



32325 Franklin Road, Franklin, Michigan 48025

FAX: (248) 626-0538 | OFFICE: (248) 626-9666

www.franklin.mi.us

HISTORIC DISTRICT COMMISSION REGULAR MEETING

Wednesday, July 6, 2022, 7:00 P.M
At the Franklin Village Hall, Broughton House
32325 Franklin Road, Franklin, MI

A G E N D A

- I. Meeting Called to Order
- II. Roll Call
- III. Adoption of Agenda
- IV. Adoption of Minutes
 - A. Regular Meeting of June 1, 2022
- V. Public Comments
- VI. New Business
 - A. Consider the 26005 Carol Ave. Enlargement of West Facing Dormer
- VII. Adjournment

Posted: June 29, 2022 William Dinnan, Building Official/Historic District Commission Facilitator

POSTED IN ACCORDANCE WITH PUBLIC ACT 267 (OPEN MEETINGS ACT)

The Village of Franklin will provide necessary, reasonable auxiliary aids and services to individuals with disabilities requiring such services. All requests must be made to the Village Clerk at least five (5) business days before a meeting. Individuals with disabilities requiring auxiliary aids or services should contact the Village of Franklin in writing at 32325 Franklin Road, Franklin, MI 48025, or by calling the Village Clerk's Office at (248) 626-9666.

**VILLAGE OF FRANKLIN
HISTORIC DISTRICT COMMISSION
REGULAR MEETING
WEDNESDAY, June 1, 2022, 7:00 P.M.
32325 Franklin Road, Franklin, Michigan 48025**

I. MEETING CALLED TO ORDER

The Regular Meeting of the Historic District Commission was called to order by Gary Roberts, Chairman, at 7:00 P.M.

II. ROLL CALL

Present: Mike Brassfield, Alek Kokoszka, Alex Stchekine, Gayle Timmis, Gary Roberts

Absent: Jill Wilke, Laura Witty

Also Present: Bill Dinnan, Building Official, Roger Fraser, Village Administrator, Dana Hughes, Village Clerk

III. ADOPTION OF AGENDA

Motion by Kokoszka, seconded by Stchekine to approve the agenda, as presented.

Ayes: Brassfield, Kokoszka, Stchekine, Timmis, Roberts

Nays: None

Absent: Wilke, Witty

Motion carried.

IV. ADOPTION OF THE MINUTES

A. Regular Meeting of March 2, 2022

Motion by Kokoszka, seconded by Brassfield to approve the minutes of the Regular Meeting of April 6, 2022, with corrections.

Ayes: Brassfield, Kokoszka, Stchekine, Timmis, Roberts

Nays: None

Absent: Wilke, Witty

Motion carried.

V. PUBLIC COMMENTS

Pam Hansen, Wing Lake Road

- Gave a brief update on the Franklin Streetscape project.

VI. NEW BUSINESS

A. Consider the 26065 Carol Ave. Fencing Application.

Elizabeth Dillon, the homeowner, stated she and her late partner had applied a variance of a foot taller than the four foot and it was approved by the Historic District Commission. But then she went before the Zoning Board of Appeals, and it was denied. She is now applying for a new fence without a variance. She brought letters of support from her adjacent neighbors.

Motion by Timmis, seconded by Stchekine that the Historic District Commission approve the fencing application for 26065 Carol Ave. that was submitted for a black aluminum picket style fence not to exceed four feet tall as in accordance with the Secretary of Interior standards for rehabilitation.

Ayes: Brassfield, Kokoszka, Stchekine, Timmis, Roberts

Nays: None

Absent: Wilke, Witty

Motion carried.

Comments from Chairman Gary Roberts:

Roberts detailed an update from Amanda Davis, Historic Preservation, regarding the report from the Historic District Study Committee that was filed with the State Historic Preservation Office awhile back. She reported they had several details they wanted like wording of some legal descriptions, borders not appearing right on map and street names not appearing. She is working to correct these minor changes and additions. Also, some additional cleanup from McKenna is needed on the map that they prepared for this expanded district. State had comments on the map.

VIII. ADJOURNMENT

Motion by Roberts, seconded by all to adjourn the meeting.

The meeting was adjourned at 7:17 P.M.

Submitted,

Dana Hughes, Village Clerk

Next Meeting July 6th - Submittal Deadline June 20th @ 11am



HISTORIC DISTRICT APPLICATION

INSPECTIONS (248) 626-1601

DATE STAMP

RECEIVED

JUN 17 2022

VILLAGE OF FRANKLIN, MI

32325 Franklin Rd • Franklin MI 48025-1199 • Phone (248) 626-9666 • Fax (248) 626-0538

The undersigned hereby applies for a permit to (describe project)

Enlarging west facing
smaller dormer

X Current market value of project \$ 650,000

SUBMIT CHECKLIST WITH APPLICATION

I. LOCATION OF PROJECT		Historic District ? <input checked="" type="checkbox"/> yes <input type="checkbox"/> no		Zoning District	
Address: 26005 Carol Ave.					
Village: FRANKLIN		Township: SOUTHFIELD	County: OAKLAND	Zip Code: 48025	
Between _____ And _____					
II. PARCEL IDENTIFICATION # TF-24-06-278-017					
A. OWNER OR LESSEE					
Name: Anne Sargent		Telephone No:			
Address: 26005 Carol Ave		City: Franklin	State: MI	Zip Code: 48025	
B. ARCHITECT OR ENGINEER					
Name: Dominick Tringali		Telephone No: 248-340-9400			
Address: 3005 University Dr.		City: Auburn Hills	State: MI	Zip Code: 48326	
License No:		Expiration Date:			
C. CONTRACTOR					
Name: Mocerri Custom Homes		Telephone No: 248-631-8581			
Address: 3005 University Dr.		City: Auburn Hills	State: MI	Zip Code: 48326	
License No:		Expiration Date:			
Federal Employer Number or Reason for Exemption:					
Worker's Comp Insurance Carrier or Reason for Exemption:					
MESC Employer Number or Reason for Exemption:					
III. TYPE OF IMPROVEMENT AND PLAN REVIEW					
A. TYPE OF IMPROVEMENT					
<input type="checkbox"/> New Building <input checked="" type="checkbox"/> Addition / Remodel <input type="checkbox"/> Demolition <input type="checkbox"/> Property <input type="checkbox"/> Other					
B. REVIEW(s) TO BE PERFORMED					
<input checked="" type="checkbox"/> Building / Trades <input type="checkbox"/> Engineering <input type="checkbox"/> Arborist <input type="checkbox"/> Legal <input type="checkbox"/> Other					

IV. PERMIT PROPOSAL

A. RESIDENTIAL BUILDING – show most recent use

- ☒ One Family ☐ Detached Condominium - number of units _____
☐ Attached Garage ☐ Detached Garage ☐ Other (describe) _____

B. NON-RESIDENTIAL BUILDING – show most recent use

- ☐ Church, Religious ☐ Public Utility ☐ Restaurant
☐ Service Station ☐ School, Library, Educational ☐ Grocery
☐ Office, Bank, Professional ☐ Store, Mercantile ☐ Other (describe) _____

C. PROPERTY – Describe proposal in detail _____

V. SELECTED CHARACTERISTICS FOR BUILDING PERMIT

A. PRINCIPAL TYPE OF FRAME

- ☐ Masonry, Wall Bearing ☒ Wood Frame ☐ Structured Steel
☐ Reinforced Concrete ☐ Other (describe) _____

B. PRINCIPAL TYPE OF HEATING FUEL

- ☐ Gas ☐ Oil ☐ Electricity ☐ Coal ☐ Other _____

C. TYPE OF SEWAGE DISPOSAL

- ☐ Pressure Sewer System ☐ Septic System

D. TYPE OF WATER SUPPLY

- ☐ Public or Private Company ☐ Private Well or Cistern

E. TYPE OF MECHANICAL

Will there be air conditioning? ☒ yes ☐ no Will there be an elevator? ☐ yes ☒ no

F. DIMENSIONS

First Floor (sq ft) _____ Garage / Accessory (sq ft) _____
Second Floor (sq ft) _____ Total Building Area (sq ft) _____
Basement (sq ft) _____ Total Land Area (sq ft) _____

G. NUMBER OF OFF-STREET PARKING SPACES

Enclosed _____ Outdoors _____

VI. APPLICANT INFORMATION:

Applicant is responsible for the payment of all fees and charges applicable to this application and must provide the following information:

Name: Maceri Custom Homes		Telephone No. 248-631-8581	
Address: 3005 University Dr.	City: Auburn Hills	State: MI	ZIP: 48326
Federal ID no. (if applicable)			

I hereby certify that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent, and we agree to conform to all applicable laws of the State of Michigan. All information submitted on this application is accurate to the best of my knowledge.

Section 23a of the State Construction Code Act of 1972, Act No. 230 of the Public Acts of 1972, being Section 125.1523a of the Michigan Compiled Laws, prohibits a person from conspiring to circumvent the licensing requirements of this state relating to persons who perform work on a residential building or a residential structure. Violators of Section

Signature of Applicant

[Signature]

Application Date

6/17/2022

VII. FOR INTERNAL USE ONLY

	REQUIRED	APP / REJ	DATE	BY
A ~ BUILDING PERMIT	<input type="checkbox"/> Yes <input type="checkbox"/> No			
B ~ CULVERT PERMIT	<input type="checkbox"/> Yes <input type="checkbox"/> No			
C ~ FENCE PERMIT	<input type="checkbox"/> Yes <input type="checkbox"/> No			
D ~ FLOODPLAIN PERMIT	<input type="checkbox"/> Yes <input type="checkbox"/> No			
E ~ LANDFILL PERMIT	<input type="checkbox"/> Yes <input type="checkbox"/> No			
F ~ SOIL EROSION PERMIT	<input type="checkbox"/> Yes <input type="checkbox"/> No			
G ~ TREE REMOVAL PERMIT	<input type="checkbox"/> Yes <input type="checkbox"/> No			
H ~ WETLANDS PERMIT	<input type="checkbox"/> Yes <input type="checkbox"/> No			
I ~ HISTORIC DISTRICT	<input type="checkbox"/> Yes <input type="checkbox"/> No			
J ~ ZONING BOARD **	<input type="checkbox"/> Yes <input type="checkbox"/> No			

** Zoning District

Required Setback

Front

Side

Back

Proposed Setback

Front

Side

Back

VIII. VALIDATION

DATE STAMP

Approved by:

(signature)

VILLAGE OF FRANKLIN BUILDING OFFICIAL

HISTORIC DISTRICT CHECKLIST

14 COPIES EACH OF THE FOLLOWING:

- ___ Completed Permit Application
 - ___ Proof of ownership (ie: copy of title insurance policy)
 - ___ Homeowner's Permit requires signed and dated Home Owner's Affidavit on file
 - ___ Builder's Registration – copy builder's license and driver's license on file
- ___ Copy of certified plot plan indicating:
 - ___ Dimensions of all property lines – indicate any easements
 - ___ Dimensions of existing and proposed work
 - ___ Setback dimensions of all yards
 - ___ Notation of any historic or natural resources on site
 - ___ Location of well and septic system
- ___ A descriptive text of the proposed work to be done
- ___ Application complies with Zoning Ordinance requirements?
 - ___ yes
 - ___ no – complete Zoning Appeals Application for review
- ___ Photographs of the existing conditions and/or structures being considered
- ___ Provide detail drawings, moldings, profiles, color samples, materials (etc.) to be used
- ___ Such further information as the Commission or Building Official may require

1- Electronic copy of plans. to mbd@franklin.mi.us

PLEASE NOTE:

- Applicant must be present at Historic District Commission meeting
- Permits must be obtained after Historic District Commission approval
- Applicant shall be responsible for 100% of all consultant fees incurred by the Village PLUS a 10% administration fee.

1- If ^{exterior} trim different, then need to provide 14 samples of new exterior trim
2- Any other exterior changes want 14 samples of each item i.e. gutter, windows, soffits, vent
3- Exterior paint color - 14 samples of color
4- shingles the will will accept photos (14)
1a- if trim (new ext) is identical to what's current there, need 14 photos of both new + existing for review.



BUILDING APPLICATION

INSPECTIONS 248-626-1601

PERMIT NO. BP 2022-041

RECEIVED

JUN 10 2022

VILLAGE OF FRANKLIN, MI
DATE STAMP

32325 Franklin Rd • Franklin MI 48025-1199 • Phone (248) 626-9666 • Fax (248) 626-0538

The undersigned hereby applies for a permit to (describe project)

Removing old Darnier, extending Darnier and Roof.

Moceri Custom Homes

Current market value of project \$ 650,000⁰⁰

Square Feet 3074

SUBMIT CHECKLIST WITH APPLICATION

I. LOCATION OF PROJECT		Historic District ? <input checked="" type="checkbox"/> yes <input type="checkbox"/> no		Zoning District <u>R-3</u>	
Address: <u>26005 Carol Ave</u>					
II. PARCEL IDENTIFICATION # <u>TF-24-06-278-017</u>					
A. OWNER OR LESSEE					
Name: <u>Anne Sargent</u>		Telephone No:			
Address: <u>26005 Carol Ave</u>		City: <u>Franklin</u>		State: <u>MI</u>	Zip Code: <u>48025</u>
B. ARCHITECT OR ENGINEER					
Name: <u>Dominick Tringali</u>		Telephone No: <u>248-340-9400</u>			
Address: <u>3005 University</u>		City: <u>Auburn Hills</u>		State: <u>MI</u>	Zip Code: <u>48326</u>
License No: <u>1301034217</u>		Expiration Date: <u>10-25-24</u>			
C. CONTRACTOR					
Name: <u>Moceri Custom Homes</u>		Telephone No: <u>248-340-9400</u>			
Address: <u>3005 University</u>		City: <u>Auburn Hills</u>		State: <u>MI</u>	Zip Code: <u>48326</u>
License No: <u>2102206216</u>		Expiration Date: <u>5-31-25</u>			
Federal Employer Number or Reason for Exemption: <u>46-3827381</u>					
Worker's Comp Insurance Carrier or Reason for Exemption: <u>Meadowbrook</u>					
MESC Employer Number or Reason for Exemption: EMAIL:					
III. TYPE OF IMPROVEMENT AND PLAN REVIEW					
A. TYPE OF IMPROVEMENT					
<input type="checkbox"/> New Building <input checked="" type="checkbox"/> Addition / Remodel <input type="checkbox"/> Demolition <input type="checkbox"/> Property <input type="checkbox"/> Other					
B. REVIEW(s) TO BE PERFORMED					
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IV. PERMIT PROPOSAL

A. RESIDENTIAL BUILDING – show most recent use

- ☒ One Family ☐ Detached Condominium - number of units _____
☐ Attached Garage ☐ Detached Garage ☐ Other (describe) _____

B. NON-RESIDENTIAL BUILDING – show most recent use

- ☐ Church, Religious ☐ Public Utility ☐ Restaurant
☐ Service Station ☐ School, Library, Educational ☐ Grocery
☐ Office, Bank, Professional ☐ Store, Mercantile ☐ Other (describe) _____

C. PROPERTY – Describe proposal in detail _____

V. SELECTED CHARACTERISTICS FOR BUILDING PERMIT

A. PRINCIPAL TYPE OF FRAME

- ☐ Masonry, Wall Bearing ☒ Wood Frame ☐ Structured Steel
☐ Reinforced Concrete ☐ Other (describe) _____

B. PRINCIPAL TYPE OF HEATING FUEL

- ☒ Gas ☐ Oil ☐ Electricity ☐ Coal ☐ Other _____

C. TYPE OF SEWAGE DISPOSAL

- ☐ Pressure Sewer System ☐ Septic System

D. TYPE OF WATER SUPPLY

- ☐ Public or Private Company ☒ Private Well or Cistern

E. TYPE OF MECHANICAL

- Will there be air conditioning? ☒ yes ☐ no Will there be an elevator? ☐ yes ☐ no

F. DIMENSIONS

- First Floor (sq ft) _____ Garage / Accessory (sq ft) _____
Second Floor (sq ft) _____ Total Building Area (sq ft) _____
Basement (sq ft) _____ Total Land Area (sq ft) _____

G. NUMBER OF OFF-STREET PARKING SPACES

- Enclosed _____ Outdoors _____

VI. APPLICANT INFORMATION:

Applicant is responsible for the payment of all fees and charges applicable to this application and must provide the following information:

Name: Mocerri Custom Homes Telephone No. 248-340-9400
Address: 3005 University City: Auburn Hills State: MI ZIP: 48326
Federal ID no. (if applicable) 46-3827381

I hereby certify that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent, and we agree to conform to all applicable laws of the State of Michigan. All information submitted on this application is accurate to the best of my knowledge.

Section 23a of the State Construction Code Act of 1972, Act No. 230 of the Public Acts of 1972, being Section 125.1523a of the Michigan Compiled Laws, prohibits a person from conspiring to circumvent the licensing requirements of this state relating to persons who perform work on a residential building or a residential structure. Violators of Section 23a are subject to civil fines.

Signature of Applicant



Print Name

Dominic F. MocerriApplication Date 6/10/22

Checks accepted only as a conditional payment. If not honored by bank, permit is unpaid and subject to penalties.

VII. FOR INTERNAL USE ONLY

	REQUIRED	APP / REJ	DATE	BY
A ~ BUILDING PERMIT	<input type="checkbox"/> Yes <input type="checkbox"/> No			
B ~ CULVERT PERMIT	<input type="checkbox"/> Yes <input type="checkbox"/> No			
C ~ FENCE PERMIT	<input type="checkbox"/> Yes <input type="checkbox"/> No			
D ~ FLOODPLAIN PERMIT	<input type="checkbox"/> Yes <input type="checkbox"/> No			
E ~ LANDFILL PERMIT	<input type="checkbox"/> Yes <input type="checkbox"/> No			
F ~ SOIL EROSION PERMIT	<input type="checkbox"/> Yes <input type="checkbox"/> No			
G ~ TREE REMOVAL PERMIT	<input type="checkbox"/> Yes <input type="checkbox"/> No			
H ~ WETLANDS PERMIT	<input type="checkbox"/> Yes <input type="checkbox"/> No			
I ~ HISTORIC DISTRICT	<input type="checkbox"/> Yes <input type="checkbox"/> No			
J ~ ZONING BOARD **	<input type="checkbox"/> Yes <input type="checkbox"/> No			

** Zoning District _____ Required Setback _____ Front _____ / _____ Side _____ Back _____
Proposed Setback _____ Front _____ / _____ Side _____ Back _____

Approved by:

(signature)

VILLAGE OF FRANKLIN BUILDING OFFICIAL

No Rocks or Stone Mailboxes Shall be put in the Right-of-Way

Expiration of Permit: A permit remains valid as long as work is progressing and inspections are requested and conducted. A permit shall become invalid if the authorized work is not commenced within six months after issuance of the permit or if the authorized work is suspended or abandoned for a period of six months after the time of commencing the work. A permit will be closed when no inspections are requested and conducted within 6 months of the date of issuance or the date of a previous inspection. Closed permits cannot be refunded or reinstated.

Search by PIN or Property Address

[Help](#)[Map](#)[Reports \(0\)](#)[Cart \(0\)](#)

or navigate to and click on the property of interest

Print Map

Configure your map below and select **Print Preview** to continue or **Cancel** to return to the previous view.

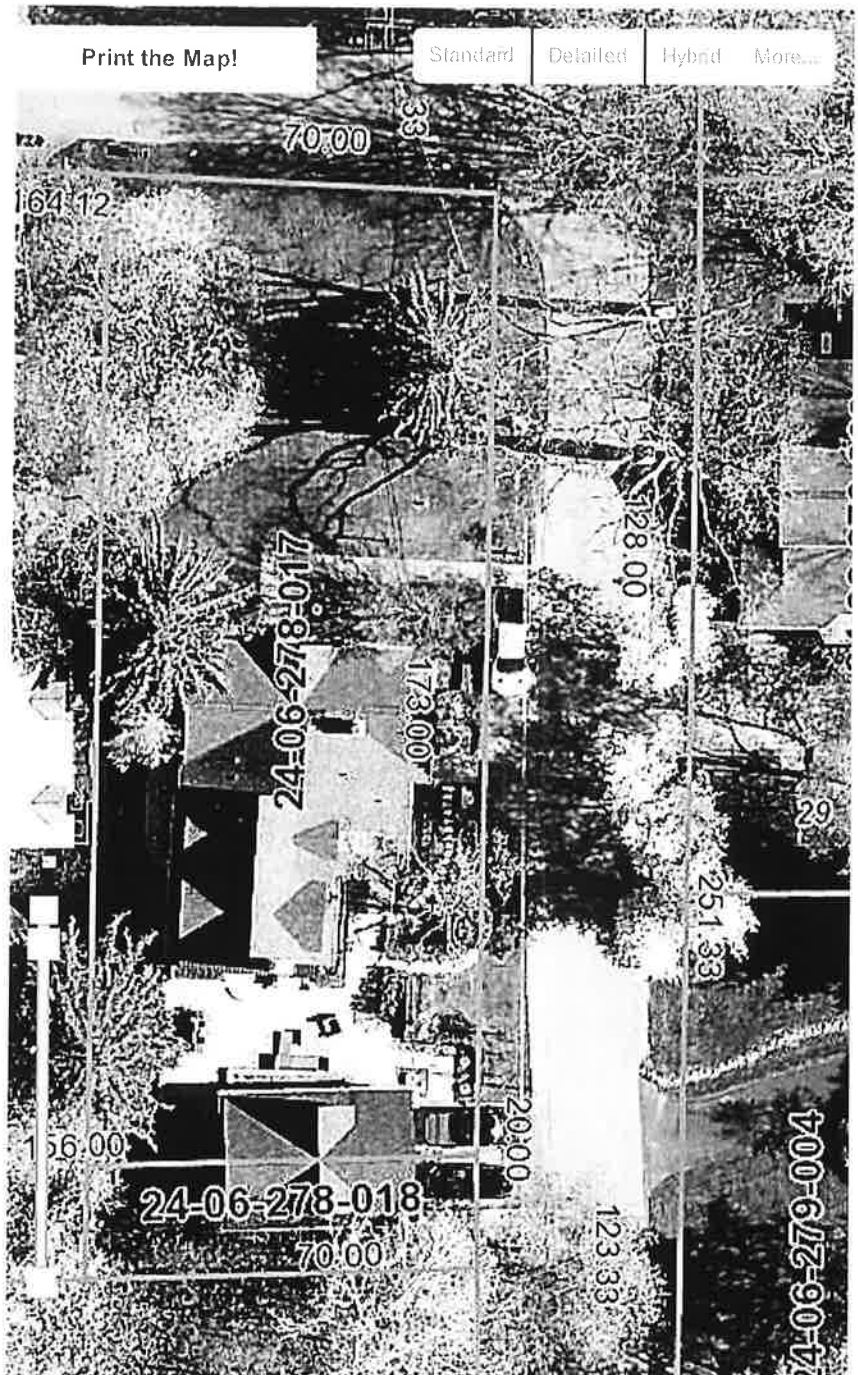
Paper Options: 8.5x11 Portrait ▼

Print Scale: 1 : 600 ▼

☒ PDF Only (\$0.00)☐ PDF + Standard Delivery (\$5.50)

Select **Print Preview** to review and finalize your map.

\$0.00

[Cancel](#)[Print Preview](#)[Print](#)

MOCERI®
STRUCTURE • INTEGRITY • TRADITION
Michigan's Legendary Dream Builder™

SCOPE OF WORK
26005 Carol Ave
Franklin, MI 48025

We are proposing to remove the dormer on the west side of the home. The area of the house that the dormer is located faces the neighbor and not Carole Ave or Bowden Lane.

The current dormer is 4 feet wide, the new dormer will be 9 feet wide, which will look much closer in size and design to the dormer next to it, to the south of it.

- The roof color will be the same as the current roof.
- The window will be the same color as the existing windows.
- The trim will be the same color as the existing trim.
- The Siding will be the same color as the existing siding.

Sincerely,

Moceri Custom Homes



Issuing Agent: **Capital Title Insurance Agency**

Commitment No: **626491-55**

Property Address: **26005 Carol Avenue, Franklin, MI 48025**

Revision No:

Loan No:

COMMITMENT FOR TITLE INSURANCE

Issued by

Stewart Title Guaranty Company

SCHEDULE A

1. Commitment Date: **November 11, 2021, at 8:00 a.m.**
2. Policy to be issued:
 - (a) **2006 ALTA® Owner's Policy**

Proposed Insured: **Judith L. Sargent**

Proposed Policy Amount: **\$975,000.00**
 - (b) **2006 ALTA® Loan Policy**

Proposed Insured:
Proposed Policy Amount:
3. The estate or interest in the land described or referred to in this Commitment is **Fee Simple**.
4. The Title is, at the Commitment Date, vested in:

Dorothy Narvaez-Woods
5. The land referred to in this Commitment is located in the **Village of Franklin**, County of **Oakland**, State of **Michigan**, and is described as follows:

SEE ATTACHED EXHIBIT "A"

By: **Capital Title Insurance Agency**

Thomas E. Lico

Authorized Signatory

This Page is only a part of a 2016 ALTA® Commitment for Title Insurance issued by Capital Title Insurance Agency. This Commitment is not valid without the Notice; the Commitment to Issue Policy; the Commitment Conditions; Schedule A; Schedule B, Part I-Requirements; Schedule B, Part II-Exceptions

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AMERICAN LAND TITLE ASSOCIATION
1101 17TH STREET, N.W.
WASHINGTON, D.C. 20036



Commitment No: **626491-55**
Revision No:

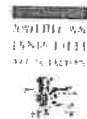
EXHIBIT "A"

The land referred to in this document is situated in the Village of Franklin, County of Oakland, State of Michigan and described as follows:

The East 70 feet of Lot 50 and the North 20 feet of the East 70 feet of Lot 51, Supervisor's Plat No. 8, as recorded in Liber 46, Page 25 of Plats, Oakland County Records.

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Stewart Title Guaranty Company

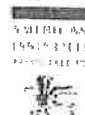
**SCHEDULE B, PART I
Requirements**

All of the following Requirements must be met:

1. The Proposed Insured must notify the Company in writing of the name of any party not referred to in this Commitment who will obtain an interest in the Land or who will make a loan on the Land. The Company may then make additional Requirements or Exceptions.
2. Pay the agreed amount for the estate or interest to be insured.
3. Pay the premiums, fees, and charges for the Policy to the Company.
4. Documents satisfactory to the Company that convey the Title or create the Mortgage to be insured, or both, must be properly authorized, executed, delivered, and recorded in the Public Records.
5. **Record Deed from Dorothy Narvaez-Woods to Judith L. Sargent.**
6. Mortgage for the sum of \$619,500.00, executed by Dorothy Narvaez-Woods to Staunton Financial, Inc., dated March 29, 2019 and recorded April 9, 2019 in Liber 52718, on Page 465.
Record proper discharge of the above mortgage or it will be shown on the final policy.
7. It has been requested that the Company issue an ALTA Owner's Policy without standard exceptions. The ALTA Owner's Policy without standard exceptions shall be issued upon the Company determining that the following additional requirements have been satisfied:
 - (a) **Submission of a Survey or an Affidavit in Lieu of Survey**
 - (b) **Executed Owner's Affidavit**

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8. **TAXES:** Parcel Identification Number: 24-06-278-017 - (part of Lot 50)
Prior years paid through 2021
2021 Winter Tax: \$2,449.42 - Paid
2021 Summer Tax: \$9,777.85 - Paid
2021 Village Tax: \$3,504.34 - Paid
Special Assessments: Unavailable
Principal Residence Exemption: 100%

TAXES: Parcel Identification Number: 24-06-278-018 - (part of Lot 51)
Prior years paid through 2021
2021 Winter Tax: \$13.10 - Paid
2021 Summer Tax: \$31.63 - Paid
2021 Village Tax: \$8.94 - Paid
Special Assessments: Unavailable
Principal Residence Exemption: 0%

THIS COMMITMENT HAS BEEN COMPLETED WITHOUT ADEQUATE VERIFICATION BY THE TAXING AUTHORITY AND/OR MUNICIPAL OFFICES DUE TO THEIR DELAY OR CLOSURE RESULTING FROM COVID-19.

Information shown above has been obtained from BS&A* and provided as a courtesy. This information may not be accurate or complete and is **SUBJECT TO CHANGE.**

An update can be issued upon receipt of verified information provided by the taxing authority and/or municipal offices. **IF CLOSING TAKES PLACE WITHOUT VERIFICATION AND PAYMENT OF OUTSTANDING TAXES AND ASSESSMENTS, THE POLICY ISSUED WILL BE SUBJECT TO STANDARD EXCEPTIONS.**

*BS&A is a third-party service which provides a collection of various municipal information. The information made available by BS&A is provided to the service by participating municipalities; however, accuracy and completeness cannot be guaranteed or insured.

NOTE: The Principal Residence Exemption % status ("P.R.E.") (Formerly known as Homestead Exemption), shown above has been provided as a courtesy. Accuracy has not been verified and cannot be guaranteed or insured. No liability is assumed by the company for any tax increase occasioned by retroactive revaluation change in land usage or loss of P.R.E. status for the insured premises. Any questions regarding P.R.E. should be directed to the local taxing authority.

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REAL ESTATE • MORTGAGE • TITLE • INSURANCE

American Land Title Association

ALTA Settlement Statement - Borrower/Buyer
Adopted 05-01-2015

File No./Escrow No.: 626491-55
Print Date & Time: 01/19/22 9:12 AM

Capital Title Insurance Agency -
Birmingham Branch

ALTA Universal ID: 1130864
255 South Old Woodward Avenue, Suite
100
Birmingham, MI 48009



Settlement Location:
Max Broock Realtors - 55
275 South Old Woodward Avenue
Birmingham, MI 48009

Property Address:

Lot 50, Supervisor's Plat No. 8, Liber 46, Page 25, Oakland County
26005 Carol Avenue
Franklin, MI 48025
See Addendum for Additional Properties

Borrower:

Anne Catherine Sargent
3616 Hilton Pointe Court
Brighton, MI 48116

Seller:

Dorothy Narvaez-Woods
26005 Carol Avenue
Franklin, MI 48025

Lender:

CASH TRANSACTION

Loan Number:

Settlement Date:

01/25/2022

Disbursement Date:

01/25/2022

Additional dates per state requirements:

Description	Borrower/Buyer	
	Debit	Credit
Financial		
Sale Price of Property		
Deposit	\$975,000.00	
		\$25,000.00
Prorations/Adjustments		
Summer Property Taxes from 01/25/2022 thru 06/30/2022		
Winter Property Taxes from 01/25/2022 thru 11/30/2022	\$4,250.77	
Village Property Taxes from 01/25/2022 thru 06/30/2022	\$2,093.14	
Sewer from 12/01/2021 thru 01/25/2022	\$1,522.42	
		\$232.19
Commission		
\$25000.00 Earnest Money Held by Real Estate One - 31		

Description	Borrower/Buyer	
	Debit	Credit
Government Recording and Transfer Charges		
Recording Fee (Deed) to Register of Deeds		
Tax Certification Fee to Register of Deeds	\$ 30.00	
	\$ 5.00	
Miscellaneous		
Buyer's Closing Fee to Capital Title - 55		
Fixed Broker Commission	\$ 250.00	
to Real Estate One - 31	\$ 295.00	
Recording Service Fee		
to A.S.K. Services, Inc.	\$ 35.00	
	Borrower/Buyer	
	Debit	Credit
Subtotals		
Due From Borrower	\$ 983,481.33	\$ 25,232.19
Totals		\$ 958,249.14
	\$ 983,481.33	\$ 983,481.33



DEVON TITLE AGENCY
3025 Boardwalk Dr., Suite 155
Ann Arbor, MI 48108
Phone: 734-372-2800
Fax: 734-879-2476
www.devontitle.com

Issuing Office's ALTA Registry® ID: 1033891

Agent for Old Republic National Title Insurance Company

Transaction Identification Data for reference only:

Commitment No.: **10202018**

Property Address: **3416 Hilton Pointe Ct, Brighton, MI 48114**

**COMMITMENT FOR TITLE INSURANCE
SCHEDULE A**

1. Commitment Date: **July 07, 2021, at 8:00 am**

2. Policy to be issued:

OWNERS POLICY

(a) **ALTA Owner's Policy**

AMOUNT

Proposed Insured:

\$1,000.00

A natural person or legal entity to be furnished.

3. The estate or interest in the Land described or referred to in this Commitment is: **Fee Simple**

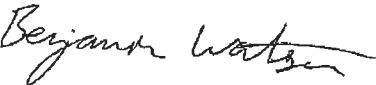
4. The Title is, at the Commitment Date vested in:
PFF, LLC, a Michigan limited liability company

5. The Land is described as follows:

Land situated in the Township of Brighton, County of Livingston, State of Michigan

SEE SCHEDULE C FOR COMPLETE LEGAL DESCRIPTION

DEVON TITLE AGENCY

By: 
Benjamin L. Watson, Authorized Signatory

Commonly known as: 3416 Hilton Pointe Ct, Brighton, MI 48114

Tax I.D. Number: 4712-19-200-015

2021 SEV: \$724,100.00

2021 Taxable Value: \$542,295.00

2021 Summer Tax Amount: **\$16,924.79 PAID**

2020 Winter Tax Amount: **\$6,471.39 PAID**

Special Assessments: The above winter tax includes \$249.53 for Woodland Aquatic and \$250.00 for Woodland Lake Dam (Additional information unavailable at time of examination)

Principal Residence Exemption: 0% for tax year 2021

School District: 47010

Michigan Department of Licensing and Regulatory Affairs
Bureau of Construction Codes
Licensing & Compliance Division
P.O. Box 30254
Lansing, MI 48909

MOCERI CUSTOM HOMES LLC
3005 UNIVERSITY DRIVE STE 100
AUBURN HILLS, MI 48326

Michigan Department of Licensing and Regulatory Affairs
Bureau of Construction Codes
Company Builder License
Q.O. - Francis V Mocerl

MOCERI CUSTOM HOMES LLC
3005 UNIVERSITY DRIVE STE 100
AUBURN HILLS, MI 48326

License No:
2102206216

Expiration Date:
05/31/2025

GRETCHEN WHITMER
Governor

**Michigan Department of Licensing and Regulatory Affairs
Bureau of Construction Codes
Company Builder License**

P959857

MOCERI CUSTOM HOMES LLC
3005 UNIVERSITY DRIVE STE 100
AUBURN HILLS, MI 48326

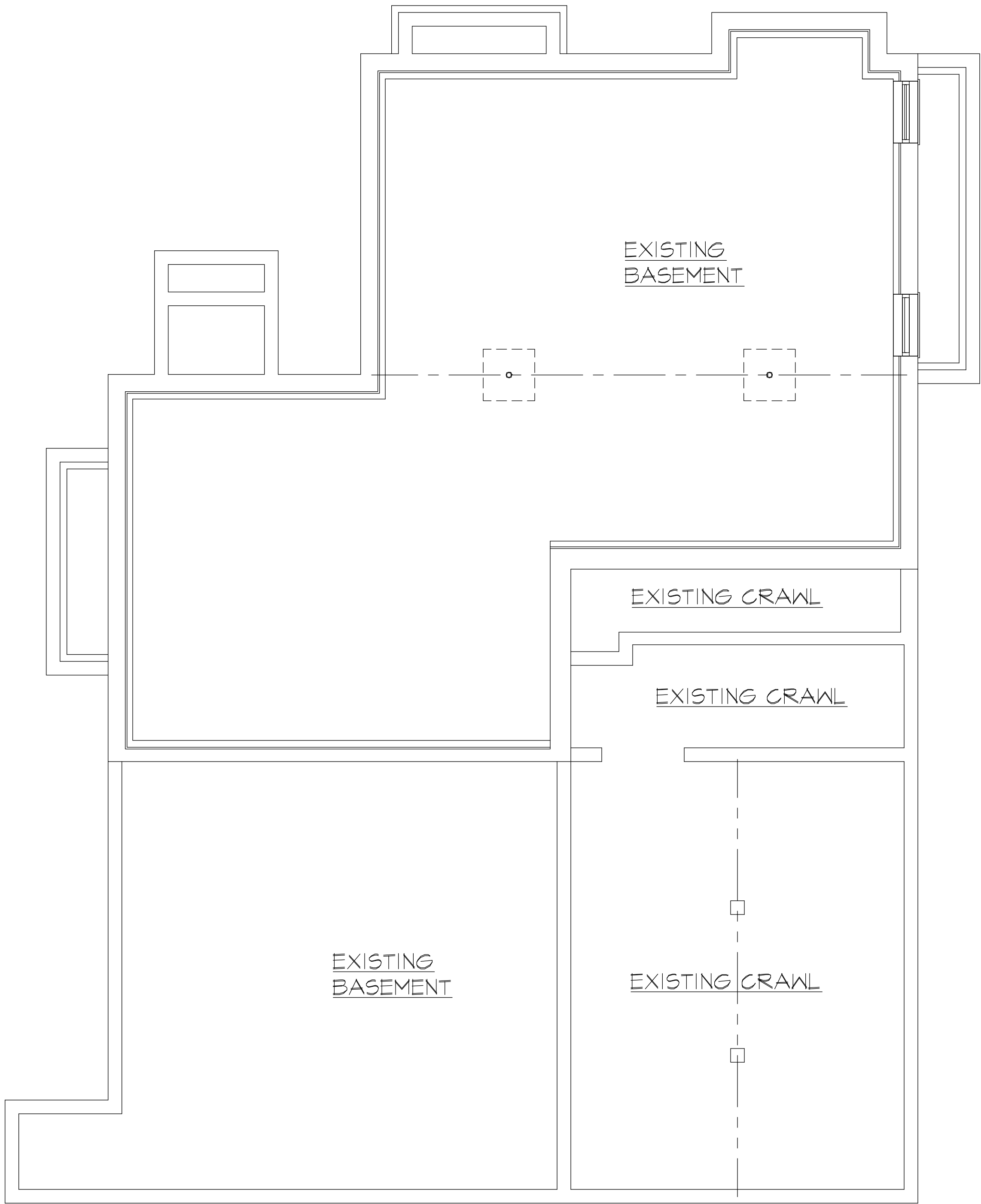
**Qualifying Officer:
Francis V Mocerl
Qualifying Officer #
2101074211**

MUST BE DISPLAYED IN A CONSPICUOUS PLACE

**License No.
2102206216**

**Expiration Date:
05/31/2025**

This document is duly
issued under the laws of the
State of Michigan



EXISTING FOUNDATION PLAN
SCALE: 1/4" = 1'-0"

LEGEND	
EXISTING TO REMAIN =	
EXISTING TO BE REMOVED =	
NEW CONSTRUCTION =	

ALL WINDOW NUMBERS REFER TO GENERIC SIZES (NO SPECIFIC MANUFACTURER)
EXAMPLE:
2040-2 = 2'-0" X 4'-0", 2-WIDE WINDOW UNIT

ALL DOOR NUMBERS REFER TO GENERIC SIZES (NO SPECIFIC MANUFACTURER)
EXAMPLE:
3080 = 3'-0" X 8'-0"

NOTE:
SEE STRUCTURAL SHEETS FOR ADDITIONAL NOTES AND DETAILS.

LEGEND:	
	= POINT LOAD
	= LOAD BEARING WALLS
	= POINT LOAD FROM ABOVE
	= LOAD BEARING WALLS FROM ABOVE
	= INDICATES AREA OF RAISED C/LG. IN TRUSS PROFILE

DOMINICK TRINGALI ARCHITECTS

3005 University Suite 100
Auburn Hills MI 48326

Tel 248 340 9400

www.DTAarchitects.com

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MOCERI CUSTOM HOMES
CAROL STREET RENOVATION

Review Set: 06/06/22

Permit:

Final Set:

Revisions:

Drawn: B.H.

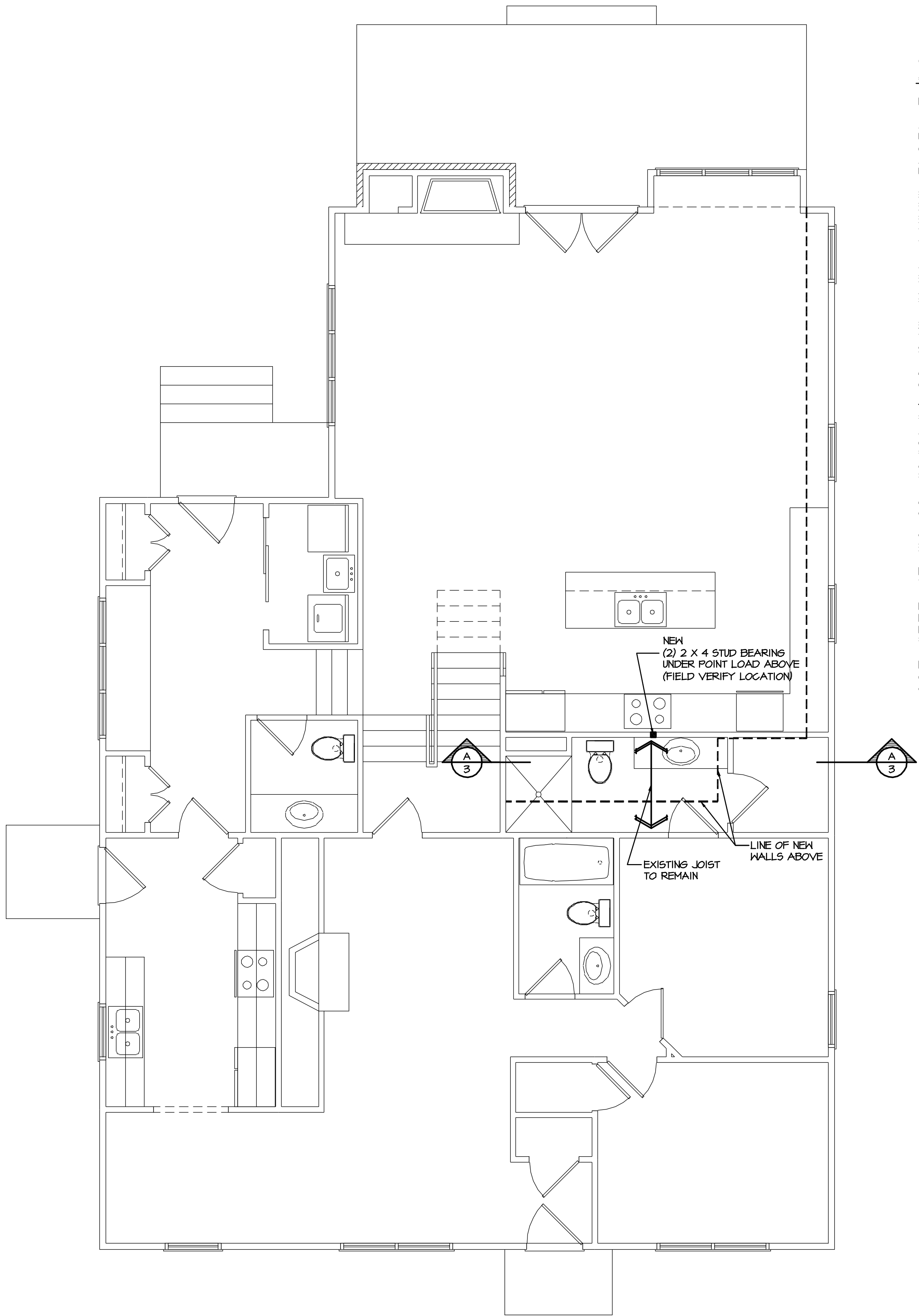
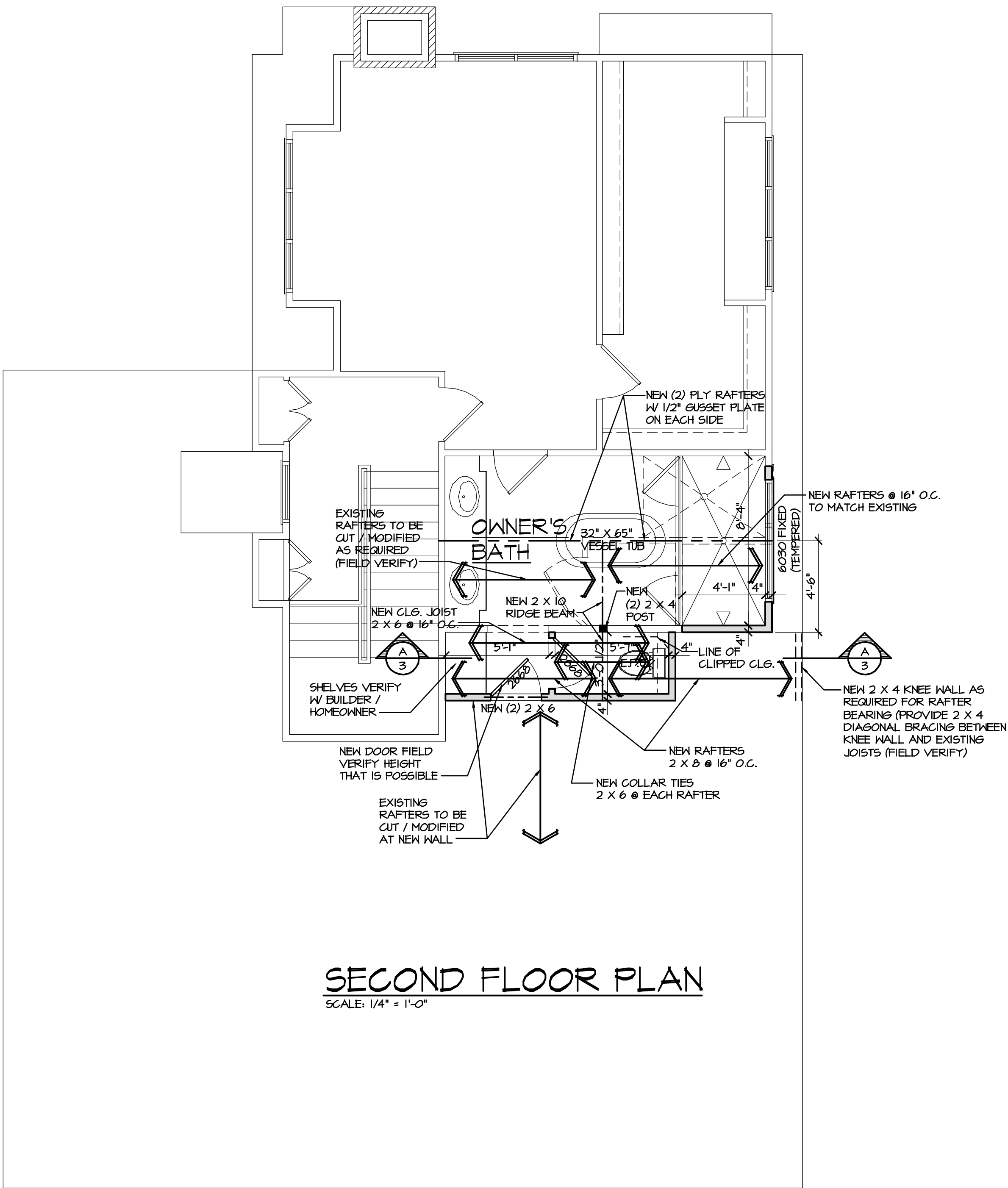
Chkd:

Job No. 22072

Sheet No. 1 OF 3

DEMOLITION NOTES

1. VERIFY ALL EXISTING CONDITIONS PRIOR TO DEMOLITION
2. FIELD VERIFY THE LOCATION OF ALL BURIED UTILITIES AND OTHER UNDERGROUND SERVICES AND SYSTEMS PRIOR TO STARTING ANY EXCAVATION OR GRADING WORK. EXCAVATION CONTRACTOR SHALL MAKE PROVISIONS TO ADEQUATELY PROTECT, REMOVE, AND REINSTALL OR REPAIR ANY DAMAGE TO UNDERGROUND FACILITIES.
3. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR INSPECTING THE SITE AND BUILDING WITH RESPECT TO THE REMOVAL OR RELOCATION OF ALL MECHANICAL, ELECTRICAL, UTILITY, OR ARCHITECTURAL ITEMS (NOT SPECIFICALLY INDICATED ON THE DRAWINGS) WHICH WOULD INTERFERE WITH THE INTENT AND COMPLETION OF THE DEMOLITION WORK.
4. GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD LOCATING ALL EXISTING CONCEALED BUILDING ELEMENTS INCLUDING PLUMBING, MECHANICAL, RING AND LINES, STRUCTURAL FRAMING AND ELECTRICAL SERVICES AND PROVIDING PROTECTION FROM DAMAGE.
5. GENERAL CONTRACTOR IS TO COORDINATE WITH MECHANICAL AND ELECTRICAL TRADES FOR THE REMOVAL OF CEILING, WALLS, ETC. AS TO THE EXTENT OF STRUCTURE TO BE SAVED AND PROTECTED.
6. REMOVE EXISTING FINISH AS NECESSARY TO EXPOSE STRUCTURE. VERIFY CONDITIONS WITH ARCHITECT BEFORE CONTINUING.
7. NEW OPENINGS SHALL BE CUT IN EXISTING WALLS, CEILINGS, AND FLOORS AS REQUIRED FOR THE INSTALLATION OF NEW WORK. OPENINGS SHALL BE CUT CLEAN AND ACCURATELY SO AS NOT TO DISTURB EXISTING WALLS, FLOORS, PARTITIONS, CEILINGS, ETC. WHICH ARE TO REMAIN. MAINTAIN STRUCTURAL SOUNDNESS OF REMAINING WALLS AND INSTALL NECESSARY STRUCTURAL SUPPORT FOR THESE OPENINGS ENSURING THESE LOADS ARE PROPERLY TRANSFERRED TO THE FOUNDATION.
8. VERIFY WITH OWNER ALL EQUIPMENT AND FIXTURE TO BE REMOVED AND REUSED OR REMOVED AND DISCARDED.
9. PRIOR TO DEMOLITION ALL EXISTING STRUCTURE IS TO BE ADEQUATELY BRACED.
10. VERIFY W/ MECH. CONTRACTOR IF EXISTING MECH. SYSTEM IS LARGE ENOUGH TO EXTEND NEW RUNS INTO NEW ADDITION.
11. CONTRACTORS ARE TO REMARK EXISTING PLUMBING AND MECHANICAL THAT IS IN EXISTING WALLS THAT ARE BEING REMOVED. ARCHITECT IS TO BE CONTACTED IF ANY DROPS AND OR CHASES ARE REQUIRED TO FACILITATE REMARKING OF PLUMBING AND MECHANICAL.
12. PROVIDE TEMPORARY SUPPORT OF EXISTING CONSTRUCTION UNTIL NEW CONSTRUCTION AND STRUCTURAL ELEMENTS ARE IN PLACE WITH REQUIRED CONNECTIONS AND SUPPORTS.



EXISTING FIRST FLOOR PLAN

SCALE: 1/4" = 1'-0"

GENERAL FLOOR PLAN NOTES

1. THE CONTRACTOR SHALL FAMILIARIZE HIMSELF WITH THE CONSTRUCTION DOCUMENTS AND FIELD VERIFY SIZES, LOCATIONS, ELEVATIONS AND DETAILS OF EXISTING CONDITIONS THAT AFFECT THE WORK, AND SHALL INFORM THE ARCHITECT OF ANY DISCREPANCIES BETWEEN ACTUAL CONDITIONS AND THOSE SHOWN ON THE CONSTRUCTION DOCUMENTS BEFORE PROCEEDING WITH THE WORK.
2. PATCH AND REPAIR ALL MATERIALS / FINISHES DAMAGED BY DEMOLITION AND OR CONSTRUCTION TO MATCH ADJACENT MATERIALS / FINISHES AS REQUIRED. THE ENTIRE WALL OF AREAS WHERE PAINT HAS BEEN DAMAGED, SLOPPY PAINT HAS BEEN APPLIED, AND OR THIN PAINT IS NOTICEABLE SHALL BE RE-PAINTED TO NEW CONDITION.

LEGEND

- EXISTING TO REMAIN =
- EXISTING TO BE REMOVED =
- NEW CONSTRUCTION =

ALL WINDOW NUMBERS REFER TO GENERIC SIZES (NO SPECIFIC MANUFACTURER)
EXAMPLE:
2040-2 = 2'-0" X 4'-0", 2-WIDE WINDOW UNIT

ALL DOOR NUMBERS REFER TO GENERIC SIZES (NO SPECIFIC MANUFACTURER)
EXAMPLE:
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CAROL STREET RENOVATION

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Revisions:

Drawn: B.H.

Chkd:

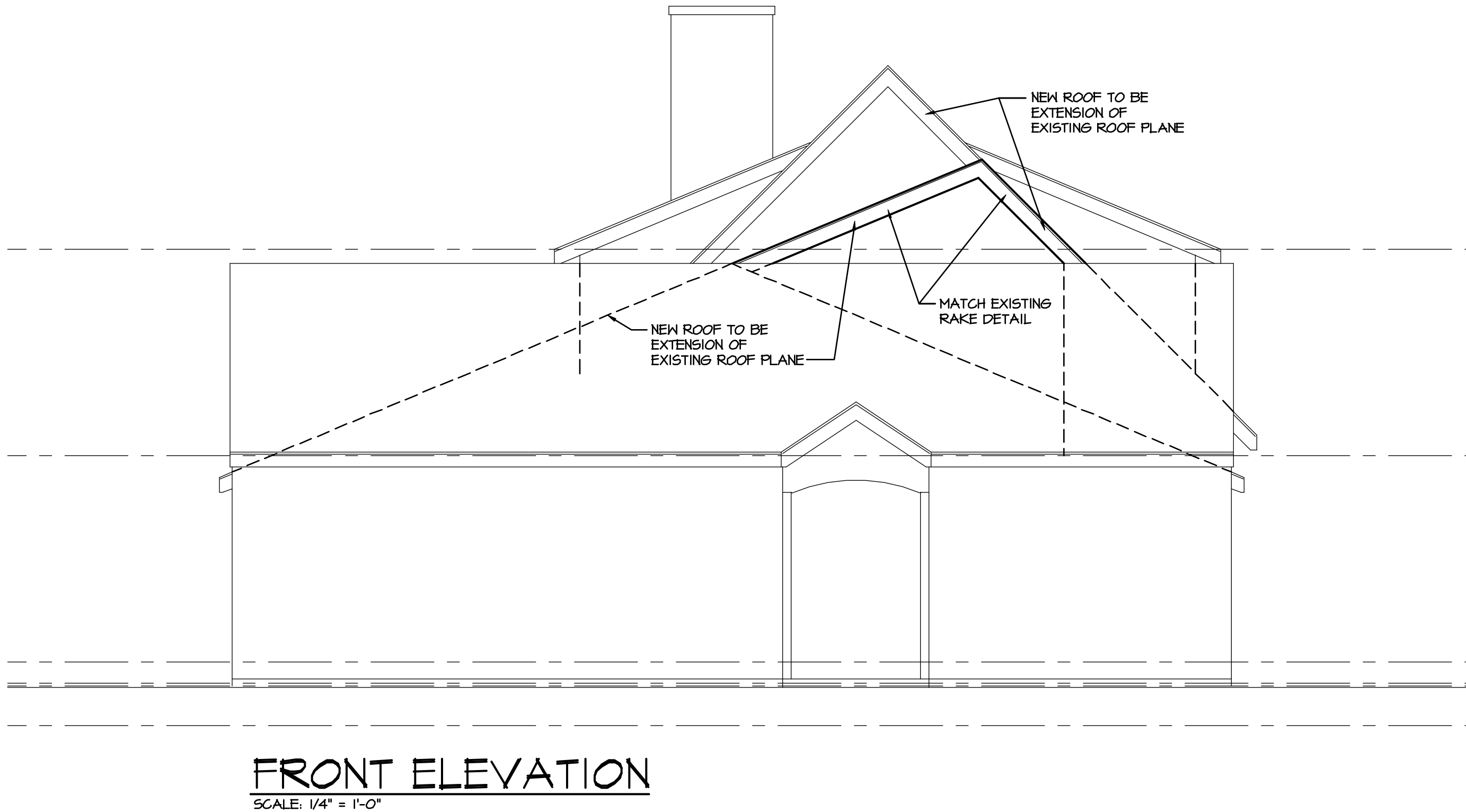
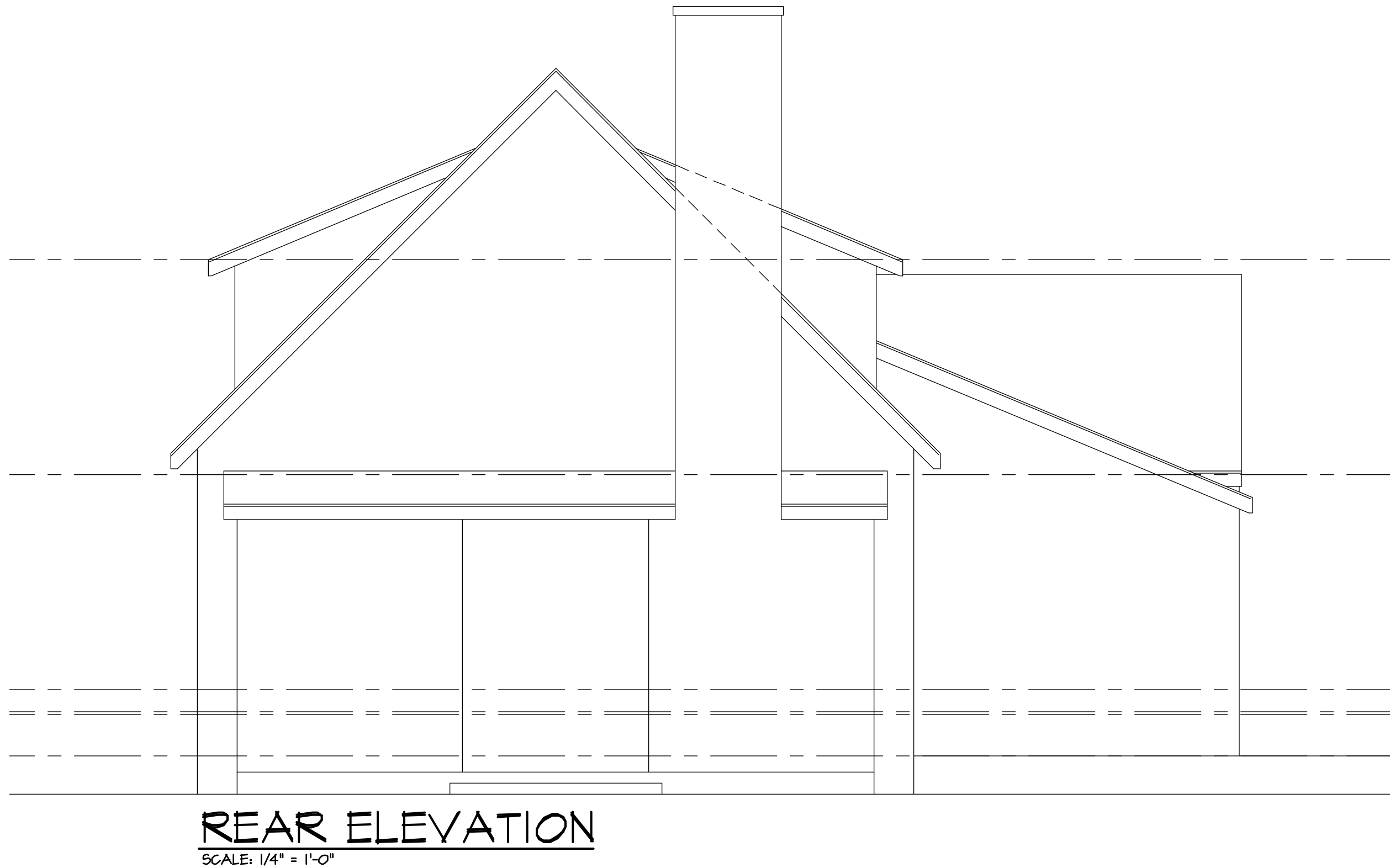
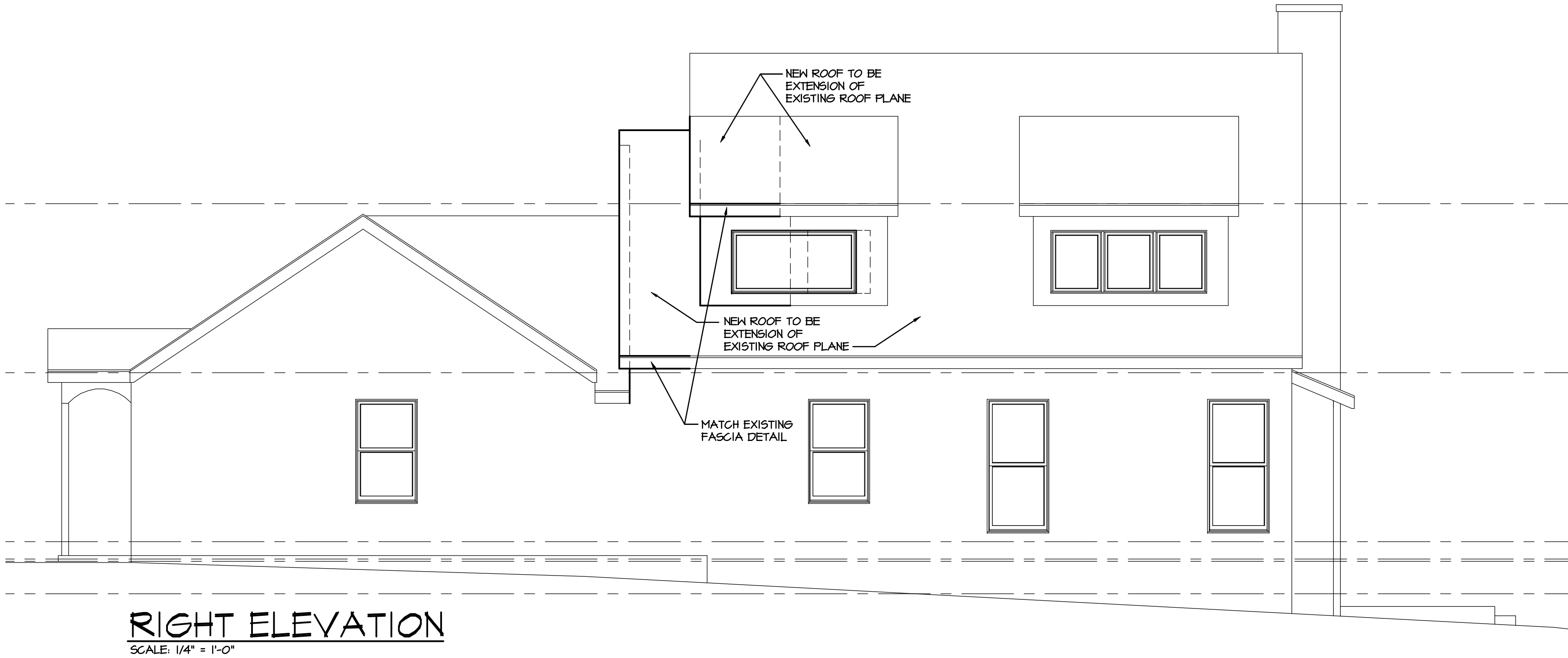
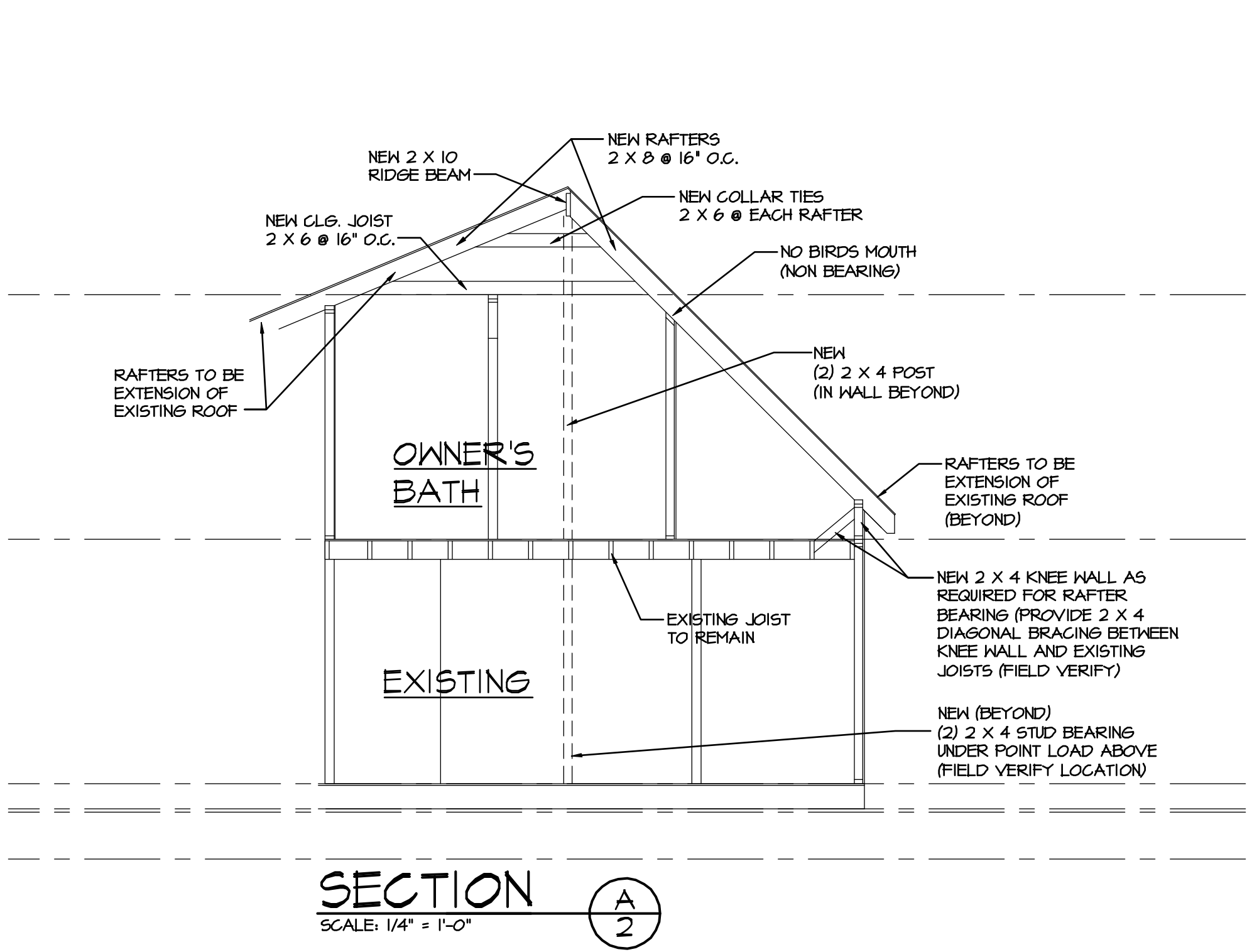
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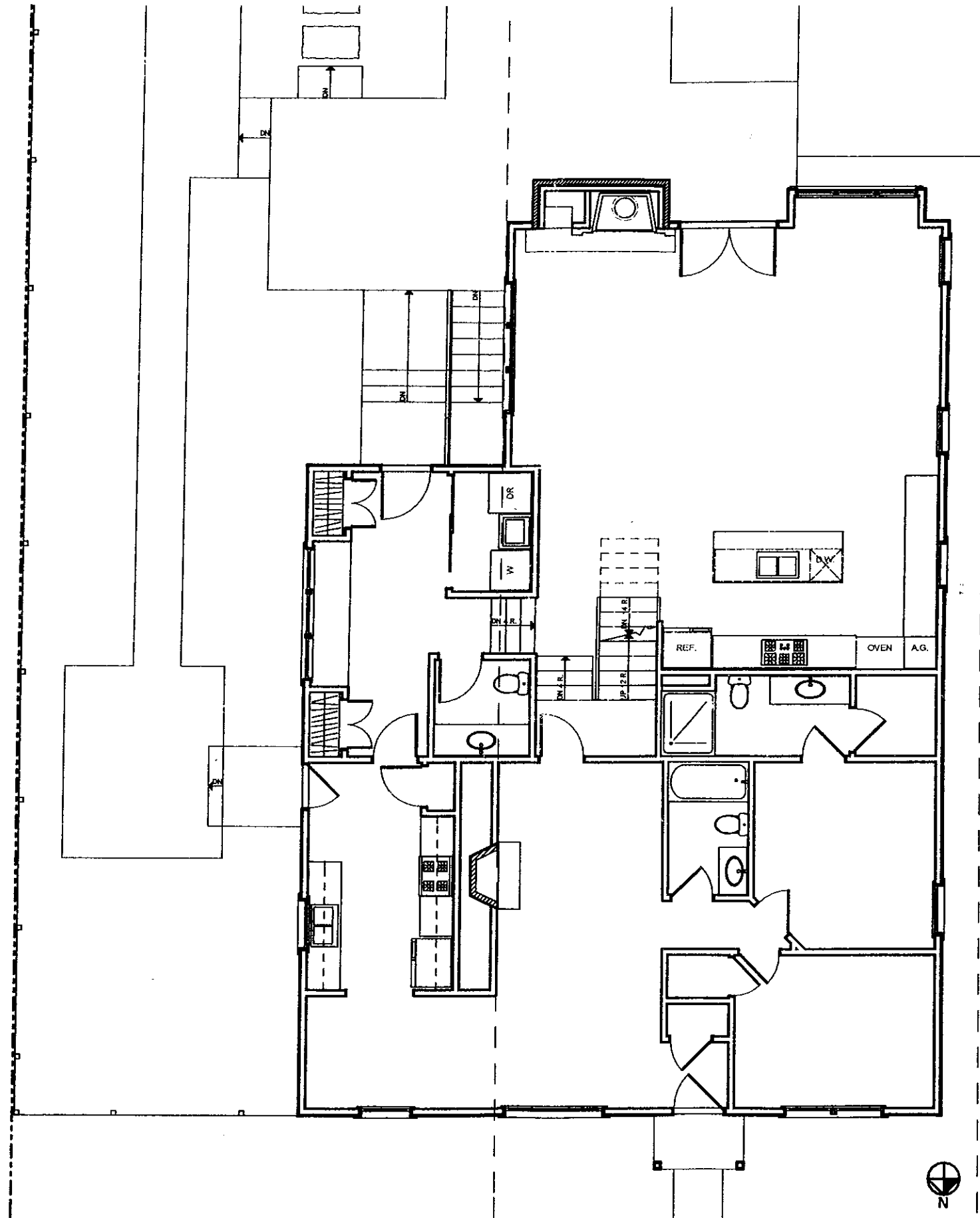
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Sheet No.

2 OF 3

LIFESTYLE BY DESIGN





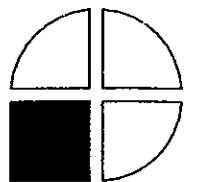
FIRST FLOOR PLAN

1/8" = 1'-0"

26005 CAROL STREET

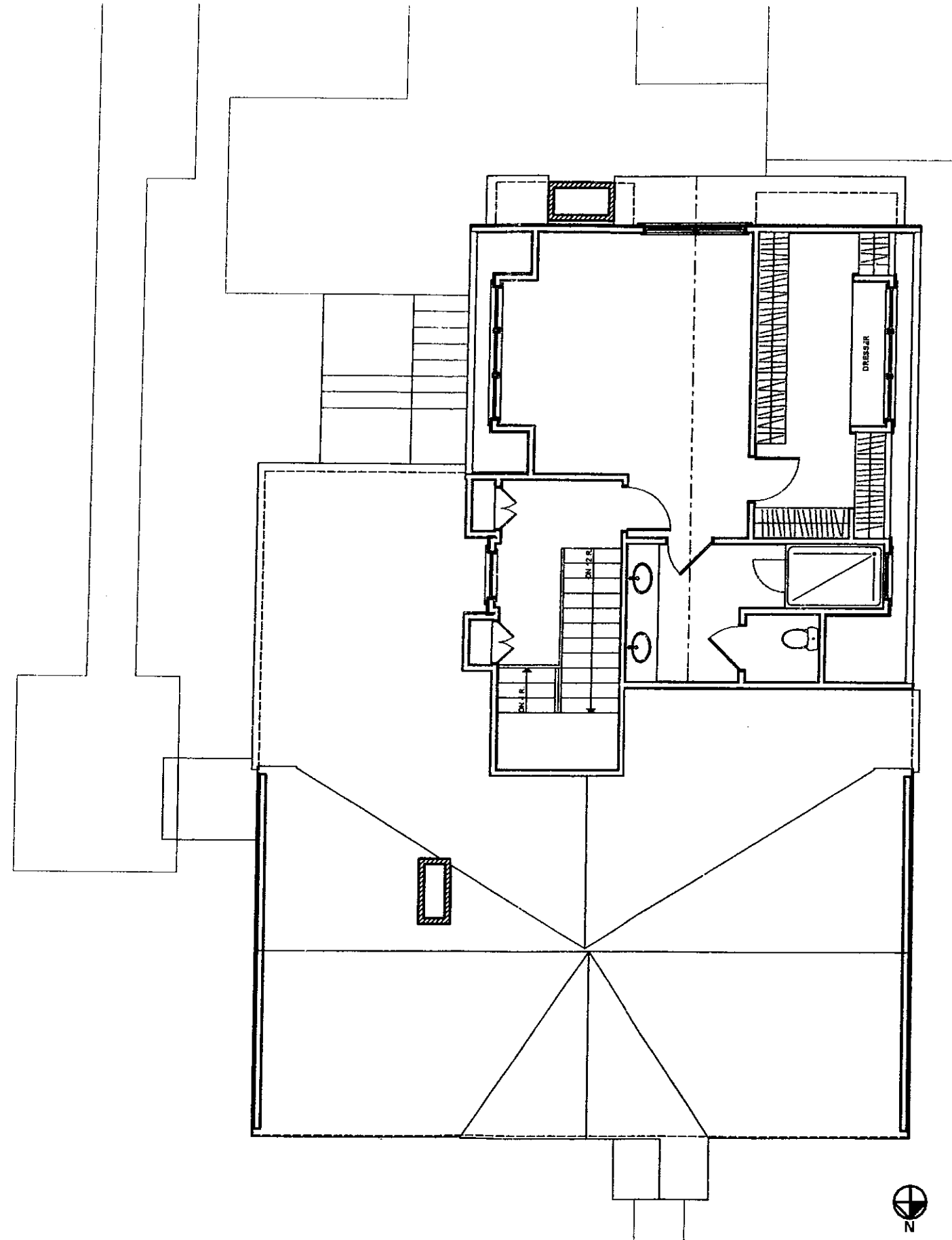
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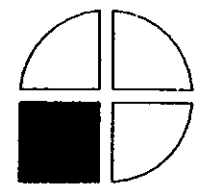
SECOND FLOOR

1/8" = 1'-0"

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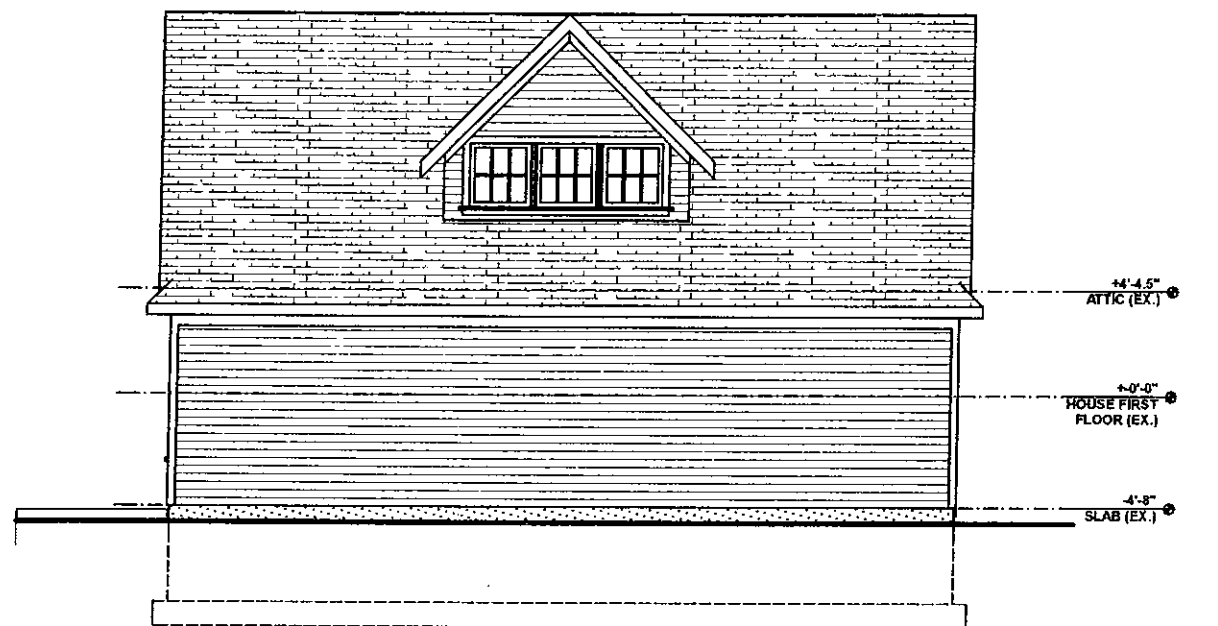
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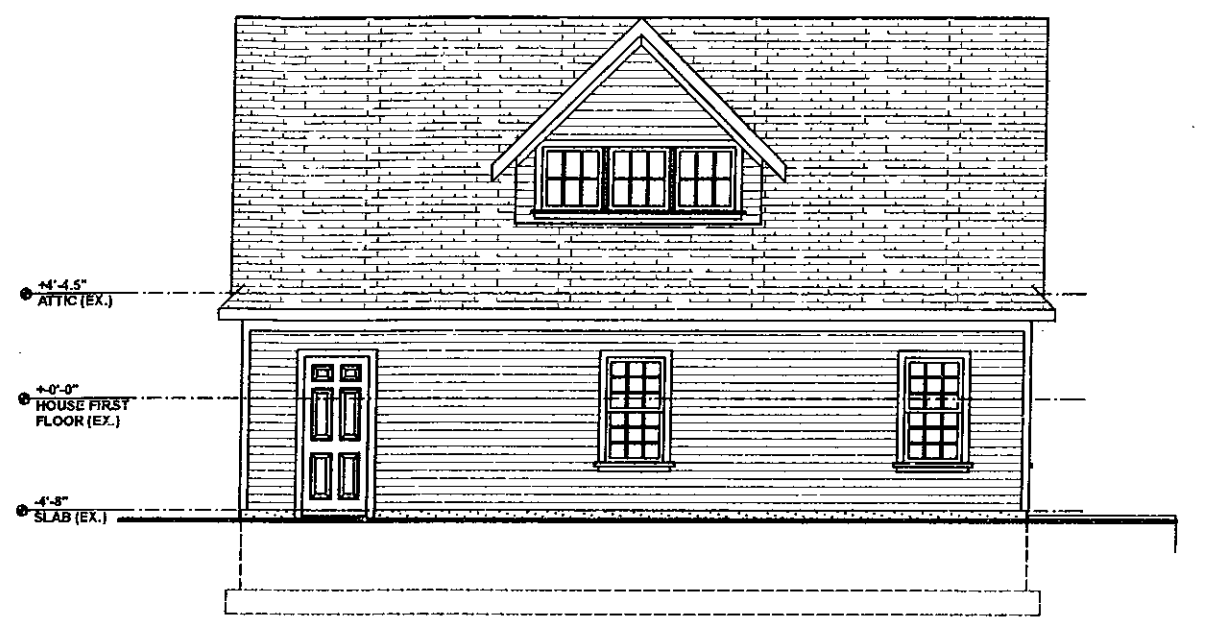


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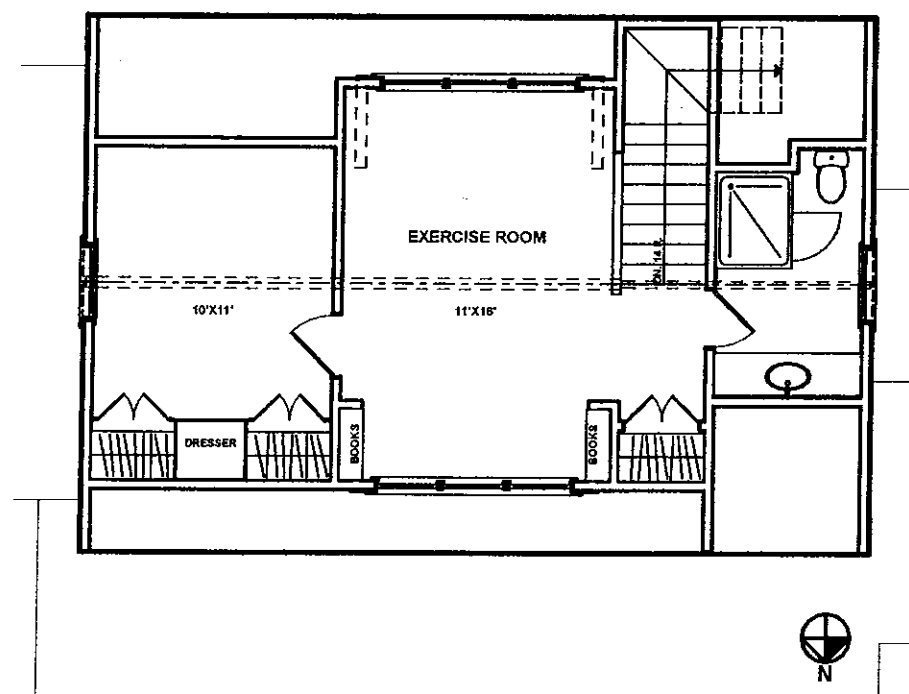
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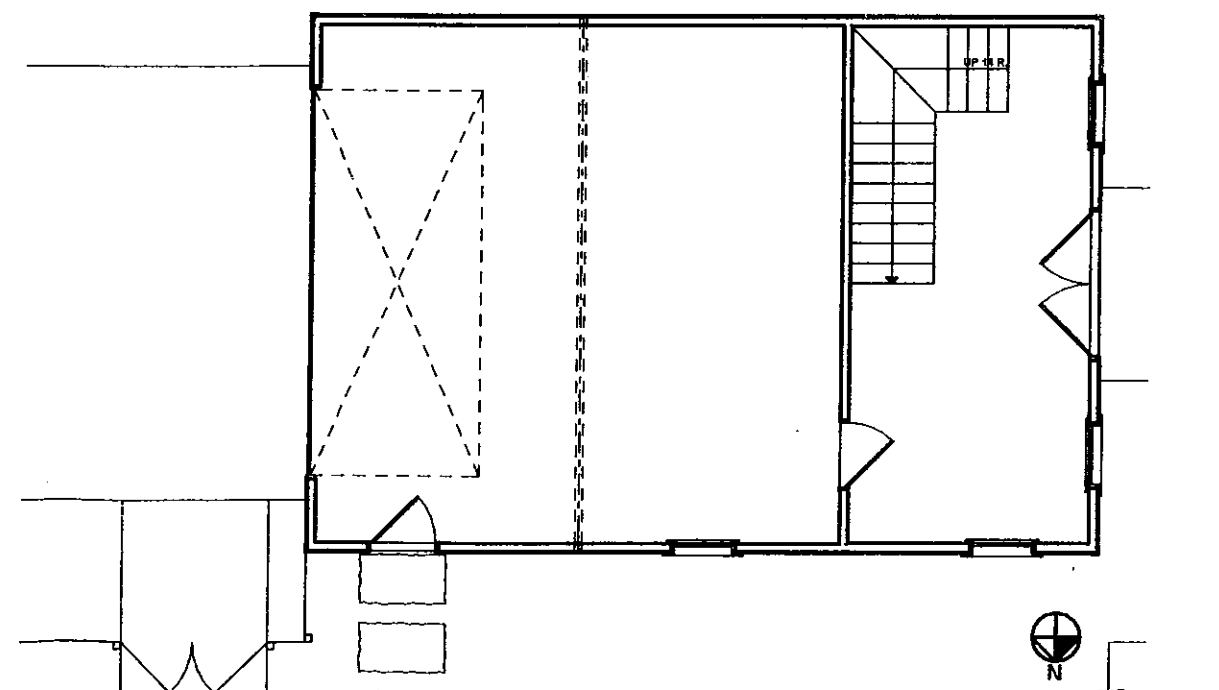
GARAGE SOUTH ELEVATION 1/8" = 1'-0"



GARAGE NORTH ELEVATION 1/8" = 1'-0"



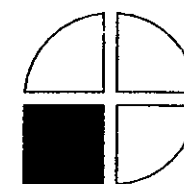
GARAGE ATTIC LEVEL PLAN 1/8" = 1'-0"



GARAGE PLAN 1/8" = 1'-0"

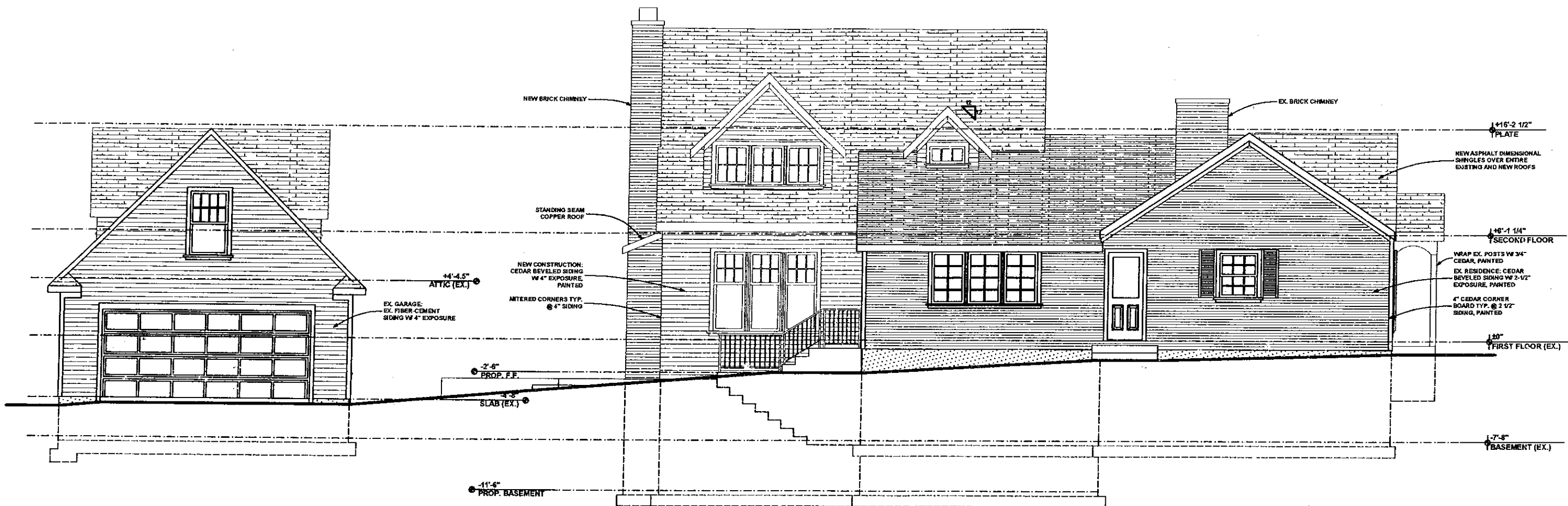
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EAST ELEVATION

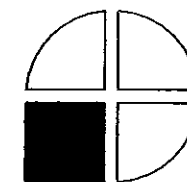
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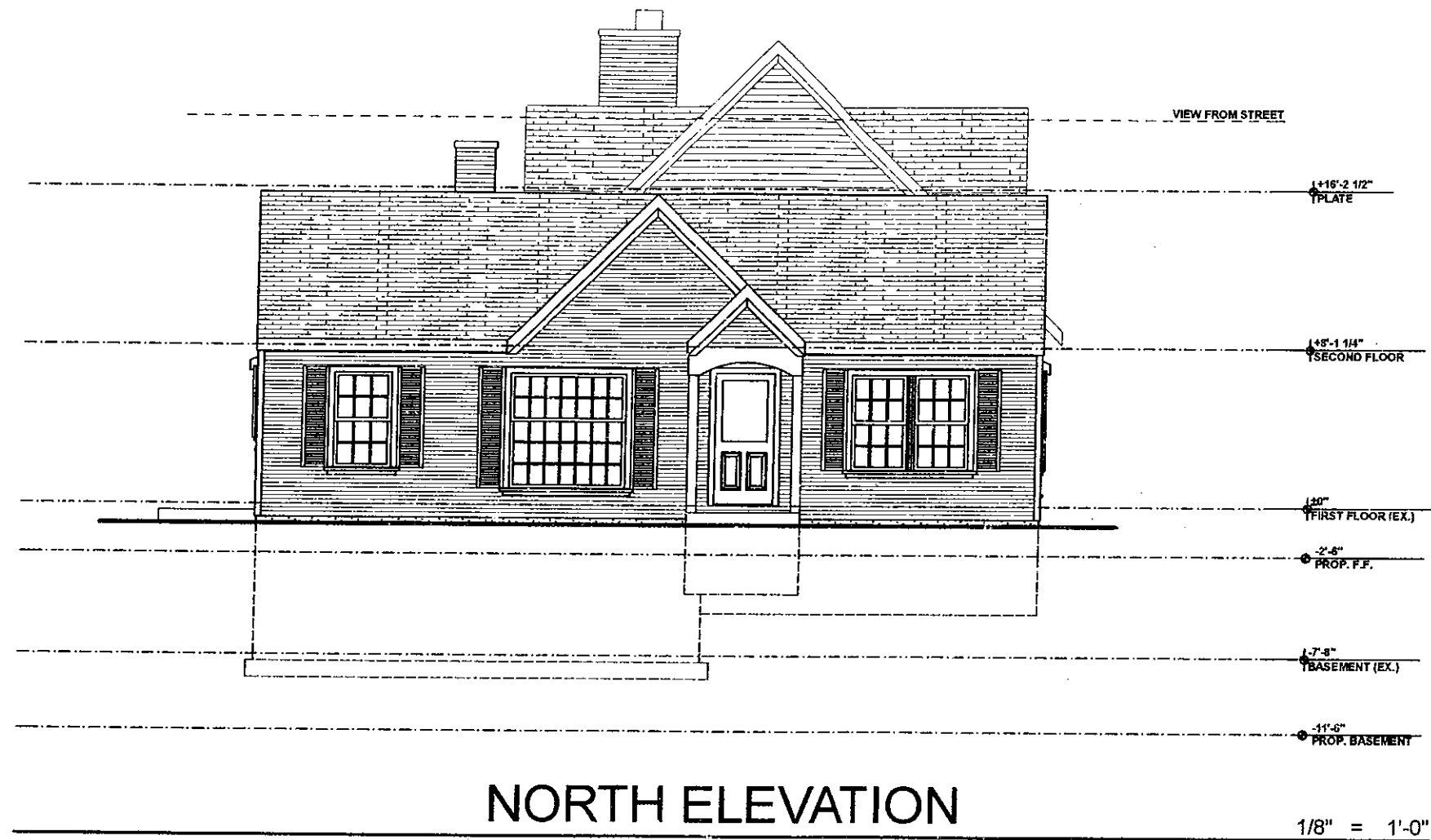
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HDC: 11-04-13



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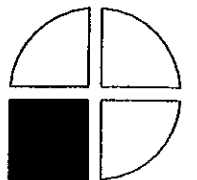
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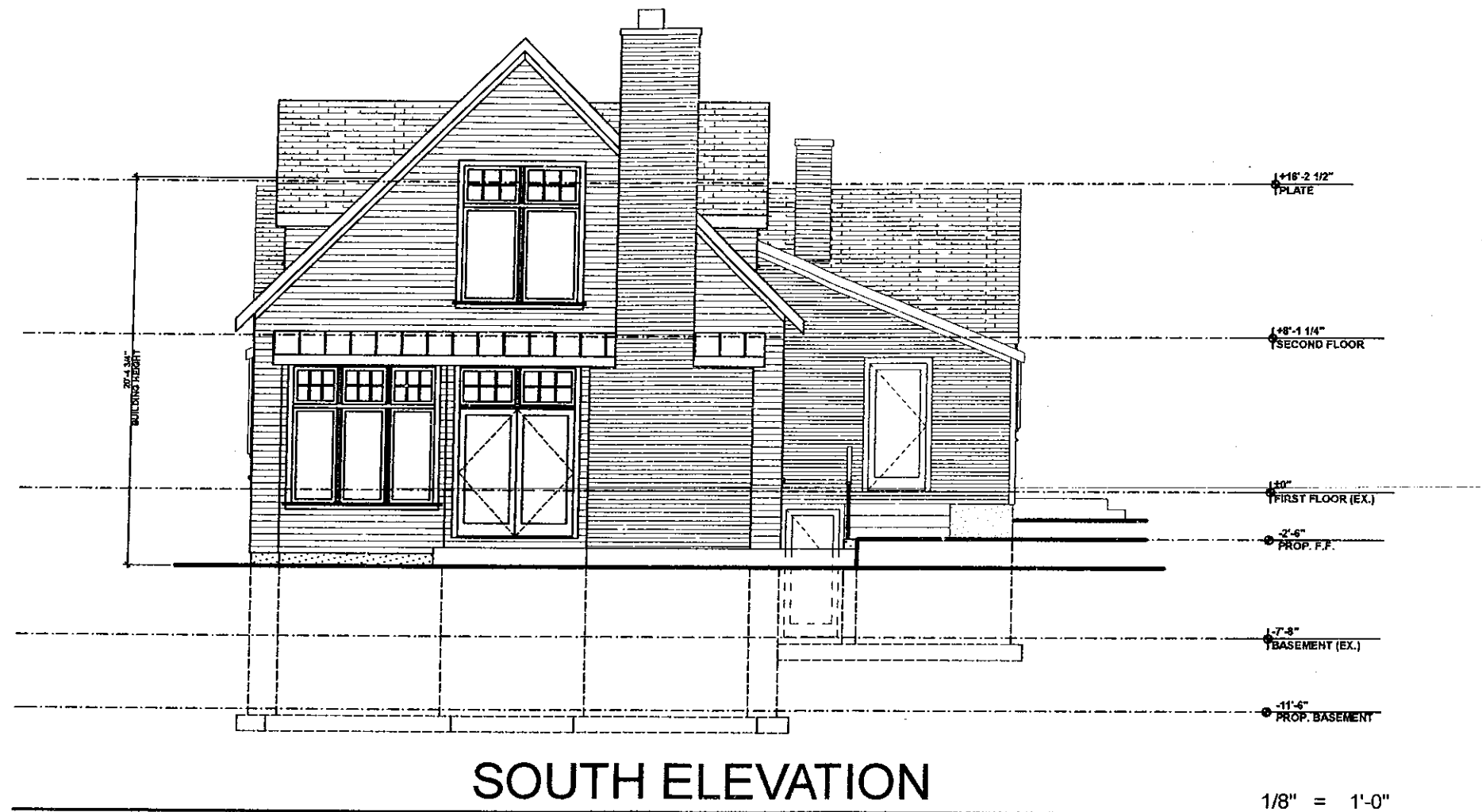
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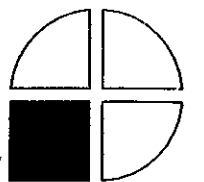
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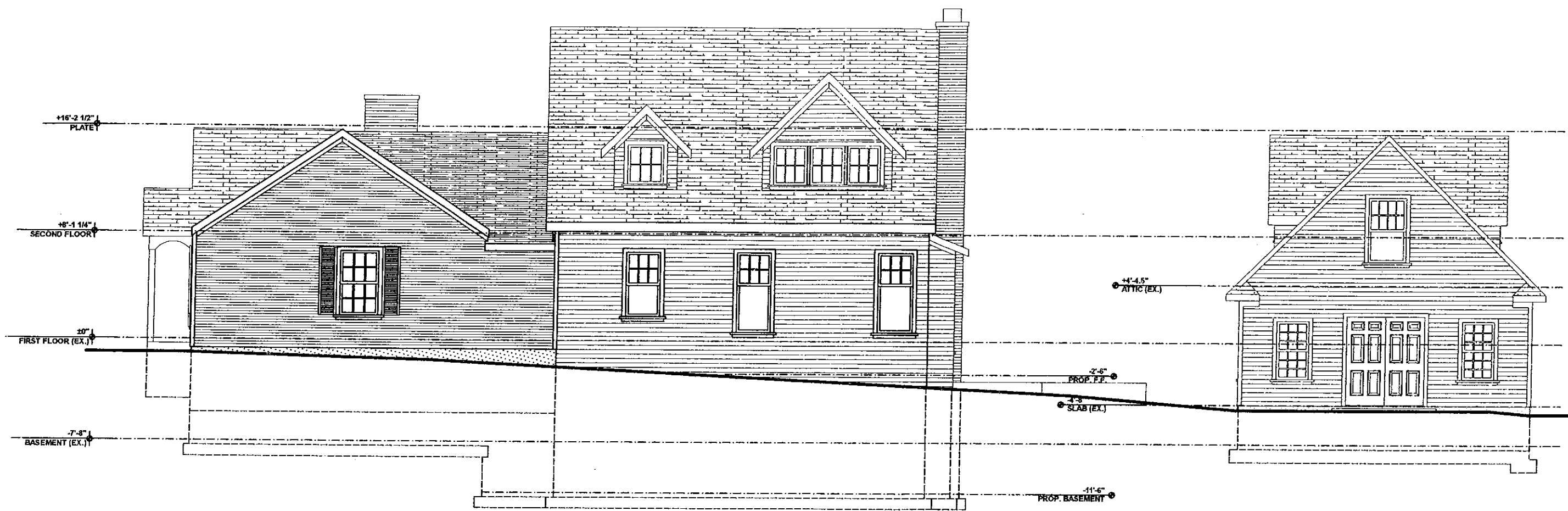
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WEST ELEVATION

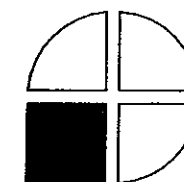
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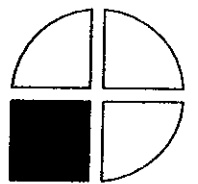
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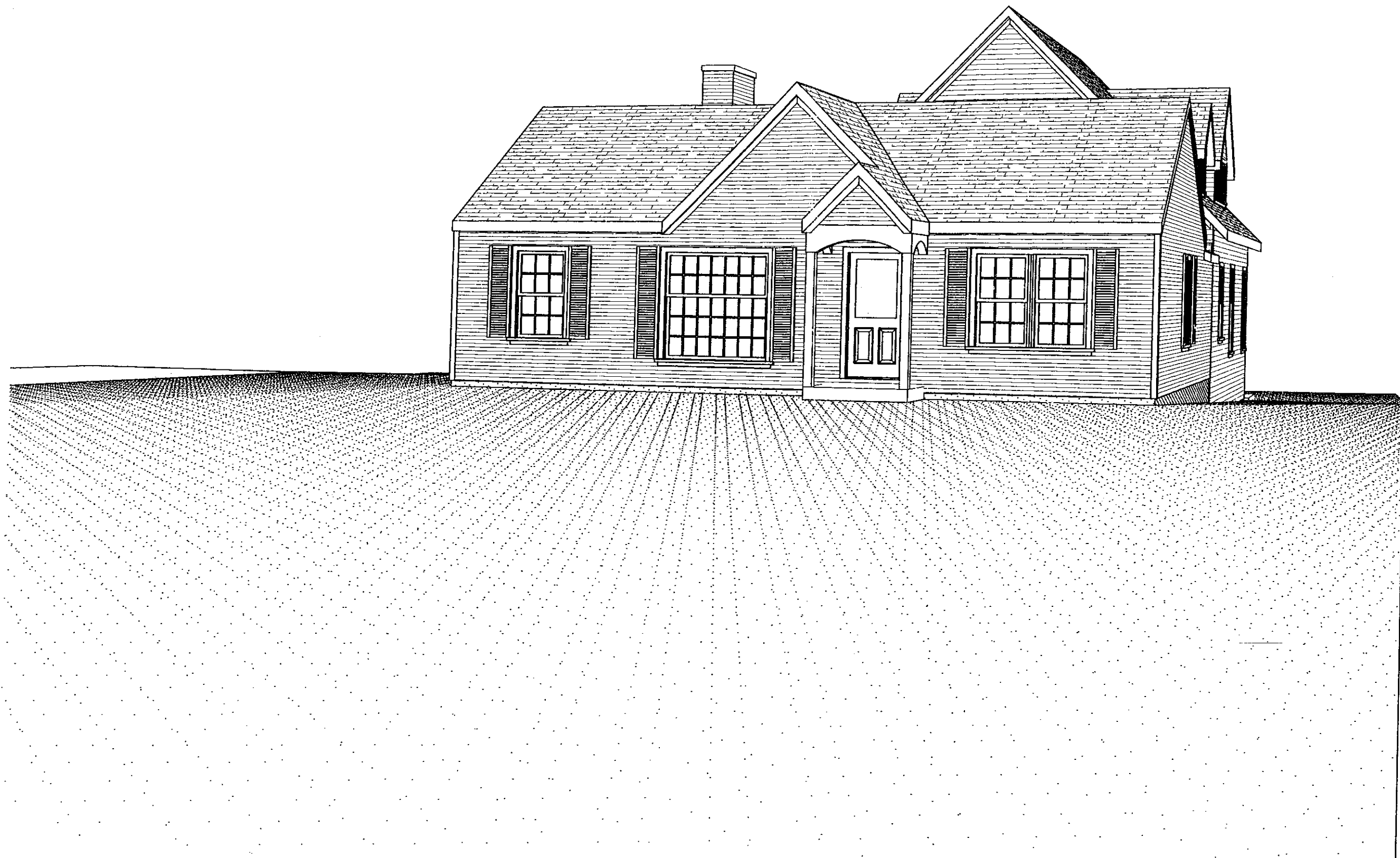


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VIEW FROM EAST

1:80

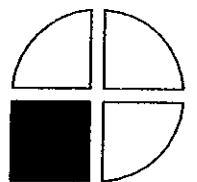


VIEW FROM NORTH WEST

26005 CAROL STREET

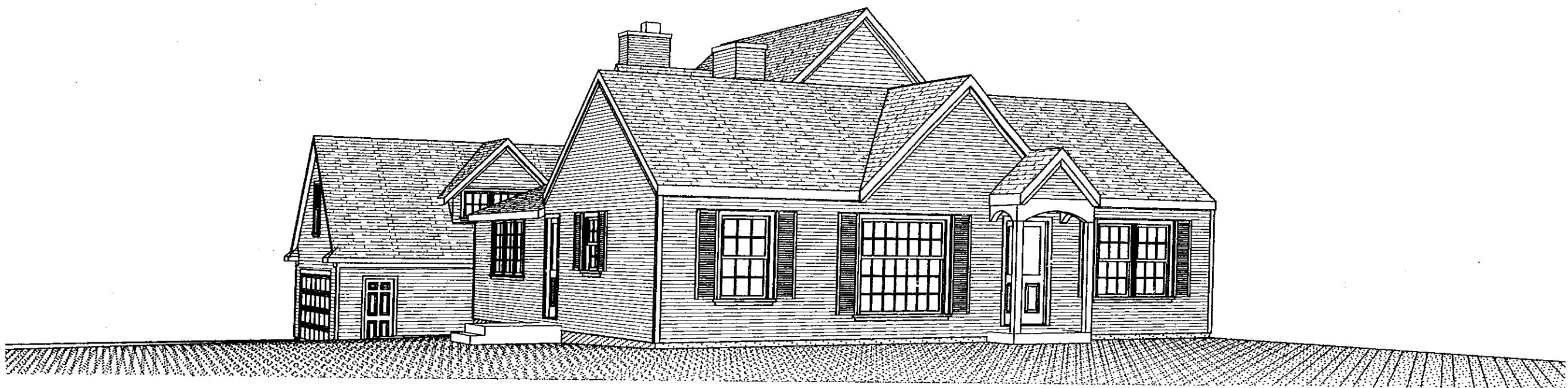
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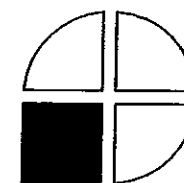


VIEW FROM NORTH EAST

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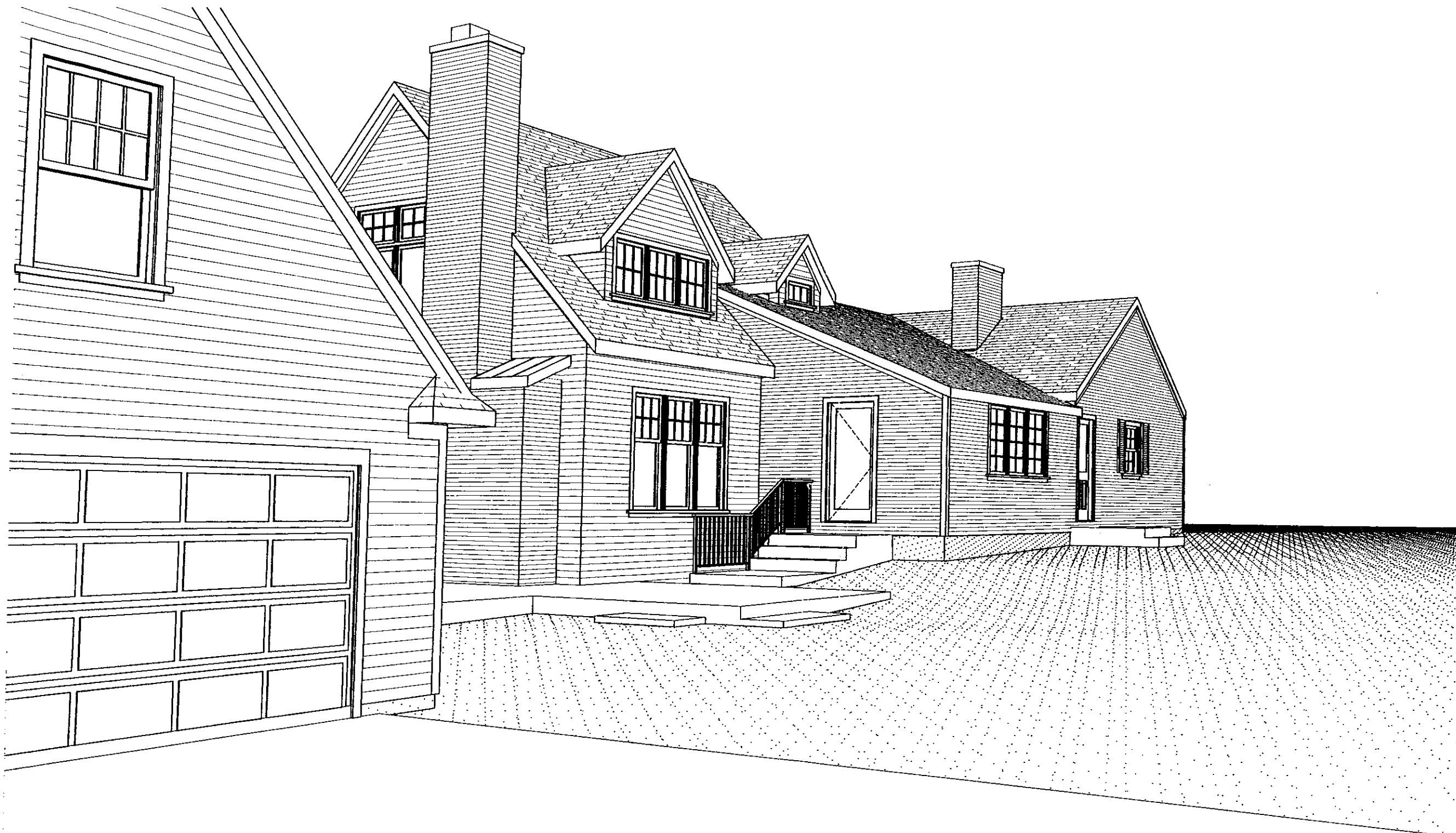
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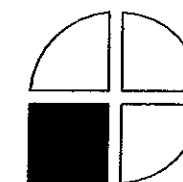
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VIEW FROM SOUTH EAST

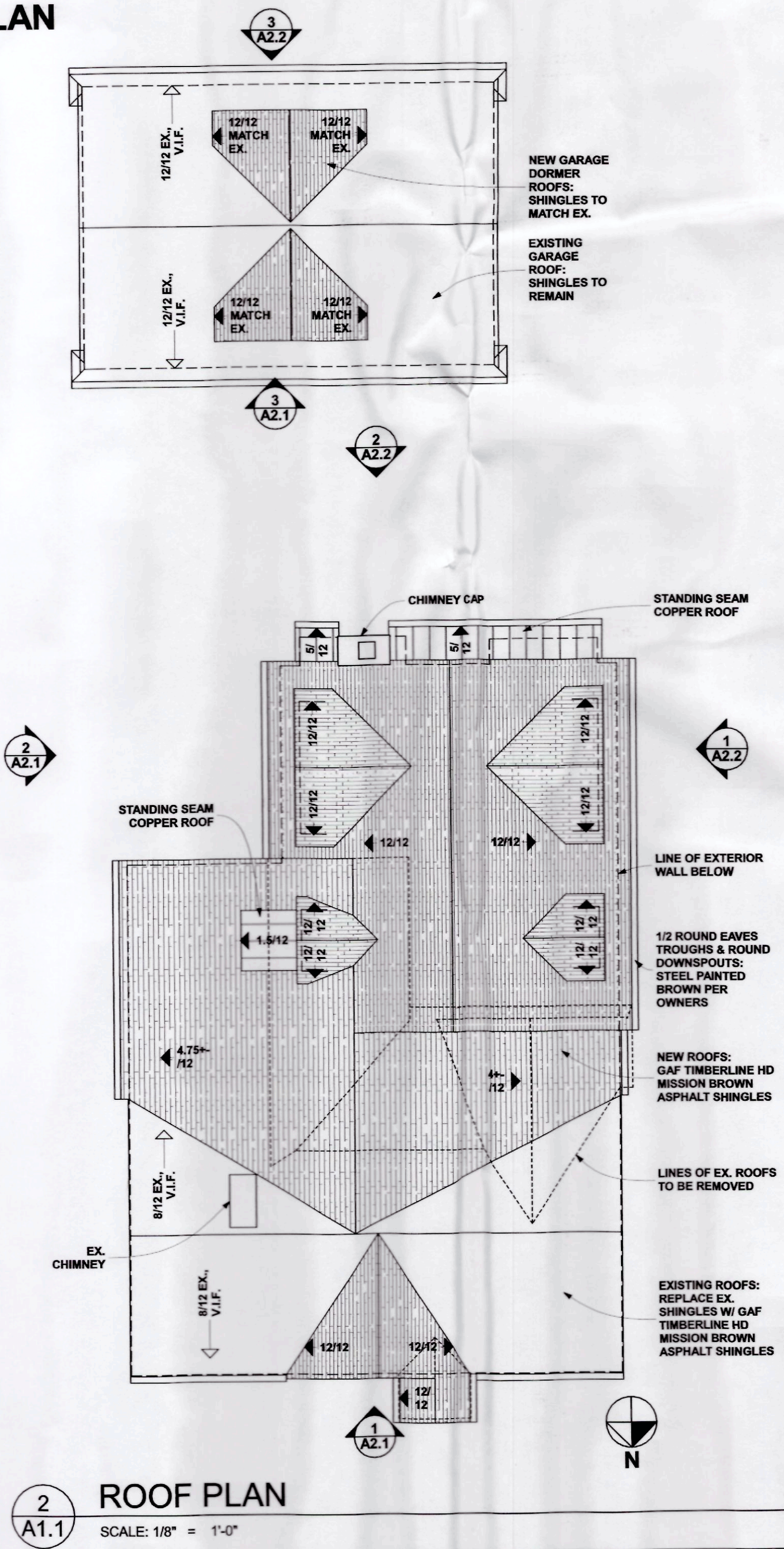
COLLON RESIDENCE

FRANKLIN, MICHIGAN

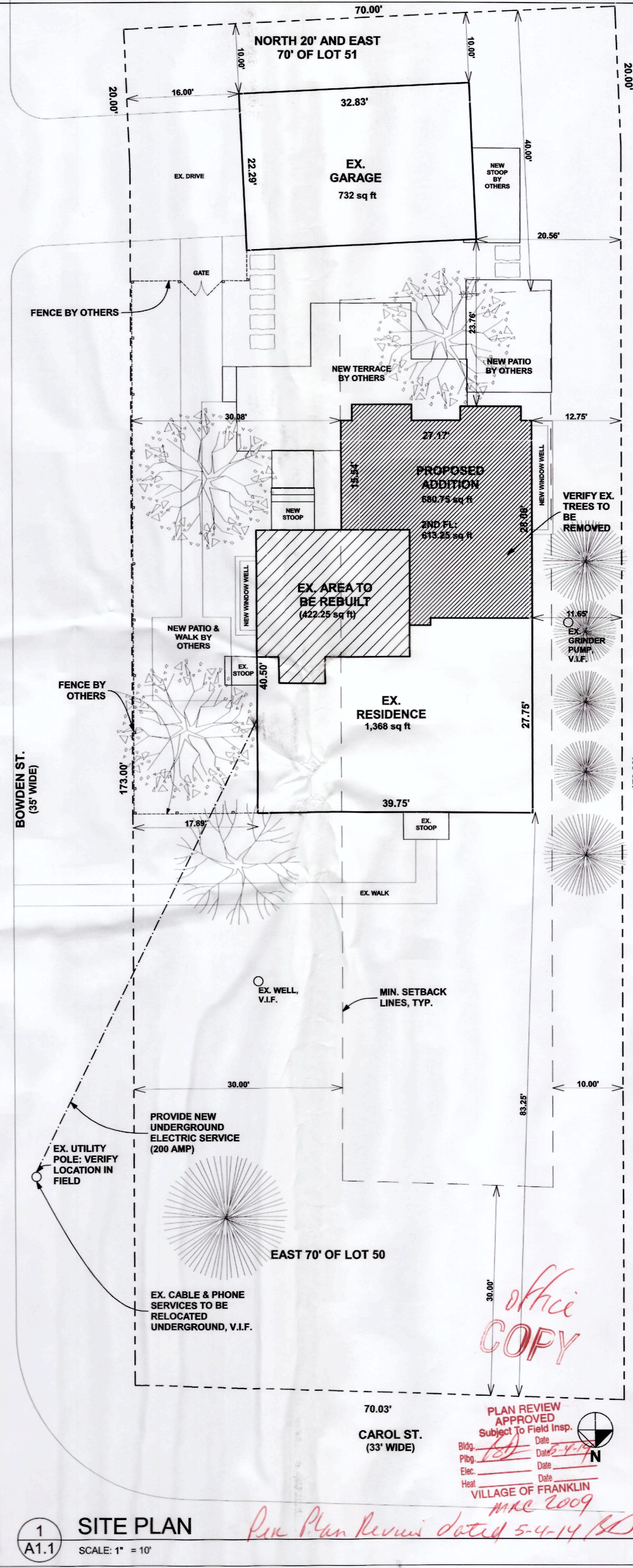
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RESIDENTIAL CODE 2009

DRAWING INDEX:

SHEET NO.	TITLE
A1.1	SITE PLAN, ROOF PLAN, INDEX
A1.2	LOWER LEVEL PLAN, FIRST FLOOR FRAMING PLAN
A1.3	FIRST FLOOR PLAN, SECOND FLOOR FRAMING PLAN
A1.4	SECOND FLOOR PLAN, ROOF FRAMING PLAN
A1.5	GARAGE PLANS AND SECTIONS
A2.1	ELEVATIONS
A2.2	ELEVATIONS
A3.1	SECTIONS
A3.2	SECTIONS, DETAILS
A3.3	DETAILS
A4.1	ELECTRICAL-LIGHTING PLANS
A4.2	ELECTRICAL-LIGHTING PLANS
A5.1	GENERAL NOTES
A5.2	GENERAL NOTES



2 ROOF PLAN
A1.1 SCALE: 1/8" = 1'-0"



1 SITE PLAN
A1.1 SCALE: 1" = 10'

BIDS w/ RCPs: 03-20-2014
BIDS: 03-07-2014
BID REVIEW: 02-28-2014
STRUCTURE: 02-17-2014
REVIEW: 02-06-2014

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248 851 5022

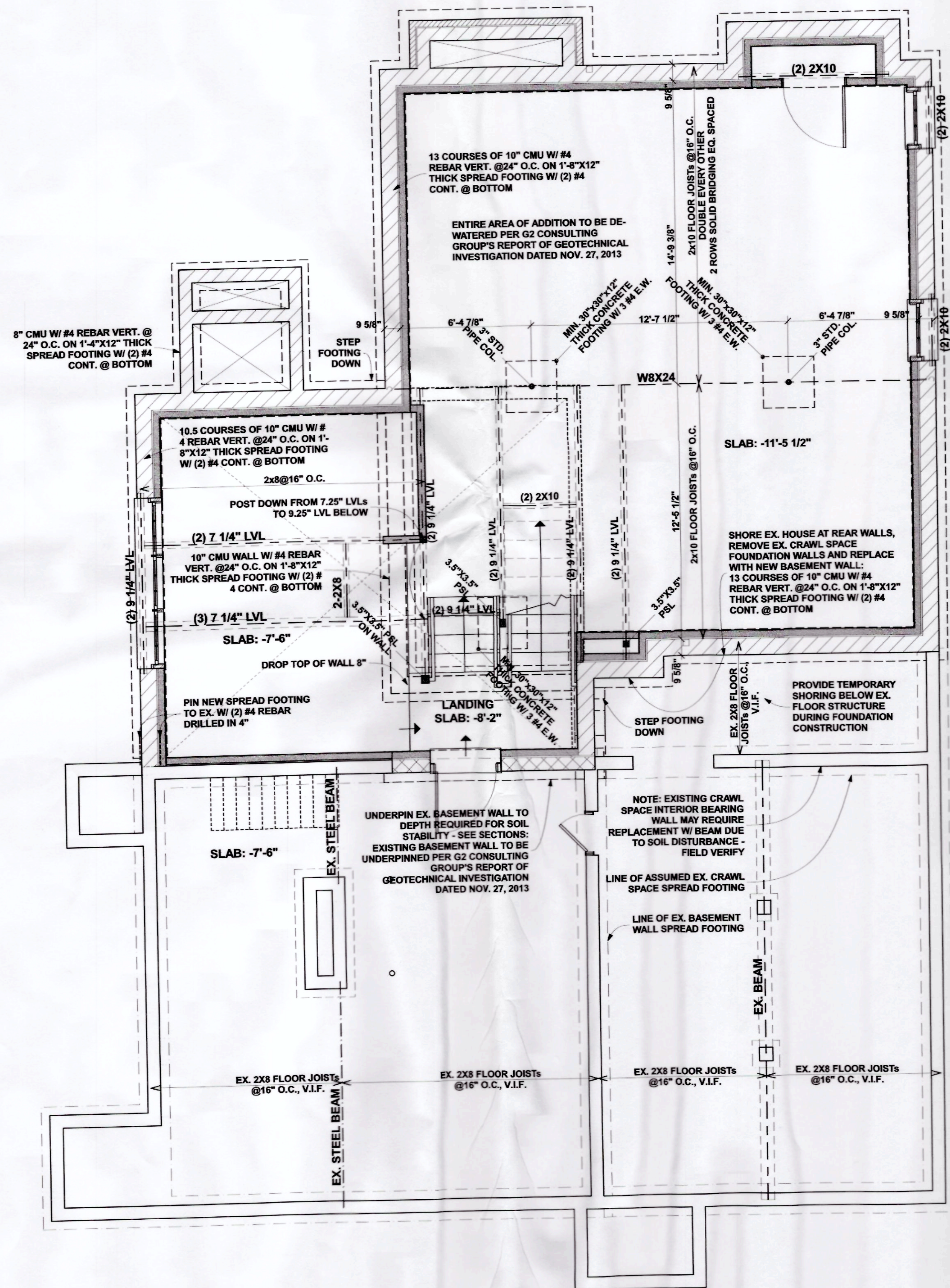
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26005 CAROL STREET
FRANKLIN, MICHIGAN 48025
TITLE: **SITE PLAN, ROOF PLAN**

W. Finnicum

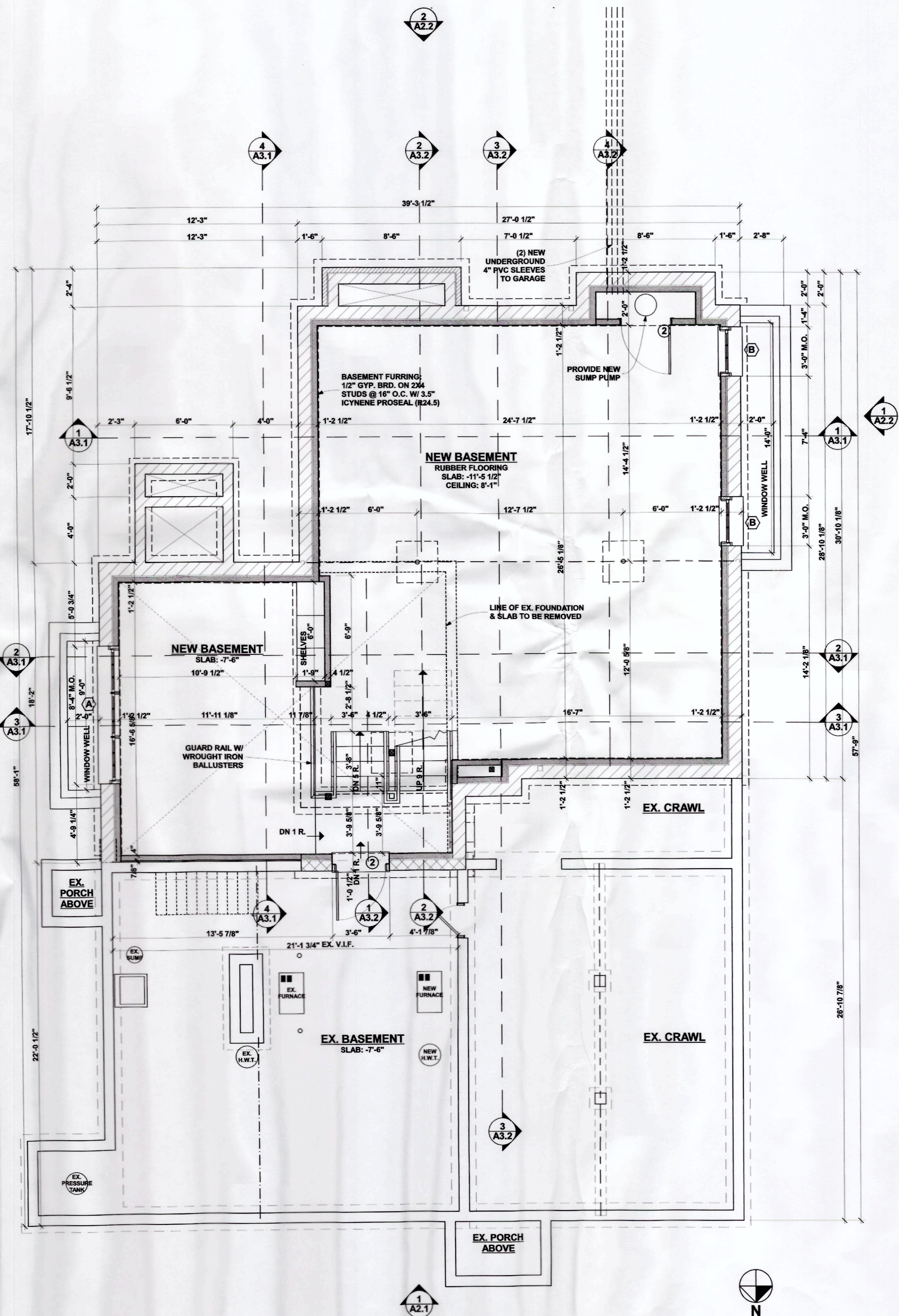
SHEET NO.
A1.1

ID:	SIZE:	ROUGH OPENING:	TYPE:	MANUFACTURER:	CATALOG #:	MATERIAL:	FINISH:	HARDWARE / FINISH:	REMARKS:	QTY:
1	NOT USED									
2	3'-0" X 6'-8"	3'-2" X 6'-10 1/2"	INTERIOR, 6-PANEL	MASONITE	BY MANUFACTURER	POPLAR	PAINT/STAIN PER OWNER	SOLID BRASS / VERIFY	VERIFY MASONRY OPENING SIZE	2
3	3'-0" X 6'-8"	3'-2" X 6'-10 1/2"	IN SWING FRENCH	MARVIN	CWFD 3668	CLAD	CLAD	SOLID BRASS / VERIFY		1
4	6'-0" X 6'-8"	6'-1 5/8" X 6'-10 1/2"	IN SWING FRENCH	MARVIN	CWFD 6068	CLAD	CLAD	SOLID BRASS / VERIFY		1
5	2'-4" X 6'-8"	2'-6" X 6'-10 1/2"	INTERIOR, 6-PANEL	MASONITE	BY MANUFACTURER	POPLAR	PAINT/STAIN PER OWNER	SOLID BRASS / VERIFY		2
6	2'-4" X 6'-8"	2'-6" X 6'-10 1/2"	INTERIOR, 6-PANEL	MASONITE	BY MANUFACTURER	POPLAR	PAINT/STAIN PER OWNER	SOLID BRASS / VERIFY		6
7	2'-8" X 6'-8"	2'-10" X 6'-10 1/2"	INTERIOR, 6-PANEL	MASONITE	BY MANUFACTURER	POPLAR	PAINT/STAIN PER OWNER	SOLID BRASS / VERIFY		2
8	PAIR 1'-6" X 6'-8"	3'-2" X 6'-10 1/2"	INTERIOR, 6-PANEL	MASONITE	BY MANUFACTURER	POPLAR	PAINT/STAIN PER OWNER	SOLID BRASS / VERIFY		1
9	6'-0" X 6'-8"	VERIFY	3 PANEL SLIDING						VERIFY MAX. HEIGHT IN FIELD AND CUT TO SIZE	1
10	2'-8" X 3'-5"	2'-8" X 3'-8 1/2"	BLIND SWING DR.	NA		POPLAR	PAINT/STAIN PER OWNER	PER OWNER		1
11	NOT USED									
12	2'-6" X 6'-8"	BY MANUFACTURER	EXTERIOR SWING	PER OWNER	BY MANUFACTURER	MATCH EX. GARAGE DR.	MATCH EX. GARAGE DR.	MATCH EX. GARAGE DR.	VERIFY EXISTING WINDOW ROUGH OPENING	1
13	PAIR 2'-0" X 5'-0"	4'-2" X 5'-2 1/2"	BLIND SWING DR.	NA		POPLAR	PAINT/STAIN PER OWNER	MATCH EX. GARAGE DR.	VERIFY MAX. HEIGHT IN FIELD AND CUT TO SIZE	1
14	PAIR 1'-5" X 5'-0"	3'-2" X 5'-2 1/2"	INTERIOR, PANEL	NA		POPLAR	PAINT/STAIN PER OWNER	MATCH EX. GARAGE DR.	VERIFY MAX. HEIGHT IN FIELD AND CUT TO SIZE	1
E1	3'-0" X 6'-8"	BY MANUFACTURER	EXTERIOR SWING	PER OWNER	BY MANUFACTURER	SOLID WOOD	PER OWNER	SOLID BRASS / VERIFY	REPLACE EXISTING EXTERIOR DOOR, V.I.F.	1
E2	2'-6" X 6'-8"	BY MANUFACTURER	EXTERIOR SWING	PER OWNER	BY MANUFACTURER	SOLID WOOD	PER OWNER	SOLID BRASS / VERIFY	REPLACE EXISTING EXTERIOR DOOR, V.I.F.	1
E3	16'-0" X 7'-9"	BY MANUFACTURER	OVERHEAD	PER OWNER	BY MANUFACTURER	WOOD, PAINTED	PER OWNER	PER OWNER	REPLACE EXISTING OVERHEAD DOOR, V.I.F.	1

G.C. TO VERIFY ALL ROUGH OPENING SIZES AND INSTALL PER MANUFACTURER'S SPECIFICATIONS.



2 FIRST FLOOR STRUCTURAL/FRAMING PLAN
SCALE: 1/4" = 1'-0"



1 BASEMENT PLAN
SCALE: 1/4" = 1'-0"

BIDS w/ RCPs: 03-20-2014
BIDS: 03-07-2014
BID REVIEW: 02-28-2014
STRUCTURE: 02-17-2014
REVIEW: 02-06-2014

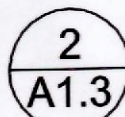
FINNICUM BROWNIE ARCHITECTS
PO Box 250650
FRANKLIN, MI 48025
248 851 5022

PROJECT: **COLLON RESIDENCE**
26005 CAROL STREET
FRANKLIN, MICHIGAN 48025
TITLE: **LOWER LEVEL PLAN**

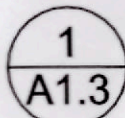
W. J. Finnicum

SHEET NO.
A1.2

G.C. TO VERIFY ALL ROUGH OPENING SIZES AND INSTALL PER MANUFACTURER'S SPECIFICATIONS.



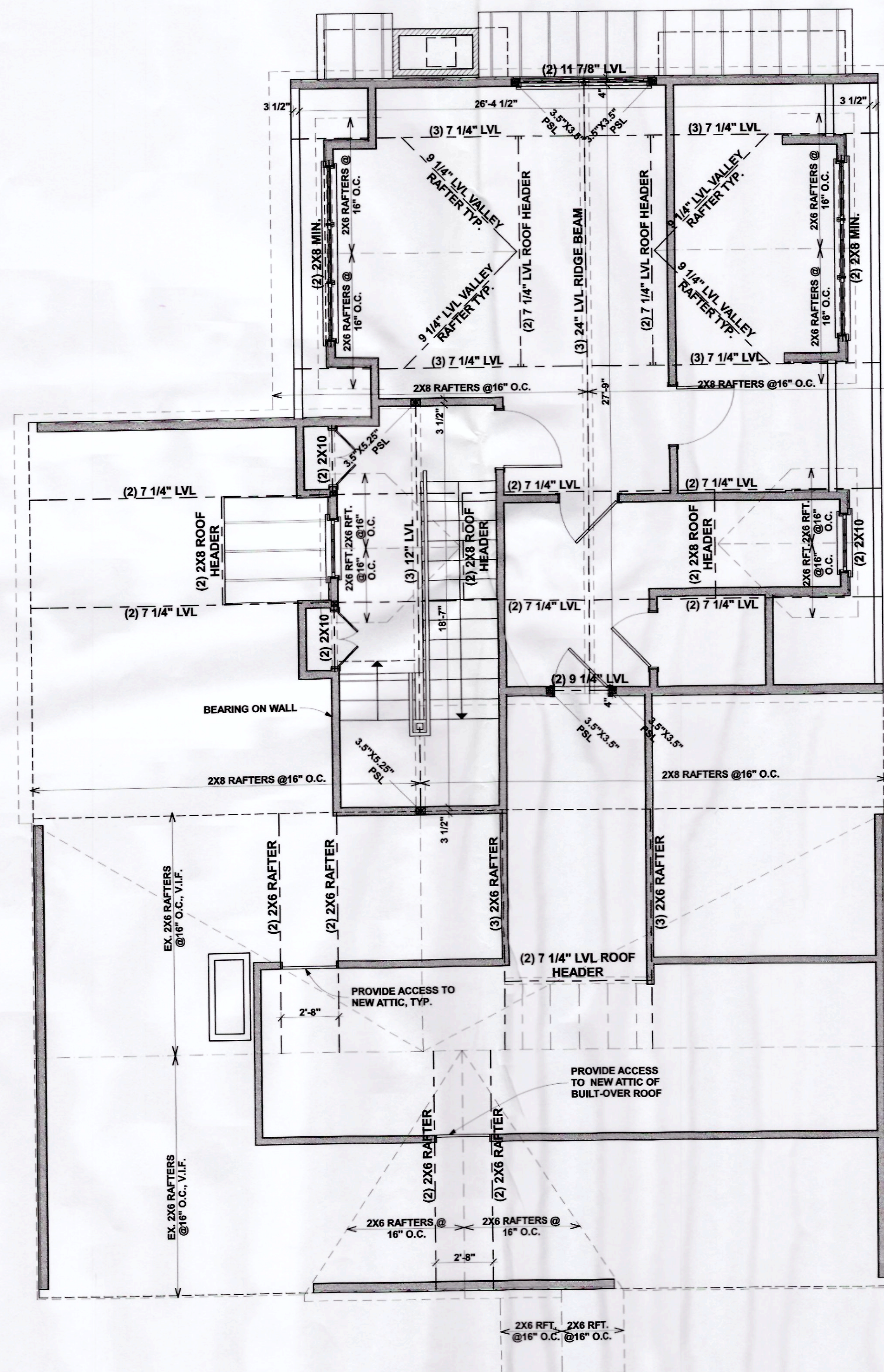
SCALE: 1/4" = 1'-0"



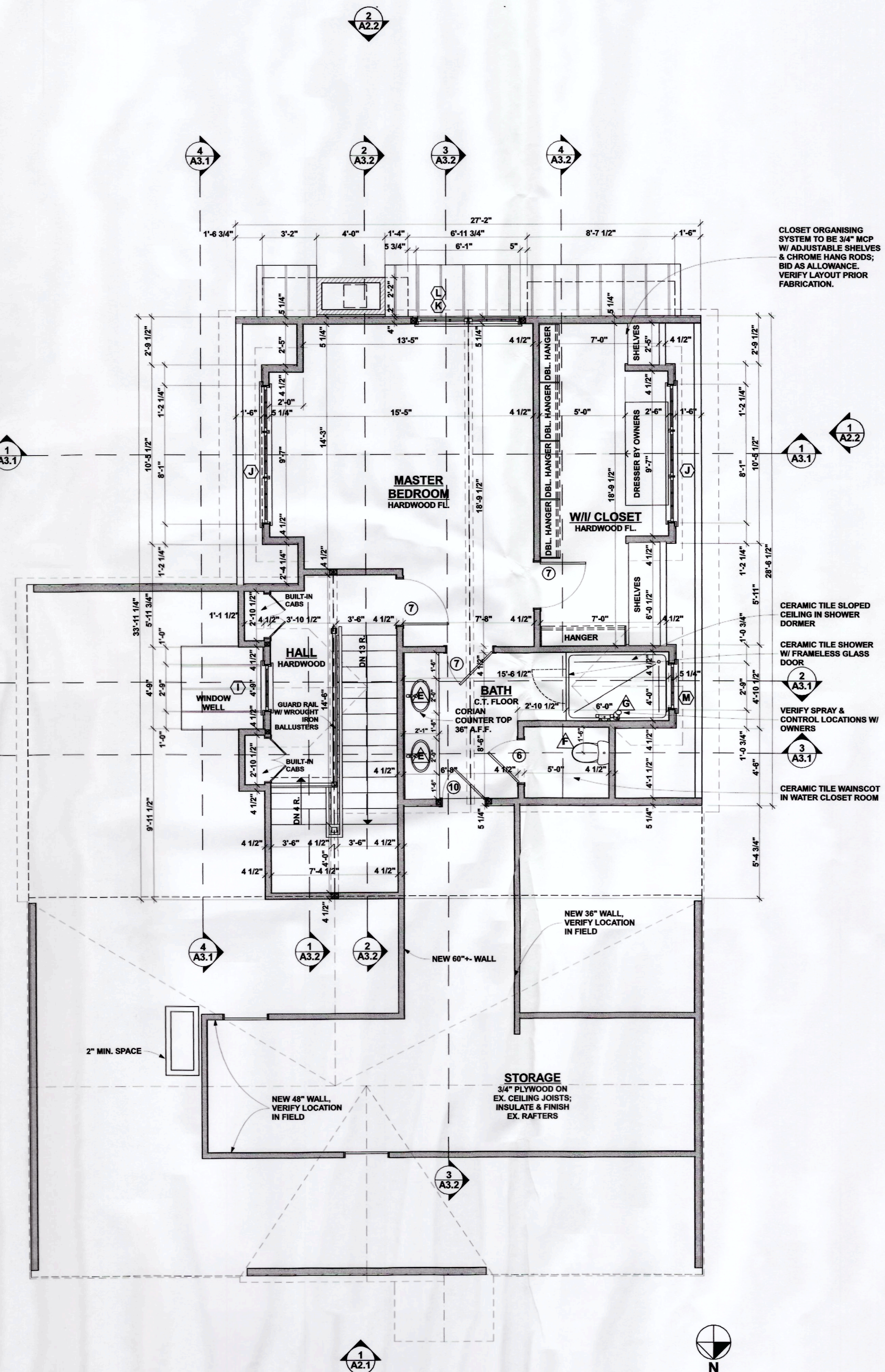
SCALE: 1/4" = 1'-0"

A1.3

PLUMBING FIXTURE SCHEDULE (G.C. BID AS AN ALLOWANCE)						QTY:
	FIXTURE:	MANUFACTURER:	CATALOG #:	ACCESSORIES:	REMARKS:	
A	LAVATORY	PER OWNER	PER OWNER	FAWCET PER OWNER	SELECTION BY OWNER, INSTALL BY PLUMBING CONTRACTOR ON FREE-STANDING FURNITURE BY OWNER	1
B	WATER CLOSET	PER OWNER	PER OWNER		SELECTION BY OWNER, INSTALL BY PLUMBING CONTRACTOR	1
C	LAUNDRY SINK	PER OWNER	PER OWNER	FAWCET PER OWNER	SELECTION BY OWNER, INSTALL BY PLUMBING CONTRACTOR	1
D	SINK	PER OWNER	PER OWNER	FAWCET PER OWNER	SELECTION BY OWNER, INSTALL BY PLUMBING CONTRACTOR	1
E	LAVATORY	PER OWNER	PER OWNER	FAWCET PER OWNER	SELECTION BY OWNER, INSTALL BY PLUMBING CONTRACTOR	2
F	WATER CLOSET	PER OWNER	PER OWNER		SELECTION BY OWNER, INSTALL BY PLUMBING CONTRACTOR	1
G	SHOWER CONTROLS	PER OWNER	PER OWNER	HANDHELD SPRAY	SELECTION BY OWNER, INSTALL BY PLUMBING CONTRACTOR; VERIFY PLACEMENT W/ OWNERS; MIN. 3/4" HOT WATER & COLD WATER SUPPLY PIPE AT SHOWERS	1
H	SHOWER CONTROLS	PER OWNER	PER OWNER	HANDHELD SPRAY, RAIN HEAD	SELECTION BY OWNER, INSTALL BY PLUMBING CONTRACTOR; VERIFY PLACEMENT W/ OWNERS; MIN. 3/4" HOT WATER & COLD WATER SUPPLY PIPE AT SHOWERS	1
I	WATER CLOSET	PER OWNER	PER OWNER		SELECTION BY OWNER, INSTALL BY PLUMBING CONTRACTOR	1
J	LAVATORY	PER OWNER	PER OWNER	FAWCET PER OWNER	SELECTION BY OWNER, INSTALL BY PLUMBING CONTRACTOR	1
K	HOSE BIB	PER OWNER	PER OWNER		SELECTION BY OWNER, INSTALL BY PLUMBING CONTRACTOR	3



2 ROOF FRAMING PLAN
A1.4 SCALE: 1/4" = 1'-0"

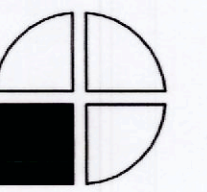


1
A1.4

SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

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BIDS:	03-07-2014
BID REVIEW:	02-28-2014
STRUCTURE:	02-17-2014
REVIEW:	02-06-2014



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248 851 5022**

OBJECT:
COLLON RESIDENCE
268005 CAROL STREET
FRANKLIN, MICHIGAN 48025

LE: SECOND FLOOR PLAN

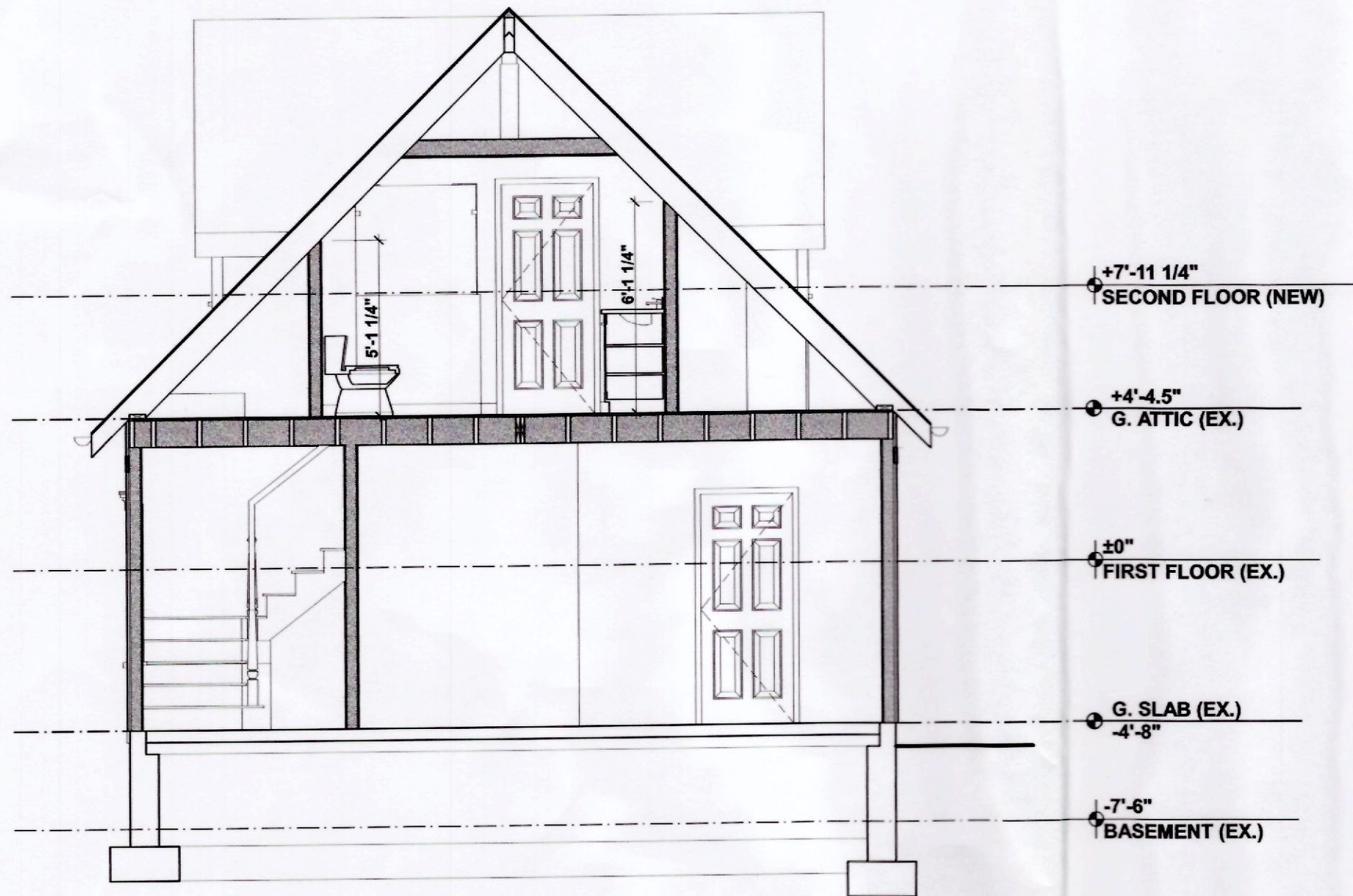
PROJECT:

W. L. Friedman

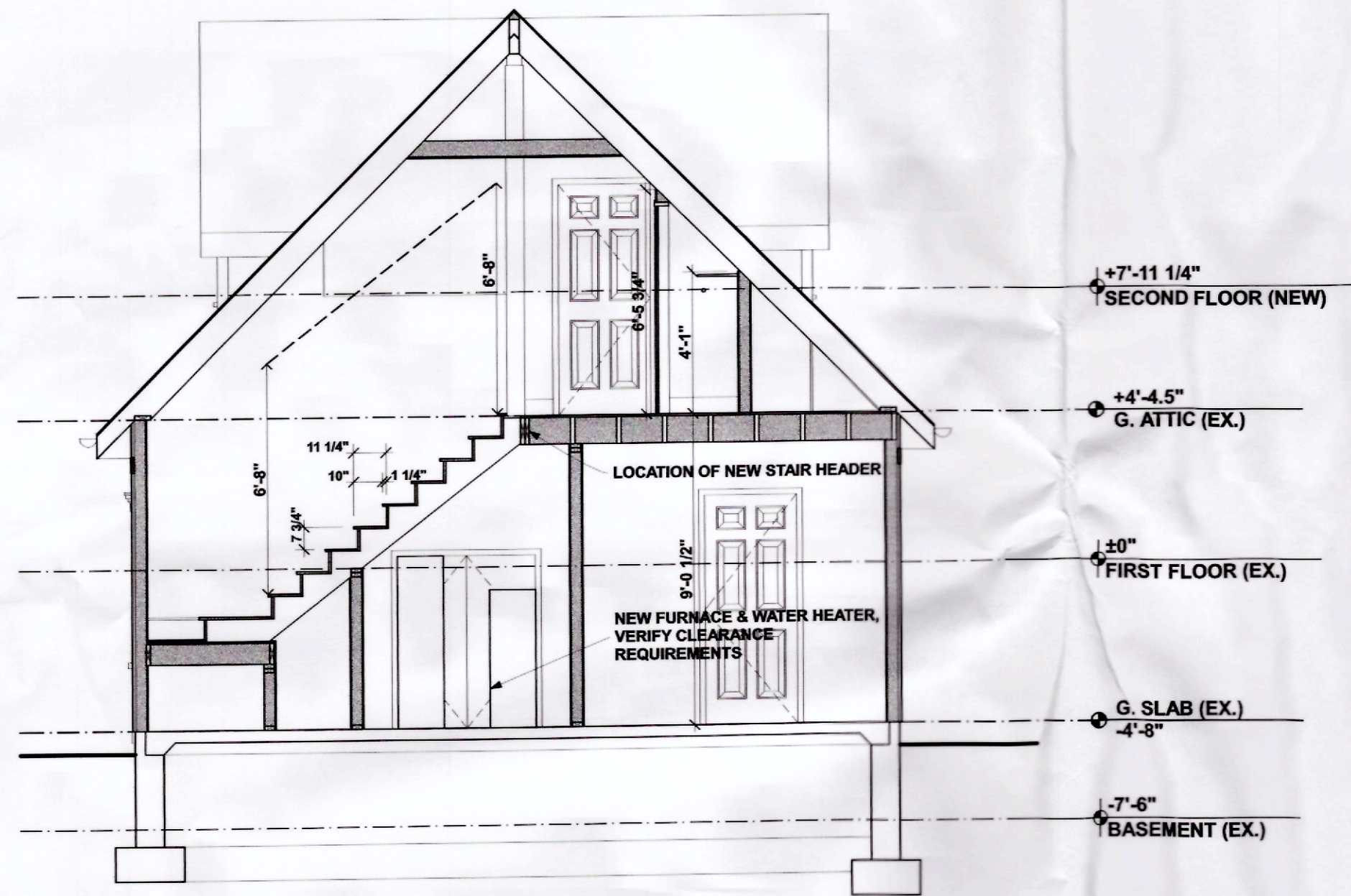
SHEET NO.

A1.4

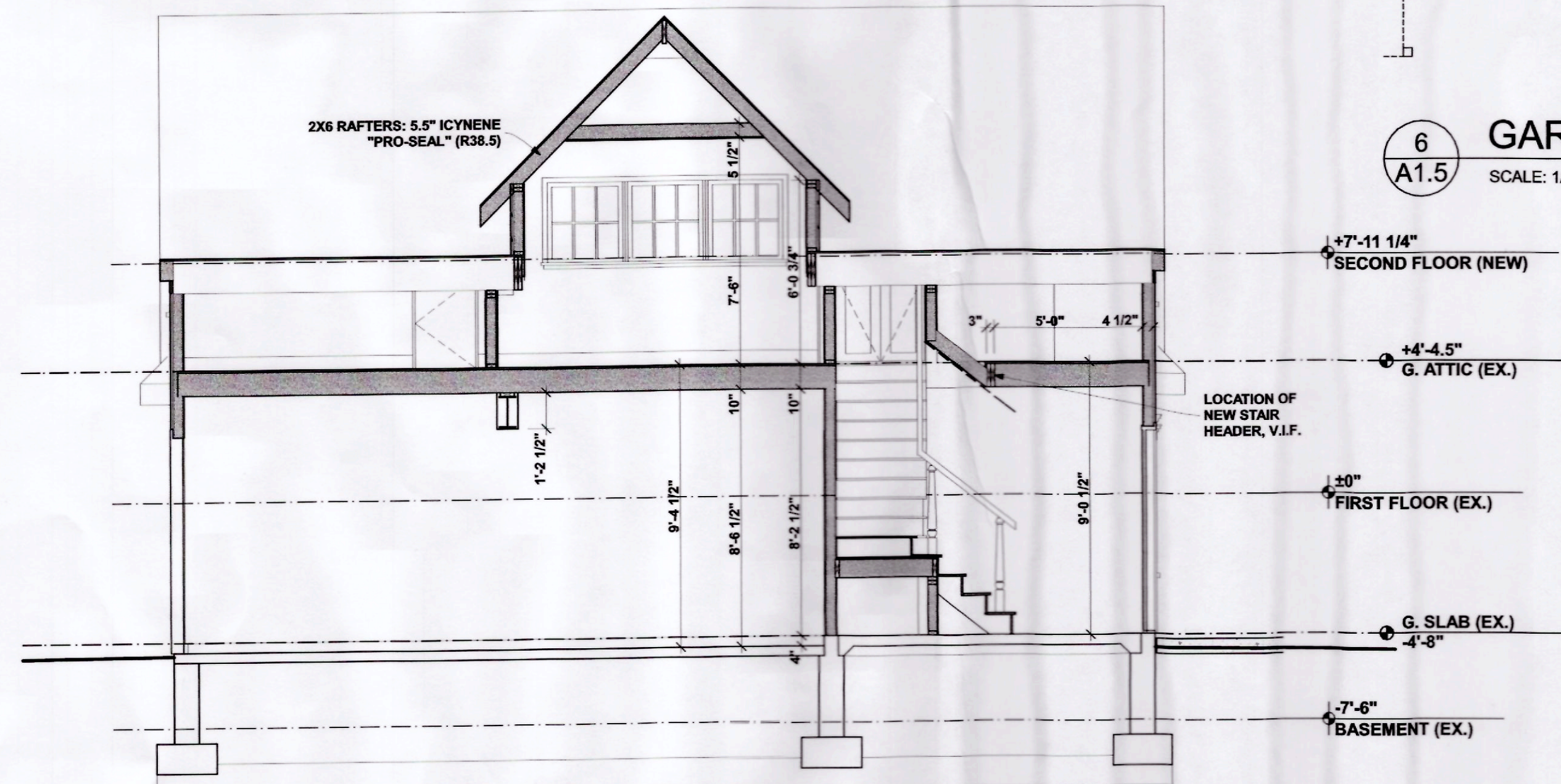
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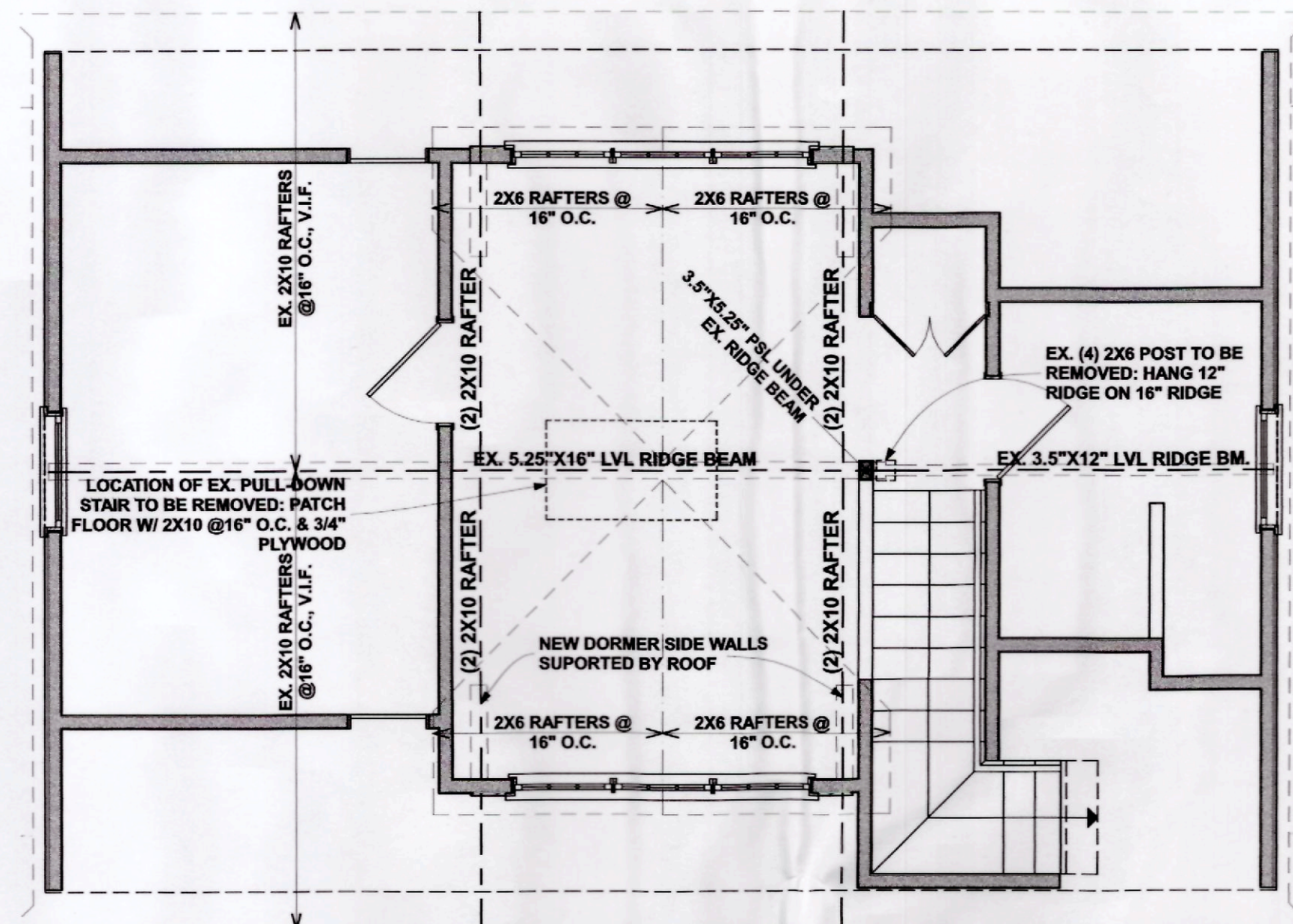
4 SECTION
A1.5 SCALE: 1/4" = 1'-0"



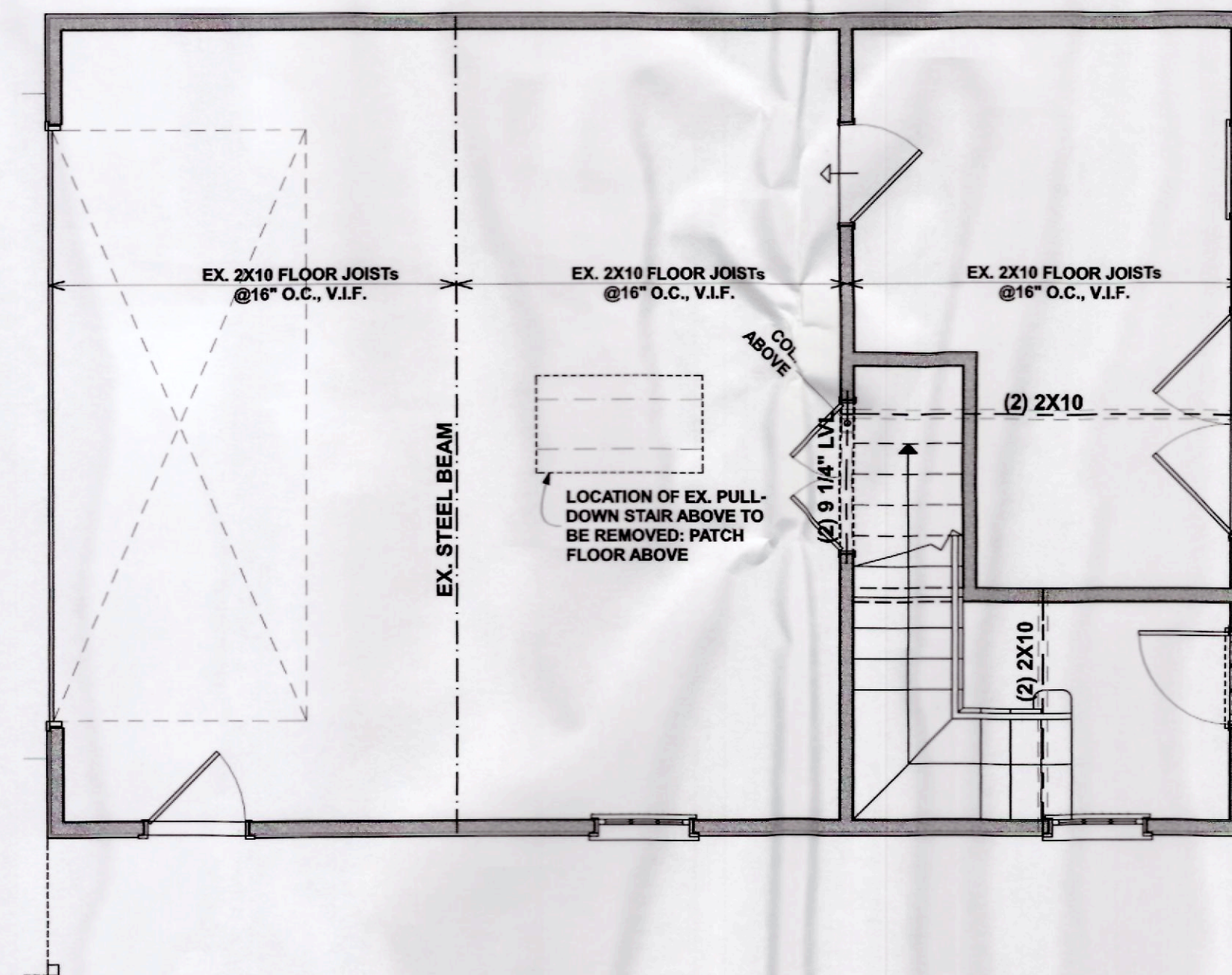
3 SECTION
A1.5 SCALE: 1/4" = 1'-0"



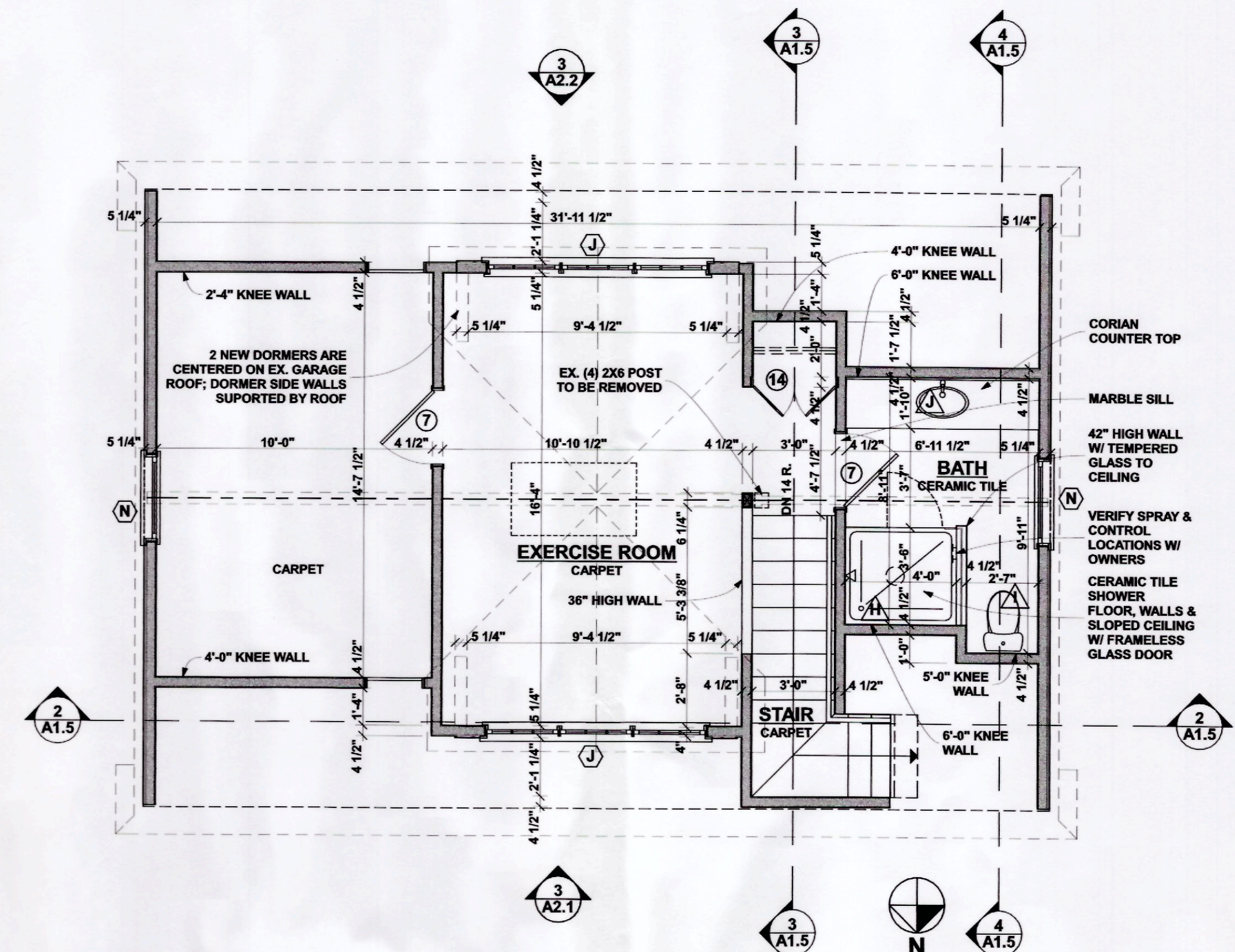
2 SECTION
A1.5 SCALE: 1/4" = 1'-0"



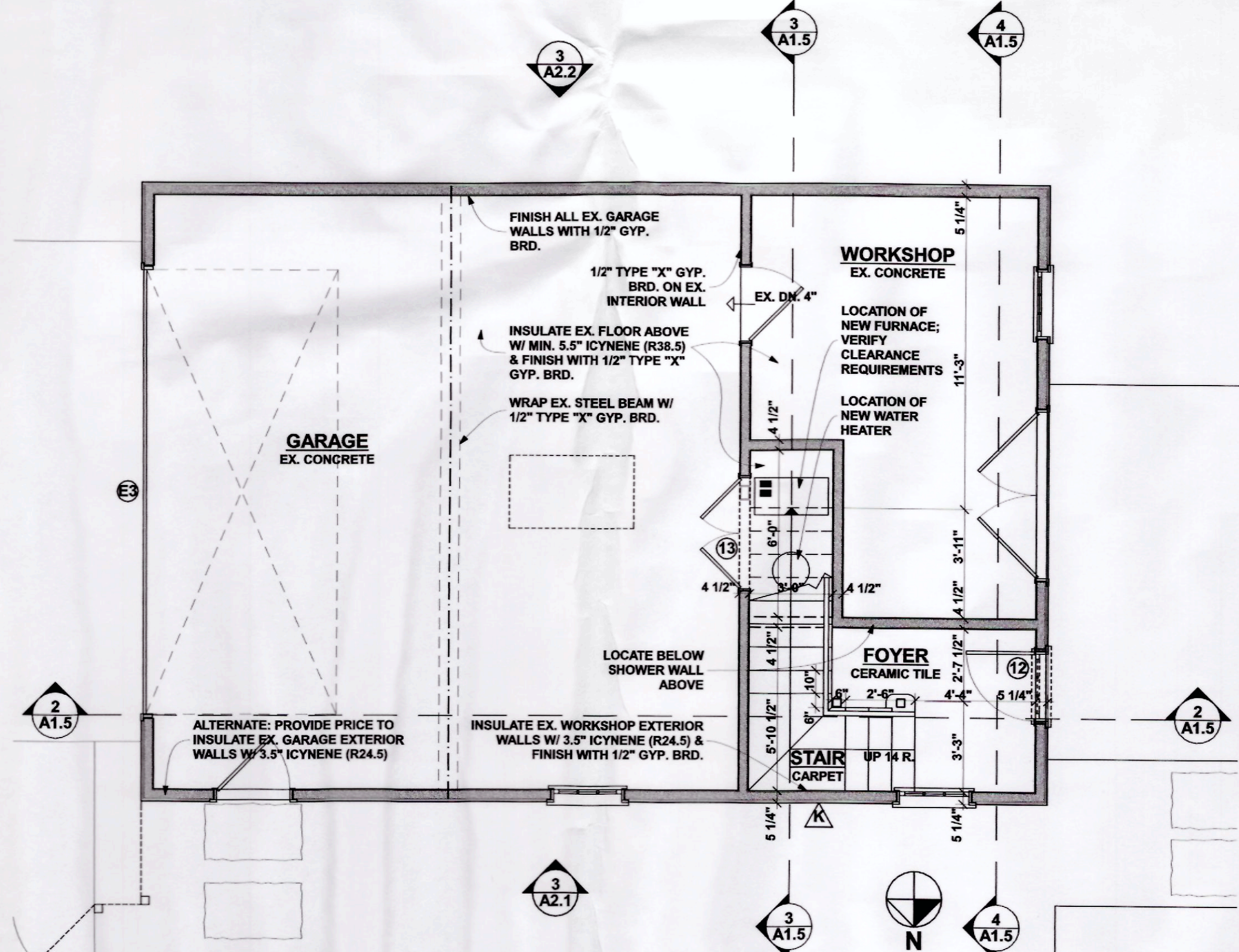
7 GARAGE: ROOF FRAMING PLAN
A1.5 SCALE: 1/4" = 1'-0"



6 GARAGE: SECOND FLOOR FRAMING PLAN
A1.5 SCALE: 1/4" = 1'-0"



5 GARAGE: SECOND FLOOR PLAN
A1.5 SCALE: 1/4" = 1'-0"



1 GARAGE: FIRST FLOOR PLAN
A1.5 SCALE: 1/4" = 1'-0"

BIDS w/ RCPs: 03-20-2014
BIDS: 03-07-2014
BID REVIEW: 02-28-2014
STRUCTURE: 02-17-2014
REVIEW: 02-06-2014

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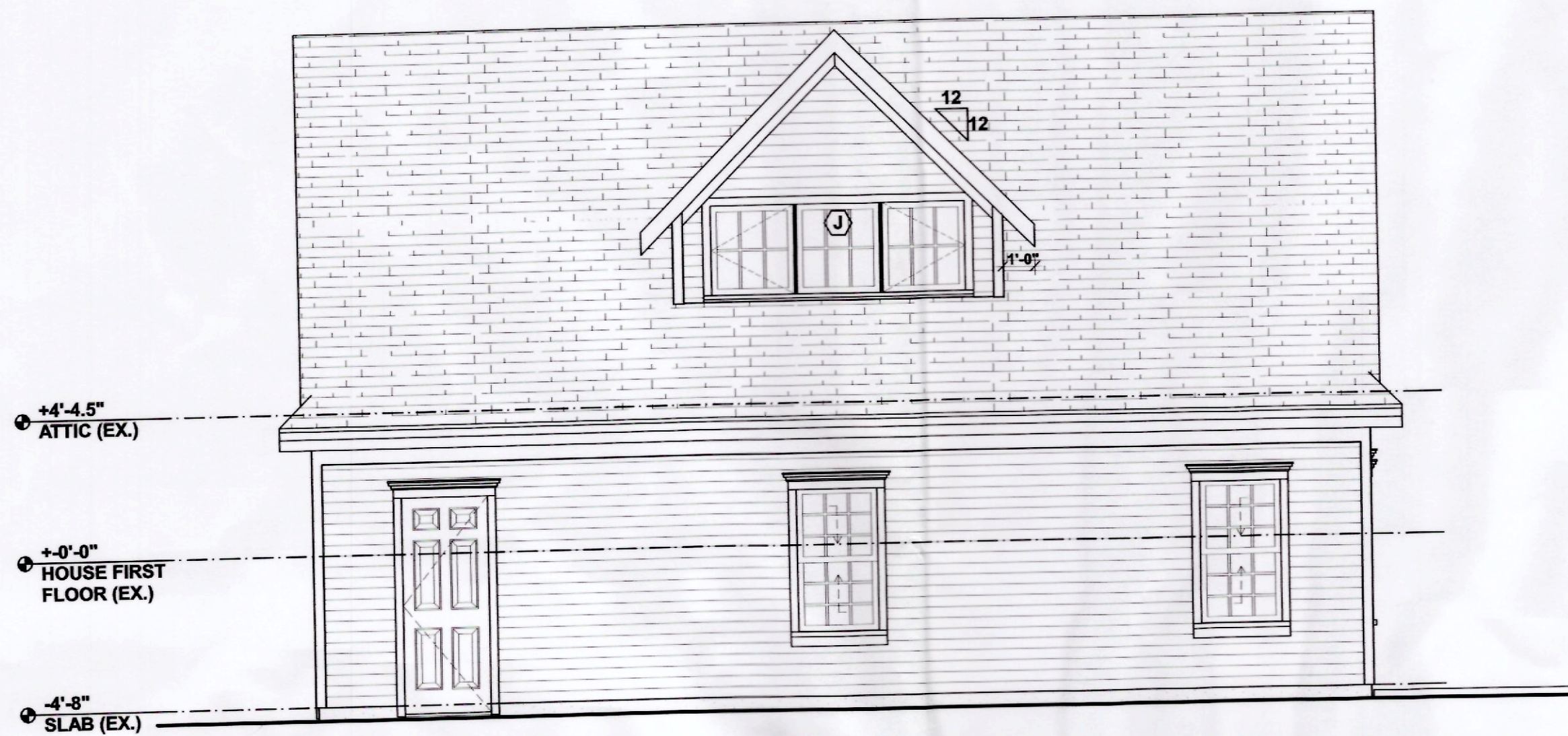
PROJECT: **COLLON RESIDENCE**
28005 CAROL STREET
FRANKLIN, MICHIGAN 48025

TITLE: **GARAGE PLANS AND SECTIONS**

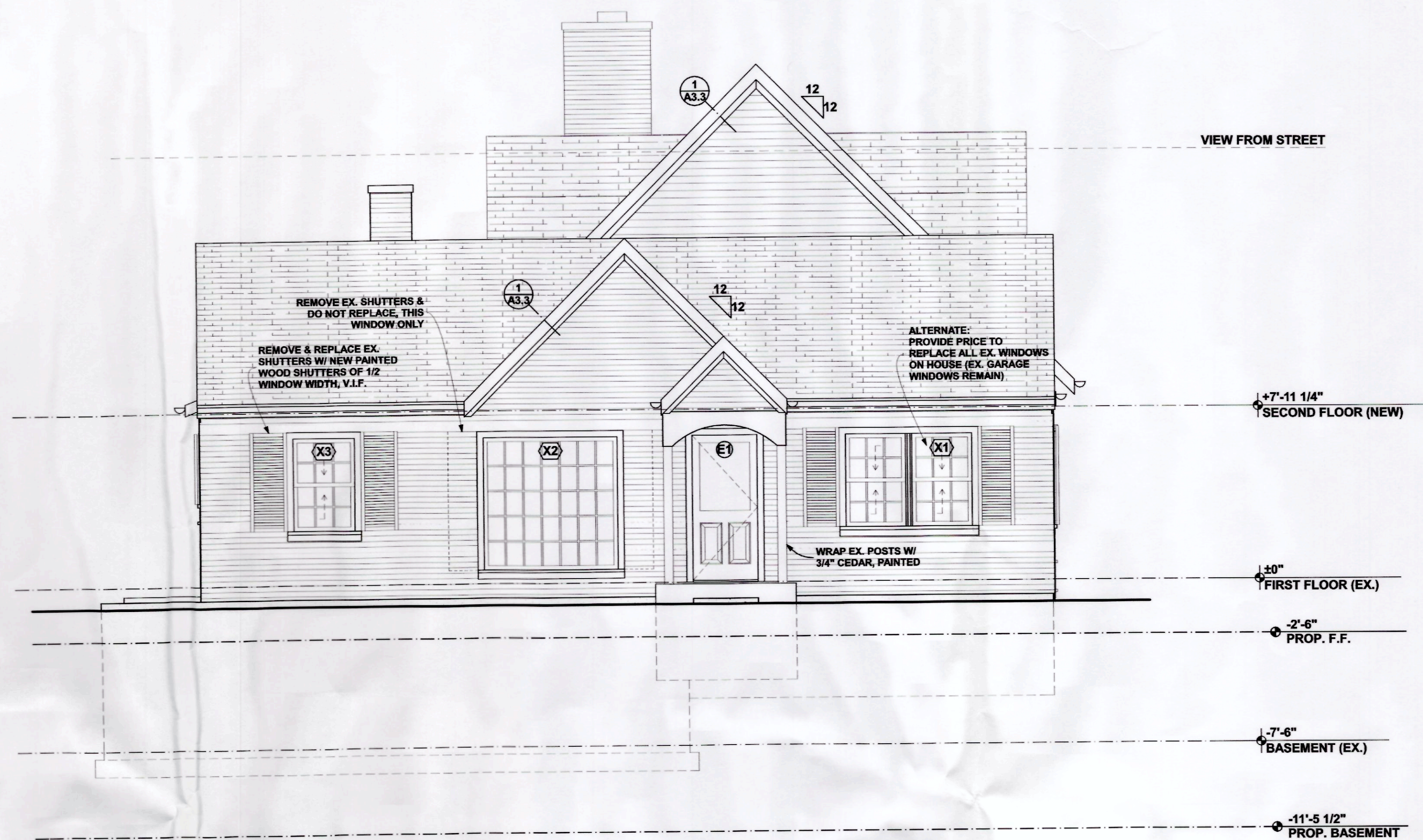
W. Finnicum

SHEET NO.

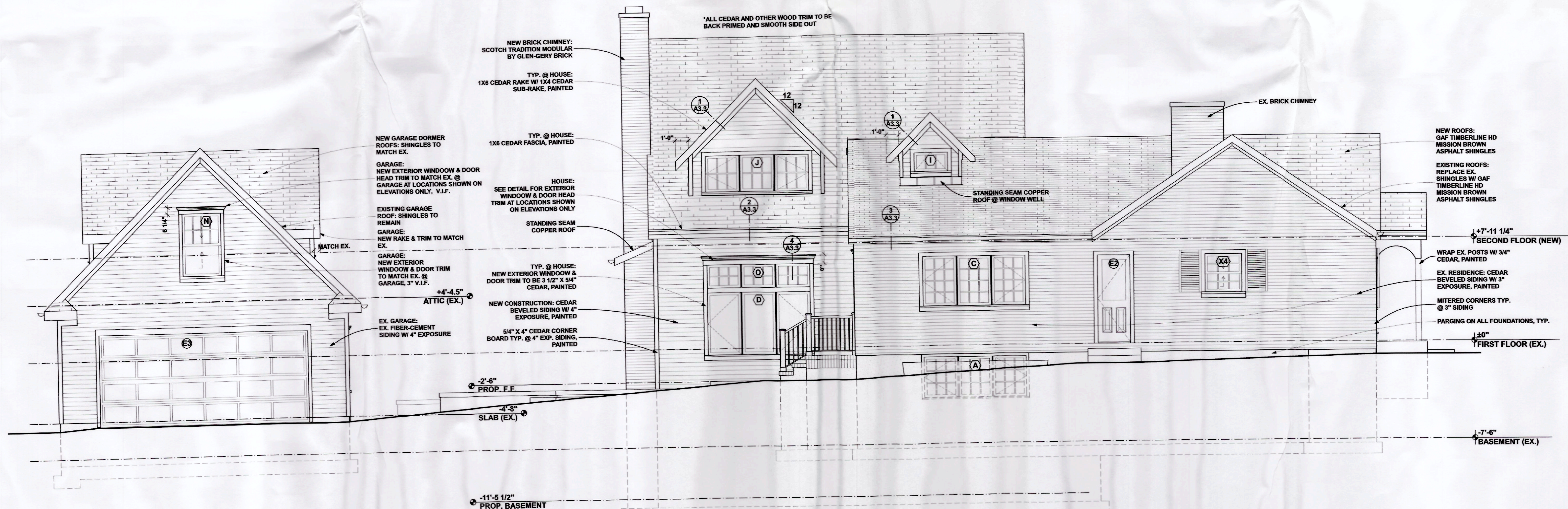
A1.5



3
A2.1 GARAGE NORTH ELEVATION
SCALE: 1/4" = 1'-0"



1
A2.1 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



2
A2.1 EAST ELEVATION
SCALE: 1/4" = 1'-0"

BIDS w/ RCPs: 03-20-2014
BIDS: 03-07-2014
BID REVIEW: 02-28-2014
STRUCTURE: 02-17-2014
REVIEW: 02-06-2014



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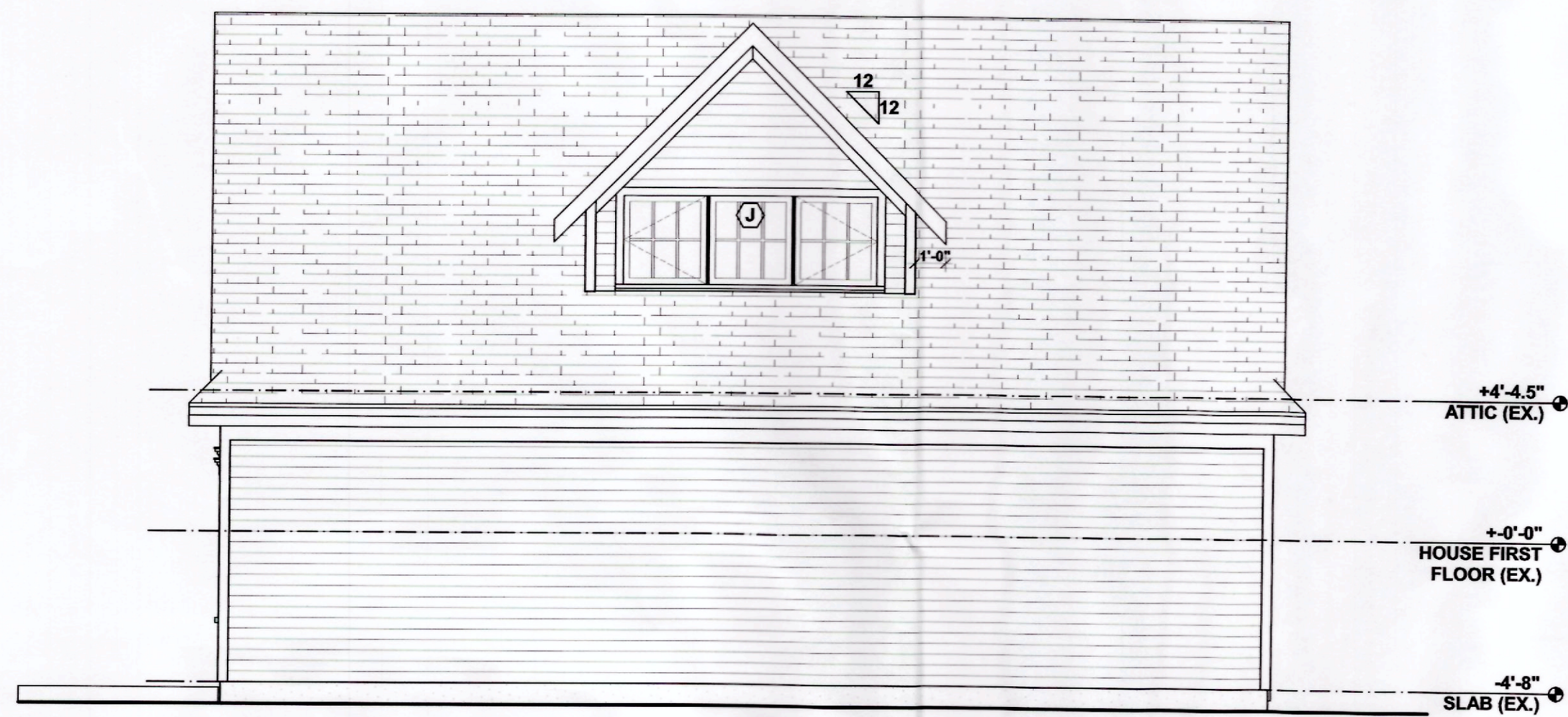
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PROJECT:
COLLON RESIDENCE
28005 CAROL STREET
FRANKLIN, MICHIGAN 48025

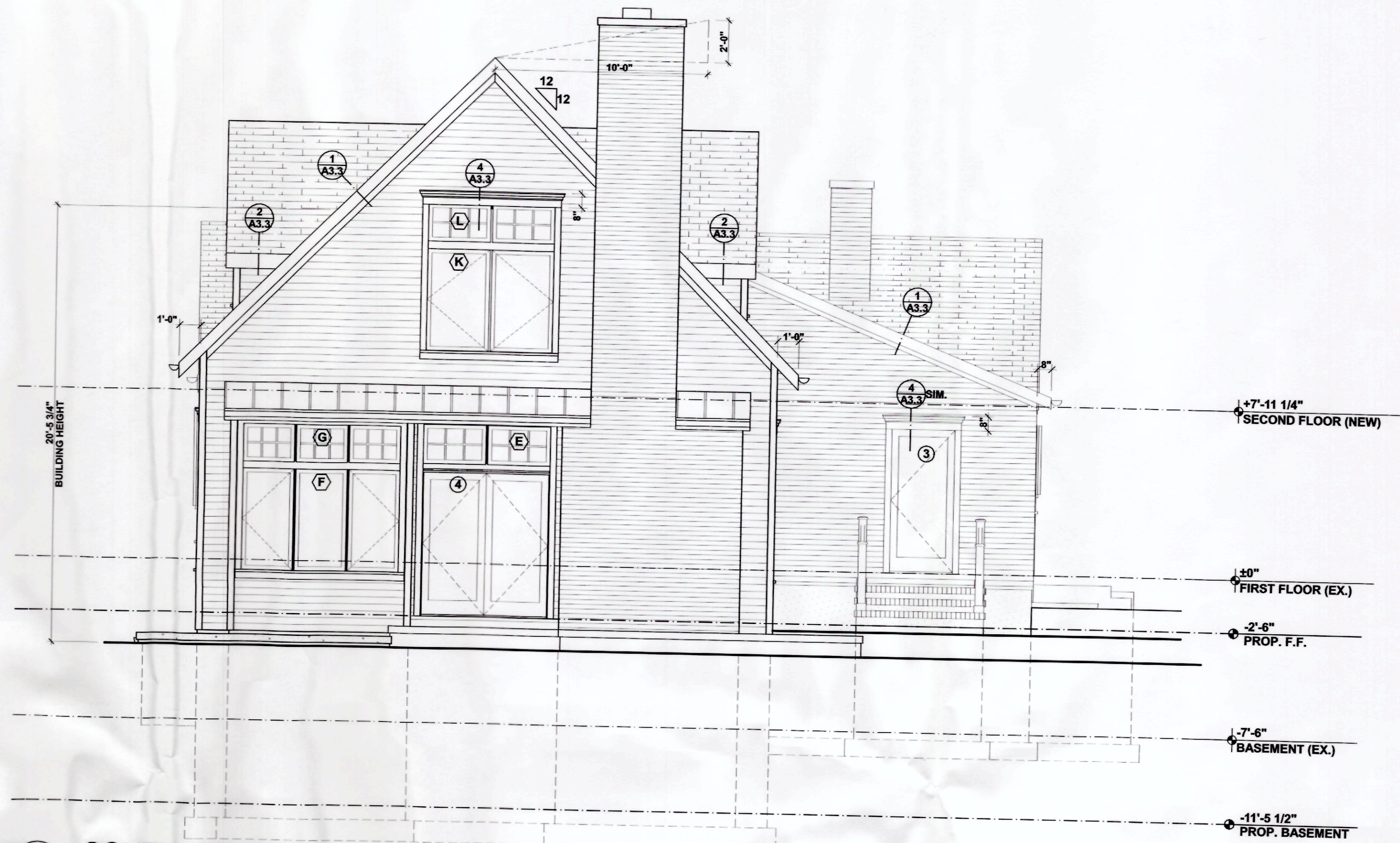
TITLE:
EAST & NORTH ELEVATIONS



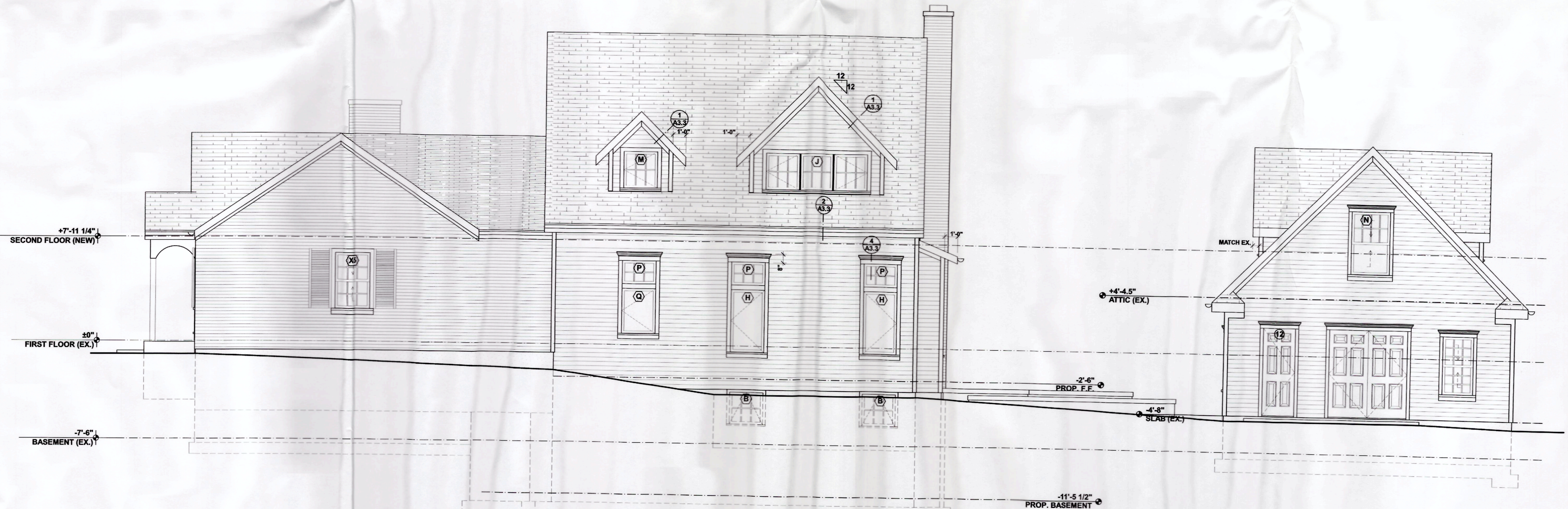
SHEET NO.
A2.1



3 GARAGE SOUTH ELEVATION
A2.2 SCALE: 1/4" = 1'-0"

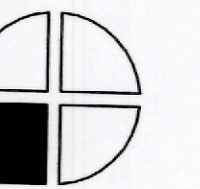


2 SOUTH ELEVATION
A2.2 SCALE: 1/4" = 1'-0"



1 WEST ELEVATION
A2.2 SCALE: 1/4" = 1'-0"

BIDS w/ RCPs: 03-20-2014
BIDS: 03-07-2014
BID REVIEW: 02-28-2014
STRUCTURE: 02-17-2014
REVIEW: 02-06-2014



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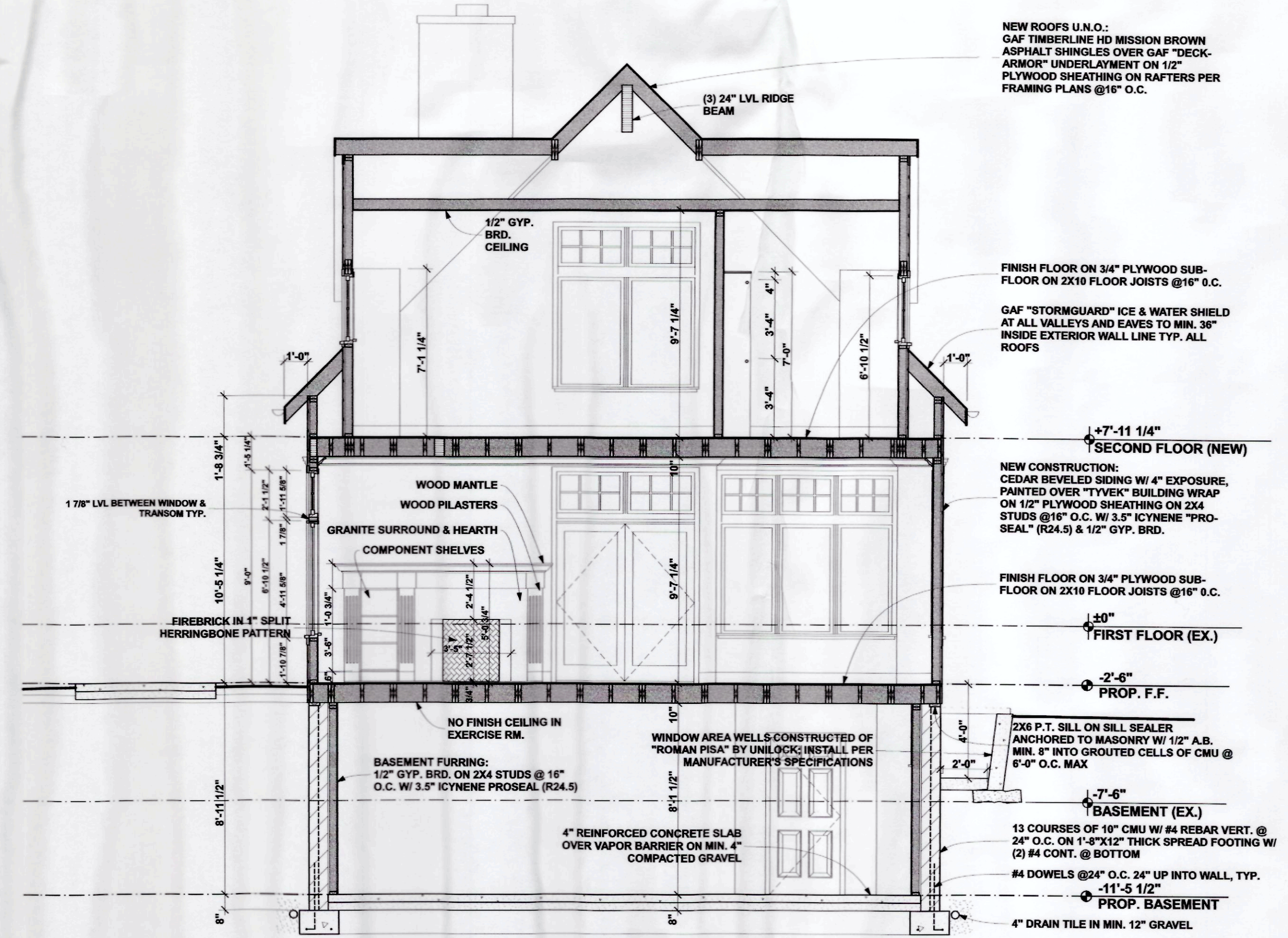
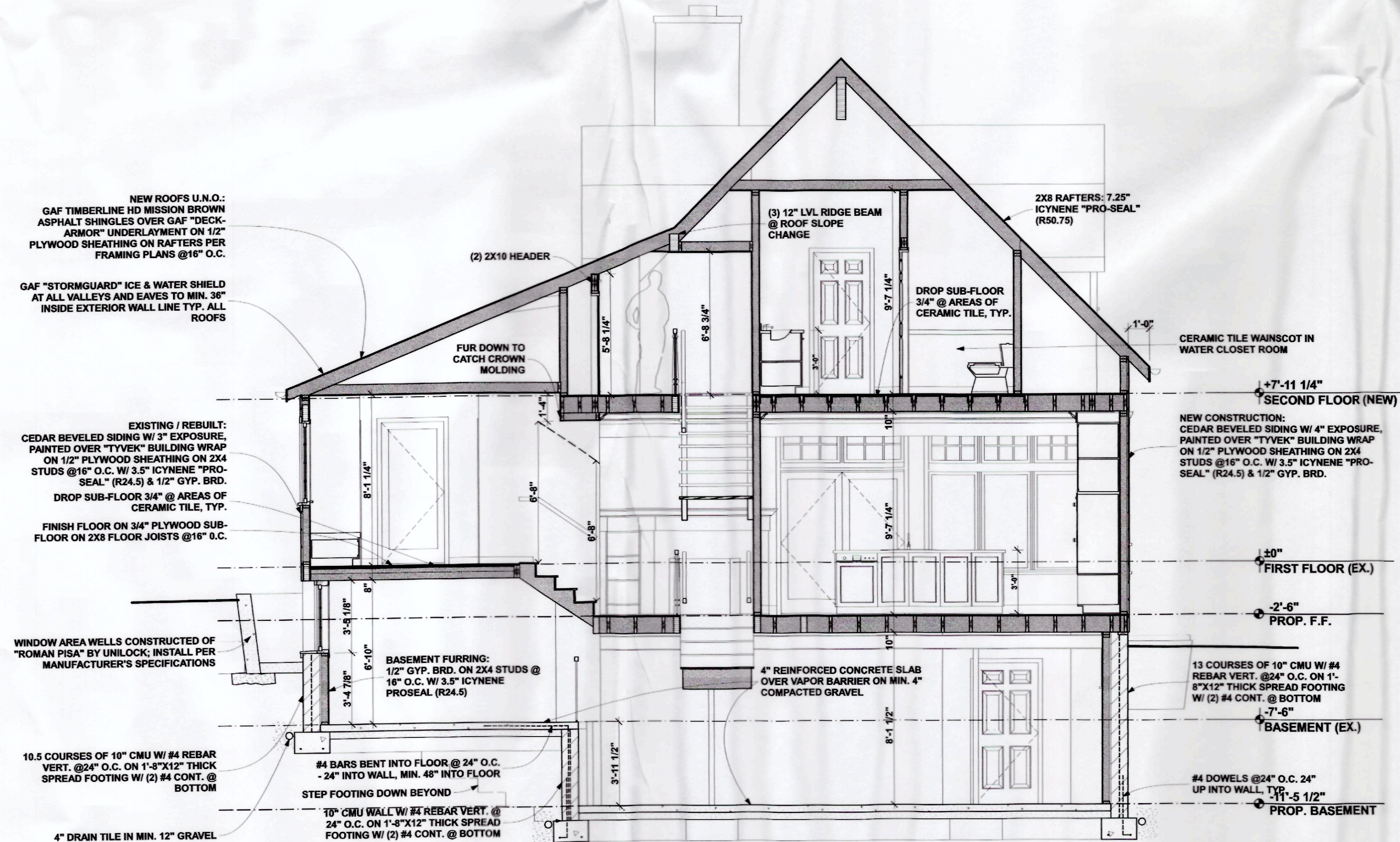
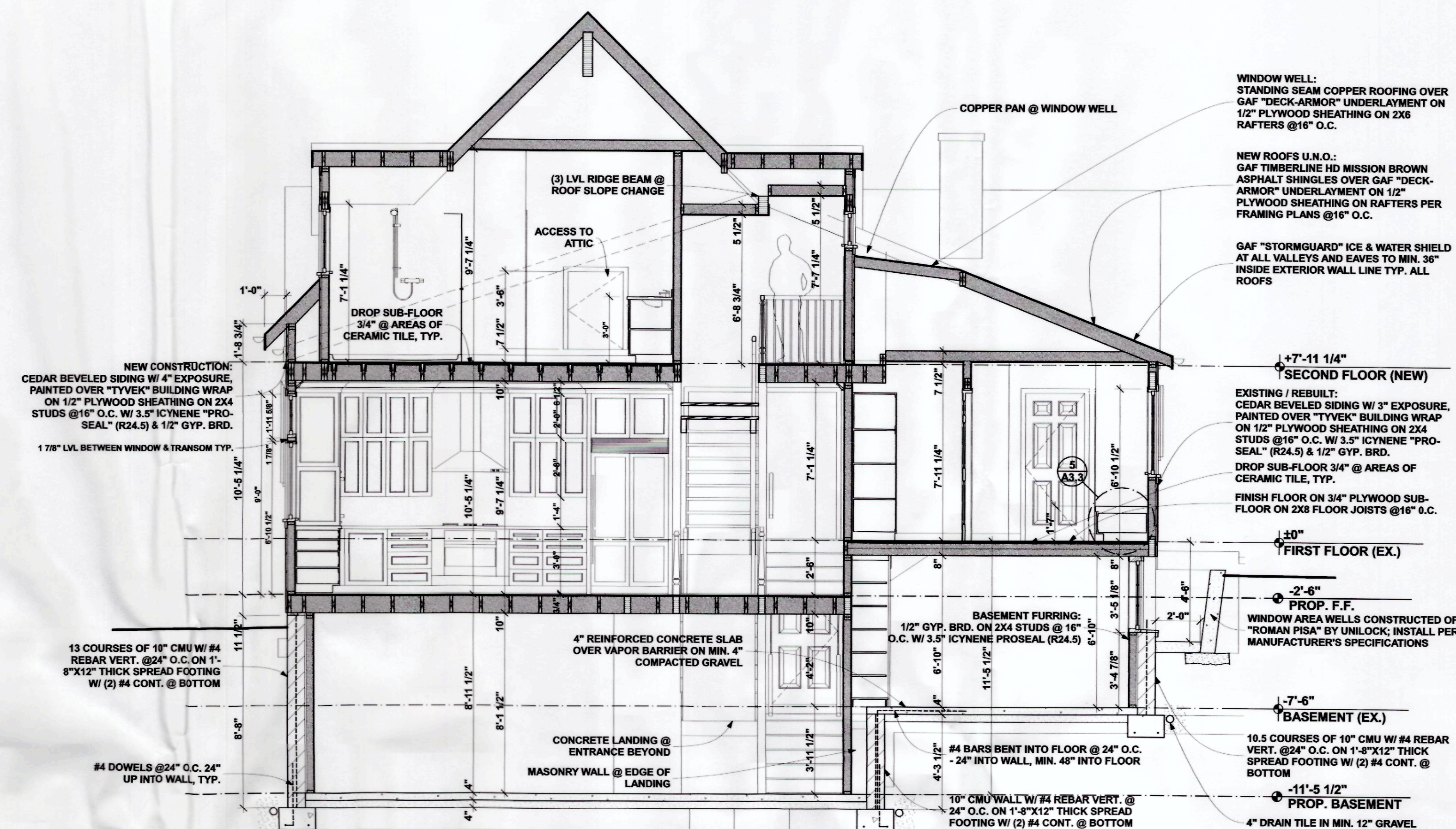
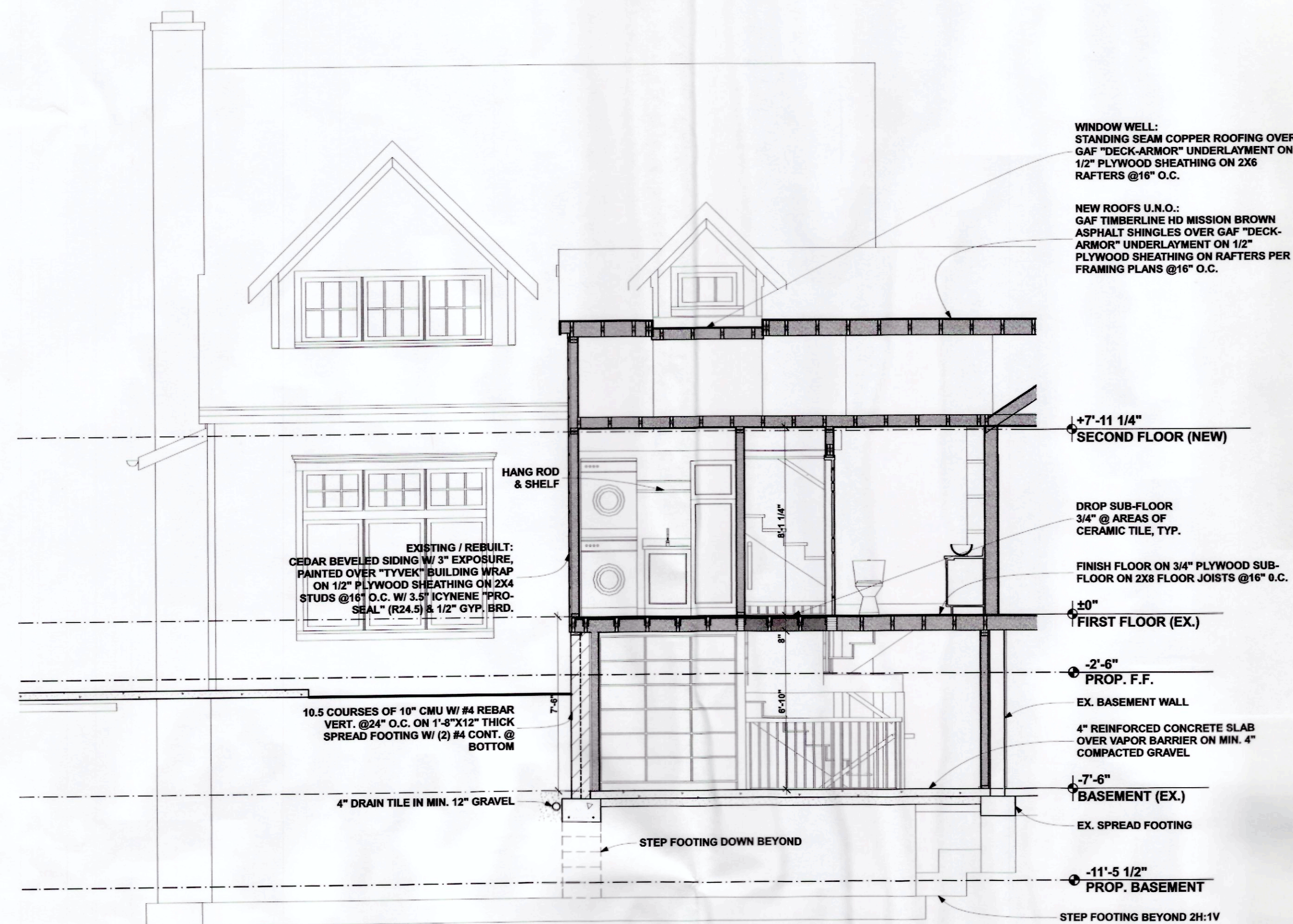
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PROJECT: **COLLON RESIDENCE**
26005 CAROL STREET
FRANKLIN, MICHIGAN 48025

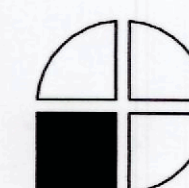
TITLE: **WEST & SOUTH ELEVATIONS**



SHEET NO.
A2.2



BIDS w/ RCPs:	03-20-2014
BIDS:	03-07-2014
BID REVIEW:	02-28-2014
STRUCTURE:	02-17-2014
REVIEW:	02-06-2014



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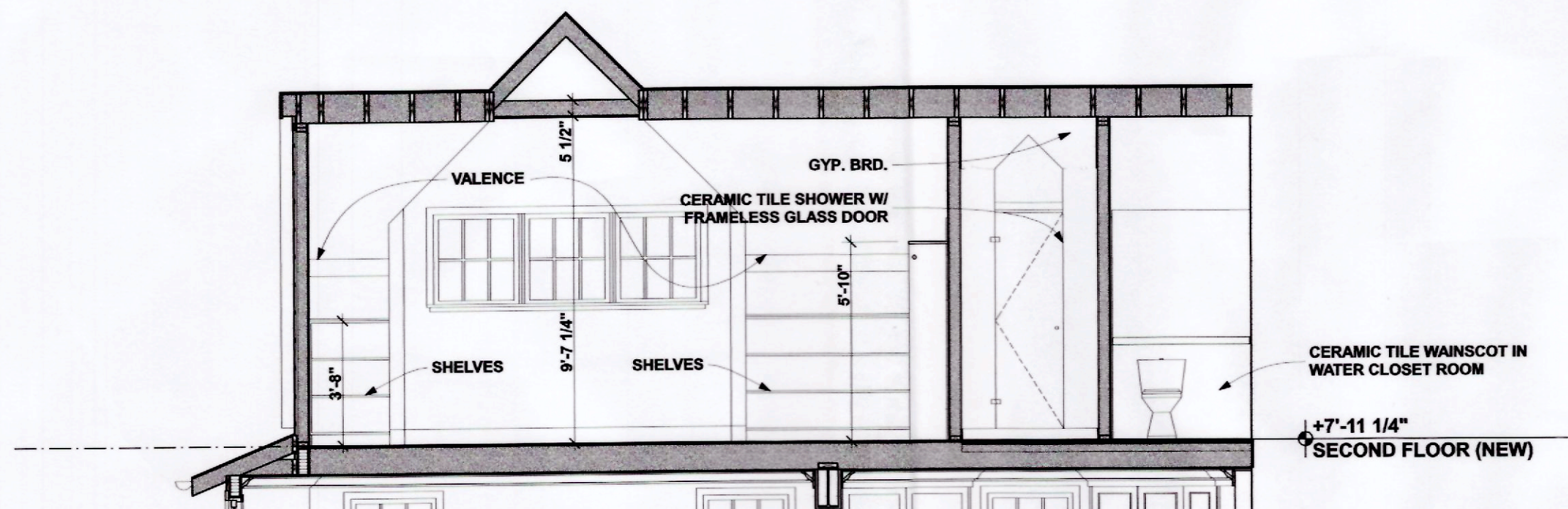
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248 851 5022**

PROJECT: **COLLON RESIDENCE**
26005 CAROL STREET
FRANKLIN, MICHIGAN 48025

TITLE: SECTIONS

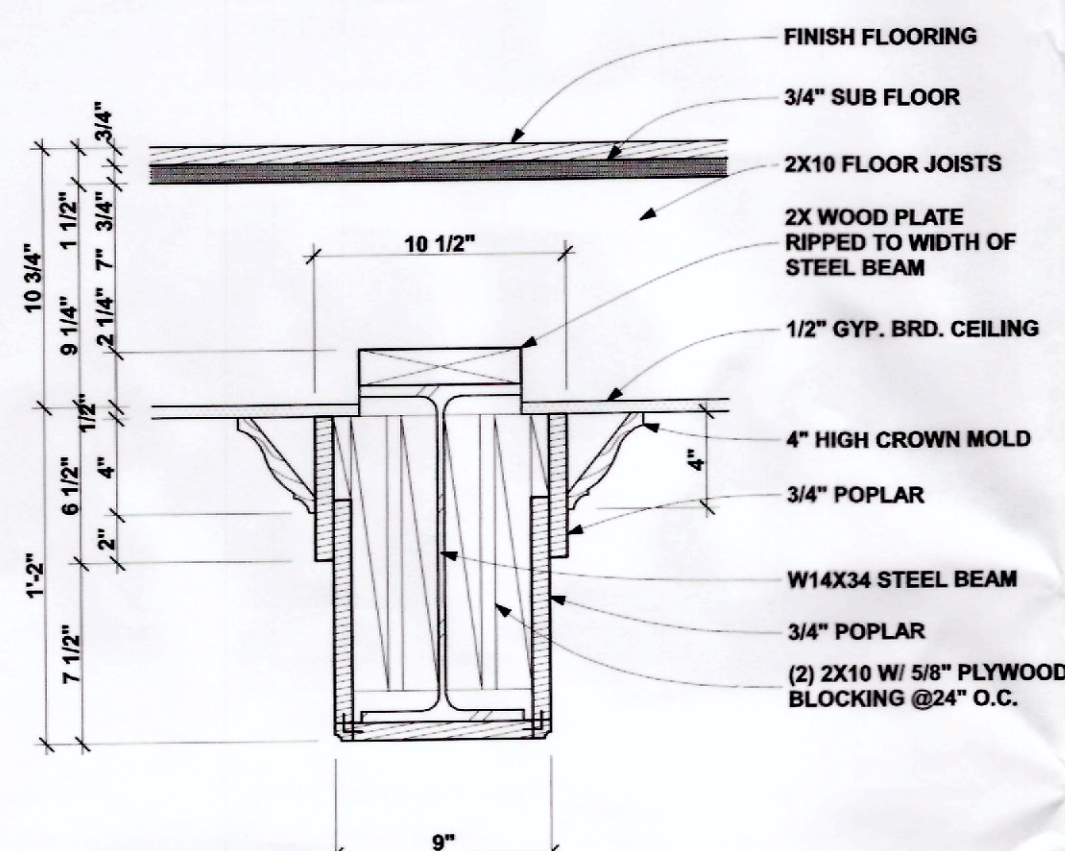
SHEET NO.

A3.1



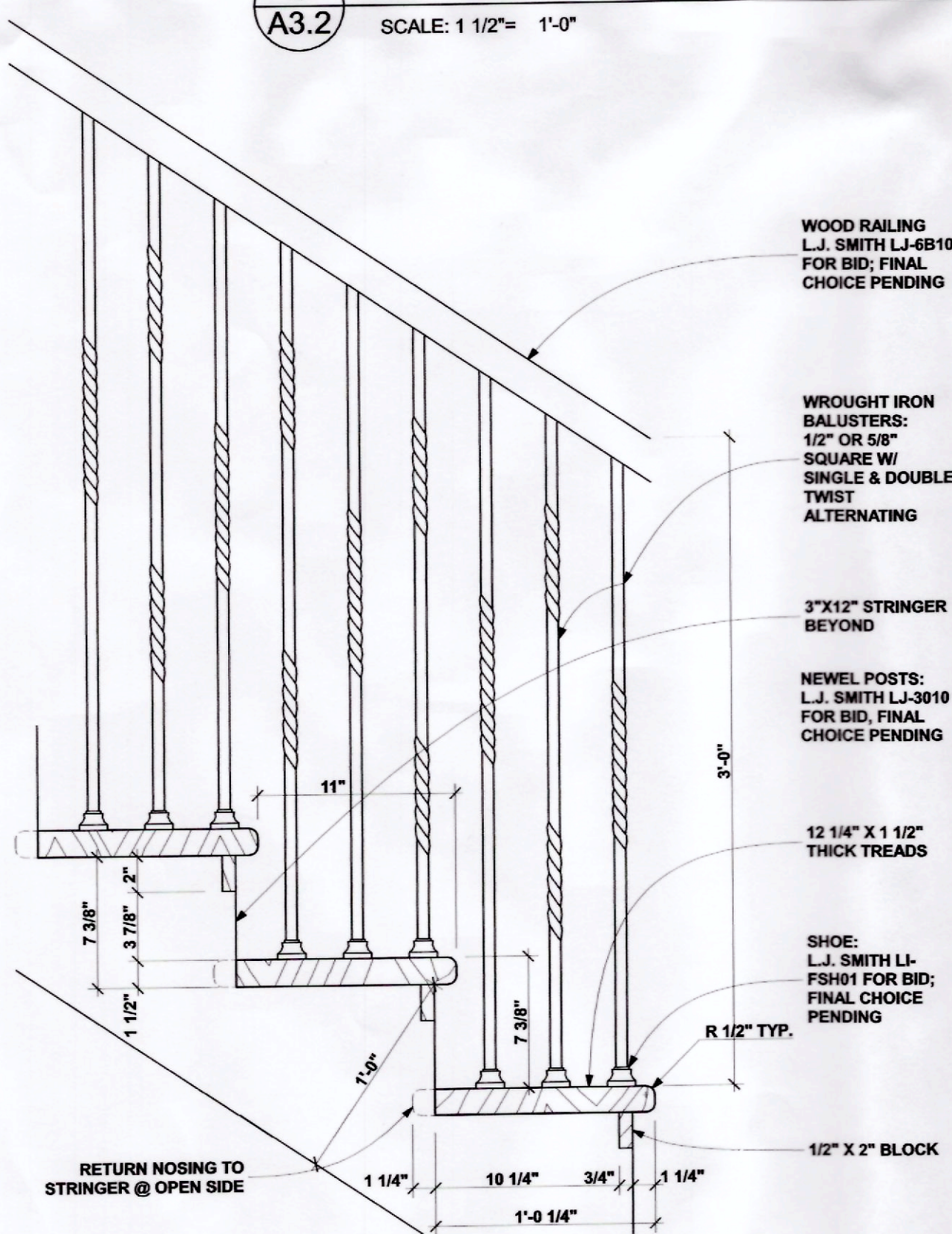
4 SECTION (2ND STORY ONLY)

SCALE: 1/4" = 1'-0"



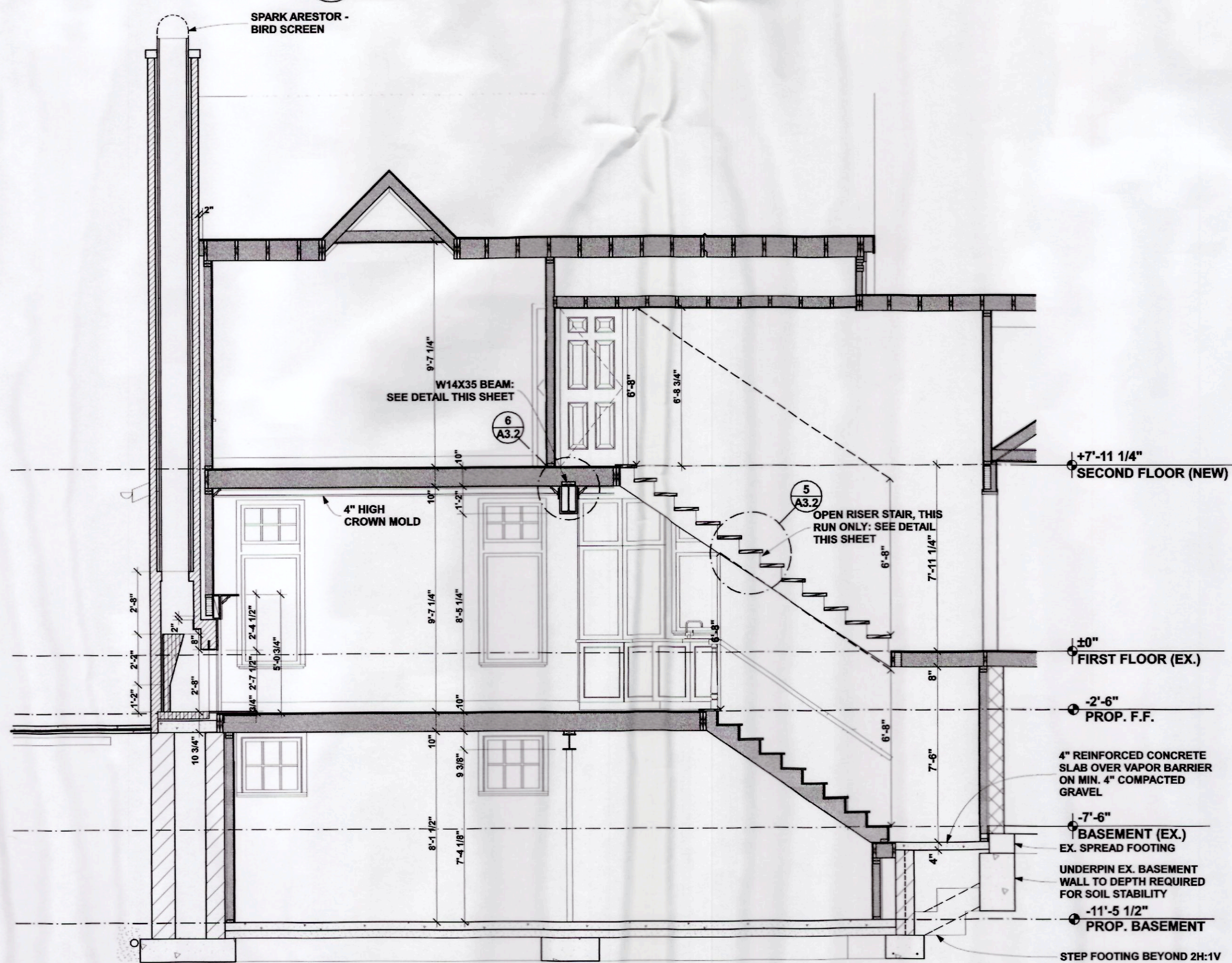
6 STEEL BEAM DETAIL

SCALE: 1 1/2" = 1'-0"



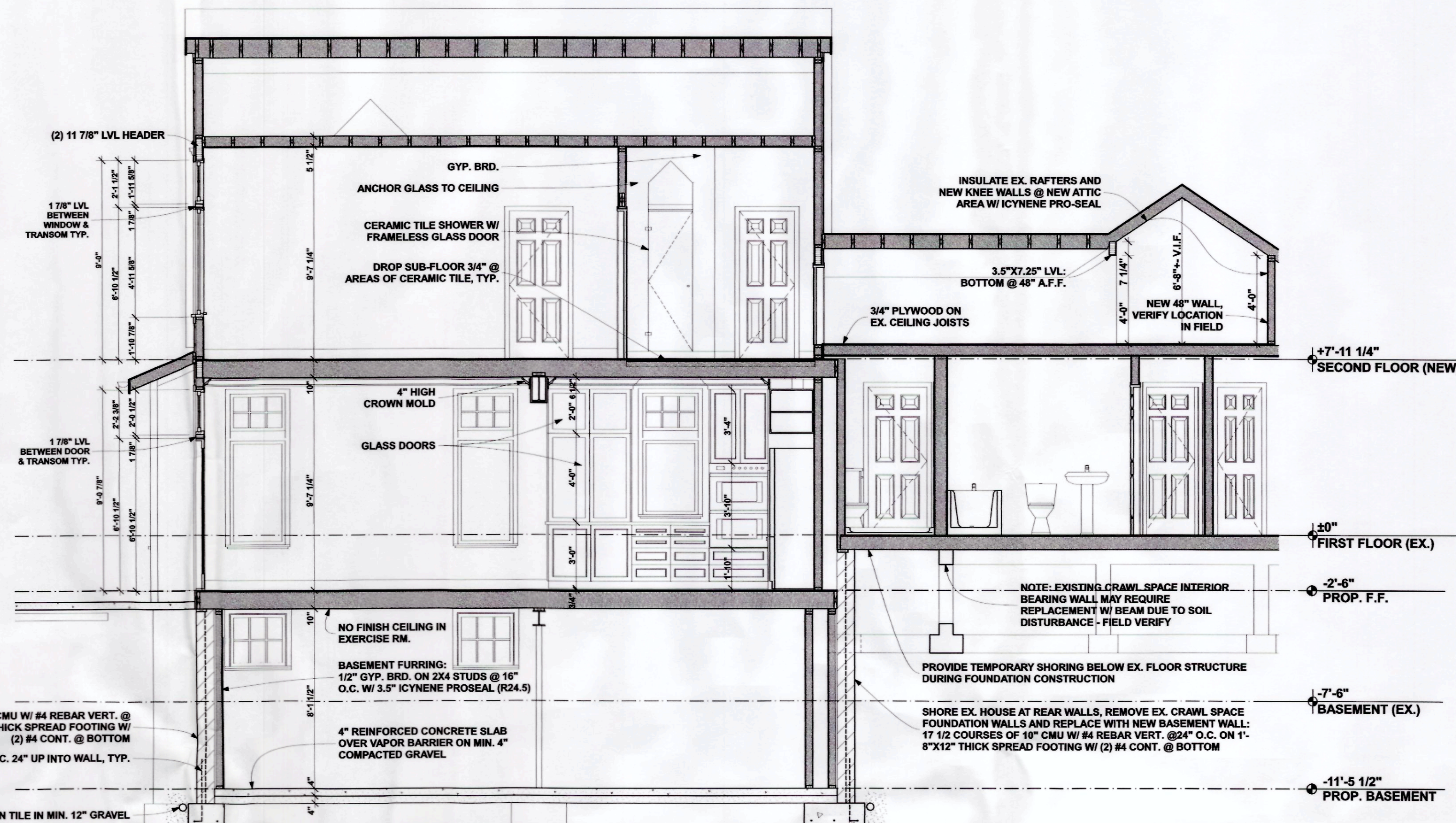
5 STAIR DETAIL

SCALE: 1 1/2" = 1'-0"



3 SECTION

SCALE: 1/4" = 1'-0"



1 SECTION

SCALE: 1/4" = 1'-0"

BIDS w/ RCPs: 03-20-2014
BIDS: 03-07-2014
BID REVIEW: 02-28-2014
STRUCTURE: 02-17-2014
REVIEW: 02-06-2014

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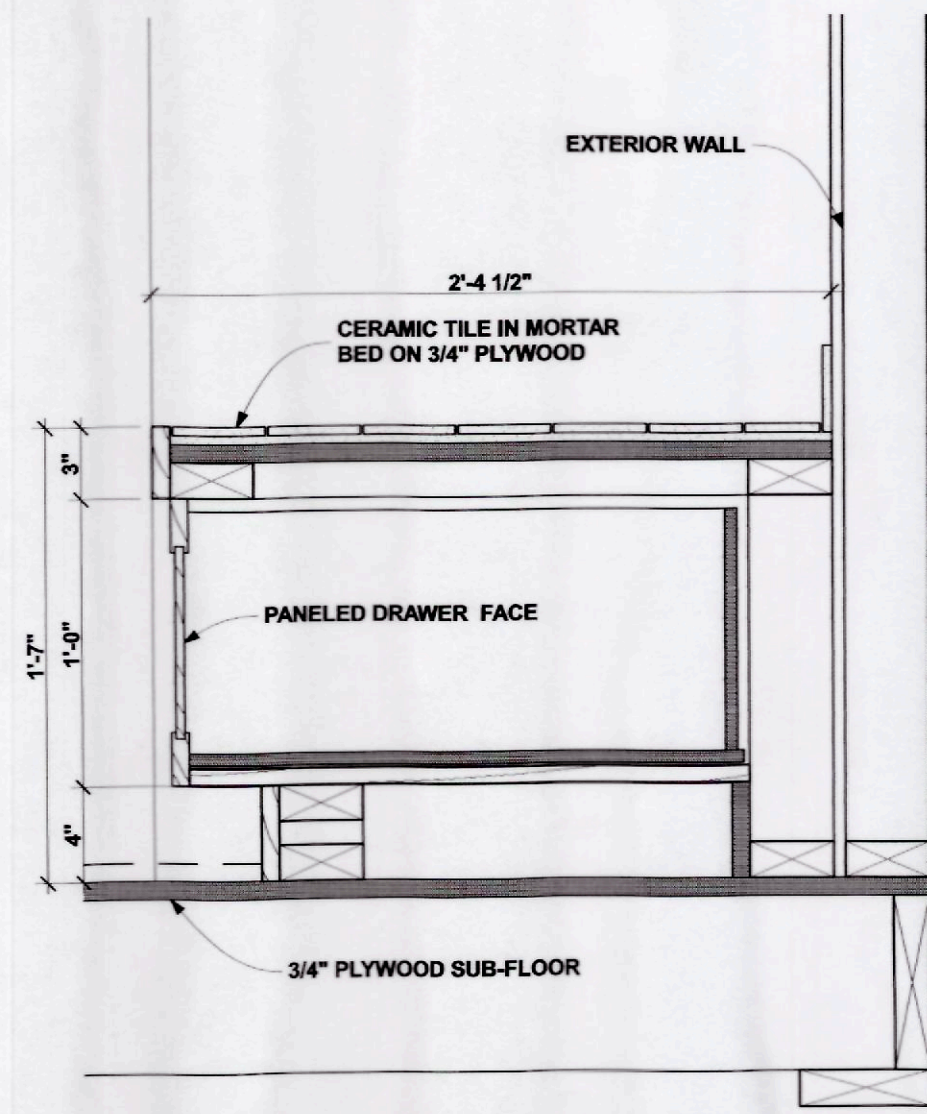
PROJECT:
COLLON RESIDENCE
26005 CAROL STREET
FRANKLIN, MICHIGAN 48025

TITLE:
SECTIONS, DETAILS

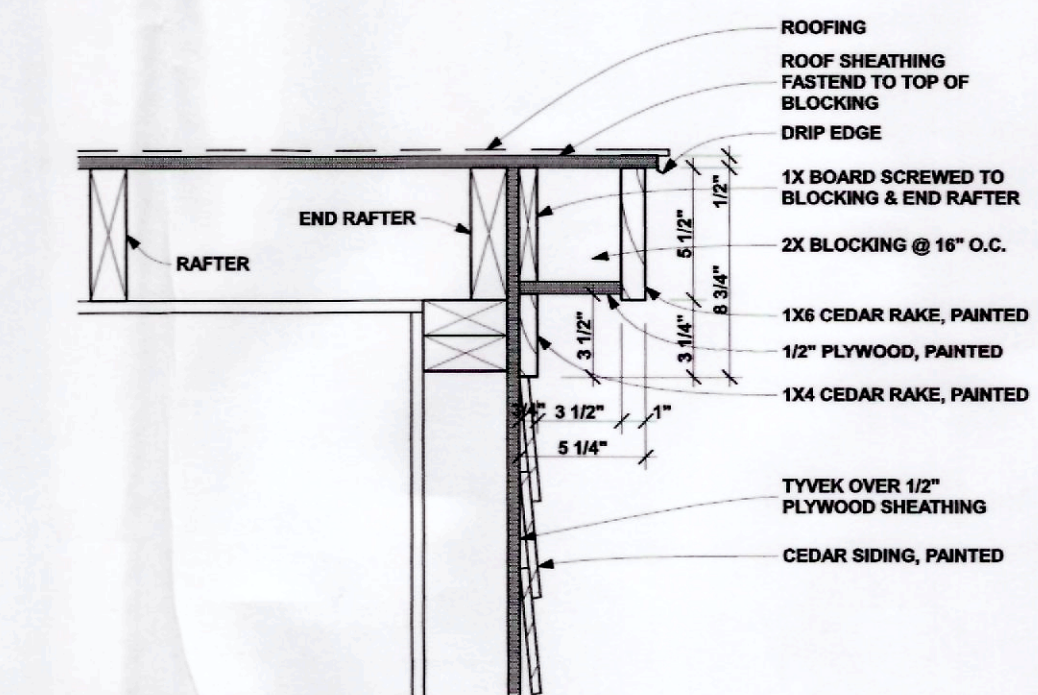
W. J. Finnicum

SHEET NO.
A3.2

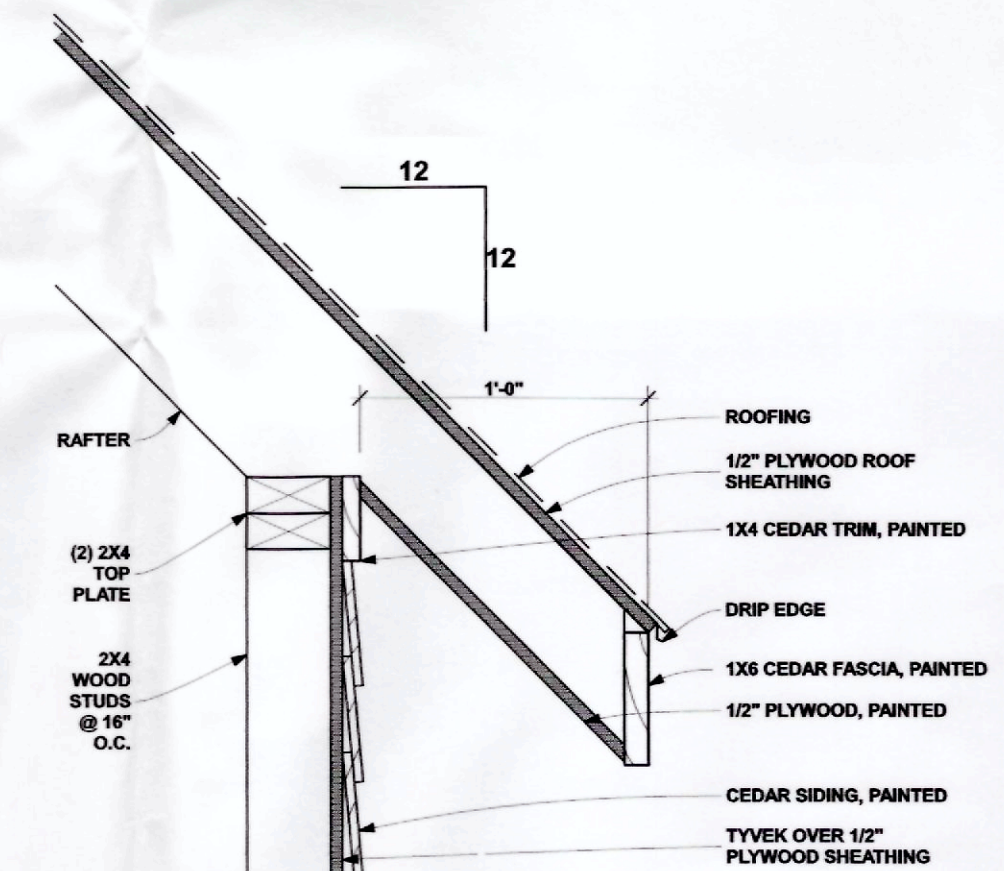
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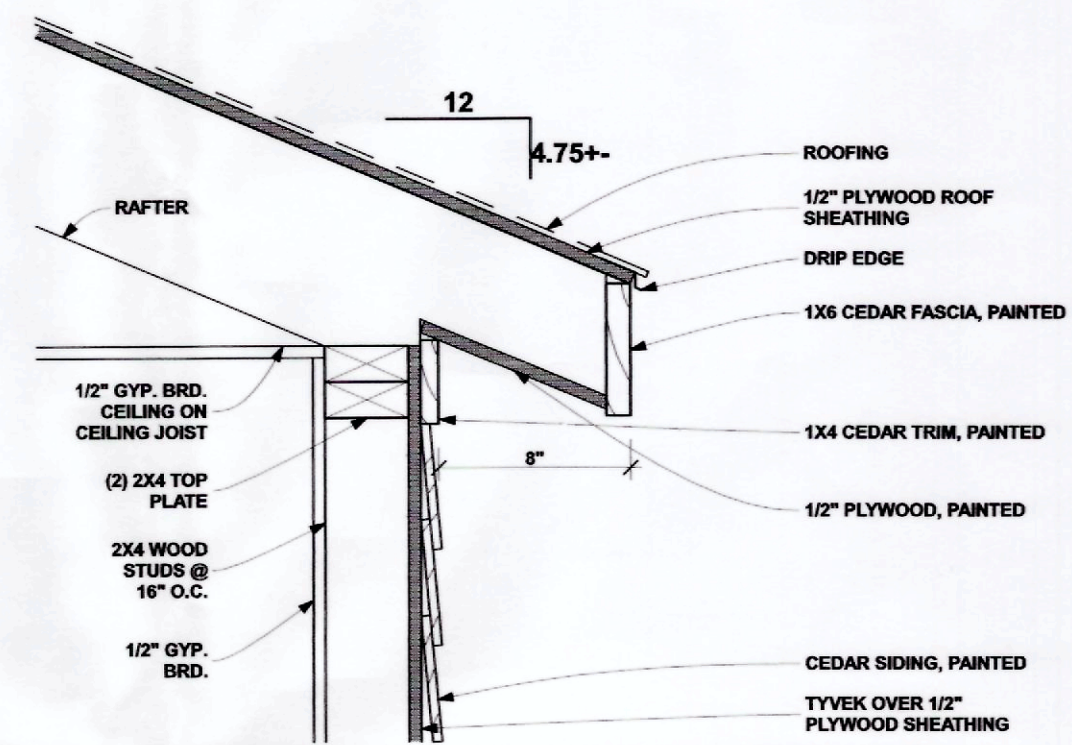
5
A3.3
DETAIL OF WINDOW SEAT
SCALE: 1 1/2"= 1'-0"



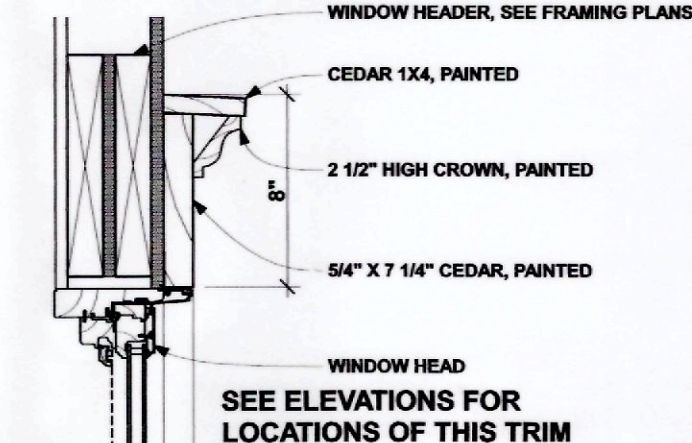
1
A3.3
TYP. HOUSE RAKE
SCALE: 1 1/2"= 1'-0"



2
A3.3
HOUSE EAVE AT NEW CONSTRUCTION
SCALE: 1 1/2"= 1'-0"



3
A3.3
HOUSE EAVE OVER MUDROOM
SCALE: 1 1/2"= 1'-0"



4
A3.3
WINDOW HEAD TRIM AT HOUSE
SCALE: 1 1/2"= 1'-0"

BIDS w/ RCPs: 03-20-2014
BIDS: 03-07-2014
BID REVIEW: 02-28-2014
STRUCTURE: 02-17-2014
REVIEW: 02-06-2014

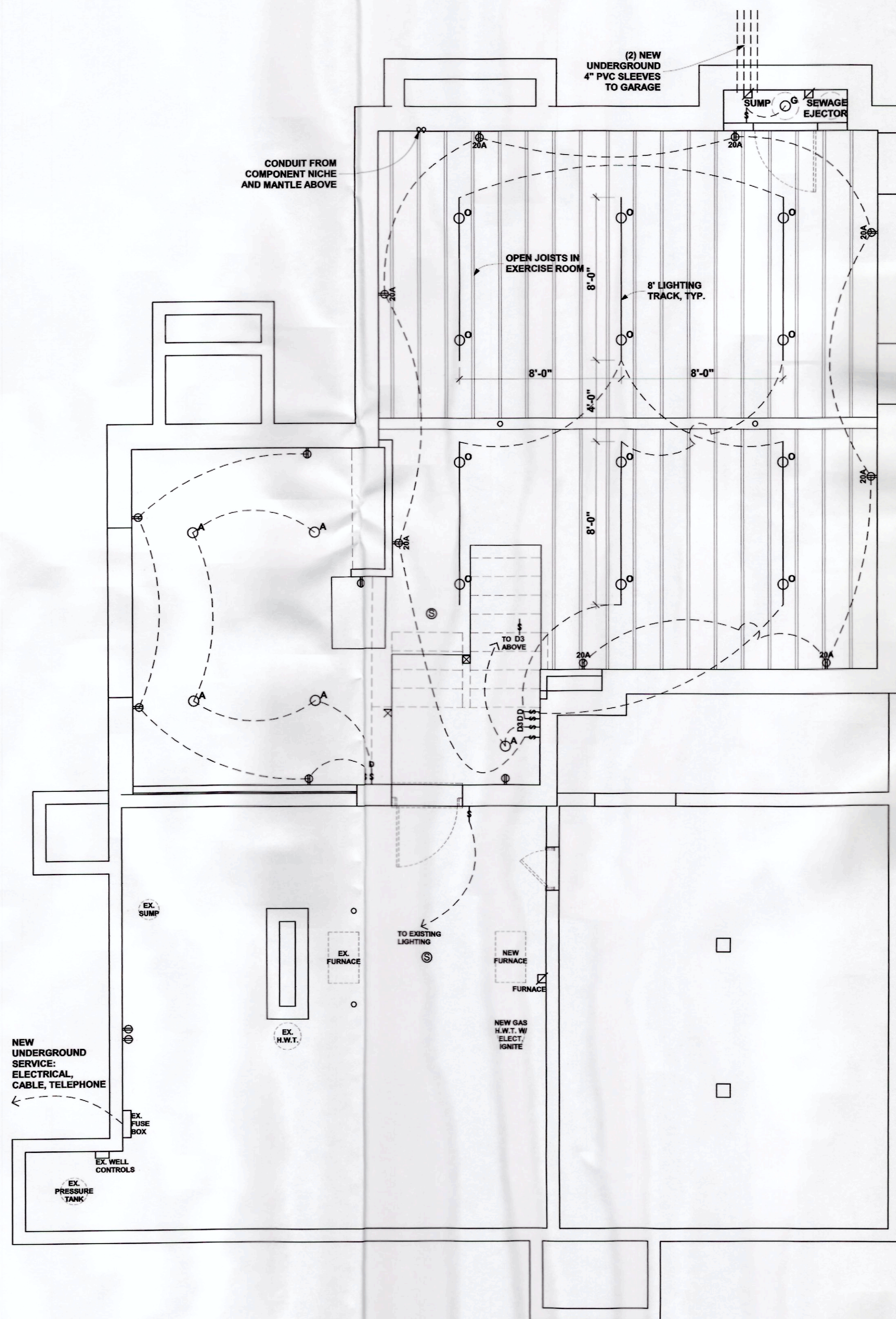
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COLLON RESIDENCE
26005 CAROL STREET
FRANKLIN, MICHIGAN 48025

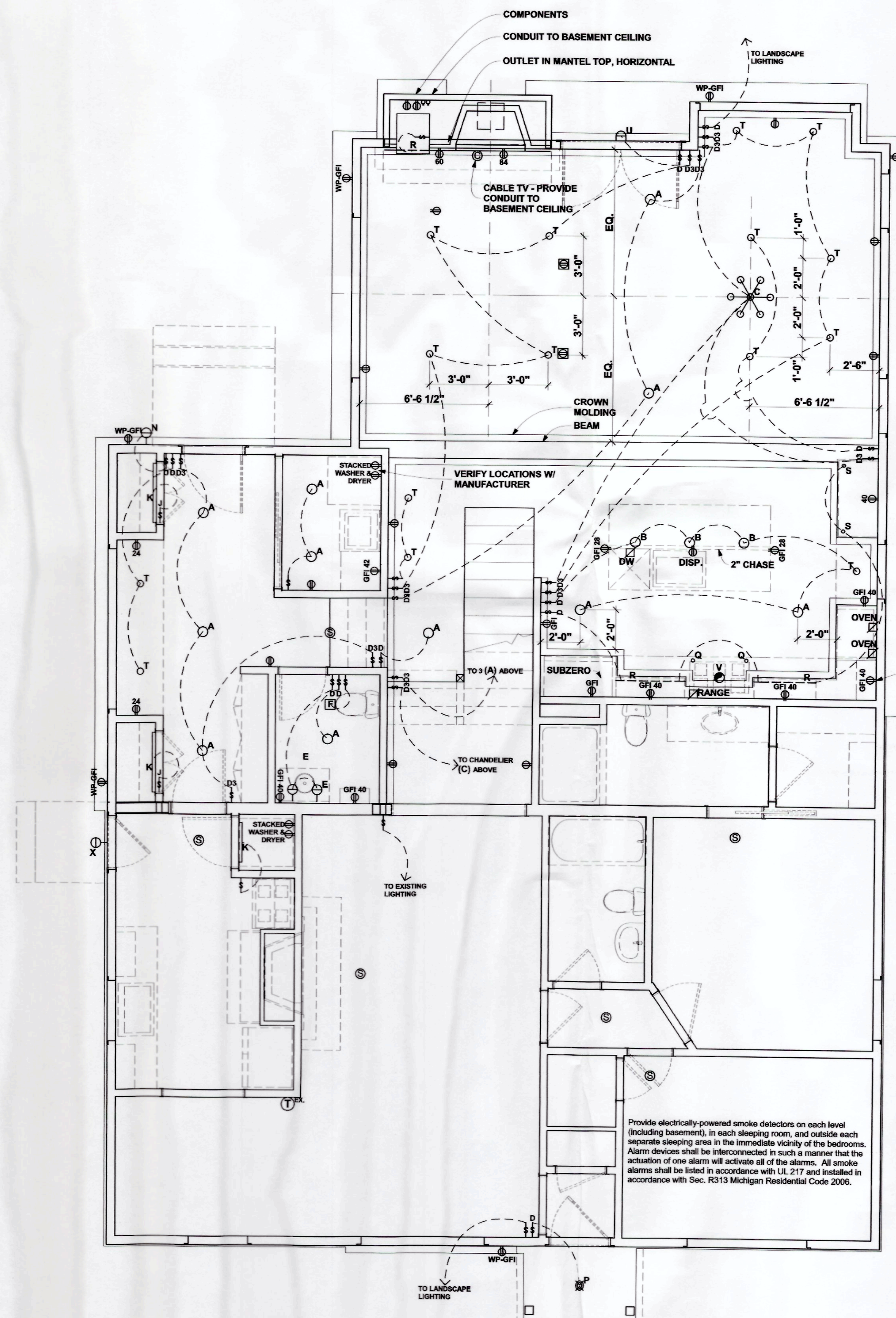
TITLE:
DETAILS

W. J. Finnicum

SHEET NO.
A3.3

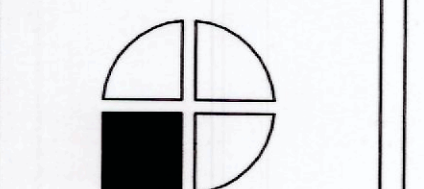


2
A4.1
BASEMENT ELECTRICAL - LIGHTING PLAN
SCALE: 1/4" = 1'-0"



1
A4.1
FIRST FLOOR ELECTRICAL - LIGHTING PLAN
SCALE: 1/4" = 1'-0"

BIDS w/ RCPs: 03-20-2014
BIDS: 03-07-2014
BID REVIEW: 02-28-2014
STRUCTURE: 02-17-2014
REVIEW: 02-06-2014

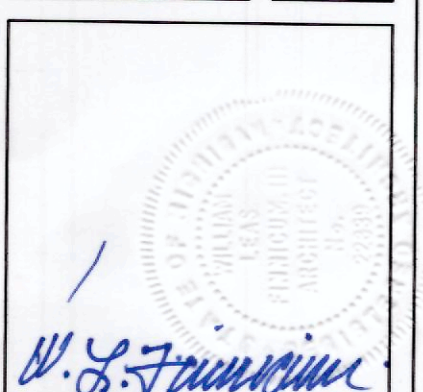


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248 851 5022

PROJECT:
COLLON RESIDENCE
28005 CAROL STREET
FRANKLIN, MICHIGAN 48025

TITLE:
ELECTRICAL - LIGHTING PLANS



SHEET NO.

A4.1

ACCEPTANCE OF CONDITIONS TO CONTRACT:
Acceptance of the construction project by the General Contractor (hereinafter G.C.) & Sub-contractors (hereinafter Contractor &/or Contractors) is proof of acceptance of the below mentioned items.

4. Indicate allowances as bid as indicated per respective trades: A) Hardware; B) Plumbing fixtures, C) Lighting fixtures, D) Tile/marble, E) Bath accessories.
5. Provide separate prices for all major trades: A) BASE BID:
 1. GENERAL CONDITIONS: A) Temporary tolls; B) Contingencies; C) Permits; D) Job supervision
 2. FOUNDATIONS: A) Excavation and backfilling; B) Dampproofing; C) Trenching; D) Concrete; E) Core drilling; F) Masonry
 3. SITE WORK: A) Tree removal & site demolition; B) Grading; C) Underground utilities; D) Soil boring & surveys
 - 4) PAVING: A) Driveway; B) Brick pavers
 - 5) STEEL.
 - 6) FRAMING: A) Rough framing; B) Demolition & removal; C) Shoring & bracing; D) Trusses; E) Siding;
F) Exterior stairs & rails; G) Exterior caulking
 - 7) FINISH CARPENTRY: A) Window & door trim; B) Interior stairs & railings; C) Decorative columns
 - 8) INSULATION:
 - 9) ROOFING: A) Roofing; B) Gutters & downspouts; C) Flashing
 - 10) DRYWALL.
 - 11) FLOORING: A) Ceramic tile; B) Resilient flooring; C) Carpet; D) Hardwood flooring
 - 12) PAINTING: A) Interior; B) Exterior
 - 13) PLUMBING: A) Rough plumbing; B) Sewer cleaning; C) Fixture allowance; D) Bath accessories E) Shower enclosures
 - 14) H.V.A.C.
 - 15) ELECTRICAL: A) Fixture allowance; B) Low voltage service
 - 6) NOT IN CONTRACT:
 - A) Landscaping & irrigation; B) Closet interiors; C) Cabinetry & countertops; D) Kitchen & laundry appliances; E) Window treatments

Provide all labor, materials, equipment, and service and provide all operations required to accomplish the work as indicated and/or implied by the construction documents and these general notes and specifications.

1. All construction to comply with the local building, plumbing, mechanical and electrical codes, ordinances and requirements as well as the State of Michigan Energy Code.
2. Obtain and pay for all required permits, inspections, and tests.

The G.C. & Contractors shall carry broad form, comprehensive liability insurance (minimum \$1,000,000 liability) and workmen's compensation insurance and shall submit certificates of insurance to owner prior to execution of the work, or minimum State of Michigan requirement, whichever is greater.

All existing construction which is to remain shall be protected by the G.C. during construction. Any damage (by the G.C., Contractors, and/or their workmen) to existing construction on this or adjoining lots, or personal property belonging to the Client or their neighbors, is to be repaired & restored to its original condition at the G.C.'s expense.

All work executed shall be performed in a first class and safe workmanlike manner in accordance with the latest accepted standards and practice for the work involved. The workmanship shall be subject to the approval of the Owner at all times.

1. The G.C. shall review and verify all dimensions on the drawings before commencing with the work. If dimensional errors occur, the G.C. shall notify the Architect before proceeding with the work. Do not scale drawings. If the G.C. or any Contractors scale a drawing to determine a location for any part of the work they shall take full responsibility, should that portion of the work be improperly located.
2. Any omissions or conflicts between various elements on the drawings and/or in these general notes shall be brought to the attention of the Architect before proceeding with the work. Failure to do so shall result in the G.C. taking full responsibility and liability for the work as installed.
3. The structure is designed to be self-supporting and stable after it is fully completed. It is the G.C.'s sole responsibility to determine erection procedure and sequencing and to insure the safety of the structure and its component parts during erection, including shoring.
4. Roof penetrations: all plumbing and mechanical vent stacks and furnace flue shall be offset to rear roof lines. Furnace flues shall comply with code for maximum slope and number of turns allowed for offsets.
5. A readily accessible opening not less than 22" x 30" shall be provided to any attic having a clear height of over 30". Verify location with the Architect.
6. Project/site cleanup: upon completion the G.C. shall remove all rubbish, waste materials, etc. from the site, leaving the site in a clean state.
7. Provide crawl space access, min. 20"x24".
8. Job set of building plans must be on-site for all inspections.
9. Work covered without inspection will be required to be uncovered and inspected.
10. Provide portable fire extinguishers as required in the location approved by the fire marshal while this contract is in progress.

Finnicum Brownlie Architects assume no responsibility for the design of proper installation of temporary construction bracing or shoring required to complete the project. The G.C. and his engineer are responsible for the cost, design, and proper installation of all temporary shoring required for a safe and structurally sound project. The G.C. is responsible for all damages incurred due to improper shoring and bracing during the construction project.

GUARANTEE. All materials, equipment and workmanship shall be subject to a guarantee of one (1) year from date of final certificate of occupancy. The G.C. shall make good at his own expense any and all defects in materials and workmanship, within five (5) days after receiving Owner's written notice. The G.C. shall also be responsible for any work damaged while making corrective work.

SITE NOTES:

1. Excavate as required to provide sufficient working room for the laying of foundation walls. Excavation for all footings to be done to undisturbed earth with a minimum depth as shown on drawings unless otherwise governed by local codes.
2. Back filling of walls in interior areas where concrete slab will bear on grade shall be grits or bank run gravel well compacted, brought to a sub grade of 8" below finished floorline.
3. Back filling of exterior foundation walls shall be clean gravel well compacted, brought to a sub grade of 8" below finish sidewalk paving.
4. Back filling over utilities running under paved areas shall be grits.
5. Remainder of site shall be graded to assure drainage of surface water from building.
6. Grades not otherwise indicated on the plans shall be uniform levels or slopes between points where elevations are given. Abrupt changes in slopes shall be well rounded. The G.C. is responsible for positive site drainage.
7. Site fill should be non-organic soils compacted in 6" lifts to a minimum of 98% standard proctor density.

1. Obtain a copy of soils investigation report from the owner. Follow the recommendations of the report and supplemental reports or addendum, unless specifically directed in writing by a competent site soils engineer, based on field observations and conditions.
2. Footings are designed for an assumed soil pressure of 3000 psf. If soils of this capacity are not found at the elevations indicated, footings shall be enlarged or lowered at the direction of a soils engineer. Verify foundation soil bearing pressure and footing depth with a soils lab/engineer.
3. Fill areas shall be stripped of topsoil and filled with suitable material compacted to a minimum of 95% maximum density. Fills shall be in lifts thin enough to be compacted uniformly to this density. No fills to be made on frozen ground.
4. All excavation shall be accomplished in accordance with MIOSHA standards. Excavations undertaken below the water table are to be kept in virtually dry and workable condition by pumping as required.
5. Provide continuous 4" drain tile around perimeter of crawl space areas. The tile shall be placed on not less than 2" of gravel or crushed stone at least 1" size larger than the tile joint openings and covered by at least 6" of same material. Termination/discharge of drain tile shall be in accordance with the local municipality.
6. Footings to be constructed at or below a frost penetration depth of 3'-6" or deeper as required to obtain soil bearing or undisturbed soil.
7. The excavation outside of the foundation shall be back filled with well draining granular soil that is free of organic material, construction debris, and large rocks. The backfill shall be placed in lifts and compacted in a manner which does not damage the foundation, the waterproofing, or the damp proofing materials.
8. Provide necessary sheeting, shoring, bracing, etc., as required during excavation & backfilled work to protect the sides of excavations and the construction.

1. Foundations bearing on existing soils are designed for a minimum allowable soil bearing capacity of 3000 PSF. Soil tests shall be performed by the G.C. to insure soils meet 3,000 psf design strength. G.C. shall notify the Architect immediately if excavation on any part of the site reveals fill or ground water.
2. The allowable soil bearing capacity must be verified by a registered soils engineer prior to the start of construction.
3. Notify the Engineer/Architect if the allowable soil bearing capacity is less than 3000 PSF so that the foundations can be redesigned for the new allowable bearing capacity.

1. All paving shall be installed in areas as indicated on the site drawings. Pavement design shall meet 10 year minimum design for local area as established by the Asphalt Institute. The following guide should be used as minimum thickness required. All depths of materials are compacted thicknesses.

- A. Poor Soil - CBR - 3.5 - Plastic when wet such as clay or fine silt-sandy loam
6" coarse asphalt minimum base binder (1 1/2" aggregate) plus 1 1/2" asphalt topping (max 1/2" aggregate)
- B. Medium Soil - CBR - 7.0 - Hardy silty-sand gravels containing clay and fine silt
4" coarse asphalt minimum base (1 1/2" aggregate) plus 1 1/2" asphalt topping (max 1/2" aggregate)
- C. Good Soil - CBR - 12 - Clean sand and sand gravel free of clay-silt or loam.
3" coarse asphalt minimum base material (1 1/2" aggregate) plus 1 1/2" asphalt topping (max 1/2" aggregate) -or- 6" thick compacted stone base plus 2 1/2" asphalt topping (max 3/4" aggregate)

1. Contractor shall be responsible for installing topsoil to grade and for all rough grading. No payments in excess of contract shall be made unless approved by the owner in writing. Total proposal shall include all work including taxes when applicable.
2. The ground immediately adjacent to the foundation shall be sloped away from the building at a slope of not less than 1:12 for a minimum distance of 8' measured perpendicular to the face of the wall, or an approved method of diverting water away from the foundation shall be used. The procedure utilized to establish the final ground level adjacent to the foundation shall account for all additional settlement of the backfill.
3. Where water impacts the ground from the edge of the roof, downspout, scupper, or other rainwater collection or diversion device, provisions shall be made to prevent soil erosion and direct the water away from the foundation.
4. Landscape bidder shall submit a written proposal and landscape plan to the Owner for approval. Landscape proposal shall indicate size and number of plants, and exact area to be sodded. Proposal shall also show unit prices for all plant material.
5. Provide all labor, materials, and equipment necessary to complete the seeding, sodding, landscape planting, earthing, and edging as shown on the proposal. All plants and sod areas shall be guaranteed for one (1) year from date of installation. All plants not in satisfactory vigor shall be replaced at no additional expense to the Owner, unless noted otherwise.

Furnish all labor, materials and equipment necessary to complete all concrete work including excavation, trenching, form work, reinforcing, cement finish and pre-cast concrete work.

1. Refer to drawings for sizes, depths and reinforcement. Earth trench forms will be permitted for footings if conditions are favorable. Sides of trenches shall be clean, even, vertical, and true. Bottoms shall be level, clean

2. Reinforcing shall be unimpeded and placed before being shaped and placed into position. Reinforcing should be positioned accurately, and secured against displacement. When there is a delay in pouring, reinspекt reinforcement and clean off any dried cement, mortar, or rust.
3. All reinforcement shall be of size and spacing as called for on the drawings or as per local codes.
4. Concrete & masonry foundation walls shall extend above the finished grade adjacent to the foundation at all points a minimum of 4' where masonry veneer is used & a minimum of 6' elsewhere.
5. Back fill placement: Backfill shall not be placed against the wall until the wall has sufficient strength and has been anchored to the floor above, or has been sufficiently braced to prevent damage by the backfill.

1. 3000 psi concrete slabs to be reinforced with 6x6 #10 WWM installed in a manner that places it in the center of the slab. Lap edges 6".
2. Provide continuous 6 mil visqueen vapor barrier on a level 4" gravel base under all building slabs. Lap edges of visqueen 6" and seal (turn up) at walls.
3. All concrete floors shall be poured level except where floor drains occur, in which case they shall be sloped or warped to drain. Total slope not to exceed 3/4" below floor level.
4. The Contractor shall build into concrete work the following materials which are furnished by other trades, and shall bid and secure same as required: All plumbing lines, electrical conduit, concrete inserts, hangers, anchors, floor clips, sleeves for all piping, anchor plates, when required by other trades.
5. The area of the garage floor, used for parking automobiles, or other vehicles shall be sloped to facilitate the movement of liquids toward the main vehicle doorway at a minimum of 1/8" per foot.
6. Sidewalk & ramps shall be constructed with 2500 psi air entrained concrete 4" thick broom finish, score with 3/4" deep contraction joints into approx. 48" squares as shown on the drawings, unless noted otherwise.

1. All reinforcing bars, dowels and ties shall conform with astm-615 grade 60 requirements and shall be free of rust, dirt, and mud.
2. All welded wire fabric shall conform with astm a-185 and be positioned at the center of slabs.
3. All reinforcing shall be placed and securely tied in place sufficiently ahead of placing concrete to allow inspection and correction if necessary, without delaying the concrete placement.
4. Extend all reinforcing bars a minimum of 36" around all corners and lap bars at all splices a minimum of 24".
5. Welding of reinforcing steel is not allowed.
6. Anchor bolts are required every 6'-0" (max.) and not more than 12" from end of any plate.

Provide all labor, materials and equipment necessary to complete all masonry work including structural steel, wall ties, masonry reinforcing, etc....

5. All work to be laid true to dimensions, plumb, square and in bond or properly anchored. All courses shall be level with joints of uniform width. No joint shall exceed specified size and if necessary, clipped courses shall be provided to level off.
6. Perform all masonry work in accordance with the best trade practices. Brace "green" walls and protect mortar from "washing out" at end of day's work using planks, weighted canvas, or similar means to cover wall. Cooperate with other trades in jointly executing work and built-in items. Patch openings as required for passage of mechanical and electrical trades. "Uncured" units must be used at all exposed and/or semi-exposed conditions of brick rowlock, caps, sills, etc.
7. All lintels shall be of size and shape as shown or noted on the drawings and shall be structurally sound for the spans and loads involved.
8. Build into masonry all materials furnished by other trades such as angles, anchor bolts, flashing, steel lintels, steel framing, vents, sleeves, door frames, miscellaneous steel work.
9. All field brick to meet ASTM C-216, type FBS, grade SW. Accent brick to meet either ASTM C-216 or ASTM C-652, type HBS, grade SW.
10. All brick to be laid in a running bond, unless noted otherwise.
11. All brick to be laid with full mortar in the bed and head joints.
12. Use concave-tooled joints using a tool of larger than 1/2" diameter.
13. Wall ties should be an eye and pintel type where the eye affixed to the wall allows vertical movement of the pintel, but not horizontal. Ties should be hot-dipped galvanized in accordance with ASTM A-153, class B-2.
14. Weep holes should be at least every 24". If a 5/16" braided cotton sash cord is used then weep holes should be spaced every 16"
15. Approved flashing shall be installed beneath the first course of masonry above finished ground level above the foundation wall or slab and at other points of support, including structural floors, shelf angles and lintels when masonry veneers are designed in accordance with Section R703.7 of the MI Residential Code 2006. See Section R703.8 of the MI Residential Code 2006 for additional requirements.
16. Clean and point all brick and concrete block work at the end of each working day, and at the completion of work as an entirety. Wet wall thoroughly and clean all exposed brick work with cleaner and stiff bristled brushes. No metal scrapers or metal brushes shall be used on any type of masonry. Cleaning agent should be recommended by brick manufacturer
17. Mortar for face brick shall be one part cement (portland cement, astm c-150, type 1 or 3) one part lime (hydrated lime ASTM C-207, type S) and five parts sand (ASTM C-144) and potable water. Do not use add mixtures in cold weather, instead heat the sand and water. If temperatures drop to 50 degrees F, stop masonry work.

STRUCTURAL STEEL SPECIFICATIONS:

1. All structural steel shapes, plates, bars, etc. are to be ASTM A-36 (unless noted otherwise) designed and constructed per the 1989 AISI "Specifications for the Design, Fabrication, and Erection of Structural Steel Buildings," and the latest edition of the AISI "Manual of Steel Construction."
2. All welded connections shall conform with the latest AWS D1.1 "Specifications for Welding in Building Construction," and shall utilize E70XX electrodes unless noted otherwise.
3. All bolted connections shall utilize ASTM A-325 bolts tightened to a "snug tight" condition (unless noted otherwise).
4. The steel fabricator shall submit shop drawings for review and approval by the Architect prior to fabrication. Allow minimum 10 working days for this review process.
5. All connections shall be designed for a minimum of 10 kip capacity unless noted otherwise.
6. The steel erector is solely responsible for the design and installation of all temporary guys, bracing, false work bars, false work, cribbing, and other elements required for the safe installation of all building elements. The fabricator and erector shall perform all work in accordance with OSHA requirements.
7. Finnicum Brownlie Architects is not responsible for job site safety.
8. Lintels over exterior openings (where required) shall conform to the following table unless otherwise specified:

(1) 3-1/2 x 3-1/2 x 5/16 - 5'-0" opening width (or less)	(1) 6 x 3-1/2 x 5/16 - 8'-0" opening width
(1) 4 x 3-1/2 x 7/16 - 6'-0" opening width	(1) 6 x 4 x 7/16 - 9'-0" opening width
(1) 5 x 3-1/2 x 5/16 - 7'-0" opening width	(1) 7 x 4 x 1/2 - 10'-0" opening width
9. Steel pipe columns to be provided with minimum 1/2" x 6" x 6" base plate and top cap plate unless noted otherwise.
10. All field connections to be made with 3/4" diameter H.S. bolts or equivalent welds. Welded connections shall be in accordance with the latest AWS Code E70XX electrodes, performed by qualified welders.

SHOP DRAWINGS:

1. The Truss Fabricator shall submit Truss Shop Drawings to the Architect/Engineer for review and approval prior to fabrication. The shop drawings shall be sealed by a Registered Professional Engineer licensed in the state in which the trusses will be used.

2. The following information shall appear on all Truss shop drawings:

- Design criteria, including load information accounting for snow buildup where applicable.
- Connector Plate manufacturer, gage, size and location at each truss joint.
- The lumber grade and size of all members.
- All required structural lateral bracing (size, connection and location).

3. Complete truss layouts (framing plans) shall be prepared by the Truss Fabricator. Layouts shall indicate truss type, spacing and connections. Required truss hanger connections shall be indicated on the layouts. The truss layout shall be submitted to the Architect/ Engineer for review and approval prior to fabrication.

1. Designs shall conform with the latest version of "The National Design and Specification for Stress Grade Lumber and its Fastenings" of the National Forest Products Association, and "The Design Specifications for light Metal Plate Connected Wood Trusses" of the Truss Plate Institute (TPI).
2. Trusses shall be spaced as indicated on the plans unless the designer determines that different spacing is required to meet deflection requirements.
3. Maximum deflection of floor trusses shall be limited to L/240 for total load and L/360 for live load. Maximum deflection of roof trusses shall be limited to L/240 for total load and L/360 for live load.
4. Roof Design Loads
30 psf top chord live load*
7 psf top chord dead load
10 psf bottom chord dead load**
20 psf Wind Uplift.
* A 15% increase in allowable stresses for short term loading is allowed. drift loading shall be accounted for per 2003 BOCA Code requirements.
** Add additional attic storage live loads per the 2003 BOCA code requirements.
5. Adequate camber shall be built into all trusses to compensate for normal dead load deflection.

1. **Steel Gussset and Connector Plates:**
 A. Connectors shall be a min. of 20 gage galvanized steel. The plates shall consist of projecting teeth punch rows. The following min. connector plate specifications shall be met (per pair of plates).

430 PSI Holding Capacity in Doug Fir or Southern Pine	486 PLI Shear Resistance (parallel to teeth)
430 PSI Holding Capacity in Hem Fir or Spruce Pine Fir	800 PLI Tension Value (parallel to teeth)

(Note: Holding values are for parallel to teeth loading)

1. Rough wood framing to be according to National Lumber Manufacturers' Association recommended practice for wood framing. Store all lumber off the ground, and protect from the elements.
2. Identify all framing lumber and plywood as to grades with appropriate agencies stamp, and store all grades separately from other grades.
3. Use extreme care in the off-loading of lumber to prevent damage, splitting, and breaking of materials.
4. All wood sheathing shall be APA Approved, exposure 1 plywood complying with DOC PSI, or oriented strand board (OSB) complying with APA PRP 108 or DOC PS 2, and shall be fastened in accordance with the latest recommendations and most stringent code requirements for the specific item being installed.
5. Sub floors shall be screwed and glued (1/4" diameter min. continuous bead) to supports in strict accordance with the latest AIA recommendations and most stringent code requirements. Stapling of sub floor to supports is not acceptable. Glue shall conform to APA Spec. AFG-01. If non-veneer panels with sealed surfaces and edges are to be used, use only solvent-based glues; Check with panel manufacturer. Follow the specific application recommendations of the glue manufacturer.
6. Anchor treated sill plate on moisture resistant sill sealer to foundation wall with 1/2" dia. anchor bolts @ 6'-0" o.c. maximum & max. 12" from the ends of each plate section. Provide minimum (2) anchors per board. Install anchor min. 7" into masonry or concrete. Install per Spec. R403.1.6 to provide positive connections continuous from the foundation through the sill plate.
7. Truss design, installation and bracing per I.P.I. N.F.O.P.A. & Truss manufacturers shop drawings and/or requirements. Truss supplier to provide documentation of design, in-plant inspection during fabrication, lay out & erection to municipality prior to erection of trusses. Documentation shall be sealed by an engineer licensed in the state where the project is to be constructed. Verify truss framing with truss manufacturer's design layout. Should girders bear over a header where not shown, notify the Architect for evaluation of header size.
8. Provide H-series truss clips for all truss-to-plate connections. Scissor trusses where specified, shall be anchored using the TC Scissor Truss connectors as manufactured by Simpson Strong-Tie or equal. Install per manufacturer's specifications.
9. Installation and construction (temporary) bracing shall be per "Commentary for Handling, Installing, & Bracing Metal Plate Connected Wood Trusses" (latest edition) as published by T.P.I.
10. Provide approved metal wind bracing or structural sheathing at all corners.
11. Provide fire-stopping to cut off all concealed draft openings (both vertical and horizontal) and to form an effective fire barrier between stories and between a top story and roof space.
12. Provide fire-stopping in wood frame construction in the following locations:
 - a. Concealed spaces of stud walls and partitions, including furred spaces, at the ceiling and floor level.
 - b. At all interconnections between concealed vertical and horizontal spaces such as occur at soffits, drop ceilings etc.
 - c. In concealed spaces between stair stringers at the top and bottom of the run.
 - d. At openings around vents, pipes, ducts, chimneys, and fireplaces at ceilings and floor level, with non-combustible materials.
13. All flush framing connections to be with "strong-tie" or equal post caps, joist and beam hangers, framing anchors or rafter anchors. Fill all nail holes with appropriate nails per manufacturer's specifications and recommendations.
14. Provide solid bearing under all beams and headers (full width). Provide (2) 2 x bearing jamb studs at openings 6'-0" and greater unless noted otherwise.
15. The G.C. is to make sure that all rafters and ceiling joists shall be provided with lateral support at points of bearing to prevent rotation.

1. All wood framing and wood sheathing which rests on exterior foundation walls and are less than 8" from exposed earth shall be approved, naturally durable or pressure treated wood to a minimum of 0.40 pounds per cubic foot retention with approved treatment.
2. All lumber at or below grade shall be pressure treated to a minimum of 0.60 pounds per cubic foot retention with ammoniacal copper arsenate or chromated copper arsenate or approved equal treatment.
3. All treated lumber which is cut, drilled, or notched shall be field treated (brushed on exposed surfaces) by one of the preservatives listed above.
4. Sleepers and sills on a concrete or masonry slab which is in direct contact with earth shall be approved naturally durable or pressure treated wood.
5. At each wall opening add one half the total number of studs displaced to each side of the opening (full height) and (2) cripple studs below the header, unless noted otherwise.
6. Headers over exterior openings shall conform to the following table unless otherwise noted on the construction documents.

(2) 2 x 6 = up to 4'-0" opening width	(2) 2 x 10 = up to 7'-0" opening width
(2) 2 x 8 = up to 5'-6" opening width	(2) 2 x 12 = up to 8'-0" opening width
7. All exterior wall studs, and interior bearing wall studs shall be continuous from Floor to underside of floor, or roof framing above, including at sloped ceilings and gable end wall conditions.
8. All lumber grades and standards based on "Western Lumber Product Use Manual" 0709/A/Rev. 11-90/4 DM.
9. All structural lumber, joists and headers are to meet the minimum properties of Hem-Fir #2 for design purposes.

<u>Interior Bearing Walls</u>	
8'-1 1/8" Plate height or less:	2 x 4 Spruce-pine-fir #2 KD or better.
9'-1 1/8" Plate height or less:	2 x 4 Spruce-pine-fir #2 KS or better or: 2x6 stud grade @ 16' o.c.
10'-0" high walls shall be 2x6 structural lumber as listed for joists & rafters.	
6'-1 1/8" Plate height or less:	2 x 6 Hem-fir #2 KD or better.
8'-2" Plate height or less:	2 x 8 Douglas Fir larch #2 KD or better.

Interior Bearing Walls:	Spruce-pine-fir #2 KD or better.
Interior Non-Bearing Walls:	Spruce-pine-fir, kiln dried, stud grade or better.
Header:	Hem Fir #2 KD or better; Fiber bending stress = 850 psi (single member) Elasticity Modulus = 1,300,000 psi

BIDS w/ RCPs:	03-20-2014
BIDS:	03-07-2014
BID REVIEW:	02-28-2014
STRUCTURE:	02-17-2014
REVIEW:	02-06-2014



**FINNICUM
BROWNIE
ARCHITECTS**

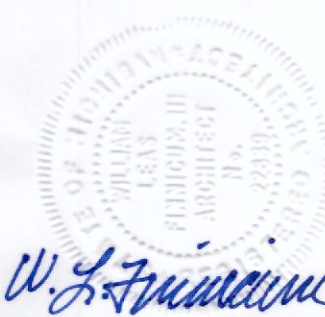
PO Box 250650
FRANKLIN, MI 48025
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PROJECT:

COLLON RESIDENCE

26005 CAROL STREET
EDENHURST, ILLINOIS 60025

LE: GENERAL NOTES



SHEET NO.

A5.1

Joist and Rafters:	Hem Fir #2 KD or better; Fiber bending stress = 1,075 psi (repetitive member) Elasticity Modulus = 1,500,000 psi
Wall Plates & Non-Structural Blocking:	Spruce-pine-fir, kiln dried, utility grade or better.
Perimeter sill plates:	Pressure treatment AWP, LP-2, Kiln dried to 19% moisture content. Set perimeter sill plates on sill sealer
Furring:	Spruce-pine-fir, kiln dried, #3 or better (1 x 3 UNO).

- ### BASEMENT AND BELOW GRADE FLOOR/WALL PROTECTION

1. Damp proofing required. Where hydrostatic pressure will not

2. Waterproofing required: Where the ground water investigation indicates that a hydrostatic pressure condition exists, walls and floors shall be waterproofed.
- A. Floors: Floors required to be waterproofed shall be of concrete, designed and constructed to withstand the hydrostatic pressures to which the floors will be subjected. Floor waterproofing materials: Waterproofing shall be accomplished by placing a membrane of rubberized asphalt, butyl rubber, neoprene, or not less than 6 mil polyvinylchloride (PVC) or polyethylene membrane with joints lapped not less than 6 inches or other approved materials under the slab. Joints in membranes shall be lapped and sealed in accordance with the manufacturer's recommendations.
- B. Walls: Walls required to be waterproofed shall be of concrete or masonry.
1. Surface preparation of walls: Prior to the application of waterproofing materials on concrete or masonry walls, the walls shall be prepared as for dampproofing.
 2. Wall waterproofing materials: Waterproofing shall be applied from the bottom of the wall to not less than 12 inches above the max. elevation of the ground water table. The remainder of the wall shall be dampproofed as described above. It shall consist of two-ply hot-mopped felts, not less than 6 mil polyvinylchloride (PVC), 40 mil polymer modified asphalt, 6 mil polyethylene or other approved methods or material capable of bridging non-structural cracks. Joints in the membrane shall be lapped and sealed in accordance with the manufacturer's recommendations.
 3. Joints and penetrations: Joints in walls and floors, joints between the wall and floor, and penetrations of the wall and floor shall be made water tight utilizing approved methods and materials.

Provide sump pumps in basements unless otherwise recommended by soils engineer or required by local code official.

1. The G.C. to caulk all exterior joints.
2. Caulking to match color of material.
3. Surfaces to be cleaned before application of compound and to be free of excess compound upon completion. Caulking to be done by professional, experienced caulkers.
4. Caulk at exterior door frames, window frames and elsewhere to insure a weathertight job. Utilize gun applicator.

1. Provide minimum R-38 fiberglass batt insulation in all attics and cathedral ceilings, minimum 3-1/2" R-15 fiberglass batt insulation at all bond conditions and 2 x 4 exterior walls, including lower level furred walls, or as indicated on the drawings. Use 5 1/2" R-21 fiberglass batt insulation where exterior walls are 2 x 6 construction.
4. Thermal batt and blanket insulation shall have a Kraft-faced vapor barrier. Install vapor barrier toward the warm-in-winter side.
5. Insulation shall be installed in such a manner as to allow free air flow from the soffit to the roof/attic space.
6. The net free ventilating area shall not be less than 1/150 of the area of the ventilated space, except that the area be 1/300, provided at least 50% of the required ventilating area is provided by eave/vented lighting in the upper portion of the space to be ventilated, with the balance of the required ventilation provided by gable or cornice vents. A free cross ventilation area may not be less than 1/300 of the area of the space ventilated when the vapor barrier having a transmission rate not exceeding 1 perm is installed on the warm side of the ceiling.
7. Water piping and duct work to be insulated in crawl spaces, attics and exterior walls by the respective trades.
8. Install 3-1/2" sound control batts in party walls between any two units, and in all bathroom walls.
9. Vapor barrier under slabs-on-grade to be 6 mil "visqueen" furnished and installed by concrete contractor-see Division 4.
10. Rigid roof insulation, when indicated, to be furnished and installed by the roofing contractor. Insulation to be 1/2" layers, first layer 2-4" C-5 Ultragard premier rigid roof insulation board and second layer to be 1/2" retrofit foam by Johns-Manville. Permalite Isoperl 3", R-30 insulation board by International Permalite, Inc. is an acceptable rigid roof insulation if it is compatible with the single-ply roof membrane material.
11. Foundation Perimeter insulation to be 2" thick Styrofoam or equal as shown at the construction documents.
12. Insulation exposed to spaces such as attics & crawl spaces shall have a flame spread rating of 25 or less, and smoke developed rating of 450 or less. Alternatively, less expensive insulation with a spread flame rating of less can be installed in these same spaces concealed behind 1/2" gypsum board or 3/4" plywood subfloor.

1. Asphalt shingle and wood shingle roofs with a slope of (4:12) or greater shall have an underlayment of (1) layer type 15 asphalt-saturated felt. Wood shingle roofs with a minimum slope of (4:12) shall have a felt interlayment shingled between each course.
2. Asphalt shingles shall conform to ASTM D225 or D3462.
3. All roof coverings shall be installed in strict accordance with the manufacturer's specifications. Use only approved fasteners.
4. Flashing shall be installed in accordance with the Asphalt Roofing Manufacturing Association's recommendations.
5. Eave protection membrane, where indicated on the construction documents, shall consist of a waterproof protection membrane equal to "Fire & Ice" as manufactured by W.R. Grace & Co. applied from the eave edge to a line at least 24" beyond the inside face of the exterior wall or as indicated on the drawings.
6. Cedar shingles shall be installed as per the RSS & SB.

WINDOWS & GLAZING:

1. Each sleeping room shall have at least one operable window or door to the exterior which shall be operable from inside without the use of separate tools. Windows shall have the bottom of the clear opening not more than 44" AFF and shall have a net clear opening of 5.7 s.f. (5.0 s.f. for grade floor windows.) Min. net clear opening height shall be 24". Min net clear opening width shall be 20". Refer to Sec R310 Michigan Residential Code 2006.
2. Provide flashing at all window head, jamb and sill conditions.
3. Fixed glass sizes shown are for reference only. Glazing Contractor shall field measure all rough openings for fixed glass prior to fabrication.
4. Operating sashes are shown for preliminary sizing only. Final size for rough opening and glazing shall be per selected window manufacturer's standards.
5. Provide the appropriate safety glass in accordance with all applicable building codes for all hazardous locations listed below. Glazed areas in hazardous locations shall be approved safety glazing (e. laminated, tempered, etc) and shall pass the test requirements of CPSC 16 CFR, Part 1201, as per code and federal laws.

- | | | |
|----|---|--------------------------------------|
| A. | Window manufacturer shall be: | MARVIN |
| B. | Interior finish shall be: | PRIMED |
| C. | Exterior finish shall be: | CLAD |
| D. | Window glazing shall be: | LOW E |
| E. | Tub or shower shall have tempered glass in all windows. | |
| F. | Screen frame material: | WOOD |
| G. | Window screen material: | ALUMINUM MESH |
| H. | Exterior window molding: | MATCH EXISTING |
| I. | Muntins, if indicated, shall be: | SDL |
| J. | Hardware finish shall be: | SOLID BRASS, FINISH PER OWNER |
| K. | Accessories: | NA |

8. Verify all thickness and window details. Install windows per manufacturer's specifications.
9. Skylights shall have a minimum four inch curb above roof.
10. When new window is intended to match existing conditions, Window Contractor will verify that proposed specification matches existing field conditions.

1. Doors leading from garage to house shall have door sills 4" min. above garage floor. The door opening shall be 1 3/4" solid core wood doors or approved equivalent.

GYPSON DRYWALL:

1. Furnish all materials and labor necessary to provide finished drywall surfaces in all areas specified to receive finish on the construction documents. Tape, spackle, and sand surfaces to receive paint, repeat as required.
2. All drywall over furring and wood studs shall be 1/2" gypsum. Materials shall be standard products manufactured by U.S. Gypsum, National Gypsum, or Gold Bond Gypsum Companies.
3. Install fire-rated gypsum per construction documents and per local codes and ordinances.
4. The garage shall be completely separated from the residence and its attic area by means of 5/8" type "X" gypsum board applied to the garage side at all common walls and ceilings. Where no floor area occurs above the garage, extend gypsum board up common vertical wall face to underside of roof sheathing.
5. Screw drywall directly to studs and joists. Provide backing at corners, ceilings, and bases. Drywall to examine all sub-surfaces before hanging board. Use construction adhesive in all areas.
6. Corners and edges butting other materials to be beaded with galvanized corner and casing bead, mud flush with bead.
7. Use paper or nylon joint tape and feather all joints flush and smooth with U.S.G. Joint compound, fill screw depressions, two coat minimum.
8. Sand all surfaces smooth after applying one coat topping.
9. Gypsum wallboard: ASTM C36-73, "Standard Specification for Gypsum Wallboard", tapered edge type with 1/2" or 5/8" typical thickness. Use Type "X" and/or Type "C" wallboard having Underwriter's Laboratories designation where required or shown to satisfy fire ratings. Gypsum wallboard in areas to receive ceramic tile shall be water resistant. Install "green board" and finish all gypsum wallboard and accessories in strict accordance with the latest published recommendations of the gypsum association.

1. All new drywall and wood shall be primed one coat with oil primer.
2. Drywall to receive two coat minimum flat acrylic latex.
3. Interior woodwork to receive two coat minimum semigloss enamel, unless noted otherwise.
4. All new drywall and wood shall be primed one coat with oil primer.
5. Exterior wood siding to be back-primed with oil-based primer, then painted two coat minimum with acrylic latex finish coats.
6. Garage doors, when required, to be painted minimum two coats flat acrylic latex.
7. All work to be done by skilled mechanics in their trade; materials evenly applied as to be free from all sags, runs, cracks, or other defects. All paint applied on the job with brushes shall be uniformly fowed by a roller

- #### DIVISION 10 - SPECIALTIES

1. Chimney

11. Masonry and factory-built fireplaces shall be equipped with an exterior air supply to assure fuel combustion.
 12. The exterior air intake shall be capable of providing all combustion air from the exterior of the dwelling or from spaces within the dwelling ventilated with outside air, such as crawl or attic spaces. The exterior air intake shall not be located within the garage of the dwelling. The exterior air shall be covered with a corrosion-resistant screen of 1/4" mesh.
 13. The combustion air passageway shall be a minimum of 6 square inches and not more than 55 square inches.
 14. The exterior air inlet can be located in the sides of the firebox chamber, or within 24" of the firebox opening on or near the floor. The inlet shall be closeable and designed to prevent burning materials from dropping into concealed combustible spaces.
- HANDRAILS & GUARD RAILS:**
1. Handrails: Handrails shall be provided on at least one side of stairways of three or more risers and shall be continuous the full length of the stairs and shall extend 6" beyond the top & bottom risers. Handrails shall have a minimum height of 30" and a maximum height of 34", measured vertically from the nosing of the treads to the top rail. Handrails shall be secured to the wall at the top and bottom of the stairs. Handrails shall be installed on landings. Ends of handrails shall be returned or shall terminate in a newel post or safety terminals. Open stairs with a total rise of more than 30" above the floor or grade below shall have guard rails.
 2. Guardrails: Porches, balconies, or raised floor surfaces located more than 30" above the floor or grade below shall have guardrails with a minimum height of 36".
 3. Required guardrails shall have intermediate rails, balusters, or other ornamental closures such that a 4" diameter sphere cannot pass through any opening.
 4. The hand grip portion of the handrails shall not be more than 2 5/8" in cross sectional dimension, or the shape shall provide and equivalent gripping surface. The hand grip portion of handrails shall have a space of not less than 1 1/2" between the wall and the handrail.

1. **Handrails:** Handrails shall be provided on at least one side of stairways of three or more risers and shall be continuous the full length of the stairs and shall extend 6" beyond the top & bottom risers. Handrails shall have a minimum height of 30" and a maximum height of 34", measured vertically from the nosing of the treads to the top rail. Handrails shall be secured to the wall or structure at intervals not to exceed 36". Open stairways with a total rise of more than 30" above the floor or grade below shall have guard rails.

2. Guardrails: Porches, balconies, or raised floor surfaces located more than 30" above the floor or grade below shall have guardrails with a minimum height of 36".
3. Required guardrails shall have intermediate rail, balusters, or other ornamental closures such that a 4" diameter sphere cannot pass through any opening.
4. The hand grip portion of the handrails shall not be more than 2 5/8" in cross sectional dimension, or the shape shall provide an equivalent gripping surface. The hand grip portion of handrails shall have a space of not less than 1 1/2" between the wall and the handrail.

1. Minimum clear headroom shall be 6'-8" in all stairs.
2. A nosing not less than 3/4" but no more than 1 1/4" shall be provided on stairways with solid risers. The riser height & tread depth, and nosing within any flight of stairs shall not exceed the smallest be more than
3. Handrails may project from each side of a stairway a distance of 3 1/2" into the required width.

1. Closet shelving to be melamine-coated panel (MCP) board w/ plastic edges and bored 2" o.c. for adjustable shelves.
2. All shelving units shall be divided so as to allow interchange ability between shelving units and hanging

HEATING NOTES:

1. All HVAC and plumbing work and materials shall be in accordance with the latest edition of the local codes, ordinances, and in compliance with the energy conservation code and local utility company requirements. Provide all labor, materials, and equipment necessary to complete the heating and ventilation work indicated on the construction documents, and required by local codes and ordinances.
2. HVAC shall be bid as part of the general contractor's contract and also as a separate price.
3. HVAC contractor shall provide layout drawings.
4. HVAC contractor shall vent all fans and appliances which require venting.
5. Install all mechanical equipment according to their listings and governing codes.
6. G.C. shall examine the existing heating system and shall advise as to the adequacy of its capacity. G.C. shall propose system modifications to provide adequate heating and air conditioning with consideration given to proper zoning.
8. Included in this section is all work to install kitchen exhaust hoods and room vents.
9. Diffusers, registers, and louvers shall be as approved by the owner or architect in writing. Diffusers and louvers not receiving prior approval shall be replaced at the heating contractor's expense.
10. Where required by governing ordinances, supply ducts to have fiberglass insulation. Exhaust installation shall conform to NFPA 96.
11. Install electronic thermostat complete with all necessary wiring and controls located as indicated on the construction documents. Thermostat shall provide for automatic and manual fan operation & tuned control.
12. Adjust all controls and equipment for proper operation. Lubricate and clean all equipment prior to acceptance by building owner.

- PLUMBING NOTES:

1. All plumbing work and materials shall be in accordance with the latest edition of the local codes, ordinances and in compliance with the energy conservation code and local utility company requirements.
2. Verify location of building leads with approved engineering drawings.
3. Verify location of water meter(s) with General Contractor.
4. Provide 1/4" per foot slope on building drains and branches.
5. Hot water tank shall comply with A.S.H.R.A.E. 90, latest edition. Verify size with owner, developer, or Contractor.
6. Install dielectric union at inlet and outlet of water heater.
7. Fixtures shall be protected against water hammer with air chambers per code.
8. Provide shutoff valves to each individual water service entering the building and each piece of equipment including fixtures.
9. All plumbing fixtures shall limit hot water flow to 3 GPM.
10. Provide cold water rough-in with shut off valve to refrigerator space for ice maker.
11. See specifications or construction documents for further notes and individual fixture specifications.
12. Provide an access panel at all bath and whirlpool areas in accordance with the plumbing code.
13. Plumbing in exterior walls or in areas subject to freezing temperatures shall be protected against freezing by insulation or heat, or both.
14. Verify all plumbing fixtures with Owner prior to ordering.

1. All electrical fixtures and bulbs shall be provided by Electrical Contractor (u.n.o.) and installed by Electrical Contractor.
2. Electrical Contractor shall add to existing electrical capacity, as required, to provide safe and efficient electrical service.
3. Electrical Contractor shall make all electrical connections to appliances, if any.
4. Choice of color and style of outlets, cover plates, etc. shall be by owner and furnished by Electrical Contractor.
5. Provide a complete electrical system as indicated on the construction documents and described herein.
6. Electric work shall comply with the latest national electric code as well as state and local governing codes, including ADA guidelines.
7. Electrical Contractor to pay for all permits and inspections and provide a certificate of inspection.
8. Materials shall be new with manufacturers name printed thereon and UL listed.
9. Identify disconnect switches with laminated phenolic name plates with 1/4" minimum letters
10. Provide power wiring and hookup for each mechanical and kitchen equipment item. Electrical Contractor must provide, and make final connection to equipment control panels (which include pre-wired relays, etc...) Furnish and install all starters which are not furnished as part of the mechanical equipment.
11. The electrical service to the site shall be verified by Electrical Contractor prior to bidding job. Electrical Contractor shall provide conduit, cable, concrete, connections, and other equipment required for an underground electrical system from the power company equipment to the new distribution panel. It shall be the responsibility of the Electrical Contractor to coordinate electrical service entrance work with the power company, securing contracts with the power company for the installation of primary entrance, including charges by the power company in bid and performing work required by power company in accordance with the power company rules and regulations to insure a complete electrical service.
12. Electrical Contractor shall verify power company requirements and charges prior to bidding and include such in the bid.
13. Conduit installed in or below slab shall be galvanized rigid conduit. No conduit larger than 1 1/2" diameter will be installed in a slab.
14. Provide structural steel framework and hanging rods with braces and accessories where required to hold equipment in final position. Provide steel shapes and frames to support wall-mounted equipment where normal wall strength may be inadequate.
15. Electrical devices, motor starters, disconnect switches, etc. shall be supported independent of, and isolated from equipment vibration.
16. Provide electrically-powered smoke detectors on each level (including basement), in each sleeping room outside each separate sleeping area in the immediate vicinity of the bedrooms. Alarm devices shall be interconnected in such a manner that the actuation of one alarm will activate all of the alarms. All smoke alarms shall be listed in accordance with UL 217 and installed in accordance with Sec. R313 Michigan Residential Code 2006
17. See specifications and construction documents for further information.
18. Verify all fixtures with Owner prior to ordering.

PO Box 250650
FRANKLIN, MI 48025
248 851 5022

OBJECT:
COLLON RESIDENCE
26005 CAROL STREET
FRANKLIN, MICHIGAN 48025

PROJECT: CC 260095 FRANK

TITLE: GE

D. L. Francisco

SHEET NO.

A5.2