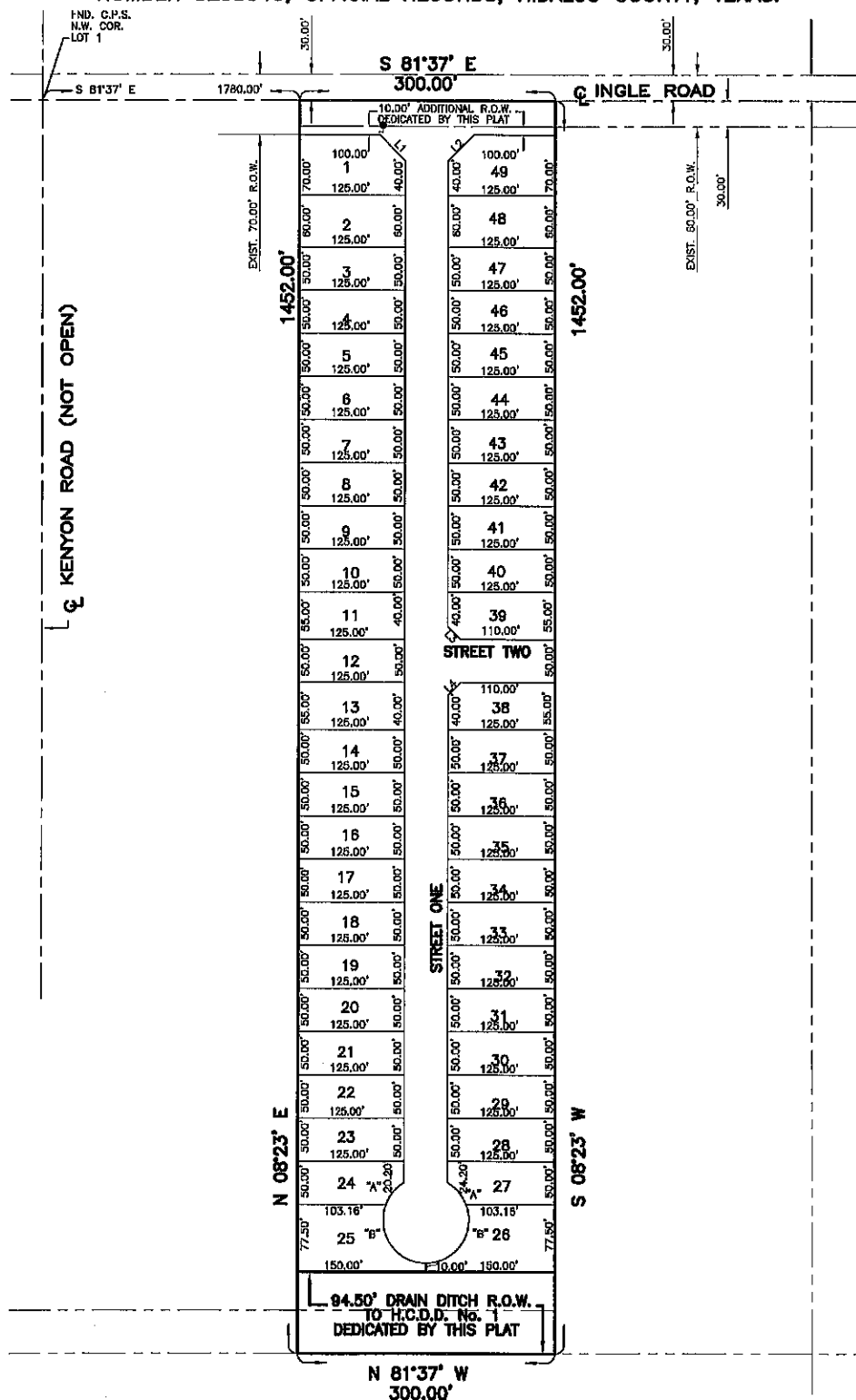
SITE LOCATION MAP



1 in = 1,000 ft

RG ESTATES PHASE III

A 10.00 ACRE TRACT OF LAND BEING ALL OF LOT 7, BLOCK 23, SANTA CRUZ GARDENS UNIT No. 2, HIDALGO COUNTY, TEXAS, ACCORDING TO THE MAP OR PLAT THEREOF RECORDED IN VOLUME 8, PAGES 28 AND 29, MAP RECORDS, HIDALGO COUNTY, TEXAS. AND ACCORDING TO WARRANTY DEED RECORDED UNDER COUNTY CLERK'S DOCUMENT NUMBER 3258946, OFFICIAL RECORDS, HIDALGO COUNTY, TEXAS.



QUINTANILLA, HEADLEY AND ASSOCIATES, INC.

CONSULTING ENGINEERS

124 E. STUBBS ST.
EDINBURG, TEXAS 78539

ENGINEERING REGISTRATION NUMBER F-1513
SURVEYING REGISTRATION NUMBER 100411-00

LAND SURVEYORS

PHONE 956-381-6480

FAX 956-381-0527

ALFONSOQ@QHA-ENG.COM



ENGINEERING DEPARTMENT

Preliminary Staff Review

September 24, 2021

Alfonso Quintanilla, P.E.

Quintanilla, Headley and Associates
124 E. Stubbs St.
Edinburg, TX 78539
(956) 381-6480

RE: RG ESTATES PHASE III SUBDIVISION – PRELIMINARY REVIEW

Mr. Quintanilla,

Attached are the Preliminary Phase Submittal comments for RG Estates Phase III Subdivision. Comments shall be addressed for Preliminary Approval.



Any questions feel free to contact us.

Thanks,

Digitally signed by Peter
Hermida
Date: 2021.09.24
17:50:57 -05'00'

Peter Hermida E.I.T.

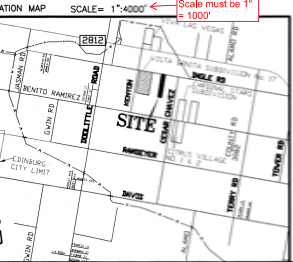
Email: pghermida@cityofedinburg.com

415 W. University Drive
Edinburg, Texas 78539

Cc: Mardoqueo Hinojosa, P.E., CFM, City Engineer, Patrizia Longoria, Engineer III, Roberto Hernandez, Engineer I, Abel Beltran, Planner I, Vince Romero, Director of Public Works, Robert Valenzuela, Storm Water Specialist, Kimberly Mendoza, Director of Planning and Zoning, Rita Lee Guerrero, Planner I, Jaime Xavier Ayala, Planner II, Gerardo Carmona P.E., Director of Utilities, Jose Flores, Systems Superintendent, Omar Garza, Fire Marshal, Ramiro Gomez, Director of Solid Waste

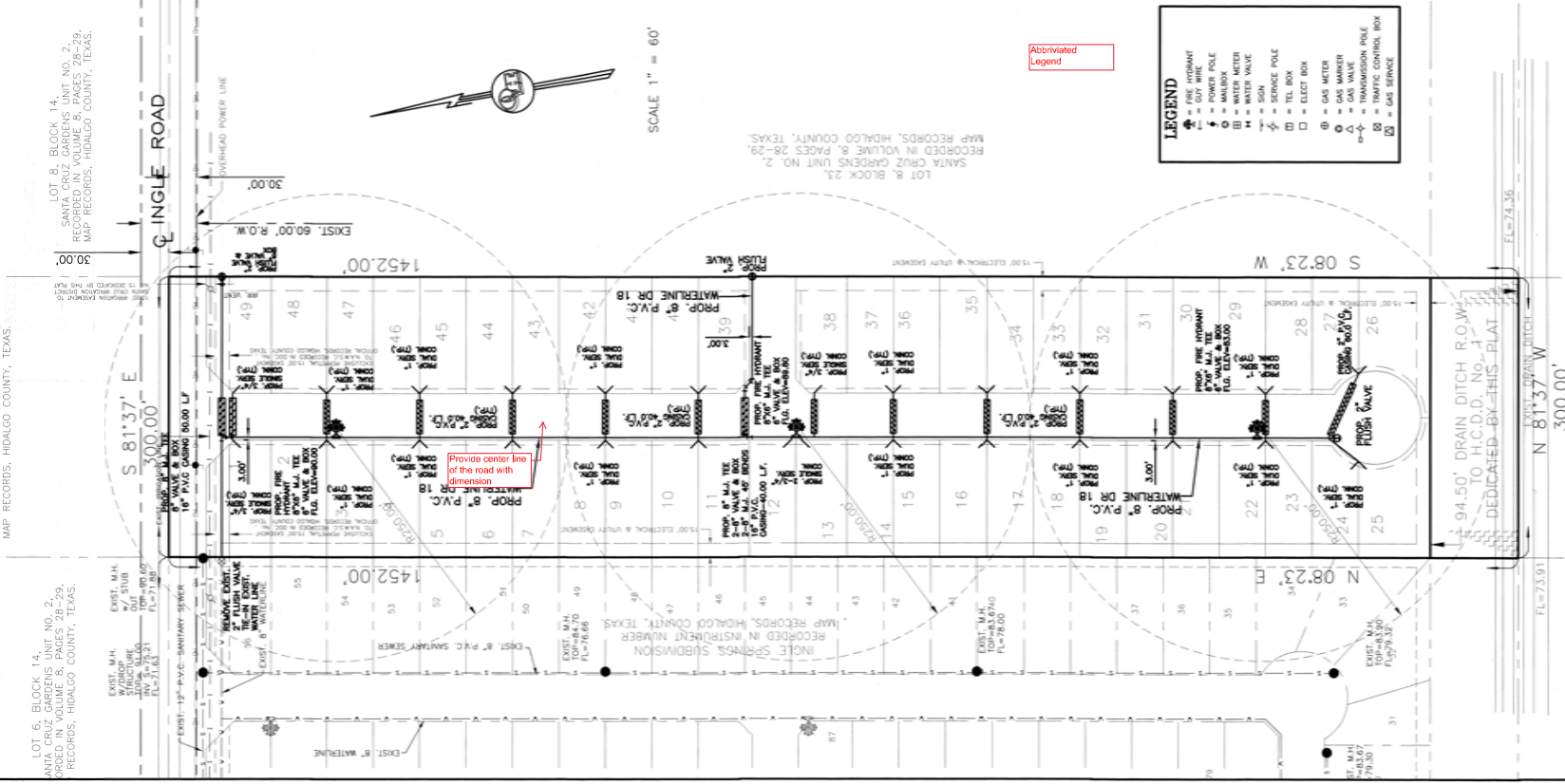
REFERENCES:

City of Edinburg – 2014 Standard Manual – Construction and Development Requirements; Unified Development Code; and if required a TX-Dot Permitting UIR permitting process.

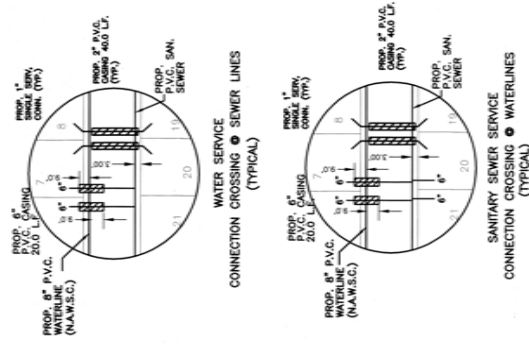
[illegible]

LOT 6, BLOCK 14,
SANTA CRUZ GARDENS UNIT NO. 2,
RECORDED IN VOLUME 8, PAGES 28-29,
RECORDS, HIDALGO COUNTY TEXAS.

LOT 8, BLOCK 14,
SANTA CRUZ GARDENS UNIT NO. 2,
RECORDED IN VOLUME 8, PAGES 28-29,
MAP RECORDS, HIDALGO COUNTY, TEXAS.

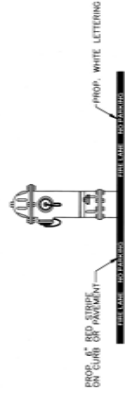


- NOTES:**
1.- ALL WATERLINES SHALL HAVE MIN. 3.0' COVER.
2.- ALL UTILITIES WITHIN ROW'S REQUIRES AND MUST PASS DENSITY TESTING.



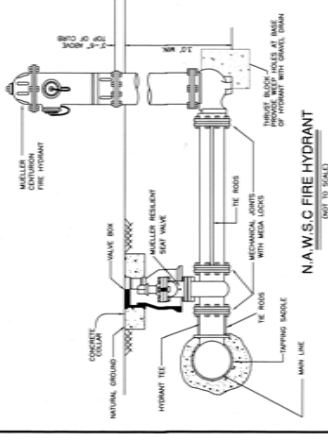
NOTE:
WATERLINE AND SANITARY SEWER CROSSING
(TYPICAL)

- 1.- WATERLINE CASING • SANITARY SEWER CROSSING SHALL BE EXTENDED 9.0' BEYOND SEWER LINE
- 2.- ALL WATERLINE SERVICES CONNECTIONS CASINGS SHALL HAVE A 1.00' GAP FROM LOT LINE AT SANITARY SEWER CROSSING
- 3.- SANITARY SERVICE CASING • WATERLINE CROSSING SHALL BE PLUG AT BOTH ENDS WITH 1/2" GROUT - 1/2" SAND MIXTURE.



FIRE LANE STRIPING DETAIL

- 1.- FIRE LANE TO BE STRIPED AT ALL FIRE HYDRANTS.
- 2.- CURB SHALL BE PAINTED RED WITH WHITE LETTERING READING "NO PARKING"
- 3.- FROM THE CENTER OF THE FIRE HYDRANT AND 15' TO EACH SIDE.
- 4.- DEVELOPER SHALL INSTALL REFLECTIVE BLUE MARKERS IN FRONT OF ALL FIRE HYDRANTS



LOT 11, BLOCK 23,
SANTA CRUZ GARDENS UNIT NO. 2,
RECORDED IN VOLUME 8, PAGES 28-29,
MAP RECORDS, HIDALGO COUNTY, TEXAS.

LOT 12, BLOCK 23,
SANTA CRUZ GARDENS UNIT NO. 2,
RECORDED IN VOLUME 8, PAGES 28-29,
MAP RECORDS, HIDALGO COUNTY, TEXAS.

LOT 12, BLOCK 23,
LA CRUZ GARDENS UNIT NO. 2,
SEEKED IN VOLUME 8, PAGES 28-29,
RECORDS, HIDALGO COUNTY, TEXAS.

J:\DATA\5000\50000000\500 ESTATES PHASE II\WATER SEWER			
DATE PREPARED	PREPARED BY	CHECKED BY	APPROVED BY
08/17/2021	JS		
DATE REVISION	REVISION BY	RECHECKED BY	APPROVED BY



 **QUINTANILLA, HEADLEY AND ASSOCIATES, INC.**

CONSULTING ENGINEERS
124 E. STUDIOS 37
SAN ANTONIO, TEXAS 78239
PHONE 512-381-0577
FAX 512-381-0577
ALFONSO@QBHA-ENG.COM

LAND SURVEYORS
ENGINEERING REGISTRATION NUMBER F-1513
SURVEYING REGISTRATION NUMBER 10041-000

RG ESTATES PHASE III WATER DISTRIBUTION SYSTEM

JOB NO.	
DATE	09/27/2021
REVISION	
SCALE	1"=60'
DRAWN BY	JO
SHEET	

LOT 6, BLOCK 14,
SANTA CRUZ GARDENS UNIT NO. 2,
RECORDED IN VOLUME 8, PAGES 28-29,
MAP RECORDS, HIDALGO COUNTY, TEXAS.

30.00'

LOT 8, BLOCK 14,
SANTA CRUZ GARDENS UNIT NO. 2,
RECORDED IN VOLUME 8, PAGES 28-29,
MAP RECORDS, HIDALGO COUNTY, TEXAS.

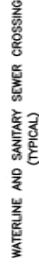
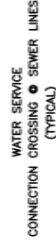
30.00'

P.Y.C. SANITARY -26 128.00 L.F.

P.Y.C. SANITARY -26 178.00 L.F.

MAP RECORDS, HIDALGO COUNTY, TEXAS.

PROF. THE INFO



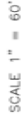
1.- WATERLINE CASING @ SANITARY
SEWER CROSSING SHALL BE
EXTENDED 9.0' BEYOND SEWER
LINE

3.- SANITARY SERVICE CASING • WATERLINE CROSSING SMALL BE PLUG AT BOTH ENDS WITH 1/2 GROUT - 1/2 SAND MIXTURE.

1. All prop, casings on the SS lines are to meet the following criteria:
 - a. All casings are to be green DR-25 PVC, Green.
 - b. All casings are to be 20 LF and centered at the SS and water crossings. If one end of the pipe falls underneath the prop, pavement, then the casing is to extend 2' past the back of curb.
 - c. Do not connect SS services into proposed SS manholes.
 - d. Provide Plan and Profiles
4. All Sanitary Sewer lines shall be green,
5. Sanitary Sewer Manhole spacing shall not exceed 400 LF.
6. Provide Stationing on Utilities



Include Man Hole symbol in legend



LOT 12, BLOCK 23,
SANTA CRUZ GARDENS UNIT NO. 2,
CORDED IN VOLUME 8, PAGES 28-29,
RECORDS, HIDALGO COUNTY, TEXAS.

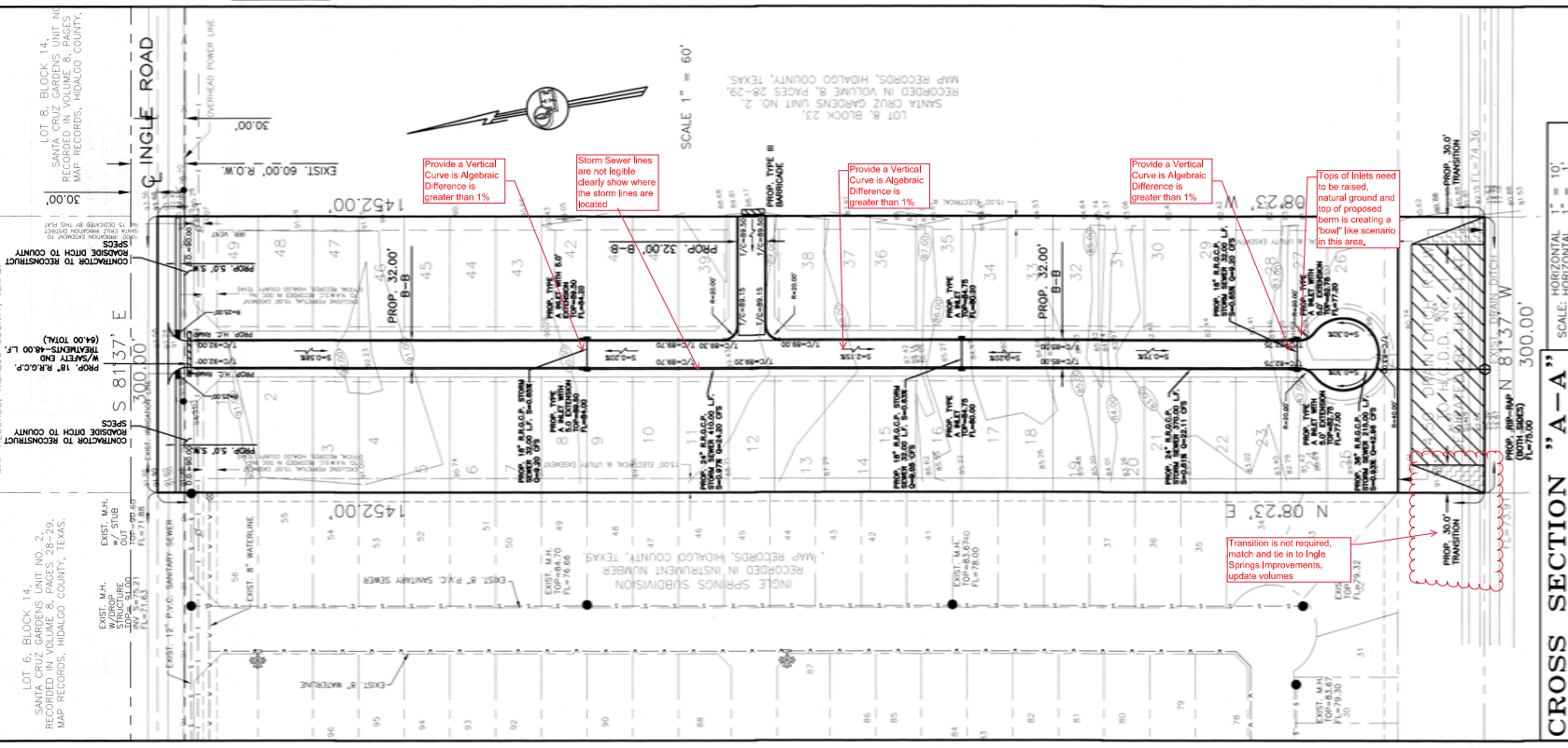
LOT 12, BLOCK 23,
SANTA CRUZ GARDENS UNIT NO. 2,
RECORDED IN VOLUME 8, PAGES 28-29,
MAP RECORDS, HIDALGO COUNTY, TEXAS.

LOT 11, BLOCK 23,
SANTA CRUZ GARDENS UNIT NO. 2,
RECORDED IN VOLUME 8, PAGES 28-29,
MAP RECORDS, HIDALGO COUNTY, TEXAS.



RG ESTATES PHASE III
SANITARY SEWER COLLECTION
SYSTEM

JOB NO.	
DATE	06/27/2021
REVISION	
SCALE	1"=60'
DRAWN BY	JG
SHEET	



NOTES:
1.- ALL PIPES SHALL HAVE MIN. 3.0' COVER.
2.- ALL UTILITIES WITHIN ROW'S REQUIRES AND MUST PASS DENSITY TESTING.
3.-DIRT EXCAVATED FROM DRAIN DITCH SHALL BE SPREAD AT LOCATION DETERMINED BY ENGINEER

LEGEND	
TOTAL DETENTION REQUIRED	- 82,331.27 C.F.
TOTAL DETENTION PROVIDED	- 82,539.00 C.F.
TOTAL EXCAVATION NEEDED	- 94,662.00 C.F.
	(270 L.F. X 305.7 S.F.)
	(270 L.F. X 350.6 S.F.)

General Utility Comments:
1. All materials shall be domestic.
2. All utilities shall have a typical minimum cover of 3LF.
3. Provide Stationing on Utilities.
4. Maximum storm Inlet/Manhole Spacing shall be 600 LF, 300 LF Crest to Sag.
5. Once drainage Plan and Profiles and Drainage areas are provided, Hydraulic Review shall proceed on Proposed Drainage System.(may change size of storm lines)
6. Offsite Excavation/Improvements is acceptable to the City in lieu of a Detention Pond.
7. Rubber Gasketed RCP shall only be accepted not Tongue and Groove.

Abbreviated Legend

LEGEND

- MANHOLE
- POWER POLE
- MAILBOX
- WATER METER
- WATER VALVE
- SEWER POLE
- TEL BOX
- ELECT BOX
- GAS METER
- GAS VALVE
- TRANSMISSION POLE
- TRAFFIC CONTROL BOX
- GAS SERVICE

Include Man Hole symbol in legend

Transition is not required, match and tie in to Ingle Springs Improvements, update volumes

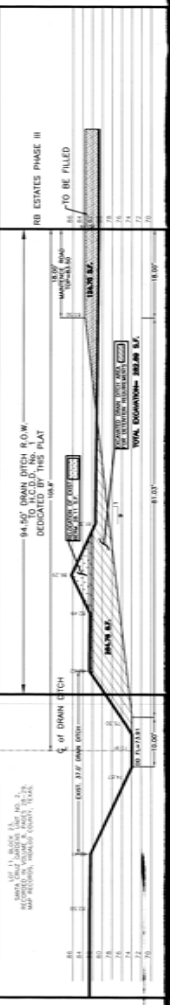
Tops of Inlets need to be raised, natural ground and top of proposed berm is creating a "bowl" like scenario in this area.

Provide a Vertical Curve is Algebraic Difference is greater than 1%

Storm Sewer lines are not legible clearly show where the storm lines are located

Provide a Vertical Curve is Algebraic Difference is greater than 1%

CROSS SECTION "A-A"



QUINTANILLA, HEADLEY AND ASSOCIATES, INC.
CONSULTING ENGINEERS
LAND SURVEYORS
1510 N. 10TH STREET, SUITE 100
EDINBURG, TEXAS 78539
PHONE: 361-3811
FAX: 361-3812
ALFONSO@QHA-ENG.COM



**RG ESTATES PHASE III
PAVING AND DRAINAGE
SYSTEM**

JOB NO. 06/27/2015
DATE 11/14/17
SCALE 1"=40'
SHEET 25



Case #

Edinburg

Planning & Zoning Department
415 W. University Drive
Edinburg, Texas 78539

(956) 388-8202

Subdivision Application

Date: Request Type: Preliminary Plat

1. Developer: RG Estates, LLC 2. Owner/Contact Name: William A. Schwarz, Manager

3. Owner/Contact Phone: (956) 682-4128 4. Owner/Contact Email: butch11111@aol.com

5. Owner Address: 5711 N. 10th St. McAllen, TX 78504

6. Exact Name of Subdivision: RG Estates Phase III 7. Property ID: 278161

8. Current Zoning: N/A Required Zoning: N/A

10. Legal Description:

A 10.00 acre tract of land being all of Lot 7, Block 23, Santa Cruz Gardens Unit No. 2, Hidalgo County, Texas.

11. Inside City Limits? No If "No," is in the Comprehensive Development Area ☒ Rural Development Area

12. Primary Consulting Firm: Quintanilla, Headley & Associates, Inc. 13. Phone: (956) 381-6480

14. Consulting Firm Address: 124 E. Stubbs St. Edinburg, TX 78539

15. Consulting Firm Email(s): alfonsoq@qha-eng.com

16. Desired Land Use Option: Single Family

17. Number of Lots: Single Family 49 Multi-Family Commercial Industrial

18. Proposed Wastewater Treatment: ☒ Sanitary Sewer ☐ OSSF (On-Site Sewage Facility)

19. Electric Power and Light Company to Serve the Proposed Subdivision: AEP (Central Power & Light)

20. Irrigation District: Santa Cruz No. 15 Potable-water Retailer: North Alamo Water Supply Corp.

Owner of record, holding title to real estate within the proposed subdivision. Ownership instrument (i.e. Title Policy, Warranty Deed and Deed of Trust) shall be submitted with application. All such owners are listed immediately below.

Owner Name(s) (Print or Type)	Owner Mailing Address & Zip Code
William A. Schwarz	5711 N. 10th St. McAllen, TX 78504
Owner Phone Number	Owner Email
(956) 682-4128	butch11111@aol.com

Have any of said owners designated agents to submit and revise this plat application on their behalf?

☐ Yes ☒ No (If "Yes" attached duly notarized documentation to that effect, signed by each such owner.)

The undersigned owner(s) of record (or their authorized agents) hereby agree to make all improvements and meet all requirements and standards as specified in the City of Edinburg Unified Development Code and Ordinances. The undersigned hereby request that the Edinburg Planning & Zoning Commission and the City Commission approve the attached subdivision plat. I certify that all items contained in this application and attachments (including all construction plans) are true and correct to the best of my knowledge and not in conflict with any deed restrictions or restrictive covenants. Furthermore, I understand that any omission or incorrect information may result in approval or permit being denied or revoked. Developer's requirement sheet must be completed, signed, and submitted with the application form.

Signature

Date

RECEIVED

SEP 08 2021

Name:

ACKNOWLEDGEMENTS**OWNER**

I acknowledge that the subdivision application is a process. During this process, my application is reviewed by multiple City departments and requires separate and distinct approval by each. I understand that approval by one department does NOT constitute approval by all departments and should not be construed as final approval, clearance, or notice to proceed. Furthermore, review of this application by City staff is dependent upon the accuracy of the information provided. Any information found to be lacking or incorrect may result in my application being delayed or denied. If any portion of my plan changes or must be modified, it is my responsibility to notify City staff as soon as is practicable, and I accept that these changes may result in reassessment, denial, or revocation of any approvals or permits received prior to that time.

Owner/Agent _____

ENGINEER

I have read the information contained on the following Subdivision Plat Fees and Submission Requirements forms and hereby agree to comply with requirements noted herein.

Project Engineer _____

• • • • Division Plat Fees**SUBDIVISION NAME:** RG Estates Phase III**Administrative Fees (select all that apply)****Office Use Only**

- | | | |
|---|-------|-------|
| <input type="checkbox"/> 1. Preliminary Plat, \$ 250 | _____ | _____ |
| <input type="checkbox"/> 2. Final Plat, \$ 200 | _____ | _____ |
| <input type="checkbox"/> 3. Minor Plat, \$ 250 | _____ | _____ |
| <input type="checkbox"/> 4. Amended Plat, \$ 250 | _____ | _____ |
| <input type="checkbox"/> 5. Re-Plat, \$ 250 | _____ | _____ |
| <input type="checkbox"/> 6. Vacating Plat, \$ 250 | _____ | _____ |
| <input type="checkbox"/> 7. Plat Review Fee (2 -5 Mile E.T.J.), \$ 250 | _____ | _____ |
| <input type="checkbox"/> 8. Site Plan Review, \$ 250 | _____ | _____ |
| <input type="checkbox"/> 9. Appeals or Variances, \$ 450 | _____ | _____ |
| <input type="checkbox"/> 10. Voluntary Annexation, \$ 100
Plus Publication Cost: _____ | _____ | _____ |
| <input type="checkbox"/> 11. Land-Clearing Permit, \$ 150 | _____ | _____ |
| <input type="checkbox"/> 12. Street Sign Installation, \$ 200 | _____ | _____ |
| 13. Park Land Fees (Per Unit) | | |
| <input type="checkbox"/> Developer, \$ 300 # of Units: <input type="text"/> | _____ | _____ |
| <input type="checkbox"/> Builder, \$ 300 # of Units: <input type="text"/> | _____ | _____ |
| <input type="checkbox"/> E.T.J. Single Family, \$ 300 <input type="text"/> | _____ | _____ |
| <input type="checkbox"/> E.T.J. Multifamily, \$ 300 <input type="text"/> | _____ | _____ |

Variable (fill as appropriate)

- | | | |
|---|-------|-------|
| <input type="checkbox"/> 14. Administration and Inspection Fee, 2.0% | _____ | _____ |
| <input type="checkbox"/> 15. Construction Materials Testing Fee, 3.0% | _____ | _____ |
| <input type="checkbox"/> 16. Water Right Fees Per Acre, TBD | _____ | _____ |

TOTAL \$ 0.00*** Make all checks payable to the City of Edinburg**

DESCRIPTION	Provided	Need to Provide	Not Applicable	Need to Revise	COMMENTS
Pre-Construction Meeting:					
Notice To Proceed		✓			Dated:
Roadway Open-Cut or Bore Permit Application		✓			Dated:
TX-Dot Water UIR Permit			✓		
TX-Dot Sewer UIR Permit			✓		
N.O.I. Submittal		✓			Dated:
SWPP Booklet Submittal		✓			Dated:
RFI #1 Request		✓			Dated:
Change Orders		✓			Dated:
Final Walk Though		✓			Dated:
Punch List		✓			Dated:
Punch List (Completed and Approved)		✓			Dated:
Letter of Acceptance		✓			Dated:
1-year Warranty (Water/Sewer/Paving/Drainage)		✓			Dated:
Backfill Testing Results		✓			Dated:
As-Builts (Revised Original Submittal)		✓			Dated:
Recording Process:					
Public Improvements with (Letter of Credit)		✓			Dated: Expires:
Recording Fees \$ 106.00		✓			As required by County Clerks office
Copy of H.C.D.D. #1 of invoice		✓			Required to be paid prior to Final Stages
Street Light Escrow \$ -		✓			Required: 0 EA. @ \$ -
Street Escrow (Ingle Road) \$ 20,119.50		✓			Required: 300 EA. @ \$ 67.07
Sidewalk Escrow (Ingle Road) \$ 7,500.00		✓			Required: 300 LF @ \$ 25.00
TOTAL OF ESCROWS: \$ 27,619.50					
Total Developer's Construction Cost: (Letter of Credit)					Date : Lender :
Laboratory Testing Fee: 3% \$ -		✓			\$ - Estimated Construction Cost
Inspection Fee: 2% \$ 552.39		✓			\$ 27,619.50 Final Construction Cost
Park Land Fees: ETJ Park Zone # 4 \$ 29,400.00		✓			49 Lots @ \$ 600.00 Full rate within the ETJ
0 Residential \$ - \$ -			✓		50% Development 50% Building Stage
0 Multi-Family \$ - \$ -			✓		0% Development 0% Building Stage
Water Rights: NAWSC - CCN \$ -			✓		17.256 Acres \$ -
Water 30-year Letter (Residential-ETJ) \$ 245.00			✓		49 Lots @ \$ 5.00 Transfer Fee NAWSC WATER-CCN
Water 30-year Letter (Multi-Family) \$ -			✓		0 Lots @ \$ -
Sewer 30-year Letter COE - CCN \$ 3,981.25			✓		49 Lots @ \$ 81.25 COE SEWER-CCN
TOTAL OF FEES: \$ 34,178.64					
Reimbursements:					
Developer Sewer Improvements \$ -			✓		Off-Site System: 0.000 AC \$ -
Developer Water Improvements \$ -			✓		Off-Site System 0.00 AC \$ -
TOTAL OF REIMBURSEMENTS: \$ -					
Buyouts:					
North Alamo Water Supply Corporation \$ -	✓				Required Buyout 0.00 AC. \$ -
Sharyland Water Supply Corporation			✓		Not Applicable
Tax Certificates					
County of Hidalgo / School District		✓			
Water District		✓			Hidalgo County Irrigation District # 1
Total of Escrows, Fees, Reimbursements and Buyouts:					
Escrows \$ 27,619.50					Street & Sidewalk Improvements for Ramseyer Road
Inspections other Fees \$ 34,178.64					Parkland Fees, Water/Sewer 30-year Agreement/Water Rights
Reimbursements \$ -					Reimbursement to the Developer of Subdivision
City of Edinburg \$ -					15% Payable to the City of Edinburg for Administrative Fee
To the Developer of Record \$ -					85% Payable to the Developer of Record Owner / Developer
Buyouts \$ -					Based on Subdivision (Need Request and Approval rate from ? Broad)
TOTAL : \$ 61,798.14					Developer Total Cost of Fees, Escrows, Reimbursements & Buyouts

STAFF REPORT: COLE CROSSING SUBDIVISION

September 21, 2021

Planning and Zoning Meeting:

October 12, 2021

Agenda Item: 7C

Preliminary Plat

- Subject:** Consider the Preliminary Plat of **COLE CROSSING SUBDIVISION**, being an 18.00-acre tract of land out of Lots 12 & 13, Block 35, Santa Cruz Gardens Unit No. 2, as per map or plat thereof recorded in Volume 8, Page 28, Map Records of Hidalgo County, Texas, located at 2200 Ramseyer Road, as requested by SDI Engineering, Inc.
- Location:** The property is located on the north side of Ramseyer Road, approximately 865 ft. west of Gwin Road and within the City of Edinburg's Extraterritorial Jurisdiction (ETJ).
- Zoning:** Not applicable.
- Analysis:** The Preliminary Plat proposes a single-family residential development with thirty (30) lots averaging approximately 23,020 sq. ft. Setbacks will be determined with ETJ requirements.
- Utilities:** Water Distribution System is within North Alamo Water Supply Corporation, and will utilize a County O.S.S.F. system based on the County standard requirements. All utility improvements within the proposed subdivision that are not limited to water, sewer, curb and gutter, fire hydrants, will be installed by the developer in accordance with the approved 2014 Standards Manual.
-

Recommendations:

City of Edinburg Planning & Zoning Department

Staff recommends approval of the Preliminary Plat, subject to the compliance of the Unified Development Code, General Notes; on FEMA flood zone, zoning setbacks, finish floor elevation, benchmark, drainage detention, parkland fees, limited access, SWP3 requirements, sidewalks, and other notes as required based on development.

City of Edinburg Engineering / Utilities Department

Preliminary Phase Submittal comments for this subdivision are included in the packet. As per Engineering, the plat shall be Preliminarily Approved until all comments have been addressed by the project engineer.

City of Edinburg Fire Department

The following are the preliminary phase submittal comments as noted by the Fire Department:

1. Provide street names to the City of Edinburg Engineering Department for approval.
2. Fire lane 15 ft. in width shall be painted in front of all fire hydrants.
3. Provide double face blue fire hydrant street marker on center on the street in front of the fire hydrant.
4. Fire hydrant shall be every 600 ft. for one and two family dwellings as per Section 507.5.1 of 2012 IFC.
5. All streets should be 32 ft. B-B paving section according to Table 8.204 of the Edinburg Unified Development Code.

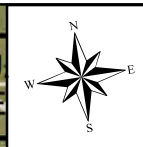
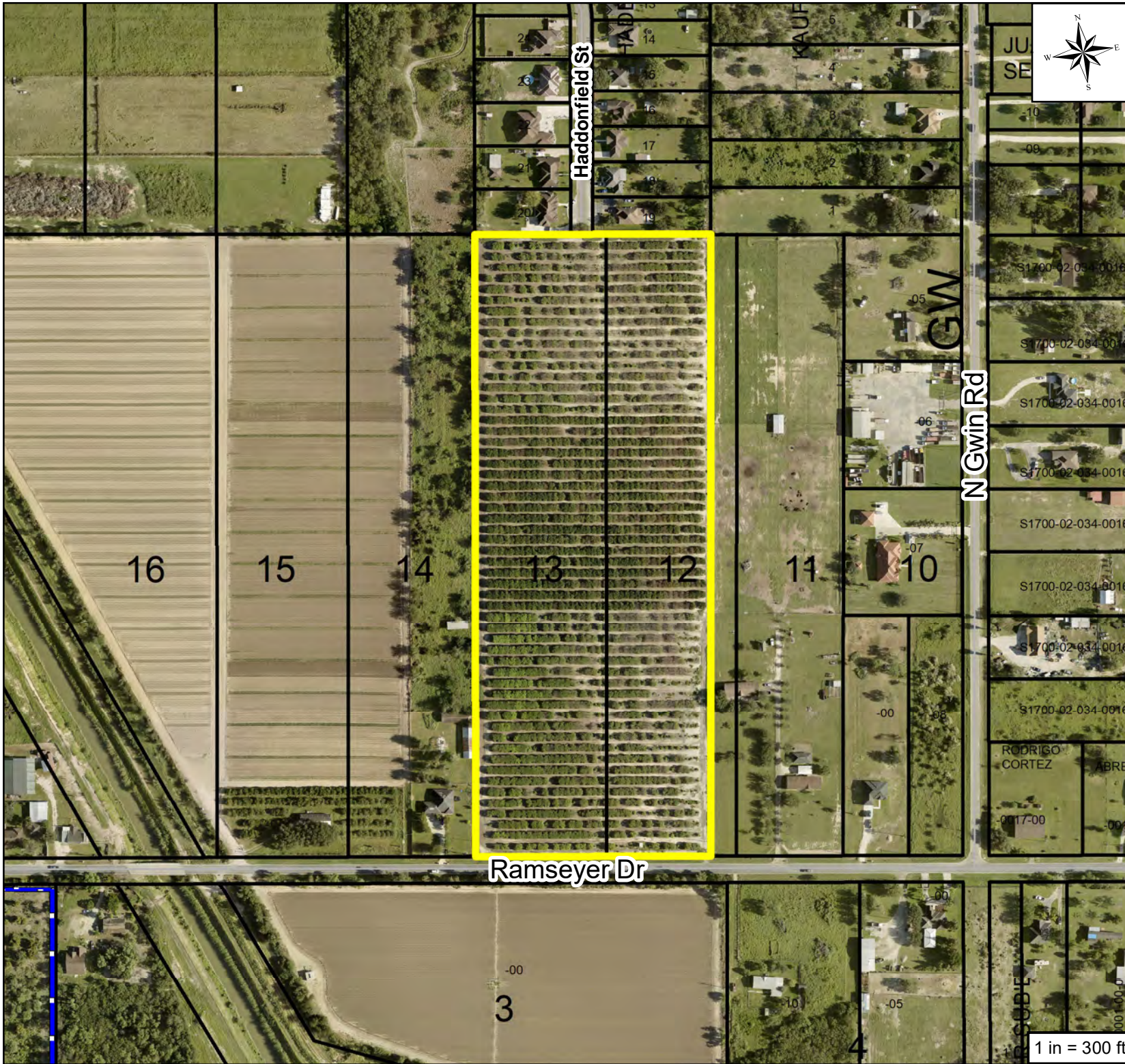
City of Edinburg Storm Water

The following are the preliminary phase submittal comments as noted by Storm Water

1. **SW3P** (Stormwater Pollution Prevention Plan)
2. **NOI** (Notice of Intent, Per TCEQ)
3. **Large Construction Notice** (Per TCEQ Inventory)
4. **Detailed Erosion Control Plan** (Silt Fence, Construction Entrance, Inlet Protection, Concrete Washout)
5. **Detailed Post Construction BMP's Plan** (70% Vegetation or Silt Fence back of curb)
6. **Plat Note** (All construction shall comply with Stormwater Pollution Prevention Plan (SW3P) requirements. Erosion and Sedimentation Controls constructed in accordance with the Stormwater Ordinance 98.30 of the City of Edinburg are required for all construction on each lot including single family and duplex/multi-family construction)
7. **NOT** (Notice of Termination, Per TCEQ) will now be required before the final walk through.
8. **Comments:**
 - SW3P Plat note has been revised. Please see the note for your reference.
 - NOT will need to be submitted before the final walk through.
 - Stormwater is now requiring a Post Construction Plan on plans that are submitted, either 70% vegetation or Install Silt Fence behind the back of curb.
 - Silt Fence around the entire project.
 - Large Construction Notice needs to be submitted with contractors contact information.
 - All items must be submitted before the NTP is issued.
 - Please email pending items to rvalenzuela@cityofedinburg.com

City of Edinburg Solid Waste

Not applicable for Single Family Residential Development.



AERIAL MAP

CASE CAPTION:

SUBDIVISION NAME: COLE CROSSINGS

CONSIDER THE PRELIMINARY PLAT OF COLE CROSSING SUBDIVISION, BEING AN 18.00 -ACRE TRACT OUT OF TRACTS 12 & 13, BLOCK 35 SANTA CRUZ GARDENS UNIT NO. 2, AS PER MAP OR PLAT THEREOF RECORDED IN VOLUME 8, PAGE 28, MAP RECORDS OF HIDALGO COUNTY, TEXAS. LOCATED AT 2200 RAMSEYER ROAD, AS REQUESTED BY SDI ENGINEERING, INC. LLC

Legend

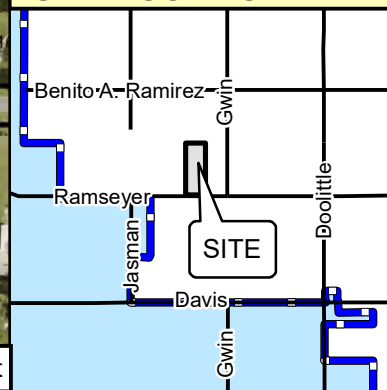


CITY LIMITS

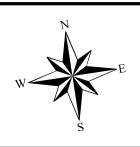
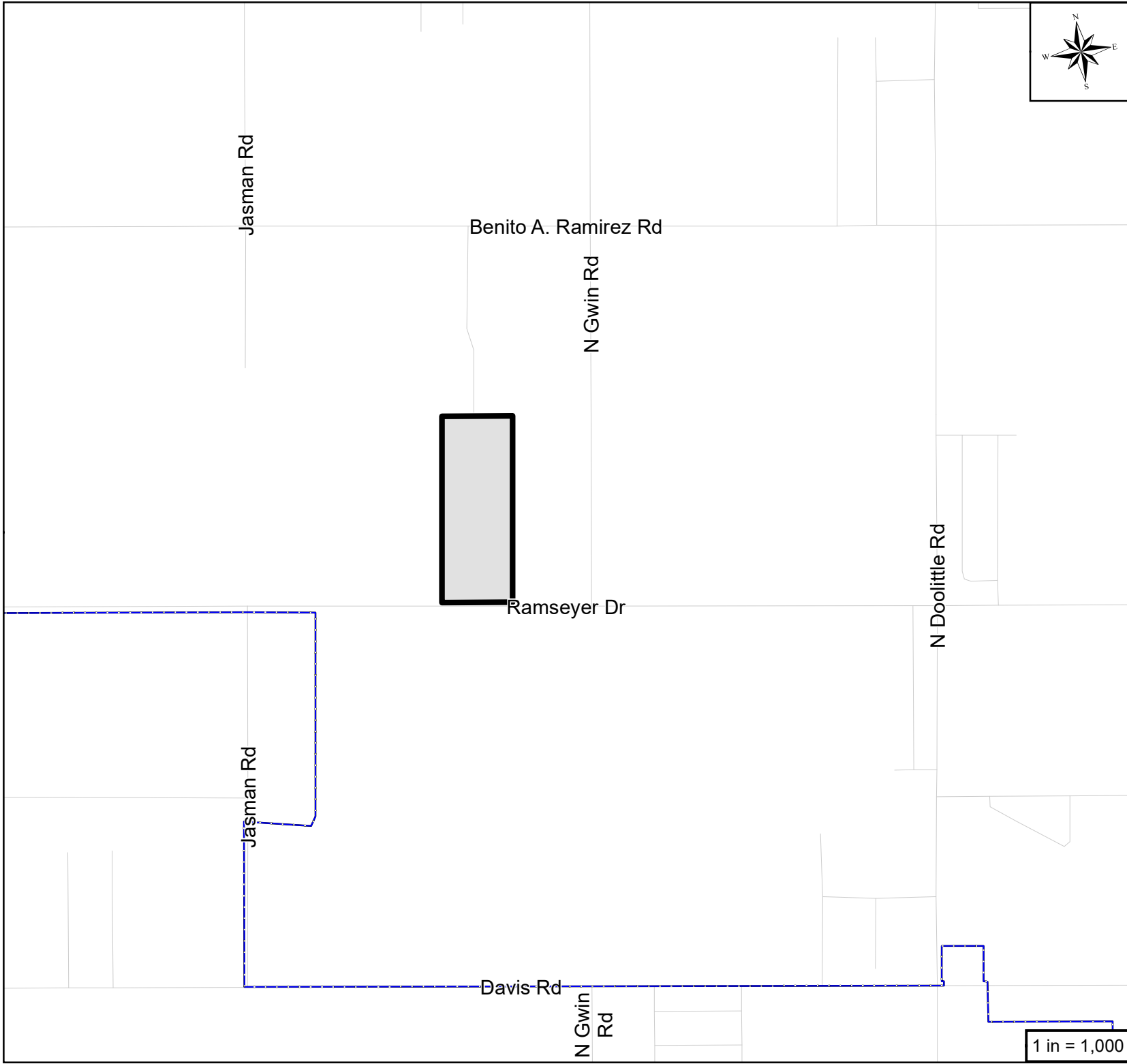


SUBDIVISION SITE

SITE LOCATION MAP



1 in = 300 ft





SITE MAP

CASE CAPTION:

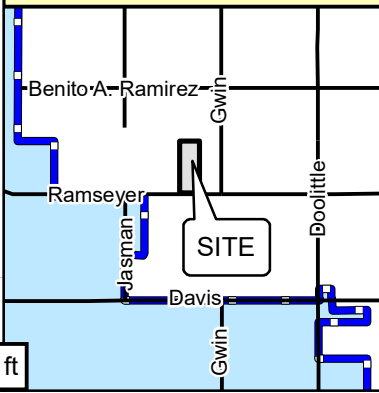
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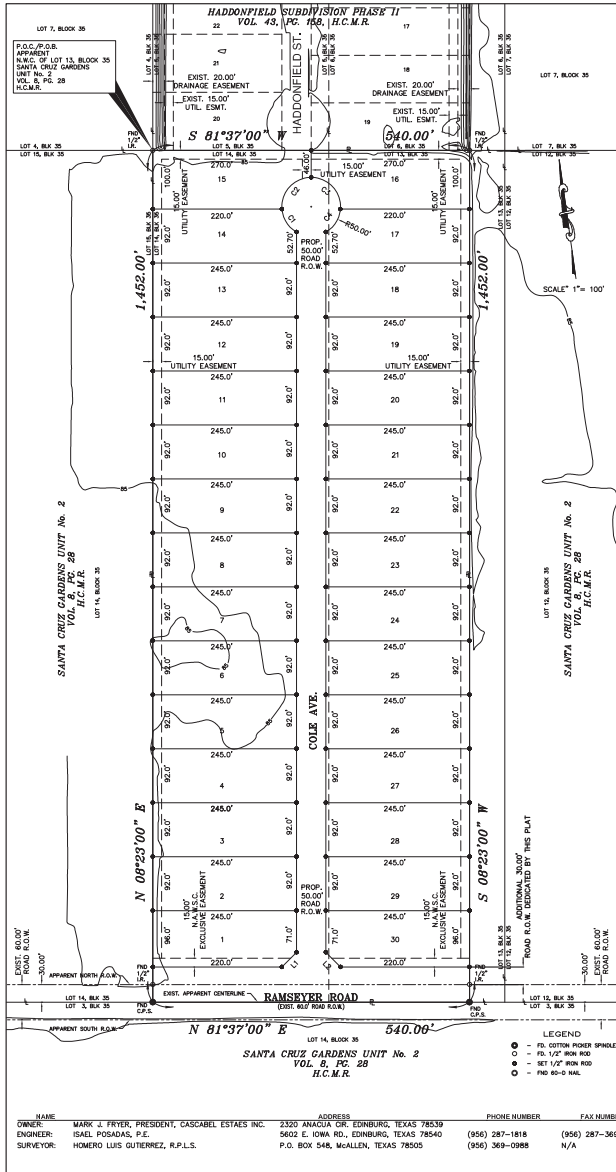
Legend

-  CITY LIMITS
-  SUBDIVISION SITE

SITE LOCATION MAP



1 in = 1,000 ft



STATE OF TEXAS
COUNTY OF HIDALGO

OWNER'S DECLARATION, CERTIFICATION, AND ATTESTATION:

I, MARK J. FRYER, PRESIDENT, CASABIL ESTATES INC., AS OWNER OF THE 18.000 ACRE TRACT OF LAND ENCOMPASSED WITHIN THE PROPOSED COLE CROSSING SUBDIVISION, HEREBY CERTIFY THAT THE LAND IS OFFERED IN THIS SUBDIVISION PLAT AND SUBORDINATE TO PUBLIC USE THE STREET, PARK, AND EASEMENTS SHOWN HEREIN. I CERTIFY THAT I HAVE COMPLIED WITH THE REQUIREMENTS OF TEXAS LOCAL GOVERNMENT CODE, 232.032 AND THAT: (A) THE WATER QUALITY AND CONNECTIONS TO THE LOTS MEET, OR WILL MEET, THE MINIMUM STATE STANDARDS; (B) THE WATER CONNECTIONS TO THE LOTS MEET, OR WILL MEET, THE MINIMUM REQUIREMENTS OF THE STATE STANDARDS; (C) ELECTRICAL CONNECTIONS PROVIDED TO THE LOTS MEET, OR WILL MEET, THE MINIMUM STATE STANDARDS; AND (D) GAS CONNECTIONS, IF AVAILABLE, PROVIDED TO THE LOTS MEET, OR WILL MEET, THE MINIMUM STATE STANDARDS. I ATTEST THAT THE MATTERS ASSERTED IN THIS PLAT ARE TRUE AND COMPLETE.

DATE: _____
MARK J. FRYER, PRESIDENT
CASABIL ESTATES INC.
2320 ANACUA CIRCLE
EDINBURG, TEXAS 78539

STATE OF TEXAS
COUNTY OF HIDALGO:

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED _____, SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE EXECUTES THE SAME FOR PURPOSES AND CONSIDERATION THEREIN STATED, WHEN UNDER MY HAND AND SEAL OF OFFICE THIS _____ DAY OF _____, 2021.

NOTARY PUBLIC (MY COMMISSION EXPIRES ON _____)
MY COMMISSION EXPIRES ON _____

HIDALGO COUNTY
CERTIFICATE OF PLAT APPROVAL
UNDER LOCAL GOVERNMENT CODE S 232.028(A)

WE, THE UNDERSIGNED CERTIFY THAT THIS PLAT OF _____ WAS REVIEWED AND APPROVED BY THE HIDALGO COUNTY COMMISSIONERS ON _____, 2021.

HIDALGO COUNTY JUDGE _____ DATE _____

ATTEST: HIDALGO COUNTY CLERK _____ DATE _____

STATE OF TEXAS
COUNTY OF HIDALGO

I, THE UNDERSIGNED MAYOR OF THE CITY OF EDINBURG, TEXAS, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEN BY APPROVAL IS REQUIRED ON THE _____ DAY OF _____, 2021.

BAYLOR, CITY OF EDINBURG _____ DATE _____ CITY SECRETARY _____ DATE _____

STATE OF TEXAS
COUNTY OF HIDALGO

THE SUBDIVISION PLAT OF COLE CROSSING SUBDIVISION HAS BEEN SUBMITTED TO AND CONSIDERED BY THE PLANNING AND ZONING COMMISSION OF THE CITY OF EDINBURG, TEXAS, AND IS HEREBY APPROVED BY SUCH COMMISSION.

DATED THIS _____ DAY OF _____, 2021, A.D.

CHAIRPERSON, PLANNING & ZONING COMMISSION _____

APPROVED BY DRAINAGE DISTRICT NO. 1

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEXAS WATER CODE, 46.0101. THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE PROPOSED SUBDIVISION, BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF DEVELOPERS OF THE SUBDIVISION AND ITS OWNERS TO PROVIDE NECESSARY IRRIGATION FACILITIES FOR SUCH LOTS FROM THE CLOSEST DISTRICT DELIVERY POINT BE PROVIDED, WITH THE LOT OWNERS BEING RESPONSIBLE TO INSTALL SUCH NECESSARY FACILITIES.

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1

RAUL E. REIN, P.E., C.F.M.
GENERAL MANAGER _____ DATE _____

SANTA CRUZ IRRIGATION DISTRICT NO. 15

THIS PLAT APPROVED BY SANTA CRUZ IRRIGATION DISTRICT NO. 15 ON THIS _____ DAY OF _____, 2021 SUBJECT TO THE FOLLOWING: 1) NO BUILDINGS ALLOWED ON TOP OF AN IRRIGATION LINE, 2) FIFTY FOOT (50') EASEMENT ON EACH SIDE OF IRRIGATION LINE OR CANAL, 3) ALL LOTS SUBJECT TO RULES, REGULATIONS, RIGHTS-OF-WAY, AND EASEMENTS OF DISTRICT, AND 4) IF SUBDIVISION IS NOT EXCLUDED FROM DISTRICT AND IRRIGATION IS DESIRED, EASEMENTS FOR NECESSARY IRRIGATION FACILITIES FOR SUCH LOTS FROM THE CLOSEST DISTRICT DELIVERY POINT BE PROVIDED, WITH THE LOT OWNERS BEING RESPONSIBLE TO INSTALL SUCH NECESSARY FACILITIES.

STATE OF TEXAS
COUNTY OF HIDALGO

I, RAUL POSADA, A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN TO THIS PLAT AND THAT THERE ARE NO VISIBLE EASEMENTS OR ENCROACHMENTS EXCEPT AS SHOWN AND THAT ALL CORNERS HAVE BEEN LOCATED AS INDICATED.

DATED THIS _____ DAY OF _____, 2021.

RAUL POSADA, P.E.
LICENSED PROFESSIONAL ENGINEER NO. 89438 _____ DATE _____

STATE OF TEXAS
COUNTY OF HIDALGO

I, HOMERO L. GUTIERREZ, REGISTERED LAND SURVEYOR IN THE STATE OF TEXAS, STATE THAT THE ABOVE SUBDIVISION PLAT IS AN ACTUAL SURVEY MADE ON THE GROUND AND THAT THERE ARE NO VISIBLE EASEMENTS OR ENCROACHMENTS EXCEPT AS SHOWN AND THAT ALL CORNERS HAVE BEEN LOCATED AS INDICATED.

DATED THIS _____ DAY OF _____, 2021.

HOMERO LUIS GUTIERREZ, R.L.S., No. 2791 _____ DATE _____

FILED FOR RECORD IN _____
HIDALGO COUNTY _____
ARTURO GUILLERMO, JR.,
HIDALGO COUNTY CLERK _____

IN WITNESS WHEREOF OF said Auditor executed this instrument this _____ day of _____, 2021.

STATE OF TEXAS
COUNTY OF HIDALGO

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STATE OF TEXAS
COUNTY OF HIDALGO

I, HOMERO L. GUTIERREZ, REGISTERED LAND SURVEYOR IN THE STATE OF TEXAS, STATE THAT THE ABOVE SUBDIVISION PLAT IS AN ACTUAL SURVEY MADE ON THE GROUND AND THAT THERE ARE NO VISIBLE EASEMENTS OR ENCROACHMENTS EXCEPT AS SHOWN AND THAT ALL CORNERS HAVE BEEN LOCATED AS INDICATED.

DATED THIS _____ DAY OF _____, 2021.

HOMERO LUIS GUTIERREZ, R.L.S., No. 2791 _____ DATE _____

FILED FOR RECORD IN _____
HIDALGO COUNTY _____
ARTURO GUILLERMO, JR.,
HIDALGO COUNTY CLERK _____

IN WITNESS WHEREOF OF said Auditor executed this instrument this _____ day of _____, 2021.

STATE OF TEXAS
COUNTY OF HIDALGO

I, HOMERO L. GUTIERREZ, REGISTERED LAND SURVEYOR IN THE STATE OF TEXAS, STATE THAT THE ABOVE SUBDIVISION PLAT IS AN ACTUAL SURVEY MADE ON THE GROUND AND THAT THERE ARE NO VISIBLE EASEMENTS OR ENCROACHMENTS EXCEPT AS SHOWN AND THAT ALL CORNERS HAVE BEEN LOCATED AS INDICATED.

DATED THIS _____ DAY OF _____, 2021.

HOMERO LUIS GUTIERREZ, R.L.S., No. 2791 _____ DATE _____

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HIDALGO COUNTY _____
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HIDALGO COUNTY CLERK _____

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STATE OF TEXAS
COUNTY OF HIDALGO

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HIDALGO COUNTY CLERK _____

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STATE OF TEXAS
COUNTY OF HIDALGO

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STATE OF TEXAS
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HOMERO LUIS GUTIERREZ, R.L.S., No. 2791 _____ DATE _____

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HIDALGO COUNTY _____
ARTURO GUILLERMO, JR.,
HIDALGO COUNTY CLERK _____

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HOMERO LUIS GUTIERREZ, R.L.S., No. 2791 _____ DATE _____

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HIDALGO COUNTY _____
ARTURO GUILLERMO, JR.,
HIDALGO COUNTY CLERK _____

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STATE OF TEXAS
COUNTY OF HIDALGO

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DATED THIS _____ DAY OF _____, 2021.

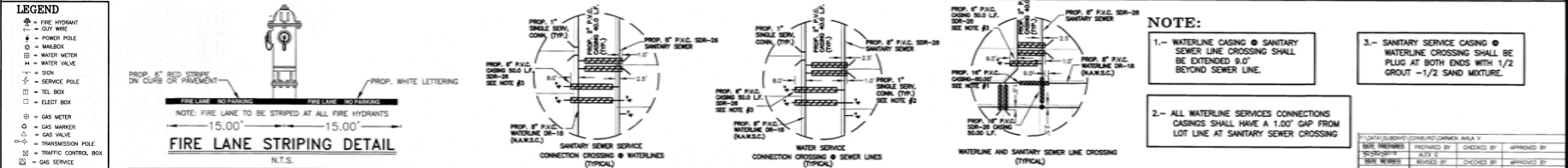
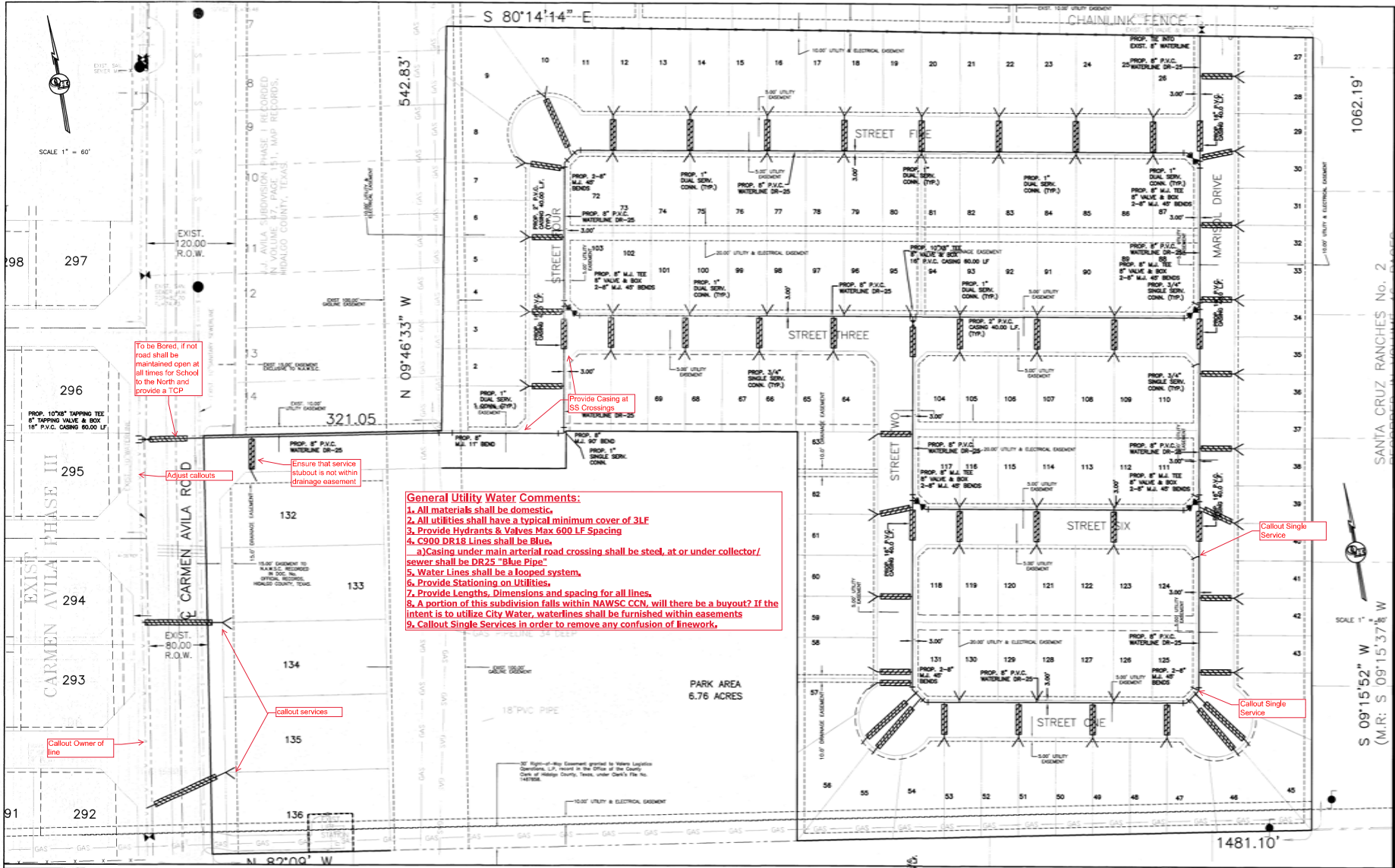
HOMERO LUIS GUTIERREZ, R.L.S., No. 2791 _____ DATE _____

FILED FOR RECORD IN _____
HIDALGO COUNTY _____
ARTURO GUILLERMO, JR.,
HIDALGO COUNTY CLERK _____

IN WITNESS WHEREOF OF said Auditor executed this instrument this _____ day of _____, 2021.

STATE OF TEXAS
COUNTY OF HIDALGO

I, HOMERO L. GUTIERREZ, REGISTERED LAND SURVEYOR IN THE STATE OF TEXAS, STATE THAT THE ABOVE SUBDIVISION PL



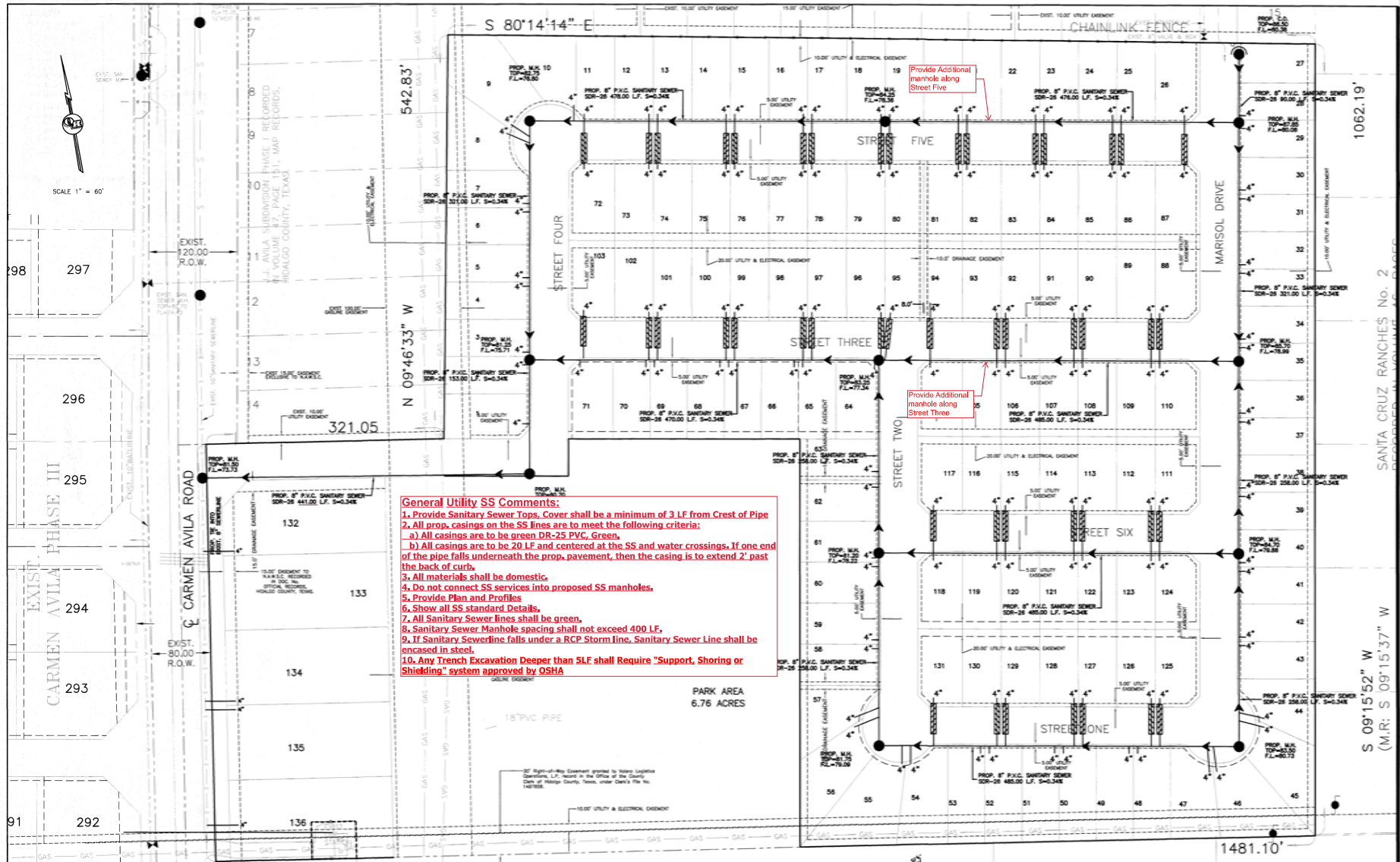
**CARMEN AVILA SUBDIVISION
PHASE V
WATER DISTRIBUTION
LAYOUT**

SANTA CRUZ RANCHES No. 2

DATE: MAY 21, 2021
SCALE: 1"=40'
SHEET: 1 OF 1

9-15-21

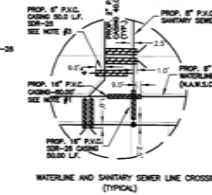
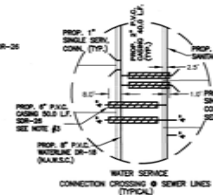
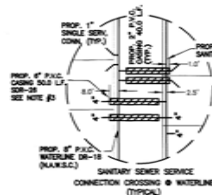
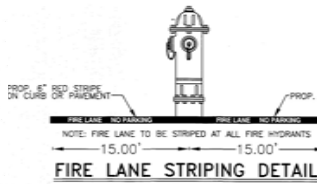
QUINTANILLA, HEADLEY AND ASSOCIATES, INC.
LAND SURVEYORS
124 E. STUBBS ST.
EDINBURG, TEXAS 78539
PHONE: 958-381-6480
FAX: 958-381-0027
AUFORSOR@QHA-ENG.COM



General Utility SS Comments:
 1. Provide Sanitary Sewer Tops. Cover shall be a minimum of 3 LF from Crest of Pipe
 2. All prop. casings on the SS lines are to meet the following criteria:
 a) All casings are to be green DR-25 PVC, Green.
 b) All casings are to be 20 LF and centered at the SS and water crossings. If one end of the pipe falls underneath the prop. pavement, then the casing is to extend 2' past the back of curb.
 3. All materials shall be domestic.
 4. Do not connect SS services into proposed SS manholes.
 5. Provide Plan and Profiles
 6. Show all SS standard Details.
 7. All Sanitary Sewer lines shall be green.
 8. Sanitary Sewer Manhole spacing shall not exceed 400 LF.
 9. If Sanitary Sewerline falls under a RCP Storm Line, Sanitary Sewer Line shall be encased in steel.
 10. Any Trench Excavation Deeper than 5LF shall Require "Support, Shoring or Shielding" system approved by OSHA

LEGEND

- = FIRE HYDRANT
- = GAS MAIN
- = POWER POLE
- = MAILBOX
- = WATER METER
- = WATER VALVE
- = SOIL
- = SERVICE POLE
- = TEL BOX
- = ELECT BOX
- = GAS METER
- = GAS VALVE
- = TRANSMISSION POLE
- = TRAFFIC CONTROL BOX
- = GAS SERVICE



NOTE:

1. WATERLINE CASING @ SANITARY SEWER LINE CROSSING SHALL BE EXTENDED 8.0' BEYOND SEWER LINE.
2. ALL WATERLINE SERVICES CONNECTIONS CASINGS SHALL HAVE A 1.00' GAP FROM LOT LINE AT SANITARY SEWER CROSSING

3. SANITARY SERVICE CASING @ WATERLINE CROSSING SHALL BE PLUGGED AT BOTH ENDS WITH 1/2 GROUT - 1/2 SAND MIXTURE.

DESIGNED BY: J. L. GARCIA
 DATE PREPARED: MAY 24, 2011
 PREPARED BY: J. L. GARCIA
 DATE REVISION: MAY 24, 2011
 REVISION BY: J. L. GARCIA
 CHECKED BY: J. L. GARCIA
 APPROVED BY: J. L. GARCIA

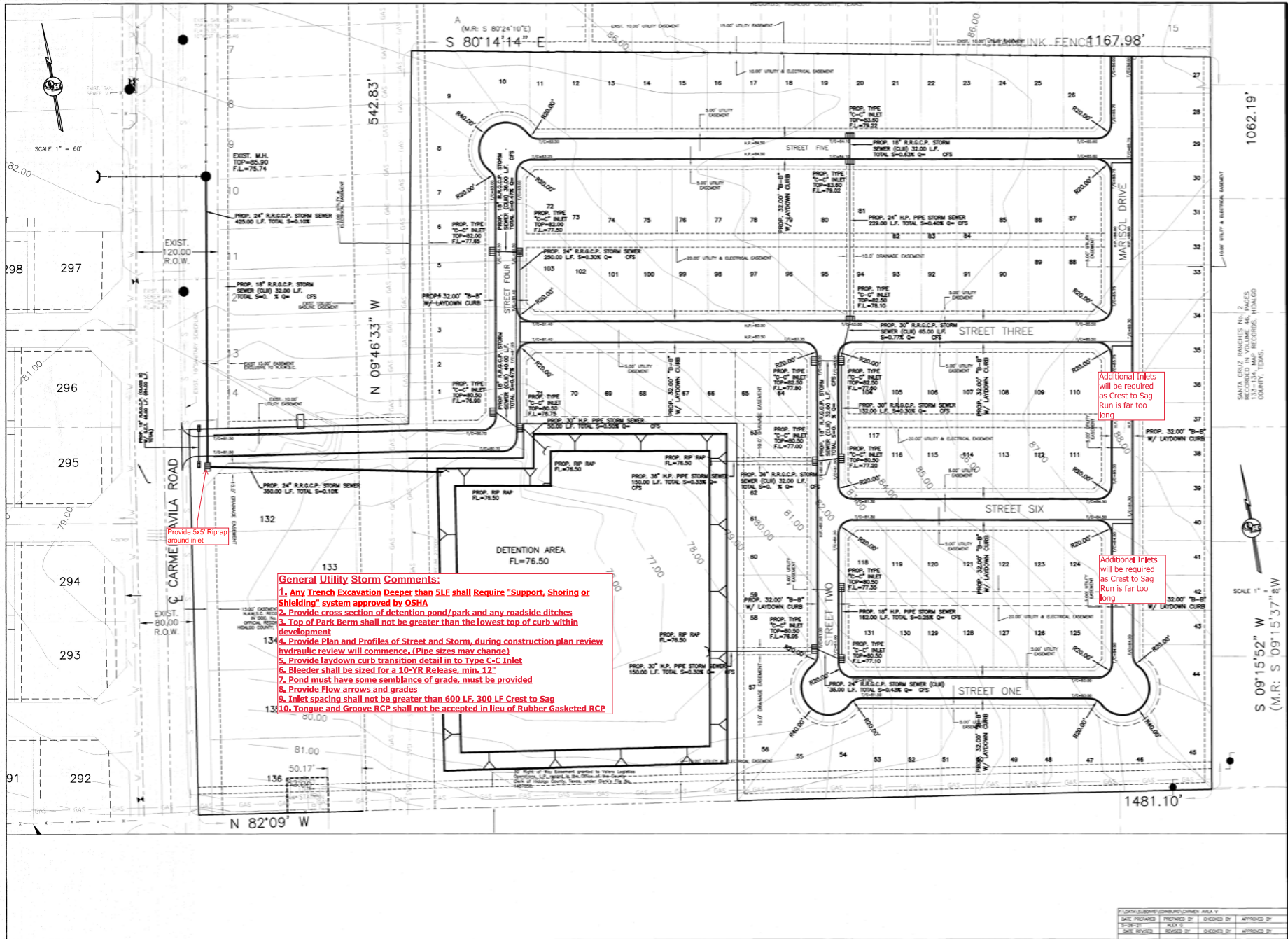
DATE: MAY 24, 2011
 REVISION: 1
 SCALE: 1"=40'
 DRAWN BY: J. L. GARCIA
 SHEET: 1
 APPROVED: J. L. GARCIA

CARMEN AVILA SUBDIVISION PHASE V SANITARY SEWER COLLECTION SYSTEM LAYOUT



QUINTANILLA, HEADLEY AND ASSOCIATES, INC.
 CONSULTING ENGINEERS
 124 E. STUBBS ST.
 AUSTIN, TEXAS 78701
 PHONE: 512-476-1640
 FAX: 512-476-1641
 SURVEYING REGISTRATION NUMBER: 100411-00





JOB NO.	100411-00
DATE	MAY 21, 2011
REVISION	
SCALE	1"=60'
DRAWN BY	ALX 0
CHECKED BY	
APPROVED BY	

**CARMEN AVILA SUBDIVISION
PHASE V
PAVING & DRAINAGE
LAYOUT**

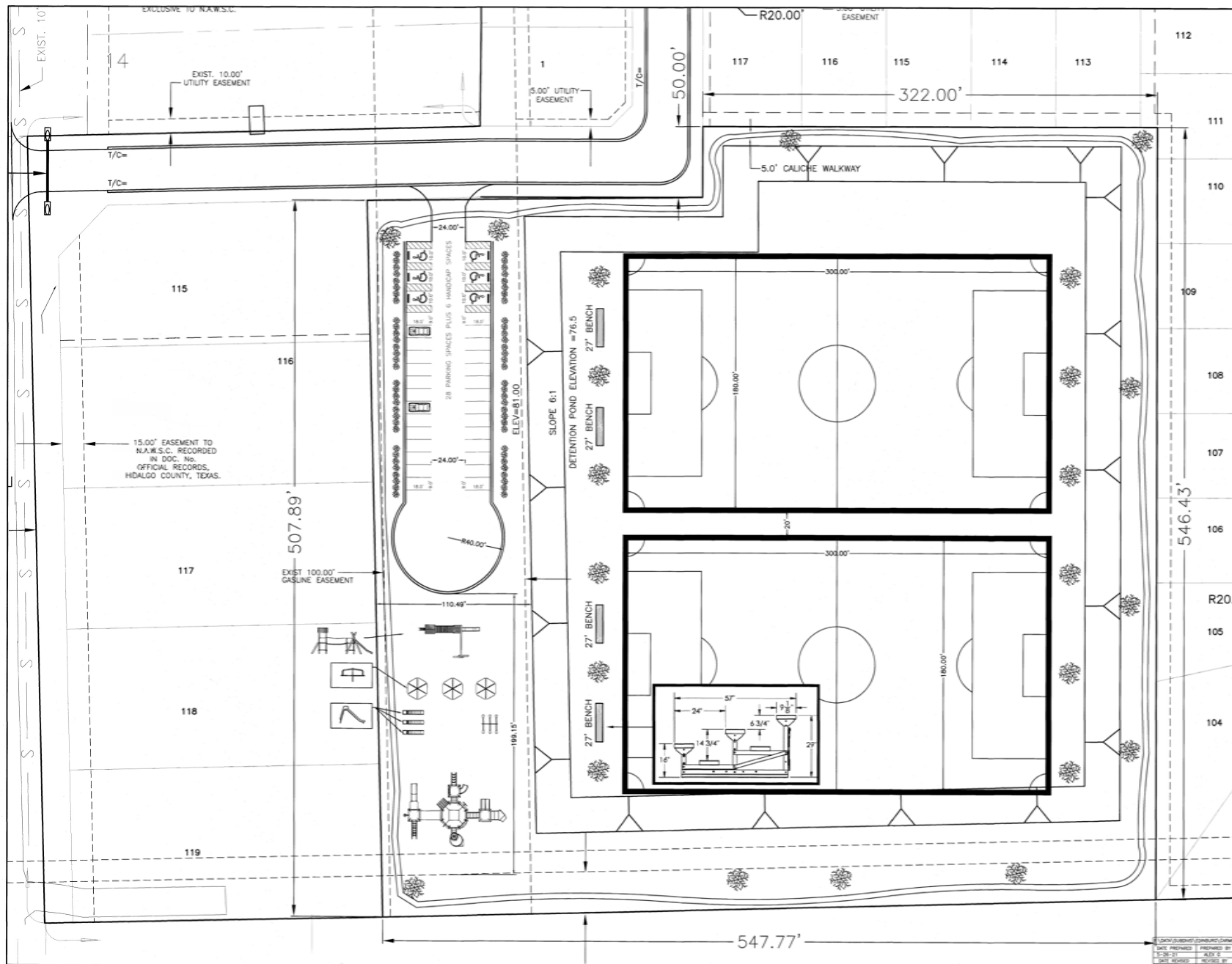
9/5-21



QUINTANILLA, HEADLEY AND ASSOCIATES, INC.
CONSULTING ENGINEERS
124 E. STURGIS ST.
EDWING, TEXAS 78549
PHONE 936-381-6480
FAX 936-381-0327
ALFONSO@QHA-ENG.COM

100411-00

DATE PREPARED	PREPARED BY	CHECKED BY	APPROVED BY
DATE REVISED	REVISED BY	CHECKED BY	APPROVED BY



JOB NO.	DATE
REVISION	REVISION
SCALE	1"=30'
SHEET	1 OF 9
APPROVED	

CARMEN AVILA SUBDIVISION PHASE V PARK LAYOUT

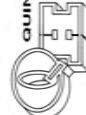
NOT FOR CONSTRUCTION

THIS DOCUMENT IS RELEASED FOR THE PURPOSES OF INTERIM REVIEW UNDER THE AUTHORITY OF MARCO A. GONZALEZ, P.E., TEXAS REGISTRATION NO. 100016. THIS DOCUMENT IS INTENDED FOR REVIEW ONLY AND IS NOT INTENDED FOR BIDDING, PERMIT OR CONSTRUCTION PURPOSES.

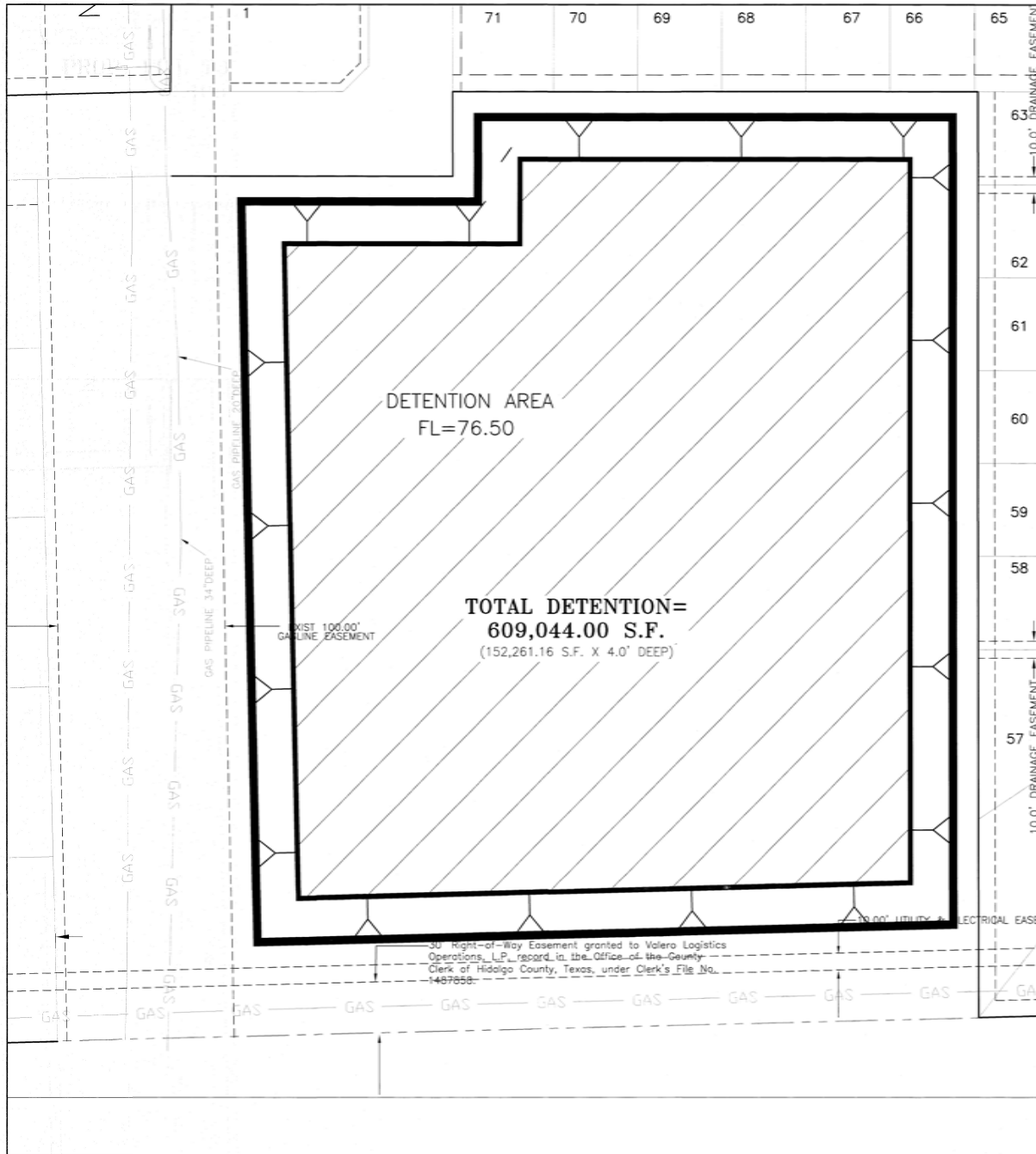
DATE: Sep 13, 2021



QUINTANILLA, HEADLEY AND ASSOCIATES, INC.
CONSULTING ENGINEERS
LAND SURVEYORS
PHONE 511-6480
FAX 511-6480
EDINBURG, TEXAS 78539
REGISTRATION NUMBER 11-1513
SURVEYING REGISTRATION NUMBER 109411-00



DATE PREPARED	PREPARED BY	CHECKED BY	APPROVED BY
DATE REVIEWED	REVIEWED BY	CHECKED BY	APPROVED BY



LEGEND
TOTAL DETENTION REQUIRED - 184,101.67 C.F.
TOTAL DETENTION PROVIDED - 609,044.00 C.F.
 (152,261.16 S.F. X 4.0' DEEP)

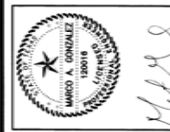


SCALE 1" = 60'

SCALE 1" = 60'

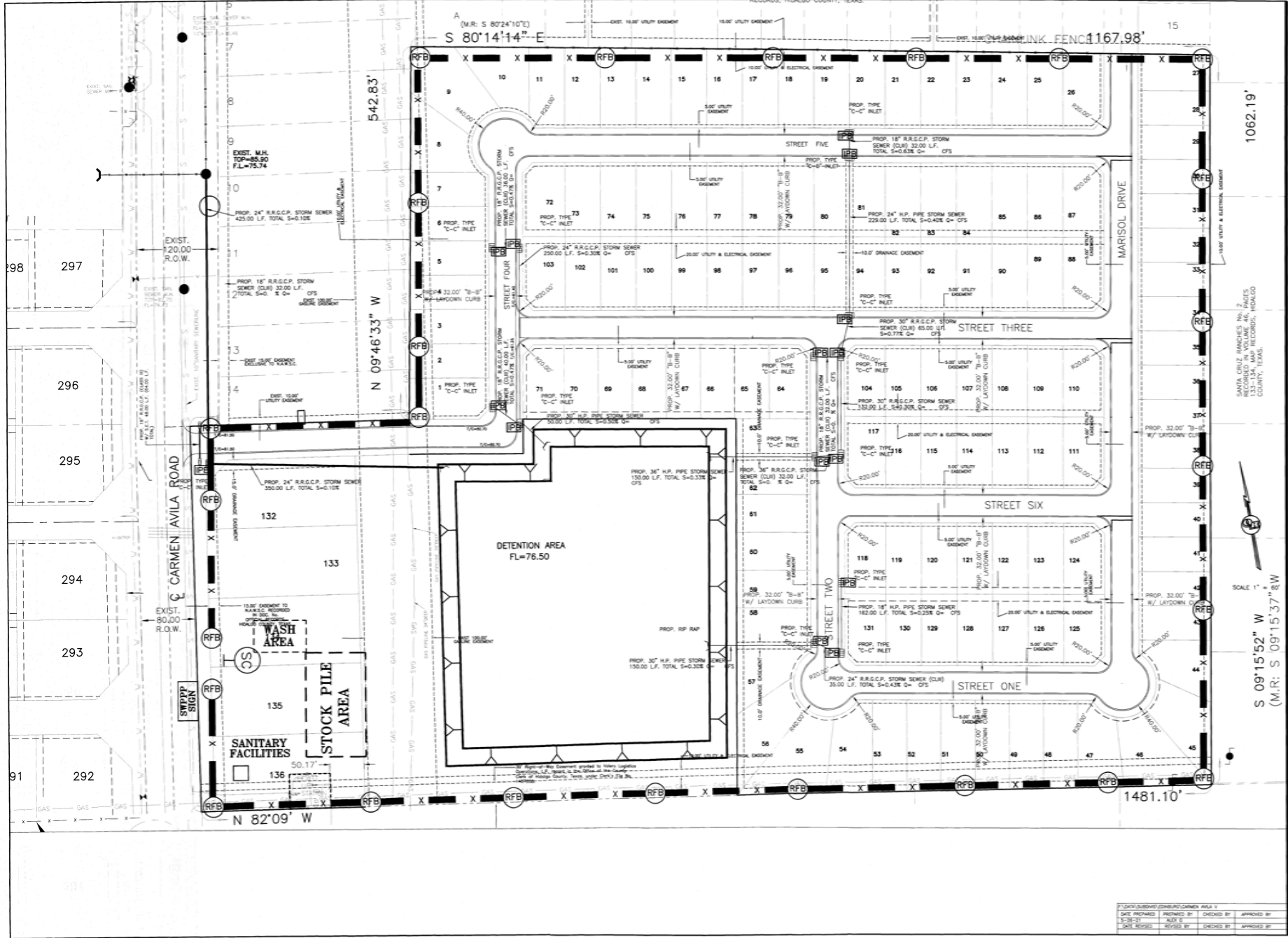
JOB NO.	DATE	REVISION	SCALE	DRAWN BY	APPROVED
	MAY 26, 2011		1"=60'	ALEX G.	

**CARMEN AVILA SUBDIVISION
 PHASE V
 DETENTION AREA DETAIL**



QUINTANILLA, HEADLEY AND ASSOCIATES, INC.
CONSULTING ENGINEERS
 LAND SURVEYORS
 124 E. STUBBS ST.
 EDINBURG, TEXAS 78539
 PHONE 936-381-6430
 FAX 936-381-0327
 ALFONSO@QHA-ENG.COM
 SURVEYING REGISTRATION NUMBER 105411-09

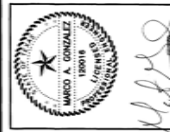
DATE PREPARED	PREPARED BY	CHECKED BY	APPROVED BY
DATE REVISED	REVISED BY	CHECKED BY	APPROVED BY



DATE	MAY 25, 2021
REVISION	
SCALE	1"=40'
DRAWN BY	ALB D
CHECKED BY	
APPROVED	

**CARMEN AVILA SUBDIVISION
PHASE V
EROSION CONTROL PLAN AND
POLLUTION PREVENTION DETAILS**

9/15/21



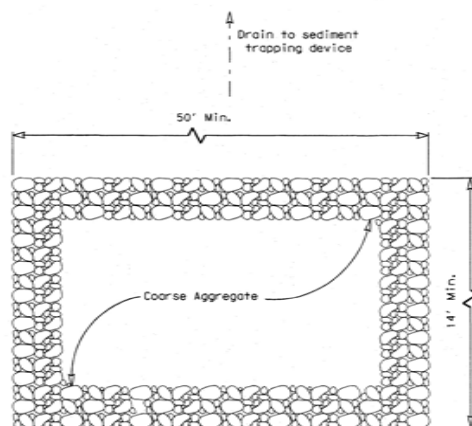
QUINTANILLA, HEADLEY AND ASSOCIATES, INC.
CONSULTING ENGINEERS
124 E. STURDS, ST.
EDINBURG, TEXAS 78539
PHONE 361-381-6480
FAX 361-381-0527
A/05050901A-ENG.COM



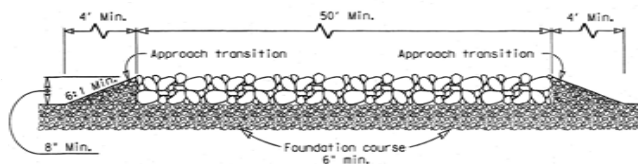
SANTA CRUZ RANCHES No. 2
RECORDED IN VOLUME 46, PAGE 6
SANTA CRUZ RANCHES, HIDALGO
COUNTY, TEXAS.

DATE PREPARED	PREPARED BY	CHECKED BY	APPROVED BY
10-20-21	ALB D		
DATE REVISION	REVISION	CHECKED BY	APPROVED BY

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PLAN

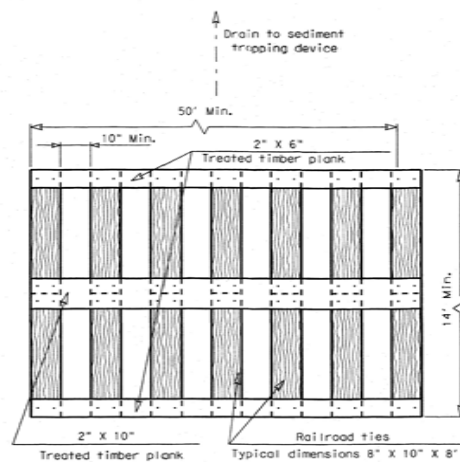


PROFILE

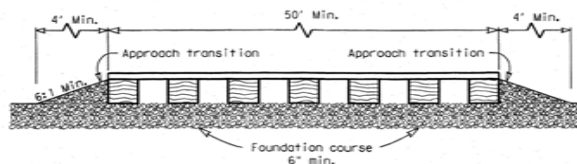
CONSTRUCTION EXIT (TYPE 1)

GENERAL NOTES

1. The length of the type 1 construction exit shall be as indicated on the plans, but not less than 50'.
2. The coarse aggregate should be open graded with a size of 4" to 8".
3. The approach transitions should be no steeper than 6:1 and constructed as directed by the Engineer.
4. The construction exit foundation course shall be flexible base, bituminous concrete, portland cement concrete or other material as approved by the Engineer.
5. The construction exit shall be graded to allow drainage to a sediment trapping device.
6. The guidelines shown hereon are suggestions only and may be modified by the Engineer.



PLAN

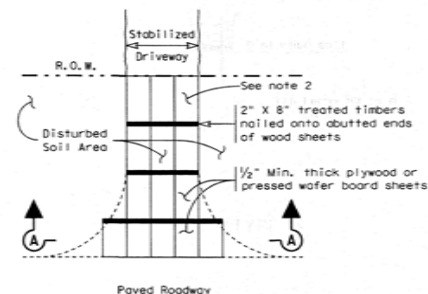


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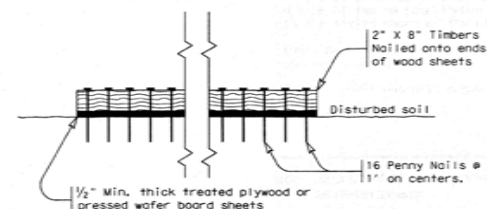
CONSTRUCTION EXIT (TYPE 2)

GENERAL NOTES

1. The length of the type 2 construction exit shall be as indicated on the plans, but not less than 50'.
2. The treated timber planks shall be attached to the railroad ties with 1/2" x 6" min. lag bolts. Other fasteners may be used as approved by the Engineer.
3. The treated timber planks shall be #2 grade min., and should be free from large and loose knots.
4. The approach transitions shall be no steeper than 6:1 and constructed as directed by the Engineer.
5. The construction exit foundation course shall be flexible base, bituminous concrete, portland cement concrete or other material as approved by the Engineer.
6. The construction exit should be graded to allow drainage to a sediment trapping device.
7. The guidelines shown hereon are suggestions only and may be modified by the Engineer.



PLAN



SECTION A-A

CONSTRUCTION EXIT (TYPE 3)

GENERAL NOTES

1. The length of the type 3 construction exit shall be as shown on the plans, or as directed by the Engineer.
2. The type 3 construction exit may be constructed from open graded crushed stone with a size of two to four inches spread a min. of 4" thick to the limits shown on the plans.
3. The treated timber planks shall be #2 grade min., and should be free from large and loose knots.
4. The guidelines shown hereon are suggestions only and may be modified by the Engineer.

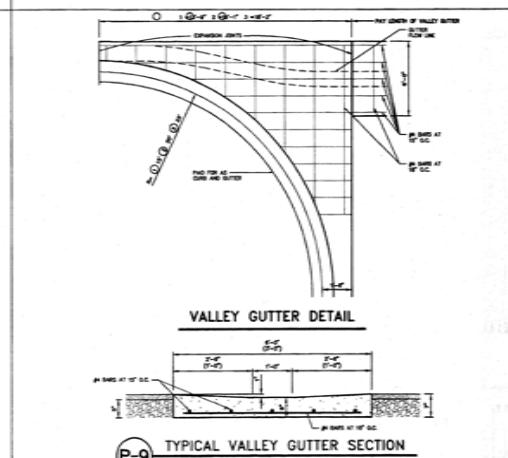
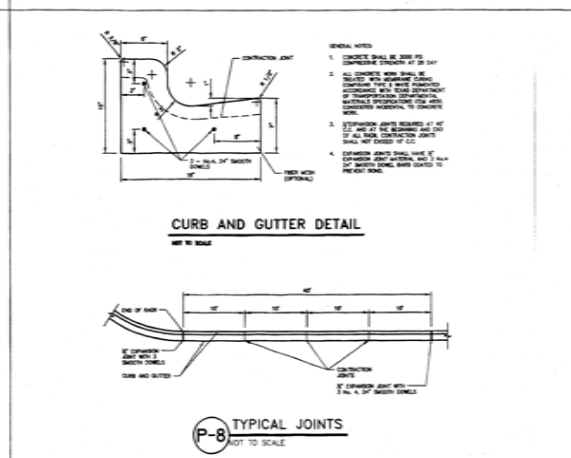
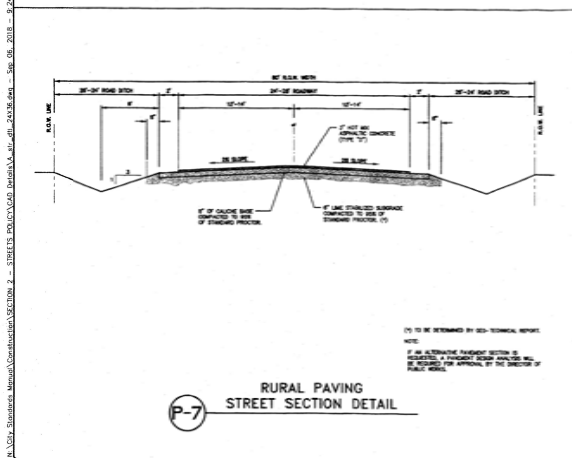
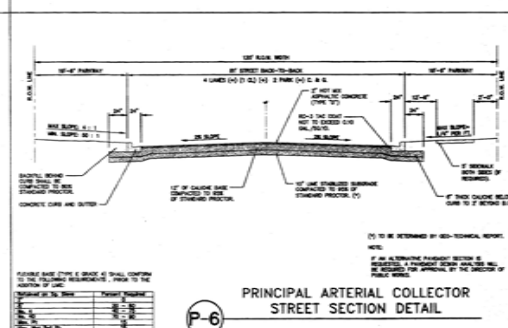
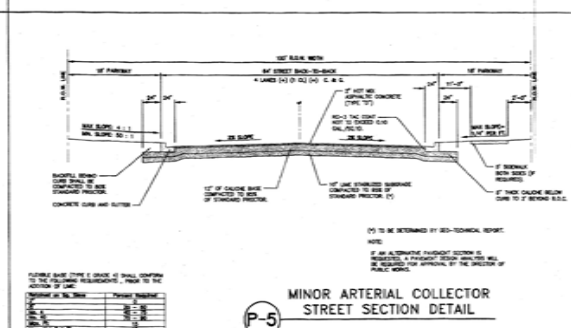
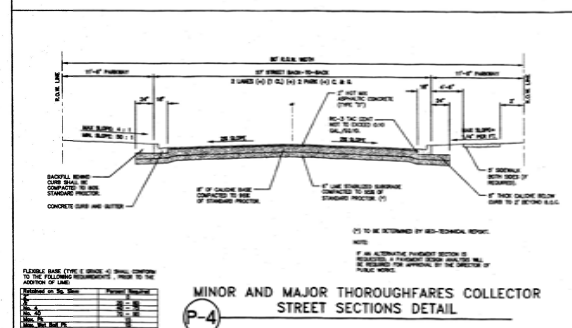
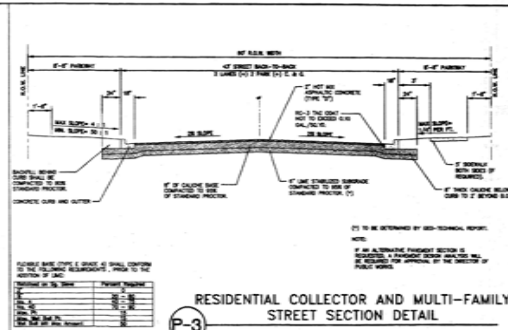
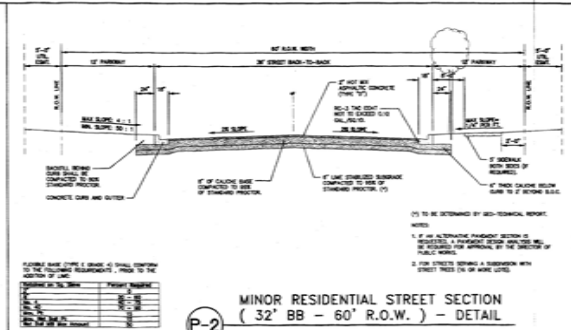
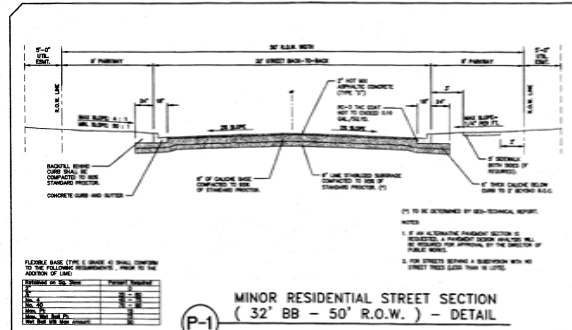
Texas Department of Transportation
Design Division Standard

TEMPORARY EROSION, SEDIMENT AND WATER POLLUTION CONTROL MEASURES CONSTRUCTION EXITS

EC (3) -93

FILED	ec393.dgn	DATE	June 1993	BY	REVISIONS	DATE	BY	DATE	BY

DATE: FILE:



FILE NAME: _____

DATE: MAY, 2014

DRAWN BY: P/JAG

DESIGNED BY: P/JAG

REVIEWED BY: P/JAG

CHECKED BY: P/JAG

PAVING SYSTEM

STANDARD DETAILS

EDINBURG

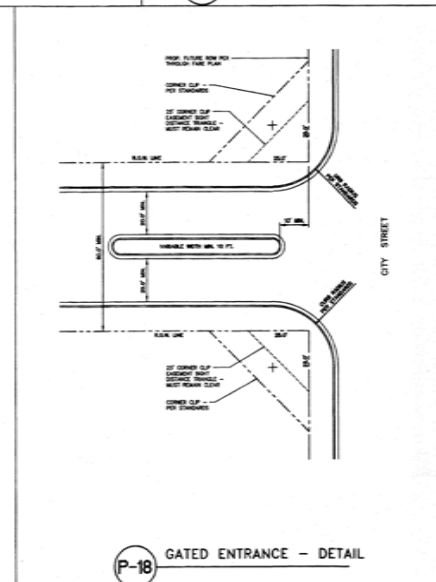
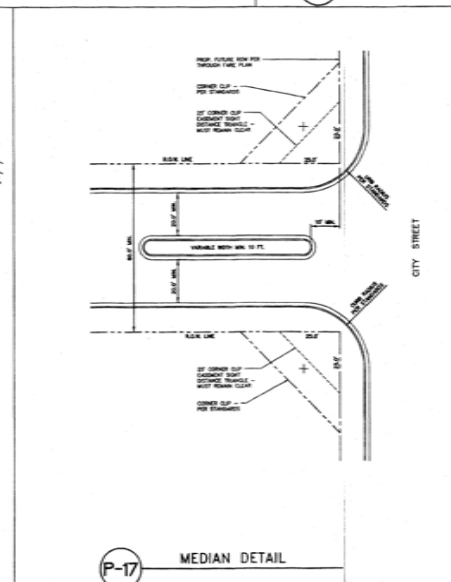
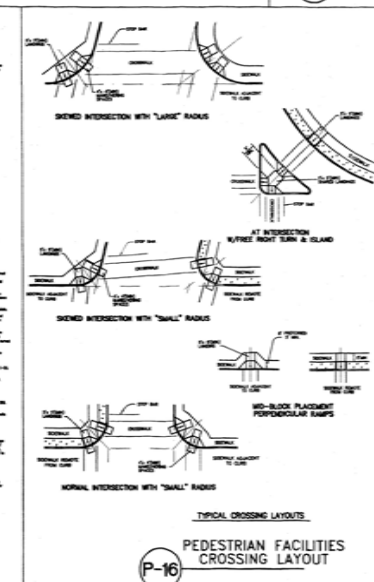
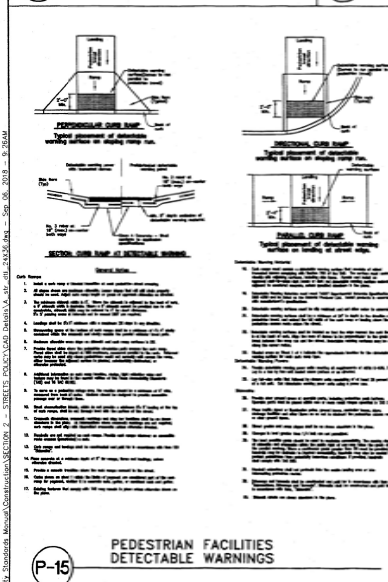
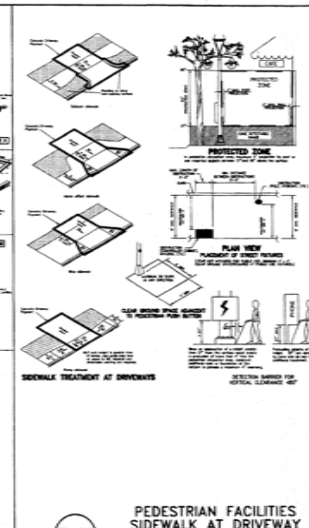
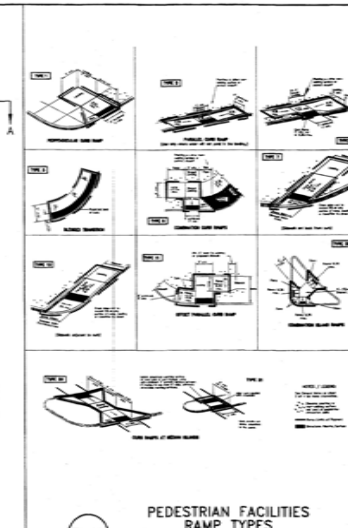
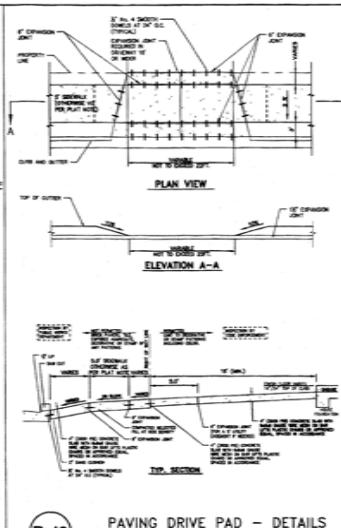
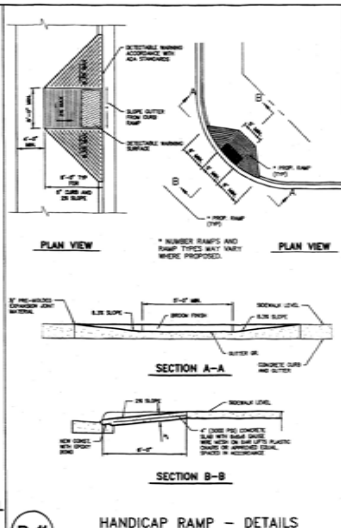
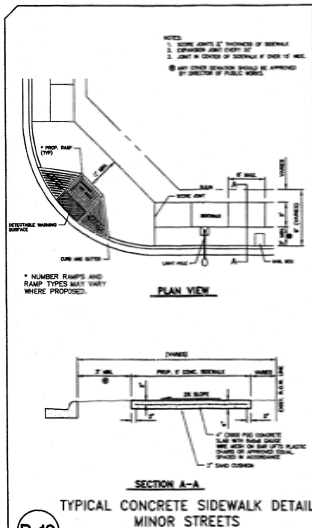
THE CITY OF

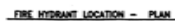
Edinburg Engineering

SCALE: 1" = 12'

DATE: 10-17-14

1 OF 3





SIDEWALK DEVIATION AT
FIRE HYDRANT



NOTE:
1. ANY CHANGE TO SCHEDULE PLAN SHOULD BE APPROVED BY THE DIRECTOR OF PUBLIC WORKS.

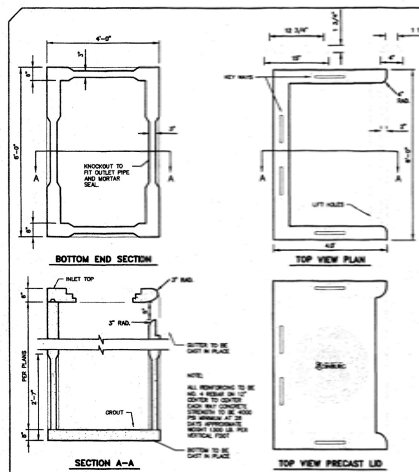
ADA SIDEWALK AT
MAILBOX - DETAIL

ENTRANCE PROFILE FOR
DRIVEWAYS WITHOUT C&G

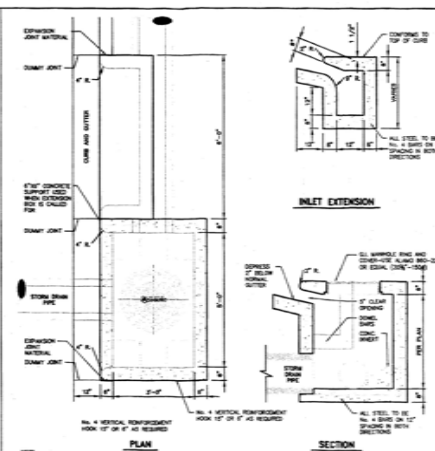
1000

3. WITH WATER, DRAIN MATERIAL, MIL QUANTITIES LOWERED TO 1/2 OF THE BARRELS USED TO LUBE AND RECHARGE AND IS REQUIRED TO BE OF A TYPE THAT WILL WITHSTAND NORMAL WEATHER (WIND AND RAIN) CONDITIONS (NO DISINTEGRATION).
4. BARRELS (TOP, BOTTOM AND BOTH ENDS) IS TO HAVE A FINISHED HOLE TO PREVENT RAIN LEAKS.
5. A FINISHED GROUND APPROPRIATELY TO 1/2 INCHES HOLES IS REQUIRED AT THE TOP, BOTTOM, AND BOTH ENDS OF BARRELS WITH METAL FUEL/LEAKS BEING REMOVED. IT IS REQUIRED TO BE PURPOSE OF ATTACHING THE BARRELS TO THE EXISTING GLIDE WIRES.
6. BARRELS (STRUCTURE) CANNOT BE USED TO PLACE ALONG THE TOP LOCATED OF THE BARRELS AND ONE AT EACH BOTTOM END. BARRELS LOCATED AT THE BOTTOM ENDS WILL HAVE HEAVIER REINFORCEMENTS OF 1/2 INCHES THICKNESS. THE OTHER ENDS OF BARRELS WITH REINFORCED GLIDEWIRE STRAPS, THE MAXIMUM GROUND SIZE SHALL BE 1/2-INCH (THICK REINFORCEMENTS) AND THE BARRELS SHALL BE PLACED ABOUT TWENTY

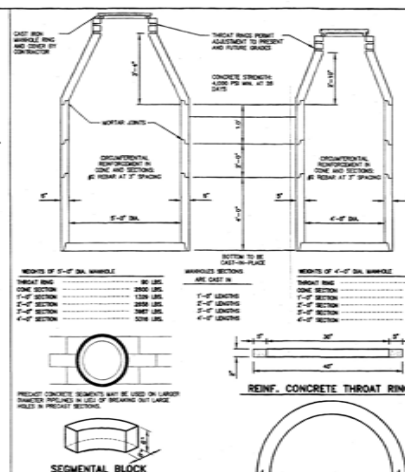
TYPICAL BANNER
DETAIL



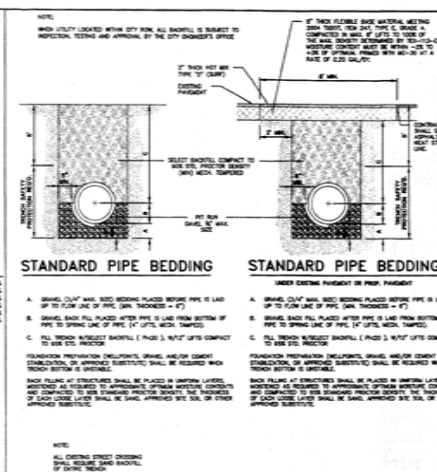
D-1 PRECAST TYPE "A" INLET



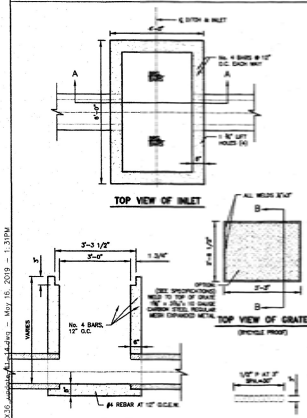
D-2 TYPE "A" INLET WITH EXTENSION - DETAILS



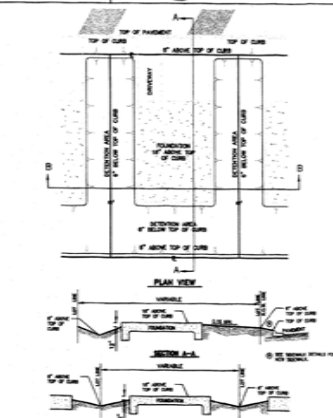
D-4 PRECAST CONCRETE MANHOLES - DETAILS



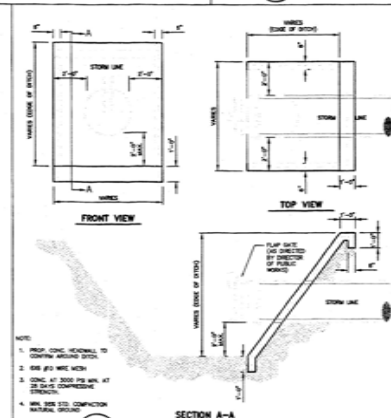
D-8 STANDARD PIPE BEDDING - DETAILS



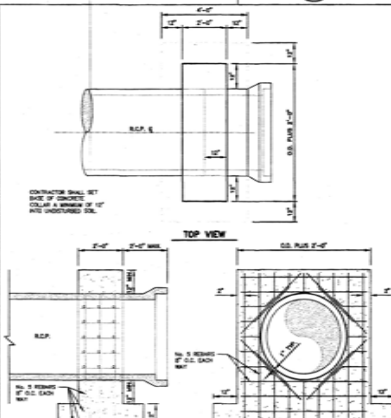
D-3 TYPE "C-C" GRATED INLET



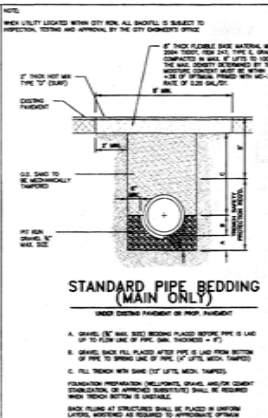
D-12 TYPICAL LOT LAYOUT GRADING DETAILS



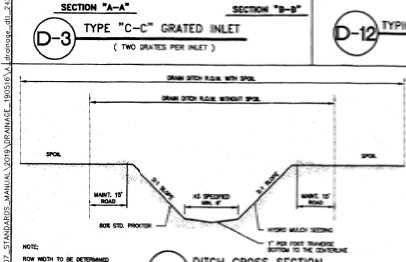
D-6 DOWN DRAIN STRUCTURE



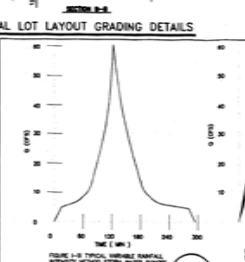
D-5 CONCRETE PIPE SUPPORT COLLAR



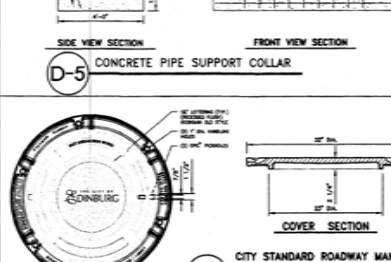
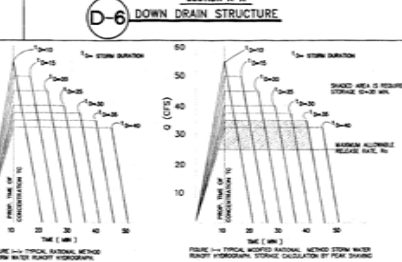
D-9 UTILITY CROSSING AT EXIST./ACTIVE STREET DETAIL



D-7 DITCH CROSS SECTION



D-11 STORM WATER RUNOFF



D-10 CITY STANDARD ROADWAY MANHOLE RING AND COVER CASTING DETAIL



Case #

Edinburg

Planning & Zoning Department
415 W. University Drive
Edinburg, Texas 78539

Subdivision Application

(956) 388-8202

Date: August 30, 2021 Request Type: Preliminary Plat Final Plat1. Developer: Cascabel Estates, Inc., a Texas Corp 2. Owner/Contact Name: Mark J. Fryer & Deetta Fryer3. Owner/Contact Phone: (956) 607-0082 4. Owner/Contact Email: mfryer@rgv.rr.com5. Owner Address: 2320 Anacua Circle, Edinburg, Tx 78539-59126. Exact Name of Subdivision: Cole Crossing Subdivision 7. Property ID: 2784508. Current Zoning: S - Suburban Residential Required Zoning: S - Suburban Residential

10. Legal Description: _____

Being a 18.000 Acre Tract of Land out of Lots 12 & 13, Block 35, Santa Cruz Gardens Unit No. 2, as per map recorded in Volume 8, Page 28, Map Records, Hidalgo County, Texas

11. Inside City Limits? No If "No," is in the ☒ Comprehensive Development Area ☐ Rural Development Area12. Primary Consulting Firm: SDI Engineering, LLC 13. Phone: (956) 287-181814. Consulting Firm Address: 5602 E. Iowa Rd, Edinburg, Tx 7854215. Consulting Firm Email(s): iposadas@sdi-engineering.com16. Desired Land Use Option: Single Family17. Number of Lots: Single Family 30 Multi-Family _____ Commercial _____ Industrial _____18. Proposed Wastewater Treatment: ☐ Sanitary Sewer ☒ OSSF (On-Site Sewage Facility)19. Electric Power and Light Company to Serve the Proposed Subdivision: Magic Valley Electric Co-op20. Irrigation District: Santa Cruz No. 15 Potable-water Retailer: North Alamo Water Supply Corp.

Owner of record, holding title to real estate within the proposed subdivision. Ownership instrument (i.e. Title Policy, Warranty Deed and Deed of Trust) shall be submitted with application. All such owners are listed immediately below.

Owner Name(s) (Print or Type)	Owner Mailing Address & Zip Code
Cascabel Estates, Inc., a Texas Corp.	2320 Anacua Cir., Edinburg, Tx
Owner Phone Number	Owner Email
(956) 607-0082	mfryer@rgv.rr.com

Have any of said owners designated agents to submit and revise this plat application on their behalf?

☒ Yes ☐ No (If "Yes" attached duly notarized documentation to that effect, signed by each such owner.)

The undersigned owner(s) of record (or their authorized agents) hereby agree to make all improvements and meet all requirements and standards as specified in the City of Edinburg Unified Development Code and Ordinances. The undersigned hereby request that the Edinburg Planning & Zoning Commission and the City Commission approve the attached subdivision plat. I certify that all items contained in this application and attachments (including all construction plans) are true and correct to the best of my knowledge and not in conflict with any deed restrictions or restrictive covenants. Furthermore, I understand that any omission or incorrect information may result in approval or permit being denied or revoked. Developer's requirement sheet must be completed, signed, and submitted with the application form.

Signature *Paul Ponder*Date September 7, 2021

RECEIVED

SEP 07 2021

Name: B 4:07pm

DESCRIPTION	Provided	Need to Provide	Not Applicable	Need to Revise	COMMENTS
-------------	----------	-----------------	----------------	----------------	----------

Pre-Construction Meeting:

Notice To Proceed		✓			Dated:
Roadway Open-Cut or Bore Permit Application		✓			Dated:
TX-Dot Water UIR Permit			✓		
TX-Dot Sewer UIR Permit			✓		
N.O.I. Submittal		✓			Dated:
SWPP Booklet Submittal		✓			Dated:
RFI #1 Request		✓			Dated:
Change Orders		✓			Dated:
Final Walk Though		✓			Dated:
Punch List		✓			Dated:
Punch List (Completed and Approved)		✓			Dated:
Letter of Acceptance		✓			Dated:
1-year Warranty (Water/Sewer/Paving/Drainage)		✓			Dated:
Backfill Testing Results		✓			Dated:
As-Builts (Revised Original Submittal)		✓			Dated:

Recording Process:

Public Improvements with (Letter of Credit)		✓			Dated:	Expires:
Recording Fees	\$ 106.00	✓			As required by County Clerks office	
Copy of H.C.D.D. #1 of invoice		✓			Required to be paid prior to Final Stages	
Street Light Escrow	\$ -	✓			Required: 0	EA. @ \$ -
Street Escrow (Ramseyer Road)	\$ 64,467.00	✓			Required: 540	EA. @ \$ 119.38
Sidewalk Escrow (Ramseyer Road)	\$ 11,700.00	✓			Required: 468	LF @ \$ 25.00
TOTAL OF ESCROWS:	\$ 76,167.00					
Total Developer's Construction Cost: (Letter of Credit)					Date :	Lender :
Laboratory Testing Fee: 3%	\$ -	✓			\$ -	Estimated Construction Cost
Inspection Fee: 2%	\$ 1,523.34	✓			\$ 76,167.00	Final Construction Cost
Park Land Fees: ETJ Park Zone # 4	\$ 18,000.00	✓			30 Lots @ \$ 600.00	Full rate within the ETJ
0 Residential \$ -	\$ -		✓		50% Development	50% Building Stage
0 Multi-Family \$ -	\$ -		✓		0% Development	0% Building Stage
Water Rights: NAWSC - CCN	\$ -		✓		17.256 Acres	\$ -
Water 30-year Letter (Residential-ETJ)	\$ -		✓		30 Lots @ \$ -	Transfer Fee NAWSC WATER-CCN
Water 30-year Letter (Multi-Family)	\$ -		✓		0 Lots @ \$ -	
Sewer 30-year Letter COE - CCN	\$ -		✓		0 Lots @ \$ -	OSSF SEWER-CCN
TOTAL OF FEES:	\$ 19,523.34					

Reimbursements:

Developer Sewer Improvements	\$ -		✓		Off-Site System: 0.000	AC	\$ -
Developer Water Improvements	\$ -		✓		Off-Site System 0.00	AC	\$ -
TOTAL OF REINBURSEMENTS:	\$ -						

Buyouts:

North Alamo Water Supply Corporation	\$ -	✓			Required Buyout 0.00	AC.	\$ -
Sharyland Water Supply Corporation			✓		Not Applicable		

Tax Certificates

County of Hidalgo / School District		✓					
Water District		✓			Hidalgo County Irrigation District # 1		

Total of Escrows, Fees, Reimbursements and Buyouts:

Escrows	\$ 76,167.00	Street & Sidewalk Improvements for Seminary Road & Barb Mar Lane Road					
Inspections other Fees	\$ 19,523.34	Parkland Fees, Water/Sewer 30-year Agreement/Water Rights					
Reimbursements	\$ -	Reimbursement to the Developer of Vista Bonita #17 Subdivision					
City of Edinburg	\$ -	15% Payable to the City of Edinburg for Administrative Fee					
To the Developer of Record	\$ -	85% Payable to the Developer of Record Owner / Developer					
Buyouts	\$ -	Based on Subdivision (Need Request and Approval rate from ? Broad)					
TOTAL :	\$ 95,690.34	Developer Total Cost of Fees, Escrows, Reimbursements & Buyouts					

STAFF REPORT: UNIVERSITY VILLAGE ON 10th SUBDIVISION

September 30, 2021

Planning and Zoning Meeting:

October 12, 2021

Agenda Item: **7D**

Preliminary Plat

-
- Subject:** Consider the Preliminary Plat of **UNIVERSITY VILLAGE ON 10th SUBDIVISION**, being a 34.56 acre tract being part or portion of Lot 1, 2, and 3, Lomas Y Lagos Subdivision, an addition to the City of Edinburg, Edinburg, Hidalgo County, Texas, Recorded in Volume 53, Page 123, Map Records of Hidalgo County, Texas. Located at 420 South 10th Street, as requested by Rio Delta Engineering, Inc.
- Location:** The property located on the east side of 10th Street (SH 336) and approximately 660-ft. south of University Drive (SH 107) and is within the City of Edinburg's City Limits.
- Zoning:** Auto-Urban Residential (AU), and Commercial General (CG).
- Analysis** The Preliminary Plat proposes commercial and multi-family residential development with a total of nine (9) lots averaging approximately 0.82 acre to 3.98 acre lots and (2) multi-family residential lots averaging approximately 9.20 acre to 12.83 acre lots. To be considered for preliminary set forth by the following departments need to be met by: Engineering, Public Works, Fire and Utility Departments.
- Utilities:** Water Distribution System and Sanitary Sewer Collection System will be served by the City of Edinburg. All utility improvements within the proposed subdivision that are not limited to water, sewer, curb and gutter, fire hydrants, will be installed by the developer in accordance with the approved 2014 Standards Manual.

Recommendations:

City of Edinburg Planning & Zoning Department:

Staff recommends approval of the Preliminary Plat, subject to the compliance of the Unified Development Code, General Notes; on FEMA flood zone, zoned setbacks, finish floor elevation, benchmark, drainage detention, parkland fees, limited access, SWP3 requirements, sidewalks, and other notes as required based on development.

City of Edinburg Engineering / Utilities Department

Preliminary Phase Submittal comments for this subdivision are included in the packet. As per Engineering, the plat shall be Preliminarily Approved until all comments have been addressed by the project engineer.

City of Edinburg Fire Department

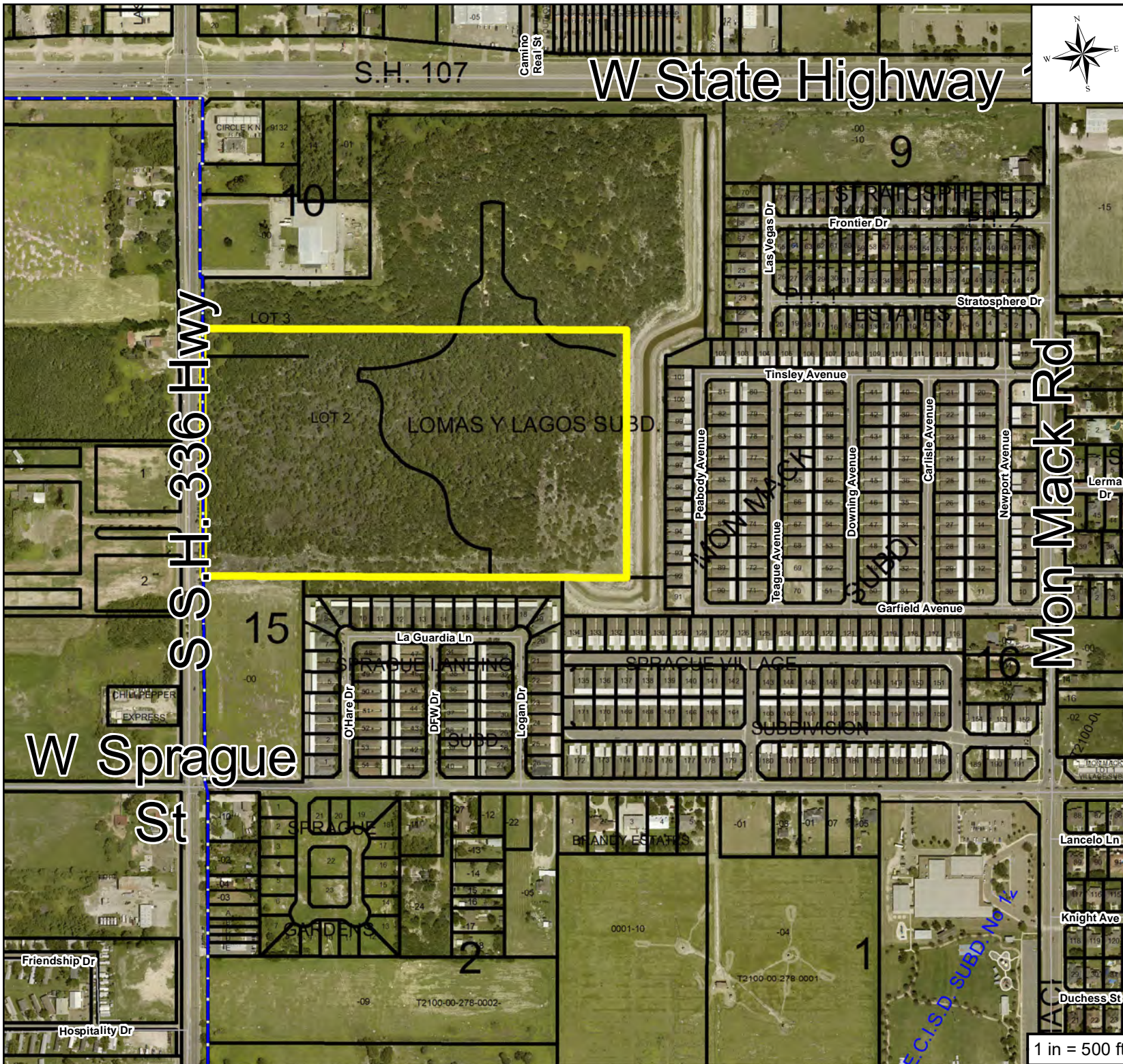
The following are the preliminary phase submittal comments as noted by the Fire Department:

1. Provide street names to the City of Edinburg Engineering Department for approval.
2. Fire lane 15 ft. in width shall be painted in front of all fire hydrants.
3. Provide double face blue fire hydrant street marker on center on the street in front of the fire hydrant.
4. Fire hydrant shall be every 600 ft. for one and two family dwellings as per Section 507.5.1 of 2012 IFC.
5. All main streets should be 32 ft. B-B paving section according to Table 8.204 of the Edinburg Unified Development Code.

City of Edinburg Storm Water

The following are the preliminary phase submittal comments as noted by Storm Water

1. **SW3P** (Stormwater Pollution Prevention Plan)
2. **NOI** (Notice of Intent, Per TCEQ)
3. **Large Construction Notice** (Per TCEQ Inventory)
4. **Detailed Erosion Control Plan** (Silt Fence, Construction Entrance, Inlet Protection, Concrete Washout)
5. **Detailed Post Construction BMP's Plan** (70% Vegetation or Silt Fence back of curb)
6. **Plat Note** (All construction shall comply with Stormwater Pollution Prevention Plan (SW3P) requirements. Erosion and Sedimentation Controls constructed in accordance with the Stormwater Ordinance 98.30 of the City of Edinburg are required for all construction on each lot including single family and duplex/multi-family construction)
7. **NOT** (Notice of Termination, Per TCEQ) will now be required before the final walk through.
8. **Comments:**
 - SW3P Plat note has been revised. Please see the note for your reference.
 - NOT will need to be submitted before the final walk through.
 - Stormwater is now requiring a Post Construction Plan on plans that are submitted, either 70% vegetation or Install Silt Fence behind the back of curb.
 - Silt Fence around the entire project.
 - Large Construction Notice needs to be submitted with contractors contact information.
 - All items must be submitted before the NTP is issued.
 - Please email pending items to rvalenzuela@cityofedinburg.com



AERIAL MAP



CASE CAPTION:

SUBDIVISION NAME:

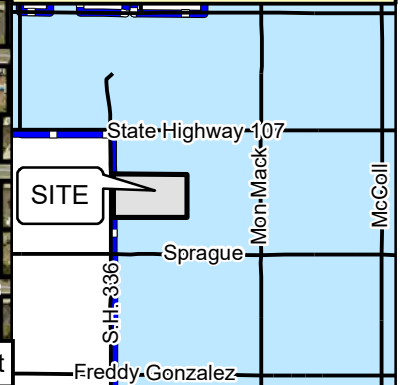
UNIVERSITY VILLAGE ON 10TH

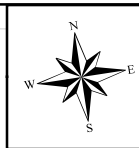
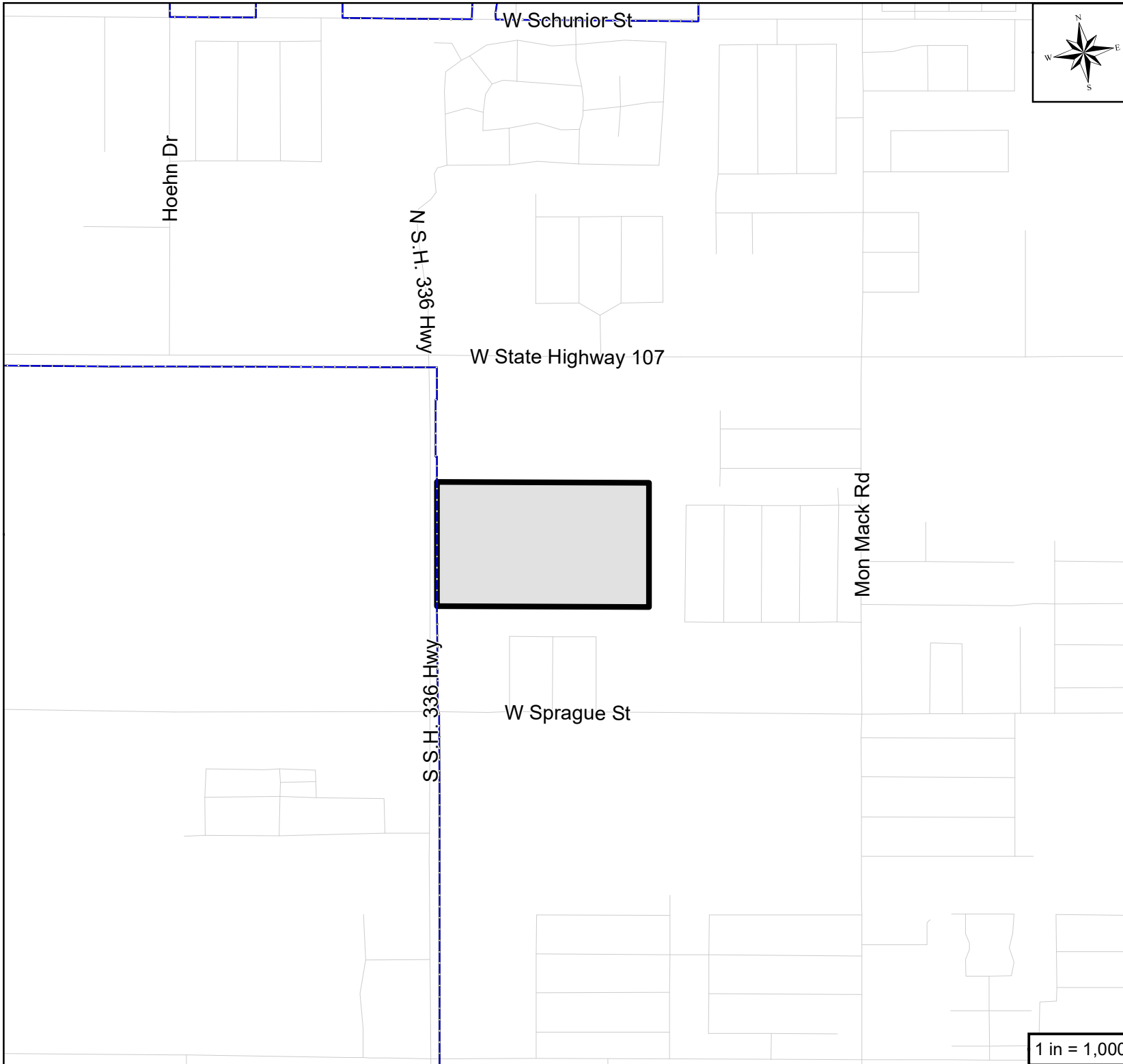
A TRACT OF LAND CONTAINING 34.56 ACRES OF LAND, MORE OR LESS SITUATED IN HIDALGO COUNTY TEXAS, BEING PART OR A PORTION OF LOTS 1,2 AND 3, LOMAS Y LAGOS SUBDIVISION, AN ADDITION TO THE CITY OF EDINBURG, HIDALGO COUNTY TEXAS, MAP REFERENCE VOLUME 53 PAGE 123, MAP RECORDS, HIDALGO COUNTY TEXAS.

Legend

-  CITY LIMITS
-  SUBDIVISION SITE

SITE LOCATION MAP





SITE MAP

CASE CAPTION:

SUBDIVISION NAME:

UNIVERSITY VILLAGE ON 10TH

A TRACT OF LAND CONTAINING 34.56 ACRES OF LAND, MORE OR LESS SITUATED IN HIDALGO COUNTY TEXAS, BEING PART OR A PORTION OF LOTS 1,2AND 3, LOMAS Y LAGOS SUBDIVISION, AN ADDITION TO THE CITY OF EDINBURG, HIDALGO COUNTY TEXAS, MAP REFERENCE VOLUME 53 PAGE 123, MAP RECORDS, HIDALGO COUNTY TEXAS.

Legend

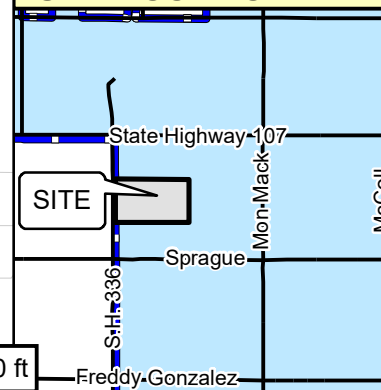


CITY LIMITS



SUBDIVISION SITE

SITE LOCATION MAP

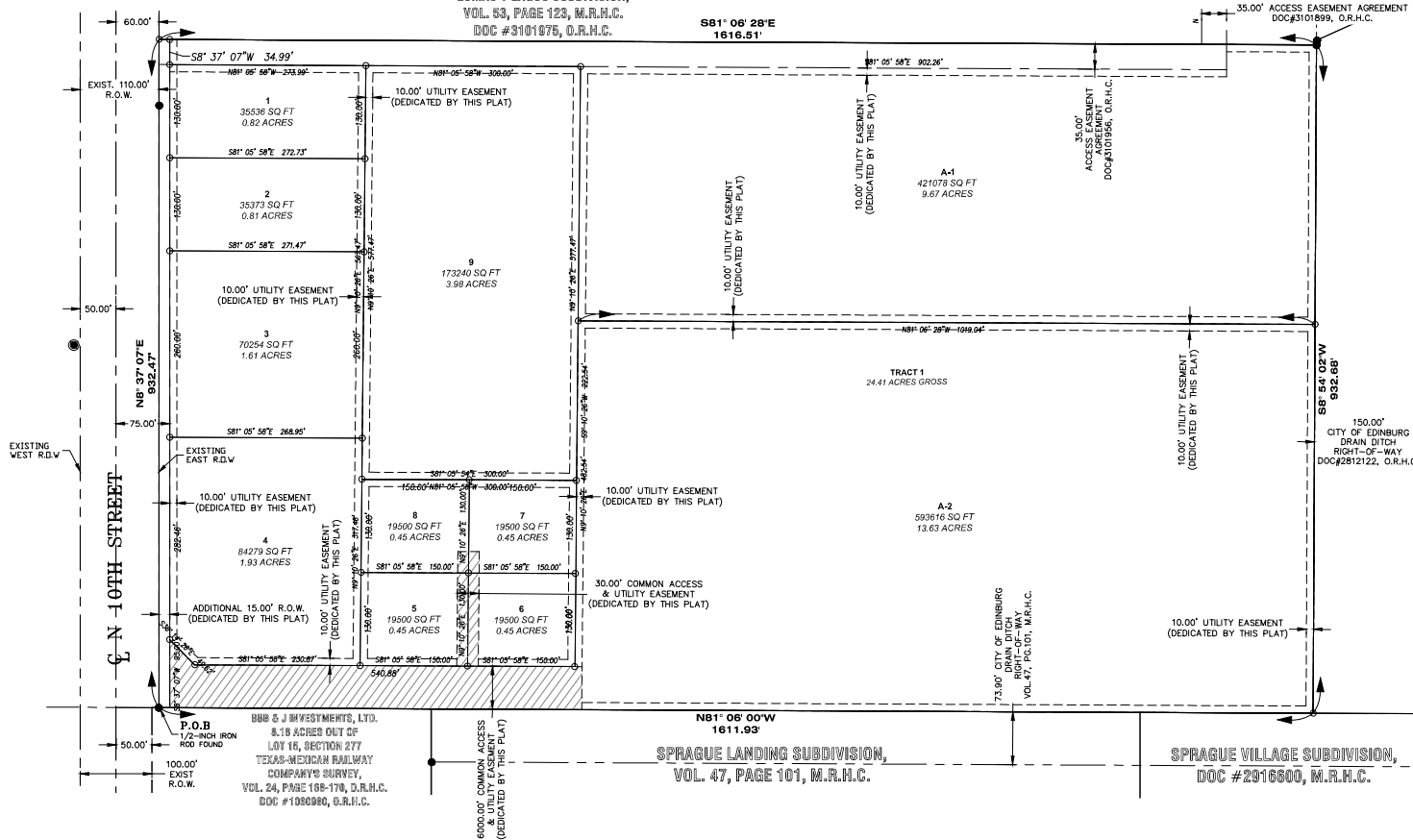


1 in = 1,000 ft

UNIVERSITY VILLAGE ON 10TH SUBDIVISION

A TRACT OF LAND CONTAINING 34.56 ACRES OF LAND, BEING PART OR PORTION OF LOTS 1, 2, AND 3, LOMAS Y LAGOS SUBDIVISION, AN ADDITION TO THE CITY OF EDINBURG, HIDALGO COUNTY TEXAS, RECORDED IN VOLUME 53, PAGE 123, MAP RECORDS OF HIDALGO COUNTY, TEXAS.

UWV, LLC
27.70 ACRES OUT OF LOT 1, 2, AND 3,
LOMAS Y LAGOS SUBDIVISION,
VOL. 53, PAGE 123, M.R.H.C.
DOC #3101675, O.R.H.C.



MON MACK LANDING PHASE 1 SUBDIVISION,
DOC #2881705, M.R.H.C.

SCALE: 1"=100'
BASIS OF BEARING
TEXAS STATE PLANE COORDINATES
NAD 83
TEXAS SOUTH ZONE (4205)
WESTERN DATA SYSTEMS NETWORK



ENGINEERING DEPARTMENT

Preliminary Staff Review

September 30, 2021

Ivan Garcia, P.E., R.P.L.S.

Rio Delta Engineering
921 S. 10th Avenue
Edinburg, TX 78539
(956) 380-5152

RE: UNIVERSITY VILLAGE ON 10TH – PRELIMINARY REVIEW

Mr. Garcia,

Attached are the Preliminary Phase Submittal comments for University Village on 10th Subdivision. Subdivision shall be preliminarily approved upon addressing the comments.

Any questions feel free to contact us.

Thanks,

Digitally signed by Peter
Hermida
Date: 2021.09.30
11:25:35 -05'00'



Peter Hermida E.I.T.

Email: phermida@cityofedinburg.com

415 W. University Drive
Edinburg, Texas 78539

Cc: Mardoqueo Hinojosa, P.E., CFM, City Engineer, Patrizia Longoria, Engineer III, Roberto Hernandez, Engineer I, Abel Beltran, Planner I, Vince Romero, Director of Public Works, Robert Valenzuela, Storm Water Specialist, Kimberly Mendoza, Director of Planning and Zoning, Rita Lee Guerrero, Planner I, Jaime Xavier Ayala, Planner II, Gerardo Carmona P.E., Director of Utilities, Jose Flores, Systems Superintendent, Omar Garza, Fire Marshal, Ramiro Gomez, Director of Solid Waste

REFERENCES:

City of Edinburg – 2014 Standard Manual – Construction and Development Requirements; Unified Development Code; and if required a TX-Dot Permitting UIR permitting process.



Subdivision Application

1. Nature of Request: Preliminary Plat
2. Exact name of proposed subdivision: University Village on 10th Property ID: 718830
3. Legal Description:

A TRACT OF LAND CONTAINING 34.56 ACRES OF LAND, BEING PART OR PORTION OF LOTS 1, 2, AND 3, LOMAS Y LAGOS SUBDIVISION, AN ADDITION TO THE CITY OF EDINBURG, HIDALGO COUNTY TEXAS, RECORDED IN VOLUME 52, PAGE 122, MAP RECORDS OF HIDALGO COUNTY, TEXAS
4. Current Zoning: CG - Commercial, General ^{- Auto Urban Residential} Required Zoning: _____
5. Inside city limits? Yes If "No," is within the: ☐ Comprehensive Development Area ☐ Rural Development Area
6. Primary consulting firm: RIO DELTA ENGINEERING
- Email: RIODELTA2004@YAHOO.COM Phone (primary): (956) 380-5152
- Address: 921 S. 10TH AVE Phone (other): _____
7. Proposed wastewater treatment: ☒ Sanitary Sewer ☐ OSSF (On-Site Sewage Facility)
8. Desired land use option: Commercial
9. Number of Lots: Single Family ☐ Multi-Family ☐ Commercial ☒ Industrial ☐
10. Electric power and light company to serve the proposed subdivision: AEP (Central Power & Light)
11. Irrigation district: Hidalgo County Irrigation District No. 1
12. Potable-water retailer to serve the proposed subdivision: City of Edinburg
13. Owners of record, holding title to real estate within the proposed subdivision. Ownership instrument (i.e. Title Policy, Warranty Deed and Deed of Trust) shall be submitted with application. All such owners are listed immediately below.
- | Name (Print or Type) | Mailing Address & Zip Code | Phone Number |
|---------------------------|------------------------------|--------------|
| A. <u>JOSEPH W HOLAND</u> | <u>1308 E JASMINE AVENUE</u> | _____ |
| B. _____ | <u>MCALLEN TX 78504</u> | _____ |
14. Have any of said owners designated agents to submit and revise this plat application on their behalf?
☒ Yes ☐ No (If "Yes" attached duly notarized documentation to that effect, signed by each such owner.)

The undersigned owners of record (or their authorized agents) hereby agree to make all the improvements, and to meet all the requirements and standards as specified in the City of Edinburg Code of Ordinances. The undersigned hereby request that the Edinburg Planning & Zoning Commission and the City Commission approve the attached subdivision plat. The undersigned hereby declared that we have made a diligent effort to ensure that all items contained in this application (including all construction plans) are true and complete. Developer's requirement sheet must be completed, signed, and submitted with the application form.

Signature

Date

RECEIVED

07/08/2021

SEP 22 2021

Name:

B 4:53pm

DESCRIPTION	Provided	Need to Provide	Not Applicable	Need to Revise	COMMENTS
Pre-Construction Meeting:					
Notice To Proceed		✓			Dated:
Roadway Open-Cut or Bore Permit Application		✓			Dated:
TX-Dot Water UIR Permit		✓			
TX-Dot Sewer UIR Permit		✓			
N.O.I. Submittal		✓			Dated:
SWPP Booklet Submittal		✓			Dated:
RFI #1 Request		✓			Dated:
Change Orders		✓			Dated:
Final Walk Though		✓			Dated:
Punch List		✓			Dated:
Punch List ()		✓			Dated:
Letter of Acceptance		✓			Dated:
1-year Warranty (Water/Sewer/Paving/Drainage)		✓			Dated:
Backfill Testing Results		✓			Dated:
As-Builts (Revised Original Submittal)		✓			Dated:
Recording Process:					
Public Improvements with (Letter of Credit)		✓			Dated: Expires:
Recording Fees \$ 106.00		✓			As required by County Clerks office
Copy of H.C.D.D. #1 of invoice		✓			Required to be paid prior to Final Stages
Street Light Escrow \$ -		✓			Required: 0 EA. @ \$ -
Street Escrow (10th Street - SH336) \$ -		✓			Required: 0 EA. @ \$ -
Sidewalk Escrow (10th Street - SH 336) \$ 16,500.00		✓			Required: 660 LF @ \$ 25.00
TOTAL OF ESCROWS: \$ 16,500.00					
Total Developer's Construction Cost: (Letter of Credit)					Date : Lender :
Laboratory Testing Fee: 3% \$ -		✓			\$ - Estimated Construction Cost
Inspection Fee: 2% \$ -		✓			\$ - Final Construction Cost
Park Land Fees: Park Zone #2 \$ -		✓			0 Lots @ \$ - Full rate within the ETJ
0 Residential \$ -		✓			50% Development 50% Building Stage
0 Multi-Family \$ 150.00 \$ -			✓		50% Development 50% Building Stage
Water Rights: COE - CCN \$ 100,113.75		✓			34.560 Acres \$ 2,896.81
Water 30-year Letter (Residential) \$ 2,925.00		✓			9 Lots @ \$ 325.00 COE WATER-CCN
Water 30-year Letter (Multi-Family) \$ 18,000.00			✓		120 Units @ \$ 150.00
Sewer 30-year Letter COE - CCN \$ 23,210.00		✓			11 Lots @ \$ 2,110.00 COE SEWER-CCN
TOTAL OF FEES: \$ 126,248.75					
Reimbursements:					
Developer Sewer Improvements \$ -			✓		Off-Site System: 0.000 AC \$ -
Developer Water Improvements \$ -			✓		Off-Site System 0.00 AC \$ -
TOTAL OF REIMBURSEMENTS: \$ -					
Buyouts:					
North Alamo Water Supply Corporation \$ -		✓			Required Buyout 0.00 AC. \$ -
Sharyland Water Supply Corporation			✓		Not Applicable
Tax Certificates					
County of Hidalgo / School District		✓			
Water District		✓			Hidalgo County Irrigation District # 1
Total of Escrows, Fees, Reimbursements and Buyouts:					
Escrows \$ 16,500.00					Street & Sidewalk Improvements for Roeigiers Road
Inspections other Fees \$ 126,248.75					Parkland Fees, Water/Sewer 30-year Agreement/Water Rights
Reimbursements \$ -					Reimbursement to the Developer of Subdivision
City of Edinburg \$ -					15% Payable to the City of Edinburg for Administrative Fee
To the Developer of Record \$ -					85% Payable to the Developer of Record Owner / Developer
Buyouts \$ -					Based on Subdivision (Need Request and Approval rate from NAWSC Broad)
TOTAL : \$ 142,748.75					Developer Total Cost of Fees, Escrows, Reimbursements & Buyouts



CITY OF EDINBURG
Planning & Zoning Commission

Meeting Date: October 12, 2021

— SUBDIVISION VARIANCE —

Agenda Item No: 8A
RG ESTATES PHASE III SUBDIVISION

1. **Agenda Item:** Consider Variance Request to the City's Unified Development Code (UDC) as follows: 1) Section 7.502 (C) Streets and Rights of Way, Perimeter Streets; Pavement or Fee in Lieu Required and 2) Section 8.213 Sidewalks, **RG ESTATES PHASE III SUBDIVISION**, a 10 acre tract being all of Lot 7, Block 23, Santa Cruz Gardens Unit No. 2 Subdivision, located at 4120 East Ingle Road, as requested by Quintanilla, Headley & Associates, Inc.
2. **Description/Scope:** The RG Estates Phase III Subdivision is located on the south side of East Ingle Road between North Kenyon Road and North Cesar Chavez Road in the City's extraterritorial jurisdiction (ETJ). The 10 acre tract is currently being used for agricultural purposes and contains a residential structure. The proposed subdivision is for a single family residential development consisting of 49 lots ranging from 5,901.56 sq. ft. to 8,804.73 sq. ft. Mr. Alfonso Quintanilla, P.E., on behalf of the developer, is requesting variances to the City's UDC for the aforementioned subdivision.

Variance Request #1: 7.502 Streets and Rights of Way

This Variance Request is to the required roadway improvements on East Ingle Road approximately 300 ft. along the north side of this development. This roadway is classified as a Collector street.

The UDC requires 80 ft. right-of-way and 57 ft. back-to-back paving with curb and gutter for this type of street. There is currently 60 ft. right-of-way along East Ingle Road with approximately 24 ft. back-to-back paving and no curb and gutter. The applicant is proposing to provide an additional 20 ft. of right-of-way to meet UDC requirements, but not the expansion to the existing paving or curb and gutter along this roadway. East Ingle Road currently has no curb and gutter going east or west from this location.

Variance Request #2: 8.213 Sidewalks

This Variance Request is to the required sidewalks on East Ingle Road, approximately 300ft. along the north side of this development.

According to UDC Section 8.204 Street Standards, the developer is required to install a 5 ft. Concrete Sidewalk along the East Ingle Road right-of-way. The proposed 5 ft. concrete sidewalk is required to be placed at 4-ft. behind proposed curb. The applicant is proposing not to provide sidewalks as required. East Ingle Road currently does not have sidewalks going east or west from this location.

3. **Reason for Request:** The application stated that the reason for this request is that the “property is located in a rural area (with) no existing widening or curb and gutter.” The applicant is proposing not to pay the fee in lieu of these street improvements.
4. **Staff’s Recommendation:** Staff recommends disapproval of this variance and that the developer comply with the UDC requirements and engineering standards. Appropriate fee in lieu should be paid if the developer does not wish to complete paving and sidewalks as required by UDC Section 7.502. If this variance is granted and the City has to construct the improvements on East Ingle Road, the total current estimated cost is \$25,819.50. The project engineer’s estimate was slightly higher, but in the same general range (\$29,000.00).

Prepared By:

D. Austin Colina
Planner I

Approved By:

Kimberly Mendoza, MPA
Director of Planning and Zoning

Sec. 7.502 Streets and Rights of Way

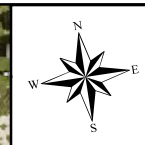
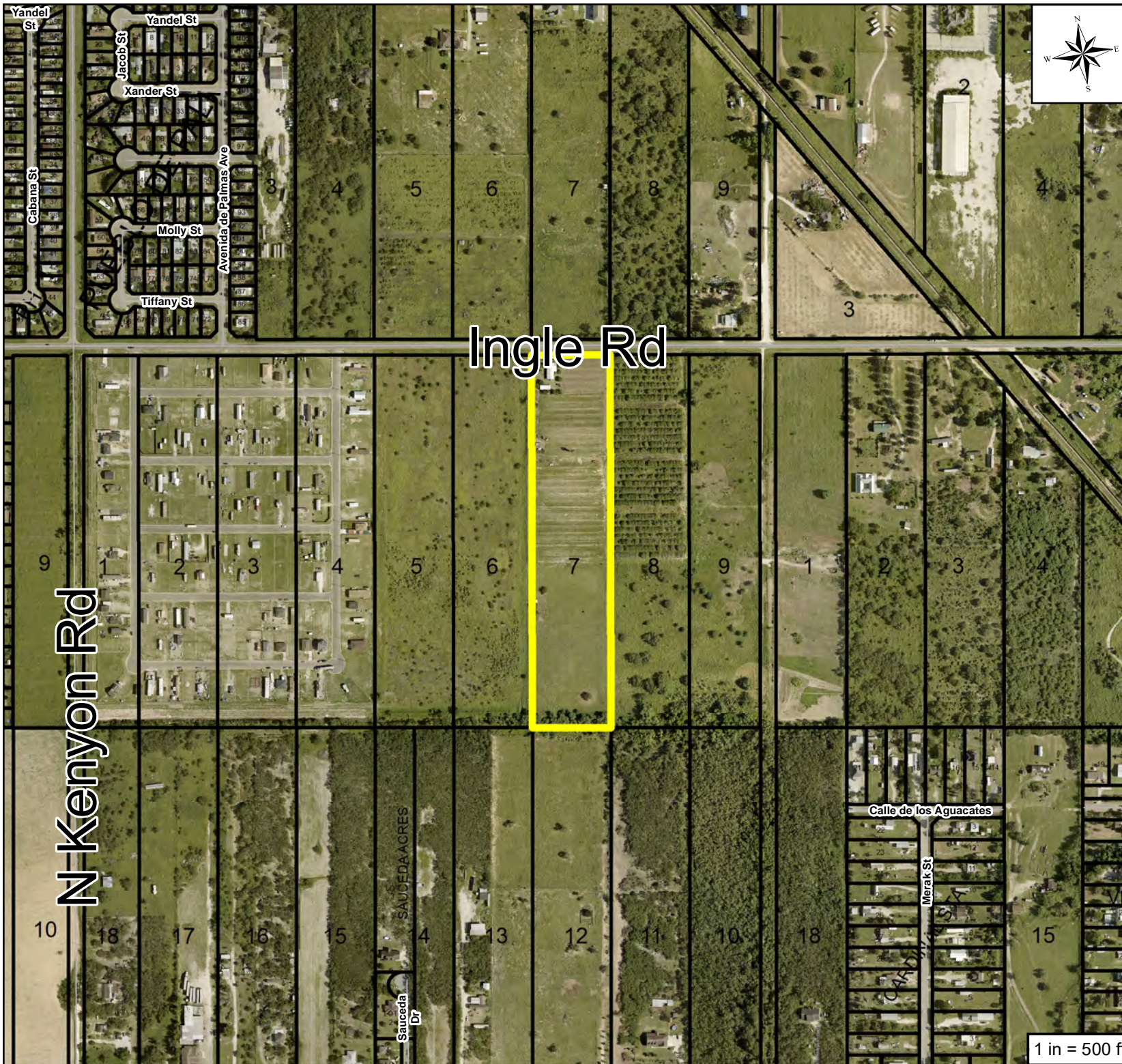
- A. **Within Proposed Development.** Streets, alleys, and other rights-of-way within proposed development shall be appropriately dedicated for the purposes they are intended to serve.
- B. **Perimeter Streets; Dedication.** Where the proposed subdivision abuts upon an existing street or half-street that does not conform to the right-of-way standards of [Division 8.200](#), *Streets, Sidewalks, and Trails*, or to an adopted thoroughfare plan, whichever provides for a wider pavement section, the subdivider shall dedicate right-of-way width sufficient to make the full right-of-way width conform to such Division.
- C. **Perimeter Streets; Pavement or Fee in Lieu Required.**
1. The subdivider shall pave so much of the dedicated right-of-way as to make the full pavement width comply with [Division 8.200](#), *Streets, Sidewalks, and Trails*, or an adopted thoroughfare plan, whichever provides for a wider pavement section. Before any pavement is laid to widen existing pavement, the existing pavement shall be cut back two feet to assure an adequate sub-base and pavement joint. Pavement shall be installed according to specifications promulgated by the City Engineer.
 2. Alternatively, if the length of the perimeter street is less than 1/4 mile or its improvement at the time of subdivision would in the City Engineer's professional opinion create a traffic safety hazard because it does not create a complete widened street segment between off-site street intersections, then the subdivider shall deposit with the City an amount equal to the cost of the improvement required by C1 above so that the City can make the improvement when sufficient right-of-way is dedicated from adjacent properties to do so in manner that is safe and practical for motorists. Amounts deposited pursuant to this Section shall be kept in segregated accounts and shall be subject to the reimbursement provisions of Section [7.506](#).C.1. Requests for reimbursement shall be made to the Administrator, shall be reviewed by the City Engineer, and forwarded to the Planning and Zoning Commission and City Council for review and action on the request.
-

Sec. 8.204 Street Standards

- A. **Streets.** The standards in Table 8.204, *Street Standards*, shall govern all street construction, except with regard to State highways, which shall meet Texas Department of Transportation (TxDOT) specifications.

Table 8.204 Street Standards ¹		
Right-of-way Width	Paving Width ²	Paving Sections Escrow
50 ft. (w/5 ft. U.E.) Minor (60 ft. with street trees)	32 ft. B-B	8-inch Caliche 2-inch HMAC
60 ft. Residential Collector ³	43 ft. 2 lanes (+) 2 park (+) C&G ⁴	8-inch Caliche 2-inch HMAC
80 ft. Collector	57 ft. B-B 2 lanes (1 OL) (+) 2 park (+) C&G	10-inch Caliche 2-inch HMAC
100 ft. Minor Arterial	65 ft. B-B 5 lanes (1CL) (+) C&G	12-inch Caliche 3-inch HMAC
120 ft. Arterial	81 ft. B-B 5 lanes (1CL) (+) 2 park (+) C&G 1 side	12-inch Caliche 3-inch HMAC
¹ Source: City Standards Manual, Section II-3. ² Travel lanes are 12 ft. wide and parking lanes ("park") are 8 ft. wide. Continuous Left (CL) and Occasional Left (OL) lanes are 14 ft. wide. ³ Multi-family subdivisions shall be required to comply with residential collector street standards. ⁴ C&G means 1.5 ft. wide curb and gutter on each side of the street.		

- B. **Adjustments.** The City shall, where feasible, require the street's design to minimize the disturbance of natural resources, including floodplains. Where additional right-of-way is needed to obtain vertical curve, grade, clear sight triangles, turn lanes, or medians, the required right-of-way shall be adjusted to the extent necessary in accordance with local needs as determined by the Planning and Engineering Departments.
- C. **Half Streets Prohibited.** No half-streets shall be permitted in new subdivision plats.



AERIAL MAP

CASE CAPTION:

SUBDIVISION NAME:

RG ESTATES PHASE III

Consider the preliminary Plat of Carmen Avila Subdivision Phase 5 being a 33.13 acre tract out of Tracts 156, San Salvador Del Tule Grant, as per map or plat thereof recorded in Volume 10, Page 58-60, map Records of Hidalgo County, Texas. Located South of Mile 2 1/2 North Road, East of Carmen Avila Road, As requested by Quintanilla, Headley and Associates, Inc.

Legend



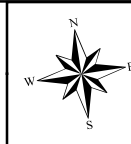
CITY LIMITS



SUBDIVISION SITE

SITE LOCATION MAP





SITE MAP

CASE CAPTION:

SUBDIVISION NAME: RG ESTATES PHASE III

CONSIDER THE PRELIMINARY PLAT OF RG ESTATES PHASE III, BEING A 10.00 ACRE TRACT OUT OF LOT 7, BLOCK 23, SANT CRUZ GARDENS UNIT NO. 2, AS PER MAP OR PLAT THEREOF RECORDED IN VOLUME 8, PAGE 28-29, MAP RECORDS OF HIDALGO COUNTY, TEXAS. LOCATED SOUTH OF INGLE ROAD, WEST OF CESAR CHAVEZ ROAD, AS REQUESTED BY QUINTANILLA, HEADLEY AND ASSOCIATES

Legend

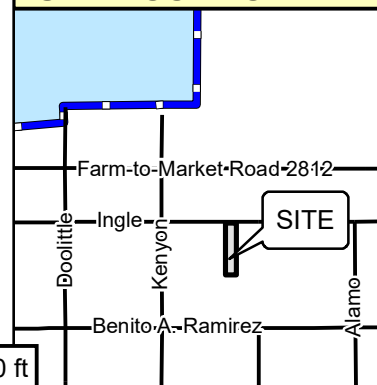


CITY LIMITS

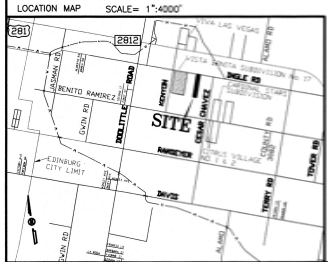


SUBDIVISION SITE

SITE LOCATION MAP



1 in = 1,000 ft





Case # _____

Edinburg THE CITY OF

Planning & Zoning Department
415 W. University Drive
Edinburg, Texas 78539
(956) 388-8202

Subdivision Appeals / Variance Application

Submittal Date: _____

Legal Description:

A 10.00 acre tract of land being all of Lot 7, Block 23, Santa Cruz Gardens Unit No. 2, Hidalgo County, Texas (RG Estates Phase III)

Variance Requested (Identify section of code for which variance is being requested):

Sec. 7.502 C.1 Ingle Road Widening

Reason for Request:

Property is located in a rural area, no existing widening or curb and gutter.

RG Estates, LLC

William A. Schwarz, Manager

Property Owner (Print legibly or type)

5711 N. 10th St.

Address

McAllen, TX 78504

City, State, Zip

(956) 682-4128

Telephone

butch11111@aol.com

Email address

Signature

Quintanilla, Headley & Associates, Inc.

Alfonso Quintanilla, P.E.

Applicant / Agent (Print legibly or type)

124 E. Stubbs St.

Address

Edinburg, TX 78539

City, State, Zip

(956) 381-6480

Telephone

alfonsoq@qha-eng.com

Email address

Signature

\$450 Application Fee: _____

Received By: _____

RECEIVED

SEP 08 2021

Name: *[Signature]*



Case # _____

Edinburg
THE CITY OF

Planning & Zoning Department
415 W. University Drive
Edinburg, Texas 78539
(956) 388-8202

Subdivision Appeals / Variance Application

Submittal Date: _____

Legal Description:

A 10.00 acre tract of land being all of Lot 7, Block 23, Santa Cruz Gardens Unit No. 2, Hidalgo County, Texas (RG Estates Phase III)

Variance Requested (Identify section of code for which variance is being requested):

Sec. 8.213 Sidewalk along Ingle Road

Reason for Request:

Property is located in a rural area, no existing sidewalks in the area and no schools nearby.

RG Estates, LLC

William A. Schwarz, Manager

Property Owner (Print legibly or type)

5711 N. 10th St.

Address

McAllen, TX 78504

City, State, Zip

(956) 682-4128

Telephone

butch11111@aol.com

Email address

Signature

Quintanilla, Headley & Associates, Inc.

Alfonso Quintanilla, P.E.

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Address

Edinburg, TX 78539

City, State, Zip

(956) 381-6480

Telephone

alfonsoq@qha-eng.com

Email address

Signature

\$450 Application Fee: _____

Received By: _____

RECEIVED

SEP 08 2021

Name: **Butch**

STAFF REPORT: NEWCASTLE SUBDIVISION

September 2, 2021

Planning and Zoning Meeting:

October 12, 2021

Agenda Item: **9A**

Final Plat

Subject: Consider the Final Plat for **NEWCASTLE SUBDIVISION**, being a 9.63-acre tract of land out of Lot 8, Block 2, Steele and Pershing Subdivision, as per map or plat thereof recorded in Volume 8, Page 114-115, Map Records of Hidalgo County, Texas, located at the northeast corner of Wisconsin Road and McColl Road, as requested by Quintanilla, Headley and Associates, Inc.

Location: The property is located at the northeast corner of McColl Road (FM 2061) and Wisconsin Road.

Zoning: This property is within the City Limits currently zoned Urban Residential (UR) District.

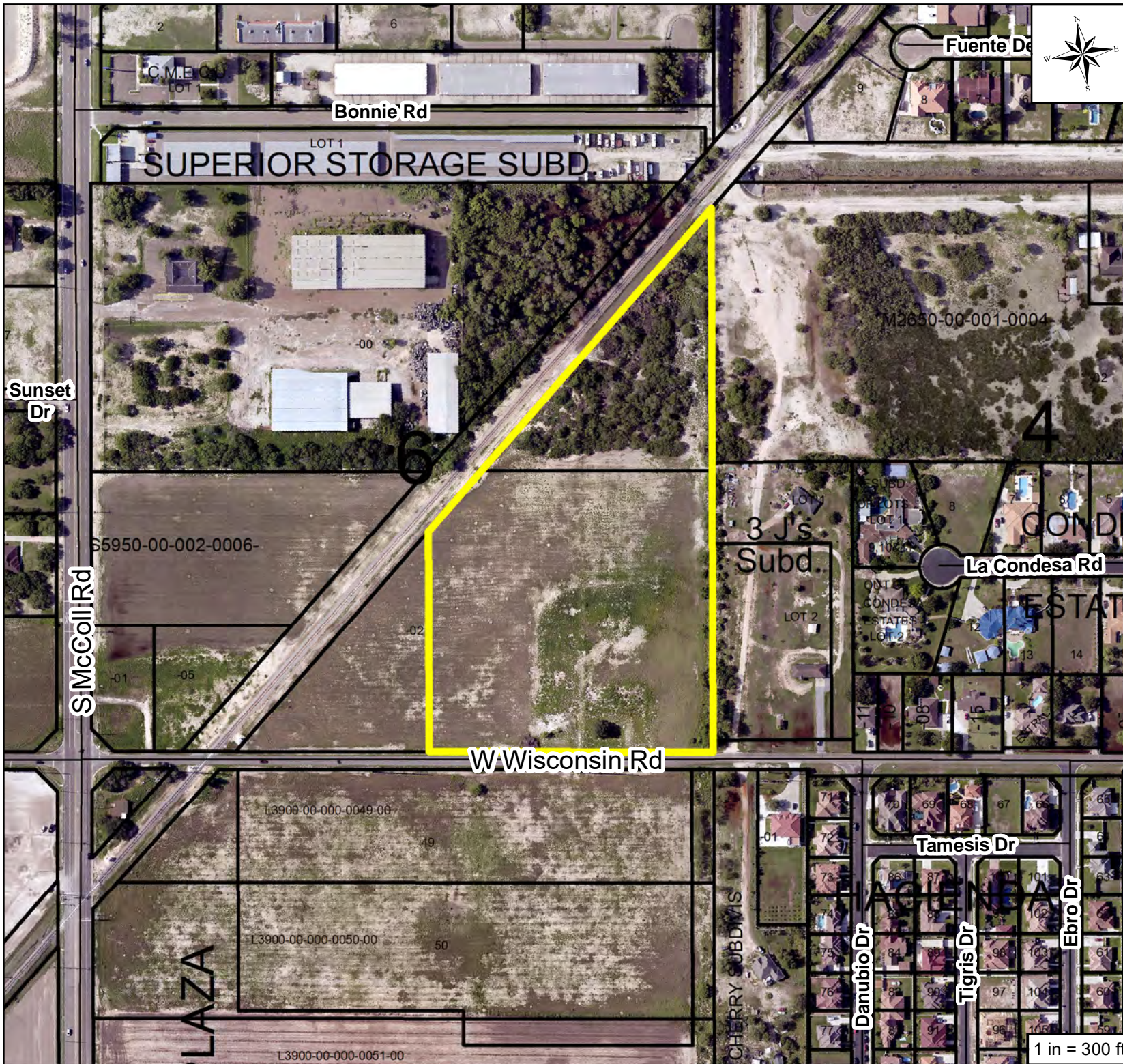
Analysis The Preliminary Plat was approved by the Planning and Zoning Commission on November 10, 2020 for a Multi- Family residential development with thirty-one (31) lots averaging approximately 9,600 sq. ft. per lot.

Utilities: Water Distribution System and Sanitary Sewer Collection is served by the City of Edinburg. All utility improvements within the proposed subdivision that are not limited to water, sewer, curb and gutter, fire hydrants, storm drain inlets and pavement will be installed by the developer in accordance with City of Edinburg's Unified Development code and approved 2014 Standards Manual.

Recommendations:

City of Edinburg

Saff recommends approval of the Final Plat, subject to compliance with the Unified Development Code, accepted cost estimates by City of Edinburg, and acceptance of the financial guarantee for the completion of the subdivision improvements prior to recording the subdivision plat. Financial Guarantee will be released upon completion and inspection of public improvements





AERIAL MAP

CASE CAPTION:

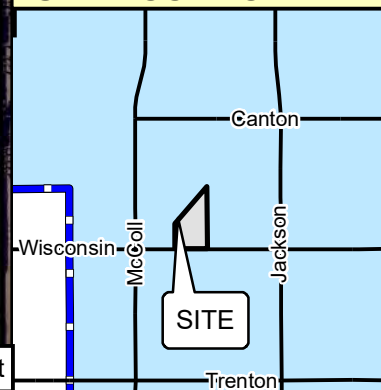
SUBDIVISION NAME:

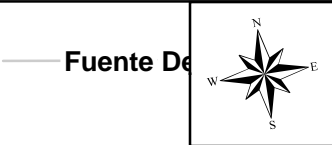
NEWCASTLE

Legend

-  CITY LIMITS
-  SUBDIVISION SITE

SITE LOCATION MAP





SITE MAP

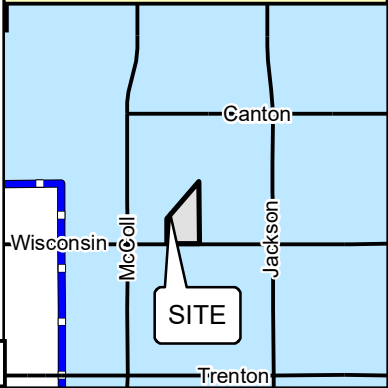
CASE CAPTION:

SUBDIVISION NAME:
NEWCASTLE

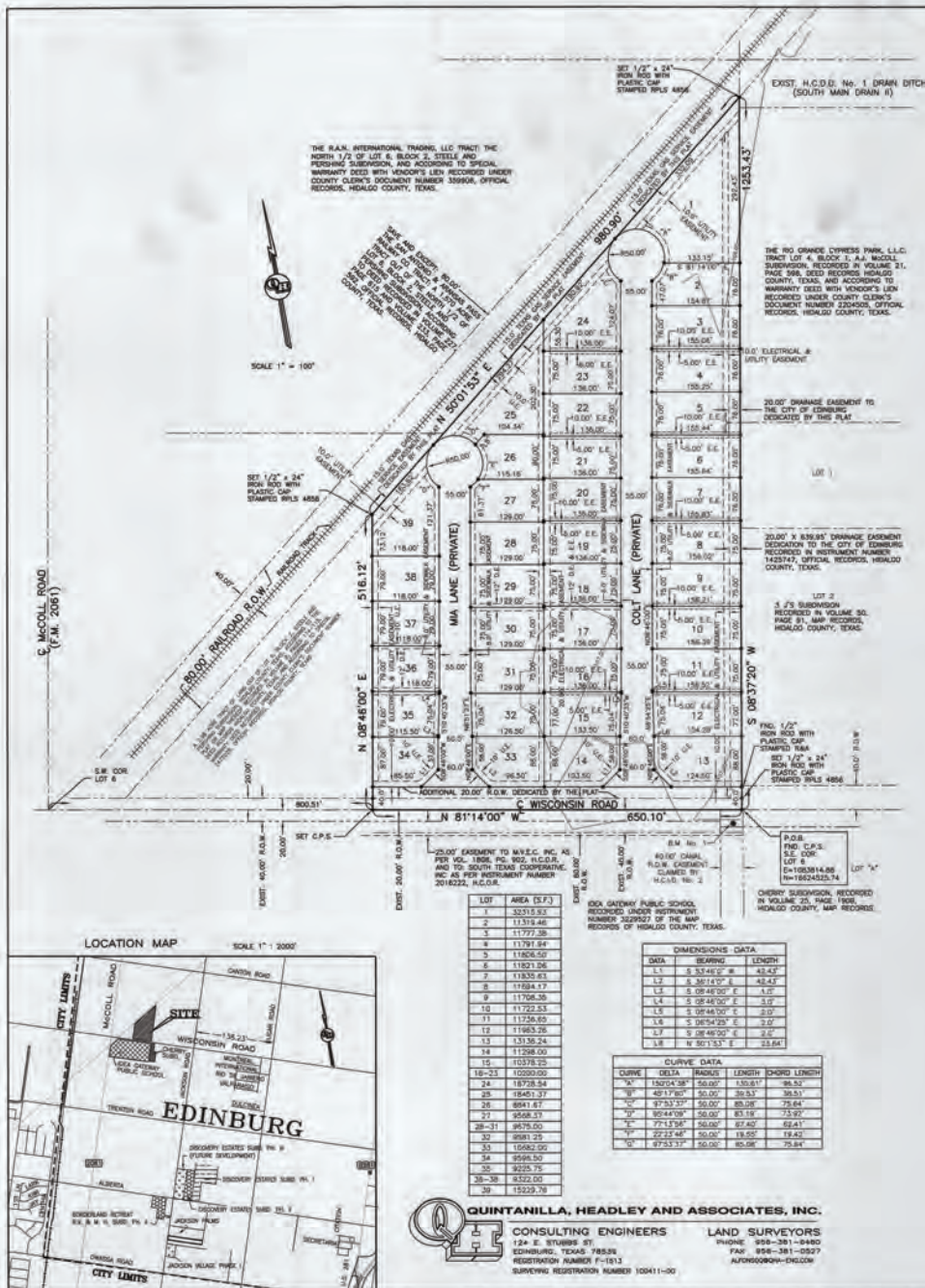
Legend

- CITY LIMITS
- SUBDIVISION SITE

SITE LOCATION MAP



1 in = 300 ft



NEWCASTLE

A 13.19 ACRE TRACT OF LAND OUT OF LOT 6, BLOCK 2, STEELE AND PERSHING SUBDIVISION, HIDALGO COUNTY, TEXAS, ACCORDING TO THE PLAT OR MAP THEREOF RECORDED IN VOLUME 8, PAGES 114-115, DEED RECORDS HIDALGO COUNTY, TEXAS, AND ACCORDING TO SPECIAL WARRANTY DEED RECORDED UNDER COUNTY CLERK'S DOCUMENT NUMBER 2472028, AND GENERAL WARRANTY DEED RECORDED UNDER COUNTY CLERK'S DOCUMENT NUMBER 3080380, OFFICIAL RECORDS, HIDALGO COUNTY, TEXAS.

METES AND BOUNDS

A 13.19 ACRE TRACT OF LAND OUT OF LOT 6, BLOCK 2, STEELE AND PERSHING SUBDIVISION, HIDALGO COUNTY, TEXAS, ACCORDING TO THE PLAT OR MAP THEREOF RECORDED IN VOLUME 8, PAGES 114-115, DEED RECORDS HIDALGO COUNTY, TEXAS, AND ACCORDING TO SPECIAL WARRANTY DEED RECORDED UNDER COUNTY CLERK'S DOCUMENT NUMBER 2472028, AND GENERAL WARRANTY DEED RECORDED UNDER COUNTY CLERK'S DOCUMENT NUMBER 3080380, OFFICIAL RECORDS, HIDALGO COUNTY, TEXAS, AND ACCORDING TO SPECIAL WARRANTY DEED RECORDED UNDER COUNTY CLERK'S DOCUMENT NUMBER 2472028, AND GENERAL WARRANTY DEED RECORDED UNDER COUNTY CLERK'S DOCUMENT NUMBER 3080380, OFFICIAL RECORDS, HIDALGO COUNTY, TEXAS.

BEARING AS AT A COTTON PICKER SPINDLE FOUND IN THE CENTERLINE OF WISCONSIN ROAD FOR THE SOUTHEAST CORNER OF LOT 6, AND THE SOUTHEAST CORNER OF THIS TRACT.

THENCE, IN 81°14'00" E, ALONG THE SOUTH LINE OF LOT 6, AND THE CENTERLINE OF WISCONSIN ROAD, A DISTANCE OF 850.10 FEET TO A COTTON PICKER SPINDLE SET FOR THE SOUTHWEST CORNER OF THIS TRACT.

THENCE, IN 0°47'00" E, PASSING A 1/2" IRON ROD WITH CAP STAMPED RPLS 4858 SET AT 20.00 FEET FOR THE NORTH RIGHT OF WAY LINE OF WISCONSIN ROAD, A TOTAL DISTANCE OF 216.12 FEET TO A 1/2" IRON ROD WITH CAP STAMPED RPLS 4858 SET ON THE SOUTH LINE OF AN 80.00 FOOT RAILROAD RIGHT OF WAY FOR THE NORTHEAST CORNER OF THIS TRACT.

THENCE, IN 90°17'30" E, ALONG THE EAST LINE OF SAID RAILROAD RIGHT OF WAY, A DISTANCE OF 280.90 FEET TO A 1/2" IRON ROD WITH CAP STAMPED RPLS 4858 SET ON THE EAST LINE OF LOT 6 FOR THE NORTHEAST CORNER OF THIS TRACT.

THENCE, IN 0°17'30" W, ALONG THE EAST LINE OF LOT 6, PASSING A 1/2" IRON ROD WITH CAP STAMPED RPLS 4858 SET AT 1,233.43 FEET FOR THE NORTH RIGHT OF WAY LINE OF WISCONSIN ROAD, A TOTAL DISTANCE OF 1,233.43 FEET TO THE POINT OF BEGINNING AND CONTAINING 13.19 ACRES OF LAND MORE OR LESS.

BEARINGS ARE IN ACCORDANCE WITH NAD83/83 ESTATES, RECORDED IN VOLUME 18, PAGE 27, MAP RECORDS, HIDALGO COUNTY, TEXAS.

STATE OF TEXAS
COUNTY OF HIDALGO

I, THE UNDERSIGNED, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECT, AND HAS BEEN PREPARED BY AN ACTUAL SURVEY OF THE PROPERTY SHOWN ON THE GROUND UNDER MY SUPERVISION.

ALFONSO QUINTERO
P.L.S. No. 4888

DATE: 6-13-19

STATE OF TEXAS
COUNTY OF HIDALGO

I, THE UNDERSIGNED, A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THE PROPOSED ENGINEERING CONSIDERATIONS HAVE BEEN GIVEN TO THIS PLAT.

ALFONSO QUINTERO
P.E. No. 92534

DATE: 6-22-21

PLAT NOTES AND RESTRICTIONS:

- 1- FLOOD ZONE DESIGNATION: ZONE "X" (SHADED)
- 2- SETBACKS: FRONT: 30.00 FEET, REAR: 10.00 FEET, SIDE: 8.00 FEET
- 3- CORNER SIDE: 10.00 FEET
- 4- TO EXISTING LINE WHICHEVER IS GREATER IN ALL CASES
- 5- MINIMUM FINISH FLOOR ELEVATION: 1' ABOVE TOP OF CURB OR BASE FLOOR ELEVATION, WHICHEVER IS GREATER
- 6- BENCHMARK: MEAN S.W. ELEV. = 108.00 TOP OF STORM MAIN HOLE LOCATED 15.5 FEET WEST AND 24 FEET SOUTH FROM THE SOUTHEAST CORNER OF THIS SUBDIVISION. N.A.Y.D. 88 DATUM
- 7- TOTAL DRAINAGE DIRECTION: S 163.872.00 C.F.
- 8- NO PERMANENT STRUCTURES SHALL BE ALLOWED WITHIN UTILITY EASEMENTS OR IRIGATION EASEMENTS
- 9- SIZE OF PUMP LIFT FEET (\$300.00) PER UNIT WILL BE DUE AT BUILDING PERMIT STAGE
- 10- ALL SUBDIVISION IMPROVEMENTS SHALL COMPLY WITH STORM WATER POLLUTION PREVENTION PLAN (SWPPP) REQUIREMENTS
- 11- A FIVE (5) FOOT BUFFER SHALL BE MAINTAINED BY THE CITY ENGINEER ENGINEERING DEPARTMENT STANDARDS OR AS APPROVED BY THE CITY ENGINEER IS REQUIRED AT BUILDING PERMIT STAGE BY LOT OWNER, AREA RAMPING WITHIN THE SUBDIVISION AND TO BE CONSTRUCTED DURING SUBDIVISION CONSTRUCTION STAGE
- 12- ALL WATER AND SANITARY SEWER FEES SHALL BE PAID BY DEVELOPER
- 13- NO TO WISCONSIN ROAD FROM LOTS 13, 14, 32, & 34
- 14- THE HOMEOWNERS' ASSOCIATION MUST COLLECT DUES TO MAINTAIN SAID PRIVATE STREETS, STREET LIGHTS, LANDSCAPE IMPROVEMENTS IN COMMON AREAS, STREET LIGHTS ELECTRIC BILL, AND OTHER AMENITIES IMPROVEMENTS FOR THE SUBDIVISION
- 15- U.S. DEPOSITS UTILITY EASEMENT: E.E. DEPOSITS ELECTRICAL EASEMENT
- 16- ALL COMMON ACCESS, PARKING LAND LANDSCAPING AREAS WILL BE MAINTAINED BY HOME OWNERS ASSOCIATION
- 17- THE OWNERS OF LOTS DEPOSITED BY THE PRIVATE ACCESS, ALLEYS AND ACCESS EASEMENTS WITHIN THIS PLAT AGREE TO RELEASE, INDEMNIFY, DEFEND AND HOLD HARMLESS ANY GOVERNMENTAL ENTITY FOR DAMAGES TO THE PRIVATE ACCESS, ALLEYS AND ACCESS EASEMENTS OCCASIONED BY THE REASONABLE USE THEREOF BY THE GOVERNMENTAL ENTITY FOR GOVERNMENTAL PURPOSES, AND TO RELEASE, INDEMNIFY, DEFEND AND HOLD HARMLESS ANY GOVERNMENTAL ENTITY FOR DAMAGES ARISING FROM THE CONSTRUCTION OF PRIVATE ACCESS, ALLEYS, OR PRIVATE ACCESS EASEMENTS, THE MAINTENANCE OF PRIVATE STREET LIGHTS SHALL NOT BE RESPONSIBILITY OF THE CITY OF EDINBURG
- 18- A FIVE (5) FOOT BUFFER SHALL BE MAINTAINED BY THE CITY ENGINEER ENGINEERING DEPARTMENT STANDARDS OR AS APPROVED BY THE CITY ENGINEER DURING SUBDIVISION CONSTRUCTION BY DEVELOPER
- 19- A 6' BUFFER FENCE, BUILT AND MAINTAINED BY THE HOME OWNERS ASSOCIATION WILL BE REQUIRED BETWEEN RESIDENTIAL AND MULTI-FAMILY LOTS
- 20- ALL LOTS SHALL HAVE A POST DEVELOPMENT FINISHED GRADE FROM THE REAR OF THE LOT TO THE CURB AND/OR ROADSIDE, SUCH AT A 1:2% SLOPE TO ACCOMPLISH POSITIVE DRAINAGE. THIS IS IN ACCORDANCE WITH CITY OF EDINBURG STANDARDS

STATE OF TEXAS COUNTY OF HIDALGO OWNER'S DEDICATION, CERTIFICATION, AND ATTESTATION

WE, THE UNDERSIGNED OWNERS OF THE LAND SHOWN ON THIS PLAT AND DESIGNATED HEREON AS NEWCASTLE, DO HEREBY GRANT AN EASEMENT TO THE CITY OF EDINBURG AND THOSE WHO MAY NOW OR HEREAFTER HOLD FRANCHISE UNDER SAID CITY'S STREET, STREET LIGHTS, TRAFFIC CONTROL, SIGNALS, AND OTHER IMPROVEMENTS AND EASEMENTS THEREON SHOWN, SURFACE USE OF THE STREET AND ALLEYS IS RESTRICTED TO THE EMPLOYEES OR AGENTS OF THE CITY OF EDINBURG, EMPLOYEES OF UTILITIES OPERATING UNDER FRANCHISE TO THE CITY OF EDINBURG AND RESIDENTS OF THE SUBDIVISION AND THEIR GUESTS.

THE STREETS, AS REFLECTED UPON THE SUBDIVISION PLAT, HAVE NOT BEEN DEDICATED TO THE PUBLIC FOR PUBLIC ACCESS NOR HAVE BEEN ACCEPTED BY THE CITY AS PUBLIC IMPROVEMENTS. THE PRIVATE STREETS, STREET LIGHTS, TRAFFIC CONTROL, SIGNALS, AND OTHER IMPROVEMENTS SHALL BE MAINTAINED BY THE HOMEOWNERS' ASSOCIATION WITHIN THE SUBDIVISION. THE STREETS SHALL ALWAYS BE OPEN TO EMERGENCY VEHICLES, PUBLIC AND PRIVATE UTILITY SERVICE PROVIDERS, THE U.S. POSTAL SERVICE AND GOVERNMENTAL EMPLOYEES IN PURSUANT OF THEIR OFFICIAL DUTIES.

THE OWNERS OF LOTS DEPOSITED BY THE PRIVATE STREETS ALLEYS AND ACCESS EASEMENTS WITHIN THIS PLAT AGREE TO RELEASE, INDEMNIFY, DEFEND AND HOLD HARMLESS ANY GOVERNMENTAL ENTITY FOR DAMAGES TO THE PRIVATE STREETS, ALLEYS, AND ACCESS EASEMENTS OCCASIONED BY THE REASONABLE USE THEREOF BY THE GOVERNMENTAL ENTITY FOR GOVERNMENTAL PURPOSES, AND TO RELEASE, INDEMNIFY, DEFEND AND HOLD HARMLESS ANY GOVERNMENTAL ENTITY FOR DAMAGES ARISING FROM THE CONSTRUCTION OF PRIVATE STREETS, ALLEYS, OR PRIVATE ACCESS EASEMENTS, THE MAINTENANCE OF PRIVATE STREET LIGHTS SHALL NOT BE RESPONSIBILITY OF THE CITY OF EDINBURG.

RED ROCK REAL ESTATE DEVELOPMENT GROUP, LTD.
MEMBER OF RED ROCK REAL ESTATE DEVELOPMENT GROUP, LTD.
2912 S. JACKSON ROAD
MCKINNEY, TX 75063
TEL: (956) 821-8180

STATE OF TEXAS
COUNTY OF HIDALGO

BEFORE ME, the undersigned notary public, on this day personally appeared MANUEL CANTU, MEMBER OF RED ROCK REAL ESTATE DEVELOPMENT GROUP, LTD., who appeared to me through his He Testes Department of Public Safety Order License to be the person whose name is subscribed to the foregoing instrument, who declared to me that he is the owner of the property described in the Subdivision Regulations of this City wherein my approval is required and has been approved for recording on the day of September, 2021.

Given under my hand and seal of office this 22nd day of September, 2021.

BLANCA E. MARTINEZ
Notary Public, State of Texas
Commission Expires 07-26-2023
MY E. 10040494

PLANNING & ZONING
COMMISSION CERTIFICATION

I, the undersigned, Chairperson of the Planning and Zoning Commission of the City of Edinburg, hereby certify that this subdivision complies with all requirements of the Subdivision Regulations of this City wherein my approval is required and has been approved for recording on the day of September, 2021.

CHAIRPERSON-PLANNING & ZONING COMMISSION

MAYOR'S CERTIFICATION

I, the undersigned, Mayor of the City of Edinburg, hereby certify that this subdivision plat conforms to all requirements of the Subdivision Regulations of this City wherein my approval is required.

MAYOR-CITY OF EDINBURG

ATTEST: CITY SECRETARY

HIDALGO COUNTY IRIGATION DISTRICT NO. 2 CERTIFICATION

THIS PLAT IS HEREBY APPROVED BY THE HIDALGO COUNTY IRIGATION DISTRICT NO. 2 ON THIS 13th DAY OF June, 2019.

NO IMPROVEMENTS OF ANY KIND (INCLUDING WITHOUT LIMITATION TREES, FENCE, AND BUILDINGS) SHALL BE PLACED UPON HIDALGO COUNTY IRIGATION DISTRICT #2 RIGHTS OF WAY OR EASEMENTS.

ATTEST: PRESIDENT SECRETARY

APPROVED BY DRAINAGE DISTRICT

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER THE TEXAS WATER CODE 48.211 (C-1). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DETACHED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER AND HIS ENGINEER TO MAKE THEIR DETERMINATIONS.

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1

MAIL DESK, P.E., C.T.M.
GENERAL MANAGER

FILED FOR RECORD IN
HIDALGO COUNTY
ARTURO GUJARDO, JR.
HIDALGO COUNTY CLERK

ON: AT: AM/PM

INSTRUMENT NUMBER

OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS

BY: DEPUTY

PREPARED BY: DATE PREPARED: JUNE 13, 2019

DATE RECORDED: JUNE 13, 2019

RECORDED BY: JUNE 13, 2019

INDEXED BY: JUNE 13, 2019

FILED BY: JUNE 13, 2019



QUINTANILLA, HEADLEY AND ASSOCIATES, INC.

Consulting Engineers ★ Land Surveyors
 Alfonso Quintanilla, P.E. # 95534 R.P.L.S. # 4856 Eulalio Ramirez, P.E. # 77062
 Engineering Firm Registration No. F-1513
 Surveying Firm Registration No. 100411-00
 124 E. Stubbs St. Edinburg, Texas 78539
 Phone: (956) 381-6480 Fax (956) 381-0527

Construction Cost Estimate

Date Prepared: October 8, 2021	Sheet 1 of 3
Project: Newcastle & Queens Court	BASIS OF ESTIMATE No Design Complete Preliminary Design Final Design
Number of Lots: 39 Multifamily Acres: 13.19	
Location: Wisconsin Rd.	
Irrigation District: HCID No. 2	
Owner: Red Rock Real Estate Development Group	
Type of Estimate: Pending Work	
Estimator: Alfonso Quintanilla, P.E., R.P.L.S.	

Item	Description	Unit	Quantity	Unit Cost	Total
	Newcastle				
I.	Water Distribution System (City of Edinburg)				
1	2" Single Service Connection Long (67.0')	EA	14	2,320.00	32,480.00
2	2" Single Service Connection Short	EA	25	1,680.00	42,000.00
3	1" Single Service Connection Short	EA	2	780.00	1,560.00
4	Meter Boxes	EA	195	75.00	14,625.00
				Subtotal:	\$ 90,665.00
II.	Water Distribution System (City of Edinburg) - Offsite				
1	8" P.V.C. DR-18	LF	300	19.25	5,775.00
2	12" P.V.C. DR-18	LF	1,870	30.00	56,100.00
3	12" M.J. 22.5° or 45° or 90° Bend	EA	5	950.00	4,750.00
4	12" M.J. Tee with Repair Coupling	EA	2	2,990.00	5,980.00
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12	4" Existing Waterline (to be remove & dispose) with Cap	LF	1,000	4.00	4,000.00
13	8" Valve & Box	EA	7	1,850.00	12,950.00
14	Backfill & Compaction as per Edinburg	LF	2,170	3.50	7,595.00
				Subtotal:	\$ 168,005.00

QUINTANILLA, HEADLEY AND ASSOCIATES, INC.

Consulting Engineers ★ Land Surveyors
 Alfonso Quintanilla, P.E.# 95534 R.P.L.S.#4856 Eulalio Ramirez, P.E. # 77062
 Engineering Firm Registration No. F-1513
 Surveying Firm Registration No. 100411-00
 124 E. Stubbs St. Edinburg, Texas 78539
 Phone: (956) 381-6480 Fax (956) 381-0527

Construction Cost Estimate

Date Prepared: October 8, 2021

Project: Newcastle & Queens Court

Number of Lots: 39 Multifamily	Acres: 13.19
--------------------------------	--------------

Location: Wisconsin Rd.

Irrigation District: HCID No. 2

Owner: Red Rock Real Estate Development Group

Type of Estimate: Pending Work

Estimator: Alfonso Quintanilla, P.E., R.P.L.S.

Sheet 2 of 3

BASIS OF ESTIMATE

No Design Complete

Preliminary Design

Final Design

[illegible]



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Item	Description	Unit	Quantity	Unit Cost	Total
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				Grand Total:	\$ 595,950.00



[Handwritten Signature]
 10-8-21

APPROVED

By Peter Hermida at 9:46 am, Oct 08, 2021

STAFF REPORT: QUEENS COURT SUBDIVISION

September 2, 2021

Planning and Zoning Meeting:

October 12, 2021

Agenda Item: **9B**

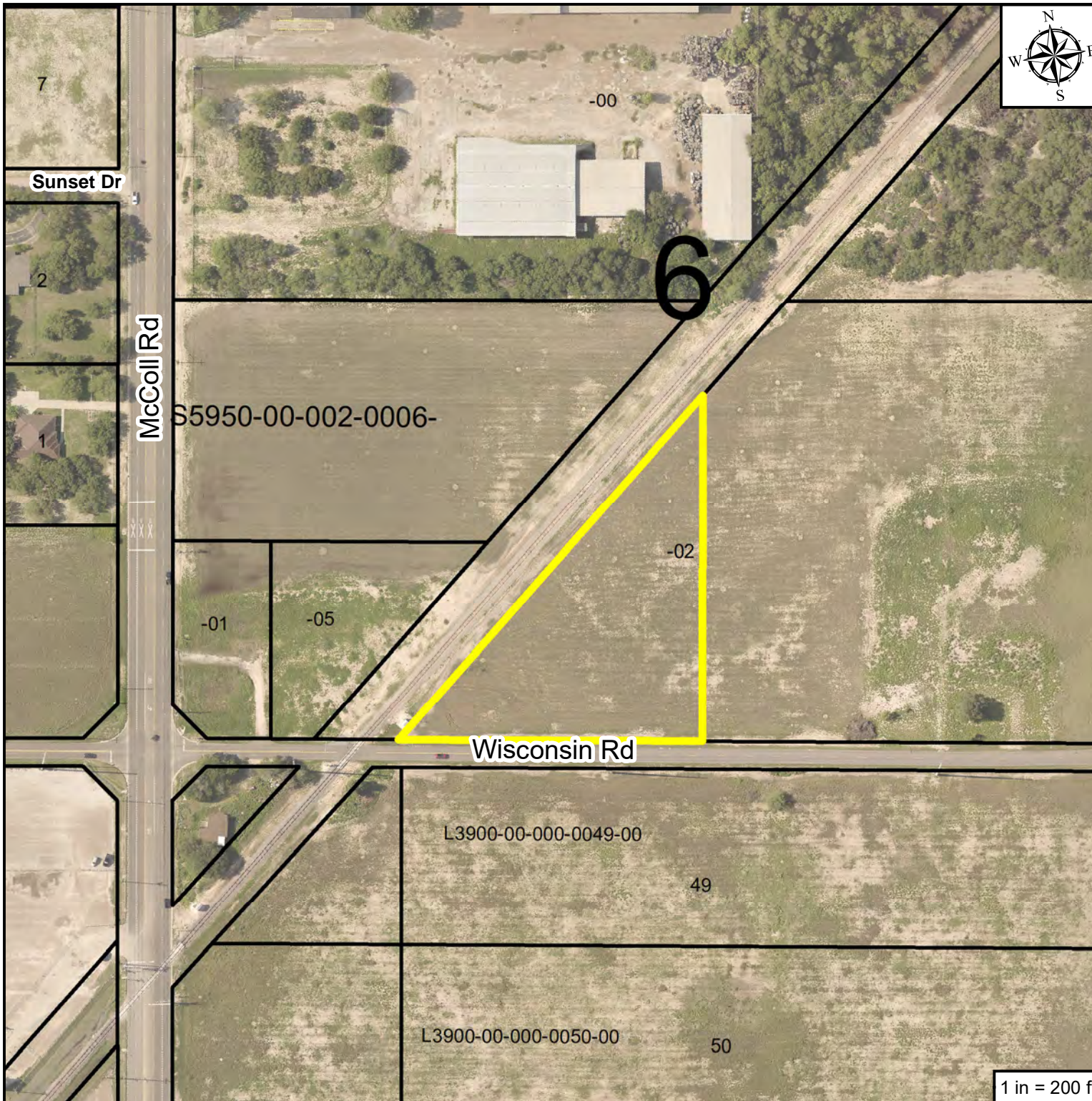
Final Plat

- Subject:** Consider the Final Plat for **QUEENS COURT SUBDIVISION**, being a 2.68-acre tract out of Lot 6, Block 2, Steele and Pershing Subdivision, as per map or plat thereof recorded in Volume 8, Page 114-115, Map Records of Hidalgo County, Texas, located at 2701 W. Wisconsin Road, as requested by Quintanilla, Headley and Associates, Inc.
- Location:** The property is located at the northeast corner of McColl Road (FM 2061) and Wisconsin Road.
- Zoning:** This property is within the City Limits currently zoned Urban Residential (UR) District.
- Analysis** The Preliminary Plat was approved by the Planning and Zoning Commission on November 10, 2020 for a single-family townhouse residential development with eighteen (18) lots averaging approximately 3,200 sq. ft. per lot. Staff recommends approval subject to a financial guarantee on pending infrastructure items.
- Utilities:** Water Distribution System and Sanitary Sewer Collection is served by the City of Edinburg. All utility improvements within the proposed subdivision that are not limited to water, sewer, curb and gutter, fire hydrants, storm drain inlets and pavement will be installed by the developer in accordance with City of Edinburg's Unified Development code and approved 2014 Standards Manual.
-

Recommendations:

City of Edinburg

Staff recommends approval of the Final Plat, subject to compliance with the Unified Development Code, accepted cost estimates by City of Edinburg, and acceptance of the financial guarantee for the completion of the subdivision improvements prior to recording the subdivision plat. Financial Guarantee will be released upon completion and inspection of public improvements



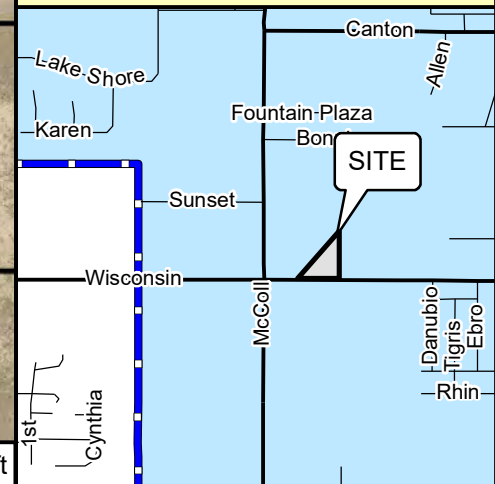
CASE CAPTION:

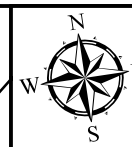
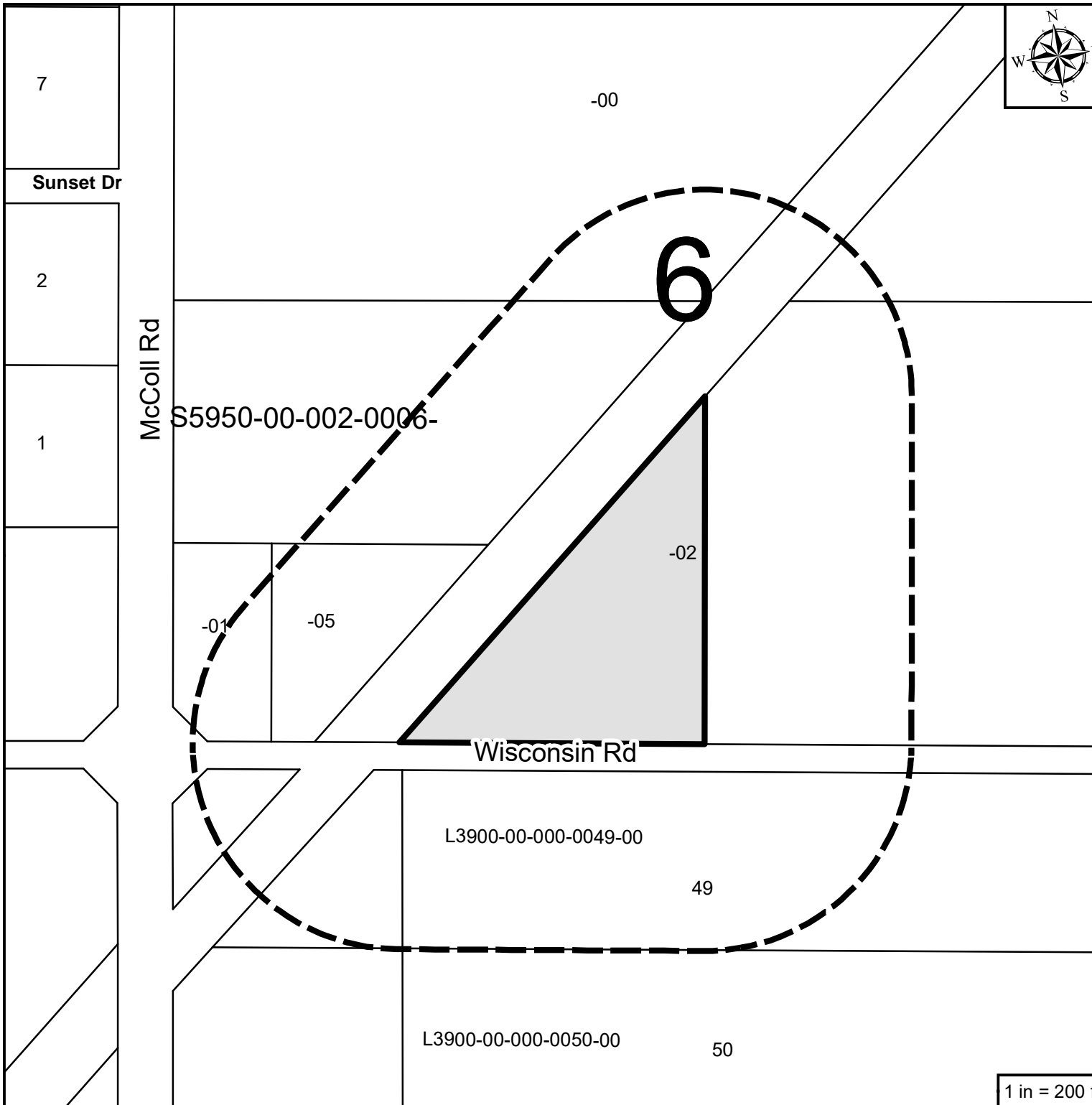
APPLICANT NAME:
QUEEN COURT

Legend

 APPLICANT SITE

SITE LOCATION MAP





CASE CAPTION:

APPLICANT NAME:

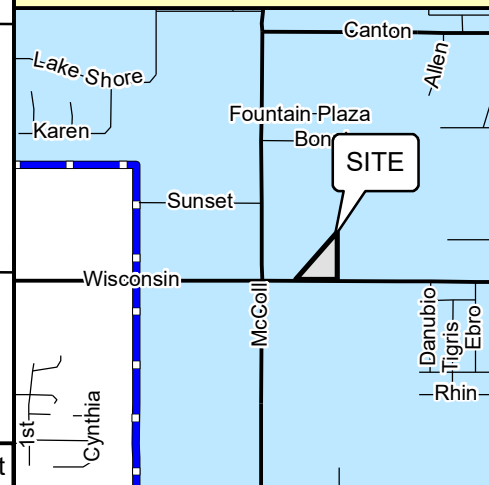
QUEEN COURT

CONSIDER THE REZONING REQUEST FROM SUBURBAN RESIDENTIAL (S) DISTRICT TO URBAN RESIDENTIAL DISTRICT, BEING A 2.68 ACRE TRACT OF LAND OUT OF A 39.938 ACRE TRACT BEING THE SOUTH ½ LOT OF LOT 6, BLOCK 2, STEELE AND PERSHING SUBDIVISION, LOCATED AT THE NORTHEAST CORNER OF MCCOLL ROAD AND WISCONSIN ROAD, AS REQUESTED BY QUINTNAILLA HEADLEY & ASSOC.

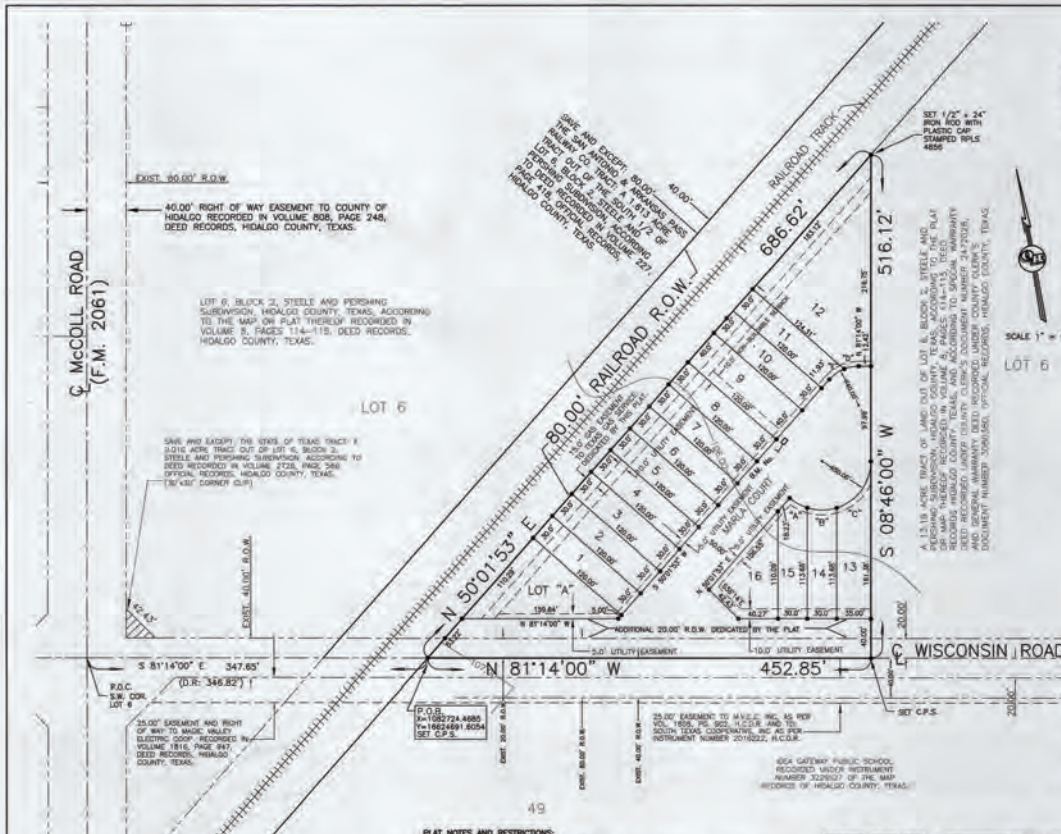
Legend

- APPLICANT SITE
- 300FT NOTIFICATION

SITE LOCATION MAP



1 in = 200 ft



QUEEN'S COURT

A 2.68 ACRE TRACT OF LAND OUT OF LOT 6, BLOCK 2, STEELE AND PERSHING SUBDIVISION, HIDALGO COUNTY, TEXAS, ACCORDING TO THE PLAT OR MAP THEREOF RECORDED IN VOLUME 8, PAGES 114-115, DEED RECORDS HIDALGO COUNTY, TEXAS, AND ACCORDING TO SPECIAL WARRANTY DEED RECORDED UNDER COUNTY CLERK'S DOCUMENT NUMBER 2472028, OFFICIAL RECORDS, HIDALGO COUNTY, TEXAS.

NOTES AND BOUNDS

A 2.68 ACRE TRACT OF LAND OUT OF LOT 6, BLOCK 2, STEELE AND PERSHING SUBDIVISION, HIDALGO COUNTY, TEXAS, ACCORDING TO THE PLAT OR MAP THEREOF RECORDED IN VOLUME 8, PAGES 114-115, DEED RECORDS HIDALGO COUNTY, TEXAS, AND ACCORDING TO SPECIAL WARRANTY DEED RECORDED UNDER COUNTY CLERK'S DOCUMENT NUMBER 2472028, OFFICIAL RECORDS, HIDALGO COUNTY, TEXAS, TOTAL EXTENT TO WHICH IS HEREIN SET FORTH FOR ALL PURPOSES AND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT A COTTON PICKER SPINDLE FOUND ON THE SOUTH LINE OF LOT 6 AND IN THE CENTERLINE OF WISCONSIN ROAD FOR THE SOUTHWEST CORNER OF THIS TRACT, SAID SPINDLE BEARS S 81°14'E, 347.65 FEET FROM THE SOUTHWEST CORNER OF LOT 6;

THENCE IN S 81°14'E, ALONG THE SOUTH LINE OF THE 80.00 FOOT SAN ANTONIO & ANAWAS PASSE RAILWAY CO. RIGHT OF WAY, PASSING A 1/2" IRON ROD WITH CAP STAMPED RPLS 4886 SET AT 28.81 FEET FOR THE NORTH BOUND OF WAY LINE OF WISCONSIN ROAD, A TOTAL DISTANCE OF 686.62 FEET TO A 1/2" IRON ROD WITH CAP STAMPED RPLS 4826 SET FOR THE NORTHEAST CORNER OF THIS TRACT;

THENCE S 08°44' W, PASSING A 1/2" IRON ROD WITH CAP STAMPED RPLS 4886 SET AT 498.12 FEET FOR THE NORTH BOUND OF WAY LINE OF WISCONSIN ROAD, A TOTAL DISTANCE OF 516.12 FEET TO A COTTON PICKER SPINDLE SET ON THE SOUTH LINE OF LOT 6, AND IN THE CENTERLINE OF WISCONSIN ROAD FOR THE SOUTHWEST CORNER OF THIS TRACT;

THENCE S 81°14' W, ALONG THE SOUTH LINE OF LOT 6, AND THE CENTERLINE OF WISCONSIN ROAD, A DISTANCE OF 452.85 FEET TO THE POINT OF BEGINNING AND CONTAINING 2.68 ACRES OF LAND MORE OR LESS.

BEARINGS ARE IN ACCORDANCE WITH MARQUETTE ESTATES, RECORDED IN VOLUME 18, PAGE 27, MAP RECORDS, HIDALGO COUNTY, TEXAS.

STATE OF TEXAS

COUNTY OF HIDALGO

I, THE UNDERSIGNED, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECT, AND WAS MADE AND PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY HEREIN SHOWN AND ACCORDING TO THE SUBDIVISION.



Alfonso Quintanilla
ALFONSO QUINTANILLA
R.P.L.S. NO. 15534
6-13-19
DATE

STATE OF TEXAS

COUNTY OF HIDALGO

I, THE UNDERSIGNED, A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THE PROPOSED ENGINEERING CONSIDERATIONS HAVE BEEN GIVEN TO THIS PLAT.



Alfonso Quintanilla
ALFONSO QUINTANILLA
P.E. NO. 15534
9-22-21
DATE

PLAT NOTES AND RESTRICTIONS:

1. FLOOD ZONE DESIGNATION, ZONE "X" (SHADES) DEFINED AS "AREAS OF 100-YEAR FLOOD AREAS OF DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 100-YEAR FLOODS." COMMUNITY-PANEL NUMBER: 480338 0030 E MAP REVISION: JUNE 8, 2000 (LAST DATED MAY 14, 2001)

2. LEGEND: - DENOTES 1/2" x 24" IRON ROD SET WITH PLASTIC CAP STAMPED RPLS 4854, UNLESS OTHERWISE NOTED.

3. SETBACKS:
FRONT: 20.00 FEET
REAR: 10.00 FEET
SIDE: 10.00 FEET
CORNER: 10.00 FEET
SOUTHWEST SIDE OF LOT 6: 10.00 FEET
OR TO EASEMENT LINE WHICHEVER IS GREATER IN ALL CASES.

4. MINIMUM FINISH FLOOR ELEVATION: 18" ABOVE TOP OF CURB AT CENTER OF LOT.

5. BENCHMARK NOTE:
B.M. ELEV. 108.00 TOP OF INLET LOCATED NEAR THE NORTHEAST CORNER OF LOT 6 OF THIS SUBDIVISION. N.A.M.S. BE DATUM.

6. TOTAL DRAINAGE RETENTION IS 27,957.00 C.F. DETENTION IS BEING PROVIDED IN THE H.C.D.D. NO. 1 DRAIN DITCH LOCATED NORTHEAST OF THIS SUBDIVISION.

7. NO PERMANENT STRUCTURES SHALL BE ALLOWED WITHIN UTILITY EASEMENTS.

8. DUE TO PARK LAND FEE (\$300.00) PER LOT WILL BE DUE AT BUILDING PERMIT STAGE.

9. ALL SUBDIVISION IMPROVEMENTS SHALL COMPLY WITH STORM WATER POLLUTION PREVENTION PLAN (SWPPP) REQUIREMENTS.

10. NO ACCESS ONTO WISCONSIN ROAD FROM LOTS 13-16.

11. ALL WATER AND SANITARY SEWER PIPES SHALL BE PAID BY DEVELOPER.

12. U.E. DENOTES UTILITY EASEMENT. E.E. DENOTES ELECTRICAL EASEMENT. D.E. DENOTES DRAINAGE EASEMENT.

13. A 5 FOOT SIDEWALK IS REQUIRED ALONG THE NORTH SIDE OF WISCONSIN ROAD INCLUDING WALKWAY RAMP IN COMPLIANCE WITH ADA STANDARDS TO BE CONSTRUCTED AS PART OF THE SUBDIVISION CONSTRUCTION. A 5 FOOT SIDEWALK, WHICH SHALL BE MINIMUM 5 FEET BOUND THE CURB SHALL BE REQUIRED ALONG INTERIOR STREETS AT BUILDING PERMIT STAGE.

14. ALL LOTS SHALL HAVE A POST DEVELOPMENT FINISHED GRADE FROM THE REAR OF THE LOT TO THE CURB AND/OR SIDEWALK GRAD AT A 1:6 SLOPE TO ACCOMPLISH POSITIVE DRAINAGE. THIS IS IN ACCORDANCE WITH CITY OF EDINBURG STANDARDS.

15. LOT "A" TO BE OWNED AND MAINTAINED BY THE HOMEOWNERS ASSOCIATION.

LOT	AREA (S.F.)
1-8	3406.06
9	4800.00
10	3600.00
11	3625.38
12	14318.43
13	4633.23
14	3384.67
15	3525.45
16	4472.71
LOT "A"	6817.25

CURVE	DELTA	CHORD	LENGTH	CHORD
1-8	33°48'26"	30.00	20.28	20.63
9	34°54'50"	30.00	30.47	30.00
10	77°32'14"	30.00	53.31	39.16
11	21°53'00"	40.00	15.38	15.18
12	28°51'08"	40.00	18.75	18.58



QUINTANILLA, HEADLEY AND ASSOCIATES, INC.

CONSULTING ENGINEERS

EDINBURG, TEXAS 78539

REGISTRATION NUMBER 1-1313

SURVEYING REGISTRATION NUMBER 100411-00

LAND SURVEYORS

124 E. STURMERS ST.

EDINBURG, TEXAS 78539

PHONE: 936-381-4480 FAX: 936-381-0927 ALFONSO@QHA-ENG.COM

DATE OF PREPARATION: JULY 13, 2019

STATE OF TEXAS
COUNTY OF HIDALGO

I, THE UNDERSIGNED OWNERS OF THE LAND SHOWN ON THIS PLAT, AND DESIGNATED HEREIN AS QUEEN'S COURT, ADOPTED BY THE CITY OF EDINBURG, AND WHOSE NAME IS SUBMITTED HERETO, HEREBY DEDICATE TO THE USE OF THE PUBLIC FOR THE PURPOSES OF PARKWAYS, WATERCOURSES, DRAINAGE, EASEMENTS AND PUBLIC PLACES THEREON SHOWN FOR THE PURPOSE OF CONSIDERATION THEREIN EXPRESSED.

RED ROCK REAL ESTATE DEVELOPMENT GROUP, LTD.
MANUEL CHAVEZ, MEMBER
2012 E. JOHNSON ROAD
NACOLE, TX 78580
PH: (936) 821-8180

STATE OF TEXAS
COUNTY OF HIDALGO

BEFORE ME, the undersigned authority, on this day personally appeared

MANUEL CHAVEZ, MEMBER OF RED ROCK REAL ESTATE DEVELOPMENT GROUP, LTD.

known to me to be the person whose name is subscribed to the foregoing instrument, and

acknowledged to me that he executed the same for the purposes and considerations therein

expressed.

Given under my hand and seal of office this 22nd day of SEPTEMBER, 2021.



Carlos Annette Quintanilla
CARLOS ANNETTE QUINTANILLA, A NOTARY PUBLIC

PLANNING & ZONING

COMMISSION CERTIFICATION

I, the undersigned, Chairperson of the Planning and Zoning Commission of the City of Edinburg, hereby certify that this subdivision plat conforms to all requirements of the Subdivision Regulations of this City as amended by Ordinance No. 20, and I have approved for recording on the day of 2021.

MAYOR'S CERTIFICATION

I, the undersigned, Mayor of the City of Edinburg, hereby certify that this subdivision plat conforms to all requirements of the Subdivision Regulations of this City as amended by Ordinance No. 20, and I have approved for recording on the day of 2021.

ATTEST:

MAYOR'S SIGNATURE DATE CITY SECRETARY DATE

THIS PLAT IS HEREBY APPROVED BY THE HIDALGO COUNTY REGISTRATION DISTRICT NO. 2 ON THIS DAY OF 2021.

NO IMPROVEMENTS OF ANY KIND ENJOYING WITHOUT (LIMITATION, TREES, FENCES, AND BUILDINGS) SHALL BE PLACED UPON HIDALGO COUNTY REGISTRATION DISTRICT (2) RIGHTS OF EASEMENTS.

APPROVED BY DRAINAGE DISTRICT:

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1. HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER THE TEXAS WATER CODE, 48.211 C.I. THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER AND HIS ENGINEER TO MAKE THEIR DETERMINATIONS.

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1

FILED FOR RECORD IN

HIDALGO COUNTY

ARTURO GUILLERMO, JR.

HIDALGO COUNTY CLERK



ON: AT AM/PM

INSTRUMENT NUMBER

OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS

BY: DEPUTY

FILENAME	P:\DATA\SUBDIVISIONS\QUEEN'S COURT\PLAT
DATE PREPARED	7/13/2019
PREPARED BY	ALFONSO QUINTANILLA
CHECKED BY	ALFONSO QUINTANILLA
APPROVED BY	ALFONSO QUINTANILLA
DATE REVIEWED	9/15/2020
REVIEWED BY	ALFONSO QUINTANILLA
CHECKED BY	ALFONSO QUINTANILLA
APPROVED BY	ALFONSO QUINTANILLA



QUINTANILLA, HEADLEY AND ASSOCIATES, INC.

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 Engineering Firm Registration No. F-1513
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 124 E. Stubbs St. Edinburg, Texas 78539
 Phone: (956) 381-6480 Fax (956) 381-0527

Construction Cost Estimate

Date Prepared: October 8, 2021	Sheet 1 of 3
Project: Newcastle & Queens Court	BASIS OF ESTIMATE No Design Complete Preliminary Design Final Design
Number of Lots: 39 Multifamily Acres: 13.19	
Location: Wisconsin Rd.	
Irrigation District: HCID No. 2	
Owner: Red Rock Real Estate Development Group	
Type of Estimate: Pending Work	
Estimator: Alfonso Quintanilla, P.E., R.P.L.S.	

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Sheet 2 of 3

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[Handwritten Signature]
 10-8-21

APPROVED

By Peter Hermida at 9:46 am, Oct 08, 2021



City Council Actions
Meeting Date: August 17, 2021

COMPREHENSIVE PLAN AMENDMENT & REZONING:

Hold Public Hearing and Consider the Comprehensive Plan Amendment from Auto Urban Uses to Urban Uses and the Rezoning Request from Agriculture (AG) District & Commercial General (CG) District to Urban Residential (UR) District, being a 35.69 acre tract of land, out of Lot 9, Section 239, Texas-Mexican Railway Company's Survey, located at 920 West Rogers Road, as requested by Rio Delta Engineering.

- Planning & Zoning Commission recommended approval on July 13, 2021
- City Council **approved** on August 17, 2021

Hold Public Hearing and Consider the Comprehensive Plan Amendment from Suburban Uses to Auto Urban Uses and the Rezoning Request from Agriculture (AG) District to Auto Urban Residential (AU) District, being 19.934 acres out of Lot 13, Section 238, Texas-Mexican Railway Company's Survey, located at 5101 West Schunior Road, as requested by Melden & Hunt, Inc.

- Planning & Zoning Commission recommended approval on July 13, 2021
- City Council **approved** on August 17, 2021

Hold Public Hearing and Consider the Comprehensive Plan Amendment from Suburban Uses to Auto Urban Uses and the Rezoning Request from Agriculture (AG) District to Auto Urban Residential (AU) District, being 18.984 acres out of Lot 14, Section 238, Texas-Mexican Railway Company's Survey, located at 4701 West Schunior Road, as requested by Melden & Hunt, Inc.

- Planning & Zoning Commission recommended approval on August 10, 2021
- City Council **approved** on August 17, 2021

Hold Public Hearing and Consider the Comprehensive Plan Amendment from Auto Urban Uses to Urban Uses and the Rezoning Request from Suburban Residential (S) District to Urban Residential (UR) District, being a 0.54 acre tract of land out of Lot 3, Section 243, Texas-Mexican Railway Company's Survey, located at 3331 North Jasman Road, as requested by Juan Lopez.

- Planning & Zoning Commission recommended approval on July 13, 2021
- City Council **approved** on August 17, 2021

Hold Public Hearing and Consider the Comprehensive Plan Amendment from Auto Urban Uses to Urban Uses and the Rezoning Request from Suburban Residential (S) District to Urban Residential (UR) District, being a 1.20 acre tract of land out of Lot 3, Section 243, Texas-Mexican Railway Company's Survey, located at 3331 North Jasman Road, as requested by Juan Lopez & Sandra Lopez.

- Planning & Zoning Commission recommended approval on July 13, 2021
- City Council **approved** on August 17, 2021

REZONING:

Hold Public Hearing and Consider the Rezoning Request from Neighborhood Conservation 7.1 (NC 7.1) District to Auto Urban Residential (AU) District, being Lot 7, Block 156, Edinburg Original Townsite, located at 401 North 21st Avenue, as requested by RT Homes, LLC.

- Planning & Zoning Commission recommended disapproval on July 13, 2021
- City Council **tabled** the item on August 17, 2021

Hold Public Hearing and Consider the Rezoning Request from Neighborhood Conservation 7.1 (NC 7.1) District to Urban Residential (UR) District, being Lot 12, Block 199, Edinburg Original Townsite, located at 1101 East McIntyre Street, as requested by Fabiola & Mauricio Cervantes

- Planning & Zoning Commission recommended disapproval on July 13, 2021
- City Council **tabled** the item on August 17, 2021

SPECIAL USE PERMIT:

Hold Public Hearing and Consider the Renewal for the Special Use Permit for Consumption of Alcoholic Beverages for Late Hours, being Lot 3, TRU Subdivision, located at 403 West Trenton Road, Suites 2B-4B, as requested by TCHBEVCD, LLC DBA Texas Card House

- Planning & Zoning Commission recommended approval on July 13, 2021
- City Council **approved** on August 17, 2021

VARIANCE:

Consider Variance Request to the City's Unified Development Code as follows: 1) Article 3, District and Bulk Standards – Section 3.303 Multi-Family, Lot Width and 2) Article 3, District and Bulk Standards – Section 3.303 Multi-Family, Lot Area and 3) Article 8, Streets, Utilities, and Drainage – Section 8.204 Street Standards. Woodlands Estates Subdivision,

a multi-family residential development, being 31.12 acres out of Lot 14, Section 237, Texas-Mexican Railway Company's Survey in Hidalgo County, Texas, located at 901 North McColl Road (FM 2061), as requested by Melden & Hunt, Inc.

- Planning & Zoning Commission recommended approval of Variance Request #3 by a vote of 4-0 on July 13, 2021
- Planning & Zoning Commission recommended approval of Variance Requests #1 & #2 by a vote of 5-0 on August 10, 2021
- City Council **approved** on August 17, 2021

Consider Variance Request to the City's Unified Development Code as follows: 1) Article 3 - District and Bulk Standards, Division 3.300 – Bulk Regulations – Standard Development, Section 3.303 Multi-Family, Lot Width and 2) Article 8, Streets, Utilities, and Drainage – Section 8.204 Street Standards. Sugar Mill Estates Subdivision, a multi-family residential development, being 19.64 acres out of Lots 7 & 8, Section 242, Texas-Mexican Railway Company's Survey in Hidalgo County, Texas, located at 1700 North Sugar Road, as requested by Melden & Hunt, Inc.

- Planning & Zoning Commission recommended approval of Variance Request #2 by a vote of 4-0 on July 13, 2021
- Planning & Zoning Commission recommended approval of Variance Request #1 by a vote of 5-0 on August 10, 2021
- City Council **approved** on August 17, 2021

ORDINANCES:

Consider Ordinance amending the Unified Development Code (UDC), Appointment, Term, and Removal relating to Decision-Making and Advisory Bodies as set forth by UDC Article 13, Sections 13.402(B), 13.502(B), and 13.602 (B).

- Planning & Zoning Commission recommended approval on August 13, 2021
- City Council **approved** on August 17, 2021

Consider Ordinance Providing for a Temporary Special Use Permit and a Request for Waiver of Fees for a Special Event, "Hidalgo County Sheriff's Office Childhood Cancer Awareness 5K" to be held on Saturday, October 2, 2021 at Richard R. Flores Stadium, being a portion of Lot 10, Block 271, Texas-Mexican Railway Company's Survey, located at 1800 Mark S. Pena Drive, as requested by Hidalgo County Sheriff's Office

- City Council **approved** on August 17, 2021

Consider Ordinance Providing for a Temporary Special Use Permit and a Request for Waiver of Fees for a Special Event, "Hidalgo County Sheriff's Office Childhood Cancer Awareness Bike Ride" to be held on Saturday, September 18, 2021 at Richard R. Flores

Stadium, being a portion of Lot 10, Block 271, Texas-Mexican Railway Company's Survey, located at 1800 Mark S. Pena Drive, as requested by Hidalgo County Sheriff's Office

- City Council ***approved*** on August 17, 2021

Consider Ordinance Providing for a Temporary Special Use Permit and a Request for a Waiver of Fees for a Special Event, "North Alamo Water Supply 5K Run/Walk, Raise Awareness for Water Conservation" to be held on Saturday, October 2, 2021 at Edinburg Municipal Park, being portions of Lots 9, 10, 12, and 16 and all of Lot 11, Section 268, Texas-Mexican Railway Company's Survey, located at the intersection of Raul Longoria Road and Sprague Street, as requested by North Alamo Water Supply.

- City Council ***approved*** on August 17, 2021



City Council Actions
Meeting Date: September 7, 2021

SPECIAL USE PERMIT:

Consider Ordinance Providing for a Temporary Special Use Permit and Request for Waiver of Fees for the “12th Annual Love Your Cha-Chas” 5K Run/Walk to be held on Saturday, October 9, 2021 at the Hidalgo County Elections Parking Lot, being Edinburg Original Townsite, Block 166, Lots 4-12, located at 405 N. Closner Blvd., as requested by JoAnne Perez Pena

- City Council **approved** on September 7, 2021

VARIANCE:

Consider Variance Request to the City’s Unified Development Code (UDC) as follows: 1) Section 8.204, Street Standards, and 2) Section 8.213, Sidewalks. Tower Crossing, a single family residential development, being 20 acres out of Lot 11, Block 53, Alamo Land & Sugar Company’s Subdivision in Hidalgo County, Texas located at the southeast corner of South Tower Road and East Alberta Road, as requested by Quintanilla, Headley & Associates, Inc.

- Planning & Zoning Commission recommended approval on August 10, 2021
- City Council **approved** on September 7, 2021



City Council Actions
Meeting Date: September 21, 2021

COMPREHENSIVE PLAN AMENDMENT & REZONING:

Hold Public Hearing and Consider the Comprehensive Plan Amendment from Office Business Park Uses to Auto Urban Uses and the Rezoning Request from Commercial General (CG) District to Auto Urban (AU) District, being a tract containing 24.41 acres, more or less, out of a part or portion of Lots 1 & 2, Lomas y Lagos Subdivision, located at 420 State Highway 336, as requested by Joseph Holand

- Planning & Zoning Commission recommended approval on August 10, 2021
- City Council **approved** on September 21, 2021

REZONING:

Hold Public Hearing and Consider the Rezoning Request from Suburban Residential (S) District to Auto Urban Residential (AU) District, being 9.3 acres out of Lot 8, Section 244, Texas-Mexican Railway Company's Survey, located at 3317 North Roegiers Road, as requested by Javier Vento

- Planning & Zoning Commission recommended approval on August 10, 2021
- City Council **approved** on September 21, 2021

Hold Public Hearing and Consider the Rezoning Request from Suburban Residential (S) District to Auto Urban Residential (AU) District, being a 44.44 acre tract of land, more or less out of Lot 2, Block 1, John Closner ET AL Subdivision, and Lots 7 & 8, Swaengen Tract located at 2710 Los Lagos Drive, as requested by Eduardo Lopez

- Planning & Zoning Commission recommended approval on August 10, 2021
- City Council **approved** on September 21, 2021

Hold Public Hearing and Consider the Rezoning Request from Neighborhood Conservation 7.1 (NC 7.1) District to Auto Urban Residential (AU) District, being Lot 7, Block 156, Edinburg Original Townsite, located at 401 North 21st Avenue, as requested by RT Homes, LLC.

- Planning & Zoning Commission recommended approval on September 14, 2021

- City Council **approved** on September 21, 2021

Hold Public Hearing and Consider the Rezoning Request from Neighborhood Conservation 7.1 (NC 7.1) District to Urban Residential (UR) District, being Lot 12, Block 199, Edinburg Original Townsite, located at 1101 East McIntyre Street, as requested by Fabiola & Mauricio Cervantes

- Planning & Zoning Commission recommended approval on September 14, 2021
- City Council **approved** on September 21, 2021

VARIANCE:

Consider Variance Request to the City's Unified Development Code (UDC) as follows: 1) Section 7.404 (B) Blocks, Block Length and 2) Section 7.405 (B) Lots, Required lot frontage. Solano Subdivision, a single family residential development, being 35.69 acres out of Lot 9, Section 239, Texas-Mexican Railway Company's Survey in Hidalgo County, Texas located at 920 West Rogers Road, as requested by Rio Delta Engineering

- Planning & Zoning Commission recommended approval on August 10, 2021
- City Council **disapproved** on September 21, 2021



City Council Actions
Meeting Date: October 5, 2021

COMPREHENSIVE PLAN AMENDMENT & REZONING:

Hold Public Hearing and Consider the Comprehensive Plan Amendment from General Commercial Uses to Auto Urban Uses and the Rezoning Request from Commercial General (CG) District and Suburban Residential (S) District to Auto Urban Residential, being a 3.261 acre tract of land out of Lot 53, Kelly Pharr Subdivision, located at 525 West Alberta Road, as requested by Manuel B. Perez

- Planning & Zoning Commission recommended approval on September 14, 2021
- City Council **approved** on October 5, 2021

Hold Public Hearing and Consider the Comprehensive Plan Amendment from Urban Uses to Auto Urban Uses and the Rezoning Request from Suburban Residential (S) District to Neighborhood Conservation 7.1 (NC 7.1) District, being a 15.5 acre tract of land, more or less, out of Lots 37 and 38, Santa Cruz Gardens Unit No. 1 Subdivision, located at 501 West Palm Drive, as requested by SAMES Engineering

- Planning & Zoning Commission recommended approval on September 14, 2021
- City Council **approved** on October 5, 2021

Hold Public Hearing and Consider the Comprehensive Plan Amendment from Auto Urban and General Commercial Uses to Urban Uses, being 26.79 acres, more or less out of Lot 3, Section 275, Texas-Mexican Railway Company's Survey, located at 2900 West Sprague Street, as requested by Melden & Hunt, Inc.

- Planning & Zoning Commission recommended approval on September 14, 2021
- City Council **tabled** on October 5, 2021

Hold Public Hearing and Consider the Comprehensive Plan Amendment from Auto Urban Uses to Urban Uses and the Rezoning Request from Auto Urban Residential (AU) District to Urban Residential (UR) District, containing 14.998 acres being all of Lots 2 through 15 and part of Northpoint Drive, Northpoint Subdivision Phase 1, located at 4700 South McColl Road, as requested by Melden & Hunt, Inc.

- Planning & Zoning Commission recommended approval on September 14, 2021
- City Council **approved** on October 5, 2021

Hold Public Hearing and Consider the Comprehensive Plan Amendment from Suburban Uses to Auto Urban Uses and the Rezoning Request from Suburban Residential (S) District to Auto Urban Residential (AU) District, being a 9.066 acre tract of land out of Lot 5, Section 239, Texas-Mexican Railway Company's Survey, located at 1901 West Rogers Road, as requested by Melden & Hunt, Inc.

- Planning & Zoning Commission recommended approval on September 14, 2021
- City Council **approved** on October 5, 2021

Hold Public Hearing and Consider the Comprehensive Plan Amendment from Suburban Uses to Auto Urban Uses and the Rezoning Request from Suburban Residential (S) District to Auto Urban Residential (AU) District, being 7.434 acres out of Lot 5, Section 239, Texas-Mexican Railway Company's Survey, located at 1907 West Rogers Road, as requested by Melden & Hunt, Inc.

- Planning & Zoning Commission recommended approval on September 14, 2021
- City Council **approved** on October 5, 2021

REZONING:

Hold Public Hearing and Consider the Rezoning Request from Commercial General (CG) District to Urban Residential (UR) District, being 11.878 acres of land out of Lot 3, Section 275, Texas-Mexican Railway Company's Survey, located at 2900 West Sprague Street, as requested by Melden & Hunt, Inc.

- Planning & Zoning Commission recommended approval on September 14, 2021
- City Council **tabled** on October 5, 2021

VARIANCE:

Consider Variance Request to the City's Unified Development Code (UDC), Division 7.100 Purpose and Applicability, being a 0.951 acre tract out of Lot 12, Section 268, Texas-Mexican Railway Company's Survey, located at 1006 South Raul Longoria Road, as requested by Efren Tijerina

- Planning & Zoning Commission recommended approval on September 14, 2021
- City Council **approved** on October 5, 2021

Consider Variance Request to the City's Unified Development Code (UDC) as follows: 1) Section 7.404 (B) Blocks, Block Length, and 2) Section 7.405 (B) Lots, Required lot frontage. Solano Subdivision, a single family residential development, being 35.69 acres out of Lot 9, Section 239, Texas-Mexican Railway Company's Survey in Hidalgo County, Texas, located at 920 West Rogers Road, as requested by Rio Delta Engineering

- Planning & Zoning Commission recommended approval on August 10, 2021
- City Council disapproved on September 21, 2021
- City Council **approved** on October 5, 2021

SPECIAL USE PERMIT:

Consider Ordinance Providing for a Temporary Special Use Permit and Request for Waiver of Fees for the “Walk for Diabetes” to be held on Saturday, November 6, 2021 at Edinburg Municipal Park, being portions of Lots 9, 10, 12, and 16 and all of Lot 11, Section 268, Texas-Mexican Railway Company’s Survey, located at 714 South Raul Longoria Road, as requested by Juan Lopez

- City Council ***approved*** on October 5, 2021

Consider Ordinance Providing for a Temporary Special Use Permit and Request for Waiver of Fees for the “Rio Grande Valley Down Syndrome Association Drive-Thru Parade” to be held on Saturday, October 16, 2021 at Edinburg Municipal Park, being portions of Lots 9, 10, 12, and 16 and all of Lot 11, Section 268, Texas-Mexican Railway Company’s Survey, located at 714 South Raul Longoria Road, as requested by Deborah Tomai

- City Council ***approved*** on October 5, 2021



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KEYNOTE SPEAKER

Michael Ford



Michael Ford, known as the "Hip-Hop Architect", is a Detroit-born architect, designer, educator, and keynote speaker whose years of research, publications and lectures seek to fuse his two passions, hip-hop culture and architecture. In hip-hop architecture, Ford provides an alternative to the western canon in architecture and urban theory.

Ford's TEDx, titled Hip Hop As Modernism's Post Occupancy Evaluation, juxtaposes hip hop culture with architectural history and theory to highlight the disparities in communities of color as a result of poor architecture and urban planning. In response to these observations, Ford designed and launched the Hip-Hop Architecture Camp, a free summer intensive geared toward children and aimed at both diversifying the architectural curriculum and increasing diversity in the field. The camp guides participants through explorations of hip-hop lyrics dealing with the built environment, using the shared passion to learn about design and the intersection of architecture and music.