



**PLANNING AND ZONING COMMISSION
REGULAR MEETING
NOVEMBER 9, 2021 - 04:00 PM
CITY HALL-COUNCIL CHAMBERS
415 WEST UNIVERSITY DR.
EDINBURG, TEXAS 78541**

AGENDA

1. Call Meeting To Order, Establish Quorum

A. Prayer

B. Pledge of Allegiance

2. Certification of Public Notice

3. Meeting Procedures

The following are the meeting procedures used by the Planning and Zoning Commission:

A. All the items are generally considered as they appear on the agenda. As each item is introduced

B. Staff will present its findings and recommendation on the item being considered.

C. The party making the request may make a presentation and may address the Commission on any issues arising during the discussion of the item being considered

D. Anyone in the audience desiring to speak in favor or in opposition may do so. A 3-5 Minute time limit will be given to each person interested in speaking on the item. The use of a spokesperson for large groups of people will be required.

E. Once the Chair close the public hearing, the commission may question anyone and maintain any discussion which clarifies the proposal and will take what action it feel to be appropriate.

4. **PUBLIC HEARINGS**

A. Consider the Rezoning Request from Suburban Residential (S) District to Auto-Urban Residential (AU) District, a 1.00 acre tract of land, being a portion of the North 5.00 acres of Lot 10, Section 244, Texas-Mexican Railway Company's Survey, located at 424 East Rogers Road, as requested by Berta A. Salazar

- B. Consider the Comprehensive Plan Amendment from Agriculture Uses to General Commercial Uses and the Rezoning Request from Agriculture (AG) District to Commercial General (CG) District, a 1.00 acre tract of land, being a portion of Block 11, Baker's Subdivision, located at 14701 North I-69C, as requested by R.E. Garcia & Associates
- C. Consider the Rezoning Request from Agriculture (AG) District to Auto-Urban Residential (AU) District, being a 17.373 acre tract of land, being out of Lots 31 & 32, The M.L. Woods Co. Tract No. 4, located at 4801 South Veterans Boulevard as requested by Melden & Hunt, Inc.
- D. Consider the Comprehensive Plan Amendment from Auto-Urban Uses to Urban Uses and the Rezoning Request from Auto-Urban Residential (AU) District to Urban Residential (UR) District, being a 19.531 acre tract of land, out of Lot 16, Block 55, Alamo Land and Sugar Company's Subdivision, located at 3101 East Trenton Road, as requested by Melden & Hunt, Inc.
- E. Consider the Comprehensive Plan Amendment from Auto Urban Uses to Urban uses and the Rezoning Request from Neighborhood Conservation 5 (NC5) District to Urban Residential (UR) District, being a 33.58 acre tract out of Lot 15, Block 55, Alamo Land and Sugar Company's Subdivision, located at 3301 East Trenton Road, as requested by Quintanilla, Headley & Associates, Inc.
- F. Consider the Rezoning Request from Agriculture (AG) District to Auto-Urban Residential (AU) District, being 34.26 acres out of Lot 3, Section 276, Texas-Mexican Railway Company's Survey, located at 501 North McColl Road, as requested by Melden & Hunt, Inc.
- G. Consider the Comprehensive Plan Amendment from Auto Urban Uses to Urban Uses and the Rezoning Request from Suburban Residential (S) District to Urban Residential (UR) District, being a 3.258 acre tract, more or less, out of Lot 2, J.A.S. I. Lavelle Subdivision, located at 3610 South Veterans Boulevard, as requested by Ron Zedek
- H. Consider the Comprehensive Plan Amendment from Auto-Urban Uses to Urban Uses and the Rezoning Request from Commercial General (CG) District to Urban Residential (UR) District, being Lot 105, Valley Downs Phase 1 Subdivision, a portion of Man O' War Street abandoned by City of Edinburg Doc. #1921923 O.R., and a portion of Seattle Slew Street abandoned by City of Edinburg Doc. #1921923 O.R., located at 5125 South Business Highway 281, as requested by Gilbert Ortiz, on behalf of Ernesto Salinas
- I. Consider the Initial Zoning Request to Suburban Residential (S) District of a 30 acre tract of land, more or less, consisting of all of Lots 20, 21, and 22, Caledonian Estates, located at 3701 East Curve Road, as requested by Salinas Engineering & Associates

5. **SUBDIVISIONS (PUBLIC HEARINGS)**

- A. Consider the Preliminary Re-plat of Lots 7 & 11, North Industrial Park Subdivision, being an 8.22 acre tract of land out of Lots 7 & 11, North Industrial Park Subdivision, located at 6930 Democracy Drive, as requested by R.E. Garcia & Associates

6. **CONSENT AGENDA**

- A. Consider the Final Plat for Russell Park III & IV Subdivision, being a 20.49 acre tract out of Lots 15 & 16, Section 244, Texas-Mexican Railway Company's Survey, located at 400 East Russell Road, as requested by Cruz-Hogan Consultants, Inc.
- B. Consider the Final Plat for Las Olas Subdivision, being a 25.331 acre tract out of Lot 9, Block 53, Alamo Land & Sugar Company Subdivision, located at 5900 East Alberta Road, as requested by Melden & Hunt, Inc.

7. **SUBDIVISIONS (PLATS)**

- A. Consider the Preliminary Plat of Citrus Gardens Subdivision, being a 10.07 acre tract out of Lot 13, Block 39 of the Santa Cruz Gardens Unit No. 2 Subdivision, located at 2700 East Davis Road, as requested by RO Engineering, PLLC.
- B. Consider the Preliminary Plat of The Heights on Trenton Phase II Subdivision, being a 33.58 acre tract out of Lot 15, Block 55, Alamo Land and Sugar Company's Subdivision, located at 3501 East Trenton Road, as requested by Quintanilla, Headley & Associates, Inc.
- C. Consider the Preliminary Plat of T&O Ranch No. 2 Subdivision, being a 4.95 acre tract of land out of Lots 2 & 3, Block 28, Santa Cruz Gardens Unit 2 Subdivision, located at 7100 East Benito A. Ramirez Road, as requested by Quintanilla, Headley & Associates, Inc.
- D. Consider the Preliminary Plat of Jalpa Oaks Subdivision, being a 17.37 acre tract out of Lots 31 and 32, M.L. Woods Co. Tract No. 4 Subdivision, located at 4801 South Veterans Road, as requested by Melden & Hunt, Inc.

8. **SUBDIVISIONS (VARIANCES)**

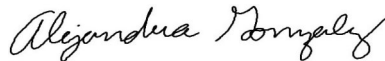
- A. Consider the Variance to Article 7 Section 7.502, Roadway Widening, T&O Ranch No. 2 Subdivision, a 4.95 acre tract of land out of the East ½ Lots 2 and 3, Block 28, Santa Cruz Gardens Unit 2 Subdivision, located at 7100 East Benito A. Ramirez Road, as requested by Quintanilla, Headley & Associates, Inc.
- B. Consider the Variance to Article 8 Section 8.2041 and 8.213 Street Standards, Sidewalks and Trails, Monarco Estates Subdivision, being a 37.576 acre tract out of Lot 16, Block 53, Alamo Land and Sugar Company's Subdivision, located at 6001 East Owassa Road, as requested by Melden & Hunt, Inc.
- C. Consider the Variance to Article 7 Section 7.404B Blocks and Block Length, Citrus Gardens Lot 13, Block 3, Santa Cruz Gardens Unit No. 2, located at 2700 East Davis Road, as requested by RO Engineering
- D. Consider the Variance to Section 7.404B Blocks and Block Length, Oak Hill at Villanueva Estates Phase 2 Subdivision, being 13.564 acres out of Lot 9, Section 233, Texas-Mexican Railway Company's Survey, located at 1201 North Hoehn Road, as requested by Melden and Hunt, Inc.

9. **DIRECTOR'S REPORT**

- A. Unified Development Code Update

10. **ADJOURNMENT**

I hereby certify that this notice of meeting was posted in accordance with the Open Meetings Act, V.T.C.A., Government Code, Section 551.041, at the Edinburg City Hall Building, 415 West University Drive, Edinburg, Texas, visible and accessible to the general public after regular working hours, on Friday, November 5, 2021 at 9:00 P.M.



Alejandra Gonzalez, Administrative Assistant
Planning & Zoning Department

NOTICE

PERSONS WITH DISABILITIES WHO NEED TO COMMUNICATE MORE EFFECTIVELY WITH CITY OFFICIALS AND WHO MAY NEED AUXILIARY AIDS OR SERVICES SUCH AS INTERPRETERS FOR PERSONS WHO ARE DEAF OR HEARING IMPAIRED ARE REQUESTED TO CONTACT THE OFFICE OF THE CITY SECRETARY AT (956) 388-8204 THREE WORKING DAYS PRIOR TO ANY MEETING SO THAT APPROPRIATE ARRANGEMENTS CAN BE MADE.



CITY OF EDINBURG
Planning & Zoning Commission
Regular Meeting
Meeting Date:
11/09/2021
Rezoning Request

AGENDA ITEM 6A:

Hold Public Hearing and Consider the Rezoning Request from Suburban Residential (S) District to Auto-Urban Residential (AU) District, a 1.00 acre tract of land, being a portion of the North 5.00 acres of Lot 10, Section 244, Texas-Mexican Railway Company's Survey, located at 424 East Rogers Road, as requested by Berta A. Salazar [Development Services Department Kimberly Mendoza, Director of Planning & Zoning]

DESCRIPTION / SCOPE:

The property is located on the south side of East Rogers Road, approximately 1,225.40 ft. east of North Business Highway 281 and has an existing single family residential structure. The requested zoning designation allows for single family and multifamily residential uses on the subject property. The applicant is requesting the change of zone to convert the existing garage as a duplex.

The property is currently zoned Suburban Residential (S) District. The surrounding zoning is a Suburban Residential (S) District to the north, south and east, and Auto-Urban Residential (AU) District to the west. The future land use designation is for Auto-Urban Uses.

Staff mailed a notice of the public hearing before to 21 neighboring property owners and received no comments in favor or against this request by the time this report was prepared.

ESTIMATED TIMELINE:

The recommendation of approval or denial of this public hearing is scheduled for consideration by the City Council on December 7, 2021. City Council's decision is the final step in the zoning process for this property. If denied the applicant may not request the proposed zoning classification for a 12 month period from the date of denial.

STAFF RECOMMENDATION:

Staff recommends approval of the Rezoning Request from Suburban Residential (S) District to Auto-Urban Residential (AU) District based on the adjacent zoning. The requested zoning is also in conformance with the future land use plan.

If approved, the applicant will need to comply with all requirements during the permitting process including compliance with subdivision regulations, building and fire codes, fire protection, parking, landscape buffer-yards, solid waste services, utility, and any other City requirements, as applicable.

JUSTIFICATION:

Staff recommendation is based on the adjacent zoning and future land use plan. A multifamily residential development is a permitted use in the requested zoning designation.

Nikki Marie Cavazos
Planner I

Kimberly A. Mendoza, MPA
Director of Planning & Zoning

MEETING DATES:
PLANNING & ZONING COMMISSION – 11/09/2021
CITY COUNCIL – 12/07/2021
DATE PREPARED – 11/05/2021

STAFF REPORT
GENERAL INFORMATION

APPLICATION: Rezoning Request from Suburban Residential (S) District to Auto-Urban Residential (AU) District

APPLICANT: Berta A. Salazar

AGENT: N/A

LEGAL: a 1.00 acre tract of land, being a portion of the North 5.00 acres of Lot 10, Section 244, Texas-Mexican Railway Company's Survey

LOCATION: Located at 424 East Rogers Road

LOT/TRACT SIZE: 1.00 acre

CURRENT USE: Single Family Residence

PROPOSED USE: Multi- Family

EXISTING ZONING: Suburban Residential (S) District

ADJACENT ZONING: North – Urban Residential (UR) District
South – Commercial General (CG) and Agriculture (AG) Districts
East – Urban Residential (UR), Neighborhood Conservation 7.1 (NC7.1), Suburban Residential (S), and Commercial General (CG) Districts.
West – Neighborhood Conservation 5 (NC5) and Neighborhood Conservation 7.1 (NC7.1) Districts

LAND USE PLAN: Auto-Urban Uses

PUBLIC SERVICES: North Alamo Water & City of Edinburg Sewer

RECOMMENDATION: Staff recommends approval of the Rezoning Request from Suburban Residential (AG) to Auto-Urban Residential (AU) District

REZONING REQUEST

BERTA A. SALAZAR

EVALUATION

The following is staff's evaluation of the request.

1. The land use pattern for this area of the community consists of single family residential uses and vacant land.
2. The applicant is requesting the change of zone to construct a multifamily residential development.

Staff recommends approval of the Rezoning Request from Suburban Residential (S) District to Auto-Urban Residential (AU) District based on the adjacent zoning. The requested zoning is also in conformance with the future land use plan.


If approved, the applicant will need to comply with all requirements during the permitting process including compliance with subdivision regulations, building and fire codes, fire protection, parking, landscape buffer-yards, solid waste services, utility, and any other City requirements, as applicable.

Staff mailed a notice of the public hearing before to 21 neighboring property owners and received no comments in favor or against this request by the time this report was prepared.


ATTACHMENTS: Aerial Photo
Site Map
Zoning Map
Future Land Use Map
Photo of site
Exhibits

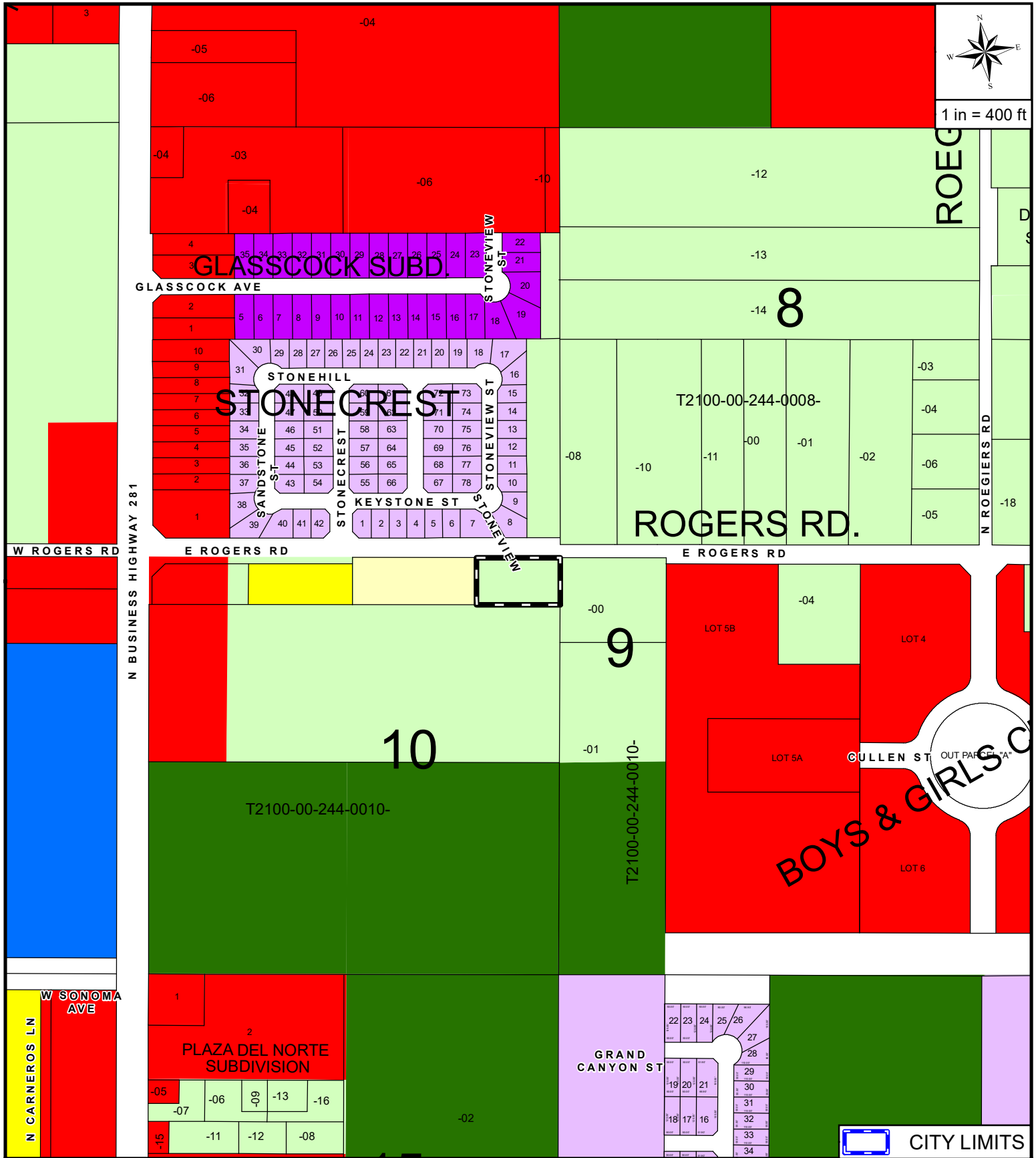


AERIAL MAP	
APPLICANT/SUBDIVISION:	BERTA A. SALAZAR
CASE CAPTION:	CONSIDER THE REZONING REQUEST FROM SUBURBAN RESIDENTIAL (S) DISTRICT TO AUTO-URBAN RESIDENTIAL (AU) DISTRICT, A 1.00 ACRE TRACT OF LAND, BEING A PORTION OF THE NORTH 5.00 ACRES OF LOT 10, SECTION 244, TEXAS-MEXICAN RAILWAY COMPANY'S SURVEY, LOCATED AT 424 EAST ROGERS ROAD, AS REQUESTED BY BERTA A. SALAZAR

 CITY LIMITS

LEGEND

 APPLICANT SITE



ZONING MAP

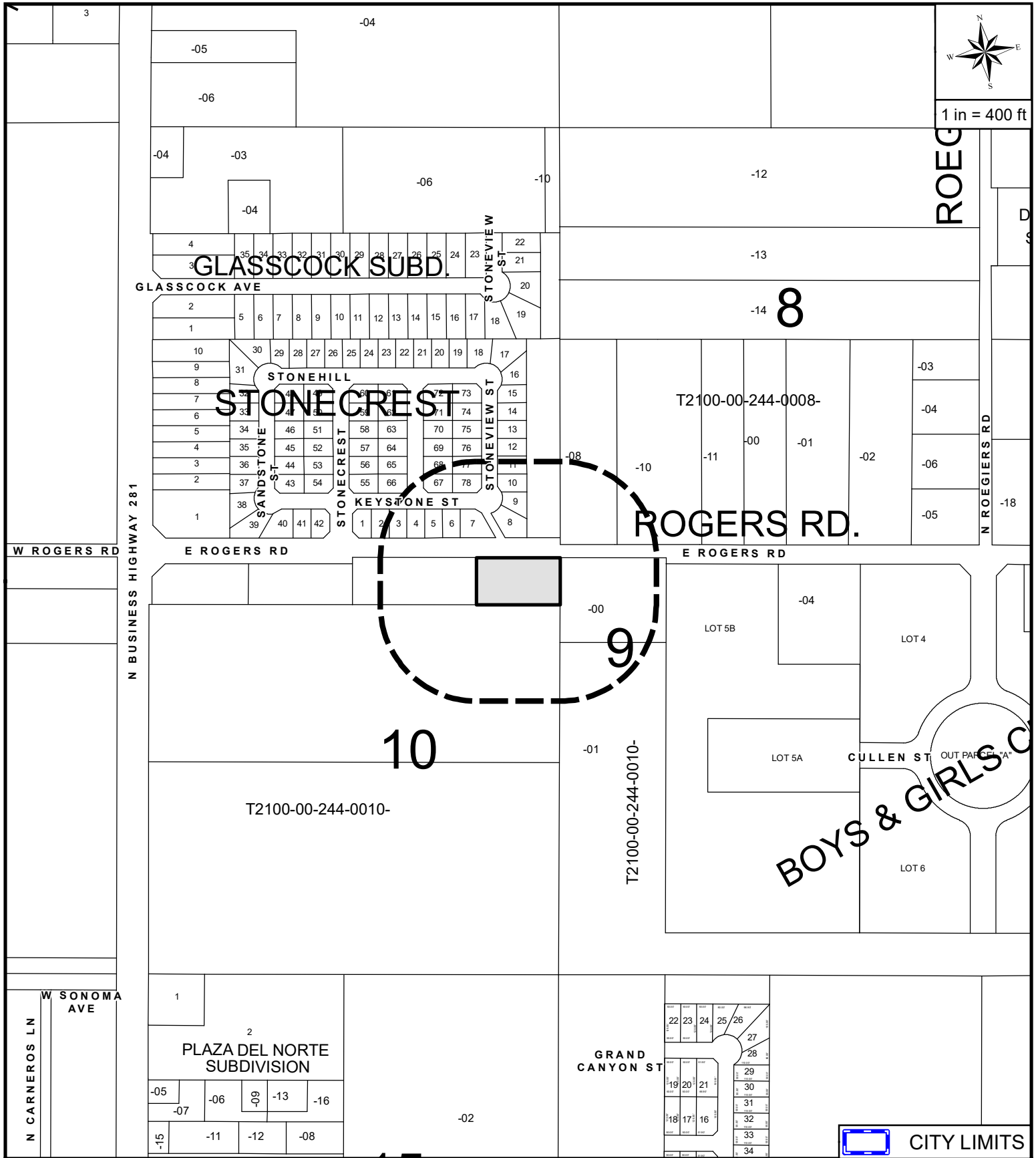
APPLICANT/SUBDIVISION: BERTA A. SALAZAR

CASE CAPTION:

CONSIDER THE REZONING REQUEST FROM SUBURBAN RESIDENTIAL (S) DISTRICT TO AUTO-URBAN RESIDENTIAL (AU) DISTRICT, A 1.00 ACRE TRACT OF LAND, BEING A PORTION OF THE NORTH 5.00 ACRES OF LOT 10, SECTION 244, TEXAS-MEXICAN RAILWAY COMPANY'S SURVEY, LOCATED AT 424 EAST ROGERS ROAD, AS REQUESTED BY BERTA A. SALAZAR

LEGEND

- APPLICANT SITE
- ZONING DISTRICTS**
- AGRICULTURE
- AUTO-URBAN RESIDENTIAL
- COMMERCIAL, GENERAL
- COMMERCIAL, NEIGHBORHOOD
- DOWNTOWN DISTRICT
- INDUSTRIAL
- NEIGHBORHOOD CONSERVATION 5
- NEIGHBORHOOD CONSERVATION 7.1
- NEIGHBORHOOD CONSERVATION MH
- SUBURBAN RESIDENTIAL
- URBAN RESIDENTIAL
- URBAN UNIVERSITY



MAILOUT AND SITE MAP	
APPLICANT/SUBDIVISION:	BERTA A. SALAZAR
CASE CAPTION:	CONSIDER THE REZONING REQUEST FROM SUBURBAN RESIDENTIAL (S) DISTRICT TO AUTO-URBAN RESIDENTIAL (AU) DISTRICT, A 1.00 ACRE TRACT OF LAND, BEING A PORTION OF THE NORTH 5.00 ACRES OF LOT 10, SECTION 244, TEXAS-MEXICAN RAILWAY COMPANY'S SURVEY, LOCATED AT 424 EAST ROGERS ROAD, AS REQUESTED BY BERTA A. SALAZAR

CITY LIMITS

APPLICANT SITE

300FT NOTIFICATION



Case #

THE CITY OF
EdinburgPlanning & Zoning Department
415 W. University Drive
Edinburg, Texas 78539
(956) 388-8202

Zone Change Application

1. Name: Berta A Salazar Phone No. 956-207-52-38
2. Mailing Address: 424 E Rogers
3. City: Edinburg State: Texas Zip: 78541
4. Email Address: T. salazar 1@ hotmail. Com Cell No. 956-207-52-38
5. Agent: _____ Phone No. _____
6. Agent's Mailing Address: _____
7. City: _____ State: _____ Zip: _____
8. Email Address: _____
9. Address/Location being Rezoned: 424 E. Rogers Rd
10. Legal Description of Property: _____ Property ID: 697888
Tex-Mex Survey E 260.84' - N 167' Lot 10
Sec 244 1.00 AC GR. 88 AC NET
11. Zone Change: From: Suburban Resid. To: Auto Urban Resid.
12. Existing Land Use: Suburban Resid.
13. Reason for Zone Change: Wanting to Remodel existing Garage
Into 2 Apts. for Detached

(Please Print Name)

Signature

AMOUNT PAID \$ _____ RECEIPT NUMBER _____

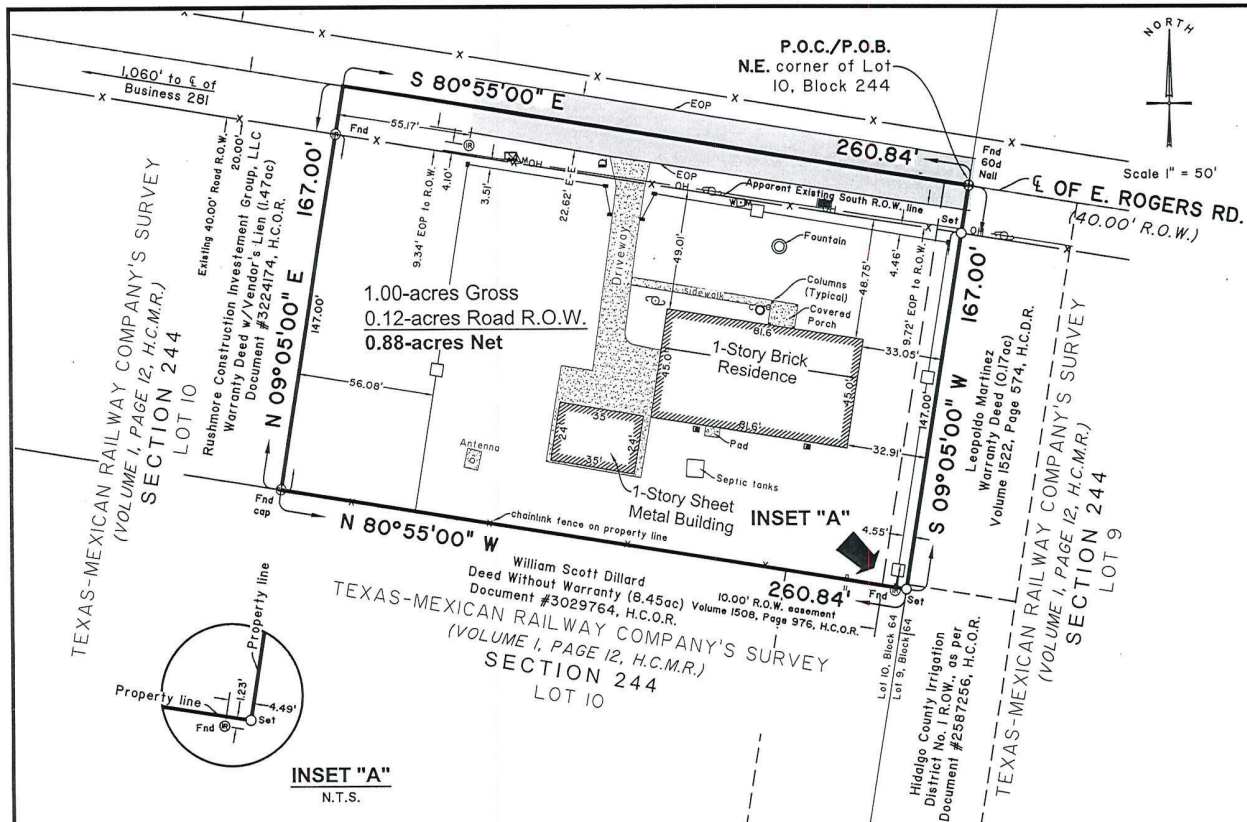
RECEIVEDPUBLIC HEARING DATE (PLANNING & ZONING COMMISSION) 4:00 PM

SEP 23 2021

PUBLIC HEARING DATE (CITY COUNCIL) - 6:00 PM: _____

Name: B. Salazar

(NOTE: BOTH MEETINGS ARE HELD AT THE EDINBURG CITY COUNCIL CHAMBERS)



**SURVEY PLAT SHOWING
A 1.00-ACRE TRACT OF LAND
BEING A PORTION OF THE NORTH
5.00-ACRES OF
LOT 10, SECTION 244,
TEXAS-MEXICAN RAILWAY
COMPANY'S SURVEY,
HIDALGO COUNTY, TEXAS,
VOLUME 1, PAGE 12, H.C.M.R.**

(See Exhibit "A" for Metes and Bounds description)

Legend

H.C.M.R.	Hidalgo County Map Records
H.C.O.R.	Hidalgo County Official Records
H.C.D.R.	Hidalgo County Deed Records
P.O.B.	Point of Beginning
P.O.C.	Point of Commencing
R.O.W.	Right-of-Way
N.E.	Northeast
Fnd	Found No. 4 Rebar
Set	Set No. 4 Rebar
EOP	Edge of pavement
E-E	Edge to Edge
Found No. 4 Rebar	Found No. 4 Rebar
Found No. 4 Rebar w/cap	Found No. 4 Rebar w/cap
Found 60d nail	Found 60d nail
Existing wrought iron or wood post fence	Existing wrought iron or wood post fence
Existing chainlink fence	Existing chainlink fence
Existing hogwire fence	Existing hogwire fence
Existing overhead power line	Existing overhead power line
Existing power pole	Existing power pole
Existing electric meter	Existing electric meter
Existing mailbox	Existing mailbox
Existing telephone box	Existing telephone box
Existing grate inlet	Existing grate inlet
Existing water meter	Existing water meter
A/C Unit	A/C Unit
Asphalt pavement	Asphalt pavement
Concrete pavement	Concrete pavement
Tile flooring	Tile flooring

General Notes:

- Survey is valid only if print has original seal and signature of surveyor.
- Bearing basis as per the North line of 8.44-acre tract, Document #2587256, H.C.O.R.
- Title Company: San Jacinto Title Services of Texas, LLC
Commitment GF No. 212440786
Effective Date: May 18, 2021;
From Schedule B:
10.
 - Rights or claims by Hidalgo County Irrigation District No. 1, to any portion of property lying within canal and/or drain ditch easements and/or rights of way located on the property.
 - Statutory rights, rules, regulations, easements and liens in favor of Hidalgo County Irrigation District No. 1, pursuant to applicable sections of the Texas Water Code. (Blanket)
 - Subdivision regulations of the County of Hidalgo and/or ordinances or regulations of the city holding extra-territorial jurisdiction of said property.
 - Easements and reservations as shown according to the map or plat thereof recorded in Volume 1, Page 12, Map Records of Hidalgo County, Texas.
 - RIGHT OF WAY dated, executed by Santos Diaz to City of Edinburg, recorded in Volume 1617, Page 25, Official Public Records of Hidalgo County, Texas. (Not applicable)
 - Easement as reserved in Deed dated October 7, 1976, executed by Hidalgo County Water Control and Improvement District No. 1 to Santos Diaz and wife, Emma Diaz, recorded in Volume 1508, Page 976, Deed Records, Hidalgo County, Texas. (Not an easement)
 - Any visible and apparent unrecorded easements on the insured property.
- William A. Mangum, did not research or prepare a title report or abstract of title on the above property.
- Building, zoning, platting and/or regulatory laws and/or ordinances at any municipal and/or other governmental authority will apply.
- The existence, if any underground gas lines or other underground utilities not shown on this survey should be thoroughly investigated by the owner prior to any construction on this site. The Surveyor has limited his investigation of underground utilities on this site to that which can be seen.
- Flood Zone "X" (shaded) - Areas of 500-year floodplain; areas of 100-year flood with average depths of less than 1 foot or with drainage areas less than 1 square mile; and area protected by levees from 100-year flood.
Community Panel No. 480338 0015E
Map Revised: June 6, 2000
Revised to Reflect LOMR Dated: May 14, 2001

Borrower(s):

Jose Salazar
424 E. Rogers Rd.
Edinburg, Texas 78541

The undersigned hereby state that this survey as described hereon, was made on the ground of **W & L MANGUM SURVEYING** direction, that the only improvements on the ground are as shown. That there are no visible encroachments, no visible overlapping, apparent conflicts, or other easements or other as shown hereon.

WILLIAM A. MANGUM, RPLS No. 4353 DATE:

W & L MANGUM SURVEYING

2520 Buddy Owens Blvd., McALLEN, TEXAS 78504

PHONE (956) 249-8061

FIRM NUMBER 10113300

wlmangumsurveying@gmail.com

DATE: 06/30/2021

JOB No. WLM21-042

BOOK ??? PG. ??

T.B.P.L.S. PHONE No. 512-239-5263

© COPYRIGHT 2021 W&L MANGUM SURVEYING ALL RIGHTS RESERVED





CITY OF EDINBURG
Planning & Zoning Commission

Regular Meeting

Meeting Date:

November 9, 2021

Rezoning Request

AGENDA ITEM 4B:

Hold Public Hearing and Consider the Comprehensive Plan Amendment from Agriculture Uses to General Commercial Uses and the Rezoning Request from Agriculture (AG) District to Commercial General (CG) District, a 1.00 acre tract of land, being a portion of Block 11, Baker's Subdivision, located at 14701 North I-69C, as requested by R.E. Garcia & Associates. [Development Service Department – Kimberly Mendoza, Director of Planning & Zoning]

DESCRIPTION / SCOPE:

The property is located on the west side of I-69C, approximately 2,250 ft. south of South Los Cerritos Circle and is currently vacant. The tract has 195 ft. of frontage along I-69C and 223.38 ft. of depth for a tract size of 1.00 acre. The requested zoning designation allows for commercial general use on the subject property. The subject property was annexed into the City of Edinburg on October 1, 2019. A subdivision by the name of Peña 281 was received by the Planning & Zoning Department on September 24, 2021 and has been reviewed administratively as a Minor Subdivision. The subdivision consists of one lot with a tract size of 43,560 sq. ft. The applicant proposes to remodel the existing structure for a towing service facility.

The property is currently zoned Agriculture (AG) District. The adjacent properties are outside city limits. The surrounding land uses consist of single-family residential and commercial uses. The future land use designation is Agriculture.

Staff mailed a notice of the public hearing before to seven neighboring property owners and received no comments in favor or against this request at the time of this report.

ESTIMATED TIMELINE:

The recommendation of approval or denial of this public hearing is scheduled for consideration by the City Council on December 7, 2021. City Council's decision is the final step in the zoning process for this property. If denied the applicant may not request the proposed zoning classification for a 12 month period from the date of denial.

STAFF RECOMMENDATION:

Staff recommends approval of the Comprehensive Plan Amendment from Agriculture Uses to General Commercial Uses and the Rezoning Request from Agriculture (AG) District to Commercial General (CG) District based on the surrounding land uses. If approved, the applicant will need to comply with all requirements during the permitting process including compliance with subdivision regulations, building and fire codes, fire protection, parking, landscape buffer-yards, solid waste services, utility, and any other City requirements, as applicable.

JUSTIFICATION:

Staff recommends approval of the request based on surrounding land uses.

Nikki Marie Cavazos
Planner I

Kimberly A. Mendoza, MPA
Director of Planning & Zoning

MEETING DATES:
PLANNING & ZONING COMMISSION – 11/09/2021
CITY COUNCIL – 12/07/2021
DATE PREPARED – 11/04/2021

STAFF REPORT
GENERAL INFORMATION

APPLICATION: Comprehensive Plan Amendment from Agriculture Uses to General Commercial Uses and the Rezoning Request from Agriculture (AG) District to Commercial General (CG) District

APPLICANT: R.E. Garcia & Associates

AGENT: N/A

LEGAL: 1.00 acre tract of land, being a portion of Block 11, Baker's Subdivision

LOCATION: Located at 14701 I-69C

LOT/TRACT SIZE: 1.00 acre tract of land

CURRENT USE: Vacant

PROPOSED USE: General Commercial Use

EXISTING ZONING: Agriculture (AG) District

ADJACENT ZONING: North – Extraterritorial Jurisdiction (ETJ) District
South – Extraterritorial Jurisdiction (ETJ) District
East – Extraterritorial Jurisdiction (ETJ) District
West – Extraterritorial Jurisdiction (ETJ) District

LAND USE PLAN: Agriculture Uses

PUBLIC SERVICES: City of Edinburg Water & Sewer

RECOMMENDATION: Staff recommends approval of the Comprehensive Plan Amendment from Agriculture Uses to General Commercial Uses and the Rezoning Request from Agriculture (AG) District to Commercial General (CG) District

EVALUATION

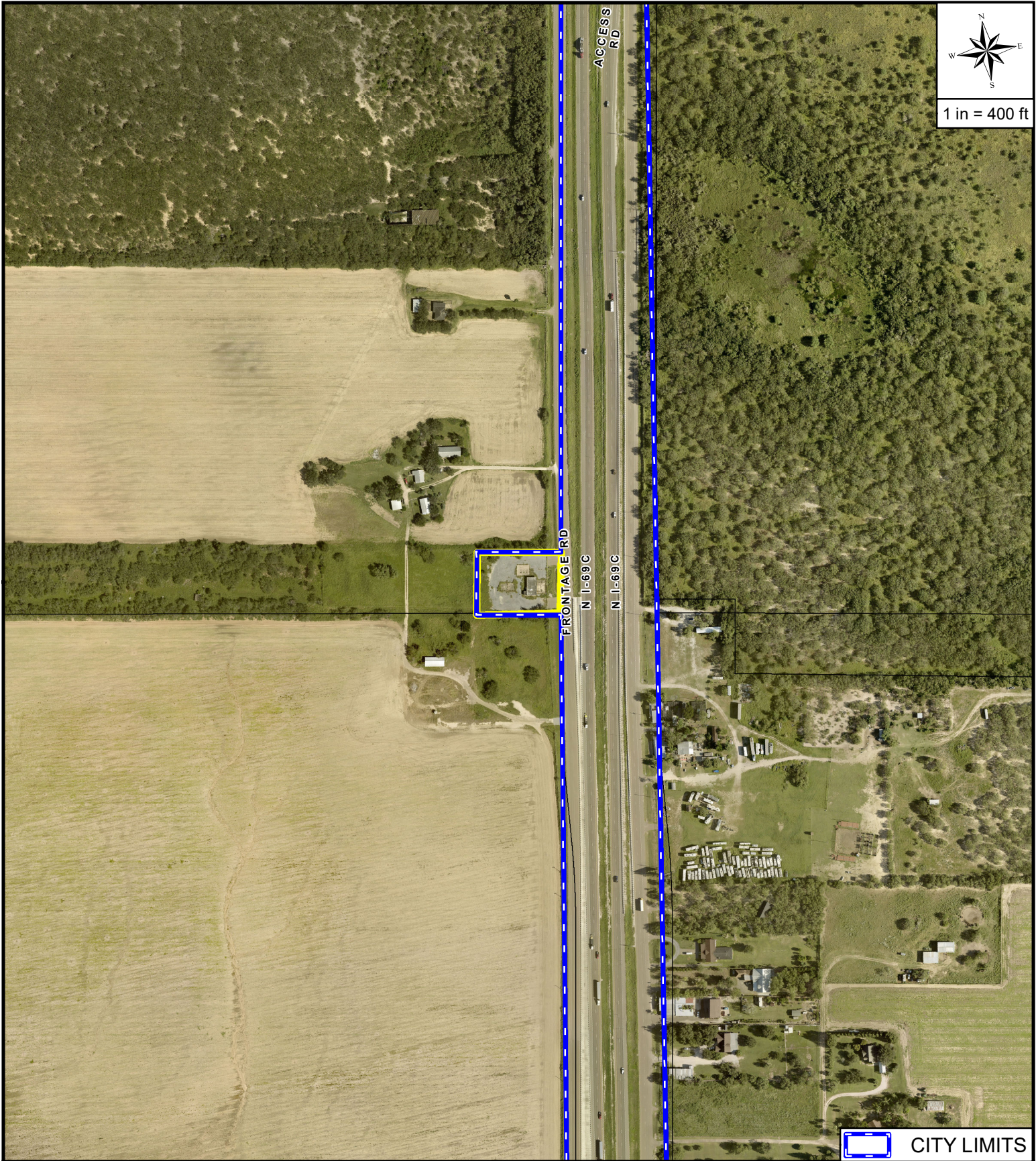
The following is staff's evaluation of the request.

1. The land use pattern for this area of the community consists of existing residential & commercial uses.
2. The applicant is requesting the change of zone to remodel existing structure for a towing service facility.

Staff recommends approval of the Comprehensive Plan Amendment from Agriculture Uses to General Commercial Uses and the Rezoning Request from Agriculture (AG) District to Commercial General (CG) District, based on the surrounding land uses. If approved, the applicant will need to comply with all requirements during the permitting process including bufferyards, compliance with subdivision regulations, building and fire codes, fire protection, parking, landscape buffer-yards, solid waste services, utility, and any other City requirements, as applicable.

Staff mailed a notice of the public hearing before to seven neighboring property owners and received no comments in favor or against this request at the time of the report.

ATTACHMENTS: Aerial Photo
Zoning Map
Future Land Use Map
Mailout & Site Map
Exhibits



AERIAL MAP

APPLICANT/SUBDIVISION: R.E. GARCIA & ASSOCIATES

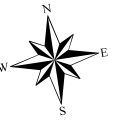
CASE CAPTION:

CONSIDER THE COMPREHENSIVE PLAN AMENDMENT FROM AGRICULTURE USES TO GENERAL COMMERCIAL USES AND THE REZONING REQUEST FROM AGRICULTURE (AG) DISTRICT TO COMMERCIAL GENERAL (CG) DISTRICT, BEING A 1.00 ACRE TRACT OF LAND, BEING A PORTION OF BLOCK 11, BAKER'S SUBDIVISION, LOCATED AT 14701 NORTH I-69C, AS REQUESTED BY R.E. GARCIA AND ASSOCIATES

 CITY LIMITS

LEGEND

 APPLICANT SITE



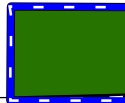
1 in = 400 ft

ACCESS
RD

FRONTAGE RD

N I-69 C

N I-69 C



CITY LIMITS



ZONING MAP

APPLICANT/SUBDIVISION: R.E. GARCIA & ASSOCIATES













CASE CAPTION:

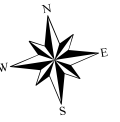
CONSIDER THE COMPREHENSIVE PLAN AMENDMENT FROM AGRICULTURE USES TO GENERAL COMMERCIAL USES AND THE REZONING REQUEST FROM AGRICULTURE (AG) DISTRICT TO COMMERCIAL GENERAL (CG) DISTRICT, BEING A 1.00 ACRE TRACT OF LAND, BEING A PORTION OF BLOCK 11, BAKER'S SUBDIVISION, LOCATED AT 14701 NORTH I-69C, AS REQUESTED BY R.E. GARCIA AND ASSOCIATES

LEGEND

 APPLICANT SITE

ZONING DISTRICTS

-  AGRICULTURE
-  AUTO-URBAN RESIDENTIAL
-  COMMERCIAL, GENERAL
-  COMMERCIAL, NEIGHBORHOOD
-  DOWNTOWN DISTRICT
-  INDUSTRIAL
-  NEIGHBORHOOD CONSERVATION 5
-  NEIGHBORHOOD CONSERVATION 7.1
-  NEIGHBORHOOD CONSERVATION MH
-  SUBURBAN RESIDENTIAL
-  URBAN RESIDENTIAL
-  URBAN UNIVERSITY



1 in = 400 ft

ACCESS
RD

FRONTAGE RD

N I-69 C

N I-69 C



CITY LIMITS



FUTURE LANDUSE MAP

APPLICANT/SUBDIVISION: R.E. GARCIA & ASSOCIATES


CASE CAPTION:

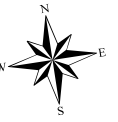
CONSIDER THE COMPREHENSIVE PLAN AMENDMENT FROM AGRICULTURE USES TO GENERAL COMMERCIAL USES AND THE REZONING REQUEST FROM AGRICULTURE (AG) DISTRICT TO COMMERCIAL GENERAL (CG) DISTRICT, BEING A 1.00 ACRE TRACT OF LAND, BEING A PORTION OF BLOCK 11, BAKER'S SUBDIVISION, LOCATED AT 14701 NORTH I-69C, AS REQUESTED BY R.E. GARCIA AND ASSOCIATES

LEGEND

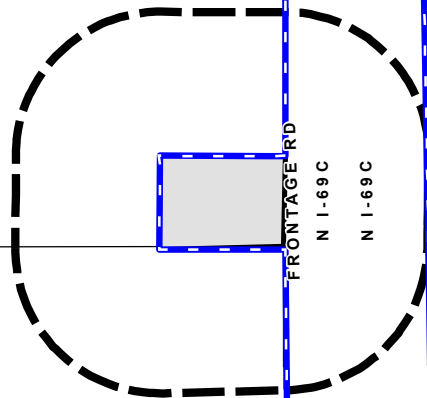
 APPLICANT SITE

FUTURE LANDUSE

-  Agriculture
-  Auto-Urban
-  Downtown District
-  General Commercial
-  Industrial
-  Mobile Home
-  Neighborhood Commercial
-  Office Business Park
-  Suburban
-  Urban
-  Urban University





1 in = 400 ft



 CITY LIMITS

LEGEND

 APPLICANT SITE
 300FT NOTIFICATION



MAILOUT AND SITE MAP

APPLICANT/SUBDIVISION: R.E. GARCIA & ASSOCIATES

CASE CAPTION:

CONSIDER THE COMPREHENSIVE PLAN AMENDMENT FROM AGRICULTURE USES TO GENERAL COMMERCIAL USES AND THE REZONING REQUEST FROM AGRICULTURE (AG) DISTRICT TO COMMERCIAL GENERAL (CG) DISTRICT, BEING A 1.00 ACRE TRACT OF LAND, BEING A PORTION OF BLOCK 11, BAKER'S SUBDIVISION, LOCATED AT 14701 NORTH I-69C, AS REQUESTED BY R.E. GARCIA AND ASSOCIATES



Case #

Edinburg THE CITY OF

Planning & Zoning Department
415 W. University Drive
Edinburg, Texas 78539
(956) 388-8202

Zone Change Application

Date: September 23, 2021

1. Name: PSC Land Development, Inc. 2. Phone: (956) 929-4403

3. Mailing Address: 13303 N. Highway 281

4. City: Edinburg State: Texas Zip: 78542

5. Email Address: xavierpena2@allstate.com 6. Cell No. (956) 929-4403

7. Agent: Raul E. Garcia, PE, RPLS, CFM 8. Agent's Phone: (956) 381-1061


9. Agent's Mailing Address: 116 N. 12th

10. City: Edinburg State: Texas Zip: 78541

11. Agent's Email: regaassoc@aol.com

12. Address/Location being Rezoned: 14113 N. 281, Edinburg, Texas 78542

13. Legal Description of Property: 14. Property ID(s): 120085

A 1.00 acre tract of land being a portion of Block 11, Bakers Subdivision, as recorded in Volume 2, Page 46, Map Records, Hidalgo County, Texas, also being a portion of that certain tract described in Warranty Deed recorded in Document #2554043, Official Records, Hidalgo County, Texas 

15. Zone Change: From: AG - Agriculture To: CG - Commercial General

16. Existing Land Use: Vacant Convenience Store

17. Reason for Zone Change: To accommodate installation of a Towing service

Matias Pena, Jr., President

(Please Print Name)


Signature

AMOUNT PAID \$ 400.00

RECEIPT NUMBER _____

RECEIVED

PUBLIC HEARING DATE (PLANNING & ZONING COMMISSION) – 4:00 PM: _____

PUBLIC HEARING DATE (CITY COUNCIL) – 6:00 PM: _____

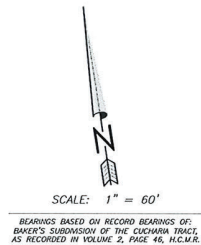
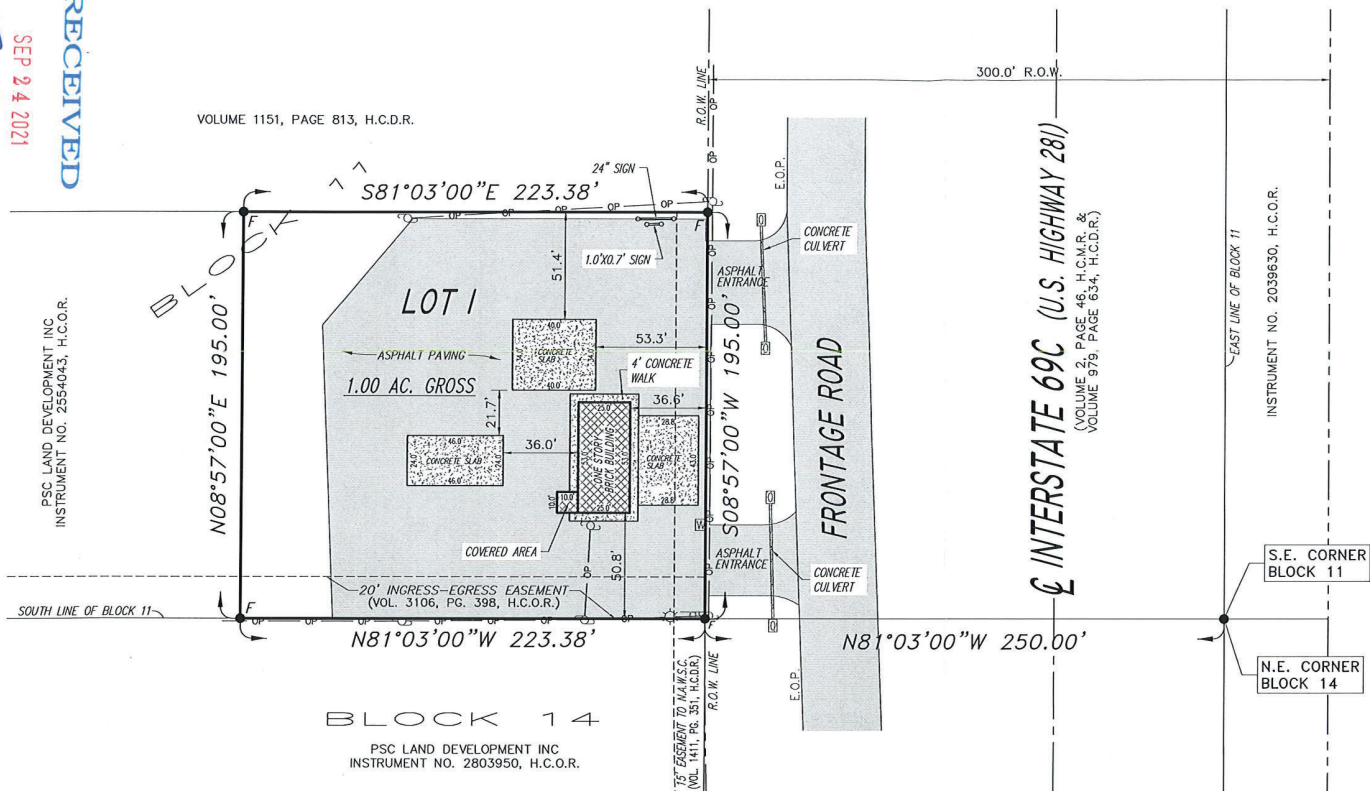
(NOTE: BOTH MEETINGS ARE HELD AT THE EDINBURG CITY COUNCIL CHAMBERS)

SEP 24 2021
Name: (Y) 10:39am

Name: *10:38am*

SEP 24 2021

RECEIVED



PLAT SHOWING

A 1.00 ACRE TRACT OF LAND BEING A PORTION OF BLOCK 11, BAKER'S SUBDIVISION AS RECORDED IN VOLUME 2, PAGE 46, MAP RECORDS, HIDALGO COUNTY, TEXAS, ALSO BEING A PORTION OF THAT CERTAIN TRACT DESCRIBED IN WARRANTY DEED RECORDED IN DOCUMENT NUMBER 2554043, OFFICIAL RECORDS, HIDALGO COUNTY, TEXAS.

I, RAUL E. GARCIA, REGISTERED PROFESSIONAL LAND SURVEYOR, CERTIFY THAT THE ABOVE IS A TRUE AND ACCURATE PLAT OF THE LANDS AS SURVEYED UNDER MY DIRECTION AND THAT THERE ARE NO VISIBLE DISCREPANCIES, VISIBLE EASEMENTS, CONFLICTS, SHORTAGES IN AREA, BOUNDARY LINE CONFLICTS, PROTRUSIONS, EXCEPT AS SHOWN.



R. E. Garcia
REGISTERED PROFESSIONAL LAND SURVEYOR # 4204

This survey is being provided solely for the use of the current parties and that no license has been created, expressed or implied, to copy the survey except as is necessary in conjunction with the original transaction which shall take place within a six (6) months time period.

NOTE:
UNDERGROUND FACILITIES ARE NOT SHOWN ON THIS SURVEY.
SURVEY COMPLETED WITHOUT THE BENEFIT OF A TITLE COMMITMENT.

FIRM:
FLOOD INSURANCE RATE MAP
COMMUNITY-PANEL NUMBER
480334 0225 B
MAP REVISED: 01/02/1981
THIS AREA IS IN FLOOD ZONE "C"

 R.E. Garcia Associates	R. E. GARCIA & ASSOCIATES ENGINEERS, SURVEYORS, PLANNERS ENGINEER (F-5001) & SURVEYOR (10015300) 116 NORTH 12th AVE. EDINBURG, TEXAS 78541 (956) 381-1061 EMAIL: REGAASSOC@AOL.COM	TITLE: IMPROVEMENT SURVEY
		DATE: SEPTEMBER 15, 2020 REV:
		JOB # 2019-052
		SCALE: 1" = 60'
		DRAWN BY: D.E.S.





CITY OF EDINBURG
Planning & Zoning Commission

Regular Meeting

Meeting Date:

11/09/2021

Rezoning Request

AGENDA ITEM 4E:

Consider the Rezoning Request from Agriculture (AG) District to Auto-Urban Residential (AU) District, being a 17.373 acre tract of land out of Lots 31 & 32, The M.L. Woods CO. Tract No.4, located at 4801 South Veterans Boulevard, as requested by Melden & Hunt, Inc.

DESCRIPTION / SCOPE:

The property is located on the west side of South Veterans Boulevard, approximately 650 ft. north of East Alberta Road and is vacant. The tract has 406 ft. of frontage along South Veterans Boulevard and 1,317.50 ft. of depth to the deepest point for a tract size of 17.373 acres. The requested zoning designation allows for single and multi-family residential uses on the subject property. The applicant is requesting the change of zone to develop a single family residential subdivision. A subdivision submitted under the name of Jalpa Oaks is also on the same agenda for preliminary consideration by the Planning and Zoning Commission. The subdivision consists of 49 lots ranging in size from 5,930 square feet to 10,100 square feet.

The property is currently zoned Agriculture (AG) District. The surrounding zoning is Agriculture (AG) District to the north, south and west, and Auto-Urban Residential (AU) District to the east. The future land use designation is for Auto-Urban Uses.

Staff mailed a notice of the public hearing before to 31 neighboring property owners and received no comments in favor or against this request by the time this report was prepared.

BACKGROUND / HISTORY

Staff received a Zone Change Application for the subject property on October 4, 2021, requesting Auto-Urban Residential (AU) District zoning. Submitted with the Application was a survey and a proposed subdivision layout for single family uses.

ESTIMATED TIMELINE:

The recommendation of approval or denial of this public hearing is scheduled for consideration by the City Council on December 7, 2021. City Council's decision is the final step in the zoning process for this property. If denied the applicant may not request the proposed zoning classification for a 12 month period from the date of denial.

STAFF RECOMMENDATION:

Staff recommends approval of the Rezoning Request from Agriculture (AG) District to Auto-Urban Residential (AU) District based on development trends in this area. The requested zoning designation is also in conformance with the future land use plan.

If approved, the applicant will need to comply with all requirements during the permitting process including compliance with subdivision regulations, building and fire codes, fire protection, parking, landscape buffer-yards, solid waste services, utility, and any other City requirements, as applicable.

JUSTIFICATION:

Change to Auto-Urban Residential (AU) District is in keeping with recent trends in this area to accommodate demand for residential developments. The existing zoning of Agriculture (AG) District is no longer well suited to the given location. A single family residential development is a permitted use in the requested zoning designation.

D. Austin Colina
Planner I

Kimberly A. Mendoza, MPA
Director of Planning & Zoning

MEETING DATES:
PLANNING & ZONING COMMISSION – 11/09/2021
CITY COUNCIL – 12/07/2021
DATE PREPARED – 11/05/2021

STAFF REPORT
GENERAL INFORMATION

APPLICATION: Rezoning Request from Agriculture (AG) District to Auto-Urban Residential (AU) District

APPLICANT: Luis Miguel Arechiga

AGENT: Melden & Hunt, Inc.

LEGAL: 17.373 acres out of Lots 31 & 32, The M.L. Woods Co. Tract No. 4

LOCATION: Located at 4801 South Veterans Boulevard

LOT/TRACT SIZE: 17.373 acres

CURRENT USE: Vacant

PROPOSED USE: Residential

EXISTING ZONING: Agriculture (AG) District

ADJACENT ZONING: North – Agriculture (AG) District
South – Agriculture (AG) District
East – Auto-Urban Residential (AU) District
West – Agriculture (AG) District

LAND USE PLAN: Auto-Urban Uses

PUBLIC SERVICES: North Alamo Water/City of Edinburg Sewer

RECOMMENDATION: Staff recommends approval of the Rezoning Request from Agriculture (AG) to Auto-Urban Residential (AU) District

REZONING REQUEST
LUIS MIGUEL ARECHIGA

EVALUATION

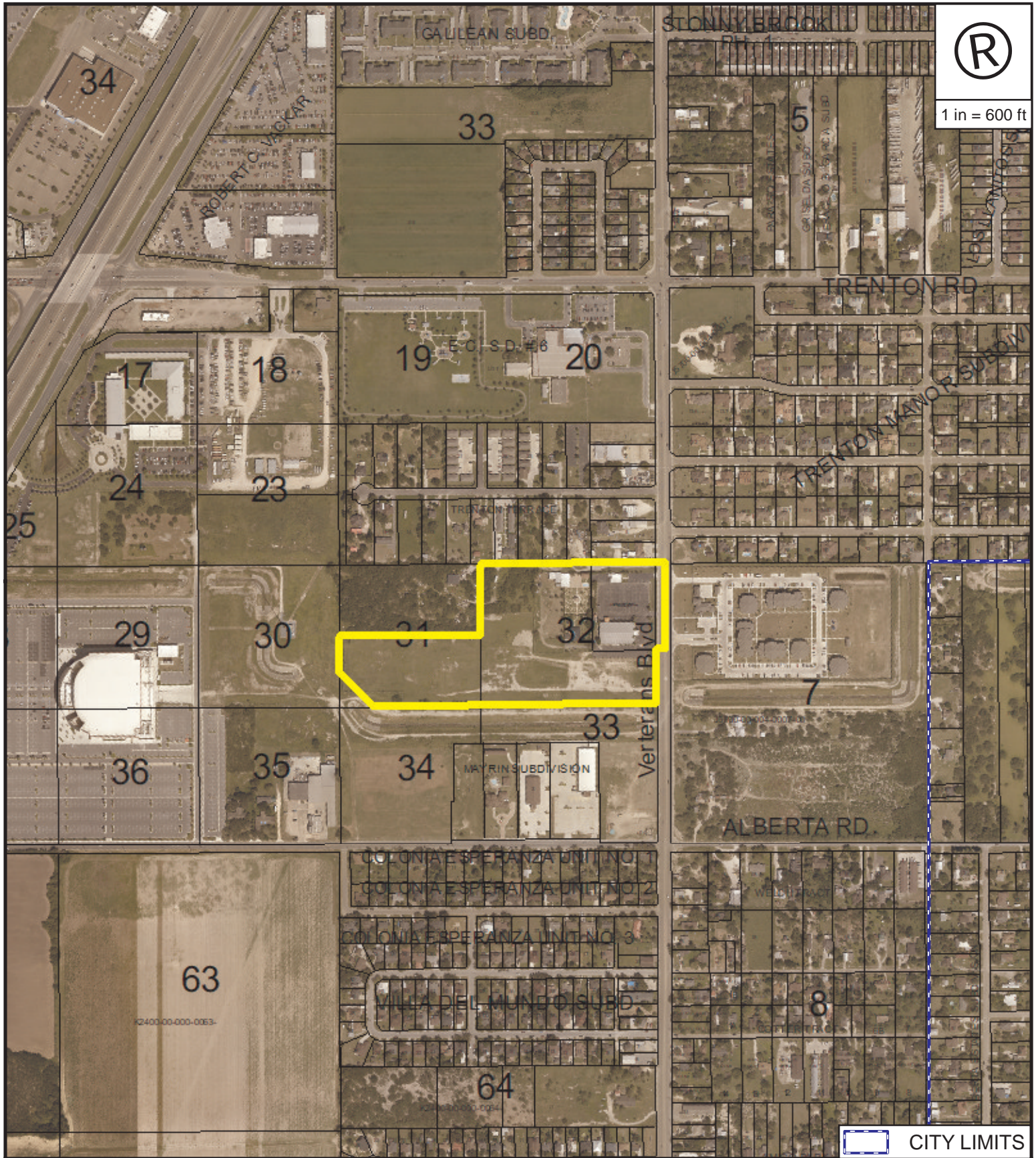
The following is staff's evaluation of the request.

1. The land use pattern for this area of the community consists of residential, commercial and vacant land.
2. The applicant is requesting the change of zone to construct a single family residential development.

Staff recommends approval of the Rezoning Request from Agriculture (AG) District to Auto-Urban Residential (AU) District, based on surrounding land uses and zoning in the area. If approved, the applicant will need to comply with all requirements during the permitting process including compliance with subdivision regulations, building and fire codes, fire protection, parking, landscape buffer-yards, solid waste services, utility, and any other City requirements, as applicable.

Staff mailed a notice of the public hearing before to 31 neighboring property owners and received no comments in favor or against this request by the time this report was prepared.

ATTACHMENTS: Aerial Photo
Site Map
Zoning Map
Future Land Use Map
Photo of site
Exhibits



AERIAL MAP

APPLICANT/SUBDIVISION: MELDEN & HUNT - JALPA OAKS SUBDIVISION

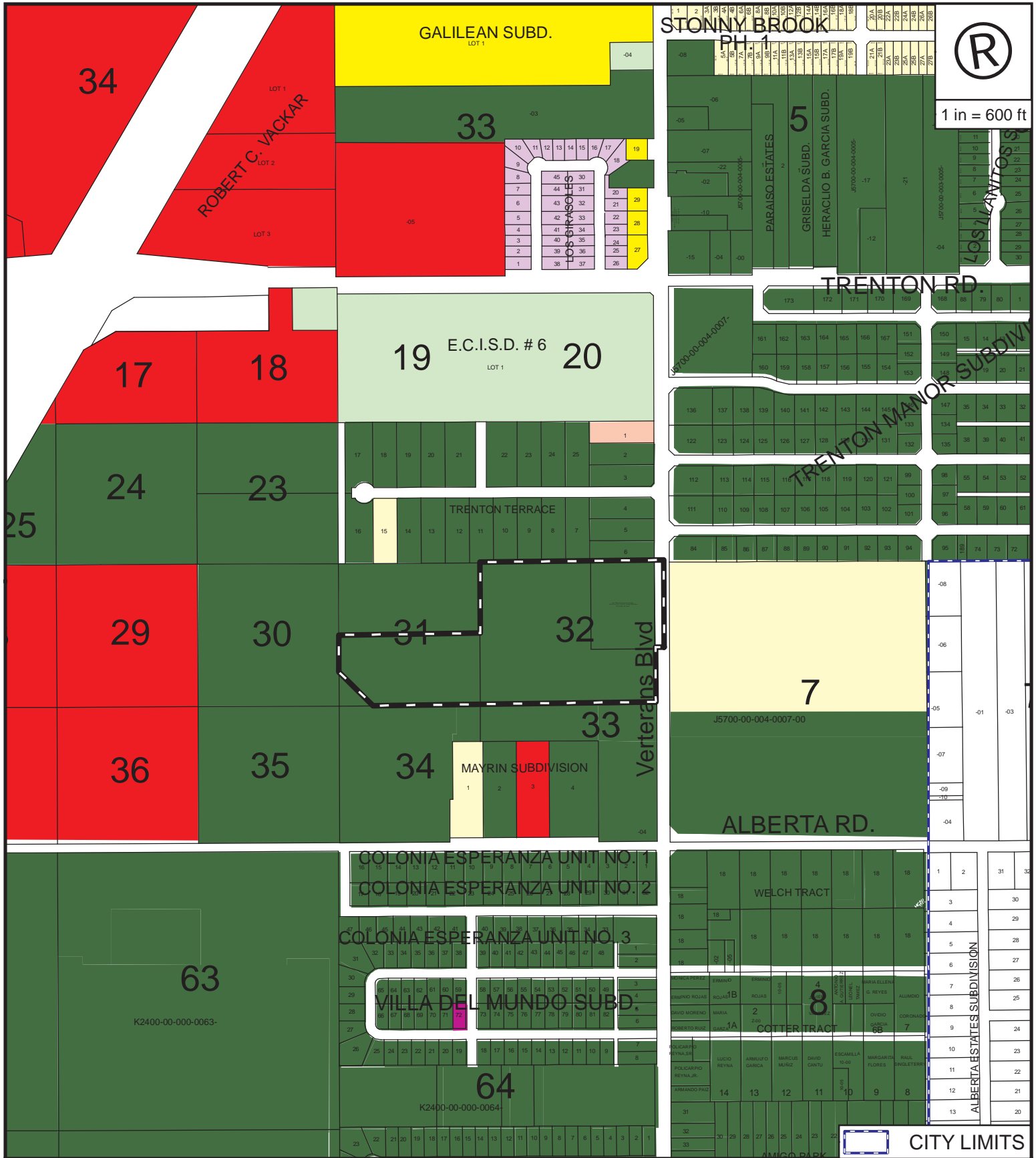
CASE CAPTION:

CONSIDER THE REZONING REQUEST FROM AGRICULTURE (AG) DISTRICT TO AUTO-URBAN RESIDENTIAL (AU) DISTRICT, BEING A 17.373 ACRE TRACT OF LAND, BEING OUT OF LOTS 31 & 32, THE M.L. WOODS CO. TRACT NO. 4, AS REQUESTED BY MELDEN & HUNT, INC.

 CITY LIMITS

LEGEND

 APPLICANT SITE
















ZONING MAP

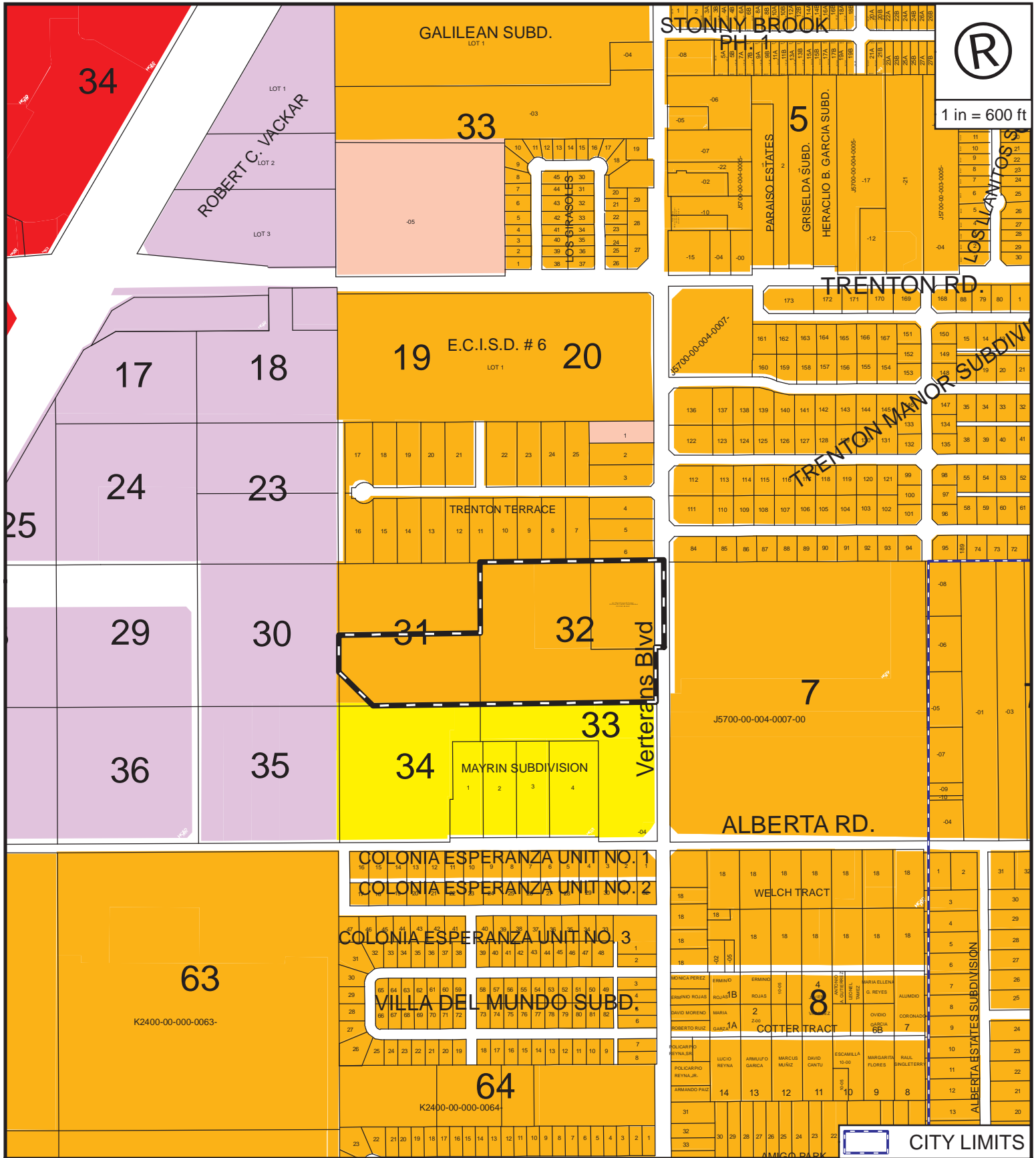
APPLICANT/SUBDIVISION: MELDEN & HUNT - JALPA OAKS SUBDIVISION

CASE CAPTION:

CONSIDER THE REZONING REQUEST FROM AGRICULTURE (AG) DISTRICT TO AUTO-URBAN RESIDENTIAL (AU) DISTRICT, BEING A 17.373 ACRE TRACT OF LAND, BEING OUT OF LOTS 31 & 32, THE M.L. WOODS CO. TRACT NO. 4, AS REQUESTED BY MELDEN & HUNT, INC.

LEGEND

-  APPLICANT SITE
- ZONING DISTRICTS**
-  AGRICULTURE
-  AUTO-URBAN RESIDENTIAL
-  COMMERCIAL, GENERAL
-  COMMERCIAL, NEIGHBORHOOD
-  DOWNTOWN DISTRICT
-  INDUSTRIAL
-  NEIGHBORHOOD CONSERVATION 5
-  NEIGHBORHOOD CONSERVATION 7.1
-  NEIGHBORHOOD CONSERVATION MH
-  SUBURBAN RESIDENTIAL
-  URBAN RESIDENTIAL
-  URBAN UNIVERSITY



FUTURE LANDUSE MAP

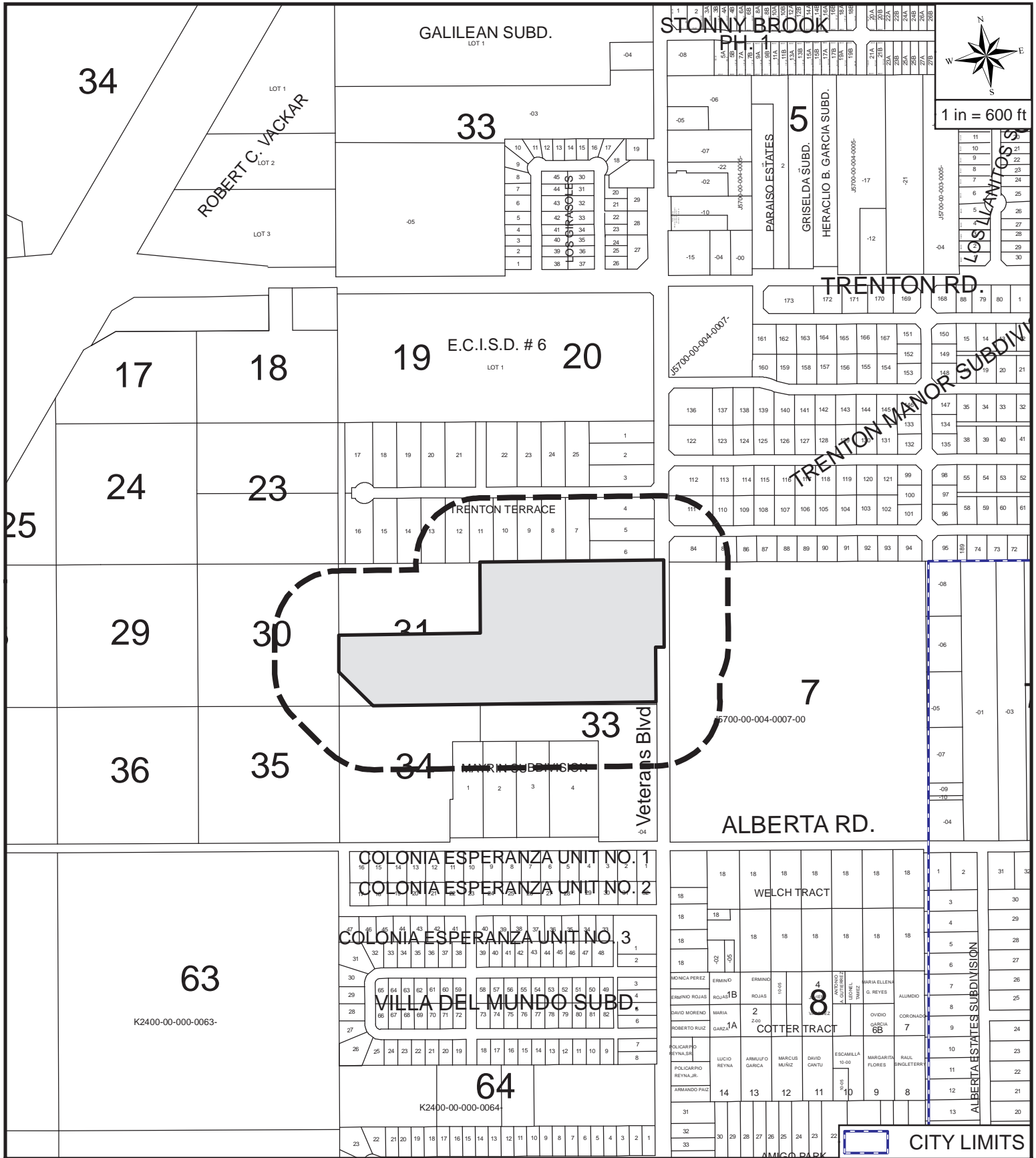
APPLICANT/SUBDIVISION: MELDEN & HUNT - JALPA OAKS SUBDIVISION

CASE CAPTION:

CONSIDER THE REZONING REQUEST FROM AGRICULTURE (AG) DISTRICT TO AUTO-URBAN RESIDENTIAL (AU) DISTRICT, BEING A 17.373 ACRE TRACT OF LAND, BEING OUT OF LOTS 31 & 32, THE M.L. WOODS CO. TRACT NO. 4, AS REQUESTED BY MELDEN & HUNT, INC.

LEGEND

- APPLICANT SITE
- FUTURE LANDUSE**
- Agriculture
- Auto-Urban
- Downtown District
- General Commercial
- Industrial
- Mobile Home
- Neighborhood Commercial
- Office Business Park
- Suburban
- Urban
- Urban University



MAILOUT AND SITE MAP

APPLICANT/SUBDIVISION: MELDEN & HUNT, INC.

CASE CAPTION:

CONSIDER THE REZONING REQUEST FROM AGRICULTURE (AG) DISTRICT TO AUTO-URBAN RESIDENTIAL (AU) DISTRICT, BEING A 17.373 ACRE TRACT OF LAND, BEING OUT OF LOTS 31 & 32, THE M.L. WOODS CO. TRACT NO. 4, LOCATED AT 4801 SOUTH VETERANS BOULEVARD AS REQUESTED BY MELDEN & HUNT, INC.

LEGEND

-  APPLICANT SITE
-  300FT NOTIFICATION
-  CITY LIMITS



Case #

Edinburg THE CITY OF

Planning & Zoning Department
415 W. University Drive
Edinburg, Texas 78539
(956) 388-8202

Zone Change Application

1. Name: Luis Miguel Arechiga Phone No. 96 381-0981
2. Mailing Address: 4519 S Veterans Blvd
3. City: Edinburg State: TX Zip: 78542
4. Email Address: c/o mario@meldenandhunt.com Cell No. _____
5. Agent: Melden & Hunt, Inc Phone No. (956) 381-0981
6. Agent's Mailing Address: 115 W McIntyre
7. City: Edinburg State: TX Zip: 78542
8. Email Address: mario@meldenandhunt.com
9. Address/Location being Rezoned: 4600 Blk of S. Veterans Blvd
10. Legal Description of Property: _____ Property ID: 330831; 330832; 330828
Being a 17.373 ac o/o Lots 31 & 32, The M.L. Woods Co. Tract No.4 Subdivision, According
to the plat thereof recorded in Volume 5, Page 51, Hidalgo County Map Records
11. Zone Change: From: AG - Agriculture To: AU - Auto-Urban Residential
12. Existing Land Use: vacant
13. Reason for Zone Change: Residential subdivision
- Mario A. Reyna
(Please Print Name) _____ ~~Signature~~ _____
- AMOUNT PAID \$ _____ RECEIPT NUMBER _____

PUBLIC HEARING DATE (PLANNING & ZONING COMMISSION) – 4:00 PM: _____

PUBLIC HEARING DATE (CITY COUNCIL) – 6:00 PM: _____

(NOTE: BOTH MEETINGS ARE HELD AT THE EDINBURG CITY COUNCIL CHAMBERS)

RECEIVED

OCT 04 2021

Name: BS 245.

OK 10-4-21

[illegible]

STATE OF TEXAS
COUNTY OF HALL

WE, THE UNDERSIGNED, OWNERS OF THE LAND SHOWN ON THIS PLAT, AND DESIGNATED AS WALDO DAMS
SUBDIVISION OF THE OF, AND WHOSE NAME IS SUBSCRIBED HERETO, HEREBY DEDICATED TO
THE USE OF THE PUBLIC FOREVER ALL STREET, ALLEYS, PARKS, WATERCOURSES, DRAINS, EASEMENTS
AND PUBLIC PLACES THEREON SHOWN FOR THE PURPOSE OF CONSIDERATION HEREIN EXPRESSED.

SALON DEL VALLE, LLC
LUIS MIGUEL ARECHAGA, OWNER
4631 S. VETERANS ROAD
EDINBURG, TEXAS 78542

DATE

STATE OF TEXAS
COUNTY OF HEMLOCK

BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, ON THIS DAY PERSONALLY APPEARED LUIS MIGUEL ARCECHOA AND KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, WHO BEING BY ME, FIRST DULY SWORN AND DECLARED THAT THE STATEMENTS THEREIN ARE TRUE AND CORRECT AND ACKNOWLEDGED THAT THEY EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS _____ DAY OF _____, 20____.

NOTARY PUBLIC IN THE STATE OF TEXAS _____
MY COMMISSION EXPIRES: _____

STATE OF TEXAS
COUNTY OF HIDALGO

I, THE UNDERSIGNED, MARIO A. REYNA, A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN TO THIS PLAN AND IS A TRUE AND ACCURATE REPRESENTATION OF THE SUBDIVISION OF THE LANDS HEREON DESCRIBED.

MARIO A. REYNA, PE # 117368
DATE PREPARED: 09-29-21
JOB No. 21156.00

DATE: _____

 STATE OF TEXAS

STATE OF TEXAS
COUNTY OF HIDALGO

I, FRED L. KURTH, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECTLY MADE FROM AN ACTUAL SURVEY MADE ON THE GROUND OF THE PROPERTY LEGALLY DESCRIBED HEREON, AND THAT THERE ARE NO APPARENT DISCREPANCIES, CONFLICTS, OVERLAPPING OF IMPROVEMENTS, VISIBLE UTILITY LINES OR ROADS IN PLACE, EXCEPT AS SHOWN ON THE ACCOMPANYING PLAT, AND THAT THE CORNER MONUMENTS SHOWN THEREON WERE PROPERLY PLACED UNDER MY SUPERVISION IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS OF THE COUNTY OF HIDALGO, TEXAS.

DATED THIS DAY OF , 20

FRED L. KURTH, R.P.L.S. No.4750
STATE OF TEXAS

I, THE UNDERSIGNED, MAYOR OF THE CITY OF EDINBURG, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

MAYOR CITY OF EDINBURG

DATE

CITY SECRETARY

DATE

I, THE UNDERSIGNED, CHAIRPERSON OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF EDINBURG, TEXAS DO HEREBY CERTIFY THE MINOR SUBDIVISION PLAT KNOWN AS JALPA OAKS SUBDIVISION CONFORMS TO ALL SUBDIVISION REQUIREMENTS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED AND HAS BEEN

APPROVED FOR RECORDING ON THIS THE ____ DAY OF _____, 2020.

CHAIRPERSON PLANNING AND ZONING COMMISSION

STATE OF TEXAS
COUNTY OF HIDALGO

APPROVED BY DRAINAGE DISTRICT:

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE REQUIREMENTS OF THE DISTRICT ADOPTED UNDER TEXAS WATER CODE, §49.171 (1). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION. THE DESIGN OF THE DRAINAGE STRUCTURES IS THE RESPONSIBILITY OF THE DEVELOPER AND HIS/HER ENGINEER TO MAKE THEIR DETERMINATIONS.

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1

RAUL E. SERN, P.E., C.F.M.
GENERAL MANAGER

DATE

RAUL E. SESIN, P.E., C.F.M.
GENERAL MANAGER

FILED FOR RECORD IN
HIDALGO COUNTY
ARTURO GUAJARDO, JR.
HIDALGO COUNTY CLERK

ON: _____ AT _____ AM/PM
INSTRUMENT NUMBER _____
OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS
BY: _____ DEPUTY

SUBDIVISION MAP OF
JALPA OAKS SUBDIVISION

BEING A SUBDIVISION OF 17.373 ACRES SITUATED IN THE CITY OF EDINBURG COUNTY OF HIDALGO, TEXAS, BEING A PART OR PORTION OUT OF LOTS 31 AND 32, THE M.L. WOODS CO. TRACT NO. 4 SUBDIVISION, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 5, PAGE 51, HIDALGO COUNTY MAP RECORDS.

METES AND BOUNDS DESCRIPTION:

A TRACT OF LAND CONTAINING 17.373 ACRES SITUATED IN THE CITY OF EDINBURG COUNTY OF HIDALGO, TEXAS, BEING A PART OR PORTION OF LOTS 31 AND 32, THE M.J. WOODS CO. TRACT NO. 4 SUBDIVISION, ACCORDING TO THE DEED THEREOF RECORDED IN VOLUME 5, PAGE 104, OF THE PUBLIC RECORDS OF SAID COUNTY, TEXAS.

Hidalgo County Map Records, said 17.373 acres out of a certain tract conveyed to Luis Miguel Arechiga by virtue of warranty deed with vendor's lien recorded under document number 2855744 and by virtue of special deed with encumbrance covenant for partition recorded under document number 2763321, and Salton Real del Valle, L.L.C. a Texas limited liability company, by virtue of a general warranty deed with vendor's lien recorded under document number 2352495, Hidalgo County Official Records, said 17.373 acres also being more particularly described as follows:

BEGINNING AT A NO. 4 REBAR FOUND ON THE NORTHEAST CORNER OF SAID LOT 31 AND NORTHWEST CORNER OF SAID LOT 32 FOR
NORTHERMOST NORTHWEST CORNER OF THIS HEREIN DESCRIBED TRACT;

1. THENCE, S 81° 30' 44"E ALONG THE NORTH LINE OF SAID LOT 32, AT A DISTANCE OF 20.00 FEET PASS THE EAST RIGHT-OF-WAY LINE OF A 40.00 FOOT COUNTY ROAD, AT A DISTANCE OF 817.84 FEET PASS A NO. 4 REBAR SET ON THE EXISTING WEST RIGHT-OF-WAY LINE OF VETERANS BOULEVARD AND THE WEST LINE OF A SAVE & EXCEPT TRACT CONVEYED TO THE CITY OF EDINBURG RECORDED UNDER DOC NO. 1893642, HIDALGO COUNTY OFFICIAL RECORDS, AT A DISTANCE OF 827.84 FEET PASS THE EAST LINE OF SAID SAVE & EXCEPT CONTINUING A TOTAL DISTANCE OF 857.84 FEET TO A NAIL SET FOR THE NORTHEAST CORNER OF THIS TRACT;

2. THENCE, S 08° 33' 10" W A DISTANCE OF 406.00 FEET TO A NAIL SET FOR THE NORTHERNMOST SOUTHEAST CORNER OF THIS TRACT;

3. THENCE, N 81° 30' 44" W AT A DISTANCE OF 30.00 FEET PASS A NO. 4 REBAR SET FOR THE EAST LINE OF SAID SAVE & EXCEPT CONTINUING A TOTAL DISTANCE OF 40.00 FEET TO A NO. 4 REBAR SET ON THE WEST LINE OF SAID SAVE & EXCEPT TRACT, FOR AN CORNER OF THIS TRACT;

4. THENCE, S 08° 33' 10" W ALONG THE WEST RIGHT-OF-WAY LINE OF VETERANS BOULEVARD, AT A DISTANCE OF 234.00 FEET PASS NORTH RIGHT-OF-WAY LINE OF A 40.00 FOOT COUNTY ROAD, CONTINUING A TOTAL DISTANCE OF 254.00 FEET TO A NO. 4 REBAR FOR THE SOUTHERNMOST SOUTHEAST CORNER OF THIS TRACT;

6. THENCE, N 36° 30' 31" W A DISTANCE OF 225.71 FEET TO A NO. 4 REBAR SET FOR THE NORTHERNMOST SOUTHWEST CORNER OF THIS

7. THENCE, N 08° 29' 16" E A DISTANCE OF 170.39 FEET TO A NO. 4 REBAR FOUND FOR THE SOUTHERNMOST NORTHWEST CORNER OF TRACT;

8. THENCE, S 81° 30' 44" E AT A DISTANCE OF 32.50 FEET PASS A NO. 4 REBAR SET THE EAST RIGHT-OF-WAY LINE OF A 65.00 FOOT AT A DISTANCE OF 240.00 FEET PASS A NO. 4 REBAR SET ON THE EAST RIGHT-OF-WAY LINE OF A 40.00 FOOT COUNTY ROAD, CONTINUED

9. THENCE, N 08° 29' 16" E A DISTANCE OF 330.00 FEET TO THE POINT OF BEGINNING AND CONTAINING 17.466 ACRES SAKE & EXCEPT OF THE 17.466 ACRES OF LAND OF THE CITY OF LONGBEACH RECORDED UNDER COUNTY ORDER 1836362, HIGHWAY COUNTY OFFICIAL RECORDS, LEAVING 17.973 ACRES GROSS, OF WHICH 0.280 OF ONE ACRE LIES WITHIN THE EXISTING RIGHT-OF-WAY OF VETERANS BOULEVARD, 0.003 OF ONE ACRE LIES WITHIN A 40.00 FOOT COUNTY ROAD (NOT OPEN), AND 0.139 OF ONE ACRE LIES WITHIN AN EXISTING CANAL RIGHT-OF-WAY, A NET OF 16.690 ACRES OF LAND, MORE OR LESS.

SAVE & EXCEPT TRACT:
A TRACT OF LAND CONTAINING 0.093 OF ONE ACRE SITUATED IN THE CITY OF EDINBURG COUNTY OF HIDALGO, TEXAS, BEING A PART
PORTION OUT OF LOT 32, THE M.L. WOODS CO. TRACT NO. 4 SUBDIVISION, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 5, PA
HIDALGO COUNTY MAP RECORDS, SAID 0.093 OF ONE ACRE WERE CONVEYED TO THE CITY OF EDINBURG RECORDED UNDER DOCUMENT

1890642, HUALAIO COUNTY OFFICIAL RECORDS, SAID 0.093 OF ONE ACRE ALSO BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT A NO. 4 REBAR FOUND ON THE NORTHWEST CORNER OF SAID LOT 32;

THENCE, S 81° 30' 44" E ALONG THE NORTH LINE OF SAID LOT 32, A DISTANCE OF 817.84 FEET TO A NO. 4 REBAR SET FOR THE NORTH CORNER AND POINT OF BEGINNING OF THIS HEREIN DESCRIBED TRACT;

1. THENCE, S 81° 30' 44"E ALONG THE NORTH LINE OF SAID LOT 32, A DISTANCE OF 10.00 FEET TO A NO. 4 REBAR SET FOR THE NORTH CORNER OF THIS TRACT;

2. THENCE, S 08° 33' 10"W A DISTANCE OF 406.00 FEET TO A NO. 4 REBAR SET FOR THE SOUTHEAST CORNER OF THIS TRACT;

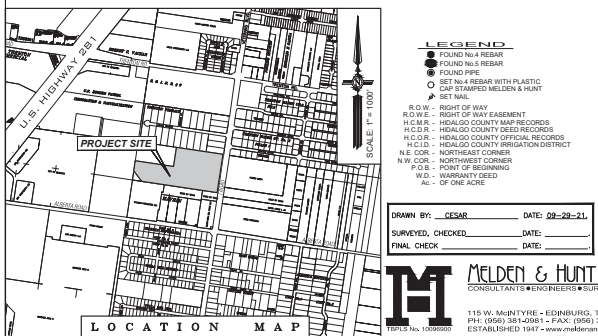
3. THENCE, N 81° 30' 44"W A DISTANCE OF 10.00 FEET TO A NO. 4 REBAR SET FOR THE SOUTHWEST CORNER OF THIS TRACT;

4. THENCE, N 08° 33' 10"E A DISTANCE OF 406.00 FEET TO THE POINT OF BEGINNING AND CONTAINING 0.093 OF ONE ACRE OF LAND, MORE OR LESS.

PRINCIPAL CONTACTS	NAME	ADDRESS	CITY & ZIP	PHONE	FAX
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OWNER:	<u>LUIS MIGUEL ARECHAGA</u>	<u>461 S. VETERANS RD</u>	<u>EDINBURG, TX 78542</u>	<u>(956) 381-0981</u>	<u>FAX</u>
ENGINEER:	<u>MARIO A REYNA, P.E.</u>	<u>115 W. McINTYRE</u>	<u>EDINBURG, TX 78541</u>	<u>(956) 381-0981</u>	<u>(956) 381-</u>
SURVEYOR:	<u>FRED L. KURTH, R.P.L.S.</u>	<u>115 W. McINTYRE</u>	<u>EDINBURG, TX 78541</u>	<u>(956) 381-0981</u>	<u>(956) 381-</u>

Lot Area Table			Lot Area Table			Chart Data						Lot Line Table			
Lot #	SQ. FT.	Area	Lot #	SQ. FT.	Area	Conv #	Length	Radius	Date	Chart Length	Chart Length	Target	Lot #	Length	Target
1	6666.66	2.22	41	6666.66	2.22	72	72.72	1.6666	05/01/2017	57.97	57.97	15.40	15.40	25.25	15.40
2	6666.66	2.22	42	6666.66	2.22	73	73.74	1.6666	05/01/2017	57.97	57.97	15.40	15.40	25.25	15.40
3	6666.66	2.22	43	6666.66	2.22	74	74.76	1.6666	05/01/2017	57.97	57.97	15.40	15.40	25.25	15.40
4	6666.66	2.22	44	6666.66	2.22	75	75.78	1.6666	05/01/2017	57.97	57.97	15.40	15.40	25.25	15.40
5	6666.66	2.22	45	6666.66	2.22	76	76.80	1.6666	05/01/2017	57.97	57.97	15.40	15.40	25.25	15.40
6	6666.66	2.22	46	6666.66	2.22	77	77.82	1.6666	05/01/2017	57.97	57.97	15.40	15.40	25.25	15.40
7	6666.66	2.22	47	6666.66	2.22	78	78.84	1.6666	05/01/2017	57.97	57.97	15.40	15.40	25.25	15.40
8	6666.66	2.22	48	6666.66	2.22	79	79.86	1.6666	05/01/2017	57.97	57.97	15.40	15.40	25.25	15.40
9	6666.66	2.22	49	6666.66	2.22	80	80.88	1.6666	05/01/2017	57.97	57.97	15.40	15.40	25.25	15.40
10	6666.66	2.22	50	6666.66	2.22	81	81.90	1.6666	05/01/2017	57.97	57.97	15.40	15.40	25.25	15.40
11	6666.66	2.22	51	6666.66	2.22	82	82.92	1.6666	05/01/2017	57.97	57.97	15.40	15.40	25.25	15.40
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13	6666.66	2.22	53	6666.66	2.22	84	84.96	1.6666	05/01/2017	57.97	57.97	15.40	15.40	25.25	15.40
14	6666.66	2.22	54	6666.66	2.22	85	85.98	1.6666	05/01/2017	57.97	57.97	15.40	15.40	25.25	15.40
15	6666.66	2.22	55	6666.66	2.22	86	86.99	1.6666	05/01/2017	57.97	57.97	15.40	15.40	25.25	15.40
16	6666.66	2.22	56	6666.66	2.22	87	88.01	1.6666	05/01/2017	57.97	57.97	15.40	15.40	25.25	15.40
17	6666.66	2.22	57	6666.66	2.22	88	89.03	1.6666	05/01/2017	57.97	57.97	15.40	15.40	25.25	15.40
18	6666.66	2.22	58	6666.66	2.22	89	90.05	1.6666	05/01/2017	57.97	57.97	15.40	15.40	25.25	15.40
19	6666.66	2.22	59	6666.66	2.22	90	91.07	1.6666	05/01/2017	57.97	57.97	15.40	15.40	25.25	15.40
20	6666.66	2.22	60	6666.66	2.22	91	92.09	1.6666	05/01/2017	57.97	57.97	15.40	15.40	25.25	15.40
21	6666.66	2.22	61	6666.66	2.22	92	93.11	1.6666	05/01/2017	57.97	57.97	15.40	15.40	25.25	15.40
22	6666.66	2.22	62	6666.66	2.22	93	94.13	1.6666	05/01/2017	57.97	57.97	15.40	15.40	25.25	15.40
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59	6666.66	2.22	99	6666.66	2.22	130	131.87	1.6666	05/01/2017	57.97	57.97	15.40	15.40	25.25	15.40
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61	6666.66	2.22	101	6666.66	2.22	132	133.91	1.6666	05/01/2017	57.97	57.97	15.40	15.40	25.25	15.40
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65	6666.66	2.22	105	6666.66	2.22	136	137.99	1.6666	05/01/2017	57.97	57.97	15.40	15.40	25.25	15.40
66	6666.66	2.22	106	6666.66	2.22	137	139.01	1.6666	05/01/2017	57.97	57.97	15.40	15.40	25.25	15.40
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72	6666.66	2.22	112	6666.66	2.22	143	145.13	1.6666	05/01/2017	57.97	57.97	15.40	15.40	25.25	15.40
73	6666.66	2.22	113	6666.66	2.22	144	146.15	1.6666	05/01/2017	57.97	57.97	15.40	15.40	25.25	15.40
74	6666.66	2.22	114	6666.66	2.22	145	147.17	1.6666	05/01/2017	57.97	57.97	15.40	15.40	25.25	15.40
75	6666.66	2.22	115	6666.66	2.22	146</									







CITY OF EDINBURG
Planning & Zoning Commission

Regular Meeting

Meeting Date:

November 9, 2021

Comprehensive Plan Amendment and Rezoning Request

AGENDA ITEM 6D:

Consider the Comprehensive Plan Amendment from Auto-Urban Uses to Urban Uses and the Rezoning Request from Auto-Urban Residential (AU) District to Urban Residential (AR) District, being a 19.531 acre tract of land, out of Lot 16, Block 55, Alamo Land and Sugar Company's Subdivision, located at 3101 East Trenton Road, as requested by Melden & Hunt, Inc. [Development Services Department – Kimberly Mendoza, Director of Planning & Zoning]

DESCRIPTION / SCOPE:

The property is located on the north side of East Trenton Road, approximately 2,300 ft. east of South Raul Longoria Road and is currently vacant. The tract has 644.16 ft. of frontage along East Trenton Road and 1,320 ft. of depth for a tract size of 19.531 acres. The requested zoning designation allows for single family residential uses on the subject property. A subdivision by the name of The Heights on Trenton received Preliminary Plat Approval by the Planning & Zoning Commission on March 9, 2021. The subdivision consists of 83 lots ranging in size from 8,500 sq. ft. to 15,169.86 sq. ft.

The property is currently zoned Auto-Urban Residential (AU) District. Adjacent zoning is Agriculture (AG) District to the north and west, and Neighborhood Conservation 5 (NC5) District to the east. The property to the south is outside city limits. The surrounding land uses consist of single-family residential and commercial uses. The future land use designation is Suburban.

Staff mailed a notice of the public hearing before to 64 neighboring property owners and received no comments in favor and or against this request at the time of this report.

ESTIMATED TIMELINE:

The recommendation of approval or denial of this public hearing is scheduled for consideration by the City Council on December 7, 2021. City Council's decision is the final step in the zoning process for this property. If denied the applicant may not request the proposed zoning classification for a 12 month period from the date of denial.

STAFF RECOMMENDATION:

Staff recommends disapproval of the Comprehensive Plan Amendment from Auto-Urban to Urban Uses and the Rezoning Request from Auto-Urban Residential (AU) District to Urban Residential (UR) District based on the surrounding uses. If approved, the applicant will need to comply with all requirements during the permitting process including compliance with subdivision regulations, building and fire codes, fire protection, parking, landscape buffer-yards, solid waste services, utility, and any other City requirements, as applicable.

JUSTIFICATION:

The requested zoning is out of character with the proposed use and inconsistent with the surrounding area. The subject property is located along the outermost City Limit which is suburban to auto-urban in character. Use of urban zoning with its associated setbacks and densities is inappropriate for a location of this type.

MEETING DATES:
PLANNING & ZONING COMMISSION – 11/09/2021
CITY COUNCIL – 12/07/2021
DATE PREPARED – 11/02/2021

STAFF REPORT
GENERAL INFORMATION

APPLICATION: Comprehensive Plan Amendment from Auto-Urban Uses to Urban Uses and the Rezoning Request from Auto-Urban Residential (UR) District to Urban Residential (UR) District

APPLICANT: Melden & Hunt, Inc.

AGENT: N/A

LEGAL: 19.531 acre tract of land, out of Lot 16, Block 55, Alamo Land & Sugar Company Subdivision

LOCATION: Located at 3101 East Trenton Road

LOT/TRACT SIZE: 19.531 acre tract of land

CURRENT USE: Vacant

PROPOSED USE: Single Residential Development

EXISTING ZONING: Auto-Urban Residential (AU) District

ADJACENT ZONING: North – Agriculture (AG) District
South – Extraterritorial Jurisdiction (ETJ) District
East – Neighborhood Conservation 5 (NC5) District
West – Agriculture (AG) District

LAND USE PLAN: Auto-Urban Uses

PUBLIC SERVICES: North Alamo Water Supply Corporation Water & Sewer

RECOMMENDATION: Staff recommends disapproval of the Comprehensive Plan Amendment from Auto-Urban Uses to Urban Uses and the Rezoning Request from Auto-Urban Residential (AU) District to Urban Residential (UR) District

EVALUATION

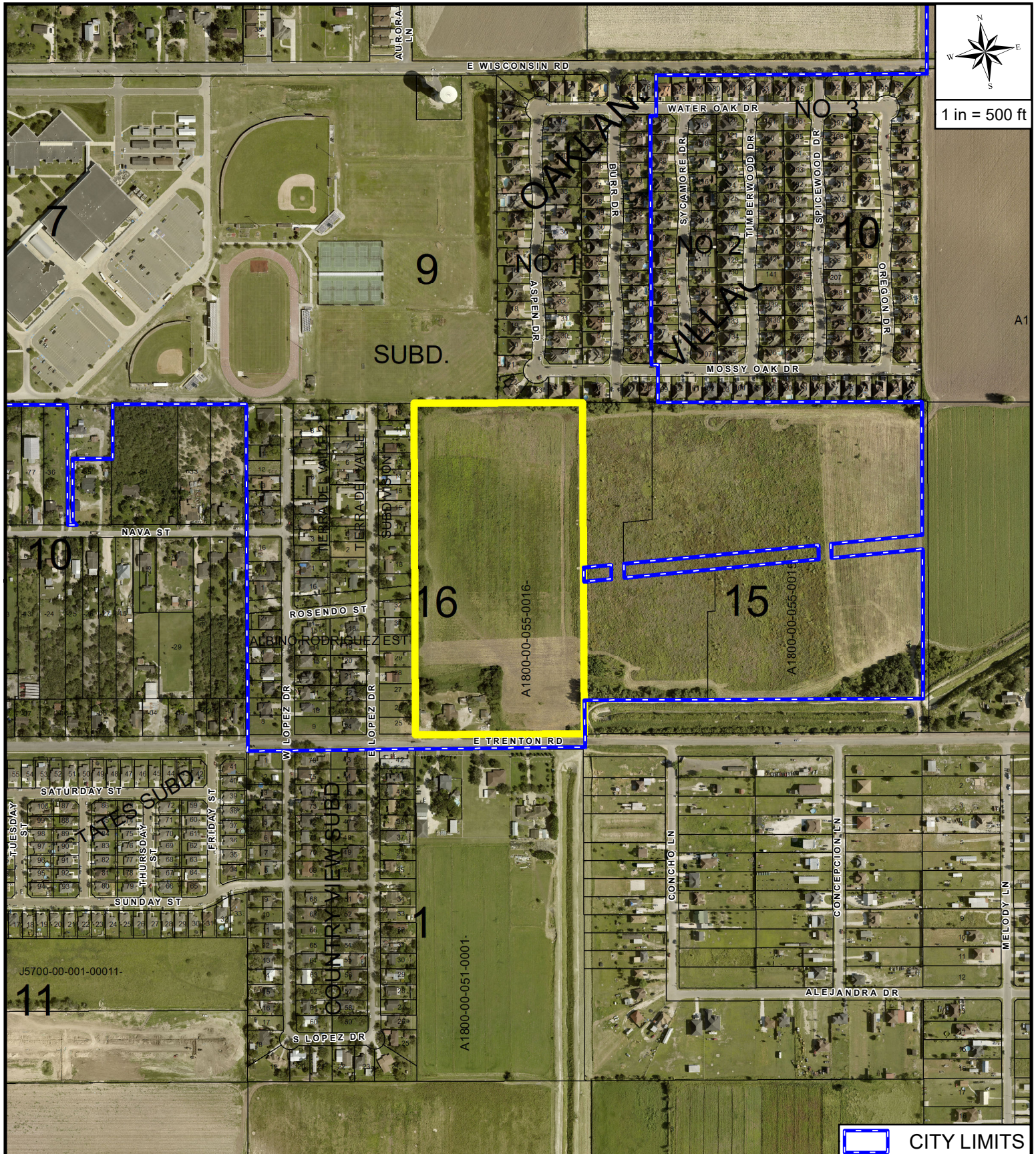
The following is staff's evaluation of the request.

1. The land use pattern for this area of the community consists of single family uses and vacant land.
2. The applicant requested a zone change earlier last year and is now requesting another zone change to develop a single-family residential subdivision.
3. The proposed zoning is inconsistent with the character of this location. The subject property is suburban to auto-urban in nature. Application of urban zoning to this area would not be appropriate.

Staff recommends disapproval of the Comprehensive Plan Amendment from Auto-Urban Uses to Urban Uses and the Rezoning Request from Auto-Urban Residential (UR) District to Urban Residential (UR) District, based on the surrounding uses. If approved, the applicant will need to comply with all requirements during the permitting process including bufferyards, compliance with subdivision regulations, building and fire codes, fire protection, parking, landscape bufferyards, solid waste services, utility, and any other City requirements, as applicable.

Staff mailed a notice of the public hearing before to 64 neighboring property owners and received no comments in favor or against this request at the time of the report.

ATTACHMENTS: Aerial Photo
Zoning Map
Future Land Use Map
Mailout & Site Map
Exhibits



AERIAL MAP

APPLICANT/SUBDIVISION: MELDEN & HUNT, INC.

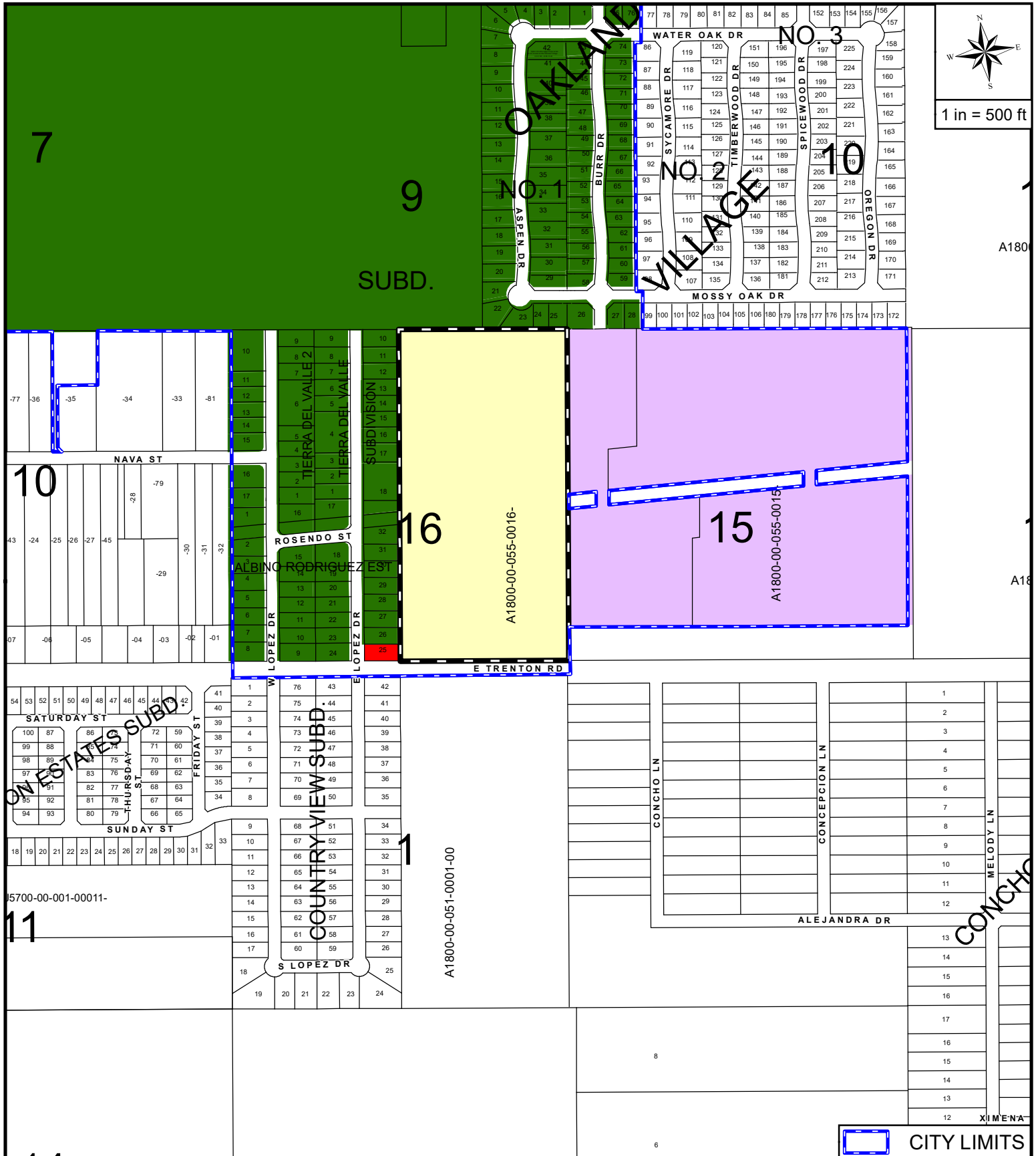
CASE CAPTION:

CONSIDER THE COMPREHENSIVE PLAN AMENDMENT FROM AUTO-URBAN USES TO URBAN USES AND THE REZONING REQUEST FROM AUTO-URBAN RESIDENTIAL (AU) DISTRICT TO URBAN RESIDENTIAL (UR) DISTRICT, BEING A 19.531 ACRE TRACT OF LAND, OUT OF LOT 16, BLOCK 55, ALAMO LAND & SUGAR COMPANY SUBDIVISION, LOCATED AT 3101 EAST TRENTON ROAD, AS REQUESTED BY MELDEN & HUNT, INC.

 CITY LIMITS

LEGEND

 APPLICANT SITE



ENTER THE NAME FOR THE TYPE OF MAP HERE

APPLICANT/SUBDIVISION: MELDEN & HUNT, INC.

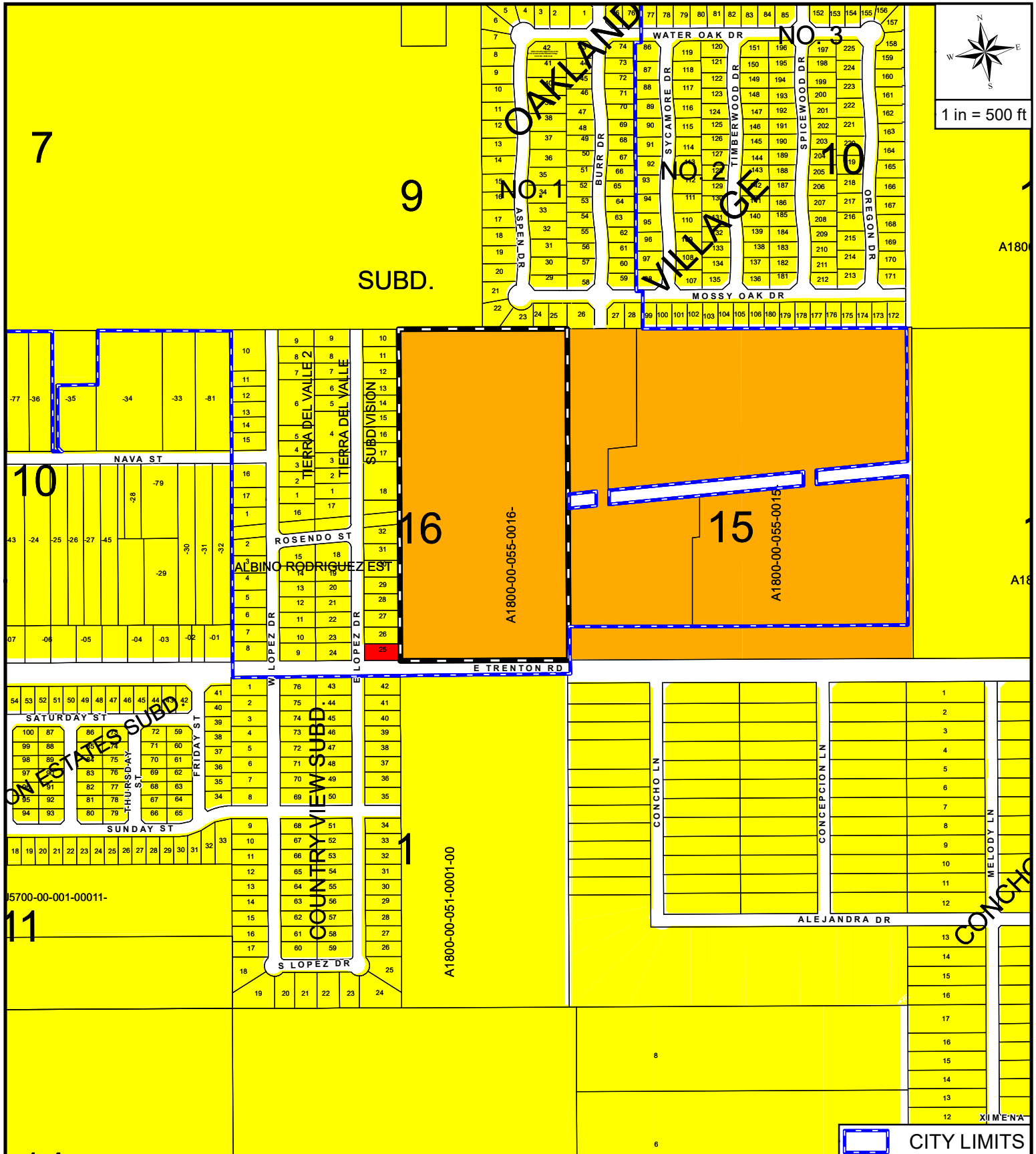
CASE CAPTION:

CONSIDER THE COMPREHENSIVE PLAN AMENDMENT FROM AUTO-URBAN USES TO URBAN USES AND THE REZONING REQUEST FROM AUTO-URBAN RESIDENTIAL (AU) DISTRICT TO URBAN RESIDENTIAL (UR) DISTRICT, BEING A 19.531 ACRE TRACT OF LAND, OUT OF LOT 16, BLOCK 55, ALAMO LAND & SUGAR COMPANY SUBDIVISION, LOCATED AT 3101 EAST TRENTON ROAD, AS REQUESTED BY MELDEN & HUNT, INC.

CITY LIMITS

LEGEND

- APPLICANT SITE
- ZONING DISTRICTS
- AGRICULTURE
- AUTO-URBAN RESIDENTIAL
- COMMERCIAL, GENERAL
- COMMERCIAL, NEIGHBORHOOD
- DOWNTOWN DISTRICT
- INDUSTRIAL
- NEIGHBORHOOD CONSERVATION 5
- NEIGHBORHOOD CONSERVATION 7.1
- NEIGHBORHOOD CONSERVATION MH
- SUBURBAN RESIDENTIAL
- URBAN RESIDENTIAL
- URBAN UNIVERSITY



ENTER THE NAME FOR THE TYPE OF MAP HERE

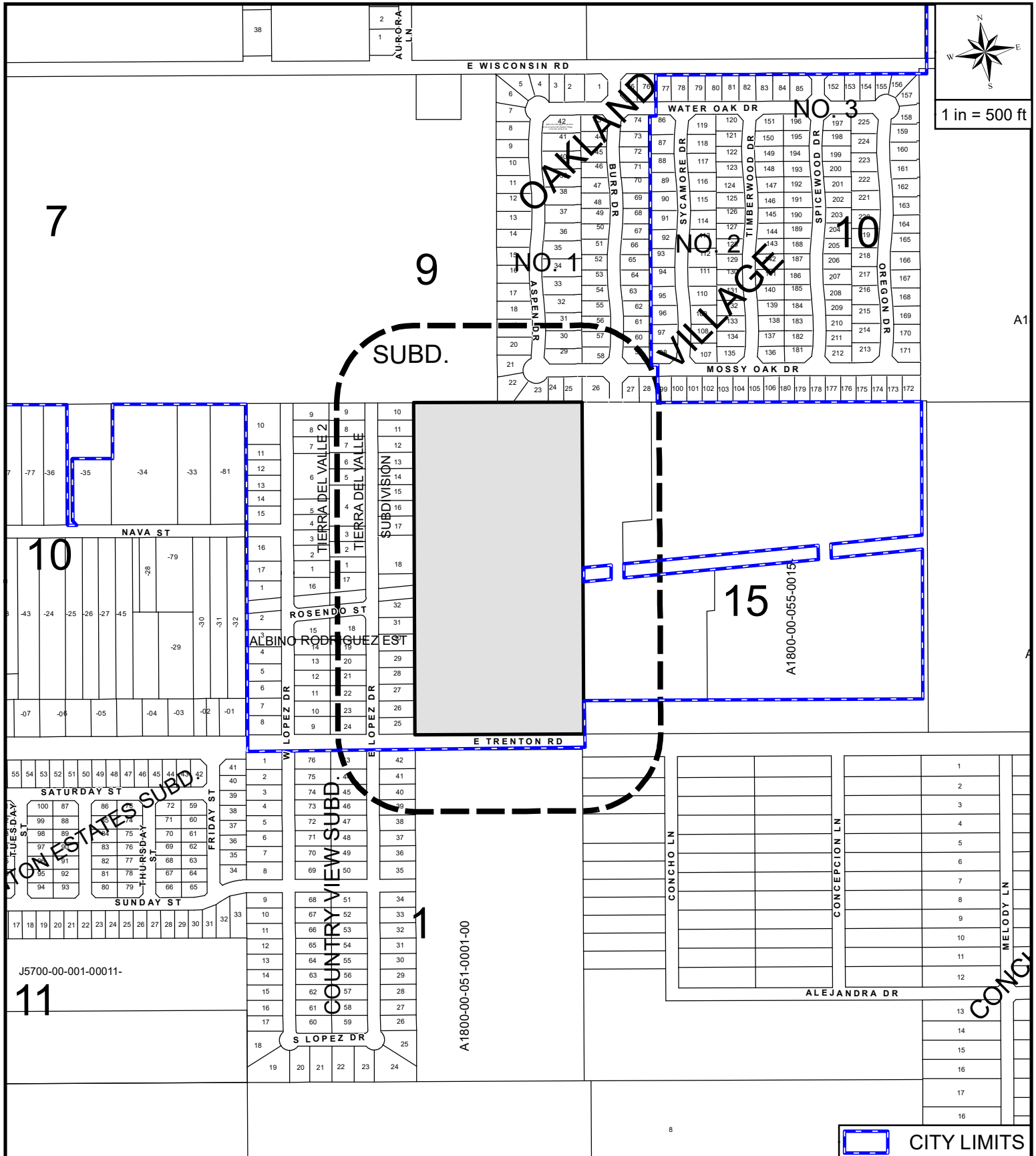
APPLICANT/SUBDIVISION: MELDEN & HUNT, INC.

CASE CAPTION:

CONSIDER THE COMPREHENSIVE PLAN AMENDMENT FROM AUTO-URBAN USES TO URBAN USES AND THE REZONING REQUEST FROM AUTO-URBAN RESIDENTIAL (AU) DISTRICT TO URBAN RESIDENTIAL (UR) DISTRICT, BEING A 19.531 ACRE TRACT OF LAND, OUT OF LOT 16, BLOCK 55, ALAMO LAND & SUGAR COMPANY SUBDIVISION, LOCATED AT 3101 EAST TRENTON ROAD, AS REQUESTED BY MELDEN & HUNT, INC.

LEGEND

- APPLICANT SITE**
- FUTURE LANDUSE**
- Agriculture
 - Auto-Urban
 - Downtown District
 - General Commercial
 - Industrial
 - Mobile Home
 - Neighborhood Commercial
 - Office Business Park
 - Suburban
 - Urban
 - Urban/University



MAILOUT AND SITE MAP

APPLICANT/SUBDIVISION: MELDEN & HUNT, INC.

CASE CAPTION:

CONSIDER THE COMPREHENSIVE PLAN AMENDMENT FROM AUTO-URBAN USES TO URBAN USES AND THE REZONING REQUEST FROM AUTO-URBAN RESIDENTIAL (AU) DISTRICT TO URBAN RESIDENTIAL (UR) DISTRICT, BEING A 19.531 ACRE TRACT OF LAND, OUT OF LOT 16, BLOCK 55, ALAMO LAND & SUGAR COMPANY SUBDIVISION, LOCATED AT 3101 EAST TRENTON ROAD, AS REQUESTED BY MELDEN & HUNT, INC.

LEGEND

APPLICANT SITE
 300FT NOTIFICATION



Case #

Edinburg THE CITY OF

Planning & Zoning Department
415 W. University Drive
Edinburg, Texas 78539
(956) 388-8202

Zone Change Application

1. Name: RBR Development & Invest. LLC Phone No. (956) 381-0981
2. Mailing Address: 931 S. McColl Rd., Suite A
3. City: Edinburg State: TX Zip: 78539
4. Email Address: c/o mario@meldenandhunt.com Cell No. (956) 500-2734
5. Agent: Melden & Hunt, Inc. Phone No. (956) 381-0981
6. Agent's Mailing Address: 115 W. McIntyre Street
7. City: Edinburg State: TX Zip: 78541
8. Email Address: mario@meldenandhunt.com/lydia@meldenandhunt.com
9. Address/Location being Rezoned: north side of Trenton Rd & approx. 200 ft east of Lopez Dr
10. Legal Description of Property: _____ Property ID: 113362
19.531
20.00 acres out of Lot 16, Blk. 55, Alamo Land & Sugar Company S/D

11. Zone Change: From: AU - Auto-Urban Residential To: UR - Urban Residential
12. Existing Land Use: Vacant
13. Reason for Zone Change: Single Family Residential

Mario A. Reyna, P.E.

(Please Print Name)


Signature

Digitally signed by Mario A. Reyna
DN: CN = Mario A. Reyna, email =
mario@meldenandhunt.com, C = US, O = Melden and Hunt
Inc, OU = PE
Date: 2021.10.07 11:26:15 -0500

AMOUNT PAID \$ 400.00 RECEIPT NUMBER _____

PUBLIC HEARING DATE (PLANNING & ZONING COMMISSION) – 4:00 PM: _____

PUBLIC HEARING DATE (CITY COUNCIL) – 6:00 PM: _____

(NOTE: BOTH MEETINGS ARE HELD AT THE EDINBURG CITY COUNCIL CHAMBERS)

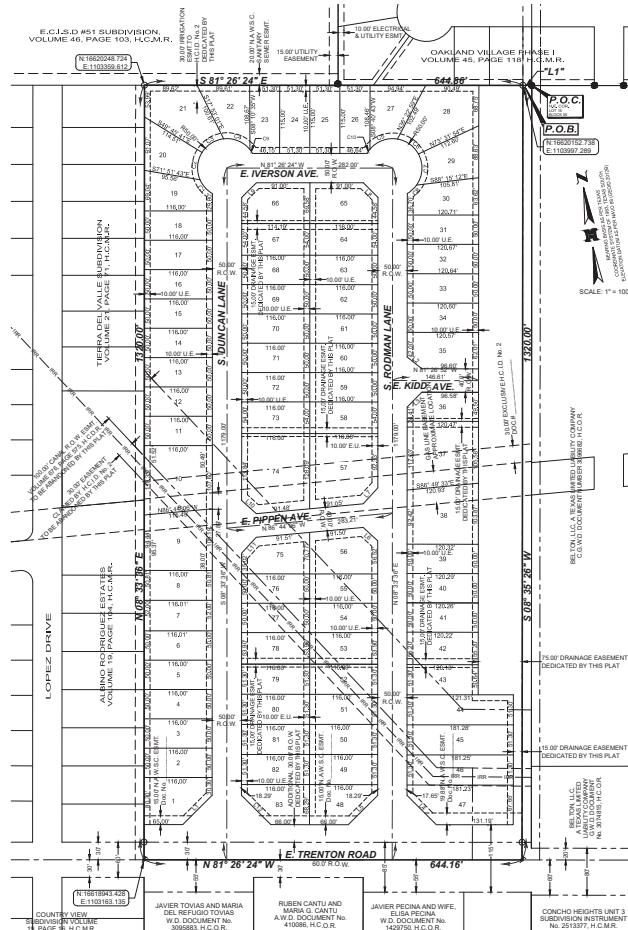
RECEIVED

OCT 11 2021

Name: B 8:19

PLAT OF THE HEIGHTS ON TRENTON SUBDIVISION

BEING A RESUBDIVISION 19.531 ACRES OUT OF
LOT 16, BLOCK 55,
ALAMO LAND AND SUGAR COMPANY'S SUBDIVISION,
HIDALGO COUNTY, TEXAS



PLAT NOTES AND RESTRICTIONS:

- THIS SUBDIVISION IS IN ZONE "B" AREAS BETWEEN LIMITS OF THE 10-VEGETATION FLOOD AND 10-VEGETATION FLOOD OR CERTAIN AREAS SUBJECT TO 10-VEGETATION FLOODS WITH AVERAGE DEPTHS LESS THAN ONE (1) FOOT OR WHERE THE CONTRIBUTING DRAINAGE AREA IS LESS THAN ONE SQUARE MILE OR AREAS PROTECTED BY LEVEES FROM THE BASE FLOOD. COMMUNITY-PLAN NUMBER 48034 0425 C MAP REVISED: NOVEMBER 16, 1992
- BUILDING SETBACKS: MINIMUM BUILDING SETBACK LINES SHALL BE AS FOLLOWS OR MATCH GREATER EASEMENTS: FRONT: 20 FEET SIDE: 10 FEET OR GREATER FOR EASEMENT REAR: 10 FEET OR GREATER FOR EASEMENT
- MINIMUM FINISH ELEVATION SHALL BE 2" ABOVE TOP OF CENTER OR CENTER OF ROAD, MEASURED AT FRONT OF LOT. MINOR ELEVATION IS GREATER.
- IN ACCORDANCE WITH THE HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 AND HIDALGO COUNTY REQUIREMENTS, THIS DEVELOPMENT WILL BE REQUIRED TO DETAIN A TOTAL OF 87,723.00 CUBIC FEET 2.014 ACRE-FEET OF STORM WATER RUNOFF. DRAINAGE DETENTION IN ACCORDANCE WITH THE LOCAL REQUIREMENTS WILL BE ACCOMMODATED AS FOLLOWS: THE DEVELOPER SHALL BE RESPONSIBLE TO DETAIN AND ACCOMMODATE MORE THAN THE DETAINED VOLUME SHOWN ABOVE IF ITS DETERMINED AT THE DEVELOPMENT POINT STATE ABOVE DUE TO THE IMPROVED AREA BEING GREATER THAN PLAT ENGINEER CONSIDERED FOR HIS CALCULATION OF THIS SUBDIVISION.
- ALL LOTS ARE TO BE SLOPED AT 1.0% TO PROVIDE POSITIVE DRAINAGE FROM REAR TO FRONT OF THE PROPERTY.
- BENCH MARK #1:
- THIS PROPERTY IS ZONED URBAN RESIDENTIAL.
- NO STRUCTURE SHALL BE PERMITTED OVER ANY EASEMENT. EASEMENTS SHALL BE KEPT CLEAR OF BUILDINGS, SHEDS, SHRUBS TREES, AND OTHER PLANTINGS EXCEPT LOW LESS THAN 18 INCHES MATURE HEIGHT, GROUND COVER, GRASS, OR FLOWERING AND OTHER OBSTRUCTIONS THAT WOULD INTERFERE WITH THE OPERATION AND MAINTENANCE OF THE EASEMENT.
- A 5 FOOT CONCRETE SIDEWALK WITH ADA RAMP IS REQUIRED ALONG E. TRENTON ROAD DURING SUBDIVISION CONSTRUCTION BY DEVELOPER.
- A 5 FOOT CONCRETE SIDEWALK 3 FEET BEHIND THE BACK OF CURB WITH ADA RAMP IS REQUIRED ON ALL INTERIOR STREETS AT BUILDING PERMIT STAGE BY LOT OWNER.
- THE CONSTRUCTION OF ANY STRUCTURES ON OR WITHIN ANY EASEMENTS SHALL BE PROHIBITED.
- NO CURB CUT ACCESS, OR LOT FRONTAGE PERMITTED ALONG E. TRENTON ROAD FOR LOTS 1, 47, 48 AND 83.
- ALL LOT CORNERS ARE SET WITH 12" INCH IRON ROD WITH MELDEN AND HUNT CAPS.
- ALL CONSTRUCTION SHALL COMPLY WITH STORM WATER POLLUTION PREVENTION PLAN (SWPPP) REQUIREMENTS.
- NO MORE THAN ONE SINGLE FAMILY DETACHED DWELLING SHALL BE LOCATED ON EACH LOT. THIS MUST BE STIPULATED ON ALL DEEDS AND CONTACTS FOR DEEDS. APPLICATIONS FOR CONSTRUCTION ARE REQUIRED PRIOR TO OCCUPANCY OF THE LOT.
- THE DEVELOPER SHALL BE RESPONSIBLE FOR DETAINING AND ACCOMMODATING MORE THAN THE DETAINED VOLUME SHOWN ON THIS PLAT IF IT IS DETERMINED, AT THE PERMIT STAGE, THAT THE DETENTION REQUIREMENTS ARE GREATER THAN STATED ON THIS PLAT DUE TO THE IMPROVED AREA BEING GREATER THAN THE PLAT ENGINEER CONSIDERED IN THE HYDRAULIC CALCULATIONS FOR THIS SUBDIVISION.
- DRAINAGE DITCH SHALL BE MAINTAINED BY THE HOA.

METES AND BOUNDS DESCRIPTION

- A TRACT OF LAND CONTAINING 19.531 ACRES SITUATED IN THE COUNTY OF HIDALGO, TEXAS, BEING A PART OR PORTION OUT OF LOT 16, BLOCK 55, ALAMO LAND AND SUGAR COMPANY'S SUBDIVISION, ACCORDING TO THE PLAT THEREOF RECORDED IN VOLUME 1, PAGES 24-26, HIDALGO COUNTY MAP RECORDS, SAID 19.531 ACRES WERE CONVEYED TO REYNALDO RAMIREZ, ELIA GIBEL SILVA, MANUEL RAMIREZ, ROSARIO P. CUEVAS AND AMELIO RAMIREZ, JR. BY VIRTUE OF A LIFE ESTATE DEED WITH POWER OF SALE (LADY BIRD DEED) RECORDED UNDER DOCUMENT NUMBER 201094, HIDALGO COUNTY OFFICIAL RECORDS, SAID 19.531 ACRES ALSO BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
- COMMENCING AT A NO. 4 REBAR FOUND ON THE NORTHEAST CORNER OF SAID LOT 16, BLOCK 55; THENCE, N 81° 28' 24" W ALONG THE NORTH LINE OF SAID LOT 16, BLOCK 55, A DISTANCE OF 15.84 FEET TO A NO. 4 REBAR SET FOR THE NORTHEAST CORNER AND POINT OF BEGINNING OF THIS HEREIN DESCRIBED TRACT;
1. THENCE, S 08° 30' 30" W ALONG THE WEST LINE OF A 305.00 FOOT RIGHT-OF-WAY CLAIMED BY HIDALGO COUNTY IRRIGATION DISTRICT NO. 2, AT A DISTANCE OF 1,320.00 FEET PASS A NO. 4 REBAR SET ON THE NORTH RIGHT-OF-WAY LINE OF E. TRENTON ROAD, CONTINUING A TOTAL DISTANCE OF 1,320.00 FEET TO A NAIL SET FOR THE SOUTHWEST CORNER OF THIS TRACT;
2. THENCE, N 81° 28' 24" W ALONG THE SOUTH LINE OF SAID LOT 16, BLOCK 55, A DISTANCE OF 84.18 FEET TO A NAIL SET FOR THE SOUTHWEST CORNER OF THIS TRACT;
3. THENCE, N 08° 30' 30" E AT A DISTANCE OF 30.00 FEET PASS A NO. 4 REBAR SET ON THE NORTH RIGHT-OF-WAY LINE OF E. TRENTON ROAD, CONTINUING A TOTAL DISTANCE OF 1,320.00 FEET TO A NO. 4 REBAR SET (N-1802248.724, E-1103259.612) FOR THE NORTHWEST CORNER OF THIS TRACT;
4. THENCE, S 81° 28' 24" E ALONG THE NORTH LINE OF SAID LOT 16, BLOCK 55, A DISTANCE OF 644.88 FEET TO THE POINT OF BEGINNING AND CONTAINING 19.531 ACRES OF WHICH 0.303 OF ONE ACRE LIES WITHIN THE EXISTING RIGHT-OF-WAY OF E. TRENTON ROAD AND 2.273 ACRES LIES WITHIN A 160-FOOT CANAL, RIGHT-OF-WAY, LEAVING A NET OF 16.96 ACRES OF LAND, MORE OR LESS.

STATE OF TEXAS
COUNTY OF HIDALGO

WE, THE UNDERSIGNED, OWNERS OF THE LAND SHOWN ON THIS PLAT AND DESIGNATED HEREIN AS THE HEIGHTS ON TRENTON SUBDIVISION ADDITION TO THE CITY OF ENSBURG, TEXAS, AND WHOSE NAME IS SUBSCRIBED HERETO, HEREBY DEDICATE TO THE USE OF THE PUBLIC FOREVER ALL STREETS, ALLEYS, PAVES, WATERCOURSES, DRAINS, EASEMENTS AND PUBLIC PLACES THEREON SHOWN FOR THE PURPOSE AND CONSIDERATIONS THEREIN EXPRESSED.

NMR DEVELOPMENT & INVESTMENTS, L.L.C.
A TEXAS LIMITED LIABILITY COMPANY

ROD A. RODRIGUEZ, JR., MEMBER
801 S. MCCOLL RD., SUITE A
ENSBURG, TEXAS 76029

DATE:

STATE OF TEXAS
COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED ROBERT A. RODRIGUEZ, JR., KNOWN TO ME TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT AND ACKNOWLEDGED TO ME THAT THEY EXECUTED THE SAME FOR THE PURPOSED AND CONSIDERATIONS THEREIN GIVEN UNDER MY HAND AND SEAL OF

OFFICE, THIS THE ____ DAY OF ____, 20__.

NOTARY PUBLIC, HIDALGO COUNTY, TEXAS
MY COMMISSION EXPIRES:

STATE OF TEXAS
COUNTY OF HIDALGO

I, THE UNDERSIGNED, MARCO A. REYNA, A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, HEREBY CERTIFY THAT PRIOR ENGINEERING CONSIDERATION HAS BEEN GIVEN TO THIS PLAT

DATED THIS THE ____ DAY OF ____, 20__.

MELDEN & HUNT, INC.
TEXAS REGISTRATION #4458

MARCO A. REYNA, PROFESSIONAL ENGINEER No. 117388
STATE OF TEXAS

DATE PREPARED: 02-11-21
ENGINEERING JOB NO. 20144.08



"I, THE UNDERSIGNED, CHAIRPERSON OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF ENSBURG, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT, KNOWN AS THE HEIGHTS ON TRENTON SUBDIVISION, CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THE CITY THEREIN MY APPROVAL IS REQUIRED AND HAS BEEN APPROVED FOR RECORDING ON THE ____ DAY OF ____, 20__."

CHAIRPERSON PLANNING AND ZONING COMMISSION

THIS PLAT IS HEREBY APPROVED BY THE HIDALGO COUNTY IRRIGATION DISTRICT #2

ON THIS THE ____ DAY OF ____, 20__.

NO IMPROVEMENTS OF ANY KIND (INCLUDING WITHOUT LIMITATION TREES, FENCES AND BUILDINGS) SHALL BE PLACED UPON HIDALGO COUNTY IRRIGATION DISTRICT #2 RIGHTS OF WAY OR EASEMENTS

PRESIDENT: _____ ATTEST: _____ SECRETARY: _____

APPROVED BY DRAINAGE DISTRICT:

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEXAS WATER CODE § 4601.01 (C). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER AND HIS ENGINEER TO MAKE THESE DETERMINATIONS.

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1

RAUL E. BERN, P.E., C.F.M.
GENERAL MANAGER

DATE:



FILED FOR RECORD IN
HIDALGO COUNTY
ARTURO GUJARDO, JR.
HIDALGO COUNTY CLERK

ON: ____ AT ____ AM/PM

INSTRUMENT NUMBER:
OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS

BY: _____ DEPUTY

LOCATION MAP SCALE: 1" = 1000'



LEGEND
FOUND NAIL
FOUND PIPE
SET NAIL REBAR WITH PLASTIC CAP STAMPED MELDEN & HUNT
SET NAIL
R.O.W. RIGHT-OF-WAY
H.C.M.R. - HIDALGO COUNTY MAP RECORDS
H.C.D.R. - HIDALGO COUNTY DEED RECORDS
N.E. COR. - NORTHEAST CORNER
P.O.B. - POINT OF BEGINNING
N.A.W.C. - NORTHERN ARIZONA WATER SUPPLY CORPORATION
C.O.W.D. - CORRECTION GENERAL WARRANTY DEED
L.E.D.W.S. - LIFE ESTATE DEED WITH POWER OF SALE
E.M. - UTILITY EASEMENT

Curve #	Length	Radius	Delta	Chord Distance	Chord Length	Tangent
C1	31.04'	50.00'	208° 15' 30"	5207' 10' 30"	53.26'	16.37'
C2	45.30'	50.00'	250° 25' 12"	5127' 31' 43"	45.30'	26.26'
C3	44.84'	50.00'	251° 27' 31"	5807' 58' 00"	70.89'	24.00'
C4	50.87'	50.00'	208° 03' 30"	5807' 18' 20"	55.19'	27.75'
C5	52.40'	50.00'	200° 00' 00"	5777' 42' 14"	50.00'	28.93'
C6	45.31'	50.00'	251° 55' 11"	5406' 10' 00"	43.78'	24.34'
C7	56.20'	50.00'	204° 22' 47"	5111' 52' 23"	53.28'	31.48'
C8	21.36'	50.00'	204° 28' 20"	5862' 18' 26"	21.19'	10.84'
C9	7.68'	50.00'	208° 48' 04"	5257' 52' 20"	7.67'	3.85'
C10	7.25'	50.00'	209° 00' 20"	5407' 00' 50"	7.24'	3.98'

MELDEN & HUNT, INC.
TEXAS REGISTRATION #4458
CONSULTANTS ENGINEERS SURVEYORS
115 W. MIDTWAY - EDINBURG, TX 78541
PH: (806) 381-0981 - FAX: (806) 381-1839
ESTABLISHED 1947 - www.meldenandhunt.com

DRAWN BY: EM DATE: 02-11-21
SURVEYED, CHECKED, DATE:
FINAL CHECK DATE:





CITY OF EDINBURG
Planning & Zoning Commission

Regular Meeting

Meeting Date:

11/09/2021

Rezoning Request

AGENDA ITEM 4I:

Hold Public Hearing and Consider the Comprehensive Plan Amendment from Auto Urban Uses to Urban uses and the Rezoning Request from Neighborhood Conservation 5 (NC5) District to Urban Residential (UR) District, being a 33.58 acre tract out of Lot 15, Block 55, Alamo Land and Sugar Company's Subdivision, Hidalgo County, Texas, located at 3301 East Trenton Road, as requested by Quintanilla, Headley & Associates Inc.

DESCRIPTION / SCOPE:

The property is located on the north side of East Trenton Road, approximately 3,000 ft. east of South Raul Longoria Road and is vacant. The tract has no frontage along East Trenton Road, but proposes two access points along its southern edge and an access point to the north connecting to Burr Drive. The requested zoning designation allows for single and multifamily residential uses on the subject property. The property is owned by RBR Development & Investments, LLC, and they are requesting the change of zone for a proposed single-family residential subdivision. A subdivision plat by the name of The Heights on Trenton Subdivision Phase II at this location is scheduled for consideration later during this meeting (Agenda Item 6C).

The property is currently zoned Neighborhood Conservation 5 (NC5) District. The surrounding zoning is Agriculture (AG) District to the west and northwest. Areas to the north, south, and east are outside the City Limits. Nearby land uses consist of single family residential uses and vacant land. The future land use designation is for Auto-Urban Uses.

Staff mailed a notice of the public hearing before to 73 neighboring property owners and received no comments in favor or against this request by the time this report was prepared.

BACKGROUND / HISTORY

This subject property was recently rezoned from Agriculture (AG) District to Neighborhood Conservation 5 (NC5) District at the City Council meeting of February 2, 2021. Staff received a new Zone Change Application for the subject property on October 4, 2021, requesting Urban Residential (UR) District zoning. Submitted with the Application were a survey and draft subdivision plat. The proposed plat consists of 179 residential lots ranging in size from 5,005.09 to 8,167.24 sq. ft.

ESTIMATED TIMELINE:

The recommendation of approval or denial of this public hearing is scheduled for consideration by the City Council on December 7, 2021. City Council's decision is the final step in the zoning process for this property. If denied the applicant may not request the proposed zoning classification for a 12 month period from the date of denial.

STAFF RECOMMENDATION:

Staff recommends disapproval of the Rezoning Request from Neighborhood Conservation 5 (NC5) District to Urban Residential (UR) District.

If approved, the applicant will need to comply with all requirements during the permitting process including compliance with subdivision regulations, building and fire codes, fire protection, parking, landscape buffer-yards, solid waste services, utility, and any other City requirements, as applicable.

JUSTIFICATION:

The requested zoning is out of character with the proposed use and inconsistent with the surrounding area. The subject property is located along the outermost City Limit which is suburban to auto-urban in character. Use of urban zoning with its associated setbacks and densities is inappropriate for a location of this type.

D. Austin Colina
Planner I

Kimberly A. Mendoza, MPA
Director of Planning & Zoning

MEETING DATES:
PLANNING & ZONING COMMISSION – 11/09/2021
CITY COUNCIL – 12/07/2021
DATE PREPARED – 11/02/2021

STAFF REPORT
GENERAL INFORMATION

APPLICATION: Rezoning Request from Neighborhood Conservation 5 (NC5) District to Urban Residential (UR) District

APPLICANT: RBR Development & Investment, LLC

AGENT: Quintanilla, Headley & Associates, Inc.

LEGAL: A 33.58 acre tract out of Lot 15, Block 55, Alamo Land and Sugar Company's Subdivision, Hidalgo County, Texas

LOCATION: Located at 3301 East Trenton Road

LOT/TRACT SIZE: 33.58 acres

CURRENT USE: Vacant

PROPOSED USE: Single-family

EXISTING ZONING: Neighborhood Conservation 5 (NC5)

ADJACENT ZONING: North – ETJ
South – ETJ
East – ETJ
West – Agriculture (AG) District

LAND USE PLAN: Auto-Urban Uses

PUBLIC SERVICES: North Alamo Water & Sewer

RECOMMENDATION: Staff recommends disapproval of the Rezoning Request from Neighborhood Conservation 5 (NC5) to Urban Residential (UR) District

REZONING REQUEST
QUINTANILLA, HEADLEY & ASSOCIATES, INC.

EVALUATION

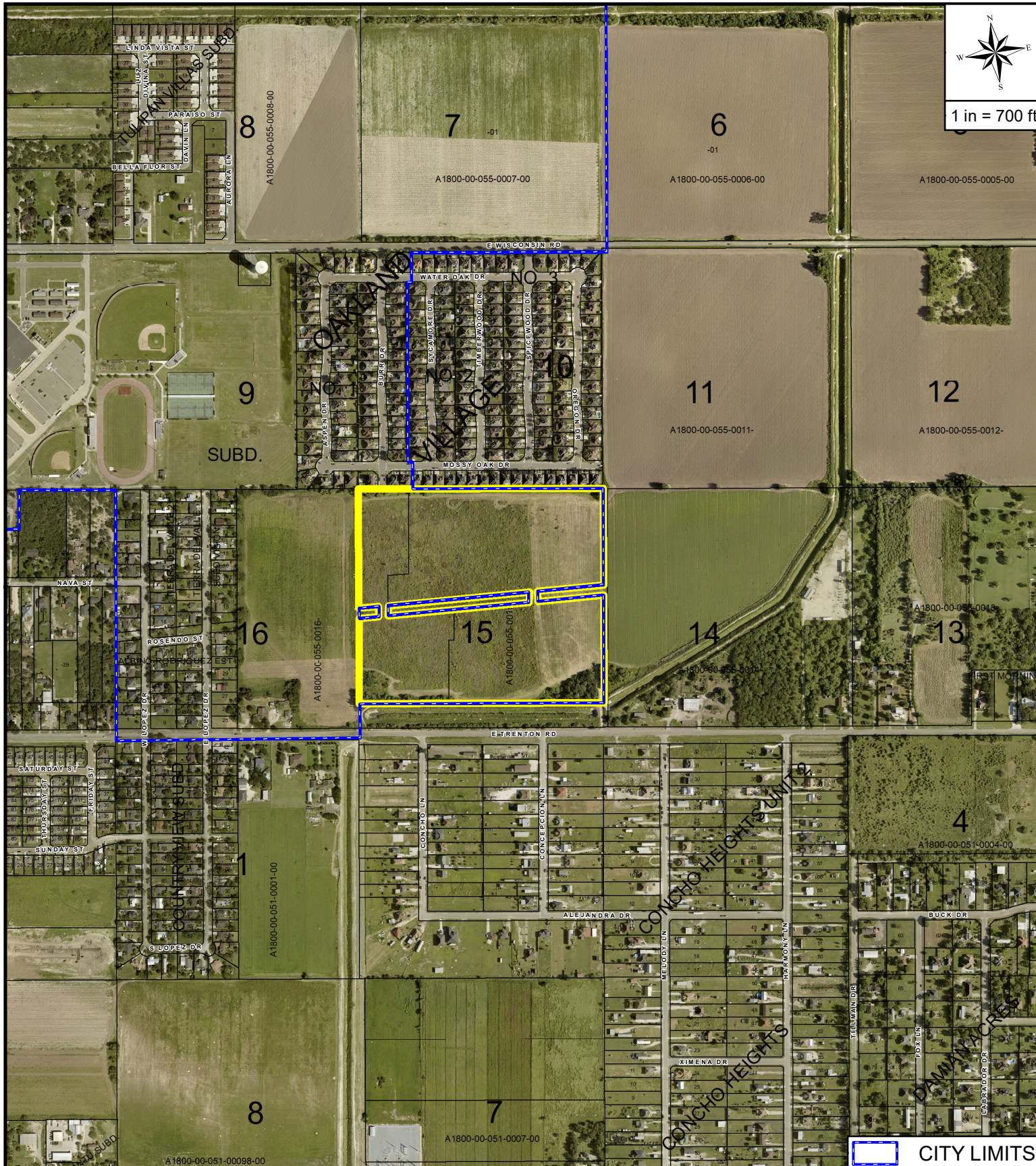
The following is staff's evaluation of the request.

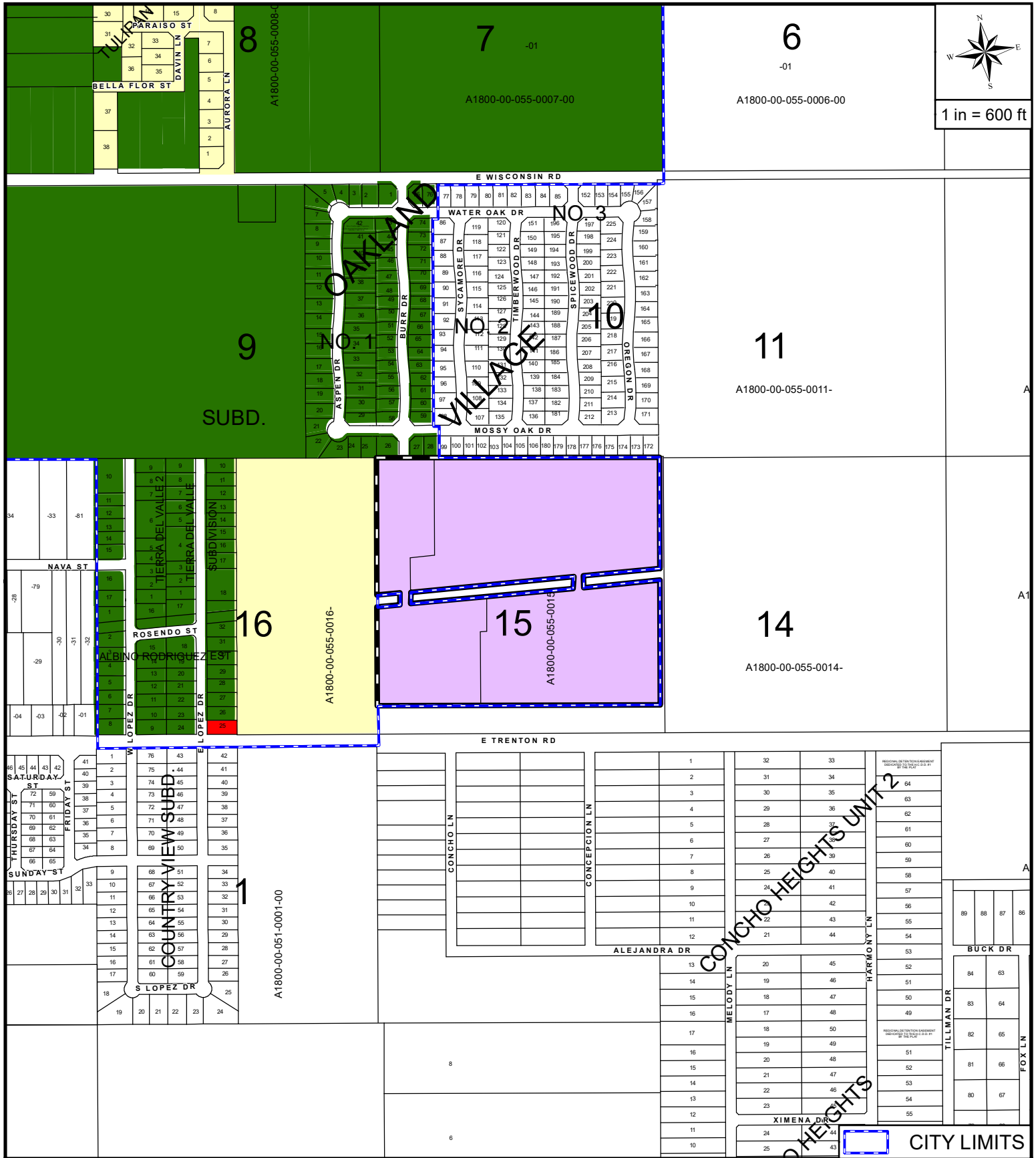
1. The land use pattern for this area of the community consists of single family uses and vacant land.
2. The applicant requested a zone change earlier this year and is now requesting another zone change to develop a single-family residential subdivision.
3. The proposed zoning is inconsistent with the character of this location. The subject property is suburban to auto-urban in nature. Application of urban zoning to this area would not be appropriate.

Staff recommends disapproval of the Rezoning Request from Neighborhood Conservation 5 (NC5) District to Urban Residential (UR) District, based on surrounding land uses and zoning in the area. If approved, the applicant will need to comply with all requirements during the permitting process including compliance with subdivision regulations, building and fire codes, fire protection, parking, landscape buffer-yards, solid waste services, utility, and any other City requirements, as applicable.

Staff mailed a notice of the public hearing before to 73 neighboring property owners and received no comments in favor or against this request by the time this report was prepared.

ATTACHMENTS: Aerial Photo
Site Map
Zoning Map
Future Land Use Map
Photo of site
Exhibits



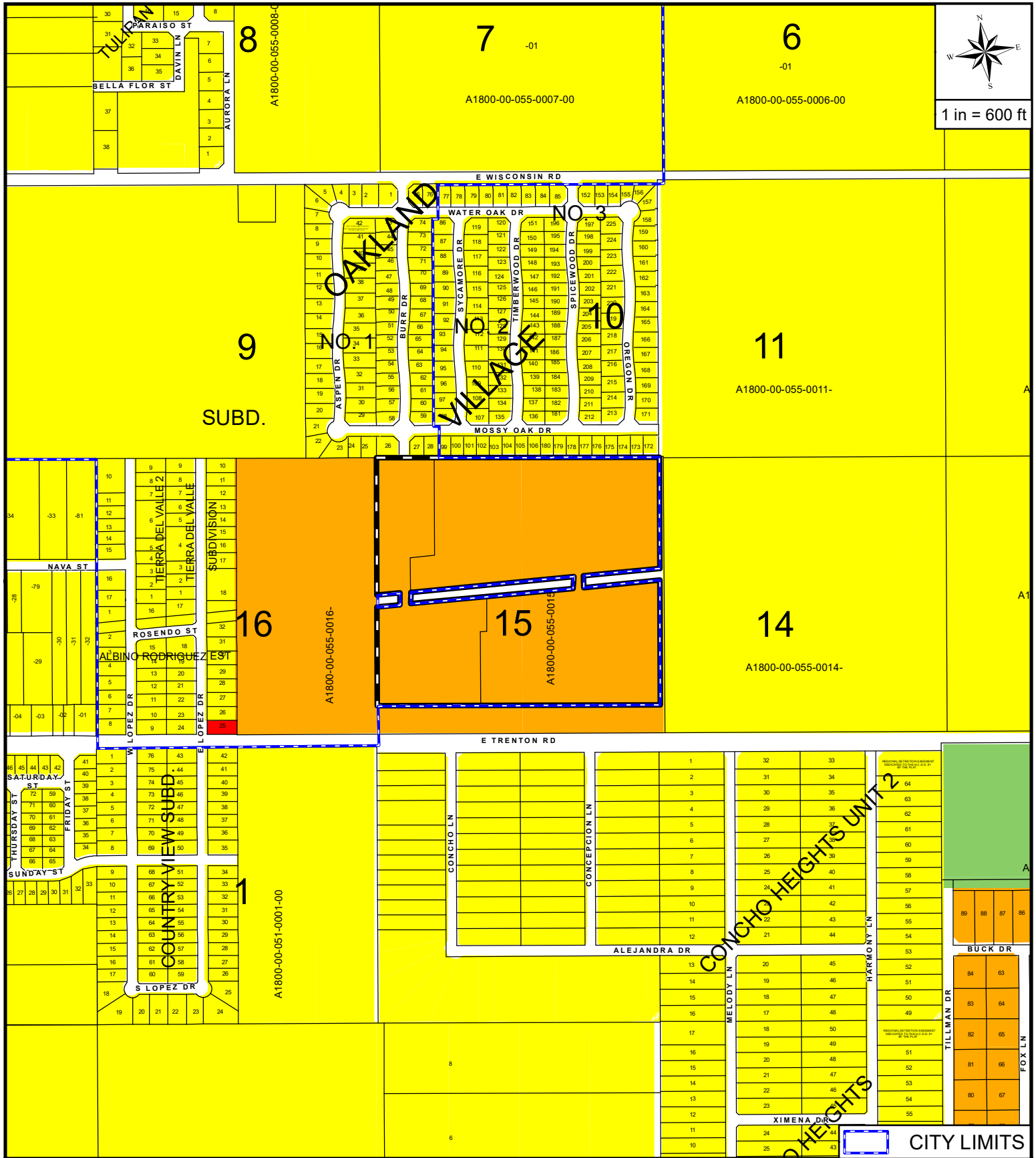



ZONING MAP

APPLICANT/SUBDIVISION: QUINTANILLA, HEADLEY & ASSOCIATES, INC.

CASE CAPTION:
 Consider the Comprehensive Plan Amendment from Auto Urban Uses to Urban uses and the Rezoning Request from Neighborhood Conservation 5 (NC5) District to Urban Residential (UR) District, being a 33.58 acre tract out of Lot 15, Block 55, Alamo Land and Sugar Company's Subdivision, Hidalgo County, Texas, located at 3301 East Trenton Road, as requested by Quintanilla, Headley & Associates Inc.

LEGEND
 APPLICANT SITE
ZONING DISTRICTS
 AGRICULTURE
 AUTO-URBAN RESIDENTIAL
 COMMERCIAL, GENERAL
 COMMERCIAL, NEIGHBORHOOD
 DOWNTOWN DISTRICT
 INDUSTRIAL
 NEIGHBORHOOD CONSERVATION 5
 NEIGHBORHOOD CONSERVATION 7.1
 NEIGHBORHOOD CONSERVATION MH
 SUBURBAN RESIDENTIAL
 URBAN RESIDENTIAL
 URBAN UNIVERSITY






FUTURE LANDUSE MAP

APPLICANT/SUBDIVISION: QUINTANILLA, HEADLEY, & ASSOCIATES, INC.












CASE CAPTION:

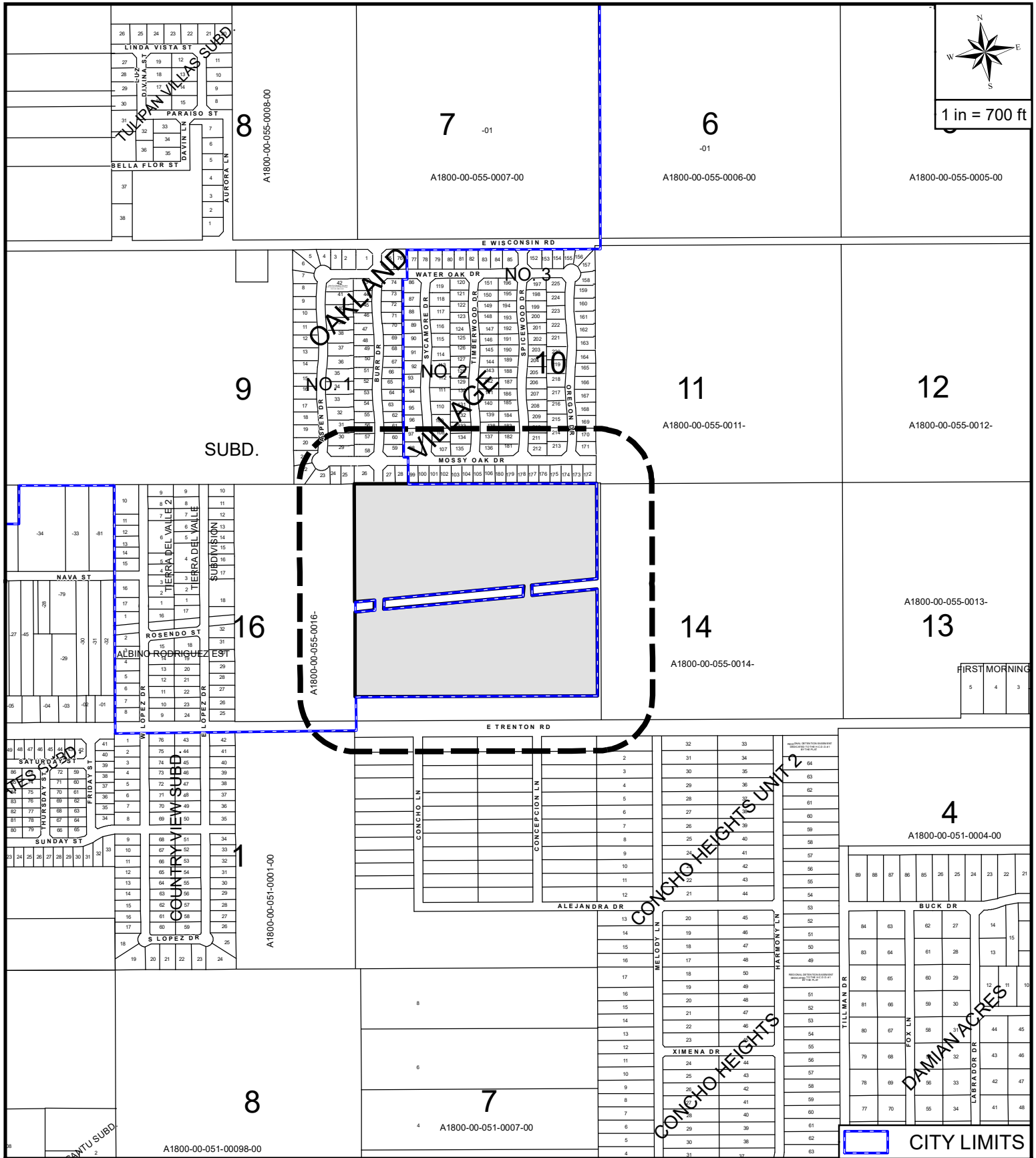
Consider the Comprehensive Plan Amendment from Auto Urban Uses to Urban uses and the Rezoning Request from Neighborhood Conservation 5 (NC5) District to Urban Residential (UR) District, being a 33.58 acre tract out of Lot 15, Block 55, Alamo Land and Sugar Company's Subdivision, Hidalgo County, Texas, located at 3301 East Trenton Road, as requested by Quintanilla, Headley & Associates Inc..


LEGEND

 APPLICANT SITE

FUTURE LANDUSE

-  Agriculture
-  Auto-Urban
-  Downtown District
-  General Commercial
-  Industrial
-  Mobile Home
-  Neighborhood Commercial
-  Office Business Park
-  Suburban
-  Urban
-  Urban University





MAILOUT AND SITE MAP

APPLICANT/SUBDIVISION: QUINTANILLA, HEADLEY & ASSOCIATES, INC.

CASE CAPTION:

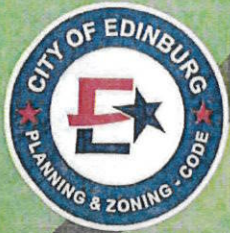
CONSIDER THE COMPREHENSIVE PLAN AMENDMENT FROM AUTO URBAN USES TO URBAN USES AND THE REZONING REQUEST FROM NEIGHBORHOOD CONSERVATION 5 (NC5) DISTRICT TO URBAN RESIDENTIAL (UR) DISTRICT, BEING A 33.58 ACRE TRACT OUT OF LOT 15, BLOCK 55, ALAMO LAND AND SUGAR COMPANY'S SUBDIVISION, HIDALGO COUNTY, TEXAS, LOCATED AT 3301 EAST TRENTON ROAD, AS REQUESTED BY QUINTANILLA, HEADLEY & ASSOCIATES, INC.

LEGEND

CITY LIMITS

APPLICANT SITE

300FT NOTIFICATION



Case #

Edinburg

Planning & Zoning Department
415 W. University Drive
Edinburg, Texas 78539
(956) 388-8202

Zone Change Application

- RBR Development & Investments, LLC
1. Name: Chris Brasher, Treasurer Phone No. (956) 330-9837
2. Mailing Address: 931 S. McColl Road Ste. A
3. City: Edinburg State: Texas Zip: 78539
4. Email Address: royrod7728@gmail.com Cell No. _____
5. Agent: Quintanilla, Headley & Associates, Inc. Phone No. (956) 381-6480
6. Agent's Mailing Address: 124 E. Stubbs St.
7. City: Edinburg State: Texas Zip: 78539
8. Email Address: alfonsoq@qha-eng.com
9. Address/Location being Rezoned: _____
10. Legal Description of Property: _____ Property ID: _____
A 33.58 acre tract of land out of Lot 15, Block 55, Alamo Land and Sugar Company's
Subdivision, Hidalgo County, Texas.
11. Zone Change: From: NC5 - Neighborhood Conservation 5 To: UR - Urban Residential
12. Existing Land Use: Open land
13. Reason for Zone Change: Proposed single family subdivision
- Chris Brasher _____
(Please Print Name) Signature
- AMOUNT PAID \$ _____ RECEIPT NUMBER _____

PUBLIC HEARING DATE (PLANNING & ZONING COMMISSION) – 4:00 PM: _____

PUBLIC HEARING DATE (CITY COUNCIL) – 6:00 PM: _____

(NOTE: BOTH MEETINGS ARE HELD AT THE EDINBURG CITY COUNCIL CHAMBERS)

RECEIVED

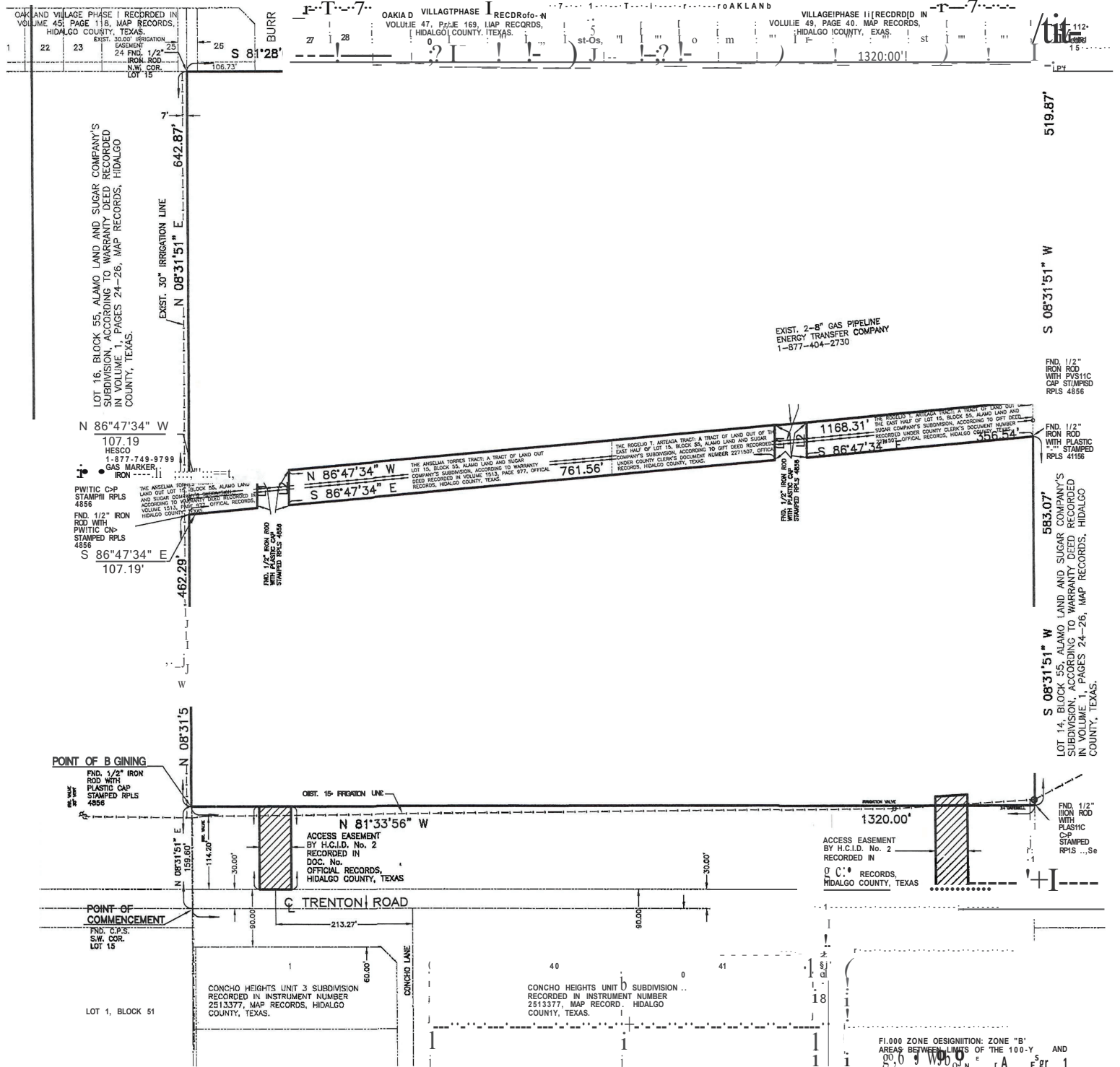
OCT 04 2021

Name: JB 4:28

Handwritten signature and date: 10/4/21

MOSSY OAK DRIVE

MOSSY OAK DRIVE



LEGEND
 1/2" x 24"
 IRON ROD WITH
 PLASTIC CAP
 STAMPED RPLS 4858
 UNLESS OTHERWISE NOTED

PLAT SHOWING

A 33.58 ACRE TRACT OF LAND OUT OF LOT 15, BLOCK 55, ALAMO LAND AND SUGAR COMPANY'S SUBDIVISION, ACCORDING TO THE MAP OR PLAT THEREOF RECORDED IN VOLUME 1, PAGES 24-26, MAP RECORDS, HIDALGO COUNTY, TEXAS, AND ACCORDING TO WARRANTY DEED RECORDED UNDER COUNTY CLERK'S DOCUMENT NUMBER 3255474 AND 3255475, OFFICIAL RECORDS, HIDALGO COUNTY, TEXAS

F1.000 ZONE DESIGNATION: ZONE "B" AREAS BETWEEN LINES OF THE 100-Y. AND 50-Y. WIDE R.A. E.G. 1 LESS THAN ONE (1) FOOT OR WHERE THE CONTRIBUTING DRAINAGE AREA IS LESS THAN ONE (1) SQUARE MILE, OR AREAS PROTECTED BY LEVEES FROM THE BASE FLOOD.
 COMMUNITY-PANEL NUMBER 0334 0425 C
 MAP REVISED: NOVEMBER 16, 1982

BEARINGS SHOWN ON THIS SURVEY PLAT ARE IN ACCORDANCE WITH OAKLAND VIAGE PHASE II RECORDED IN VOLUME 49, PAGE 40, MAP RECORDS, HIDALGO COUNTY, TEXAS.

THE PROPERTY SHOWN ON THIS SURVEY PLAT MAY BE SUBJECT TO THE SUBDIVISION REGULATIONS OF THE COUNTY OF HIDALGO AND/OR ORDINANCES OR GOVERNMENTAL REGULATIONS OF THE CITY IN WHICH THE PROPERTY MAY BE LOCATED OR HOLDING EXTRA TERRITORIAL JURISDICTION.

I, ALFONSO QUINTANILLA, A REGISTERED PROFESSIONAL LAND SURVEYOR, DO HEREBY CERTIFY THE FOREGOING PLAT TO BE A TRUE AND CORRECT REPRESENTATION OF THE LANDS SHOWN AS THE RESULT OF AN ACTUAL SURVEY DONE ON THE GROUND UNDER MY DIRECTION. THERE ARE NO VISIBLE DISCREPANCIES, CONFLICTS, OR SHORTAGES IN AREA ON BOUNDARY LINES, OR ANY VISIBLE ENCROACHMENTS, OR ANY VISIBLE OVERLAPPING OF IMPROVEMENTS EXCEPT AS SHOWN ON THIS PLAT.



ALFONSO QUINTANILLA
 REGISTERED PROFESSIONAL LAND SURVEYOR
 No. 4858



QUINTANILLA, HEADLEY AND ASSOCIATES, INC.

CONSULTING ENGINEERS • LAND SURVEYORS
 124 E. STUBBS ST.
 EDINBURG, TEXAS 78539
 ENGINEERING REGISTRATION NUMBER F-1513
 SURVEYING REGISTRATION NUMBER 100 11-00
 PHONE 956-381-8480
 FAX 956-381-0527
 ALFONSO@QOQHA-ENG.COM

VO 1 PAGES 24-26

SURVMO-...JULY 17 2020

OWNER BEARER

ADDRESS JOB No. G.F. No. 0000203014

BOOK No. ...PAGE...

Z:\d\Q\SUBDIVISIONS\Edinburg\OAKLAND VIAGE PHASE II\DWG\15B5JAI.S





CITY OF EDINBURG
Planning & Zoning Commission

Regular Meeting

Meeting Date:

11/09/2021

Rezoning Request

AGENDA ITEM 4E:

Consider the Rezoning Request from Agriculture (AG) District to Auto-Urban Residential (AU) District, being 34.26 acres out of Lot 3, Section 276, Texas-Mexican Railway Company's Survey, located at 501 North McColl Road, as requested by Melden & Hunt, Inc.

DESCRIPTION / SCOPE:

The property is located at the southwest corner of North McColl Road and West Schunior Street and is vacant. The requested zoning designation allows for single and multi-family residential uses on the subject property. The applicant is requesting the change of zone to Auto-Urban Residential (AU) District.

The property is currently zoned Agriculture (AG) District. The surrounding zoning is Urban Residential (UR) District to the north, Commercial General (CG) and Agriculture (AG) Districts to the south, Neighborhood Conservation 5 (NC5) and Neighborhood Conservation 7.1 (NC7.1) Districts to the west, and a mix of Urban Residential (UR), Neighborhood Conservation 7.1 (NC7.1) Suburban Residential (S) and Commercial General (CG) Districts to the east. The future land use designation is for Auto-Urban and Neighborhood Commercial Uses.

Staff mailed a notice of the public hearing before to 68 neighboring property owners and received no comments in favor or against this request by the time this report was prepared.

BACKGROUND / HISTORY

Staff received a Zone Change Application for the subject property on October 11, 2021, requesting Auto-Urban Residential (AU) District zoning. Submitted with the Application was a survey of the property. No specifics of the intended use were provided.

ESTIMATED TIMELINE:

The recommendation of approval or denial of this public hearing is scheduled for consideration by the City Council on December 7, 2021. City Council's decision is the final step in the zoning process for this property. If denied the applicant may not request the proposed zoning classification for a 12 month period from the date of denial.

STAFF RECOMMENDATION:

Staff recommends approval of the Rezoning Request from Agriculture (AG) District to Auto-Urban Residential (AU) District based on development trends in this area.

If approved, the applicant will need to comply with all requirements during the permitting process including compliance with subdivision regulations, building and fire codes, fire protection, parking, landscape buffer-yards, solid waste services, utility, and any other City requirements, as applicable.

JUSTIFICATION:

Change to Auto-Urban Residential (AU) District is in keeping with recent trends in this area to accommodate demand for residential developments. The existing zoning of Agriculture (AG) District is no longer well suited to the given location.

D. Austin Colina
Planner I

Kimberly A. Mendoza, MPA
Director of Planning & Zoning

MEETING DATES:
PLANNING & ZONING COMMISSION – 11/09/2021
CITY COUNCIL – 12/07/2021
DATE PREPARED – 11/02/2021

STAFF REPORT
GENERAL INFORMATION

APPLICATION: Rezoning Request from Agriculture (AG) District to Auto-Urban Residential (AU) District

APPLICANT: Marilyn K. Houts

AGENT: Melden & Hunt, Inc.

LEGAL: 34.26 acres out of Lot 3, Section 276, Texas-Mexican Railway Company's Survey, Volume 24, Page 168, Deed Records of Hidalgo County, Texas

LOCATION: Located at 501 North McColl Road

LOT/TRACT SIZE: 34.26 acres

CURRENT USE: Vacant

PROPOSED USE: Unknown

EXISTING ZONING: Neighborhood Conservation 5 (NC5)

ADJACENT ZONING: North – Urban Residential (UR) District
South – Commercial General (CG) and Agriculture (AG) Districts
East – Urban Residential (UR), Neighborhood Conservation 7.1 (NC7.1), Suburban Residential (S), and Commercial General (CG) Districts.
West – Neighborhood Conservation 5 (NC5) and Neighborhood Conservation 7.1 (NC7.1) Districts

LAND USE PLAN: Auto-Urban Uses

PUBLIC SERVICES: North Alamo Water & Sewer

RECOMMENDATION: Staff recommends approval of the Rezoning Request from Agriculture (AG) to Auto-Urban Residential (AU) District

REZONING REQUEST
MARILYN K. HOUTS

EVALUATION

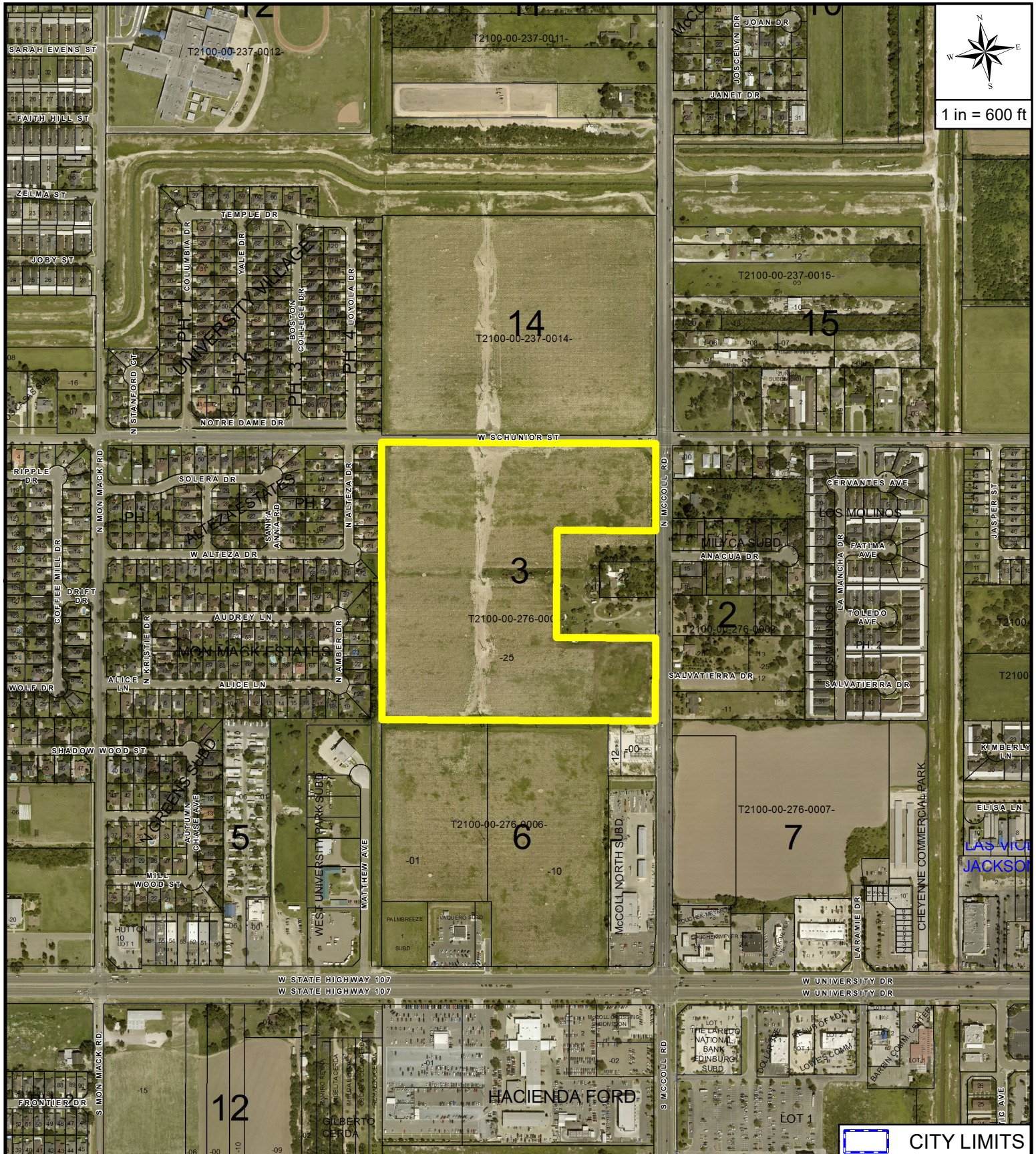
The following is staff's evaluation of the request.

1. The land use in the area is mixed.
2. Agriculture, as is currently zoned, is not a sensible use for this location in modern times.
3. Current trends in the area are for increased residential uses.

Staff recommends approval of the Rezoning Request from Neighborhood Conservation 5 (NC5) District to Auto-Urban Residential (AU) District, based on surrounding land uses and zoning in the area. If approved, the applicant will need to comply with all requirements during the permitting process including compliance with subdivision regulations, building and fire codes, fire protection, parking, landscape buffer-yards, solid waste services, utility, and any other City requirements, as applicable.

Staff mailed a notice of the public hearing before to 68 neighboring property owners and received no comments in favor or against this request by the time this report was prepared.

ATTACHMENTS: Aerial Photo
Site Map
Zoning Map
Future Land Use Map
Photo of site
Exhibits



AERIAL MAP

APPLICANT/SUBDIVISION: MELDEN & HUNT, INC.

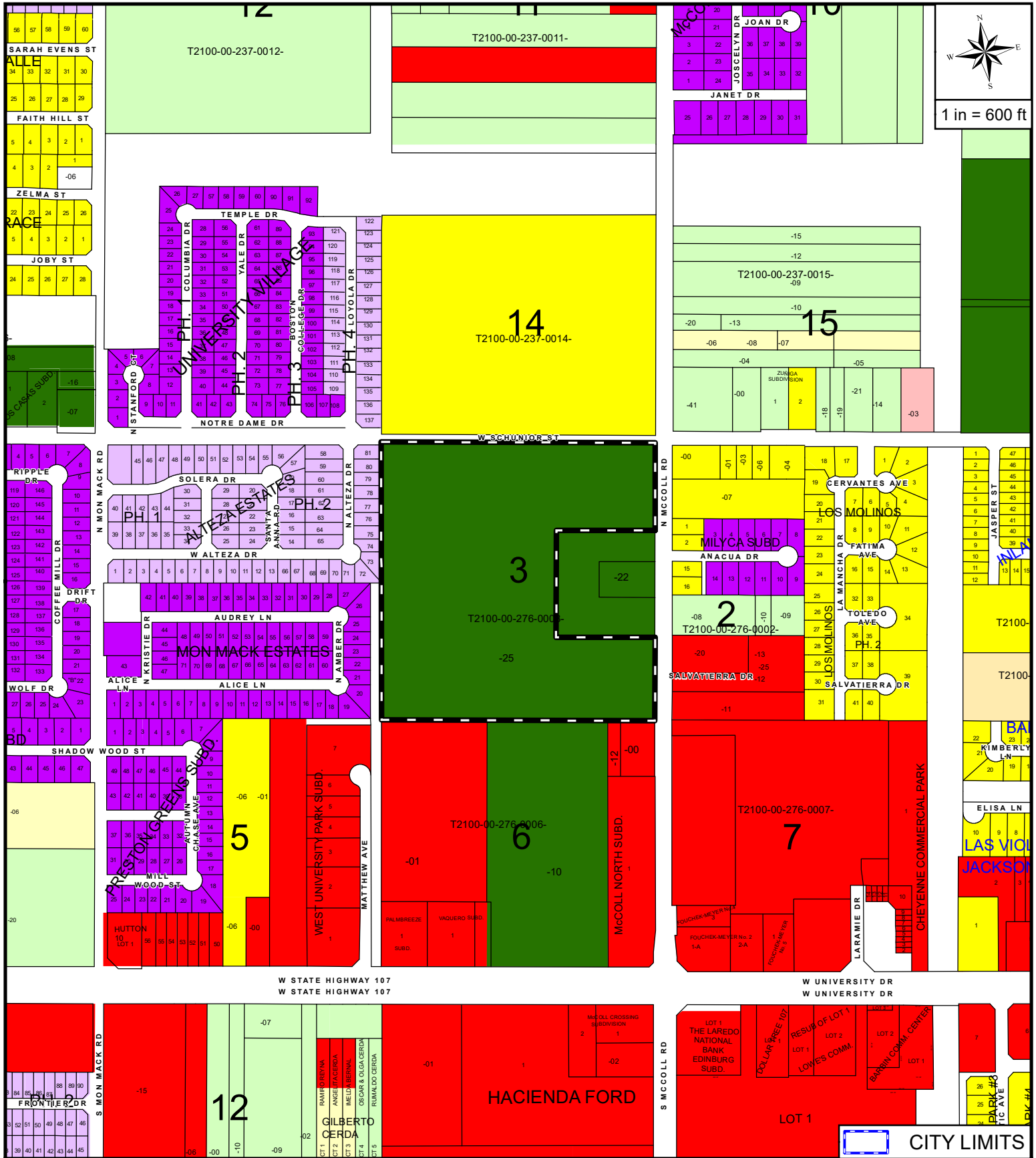
CASE CAPTION:

CONSIDER THE REZONING REQUEST FROM AGRICULTURE (AG) DISTRICT TO AUTO URBAN RESIDENTIAL (AU) DISTRICT, BRING 34.26 ACRES OUT OF LOT 3, SECTION 276, TEXAS-MEXICAN RAILWAY COMPANY'S SURVEY, VOLUME 24, PAGE 168, DEED RECORDS OF HIDALGO COUNTY, TEXAS, LOCATED AT THE 501 NORTH MCCOLL ROAD, AS REQUESTED BY MELDEN & HUNT, INC.

CITY LIMITS

LEGEND

APPLICANT SITE



FUTURE LAND USE MAP

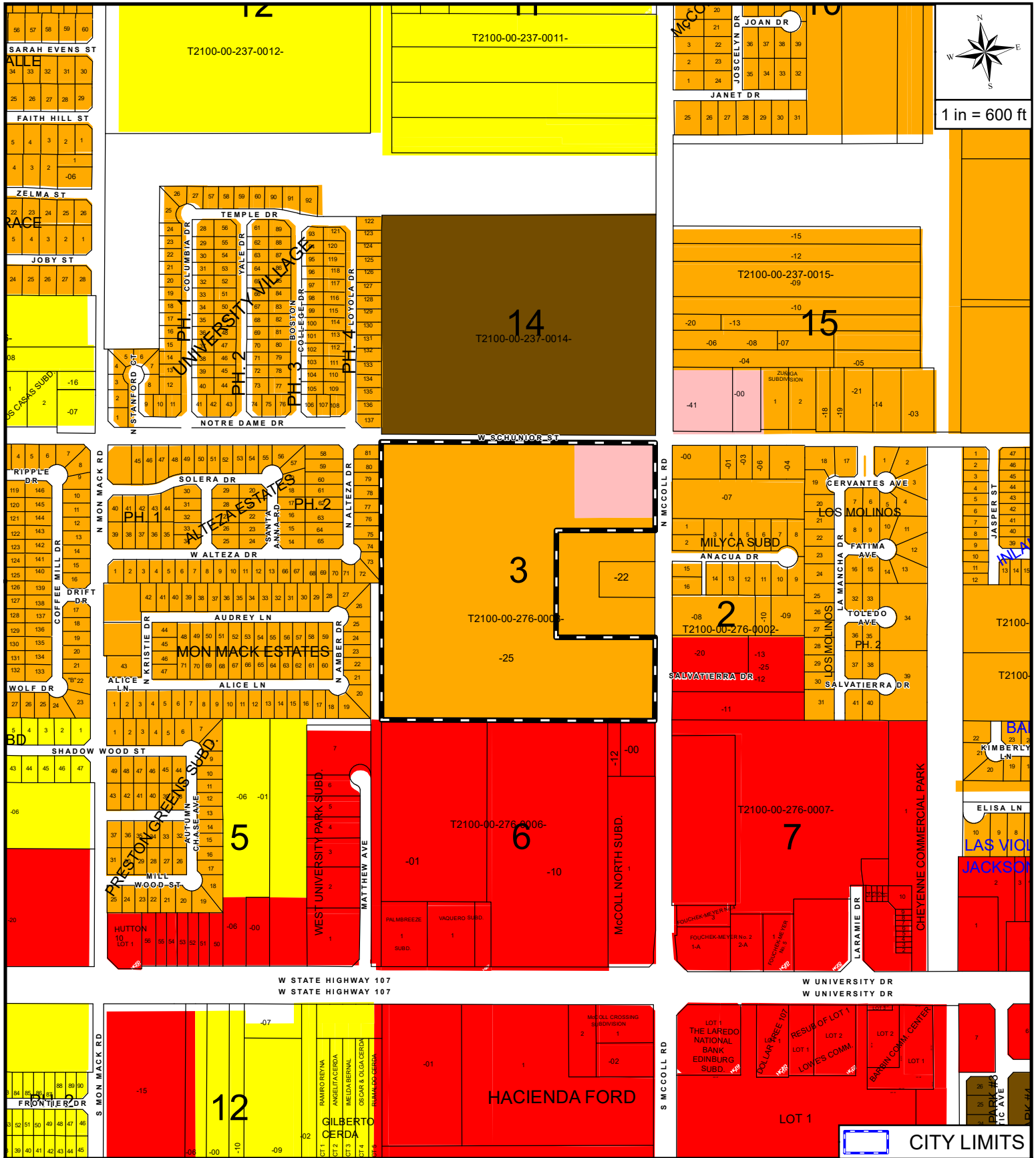
APPLICANT/SUBDIVISION: MELDEN & HUNT, INC.

CASE CAPTION:

CONSIDER THE REZONING REQUEST FROM AGRICULTURE (AG) DISTRICT TO AUTO URBAN RESIDENTIAL (AU) DISTRICT, BRING 34.26 ACRES OUT OF LOT 3, SECTION 276, TEXAS-MEXICAN RAILWAY COMPANY'S SURVEY, VOLUME 24, PAGE 168, DEED RECORDS OF HIDALGO COUNTY, TEXAS, LOCATED AT THE 501 NORTH MCCOLL ROAD, AS REQUESTED BY MELDEN & HUNT, INC.

LEGEND

- APPLICANT SITE
- ZONING DISTRICTS
 - AGRICULTURE
 - AUTO-URBAN RESIDENTIAL
 - COMMERCIAL, GENERAL
 - COMMERCIAL, NEIGHBORHOOD
 - DOWNTOWN DISTRICT
 - INDUSTRIAL
 - NEIGHBORHOOD CONSERVATION 5
 - NEIGHBORHOOD CONSERVATION 7.1
 - NEIGHBORHOOD CONSERVATION MH
 - SUBURBAN RESIDENTIAL
 - URBAN RESIDENTIAL
 - URBAN UNIVERSITY



FUTURE LAND USE MAP

APPLICANT/SUBDIVISION: MELDEN & HUNT, INC.

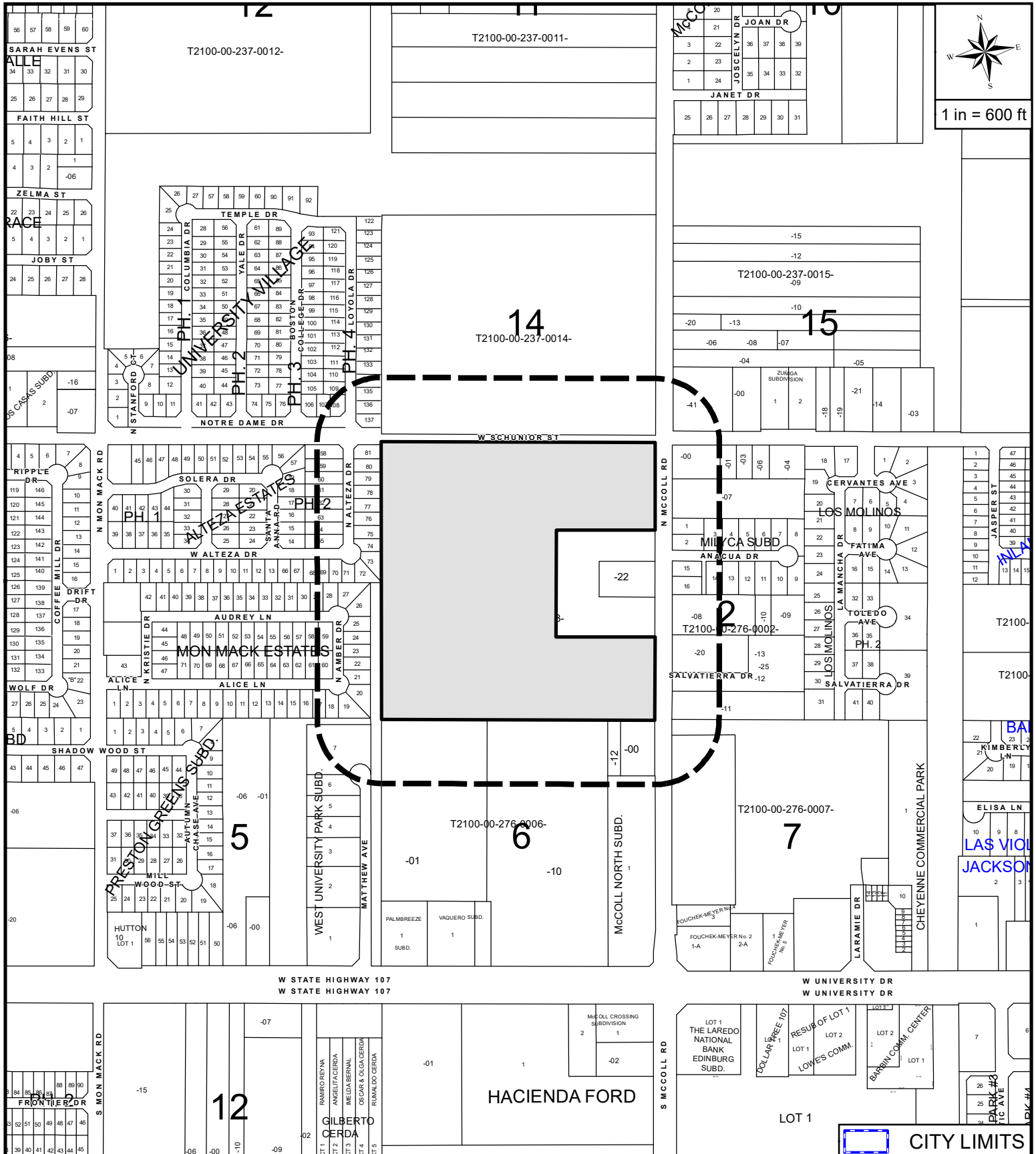
CASE CAPTION:


CONSIDER THE REZONING REQUEST FROM AGRICULTURE (AG) DISTRICT TO AUTO URBAN RESIDENTIAL (AU) DISTRICT, BRING 34.26 ACRES OUT OF LOT 3, SECTION 276, TEXAS-MEXICAN RAILWAY COMPANY'S SURVEY, VOLUME 24, PAGE 168, DEED RECORDS OF HIDALGO COUNTY, TEXAS, LOCATED AT THE 501 NORTH MCCOLL ROAD, AS REQUESTED BY MELDEN & HUNT, INC.

LEGEND

- APPLICANT SITE
- FUTURE LANDUSE**
- Agriculture
- Auto-Urban
- Downtown District
- General Commercial
- Industrial
- Mobile Home
- Neighborhood Commercial
- Office Business Park
- Suburban
- Urban
- Urban University

CITY LIMITS






MAILOUT AND SITE MAP


APPLICANT/SUBDIVISION: MELDEN & HUNT, INC.

CASE CAPTION:

CONSIDER THE REZONING REQUEST FROM AGRICULTURE (AG) DISTRICT TO AUTO URBAN RESIDENTIAL (AU) DISTRICT, BRING 34.26 ACRES OUT OF LOT 3, SECTION 276, TEXAS-MEXICAN RAILWAY COMPANY'S SURVEY, VOLUME 24, PAGE 168, DEED RECORDS OF HIDALGO COUNTY, TEXAS, LOCATED AT THE 501 NORTH MCCOLL ROAD, AS REQUESTED BY MELDEN & HUNT, INC.

LEGEND

 APPLICANT SITE

 300FT NOTIFICATION



Case #

Edinburg
THE CITY OF


Planning & Zoning Department
415 W. University Drive
Edinburg, Texas 78539
(956) 388-8202

Zone Change Application

1. Name: Marilyn K. Houts Phone No. (956) 381-1839
2. Mailing Address: 515 N. McColl Rd.
3. City: Edinburg State: Texas Zip: 78541
4. Email Address: c/o mario@meldenandhunt.com Cell No. (956) 500-2734
5. Agent: Melden & Hunt, Inc. Phone No. (956) 381-0981
6. Agent's Mailing Address: 115 W. McIntyre Street
7. City: Edinburg State: TX Zip: 78541
8. Email Address: mario@meldenandhunt.com/lydia@meldenandhunt.com
9. Address/Location being Rezoned: 500 Blk. N. McColl Rd.
10. Legal Description of Property: _____ Property ID: 297334
34.26 acres out of Lot 3, Section 276, Texas Mexican Railway Company
11. Zone Change: From: AG - Agriculture To: AU - Auto-Urban Residential
12. Existing Land Use: Open
13. Reason for Zone Change: To fit the needs of the proposed development

Mario A. Reyna, P.E.

(Please Print Name)


Signature

Digitally signed by Mario A. Reyna:
DN: cn = Mario A. Reyna email =
mario@meldenandhunt.com, c = US o = Melden and Hunt,
ou = PE
Date: 2021.10.11 13:57:17 -0600

RECEIVED

AMOUNT PAID \$ 400.00

RECEIPT NUMBER _____

OCT 11 2021

PUBLIC HEARING DATE (PLANNING & ZONING COMMISSION) – 4:00 PM:

Name: JS 3:53

PUBLIC HEARING DATE (CITY COUNCIL) – 6:00 PM: _____

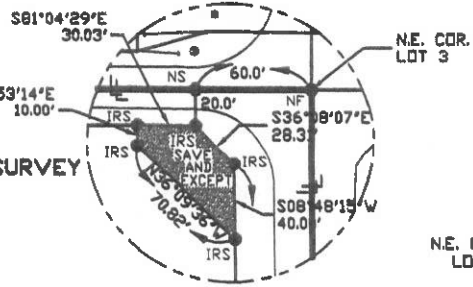
(NOTE: BOTH MEETINGS ARE HELD AT THE EDINBURG CITY COUNCIL CHAMBERS)



BASE OF BEARING AS PER
STATE PLANE COORDINATE SYSTEM
NAD 83, SOUTH ZONE

SCALE: 1" = 200.0'

LOT 14, SECTION 237
TEXAS-MEXICAN RAILWAY COMPANY'S SURVEY
(VOL. 24, PG. 168, H.C.M.R.)



Q SCHUNIOR RD
(40.0' R.O.W.)

S 81°04'29" E 1320.00'

40.0' EXISTING R.O.W.

R.O.W. TO STATE OF TEXAS
(DOC. NO. 1566070, H.C.D.R.)

P.O.B.
N.W. COR.
LOT 3
SECTION 276

50.0'

50.0'

34.26 ACRES GROSS
-2.34 ACRES CANAL R.O.W.
-0.76 ACRE F.M. 2061
-0.56 ACRE SCHUNIOR RD.
-0.04 ACRE STATE OF TEXAS R.O.W.
30.56 ACRES NET

APPROXIMATE LOCATION
IRRIGATION LINE

36" ISP

N81°04'29"W 500.00'

EUGENE E. HOUTS
(DOC. NO. 411893, H.C.D.R.)
(VOL. 1043, PG. 276, H.C.D.R.)
(VOL. 3358, PG. 416, H.C.D.R.)

80.0' EXIST R.O.W.

IRS

IRS

IRS

IRS

S81°04'29"E 500.00'

CP&L EASEMENT
(VOL. 338, PG. 265, H.C.D.R.)

CP&L EASEMENT
(VOL. 1137, PG. 939, H.C.D.R.)

CONCRETE CANAL

1280.00'

60.0' H.C.I.D. NO. 1 CANAL R.O.W.

30.0'

N 81°04'29" W 1320.00'

LOT 6, SECTION 276

TEXAS-MEXICAN RAILWAY COMPANY'S SURVEY
(VOL. 24, PG. 168, H.C.M.R.)

LEGEND

- | | |
|------------------------------|---|
| ↑ = GUY WIRE | Q = CENTER LINE |
| □ = HIGH VOLTAGE BOX | L = LOT LINE |
| • = POWER POLE | P = PROPERTY LINE |
| ○ = REINFORCED CONCRETE PIPE | IRF = FOUND 1/2" IRON ROD |
| ⊙ = SIGN | IRS = SET 1/2" IRON ROD WITH A PLASTIC CAP STAMPED "CVQ LS" |
| ⊙ = TRAFFIC SIGNAL POLE | CPS = FOUND COTTON PICKER SPINDLE |
| ⊙ = WATER VALVE | NF = NAIL FOUND |
| -OH- = OVERHEAD POWER LINE | R.O.W. = RIGHT OF WAY |

LOT 4, SECTION 276

TEXAS-MEXICAN RAILWAY COMPANY'S SURVEY
(VOL. 24, PG. 168, H.C.M.R.)

MON MACK ESTATES
(VOL. 29, PG. 10, H.C.M.R.)

N 08°53'14" E 1320.00'

100.0' H.C.I.D. NO. 1 CANAL R.O.W.

S 08°53'14" W

(F.M. 2061)
Q MCCOLL RD.
(VOL. 1182, PG. 341, H.C.D.R.)

S 08°53'14" W

408.99'





CITY OF EDINBURG
Planning & Zoning Commission

Regular Meeting

Meeting Date:

11/09/2021

Rezoning Request

AGENDA ITEM 4F:

Consider the Comprehensive Plan Amendment from Auto Urban Uses to Urban Uses and the Rezoning Request from Suburban Residential (S) District to Urban Residential (UR) District, being a 3.258 acre tract, more or less, out of Lot 2, J.A.S. I. Lavelle Subdivision, located at 3610 South Veterans Boulevard, as requested by Ron Zedek.

DESCRIPTION / SCOPE:

The property is located on the east side of South Veterans Boulevard, approximately 200 ft. south of East Wisconsin Road and currently has as vacant single family residential structure. The tract has 330 ft. of frontage along South Veterans Boulevard and 430 ft. of depth for a tract size of 141,900 square ft. The requested zoning designation allows for multi-family residential uses on the subject property. The applicant is requesting the change of zone to construct a multifamily residential complex.

The property is currently zoned Suburban Residential (S) District. The surrounding zoning is Suburban Residential (S) District to the north and west, and Urban Residential (UR) District to the south and east. Nearby land uses consist of single family residential, multi-family residential, and vacant land. The future land use designation is Auto-Urban Uses.

Staff mailed a notice of the public hearing before to 37 neighboring property owners and received no comments in favor or against this request by the time this report was prepared.

BACKGROUND / HISTORY

Staff received a Zone Change Application for the subject property on October 12, 2021. Submitted with the Application were a survey and basic site plan. The proposed site plan consists of 15 duplexes for a total of 30 dwelling units. Rezoning is required to proceed with the proposed development. If approved, a recorded subdivision will also be required.

ESTIMATED TIMELINE:

The recommendation of approval or denial of this public hearing is scheduled for consideration by the City Council on December 7, 2021. City Council's decision is the final step in the zoning process for this property. If denied the applicant may not request the proposed zoning classification for a 12 month period from the date of denial.

STAFF RECOMMENDATION:

Staff recommends approval of the Rezoning Request from Suburban Residential (S) District to Urban Residential (UR) District.

If approved, the applicant will need to comply with all requirements during the permitting process including compliance with subdivision regulations, building and fire codes, fire protection, parking, landscape buffer-yards, solid waste services, utility, and any other City requirements, as applicable.

JUSTIFICATION:

Adjacent property to the south and east of this location received recommendation for approval by this Board for rezoning from Suburban Residential (S) District to Urban Residential (UR) District at their meeting of February 12, 2021. Multifamily developments exist in the area to the south, southwest, and east of the proposed development. Requested zoning is in keeping with the general trends and uses in the area.

D. Austin Colina
Planner I

Kimberly A. Mendoza, MPA
Director of Planning & Zoning

MEETING DATES:
PLANNING & ZONING COMMISSION – 11/09/2021
CITY COUNCIL – 12/07/2021
DATE PREPARED – 11/02/2021

STAFF REPORT
GENERAL INFORMATION

APPLICATION: Rezoning Request from Suburban Residential (S) District to Urban Residential (UR) District

APPLICANT: Ron Zedek

AGENT: Carl Milkie

LEGAL: A 3.258 acre tract, more or less, out of Lot 2, J.A.S. I. Lavelle Subdivision, map or plat thereof recorded in Volume 6, Pages 29, Hidalgo County Map Records, Texas

LOCATION: Located at 3610 South Veterans Boulevard

LOT/TRACT SIZE: 3.258 acres

CURRENT USE: Vacant single-family residential structure

PROPOSED USE: Multi-family

EXISTING ZONING: Suburban Residential (S) District

ADJACENT ZONING: North – Suburban Residential (S) District
South – Urban Residential (UR) District
East – Urban Residential (UR) District
West – Suburban Residential (S) District

LAND USE PLAN: Auto-Urban Uses

PUBLIC SERVICES: North Alamo Water Supply & City of Edinburg Sewer

RECOMMENDATION: Staff recommends approval of the Rezoning Request from Suburban Residential (S) District to Urban Residential (UR) District

REZONING REQUEST

RON ZEDEK

EVALUATION

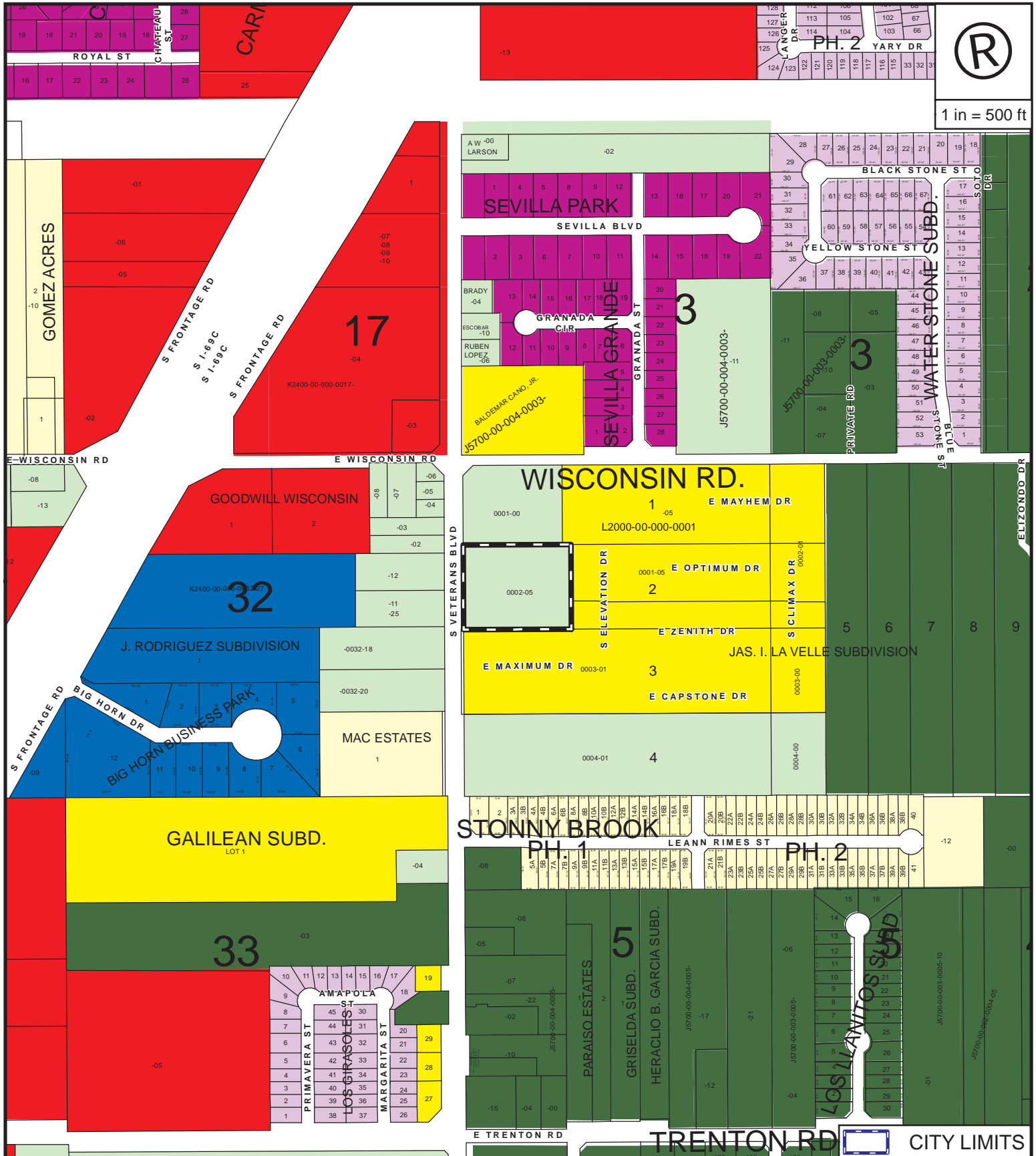
The following is staff's evaluation of the request.

1. The land use pattern for this area of the community consists of single family & multi-family residential uses and vacant land.
2. The applicant is requesting the change of zone to construct a multi-family residential development.

Staff recommends approval of the Rezoning Request from Suburban Residential (S) District to Urban Residential (UR) District, based on surrounding land uses consisting of single family and multi-family residential homes in the area. If approved, the applicant will need to comply with all requirements during the permitting process including compliance with subdivision regulations, building and fire codes, fire protection, parking, landscape buffer-yards, solid waste services, utility, and any other City requirements, as applicable.

Staff mailed a notice of the public hearing before to 37 neighboring property owners and received no comments in favor or against this request by the time this report was prepared.

ATTACHMENTS: Aerial Photo
Site Map
Zoning Map
Future Land Use Map
Photo of site
Exhibits















ZONING MAP

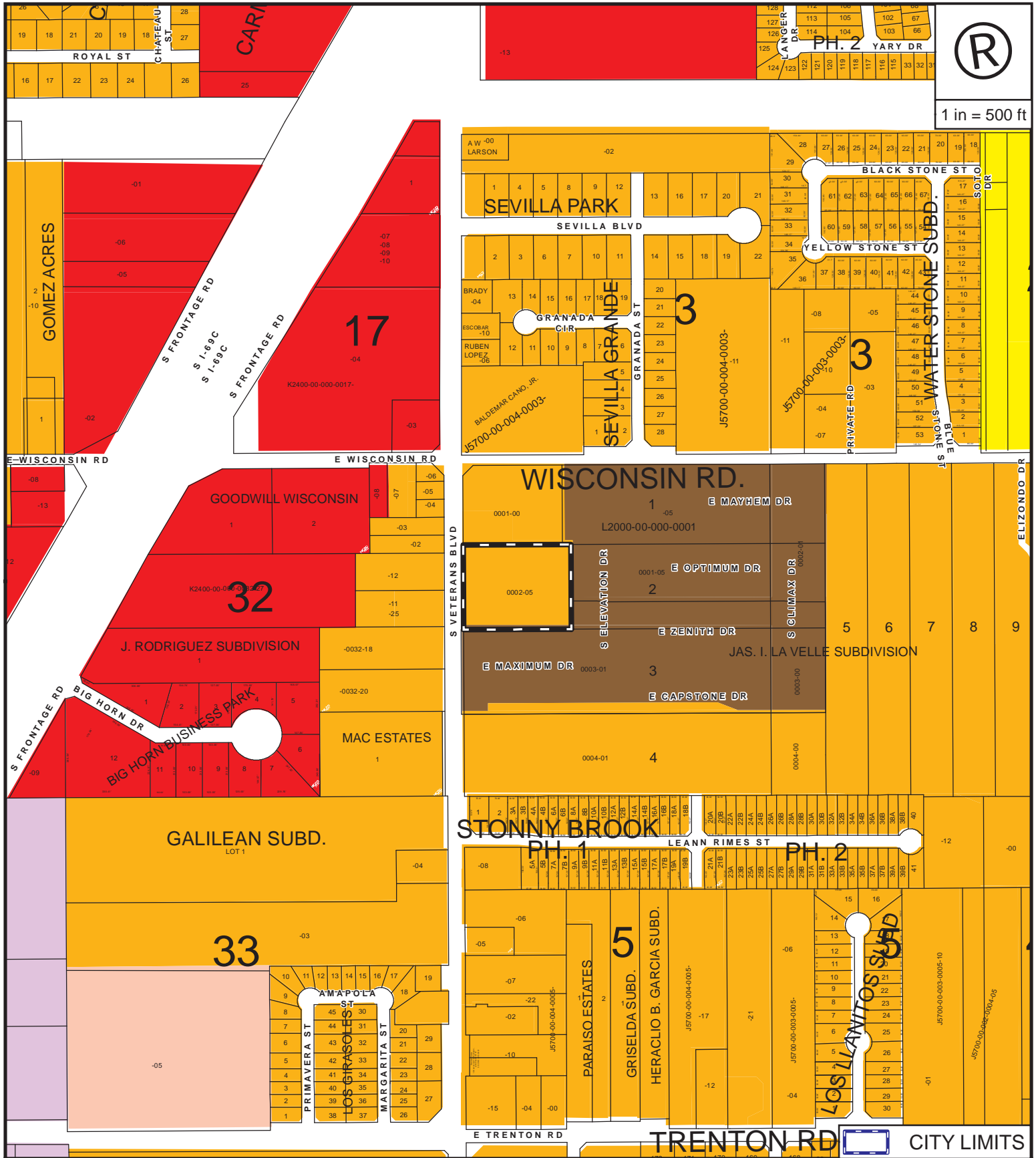
APPLICANT/SUBDIVISION: RON ZEDEK

CASE CAPTION:

CONSIDER THE COMPREHENSIVE PLAN AMENDMENT FROM AUTO URBAN USES TO URBAN USES AND THE REZONING REQUEST FROM SUBURBAN RESIDENTIAL (S) DISTRICT TO URBAN RESIDENTIAL (UR) DISTRICT, BEING A 3.258 ACRE TRACT, MORE OR LESS, OUT OF LOT 2, J.A.S. I. LAVELLE SUBDIVISION, MAP OR PLAT THEREOF RECORDED IN VOLUME 6, PAGES 29, HIDALGO COUNTY MAP RECORDS, TEXAS, LOCATED AT 3610 SOUTH VETERANS BOULEVARD, AS REQUESTED BY RON ZEDEK.

LEGEND

-  APPLICANT SITE
- ZONING DISTRICTS**
-  AGRICULTURE
-  AUTO-URBAN RESIDENTIAL
-  COMMERCIAL, GENERAL
-  COMMERCIAL, NEIGHBORHOOD
-  DOWNTOWN DISTRICT
-  INDUSTRIAL
-  NEIGHBORHOOD CONSERVATION 5
-  NEIGHBORHOOD CONSERVATION 7.1
-  NEIGHBORHOOD CONSERVATION MH
-  SUBURBAN RESIDENTIAL
-  URBAN RESIDENTIAL
- URBAN UNIVERSITY














FUTURE LANDUSE MAP

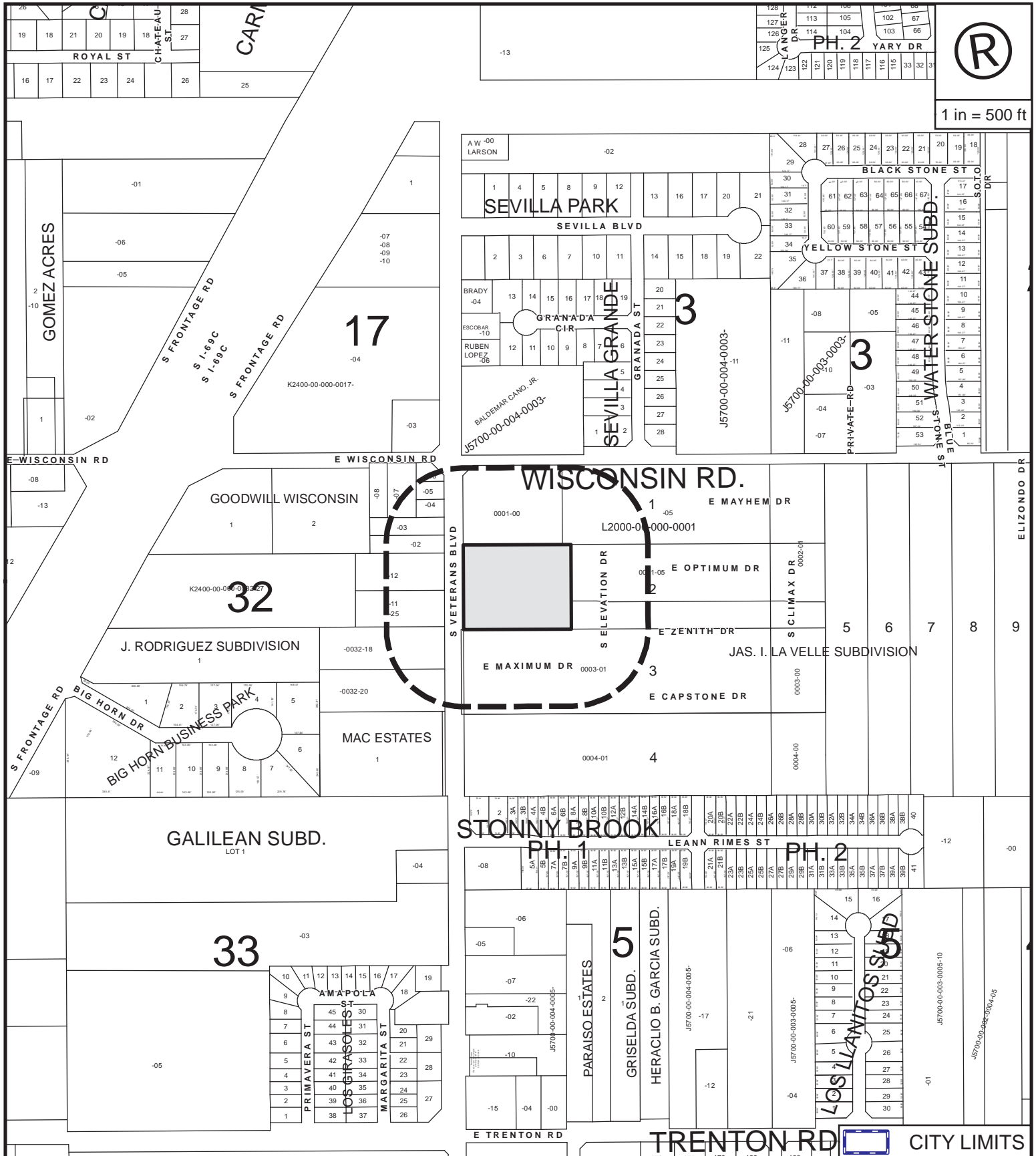
APPLICANT/SUBDIVISION: RON ZEDEK

CASE CAPTION:

CONSIDER THE COMPREHENSIVE PLAN AMENDMENT FROM AUTO URBAN USES TO URBAN USES AND THE REZONING REQUEST FROM SUBURBAN RESIDENTIAL (S) DISTRICT TO URBAN RESIDENTIAL (UR) DISTRICT, BEING A 3.258 ACRE TRACT, MORE OR LESS, OUT OF LOT 2, J.A.S. I. LAVELLE SUBDIVISION, MAP OR PLAT THEREOF RECORDED IN VOLUME 6, PAGES 29, HIDALGO COUNTY MAP RECORDS, TEXAS, LOCATED AT 3610 SOUTH VETERANS BOULEVARD, AS REQUESTED BY RON ZEDEK.

LEGEND

-  APPLICANT SITE
- FUTURE LANDUSE**
-  Agriculture
-  Auto-Urban
-  Downtown District
-  General Commercial
-  Industrial
-  Mobile Home
-  Neighborhood Commercial
-  Office Business Park
-  Suburban
-  Urban
-  Urban University



MAILOUT AND SITE MAP

APPLICANT/SUBDIVISION: RON ZEDEK

CASE CAPTION:

CONSIDER THE COMPREHENSIVE PLAN AMENDMENT FROM AUTO-URBAN USES TO URBAN USES AND THE REZONING REQUEST FROM SUBURBAN RESIDENTIAL (S) DISTRICT TO URBAN RESIDENTIAL (UR) DISTRICT, BEING A 3.258 ACRE TRACT OF LAND OUT OF LOT 2, J.A.S. I. LAVELLE SUBDIVISION, LOCATED AT 3610 SOUTH VETERANS BOULEVARD, AS REQUESTED BY RON ZEDEK.

LEGEND



APPLICANT SITE

300FT NOTIFICATION



Case #

Edinburg

Planning & Zoning Department
415 W. University Drive
Edinburg, Texas 78539
(956) 388-8202

Zone Change Application

Date: October 12, 20211. Name: Ron Zedek 2. Phone: _____3. Mailing Address: 813 N Main St Suite 1104. City: Mcallen State: TX Zip: 785015. Email Address: carl@keyrentermcallen.com 6. Cell No. (602) 430-70697. Agent: Carl Milkie 8. Agent's Phone: _____9. Agent's Mailing Address: 813 N Main St Suite 11010. City: Mcallen State: Texas Zip: 7850111. Agent's Email: Carl@KeyrenterMcallen.com12. Address/Location being Rezoned: 3610 S Veterans Blvd Edinburg TX 7854213. Legal Description of Property: _____ 14. Property ID(s): 213385
3.258 Acre Tract of land more or less out of Lot 2, J.A.S. I. Lavelle Subdivision, City Of
Edinburg Hidalgo County Texas Volume 6 Page 29 HCMR15. Zone Change: From: S - Suburban To: UR - Urban Residential16. Existing Land Use: Single Family Vacant Home17. Reason for Zone Change: Upscale TownhomesCarl Milkie
(Please Print Name) Signature Carl Milkie

AMOUNT PAID \$ _____ RECEIPT NUMBER _____

PUBLIC HEARING DATE (PLANNING & ZONING COMMISSION) – 4:00 PM: _____

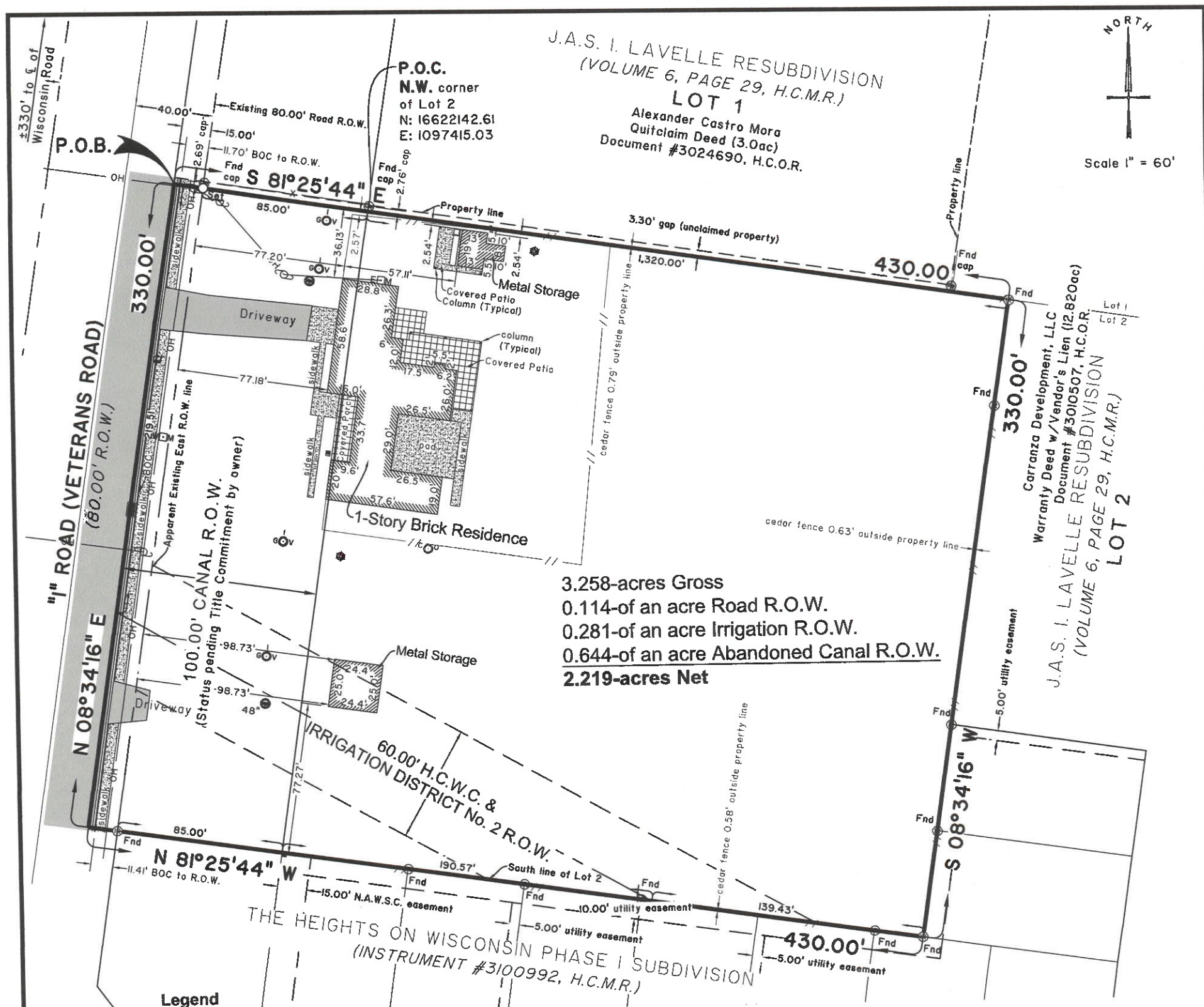
PUBLIC HEARING DATE (CITY COUNCIL) – 6:00 PM: _____

(NOTE: BOTH MEETINGS ARE HELD AT THE EDINBURG CITY COUNCIL CHAMBERS)

RECEIVED

OCT 12 2021

Name: B 3:29



**SURVEY PLAT SHOWING
A 3.258-ACRE TRACT OF LAND
MORE OR LESS OUT OF LOT 2,
J.A.S. I. LAVELLE SUBDIVISION,
CITY OF EDINBURG,
HIDALGO COUNTY, TEXAS,
VOLUME 6, PAGE 29, H.C.M.R.**
(See Exhibit "A" for Metes and Bounds description)

I, Homero L. Gutierrez, a registered professional land surveyor in the State of Texas, hereby state that this survey is true and was correctly made on the ground on 10/09/2021 under my direction, that the existing improvements on the ground are as shown, and that there are no visible encroachments, protrusions, apparent conflicts and visible easements, except as shown hereon.



General Notes:

- Survey is valid only if print has electronic seal and original signature or electronic signature if authorized by Survey.
- Bearing basis as per NAD 1983 State Plane Texas South FIPS 4205 Feet.
- Survey was prepared without the benefit of a title policy, which may show additional easements affecting this lot. Surveyor is advising the recipient of this plat that additional easements may be on this lot.
- Easements, rules, regulations and rights in favor of Hidalgo County Irrigation District No. 1. Existing underground irrigation pipes have easements which require Irrigation Districts direction to establish width & locations.
- This conveyance is made further subject to all rights, easements, contracts and liens in favor of the irrigation system under which such land is located.
- Homero L. Gutierrez did not research or prepare a title report or abstract of title on the above property.
- Building, zoning, platting and/or regulatory laws and/or ordinances at any municipal and/or other governmental authority will apply.
- The existence, if any underground gas lines or other underground utilities not shown on this survey should be thoroughly investigated by the owner prior to any construction on this site. The Surveyor has limited his investigation of underground utilities on this site to that which can be seen.
- Surveyor's statement: The property corners of the tract surveyed were staked out based on the best fit of monuments found for this property and others within the immediate vicinity, taking into account the intent of the surveyors' original foot steps. A survey of the original mother tracts to correctly establish minor discrepancies that were found in the property corners would not be a feasible option for the parties concerned. The client has been made aware of any discrepancies found and the respective action taken to stake out his property as per the found and set monuments shown hereon.
- Flood Zone "X" (shaded) - Areas of 500-year floodplain; areas of 100-year flood with average depths of less than 1 foot or with drainage areas less than 1 square mile; and area protected by levees from 100-year flood.
Community Panel No. 480338 0035E
Map Revised: June 6, 2000
Revised to Reflect LOMR Dated: May 14, 2001

RECEIVED

Homero Luis Gutierrez, RPLS No. 2791
Date: 10/11/2021

HOMERO L. GUTIERREZ
P.O. Box 548
McAllen, Texas 78505
(956) 369-0988

DATE: 10/11/2021

JOB No.: HLG21-180

OCT 12 2021

Name: *RZ 3:29*





CITY OF EDINBURG
Planning & Zoning Commission

Regular Meeting

Meeting Date:

11/09/2021

Rezoning Request

AGENDA ITEM 4G:

Hold Public Hearing and Consider the Comprehensive Plan Amendment from Auto-Urban Uses to Urban Uses and the Rezoning Request from Commercial General (CG) District to Urban Residential (UR) District, being Lot 105, Valley Downs Phase 1 Subdivision, a portion of Man O' War Street abandoned by City of Edinburg Doc. #1921923 O.R., and a portion of Seattle Slew Street abandoned by City of Edinburg Doc. #1921923 O.R., located at 5125 South Business Highway 281, as requested by Gilbert Ortiz, on behalf of Ernesto Salinas.

DESCRIPTION / SCOPE:

The property is located on the west side of South Business Highway 281, approximately 600 ft. north of the intersection with the frontage road of I69-C South. It is occupied by a small heavy commercial service operation. The applicant is requesting the change of zone to Urban Residential (UR) District. The requested zoning designation allows for single and multi-family residential uses on the subject property.

The property is currently zoned Commercial General (CG) District. The surrounding zoning is Commercial General (CG) District to the north, south, and east, and Urban Residential (UR) Districts to the west. The future land use designation is for Auto-Urban Uses.

Staff mailed a notice of the public hearing before to 33 neighboring property owners and received no comments in favor or against this request by the time this report was prepared.

BACKGROUND / HISTORY

Staff received a Zone Change Application for the subject property on September 29, 2021, requesting Urban Residential (UR) District zoning. Application and preliminary site plan submitted indicate a proposed multifamily development of nine duplex structures. Discussion with the applicant confirmed that the area proposed for rezoning includes a commercial lot and the abandoned rights-of-way for two road. If approved, a recorded subdivision will be required.

ESTIMATED TIMELINE:

The recommendation of approval or denial of this public hearing is scheduled for consideration by the City Council on December 7, 2021. City Council's decision is the final step in the zoning process for this property. If denied the applicant may not request the proposed zoning classification for a 12 month period from the date of denial.

STAFF RECOMMENDATION:

Staff recommends approval of the Rezoning Request from Commercial (CG) District to Urban Residential (UR) District. Based on the zoning to the west of the subject property in this subdivision and surrounding land uses.

If approved, the applicant will need to comply with all requirements during the permitting process including compliance with subdivision regulations, building and fire codes, fire protection, parking, landscape buffer-yards, solid waste services, utility, and any other City requirements, as applicable.

JUSTIFICATION:

The requested zoning is consistent with the adjacent zoning to the west in the Valley Downs Phase I Subdivision. The proposed use of multifamily residential is appropriate for this location which is a transition area from residential uses to general commercial uses and their associated zoning districts.

D. Austin Colina
Planner I

Kimberly A. Mendoza, MPA
Director of Planning & Zoning

MEETING DATES:
PLANNING & ZONING COMMISSION – 11/09/2021
CITY COUNCIL – 12/07/2021
DATE PREPARED – 11/02/2021

STAFF REPORT
GENERAL INFORMATION

APPLICATION: Rezoning Request from Commercial General (CG) District to Urban Residential (UR) District

APPLICANT: Ernesto Salinas

AGENT: Gilbert Ortiz

LEGAL: Lot 105, Valley Downs Phase 1 Subdivision, a portion of Man O' War Street abandoned by City of Edinburg Doc. #1921923 O.R., and a portion of Seattle Slew Street abandoned by City of Edinburg Doc. #1921923 O.R.

LOCATION: Located at 5125 South Business Highway 281

LOT/TRACT SIZE: 1.3048 acres

CURRENT USE: Heavy Commercial Service

PROPOSED USE: Multifamily Residential (duplexes)

EXISTING ZONING: Commercial General (CG)

ADJACENT ZONING: North – Commercial General (CG) District
South – Commercial General (CG) District
East – Commercial General (CG) District
West – Urban Residential (UR) District

LAND USE PLAN: Auto-Urban Uses

PUBLIC SERVICES: City of Edinburg Water & Sewer

RECOMMENDATION: Staff recommends approval of the Rezoning Request from Commercial General (CG) to Urban Residential (UR) District

**REZONING REQUEST
ERNESTO SALINAS**

EVALUATION

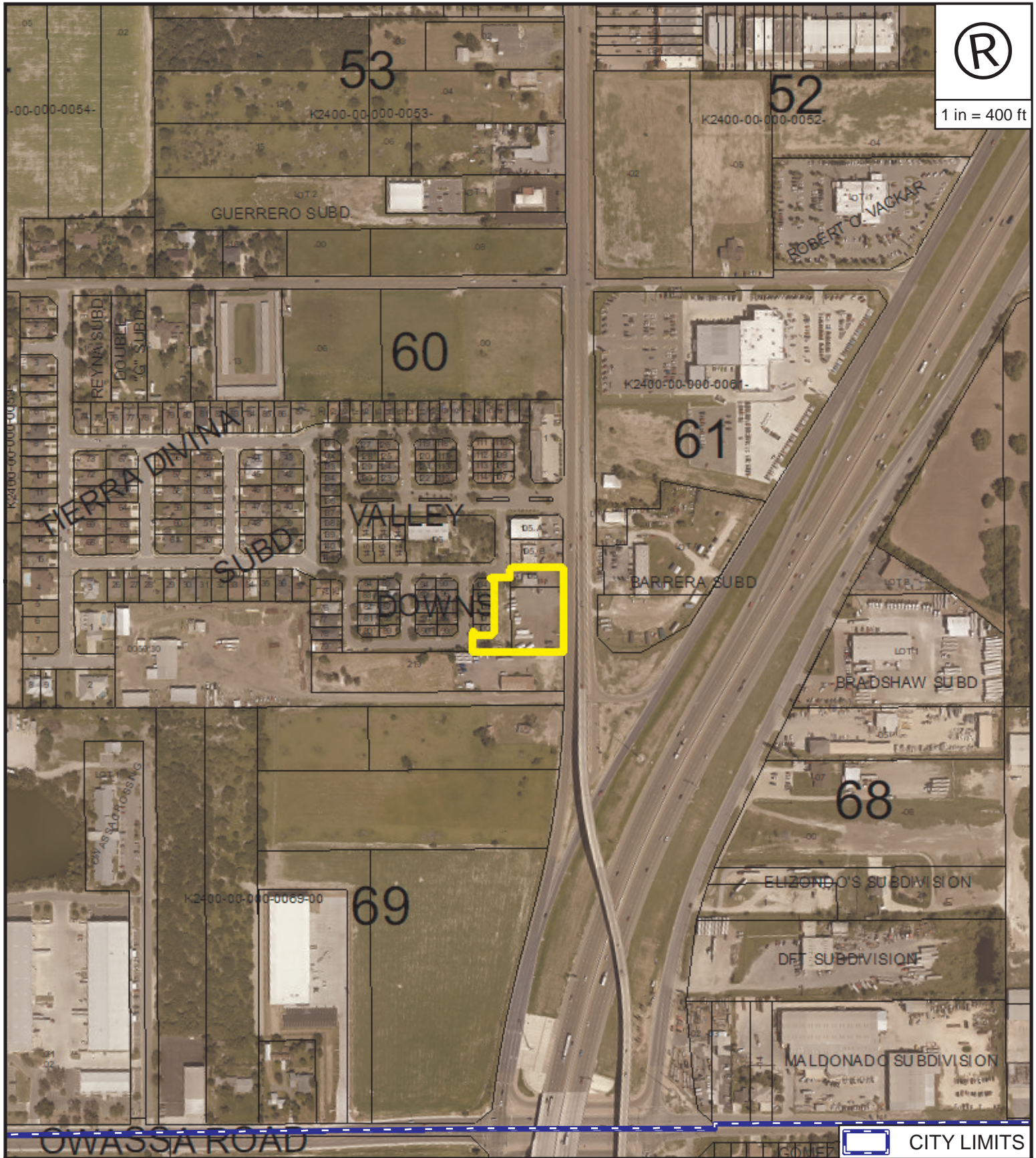
The following is staff's evaluation of the request.

1. The land use in the area transitions from residential to commercial uses.
2. Requested zoning is consistent with the subdivision's zoning to the west and proposed use is suitable for the location.
3. Current trends in the area are for increased residential uses.

Staff recommends approval of the Rezoning Request from Commercial General (CG) District to Urban Residential (UR) District, based on surrounding land uses and zoning in the area. If approved, the applicant will need to comply with all requirements during the permitting process including compliance with subdivision regulations, building and fire codes, fire protection, parking, landscape buffer-yards, solid waste services, utility, and any other City requirements, as applicable.

Staff mailed a notice of the public hearing before to 33 neighboring property owners and received no comments in favor or against this request by the time this report was prepared.

ATTACHMENTS: Aerial Photo
Site Map
Zoning Map
Future Land Use Map
Photo of site
Exhibits



1 in = 400 ft



AERIAL MAP

APPLICANT/SUBDIVISION: ERNESTO SALINAS - VALLEY DOWNS PHASE I

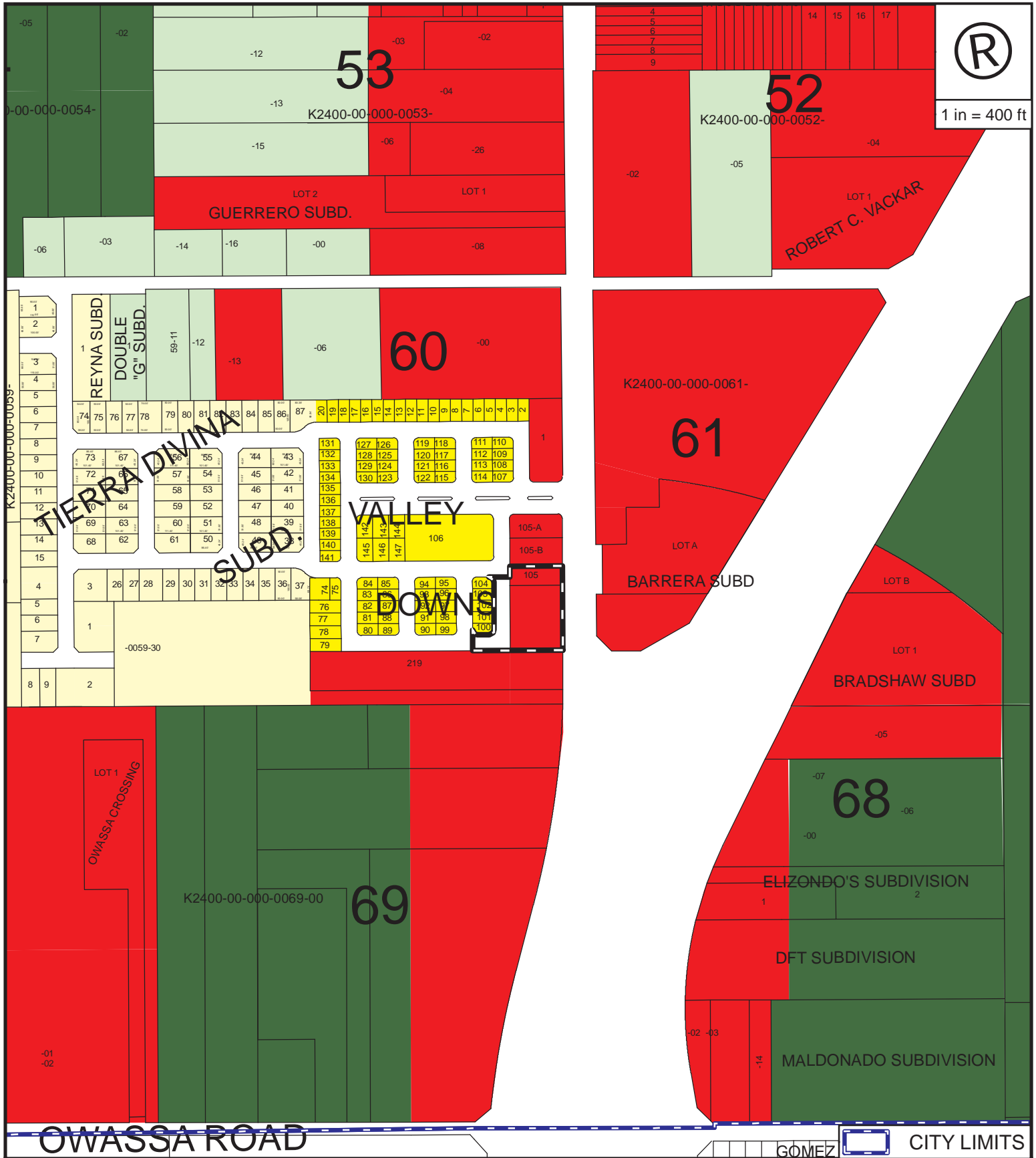
CASE CAPTION:

CONSIDER THE COMPREHENSIVE PLAN AMENDMENT FROM AUTO URBAN USES TO URBAN USES AND THE REZONING REQUEST FROM COMMERCIAL GENERAL (CG) DISTRICT TO URBAN RESIDENTIAL (UR) DISTRICT, BEING LOT 105, VALLEY DOWNS PHASE 1 SUBDIVISION, A PORTION OF MAN O' WAR STREET ABANDONED BY CITY OF EDINBURG DOC. #1921923 O.R., AND A PORTION OF SEATTLE SLEW STREET ABANDONED BY CITY OF EDINBURG DOC. #1921923 O.R., LOCATED AT 5127 SOUTH CLOSER BOULEVARD, AS REQUESTED BY GILBERT ORTIZ ON BEHALF OF ERNESTO SALINAS

CITY LIMITS

LEGEND

APPLICANT SITE



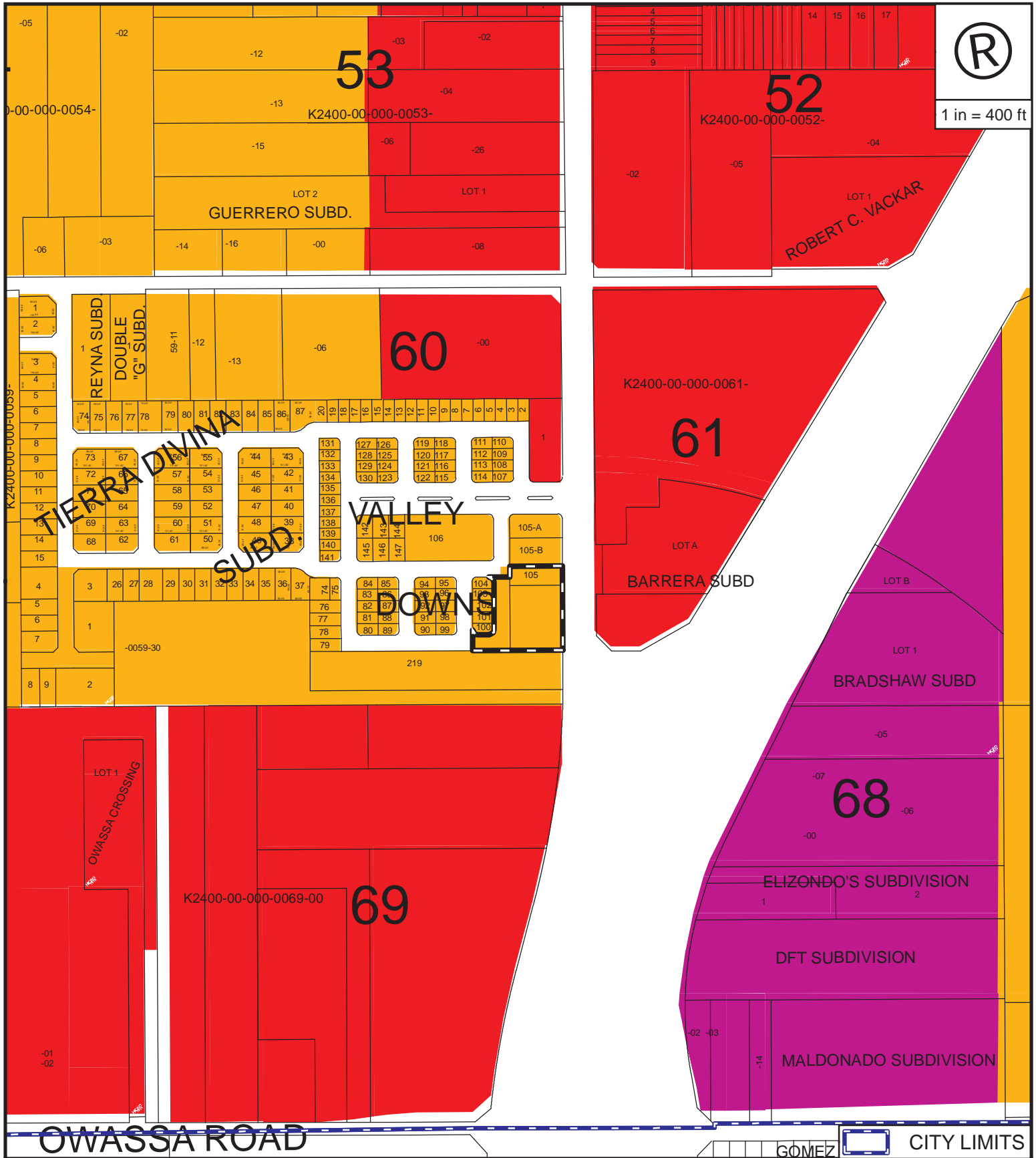
ZONING MAP

APPLICANT/SUBDIVISION: ERNESTO SALINAS - VALLEY DOWNS PHASE I

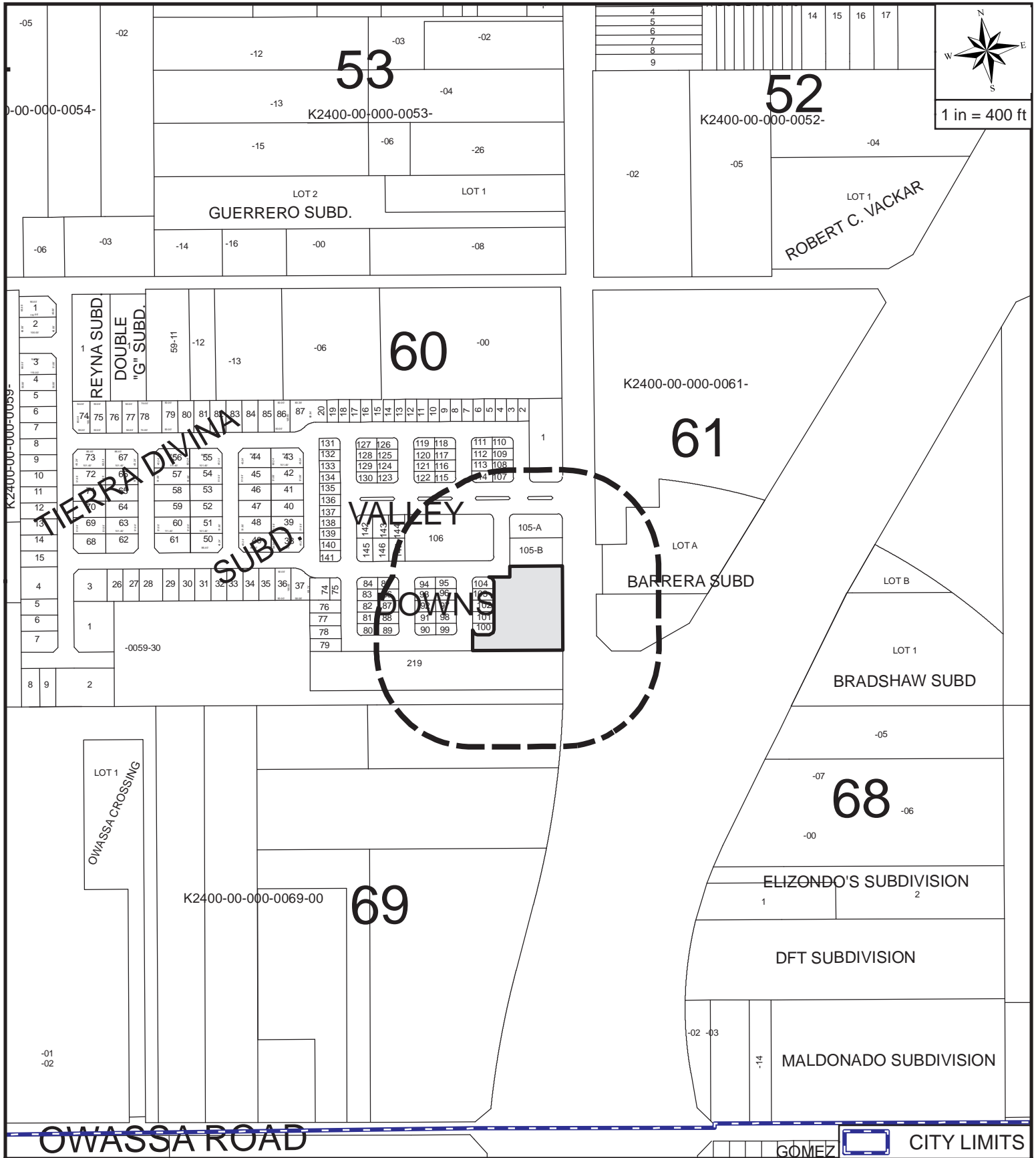
CASE CAPTION:

CONSIDER THE COMPREHENSIVE PLAN AMENDMENT FROM AUTO URBAN USES TO URBAN USES AND THE REZONING REQUEST FROM COMMERCIAL GENERAL (CG) DISTRICT TO URBAN RESIDENTIAL (UR) DISTRICT, BEING LOT 105, VALLEY DOWNS PHASE 1 SUBDIVISION, A PORTION OF MAN O' WAR STREET ABANDONED BY CITY OF EDINBURG DOC. #1921923 O.R., AND A PORTION OF SEATTLE SLEW STREET ABANDONED BY CITY OF EDINBURG DOC. #1921923 O.R., LOCATED AT 5127 SOUTH CLOSER BOULEVARD, AS REQUESTED BY GILBERT ORTIZ ON BEHALF OF ERNESTO SALINAS

LEGEND	
	APPLICANT SITE
ZONING DISTRICTS	
	AGRICULTURE
	AUTO-URBAN RESIDENTIAL
	COMMERCIAL, GENERAL
	COMMERCIAL, NEIGHBORHOOD
	DOWNTOWN DISTRICT
	INDUSTRIAL
	NEIGHBORHOOD CONSERVATION 5
	NEIGHBORHOOD CONSERVATION 7.1
	NEIGHBORHOOD CONSERVATION MH
	SUBURBAN RESIDENTIAL
	URBAN RESIDENTIAL
	URBAN UNIVERSITY



FUTURE LANDUSE MAP	
APPLICANT/SUBDIVISION:	ERNESTO SALINAS - VALLEY DOWNS PHASE I
CASE CAPTION:	
CONSIDER THE COMPREHENSIVE PLAN AMENDMENT FROM AUTO URBAN USES TO URBAN USES AND THE REZONING REQUEST FROM COMMERCIAL GENERAL (CG) DISTRICT TO URBAN RESIDENTIAL (UR) DISTRICT, BEING LOT 105, VALLEY DOWNS PHASE 1 SUBDIVISION, A PORTION OF MAN O' WAR STREET ABANDONED BY CITY OF EDINBURG DOC. #1921923 O.R., AND A PORTION OF SEATTLE SLEW STREET ABANDONED BY CITY OF EDINBURG DOC. #1921923 O.R., LOCATED AT 5127 SOUTH CLOSNOR BOULEVARD, AS REQUESTED BY GILBERT SALINAS ON BEHALF OF ERNESTO SALINAS	
LEGEND 	



MAILOUT AND SITE MAP

APPLICANT/SUBDIVISION: GILBERT ORTIZ, ON BEHALF OF ERNESTO SALINAS

CASE CAPTION:

CONSIDER THE COMPREHENSIVE PLAN AMENDMENT FROM AUTO-URBAN USES TO URBAN USES AND THE REZONING REQUEST FROM COMMERCIAL GENERAL (CG) DISTRICT TO URBAN RESIDENTIAL (UR) DISTRICT, BEING LOT 105, VALLEY DOWNS PHASE 1 SUBDIVISION, A PORTION OF MAN O' WAR STREET ABANDONED BY CITY OF EDINBURG DOC. #1921923 O.R., AND A PORTION OF SEATTLE SLEW STREET ABANDONED BY CITY OF EDINBURG DOC. #1921923 O.R., LOCATED AT 5125 SOUTH BUSINESS HIGHWAY 281, AS REQUESTED BY GILBERT ORTIZ, ON BEHALF OF ERNESTO SALINAS

LEGEND

- APPLICANT SITE
- 300FT NOTIFICATION



Case #

Edinburg THE CITY OF

Planning & Zoning Department
415 W. University Drive
Edinburg, Texas 78539
(956) 388-8202

Zone Change Application

1. Name: Ernesto Salinas Phone No. (956) 929-1466
 2. Mailing Address: 5127 S. Hwy Bus 281
 3. City: Edinburg State: TX Zip: 78539
 4. Email Address: esalinas939@yahoo.com Cell No. (956) 929-1466
 5. Agent: Gilbert Ortiz Phone No. (956) 739-2972
 6. Agent's Mailing Address: 701 W. Canton Rd
 7. City: Edinburg State: TX Zip: 78539
 8. Email Address: ogilbert186@gmail.com
 9. Address/Location being Rezoned: 5127 S Hwy Bus 281
 10. Legal Description of Property: _____ Property ID: _____
Valley Downs Phase I 1.57 acre
 11. Zone Change: From: Commercial To: Multi-family
 12. Existing Land Use: Bookkeeping
 13. Reason for Zone Change: Going to build Duplex
- Ernesto Salinas _____ Ernesto Salinas _____
(Please Print Name) Signature

AMOUNT PAID \$ _____ RECEIPT NUMBER _____

RECEIVED

SEP 20 2021

PUBLIC HEARING DATE (PLANNING & ZONING COMMISSION) – 4:00 PM: Name: [Signature] 1:39

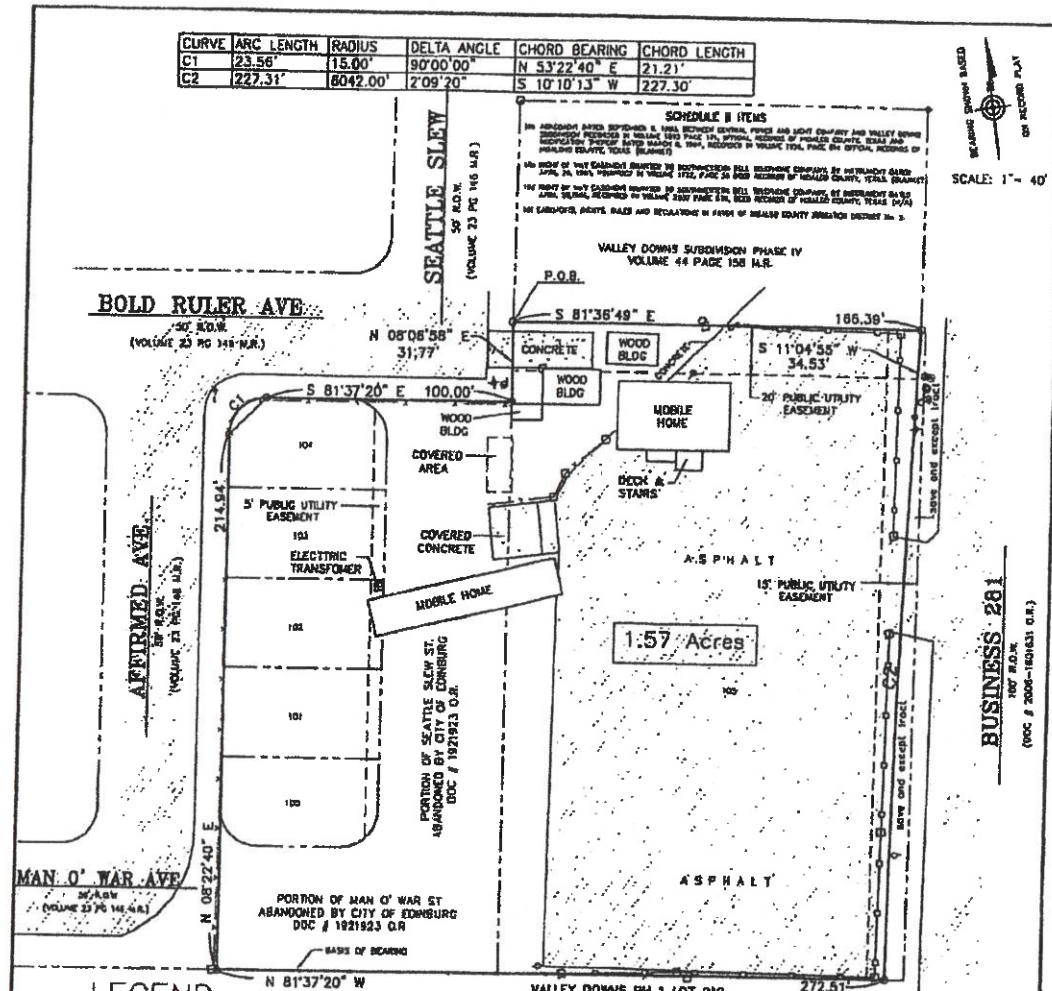
PUBLIC HEARING DATE (CITY COUNCIL) – 6:00 PM: _____

(NOTE: BOTH MEETINGS ARE HELD AT THE EDINBURG CITY COUNCIL CHAMBERS)

CURVE	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD BEARING	CHORD LENGTH
C1	23.56'	15.00'	90°00'00"	N 53°22'40" E	21.21'
C2	227.31'	8042.00'	2°09'20"	S 10°10'13" W	227.30'



SCALE: 1" = 40'



LEGEND

- ⊕ FIRE HYDRANT
- ⊙ GAS METER
- ⊙ LIGHT POLE
- FENCE POST
- ⊙ POWER POLE
- FD 1/2" ROD
- 1 SIGN
- ⊙ WATER METER
- ⊙ A/C UNIT
- ⊙ ELECTRIC TRANSFORMER
- ⊙ POLE AND CHAIN FENCE
- ⊙ CURB INLET
- ⊙ BOLLARD
- ⊙ FENCE
- ⊙ SET 1/2" ROD W/ CAP
- ⊙ "RIO DELTA SURVEYING"

METES AND BOUNDS DESCRIPTION

A 1.57 ACRE TRACT OF LAND BEING ALL OF LOTS 100, 101, 102, 103, AND 104 AND PART OF LOT 105 VALLEY DOWNS PHASE I, AS RECORDED IN VOLUME 23 PAGE 148 MAP RECORDS AND THAT PORTION OF MAN O' WAR STREET AND SEATTLE SLEW STREET ABANDONED BY THE CITY OF EDMBURG, AS RECORDED IN DOCUMENT NO. 1821923 OFFICIAL RECORDS OF HALL COUNTY, TEXAS, SAID 1.57 ACRE TRACT OF LAND BEING MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

COMMENCING AT A 1/2" ROD FOUND AT THE WEST LINE OF LOT 105, VALLEY DOWNS PHASE I, THE EAST RIGHT OF WAY LINE OF SEATTLE SLEW ST. FOR THE SOUTHWEST CORNER OF VALLEY DOWNS SUBDIVISION PHASE IV, RECORDED IN VOLUME 44 PAGE 158 MAP RECORDS, A CORNER OF THIS TRACT OF LAND AND THE POINT OF BEGINNING.

THENCE S 81°36'49" E, WITH THE SOUTH LINE OF SAID VALLEY DOWNS SUBDIVISION PHASE IV, A DISTANCE OF 186.39' TO A 1/2" ROD FOUND AT THE SOUTHEAST CORNER OF SAID VALLEY DOWNS SUBDIVISION PHASE IV, SAID BEING THE WEST RIGHT OF WAY LINE OF BUSINESS 281 RECORDED IN DOCUMENT NO. 2006-1801831 OFFICIAL RECORDS FOR THE NORTHEAST CORNER OF THIS TRACT OF LAND;

THENCE S 11°04'55" W, WITH THE WEST RIGHT OF WAY LINE OF SAID BUSINESS 281, A DISTANCE OF 34.53' TO A 1/2" ROD FOUND FOR A CORNER OF THIS TRACT OF LAND;

THENCE CONTINUING WITH SAID WEST RIGHT OF WAY LINE, BEING A CURVE TO THE LEFT, HAVING A RADIUS OF 8042.00', A DELTA ANGLE OF 2°09'20", A CURVE LENGTH OF 227.31', A CHORD DIRECTION OF S 10°10'13" W, AND A CHORD LENGTH OF 227.30' TO A 1/2" ROD FOUND AT THE SOUTH LINE OF LOT 105 VALLEY DOWNS PHASE I SUBDIVISION FOR THE SOUTHEAST CORNER OF THIS TRACT OF LAND;

THENCE S 81°37'20" W, WITH THE SOUTH LINE OF SAID LOT 105, A DISTANCE OF 272.51' TO A 1/2" ROD FOUND AT THE EAST RIGHT OF WAY LINE OF AFFIRMED AVENUE FOR THE SOUTHWEST CORNER OF THIS TRACT OF LAND;

N 08°22'40" E, WITH THE EAST LINE OF SAID AFFIRMED AVENUE, A DISTANCE OF 214.94' TO A 1/2" ROD SET AT THE WEST LINE OF LOT 104 FOR A CORNER OF THIS TRACT OF LAND;

THENCE, WITH THE NORTHERLY LINE OF SAID LOT 104, BEING A CURVE TO THE RIGHT, HAVING A RADIUS OF 15.00', A DELTA ANGLE OF 90°00'00", A CURVE LENGTH OF 23.56', A CHORD DIRECTION OF N 53°22'40" E, AND A CHORD LENGTH OF 21.21' TO A 1/2" ROD SET FOR A CORNER OF THIS TRACT OF LAND;

THENCE S 81°37'20" E, WITH THE NORTH LINE OF SAID LOT 4, THE SOUTH LINE OF BOLD RULER AVENUE, A DISTANCE OF 100.00' TO A 1/2" ROD SET AT THE WEST LINE OF LOT 105 FOR A CORNER OF THIS TRACT OF LAND;

THENCE N 08°08'58" E, WITH WEST LINE OF SAID LOT 105, THE EAST RIGHT OF WAY LINE OF SAID SEATTLE SLEW, A DISTANCE OF 31.77' TO THE POINT OF BEGINNING, CONTAINING 1.57 ACRES OF LAND MORE OR LESS.

I, JOSE MARIO GONZALEZ, CERTIFY THAT THE ABOVE PLAT IS AN ACTUAL SURVEY MADE ON THE GROUND UNDER MY SUPERVISION AND THAT THERE ARE NO VISIBLE EASEMENTS OR ENCROACHMENTS EXCEPT AS SHOWN AND THAT ALL CORNERS HAVE BEEN LOCATED AS INDICATED.

2-21-17
REGISTERED PROFESSIONAL LAND SURVEYOR NO. 5571

JOB NUMBER
RIO 17 026

OFF: 0003171728
ADDRESS: 3127 S. BUSINESS 281
EDMBURG, TX 78539
SURVEYED: JAN 31, 2017
REQUESTED BY: AFFORDABLE HOMES

FLOOD ZONE DESIGNATION: ZONE "X"
COMMUNITY-PANEL NUMBER: 460338 0030 E
MAP REVISED: LOMR 05-14-2001



RIO DELTA SURVEYING
81883 FM 88, MONTE ALTO, TX 78338
(TEL) 834-380-3151 (FAX) 834-380-8188
EMAIL: MARIO@RIODELTASURVEYING.COM
T.A.P.L.S. FIRM # 18012900

RECEIVED

SEP 29 2021

Name: 1:39



View looking north along subject western boundary



Looking east across subject property at US 281 exit ramp

RECEIVED

SEP 29 2021

Name: J. H. 1:39



CITY OF EDINBURG
Planning & Zoning Commission

Regular Meeting

Meeting Date:

11/09/2021

Initial Zoning Request

AGENDA ITEM 4H:

Consider the Initial Zoning Request to Suburban Residential (S) District of a 30 acre tract of land, more or less, consisting of all of Lots 20, 21, and 22, Caledonian Estates, located at 3701 East Curve Road, as requested by Salinas Engineering & Associates.

DESCRIPTION / SCOPE:

The property is located between East Curry Road and East Curve Road approximately 675 ft. east of South Doolittle Road and is currently vacant. The applicant is requesting initial zoning for the property to be designated Suburban Residential (S) District. The requested zoning designation allows for single-family residential uses on the subject property.

The property is not currently zoned and a petition for voluntary annexation is scheduled for consideration by the City Council on November 16, 2021. The area is currently outside the city limits and has no adjacent zoning. Nearest zoned areas inside the City Limits are Agriculture (AG) District to the north, Industrial (I) District to the northwest, and Suburban Residential (S) District to the west and south. Land uses in the area are single-family residential and vacant land.

Staff mailed a notice of the public hearing before to 33 neighboring property owners and received no comments in favor or against this request by the time this report was prepared.

BACKGROUND / HISTORY

The City has received a Preliminary Plat Application for Azaleas Estates Subdivision at the subject property, a single-family residential development of 36 lots of approximately 0.75 acres each. Approval for this Preliminary Plat Application was on the August 10, 2021 agenda for consideration by this Board but withdrawn by the applicant and will be rescheduled for a later date. As part of the process, the applicant is petitioning for voluntary annexation and proposing a development agreement at the next City Council meeting on November 16, 2021. Final approval of the annexation is scheduled for consideration by Council on December 7, 2021. The applicant has requested initial zoning of Suburban Residential (S) District for this property.

ESTIMATED TIMELINE:

The recommendation of approval or denial of this public hearing is scheduled for consideration by the City Council on December 7, 2021. City Council's decision is the final step in the zoning process for this property. If denied the applicant may not request the proposed zoning classification for a 12 month period from the date of denial.

STAFF RECOMMENDATION:

Staff recommends approval of the Initial Zoning Request to Suburban Residential (S) District based on the existing character of the property and surrounding area.

If approved, the applicant will need to comply with all requirements during the permitting process including compliance with subdivision regulations, building and fire codes, fire protection, parking, landscape buffer-yards, solid waste services, utility, and any other City requirements, as applicable.

JUSTIFICATION:

The requested zoning is appropriate for the subdivision location, intended use, and surrounding uses. This type of use was anticipated by the Future Land Use Plan.

D. Austin Colina
Planner I

Kimberly A. Mendoza, MPA
Director of Planning & Zoning

MEETING DATES:
PLANNING & ZONING COMMISSION – 11/09/2021
CITY COUNCIL – 12/07/2021
DATE PREPARED – 11/02/2021

STAFF REPORT
GENERAL INFORMATION

APPLICATION: Initial Zoning Request to Suburban Residential (S) District

APPLICANT: Pablo Rodriguez

AGENT: Salinas Engineering & Associates

LEGAL: Consider the Initial Zoning Request to Suburban Residential (S) District of a 30 acre tract of land, more or less, consisting of all of Lots 20, 21, and 22, Caledonian Estates, as recorded in Volume 05, Page 31, Map Records of Hidalgo County, Texas, located at 3701 East Curve Road, as requested by Salinas Engineering & Associates

LOCATION: Located at 3701 East Curve Road

LOT/TRACT SIZE: 30 acres

CURRENT USE: Vacant

PROPOSED USE: Single-family Residential

EXISTING ZONING: N/A

ADJACENT ZONING: North – N/A
South – N/A
East – N/A
West – N/A

LAND USE PLAN: Suburban Uses

PUBLIC SERVICES: North Alamo Water & City of Edinburg Sewer

RECOMMENDATION: Staff recommends approval of the Initial Zoning Request to Suburban Residential (S) District

**INITIAL ZONING REQUEST
PABLO RODRIGUEZ**

EVALUATION

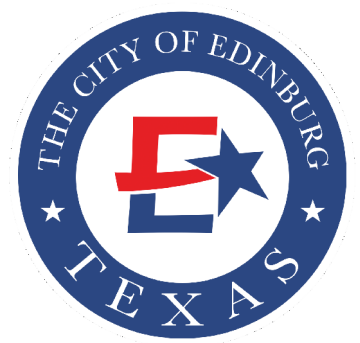
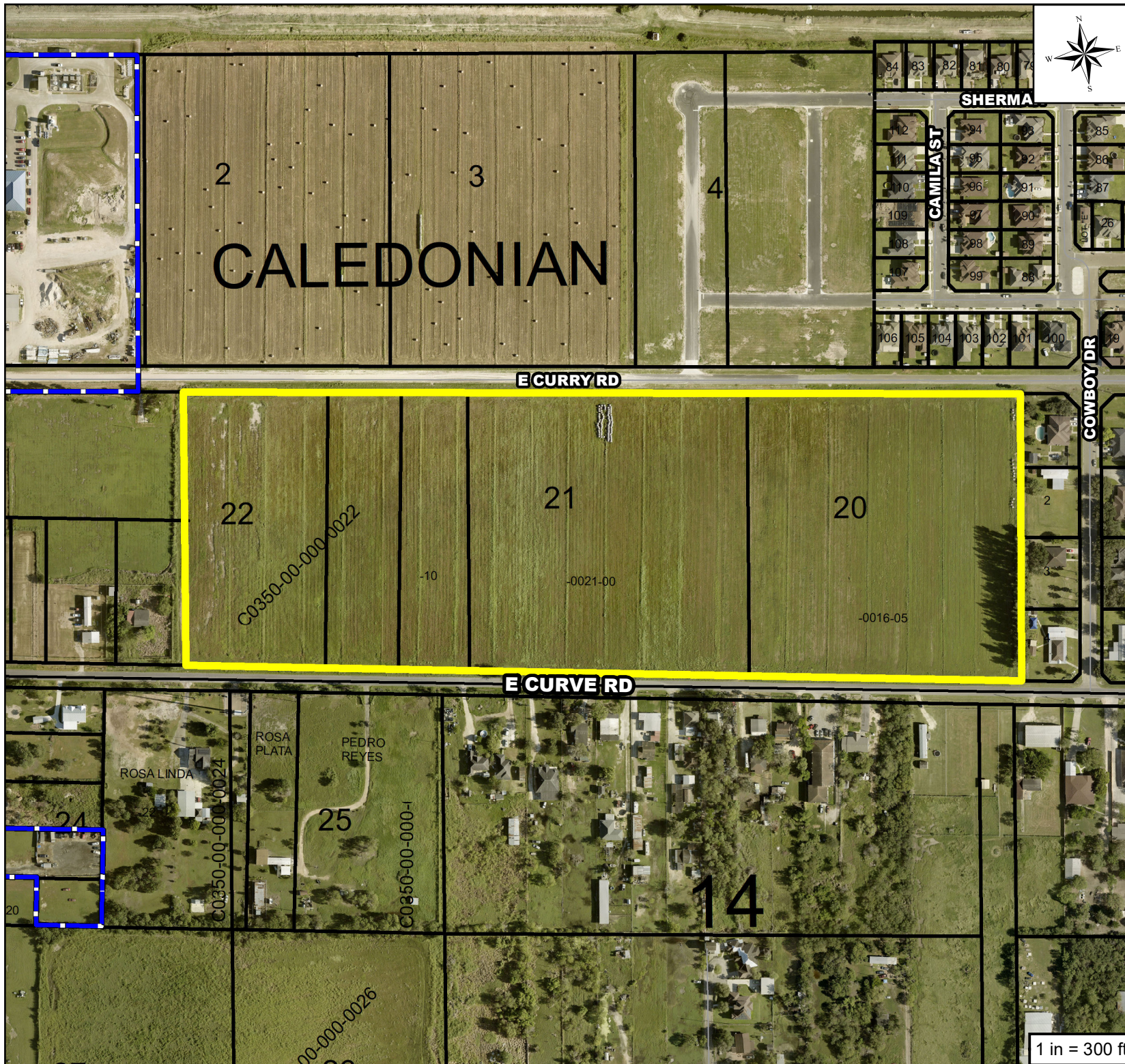
The following is staff's evaluation of the request.

1. The land use in the area mostly consist of low-density residential uses and vacant land.
2. Requested zoning is consistent with the proposed subdivision, existing uses in the area, and Future Land Use plan.

Staff recommends approval of the Initial Zoning Request to Suburban Residential (S) District, based on surrounding land uses in the area and related subdivision proposed at this location. If approved, the applicant will need to comply with all requirements during the permitting process including compliance with subdivision regulations, building and fire codes, fire protection, parking, landscape buffer-yards, solid waste services, utility, and any other City requirements, as applicable.

Staff mailed a notice of the public hearing before to 33 neighboring property owners and received no comments in favor or against this request by the time this report was prepared.

ATTACHMENTS: Aerial Photo
Site Map
Zoning Map
Future Land Use Map
Photo of site
Exhibits



AERIAL MAP


CASE CAPTION:


SUBDIVISION NAME:

AZALEAS ESTATES

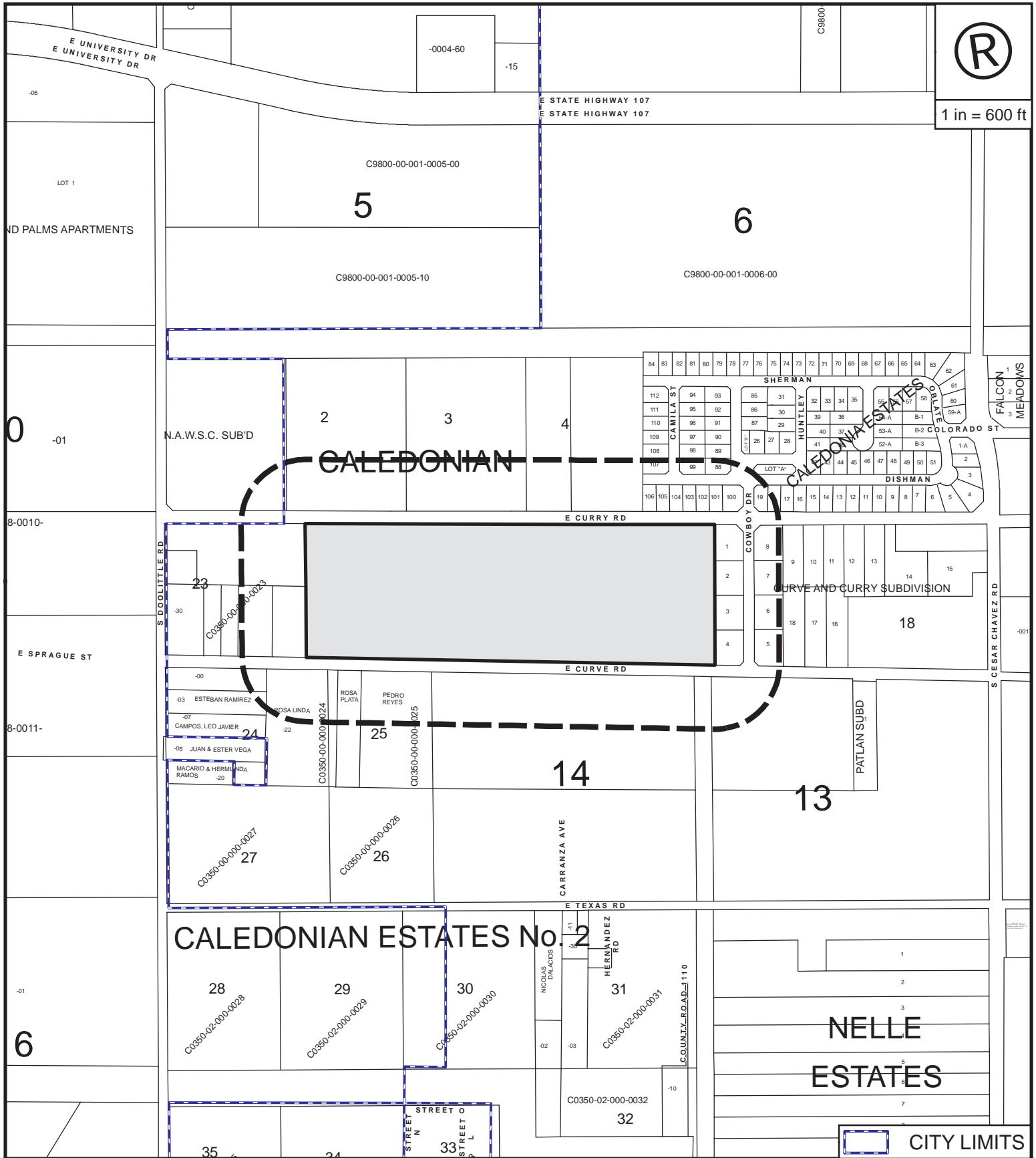
Consider the Preliminary Plat of AZALEAS ESTATES SUBDIVISION, being a 30.0 acre tract consisting of all of Lots 20, 21, and 22, Caledonian Estates, as per map or plat thereof recorded in Volume 5, Page 31, Map Records of Hidalgo County, Texas, located on the south side of East Curry Road approximately 675 ft. east of South Doolittle Road, as requested by Salinas Engineering & Associates.

Legend

 CITY LIMITS

 SUBDIVISION SITE





MAILOUT AND SITE MAP

APPLICANT/SUBDIVISION: AZALEAS ESTATES

CASE CAPTION:

HOLD PUBLIC HEARING AND CONSIDER THE INITIAL ZONING REQUEST TO SUBURBAN RESIDENTIAL (S) DISTRICT OF A 30 ACRE TRACT OF LAND, MORE OR LESS, CONSISTING OF ALL OF LOTS 20, 21, AND 22, CALEDONIAN ESTATES, HIDALGO COUNTY, TEXAS, AS PER THE MAP OR PLAT THEREOF RECORDED IN VOLUME 05, PAGE 31, MAP RECORDS OF HIDALGO COUNTY, TEXAS

LEGEND

- APPLICANT SITE
- 300FT NOTIFICATION
- CITY LIMITS



Case #

THE CITY OF
EdinburgPlanning & Zoning Department
415 W. University Drive
Edinburg, Texas 78539
(956) 388-8202**Zone Change Application**Date: 10/21/211. Name: PABLO RODRIGUEZ 2. Phone: 793-38743. Mailing Address: 710 AMISTAD CIRCLE4. City: EDINBURG State: TX Zip: 785395. Email Address: PA. RODRIGUEZ@UTEXAS.EDU 6. Cell No. 793-38747. Agent: DANIEL O. SALINAS, P.E. 8. Agent's Phone: 682-90819. Agent's Mailing Address: 2221 DAFFODIL AVE.10. City: MENARD State: TX Zip: 7850111. Agent's Email: dsalinas@salinasengineering.com12. Address/Location being Rezoned: 1/4 675' EAST OF DOLLITTLE ROAD N. SIDE CURVE ROAD13. Legal Description of Property: 14. Property ID(s): 692039, 129386, 629409ALL OF LOTS 20, 21 & 22, CALADONIAN ESTATES, H.C.T.15. Zone Change: From: INITIAL ZONING To: S16. Existing Land Use: OPEN17. Reason for Zone Change: TO DEVELOP PROPERTYPABLO RODRIGUEZ
(Please Print Name)Pablo Rodriguez
Signature

AMOUNT PAID \$ _____ RECEIPT NUMBER _____

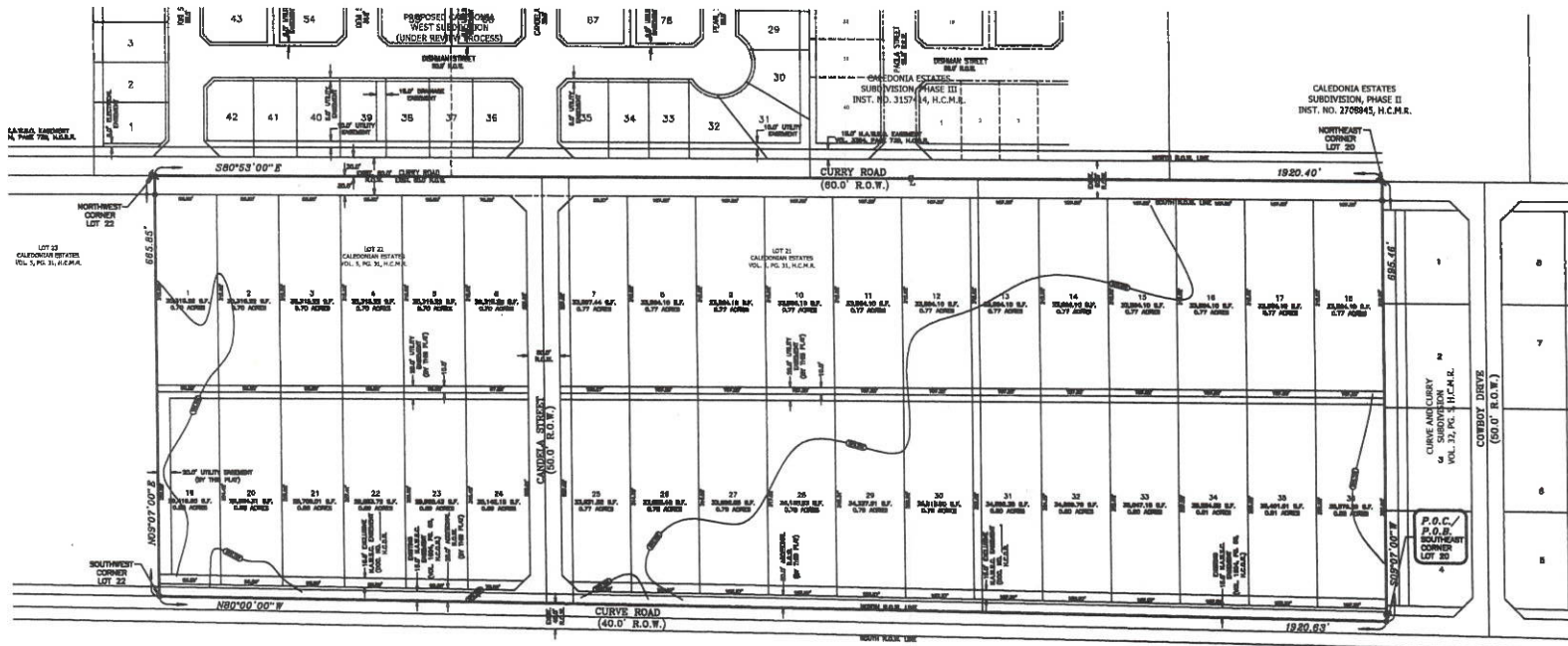
RECEIVED

PUBLIC HEARING DATE (PLANNING & ZONING COMMISSION) – 4:00 PM: _____

PUBLIC HEARING DATE (CITY COUNCIL) – 6:00 PM: _____

(NOTE: BOTH MEETINGS ARE HELD AT THE EDINBURG CITY COUNCIL CHAMBERS) Name: Oct 22 2021 13:25

SCALE: N.T.S.



AZALEAS ESTATES SUBDIVISION

HIDALGO COUNTY, TEXAS.

BEING A 30.0 GROSS ACRE TRACT OF LAND, MORE OR LESS, CONSISTING OF ALL OF LOTS 20, 21 AND 22, CALEDONIAN ESTATES, HIDALGO COUNTY, TEXAS, AS PER THE MAP OR PLAT THEREOF RECORDED IN VOLUME 05, PAGE 31, MAP RECORDS OF HIDALGO COUNTY, TEXAS.

DISCLAIMER: THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF INTERIM REVIEW BY THE CITY OF EDINBURG ONLY & BY NO OTHERS UNDER THE AUTHORITY OF DAVID OMAR SALINAS, P.E., TX. REG. NO. 71973 ON JULY 02, 2021. IT IS NOT TO BE USED FOR CONSTRUCTION PURPOSES.

RECEIVED

22 2021

Name:

08-25

SEA

SALINAS ENGINEERING & ASSOCIATES

(F-6675) (10065700)
CONSULTING ENGINEERS & SURVEYORS

2221 DAFFODIL - McALLEN, TEXAS 78501
(956) 652-0051 (956) 656-1489 (FAX)
1815 12100 PARK 35 CIRCLE BLDG. A, SUITE 156, MC-230, AUSTIN, TEXAS 78753 (512) 239-5283



**STAFF REPORT: RE-PLAT OF LOTS 7 & 11 NORTH INDUSTRIAL PARK
SUBDIVISION**

October 27, 2021

Planning and Zoning Meeting: November 9, 2021

Agenda Item: **5A** Preliminary Plat

Subject: Consider the Preliminary Plat of **RE-PLAT OF LOTS 7 & 11 NORTH INDUSTRIAL PARK SUBDIVISION**, being an 8.22 acre tract of land out of Lots 7 & 11, North Industrial Park Subdivision, located at 6930 Democracy Drive, as requested by R. E. Garcia & Associates.

Location: The property is located on the east side of Democracy Drive between Independence and Constitution Drives and is within the City of Edinburg's City Limits.

Zoning: Industrial (I) District

Analysis The Preliminary replat consists of three (3) industrial lots averaging approximately from 3.50 acres to 2.36 acre tracts, with setbacks on the recorded plat.

Utilities: Water Distribution System and Sanitary Sewer Collection System is within City of Edinburg CCN service area. All utility improvements within the proposed subdivision that are not limited to water, sewer, curb and gutter, fire hydrants, will be installed by the developer in accordance with the approved 2014 Standards Manual.

Recommendations:

City of Edinburg Planning & Zoning Department:

Staff recommends approval of the Preliminary/Final Replat, subject to the compliance with the Unified Development Code, General Notes; on FEMA flood zone, zoning setbacks, finish floor elevation, benchmark, drainage detention, parkland fees, limited access, SWP3 requirements, sidewalks, and other notes as required based on development.

City of Edinburg Engineering / Utilities Department:

Preliminary Phase Submittal comments for this replat are included in the packet. As per Engineering, the plat shall be Preliminarily Approved until all comments have been addressed by the project engineer.

City of Edinburg Fire Department:

The following are the preliminary phase submittal comments as noted by the Fire Department:

1. Provide street names to the City of Edinburg Engineering Department for approval.
2. Fire lane 15 ft. in width shall be painted in front of all fire hydrants.
3. Provide double face blue fire hydrant street marker on center on the street in front of the fire hydrant.
4. Fire hydrant shall be every 600 ft. for one and two family dwellings as per Section 507.5.1 of 2012 IFC.
5. All streets should be 32 ft. B-B paving section according to Table 8.204 of the Edinburg Unified Development Code.

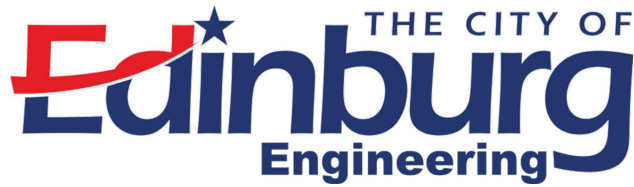
City of Edinburg Storm Water:

The following are the preliminary phase submittal comments as noted by Storm Water

1. **SW3P** (Storm water Pollution Prevention Plan)
2. **NOI** (Notice of Intent, Per TCEQ)
3. **Large Construction Notice** (Per TCEQ Inventory)
4. **Detailed Erosion Control Plan** (Silt Fence, Construction Entrance, Inlet Protection, Concrete Washout)
5. **Detailed Post Construction BMP's Plan** (70% Vegetation or Silt Fence back of curb)
6. **Plat Note** (All construction shall comply with Storm water Pollution Prevention Plan (SW3P) requirements. Erosion and Sedimentation Controls constructed in accordance with the Storm water Ordinance 98.30 of the City of Edinburg are required for all construction on each lot including single family and duplex/multi-family construction)
7. **NOT** (Notice of Termination, Per TCEQ) will now be required before the final walk through.
8. **Comments:**
 - SW3P Plat note has been revised. Please see the note for your reference.
 - NOT will need to be submitted before the final walk through.
 - Storm water is now requiring a Post Construction Plan on plans that are submitted, either 70% vegetation or Install Silt Fence behind the back of curb.
 - Silt Fence around the entire project.
 - Large Construction Notice needs to be submitted with contractors contact information.
 - All items must be submitted before the NTP is issued.
 - Please email pending items to rvalenzuela@cityofedinburg.com

City of Edinburg Solid Waste:

Will be required to comply with City Industrial District disposal requirements.



October 18, 2021

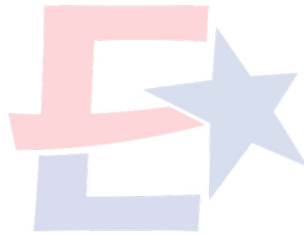
Jorge Gonzalez, P.E.

Hidalgo County Drainage District No.1
902 N. Doolittle Rd.
Edinburg, TX 78542


Reference: Re-Plat North Industrial Park Subdivision (Lot 7)

Dear Mr. Gonzalez,

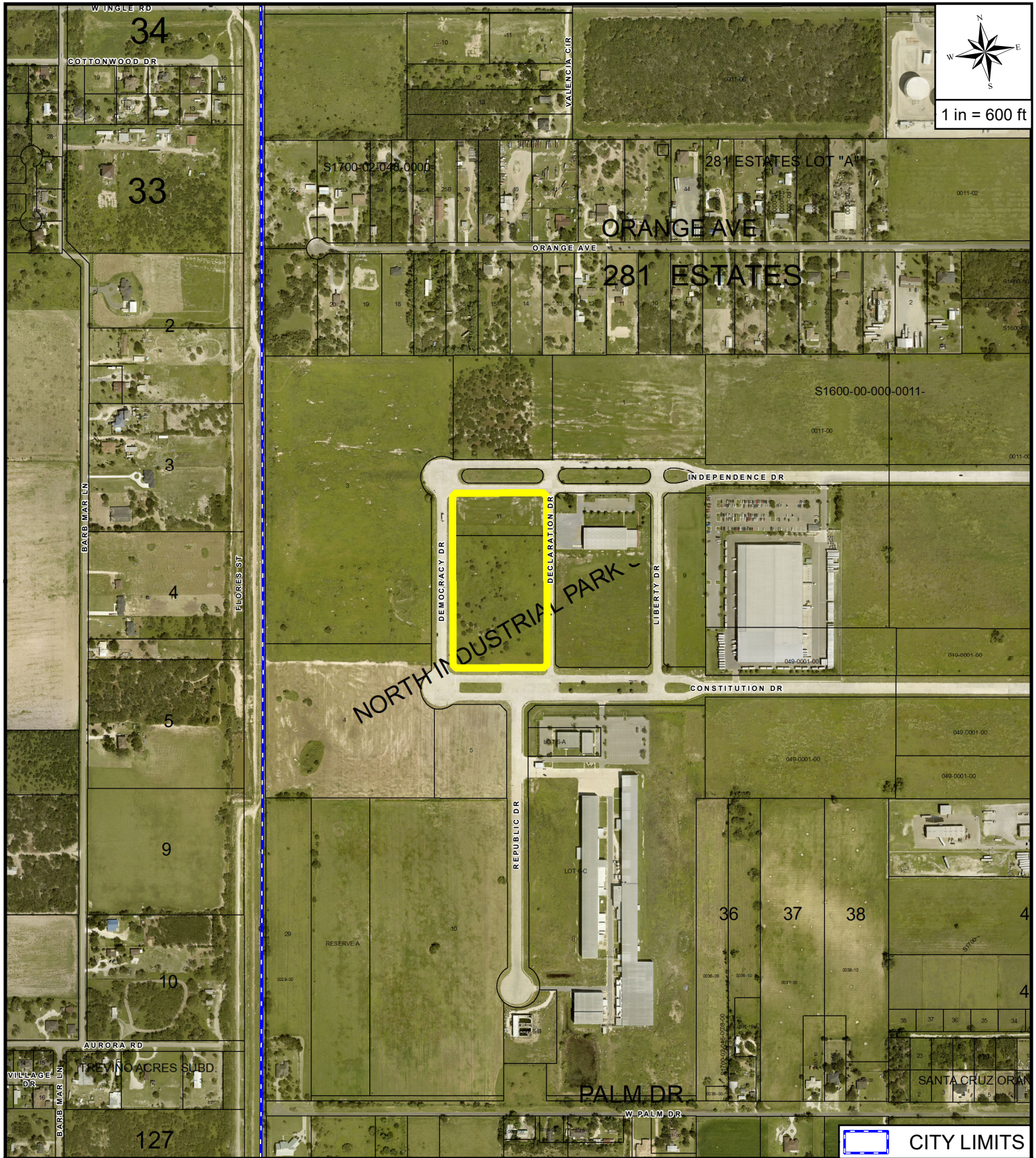
Raul Garcia & Associates is preparing the subdivision re-plat for North Industrial Park subdivision for the city of Edinburg located on the intersection of Democracy Drive and Constitution Drive. The City of Edinburg accepts the proposed existing conditions C-value of of the original plat and a drainage detention plan will be required at the permit stage. If you have any questions or need additional information, please feel free to contact me at 956-388-8211 at your earliest convenience.




Sincerely,

 Digitally signed by
Mardoqueo Hinojosa
Date: 2021.10.18
14:57:11 -05'00'

Mardoqueo Hinojosa, P.E., CFM, CPM
Email: mhinojosa@cityofedinburg.com
415 W. University Drive
Edinburg, Texas 78539



AERIAL MAP	
APPLICANT/SUBDIVISION:	NORTH INDUSTRIAL PARK
CASE CAPTION:	CONSIDER THE PRELIMINARY PLAT OF RE-PLAT OF LOTS 7 & 11 NORTH INDUSTRIAL PARK SUBDIVISION, BEING A 8.22 ACRE TRACT OUT OF LAND OUT OF LOTS 7 & 11, NORTH INDUSTRIAL PARK SUBDIVISION, AS PER MAP OR PLAT THEREOF RECORDED IN DOCUMENT NUMBER 2247392 MAP RECORDS OF HIDALGO COUNTY, TEXAS. LOCATED AT THE SOUTH SIDE OF INDEPENDENCE DRIVE, EAST SIDE OF DEMOCRACY DRIVE AND ON THE NORTH SIDE OF CONSTITUTION DRIVE, LOCATED AT 700 INDEPENDENCE DRIVE, AS REQUESTED BY R.E. GARCIA & ASSOCIATES

 CITY LIMITS

LEGEND



Case #

Edinburg

Planning & Zoning Department
415 W. University Drive
Edinburg, Texas 78539

(956) 388-8202

Subdivision Application

Date: October 25, 2021Request Type: Re-PlatMinor Plat1. Developer: Edinburg EDC2. Owner/Contact Name: Hiren Govind3. Owner/Contact Phone: (956) 388-82074. Owner/Contact Email: bdavila@cityofedinburg.com,5. Owner Address: 415 W University Dr Ste B, Edinburg, TX 785396. Exact Name of Subdivision: Minor Plat of Re-Plat of Lots 7 & 11, North Industrial7. Property ID: 8167108. Current Zoning: I - IndustrialRequired Zoning: I - Industrial

10. Legal Description:

A 8.22 acre tract of land being all of Lots 7 and 11, North Industrial Park Subdivision as recorded in Document # 2247392, Map Records, Hidalgo County, Texas11. Inside City Limits? Yes If "No," is in the _____ Comprehensive Development Area _____ Rural Development Area12. Primary Consulting Firm: R. E. Garcia & Associates13. Phone: (956) 381-106114. Consulting Firm Address: 116 N. 12th, Edinburg, Texas 7854115. Consulting Firm Email(s): regaassoc@aol.com16. Desired Land Use Option: Commercial17. Number of Lots: Single Family _____ Multi-Family _____ Commercial _____ Industrial 318. Proposed Wastewater Treatment: ☒ Sanitary Sewer _____ OSSF (On-Site Sewage Facility)19. Electric Power and Light Company to Serve the Proposed Subdivision: AEP (Central Power & Light)20. Irrigation District: Santa Cruz No. 15Potable-water Retailer: City of Edinburg

Owner of record, holding title to real estate within the proposed subdivision. Ownership instrument (i.e. Title Policy, Warranty Deed and Deed of Trust) shall be submitted with application. All such owners are listed immediately below.

Owner Name(s) (Print or Type)	Owner Mailing Address & Zip Code
Hiren Govind, President, Edinburg EDC	415 W University Dr Ste B, Edinburg, TX 78539
Owner Phone Number	Owner Email
(956) 388-8207	bdavila@cityofedinburg.com

Have any of said owners designated agents to submit and revise this plat application on their behalf?

_____ Yes ☒ No (If "Yes" attached duly notarized documentation to that effect, signed by each such owner.)

The undersigned owner(s) of record (or their authorized agents) hereby agree to make all improvements and meet all requirements and standards as specified in the City of Edinburg Unified Development Code and Ordinances. The undersigned hereby request that the Edinburg Planning & Zoning Commission and the City Commission approve the attached subdivision plat. I certify that all items contained in this application and attachments (including all construction plans) are true and correct to the best of my knowledge and not in conflict with any deed restrictions or restrictive covenants. Furthermore, I understand that any omission or incorrect information may result in approval or permit being denied or revoked. Developer's requirement sheet must be completed, signed, and submitted with the application form.

Signature

RECEIVED

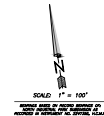
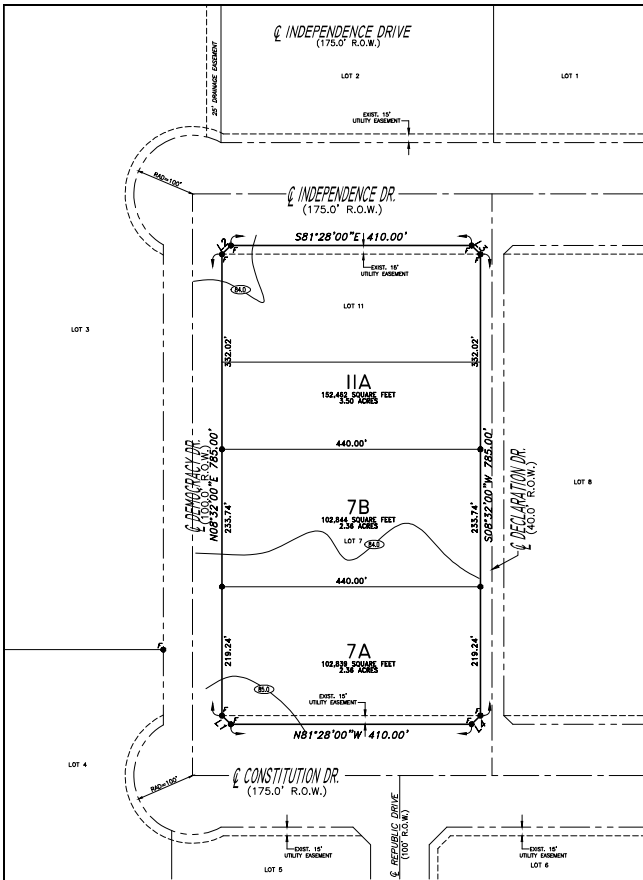
Date

10/26/21

OCT 27 2021

Name:

Bu 2:25



LEGEND:
F - FOUND 1/2" IRON ROD

LINE DATA	
BEARING	LENGTH
L1 N08°28'00"W	21.21'
L2 N03°32'00"E	21.21'
L3 S58°28'00"E	21.21'
L4 S53°32'00"W	21.21'



ON: _____ AT: _____ AM/PM
INSTRUMENT NUMBER _____
OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS
BY: _____ DEPUTY

PLAT NOTES AND RESTRICTIONS

1. THE SUBDIVISION IS IN ZONE "AET". THIS ZONE IS DEFINED AS SPECIAL FLOOD HAZARD AREAS INDICATED BY THE 100-YEAR FLOOD BASE FLOOD ELEVATION DETERMINED TO BE IN ACCORDANCE TO THE FLOOD INSURANCE RATE MAP COMMUNITY PANEL NO. 48334-0001 & REVISED DATE JUNE 8, 2000.
2. CURRENT ZONING AVAILABLE IS INDUSTRIAL (I) DISTRICT.
3. BENCHMARK NOTE:
B.M. NO. 1 - 8.5' ELEV. 8.313 N.G.V.D. 88 DESCRIPTION: EXISTING SANITARY MANHOLE TOP LOCATED SOUTH OF INDEPENDENCE DRIVE ALONG LIBERTY DRIVE.
4. MINIMUM FINISHED FLOOR ELEVATION SHALL BE 24" ABOVE TOP OF CURB AT CENTER OF LOT OR 24" ABOVE BASE FLOOD ELEVATION OF 86.
5. ELEVATION CERTIFICATE IS REQUIRED FOR LOTS INSIDE THE DESIGNATED FLOOD ZONE "AET".
6. SETBACKS SHALL BE AS PER UDC (UNIFIED DEVELOPMENT CODE) AND BUFFER-YARDS REQUIREMENTS.
7. NO PERMANENT STRUCTURE SHALL BE ALLOWED WITHIN ANY EASEMENTS, GAS EASEMENTS, IRRIGATION EASEMENTS, OR LOT LINES.
8. PROPOSED DETENTION AREAS SHALL BE MAINTAINED BY INDIVIDUAL LOT OWNERS.
9. DRAINAGE DETENTION PER LOT IS 0.188 ACRE-FEET PER ACRE.
LOT 7A = 0.444 ACRE-FEET
LOT 7B = 0.444 ACRE-FEET
LOT 11A = 0.458 ACRE-FEET
10. A FIVE FOOT (5') SIDEWALK WITH ADA COMPLIANT FOUR (4) FEET BEHIND THE CURB ARE REQUIRED ALONG INTERNAL STREETS AT BUILDING PERMIT STAGE.
11. ALL LOT CORNERS ARE SET WITH 1/2" IRON RODS.
12. ALL CONSTRUCTION SHALL COMPLY WITH STORM WATER POLLUTION PREVENTION PLAN (SWPPP) REQUIREMENTS.
13. ADDITIONAL FIRE HYDRANTS MAY BE REQUIRED AT BUILDING PERMIT STAGE FOR INDUSTRIAL AREAS.
14. SITE PLAN IS REQUIRED PRIOR TO ISSUANCE OF BUILDING PERMIT FOR INDUSTRIAL DEVELOPMENTS.
15. ALL COMMON AREAS, MEDANS, PARKING AND LANDSCAPING AREAS WILL BE MAINTAINED BY LOT OWNERS.
16. INDUSTRIAL LOTS WITHIN THIS SUBDIVISION SHALL BE SUBJECT TO CITY OF EDINBURG'S REQUIREMENTS AND SPECIFICATIONS. SUCH REQUIREMENTS MAY INCLUDE, BUT ARE NOT LIMITED TO THE LIMITED DEVELOPMENT CODE, SETBACK, BUFFER, LANDSCAPING, CONFLICTS, OVERLAPPING SURFACE RATIO, PARKING REQUIREMENTS, FIRE PROTECTION, BUILDING PERMIT REQUIREMENTS OR ANY OTHER CITY REQUIREMENTS.
17. THE LOT OWNER SHALL PROVIDE FOR A FENCE OR A WALL OF UNIFORM DESIGN, SUCH FENCE SHALL BE INSTALLED AT THE BUILDING PERMIT STAGE IN ACCORDANCE TO THE UNIFIED DEVELOPMENT CODE REQUIREMENTS AND SPECIFICATIONS.
18. ALL FENCES SHALL BE MAINTAINED BY THE LOT OWNER OF RECORD IN GOOD CONDITION SO THAT THERE IS NO DAMAGE OR MISSING BOARDS OR PARTS.
19. "REVERSE A" IS TO BE UTILIZED AS A BUFFER ZONE ONLY, AND NO BUILDING IS TO BE LOCATED ON THIS TRACT.

REVISION NOTES				
NO.	SHEET	REVISION	DATE	APPROVED

THE MINOR PLAT OF RE-PLAT OF LOTS 7 & 11 NORTH INDUSTRIAL PARK SUBDIVISION

A 8.22 ACRE TRACT OF LAND BEING ALL OF LOTS 7 AND 11, NORTH INDUSTRIAL PARK SUBDIVISION AS RECORDED IN DOCUMENT NUMBER 2247392, MAP RECORDS, HIDALGO COUNTY, TEXAS.

DATE: JULY 1, 2021 SCALE: 1" = 100'

PREPARED BY: R. E. GARCIA & ASSOCIATES
ENGINEERS, SURVEYORS, PLANNERS
JOB NO.: 2021-135
DRAWN BY: D.E.S.



SHEET NO. 1
OF 2 SHEETS

METES AND BOUNDS DESCRIPTION

A 8.22 ACRE TRACT OF LAND BEING ALL OF LOTS 7 AND 11, NORTH INDUSTRIAL PARK SUBDIVISION AS RECORDED IN DOCUMENT NUMBER 2247392, MAP RECORDS, HIDALGO COUNTY, TEXAS, AND BEING MORE FULLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING AT A FOUND ONE-HALF INCH IRON ROD ON THE SOUTH RIGHT-OF-WAY LINE OF INDEPENDENCE DRIVE BEING THE MOST WESTERLY NORTHEAST CORNER OF SAID LOT 11 FOR THE MOST WESTERLY NORTHEAST CORNER OF HEREIN DESCRIBED TRACT.

THENCE S36°28'00"E 21.21 FEET ALONG SAID SOUTH RIGHT-OF-WAY LINE OF INDEPENDENCE DRIVE TO A FOUND ONE-HALF INCH IRON ROD ON THE WEST RIGHT-OF-WAY LINE OF DECLARATION DRIVE BEING THE MOST EASTERLY NORTHEAST CORNER OF SAID LOT 11 FOR THE MOST EASTERLY SOUTHWEST CORNER OF HEREIN DESCRIBED TRACT.

THENCE S08°32'00"W ALONG SAID WEST RIGHT-OF-WAY LINE OF DECLARATION DRIVE ALSO BEING THE EAST LINE OF SAID LOT 11, PASS AT 183.51 FEET A FOUND ONE-HALF INCH IRON ROD BEING THE SOUTHWEST CORNER OF SAID LOT 11, ALSO BEING THE NORTHEAST CORNER OF SAID LOT 7 AND CONTINUING ALONG SAID WEST RIGHT-OF-WAY LINE OF DECLARATION DRIVE, NOW BEING THE EAST LINE OF SAID LOT 7, FOR A TOTAL DISTANCE OF 785.00 FEET TO A FOUND ONE-HALF INCH IRON ROD BEING THE MOST NORTHERLY SOUTHWEST CORNER OF SAID LOT 7, FOR THE MOST NORTHERLY SOUTHWEST CORNER OF HEREIN DESCRIBED TRACT.

THENCE S53°32'00"W 21.21 FEET ALONG SAID WEST RIGHT-OF-WAY LINE OF DECLARATION DRIVE TO A FOUND ONE-HALF INCH IRON ROD ON THE NORTH RIGHT-OF-WAY LINE OF CONSTITUTION DRIVE BEING THE MOST SOUTHERLY SOUTHWEST CORNER OF SAID LOT 7 FOR THE MOST SOUTHERLY SOUTHWEST CORNER OF HEREIN DESCRIBED TRACT.

THENCE N81°28'00"W 410.00 FEET ALONG SAID NORTH RIGHT-OF-WAY LINE OF CONSTITUTION DRIVE ALSO BEING THE SOUTH LINE OF SAID LOT 7 TO A FOUND ONE-HALF INCH IRON ROD BEING THE MOST EASTERLY SOUTHWEST CORNER OF SAID LOT 7, FOR THE MOST WESTERLY SOUTHWEST CORNER OF HEREIN DESCRIBED TRACT.

THENCE N08°32'00"E 21.21 FEET ALONG SAID NORTH RIGHT-OF-WAY LINE OF CONSTITUTION DRIVE TO A FOUND ONE-HALF INCH IRON ROD ON THE EAST RIGHT-OF-WAY LINE OF DEMOCRACY DRIVE BEING THE MOST WESTERLY SOUTHWEST CORNER OF SAID LOT 7, FOR THE MOST WESTERLY SOUTHWEST CORNER OF HEREIN DESCRIBED TRACT.

THENCE N03°32'00"E 21.21 FEET ALONG SAID EAST RIGHT-OF-WAY LINE OF DEMOCRACY DRIVE ALSO BEING THE WEST LINE OF SAID LOT 7, PASS AT 601.40 FEET A FOUND ONE-HALF INCH IRON ROD BEING THE NORTHWEST CORNER OF SAID LOT 7, ALSO BEING THE SOUTHWEST CORNER OF SAID LOT 11 AND CONTINUING ALONG SAID EAST RIGHT-OF-WAY LINE OF DEMOCRACY DRIVE, NOW BEING THE WEST LINE OF SAID LOT 11, FOR A TOTAL DISTANCE OF 285.00 FEET TO A FOUND ONE-HALF INCH IRON ROD BEING THE MOST SOUTHERLY NORTHWEST CORNER OF SAID LOT 11, FOR THE MOST SOUTHERLY NORTHWEST CORNER OF HEREIN DESCRIBED TRACT.

THENCE S81°28'00"W 410.00 FEET ALONG SAID SOUTH RIGHT-OF-WAY LINE OF INDEPENDENCE DRIVE ALSO BEING THE NORTH LINE OF SAID LOT 11 TO THE POINT TO BEGINNING AND CONTAINING 8.22 ACRES OF LAND, MORE OR LESS.

THE STATE OF TEXAS
COUNTY OF HIDALGO
I, THE UNDERSIGNED, OWNERS OF THE LAND SHOWN ON THIS SUBDIVISION PLAT AND DESIGNATED HEREIN AS THE RE-PLAT OF LOTS 7 & 11 NORTH INDUSTRIAL PARK SUBDIVISION TO THE CITY OF EDINBURG, TEXAS, AND WHISE NAME IS SUBSCRIBED HERETO, HEREBY DEDICATE TO THE USE OF THE PUBLIC ALL STREETS, ALLEYS, PARKS, INTERCHANGES, BRIDGES, EASEMENTS, WATER LINES, SEWER LINES, STORM SEWERS, FIRE HYDRANTS AND PUBLIC PLACES WHICH ARE INSTALLED OR WHICH I WILL CAUSE TO BE INSTALLED THEREON, SHOWN OR NOT SHOWN, IF REQUIRED OTHERWISE TO BE INSTALLED OR DEDICATED UNDER THE SUBDIVISION APPROVAL PROCESS OF THE CITY OF EDINBURG, TEXAS 78841, ALL THE SAME FOR THE PURPOSES THEREIN EXPRESSED, EITHER ON THE PLAT HEREOF OR ON THE OFFICIAL MINUTES OF THE APPLICABLE AUTHORITIES OF THE CITY OF EDINBURG.

EDINBURG ECONOMIC DEVELOPMENT CORPORATION
HIDALGO COUNTY, TEXAS
DATE: _____
P.O. BOX 4510
EDINBURG, TEXAS 78840

THE STATE OF TEXAS
COUNTY OF HIDALGO
I, THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE, ON THIS DAY APPEARED EBERN GONZALEZ, KNOWN TO ME TO BE THE PERSONS WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT THEY EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATIONS THEREIN EXPRESSED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS _____ DAY OF _____, 20____.

MY COMMISSION EXPIRES: _____ NOTARY PUBLIC IN AND FOR "HIDALGO" COUNTY, TEXAS

CERTIFICATE OF PLAT APPROVAL
PLANNING AND ZONING COMMISSION
I, THE UNDERSIGNED, CHAIRMAN OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF EDINBURG, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED AND HAS BEEN APPROVED FOR RECORDING ON THIS _____ DAY OF _____, 2021 WITH THE COUNTY CLERK OF HIDALGO COUNTY, TEXAS.

ADMINISTRATOR/PLANNING AND ZONING DEPARTMENT DIRECTOR _____ DATE _____

APPROVAL BY HIDALGO COUNTY DRAINAGE DISTRICT NO. 1:
HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 HEREBY CERTIFIES THAT THE PLAN FOR THIS SUBDIVISION CONFORMS WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER THE TEXAS WATER CODE §49.211 (C). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER OF THE SUBDIVISION AND ITS ENGINEER TO MAKE THESE DETERMINATIONS.

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1

RAUL E. GARCIA, P.E., C.T.S.M.
GENERAL MANAGER
DATE: _____

APPROVAL BY SANTA CRUZ IRRIGATION DISTRICT:
THIS PLAT HEREBY APPROVED BY SANTA CRUZ IRRIGATION DISTRICT, ON THIS _____ DAY OF _____, 20____.

SANTA CRUZ IRRIGATION DISTRICT WILL NOT BE RESPONSIBLE FOR DRAINAGE OR DELIVERY OF WATER TO ANY LOT OF THIS SUBDIVISION, IF DEPOSED THIS WILL NOT BE AT THE DISTRICTS EXPENSE.

ATTEST:
PRESIDENT _____ DATE _____ SECRETARY _____ DATE _____

THE STATE OF TEXAS
COUNTY OF HIDALGO
I, THE UNDERSIGNED, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECTLY MADE FROM AN ACTUAL SURVEY MADE ON THE GROUND OF THE PROPERTY LEGALLY DESCRIBED HEREON, AND THAT THERE ARE NO APPARENT DISCREPANCIES, CONFLICTS, OR OVERLAPPING IMPROVEMENTS, VISIBLE UTILITY LINES OR ROADS IN PLACE, EXCEPT AS SHOWN ON THE ACCOMPANYING PLAT, AND THAT THE CORNER MONUMENTS SHOWN THEREON WERE PROPERLY PLACED UNDER MY SUPERVISION IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS OF THE CITY OF PHARR, TEXAS.

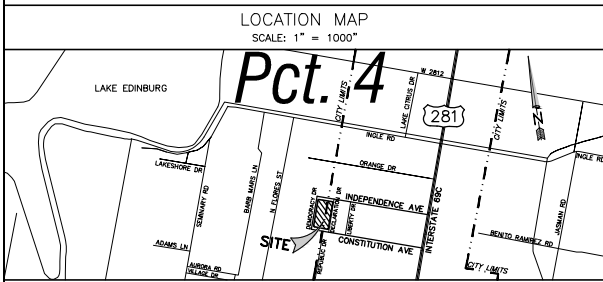
REGISTERED PROFESSIONAL LAND SURVEYOR #4284



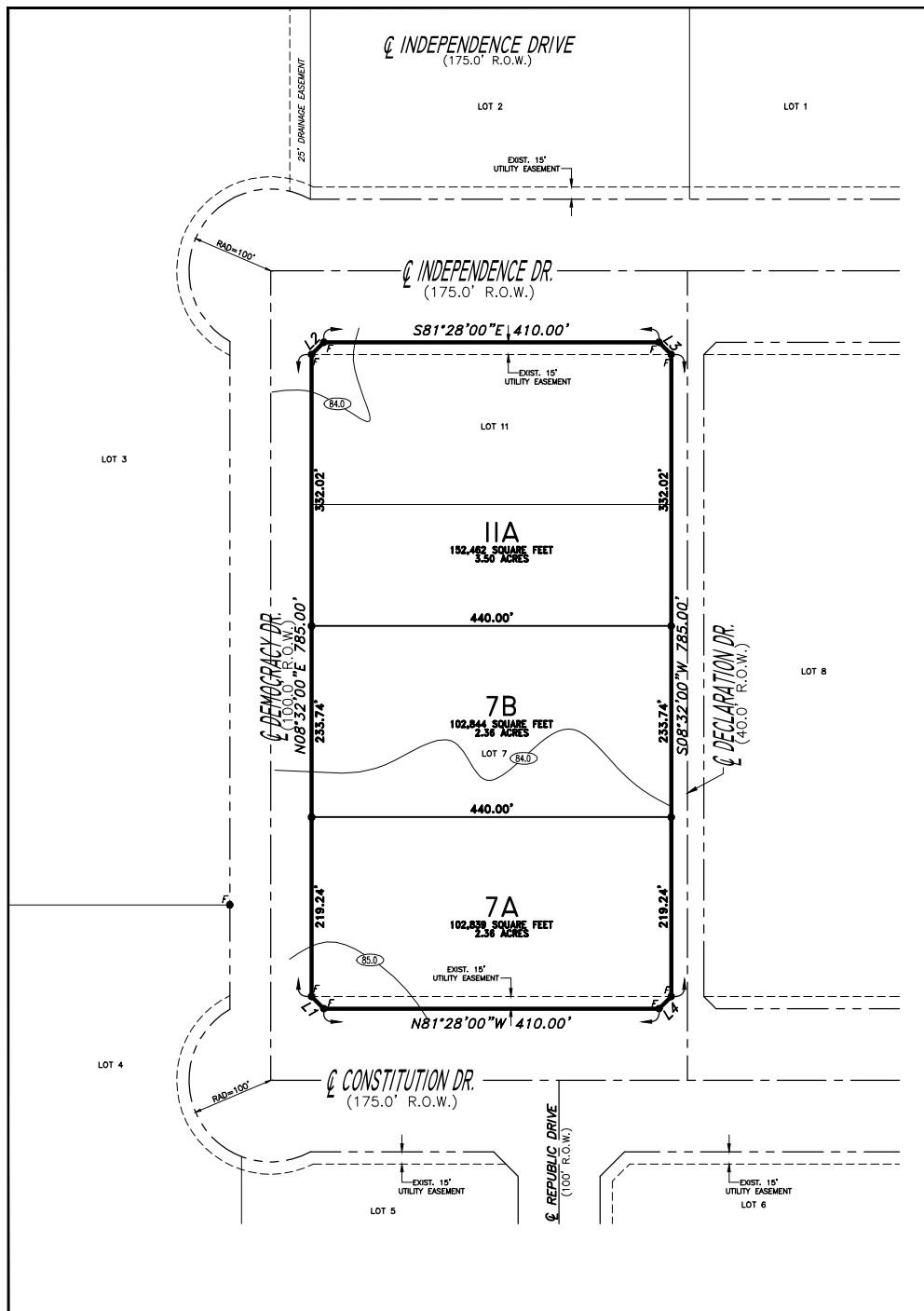
THE STATE OF TEXAS
COUNTY OF HIDALGO
I, THE UNDERSIGNED, A REGISTERED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN TO THIS PLAT.



REGISTERED PROFESSIONAL ENGINEER #64790



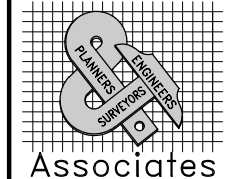
PRINCIPAL CONTACTS:
OWNER: EDINBURG E.D.C.
ENGINEER: RAUL E. GARCIA
SURVEYOR: RAUL E. GARCIA
ADDRESS: P.O. BOX 4510
116 N. 12TH
EDINBURG, TX 78839
CITY, STATE & ZIP: EDINBURG, TX 78840
PHONE: (800) 500-0000
FAX: (956) 381-1061 / (956) 381-1280



SCALE: N.T.S.

RE-PLAT OF LOTS 7 & 11 NORTH INDUSTRIAL PARK SUBDIVISION

R.E. Garcia



R. E. GARCIA & ASSOCIATES

ENGINEERS, SURVEYORS, PLANNERS
ENGINEER (F-5001) & SURVEYOR (10015300)

116 NORTH 12th AVE.
EDINBURG, TEXAS 78541 (956) 381-1061
EMAIL: REGAASSOC@AOL.COM

STAFF REPORT: RUSSELL PARK III & IV SUBDIVISION

November 4, 2021

Planning and Zoning Meeting:

November 9, 2021

Agenda Item: **6A**

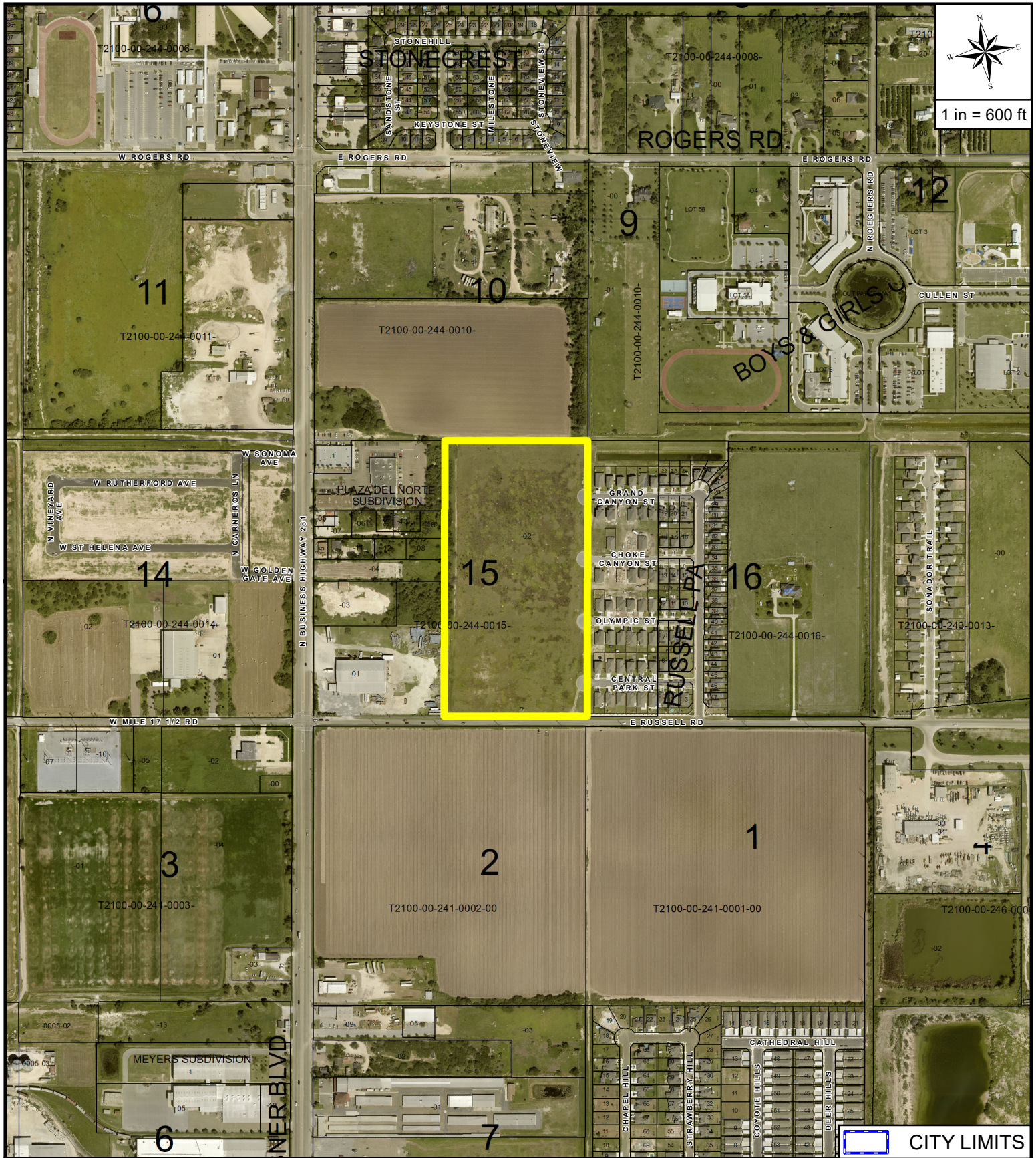
Final Plat

- Subject:** Consider the Final Plat for **RUSSEL PARK III & IV SUBDIVISION**, being a 20.49 -Acre tract out of Lots 15 & 16 Section 244, Texas-Mexican Railway Company's Survey, located at 400 East Russell Road, as requested by Cruz-Hogan Consultants, Inc.
- Location:** The property is located on the Northside of Russell Road between Business 281 and Interstate I-69.
- Zoning:** This property is within the City Limits currently zoned Urban Residential (UR) District.
- Analysis** The Preliminary Plat was approved by the Planning and Zoning Commission on August 5, 2020 for a single-family residential development with Nienty-six (96) lots averaging approximatley 6,000 sq. ft. per lot. Staff recommends approval subject to a financial guarantee on pending infrastructure items.
- Utilities:** Water Distribution System and Sanitary Sewer Collection is served by the City of Edinburg. All utility improvements within the proposed subdivision that are not limited to water, sewer, curb and gutter, fire hydrants, storm drain inlets and pavement will be installed by the developer in accordance with City of Edinburg's Unified Development code and approved 2014 Standards Manual.
-

Recommendations:

City of Edinburg:

Saff recommends approval of the Final Plat, subject to compliance with the Unified Development Code, accepted cost estimates by City of Edinburg, and acceptance of the financial guarantee for the completion of the subdivision improvements prior to recording the subdivision plat. Financial Guarantee will be released upon completion and inspection of public improvements



AERIAL MAP

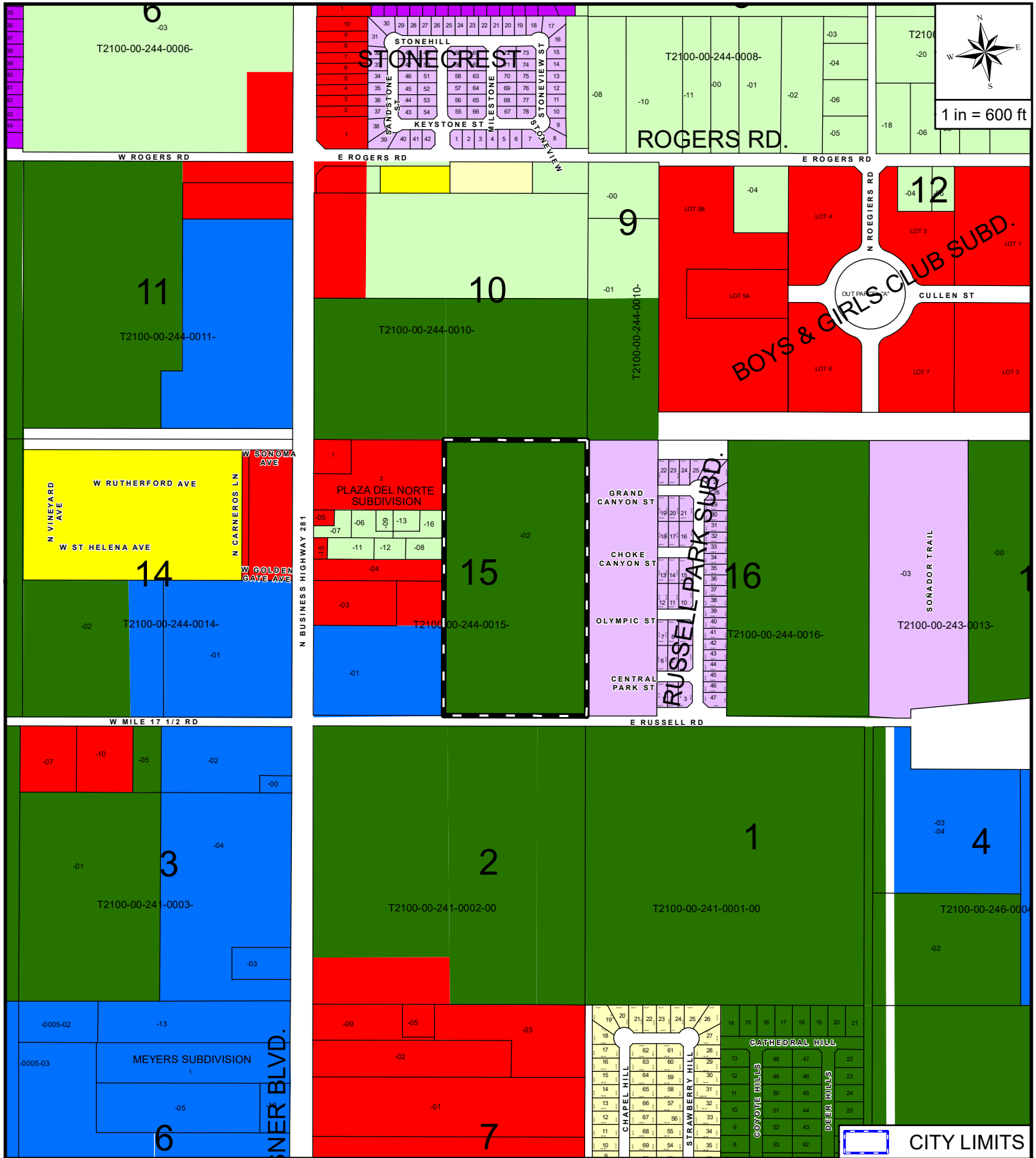
APPLICANT/SUBDIVISION: RUSSELL PARK III AND IV

CASE CAPTION:

Consider Final Plat for RUSSEL PARK III & IV being a 20.49 -Acre tract out of Lots 15 & 16 Section 244, Texas-Mexican Railway Company's Survey, Hidalgo County, Texas Located on Russel Road Between located at 400 East Russell Road, as Requested by Cruz - Hogan Engineers.

LEGEND

 CITY LIMITS



ZONING MAP

APPLICANT/SUBDIVISION: RUSSELL PARK III AND IV

CASE CAPTION:

Consider Final Plat for RUSSEL PARK III & IV being a 20.49 -Acre tract out of Lots 15 & 16 Section 244, Texas-Mexican Railway Company's Survey, Hidalgo County, Texas Located on Russel Road Between located at 400 East Russell Road, as Requested by Cruz - Hogan Engineers.

LEGEND

- APPLICANT SITE
- ZONING DISTRICTS**
- AGRICULTURE
- AUTO-URBAN RESIDENTIAL
- COMMERCIAL, GENERAL
- COMMERCIAL, NEIGHBORHOOD
- DOWNTOWN DISTRICT
- INDUSTRIAL
- NEIGHBORHOOD CONSERVATION 5
- NEIGHBORHOOD CONSERVATION 7.1
- NEIGHBORHOOD CONSERVATION MH
- SUBURBAN RESIDENTIAL
- URBAN RESIDENTIAL
- URBAN UNIVERSITY

FINAL REVIEW
SUBDIVISION WITHIN CITY LIMITS CHECK LIST
RECORDING STAGE

PLANNING & ZONING DEPARTMENT (956) 388-8202

SUBDIVISION PROCESS

 Date : **September 21, 2021**

 Date Filed: **July 30, 2021**

 P&Z Preliminary: **September 14, 2021**

P&Z Final: _____

City Council: _____

Reviewed By: Abel Beltran, Subd. Coord. abeltran@cityofedinburg.com	Staff Review : August 19, 2021 Staff / Engineer : August 26, 2021	Time Line : 365 Days 1st Extension : 0 Days 2nd Extension : 0 Days	Expires : _____ Expires 1: _____ Expires 2: _____
--	--	---	---

Preliminary/Final Fees Required - With the Approvals from Engineering & Utility Departments

Owner:	PAUL C. ARTHUR	201 W. Hillside Road Ste. 7 Laredo, TX 78041	Rolando Cruz, P.E. Project Engineer			
RUSSELL PARK PHASE 3 & 4 SUBDIVISION				Consultant : Cruz-Hogan Consultants, Inc.		
DESCRIPTION	Provided	Need to Provide	Not Applicable	Need to Revise	COMMENTS	

Subdivision Recording Process:

Public Improvements with (Letter of Credit)					Dated:	Expires:
Recording Fees	\$ 106.00				As required by County Clerks office receipt	
Copy of H.C.D.D. #1 of invoice	\$ 250.00				Required to be paid prior to Final Stages	
Street Escrow (Russell Road)	\$ 49,787.92	✓			Required: 533	LF. @ \$ 93.41
Sidewalk Escrow (Russell Road)	\$ 13,325.00	✓			Required: 533	LF @ \$ 25.00
TOTAL ECROW REQUIRED :	\$ 63,112.92					
Total Developer's Construction Cost: (Letter of Credit)			✓		Date :	Lender :
Laboratory Testing Fee: 3%	\$ 36,500.00	✓			\$ 1,216,666.67	Estimated Construction Cost
Inspection Fee: 2%	\$ 24,333.33	✓			\$ 1,216,666.67	Final Construction Cost
Park Land Fees: ETJ \$ - Per Unit 0			✓		Parkland Zone Area # 5	
96 Residential \$ 300.00	\$ 28,800.00	✓			50% Development	50% Building Stage
0 Multi-Family \$ -	\$ -		✓		0% Development	0% Building Stage
Water Rights: COE - CCN	\$ 58,469.21	✓			20.184 Acres	\$ 2,896.81
Water 30-year Letter (Residential)	\$ 31,200.00	✓			96 Lots @ \$ 325.00	COE WATER-CCN
Water 30-year Letter (Multi-Family)	\$ -		✓		0 Lots @ \$ -	
Sewer 30-year Letter COE - CCN	\$ 6,240.00	✓			96 Lots @ \$ 65.00	COE SYSTEM-CCN
TOTAL FEES:	\$ 95,909.21					

Tax Certificates / Receipt / Reports

County Tax Certificate		✓			
School Tax Certificate		✓			
Approved Drainage Report		✓			
Copy of Drainage District Fee Receipt		✓			
Escrows Streets & Sidewalk	\$ 63,112.92	Street & Sidewalk Improvements for Rogers Road			
Water Rights / 30-Year Letters	\$ 95,909.21				
Material Testing / Inspection Fees	\$ 24,333.33	Material Testing Fee & City Inspection Fee based on LOC, etc.			
Park Land Fees: Area # 5	\$ 28,800.00	50% of Parkland Fee is required.			
Reimbursements N/A	\$ -	Reimbursement to the Developer of Subdivision			
City of Edinburg	\$ -	15% Payable to the City of Edinburg for Administrative Fee			
To the Developer of Record	\$ -	85% Payable to the Developer of Record Owner / Developer			
Buyouts/Transfer is required from NAWSC	\$ -	Based on Subdivision (Need Request and Approval rate from Broad)			
TOTAL :	\$ 212,155.47	Total Fees, Escrows, Reimbursements & Buyouts			

 Approved By : **Abel Beltran, Planner I**

Checked By : _____



STAFF REPORT: LAS OLAS SUBDIVISION

November 2, 2021

Planning and Zoning Meeting: November 9, 2021

Agenda Item: **6B** Final Plat

Subject: Consider the Final Plat for **LAS OLAS SUBDIVISION** being a 25.331 acre tract out of Lot 9, Block 53, Alamo Land & Sugar Company Subdivision, located at 5900 East Alberta Road, as requested by Melden & Hunt, Inc.

Location: The property is located on the South Side of Alberta Road

Zoning: This property is in the ETJ

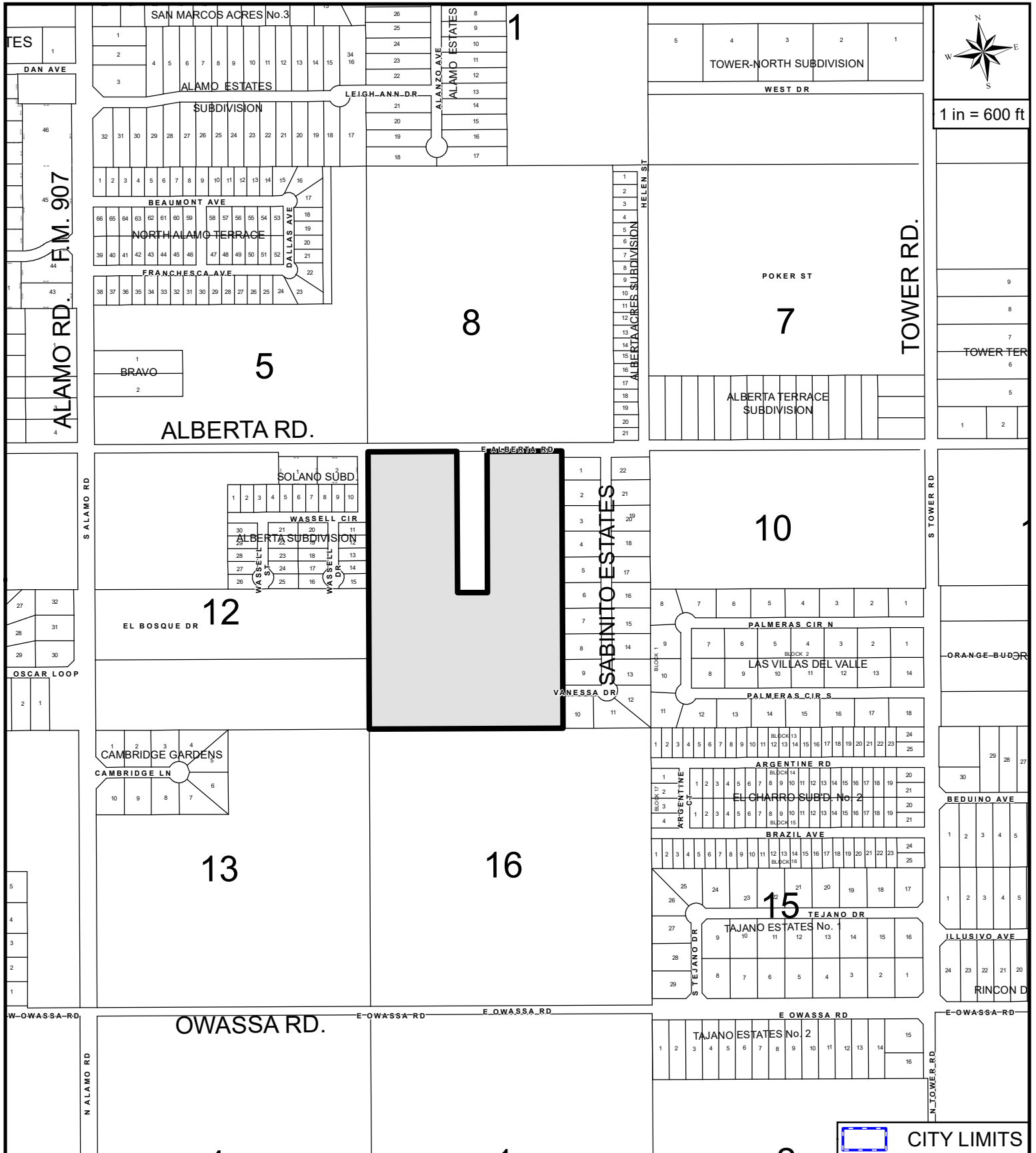
Analysis The Preliminary Plat was approved by the Planning and Zoning Commission on January 14, 2020 for a single-family residential development with One Hundred and Twelve (112) lots averaging approximately 8,400 sq. ft. per lot. Staff recommends approval subject to a financial guarantee on any pending infrastructure items.

Utilities: Water Distribution System and Sanitary Sewer Collection is served by the City of Edinburg. All utility improvements within the proposed subdivision that are not limited to water, sewer, curb and gutter, fire hydrants, storm drain inlets and pavement will be installed by the developer in accordance with City of Edinburg's Unified Development code and approved 2014 Standards Manual.

Recommendations:

City of Edinburg

Staff recommends approval of the Final Plat, subject to compliance with the Unified Development Code, accepted cost estimates by City of Edinburg, and acceptance of the financial guarantee for the completion of the subdivision improvements prior to recording the subdivision plat. Financial Guarantee will be released upon completion and inspection of public improvements



SITE MAP

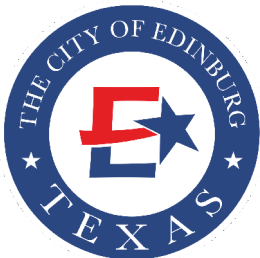
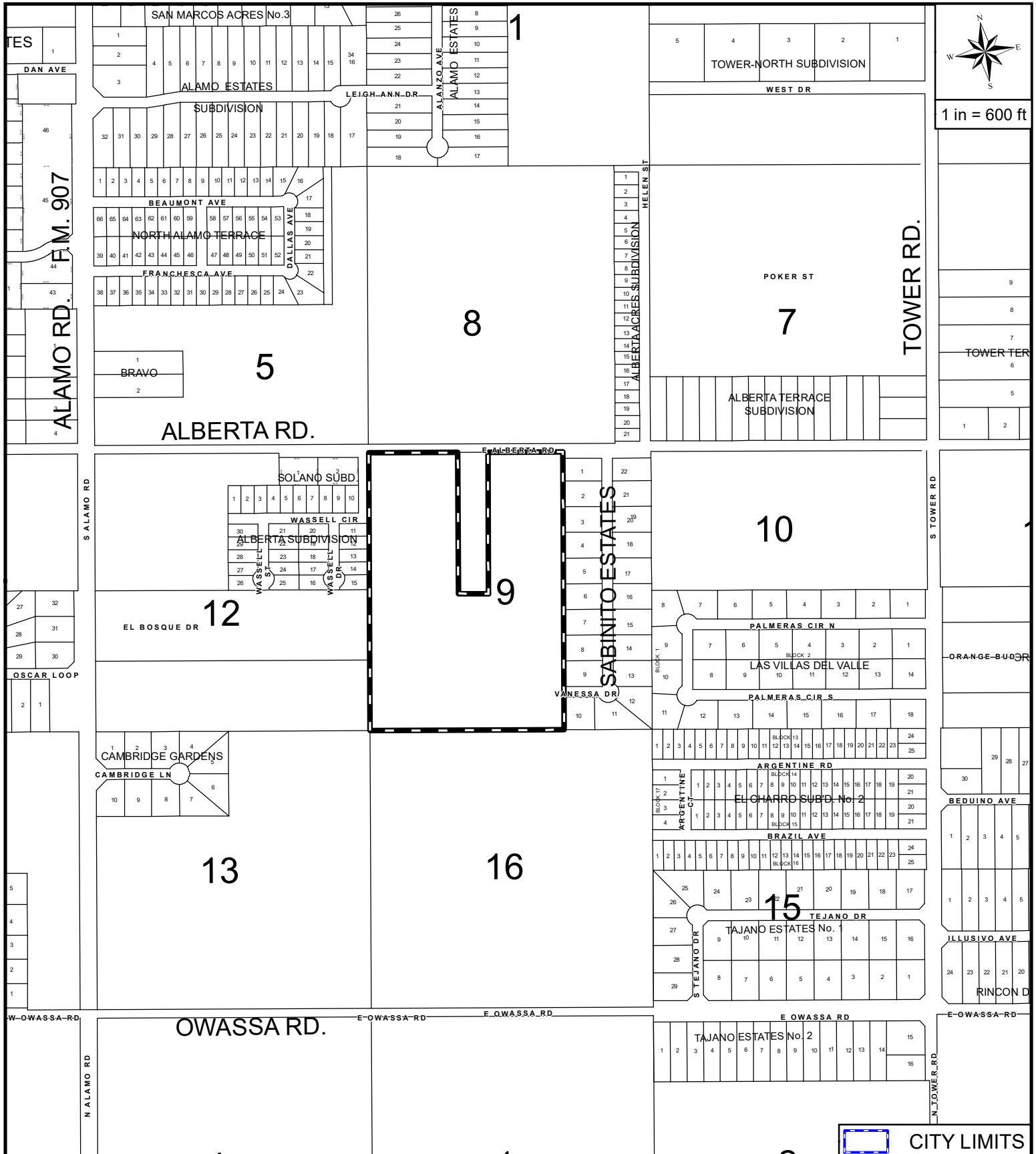
APPLICANT/SUBDIVISION: LAS OLAS ESTATES

CASE CAPTION:

CONSIDER THE FINAL PLAT FOR LAS OLAS SUBDIVISION BEING A 25.331 ACRE TRACT OUT OF LOT 9 BLOCK 53, ALAMO LAND & SUGAR COMPANY SUBDIVISION, CITY OF EDINBURG, HIDALGO COUNTY, TEXAS LOCATED AT 5900 EAST ALBERTA ROAD, AS REQUESTED BY MELDEN & HUNT ENGINEERS INC.

LEGEND

 SUBDIVISION SITE



ZONING MAP

APPLICANT/SUBDIVISION: LAS OLAS ESTATES

CASE CAPTION:

CONSIDER THE FINAL PLAT FOR LAS OLAS SUBDIVISION BEING A 25.331 ACRE TRACT OUT OF LOT 9 BLOCK 53, ALAMO LAND & SUGAR COMPANY SUBDIVISION, CITY OF EDINBURG, HIDALGO COUNTY, TEXAS LOCATED AT 5900 EAST ALBERTA ROAD, AS REQUESTED BY MELDEN & HUNT ENGINEERS INC.

CITY LIMITS

LEGEND

- APPLICANT SITE
- ZONING DISTRICTS**
- AGRICULTURE
- AUTO-URBAN RESIDENTIAL
- COMMERCIAL, GENERAL
- COMMERCIAL, NEIGHBORHOOD
- DOWNTOWN DISTRICT
- INDUSTRIAL
- NEIGHBORHOOD CONSERVATION 5
- NEIGHBORHOOD CONSERVATION 7.1
- NEIGHBORHOOD CONSERVATION MH
- SUBURBAN RESIDENTIAL
- URBAN RESIDENTIAL
- URBAN UNIVERSITY

FINAL REVIEW
**SUBDIVISION WITHIN CITY LIMITS CHECK LIST
SUBDIVISION PROCESS**
RECORDING STAGE

PLANNING & ZONING DEPARTMENT (956) 388-8202

 Date : **November 5, 2021**

Date Filed: November 12, 2019	P&Z Preliminary: January 14, 2020	P&Z Final: November 9, 2021	City Council: _____
Reviewed By: Abel Beltran, Subd. Coord. abeltran@cityofedinburg.com	Staff Review : November 21, 2019 Staff / Engineer : November 28, 2019	Time Line : 365 Days 1st Extension : 0 Days 2nd Extension : 0 Days	Expires : _____ Expires 1: _____ Expires 2: _____

Preliminary/Final Fees Required - With the Approvals from Engineering & Utility Departments

Owner:	Antonio Villanueva, Owner	P.O. Box 912 La Blanca, TX 78558	Mario Reyna, P.E. Project Engineer
LAS OLAS SUBDIVISION		Consultant : Melden & Hunt, Inc.	
DESCRIPTION	Provided	Need to Provide	Not Applicable
			Need to Revise
			COMMENTS

Subdivision Recording Process:

Public Improvements with (Letter of Credit)					Dated:	Expires:
Recording Fees	\$ 106.00				As required by County Clerks office receipt	
Copy of H.C.D.D. #1 of invoice	\$ 250.00				Required to be paid prior to Final Stages	
Street Escrow (Alberta Road)	\$ 49,787.92		✓		Required: 657	LF. @ \$ 75.78
Sidewalk Escrow (Alberta Road)	\$ 16,425.00		✓		Required: 657	LF @ \$ 25.00
TOTAL ECROW REQUIRED :	\$ 66,212.92					
Total Developer's Construction Cost: (Letter of Credit)				✓	Date :	Lender :
Laboratory Testing Fee: 0%	\$ -	✓			\$ 1,673,290.50	Estimated Construction Cost
Inspection Fee: 2%	\$ 33,465.81		✓		\$ 1,673,290.50	Final Construction Cost
Park Land Fees: ETJ \$ 600.00 Per Unit 102			✓		Paid 50% Inlue of 100% within ETJ Parkland Zone Area # 6	
102 Residential ETJ \$ 300.00	\$ 30,600.00	✓	✓		50% Development	50% Building Stage
0 Multi-Family \$ -	\$ -			✓	0% Development	0% Building Stage
Water Rights: NAWSC - CCN	\$ -			✓	0.000 Acres	\$ 2,896.81
Water 30-year Letter (Residential)	\$ -			✓	102 Lots @ \$ -	NAWSC WATER-CCN
Water 30-year Letter (Multi-Family)	\$ -			✓	0 Lots @ \$ -	
Sewer 30-year Letter NAWSC - CCN	\$ -			✓	102 Lots @ \$ -	NAWSC SYSTEM-CCN
TOTAL FEES:	\$ -					

Tax Certificates / Receipt / Reports

County Tax Certificate		✓			
School Tax Certificate		✓			
Approved Drainage Report		✓			
Copy of Drainage District Fee Receipt		✓			
Escrows Streets & Sidewalk	\$ 66,212.92	Street & Sidewalk Improvements for Rogers Road			
Water Rights / 30-Year Letters	\$ -				
Material Testing / Inspection Fees	\$ -	Material Testing Fee & City Inspection Fee based on LOC, etc.			
Park Land Fees: Area # 6	\$ 30,600.00	100% of Parkland Fee is required.			
Reimbursements N/A	\$ -	Reimbursement to the Developer of Subdivision			
City of Edinburg	\$ -	15% Payable to the City of Edinburg for Administrative Fee			
To the Developer of Record	\$ -	85% Payable to the Developer of Record Owner / Developer			
Buyouts/Transfer is required from NAWSC	\$ -	Based on Subdivision (Need Request and Approval rate from Broad)			
TOTAL :	\$ 96,812.92	Total Fees, Escrows, Reimbursements & Buyouts			

 Approved By : **Abel Beltran, Planner I**

Checked By :

0 TOTAL ACRES				
0.306	43560	667	20	Alberta Road Widening
0.000	43560	0	0	Ditch 85-ft ROW
0.000	ACRES			
Current Acre Water Rights Cost :		\$	-	\$ -
0.000	NET ACRES			

STAFF REPORT: CITRUS GARDENS SBDIVISION

November 4, 2021

Planning and Zoning Meeting:

November 9, 2021

Agenda Item: 7A

Preliminary Plat

Subject: Consider the Preliminary Plat of **CITRUS GARDENS SUBDIVISION**, being a 10.07 acre tract out of Lot 13, Block 39 of the Santa Cruz Gardens Unit No. 2 Subdivision, located at 2700 East Davis Road, as requested by RO Engineering, PLLC.

Location: The property is located on the north side of E. Davis Road, approximately 1,750 ft. east of Doolittle Road and is within the City of Edinburg ETJ.

Zoning: Not applicable.

Analysis The Preliminary Plat proposes a single-family residential development with a total of forty one (41) lots averaging approximately 6,575 sq. ft. with set backs based on Urban Residential (UR) being, Front; 20 ft, Side; 6 ft, Rear; 20 ft. This subdivision is also requesting a variance to the 800 ft. Block Length requirement.

Utilities: Water Distribution System is within North Alamo Water Supply Corporation, service CCN and Sanitary Sewer System is within City of Edinburg Sanitary Sewer Collection , service CCN. All utility improvements within the proposed subdivision that are not limited to water, sewer, curb and gutter, fire hydrants, will be installed by the developer in accordance with the approved 2014 Standards Manual.

Recommendations:

City of Edinburg Planning & Zoning Department:

Staff recommends approval of the Preliminary Plat, subject to the compliance with the Unified Development Code, General Notes; on FEMA flood zone, zoning, setbacks, finish floor elevation, benchmark, drainage detention, parkland fees, limited access, SWP3 requirements, sidewalks, and other notes as required based on development.

City of Edinburg Engineering / Utilites Department:

Preliminary Phase Submittal comments for this subvission are included in the packet. As per Engineering, the plat shall be Preliminarily Approved until all comments have been adressed by the project engineer.



City of Edinburg Fire Department:

The following are the preliminary phase submittal comments as noted by the Fire Department:

1. Provide street names to the City of Edinburg Engineering Department for approval.
2. Fire lane 15 ft. in width shall be painted in front of all fire hydrants.
3. Provide double face blue fire hydrant street marker on center on the street in front of the fire hydrant.
4. Fire hydrant shall be every 600 ft. for one and two family dwellings as per Section 507.5.1 of 2012 IFC.
5. All streets should be 32 ft. B-B paving section according to Table 8.204 of the Edinburg Unified Development Code.

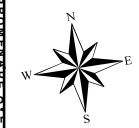
City of Edinburg Storm Water:

The following are the preliminary phase submittal comments as noted by Storm Water:

1. **SW3P** (Stormwater Pollution Prevention Plan)
2. **NOI** (Notice of Intent, Per TCEQ)
3. **Large Construction Notice** (Per TCEQ Inventory)
4. **Detailed Erosion Control Plan** (Silt Fence, Construction Entrance, Inlet Protection, Concrete Washout)
5. **Detailed Post Construction BMP's Plan** (70% Vegetation or Silt Fence back of curb)
6. **Plat Note** (All construction shall comply with Stormwater Pollution Prevention Plan (SW3P) requirements. Erosion and Sedimentation Controls constructed in accordance with the Stormwater Ordinance 98.30 of the City of Edinburg are required for all construction on each lot including single family and duplex/multi-family construction)
7. **NOT** (Notice of Termination, Per TCEQ) will now be required before the final walk through.
8. **Comments:**
 - SW3P Plat note has been revised. Please see the note for your reference.
 - NOT will need to be submitted before the final walk through.
 - Stormwater is now requiring a Post Construction Plan on plans that are submitted, either 70% vegetation or Install Silt Fence behind the back of curb.
 - Silt Fence around the entire project.
 - Large Construction Notice needs to be submitted with contractors contact information.
 - All items must be submitted before the NTP is issued.
 - Please email pending items to rvalenzuela@cityofedinburg.com

City of Edinburg Solid Waste:

Single Family Residential Development within the City of Edinburg - ETJ.



1 in = 600 ft

N GWIN RD

E RAMSEYER RD

REYMUNDO ST

NEIGHBORHOOD ST

CAMERON RD

VISTA BONITA DR

N DOOLITTLE RD

AZALEA AVE

ASHLEY AVE

DAISY AVE

E DAVIS RD

ASLOMAR ST

CALEDONIA ST

TASSAJARA ST

SEQUOIA ST

YOSEMITE ST

PHEIFFER ST

AGUAJITO ST

MISSION ST

N GWIN RD

SATURN ST

 CITY LIMITS

LEGEND

 SUBDIVISION SITE



SITE MAP

APPLICANT/SUBDIVISION: RENE OLIVAREZ

CASE CAPTION:

Consider the Preliminary Plat of CITRUS GARDENS Subdivision, being a 10.07 acre tract out of lot 13, Block 39 of the Santa Cruz Gardens Unit No. 2 subdivision, as per map or plat thereof recorded in Volume 8, page 28, Map Records of Hidalgo County, Texas. Located at 2705 E. Davis Road, as requested by RO Engineering, PLLC.



Case #

Edinburg THE CITY OF

Planning & Zoning Department
415 W. University Drive
Edinburg, Texas 78539

Subdivision Application

(956) 388-8202

Date: **October 4, 2021**Request Type: **Preliminary Plat****Preliminary Plat**1. Developer: **Rene Olivarez**2. Owner/Contact Name: **Rene Olivarez**3. Owner/Contact Phone: **(956) 292-3336**4. Owner/Contact Email: **r.olivarez@ro-engineering.com**5. Owner Address: **2705 E Davis Rd. Edinburg, Texas, 78542**6. Exact Name of Subdivision: **CITRUS GARDENS SUBDIVISION**

7. Property ID: _____

8. Current Zoning: _____ Required Zoning: _____

10. Legal Description: _____

Lot Thirteen (13), Block Thirty-nine (39), SANTA CRUZ GARDENS UNIT NO.2, Hidalgo County, Texas11. Inside City Limits? **No** If "No," is in the _____ Comprehensive Development Area ☒ Rural Development Area12. Primary Consulting Firm: **RO-Engineering** 13. Phone: **(956) 292-3336**14. Consulting Firm Address: **2705 E Davis Rd. Edinburg Tx, 78542**15. Consulting Firm Email(s): **r.olivarez@ro-engineering.com, a.vargas@ro-engineering.com**16. Desired Land Use Option: **Single Family**17. Number of Lots: Single Family **40** Multi-Family _____ Commercial **1** Industrial _____18. Proposed Wastewater Treatment: ☒ Sanitary Sewer _____ OSSF (On-Site Sewage Facility)19. Electric Power and Light Company to Serve the Proposed Subdivision: **AEP (Central Power & Light)**20. Irrigation District: **Santa Cruz No. 15** Potable-water Retailer: **North Alamo Water Supply Corp.**

Owner of record, holding title to real estate within the proposed subdivision. Ownership instrument (i.e. Title Policy, Warranty Deed and Deed of Trust) shall be submitted with application. All such owners are listed immediately below.

Owner Name(s) (Print or Type) Rene Olivarez	Owner Mailing Address & Zip Code 2705 E Davis rd. Edinburg, 78542
Owner Phone Number (956) 292-3336	Owner Email r.olivarez@ro-engineering.com

Have any of said owners designated agents to submit and revise this plat application on their behalf?

____ Yes ☒ No (If "Yes" attached duly notarized documentation to that effect, signed by each such owner.)

The undersigned owner(s) of record (or their authorized agents) hereby agree to make all improvements and meet all requirements and standards as specified in the City of Edinburg Unified Development Code and Ordinances. The undersigned hereby request that the Edinburg Planning & Zoning Commission and the City Commission approve the attached subdivision plat. I certify that all items contained in this application and attachments (including all construction plans) are true and correct to the best of my knowledge and not in conflict with any deed restrictions or restrictive covenants. Furthermore, I understand that any omission or incorrect information may result in approval or permit being denied or revoked. Developer's requirement sheet must be completed, signed, and submitted with the application form.

Signature

Digitally signed by Rene Olivarez
Date: 2021.10.04 12:04:06 -05'00'Date **October 4, 2021**

ACKNOWLEDGEMENTS**OWNER**

I acknowledge that the subdivision application is a process. During this process, my application is reviewed by multiple City departments and requires separate and distinct approval by each. I understand that approval by one department does NOT constitute approval by all departments and should not be construed as final approval, clearance, or notice to proceed. Furthermore, review of this application by City staff is dependent upon the accuracy of the information provided. Any information found to be lacking or incorrect may result in my application being delayed or denied. If any portion of my plan changes or must be modified, it is my responsibility to notify City staff as soon as is practicable, and I accept that these changes may result in reassessment, denial, or revocation of any approvals or permits received prior to that time.

Owner/Agent

*R. Olivaréz*Digitally signed by Rene Olivaréz
Date: 2021.10.04 12:04:38 -05'00'**ENGINEER**

I have read the information contained on the following Subdivision Plat Fees and Submission Requirements forms and hereby agree to comply with requirements noted herein.

Project Engineer

*R. Olivaréz*Digitally signed by Rene Olivaréz
Date: 2021.10.04 12:04:55 -05'00'**Subdivision Plat Fees****SUBDIVISION NAME: CITRUS GARDENS SUBDIVISION****Administrative Fees (select all that apply)****Office Use Only**

<input checked="" type="checkbox"/> 1. Preliminary Plat, \$ 250	\$ 250.00	
<input type="checkbox"/> 2. Final Plat, \$ 200		
<input type="checkbox"/> 3. Minor Plat, \$ 250		
<input type="checkbox"/> 4. Amended Plat, \$ 250		
<input type="checkbox"/> 5. Re-Plat, \$ 250		
<input type="checkbox"/> 6. Vacating Plat, \$ 250		
<input type="checkbox"/> 7. Plat Review Fee (2 -5 Mile E.T.J.), \$ 250		
<input type="checkbox"/> 8. Site Plan Review, \$ 250		
<input checked="" type="checkbox"/> 9. Appeals or Variances, \$ 450	\$ 450.00	
<input type="checkbox"/> 10. Voluntary Annexation, \$ 100 Plus Publication Cost: _____		
<input type="checkbox"/> 11. Land-Clearing Permit, \$ 150		
<input type="checkbox"/> 12. Street Sign Installation, \$ 200		
13. Park Land Fees (Per Unit)		
<input type="checkbox"/> Developer, \$ 300 # of Units: <input type="text"/>		
<input type="checkbox"/> Builder, \$ 300 # of Units: <input type="text"/>		
<input type="checkbox"/> E.T.J. Single Family, \$ 300 <input type="text"/>		
<input type="checkbox"/> E.T.J. Multifamily, \$ 300 <input type="text"/>		

Variable (fill as appropriate)

<input type="checkbox"/> 14. Administration and Inspection Fee, 2.0%		
<input type="checkbox"/> 15. Construction Materials Testing Fee, 3.0%		
<input type="checkbox"/> 16. Water Right Fees Per Acre, TBD		

TOTAL \$ 700.00*** Make all checks payable to the City of Edinburg**

Submission Requirements Checklist

Preliminary Plat Requirements

Copies

Office Use Only

- | | | | |
|-------------------------------------|---|---|--|
| <input checked="" type="checkbox"/> | 1. Subdivision Plat, Utility (Layout Folded) | 8 | |
| <input checked="" type="checkbox"/> | 2. Digital File(s) (emailed, USB, CD, etc.)..... | 1 | |
| | 24x36" Plat w/notes, drainage, utilities, etc. (as applicable); | | |
| | 8.5x11" Reduced Plat; Map with name & north arrow | | |
| <input checked="" type="checkbox"/> | 3. Preliminary Drainage Report | 2 | |
| <input checked="" type="checkbox"/> | 4. 8 ½" X 11" Copies of Subdivision Plat & Utility Layout..... | 1 | |
| <input checked="" type="checkbox"/> | 5. Warranty Deed | 1 | |
| <input checked="" type="checkbox"/> | 6. Signed Application..... | 1 | |
| | (or application with a notarized Letter of Authorization) | | |

Pre-Construction

- | | | | |
|--------------------------|---|---|--|
| <input type="checkbox"/> | 1. Subdivision Plat and Construction Plans (utilities)..... | 8 | |
| <input type="checkbox"/> | 2. Engineer Cost Estimate | 1 | |
| <input type="checkbox"/> | 3. Digital Construction Plans (emailed, USB, CD, etc.)..... | 1 | |
| <input type="checkbox"/> | 4. SWPPP/CNOI (Required) | 2 | |

Final Plat Requirements

- | | | | |
|--------------------------|--|---|--|
| <input type="checkbox"/> | 1. Mylar of Subdivision Plat..... | 1 | |
| <input type="checkbox"/> | 2. Mylar As-Builts Construction Plans..... | 2 | |
| <input type="checkbox"/> | 3. Digital Copy of As-Builts (emailed, USB, CD, etc.)..... | 1 | |
| <input type="checkbox"/> | 4. Letter of Credit (If Applicable) | 1 | |

MAP
OF
CITRUS GARDENS SUBDIVISION
EDINBURG, TEXAS

BEING A 10.07 GROSS ACRE TRACT OF LAND, MORE OR LESS, OUT OF AND FORMING A PART OF LOT 13, BLOCK 39 OF THE SANTA CRUZ GARDENS UNIT NO. 2 IN HIDALGO COUNTY, TEXAS, SAID 10.07 ACRE TRACT OF LAND IS MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

METES AND BOUNDS DESCRIPTION

BEING LOT 13, BLOCK 39 OF THE SANTA CRUZ GARDENS UNIT NO. 2 IN HIDALGO COUNTY, TEXAS, AND THAT SAME LAND CONVEYED BY THE JERRY WAYNE CONOVER REVOCABLE TRUST TO REBE R. AND NORMA C. OLIVAREZ IN WARRANTY DEED WITH VENDOR'S LIEU DATED MARCH 24, 2016 AND RECORDED IN DOCUMENT NO. 2897826 OF THE OFFICIAL RECORDS OF HIDALGO COUNTY, TEXAS.

BEGING MORE FULLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING: AT A POINT IN THE CENTERLINE OF DAVIS ROAD AND AT THE SOUTHEAST CORNER OF LOT 14, BLOCK 39 OF THE SANTA CRUZ GARDENS UNIT NO. 2, FOR THE SOUTHWEST CORNER OF THIS HEREIN DESCRIBED TRACT;

THENCE: N 08°23'00" E -1661.30 FEET ALONG THE EAST LINE OF SAID LOT 14 AND THE WEST LINE OF THIS HEREIN DESCRIBED TRACT TO A POINT IN THE NORTH LINE OF A DRAINAGE EASEMENT DESCRIBED IN VOLUME 1671, PAGE 194 OF THE DEED RECORDS OF HIDALGO COUNTY, TEXAS, FOR THE NORTHWEST CORNER OF THIS HEREIN DESCRIBED TRACT;

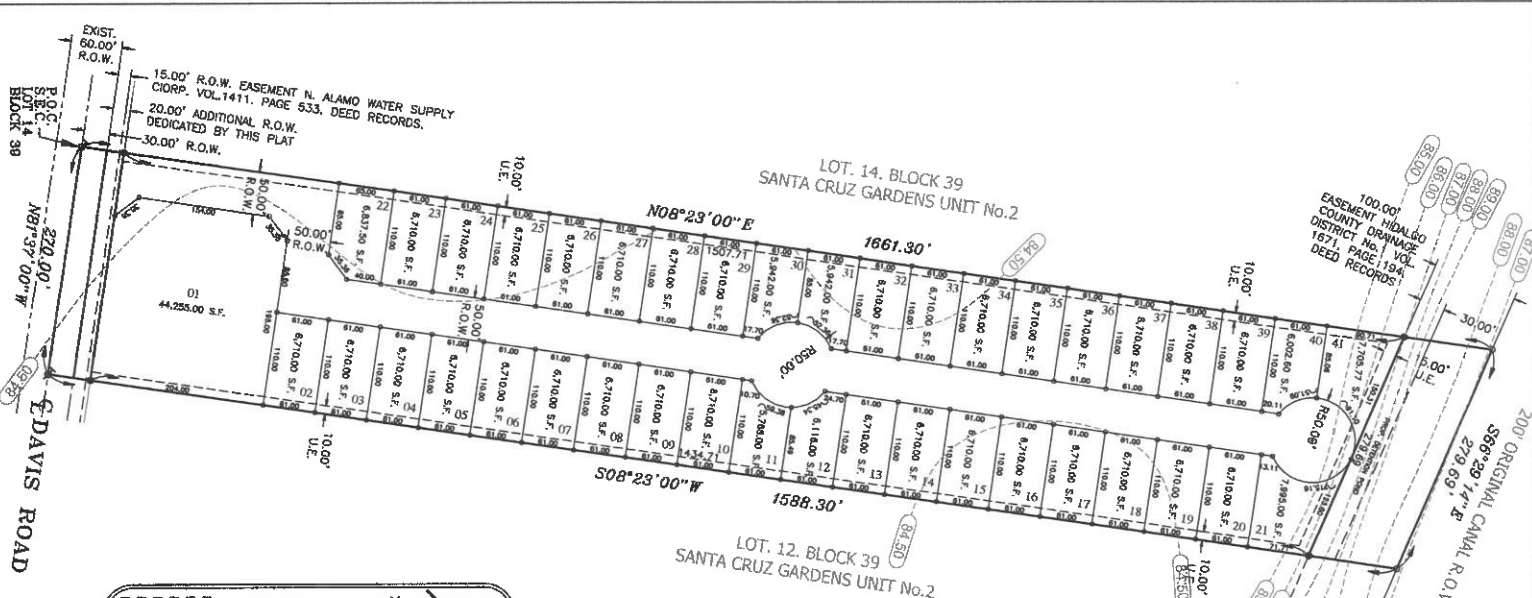
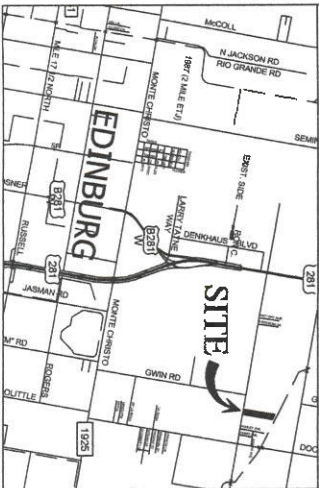
THENCE: S 68°29'14" E -279.69 FEET ALONG THE NORTH LINE OF SAID DRAINAGE EASEMENT AND THE NORTH LINE OF THIS HEREIN DESCRIBED TRACT TO A POINT AT THE NORTHWEST CORNER OF LOT 12, BLOCK 39 OF THE SANTA CRUZ GARDENS UNIT NO. 2, FOR THE NORTHEAST CORNER OF THIS HEREIN DESCRIBED TRACT;

THENCE: S 08°23'00" W -1588.30 FEET ALONG THE WEST LINE OF SAID LOT 12 AND THE EAST LINE OF THIS HEREIN DESCRIBED TRACT TO A POINT AT THE SOUTHWEST CORNER OF SAID LOT 12 AND IN CENTERLINE OF SAID DAVIS ROAD, FOR THE SOUTHEAST CORNER OF THIS HEREIN DESCRIBED TRACT;

THENCE: N 81°37'00" W -270.00 FEET ALONG THE CENTERLINE OF SAID DAVIS ROAD AND THE SOUTH LINE OF THIS HEREIN DESCRIBED TRACT TO THE POINT OF BEGINNING, CONTAINING WITHIN THESE METES AND BOUNDS A 10.07 ACRE TRACT, MORE OR LESS.

GENERAL SUBDIVISION PLAT NOTES.

1. PROPOSED SETBACKS AS PER NEIGHBORHOOD CONSERVATION 5.1:
2. FLOOD ZONE STATEMENT: ZONE "AE" (SHADED), AREAS OF 500-YEAR FLOOD, AREAS OF 100-YEAR FLOOD WITH AVERAGES DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 100-YEAR FLOOD, AS PER COMMUNITY-PANEL NUMBER: 460359 DOTS E LOOK DATE: MAY 14, 2001.
3. BENCH MARK DESCRIPTION: BENCH MARK: EXISTING SANITARY SEWER MANHOLE LOCATED 110.00 FEET FROM THE SOUTHEAST CORNER OF LOT 14, BLOCK 39 OF THE SANTA CRUZ GARDENS UNIT NO. 2 WITH AN ELEVATION OF: 84.30
4. A 3.0 FOOT (3.0') SIDEWALK IS REQUIRED ON ALL INTERNAL STREET AT THE BUILDING PERMIT STAGE.
5. A 5.0 FOOT (5.0') SIDEWALK IS REQUIRED ALONG ROGERS ROAD DURING SUBDIVISION CONSTRUCTION.
6. IN ACCORDANCE WITH THE HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 AND HIDALGO COUNTY REQUIREMENTS, THIS DEVELOPMENT WILL BE REQUIRED TO DETAIN 24,484 CUBIC-FEET OR 0.56 ACRE-FEET OF STORM WATER RUNOFF FOR THIS SUBDIVISION.
7. NO PERMANENT STRUCTURES SHALL BE ALLOWED WITHIN UTILITY EASEMENTS, GAS EASEMENTS, IRRIGATION EASEMENTS AND LOT LINES.
8. ALL LOT CORNERS ARE SET 1/2 INCH IRON RODS, UNLESS OTHERWISE NOTED.
9. ALL CONSTRUCTION SHALL COMPLY WITH STORM WATER POLLUTION PREVENTION PLAN (SWPP) REQUIREMENTS.
10. MINIMUM FINISH FLOOR SHALL BE 24" ABOVE TOP OF CURB OR BASE FLOOD ELEVATION WHICHEVER IS GREATER.
11. A 50% (\$500.0) OF PARK AND LAND FEE WILL BE DUE AT BUILDING PERMIT STAGE FOR RESIDENTIAL LOTS ONLY.
12. ALL WATER AND SANITARY SEWER FEES HAVE BEEN PAID BY DEVELOPER.
13. NO MORE THAN ONE SINGLE FAMILY DETACHED DWELLING SHALL BE LOCATED ON EACH LOT.
14. ALL LOTS SHALL HAVE A POST DEVELOPMENT FINISHED GRADE FROM DE REAR OF THE LOT TO THE CURB AT A 1.0% SLOPE TO ACCOMPLISH POSITIVE DRAINAGE.



LEGEND

- FOUND 1/2" IRON ROD
- SET 1/2" IRON ROD WITH YELLOW CAP STAMPED SEA 5762
- ✕ FIRE HYDRANT
- GUY WIRE
- MH MANHOLE
- PP POWER POLE
- SL SPEED LIMIT WARNING LIGHT
- TP TELEPHONE PESTAL
- WM WATER METER
- WV WATER VALVE
- R.O.W. RIGHT OF WAY
- B-B BACK OF CURB TO BACK OF CURB
- P.O.C. POINT OF COMMENCEMENT
- P.O.B. POINT OF BEGINNING
- H.C.B.R. HIDALGO COUNTY DEED RECORDS
- H.C.B.R. HIDALGO COUNTY MAP RECORDS



OK
INSTRUMENT NUMBER _____ PAGE _____
RECORDED IN VOL. _____
OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS
BY: _____ DEPUTY

RO ENGINEERING, PLLC
ENGINEERING & CONSTRUCTION MANAGEMENT

2705 E. Davis Rd., Suite A
Edinburg, Texas 78540
TYPE Firm Registration No. 12179

STATE OF TEXAS
COUNTY OF HIDALGO

I (WE) AND DESIGNATED HEREIN AS _____ THE UNDERSIGNED OWNER(S) OF THE LAND SHOWN ON THIS SUBDIVISION PLAT, BEING A PART OF THE CITY OF EDINBURG, AND WHOSE NAME IS SUBSCRIBED HERETO, HEREBY DEDICATE TO THE USE OF THE PUBLIC FOREVER ALL STREETS, ALLEYS, PARKS, WATERCOURSES, DRAINS, EASEMENTS AND PUBLIC PLACES THEREON SHOWN FOR THE PURPOSE OF CONSIDERATION THEREIN EXPRESSED.

STATE OF TEXAS
COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED _____ WHOSE NAME IS SUBSCRIBED HERETO, AND ACKNOWLEDGED TO ME THAT THE ENCLOSED THE SAME FOR PURPOSES AND CONSIDERATIONS THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS _____ DAY OF _____, 2021.

NOTARY PUBLIC
MY COMMISSION EXPIRES ON _____ DATE _____

APPROVED BY DRAINAGE DISTRICT NO. 1

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE DRAINAGE DISTRICT NO. 1 REQUIREMENTS AND THAT THE DRAINAGE PLANS HAVE BEEN REVIEWED AND APPROVED BY THE DRAINAGE DISTRICT NO. 1 AUTHORITY. THE DRAINAGE DISTRICT NO. 1 AUTHORITY IS NOT RESPONSIBLE FOR THE SPECIFIC SUBDIVISION BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF DEVELOPER OF THE SUBDIVISION AND HIS ENGINEER TO MAKE THESE DETERMINATIONS.

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1

PAUL E. SESIN, P.E., C.F.M.
GENERAL MANAGER

DATE

STATE OF TEXAS
COUNTY OF HIDALGO

I, _____ A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, HEREBY CERTIFY THAT THIS PLAT IS MADE AND IS PREPARED FROM AN ACTUAL SURVEY ON THE PROPERTY MADE UNDER MY SUPERVISION ON THE GROUND OF THE PROPERTY LEGALLY DESCRIBED HEREON, AND THAT THERE ARE NO APPARENT DISCREPANCIES, CONFLICTS, OVERLAPPING OF IMPROVEMENTS, VISIBLE UTILITY LINES OR ROADS IN PLACE, EXCEPT AS SHOWN ON THE ACCOMPANYING PLAT, AND THAT THE CORNER MONUMENTS SHOWN THEREON WERE PROPERLY PLACED UNDER MY SUPERVISION IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS OF THE CITY OF EDINBURG, TEXAS.

REGISTERED PROFESSIONAL LAND SURVEYOR NO. _____ DATE _____

STATE OF TEXAS
COUNTY OF HIDALGO

I, THE UNDERSIGNED CHAIRPERSON OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF EDINBURG, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT KNOWN AS _____ THIS CITY WHEREIN MY APPROVAL IS REQUIRED AND HAS BEEN APPROVED FOR RECORDING ON THE _____ DAY OF _____, 2021.

PLANNING & ZONING COMMISSION CHAIRPERSON

DATE:

STATE OF TEXAS
COUNTY OF HIDALGO

I, THE UNDERSIGNED MAYOR OF THE CITY OF EDINBURG, TEXAS, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS WITH ALL THE CITY REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THE CITY WHEREIN MY APPROVAL IS REQUIRED.

CITY OF EDINBURG, MAYOR

DATE

CITY SECRETARY

DATE

HIDALGO COUNTY
CERTIFICATE OF PLAT APPROVAL

HIDALGO COUNTY IRRIGATION DISTRICT # 1

NO IMPROVEMENTS OF ANY KIND SHALL BE PLACED UPON HCD NO. 1 RIGHTS-OF-WAY OR EASEMENTS WITHOUT THE EXPRESSED WRITTEN PERMISSION OF THE H.C.I.D. No. 1. THIS PLAT APPROVED BY THE HIDALGO COUNTY IRRIGATION DISTRICT No. 1 ON THIS THE _____ DAY OF _____, 2021.

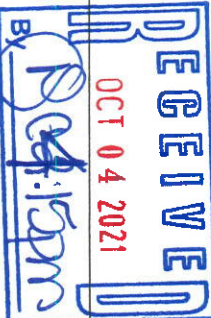
ATTEST: _____ PRESIDENT _____ DATE _____

SECRETARY _____ DATE _____

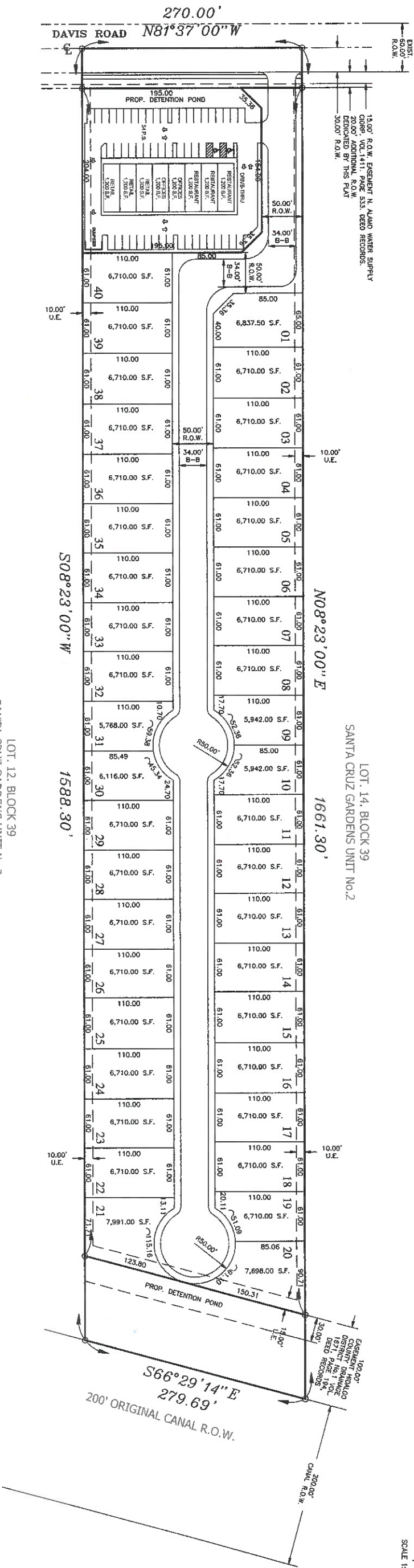
STATE OF TEXAS
COUNTY OF HIDALGO

I, THE UNDERSIGNED _____ RENE OLIVAREZ _____ A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN TO THIS PLAT.

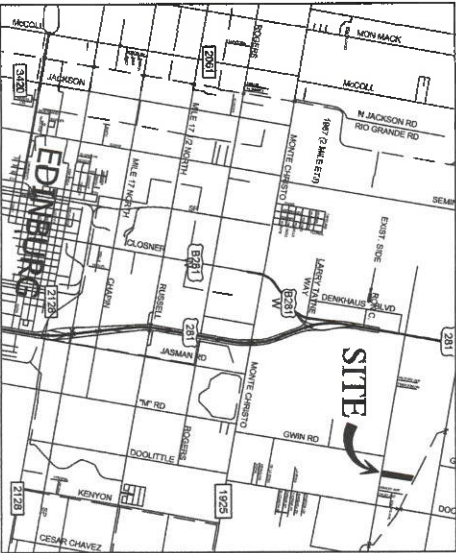
LICENSED PROFESSIONAL ENGINEER NO. _____ P.E. _____ DATE _____
2705 E. DAVIS RD. SUITE A
EDINBURG, TEXAS 78540



CITRUS GARDENS SUBDIVISION
EDINBURG, TEXAS



VICINITY MAP



PROJECT LOCATION
2705 E. DAVIS RD.
EDINBURG, TX 78540

LOT 12, BLOCK 39
SANTA CRUZ GARDENS UNIT No.2

LOT 14, BLOCK 39
SANTA CRUZ GARDENS UNIT No.2

PRELIMINARY, FOR CITY REVIEW ONLY



PROJECT NAME CITRUS GARDENS SUBDIVISION		PROJECT LOCATION 2705 E. DAVIS RD. EDINBURG TX 78540		CLIENT INFORMATION:	
NO.		DATE		DESCRIPTION	
PROJECT NO.: 2011		DRAWN BY: L.J.H.		CHECKED BY: R.O.	
REVISION: 1		SHEET TITLE:		C-1	
SHEET		Site Plan		RO ENGINEERING, PLLC	
ENGINEERING & CONSTRUCTION MANAGEMENT		2705 E. Davis Rd., Suite A Edinburg, Texas 78540 TBPCE Firm Registration No. 12179			

**SUBDIVISION WITHIN CITY LIMITS CHECK LIST
SUBDIVISION PROCESS**
PRELIMINARY STAGE

PLANNING & ZONING DEPARTMENT (956) 388-8202

 Date : **November 5, 2021**

 Date: November 3, 2021
 Filed: **October 4, 2021**

 P&Z Preliminary: **November 9, 2021**

P&Z Final: _____

City Council: _____

 Reviewed By: **Abel Beltran, Subd. Coord.**
abeltran@cityofedinburg.com

 Staff Review : **October 21, 2021**
 Staff / Engineer : **October 28, 2021**

 Time Line : **365** Days
 1st Extension : **0** Days
 2nd Extension : **0** Days

 Expires : _____
 Expires 1: _____
 Expires 2: _____

 Planning & Zoning Department:
 Utility Department
 Director of Public Works
 Director of Engineering

 Kimberly A. Mendoza, MPA
 Gerardo Carmona, P.E.
 Vincent Romero
 Mardoqueo Hinojosa, P.E., CPM

 Email : kmendoza@cityofedinburg.com
 Email : gcarmona@cityofedinburg.com
 Email : layala@cityofedinburg.com
 Email : mhinojosa@cityofedinburg.com

 City Office #: (956) 388-8202
 City Office #: (956) 388-8212
 City Office #: (956) 388-8210
 City Office #: (956) 388-8211

Owner:	Rene R. & Norma C. Olivrez			3620 Ida Street, Edinburg, TX 78539		Rene R. Olivarez, P.E. Project Engineer	
CITRUS GARDENS SUBDIVISION				Consultant : RO ENGINEERING, PLLC.			
DESCRIPTION			Provided	Need to Provide	Not Applicable	Need to Revise	COMMENTS

Subdivision Process:

Subdivision Plat Submittal	✓				
Warranty Deed	✓				
Topography Survey	✓				
Drainage Report Submittal (As Per City Drainage Policy)	✓				Approved by H.C.D.D.#1 Date: Pending Approval
Zoning : City Limits - Commercial General	✓				
Flood Zone	✓				Zone "X" (Un-Shaded)

Preliminary Submittals:

Existing & Proposed Water Distribution Layout	✓				North Alamo Water Supply Corporation - Distribution System
Water Distribution System Provider:	✓				North Alamo Water Supply Corporation - Distribution System
Existing & Proposed Sewer Collection Layout	✓				City of Edinburg Sanitary Sewer Collection System
Sanitary Sewer Collection System Provider:	✓				City of Edinburg Sanitary Sewer Collection System
Existing and Proposed Drainage Layout System:	✓				Private Drainage System onto H.C.D.D. # 1
MPO Collector / Arterial Right-of-way Dedication	✓				Proposed Private Streets
Minor / Major Collector Street Pavement Section	✓				In Accordance to Standard Street Policy
Variances Appeals Request: (Date)	✓				Planning & Zoning Meeting Results City Council Meeting
Street Widening Improvements (50-ft. ROW, 20-ft. EP-BC)		✓			
Street 5-ft Sidewalk Improvements		✓			
Drainage Improvements	✓				

Construction Plans Review Submittals:

(See Section 4 Construction Plans Submittals Policy, 2014 STANDARD POLICY MANUAL)

Cover Sheet		✓			
Topography Sheet (Utilities, Bench Marks)		✓			
Sanitary Sewer Improvements: On-Site & Off-Site		✓			City of Edinburg Sanitary Sewer Standard Policy's
Sanitary Sewer Detail Sheets		✓			See Section 3 Utility Policy, 2014 Standard Policy Manual
Water Distribution Improvements: On-Site & Off-Site		✓			North Alamo Water Supply Standard Policy's
Water Distribution Detail Sheet (Fire Hydrant Assembly)		✓			See Section 3 Utility Policy, 2014 Standard Policy Manual
Drainage Improvements:		✓			
Drainage Detail Sheets		✓			See Section 1 Drainage Policy, 2014 Standard Policy Manual
Minor/Major Collector Streets Improvements:		✓			See Section 2 Streets Policy, 2014 Standard Policy Manual
Street Sign Sheet:		✓			
Street Detail Sheets		✓			See Section 2 Streets Policy, 2014 Standard Policy Manual
Street Lighting Sheet:		✓			
Traffic Control Plan:		✓			
Erosion Control Plan		✓			
Erosion Control Plan Detail Sheet		✓			See Storm Water Management, 2014 Standard Policy Manual

DESCRIPTION	Provided	Need to Provide	Not Applicable	Need to Revise	COMMENTS
-------------	----------	-----------------	----------------	----------------	----------

Pre-Construction Meeting:

Notice To Proceed		✓			Dated: Issued By Engineering Dept.
Roadway Open-Cut or Bore Permit Application		✓			Dated:
TX-Dot Water UIR Permit			✓		County Road
TX-Dot Sewer UIR Permit			✓		County Road
N.O.I. Submittal		✓			Dated:
SWPP Booklet Submittal		✓			Dated:
RFI #1 Request		✓			Dated:
Change Orders		✓			Dated:
Final Walk Though		✓			Dated:
Punch List		✓			Dated:
Punch List (Completed and Approved)		✓			Dated:
Letter of Acceptance		✓			Dated:
1-year Warranty (Water/Sewer/Paving/Drainage)		✓			Dated:
Backfill Testing Results		✓			Dated:
As-Builts (Revised Original Submittal)		✓			Dated:

Recording Process:

Public Improvements with (Letter of Credit)		✓			Dated: Expires:
Recording Fees	\$ 106.00	✓			As required by County Clerks office
Copy of H.C.D.D. #1 of invoice	\$ 250.00	✓			Required to be paid prior to Final Stages
Street Light Escrow	\$ -	✓			Required: 0 EA. @ \$ -
Street Escrow Estimate (Davis Road)	\$ 19,338.75	✓			Required: 270 EA. @ \$ 71.63
Sidewalk Escrow Estimate: (Davis Road)	\$ 4,950.00	✓			Required: 198 LF @ \$ 25.00
TOTAL OF ESCROWS:	\$ 24,288.75				
Total Developer's Construction Cost: (Letter of Credit)					Date : Lender :
Laboratory Testing Fee: 3%	\$ 728.66	✓			\$ 24,288.75 Estimated Construction Cost
Inspection Fee: 2%	\$ 485.78	✓			\$ 24,288.75 Final Construction Cost
Park Land Fees: Park Zone # 6	\$ 24,000.00		✓		40 Lots @ \$ 600.00 Full rate within the ETJ
0 Residential \$ -	\$ -	✓			50% Development 50% Building Stage
0 Multi-Family \$ -	\$ -		✓		0% Development 0% Building Stage
Water Rights: NAWSC - CCN	\$ -		✓		9.120 Acres \$ -
Water 30-year Letter (Residential)	\$ 205.00	✓			41 Lots @ \$ 5.00 NAWSC WATER-CCN
Water 30-year Letter (Multi-Family)	\$ -		✓		0 Lots @ \$ -
Sewer 30-year Letter COE - CCN	\$ 3,690.00	✓			41 Lots @ \$ 90.00 COE SEWER-CCN
TOTAL OF FEES:	\$ 28,380.78				

Reimbursements:

Developer Sewer Improvements	\$ -		✓		Off-Site System: 0.000 AC \$ -
Developer Water Improvements	\$ -		✓		Off-Site System 0.00 AC \$ -
TOTAL OF REIMBURSEMENTS:	\$ -				

Buyouts:

North Alamo Water Supply Corporation	\$ -	✓			Required Buyout 0.00 AC. \$ -
Sharyland Water Supply Corporation			✓		Not Applicable

Tax Certificates

County of Hidalgo / School District		✓			
Water District		✓			Hidalgo County Irrigation District # 1

Total of Escrows, Fees, Reimbursements and Buyouts:

Escrows	\$ 24,288.75	Street & Sidewalk Improvements for Trenton Road (Not Required)
Inspections other Fees	\$ 28,380.78	Parkland Fees, Water/Sewer 30-year Agreement/Water Rights
Reimbursements	\$ -	Reimbursement to the Developer of Subdivision
City of Edinburg	\$ -	15% Payable to the City of Edinburg for Administrative Fee
To the Developer of Record	\$ -	85% Payable to the Developer of Record Owner / Developer
Buyouts	\$ -	Based on Subdivision (Need Request and Approval rate from ? Broad)
TOTAL :	\$ 52,669.53	Developer Total Cost of Fees, Escrows, Reimbursements & Buyouts

STAFF REPORT: THE HEIGHTS ON TRENTON PHASE II SUBDIVISION

November 4, 2021

Planning and Zoning Meeting: November 9, 2021

Agenda Item: 6C Preliminary Plat

Subject: Consider the Preliminary Plat of **THE HEIGHTS ON TRENTON PHASE II SUBDIVISION**, being a 33.58 acre tract out of Lot 15, Block 55, Alamo Land and Sugar Company's Subdivision, located at 3501 E. Trenton Road, as requested by Quintanilla, Headley and Associates, Inc.

Location: The property is located on the north side of Trenton Road, approximately 3,500 ft. east of Raul Longoria Road (FM 1426) and is within the City of Edinburg's City Limits.

Zoning: Neighborhood Conservation 5 (NC5) District.

Analysis The Preliminary Plat proposes a single-family residential development with a total of one-hundred and seventy-nine (179) lots averaging approximately 6,200 sq. ft. Setbacks are as follows; Front 25 ft., Side 6 ft., Rear 20 ft.

Utilities: Water Distribution System is within North Alamo Water Supply Corporation - CCN service area, and Sanitary Sewer Collection System is within the City of Edinburg - CCN service area. All utility improvements within the proposed subdivision that are not limited to water, sewer, curb and gutter, fire hydrants, will be installed by the developer in accordance with the approved 2014 Standards Manual.

Recommendations:

City of Edinburg Planning & Zoning Department:

Staff recommends approval of the Preliminary Plat, subject to the compliance with the Unified Development Code, General Notes; on FEMA flood zone, zoning setbacks, finish floor elevation, benchmark, drainage detention, parkland fees, limited access, SWP3 requirements, sidewalks, and other notes as required based on development.

City of Edinburg Engineering / Utilities Department:

Preliminary Phase Submittal comments for this subdivision are included in the packet. As per Engineering, the plat shall be Preliminarily Approved until all comments have been addressed by the project engineer.



City of Edinburg Fire Department:

The following are the preliminary phase submittal comments as noted by the Fire Department:

1. Provide street names to the City of Edinburg Engineering Department for approval.
2. Fire lane 15 ft. in width shall be painted in front of all fire hydrants.
3. Provide double face blue fire hydrant street marker on center on the street in front of the fire hydrant.
4. Fire hydrant shall be every 600 ft. for one and two family dwellings as per Section 507.5.1 of 2012 IFC.
5. All streets should be 32 ft. B-B paving section according to Table 8.204 of the Edinburg Unified Development Code.

City of Edinburg Storm Water:

The following are the preliminary phase submittal comments as noted by Storm Water

1. **SW3P** (Stormwater Pollution Prevention Plan)
2. **NOI** (Notice of Intent, Per TCEQ)
3. **Large Construction Notice** (Per TCEQ Inventory)
4. **Detailed Erosion Control Plan** (Silt Fence, Construction Entrance, Inlet Protection, Concrete Washout)
5. **Detailed Post Construction BMP's Plan** (70% Vegetation or Silt Fence back of curb)
6. **Plat Note** (All construction shall comply with Stormwater Pollution Prevention Plan (SW3P) requirements. Erosion and Sedimentation Controls constructed in accordance with the Stormwater Ordinance 98.30 of the City of Edinburg are required for all construction on each lot including single family and duplex/multi-family construction)
7. **NOT** (Notice of Termination, Per TCEQ) will now be required before the final walk through.
8. **Comments:**
 - SW3P Plat note has been revised. Please see the note for your reference.
 - NOT will need to be submitted before the final walk through.
 - Stormwater is now requiring a Post Construction Plan on plans that are submitted, either 70% vegetation or Install Silt Fence behind the back of curb.
 - Silt Fence around the entire project.
 - Large Construction Notice needs to be submitted with contractors contact information.
 - All items must be submitted before the NTP is issued.
 - Please email pending items to rvalenzuela@cityofedinburg.com

City of Edinburg Solid Waste:

Single Family Residential Development is within City of Edinburg City Limits.



ENGINEERING DEPARTMENT

Preliminary Staff Review

October 28, 2021

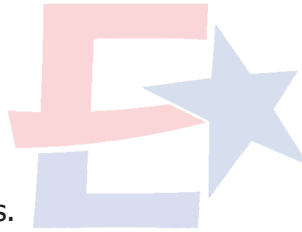
Alfonso Quintanilla, P.E.

Quintanilla, Headley and Associates
124 E. Stubbs St.
Edinburg, TX 78539
(956) 381-6480

RE: THE HEIGHTS ON TRENTON PHASE II – PRELIMINARY REVIEW

Mr. Quintanilla,

Attached are the Preliminary Phase Submittal comments for The Heights on Trenton Phase II Subdivision. Comments shall be addressed for Preliminary Approval.



Any questions feel free to contact us.

Thanks,

Digitally signed by Peter
Hermida
Date: 2021.10.28
11:56:13 -05'00'

Peter Hermida E.I.T.

Email: phermida@cityofedinburg.com

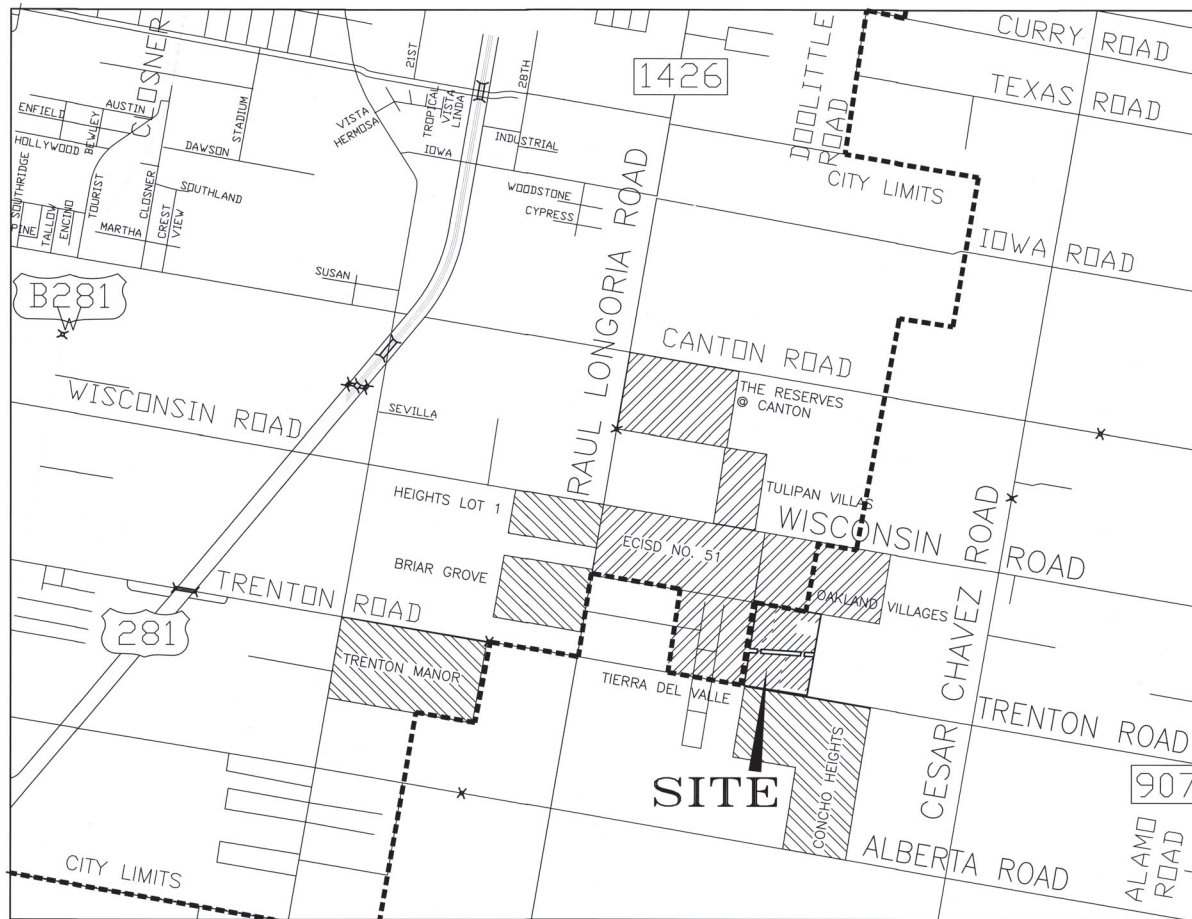
415 W. University Drive
Edinburg, Texas 78539

Cc: Mardoqueo Hinojosa, P.E., CFM, City Engineer, Patrizia Longoria, Engineer III, Roberto Hernandez, Engineer I, Abel Beltran, Planner I, Vince Romero, Director of Public Works, Robert Valenzuela, Storm Water Specialist, Kimberly Mendoza, Director of Planning and Zoning, Rita Lee Guerrero, Planner I, Jaime Xavier Ayala, Planner II, Gerardo Carmona P.E., Director of Utilities, Jose Flores, Systems Superintendent, Omar Garza, Fire Marshal, Ramiro Gomez, Director of Solid Waste

REFERENCES:

City of Edinburg – 2014 Standard Manual – Construction and Development Requirements;
Unified Development Code; and if required a TX-Dot Permitting UIR permitting process.

THE HEIGHTS ON TRENTON SUBDIVISION PHASE II WATERLINE, SANITARY SEWER, PAVING & DRAINAGE SYSTEMS CONSTRUCTION SET



LOCATION MAP

SCALE 1" = 2000'



QUINTANILLA, HEADLEY AND ASSOCIATES, INC.

CONSULTING ENGINEERS
124 E. STUBBS ST.
EDINBURG, TEXAS 78539
REGISTRATION NUMBER F-1513

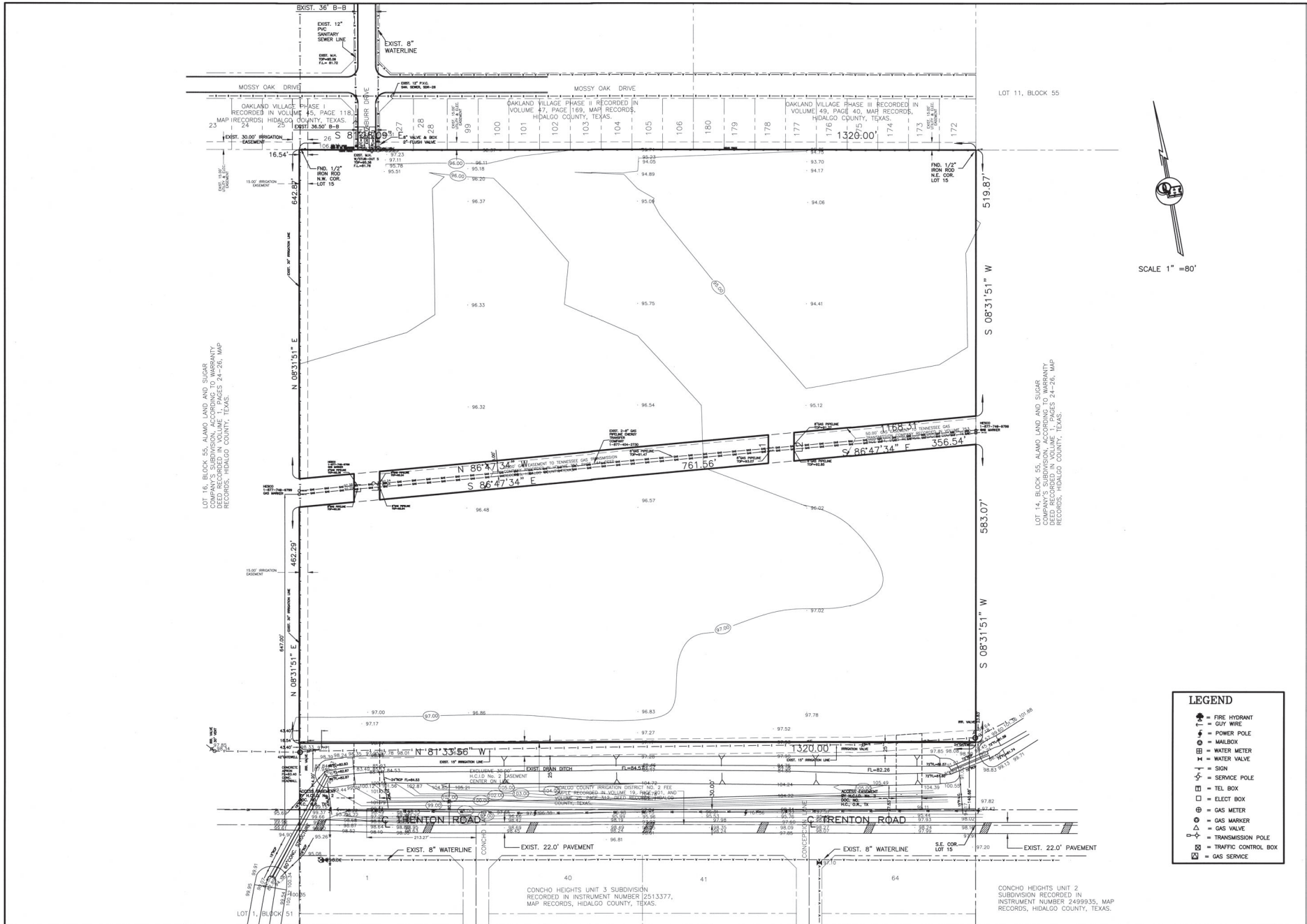
LAND SURVEYORS
PHONE 956-381-6480
FAX 956-381-0527
ALFONSO@QHA-ENG.COM



Alfonso Quintanilla P.E.
ALFONSO QUINTANILLA
P.E. No. 95534

10-1-21
DATE

SHT. 1

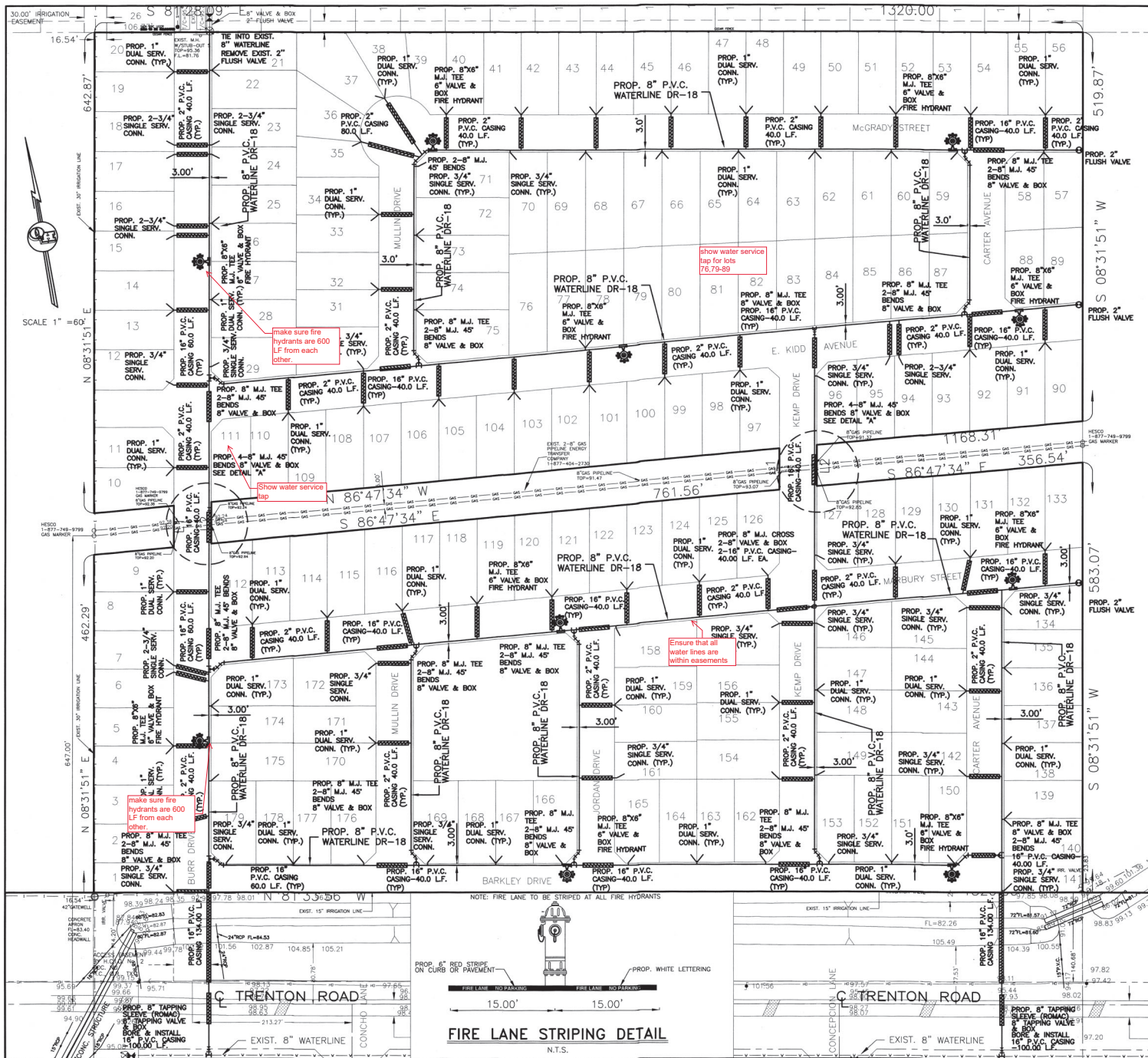


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DATE 10-08-19
REVISION _____
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SHEET _____

**THE HEIGHTS AT TRENTON
PHASE II
EXISTING TOPOGRAPHY
LAYOUT**



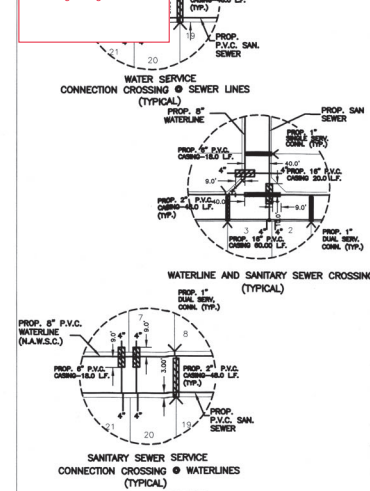
QUINTANILLA, HEADLEY AND ASSOCIATES, INC.
CONSULTING ENGINEERS
LAND SURVEYORS
124 E. STUBBS ST.
PHOENIX, ARIZONA 85003
PHONE 956-381-6480
FAX 956-381-0527
E-MAIL QH&A@QHA-INC.COM
SURVEYING REGISTRATION NUMBER 100411-00



- NOTES:**
- 1.- ALL WATERLINES SHALL HAVE MIN. 3.0' COVER.
 - 2.- ALL UTILITIES WITHIN ROW'S REQUIRES AND MUST PASS DENSITY TESTING.

NAWVC CCN

1. Please provide station numbers for all utility. This will help construction inspectors in the field when doing testing.



NOTE:

- 1.- WATERLINE CASING AT SANITARY SEWER CROSSING SHALL BE EXTENDED 9.0' BEYOND SEWER LINE AND ON THE OPPOSITE SIDE OF PAVEMENT @ CROSSING.
- 2.- ALL WATERLINE SERVICES CONNECTIONS CASINGS SHALL HAVE A 1.00' GAP FROM LOT LINE AT SANITARY SEWER CROSSING
- 3.- SANITARY SERVICE CASING @ WATERLINE CROSSING SHALL BE PLUG AT BOTH ENDS WITH 1/2 GROUT - 1/2 SAND MIXTURE.
- 4.- SANITARY LINE AT WATERLINE CROSSING SHALL BE EXTENDED 9.0' BEYOND WATERLINE AND ON THE OPPOSITE SIDE OF PAVEMENT @ CROSSING.

LEGEND

- ⊕ = FIRE HYDRANT
- = GUY WIRE
- ⊙ = POWER POLE
- ⊙ = MAILBOX
- ⊙ = WATER METER
- ⊙ = WATER VALVE
- ⊙ = SIGN
- ⊙ = SERVICE POLE
- ⊙ = TEL. BOX
- ⊙ = ELECT. BOX
- ⊙ = GAS METER
- ⊙ = GAS MARKER
- ⊙ = GAS VALVE
- ⊙ = TRANSMISSION POLE
- ⊙ = TRAFFIC CONTROL BOX
- ⊙ = GAS SERVICE

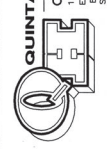
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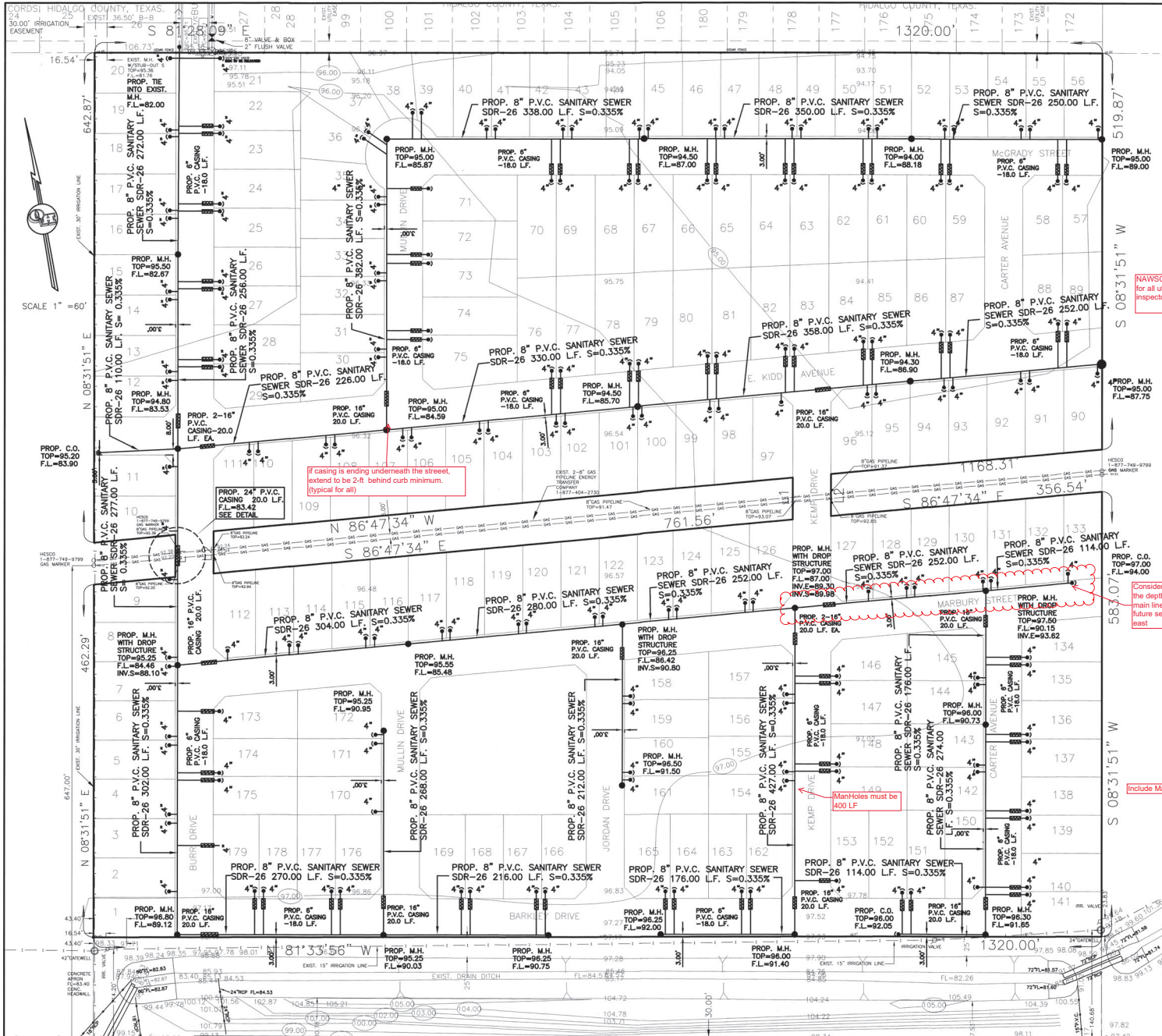
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DATE REVISION	DATE REVISION	DATE REVISION	DATE REVISION

**THE HEIGHTS AT TRENTON
PHASE II
WATER DISTRIBUTION SYSTEM**



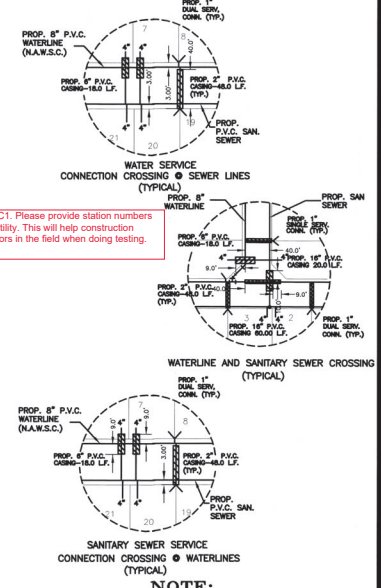
QUINTANILLA, HEADLEY AND ASSOCIATES, INC.
LAND SURVEYORS
CONSULTING ENGINEERS
PHYSICAL ADDRESS: 785.39 EDINBURG, TEXAS 78539
PHONE: 936-381-0527
FAX: 936-381-0527
ALPHONSO@QHA-ENG.COM
SUNSHINE REGISTRATION NUMBER: 150411-00



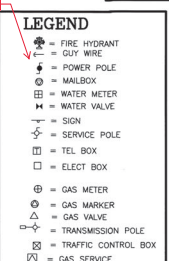


NOTES:

- 1.- ALL WASTEWATER LINES SHALL HAVE MIN. 3.0' COVER.
- 2.- ALL UTILITIES WITHIN ROW'S REQUIRES AND MUST PASS DENSITY TESTING.



- NOTE:**
- 1.- WATERLINE CASING AT SANITARY SEWER CROSSING SHALL BE EXTENDED 9.0' BEYOND SEWER LINE AND ON THE OPPOSITE SIDE OF PAVEMENT CROSSING.
 - 2.- ALL WATERLINE SERVICES CONNECTIONS CASINGS SHALL HAVE A 1.00' GAP FROM LOT LINE AT SANITARY SEWER CROSSING
 - 3.- SANITARY SERVICE CASING WATERLINE CROSSING SHALL BE PLUG AT BOTH ENDS WITH 1/2 GROUT - 1/2 SAND MIXTURE.
 - 4.- SANITARY LINE AT WATERLINE CROSSING SHALL BE EXTENDED 9.0' BEYOND WATERLINE AND ON THE OPPOSITE SIDE OF PAVEMENT CROSSING.



SHT. 5

THE HEIGHTS AT TRENTON

PHASE II

SANITARY SEWER COLLECTION SYSTEM

QUINTANILLA, HEADLEY AND ASSOCIATES, INC.

LAND SURVEYORS

124 E. STUBBS ST.

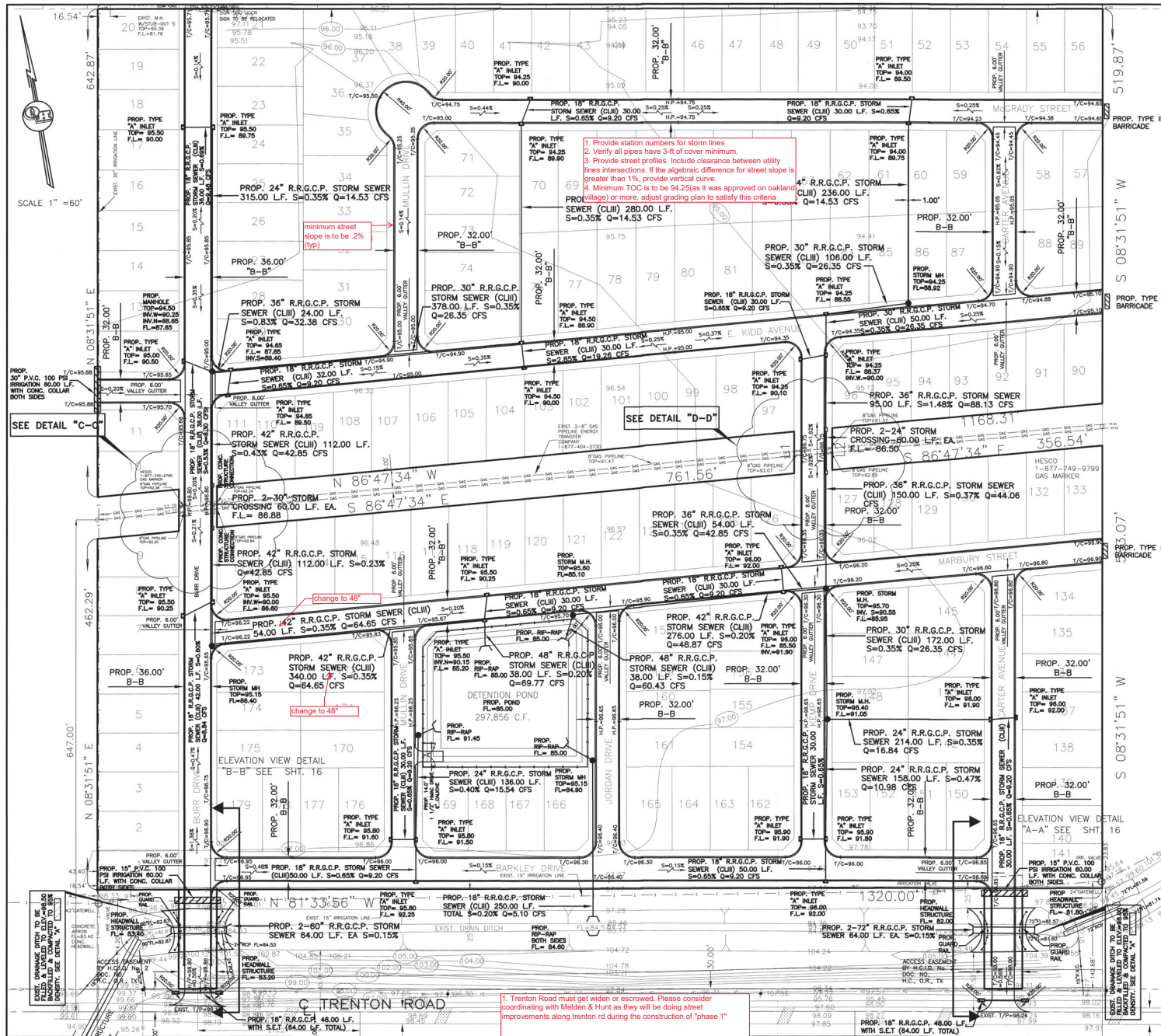
EDINBURG, TEXAS 78539

PHONE 956-381-6490

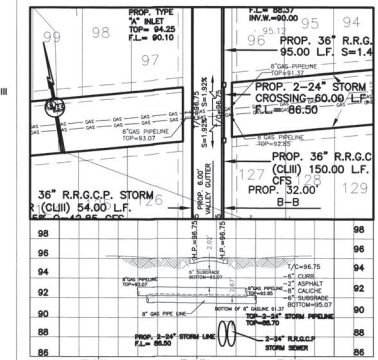
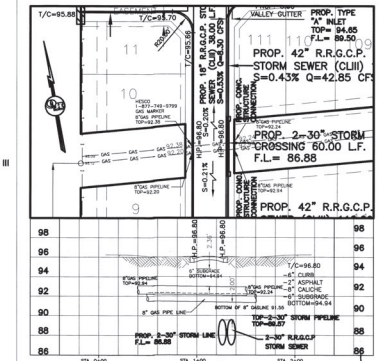
FAX 956-381-0527

ALFONSO@QHA-ENG.COM

SURVEYING REGISTRATION NUMBER 100411-09



- NOTES:
- 1.-DIRT REMOVED FROM DRAIN DITCH BER'S SHALL BE SPREAD AT LOCATION DETERMINED BY ENGINEER. ALL LOTS TO HAVE POSITIVE GRADE TO THE STREETS.
 - 2.-ALL MATERIALS SHALL BE DOMESTIC.
 - 3.-ALL PIPES WITHIN ROW MUST PASS DENSITY TESTING AND HAVE MIN. 3.0' OF COVER. CEMENT STABILIZED BACKFILL WILL BE REQUIRED IN AREAS LESS THAN 3.0' OF COVER
 - 4.-ALL RING AND COVERS SHALL BE AT LEAST 32" IN DIAMETER AND THE COVERS SHALL HAVE THE CITY OF EDINBURG LOGO.



- LEGEND
- = FIRE HYDRANT
 - = CUT WIRE
 - = POWER POLE
 - = MAILBOX
 - = WATER METER
 - = WATER VALVE
 - = SIGN
 - = SERVICE POLE
 - = TEL BOX
 - = ELECT BOX
 - = GAS METER
 - = GAS MARKER
 - = GAS VALVE
 - = TRANSMISSION POLE
 - = TRAFFIC CONTROL BOX
 - = GAS SERVICE

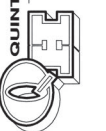
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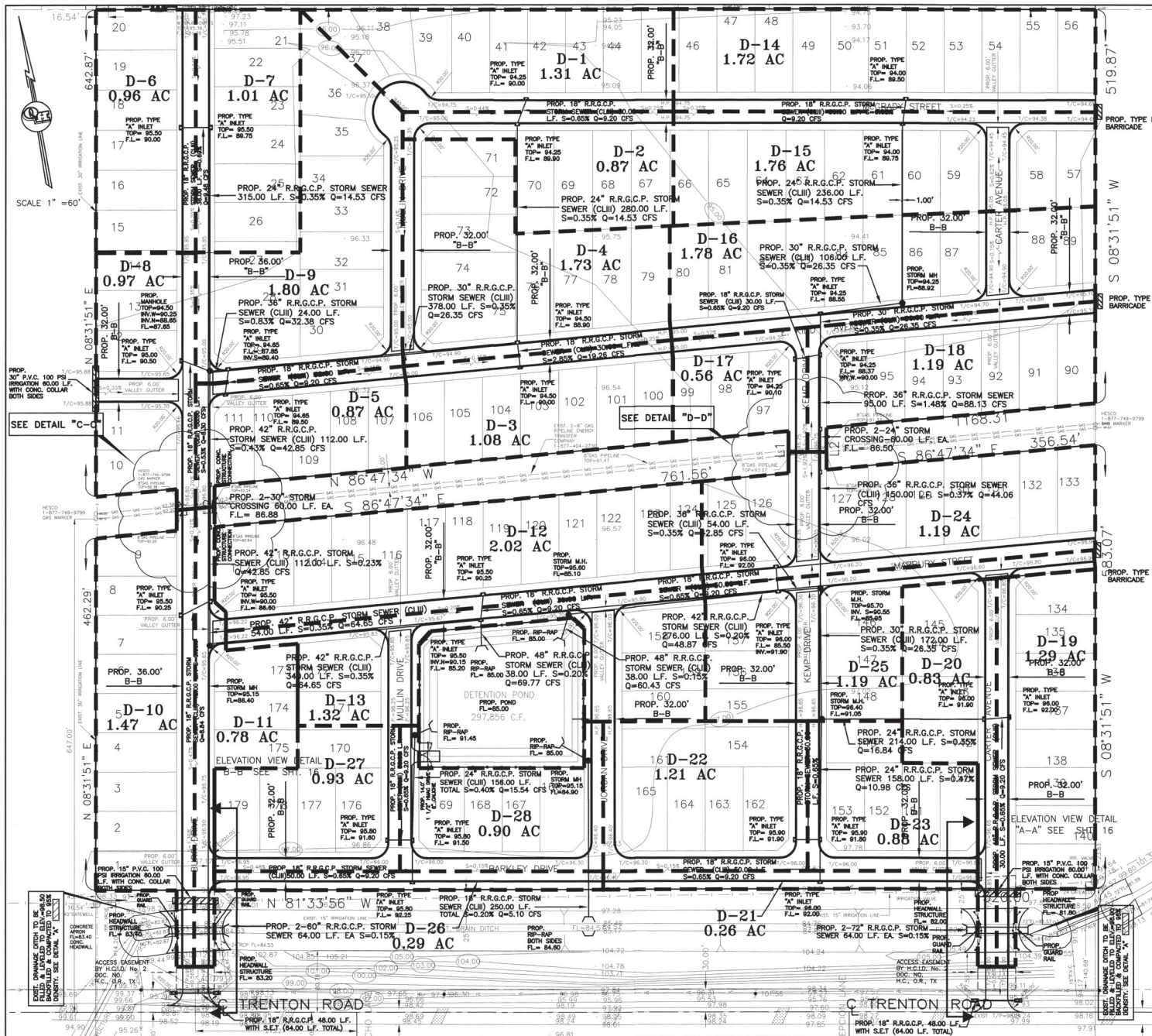
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DATE 08/25/2021
REVISION
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SHEET

THE HEIGHTS AT TRENTON
PHASE II
PAVING AND DRAINAGE LAYOUT



QUINTANILLA, HEADLEY AND ASSOCIATES, INC.
LAND SURVEYORS
CONSULTING ENGINEERS
PHYSICAL ADDRESS: 1513 EDINBURG, TEXAS 78639
PHONE: 936-381-0527
FAX: 936-381-0527
ALFONSO@QHA-ENG.COM
SURVEYING REGISTRATION NUMBER 10011-00



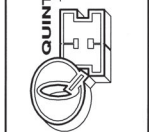


DATE	08/25/2021
REVISION	
SCALE	1"=60'
DRAWN BY	JD
SHEET	

THE HEIGHTS AT TRENTON PHASE II DRAINAGE AREAS



QUINTANILLA, HEADLEY AND ASSOCIATES, INC.
LAND SURVEYORS
CONSULTING ENGINEERS
2444 W. UNIVERSITY BLVD., SUITE 100
DALLAS, TEXAS 75239
PHONE: 972-381-1333
FAX: 972-381-0327
ALFONSO@QHA-ENG.COM
SURVEYING REGISTRATION NUMBER 100411-00



LEGEND	
	FIRE HYDRANT
	MANHOLE
	WATER METER
	SIGN
	SERVICE POLE
	TEL. BOX
	ELECT. BOX
	GAS METER
	GAS MARKER
	GAS VALVE
	TRANSMISSION POLE
	GAS SERVICE

DATE PREPARED: 08/25/2021
DATE REVISION: 08/25/2021
CHECKED BY: [Signature]
APPROVED BY: [Signature]

NOTES: EROSION CONTROL

- 1.- ALL NON-PAVED DISTURBED AREAS SHALL BE HYDRO-MULCH SEED FOR EROSION PROTECTION IMMEDIATELY UPON COMPLETION OF FINAL GRADING, ALL AREAS DISTURBED AFTER INITIAL SEEDING BY EROSION OR CONSTRUCTION SHALL BE RESEED.
- 2.- STOCKPILE TOPSOIL FROM SITE AT DESIGNATED AREA.
- 3.- CONTRACTOR SHALL COORDINATE ALL WORK THIS CONTRACT WITH ALL WORK BY OTHERS (ENTRY ROAD AND UTILITIES TO SITE) WHICH MAY OR MAY NOT OCCUR DURING THE CONSTRUCTION CONTRACT PERIOD.
- 4.- CONSTRUCT TEMPORARY CONSTRUCTION ENTRANCES AND PROJECT SITE FIELD OFFICE AND CONSTRUCTION AREA (ALL WEATHER SURFACE, CALICHE PAVING).
- 5.- CONSTRUCT TIRE WASH AREAS AT CONSTRUCTION EXIT MINIMUM SURFACE SHALL BE 1" H.M.A.C.. TIRE WASH AREA TO DRAIN INTO EXISTING DITCH.
- 6.- CONSTRUCT TEMPORARY SEDIMENT TRAPS AND BASINS AS SHOWN ON THE PLAN.
- 7.- CONSTRUCT TEMPORARY SILT FENCES AS SHOWN ON THE PLAN.
- 8.- CONSTRUCT/INSTALL PIPE CULVERTS AND STORM SYSTEMS TO ALLOW SILT TRAPS TO FUNCTION AS DESIGNED.

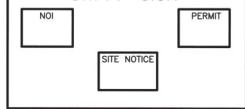
NOTES: POLLUTION PREVENTION

- 1.- CONTRACTOR SHALL REMOVE SILT DEPOSITS FROM ROADWAY ON A DAILY BASIS OR AS DIRECTED BY PROJECT ENGINEER.
- 2.- CONTRACTOR SHALL CONTROL DUSTING BY WATERSPRINKLING.
- 3.- CONTRACTOR SHALL HYDROMULCH SEED OR SOD AS INDICATED ON THIS SHEET AND PAVEMENT TYPICAL SECTION, ALL DISTURBED AREAS UPON ACCEPTANCE OF GRADING.
- 4.- CONTRACTOR SHALL KEEP LOG OF SITE RAINFALL & SWSP MAINTENANCE AS CALLED FOR IN THE NOTICE OF INTENT.

LEGEND

- [I] INLET
- [IP] INLET PROTECTION BARRIER
- [HS] HYDROMULCH SEEDING
- [SC] STABILIZED CONSTRUCTION EXIT
- [F] FILTER FABRIC FENCE
- [RF] REINFORCED FILTER FABRIC BARRIER

SWPPP SIGN



MINIMUM SIGN SPECIFICATION: 5 Acres or Greater Sites

SIGN: EXTERIOR GRADE 1/4 INCH PLYWOOD, CUT 4'x4' WITH RED PAINTED LETTERS, BACKGROUND PAINTED WHITE-DISPLAY ON CONSTRUCTION FENCE AT MAIN ENTRANCE TO PROJECT SITE

SWPPP: 10 INCH PAINTED LETTERS, 3 INCHES FROM TOP OF SIGN.

CONTRACTOR OWNER: 3 INCH PAINTED LETTERS, 4 INCHES BELOW SWPPP LETTERS, CENTERED ON EACH HALF OF SIGN.

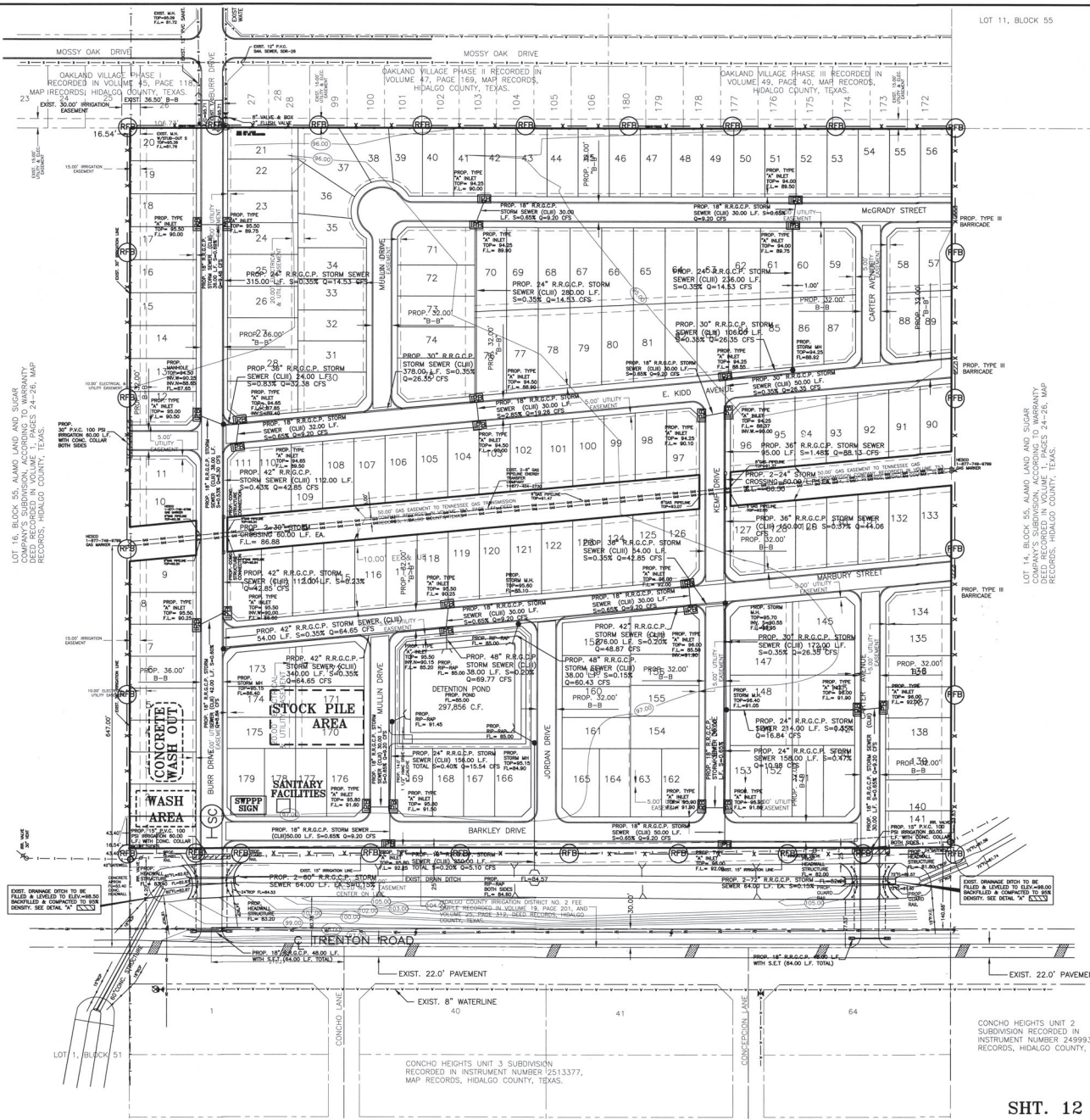
NOI, PERMIT CONTACT: 8-1/2 x 11 TCO FORMS, LAMINATED BEYOND EDGES OF DOCUMENTS, STAPLED TO PLYWOOD.

TEMPORARY STORM WATER POLLUTION CONTROL

LEGEND

- [F] FIRE HYDRANT
- [G] GUY WIRE
- [P] POWER POLE
- [M] MAILBOX
- [W] WATER METER
- [V] WATER VALVE
- [S] SIGN
- [T] TEL. BOX
- [E] ELECT. BOX
- [G] GAS METER
- [G] GAS MARKER
- [T] TRANSMISSION POLE
- [X] TRAFFIC CONTROL BOX
- [G] GAS SERVICE

SCALE 1" = 80'



LOT 11, BLOCK 55

LOT 16, BLOCK 55, ALAMO LAND AND SUGAR COMPANY'S SUBDIVISION, ACCORDING TO WARRANTY DEED RECORDED IN VOLUME 1, PAGES 24-26, MAP RECORDS, HIDALGO COUNTY, TEXAS.

LOT 14, BLOCK 55, ALAMO LAND AND SUGAR COMPANY'S SUBDIVISION, ACCORDING TO WARRANTY DEED RECORDED IN VOLUME 1, PAGES 24-26, MAP RECORDS, HIDALGO COUNTY, TEXAS.

CONCHO HEIGHTS UNIT 2 SUBDIVISION RECORDED IN INSTRUMENT NUMBER 249993 RECORDS, HIDALGO COUNTY, TEXAS.

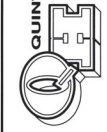
SHT. 12

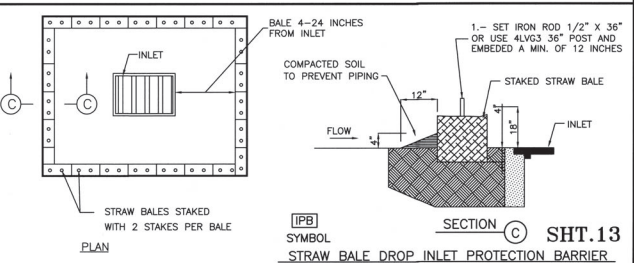
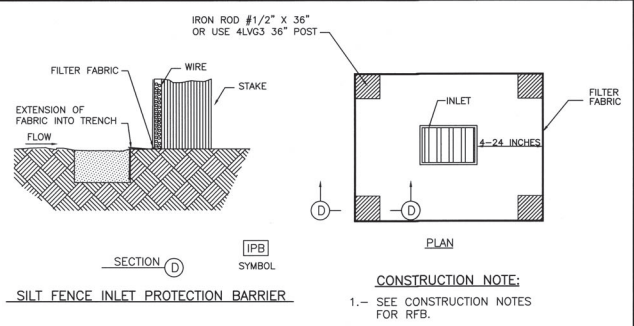
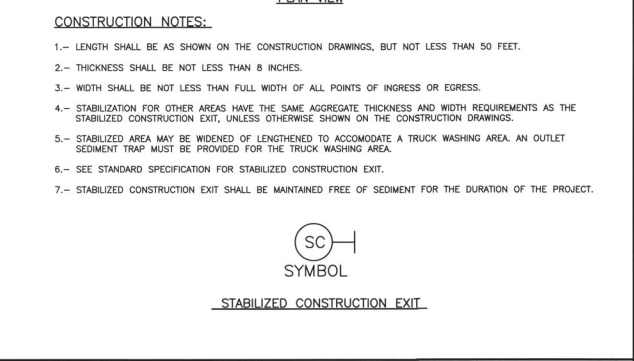
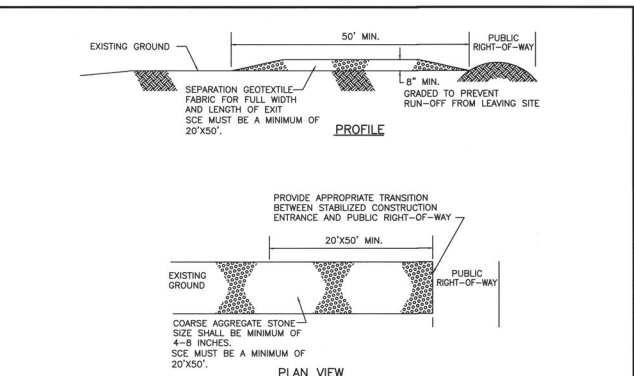
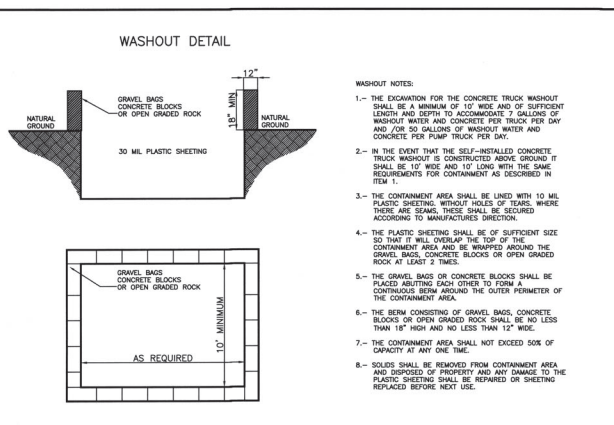
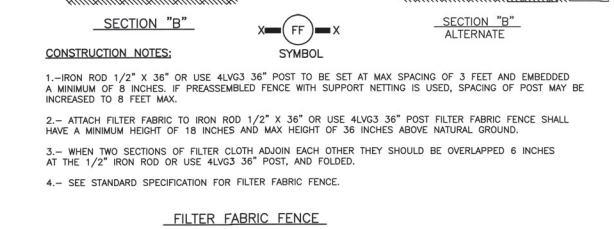
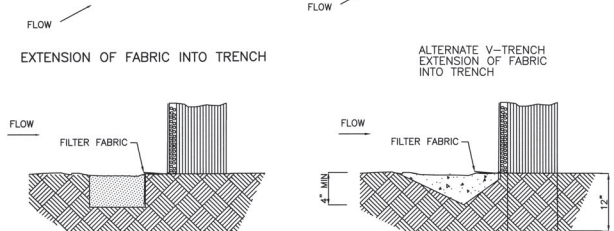
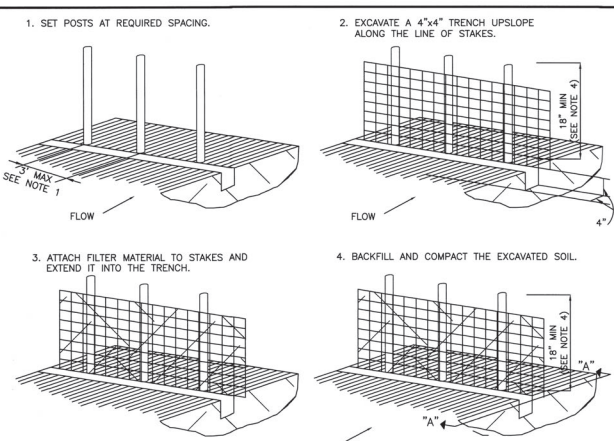
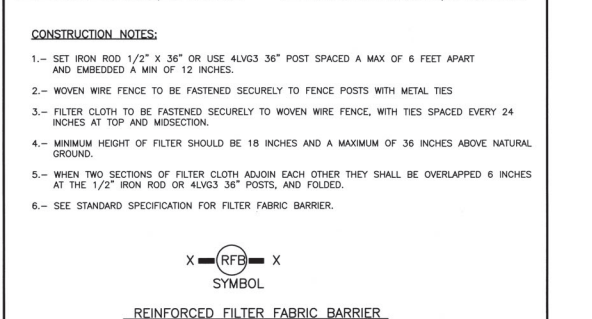
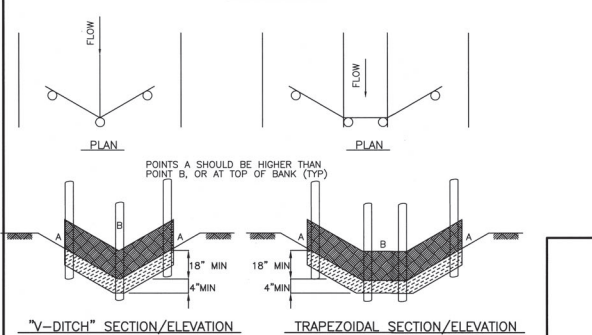
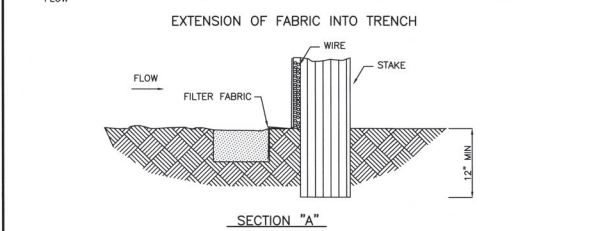
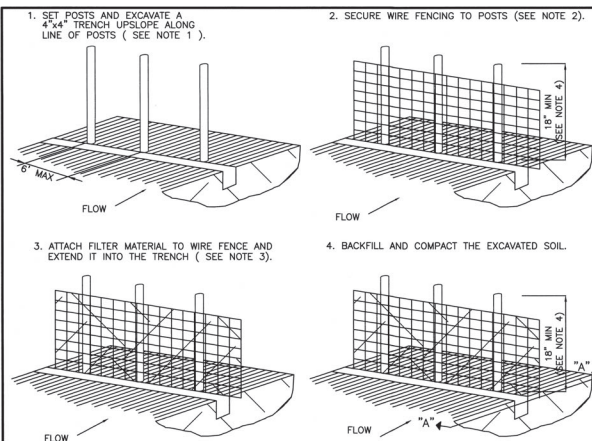
JOB NO.	10-25-13
DATE	11-07-13
REVISION	11-07-13
SCALE	1"=80'
SHEET	12

THE HEIGHTS AT TRENTON PHASE II POLLUTION PREVENTION AND EROSION CONTROL



QUINTANILLA, HEADLEY AND ASSOCIATES, INC.
CONSULTING ENGINEERS
LAND SURVEYORS
124 E. STUBBS ST.
EDINBURG, TEXAS 78539
PHONE 956-381-6480
FAX 956-381-0827
ALFONSO@QHA-INC.COM
ENGINEERING REGISTRATION NUMBER F-1513
SURVEYING REGISTRATION NUMBER 00411-00





JOB NO. 10-36-19

DATE 10-36-19

REVISION 1

SCALE 1"=40'

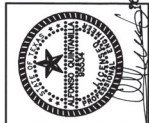
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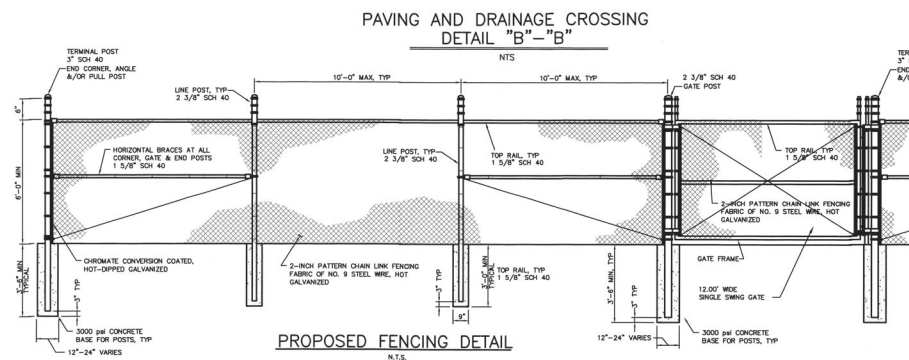
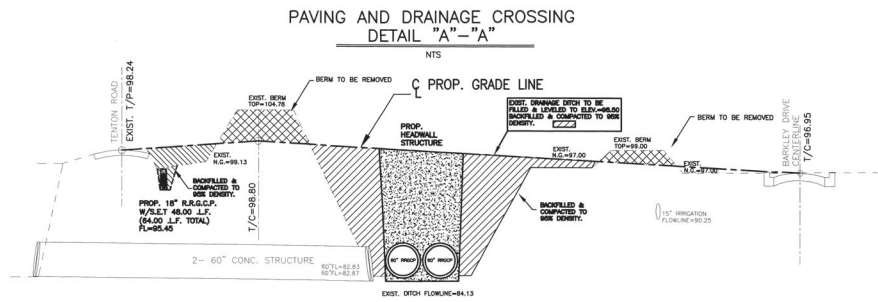
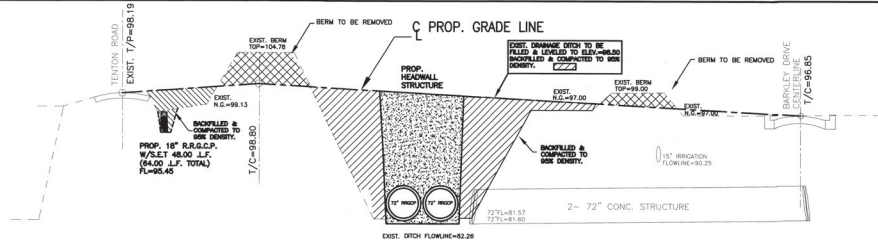
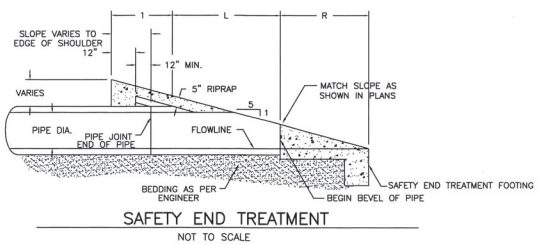
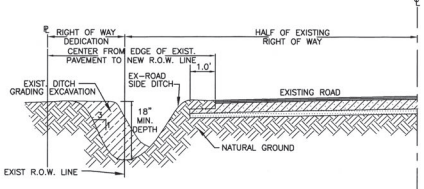
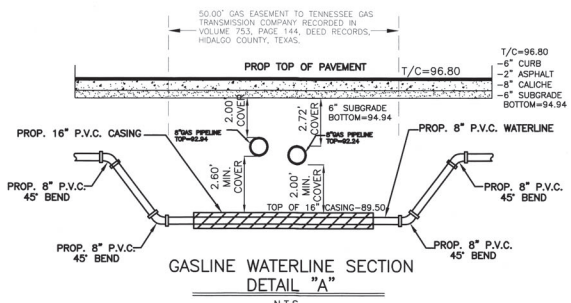
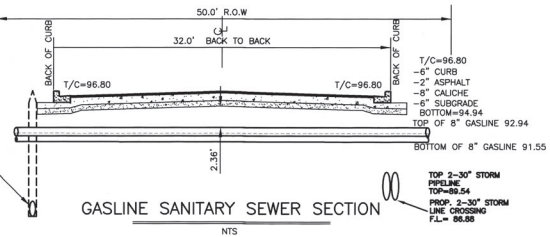
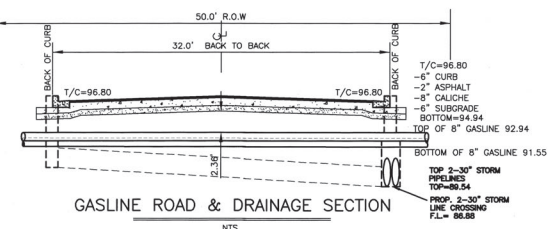
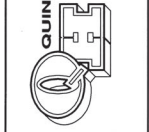
THE HEIGHTS AT TRENTON
PHASE II
EROSION CONTROL PLAN AND
POLLUTION PREVENTION
DETAILS

QUINTANILLA, HEADLEY AND ASSOCIATES, INC.
LAND SURVEYORS
124 E. STUBBS ST.
EDINBURG, TEXAS 78539
PHONE 956-381-6480
FAX 956-381-0527
REGISTRATION NUMBER P-1513

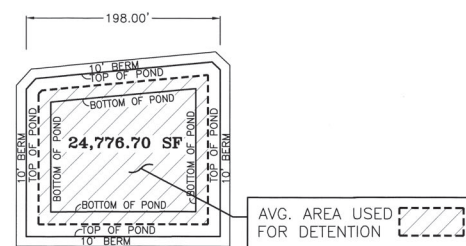
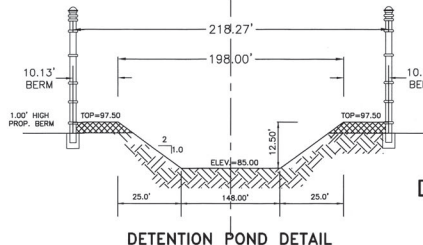
THE HEIGHTS AT TRENTON
 PHASE II
 DRAINAGE POND, GASLINE
 CROSSING, SAFETY END
 TREATMENTS AND ROAD SIDE
 DITCH DETAILS



QUINTANILLA, HEADLEY AND ASSOCIATES, INC.
 LAND SURVEYORS
 2400 W. 14TH STREET
 AUSTIN, TEXAS 78753
 PHONE 512-476-7839
 FAX 512-476-7839
 ENGINEERING REGISTRATION NUMBER F-1513
 SURVEYING REGISTRATION NUMBER 100411-00



NOTE:
 TOP AND SIDES OF DETENTION PONDS TO BE SOODED WITH COMMON BURMUDA, WINTER RYE OR A COMBINATION OF THE GRASSES DURING THE CONSTRUCTION OF THE SUBDIVISION



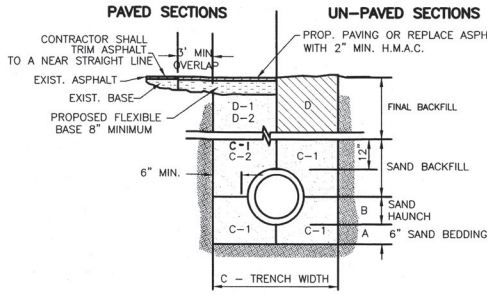
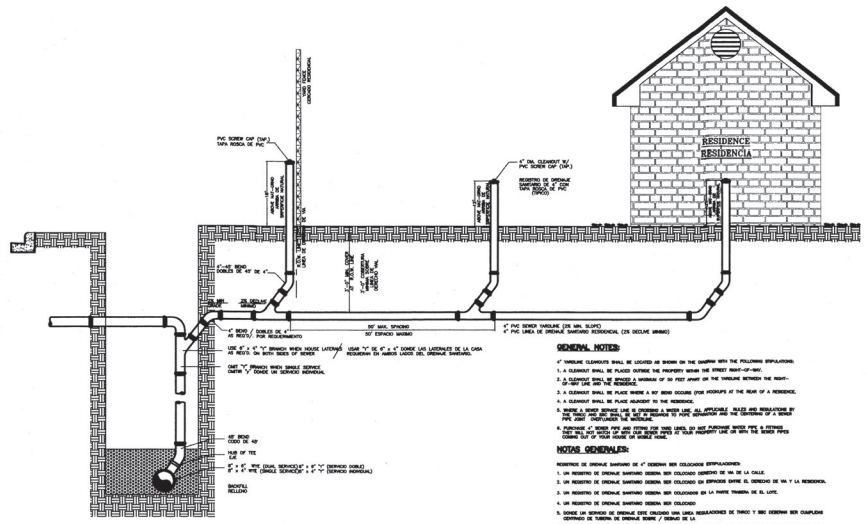
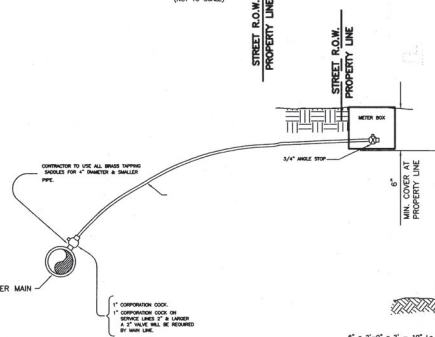
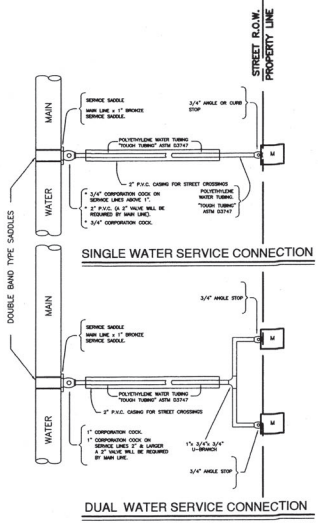
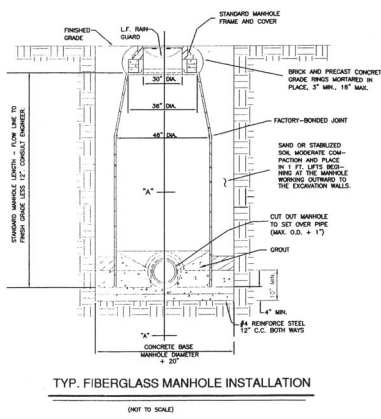
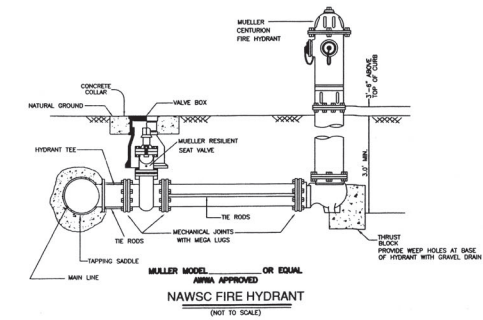
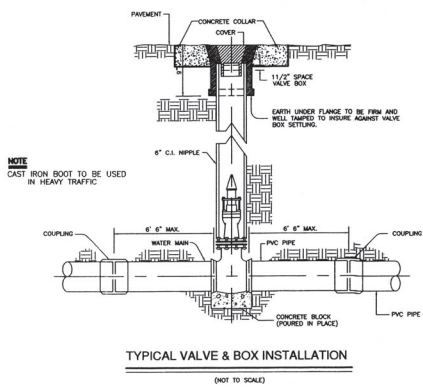
DETENTION POND STORAGE 284,932.05 C.F.
 (24,776.70' S.F. x 11.5' DEPTH)
 DETENTION CALCULATIONS

SCALE: 1"=60'

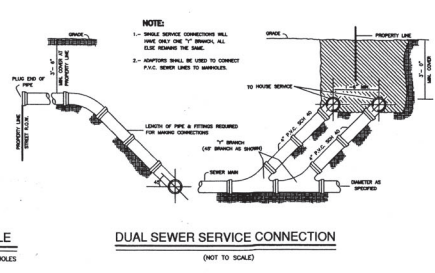
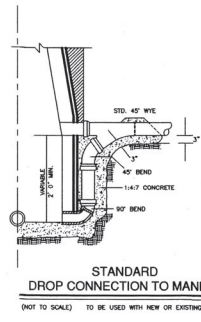
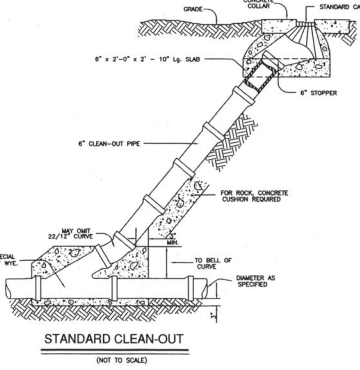
SHT. 16

TOTAL DETENTION REQUIRED - 269,385.74 C.F.
 TOTAL DETENTION PROVIDED - 284,932.05 C.F.

DATE PREPARED	DATE CHECKED	DATE APPROVED
DATE REVISION	DATE REVISION	DATE REVISION
DATE REVISION	DATE REVISION	DATE REVISION



SANITARY SEWER TRENCH BEDDING AND BACKFILL DETAILS



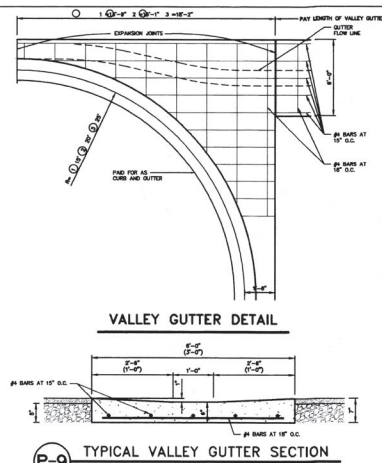
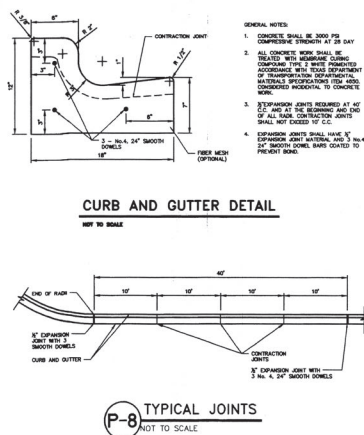
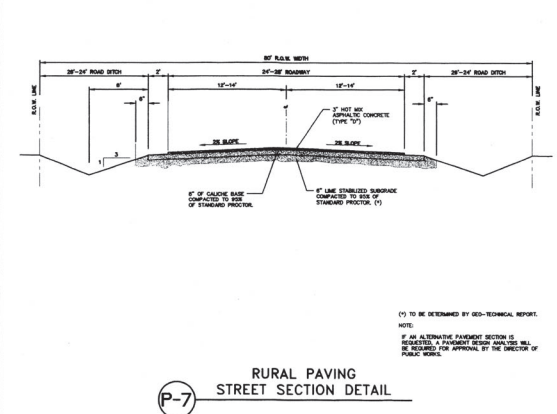
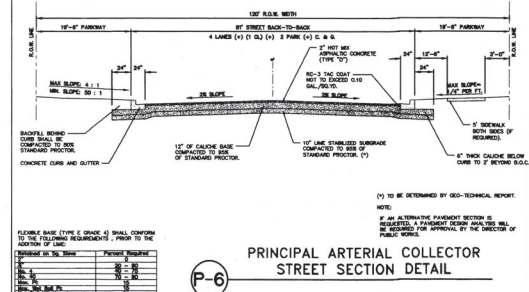
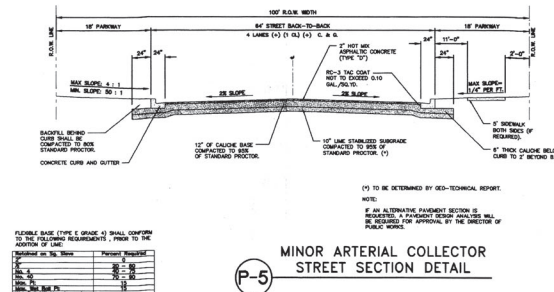
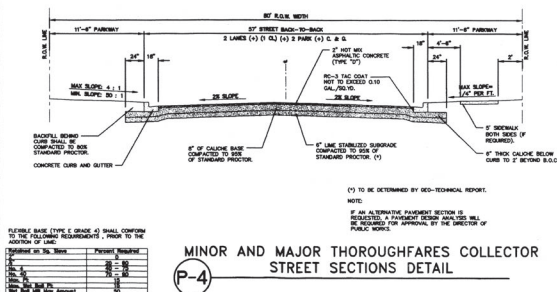
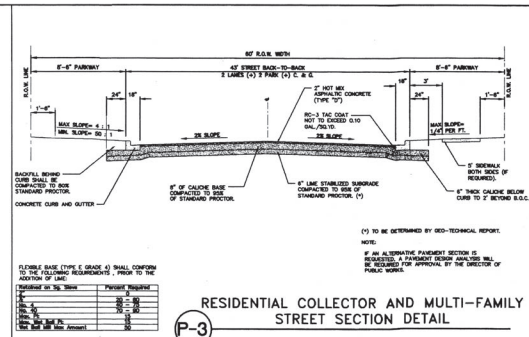
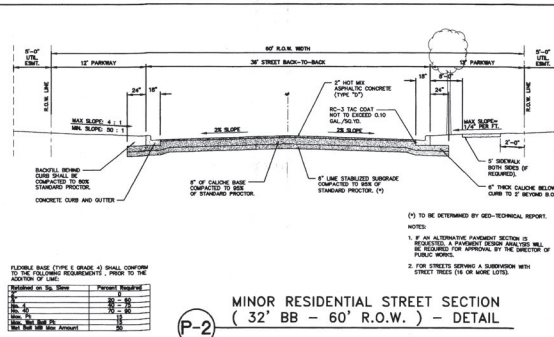
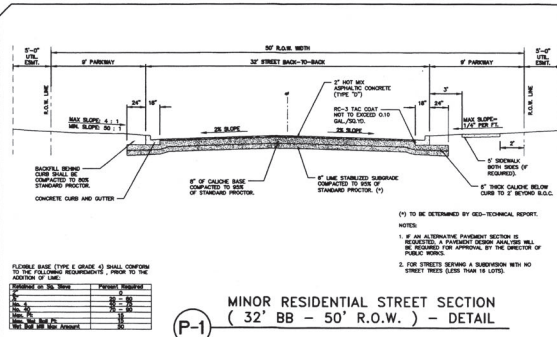
- GENERAL NOTES:**
1. ALL SEWER LINES SHALL BE LOCATED AT LEAST 10 FEET FROM THE PROPERTY LINE.
 2. A SEWER LINE SHALL BE PLACED OUTSIDE THE PROPERTY LINE AT THE STREET RIGHT-OF-WAY.
 3. A SEWER LINE SHALL BE PLACED OUTSIDE THE PROPERTY LINE AT THE STREET RIGHT-OF-WAY.
 4. A SEWER LINE SHALL BE PLACED OUTSIDE THE PROPERTY LINE AT THE STREET RIGHT-OF-WAY.
 5. A SEWER LINE SHALL BE PLACED OUTSIDE THE PROPERTY LINE AT THE STREET RIGHT-OF-WAY.
 6. A SEWER LINE SHALL BE PLACED OUTSIDE THE PROPERTY LINE AT THE STREET RIGHT-OF-WAY.
 7. A SEWER LINE SHALL BE PLACED OUTSIDE THE PROPERTY LINE AT THE STREET RIGHT-OF-WAY.
 8. A SEWER LINE SHALL BE PLACED OUTSIDE THE PROPERTY LINE AT THE STREET RIGHT-OF-WAY.
 9. A SEWER LINE SHALL BE PLACED OUTSIDE THE PROPERTY LINE AT THE STREET RIGHT-OF-WAY.
 10. A SEWER LINE SHALL BE PLACED OUTSIDE THE PROPERTY LINE AT THE STREET RIGHT-OF-WAY.
- NOTES - GENERAL:**
- REQUIREMENTS FOR SEWER LINES SHALL BE IN ACCORDANCE WITH THE FOLLOWING SPECIFICATIONS:
1. IN THE EVENT OF A SEWER LINE FAILURE, THE SEWER LINE SHALL BE REPAIRED AT THE OWNER'S EXPENSE.
 2. IN THE EVENT OF A SEWER LINE FAILURE, THE SEWER LINE SHALL BE REPAIRED AT THE OWNER'S EXPENSE.
 3. IN THE EVENT OF A SEWER LINE FAILURE, THE SEWER LINE SHALL BE REPAIRED AT THE OWNER'S EXPENSE.
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 9. IN THE EVENT OF A SEWER LINE FAILURE, THE SEWER LINE SHALL BE REPAIRED AT THE OWNER'S EXPENSE.
 10. IN THE EVENT OF A SEWER LINE FAILURE, THE SEWER LINE SHALL BE REPAIRED AT THE OWNER'S EXPENSE.
- SANITARY SEWER SERVICE CONNECTION - N.A.S.C. REQUIREMENTS**
- CONNECTION DE DRENAJE SANITARIO - REQUISITOS DE N.A.S.C.**

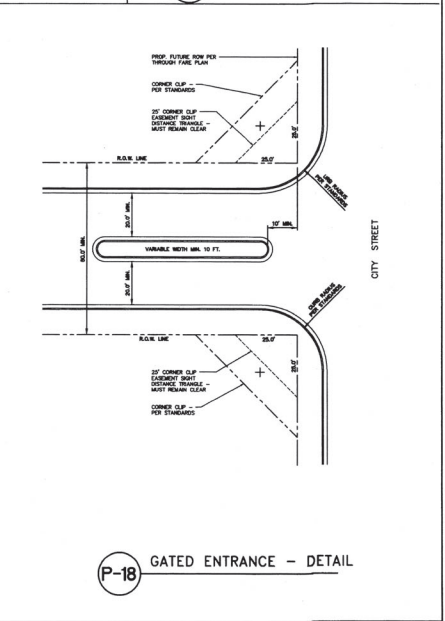
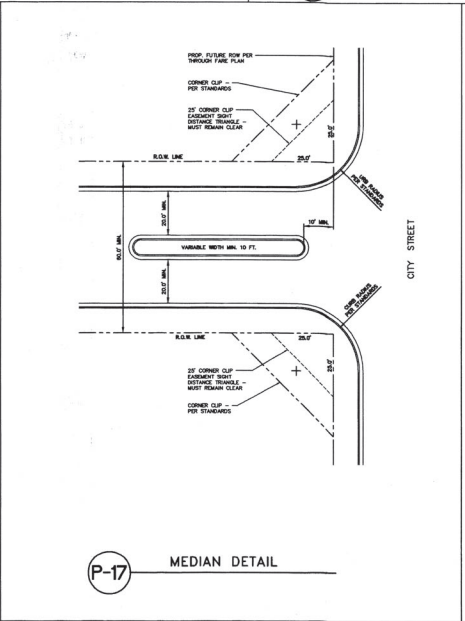
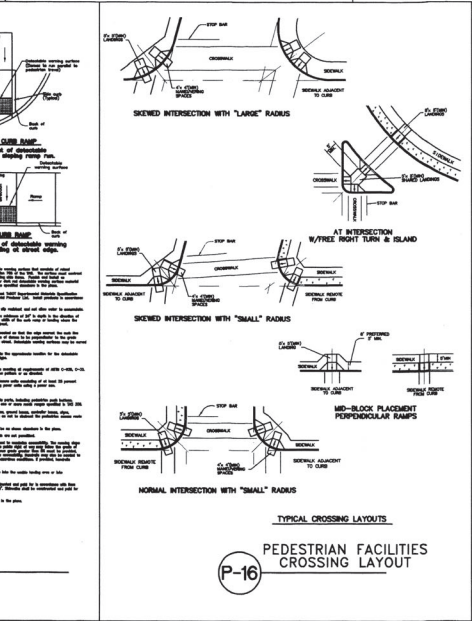
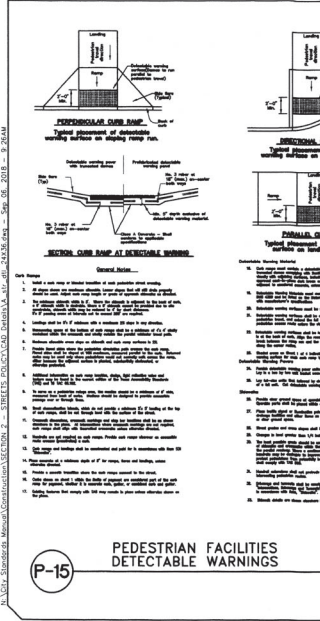
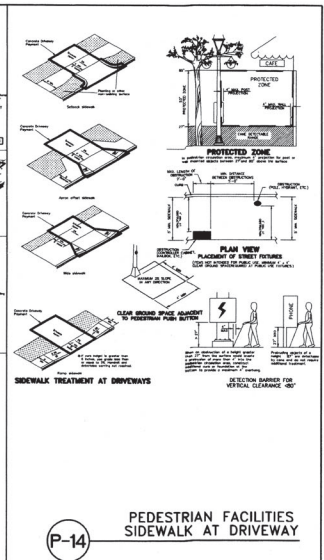
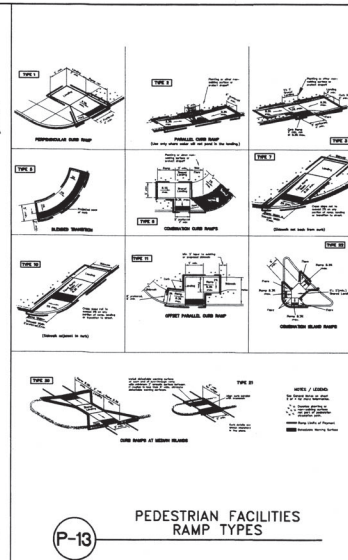
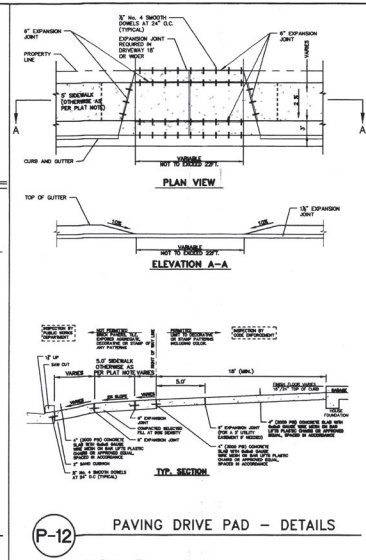
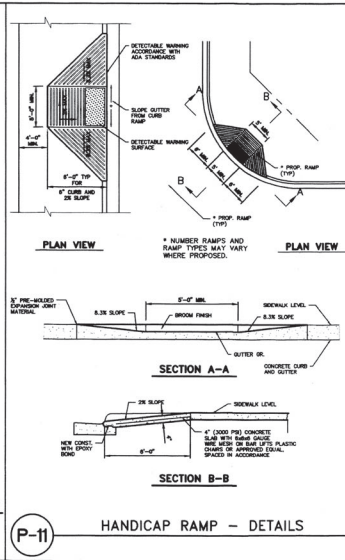
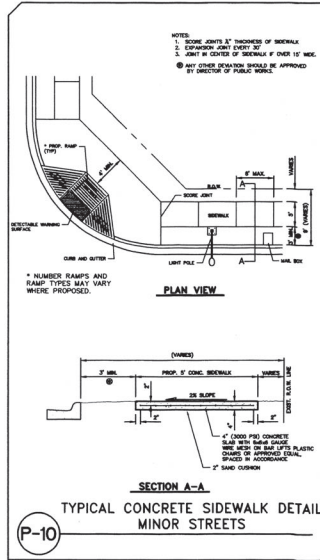
PROJ. NO.	9-03-01
DATE	REVISIONS
BY	DATE
BY	DATE

NORTH ALAMO WATER SUPPLY DETAIL SHEET



QUINTANILLA, HEADLEY AND ASSOCIATES, INC.
CONSULTING ENGINEERS - LAND SURVEYORS
PHONE 359-3811-6880
124 E. STUBBS ST.
EDINBURG, TEXAS 78539
FAX 359-3811-0327







SIDEWALK DEVIATION AT
FIRE HYDRANT

(P-19)



SIDEWALK RIP RAP

(P-20)

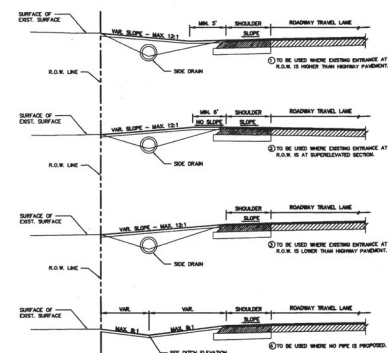


NOTE:

1. ANY CHANGE TO SIDEWALK PLAN SHOULD BE APPROVED BY THE DIRECTOR OF PUBLIC WORKS.

ADA SIDEWALK AT
MAILBOX - DETAIL

(P-21)



TYPICAL ENTRANCE PROFILE FOR DRIVEWAYS W/OUT C&G

ENTRANCE PROFILE FOR
DRIVEWAYS WITHOUT C&G

(P-22)

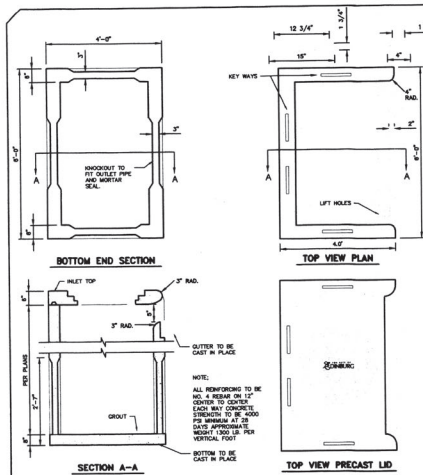


NOTES

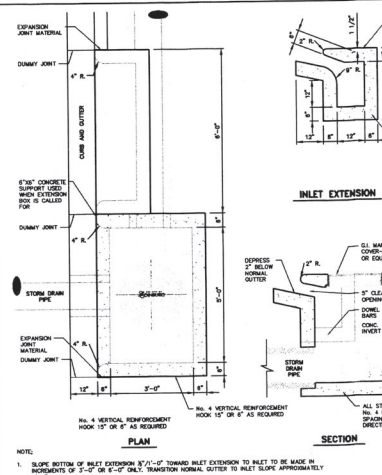
1. WEDGE MATERIAL, (WEDGE MATERIAL) WILL GUARANTEE LONGER LIFE OF THE BANNER DUE TO LESS WIND RESISTANCE AND IS REQUIRED TO BE OF A TYPE THAT WILL WITHSTAND NORMAL WEATHER (WIND AND RAIN CONDITIONS) (NO EXCEPTIONS).
2. BANNER (TOP, BOTTOM AND BOTH SIDES) IS TO HAVE A FINISHED EDGE TO PREVENT WIND TEARS.
3. A FINISHED EDGE APPROXIMATELY TWO (2) INCHES WIDE IS REQUIRED AT THE TOP, BOTTOM, AND BOTH SIDES OF BANNER WITH METAL EYELETS INSTALLED FOR COUPLER ATTACHMENT. THE PURPOSE OF ATTACHING THE BANNER TO THE EXISTING GUIDE WIRES.
4. GROMMETS (PROTECTIVE EYELETS) MUST BE PLACED ALONG THE TOP EDGES OF THE BANNER AND ONE AT EACH BOTTOM END. GROMMETS LOCATED AT THE BOTTOM EDGES WILL HAVE NICKING AND/OR DAMAGE TO THE APPROXIMATELY 100' (U.S. FEET) RINGS WITH REINFORCED WELDON STRAPS). THE MINIMUM GROMMET SIZE SHALL BE 1/2-INCH (INCH MEASUREMENT), AND THE GROMMETS SHALL BE PLACED EXACT TWENTY

TYPICAL BANNER
DETAIL

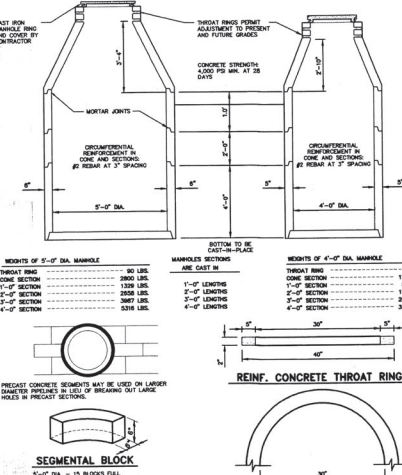
(P-23)



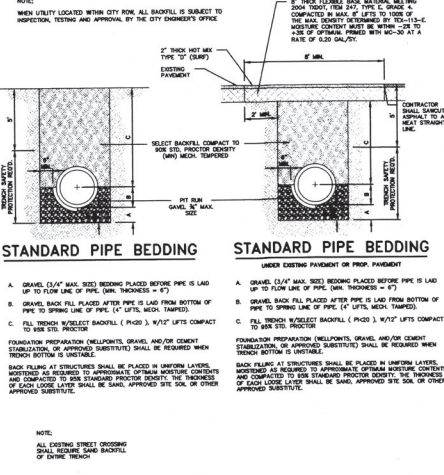
D-1 PRECAST TYPE "A" INLET



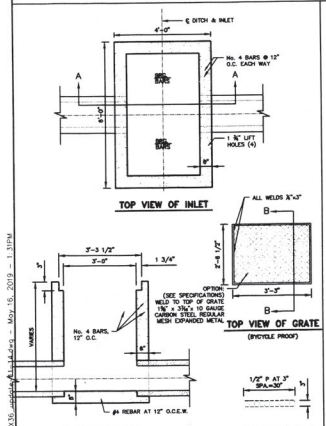
D-2 TYPE "A" INLET WITH EXTENSION - DETAILS



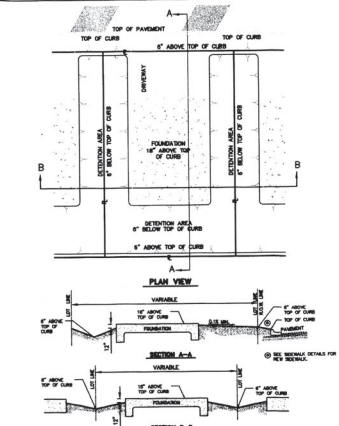
D-4 PRECAST CONCRETE MANHOLES - DETAILS



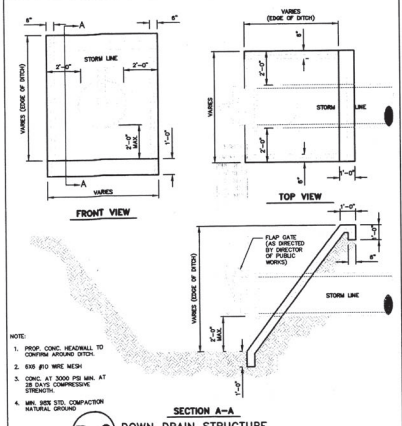
D-8 STANDARD PIPE BEDDING - DETAILS



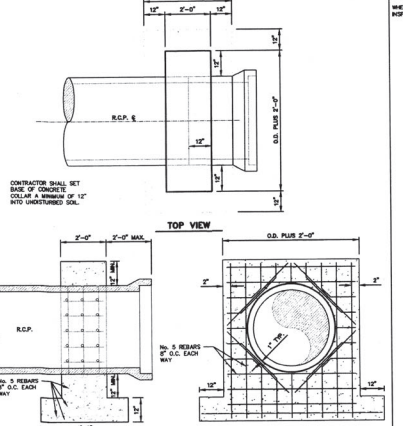
D-3 TYPE "C-C" GRATED INLET (TWO GRATES PER INLET)



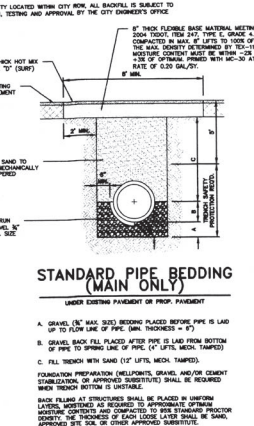
D-12 TYPICAL LOT LAYOUT GRADING DETAILS



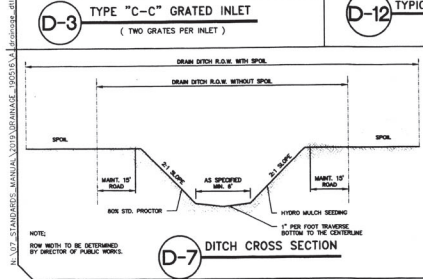
D-6 DOWN DRAIN STRUCTURE



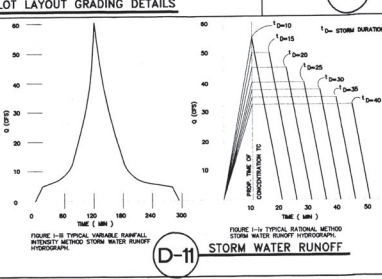
D-5 CONCRETE PIPE SUPPORT COLLAR



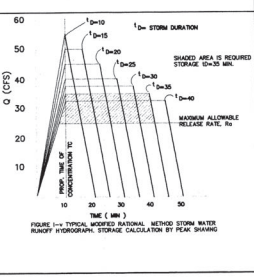
D-9 UTILITY CROSSING AT EXIST./ACTIVE STREET DETAIL (STORM SEWER)



D-7 DITCH CROSS SECTION



D-11 STORM WATER RUNOFF



D-10 CITY STANDARD ROADWAY MANHOLE RING AND COVER CASTING DETAIL

ALL CITY STANDARDS MATERIALS, MANHOLES, DRAINAGE, UTILITIES, ETC. - MAY 15, 2019 - 1.1219



Preliminary Staff Review

October 26, 2021

Quintanilla, Headley and Associates
124 E. Stubbs St.
Edinburg, TX 78541
(956) 381-6480

RE: PRELIMINARY REVIEW – THE HEIGHTS ON TRENTON SUBDIVISION PHASE II

Mr. Quintanilla,

After reviewing the above referenced plat, the following are the preliminary phase submittal comments:

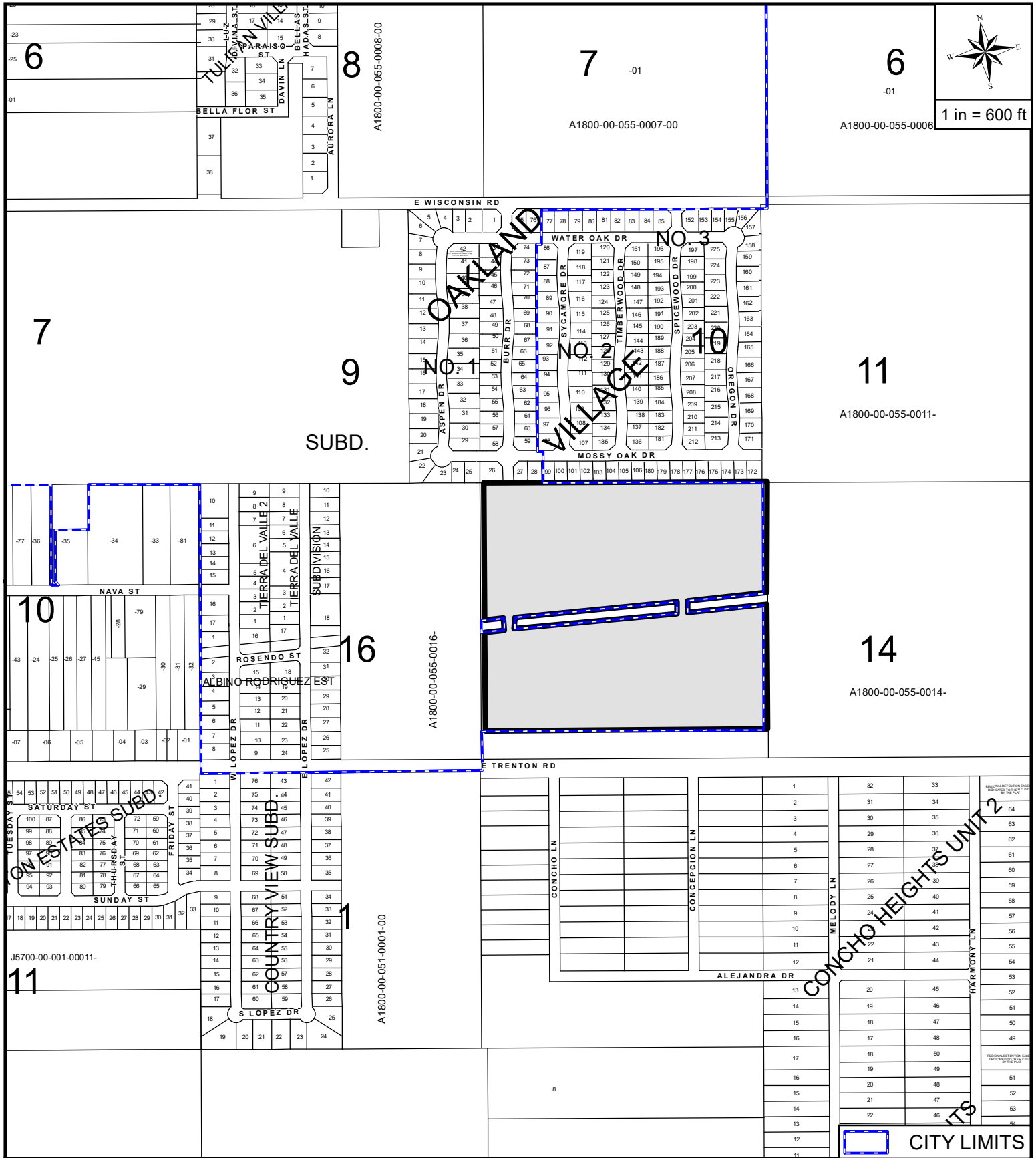
1. No comments.

Any questions, please feel free to contact me.

Sincerely,

Omar Garza
Fire Marshal
Email: ogarza@cityofedinburg.com
212 W. McIntyre St.
Edinburg, TX 78539

References:
Unified Development Code and 2012 International Fire Code



SITE MAP

APPLICANT/SUBDIVISION: THE HEIGHTS ON TRENTON PHASE II

CASE CAPTION:

CONSIDER THE PRELIMINARY PLAT OF THE HEIGHTS ON TRENTON PHASE II SUBDIVISION, BEING A 33.58 ACRE TRACT OUT OF LAND OUT OF LOT 15, BLOCK 55, ALAMO LAND AND SUGAR COMPANY'S SUBDIVISION AS PER MAP OR PLAT THEREOF RECORDED IN VOLUME 1, PAGE 24-26, MAP RECORDS OF HIDALGO COUNTY, TEXAS LOCATED AT 3501 EAST TRENTON ROAD AS REQUESTED BY QUINTANILLA, HEADLY AND ASSOCIATES, INC.

LEGEND

CITY LIMITS

SUBDIVISION SITE



Case #

THE CITY OF
EdinburgPlanning & Zoning Department
415 W. University Drive
Edinburg, Texas 78539

(956) 388-8202

Subdivision Application

Date: _____ Request Type: Preliminary Plat1. Developer: RBR Development & Investments, LLC 2. Owner/Contact Name: Roy Rodriguez3. Owner/Contact Phone: (956) 330-9837 4. Owner/Contact Email: royrod7728@aol.com5. Owner Address: 3329 Page Ave. Edinburg, TX 785396. Exact Name of Subdivision: The Heights on Trenton Phase II 7. Property ID: _____8. Current Zoning: NC5 - Neighborhood Conservation 5 Required Zoning: UR - Urban Residential

10. Legal Description: _____

A 33.58 acre tract of land out of Lot 15, Block 55, Alamo Land and Sugar Company's Subdivision, Hidalgo County, Texas.

11. Inside City Limits? No If "No," is in the ☒ Comprehensive Development Area _____ Rural Development Area12. Primary Consulting Firm: Quintanilla, Headley & Associates, Inc. 13. Phone: (956) 381-648014. Consulting Firm Address: 124 E. Stubbs St. Edinburg, TX 7853915. Consulting Firm Email(s): alfonsoq@qha-eng.com16. Desired Land Use Option: Single Family17. Number of Lots: Single Family 179 Multi-Family _____ Commercial _____ Industrial _____18. Proposed Wastewater Treatment: ☒ Sanitary Sewer _____ OSSF (On-Site Sewage Facility)

19. Electric Power and Light Company to Serve the Proposed Subdivision: _____

20. Irrigation District: Hidalgo County No. 2 Potable-water Retailer: _____

Owner of record, holding title to real estate within the proposed subdivision. Ownership instrument (i.e. Title Policy, Warranty Deed and Deed of Trust) shall be submitted with application. All such owners are listed immediately below.

Owner Name(s) (Print or Type) <u>Roy Rodriguez</u>	Owner Mailing Address & Zip Code <u>3329 Page Ave. Edinburg, TX 78539</u>
Owner Phone Number <u>(956) 330-9837</u>	Owner Email <u>royrod7728@aol.com</u>

Have any of said owners designated agents to submit and revise this plat application on their behalf?

____ Yes ☒ No (If "Yes" attached duly notarized documentation to that effect, signed by each such owner.)

The undersigned owner(s) of record (or their authorized agents) hereby agree to make all improvements and meet all requirements and standards as specified in the City of Edinburg Unified Development Code and Ordinances. The undersigned hereby request that the Edinburg Planning & Zoning Commission and the City Commission approve the attached subdivision plat. I certify that all items contained in this application and attachments (including all construction plans) are true and correct to the best of my knowledge and not in conflict with any deed restrictions or restrictive covenants. Furthermore, I understand that any omission or incorrect information may result in approval or permit being denied or revoked. Developer's requirement sheet must be completed, signed, and submitted with the application form.

Signature

Date

OCT 04 2021

Name:

ACKNOWLEDGEMENTS**OWNER**

I acknowledge that the subdivision application is a process. During this process, my application is reviewed by multiple City departments and requires separate and distinct approval by each. I understand that approval by one department does NOT constitute approval by all departments and should not be construed as final approval, clearance, or notice to proceed. Furthermore, review of this application by City staff is dependent upon the accuracy of the information provided. Any information found to be lacking or incorrect may result in my application being delayed or denied. If any portion of my plan changes or must be modified, it is my responsibility to notify City staff as soon as is practicable, and I accept that these changes may result in reassessment, denial, or revocation of any approvals or permits received prior to that time.

Owner/Agent

ENGINEER

I have read the information contained on the following Subdivision Plat Fees and Submission Requirements forms and hereby agree to comply with requirements noted herein.

Project Engineer

Subdivision Plat FeesSUBDIVISION NAME: The Heights on Trenton Phase II**Administrative Fees (select all that apply)****Office Use Only**

- ☒ 1. Preliminary Plat, \$ 250
- ☐ 2. Final Plat, \$ 200
- ☐ 3. Minor Plat, \$ 250
- ☐ 4. Amended Plat, \$ 250
- ☐ 5. Re-Plat, \$ 250
- ☐ 6. Vacating Plat, \$ 250
- ☐ 7. Plat Review Fee (2 -5 Mile E.T.J.), \$ 250
- ☐ 8. Site Plan Review, \$ 250
- ☐ 9. Appeals or Variances, \$ 450
- ☐ 10. Voluntary Annexation, \$ 100
Plus Publication Cost: _____
- ☐ 11. Land-Clearing Permit, \$ 150
- ☐ 12. Street Sign Installation, \$ 200
13. Park Land Fees (Per Unit)
- ☐ Developer, \$ 300 # of Units:
- ☐ Builder, \$ 300 # of Units:
- ☐ E.T.J. Single Family, \$ 300
- ☐ E.T.J. Multifamily, \$ 300

Variable (fill as appropriate)

- ☐ 14. Administration and Inspection Fee, **2.0%**
- ☐ 15. Construction Materials Testing Fee, **3.0%**
- ☐ 16. Water Right Fees Per Acre, **TBD**

TOTAL \$ 0.00

* Make all checks payable to the City of Edinburg

Submission Requirements Checklist

10/4/21

Preliminary Plat Requirements

Copies

Office Use Only

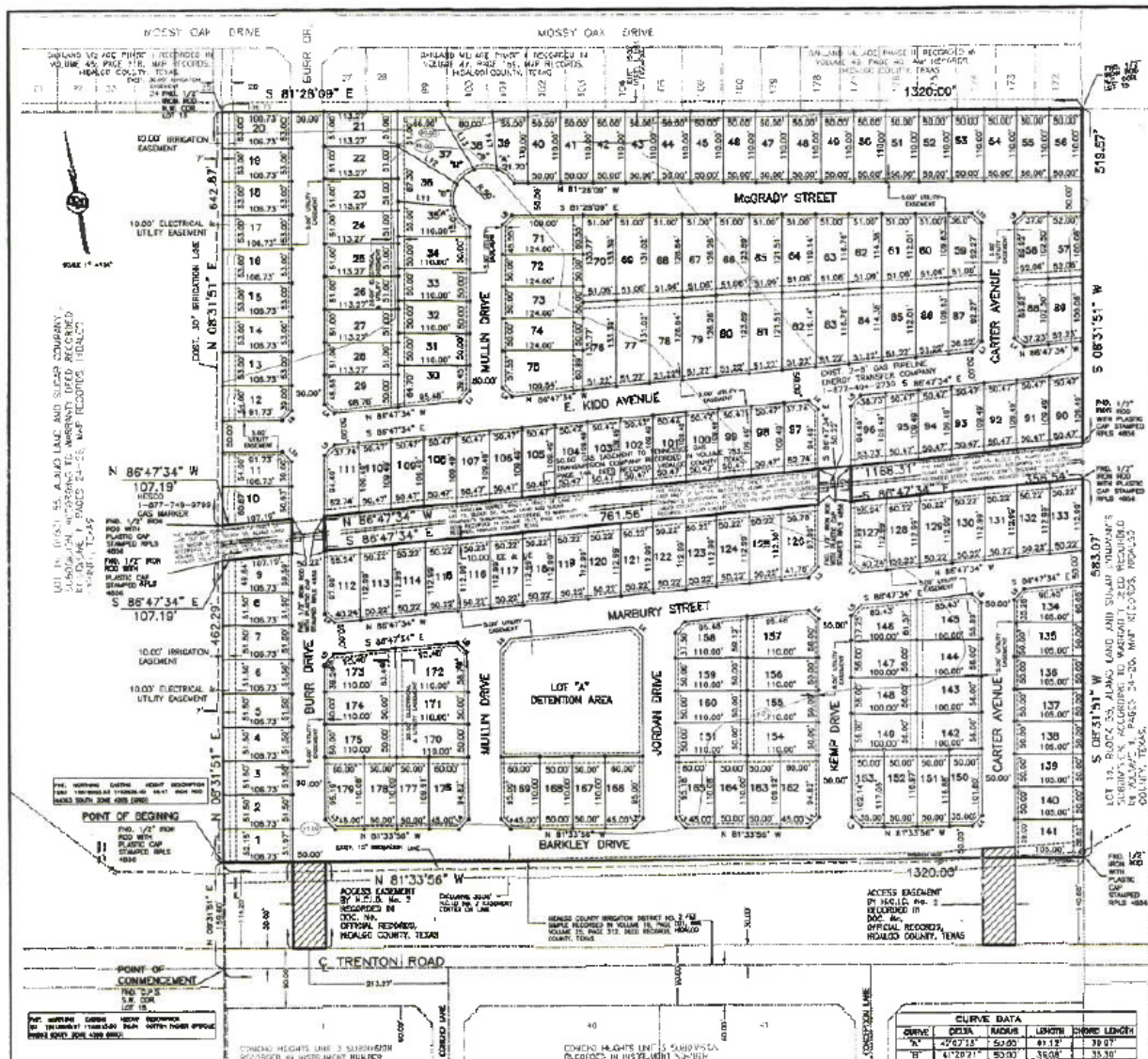
- | | | | |
|-------------------------------------|--|---|-----------|
| <input checked="" type="checkbox"/> | 1. Subdivision Plat, Utility (Layout Folded) | 8 | <u>13</u> |
| <input type="checkbox"/> | 2. Digital File(s) (emailed, USB, CD, etc.)..... | 1 | |
| | 24x36" Plat w/notes, drainage, utilities, etc. (as applicable); | | |
| | 8.5x11" Reduced Plat; Map with name & north arrow | | |
| <input checked="" type="checkbox"/> | 3. Preliminary Drainage Report | 2 | <u>13</u> |
| <input checked="" type="checkbox"/> | 4. 8 1/2" X 11" Copies of Subdivision Plat & Utility Layout..... | 1 | <u>13</u> |
| <input checked="" type="checkbox"/> | 5. Warranty Deed | 1 | <u>13</u> |
| <input checked="" type="checkbox"/> | 6. Signed Application..... | 1 | <u>13</u> |
| | (or application with a notarized Letter of Authorization) | | |

Pre-Construction

- | | | | |
|--------------------------|---|---|--|
| <input type="checkbox"/> | 1. Subdivision Plat and Construction Plans (utilities)..... | 8 | |
| <input type="checkbox"/> | 2. Engineer Cost Estimate | 1 | |
| <input type="checkbox"/> | 3. Digital Construction Plans (emailed, USB, CD, etc.)..... | 1 | |
| <input type="checkbox"/> | 4. SWPPP/CNOI (Required) | 2 | |

Final Plat Requirements

- | | | | |
|--------------------------|--|---|--|
| <input type="checkbox"/> | 1. Mylar of Subdivision Plat..... | 1 | |
| <input type="checkbox"/> | 2. Mylar As-Builts Construction Plans..... | 2 | |
| <input type="checkbox"/> | 3. Digital Copy of As-Builts (emailed, USB, CD, etc.)..... | 1 | |
| <input type="checkbox"/> | 4. Letter of Credit (If Applicable)..... | 1 | |



SUBDIVISION WITHIN CITY LIMITS CHECK LIST
PRELIMINARY STAGE

PLANNING & ZONING DEPARTMENT (956) 388-8202

SUBDIVISION PROCESS

 Date : **November 5, 2021**

Date: November 3, 2021

P&Z

P&Z

City

 Filed: **October 4, 2021**

Preliminary:

November 9, 2021

Final:

Council:

Reviewed

Staff Review :

October 21, 2021

 Time Line : **365** Days

Expires :

 By: **Abel Beltran, Subd. Coord.**

Staff / Engineer :

October 28, 2021

 1st Extension : **0** Days

Expires 1:

abeltran@cityofedinburg.com

 2nd Extension : **0** Days

Expires 2:

Planning & Zoning Department:

Kimberly A. Mendoza, MPA

 Email : kmendoza@cityofedinburg.com

City Office #: (956) 388-8202

Utility Department

Gerardo Carmona, P.E.

 Email : gcarmona@cityofedinburg.com

City Office #: (956) 388-8212

Director of Public Works

Vincent Romero

 Email : layala@cityofedinburg.com

City Office #: (956) 388-8210

Director of Engineering

Mardoqueo Hinojosa, P.E., CPM

 Email : mhinojosa@cityofedinburg.com

City Office #: (956) 388-8211

Owner:	Roy Rodriguez, Developer	3329 Page Ave, Edinburg, TX 78540	Alfonso Quintanilla, P.E. Project Engineer		
THE HEIGHTS ON TRENTON SUBDIVISION		Consultant : Quintanilla, Headley and Associates, Inc.			
DESCRIPTION	Provided	Need to Provide	Not Applicable	Need to Revise	COMMENTS

Subdivision Process:

Subdivision Plat Submittal	✓				
Warranty Deed	✓				
Topography Survey	✓				
Drainage Report Submittal (As Per City Drainage Policy)	✓				Approved by H.C.D.D.#1 Date: Pending Approval
Zoning : City Limits - Commercial General	✓				
Flood Zone	✓				Zone "X" (Un-Shaded)

Preliminary Submittals:

Existing & Proposed Water Distribution Layout	✓				North Alamo Water Supply Corporation - Distribution System
Water Distribution System Provider:	✓				North Alamo Water Supply Corporation - Distribution System
Existing & Proposed Sewer Collection Layout		✓			City of Edinburg Sanitary Sewer Collection System
Sanitary Sewer Collection System Provider:		✓			City of Edinburg Sanitary Sewer Collection System
Existing and Proposed Drainage Layout System:	✓				Private Drainage System onto H.C.D.D. # 1
MPO Collector / Arterial Right-of-way Dedication	✓				Proposed Private Streets
Minor / Major Collector Street Pavement Section	✓				In Accordance to Standard Street Policy
Variances Appeals Request: (Date)	✓				Planning & Zoning Meeting Results City Council Meeting
Street Widening Improvements			✓		
Street 5-ft Sidewalk Improvements			✓		
Drainage Improvements	✓				

Construction Plans Review Submittals:

(See Section 4 Construction Plans Submittals Policy, 2014 STANDARD POLICY MANUAL)

Cover Sheet		✓			
Topography Sheet (Utilities, Bench Marks)		✓			
Sanitary Sewer Improvements: On-Site & Off-Site		✓			City of Edinburg Sanitary Sewer Standard Policy's
Sanitary Sewer Detail Sheets		✓			See Section 3 Utility Policy, 2014 Standard Policy Manual
Water Distribution Improvements: On-Site & Off-Site		✓			North Alamo Water Supply Standard Policy's
Water Distribution Detail Sheet (Fire Hydrant Assembly)		✓			See Section 3 Utility Policy, 2014 Standard Policy Manual
Drainage Improvements:		✓			
Drainage Detail Sheets		✓			See Section 1 Drainage Policy, 2014 Standard Policy Manual
Minor/Major Collector Streets Improvements:		✓			See Section 2 Streets Policy, 2014 Standard Policy Manual
Street Sign Sheet:		✓			
Street Detail Sheets		✓			See Section 2 Streets Policy, 2014 Standard Policy Manual
Street Lighting Sheet:		✓			
Traffic Control Plan:		✓			
Erosion Control Plan		✓			
Erosion Control Plan Detail Sheet		✓			See Storm Water Management, 2014 Standard Policy Manual

DESCRIPTION	Provided	Need to Provide	Not Applicable	Need to Revise	COMMENTS
Pre-Construction Meeting:					
Notice To Proceed		✓			Dated:
Roadway Open-Cut or Bore Permit Application		✓			Dated:
TX-Dot Water UIR Permit			✓		
TX-Dot Sewer UIR Permit			✓		
N.O.I. Submittal		✓			Dated:
SWPP Booklet Submittal		✓			Dated:
RFI #1 Request		✓			Dated:
Change Orders		✓			Dated:
Final Walk Though		✓			Dated:
Punch List		✓			Dated:
Punch List (Completed and Approved)		✓			Dated:
Letter of Acceptance		✓			Dated:
1-year Warranty (Water/Sewer/Paving/Drainage)		✓			Dated:
Backfill Testing Results		✓			Dated:
As-Builts (Revised Original Submittal)		✓			Dated:
Recording Process:					
Public Improvements with (Letter of Credit)		✓			Dated: Expires:
Recording Fees \$ 106.00		✓			As required by County Clerks office
Copy of H.C.D.D. #1 of invoice		✓			Required to be paid prior to Final Stages
Street Light Escrow \$ -		✓			Required: 0 EA. @ \$ -
Street Escrow (Trenton Road) \$ -			✓		Required: 0 EA. @ \$ -
Sidewalk Escrow (Trenton Road) \$ -			✓		Required: 0 LF @ \$ 25.00
TOTAL OF ESCROWS: \$ -					
Total Developer's Construction Cost: (Letter of Credit)					Date : Lender :
Laboratory Testing Fee: 3% \$ -		✓			\$ - Estimated Construction Cost
Inspection Fee: 2% \$ -		✓			\$ - Final Construction Cost
Park Land Fees: Park Zone # 6 \$ -			✓		0 Lots @ \$ - Full rate within the ETJ
179 Residential \$ 300.00 \$ 53,700.00		✓			50% Development 50% Building Stage
0 Multi-Family \$ - \$ -			✓		0% Development 0% Building Stage
Water Rights: NAWSC - CCN \$ -			✓		33.580 Acres \$ -
Water 30-year Letter (Residential) \$ -			✓		179 Lots @ \$ - NAWSC WATER-CCN
Water 30-year Letter (Multi-Family) \$ -			✓		0 Lots @ \$ -
Sewer 30-year Letter NAWSC - CCN \$ -			✓		179 Lots @ \$ - NAWSC SEWER-CCN
TOTAL OF FEES: \$ 53,700.00					
Reimbursements:					
Developer Sewer Improvements \$ -			✓		Off-Site System: 0.000 AC \$ -
Developer Water Improvements \$ -			✓		Off-Site System 0.00 AC \$ -
TOTAL OF REIMBURSEMENTS: \$ -					
Buyouts:					
North Alamo Water Supply Corporation \$ -	✓				Required Buyout 0.00 AC. \$ -
Sharyland Water Supply Corporation			✓		Not Applicable
Tax Certificates					
County of Hidalgo / School District		✓			
Water District		✓			Hidalgo County Irrigation District # 1
Total of Escrows, Fees, Reimbursements and Buyouts:					
Escrows \$ -					Street & Sidewalk Improvements for Trenton Road (Not Required)
Inspections other Fees \$ 53,700.00					Parkland Fees, Water/Sewer 30-year Agreement/Water Rights
Reimbursements \$ -					Reimbursement to the Developer of Subdivision
City of Edinburg \$ -					15% Payable to the City of Edinburg for Administrative Fee
To the Developer of Record \$ -					85% Payable to the Developer of Record Owner / Developer
Buyouts \$ -					Based on Subdivision (Need Request and Approval rate from ? Broad)
TOTAL : \$ 53,700.00					Developer Total Cost of Fees, Escrows, Reimbursements & Buyouts

33.58	TOTAL ACRES			
0.000	0	0	0	Trenton Road
0.000	0	0	0	
0.000	ACRES			
Current Acre Water Rights Cost :		\$	-	<u>\$ -</u>
33.58	NET ACRES			

STAFF REPORT: T&O RANCH No. 2 SUBDIVISION

November 4, 2021

Planning and Zoning Meeting:

November 9, 2021

Agenda Item: 7C

Preliminary Plat

Subject: Consider the Preliminary Plat of **T&O RANCH No. 2 SUBDIVISION**, being a 4.95 acre tract of land out of Lots 2 & 3, Block 28, Santa Cruz Gardens Unit 2 Subdivision, located at 7100 East Benito A. Ramirez Road, as requested by Quintanilla, Headley and Associates, Inc.

Location: The property is located on the south side of E. Benito A. Ramirez Road, approximately 300 ft. of E. Brushline Road and is within the City of Edinburg's Extra-Territorial Jurisdiction (ETJ).

Zoning: Not Applicable.

Analysis The Preliminary Plat proposes a single-family residential development with a total of four (4) lots averaging approximately 49,950 sq. ft. with set backs based on Hidalgo County requirements. This Subdivision is also requesting a variances to roadway widening and sidewalk requirement.

Utilities: Water Distribution System is within North Alamo Water Supply Corporation, service area CCN, and will utilize an OSSF system. All utility improvements within the proposed subdivision that are not limited to water, OSSF system, fire hydrants, will be installed by the developer in accordance with the approved City of Edinburg 2014 Standards Manual.

Recommendations:

City of Edinburg Planning & Zoning Department:

Staff recommends approval of the Preliminary Plat, subject to compliance with the Unified Development Code, General Notes; on FEMA flood zone, zoning, setbacks, finish floor elevation, benchmark, drainage detention, parkland fees, limited access, SWP3 requirements, sidewalks, and other notes as required based on development.

City of Edinburg Engineering / Utilities Department:

Preliminary Phase Submittal comments for this subdivision are included in the packet. As per Engineering, the plat shall be Preliminarily Approved until all comments have been addressed by the project engineer.

City of Edinburg Fire Department:

The following are the preliminary phase submittal comments as noted by the Fire Department:

1. Provide double face blue fire hydrant street marker on center on the street in front of the fire hydrant.

City of Edinburg Public Works Department:

The following are the preliminary phase submittal comments as noted by Storm-Water Regulations.

1. **SW3P** (Storm-water Pollution Prevention Plan)
2. **NOI** (Notice of Intent, Per TCEQ)
3. **Large Construction Notice** (Per TCEQ Inventory)
4. **Detailed Erosion Control Plan** (Silt Fence, Construction Entrance, Inlet Protection, Concrete Washout)
5. **Detailed Post Construction BMP's Plan** (70% Vegetation or Silt Fence back of curb)
6. **Plat Note** (All construction shall comply with Storm-water Pollution Prevention Plan (SW3P) requirements. Erosion and Sedimentation Controls constructed in accordance with the Storm-water Ordinance 98.30 of the City of Edinburg are required for all construction on each lot including single family and duplex/multi-family construction)
7. **NOT** (Notice of Termination, Per TCEQ) will now be required before the final walk through.
8. **Comments:**
 - SW3P Plat note has been revised. Please see the note for your reference.
 - NOT will need to be submitted before the final walk through.
 - Storm-water is now requiring a Post Construction Plan on plans that are submitted, either 70% vegetation or Install Silt Fence behind the back of curb.
 - Silt Fence around the entire project.
 - Large Construction Notice needs to be submitted with contractors contact information.
 - All items must be submitted before the NTP is issued.
 - Please email pending items to rvalenzuela@cityofedinburg.com

City of Edinburg Solid Waste Department:

Single Family Residential Development is not within City of Edinburg City Limits.



ENGINEERING DEPARTMENT

Preliminary Staff Review

October 27, 2021

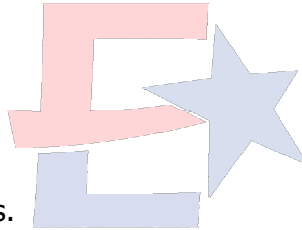
Alfonso Quintanilla, P.E.

Quintanilla, Headley and Associates
124 E. Stubbs St.
Edinburg, TX 78539
(956) 381-6480

RE: T & O RANCH No. 2 SUBDIVISION – PRELIMINARY REVIEW

Mr. Quintanilla,

Attached are the Preliminary Phase Submittal comments for T & O Ranch No. 2 Subdivision. Subdivision shall be considered preliminarily approved upon addressing the noted comments from the City of Edinburg.



Any questions feel free to contact us.

Thanks,

Digitally signed by Peter
Hermida
Date: 2021.10.28
14:23:23 -05'00'

Peter Hermida E.I.T.

Email: phermida@cityofedinburg.com

415 W. University Drive
Edinburg, Texas 78539

Cc: Mardoqueo Hinojosa, P.E., CFM, City Engineer, Patrizia Longoria, Engineer III, Roberto Hernandez, Engineer I, Abel Beltran, Planner I, Vince Romero, Director of Public Works, Robert Valenzuela, Storm Water Specialist, Kimberly Mendoza, Director of Planning and Zoning, Rita Lee Guerrero, Planner I, Jaime Xavier Ayala, Planner II, Gerardo Carmona P.E., Director of Utilities, Jose Flores, Systems Superintendent, Omar Garza, Fire Marshal, Ramiro Gomez, Director of Solid Waste

REFERENCES:

City of Edinburg – 2014 Standard Manual – Construction and Development Requirements;
Unified Development Code; and if required a TX-Dot Permitting UIR permitting process.



Preliminary Staff Review

October 26, 2021

Quintanilla, Headley and Associates
124 E. Stubbs St.
Edinburg, TX 78541
(956) 381-6480

RE: PRELIMINARY REVIEW – T&O RANCH No. 2 SUBDIVISION

Mr. Quintanilla,

After reviewing the above referenced plat, the following are the preliminary phase submittal comments:

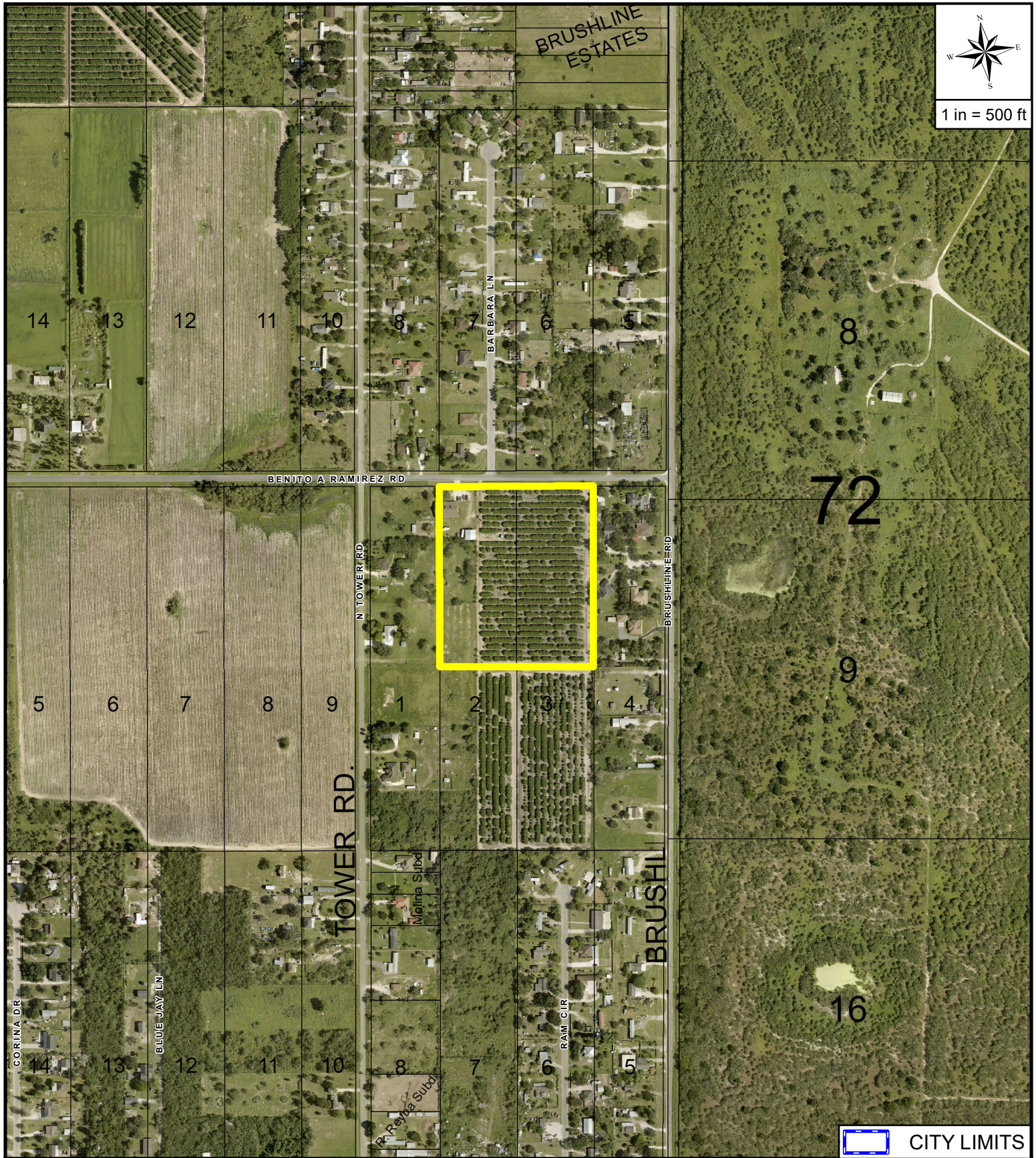
1. No comments.

Any questions, please feel free to contact me.


Sincerely,

Omar Garza
Fire Marshal
Email: ogarza@cityofedinburg.com
212 W. McIntyre St.
Edinburg, TX 78539


References:
Unified Development Code and 2012 International Fire Code

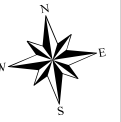


AERIAL MAP	
APPLICANT/SUBDIVISION:	T&O RANCH INVESTMENTS LLC
CASE CAPTION:	Consider the Preliminary Plat of T&O RANCH A 4.95 Acre Tract of Land Out of the East ½ Lot 2 and Lot 3, Block 28 Santa Cruz Gardens Unit 2 Subdivision, Hidalgo County, Texas Official Records, Volume 8 Pages 28 and 29 Hidalgo County Map Records Located as Requested by Quintanilla, Headly and Associates, Inc.

 CITY LIMITS

LEGEND

 APPLICANT SITE



1 in = 500 ft

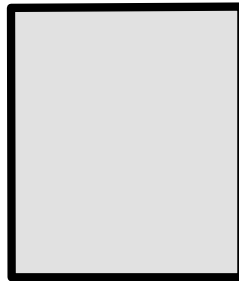
CORINA DR

BLUE JAY LN

BENITO A RAMIREZ RD

N TOWER RD

BARBARA LN



BRUSHLINE RD

RAM CIR



SITE MAP

APPLICANT/SUBDIVISION: T&O RANCH INVESTMENTS LLC

CASE CAPTION:

Consider the Preliminary Plat of T&O RANCH A 4.95 Acre Tract of Land Out of the East ½ Lot 2 and Lot 3, Block 28 Santa Cruz Gardens Unit 2 Subdivision, Hidalgo County, Texas Official Records, Volume 8 Pages 28 and 29 Hidalgo County Map Records Located as Requested by Quintanilla, Headly and Associates, Inc.

 CITY LIMITS

LEGEND

 SUBDIVISION SITE



Case #

Edinburg

Planning & Zoning Department
415 W. University Drive
Edinburg, Texas 78539

(956) 388-8202

Subdivision Application

Date: _____ Request Type: Preliminary Plat1. Developer: T & O Ranch Investments, LLC 2. Owner/Contact Name: Tomas Arredondo3. Owner/Contact Phone: (956) 222-8135 4. Owner/Contact Email: _____5. Owner Address: 1201 S Huisache St Pharr, TX 785776. Exact Name of Subdivision: T & O Ranch Subdivision No. 2 7. Property ID: 2782528. Current Zoning: N/A Required Zoning: _____

10. Legal Description: _____

4.95 Acre Tract out of a 15.00 acre tract of land being the east 1/2 of lot 2 and all of lot 3, out of block 28, Santa Cruz Gardens Unit 2 Subdivision, Volume 8, Page 28 and 29, H.C.M.R.11. Inside City Limits? No If "No," is in the _____ Comprehensive Development Area _____ Rural Development Area12. Primary Consulting Firm: Quintanilla, Headley & Associates 13. Phone: (956) 381-648014. Consulting Firm Address: 124 E Stubbs Edinburg, TX 7853915. Consulting Firm Email(s): alfonso@qha-eng.com16. Desired Land Use Option: Single Family17. Number of Lots: Single Family 4 Multi-Family _____ Commercial _____ Industrial _____18. Proposed Wastewater Treatment: _____ Sanitary Sewer ☒ OSSF (On-Site Sewage Facility)19. Electric Power and Light Company to Serve the Proposed Subdivision: Magic Valley Electric Co-op20. Irrigation District: Santa Cruz No. 15 Potable-water Retailer: North Alamo Water Supply Corp.

Owner of record, holding title to real estate within the proposed subdivision. Ownership instrument (i.e. Title Policy, Warranty Deed and Deed of Trust) shall be submitted with application. All such owners are listed immediately below.

Owner Name(s) (Print or Type) <u>Tomas Arredondo</u>	Owner Mailing Address & Zip Code <u>1201 S Huisache St Pharr, TX 78577</u>
Owner Phone Number <u>(956) 222-8135</u>	Owner Email _____

RECEIVED

OCT 12 2021

Have any of said owners designated agents to submit and revise this plat application on their behalf? Name: B 2:18
____ Yes ☒ No (If "Yes" attached duly notarized documentation to that effect, signed by each such owner.)

The undersigned owner(s) of record (or their authorized agents) hereby agree to make all improvements and meet all requirements and standards as specified in the City of Edinburg Unified Development Code and Ordinances. The undersigned hereby request that the Edinburg Planning & Zoning Commission and the City Commission approve the attached subdivision plat. I certify that all items contained in this application and attachments (including all construction plans) are true and correct to the best of my knowledge and not in conflict with any deed restrictions or restrictive covenants. Furthermore, I understand that any omission or incorrect information may result in approval or permit being denied or revoked. Developer's requirement sheet must be completed, signed, and submitted with the application form.

Signature

Date

77.610-11-21

ACKNOWLEDGEMENTS**OWNER**

I acknowledge that the subdivision application is a process. During this process, my application is reviewed by multiple City departments and requires separate and distinct approval by each. I understand that approval by one department does NOT constitute approval by all departments and should not be construed as final approval, clearance, or notice to proceed. Furthermore, review of this application by City staff is dependent upon the accuracy of the information provided. Any information found to be lacking or incorrect may result in my application being delayed or denied. If any portion of my plan changes or must be modified, it is my responsibility to notify City staff as soon as is practicable, and I accept that these changes may result in reassessment, denial, or revocation of any approvals or permits received prior to that time.

Owner/Agent 7.1.C**ENGINEER**

I have read the information contained on the following Subdivision Plat Fees and Submission Requirements forms and hereby agree to comply with requirements noted herein.

Project Engineer [Signature]**Subdivision Plat Fees****SUBDIVISION NAME:** T & O Ranch Subdivision No. 2**Administrative Fees (select all that apply)****Office Use Only**

<input checked="" type="checkbox"/> 1. Preliminary Plat, \$ 250	_____	<u>18</u>
<input type="checkbox"/> 2. Final Plat, \$ 200	_____	_____
<input type="checkbox"/> 3. Minor Plat, \$ 250	_____	_____
<input type="checkbox"/> 4. Amended Plat, \$ 250	_____	_____
<input type="checkbox"/> 5. Re-Plat, \$ 250	_____	_____
<input type="checkbox"/> 6. Vacating Plat, \$ 250	_____	_____
<input type="checkbox"/> 7. Plat Review Fee (2 -5 Mile E.T.J.), \$ 250	_____	_____
<input type="checkbox"/> 8. Site Plan Review, \$ 250	_____	_____
<input type="checkbox"/> 9. Appeals or Variances, \$ 450	_____	_____
<input type="checkbox"/> 10. Voluntary Annexation, \$ 100 Plus Publication Cost: _____	_____	_____
<input type="checkbox"/> 11. Land-Clearing Permit, \$ 150	_____	_____
<input type="checkbox"/> 12. Street Sign Installation, \$ 200	_____	_____
13. Park Land Fees (Per Unit)		
<input type="checkbox"/> Developer, \$ 300 # of Units: <input type="text"/>	_____	_____
<input type="checkbox"/> Builder, \$ 300 # of Units: <input type="text"/>	_____	_____
<input type="checkbox"/> E.T.J. Single Family, \$ 300 <input type="text"/>	_____	_____
<input type="checkbox"/> E.T.J. Multifamily, \$ 300 <input type="text"/>	_____	_____

Variable (fill as appropriate)

<input type="checkbox"/> 14. Administration and Inspection Fee, 2.0%	_____	_____
<input type="checkbox"/> 15. Construction Materials Testing Fee, 3.0%	_____	_____
<input type="checkbox"/> 16. Water Right Fees Per Acre, TBD	_____	_____

TOTAL \$ 0.00*** Make all checks payable to the City of Edinburg**

GENERAL SUBDIVISION PLAT NOTES

1. MINIMUM FINISH FLOOR ELEVATION SHALL BE AT 18" ABOVE THE TOP OF THE STREET CURB WHEN MEASURED AT THE CENTER FRONT OF ALL LOTS. ELEVATION CERTIFICATE MAY BE REQUIRED FOR LOTS LOCATED OUTSIDE A DESIGNATED FLOOD ZONE AT THE TIME FOR APPLICATION FOR CONSTRUCTION TO VERIFY PRE AND POST CONSTRUCTION FINISH FLOOR ELEVATIONS. AN ELEVATION CERTIFICATE SHALL BE REQUIRED FOR ALL LOTS WITH A DESIGNATED FLOOD ZONE AT THE TIME FOR A DEVELOPMENT PLAT APPLICATION.

2. THIS SUBDIVISION IS LOCATED IN ZONE "X" AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOOD PLAIN. A FIRM COMMUNITY PANEL NO. 48034-0350 C MAP DATED: JUNE 04, 2005 REVISED TO REFLECT LOUW MAY 17, 2021

3. CONSTRUCTION OF RESIDENTIAL HOUSING WITHIN ANY AREA OF THE SUBDIVISION, THAT IS IN THE 10-YEAR FLOOD PLAIN IS PROHIBITED UNLESS THE SUBDIVISION IS FOR RESIDUES UNDER THE NATIONAL FLOOD INSURANCE ACT OF 1968 (42 U.S.C. SECTIONS 4001 THROUGH 4127).

4. STRIPS: FROM: 40.00 FEET NEAR: 15.00 FEET OR EASEMENT WHICHEVER IS GREATER SIZE: 6.00 FEET OR EASEMENT WHICHEVER IS GREATER

5. NO MORE THAN ONE SINGLE-FAMILY DETACHED DWELLING SHALL BE LOCATED ON EACH LOT. THIS MUST BE STIPULATED ON ALL DEEDS AND CONTRACTS FOR DEEDS ANY OTHER USE. PLANNING DEPARTMENT, OFFICE OF ENVIRONMENTAL COMPLIANCE, HEALTH DEPARTMENT AND FIRE MARSHAL APPROVALS. APPLICATIONS FOR CONSTRUCTION ARE REQUIRED PRIOR TO OCCUPANCY OF THE LOT.

6. BENCHMARK NOTE: THE FOLLOWING BENCHMARK IS NOTED ON THE FACE OF THE PLAT AND ON THE PLAT AND ON THE ATTACHED ENGINEERING PLANS: B.M. No. 1 - ELEV. = COTTON PICKER SPINDLE FOUND AT THE SOUTH CORNER OF THE SUBDIVISION ON NAD 83 DATUM.

7. IN ACCORDANCE WITH THE HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 AND HIDALGO COUNTY REQUIREMENTS, THIS DEVELOPMENT WILL BE REQUIRED TO OBTAIN A TOTAL OF 0.005-ACRE-FEET (L) ACRE-FEET OF STORM WATER RUNOFF. DRAINAGE RETENTION IN ACCORDANCE WITH THE LOCAL REQUIREMENTS WILL BE ACCOMPLISHED AS FOLLOWS: USE STORM SEWER IMPROVEMENTS.)

8. NO STRUCTURE SHALL BE PERMITTED UNDER ANY EASEMENT. EASEMENTS SHALL BE KEPT CLEAR OF BUILDINGS, TREES, SHRUBS, TREES, AND OTHER PLANTINGS EXCEPT LAWN, LESS THAN 18 INCHES MATURE HEIGHT, GROUND COVER, GRASS, OR FLOWERS, AND OTHER OBSTRUCTIONS THAT WOULD INTERFERE WITH THE OPERATION AND MAINTENANCE OF THE EASEMENT.

9. EACH PURCHASED LOT SHALL BE BOUND BY A SUBDIVISION AND PURCHASER OF A LOT IN THIS SUBDIVISION SHALL CONTAIN A STATEMENT DESCRIBING HOW AND WHEN WATER, SEWER, ELECTRICITY, AND GAS SERVICES WILL BE MADE AVAILABLE TO THE LOT.

10. ALL PUBLIC UTILITIES EASEMENTS LOCATED BY THIS PLAT SHALL BE A MINIMUM WIDTH OF 15.00 FEET AS PER THE HIDALGO COUNTY MODEL SUBDIVISION RULES. BY SIGNING THIS PLAT, DEVELOPER AND ENGINEER CERTIFY THAT ALL OTHER EASEMENTS SHOWN CORRELATE WITH THE SIZE REQUIRED BY EACH UTILITY PROVIDER OCCUPANCY AN EASEMENT.

11. ALL LOTS SHALL HAVE A POST DEVELOPMENT ENHANCED GRADE FROM THE REAR OF THE LOT TO THE CURB ANYWHERE BORDERED WITH A 0.5% SLOPE TO ACCOMPLISH POSITIVE DRAINAGE.

12. THE PURCHASER OF EACH LOT SHALL BE RESPONSIBLE TO INSTALLED DRIVEWAY CURB/ENHANCED CONCRETE PIPE OF OR LESS THAN 15 INCHES IN DIAMETER AND 24 FEET IN LENGTH.

13. AN OFF-STREET PARKING LOT SITE PLAN AND DRAINAGE PLAN APPROVED BY THE HIDALGO COUNTY PLANNING DEPARTMENT AND THE OFFICE OF ENVIRONMENTAL COMPLIANCE SHALL BE REQUIRED FOR COMMERCIAL USE AT THE TIME OF APPLICATION FOR CONSTRUCTION PRIOR TO THE ISSUANCE OF A BUILDING AND/OR DEVELOPMENT PERMIT. NO WATER OR LIGHT ALLOWANCES SHALL BE ISSUED WITH THE SITE PLAN, DRAINAGE PLAN AND OFF-STREET PARKING PLAN APPROVED IMPROVEMENTS ARE CONSTRUCTED IN ACCORDANCE WITH COUNTY AND STATE STANDARDS.

14. ON-SITE SEWAGE FACILITIES (OSPF) NOTE: THIS SUBDIVISION SHALL USE ON-SITE SEWAGE FACILITIES IN ACCORDANCE WITH RULES AND HIDALGO COUNTY REGULATIONS FOR SEWAGE DISPOSAL. THE SUBDIVISION IS RESPONSIBLE FOR PROVIDING AN OSPF ON ALL LOTS.

A. OSPF SYSTEM IS BEING DESIGNED FOR DISPOSAL OF DOMESTIC SEWAGE ONLY. A SEPARATE DESIGN SHALL BE SUBMITTED FOR COMMERCIAL USE.

B. EACH LOT ON THIS PLAT COMPLIES WITH THE MINIMUM 21,780 SQUARE FEET LOT AREA WITH POSITIVE WATER SURVEY.

C. OSPF SYSTEM SHALL REQUIRE INSPECTION AND APPROVAL BY HIDALGO COUNTY AUTHORIZED DEPARTMENT.

D. SOIL ANALYSIS HAVE BEEN SUBMITTED TO THE AUTHORIZED HIDALGO COUNTY DEPARTMENT AND EXCEPTS MAY BE ALSO SENT ON THE UTILITY PLAT FOR THIS SUBDIVISION AS SUBMITTED TO THE HIDALGO COUNTY PLANNING DEPARTMENT. THE ENGINEER HAS DETERMINED THAT THE SOIL IS SUITABLE FOR A STANDARD SEPTIC TANK AND ABSORPTIVE TRENCH FIELD SYSTEM.

E. APPROVED "OSPF" PERMIT APPLICATION IS REQUIRED INCLUDING INDIVIDUAL LOT PLANNING MATERIALS PRIOR TO OCCUPANCY OF A LOT.

15. THERE ARE NO WATER WELLS WITHIN 150 FEET FROM THE BOUNDARIES ON THIS SUBDIVISION.

16. T & O RANCH INVESTMENTS LLC, THE OWNER A SUBDIVISION OF T & O RANCH No.2 SUBDIVISION, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT KNOW AS T & O RANCH No.2 SUBDIVISION, HEREBY CERTIFY THAT A BLANKET EASEMENT UPON EACH LOT FOR THE PURPOSE OF INSTALLING AND APPROVED OSPF ON THE LOT AS DESCRIBED ON SHEET NO.2 OF THIS PLAT.

17. THE DEVELOPER SHALL BE RESPONSIBLE FOR OBTAINING AND ACCOMMODATING MORE THAN THE DETAINED VOLUME SHOWN ON THIS PLAT IF IT IS DETERMINED, AT THE DEVELOPMENT STAGE, THAT THE DETENTION REQUIREMENTS ARE GREATER THAN SHOWN ON THIS PLAT, DUE TO THE SUPERVISORY AREA BEING GREATER THAN THE PLAT ENGINEER CONSIDERED IN THE FORMULA CALCULATIONS FOR THIS SUBDIVISION.

LOCATION MAP

SCALE: 1"=400'



LOCATION OF SUBDIVISION WITH RESPECT TO THE EXTERIOR TERRITORY.

JURISDICTION OF A MUNICIPALITY: T & O RANCH No.2 SUBDIVISION IS LOCATED SOUTH SIDE OF BENITO RAMIREZ ROAD APPROXIMATE 400 FEET WEST OF BRUSHLINE ROAD. THE ONLY NEARBY MUNICIPALITY IS THE CITY OF EDINBURG, ACCORDING TO THE CITY MAP IN THE OFFICE OF THE SECRETARY OF THE CITY OF EDINBURG, TEXAS.

77,100 - 2010 CENSUS) AND HIDALGO COUNTY PLANNING DEPARTMENT. THIS SUBDIVISION LIES IN A 2 MILE EXTRA TERRITORIAL JURISDICTION (ETJ) OF THE CITY OF EDINBURG, TEXAS. LOCAL GOVERNMENT CODE 21.020 PRECINCT NO. 4.



FILED FOR RECORD IN HIDALGO COUNTY ARCHIVES BY HIDALGO COUNTY CLERK

ON: _____ AT: _____ AM/PM

INSTRUMENT NUMBER _____ OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS

BY: _____ DEPUTY

PRINCIPAL CONTACTS:

OWNER: T & O RANCH INVESTMENTS LLC

ENGINEER: ALFONSO QUINTANILLA

SURVEYOR: HENRIQUE L. GUTIERREZ

NAME

ADDRESS

CITY & ZIP

PHONE

FAX

1201 S. HURLOCK AVE. PHARR, TX 78877 (956)222-8135 N/A

124 E. STUBBS EDINBURG, TX 78539 (956)381-6450 (956)381-0527

P.O. BOX 346 MCALLEN, TX 78503 (956)381-6489 (956)382-0688

SECRETARY

PRESIDENT

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MAYOR'S CERTIFICATION

I, THE UNDERSIGNED, MAYOR OF THE CITY OF EDINBURG, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THE CITY HEREIN MY APPROVAL IS REQUIRED.

MAYOR'S SIGNATURE

DATE

ATTEST:

CITY SECRETARY

DATE

STATE OF TEXAS
COUNTY OF HIDALGO

UNDER LOCAL GOVERNMENT CODE §232.028(a)

WE THE UNDERSIGNED CERTIFY THAT THIS PLAT OF THE T & O RANCH No.2 SUBDIVISION WAS REVIEWED AND APPROVED BY THE HIDALGO COUNTY COMMISSIONERS COURT ON

HIDALGO COUNTY JUDGE

DATE

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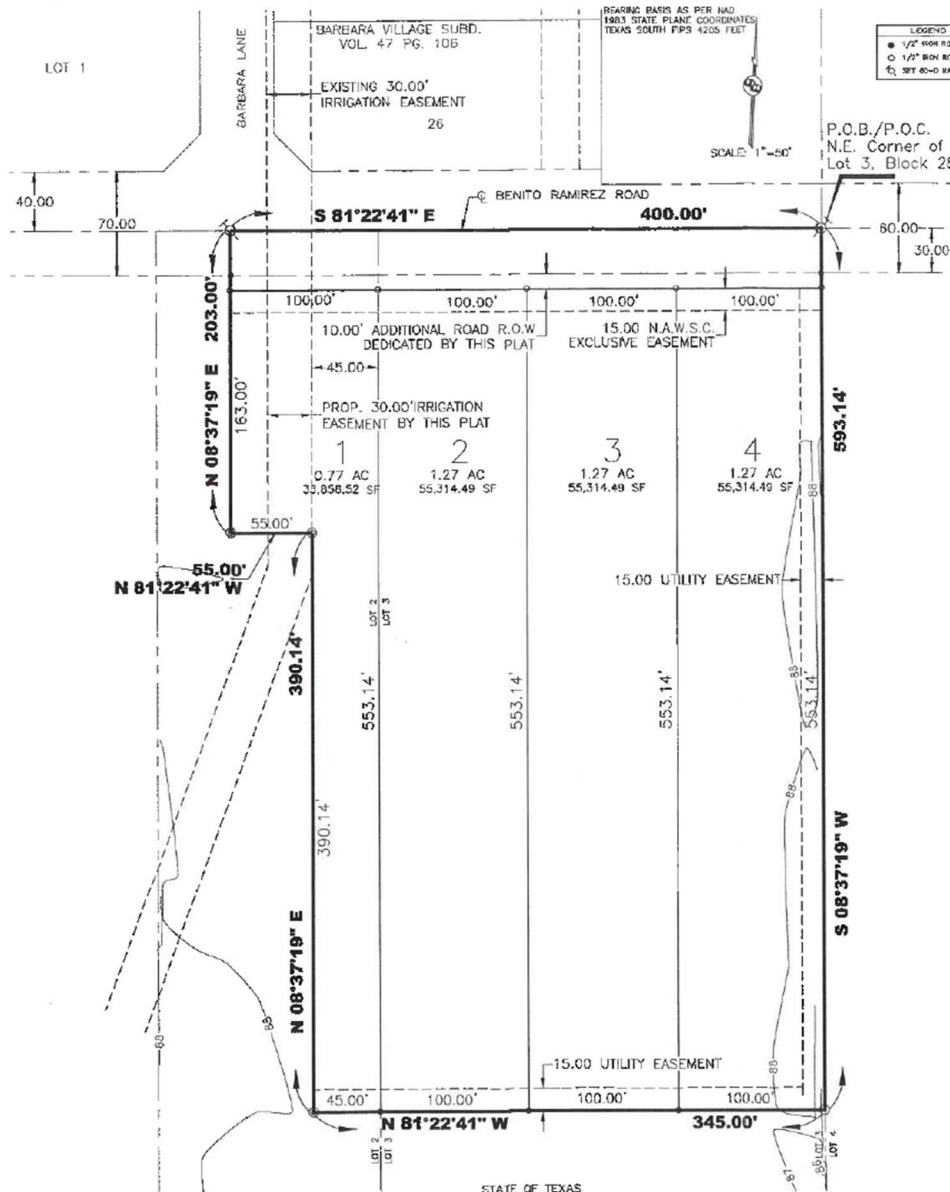
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T & O RANCH DEVELOPMENT

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FOR THIS SUBDIVISION
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CERTIFY THAT THE DRAIN
SUBDIVISION, BASED ON
RESPONSIBILITY OF THE
DETERMINATIONS.



LEGEND
● 1/2" 60# R30 FOUND
○ 1/2" 60# R30 SET
□ 3/4" 60# R30

BEARING BASIS AS PER NAD
1983 STATE PLANE COORDINATES
TEXAS SOUTH ZONE 4205 FEET

SCALE 1"=50'

P.O.B./P.O.C.
N.E. Corner of
Lot 3, Block 28

BARBARA VILLAGE SUBD.
VOL. 47 PG. 106
EXISTING 30.00'
IRRIGATION EASEMENT
26

S 81°22'41" E 400.00'

10.00' ADDITIONAL ROAD R.O.W.
DEDICATED BY THIS PLAT
15.00' N.A.W.S.C.
EXCLUSIVE EASEMENT

1 0.77 AC 33,856.52 SF
2 1.27 AC 55,314.49 SF
3 1.27 AC 55,314.49 SF
4 1.27 AC 55,314.49 SF

15.00' UTILITY EASEMENT

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SUBDIVISION WITHIN CITY LIMITS CHECK LIST
PRELIMINARY STAGE

PLANNING & ZONING DEPARTMENT (956) 388-8202

SUBDIVISION PROCESS

 Date : **November 5, 2021**

Date: November 3, 2021

P&Z

P&Z

City

 Filed: **October 4, 2021**

Preliminary:

November 9, 2021

Final:

Council:

Reviewed

Staff Review :

October 21, 2021

 Time Line : **365** Days

Expires :

 By: **Abel Beltran, Subd. Coord.**

Staff / Engineer :

October 28, 2021

 1st Extension : **0** Days

Expires 1:

abeltran@cityofedinburg.com

 2nd Extension : **0** Days

Expires 2:

Planning & Zoning Department:

Kimberly A. Mendoza, MPA

 Email : kmendoza@cityofedinburg.com

City Office #: (956) 388-8202

Utility Department

Gerardo Carmona, P.E.

 Email : gcarmona@cityofedinburg.com

City Office #: (956) 388-8212

Director of Public Works

Vincent Romero

 Email : layala@cityofedinburg.com

City Office #: (956) 388-8210

Director of Engineering

Mardoqueo Hinojosa, P.E., CPM

 Email : mhinojosa@cityofedinburg.com

City Office #: (956) 388-8211

Owner:	Tomas Arredondo, Owner	1201 S. Huisache Street, Pharr, TX. 78577	Alfonso Quintanilla, P.E. Project Engineer
T & O RANCH SUBDIVISION NO. 2		Consultant : Quintanilla, Headley & Associates, Inc.	
DESCRIPTION	Provided	Need to Provide	COMMENTS

Subdivision Process:

Subdivision Plat Submittal	✓		GIS Address : 7100 Benito Ramirez Road - ETJ
Warranty Deed	✓		
Topography Survey	✓		
Drainage Report Submittal (As Per City Drainage Policy)	✓		Approved by H.C.D.D.#1 Date: Pending Approval
Zoning : Extra-Territorial Jurisdiction-ETJ - Single Family	✓		Subdivision is 4.20-Miles out side City Limits (Along Ramseyer Rd.)
Flood Zone	✓		Zone "X" (Un-Shaded)

Preliminary Submittals:

Existing & Proposed Water Distribution Layout	✓		North Alamo Water Supply Corporation - Distribution System
Water Distribution System Provider:	✓		North Alamo Water Supply Corporation - Distribution System
Existing & Proposed Sewer Collection Layout	✓		County of Hidalgo OSSF System
Sanitary Sewer Collection System Provider:	✓		City of Edinburg Sanitary Sewer Collection System
Existing and Proposed Drainage Layout System:	✓		Private Drainage System onto H.C.D.D. # 1
MPO Collector / Arterial Right-of-way Dedication	✓		Proposed Private Streets
Minor / Major Collector Street Pavement Section	✓		In Accordance to Standard Street Policy
Variances Appeals Request: (Date) (Outside 3.5-Mile ETJ)	✓		Planning & Zoning Meeting Results City Council Meeting
Street Widening Improvements		✓	
Street 5-ft Sidewalk Improvements		✓	
Drainage Improvements	✓		

Construction Plans Review Submittals:

(See Section 4 Construction Plans Submittals Policy, 2014 STANDARD POLICY MANUAL)

Cover Sheet		✓	
Topography Sheet (Utilities, Bench Marks)		✓	
Sanitary Sewer Improvements: On-Site & Off-Site			✓ City of Edinburg Sanitary Sewer Standard Policy's
Sanitary Sewer Detail Sheets			✓ See Section 3 Utility Policy, 2014 Standard Policy Manual
Water Distribution Improvements: On-Site & Off-Site			✓ North Alamo Water Supply Standard Policy's
Water Distribution Detail Sheet (Fire Hydrant Assembly)		✓	
Drainage Improvements:			✓ See Section 3 Utility Policy, 2014 Standard Policy Manual
Drainage Detail Sheets			✓ See Section 1 Drainage Policy, 2014 Standard Policy Manual
Minor/Major Collector Streets Improvements:		✓	
Street Sign Sheet:			✓ See Section 2 Streets Policy, 2014 Standard Policy Manual
Street Detail Sheets			✓ See Section 2 Streets Policy, 2014 Standard Policy Manual
Street Lighting Sheet:			✓
Traffic Control Plan:		✓	
Erosion Control Plan		✓	
Erosion Control Plan Detail Sheet		✓	See Storm Water Management, 2014 Standard Policy Manual

DESCRIPTION	Provided	Need to Provide	Not Applicable	Need to Revise	COMMENTS
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Pre-Construction Meeting:

Notice To Proceed			✓		Dated:
Roadway Open-Cut or Bore Permit Application			✓		Dated:
TX-Dot Water UIR Permit			✓		Dated:
TX-Dot Sewer UIR Permit			✓		Dated:
N.O.I. Submittal			✓		Dated:
SWPP Booklet Submittal			✓		Dated:
RFI #1 Request			✓		Dated:
Change Orders			✓		Dated:
Final Walk Though			✓		Dated:
Punch List			✓		Dated:
Punch List (Completed and Approved)			✓		Dated:
Letter of Acceptance			✓		Dated:
1-year Warranty (Water/Sewer/Paving/Drainage)			✓		Dated:
Backfill Testing Results			✓		Dated:
As-Builts (Revised Original Submittal)			✓		Dated:

Recording Process:

Public Improvements with (Letter of Credit)			✓		Dated:	Expires:
Recording Fees	\$ 106.00		✓		As required by County Clerks office	
Copy of H.C.D.D. #1 of invoice	\$ 250.00		✓		Required to be paid prior to Final Stages	
Street Light Escrow	\$ -		✓		Required: 0	EA. @ \$ -
Street Escrow Ramseyer Road (Estimate)	\$ 28,650.00		✓		Required: 400	EA. @ \$ 71.63
Sidewalk Escrow: Ramsyser Rd (Estimate)	\$ 10,000.00		✓		Required: 400	LF @ \$ 25.00
TOTAL OF ESCROWS:	\$ 38,650.00					
Total Developer's Construction Cost: (Letter of Credit)			✓		Date :	Lender :
Laboratory Testing Fee: 3%	\$ 859.50		✓		\$ 28,650.00	Estimated Construction Cost
Inspection Fee: 2%	\$ -		✓		\$ -	Final Construction Cost
Park Land Fees: Park Zone # 4	\$ 2,400.00		✓		4 Lots @ \$ 600.00	Full rate within the ETJ
0 Residential \$ -	\$ -		✓		50% Development	50% Building Stage
0 Multi-Family \$ -	\$ -		✓		0% Development	0% Building Stage
Water Rights: NAWSC - CCN	\$ -		✓		4.580 Acres	\$ -
Water 30-year Letter (Residential)	\$ -		✓		4 Lots @ \$ -	NAWSC WATER-CCN
Water 30-year Letter (Multi-Family)	\$ -		✓		0 Lots @ \$ -	
Sewer 30-year Letter COE - CCN	\$ -		✓		4 Lots @ \$ -	COE SEWER-CCN
TOTAL OF FEES:	\$ 2,400.00					

Reimbursements:

Developer Sewer Improvements	\$ -		✓		Off-Site System: 0.000	AC	\$ -
Developer Water Improvements	\$ -		✓		Off-Site System 0.00	AC	\$ -
TOTAL OF REIMBURSEMENTS:	\$ -						

Buyouts:

North Alamo Water Supply Corporation	\$ -	✓			Required Buyout 0.00	AC.	\$ -
Sharyland Water Supply Corporation			✓		Not Applicable		

Tax Certificates

County of Hidalgo / School District		✓					
Water District		✓			Hidalgo County Irrigation District # 1		

Total of Escrows, Fees, Reimbursements and Buyouts:

Total of Escrows, Fees, Reimbursements and Buyouts:			
Escrows	\$	38,650.00	Street & Sidewalk Improvements for Ramseyer Road
Inspections other Fees	\$	2,400.00	Parkland Fees, Water/Sewer 30-year Agreement/Water Rights
Reimbursements	\$	-	Reimbursement to the Developer of Subdivision
City of Edinburg	\$	-	15% Payable to the City of Edinburg for Administrative Fee
To the Developer of Record	\$	-	85% Payable to the Developer of Record Owner / Developer
Buyouts	\$	-	Based on Subdivision (Need Request and Approval rate from ? Broad)
	TOTAL :	\$ 41,050.00	Developer Total Cost of Fees, Escrows, Reimbursements & Buyouts

4.95	TOTAL ACRES			
0.367	43560	400	40	Veterans Road ("I" Road)
0.000	0	0	0	
0.367	ACRES			
Current Acre Water Rights Cost :		\$	-	<u>\$ -</u>
4.58	NET ACRES			

STAFF REPORT: JALPA OAKS SUBDIVISION

November 4, 2021

Planning and Zoning Meeting:

November 9, 2021

Agenda Item: **7D**

Preliminary Plat

Subject: Consider the Preliminary Plat of **JALPA OAKS SUBDIVISION**, being a 17.37 acre tract of land out of Lots 31 & 32, The M.L. Woods Co. Tract No. 4 Subdivision, located at 4801 S. Veterans Road, as requested by Melden & Hunt, Inc.

Location: The property is located on the east side of Veterans Road (I-Road), approximately 780 ft. north of Alberta Road and within the City of Edinburg City Limits.

Zoning: Agriculture (AG) District with future zoning Auto-Urban Residential (AR) District.

Analysis The Preliminary Plat proposes a single-family residential development with a total of forty-nine (49) lots averaging approximately 9,850.00 sq. ft. with set backs on Auto-Urban Residential (AR), Front; 20 ft, Side; 6 ft, Rear; 20 ft.

Utilities: Water Distribution System is within North Alamo Water Supply Corporation, service CCN and Sanitary Sewer System is within City of Edinburg Sanitary Sewer System, service CCN. All utility improvements within the proposed subdivision that are not limited to water, sewer, curb and gutter, fire hydrants, will be installed by the developer in accordance with the approved 2014 Standards Manual.

Recommendations:

City of Edinburg Planning & Zoning Department:

Staff recommends approval of the Preliminary Plat, subject to compliance with the Unified Development Code, General Notes; on FEMA flood zone, zoning, setbacks, finish floor elevation, benchmark, drainage detention, parkland fees, limited access, SWP3 requirements, sidewalks, and other notes as required based on development.

City of Edinburg Engineering / Utilities Department

Preliminary Phase Submittal comments for this subdivision are included in the packet. As per Engineering, the plat shall be Preliminarily Approved until all comments have been addressed by the project engineer.

City of Edinburg Fire Department:

The following are the preliminary phase submittal comments as noted by the Fire Department:

1. Provide street names to the City of Edinburg Engineering Department for approval.
2. Fire lane 15 ft. in width shall be painted in front of all fire hydrants.
3. Provide double face blue fire hydrant street marker on center on the street in front of the fire hydrant.
4. Fire hydrant shall be every 600 ft. for one and two family dwellings as per Section 507.5.1 of 2012 IFC.
5. All streets should be 32 ft. B-B paving section according to Table 8.204 of the Edinburg Unified Development Code.

City of Edinburg Storm Water:

The following are the preliminary phase submittal comments as noted by Storm Water

1. **SW3P** (Stormwater Pollution Prevention Plan)
2. **NOI** (Notice of Intent, Per TCEQ)
3. **Large Construction Notice** (Per TCEQ Inventory)
4. **Detailed Erosion Control Plan** (Silt Fence, Construction Entrance, Inlet Protection, Concrete Washout)
5. **Detailed Post Construction BMP's Plan** (70% Vegetation or Silt Fence back of curb)
6. **Plat Note** (All construction shall comply with Stormwater Pollution Prevention Plan (SW3P) requirements. Erosion and Sedimentation Controls constructed in accordance with the Stormwater Ordinance 98.30 of the City of Edinburg are required for all construction on each lot including single family and duplex/multi-family construction)
7. **NOT** (Notice of Termination, Per TCEQ) will now be required before the final walk through.
8. **Comments:**
 - SW3P Plat note has been revised. Please see the note for your reference.
 - NOT will need to be submitted before the final walk through.
 - Stormwater is now requiring a Post Construction Plan on plans that are submitted, either 70% vegetation or Install Silt Fence behind the back of curb.
 - Silt Fence around the entire project.
 - Large Construction Notice needs to be submitted with contractors contact information.
 - All items must be submitted before the NTP is issued.
 - Please email pending items to rvalenzuela@cityofedinburg.com

City of Edinburg Solid Waste

Not applicable for Single Family Residential Development.



ENGINEERING DEPARTMENT

Preliminary Staff Review

October 27, 2021

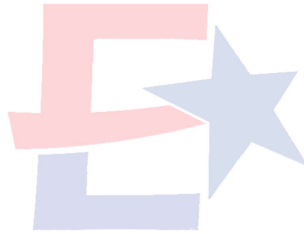
Mario Reyna, P.E.

Melden & Hunt Inc.
115 W. McIntyre
Edinburg, TX 78541
(956) 381-0981

RE: JALPA OAKS SUBDIVISION – PRELIMINARY REVIEW

Mr. Reyna,

Attached are the Preliminary Phase Submittal comments for Jalpa Oaks Subdivision. Subdivision shall be preliminarily approved upon addressing the comments.



Any questions feel free to contact us.

Thanks,

Digitally signed by Peter
Hermida
Date: 2021.10.28
15:05:18 -05'00'

Peter Hermida E.I.T.

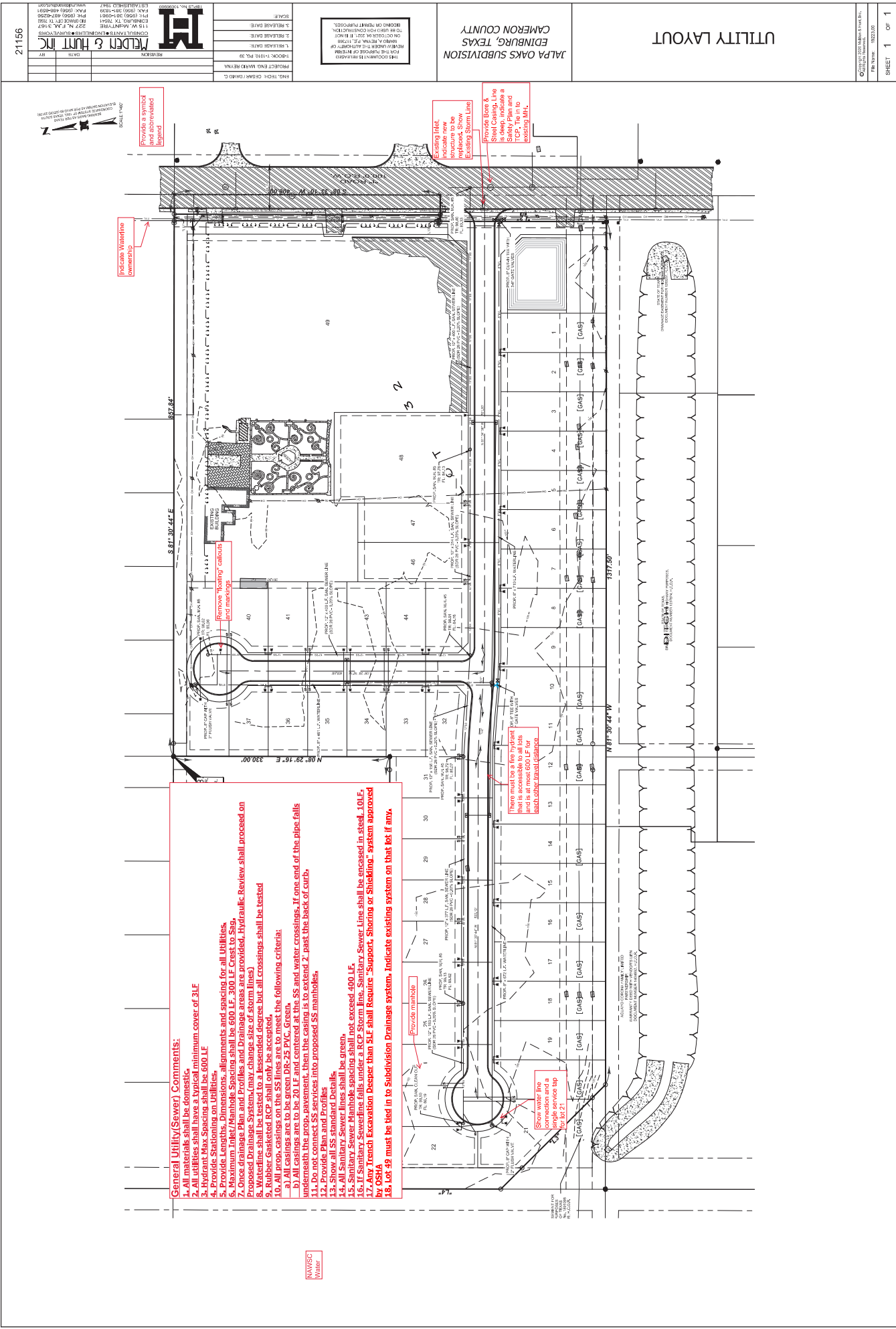
Email: phermida@cityofedinburg.com

415 W. University Drive
Edinburg, Texas 78539

Cc: Mardoqueo Hinojosa, P.E., CFM, City Engineer, Patrizia Longoria, Engineer III, Roberto Hernandez, Engineer I, Abel Beltran, Planner I, Vince Romero, Director of Public Works, Robert Valenzuela, Storm Water Specialist, Kimberly Mendoza, Director of Planning and Zoning, Rita Lee Guerrero, Planner I, Jaime Xavier Ayala, Planner II, Gerardo Carmona P.E., Director of Utilities, Jose Flores, Systems Superintendent, Omar Garza, Fire Marshal, Ramiro Gomez, Director of Solid Waste

REFERENCES:

City of Edinburg – 2014 Standard Manual – Construction and Development Requirements; Unified Development Code; and if required a TX-Dot Permitting UIR permitting process.



General Utility(Sewer) Comments:

1. All materials shall be domestic.
2. All utilities shall have a typical minimum cover of 3LF
3. Hydrant Max Spacing shall be 600 LF
4. Provide Stationing on Utilities
5. Provide Manhole and Profile alignments and spacing for all utilities.
6. Maximum Inlet/Manhole Spacing shall be 600 LF, 300 LF Crest to Sag.
7. Once Drainage Plan and Profiles and Drainage areas are provided, Hydraulic Review shall proceed on Proposed Drainage System, (may change size of storm lines)
8. Waterline shall be tested to a lesser degree but all crossings shall be tested
9. Rubber Gasketed RCP shall only be accepted.
10. All prop. casings on the SS shall meet the following criteria:
 - a) All casings shall be 24" or 30" PVC.
 - b) All casings are to be 20 LF and centered at the SS and water crossings. If one end of the pipe falls underneath the prop. pavement, then the casing is to extend 2' past the back of curb.
11. Do not connect SS services into proposed SS manholes.
12. Provide Plan and Profiles
13. Show all SS standard Details
14. All Sanitary Sewer Lines shall be green.
15. All Sanitary Sewer Manholes shall be green.
16. If Sanitary Sewerline falls under a RCP Storm Line, Sanitary Sewer Line shall be encased in steel, 10LF.
17. Any Trench Excavation Deeper than 5LF shall Require "Support, Shoring or Shielking" system approved by OSHA
18. Lot 49 must be tied in to Subdivision Drainage system. Indicate existing system on that lot if any.

RAISED
Water

SCALE: 1"=40'
N
INDICATE VALUETINE OWNERSHIP
Provide a symbol and abbreviated legend

INDICATE VALUETINE OWNERSHIP

Remove "Boiling" callouts and markings

Provide manhole

Show water line connection and a 10' section of water line for lot 21

There shall be a 600 LF section that is accessible to all lots and is at most 600 LF for each other frontage.

Excavation (lot) Indicate new structure to be existing storm line

Provide Box & Sheet Casing. Line shall be encased in steel, 10LF. Provide a Safety Plan and a "TCP". Tie in to existing MH.

UTILITY LAYOUT

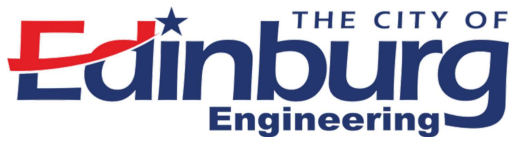
JALPA OAKS SUBDIVISION
EDINBURG, TEXAS
CAMERON COUNTY

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PERMITTED.

PROJECT: JALPA OAKS SUBDIVISION
SHEET: 1 OF 1
DATE: 08/22/2023
BY: [Signature]

21156
MELDEN & HUNT INC.
1115 N. LAMAR AVE. SUITE 100
EDINBURG, TEXAS 77541
P: 281.488.1115
F: 281.488.1116
M: 281.488.1117
WWW.MELDENANDHUNT.COM

FILE NAME: 21156-01
SHEET: 1 OF 1



415 W University Dr. • Edinburg, TX 78539 • (956) 388-8211

Trip Generation Worksheet

Subdivision Name: _____

Project Location: _____

(select one) ☐ C.O.E ☐ Edinburg ETJ

Applicant: _____ ☐ Owner ☐ Agent

Address: _____

Email: _____ Phone: _____

Date: _____

Proposed Type of Development

☐ New Development

☐ Re-Development

☐ Additional Development

Anticipated Land Use	Project Size			AM Peak Hour Trips	PM Peak Hour Trips	Weekday Trips	Wknd Trips	ITE Code
	Acres	GFA	# of Units					

*Multibuilding development or Master Plan-Multi Phase developments, please submit a tabulation sheet showing all proposed land uses

Previous TIA Report (if on file) TIA # _____

Peak Hour Trips Projected in TIA on file	Peak Hour Trips Projected in Updated Development Plan

Difference in PHT (Proposed PHT - Previous Development PHT or TIA PHT)

Increase in Peak Hour Trips
(if an increase of 76 PHT or an increase of 10% of the total PHT, a new TIA is required)

(For Official Use Only, Do Not Write In This Box)

_____	A TIA is required. The individual preparing the study must meet with City staff to discuss the scope and requirements of the study before beginning the study.
_____	A TIA is not required . The traffic generated by the proposed development does not exceed the threshold requirements.
Comments: _____	

Reviewed by: _____	Date: _____

NOTE: GFA = Gross Floor Area (bldg. size)

TIA = Traffic Impact Analysis

ITE = Institute of Transportation Engineers, Trip Generation, 10th Edition



Preliminary Staff Review

October 26, 2021

Mario A. Reyna
Melden & Hunt Engineering
115 W. McIntyre
Edinburg, TX 78541
(956) 381-0981

RE: PRELIMINARY REVIEW – JALPA OAKS SUBDIVISION

Mr. Reyna,

After reviewing the above referenced plat, the following are the preliminary phase submittal comments:

1. Provide street names to the City of Edinburg Engineering department for approval.
2. Fire lane 15 feet in width shall be painted in front of all fire hydrants.
3. Provide double face blue fire hydrant street marker on center on the street in front of fire hydrant.
4. Fire hydrant shall be every 600 feet for one and two family dwellings as per section 507.5.1 of 2012 IFC.
5. All street should be 32 feet B-B paving section according to table 8.204 of Edinburg Unified Development Code.

Any questions, please feel free to contact me.

Sincerely,

Omar Garza

Fire Marshal

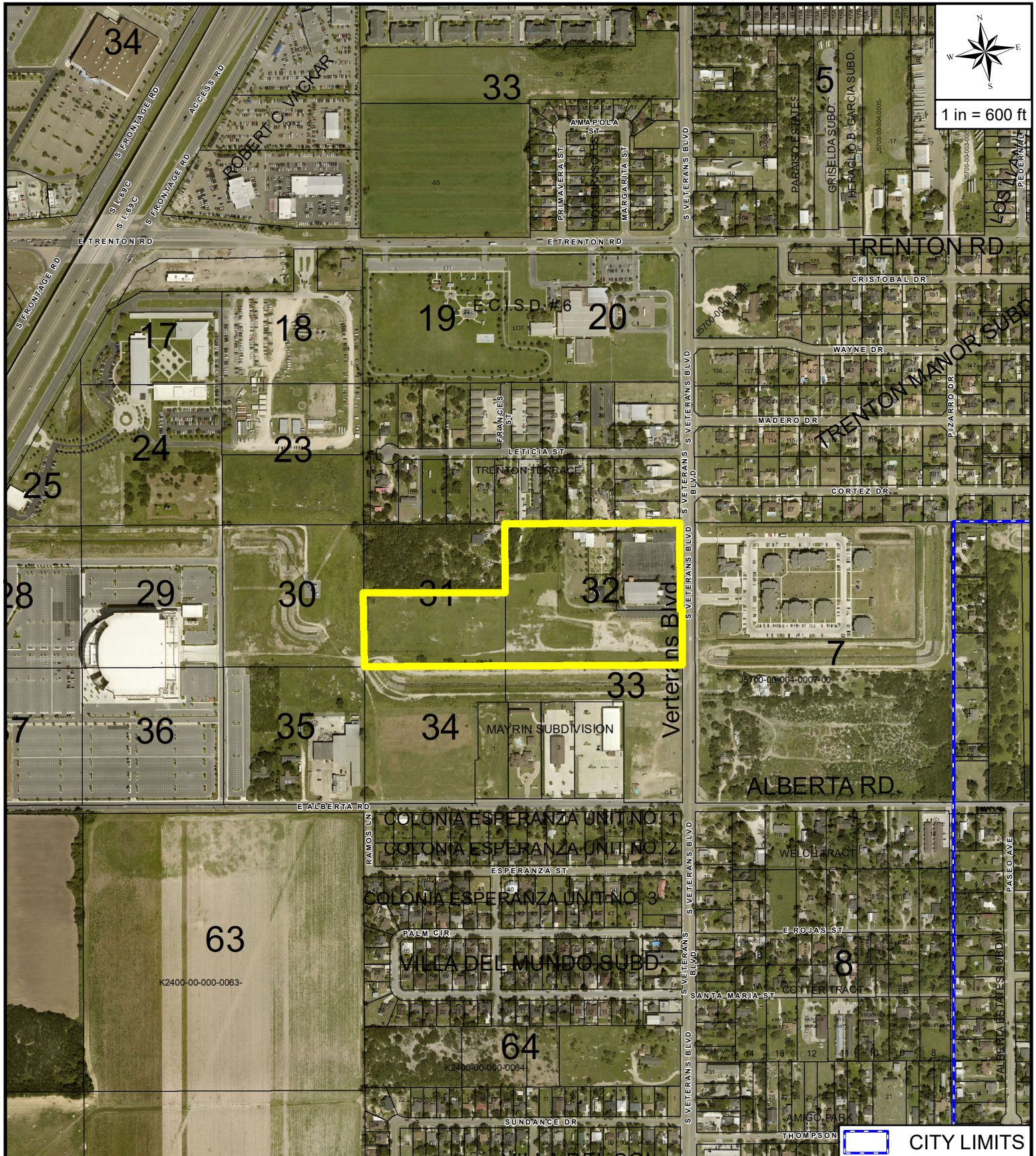
Email: ogarza@cityofedinburg.com

212 W. McIntyre St.

Edinburg, TX 78539

References:

Unified Development Code and 2012 International Fire Code



AERIAL MAP

APPLICANT/SUBDIVISION: JALPA OAKS SUBDIVISION

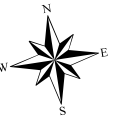
CASE CAPTION:

CONSIDER PRELIMINARY PLAT OF JALPA OAKS SUBDIVISION, BEING A 17.37 ACRE TRACT OUT OF LAND OUT OF LOTS 31 AND 32, M.L. WOODS CO. TRACT NO. 4 SUBDIVISION, AS PER MAP RECORDS THEREOF RECORDED IN VOLUME 5, PAGE 51, MAP RECORDS OF HIDALGO COUNTY, TEXAS. LOCATED AT 4801 SOUTH I ROAD AS REQUESTED BY MELDEN & HUNT.

LEGEND

CITY LIMITS

APPLICANT SITE



1 in = 600 ft

S FRONTAGE RD
S 1-99C
S 1-69C
S FRONTAGE RD
ACCESS RD
E TRENTON RD

AMAPOLA ST
PRIMAVERA ST
MARGARITA ST
S VETERANS BLVD
E TRENTON RD

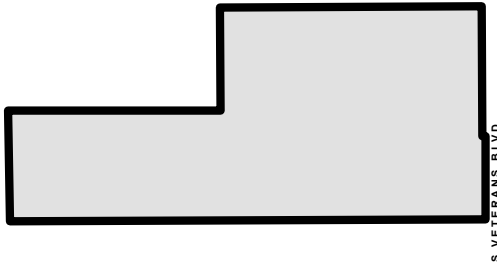
CRISTOBAL DR

WAYNE DR

MADERO DR

CORTEZ DR

PIZARRO DR



E ALBERTA RD

ESPERANZA ST

PALM CIR

ROLANDO DR

E ROJAS ST

SANTA MARIA ST

PASEO AVE

SUNDANCE DR

THOMPSON

CITY LIMITS



SITE MAP

APPLICANT/SUBDIVISION: JALPA OAKS SUBDIVISION

CASE CAPTION:

CONSIDER PRELIMINARY PLAT OF JALPA OAKS SUBDIVISION, BEING A 17.37 ACRE TRACT OUT OF LAND OUT OF LOTS 31 AND 32, M.L. WOODS CO. TRACT NO. 4 SUBDIVISION, AS PER MAP RECORDS THEREOF RECORDED IN VOLUME 5, PAGE 51, MAP RECORDS OF HIDALGO COUNTY, TEXAS. LOCATED AT 4801 SOUTH I ROAD AS REQUESTED BY MELDEN & HUNT.

LEGEND

 SUBDIVISION SITE



Case #

Edinburg
THE CITY OFPlanning & Zoning Department
415 W. University Drive
Edinburg, Texas 78539

(956) 388-8202

Subdivision Application

Date: 10/4/21 Request Type: Preliminary Plat

1. Developer: Salon Real Del Valle LLC 2. Owner/Contact Name: Luis M. Arechiga
3. Owner/Contact Phone: 956 381-0981 4. Owner/Contact Email: c/o mario@meldenandhunt.com
5. Owner Address: 4631 S Veterans Blvd Edinburg TX 78542

6. Exact Name of Subdivision: Jalpa Oaks Subdivision 7. Property ID: 330831; 330832; 330828
8. Current Zoning: UR - Urban Residential Required Zoning: UR - Urban Residential

10. Legal Description: _____

Being a 17.373 ac o/o Lots 31 & 32, The M.L. Woods Co. Tract No.4 Subdivision, Accordingto the plat thereof recorded in Volume 5, Page 51, Hidalgo County Map Records11. Inside City Limits? Yes If "No," is in the _____ Comprehensive Development Area _____ Rural Development Area12. Primary Consulting Firm: Melden & Hunt, Inc. 13. Phone: (956) 381-098114. Consulting Firm Address: 115 W McIntyre15. Consulting Firm Email(s): mario@meldenandhunt.com16. Desired Land Use Option: Single Family17. Number of Lots: Single Family 45 Multi-Family _____ Commercial _____ Industrial _____18. Proposed Wastewater Treatment: ☒ Sanitary Sewer _____ OSSF (On-Site Sewage Facility)19. Electric Power and Light Company to Serve the Proposed Subdivision: Magic Valley Electric Co-op20. Irrigation District: Hidalgo County No. 1 Potable-water Retailer: City of Edinburg

Owner of record, holding title to real estate within the proposed subdivision. Ownership instrument (i.e. Title Policy, Warranty Deed and Deed of Trust) shall be submitted with application. All such owners are listed immediately below.

Owner Name(s) (Print or Type)	Owner Mailing Address & Zip Code
Owner Phone Number	Owner Email

RECEIVED

OCT 04 2021

Have any of said owners designated agents to submit and revise this plat application on their behalf? Name: 13 5:05☒ Yes _____ No (If "Yes" attached duly notarized documentation to that effect, signed by each such owner.)

The undersigned owner(s) of record (or their authorized agents) hereby agree to make all improvements and meet all requirements and standards as specified in the City of Edinburg Unified Development Code and Ordinances. The undersigned hereby request that the Edinburg Planning & Zoning Commission and the City Commission approve the attached subdivision plat. I certify that all items contained in this application and attachments (including all construction plans) are true and correct to the best of my knowledge and not in conflict with any deed restrictions or restrictive covenants. Furthermore, I understand that any omission or incorrect information may result in approval or permit being denied or revoked. Developer's requirement sheet must be completed, signed, and submitted with the application form.

Signature

Date

10-4-21

ACKNOWLEDGEMENTS**OWNER**

I acknowledge that the subdivision application is a process. During this process, my application is reviewed by multiple City departments and requires separate and distinct approval by each. I understand that approval by one department does NOT constitute approval by all departments and should not be construed as final approval, clearance, or notice to proceed. Furthermore, review of this application by City staff is dependent upon the accuracy of the information provided. Any information found to be lacking or incorrect may result in my application being delayed or denied. If any portion of my plan changes or must be modified, it is my responsibility to notify City staff as soon as is practicable, and I accept that these changes may result in reassessment, denial, or revocation of any approvals or permits received prior to that time.

Owner/Agent _____

ENGINEER

I have read the information contained on the following Subdivision Plat Fees and Submission Requirements forms and hereby agree to comply with requirements noted herein.

Project Engineer _____

Subdivision Plat Fees**SUBDIVISION NAME:** Jalpa Oaks Subdivision**Administrative Fees (select all that apply)****Office Use Only**

<input checked="" type="checkbox"/> 1. Preliminary Plat, \$ 250	\$ 250.00	_____
<input checked="" type="checkbox"/> 2. Final Plat, \$ 200	\$ 200.00	_____
<input type="checkbox"/> 3. Minor Plat, \$ 250	_____	_____
<input type="checkbox"/> 4. Amended Plat, \$ 250	_____	_____
<input type="checkbox"/> 5. Re-Plat, \$ 250	_____	_____
<input type="checkbox"/> 6. Vacating Plat, \$ 250	_____	_____
<input type="checkbox"/> 7. Plat Review Fee (2 -5 Mile E.T.J.), \$ 250	_____	_____
<input type="checkbox"/> 8. Site Plan Review, \$ 250	_____	_____
<input type="checkbox"/> 9. Appeals or Variances, \$ 450	_____	_____
<input type="checkbox"/> 10. Voluntary Annexation, \$ 100 Plus Publication Cost: _____	_____	_____
<input type="checkbox"/> 11. Land-Clearing Permit, \$ 150	_____	_____
<input type="checkbox"/> 12. Street Sign Installation, \$ 200	_____	_____
13. Park Land Fees (Per Unit)		
<input type="checkbox"/> Developer, \$ 300 # of Units: <input type="text"/>	_____	_____
<input type="checkbox"/> Builder, \$ 300 # of Units: <input type="text"/>	_____	_____
<input type="checkbox"/> E.T.J. Single Family, \$ 300 <input type="text"/>	_____	_____
<input type="checkbox"/> E.T.J. Multifamily, \$ 300 <input type="text"/>	_____	_____

Variable (fill as appropriate)

<input type="checkbox"/> 14. Administration and Inspection Fee, 2.0%	_____	_____
<input type="checkbox"/> 15. Construction Materials Testing Fee, 3.0%	_____	_____
<input type="checkbox"/> 16. Water Right Fees Per Acre, TBD	_____	_____

TOTAL \$ 450.00* **Make all checks payable to the City of Edinburg**

Submission Requirements Checklist

Preliminary Plat Requirements

Copies

Office Use Only

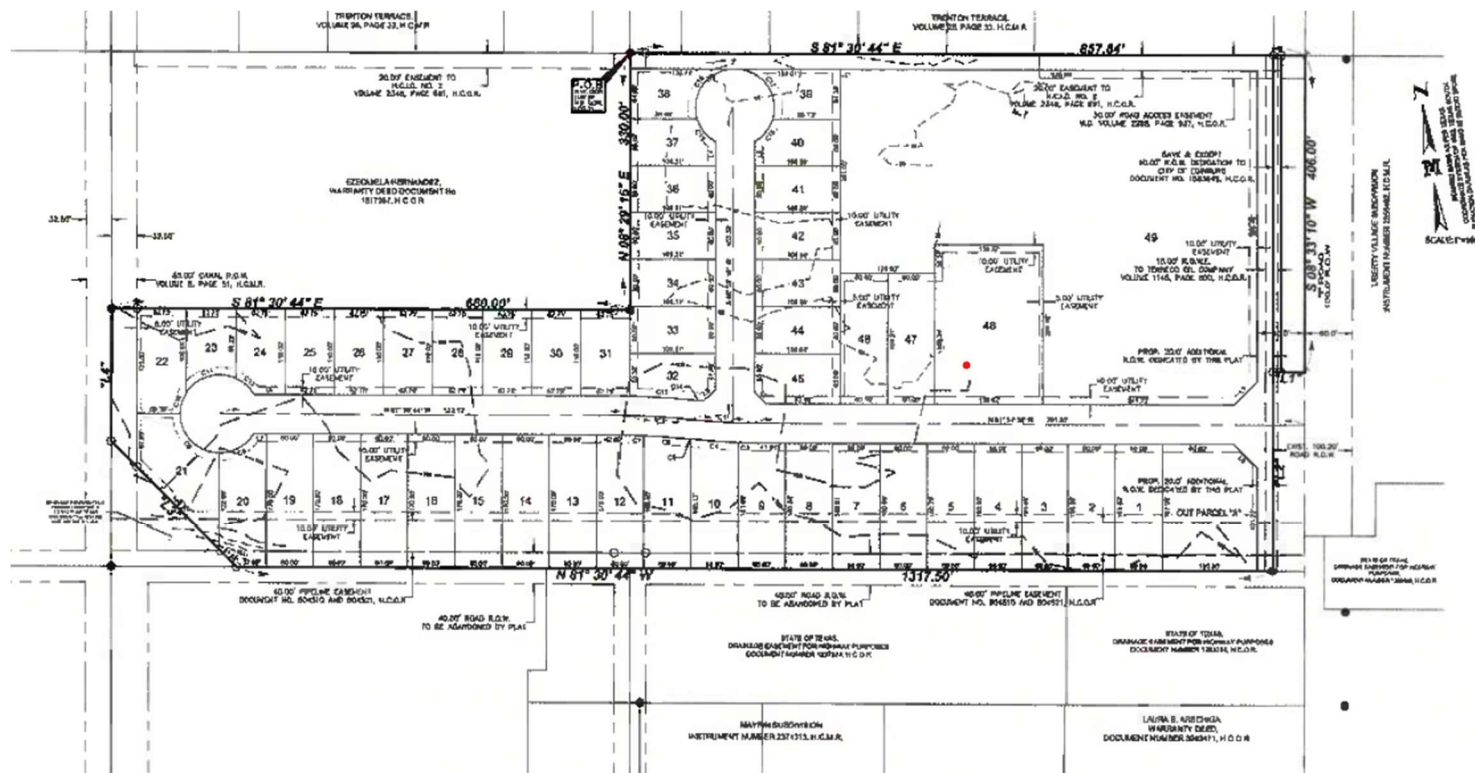
- | | | | |
|--------------------------|---|---|--|
| <input type="checkbox"/> | 1. Subdivision Plat, Utility (Layout Folded) | 8 | |
| <input type="checkbox"/> | 2. Digital File(s) (emailed, USB, CD, etc.)..... | 1 | |
| | 24x36" Plat w/notes, drainage, utilities, etc. (as applicable); | | |
| | 8.5x11" Reduced Plat; Map with name & north arrow | | |
| <input type="checkbox"/> | 3. Preliminary Drainage Report | 2 | |
| <input type="checkbox"/> | 4. 8 ½" X 11" Copies of Subdivision Plat & Utility Layout..... | 1 | |
| <input type="checkbox"/> | 5. Warranty Deed..... | 1 | |
| <input type="checkbox"/> | 6. Signed Application..... | 1 | |
| | (or application with a notarized Letter of Authorization) | | |

Pre-Construction

- | | | | |
|--------------------------|---|---|--|
| <input type="checkbox"/> | 1. Subdivision Plat and Construction Plans (utilities)..... | 8 | |
| <input type="checkbox"/> | 2. Engineer Cost Estimate | 1 | |
| <input type="checkbox"/> | 3. Digital Construction Plans (emailed, USB, CD, etc.)..... | 1 | |
| <input type="checkbox"/> | 4. SWPPP/CNOI (Required) | 2 | |

Final Plat Requirements

- | | | | |
|--------------------------|--|---|--|
| <input type="checkbox"/> | 1. Mylar of Subdivision Plat..... | 1 | |
| <input type="checkbox"/> | 2. Mylar As-Builts Construction Plans..... | 2 | |
| <input type="checkbox"/> | 3. Digital Copy of As-Builts (emailed, USB, CD, etc.)..... | 1 | |
| <input type="checkbox"/> | 4. Letter of Credit (If Applicable)..... | 1 | |



15,32

1

2

5

4

2

9

2

10

14

49

1

H

C
P

N

1

SUBDIVISION WITHIN CITY LIMITS CHECK LIST
PRELIMINARY STAGE

PLANNING & ZONING DEPARTMENT (956) 388-8202

SUBDIVISION PROCESS

 Date : **November 5, 2021**

 Date Filed: **November 3, 2021**
October 4, 2021

 P&Z Preliminary: **November 9, 2021**

P&Z Final:

City Council:

 Reviewed By: **Abel Beltran, Subd. Coord.**
abeltran@cityofedinburg.com

 Staff Review : **October 21, 2021**
 Staff / Engineer : **October 28, 2021**

 Time Line : **365** Days
 1st Extension : **0** Days
 2nd Extension : **0** Days

 Expires :
 Expires 1:
 Expires 2:

 Planning & Zoning Department:
 Utility Department
 Director of Public Works
 Director of Engineering

 Kimberly A. Mendoza, MPA
 Gerardo Carmona, P.E.
 Vincent Romero
 Mardoqueo Hinojosa, P.E., CPM

 Email : kmendoza@cityofedinburg.com
 Email : gcarmona@cityofedinburg.com
 Email : layala@cityofedinburg.com
 Email : mhinojosa@cityofedinburg.com

 City Office #: (956) 388-8202
 City Office #: (956) 388-8212
 City Office #: (956) 388-8210
 City Office #: (956) 388-8211

Owner:	Luis Miguel Arechiga, Owner	4631 S. Veterans Road, Edinburg, TX 78542				Mario Reyna, P.E. Project Engineer
JALPA OAKS SUBDIVISION					Consultant : Melden and Hunt, Inc.	
DESCRIPTION	Provided	Need to Provide	Not Applicable	Need to Revise	COMMENTS	

Subdivision Process:

Subdivision Plat Submittal	✓				
Warranty Deed	✓				
Topography Survey	✓				
Drainage Report Submittal (As Per City Drainage Policy)	✓				Approved by H.C.D.D.#1 Date: Pending Approval
Zoning : City Limits - Commercial General	✓				
Flood Zone	✓				Zone "X" (Un-Shaded)

Preliminary Submittals:

Existing & Proposed Water Distribution Layout	✓				North Alamo Water Supply Corporation - Distribution System
Water Distribution System Provider:	✓				North Alamo Water Supply Corporation - Distribution System
Existing & Proposed Sewer Collection Layout	✓				City of Edinburg Sanitary Sewer Collection System
Sanitary Sewer Collection System Provider:	✓				City of Edinburg Sanitary Sewer Collection System
Existing and Proposed Drainage Layout System:	✓				Private Drainage System onto H.C.D.D. # 1
MPO Collector / Arterial Right-of-way Dedication	✓				Proposed Private Streets
Minor / Major Collector Street Pavement Section	✓				In Accordance to Standard Street Policy
Variances Appeals Request: (Date)	✓				Planning & Zoning Meeting Results City Council Meeting
Street Widening Improvements (Veterans Road)			✓		
Street 5-ft Sidewalk Improvements (Veterans Road)	✓				
Drainage Improvements	✓				

Construction Plans Review Submittals: (See Section 4 Construction Plans Submittals Policy, 2014 STANDARD POLICY MANUAL)

Cover Sheet		✓			
Topography Sheet (Utilities, Bench Marks)		✓			
Sanitary Sewer Improvements: On-Site & Off-Site		✓			City of Edinburg Sanitary Sewer Standard Policy's
Sanitary Sewer Detail Sheets		✓			See Section 3 Utility Policy, 2014 Standard Policy Manual
Water Distribution Improvements: On-Site & Off-Site		✓			North Alamo Water Supply Standard Policy's
Water Distribution Detail Sheet (Fire Hydrant Assembly)		✓			See Section 3 Utility Policy, 2014 Standard Policy Manual
Drainage Improvements:		✓			
Drainage Detail Sheets		✓			See Section 1 Drainage Policy, 2014 Standard Policy Manual
Minor/Major Collector Streets Improvements:		✓			See Section 2 Streets Policy, 2014 Standard Policy Manual
Street Sign Sheet:		✓			
Street Detail Sheets		✓			See Section 2 Streets Policy, 2014 Standard Policy Manual
Street Lighting Sheet:		✓			
Traffic Control Plan:		✓			
Erosion Control Plan		✓			
Erosion Control Plan Detail Sheet		✓			See Storm Water Management, 2014 Standard Policy Manual

DESCRIPTION	Provided	Need to Provide	Not Applicable	Need to Revise	COMMENTS
-------------	----------	-----------------	----------------	----------------	----------

Pre-Construction Meeting:

Notice To Proceed		✓			Dated:
Roadway Open-Cut or Bore Permit Application		✓			Dated:
TX-Dot Water UIR Permit			✓		
TX-Dot Sewer UIR Permit			✓		
N.O.I. Submittal		✓			Dated:
SWPP Booklet Submittal		✓			Dated:
RFI #1 Request		✓			Dated:
Change Orders		✓			Dated:
Final Walk Though		✓			Dated:
Punch List		✓			Dated:
Punch List (Completed and Approved)		✓			Dated:
Letter of Acceptance		✓			Dated:
1-year Warranty (Water/Sewer/Paving/Drainage)		✓			Dated:
Backfill Testing Results		✓			Dated:
As-Built (Revised Original Submittal)		✓			Dated:

Recording Process:

Public Improvements with (Letter of Credit)		✓			Dated:	Expires:
Recording Fees	\$ 106.00	✓			As required by County Clerks office	
Copy of H.C.D.D. #1 of invoice		✓			Required to be paid prior to Final Stages	
Street Light Escrow	\$ -	✓			Required: 0	EA. @ \$ -
Street Escrow I Road (Veterans Road)	\$ -		✓		Required: 0	EA. @ \$ -
Sidewalk Escrow: I Road (Veterans Road)	\$ -		✓		Required: 0	LF @ \$ 25.00
TOTAL OF ESCROWS:	\$ -					
Total Developer's Construction Cost: (Letter of Credit)					Date :	Lender :
Laboratory Testing Fee: 3%	\$ -	✓			\$ -	Estimated Construction Cost
Inspection Fee: 2%	\$ -	✓			\$ -	Final Construction Cost
Park Land Fees: Park Zone # 6	\$ -		✓		0 Lots @ \$ -	Full rate within the ETJ
49 Residential \$ 300.00	\$ 14,700.00	✓			50% Development	50% Building Stage
0 Multi-Family \$ -	\$ -		✓		0% Development	0% Building Stage
Water Rights: NAWSC - CCN	\$ -		✓		17.37	Acres \$ -
Water 30-year Letter (Residential)	\$ 245.00	✓			49	Lots @ \$ 5.00 NAWSC WATER-CCN
Water 30-year Letter (Multi-Family)	\$ -		✓		0	Lots @ \$ -
Sewer 30-year Letter COE - CCN	\$ 3,185.00	✓			49	Lots @ \$ 65.00 COE SEWER-CCN
TOTAL OF FEES:	\$ 18,130.00					

Reimbursements:

Developer Sewer Improvements	\$ -		✓		Off-Site System: 0.000	AC	\$ -
Developer Water Improvements	\$ -		✓		Off-Site System 0.00	AC	\$ -
TOTAL OF REINBURSEMENTS:	\$ -						

Buyouts:

North Alamo Water Supply Corporation	\$ -	✓			Required Buyout 0.00	AC.	\$ -
Sharyland Water Supply Corporation			✓		Not Applicable		

Tax Certificates

County of Hidalgo / School District		✓					
Water District		✓			Hidalgo County Irrigation District # 1		

Total of Escrows, Fees, Reimbursements and Buyouts:

Escrows	\$ -	Street & Sidewalk Improvements for Trenton Road (Not Required)					
Inspections other Fees	\$ 18,130.00	Parkland Fees, Water/Sewer 30-year Agreement/Water Rights					
Reimbursements	\$ -	Reimbursement to the Developer of Subdivision					
City of Edinburg	\$ -	15% Payable to the City of Edinburg for Administrative Fee					
To the Developer of Record	\$ -	85% Payable to the Developer of Record Owner / Developer					
Buyouts	\$ -	Based on Subdivision (Need Request and Approval rate from ? Broad)					
TOTAL :	\$ 18,130.00	Developer Total Cost of Fees, Escrows, Reimbursements & Buyouts					

17.37	TOTAL ACRES			
0.000	0	0	0	Veterans Road ("I" Road)
0.000	0	0	0	
0.000	ACRES			
Current Acre Water Rights Cost :		\$	-	<u>\$ -</u>
17.37	NET ACRES			



CITY OF EDINBURG
Planning & Zoning Commission

Meeting Date: November 9, 2021

— SUBDIVISION VARIANCE —

Agenda Item No: 5A
T&O RANCH NO. 2 SUBDIVISION

1. **Agenda Item:** A. Consider the Variance to Article 7 Section 7.502, Roadway Widening, **T&O Ranch No. 2 Subdivision**, a 4.95 acre tract of land out of the East ½ Lots 2 and 3, Block 28, Santa Cruz Gardens Unit 2 Subdivision, located at 7100 East Benito A. Ramirez Road, as requested by Quintanilla, Headley and Associates, Inc.
2. **Description/Scope:** The T&O Ranch No. 2 Subdivision is located on the south side of Benito A. Ramirez Road, approximately 300 ft. west of East Brushline Road in the City's extraterritorial jurisdiction (ETJ). The 4.95 acre tract is currently being used for agricultural purposes. The proposed subdivision is for a single family residential development consisting of 4 lots averaging approximately 49,950 sq. ft. each. Mr. Alfonso Quintanilla, P.E., on behalf of the developer, is requesting variances to the City's UDC for the aforementioned subdivision.

Variance Request #1: 7.502 Streets and Rights of Way

This Variance Request is to the required roadway improvements on East Benito A. Ramirez Road, approximately 400 ft. along the north side of this development. This roadway is classified as a Collector street.

The UDC requires 80 ft. right-of-way (ROW) and 57 ft. back-to-back paving with curb and gutter for this type of street. The applicant is proposing to not to provide additional required improvements. East Benito A. Ramirez Road currently has 60 ft. of right of way and no curb and gutter east or west of this location.

Variance Request #2: 8.213 Sidewalks

This Variance Request is to the required sidewalks on Benito A. Ramirez Road, approximately 400 ft. along the north side of this development.

According to UDC Section 8.204 Street Standards, the developer is required to install a 5 ft. Concrete Sidewalk along the East Benito A. Ramirez Road right-of-way. The proposed 5 ft. concrete sidewalk is required to be placed at 4-ft. behind proposed curb. The applicant is proposing not to provide sidewalks as required. Benito A. Ramirez Road currently does not have sidewalks going east or west from this location.

3. **Reason for Request:** The application stated that the reason for this request is that the "property is located in a rural area (with) no existing widening or curb and gutter." The applicant is proposing not to pay the fee in lieu of these street improvements.

4. **Staff's Recommendation:** Staff recommends disapproval of this variance and that the developer comply with the UDC requirements and engineering standards. Appropriate fee in lieu should be paid if the developer does not wish to complete paving and sidewalks as required by UDC Section 7.502. Staff estimates for these improvements total \$38,650.

Prepared By:

D. Austin Colina
Planner I

Approved By:

Kimberly Mendoza, MPA
Director of Planning and Zoning

Unified Development Code
Aerial Photo
Subdivision Plat

Sec. 7.502 Streets and Rights of Way

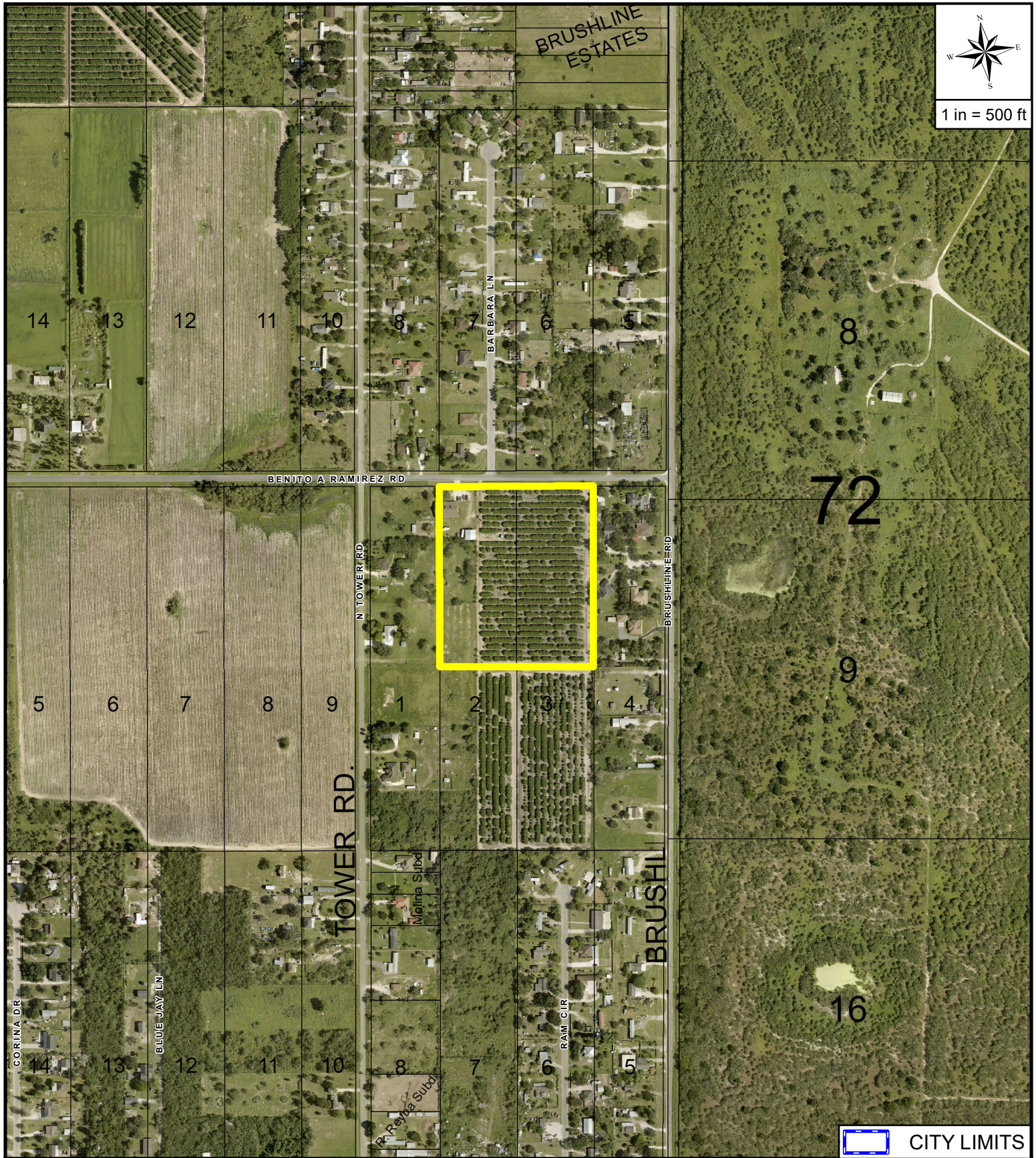
- A. **Within Proposed Development.** Streets, alleys, and other rights-of-way within proposed development shall be appropriately dedicated for the purposes they are intended to serve.
- B. **Perimeter Streets; Dedication.** Where the proposed subdivision abuts upon an existing street or half-street that does not conform to the right-of-way standards of [Division 8.200](#), *Streets, Sidewalks, and Trails*, or to an adopted thoroughfare plan, whichever provides for a wider pavement section, the subdivider shall dedicate right-of-way width sufficient to make the full right-of-way width conform to such Division.
- C. **Perimeter Streets; Pavement or Fee in Lieu Required.**
1. The subdivider shall pave so much of the dedicated right-of-way as to make the full pavement width comply with [Division 8.200](#), *Streets, Sidewalks, and Trails*, or an adopted thoroughfare plan, whichever provides for a wider pavement section. Before any pavement is laid to widen existing pavement, the existing pavement shall be cut back two feet to assure an adequate sub-base and pavement joint. Pavement shall be installed according to specifications promulgated by the City Engineer.
 2. Alternatively, if the length of the perimeter street is less than 1/4 mile or its improvement at the time of subdivision would in the City Engineer's professional opinion create a traffic safety hazard because it does not create a complete widened street segment between off-site street intersections, then the subdivider shall deposit with the City an amount equal to the cost of the improvement required by C1 above so that the City can make the improvement when sufficient right-of-way is dedicated from adjacent properties to do so in manner that is safe and practical for motorists. Amounts deposited pursuant to this Section shall be kept in segregated accounts and shall be subject to the reimbursement provisions of Section [7.506](#).C.1. Requests for reimbursement shall be made to the Administrator, shall be reviewed by the City Engineer, and forwarded to the Planning and Zoning Commission and City Council for review and action on the request.
-

Sec. 8.204 Street Standards


- A. **Streets.** The standards in Table 8.204, *Street Standards*, shall govern all street construction, except with regard to State highways, which shall meet Texas Department of Transportation (TxDOT) specifications.

Table 8.204 Street Standards ¹		
Right-of-way Width	Paving Width ²	Paving Sections Escrow
50 ft. (w/5 ft. U.E.) Minor (60 ft. with street trees)	32 ft. B-B	8-inch Caliche 2-inch HMAC
60 ft. Residential Collector ³	43 ft. 2 lanes (+) 2 park (+) C&G ⁴	8-inch Caliche 2-inch HMAC
80 ft. Collector	57 ft. B-B 2 lanes (1 OL) (+) 2 park (+) C&G	10-inch Caliche 2-inch HMAC
100 ft. Minor Arterial	65 ft. B-B 5 lanes (1CL) (+) C&G	12-inch Caliche 3-inch HMAC
120 ft. Arterial	81 ft. B-B 5 lanes (1CL) (+) 2 park (+) C&G 1 side	12-inch Caliche 3-inch HMAC
¹ Source: City Standards Manual, Section II-3. ² Travel lanes are 12 ft. wide and parking lanes ("park") are 8 ft. wide. Continuous Left (CL) and Occasional Left (OL) lanes are 14 ft. wide. ³ Multi-family subdivisions shall be required to comply with residential collector street standards. ⁴ C&G means 1.5 ft. wide curb and gutter on each side of the street.		


- B. **Adjustments.** The City shall, where feasible, require the street's design to minimize the disturbance of natural resources, including floodplains. Where additional right-of-way is needed to obtain vertical curve, grade, clear sight triangles, turn lanes, or medians, the required right-of-way shall be adjusted to the extent necessary in accordance with local needs as determined by the Planning and Engineering Departments.
- C. **Half Streets Prohibited.** No half-streets shall be permitted in new subdivision plats.

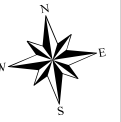


AERIAL MAP	
APPLICANT/SUBDIVISION:	T&O RANCH INVESTMENTS LLC
CASE CAPTION:	Consider the Preliminary Plat of T&O RANCH A 4.95 Acre Tract of Land Out of the East ½ Lot 2 and Lot 3, Block 28 Santa Cruz Gardens Unit 2 Subdivision, Hidalgo County, Texas Official Records, Volume 8 Pages 28 and 29 Hidalgo County Map Records Located as Requested by Quintanilla, Headly and Associates, Inc.

 CITY LIMITS

LEGEND

 APPLICANT SITE



1 in = 500 ft

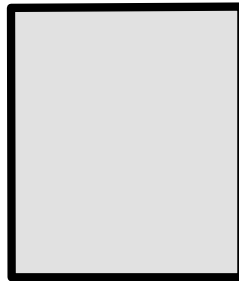
CORINA DR

BLUE JAY LN

BENITO A RAMIREZ RD

N TOWER RD

BARBARA LN



BRUSHLINE RD

RAM CIR



SITE MAP

APPLICANT/SUBDIVISION: T&O RANCH INVESTMENTS LLC

CASE CAPTION:

Consider the Preliminary Plat of T&O RANCH A 4.95 Acre Tract of Land Out of the East ½ Lot 2 and Lot 3, Block 28 Santa Cruz Gardens Unit 2 Subdivision, Hidalgo County, Texas Official Records, Volume 8 Pages 28 and 29 Hidalgo County Map Records Located as Requested by Quintanilla, Headly and Associates, Inc.

 CITY LIMITS

LEGEND

 SUBDIVISION SITE



Case #

Edinburg
THE CITY OF

Planning & Zoning Department
415 W. University Drive
Edinburg, Texas 78539
(956) 388-8202

Subdivision Appeals / Variance Application

Submittal Date: 10/7/21

Legal Description:

A 4.95 acre tract out of the east 1/2 of Lot 2 and Lot 3, Block 28, Santa Cruz Gardens Unit No. 2 Subdivision, Hidalgo County, Texas, Official Records, Volume 8, Pages 28 and 29, Hidalgo County Map Records

Variance Requested (Identify section of code for which variance is being requested):

Sec. 8.213 Sidewalk along Benito Ramirez Road

Property is located in a rural area, no existing sidewalks in the area and no schools nearby.

Reason for Request:

Sec. 8.213 Sidewalk along Benito Ramirez Road

Property is located in a rural area, no existing sidewalks in the area and no schools nearby.

T&O Ranch Investment, LLC

Property Owner (Print legibly or type)

1201 S. Huisache Ave.

Address

Pharr, TX 78577

City, State, Zip

(956) 222-8135

Telephone

tjarredondo1275@gmail.com

Email address

Signature

Quintanilla, Headley & Associates, Inc.

Applicant / Agent (Print legibly or type)

124 E. Stubbs

Address

Edinburg, TX 78539

City, State, Zip

(956) 381-6480

Telephone

alfonsoq@qha-eng.com

Email address

Signature

\$450 Application Fee: _____

Received By: _____

RECEIVED

OCT 08 2021

Name: 13 11:24



CITY OF EDINBURG
Planning & Zoning Commission

Meeting Date: November 9, 2021

— SUBDIVISION VARIANCE —

Agenda Item No: 5B
MONARCO ESTATES SUBDIVISION

1. **Agenda Item:** Consider the Variance to Article 8 Section 8.2041 and 8.213 Street Standards, Sidewalks and Trails, Monarco Estates Subdivision, being a 37.576 acre tract out of Lot 16, Block 53, Alamo Land and Sugar Company's Subdivision, located at 6001 East Owassa Road, as requested by Melden and Hunt, Inc.
2. **Description/Scope:** The Monarco Estates Subdivision is located on the north side of Owassa Road, approximately 1,300 ft. west of Alamo Road in the City's extraterritorial jurisdiction (ETJ). It is approximately 2.83 miles down Owassa Road from the City Limits. The 37.576 acre tract is currently being used for agricultural purposes. The proposed subdivision is for a single family residential development consisting of 158 lots. Mr. Mario Reyna, P.E., on behalf of the developer, is requesting a variance to the City's Unified Development Code (UDC) for this subdivision.
Variance Request #1: 7.502 Streets and Rights of Way
This Variance Request is to the required roadway improvements on East Owassa Road approximately 1,320 ft. along the north side of this development. This roadway is classified as a Collector street.
The UDC requires 80 ft. right-of-way (ROW) and 57 ft. back-to-back paving with curb and gutter for this type of street. The applicant is proposing to not to provide an additional the required improvements. Owassa Road currently has 60 ft. of right of way and no curb and gutter east or west of this location.
Variance Request #2: 8.213 Sidewalks
This Variance Request is to the required sidewalks on Benito A. Ramirez Road, approximately 400ft. along the north side of this development.
According to UDC Section 8.204 Street Standards, the developer is required to install a 5 ft. Concrete Sidewalk along the Owassa Road ROW. The proposed 5 ft. concrete sidewalk is required to be placed at 4-ft. behind proposed curb. The applicant is proposing not to provide sidewalks as required. Benito A. Ramirez Road currently does not have sidewalks going east or west from this location.
3. **Reason for Request:** The reason given for this request is that "the proposed subdivision will be in between two orchards that will be kept for farming." The proposed plat showed a knuckle 800 ft. north of the subdivision access on Davis Road.

4. **Staff's Recommendation:** Staff recommends disapproval of this variance and that the developer comply with the UDC requirements. Engineering staff has indicated that the knuckle located 800 ft. north of the subdivision access should be changed to stub outs going east and west.

Prepared By:

D. Austin Colina
Planner I

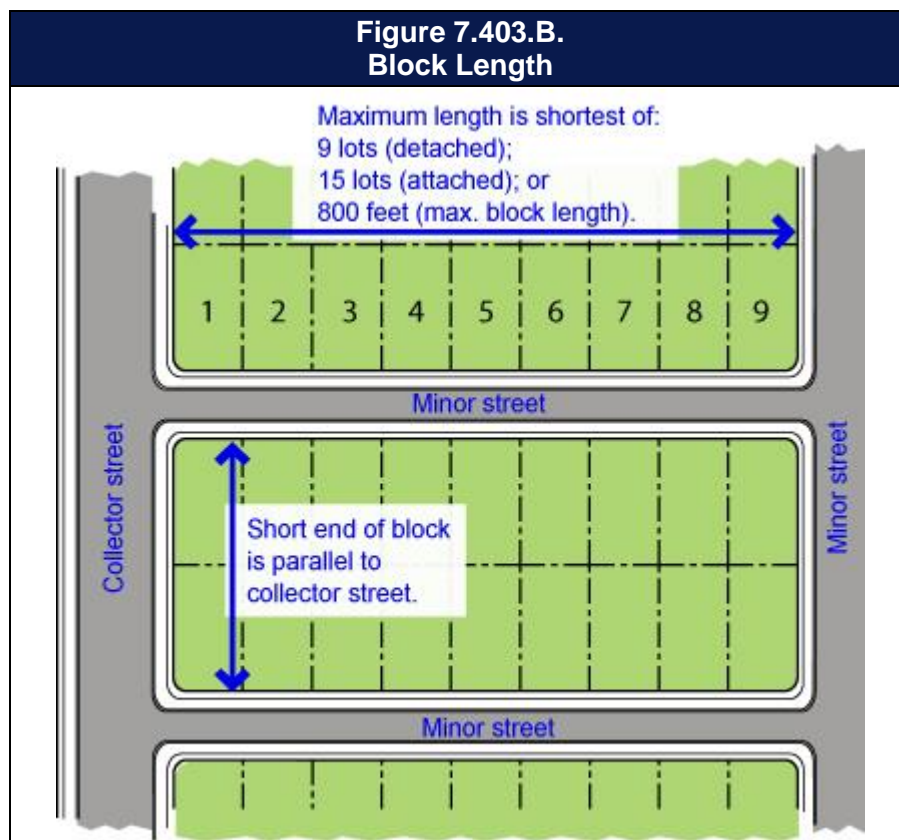
Approved By:

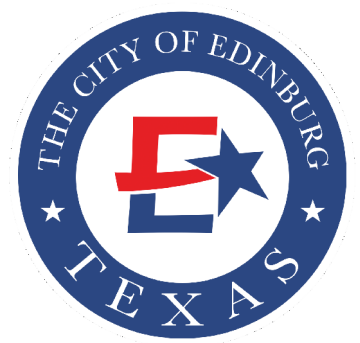
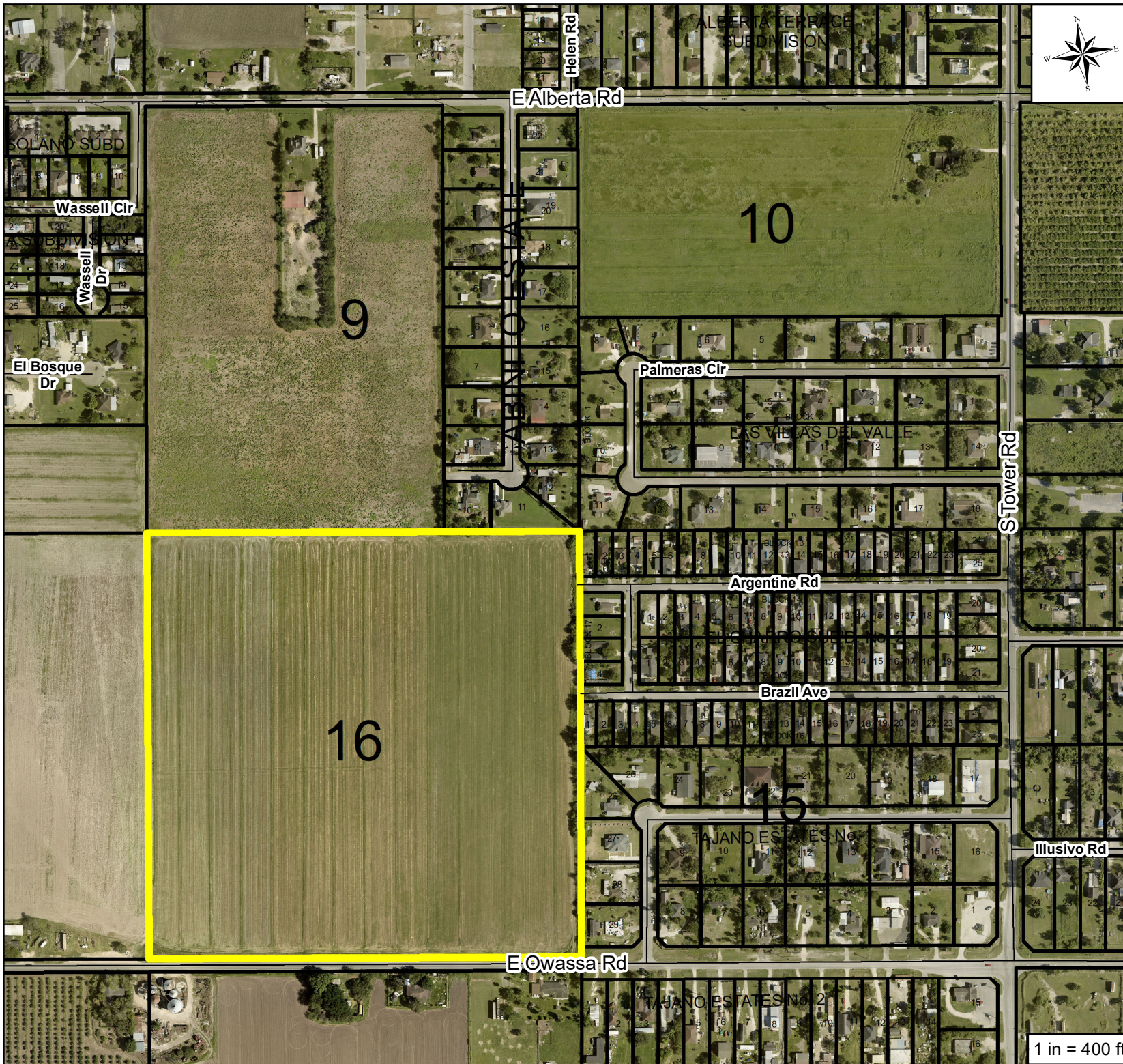
Kimberly Mendoza, MPA
Director of Planning and Zoning

Unified Development Code
Aerial Photo
Subdivision Plat

Sec. 7.404 Blocks

- B. **Block Length.** Where possible, blocks shall be laid out to have their short length abutting arterials, collectors, or the development's major road. The blocks should not, in most instances, exceed nine lots in length on one side of the street, except for attached units on individual lots, which shall not exceed 15 lots (or, in the case of condominiums, cooperatives, or rental housing, 15-unit footprints plus required building side yards). See Figure 7.403.B., *Block Length*. **No block may exceed 800 feet in length.** The length, width, and shape of blocks should be determined with due regard to the provision of adequate sites for buildings of the type proposed, zoning requirements, fire access, emergency service, and police protection.







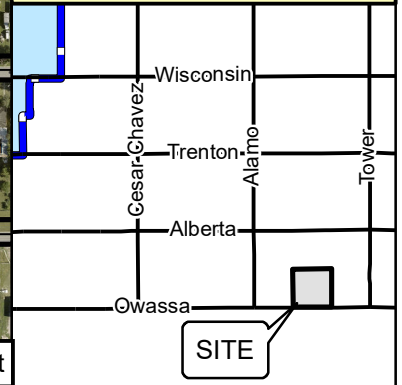
AERIAL MAP
CASE CAPTION:

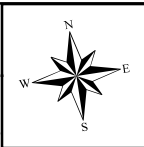
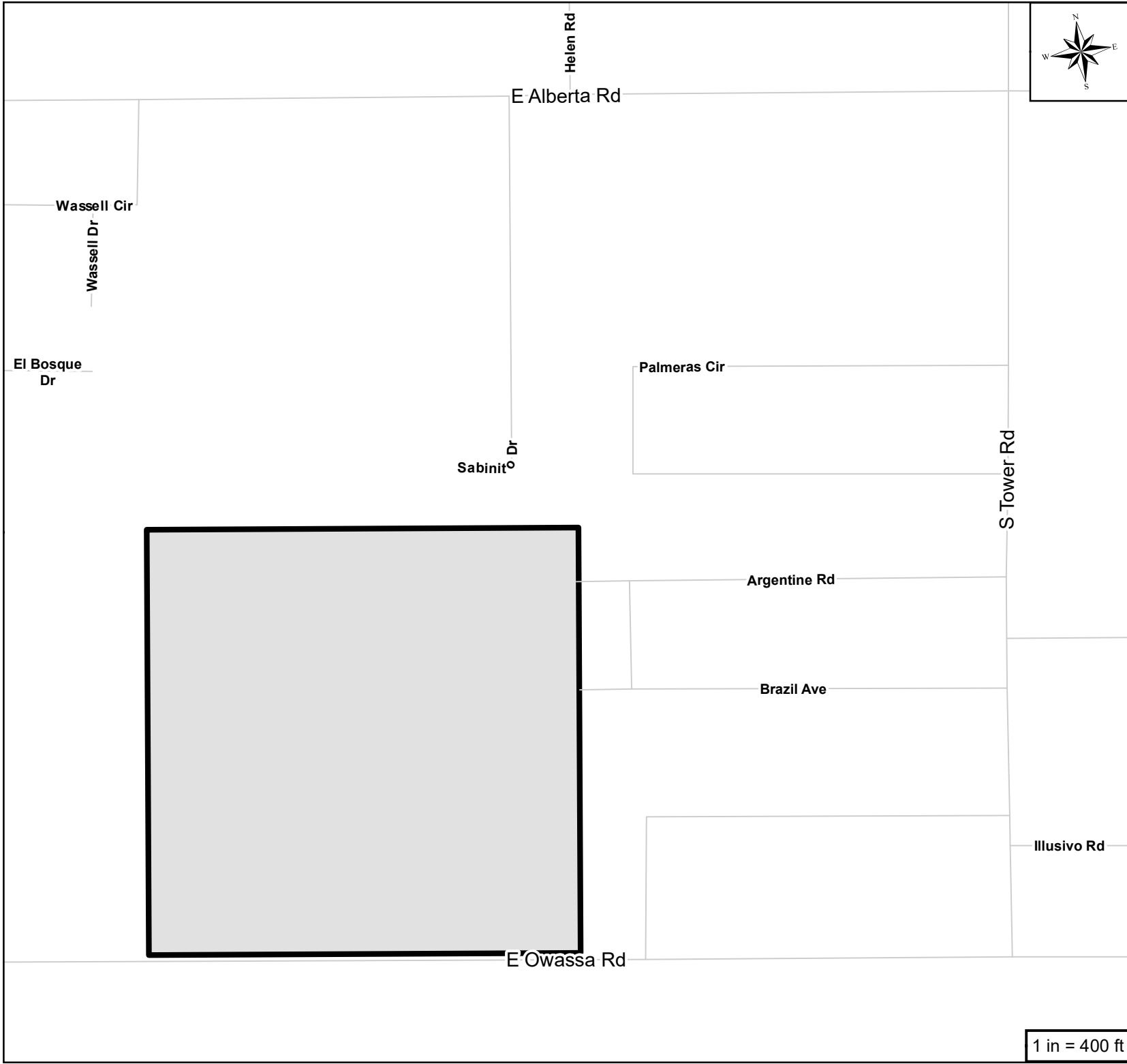
SUBDIVISION NAME:
MONARCO ESTATES SUBDIVISION

Consider the Preliminary Plat of MONARCO ESTATES SUBDIVISION, being a 37.58- Acre tract of Land out of Lot 16, Block 53, Alamo Land and Sugar Company Subdivision, Hidalgo County, Texas as per map or plat thereof recorded in Volume 1, Page 24-26, map records of Hidalgo County, Texas: a 158-Lot Single Family Dwelling Subdivision within the City's ETJ, located at approximately 5800 E. Owassa Road between N. Alamo Road and N. Tower Road, as requested by Melden & Hunt, Inc.

- Legend**
-  CITY LIMITS
 -  SUBDIVISION SITE

SITE LOCATION MAP







SITE MAP

CASE CAPTION:

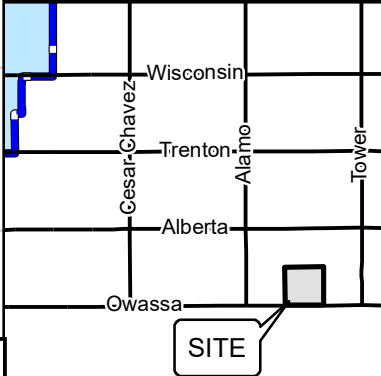
SUBDIVISION NAME:
MONARCO ESTATES SUBDIVISION

Consider the Preliminary Plat of MONARCO ESTATES SUBDIVISION, being a 37.58- Acre tract of Land out of Lot 16, Block 53, Alamo Land and Sugar Company Subdivision, Hidalgo County, Texas as per map or plat thereof recorded in Volume 1, Page 24-26, map records of Hidalgo County, Texas: a 158-Lot Single Family Dwelling Subdivision within the City's ETJ, located at approximately 5800 E. Owassa Road between N. Alamo Road and N. Tower Road, as requested by Melden & Hunt, Inc.

Legend

-  CITY LIMITS
-  SUBDIVISION SITE

SITE LOCATION MAP



1 in = 400 ft



Case #

THE CITY OF
Edinburg

Planning & Zoning Department
415 W. University Drive
Edinburg, Texas 78539
(956) 388-8202

Subdivision Appeals / Variance Application

Submittal Date: September 30, 2021

Legal Description:

Being a 37.576 ac. o/o Lot 16, Block 53, Alamo Land and Sugar Company's Subdivision Volume 1, Pages 24-26
Hidalgo County Map Records

Variance Requested (Identify section of code for which variance is being requested):

Article 8 - Streets, Sidewalks, and Trails, Section 8.2041 Street Standards, for Monraco Subdivision
Article 8 - Streets, Sidewalks, and Trails, Section 8.213 Sidewalk Standards, for Monraco Subdivision

Reason for Request:

Variance not to expand road or do sidewalks

Cayetano Development, LLC

Property Owner (Print legibly or type)

2211 Hancock Drive

Address

Austin Tx 78756

City, State, Zip

956-381-0981

Telephone

jmays@cayetanodevelopment.com

Email address

Signature

Melden & Hunt Inc.

Applicant / Agent (Print legibly or type)

115 West McIntyre

Address

Edinburg Tx 78541

City, State, Zip

956-381-0981

Telephone

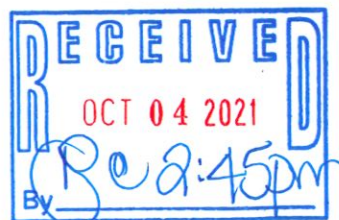
mario@meldenandhunt.com

Email address

Signature

\$450 Application Fee: _____

Received By: Nikke Calzador





CITY OF EDINBURG

Planning & Zoning Commission

Meeting Date: November 9, 2021

— SUBDIVISION VARIANCE —

Agenda Item No: 5C

CITRUS GARDENS SUBDIVISION

1. **Agenda Item:** Consider the Variance to Article 7 Section 7.404B Blocks and Block Length, Citrus Gardens Lot 13, Block 3, Santa Cruz Gardens Unit No. 2, located at 2700 East Davis Road, as requested by RO Engineering.
2. **Description/Scope:** The Citrus Gardens Subdivision is located on the north side of Davis Road, approximately 1,600 ft. west of Doolittle Road in the City's extraterritorial jurisdiction (ETJ) just north of the City Limits. The subdivision has a total area of 10.07 acres. The proposed subdivision is for a single family residential development consisting of 40 lots. The preliminary plat for this subdivision is scheduled for consideration later during this meeting. Mr. Rene Olivarez, P.E., is requesting a variance to the City's Unified Development Code (UDC) for this subdivision.
Variance Request: 7.404B Blocks and Block Length
This Variance Request is to the Block Length Requirements for this development. A maximum block length of 800 ft. is allowed for subdivision and development design under Section 7.404 (B) of the UDC. The proposed subdivision has a block length of 1,588.3 ft. along its only street.
3. **Reason for Request:** The reason given for this request is that "the proposed subdivision will be in between two orchards that will be kept for farming." The proposed plat showed a knuckle 800 ft. north of the subdivision access on Davis Road.
4. **Staff's Recommendation:** Staff recommends disapproval of this variance and that the developer comply with the UDC requirements. Engineering staff has indicated that the knuckle located 800 ft. north of the subdivision access should be modified to provide stub outs going east and west.

Prepared By:

D. Austin Colina
Planner I

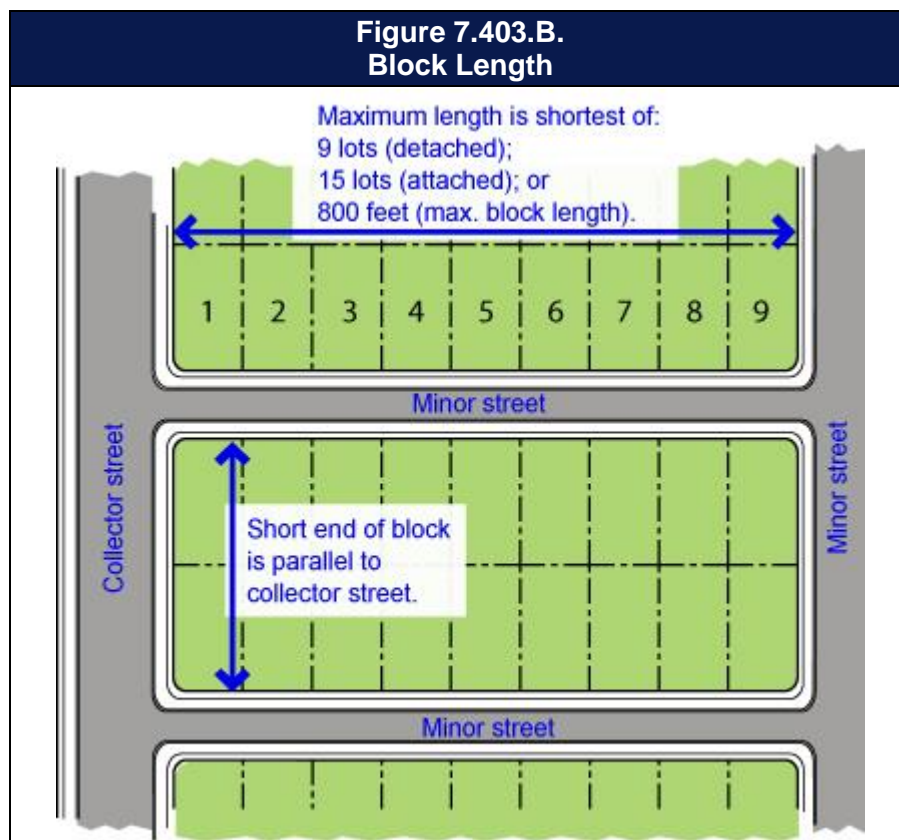
Approved By:

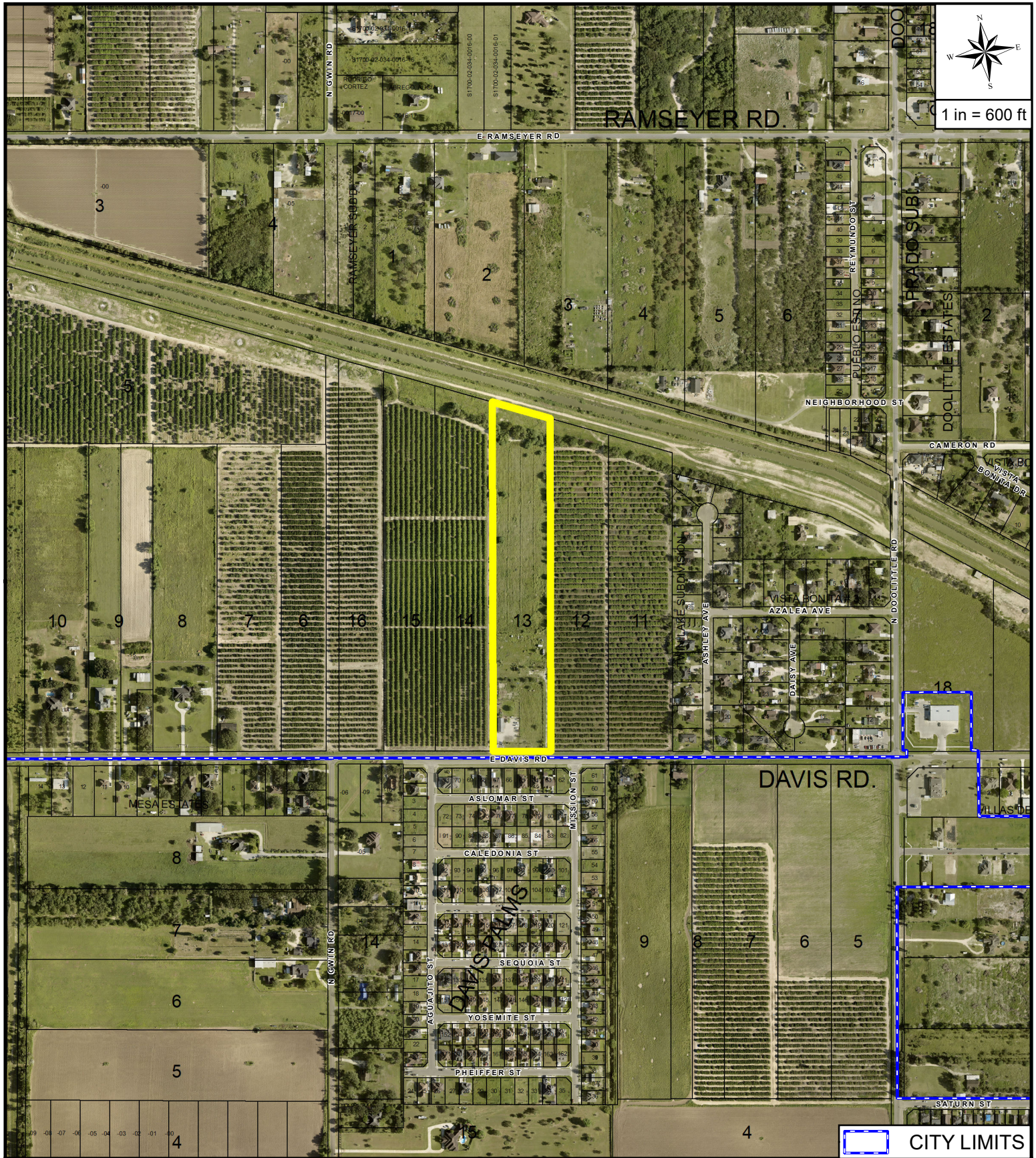
Kimberly Mendoza, MPA
Director of Planning and Zoning

Unified Development Code
Aerial Photo
Subdivision Plat

Sec. 7.404 Blocks

- B. **Block Length.** Where possible, blocks shall be laid out to have their short length abutting arterials, collectors, or the development's major road. The blocks should not, in most instances, exceed nine lots in length on one side of the street, except for attached units on individual lots, which shall not exceed 15 lots (or, in the case of condominiums, cooperatives, or rental housing, 15-unit footprints plus required building side yards). See Figure 7.403.B., *Block Length*. **No block may exceed 800 feet in length.** The length, width, and shape of blocks should be determined with due regard to the provision of adequate sites for buildings of the type proposed, zoning requirements, fire access, emergency service, and police protection.





AERIAL MAP

APPLICANT/SUBDIVISION: RENE OLIVAREZ

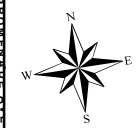
CASE CAPTION:

Consider the Preliminary Plat of CITRUS GARDENS Subdivision, being a 10.07 acre tract out of lot 13, Block 39 of the Santa Cruz Gardens Unit No. 2 subdivision, as per map or plat thereof recorded in Volume 8, page 28, Map Records of Hidalgo County, Texas. Located at 2705 E. Davis Road, as requested by RO Engineering, PLLC.

LEGEND

CITY LIMITS

APPLICANT SITE



1 in = 600 ft

N GWIN RD

E RAMSEYER RD

REYMUNDO ST

NEIGHBORHOOD ST

CAMERON RD

VISTA BONITA DR

N DOOLITTLE RD

AZALEA AVE

ASHLEY AVE

DAISY AVE

E DAVIS RD

ASLOMAR ST

CALEDONIA ST

TASSAJARA ST

SEQUOIA ST

YOSEMITE ST

PHEIFFER ST

AGUAJITO ST

MISSION ST

N GWIN RD

SATURN ST

CITY LIMITS

LEGEND

SUBDIVISION SITE



SITE MAP

APPLICANT/SUBDIVISION: RENE OLIVAREZ

CASE CAPTION:

Consider the Preliminary Plat of CITRUS GARDENS Subdivision, being a 10.07 acre tract out of lot 13, Block 39 of the Santa Cruz Gardens Unit No. 2 subdivision, as per map or plat thereof recorded in Volume 8, page 28, Map Records of Hidalgo County, Texas. Located at 2705 E. Davis Road, as requested by RO Engineering, PLLC.



Case #

Edinburg
THE CITY OF

Planning & Zoning Department
415 W. University Drive
Edinburg, Texas 78539
(956) 388-8202

Subdivision Appeals / Variance Application

Submittal Date: October 04, 2021

Legal Description:

Lot Thirteen (13), Block Thirty-nine (39), SANTA CRUZ GARDENS UNIT NO.2,
Hidalgo County, Texas

Variance Requested (Identify section of code for which variance is being requested):

Block length Variance, 7.404B

Reason for Request:

The proposed subdivision will be in between two orchards that will be kept for farming. Also, We are including a knuckle at 800ft of the main access.

Rene Olivarez

Property Owner (Print legibly or type)

2705 E Davis Rd

Address

Edinburg, Texas, 78542

City, State, Zip

(956)-292-3336

Telephone

r.olivarez@ro-engineering.com

Email address

R. Olivarez

Signature

Rene Olivarez

Applicant / Agent (Print legibly or type)

2705 E Davis Rd

Address

Edinburg, Texas, 78542

City, State, Zip

(956)-292-3336

Telephone

r.olivarez@ro-engineering.com

Email address

R. Olivarez

Signature

\$450 Application Fee: _____

Received By: _____





CITY OF EDINBURG
Planning & Zoning Commission

Meeting Date: November 9, 2021

— SUBDIVISION VARIANCE —

Agenda Item No: 5D
OAK HILL AT VILLANUEVA ESTATES PHASE 2

1. **Agenda Item:** Consider the Variance to Section 7.404B Blocks and Block Length, Oak Hill at Villanueva Estates Phase 2 Subdivision, being 13.564 acres out of Lot 9, Section 233, Texas-Mexican Railway Company's Survey, located at 1201 North Hoehn Road, as requested by Melden and Hunt, Inc.
2. **Description/Scope:** The Oak Hill at Villanueva Estates Phase 2 Subdivision is located on the west side of Hoehn Road and approximately 825 ft. south of West Chapin Street. The subdivision has a total area of 13.564 acres. The proposed subdivision is for a single family residential development consisting of 37 lots ranging in size from 7,558.32 sq. ft. to 11, 729.89 sq. ft. The preliminary plat for this subdivision received preliminary approval by this Board on January 12, 2021.

Variance Request: 7.404B Blocks and Block Length

This Variance Request is to the Block Length Requirements for this development. A maximum block length of 800 ft. is allowed for subdivision and development design under Section 7.404 (B) of the UDC. Villanueva Street in the proposed subdivision has a block length of 1,120.03 ft.

3. **Reason for Request:** The reason given for this request as stated on the application stated that "because of the unique circumstance of the property a literal enforcement of the ordinance would result in unnecessary hardship caused by the property itself." The applicant also asserted that the variance would "not be detrimental to the public welfare and it would not be injurious to the surrounding properties."
4. **Staff's Recommendation:** Staff recommends disapproval of this variance and that the developer comply with the UDC requirements. The block length for the proposed street greatly exceeds the maximum block length allowed and offers no traffic calming measures.

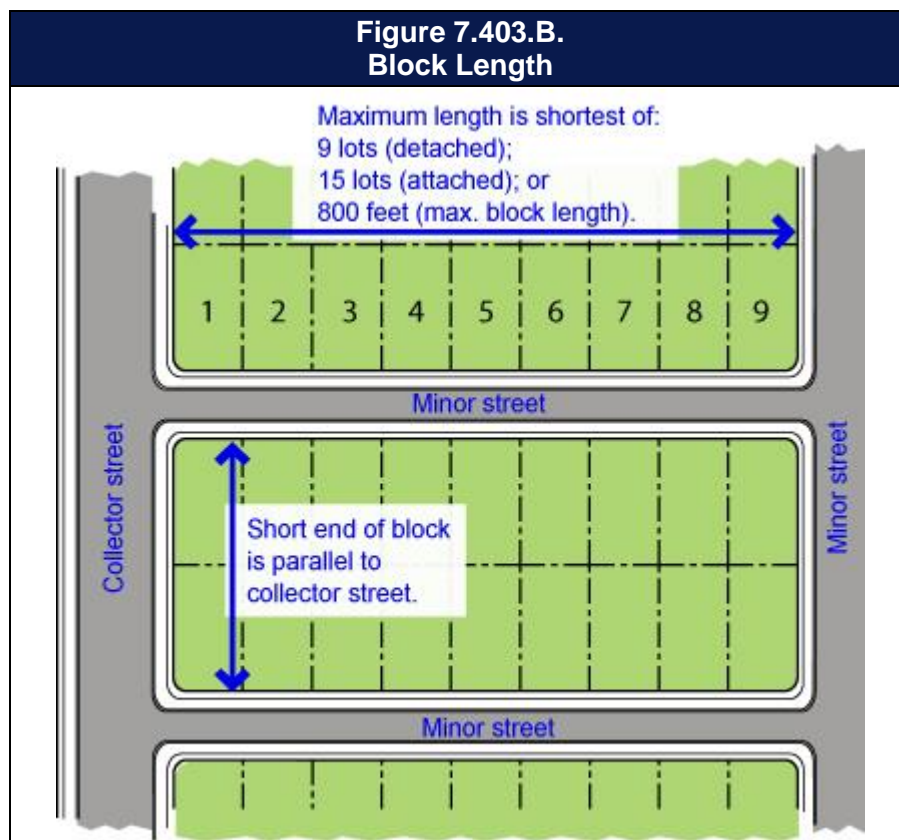
Prepared By:
D. Austin Colina
Planner I

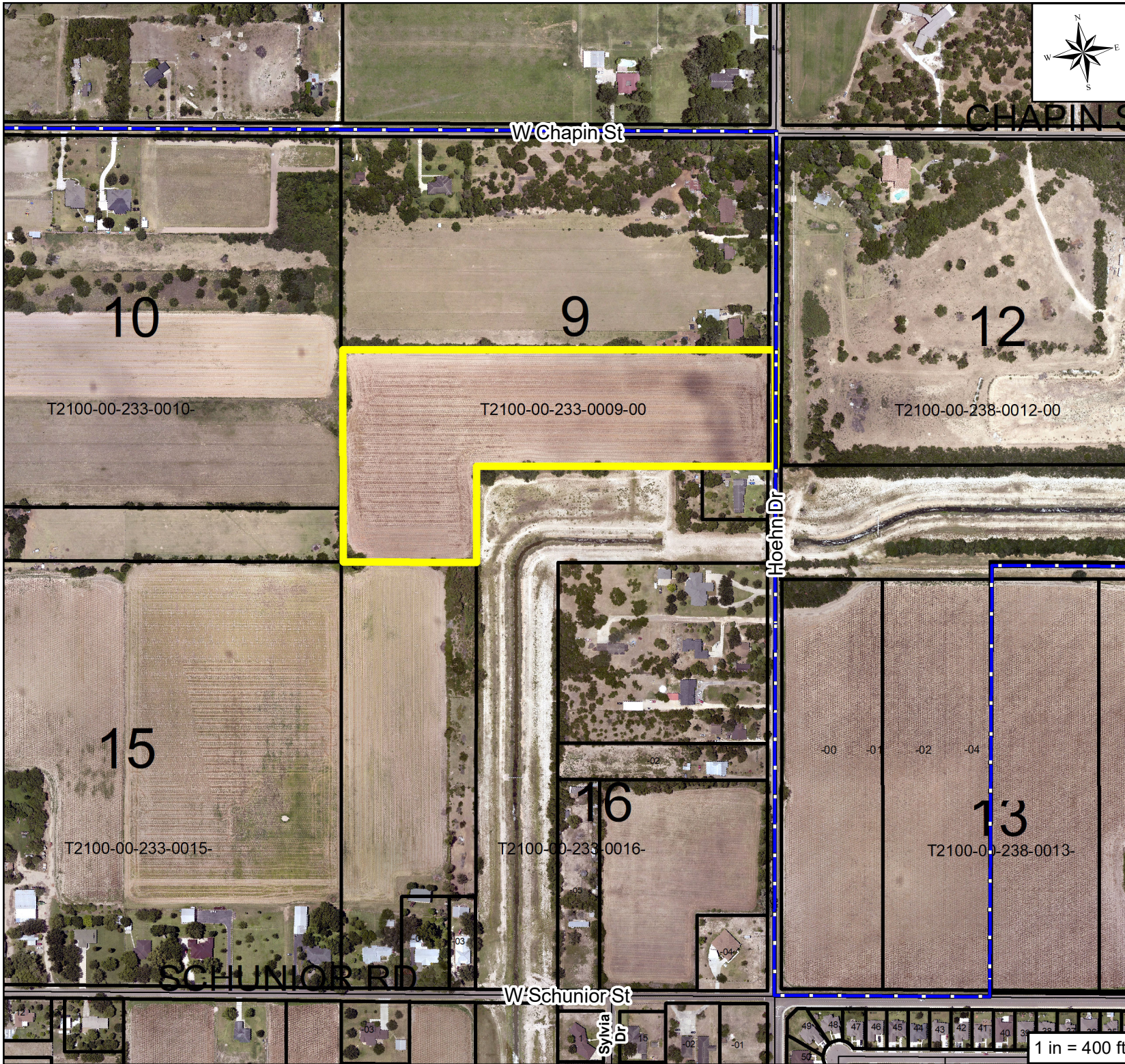
Approved By:
Kimberly Mendoza, MPA
Director of Planning and Zoning

Unified Development Code
Aerial Photo
Subdivision Plat

Sec. 7.404 Blocks

- B. **Block Length.** Where possible, blocks shall be laid out to have their short length abutting arterials, collectors, or the development's major road. The blocks should not, in most instances, exceed nine lots in length on one side of the street, except for attached units on individual lots, which shall not exceed 15 lots (or, in the case of condominiums, cooperatives, or rental housing, 15-unit footprints plus required building side yards). See Figure 7.403.B., *Block Length*. **No block may exceed 800 feet in length.** The length, width, and shape of blocks should be determined with due regard to the provision of adequate sites for buildings of the type proposed, zoning requirements, fire access, emergency service, and police protection.





AERIAL MAP

CASE CAPTION:

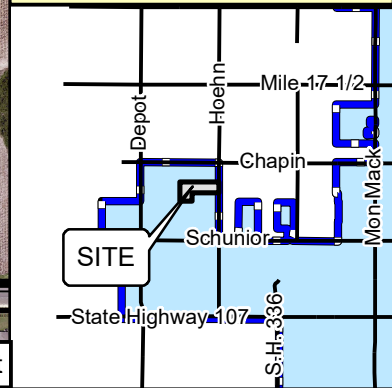
SUBDIVISION NAME:

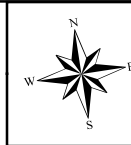
**OAKHILL AT VILLANUEVA
ESTATES PHASE 2**

Legend

- CITY LIMITS
- SUBDIVISION SITE

SITE LOCATION MAP







SITE MAP

CASE CAPTION:

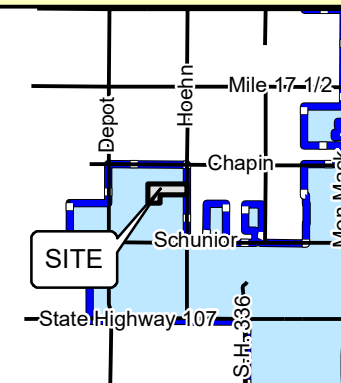
SUBDIVISION NAME:

**OAKHILL AT VILLANUEVA
ESTATES PHASE 2**

Legend

-  CITY LIMITS
-  SUBDIVISION SITE

SITE LOCATION MAP



W Chapin St

Hoehn Dr

W Schunior St

Sylvia Dr

1 in = 400 ft



Planning & Zoning Department
415 W. University Dr.
(956) 388-8203

Subdivision Appeals / Variance Application

Submittal Date: July 07, 2021

Legal Description:

Being 13.564 acres out of Lot 9, Section 233, Texas-Mexican Railway Company Survey, City of Edinburg,
Hidalgo County Texas, as recorded in Volume 1, Page 12, Hidalgo County Map Records.

Variance Requested (Identify section of code for which variance is being requested):

Block Length

Reason for Request: Because of the configuration of the tract of land with its exceptional size and shape, we are formally requesting a variance to the City of Edinburg's block length, as described in Edinburg's UDC Article 7.404(B) that no block length may exceed 800' in length. Again, because of the unique circumstance of the property a literal enforcement of the ordinance would result in unnecessary hardship caused by the property itself. Please take into consideration that the granting of the variance is necessary for the reasonable use of the land. In addition it will not be detrimental to the public welfare and it will not be injurious to the surrounding properties.

Property Owner *(Print legibly or type)*

Mario A. Reyna, P.E.

Applicant / Agent *(Print legibly or type)*

Address

115 West McIntyre Road

Address

City, State, Zip

Edinburg, Texas 78542

City, State, Zip

Telephone

(956) 381-0981

Telephone

e-mail address

mario@meldenandhunt.com & drobles@meldenandhunt.com

e-mail address

Signature


Signature

\$450 Application Fee: _____

Received By: _____

RECEIVED

JUL 07 2021

Name: NC 2:57

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0.25	0.25
C16	63.10°
	60.00°
	60.00° 57.52"
	62.00° 28' 31.94"
	60.64°
	20.36°

LEGEND

- FOUND NO. 4 RETRAN
- ✱ FOUND 8001 NAIL
- (X) FOUND PIPE
- END FOUND 8001 NAIL

WILLANUEVA ESTATES PHASE 2
OAK HILL AT
SUBDIVISION MAP OF

BEING 13.564 ACRES
OUT OF LOT 9, SECTION 233
TEXAS-MEXICAN RAILWAY COMPANY SURVEY
VOLUME 1, PAGE 12 H.C.M.R.
GENERAL PLAT NOTES & RESTRICTIONS

- [illegible]

Curve Tables				
Curve Length	Heads	Concentrations	Over Length	Turns
C1	52.36	50.00	1607' 00" 41"	2.60
C2	52.36	50.00	1607' 00" 41"	2.60
C3	52.36	50.00	1607' 00" 41"	2.60
C4	52.36	50.00	1607' 00" 41"	2.60
C5	52.36	50.00	1607' 00" 41"	2.60
C6	52.36	50.00	1607' 00" 41"	2.60
C7	52.36	50.00	1607' 00" 41"	2.60
C8	52.36	50.00	1607' 00" 41"	2.60
C9	52.36	50.00	1607' 00" 41"	2.60
C10	52.36	50.00	1607' 00" 41"	2.60
C11	52.36	50.00	1607' 00" 41"	2.60
C12	52.36	50.00	1607' 00" 41"	2.60
C13	52.36	50.00	1607' 00" 41"	2.60
C14	52.36	50.00	1607' 00" 41"	2.60
C15	52.36	50.00	1607' 00" 41"	2.60
C16	52.36	50.00	1607' 00" 41"	2.60
C17	52.36	50.00	1607' 00" 41"	2.60
C18	52.36	50.00	1607' 00" 41"	2.60
C19	52.36	50.00	1607' 00" 41"	2.60
C20	52.36	50.00	1607' 00" 41"	2.60
C21	52.36	50.00	1607' 00" 41"	2.60
C22	52.36	50.00	1607' 00" 41"	2.60
C23	52.36	50.00	1607' 00" 41"	2.60
C24	52.36	50.00	1607' 00" 41"	2.60
C25	52.36	50.00	1607' 00" 41"	2.60
C26	52.36	50.00	1607' 00" 41"	2.60
C27	52.36	50.00	1607' 00" 41"	2.60
C28	52.36	50.00	1607' 00" 41"	2.60
C29	52.36	50.00	1607' 00" 41"	2.60
C30	52.36	50.00	1607' 00" 41"	2.60
C31	52.36	50.00	1607' 00" 41"	2.60
C32	52.36	50.00	1607' 00" 41"	2.60
C33	52.36	50.00	1607' 00" 41"	2.60
C34	52.36	50.00	1607' 00" 41"	2.60
C35	52.36	50.00	1607' 00" 41"	2.60
C36	52.36	50.00	1607' 00" 41"	2.60
C37	52.36	50.00	1607' 00" 41"	2.60
C38	52.36	50.00	1607' 00" 41"	2.60
C39	52.36	50.00	1607' 00" 41"	2.60
C40	52.36	50.00	1607' 00" 41"	2.60
C41	52.36	50.00	1607' 00" 41"	2.60
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C43	52.36	50.00	1607' 00" 41"	2.60
C44	52.36	50.00	1607' 00" 41"	2.60
C45	52.36	50.00	1607' 00" 41"	2.60
C46	52.36	50.00	1607' 00" 41"	2.60
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C48	52.36	50.00	1607' 00" 41"	2.60
C49	52.36	50.00	1607' 00" 41"	2.60
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C55	52.36	50.00	1607' 00" 41"	2.60
C56	52.36	50.00	1607' 00" 41"	2.60
C57	52.36	50.00	1607' 00" 41"	2.60
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C59	52.36	50.00	1607' 00" 41"	2.60
C60	52.36	50.00	1607' 00" 41"	2.60
C61	52.36	50.00	1607' 00" 41"	2.60
C62	52.36	50.00	1607' 00" 41"	2.60

Lo ANet Train			Lo ANet Test		
Lo #	Lo #/T	Area	Lo #	Lo #/T	Area
1	7637/18	0.176	17	7637/18	0.176
2	10123/6	0.241	34	10123/6	0.241
3	10123/6	0.241	35	10123/6	0.241
4	10123/6	0.241	37	10123/6	0.241
5	10123/6	0.241	37	10123/6	0.241
6	10123/6	0.241	37	10123/6	0.241
7	10123/6	0.241	37	10123/6	0.241
8	10123/6	0.241	37	10123/6	0.241
9	10123/6	0.241	37	10123/6	0.241
10	10123/6	0.241	37	10123/6	0.241
11	10123/6	0.241	37	10123/6	0.241
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13	10123/6	0.241	37	10123/6	0.241
14	10123/6	0.241	37	10123/6	0.241
15	10123/6	0.241	37	10123/6	0.241
16	10123/6	0.241	37	10123/6	0.241
17	7637/18	0.176	17	7637/18	0.176
18	10123/6	0.241	34	10123/6	0.241
19	10123/6	0.241	35	10123/6	0.241
20	10123/6	0.241	37	10123/6	0.241
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25	10123/6	0.241	37	10123/6	0.241
26	10123/6	0.241	37	10123/6	0.241
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30	10123/6	0.241	37	10123/6	0.241
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96	10123/6	0.241	37	10123/6	0.241
97	10123/6	0.241	37	10123/6	0.241
98	10123/6	0.241	37	10123/6	0.241
99	10123/6	0.241	37	10123/6	0.241
100	10123/6	0.241	37	10123/6	0.241

Line Table		
Line #	Dimension	Length
L1	14.027' 0" 0.4" E	40.407
L2	14.046' 0" 0.24" E	21.137
L3	14.037' 4" 12" E	21.209
L4	14.027' 0" 0.4" E	27.444
L7	14.039' 0" 0.4" W	11.020
L8	14.027' 0" 0.4" E	20.827
L9	14.015' 0" 0.4" W	21.217
L10	14.245' 0" 0.24" W	40.030

DRAWN BY: CLIFD DATE: 10-14-22
 SURVEYED, CHECKED: _____ DATE: _____

M

MELDEN & HUNT, INC.
TEXAS REGIST. FIRM

MELDEN & HUNT, INC.
CONSULTANTS - ENGINEERS - SURVEYORS

115 W. MONTYSS - EDINBURG, TX 78841
PH: (800) 381-0881 • FAX: (800) 381-1008
ESTABLISHED 1947 • www.meldenandhunt.com

[illegible]

[illegible]

THIS CHECK IS IN FULL
FOR THE PURPOSE OF INTERIM
REVIEW UNDER THE AUTHORITY
OF MARCO A. REYNALDE, 117208
ON DEC. 07, 2020 IT IS NOT
TO BE USED FOR CONSTRUCTION.

OAK HILL AT
WILLANUEVA ESTATES
PHASE 2
EDINBURG, TEXAS

PROPOSED SANITARY
SEWER LAYOUT

