



**PLANNING AND ZONING COMMISSION  
REGULAR MEETING  
DECEMBER 14, 2021 - 04:00 PM  
CITY HALL-COUNCIL CHAMBERS  
415 WEST UNIVERSITY DR.  
EDINBURG, TEXAS 78539**

**AGENDA**

1. Call Meeting To Order, Establish Quorum
  - A. Prayer
  - B. Pledge of Allegiance
2. Certification of Public Notice
3. Meeting Procedures

The following are the meeting procedures used by the Planning and Zoning Commission:

- A. All the items are generally considered as they appear on the agenda. As each item is introduced.
- B. Staff will present its findings and recommendation on the item being considered.
- C. The party making the request may make a presentation and may address the Commission on any issues arising during the discussion of the item being considered.
- D. Anyone in the audience desiring to speak in favor or in opposition may do so. A 3-5 Minute time limit will be given to each person interested in speaking on the item. The use of a spokesperson for large groups of people will be required.
- E. Once the Chair close the public hearing, the commission may question anyone and maintain any discussion which clarifies the proposal and will take what action it feel to be appropriate.

If you would like to participate under public comments, you must submit a request beginning at 9:00 a.m. the day of the meeting by (a) sending an email to [PublicHearing@cityofedinburg.com](mailto:PublicHearing@cityofedinburg.com) or (b) calling the Planning and Zoning Department at 956-388-8202. All request should include your name, address, and telephone number. We ask for everyone's cooperation in following this procedure.

4. **MINUTES**

- A. Consider approval of the Minutes for the October 12, 2021 Regular Meeting

5. **PUBLIC HEARINGS**

- A. Consider the Rezoning Request from Suburban Residential (S) District to Commercial Neighborhood (CN) District, a 0.76 acre tract of land being a portion of Lot 5, Section 273, Texas-Mexican Railway Company's Survey, located at 402 North Jackson Road, as requested by Erica Pérez
- B. Consider the Comprehensive Plan Amendment from Auto Urban Uses to General Commercial Uses and the Rezoning Request from Suburban Residential (S) District and Neighborhood Conservation Manufactured Home (NC-MH) District to Commercial General (CG) District, being a 10.36 acre tract, more or less, out of a part of Lot 11, Section 246, Texas-Mexican Railway Company's Survey, located at 1300 North Interstate 69C, as requested by Aaron Rivera
- C. Consider the Rezoning Request from Suburban Residential (S) District to Auto Urban Residential (AU) District, a 1.00 acre tract of land, being a portion of the North 5.0 acres of Lot 10, Section 244, Texas-Mexican Railway Company's Survey, located at 424 East Rogers Road, as requested by Berta A. Salazar (TABLED: 11/09/2021)

6. **SUBDIVISIONS (PLATS)**

- A. Consider the Preliminary Plat of Citrus Gardens Subdivision, being a 10.07 acre tract out of Lot 13, Block 39 of the Santa Cruz Gardens Unit No. 2 Subdivision, located at 2705 East Davis Road, as requested by RO Engineering, PLLC.
- B. Consider the Preliminary Plat of Silverstone Heights Subdivision, being a 24.99 acre tract of land out of Lot 15, Section 248, Texas-Mexican Railway Company's Survey located at 3201 East Mile 17 1/2 Road, as requested by NAIN Engineering, LLC.
- C. Consider the Preliminary Plat of La Reserva Subdivision Phase II, being an 81.74 acre tract of land out of Lots 3-6, 11 & 12, Block 73, Engelmann Re-subdivision of the Missouri-Texas Land Irrigation Company's Subdivision, located at 8200 East FM 2812, as requested by Quintanilla, Headley & Associates, Inc.
- D. Consider the Preliminary Plat of Los Cortijos Subdivision, being a 60.0 acre tract of land out of Lot 13, Block 57, Alamo Land and Sugar Company's Subdivision, located at 7601 East Trenton Road, as requested by Melden & Hunt, Inc.



7. **CONSENT AGENDA**

- A. Consider the Final Plat for Hyde Park Subdivision, being a 14.998 acre tract out of Lots 2 through 15 and part of Northpoint Subdivision Phase I, located at 141 North Point Drive, as requested by Melden & Hunt, Inc.
- B. Consider the Final Plat for Suncrest Acres Subdivision, being a 19.394 acre tract of land out of Lot 3, Block 57, Alamo Land and Sugar Company's Subdivision, located at 3000 South Tower Road, as requested by Melden & Hunt, Inc.
- C. Consider the Final Plat for The Heights on Trenton Subdivision, being a 19.531 acre tract of land out of Lot 16, Block 55, Alamo Land and Sugar Company's Subdivision, located at 3000 East Trenton Road, as requested by Melden & Hunt, Inc.
- D. Consider the Final Plat for Silos at La Sienna Subdivision Phase I, being a 16.197 acre tract of land out of Lot 4, Amended Plat of La Sienna Development, located at 4001 La Sienna Parkway, as requested by Melden & Hunt, Inc.
- E. Consider the Final Plat for the Re-plat of Lots 7 & 11, North Industrial Park Subdivision, being an 8.22 acre tract of land out of all of Lots 7 & 11, North Industrial Park Subdivision, located at 700 Independence Drive, as requested by R.E. Garcia & Associates

8. **SUBDIVISIONS (VARIANCES)**

- A. Consider Variance Requests to the City's Unified Development Code: 1) Section 7.404B Blocks and Block Length and 2) Section 8.204 Street Standards, proposed Citrus Gardens Subdivision, Lot 13, Block 3, Santa Cruz Gardens Unit No. 2, located at 2705 East Davis Road, as requested by RO Engineering, PLLC
- B. Consider Variance Requests to the City's Unified Development Code: 1) Section 7.404B Blocks and Block Length, 2) Section 8.204 Street Standards, and 3) Section 11.504A(1) Existing Stubs, proposed Cole Crossing Subdivision, being an 18.0 acre tract of land out of Lots 12 & 13, Block 35, Santa Cruz Gardens Unit No. 2, located at 2201 East Ramseyer Road, as requested by SDI Engineering, LLC
- C. Consider Variance Request to the City's Unified Development Code, Section 8.204, Street Standards, proposed Azaleas Estates Subdivision, being a 30 acre tract consisting of all of Lots 20, 21, and 22, Caledonian Estates Subdivision, located at 3701 East Curve Road, as requested by Salinas Engineering & Associates

9. **DIRECTOR'S REPORT**

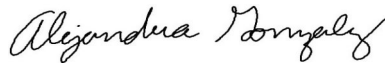
- A. City Council Actions: November 16, 2021 and December 7, 2021
- B. Unified Development Code Update

10. **INFORMATION ONLY**

- A. Attendance Roster

11. **ADJOURNMENT**

I hereby certify that this notice of meeting was posted in accordance with the Open Meetings Act, V.T.C.A., Government Code, Section 551.041, at the Edinburg City Hall Building, 415 West University Drive, Edinburg, Texas, visible and accessible to the general public during regular working hours, on Friday, December 10, 2021 at 3:25 P.M.



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Alejandra Gonzalez, Administrative Assistant  
Planning & Zoning Department

**NOTICE**

PERSONS WITH DISABILITIES WHO NEED TO COMMUNICATE MORE EFFECTIVELY WITH CITY OFFICIALS AND WHO MAY NEED AUXILIARY AIDS OR SERVICES SUCH AS INTERPRETERS FOR PERSONS WHO ARE DEAF OR HEARING IMPAIRED ARE REQUESTED TO CONTACT THE OFFICE OF THE CITY SECRETARY AT (956) 388-8204 THREE WORKING DAYS PRIOR TO ANY MEETING SO THAT APPROPRIATE ARRANGEMENTS CAN BE MADE.

**PLANNING AND ZONING COMMISSION  
REGULAR MEETING  
OCTOBER 12, 2021- 4:00 P.M.  
EDINBURG CITY HALL – CITY COUNCIL CHAMBERS  
415 WEST UNIVERSITY DRIVE  
EDINBURG, TEXAS 78541**

**MEMBERS PRESENT**

Victor Daniec, Commissioner  
Ruby Casas, Commissioner  
Hiren Govind, Vice Chairperson  
Jorge Sotelo, Commissioner  
Rene Olivarez, Commissioner  
Jorge Gonzalez, Commissioner  
Joe Ochoa, Chairperson

**MEMBERS ABSENT**

**STAFF PRESENT**

Kimberly A. Mendoza, Planning & Zoning Director  
Alejandra Gonzalez, Administrative Assistant  
Nikki Marie Cavazos, Planner I  
Omar Garza, Deputy Chief  
Peter Hermida, Engineer III  
Omar Ochoa, City Attorney  
Brian Kelsey, Assistant City Manager  
Tomas Reyna, Assistant City Manager  
Rita Lee Guerrero, Management Analyst

Abel Beltran, Planner I  
Jaime Ayala, Planner II  
Daniel A. Colina, Planner I  
Patrizia Longoria, Engineer III  
Tilfred Farley, Planning Assistant  
Mardoqueo Hinojosa, City Engineer  
Robert Hernandez, Engineer I

**VISITORS**

Alfonso Quintanilla  
Ismael Morin  
Miguel Andrada  
Isidio Fernandez  
Juan R. Lopez

Yadira P Casillas Leonel  
Juan Anzaldua  
Omar Maldonado  
Ivan Garcia

**1. CALL MEETING TO ORDER, ESTABLISH QUORUM**

The meeting was formally called to order by Chairperson Mr. Joe Ochoa at 4:02 P.M.

- A. Prayer – Prayer was announced by Commission Member Mrs. Ruby Casas
- B. Pledge of Allegiance – The Pledge of Allegiance was said.

**2. CERTIFICATION OF PUBLIC NOTICE**

Mr. Daniel A. Colina verified the posting of the Planning and Zoning Commission Meeting Notice and its compliance with the Open Meetings Act. Staff indicated the agenda had been posted on October 8, 2021 at 4:25 P.M.

### **3. MEETING PROCEDURES**

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### **4. PUBLIC COMMENTS**

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### **5. MINUTES**

- A. Consider approval of the Minutes for the September 14, 2021 Regular Meeting

**MOTION WAS MADE BY COMMISSION MEMBER MR. RENE OLIVAREZ AND SECONDED BY CHAIRPERSON MR. JOE OCHOA TO APPROVE THE MINUTES FOR THE SEPTEMBER 14, 2021 REGULAR MEETING. MOTION CARRIED UNANIMOUSLY WITH A VOTE OF 7-0.**

### **6. PUBLIC HEARINGS**

- A. Hold Public Hearing and Consider the Comprehensive Plan Amendment from Auto Urban Uses to General Commercial and the Rezoning Request from Neighborhood Conservation 7.1 (NC 7.1) District to Commercial General (CG), being all of Lot 2, Block 1, Enfield Estates Subdivision, located at 105 Austin Boulevard as requested by Enrique Omar Maldonado.

**MOTION WAS MADE BY COMMISSION MEMBER MR. JORGE SOTELO AND SECONDED BY COMMISSION MEMBER MR. VICTOR DANIEC TO RECOMMEND APPROVAL OF THE COMPREHENSIVE PLAN AMENDMENT AND REZONING REQUEST. MOTION CARRIED UNANIMOUSLY WITH A VOTE OF 7-0.**

**PLANNING & ZONING COMMISSION MEETING  
OCTOBER 12, 2021  
PAGE 3**

- B. Hold Public Hearing and Consider the Special Use Permit for a Licensed Child Care Home, being Lot 2, Las Villas at Autumn Ridge Subdivision, located at 3511 Monette Street, as requested by Yadira P. Casillas Leonel.

**MOTION WAS MADE BY VICE CHAIRPERSON MR. HIREN GOVIND AND SECONDED BY COMMISSION MEMBER MR. VICTOR DANIEC TO RECOMMEND APPROVAL OF THE REQUEST FOR A SPECIAL USE PERMIT FOR A LICENSED CHILD CARE HOME. MOTION CARRIED UNANIMOUSLY WITH A VOTE OF 7-0.**

- C. Hold Public Hearing and Consider the Special Use Permit for On-Premise Consumption of Alcoholic Beverages, being Lot 1, Eulogio Diaz Subdivision, located at 3721 North Doolittle Road, as requested by Miguel A. Andrade Estrada.

**MOTION WAS MADE BY VICE CHAIRPERSON MR. HIREN GOVIND AND SECONDED BY COMMISSION MEMBER MR. JORGE SOTELO TO RECOMMEND APPROVAL OF THE REQUEST FOR A SPECIAL USE PERMIT FOR ON-PREMISE CONSUMPTION OF ALCOHOLIC BEVERAGES. MOTION CARRIED UNANIMOUSLY WITH A VOTE OF 7-0.**

**7. SUBDIVISIONS**

- A. Consider the Preliminary Plat of Carmen Avila Subdivision Phase V, being a 33.13 acre tract out of Tract 156, San Salvador Del Tule Grant, as per map or plat thereof recorded in Volume 10, Page 58-60, Map Records of Hidalgo County, Texas. Located at 8600 North Alamo Road, as requested by Quintanilla, Headley, and Associates Inc.

**MOTION WAS MADE BY COMMISSIONER MR. JORGE SOTELO AND SECONDED BY COMMISSION MEMBER MRS. RUBY CASES TO APPROVE THE PRELIMINARY PLAT. MOTION CARRIED WITH A VOTE OF 6-0-1. NO ONE OPPOSED AND ONE MEMBER ABSTAINED.**

**CHAIRPERSON MR. JOE OCHOA MOTIONED TO VOTE FOR ITEMS B, C, AND D. MOTION WAS MADE BY COMMISSIONER MR. JORGE SOTELO AND SECONDED BY MRS. RUBY CASAS TO APPROVE THE PRELIMINARY PLATS.**

- B. Consider the Preliminary Plat of RG Estates Phase III Subdivision, being a 10.00 acre tract out of Lot 7, Block 23, Santa Cruz Gardens Unit No.2, as per map or plat thereof recorded in Volume 8, Page 28-29, Map Records of Hidalgo County, Texas. Located at 4100 East Ingle Road, as requested by Quintanilla, Headley, and Associates Inc.
- C. Consider the Preliminary Plat of Cole Crossing Subdivision, being a 18.00 acre tract of land out of Lots 12 & 13, Block 35, Santa Cruz Unit No.2, as per map or plat thereof recorded in Volume 8, Page 28, Map Records of Hidalgo County, Texas. Located at 2200 Ramseyer Road, as requested by SDI Engineering.

**PLANNING & ZONING COMMISSION MEETING  
OCTOBER 12, 2021  
PAGE 4**

- D. Consider the Preliminary Plat of University Village on 10<sup>th</sup> Subdivision, being a 34.56 acre tract being part or portion of Lot 1, 2, and 3, Lomas Y Lagos Subdivision, an addition to the City Limits of Edinburg, recorded in Volume 53, Page 123, Map Records of Hidalgo County, Texas. Located at 420 South 10<sup>th</sup> Street, as requested by Rio Delta Engineering Inc.

**8. SUBDIVISION (VARIANCES)**

- A. Consider the Variance Request to the City's Unified Development Code (UDC) as follows: 1) Section 7.502 Streets and Rights of Way, Perimeter Streets; Pavement or Fee in Lieu Required and 2) Section 8.213 Sidewalks, RG Estates Phase III Subdivision, a 10 acre tract being all of Lot 7, Block 23, Santa Cruz Gardens Unit No.2 Subdivision, located at 4120 East Ingle Road, as requested by Quintanilla, Headley, and Associates Inc.

**MOTION WAS MADE BY COMMISSION MEMBER MR. VICTOR DANIEC AND SECONDED BY VICE CHAIRPERSON MR. HIREN GOVIND TO APPROVE THE VARIANCE REQUEST NUMBER ONE. MOTION WAS MADE BY VICE CHAIRPERSON HIREN GOVIND AND SECONDED BY COMMISSION MEMBER MR. VICTOR DANIEC TO DENY THE VARIANCE REQUEST NUMBER TWO. MOTION CARRIED UNANIMOUSLY WITH A VOTE OF 7-0.**

**9. CONSENT AGENDA**

- A. Consider the Final Plat for New Castle Subdivision, being a 9.63 acre tract of land out of Lot 8, Block 2, Steele and Pershing Subdivision, as per map or plat thereof recorded in Volume 8, Page 114-115, Map Records of Hidalgo County, Texas, located at the northeast corner of Wisconsin Road and McColl Road, as requested by Quintanilla, Headley, and Associates Inc.
- B. Consider the Final Plat for Queens Court Subdivision, being a 2.68 acre tract of land out of Lot 6, Block 2, Steele and Pershing Subdivision, as per map or plat thereof recorded in Volume 8, Page 114-115, Map Records of Hidalgo County, Texas, located at 2701 West Wisconsin Road, as requested by Quintanilla, Headley, and Associates Inc.

**MOTION WAS MADE BY VICE CHAIRPERSON MR. HIREN GOVIND AND SECONDED BY COMMISSION MEMBER MR. RENE OLIVAREZ TO APPROVE THE CONSENT AGENDA ITEMS 9A & 9B. MOTION CARRIED UNANIMOUSLY WITH A VOTE OF 7-0.**

**10. DIRECTOR'S REPORT**

- A. City Council Actions: August 17, 2021, September 7, 2021, September 21, 2021, & October 5, 2021
- B. Unified Development Code Update
- C. APA Conference

**MRS. KIMBERLY MENDOZA DISCUSSED THE CITY COUNCIL ACTIONS FOR THE FOLLOWING MEETINGS: AUGUST 17, 2021, SEPTEMBER 7, 2021, SEPTEMBER 21, 2021, AND OCTOBER 5, 2021. SHE ALSO DISCUSSED THE MODULE 2 DRAFT THAT IS IN PROGRESS FOR THE UNIFIED DEVELOPMENT CODE UPDATE. MRS. MENDOZA ALSO ADVISED THE MEMBERS OF THE UPCOMING APAC3 CROSS-CHAPTER COLLABORATIVE CONFERENCE TO BE HELD FROM NOVEMBER 1, 2021 TO NOVEMBER 3, 2021.**

**10. ADJOURNMENT**

There being no further information to consider, the meeting was adjourned at 4:49 P.M.

*Alejandra Gonzalez*

Alejandra Gonzalez, Administrative Assistant  
Planning & Zoning Department



## **City of Edinburg**

### **PLANNING & ZONING COMMISSION**

Regular Meeting: 12/14/2021

#### **REZONING REQUEST**

##### **AGENDA ITEM 5A:**

Consider the Rezoning Request from Suburban Residential (S) District to Commercial Neighborhood (CN) District, a 0.76 acre tract of land being a portion of Lot 5, Section 273, Texas-Mexican Railway Company's Survey, located at 402 North Jackson Road, as requested by Erica Pérez [Development Services Department – Kimberly Mendoza, Director of Planning & Zoning]

##### **DESCRIPTION / SCOPE:**

The property is located on the east side of North Jackson Road, approximately 1,100 ft. north of West University Drive and has an existing single-family residential structure. The requested zoning designation allows for small-scale commercial and service business uses on the subject property. The applicant is requesting the change of zone to repurpose the existing structure for use as an outpatient behavioral health facility.

The property is currently zoned Suburban Residential (S) District. The surrounding zoning is Urban University (UR) District to the north, Commercial General (CG) District to the east, and Urban Residential (UR) District to the south and west. The future land use designation is for Urban University Uses.

Staff received a Zone Change Application for the subject property on November 15, 2021. The applicant indicated that the existing residential structure is being completely remodeled and repurposed for clinical use. Rezoning is required to accommodate the proposed use.

Staff mailed a notice of the public hearing before to 13 neighboring property owners and received no comments in favor or against this request by the time this report was prepared.

##### **ESTIMATED TIMELINE:**

The recommendation of approval or denial of this public hearing is scheduled for consideration by the City Council on January 18, 2022. City Council's decision is the final step in the zoning process for this property. If denied the applicant may not request the proposed zoning classification for a 12 month period from the date of denial.

##### **STAFF RECOMMENDATION:**

Staff recommends approval of the Rezoning Request from Suburban Residential (S) District to Commercial Neighborhood (CN) District based on the adjacent zoning and land uses.

If approved, the applicant will need to comply with all requirements during the permitting process including compliance with subdivision regulations, building and fire codes, fire protection, parking, landscape buffer-yards, solid waste services, utility, and any other City requirements, as applicable.



**JUSTIFICATION:**

Staff recommendation is based on adjacent zoning and land uses. Adjacent commercial uses and nearby Commercial Neighborhood (CN) District properties make the requested use in keeping with the trends and uses in the area. The requested Commercial Neighborhood (CN) District is also compatible with the adjacent high-density residential uses.

**D. Austin Colina**  
Planner I

**Kimberly A. Mendoza, MPA**  
Director of Planning & Zoning

**MEETING DATES:**  
**PLANNING & ZONING COMMISSION – 12/14/2021**  
**CITY COUNCIL – 1/18/2022**  
**DATE PREPARED – 12/02/2021**

**STAFF REPORT**  
**GENERAL INFORMATION**

**APPLICATION:** Rezoning Request from Suburban Residential (S) District to Commercial Neighborhood (CN) District

**APPLICANT:** Erica Pérez

**AGENT:** N/A

**LEGAL:** A 0.76 acre tract of land being a portion of Lot 5, Section 273, Texas-Mexican Railway Company's Survey

**LOCATION:** Located at 402 North Jackson Road

**LOT/TRACT SIZE:** 0.76 acre

**CURRENT USE:** Single Family Residence

**PROPOSED USE:** Service Business

**EXISTING ZONING:** Suburban Residential (S) District

**ADJACENT ZONING:** North – Urban University (UU) District  
South – Urban Residential (UR) District  
East – Commercial General (CG) District  
West – Urban Residential (UR) District

**LAND USE PLAN:** Urban University

**PUBLIC SERVICES:** City of Edinburg Water & Sewer

**RECOMMENDATION:** Staff recommends approval of the Rezoning Request from Suburban Residential (AG) to Commercial Neighborhood (CN) District

**REZONING REQUEST**  
**ERICA PÉREZ**

**EVALUATION**

The following is staff's evaluation of the request.

1. The land use pattern for this area of the community consists of urban residential (multifamily), university, and commercial uses.
2. The applicant is requesting the change of zone to construct an outpatient behavioral health facility.

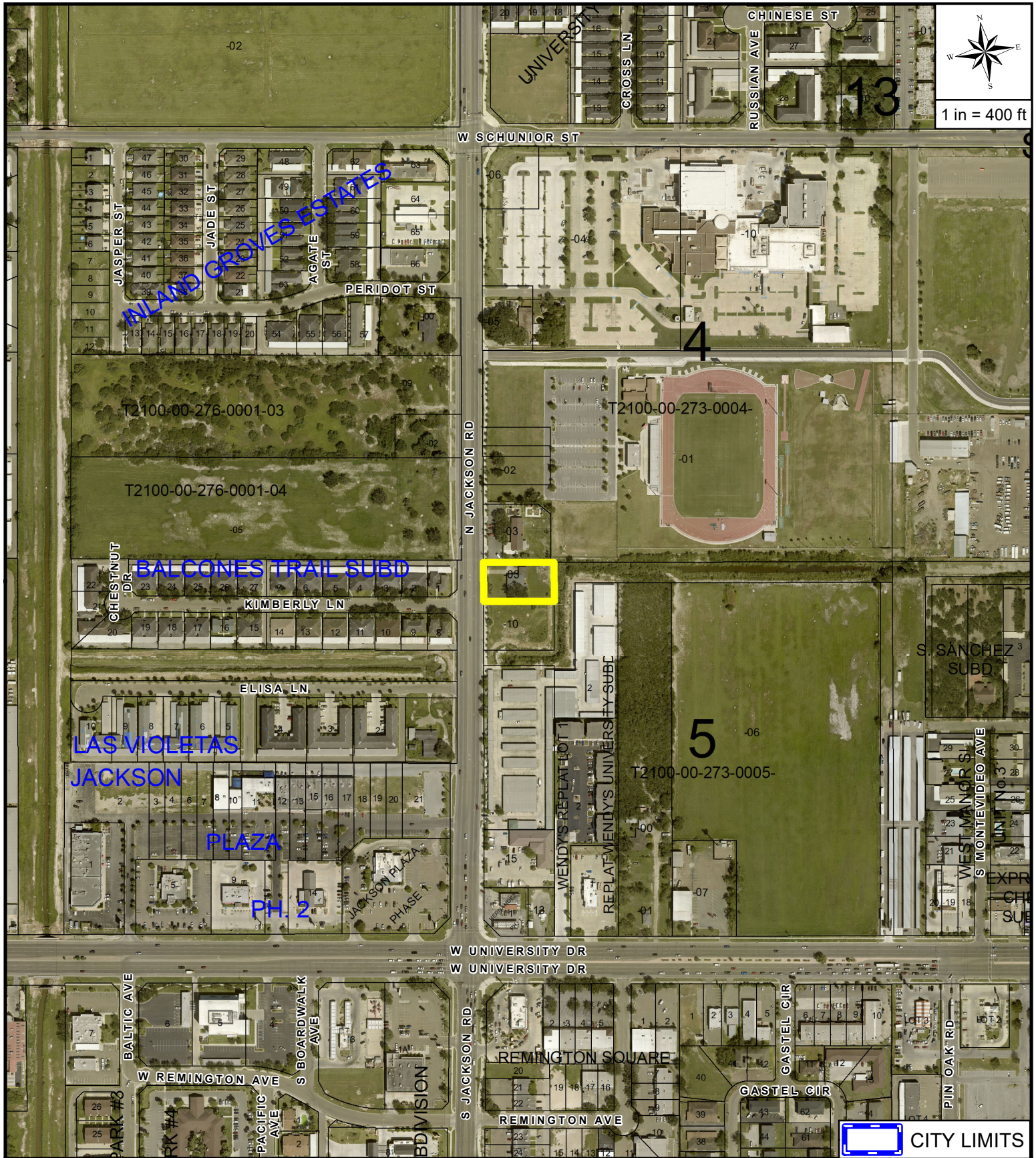
Staff recommends approval of the Rezoning Request from Suburban Residential (S) District to Commercial Neighborhood (CN) District based on the adjacent zoning and land uses.

If approved, the applicant will need to comply with all requirements during the permitting process including compliance with subdivision regulations, building and fire codes, fire protection, parking, landscape buffer-yards, solid waste services, utility, and any other City requirements, as applicable.

Staff mailed a notice of the public hearing before to 13 neighboring property owners and received no comments in favor or against this request by the time this report was prepared.

**ATTACHMENTS:** Aerial Photo  
Site Map  
Zoning Map  
Future Land Use Map  
Photo of site  
Exhibits





**AERIAL MAP**

**APPLICANT/SUBDIVISION:** ERICA PEREZ

**CASE CAPTION:**

CONSIDER THE REZONING REQUEST FROM SUBURBAN RESIDENTIAL (S) DISTRICT TO COMMERCIAL NEIGHBORHOOD (CN) DISTRICT, A 0.76 ACRE TRACT OF LAND BEING A PORTION OF LOT 5, SECTION 273, TEXAS-MEXICAN RAILWAY COMPANY'S SURVEY, LOCATED AT 402 NORTH JACKSON ROAD, AS REQUESTED BY ERICA PEREZ.

 CITY LIMITS

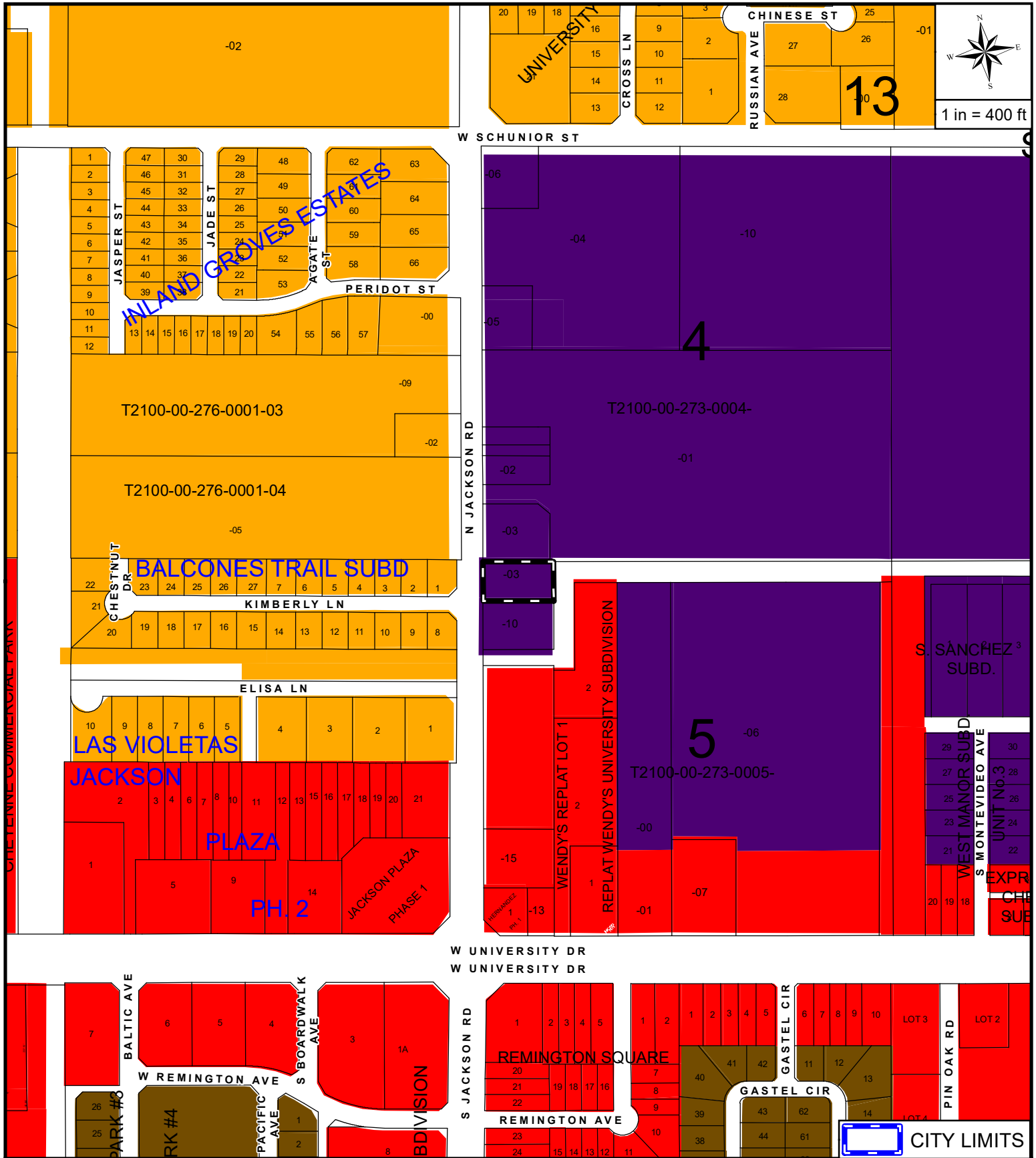
**LEGEND**

 APPLICANT SITE









### FUTURE LANDUSE MAP

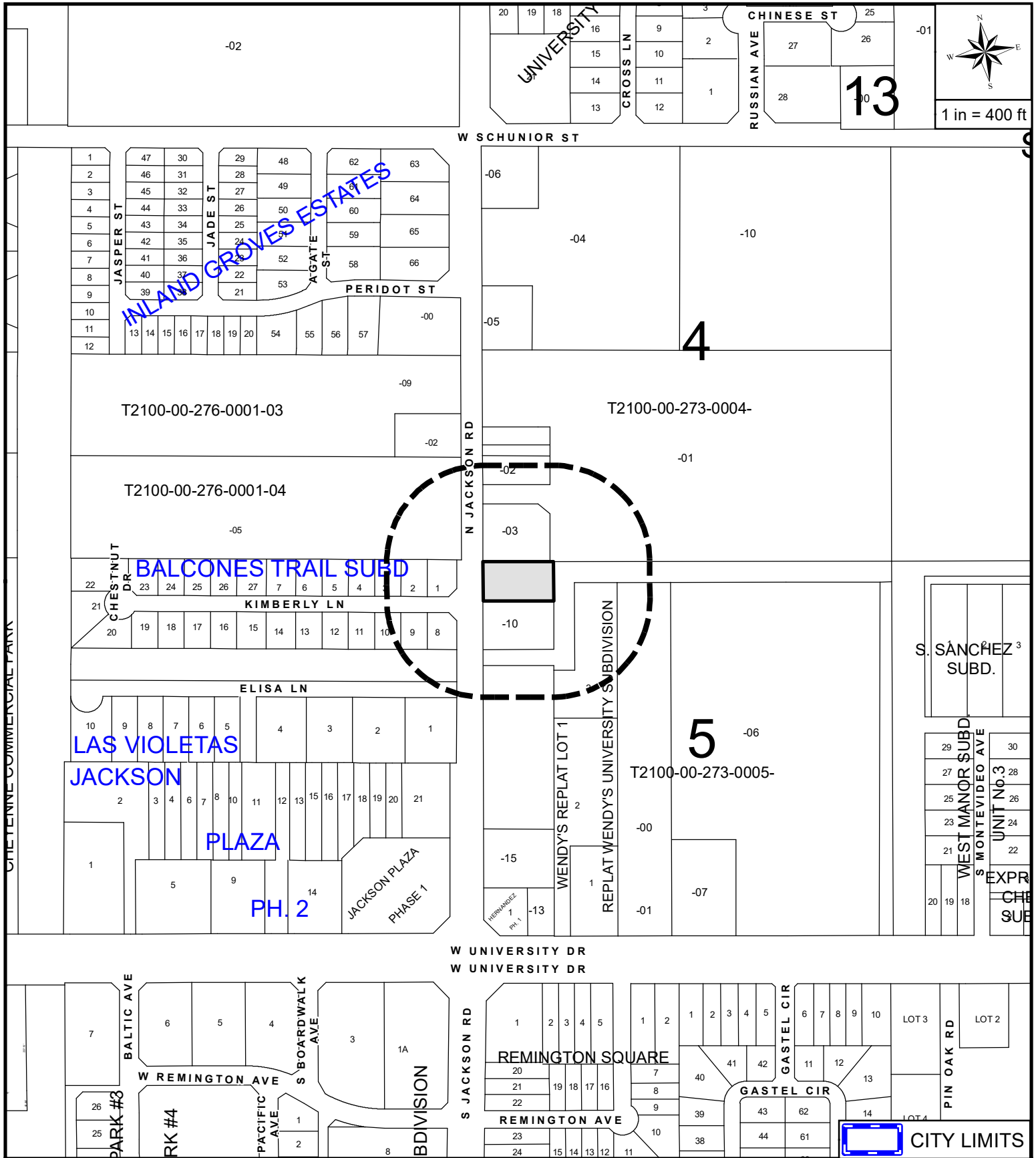
**APPLICANT/SUBDIVISION:** ERICA PEREZ




### CASE CAPTION:

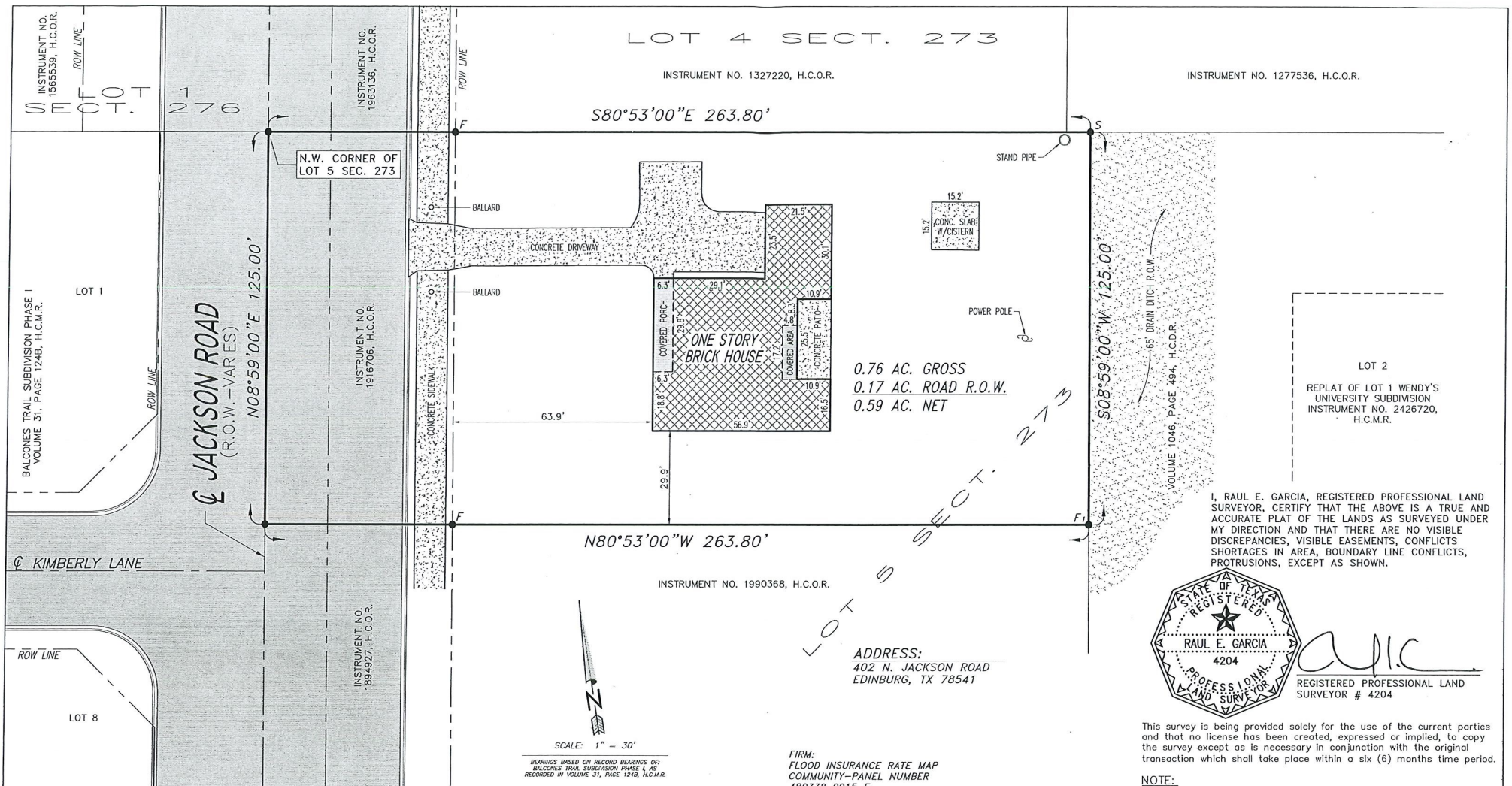
CONSIDER THE REZONING REQUEST FROM SUBURBAN RESIDENTIAL (S) DISTRICT TO COMMERCIAL NEIGHBORHOOD (CN) DISTRICT, A 0.76 ACRE TRACT OF LAND BEING A PORTION OF LOT 5, SECTION 273, TEXAS-MEXICAN RAILWAY COMPANY'S SURVEY, LOCATED AT 402 NORTH JACKSON ROAD, AS REQUESTED BY ERICA PEREZ.

### LEGEND

- APPLICANT SITE**
- FUTURE LANDUSE**
- Agriculture
  - Auto-Urban
  - Downtown District
  - General Commercial
  - Industrial
  - Mobile Home
  - Neighborhood Commercial
  - Office Business Park
  - Suburban
  - Urban
  - Urban University



	<b>MAILOUT AND SITE MAP</b>		<b>LEGEND</b>   APPLICANT SITE  300FT NOTIFICATION
	<b>APPLICANT/SUBDIVISION:</b> ERICA PEREZ		
	<b>CASE CAPTION:</b>		
	CONSIDER THE REZONING REQUEST FROM SUBURBAN RESIDENTIAL (S) DISTRICT TO COMMERCIAL NEIGHBORHOOD (CN) DISTRICT, A 0.76 ACRE TRACT OF LAND BEING A PORTION OF LOT 5, SECTION 273, TEXAS-MEXICAN RAILWAY COMPANY'S SURVEY, LOCATED AT 402 NORTH JACKSON ROAD, AS REQUESTED BY ERICA PEREZ.		



## PLAT SHOWING

A 0.76 OF AN ACRE TRACT OF LAND BEING A PORTION OF LOT 5, SECTION 273 TEXAS-MEXICAN RAILWAY COMPANY'S SURVEY SUBDIVISION AS RECORDED IN VOLUME 24, PAGE 168, DEED RECORDS, HIDALGO COUNTY, TEXAS, ALSO BEING THAT CERTAIN TRACT DESCRIBED IN WARRANTY DEED RECORDED IN VOLUME 975, PAGE 474, DEED RECORDS, HIDALGO COUNTY, TEXAS.

### LEGEND:

- F - FOUND 1/2" IRON ROD
- F<sub>1</sub> - FOUND 1/2" PIPE
- S - SET 1/2" IRON ROD WITH A CAP LABELED "RPLS 4204"

NOV 15 2021

Name: ZIL

**FIRM:**  
FLOOD INSURANCE RATE MAP  
COMMUNITY-PANEL NUMBER  
480338 0015 E  
MAP REVISED: 06/06/2000  
THIS AREA IS IN FLOOD ZONE "X" SHADED

**R.E. Garcia**  
**Associates**

**R. E. GARCIA & ASSOCIATES**  
ENGINEERS, SURVEYORS, PLANNERS  
ENGINEER (F-5001) & SURVEYOR (10015300)  
116 NORTH 12th AVE.  
EDINBURG, TEXAS 78541 (956) 381-1061  
EMAIL: REGAASSOC@AOL.COM

**TITLE:**  
**IMPROVEMENT SURVEY**

**DATE:** NOVEMBER 12, 2021 **REV:**

**JOB #** 2021-249 BOOK T-154/PG.07

**SCALE:** 1" = 30'

**DRAWN BY:** E.S.





Case #

THE CITY OF  
**Edinburg**

Planning & Zoning Department  
415 W. University Drive  
Edinburg, Texas 78539  
(956) 388-8202

## Zone Change Application

Date: 11-15-2021

1. Name: Erica Perez 2. Phone: 956-540-7509

3. Mailing Address: 3601 W. Alberta Rd

4. City: Edinburg State: Tx Zip: 78539

5. Email Address: drperez@bluebonnetcounselingcenter.com 6. Cell No. 956-537-3657

7. Agent: N/A 8. Agent's Phone: N/A

9. Agent's Mailing Address: N/A

10. City: N/A State: N/A Zip: N/A

11. Agent's Email: N/A

12. Address/Location being Rezoned: 402 N. Jackson Edinburg, Tx

13. Legal Description of Property: 14. Property ID(s): 297122

TEX - MEX SURVEY N125' - W263.8' LOT 5 SEC 273

15. Zone Change: From: Suburban To: neighborhood commercial S CN

16. Existing Land Use: residential

17. Reason for Zone Change: to use existing home for counseling private practice by appointment only

(Please Print Name)

ERICA PEREZ

Signature

AMOUNT PAID \$

RECEIPT NUMBER

PUBLIC HEARING DATE (PLANNING & ZONING COMMISSION) - 4:00 PM: \_\_\_\_\_

PUBLIC HEARING DATE (CITY COUNCIL) - 6:00 PM: \_\_\_\_\_

(NOTE: BOTH MEETINGS ARE HELD AT THE EDINBURG CITY COUNCIL CHAMBERS)

✓led 11-15-21





# Planning & Zoning Commission

Site Photos for meeting of December 14, 2021

ERICA PERÉZ





**City of Edinburg**  
**PLANNING & ZONING COMMISSION**

Regular Meeting: 12/14/2021

**COMPREHENSIVE PLAN AMENDMENT & REZONING REQUEST**

**AGENDA ITEM 5B:**

Consider the Comprehensive Plan Amendment from Auto Urban Uses to General Commercial Uses and the Rezoning Request from Suburban Residential (S) District and Neighborhood Conservation Manufactured Home (NC-MH) District to Commercial General (CG) District, being a 10.36 acre tract, more or less, out of a part of Lot 11, Section 246, Texas-Mexican Railway Company's Survey, located at 1300 North Interstate 69C, as requested by Aaron Rivera [Development Services Department – Kimberly Mendoza, Director of Planning & Zoning]

**DESCRIPTION / SCOPE:**

The property is located at the southeast corner of North Interstate 69C (North US-281) frontage road East Chapin Street and is vacant. The requested zoning designation of Commercial General (CG) District is the primary commercial district and would allow a wide range of commercial uses. The applicant is requesting the change of zone to establish a funeral home business at this location.

The property is currently zoned Suburban Residential (S) District and Neighborhood Conservation Manufactured Home (NC-MH) District. Adjacent zoning is Agriculture (AG) District to the north, Suburban Residential (S) District to the south and east, and Industrial (I) District to the west. The future land use designation is for Auto-Urban Uses.

Staff received a Zone Change Application for the subject property on November 18, 2021. The applicant indicated that the proposed use for the property is to establish a funeral home. Rezoning is required to accommodate the proposed use.

Staff mailed a notice of the public hearing before to eight neighboring property owners and received no comments in favor or against this request by the time this report was prepared.

**ESTIMATED TIMELINE:**

The recommendation of approval or denial of this public hearing is scheduled for consideration by the City Council on January 18, 2022. City Council's decision is the final step in the zoning process for this property. If denied the applicant may not request the proposed zoning classification for a 12 month period from the date of denial.

**STAFF RECOMMENDATION:**

Staff recommends approval of the Rezoning Request from Suburban Residential (S) District and Neighborhood Conservation Manufactured Home (NC-MH) to Commercial General (CG) District based on the location on the Interstate 69-C frontage road, a location appropriate for commercial uses.

If approved, the applicant will need to comply with all requirements during the permitting process including compliance with subdivision regulations, building and fire codes, fire protection, parking, landscape buffer-yards, solid waste services, utility, and any other City requirements, as applicable.

**JUSTIFICATION:**

Staff recommendation is based on the property location along the I-69C corridor. This type of location is appropriate for commercial uses. Adjacent land is mostly vacant/agricultural and suburban residential, with light industrial uses prevalent on the west side of the interstate across from the subject property. East Chapin Street and North Jasman Road create separation from existing suburban residential uses.

**D. Austin Colina**  
Planner I

**Kimberly A. Mendoza, MPA**  
Director of Planning & Zoning

**MEETING DATES:**  
**PLANNING & ZONING COMMISSION – 12/14/2021**  
**CITY COUNCIL – 1/18/2022**  
**DATE PREPARED – 12/03/2021**

**STAFF REPORT**  
**GENERAL INFORMATION**

**APPLICATION:** Comprehensive Plan Amendment from Auto Urban Uses to General Commercial Uses and Rezoning Request from Suburban Residential (S) District and Neighborhood Conservation Manufactured Home (NC-MH) District To Commercial General (CG) District

**APPLICANT:** Southmost Solutions LLC

**AGENT:** Aaron Rivera

**LEGAL:** A 10.36 acre tract, more or less, out of a part of Lot 11, Section 246, Texas-Mexican Railway Company's Survey

**LOCATION:** 1300 North I-69C

**LOT/TRACT SIZE:** 10.36 acre

**CURRENT USE:** Vacant

**PROPOSED USE:** Service Business

**EXISTING ZONING:** Suburban Residential (S) District and Neighborhood Conservation Manufactured Home (NC-MH)

**ADJACENT ZONING:** North – Agriculture (AG) District  
South – Suburban Residential (S) District  
East – Suburban Residential (S) District  
West – Industrial (I) District

**LAND USE PLAN:** Auto-Urban

**PUBLIC SERVICES:** North Alamo Water & City of Edinburg Sewer

**RECOMMENDATION:** Staff recommends approval of the Comprehensive Plan Amendment from Auto Urban Uses to General Commercial Uses and Rezoning Request from Suburban Residential (S) and Neighborhood Conservation Manufactured Home (NC-MH) to Commercial General (CG) District

**REZONING REQUEST**  
**SOUTHMOST SOLUTIONS – RIVERA FUNERAL HOME**

**EVALUATION**

The following is staff's evaluation of the request.

1. The location of the proposed development is on the I-69C frontage road.
2. The applicant is requesting the change of zone to establish a funeral home business.

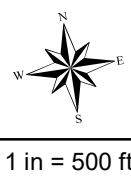
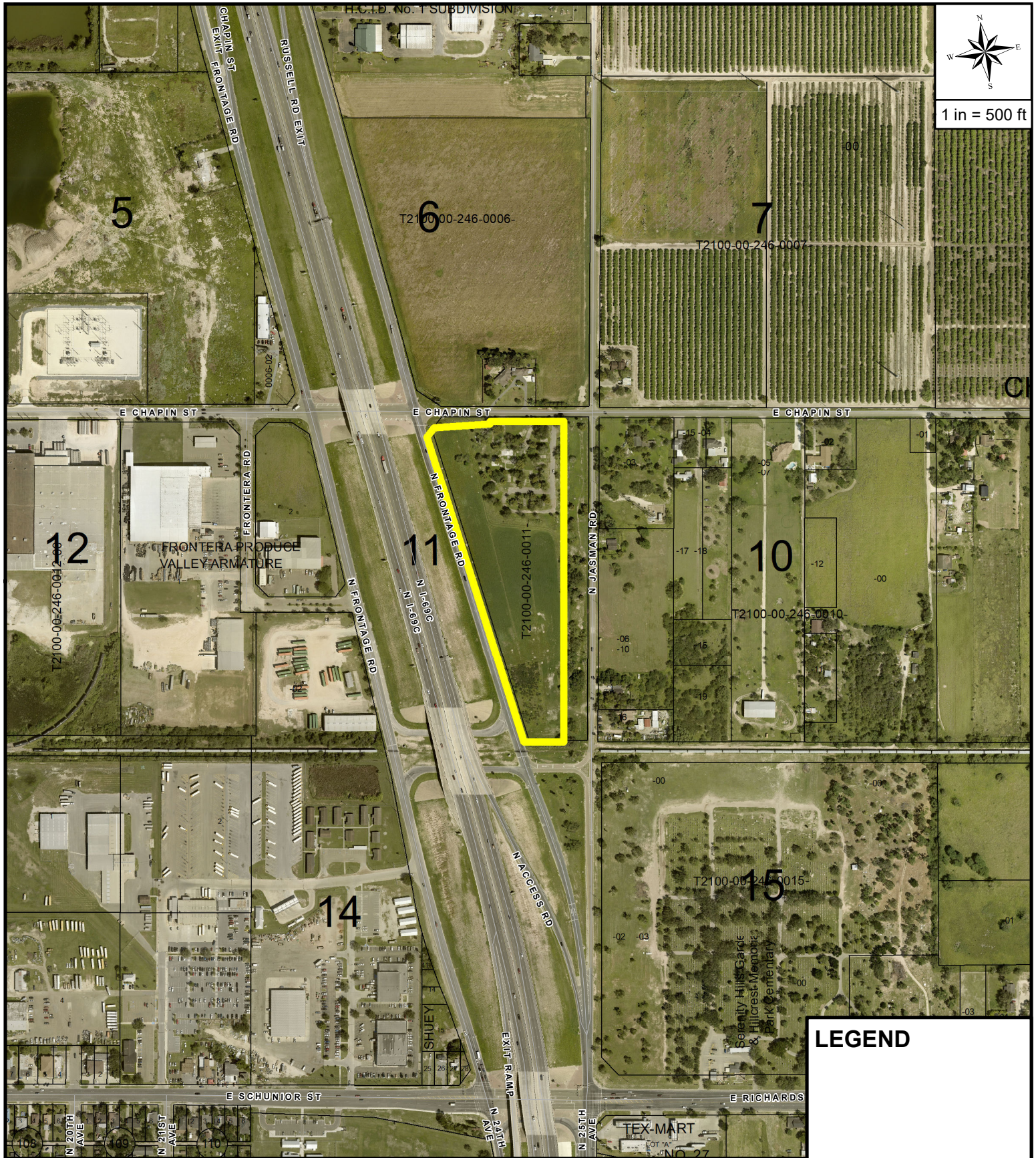
Staff recommends approval of the Comprehensive Plan Amendment from Auto Urban Uses to General Commercial Uses and Rezoning Request from Suburban Residential (S) District and Neighborhood Conservation Manufactured Home (NC-MH) to Commercial General (CG) District based on the location and nearby uses.

If approved, the applicant will need to comply with all requirements during the permitting process including compliance with subdivision regulations, building and fire codes, fire protection, parking, landscape buffer-yards, solid waste services, utility, and any other City requirements, as applicable.

Staff mailed a notice of the public hearing before to 8 neighboring property owners and received no comments in favor or against this request by the time this report was prepared.

**ATTACHMENTS:** Aerial Photo  
Site Map  
Zoning Map  
Future Land Use Map  
Photo of site  
Exhibits





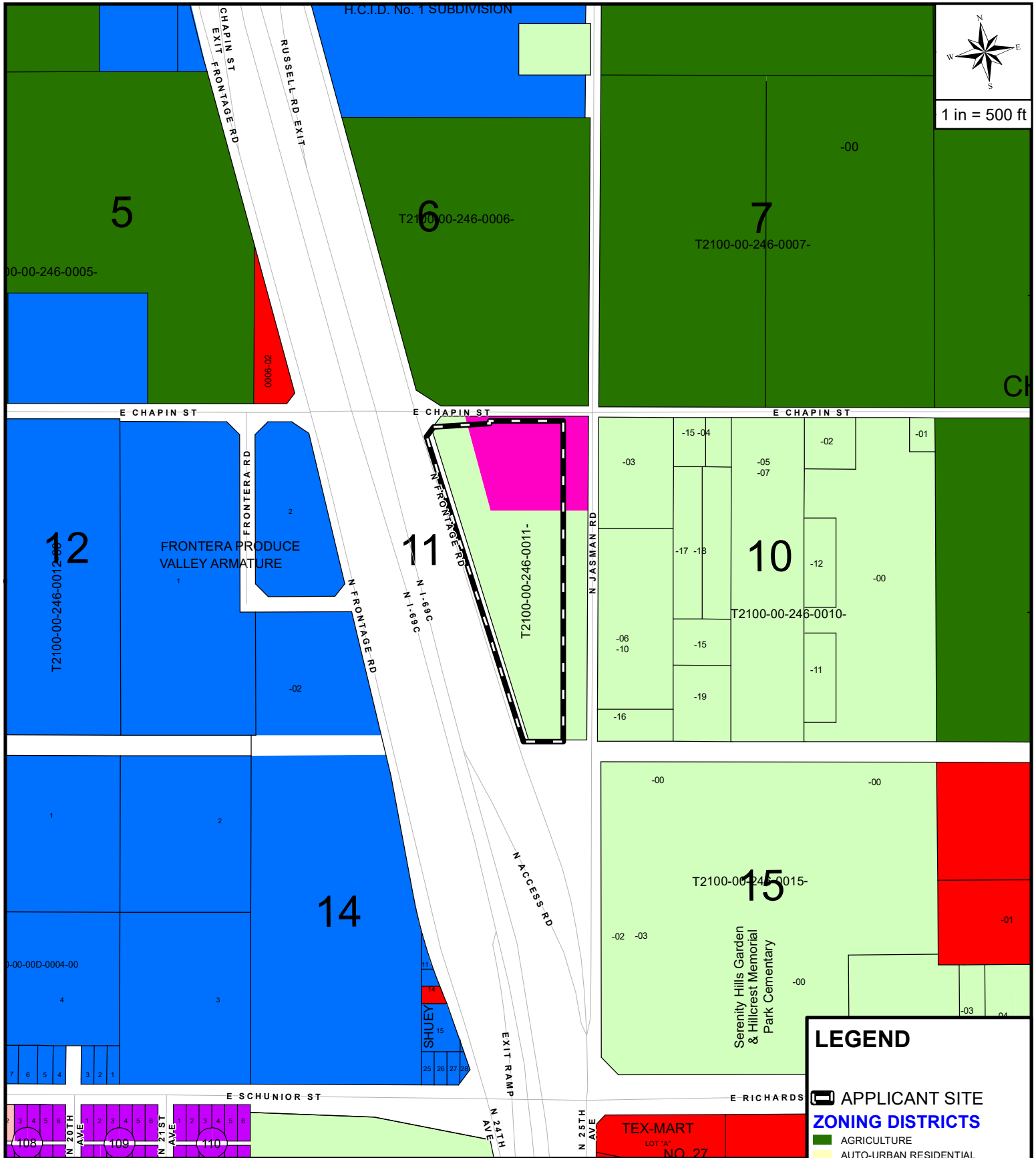
## LEGEND

- APPLICANT SITE
- CITY LIMITS



AERIAL MAP	
APPLICANT/SUBDIVISION:	AARON RIVERA / SOUTHMOST SOLUTIONS LLC
CASE CAPTION:	HOLD PUBLIC HEARING AND CONSIDER THE COMPREHENSIVE PLAN AMENDMENT FROM AUTO URBAN USES TO GENERAL COMMERCIAL USES AND THE REZONING REQUEST FROM SUBURBAN RESIDENTIAL (S) DISTRICT AND NEIGHBORHOOD CONSERVATION MANUFACTURED HOME (NC-MH) DISTRICT TO COMMERCIAL GENERAL (CG) DISTRICT, BEING A 10.36 ACRE TRACT, MORE OR LESS, OUT OF A PART OF LOT 11, SECTION 246, TEXAS-MEXICAN RAILWAY COMPANY'S SURVEY, LOCATED AT 1300 N. I-69C, AS REQUESTED BY AARON RIVERA.





**ZONING MAP**

**APPLICANT/SUBDIVISION:** AARON RIVERA / SOUTHMOST SOLUTIONS LLC

**CASE CAPTION:**

HOLD PUBLIC HEARING AND CONSIDER THE COMPREHENSIVE PLAN AMENDMENT FROM AUTO URBAN USES TO GENERAL COMMERCIAL USES AND THE REZONING REQUEST FROM SUBURBAN RESIDENTIAL (S) DISTRICT AND NEIGHBORHOOD CONSERVATION MANUFACTURED HOME (NC-MH) DISTRICT TO COMMERCIAL GENERAL (CG) DISTRICT, BEING A 10.36 ACRE TRACT, MORE OR LESS, OUT OF A PART OF LOT 11, SECTION 246, TEXAS-MEXICAN RAILWAY COMPANY'S SURVEY, LOCATED AT 1300 N. I-69C, AS REQUESTED BY AARON RIVERA.

**LEGEND**

**APPLICANT SITE**

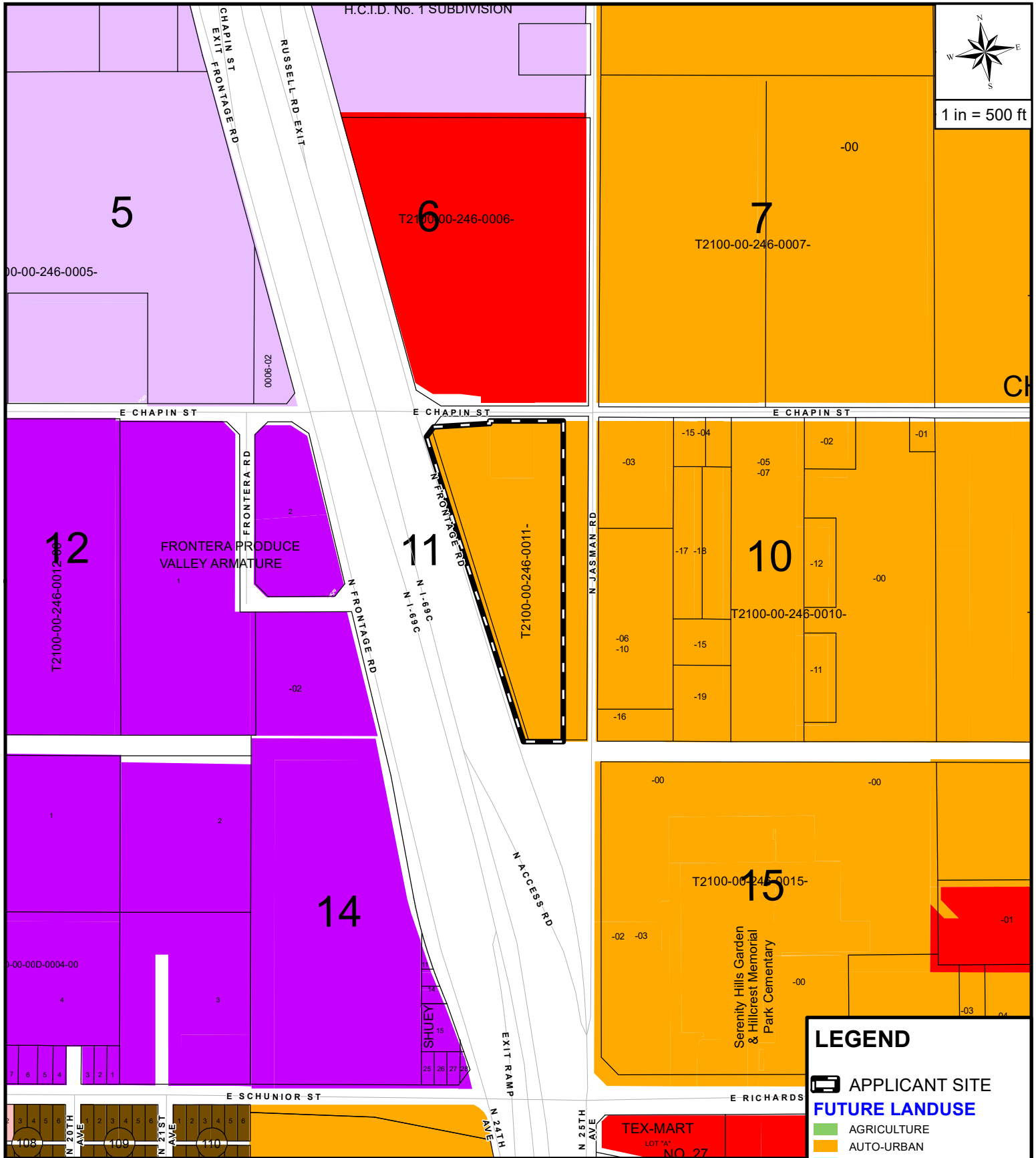
**ZONING DISTRICTS**

- AGRICULTURE
- AUTO-URBAN RESIDENTIAL
- COMMERCIAL, GENERAL
- COMMERCIAL, NEIGHBORHOOD
- DOWNTOWN DISTRICT
- INDUSTRIAL
- NEIGHBORHOOD CONSERVATION 5
- NEIGHBORHOOD CONSERVATION 7.1
- NEIGHBORHOOD CONSERVATION MH
- SUBURBAN RESIDENTIAL
- URBAN RESIDENTIAL
- URBAN UNIVERSITY

**CITY LIMITS**







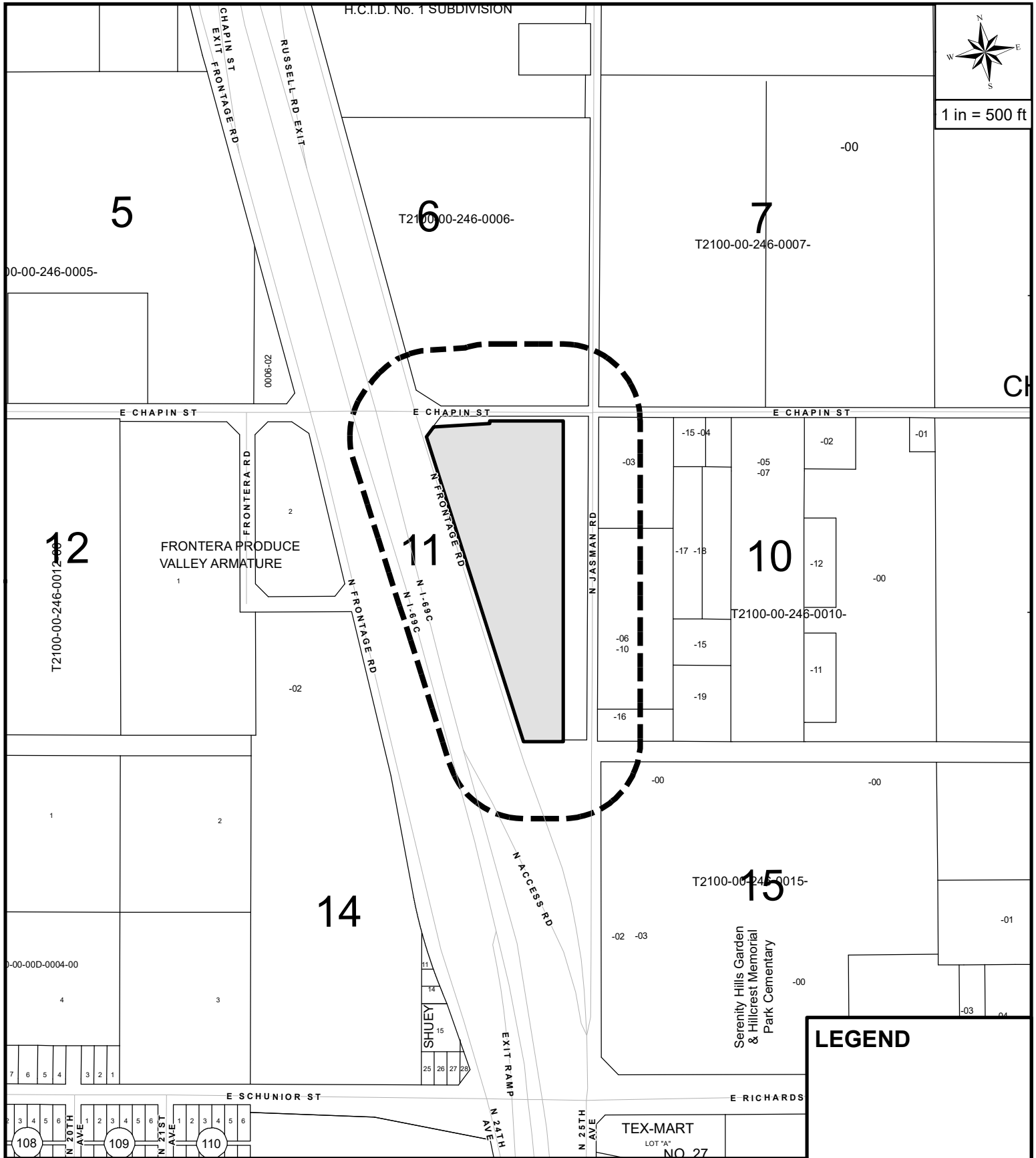
**FUTURE LANDUSE MAP**

**APPLICANT/SUBDIVISION:** AARON RIVERA / SOUTHMOST SOLUTIONS LLC

**CASE CAPTION:**

HOLD PUBLIC HEARING AND CONSIDER THE COMPREHENSIVE PLAN AMENDMENT FROM AUTO URBAN USES TO GENERAL COMMERCIAL USES AND THE REZONING REQUEST FROM SUBURBAN RESIDENTIAL (S) DISTRICT AND NEIGHBORHOOD CONSERVATION MANUFACTURED HOME (NC-MH) DISTRICT TO COMMERCIAL GENERAL (CG) DISTRICT, BEING A 10.36 ACRE TRACT, MORE OR LESS, OUT OF A PART OF LOT 11, SECTION 246, TEXAS-MEXICAN RAILWAY COMPANY'S SURVEY, LOCATED AT 1300 N. I-69C, AS REQUESTED BY AARON RIVERA.





**MAILOUT AND SITE MAP**

**APPLICANT/SUBDIVISION:** AARON RIVERA / SOUTHMOST SOLUTIONS LLC

**CASE CAPTION:**

HOLD PUBLIC HEARING AND CONSIDER THE COMPREHENSIVE PLAN AMENDMENT FROM AUTO URBAN USES TO GENERAL COMMERCIAL USES AND THE REZONING REQUEST FROM SUBURBAN RESIDENTIAL (S) DISTRICT AND NEIGHBORHOOD CONSERVATION MANUFACTURED HOME (NC-MH) DISTRICT TO COMMERCIAL GENERAL (CG) DISTRICT, BEING A 10.36 ACRE TRACT, MORE OR LESS, OUT OF A PART OF LOT 11, SECTION 246, TEXAS-MEXICAN RAILWAY COMPANY'S SURVEY, LOCATED AT 1300 N. I-69C, AS REQUESTED BY AARON RIVERA.

**LEGEND**

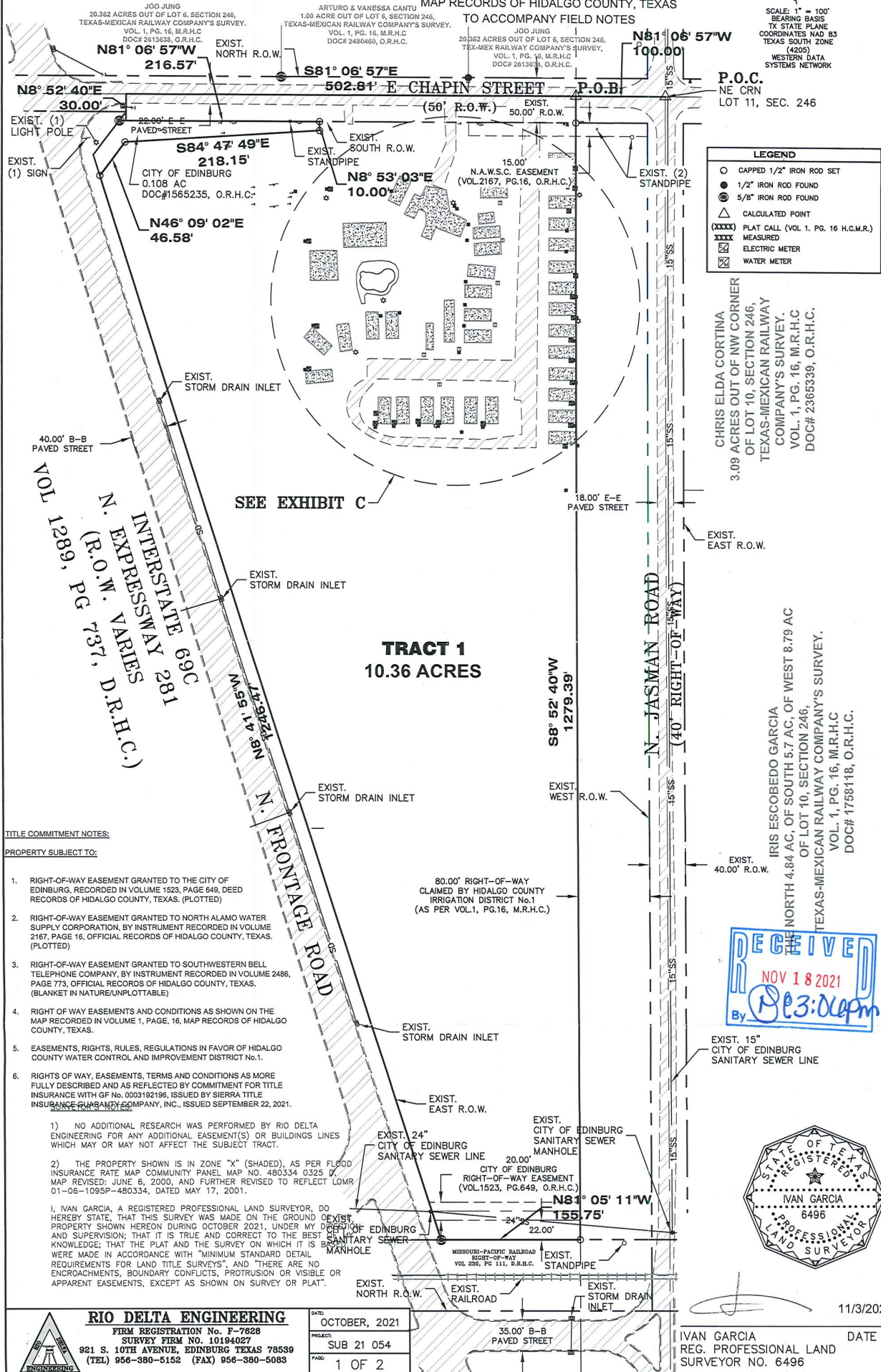
- APPLICANT SITE
- 300FT NOTIFICATION
- CITY LIMITS



EXHIBIT B  
EXISTING IMPROVEMENT SURVEY

TRACT 1 - 10.36 ACRES  
OUT OF LOT 11, SECTION 246,  
TEXAS-MEXICAN RAILWAY COMPANY'S SURVEY, VOLUME 1, PAGE 16,  
MAP RECORDS OF HIDALGO COUNTY, TEXAS  
TO ACCOMPANY FIELD NOTES

SCALE: 1" = 100'  
BEARING BASIS  
TX STATE PLANE  
COORDINATES NAD 83  
TEXAS SOUTH ZONE  
(4205)  
WESTERN DATA  
SYSTEMS NETWORK



TITLE COMMITMENT NOTES:

PROPERTY SUBJECT TO:

- RIGHT-OF-WAY EASEMENT GRANTED TO THE CITY OF EDINBURG, RECORDED IN VOLUME 1523, PAGE 649, DEED RECORDS OF HIDALGO COUNTY, TEXAS. (PLOTTED)
- RIGHT-OF-WAY EASEMENT GRANTED TO NORTH ALAMO WATER SUPPLY CORPORATION, BY INSTRUMENT RECORDED IN VOLUME 2167, PAGE 16, OFFICIAL RECORDS OF HIDALGO COUNTY, TEXAS. (PLOTTED)
- RIGHT-OF-WAY EASEMENT GRANTED TO SOUTHWESTERN BELL TELEPHONE COMPANY, BY INSTRUMENT RECORDED IN VOLUME 2486, PAGE 773, OFFICIAL RECORDS OF HIDALGO COUNTY, TEXAS. (BLANKET IN NATURE/UNPLOTTABLE)
- RIGHT OF WAY EASEMENTS AND CONDITIONS AS SHOWN ON THE MAP RECORDED IN VOLUME 1, PAGE, 16, MAP RECORDS OF HIDALGO COUNTY, TEXAS.
- EASEMENTS, RIGHTS, RULES, REGULATIONS IN FAVOR OF HIDALGO COUNTY WATER CONTROL AND IMPROVEMENT DISTRICT No.1.
- RIGHTS OF WAY, EASEMENTS, TERMS AND CONDITIONS AS MORE FULLY DESCRIBED AND AS REFLECTED BY COMMITMENT FOR TITLE INSURANCE WITH GF No. 0003192196, ISSUED BY SIERRA TITLE INSURANCE COMPANY, INC., ISSUED SEPTEMBER 22, 2021.

- NO ADDITIONAL RESEARCH WAS PERFORMED BY RIO DELTA ENGINEERING FOR ANY ADDITIONAL EASEMENT(S) OR BUILDINGS LINES WHICH MAY OR MAY NOT AFFECT THE SUBJECT TRACT.
- THE PROPERTY SHOWN IS IN ZONE "X" (SHADED), AS PER FLOOD INSURANCE RATE MAP COMMUNITY PANEL MAP NO. 480334 0325 D, MAP REVISED: JUNE 6, 2000, AND FURTHER REVISED TO REFLECT LOMR 01-06-1095P-480334, DATED MAY 17, 2001.

I, IVAN GARCIA, A REGISTERED PROFESSIONAL LAND SURVEYOR, DO HEREBY STATE, THAT THIS SURVEY WAS MADE ON THE GROUND OF THE PROPERTY SHOWN HEREON DURING OCTOBER 2021, UNDER MY DIRECT SUPERVISION; THAT IT IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE; THAT THE PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH "MINIMUM STANDARD DETAIL REQUIREMENTS FOR LAND TITLE SURVEYS", AND THERE ARE NO ENCROACHMENTS, BOUNDARY CONFLICTS, PROTRUSION OR VISIBLE OR APPARENT EASEMENTS, EXCEPT AS SHOWN ON SURVEY OR PLAT".

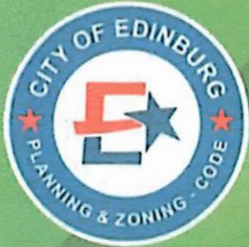
**RIO DELTA ENGINEERING**  
FIRM REGISTRATION No. F-7828  
SURVEY FIRM NO. 10194027  
921 S. 10TH AVENUE, EDINBURG TEXAS 78539  
(TEL) 956-380-5152 (FAX) 956-380-5083

DATE: OCTOBER, 2021  
PROJECT: SUB 21 054  
PAGE: 1 OF 2

IVAN GARCIA  
REG. PROFESSIONAL LAND  
SURVEYOR NO. 6496

11/3/2021





Case #

Edinburg

Planning & Zoning Department  
415 W. University Drive  
Edinburg, Texas 78539  
(956) 388-8202

RZNE-2021-0028

## Zone Change Application

Date: October 4, 20211. Name: Southmost Solutions LLC

2. Phone: \_\_\_\_\_

3. Mailing Address: 2800 Santa Lliana4. City: MissionState: TxZip: 78501-785205. Email Address: ronrivera55@yahoo.com6. Cell No. (956) 648-26487. Agent: Aaron Rivera8. Agent's Phone: (956) 648-26489. Agent's Mailing Address: 1901 Pecan Blvd10. City: McallenState: TexasZip: 7850111. Agent's Email: ronrivera55@yahoo.com12. Address/Location being Rezoned: US Highway 281 & Chapin Rd. Edinburg, TX

13. Legal Description of Property:

14. Property ID(s):

TEX-MEX SURVEY LOT 11 AN IRR TR W502.9'-E602.91' LOT11 BLK246 10.48 AC GR  
10.05 AC NET

15. Zone Change: From: MH/S F.G. 11-18-21  
AU - Auto-Urban ResidentialTo: CG - Commerical General16. Existing Land Use: Vacant  
AGRICULTURE17. Reason for Zone Change: To allow for new non-agriculture useFuneral Home

(Please Print Name)

Signature

AMOUNT PAID \$ \_\_\_\_\_

RECEIPT NUMBER \_\_\_\_\_

PUBLIC HEARING DATE (PLANNING &amp; ZONING COMMISSION) - 4:00 PM: \_\_\_\_\_

PUBLIC HEARING DATE (CITY COUNCIL) - 6:00 PM: \_\_\_\_\_

(NOTE: BOTH MEETINGS ARE HELD AT THE EDINBURG CITY COUNCIL CHAMBERS)





# Planning & Zoning Commission

Site Photo for meeting of December 14, 2021

AARON RIVERA







**City of Edinburg**  
**PLANNING & ZONING COMMISSION**

Regular Meeting: 12/14/2021

**REZONING REQUEST**

**AGENDA ITEM 5C:**

Consider the Rezoning Request from Suburban Residential (S) District to Auto-Urban Residential (AU) District, a 1.00 acre tract of land, being a portion of the north 5.00 acres of Lot 10, Section 244, Texas-Mexican Railway Company's Survey, located at 424 East Rogers Road, as requested by Berta A. Salazar [Development Services Department – Kimberly Mendoza, Director of Planning & Zoning] (TABLED: 11/09/2021)

**DESCRIPTION / SCOPE:**

The property is located on the south side of East Rogers Road, approximately 1,225.40 ft. east of North Business Highway 281 and has an existing single family residential structure. The requested zoning designation allows for single family and multifamily residential uses on the subject property. The applicant is requesting the change of zone to convert the existing garage to a duplex.

The property is currently zoned Suburban Residential (S) District. The surrounding zoning is a Suburban Residential (S) District to the north, south and east, and Auto-Urban Residential (AU) District to the west. The future land use designation is for Auto-Urban Uses.

Staff mailed a notice of the public hearing before to 21 neighboring property owners and received no comments in favor or against this request by the time this report was prepared.

**ESTIMATED TIMELINE:**

The recommendation of approval or denial of this public hearing is scheduled for consideration by the City Council on January 18, 2022. City Council's decision is the final step in the zoning process for this property. If denied the applicant may not request the proposed zoning classification for a 12 month period from the date of denial.

**STAFF RECOMMENDATION:**

Staff recommends approval of the Rezoning Request from Suburban Residential (S) District to Auto-Urban Residential (AU) District based on the adjacent zoning. The requested zoning is also in conformance with the future land use plan.

If approved, the applicant will need to comply with all requirements during the permitting process including compliance with subdivision regulations, building and fire codes, fire protection, parking, landscape buffer-yards, solid waste services, utility, and any other City requirements, as applicable.

**JUSTIFICATION:**

Staff recommendation is based on the adjacent zoning and future land use plan. A multifamily residential development is a permitted use in the requested zoning designation.

**Nikki Marie Cavazos**  
Planner I

**Kimberly A. Mendoza, MPA**  
Director of Planning & Zoning

**MEETING DATES:**  
**PLANNING & ZONING COMMISSION – 12/14/2021**  
**CITY COUNCIL – 1/18/2021**  
**DATE PREPARED – 12/03/2021**

**STAFF REPORT**  
**GENERAL INFORMATION**

**APPLICATION:** Rezoning Request from Suburban Residential (S) District to Auto-Urban Residential (AU) District

**APPLICANT:** Berta A. Salazar

**AGENT:** N/A

**LEGAL:** a 1.00 acre tract of land, being a portion of the North 5.00 acres of Lot 10, Section 244, Texas-Mexican Railway Company's Survey

**LOCATION:** Located at 424 East Rogers Road

**LOT/TRACT SIZE:** 1.00 acre

**CURRENT USE:** Single Family Residence

**PROPOSED USE:** Multi- Family

**EXISTING ZONING:** Suburban Residential (S) District

**ADJACENT ZONING:** North – Suburban Residential (S) District  
South – Suburban Residential (S) District  
East – Suburban Residential (S) District  
West – Auto-Urban Residential (AU) District

**LAND USE PLAN:** Auto-Urban Uses

**PUBLIC SERVICES:** North Alamo Water & City of Edinburg Sewer

**RECOMMENDATION:** Staff recommends approval of the Rezoning Request from Suburban Residential (AG) to Auto-Urban Residential (AU) District

**REZONING REQUEST**  
**BERTA A. SALAZAR**

**EVALUATION**

The following is staff's evaluation of the request.

1. The land use pattern for this area of the community consists of single family residential uses and vacant land.
2. The applicant is requesting the change of zone to construct a multifamily residential development.

Staff recommends approval of the Rezoning Request from Suburban Residential (S) District to Auto-Urban Residential (AU) District based on the adjacent zoning. The requested zoning is also in conformance with the future land use plan.

If approved, the applicant will need to comply with all requirements during the permitting process including compliance with subdivision regulations, building and fire codes, fire protection, parking, landscape buffer-yards, solid waste services, utility, and any other City requirements, as applicable.


Staff mailed a notice of the public hearing before to 21 neighboring property owners and received no comments in favor or against this request by the time this report was prepared.

**ATTACHMENTS:** Aerial Photo  
Site Map  
Zoning Map  
Future Land Use Map  
Photo of site  
Exhibits






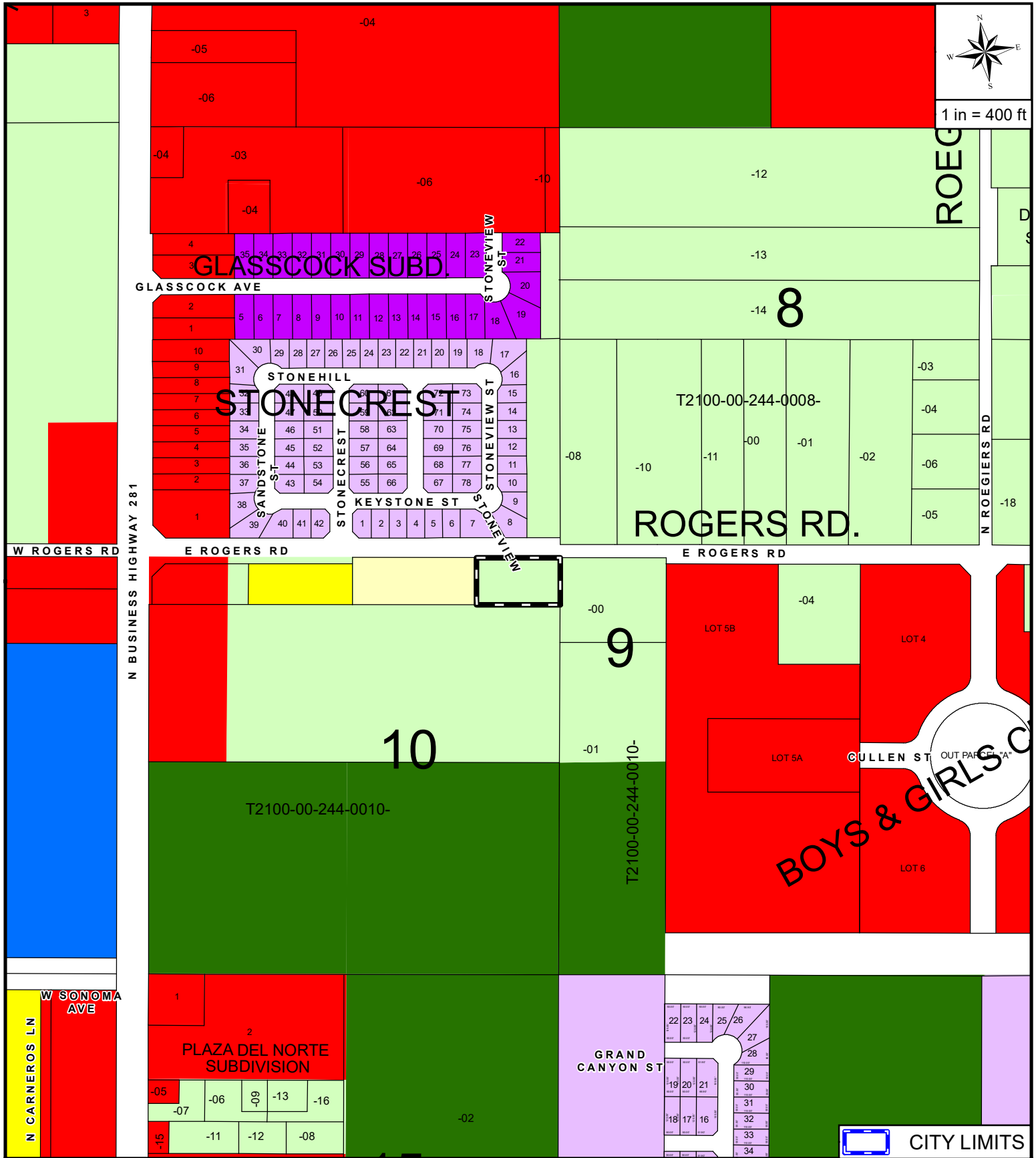
<b>AERIAL MAP</b>	
<b>APPLICANT/SUBDIVISION:</b>	BERTA A SALAZAR
<b>CASE CAPTION:</b>	
CONSIDER THE REZONING REQUEST FROM SUBURBAN RESIDENTIAL (S) DISTRICT TO AUTO-URBAN RESIDENTIAL (AU) DISTRICT, A 1.00 ACRE TRACT OF LAND, BEING A PORTION OF THE NORTH 5.00 ACRES OF LOT 10, SECTION 244, TEXAS-MEXICAN RAILWAY COMPANY'S SURVEY, LOCATED AT 424 EAST ROGERS ROAD, AS REQUESTED BY BERTA A. SALAZAR	

 CITY LIMITS

**LEGEND**

 APPLICANT SITE


















### ZONING MAP

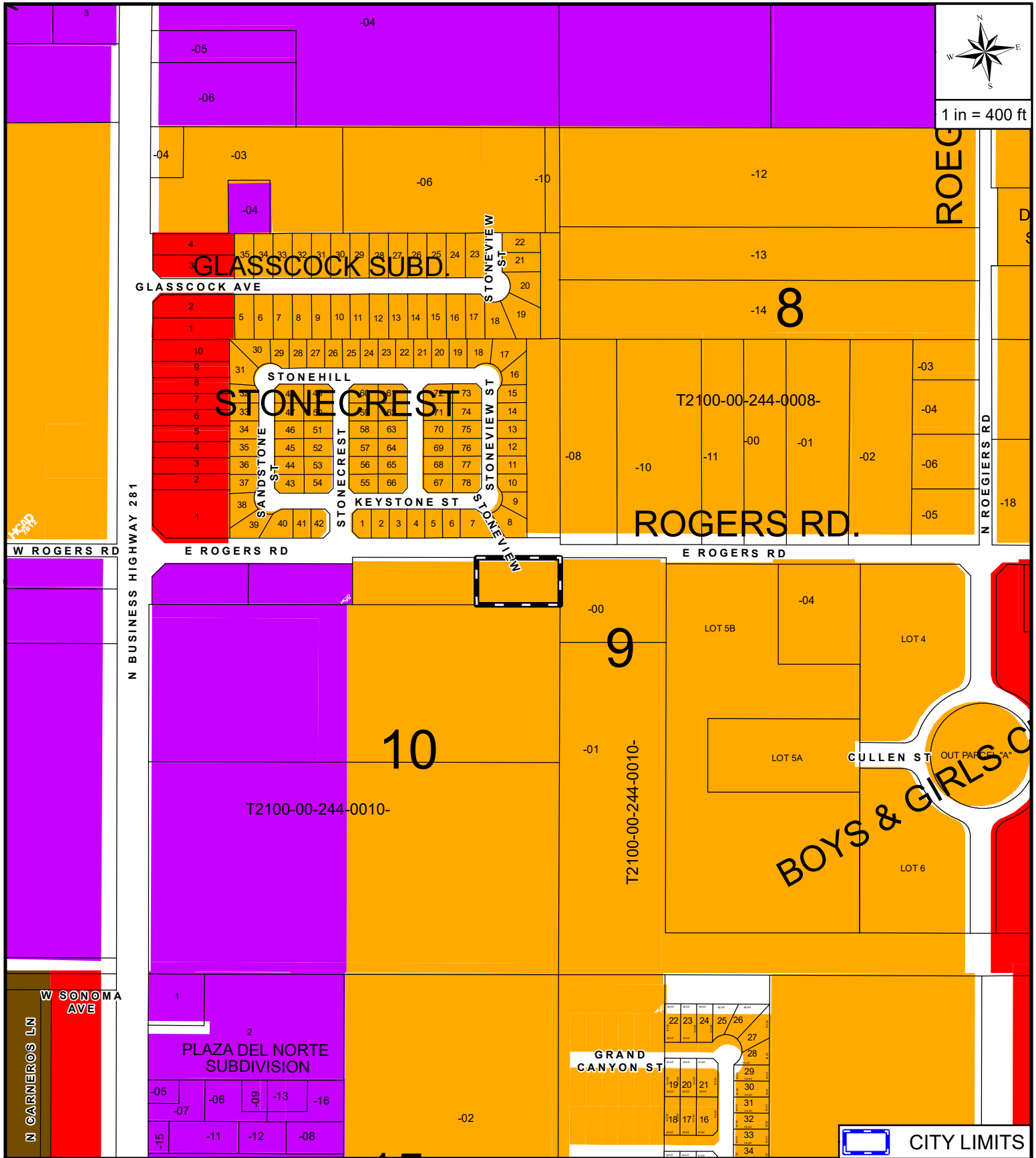
**APPLICANT/SUBDIVISION:** BERTA A. SALAZAR

### CASE CAPTION:

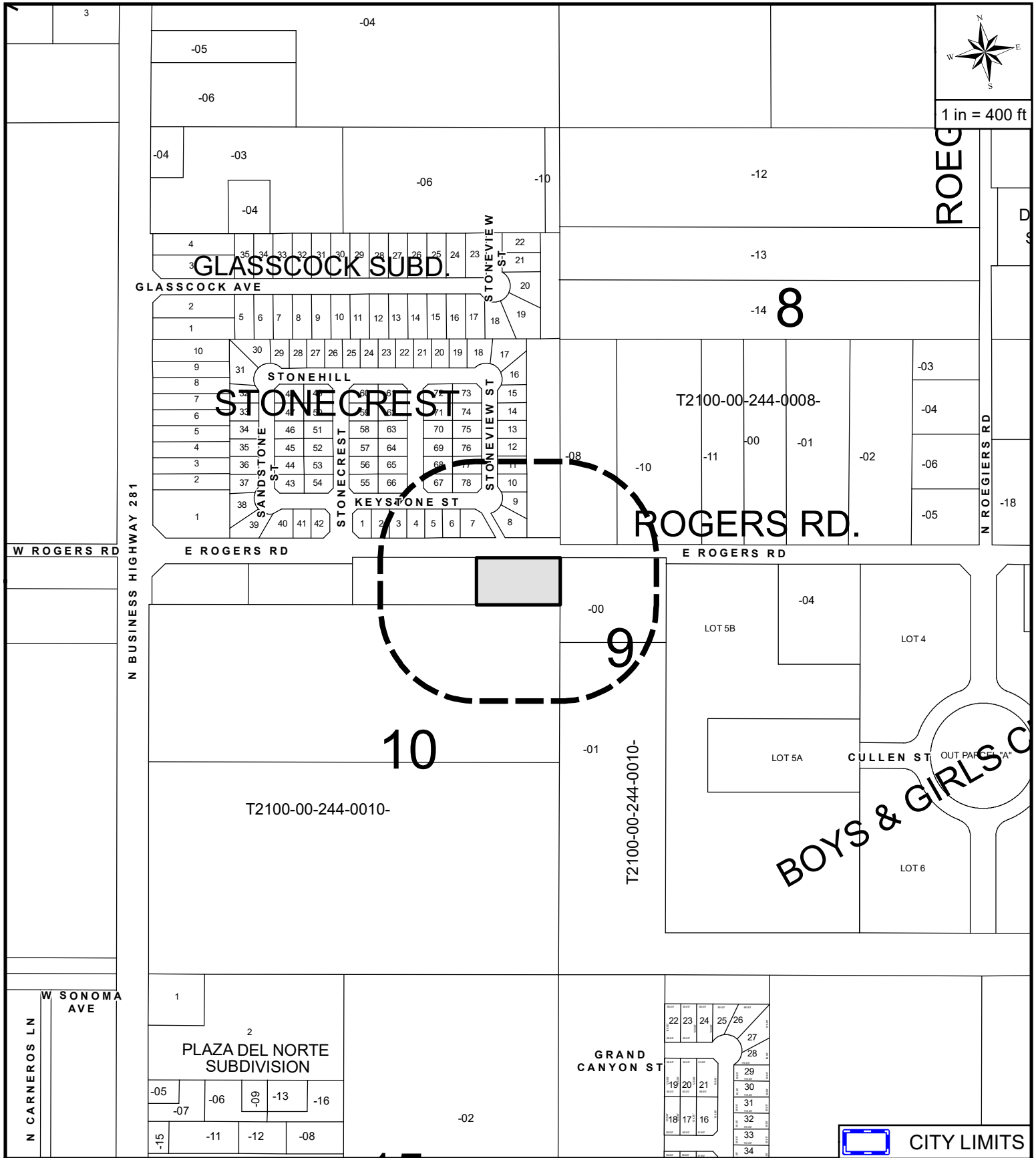
CONSIDER THE REZONING REQUEST FROM SUBURBAN RESIDENTIAL (S) DISTRICT TO AUTO-URBAN RESIDENTIAL (AU) DISTRICT, A 1.00 ACRE TRACT OF LAND, BEING A PORTION OF THE NORTH 5.00 ACRES OF LOT 10, SECTION 244, TEXAS-MEXICAN RAILWAY COMPANY'S SURVEY, LOCATED AT 424 EAST ROGERS ROAD, AS REQUESTED BY BERTA A. SALAZAR

### LEGEND

-  APPLICANT SITE
- ZONING DISTRICTS**
-  AGRICULTURE
-  AUTO-URBAN RESIDENTIAL
-  COMMERCIAL, GENERAL
-  COMMERCIAL, NEIGHBORHOOD
-  DOWNTOWN DISTRICT
-  INDUSTRIAL
-  NEIGHBORHOOD CONSERVATION 5
-  NEIGHBORHOOD CONSERVATION 7.1
-  NEIGHBORHOOD CONSERVATION MH
-  SUBURBAN RESIDENTIAL
-  URBAN RESIDENTIAL
-  URBAN UNIVERSITY



FUTURE LAND USE MAP	
<b>APPLICANT/SUBDIVISION:</b> BERTA A. SALAZAR	
<b>CASE CAPTION:</b>	
CONSIDER THE REZONING REQUEST FROM SUBURBAN RESIDENTIAL (S) DISTRICT TO AUTO-URBAN RESIDENTIAL (AU) DISTRICT, A 1.00 ACRE TRACT OF LAND, BEING A PORTION OF THE NORTH 5.00 ACRES OF LOT 10, SECTION 244, TEXAS-MEXICAN RAILWAY COMPANY'S SURVEY, LOCATED AT 424 EAST ROGERS ROAD, AS REQUESTED BY BERTA A. SALAZAR	
<b>LEGEND</b> APPLICANT SITE <b>FUTURE LANDUSE</b> Agriculture Auto-Urban Downtown District General Commercial Industrial Mobile Home Neighborhood Commercial Office Business Park Suburban Urban Urban University	CITY LIMITS



MAILOUT AND SITE MAP	
<b>APPLICANT/SUBDIVISION:</b>	BERTA A. SALAZAR
<b>CASE CAPTION:</b>	CONSIDER THE REZONING REQUEST FROM SUBURBAN RESIDENTIAL (S) DISTRICT TO AUTO-URBAN RESIDENTIAL (AU) DISTRICT, A 1.00 ACRE TRACT OF LAND, BEING A PORTION OF THE NORTH 5.00 ACRES OF LOT 10, SECTION 244, TEXAS-MEXICAN RAILWAY COMPANY'S SURVEY, LOCATED AT 424 EAST ROGERS ROAD, AS REQUESTED BY BERTA A. SALAZAR

CITY LIMITS

**LEGEND**

APPLICANT SITE

300FT NOTIFICATION



Case #

THE CITY OF  
**Edinburg**Planning & Zoning Department  
415 W. University Drive  
Edinburg, Texas 78539  
(956) 388-8202

## Zone Change Application

1. Name: Berta A Salazar Phone No. 956-207-52-38
2. Mailing Address: 424 E Rogers
3. City: Edinburg State: Texas Zip: 78541
4. Email Address: T. salazar 1@ hotmail. Com Cell No. 956-207-52-38
5. Agent: \_\_\_\_\_ Phone No. \_\_\_\_\_
6. Agent's Mailing Address: \_\_\_\_\_
7. City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_
8. Email Address: \_\_\_\_\_
9. Address/Location being Rezoned: 424 E. Rogers Rd
10. Legal Description of Property: \_\_\_\_\_ Property ID: 697888  
Tex-Mex Survey E 260.84' - N 167' Lot 10  
Sec 244 1.00 AC GR. 88 AC NET
11. Zone Change: From: Suburban Resid. To: Auto Urban Resid.
12. Existing Land Use: Suburban Resid.
13. Reason for Zone Change: Wanting to Remodel existing Garage  
Into 2 Apts. for Detached

(Please Print Name)

Signature

AMOUNT PAID \$ \_\_\_\_\_ RECEIPT NUMBER \_\_\_\_\_

**RECEIVED**PUBLIC HEARING DATE (PLANNING & ZONING COMMISSION) 4:00 PM

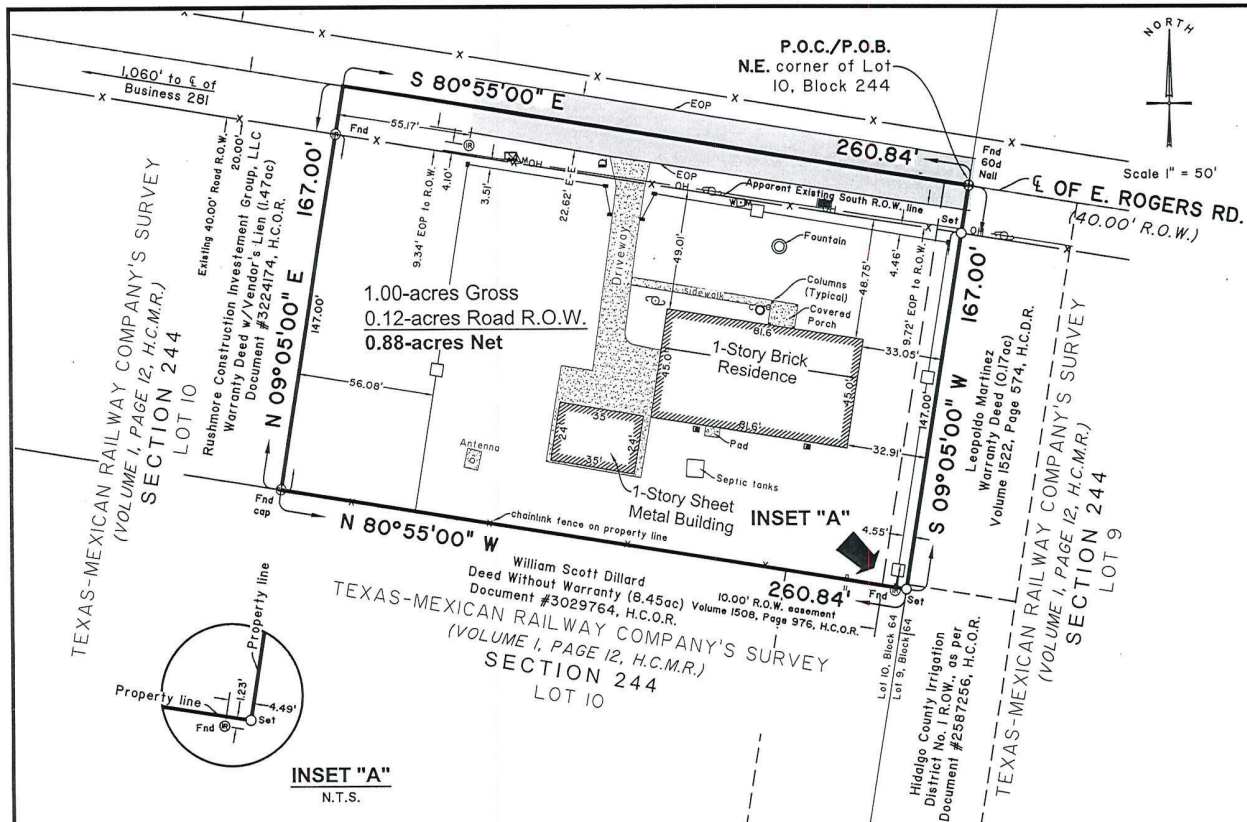
SEP 23 2021

PUBLIC HEARING DATE (CITY COUNCIL) - 6:00 PM: \_\_\_\_\_

Name: B. Salazar

(NOTE: BOTH MEETINGS ARE HELD AT THE EDINBURG CITY COUNCIL CHAMBERS)





**SURVEY PLAT SHOWING  
A 1.00-ACRE TRACT OF LAND  
BEING A PORTION OF THE NORTH  
5.00-ACRES OF  
LOT 10, SECTION 244,  
TEXAS-MEXICAN RAILWAY  
COMPANY'S SURVEY,  
HIDALGO COUNTY, TEXAS,  
VOLUME 1, PAGE 12, H.C.M.R.**

(See Exhibit "A" for Metes and Bounds description)

**Legend**

H.C.M.R.	Hidalgo County Map Records
H.C.O.R.	Hidalgo County Official Records
H.C.D.R.	Hidalgo County Deed Records
P.O.B.	Point of Beginning
P.O.C.	Point of Commencing
R.O.W.	Right-of-Way
N.E.	Northeast
Fnd	Found No. 4 Rebar
Set	Set No. 4 Rebar
EOP	Edge of pavement
E-E	Edge to Edge
	Found No. 4 Rebar
	Found No. 4 Rebar w/cap
	Found 60d nail
	Existing wrought iron or wood post fence
	Existing chainlink fence
	Existing hogwire fence
	Existing overhead power line
	Existing power pole
	Existing electric meter
	Existing mailbox
	Existing telephone box
	Existing grate inlet
	Existing water meter
	A/C Unit
	Asphalt pavement
	Concrete pavement
	Tile flooring

**General Notes:**

- Survey is valid only if print has original seal and signature of surveyor.
- Bearing basis as per the North line of 8.44-acre tract, Document #2587256, H.C.O.R.
- Title Company: San Jacinto Title Services of Texas, LLC  
Commitment GF No. 212440786  
Effective Date: May 18, 2021;  
From Schedule B:  
10.  
a. Rights or claims by Hidalgo County Irrigation District No. 1, to any portion of property lying within canal and/or drain ditch easements and/or rights of way located on the property.  
b. Statutory rights, rules, regulations, easements and liens in favor of Hidalgo County Irrigation District No. 1, pursuant to applicable sections of the Texas Water Code. (Blanket)  
c. Subdivision regulations of the County of Hidalgo and/or ordinances or regulations of the city holding extra-territorial jurisdiction of said property.  
d. Easements and reservations as shown according to the map or plat thereof recorded in Volume 1, Page 12, Map Records of Hidalgo County, Texas.  
e. RIGHT OF WAY dated, executed by Santos Diaz to City of Edinburg, recorded in Volume 1617, Page 25, Official Public Records of Hidalgo County, Texas. (Not applicable)  
f. Easement as reserved in Deed dated October 7, 1976, executed by Hidalgo County Water Control and Improvement District No. 1 to Santos Diaz and wife, Emma Diaz, recorded in Volume 1508, Page 976, Deed Records, Hidalgo County, Texas. (Not an easement)  
i. Any visible and apparent unrecorded easements on the insured property.
- William A. Mangum, did not research or prepare a title report or abstract of title on the above property.
- Building, zoning, platting and/or regulatory laws and/or ordinances at any municipal and/or other governmental authority will apply.
- The existence, if any, of underground gas lines or other underground utilities not shown on this survey should be thoroughly investigated by the owner prior to any construction on this site. The Surveyor has limited his investigation of underground utilities on this site to that which can be seen.
- Flood Zone "X" (shaded) - Areas of 500-year floodplain; areas of 100-year flood with average depths of less than 1 foot or with drainage areas less than 1 square mile; and area protected by levees from 100-year flood.  
Community Panel No. 480338 0015E  
Map Revised: June 6, 2000  
Revised to Reflect LOMR Dated: May 14, 2001

Borrower(s): Jose Salazar  
Jose Salazar  
424 E. Rogers Rd.  
Edinburg, Texas 78541

The undersigned hereby state that this survey as described hereon, was made on the ground of WILLIAM A. MANGUM direction, that the only improvements on the ground are as shown. That there are no visible encroachments, no visible overlapping, apparent conflicts, or other easements or other as shown hereon.

WILLIAM A. MANGUM, RPLS No. 4353 DATE: \_\_\_\_\_

**W & L MANGUM SURVEYING**

2520 Buddy Owens Blvd., McALLEN, TEXAS 78504  
PHONE (956) 249-8061  
FIRM NUMBER 10113300  
wlmangumsurveying@gmail.com

DATE: 06/30/2021 JOB No. WLM21-042 BOOK ??? PG. ??  
T.B.P.L.S. PHONE No. 512-239-5263

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## STAFF REPORT: CITRUS GARDENS SBDIVISION

November 4, 2021

Planning and Zoning Meeting:

November 9, 2021

Agenda Item: 7A

Preliminary Plat

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**Subject:** Consider the Preliminary Plat of **CITRUS GARDENS SUBDIVISION**, being a 10.07 acre tract out of Lot 13, Block 39 of the Santa Cruz Gardens Unit No. 2 Subdivision, located at 2700 East Davis Road, as requested by RO Engineering, PLLC.

**Location:** The property is located on the north side of E. Davis Road, approximately 1,750 ft. east of Doolittle Road and is within the City of Edinburg ETJ.

**Zoning:** Not applicable.

**Analysis** The Preliminary Plat proposes a single-family residential development with a total of forty one (41) lots averaging approximately 6,575 sq. ft. with set backs based on Urban Residential (UR) being, Front; 20 ft, Side; 6 ft, Rear; 20 ft. This subdivision is also requesting a variance to the 800 ft. Block Length requirement.

**Utilities:** Water Distribution System is within North Alamo Water Supply Corporation, service CCN and Sanitary Sewer System is within City of Edinburg Sanitary Sewer Collection , service CCN. All utility improvements within the proposed subdivision that are not limited to water, sewer, curb and gutter, fire hydrants, will be installed by the developer in accordance with the approved 2014 Standards Manual.

---

Recommendations:

**City of Edinburg Planning & Zoning Department:**

Staff recommends approval of the Preliminary Plat, subject to the compliance with the Unified Development Code, General Notes; on FEMA flood zone, zoning, setbacks, finish floor elevation, benchmark, drainage detention, parkland fees, limited access, SWP3 requirements, sidewalks, and other notes as required based on development.

**City of Edinburg Engineering / Utilites Department:**

Preliminary Phase Submittal comments for this subvission are included in the packet. As per Engineering, the plat shall be Preliminarily Approved until all comments have been adressed by the project engineer.





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**City of Edinburg Fire Department:**

The following are the preliminary phase submittal comments as noted by the Fire Department:

1. Provide street names to the City of Edinburg Engineering Department for approval.
2. Fire lane 15 ft. in width shall be painted in front of all fire hydrants.
3. Provide double face blue fire hydrant street marker on center on the street in front of the fire hydrant.
4. Fire hydrant shall be every 600 ft. for one and two family dwellings as per Section 507.5.1 of 2012 IFC.
5. All streets should be 32 ft. B-B paving section according to Table 8.204 of the Edinburg Unified Development Code.

**City of Edinburg Storm Water:**

The following are the preliminary phase submittal comments as noted by Storm Water:

1. **SW3P** (Stormwater Pollution Prevention Plan)
2. **NOI** (Notice of Intent, Per TCEQ)
3. **Large Construction Notice** (Per TCEQ Inventory)
4. **Detailed Erosion Control Plan** (Silt Fence, Construction Entrance, Inlet Protection, Concrete Washout)
5. **Detailed Post Construction BMP's Plan** (70% Vegetation or Silt Fence back of curb)
6. **Plat Note** (All construction shall comply with Stormwater Pollution Prevention Plan (SW3P) requirements. Erosion and Sedimentation Controls constructed in accordance with the Stormwater Ordinance 98.30 of the City of Edinburg are required for all construction on each lot including single family and duplex/multi-family construction)
7. **NOT** (Notice of Termination, Per TCEQ) will now be required before the final walk through.
8. **Comments:**
  - SW3P Plat note has been revised. Please see the note for your reference.
  - NOT will need to be submitted before the final walk through.
  - Stormwater is now requiring a Post Construction Plan on plans that are submitted, either 70% vegetation or Install Silt Fence behind the back of curb.
  - Silt Fence around the entire project.
  - Large Construction Notice needs to be submitted with contractors contact information.
  - All items must be submitted before the NTP is issued.
  - Please email pending items to [rvalenzuela@cityofedinburg.com](mailto:rvalenzuela@cityofedinburg.com)

**City of Edinburg Solid Waste:**

Single Family Residential Development within the City of Edinburg - ETJ.



## ENGINEERING DEPARTMENT

### Preliminary Staff Review

October 28, 2021

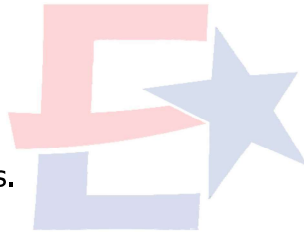
**Rene Olivarez, P.E.**

RO Engineering, PLLC  
2705 E Davis Rd. Suite A  
Edinburg, TX 78540

### **RE: CITRUS GARDENS SUBDIVISION – PRELIMINARY REVIEW**

Mr. Olivarez,

Attached are the Preliminary Phase Submittal comments for Citrus Gardens Subdivision. Comments shall be addressed prior to preliminary approval



Any questions feel free to contact us.

Thanks,

Digitally signed by Peter  
Hermida  
Date: 2021.10.28  
15:53:52 -05'00'

Peter Hermida E.I.T.

Email: [phermida@cityofedinburg.com](mailto:phermida@cityofedinburg.com)

415 W. University Drive  
Edinburg, Texas 78539

Cc: Mardoqueo Hinojosa, P.E., CFM, City Engineer, Patrizia Longoria, Engineer III, Roberto Hernandez, Engineer I, Abel Beltran, Planner I, Vince Romero, Director of Public Works, Robert Valenzuela, Storm Water Specialist, Kimberly Mendoza, Director of Planning and Zoning, Rita Lee Guerrero, Planner I, Jaime Xavier Ayala, Planner II, Gerardo Carmona P.E., Director of Utilities, Jose Flores, Systems Superintendent, Omar Garza, Fire Marshal, Ramiro Gomez, Director of Solid Waste

#### REFERENCES:

City of Edinburg – 2014 Standard Manual – Construction and Development Requirements; Unified Development Code; and if required a TX-Dot Permitting UIR permitting process.



**CITRUS GARDENS SUBDIVISION  
EDINBURG, TEXAS**

SCALE 1:80

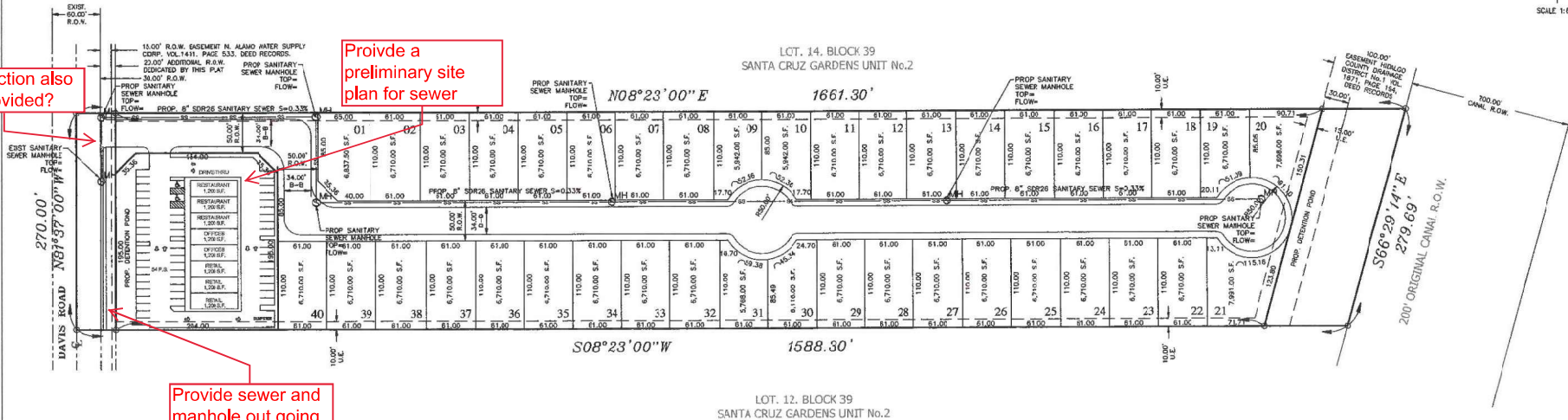
**RO ENGINEERING, PLLC**  
ENGINEERING & CONSTRUCTION MANAGEMENT  
2705 E. DAVIS RD., Suite A  
EDINBURG, TEXAS 78149  
TEL: 281-731-1211  
FAX: 281-731-1212



PROJECT NAME  
**CITRUS GARDENS SUBDIVISION**  
PROJECT LOCATION  
**2705 E. DAVIS RD.  
EDINBURG TX 78149**  
CLIENT INFORMATION

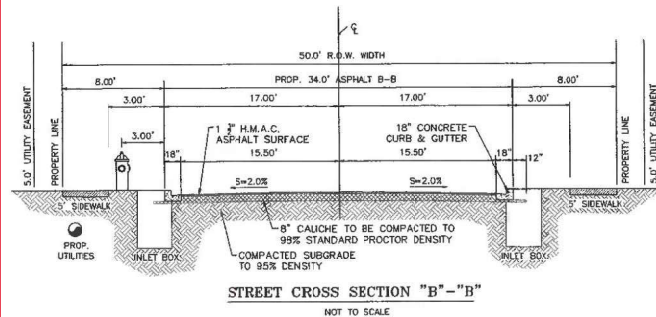
DESCRIPTION  
DATE  
NO.  
PROJECT NO: 2011  
DRAWN BY: L.J.H.  
CHECKED BY: R.D.  
REVISION: 1  
SHEET TITLE:  
**C-3**

SHEET  
**Sanitary  
Sewer Plan**



**General Utility(Sewer, Storm) Comments:**

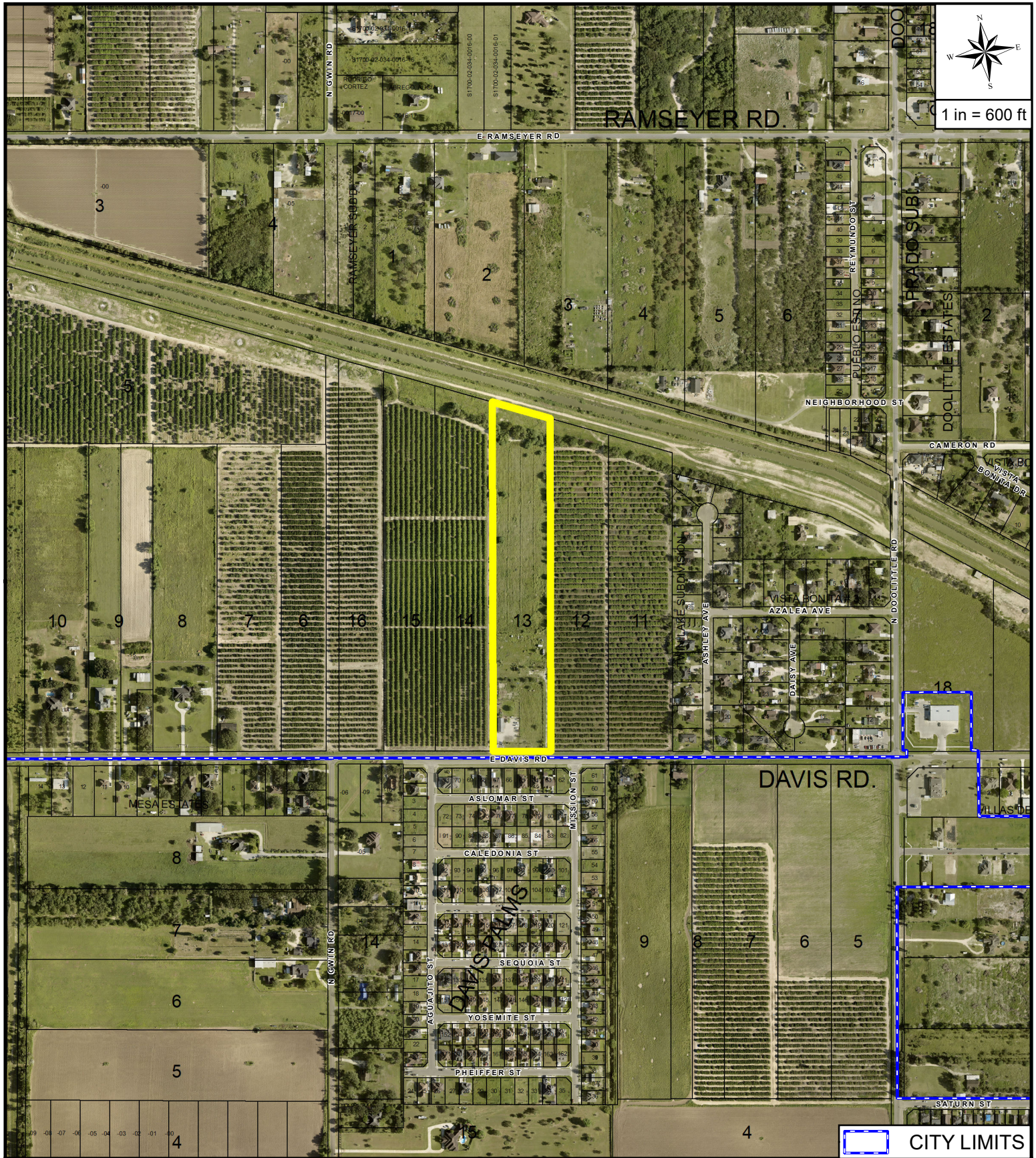
1. All materials shall be domestic.
2. All utilities shall have a typical minimum cover of 3LF
3. Hydrant Max Spacing shall be 600 LF
4. Provide Stationing on Utilities.
5. Provide Lengths, Dimensions, alignments and spacing for all Utilities.
6. Maximum Storm Inlet/Manhole Spacing shall be 600 LF, 300 LF Crest to Sag.
7. Once drainage Plan and Profiles and Drainage areas are provided, Hydraulic Review shall proceed on Proposed Drainage System.(may change size of storm lines)
8. Waterline shall be tested to a lessened degree but all crossings shall be tested
9. Rubber Gasketed RCP shall only be accepted.
10. All prop. casings on the SS lines are to meet the following criteria:
  - a) All casings are to be green DR-25 PVC, Green.
  - b) All casings are to be 20 LF and centered at the SS and water crossings. If one end of the pipe falls underneath the prop. pavement, then the casing is to extend 2' past the back of curb,
11. Do not connect SS services into proposed SS manholes.
12. Provide Plan and Profiles
13. Show all SS standard Details.
14. All Sanitary Sewer lines shall be green.
15. Sanitary Sewer Manhole spacing shall not exceed 400 LF.
16. If Sanitary Sewerline falls under a RCP Storm line, Sanitary Sewer Line shall be encased in steel, 10LF.
17. Any Trench Excavation Deeper than 5LF shall Require "Support, Shoring or Shielding" system approved by OSHA
18. Lot 1 must be tied in to Subdivision Drainage system. Indicate existing system on that lot if any.



- FOUND 1/2" IRON ROD
- SET 1/2" IRON ROD WITH YELLOW CAP MARKED "SEA 3752"
- RIGHT OF WAY
- PROPERTY LINE TO BACK OF CURB
- B-B BACK OF CURB TO BACK OF CURB
- P.O.C. POINT OF COMMENCEMENT
- P.O.B. POINT OF BEGINNING
- WATER VALVE
- SINGLE POLE SIGN (TYPE ON PLAN)
- SANITARY SEWER MANHOLE
- STORM DRAIN MANHOLE
- FIRE HYDRANT

PRELIMINARY, FOR CITY REVIEW ONLY





### AERIAL MAP

**APPLICANT/SUBDIVISION:** RENE OLIVAREZ

### CASE CAPTION:

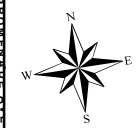
Consider the Preliminary Plat of CITRUS GARDENS Subdivision, being a 10.07 acre tract out of lot 13, Block 39 of the Santa Cruz Gardens Unit No. 2 subdivision, as per map or plat thereof recorded in Volume 8, page 28, Map Records of Hidalgo County, Texas. Located at 2705 E. Davis Road, as requested by RO Engineering, PLLC.

### LEGEND

CITY LIMITS

APPLICANT SITE





1 in = 600 ft

N GWIN RD

E RAMSEYER RD

REYMUNDO ST

NEIGHBORHOOD ST

CAMERON RD

VISTA BONITA DR

N DOOLITTLE RD

AZALEA AVE

ASHLEY AVE

DAISY AVE

E DAVIS RD

ASLOMAR ST

CALEDONIA ST

TASSAJARA ST

SEQUOIA ST

YOSEMITE ST

PHEIFFER ST

AGUAJITO ST

MISSION ST

N GWIN RD

SATURN ST

CITY LIMITS

LEGEND

SUBDIVISION SITE



SITE MAP	
APPLICANT/SUBDIVISION:	RENE OLIVAREZ
CASE CAPTION:	Consider the Preliminary Plat of CITRUS GARDENS Subdivision, being a 10.07 acre tract out of lot 13, Block 39 of the Santa Cruz Gardens Unit No. 2 subdivision, as per map or plat thereof recorded in Volume 8, page 28, Map Records of Hidalgo County, Texas. Located at 2705 E. Davis Road, as requested by RO Engineering, PLLC.



Case #

Edinburg  
THE CITY OFPlanning & Zoning Department  
415 W. University Drive  
Edinburg, Texas 78539

(956) 388-8202

# Subdivision Application

Date: **October 4, 2021**Request Type: **Preliminary Plat****Preliminary Plat**1. Developer: **Rene Olivarez**2. Owner/Contact Name: **Rene Olivarez**3. Owner/Contact Phone: **(956) 292-3336**4. Owner/Contact Email: **r.olivarez@ro-engineering.com**5. Owner Address: **2705 E Davis Rd. Edinburg, Texas, 78542**6. Exact Name of Subdivision: **CITRUS GARDENS SUBDIVISION**

7. Property ID: \_\_\_\_\_

8. Current Zoning: \_\_\_\_\_ Required Zoning: \_\_\_\_\_

10. Legal Description: \_\_\_\_\_

**Lot Thirteen (13), Block Thirty-nine (39), SANTA CRUZ GARDENS UNIT NO.2, Hidalgo County, Texas**11. Inside City Limits? **No** If "No," is in the \_\_\_\_\_ Comprehensive Development Area ☒ Rural Development Area12. Primary Consulting Firm: **RO-Engineering** 13. Phone: **(956) 292-3336**14. Consulting Firm Address: **2705 E Davis Rd. Edinburg Tx, 78542**15. Consulting Firm Email(s): **r.olivarez@ro-engineering.com, a.vargas@ro-engineering.com**16. Desired Land Use Option: **Single Family**17. Number of Lots: Single Family **40** Multi-Family \_\_\_\_\_ Commercial **1** Industrial \_\_\_\_\_18. Proposed Wastewater Treatment: ☒ Sanitary Sewer \_\_\_\_\_ OSSF (On-Site Sewage Facility)19. Electric Power and Light Company to Serve the Proposed Subdivision: **AEP (Central Power & Light)**20. Irrigation District: **Santa Cruz No. 15** Potable-water Retailer: **North Alamo Water Supply Corp.**

Owner of record, holding title to real estate within the proposed subdivision. Ownership instrument (i.e. Title Policy, Warranty Deed and Deed of Trust) shall be submitted with application. All such owners are listed immediately below.

Owner Name(s) (Print or Type) <b>Rene Olivarez</b>	Owner Mailing Address & Zip Code <b>2705 E Davis rd. Edinburg, 78542</b>
Owner Phone Number <b>(956) 292-3336</b>	Owner Email <b>r.olivarez@ro-engineering.com</b>

Have any of said owners designated agents to submit and revise this plat application on their behalf?

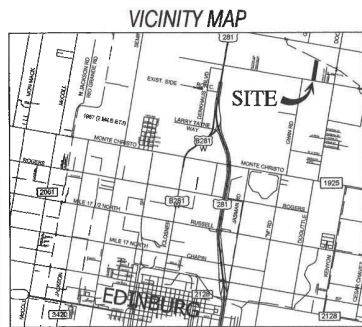
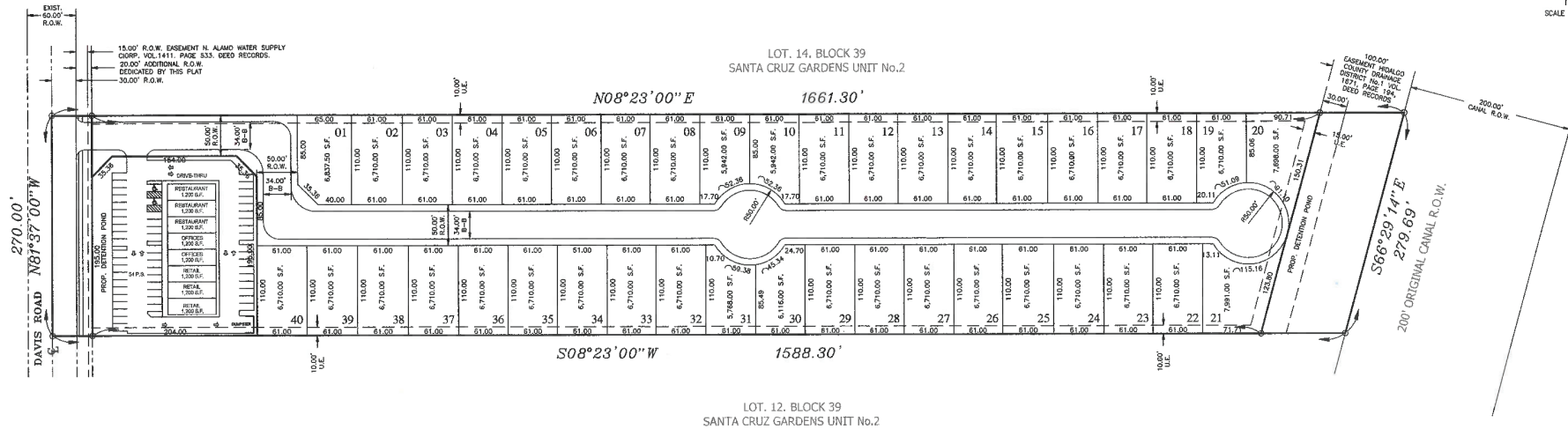
\_\_\_\_ Yes ☒ No (If "Yes" attached duly notarized documentation to that effect, signed by each such owner.)

The undersigned owner(s) of record (or their authorized agents) hereby agree to make all improvements and meet all requirements and standards as specified in the City of Edinburg Unified Development Code and Ordinances. The undersigned hereby request that the Edinburg Planning & Zoning Commission and the City Commission approve the attached subdivision plat. I certify that all items contained in this application and attachments (including all construction plans) are true and correct to the best of my knowledge and not in conflict with any deed restrictions or restrictive covenants. Furthermore, I understand that any omission or incorrect information may result in approval or permit being denied or revoked. Developer's requirement sheet must be completed, signed, and submitted with the application form.

Signature

Digitally signed by Rene Olivarez  
Date: 2021.10.04 12:04:06 -05'00'Date **October 4, 2021**

**CITRUS GARDENS SUBDIVISION**  
**EDINBURG, TEXAS**



PROJECT LOCATION  
2705 E. DAVIS RD.  
EDINBURG TX 78540

PRELIMINARY, FOR CITY REVIEW ONLY

**RO ENGINEERING, PLLC**  
ENGINEERING & CONSTRUCTION MANAGEMENT  
2705 E. Davis Rd., Suite A  
Edinburg, Texas 78540  
TB&E Firm Registration No.  
12179

PROJECT NAME	CITRUS GARDENS SUBDIVISION
PROJECT LOCATION	2705 E. DAVIS RD. EDINBURG TX 78540
CLIENT INFORMATION:	

[illegible]

## Site Plan



**SUBDIVISION WITHIN CITY LIMITS CHECK LIST  
SUBDIVISION PROCESS**
**PRELIMINARY STAGE**

PLANNING &amp; ZONING DEPARTMENT (956) 388-8202

 Date : **November 5, 2021**

 Date: November 3, 2021  
Filed: **October 4, 2021**

 P&Z Preliminary: **November 9, 2021**

P&amp;Z Final:

City Council:

 Reviewed By: **Abel Beltran, Subd. Coord.**  
[abeltran@cityofedinburg.com](mailto:abeltran@cityofedinburg.com)

 Staff Review : **October 21, 2021**  
Staff / Engineer : **October 28, 2021**

 Time Line : **365** Days  
1st Extension : **0** Days  
2nd Extension : **0** Days

 Expires :  
Expires 1:  
Expires 2:

 Planning & Zoning Department:  
Utility Department  
Director of Public Works  
Director of Engineering

 Kimberly A. Mendoza, MPA  
Gerardo Carmona, P.E.  
Vincent Romero  
Mardoqueo Hinojosa, P.E., CPM

 Email : [kmendoza@cityofedinburg.com](mailto:kmendoza@cityofedinburg.com)  
Email : [gcarmona@cityofedinburg.com](mailto:gcarmona@cityofedinburg.com)  
Email : [layala@cityofedinburg.com](mailto:layala@cityofedinburg.com)  
Email : [mhinojosa@cityofedinburg.com](mailto:mhinojosa@cityofedinburg.com)

 City Office #: (956) 388-8202  
City Office #: (956) 388-8212  
City Office #: (956) 388-8210  
City Office #: (956) 388-8211

Owner:	Rene R. & Norma C. Olivrez			3620 Ida Street, Edinburg, TX 78539		Rene R. Olivarez, P.E. Project Engineer	
CITRUS GARDENS SUBDIVISION				Consultant : RO ENGINEERING, PLLC.			
DESCRIPTION			Provided	Need to Provide	Not Applicable	Need to Revise	COMMENTS

**Subdivision Process:**

Subdivision Plat Submittal	✓				
Warranty Deed	✓				
Topography Survey	✓				
Drainage Report Submittal (As Per City Drainage Policy)	✓				Approved by H.C.D.D.#1 Date: Pending Approval
Zoning : City Limits - Commercial General	✓				
Flood Zone	✓				Zone "X" (Un-Shaded)

**Preliminary Submittals:**

Existing & Proposed Water Distribution Layout	✓				North Alamo Water Supply Corporation - Distribution System
Water Distribution System Provider:	✓				North Alamo Water Supply Corporation - Distribution System
Existing & Proposed Sewer Collection Layout	✓				City of Edinburg Sanitary Sewer Collection System
Sanitary Sewer Collection System Provider:	✓				City of Edinburg Sanitary Sewer Collection System
Existing and Proposed Drainage Layout System:	✓				Private Drainage System onto H.C.D.D. # 1
MPO Collector / Arterial Right-of-way Dedication	✓				Proposed Private Streets
Minor / Major Collector Street Pavement Section	✓				In Accordance to Standard Street Policy
Variances Appeals Request: (Date)	✓				Planning & Zoning Meeting Results City Council Meeting
Street Widening Improvements (50-ft. ROW, 20-ft. EP-BC)		✓			
Street 5-ft Sidewalk Improvements		✓			
Drainage Improvements	✓				

**Construction Plans Review Submittals:**

(See Section 4 Construction Plans Submittals Policy, 2014 STANDARD POLICY MANUAL)

Cover Sheet		✓			
Topography Sheet (Utilities, Bench Marks)		✓			
Sanitary Sewer Improvements: On-Site & Off-Site		✓			City of Edinburg Sanitary Sewer Standard Policy's
Sanitary Sewer Detail Sheets		✓			See Section 3 Utility Policy, 2014 Standard Policy Manual
Water Distribution Improvements: On-Site & Off-Site		✓			North Alamo Water Supply Standard Policy's
Water Distribution Detail Sheet (Fire Hydrant Assembly)		✓			See Section 3 Utility Policy, 2014 Standard Policy Manual
Drainage Improvements:		✓			
Drainage Detail Sheets		✓			See Section 1 Drainage Policy, 2014 Standard Policy Manual
Minor/Major Collector Streets Improvements:		✓			See Section 2 Streets Policy, 2014 Standard Policy Manual
Street Sign Sheet:		✓			
Street Detail Sheets		✓			See Section 2 Streets Policy, 2014 Standard Policy Manual
Street Lighting Sheet:		✓			
Traffic Control Plan:		✓			
Erosion Control Plan		✓			
Erosion Control Plan Detail Sheet		✓			See Storm Water Management, 2014 Standard Policy Manual

DESCRIPTION	Provided	Need to Provide	Not Applicable	Need to Revise	COMMENTS
-------------	----------	-----------------	----------------	----------------	----------

**Pre-Construction Meeting:**

Notice To Proceed		✓			Dated: Issued By Engineering Dept.
Roadway Open-Cut or Bore Permit Application		✓			Dated:
TX-Dot Water UIR Permit			✓		County Road
TX-Dot Sewer UIR Permit			✓		County Road
N.O.I. Submittal		✓			Dated:
SWPP Booklet Submittal		✓			Dated:
RFI #1 Request		✓			Dated:
Change Orders		✓			Dated:
Final Walk Though		✓			Dated:
Punch List		✓			Dated:
Punch List (Completed and Approved)		✓			Dated:
Letter of Acceptance		✓			Dated:
1-year Warranty (Water/Sewer/Paving/Drainage)		✓			Dated:
Backfill Testing Results		✓			Dated:
As-Builts (Revised Original Submittal)		✓			Dated:

**Recording Process:**

Public Improvements with (Letter of Credit)		✓			Dated: Expires:
Recording Fees	\$ 106.00	✓			As required by County Clerks office
Copy of H.C.D.D. #1 of invoice	\$ 250.00	✓			Required to be paid prior to Final Stages
Street Light Escrow	\$ -	✓			Required: 0 EA. @ \$ -
Street Escrow Estimate (Davis Road)	\$ 19,338.75	✓			Required: 270 EA. @ \$ 71.63
Sidewalk Escrow Estimate: (Davis Road)	\$ 4,950.00	✓			Required: 198 LF @ \$ 25.00
TOTAL OF ESCROWS:	\$ 24,288.75				
Total Developer's Construction Cost: (Letter of Credit)					Date : Lender :
Laboratory Testing Fee: 3%	\$ 728.66	✓			\$ 24,288.75 Estimated Construction Cost
Inspection Fee: 2%	\$ 485.78	✓			\$ 24,288.75 Final Construction Cost
Park Land Fees: Park Zone # 6	\$ 24,000.00		✓		40 Lots @ \$ 600.00 Full rate within the ETJ
0 Residential \$ -	\$ -	✓			50% Development 50% Building Stage
0 Multi-Family \$ -	\$ -		✓		0% Development 0% Building Stage
Water Rights: NAWSC - CCN	\$ -		✓		9.120 Acres \$ -
Water 30-year Letter (Residential)	\$ 205.00	✓			41 Lots @ \$ 5.00 NAWSC WATER-CCN
Water 30-year Letter (Multi-Family)	\$ -		✓		0 Lots @ \$ -
Sewer 30-year Letter COE - CCN	\$ 3,690.00	✓			41 Lots @ \$ 90.00 COE SEWER-CCN
TOTAL OF FEES:	\$ 28,380.78				

**Reimbursements:**

Developer Sewer Improvements	\$ -		✓		Off-Site System: 0.000 AC \$ -
Developer Water Improvements	\$ -		✓		Off-Site System 0.00 AC \$ -
TOTAL OF REIMBURSEMENTS:	\$ -				

**Buyouts:**

North Alamo Water Supply Corporation	\$ -	✓			Required Buyout 0.00 AC. \$ -
Sharyland Water Supply Corporation			✓		Not Applicable

**Tax Certificates**

County of Hidalgo / School District		✓			
Water District		✓			Hidalgo County Irrigation District # 1

**Total of Escrows, Fees, Reimbursements and Buyouts:**

Escrows	\$ 24,288.75	Street & Sidewalk Improvements for Trenton Road (Not Required)
Inspections other Fees	\$ 28,380.78	Parkland Fees, Water/Sewer 30-year Agreement/Water Rights
Reimbursements	\$ -	Reimbursement to the Developer of <b>Subdivision</b>
City of Edinburg	\$ -	15% Payable to the City of Edinburg for Administrative Fee
To the Developer of Record	\$ -	85% Payable to the Developer of Record Owner / Developer
Buyouts	\$ -	Based on Subdivision (Need Request and Approval rate from ? Broad)
TOTAL :	\$ 52,669.53	Developer Total Cost of Fees, Escrows, Reimbursements & Buyouts

**STAFF REPORT: SILVERSTONE HEIGHTS SUBDIVISION**

November 18, 2021

Planning and Zoning Meeting:

December 14, 2021

Agenda Item: **6B**

Preliminary Plat

---

**Subject:** Consider the Preliminary Plat of **SILVERSTONE HEIGHTS SUBDIVISION**, being a 24.99 acre tract of land out of Lot 15, Section 248, Texas-Mexican Railway Company Survey, located at 2500 N. Doolittle Road, as requested by NAIN Engineering, LLC.

**Location:** The property is located on the north east corner of Doolittle Road and Russell Road (Mile 17 ½ North Road), approximately 2,650 ft. east of North “M” Road and within the City of Edinburg City Limits.

**Zoning:** Agricultural (AG) District

**Analysis:** The Preliminary Plat proposes a single-family residential development with a total of one hundred twenty-two (122) lots averaging approximately 5,700 sq. ft. with set backs based on Neighborhood Conservation 5 (NC5) District. The block length on the east side of the subdivision exceeds the UDC guidelines by approximately 520 ft. and 80 ft. on the west side.

**Utilities:** Water Distribution System is within the North Alamo Water Supply Corporation CCN. The sanitary sewer collection system service area is with the City of Edinburg CCN. All utility improvements within the proposed subdivision that are not limited to water, sewer, curb and gutter, fire hydrants, will be installed by the developer in accordance with the approved 2014 Standards Manual.

---

**Recommendations:**

**City of Edinburg Planning & Zoning Department:**

Staff recommends approval of the Preliminary Plat, subject to the compliance of the Unified Development Code. General Notes; on FEMA flood zone, zoned setbacks, finish floor elevation, benchmark, drainage detention, parkland fees, limited access, SWP3 requirements, sidewalks, and other notes as required based on the development.

**City of Edinburg Engineering / Utilities Department:**

Preliminary Phase Submittal comments for this subdivision are included in the packet. As per

---

Engineering, the plat shall be Preliminarily Approved until all comments have been addressed by the project engineer.

**City of Edinburg Fire Department:**

The following are the preliminary phase submittal comments as noted by the Fire Department:

1. Provide street names to the City of Edinburg Engineering Department for approval.
2. Fire lane 15 ft. in width shall be painted in front of all fire hydrants.
3. Provide double face blue fire hydrant street marker on center on the street in front of the fire hydrant.
4. Fire hydrant shall be every 600 ft. for one and two family dwellings as per Section 507.5.1 of 2012 IFC.
5. All streets should be 32 ft. B-B paving section according to Table 8.204 of the Edinburg Unified Development Code.

**City of Edinburg Storm Water:**

The following are the preliminary phase submittal comments as noted by Storm Water

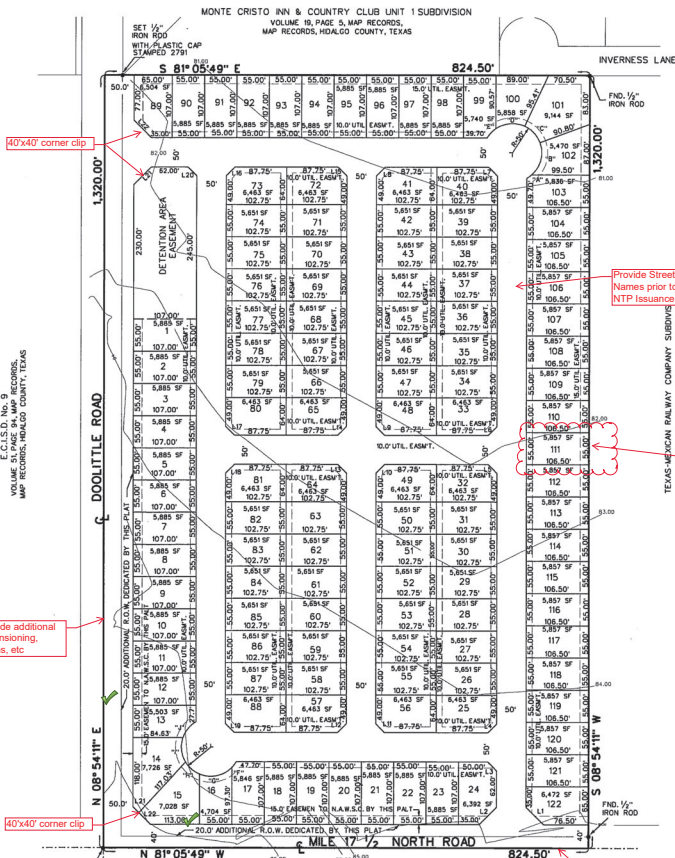
1. **SW3P** (Stormwater Pollution Prevention Plan)
2. **NOI** (Notice of Intent, Per TCEQ)
3. **Large Construction Notice** (Per TCEQ Inventory)
4. **Detailed Erosion Control Plan** (Silt Fence, Construction Entrance, Inlet Protection, Concrete Washout)
5. **Detailed Post Construction BMP's Plan** (70% Vegetation or Silt Fence back of curb)
6. **Plat Note** (All construction shall comply with Stormwater Pollution Prevention Plan (SW3P) requirements. Erosion and Sedimentation Controls constructed in accordance with the Stormwater Ordinance 98.30 of the City of Edinburg are required for all construction on each lot including single family and duplex/multi-family construction)
7. **NOT** (Notice of Termination, Per TCEQ) will now be required before the final walk through.
8. **Comments:**
  - SW3P Plat note has been revised. Please see the note for your reference.
  - NOT will need to be submitted before the final walk through.
  - Stormwater is now requiring a Post Construction Plan on plans that are submitted, either 70% vegetation or Install Silt Fence behind the back of curb.
  - Silt Fence around the entire project.
  - Large Construction Notice needs to be submitted with contractors contact information.
  - All items must be submitted before the NTP is issued.
  - Please email pending items to [rvalenzuela@cityofedinburg.com](mailto:rvalenzuela@cityofedinburg.com)





**City of Edinburg Solid Waste:**

Single Family Residential Development is within City of Edinburg City Limits.



E.C.S.D. No. 9  
VOLUME 19, PAGE 34, MAP RECORDS,  
HIDALGO COUNTY, TEXAS

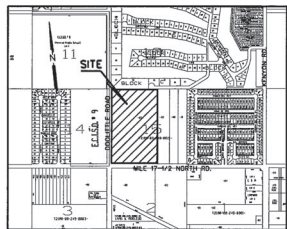
Provide additional  
dimensioning,  
widths, etc.

40'x40' corner clip

Missing Property adjoining information

Provide additional  
dimensioning,  
widths, etc.

Sidewalks shall be  
5' LF



CURVE	DELTA	RADIUS	LENGTH	CHORD
A	107.3750°	50.00'	50.00'	50.00'
B	89.4944°	50.00'	60.93'	57.23'
C	44.4785°	50.00'	30.32'	23.32'
D	58.5128°	50.00'	51.30'	43.13'
E	25.5638°	50.00'	22.62'	22.44'
F	13.5645°	50.00'	12.17'	12.14'
G	88.2396°	50.00'	56.87'	56.20'
H	35.7440°	50.00'	31.81'	31.38'
I	49.4503°	50.00'	43.41'	42.08'
J	41.0713°	50.00'	36.07'	35.26'

LENGTH	BEARING
L1	43.42' N 53°54'11" E
L2	43.42' S 53°54'11" W
L3	21.21' N 58°03'49" E
L4	21.21' S 53°54'11" W
L5	21.21' N 58°03'49" E
L6	21.21' S 53°54'11" W
L7	21.21' N 58°03'49" E
L8	21.21' S 53°54'11" W
L9	21.21' N 58°03'49" E
L10	21.21' S 53°54'11" W
L11	21.21' N 58°03'49" E
L12	21.21' S 53°54'11" W
L13	21.21' N 58°03'49" E
L14	21.21' S 53°54'11" W
L15	21.21' N 58°03'49" E

### General Comments:

1. Plat and Metes and Bounds Description shall include a POC, must also have Northing and Easting Coordinates
2. Provide trip generation Worksheet, attached
3. Utility Configurations appear acceptable, pending road configurations, then after provide construction plans after plat is preliminarily approved.
4. Once a drainage Plan and Profiles and Drainage areas are provided, Hydraulic Review shall proceed.
5. Provide SWSP, Signage and Striping, Lighting, Storm, Paving, & Sewer Plan and Profile for Construction Plans Review
6. Provide Details for Plans

## SILVERSTONE HEIGHTS

A TRACT OF LAND BEING THE 24.99 ACRES OF LOT 15, SECTION 24B, TEXAS-MEXICAN RAILWAY COMPANY SURVEY SUBDIVISION, MAP OR PLAT THEREOF RECORDED IN VOLUME 3, PAGE 6, HIDALGO COUNTY MAP RECORDS HIDALGO COUNTY, TEXAS, LOCATED AT THE NORTHEAST INTERSECTION OF DOOLITTLE ROAD AND MILE 17 1/2 NORTH ROAD, IS DESCRIBED BY METES AND BOUNDS AS FOLLOWS.

METES AND BOUNDS  
THE POINT OF COMMENCEMENT (P.O.C.) BEING AT A FOUND COTTON PICKER SPUR FOR THE SOUTHWEST CORNER OF S40 LOT 15, SECTION 24B AND S40 24.99 ACRE TRACT, AND BEING THE POINT OF BEGINNING (P.O.B.) OF S40 24.99 ACRE TRACT OF LAND HEREIN DESCRIBED.

THENCE N 08°54'11" E, WITH THE APPARENT WEST LINE OF S40 LOT 15, SECTION 24B, THE APPARENT CENTERLINE OF DOOLITTLE ROAD AND THE APPARENT WEST LOT LINE OF S40 24.99 ACRE TRACT, A DISTANCE OF 1320.00 FEET TO A POINT FOR THE APPARENT NORTHWEST CORNER OF S40 LOT 15, SECTION 24B AND S40 24.99 ACRE TRACT OF LAND HEREIN DESCRIBED.

THENCE S 81°05'49" E, WITH THE APPARENT NORTH LINE OF S40 LOT 15, SECTION 24B, AND WITH THE APPARENT ADJOINING SOUTH LINE OF MONTE CRISTO INN & COUNTRY CLUB UNIT 1 SUBDIVISION (VOLUME 19, PAGE 34, MAP RECORDS, HIDALGO COUNTY, TEXAS) AND THE NORTH LINE OF S40 24.99 ACRE TRACT, A DISTANCE OF 30.00 FEET PASSA No. 4 REBAR SET WITH PLASTIC CAP STAMPED 2791 ON THE APPARENT EAST RIGHT OF WAY LINE OF DOOLITTLE ROAD CONTINUING FOR A TOTAL DISTANCE OF 824.50 FEET TO A No. 4 REBAR FOUND FOR THE APPARENT NORTHEAST CORNER OF S40 24.99 ACRE TRACT OF LAND HEREIN DESCRIBED.

THENCE S 08°54'11" W, PARALLEL TO THE WEST LINE OF S40 LOT 15, SECTION 24B, AND WITH THE APPARENT EAST LOT LINE OF S40 24.99 ACRE TRACT, A DISTANCE OF 1320.00 FEET PASSA No. 4 REBAR FOUND ON THE APPARENT EAST RIGHT OF WAY LINE OF MILE 17 1/2 NORTH ROAD, CONTINUING FOR A TOTAL DISTANCE OF 1320.00 FEET TO A POINT ON THE APPARENT SOUTH LOT LINE OF S40 LOT 15, SECTION 24B, AND THE APPARENT EXISTING CENTERLINE OF S40 MILE 17 1/2 NORTH ROAD FOR THE APPARENT SOUTHEAST CORNER OF S40 24.99 ACRE TRACT OF LAND HEREIN DESCRIBED.

THENCE N 81°05'49" E, WITH THE APPARENT NORTH LINE OF S40 LOT 15, SECTION 24B, AND WITH THE APPARENT EAST LOT LINE OF S40 24.99 ACRE TRACT, A DISTANCE OF 824.50 FEET TO S40 FOUND COTTON PICKER SPUR FOR THE SOUTHWEST CORNER OF S40 LOT 15, SECTION 24B AND OF S40 24.99 ACRE TRACT OF LAND HEREIN DESCRIBED, AND ALSO BEING THE POINT OF BEGINNING (P.O.B.) CONTAINING A CROSS OF 24.99 ACRES OF LAND WHICH 0.45 OF AN ACRE LIES IN EXISTING EASEMENT AND 1.27 ACRES LIES IN EXISTING ROAD RIGHT OF WAY, LEAVING A NET OF 23.27 ACRES OF LAND MORE OR LESS.

### GENERAL NOTES:

1. MIN. BUILDING SETBACK LINES:  
FRONT 25.0'  
SIDE 10.0' OR EASEMENT WHICH EVER IS GREATER  
REAR 10.0' OR EASEMENT WHICH EVER IS GREATER
2. MINIMUM PERMISSIBLE FINISHED FLOOR ELEVATION FOR ALL BUILDING IMPROVEMENTS IS 18" ABOVE TOP OF CURB MEASURED AT THE FRONT CENTER OF THE LOT.
3. NO STRUCTURE SHALL BE PERMITTED OVER ANY EASEMENT.
4. BENCHMARK ELEVATION -87.16 C.P.S. AT THE INTERSECTION OF DOOLITTLE ROAD AND MILE 17 1/2 NORTH ROAD.
5. ALL LOT CORNERS MARKED WITH No. 4 REBAR UNLESS OTHERWISE NOTED.
6. FLOOD ZONE DESIGNATION: ZONE "X"  
FLOOD ZONE "X" AREAS BETWEEN LIMITS OF THE 100-YEAR FLOOD AND 500-YEAR FLOOD OR CERTAIN AREAS SUBJECT TO 100-YEAR FLOODING WITH AVERAGE DEPTHS LESS THAN ONE(1) FOOT OR WHERE THE CONTRIBUTING DRAINAGE AREA IS LESS THAN ONE SQUARE MILE AREA PROTECTED BY LEVEES FROM THE BASE FLOOD.  
CPA 482338.0000  
CPA 482338.0000  
REVISED TO REFLECT LOAD DATED SEP. 18, 2003  
CASE NUMBER 03-09-0339-482338
7. DRAINAGE DETENTION REQUIRED FOR THIS SUBDIVISION  
THIS PROPERTY IS 97.553 CF (2.25 AC-FT.)  
THE DEVELOPER SHALL BE RESPONSIBLE FOR DETAINING AND ACCOMMODATING MORE THAN THE DETAINED VOLUME SHOWN ON THIS PLAT IF IT IS DETERMINED AT THE PERMIT STAGE THAT THE DETENTION REQUIREMENTS ARE GREATER THAN STATED ON THIS PLAT. DETENTION REQUIREMENTS ARE BEING GREATER THAN THE PLAT ENGINEER CONSIDERED IN THE HYDRAULIC CALCULATIONS FOR THIS SUBDIVISION  
City of Edinburg Calculates 118,395 CF, revise
8. A 5.0' CONC. SIDEWALK IS REQUIRED ALONG EXTERIOR PERIMETER DURING CONSTRUCTION OF SUBDIVISION  
7.5' CONC. SIDEWALK IS REQUIRED ALONG ALL INTERIOR STREET PERIMETER UPON THE ISSUANCE OF BUILDING PERMIT  
NO ACCESS WILL BE ALLOWED FROM MILE 17 1/2 NORTH FOR LOTS 14-24 AND 123  
NO ACCESS WILL BE ALLOWED FROM DOOLITTLE ROAD FOR LOTS 1-14 AND 89  
DETENTION AREA TO BE MAINTAINED BY OWNER OF LOT 1

Designation is  
"Zone X Shaded",  
revise

City of Edinburg Calculates  
118,395 CF, revise

STATE OF TEXAS  
COUNTY OF HIDALGO

I, WE, THE UNDERSIGNED, OWNER(S) OF THE LAND ON THIS PLAT, AND DESIGNATED HEREIN AS SILVERSTONE HEIGHTS TO THE CITY OF EDINBURG, COUNTY OF HIDALGO, TEXAS AND WHOSE NAME IS SUBSCRIBED HERETO, HEREBY DEDICATE TO THE USE OF THE PUBLIC ALL STREETS, ALLEYS, PARKS, DRAIN, EASEMENTS, WATER COURSES, EASEMENTS, AND PUBLIC PLACES THEREON SHOWN FOR THE PURPOSE AND CONSIDERATION THEREIN EXPRESSED.

PHARR TEXAS 78577

OWNER CARLOS GAYTAN  
ADDRESS 5410 N. ATOL. ST.  
PHARR TEXAS 78577

STATE OF TEXAS  
COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED NOTARY PUBLIC, ON THIS DAY PERSONALLY APPEARED CARLOS GAYTAN PROVIDED TO BE THROUGH THEIR TEXAS DEPARTMENT OF PUBLIC SAFETY DRIVER LICENSE TO BE THE PERSON WHOSE NAME IS SUBSCRIBED TO THE FOREGOING INSTRUMENT, WHO BEING BY ME DULY SWORN, DECLARED THAT THEIR STATEMENTS THEREIN ARE TRUE AND CORRECT AND ACKNOWLEDGED THAT THEY EXECUTED THE SAME FOR THE PURPOSES AND CONSIDERATION THEREBY EXPRESSED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS \_\_\_\_ DAY OF \_\_\_\_, 2021

NOTARY PUBLIC, FOR THE STATE OF TEXAS

THIS PLAT IS HEREBY APPROVED BY THE HIDALGO COUNTY IRRIGATION DISTRICT No. 1

ON THIS \_\_\_\_ DAY OF \_\_\_\_, 20\_\_.

NO IMPROVEMENTS OF ANY KIND INCLUDING WITHOUT LIMITATION, TREES, FENCES, AND BUILDINGS, SHALL BE PLACED UPON HIDALGO COUNTY IRRIGATION DISTRICT NO. 1 RIGHTS-OF-WAYS OR EASEMENTS.

ATTEST: \_\_\_\_\_  
PRESIDENT SECRETARY

APPROVED BY DRAINAGE DISTRICT

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEXAS WATER CODES 48.21 (4). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROVED OR THAT THE DESIGNER HAS PROVIDED SUFFICIENTLY ACCEPTED ENGINEERING CRITERIA IT IS THE RESPONSIBILITY OF THE DEVELOPER AND HIS ENGINEER TO MAKE THEIR DETERMINATIONS.

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1

RAIL E. GERRIN, P.E., C.F.M.  
GENERAL MANAGER

STATE OF TEXAS  
COUNTY OF HIDALGO

I, \_\_\_\_\_, ADMINISTRATOR/DIRECTOR OF PLANNING AND ZONING DEPARTMENT OF THE CITY OF EDINBURG, TEXAS DO HEREBY CERTIFY THIS MINOR SUBDIVISION PLAT KNOWN AS SILVERSTONE HEIGHTS CONFORMS TO ALL SUBDIVISION REQUIREMENTS OF THIS CITY WHEN MY APPROVAL IS REQUIRED AND HAS BEEN APPROVED FOR RECORDING ON THIS \_\_\_\_ DAY OF \_\_\_\_, 20\_\_ WITH THE COUNTY CLERK OF HIDALGO COUNTY, TEXAS.

ADMINISTRATOR / PLANNING AND ZONING DEPARTMENT DIRECTOR

STATE OF TEXAS  
COUNTY OF HIDALGO

I, HONORO LUIS OUTERREZ, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECTLY MADE AND IS PREPARED FROM AN ACTUAL SURVEY ON THE PROPERTY MADE UNDER MY SUPERVISION ON THE GROUND AND THAT THE CORNER MONUMENTS WERE PROPERLY PLACED UNDER MY SUPERVISION.

HONORO LUIS OUTERREZ  
REGISTERED PROFESSIONAL LAND SURVEYOR No. 2791  
2600 SAN DIEGO  
MISSION, TEXAS 78472

STATE OF TEXAS  
COUNTY OF HIDALGO

I, THE UNDERSIGNED, A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN TO THIS PLAT.  
I CERTIFY THAT THE WATER AND SEWER SERVICE FACILITIES FOR THE LOTS INTENDED FOR RESIDENTIAL (COMMERCIAL) PURPOSES DESCRIBED ABOVE ARE IN COMPLIANCE WITH THE MODEL RULES ADOPTED UNDER SECTION 16.243, WATER CODE. THE ESTIMATED COST TO INSTALL UNCONSTRUCTED WATER AND SEWER FACILITIES DESCRIBED ABOVE ARE AS FOLLOWS: THESE FACILITIES WILL BE CONSTRUCTED.  
SEWER FACILITIES (SEWER SERVICE CONNECTION) ARE ESTIMATED TO COST \$ PER LOT (ALL INCLUSIVE) FOR A TOTAL COST OF \$ \_\_\_\_ FOR THE SUBDIVISION. THE SUBDIVIDER HAS PAID A TOTAL OF \$ \_\_\_\_ TO COVER THE COST OF SEWER SERVICE CONNECTION.

DATED THIS \_\_\_\_ DAY OF \_\_\_\_, 2021

GAILLO A. ARRIATA  
LICENSED PROFESSIONAL ENGINEER No. 94001  
526 N. 5TH ST.  
DONNA, TEXAS 78537



DATE OF PREPARATION: OCTOBER 3, 2021

### PRINCIPAL CONTACTS:

NAME ADDRESS CITY & ZIP PHONE  
OWNER CARLOS GAYTAN 5410 N. ATOL. ST. PHARR TEXAS 78577 (956) 483-0020  
ENGINEER GAILLO A. ARRIATA, P.E. 526 N. 5TH ST. DONNA, TX 78537 (956) 784-0218  
SURVEYOR HONORO L. OUTERREZ 2600 SAN DIEGO MISSION, TEXAS 78472 (956) 583-5479

**NAIN ENGINEERING, L.L.C.**  
CONSULTING ENGINEER  
526 N. 5TH STREET DONNA, TEXAS 78537 FIRM NO. F-9050 PH. (956) 784-0218  
E-MAIL: NAINENGINEERING@HIDALGO.COM

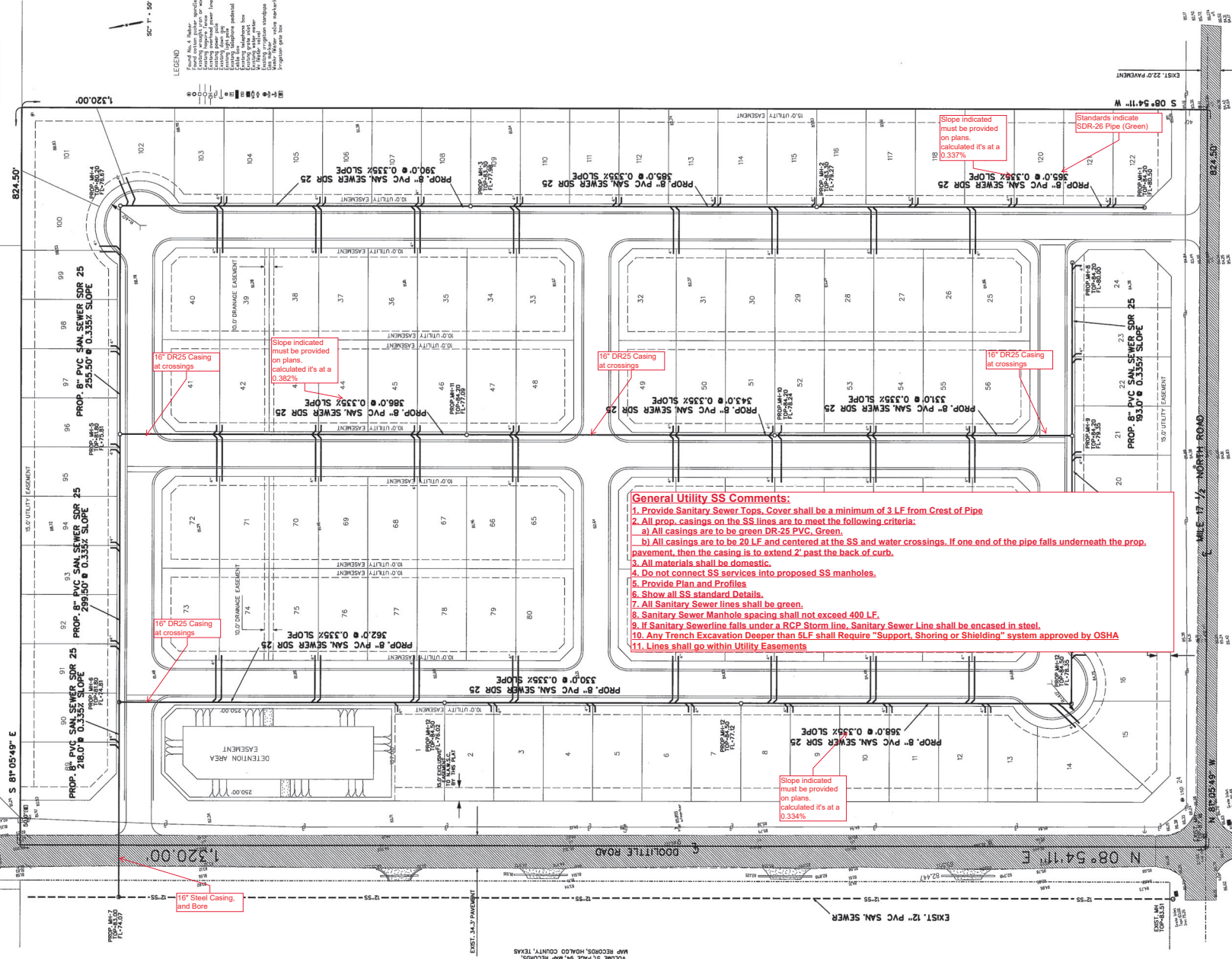




MONTE CRESTO INN & COUNTRY CLUB UNIT 1 SUBDIVISION

VOLUME 18, PAGE 5, MAP RECORDS,  
MAP RECORDS, HALL COUNTY, TEXAS

INNERNESS LANE



526 N. 5TH STREET  
DONNA, TEXAS 75857

**NAIN ENGINEERING, L.L.C.**  
CONSULTING ENGINEER  
P.E. NO. 7-1600

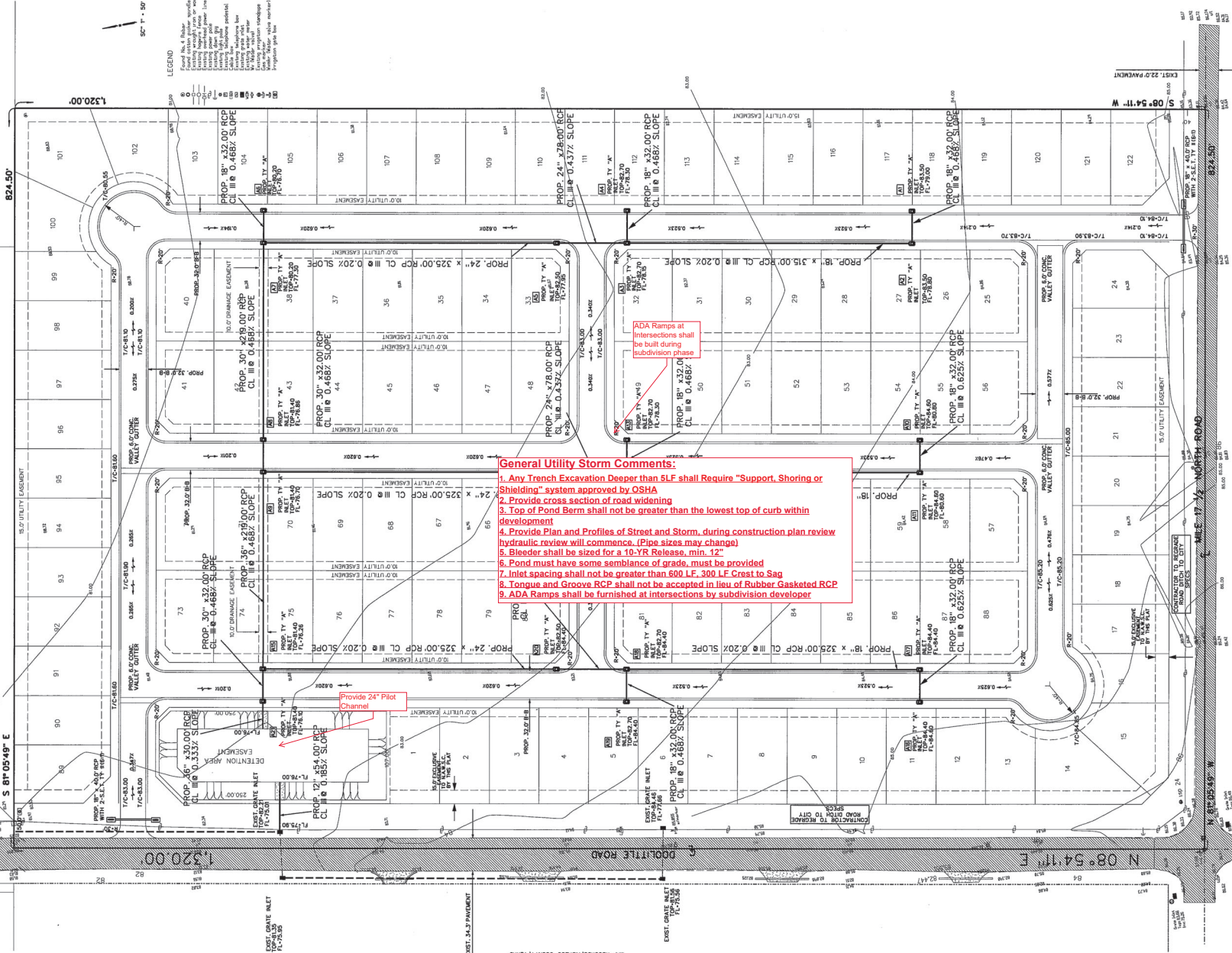
**Sanitary Sewer Layout**

**SANITARY SEWER LAYOUT**

**SILVERSTONE HEIGHTS**



INNERESS LANE

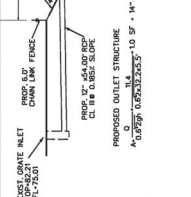
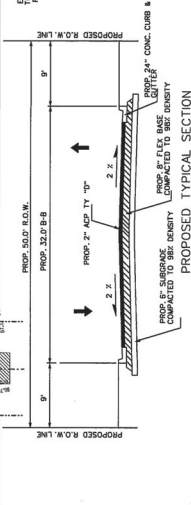


**General Utility Storm Comments:**

1. Any Trench Excavation Deeper than 5LF shall Require "Support, Shoring or Shielding" system approved by OSHA
2. Provide cross section of road widening
3. Top of Pond Berm shall not be greater than the lowest top of curb within development
4. Provide Plan and Profiles of Street and Storm, during construction plan review hydraulic review will commence. (Pipe sizes may change)
5. Bleeder shall be sized for a 10-YR Release, min. 12"
6. Pond must have some semblance of grade, must be provided
7. Inlet spacing shall not be greater than 600 LF, 300 LF Crest to Sag
8. Tongue and Groove RCP shall not be accepted in lieu of Rubber Gasketed RCP
9. ADA Ramps shall be furnished at intersections by subdivision developer

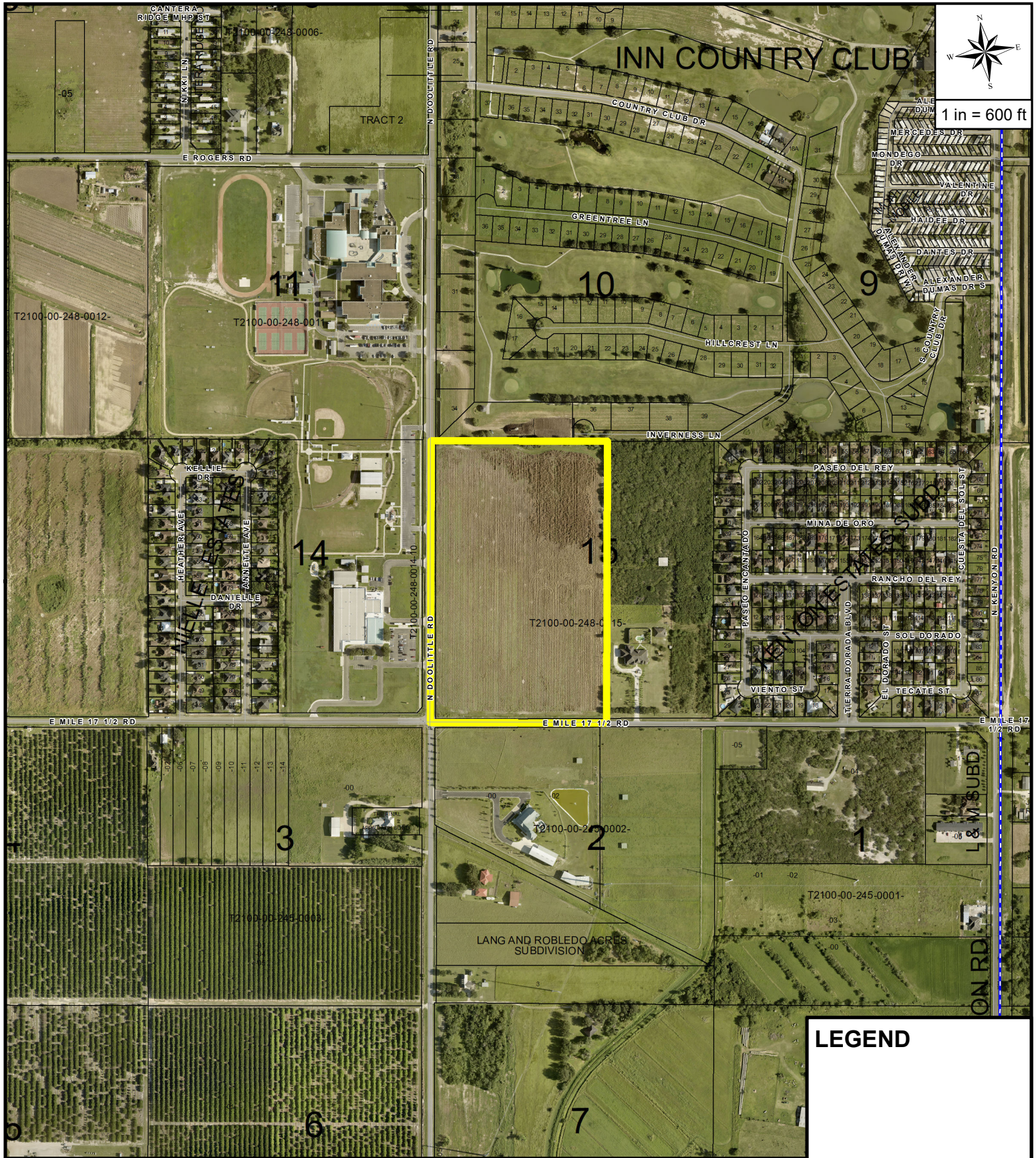
Provide 24" Pilot Channel

ADA Ramps at Intersections shall be built during subdivision phase



10/19/21





**AERIAL MAP**

**APPLICANT/SUBDIVISION:** NAIN ENGINEERING, LLC. / SILVERSTONE HEIGHTS

**CASE CAPTION:**

CONSIDER THE PRELIMINARY PLAT OF SILVERSTONE HEIGHTS SUBDIVISION, BEING A 24.99 ACRE TRACT OF LAND OUT OF LOT 15, SECTION 248, TEXAS-MEXICAN RAILWAY COMPANY'S SURVEY SUBDIVISION, LOCATED AT 3201 EAST MILE 17 1/2 ROAD, AS REQUESTED BY NAIN ENGINEERING, LLC.

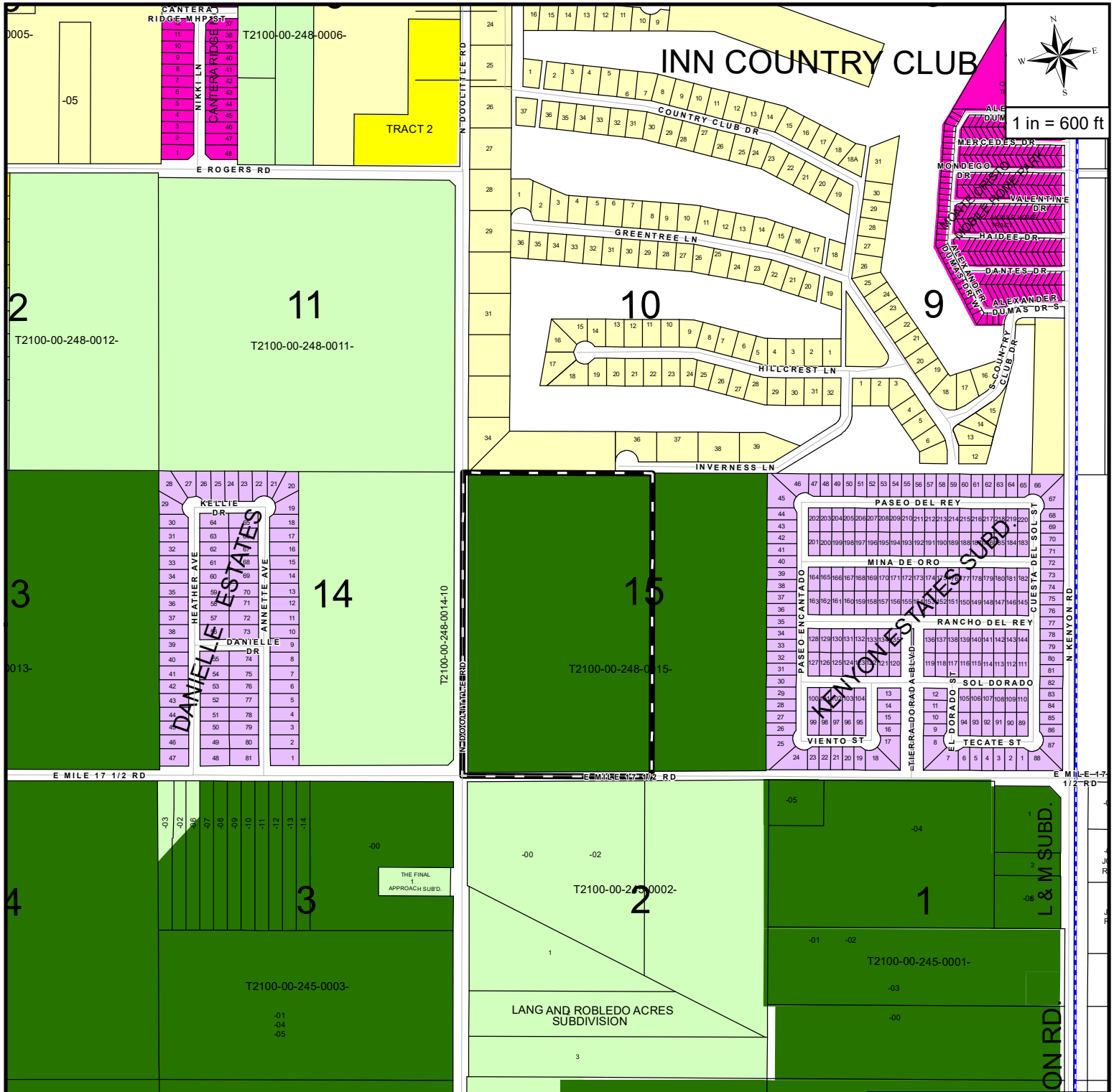
**LEGEND**

SUBDIVISION SITE

CITY LIMITS







## LEGEND

- SUBDIVISION SITE
- ZONING DISTRICTS**
- AGRICULTURE
- AUTO-URBAN RESIDENTIAL
- COMMERCIAL, GENERAL
- COMMERCIAL, NEIGHBORHOOD
- DOWNTOWN DISTRICT
- INDUSTRIAL
- NEIGHBORHOOD CONSERVATION 5
- NEIGHBORHOOD CONSERVATION 7.1
- NEIGHBORHOOD CONSERVATION MH
- SUBURBAN RESIDENTIAL
- URBAN RESIDENTIAL
- URBAN UNIVERSITY
- CITY LIMITS

## ZONING MAP

**APPLICANT/SUBDIVISION:** NAIN ENGINEERING, LLC. / SILVERSTONE HEIGHTS

## CASE CAPTION:

CONSIDER THE PRELIMINARY PLAT OF SILVERSTONE HEIGHTS SUBDIVISION, BEING A 24.99 ACRE TRACT OF LAND OUT OF LOT 15, SECTION 248, TEXAS-MEXICAN RAILWAY COMPANY'S SURVEY SUBDIVISION, LOCATED AT 3201 EAST MILE 17 1/2 ROAD, AS REQUESTED BY NAIN ENGINEERING, LLC.







Case #

Edinburg

Planning & Zoning Department  
415 W. University Drive  
Edinburg, Texas 78539

(956) 388-8202

## Subdivision Application

Date: \_\_\_\_\_ Request Type: \_\_\_\_\_

1. Developer: Carlos Gaytan 2. Owner/Contact Name: Carlos Gaytan  
3. Owner/Contact Phone: 956-403-0020 4. Owner/Contact Email: info@silverbackdistro.com  
5. Owner Address: 5410 N. ATHEL ST PHARM TEXAS 78577  
6. Exact Name of Subdivision: SILVERSTONE HEIGHTS 7. Property ID: \_\_\_\_\_  
8. Current Zoning: R1 Required Zoning: N/A  
10. Legal Description: A 24.99 ACRE TRACT OF LAND OUT OF LOT 15, SECTION 248, TEXAS-MEXICAN RAILWAY COMPANY SURVEY SUBDIVISION, VOLUME 3, PAGE 6, MAP RECORDS, HIDALGO COUNTY, TEXAS.  
11. Inside City Limits? ☒ If "No," is in the \_\_\_\_\_ Comprehensive Development Area \_\_\_\_\_ Rural Development Area  
12. Primary Consulting Firm: NAI ENGINEERING 13. Phone: 956-784-0218  
14. Consulting Firm Address: 526 N. 5th St. Donna Tx 78537  
15. Consulting Firm Email(s): naengineering@yahoo.com  
16. Desired Land Use Option: \_\_\_\_\_  
17. Number of Lots: Single Family 122 Multi-Family \_\_\_\_\_ Commercial \_\_\_\_\_ Industrial \_\_\_\_\_  
18. Proposed Wastewater Treatment: ☒ Sanitary Sewer \_\_\_\_\_ OSSF (On-Site Sewage Facility)  
19. Electric Power and Light Company to Serve the Proposed Subdivision: AEP  
20. Irrigation District: No. 1 Potable-water Retailer: City of Edinburg

Owner of record, holding title to real estate within the proposed subdivision. Ownership instrument (i.e. Title Policy, Warranty Deed and Deed of Trust) shall be submitted with application. All such owners are listed immediately below.

Owner Name(s) (Print or Type) <u>Carlos Gaytan</u>	Owner Mailing Address & Zip Code <u>5410 N. Athel St. Pharm Tx 78577</u>
Owner Phone Number <u>956-403-0020</u>	Owner Email <u>info@silverbackdistro.com</u>

Have any of said owners designated agents to submit and revise this plat application on their behalf?

☐ Yes ☐ No (If "Yes" attached duly notarized documentation to that effect, signed by each such owner.)

The undersigned owner(s) of record (or their authorized agents) hereby agree to make all improvements and meet all requirements and standards as specified in the City of Edinburg Unified Development Code and Ordinances. The undersigned hereby request that the Edinburg Planning & Zoning Commission and the City Commission approve the attached subdivision plat. I certify that all items contained in this application and attachments (including all construction plans) are true and correct to the best of my knowledge and not in conflict with any deed restrictions or restrictive covenants. Furthermore, I understand that any omission or incorrect information may result in approval or permit being denied or revoked. Developer's requirement sheet must be completed, signed, and submitted with the application form.

Signature

Date

Name: Bd

8:40

OCT 19 2021



# SILVERSTONE HEIGHTS

MONTE CRISTO INN & COUNTRY CLUB UNIT 1 SUBDIVISION  
VOLUME 19, PAGE 5, MAP RECORDS,  
MAP RECORDS, HIDALGO COUNTY, TEXAS

E.C.I.S.D. No. 9  
VOLUME 51, PAGE 94, MAP RECORDS,  
MAP RECORDS, HIDALGO COUNTY, TEXAS



TEXAS-MEXICAN RAILWAY COMPANY SUBDIVISION  
(VOLUME 3, PAGE 6, H.C.M.R.)  
LOT 15  
SECTION 248

P.O.B.  
S.W. COR.  
LOT 15  
SEC. 248  
FND. C.P.S.

**SUBDIVISION WITHIN CITY LIMITS CHECK LIST**
**PRELIMINARY STAGE**

PLANNING &amp; ZONING DEPARTMENT (956) 388-8202

**SUBDIVISION PROCESS**

 Date : **December 7, 2021**

Date Filed: <b>October 19, 2021</b>	P&Z Preliminary: <b>December 14, 2021</b>	P&Z Final: _____	City Council: _____
Reviewed By: <b>Abel Beltran, Subd. Coord.</b> <a href="mailto:abeltran@cityofedinburg.com">abeltran@cityofedinburg.com</a>	Staff Review : <b>November 18, 2021</b> Staff / Engineer : <b>November 25, 2021</b>	Time Line : <b>365</b> Days 1st Extension : <b>0</b> Days 2nd Extension : <b>0</b> Days	Expires : <b>October 19, 2022</b> Expires 1: _____ Expires 2: _____

Planning & Zoning Department:	Kimberly A. Mendoza, MPA	Email : <a href="mailto:kmendoza@cityofedinburg.com">kmendoza@cityofedinburg.com</a>	City Office #: (956) 388-8202
Utility Department	Gerardo Carmona, P.E.	Email : <a href="mailto:gcarmona@cityofedinburg.com">gcarmona@cityofedinburg.com</a>	City Office #: (956) 388-8212
Director of Public Works	Vincent Romero	Email : <a href="mailto:layala@cityofedinburg.com">layala@cityofedinburg.com</a>	City Office #: (956) 388-8210
Director of Engineering	Mardoqueo Hinojosa, P.E., CPM	Email : <a href="mailto:mhinojosa@cityofedinburg.com">mhinojosa@cityofedinburg.com</a>	City Office #: (956) 388-8211

Owner:	Carlos Gaytan, Owner	5410 N. Athol Street, Pharr, TX 78542	Guillermo Arratia, P.E., Project Engineer		
SILVERSTONE HEIGHTS SUBDIVISION		Consultant : NAIN Engineering, LLC.			
DESCRIPTION	Provided	Need to Provide	Not Applicable	Need to Revise	COMMENTS

**Subdivision Process:**

Subdivision Plat Submittal	✓				
Warranty Deed	✓				
Topography Survey	✓				
Drainage Report Submittal (As Per City Drainage Policy)	✓				Approved by H.C.D.D.#1 Date: Pending Approval
Zoning : City Limits - Commercial General	✓				
Flood Zone	✓				Zone "X" (Un-Shaded)

**Preliminary Submittals:**

Existing & Proposed Water Distribution Layout		✓			North Alamo Water Supply Corporation - Distribution System
Water Distribution System Provider:		✓			North Alamo Water Supply Corporation - Distribution System
Existing & Proposed Sewer Collection Layout	✓				City of Edinburg Sanitary Sewer Collection System
Sanitary Sewer Collection System Provider:	✓				City of Edinburg Sanitary Sewer Collection System
Existing and Proposed Drainage Layout System:	✓				Private Drainage System onto H.C.D.D. # 1
MPO Collector / Arterial Right-of-way Dedication	✓				Proposed Private Streets
Minor / Major Collector Street Pavement Section	✓				In Accordance to Standard Street Policy
Variances Appeals Request: (Date)		✓			Planning & Zoning Meeting Results City Council Meeting
Street Widening Improvements		✓			
Street 5-ft Sidewalk Improvements		✓			
Drainage Improvements		✓			

**Construction Plans Review Submittals: (See Section 4 Construction Plans Submittals Policy, 2014 STANDARD POLICY MANUAL)**

Cover Sheet		✓			
Topography Sheet (Utilities, Bench Marks)		✓			
Sanitary Sewer Improvements: On-Site & Off-Site		✓			City of Edinburg Sanitary Sewer Standard Policy's
Sanitary Sewer Detail Sheets		✓			See Section 3 Utility Policy, 2014 Standard Policy Manual
Water Distribution Improvements: On-Site & Off-Site		✓			North Alamo Water Supply Standard Policy's
Water Distribution Detail Sheet (Fire Hydrant Assembly)		✓			See Section 3 Utility Policy, 2014 Standard Policy Manual
Drainage Improvements:		✓			
Drainage Detail Sheets		✓			See Section 1 Drainage Policy, 2014 Standard Policy Manual
Minor/Major Collector Streets Improvements:		✓			See Section 2 Streets Policy, 2014 Standard Policy Manual
Street Sign Sheet:		✓			
Street Detail Sheets		✓			See Section 2 Streets Policy, 2014 Standard Policy Manual
Street Lighting Sheet:		✓			
Traffic Control Plan:		✓			
Erosion Control Plan		✓			
Erosion Control Plan Detail Sheet		✓			See Storm Water Management, 2014 Standard Policy Manual



DESCRIPTION	Provided	Need to Provide	Not Applicable	Need to Revise	COMMENTS
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**Pre-Construction Meeting:**

Notice To Proceed		✓			Dated:
Roadway Open-Cut or Bore Permit Application		✓			Dated:
TX-Dot Water UIR Permit			✓		
TX-Dot Sewer UIR Permit			✓		
N.O.I. Submittal		✓			Dated:
SWPP Booklet Submittal		✓			Dated:
RFI #1 Request		✓			Dated:
Change Orders		✓			Dated:
Final Walk Though		✓			Dated:
Punch List		✓			Dated:
Punch List (Completed and Approved)		✓			Dated:
Letter of Acceptance		✓			Dated:
1-year Warranty (Water/Sewer/Paving/Drainage)		✓			Dated:
Backfill Testing Results		✓			Dated:
As-Builts (Revised Original Submittal)		✓			Dated:

**Recording Process:**

Public Improvements with (Letter of Credit)		✓			Dated:	Expires:
Recording Fees	\$ 106.00	✓			As required by County Clerks office	
Copy of H.C.D.D. #1 of invoice		✓			Required to be paid prior to Final Stages	
Street Escrow -Doolittle Road (100-ft. ROW)	\$ 159,106.00	✓			Required: 1200	EA. @ \$ 132.59
Street Escrow -Russell Road (80-ft ROW)	\$ 88,285.00	✓			Required: 700	EA. @ \$ 126.12
Sidewalk Escrow: Doolittle & Russell Road	\$ 47,500.00	✓			Required: 1900	LF @ \$ 25.00
TOTAL OF ESCROWS:	\$ 294,891.00					
Total Developer's Construction Cost: (Letter of Credit)					Date :	Lender :
Laboratory Testing Fee: 3%	\$ -	✓			\$ -	Estimated Construction Cost
Inspection Fee: 2%	\$ -	✓			\$ -	Final Construction Cost
Park Land Fees: Park Zone # 5	\$ -				0 Lots @ \$ -	Full rate within the ETJ
122 Residential \$ 300.00	\$ 36,600.00	✓			50% Development	50% Building Stage
0 Multi-Family \$ -	\$ -		✓		0% Development	0% Building Stage
Water Rights: NAWSC - CCN	\$ -		✓		22.76	Acres \$ -
Water 30-year Letter (Residential)	\$ 610.00	✓			122 Lots @ \$ 5.00	NAWSC WATER-CCN
Water 30-year Letter (Multi-Family)	\$ -		✓		0 Lots @ \$ -	
Sewer 30-year Letter COE - CCN	\$ 7,930.00	✓			122 Lots @ \$ 65.00	COE SEWER-CCN
TOTAL OF FEES:	\$ 45,140.00					

**Reimbursements:**

Developer Sewer Improvements	\$ -		✓		Off-Site System: 0.000	AC	\$ -
Developer Water Improvements	\$ -		✓		Off-Site System 0.00	AC	\$ -
TOTAL OF REINBURSEMENTS:	\$ -						

**Buyouts:**

North Alamo Water Supply Corporation	\$ -	✓			Required Buyout 0.00	AC.	\$ -
Sharyland Water Supply Corporation			✓		Not Applicable		

**Tax Certificates**

County of Hidalgo / School District		✓					
Water District		✓			Hidalgo County Irrigation District # 1		

**Total of Escrows, Fees, Reimbursements and Buyouts:**

Escrows	\$ 294,891.00	Street & Sidewalk Improvements for Trenton Road (Not Required)					
Inspections other Fees	\$ 45,140.00	Parkland Fees, Water/Sewer 30-year Agreement/Water Rights					
Reimbursements	\$ -	Reimbursement to the Developer of <b>Subdivision</b>					
City of Edinburg	\$ -	15% Payable to the City of Edinburg for Administrative Fee					
To the Developer of Record	\$ -	85% Payable to the Developer of Record Owner / Developer					
Buyouts	\$ -	Based on Subdivision (Need Request and Approval rate from ? Broad)					
TOTAL :	\$ 340,031.00	Developer Total Cost of Fees, Escrows, Reimbursements & Buyouts					

## **STAFF REPORT: LA RESERVA SUBDIVISION PHASE II**

November 29, 2021

Planning and Zoning Meeting: December 14, 2021

Agenda Item: **6C** Preliminary Plat

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- Subject:** Consider the Preliminary Plat of **LA RESERVA SUBDIVISION PHASE II**, being an 81.74 acre tract out of land out of Lots 3-6, 11 & 12, Block 73, Engelmann Re-subdivision of the Missouri-Texas Land Irrigation Company's Subdivision, located at 8200 East FM 2812, as requested by Quintanilla, Headley and Associates, Inc.
- Location:** The property is located on the south side of FM 2812 Road and the north side of Benito Ramirez Road. The property is approximately 3,100 ft. east of Brushline Road and is within the City of Edinburg's Extra Territorial Jurisdiction (ETJ), approximately 3.4 miles from the most northeast boundary line (City of Edinburg Landfill site).
- Zoning:** Setbacks will be determined by the Hidalgo County Extra-Territorial Jurisdiction (ETJ) requirements.
- Analysis:** The Preliminary Plat proposes a single-family residential development with a total of eighty-four (84) lots averaging approximately 22,000 sq. ft. The maximum block length allowed by the UDC is 800 ft. based on the proposed plat the block length would be 1,195 ft. on the northeast & southeast side and 1,255 ft. on the northwest and southwest side.
- Utilities:** Water Distribution System is within North Alamo Water Supply Corporation - CCN service area, and Sanitary Sewer will utilize an O.S.S.F. septic system. All utility improvements within the proposed subdivision that are not limited to water, sewer, curb & gutter, and fire hydrants will be installed by the developer in accordance with the approved 2014 Standards Manual.
- 

Recommendations:

### **City of Edinburg Planning & Zoning Department:**

Staff recommends approval of the Preliminary Plat, subject to compliance with the Unified Development Code, General Notes; on FEMA flood zone, zoning setbacks, finish floor elevation, benchmark, drainage detention, parkland fees, limited access, SWP3 requirements, sidewalks, and other notes as required based on development.

**City of Edinburg Engineering / Utilities Department:**

Preliminary Phase Submittal comments for this subdivision are included in the packet. As per Engineering, the plat shall be Preliminarily Approved until all comments have been addressed by the project engineer.

**City of Edinburg Fire Department:**

The following are the preliminary phase submittal comments as noted by the Fire Department:

1. Fire lane 15 ft. in width shall be painted in front of all fire hydrants.
2. Provide double face blue fire hydrant street marker on center on the street in front of the fire hydrant.
3. Fire hydrant shall be every 600 ft. for one and two family dwellings as per Section 507.5.1 of 2012 IFC.

**City of Edinburg Storm Water:**

The following are the preliminary phase submittal comments as noted by Storm Water:

1. **SW3P** (Stormwater Pollution Prevention Plan)
2. **NOI** (Notice of Intent, Per TCEQ)
3. **Large Construction Notice** (Per TCEQ Inventory)
4. **Detailed Erosion Control Plan** (Silt Fence, Construction Entrance, Inlet Protection, Concrete Washout)
5. **Detailed Post Construction BMP's Plan** (70% Vegetation or Silt Fence back of curb)
6. **Plat Note** (All construction shall comply with Stormwater Pollution Prevention Plan (SW3P) requirements. Erosion and Sedimentation Controls constructed in accordance with the Stormwater Ordinance 98.30 of the City of Edinburg are required for all construction on each lot including single family and duplex/multi-family construction)
7. **NOT** (Notice of Termination, Per TCEQ) will now be required before the final walk through.
8. **Comments:**
  - SW3P Plat note has been revised. Please see the note for your reference.
  - NOT will need to be submitted before the final walk through.
  - Stormwater is now requiring a Post Construction Plan on plans that are submitted, either 70% vegetation or Install Silt Fence behind the back of curb.
  - Silt Fence around the entire project.
  - Large Construction Notice needs to be submitted with contractors contact information.
  - All items must be submitted before the NTP is issued.
  - Please email pending items to [rvalenzuela@cityofedinburg.com](mailto:rvalenzuela@cityofedinburg.com)

**City of Edinburg Solid Waste:**

Single Family Residential Development is within City of Edinburg (ETJ) Limits.





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## ENGINEERING DEPARTMENT

### Preliminary Staff Review

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December 7, 2021

**Alfonso Quintanilla, P.E.**

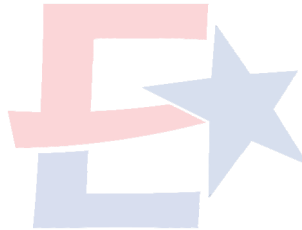
Quintanilla, Headley and Associates  
124 E. Stubbs St.  
Edinburg, TX 78539  
(956) 381-6480

**RE: LA RESERVA SUBDIVISION PHASE 2 – PRELIMINARY REVIEW**

Mr. Quintanilla,

Attached are the Preliminary Phase Submittal comments for La Reserva Subdivision Phase 2. Submittal is adequate as presented and recommended for preliminary approval.

Any questions feel free to contact us.



Thanks,

Digitally signed by Peter  
Hermida  
Date: 2021.12.07  
11:37:58 -06'00'

Peter Hermida E.I.T.

Email: [phermida@cityofedinburg.com](mailto:phermida@cityofedinburg.com)

415 W. University Drive  
Edinburg, Texas 78539

Cc: Mardoqueo Hinojosa, P.E., CFM, City Engineer, Patrizia Longoria, Engineer III, Roberto Hernandez, Engineer I, Abel Beltran, Planner I, Vince Romero, Director of Public Works, Robert Valenzuela, Storm Water Specialist, Kimberly Mendoza, Director of Planning and Zoning, Rita Lee Guerrero, Planner I, Jaime Xavier Ayala, Planner II, Gerardo Carmona P.E., Director of Utilities, Jose Flores, Systems Superintendent, Omar Garza, Fire Marshal, Ramiro Gomez, Director of Solid Waste

**REFERENCES:**

City of Edinburg – 2014 Standard Manual – Construction and Development Requirements;  
Unified Development Code; and if required a TX-Dot Permitting UIR permitting process.

SUBDIVISION PLAT OF:  
**LA RESERVA SUBDIVISION PHASE II**

AN 81.74 ACRE TRACT OF LAND OUT OF LOTS 3, 4, 5, 6, 11 & 12, BLOCK 73, ENGELMAN RESUBDIVISION OF THE MISSOURI-TEXAS LAND AND IRRIGATION COMPANY'S SUBDIVISION OF LAND IN LAS MESTERAS GRANT, HIDALGO COUNTY, TEXAS, ACCORDING TO THE MAP OR PLAT THEREOF RECORDED IN VOLUME 6, PAGE 28, MAP RECORDS, HIDALGO COUNTY, TEXAS AND ACCORDING TO CONTRIBUTION SPECIAL WARRANTY DEED RECORDED UNDER DOCUMENT NUMBER 2352293, OFFICIAL RECORDS, HIDALGO COUNTY, TEXAS.

**MITES AND BOUNDS**

AN 81.74 ACRE TRACT OF LAND OUT OF LOTS 3, 4, 5, 6, 11 AND 12, BLOCK 73, ENGELMAN RESUBDIVISION OF THE MISSOURI-TEXAS LAND AND IRRIGATION COMPANY'S SUBDIVISION OF LAND IN LAS MESTERAS GRANT, HIDALGO COUNTY, TEXAS, ACCORDING TO THE MAP OR PLAT THEREOF RECORDED IN VOLUME 6, PAGE 28, MAP RECORDS, HIDALGO COUNTY, TEXAS, AND ACCORDING TO CONTRIBUTIONS SPECIAL WARRANTY DEED RECORDED UNDER COUNTY CLERK'S DOCUMENT NUMBER 2352293, OFFICIAL RECORDS, HIDALGO COUNTY, TEXAS, REFERENCE TO WHICH IS HERE MADE FOR ALL PURPOSES AND BEING MORE PARTICULARLY DESCRIBED BY NOTES AND BOUNDS AS FOLLOWS:

BEGINNING AT A COTTON PICKER SPINDLE FOUND ON THE NORTH LINE OF LOT 3 AND WITHIN THE RIGHT OF WAY OF F.M. 2812 FOR THE NORTHWEST CORNER OF LA RESERVA SUBDIVISION PHASE I-A (RECORDED IN INSTRUMENT NUMBER 300485), MAP RECORDS, HIDALGO COUNTY, TEXAS; AND THE NORTHEAST CORNER OF THIS TRACT, SAID SPINDLE BEARS N 81°00' W, 862.10 FEET FROM THE NORTHEAST CORNER OF LOT 3.

THENCE, S 09°00' W, ALONG THE WEST LINE OF LA RESERVA SUBDIVISION PHASE I-A, PASSING A 1/2" IRON ROD WITH CAP STAMPED RPLS 4856 FOUND AT 80.00 FEET FOR THE SOUTH RIGHT OF WAY LINE OF F.M. 2812, PASSING AT 80.00 FEET THE NORTHWEST CORNER OF THE HIDALGO COUNTY DRAINAGE DISTRICT NO.1 TRACT (A TRACT OF LAND OUT OF LOT 3, BLOCK 73, ENGELMAN RESUBDIVISION OF THE MISSOURI-TEXAS LAND AND IRRIGATION COMPANY'S SUBDIVISION OF LAND IN LAS MESTERAS GRANT, ACCORDING TO GIFT DEED RECORDED UNDER COUNTY CLERK'S DOCUMENT NUMBER 304374, OFFICIAL RECORDS, HIDALGO COUNTY, TEXAS); AND CONTINUING ALONG THE WEST LINE OF LA RESERVA SUBDIVISION PHASE I-A, PASSING AT 1,345.14 FEET THE NORTHWEST CORNER OF THE HIDALGO COUNTY DRAINAGE DISTRICT NO.1 TRACT (A TRACT OF LAND OUT OF LOT 6, BLOCK 73, ENGELMAN RESUBDIVISION OF THE MISSOURI-TEXAS LAND AND IRRIGATION COMPANY'S SUBDIVISION OF LAND IN LAS MESTERAS GRANT, ACCORDING TO GIFT DEED RECORDED UNDER COUNTY CLERK'S DOCUMENT NUMBER 304374, OFFICIAL RECORDS, HIDALGO COUNTY, TEXAS); AND CONTINUING ALONG THE WEST LINE OF LA RESERVA SUBDIVISION PHASE I-A, PASSING AT 2,680.28 FEET THE NORTHWEST CORNER OF THE HIDALGO COUNTY DRAINAGE DISTRICT NO.1 TRACT (A TRACT OF LAND OUT OF LOTS 11 AND 12, BLOCK 73, ENGELMAN RESUBDIVISION OF THE MISSOURI-TEXAS LAND AND IRRIGATION COMPANY'S SUBDIVISION OF LAND IN LAS MESTERAS GRANT, ACCORDING TO GIFT DEED RECORDED UNDER COUNTY CLERK'S DOCUMENT NUMBER 304374, OFFICIAL RECORDS, HIDALGO COUNTY, TEXAS); AND CONTINUING ALONG THE WEST LINE OF LA RESERVA SUBDIVISION PHASE I-A, A TOTAL DISTANCE OF 3,921.28 FEET TO A 1/2" IRON ROD WITH CAP STAMPED RPLS 4856 SET FOR THE SOUTHWEST CORNER OF THIS TRACT.

THENCE, N 81°00' W, A DISTANCE OF 908.00 FEET TO A 1/2" IRON ROD WITH CAP STAMPED RPLS 4856 SET FOR THE SOUTHWEST CORNER OF THIS TRACT.

THENCE, N 09°00' E, PASSING A 1/2" IRON ROD WITH CAP STAMPED RPLS 4856 SET AT 3,861.28 FEET FOR THE SOUTH RIGHT OF WAY LINE OF F.M. 2812, A TOTAL DISTANCE OF 3,921.28 FEET TO A COTTON PICKER SPINDLE SET ON THE NORTH LINE OF LOT 4 AND WITHIN THE RIGHT OF WAY OF F.M. 2812 FOR THE NORTHEAST CORNER OF THIS TRACT.

THENCE, S 81°00' E, ALONG THE NORTH LINE OF LOTS 3 AND 4, AND WITHIN THE RIGHT OF WAY OF F.M. 2812, A DISTANCE OF 908.00 FEET TO THE POINT OF BEGINNING AND CONTAINING 81.74 ACRES OF LAND MORE OR LESS.

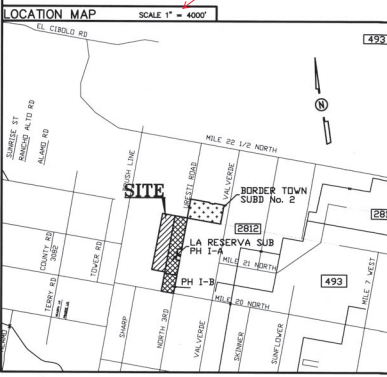
BEARINGS ARE IN ACCORDANCE WITH LA RESERVA SUBDIVISION I-A, RECORDED IN INSTRUMENT NUMBER 300485, MAP RECORDS, HIDALGO COUNTY, TEXAS.

STATE OF TEXAS  
COUNTY OF HIDALGO

I, THE UNDERSIGNED, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECT AND WAS PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY DONE ON THE GROUND UNDER MY SUPERVISION.

  
CARLOS ANNETTE QUINTANILLA  
R.L.S. No. 4856

9-23-2021  
DATE



Add: S' sidewalk along Fm 2812 on the south side and the north and south side for Benito Ramirez at subdivision construction stage.

Specify which lots will be commercial

LOCATION OF SUBDIVISION WITH RESPECT TO THE EXTRAJURISDICTIONAL JURISDICTION OF A MUNICIPALITY:  
LA RESERVA SUBDIVISION PHASE II IS LOCATED IN CENTRAL HIDALGO COUNTY ON THE SOUTHWEST CORNER OF THE INTERSECTION OF FM 2812 AND URGENT ROAD. THE ONLY JURISDICTIONAL MUNICIPALITY IS THE CITY OF EDINBURG. ACCORDING TO THE OFFICIAL MAP IN THE OFFICE OF THE SECRETARY OF THE CITY OF EDINBURG (POPULATION 83,703), LA RESERVA SUBDIVISION PHASE II, LIES APPROXIMATELY 3.00 MILES FROM THE CITY LIMITS AND IT IS WITHIN THE CITY'S 1 1/2 MILE EXTRA TERRITORIAL JURISDICTION (ETJ) UNDER LOCAL GOVERNMENT CODE § 42.021. IT LIES IN PRECINCT NO. 4.

PRINCIPAL CONTACTS:  
Name: 480 RANCH, LTD.  
Address: TYLER STONE, MANAGING MEMBER  
900 EAST LAKEVIEW DRIVE  
EDINBURG, TX 78838  
SURVEYOR: ALFREDO QUINTANILLA

**PLAT NOTES AND RESTRICTIONS:**

1. FLOOD ZONE DESIGNATION: ZONE "X"

AREAS DETERMINED TO BE OUTSIDE 500-YEAR FLOOD PLAIN.

COMMUNITY-PANEL NUMBER 480334 0325 D - REVISED TO REFLECT LOG MAP REVISED: MAY 17, 2021

THE AREAS WITHIN THE DRAINAGE EASEMENTS AND THE PROPOSED STREET RIGHT-OF-WAY ARE WITHIN THE 100-YEAR FLOOD PLAIN COMMUNITY-PANEL NO. 480334 0325 D. THESE AREAS ARE SHOWN ON THIS PLAT ARE WITHIN THE PROPOSED SUBDIVISION TO BE WITHIN THE 100-YEAR FLOOD PLAIN.

CONSTRUCTION OF RESIDENTIAL HOUSING WITHIN ANY AREA OF THE SUBDIVISION THAT IS IN THE 100-YEAR FLOOD PLAIN IS PROHIBITED UNLESS THE HOUSING QUALIFIES FOR INSURANCE UNDER THE NATIONAL FLOOD INSURANCE ACT OF 1968 (42 U.S.C. SECTIONS 4001 THROUGH 4127).

2. MINIMUM FINISH FLOOR ELEVATION SHALL BE 18" ABOVE CENTERLINE OF THE STREET OR 18" ABOVE NATURAL GROUND, WHICHEVER IS GREATER. ELEVATION CERTIFICATE MAY BE REQUIRED FOR LOTS LOCATED OUTSIDE A DESIGNATED FLOOD ZONE AT THE TIME FOR APPLICATION FOR CONSTRUCTION TO VERIFY PRE AND POST CONSTRUCTION FINISH FLOOR ELEVATIONS. AN ELEVATION CERTIFICATE SHALL BE REQUIRED FOR ALL LOTS WITHIN A DESIGNATED FLOOD ZONE AT THE TIME FOR A DEVELOPMENT PERMIT APPLICATION.

3. LEGEND - DENOTES 1/2" IRON ROD SET WITH PLASTIC CAP STAMPED RPLS 4856, UNLESS OTHERWISE NOTED.

4. THERE ARE NO WATER WELLS WITHIN 150 FEET FROM THE BOUNDARIES OF THIS SUBDIVISION.

5. SETBACKS:  
FRONT ..... 25.00 FEET  
REAR ..... 15.00 FEET  
SIDE ..... 10.00 FEET  
CORNER SIDE, WHERE ROW IS GREATER THAN 50.0 FEET ..... 10.00 FEET  
GARAGE SETBACK ..... 20.00 FEET  
OR TO EASEMENT LINE WHICHEVER IS GREATER ON ALL CASES.

6. NO STRUCTURE SHALL BE PROMOTED OVER ANY EASEMENT. EASEMENTS SHALL BE KEPT CLEAR OF FENCES, BUILDINGS, SHEDS, SHRUBS, TREES, AND OTHER PLANTINGS (EXCEPT LOW, LESS THAN 18 INCHES MATURE TREES, SHRUBS, OR OTHER PLANTINGS) AND OTHER OBSTRUCTIONS THAT WOULD INTERFERE WITH THE OPERATIONS AND MAINTENANCE OF THE EASEMENT.

7. DRAINAGE:  
IN ACCORDANCE WITH THE HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 AND HIDALGO COUNTY REQUIREMENTS, THIS DEVELOPMENT WILL BE REQUIRED TO OBTAIN A TOTAL OF 100,000 GALLONS PER YEAR OF STORM WATER RUNOFF. RESIDENTIAL DRAINAGE RETENTION IN ACCORDANCE WITH THE LOCAL REQUIREMENTS WILL BE ACCOMPLISHED AS FOLLOWS: SEE DRAINAGE REPORT ON SHEET NO. 6.

8. BENCHMARK NOTE:  
THE FOLLOWING BENCHMARK IS IDENTIFIED ON THE FACE OF THE PLAT AND ON THE ATTACHED ENGINEERING PLANS:

9. ALL PUBLIC UTILITY EASEMENTS DESIGNATED BY THIS PLAT SHALL BE A MINIMUM WIDTH OF 15.00 FEET AS PER THE HIDALGO COUNTY MODEL SUBDIVISION RULES. BY SIGNING THIS PLAT DEVELOPER AND ENGINEER CERTIFY THAT ALL OTHER EASEMENTS SHOWN COMPLY WITH THE SIZE REQUIRED BY EACH UTILITY PROVIDER OCCUPYING AN EASEMENT.

10. GENERAL NOTE FOR SINGLE FAMILY RESIDENCES:  
NO MORE THAN ONE-SINGLE FAMILY DETACHED DWELLING SHALL BE LOCATED ON EACH LOT. THIS MUST BE STIPULATED ON ALL DEEDS AND CONTRACTS FOR DEEDS. (ANY OTHER USE SHALL REQUIRE PLANNING DEPARTMENT, OFFICE OF ENVIRONMENTAL COMPLIANCE, HEALTH DEPARTMENT AND FIRE MARSHALL APPROVAL). APPLICATIONS FOR CONSTRUCTION ARE REQUIRED PRIOR TO OCCUPANCY OF THE LOT. NO COMMERCIAL USE SHALL BE ALLOWED ON ALL INTERNAL LOTS 125-156, 158-169, 172-222, & 223-253.

11. LOTS 127, 180, 191 & 254 SHALL HAVE ACCESS TO 50' STREET AND WILL NOT BE ALLOWED ACCESS ONTO FM 2812.

12. EACH PURCHASED CONTRACT MADE BETWEEN A SUBDIVIDER AND PURCHASER OF A LOT IN THIS SUBDIVISION SHALL CONTAIN A STATEMENT DESCRIBING HOW AND WHEN WATER, SEWER, ELECTRICITY AND GAS SERVICES WILL BE MADE AVAILABLE TO THE SUBDIVISION.

13. ON-SITE SEWAGE FACILITIES (OSSF) FOR LOTS:  
THE SUBDIVISION SHALL BE DESIGNED FOR DISPOSAL OF DOMESTIC SEWAGE ONLY. A SEWAGE SYSTEM SHALL BE SUBMITTED FOR COMMERCIAL USE. A. EACH LOT ON THIS PLAT COMPLIED WITH THE MINIMUM 21,780 SQUARE FEET LOT AREA WITH POTABLE WATER SUPPLY. B. OSSF SYSTEM SHALL REQUIRE INSPECTION AND APPROVAL BY HIDALGO COUNTY AUTHORIZED DEPARTMENT.

D. SOIL ANALYSIS HAVE BEEN SUBMITTED TO THE AUTHORIZED HIDALGO COUNTY DEPARTMENT AND EXCEPT MAY BE ALSO USED ON THE UTILITY LAYOUT FOR THIS SUBDIVISION AS SUBMITTED TO THE HIDALGO COUNTY PLANNING DEPARTMENT. THE SOIL EVALUATOR HAS DETERMINED THAT THE SOIL IS SUITABLE FOR A STANDARD SEPTIC TANK AND ABSORPTIVE DRAINFIELD SYSTEM.

E. APPROVED "OSSF" PERMIT APPLICATION IS REQUIRED INCLUDING INDIVIDUAL LOT PLANNING MATERIALS PRIOR TO OCCUPANCY OF A LOT.

14. ALL LOTS SHALL HAVE A POST DEVELOPMENT FINISHED GRADE FROM THE REAR OF THE LOT TO THE CURB AND/OR ROADSIDE DITCH AT A 1% SLOPE TO ACCOMPLISH POSITIVE DRAINAGE. THIS IS IN ACCORDANCE WITH HIDALGO COUNTY SUBDIVISION RULES APPENDIX 3.1.4.

15. 100% OF PARKLAND FEE (\$300.00) PER LOT HAS BEEN PAID BY DEVELOPER

16. ALL SUBDIVISION IMPROVEMENTS SHALL COMPLY WITH STORM WATER POLLUTION PREVENTION PLAN (SWPP) REQUIREMENTS.

17. A 5' SIDEWALK IS REQUIRED ON ALL INTERIOR STREETS AS PER CITY OF EDINBURG CONSTRUCTION STANDARDS MANUAL, LATEST EDITION OR AS PER CITY ENGINEER AT BUILDING PERMIT STAGE.

18. A LIVE (5.0') FOOT BUFFER IS REQUIRED AS PER LATEST CITY OF EDINBURG ENGINEERING DEPARTMENT STANDARD OR AS APPROVED BY THE CITY ENGINEER IS REQUIRED AT BUILDING PERMIT STAGE BY LOT OWNER.

19. AN OFF-STREET PARKING LOT SITE PLAN & DRAINAGE PLAN APPROVED BY THE HIDALGO COUNTY PLANNING DEPARTMENT AND THE OFFICE OF ENVIRONMENTAL COMPLIANCE SHALL BE REQUIRED FOR SCHOOLS, COMMERCIAL, INDUSTRIAL & MULTIFAMILY USE AT THE TIME OF APPLICATION FOR CONSTRUCTION PRIOR TO THE ISSUANCE OF A BUILDING PERMIT. NO WATER OR LIGHT CLEARANCES SHALL BE ISSUED UNTIL THE SITE PLAN, DRAINAGE PLAN AND OSSF PLAN ARE APPROVED AND PREPARED APPROVED IN ACCORDANCE WITH LOCAL AND STATE STANDARDS.

20. LOTS ARE UTILIZED FOR COMMERCIAL USE AND HAVE DOUBLE FRONTAGE. THEN THE LOT OWNER WILL BE REQUIRED TO INSTALL A BUFFER FENCE ABUTTING ALL RESIDENTIAL LOTS AND ALONG ALL INTERNAL STREETS. A PLAN BEING ADVISED & SANITARY SEWER TO DRAINAGE SYSTEMS INTO LOT. LOCATION OF ACCESS/DRIVEWAY SHALL BE SHOWN ON THE SITE PLAN AS PER NOTE 20 AND IS SUBJECT TO APPROVAL FROM THE HIDALGO COUNTY PLANNING DEPARTMENT.

This is not referencing Panel number 480334 0325 D

Provide Drainage Detention

same note

**RIGHT OF WAY EASEMENT**

KNOW ALL MEN BY THESE PRESENTS, that the undersigned, owners of the property shown on this plat, their successors, assigns, and transferees (hereinafter called "Grantors"), do hereby grant, convey, and warrant unto the undersigned, their successors, assigns, and transferees (hereinafter called "Grantees"), the receipt and sufficiency of which is hereby acknowledged, done hereby grant, convey, sell, transfer, and convey to right to erect, construct, install and thereafter use, operate, inspect, repair, improve, alter, modify, remove, relocate, distribute lines and appurtenances over and across the lands shown on this plat, together with the right of ingress and egress over Grantor's adjacent lands of the purpose for which the above mentioned rights are granted. The easement hereby granted shall not exceed 15' in width, and Grantee is hereby authorized to designate the course of the easement herein conveyed except that when the plat(s) is installed, the easement herein granted shall be limited to a strip of land 15' in width, the center line thereof being the pipeline as relocated.

In the event the easement hereby granted exists on a public road and the city, county or state hereafter widens or relocates the public road so as to require the relocation of this water line as installed, Grantor further grants to Grantee an additional easement over and across the land shown on this plat for the purpose of laterally relocate said water line as may be necessary to clear the road improvements, which easement hereby granted shall be limited to a strip of land 15' in width, the center line thereof being the pipeline as relocated.

The consideration recited herein shall constitute payment in full for all damages sustained by Grantor by reason of the installation, maintenance, repair, replacement and relocation of the structures referred to herein. This agreement together with other provisions of this grant shall constitute an easement for the benefit of the Grantees, its successors, and assigns. The Grantor covenants that it is the owner of the above-described lands and that said lands are free and clear of all encumbrances and liens except the following:

The easement is subject to the provisions of Title IV of the City of Edinburg, Texas, and the regulations thereof, provided that the easement continues to be used for the same or similar purpose for which it was granted as herein stated or for so long as the Grantee owns it, whichever is longer.

IN WITNESS WHEREOF the said Grantor executed this instrument this \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

480 RANCH, LTD.  
TYLER STONE  
900 EAST LAKEVIEW DRIVE  
EDINBURG, TX 78801

HIDALGO COUNTY  
CERTIFICATE OF PLAT APPROVAL

I, THE UNDERSIGNED CERTIFY THAT THIS PLAT OF LA RESERVA SUBDIVISION PHASE II WAS REVIEWED AND APPROVED BY THE HIDALGO COUNTY HEALTH DEPARTMENT ON \_\_\_\_\_, 20\_\_\_\_.

ENVIRONMENTAL HEALTH DIVISION MANAGER

DATE

STATE OF TEXAS  
COUNTY OF HIDALGO

THIS PLAN IS HEREBY APPROVED BY THE ENGELMAN IRRIGATION DISTRICT SUBJECT TO THE CONDITION THAT IF IRRIGATION FROM SAID DISTRICT IS DESIRABLE TO THE INDIVIDUAL LOTS IN SAID SUBDIVISION, PROVISION SHALL BE MADE FOR APPROPRIATE EASEMENT FOR THE DISTRIBUTION OF NECESSARY IRRIGATION FACILITIES TO SUCH LOTS FROM THE CLOSEST WATER DISTRICT DELIVERY POINT AND IT SHALL BE THE RESPONSIBILITY OF THE OWNER OF THE PROPERTY TO INSTALL SUCH NECESSARY FACILITIES.

DISTRICT PRESIDENT

DATE

SECRETARY

DATE

**APPROVED BY DRAINAGE DISTRICT:**

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1, HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER THE TEXAS WATER CODE § 48.011 (C). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE ADEQUATE FOR THE SPECIFIC SITUATION BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF THE DEVELOPER AND HIS ENGINEER TO MAKE THEIR DETERMINATIONS.

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1

RAUL SESIN, P.E., C.E.M.  
GENERAL MANAGER

DATE

**INDEX OF SHEETS**

- SHEET 1 - HEADINGS INDEX, LOCATION MAP AND EAT, PRINCIPAL CONTACTS, DESCRIPTION OF THE PROPERTY, EASEMENTS, PERMITS, NO WATER OR LIGHT CLEARANCES SHALL BE ISSUED UNTIL THE SITE PLAN, DRAINAGE PLAN AND OSSF PLAN ARE APPROVED AND PREPARED APPROVED IN ACCORDANCE WITH LOCAL AND STATE STANDARDS. REVISION NOTES
- SHEET 2 - MAP: LOT, STREETS, AND EASEMENT LAYOUT, HEADINGS INDEX, LOCATION MAP AND EAT, PRINCIPAL CONTACTS: ENGINEER'S & SURVEYOR'S CERTIFICATION: REVISION NOTES
- SHEET 3 - MAP: LOT, STREETS, AND EASEMENT LAYOUT, HEADINGS INDEX, LOCATION MAP AND EAT, PRINCIPAL CONTACTS: ENGINEER'S & SURVEYOR'S CERTIFICATION: REVISION NOTES
- SHEET 4 - MAP OF WATER DISTRIBUTION SYSTEM, ENGINEER'S CERTIFICATION, COUNTY CLERK'S RECORDING CERTIFICATE, REVISION NOTES
- SHEET 5 - MAP OF TOPOGRAPHY AND DRAINAGE, ENGINEER'S CERTIFICATION, COUNTY CLERK'S RECORDING CERTIFICATE, REVISION NOTES
- SHEET 6 - ENGINEERING REPORT, INCLUDING DESCRIPTION OF WATER AND WASTE WATER/OSSF AND ENGINEER'S CERTIFICATION (ENGLISH AND SPANISH VERSIONS) SUBDIVIDER CERTIFICATE & STATEMENT, DRAINAGE REPORT INCLUDING DESCRIPTION OF DRAINAGE WITH ENGINEER'S CERTIFICATION, CONSTRUCTION DETAILS, COUNTY CLERK'S RECORDING CERTIFICATE, REVISION NOTES.

No.	Sheet	REVISION	Date	Approved

ON \_\_\_\_\_ AT \_\_\_\_\_ AM/PM  
INSTRUMENT NUMBER \_\_\_\_\_  
OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS

BY: \_\_\_\_\_ DEPUTY

STATE OF TEXAS  
COUNTY OF HIDALGO  
COUNTY'S DEDICATION, CERTIFICATION, AND ATTESTATION

WE, TYLER STONE, MANAGING MEMBER OF 480 RANCH LTD., TRACT OF LAND ENCOMPASSED WITHIN THE PROPOSED LA RESERVA SUBDIVISION PHASE II, HEREBY SUBDUCE THE LAND AS DEPICTED IN THIS SUBDIVISION PLAT AND DEDICATE TO PUBLIC USE THE STREET, PARK, AND EASEMENTS SHOWN HEREIN.  
§232.032 AND THAT:  
(A) THE WATER QUALITY AND CONNECTIONS TO THE LOTS MEET, OR WILL MEET, THE MINIMUM STATE STANDARDS;  
(B) SEWER CONNECTIONS TO THE LOTS ON SEPTIC TANKS MEET, OR WILL MEET, THE MINIMUM REQUIREMENTS OF STATE STANDARDS;  
(C) ELECTRICAL CONNECTIONS PROVIDED TO THE LOTS MEET, OR WILL MEET, THE MINIMUM STATE STANDARDS;  
(D) GAS CONNECTIONS, IF AVAILABLE, PROVIDED TO THE LOTS MEET, OR WILL MEET, THE MINIMUM STATE STANDARDS.  
I ATTEST THAT THE MATTERS ASSERTED IN THIS PLAT ARE TRUE AND COMPLETE.

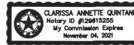
480 RANCH, LTD.  
TYLER STONE, MANAGING MEMBER  
900 EAST LAKEVIEW DRIVE  
EDINBURG, TX 78801

DATE

STATE OF TEXAS  
COUNTY OF HIDALGO

BEFORE ME, the undersigned notary public, on this day personally appeared \_\_\_\_\_, known to me to be the person whose name is subscribed to the foregoing instrument, who, being by me first duly sworn, declared that the statements therein are true and correct and acknowledged that she executed the same for the purpose and consideration therein expressed.

Given under my hand and seal of office this \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

  
CARLOS ANNETTE QUINTANILLA  
My Commission Expires \_\_\_\_\_  
Notary Public

CARLOS ANNETTE QUINTANILLA - NOTARY PUBLIC

HIDALGO COUNTY  
CERTIFICATE OF PLAT APPROVAL  
UNDER LOCAL GOVERNMENT CODE § 232.028(f)

WE, THE UNDERSIGNED CERTIFY THAT THIS PLAT OF LA RESERVA SUBDIVISION PHASE II was reviewed and approved by the Hidalgo County Commissioners Court on \_\_\_\_\_, 20\_\_\_\_.

Hidalgo County Judge

Date

ATTEST:

Hidalgo County Clerk

Date

PLANNING & ZONING COMMISSION CERTIFICATION

"I, the undersigned, Chairperson of the Planning and Zoning Commission of the City of Edinburg, hereby certify that this subdivision plat complies with the requirements of the SUBDIVISION RULES and conforms to all requirements of the Subdivision Regulations of this City wherein my approval is required and has been approved for recording on this \_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_."

CHAIRPERSON-PLANNING & ZONING COMMISSION

MAYOR'S CERTIFICATION

I, THE UNDERSIGNED, MAYOR OF THE CITY OF EDINBURG, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS TO ALL REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THIS CITY WHEREIN MY APPROVAL IS REQUIRED.

ATTEST:

TYLER STONE'S SIGNATURE

DATE

CITY SECRETARY

DATE

STATE OF TEXAS  
COUNTY OF HIDALGO

I, THE UNDERSIGNED, A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THE PROPER ENGINEERING CONSIDERATIONS HAVE BEEN GIVEN TO THIS PLAT.

  
MARCO A. GONZALEZ  
120018  
P.E. No. 120018

11-11-21  
DATE

  
ARTURO GUJARDO, JR.  
120018  
P.E. No. 120018

FILED FOR RECORD IN  
HIDALGO COUNTY  
INSTRUMENT NUMBER \_\_\_\_\_  
OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS

BY: \_\_\_\_\_ DEPUTY

QUINTANILLA, HEADLEY AND ASSOCIATES, INC.

CONSULTING ENGINEERS  
124 E. STUBBS ST.  
EDINBURG, TX 78838  
REGISTRATION NUMBER P-1813  
SURVEYING REGISTRATION NUMBER 100411-00

LAND SURVEYORS  
124 E. STUBBS ST.  
EDINBURG, TX 78838  
PHONE 506-381-6480  
FAX 506-381-0527  
ALFONSO@QAH-ENG.COM

DATE OF PREPARATION: SEPTEMBER 23, 2021

FILENAME: P:\DATA\SUBDIVISION\LA RESERVA SUB PH II\PLAT  
DATE PREPARED: \_\_\_\_\_ BY: \_\_\_\_\_ CHECKED BY: \_\_\_\_\_ APPROVED BY: \_\_\_\_\_  
DATE REVIEWED: \_\_\_\_\_ BY: \_\_\_\_\_ CHECKED BY: \_\_\_\_\_ APPROVED BY: \_\_\_\_\_

SHEET NO.  
1 of 6



SUBDIVISION PLAT OF:  
**LA RESERVA SUBDIVISION PHASE II**  
AN 81.74 ACRE TRACT OF LAND OUT OF LOTS 3, 4, 5, 6, 11 & 12, BLOCK 73, ENGELMAN RESUBDIVISION OF THE MISSOURI-TEXAS LAND AND IRRIGATION COMPANY'S SUBDIVISION OF LAND IN LAS MESTERAS GRANT, HIDALGO COUNTY, TEXAS, ACCORDING TO THE MAP OR PLAT THEREOF RECORDED IN VOLUME 6, PAGE 28, MAP RECORDS, HIDALGO COUNTY, TEXAS AND ACCORDING TO CONTRIBUTION SPECIAL WARRANTY DEED RECORDED UNDER DOCUMENT NUMBER 2352293, OFFICIAL RECORDS, HIDALGO COUNTY, TEXAS.

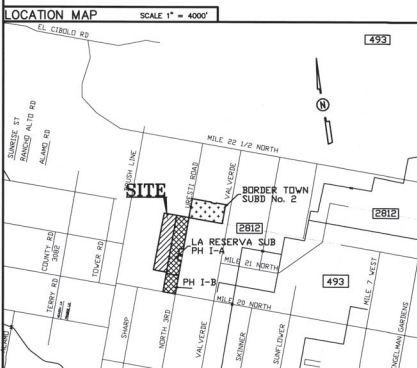
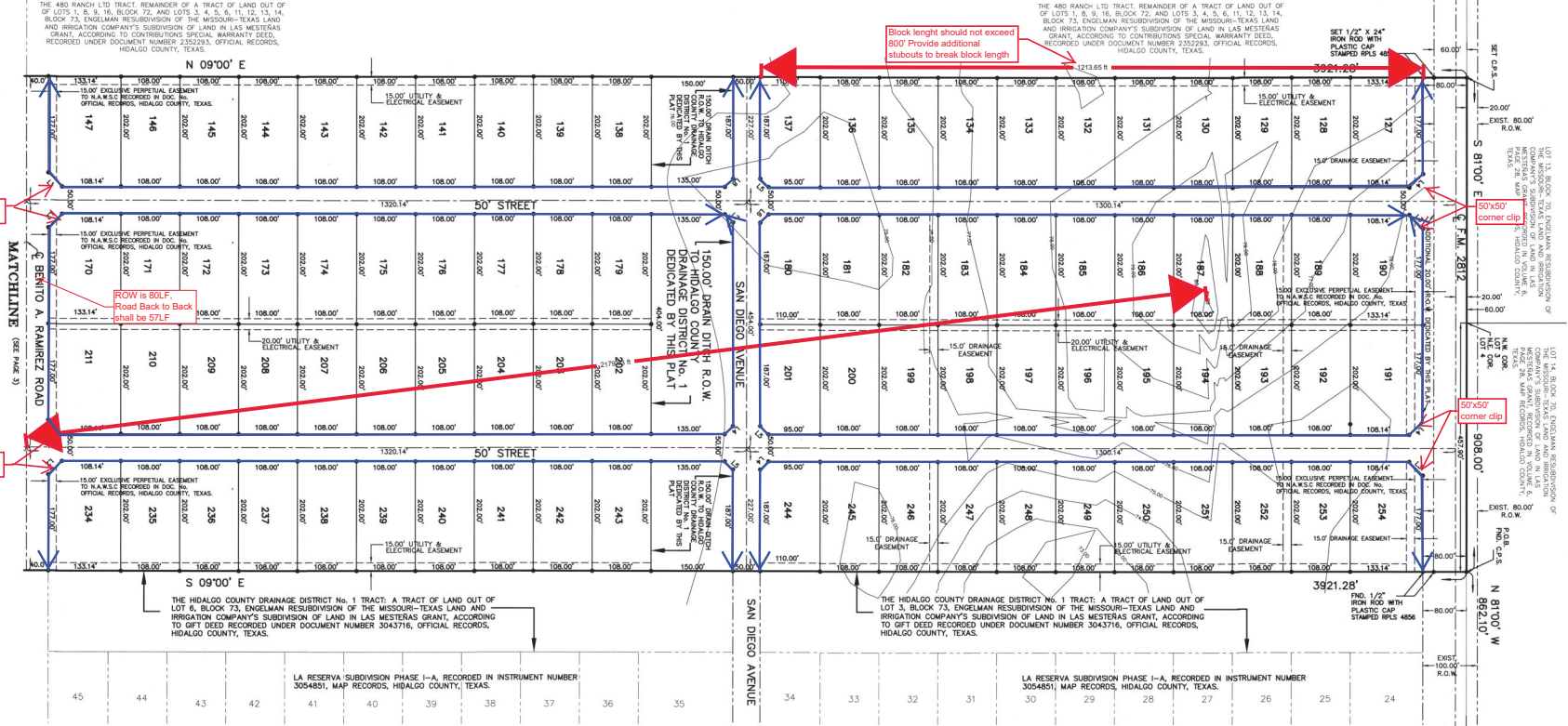
Utility Easements required in the front

SCALE 1" = 100'



LINE DATA TABLE		
DATA	BEARING	LENGTH
L1	S 54°00'00" W	35.36'
L2	N 36°00'00" W	108.00'
L3	N 54°00'00" E	303.30'
L4	S 36°00'00" E	108.00'
L5	S 54°00'00" W	21.21'
L6	N 36°00'00" W	21.21'
L7	N 54°00'00" E	21.21'
L8	S 36°00'00" E	21.21'

AREA DATA TABLE		
LOT	SF	AC
127	25581.29	0.61
128-136	21816.00	0.50
137	22027.50	0.51
138-146	21816.00	0.50
147	25581.29	0.61
148	21907.50	0.50
149-157	21816.00	0.50
158-159	21905.50	0.50
160-168	21816.00	0.50
169	21907.50	0.50
170	25581.29	0.61
171-179	21816.00	0.50
180	22027.50	0.51
181-189	21816.00	0.50
190-191	25581.29	0.61
192-200	21816.00	0.50
201	22027.50	0.51
202-210	21816.00	0.50
211	25581.29	0.61
212	21907.50	0.50
213-221	21816.00	0.50
222	21905.50	0.50
223	23834.00	0.54
224-232	21816.00	0.50
233	30391.50	0.70
234	25581.29	0.61
235-243	21816.00	0.50
244	22027.50	0.51
245-253	21816.00	0.50
254	25581.29	0.61



STATE OF TEXAS  
COUNTY OF HIDALGO

I, THE UNDERSIGNED, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECT, AND WAS MADE AND PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY DONE ON THE GROUND UNDER MY SUPERVISION.

**ALFONSO QUINTANILLA**  
R.P.L.S. No. 4856

9-23-2021  
DATE

LOCATION OF SUBDIVISION WITH RESPECT TO THE EXTRATERRITORIAL JURISDICTION OF A MUNICIPALITY:  
LA RESERVA SUBDIVISION PHASE II IS LOCATED IN CENTRAL HIDALGO COUNTY ON THE SOUTHWEST CORNER OF THE INTERSECTION OF FM 2812 AND URESTI ROAD. THE ONLY NEARBY MUNICIPALITY IS THE CITY OF EDINBURG ACCORDING TO THE OFFICIAL MAP IN THE OFFICE OF THE SECRETARY OF THE CITY OF EDINBURG (POPULATION 83,970). LA RESERVA SUBDIVISION PHASE II LIES APPROXIMATELY 3.00 MILES FROM THE CITY LIMITS AND IT IS WITHIN THE CITY'S 3 1/2 MILE EXTRA TERRITORIAL JURISDICTION (ETJ) UNDER LOCAL GOVERNMENT CODE § 42.021. IT LIES IN PRECINCT NO. 4.

STATE OF TEXAS  
COUNTY OF HIDALGO

I, THE UNDERSIGNED, A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THE PROPER ENGINEERING CONSIDERATIONS HAVE BEEN GIVEN TO THIS PLAT.

**MARCO A. GONZALEZ**  
P.E. No. 120016

11-4-21  
DATE

QUINTANILLA, HEADLEY AND ASSOCIATES, INC.  
CONSULTING ENGINEERS  
124 E. STUBBS ST.  
EDINBURG, TEXAS 78539  
SURVEYING REGISTRATION NUMBER 100411-00

**General Comments:**  
1. Plat and Metes and Bounds Description shall include a POC, must also have Northing and Easting Coordinates  
2. Provide trip generation Worksheet, attached  
3. Utility Configurations appear acceptable, pending road configurations, then after provide construction plans after plat is preliminarily approved.  
4. Once a drainage Plan and Profiles and Drainage areas are provided,  
5. Provide SWOP. Signage and Striping, Lighting, Storm, Paving Plan and Profile for Construction Plans Review  
6. Block length is greater than 800ft. Revise  
7. Properties and adjacent properties shall not be landlocked from proposed development  
8. Verify all storm pipes length.  
9. Coordinate with Sergio Castro (Engineering Dept.) to finalize street names (956)388-8211, shall be required prior to NTP.

Provide GPS coordinates

FILED FOR RECORD IN  
HIDALGO COUNTY  
ARTURO GUJARDO, JR.  
HIDALGO COUNTY CLERK

ON: \_\_\_\_\_ AT \_\_\_\_\_ AM/PM  
INSTRUMENT NUMBER \_\_\_\_\_  
OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS

BY: \_\_\_\_\_ DEPUTY

SHEET NO.			
DATE PREPARED	PREPARED BY	CHECKED BY	APPROVED BY
9-23-2021	ALFONSO QUINTANILLA	ALFONSO QUINTANILLA	ALFONSO QUINTANILLA
DATE REVIEWED	REVIEWED BY	CHECKED BY	APPROVED BY
11-11-2021	ALFONSO QUINTANILLA	ALFONSO QUINTANILLA	ALFONSO QUINTANILLA

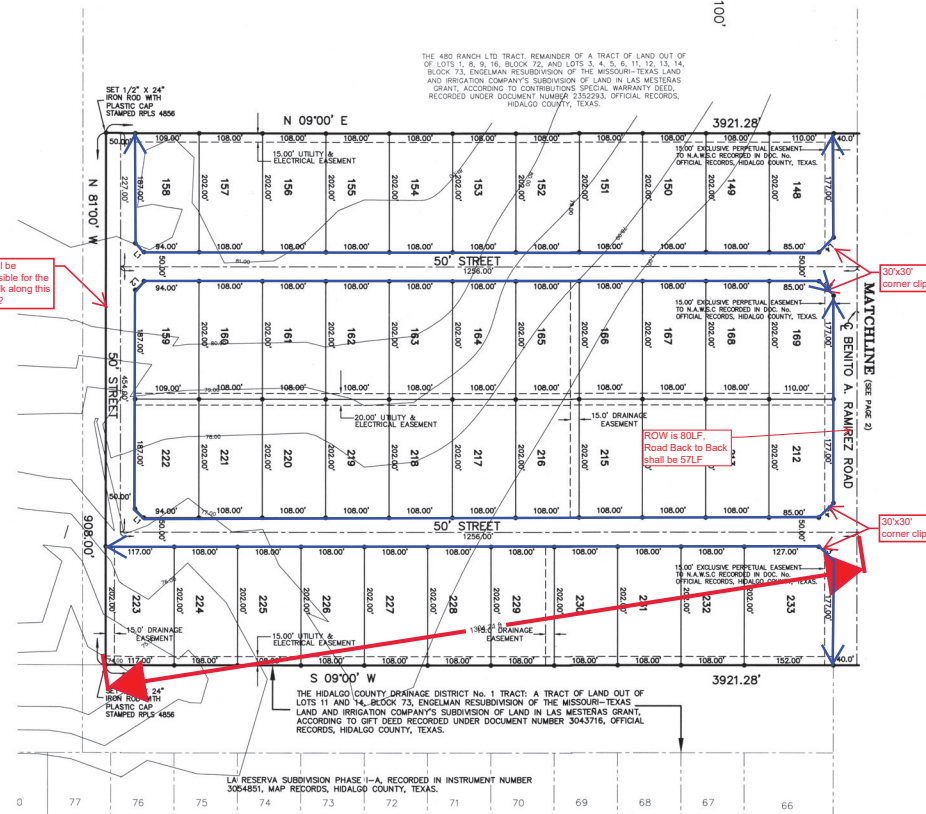
DATE OF PREPARATION: SEPTEMBER 23, 2021



**LA RESERVA SUBDIVISION PHASE II**

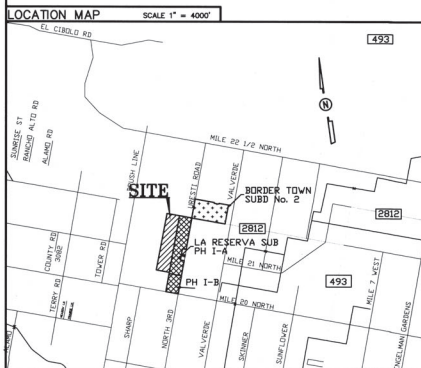
AN 81.74 ACRE TRACT OF LAND OUT OF LOTS 3, 4, 5, 6, 11 & 12, BLOCK 73, ENGELMAN RESUBDIVISION OF THE MISSOURI-TEXAS LAND AND IRRIGATION COMPANY'S SUBDIVISION OF LAND IN LAS MESTENAS GRANT, HIDALGO COUNTY, TEXAS, ACCORDING TO THE MAP OR PLAT THEREOF RECORDED IN VOLUME 6, PAGE 28, MAP RECORDS, HIDALGO COUNTY, TEXAS AND ACCORDING TO CONTRIBUTION SPECIAL WARRANTY DEED RECORDED UNDER DOCUMENT NUMBER 2352293, OFFICIAL RECORDS, HIDALGO COUNTY, TEXAS.

SCALE 1" = 100



DATA	BEARING	LENGTH
L1	S 54°00'00" W	35.36'
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L3	N 54°00'00" E	35.36'
L4	S 36°00'00" E	35.36'
L5	S 54°00'00" W	21.21'
L6	N 36°00'00" W	21.21'
L7	N 54°00'00" E	21.21'
L8	S 36°00'00" E	21.21'

AREA DATA TABLE		
LOT	S.F.	A.C.
127	26081.29	0.61
128-136	21816.00	0.51
137	22107.50	0.51
138-147	21816.00	0.50
148	26581.29	0.61
148	21907.50	0.50
149-157	21816.00	0.50
158-159	21905.50	0.50
160-168	21816.00	0.50
169	26581.29	0.61
170	26581.29	0.61
171-179	21816.00	0.51
180	22107.50	0.51
181-189	21816.00	0.50
190	26581.29	0.61
192-200	21816.00	0.50
201	22107.50	0.51
202-210	21816.00	0.50
211	26581.29	0.61
212	26581.29	0.61
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222	21905.50	0.50
223	23634.00	0.54
224-232	21816.00	0.50
233	26581.29	0.61
234	26581.29	0.61
235-243	21816.00	0.50
244	22107.50	0.51
245-253	21816.00	0.50



STATE OF TEXAS  
COUNTY OF HIDALGO

I, THE UNDERSIGNED, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECT, AND WAS MADE AND PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY DONE ON THE GROUND UNDER MY SUPERVISION.

ALFONSO QUINTANIL  
P.O. Box 4886

9-23-2021

LOCATION OF SUBDIVISION WITH RESPECT TO THE EXTRATERRITORIAL JURISDICTION OF A MUNICIPALITY:

LA RESERVA SUBDIVISION PHASE II, IS LOCATED IN CENTRAL HIDALGO COUNTY ON THE SOUTHWEST CORNER OF THE INTERSECTION OF FM 2812 AND URISTI ROAD. THE ONLY NEARBY MUNICIPALITY IS THE CITY OF EDINBURG ACCORDING TO THE OFFICIAL MAP IN THE OFFICE OF THE SECRETARY OF THE CITY OF EDINBURG (POPULATION 83,970). LA RESERVA SUBDIVISION PHASE II, LIES APPROXIMATELY 3.00 MILES FROM THE CITY LIMITS AND IT IS WITHIN THE CITY'S 3 1/2 MILE EXTRA TERRITORIAL JURISDICTION (ETJ) UNDER LOCAL GOVERNMENT CODE § 42.021. IT LIES IN PRECINCT NO. 4.

PRINCIPAL CONTACTS:

Name	Address	City & Zip	Phone	Fax
OWNER: 480 RANCH, LTD. TYLER STONE, MANAGING MEMBER	900 EAST LAKEVIEW DRIVE	McALLEN, TX 78501	(956)620-9400	
ENGINEER: MARCO A. GONZALEZ	124 E. STUBBS	EDINBURG, TX 78539	(956)381-6480	381-6480
SURVEYOR: ALFONSO QUINTANILLA	124 E. STUBBS	EDINBURG, TX 78539	(956)381-6480	

STATE OF TEXAS  
COUNTY OF HIDALGO

I, THE UNDERSIGNED, A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THE PROPER ENGINEERING CONSIDERATIONS HAVE BEEN GIVEN TO THIS PLAN.



MARCO A. GONZALEZ  
P.E. No. 120016

11-11-21  
DATE



FILED FOR RECORD IN  
HIDALGO COUNTY  
ARTURO GUAJARDO, JR.  
HIDALGO COUNTY CLERK

ON: \_\_\_\_\_ AT \_\_\_\_\_ AM/PM  
INSTRUMENT NUMBER \_\_\_\_\_  
OF THE MAP RECORDS OF HIDALGO COUNTY, TEX.

BY: \_\_\_\_\_ DEPUTY \_\_\_\_\_

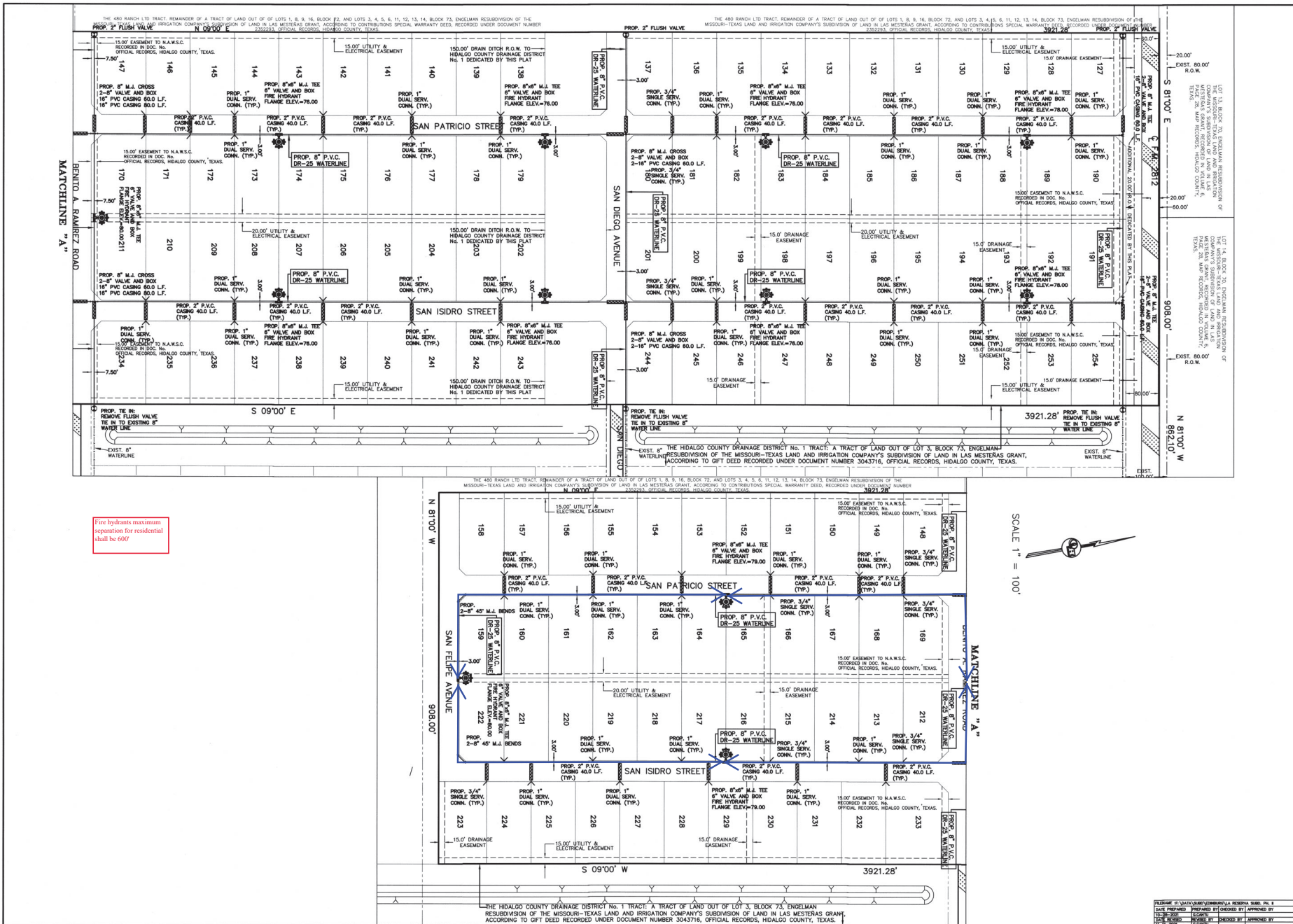
**QUINTANILLA, HEADLEY AND ASSOCIATES, INC**

CONSULTING ENGINEERS • LAND SURVEYORS  
124 E. STUBBS ST. PHONE 956-381-6480  
EDINBURG, TEXAS 78539 FAX 956-381-0527  
REGISTRATION NUMBER F-1513 ALFONSO@GHA-ENG.COM  
REVISING REGISTRATION NUMBER 100411-00

DATE OF PREPERATION: SEPTEMBER 23, 202

FILENAME : F:\DATA\SUBO\EDINBURG\LA RESERVA SUBO PH II\PLA				
DATE PREPARED 9-23-2021	PREPARED BY LG	CHECKED BY	APPROVED BY	
DATE REWSED	REVISD BY	CHECKED BY	APPROVED BY	

SHEET NO.  
3 of 6



NO.	10
DATE	12-28-2023
REVISION	100%
SCALE	1"=100'
DRAWN	FL & CONT.
SHEET	

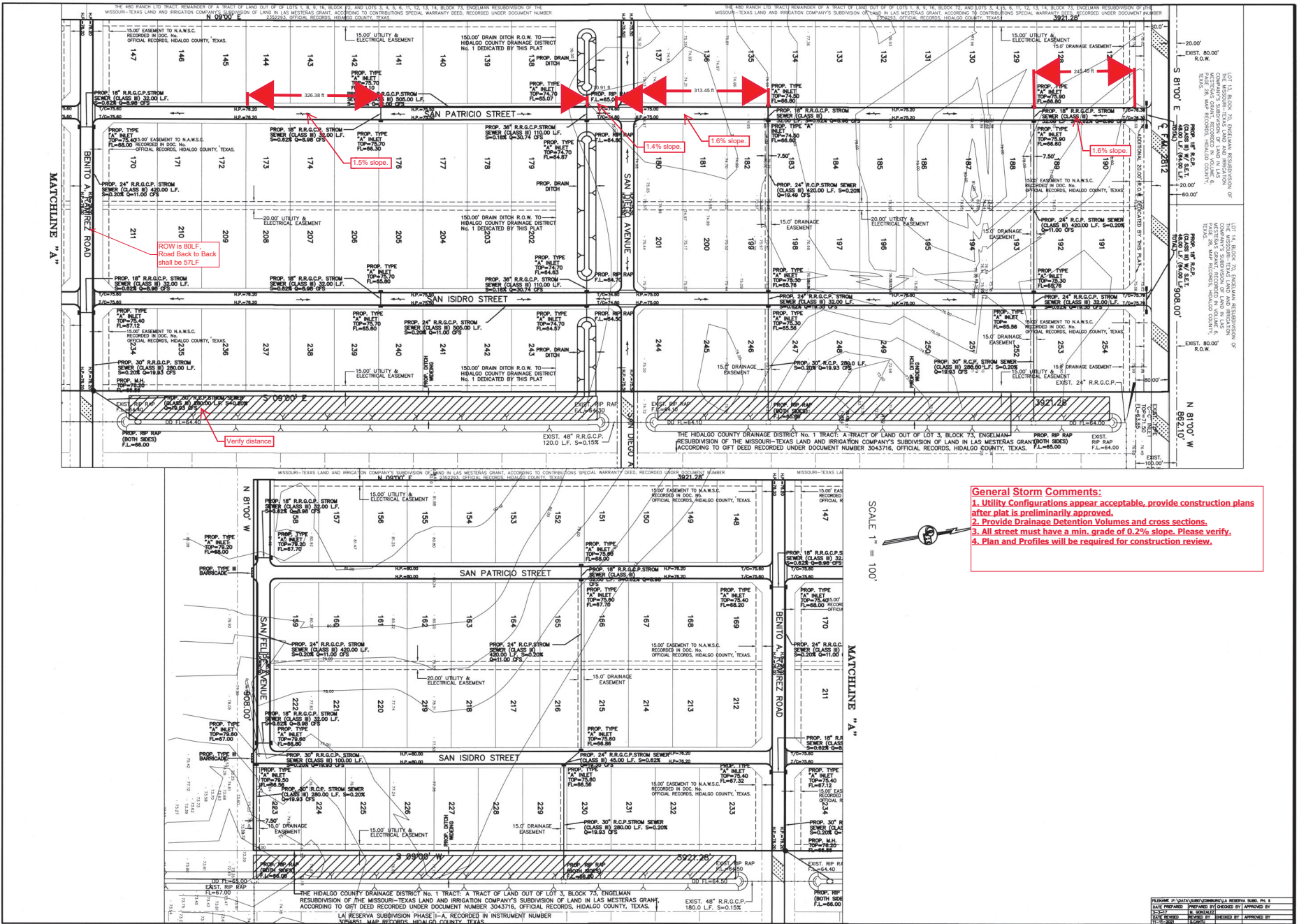
LA RESERVA SUBDIVISION  
PHASE II  
WATER DISTRIBUTION LAYOUT



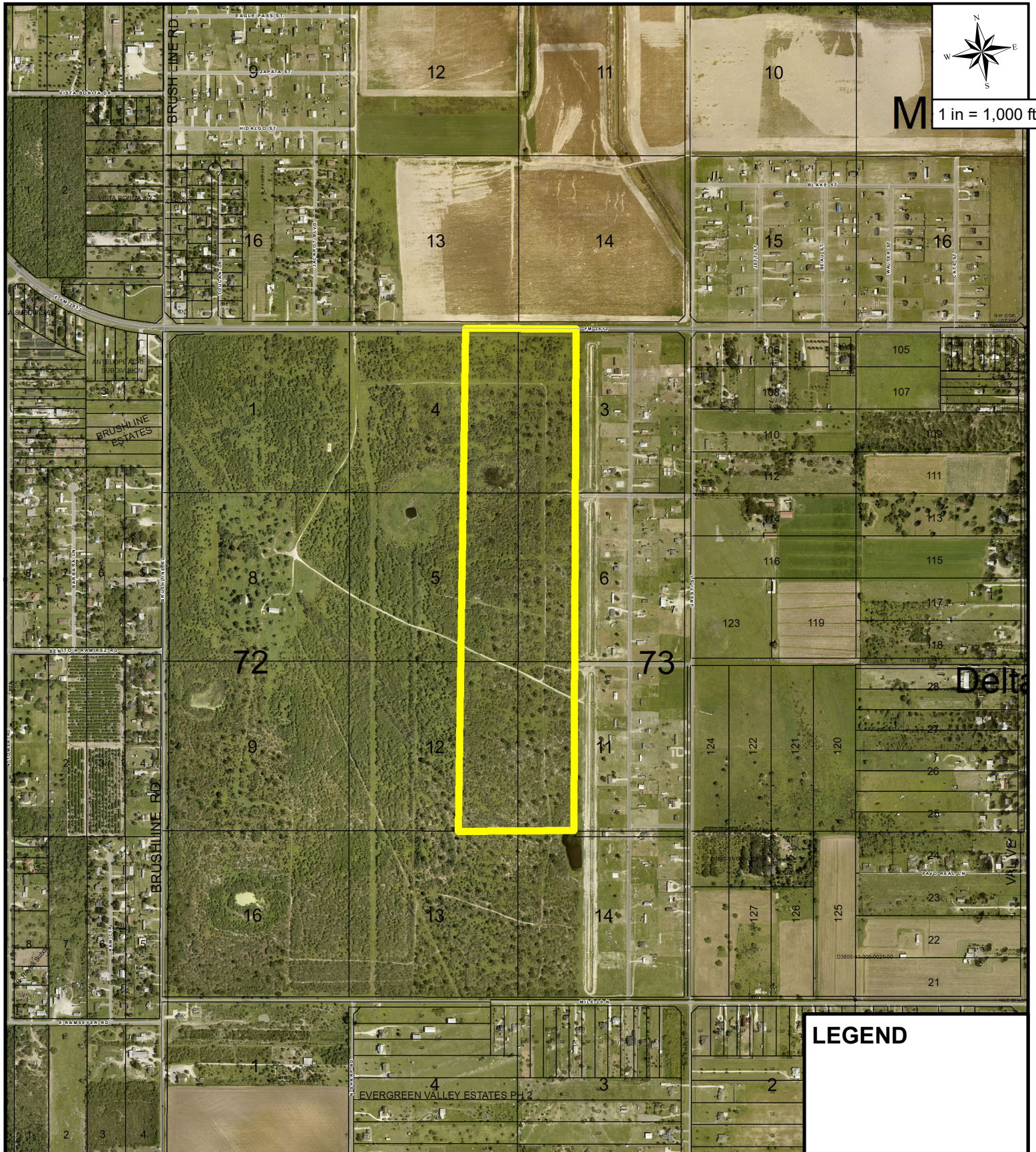
QUINTANILLA, HEADLEY AND ASSOCIATES, INC.  
LAND SURVEYORS  
CONSULTING ENGINEERS  
124 E. STUBBS ST.  
DALLAS, TEXAS 75202  
PHONE 956-381-6480  
FAX 956-381-6483  
ALFONSO@QHA-ENG.COM  
REGISTRATION NUMBER F-191-1











#### AERIAL MAP

**APPLICANT/SUBDIVISION:** QUINTANILLA, HEADLEY & ASSOCIATES, INC / LA RESERVA

#### CASE CAPTION:

CONSIDER THE PRELIMINARY PLAT OF LA RESERVA SUBDIVISION PHASE II, BEING AN 81.74 ACRE TRACT OF LAND OUT OF LOTS 3, 4, 5, 6, 11 & 12, BLOCK 73, ENGLEMAN RE-SUBDIVISION OF THE MISSOURI-TEXAS LAND AND IRRIGATION COMPANY'S SUBDIVISION OF LAND IN LAS MESTEÑEZ GRANT, LOCATED AT 8200 FM 2812, AS REQUESTED BY QUINTANILLA, HEADLEY & ASSOCIATES, INC

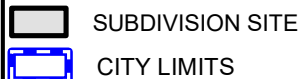
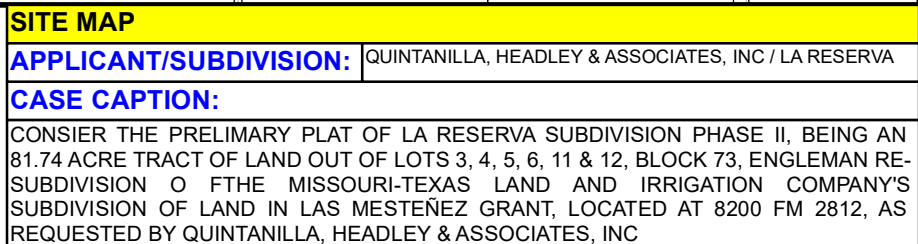
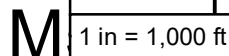
#### LEGEND



SUBDIVISION SITE

CITY LIMITS







Case #

Edinburg

Planning & Zoning Department  
415 W. University Drive  
Edinburg, Texas 78539

(956) 388-8202

## Subdivision Application

Date: \_\_\_\_\_ Request Type: Preliminary Plat

1. Developer: B&MJ, LLC General Partner to La Reserva Phase II, Ltd. 2. Owner/Contact Name: William A. Schwarz, President

3. Owner/Contact Phone: (956) 682-4128 4. Owner/Contact Email: butch11111@aol.com

5. Owner Address: 5711 N. 10th St. McAllen, TX 78504

6. Exact Name of Subdivision: La Reserva Subdivision Phase II 7. Property ID: 241214

8. Current Zoning: \_\_\_\_\_ Required Zoning: \_\_\_\_\_

10. Legal Description: \_\_\_\_\_  
An 81.74 acre tract of land out of Lots 3, 4, 5, 6, 11, & 12, Block 73, Engelman Resubdivision of the Missouri-Texas Land and Irrigation Company's Subdivision of Land in Las Mestenas Grant, Hidalgo County, Texas.

11. Inside City Limits? No If "No," is in the \_\_\_\_\_ Comprehensive Development Area ☒ Rural Development Area

12. Primary Consulting Firm: Quintanilla, Headley & Associates, Inc. 13. Phone: (956) 381-6480

14. Consulting Firm Address: 124 E. Stubbs St. Edinburg, TX 78539

15. Consulting Firm Email(s): alfonsoq@qha-eng.com

16. Desired Land Use Option: Single Family

17. Number of Lots: Single Family 84 Multi-Family \_\_\_\_\_ Commercial \_\_\_\_\_ Industrial \_\_\_\_\_

18. Proposed Wastewater Treatment: \_\_\_\_\_ Sanitary Sewer ☒ OSSF (On-Site Sewage Facility)

19. Electric Power and Light Company to Serve the Proposed Subdivision: AEP (Central Power & Light)

20. Irrigation District: \_\_\_\_\_ Potable-water Retailer: North Alamo Water Supply Corp.

Owner of record, holding title to real estate within the proposed subdivision. Ownership instrument (i.e. Title Policy, Warranty Deed and Deed of Trust) shall be submitted with application. All such owners are listed immediately below.

Owner Name(s) (Print or Type)	Owner Mailing Address & Zip Code
<u>William A. Schwarz</u>	<u>5711 N. 10th St. McAllen, TX 78504</u>
Owner Phone Number	Owner Email
<u>(956) 682-4128</u>	<u>butch11111@aol.com</u>

Have any of said owners designated agents to submit and revise this plat application on their behalf?

\_\_\_\_ Yes ☒ No (If "Yes" attached duly notarized documentation to that effect, signed by each such owner.)

The undersigned owner(s) of record (or their authorized agents) hereby agree to make all improvements and meet all requirements and standards as specified in the City of Edinburg Unified Development Code and Ordinances. The undersigned hereby request that the Edinburg Planning & Zoning Commission and the City Commission approve the attached subdivision plat. I certify that all items contained in this application and attachments (including all construction plans) are true and correct to the best of my knowledge and not in conflict with any deed restrictions or restrictive covenants. Furthermore, I understand that any omission or incorrect information may result in approval or permit being denied or revoked. Developer's requirement sheet must be completed, signed, and submitted with the application form.

Signature

Date

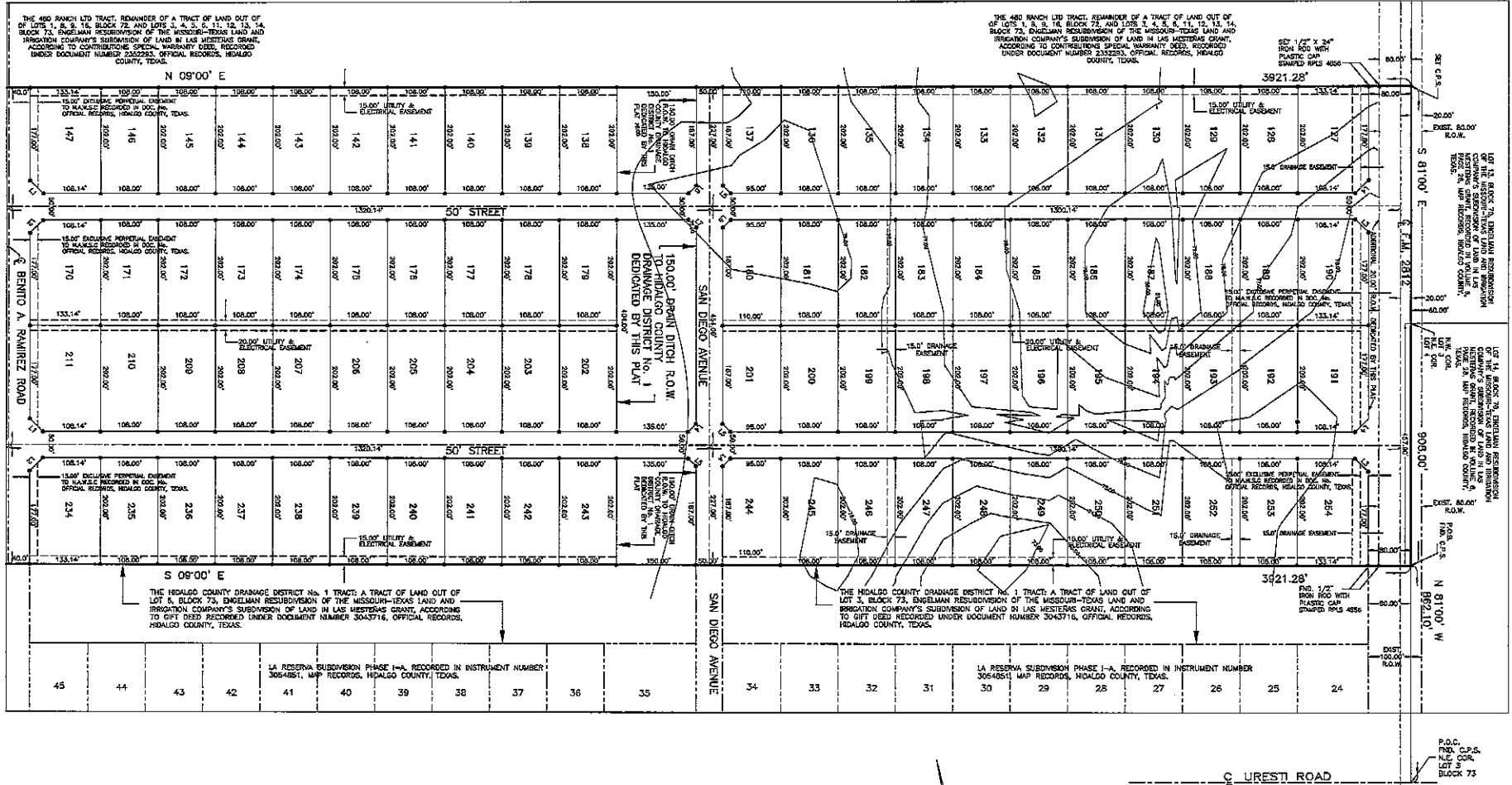
Name: 2:39



SUBDIVISION PLAT OF:

**LA RESERVA SUBDIVISION PHASE II**

AN 81.74 ACRE TRACT OF LAND OUT OF LOTS 3, 4, 5, 6, 11 & 12, BLOCK 73, ENGBELMAN RESUBDIVISION OF THE MISSOURI-TEXAS LAND AND IRRIGATION COMPANY'S SUBDIVISION OF LAND IN LAS MESTERAS GRANT, HIDALGO COUNTY, TEXAS, ACCORDING TO THE MAP OR PLAT THEREOF RECORDED IN VOLUME 6, PAGE 28, MAP RECORDS, HIDALGO COUNTY, TEXAS AND ACCORDING TO CONTRIBUTION SPECIAL WARRANTY DEED RECORDED UNDER DOCUMENT NUMBER 2352293, OFFICIAL RECORDS, HIDALGO COUNTY, TEXAS.



STATE OF TEXAS  
COUNTY OF HIDALGO

I, THE UNDERSIGNED, A LICENSED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THE PLAT IS TRUE AND CORRECT, AND WAS MADE AND PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY DESCRIBED ON THE PLAT UNDER MY SUPERVISION.



*Alfonso S. Gonzalez*  
Alfonso S. Gonzalez  
Surveyor No. 100411-00

9-23-2021  
DATE

STATE OF TEXAS  
COUNTY OF HIDALGO

I, THE UNDERSIGNED, A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THE PLAT IS TRUE AND CORRECT, AND WAS MADE AND PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY DESCRIBED ON THE PLAT UNDER MY SUPERVISION.



*Alfonso S. Gonzalez*  
Alfonso S. Gonzalez  
Engineer No. 100411-00

10-2-21  
DATE

SCALE 1" = 300'



QUINTANILLA, HEADLEY AND ASSOCIATES, INC.

CONSULTING ENGINEERS • LAND SURVEYORS  
124 E. STUDDERS ST.  
EDINBURG, TEXAS 78541  
REGISTRATION NUMBER E-1513  
SURVEYING REGISTRATION NUMBER 100411-00  
PHONE 936-381-8880  
FAX 936-381-0527  
ALFONSO@QHA-ENG.COM

**SUBDIVISION WITHIN CITY LIMITS CHECK LIST  
SUBDIVISION PROCESS**
**PRELIMINARY STAGE**

PLANNING &amp; ZONING DEPARTMENT (956) 388-8202

 Date : **December 7, 2021**

Date Filed: <b>November 12, 2021</b>	P&Z Preliminary: <b>December 14, 2021</b>	P&Z Final: _____	City Council: _____
Reviewed By: <b>Abel Beltran, Subd. Coord.</b> <a href="mailto:abeltran@cityofedinburg.com">abeltran@cityofedinburg.com</a>	Staff Review : <b>November 18, 2021</b> Staff / Engineer : <b>November 25, 2021</b>	Time Line : <b>365</b> Days 1st Extension : <b>0</b> Days 2nd Extension : <b>0</b> Days	Expires : _____ Expires 1: _____ Expires 2: _____

Planning & Zoning Department:	Kimberly A. Mendoza, MPA	Email : <a href="mailto:kmendoza@cityofedinburg.com">kmendoza@cityofedinburg.com</a>	City Office #: (956) 388-8202
Utility Department	Gerardo Carmona, P.E.	Email : <a href="mailto:gcarmona@cityofedinburg.com">gcarmona@cityofedinburg.com</a>	City Office #: (956) 388-8212
Director of Public Works	Vincent Romero	Email : <a href="mailto:layala@cityofedinburg.com">layala@cityofedinburg.com</a>	City Office #: (956) 388-8210
Director of Engineering	Mardoqueo Hinojosa, P.E., CPM	Email : <a href="mailto:mhinojosa@cityofedinburg.com">mhinojosa@cityofedinburg.com</a>	City Office #: (956) 388-8211

Owner:	William A. Schwarz, B&MJ, LLC.		5711 N. 10th Street McAllen, Texas 78504		Alfonso Quintanilla, P.E., Project Engineer	
LA RESERVA SUBDIVISION PHASE II				Consultant : Quintanilla, Headley & Associates, Inc.		
DESCRIPTION		Provided	Need to Provide	Not Applicable	Need to Revise	COMMENTS

**Subdivision Process:**

Subdivision Plat Submittal	✓				
Warranty Deed	✓				
Topography Survey	✓				
Drainage Report Submittal (As Per City Drainage Policy)	✓				Approved by H.C.D.D.#1 Date: Pending Approval
Zoning : City Limits - Commercial General	✓				
Flood Zone	✓				Zone "X" (Un-Shaded)

**Preliminary Submittals:**

Existing & Proposed Water Distribution Layout	✓				North Alamo Water Supply Corporation - Distribution System
Water Distribution System Provider:	✓				North Alamo Water Supply Corporation - Distribution System
Existing & Proposed Sewer Collection Layout		✓			County of Hidalgo O.S.S.F., (On-Site Sewage Facility)
Sanitary Sewer Collection System Provider:		✓			County of Hidalgo O.S.S.F., (On-Site Sewage Facility)
Existing and Proposed Drainage Layout System:	✓				Private Drainage System onto H.C.D.D. # 1
MPO Collector / Arterial Right-of-way Dedication	✓				Proposed Private Streets
Minor / Major Collector Street Pavement Section	✓				In Accordance to Standard Street Policy
Variances Appeals Request:		✓			Planning & Zoning Meeting Results City Council Meeting
Street Widening Improvements		✓			
Street 5-ft Sidewalk Improvements		✓			
Drainage Improvements		✓			

**Construction Plans Review Submittals:**
**(See Section 4 Construction Plans Submittals Policy, 2014 STANDARD POLICY MANUAL)**

Cover Sheet		✓			
Topography Sheet (Utilities, Bench Marks)		✓			
Sanitary Sewer Improvements: On-Site & Off-Site		✓			County of Hidalgo O.S.S.F., (On-Site Sewage Facility)
Sanitary Sewer Detail Sheets		✓			See Section 3 Utility Policy, 2014 Standard Policy Manual
Water Distribution Improvements: On-Site & Off-Site		✓			North Alamo Water Supply Standard Policy's
Water Distribution Detail Sheet (Fire Hydrant Assembly)		✓			See Section 3 Utility Policy, 2014 Standard Policy Manual
Drainage Improvements:		✓			
Drainage Detail Sheets		✓			See Section 1 Drainage Policy, 2014 Standard Policy Manual
Minor/Major Collector Streets Improvements:		✓			See Section 2 Streets Policy, 2014 Standard Policy Manual
Street Sign Sheet:		✓			
Street Detail Sheets		✓			See Section 2 Streets Policy, 2014 Standard Policy Manual
Street Lighting Sheet:		✓			
Traffic Control Plan:		✓			
Erosion Control Plan		✓			
Erosion Control Plan Detail Sheet		✓			See Storm Water Management, 2014 Standard Policy Manual

DESCRIPTION	Provided	Need to Provide	Not Applicable	Need to Revise	COMMENTS
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**Pre-Construction Meeting:**

Notice To Proceed		✓			Dated:
Roadway Open-Cut or Bore Permit Application		✓			Dated:
TX-Dot Water UIR Permit			✓		
TX-Dot Sewer UIR Permit			✓		
N.O.I. Submittal		✓			Dated:
SWPP Booklet Submittal		✓			Dated:
RFI #1 Request		✓			Dated:
Change Orders		✓			Dated:
Final Walk Though		✓			Dated:
Punch List		✓			Dated:
Punch List (Completed and Approved)		✓			Dated:
Letter of Acceptance		✓			Dated:
1-year Warranty (Water/Sewer/Paving/Drainage)		✓			Dated:
Backfill Testing Results		✓			Dated:
As-Builts (Revised Original Submittal)		✓			Dated:

**Recording Process:**

Public Improvements with (Letter of Credit)		✓			Dated:	Expires:
Recording Fees	\$ 106.00	✓			As required by County Clerks office	
Copy of H.C.D.D. #1 of invoice		✓			Required to be paid prior to Final Stages	
Street Escrow -Benito Ramirez Rd (57-ft.)	\$ 123,896.33	✓			Required: 908	EA. @ \$ 136.45
Street Escrow - Road (00-ft B-B)			✓		Required:	EA. @
Sidewalk Escrow: Trenton Road	\$ 38,200.00	✓			Required: 1528	LF @ \$ 25.00
TOTAL OF ESCROWS:	\$ 162,096.33					
Total Developer's Construction Cost: (Letter of Credit)					Date :	Lender :
Laboratory Testing Fee: 3%	\$ -	✓			\$ -	Estimated Construction Cost
Inspection Fee: 2%	\$ -	✓			\$ -	Final Construction Cost
Park Land Fees: Park Zone # 4	\$ 25,200.00	✓			84 Lots @ \$ 300.00	Full rate within the ETJ
0 Residential \$ -	\$ -		✓		50% Development	50% Building Stage
0 Multi-Family \$ -	\$ -		✓		0% Development	0% Building Stage
Water Rights: NAWSC - CCN	\$ -		✓		81.74 Acres	\$ -
Water 30-year Letter (Residential)	\$ -		✓		84 Lots @ \$ -	NAWSC WATER-CCN
Water 30-year Letter (Multi-Family)	\$ -		✓		0 Lots @ \$ -	
Sewer 30-year Letter NAWSC - CCN	\$ -		✓		84 Lots @ \$ -	COUNTY O.S.S.F
TOTAL OF FEES:	\$ 25,200.00					

**Reimbursements:**

Developer Sewer Improvements	\$ -		✓		Off-Site System: 0.000	AC	\$ -
Developer Water Improvements	\$ -		✓		Off-Site System 0.00	AC	\$ -
TOTAL OF REINBURSEMENTS:	\$ -						

**Buyouts:**

North Alamo Water Supply Corporation	\$ -		✓		Required Buyout 0.00	AC.	\$ -
Sharyland Water Supply Corporation			✓		Not Applicable		

**Tax Certificates**

County of Hidalgo / School District		✓					
Water District		✓			Hidalgo County Irrigation District # 1		

**Total of Escrows, Fees, Reimbursements and Buyouts:**

Escrows	\$ 162,096.33	Street & Sidewalk Improvements for Trenton Road (Not Required)					
Inspections other Fees	\$ 25,200.00	Parkland Fees, Water/Sewer 30-year Agreement/Water Rights					
Reimbursements	\$ -	Reimbursement to the Developer of <b>Subdivision</b>					
City of Edinburg	\$ -	15% Payable to the City of Edinburg for Administrative Fee					
To the Developer of Record	\$ -	85% Payable to the Developer of Record Owner / Developer					
Buyouts	\$ -	Based on Subdivision (Need Request and Approval rate from ? Broad)					
TOTAL :	\$ 187,296.33	Developer Total Cost of Fees, Escrows, Reimbursements & Buyouts					



## STAFF REPORT: LOS CORTIJOS SUBDIVISION

November 29, 2021

Planning and Zoning Meeting: December 14, 2021

Agenda Item: **6D** Preliminary Plat

---

Subject:	Consider the Preliminary Plat of <b>LOS CORTIJOS SUBDIVISION</b> , being a 60.0 acre tract out of Lot 13, Block 57, Alamo Land and Sugar Company's Subdivision, located at 7601 East Trenton Road, as requested by Melden & Hunt, Inc.
Location:	The property is located on the north side of East Trenton Road, approximately 3,000 ft. east of South Tower Road and is within the City of Edinburg's Extra Territorial Jurisdiction (ETJ), approximately 2.8 miles from the most eastern City limit boundary line.
Zoning:	Setbacks will be determined by the Hidalgo County since property is in the ETJ.
Analysis:	The Preliminary Plat proposes a single-family residential development with a total of two hundred and sixty-two (262) lots averaging approximately 7,250 sq. ft. The maximum block length allowed by the UDC is 800 ft. based on the proposed plat the block length would be 1,642 ft. on the north & south side and 885 ft. on the east and west side.
Utilities:	Water Distribution System and Sanitary Sewer Collection System is within North Alamo Water Supply Corporation - CCN service area. All utility improvements within the proposed subdivision that are not limited to water, sewer, curb & gutter, and fire hydrants will be installed by the developer in accordance with the approved County of Hidalgo Standards.

---

### Recommendations:

#### **City of Edinburg Planning & Zoning Department:**

Staff recommends approval of the Preliminary Plat, subject to compliance with the Unified Development Code (UDC), General Notes; on FEMA flood zone, zoning setbacks, finish floor elevation, benchmark, drainage detention, parkland fees, limited access, SWP3 requirements, sidewalks, and other notes as required based on development.

#### **City of Edinburg Engineering / Utilities Department:**

Preliminary Phase Submittal comments for this subdivision are included in the packet. As per Engineering, the plat shall be preliminarily approved until all comments have been addressed by the project engineer.

**City of Edinburg Fire Department:**

The following are the preliminary phase submittal comments as noted by the Fire Department:

1. Fire lane 15 ft. in width shall be painted in front of all fire hydrants.
2. Provide double face blue fire hydrant street marker on center on the street in front of the fire hydrant.
3. Fire hydrant shall be every 600 ft. for one and two family dwellings as per Section 507.5.1 of 2012 IFC.

**City of Edinburg Storm Water:**

The following are the preliminary phase submittal comments as noted by Storm Water:

1. **SW3P** ( Stormwater Pollution Prevention Plan)
2. **NOI** (Notice of Intent, Per TCEQ)
3. **Large Construction Notice** (Per TCEQ Inventory)
4. **Detailed Erosion Control Plan** (Silt Fence, Construction Entrance, Inlet Protection, Concrete Washout)
5. **Detailed Post Construction BMP's Plan** (70% Vegetation or Silt Fence back of curb)
6. **Plat Note** (All construction shall comply with Stormwater Pollution Prevention Plan (SW3P) requirements. Erosion and Sedimentation Controls constructed in accordance with the Stormwater Ordinance 98.30 of the City of Edinburg are required for all construction on each lot including single family and duplex/multi-family construction)
7. **NOT** (Notice of Termination, Per TCEQ) will now be required before the final walk through.
8. **Comments:**
  - SW3P Plat note has been revised. Please see the note for your reference.
  - NOT will need to be submitted before the final walk through.
  - Stormwater is now requiring a Post Construction Plan on plans that are submitted, either 70% vegetation or Install Silt Fence behind the back of curb.
  - Silt Fence around the entire project.
  - Large Construction Notice needs to be submitted with contractors contact information.
  - All items must be submitted before the NTP is issued.
  - Please email pending items to [rvalenzuela@cityofedinburg.com](mailto:rvalenzuela@cityofedinburg.com).

**City of Edinburg Solid Waste:**

Single Family Residential Development is within City of Edinburg (ETJ) Limits.



## ENGINEERING DEPARTMENT

### Preliminary Staff Review

December 7, 2021

**Alfonso Quintanilla, P.E.**

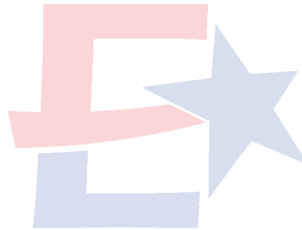
Quintanilla, Headley and Associates  
124 E. Stubbs St.  
Edinburg, TX 78539  
(956) 381-6480

**RE: LA RESERVA SUBDIVISION PHASE 2 – PRELIMINARY REVIEW**

Mr. Quintanilla,

Attached are the Preliminary Phase Submittal comments for La Reserva Subdivision Phase 2. Submittal is adequate as presented and recommended for preliminary approval.

Any questions feel free to contact us.



Thanks,

Digitally signed by Peter  
Hermida  
Date: 2021.12.07  
11:37:58 -06'00'

Peter Hermida E.I.T.

Email: [phermida@cityofedinburg.com](mailto:phermida@cityofedinburg.com)

415 W. University Drive  
Edinburg, Texas 78539

Cc: Mardoqueo Hinojosa, P.E., CFM, City Engineer, Patrizia Longoria, Engineer III, Roberto Hernandez, Engineer I, Abel Beltran, Planner I, Vince Romero, Director of Public Works, Robert Valenzuela, Storm Water Specialist, Kimberly Mendoza, Director of Planning and Zoning, Rita Lee Guerrero, Planner I, Jaime Xavier Ayala, Planner II, Gerardo Carmona P.E., Director of Utilities, Jose Flores, Systems Superintendent, Omar Garza, Fire Marshal, Ramiro Gomez, Director of Solid Waste

**REFERENCES:**

City of Edinburg – 2014 Standard Manual – Construction and Development Requirements;  
Unified Development Code; and if required a TX-Dot Permitting UIR permitting process.







SUBDIVISION PLAT OF:  
**LA RESERVA SUBDIVISION PHASE II**  
AN 81.74 ACRE TRACT OF LAND OUT OF LOTS 3, 4, 5, 6, 11 & 12, BLOCK 73, ENGELMAN RESUBDIVISION OF THE MISSOURI-TEXAS LAND AND IRRIGATION COMPANY'S SUBDIVISION OF LAND IN LAS MESTERAS GRANT, HIDALGO COUNTY, TEXAS, ACCORDING TO THE MAP OR PLAT THEREOF RECORDED IN VOLUME 6, PAGE 28, MAP RECORDS, HIDALGO COUNTY, TEXAS AND ACCORDING TO CONTRIBUTION SPECIAL WARRANTY DEED RECORDED UNDER DOCUMENT NUMBER 2352293, OFFICIAL RECORDS, HIDALGO COUNTY, TEXAS.

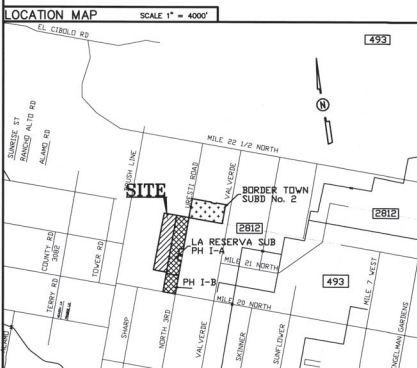
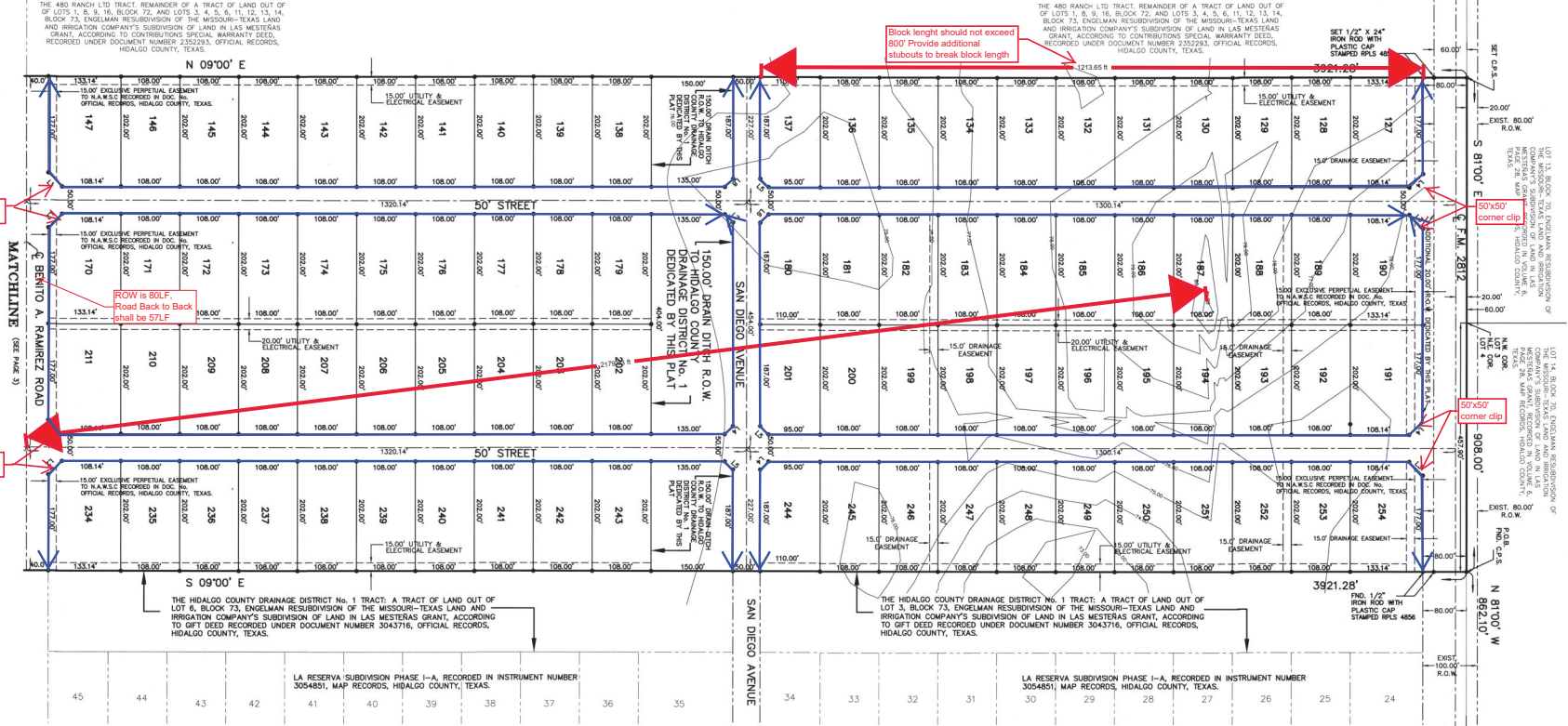
Utility Easements required in the front

SCALE 1" = 100'



LINE DATA TABLE		
DATA	BEARING	LENGTH
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L2	N 38°00'00" W	108.00'
L3	N 54°00'00" E	303.30'
L4	S 38°00'00" E	108.00'
L5	S 54°00'00" W	21.21'
L6	N 38°00'00" W	21.21'
L7	N 54°00'00" E	21.21'
L8	S 38°00'00" E	21.21'

AREA DATA TABLE		
LOT	SF	AC
127	25581.29	0.61
128-136	21816.00	0.50
137	22027.50	0.51
138-146	21816.00	0.50
147	25581.29	0.61
148	21907.50	0.50
149-157	21816.00	0.50
158-159	21905.50	0.50
160-168	21816.00	0.50
169	21907.50	0.50
170	25581.29	0.61
171-179	21816.00	0.50
180	22027.50	0.51
181-189	21816.00	0.50
190-191	25581.29	0.61
192-200	21816.00	0.50
201	22027.50	0.51
202-210	21816.00	0.50
211	25581.29	0.61
212	21907.50	0.50
213-221	21816.00	0.50
222	21905.50	0.50
223	23834.00	0.54
224-232	21816.00	0.50
233	30391.50	0.70
234	25581.29	0.61
235-243	21816.00	0.50
244	22027.50	0.51
245-253	21816.00	0.50
254	25581.29	0.61



STATE OF TEXAS  
COUNTY OF HIDALGO

I, THE UNDERSIGNED, A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THIS PLAT IS TRUE AND CORRECT, AND WAS MADE AND PREPARED FROM AN ACTUAL SURVEY OF THE PROPERTY DONE ON THE GROUND UNDER MY SUPERVISION.

**ALFONSO QUINTANILLA**  
R.P.L.S. No. 4856

9-23-2021  
DATE

LOCATION OF SUBDIVISION WITH RESPECT TO THE EXTRATERRITORIAL JURISDICTION OF A MUNICIPALITY:

LA RESERVA SUBDIVISION PHASE II IS LOCATED IN CENTRAL HIDALGO COUNTY ON THE SOUTHWEST CORNER OF THE INTERSECTION OF FM 2812 AND URESTI ROAD. THE ONLY NEARBY MUNICIPALITY IS THE CITY OF EDINBURG ACCORDING TO THE OFFICIAL MAP IN THE OFFICE OF THE SECRETARY OF THE CITY OF EDINBURG (POPULATION 83,970). LA RESERVA SUBDIVISION PHASE II LIES APPROXIMATELY 3.00 MILES FROM THE CITY LIMITS AND IT IS WITHIN THE CITY'S 3 1/2 MILE EXTRA TERRITORIAL JURISDICTION (ETJ) UNDER LOCAL GOVERNMENT CODE § 42.021. IT LIES IN PRECINCT No. 4.

STATE OF TEXAS  
COUNTY OF HIDALGO

I, THE UNDERSIGNED, A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THE PROPER ENGINEERING CONSIDERATIONS HAVE BEEN GIVEN TO THIS PLAT.

**MARCO A. GONZALEZ**  
P.E. No. 120016

11-4-21  
DATE

**General Comments:**

1. Plat and Metes and Bounds Description shall include a POC, must also have Northing and Easting Coordinates
2. Provide trip generation Worksheet, attached
3. Utility Configurations appear acceptable, pending road configurations, then after provide construction plans after plat is preliminarily approved.
4. Once a drainage Plan and Profiles and Drainage areas are provided,
5. Provide SWOP. Signage and Striping, Lighting, Storm, Paving Plan and Profile for Construction Plans Review
6. Block length is greater than 800ft. Revise
7. Properties and adjacent properties shall not be landlocked from proposed development
8. Verify all storm pipes length.
9. Coordinate with Sergio Castro (Engineering Dept.) to finalize street names (956)388-8211, shall be required prior to NTP.

Provide GPS coordinates

FILED FOR RECORD IN  
HIDALGO COUNTY  
ARTURO GUJARDO, JR.  
HIDALGO COUNTY CLERK

ON: \_\_\_\_\_ AT \_\_\_\_\_ AM/PM  
INSTRUMENT NUMBER \_\_\_\_\_  
OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS

BY: \_\_\_\_\_ DEPUTY

**QUINTANILLA, HEADLEY AND ASSOCIATES, INC.**

CONSULTING ENGINEERS

LAND SURVEYORS

480 RANCH LTD. TRACT, REMAINDER OF A TRACT OF LAND OUT OF LOTS 1, 8, 9, 16, BLOCK 72, AND LOTS 3, 4, 5, 6, 11, 12, 13, 14, BLOCK 73, ENGELMAN RESUBDIVISION OF THE MISSOURI-TEXAS LAND AND IRRIGATION COMPANY'S SUBDIVISION OF LAND IN LAS MESTERAS GRANT, ACCORDING TO CONTRIBUTIONS SPECIAL WARRANTY DEED, RECORDED UNDER DOCUMENT NUMBER 2352293, OFFICIAL RECORDS, HIDALGO COUNTY, TEXAS.

DATE OF PREPARATION: SEPTEMBER 23, 2021

FILED NAME: F:\DATA\SUBD\EDINBURG\LA RESERVA SUBD PH II\PLAT	DATE PREPARED	PREPARED BY	CHECKED BY	APPROVED BY
9-23-2021	10	10	10	10
11-11-2021	10	10	10	10

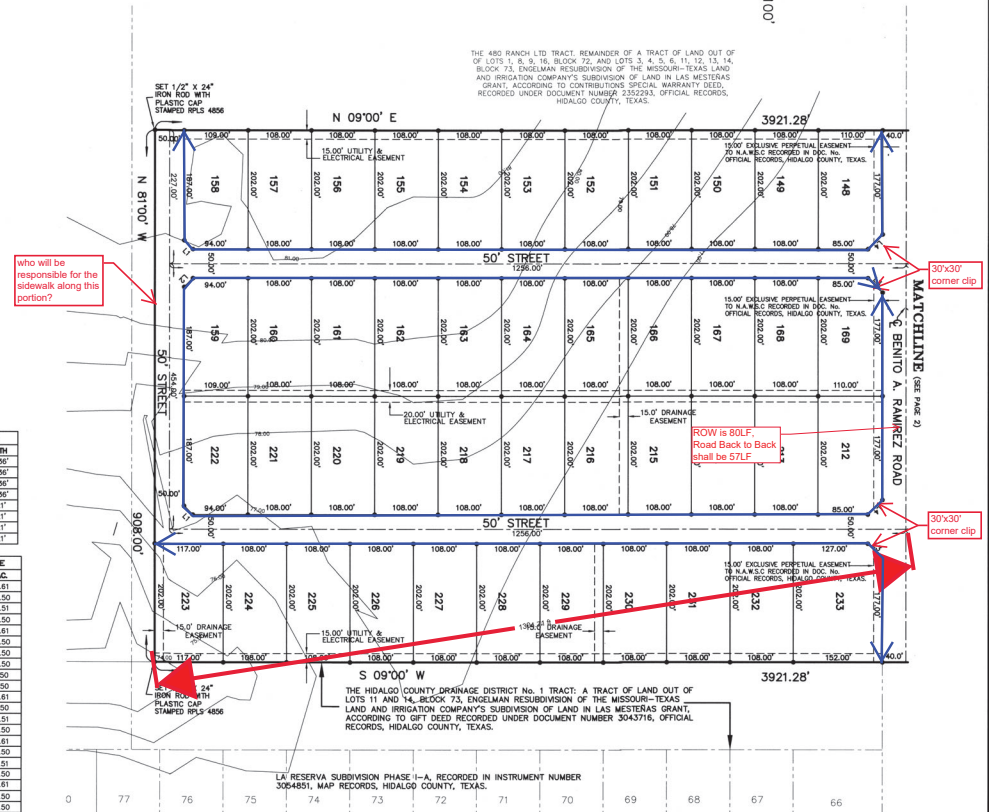
**SHEET NO.**  
2 of 6

SUBDIVISION PLAT OF:

## LA RESERVA SUBDIVISION PHASE II

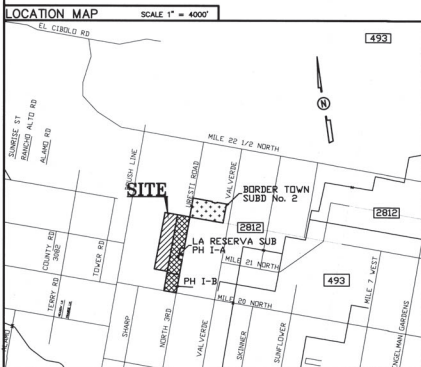
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SCALE 1" = 100'



LINE DATA TABLE		
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L3	N 54°00'00" E	35.36'
L4	S 36°00'00" E	35.36'
L5	S 54°00'00" W	21.21'
L6	N 36°00'00" W	21.21'
L7	N 54°00'00" E	21.21'
L8	S 36°00'00" E	21.21'

AREA DATA TABLE		
LOT	S.F.	AC.
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138-146	21816.00	0.50
147	26581.29	0.61
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149-157	21816.00	0.50
158-159	21905.50	0.50
160-168	21816.00	0.50
169	21907.50	0.50
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COUNTY OF HIDALGO

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ALFONSO QUINTANILLA  
K.P.L.S. No. 4856

9-23-2021  
DATE

LOCATION OF SUBDIVISION WITH RESPECT TO THE EXTRATERRITORIAL JURISDICTION OF A MUNICIPALITY:

LA RESERVA SUBDIVISION PHASE II IS LOCATED IN CENTRAL HIDALGO COUNTY ON THE SOUTHWEST CORNER OF THE INTERSECTION OF FM 2812 AND US-90. THE ONLY NEAREST MUNICIPALITY IS THE CITY OF EDINBURG. ACCORDING TO THE OFFICIAL MAP IN THE OFFICE OF THE SECRETARY OF THE CITY OF EDINBURG (POPULATION 83,670), LA RESERVA SUBDIVISION PHASE II LIES APPROXIMATELY 3.00 MILES FROM THE CITY LIMITS AND IT IS WITHIN THE CITY'S 3 1/2 MILE EXTRA TERRITORIAL JURISDICTION (ETJ) UNDER LOCAL GOVERNMENT CODE § 42.021. IT LIES IN PRECINCT No. 4.

PRINCIPAL CONTACTS:

Name	Address	City & Zip	Phone	Fax
OWNER:	480 RANCH, LTD.	WALLACE, TX 75801	(956)830-8400	
OWNER:	TYLER STONE, MANAGING MEMBER	800 EAST LAKEVIEW DRIVE		
OWNER:	MARCO A. GONZALEZ	124 E. STUBBS	(956)381-6480	381-6527
SURVEYOR:	ALFONSO QUINTANILLA	124 E. STUBBS	(956)381-6480	381-6527



QUINTANILLA, HEADLEY AND ASSOCIATES, INC.

CONSULTING ENGINEERS

LAND SURVEYORS

124 E. STUBBS ST.  
EDINBURG, TEXAS 78838  
SURVEYING REGISTRATION NUMBER 100411-00

STATE OF TEXAS  
COUNTY OF HIDALGO

I, THE UNDERSIGNED, A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT THE PROPER ENGINEERING CONSIDERATIONS HAVE BEEN GIVEN TO THIS PLAT.



MARCO A. GONZALEZ  
P.E. No. 120016

11-11-21  
DATE



FILED FOR RECORD IN  
HIDALGO COUNTY  
ARTURO GUJARDO, JR.  
HIDALGO COUNTY CLERK

ON: \_\_\_\_\_ AT \_\_\_\_\_ AM/PM

INSTRUMENT NUMBER \_\_\_\_\_  
OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS

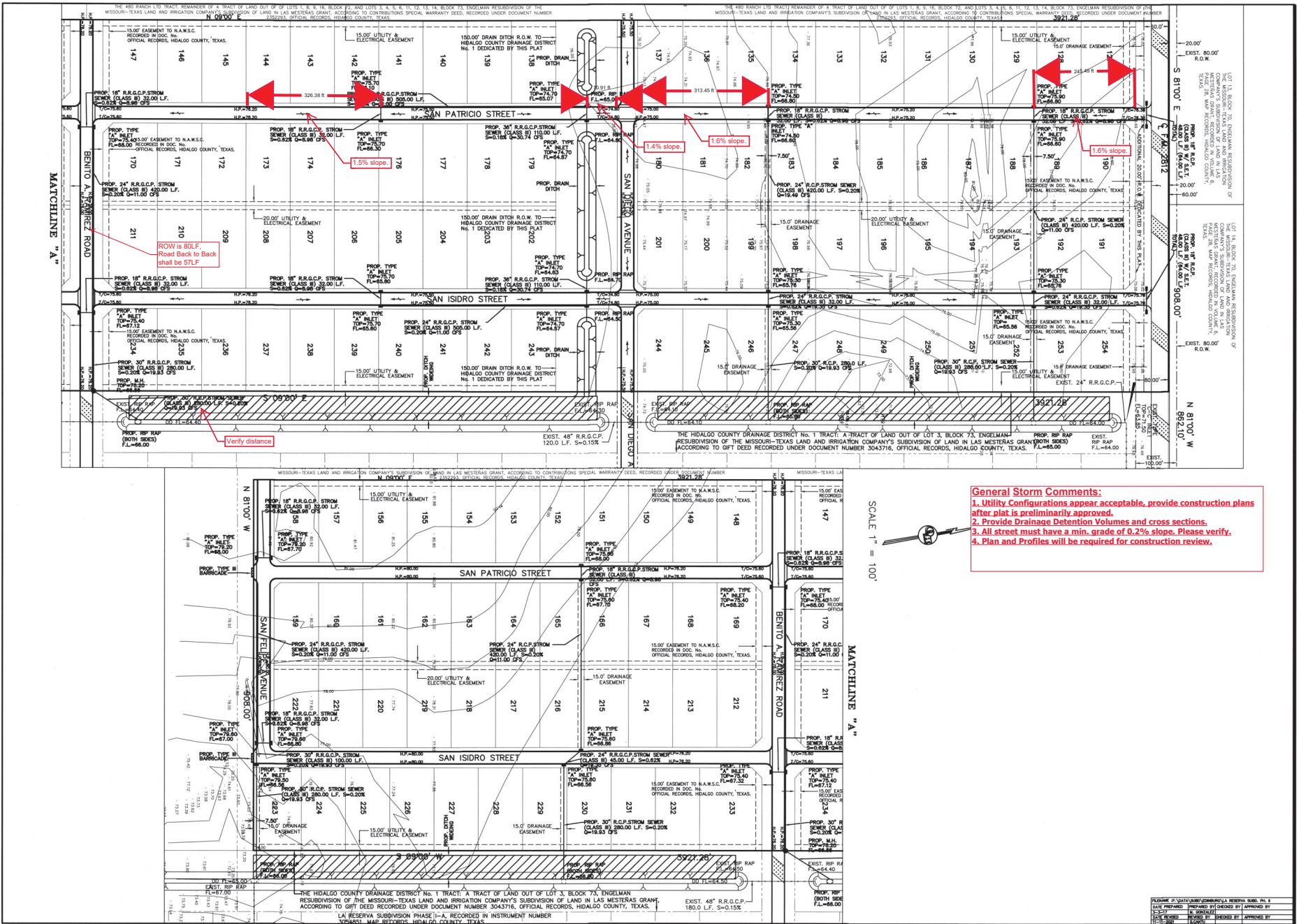
BY: \_\_\_\_\_ DEPUTY

FILENAME: F:\DATA\SUB\EDINBURG\LA RESERVA SUB PH II\PLAT	DATE PREPARED	PREPARED BY	CHECKED BY	APPROVED BY
9-23-2021	LF			
DATE REVISOR	REVISOR BY	CHECKED BY	APPROVED BY	
11-11-21	SCOTT			

SHEET NO.  
3 of 6







**General Storm Comments:**  
1. Utility Configurations appear acceptable, provide construction plans after plat is preliminarily approved.  
2. Provide Drainage Detention Volumes and cross sections.  
3. All street must have a min. grade of 0.2% slope. Please verify.  
4. Plan and Profiles will be required for construction review.

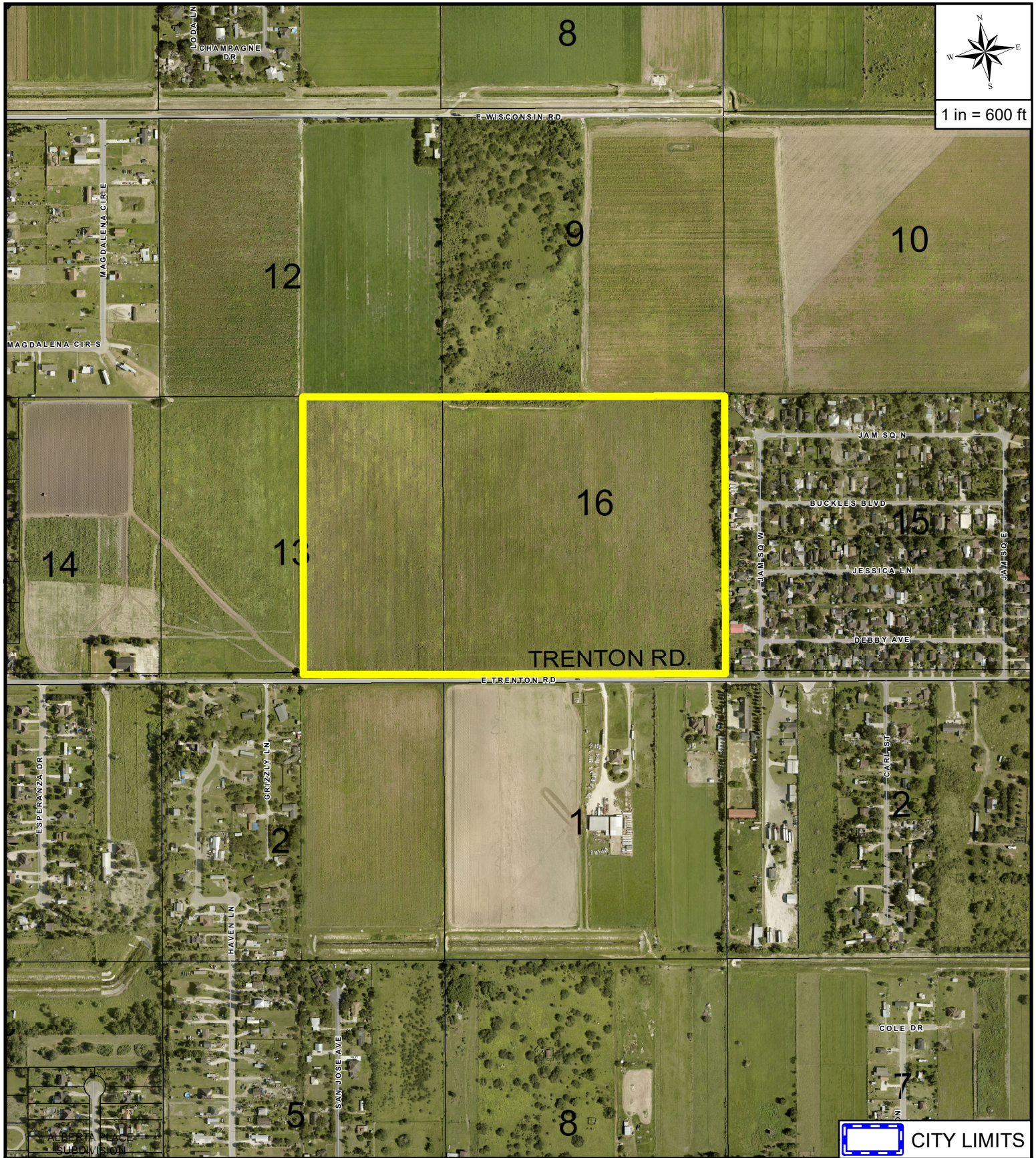
NO.	DATE	REVISION	BY	DATE
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**LA RESERVA SUBDIVISION  
PHASE II  
PAVING AND DRAINAGE LAYOUT**



**QUINTANILLA, HEADLEY AND ASSOCIATES, INC.**  
CONSULTING ENGINEERS  
24 E. STUBBS ST. SUITE 100  
HOUSTON, TEXAS 77055  
PHONE: 281-995-0927  
FAX: 281-995-0927  
OFFICE@QHAENGINEERING.COM  
REGISTRATION NUMBER F-1913





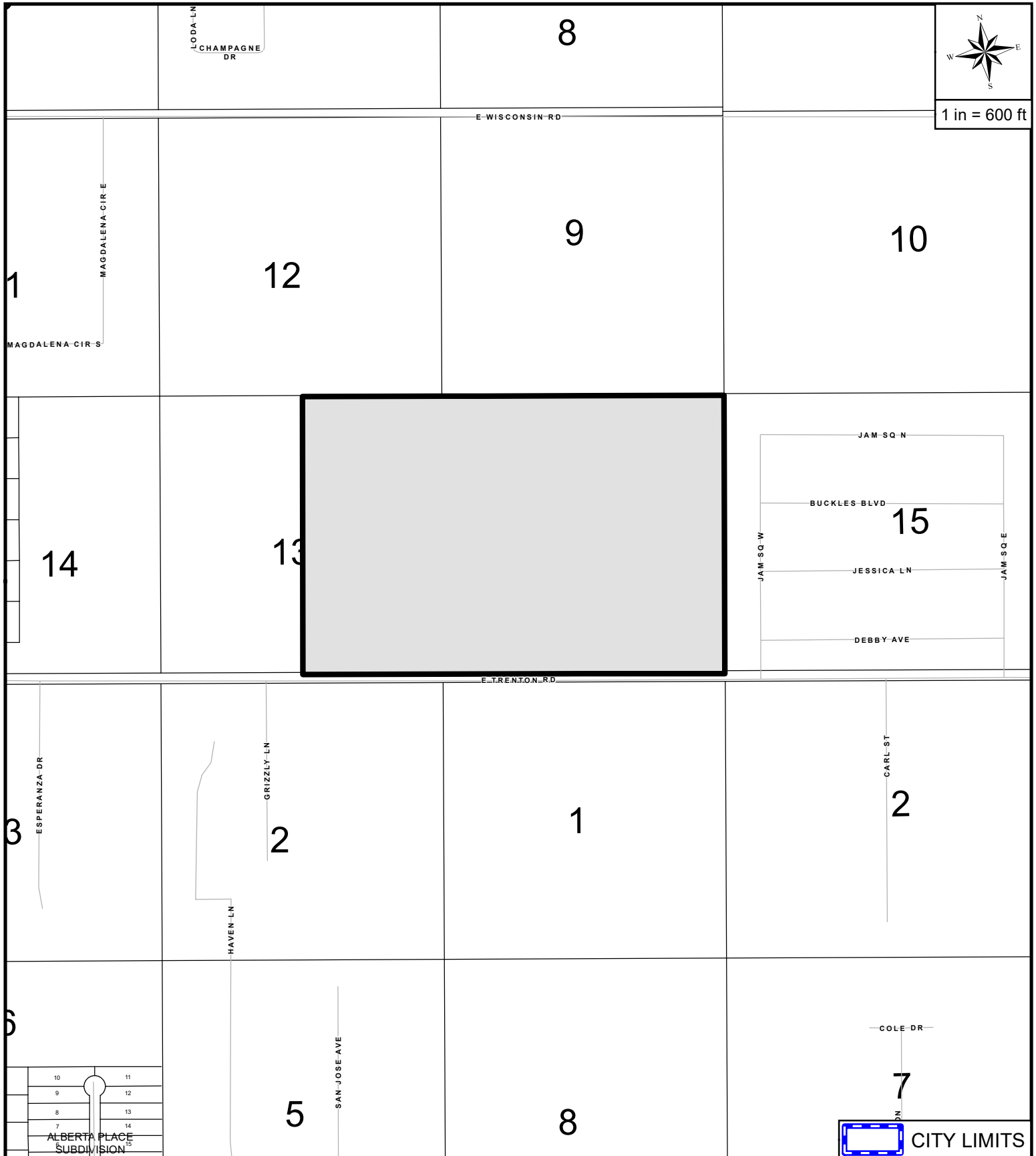
AERIAL MAP	
APPLICANT/SUBDIVISION:	LOS CORTIJOS SUBDIVISION
CASE CAPTION:	CONSIDER THE PRELIMINARY PLAT OF LOS CORTIJOS SUBDIVISION, BEING A 60.0 ACRE TRACT OF LAND OUT OF THE EAST ½ OF LOT 13, BLOCK 57, ALL OF LOT 16, BLOCK 58 ALAMO LAND AND SUGAR COMPANY'S SUBDIVISION, LOCATED AT 7601 TRENTON RD, AS REQUESTED BY MELDEN & HUNT, INC.

CITY LIMITS

**LEGEND**

APPLICANT SITE





	<b>SITE MAP</b>	
	<b>APPLICANT/SUBDIVISION:</b>	LOS CORTIJOS SUBDIVISION
	<b>CASE CAPTION:</b>	
	CONSIDER THE PRELIMINARY PLAT OF LOS CORTIJOS SUBDIVISION, BEING A 60.0 ACRE TRACT OF LAND OUT OF THE EAST ½ OF LOT 13, BLOCK 57, ALL OF LOT 16, BLOCK 58 ALAMO LAND AND SUGAR COMPANY'S SUBDIVISION, LOCATED AT 7601 TRENTON RD, AS REQUESTED BY MELDEN & HUNT, INC.	



Case #

**Edinburg** THE CITY OFPlanning & Zoning Department  
415 W. University Drive  
Edinburg, Texas 78539

(956) 388-8202

# Subdivision Application

Date: **November 1, 2021**Request Type: **Preliminary Plat****Final Plat**

1. Developer: **Cayetano Development, LLC** 2. Owner/Contact Name: **Frank Villanueva, Abigail V, Julia V**  
3. Owner/Contact Phone: **381-0981** 4. Owner/Contact Email: **mario@meldenandhunt.com**  
5. Owner Address: **3413 Grandora Dr. San Juan, TX 78589/708 Avocet Ave McAllen, TX 78504/2316 N. I St. McAllen, TX 78501**  
6. Exact Name of Subdivision: **Los Cortijos** 7. Property ID: **113506**  
8. Current Zoning: **N/A** Required Zoning: \_\_\_\_\_  
10. Legal Description: \_\_\_\_\_  
**Being 60.00 acres o/o the East half of Lot 13, Block 57 and all of Lot 16, Block 58, Alamo Land & Sugar Co.**

11. Inside City Limits? **No** If "No," is in the ☒ Comprehensive Development Area ☐ Rural Development Area  
12. Primary Consulting Firm: **Melden & Hunt, Inc** 13. Phone: **(956) 381-0981**  
14. Consulting Firm Address: **115 W. McIntyre Street Edinburg, TX 78541**  
15. Consulting Firm Email(s): **mario@meldenandhunt.com**  
16. Desired Land Use Option: **Single Family**  
17. Number of Lots: Single Family **235** Multi-Family \_\_\_\_\_ Commercial \_\_\_\_\_ Industrial \_\_\_\_\_  
18. Proposed Wastewater Treatment: ☒ Sanitary Sewer ☐ OSSF (On-Site Sewage Facility)  
19. Electric Power and Light Company to Serve the Proposed Subdivision: **Magic Valley Electric Co-op**  
20. Irrigation District: **Hidalgo County No. 2** Potable-water Retailer: **North Alamo Water Supply Corp.**

Owner of record, holding title to real estate within the proposed subdivision. Ownership instrument (i.e. Title Policy, Warranty Deed and Deed of Trust) shall be submitted with application. All such owners are listed immediately below.

Owner Name(s) (Print or Type) <b>Frank Villanueva, Abigail V. Sandoval, Julia V. Garcia</b>	Owner Mailing Address & Zip Code <b>3413 Grandora Dr. San Juan, TX 78589</b>
Owner Phone Number <b>(956) 381-0981</b>	Owner Email <b>c/o mario@meldenandhunt.com</b>

**RECEIVED****NOV 02 2021**

Have any of said owners designated agents to submit and revise this plat application on their behalf? **Name: [Signature]**

☒ Yes ☐ No (If "Yes" attached duly notarized documentation to that effect, signed by each such owner.)

The undersigned owner(s) of record (or their authorized agents) hereby agree to make all improvements and meet all requirements and standards as specified in the City of Edinburg Unified Development Code and Ordinances. The undersigned hereby request that the Edinburg Planning & Zoning Commission and the City Commission approve the attached subdivision plat. I certify that all items contained in this application and attachments (including all construction plans) are true and correct to the best of my knowledge and not in conflict with any deed restrictions or restrictive covenants. Furthermore, I understand that any omission or incorrect information may result in approval or permit being denied or revoked. Developer's requirement sheet must be completed, signed, and submitted with the application form.

**Signature**

Digitally signed by Mario A. Reyna  
DN: cn = Mario A. Reyna, email =  
mario@meldenandhunt.com, c = US, o = Melden and  
Hunt Inc. O = FH  
Date: 2021.11.01 16:12:12 -0600

**Date****November 2, 2021**



TLS PROPERTIES, LTD.  
S.W.O. DOCUMENT No. 871306 H.C.O.R.

S. DAVID DEANDA, JR.  
Q.W.D. DOCUMENT No. 2502132, H.C.O.R.

LOT 8, BLOCK 54  
ALAMO LAND AND SUGAR COMPANY'S SUBDIVISION  
UPON THE 2<sup>ND</sup> DAY OF JANUARY 1912

Y:\Land Development\Residential\Edinburg\21215 - Cayetano Dev-Los Cortijos\Plot Files\21215.dwg, 11/1/2021 6:03:36 PM, DWG To PDF.pc3



**SUBDIVISION WITHIN CITY LIMITS CHECK LIST  
SUBDIVISION PROCESS**
**PRELIMINARY STAGE**

PLANNING &amp; ZONING DEPARTMENT (956) 388-8202

 Date : **December 7, 2021**

Date Filed: <b>November 2, 2021</b>	P&Z Preliminary: <b>December 14, 2021</b>	P&Z Final: _____	City Council: _____
Reviewed By: <b>Abel Beltran, Subd. Coord.</b> <a href="mailto:abeltran@cityofedinburg.com">abeltran@cityofedinburg.com</a>	Staff Review : <b>November 18, 2021</b> Staff / Engineer : <b>November 25, 2021</b>	Time Line : <b>365</b> Days 1st Extension : <b>0</b> Days 2nd Extension : <b>0</b> Days	Expires : _____ Expires 1: _____ Expires 2: _____

Planning & Zoning Department:	Kimberly A. Mendoza, MPA	Email : <a href="mailto:kmendoza@cityofedinburg.com">kmendoza@cityofedinburg.com</a>	City Office #: (956) 388-8202
Utility Department	Gerardo Carmona, P.E.	Email : <a href="mailto:gcarmona@cityofedinburg.com">gcarmona@cityofedinburg.com</a>	City Office #: (956) 388-8212
Director of Public Works	Vincent Romero	Email : <a href="mailto:layala@cityofedinburg.com">layala@cityofedinburg.com</a>	City Office #: (956) 388-8210
Director of Engineering	Mardoqueo Hinojosa, P.E., CPM	Email : <a href="mailto:mhinojosa@cityofedinburg.com">mhinojosa@cityofedinburg.com</a>	City Office #: (956) 388-8211

Owner:	Frank, Abigal, & Julia Sandoval			708 Avocet Ave., McAllen, TX 78504		Mario Reyna, P.E., Project Engineer	
LOS CORTIJOS SUBDIVISION				Consultant : Melden & Hunt, Inc.			
DESCRIPTION	Provided	Need to Provide	Not Applicable	Need to Revise	COMMENTS		

**Subdivision Process:**

Subdivision Plat Submittal	✓				
Warranty Deed	✓				
Topography Survey	✓				
Drainage Report Submittal (As Per City Drainage Policy)	✓				Approved by H.C.D.D.#1 Date: Pending Approval
Zoning : City Limits - Commercial General	✓				
Flood Zone	✓				Zone "X" (Un-Shaded)

**Preliminary Submittals:**

Existing & Proposed Water Distribution Layout	✓				North Alamo Water Supply Corporation - Distribution System
Water Distribution System Provider:	✓				North Alamo Water Supply Corporation - Distribution System
Existing & Proposed Sewer Collection Layout	✓				North Alamo Water / Sanitary Sewer Collection System
Sanitary Sewer Collection System Provider:	✓				North Alamo Water / Sanitary Sewer Collection System
Existing and Proposed Drainage Layout System:	✓				Private Drainage System onto H.C.D.D. # 1
MPO Collector / Arterial Right-of-way Dedication		✓			Proposed Private Streets
Minor / Major Collector Street Pavement Section			✓		In Accordance to Standard Street Policy
Variances Appeals Request:			✓		Planning & Zoning Meeting Results City Council Meeting
Street Widening Improvements (Mile 21 Road - FM 2812)			✓		
Street 5-ft Sidewalk Improvements			✓		
Drainage Improvements			✓		

**Construction Plans Review Submittals: (See Section 4 Construction Plans Submittals Policy, 2014 STANDARD POLICY MANUAL)**

Cover Sheet		✓			
Topography Sheet (Utilities, Bench Marks)		✓			
Sanitary Sewer Improvements: On-Site & Off-Site		✓			City of Edinburg Sanitary Sewer Standard Policy's
Sanitary Sewer Detail Sheets		✓			See Section 3 Utility Policy, 2014 Standard Policy Manual
Water Distribution Improvements: On-Site & Off-Site		✓			North Alamo Water Supply Standard Policy's
Water Distribution Detail Sheet (Fire Hydrant Assembly)		✓			See Section 3 Utility Policy, 2014 Standard Policy Manual
Drainage Improvements:		✓			
Drainage Detail Sheets		✓			See Section 1 Drainage Policy, 2014 Standard Policy Manual
Minor/Major Collector Streets Improvements:		✓			See Section 2 Streets Policy, 2014 Standard Policy Manual
Street Sign Sheet:		✓			
Street Detail Sheets		✓			See Section 2 Streets Policy, 2014 Standard Policy Manual
Street Lighting Sheet:		✓			
Traffic Control Plan:		✓			
Erosion Control Plan		✓			
Erosion Control Plan Detail Sheet		✓			See Storm Water Management, 2014 Standard Policy Manual

DESCRIPTION	Provided	Need to Provide	Not Applicable	Need to Revise	COMMENTS
-------------	----------	-----------------	----------------	----------------	----------

**Pre-Construction Meeting:**

Notice To Proceed		✓			Dated:
Roadway Open-Cut or Bore Permit Application		✓			Dated:
TX-Dot Water UIR Permit			✓		
TX-Dot Sewer UIR Permit			✓		
N.O.I. Submittal		✓			Dated:
SWPP Booklet Submittal		✓			Dated:
RFI #1 Request		✓			Dated:
Change Orders		✓			Dated:
Final Walk Though		✓			Dated:
Punch List		✓			Dated:
Punch List (Completed and Approved)		✓			Dated:
Letter of Acceptance		✓			Dated:
1-year Warranty (Water/Sewer/Paving/Drainage)		✓			Dated:
Backfill Testing Results		✓			Dated:
As-Builts (Revised Original Submittal)		✓			Dated:

**Recording Process:**

Public Improvements with (Letter of Credit)		✓			Dated:	Expires:
Recording Fees	\$ 106.00	✓			As required by County Clerks office	
Copy of H.C.D.D. #1 of invoice		✓			Required to be paid prior to Final Stages	
Street Escrow -Trenton Road (120-ft. ROW)	\$ -	✓			Required: 0	EA. @ \$ -
Street Escrow -Road (00-ft B-B)	\$ 314,861.00	✓			Required: 1980	EA. @ \$ 159.02
Sidewalk Escrow: Trenton Road	\$ 45,900.00	✓			Required: 1836	LF @ \$ 25.00
TOTAL OF ESCROWS:	\$ 360,761.00					
Total Developer's Construction Cost: (Letter of Credit)					Date :	Lender :
Laboratory Testing Fee: 3%	\$ 10,768.83	✓			\$ 358,961.00	Estimated Construction Cost
Inspection Fee: 2%	\$ -	✓			\$ -	Final Construction Cost
Park Land Fees: Park Zone # 5	\$ 70,500.00		✓		235 Lots @ \$ 300.00	Full rate within the ETJ
0 Residential \$ -	\$ -	✓			50% Development	50% Building Stage
0 Multi-Family \$ -	\$ -		✓		0% Development	0% Building Stage
Water Rights: NAWSC - CCN	\$ -		✓		60.00 Acres	\$ -
Water 30-year Letter (Residential)	\$ -		✓		235 Lots @ \$ -	NAWSC WATER-CCN
Water 30-year Letter (Multi-Family)	\$ -		✓		0 Lots @ \$ -	
Sewer 30-year Letter NAWSC - CCN	\$ -		✓		235 Lots @ \$ -	NAWSC SEWER-CCN
TOTAL OF FEES:	\$ 70,500.00					

**Reimbursements:**

Developer Sewer Improvements	\$ -		✓		Off-Site System: 0.000	AC	\$ -
Developer Water Improvements	\$ -		✓		Off-Site System 0.00	AC	\$ -
TOTAL OF REINBURSEMENTS:	\$ -						

**Buyouts:**

North Alamo Water Supply Corporation	\$ -		✓		Required Buyout 0.00	AC.	\$ -
Sharyland Water Supply Corporation			✓		Not Applicable		

**Tax Certificates**

County of Hidalgo / School District		✓					
Water District		✓			Hidalgo County Irrigation District # 1		

**Total of Escrows, Fees, Reimbursements and Buyouts:**

Escrows	\$ 360,761.00	Street & Sidewalk Improvements for Trenton Road (Not Required)					
Inspections other Fees	\$ 70,500.00	Parkland Fees, Water/Sewer 30-year Agreement/Water Rights					
Reimbursements	\$ -	Reimbursement to the Developer of <b>Subdivision</b>					
City of Edinburg	\$ -	15% Payable to the City of Edinburg for Administrative Fee					
To the Developer of Record	\$ -	85% Payable to the Developer of Record Owner / Developer					
Buyouts	\$ -	Based on Subdivision (Need Request and Approval rate from ? Broad)					
TOTAL :	\$ 431,261.00	Developer Total Cost of Fees, Escrows, Reimbursements & Buyouts					

## STAFF REPORT: HYDE PARK SUBDIVISION

December 1, 2021

Planning and Zoning Meeting:

December 14, 2021

Agenda Item: **7A**

Final Plat

---

**Subject:** Consider the Final Plat for **HYDE PARK SUBDIVISION**, being a 14.998 acre tract out of Lots 2 through 15 and part of Northpoint Subdivision Phase I, located at 141 North Point Drive, as requested by Melden & Hunt, Inc.

**Location:** The property is located on the east side of South McColl Road (FM 2061) at Northpoint Drive.

**Zoning:** This property is within the City Limits currently zoned Auto-Urban Residential (AR) District with Setbacks as follow: 20-ft. Front, 6-ft. Side, and 20-ft. Rear.

**Analysis:** The Preliminary Plat was approved by the Planning and Zoning Commission on December 8, 2020 for a Single Family residential development with seventy-three (73) lots averaging approximately 6,825 sq. ft. per lot.

**Utilities:** Water Distribution System and Sanitary Sewer Collection is served by the City of Edinburg. All utility improvements within the proposed subdivision that are not limited to water, sewer, curb & gutter, and fire hydrants. Storm drain inlets and pavement will be installed by the developer in accordance with the City of Edinburg's Unified Development Code (UDC) and approved 2014 Standards Manual.

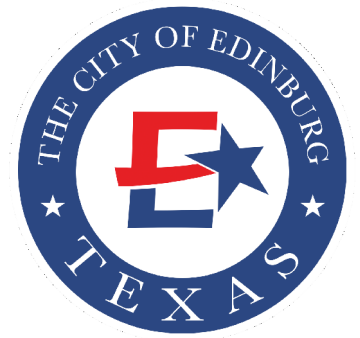
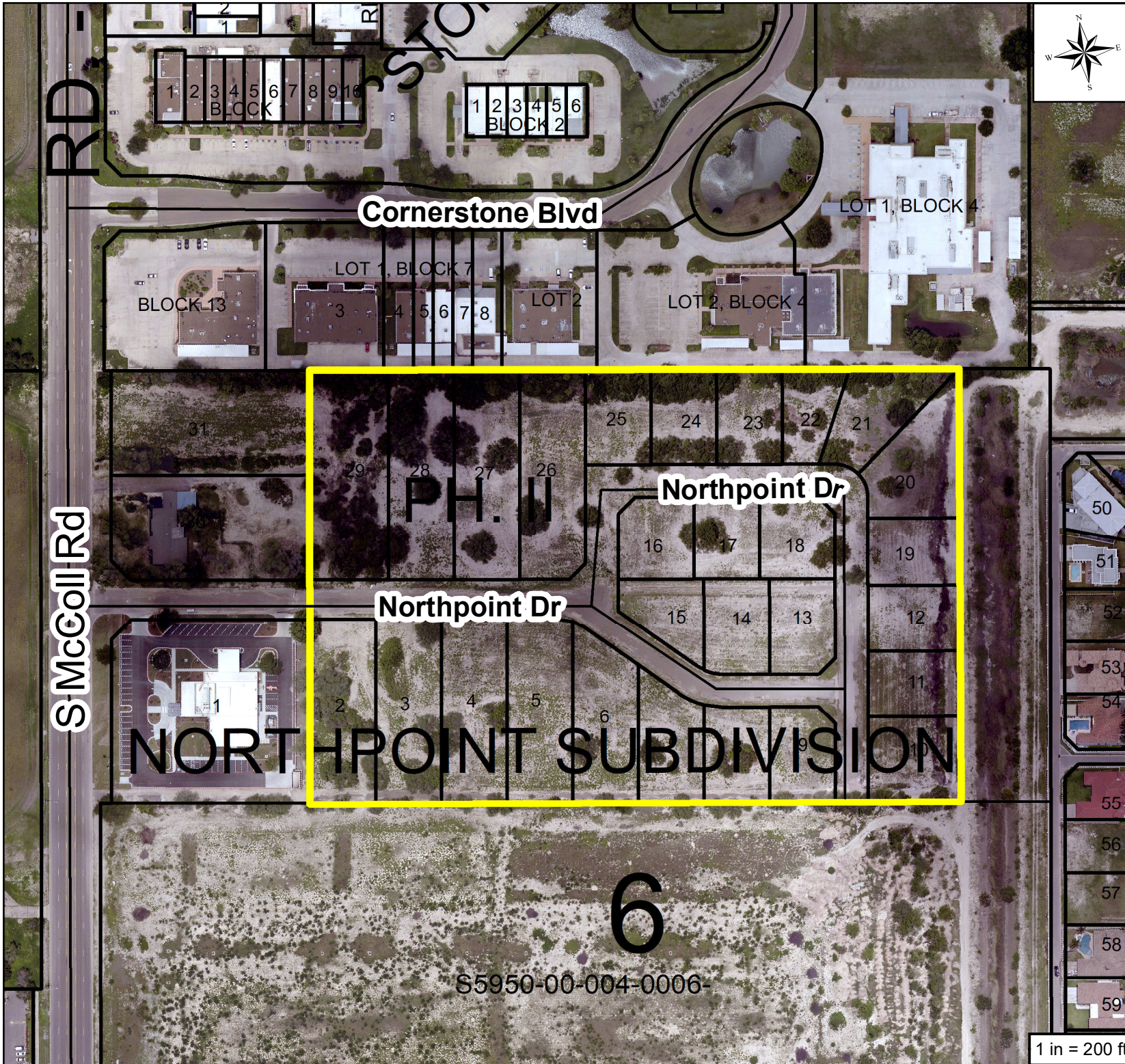
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### Recommendations:

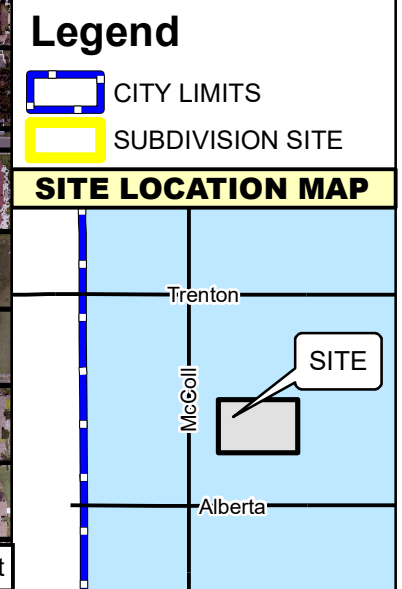
#### **City of Edinburg**

Staff recommends approval of the Final Plat, subject to compliance with the Unified Development Code, accepted cost estimates by the City of Edinburg, and acceptance of the financial guarantee for the completion of the subdivision improvements prior to recording the subdivision plat. Financial Guarantee will be released upon completion and acceptance of public improvements.

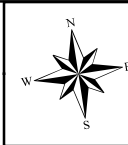




**AERIAL MAP**  
**CASE CAPTION:**  
**SUBDIVISION NAME:**  
**RE-PLAT NORTHPOINT PHASE I**







# **SITE MAP**

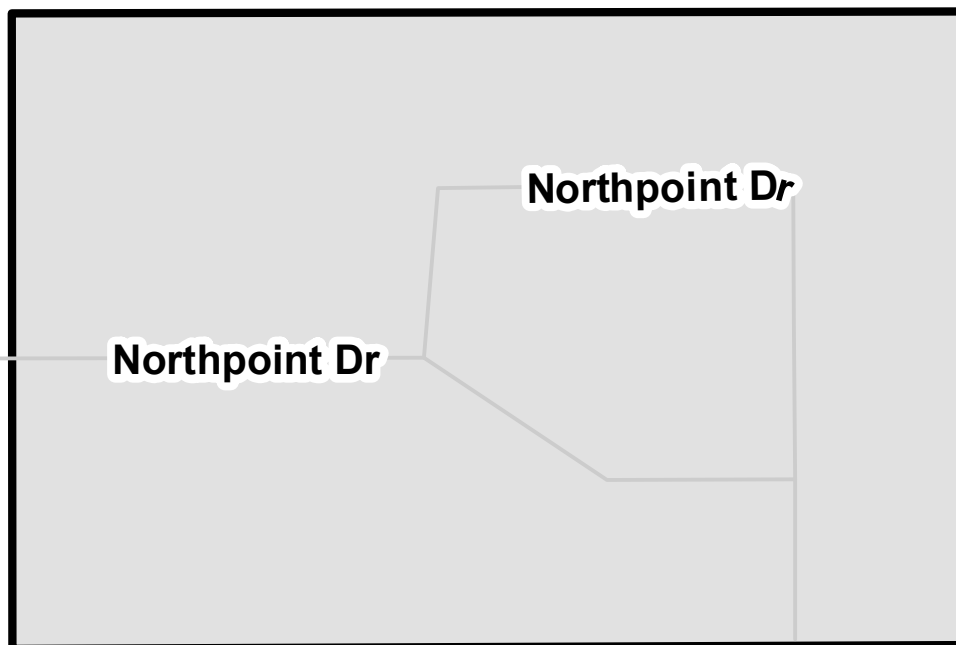
**CASE CAPTION:**

**SUBDIVISION NAME:**

RE-PLAT NORTHPOINT PHASE I

S McColl Rd

Cornerstone Blvd



Northpoint Dr

Northpoint Dr

## **Legend**

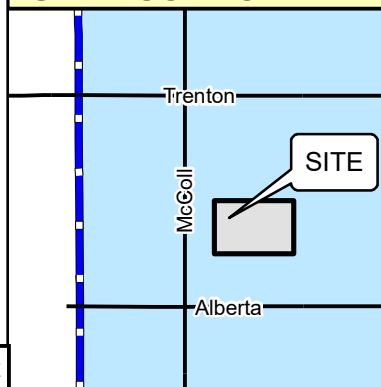


CITY LIMITS

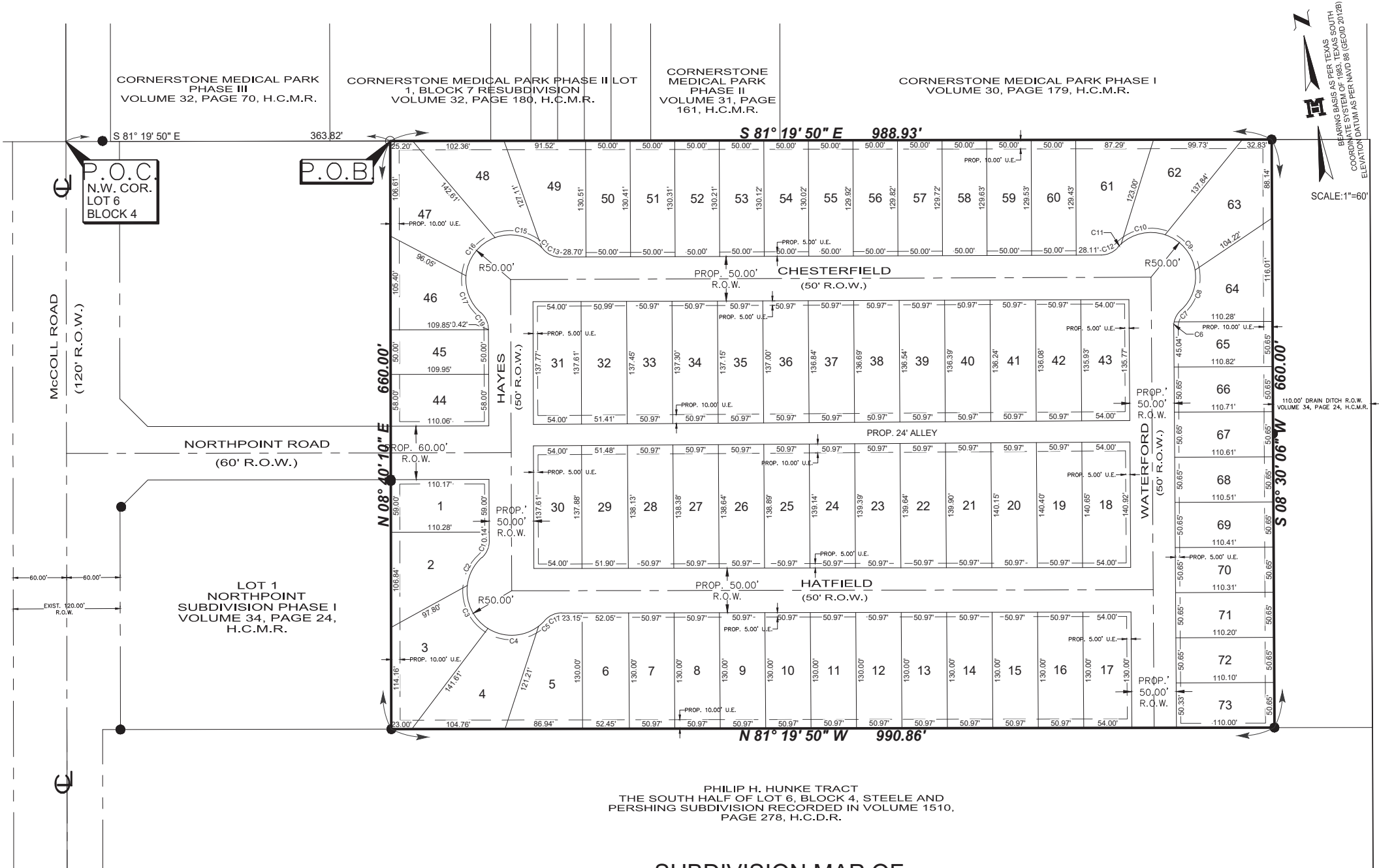


SUBDIVISION SITE

## **SITE LOCATION MAP**



1 in = 200 ft



# SUBDIVISION MAP OF RE-PLAT NORTHPOINT SUBDIVISION PHASE I

BEING A SUBDIVISION OF 5.494 acres of land situated in the County of Hidalgo, Texas, being a part or portion out of Lot 3, Block 4, John Closer Subdivision, according to the plat thereof recorded in Volume 0, Page 4, Hidalgo County Map Records.



**MELDEN & HUNT INC.**  
CONSULTANTS • ENGINEERS • SURVEYORS

115 W. McIntyre - Edinburg, TX 78541  
PH: (956) 381-0981 - FAX: (956) 381-1839  
ESTABLISHED 1947 - www.meldenandhunt.com

R.O.W. - RIGHT OF WAY  
H.C.M.R. - HIDALGO COUNTY MAP RECORDS  
Sq. Ft. - SQUARE FEET

- PROPERTY LINE  
 - CENTER LINE

TBPLS No. 10096900  
TBPE No. F-1435



**SUBDIVISION WITHIN CITY LIMITS CHECK LIST  
SUBDIVISION PROCESS**
**RECORDING STAGE**

PLANNING &amp; ZONING DEPARTMENT (956) 388-8202

 Date : **December 6, 2021**

 Date Filed: **November 2, 2030**

 P&Z Preliminary: **March 9, 2021**

 P&Z Final: **December 14, 2021**

City Council: \_\_\_\_\_

 Reviewed By: **Abel Beltran, Subd. Coord.**  
[abeltran@cityofedinburg.com](mailto:abeltran@cityofedinburg.com)

 Staff Review : **February 18, 2021**  
 Staff / Engineer : **February 25, 2021**

 Time Line : **365** Days  
 1st Extension : **0** Days  
 2nd Extension : **0** Days

 Expires : \_\_\_\_\_  
 Expires 1: \_\_\_\_\_  
 Expires 2: \_\_\_\_\_

 Notice To Proceed Issued : **July 9, 2021**

Owner:	THE AMEGIN TRUST, George Amegin			4610 S. McColl Road, Edinburg, Texas 78539		Mario Reyna, P.E. Project Engineer	
RE-PLAT NORTHPOINT SUBDIVISION (HYDE PARK)				Consultant : Melden & Hunt, Inc.			
DESCRIPTION		Provided	Need to Provide	Not Applicable	Need to Revise	COMMENTS	

**Subdivision Recording Process:**

Public Improvements with (Letter of Credit)			✓			Dated:	Expires:
Recording Fees	\$ 106.00		✓			As required by County Clerks office	
Copy of H.C.D.D. #1 of invoice	\$ 250.00		✓			Required to be paid prior to Final Stages	
Street Escrow (Road)	\$ -		✓			Required: 0	LF. @
Sidewalk Escrow (Road)	\$ -		✓			Required: 0	LF @ \$ -
TOTAL FEES :	\$ -						
Total Developer's Construction Cost: (Letter of Credit)						Rev.	
Laboratory Testing Fee: 3%	\$ 3,667.56		✓			\$ 122,252.00	Estimated Construction Cost
Inspection Fee: 2%	\$ 2,445.04		✓			\$ 122,252.00	Final Construction Cost
Park Land Fees: ETJ \$ - Per Unit 0				✓		\$ -	Parkland Zone Area #1
73 Residential \$ 600.00	\$ 43,800.00		✓			50% Development	50% Building Stage
0 Multi-Family \$ -	\$ -			✓		0% Development	0% Building Stage
Water Rights: COE - CCN	\$ 43,423.18		✓			14.990	Acres \$ 2,896.81
Water 30-year Letter (Residential)	\$ 23,725.00		✓			73	Lots @ \$ 325.00 COE WATER-CCN
Water 30-year Letter (Multi-Family)	\$ -			✓		0	Lots @ \$ -
Sewer 30-year Letter COE - CCN	\$ 4,745.00		✓			73	Lots @ \$ 65.00 COE SEWER-CCN
TOTAL OF FEES:	\$ 121,805.78						

**Tax Certificates**

County of Hidalgo / School District			✓			
Water District			✓			Hidalgo County Irrigation District # 2
Escrows: (Variance N/A)	\$	-	Street & Sidewalk Improvements for ( ) Road			
Material Testing / Inspection Fees	\$	6,112.60	Material Testing Fee & City Inspection Fee based on LOC, etc.			
Park Land Fees: (ETJ) ZONE #1	\$	43,800.00	100% of Parkland Fee is required within ETJ			
Water Rights / 30-Year Letters	\$	71,893.18				
City of Edinburg	\$	-	15%	Payable to the City of Edinburg for Administrative Fee		
To the Developer of Record	\$	-	85%	Payable to the Developer of Record Owner / Developer		
Buyouts	\$	-	Based on Subdivision (Need Request and Approval rate from NAWSC Broad)			
	TOTAL :	\$	121,805.78	Total Fees, Escrows, Reimbursements & Buyouts		

Re-Plat Northpoint Subdivision - KYDE PARK

At M&amp;H Request on 12/2/2021 4:35pm

Page 1 of 1

 Approved By : **Abel Beltran, Planner**

Checked By : \_\_\_\_\_

**STAFF REPORT: SUNCREST ACRES SUBDIVISION**

December 1, 2021

Planning and Zoning Meeting:

December 14, 2021

Agenda Item: **7B**

Final Plat

---

**Subject:** Consider the Final Plat for **SUNCREST ACRES SUBDIVISION**, being a 19.394 acre tract of land out of Lot 3, Block 57, Alamo Land and Sugar Company's Subdivision, located at 3000 South Tower Road, as requested by Melden & Hunt, Inc.

**Location:** The property is located on the east side of South Tower Road, approximately 629 ft. south of Canton Road.

**Zoning:** This property is located in the City of Edinburg Extraterritorial Jurisdiction (ETJ).

**Analysis** The Preliminary Plat was approved by the Planning and Zoning Commission on March 9, 2021 for a single family residential development with eighteen (18) lots averaging approximately 26,000 sq. ft. per lot.

**Utilities:** Water Distribution System a North Alamo Water Supply Corporation – CCN and will utilize an O.S.S.F. Septic System. All utility improvements within the proposed subdivision that are not limited to water, sewer, curb and gutter, fire hydrants, storm drain inlets and pavement will be installed by the developer in accordance with City of Edinburg's Unified Development code and approved 2014 Standards Manual.

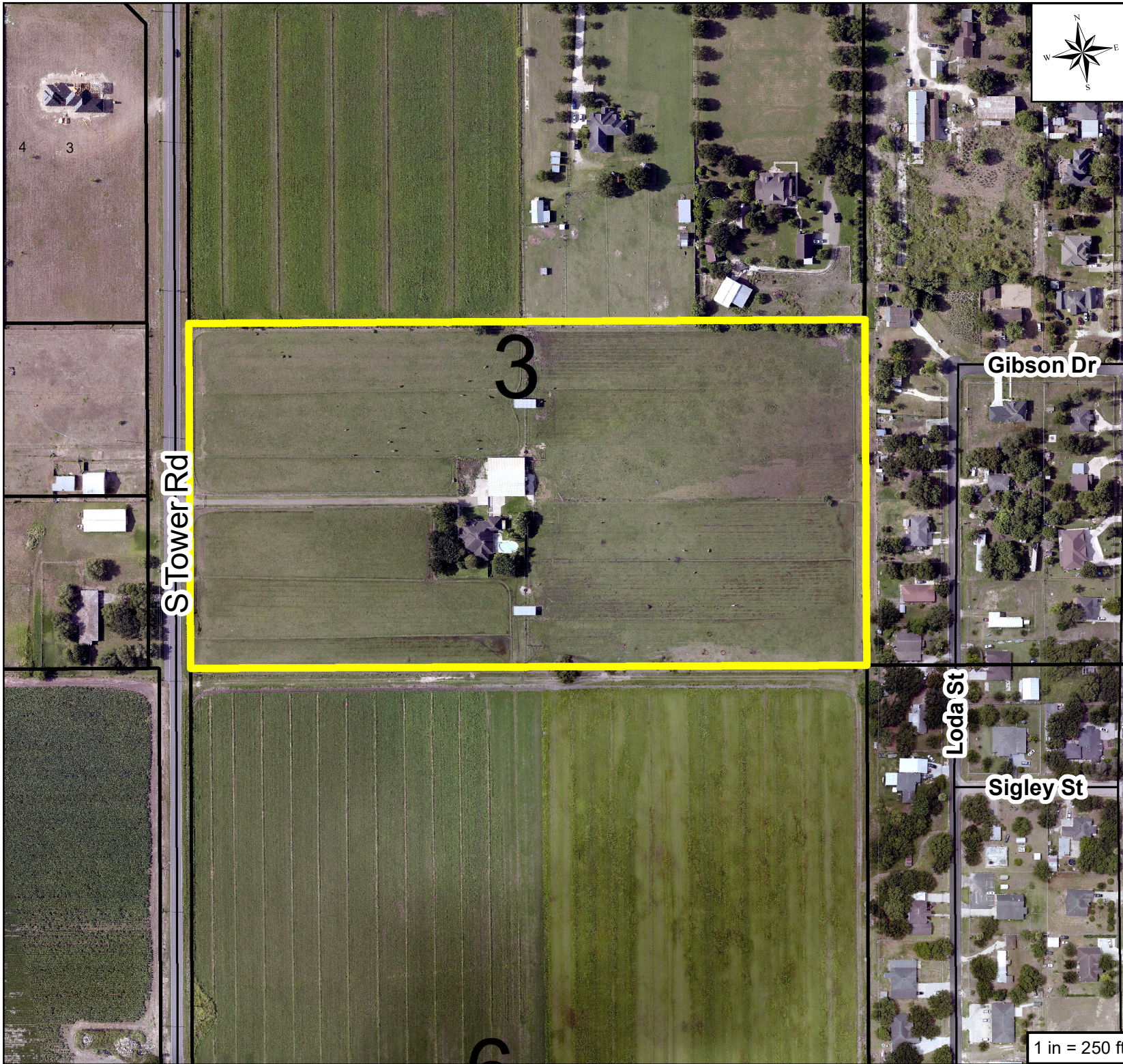
---

**Recommendations:**

**City of Edinburg**

Staff recommends approval of the Final Plat, subject to compliance with the Unified Development Code, accepted cost estimates by City of Edinburg, and acceptance of the financial guarantee for the completion of the subdivision improvements prior to recording the subdivision plat. Financial Guarantee will be released upon completion and inspection of public improvements.







**AERIAL MAP**

**CASE CAPTION:**

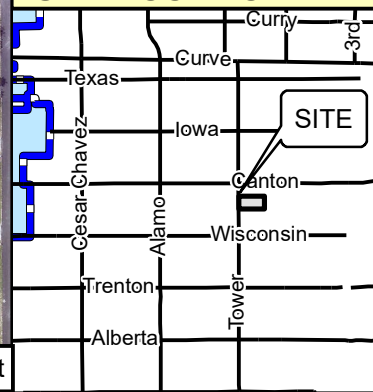
**SUBDIVISION NAME:**

**SUNCREST ACRES**

## Legend

-  CITY LIMITS
-  SUBDIVISION SITE

## SITE LOCATION MAP







## SITE MAP

### CASE CAPTION:

**SUBDIVISION NAME:**

**SUNCREST ACRES**

S Tower Rd



Gibson Dr

Loda St

Sigley St

## Legend

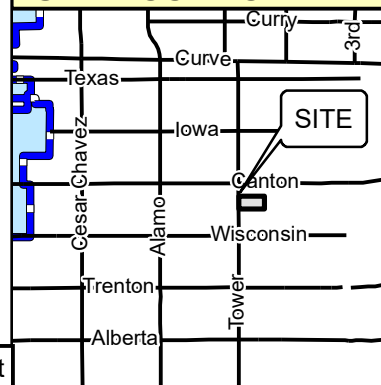


CITY LIMITS



SUBDIVISION SITE

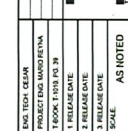
## SITE LOCATION MAP



1 in = 250 ft



# Suncrest Acres



THIS DOCUMENT IS RELEASED  
FOR THE PURPOSE OF INTERIM  
REVIEW UNDER THE AUTHORITY OF  
MARCO A. BEYLA, P.E. 117368  
ON FEBRUARY 01 2021. IT IS NOT  
TO BE USED FOR CONSTRUCTION,  
BIDDING OR PERMIT PURPOSES.

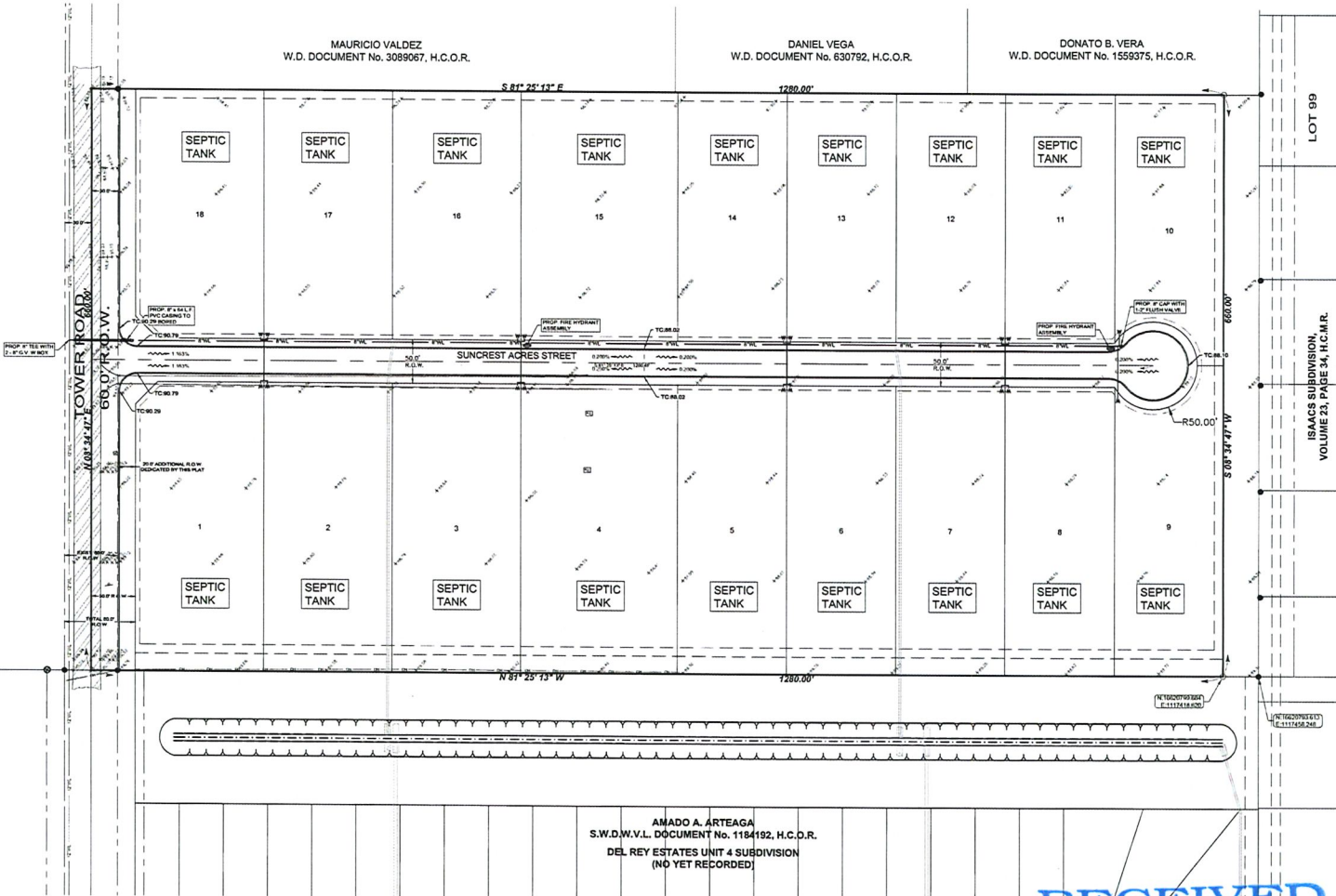
DEL REY ESTATES  
UNIT 4 SUBDIVISION  
EDINBURG, TEXAS  
HIDALGO COUNTY

## PROPOSED WATER & SEWER LAYOUT















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File Name: 170819.00

SHEET 1 OF 1



RECEIVED  
FEB 01 2021  
Name: De5:11pr

- LEGEND (PROPOSED) PIPE SIZES AS PER PLAN**
- |   |   |
|---|---|
|    | WATER VALVE                               |
|    | FIRE HYDRANT W/ VALVE & TEE               |
|            | PROP. 1" SINGLE WATER SERVICES            |
|              | PROP. 1 1/2" DUAL WATER SERVICES          |
|    | ACROSS                                    |
|  | PROP. 1 1/2" DUAL WATER SERVICES ADJACENT |
|    | STORM MANHOLE                             |
|    | TYPE "A" INLET                            |
|    | SANITARY MANHOLE                          |
|    | SINGLE SANITARY SEWER SERVICE             |
|                                 | 8" V/L WATER LINE                         |
|                                      | 8" S SEWER LINE                           |
|                                     | 24" SD STORM LINE                         |
|    | IRR IRR IRRIG. LINE                       |



**SUBDIVISION WITHIN CITY LIMITS CHECK LIST  
SUBDIVISION PROCESS**
**RECORDING STAGE - FINAL**

PLANNING &amp; ZONING DEPARTMENT (956) 388-8202

 Date : **December 3, 2021**

Date Filed: <b>February 1, 2021</b>	P&Z Preliminary: <b>March 9, 2021</b>	P&Z Final: <b>July 6, 2021</b>	City Council: _____
Reviewed By: <b>Abel Beltran, Subd. Coord.</b> <a href="mailto:abeltran@cityofedinburg.com">abeltran@cityofedinburg.com</a>	Staff Review : <b>February 18, 2021</b> Staff / Engineer : <b>February 25, 2021</b>	Time Line : <b>365</b> Days 1st Extension : <b>0</b> Days 2nd Extension : <b>0</b> Days	Expires : _____ Expires 1: _____ Expires 2: _____

Preliminary Fees Required - With the Approvals from Engineering &amp; Utility Departments

Owner:	DOMAIN DEVELOPMENT CORP.		100 E. Nolana Suite 130, McAllen, TX 78504		Mario Reyna, P.E. Project Engineer	
SUNCREST ACRES SUBDIVISION -ETJ				Consultant : Melden & Hunt, Inc.		
DESCRIPTION		Provided	Need to Provide	Not Applicable	Need to Revise	COMMENTS

**Subdivision Recording Process:**

Public Improvements with (Letter of Credit)		✓			Dated: _____ Expires: _____
Recording Fees	\$ 106.00	✓			As required by County Clerks office
Copy of H.C.D.D. #1 of invoice	\$ 250.00	✓			Required to be paid prior to Final Stages
Street Escrow (Tower Road)	\$ -	✓			Required: 0 EA. @ \$ -
Sidewalk Escrow (Tower Road)	\$ -	✓			Required: 0 LF @ \$ -
<b>TOTAL FEES :</b>	<b>\$ -</b>				
Total Developer's Construction Cost: (Letter of Credit)					Date : _____ Lender : _____
Laboratory Testing Fee: 0%	\$ -		✓		\$ - Estimated Construction Cost
Inspection Fee: 0%	\$ -		✓		\$ - Final Construction Cost
Park Land Fees: ETJ \$ 600.00 Per Unit 18		✓			\$ 10,800.00 Parkland Zone Area #6
0 Residential \$ - \$ -			✓		50% Development 50% Building Stage
0 Multi-Family \$ - \$ -			✓		0% Development 0% Building Stage
Water Rights: NAWSC - CCN	\$ -		✓		19.394 Acres \$ -
Water 30-year Letter (Residential)	\$ -		✓		18 Lots @ \$ - NAWSC WATER-CCN
Water 30-year Letter (Multi-Family)	\$ -		✓		0 Lots @ \$ -
Sewer 30-year Letter	\$ -		✓		18 Lots @ \$ - NAWSC SEWER-CCN
<b>TOTAL OF FEES:</b>	<b>\$ -</b>				

**Tax Certificates**

County of Hidalgo / School District		✓			
Water District		✓			Hidalgo County Irrigation District # X
Escrows	\$ -				Street & Sidewalk Improvements for Terry Road
Material Testing / Inspection Fees	\$ -				Material Testing Fee & City Inspection Fee based on LOC, etc.
Park Land Fees: (ETJ)	\$ 10,800.00				100% of Parkland Fee is required within ETJ
Reimbursements	\$ -				Reimbursement to the Developer of <b>Subdivision</b>
City of Edinburg	\$ -				15% Payable to the City of Edinburg for Administrative Fee
To the Developer of Record	\$ -				85% Payable to the Developer of Record Owner / Developer
Buyouts	\$ -				Based on Subdivision (Need Request and Approval rate from NAWSC Broad)
<b>TOTAL :</b>	<b>\$ 10,800.00</b>				Total Fees, Escrows, Reimbursements & Buyouts

Suncrest Acres Subdivision

Page 1 of 1

 Approved By : Abel Beltran, Planner

Checked By : \_\_\_\_\_

## STAFF REPORT: THE HEIGHTS ON TRENTON SUBDIVISION

December 1, 2021

Planning and Zoning Meeting:

December 14, 2021

Agenda Item: 7C

Final Plat

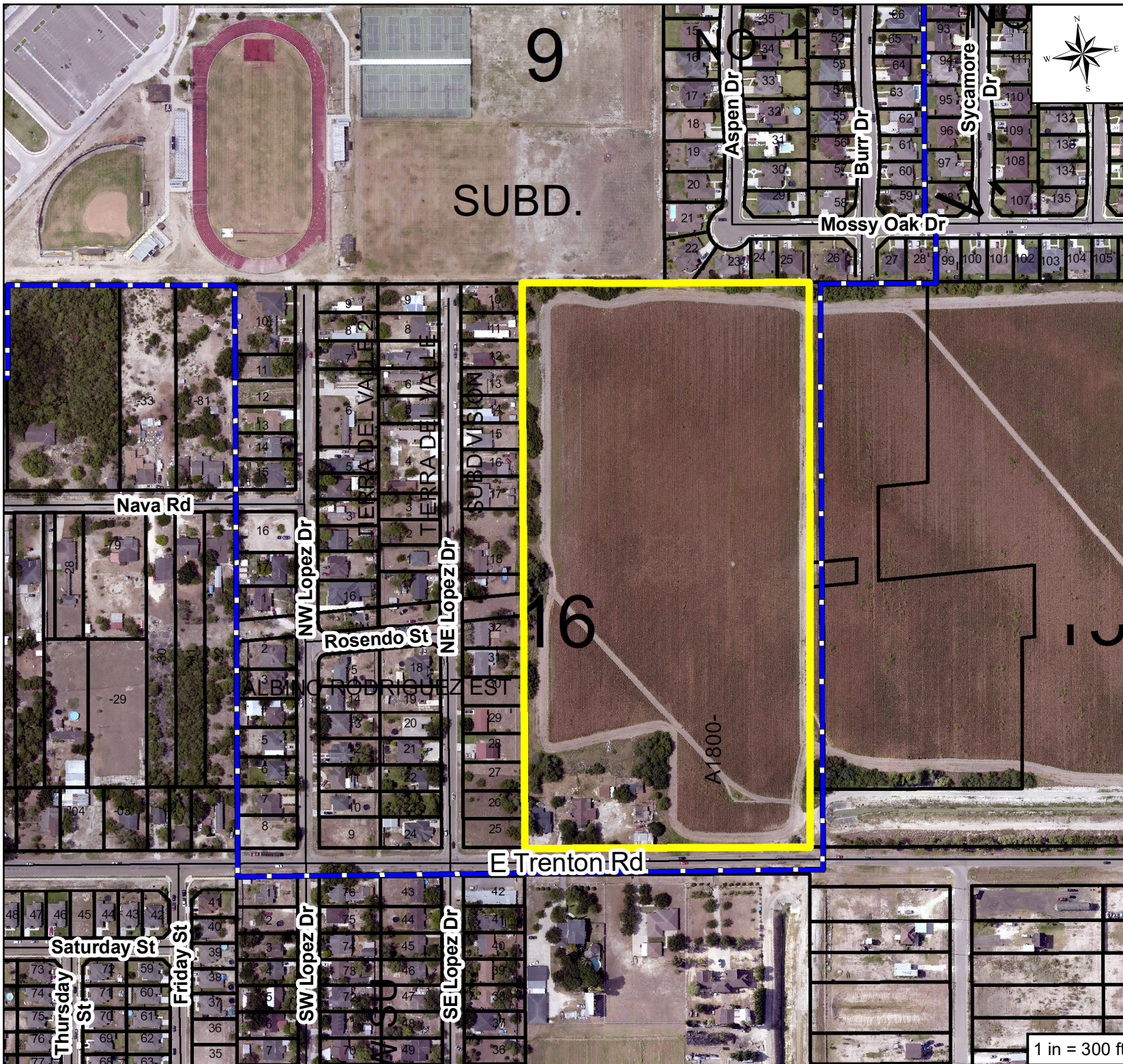
- 
- Subject:** Consider the Final Plat for **THE HEIGHTS ON TRENTON SUBDIVISION**, being a 19.531 acre tract of land out of Lot 16, Block 55, Alamo Land and Sugar Company's Subdivision, located at 3000 East Trenton Road, as requested by Melden & Hunt, Inc.
- Location:** The property is located on the north side of East Trenton Road, approximately 1,980 ft. east of Raul Longoria Road (FM 1426).
- Zoning:** This property is within the City Limits currently zoned Auto-Urban Residential (AR) District with Setbacks as follow: 20-ft. Front, 6-ft. Side, and 20-ft. Rear.
- Analysis:** The Preliminary Plat was approved by the Planning and Zoning Commission on March 9, 2021 for a Single Family residential development with eighteen (18) lots averaging approximately 6,000 sq. ft. per lot.
- Utilities:** Water Distribution System is within North Alamo Water Supply Corporation – CCN and Sanitary Sewer Collection System is served by the City of Edinburg. All utility improvements within the proposed subdivision that are not limited to water, sewer, curb & gutter, fire hydrants, storm drain inlets, and pavement will be installed by the developer in accordance with the City of Edinburg's Unified Development Code and approved 2014 Standards Manual.
- 

Recommendations:

### **City of Edinburg**

Staff recommends approval of the Final Plat, subject to compliance with the Unified Development Code, accepted cost estimates by the City of Edinburg, and acceptance of the financial guarantee for the completion of the subdivision improvements prior to recording the subdivision plat. Financial Guarantee will be released upon completion and acceptance of public improvements.





# AERIAL MAP

CASE CAPTION:

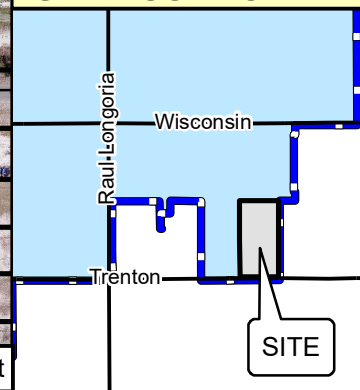
SUBDIVISION NAME:

THE HEIGHTS ON TRENTON

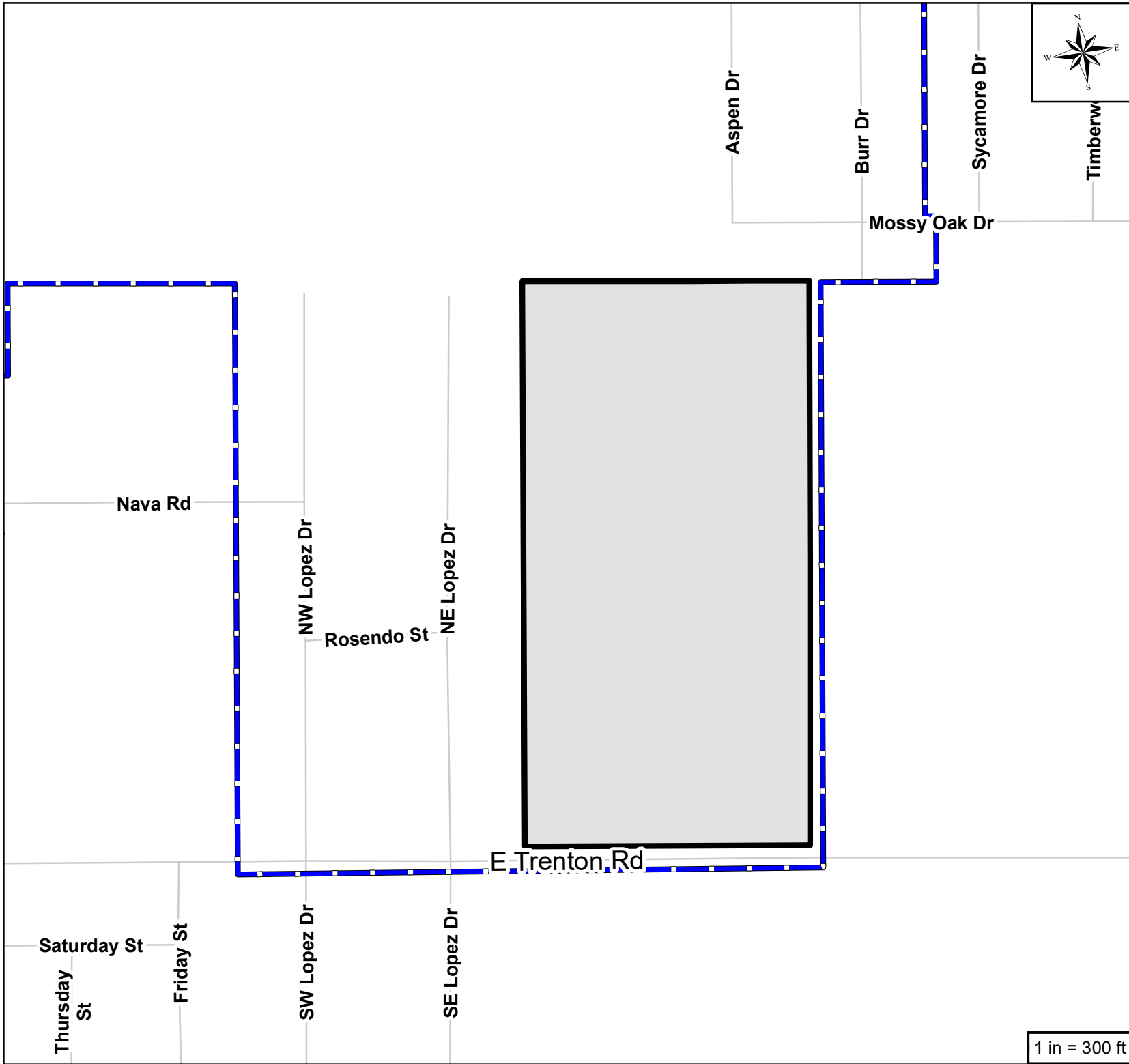
## Legend

- CITY LIMITS
- SUBDIVISION SITE

## SITE LOCATION MAP









#### SITE MAP

#### CASE CAPTION:

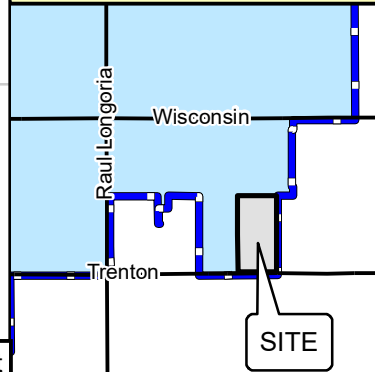
#### SUBDIVISION NAME:

THE HEIGHTS ON TRENTON

#### Legend

-  CITY LIMITS
-  SUBDIVISION SITE

#### SITE LOCATION MAP







**SUBDIVISION WITHIN CITY LIMITS CHECK LIST  
SUBDIVISION PROCESS**
**RECORDING STAGE**

PLANNING &amp; ZONING DEPARTMENT (956) 388-8202

 Date : **December 8, 2021**

Date Filed: <b>January 8, 2021</b>	P&Z Preliminary: <b>February 17, 2021</b>	P&Z Final: <b>December 14, 2021</b>	City Council: _____
Reviewed By: <b>Abel Beltran, Subd. Coord.</b> <a href="mailto:abeltran@cityofedinburg.com">abeltran@cityofedinburg.com</a>	Staff Review : <b>January 21, 2021</b> Staff / Engineer : <b>January 28, 2021</b>	Time Line : <b>365</b> Days 1st Extension : <b>0</b> Days 2nd Extension : <b>0</b> Days	Expires : _____ Expires 1: _____ Expires 2: _____

Planning & Zoning Department:	Kimberly A. Mendoza, MPA	Email : <a href="mailto:kmendoza@cityofedinburg.com">kmendoza@cityofedinburg.com</a>	City Office #: (956) 388-8202
Utility Department	Gerardo Carmona, P.E.	Email : <a href="mailto:gcarmona@cityofedinburg.com">gcarmona@cityofedinburg.com</a>	City Office #: (956) 388-8212
Director of Public Works	Vincent Romero	Email : <a href="mailto:layala@cityofedinburg.com">layala@cityofedinburg.com</a>	City Office #: (956) 388-8210
Director of Engineering	Mardoqueo Hinojosa, P.E., CPM	Email : <a href="mailto:mhinojosa@cityofedinburg.com">mhinojosa@cityofedinburg.com</a>	City Office #: (956) 388-8211

Owner:	Roel Rodriguez, Jr., Member			921 S McColl Road, Edinburg, TX 78539		Mario Reyna, P.E. Project Engineer	
THE HEIGHTS ON TRENTON SUBDIVISION				Consultant : Melden & Hunt, Inc.			
DESCRIPTION			Provided	Need to Provide	Not Applicable	Need to Revise	COMMENTS

**Subdivision Process:**

Subdivision Plat Submittal	✓				
Warranty Deed	✓				
Topography Survey	✓				
Drainage Report Submittal (As Per City Drainage Policy)	✓				Approved by H.C.D.D.#1 Date: Pending Approval
Zoning : City Limits - Commercial General	✓				
Flood Zone	✓				Zone "X" (Un-Shaded)

**Preliminary Submittals:**

Existing & Proposed Water Distribution Layout	✓				North Alamo Water Supply Corporation - Distribution System
Water Distribution System Provider:	✓				North Alamo Water Supply Corporation - Distribution System
Existing & Proposed Sewer Collection Layout	✓				North Alamo Water Supply Corporation - Sanitary Sewer System
Sanitary Sewer Collection System Provider:	✓				North Alamo Water Supply Corporation - Sanitary Sewer System
Existing and Proposed Drainage Layout System:	✓				Private Drainage System onto H.C.D.D. # 1
MPO Collector / Arterial Right-of-way Dedication	✓				Proposed Private Streets
Minor / Major Collector Street Pavement Section	✓				In Accordance to Standard Street Policy
Variances Appeals Request: (Date)	✓				Planning & Zoning Meeting Results City Council Meeting
Street Widening Improvements			✓		
Street 5-ft Sidewalk Improvements			✓		
Drainage Improvements	✓				

**Construction Plans Review Submittals:**
**(See Section 4 Construction Plans Submittals Policy, 2014 STANDARD POLICY MANUAL)**

Cover Sheet	✓				
Topography Sheet (Utilities, Bench Marks)	✓				
Sanitary Sewer Improvements: On-Site & Off-Site	✓				City of Edinburg Sanitary Sewer Standard Policy's
Sanitary Sewer Detail Sheets	✓				See Section 3 Utility Policy, 2014 Standard Policy Manual
Water Distribution Improvements: On-Site & Off-Site	✓				North Alamo Water Supply Standard Policy's
Water Distribution Detail Sheet (Fire Hydrant Assembly)	✓				See Section 3 Utility Policy, 2014 Standard Policy Manual
Drainage Improvements:	✓				
Drainage Detail Sheets	✓				See Section 1 Drainage Policy, 2014 Standard Policy Manual
Minor/Major Collector Streets Improvements:	✓				See Section 2 Streets Policy, 2014 Standard Policy Manual
Street Sign Sheet:	✓				
Street Detail Sheets	✓				See Section 2 Streets Policy, 2014 Standard Policy Manual
Street Lighting Sheet:	✓				
Traffic Control Plan:	✓				
Erosion Control Plan	✓				
Erosion Control Plan Detail Sheet	✓				See Storm Water Management, 2014 Standard Policy Manual

DESCRIPTION	Provided	Need to Provide	Not Applicable	Need to Revise	COMMENTS
-------------	----------	-----------------	----------------	----------------	----------

**Pre-Construction Meeting:**

Notice To Proceed	√				Dated:
Roadway Open-Cut or Bore Permit Application			√		Dated:
TX-Dot Water UIR Permit			√		
TX-Dot Sewer UIR Permit			√		
N.O.I. Submittal	√				Dated:
SWPP Booklet Submittal	√				Dated:
RFI #1 Request	√				Dated:
Change Orders		√			Dated:
Final Walk Though		√			Dated:
Punch List		√			Dated:
Punch List (Completed and Approved)		√			Dated:
Letter of Acceptance		√			Dated:
1-year Warranty (Water/Sewer/Paving/Drainage)		√			Dated:
Backfill Testing Results		√			Dated:
As-Builts (Revised Original Submittal)		√			Dated:

**Recording Process:**

Public Improvements with (Letter of Credit)		√			Dated:	Expires:
Recording Fees	\$ 106.00	√			As required by County Clerks office	
Copy of H.C.D.D. #1 of invoice	\$ 250.00	√			Required to be paid prior to Final Stages	
Street Light Escrow	\$ -	√			Required: 0	EA. @ \$ -
Street Escrow (Trenton Road)	\$ -	√			Required: 0	EA. @ \$ -
Sidewalk Escrow (Trenton Road)	\$ -	√			Required: 0	LF @ \$ 25.00
TOTAL OF ESCROWS:	\$ -				Variance Request: Approved	October 12, 2021
Total Developer's Construction Cost: (Letter of Credit)					Date :	Lender :
Laboratory Testing Fee: 3%	\$ -	√			\$ -	Estimated Construction Cost
Inspection Fee: 2%	\$ -	√			\$ -	Final Construction Cost
Park Land Fees: Park Zone # 6	\$ -		√		0 Lots @ \$ -	Full rate within the ETJ
83 Residential \$ 600.00	\$ 49,800.00	√			50% Development	50% Building Stage
0 Multi-Family \$ -	\$ -		√		0% Development	0% Building Stage
Water Rights: NAWSC - CCN	\$ -		√		19.530	Acres \$ -
Water 30-year Letter (Residential)	\$ -		√		83	Lots @ \$ - NAWSC WATER-CCN
Water 30-year Letter (Multi-Family)	\$ -		√		0	Lots @ \$ -
Sewer 30-year Letter NAWSC - CCN	\$ -		√		83	Lots @ \$ - NAWSC SEWER-CCN
TOTAL OF FEES:	\$ 49,800.00					

**Reimbursements:**

Developer Sewer Improvements	\$ -		√		Off-Site System: 0.000	AC	\$ -
Developer Water Improvements	\$ -		√		Off-Site System 0.00	AC	\$ -
TOTAL OF REIMBURSEMENTS:	\$ -						

**Buyouts:**

North Alamo Water Supply Corporation	\$ -		√		Required Buyout 0.00	AC.	\$ -
Sharyland Water Supply Corporation			√		Not Applicable		

**Tax Certificates**

County of Hidalgo / School District		✓			
Water District		✓			Hidalgo County Irrigation District # 1

**Total of Escrows, Fees, Reimbursements and Buyouts:**

Escrows	\$ -	Street & Sidewalk Improvements for Trenton Road (Not Required)					
Inspections other Fees	\$ 49,800.00	Parkland Fees, Water/Sewer 30-year Agreement/Water Rights					
Reimbursements	\$ -	Reimbursement to the Developer of <b>Subdivision</b>					
City of Edinburg	\$ -	15% Payable to the City of Edinburg for Administrative Fee					
To the Developer of Record	\$ -	85% Payable to the Developer of Record Owner / Developer					
Buyouts	\$ -	Based on Subdivision (Need Request and Approval rate from ? Broad)					
TOTAL :	\$ 49,800.00	Developer Total Cost of Fees, Escrows, Reimbursements & Buyouts					

## **STAFF REPORT: SILOS AT LA SIENNA SUBDIVISION PHASE I**

December 1, 2021

Planning and Zoning Meeting: December 14, 2021

Agenda Item: **7D** Preliminary Plat

---

Subject:	Consider the Final Plat for Silos at La Sienna Subdivision Phase I, being a 16.197 acre tract of land out of Lot 4, Amended Plat of La Sienna Development, located at 4001 La Sienna Parkway, as requested by Melden & Hunt, Inc.
Location:	The property is within City Limits located at the southwest corner of East Burns Drive and La Sienna Parkway.
Zoning:	This property zoning is Auto Urban Residential (AU) District with Setbacks as follows: 20 ft. Front, 6 ft. Side, and 20 ft. Rear.
Analysis:	The Preliminary Plat was approved by the Planning and Zoning Commission on March 9, 2021 for a single family residential development with sixty-four (64) lots averaging approximately 7,200 sq. ft. per lot.
Utilities:	Water Distribution System and Sanitary Sewer Collection System is served by the City of Edinburg. All utility improvements within the proposed subdivision that are not limited to water, sewer, curb & gutter, fire hydrants, storm drain inlets, and pavement will be installed by the developer in accordance with City of Edinburg's Unified Development Code (UDC) and approved 2014 Standards Manual.

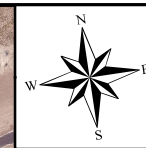
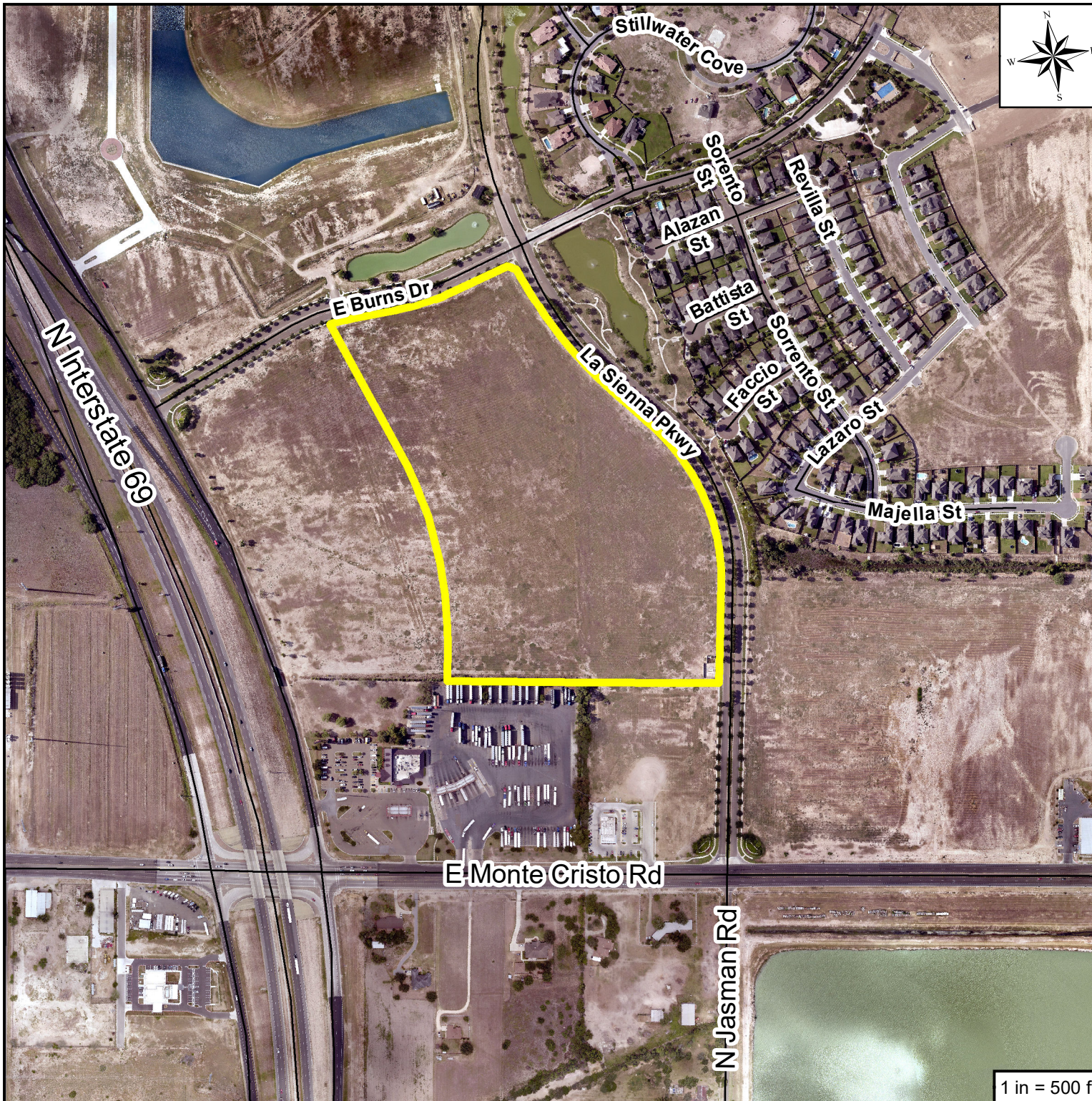
---

### **Recommendations:**

#### **City of Edinburg:**

Staff recommends approval of the Final Plat, subject to compliance with the Unified Development Code, accepted cost estimates by City of Edinburg, and acceptance of the financial guarantee for the completion of the subdivision improvements prior to recording the subdivision plat. Financial Guarantee will be released upon completion and inspection of public improvements.







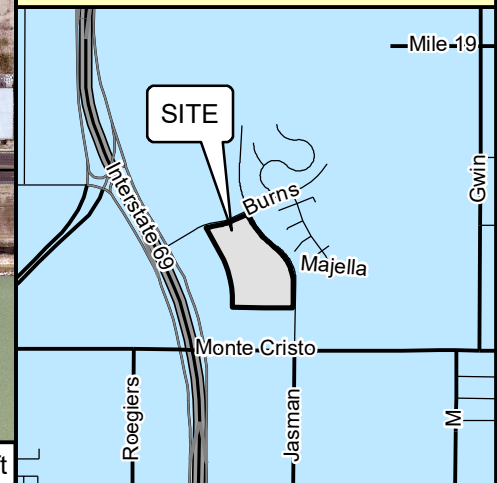
**CASE CAPTION:**

**SUBDIVISION NAME:**  
**SILOS AT SIENNA**

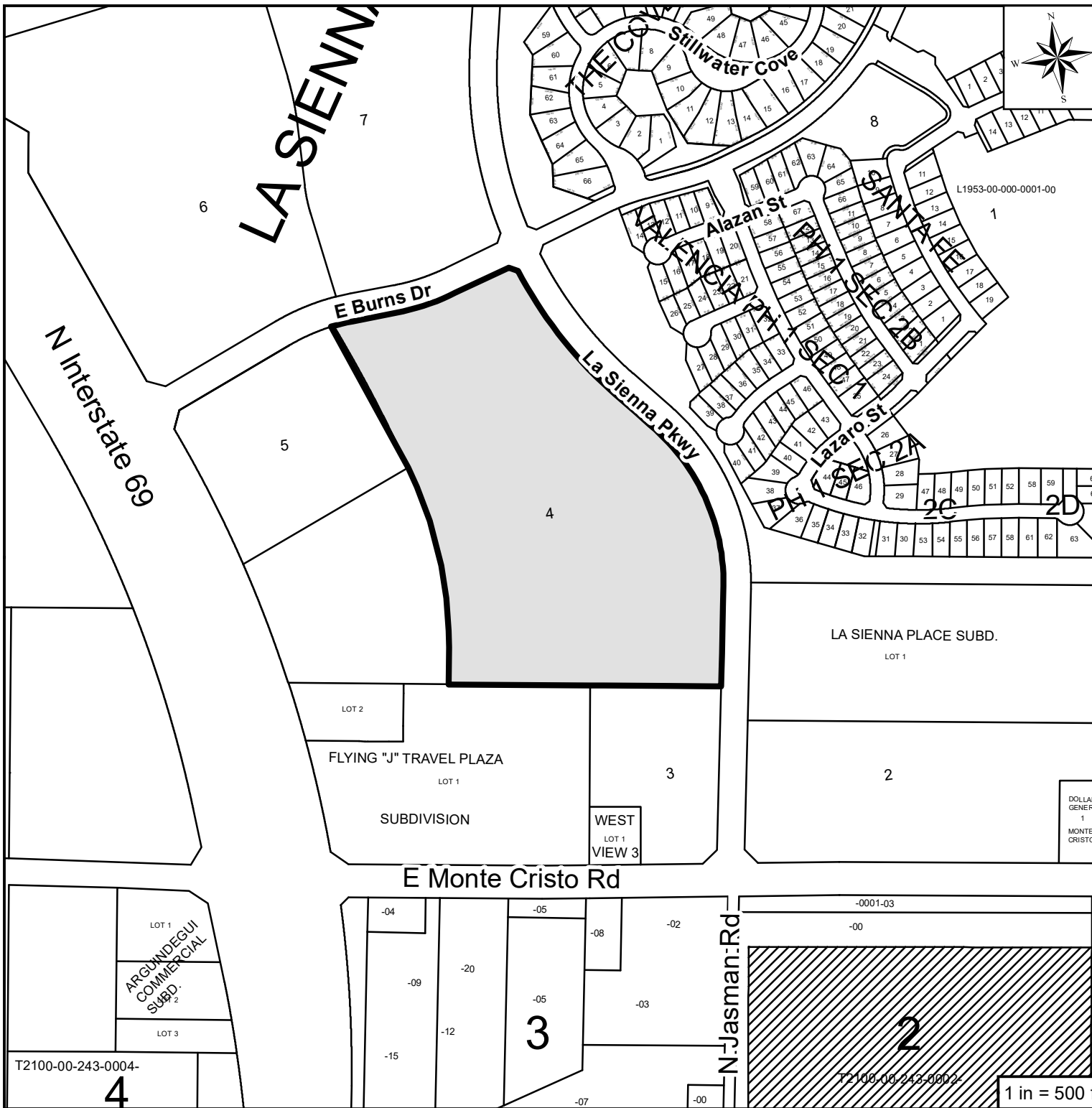
**Legend**

-  CITY LIMITS
-  SUBDIVISION SITE

**SITE LOCATION MAP**









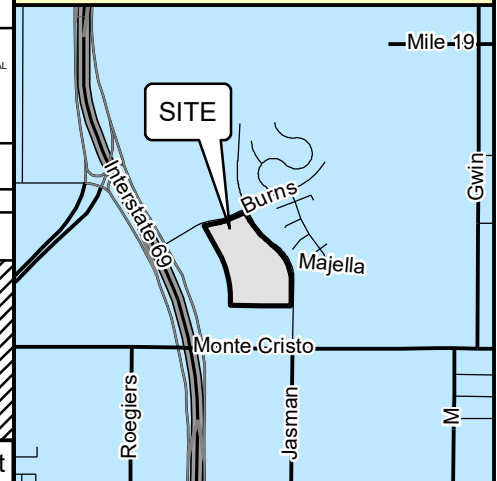
**CASE CAPTION:**

**SUBDIVISION NAME**  
**SILOS AT LA SIENNA**

**Legend**

-  CITY LIMITS
-  SUBDIVISION SITE

**SITE LOCATION MAP**



PRIVATE  
SUBDIVISION MAP OF  
**SILOS AT LA SIENNA**  
SUBDIVISION PHASE I

16.197 ACRES BEING PART OR PORTION OUT OF LOT 4, AMENDED  
PLAT OF LA SIENNA DEVELOPMENT, ACCORDING TO THE PLAT  
THEREOF RECORDED IN VOLUME 54, PAGE 9, HIDALGO COUNTY MAP  
RECORDS, CITY OF EDINBURG, HIDALGO COUNTY, TEXAS



LOT 1

LOT 5

LOT 4

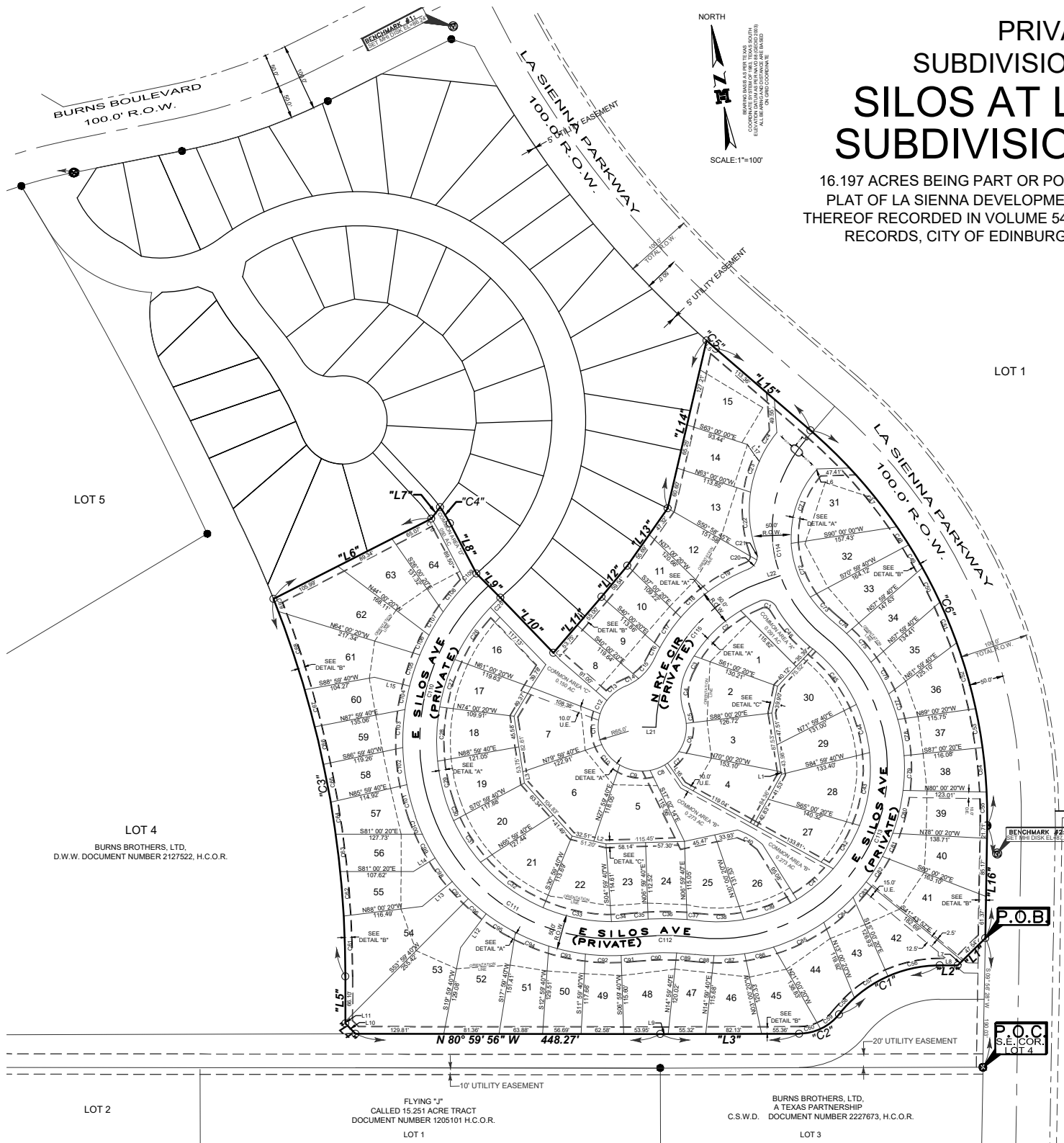
BURNS BROTHERS, LTD.  
D.W.W. DOCUMENT NUMBER 2127522, H.C.O.R.

LOT 2

FLYING "J"  
CALLED 15.251 ACRE TRACT  
DOCUMENT NUMBER 1205101 H.C.O.R.  
LOT 1

BURNS BROTHERS, LTD.,  
A TEXAS PARTNERSHIP  
C.S.W.D. DOCUMENT NUMBER 2227673, H.C.O.R.  
LOT 3

LOT 2





**SUBDIVISION WITHIN CITY LIMITS CHECK LIST  
SUBDIVISION PROCESS**
**RECORDING STAGE - FINAL**

PLANNING &amp; ZONING DEPARTMENT (956) 388-8202

 Date : **November 23, 2021**

Date Filed: <b>March 25, 2021</b>	P&Z Preliminary: <b>May 11, 2021</b>	P&Z Final: <b>December 14, 2021</b>	City Council: <b>January 4, 2022</b>
Reviewed By: <b>Abel Beltran, Subd. Coord.</b> <a href="mailto:abeltran@cityofedinburg.com">abeltran@cityofedinburg.com</a>	Staff Review : <b>April 22, 2021</b> Staff / Engineer : <b>April 29, 2021</b>	Time Line : <b>365</b> Days 1st Extension : <b>0</b> Days 2nd Extension : <b>0</b> Days	Expires : Expires 1: Expires 2:

Preliminary/Final Fees Required - With the Approvals from Engineering &amp; Utility Departments

Owner:	BURNS BROTHERS, LTD.			4216 N. U.S. 281, Edinburg, Texas 78542		Mario Reyna, P.E. Project Engineer	
SILOS at LA SIENNA SUBDIVISION PHASE II				Consultant : Melden & Hunt, Inc.			
DESCRIPTION			Provided	Need to Provide	Not Applicable	Need to Revise	COMMENTS

**Subdivision Recording Process:**

Public Improvements with (Letter of Credit)			✓		Dated:	Expires:
Recording Fees	\$ 106.00		✓		As required by County Clerks office	
Copy of H.C.D.D. #1 of invoice	\$ 250.00		✓		Required to be paid prior to Final Stages	
Street Escrow (Road)	\$ -			✓	Required: 0	LF. @ \$ -
Sidewalk Escrow (Road)	\$ -			✓	Required: 0	LF @ \$ -
TOTAL ECROW REQUIRED :	\$ -					
Total Developer's Construction Cost: (Letter of Credit)			✓		Date :	Lender :
Laboratory Testing Fee: 3%	\$ 26,899.13	✓			\$ 896,637.67	Estimated Construction Cost
Inspection Fee: 2%	\$ 21,387.15		✓		\$ 1,069,357.62	Final Construction Cost
Park Land Fees: ETJ \$ - Per Unit 0				✓	\$ -	Parkland Zone Area # 2
44 Residential \$ 300.00	\$ 13,200.00		✓		50% Development	50% Building Stage
0 Multi-Family \$ -	\$ -			✓	0% Development	0% Building Stage
Water Rights: COE - CCN	\$ 32,925.14		✓		11.37 Acres	\$ 2,896.81
Water 30-year Letter (Residential)	\$ 14,300.00		✓		44 Lots @ \$ 325.00	COE WATER-CCN
Water 30-year Letter (Multi-Family)	\$ -			✓	0 Lots @ \$ -	
Sewer 30-year Letter COE - CCN	\$ 2,860.00		✓		44 Lots @ \$ 65.00	COE SYSTEM-CCN
TOTAL FEES:	\$ 50,085.14					

**Tax Certificates**

County of Hidalgo / School District		✓			
Water District		✓			Hidalgo County Irrigation District # 1
Escrows	\$ -	Street & Sidewalk Improvements for (Road)			
Material Testing / Inspection Fees	\$ 21,387.15	Material Testing Fee & City Inspection Fee based on LOC, etc.			
Water Rights, Service Agreement Fees	\$ 50,085.14	30-Year Water & Sewer Fees			
Park Land Fees: Area # 2	\$ 13,200.00	50% of Parkland Fee is required.			
Reimbursements	\$ -	Reimbursement to the Developer of <b>Subdivision</b>			
City of Edinburg	\$ -	15% Payable to the City of Edinburg for Administrative Fee			
To the Developer of Record	\$ -	85% Payable to the Developer of Record Owner / Developer			
Buyouts	\$ -	Based on Subdivision (Need Request and Approval rate from Broad)			
TOTAL :	\$ 84,672.29	Total Fees, Escrows, Reimbursements & Buyouts			

 Approved By : **Abel Beltran, Planner**

Checked By :



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## STAFF REPORT: RE-PLAT OF LOTS 7 & 11, NORTH INDUSTRIAL PARK SUBDIVISION

October 27, 2021

Planning and Zoning Meeting:

December 14, 2021

Agenda Item: **7E**

Final Plat

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**Subject:** Consider the Final Plat for the Re-plat of Lots 7 & 11, North Industrial Park Subdivision, being an 8.22 acre tract of land out of all of Lots 7 & 11, North Industrial Park Subdivision, located at 700 Independence Drive, as requested by R.E. Garcia & Associates.

**Location:** The property is located on the east side of Democracy Drive between Independence and Constitution Drives and is within the City of Edinburg's City Limits.

**Zoning:** Industrial (I) District

**Analysis:** The Preliminary replat consists of three (3) industrial lots averaging approximately from 3.50 acres to 2.36 acres tracts, with setbacks per the recorded plat.

**Utilities:** Water Distribution System and Sanitary Sewer Collection System is within City of Edinburg CCN service area. All utility improvements within the proposed subdivision that are not limited to water, sewer, curb & gutter, and fire hydrants will be installed by the developer in accordance with the approved 2014 Standards Manual.

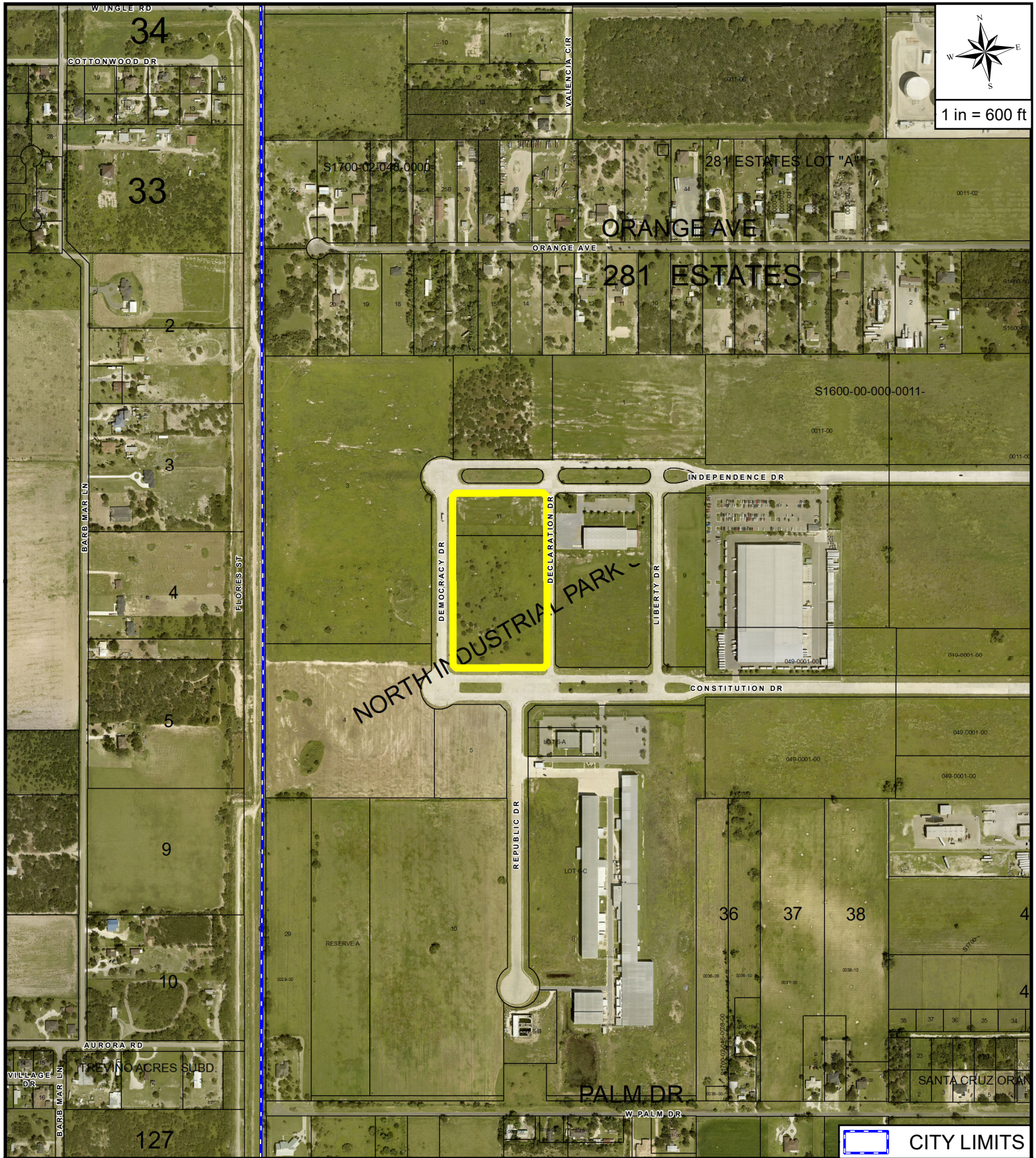
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### Recommendations:


#### **City of Edinburg:**

Staff recommends the approval of the Final Plat, subject to the compliance with the Unified Development Code (UDC), cost estimates by the City of Edinburg, and acceptance of the financial guarantee for the completion of the subdivision improvements prior to recording the subdivision plat. Financial Guarantee will be released upon completion and acceptance of public improvements.



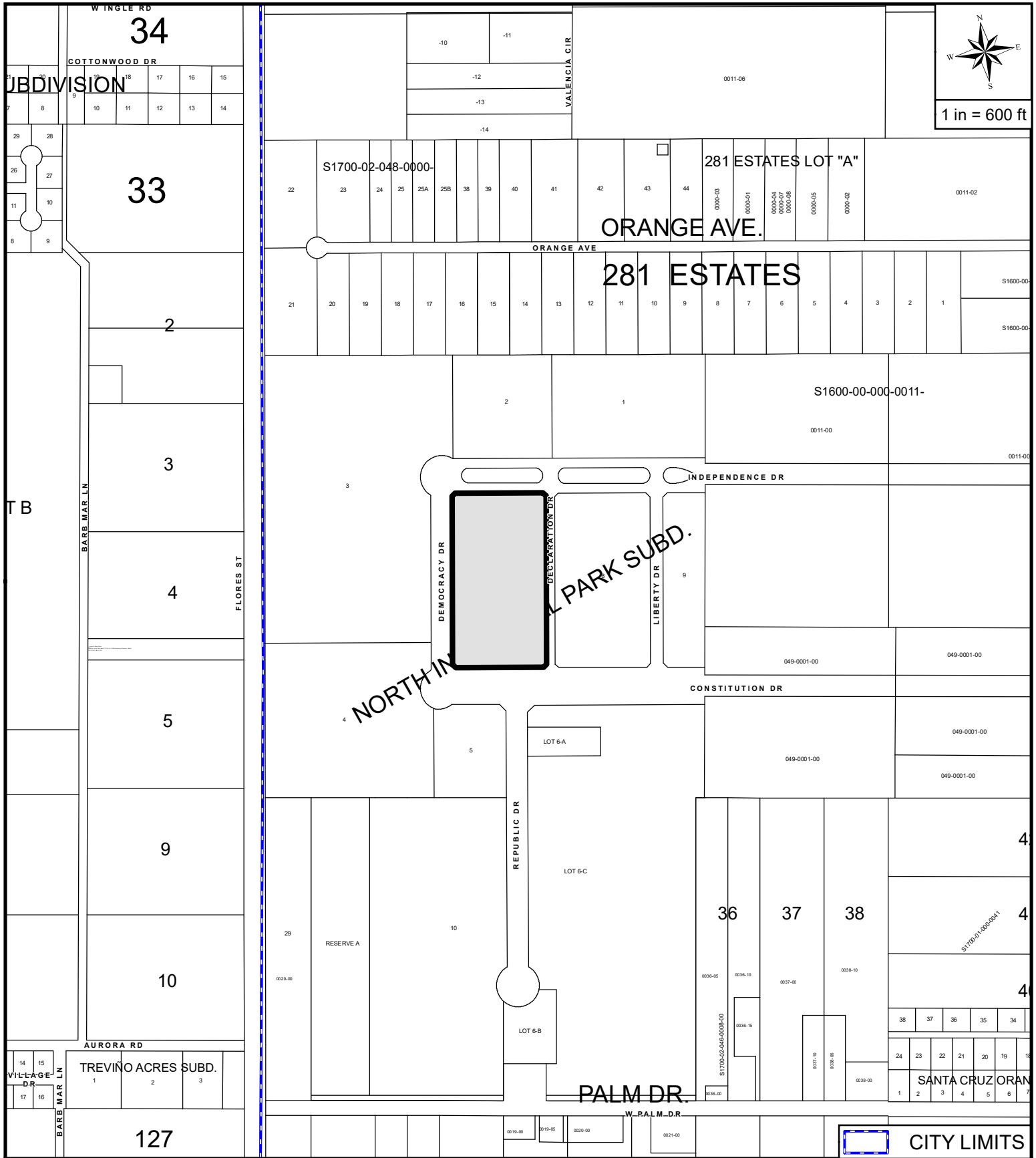


AERIAL MAP	
APPLICANT/SUBDIVISION:	NORTH INDUSTRIAL PARK
CASE CAPTION:	CONSIDER THE PRELIMINARY PLAT OF RE-PLAT OF LOTS 7 & 11 NORTH INDUSTRIAL PARK SUBDIVISION, BEING A 8.22 ACRE TRACT OUT OF LAND OUT OF LOTS 7 & 11, NORTH INDUSTRIAL PARK SUBDIVISION, AS PER MAP OR PLAT THEREOF RECORDED IN DOCUMENT NUMBER 2247392 MAP RECORDS OF HIDALGO COUNTY, TEXAS. LOCATED AT THE SOUTH SIDE OF INDEPENDENCE DRIVE, EAST SIDE OF DEMOCRACY DRIVE AND ON THE NORTH SIDE OF CONSTITUTION DRIVE, LOCATED AT 700 INDEPENDENCE DRIVE, AS REQUESTED BY R.E. GARCIA & ASSOCIATES

 CITY LIMITS

**LEGEND**





**SITE MAP**

**APPLICANT/SUBDIVISION:** NORTH INDUSTRIAL PARK

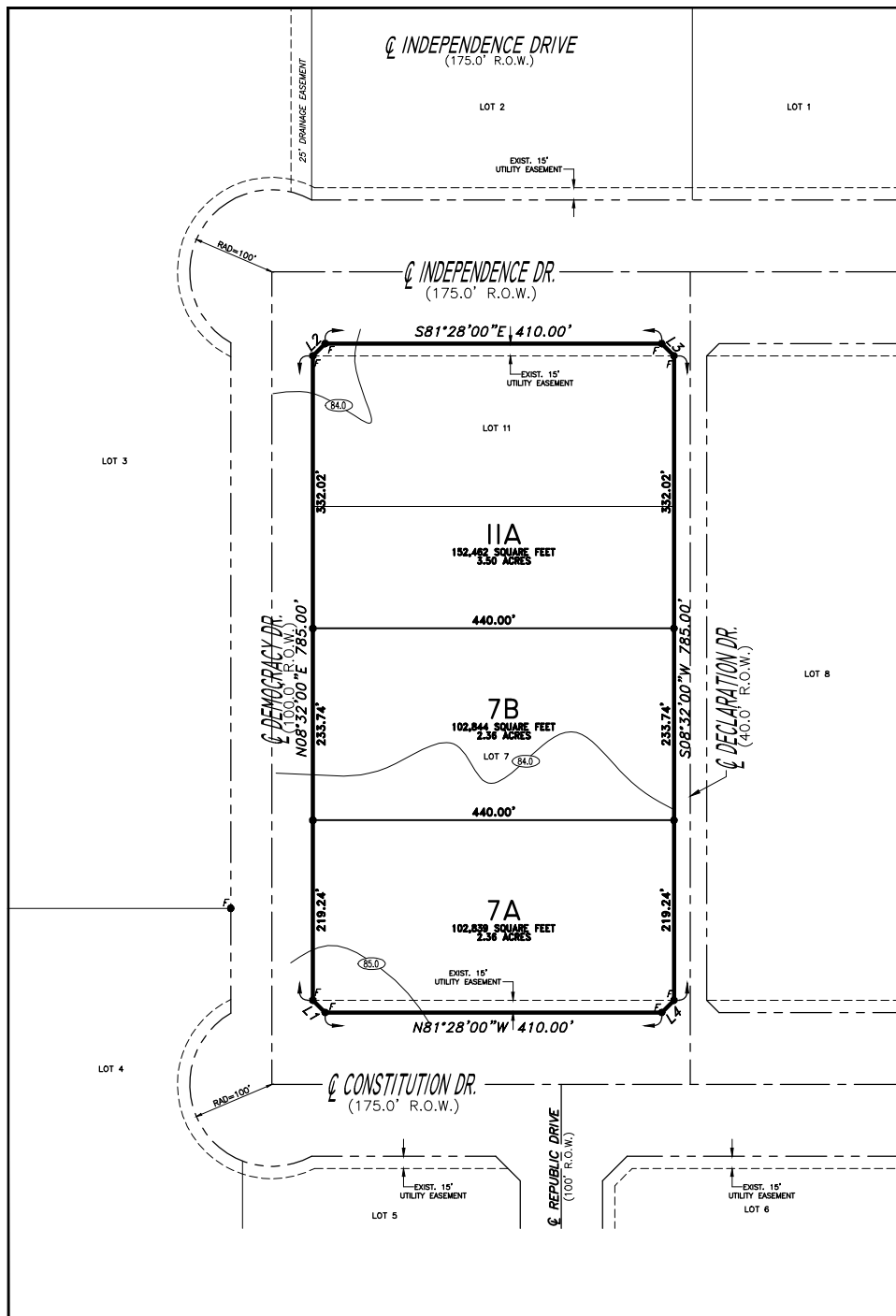
**CASE CAPTION:**

CONSIDER THE PRELIMINARY PLAT OF RE-PLAT OF LOTS 7 & 11 NORTH INDUSTRIAL PARK SUBDIVISION, BEING A 8.22 ACRE TRACT OUT OF LAND OUT OF LOTS 7 & 11, NORTH INDUSTRIAL PARK SUBDIVISION, AS PER MAP OR PLAT THEREOF RECORDED IN DOCUMENT NUMBER 2247392 MAP RECORDS OF HIDALGO COUNTY, TEXAS. LOCATED AT THE SOUTH SIDE OF INDEPENDENCE DRIVE, EAST SIDE OF DEMOCRACY DRIVE AND ON THE NORTH SIDE OF CONSTITUTION DRIVE, LOCATED AT 700 INDEPENDENCE DRIVE, AS REQUESTED BY R.E. GARCIA & ASSOCIATES

**LEGEND**

CITY LIMITS

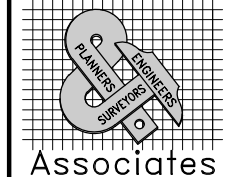
SUBDIVISION SITE



SCALE: N.T.S.

# RE-PLAT OF LOTS 7 & 11 NORTH INDUSTRIAL PARK SUBDIVISION

R.E. Garcia



**R. E. GARCIA & ASSOCIATES**

ENGINEERS, SURVEYORS, PLANNERS  
ENGINEER (F-5001) & SURVEYOR (10015300)

116 NORTH 12th AVE.  
EDINBURG, TEXAS 78541 (956) 381-1061  
EMAIL: REGAASSOC@AOL.COM

**SUBDIVISION WITHIN CITY LIMITS CHECK LIST  
SUBDIVISION PROCESS**
**PRELIMINARY STAGE**

PLANNING &amp; ZONING DEPARTMENT (956) 388-8202

 Date : **November 2, 2021**

Date Filed: <b>October 25, 2021</b>	P&Z Preliminary: <b>November 9, 2021</b>	P&Z Final: _____	City Council: _____
Reviewed By: <b>Abel Beltran, Subd. Coord.</b> <a href="mailto:abeltran@cityofedinburg.com">abeltran@cityofedinburg.com</a>	Staff Review : <b>October 21, 2021</b> Staff / Engineer : <b>October 28, 2021</b>	Time Line : <b>365</b> Days 1st Extension : <b>0</b> Days 2nd Extension : <b>0</b> Days	Expires : _____ Expires 1: _____ Expires 2: _____

Director of Planning & Zoning :	Kimberly A. Mendoza, MPA	Email : <a href="mailto:kmendoza@cityofedinburg.com">kmendoza@cityofedinburg.com</a>	City Office #:	(956) 388-8202
Director of Utilities :	Gerardo Carmona, P.E.	Email : <a href="mailto:gcarmona@cityofedinburg.com">gcarmona@cityofedinburg.com</a>	City Office #:	(956) 388-8212
Director of Public Works :	Vincent Romero	Email : <a href="mailto:layala@cityofedinburg.com">layala@cityofedinburg.com</a>	City Office #:	(956) 388-8210
Director of Engineering :	Mardoqueo Hinojosa, P.E., CPM	Email : <a href="mailto:mhinojosa@cityofedinburg.com">mhinojosa@cityofedinburg.com</a>	City Office #:	(956) 388-8211

Owner:	Edinburg EDC (Hiren Govid)				415 W. University Drive, Edinburg, TX 78539		R.E. Garcia, P.E. Project Engineer	
RE-PLAT of LOTS 7 & 11 NORTH INDUSTRIAL PARK					Consultant : R. E. Garcia & Associates			
DESCRIPTION			Provided	Need to Provide	Not Applicable	Need to Revise	COMMENTS	

**Subdivision Process:**

Subdivision Plat Submittal	✓				
Warranty Deed	✓				
Topography Survey	✓				
Drainage Report Submittal (As Per City Drainage Policy)		✓			Approved by H.C.D.D.#1 Date: Pending Approval
Zoning : City Limits - Industrial District	✓				
Flood Zone	✓				Zone "AE" , Panel # 480338-0500 B With BFE of 86 Elevation

**Preliminary Submittals:**

Existing & Proposed Water Distribution Layout	✓				City of Edinburg - Distribution System
Water Distribution System Provider:	✓				City of Edinburg - Distribution System
Existing & Proposed Sewer Collection Layout	✓				City of Edinburg Sanitary Sewer Collection System
Sanitary Sewer Collection System Provider:	✓				City of Edinburg Sanitary Sewer Collection System
Existing and Proposed Drainage Layout System:	✓				Private Drainage System onto H.C.D.D. # 1
Principal Arterial Street Right-of-way Dedication (0-ft B-B)	✓				Proposed Street Section (00-B-B)
Minor / Major Collector Street pavement Section	✓				In Accordance to Standard Street Policy
Variances Appeals Request: 2021	✓				Planning & Zoning Meeting Results City Council Meeting
Street Widening Improvements			✓		
Street 5-ft Sidewalk Improvements (At Building Stage)			✓		
Drainage Improvements			✓		

**Construction Plans Review Submittals:**

(See Section 4 Construction Plans Submittals Policy, 2014 STANDARD POLICY MANUAL)

Cover Sheet		✓			
Topography Sheet (Utilities, Bench Marks)		✓			
Sanitary Sewer Improvements: <b>Stub-Outs</b>		✓			City of Edinburg Sanitary Sewer Standard Policy's
Sanitary Sewer Detail Sheets		✓			See Section 3 Utility Policy, 2014 Standard Policy Manual
Water Distribution Improvements: (Services)		✓			City of Edinburg Water Supply Standard Policy's
Water Distribution Detail Sheet (Fire Hydrant Assembly)		✓			See Section 3 Utility Policy, 2014 Standard Policy Manual
Drainage Improvements:			✓		
Drainage Detail Sheets			✓		See Section 1 Drainage Policy, 2014 Standard Policy Manual
Minor/Major Collector Streets Improvements:			✓		See Section 2 Streets Policy, 2014 Standard Policy Manual
Street Sign Sheet:			✓		
Street Detail Sheets			✓		See Section 2 Streets Policy, 2014 Standard Policy Manual
Street Lighting Sheet:			✓		
Traffic Control Plan:			✓		
Erosion Control Plan			✓		
Erosion Control Plan Detail Sheet			✓		See Storm Water Management, 2014 Standard Policy Manual



DESCRIPTION	Provided	Need to Provide	Not Applicable	Need to Revise	COMMENTS
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**Pre-Construction Meeting:**

Notice To Proceed (For Services)		✓			Dated:
Roadway Open-Cut or Bore Permit Application		✓			Dated: Pending If Crossing any Street
TX-Dot Water UIR Permit			✓		
TX-Dot Sewer UIR Permit			✓		
N.O.I. Submittal (At Construction Stage)		✓			Dated: Construction Stage
SWPP Booklet Submittal (At Construction Stage)		✓			Dated: Construction Stage
RFI #1 Request			✓		Dated:
Change Orders			✓		Dated:
Final Walk Though			✓		Dated:
Punch List			✓		Dated:
Punch List ( )			✓		Dated:
Letter of Acceptance			✓		Dated:
1-year Warranty (Water/Sewer/Paving/Drainage)			✓		Dated:
Backfill Testing Results			✓		Dated:
As-Builts (Revised Original Submittal)			✓		Dated:

**Recording Process:**

Public Improvements with (Letter of Credit)			✓		Dated: Expires:
Recording Fees	\$ 106.00		✓		As required by County Clerks office
Copy of H.C.D.D. #1 of invoice	\$ 250.00		✓		Required to be paid prior to Final Stages
Street Light Escrow	\$ -		✓		Required: 0 EA. @ \$ -
Street Escrow	\$ -		✓		Required: 0 EA. @ \$ -
Sidewalk Escrow	\$ -		✓		Required: 0 LF @ \$ -
TOTAL OF ESCROWS:	\$ -				
Total Developer's Construction Cost: (Letter of Credit)					Date : Lender :
Laboratory Testing Fee: 0%	\$ -		✓		\$ - Estimated Construction Cost
Inspection Fee: 0%	\$ -		✓		\$ - Final Construction Cost
Park Land Fees: Park Zone #3	\$ -		✓		0 Lots @ \$ - Full rate within the ETJ
0 Residential \$ -	\$ -		✓		50% Development 50% Building Stage
0 Multi-Family \$ -	\$ -		✓		50% Development 50% Building Stage
Water Rights: COE - CCN	\$ -		✓		8.220 Acres \$ -
Water 30-year Letter (Industrial)	\$ -		✓		3 Lots @ \$ - COE WATER-CCN
Water 30-year Letter (Multi-Family)	\$ -		✓		0 Units @ \$ -
Sewer 30-year Letter COE - CCN	\$ -		✓		3 Lots @ \$ - COE SEWER-CCN
TOTAL OF FEES:	\$ -				

**Reimbursements:**

Developer Sewer Improvements	\$ -		✓		Off-Site System: 0.000 AC \$ -
Developer Water Improvements	\$ -		✓		Off-Site System 0.00 AC \$ -
TOTAL OF REIMBURSEMENTS:	\$ -				

**Buyouts:**

North Alamo Water Supply Corporation	\$ -		✓		Required Buyout 0.00 AC. \$ -
Sharyland Water Supply Corporation			✓		Not Applicable

**Tax Certificates**

County of Hidalgo / School District		✓			
Water District		✓			Hidalgo County Irrigation District # 1

**Total of Escrows, Fees, Reimbursements and Buyouts:**

Escrows	\$ -	Street & Sidewalk Improvements for Roads
Inspections other Fees	\$ -	Parkland Fees, Water/Sewer 30-year Agreement/Water Rights
Reimbursements	\$ -	Reimbursement to the Developer of Subdivision
City of Edinburg	\$ -	15% Payable to the City of Edinburg for Administrative Fee
To the Developer of Record	\$ -	85% Payable to the Developer of Record Owner / Developer
Buyouts	\$ -	Based on Subdivision (Need Request and Approval rate from NAWSC Broad)
TOTAL :	\$ -	Developer Total Cost of Fees, Escrows, Reimbursements & Buyouts



**City of Edinburg**  
**PLANNING & ZONING COMMISSION**  
Regular Meeting: 12/14/2021

— SUBDIVISION VARIANCE —

Agenda Item No: 8A  
**CITRUS GARDENS SUBDIVISION**

1. **Agenda Item:** Consider Variance Requests to the City's Unified Development Code: 1) Section 7.404B Blocks and Block Length and 2) Section 8.204 Street Standards, proposed Citrus Gardens Subdivision, Lot 13, Block 3, Santa Cruz Gardens Unit No. 2, located at 2705 East Davis Road, as requested by RO Engineering, PLLC
2. **Description/Scope:** The Citrus Gardens Subdivision is located on the north side of East Davis Road, approximately 1,600 ft. west of North Doolittle Road in the City's extraterritorial jurisdiction (ETJ) immediately north of the City Limits. The subdivision has a total area of 10.07 acres and is proposed for a single family residential development consisting of 40 lots. Preliminary plat approval is one of the items for consideration on the agenda by the Board. Mr. Rene Olivarez, P.E., is requesting two variances to the City's Unified Development Code (UDC) for this subdivision.

**Variance Request #1: 7.404B Blocks and Block Length**

This Variance Request is to the maximum block length allowed for subdivisions.

A maximum block length of 800 ft. is allowed for subdivision and development design under Section 7.404B of the UDC. The proposed subdivision has a block length of 1,161 ft. along its only street, over 45% longer than the maximum allowed by UDC regulations.

The reason given for this request is that "the proposed subdivision will be in between two orchards that will be kept for farming." The proposed plat showed a knuckle approximately 800 ft. north of Davis Road. Engineering Department has recommended stub-out streets going east and west from the location of the proposed knuckle to provide for connectivity, access, and traffic flow when adjacent properties are developed.

**Variance Request #2: Section 8.204 Street Standards**

This Variance Request is to the required street improvements on East Davis Road, approximately 270 ft. along the south side of this development.

The Rio Grande Valley Metropolitan Planning Organization classifies East Davis Road as a Minor Arterial Street. Engineering standards require minimum right-of-way (ROW) of 100 ft. with 65 ft. of back-to-back paving for a street of this type. The developer is proposing to dedicate the additional 20 ft. of ROW, but not to complete the required street improvements or provide payment in lieu of, as also required by the UDC. The applicant has stated that sidewalks will be provided when the commercial lot at the south end of this subdivision is constructed. The location

is approximately 1,870 ft. (0.35 mi.) from the Kay Teer Crawford Elementary School. The total cost estimate for these street improvements is \$ \$65,754.00.

3. **Staff's Recommendation:** Staff recommends disapproval of both variance requests and that the developer comply with the UDC requirements and engineering standards. No viable hardship or rationale for these variance requests has been established.

Variance #1: Engineering staff has recommended that the knuckle located 800 ft. north of the subdivision access be changed to provide stub outs going east and west. When future development occurs to the east and west of this location, connectivity, traffic flow, access, and safety would be negatively impacted without these stub outs. The proposed block length would also contribute to traffic speed issues, and traffic calming measures (speed humps, chicanes, island, raised pedestrian crossing, etc.) are recommended if this variance is approved.

Variance #2: The street improvements at this location should be completed for this subdivision. The property abuts the City Limits. The Davis Palms Subdivision, recorded on September 2, 2008, is directly across East Davis Road from the proposed Citrus Gardens location. The developer for Davis Palms Subdivision completed all required street improvements. At a minimum, cost in lieu of these improvements should be escrowed with the City as required by the UDC.

Prepared By:  
**D. Austin Colina**  
Planner I

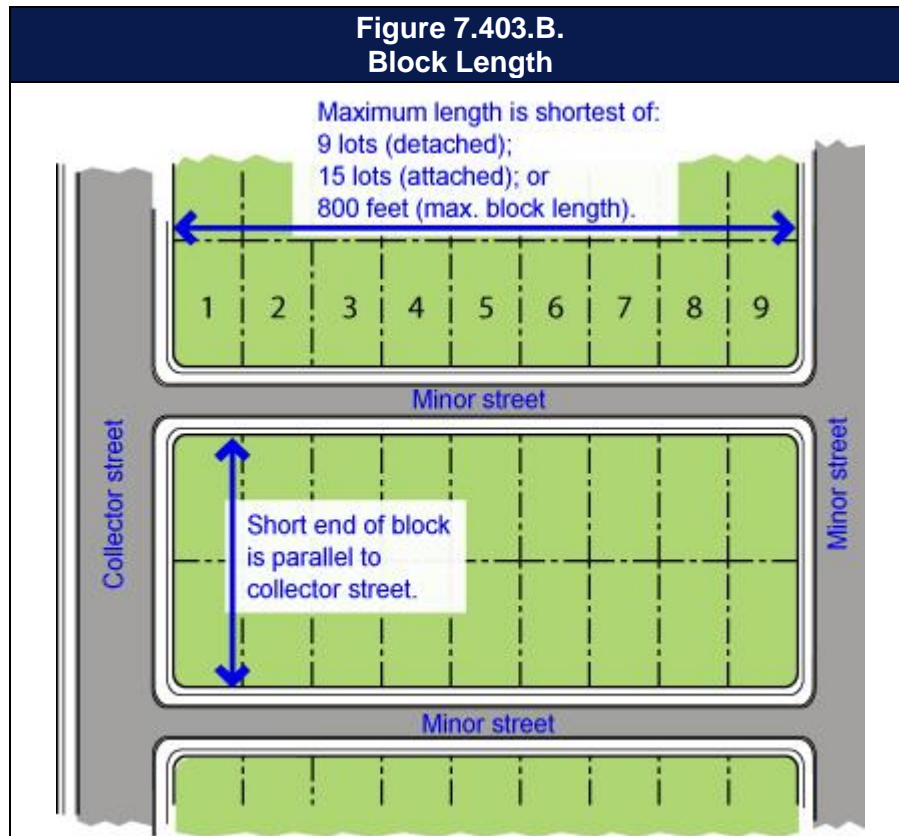
Approved By:  
**Kimberly Mendoza, MPA**  
Director of Planning and Zoning

**Attachments:**  
Unified Development Code  
Aerial Photo  
Site Map  
Subdivision Plat  
Application  
Cost Estimate



## Sec. 7.404 Blocks

- B. **Block Length.** Where possible, blocks shall be laid out to have their short length abutting arterials, collectors, or the development's major road. The blocks should not, in most instances, exceed nine lots in length on one side of the street, except for attached units on individual lots, which shall not exceed 15 lots (or, in the case of condominiums, cooperatives, or rental housing, 15-unit footprints plus required building side yards). See Figure 7.403.B., *Block Length*. **No block may exceed 800 feet in length.** The length, width, and shape of blocks should be determined with due regard to the provision of adequate sites for buildings of the type proposed, zoning requirements, fire access, emergency service, and police protection.



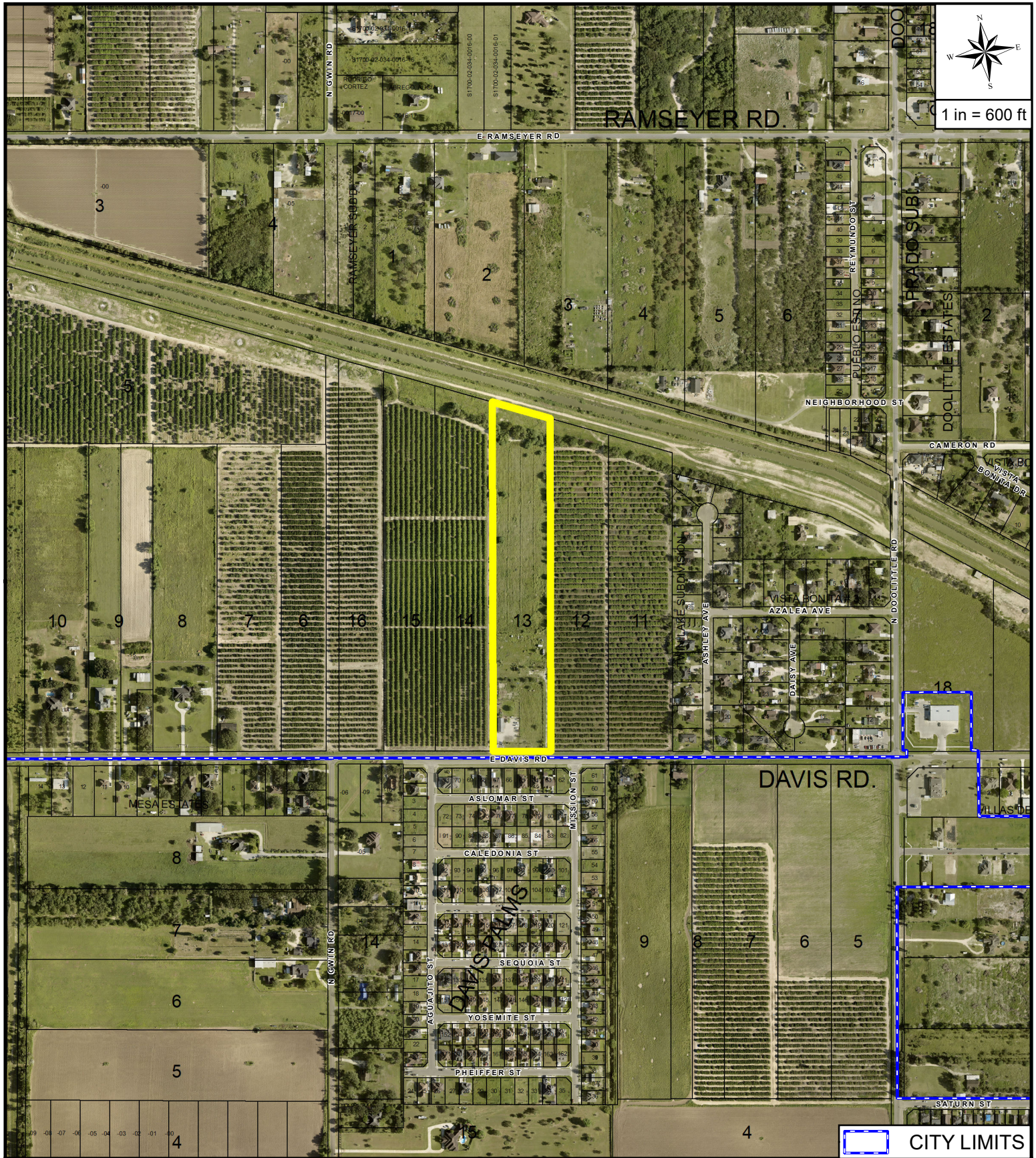
## Sec. 8.204 Street Standards

- A. **Streets.** The standards in Table 8.204, *Street Standards*, shall govern all street construction, except with regard to State highways, which shall meet Texas Department of Transportation (TxDOT) specifications.

Table 8.204 Street Standards <sup>1</sup>		
Right-of-way Width	Paving Width <sup>2</sup>	Paving Sections Escrow
50 ft. (w/5 ft. U.E.) Minor (60 ft. with street trees)	32 ft. B-B	8-inch Caliche 2-inch HMAC
60 ft. Residential Collector <sup>3</sup>	43 ft. 2 lanes (+) 2 park (+) C&G <sup>4</sup>	8-inch Caliche 2-inch HMAC
80 ft. Collector	57 ft. B-B 2 lanes (1 OL) (+) 2 park (+) C&G	10-inch Caliche 2-inch HMAC
→ 100 ft. Minor Arterial	65 ft. B-B 5 lanes (1CL) (+) C&G	12-inch Caliche 3-inch HMAC
120 ft. Arterial	81 ft. B-B 5 lanes (1CL) (+) 2 park (+) C&G 1 side	12-inch Caliche 3-inch HMAC
<sup>1</sup> Source: City Standards Manual, Section II-3. <sup>2</sup> Travel lanes are 12 ft. wide and parking lanes ("park") are 8 ft. wide. Continuous Left (CL) and Occasional Left (OL) lanes are 14 ft. wide. <sup>3</sup> Multi-family subdivisions shall be required to comply with residential collector street standards. <sup>4</sup> C&G means 1.5 ft. wide curb and gutter on each side of the street.		

- B. **Adjustments.** The City shall, where feasible, require the street's design to minimize the disturbance of natural resources, including floodplains. Where additional right-of-way is needed to obtain vertical curve, grade, clear sight triangles, turn lanes, or medians, the required right-of-way shall be adjusted to the extent necessary in accordance with local needs as determined by the Planning and Engineering Departments.
- C. **Half Streets Prohibited.** No half-streets shall be permitted in new subdivision plats.





**AERIAL MAP**

**APPLICANT/SUBDIVISION:** RENE OLIVAREZ

**CASE CAPTION:**

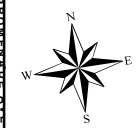
Consider the Preliminary Plat of CITRUS GARDENS Subdivision, being a 10.07 acre tract out of lot 13, Block 39 of the Santa Cruz Gardens Unit No. 2 subdivision, as per map or plat thereof recorded in Volume 8, page 28, Map Records of Hidalgo County, Texas. Located at 2705 E. Davis Road, as requested by RO Engineering, PLLC.

**LEGEND**

CITY LIMITS

APPLICANT SITE





1 in = 600 ft

N GWIN RD

E RAMSEYER RD

REYMUNDO ST

NEIGHBORHOOD ST

CAMERON RD

VISTA BONITA DR

N DOOLITTLE RD

AZALEA AVE

ASHLEY AVE

DAISY AVE

E DAVIS RD

ASLOMAR ST

CALEDONIA ST

TASSAJARA ST

SEQUOIA ST

YOSEMITE ST

PHEIFFER ST

AGUAJITO ST

MISSION ST

N GWIN RD

SATURN ST

CITY LIMITS

LEGEND

SUBDIVISION SITE



SITE MAP	
APPLICANT/SUBDIVISION:	RENE OLIVAREZ
CASE CAPTION:	Consider the Preliminary Plat of CITRUS GARDENS Subdivision, being a 10.07 acre tract out of lot 13, Block 39 of the Santa Cruz Gardens Unit No. 2 subdivision, as per map or plat thereof recorded in Volume 8, page 28, Map Records of Hidalgo County, Texas. Located at 2705 E. Davis Road, as requested by RO Engineering, PLLC.

# MAP OF CITRUS GARDENS SUBDIVISION EDINBURG, TEXAS

BEING A 10.07 GROSS ACRE TRACT OF LAND, MORE OR LESS, OUT OF AND FORMING A PART OF LOT 13, BLOCK 39 OF THE SANTA CRUZ GARDENS UNIT NO. 2 IN HIDALGO COUNTY, TEXAS, SAID 10.07 ACRE TRACT OF LAND IS MORE PARTICULARLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

## METES AND BOUNDS DESCRIPTION

BEING LOT 13, BLOCK 39 OF THE SANTA CRUZ GARDENS UNIT NO. 2 IN HIDALGO COUNTY, TEXAS, AND THAT SAME LAND CONVEYED BY THE JERRY WAYNE CONOVER REVOCABLE TRUST TO RENE R. AND NORMA C. OLIVAREZ IN WARRANTY DEED WITH VENDOR'S LIEU DATED MARCH 24, 2016 AND RECORDED IN DOCUMENT NO. 2697826 OF THE OFFICIAL RECORDS OF HIDALGO COUNTY, TEXAS.

BEING MORE FULLY DESCRIBED BY METES AND BOUNDS AS FOLLOWS:

BEGINNING: AT A POINT IN THE CENTERLINE OF DAVIS ROAD AND AT THE SOUTHEAST CORNER OF LOT 14, BLOCK 39 OF THE SANTA CRUZ GARDENS UNIT NO. 2, FOR THE SOUTHWEST CORNER OF THIS HEREIN DESCRIBED TRACT;

THENCE: N 08°23'00" E -1681.30 FEET ALONG THE EAST LINE OF SAID LOT 14 AND THE WEST LINE OF THIS HEREIN DESCRIBED TRACT TO A POINT IN THE NORTH LINE OF A DRAINAGE EASEMENT DESCRIBED IN VOLUME 1671, PAGE 194 OF THE DEED RECORDS OF HIDALGO COUNTY, TEXAS, FOR THE NORTHWEST CORNER OF THIS HEREIN DESCRIBED TRACT;

THENCE: S 66°29'14" E -279.69 FEET ALONG THE NORTH LINE OF SAID DRAINAGE EASEMENT AND THE NORTH LINE OF THIS HEREIN DESCRIBED TRACT TO A POINT AT THE NORTHWEST CORNER OF LOT 12, BLOCK 39 OF THE SANTA CRUZ GARDENS UNIT NO. 2, FOR THE NORTHEAST CORNER OF THIS HEREIN DESCRIBED TRACT;

THENCE: S 08°23'00" W -1588.30 FEET ALONG THE WEST LINE OF SAID LOT 12 AND THE EAST LINE OF THIS HEREIN DESCRIBED TRACT TO A POINT AT THE SOUTHWEST CORNER OF SAID LOT 12 AND IN CENTERLINE OF SAID DAVIS ROAD, FOR THE SOUTHEAST CORNER OF THIS HEREIN DESCRIBED TRACT;

THENCE: N 81°37'00" W -270.00 FEET ALONG THE CENTERLINE OF SAID DAVIS ROAD AND THE SOUTH LINE OF THIS HEREIN DESCRIBED TRACT TO THE POINT OF BEGINNING, CONTAINING WITHIN THESE METES AND BOUNDS A 10.07 ACRE TRACT, MORE OR LESS.

## GENERAL SUBDIVISION PLAT NOTES:

1. PROPOSED SETBACKS AS PER NEIGHBORHOOD CONSERVATION 5.1:

FRONT: 20.00  
SIDE: 6.00  
REAR: 10.00  
SIDE CORNER GARAGE: 10.00  
SIDE CORNER: 10.00  
OR EASEMENT, WHICHEVER IS GREATER ON ALL CASES.

2. FLOOD ZONE STATEMENT: ZONE "AE" (SHADED), AREAS OF 500-YEAR FLOOD; AREAS OF 100-YEAR FLOOD WITH AVERAGES DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREA PROTECTED BY LEVELS FROM 100-YEAR FLOOD, AS PER COMMUNITY-PANEL NUMBER: 480338 DOTS 1 LOW DATE: MAY 14, 2021.

3. BENCH MARK DESCRIPTION: BENCH MARK: EXISTING SANITARY SEWER MANHOLE LOCATED 110.00' EAST FROM THE SOUTHEAST CORNER OF LOT 14, BLOCK 39 OF THE SANTA CRUZ GARDENS UNIT NO. 2 WITH AN ELEVATION OF: 84.30

4. A 5.0 FOOT (5.0') SIDEWALK IS REQUIRED ON ALL INTERNAL STREET AT THE BUILDING PERMIT STAGE.

5. A 5.0 FOOT (5.0') SIDEWALK IS REQUIRED ALONG ROGERS ROAD DURING SUBDIVISION CONSTRUCTION.

6. IN ACCORDANCE WITH THE HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 AND HIDALGO COUNTY REQUIREMENTS, THIS DEVELOPMENT WILL BE REQUIRED TO DETAIN 24,484 CUBIC-Feet OR 0.56 ACRE-Feet OF STORM WATER RUNOFF FOR THIS SUBDIVISION.

7. NO PERMANENT STRUCTURES SHALL BE ALLOWED WITHIN UTILITY EASEMENTS, GAS EASEMENTS, IRRIGATION EASEMENTS AND LOT LINES.

8. ALL LOT CORNERS ARE SET 1/2 INCH IRON RODS, UNLESS OTHERWISE NOTED.

9. ALL CONSTRUCTION SHALL COMPLY WITH STORM WATER POLLUTION PREVENTION PLAN (SWPP) REQUIREMENTS.

10. MINIMUM FINISH FLOOR SHALL BE 24" ABOVE TOP OF CURB OR BASE FLOOD ELEVATION WHICHEVER IS GREATER.

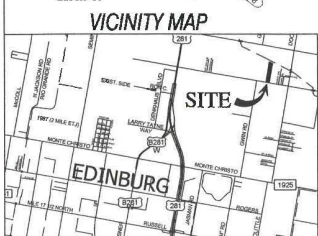
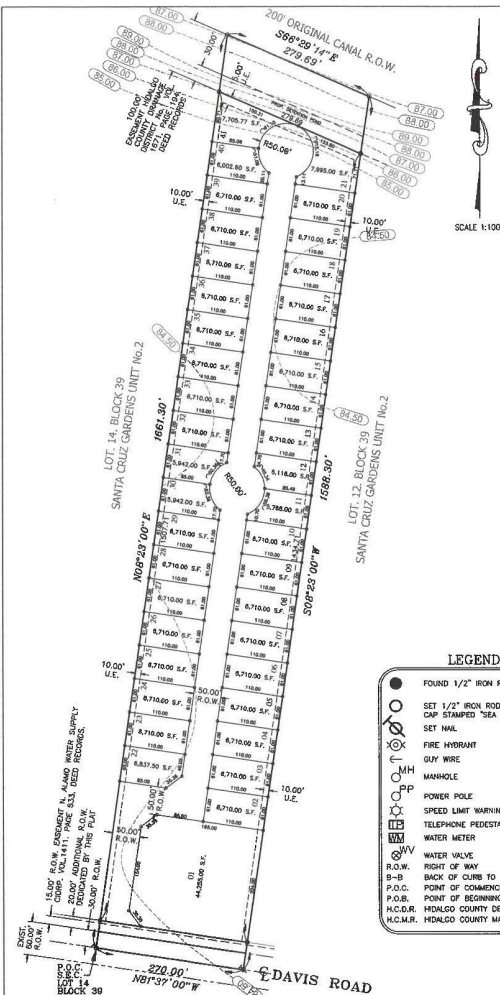
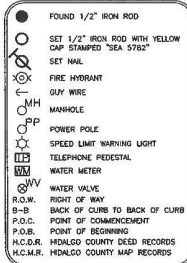
11. A \$01E (\$300.0) OF PARK AND LAND FEE WILL BE DUE AT BUILDING PERMIT STAGE FOR RESIDENTIAL LOTS ONLY.

12. ALL WATER AND SANITARY SEWER FEES HAVE BEEN PAID BY DEVELOPER.

13. NO MORE THAN ONE SINGLE FAMILY DETACHED DWELLING SHALL BE LOCATED ON EACH LOT.

14. ALL LOTS SHALL HAVE A POST DEVELOPMENT FINISHED GRADE FROM DE REAR OF THE LOT TO THE CURB AT A 1.0% SLOPE TO ACCOMPLISH POSITIVE DRAINAGE.

## LEGEND



FILED FOR RECORD IN  
HIDALGO COUNTY  
AT EDINBURG, TEXAS  
JULY 14, 2021  
BY: \_\_\_\_\_

ON: \_\_\_\_\_ AM/PM  
RECORDED IN VOLUME \_\_\_\_\_ PAGE \_\_\_\_\_  
OF THE MAP RECORDS OF HIDALGO COUNTY, TEXAS  
BY: \_\_\_\_\_ DEPUTY



**RO ENGINEERING, PLLC**  
ENGINEERING & CONSTRUCTION MANAGEMENT

2705 E. Davis Rd., Suite A  
Edinburg, Texas 78540  
TBPE Firm Registration No.  
12179

STATE OF TEXAS  
COUNTY OF HIDALGO

I, (WE) \_\_\_\_\_ THE UNDERSIGNED, OWNER(S) OF THE LAND SHOWN ON THIS PLAT, AND DESIGNATED HEREIN AS \_\_\_\_\_ SUBDIVISION ADDITION OF THE CITY OF EDINBURG, AND WHOSE NAME IS SUBSCRIBED HERETO, HEREBY DEDICATE TO THE USE OF THE PUBLIC FOREVER ALL STREETS, ALLEYS, PARKS, WATERCOURSES, DRAINS, EASEMENTS AND PUBLIC PLACES THEREON SHOWN FOR THE PURPOSE OF CONSIDERATION THEREIN EXPRESSED.

NAME \_\_\_\_\_  
ADDRESS \_\_\_\_\_  
ADDRESS \_\_\_\_\_

STATE OF TEXAS  
COUNTY OF HIDALGO

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED \_\_\_\_\_ KNOWN TO ME TO BE THE PERSON WHOSE NAME (S) IS (ARE) SUBSCRIBED TO THE FOREGOING INSTRUMENT, AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME FOR PURPOSES AND CONSIDERATIONS THEREIN STATED.

GIVEN UNDER MY HAND AND SEAL OF OFFICE THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2021.

NOTARY PUBLIC \_\_\_\_\_ DATE \_\_\_\_\_  
MY COMMISSION EXPIRES ON \_\_\_\_\_

APPROVED BY DRAINAGE DISTRICT NO. 1

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1 HEREBY CERTIFIES THAT THE DRAINAGE PLANS FOR THIS SUBDIVISION COMPLY WITH THE MINIMUM STANDARDS OF THE DISTRICT ADOPTED UNDER TEXAS WATER CODE, 49.211(C). THE DISTRICT HAS NOT REVIEWED AND DOES NOT CERTIFY THAT THE DRAINAGE STRUCTURES DESCRIBED ARE APPROPRIATE FOR THE SPECIFIC SUBDIVISION, BASED ON GENERALLY ACCEPTED ENGINEERING CRITERIA. IT IS THE RESPONSIBILITY OF DEVELOPER OF THE SUBDIVISION AND HIS ENGINEER TO MAKE THESE DETERMINATIONS.

HIDALGO COUNTY DRAINAGE DISTRICT NO. 1

RAUL E. SESIN, P.E., C.F.M.  
GENERAL MANAGER

DATE \_\_\_\_\_

STATE OF TEXAS  
COUNTY OF HIDALGO

I, \_\_\_\_\_ A REGISTERED PROFESSIONAL LAND SURVEYOR IN THE STATE OF TEXAS, HEREBY CERTIFY THAT THIS PLAT IS MADE AND IS PREPARED FROM AN ACTUAL SURVEY ON THE PROPERTY MADE UNDER MY SUPERVISION ON THE GROUND OF THE PROPERTY LEGALLY DESCRIBED HEREON, AND THAT THERE ARE NO APPARENT DISCREPANCIES, CONFLICTS, OR OVERLAPPING OF IMPROVEMENTS, VISIBLE UTILITY LINES OR ROADS IN PLACE, EXCEPT AS SHOWN ON THE ACCOMPANYING PLAT, AND THAT THE CORNER MONUMENTS SHOWN THEREON WERE PROPERLY PLACED UNDER MY SUPERVISION IN ACCORDANCE WITH THE SUBDIVISION REGULATIONS OF THE CITY OF EDINBURG, TEXAS.

REGISTERED PROFESSIONAL LAND SURVEYOR No. \_\_\_\_\_ R.P.L.S.  
DATE \_\_\_\_\_

STATE OF TEXAS  
COUNTY OF HIDALGO

I, THE UNDERSIGNED, CHAIRPERSON OF THE PLANNING AND ZONING COMMISSION OF THE CITY OF EDINBURG HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS WITH THE SUBDIVISION REGULATIONS OF THE CITY WHEREIN MY APPROVAL IS REQUIRED AND HAS BEEN APPROVED FOR RECORDING ON THE \_\_\_\_\_ DAY OF \_\_\_\_\_, 2021.

PLANNING & ZONING COMMISSION CHAIRPERSON \_\_\_\_\_ DATE \_\_\_\_\_

STATE OF TEXAS  
COUNTY OF HIDALGO

I, THE UNDERSIGNED MAYOR OF THE CITY OF EDINBURG, TEXAS, HEREBY CERTIFY THAT THIS SUBDIVISION PLAT CONFORMS WITH ALL THE CITY REQUIREMENTS OF THE SUBDIVISION REGULATIONS OF THE CITY WHEREIN MY APPROVAL IS REQUIRED.

CITY OF EDINBURG, MAYOR \_\_\_\_\_ DATE \_\_\_\_\_

CITY SECRETARY \_\_\_\_\_ DATE \_\_\_\_\_

HIDALGO COUNTY  
CERTIFICATE OF PLAT APPROVAL

HIDALGO COUNTY IRRIGATION DISTRICT # 1

NO IMPROVEMENTS OF ANY KIND SHALL BE PLACED UPON H&LD No. 1 RIGHTS-OF-WAY OR EASEMENTS WITHOUT THE EXPRESSED WRITTEN PERMISSION OF THE H&LD No. 1. THIS PLAT APPROVED BY THE HIDALGO COUNTY IRRIGATION DISTRICT No. 1 ON THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2021.

ATTEST: \_\_\_\_\_ PRESIDENT \_\_\_\_\_ DATE \_\_\_\_\_

SECRETARY \_\_\_\_\_ DATE \_\_\_\_\_

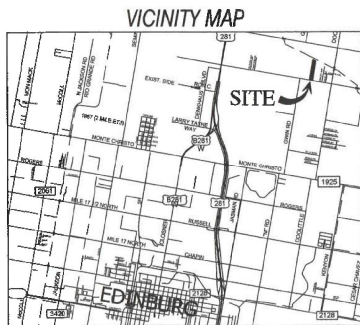
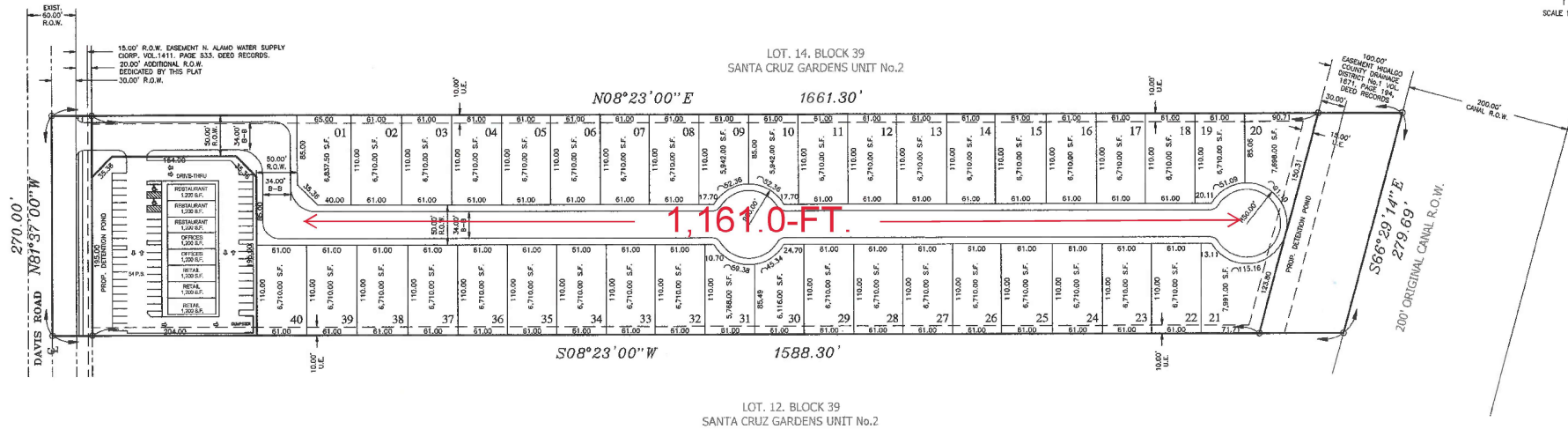
STATE OF TEXAS  
COUNTY OF HIDALGO

I, THE UNDERSIGNED, \_\_\_\_\_ RENE OLIVAREZ, A LICENSED PROFESSIONAL ENGINEER IN THE STATE OF TEXAS, DO HEREBY CERTIFY THAT PROPER ENGINEERING CONSIDERATION HAS BEEN GIVEN TO THIS PLAT.

\_\_\_\_\_, P.E.  
LICENSED PROFESSIONAL ENGINEER No. \_\_\_\_\_ DATE \_\_\_\_\_  
2705 E. DAVIS RD. SUITE A  
EDINBURG TEXAS 78540



**CITRUS GARDENS SUBDIVISION**  
**EDINBURG, TEXAS**



PROJECT LOCATION  
2705 E. DAVIS RD.  
EDINBURG TX 78540

PRELIMINARY, FOR CITY REVIEW ONLY

**RO ENGINEERING, PLLC**  
ENGINEERING & CONSTRUCTION MANAGEMENT  
2705 E. Davis Rd., Suite A  
Edinburg, Texas 78540  
TBE Firm Registration No.  
1217g

PROJECT NAME	CITRUS GARDENS SUBDIVISION
PROJECT LOCATION	2705 E. DAVIS RD. EDINBURG TX 78540
CLIENT INFORMATION	

[illegible]

## Site Plan





Case #

**Edinburg**  
THE CITY OF

Planning & Zoning Department  
415 W. University Drive  
Edinburg, Texas 78539  
(956) 388-8202

## Subdivision Appeals / Variance Application

Submittal Date: October 04, 2021

**Legal Description:**

Lot Thirteen (13), Block Thirty-nine (39), SANTA CRUZ GARDENS UNIT NO.2,  
Hidalgo County, Texas

**Variance Requested (Identify section of code for which variance is being requested):**

Block length Variance, 7.404B

**Reason for Request:**

The proposed subdivision will be in between two orchards that will be kept for farming. Also, We are including a knuckle at 800ft of the main access.

Rene Olivarez

Property Owner (Print legibly or type)

2705 E Davis Rd

Address

Edinburg, Texas, 78542

City, State, Zip

(956)-292-3336

Telephone

r.olivarez@ro-engineering.com

Email address

R. Olivarez

Signature

Rene Olivarez

Applicant / Agent (Print legibly or type)

2705 E Davis Rd

Address

Edinburg, Texas, 78542

City, State, Zip

(956)-292-3336

Telephone

r.olivarez@ro-engineering.com

Email address

R. Olivarez

Signature

\$450 Application Fee: \_\_\_\_\_

Received By: \_\_\_\_\_



**PROJECT:** CITRUS GARDENS WIDENING (CURRENT 24 E-E TO 64 B-B)

DEVELOPER ONLY RESPONSIBLE FOR HALF

ITEN NO.	ITEM DESCRIPTION	QTY	UNIT	UC	TOTAL
1	2-IN HOT MIX ASPHALT	1560	SY	\$12.00	\$18,720.00
2	12-IN FLEXIBLE BASE	1620	SY	\$15.50	\$25,110.00
3	10-IN SUBGRADE PREPATION W/ 2% LIME	1620	SY	\$3.50	\$5,670.00
4	24-IN CONCRETE CURB AND GUTTER	236	LF	\$19.00	\$4,484.00
5	5-LF CONCRETE SIDEWALK	236	LF	\$25.00	\$5,900.00
6	ADA RAMP	2	EA	\$850.00	\$1,700.00
7	24-IN REINFORCED CONCRETE PIPE	0	LF	\$49.00	\$0.00
8	REINFORCED CONCRETE INLET (TYPE A)	1	EA	\$3,500.00	\$3,500.00
9	6-LF VALLEY GUTTER	34	LF	\$20.00	\$680.00
<b>TOTAL</b>	<b>WIDENING COSTS</b>				<b>\$65,764.00</b>



**City of Edinburg**  
**PLANNING & ZONING COMMISSION**  
Regular Meeting: 12/14/2021

— SUBDIVISION VARIANCE —

Agenda Item No: 8B  
**COLE CROSSING SUBDIVISION**

1. **Agenda Item:** Consider Variance Requests to the City's Unified Development Code: 1) Section 7.404B Blocks and Block Length, 2) Section 8.204 Street Standards, and 3) Section 11.504A(1) Existing Stubs, proposed Cole Crossing Subdivision, being an 18.00 acre tract of land out of Lots 12 & 13, Block 35, Santa Cruz Gardens Unit No. 2, located at 2201 East Ramseyer Road, as requested by SDI Engineering, LLC
2. **Description/Scope:** The proposed Cole Crossing Subdivision is located on the north side of East Ramseyer Road, approximately 575 ft. west of Gwin Road, 950 ft. from the City Limits in the City's extraterritorial jurisdiction (ETJ). The 18.00 acre tract is currently used for agricultural purposes. The proposed subdivision is for a single family residential development consisting of 30 lots averaging approximately 22,540 sq. ft. each. SDI Engineering, LLC, on behalf of the developer, is requesting three variances to the City's UDC for the aforementioned subdivision.

**Variance Request #1: 7.404B Blocks and Block Length**

This Variance Request is to the maximum block length allowed for subdivisions.

UDC Section 7.404B states: "No block may exceed 800 feet in length." The proposed subdivision consists of a single street with a block length of approximately 1,452 ft., 81.5% longer than the maximum allowed by UDC regulations. Engineering Department has recommended four stub-out streets, two at the north end of the subdivision, and two at the midpoint of this subdivision's only street.

**Variance Request #2: Section 8.204 Street Standards**

This Variance Request is to the required street improvements on East Ramseyer Road, approximately 540 ft. along the south side of this development.

The Rio Grande Valley Metropolitan Planning Organization (MPO) classifies East Ramseyer Road as a Principal Arterial Street. Engineering standards require minimum right-of-way (ROW) of 120 ft. with 81 ft. of back-to-back paving for a street of this type. The developer is proposing to dedicate the additional 30 ft. of ROW and install sidewalks, but not to complete the required street improvements or provide payment in lieu of, as also required by the UDC. Estimated cost for these improvements is \$64,467.00.

**Variance Request #3: Section 11.504A(1) Existing Stubs**

This Variance Request is to the requirement for connecting to existing stubs in neighboring developments.



UDC Section 11.504A(1) states: “If the neighboring property has provided a stub to the subject property, the connection shall be made...” Haddonfield Subdivision Phase II, located immediately to the north of the proposed subdivision, has a stub provided for connectivity. The developer is proposing not to connect to the stub provided.

3. **Staff’s Recommendation:** Staff recommends disapproval of all three variance requests and that the developer comply with all UDC requirements and engineering standards. No viable hardship or rationale for these variance requests has been established.

Variance #1: Engineering Department has recommended that sub-out streets east and west be provided at the northern end and midpoint of this subdivision’s only street. When future development occurs to the east and west of this location, connectivity, traffic flow, access, and safety would be negatively impacted without these stub outs. The proposed block length would also contribute to traffic speed issues, and traffic calming measures (speed humps, chicanes, island, raised pedestrian crossing, etc.) are recommended if this variance is approved.

Variance #2: East Ramseyer Road is part of the MPO’s transportation improvement plan as a Principal Arterial Street. The proposed subdivision is less than 1,000 ft. from the City Limits. Proper street improvements, as required by the UDC, should be completed. Appropriate fee in lieu should be paid if the developer does not wish to complete street improvements as required. If approved, and the City completes improvements on East Ramseyer Road, the total current estimated cost is \$68,044.50.

Variance #3: The developer for the Haddonfield Subdivision Phase II to the north provided a stub for connectivity. If this developer for this subdivision does not to utilize the connection provided, future access will be limited. Fire Department has advised that this will create connectivity and access issues. Traffic circulation will also be negatively impacted without this connection.

Prepared By:

**D. Austin Colina**  
Planner I

Approved By:

**Kimberly Mendoza, MPA**  
Director of Planning and Zoning

**Attachments:**

Unified Development Code  
Aerial Photo  
Subdivision Plat  
Cost Estimate

## Sec. 8.204 Street Standards

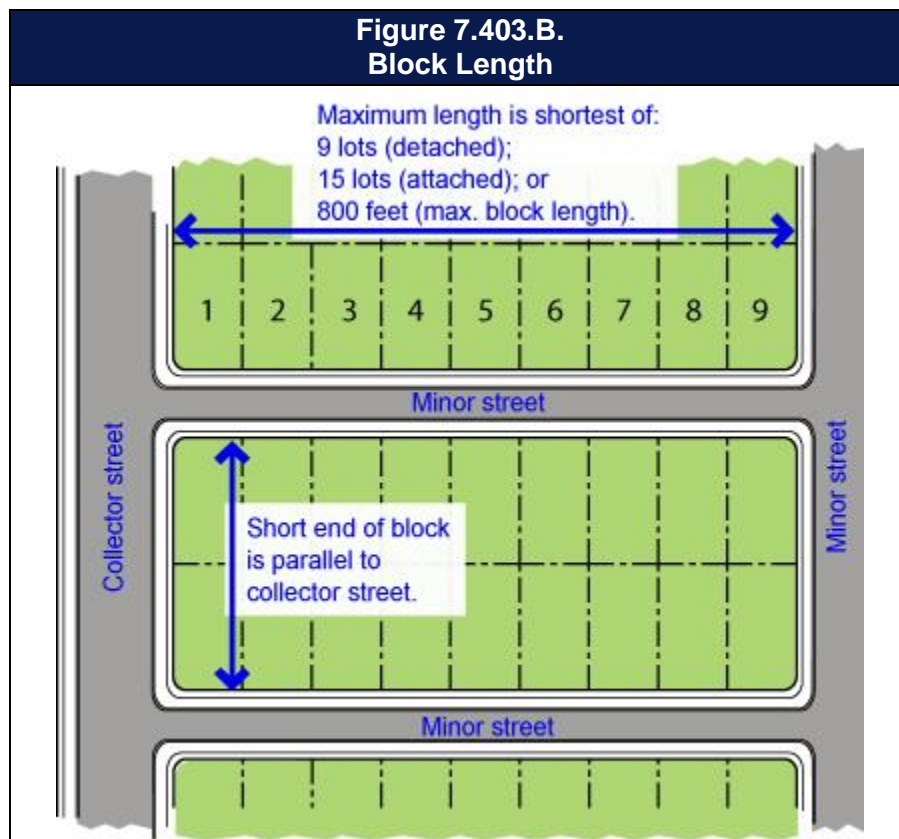
- A. **Streets.** The standards in Table 8.204, *Street Standards*, shall govern all street construction, except with regard to State highways, which shall meet Texas Department of Transportation (TxDOT) specifications.

Table 8.204 Street Standards <sup>1</sup>		
Right-of-way Width	Paving Width <sup>2</sup>	Paving Sections Escrow
50 ft. (w/5 ft. U.E.) Minor (60 ft. with street trees)	32 ft. B-B	8-inch Caliche 2-inch HMAC
60 ft. Residential Collector <sup>3</sup>	43 ft. 2 lanes (+) 2 park (+) C&G <sup>4</sup>	8-inch Caliche 2-inch HMAC
80 ft. Collector	57 ft. B-B 2 lanes (1 OL) (+) 2 park (+) C&G	10-inch Caliche 2-inch HMAC
100 ft. Minor Arterial	65 ft. B-B 5 lanes (1CL) (+) C&G	12-inch Caliche 3-inch HMAC
120 ft. Arterial	81 ft. B-B 5 lanes (1CL) (+) 2 park (+) C&G 1 side	12-inch Caliche 3-inch HMAC
<sup>1</sup> Source: City Standards Manual, Section II-3. <sup>2</sup> Travel lanes are 12 ft. wide and parking lanes ("park") are 8 ft. wide. Continuous Left (CL) and Occasional Left (OL) lanes are 14 ft. wide. <sup>3</sup> Multi-family subdivisions shall be required to comply with residential collector street standards. <sup>4</sup> C&G means 1.5 ft. wide curb and gutter on each side of the street.		

- B. **Adjustments.** The City shall, where feasible, require the street's design to minimize the disturbance of natural resources, including floodplains. Where additional right-of-way is needed to obtain vertical curve, grade, clear sight triangles, turn lanes, or medians, the required right-of-way shall be adjusted to the extent necessary in accordance with local needs as determined by the Planning and Engineering Departments.
- C. **Half Streets Prohibited.** No half-streets shall be permitted in new subdivision plats.

## Sec. 7.404 Blocks

- A. **Block pattern.** In general, streets shall be laid out to create blocks. Within any superblock created by arterials or collectors, the design objective is to provide an interconnected network of streets so that people may reach other locations within the superblock without having to access arterial or collector streets. See Figure 7.403.A., *Illustrative Block Pattern in Superblock to Create Connectivity*. If practicable, streets shall be arranged in a grid or comparable formal arrangement, and open spaces shall be integrated into the block design. Exceptions will be made for green spaces along drainage or stream channels or where other natural resources make a grid or comparable formal arrangement difficult or cost prohibitive.
- B. **Block Length.** Where possible, blocks shall be laid out to have their short length abutting arterials, collectors, or the development's major road. The blocks should not, in most instances, exceed nine lots in length on one side of the street, except for attached units on individual lots, which shall not exceed 15 lots (or, in the case of condominiums, cooperatives, or rental housing, 15-unit footprints plus required building side yards). See Figure 7.403.B., *Block Length*. **No block may exceed 800 feet in length.** The length, width, and shape of blocks should be determined with due regard to the provision of adequate sites for buildings of the type proposed, zoning requirements, fire access, emergency service, and police protection.
- C.





## Sec. 11.504 Block or Cul-De-Sac Length

---

The maximum length of blocks or cul-de-sacs is set to provide connectivity between adjoining parcels as they develop separately over time. There are conditions that can exist that warrant longer lengths. Any modulation of the lengths shall meet the criteria below. Maximums shall not exceed those in B and C below, as measured on both sides of the street.

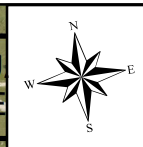
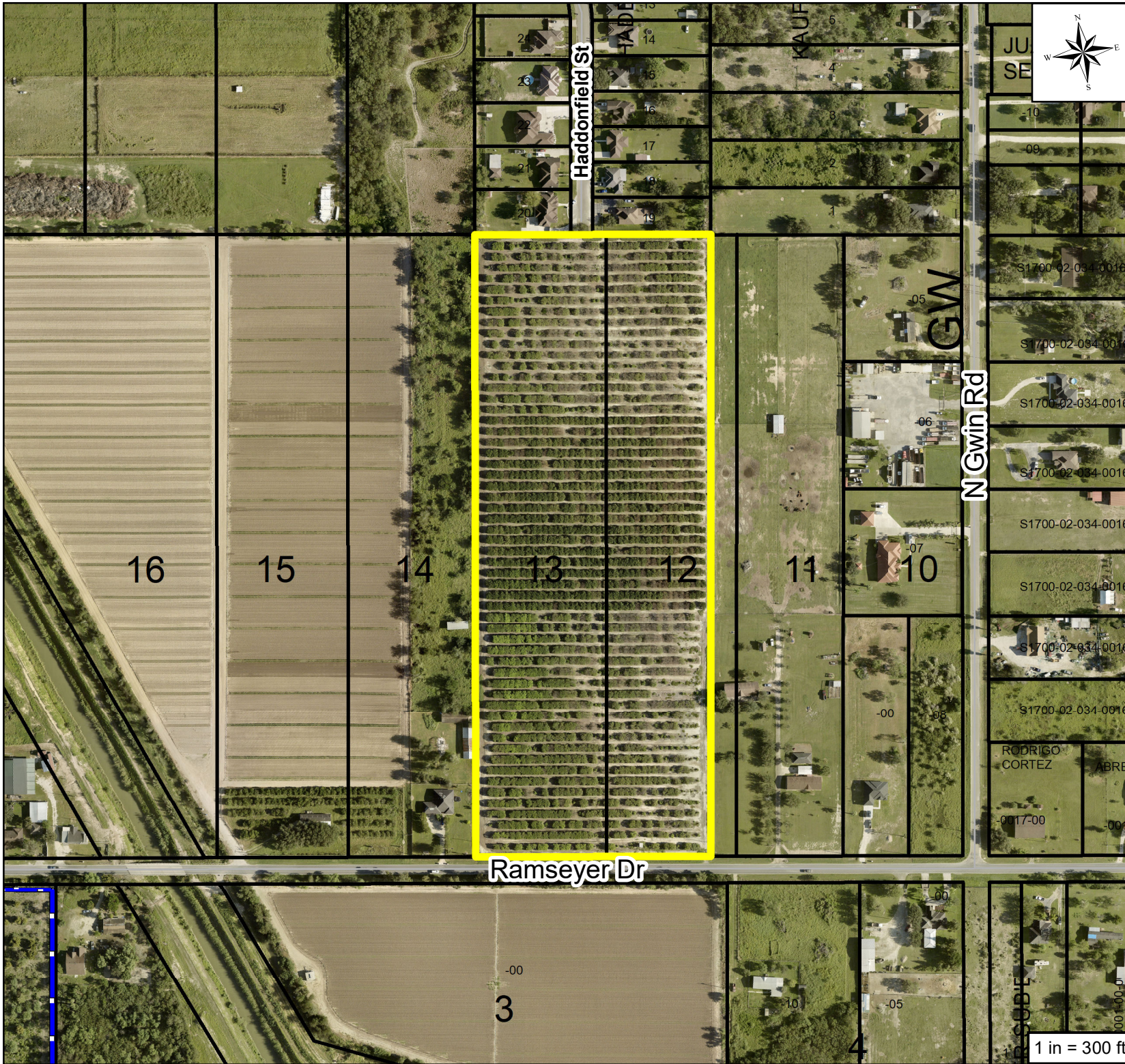
A. **Criteria.** The following criteria shall be met in granting a modulation:

1. **Existing Stubs.** If the neighboring property has provided a stub to the subject property, the connection shall be made unless there is a high quality wetland that would have to be destroyed to make the connection.
2. **Floodplain preservation.** A connection would result in floodplain being filled to a greater extent than provided by [Division 4.200](#), *Flood Control and Flood Damage Prevention*.
3. **Major Cost.** If there would be a major cost involved, such as a bridge over an irrigation canal, and the Planning and Zoning Department believes a connection is not needed at this location to provide good connectivity, then the modulation shall be permitted. If there is a stub on the other side, the City may require a pedestrian bridge to improve access.

B. **Blocks.** The blocks should not, in most instances, exceed nine lots in length on one side of the street, except for attached units that shall not exceed 15 lots as specified in Section [7.404](#), Blocks.

C. **Cul-de-Sacs.** Cul-de-sac length shall not exceed 24 lots per cul-de-sac.







## AERIAL MAP

### CASE CAPTION:

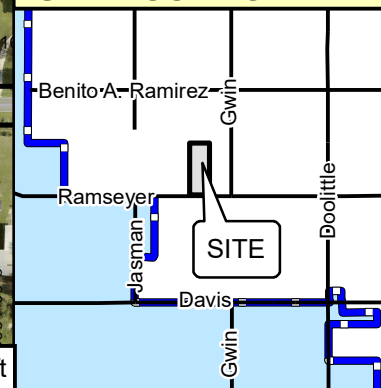
### SUBDIVISION NAME: COLE CROSSINGS

CONSIDER THE PRELIMINARY PLAT OF COLE CROSSING SUBDIVISION, BEING AN 18.00 -ACRE TRACT OUT OF TRACTS 12 & 13, BLOCK 35 SANTA CRUZ GARDENS UNIT NO. 2, AS PER MAP OR PLAT THEREOF RECORDED IN VOLUME 8, PAGE 28, MAP RECORDS OF HIDALGO COUNTY, TEXAS. LOCATED AT 2200 RAMSEYER ROAD, AS REQUESTED BY SDI ENGINEERING, INC. LLC

## Legend

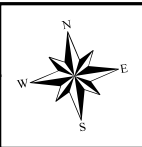
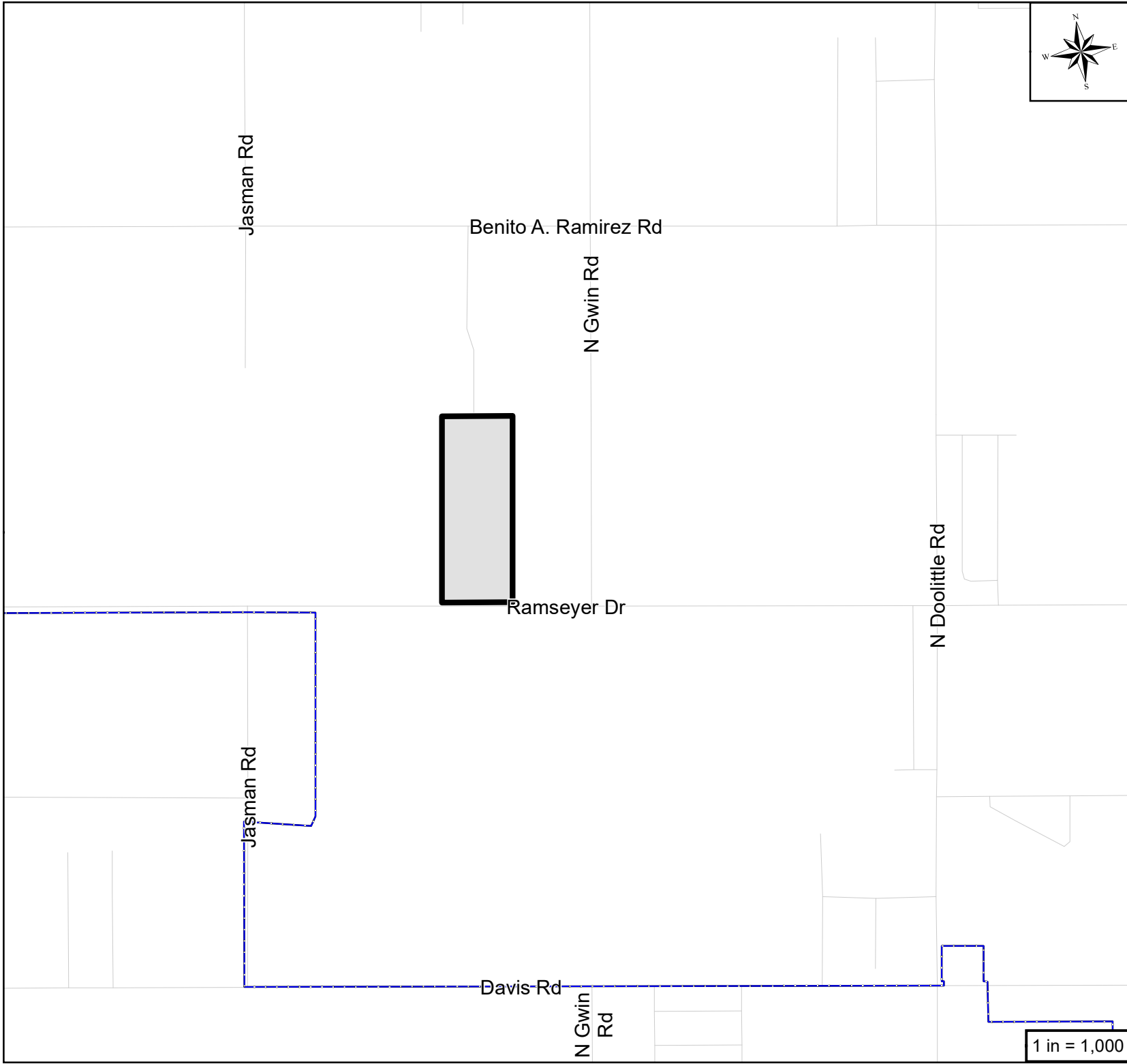
-  CITY LIMITS
-  SUBDIVISION SITE

## SITE LOCATION MAP



1 in = 300 ft







**SITE MAP**

**CASE CAPTION:**

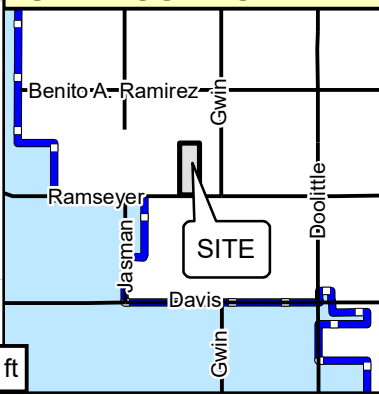
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**COLE CROSSINGS**

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**Legend**

-  CITY LIMITS
-  SUBDIVISION SITE

**SITE LOCATION MAP**







Case #

**Edinburg** THE CITY OF

Planning & Zoning Department  
415 W. University Drive  
Edinburg, Texas 78539  
(956) 388-8202

## Subdivision Appeals / Variance Application

Submittal Date: November 15, 2021

**Legal Description:**

Being an 18 Acre Tract of Land out of Lots 12 & 13, Block 35, Santa Cruz Gardens Unit No. 2 , Located at  
2200 Ramseyer Road.  
Cole Crossing Subdivision

Variance Requested (Identify section of code for which variance is being requested):

Article 11.504-A1 - Connectivity

**Reason for Request:**

Client chooses not to connect to the existing street stub-out located on the north side

**Cascabel Estates Inc/Mark & DeEtta Fryer**

Property Owner (Print legibly or type)

2320 Anacua Circle

Address

Edinburg, Texas 78539

City, State, Zip

(956) 607-0082

Telephone

mfryer@rgv.rr.com

Email address

Signature

**SDI Engineering, LLC**

Applicant / Agent (Print legibly or type)

5602 E Iowa Rd

Address

Edinburg, Texas 78542

City, State, Zip

(956) 287-1818

Telephone

iposadas@sdi-engineering.com

Email address

Signature

**\$450 Application Fee:** \_\_\_\_\_

Received By: \_\_\_\_\_



Case #

**Edinburg** THE CITY OF

Planning & Zoning Department  
415 W. University Drive  
Edinburg, Texas 78539  
(956) 388-8202

## Subdivision Appeals / Variance Application

Submittal Date: November 15, 2021

**Legal Description:**

Being an 18 Acre Tract of Land out of Lots 12 & 13, Block 35, Santa Cruz Gardens Unit No. 2, Located at  
2200 Ramseyer Road.  
Cole Crossing Subdivision

Variance Requested (Identify section of code for which variance is being requested):

Article 7.404-B - Block Length

**Reason for Request:**

Client chooses not to provide a street stub-out, instead chooses to provide a cul-de-sac knuckle in the center of the subdivision

**Cascabel Estates Inc/Mark & DeEtta Fryer**

Property Owner (Print legibly or type)

2320 Anacua Circle

Address

Edinburg, Texas 78539

City, State, Zip

(956) 607-0082

Telephone

mfryer@rgv.rr.com

Email address

Signature

**SDI Engineering, LLC**

Applicant / Agent (Print legibly or type)

5602 E Iowa Rd

Address

Edinburg, Texas 78542

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(956) 287-1818

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Case #

**Edinburg** THE CITY OF

Planning & Zoning Department  
415 W. University Drive  
Edinburg, Texas 78539  
(956) 388-8202

## Subdivision Appeals / Variance Application

Submittal Date: November 15, 2021

**Legal Description:**

Being an 18 Acre Tract of Land out of Lots 12 & 13, Block 35, Santa Cruz Gardens Unit No. 2 , Located at  
2200 Ramseyer Road.  
Cole Crossing Subdivision

Variance Requested (Identify section of code for which variance is being requested):

Article 7.502-C1 - Additional Pavement Section

**Reason for Request:**

Property is located in a rural area, no existing widening or curb and gutter. (Client chooses not to construct additional pavement section along Ramseyer Road. Client will install sidewalks along Ramseyer Road as part of the subdivision construction )

**Cascabel Estates Inc/Mark & DeEtta Fryer**

Property Owner (Print legibly or type)

2320 Anacua Circle

Address

Edinburg, Texas 78539

City, State, Zip

(956) 607-0082

Telephone

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\$450 Application Fee: \_\_\_\_\_

Received By: \_\_\_\_\_





ESTIMATED NUMBER : 1  
PROJECT NO. :

[illegible]



**City of Edinburg**  
**PLANNING & ZONING COMMISSION**  
Regular Meeting: 12/14/2021

— SUBDIVISION VARIANCE —

Agenda Item No: 8C  
**AZALEAS ESTATES SUBDIVISION**

1. **Agenda Item:** Consider Variance Request to the City's Unified Development Code, Section 8.204, Street Standards, proposed Azaleas Estates Subdivision, being a 30 acre tract of land consisting of all of Lots 20, 21, and 22, Caledonian Estates Subdivision, located at 3701 East Curve Road, as requested by Salinas Engineering & Associates.
2. **Description/Scope:** Azaleas Estates Subdivision is located between East Curve Road and East Curry Road, approximately 700 ft. east of South Doolittle Road. The 30 acre tract is currently vacant and is in the City's extraterritorial jurisdiction (ETJ), just outside the city limits. The subdivision is proposed for a single family residential development consisting of 36 lots of 0.75 acres each. Mr. David Omar Salinas, P.E., on behalf of the developer, is requesting a variance to the City's Unified Development Code (UDC).

This Variance Request was first submitted on August 3, 2021. Since that time, a development agreement was negotiated and approved by City Council on December 7, 2021. Annexation and initial zoning of Suburban Residential (S) District for this subdivision was also approved by Council as part of the agreement. Pending issues were resolved agreeably to all parties and includes City support of this Variance Request.

**Variance Request: Section 8.204 Street Standards**

This Variance Request is to the required roadway improvements on East Curve Road on the south side of this development. Engineering standards require minimum right-of-way (ROW) of 80 ft. with 57 ft. back-to-back paving width and curb and gutter for Collector Streets. The developer is proposing to dedicate the additional ROW, but not complete the street improvements or provide payment in lieu of, as required by the UDC. Estimated cost for these improvements is \$106,152.00.

3. **Staff's Recommendation:** Staff recommends approval of this variance based on the negotiated development agreement reached with the applicant. The 30 acre subdivision has been annexed by the City, and street improvements will be conducted when roadway widening on this segment of East Curve Road is completed by the City.

Prepared By:  
**D. Austin Colina**  
Planner I

Approved By:  
**Kimberly Mendoza, MPA**  
Director of Planning and Zoning

Attachments:  
Unified Development Code  
Aerial Photo  
Subdivision Plat  
Cost Estimate



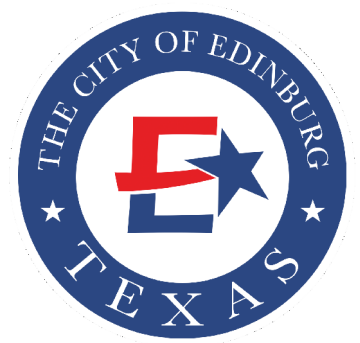
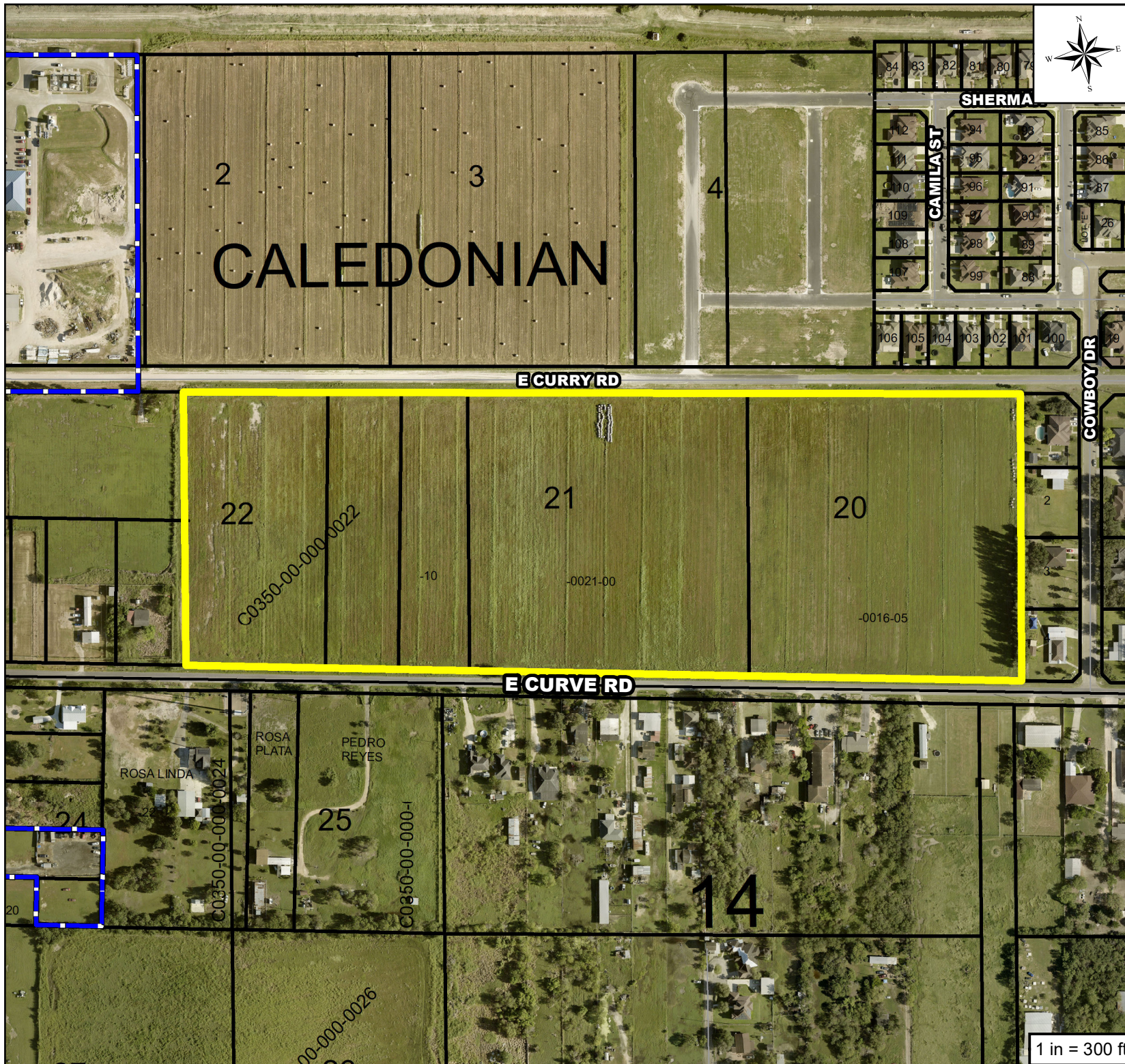
## Sec. 8.204 Street Standards

- A. **Streets.** The standards in Table 8.204, *Street Standards*, shall govern all street construction, except with regard to State highways, which shall meet Texas Department of Transportation (TxDOT) specifications.

Table 8.204 Street Standards <sup>1</sup>		
Right-of-way Width	Paving Width <sup>2</sup>	Paving Sections Escrow
50 ft. (w/5 ft. U.E.) Minor (60 ft. with street trees)	32 ft. B-B	8-inch Caliche 2-inch HMAC
60 ft. Residential Collector <sup>3</sup>	43 ft. 2 lanes (+) 2 park (+) C&G <sup>4</sup>	8-inch Caliche 2-inch HMAC
80 ft. Collector	57 ft. B-B 2 lanes (1 OL) (+) 2 park (+) C&G	10-inch Caliche 2-inch HMAC
100 ft. Minor Arterial	65 ft. B-B 5 lanes (1CL) (+) C&G	12-inch Caliche 3-inch HMAC
120 ft. Arterial	81 ft. B-B 5 lanes (1CL) (+) 2 park (+) C&G 1 side	12-inch Caliche 3-inch HMAC
<sup>1</sup> Source: City Standards Manual, Section II-3. <sup>2</sup> Travel lanes are 12 ft. wide and parking lanes ("park") are 8 ft. wide. Continuous Left (CL) and Occasional Left (OL) lanes are 14 ft. wide. <sup>3</sup> Multi-family subdivisions shall be required to comply with residential collector street standards. <sup>4</sup> C&G means 1.5 ft. wide curb and gutter on each side of the street.		

- B. **Adjustments.** The City shall, where feasible, require the street's design to minimize the disturbance of natural resources, including floodplains. Where additional right-of-way is needed to obtain vertical curve, grade, clear sight triangles, turn lanes, or medians, the required right-of-way shall be adjusted to the extent necessary in accordance with local needs as determined by the Planning and Engineering Departments.
- C. **Half Streets Prohibited.** No half-streets shall be permitted in new subdivision plats.





**AERIAL MAP**

**CASE CAPTION:**

**SUBDIVISION NAME:**

**AZALEAS ESTATES**

Consider the Preliminary Plat of AZALEAS ESTATES SUBDIVISION, being a 30.0 acre tract consisting of all of Lots 20, 21, and 22, Caledonian Estates, as per map or plat thereof recorded in Volume 5, Page 31, Map Records of Hidalgo County, Texas, located on the south side of East Curry Road approximately 675 ft. east of South Doolittle Road, as requested by Salinas Engineering & Associates.

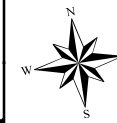
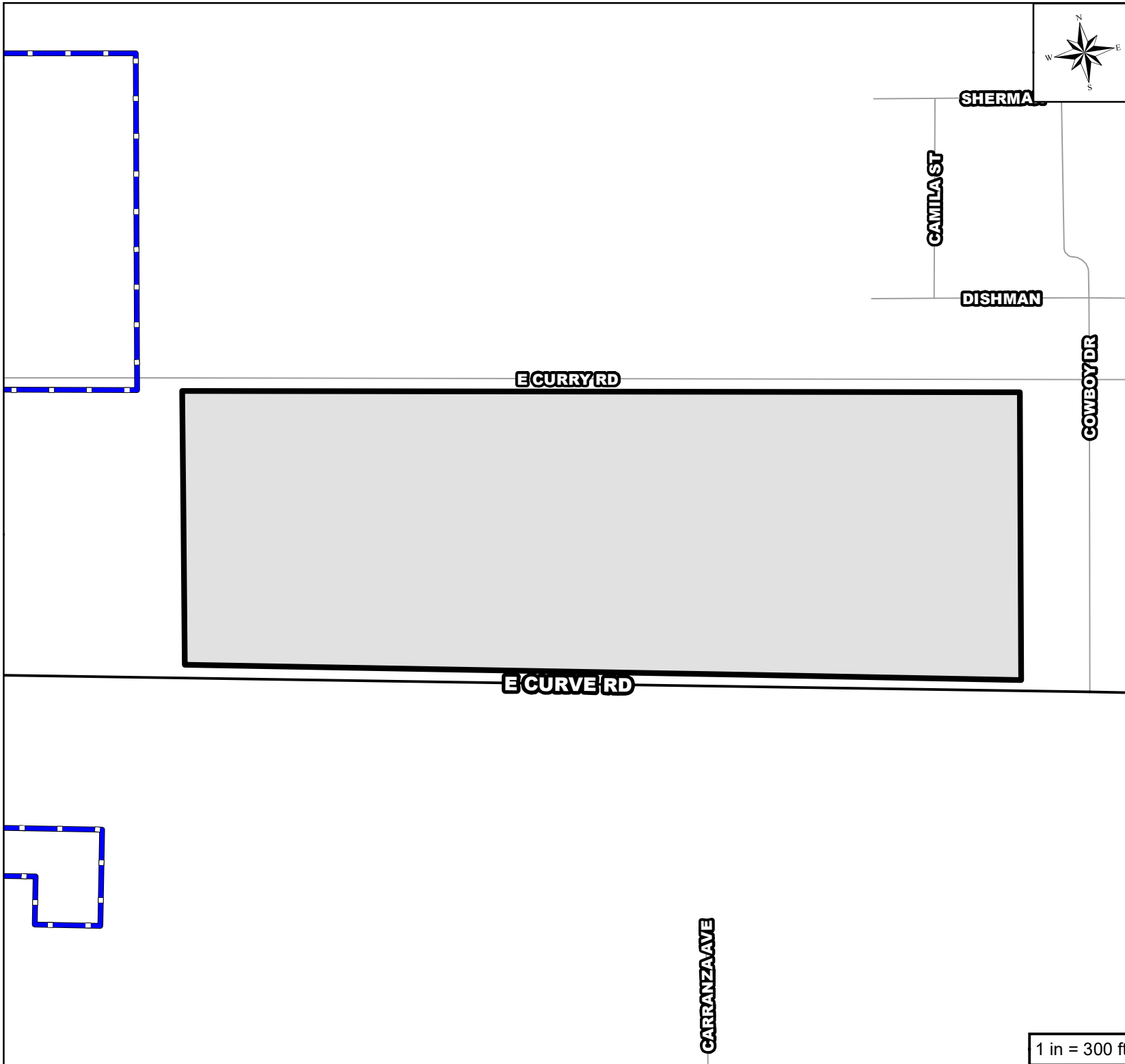
**Legend**

CITY LIMITS

SUBDIVISION SITE







### SITE MAP



#### CASE CAPTION:

#### SUBDIVISION NAME:

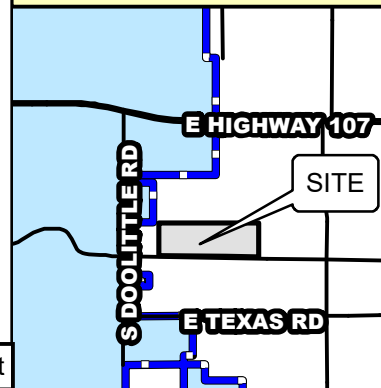
**AZALEAS ESTATES**

Consider the Preliminary Plat of AZALEAS ESTATES SUBDIVISION, being a 30.0 acre tract consisting of all of Lots 20, 21, and 22, Caledonian Estates, as per map or plat thereof recorded in Volume 5, Page 31, Map Records of Hidalgo County, Texas, located on the south side of East Curry Road approximately 675 ft. east of South Doolittle Road, as requested by Salinas Engineering & Associates.

### Legend

-  CITY LIMITS
-  SUBDIVISION SITE

### SITE LOCATION MAP







Case #

Edinburg

Planning & Zoning Department  
415 W. University Drive  
Edinburg, Texas 78539  
(956) 388-8202

## Subdivision Appeals / Variance Application

Submittal Date: July 30, 2021

**Legal Description:**

All of Lots 20, 21 and 22, Caledonia Estates Subdivision, H.C.T. (30.0 Acres)

Proposed Azaleas Estates Subd. (36 - 3/4 Ac. Lots)

**Variance Requested (Identify section of code for which variance is being requested):**

Not to provide additional paving improvements to Curve Road - current roadway width is approximately 21 feet - recently paved by County. This is an ETJ plat. Double fronting Subdivision - 1,920.0 feet on Curry and Curve Road. Would be providing pavement improvements to 3,840.0 feet (Curry and Curve Road). Estimate cost to provide additional pavement improvements to north side of Curve Road is in excess of \$ 200,000.00. Estimated costs to pay 1/2 street along Curry Road is \$ 165,000.00.

**Reason for Request:**

Not to provide additional paving improvements to Curve Road - current roadway width is approximately 21 feet - recently paved by County. This is an ETJ plat. Double fronting Subdivision - 1,920.0 feet on Curry and Curve Road. Would be providing pavement improvements to 3,840.0 feet (Curry and Curve Road). Estimate cost to provide additional pavement improvements to north side of Curve Road is in excess of \$ 200,000.00. Estimated costs to pay 1/2 street along Curry Road is \$ 165,000.00.

**Pablo Rodriguez**

Property Owner (Print legibly or type)

710 Amistad Circle

Address

Edinburg, Texas, 78539

City, State, Zip

(956) 793-3874

Telephone

pa.rodriguez@utexas.edu

Email address

*Pablo Rodriguez*  
Signature

**David Omar Salinas, P.E.**

Applicant / Agent (Print legibly or type)

2221 Daffodil Ave.

Address

McAllen, Texas, 78501

City, State, Zip

(956) 682-9081

Telephone

dsalinas@salinasengineering.com

Email address

*David Omar Salinas*  
Signature

\$450 Application Fee: \_\_\_\_\_

Received By: \_\_\_\_\_

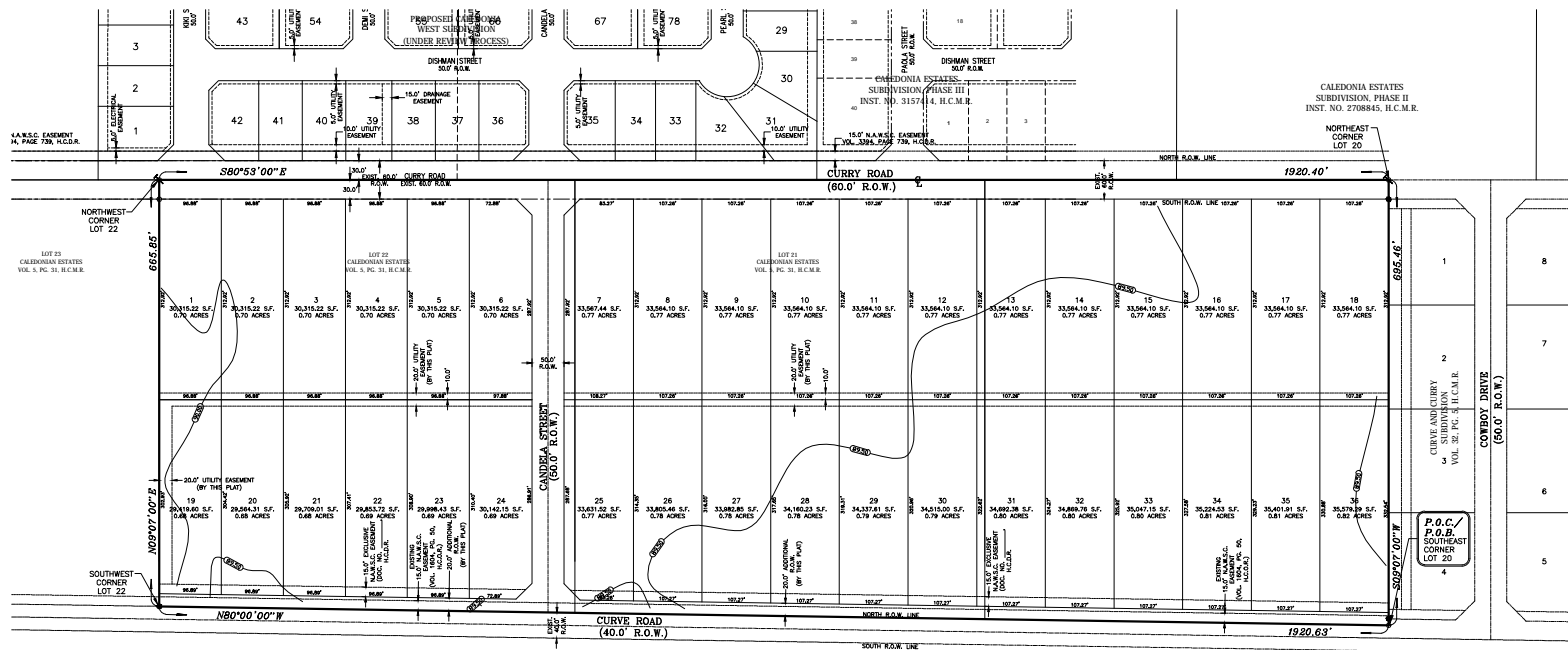
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AUG 03 2021

Name: COG 11:03



SCALE: N.T.S.



## AZALEAS ESTATES SUBDIVISION

HIDALGO COUNTY, TEXAS.

BEING A 30.0 GROSS ACRE TRACT OF LAND, MORE OR LESS, CONSISTING OF ALL OF LOTS 20, 21 AND 22, CALEDONIAN ESTATES, HIDALGO COUNTY, TEXAS, AS PER THE MAP OR PLAT THEREOF RECORDED IN VOLUME 05, PAGE 31, MAP RECORDS OF HIDALGO COUNTY, TEXAS.

DISCLAIMER: THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF INTERIM REVIEW BY THE CITY OF EDINBURG ONLY & BY NO OTHERS UNDER THE AUTHORITY OF DAVID OMAR SALINAS, P.E., TX. REG. NO. 71973 ON JULY 02, 2021. IT IS NOT TO BE USED FOR CONSTRUCTION PURPOSES.

SEA

**SALINAS ENGINEERING & ASSOCIATES**  
(F-6675) (10065700)

CONSULTING ENGINEERS & SURVEYORS

2221 DAFFODIL - McALLEN, TEXAS 78501

(956) 682-9081 (956) 686-1489 (FAX)

TBPLS 12100 PARK 35 CIRCLE BLDG. A, SUITE 156, MC-230, AUSTIN, TEXAS 78753 (512) 239-5263

ESTIMATED NUMBER : 1  
PROJECT NO. :

## Azleas Heights Subdivision





City Council Actions  
Meeting Date: November 16, 2021

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### **COMPREHENSIVE PLAN AMENDMENT & REZONING:**

Hold Public Hearing and Consider the Comprehensive Plan Amendment from Auto Urban Uses to General Commercial Uses and the Rezoning Request from Neighborhood Conservation 7.1 (NC 7.1) District to Commercial General (CG) District, being all of Lot 2, Block 1, Enfield Estates Subdivision, located at 105 Austin Boulevard, as requested by Enrique Omar Maldonado

- Planning & Zoning Commission recommended approval of an alternate zoning to Neighborhood Commercial District on October 12, 2021
- City Council **approved** on November 16, 2021

Hold Public Hearing and Consider the Comprehensive Plan Amendment from Auto Urban Uses and General Commercial Uses to Urban Uses, being 26.79 acres, more or less, out of Lot 3, Section 275, Texas-Mexican Railway Company's Survey, located at 2900 West Sprague Street, as requested by Melden & Hunt, Inc.

- Planning & Zoning Commission recommended approval on September 14, 2021
- City Council **disapproved** on November 16, 2021

### **REZONING:**

Hold Public Hearing and Consider the Rezoning Request from Commercial General (CG) District to Urban Residential (UR) District, being 11.878 acres of land out of Lot 3, Section 275, Texas-Mexican Railway Company's Survey, located at 2900 West Sprague Street, as requested by Melden & Hunt, Inc.

- Planning & Zoning Commission recommended approval on September 14, 2021
- City Council **disapproved** on November 16, 2021

### **SPECIAL USE PERMIT:**

Hold Public Hearing and Consider the Special Use Permit for On-Premise Consumption of Alcoholic Beverages, being Lot 1, Eulogio Diaz Subdivision, located at 3721 North Doolittle Road, as requested by Miguel A. Andrade Estrada

- Planning & Zoning Commission recommended approval on October 12, 2021
- City Council **approved** on November 16, 2021

Hold Public Hearing and Consider the Special Use Permit for a Licensed Child Care Home, being Lot 2, Las Villas at Autumn Ridge Subdivision, located at 3511 Monette Street, as requested by Yadira P. Castillas Leonel.

- Planning & Zoning Commission recommended approval on October 12, 2021
- City Council **approved** on November 16, 2021

#### **VARIANCE:**

Consider Variance Requests to the City's Unified Development Code (UDC) as follows: 1.) Section 7.502(C) Streets and Rights of Way, Perimeter Streets; Pavement or Fee in Lieu Required, and 2.) Section 8.213 Sidewalks, RG Estates Phase III Subdivision, a 10 acre tract being all of Lot 7, Block 23, Santa Cruz Gardens Unit No. 2 Subdivision, located at 4120 East Ingle Road, as requested by Quintanilla, Headley & Associates, Inc.

- Planning & Zoning Commission recommended approval of Request #1 and disapproval of Request #2 on October 12, 2021
- City Council **approved** on November 16, 2021 per Planning & Zoning recommendation

Consider Variance Request to the City's Unified Development Code Section 7.404 (B) Blocks and Block Length, Oak Hill at Villanueva Estates Phase 2 Subdivision, being 13.564 acres out of Lot 9, Section 233, Texas-Mexican Railway Company's Survey, located at 1202 North Hoehn Road, as requested by Melden & Hunt, Inc.

- Planning & Zoning Commission recommended approval with the condition that the developer include speed humps, as needed for traffic calming and providing a knuckle at the midpoint of Villanueva Street on November 9, 2021
- City Council **approved** on November 16, 2021 per Planning & Zoning recommendation

#### **ANNEXATION:**

Consider the Petition providing for the Voluntary Annexation of a 32.28 acre tract of land, more or less, consisting of all of Lots 20, 21, and 22, Caledonian Estates Subdivision, and a strip of land 40 ft. wide, being all of the existing road right-of-way of East Curve Road, a 40 ft. public road right-of-way adjacent to and south of said Lots 20, 21, and 22, and westerly to the center of South Doolittle Road, as requested by Salinas Engineering & Associates.

- City Council **approved** on November 16, 2021

#### **DEVELOPMENT AGREEMENT:**

Consider authorizing the City Manager to execute a Development Agreement between the City of Edinburg and Pablo Rodriguez, pursuant to Section 212.172 of the Texas Local Government Code, for a 30.0 acre tract of land out of Lots 20, 21, and 22, Caledonia Estates Subdivision, Hidalgo County, Texas, as per Volume 05, Page 31, Map Records of Hidalgo County, Texas.

- City Council **approved** on November 16, 2021



City Council Actions  
Meeting Date: December 7, 2021

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#### **ANNEXATION:**

Consider Ordinance providing for the Voluntary Annexation of a 32.28 acre tract of land, more or less, consisting of all of Lots 20, 21, and 22, Caledonian Estates Subdivision, and a strip of land 40 ft. wide, being all of the existing road right-of-way of East Curve Road, a 40 ft. public road right-of-way dedication to and south of said Lots 20, 21, and 22, and westerly to the center of South Doolittle Road, as requested by Salinas Engineering & Associates

- City Council **approved** on December 7, 2021

#### **INITIAL ZONING:**

Hold Public Hearing and Consider the Initial Zoning Request to Suburban Residential (S) District of a 30 acre tract of land, more or less, consisting of all of Lots 20, 21, and 22, Caledonian Estates, located at 3701 East Curve Road, as requested by Salinas Engineering & Associates

- Planning & Zoning Commission recommended approval on November 9, 2021
- City Council **approved** on December 7, 2021

#### **COMPREHENSIVE PLAN AMENDMENT & REZONING:**

Hold Public Hearing and Consider the Comprehensive Plan Amendment from Agriculture Uses to General Commercial Uses and the Rezoning Request from Agriculture (AG) District to Commercial General (CG) District, a 1.00 acre tract of land, being a portion of Block 11, Baker's Subdivision, located at 14701 North I-69C, as requested by R.E. Garcia & Associates

- Planning & Zoning Commission recommended approval on November 9, 2021
- City Council **approved** on December 7, 2021

Hold Public Hearing and Consider the Comprehensive Plan Amendment from Auto-Urban Uses to Urban Uses and the Rezoning Request from Auto-Urban Residential (AU) District to Urban Residential (UR) District, being a 19.531 acre tract of land, out of Lot 16, Block 55, Alamo Land and Sugar Company's Subdivision, located at 3101 East Trenton Road, as requested by Melden & Hunt, Inc.

- Planning & Zoning Commission recommended approval on November 9, 2021
- City Council **approved** on December 7, 2021

Hold Public Hearing and Consider the Comprehensive Plan Amendment from Auto Urban Uses to Urban Uses and the Rezoning Request from Neighborhood Conservation 5 (NC5) District to Urban Residential (UR) District, being a 33.58 acre tract out of Lot 15, Block 55, Alamo Land and Sugar



Company's Subdivision, located at 3301 East Trenton Road, as requested by Quintanilla, Headley & Associates, Inc.

- Planning & Zoning Commission recommended approval on November 9, 2021
- City Council **approved** on December 7, 2021

Hold Public Hearing and Consider the Comprehensive Plan Amendment from Auto Urban Uses to Urban Uses and the Rezoning Request from Suburban Residential (S) District to Urban Residential (UR) District, being a 3.258 acre tract, more or less, out of Lot 2, J.A.S.I. Lavelle Subdivision, located at 3610 South Veterans Boulevard, as requested by Ron Zedek

- Planning & Zoning Commission recommended approval on November 9, 2021
- City Council **approved** on December 7, 2021

Hold Public Hearing and Consider the Comprehensive Plan Amendment from Auto-Urban Uses to Urban Uses and the Rezoning Request from Commercial General (CG) District to Urban Residential (UR) District, being Lot 105, Valley Downs Phase 1 Subdivision, a portion of Man O' War Street abandoned by City of Edinburg Doc. #1921923 O.R., and a portion of Seattle Slew Street abandoned by City of Edinburg Doc. #1921923 O.R., located at 5125 South Business Highway 281, as requested by Gilbert Ortiz, on behalf of Ernesto Salinas

- Planning & Zoning Commission recommended approval on November 9, 2021
- City Council **approved** on December 7, 2021

#### **REZONING:**

Hold Public Hearing and Consider the Rezoning Request from Agriculture (AG) District to Auto-Urban Residential (AU) District, being 34.26 acres out of Lot 3, Section 276, Texas-Mexican Railway Company's Survey, located at 501 North McColl Road, as requested by Melden & Hunt, Inc.

- Planning & Zoning Commission recommended approval on November 9, 2021
- City Council **approved** on December 7, 2021

#### **VARIANCES:**

Consider Variance Requests to the City's Unified Development Code (UDC) as follows: 1) Section 7.502 (C) Streets and Rights of Way, Perimeter Streets; Pavement or Fee in Lieu Required; and 2) Section 8.213 Sidewalks, T&O Ranch No. 2 Subdivision, a 4.95 acre tract of land out of the East ½ of Lot 2 and Lot 3, Block 28, Santa Cruz Gardens Unit No. 2 Subdivision, located at 7100 East Benito A. Ramirez Road, as requested by Quintanilla, Headley & Associates, Inc.

- Planning & Zoning Commission recommended approval of Request #1 and disapproval of Request #2 on November 9, 2021
- City Council **approved** on December 7, 2021 per Planning & Zoning recommendation

Consider Variance Requests to the City's Unified Development Code (UDC) as follows: 1.) Section 8.204 (A) Street Standards and 2.) 8.213 Sidewalks, Monarco Estates Subdivision, being a 37.576 acre tract of land out of Lot 16, Block 53, Alamo Land and Sugar Company's Subdivision, located at 5800 East Owassa Road, as requested by Melden & Hunt, Inc.

- Planning & Zoning Commission recommended approval of the Variances on November 9, 2021
- City Council approved on December 7, 2021

### Attendance - January 2021 to November 2021

			2021											
First Name	Last Name	Position	Jan	Feb	Mar	Apr	May	June	July	August	September	October	November	
Joe	Ochoa	Chairperson	P	P	A	A	P	A	A	P	A	P	A	
Hiren	Govind	Vice-Chair	P	A	A	P	P	P	A	P	P	P	A	
Becky	Hessbrook-Garcia	Commissioner	A	P	P	A	P	A	P	A				
Carlos	Jasso	Commissioner	P	P	A	P	P	P	P	A				
Miki	McCarthy	Commissioner	P	A	P	P	P	A	P	P				
Jorge	Sotelo	Commissioner	P	P	P	P	P	P	A	P	P	P	P	
Ruby	Casas	Commissioner	A	P	P	P	P	P	P	P	P	P	A	
Jorge	Gonzalez	Commissioner										P	P	P
Victor	Daniec	Commissioner										P	P	P
Rene	Olivarez	Commissioner										P	P	P