



**PLANNING AND ZONING COMMISSION  
REGULAR MEETING  
NOVEMBER 8, 2022 - 05:30 PM  
CITY HALL-COUNCIL CHAMBERS  
415 WEST UNIVERSITY DR.  
EDINBURG, TEXAS 78539**

**AGENDA**

1. Call Meeting To Order, Establish Quorum

A. Prayer

B. Pledge of Allegiance

2. Certification of Public Notice

3. Disclosure of Conflict of Interest

4. Meeting Procedures

The following are the meeting procedures used by the Planning and Zoning Commission:

A. All the items are generally considered as they appear on the agenda as each item is introduced.

B. Staff will present its findings and recommendation on the item being considered.

C. The party making the request may make a presentation and may address the Commission on any issues arising during the discussion of the item being considered.

D. Anyone in the audience desiring to speak in favor or in opposition may do so. A 3-5 minute time limit will be given to each person interested in speaking on the item. The use of a spokesperson for large groups of people will be required.

E. Once the Chair closes the public hearing, the Commission may question anyone and maintain any discussion which clarifies the proposal and will take what action it feel to be appropriate.

5. **PUBLIC COMMENTS**

A. If you would like to participate under public comments, you must submit a request beginning at 9:00 A.M. the day of the meeting by (a) sending an email to [PublicHearing@cityofedinburg.com](mailto:PublicHearing@cityofedinburg.com) or (b) calling the Planning & Zoning Department at 956-388-8202. All request should include your name, address, and telephone number. We ask for everyone's cooperation in following this procedure.

6. **MINUTES**

- A. Consider Approval of the Minutes for October 11, 2022 Regular Meeting

7. **PUBLIC HEARINGS**

- A. Consider the Rezoning Request from Commercial, Neighborhood (CN) District to Residential, Multifamily and Urban (RM) District, Lots 12-19, Ebony Hills Subdivision, 1510 South 7<sup>th</sup> Avenue, as requested by Servando Cavazos on behalf of Ronnie Cavazos
- B. Consider the Rezoning Request from Residential, Suburban (RS) District to Residential, Primary, (RP) District, being the north 6.00 acres out of the south 12.00 acres of the east ½ of Lot 9, Section 278, Texas-Mexican Railway Company's Survey, located at 1801 South Mon Mack Road, as requested by Mario A. Salinas on behalf of Cohab, LLC.
- C. Consider the Rezoning Request from Residential, Multifamily and Urban (RM) and Residential, Primary (RP) Districts to Commercial, Neighborhood (CN) District, being Lots 1 and 2, Bar Subdivision Unit No. 2, and the south 142.50 feet of Lot 1, Hilda Subdivision No. 1, located at 4009 and 4117 North Doolittle Road, as requested by Edith Campos on behalf of Genesis Linette Garza et al.
- D. Consider the Rezoning Request from Residential, Primary (RP) District to Residential, Multifamily and Urban (RM) District, Lots 1, 2, and 3, Block 242, Edinburg Original Townsite, located at 1102, 1106, and 1110 East McIntyre Street, as requested by Sheriff Muse-Ariyoh & OMEGA on behalf of Juan A. and Diana S. Hernandez
- E. Consider the Rezoning Request from Urban University (UU) District to Residential, Multifamily and Urban (RM) District, a 4.50 acre tract of land out of the east 155 feet of the west 10 acres of the east 30 acres of Lot 5, Section 273, Texas-Mexican Railway Company's Survey, located at 2021 West University Drive, as requested by Rene Barrera, P.E., on behalf of Aaron Herrera A et al.

8. **SUBDIVISIONS (VARIANCES)**

- A. Consider Variance Request to the City's Unified Development Code Section 5.211 Water Rights and Cost Participation for Monte Sinai Subdivision, having a 5.11 acre tract of land out of Lot 5, Whittenburg & Looney Subdivision, located at 6822 Barb Mar Lane, as requested by Yazmin V. Limon De Hoyos.
- B. Consider Variance Request to the City's Unified Development Code Section 5.203-1 Right-of-Way Widths & Paving Width for Las Magnolias Subdivision, being a 9.11 acre tract of land out of Lot 13, Section 239, Texas-Mexican Railway Company's Survey, located at 4001 South Veterans Road, as requested by CLH Engineering, Inc.

9. **CONSENT AGENDA**

- A. Consider the Preliminary Plat of Tesoro De Santa Cruz Subdivision, being a 24.58 acre tract of land out of Lots 5, 6, 7, and the east 5.63 acres of Lot 8, Block 8, Santa Cruz Gardens Unit No. 3 Subdivision, located at 3000 East Davis Road, as requested



- B. Consider the Preliminary Plat of The Villas on Canton Subdivision, being a 10.00 acre tract of land out of Lot 2, Block 55, Alamo Land and Sugar Company Subdivision, located at 3500 East Canton Road, as requested by Melden & Hunt, Inc.
- C. Consider the Preliminary Plat of Curve Crossing Subdivision, being 5.60 acres tract of land out of Lot 15, Block 65, Alamo Land and Sugar Company Subdivision, located at 6500 East Curve Road, as requested by NAIN Engineering LLC.
- D. Consider the Final Plat approval of Roger Coves Subdivision Phase A, being a 19.71acre tract of land out of Lots 9, Section 239, Texas-Mexican Railway Company Subdivision, located at 920 West Rogers Road, as requested by Rio Delta Engineering.
- E. Consider the Final Plat approval of The Heights on Wisconsin, Phase III Subdivision, being an 18.008 acre tract of land, being 13.08 acres out of Lots 5, 6, and 7, and 5.00 acres out of Lot 8, Jas I. Lavelle Resubdivision, located at 1900 East Wisconsin Road, as requested by SAMES Engineering.

10. **OTHER BUSINESS**

11. **INFORMATION ONLY**

- A. Attendance Roster

12. **ADJOURNMENT**

I hereby certify that this notice of meeting was posted in accordance with the Open Meetings Act, V.T.C.A., Government Code, Section 551.041, at the Edinburg City Hall Building, 415 West University Drive, Edinburg, Texas, visible and accessible to the general public after regular working hours, at 5:05 P.M. on Friday November 4, 2022 .



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Claudia Mariscal, Administrative Assistant

**NOTICE**

**PERSONS WITH DISABILITIES WHO NEED TO COMMUNICATE MORE EFFECTIVELY WITH CITY OFFICIALS AND WHO MAY NEED AUXILIARY AIDS OR SERVICES SUCH AS INTERPRETERS FOR PERSONS WHO ARE DEAF OR HEARING IMPAIRED ARE REQUESTED TO CONTACT THE OFFICE OF THE CITY SECRETARY AT (956) 388-8204 THREE WORKING DAYS PRIOR TO ANY MEETING SO THAT APPROPRIATE ARRANGEMENTS CAN BE MADE.**

**AGENDA ITEM AND RECOMMENDATION SUMMARY  
PLANNING & ZONING COMMISSION  
NOVEMBER 8, 2022**

If you would like to participate under public comments, you must submit a request beginning at 9:00 A.M. the day of the meeting by (a) sending an email to PublicHearing@cityofedinburg.com or (b) calling the Planning & Zoning Department at 956-388-8202. All request should include your name, address, and telephone number. We ask for everyone's cooperation in following this procedure.

**STAFF COMMENTS AND RECOMMENDATION**

**RECOMMENDATION**

**Prepared By:**

**Approved By:**

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**STAFF REPORT  
GENERAL INFORMATION**

**APPLICATION:**

**APPLICANT:**

**AGENT:**

**LEGAL:**

**LOCATION:**

**LOT/TRACT SIZE:**

**CURRENT USE OF PROPERTY:**

**PROPOSED USE OF PROPERTY:**

**EXISTING LAND USE:**

**ADJACENT ZONING:**

**LAND USE PLAN DESIGNATION:**

**ACCESS AND CIRCULATION:**

**PUBLIC SERVICES:**

**RECOMMENDATION:**

## **Evaluation**

### **ATTACHMENTS:**



**PLANNING AND ZONING COMMISSION  
REGULAR MEETING  
OCTOBER 11, 2022 - 5:30 P.M.  
CITY HALL-COUNCIL CHAMBERS  
415 WEST UNIVERSITY DR.  
EDINBURG, TEXAS 78539**

**PRESENT:**

**VICE CHAIRPERSON- JORGE SOTELO  
COMMISSION MEMBERS:  
JORGE GONZALEZ  
RENE OLIVARES  
VICTOR DANIEC**

**ABSENT:**

**CHAIRPERSON- JOE OCHOA  
COMMISSION MEMBERS:  
RUBY CASAS  
ELIAS LONGORIA, JR.**

**MINUTES**

1. Call Meeting To Order, Establish Quorum
  - A. Prayer – Prayer was announced by Commission Member Rene Olivarez.
  - B. Pledge of Allegiance – The Pledge of Allegiance was said.
2. Certification of Public Notice **AUSTIN COLINA- 10/07/2022- 5:00 P.M.**
3. Disclosure of Conflict of Interest
4. Meeting Procedures

The following are the meeting procedures used by the Planning and Zoning Commission:

- A. All the items are generally considered as they appear on the agenda, as each item is introduced.

- B. Staff will present its findings and recommendation on the item being considered.
- C. The party making the request may make a presentation and may address the Commission on any issues arising during the discussion of the item being considered.
- D. Anyone in the audience desiring to speak in favor or in opposition may do so. A 3-5 Minute time limit will be given to each person interested in speaking on the item. The use of a spokesperson for large groups of people will be required.
- E. Once the Chair close the public hearing, the commission may question anyone and maintain any discussion which clarifies the proposal and will take what action it feel to be appropriate.

5. **MINUTES**

- A. Consider approval of the Minutes for the September 13, 2022 Regular Meeting

**MOTION WAS MADE BY COMMISSION MEMBER VICTOR DANIEC AND SECONDED BY COMMISSION MEMBER JORGE GONZALEZ TO APPROVE. MOTION WAS CARRIED UNANIMOUSLY WITH A VOTE OF 4-0.**

6. **PUBLIC COMMENTS**

7. **PUBLIC HEARINGS**

- A. Consider the Rezoning Request from Residential, Suburban (RS) District to Commercial, General (CG) District, a 7.350 acre tract out of Lot 60, Kelly-Pharr Subdivision, located at 310 West Alberta Road, as requested by M2 Engineering, PLLC on behalf of OSS Auto, LLC

**MR. FERNANDO ESTEBAN FROM M2 ENGINEERING WAS PRESENT. MR. DANIEC ASKED STAFF WHAT THE SURROUNDING ZONES WERE. MR. COLINA EXPLAINED WHAT THE SURROUNDING PROPERTIES WERE ZONED AND WHY THE WHOLD LOT WAS BEING REZONED.**

**NO ONE WAS PRESENT IN FAVOR NOR OPPOSITION TO COMMENT ON THIS ITEM.**

**AFTER THE BRIEF DISCUSSION A MOTION WAS MADE BY COMMISSION MEMBER VICTOR DANIEC AND SECONDED BY COMMISSION MEMBER JORGE GONZALEZ TO APPROVE, MOTION WAS CARRIED UNANIMOUSLY WITH A VOTE OF 4-0.**

- B. Consider the Rezoning Request from Commercial, General (CG) District and Residential, Suburban (RS) District to Residential, Multifamily, and Urban (RM) District, being a 3.242 acre tract of land out of Lot 27, Kelly-Pharr Subdivision, located at 408 West Wisconsin Road, as requested by Alex Maheshwari on behalf of African McAllen Investment Group

**MR. JUAN LOPEZ WAS PRESENT AND EXPLAINED THE PLANS FOR THE PROPOSED PROJECT AND THE REASON FOR THE REZONE REQUEST. BOARD MEMBER RENE OLIVAREZ INQUIRED ABOUT SAFETY VEHICLES LIKE FIRE TRUCKS MANUEVERING IN THE PROPOSED DEVELOPMENT, MR. JUAN LOPEZ EXPLAINED THAT THEY WERE DISCUSSING ZONING. THE BOARD CONTINUED TO INQUIRE ON LOCATIONS OF OTHER DEVELOPMENTS SIMILAR TO THIS ONE. THE BOARD ASKED WHAT THE PROPERTY WAS BEING USED FOR CURRENTLY, AS WELL AS WHAT THE SURROUNDING PROPERTIES WERE ZONED AS AND WHAT OTHER ZONES WOULD BE SUITABLE FOR THIS PROPERTY.**

**NO ONE WAS PRESENT IN FAVOR NOR OPPOSITION TO COMMENT ON THIS ITEM.**

**AFTER THE DISCUSSION A MOTION WAS MADE BY VICE CHAIRPERSON JORGE SOTELO AND SECONDED BY COMMISSION MEMBER RENE OLIVAREZ TO APPROVE, MOTION WAS CARRIED UNANIMOUSLY WITH A VOTE OF 3-1.**

- C. Consider the Rezoning Request from Commercial, Neighborhood (CN) District to Commercial, General (CG) District, being all of Lot 1, Lady Luck Subdivision, located at 4542 North Doolittle Road, as requested by Isidro Castillo

**MR. ISIDRO CASTILLO WAS PRESENT AND EXPLAINED THAT HE WANTED BUILD AN EVENT CENTER ON THAT PROPERTY. HE CONTINUED TO EXPLAIN HOW HE WOULD ACCOMMODATE THE NOISE DURING THE BUILDING PROCESS. THE BOARD MEMBERS ASKED IF THE APPLICANT WAS AWARE OF THE OF THE ZONE WHEN THE PROPERTY WAS PURCHASE. THERE WAS MORE DISCUSSION REGARDING THE ZONING OF THE SURROUNDING PROPERTIES.**

**AFTER THE BRIEF DISCUSSION A MOTION WAS MADE BY VICE CHAIRPERSON JORGE SOTELO TO DENY AND SECONDED BY COMMISSION MEMBER JORGE GONZALEZ TO APPROVE, MOTION WAS CARRIED UNANIMOUSLY WITH A VOTE OF 4-0.**

- D. Consider the Rezoning Request from Residential, Suburban (RS) District to Residential, Multifamily, and Urban (RM) District, being all of Lot 4, Molina Apartments Subdivision, located at 2618 North M Road, as requested by Juan Lopez on behalf of Molina's Construction, Inc.

**MR. JUAN LOPEZ WAS PRESENT AND ADDRESSED THE BOARD.**

**NO ONE WAS PRESENT IN FAVOR NOR OPPOSITION TO COMMENT ON THIS ITEM.**

**AFTER THE BRIEF DISCUSSION A MOTION WAS MADE BY COMMISSION MEMBER RENE OLIVAREZ TO APPROVE AND SECONDED BY**

**COMMISSION MEMBER VICTOR DANIEC TO APPROVE, MOTION WAS CARRIED UNANIMOUSLY WITH A VOTE OF 4-0.**

- E. Consider the Rezoning Request from Residential, Primary (RP) District to Commercial, General (CG) District, being Lots 6 and 8, Block 2, Unrecorded Vela Subdivision, located at 309 and 313 South Raul Longoria Road, as requested by Carranza Development

**NO ONE WAS PRESENT IN FAVOR NOR OPPOSITION TO COMMENT ON THIS ITEM.**

**MR. JULIO CARRANZA WAS PRESENT AND ADDRESSED THE BOARD, HE EXPLAINED THAT HE CHANGED HIS INITIAL REZONE REQUEST. THE BOARD INQUIRED ABOUT WHAT MR. CARRAZA'S PLAN WERE FOR THAT PROPERTY. MR. CARRANZA STATED THAT HE STILL WAS NOT CERTAIN.**

**AFTER THE DISCUSSION A MOTION WAS MADE BY COMMISSION MEMBER RENE OLIVAREZ AND SECONDED BY COMMISSION MEMBER VICTOR DANIEC TO APPROVE, MOTION WAS CARRIED UNANIMOUSLY WITH A VOTE OF 4-0.**

- F. Consider the Rezoning Request from Residential, Primary (RP) District to Residential, Multifamily and Urban (RM) District, Evangeline Gardens Subdivision, east 87.54 feet of Lot 12, Block 1, located at 2401 Geronimo Molina Street, as requested by Martin J. Gonzalez

**MR. MARTINEZ WAS PRESENT AND ADDRESSED THE BOARD. THE BOARD ASKED FOR CLARIFICATION ON WHETHER THERE WERE OTHER MULTIFAMILY PROPERTIES NEAR THE PROPOSE REZONING PROPERTY. MR. AUSTIN COLINA STATED THAT THERE WAS ONE OTHER ONE ON THE SAME STREET.**

**NO ONE WAS PRESENT IN FAVOR NOR OPPOSITION TO COMMENT ON THIS ITEM.**

**AFTER THE BRIEF DISCUSSION A MOTION WAS MADE BY COMMISSION MEMBER RENE OLIVAREZ AND SECONDED BY VICE CHAIRPERSON JORGE SOTELO TO APPROVE, MOTION WAS CARRIED WITH A VOTE OF 2-2 MAKING THE ITEM DENIED.**

8. **SUBDIVISION (VARIANCES)**

- A. Consider Variance Request to the City's Unified Development Code Section 5.203(A)(3) Right-of-Way Widths & Paving Width for Victoria Manor Subdivision, being a 1.470 acres out of Lot 10, Block 244, Texas-Mexican Railway Company's Survey, located at 300 East Rogers Road, as requested by J.A. Garza Associates.

**THE BOARD EXPRESSED THEIR CONCERN REGARDING THE PROPERTY BEING IN A HIGH TRAFFIC AREA. RAY ROBLES JR THE PROJECT ENGINEER WAS PRESENT AND DISCUSSED THE WIDENING OF THE STREET AND WHY THEY WERE REQUESTING THE VARIANCE.**

**AFTER THE DISCUSSION MOTION WAS MADE BY COMMISSION MEMBER RENE OLIVAREZ AND SECONDED BY COMMISSION MEMBER JORGE GONZALEZ TO DISAPPROVE. MOTION WAS CARRIED UNANIMOUSLY WITH A VOTE OF 4-0.**

- B. Consider Variance Request to the City's Unified Development Code: 1) Section 5.203(A)(3) Right-of-Way Widths & Paving Width and 2) Section 5.209 Sidewalks, for The Village at Monte Cristo Subdivision, being a 111.936 acre tract of land out of Lots 21, 22, 24, & 25, East Retama Subdivision, located at 4220 North Seminary Road, as requested by Melden & Hunt, Inc.

**MARIO REYNA PROJECT ENGINEER WAS PRESENT AND STATED THAT THE DEVELOPER WAS DONATING 32 ACRES OF LAND. VICE CHAIRPERSON JORGE SOTELO INQUIRED ABOUT THE CITY PROVIDING SIDEWALKS. MR. ROBERTO HERNANDEZ FROM THE ENGINEERING DEPARTMENT WAS PRESENT AND STATED THAT THE DEPARTMENT WAS IN FAVOR OF THE PROJECT BECAUSE SEMINARY ROAD HAS NO SIDEWALKS ALLOWING THE CITY TO PUT SIDEWALKS ON THAT STREET.**

**AFTER THE DISCUSSION MOTION WAS MADE BY COMMISSION MEMBER RENE OLIVAREZ AND SECONDED BY VICE CHAIRPERSON JORGE SOTELO TO APPROVE THE DEDICATION VARIANCE AND DENY THE WATER SUPPLY STANDARD VARIANCE. MOTION WAS CARRIED WITH A VOTE OF 4-0.**

9. **SUBDIVISION (PLATS)**

- A. Consider the Preliminary Plat of The Woodland At Jackson Subdivision, being a 4.00 acre tract of land out of a part or portion of Lot 4, Section 242, Texas-Mexican Railway Company's Subdivision, located at 1800 North Jackson Road, as requested by MAS Engineering, LLC.

**VICE CHAIRPERSON SOTELO HAD ITEMS 9A, 10A, AND 10B VOTED ON ALTOGHER AND THERE WAS NO DISCUSSION.**

**BEING NO DISCUSSION A MOTION WAS MADE BY COMMISSION MEMBER VICTOR DANIEC AND SECONDED BY COMMISSION MEMBER RENE OLIVAREZ TO APPROVE, MOTION WAS CARRIED UNANIMOUSLY WITH A VOTE OF 4-0.**



10. **CONSENT AGENDA**

- A. Consider Final Plat for La Marquesa Estates Subdivision, being a 20.00 acre tract of land out of Lots 15, Block 52, Alamo Land and Sugar Company Subdivision, located at 4701 West Schunior Road as requested by Melden & Hunt, Inc.

**ITEMS 9A, 10A, AND 10B WERE VOTED ON ALTOGHER AND THERE WAS NO DISCUSSION.**

**APPROVED BASED ON STAFF'S RECOMMENDATION- DANIEC/OLIVAREZ  
4-0**

- B. Consider the Final Plat for Atwood Village Subdivision, being a 34.99 acre tract of land out of Lots 13 & 14, Section 238 Texas-Mexican Railway Company Survey Subdivision, located at 4701 West Schunior Road as requested by Melden & Hunt, Inc.

**ITEMS 9A, 10A, AND 10B WERE VOTED ON ALTOGHER AND THERE WAS NO DISCUSSION.**

**APPROVED BASED ON STAFF'S RECOMMENDATION- DANIEC/OLIVAREZ  
4-0**

11. **OTHER BUSINESS**

12. **INFORMATION ONLY**

- A. Attendance Roster

13. **ADJOURNMENT**

I hereby certify that this notice of meeting was posted in accordance with the Open Meetings Act, V.T.C.A., Government Code, Section 551.041, at the Edinburg City Hall Building, 415 West University Drive, Edinburg, Texas, visible and accessible to the general public during regular working hours, at 5:00 P.M. on Friday, October 7, 2022.

*Claudia Mariscal*

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Claudia Mariscal, Planning Assistant  
Planning & Zoning Department

**NOTICE**

PERSONS WITH DISABILITIES WHO NEED TO COMMUNICATE MORE EFFECTIVELY WITH CITY OFFICIALS AND WHO MAY NEED AUXILIARY AIDS OR SERVICES SUCH AS INTERPRETERS FOR PERSONS WHO ARE DEAF OR HEARING IMPAIRED ARE REQUESTED TO CONTACT THE OFFICE OF THE CITY SECRETARY AT (956) 388-8204 THREE WORKING DAYS PRIOR TO ANY MEETING SO THAT APPROPRIATE ARRANGEMENTS CAN BE MADE.



# City of Edinburg

## PLANNING & ZONING COMMISSION

November 8, 2022

### **REZONING REQUEST**

#### **AGENDA ITEM:**

Consider the Rezoning Request from Commercial, Neighborhood (CN) District to Residential, Multifamily and Urban (RM) District, Lots 12-19, Ebony Hills Subdivision, 1510 South 7th Avenue, as requested by Servando Cavazos on behalf of Ronnie Cavazos

#### **DESCRIPTION / SCOPE:**

This district is the highest intensity residential district, intended to permit both single and multifamily residential uses and encourage a variety of housing types. The applicant is requesting the change of zone to establish a multifamily development at this location.

The property is located on the east side of South 7<sup>th</sup> Avenue, approximately 85 ft. north of West Freddy Gonzalez Drive. The property consists of eight lots that have a total frontage of 480.00 ft. of frontage on South 7<sup>th</sup> Avenue and 134.50 ft. of depth for a total area of approximately 1.48 acres. The requested zoning designation is the highest density residential district and allows for single-and multifamily uses on the subject property. The proposed use is for a development of 4-plex apartments at this location.

The property is currently zoned Commercial, Neighborhood (CN) District. Adjacent zoning is Commercial, Neighborhood (CN) District to the north, south, and east, and Residential, Suburban (RS) District to the west. The property is currently vacant. Surrounding land uses are single-family residential, institutional, and light commercial. South Middle School is located immediately to the west across South 7<sup>th</sup> Avenue, and the Ebony Hills Golf Club is located approximately 175 ft. south across West Freddy Gonzalez Drive. The future land use designation is for Urban Uses at this location.

Staff received a Zone Change Application for the subject property on September 19, 2022. The applicant indicated that the reason for the zone change is related to a bank loan. Rezoning is also required to accommodate the proposed land use.

Staff mailed a notice of the public hearing to 13 neighboring property owners on Friday, October 28, 2022, and had received no comments in favor or against this request at the time this report was prepared. Notice of this public hearing will be published in the newspaper on November 16, 2022.

#### **ESTIMATED TIMELINE:**

The recommendation of approval or denial of this public hearing is scheduled for consideration by the City Council on December 6, 2022. City Council's decision is the final step in the zoning process for this property. If denied the applicant may not request the proposed zoning classification for a 12 month period from the date of denial.

#### **STAFF RECOMMENDATION:**

Staff recommends approval of the Rezoning Request from Commercial, Neighborhood (CN) District to Residential, Multifamily and Urban (RM) District based on adjacent zoning and land use.

If approved, the applicant will need to comply with all requirements during the permitting process including compliance with subdivision regulations, building/ fire codes, fire protection, parking, landscape buffer-yards, solid waste services, utility, and other City requirements, as applicable.

**JUSTIFICATION:**

Staff recommendation is based on the proposed land use relative to adjacent land uses. The proposed multifamily development should not present a conflict with adjacent institutional and nearby residential uses. This project is appropriate for a transitional area with adjacent existing and future commercial uses. Similar multifamily developments exist on the west side of South Middle School along South 4<sup>th</sup> Avenue. This rezoning is in keeping with the Future Land Use Plan.

Prepared by:

**D. Austin Colina**  
Planner I

Reviewed by:

**Jaime Acevedo**  
Director of Planning and Zoning

**MEETING DATES:**  
**PLANNING & ZONING COMMISSION – 11/08/2022**  
**CITY COUNCIL – 12/06/2022**  
**DATE PREPARED – 10/25/2022**

**STAFF REPORT**  
**GENERAL INFORMATION**

**APPLICATION:** Rezoning Request from Commercial, Neighborhood (CN) District to Residential, Multifamily and Urban (RM) District

**APPLICANT:** Ronnie Cavazos

**AGENT:** Servando Cavazos

**LEGAL:** Lots 12-19, Ebony Hills Subdivision

**LOCATION:** 1510 South 7th Avenue

**LOT/TRACT SIZE:** 64, 560 sq. ft. (≈1.482 acres)

**CURRENT USE:** Vacant

**PROPOSED USE:** Multifamily Residential

**EXISTING ZONING:** Commercial Neighborhood (CN) District

**ADJACENT ZONING:** North – Commercial Neighborhood (CN) District  
South – Commercial Neighborhood (CN) District  
East – Commercial Neighborhood (CN) District  
West – Residential, Suburban (RS) District

**LAND USE PLAN:** Urban

**PUBLIC SERVICES:** City of Edinburg Water and Sewer

**RECOMMENDATION:** Staff recommends approval of the Rezoning Request from Residential, Suburban (RS) District to Residential, Multifamily, and Urban (RM) District.

## **REZONING REQUEST**

### **RONNIE CAVAZOS**

#### **EVALUATION**

The following is staff's evaluation of the request.

1. The land use pattern for this area of the community consists mixed uses with institutional, light commercial, and vacant land. Nearby single-family and recreational uses facture into the character of this location.
2. The proposed multifamily use is generally compatible with light commercial uses, both existing and those likely to be developed in the future.
3. The project site is across South 7<sup>th</sup> Avenue from a middle school. Similar multifamily uses currently exist on the west side of the middle school along South 4<sup>th</sup> Avenue.
4. The proposed zoning is in keeping with the Future Land Use Plan.

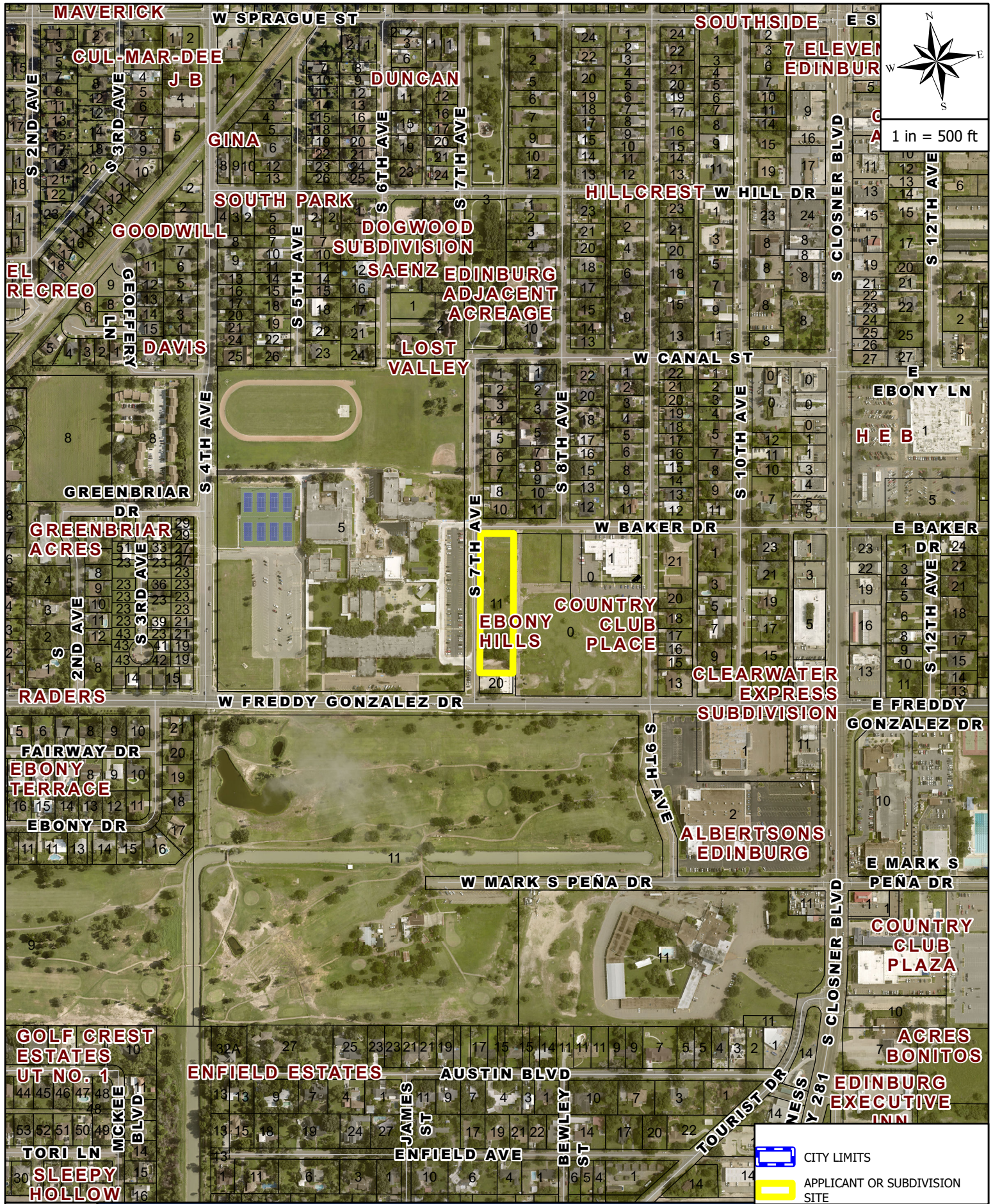
Staff recommends approval of the Rezoning Request from Commercial, Neighborhood (CN) District to Residential, Multifamily and Urban (RM) District based on adjacent land uses and zoning to this location. The proposed use should not present a conflict with existing and expected future uses. Multifamily residential is appropriate for a transitional zone between uses such as this one.

If approved, the applicant will need to comply with all requirements during the permitting process including compliance with subdivision regulations, building and fire codes, fire protection, parking, landscape buffer-yards, solid waste services, utility, and any other City requirements, as applicable.

Staff mailed a notice of the public hearing to 13 neighboring property owners on Friday, October 28, 2022, and had received no comments in favor or against this request at the time this report was prepared. Notice of this public hearing will be published in the newspaper on November 16, 2022.

**ATTACHMENTS:** Aerial Photo  
Site Map  
Zoning Map  
Future Land Use Map  
Photo of Site  
Exhibits



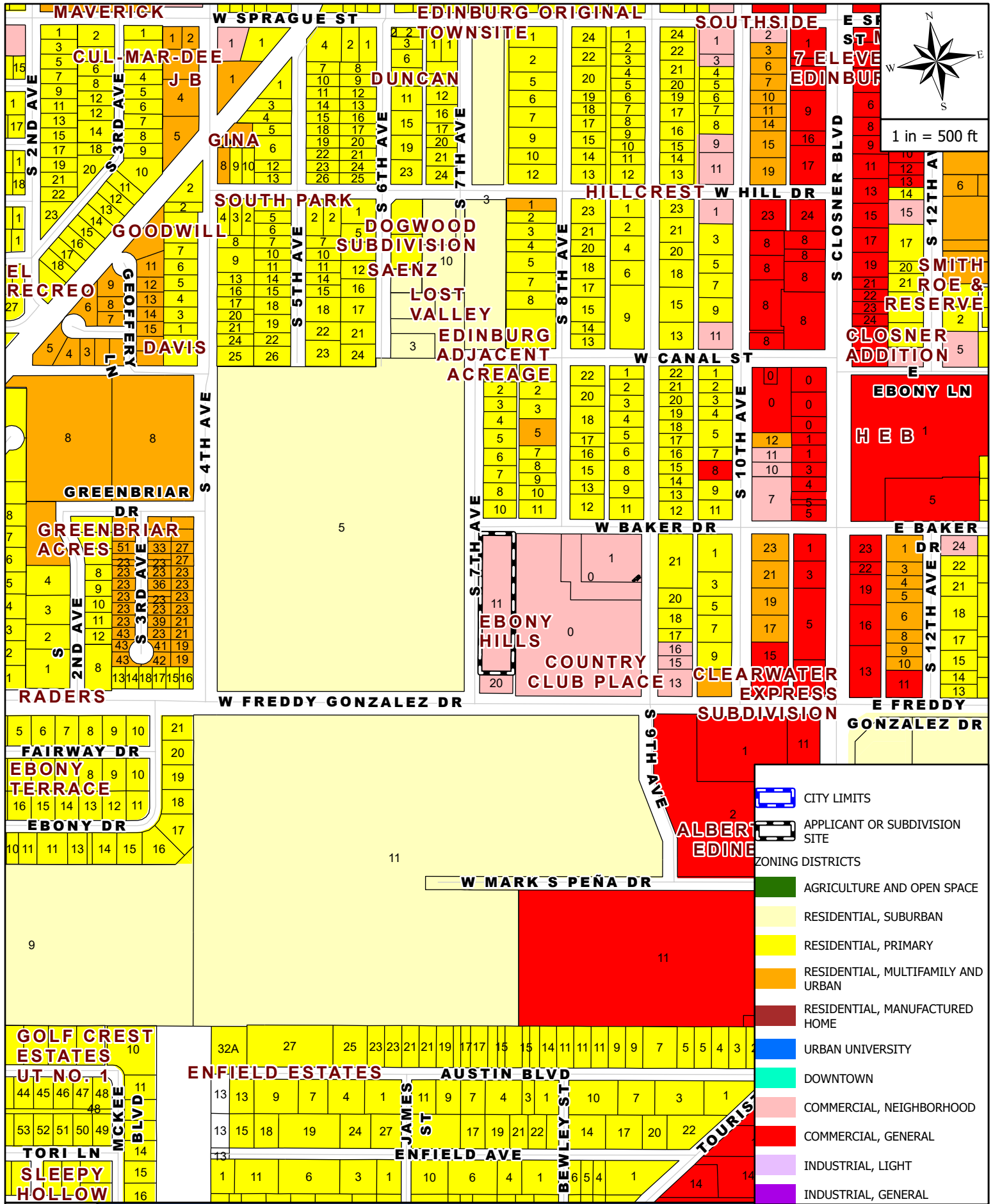


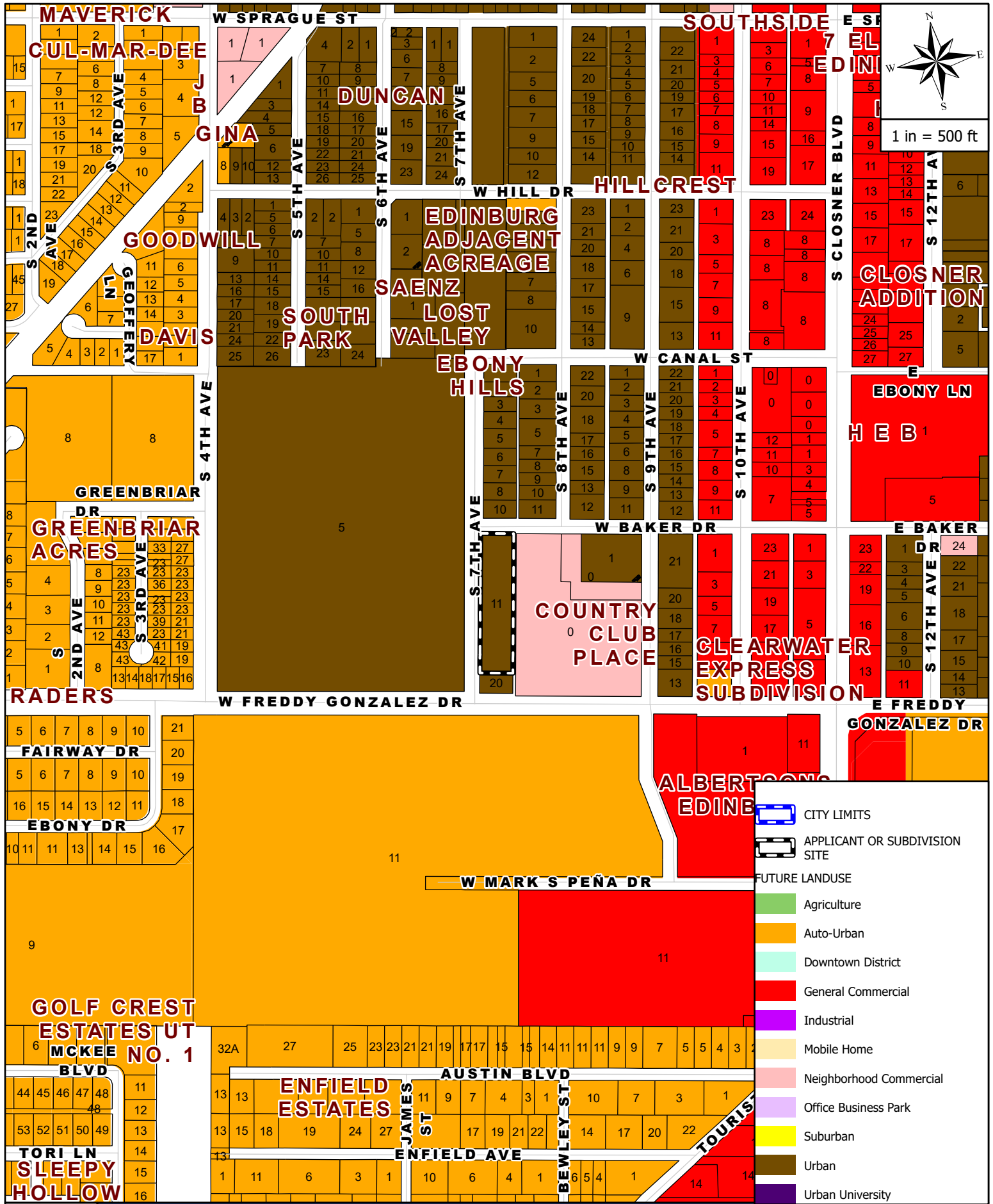
**AERIAL MAP**

**APPLICANT AND/OR SUBDIVISION:**

**SERVANDO CAVAZOS**







**FUTURE LANDUSE MAP**

**APPLICANT AND/OR SUBDIVISION:**

**SERVANDO CAVAZOS**







**ZONING CASE  
OWNER NOTIFICATION LIST**

PROPERTY ID: 154525  
333 FREDDY GONZALEZ LLC  
4629 MACRO DR  
SAN ANTONIO, TX 78218

PROPERTY ID: 154508  
TREVINO DAVID  
936 N BROWNE AVE  
BROWNSVILLE, TX 78521

PROPERTY ID: 154520  
CHAPA JUAN M & MARIA E  
1307 S 8TH AVE  
EDINBURG, TX 78539

PROPERTY ID: 154522  
GAMEZ JESUS ALBERTO  
10412 MONTE CARLOS LN  
EDINBURG, TX 78541

PROPERTY ID: 154507  
NAVARRO RODOLFO OMAR  
1320 S 8TH AVE  
EDINBURG, TX 78539

PROPERTY ID: 162857  
NAVARRO AMY LYNN  
1316 S 7TH AVE  
EDINBURG, TX 78539

PROPERTY ID: 154521  
REYES RAFI RUAL & IRMA ELVIRA  
1309 S 8TH AVE  
EDINBURG, TX 78539

PROPERTY ID: 297061  
EDINBURG CONS IND SCHOOL  
PO BOX 990  
EDINBURG, TX 78540

PROPERTY ID: 154523  
TREVINO YEZENIA RICHETTE  
1321 S 8TH AVE  
EDINBURG, TX 78539

PROPERTY ID: 1181097  
PAMM FAMILY PROPERTIES LLC  
813 N MAIN ST  
MCALLEN, TX 78501

PROPERTY ID: 162856  
ARJONA DONNA LEE  
1304 SOUTH 7TH  
EDINBURG, TX 78539

PROPERTY ID: 162858  
AGUILAR RAUL A & CYNTHIA J  
1320 S 7TH AVE  
EDINBURG, TX 78539

PROPERTY ID: 162867  
RJG RETIREMENT SERVICES LLC  
1524 S 7TH ST  
EDINBURG, TX 78539

Copy

## Planning & Zoning

415 West University Drive  
Edinburg, Texas 78539  
(956) 388-8303



THE CITY OF  
**Edinburg**

## Zone Change Application

ENERGOV CASE # **RZNE-2022-0083**

Date: **September 19, 2022**

1. Property Owner (required): **Ronnie Cavazos**
2. Phone: **(956) 533-5776**
3. Mailing Address: **1720 W Maple Ave.**
4. City: **McAllen** State: **TX** Zip: **78501**
5. Owner's Email: **Ronnie@thestructureteam.com**
6. Cell No. **(956) 533-5776**
7. Agent (not owner): **Servando Cavazos**
8. Agent's Phone: **(956) 360-6120**
9. Agent's Mailing Address: **1720 W Maple Ave.**
10. City: **McAllen** State: **TX** Zip: **78501**
11. Agent's Email: **Servando@thestructureteam.com**
12. Address/Location being Rezoned: **1510 S. 7th AVENUE, EDINBURG, TX 78539**
13. Legal Description of Property: **Ebony Hills 12 - 19**
14. Property ID(s): **162859**

15. Zone Change: From: **CN - Commercial, Neighborhood** To: **RM - Residential, Multifamily & Urban**

16. Existing Land Use: **ARB METHOD ONE YEAR**

17. Reason for Zone Change: **Bank Loan Approval**

**Ronnie Cavazos**  
(Please Print Name)

Signature

Name: **D. Colina**

AMOUNT PAID \$ **400.00**

RECEIPT NUMBER

PUBLIC HEARING DATE (PLANNING & ZONING COMMISSION) – 5:30 PM: \_\_\_\_\_

PUBLIC HEARING DATE (CITY COUNCIL) – 6:00 PM: \_\_\_\_\_

(NOTE: BOTH MEETINGS ARE HELD AT THE EDINBURG CITY COUNCIL CHAMBERS)

RECEIVED

SEP 19 2022

9-19



CASE# **R2NE-2022-0083**

## Zone Change Application Requirements



All items are required to be submitted with the application.

ITEM	DESCRIPTION	DATE	INITIALS
1.	Zoning Application	<u>9-19-22</u>	<u>                    </u>
2.	Application Fee \$400 <b>(FEE IS NON-REFUNDABLE)</b>	<u>9-19-22</u>	<u>                    </u>
3.	Survey	<u>9-19-22</u>	<u>                    </u>
4.	Metes & Bounds Description	<u>9-19-22</u>	<u>                    </u>
5.	Warranty Deed	<u>9-19-22</u>	<u>                    </u>
6.	Preliminary Site Plan/Sketch	<u>9-19-22</u>	<u>                    </u>
7.	Authorization Letter from Owner (If not owner)	<u>                    </u>	<u>                    </u>
8.	Special Use Permit (if applicable)	<u>N/A</u>	<u>                    </u>

**NOTE: IF ACREAGE PROPERTY IS INVOLVED, AND/OR REZONING DOES NOT FOLLOW LOT LINES, THEN A SURVEY AND A METES AND BOUNDS DESCRIPTION ARE REQUIRED.**

**A SITE INSPECTION WILL BE CONDUCTED AS PART OF THE REZONING PROCESS.**

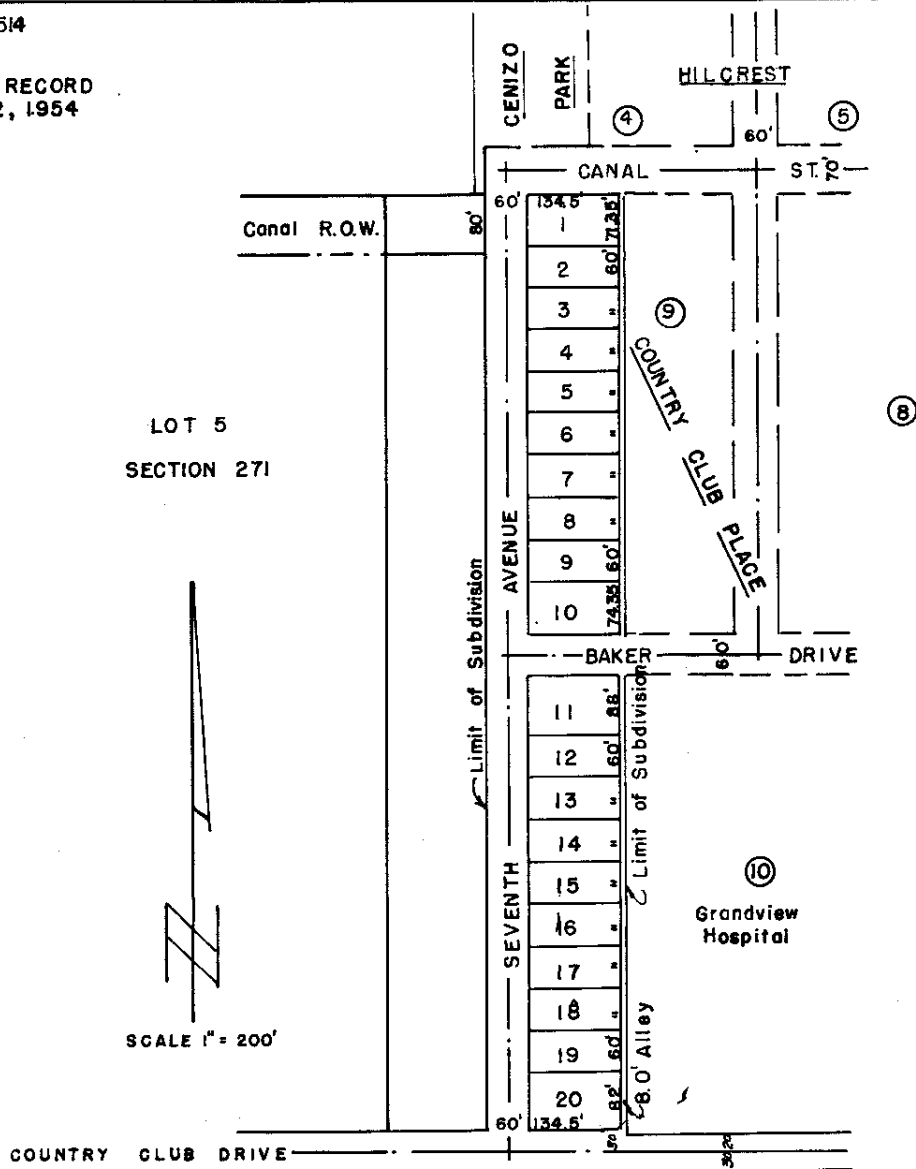
### OFFICE USE ONLY

Staff Recommendation	<input type="checkbox"/> Approval	<input type="checkbox"/> Denial
Planning & Zoning	<input type="checkbox"/> Approved	<input type="checkbox"/> Denied
City Council	<input type="checkbox"/> Approved	<input type="checkbox"/> Denied

Case #

Comments:

7514

FILED FOR RECORD  
JUNE 2, 1954

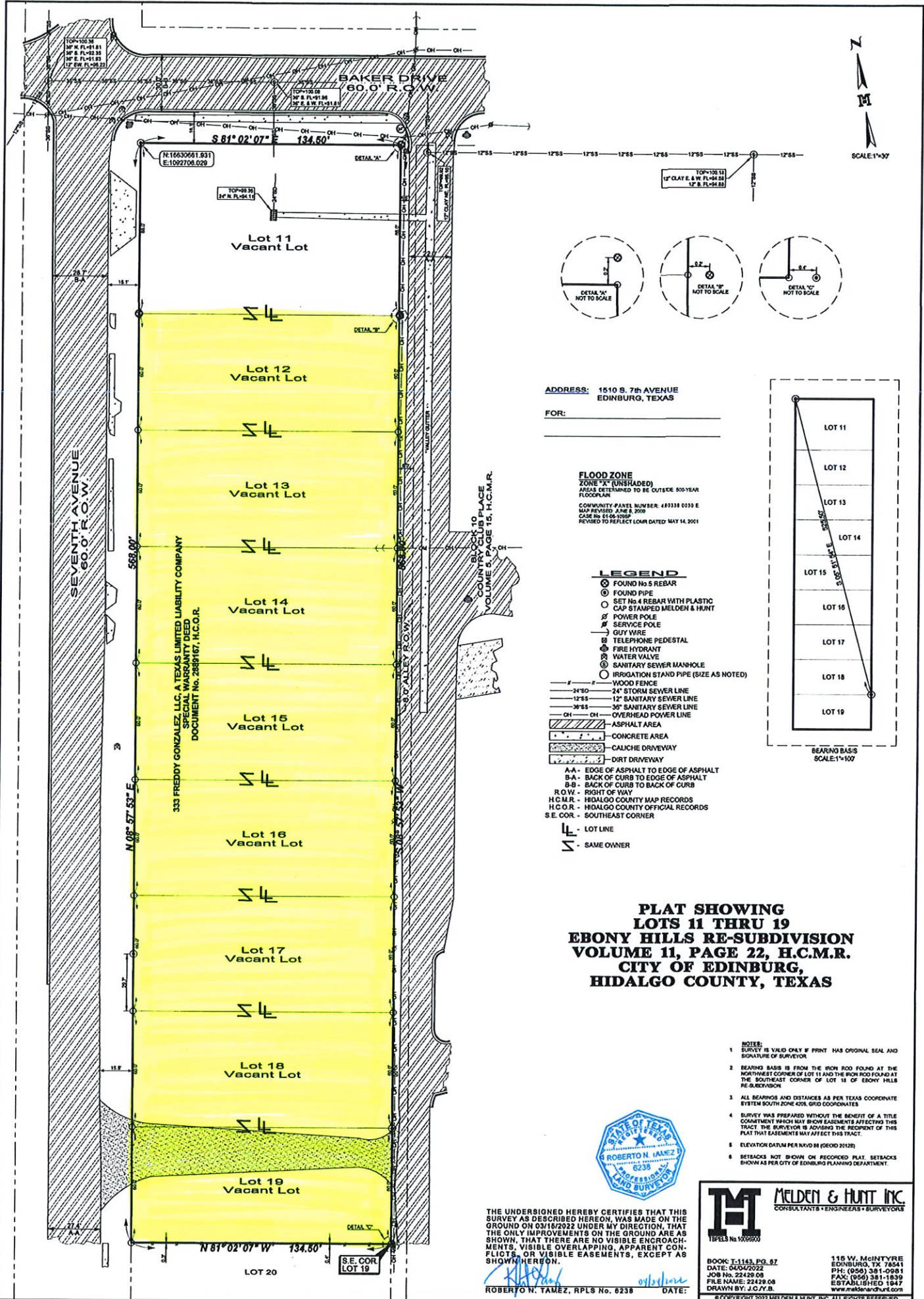
REVISED PLAT OF

**EBONY HILLS RE-SUBDIVISION**BEING A RE-SUBDIVISION OF THE EAST 202.5' OF LOT 5, SECTION 271 OF THE  
TEXAS-MEXICAN RAILWAY COMPANY SURVEY, HIDALGO COUNTY, TEXAS.WE, THE UNDERSIGNED OWNERS OF THE PROPERTY HEREON DESCRIBED, DO HEREBY  
ADOPT, DEDICATE AND CONFIRM THE FOREGOING PLAT AND DO HEREBY DEDICATE TO  
THE PUBLIC THE STREETS AND ALLEYS DESIGNATED THEREON.*Roy Blorton*  
ROY BLORTON*William Ware*  
WILLIAM WAREBY *Martin D. Roe*  
MARTIN D. ROESUBSCRIBED AND SWORN TO BEFORE ME ON THIS 6 DAY OF May A.D. 1954*Better Newman*  
Notary Public in and for Hidalgo  
County, Texas. SEALSEAL I, CHARLES L. MELDEN, CIVIL ENGINEER, CERTIFY THAT THE ABOVE IS A TRUE AND  
ACCURATE PLAT OF THE LAND AS SURVEYED AND SUBDIVIDED BY ME.*Charles L. Melden*  
Charles L. Melden, C.E.

APPROVED: CITY OF EDINBURG PLANNING AND ZONING COMMISSION.

*Charles Flores*  
Chairman





ADDRESS: 1510 S. 7th AVENUE  
EDINBURG, TEXAS

FOR: \_\_\_\_\_

**FLOOD ZONE**  
ZONE "X" (UNSHADED)  
AREAS DETERMINED TO BE OUTSIDE 100-YEAR  
FLOODPLAIN  
COMMUNITY PANEL NUMBER: 480338 0010 E  
MAP REVISED: JUNE 8, 2008  
CASE NO. 01-06-1000P  
REVISED TO REFLECT LOAN DATED MAY 14, 2001

**LEGEND**

- FOUND NO. 5 REBAR
- FOUND PIPE
- SET NO. 4 REBAR WITH PLASTIC
- CAP STAMPED MELODEN & HUNT
- POWER POLE
- SERVICE POLE
- GUY WIRE
- TELEPHONE PEDESTAL
- FIRE HYDRANT
- WATER VALVE
- SANITARY SEWER MANHOLE
- IRRIGATION STAND PIPE (SIZE AS NOTED)
- WOOD FENCE
- 24" STORM SEWER LINE
- 12" SANITARY SEWER LINE
- 36" SANITARY SEWER LINE
- OVERHEAD POWER LINE
- ASPHALT AREA
- CONCRETE AREA
- CAULCH DRIVEWAY
- DIRT DRIVEWAY
- A-A - EDGE OF ASPHALT TO EDGE OF ASPHALT
- B-A - BACK OF CURB TO EDGE OF ASPHALT
- B-B - BACK OF CURB TO BACK OF CURB
- R.O.W. - RIGHT OF WAY
- H.C.M.R. - HIDALGO COUNTY MAP RECORDS
- H.C.O.R. - HIDALGO COUNTY OFFICIAL RECORDS
- S.E. COR. - SOUTHEAST CORNER
- LOT LINE
- SAME OWNER

**PLAT SHOWING  
LOTS 11 THRU 19  
EBONY HILLS RE-SUBDIVISION  
VOLUME 11, PAGE 22, H.C.M.R.  
CITY OF EDINBURG,  
HIDALGO COUNTY, TEXAS**

- NOTES:**
- SURVEY IS VALID ONLY IF PRINT HAS ORIGINAL SEAL AND SIGNATURE OF SURVEYOR.
  - BEARING BASIS IS FROM THE IRON ROD FOUND AT THE NORTHWEST CORNER OF LOT 11 AND THE IRON ROD FOUND AT THE SOUTHEAST CORNER OF LOT 19 OF EBONY HILLS RE-SUBDIVISION.
  - ALL BEARINGS AND DISTANCES AS PER TEXAS COORDINATE SYSTEM SOUTH ZONE 4055, GRID COORDINATES.
  - SURVEY WAS PREPARED WITHOUT THE BENEFIT OF A TITLE COMMITMENT WHICH MAY SHOW EASEMENTS AFFECTING THIS TRACT. THE SURVEYOR IS ADVISING THE RECIPIENT OF THIS PLAT THAT EASEMENTS MAY AFFECT THIS TRACT.
  - ELEVATION DATUM PER NAVD 83 (2000 251129).
  - SETBACKS NOT SHOWN ON RECORDED PLAT. SETBACKS SHOWN AS PER CITY OF EDINBURG PLANNING DEPARTMENT.



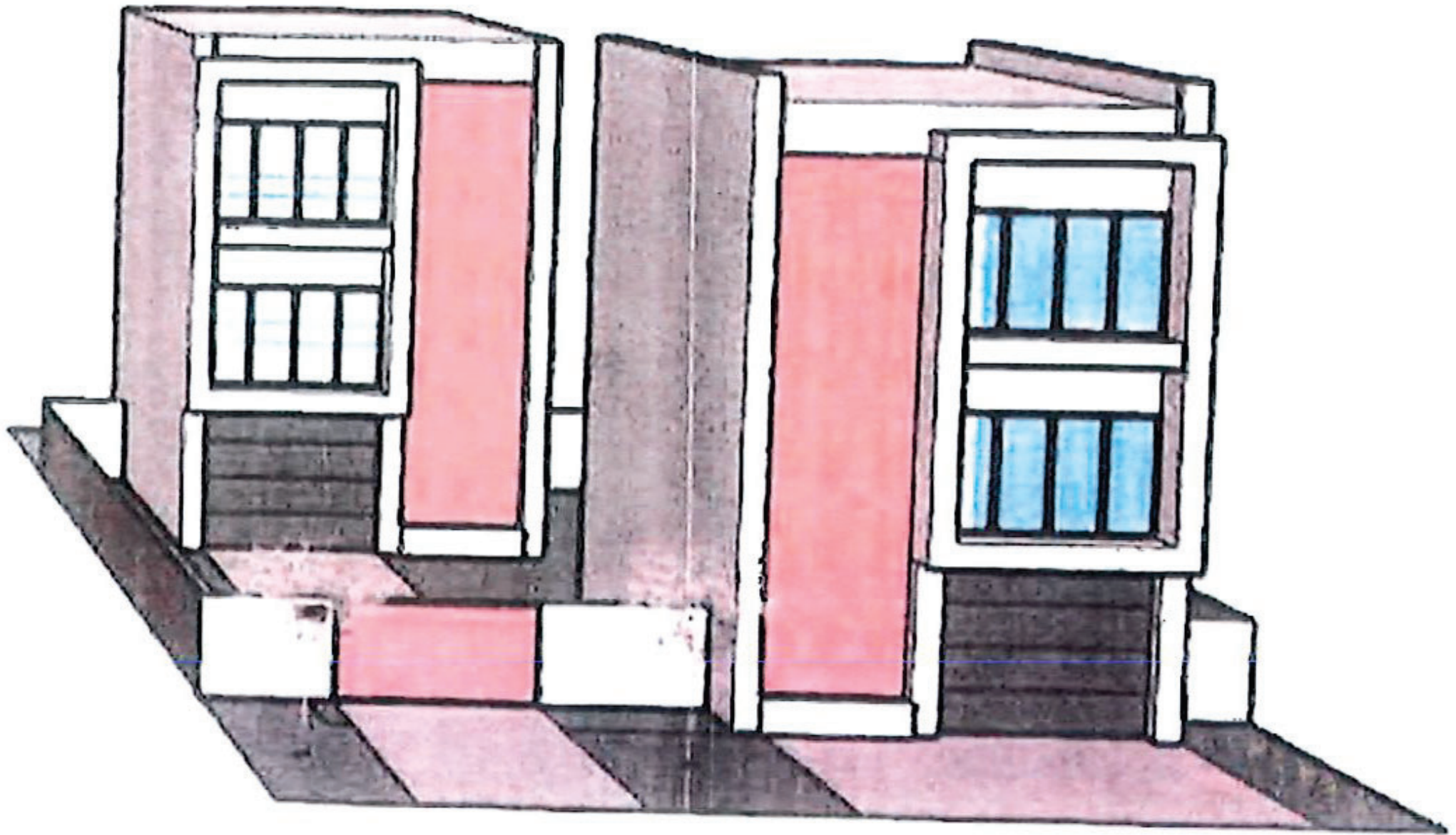
THE UNDERSIGNED HEREBY CERTIFIES THAT THIS SURVEY AS DESCRIBED HEREON, WAS MADE ON THE GROUND ON 03/16/2022 UNDER MY PERSONAL SUPERVISION, THAT THE ONLY IMPROVEMENTS ON THE GROUND ARE AS SHOWN, THAT THERE ARE NO VISIBLE ENCROACHMENTS, VISIBLE OVERLAPPING, APPARENT CONFLICTS, OR VISIBLE EASEMENTS, EXCEPT AS SHOWN HEREON.

ROBERTO N. TAMEZ, RPLS No. 6238 DATE: 04/04/2022



BOOK: T-143, PG. 87  
DATE: 04/04/2022  
JOB NO. 22429.08  
FILE NAME: 22429.08  
DRAWN BY: J.C.J.Y.B.  
118 W. MCINTYRE  
EDINBURG, TX 78541  
PH: (956) 331-0981  
FAX: (956) 331-1839  
ESTABLISHED 1947  
www.meldenandhunt.com  
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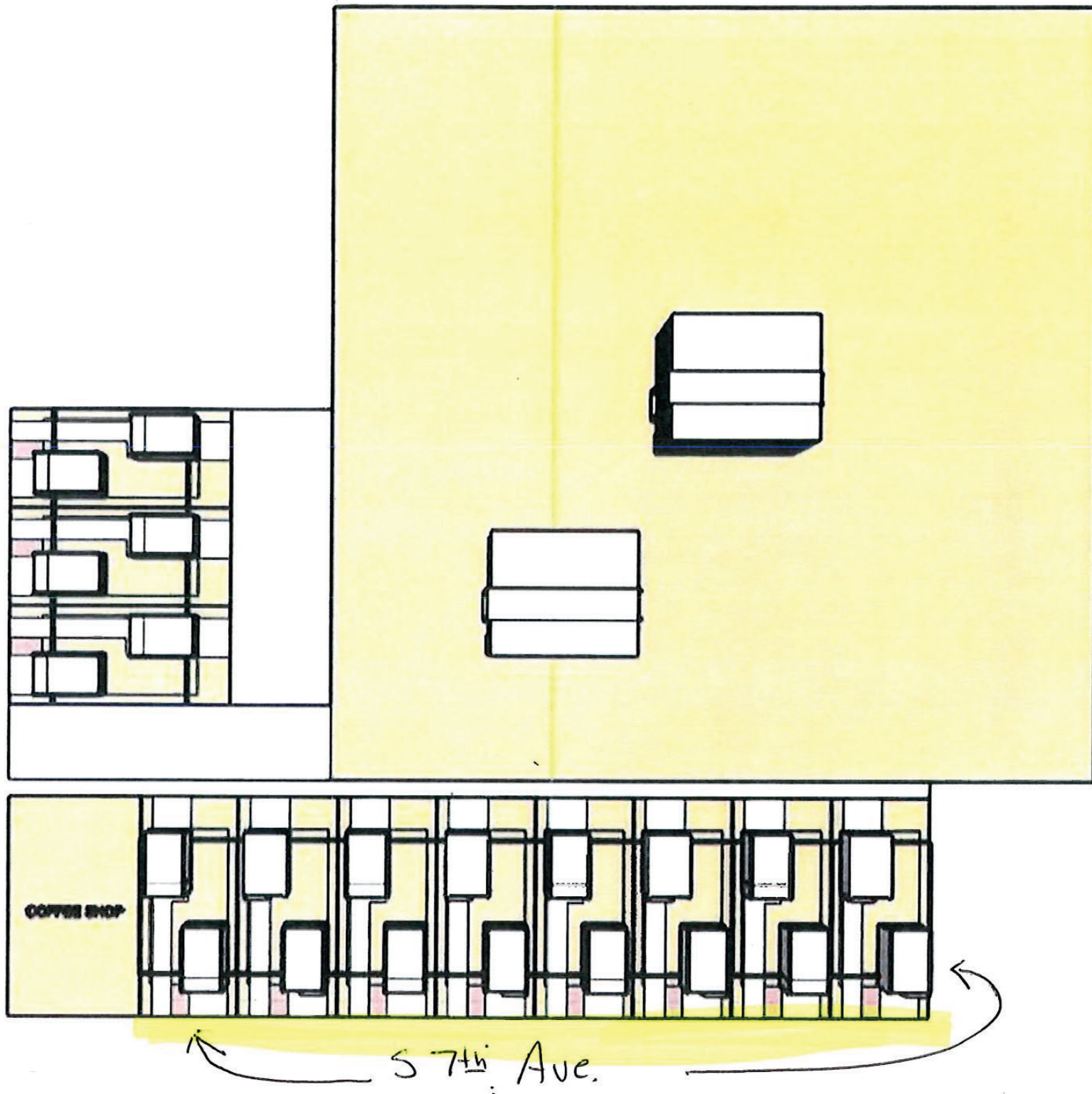


4-Plex Sketch



S. 7<sup>th</sup> Ave.











## Rezoning Request Site Photo

**RONNIE CAVAZOS**

1510 South 7th Avenue







## City of Edinburg

### PLANNING & ZONING COMMISSION

November 8, 2022

#### **REZONING REQUEST**

##### **AGENDA ITEM:**

Consider the Rezoning Request from Residential, Suburban (RS) District to Residential, Primary, (RP) District, being the north 6.00 acres out of the south 12.00 acres of the east ½ of Lot 9, Section 278, Texas-Mexican Railway Company's Survey, located at 1801 South Mon Mack Road, as requested by Mario A. Salinas on behalf of Constantine Ohabor

##### **DESCRIPTION / SCOPE:**

The applicant is proposing a single-family residential development at this location.

The property is located on the west side of South Mon Mack Road, approximately 500 ft. south of West Freddy Gonzalez Drive. The property has 396 ft. of frontage on South Mon Mack Road and 660 ft. of depth for a total area of 6.0 acres (261,360 sq. ft.). The Zoning District requested is the primary single-family residential district, intended to create residential neighborhoods. The applicant is proposing a single-family residential development at this location.

The property is currently zoned Residential, Suburban (RS) District. Adjacent zoning is Residential, Suburban (RS) District in all directions. The property is currently vacant. Adjacent land uses are low density single-family residential with the City of Edinburg Water Plan located to the east across South Mon Mack Road. Norma Linda Trevino Elementary School is located approximately .35 miles (1,870 ft.) to the north.. The future land use designation is for Suburban Uses at this location.

The subject property is the location of the proposed Mariterry Estates Subdivision that received final approval by this Board on August 9, 2022. Staff received a Zone Change Application for this property on September 26, 2022. The applicant indicated that the reason for the zone change is for "lesser setbacks." Rezoning is required to accommodate the proposed setbacks in this subdivision.

Staff mailed a notice of the public hearing to 8 neighboring property owners on Friday, October 28, 2022, and had received no comments in favor or against this request at the time this report was prepared. Notice of this public hearing will be published in the newspaper on November 16, 2022.

##### **ESTIMATED TIMELINE:**

The recommendation of approval or denial of this public hearing is scheduled for consideration by the City Council on December 6, 2022. City Council's decision is the final step in the zoning process for this property. If denied the applicant may not request the proposed zoning classification for a 12 month period from the date of denial.

##### **STAFF RECOMMENDATION:**

Staff recommends approval of the Rezoning Request from Residential, Suburban (RS) District to Residential, Primary, (RP) District based on land use.

If approved, the applicant will need to comply with all requirements during the permitting process including compliance with subdivision regulations, building and fire codes, fire protection, parking, landscape buffer-yards, solid waste services, utility, and any other City requirements, as applicable.

**JUSTIFICATION:**

Staff recommendation is based on surrounding land uses relative to proposed land uses. The proposed single-family use is on larger lots, compatible with the suburban nature of this area. The reduced setbacks resulting from the zone change for this subdivision are not likely to present a conflict with adjacent residential uses. However, this rezoning is not in keeping with the Future Land Use Plan.

Prepared by:

**D. Austin Colina**  
Planner I

Reviewed by:

**Jaime Acevedo**  
Director of Planning and Zoning

**MEETING DATES:**  
**PLANNING & ZONING COMMISSION – 11/08/2022**  
**CITY COUNCIL – 12/06/2022**  
**DATE PREPARED – 10/28/2022**

**STAFF REPORT**  
**GENERAL INFORMATION**

**APPLICATION:** Rezoning Request from Residential, Suburban (RS) District to Residential, Primary, (RP) District

**APPLICANT:** Constantine Ohabor

**AGENT:** Mario A. Salinas

**LEGAL:** The north 6.00 acres or out of the south 12.00 acres of the east ½ of Lot 9, Section 278, Texas-Mexican Railway Company's Survey

**LOCATION:** 1801 South Mon Mack Road

**LOT/TRACT SIZE:** 6.0 acres

**CURRENT USE:** Vacant

**PROPOSED USE:** Single-family Residential

**EXISTING ZONING:** Residential, Suburban (RS) District

**ADJACENT ZONING:** North – Residential, Suburban (RS) District  
South – Residential, Suburban (RS) District  
East – Residential, Suburban (RS) District  
West – Residential, Suburban (RS) District

**LAND USE PLAN:** Suburban

**PUBLIC SERVICES:** City of Edinburg Water and Sewer

**RECOMMENDATION:** Staff recommends approval of the Rezoning Request from Residential, Suburban (RS) District to Residential, Primary, (RP) District.

## **REZONING REQUEST CONSTANTINE OHABOR**

### **EVALUATION**

The following is staff's evaluation of the request.

1. The land use pattern for this area of the community consists of low-density, single-family residential uses with the City of Edinburg water treatment plant to the east.
2. The lots in the proposed subdivision are all larger than one-half acre, in keeping with the current Residential, Suburban (RS) District zoning.
3. The proposed variance is sought to reduce the required setbacks for this development. These setbacks would be similar to those found in nearby residential developments north of West Freddy Gonzalez Drive.
4. The proposed zoning is not in keeping with the Future Land Use Plan.

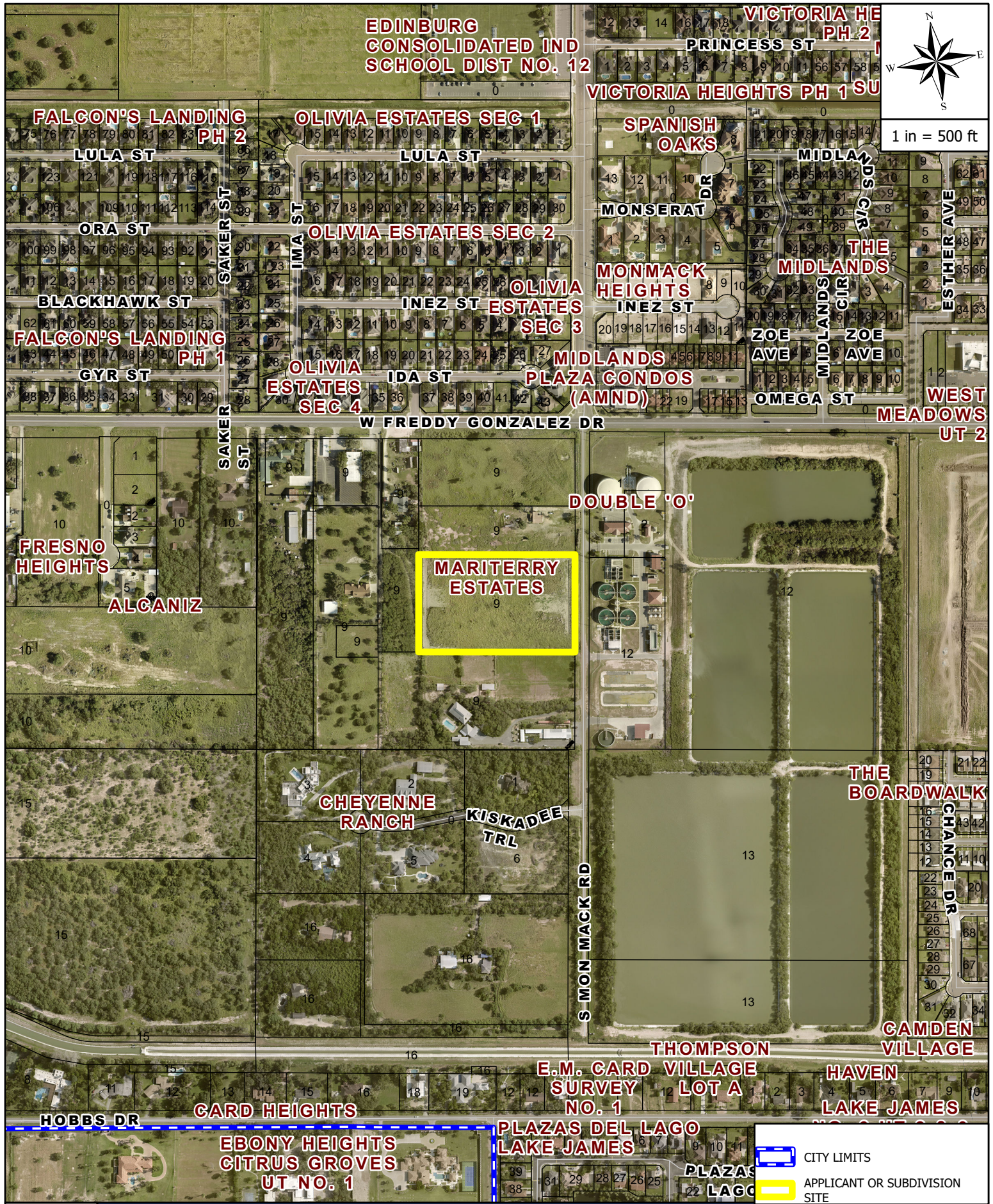
Staff recommends approval of the Rezoning Request from Residential, Suburban (RS) District to Residential, Primary, (RP) District based on land uses adjacent to this location. The proposed subdivision has large lots that are in keeping with the general character of the housing in this area. Reduced setbacks will establish a slightly different style for this subdivision, but should not create a conflict with existing uses adjacent to this rezoning. Reduced setbacks will provide more flexibility with site plan design for housing in this subdivision.

If approved, the applicant will need to comply with all requirements during the permitting process including compliance with subdivision regulations, building and fire codes, fire protection, parking, landscape buffer-yards, solid waste services, utility, and any other City requirements, as applicable.

Staff mailed a notice of the public hearing to 8 neighboring property owners on Friday, October 28, 2022, and had received no comments in favor or against this request at the time this report was prepared. Notice of this public hearing will be published in the newspaper on November 16, 2022.

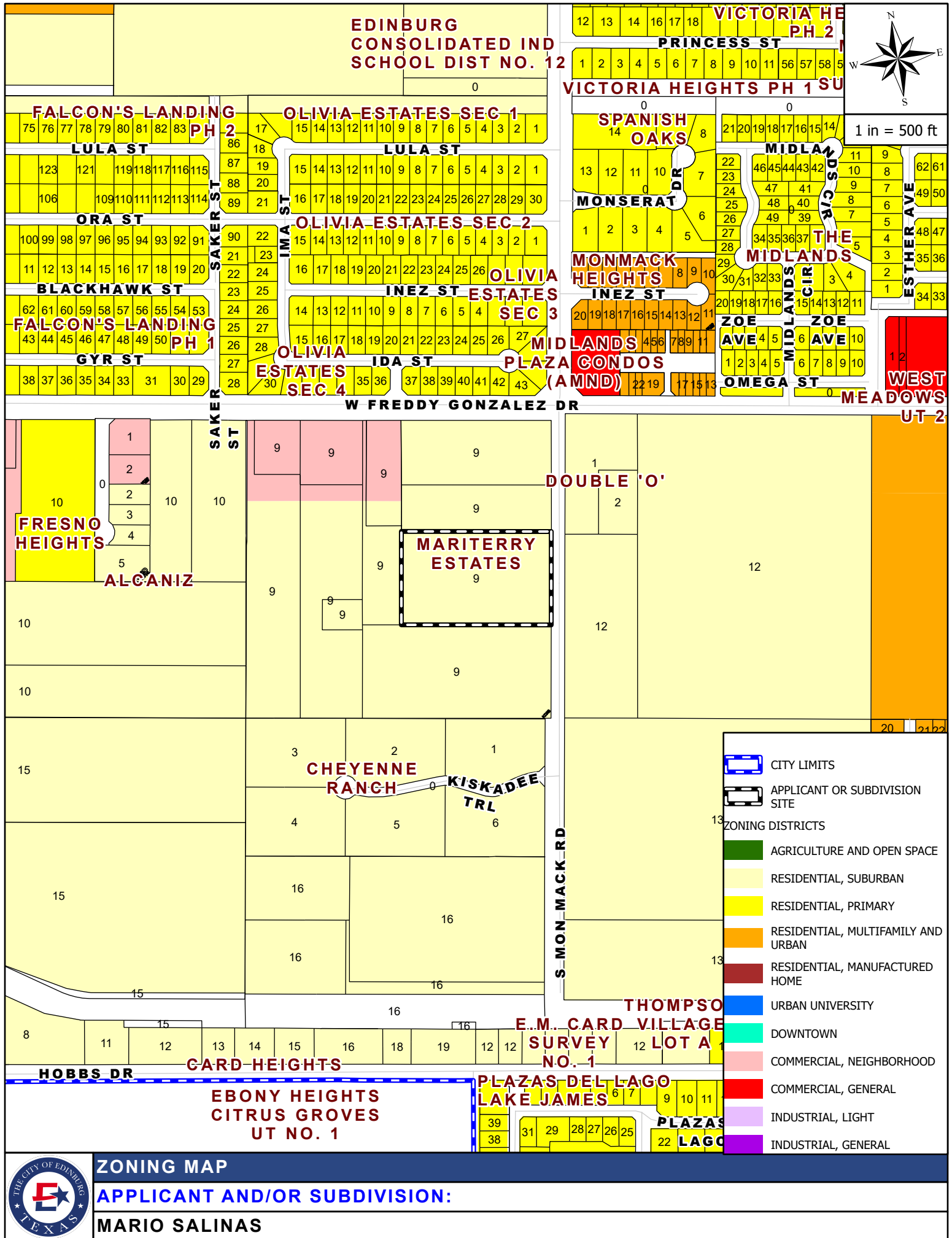
**ATTACHMENTS:** Aerial Photo  
Site Map  
Zoning Map  
Future Land Use Map  
Photo of Site  
Exhibits





**AERIAL MAP**  
**APPLICANT AND/OR SUBDIVISION:**  
**MARIO SALINAS**

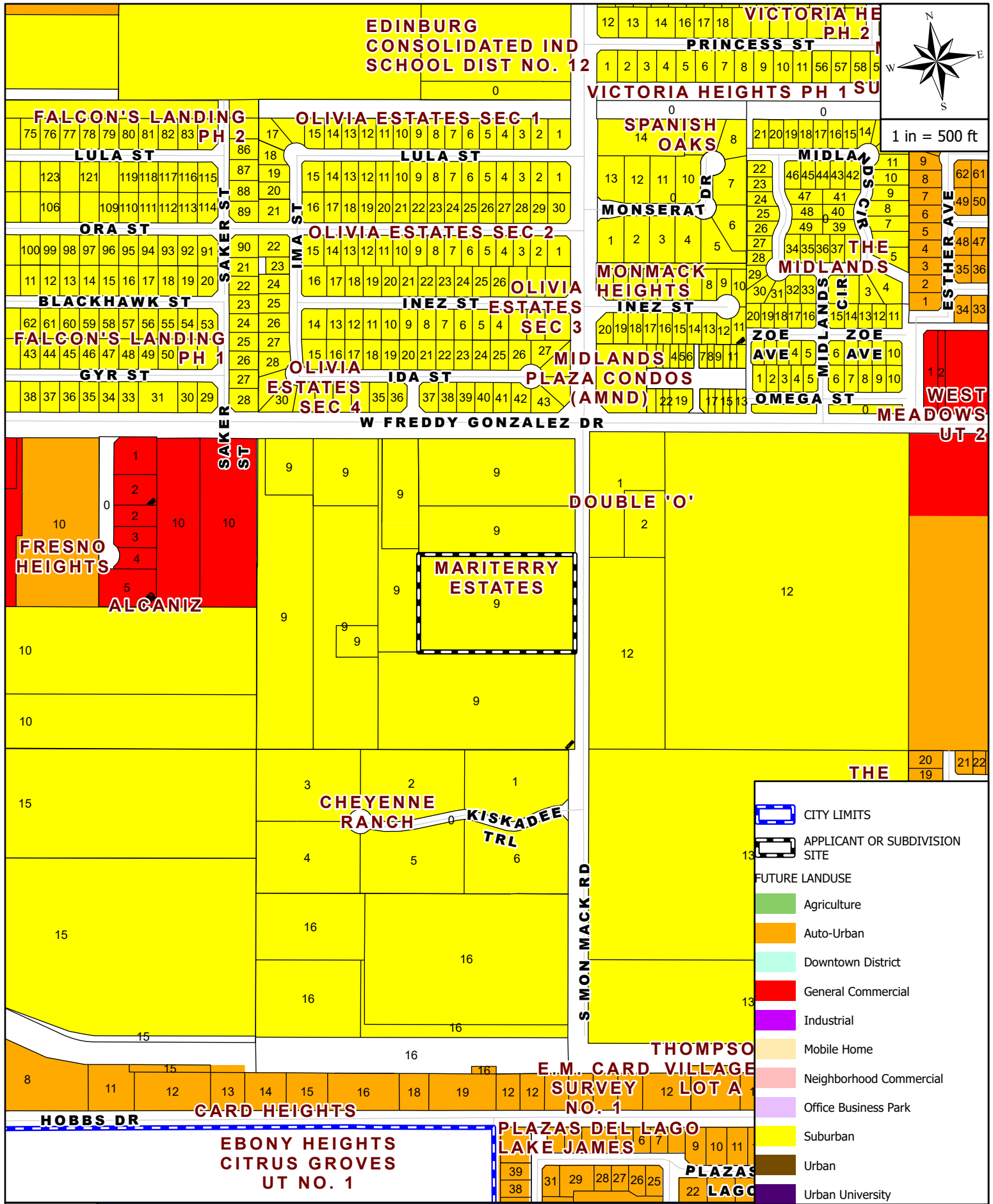




## ZONING MAP

APPLICANT AND/OR SUBDIVISION:

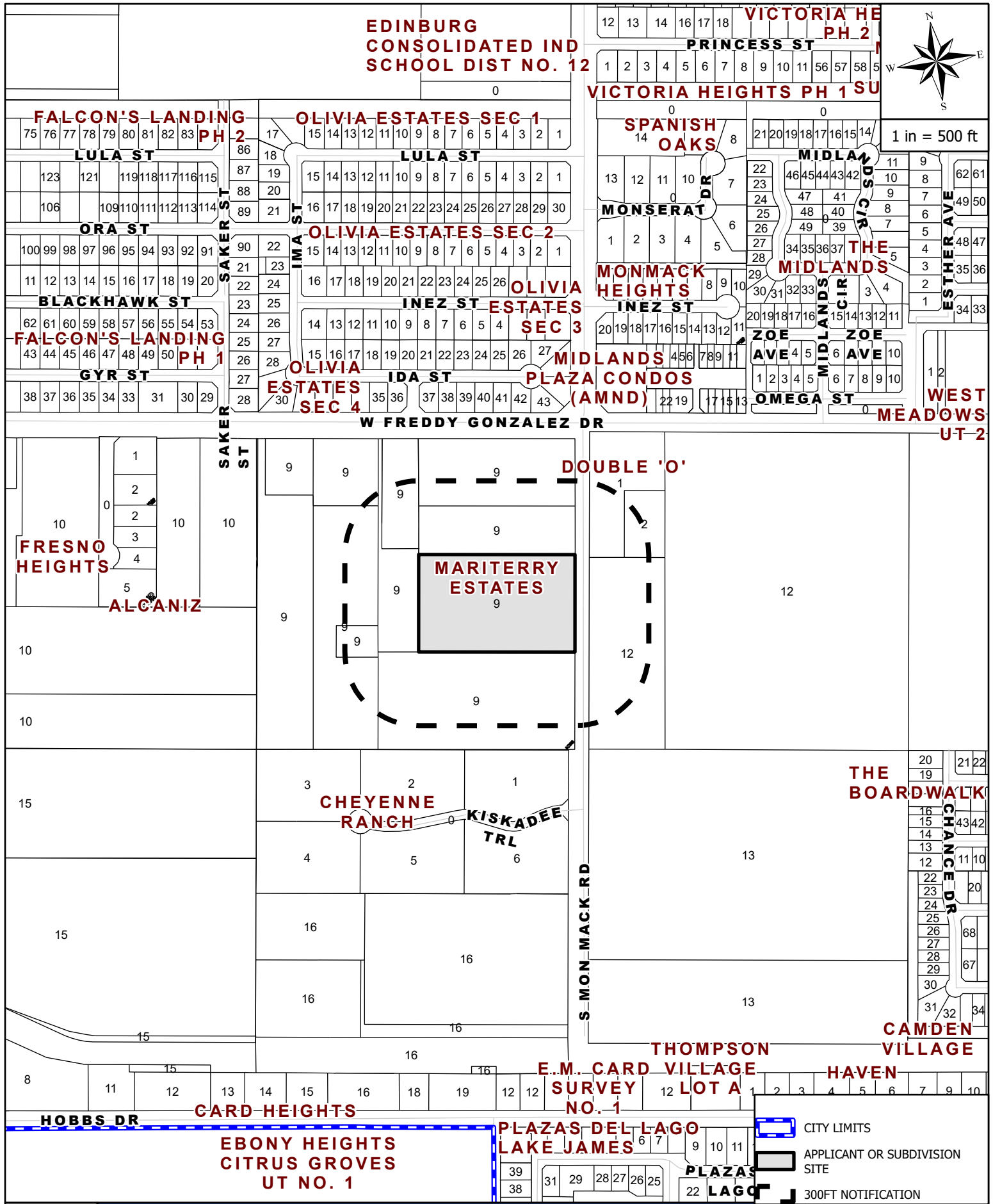
MARIO SALINAS



**FUTURE LANDUSE MAP**

**APPLICANT AND/OR SUBDIVISION:**

**MARIO SALINAS**



**MAILOUT AND SITE MAP**

**APPLICANT AND/OR SUBDIVISION:**

**MARIO SALINAS**

**ZONING CASE  
OWNER NOTIFICATION LIST**

PROPERTY ID: 297563  
FERNANDEZ HORACIO JR  
3611 W FREDDY GONZALEZ DR  
EDINBURG, TX 78539

PROPERTY ID: 297564  
FLORES ISIDORE III  
ANN VARICK MILLARD  
1923 S MONMACK RD  
EDINBURG, TX 78539

PROPERTY ID: 297565  
ANAYA MANUEL & GLADYS CLAUDET  
810 N ALTON RD  
ALTON, TX 78573

PROPERTY ID: 297562  
FERNANDEZ HORACIO JR  
3611 W FREDDY GONZALEZ  
EDINBURG, TX 78539

PROPERTY ID: 297566  
ANAYA MANUEL  
810 N ALTON BLVD  
ALTON, TX 78573

PROPERTY ID: 297569  
GARZA-FERNANDEZ FMLY LMTD PRTNSHP  
PO BOX 3246  
EDINBURG, TX 78540

PROPERTY ID: 583894  
COHAB LLC  
6114 N 3RD LN  
MCALLEN, TX 78504

PROPERTY ID: 297573  
GARZA DVM ADALBERTO  
ELVA F GARZA  
PO BOX 3246  
EDINBURG, TX 78540



## Planning & Zoning

415 West University Drive  
Edinburg, Texas 78539  
(956) 388-8202



THE CITY OF  
**Edinburg**

## Zone Change Application

ENERGOV CASE # **RZNE-2022-0085**

Date: 9/22/22

1. Property Owner (required): Constantine O Habor 2. Phone: (956) 478-2900 <sup>478 2900</sup>

3. Mailing Address: 6114 N. 3rd Lane

4. City: McAllen State: TX Zip: 78504

5. Owner's Email: ciohabor@yahoo.com 6. Cell No. 2-ciohabor@yahoo

7. Agent (not owner): Marib A. Salinas 8. Agent's Phone: (956) 537-1311

9. Agent's Mailing Address: 394 N. 10th St.

10. City: McAllen State: Tx Zip: 78501

11. Agent's Email: msalinas6973@aatt.net

12. Address/Location being Rezoned: 1801 S Mon Mack Edinburg

13. Legal Description of Property: Berry the north 6.00 acres out of South 12 Acres of the lot 9 Section 278, Texas-Mexican Railway Company Survey

14. Property ID(s): \_\_\_\_\_

15. Zone Change: From: Residential Suburban To: Residential Medium Density

16. Existing Land Use: Residential Suburban

17. Reason for Zone Change: lesser setbacks

CONSTANTINE OHABOR [Signature]

(Please Print Name) Signature

RECEIVED

SEP 26 2022

Name: \_\_\_\_\_

Application Fee \$400

RECEIPT NUMBER: \_\_\_\_\_

REVIEWED BY: A. Bettrian

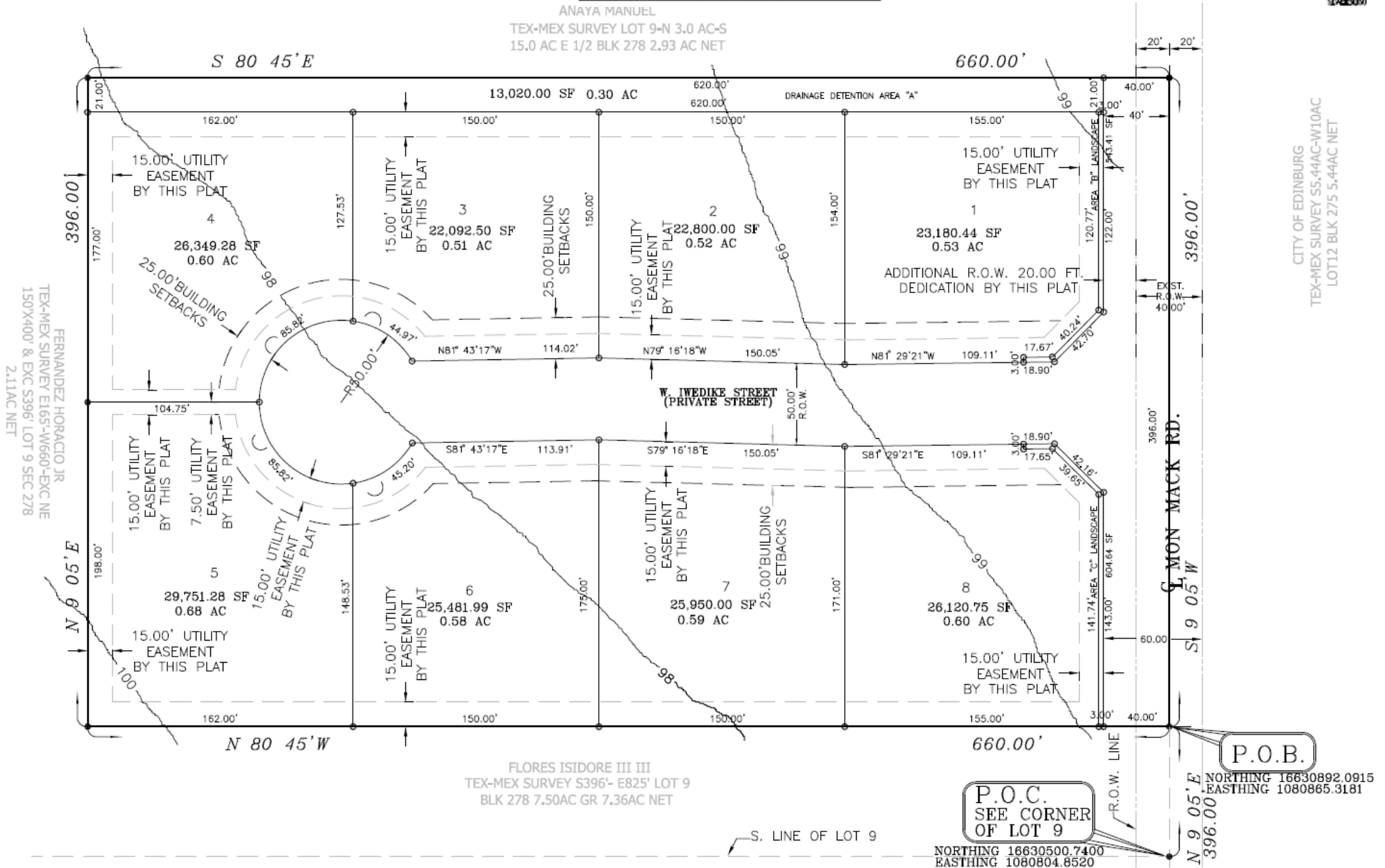
PUBLIC HEARING DATE (PLANNING & ZONING COMMISSION) – 5:30 PM: Nov.

PUBLIC HEARING DATE (CITY COUNCIL) – 6:00 PM: \_\_\_\_\_

(NOTE: BOTH MEETINGS ARE HELD AT THE EDINBURG CITY COUNCIL CHAMBERS)

# MAP OF MARITERRY ESTATES SUBDIVISION

ANAYA MANUEL  
TEX-MEX SURVEY LOT 9-N 3.0 AC-S  
15.0 AC E 1/2 BLK 278 2.93 AC NET



CITY OF EDINBURG  
TEX-MEX SURVEY S5.44AC-W10AC  
LOT 12 BLK 275 5.44AC NET

**MAS ENGINEERING LLC.**  
CONSULTING ENGINEERING  
FIRM NO. F-15499

3911 N. 10TH STREET, SUITE H PH. (956) 537-1311  
MCALLEN, TEXAS 78501 E-MAIL: MSALINAS6973@ATT.NET





# Rezoning Request Site Photo

**CONSTANTINE OHABOR (COHAB, LLC)**

1801 South Mon Mack Road





# City of Edinburg

## PLANNING & ZONING COMMISSION

November 8, 2022

### REZONING REQUEST

#### **AGENDA ITEM:**

Consider the Rezoning Request from Residential, Multifamily and Urban (RM) and Residential, Primary (RP) Districts to Commercial, Neighborhood (CN) District, being Lots 1 and 2, Bar Subdivision Unit No. 2, and the south 142.50 feet of Lot 1, Hilda Subdivision No. 1, located at 4009 and 4117 North Doolittle Road, as requested by Edith Campos on behalf of Genesis Linette Garza et al.

#### **DESCRIPTION / SCOPE:**

The applicant is proposing continuance of a commercial childcare facility at this location.

The property is located on the northwest corner of North Doolittle Road and Mesquite Street, approximately 1,600 ft. north of East Monte Cristo Road. The property consists of two lots with a combined total area of approximately 0.67 acres. The requested Zoning District is the light commercial district. It is intended to provide small neighborhood shopping opportunities and services in areas that are largely residential in use. The applicant is proposing the expansion of a commercial childcare facility.

The property southern property (4009 North Doolittle) is zoned Residential, Multifamily and Urban (RM) District. The adjacent property to the north (4117 North Doolittle) is zoned Residential, Primary (RP) District. Adjacent zoning is Residential, Primary (RP) District to the north, south, and west with Residential, Suburban (RS) District to the east. The property is currently the location of a childcare business. Adjacent land uses are single-family residential with the Monte Cristo Elementary School and the Anita E. Villarreal Elementary School located to the east across Doolittle Road. The future land use designation is for Auto-Urban Uses at this location.

The southern property is located in the Bar Subdivision Unit No. 2, recorded March 30, 1982. The northern property is located in the Hilda Subdivision No. 1, recorded November 23, 1982. Staff received a Zone Change Application for this property on September 30, 2022. The applicant is proposing to expand a commercial childcare business. Rezoning is required to accommodate the proposed use.

Staff mailed a notice of the public hearing to 33 neighboring property owners on Friday, October 28, 2022, and had received no comments in favor or against this request at the time this report was prepared. Notice of this public hearing will be published in the newspaper on November 16, 2022.

#### **ESTIMATED TIMELINE:**

The recommendation of approval or denial of this public hearing is scheduled for consideration by the City Council on December 6, 2022. City Council's decision is the final step in the zoning process for this property. If denied the applicant may not request the proposed zoning classification for a 12 month period from the date of denial.

#### **STAFF RECOMMENDATION:**

Staff recommends approval of the Rezoning Request from Residential, Multifamily and Urban (RM) and Residential, Primary (RP) Districts to Commercial, Neighborhood (CN) District based historical land use at this location.



If approved, the applicant will need to comply with all requirements during the permitting process including compliance with subdivision regulations, building and fire codes, fire protection, parking, landscape buffer-yards, solid waste services, utility, and any other City requirements, as applicable.

**JUSTIFICATION:**

Staff recommendation is based on three factors: historical land use at this location, compatibility with adjacent uses, and location on North Doolittle Road. The childcare facility at this location was established in 2008 and has not presented any conflict with adjacent residential or institutional uses. Expansion of this uses is not likely to present new conflict. The Commercial, Neighborhood (CN) District allows lighter uses that are more compatible with adjacent uses. North Doolittle Road is classified as a Minor Arterial street. This type of roadway is usually better suited for direct access by commercial uses than residential uses. However, this rezoning is not in keeping with the Future Land Use Plan.

Prepared by:

**D. Austin Colina**

Planner I

Reviewed by:

**Jaime Acevedo**

Director of Planning and Zoning

**MEETING DATES:**  
**PLANNING & ZONING COMMISSION – 11/08/2022**  
**CITY COUNCIL – 12/06/2022**  
**DATE PREPARED – 11/01/2022**

**STAFF REPORT**  
**GENERAL INFORMATION**

**APPLICATION:** Rezoning Request from Residential, Multifamily and Urban (RM) and Residential, Primary (RP) Districts to Commercial, Neighborhood (CN) District

**APPLICANT:** Genesis Linette Garza et al.

**AGENT:** Edith Campos

**LEGAL:** Lots 1 and 2, Bar Subdivision Unit No. 2, and the south 142.50 feet of Lot 1, Hilda Subdivision No. 1

**LOCATION:** Lots 1 and 2, Bar Subdivision Unit No. 2, and the south 142.50 feet of Lot 1, Hilda Subdivision No. 1

**LOT/TRACT SIZE:** 0.67 acres

**CURRENT USE:** Commercial

**PROPOSED USE:** Commercial

**EXISTING ZONING:** Residential, Multifamily and Urban (RM) and Residential, Primary (RP) Districts

**ADJACENT ZONING:** North – Residential, Primary (RP) District  
South – Residential, Primary (RP) District  
East – Residential, Suburban (RS) District  
West – Residential, Primary (RP) District

**LAND USE PLAN:** Auto-Urban

**PUBLIC SERVICES:** North Alamo Water and City of Edinburg Sewer

**RECOMMENDATION:** Staff recommends approval of the Rezoning Request from Residential, Multifamily and Urban (RM) and Residential, Primary (RP) Districts to Commercial, Neighborhood (CN) District.

## **REZONING REQUEST GENESIS LINETTE GARZA ET AL.**

### **EVALUATION**

The following is staff's evaluation of the request.

1. The land use pattern for this area of the community consists of single-family residential and institutional uses (Monte Cristo and Anita E. Villarreal Elementary Schools).
2. The childcare facility at this location has been in operation since 2008. No known conflicts with surrounding uses are known.
3. North Doolittle Road is classified as a Minor Arterial roadway. This type of roadway is better typically better suited for direct access by commercial uses than direct access by residential uses.
4. The proposed zoning is not in keeping with the Future Land Use Plan.

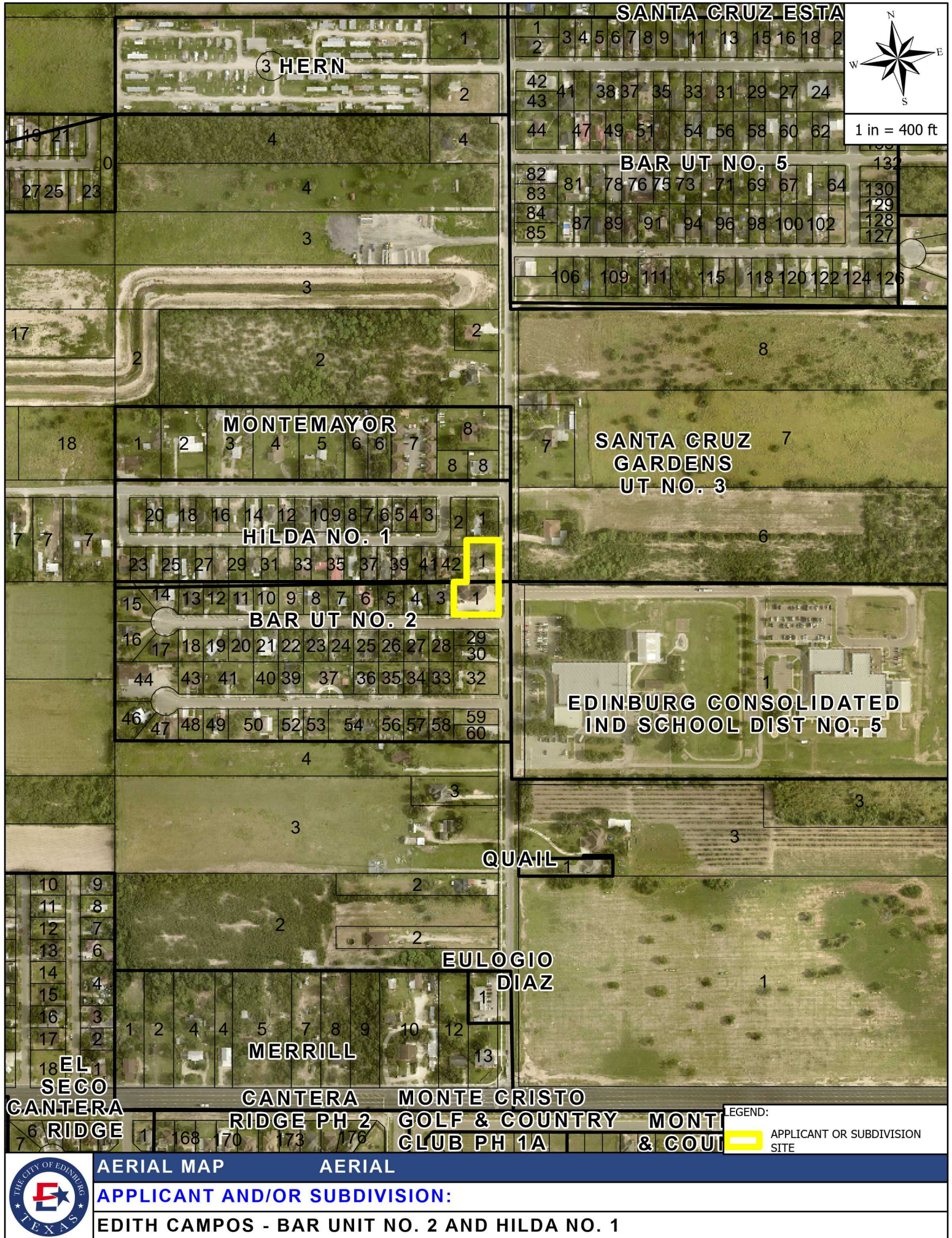
Staff recommends approval of the Rezoning Request from Residential, Multifamily and Urban (RM) and Residential, Primary (RP) Districts to Commercial, Neighborhood (CN) District. The existing childcare business was established in 2008. No conflicts from this use have been reported in the 14 years of its operation, and expansion of this business is unlikely to present new conflicts. The requested Commercial, Neighborhood (CN) designation aligns with the historical use at this location and is considered generally compatible with the adjacent residential uses. The proximity of this business to the two elementary schools to the east is desirable. North Doolittle Road is classified as a Minor Arterial street and is an appropriate location for business uses. However, this use is not in keeping with the Future Land Use Plan.

If approved, the applicant will need to comply with all requirements during the permitting process including compliance with subdivision regulations, building and fire codes, fire protection, parking, landscape buffer-yards, solid waste services, utility, and any other City requirements, as applicable.

Staff mailed a notice of the public hearing to 33 neighboring property owners on Friday, October 28, 2022, and had received no comments in favor or against this request at the time this report was prepared. Notice of this public hearing will be published in the newspaper on November 16, 2022.

**ATTACHMENTS:** Aerial Photo  
Site Map  
Zoning Map  
Future Land Use Map  
Photo of Site  
Exhibits





1 in = 400 ft

SANTA CRUZ ESTA

BAR UT NO. 5

SANTA CRUZ GARDENS UT NO. 3

EDINBURG CONSOLIDATED IND SCHOOL DIST NO. 5

QUAIL

EULOGIO DIAZ

MERRILL

EL SECO CANTERA RIDGE

CANTERA

RIDGE PH 2

MONTE CRISTO

GOLF & COUNTRY CLUB PH 1A

MONTI & COUT

LEGEND:

APPLICANT OR SUBDIVISION SITE

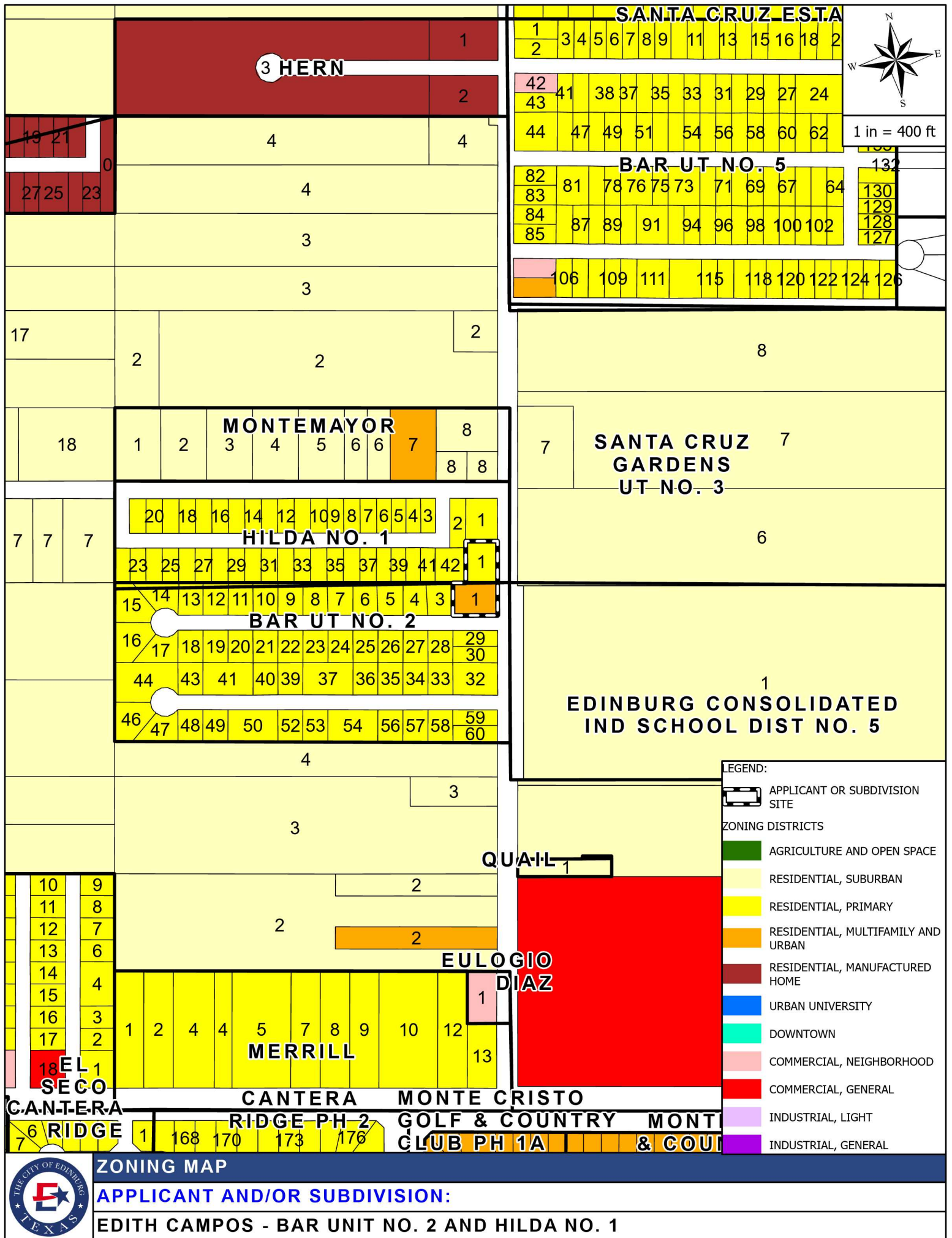
AERIAL MAP AERIAL

APPLICANT AND/OR SUBDIVISION:

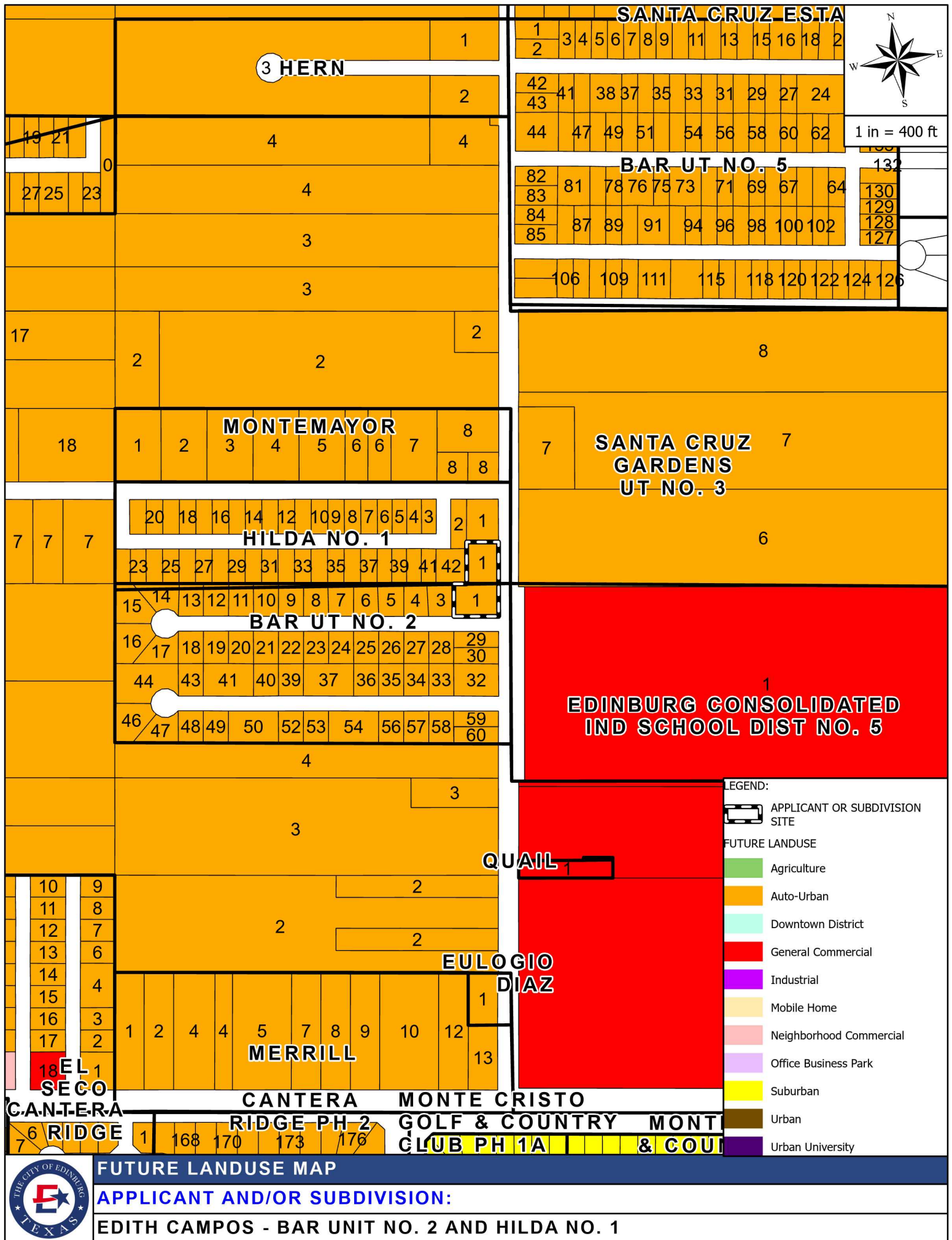
EDITH CAMPOS - BAR UNIT NO. 2 AND HILDA NO. 1













**ZONING CASE  
OWNER NOTIFICATION LIST**

PROPERTY ID: 121533  
GARZA GENESIS LINETTE ETAL  
4115 DOOLITTLE RD  
EDINBURG, TX 78542

PROPERTY ID: 121564  
GARRIDO JARA CHRISTIAN M &  
MILKA  
3706 ALBANIAN ST  
EDINBURG, TX 78542

PROPERTY ID: 121535  
LIMA CARLOS R SR & CARLOS JR  
2901 E MESQUITE ST  
EDINBURG, TX 78542

PROPERTY ID: 121567  
RAMIREZ CALIXTRO & GLORIA  
2819 E NOPAL DR  
EDINBURG, TX 78542

PROPERTY ID: 121536  
GARZA LETICIA C  
2821 E MESQUITE  
EDINBURG, TX 78541

PROPERTY ID: 121560  
RAMIREZ ESTHER  
12025 MESQUITE DR  
WESLACO, TX 78599

PROPERTY ID: 647164  
EDINBURG CONS IND SCHOOL  
PO BOX 990  
EDINBURG, TX 78540

PROPERTY ID: 121559  
RAMIREZ JESSICA LIZETH  
22808 URESTI RD  
EDINBURG, TX 78542

PROPERTY ID: 121537  
PEREZ ANTONIO  
2819 E MESQUITE ST  
EDINBURG, TX 78542

PROPERTY ID: 121565  
RAMIREZ MARIA A  
2907 E NOPAL DR  
EDINBURG, TX 78542

PROPERTY ID: 121538  
DE LEON RICARDO & CARMELA  
2813 E MESQUITE ST  
EDINBURG, TX 78542

PROPERTY ID: 121566  
RAMIREZ MARTA E  
2901 E NOPAL DR  
EDINBURG, TX 78542

PROPERTY ID: 121561  
MALACARA GERMAN  
3925 N DOOLITTLE RD  
EDINBURG, TX 78542

PROPERTY ID: 121557  
NINO ENCARNACION & MARIA A  
2814 E MESQUITE ST  
EDINBURG, TX 78542

PROPERTY ID: 121558  
RAMIREZ FAUSTINO & MARIA  
2820 E MESQUITE ST  
EDINBURG, TX 78542

PROPERTY ID: 278767  
EBROM PAUL T JR  
PO BOX 3810  
EDINBURG, TX 78540

PROPERTY ID: 121562  
MARTINEZ MARIA M & ELODIA  
4105 N DOOLITTLE RD  
EDINBURG, TX 78542

PROPERTY ID: 626823  
SAINZ RUFINO & MA LUISA  
2925 JOSEPHINE RD  
EDINBURG, TX 78542

**ZONING CASE  
OWNER NOTIFICATION LIST**

PROPERTY ID: 192471  
DIAZ JOSE DANIEL  
501 N BRIDGE ST PMB 319  
HIDALGO, TX 78557

PROPERTY ID: 192505  
LOPEZ JUAN I & EVELIA  
2926 JOSEPHINE RD  
EDINBURG, TX 78542

PROPERTY ID: 192470  
RAMIREZ MARIA GUADALUPE  
3003 JOSEPHINE RD  
EDINBURG, TX 78542

PROPERTY ID: 192504  
LOPEZ JUAN & ANASTACIA  
2926 JOSEPHINE RD  
EDINBURG, TX 78542

PROPERTY ID: 192469  
SALINAS ESMERALDO & OLIVERIO JR  
2901 JOSEPHINE RD  
EDINBURG, TX 78542

PROPERTY ID: 192503  
ZAMORA NILDA D  
7215 N 1ST ST  
EDINBURG, TX 78542

PROPERTY ID: 192467  
VILLARREAL DOROTEO  
4019 N DOOLITTLE RD  
EDINBURG, TX 78542

PROPERTY ID: 192466  
GARZA GENESIS LINETTE ETAL  
4115 DOOLITTLE RD  
EDINBURG, TX 78542

PROPERTY ID: 192468  
CUELLAR CARLOS J  
PO BOX 4521  
MCALLEN, TX 78502

PROPERTY ID: 243223  
VILLARREAL JOSE ALEJANDRO  
2214 W RHIN DR  
EDINBURG, TX 78539

PROPERTY ID: 192508  
SAENZ GLADIS ANI  
3012 JOSEPHINE RD  
EDINBURG, TX 78542

PROPERTY ID: 1019506  
OROZCO JORGE A JR & CLAUDIA  
JULIA AKA GONZALEZ  
2909 E DE LA ROSA ST  
EDINBURG, TX 78542

PROPERTY ID: 192507  
SAENZ EVELYN J  
3010 JOSEPHINE RD  
EDINBURG, TX 78542

PROPERTY ID: 1019507  
ALCALA PATRICIA VELA  
4119 N DOOLITTLE  
EDINBURG, TX 78542

PROPERTY ID: 192506  
MONTIEL MAGALLY ALCUDIA  
415 E THOMAS RD APT 1302  
PHARR, TX 78577

PROPERTY ID: 278765  
FORTIS LAND COMPANY LLC  
222 W UNIVERSITY DR  
EDINBURG, TX 78539



## Planning & Zoning

415 West University Drive  
Edinburg, Texas 78539  
(956) 388-8202



THE CITY OF  
**Edinburg**

## Zone Change Application

ENERGOV CASE # RZNE-2022-0086

Date: Sep-27-22

1. Property Owner (required): Genesis Garza, Sinai Garza <sup>Talina Salinas</sup> 2. Phone: 956-667-0417

3. Mailing Address: 4117 N. Doolittle Rd.

4. City: Edinburg State: TX Zip: 78542

5. Owner's Email: tasobaycar@yahoo.com 6. Cell No. 956-667-0417

7. Agent (not owner): Edith Campos 8. Agent's Phone: 956-667-0417

9. Agent's Mailing Address: \_\_\_\_\_

10. City: Edinburg State: TX Zip: 78542

11. Agent's Email: \_\_\_\_\_

12. Address/Location being Rezoned: 4009 N DOOLITTLE RD / 4117 N DOOLITTLE RD

13. Legal Description of Property: \_\_\_\_\_ 14. Property ID(s): 121533 & 192466

4009 N Doolittle Rd -BAR UT NO. 2 LOTS 1 & 2 - From RM to CG

4117 N Doolittle Rd -HILDA NO 1 S142.50' LOT 1 - From RP to CG

15. Zone Change: From: Suburban To: Commercial General

16. Existing Land Use: \_\_\_\_\_

17. Reason for Zone Change: \_\_\_\_\_

Edith Campos  
(Please Print Name)

[Signature]  
Signature

**RECEIVED**

Application Fee \$400

RECEIPT NUMBER: \_\_\_\_\_

REVIEWED BY: J. Ayala

SEP 30 2022

PUBLIC HEARING DATE (PLANNING & ZONING COMMISSION) – 5:30 PM: \_\_\_\_\_ Name: \_\_\_\_\_

PUBLIC HEARING DATE (CITY COUNCIL) – 6:00 PM: \_\_\_\_\_

(NOTE: BOTH MEETINGS ARE HELD AT THE EDINBURG CITY COUNCIL CHAMBERS)

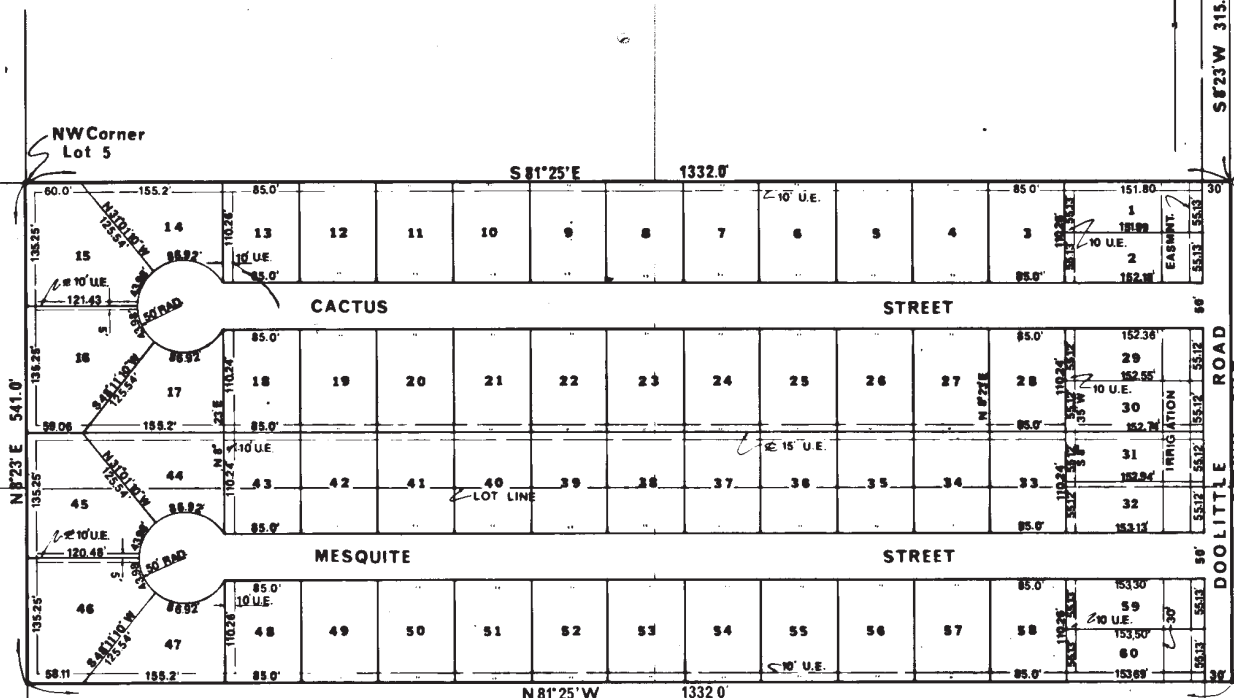


LEGEND:  
U.E. ~ UTILITY EASEMENT

40' COUNTY ROAD

NE Corner  
Block 2

SCALE 1" = 100'



## BAR SUBDIVISION UNIT No. 2

HIDALGO COUNTY, TEXAS

A SUBDIVISION CONTAINING 16.54 ACRES AND BEING ALL OF LOT 5 AND ALL OF LOT 4, EXCEPT THE SOUTH 3.64 ACRES, BLOCK 2, SANTA CRUZ GARDENS UNIT NO. 3, SANTA CRUZ RANCH SUBDIVISION OF SAN SALVADOR DEL TULE GRANT, HIDALGO COUNTY, TEXAS.

11709

APPROVED FOR RECORDING

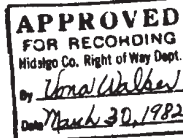
BY

COMMISSIONER'S COURT

This the 30th day of March 1982

SANTOS SALBIDA, Clerk  
Hidalgo County, Texas

By *Kenny B. ...*



Minimum floor elevation must be 18 inches above maximum ground level.

STATE OF TEXAS:  
COUNTY OF HIDALGO:

I, THE UNDERSIGNED, OWNER OF THE LAND SHOWN ON THIS PLAT AND WHOSE NAME IS SUBSCRIBED HERETO, HEREBY DEDICATE TO THE PUBLIC ALL STREETS, ALLEYS, PARKS, DRAINS, EASEMENTS, AND PUBLIC PLACES THEREON SHOWN FOR THE PURPOSES AND CONSIDERATION THEREIN EXPRESSED.

February 10, 1982 DATE  
H. Hollis Kauler, Jr. OWNER

STATE OF TEXAS:  
COUNTY OF HIDALGO:

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED *H. Hollis Kauler, Jr.* KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR THE PURPOSE AND CONSIDERATION THEREIN STATED, GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS 10th DAY OF February 1982.

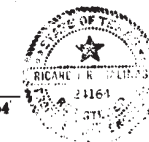
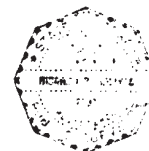
*Jerry Bates*  
NOTARY PUBLIC IN AND FOR  
HIDALGO COUNTY, TEXAS

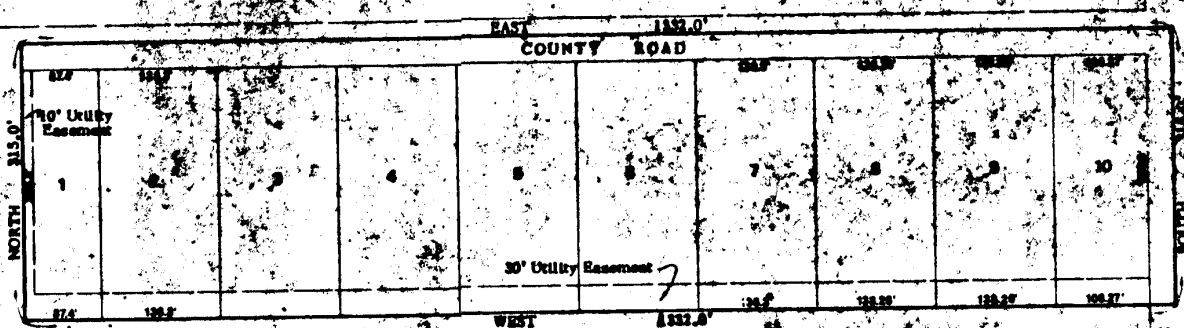
STATE OF TEXAS:  
COUNTY OF HIDALGO:

I, THE UNDERSIGNED, A REGISTERED ENGINEER AND SURVEYOR IN THE STATE OF TEXAS, HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECTLY MADE AND WAS PREPARED FROM AN ACTUAL SURVEY ON THE GROUND AND FURTHER CERTIFY THAT PROPER ENGINEERING CONSIDERATION WAS GIVEN THIS PLAT.

11/182  
DAW

*R. P. ...*  
REG. PROFESSIONAL ENGINEER #24164  
REG. PUBLIC SURVEYOR #2909





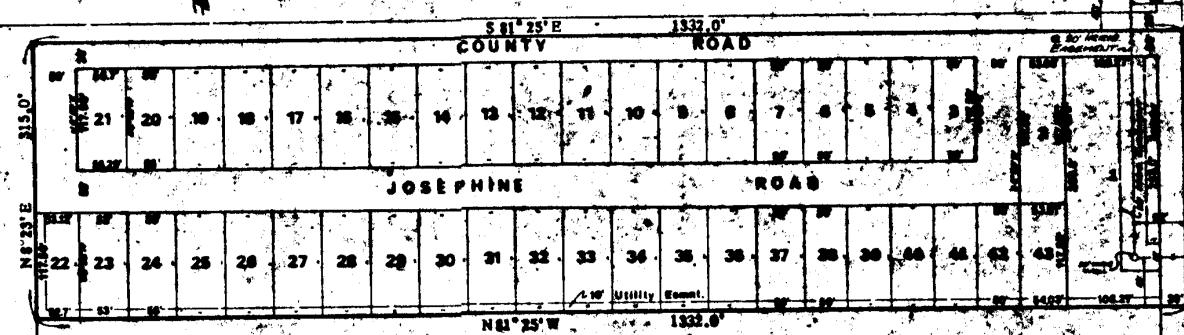
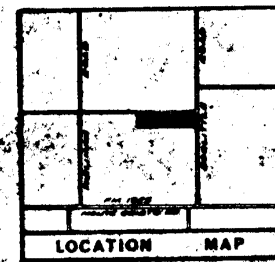
**VACATING PLAT**

**HILDA SUBDIVISION**

BEING A VACATING PLAT OF HILDA SUBDIVISION  
AS RECORDED IN VOLUME 20, PAGE 196 OF THE  
MAP RECORDS OF HIDALGO COUNTY, TEXAS.

DEC - 6 1982

**APPROVED  
FOR RECORDING**  
Hidalgo Co. Right of Way Dept.  
by *Dona Walker*  
Date *Nov. 23, 1982*



**RESUBDIVISION PLAT**

**HILDA SUBDIVISION NO. 1**

BEING A RESUBDIVISION AS HILDA SUBDIVISION NO. 1  
CONTAINING 9.68 ACRES AND BEING LOT 8, BLOCK 2  
OUT OF SANTA CRUZ GARDENS UNIT NO. 1,  
HIDALGO COUNTY, TEXAS

**APPROVED FOR RECORDING**  
BY  
**COMMISSIONERS' COURT**  
This the 23<sup>rd</sup> day of NOV 1982  
SANTOS BALDANA, County Clerk  
Hidalgo County, Texas  
*Rodriguez*

STATE OF TEXAS:  
COUNTY OF HIDALGO:

I, THE UNDERSIGNED, OWNER OF THE LAND SHOWN ON THE  
PLAT AND WHOSE NAME IS SUBSCRIBED HEREIN, HEREBY  
DEDICATE TO THE USE OF THE PUBLIC ALL STREETS,  
ALLEY, DRAINS, EASEMENTS AND PUBLIC PLACES THEREON  
SHOWN FOR THE PURPOSES AND CONSIDERATION THEREIN  
EXPRESSED:

11-17-82 *A. C. Culler*  
DATE OWNER

STATE OF TEXAS:  
COUNTY OF HIDALGO:

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY  
PERSONALLY APPEARED A. C. CULLER KNOWN TO ME  
TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO ME THAT  
HE EXECUTED THE SAME FOR THE PURPOSES AND CONSIDER-  
ATION THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE, THIS THE 17<sup>th</sup>  
DAY OF NOV, 1982.

*Heber S. Garcia*  
NOTARY PUBLIC IN AND FOR  
HIDALGO COUNTY, TEXAS

STATE OF TEXAS:  
COUNTY OF HIDALGO:

I, THE UNDERSIGNED, A REGISTERED ENGINEER AND SURVEYOR  
IN THE STATE OF TEXAS, HEREBY CERTIFY THAT THIS PLAT IS  
TRUE AND CORRECTLY MADE AND IS PREPARED FROM AN ACTUAL  
SURVEY ON THE GROUND AND FURTHER CERTIFY THAT PROPER  
ENGINEERING CONSIDERATION HAS BEEN GIVEN THIS PLAT.

11/24/82 *Ernie P. Schuler*  
DATE REG. PROFESSIONAL ENGINEER 00464  
REG. PUBLIC SURVEYOR 00000

CHECKED FOR UNIFORMITY  
BY: *Val & G...*

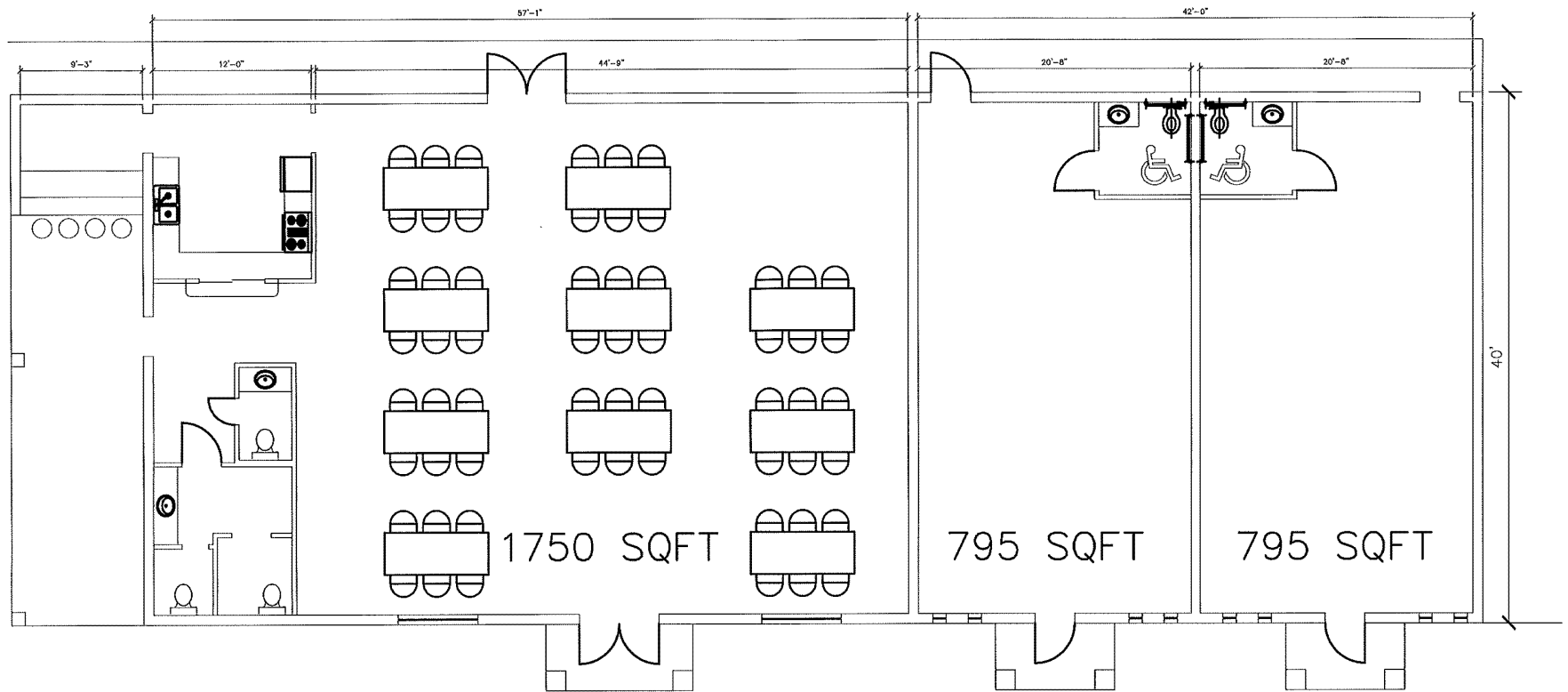
**SECOND  
AMENDED MAP**

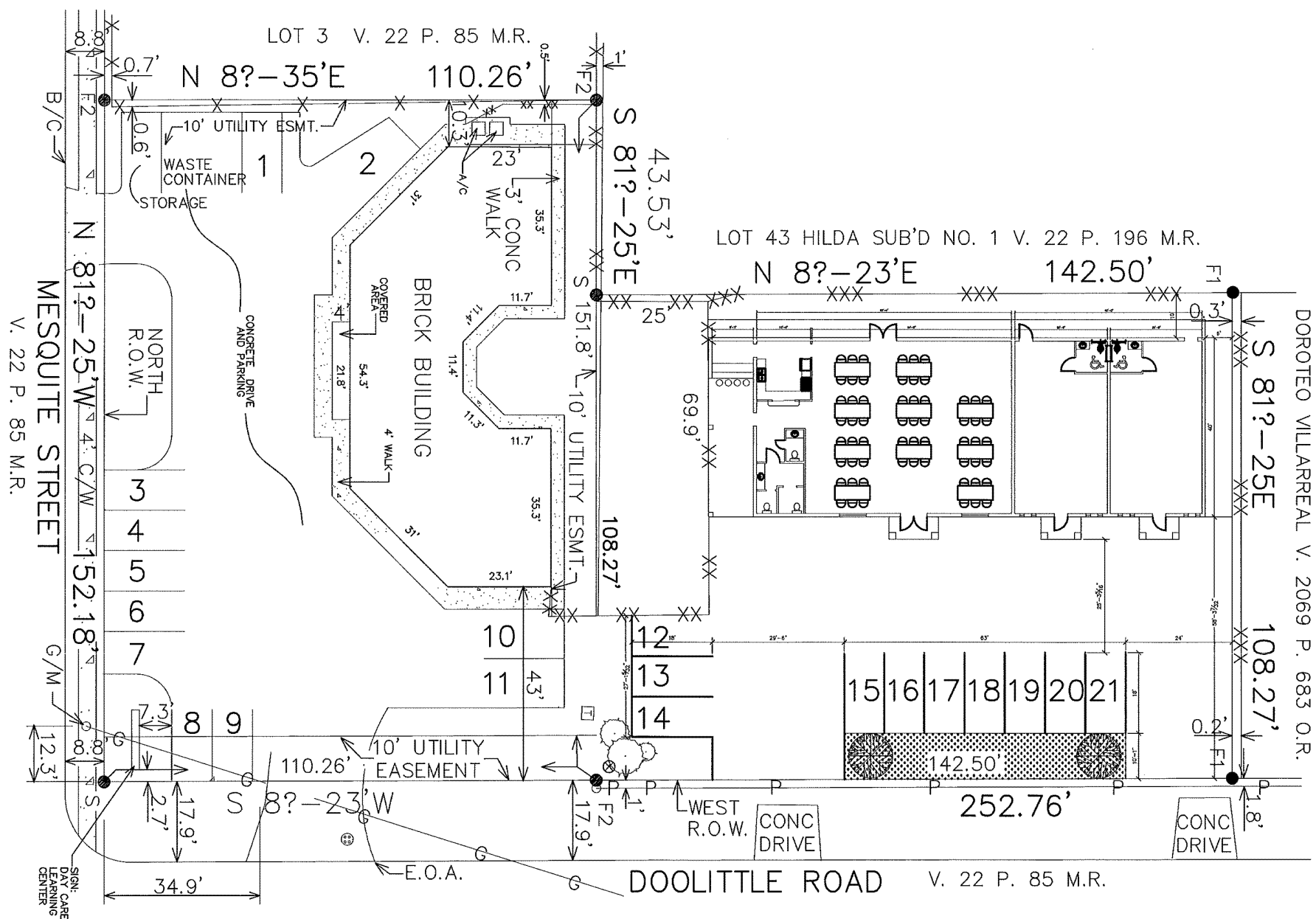
**HILDA SUBDIVISION NO. 1**

**HIDALGO COUNTY, TEXAS**

RESUBDIVISION OF LOT 6, BLOCK 2  
BEING 9.68 ACRES OUT OF  
SANTA CRUZ GARDENS SUBD. NO. 1

Recorded in Book 22 Page 196  
of the map records of Hidalgo  
County, Texas  
McKen and Hugi, Inc.  
County Surveyors









# Rezoning Request Site Photo

**GENESIS LINETTE GARZA ET AL.**

4009 and 4117 North Doolittle Road





## City of Edinburg

### PLANNING & ZONING COMMISSION

November 8, 2022

#### **REZONING REQUEST**

##### **AGENDA ITEM:**

Consider the Rezoning Request from Residential, Primary (RP) District to Residential, Multifamily and Urban (RM) District, Lots 1, 2, & 3, Block 242, Edinburg Original Townsite, located at 1102, 1106, and 1110 East McIntyre Street, as requested by Sheriff Muse-Ariyoh & OMEGA on behalf of Juan A. and Diana S. Hernandez

##### **DESCRIPTION / SCOPE:**

This district is the highest intensity residential district, intended to permit both single and multifamily residential uses and encourage a variety of housing types. The applicant is requesting the change of zone to establish a multifamily duplex at this location.

The property is located at the southeast corner of East McIntyre Street and North 21<sup>st</sup> Avenue, approximately 150 ft. north of East University Drive. The property consists of three lots that have 150 ft. of frontage on East McIntyre Street and 142 ft. of frontage on North 21<sup>st</sup> Avenue for a total area of 21,300 sq. ft. The requested zoning designation is the highest density residential district and allows for single-and multifamily uses on the subject property. The proposed use is for a construction of a duplex at this location.

The property is currently zoned Residential, Primary (RP) District. Adjacent zoning is Residential, Primary (RP) and Residential, Multifamily and Urban (RM) Districts to the north, Residential, Primary (RP) District to the east and west, and Commercial, General (CG) District to the south. There is currently a single family residential structure on the property. Austin Middle School is located approximately 440 ft. north of the subject property. The future land use designation is for Urban Uses at this location.

Staff received a Zone Change Application for the subject property on October 10, 2022. The applicant indicated an intent to construct a duplex on the subject property. Rezoning is required to accommodate the proposed project.

Staff mailed a notice of the public hearing to 43 neighboring property owners on Friday, October 28, 2022, and had received no comments in favor or against this request at the time this report was prepared. Notice of this public hearing will be published in the newspaper on November 16, 2022.

##### **ESTIMATED TIMELINE:**

The recommendation of approval or denial of this public hearing is scheduled for consideration by the City Council on December 6, 2022. City Council's decision is the final step in the zoning process for this property. If denied the applicant may not request the proposed zoning classification for a 12 month period from the date of denial.

##### **STAFF RECOMMENDATION:**

Staff recommends approval of the Rezoning Request from Residential, Primary (RP) District to Residential, Multifamily and Urban (RM) District based on adjacent zoning and land uses.

If approved, the applicant will need to comply with all requirements during the permitting process including compliance with subdivision regulations, building/fire codes, fire protection, parking, landscape buffer-yards, solid waste services, utility, and other City requirements, as applicable.

**JUSTIFICATION:**

Staff recommendation is based on adjacent zoning and land uses. A similar duplex was recently constructed across McIntyre Street, and the location adjacent to commercial uses lends a character to the location that is agreeable with multifamily uses. This rezoning is in keeping with the Future Land Use Plan.

Prepared by:

**D. Austin Colina**  
Planner I

Reviewed by:

**Jaime Acevedo**  
Director of Planning and Zoning



**MEETING DATES:**  
**PLANNING & ZONING COMMISSION – 11/08/2022**  
**CITY COUNCIL – 12/06/2022**  
**DATE PREPARED – 11/02/2022**

**STAFF REPORT**  
**GENERAL INFORMATION**

**APPLICATION:** Rezoning Request from Residential, Primary (RP) District to Residential, Multifamily and Urban (RM) District

**APPLICANT:** Juan A. and Diana S. Hernandez

**AGENT:** Sheriff Muse-Ariyoh & OMEGA

**LEGAL:** Lots 1, 2, & 3, Block 242, Edinburg Original Townsite

**LOCATION:** 1102, 1106, and 1110 East McIntyre Street

**LOT/TRACT SIZE:** 21,300 sq. ft. (≈0.49 acres)

**CURRENT USE:** Single-family residential/Vacant

**PROPOSED USE:** Multifamily Residential

**EXISTING ZONING:** Residential, Primary (RP) District

**ADJACENT ZONING:** North – Residential, Primary (RP) and Residential, Multifamily and Urban (RM) Districts  
South – Commercial, General (CG) District  
East – Residential, Primary (RP) District  
West – Residential, Primary (RP) District

**LAND USE PLAN:** Urban

**PUBLIC SERVICES:** City of Edinburg Water and Sewer

**RECOMMENDATION:** Staff recommends approval of the Rezoning Request from Residential, Primary (RP) District to Residential, Multifamily and Urban (RM) District.

## **REZONING REQUEST**

### **JUAN A. AND DIANA S. HERNANDEZ**

#### **EVALUATION**

The following is staff's evaluation of the request.

1. The land use pattern for this area transitions from commercial uses to the south (East University Drive) to residential uses to the north. These commercial uses are immediately south of the subject property on the other side of an alleyway.
2. A lot immediately north of the subject property was recently rezoned for multifamily use, and a duplex was constructed there earlier this year.
3. Commercial uses are located immediately south of the subject property affecting the style and character of this location.
4. The proposed zoning is in keeping with the Future Land Use Plan.

Staff recommends approval of the Rezoning Request from Residential, Primary (RP) District to Residential, Multifamily and Urban (RM) District based on adjacent zoning and land uses. The proposed use would not present and conflict with adjacent commercial uses, and the character of the single-family uses to the east one that is accustomed to having neighboring commercial uses. Multifamily residential uses were introduced to this intersection earlier this year, further changing the character of this portion of McIntyre Street to favor a rezoning such as this one. The proposed zone change is in keeping with the Future Land Use Plan.

If approved, the applicant will need to comply with all requirements during the permitting process including compliance with subdivision regulations, building and fire codes, fire protection, parking, landscape buffer-yards, solid waste services, utility, and any other City requirements, as applicable.

Staff mailed a notice of the public hearing to 43 neighboring property owners on Friday, October 28, 2022, and had received no comments in favor or against this request at the time this report was prepared. Notice of this public hearing will be published in the newspaper on November 16, 2022.

**ATTACHMENTS:** Aerial Photo  
Site Map  
Zoning Map  
Future Land Use Map  
Photo of Site  
Exhibits

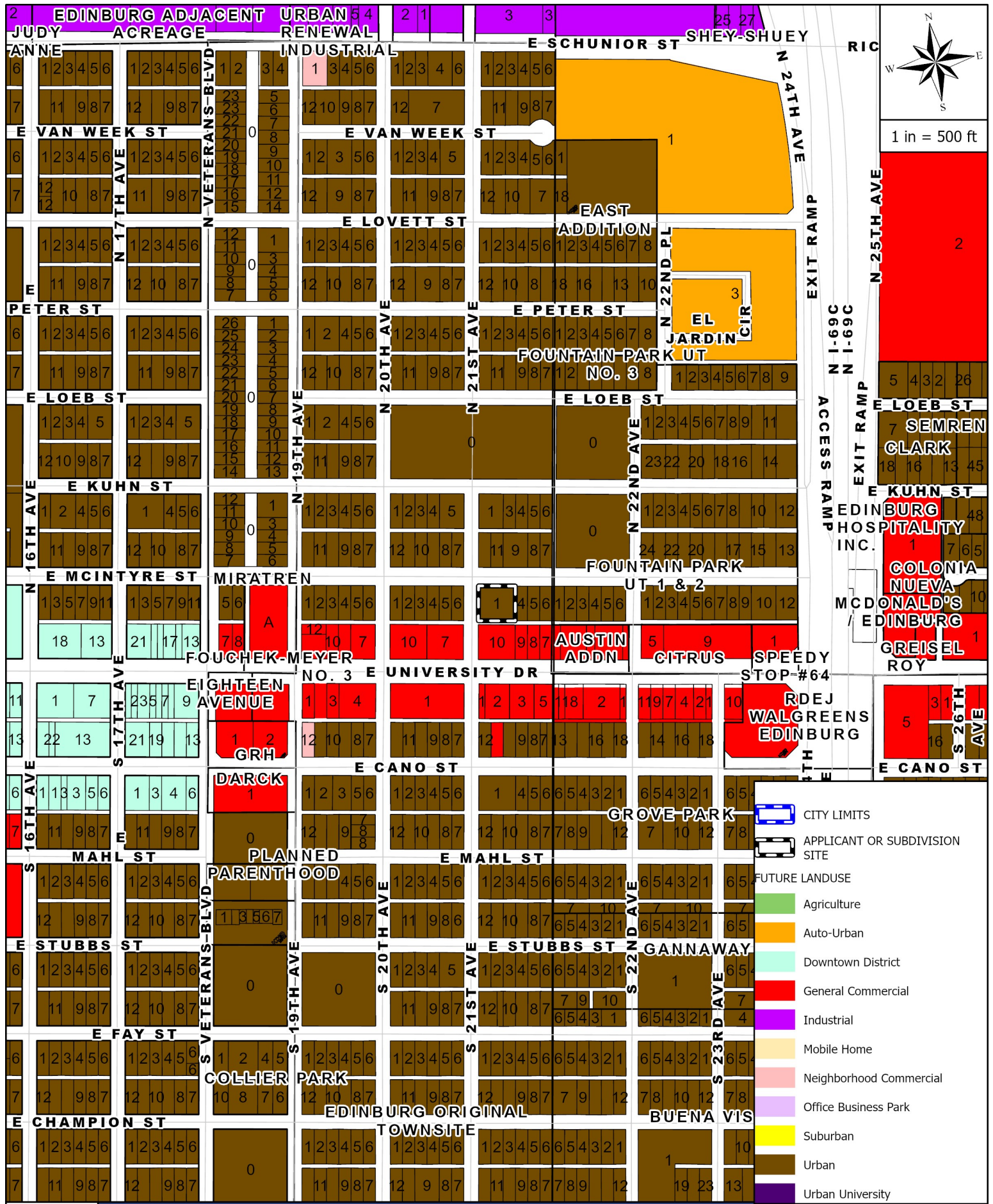












## FUTURE LANDUSE MAP

APPLICANT AND/OR SUBDIVISION:

SHERIFF MUSE ARIYOH- JUAN AND DIANA HERNANDEZ





**APPLICANT AND/OR SUBDIVISION:**

SHERIFF MUSE ARIYOH- JUAN AND DIANA HERNANDEZ

**ZONING CASE  
OWNER NOTIFICATION LIST**

PROPERTY ID: 119207  
EL PATO PROPERTIES LP  
1300 EAST TAMARACK  
MCALLEN, TX 78501

PROPERTY ID: 516896  
S & P FOOD AND BEVERAGE LLC  
622 BARTON DR  
EDINBURG, TX 78541

PROPERTY ID: 164946  
CANALES ELIDA RAMIREZ LOPEZ  
2702 ENCINO COURT  
EDINBURG, TX 78539

PROPERTY ID: 164942  
GUTIERREZ & CO INC  
PO BOX 4243  
EDINBURG, TX 78540

PROPERTY ID: 164947  
1116 UNIVERSITY LLC  
11626 MEADOW CHASE DR  
HOUSTON, TX 77065

PROPERTY ID: 164929  
GARZA JESUS G & IRENE  
1018 E MCINTYRE ST  
EDINBURG, TX 78541

PROPERTY ID: 164948  
MALDONADO PAULA  
601 N 8TH AVE  
EDINBURG, TX 78541

PROPERTY ID: 175810  
CHAVEZ SONIA TRST  
1206 E MCINTYRE ST  
EDINBURG, TX 78541

PROPERTY ID: 164740  
FIGUEROA JONATHAN M & MAYELI V  
MARTINEZ  
1014 E KUHN ST  
EDINBURG, TX 78541

PROPERTY ID: 164728  
FLORES LIDIA  
1110 E KUHN ST  
EDINBURG, TX 78541

PROPERTY ID: 164741  
FIRST CHRISTIAN CHURCH  
1018 E KUHN ST  
EDINBURG, TX 78541

PROPERTY ID: 164730  
SALINAS FLORENTINO & HERMINIA  
1120 E KUHN ST  
EDINBURG, TX 78541

PROPERTY ID: 164945  
TRUJILLO NORA PEREZ  
PO BOX 2252  
EDINBURG, TX 78540

PROPERTY ID: 164735  
RECIO LYDIA AKA MARIA LYDIA  
RICARDO RECIO  
1107 E MCINTYRE ST  
EDINBURG, TX 78541

PROPERTY ID: 164745  
RAMIREZ ISABEL JR  
1007 E MCINTYRE ST  
EDINBURG, TX 78541

PROPERTY ID: 164742  
GARZA ROSEMARY  
117 N 6TH ST  
OAKES, ND 58474



**ZONING CASE  
OWNER NOTIFICATION LIST**

PROPERTY ID: 164744  
NIETO KEREN EDIELY  
1013 E MCINTYRE ST  
EDINBURG, TX 78541

PROPERTY ID: 164732  
RODRIGUEZ CARLOS A  
1123 E MCINTYRE  
EDINBURG, TX 78541

PROPERTY ID: 164931  
EL NORTE HOLDINGS LLC  
PO BOX 50  
LINN, TX 78563

PROPERTY ID: 164733  
LIMON ELIZABETH  
1119 E MCINTYRE ST  
EDINBURG, TX 78541

PROPERTY ID: 164936  
SALAZAR RUBEN  
1112 E MCINTYRE ST  
EDINBURG, TX 78541

PROPERTY ID: 164746  
ESPINOZA ANDREA REYES  
MARIA A CHAVEZ & ALONSO J  
CHAVEZ  
6306 E TRENTON RD  
EDINBURG, TX 78542

PROPERTY ID: 164941  
K & M APPLIANCES LLC  
PO BOX 3757  
EDINBURG, TX 78540

PROPERTY ID: 164937  
RODRIGUEZ JOSE I JR & MARIA S  
PO BOX 3941  
EDINBURG, TX 78540

PROPERTY ID: 164935  
HERNANDEZ JUAN ANTONIO & DIANA  
SANDRA RAMIREZ  
2217 MOCKINGBIRD ST  
EDINBURG, TX 78542

PROPERTY ID: 164938  
CORPOS ALICIA  
317 E PETER ST  
EDINBURG, TX 78541

PROPERTY ID: 164930  
ESTIMBO BENITO III III  
4925 E CHAPIN ST  
EDINBURG, TX 78542

PROPERTY ID: 164939  
RODRIGUEZ GILBERT  
12651 E RODGERS ROADS  
EDINBURG, TX 78542

PROPERTY ID: 119205  
EL PATO PROPERTIES LP  
1300 EAST TAMARACK  
MCALLEN, TX 78501

PROPERTY ID: 164926  
CHAVEZ MIGUEL ANGEL  
2223 BETTY BLVD  
EDINBURG, TX 78542

PROPERTY ID: 175809  
CAMERO ELIZABETH & JOSE M  
1200 E MCINTYRE ST  
EDINBURG, TX 78541

PROPERTY ID: 164927  
GARZA JOSE & ISABEL  
2759 MERCURY DR  
LAKE ORION, MI 48360

**ZONING CASE  
OWNER NOTIFICATION LIST**

PROPERTY ID: 164928  
GARCIA GUADALUPE GARZA  
1012 E MCINTYRE ST  
EDINBURG, TX 78541

PROPERTY ID: 164743  
GARZA VICTOR R  
1021 E MCINTYRE ST  
EDINBURG, TX 78541

PROPERTY ID: 175811  
ARENAS GREGORIO & ROSALINDA  
1210 E MCINTYRE ST  
EDINBURG, TX 78541

PROPERTY ID: 183714  
MALDONADO PAULA ALONZO  
601 N 8TH AVE  
EDINBURG, TX 78541

PROPERTY ID: 175812  
SCHMERBER MARTHA NELIA  
8217 WYSONG DR  
INDIANAPOLIS, IN 46219

PROPERTY ID: 164958  
GRH INVESTMENTS LLC  
621 E CANO ST  
EDINBURG, TX 78539

PROPERTY ID: 164727  
VALENZUELA ANDREA S  
4021 CHURCHILL DOWNS DR  
GAINESVILLE, GA 30507

PROPERTY ID: 164729  
GARCIA SABAS III  
1224 CHRIS CIRCLE  
EDINBURG, TX 78539

PROPERTY ID: 164731  
VILLARREAL ABEL & ELISE  
22812 N SHARP RD  
EDINBURG, TX 78542

PROPERTY ID: 164734  
RODRIGUEZ ALVARO & FIDEL OMAR  
2821 GARZA DR  
EDINBURG, TX 78539

PROPERTY ID: 164736  
CERVANTES FABIOLA M & MAURICIO  
JR  
716 E KUHN ST  
EDINBURG, TX 78541

## Planning & Zoning

415 West University Drive  
Edinburg, Texas 78539  
(956) 388-8202



# Zone Change Application

ENERGOV CASE #

Date: \_\_\_\_\_

1. Property Owner (required): \_\_\_\_\_ 2. Phone: \_\_\_\_\_

3. Mailing Address: \_\_\_\_\_

4. City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

5. Owner's Email: \_\_\_\_\_ 6. Cell No. \_\_\_\_\_

7. Agent (not owner): \_\_\_\_\_ 8. Agent's Phone: \_\_\_\_\_

9. Agent's Mailing Address: \_\_\_\_\_

10. City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_

11. Agent's Email: \_\_\_\_\_

12. Address/Location being Rezoned: \_\_\_\_\_

13. Legal Description of Property: \_\_\_\_\_ 14. Property ID(s): \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_

15. Zone Change: From: \_\_\_\_\_ To: \_\_\_\_\_

16. Existing Land Use: \_\_\_\_\_

17. Reason for Zone Change: \_\_\_\_\_

\_\_\_\_\_  
(Please Print Name)



Signature

Application Fee \$400

RECEIPT NUMBER: \_\_\_\_\_ REVIEWED BY: \_\_\_\_\_

PUBLIC HEARING DATE (PLANNING & ZONING COMMISSION) – 5:30 PM: \_\_\_\_\_

PUBLIC HEARING DATE (CITY COUNCIL) – 6:00 PM: \_\_\_\_\_

**(NOTE: BOTH MEETINGS ARE HELD AT THE EDINBURG CITY COUNCIL CHAMBERS)**



1-23

AMENDED MAP  
OF  
EDINBURG IN HIDALGO COUNTY, TEXAS.

DEDICATION OF THE STREETS, AVENUES, ALLEYS ETC. OF EDINBURG, TEXAS.

This dedication of the streets, avenues, alleys and roadways of this the amended town plat of this town of Edinburg, Hidalgo County, Texas, is made with the express reservation to The Edinburg Townsite Co., of the right, privilege and use, under streets, avenues, alleys and roadways and the space beneath them for the purpose of erecting, constructing and operating plants, appliances, pipes and lines of for the transmission and sale of water, heat, light and power, and the telephone and telegraph lines, and for the purpose of operating lines, stations for the carriage of freight and passengers, and for the construction and operation of power and water within the said town of Edinburg and its corporate and corporate limits, and their appurtenances for the purpose of operating, constructing, erecting, installing and operating lines, stations, streets, avenues, alleys and roadways, and shall be the property of and shall be used and exercised by the said "The Edinburg Townsite Company," or by any person or persons, corporation or corporations, within such rights, privileges and franchises may be respectively assigned by The Edinburg Townsite Co.

WITNESS the name of said corporation, signed by its President, with its corporate seal here be affixed attested by its Secretary, this 6th day of August, A.D. 1914

(Seal) J.R. HARRIS Secretary

The Edinburg Townsite Co.  
By John Cleaver President

STATE OF TEXAS I, John Cleaver, do hereby certify that the foregoing map of the town of Edinburg, Hidalgo County, Texas, is the property of the Edinburg Townsite Company, a corporation of the State of Texas, and that the same is a true and correct copy of the same as recorded by the said John Cleaver, as President, and the said J.R. Harris, as Secretary, signed, sealed with the corporate seal, and delivered the foregoing for the purpose and consideration therein expressed and under capacity therein stated.

(Seal)

(W.H. Harrison)  
NOTARY PUBLIC IN AND FOR HIDALGO COUNTY, TEXAS.

STATE OF TEXAS I, Fred Harrison, Civil Engineer and surveyor, do hereby certify that the foregoing map of the town of Edinburg, Hidalgo County, Texas, is the property of the Edinburg Townsite Company, a corporation of the State of Texas, and that the same is a true and correct copy of the same as recorded by the said John Cleaver, as President, and the said J.R. Harris, as Secretary, signed, sealed with the corporate seal, and delivered the foregoing for the purpose and consideration therein expressed and under capacity therein stated.

WITNESS my hand and seal of office, this 6th day of August, A.D. 1914.

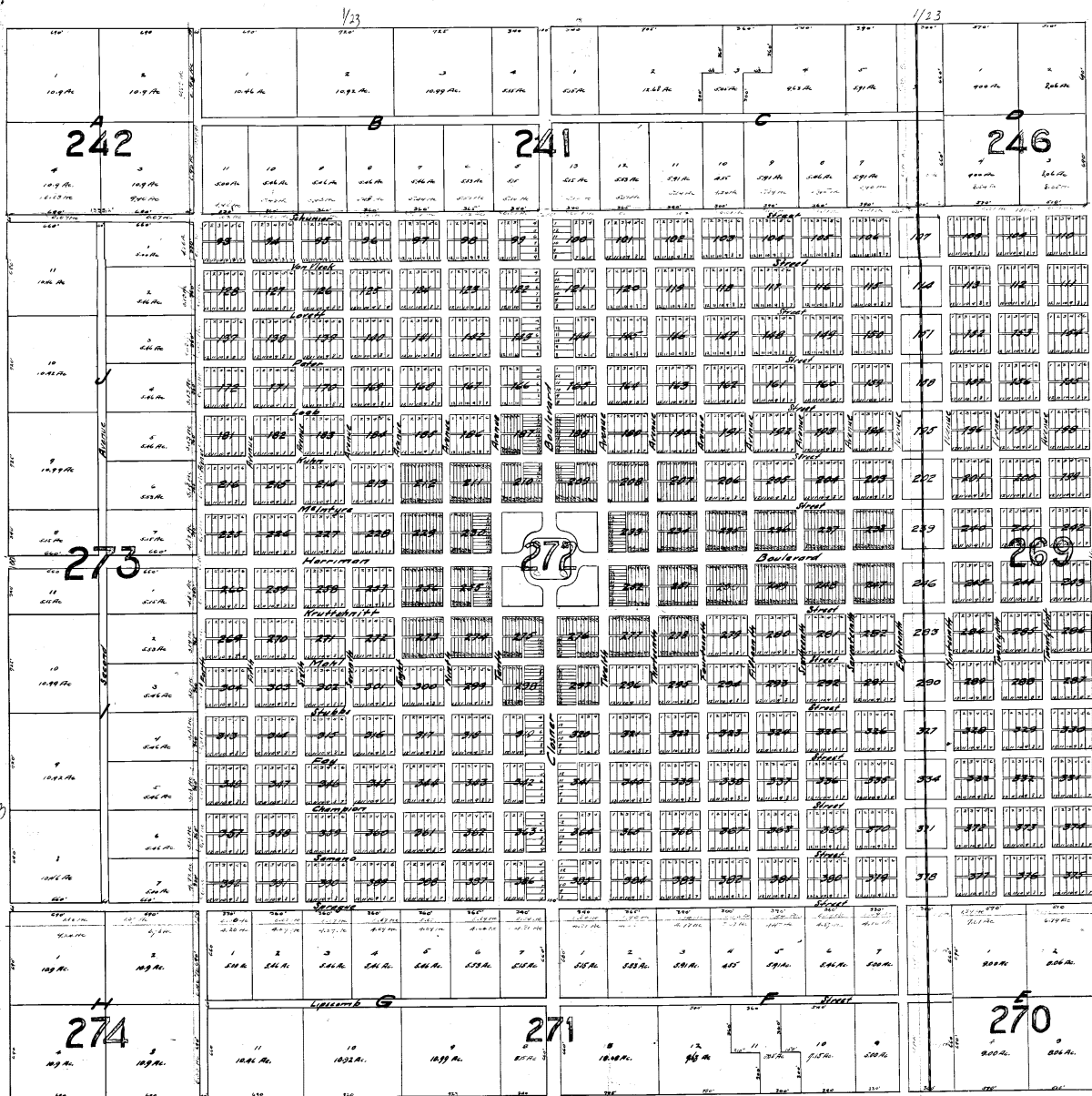
(Fred Harrison) ENGINEER AND SURVEYOR

Subscribed and sworn to before me, this 6th day of Aug. A.D. 1914

(W.H. Harrison)

Notary Public in and for Hidalgo County, Texas.

(Seal)





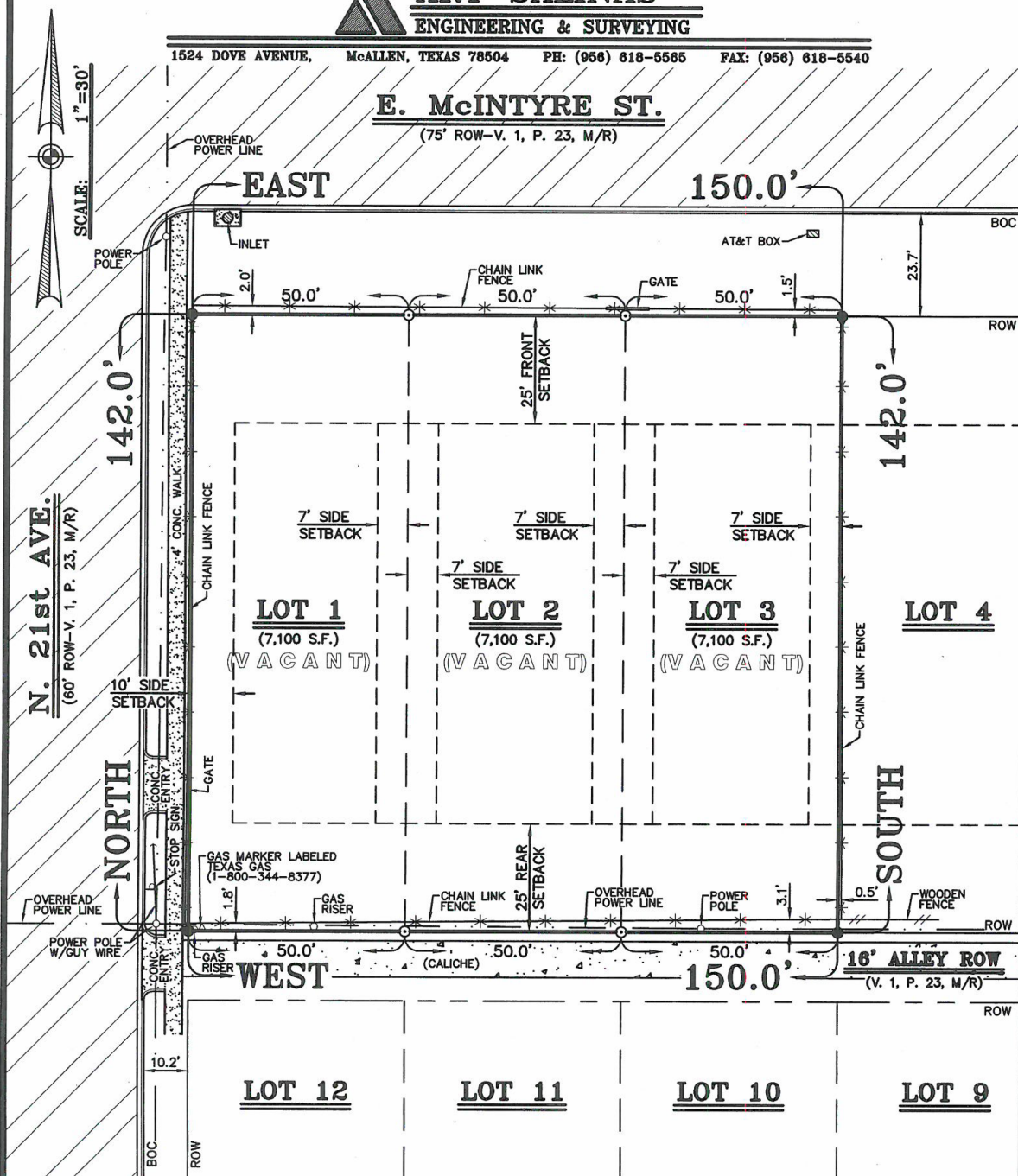
# ART SALINAS

## ENGINEERING & SURVEYING

1524 DOVE AVENUE, McALLEN, TEXAS 78504 PH: (956) 618-5565 FAX: (956) 618-5540

### E. McINTYRE ST.

(75' ROW-V. 1, P. 23, M/R)



**FLOOD ZONE DESIGNATION:** The property shown hereon lies in Zone "X". Zone "X" areas are areas of 500-year flood; areas of 100-year flood with average depths of less than 1 foot or with drainage areas of less than 1 square mile; and areas protected by levees from 100-year flood as per F.E.M.A. Flood Insurance Rate Map No. 480338-0020-E dated 06-06-00.

**PLAT NOTES:**

- There are no discrepancies, conflicts, shortages in area or boundary lines, encroachments, overlapping of improvements or visible or apparent easements except as shown on this plat.
  - This survey plat is prepared without the benefit of a title report. Easement research is not within the scope of this boundary survey. This survey is for the exclusive use of the client named hereon and may not be copied or transferred to another party without the express written consent of the surveyor.
  - This survey must contain an embossed seal and an original signature to be valid as per Section 661.46 and Section 663.19 of the "The Professional Land Surveying Practices Act."
  - This is a standard survey and does not include the location or subsurface investigation of underground utility, irrigation and/or gas lines.
  - Building setback lines as per City zoning ordinance.
  - Subject to any oil, gas and mineral lease of record.
  - Bearing Basis: "N. line of Lots 1, 2, 3, Original Townsite of Edinburg"
- Client(s):** Sheriff Muse-Arlyoh

**LEGEND**

- - DENOTES FOUND 1/2" ROD
- - DENOTES SET 1/2" ROD
- - DENOTES NO MONUMENT
- ROW - DENOTES RIGHT OF WAY
- BOC - DENOTES BACK OF CURB

THIS IS TO CERTIFY THAT I HAVE, THIS DATE, PREPARED A SURVEY ON THE GROUND WHICH IS LOCATED AT E. McINTYRE ST., in EDINBURG, TEXAS, DESCRIBED AS FOLLOWS:

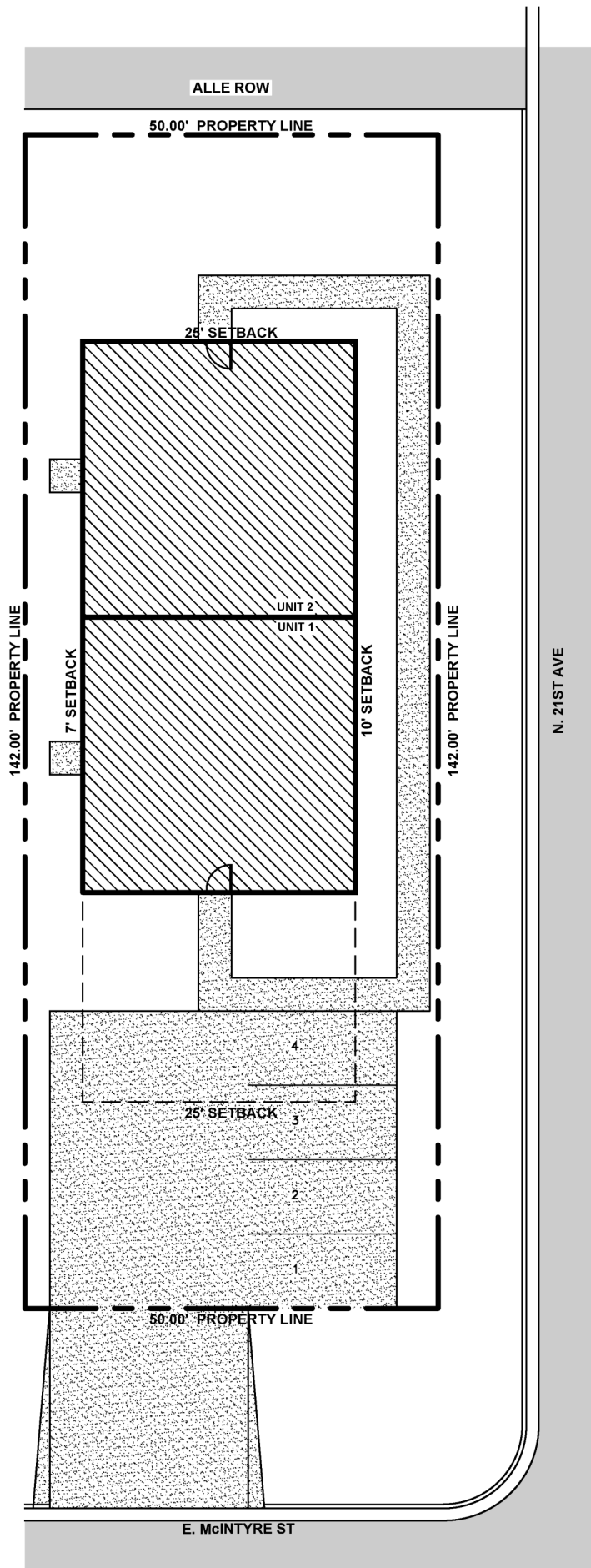
LOTS 1, 2 AND 3, BLOCK 242, ORIGINAL TOWNSITE OF EDINBURG, HIDALGO COUNTY, TEXAS, AS PER MAP OR PLAT THEREOF RECORDED IN VOLUME 1, PAGE 23, MAP RECORDS, HIDALGO COUNTY, TEXAS.

22-63824  
Job No.

09-19-22  
Date

© COPYRIGHT 2022 ART SALINAS ENGINEERING INC. THIS SURVEY WAS PROVIDED IN MULTIPLE ORIGINALS SOLELY FOR THE USE OF THE BORROWER NAMED HEREON. NO LICENSE HAS BEEN CREATED, EXPRESSED OR IMPLIED TO COPY THIS SURVEY.





**NOT SPRINKLERED BUILDING  
1 STORY BUILDING  
2 UNITS TOTAL  
3 BDR APT/FLOOR**





## Rezoning Request Site Photo

**JUAN A. AND DIANA S. HERNANDEZ**

1102, 1106, and 1110 East McIntyre Street





# City of Edinburg

## PLANNING & ZONING COMMISSION

November 8, 2022

### REZONING REQUEST

#### **AGENDA ITEM:**

Consider the Rezoning Request from Urban University (UU) District to Residential, Multifamily and Urban (RM) District, a 4.50 acre tract of land out of the east 155 feet of the west 10 acres of the east 30 acres of Lot 5, Section 273, Texas-Mexican Railway Company's Survey, located at 2021 West University Drive, as requested by Rene Barrera, PE, on behalf of Aaron Herrera A et al.

#### **DESCRIPTION / SCOPE:**

This district is the highest intensity residential district, intended to permit both single and multifamily residential uses and encourage a variety of housing types. The applicant is requesting the change of zone to establish a townhome development at this location.

The property is located on the north side of West University Drive, approximately 265 ft. east of North Jackson Road. The property has approximately 155.01 ft. of frontage on West University Drive and a total area of 4.50 acres. The requested zoning designation is the highest density residential district and allows for single-and multifamily uses on the subject property. The proposed use is unclear, but will likely be a townhome development of some sort.

The property is currently zoned Urban University (UU) District. Adjacent zoning is Urban University (UU) District to the north, Commercial, General (CG) District to the south, Urban University (UU) and Commercial, General (CG) Districts to the east, and Residential, Multifamily and Urban (RM) and Commercial, General (CG) Districts to the west. There is currently a single-family residential structure on the property. The University of Texas Rio Grande Valley (UTRGV) campus is immediately to the north of the property. The future land use designation is for Urban University and General Commercial Uses at this location.

Staff received a Zone Change Application for the subject property on October 6, 2022. The applicant indicated the reason for the zone change was to "Present a Future Condo Regime Family Development" on the subject property. Since that time, different development options have been discussed with a townhome development being the most recent intent expressed by the applicant. Rezoning is required to accommodate a development of townhouses at this location.

Staff mailed a notice of the public hearing to 23 neighboring property owners on Friday, October 28, 2022, and had received no comments in favor or against this request at the time this report was prepared. Notice of this public hearing will be published in the newspaper on November 16, 2022.

#### **ESTIMATED TIMELINE:**

The recommendation of approval or denial of this public hearing is scheduled for consideration by the City Council on December 6, 2022. City Council's decision is the final step in the zoning process for this property. If denied the applicant may not request the proposed zoning classification for a 12 month period from the date of denial.

#### **STAFF RECOMMENDATION:**

Staff recommends approval of the Rezoning Request from Urban University (UU) District to Residential, Multifamily and Urban (RM) District based on adjacent zoning and land uses.

If approved, the applicant will need to comply with all requirements during the permitting process including compliance with subdivision regulations, building/fire codes, fire protection, parking, landscape buffer-yards, solid waste services, utility, and other City requirements, as applicable.

**JUSTIFICATION:**

Staff recommendation is based on adjacent zoning and land uses. This rezoning is in not in keeping with the Future Land Use Plan.

Prepared by:

**D. Austin Colina**

Planner I

Reviewed by:

**Jaime Acevedo**

Director of Planning and Zoning



**MEETING DATES:**  
**PLANNING & ZONING COMMISSION – 11/08/2022**  
**CITY COUNCIL – 12/06/2022**  
**DATE PREPARED – 11/02/2022**

**STAFF REPORT**  
**GENERAL INFORMATION**

**APPLICATION:** Rezoning Request from Urban University (UU) District to Residential, Multifamily and Urban (RM) District

**APPLICANT:** Aaron Herrera A et al.

**AGENT:** Rene Barrera, PE

**LEGAL:** A 4.50 acre tract of land out of the east 155 feet of the west 10 acres of the east 30 acres of Lot 5, Section 273, Texas-Mexican Railway Company's Survey

**LOCATION:** 2021 West University Drive

**LOT/TRACT SIZE:** 4.50 acres

**CURRENT USE:** Single-family residential

**PROPOSED USE:** Multifamily Residential

**EXISTING ZONING:** Urban University (UU) District

**ADJACENT ZONING:** North – Urban University (UU) District  
South – Commercial, General (CG) District  
East – Urban University (UU) and Commercial, General (CG) Districts  
West – Residential, Multifamily and Urban (RM) and Commercial, General (CG) Districts

**LAND USE PLAN:** Urban University and General Commercial

**PUBLIC SERVICES:** City of Edinburg Water and Sewer

**RECOMMENDATION:** Staff recommends approval of the Rezoning Request from Urban University (UU) District to Residential, Multifamily and Urban (RM) District.

**REZONING REQUEST  
AARON HERRERA A ET AL.**

**EVALUATION**

The following is staff's evaluation of the request.

1. The land use pattern for this area is mixed and includes commercial, multifamily, and institutional uses.
2. Rezoning would not be required for apartments or multiplexes at this location.
3. Proximity to UTRGV make this a desirable location for high-density housing.
4. The proposed zoning is in not keeping with the Future Land Use Plan.

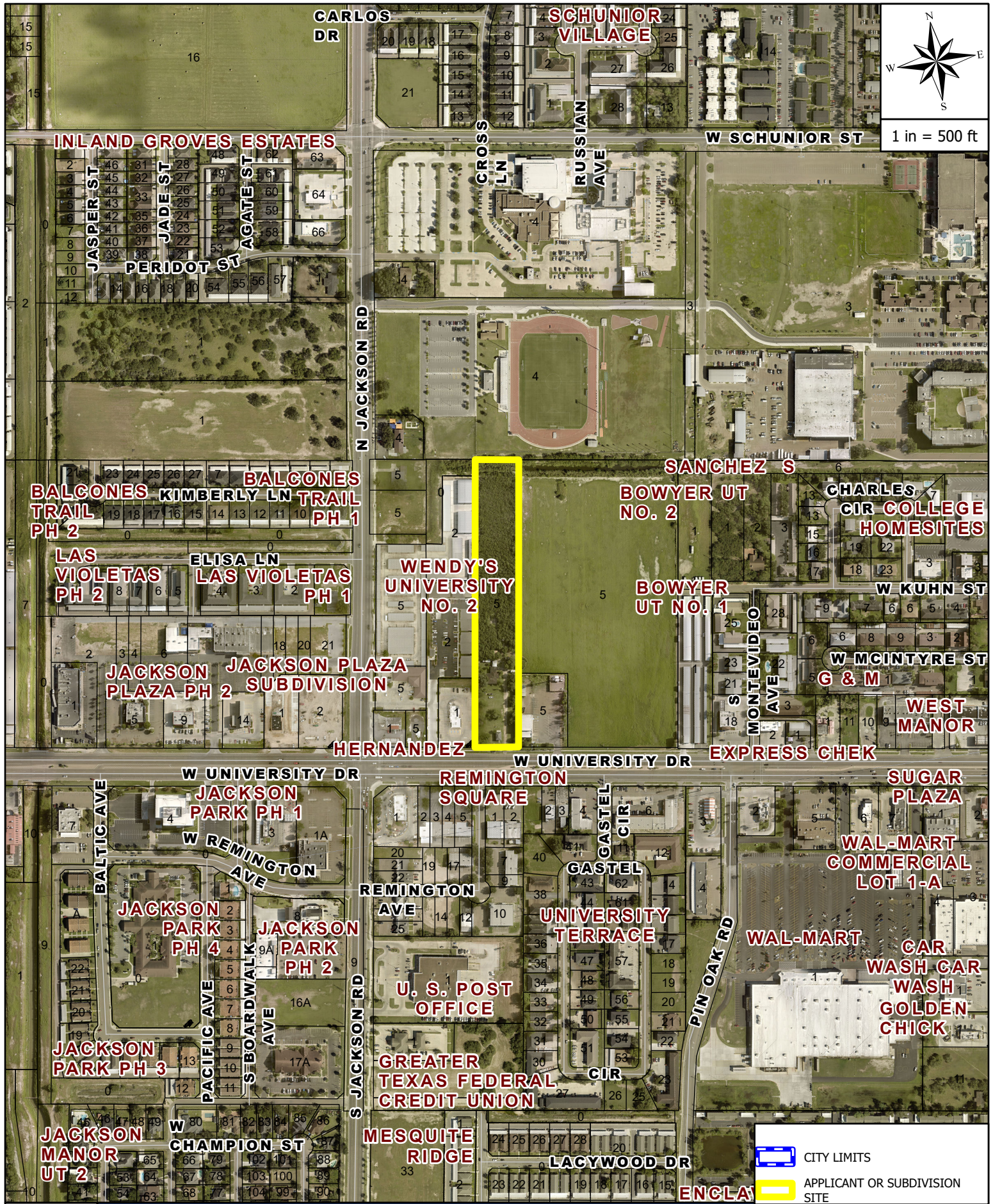
Staff recommends approval of the Rezoning Request from Urban University (UU) District to Residential, Multifamily and Urban (RM) District. A high-density urban residential development should not create a conflict with adjacent uses and would provide a walkable location for university-related housing.

If approved, the applicant will need to comply with all requirements during the permitting process including compliance with subdivision regulations, building and fire codes, fire protection, parking, landscape buffer-yards, solid waste services, utility, and any other City requirements, as applicable.

Staff mailed a notice of the public hearing to 23 neighboring property owners on Friday, October 28, 2022, and had received no comments in favor or against this request at the time this report was prepared. Notice of this public hearing will be published in the newspaper on November 16, 2022.

**ATTACHMENTS:** Aerial Photo  
Site Map  
Zoning Map  
Future Land Use Map  
Photo of Site  
Exhibits





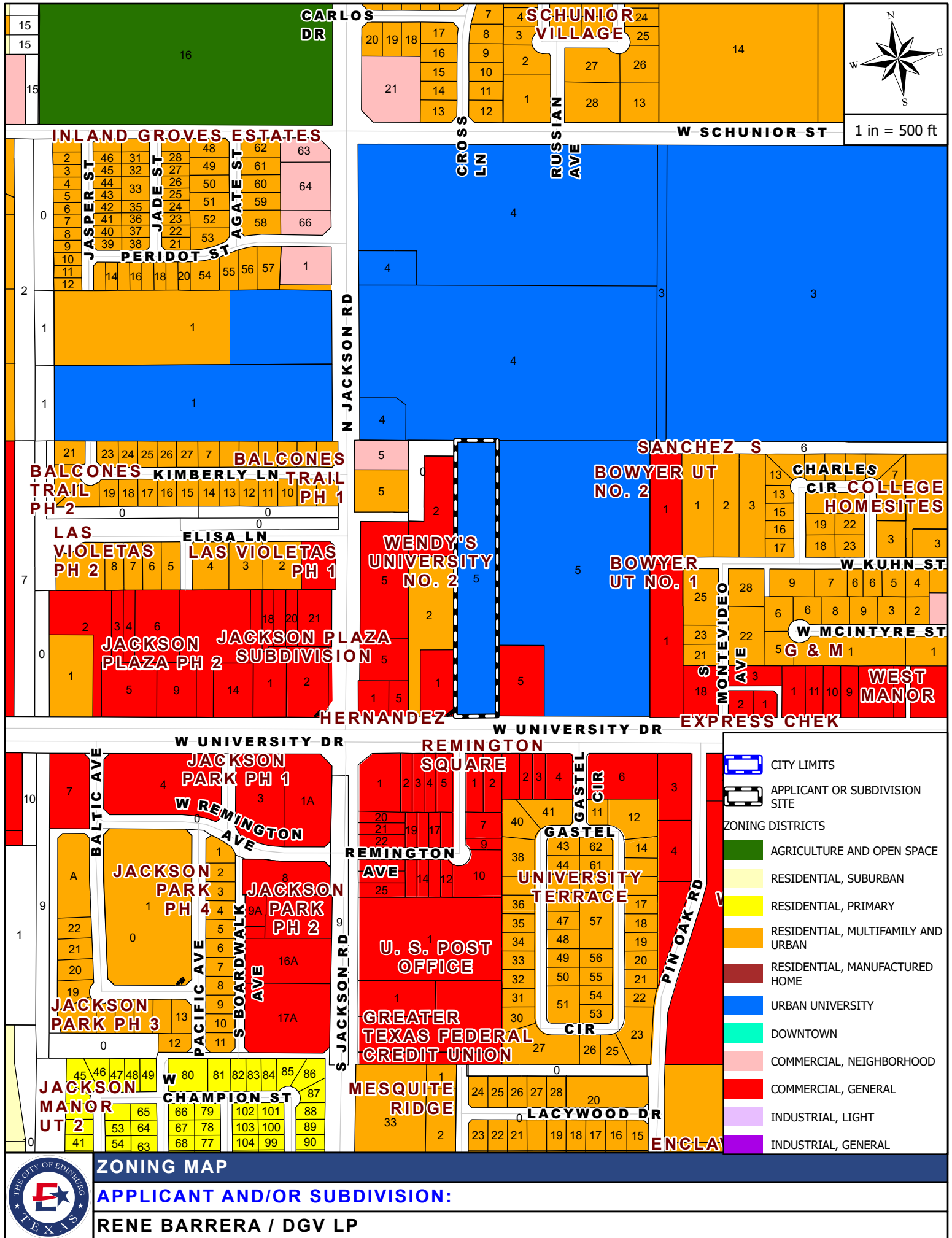
**AERIAL MAP**

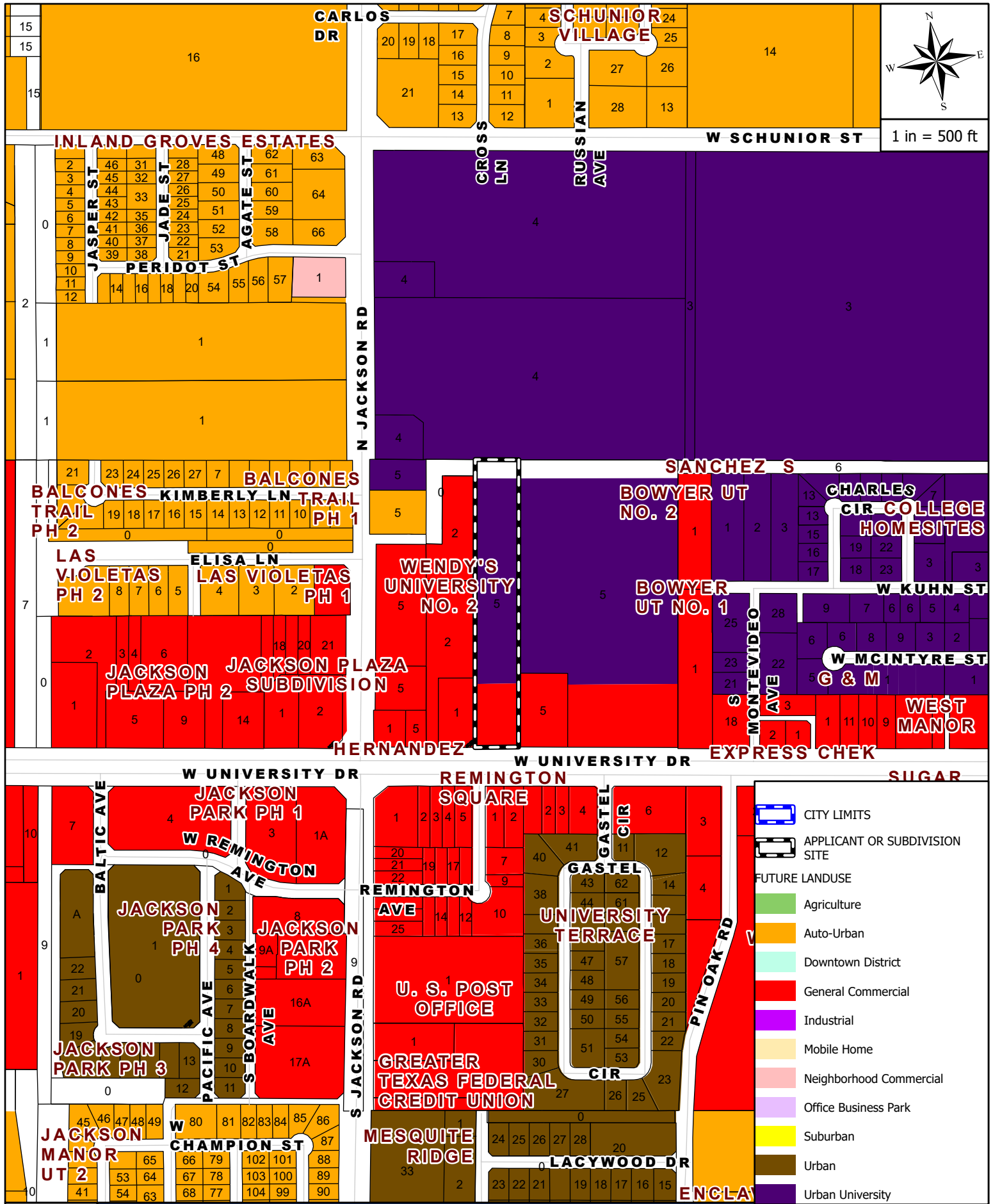
**APPLICANT AND/OR SUBDIVISION:**

**RENE BARRERA / DGV LP**







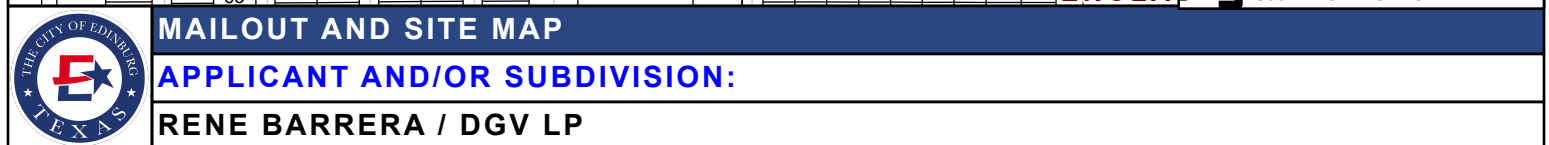


**FUTURE LANDUSE MAP**

**APPLICANT AND/OR SUBDIVISION:**

**RENE BARRERA / DGV LP**







**ZONING CASE  
OWNER NOTIFICATION LIST**

PROPERTY ID: 517590  
VILLARREAL RICARDO RENE  
2116 W UNIVERSITY DR  
EDINBURG, TX 78539

PROPERTY ID: 535402  
ELSIK WAYNE E & DAWN  
PO BOX 954  
EDINBURG, TX 78540

PROPERTY ID: 517591  
EBASEH-ONOF A BENJAMIN  
2112 W UNIVERSITY DR  
EDINBURG, TX 78539

PROPERTY ID: 517589  
MCDONALDS REAL ESTATE  
COMPANY  
DBA DELAWARE MCDONALDS REAL  
ESTATE CO  
1MCDONALDS DR  
OAK BROOK, IL 60523

PROPERTY ID: 517592  
PENA-HERNANDEZ IRMELINDA  
611 NORTH DEPOT RD  
EDINBURG, TX 78541

PROPERTY ID: 310911  
EBASEH- ONOF A BENJAMIN  
2112 W UNIVERSITY DR STE 404  
EDINBURG, TX 78539

PROPERTY ID: 517593  
IPPCO INC  
2101 REMINGTON AVE STE F  
EDINBURG, TX 78539

PROPERTY ID: 188909  
BSV MANAGEMENT GROUP LLC  
1303 IMA ST  
EDINBURG, TX 78539

PROPERTY ID: 535403  
VELA ALEJANDRINA  
1009 DIANA DR  
EDINBURG, TX 78542

PROPERTY ID: 505215  
TREVINO SANDRA & ALONSO JR &  
PETRA SALINAS  
4625 CEDAR AVE  
MCALLEN, TX 78501

PROPERTY ID: 310908  
VALLEY LAUNDROMATS LP  
329 HERON AVE  
MCALLEN, TX 78504

PROPERTY ID: 640228  
NSA PROPERTY HOLDINGS LLC  
ATTN: ACCOUNTING DEPARTMENT  
12655 N CENTRAL EXPRESSWAY  
SUITE 925  
DALLAS, TX 75243

PROPERTY ID: 310909  
VALLEY LAUNDROMATS LP  
329 HERON AVE  
MCALLEN, TX 78504

PROPERTY ID: 310910  
RAMIREZ ARNOLD & PATRICIA A  
1815 OAKS RD  
EDINBURG, TX 78539

PROPERTY ID: 650994  
HIDALGO CO DRAIN DIST #1  
902 N DOOLITTLE RD  
EDINBURG, TX 78542

**ZONING CASE  
OWNER NOTIFICATION LIST**

PROPERTY ID: 297118  
BOCHAT ERIKA E HERRERA ETAL  
PO BOX 1047  
EDINBURG, TX 78540

PROPERTY ID: 1124347  
MALAHIT LLC  
5712 N CYNTHIA COURT  
MCALLEN, TX 78504

PROPERTY ID: 297124  
AMEGIN GEORGE P & EDITH A  
CO - TRUSTEES AMEGIN TRUST  
4610 S MCCOLL RD  
EDINBURG, TX 78539

PROPERTY ID: 297125  
SUBHASH & SAROJINI BOSE LP  
7007 N 1ST LN  
MCALLEN, TX 78504

PROPERTY ID: 297122  
SMITH HAL RICHARD & CHARLES W  
ET AL  
21622 OLEASTER SPRINGS LANE  
RICHMOND, TX 77469

PROPERTY ID: 297112  
QUBBAJ ALA R  
SIMA M JERDANA  
6213 N 8TH ST  
MCALLEN, TX 78504

PROPERTY ID: 297110  
BOARD OF REGENTS OF THE  
UNIVERSITY  
OF TEXAS SYSTEM  
ATTN: REAL ESTATE  
210 W 7TH STREET  
AUSTIN, TX 78701

PROPERTY ID: 1124346  
EMIC PROPERTIES  
PO BOX 1326  
SAUSALTO, CA 94966

**Zone Change Application**ENERGOV CASE # **RZNE-2022-0091**Date: **October 6, 2022**

1. Property Owner (required): **Herrera Aaron a etal BY DGV LI** 2. Phone: **(956) 624-4985**
3. Mailing Address: **3525 W. Freddy Gonzalez Ave, Suite B2**
4. City: **Edinburg** State: **Texas** Zip: **78539**
5. Owner's Email: **c/o rene@big-engineering.com** 6. Cell No. **(956) 624-4985**
7. Agent (not owner): **Rene Barrera, PE** 8. Agent's Phone: **(956) 687-3355**
9. Agent's Mailing Address: **3525 W. Freddy Gonzalez Ave, Suite B2**
10. City: **Edinburg** State: **TX** Zip: **78539**
11. Agent's Email: **rene@big-engineering.com**
12. Address/Location being Rezoned: **2021 W. University Dr.**
13. Legal Description of Property: 14. Property ID(s): **297118**  
**A 4.5 Acre Tract of land ou tof the East 155 feet of the West 10 Acres of the East 30 Acres of Lot 5, Section 273, Texas-Mexican Railway Company's Survey**

15. Zone Change: From: **UU - Urban University**To: **RM - Residential, Multifamily & Urban**

*RM - Residential, multifamily & urban*  
~~RM - Residential, Multifamily & Urban~~  
~~RM - Residential, Multifamily & Urban~~

16. Existing Land Use: **Vacant Residential**17. Reason for Zone Change: **Present a Future Condo Regime Family Development****RECEIVED**

**Parul S. Desai**  
 (Please Print Name)

**PSDesai**  
 Signature

**OCT 06 2022**

Application Fee \$400

RECEIPT NUMBER: \_\_\_\_\_

REVIEWED BY: \_\_\_\_\_

Name: **J. Ayala**

PUBLIC HEARING DATE (PLANNING &amp; ZONING COMMISSION) – 5:30 PM: \_\_\_\_\_

PUBLIC HEARING DATE (CITY COUNCIL) – 6:00 PM: \_\_\_\_\_

**(NOTE: BOTH MEETINGS ARE HELD AT THE EDINBURG CITY COUNCIL CHAMBERS)**



CASE#

## Zone Change Application Requirements

All items are required to be submitted with the application.



ITEM	DESCRIPTION	DATE	INITIALS
1.	Zoning Application	10/6/22	1.2.
2.	Application Fee \$400 (FEE IS NON-REFUNDABLE)	10/6/22	1.2.
3.	Survey*	10/6/22	1.2
4.	Metes & Bounds Description*		
5.	Warranty Deed	Missing/ Not provided	1.2.
6.	Preliminary Site Plan/Sketch	Missing/ Not provided.	1.2
7.	Authorization Letter from Owner (If not owner)	10/6/22	1.2
8.	Special Use Permit (if applicable)		

**\*NOTE:** IF ACREAGE PROPERTY IS INVOLVED, AND/OR REZONING DOES NOT FOLLOW LOT LINES, THEN A SURVEY AND A METES AND BOUNDS DESCRIPTION ARE REQUIRED.

A SITE INSPECTION WILL BE CONDUCTED AS PART OF THE REZONING PROCESS.

### OFFICE USE ONLY

Staff Recommendation	<input type="checkbox"/> Approval	<input type="checkbox"/> Denial
Planning & Zoning	<input type="checkbox"/> Approved	<input type="checkbox"/> Denied
City Council	<input type="checkbox"/> Approved	<input type="checkbox"/> Denied

Case #

Comments:

PABLO SOTO, JR. P.E.

CIVIL ENGINEER & LAND SURVEYOR

1208 S. IRONWOOD, PHARR, TEXAS - 78577  
(TEL) 956-460-1805 (FAX) 956-782-8277

LOT 4, SECTION 273  
TEXAS-MEXICAN RAILWAY COMPANY'S SURVEY,  
VOL. 24, PAGE 168, D.R.H.C.

SCALE: 1"=100'

RIGHT-OF-WAY EASEMENT  
VOL. 1046, PG. 494, D.R.H.C.  
(TO THE CITY OF EDINBURG, TEXAS)

LOT 2  
REPLAT OF LOT 1 WENDY'S UNIVERSITY SUBDIVISION  
INSTRUMENT NO. 2426720, M.R.H.C.

LOT 2  
REPLAT OF LOT 1 WENDY'S UNIVERSITY SUBDIVISION No. 2  
INSTRUMENT NO. 2777479, M.R.H.C.

LOT 5, SECTION 273  
TEXAS-MEXICAN RAILWAY COMPANY'S SURVEY,  
VOL. 24, PAGE 168, D.R.H.C.

3.92 AC. NET

OWNER: BOARD OF REGENTS OF THE UNIVERSITY OF TEXAS SYSTEM  
DOC. # 2006-1570099, SPECIAL WARRANTY DEED

OWNER: GEORGE AMEGIN & WIFE EDITH AMEGIN  
DOC. # 782233, OFFICIAL RECORDS

P.O.C.  
N.E.C. OF LOT 1  
"REPLAT OF LOT 1 WENDY'S  
UNIVERSITY SUBD. No. 2"  
FD. 1/2" IRON ROD  
N 16636285.0510  
E 1087506.5360

P.O.B.

UNIVERSITY DRIVE (S.H. 107)  
S 83°36'48" E  
15.43'

0.34 AC.  
STATE OF TEXAS R.O.W.  
VOL. 1039, PG. 563, D.R.H.C.

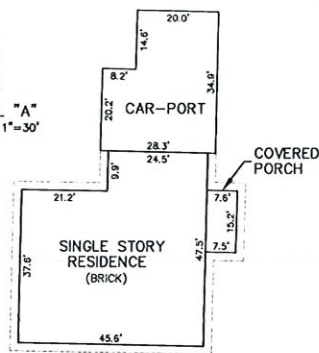
LEGEND

- - FD. 1/2" IRON ROD
- - FD. FENCE CORNER POST
- - SET 1/2" IRON ROD
- ⊗ - WATER METER
- ⊕ - FIRE HYDRANT
- X- - WIRE FENCE

JOB NUMBER

SUR 22 114

DETAIL "A"  
SCALE: 1"=30'



1. BASIS OF BEARING: ARE BASED ON THE TEXAS STATE PLANE GRID COORDINATE SYSTEM; NAD 83, TEXAS SOUTH ZONE (FIPS 4205) US FEET.
2. THIS SURVEY WAS PREPARED WITH THE BENEFIT OF TITLE RESOURCES GUARANTY COMPANY, OF No. 945190, EFFECTIVE DATE: JULY 15, 2022, ISSUED JULY 26, 2022, 12:00 AM. ONLY EASEMENTS AND DOCUMENTS LISTED IN ITEM 10 OF SCHEDULE B WERE ANALYZED IN PREPARATION OF THIS SURVEY.
- 10N. EASEMENT AND RIGHT OF WAY DATED OCTOBER 3, 1947, RECORDED IN VOLUME 633, PAGE 380, DEED RECORDS, HIDALGO COUNTY, TEXAS. (NOT PLOTTED)
- 10L EASEMENT AND/OR OTHER RIGHTS, IF ANY, AS SET FORTH IN INSTRUMENT DATED OCTOBER 29, 1962, RECORDED IN VOLUME 1046, PAGE 494, DEED RECORDS, HIDALGO COUNTY, TEXAS. (PLOTTED)
- 10I EASEMENT AND/OR OTHER RIGHTS, IF ANY, AS SET FORTH IN INSTRUMENT DATED DECEMBER 31, 1962, RECORDED IN VOLUME 1051, PAGE 327, DEED RECORDS, HIDALGO COUNTY, TEXAS. (PLOTTED)
- 10K. EASEMENT AND RIGHT OF WAY DATED SEPTEMBER 27, 1968, RECORDED IN VOLUME 1215, PAGE 916, DEED RECORDS, OFFICIAL COUNTY, TEXAS. (NOT PLOTTED)

PLAT SHOWING

A 4.50 ACRE TRACT OF LAND, OUT OF THE EAST 155 FEET OF THE WEST 10 ACRES OF THE EAST 30 ACRES OF LOT 5, SECTION 273, TEXAS-MEXICAN RAILWAY COMPANY'S SURVEY, HIDALGO COUNTY, TEXAS, AS PER MAP OR PLAT THEREOF RECORDED IN VOLUME 24, PAGE 168, DEED RECORDS, HIDALGO COUNTY, TEXAS.

SAVE AND EXCEPT (0.062 AC.) THE SOUTH 399 FEET OF THE EAST 8.963 FEET OF THE WEST 10 ACRES OF THE EAST 30 ACRES OF LOT 5, SECTION 273, TEXAS-MEXICAN RAILWAY COMPANY'S SURVEY, HIDALGO COUNTY, TEXAS, AS PER MAP OR PLAT THEREOF RECORDED IN VOLUME 24, PAGES 168-171, DEED RECORDS, HIDALGO COUNTY, TEXAS; AND

SAVE AND EXCEPT (0.34 AC.) THAT PORTION OF PROPERTY LYING IN HIGHWAY RIGHT-OF-WAY AS DESCRIBED IN VOLUME 1039, PAGE 563, DEED RECORDS, HIDALGO COUNTY, TEXAS.

SAVE AND EXCEPT (0.18 AC.) THAT PORTION OF PROPERTY LYING IN CITY OF EDINBURG RIGHT-OF-WAY EASEMENT AS DESCRIBED IN VOLUME 1046, PAGE 494, DEED RECORDS, HIDALGO COUNTY, TEXAS.

PROPERTY ADDRESS: 2021 W. UNIVERSITY DR.  
EDINBURG, TEXAS 78540

SURVEYED: AUGUST 15, 2022

PROPOSED INSURED: DGV LP

FLOOD ZONE DESIGNATION: ZONE "X" SHADED  
COMMUNITY-PANEL NUMBER: 480338 0015 E  
EFFECTIVE DATE: JUNE 6, 2000  
REVISED TO REFLECT LOMR: 12/16/2003

RECEIVED

OCT 06 2022

I, PABLO SOTO, JR., STATE THAT  
THE ABOVE PLAT IS AN ACTUAL  
SURVEY MADE ON THE GROUND UNDER  
MY SUPERVISION AND THAT THERE ARE NO  
VISIBLE EASEMENTS OR ENCROACHMENTS  
EXCEPT AS SHOWN AND THAT ALL CORNERS  
HAVE BEEN LOCATED AS INDICATED.

Name: \_\_\_\_\_

PABLO SOTO, JR. DATE  
REGISTERED PROFESSIONAL LAND SURVEYOR NO. 4541





## Rezoning Request Site Photo

**AARON HERRERA A ET AL.**

2021 West University Drive





**City of Edinburg**  
**PLANNING & ZONING COMMISSION**  
Regular Meeting: 11/08/2022

— SUBDIVISION VARIANCE —  
**MONTE SINAI SUBDIVISION**

**Agenda Item:** Consider Variance Request to the City's Unified Development Code Section 5.211 Water Rights and Cost Participation for Monte Sinai Subdivision, having a 5.1 acre tract of land out of Lot 5, Whittenburg & Looney Subdivision, located at 6822 Barb Mar Lane, as requested by Yazmin V. Limon De Hoyos.

**Description/Scope:** The property is located on the east side of Barb Mar Lane, approximately 1,500 ft. north of Aurora Road and is in the City of Edinburg's Extra-Territorial Jurisdiction. The 5.1 acre tract is currently the location of one single family home. The proposed subdivision is for a single-family residential development with two (2) lots averaging approximately 2.55 acres per lot. Yazmin V. Limon De Hoyos is requesting a variance to the City's Unified Development Code (UDC) for the aforementioned subdivision.

**Variance Request: 5.211, Water Rights and Cost Participation**

This Variance Request is to reduce or forego the fees associated with The City of Edinburg's Certificate of Convenience and Necessity (CCN) water rights. UDC Section 5.211A requires a fee for water rights, calculated by the acreage of the property should the water be a part of The City of Edinburg's CCN. The estimated cost for this property's water right's fee is \$19,387.42. The current per acre cost of water rights is \$3,445. The total cost is based on net acreage and is broken down \$18,137.42 for water rights and \$1,300 for two (2) 30-year letters.

**Staff's Recommendation:** Staff recommends denial of the variance. The proposed subdivision is within the city's utility service area. The city relies on the fees paid for by water right's fees to maintain water treatment facilities.

Prepared By:  
**Adan A. Elizondo, MPA**  
Planner I

Approved By:  
**Jaime Acevedo**  
Planning and Zoning Director

**Attachments:**  
Unified Development Code  
Aerial Photo  
Site Map  
Subdivision Plat & Reduced  
Application  
Cost Estimate

## Sec. 5.211, Water Rights and Cost Participation

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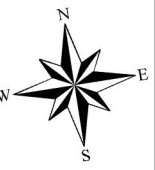
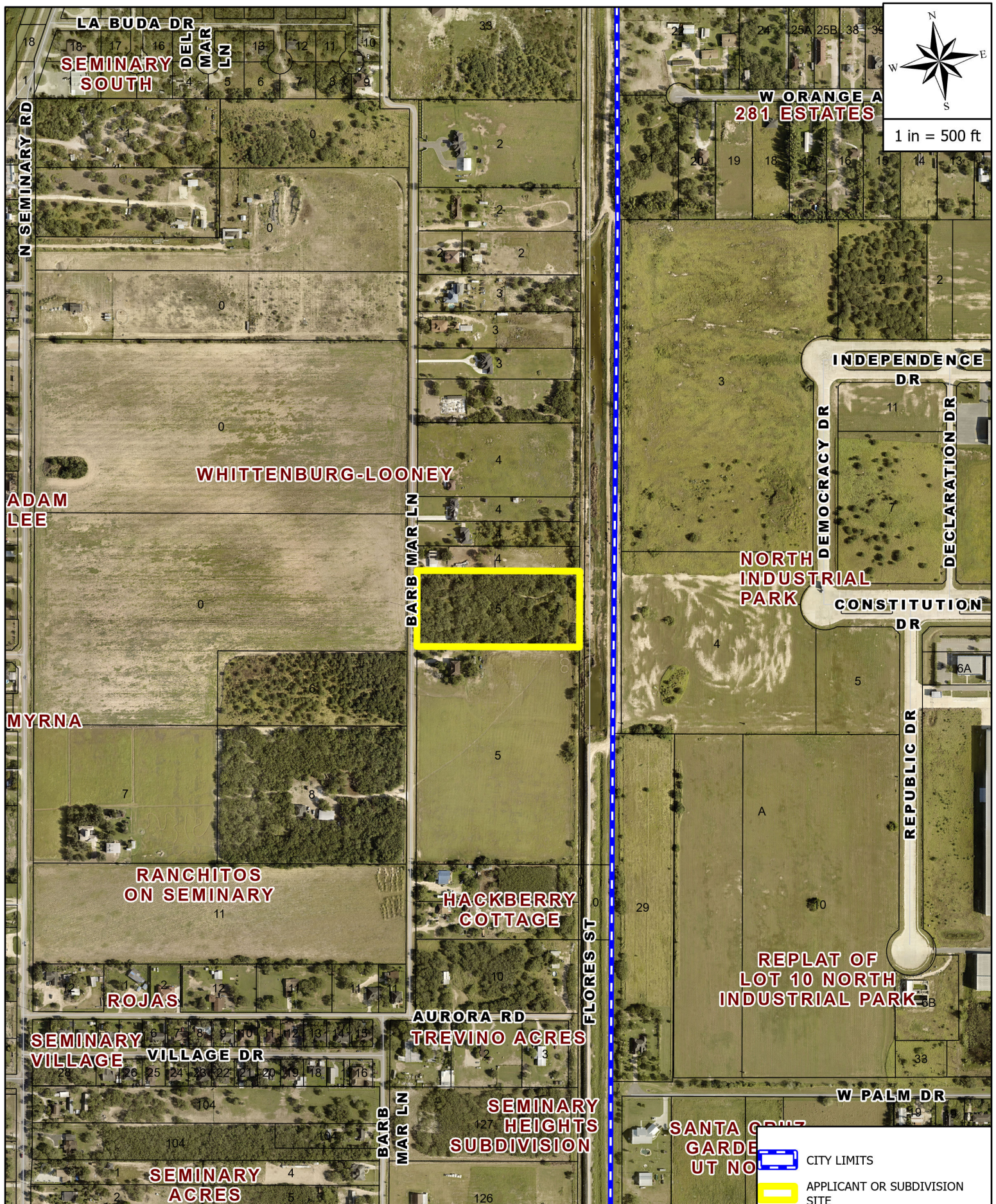
### A. Water Rights.

1. *General.* Parcels proposed for development that are to be served with potable water by the City shall dedicate their water rights to the city.
2. *Property Within the Jurisdiction of Water or Irrigation Districts or Authorities.*
  - a. This subsection applies to properties that are both:
    - i. Proposed to be served with potable water by the City; and
    - ii. Located in a district or authority created under Texas Const. Art. III, § 52(b)(1) and (2), or Texas Const. Art. XVI, § 59, which are now existing or hereafter created for the principal purpose of, or principally engaged in, furnishing water for the irrigation of agricultural lands and within the Extraterritorial Jurisdiction or the City limits.
  - b. Prior to plat approval, the owner of property described in Subsection 2.a., shall :
    - i. Execute proper documents with the corresponding district or authority to:
      1. Exclude such property from the district or authority; and
      2. Convert and transfer ownership of the water rights attributable to such property to the City in the amount of one acre-foot of Class A water right for every gross acre developed; and
    - ii. Pay to such district or authority:
      1. All taxes, assessments, and other lawful charges of the district or authority that have accrued on the property, together with all lawful interest and penalties accrued on those taxes, assessments and charges; and
      2. The proportionate part of the outstanding bonded indebtedness or indebtedness in connection with a loan from an authorized agency of the United States for which the property is liable, as determined by Tex. Rev. Civ. Stat. Art. 973c, as amended.

### B. Responsibility for Payment of On-Site and Off-Site Installation Costs.

1. *General.* Water and sewer installations necessary to provide adequate and appropriate service to subdivisions developed under the terms of this Code shall be constructed by the applicant and shall comply with the City's [Engineering Standards Manual](#).
2. *Contributions to Construction of Off-Site Water Lines.* The cost of the off-site water service to the subdivision shall be an amount equal to the installed cost, including all labor, ditching, engineering and material, of line, fire hydrants, valves, fittings and other appurtenances necessary to furnish water service to the subdivision; provided, however, that if any part of such water line is required to be larger than that necessary to serve the subdivision, in order to provide the service deemed necessary by the City within the subdivision and elsewhere in the City water system, the City shall pay for the pipe in excess of the size required of the developer as soon as funds can be made available. The City may only consider reimbursement for oversizing costs for pipe sizes in excess of 12-inches in diameter.
3. *Contributions to Construction of Off-Site Sewer Lines.* The subdivider's contribution to the cost of the off-site sewer service to the subdivision shall be equal to the installed cost, including all labor, ditching, engineering and material, of lines, lift stations, manholes and appurtenances necessary to furnish sewer service to the subdivision; provided, however, that if any part of such sewer lines is required to be larger than that necessary to serve the subdivision, in order to provide the service deemed necessary by the City, within the subdivision and elsewhere in the City sewer system, the City may, providing funds are available, pay for the pipe in excess of the size required of the developer. The City may only consider reimbursement for oversizing costs for pipe sizes in excess of 12-inches in diameter.
4. *Utility Reimbursement Policy.* The City or developers incurring the original cost for off-site utilities improvements shall





1 in = 500 ft

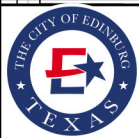
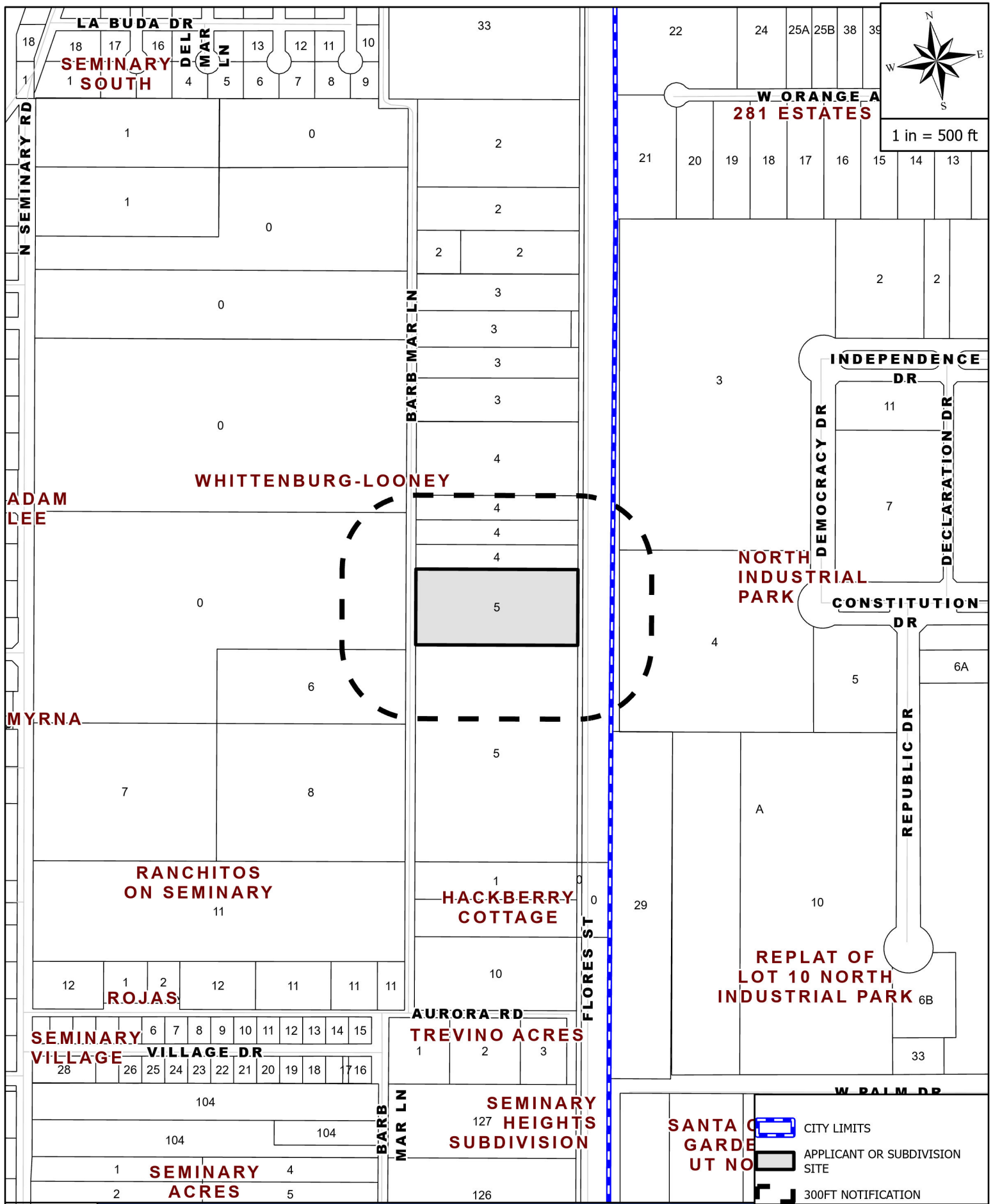


**AERIAL MAP**

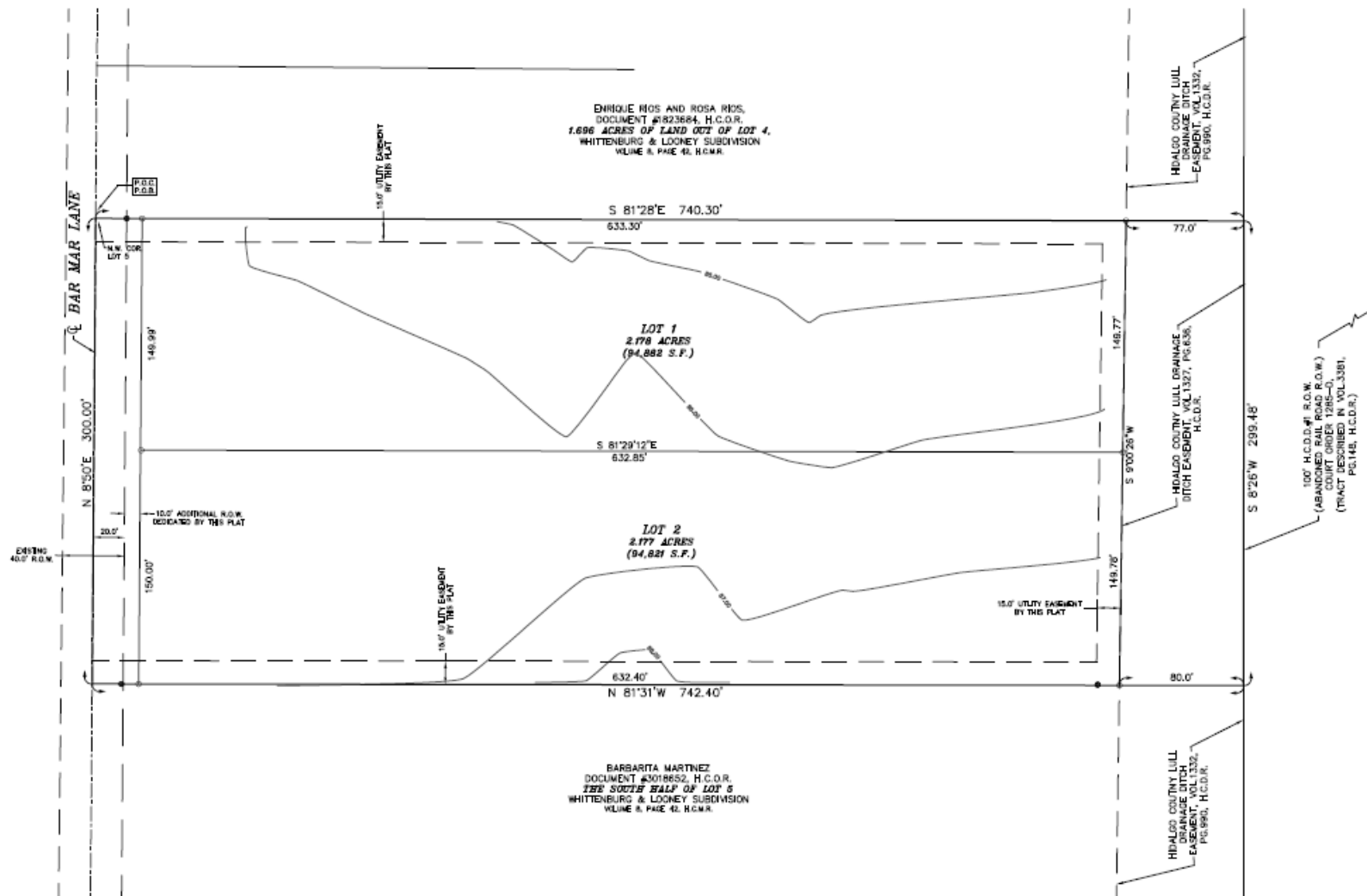
**APPLICANT AND/OR SUBDIVISION:**

**YAZMIN LIMON DE HOYOS**





**MAILOUT AND SITE MAP**  
**APPLICANT AND/OR SUBDIVISION:**  
**YAZMIN LIMON DE HOYOS**





Case # **VAP-2022-0134**

**Edinburg**  
THE CITY OF

Planning & Zoning Department  
415 W. University Drive  
Edinburg, Texas 78539  
(956) 388-8202

## Subdivision Appeals / Variance Application

Submittal Date: 10/4/22

**Legal Description:**

5.1 acres, being the north half of Lot 5, Whittenburg-Looney Subdivision, Hidalgo County, Texas

**Variance Requested (Identify section of code for which variance is being requested):**

**5.211 Water Rights and Cost Participation**

The water rights fee is being requested to be waived or reduced for the one new residential service connection.

**Reason for Request:**

The property is being divided into two single family residential lots. There is one new service connection being requested and one existing service connection. The water rights cost is being based on the entire acreage of 5.1 acres however only one new residential meter is being requested.

**Yazmin V. Limon De Hoyos**

Property Owner (Print legibly or type)

**6511 Soledad Drive**

Address

**Edinburg, Texas 78541**

City, State, Zip

**(956) 521-9938**

Telephone

**mazda1.8xbox956@hotmail.com**

Email address

*Yazmin De Hoyos*

Signature

**same**

Applicant / Agent (Print legibly or type)

Address

City, State, Zip

Telephone

Email address

Signature

\$450 Application Fee: M.O. # 58209916.

Received By:

*Adan Elizondo*

**RECEIVED**

OCT 04 2022

Name: \_\_\_\_\_



**SUBDIVISION WITHIN CITY LIMITS CHECK LIST  
SUBDIVISION PROCESS**
**MINOR PLAT PRELIMINARY STAGE**

PLANNING &amp; ZONING DEPARTMENT (956) 388-8202

 Date : **August 5, 2022**

Date Filed: <b>April 20, 2022</b>	P&Z Preliminary: <b>May 10, 2022</b>	P&Z Final: _____	City Council: _____
Reviewed By: <b>Abel Beltran, Subd. Coord.</b> <a href="mailto:abeltran@cityofedinburg.com">abeltran@cityofedinburg.com</a>	Staff Review : <b>April 21, 2022</b> Staff / Engineer : <b>April 28, 2022</b>	Time Line : <b>365</b> Days 1st Extension : <b>0</b> Days 2nd Extension : <b>0</b> Days	Expires : _____ Expires 1: _____ Expires 2: _____

Planning & Zoning Department:	Jaime Acevedo, Planning Director	Email : <a href="mailto:jacevedo@cityofedinburg.com">jacevedo@cityofedinburg.com</a>	City Office #: (956) 388-8202
Director of Utilities	Gerardo Carmona, P.E.	Email : <a href="mailto:gcarmona@cityofedinburg.com">gcarmona@cityofedinburg.com</a>	City Office #: (956) 388-8212
Director of Public Works	Vincent Romero,	Email : <a href="mailto:layala@cityofedinburg.com">layala@cityofedinburg.com</a>	City Office #: (956) 388-8210
Director of Engineering	Mardoqueo Hinojosa, P.E., CPM	Email : <a href="mailto:mhinojosa@cityofedinburg.com">mhinojosa@cityofedinburg.com</a>	City Office #: (956) 388-8211

Owner:	Yazmin Limon De Hoyos, Owner	6511 Soledad Drive, Edinburg, Texas 78542	Reynaldo Robles, Jr., P.E., Project Engineer			
MONTE SINAI SUBDIVISION				Consultant : ROBLES ENGINEERING, LLC.		
DESCRIPTION	Provided	Need to Provide	Not Applicable	Need to Revise	COMMENTS	

**Subdivision Process:**

Subdivision Plat Submittal	✓				
Warranty Deed	✓				
Topography Survey	✓				
Drainage Report Submittal (As Per City Drainage Policy)	✓				Approved by H.C.D.D.#1 Date: Pending Approval
Zoning : City Limits - Commercial General	✓				
Flood Zone	✓				Zone "X" (Shaded), Panel #480334 0325 D Revised 5/17/2001

**Preliminary Submittals:**

Existing & Proposed Water Distribution Layout	✓				City of Edinburg Water Distribution System
Water Distribution System Provider:	✓				City of Edinburg Water Distribution System
Existing & Proposed Sewer Collection Layout	✓				County of Hidalgo O.S.S.F., (On-Site Sewage Facility)
Sanitary Sewer Collection System Provider:	✓				County of Hidalgo O.S.S.F., (On-Site Sewage Facility)
Existing and Proposed Drainage Layout System:	✓				Private Drainage System onto H.C.D.D. # 1
MPO Collector / Arterial Right-of-way Dedication (60-ft ROW)		✓			Proposed Public Street
Minor / Major Collector Street Pavement Section (43-ft B-B)		✓			In Accordance to Standard Street Policy
Variances Appeals Request:			✓		Planning & Zoning Meeting Results City Council Meeting
Street Widening Improvements (Barb Mar Lane)	✓				
Street 5-ft Sidewalk Improvements (Barb Mar Lane)		✓			
Drainage Improvements		✓			

**Construction Plans Review Submittals:**

(See Section 4 Construction Plans Submittals Policy, 2014 STANDARD POLICY MANUAL)

Cover Sheet	✓				
Topography Sheet (Utilities, Bench Marks)	✓				
Sanitary Sewer Improvements: On-Site & Off-Site			✓		City of Edinburg Sanitary Sewer Supply Standard Policy's
Sanitary Sewer Detail Sheets			✓		See Section 3 Utility Policy, 2014 Standard Policy Manual
Water Distribution Improvements: On-Site & Off-Site	✓				City of Edinburg Water Supply Standard Policy's
Water Distribution Detail Sheet (Fire Hydrant Assembly)			✓		See Section 3 Utility Policy, 2014 Standard Policy Manual
Drainage Improvements:			✓		
Drainage Detail Sheets			✓		See Section 1 Drainage Policy, 2014 Standard Policy Manual
Minor/Major Collector Streets Improvements:			✓		See Section 2 Streets Policy, 2014 Standard Policy Manual
Street Sign Sheet:			✓		
Street Detail Sheets			✓		See Section 2 Streets Policy, 2014 Standard Policy Manual
Street Lighting Sheet:			✓		
Traffic Control Plan:			✓		
Erosion Control Plan			✓		
Erosion Control Plan Detail Sheet			✓		See Storm Water Management, 2014 Standard Policy Manual

DESCRIPTION	Provided	Need to Provide	Not Applicable	Need to Revise	COMMENTS
<b>Pre-Construction Meeting:</b>					
Notice To Proceed			✓		Dated:
Roadway Open-Cut or Bore Permit Application			✓		Dated:
TX-Dot Water UIR Permit			✓		
TX-Dot Sewer UIR Permit			✓		
N.O.I. Submittal			✓		Dated:
SWPP Booklet Submittal			✓		Dated:
RFI #1 Request			✓		Dated:
Change Orders			✓		Dated:
Final Walk Though			✓		Dated:
Punch List			✓		Dated:
Punch List (Completed and Approved)			✓		Dated:
Letter of Acceptance			✓		Dated:
1-year Guarantee (Water/Sewer/Paving/Drainage)			✓		Dated:
Backfill Testing Results			✓		Dated:
As-Builts (Revised Original Submittal)			✓		Dated:
<b>Recording Process:</b>					
Public Improvements with (Letter of Credit)					Dated: Expires:
Recording Fees	\$ 106.00	✓			As required by County Clerks office
Copy of H.C.D.D. #1 of invoice	\$ 250.00	✓			Required to be paid prior to Final Stages
Street Escrow -Bar-Mar Drive (43-ft. B-B)	\$ 15,085.67	✓			Required: 2 EA. @ \$ 7,542.84
Street Escrow - (0-ft B-B)	\$ -		✓		Required: 0 EA. @ \$ -
Sidewalk / ADA Ramp Escrow (5-ft):	\$ 6,900.00	✓			Required: 276 LF @ \$ 25.00
TOTAL OF ESCROWS:	\$ 21,985.67				
Total Developer's Construction Cost: (Letter of Credit)					Date : Lender :
Laboratory Testing Fee: 3%	\$ -	✓			\$ - Estimated Construction Cost
Inspection Fee: 2%	\$ -	✓			\$ - Final Construction Cost
Park Land Fees: Park Zone # 3	\$ 600.00	✓			2 Lots @ \$ 300.00 Full rate within the ETJ
0 Residential \$ 300.00	\$ -		✓		50% Development 50% Building Stage
0 Multi-Family \$ -	\$ -		✓		0% Development 0% Building Stage
Water Rights: COE - CCN	\$ 18,137.42	✓			5.26 Acres \$ 3,445.00
Water 30-year Letter (Residential)	\$ 650.00	✓			2 Lots @ \$ 325.00 COE - CCN
Water 30-year Letter (Multi-Family)	\$ -				0 Lots @ \$ -
Sewer 30-year Letter COE - CCN	\$ -	✓			0 Lots @ \$ - COE - CCN
TOTAL OF FEES:	\$ 19,387.42				
<b>Reimbursements:</b>					
Developer Sewer Improvements	\$ -		✓		Off-Site System: 0.000 AC \$ -
Developer Water Improvements	\$ -		✓		Off-Site System 0.00 AC \$ -
TOTAL OF REINBURSEMENTS:	\$ -				
<b>Buyouts:</b>					
North Alamo Water Supply Corporation	\$ -		✓		Required Buyout 0.00 AC. \$ -
Sharyland Water Supply Corporation			✓		Not Applicable
<b>Tax Certificates</b>					
County of Hidalgo / School District		✓			
Water District		✓			Hidalgo County Irrigation District # 1
<b>Total of Escrows, Fees, Reimbursements and Buyouts:</b>					
Escrows	\$ 21,985.67				Street & Sidewalk Improvements for BarTrenton Road (Not Required)
Inspections other Fees	\$ 19,387.42				Parkland Fees, Water/Sewer 30-year Agreement/Water Rights
Reimbursements	\$ -				Reimbursement to the Developer of <b>Subdivision</b>
City of Edinburg	\$ -				15% Payable to the City of Edinburg for Administrative Fee
To the Developer of Record	\$ -				85% Payable to the Developer of Record Owner / Developer
Buyouts	\$ -				Based on Subdivision (Need Request and Approval rate from ? Broad)
TOTAL :	\$ 41,373.09				Developer Total Cost of Fees, Escrows, Reimbursements & Buyouts

**City of Edinburg**  
**PLANNING & ZONING COMMISSION**  
Regular Meeting: 11/08/2022

**— SUBDIVISION VARIANCE —**  
**LAS MAGNOLIAS SUBDIVISION**

1. **Agenda Item:** Consider Variance Request to the City's Unified Development Code: 1) Section 5.203-1 Right-of-Way Widths & Paving Width 2 for Las Magnolias Subdivision, being a 9.11 acre tract of land out of a part or portion of Lot 13, Section 239, Texas-Mexican Railway Company's Survey, located at 4001 South Veterans Road, as requested by CLH Engineering, Inc.
2. **Description/Scope** The property is located on the west side of South ("I" Road) Veterans Road and north of East Trenton Road, and is within the City of Edinburg's city limits being on the east side of I-69C Interstate, north of Trenton Road. The 9.11 acre tract is currently vacant. The Preliminary Plat is proposed as a multi-family development with a total of 35-lots that average 8,100.00 square feet. CLH Engineering, on behalf of the developer, is requesting a variance to the City's Unified Development Code (UDC) for the aforementioned subdivision.

**Variance Request: 5.203-1 Right-of-Way Widths & Paving Width**

This Variance Request is to both the required right-of-way (ROW) width and street widths for the interior streets for this subdivision. UDC Section 5.203-1 requires 60 ft. of ROW and 43 ft. of back-to-back paving for multi-family subdivisions. The developer is proposing to dedicate 50 ft. of ROW and provide the required 43 ft. of back-to-back paving for this subdivision, which is a 16.67% reduction of the ROW. The developer is also proposing to dedicate 10 ft. utility easements along all rear property lines.

3. **Staff's Recommendation:** Staff recommends approval of the variance. Similar variances have been granted in the past, with the condition that the developer provide sidewalks at permitting and a 10 ft. easement. These additional measures mitigate most right of way width concerns.

Prepared By:  
**Adan A. Elizondo, MPA**  
Planner I

Approved By:  
**Jaime Acevedo**  
Planning and Zoning Director

**Attachments:**  
Unified Development Code Exhibit  
Aerial Photo  
Site Map  
Subdivision Plat& Reduced  
Application



## UDC Exhibit

**Sec. 5.203, Streets Cross Sections**

**A. Right-of-Way and Pavement Widths.** Rights-of-way shall conform to those set out in Table 5.203-1, *Right-of-Way Widths*, and as generally depicted in Figure 5.203-1, *Sample Right-of-Way Cross-Section*.

**B. Adjustments.** The City shall, where feasible, require the street's design to minimize the disturbance of natural resources, including floodplains. Where additional right-of-way is needed to obtain vertical curve, grade, clear sight triangles, turn lanes, or medians, the required right-of-way shall be adjusted to the extent necessary in accordance with local needs as determined by the Planning and Engineering Departments.

**C. Half Streets Prohibited.** No half-streets shall be permitted in new subdivision plats.

**Table 5.203-1**  
**Right-of-Way Widths<sup>1</sup>**

Road Classification	Minimum Right-of-Way Width Required (A)	Minimum Pavement Width Required <sup>2</sup> (B)	Lanes (C)	Sidewalks (width and sides of street) (D)
Principal Arterial	120 feet	81 feet	5 including center	5 feet / Both
Minor Arterial	100 feet	64 feet	5 including center	5 feet / Both
Collector	80 feet	57 feet	3 including center	5 feet / Both
Residential Collector <sup>3</sup>	60 feet	43 feet	2	5 feet / Both
Minor Street	50 feet / 60 feet	32 feet / 36 feet	2	5 feet / Both
Alleys	20 feet	18 feet	--	--

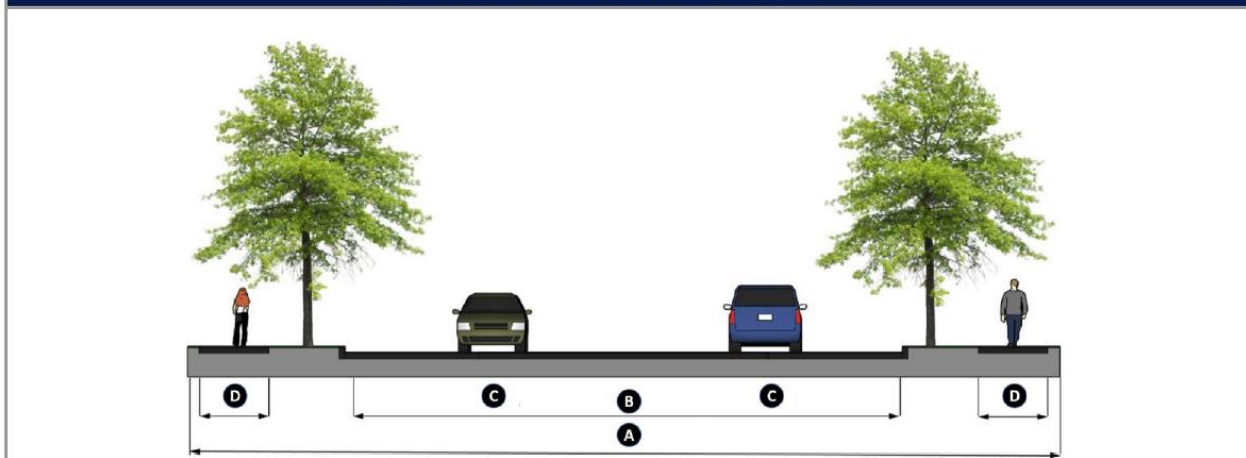
**TABLE NOTES:**

<sup>1</sup>Refer to the City Standards Manual [Street Details](#) for more information.

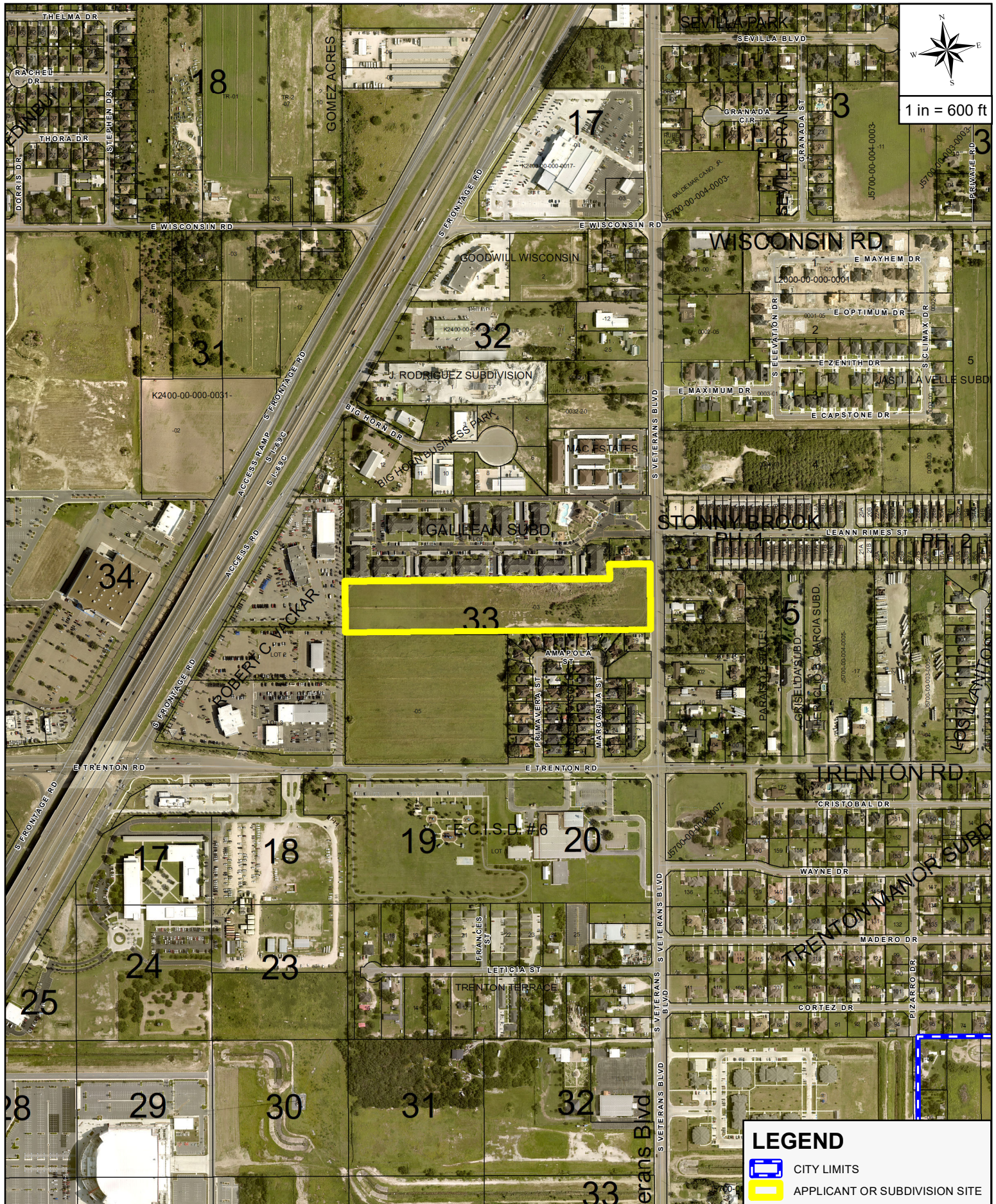
<sup>2</sup>From back-of-curb to back-of-curb.

<sup>3</sup>Multi-family subdivisions shall be required to comply with residential collector street standards except that internal streets may have a minimum right-of-way width of 50 feet, a minimum pavement width of 40 feet, and shall require easements that are 10 feet in width on both sides of the street for utilities and sidewalks. Streets on the perimeter of the development are not eligible for this reduction.



**Figure 5.203-1**  
**Sample Right-of-Way Cross-Section**



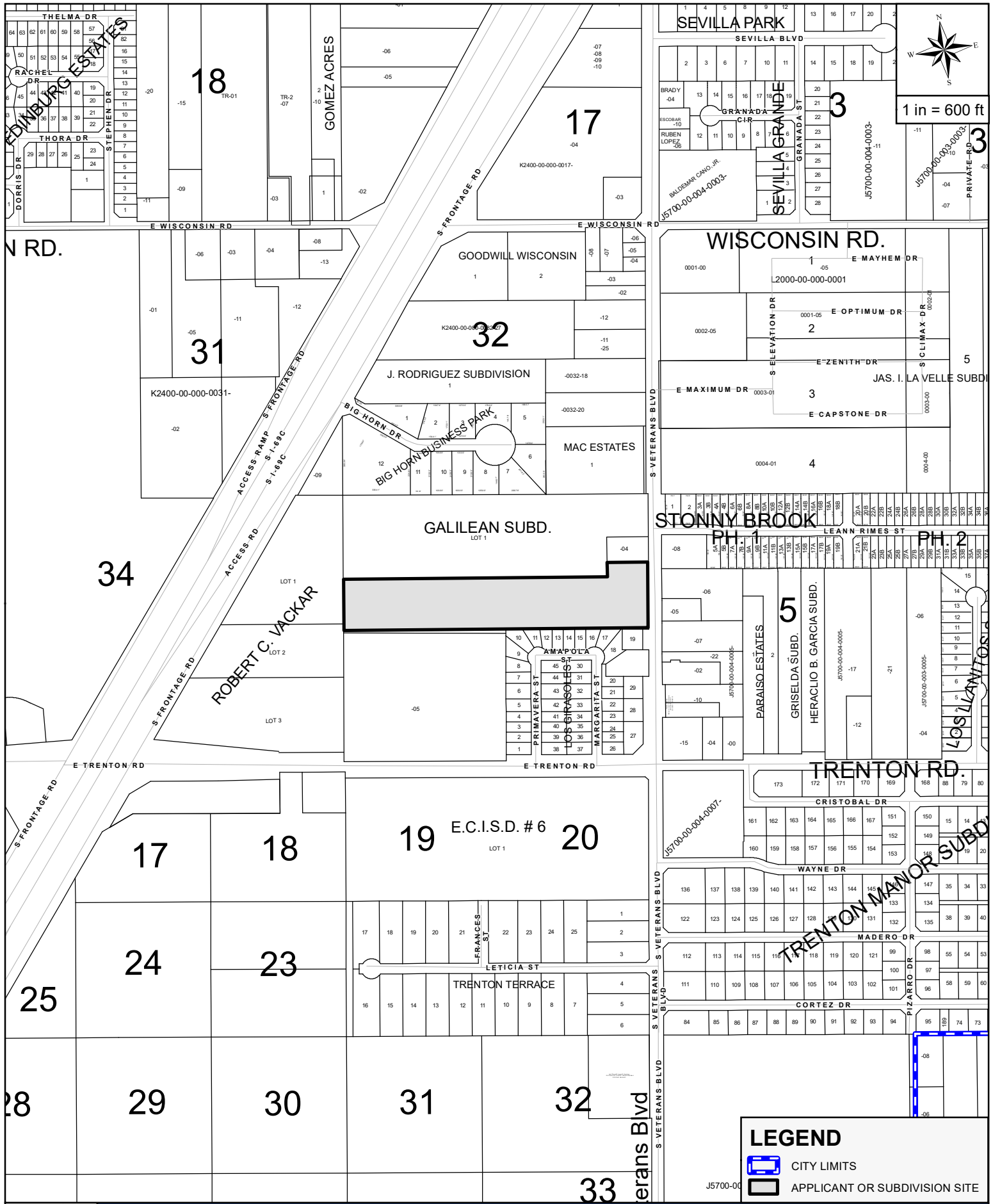




**LEGEND**


-  CITY LIMITS
-  APPLICANT OR SUBDIVISION SITE





**LEGEND**

 CITY LIMITS

 APPLICANT OR SUBDIVISION SITE

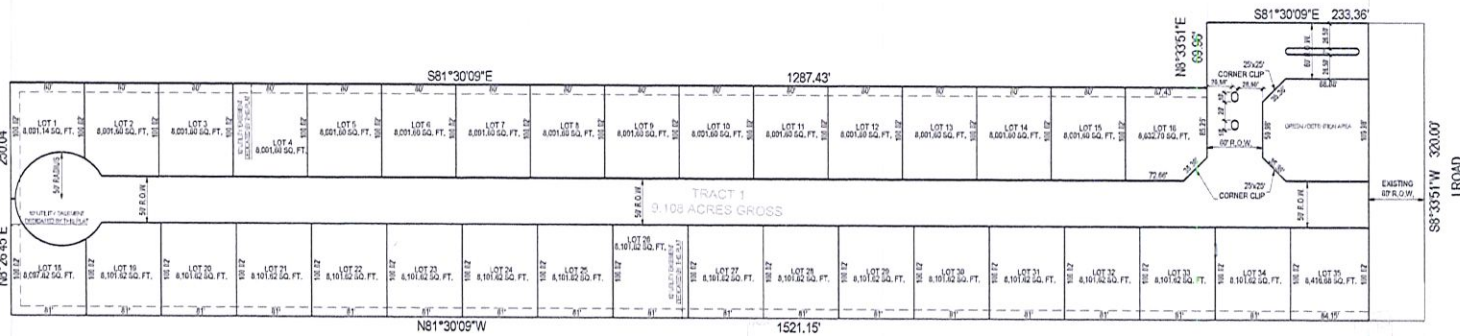


**SITE MAP**

**APPLICANT AND/OR SUBDIVISION:**

**CLH ENGINEERING / LAS MAGNOLIAS**





# PLAT OF "LAS MAGNOLIAS" SUBDIVISION EDINBURG, TEXAS

## NOTES

- THE WEST 5 ACRES OF THE EAST ONE-HALF OF LOT 13, SECTION 23E, TEXAS-MEXICAN RAILWAY COMPANY'S SURVEY OF LAND IN HIDALGO COUNTY, TEXAS, AS RECORDED IN VOLUME 1, PAGE 12, MAP RECORDS, HIDALGO COUNTY, TEXAS, LESS AND EXCEPT THE NORTH 30 FEET THEREOF.
- TRACT 2: THE NORTH ONE-HALF (N. 1/2) OF LOT 33, KELLY-NAAM SUBDIVISION OF PORCIONES 69 & 70, HIDALGO COUNTY, TEXAS, AS PER MAP OR PLAT THEREOF, RECORDED IN VOLUME 3, PAGE 132, DEED RECORDS, HIDALGO COUNTY, TEXAS.
- LESS AND EXCEPT A 6.887 ACRE TRACT OUT OF LOT 33, KELLY-NAAM SUBDIVISION OF PORCIONES 69 & 70, HIDALGO COUNTY, TEXAS, AS PER MAP OR PLAT THEREOF, RECORDED IN VOLUME 3, PAGE 132, DEED RECORDS, HIDALGO COUNTY, TEXAS, LESS AND EXCEPT THE NORTH 30 FEET THEREOF.
- BEHINDING AT A POINT OF THE EAST LINE OF LOT 33, AND WITHIN THE RIGHT OF WAY OF A ROAD FOR THE NORTH-EAST CORNER OF THIS TRACT, A POINT BEARS SOUTH 89 DEGREES 29 MINUTES WEST, 274.90 FEET FROM THE NORTH-EAST CORNER OF LOT 33.
- "THENCE, NORTH 89 DEGREES 29 MINUTES WEST, ALONG THE EAST LINE OF LOT 33, PARALLEL TO AND 1.30 FEET EAST OF THE CENTERLINE OF I ROAD, A DISTANCE OF 120.00 FEET TO A POINT FOR THE SOUTH-EAST CORNER OF THIS TRACT.
- "THENCE, NORTH 89 DEGREES 35 MINUTES WEST, PASSING A 1/2 INCH IRON ROD SET AT 31.36 FEET FOR THE WEST RIGHT OF WAY LINE OF I ROAD, A TOTAL DISTANCE OF 333.30 FEET TO A 1/2 INCH IRON ROD SET FOR THE SOUTH-EAST CORNER OF THIS TRACT.
- "THENCE, NORTH 89 DEGREES 25 MINUTES EAST, A DISTANCE OF 130.00 FEET TO A 1/2 INCH IRON ROD SET FOR THE NORTH-EAST CORNER OF THIS TRACT.
- "THENCE, SOUTH 89 DEGREES 35 MINUTES WEST, PASSING A 1/2 INCH IRON ROD SET AT 202.15 FEET FOR THE WEST RIGHT OF WAY LINE OF I ROAD, PASSING AT 232.16 FEET THE CENTERLINE OF I ROAD, A TOTAL DISTANCE OF 232.16 FEET TO THE PLACE OF BEGINNING, AND CONTAINING GROSS OF AN ACRE OF LAND, MORE OR LESS.
- GENERAL PLAT NOTES:
  - MINIMUM FINISH FLOOR ELEVATION SHALL BE 18" ABOVE TOP OF CURB MEASURED AT FRONT CENTER OF EACH LOT.
  - NEW SUBDIVISION IS IN ZONE "B" OF THE FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 480343-0300 (C DATED NOVEMBER 2, 1982).
  - MINIMUM FIREWORK SETBACK SHALL BE AS FOLLOWS:
    - FRONT: 10 FT. OR GREATER FOR EASEMENTS.
    - REAR: 10 FT. OR GREATER FOR EASEMENTS.
    - CORNER: 10 FT. OR GREATER FOR EASEMENTS.
    - 100% IN ACCORDANCE WITH THE ZONING ORDINANCE OR GREATER FOR EASEMENTS.
  - A TOTAL OF \_\_\_\_\_ ACRES FEET OF DETENTION IS REQUIRED (C.F. PER LOT FOR THIS SUBDIVISION AND AN UNDESIGNED DRAINAGE DETENTION PLAN APPROVED BY THE ENGINEERING DEPT. IS REQUIRED PRIOR TO BEGINNING OF BUILDING PERMIT).
  - THE CITY OF EDINBURG TO HAVE A 25'x25' CORNER CLIP EASEMENT AT ALL STREET INTERSECTIONS MEASURED FROM THE CURB.
  - A 4 FT WIDE SIDEWALK REQUIRED BOTH SIDES ALL INTERIOR STREETS.
  - A 6 FT GRAVITY BUFFER REQUIRED FROM ADJACENT/NEIGHBORING MULTI-FAMILY RESIDENTIAL AND COMMERCIAL OR INDUSTRIAL DEVELOPMENTS AND ALONG JACKSON ROAD AND E. CHANDLER DRIVE. AN 8 FT WADSWORTH WALL REQUIRED BETWEEN SINGLE FAMILY RESIDENTIAL AND COMMERCIAL/INDUSTRIAL OR MULTI-FAMILY RESIDENTIAL DEVELOPMENTS.
  - SEWERMARK CHISEL MARK ON TOP OF CURB ELEV. = \_\_\_\_\_
  - ALL EASEMENTS MUST BE ON PRIVATE PROPERTY AND MAINTAINED BY THE LOT OWNERS ADJACENT TO EASEMENTS.
  - COMMON AREAS, PRIVATE STREETS MUST BE MAINTAINED BY THE LOT OWNERS AND NOT THE CITY OF EDINBURG.
  - AS PER DECLARATION OF CONVEYANCES, CONDITIONS AND RESTRICTIONS FOR PASEO DEL LAGO PASEO HUNTS SUBDIVISION, RECORDED AS DOCUMENT # \_\_\_\_\_, HIDALGO COUNTY, DEED RECORDS, DEVELOPER/OWNER/ASSIGNOR/CONVEYOR, THEIR SUCCESSORS AND/OR ASSIGNEES, AND THE CITY OF EDINBURG SHALL BE RESPONSIBLE FOR INSTALLATION, MAINTENANCE AND OTHER REQUIREMENTS AS PER SECTION 12A-16B OF THE CODE OF ORDINANCES OF THE CITY OF EDINBURG INCLUDING BUT NOT LIMITED TO COMMON AREAS AND PRIVATE STREETS. ANY AMENDMENT OR DECLARATION THAT CONFLICTS WITH THE REQUIREMENTS OF SECTION 12A-16B SHALL BE NULL AND VOID.
  - 5 FT WIDE SIDEWALK REQUIRED ALONG I ROAD.
  - SITE PLAN MUST BE APPROVED BY THE PLANNING AND OTHER DEVELOPMENT DEPARTMENTS PRIOR TO BUILDING PERMIT ISSUANCE.

STATE OF TEXAS  
COUNTY OF HIDALGO

I, (WE) THE UNDERSIGNED, OWNER(S) OF THE LAND SHOWN ON THIS PLAT, AND DESIGNATED HEREIN AS THE "LAS MAGNOLIAS" SUBDIVISION TO THE CITY OF EDINBURG, TEXAS, AND WHOSE NAME IS SUBSCRIBED HEREIN, HEREBY DELEGATE TO THE USE OF THE PUBLIC ALL STREETS, ALLEYS, PARKS, WATERCOURSES, DRAINS, EASEMENTS, WATER LINES, SEWER LINES, STORM DRAINS, FIRE HYDRANTS AND PUBLIC PLACES WHICH ARE INSTALLED ON WHICH I (WE) WILL CAUSE TO BE INSTALLED THEREON, SHOWN OR NOT SHOWN, IF REQUIRED OTHERWISE TO BE INSTALLED OR LOCATED UNDER THE SUBDIVISION APPROVAL PROCESS OF THE CITY OF EDINBURG, ALL THE SAME FOR THE PURPOSES THEREON EXPRESSED, EITHER ON THE PLAT HEREOF OR ON THE OFFICIAL MINUTES OF THE APPLICABLE AUTHORITY OF THE CITY OF EDINBURG.

OWNER: JOSE CHAPA  
CHAPA BLUE  
141 PASEO DEL PRADO  
EDINBURG, TEXAS 78539

STATE OF TEXAS  
COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED \_\_\_\_\_, KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR PURPOSES AND CONSIDERATIONS THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

NOTARY PUBLIC

HIDALGO COUNTY, TEXAS

NOTARY PUBLIC

CERTIFICATION OF THE MAYOR OF THE CITY OF EDINBURG, THE UNDERSIGNED, MAYOR OF THE CITY OF EDINBURG, TEXAS, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THE CITY OF EDINBURG, TEXAS, AND THAT THE SUBDIVISION REGULATIONS OF THE CITY OF EDINBURG, TEXAS, HAVE BEEN FULLY COMPLIED WITH.

MAYOR, CITY OF EDINBURG

DATE:

CHAIRMAN, PLANNING AND ZONING  
COMMISSION, CITY OF EDINBURG

DATE:

THIS PLAT IS HEREBY APPROVED BY THE HIDALGO COUNTY IRRIGATION NO. 1, ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

HIDALGO COUNTY IRRIGATION DISTRICT NO. ONE WILL NOT BE RESPONSIBLE FOR DRAINAGE OR DELIVERY OF WATER TO ANY LOT IN THIS SUBDIVISION. ALSO, THERE WILL NOT BE ANY PERMANENT STRUCTURES ON THE UNIMPROVED RIGHT-OF-WAYS AND/OR EASEMENTS.

\_\_\_\_\_  
PRESIDENT

\_\_\_\_\_  
SECRETARY

APPROVED BY DRAINAGE DISTRICT

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEXAS WATER CODE, 49.101(C). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DISCLOSED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER AND HIS ENGINEER TO MAKE THEIR DETERMINATIONS.

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1

RAUL E. BROWN, P.E., C.F.E.  
GENERAL MANAGER

STATE OF TEXAS  
COUNTY OF HIDALGO

I, (SURVEYOR), REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECTLY MADE FROM AN ACTUAL SURVEY MADE ON THE GROUND OF THE PROPERTY. I HAVE PERSONALLY EXAMINED THE PLAT AND HAVE FOUND THAT IT ACCURATELY REPRESENTS THE ACTUAL SURVEY. I HAVE ALSO EXAMINED THE RECORDS OF THE SURVEY AND HAVE FOUND THAT THEY ACCURATELY REPRESENT THE ACTUAL SURVEY. I HAVE ALSO EXAMINED THE RECORDS OF THE SURVEY AND HAVE FOUND THAT THEY ACCURATELY REPRESENT THE ACTUAL SURVEY.

DATED THIS THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_.

REGISTERED PROFESSIONAL SURVEYOR (REAL)  
DAVE SANCHEZ  
REGISTERED PROFESSIONAL PUBLIC SURVEYOR NO. 6406  
921 SOUTH 10TH AVENUE, EDINBURG, TEXAS 78539  
(504) 380-5152

No. \_\_\_\_\_ STATE OF TEXAS.



FILE FOR RECORD IN  
HIDALGO COUNTY CLERK

ON \_\_\_\_\_ AT \_\_\_\_\_ AM/PM  
INSTRUMENT NUMBER \_\_\_\_\_  
OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS  
BY \_\_\_\_\_ DEPUTY

STATE OF TEXAS  
COUNTY OF HIDALGO

I, THE UNDERSIGNED, A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN TO THIS PLAT.

REGISTERED PROFESSIONAL ENGINEER (SCALE)  
CLODIONOR HINOJOSA, JR.  
CLH ENGINEERING, INC.  
701 S. 15TH STREET, MCALLEN, TX 78001  
(TEL) 366-687-5562 (FAX) 366-687-5561

No. \_\_\_\_\_ STATE OF TEXAS.

PRINCIPAL CONTACTS	ADDRESS	PHONE
OWNER: JOSE CHAPA	141 PASEO DEL PRADO, EDINBURG, TX 78539	(504) 380-5152
ENGINEER: CLH ENGINEERING, INC.	701 S. 15TH STREET, MCALLEN, TX 78001	(361) 687-5562
SURVEYOR: DAVE SANCHEZ	921 SOUTH 10TH AVENUE, EDINBURG, TEXAS 78539	(504) 380-5152



READING: SOUTH EAST  
ON RECORD PLAT  
SCALE: 1" = 60'

RECEIVED

FEB 23 2022

Name: \_\_\_\_\_ 2:50pm.



VAR-2022-0136

## Subdivision Appeals / Variance Application

Submittal Date: 10.14.22

## Legal Description:

- West 5 acres of the east over-half of Lot 13, section 239, Texas Mexican Railway Company survey. Hidalgo County. Vol. 1, pg. 12
- \* The north one half of Lot 33, Kelly Pharr Subd. parcels 69 & 70, Vol. 3, pg. 133. Hidalgo County.

Variance Requested (Identify section of code for which variance is being requested):

Section 5.203 - Street Cross Section.  
Reduce ROW From 60' to 50'. Keep same street width.

Reason for Request:

Reducing the PRIVATE STREET ROW From 60' to 50' ROW. THIS will allow us to have the 8,000 sq. ft. minimum for 4-plex development

Jose Chapa-Chapa Blue

Property Owner (Print legibly or type)

141 Paseo del Prado

Address

Edinburg, TX. 78539

City, State, Zip

956-867-2809

Telephone

josechapa1000@hotmail

Email address

Signature

Clemente Ainojosa Sr

Applicant / Agent (Print legibly or type)

201 S. 15th Street

Address

McAllen, TX. 78501

City, State, Zip

(956) 222-5423

Telephone

chinojosa@clhengineeringinc.com

Email address

Signature

\$450 Application Fee:

RECEIVED

OCT 17 2022

Received By: Pn2 Meeting Date:  
Dec 13th 22

Name: Adam Elizars



**STAFF REPORT: TESORO DE SANTA CRUZ SUBDIVISION**

Date Prepared: October 26, 2022  
Planning and Zoning Meeting: November 8, 2022  
Preliminary Plat

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**Subject:** Consider the Preliminary Plat of Tesoro De Santa Cruz Subdivision, being a 24.58 acre tract of land out of Lots 5, 6, 7, and the east 5.63 acres of Lot 8, Block 8, Santa Cruz Gardens Unit No. 3 Subdivision, located at 3000 East Davis Road, as requested by Rio Delta Engineering.

**Location:** The property is located on the south side of East Davis Road and east of Doolittle Road, within the City of Edinburg's City Limits.

**Zoning:** Property zoning is currently Residential Primary (RP) Districts.

**Setbacks:** Setbacks for Residential Primary District (RP) are as follows; Front 20 ft., 20 ft., Side 6 ft., and Rear 20 ft.

**Analysis:** The Preliminary Plat is proposing 126 lots averaging approximately (5,200) square feet for a single-family residential lot development.

**Utilities:** Water Distribution System will be provided by North Alamo Water Supply Corporation and a City of Edinburg Sanitary Sewer Collection system is available to serve development. All utility improvements within the proposed subdivision that are not limited to water system, sewer system, curb & gutter, and fire hydrants will be installed by the developer in accordance with the approved 2021 Standards Manual.

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**Recommendations:**

**City of Edinburg Planning & Zoning Department:**

Staff recommends approval of the Preliminary Plat, subject to compliance with the Unified Development Code, General Notes; on FEMA flood zone, zoning, setbacks, finish floor elevation, benchmark, drainage detention, parkland fees, limited access, SWP3 requirements, sidewalks, and other notes as required based on development.

**City of Edinburg Engineering / Utilities Department:**

Preliminary Phase Submittal comments for this subdivision are included in the packet. As per Engineering, the plat shall be Preliminarily Approved until all comments have been addressed by the project engineer.





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### **City of Edinburg Fire Department:**

The following are the preliminary phase submittal comments as noted by the Fire Department:

1. Provide street names to the City of Edinburg Engineering Department for approval.
2. Fire lane 15-ft. in width shall be painted in front of all fire hydrants.
3. Provide double face blue fire hydrant street marker on center on the street in front of the fire hydrant.
4. Fire hydrant shall be every 300-ft. for commercial general district as per Section 507.5.1 of 2012 IFC.
5. All streets should be based as per 2021 Standards Manual Standards, Construction & Development Requirements.

### **City of Edinburg Storm Water:**

The following are the preliminary phase submittal comments as noted by Storm Water:

1. **SW3P** (Stormwater Pollution Prevention Plan)
2. **NOI** (Notice of Intent, Per TCEQ)
3. **Large Construction Notice** (Per TCEQ Inventory)
4. **Detailed Erosion Control Plan** (Silt Fence, Construction Entrance, Inlet Protection, Concrete Washout)
5. **Detailed Post Construction BMP's Plan** (70% Vegetation or Silt Fence back of curb)
6. **Plat Note** (All construction shall comply with Stormwater Pollution Prevention Plan (SW3P) requirements. Erosion and Sedimentation Controls constructed in accordance with the Stormwater Ordinance 98.30 of the City of Edinburg are required for all construction on each lot including single family and duplex/multi-family construction)
7. **NOT** (Notice of Termination, Per TCEQ) will now be required before the final walk through.
8. **Comments:**
  - SW3P Plat note has been revised. Please see the note for your reference.
  - NOT will need to be submitted before the final walk through.
  - Stormwater is now requiring a Post Construction Plan on plans that are submitted, either 70% vegetation or Install Silt Fence behind the back of curb.
  - Silt Fence around the entire project.
  - Large Construction Notice needs to be submitted with contractors contact information.
  - All items must be submitted before the NTP is issued.
  - Please email pending items to [rvalenzuela@cityofedinburg.com](mailto:rvalenzuela@cityofedinburg.com)

### **City of Edinburg Solid Waste:**

The single-Family Residential Development can be served by the City of Edinburg.



## ENGINEERING DEPARTMENT

### Preliminary Staff Review

October 27<sup>th</sup>, 2022

**Ivan Garcia, P.E., R.P.L.S.**

Rio Delta Engineering  
921 S. 10<sup>th</sup> Avenue  
Edinburg, TX 78539  
(956) 380-5152

**RE: TESORO DE SANTA CRUZ – PRELIMINARY REVIEW**

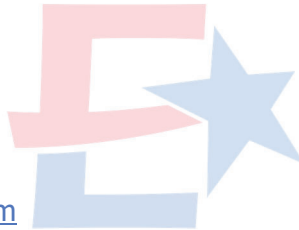
Mr. Garcia,

Attached are the Preliminary Phase Submittal comments for Tesoro De Santa Cruz Subdivision. Submittal is adequate as presented and recommended for preliminary approval.

Any questions feel free to contact us.

Thanks,

Digitally signed by Peter  
Hermida  
Date: 2022.10.27  
13:35:35 -05'00'



Peter Hermida, P.E.

Email: [phermida@cityofedinburg.com](mailto:phermida@cityofedinburg.com)

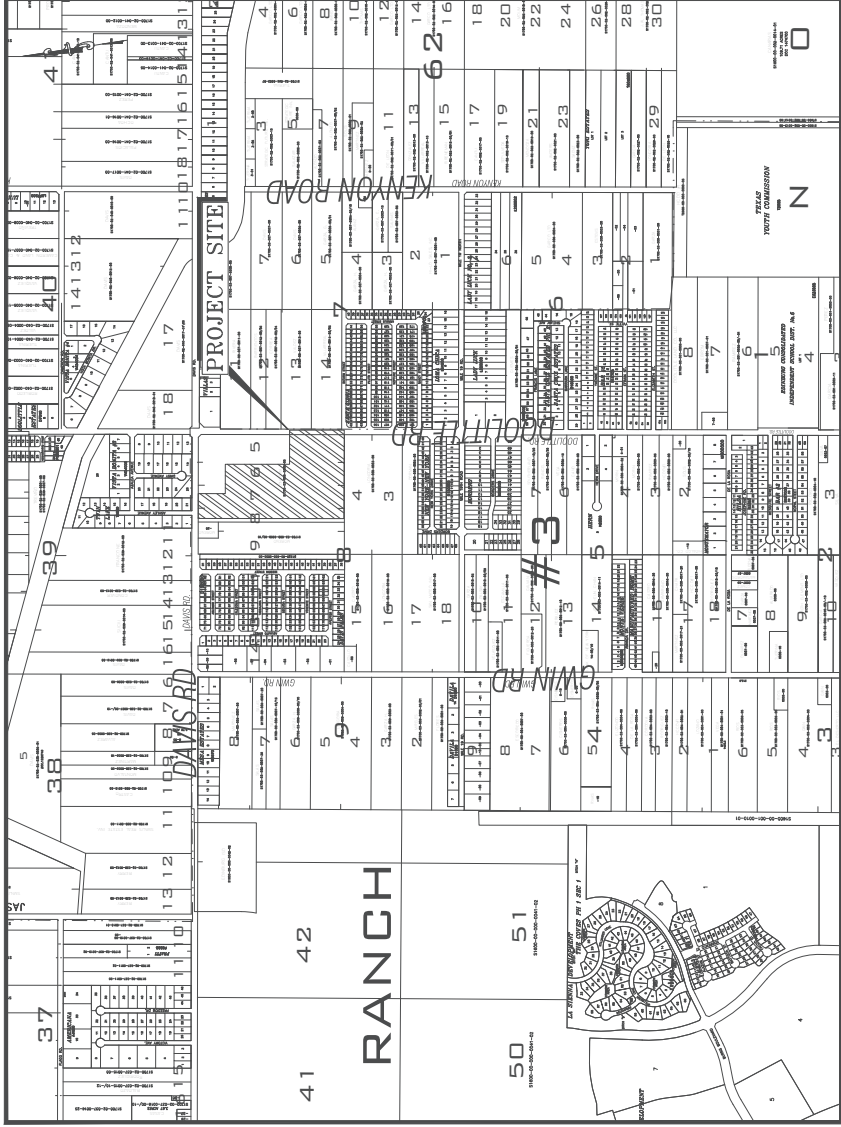
415 W. University Drive  
Edinburg, Texas 78539

Cc: Mardoqueo Hinojosa, P.E., CFM, City Engineer, Patrizia Longoria, P.E., Engineer III, Roberto Hernandez, CFM, Engineer II, Abel Beltran, Planner I, Vince Romero, Director of Public Works, Robert Valenzuela, Storm Water Specialist, Jaime Acevedo, Director of Planning and Zoning, Rita Lee Guerrero, Management Analyst, Jaime Xavier Ayala, Planner II, Gerardo Carmona P.E., Director of Utilities, Jose Flores, Systems Superintendent, Omar Garza, Fire Marshal, Ramiro Gomez, Director of Solid Waste

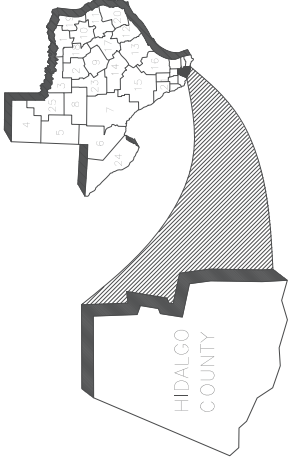
**REFERENCES:**

City of Edinburg – 2021 Standard Manual – Construction and Development Requirements; Unified Development Code; and if required a TX-Dot Permitting UIR permitting process.

**TESORO DE SANTA CRUZ SUBDIVISION**  
**EDINBURG, TEXAS.**



VICINITY MAP  
NOT TO SCALE



**INDEX OF SHEETS**

SHT #	DESCRIPTION
SHT 1	COVER SHEET
SHT 2A	PLAT SHEET
SHT 2B	PLAT SHEET
SHT 3	EXISTING TOPOGRAPHICAL LAYOUT
SHT 4	SANITARY SEWER LAYOUT
SHT 5	WATER LAYOUT
SHT 6	PAVING AND DRAINAGE LAYOUT
SHT 7	LIGHTING LAYOUT
SHT 8	SIGNAGE LAYOUT
SHT 9	RECOMMENDED EROSION CONTROL PLAN
SHT 10-14	..... TYPICAL DETAILS

RIO DELTA ENGINEERING  
FIRM REGISTRATION No. P-7628  
SURVEY FIRM No. 10194027  
921 S. 10TH AVENUE EDINBURG, TEXAS 78539  
(TEL) 956-380-5152 (FAX) 956-380-5083



THIS DOCUMENT IS  
RELEASED FOR THE  
REVIEW UNDER THE  
PROFESSIONAL SEAL  
OF IVAN GARCIA,  
REGISTERED PROFESSIONAL  
ENGINEER, LICENSE NO. 10194027,  
STATE OF TEXAS. IT IS NOT TO BE  
USED FOR ANY OTHER PROJECT,  
BIDDING OR PERMIT  
PURPOSES.

PRELIMINARY

COVER SHEET  
TESORO DE SANTA CRUZ SUBDIVISION  
EDINBURG, TEXAS  
HIDALGO COUNTY

PROJECT :  
DRAWN: IVAN GARCIA P.E., R.P.L.S.  
DATE: OCTOBER 10, 2021  
SHEET NO. 1  
SUB 21.052  
PAGE NO. 1





# TESORO DE SANTA CRUZ SUBDIVISION

BEING A 24.65 ACRES OUT OF LOTS 5, 6, 7 AND 8, BLOCK 8 SANTA CRUZ GARDENS UNIT NO. 3, ACCORDING TO THE MAP ON PLAT THEREOF RECORDED IN  
VOLUME 9, PAGE 3, MAP RECORDS OF HIDALGO COUNTY, TEXAS.

## GENERAL PLAT NOTES

1. FLOOD ZONE STATUTORY: THE SUBDIVISION IS IN ZONE "X", FLOOD ZONE OF 1 TO 3 FEET (USUAL) AREAS OF FLOODING BASED FLOOD ELEVATIONS DETERMINED BY THE TEXAS DEPARTMENT OF TRANSPORTATION, FLOOD DAMAGE PREVENTION, REVISIONS, JUNE 8, 2004, REQUIRED TO REFLECT LUMP DATED MAY 14, 2022.
2. SETBACKS:
  - FROM: 10.00 FEET OR EXISTENT MINORER IS LOCATED
  - TO: 5.00 FEET OR EXISTENT MINORER IS LOCATED
  - FROM: 5.00 FEET OR EXISTENT MINORER IS LOCATED
  - TO: 5.00 FEET OR EXISTENT MINORER IS LOCATED
3. NO MORE THAN ONE-CORNER FAMILY DETACHED DWELLING SHALL BE LOCATED ON THE LOT. THIS MUST BE SPECIALLY ADJUSTED TO ALL SETBACKS AND CONTRACT FOR DETAIL APPLICATIONS FOR CONSTRUCTION ARE REQUIRED PRIOR TO OCCUPANCY.
4. ALL PUBLIC UTILITIES EXISTENTS EXCEPTED BY THIS PLAT SHALL BE A MINIMUM WIDTH OF 15.00 FEET AS PER THE CITY OF EDINBURG. THE CITY OF EDINBURG SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL PUBLIC UTILITIES EXCEPTED BY THIS PLAT.
5. ANY ADDITION TO EXISTING RESIDENCE OR NEW IMPROVED DWELLING ON THE LOT MUST COMPLY WITH ALL SETBACK RESTRICTIONS RECORDED ON THIS PLAT.
6. MINIMUM FINISH FLOOR ELEVATION SHALL BE 18 INCHES ABOVE TOP OF CURB AT FRONT AND CENTER OF LOT.
7. THE LOT SHALL HAVE A POST DEVELOPMENT FINISHED GRADE FROM THE CENTER OF THE LOT TO THE CURB AT FRONT AND CENTER OF LOT.
8. IN ORDER TO ACCOMPLISH POSTED DRAINAGE, THIS IS ACCORDANCE WITH CITY OF EDINBURG STANDARDS.
9. DRAINAGE: THE CITY OF EDINBURG SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL DRAINAGE SYSTEMS EXCEPTED BY THIS PLAT.
10. NO ONE-SHED FAMILY DWELLING PER LOT.
11. NO STRUCTURE SHALL BE PERMITTED OVER ANY EXISTING EXISTENTS SHALL BE KEPT CLEAR OF TREES, SHRUBS, AND OTHER PLANT MATERIAL. THE CITY OF EDINBURG SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL EXISTENTS EXCEPTED BY THIS PLAT.
12. ALL LOT CORNERS ARE SET 1/2 INCH FROM ROADS WITH CURB.
13. A FIVE (5.00) FOOT SIDEWALK IS REQUIRED AT BUILDING FRONT STAGE BY LOT OWNER.
14. ALL EXISTENTS SHOWN ARE DELETED BY THIS PLAT, UNLESS STATED OTHERWISE.
15. THE HOMEOWNERS ASSOCIATION FOR THIS SUBDIVISION WILL BE RESPONSIBLE FOR ALL MAINTENANCE OF THE PROPOSED RETENTION AREA.
16. 5' WIDE CONCRETE SIDEWALK IS REQUIRED ALONG DOOLITTLE ROAD AT SUBDIVISION CONSTRUCTION PHASE.
17. THE LOT SHALL HAVE A POST DEVELOPMENT FINISHED GRADE FROM THE CENTER OF THE LOT TO THE CURB AND/OR SIDEWALK.
18. ALL CONSTRUCTION SHALL COMPLY WITH STORMWATER POLLUTION PREVENTION PLAN (SWPPP) REQUIREMENTS.
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82. ALL CONSTRUCTION SHALL COMPLY WITH STORMWATER POLLUTION PREVENTION PLAN (SWPPP) REQUIREMENTS.
83. ALL CONSTRUCTION SHALL COMPLY WITH STORMWATER POLLUTION PREVENTION PLAN (SWPPP) REQUIREMENTS.
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96. ALL CONSTRUCTION SHALL COMPLY WITH STORMWATER POLLUTION PREVENTION PLAN (SWPPP) REQUIREMENTS.
97. ALL CONSTRUCTION SHALL COMPLY WITH STORMWATER POLLUTION PREVENTION PLAN (SWPPP) REQUIREMENTS.
98. ALL CONSTRUCTION SHALL COMPLY WITH STORMWATER POLLUTION PREVENTION PLAN (SWPPP) REQUIREMENTS.
99. ALL CONSTRUCTION SHALL COMPLY WITH STORMWATER POLLUTION PREVENTION PLAN (SWPPP) REQUIREMENTS.
100. ALL CONSTRUCTION SHALL COMPLY WITH STORMWATER POLLUTION PREVENTION PLAN (SWPPP) REQUIREMENTS.



































**RIO DELTA ENGINEERING**  
FIRM REGISTRATION NO. F-7628  
SURVEY FIRM NO. 10194027  
921 S. 10TH AVENUE EDINBURG, TEXAS 78539  
(TEL) 956-380-5152 (FAX) 956-380-5083

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**PRELIMINARY**

**PLAT NOTES**  
**TESORO DE SANTA CRUZ SUBDIVISION**  
**EDINBURG**  
**HIDALGO COUNTY**

PROJECT: 1  
DRAWN: OMAR GARCIA P.E., R.P.L.S.  
CHECKED: OMAR GARCIA P.E., R.P.L.S.  
DATE: OCTOBER 10, 2021  
SCALE: 1"=60'  
SHEET: 2 OF 2  
REVISIONS: 1



	EXIST. GRATE INLET		1/2" RIGID HD PIPE		EXIST. FLUSH VALVE		EXIST. SANITARY SERIES WASHOILE
	EXIST. OMB INLET		1/2" RIGID HD TOWN		EXIST. IRRIGATION VALVE		EXIST. STORM SERIES WASHOILE
	EXIST. TELEPHONE HOOD/VALVE		INCHES CONCRETE TOWN		EXIST. PERMANENT		EXIST. FIRE LINE
	EXIST. GRATE INLET		1/2" RIGID HD PIPE TOWN		EXIST. PERMANENT		EXIST. OVERHEAD ELECTRIC LINE
	EXIST. LAMP POLE		HOIST-OF-WAY POST TOWN		EXIST. MAIL BOX		EXIST. UNDERGROUND CABLE
	EXIST. TRAFFIC POLE		CALCULATED POINT		EXIST. BRICK MAIL BOX		EXIST. UNDERGROUND GAS LINE
	EXIST. GUY WIRE		CONTROL FINGER SPACE SET		EXIST. WATER METER		EXIST. STREET SIGN
	EXIST. POWER POLE		ELECTRICAL BOX		EXIST. STREET SIGN		

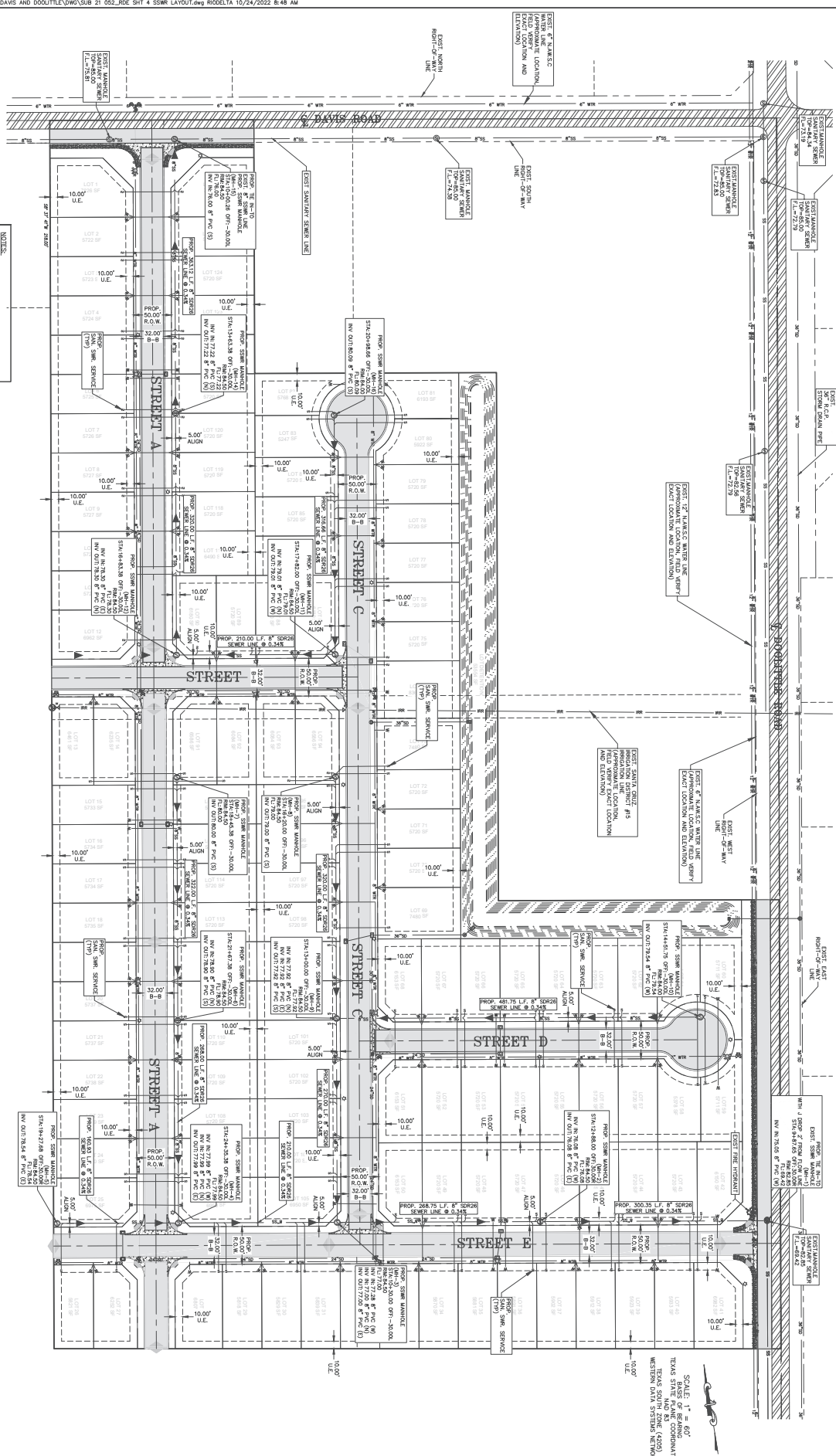
EXISTING TOPOGRAPHICAL LAYOUT  
TESORO DE SANTA CRUZ SUBDIVISION  
EDINBURG  
HIDALGO COUNTY

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**RIO DELTA ENGINEERING**  
FIRM REGISTRATION No. F-7628  
SURVEY FIRM No. 10194027  
921 S. 10TH AVENUE EDINBURG, TEXAS 78539  
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RIO DELTA ENGINEERING

FIRM REGISTRATION No. F-7628  
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PROJECT : **SANITARY SEWER LAYOUT**  
**TESORO DE SANTA CRUZ SUBDIVISION**  
**EDINBURG**  
**HIDALGO COUNTY**





































SWAN GARCIA P.E. R.P.L.S.	
SUPERVISOR	
SWAN GARCIA P.E. R.P.L.S.	
CHECKED	
SWAN GARCIA P.E. R.P.L.S.	
DATE	0.A. / H.Q.
SCALE	1" = 60'
DATE	OCTOBER 10, 2022
PROJECT	SUB 21 052
RESPONSE	
PAGE NO.	SHT 4

NOTES:  
1.) ALL MATERIALS SHALL BE DOMESTIC.  
2.) ALL PIPES SHALL HAVE A MINIMUM COVER OF 3 FEET.  
3.) ALL RING AND COVERS SHALL BE AT LEAST 32" IN DIAMETER AND THE COVERS SHALL HAVE THE CITY OF EDINBURG LOGO.

1. CONTRACTOR SHALL COORDINATE WITH ALL UTILITY/RIGHT OF WAY OWNERS AND PROJECT ENGINEER BEFORE TO START CONSTRUCTION AND/OR ANY RELOCATIONS OF UTILITIES.
2. CONTRACTOR SHALL FOLLOW ALL RELEVANT REQUIREMENTS FROM UTILITY REGULATIONS AND/OR OWNERS FOR ALL RELOCATIONS.
3. CONTRACTOR WILL BEGIN DOWN STREAM RELOCATION OF ALL UTILITIES UPSTREAM WITH PIPE PROVES FACING UPSTREAM.
4. CONTRACTOR MUST LOCATE AND FIELD VERIFY ALL UTILITIES.
5. ANY CONNECTION TO EXISTING SEWER MANHOLE MUST BE MADE USING AN "INVERT-A-TITE" ASSEMBLY.
6. ALL SANITARY SEWER LINES SHALL BE 30" DIA PIPE, UNLESS OTHERWISE NOTED.

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH ALL APPROPRIATE UTILITY COMPANIES FOR THE LOCATION OF ALL UTILITIES WITHIN CONSTRUCTION AREA.
2. ALL EXIST UTILITIES ARE A APPROXIMATE LOCATION.
3. THE LOCATION OF UNDERGROUND UTILITIES SHOWN ON THESE PLANS ARE NOT TO BE CONSIDERED AS THE EXACT LOCATION OF THESE UTILITIES. THE EXACT LOCATION OF THESE UTILITIES MAY BE ENCOUNTERED UPON EXCAVATION.
4. BEFORE BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL CALL FOR UTILITY SPOTTING BY THE APPROPRIATE AGENCY AND VERIFY THE LOCATION OF THESE UTILITIES TO HIS SATISFACTION.
5. ANY DAMAGE CAUSED TO EXISTING STRUCTURES AND/OR UTILITIES BY THE CONTRACTOR SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CORRECT AT HIS EXPENSE.
6. ANY DAMAGE TO PROPERTY OUTSIDE THE CONSTRUCTION ZONE, CAUSED BY THE CONTRACTOR, SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CORRECT AT HIS EXPENSE.

	EXIST. GRATE INLET
	EXIST. CURB INLET
	EXIST. TELEPHONE
	EXIST. GRATE INLET
	EXIST. LAMP POLE
	EXIST. TRAFFIC POL
	EXIST. GUY WIRE
	EXIST. POWER POLE
	EXIST. WATER VALV

	1/2" NON HOE SET		EXIST. SANITARY SINKER MANHOLE
	EXIST. 12" RIGID PIPE		EXIST. STORM SEWER MANHOLE
	EXIST. TRUCK CONCRETE PAVEMENT		EXIST. FENCE LINE
	1/2" - 3/4" IN. HOE SET		EXIST. OVERHEAD ELECTRIC LINE
	RIGHT-OF-WAY POST FOUND		EXIST. UNDERGROUND CABLE
	CALCULATED POINT		EXIST. UNDERGROUND GAS LINE
	EXIST. POCKET SHOULDER SET		
	ELECTRICAL BOX		
			
			
			
			
			
			
			
			
			
			

NOTES:

1) ALL SHARPLAND WATER SUPPLY CORPORATION EXISTENTS ARE NOT OTHER WATERS OF EXISTENTS. ALL EXISTENTS ARE WRITTEN APPROVAL OF SHARPLAND WATER SUPPLY CORPORATION.










2) ALL EXISTING WATER SERVICES ALONG PROSPER ROAD SHALL BE RECONNECTED TO THE NEW WATER LINE (AS PER SHARPLAND CORPORATION'S STANDARD CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFICATION AND LOCATION OF ALL EXISTING WATER SERVICES, AND ANY BORES IF NEEDED.

3) 5 FOOT MINIMUM SEPARATION BETWEEN

**GENERAL NOTES:**

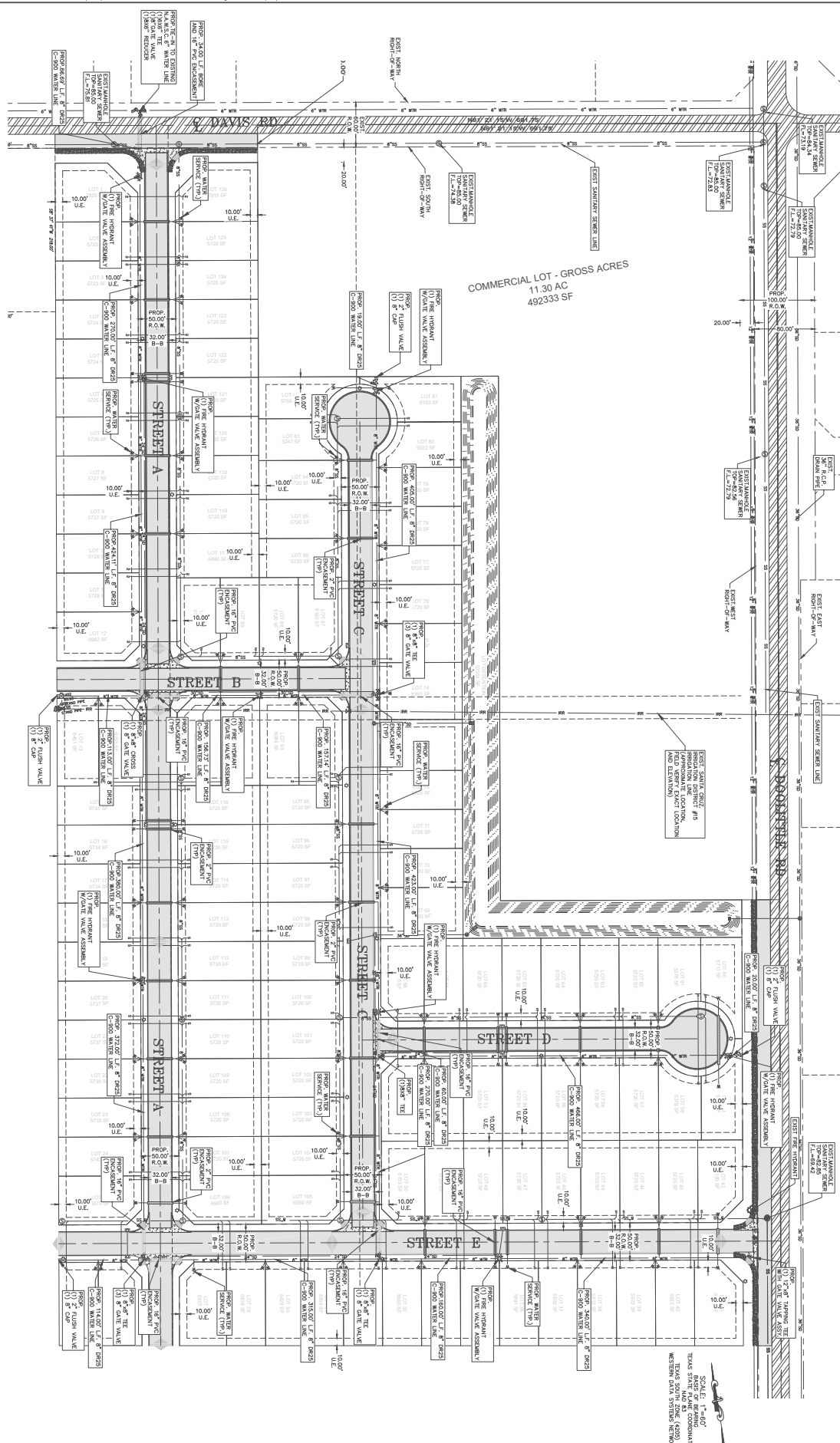
1. THE CONTRACTOR WILL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROPRIATE UTILITY COMPANES FOR THE LOCATION OF ALL UTILITIES WITHIN THE CONSTRUCTION AREA.
2. ALL EXIST. UTILITIES ARE AT THE OWNERS RISK.
3. THE CONTRACTOR SHALL PROTECT ALL UTILITIES SHOWN ON THESE PLANS. ANY DAMAGE TO OR DISRUPTION OF ANY UTILITIES BASED ON OBSERVATION OF ADEQUACIOUSLY MARKED UTILITIES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. ANY DAMAGE TO OR DISRUPTION OF ANY UTILITIES ACTUAL LOCATION OF THESE UTILITIES BASED ON UTILITY SPOTTING, AND/OR UTILITY SPOTTING, SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR. ANY DAMAGE TO OR DISRUPTION OF ANY UTILITIES NOT BE RECOGNIZED UPON UTILITY SPOTTING SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
4. BEFORE BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL OBTAIN UTILITY SPOTTING FROM THE APPROPRIATE AGENCY AND VERIFY THE LOCATION OF THESE UTILITIES TO HIS SATISFACTION.
5. ANY DAMAGE CAUSED TO EXISTING UTILITIES BY THE CONTRACTOR SHALL BE THE CONTRACTORS RESPONSIBILITY TO CORRECT AT HIS OWNERS RISK.
6. ANY DAMAGE TO PROPERTY, INJURY TO PERSONS OR DAMAGE TO EXISTING UTILITIES CAUSED BY THE CONTRACTOR SHALL BE THE CONTRACTORS RESPONSIBILITY TO CORRECT AT HIS OWNERS RISK.

- 1) THE CONTRACTOR SHALL BE RESPONSIBLE FOR COORDINATING WITH ALL APPLICABLE UTILITY COMPANIES FOR THE LOCATION OF ALL UTILITIES WITHIN CONSTRUCTION AREA.
- 2) ALL EXIST UTILITIES ARE AT APPROXIMATE LOCATIONS.
- 3) THE LOCATION OF UNDERGROUND UTILITIES SHOWN ON THEIR PLANS ARE BASED ON REVISIONS OF UNDERGROUND STRUCTURES, AND ARE NOT GUARANTEED. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UTILITIES BY EXCAVATION. ANY AND ALL EXISTING UTILITIES NOT IDENTIFIED BY EXCAVATION SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO LOCATE.
- 4) BEFORE BEGINNING CONSTRUCTION, THE CONTRACTOR SHALL CALL FOR UTILITY LOCATING BY THE APPROPRIATE AGENCY AND VERIFY THE LOCATION OF THESE UTILITIES WITHIN THE CONSTRUCTION AREA.
- 5) THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE TO CORRECT AT HIS EXPENSE.
- 6) ANY DAMAGE TO PROPERTY, OUTSIDE THE CONSTRUCTION ZONE, CAUSED BY THE CONTRACTOR, SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO CORRECT AT HIS EXPENSE.

	EXIST. GRATE INLET
	EXIST. CURB INLET
	EXIST. TELEPHONE PEDestal
	EXIST. GRATE INLET
	EXIST. LAMP POLE
	EXIST. TRAFFIC POLE
	EXIST. GUY WIRE
	EXIST. POWER POLE
	EXIST. WATER VALVE

[illegible]

## LEGEND



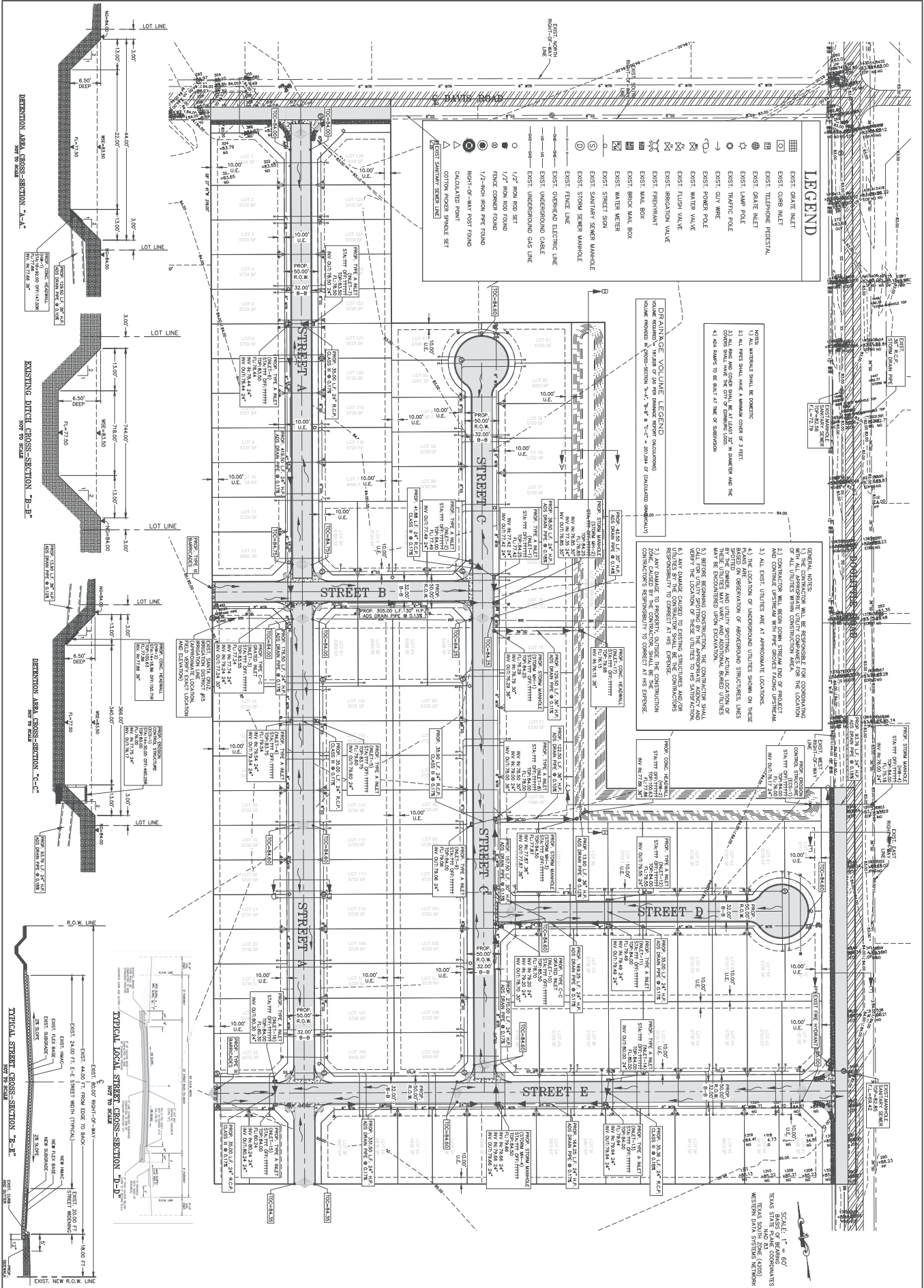
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BASIS OF BEARING  
TEXAS STATE PLANE COORDINATE  
NAD 83  
TEXAS SOUTH ZONE (4205)  
WESTERN DATA SYSTEMS NETWORK

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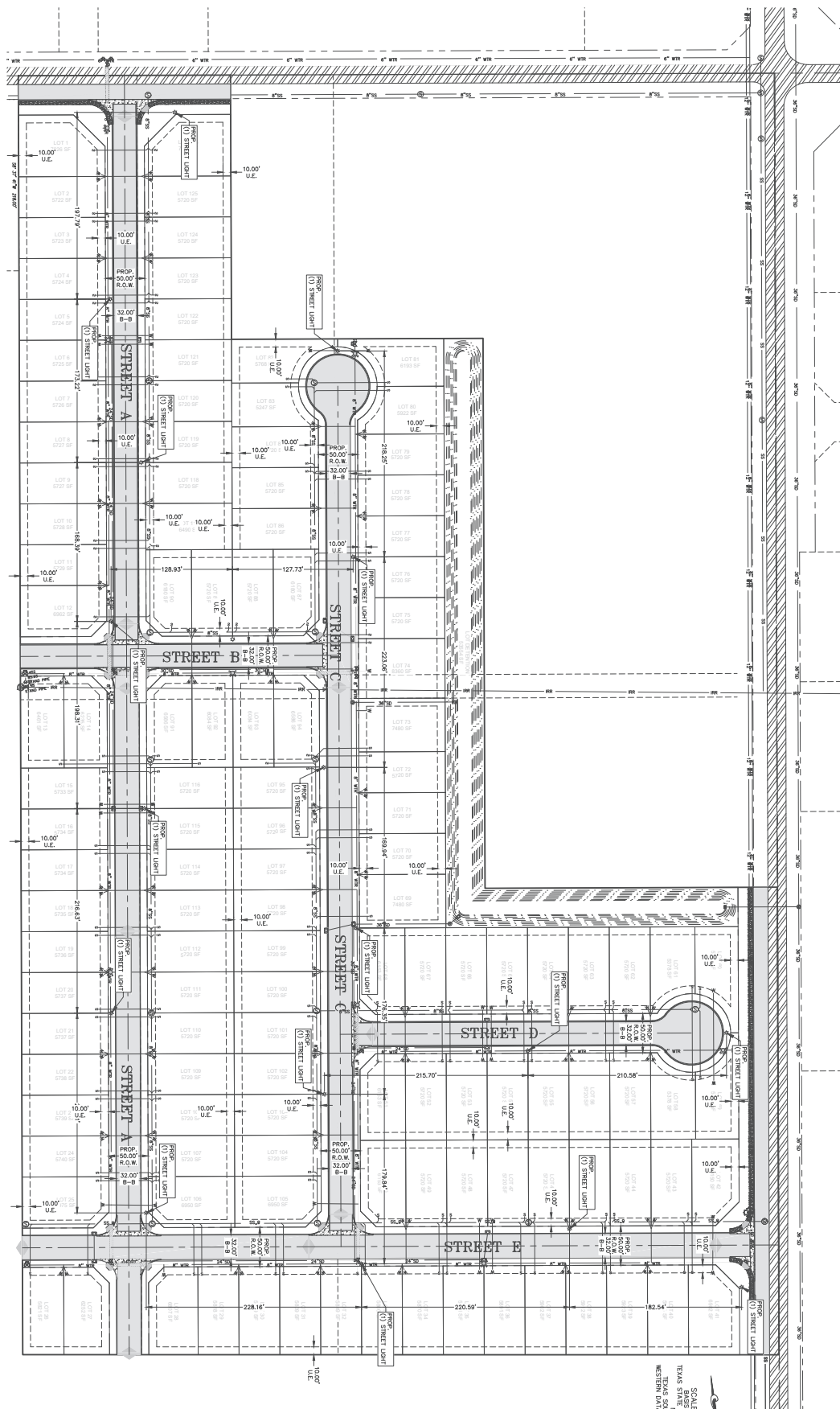


**RIO DELTA ENGINEERING**  
FIRM REGISTRATION No. F-7628  
SURVEY FIRM No. 10194027  
921 S. 10TH AVENUE EDINBURG, TEXAS 78539  
(TEL) 956-380-5152 (FAX) 956-380-5083









SCALE: 1" = 60'  
BASIS OF BEARING  
TEXAS STATE PLANE COORDINATES  
NAD 83  
TEXAS SOUTH ZONE (4205)  
WESTERN DATA SYSTEMS NETWORK

## LEGEND

- [illegible]

PROJECT : LIGHTING LAYOUT  
TESORO DE SANTA CRUZ SUBDIVISION  
EDINBURG  
HIDALGO COUNTY

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**RIO DELTA ENGINEERING**  
FIRM REGISTRATION No. F-7628  
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PAGE NO. SHT 7





























































































PROJECT :  
SIGNAGE PLAN LAYOUT  
TESORO DE SANTA CRUZ SUBDIVISION  
EDINBURG  
HIDALGO COUNTY

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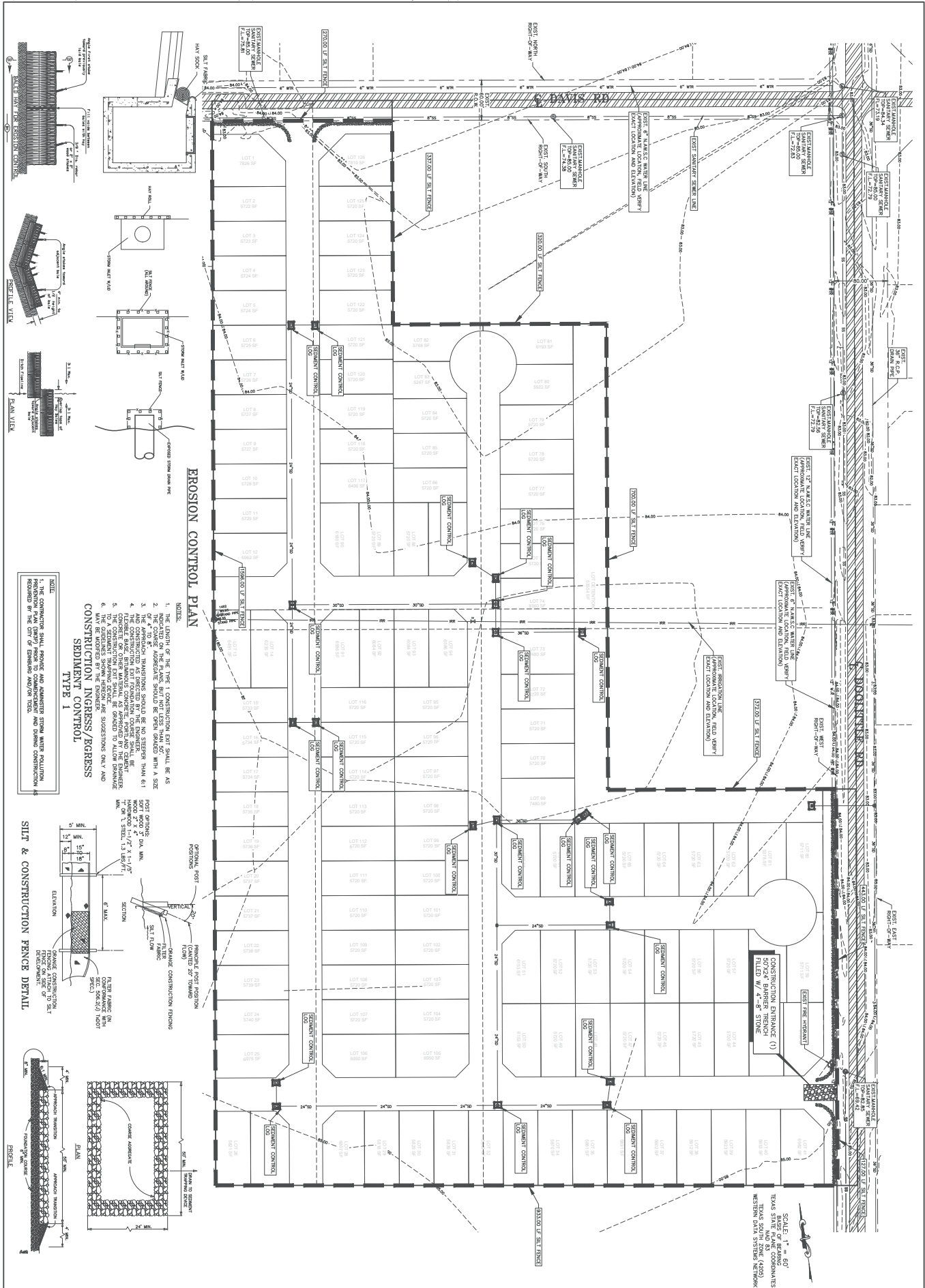


**RIO DELTA ENGINEERING**  
FIRM REGISTRATION No. F-7628  
SURVEY FIRM No. 10194027  
921 S. 10TH AVENUE EDINBURG, TEXAS 78539  
(TEL) 956-380-5152 (FAX) 956-380-5083

FIRM REGISTRATION No. F-7628  
SURVEY FIRM No. 10194027  
921 S. 10TH AVENUE EDINBURG, TEXAS 78539  
(TEL) 956-380-5152 (FAX) 956-380-5083

	EAST, GRATE INLET		EAST, POWER POLE		EAST, WATER METER		1/2" IRON BOB SET
	EAST, CUBING INLET		EAST, WATER VALVE		EAST, STREET SIGN		1/2" IRON BOB ROUND
	EAST, TELEPHONE, PEREGRAL		EAST, FLUSH VALVE		EAST, SANITARY SEWER MANHOLE		FENCE CORNER ROUND
	EAST, GRATE INLET		EAST, IRRIGATION VALVE		EAST, STORM SEWER MANHOLE		1/2"-IRON IRON PIPE ROUND
	EAST, LAMP POLE		EAST, PREPARENT		EAST, FENCE LINE		RIGHT-OF-WAY POST ROUND
	EAST, TRAFFIC POLE		EAST, VAN BOX		EAST, OVERHEAD ELECTRIC LINE		CALCULATED POINT
	EAST, GUY WIRE		EAST, BRICK MAIL BOX		EAST, UNDERGROUND CABLE		COTTON POWER SPANGLER SET
							ELECTRICAL BOX
							
							
							
							
							
							
							
							
							
							
							
							
							
							
							

PAGE NO.  
SHT 8



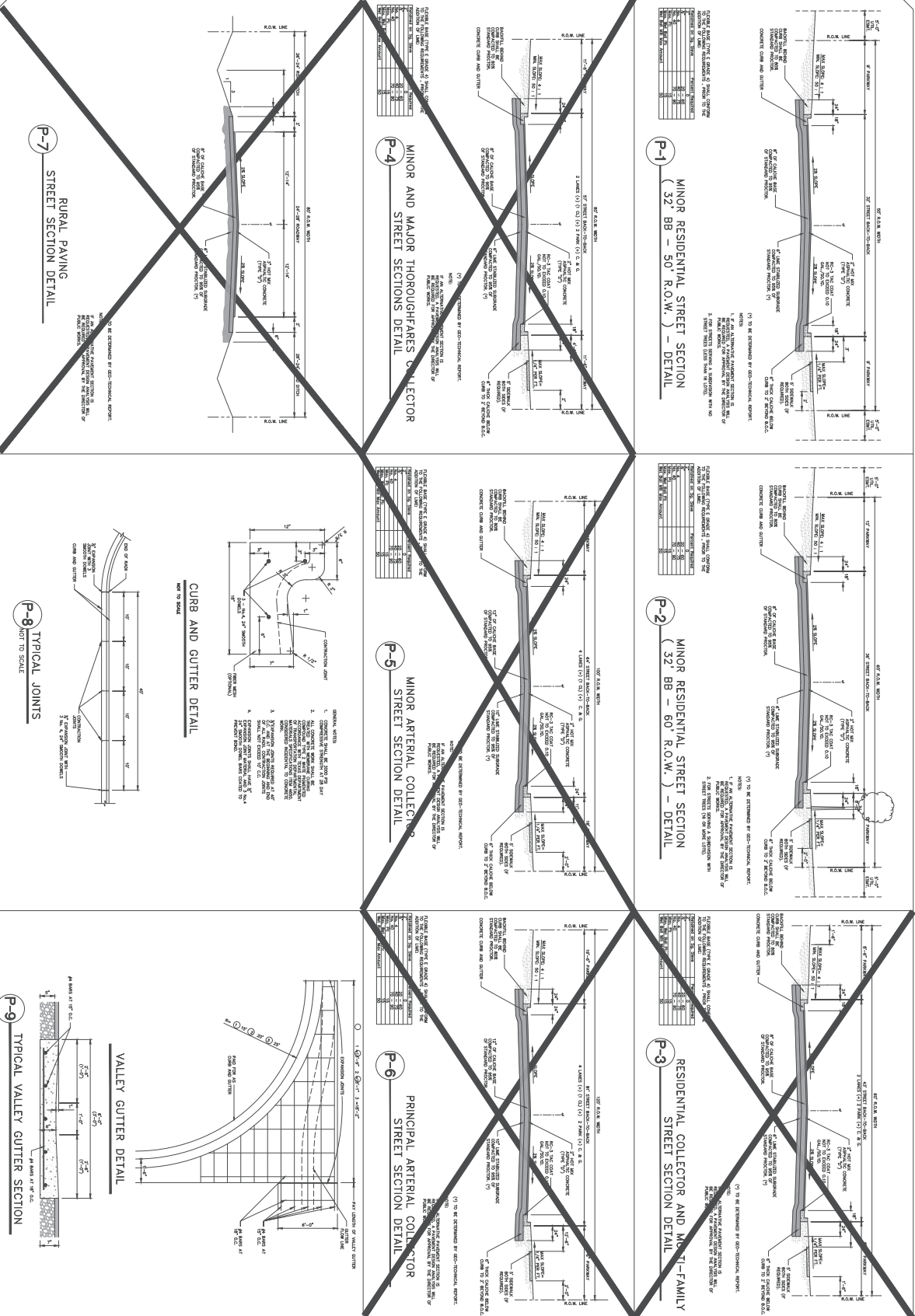


N:\07 STANDARDS MANUAL\2019\A - REV-11-24-20-192516.dwg - MAY 16, 2019 - 11:08AM

COVERED PIPE	PIPE CLASS	MIN. THICK.
24"	48"	0.3125"
30"	60"	0.3125"
36"	72"	0.3125"
42"	84"	0.3125"
48"	96"	0.3125"
54"	108"	0.3125"
60"	120"	0.3125"
66"	132"	0.3125"
72"	144"	0.3125"
78"	156"	0.3125"
84"	168"	0.3125"
90"	180"	0.3125"
96"	192"	0.3125"
102"	204"	0.3125"
108"	216"	0.3125"
114"	228"	0.3125"
120"	240"	0.3125"
126"	252"	0.3125"
132"	264"	0.3125"
138"	276"	0.3125"
144"	288"	0.3125"
150"	300"	0.3125"
156"	312"	0.3125"
162"	324"	0.3125"
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174"	348"	0.3125"
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186"	372"	0.3125"
192"	384"	0.3125"
198"	396"	0.3125"
204"	408"	0.3125"
210"	420"	0.3125"
216"	432"	0.3125"
222"	444"	0.3125"
228"	456"	0.3125"
234"	468"	0.3125"
240"	480"	0.3125"
246"	492"	0.3125"
252"	504"	0.3125"
258"	516"	0.3125"
264"	528"	0.3125"
270"	540"	0.3125"
276"	552"	0.3125"
282"	564"	0.3125"
288"	576"	0.3125"
294"	588"	0.3125"
300"	600"	0.3125"
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312"	624"	0.3125"
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324"	648"	0.3125"
330"	660"	0.3125"
336"	672"	0.3125"
342"	684"	0.3125"
348"	696"	0.3125"
354"	708"	0.3125"
360"	720"	0.3125"
366"	732"	0.3125"
372"	744"	0.3125"
378"	756"	0.3125"
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390"	780"	0.3125"
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414"	828"	0.3125"
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438"	876"	0.3125"
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474"	948"	0.3125"
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486"	972"	0.3125"
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1164"	2328"	0.3125"
1170"	2340"	0.3125"
1176"	2352"	0.3125"
1182"	2364"	0.3125"
1188"	2376"	0.3125"
1194"	2388"	0.3125"
1200"	2400"	0.3125"
1206"	2412"	0.3125"
1212"	2424"	0.3125"
1218"	2436"	0.3125"
1224"	2448"	0.3125"
1230"	2460"	0.3125"
1236"	2472"	0.3125"
1242"	2484"	0.3125"
1248"	2496"	0.3125"
1254"	2508"	0.3125"
1260"	2520"	0.3125"
1266"	2532"	0.3125"
1272"	2544"	0.3125"
1278"	2556"	0.3125"
1284"	2568"	0.3125"
1290"	2580"	0.3125"
1296"	2592"	0.3125"
1302"	2604"	0.3125"
1308"	2616"	0.3125"
1314"	2628"	0.3125"
1320"	2640"	0.3125"
1326"	2652"	0.3125"
1332"	2664"	0.3125"
1338"	2676"	0.3125"
1344"	2688"	0.3125"
1350"	2700"	0.3125"
1356"	2712"	0.3125"
1362"	2724"	0.3125"
1368"	2736"	0.3125"
1374"	2748"	0.3125"
1380"	2760"	0.3125"
1386"	2772"	0.3125"
1392"	2784"	0.3125"
1398"	2796"	0.3125"
1404"	2808"	0.3125"
1410"	2820"	0.3125"
1416"	2832"	0.3125"
1422"	2844"	0.3125"
1428"	2856"	0.3125"
1434"	2868"	0.3125"
1440"	2880"	0.3125"
1446"	2892"	0.3125"
1452"	2904"	0.3125"
1458"	2916"	0.3125"
1464"	2928"	0.3125"
1470"	2940"	0.3125"
1476"	2952"	0.3125"
1482"	2964"	0.3125"
1488"	2976"	0.3125"
1494"	2988"	0.3125"
1500"	3000"	0.3125"
1506"	3012"	0.3125"
1512"	3024"	0.3125"
1518"	3036"	0.3125"
1524"	3048"	0.3125"
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1536"	3072"	0.3125"
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1578"	3156"	0.3125"
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1638"	3276"	0.3125"
1644"	3288"	0.3125"
1650"	3300"	0.3125"
1656"	3312"	0.3125"
1662"	3324"	0.3125"
1668"	3336"	0.3125"
1674"	3348"	0.3125"
1680"	3360"	0.3125"
1686"	3372"	0.3125"
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1740"	3480"	0.3125"
1746"	3492"	0.3125"
1752"	3504"	0.3125"
1758"	3516"	0.3125"
1764"	3528"	0.3125"
1770"	3540"	0.3125"
1776"	3552"	0.3125"
1782"	3564"	0.3125"
1788"	3576"	0.3125"
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1800"	3600"	0.3125"
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1812"	3624"	0.3125"
1818"	3636"	0.3125"
1824"	3648"	0.3125"
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1848"	3696"	0.3125"
1854"	3708"	0.3125"
1860"	3720"	0.3125"
1866"	3732"	0.3125"
1872"	3744"	0.3125"
1878"	3756"	0.3125"
1884"	3768"	0.3125"
1890"	3780"	0.3125"
1896"	3792"	0.3125"
1902"	3804"	0.3125"
1908"	3816"	0.3125"
1914"	3828"	0.3125"
1920"	3840"	0.3125"
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1932"	3864"	0.3125"
1938"	3876"	0.3125"
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1950"	3900"	0.3125"
1956"	3912"	0.3125"
1962"	3924"	0.3125"
1968"	3936"	0.3125"
1974"	3948"	0.3125"
1980"	3960"	0.3125"
1986"	3972"	0.3125"
1992"	3984"	0.3125"
1998"	3996"	0.3125"
2004"	4008"	0.3125"
2010"	4020"	0.3125"
2016"	4032"	0.3125"
2022"	4044"	0.3125"
2028"	4056"	0.3125"
2034"	4068"	0.3125"
2040"	4080"	0.3125"
2046"	4092"	0.3125"
2052"	4104"	0.3125"
2058"	4116"	0.3125"
2064"	4128"	0.3125"
2070"	4140"	0.3125"
2076"	4152"	0.3125"
2082"	4164"	0.3125"
2088"	4176"	0.3125"
2094"	4188"	0.3125"
2100"	4200"	0.3125"
2106"	4212"	0.3125"
2112"	4224"	0.3125"
2118"	4236"	0.3125"
2124"	4248"	0.3125"
2130"	4260"	0.3125"
2136"	4272"	0.3125"
2142"	4284"	



N:\City Standards Manual\Construction\SECTION 2 - STREETS\POLY\CAD Details\A-utl\_24x36.dwg - Sep 06, 2018 - 9:24AM



FILE NAME:	DATE:	DESIGNED BY:	DRAWN BY:	CHECKED BY:
PAVING SYSTEM	MAY 2014	P/JAO	RM	P/JAO
STANDARD DETAILS				

THE CITY OF

# Edinburg

Engineering

EDINBURG

2000

PRELIMINARY

THIS DOCUMENT IS PREPARED FOR THE REVIEW UNDER THE IAN GARCIA & ASSOCIATES, INC. PROFESSIONAL SEAL. IT IS NOT TO BE USED FOR ANY OTHER PURPOSES.

## TYPICAL DETAILS

### TESORO DE SANTA CRUZ SUBDIVISION

### EDINBURG

### HIDALGO COUNTY

PROJECT:

DESIGNED BY: P.E. R.P.S.

DRAWN BY: R.P.S.

SCALE: 0.4" = 1'-0"

DATE: OCTOBER 10, 2021

PROJECT: SHT 21.052

SCALE: NO TO SCALE

SHEET NO. 12

**RIO DELTA ENGINEERING**

FIRM REGISTRATION No. F-7828

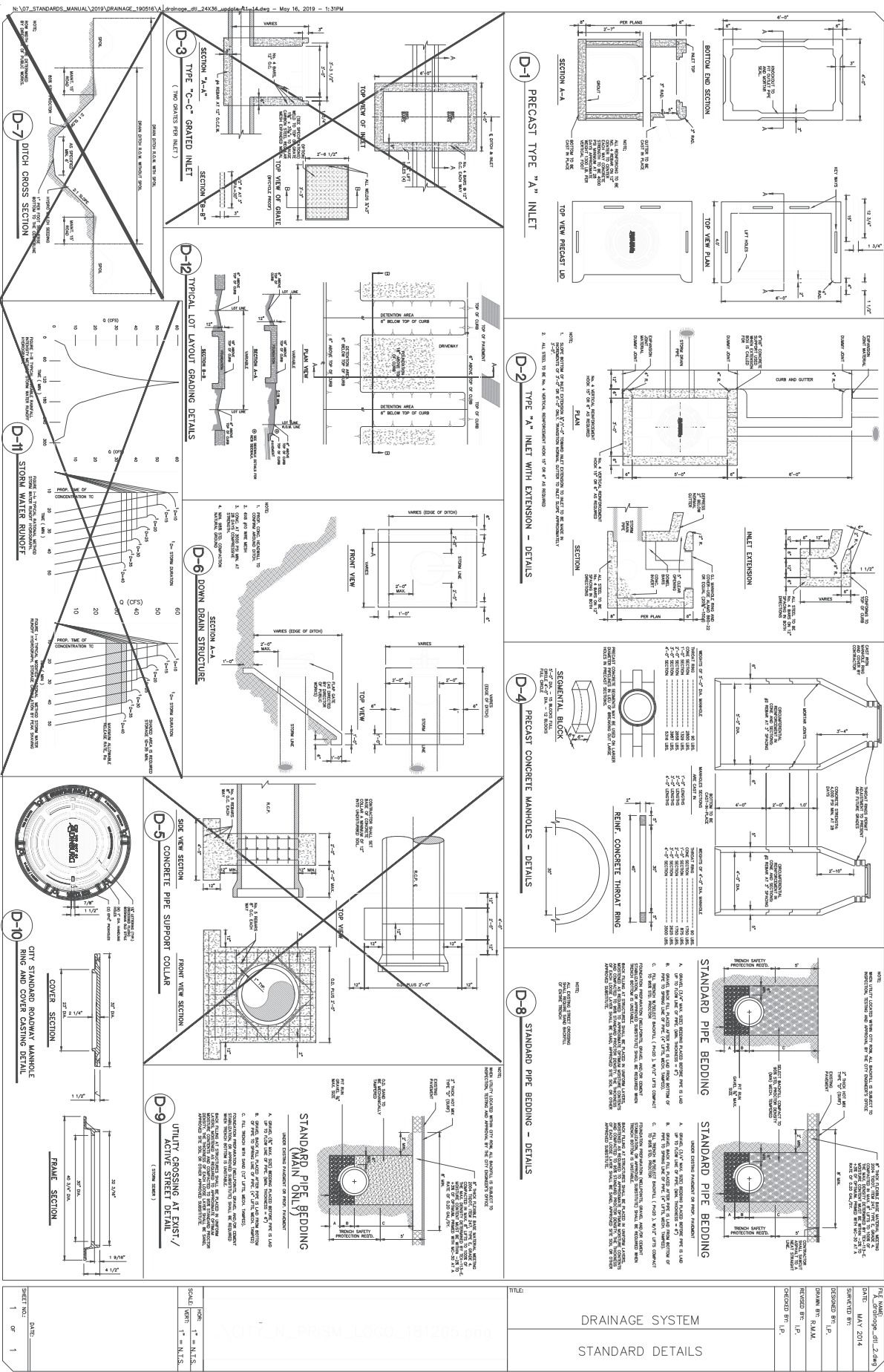
SURVEY FIRM No. 10194027

921 S. 10TH AVENUE EDINBURG, TEXAS 78539

(TEL) 956-380-5152 (FAX) 956-380-5083







DATE: MAY 2014	DESIGNED BY: R.A.M.	DRAWN BY: R.A.M.	REVIEWED BY: J.P.	CHECKED BY: J.P.
SHEET NO. 1 OF 1				



To: Jaime Xavier Ayala, Planning and Zoning Department

CC: Able Beltran, Planning and Zoning Department

From: Robert Valenzuela, Stormwater Manager  
Larry Ayala, Assistant Public Work Director

Date: October 27, 2021

Subject: Citrus Gardens Subdivision

## Public Works

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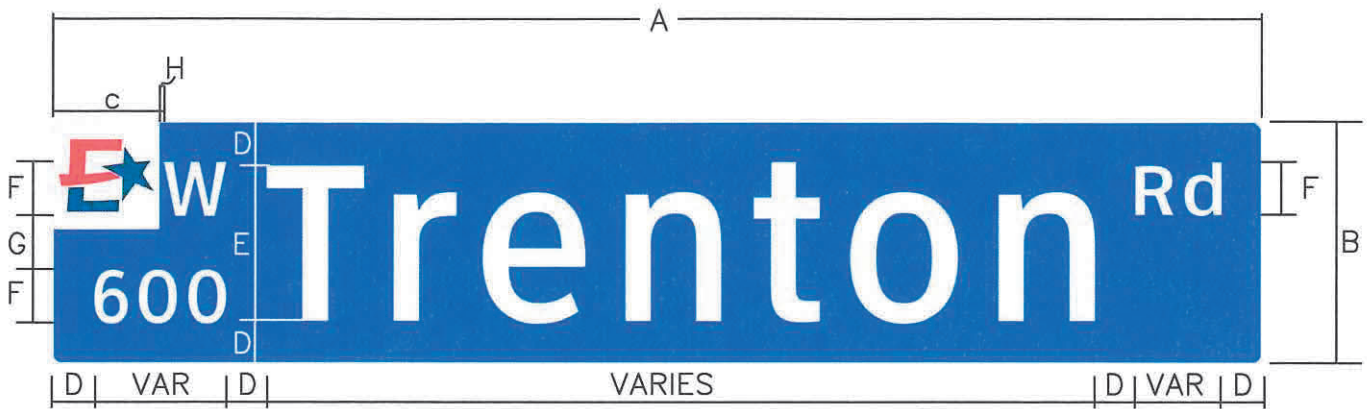
### Required Information

1. Traffic Stop Signs
  - Size 30" (Aluminum)
  - Film HIP
  - Metal Pole 2 3/8" Minimum of 7' from Ground
  - Socket & Wedge (Wedge Facing oncoming Traffic)
  - Pole Installation Minimum of 24" deep (back fill with Concert)
2. Street Name Signs
  - Please refer to the attached street name sign spec's
3. Curb Painting
  - Fire lane 15' in width shall be painted in front of all fire hydrants
  - Provide double face blue fire hydrant street marker on center of the street in front of fire hydrant
  - Stop bar, minimum of 24" from curb to center of street

### Comments

- Please Submit plans with for review
- City of Edinburg follows the TMUTCD (Manual on Uniform Traffic Control Devices.
- <https://ftp.txdot.gov/pub/txdot-info/trf/tmutcd/2011-rev-2/revision-2.pdf>
- If there are any questions or concerns please reach out to Mr. Larry Ayala, Assistant Public Works Director or Mr. Valentin Sanchez, Traffic Manager, 956-388-8210





ITEM	ITEM DESCRIPTION	ITEM SIZE BY SIGN HEIGHT (INCHES)			
A	Sign Length	VAR	VAR	VAR	VAR
B	Sign Height	8	12	18	24
C	Logo Size	3"x3"	5"x5"	6"x6"	8"x8"
D	Spacing between edge of plate and elements	1	2	4	6
E	Street name initial letter height	6CV-3W	8CV-3W	10CV-3W	12CV-3W
F	Pre-directional, block range and street type height	2CV-3W	3CV-3W	4CV-3W	5CV-3W
G	Spacing between pre-directional and block range	2	2	2	2
H	Spacing between logo and pre-directional	VAR	VAR	VAR	VAR
NOTE: PLATE BACKGROUND COLOR IS BLUE (RGB: 0,0,255)					

Apr 07, 2021 - 2:01PM

**P-24**

## STREET SIGN DETAIL

SCALE: N.T.S.

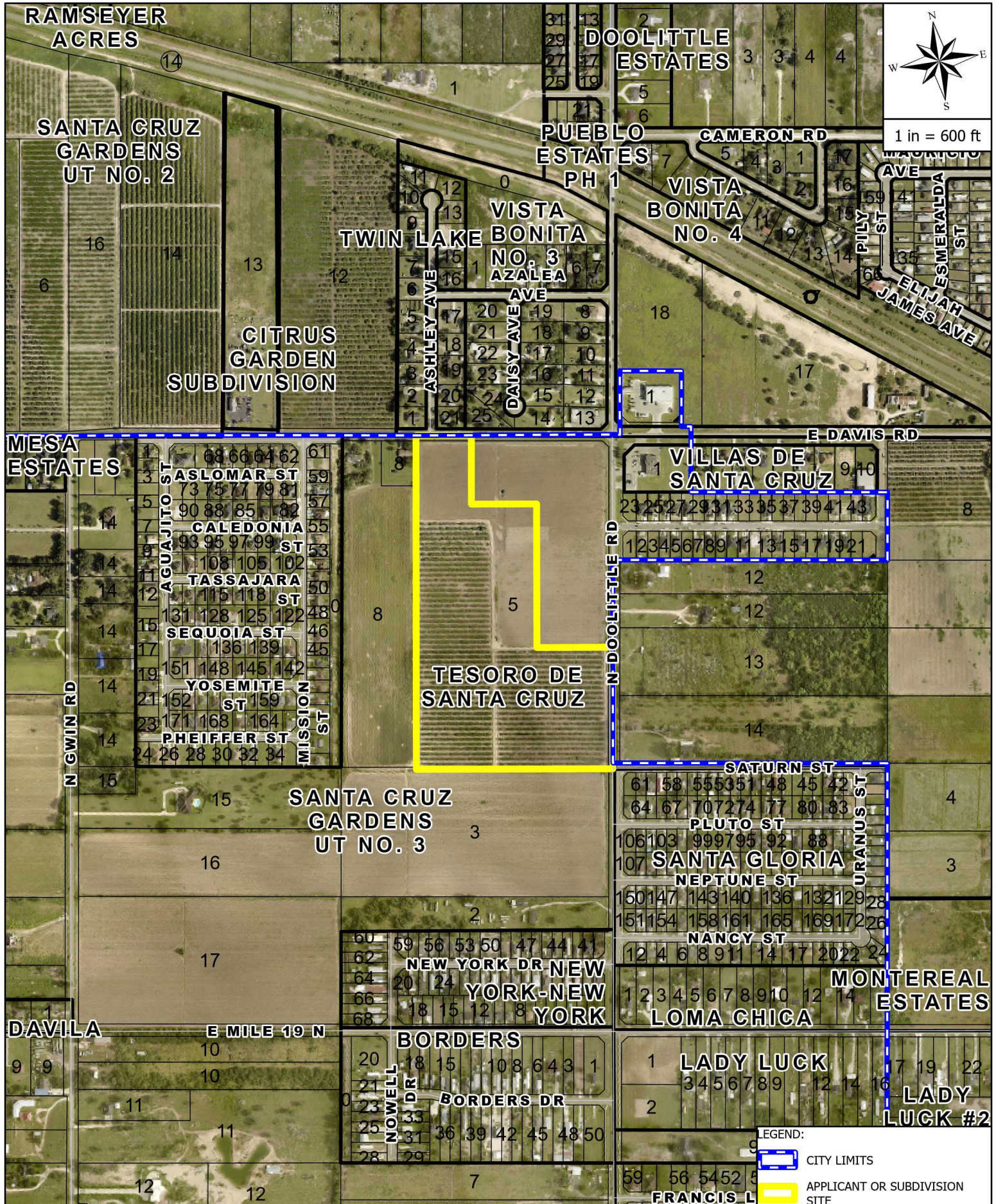
DATE: 04/2021

REVISED: SCASTRO

DRAWN BY: AVALDEZ







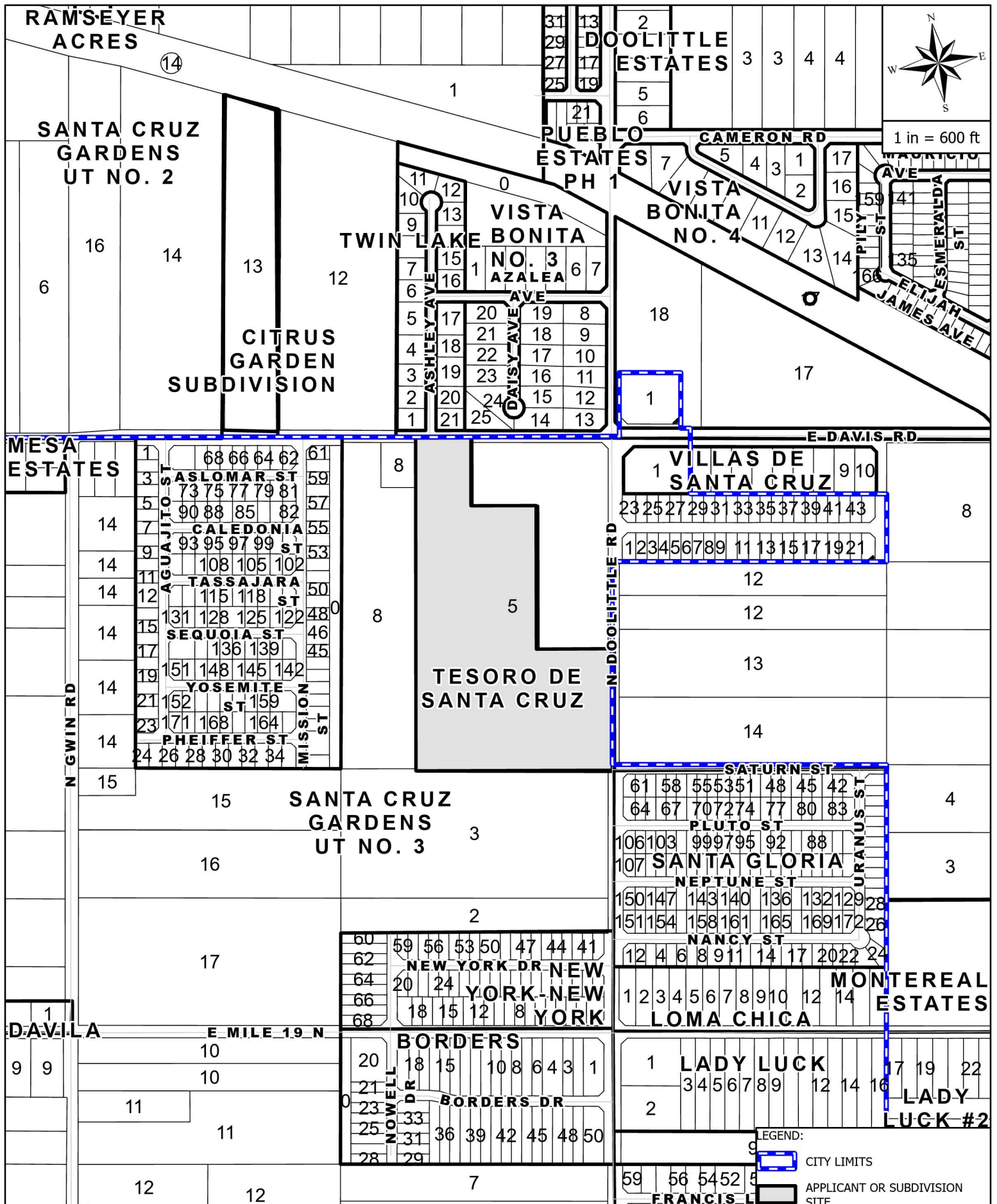
**AERIAL MAP**

**AERIAL**

**APPLICANT AND/OR SUBDIVISION:**

**RIO DELTA ENGINEERING - TESORO DE SANTA CRUZ SUBDIVISION**





# **MAILOUT AND SITE MAP**

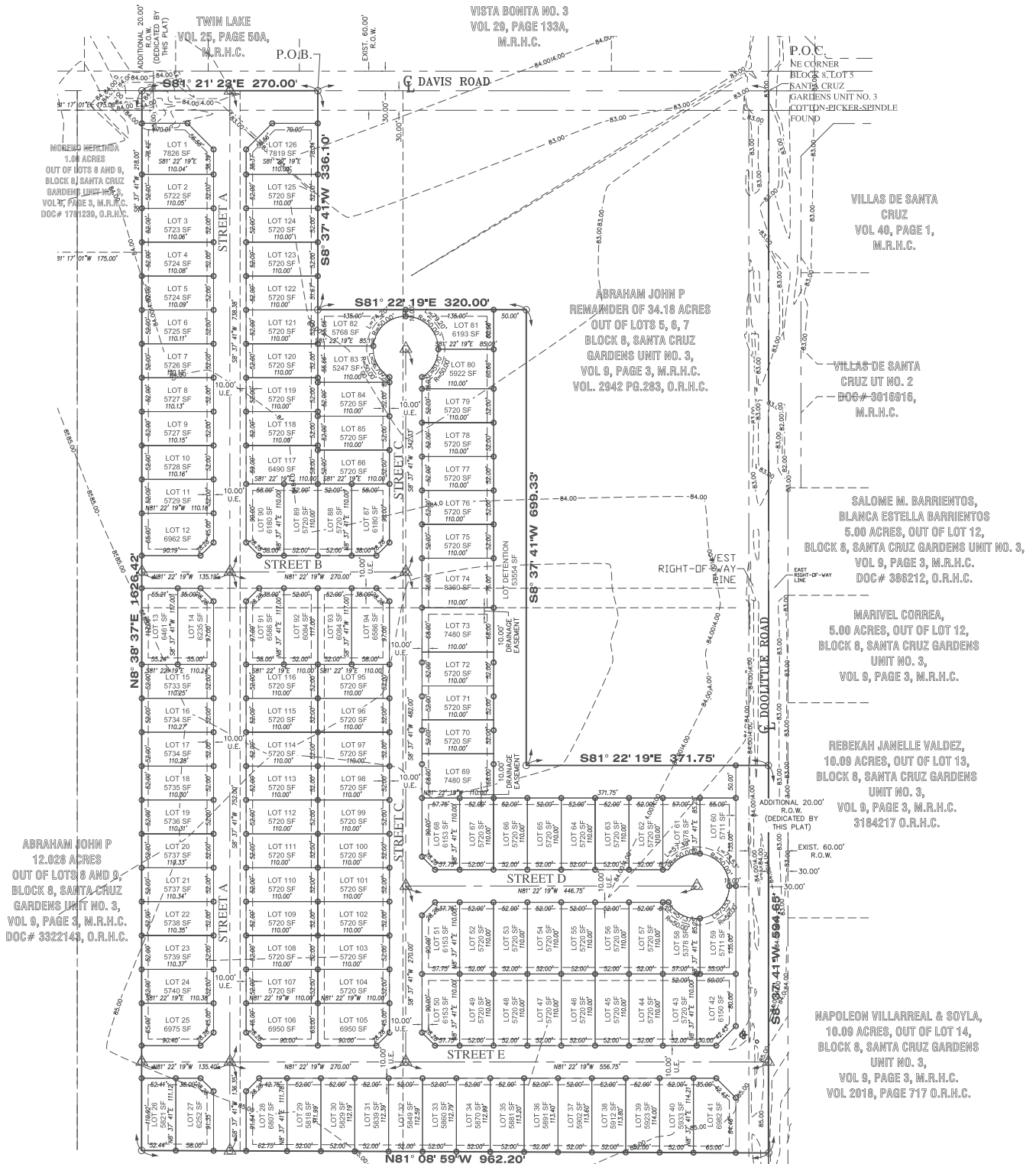
**APPLICANT AND/OR SUBDIVISION:**

**RIO DELTA ENGINEERING - TESORO DE SANTA CRUZ SUBDIVISION**



# TESORO DE SANTA CRUZ SUBDIVISION

BEING A 24.65 ACRES OUT OF LOTS 5, 6, 7 AND 8, BLOCK 8 SANTA CRUZ GARDENS UNIT NO. 3, ACCORDING TO THE MAP OR PLAT THEREOF RECORDED IN VOLUME 9, PAGE 3, MAP RECORDS OF HIDALGO COUNTY, TEXAS.



Case # **PLAT-2022-0130****Edinburg**Planning & Zoning Department  
415 W. University Drive  
Edinburg, Texas 78539

(956) 388-8202

## Subdivision Application

Date: September 29, 2022 Request Type: Preliminary Plat

1. Exact Name of Subdivision: TESORO DE SANTA CRUZ SUBDIVISION
2. Property Owner: JOHN P. ABRAHAM 3. Developer: FORTIS LAND COMPANY, LLC
4. Owner Phone: \_\_\_\_\_ 5. Owner Email: OMAR@OGBUILD.COM
6. Owner Address: 1501 NORTHGATE LN MCALLEN, TX 78504
7. Current Zoning: UR - Urban Residential 8. Required Zoning UR - Urban Residential
9. Legal Description: \_\_\_\_\_  
A 24.58 ACRES TRACT OF LAND, OUT OF AND FORMING A PART OR PORTION OF LOTS  
5,6,7, AND THE EAST 5.63 ACRES OF LOT 8, BLOCK 8, SANTA CRUZ GARDENS UNIT NO.3  
SUBDIVISION, RECORDED IN VOLUME 9, PAGE 3, MAP RECORDS OF HIDALGO COUNTY,  
TEXAS. 10. Property ID: 278891
11. Inside City Limits? Yes If "No," is in the \_\_\_\_\_ Comprehensive Development Area \_\_\_\_\_ Rural Development Area
12. Primary Consulting Firm: RIO DELTA ENGINEERING 13. Phone: (956) 380-5152
14. Consulting Firm Address: 921 S. 10TH AVE EDINBURG, TX 78539
15. Consulting Firm Email(s): RIODELTA2004@YAHOO.COM
16. Desired Land Use Option: Single Family
17. Number of Lots: Single Family 126 Multi-Family \_\_\_\_\_ Commercial \_\_\_\_\_ Industrial \_\_\_\_\_
18. Proposed Wastewater Treatment: ☒ Sanitary Sewer \_\_\_\_\_ OSSF (On-Site Sewage Facility)
19. Electric Power and Light Company to Serve the Proposed Subdivision: Magic Valley Electric Co-op
20. Irrigation District: Santa Cruz No. 15 Potable-water Retailer: North Alamo Water Supply Corp.

Owner of record, holding title to real estate within the proposed subdivision. Ownership instrument (i.e. Title Policy, Warranty Deed and Deed of Trust) shall be submitted with application. All such owners are listed immediately below.

Name(s) (Print or Type)	Mailing Address & Zip Code
Phone Number	Email

**RECEIVED**

OCT 11 2022

Name: A. Beltran

Have any of said owners designated agents to submit and revise this plat application on their behalf?

☐ Yes ☐ No (If "Yes" attached duly notarized documentation to that effect, signed by each such owner.)

The undersigned owners of record (or their authorized agents) hereby agree to make all the improvements, and to meet all the requirements and standards as specified in the City of Edinburg Code of Ordinances. The undersigned hereby request that the Edinburg Planning & Zoning Commission and the City Commission approve the attached subdivision plat. The undersigned hereby declared that we have made a diligent effort to ensure that all items contained in this application (including all construction plans) are true and complete. Developer's requirement sheet must be completed, signed, and submitted with the application form.

Signature

John Abraham

Date

9-29-22

**SUBDIVISION WITHIN CITY LIMITS CHECK LIST**
**PRELIMINARY / FINAL REVIEW**

PLANNING &amp; ZONING DEPARTMENT (956) 388-8202

**SUBDIVISION PROCESS**

 Date : **November 3, 2022**

APPROX. 1.63-Miles East of the East City Limit Line

Date Filed: <b>October 11, 2022</b>	P&Z Preliminary: <b>November 8, 2022</b>	P&Z Final:	City Council:
Reviewed : By: <b>Abel Beltran, Subd. Coord.</b> <a href="mailto:abeltran@cityofedinburg.com">abeltran@cityofedinburg.com</a>	Staff Review : <b>October 20, 2022</b> Staff / Engineer : <b>October 27, 2022</b> If Variances Requested	Time Line : <b>365</b> Days 1st Extension : <b>0</b> Days 2nd Extension : <b>0</b> Days	Expires : <b>October 11, 2023</b> Expires 1: <b>October 11, 2023</b> Expires 2:

Director of Planning & Zoning	Jaime Acevedo, Planning Director	Email : <a href="mailto:jacevedo@cityofedinburg.com">jacevedo@cityofedinburg.com</a>	City Office #: (956) 388-8202
Director of Utilities	Gerardo Carmona, P.E.	Email : <a href="mailto:gcarmona@cityofedinburg.com">gcarmona@cityofedinburg.com</a>	City Office #: (956) 388-8212
Director of Public Works	Vincent Romero	Email : <a href="mailto:layala@cityofedinburg.com">layala@cityofedinburg.com</a>	City Office #: (956) 388-8210
Director of Engineering	Mardoqueo Hinojosa, P.E., CPM	Email : <a href="mailto:mhinojosa@cityofedinburg.com">mhinojosa@cityofedinburg.com</a>	City Office #: (956) 388-8211

Owner:	Albert Hanks, Management	502 E. Expressway 83, Weslaco, TX. 78596	Guillermo A. Arratia, PE, Project Engineer		
CURVE CROSSING SUBDIVISION			Consultant : NAIN ENGINEERING, L.L.C., DONNA, TX.		
DESCRIPTION	Provided	Need to Provide	Not Applicable	Need to Revise	COMMENTS

**Subdivision Process:**

Subdivision Plat Submittal	✓				Variance
Warranty Deed	✓				
Topography Survey	✓				
Drainage Report Submittal (As Per City Drainage Policy)	✓				Approved by H.C.D.D.#1 Date: Pending Approval
Zoning : City Limits - ETJ	✓				
Flood Zone	✓				Zone "B" (Med Shading) Panel # 480334-0425 E (Nov. 16, 1982)

**Preliminary Submittals:**

Existing & Proposed Water Distribution Layout	✓				North Alamo Water Supply Corporation - Water Distribution
Water Distribution System Provider:	✓				North Alamo Water Supply Corporation - Water Distribution
Existing & Proposed Sewer Collection Layout	✓				County of Hidalgo O.S.S.F., (On-Site Sewage Facility)
Sanitary Sewer Collection System Provider:	✓				County of Hidalgo O.S.S.F., (On-Site Sewage Facility)
Existing and Proposed Drainage Layout System:	✓				Proposed Drainage System onto H.C.D.D. # 1
Collector Street Right-of-way Dedication (60-ft ROW)		✓			Street Section (Existing Original Plat Street Section - 43-ft B-B)
Principal Arterial Street pavement Section (43-ft B-B)		✓			In Accordance to Standard Street Policy
Variances Appeals Request: 2022		✓			Planning & Zoning Meeting Results City Council Meeting
Street Widening Improvements (Curve/Texas Roads)		✓			
Street 5-ft Sidewalk Improvements (Curve/Texas Roads)		✓			
Drainage Improvements		✓			

**Construction Plans Review Submittals:**

(See Section 4 Construction Plans Submittals Policy, 2014 STANDARD POLICY MANUAL)

Cover Sheet		✓			
Topography Sheet (Utilities, Bench Marks)		✓			
Sanitary Sewer Improvements: On-Site & Off-Site		✓			City of Edinburg Sanitary Sewer Collection System
Sanitary Sewer Detail Sheets		✓			See Section 3 Utility Policy, 2014 Standard Policy Manual
Water Distribution Improvements: On-Site & Off-Site		✓			City of Edinburg Water Supply Corporation - Water Distribution
Water Distribution Detail Sheet (Fire Hydrant Assembly)		✓			See Section 3 Utility Policy, 2014 Standard Policy Manual
Drainage Improvements:		✓			
Drainage Detail Sheets		✓			See Section 1 Drainage Policy, 2014 Standard Policy Manual
Principal/Major Arterial Streets Improvements:		✓			See Section 2 Streets Policy, 2014 Standard Policy Manual
Street Sign Sheet:		✓			
Street Detail Sheets		✓			See Section 2 Streets Policy, 2014 Standard Policy Manual
Street Lighting Sheet:		✓			
Traffic Control Plan:		✓			
Erosion Control Plan		✓			
Erosion Control Plan Detail Sheet		✓			See Storm Water Management, 2014 Standard Policy Manual



DESCRIPTION	Provided	Need to Provide	Not Applicable	Need to Revise	COMMENTS
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**Pre-Construction Meeting:**

Notice To Proceed			✓		Dated:
Roadway Open-Cut or Bore Permit Application			✓		Dated:
TX-Dot Water UIR Permit			✓		Dated:
TX-Dot Sewer UIR Permit			✓		Dated:
N.O.I. Submittal			✓		Dated:
SWPP Booklet Submittal			✓		Dated:
RFI #1 Request			✓		Dated:
Change Orders			✓		Dated:
Final Walk Though			✓		Dated:
Punch List - 1st Draft			✓		Dated:
Punch List - Final			✓		Dated:
Letter of Acceptance			✓		Dated:
1-year Warranty (Water/Sewer/Paving/Drainage)			✓		Dated:
Backfill Testing Results			✓		Dated:
As-Built (Revised Original Submittal)			✓		Dated:

**Recording Process:**

Public Improvements with (Letter of Credit)			✓		Dated:	Expires:
Recording Fees	\$ 106.00		✓		As required by County Clerks office	
Copy of H.C.D.D. #1 of invoice	\$ 250.00		✓		Required to be paid prior to Final Stages	
Street Light Escrow	\$ -		✓		Required: 0	EA. @ \$ -
Street Escrow: (Curve / Texas Roads)	\$ 17,626.25		✓		Required: 310	LF @ \$ 56.86
Sidewalk Escrow: (Curve / Texas Roads)	\$ 17,626.25		✓		Required: 310	LF @ \$ 56.86
TOTAL OF ESCROWS:	\$ 35,252.50					
Total Developer's Construction Cost: (Letter of Credit)			✓		Date :	Lender :
Laboratory Testing Fee: 3%	\$ -		✓		\$ -	FINAL Construction Cost
Inspection Fee: 2%	\$ -		✓		\$ -	FINAL Construction Cost
Park Land Fees: Park Zone #	\$ 3,600.00		✓		6 Lots @ \$ 600.00	Full rate within the ETJ
0 Residential \$ -	\$ -		✓		50% Development	50% Building Stage
0 Multi-Family \$ -	\$ -		✓		50% Development	50% Building Stage
Water Rights: NAWSC - CCN	\$ -		✓		0.00 Acres	\$ 3,445.00
Water 30-year Letter (Commercial)	\$ -		✓		6 Lots @ \$ -	NAWSC WATER - CCN
Water 30-year Letter (Multi-Family)	\$ -		✓		0 Lots @ \$ -	NAWSC WATER - CCN
Sewer 30-Year Letter Service (6")	\$ -		✓		0 Lots @ \$ -	COUNTY SEPTIC SYSTEM
TOTAL OF FEES:	\$ 3,600.00					

**Reimbursements:**

Developer Sewer Improvements	\$ -		✓		Off-Site System: 0.00	AC	\$ -
Developer Water Improvements	\$ -		✓		Off-Site System 0.00	AC	\$ -
TOTAL OF REIMBURSEMENTS:	\$ -						

**Buyouts:**

North Alamo Water Supply Corporation	\$ -		✓		Required Buyout 0.00	AC.	\$ -
Sharyland Water Supply Corporation			✓		Not Applicable		

**Tax Certificates**

County of Hidalgo / School District		✓					
Water District		✓			Hidalgo County Irrigation District # 1		

**Total of Escrows, Fees, Reimbursements and Buyouts:**

Total of Escrows, Fees, Reimbursements and Buyouts:				
Escrows	\$	-	Street & Sidewalk Improvements for (Texas / Curve Roads)	
Material Testing Fee Inspection Fees, Other F	\$	3,600.00	Parkland Fees, Water Rights/Water & Sewer 30-year Agreements	
Reimbursements - 2022	\$	-	Reimbursement to the Developer N/A	
2022 City of Edinburg			0%	Payable to the City of Edinburg for Administrative Fee
2022 To the Developer of Record	\$	-	0%	Payable to the Developer of Record Owner / Developer
Buyouts	\$	-	Based on Subdivision (Need Request and Approval rate from SWSC/NAWSC Broads)	
	TOTAL :	\$	3,600.00	Developer Total Cost of Fees, Escrows, Reimbursements & Buyouts

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## STAFF REPORT: THE VILLAS ON CANTON SUBDIVISION

Date Prepared: October 26, 2022  
Planning and Zoning Meeting: November 8, 2022  
Preliminary Plat

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Subject:	Consider the Preliminary Plat of The Villas on Canton Subdivision, being a 10.00 acre tract of land out of Lot 2, Block 55, Alamo Land and Sugar Company Subdivision, located at 3500 East Canton Road, as requested by Melden & Hunt, Inc.
Location:	The property is located on the south side of E. Canton Road and west of S. Ceasar Chavez Road, within the City of Edinburg's City Limits.
Zoning:	Property zoning is currently Agriculture (AG) District with proposed Residential, Multi-Family and Urban (RM) District.
Setbacks:	Setbacks for Residential/Multi-Family & Urban District (RM) are as follows: Front 10 ft., Side 5 ft., and Rear 15 ft.
Analysis:	The Preliminary Plat is proposing 28 lots averaging approximately (10,250.00) square feet for a multi-family residential lot development.
Utilities:	Water Distribution System will be provided by a City of Edinburg Water Supply Distribution System and within North Alamo Water Supply Corporation CCN that requires a Buyout in order to serve propopsed development. Sanitary Sewer Collection System will be provided by City of Edinburg. All utility improvements within the proposed subdivision that are not limited to water system, sewer system, curb & gutter, and fire hydrants will be installed by the developer in accordance with the approved 2021 Standards Manual.

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### Recommendations:

#### **City of Edinburg Planning & Zoning Department:**

Staff recommends approval of the Preliminary Plat, subject to compliance with the Unified Development Code, General Notes; on FEMA flood zone, zoning, setbacks, finish floor elevation, benchmark, drainage detention, parkland fees, limited access, SWP3 requirements, sidewalks, and other notes as required based on development.

#### **City of Edinburg Engineering / Utilities Department:**

Preliminary Phase Submittal comments for this subdivision are included in the packet. As per Engineering, the plat shall be Preliminarily Approved until all comments have been addressed by the project engineer.

**City of Edinburg Fire Department:**

The following are the preliminary phase submittal comments as noted by the Fire Department:

1. Provide street names to the City of Edinburg Engineering Department for approval.
2. Fire lane 15-ft. in width shall be painted in front of all fire hydrants.
3. Provide double face blue fire hydrant street marker on center on the street in front of the fire hydrant.
4. Fire hydrant shall be every 300-ft. for commercial general district as per Section 507.5.1 of 2012 IFC.
5. All streets should be based as per 2021 Standards Manual Standards, Construction & Development Requirements.

**City of Edinburg Storm Water:**

The following are the preliminary phase submittal comments as noted by Storm Water:

1. **SW3P** (Stormwater Pollution Prevention Plan)
2. **NOI** (Notice of Intent, Per TCEQ)
3. **Large Construction Notice** (Per TCEQ Inventory)
4. **Detailed Erosion Control Plan** (Silt Fence, Construction Entrance, Inlet Protection, Concrete Washout)
5. **Detailed Post Construction BMP's Plan** (70% Vegetation or Silt Fence back of curb)
6. **Plat Note** (All construction shall comply with Stormwater Pollution Prevention Plan (SW3P) requirements. Erosion and Sedimentation Controls constructed in accordance with the Stormwater Ordinance 98.30 of the City of Edinburg are required for all construction on each lot including single family and duplex/multi-family construction)
7. **NOT** (Notice of Termination, Per TCEQ) will now be required before the final walk through.
8. **Comments:**
  - SW3P Plat note has been revised. Please see the note for your reference.
  - NOT will need to be submitted before the final walk through.
  - Stormwater is now requiring a Post Construction Plan on plans that are submitted, either 70% vegetation or Install Silt Fence behind the back of curb.
  - Silt Fence around the entire project.
  - Large Construction Notice needs to be submitted with contractors contact information.
  - All items must be submitted before the NTP is issued.
  - Please email pending items to [rvalenzuela@cityofedinburg.com](mailto:rvalenzuela@cityofedinburg.com)

**City of Edinburg Solid Waste:**

The Multi-Family Residential Development can be served by the City of Edinburg with a Buyout.





## ENGINEERING DEPARTMENT

### Preliminary Staff Review

October 27, 2022

**Mario Reyna, P.E.**

Melden & Hunt INC.  
115 W. McIntyre  
Edinburg, TX 78541  
(956) 381-0981

**RE: THE VILLAS ON CANTON – PRELIMINARY REVIEW**

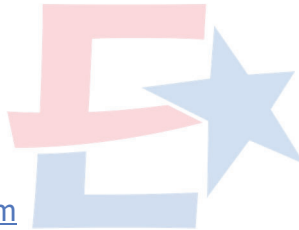
Mr. Reyna,

Attached are the Preliminary Phase Submittal comments for The Villas on Canton Subdivision. Submittal is adequate as presented and recommended for preliminary approval.

Any questions feel free to contact us.

Thanks,

Digitally signed by Peter  
Hermida  
Date: 2022.10.27  
15:38:15 -05'00'



Peter Hermida, P.E.

Email: [phermida@cityofedinburg.com](mailto:phermida@cityofedinburg.com)

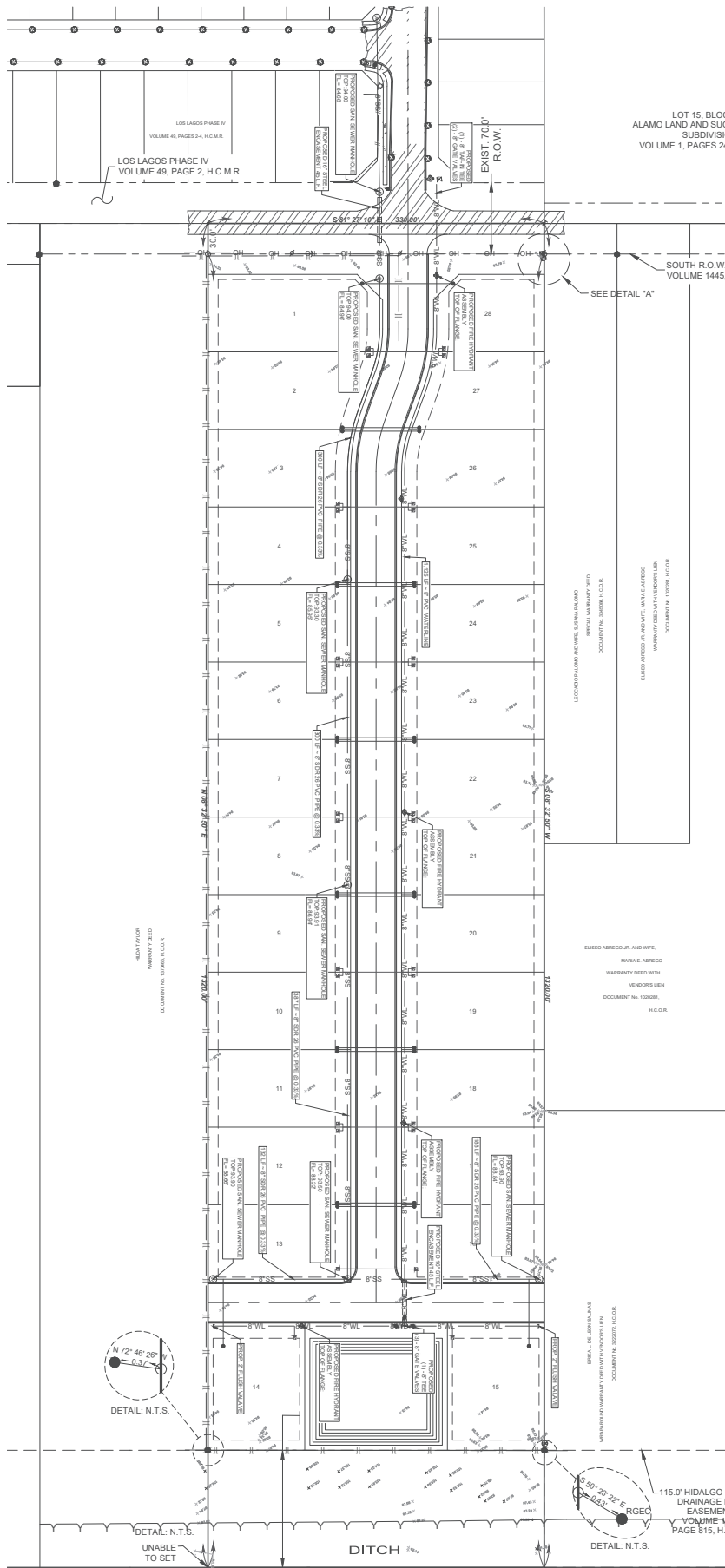
415 W. University Drive  
Edinburg, Texas 78539

Cc: Mardoqueo Hinojosa, P.E., CFM, City Engineer, Patrizia Longoria, P.E., Engineer III, Roberto Hernandez, CFM, Engineer II, Abel Beltran, Planner I, Vince Romero, Director of Public Works, Robert Valenzuela, Storm Water Specialist, Jaime Acevedo, Director of Planning and Zoning, Rita Lee Guerrero, Management Analyst, Jaime Xavier Ayala, Planner II, Gerardo Carmona P.E., Director of Utilities, Jose Flores, Systems Superintendent, Omar Garza, Fire Marshal, Ramiro Gomez, Director of Solid Waste

**REFERENCES:**

City of Edinburg – 2021 Standard Manual – Construction and Development Requirements; Unified Development Code; and if required a TX-Dot Permitting UIR permitting process.





# UTILITY LAYOUT

THE VILLAS ON  
CANTON  
EDINBURG, TEXAS  
HIDALGO COUNTY

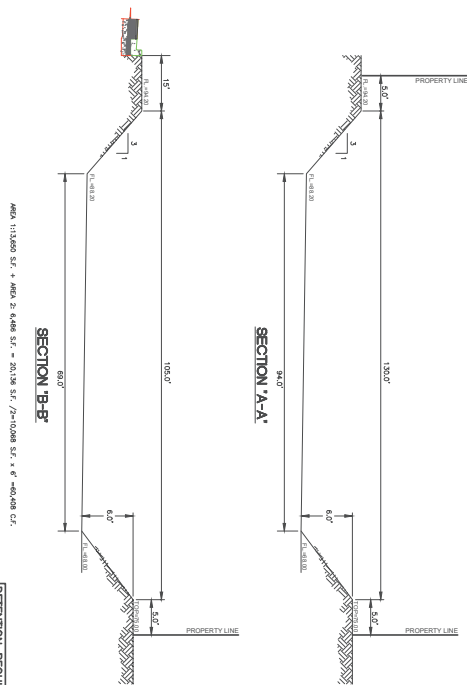
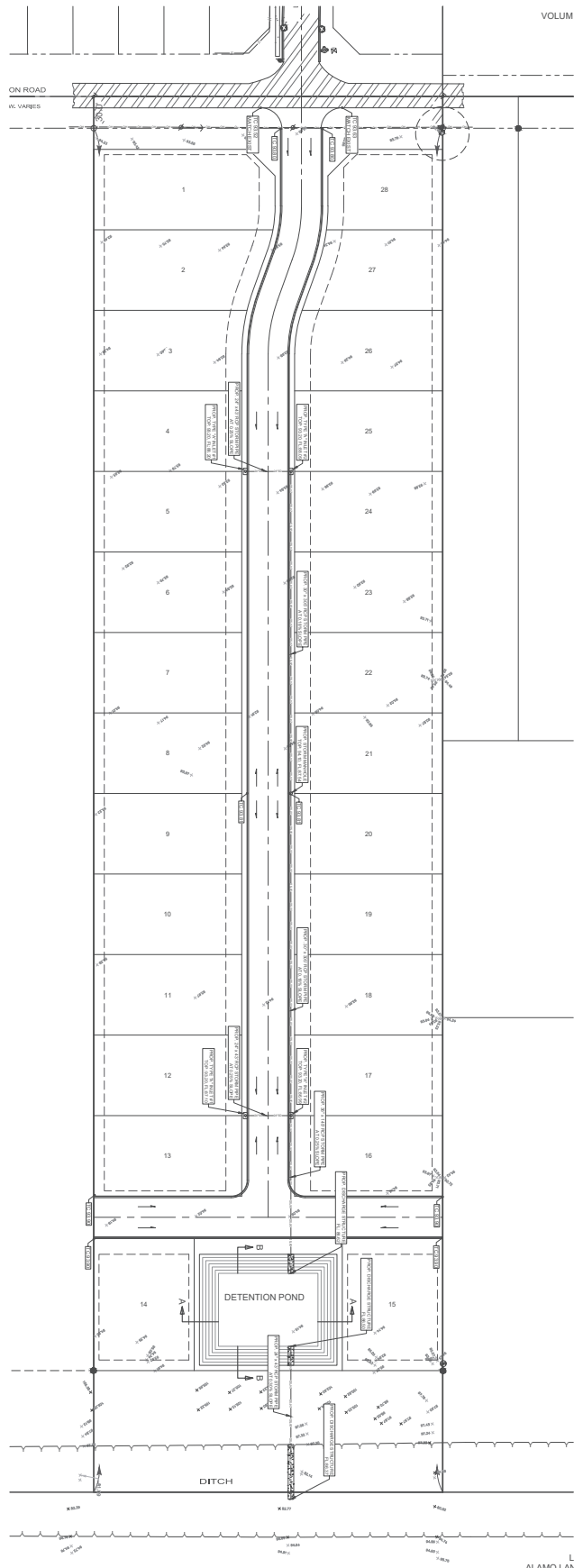
THIS DOCUMENT IS RELEASED  
FOR THE PURPOSE OF INTERNAL  
REVIEW UNDER THE AUTHORITY OF  
THE BOARD OF ENGINEERS AND SURVEYORS  
ON OCTOBER 18, 2022. IT IS NOT  
TO BE USED FOR CONSTRUCTION,  
BIDDING OR PERMIT PURPOSES.

ENR TECH: JESB  
PROJECT ENG: MAR  
1. BOOK: T-2015 PG. 39  
2. RELEASE DATE:  
3. RELEASE DATE:  
4. RELEASE DATE:  
SCALE: 1" = 50'

REVISION	DATE	BY
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115 W. MONTYRE - EDINBURG, TX 78641  
PH: (512) 361-1000 - FAX: (512) 361-1001  
ESTABLISHED 1947 - www.meldenandhunt.com





ADDITIONAL DETENTION REQUIRED: 59,895 C.F.  
 DETENTION PROVIDED: 60,498 C.F.

DETENTION REQUIRED: 59,895 C.F.  
 DETENTION PROVIDED: 60,498 C.F.

# DRAINAGE LAYOUT

THE VILLAS ON  
 CANTON  
 EDINBURG, TEXAS  
 HIDALGO COUNTY

THIS DOCUMENT IS RELEASED  
 FOR THE PURPOSE OF REVIEW  
 REVIEW UNDER THE AUTHORITY OF  
 HARRIS COUNTY, TEXAS  
 ON OCTOBER 16, 2022. IT IS NOT  
 TO BE USED FOR CONSTRUCTION  
 BIDDING OR PERMIT PURPOSES.

ENG. TECH. CESAR  
 PROJECT ENG. MMR  
 1-BOOK: T-1010, PG. 39  
 1. RELEASE DATE:  
 2. RELEASE DATE:  
 3. RELEASE DATE:  
 SCALE: AS NOTED

REVISION  
 DATE BY  
 M Melden & Hunt Inc.  
 115 W. Main Street, 227 N. F.M. 3167  
 Edinburg, TX 78541 Edinburg, TX 78541  
 PH: (956) 381-0981 PH: (956) 487-8255  
 FAX: (956) 381-1530 FAX: (956) 488-6001  
 E-MAIL: info@mh.com

JOB No. 22022



To: Jaime Xavier Ayala, Planning and Zoning Department

CC: Able Beltran, Planning and Zoning Department

From: Robert Valenzuela, Stormwater Manager  
Larry Ayala, Assistant Public Work Director

Date: October 27, 2021

Subject: Citrus Gardens Subdivision

## Public Works

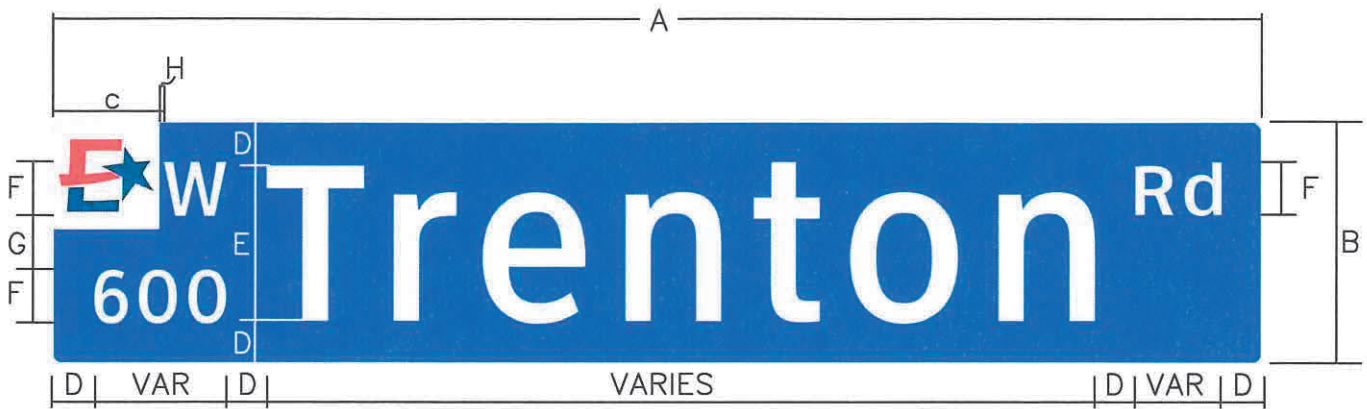
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### Required Information

1. Traffic Stop Signs
  - Size 30" (Aluminum)
  - Film HIP
  - Metal Pole 2 3/8" Minimum of 7' from Ground
  - Socket & Wedge (Wedge Facing oncoming Traffic)
  - Pole Installation Minimum of 24" deep (back fill with Concert)
2. Street Name Signs
  - Please refer to the attached street name sign spec's
3. Curb Painting
  - Fire lane 15' in width shall be painted in front of all fire hydrants
  - Provide double face blue fire hydrant street marker on center of the street in front of fire hydrant
  - Stop bar, minimum of 24" from curb to center of street

### Comments

- Please Submit plans with for review
- City of Edinburg follows the TMUTCD (Manual on Uniform Traffic Control Devices.
- <https://ftp.txdot.gov/pub/txdot-info/trf/tmutcd/2011-rev-2/revision-2.pdf>
- If there are any questions or concerns please reach out to Mr. Larry Ayala, Assistant Public Works Director or Mr. Valentin Sanchez, Traffic Manager, 956-388-8210



ITEM	ITEM DESCRIPTION	ITEM SIZE BY SIGN HEIGHT (INCHES)			
A	Sign Length	VAR	VAR	VAR	VAR
B	Sign Height	8	12	18	24
C	Logo Size	3"x3"	5"x5"	6"x6"	8"x8"
D	Spacing between edge of plate and elements	1	2	4	6
E	Street name initial letter height	6CV-3W	8CV-3W	10CV-3W	12CV-3W
F	Pre-directional, block range and street type height	2CV-3W	3CV-3W	4CV-3W	5CV-3W
G	Spacing between pre-directional and block range	2	2	2	2
H	Spacing between logo and pre-directional	VAR	VAR	VAR	VAR
NOTE: PLATE BACKGROUND COLOR IS BLUE (RGB: 0,0,255)					

Apr 07, 2021 - 2:01PM

**P-24**

## STREET SIGN DETAIL

SCALE: N.T.S.

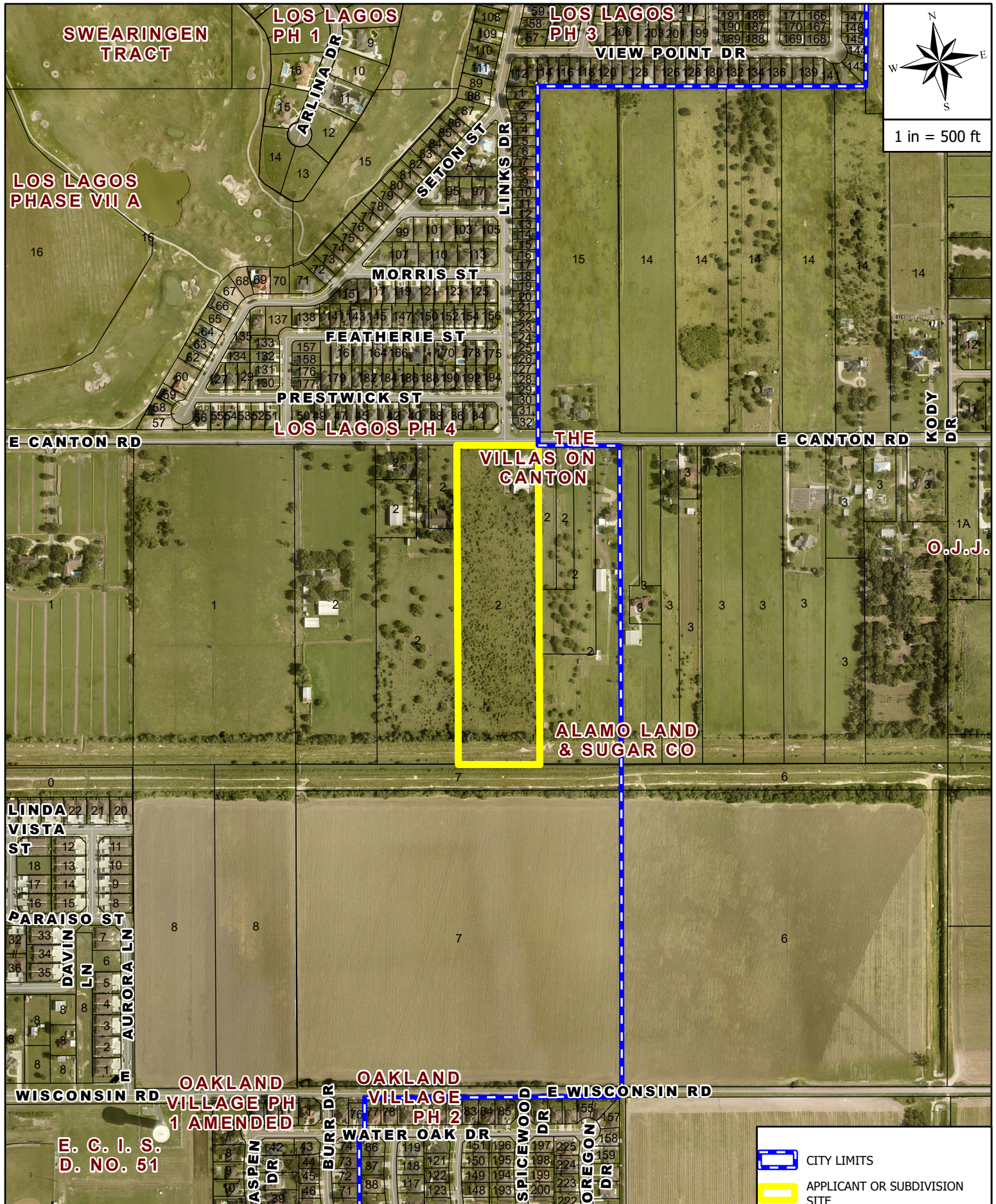
DATE: 04/2021

REVISED: SCASTRO

DRAWN BY: AVALDEZ







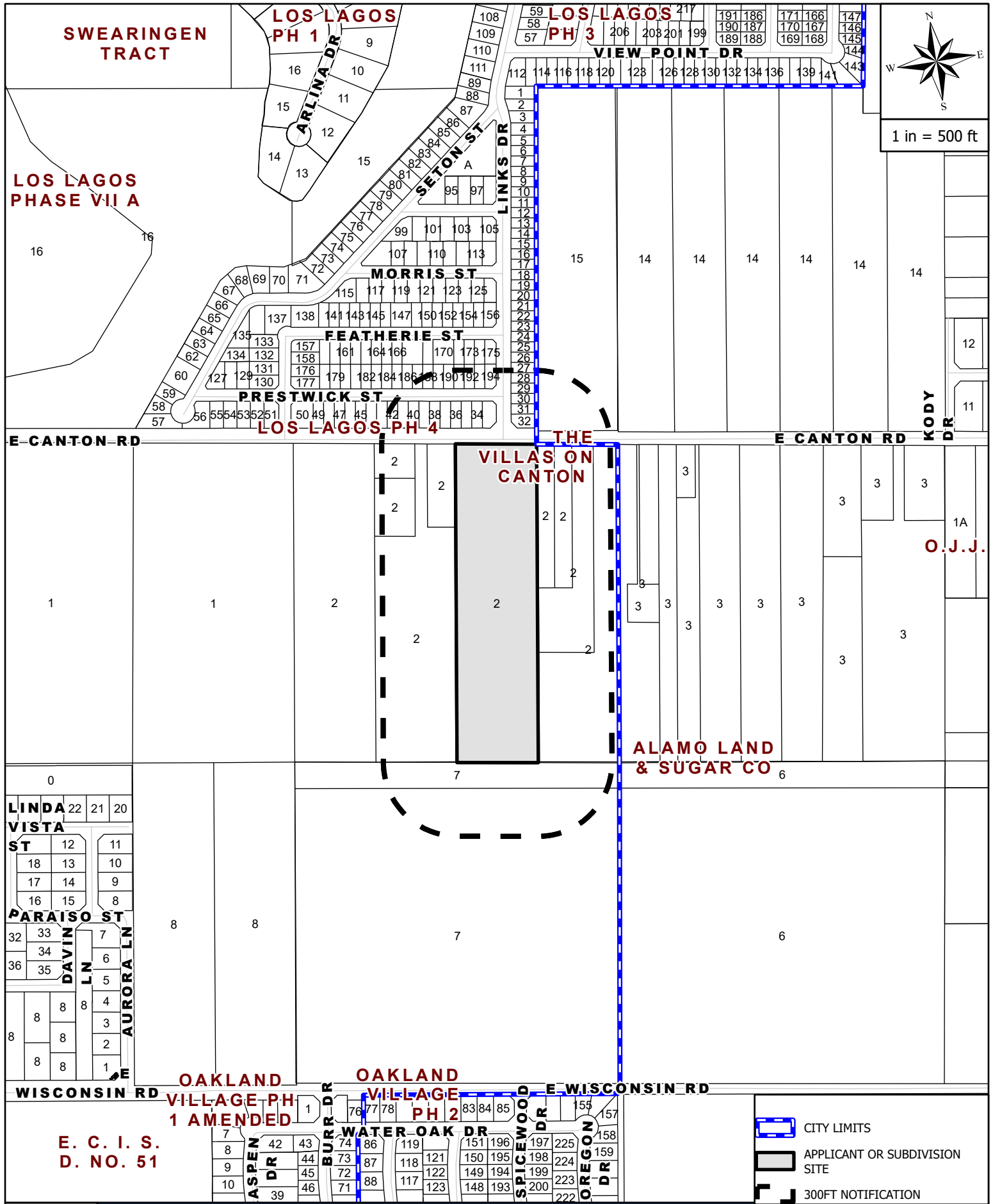
# AERIAL MAP

## APPLICANT AND/OR SUBDIVISION:

Melden & Hunt, Inc./ The Villas on Canton







**MAILOUT AND SITE MAP**

**APPLICANT AND/OR SUBDIVISION:**

**Melden & Hunt, Inc/The Villas on Canton**





## Planning & Zoning

415 West University Drive  
Edinburg, Texas 78539  
(956) 388-8202



THE CITY OF  
**Edinburg**

## Subdivision Application

ENERGOV CASE #

**PLAT-2022-0129**

Date: **September 14, 2022** Request Type: **Preliminary Plat** **Final Plat**

1. Exact Name of Subdivision: **The Villas On Canton**

2. Property Owner: **Herminia Rosa Mendiola** 3. Developer: **Ashish Valecha**

4. Owner Phone: **(956) 381-0981** 5. Owner Email: **mario@meldenandhunt.com**

6. Owner Address: **6110 Diego Lane San Antonio, TX 78253**

7. Current Zoning: **AO - Agriculture/Open Space** 8. Required Zoning **RM - Residential, Multifamily & Urban**

9. Legal Description: **10.000 +/- acres out of Lot 2, Block 55, Alamo Land and Sugar Company Subdivision, Volume 1, Pages 24-26 H.C.M.R , City of Edinburg, Hidalgo County ,Texas**

10. Property ID: **113309**

11. Inside City Limits? **Yes** If "No," is in the \_\_\_\_\_ Comprehensive Development Area \_\_\_\_\_ Rural Development Area

12. Primary Consulting Firm: **Melden & Hunt Inc.** 13. Phone: \_\_\_\_\_

14. Consulting Firm Address: **115 W. McIntyre Street Edinburg , TX 78541**

15. Consulting Firm Email(s): **Mario@meldenandhunt.com**

16. Desired Land Use Option: **Multifamily**

17. Number of Lots: Single Family \_\_\_\_\_ Multi-Family **30** Commercial \_\_\_\_\_ Industrial \_\_\_\_\_

18. Proposed Wastewater Treatment: ☒ Sanitary Sewer \_\_\_\_\_ OSSF (On-Site Sewage Facility)

19. Electric Power and Light Company to Serve the Proposed Subdivision: **Magic Valley Electric Co-op**

20. Irrigation District: **Hidalgo County No. 2** Potable-water Retailer: **North Alamo Water Supply Corp.**

Owner of record, holding title to real estate within the proposed subdivision. Ownership instrument (i.e. Title Policy, Warranty Deed and Deed of Trust) shall be submitted with application. All such owners are listed immediately below.

Name(s) (Print or Type) <b>Herminia Rosa Mendiola</b>	Mailing Address & Zip Code <b>6110 Diego Lane San Antonio, TX 78253</b>
Phone Number <b>(956) 381-0981</b>	Email <b>Mario@meldenandhunt.com</b>

Have any of said owners designated agents to submit and revise this plat application on their behalf?

☒ Yes \_\_\_\_\_ No (If "Yes" attached duly notarized documentation to that effect, signed by each such owner) Name: **A. Beltran**

The undersigned owners of record (or their authorized agents) hereby agree to make all the improvements, and to meet all the requirements and standards as specified in the City of Edinburg Code of Ordinances. The undersigned hereby request that the Edinburg Planning & Zoning Commission and the City Commission approve the attached subdivision plat. The undersigned hereby declared that we have made a diligent effort to ensure that all items contained in this application (including all construction plans) are true and complete. Developer's requirement sheet must be completed, signed, and submitted with the application form.

Signature **[Signature]** Date **10-10-22**

**SUBDIVISION WITHIN CITY LIMITS CHECK LIST**
**PRELIMINARY / FINAL REVIEW**

PLANNING &amp; ZONING DEPARTMENT (956) 388-8202

**SUBDIVISION PROCESS**

 Date : **November 3, 2022**

APPROX. 1.63-Miles East of the East City Limit Line

Date Filed: <b>October 11, 2022</b>	P&Z Preliminary: <b>November 8, 2022</b>	P&Z Final:	City Council:
Reviewed : By: <b>Abel Beltran, Subd. Coord.</b> <a href="mailto:abeltran@cityofedinburg.com">abeltran@cityofedinburg.com</a>	Staff Review : <b>October 20, 2022</b> Staff / Engineer : <b>October 27, 2022</b> If Variances Requested	Time Line : <b>365</b> Days 1st Extension : <b>0</b> Days 2nd Extension : <b>0</b> Days	Expires : <b>October 11, 2023</b> Expires 1: <b>October 11, 2023</b> Expires 2:

Director of Planning & Zoning	Jaime Acevedo, Planning Director	Email : <a href="mailto:jacevedo@cityofedinburg.com">jacevedo@cityofedinburg.com</a>	City Office #: (956) 388-8202
Director of Utilities	Gerardo Carmona, P.E.	Email : <a href="mailto:gcarmona@cityofedinburg.com">gcarmona@cityofedinburg.com</a>	City Office #: (956) 388-8212
Director of Public Works	Vincent Romero	Email : <a href="mailto:layala@cityofedinburg.com">layala@cityofedinburg.com</a>	City Office #: (956) 388-8210
Director of Engineering	Mardoqueo Hinojosa, P.E., CPM	Email : <a href="mailto:mhinojosa@cityofedinburg.com">mhinojosa@cityofedinburg.com</a>	City Office #: (956) 388-8211

Owner:		Albert Hanks, Management		502 E. Expressway 83, Weslaco, TX. 78596		Guillermo A. Arratia, PE, Project Engineer	
CURVE CROSSING SUBDIVISION				Consultant : NAIN ENGINEERING, L.L.C., DONNA, TX.			
DESCRIPTION			Provided	Need to Provide	Not Applicable	Need to Revise	COMMENTS

**Subdivision Process:**

Subdivision Plat Submittal	✓				Variance
Warranty Deed	✓				
Topography Survey	✓				
Drainage Report Submittal (As Per City Drainage Policy)	✓				Approved by H.C.D.D.#1 Date: Pending Approval
Zoning : City Limits - ETJ	✓				
Flood Zone	✓				Zone "B" (Med Shading) Panel # 480334-0425 E (Nov. 16, 1982)

**Preliminary Submittals:**

Existing & Proposed Water Distribution Layout	✓				North Alamo Water Supply Corporation - Water Distribution
Water Distribution System Provider:	✓				North Alamo Water Supply Corporation - Water Distribution
Existing & Proposed Sewer Collection Layout	✓				County of Hidalgo O.S.S.F., (On-Site Sewage Facility)
Sanitary Sewer Collection System Provider:	✓				County of Hidalgo O.S.S.F., (On-Site Sewage Facility)
Existing and Proposed Drainage Layout System:	✓				Proposed Drainage System onto H.C.D.D. # 1
Collector Street Right-of-way Dedication (60-ft ROW)		✓			Street Section (Existing Original Plat Street Section - 43-ft B-B)
Principal Arterial Street pavement Section (43-ft B-B)		✓			In Accordance to Standard Street Policy
Variances Appeals Request: 2022		✓			Planning & Zoning Meeting Results City Council Meeting
Street Widening Improvements (Curve/Texas Roads)		✓			
Street 5-ft Sidewalk Improvements (Curve/Texas Roads)		✓			
Drainage Improvements		✓			

**Construction Plans Review Submittals:**

(See Section 4 Construction Plans Submittals Policy, 2014 STANDARD POLICY MANUAL)

Cover Sheet		✓			
Topography Sheet (Utilities, Bench Marks)		✓			
Sanitary Sewer Improvements: On-Site & Off-Site		✓			City of Edinburg Sanitary Sewer Collection System
Sanitary Sewer Detail Sheets		✓			See Section 3 Utility Policy, 2014 Standard Policy Manual
Water Distribution Improvements: On-Site & Off-Site		✓			City of Edinburg Water Supply Corporation - Water Distribution
Water Distribution Detail Sheet (Fire Hydrant Assembly)		✓			See Section 3 Utility Policy, 2014 Standard Policy Manual
Drainage Improvements:		✓			
Drainage Detail Sheets		✓			See Section 1 Drainage Policy, 2014 Standard Policy Manual
Principal/Major Arterial Streets Improvements:		✓			See Section 2 Streets Policy, 2014 Standard Policy Manual
Street Sign Sheet:		✓			
Street Detail Sheets		✓			See Section 2 Streets Policy, 2014 Standard Policy Manual
Street Lighting Sheet:		✓			
Traffic Control Plan:		✓			
Erosion Control Plan		✓			
Erosion Control Plan Detail Sheet		✓			See Storm Water Management, 2014 Standard Policy Manual

DESCRIPTION	Provided	Need to Provide	Not Applicable	Need to Revise	COMMENTS
-------------	----------	-----------------	----------------	----------------	----------

**Pre-Construction Meeting:**

Notice To Proceed			✓		Dated:
Roadway Open-Cut or Bore Permit Application			✓		Dated:
TX-Dot Water UIR Permit			✓		Dated:
TX-Dot Sewer UIR Permit			✓		Dated:
N.O.I. Submittal			✓		Dated:
SWPP Booklet Submittal			✓		Dated:
RFI #1 Request			✓		Dated:
Change Orders			✓		Dated:
Final Walk Though			✓		Dated:
Punch List - 1st Draft			✓		Dated:
Punch List - Final			✓		Dated:
Letter of Acceptance			✓		Dated:
1-year Warranty (Water/Sewer/Paving/Drainage)			✓		Dated:
Backfill Testing Results			✓		Dated:
As-Built (Revised Original Submittal)			✓		Dated:

**Recording Process:**

Public Improvements with (Letter of Credit)			✓		Dated:	Expires:
Recording Fees	\$ 106.00		✓		As required by County Clerks office	
Copy of H.C.D.D. #1 of invoice	\$ 250.00		✓		Required to be paid prior to Final Stages	
Street Light Escrow	\$ -		✓		Required: 0	EA. @ \$ -
Street Escrow: (Curve / Texas Roads)	\$ 17,626.25		✓		Required: 310	LF @ \$ 56.86
Sidewalk Escrow: (Curve / Texas Roads)	\$ 17,626.25		✓		Required: 310	LF @ \$ 56.86
TOTAL OF ESCROWS:	\$ 35,252.50					
Total Developer's Construction Cost: (Letter of Credit)			✓		Date :	Lender :
Laboratory Testing Fee: 3%	\$ -		✓		\$ -	FINAL Construction Cost
Inspection Fee: 2%	\$ -		✓		\$ -	FINAL Construction Cost
Park Land Fees: Park Zone #	\$ 3,600.00		✓		6 Lots @ \$ 600.00	Full rate within the ETJ
0 Residential \$ -	\$ -		✓		50% Development	50% Building Stage
0 Multi-Family \$ -	\$ -		✓		50% Development	50% Building Stage
Water Rights: NAWSC - CCN	\$ -		✓		0.00 Acres	\$ 3,445.00
Water 30-year Letter (Commercial)	\$ -		✓		6 Lots @ \$ -	NAWSC WATER - CCN
Water 30-year Letter (Multi-Family)	\$ -		✓		0 Lots @ \$ -	NAWSC WATER - CCN
Sewer 30-Year Letter Service (6")	\$ -		✓		0 Lots @ \$ -	COUNTY SEPTIC SYSTEM
TOTAL OF FEES:	\$ 3,600.00					

**Reimbursements:**

Developer Sewer Improvements	\$ -		✓		Off-Site System: 0.00	AC	\$ -
Developer Water Improvements	\$ -		✓		Off-Site System 0.00	AC	\$ -
TOTAL OF REIMBURSEMENTS:	\$ -						

**Buyouts:**

North Alamo Water Supply Corporation	\$ -		✓		Required Buyout 0.00	AC.	\$ -
Sharyland Water Supply Corporation			✓		Not Applicable		

**Tax Certificates**

County of Hidalgo / School District		✓					
Water District		✓			Hidalgo County Irrigation District # 1		

**Total of Escrows, Fees, Reimbursements and Buyouts:**

Total of Escrows, Fees, Reimbursements and Buyouts:				
Escrows	\$	-	Street & Sidewalk Improvements for (Texas / Curve Roads)	
Material Testing Fee Inspection Fees, Other F	\$	3,600.00	Parkland Fees, Water Rights/Water & Sewer 30-year Agreements	
Reimbursements - 2022	\$	-	Reimbursement to the Developer N/A	
2022 City of Edinburg			0%	Payable to the City of Edinburg for Administrative Fee
2022 To the Developer of Record	\$	-	0%	Payable to the Developer of Record Owner / Developer
Buyouts	\$	-	Based on Subdivision (Need Request and Approval rate from SWSC/NAWSC Broads)	
	TOTAL :	\$	3,600.00	Developer Total Cost of Fees, Escrows, Reimbursements & Buyouts



## STAFF REPORT: CURVE CROSSING SUBDIVISION

Date Prepared: October 26, 2022  
Planning and Zoning Meeting: November 8, 2022  
Preliminary Plat

---

**Subject:** Consider the Preliminary Plat of Curve Crossing Subdivision, being 6.50 acres tract of land out of Lot 15, Block 65, Alamo Land and Sugar Company Subdivision, located at 6500 East Curve Road, as requested by NAIN Engineering L.L.C.

**Location:** The property is located on the south side of Curve Road and north side of Texas Road, west of S. Cesar Chavez Road, within the City of Edinburg's City Extra-Territorial Jurisdiction.

**Zoning:** Property zoning is currently Agricultural (A) Districts.

**Setbacks:** Setbacks for Residential Suburban (RS) are as follows; Front 30 ft., Side 15 ft., and Rear 30 ft.

**Analysis:** The Preliminary Plat is proposing 6 lots averaging approximately (42,565.00) square feet for a single-family residential lot development.

**Utilities:** Water Distribution System will be provided by North Alamo Water Supply Corporation and development will require to install an Onsite Septic System Facility (O.S.S.F.) at building permit stage. All utility improvements within the proposed subdivision that are not limited to water system, sewer system, curb & gutter, and fire hydrants will be installed by the developer in accordance with the approved 2021 Standards Manual.

---

### Recommendations:

#### **City of Edinburg Planning & Zoning Department:**

Staff recommends approval of the Preliminary Plat, subject to compliance with the Unified Development Code, General Notes; on FEMA flood zone, zoning, setbacks, finish floor elevation, benchmark, drainage detention, parkland fees, limited access, SWP3 requirements, sidewalks, and other notes as required based on development.

#### **City of Edinburg Engineering / Utilities Department:**

Preliminary Phase Submittal comments for this subdivision are included in the packet. As per Engineering, the plat shall be Preliminarily Approved until all comments have been addressed by the project engineer.

**City of Edinburg Fire Department:**

The following are the preliminary phase submittal comments as noted by the Fire Department:

1. Provide street names to the City of Edinburg Engineering Department for approval.
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3. Provide double face blue fire hydrant street marker on center on the street in front of the fire hydrant.
4. Fire hydrant shall be every 300-ft. for commercial general district as per Section 507.5.1 of 2012 IFC.
5. All streets should be based as per 2021 Standards Manual Standards, Construction & Development Requirements.

**City of Edinburg Storm Water:**

The following are the preliminary phase submittal comments as noted by Storm Water:

1. **SW3P** (Stormwater Pollution Prevention Plan)
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3. **Large Construction Notice** (Per TCEQ Inventory)
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5. **Detailed Post Construction BMP's Plan** (70% Vegetation or Silt Fence back of curb)
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  - Please email pending items to [rvalenzuela@cityofedinburg.com](mailto:rvalenzuela@cityofedinburg.com)

**City of Edinburg Solid Waste:**

The Single-Family Residential Development can be served by the City of Edinburg.



## ENGINEERING DEPARTMENT

### Preliminary Staff Review

October 27, 2022

**Guillermo Arratia, P.E.**

NAIN Engineering, LLC  
526 N. 5<sup>th</sup> Street  
Donna, TX 78537  
(956) 784-0218

**RE: CURVE CROSSING – PRELIMINARY REVIEW**

Mr. Arratia,

Attached are the Preliminary Phase Submittal comments for Curve Crossing Subdivision. Submittal is adequate as presented and recommended for preliminary approval.

Any questions feel free to contact us.

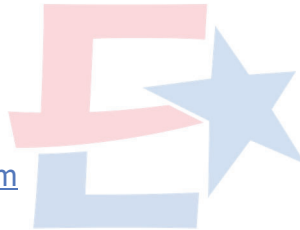
Thanks,

Digitally signed by Peter  
Hermida  
Date: 2022.10.27  
16:57:52 -05'00'

Peter Hermida, P.E.

Email: [pthermida@cityofedinburg.com](mailto:pthermida@cityofedinburg.com)

415 W. University Drive  
Edinburg, Texas 78539



Cc: Mardoqueo Hinojosa, P.E., CFM, City Engineer, Patrizia Longoria, P.E., Engineer III, Roberto Hernandez, CFM, Engineer II, Abel Beltran, Planner I, Vince Romero, Director of Public Works, Robert Valenzuela, Storm Water Specialist, Jaime Acevedo, Director of Planning and Zoning, Rita Lee Guerrero, Management Analyst, Jaime Xavier Ayala, Planner II, Gerardo Carmona P.E., Director of Utilities, Jose Flores, Systems Superintendent, Omar Garza, Fire Marshal, Ramiro Gomez, Director of Solid Waste

**REFERENCES:**

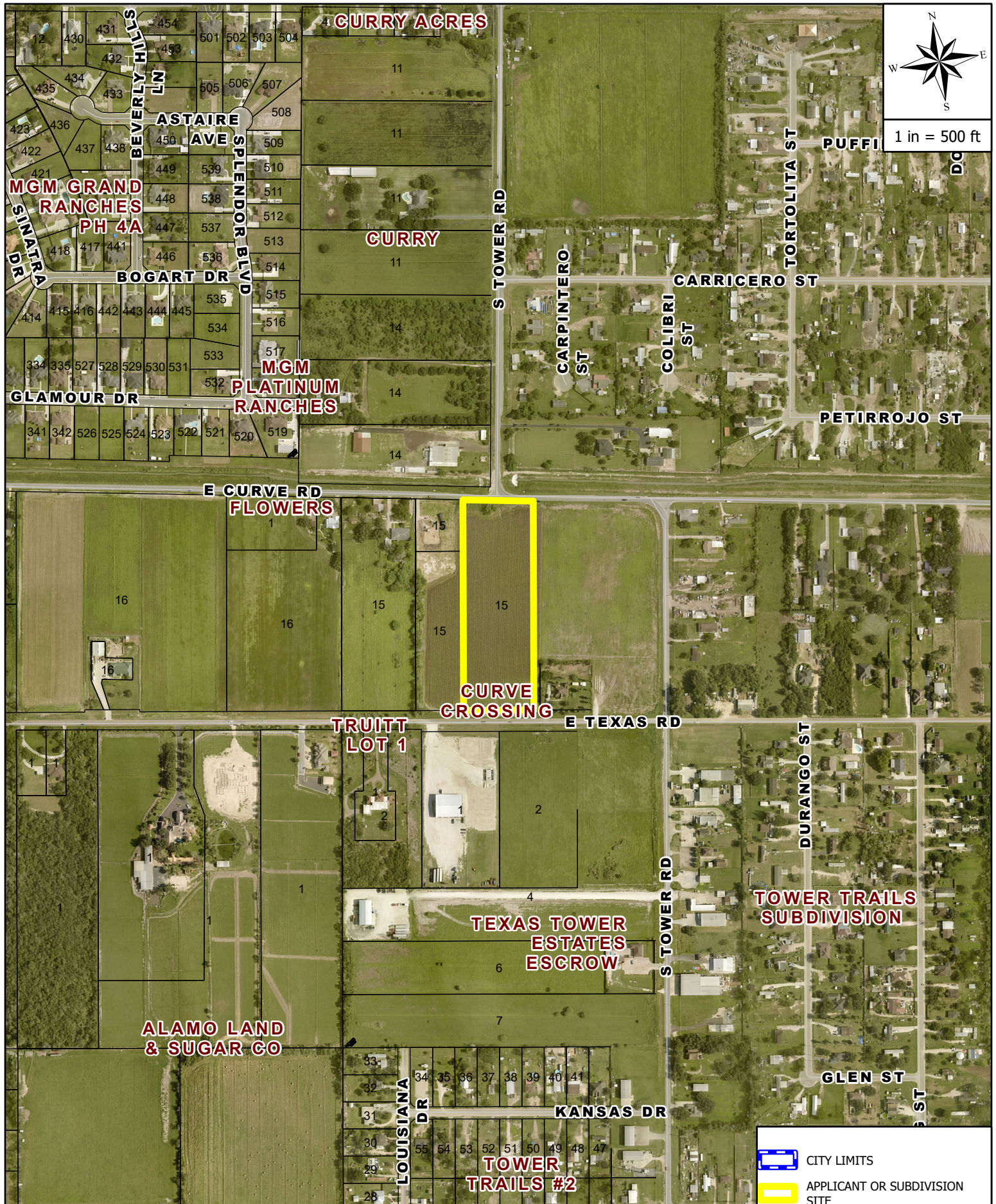
City of Edinburg – 2021 Standard Manual – Construction and Development Requirements; Unified Development Code; and if required a TX-Dot Permitting UIR permitting process.









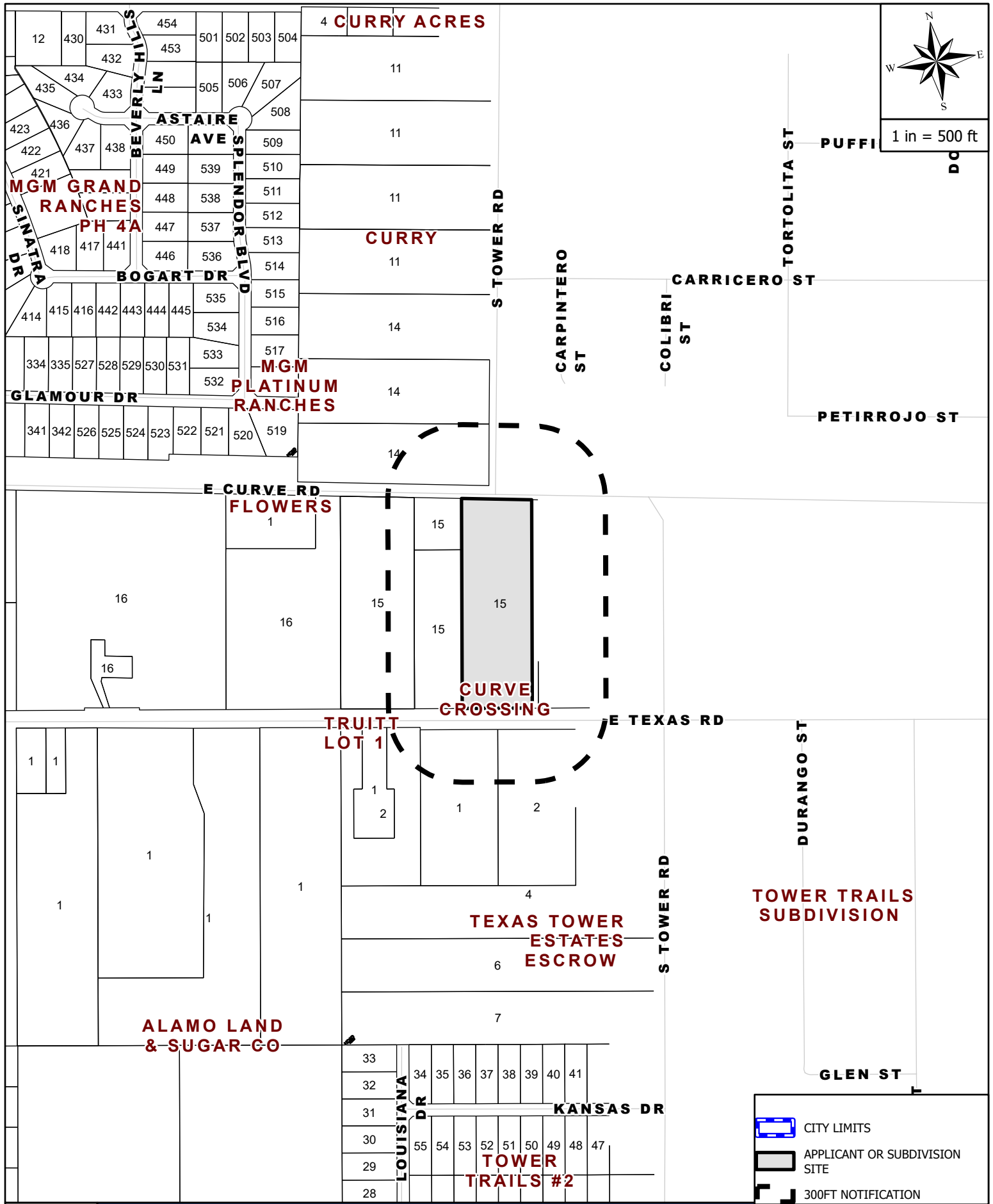


## AERIAL MAP

### APPLICANT AND/OR SUBDIVISION:

NAIN Engineering/ Curve Crossing Subdivision








**MAILOUT AND SITE MAP**

**APPLICANT AND/OR SUBDIVISION:**

**NAIN Engineering/ Curve Crossing Subdivision**

-  CITY LIMITS
-  APPLICANT OR SUBDIVISION SITE
-  300FT NOTIFICATION



LOCATION OF SUBDIVISION WITH RESPECT TO THE EXTRAJURISDICTIONAL JURISDICTION OF A MUNICIPALITY:

CURVE CROSSING SUBDIVISION IS LOCATED WITHIN HIGHLAND COUNTY PRECINCT NO. 4 IN THE CENTRAL, EAST OF HIGHLAND COUNTY ON THE SOUTH SIDE OF CURVE ROAD 531 FEET WEST OF TOWER ROAD. THE ONLY NEARBY MUNICIPALITY IS THE CITY OF EDWARDS. ACCORDING TO THE MAP IN THE OFFICE OF THE SECRETARY OF THE CITY OF EDWARDS (POPULATION 77,000/2250) CONSIDERED SHELBY SUBDIVISION LIES APPROXIMATELY 15 MILES WEST OF EDWARDS. PARTS OF EDWARDS LIES WITHIN 15 TO 25 MILE EXTRAJURISDICTIONAL JURISDICTION (15) UNDER LOCAL GOVERNMENT CODE § 42.021.

REVISION NOTES				
NO	SHEET	REVISION	DATE	APPROVED

CITY	STATE	ZIP	NAME	ADDRESS	CITY & ZIP	PHONE
ALBERT HAHNS	502 E. EXPRESSWAY 83, SUITE	GROESLACO, TEXAS 78096	856-830-0218			
GILBERTO A. ARRIAGA	326 N. 5TH ST.	CONNA, TX 75531	756-744-028			

\_\_\_\_\_

3 DRAINAGE REPORT INCLUDING DESCRIPTION OF DRAINAGE AND HOW IT WILL SERVE THIS DEVELOPMENT; MAP OF TOPOGRAPHY AND DRAINAGE; AND ENGINEER'S CERTIFICATION, REVISION NOTES, CONSTRUCTION DETAILS.

**NAIN ENGINEERING, L.L.C.**  
CONSULTING ENGINEER  
525 N. 5TH STREET  
DALLAS, TEXAS 75207  
PH. (214) 784-0218  
FAX NO. F-9050  
E-MAIL: NAINENGINEERING@YAHOO.COM

**NAIN ENGINEERING, L.L.C.**  
CONSULTING ENGINEER  
525 N. 5TH STREET  
DALLAS, TEXAS 75207  
PH. (214) 784-0218  
FAX NO. F-9050  
E-MAIL: NAINENGINEERING@YAHOO.COM



Case # **PLAT-2022-0128****Edinburg** THE CITY OFPlanning & Zoning Department  
415 W. University Drive  
Edinburg, Texas 78539

(956) 388-8202

**Subdivision Application**Date: 10/10/22 Request Type: Administrative approval1. Developer: Albert Hanks 2. Owner/Contact Name: Albert Hanks3. Owner/Contact Phone: (956) 638-0218 4. Owner/Contact Email: hanksaj@yahoo.com5. Owner Address: 502 E. EXPRESSWAY 83 SUITE 6, WESLACO TX 785966. Exact Name of Subdivision: CURVE CROSSING SUBDIVISION 7. Property ID: \_\_\_\_\_8. Current Zoning: N/A Required Zoning: N/A10. Legal Description: A 6.50 ACRE TRACT OF LAND OUT OF LOT 15 BLOCK 65ACAMO LAND AND SUGAR COMPANY SUBDIVISION, HIDALGOCOUNTY, TEXAS11. Inside City Limits? No If "No," is in the 3.5 Comprehensive Development Area ☒ Rural Development Area12. Primary Consulting Firm: NAN ENGINEERING 13. Phone: (956) 789-021814. Consulting Firm Address: 526 N. 5th St. Donna Tx 7853715. Consulting Firm Email(s): nanengineering@yahoo.com16. Desired Land Use Option: RESIDENTIAL17. Number of Lots: Single Family 6 Multi-Family \_\_\_\_\_ Commercial \_\_\_\_\_ Industrial \_\_\_\_\_18. Proposed Wastewater Treatment: \_\_\_\_\_ Sanitary Sewer ☒ OSSF (On-Site Sewage Facility)

19. Electric Power and Light Company to Serve the Proposed Subdivision: \_\_\_\_\_

20. Irrigation District: No. 2 Potable-water Retailer: N.A.W.S.C.

Owner of record, holding title to real estate within the proposed subdivision. Ownership instrument (i.e. Title Policy, Warranty Deed and Deed of Trust) shall be submitted with application. All such owners are listed immediately below.

Owner Name(s) (Print or Type) <u>Albert Hanks</u>	Owner Mailing Address & Zip Code <u>502 E. EXPRESSWAY 83, SUITE 6, WESLACO TX</u>
Owner Phone Number <u>(956) 638-0218</u>	Owner Email <u>hanksaj@yahoo.com</u>

Have any of said owners designated agents to submit and revise this plat application on their behalf?

\_\_\_\_ Yes \_\_\_\_ No (If "Yes" attached duly notarized documentation to that effect, signed by each such owner.)

The undersigned owner(s) of record (or their authorized agents) hereby agree to make all improvements and meet all requirements and standards as specified in the City of Edinburg Unified Development Code and Ordinances. The undersigned hereby request that the Edinburg Planning & Zoning Commission and the City Commission approve the attached subdivision plat. I certify that all items contained in this application and attachments (including all construction plans) are true and correct to the best of my knowledge and not in conflict with any deed restrictions or restrictive covenants. Furthermore, I understand that any omission or incorrect information may result in approval or permit being denied or revoked. Developer's requirement sheet must be completed, signed, and submitted with the application form.

Signature

Date

OCT 10 2022

Adam E. Zerob

RECEIVED



**SUBDIVISION WITHIN CITY LIMITS CHECK LIST**
**PRELIMINARY / FINAL REVIEW**

PLANNING &amp; ZONING DEPARTMENT (956) 388-8202

**SUBDIVISION PROCESS**

 Date : **November 3, 2022**

APPROX. 1.63-Miles East of the East City Limit Line

Date Filed: <b>October 11, 2022</b>	P&Z Preliminary: <b>November 8, 2022</b>	P&Z Final:	City Council:
Reviewed : By: <b>Abel Beltran, Subd. Coord.</b> <a href="mailto:abeltran@cityofedinburg.com">abeltran@cityofedinburg.com</a>	Staff Review : <b>October 20, 2022</b> Staff / Engineer : <b>October 27, 2022</b> If Variances Requested	Time Line : <b>365</b> Days 1st Extension : <b>0</b> Days 2nd Extension : <b>0</b> Days	Expires : <b>October 11, 2023</b> Expires 1: <b>October 11, 2023</b> Expires 2:

Director of Planning & Zoning	Jaime Acevedo, Planning Director	Email : <a href="mailto:jacevedo@cityofedinburg.com">jacevedo@cityofedinburg.com</a>	City Office #: (956) 388-8202
Director of Utilities	Gerardo Carmona, P.E.	Email : <a href="mailto:gcarmona@cityofedinburg.com">gcarmona@cityofedinburg.com</a>	City Office #: (956) 388-8212
Director of Public Works	Vincent Romero	Email : <a href="mailto:layala@cityofedinburg.com">layala@cityofedinburg.com</a>	City Office #: (956) 388-8210
Director of Engineering	Mardoqueo Hinojosa, P.E., CPM	Email : <a href="mailto:mhinojosa@cityofedinburg.com">mhinojosa@cityofedinburg.com</a>	City Office #: (956) 388-8211

Owner:		Albert Hanks, Management		502 E. Expressway 83, Weslaco, TX. 78596		Guillermo A. Arratia, PE, Project Engineer	
CURVE CROSSING SUBDIVISION				Consultant : NAIN ENGINEERING, L.L.C., DONNA, TX.			
DESCRIPTION			Provided	Need to Provide	Not Applicable	Need to Revise	COMMENTS

**Subdivision Process:**

Subdivision Plat Submittal	✓				Variance
Warranty Deed	✓				
Topography Survey	✓				
Drainage Report Submittal (As Per City Drainage Policy)	✓				Approved by H.C.D.D.#1 Date: Pending Approval
Zoning : City Limits - ETJ	✓				
Flood Zone	✓				Zone "B" (Med Shading) Panel # 480334-0425 E (Nov. 16, 1982)

**Preliminary Submittals:**

Existing & Proposed Water Distribution Layout	✓				North Alamo Water Supply Corporation - Water Distribution
Water Distribution System Provider:	✓				North Alamo Water Supply Corporation - Water Distribution
Existing & Proposed Sewer Collection Layout	✓				County of Hidalgo O.S.S.F., (On-Site Sewage Facility)
Sanitary Sewer Collection System Provider:	✓				County of Hidalgo O.S.S.F., (On-Site Sewage Facility)
Existing and Proposed Drainage Layout System:	✓				Proposed Drainage System onto H.C.D.D. # 1
Collector Street Right-of-way Dedication (60-ft ROW)		✓			Street Section (Existing Original Plat Street Section - 43-ft B-B)
Principal Arterial Street pavement Section (43-ft B-B)		✓			In Accordance to Standard Street Policy
Variances Appeals Request: 2022		✓			Planning & Zoning Meeting Results City Council Meeting
Street Widening Improvements (Curve/Texas Roads)		✓			
Street 5-ft Sidewalk Improvements (Curve/Texas Roads)		✓			
Drainage Improvements		✓			

**Construction Plans Review Submittals:**

(See Section 4 Construction Plans Submittals Policy, 2014 STANDARD POLICY MANUAL)

Cover Sheet		✓			
Topography Sheet (Utilities, Bench Marks)		✓			
Sanitary Sewer Improvements: On-Site & Off-Site		✓			City of Edinburg Sanitary Sewer Collection System
Sanitary Sewer Detail Sheets		✓			See Section 3 Utility Policy, 2014 Standard Policy Manual
Water Distribution Improvements: On-Site & Off-Site		✓			City of Edinburg Water Supply Corporation - Water Distribution
Water Distribution Detail Sheet (Fire Hydrant Assembly)		✓			See Section 3 Utility Policy, 2014 Standard Policy Manual
Drainage Improvements:		✓			
Drainage Detail Sheets		✓			See Section 1 Drainage Policy, 2014 Standard Policy Manual
Principal/Major Arterial Streets Improvements:		✓			See Section 2 Streets Policy, 2014 Standard Policy Manual
Street Sign Sheet:		✓			
Street Detail Sheets		✓			See Section 2 Streets Policy, 2014 Standard Policy Manual
Street Lighting Sheet:		✓			
Traffic Control Plan:		✓			
Erosion Control Plan		✓			
Erosion Control Plan Detail Sheet		✓			See Storm Water Management, 2014 Standard Policy Manual

DESCRIPTION	Provided	Need to Provide	Not Applicable	Need to Revise	COMMENTS
-------------	----------	-----------------	----------------	----------------	----------

**Pre-Construction Meeting:**

Notice To Proceed			✓		Dated:
Roadway Open-Cut or Bore Permit Application			✓		Dated:
TX-Dot Water UIR Permit			✓		Dated:
TX-Dot Sewer UIR Permit			✓		Dated:
N.O.I. Submittal			✓		Dated:
SWPP Booklet Submittal			✓		Dated:
RFI #1 Request			✓		Dated:
Change Orders			✓		Dated:
Final Walk Though			✓		Dated:
Punch List - 1st Draft			✓		Dated:
Punch List - Final			✓		Dated:
Letter of Acceptance			✓		Dated:
1-year Warranty (Water/Sewer/Paving/Drainage)			✓		Dated:
Backfill Testing Results			✓		Dated:
As-Built (Revised Original Submittal)			✓		Dated:

**Recording Process:**

Public Improvements with (Letter of Credit)			✓		Dated:	Expires:
Recording Fees	\$ 106.00		✓		As required by County Clerks office	
Copy of H.C.D.D. #1 of invoice	\$ 250.00		✓		Required to be paid prior to Final Stages	
Street Light Escrow	\$ -		✓		Required: 0	EA. @ \$ -
Street Escrow: (Curve / Texas Roads)	\$ 17,626.25		✓		Required: 310	LF @ \$ 56.86
Sidewalk Escrow: (Curve / Texas Roads)	\$ 17,626.25		✓		Required: 310	LF @ \$ 56.86
TOTAL OF ESCROWS:	\$ 35,252.50					
Total Developer's Construction Cost: (Letter of Credit)			✓		Date :	Lender :
Laboratory Testing Fee: 3%	\$ -		✓		\$ -	FINAL Construction Cost
Inspection Fee: 2%	\$ -		✓		\$ -	FINAL Construction Cost
Park Land Fees: Park Zone #	\$ 3,600.00		✓		6 Lots @ \$ 600.00	Full rate within the ETJ
0 Residential \$ -	\$ -		✓		50% Development	50% Building Stage
0 Multi-Family \$ -	\$ -		✓		50% Development	50% Building Stage
Water Rights: NAWSC - CCN	\$ -		✓		0.00 Acres	\$ 3,445.00
Water 30-year Letter (Commercial)	\$ -		✓		6 Lots @ \$ -	NAWSC WATER - CCN
Water 30-year Letter (Multi-Family)	\$ -		✓		0 Lots @ \$ -	NAWSC WATER - CCN
Sewer 30-Year Letter Service (6")	\$ -		✓		0 Lots @ \$ -	COUNTY SEPTIC SYSTEM
TOTAL OF FEES:	\$ 3,600.00					

**Reimbursements:**

Developer Sewer Improvements	\$ -		✓		Off-Site System: 0.00	AC	\$ -
Developer Water Improvements	\$ -		✓		Off-Site System 0.00	AC	\$ -
TOTAL OF REIMBURSEMENTS:	\$ -						

**Buyouts:**

North Alamo Water Supply Corporation	\$ -		✓		Required Buyout 0.00	AC.	\$ -
Sharyland Water Supply Corporation			✓		Not Applicable		

**Tax Certificates**

County of Hidalgo / School District		✓					
Water District		✓			Hidalgo County Irrigation District # 1		

**Total of Escrows, Fees, Reimbursements and Buyouts:**

Total of Escrows, Fees, Reimbursements and Buyouts:				
Escrows	\$	-	Street & Sidewalk Improvements for (Texas / Curve Roads)	
Material Testing Fee Inspection Fees, Other F	\$	3,600.00	Parkland Fees, Water Rights/Water & Sewer 30-year Agreements	
Reimbursements - 2022	\$	-	Reimbursement to the Developer N/A	
2022 City of Edinburg			0%	Payable to the City of Edinburg for Administrative Fee
2022 To the Developer of Record	\$	-	0%	Payable to the Developer of Record Owner / Developer
Buyouts	\$	-	Based on Subdivision (Need Request and Approval rate from SWSC/NAWSC Broads)	
	TOTAL :	\$	3,600.00	Developer Total Cost of Fees, Escrows, Reimbursements & Buyouts

---

## STAFF REPORT: ROGERS COVES SUBDIVISION PHASE A

Date Prepared: October 27, 2022  
Planning and Zoning Meeting: November 8, 2022  
**Final Plat**

---

Subject:	Consider the Final Plat approval of Roger Coves Subdivision Phase A, being a 19.71acre tract of land out of Lots 9, Section 239, Texas-Mexican Railway Company Subdivision, located at 920 West Rogers Road, as requested by Rio Delta Engineering.
Location:	The property is located on the south side of West Rogers Road and east of North Sugar Road, within the City of Edinburg's City Limits.
Zoning:	Property zoning is currently Agricultural (A) District with (Rev. 2021) to Residential, Multi-Family & Urban (RM) District.
Setbacks:	UDC 2021 Setbacks for Residential, Multi-Family & Residential Primary (RP) District are as follows: Front 10 ft., Side-5 ft., and Rear 15 ft.
Analysis:	The Final Plat is developed 90 residential lots averaging approximately (5,875) square feet for a single family residential lot development.
Utilities:	Water Distribution System and Sanitary Sewer Collection System will be provided service by City of Edinburg. All utility improvements within the proposed subdivision that are not limited to water system, sewer system, curb & gutter, and fire hydrants will be installed by the developer in accordance with the approved 2021 Standards Manual.

---

### Recommendations:

#### **City of Edinburg Planning & Zoning Department:**

Staff recommends approval of the Preliminary Plat, subject to compliance with the Unified Development Code, General Notes; on FEMA flood zone, zoning, setbacks, finish floor elevation, benchmark, drainage detention, parkland fees, limited access, SWP3 requirements, sidewalks, and other notes as required based on development.

#### **City of Edinburg Engineering / Utilities Department:**

Preliminary Phase Submittal comments for this subdivision are included in the packet. As per Engineering, the plat shall be Preliminarily Approved until all comments have been addressed by the project engineer.



# ROGERS COVES SUBDIVISION PHASE A

BEING A 35.69 ACRES TRACT OF LAND MORE OR LESS, OUT OF THE LOT 9, SECTION 239, TEXAS-MEXICAN RAILWAY COMPANY SUBDIVISION, HIDALGO COUNTY, TEXAS, RECORDED IN VOLUME 1, PAGE 12, MAP RECORDS OF HIDALGO COUNTY, TEXAS.

## P.O.B

N.W. CRN LOT 9,  
SECTION 239  
TEXAS-MEXICAN  
RAILWAY COMPANY  
SUBDIVISION  
COTTON-PICKER-SPINDLE  
SET  
N:16646028.6267'  
E:1092568.5411'

## SOLANA SUBDIVISION PHASE I VOL. 34, PAGE 169, H.C.M.R.

ROGERS ROAD

ALFREDO AND ENEDELIA SALINAS  
LOT 10, SECTION 239  
TEXAS-MEXICAN RAILROAD COMPANY SUBDIVISION  
VOL. 1, PAGE 12, H.C.M.R. VOL. 3066, PG. 993 O.R.H.C.

S.W. CRN LOT 9,  
SECTION 239  
TEXAS-MEXICAN  
RAILWAY COMPANY  
SUBDIVISION  
1/2 INCH IRON  
ROD FOUND

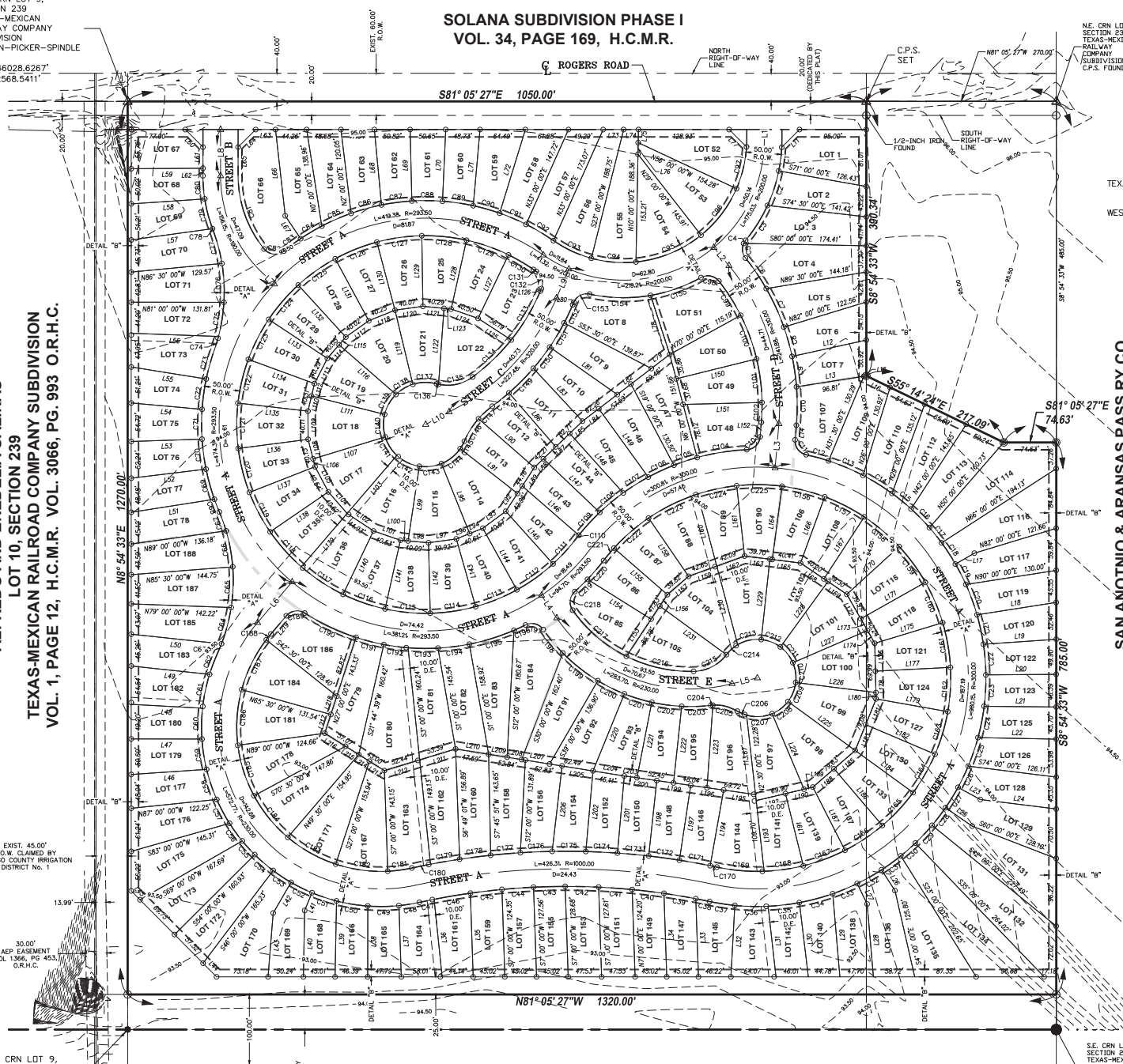
EXIST. 50.00'  
R.O.W. CLAIMED BY  
HIDALGO COUNTY  
DISTRICT NO. 1

CIRCLE HOLDINGS LP LOT 16, SECTION 239,  
TEXAS-MEXICAN RAILWAY COMPANY SUBDIVISION  
VOL. 1, PAGE 12, H.C.M.R. DOC. # 2800971 O.R.H.C.

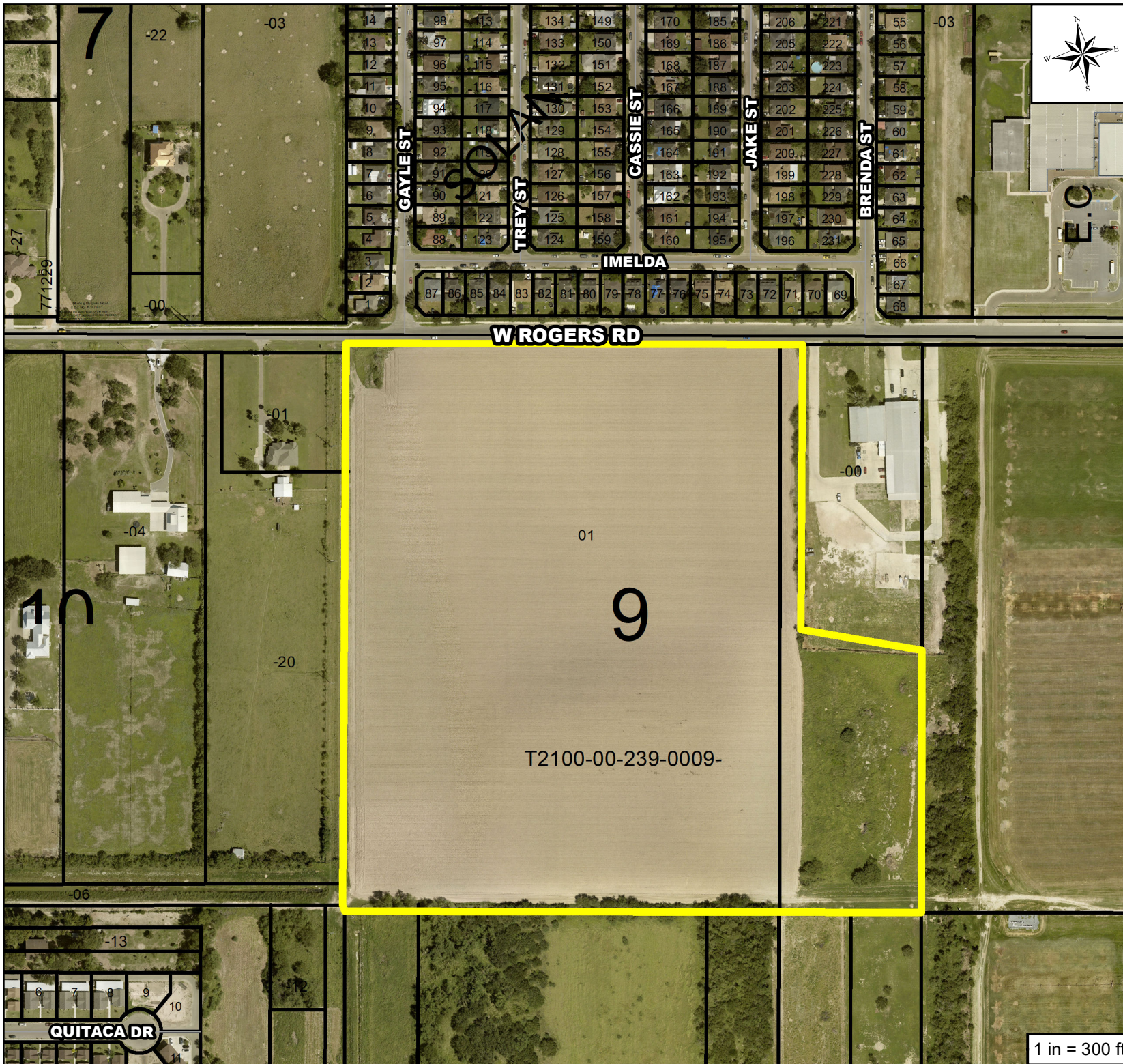
SCALE: 1"=100'  
BASIS OF BEARING  
TEXAS STATE PLANE COORDINATE  
NAD 83  
TEXAS SOUTH ZONE (4205)  
WESTERN DATA SYSTEMS NETWORK

SAN ANTONIO & ARKANSAS PASS RY CO  
EAST 100 FT OF WEST 120 FT, LOT 12, SECTION 244  
TEXAS-MEXICAN RAILROAD COMPANY SUBDIVISION  
VOL. 1, PAGE 12, H.C.M.R. DOC. # 1926-14312 O.R.H.C.

S.E. CRN LOT 9,  
SECTION 239  
TEXAS-MEXICAN  
RAILWAY COMPANY  
SUBDIVISION  
CAPPED 1/2  
INCH IRON ROD  
SET







## AERIAL MAP



### CASE CAPTION:

### SUBDIVISION NAME:

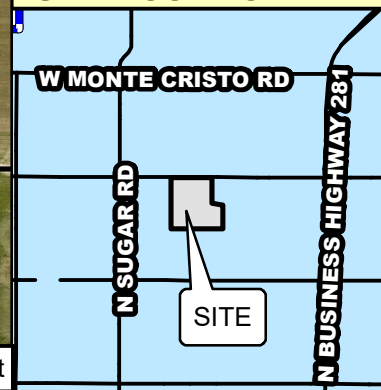
#### SOLANO

CONSIDER THE PRELIMINARY PLAT OF SOLANO SUBDIVISION, BEING A 35.69 ACRE TRACT OUT OF LOT 9, SECTION 239, TEXAS-MEXICAN RAILWAY COMPANY'S SURVEY SUBDIVISION, AS PER MAP OR PLAT THEREOF RECORDED IN VOLUME 1, PAGE 12 MAP RECORDS OF HIDALGO COUNTY, TEXAS, LOCATED AT THE 1400 BLOCK OF ROGERS ROAD, AS REQUESTED BY RIO DELTA ENGINEERING & ASSOCIATES.

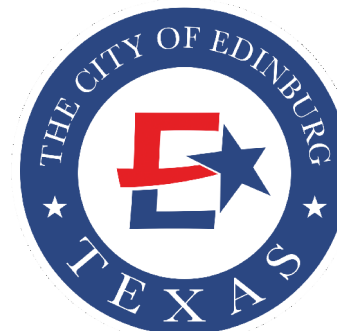
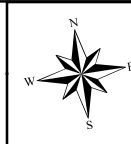
## Legend

-  CITY LIMITS
-  SUBDIVISION SITE

## SITE LOCATION MAP







## SITE MAP

### CASE CAPTION:

### SUBDIVISION NAME:

#### SOLANO

CONSIDER THE PRELIMINARY PLAT OF SOLANO SUBDIVISION, BEING A 35.69 ACRE TRACT OUT OF LOT 9, SECTION 239, TEXAS-MEXICAN RAILWAY COMPANY'S SURVEY SUBDIVISION, AS PER MAP OR PLAT THEREOF RECORDED IN VOLUME 1, PAGE 12 MAP RECORDS OF HIDALGO COUNTY, TEXAS, LOCATED AT THE 1400 BLOCK OF ROGERS ROAD, AS REQUESTED BY RIO DELTA ENGINEERING & ASSOCIATES.

## Legend



CITY LIMITS



SUBDIVISION SITE

## SITE LOCATION MAP



1 in = 300 ft

GAYLE ST

TREY ST

CASSIE ST

JAKE ST

BRENDA ST

IMELDA

W. ROGERS RD

QUITACA DR



**SUBDIVISION WITHIN CITY LIMITS CHECK LIST  
SUBDIVISION PROCESS**
**PRELIMINARY REVIEW STAGE**

PLANNING &amp; ZONING DEPARTMENT (956) 388-8202

 Date : **August 6, 2021**

Date Filed: <b>July 7, 2021</b>	P&Z Preliminary: <b>August 10, 2021</b>	P&Z Final: _____	City Council: _____
Reviewed By: <b>Abel Beltran, Subd. Coord.</b> <a href="mailto:abeltran@cityofedinburg.com">abeltran@cityofedinburg.com</a>	Staff Review : <b>July 22, 2021</b> Staff / Engineer : <b>July 29, 2021</b>	Time Line : <b>365</b> Days 1st Extension : <b>0</b> Days 2nd Extension : <b>0</b> Days	Expires : _____ Expires 1: _____ Expires 2: _____

Director of Planning & Zoning :	Kimberly A. Mendoza, MPA	Email : <a href="mailto:kmendoza@cityofedinburg.com">kmendoza@cityofedinburg.com</a>	City Office #:	(956) 388-8202
Director of Utilities	Gerardo Carmona, P.E.	Email : <a href="mailto:gcarmona@cityofedinburg.com">gcarmona@cityofedinburg.com</a>	City Office #:	(956) 388-8212
Director of Public Works	Vincent Romero	Email : <a href="mailto:vromero@cityofedinburg.com">vromero@cityofedinburg.com</a>	City Office #:	(956) 388-8210
Director of Engineering	Mardoqueo Hinojosa, P.E., CPM	Email : <a href="mailto:mhinojosa@cityofedinburg.com">mhinojosa@cityofedinburg.com</a>	City Office #:	(956) 388-8211

Owner:	Los Lagos Development, LLC			1911 Lago Huron, Edinburg, TX 78542		Raul Garcia, P.E., Project Engineer	
SOLANO ESTATES SUBDIVISION				Consultant : Rio Delta Engineering & Associates, Inc.			
DESCRIPTION			Provided	Need to Provide	Not Applicable	Need to Revise	COMMENTS

**Subdivision Process:**

Subdivision Plat Submittal	✓				
Warranty Deed	✓				
Topography Survey	✓				
Drainage Report Submittal (As Per City Drainage Policy)	✓				Approved by H.C.D.D.#1 Date: Pending Approval
Zoning : City Limits - Commercial General	✓				
Flood Zone	✓				Zone "X" (Shaded)

**Preliminary Submittals:**

Existing & Proposed Water Distribution Layout	✓				City of Edinburg Water Supply Corporation - Distribution System
Water Distribution System Provider:	✓				City of Edinburg Water Supply Corporation - Distribution System
Existing & Proposed Sewer Collection Layout	✓				City of Edinburg Sanitary Sewer Collection System
Sanitary Sewer Collection System Provider:	✓				City of Edinburg Sanitary Sewer Collection System
Existing and Proposed Drainage Layout System:	✓				Private Drainage System onto H.C.D.D. # 1
MPO Collector / Arterial Right-of-way Dedication	✓				Proposed Private Streets
Minor / Major Collector Street pavement Section	✓				In Accordance to Standard Street Policy
Variances Appeals Request:	✓				Planning & Zoning Meeting Results City Council Meeting
Street Widening Improvements (Rogers Road)		✓			
Street 5-ft Sidewalk Improvements (On Rogers Road)		✓			
Drainage Improvements		✓			

**Construction Plans Review Submittals:**
**(See Section 4 Construction Plans Submittals Policy, 2014 STANDARD POLICY MANUAL)**

Cover Sheet	✓				
Topography Sheet (Utilities, Bench Marks)	✓				
Sanitary Sewer Improvements: On-Site & Off-Site	✓				City of Edinburg Sanitary Sewer Collection Standard Policy's
Sanitary Sewer Detail Sheets	✓				See Section 3 Utility Policy, 2014 Standard Policy Manual
Water Distribution Improvements: On-Site & Off-Site	✓				City of Edinburg Water Supply Standard Policy's
Water Distribution Detail Sheet (Fire Hydrant Assembly)	✓				See Section 3 Utility Policy, 2014 Standard Policy Manual
Drainage Improvements:	✓				
Drainage Detail Sheets	✓				See Section 1 Drainage Policy, 2014 Standard Policy Manual
Minor/Major Collector Streets Improvements:	✓				See Section 2 Streets Policy, 2014 Standard Policy Manual
Street Sign Sheet:	✓				
Street Detail Sheets	✓				See Section 2 Streets Policy, 2014 Standard Policy Manual
Street Lighting Sheet:	✓				
Traffic Control Plan:	✓				
Erosion Control Plan	✓				
Erosion Control Plan Detail Sheet	✓				See Storm Water Management, 2014 Standard Policy Manual

DESCRIPTION		Provided	Need to Provide	Not Applicable	Need to Revise	COMMENTS			
Pre-Construction Meeting:									
Notice To Proceed			✓			Dated:			
Roadway Open-Cut or Bore Permit Application			✓			Dated:			
TX-Dot Water UIR Permit				✓					
TX-Dot Sewer UIR Permit				✓					
N.O.I. Submittal			✓			Dated:			
SWPP Booklet Submittal			✓			Dated:			
RFI #1 Request			✓			Dated:			
Change Orders			✓			Dated:			
Final Walk Though			✓			Dated:			
Punch List			✓			Dated:			
Punch List (Completed and Approved)			✓			Dated:			
Letter of Acceptance			✓			Dated:			
1-year Warranty (Water/Sewer/Paving/Drainage)			✓			Dated:			
Backfill Testing Results			✓			Dated:			
As-Builts (Revised Original Submittal)			✓			Dated:			
Recording Process:									
Public Improvements with (Letter of Credit)			✓			Dated:		Expires:	
Recording Fees	\$ 106.00		✓			As required by County Clerks office			
Copy of H.C.D.D. #1 of invoice			✓			Required to be paid prior to Final Stages			
Street Light Escrow	\$ -		✓			Required:	0	EA. @	\$ -
Street Escrow: (1/3 of 57-ft B-B Street Section )	\$ -		✓			Required:	1050	EA. @	\$ -
Sidewalk Escrow (RogersRoad)	\$ 22,650.00		✓			Required:	906	LF @	\$ 25.00
TOTAL OF ESCROWS:		\$ 22,650.00							
Total Developer's Construction Cost: (Letter of Credit)						Date :		Lender :	
Laboratory Testing Fee:	3%	\$ -		✓		\$ -	Estimated Construction Cost		
Inspection Fee:	2%	\$ -		✓		\$ -	Final Construction Cost		
Park Land Fees: ETJ	\$ -	Per Unit	0						
188 Residential	\$ 300.00	\$ 56,400.00		✓		50% Development	50%	Building Stage	
0 Multi-Family	\$ -	\$ -				0% Development	0%	Building Stage	
Water Rights:	COE - CCN	\$ 103,387.15			✓	35.690	Acres	\$ 2,896.81	
Water 30-year Letter (Residential)		\$ 61,100.00		✓		188	Lots @	\$ 325.00	COE WATER-CCN
Water 30-year Letter (Multi-Family)		\$ -			✓	0	Lots @	\$ -	
Sewer 30-year Letter	COE - CCN	\$ 12,220.00		✓		188	Lots @	\$ 65.00	COE SEWER-CCN
TOTAL OF FEES:		\$ 255,757.15							
Reimbursements:									
Developer Sewer Improvements	\$ -			✓		Off-Site System:	0.000	AC	\$ -
Developer Water Improvements	\$ -			✓		Off-Site System	0.00	AC	\$ -
TOTAL OF REINBURSEMENTS:		\$ -							
Buyouts:									
North Alamo Water Supply Corporation	\$ -			✓		Required Buyout	0.00	AC.	\$ -
Sharyland Water Supply Corporation				✓		Not Applicable			
Tax Certificates									
County of Hidalgo / School District			✓						
Water District			✓			Hidalgo County Irrigation District # 2			
Total of Escrows, Fees, Reimbursements and Buyouts:									
Escrows	\$ 22,650.00	Street & Sidewalk Improvements for Rogers Road							
Inspections other Fees	\$ 255,757.15	Parkland Fees, Water/Sewer 30-year Agreement/Water Rights							
Reimbursements	\$ -	Reimbursement to the Developer of <b>Subdivision</b>							
City of Edinburg	\$ -	15% Payable to the City of Edinburg for Administrative Fee							
To the Developer of Record	\$ -	85% Payable to the Developer of Record Owner / Developer							
Buyouts	\$ -	Based on Subdivision (N/A)							
	TOTAL :	\$ 278,407.15	Developer Total Cost of Fees, Escrows, Reimbursements & Buvouts						

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**STAFF REPORT: THE HEIGHTS ON WISCONSIN, PHASE III SUBDIVISION**

Date Prepared: October 27, 2022  
Planning and Zoning Meeting: November 8, 2022  
**Final Plat**

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Subject:	Consider the Final Plat approval of The Heights on Wisconsin, Phase III Subdivision, being an 18.008 acre tract of land, being 13.08 acres out of Lots 5, 6, and 7, and 5.00 acres out of Lot 8, Jas I. Lavelle Resubdivision, located at 1900 East Wisconsin Road, as requested by SAMES Engineering.
Location:	The property is located on the south side of E. Wisconsin Road and west of S. Veterans Boulevard., within the City of Edinburg's City Limits.
Zoning:	Property zoning is currently Auto-Urban Residential (AU) District with (Rev. 2021) to Residential Primary (RP), Single-Family District.
Setbacks:	UDC Setbacks for Residential Primary (RP) District are as follows; Front 10 ft., Side 6 ft., and Rear 20 ft.
Analysis:	The Final Plat is developed 82-lots residential lots averaging approximately (7,250.00) square feet for a single-family residential lot development.
Utilities:	Water Distribution System will be provided service by a North Alamo Water Supply Distribution System and Sanitary Sewer Collection System will be collected by City of Edinburg. All utility improvements within the proposed subdivision that are not limited to water system, sewer system, curb & gutter, and fire hydrants will be installed by the developer in accordance with the approved 2021 Standards Manual.

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Recommendations:

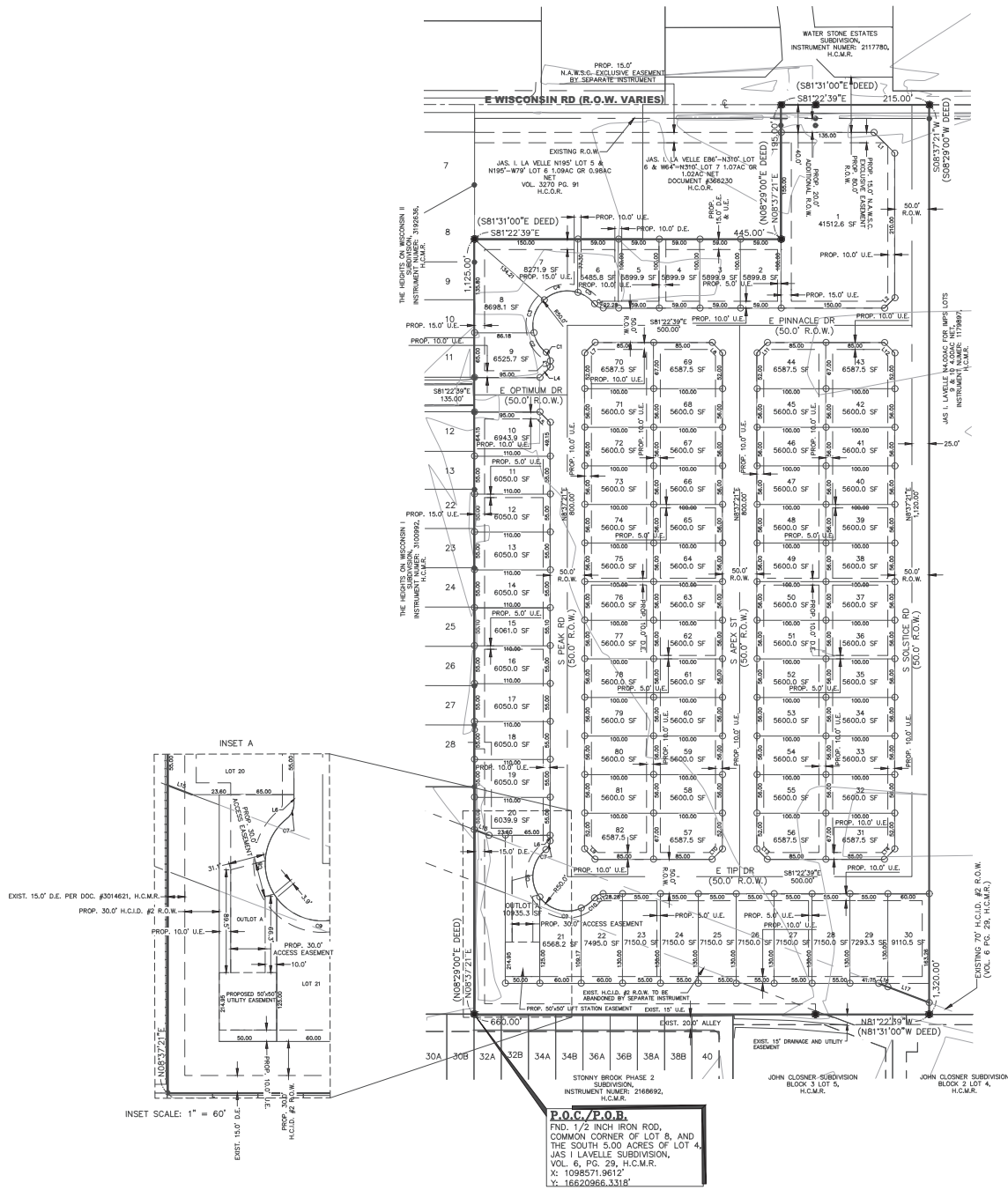
**City of Edinburg Planning & Zoning Department:**

Staff recommends approval of the Preliminary Plat, subject to compliance with the Unified Development Code, General Notes; on FEMA flood zone, zoning, setbacks, finish floor elevation, benchmark, drainage detention, parkland fees, limited access, SWP3 requirements, sidewalks, and other notes as required based on development.

**City of Edinburg Engineering / Utilities Department:**

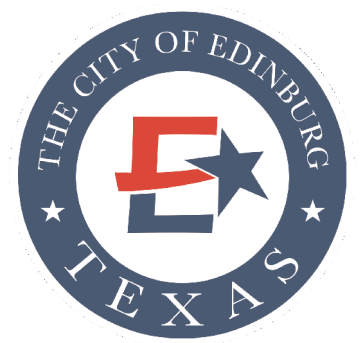
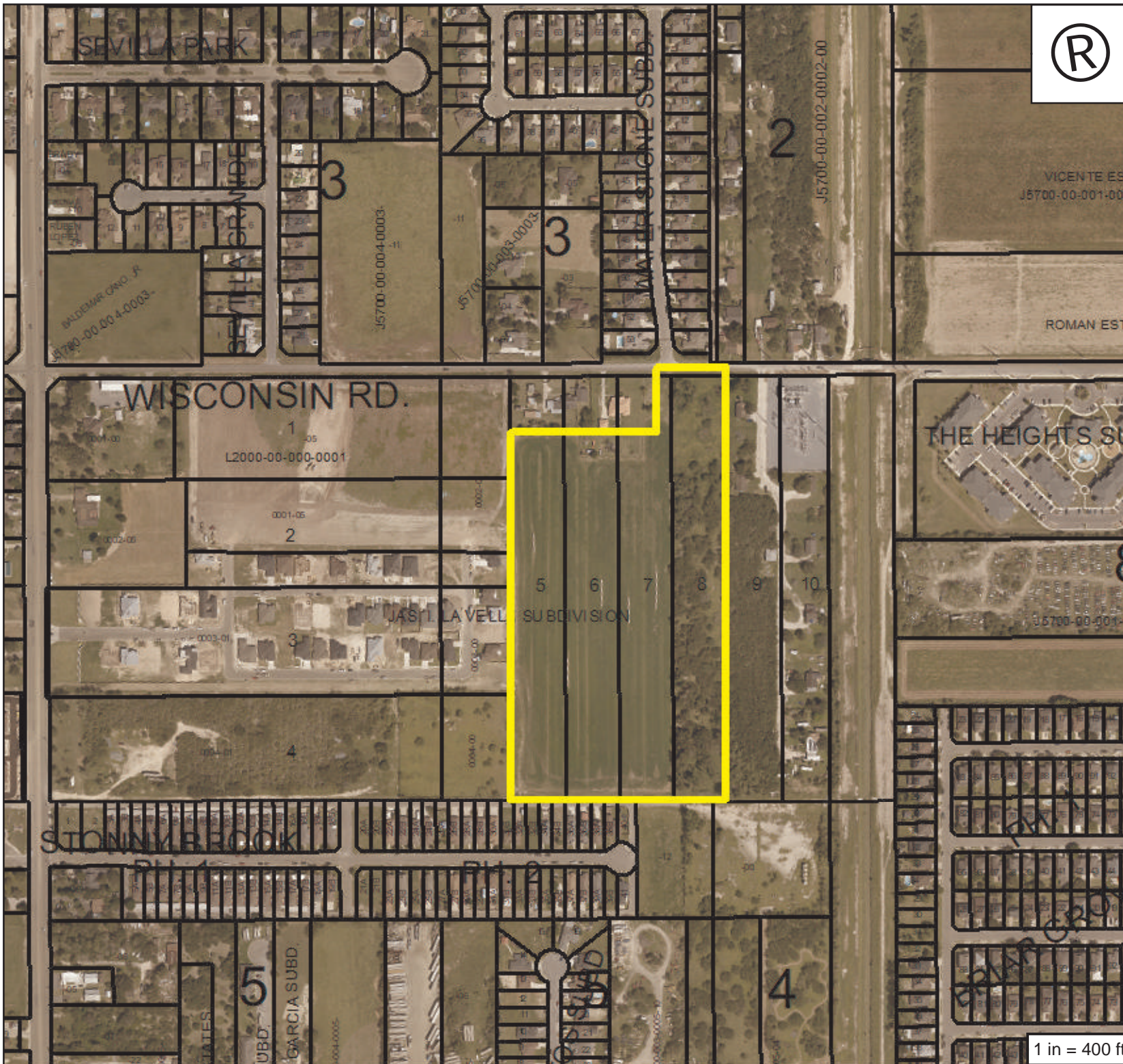
Preliminary Phase Submittal comments for this subdivision are included in the packet. As per Engineering, the plat shall be Preliminarily Approved until all comments have been addressed by the project engineer.





## THE HEIGHTS ON WISCONSIN III





**AERIAL MAP**

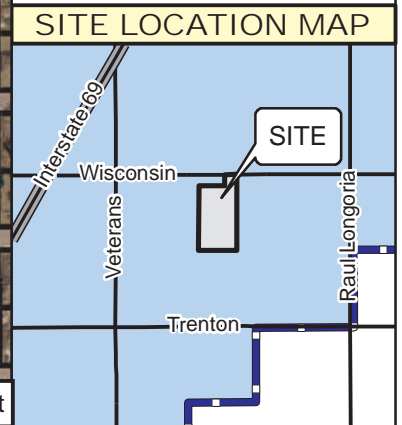
**CASE CAPTION:**

**SUBDIVISION NAME:**

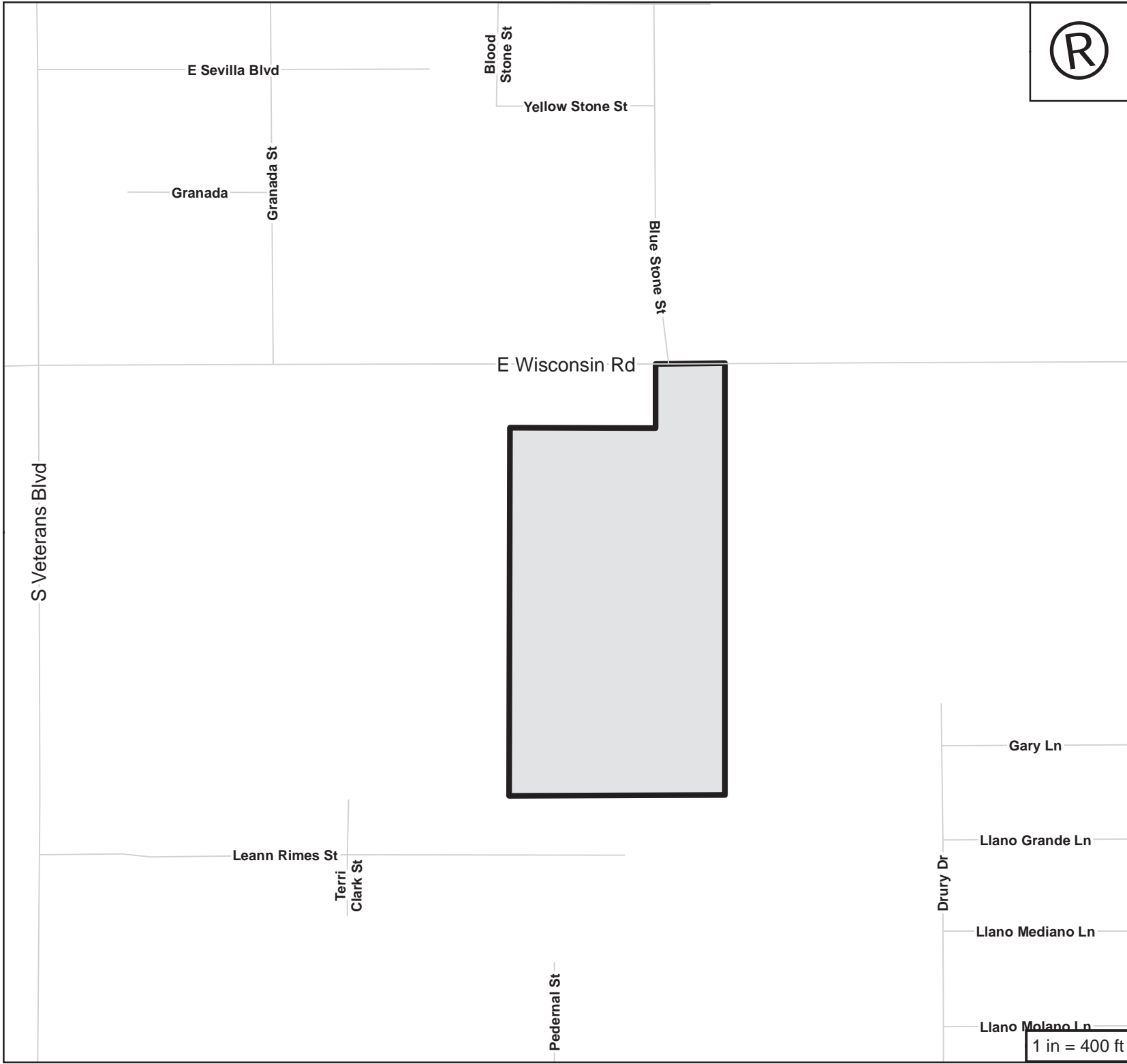
**THE HEIGHTS ON WISCONSIN PH III**

Consider the Preliminary plat of The Heights on Wisconsin Phase III Subdivision, an 18.008 gross acre tract of land, being 13.08 Acres out of Lots 5, 6, and 7, and 5 acres out of Lot 8, Jas. I. Lavelle Resubdivision, Located at 1900 East Wisconsin Road, as requested by Big Engineering.

- Legend**
- CITY LIMITS
  - SUBDIVISION SITE



1 in = 400 ft



**SITE MAP**



**CASE CAPTION:**

**SUBDIVISION NAME:**

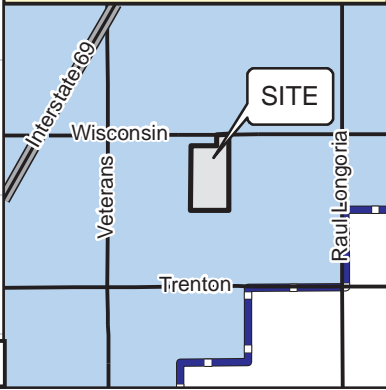
**THE HEIGHTS ON WISCONSIN PH III**

Consider the Preliminary plat of The Heights on Wisconsin Phase III Subdivision, an 18.008 gross acre tract of land, being 13.08 Acres out of Lots 5, 6, and 7, and 5 acres out o Lot 8, Jas. I. Lavelle Resubdivision, Located at 1900 East Wisconsin Road, as requested by Big Engineering.

**Legend**

-  CITY LIMITS
-  SUBDIVISION SITE

**SITE LOCATION MAP**







DESCRIPTION	Provided	Need to Provide	Not Applicable	Need to Revise	COMMENTS
<b>Pre-Construction Meeting:</b>					
Notice To Proceed		✓			Dated:
Roadway Open-Cut or Bore Permit Application		✓			Dated:
TX-Dot Water UIR Permit (Only if making a connection to I69C)			✓		
TX-Dot Sewer UIR Permit (Only if making a connection to I69C)			✓		
N.O.I. Submittal		✓			Dated:
SWPP Booklet Submittal		✓			Dated:
RFI #1 Request		✓			Dated:
Change Orders		✓			Dated:
Final Walk Though		✓			Dated:
Punch List		✓			Dated:
Punch List (Completed and Approved)		✓			Dated:
Letter of Acceptance		✓			Dated:
1-year Warranty (Water/Sewer/Paving/Drainage)		✓			Dated:
Backfill Testing Results		✓			Dated:
As-Builts (Revised Original Submittal)		✓			Dated:
<b>Recording Process:</b>					
Public Improvements with (Letter of Credit)		✓			Dated: Expires:
Recording Fees \$ 106.00		✓			As required by County Clerks office
Copy of H.C.D.D. #1 of invoice		✓			Required to be paid prior to Final Stages
Street Light Escrow \$ -		✓			Required: 0 EA. @ \$ -
Street Escrow (Wisconsin Road) \$ 16,755.75		✓			Required: 165 EA. @ \$ 101.55
Sidewalk Escrow (Wisconsin Road) \$ 4,125.00		✓			Required: 165 LF @ \$ 25.00
TOTAL OF ESCROWS: \$ 20,880.75					
Total Developer's Construction Cost: (Letter of Credit)					Date : Lender :
Laboratory Testing Fee: 3% \$ -		✓			\$ - Estimated Construction Cost
Inspection Fee: 2% \$ -		✓			\$ - Final Construction Cost
Park Land Fees: ETJ \$ - Per Unit 0			✓		
82 Residential \$ 300.00 \$ 24,600.00		✓			50% Development 50% Building Stage
0 Multi-Family \$ - \$ -					0% Development 0% Building Stage
Water Rights: NAWSC - CCN \$ -			✓		18.010 Acres \$ -
Water 30-year Letter (Residential) \$ 410.00		✓			82 Lots @ \$ 5.00 NAWSC WATER-CCN
Water 30-year Letter (Multi-Family) \$ -			✓		0 Lots @ \$ -
Sewer 30-year Letter COE - CCN \$ 5,330.00		✓			82 Lots @ \$ 65.00 COE SEWER-CCN
TOTAL OF FEES: \$ 30,340.00					
<b>Reimbursements:</b>					
Developer Sewer Improvements \$ -			✓		Off-Site System: 0.00 AC \$ -
Developer Water Improvements \$ -			✓		Off-Site System 0.00 AC \$ -
TOTAL OF REIMBURSEMENTS: \$ -					
<b>Buyouts:</b>					
North Alamo Water Supply Corporation \$ -		✓			Required Buyout 0.00 AC. \$ -
Sharyland Water Supply Corporation			✓		Not Applicable
<b>Tax Certificates</b>					
County of Hidalgo / School District		✓			
Water District		✓			Hidalgo County Irrigation District # 2
<b>Total of Escrows, Fees, Reimbursements and Buyouts:</b>					
Escrows \$ 20,880.75					Street & Sidewalk Improvements for ? Road
Inspections other Fees \$ 30,340.00					Parkland Fees, Water/Sewer 30-year Agreement/Water Rights
Reimbursements \$ -					Reimbursement to the Developer of Subdivision ( <b>No Reimbursement on Record</b> )
City of Edinburg \$ -					15% Payable to the City of Edinburg for Administrative Fee
To the Developer of Record \$ -					85% Payable to the Developer of Record Owner / Developer
Buyouts \$ -					Based on Subdivision (Need Request and Approval rate from NAWSC Broad)
TOTAL : \$ 51,220.75					Developer Total Cost of Fees, Escrows, Reimbursements & Buyouts

## Planning and Zoning Commission

### Attendance - 2022

2022

First Name	Last Name	Position	Jan	Feb	Mar	Apr	May	June	July	August	September	October	November	December
Joe	Ochoa	Chairperson	P	P	P	A	P	P	P	P	A	A		
Hiren	Govind		P	P	P	P	A	A						
Jorge	Sotelo	Vice-Chair	P	P	P	P	P	P	P	P	P	P		
Ruby	Casas	Commissioner	P	P	P	P	P	P	P	P	A	A		
Jorge	Gonzalez	Commissioner	P	P	P	P	P	P	P	A	P	P		
Victor	Daniec	Commissioner	P	P	P	P	P	P	P	P	P	P		
Rene	Olivarez	Commissioner	P	P	P	P	P	P	P	P	P	P		
Elias	Longoria, Jr.	Commissioner							P	P	A	A		