



32325 Franklin Road, Franklin, Michigan 48025

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VILLAGE OF FRANKLIN
REGULAR COUNCIL MEETING MONDAY, August 14, 2023, 7:00 P.M.
Franklin Village Hall, Broughton House
32325 Franklin Road, Franklin, Michigan 48025

A G E N D A

- I. CALL TO ORDER**
- II. ROLL CALL**
- III. ADOPTION OF AGENDA**
- IV. MINUTES:**
 - A. Regular Meeting of July 10, 2023
- V. PUBLIC REQUESTS AND COMMENTS**
- VI. REPORTS OF VILLAGE OFFICERS AND AGENTS**
 - A. Police Report
 - Creation of Deputy Chief Position
 - B. Fire Report
 - C. Treasurer Report
- VII. SUBMISSION OF CURRENT BILLS**
- VIII. SPECIAL REPORTS**
 - A. President's Report
 - B. Council Report
 - C. Administrator Report
 - Street Sign Maintenance
 - D. Planning Commission Report
 - E. Main Street Franklin Report
- IX. PUBLIC HEARING**
 - A. Amendment to the Chickens and Ducks Ordinance.
- X. OLD BUSINESS**
 - A. Consider the Second and Final Reading to the Amended Chickens and Ducks Ordinance.
 - B. Consider First Reading - Outdoor Lighting Ordinance.
 - C. Consider First Reading - Ordinance to Amend the Zoning Map to Include Certain Properties in the Public Institutional Zoning District.
 - 1. Village Office Property
 - 2. Library
 - 3. Village Green
 - 4. Franklin Church
 - 5. FCA Properties
 - 6. Fire Department
 - 7. Huda School
 - 8. Sledding Hill and Contiguous Village Property
 - 9. Franklin Cemetery
 - 10. Bowden Road Property
 - 11. Franklin Historical Museum
- XI. NEW BUSINESS**
 - A. Consider Proposed Expansion of Historic District.
 - 1. Downtown Area Properties
 - 26425 Wellington, Franklin Church
 - 32325 Franklin Road, Village Owned Property

- 32020 Franklin Road
- FCA Properties
- 2. 26475 Scenic, Lamott Residence
- B. Consider Committee to Work on Paths.
- C. Consider Village Street Name Signs.
 - 1. Branding
 - 2. Style
- D. Consider Asking the Planning Commission to Recommend Potential Locations within the Village for the Relocation of the Pickering Barn.
- E. Consider Referring to Planning the Extenet Systems Application for New Pole to Mount Omni Antenna & Associated Equipment.

XII. ADJOURNMENT

Posted: August 10, 2023

Dana Hughes | Village Clerk

POSTED IN ACCORDANCE WITH PUBLIC ACT 267 (OPEN MEETINGS ACT)

The Village of Franklin will provide necessary, reasonable auxiliary aids and services to individuals with disabilities requiring such services. All requests must be made to the Village Clerk at least five (5) business days before a meeting. Individuals with disabilities requiring auxiliary aids or services should contact the Village in writing at 32325 Franklin Road, Franklin, MI 48025 or by calling the Clerk's Office, at 248-626-9666.

**VILLAGE OF FRANKLIN
REGULAR COUNCIL MEETING
MONDAY, July 10, 2023, at 7:00 PM
Franklin Village Hall, Broughton House
32325 Franklin Road, Franklin, Michigan 48025**

I. CALL TO ORDER

The meeting was called to order by President Bill Lamott, at 7:00 P.M.

II. ROLL CALL

Present: Kathy Erlich, David Goldberg, Mark Hanke, Pam Hansen, David Sahli, Mike Seltzer, and Bill Lamott

Absent: None

Present: Dan Roberts, Police Chief; Tony Averbuch, Fire Chief; Roger Fraser, Village Administrator; Susan Goldstrom, Assistant Administrator; and Peter Gojcaj, Village Attorney

III. ADOPTION OF AGENDA

Motion by Seltzer, seconded by Hanke to adopt the Agenda as presented.

AYES: Erlich, Goldberg, Hanke, Hansen, Sahli, Seltzer, and Lamott

NAYS: None

ABSENT: None

Motion carried.

IV. MINUTES

A. Regular Meeting of June 12, 2023

Motion by Seltzer, seconded by Erlich to adopt the Minutes for the Regular Meeting of June 10, 2023, as presented.

AYES: Erlich, Goldberg, Hanke, Hansen, Sahli, Seltzer, and Lamott

NAYS: None

ABSENT: None

Motion carried.

V. PUBLIC REQUESTS AND COMMENTS

Public Comments were opened by President Bill Lamott at 7:05 PM.

Joe Mastro, non-resident

- He spoke on the condition of the Franklin Post Office. He was looking for Franklin to address the appearance of the post office.

Erlich stated that the Garden Club was working on a way to fix up the appearance of the post office. Hansen stated that the post office is on privately owned land and that maybe Rashida Tlaib could be a potential source of help.

Pete Halick, 26177 West 13 Mile Road

- He stated that there will be a memorial at the Unitarian Church at 11 o'clock, Saturday, July 15th for Betty Lee Hepworth.
- He gave an update on the Pickering Farm, he spoke to Marcia Gershenson, an Oakland County Commissioner last week. She stated that she has funds to move the barn, and the Superintendent of Holly Township also has funds to move the barn, but would like it moved to Holly.

Rich Pirrotta, 31265 Woodside

- He thanked the board for sponsoring the cellular service information session held on June 27th. He spoke about the municipal code and that the Village and stated that the Council can exercise its authority regarding the cellular service. According to the code this would require a special use approval, therefore it would be required to go before the Planning Commission and a Public Hearing held.

Cat Phillips, 31265 Woodside

- She stated that in regard to the public hearing, she would like it to be well noticed in advance of any kind of decision that is in process right now with any of the cellular providers or vendors. Because as part of the public hearing, the citizens should be able to move forward in a direction that might be different and have another option that might be better suited for the community. She would like to see the public hearing be an investigative informational type of hearing and that they receive the materials that will be reviewed at the hearing.

Ankita Vyas, 24501 Franklin Park

- She stated that she was almost hit by a car on the corner of Franklin Park Drive and 13 Mile Road. Her question was does the Village have plans to move the speed detector sign closer to 13 Mile Road?

Public Comments were closed by President Bill Lamott at 7:16 PM.

VI. REPORTS OF VILLAGE OFFICERS AND AGENTS

REPORTS OF VILLAGE OFFICERS AND AGENTS

A. Police Report

Lieutenant Mike Bastianelli

- Bastianelli reported that June was quiet, but noted since the beginning of June auto larcenies of unlocked vehicles are up.
- He informed the Council, the police department is in the progress of planning for Labor Day including securing barricades and segways, the ATVs and the personnel.

- They also have a potential new part-time officer coming aboard, currently they are waiting for him to renew his MCOLES certifications. He is now taking a recertification course.
- He also reminded residents to sign up for the vacation check sheet.

B. Fire Report

Tony Averbuch, Fire Chief

- Tony Averbuch, Fire Chief reviewed with Village Council his submitted report.
- June has been quite busy with 72 runs.
- Due to the forecast of potentially severe weather this week, he is asking everyone to check their generator and make sure the area is clear. That will help protect you from carbon monoxide gas.
- He also suggests investing a little money if your smoke detectors are more than 10 years old. Remember smoke detectors cannot go in the regular garbage. There is a radioactive source within, so hold those for hazardous waste drop off.
- During storms, Chief Averbuch reminded residents that chain link fences can conduct electricity. So, the safest bet is to stay put and do not go out to explore.

C. Treasurer Report

Lance Vainik, Village Treasurer

- Lance Vainik, Village Treasurer reviewed with the Village Council his treasurer's report.
- There were two large entries of \$12,942.01 and \$9,455.19 for various project estimates and assessments the Village paid to Hubbell, Roth and Clark.

VII. SUBMISSION OF CURRENT BILLS

Totals: 7-9-2023	
CATEGORY	SUB TOTALS
General	\$ 115,275.06
Major Streets	\$ 19,903.54
Local Streets	\$ 31,399.79
Police	\$ 92,647.09
Garbage and Rubbish	\$ 105.00
Building Dept.	\$ 20,968.88
Library	\$ -
Street Project	\$ -
Road Millage	\$ -
Sewer Fund	\$ -
Tax Collection	\$ -
Wastewater	\$ 18,210.02
TOTALS	\$ 298,676.06

Discussion:

- Questions regarding Johnson Landscaping invoices, replacing signs, and a luncheon for Rashida Tlaib at the Kreger House.

It was moved by Seltzer, seconded by Hansen to approve the submitted bills.

AYES: Erlich, Goldberg, Hanke, Hansen, Sahli, Seltzer, and Lamott

NAYS: None

ABSENT: None

Motion carried.

VIII. PRESENTATION

A. Franklin Public Library Presentation

Rick David and Susan Stevens presented the Franklin Public Library Presentation to the Village Council.

Discussion followed.

IX. SPECIAL REPORTS

A. President's Report

Lamott received information from DTE regarding the biggest issue in the Village. That is the age of the infrastructure. It will take a lot of time and money to update it. When he spoke to DTE, they were finishing the tree trimming. They anticipate about a 60 to 70% reduction in issues for the Village. They are currently spending money to update the system like creating smaller circuits, so if there is a power outage on that circuit fewer homes will be without power.

B. Council Report

Seltzer stated he was honored to be the ribbon cutter of the new Franklin Judaic Art Studio. It is managed and created by Rabbi Bentzi Geisinsky and family. They will be teaching art courses and allowing kids to experiment in different media.

Erlich was honored to participate in a day-long conference that evaluated Jewish preparedness and resiliency in the event of a terrorist attack. The conference made it clear that a terrorist attack on any one group affects significantly more people than just those targeted.

Erlich also stated she was disappointed in how she was treated at the last Council meeting, after she voiced her concerns on the health risks cell towers posed. The decision to create flyers came from an obligation to educate the residents of the health risks and for them to come to the town hall. She was also concerned about the lack of transparency and believes that subcommittee meetings should be recorded and minutes taken.

Discussion followed.

Items discussed included privacy issues with the legal and personnel committees, will the Clerk be required to attend these meetings, how to record these meetings. It was suggested that minutes be written and submitted to the Clerk.

It was moved by Erlich, seconded by Goldberg to require all subcommittee meetings have minutes taken.

Roll Call Vote:

Erlich	Aye
Goldberg	Aye
Hanke	Aye
Hansen	Aye
Lamott	Aye
Sahli	Aye
Seltzer	Aye

Motion carried.

C. Administrator Report

Fraser stated that the Road Commission invited the administrators from Franklin, Bingham Farms and Beverly Hills to talk with Dennis Koehler and his staff about what the Road Commission has planned for their work activities in our communities. They understand that the reconstruction of Franklin Road from 13 Mile to Northwestern Highway is a priority for the Village. Also, the improvement of the gravel and road maintenance on 14 Mile between Inkster and Franklin Roads.

Discussion followed.

D. Planning Commission Report

Pete Halick, Chairperson

Halick stated that the Planning Commission started reviewing the possible golf cart ordinance. They also reviewed the possible amendments to the Chickens and Ducks Ordinance. Finally, he stated that Anna Cangialosi's and Albert Ludwig's terms expire this month and he would love to see them reappointed.

Discussion followed.

Items discussed included the Master Plan review and a possible Planning Commission workshop.

Action Item: Schedule a Planning Commission Workshop for early September.

E. Main Street Franklin Report

Goldstrom reported that Main Street is busy working on the Summer Block Party. This event will be on Wednesday, August 23rd from 5:30 p.m. to 9:00 p.m.

F. Cellular Service Report

Lamott stated that the cellular service subcommittee has not met since the Town Hall meeting. He also stated that he heard no feedback on the proposal to change the location of the small cell facility at Woodside and 13 Mile Road. He would like to schedule a public meeting. Goldberg announced that he is resigning from the subcommittee. He believes there is nothing more the subcommittee can do.

Discussion followed.

Items discussed included the safety concerns, doing a possible survey and providing residents with a list of things they can do to improve cellular service and whether Franklin's codes are in compliance with State law.

Residents of Woodside

- They stated that they had no problems with their cellular service.

Cat Phillips, 31265 Woodside

- She stated that the Village has options that have not been explored. She stated that the Council, Planning Commission, and the cellular service subcommittee should have looked into multiple resources, that was not done. She mentioned she went to Planning and asked about safety and they asked for her safety information. She stated that the Village has technical people available to volunteer. Her point was the Village does not need a cell tower.

Rich Pirrotta, 31265 Woodside

- He stated that he thinks it is a good idea to dissolve the subcommittee because this matter belongs at the Council level. He also stated the Franklin code is clear. This is a special approval use. It should have been referred to the Planning Commission. Then a public hearing should be scheduled. He believes the public hearing would have been a good way to start gathering concerns of the residents.

Rick David

- He stated that Farmington Hills has a request for three towers. They are not aware of what process will happen at this point, whether it goes to a public hearing or not. But the engineers have reviewed the request.

It was moved by Goldberg, seconded by Hanke to eliminate the cellular service subcommittee.

AYES: Erlich, Goldberg, Hanke, Hansen, Sahli, Seltzer, and Lamott

NAYS: None

ABSENT: None

Motion carried.

Action Item: Gojcaj will review the Village ordinances to check if it is in compliance with the State's 2018 Small Cell Act.

X. OLD BUSINESS

A. Consider Outdoor Lighting Ordinance

Lamott stated that Chris Doozan, the Village Planner, had sent a letter explaining the amendments to the Outdoor Lighting Ordinance. Goldberg provided his comments on the ordinance.

Discussion followed.

Action Item: The Trustees will send in their comments, so they can be incorporated into the First Reading Amendment.

Action Item: Trustee Goldberg will send his comments to Pete Halick and Chris Doozan.

B. Consider Public Institutional Zoning District

Gojcaj suggested that because the Outdoor Lighting Ordinance and Public Institutional Zoning District both involve zoning amendments and require public hearing, the Council may want to set the public hearing for either August or September.

Action Item: Set public hearing date.

Action Item: Gojcaj will research the ability of the Village to change zoning districts and review similar case law.

C. Consider Chickens and Ducks Ordinance

Council discussed the Memo Chris Doozan and Roger Fraser sent. Further discussion was on when to hold a public hearing.

It was moved by Hanke, seconded by Seltzer to approve the First Reading of Possible Amended Chickens and Ducks Ordinance, Sections 612.24(e) Zoning Permit Required with added sentence at the end of subsection (e) and Section 612.24(g)(3)(ii) Coop and Pen Size with added sentence at the end of item (iv).

AYES: Erlich, Goldberg, Hanke, Hansen, Sahli, Seltzer, and Lamott

NAYS: None

ABSENT: None

Motion carried.

XI. NEW BUSINESS

A. Consider the Labor Day Round Up Civic Event Permit.

It was moved by Seltzer, seconded by Hanke to approve the Labor Day Round Up Civic Event Permit.

AYES: Erlich, Goldberg, Hanke, Hansen, Sahli, Seltzer, and Lamott

NAYS: None

ABSENT: None

Motion carried.

B. Consider Reappointments of Citizens to Planning Commission and Historic District Commission.

Items discussed included the DEI recommendation for vacancy, the reappointment process and what happens when their terms expire. This item was postponed until the reappointments could be posted.

Action Item: Dana to post the reappointments to the Planning Commission, Historic District Commission, and the Zoning Board of Appeals.

C. Consider the JenStan Property Title Split.

Goldberg explained that this is a formality. Currently, this property is under one tax ID number. The front part of the property is owned by the Franklin Historical Society, and the back part of the property is owned by the Village of Franklin. So, it should be two separate tax ID numbers. An application must be submitted to the Village and then it goes to Oakland County. The Village normally charges \$300 for this process. He is recommending the Village fee be waived.

It was moved by Seltzer, seconded by Hanke to approve directing the Village Administrator to proceed with completing the title work on the JenStan Property.

AYES: Erlich, Goldberg, Hanke, Hansen, Sahli, Seltzer, and Lamott

NAYS: None

ABSENT: None

Motion carried.

D. Consider Proposed Expansion of Historic District.

Action Item: Postpone proposed expansion of the Historic District to until the August 14th Council meeting.

Action Item: Invite the FCA stakeholders to the August 14th Council meeting.

E. Consider Creating Committee to Work on Paths.

Fraser stated that one of the grants projects the Village has been working on are for sidewalks. Also, the Council has mentioned they want some councilmembers involvement in these projects.

Trustee Hanke and Trustee Sahli both volunteered for this committee.

F. Consider Village Signs

Sahli suggested dividing up the sign issues into smaller sections and start with important issues first. He would like to see proposals of the signs to be removed.

Discussion followed.

Action Item: Have a proposal to remove specific signs for the August 14th Council meeting.

Action Item: Consider design standards for street name signs.

X. ADJOURNMENT

Motion by Seltzer, seconded by all to adjourn the meeting.

AYES: Erlich, Goldberg, Hanke, Hansen, Sahli, Seltzer, and Lamott

NAYS: None

ABSENT: None

Motion carried.

There being no further business, the meeting was adjourned at 9:32 P.M.

William Lamott, President

Dana Hughes, Village Clerk

VILLAGE OF FRANKLIN
OAKLAND COUNTY
MICHIGAN
FRANKLIN - BINGHAM FARMS POLICE DEPARTMENT

32311 FRANKLIN RD
FRANKLIN, MICHIGAN

DANIEL D. ROBERTS
Chief of Police



Telephone
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(248) 538-5450

MONTHLY REPORT
JULY 2023

CALLS FOR SERVICE

	<u>NUMBER</u>	<u>PERCENT</u>	<u>YEAR - TO - DATE</u>	<u>LAST YEAR</u>
BINGHAM FARMS w/S.A.D.:	97	21%	728	791
FRANKLIN	146	32%	1009	927
OTHER	6	2%	68	109
TRAFFIC STOPS ONLY	203	45%	1189	1606
TOTAL:	452	101%	2994	3433

TRAFFIC STOPS BINGHAM FARMS	91		545	N/A
TRAFFIC STOPS FRANKLIN	112		644	N/A
	203		1189	N/A

S.A.D. Only: S.A.D.=Special Assessment District **32** **275** **292**

WRITTEN COMPLAINTS

	<u>NUMBER</u>	<u>PERCENT</u>	<u>YEAR - TO - DATE</u>	<u>LAST YEAR</u>
BINGHAM FARMS	25	48%	151	150
FRANKLIN	21	40%	146	135
S.A.D./OTHER	6	12%	44	61
TOTAL:	52	100%	341	346

BREAKING AND ENTERING/HOME INVASION

RESIDENTIAL

<u>THIS MONTH</u>	<u>YEAR - TO - DATE</u>
0	1
<u>THIS MONTH</u>	<u>YEAR - TO - DATE</u>
<u>LAST YEAR</u>	<u>LAST YEAR</u>
1	1

	<u>DATE</u>	<u>INCIDENT</u>	<u>ADDRESS</u>
BINGHAM FARMS	n/a	n/a	n/a
FRANKLIN	n/a	n/a	n/a

COMMERCIAL

<u>THIS MONTH</u>	<u>YEAR - TO - DATE</u>
0	0
<u>THIS MONTH</u>	<u>YEAR - TO - DATE</u>
<u>LAST YEAR</u>	<u>LAST YEAR</u>
0	1

	<u>DATE</u>	<u>INCIDENT</u>	<u>ADDRESS</u>
BINGHAM FARMS	n/a	n/a	n/a
FRANKLIN	n/a	n/a	n/a
S.A.D.	n/a	n/a	n/a

ARRESTS

	<u>NUMBER</u>	<u>YEAR - TO - DATE</u>	<u>YEAR - TO - DATE 2022</u>
FELONIES	0	2	9
MISDEMEANORS	12	71	95

MISDEMEANOR INCIDENTS

	<u>DATE</u>	<u>INCIDENT</u>	<u>COMMENTS</u>
(A)=Arrest	7/4/2023	23-2567(B)	License/Title/Registration (A)
(B)=Bingham Farms	7/5/2023	23-2585(F)	DWLS OPS License Suspended/Revoked (A)
(F)=Franklin	7/7/2023	23-2612(F)	Operating Under the Influence of Alcohol/Liquor-2nd (A)
(S)=S.A.D.	7/9/2023	23-2625(B)	DWLS OPS License Suspended/Revoked (A)
(O)=Other	7/9/2023	23-2627(S)	Embezzlement - Business Property
	7/10/2023	23-2650(B)	License/Title/Registration (A)
	7/17/2023	23-2765(B)	DWLS OPS License Suspended/Revoked (A)
	7/17/2023	23-2776(B)	DWLS OPS License Suspended/Revoked (A)
	7/19/2023	23-2807(B)	Civil/Friend of the Court Arrest Warrant (A)
	7/20/2023	23-2818(S)	Telephone Used for Harassment, Threats
	7/21/2023	23-2836(B)	License/Title/Registration (A)
	7/25/2023	23-2886(F)	License/Title/Registration (A)
	7/27/2023	23-2929(B)	Reckless Driving
	7/30/2023	23-2986(B)	OPS Violate Restricted License (A)
	7/31/2023	23-2990(B)	Vehicle Registration - Improper/Expired (A)

FELONY INCIDENTS

	<u>DATE</u>	<u>INCIDENT</u>	<u>COMMENTS</u>
(A)=Arrest	7/11/2023	23-2673(F)	Fraud (Other)
(B)=Bingham Farms	7/12/2023	23-2688(S)	Fraud (Other)
(F)=Franklin	7/13/2023	23-2695(S)	Larceny - Parts & Accessories from Vehicle
(S)=S.A.D.	7/16/2023	23-2750(S)	Fraud (Other)
(O)=Other	7/17/2023	23-2767(F)	Fraud - Illegal Use of Credit Card
	7/25/2023	23-2872(B)	Fleeing or Eluding Police

TRAFFIC CITATIONS:

	<u>NUMBER</u>	<u>PERCENT</u>	<u>YEAR - TO - DATE</u>	<u>LAST YEAR-TO-DATE</u>
BINGHAM FARMS/S.A.D.	92	61%	642	788
FRANKLIN	58	39%	337	379
OTHER	0	0%	0	0
TOTAL:	150	100%	979	1167

OTHER MATTERS

	<u>DATE</u>	<u>INCIDENT</u>	<u>COMMENTS</u>
	n/a	na	n/a



Daniel D. Roberts, Chief of Police

8/9/2023

Total for fund 101 GENERAL	79,436.91
Total for fund 202 MAJOR STREETS	14,932.86
Total for fund 203 LOCAL STREETS	11,028.17
Total for fund 207 POLICE	77,502.93
Total for fund 226 GARBAGE & RUBBISH	15,039.49
Total for fund 249 BUILDING DEPARTMENT	9,029.27
TOTAL - ALL FUNDS	206,969.63

Check Date	Bank	Check	Vendor	Vendor Name	Description	Amount
Bank GEN GEN FUND CHECKING						
07/23/2023	GEN	34565	00239	ABSOPURE WATER	WATER BOTTLE REPLACEMENT JUNE 23 - VILLAGE	21.00
07/23/2023	GEN	34566	00215	ALL TRAFFIC SOLUTIONS	SPEED DISPLAY SIGN PER COUNCIL REQUEST	5,532.55
07/23/2023	GEN	34567	00008	ALLEGRA PRINT & IMAGING	BROCHURES - PD	141.31
07/23/2023	GEN	34568	00019	AT & T	COMMUNICATIONS - JULY 23 - VILLAGE HALL	416.97
					COMMUNICATIONS - JULY 23- PD	55.34
						472.31
07/23/2023	GEN	34569	00442	BEIER HOWLETT PC	LEGAL SERVICES - JUNE 2023	4,966.50
07/23/2023	GEN	34570	00028	BLUE CROSS BLUE SHIELD OF MICHIGAN	EMPLOYEE HEALTH INSURANCE - AUGUST 2023	22,198.56
07/23/2023	GEN	34571	00039	CENTURYLINK	LONG DISTANCE SERVICE JULY 2023	2.28
07/23/2023	GEN	34572	00421	CHARTER TWP OF BLOOMFIELD	DISPATCH CONTRACT 6/15/23 -- 7/15/23	4,250.41
07/23/2023	GEN	34573	00042	CINTAS CORPORATION	REPLACEMENT MATS - POLICE DEPT	78.50
07/23/2023	GEN	34574	00049	COMMAND OFFICERS ASSN OF MICHIGAN	UNION DUES - JULY 2023	210.36
07/23/2023	GEN	34575	00316	DETROIT REGIONAL CHAMBER	ASSOCIATE ANNUAL MEMBERSHIP	199.00
07/23/2023	GEN	34576	00062	DTE	ENERGY JUNE 2023 KREGER	48.12
					ENERGY JUNE 2023 SIGNAL	68.15
					ENERGY JUNE 2023 VILLAGE HALL	196.00
					ENERGY JUNE 2023 POLICE	690.30
						1,002.57
07/23/2023	GEN	34577	00063	ECONO SIGNS	REPLACEMENT SIGN - VINCENNES	58.77
07/23/2023	GEN	34578	00073	FRANKLIN AUTO SERVICE LLC	LOF - UNIT 9-2	79.78
					LOF - UNIT 9-4	67.09
					LOF - UNIT 9-1	139.78
					LOF - UNIT 9-3	67.40
						354.05
07/23/2023	GEN	34579	00351	HURON VALLEY GUNS	UNIFORM BOOTS	224.99
					CARGO PANTS	89.99
						314.98

07/23/2023	GEN	34580	00108	JOHNSON LANDSCAPING, INC	MOWING/STORM CLEANUP/SIGN REPAIRS/FERTIL	27,151.89
07/23/2023	GEN	34581	00110	K & M LEASING	CANON LEASE W/COPIES - POLICE	79.00
					CANON LEASE W/COPIES - VILLAGE HALL	171.00
						250.00
07/23/2023	GEN	34582	00296	KIMBERLY BONACORSI	HRA REIMBURSEMENT JUNE 2023	1,196.06
07/23/2023	GEN	34583	00129	MCKENNA ASSOCIATES, INC	PROFESSIONAL SVCS - P&Z JUNE 2023	680.00
07/23/2023	GEN	34584	00165	OFFICE DEPOT	BATTERIES/PENS/PAPER TOWELS - VH	220.21
					ENVELOPES - VH	82.99
						303.20
07/23/2023	GEN	34585	00473	OWEN TREE SERVICE	EMERGENCY STORM WORK - JUNE 2023	2,137.50
07/23/2023	GEN	34586	00174	ROAD COMMISSION FOR OAKLAND COUNTY	2023 CHLORIDE PROGRAM	983.43
					SIGNAL MAINTENANCE JUNE 2023	758.18
						1,741.61
07/23/2023	GEN	34587	00357	SAVATREE, LLC	TREE ASSESSMENT	250.00
07/23/2023	GEN	34588	00297	SOCRRA	HHW DISPOSAL - JUNE 2023	35.00
07/23/2023	GEN	34589	00190	SUNSET MAINTENANCE LLC	JANITORIAL SERVICES KREGER/VH/RESTROOMS	1,214.00
					JANITORIAL SERVICES - JUNE 23 POLICE	220.00
						1,434.00
07/23/2023	GEN	34590	00244	THOMSON REUTERS - WEST	ONLINE/SOFTWARE SUBSCRIPTION - POLICE MAY 2023	324.61
					ONLINE/SOFTWARE SUBSCRIPTION - JULY 2023	324.61
						649.22
07/23/2023	GEN	34591	00196	VIGILANTE SECURITY, INC.	DMP INTERNET MONITORING - JULY-OCT 23 VH	75.03
07/23/2023	GEN	538(E)	00004	ADP	PAYROLL PROCESSING FEE (ADMIN) PPE 06/30/23	65.94
					PAYROLL PROCESSING FEE (POLICE) PPE 05/05/23	80.11
					PAYROLL PROCESSING FEE (ADMIN) PPE 04/21/23	67.80
					PAYROLL PROCESSING FEE (POLICE) PPE 06/30/23	80.11
					PAYROLL PROCESSING FEE (ADMIN) PPE 06/30/23	60.25

PAYROLL PROCESSING FEE (ADMIN) PPE 07/14/23	65.94
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420.15

07/23/2023	GEN	539(E)	00048	COMCAST CABLE	INTERNET VILLAGE HALL JULY 2023	286.22
07/23/2023	GEN	540(E)	00517	VERVE CLOUD, INC	VOIP MONTHLY SERVICES - VH JULY 2023	307.20
07/23/2023	GEN	541(E)	00414	WEX BANK	FUEL (SPEEDWAY) POLICE JUNE 2023	584.14
08/03/2023	GEN	34592	00239	ABSOPURE WATER	WATER BOTTLE REPLACEMENT PD	73.60
08/03/2023	GEN	34593	00034	BROWNELLS, INC.	GUN CLEANING SUPPLIES	25.49
08/03/2023	GEN	34594	00035	BS&A SOFTWARE	ANNUAL SOFTWARE SUPPORT FEE	2,953.00
08/03/2023	GEN	34595	00449	CCAP AUTO LEASE LTD	LEASE PAYMENT- PD VEHICLE JULY 2023	349.00
08/03/2023	GEN	34596	00421	CHARTER TWP OF BLOOMFIELD	DISPATCH CONTRACT MARCH 2023	4,250.41
08/03/2023	GEN	34597	00042	CINTAS CORPORATION	REPLACEMENT MATS - POLICE DEPT	78.50
08/03/2023	GEN	34598	00046	COMCAST	INTERNET - POLICE AUG 2023	139.47
08/03/2023	GEN	34599	00049	COMMAND OFFICERS ASSN OF MICHIGAN	UNION DUES - AUG 2023	210.36

08/03/2023	GEN	34600	00051	CONSUMERS ENERGY	ENERGY - POLICE 6/23/23-7/21/23	81.04
					ENERGY VILLAGE HALL 6/23/23-7/21/23	44.46
					ENERGY KREGER 6/23/23-7/21/23	42.02

167.52

08/03/2023	GEN	34601	00507	ELECTRONIC TECH SOLUTIONS LLC	MONTHLY IT SUPPORT (ANTIVIRUS, MALWARE,	336.00
08/03/2023	GEN	34602	00079	GALLS, LLC	PEPPER SPRAY HOLDERS	45.89
					RUCK PACK - PD	158.24

204.13

08/03/2023	GEN	34603	00082	GFL	RESIDENTIAL HAND PICK UP AUGUST 2023	14,828.90
					FRONT LOAD TRASH PICKUP-POLICE AUGUST 20	175.59

15,004.49

08/03/2023	GEN	34604	00009	GLASS LAW GROUP PA	LEGAL SERVICES JUNE 2023	595.00
08/03/2023	GEN	34605	00338	GREAT LAKES SEGWAY	SEGWAY RENTAL FOR LABOR DAY EVENT	575.00
08/03/2023	GEN	34606	00095	HEATHER MYDLOSKI LLC	MONITORING & CONTENT RESEARCH - JULY 202	575.00
08/03/2023	GEN	34607	00096	HUBBELL, ROTH & CLARK, INC	BALSAM DRAINAGE REVIEW	650.63
08/03/2023	GEN	34608	00351	HURON VALLEY GUNS	BOOTS	227.98
08/03/2023	GEN	34609	00106	JERRY L HOBSON	PLUMBING & MECHANICAL INSPECTIONS JULY 2	1,128.13

08/03/2023	GEN	34610	00110	K & M LEASING	CANON LEASE W/COPIES - POLICE AUG 2023	79.00
					CANON LEASE W/COPIES - VILLAGE HALL	171.00

						<u>250.00</u>
08/03/2023	GEN	34611	00418	LAND'S END BUSINESS OUTFITTERS	POLOS/PANTS - DETECTIVE	260.46
08/03/2023	GEN	34612	00115	LEADER BUSINESS	COPIER LEASE /COPIES VILLAGE HALL	160.73
08/03/2023	GEN	34613	00234	MERS	MERS CONFERENCE REGISTRATION-S GOLDSTROM	255.00
08/03/2023	GEN	34614	00138	MICHIGAN MUNICIPAL RISK MANAGEMENT	GENERAL FUND CONTRIBUTION FY 23-24	39,824.50
					RETENTION FUND CONTRIBUTION FY 23-24	<u>9,000.00</u>
						48,824.50
08/03/2023	GEN	34615	00150	NYE UNIFORM	TWILL PANTS/FLASHLIGHT/BOOTS	424.00
08/03/2023	GEN	34616	00165	OFFICE DEPOT	FILE FOLDERS/SORTER	31.61
					POSTERS FOR CELLPHONE TOWN HALL	91.96
					CELL PHONE POSTER	22.99
					OFFICE SUPPLIES - PD	237.73
					TONER/DUST CAN	72.23
					TONER/FOLDERS/MEMO BOOKS/POSTAGE - PD	<u>151.08</u>
						607.60
08/03/2023	GEN	34617	00166	ORKIN PEST CONTROL	INSECT/RODENT CONTROL VILLAGE HALL 3RD Q	192.99
08/03/2023	GEN	34618	00169	POLICE OFFICERS ASSOCIATION	UNION DUES JULY 2023	485.84
					UNION DUES - AUG 2023	<u>485.84</u>
						971.68
08/03/2023	GEN	34619	00173	REYNOLDS WATER CONDITIONING CO	SALT DELIVERY	88.60
08/03/2023	GEN	34620	00430	ROGER FRASER	MAIN STREET WORK LUNCH W/PAM H & SUSAN G	94.99
08/03/2023	GEN	34621	00177	RON SHELTON	ELECTRICAL INSPECTIONS JULY 2023	1,533.51
08/03/2023	GEN	34622	00293	ULINE	RADIO CONTROLLED WALL CLOCK	119.73
08/03/2023	GEN	34623	00490	VC3 INC.	MS OFFICE 365 SUBSCRIPTION (PD) JULY 20	52.00
08/03/2023	GEN	34624	00195	VERIZON WIRELESS	CELL SERVICE JUN-JULY 2023	122.85
08/03/2023	GEN	34625	00198	WILLIAM DINNAN	BUILDING OFFICIAL DUTIES JULY 2023	4,460.00
08/03/2023	GEN	542(E)	00004	ADP	PAYROLL PROCESSING FEE (POLICE) PPE 07/1	85.52
					PAYROLL PROCESSING FEE (ADMIN) PPE 07/28	<u>65.94</u>
						151.46
08/03/2023	GEN	543(E)	00029	BP PRODUCTS NORTH AMERICA	FUEL (POLICE) JUNE 2023	1,684.63

08/03/2023	GEN	544(E)	00030	BP PRODUCTS NORTH AMERICA	FUEL (FIRE DEPT) 6/14/23-7/13/23	686.94
08/03/2023	GEN	545(E)	00047	COMCAST	INTERNET KREGER HOUSE - AUG 2023	191.91
08/03/2023	GEN	546(E)	00403	FIDELITY SECURITY LIFE INS CO	VISION INSURANCE JULY 2023	278.38
08/03/2023	GEN	547(E)	00234	MERS	EMPLOYEE/EMPLOYER CONTRIBUTIONS JULY 202	40,659.59
08/03/2023	GEN	548(E)	00452	POINT & PAY	MONTHLY SERVICE FEE JUNE 2023	50.00

GEN TOTALS:

Total of 72 Checks:	206,969.63
Less 0 Void Checks:	0.00
Total of 72 Disbursements:	206,969.63



32325 Franklin Road, Franklin, Michigan 48025

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**VILLAGE OF FRANKLIN
OAKLAND COUNTY, MICHIGAN
NOTICE OF PUBLIC HEARING**

Monday, August 14, 2023, at 7:00 PM

NOTICE IS HEREBY GIVEN that the Village of Franklin Village Council will hold a Public Hearing on Monday, August 14, 2023, at 7:00 PM during the regularly scheduled meeting of the Village Council. The Public Hearing will be held in the meeting room at the Village of Franklin Hall (Broughton House) located at 32325 Franklin Road, Franklin, Michigan 48025.

The public hearing will be held for the purpose of receiving public comments on proposed amendments to Part Six, Chapter 612, titled **Animals**, Section 612.24, titled **Chickens and Ducks**.

A complete copy of the proposed amendments is available at the Village Hall. Any questions regarding the amendments should be directed to the Village Clerk, Dana Hughes, (248) 626-9666. If you have any comments regarding the amendments, you may attend the meeting in person or submit your written comments prior to the meeting to the Village Clerk's Office at the above address.

Posted: August 10, 2023

Dana Hughes, Village Clerk



32325 Franklin Road, Franklin, Michigan 48025

FAX: (248) 626-0538

(248) 626-9666

www.franklin.mi.us

MEMORANDUM

To: Franklin Village Council
From: Dana Hughes, Village Clerk
Subject: Regulations Governing Chickens and Ducks
Date: August 10, 2023

Revisions approved by Village Council at the First Reading to Amending the Chickens and Ducks Ordinance on July 10th, 2023.

1. **Section 612.24(e) Zoning Permit Required.** *Add the following sentence at the end of subsection (e):*

The application for a zoning permit shall be accompanied by a plot plan that shows the location and dimensions of the coop and pen in proximity to property lines, dwellings, and potable water wells.

- ~~2. **Section 612.24(g)(3)(ii) Location and Setbacks.** *Add subitem (d) as follows:*~~

~~d. Coops shall be set back a minimum of ten (10) feet from any potable water well. (Removed by Council on July 10th)~~

3. **Section 612.24(g)(4)(iv) Coop and Pen Size.** *Add the following sentence at the end of item (iv):*

Coops shall not exceed one hundred (100) square feet in area and six (6) feet in height.



Regulations Governing Chickens and Ducks

VILLAGE OF FRANKLIN, MICHIGAN

RECOMMENDED TO VILLAGE COUNCIL ON
DECEMBER 14, 2022

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CHAPTER 1268
Supplementary Regulations
SECTION 1268.26
Animals

PROPOSED REVISIONS TO SECTION 1268.26, ANIMALS

Amend Section 1268.26 to read as follows:

1268.26 ANIMALS

Residents of the Village of Franklin may keep certain animals on their property subject to the regulations in this Section.

- (a) No livestock shall be kept or maintained in any zoning district, except for horses pursuant to the regulations in Section 612.22, and chickens and ducks pursuant to the regulations in Section 612.24.
- (b) For each dwelling unit the occupant may keep for his or her personal use domestic pets provided they are not kept or used for commercial or breeding purposes and do not constitute a kennel, subject to applicable Village ordinances, including Chapter 612 of these Codified Ordinances.

PROPOSED REVISIONS TO CHAPTER 612, ANIMALS

Amend Chapter 612 by adding a new Section 612.24, Chickens and Ducks, which would read as follows:

612.24 CHICKENS AND DUCKS

- (a) Introduction.
Chickens and ducks may be kept on residential parcels or lots as an accessory to a principal permitted single family residential use, subject to the regulations in this section.

The regulations in this section apply to residential parcels or lots that are zoned R-E, Estate Residential District, R-L, Large Lot Residential District, R-M, Modified Low Density Residential District, R-1, Low Density Residential District, R-2, Medium Low Density Residential District, and R-3, Medium Density Residential District.

The Village of Franklin recognizes the benefits of locally produced agricultural products. The adoption of these regulations is intended to legalize the keeping of chickens and ducks in a responsible manner.
- (b) Purpose. The regulations in this section are intended to establish the conditions under which chickens and ducks may be kept in certain residential areas of the Village of Franklin. Some residents wish to raise chickens and ducks because of a desire for healthier dietary practices, community sustainability and resilience, and greater access to safe and healthy food options. Concerns about disease and pestilence exist when farm animals and people live in proximity. Nuisance concerns also exist, due to odors, noises, and other impacts associated with farm animals. The regulations in this section are intended to address these concerns, allow chickens and ducks on residential parcels and lots, and minimize social conflict and public health impacts.
- (c) Private, Non-Commercial Use. Chickens and ducks kept and maintained under this section shall be for private, non-commercial use only.

- (d) Sanitary Requirements; Nuisances. It is unlawful and shall be considered a nuisance for any person to keep or maintain, or allow to be kept or maintained, upon any premises owned, controlled, or occupied by the person, any chickens or ducks that are in foul, obnoxious, malodorous, or filthy conditions or that may become detrimental to the public health, safety, and welfare. All places where chickens or ducks are kept shall be maintained in sanitary condition and shall be cleaned as often as necessary to avoid being a nuisance.
- (e) Zoning Permit Required. A person intending to keep chickens or ducks on a residential parcel or lot shall obtain a zoning permit from the Village prior to acquiring the chickens or ducks. By signing the permit application, the applicant attests that he/she will abide by all the regulations contained herein for as long as the chickens or ducks are kept. A zoning permit for the keeping of chickens or ducks shall not be transferrable from one property owner to another. The Village may revoke a permit granted under this subsection upon finding of noncompliance with the requirements set forth herein.
- (f) Applicability of Private Restrictions. Notwithstanding the regulations set forth in this section, private restrictions on the use of property for keeping of farm animals shall remain enforceable. Private restrictions include, but are not limited to, deed restrictions, restrictions in condominium master deeds and bylaws, subdivision association bylaws, and covenant deeds. The interpretation and enforcement of private restrictions is the sole responsibility of the private parties involved.
- (g) Regulations for Keeping Chickens and Ducks. The keeping of chickens and ducks is permitted, subject to the following regulations:
- (1) **Gender.** Only female chickens (hens) shall be kept on residential parcels or lots. For example, keeping of mature roosters is prohibited. Both drakes (male ducks) and hen ducks may be kept.
 - (2) **Number of Birds.** The following chart indicates the maximum number of birds permitted on a parcel or lot:

Size of Parcel or Lot	Maximum Number of Hens or Drakes
Less than ½ acre	6
½ acre to 1 acre	12
Each additional ½ acre	Up to 6

(3) **Location and Setbacks.**

- i. Facilities and structures related to the keeping of chickens and ducks shall be located to the rear of the residence.
- ii. Coops and pens (as defined in item (4) below) in all districts shall comply with the following setbacks:
 - a. Coops and pens shall comply with the minimum front yard setback requirements for principal structures specified in the Schedule of Regulations, Appendix B.
 - b. Coops and pens shall be set back a minimum of thirty (30) feet from side and rear property lines.
 - c. Coops and pens shall be set back a minimum of fifty (50) feet from any building on an adjacent property used as a dwelling.
 - d. Coops and pens shall be set back a minimum of twenty (20) feet from the applicant's residence.
- iii. Manure storage facilities shall be located to the rear of the residence and set back a minimum of fifty (50) feet from all property lines.

(4) **Coop and Pen Design.** A **coop** (also called a henhouse) is a completely enclosed structure that provides shelter for chickens and ducks. A **pen** is a fenced enclosure, typically attached to the coop, that is mostly open to the elements, that allows the chickens and ducks to leave the coop while remaining in a predator safe environment. The coop and pen shall comply with the following specifications:

- i. Materials. Coops and pens must be constructed of durable, weather-resistant materials. The use of corrugated metal or fiberglass, sheet metal, plastic tarps, scrap lumber, or similar materials that would detract from the appearance of the property and neighborhood shall be prohibited.
- ii. Elevation of Structures. The coop shall be designed to prevent rodents or other animals from being harbored underneath, inside, or within the walls of the structure. One method of achieving this is by elevating the coop at least eighteen (18) inches above grade.
- iii. Coop Features. Coops shall have a roof and doors that can be tightly secured. They shall be readily accessible for cleaning. They shall be properly ventilated and have adequate sunlight.
- iv. Coop and Pen Size. Each chicken or duck must have a minimum of three (3) square feet of space in the coop and ten (10) square feet in the pen.
- v. Pen Height. If the pen is not covered, then it must be at least forty-two (42) inches in height and the birds' wings must be clipped to prevent them from leaving the pen.
- vi. Cleaning Requirements. Coops and pens shall be cleaned regularly to prevent accumulation of food, fecal matter, and nesting material that would create a nuisance or unsanitary conditions due to odor, vermin, debris, or decay.

(5) **Additional Regulations.**

- i. Feed Storage. Feed shall be stored in sealable containers to prevent access by rodents or other animals.
- ii. Containment. Chickens and ducks shall be always kept inside a pen and must be shut in their coop from sunset to sunrise. However, the birds may be allowed to roam outside of the pen during daylight hours provided a person is present with the birds at all times and the birds are kept in the rear or side yard.
- iii. Sales. Selling of chickens and eggs on-site is prohibited.
- iv. Slaughtering. Slaughtering of chickens and ducks within Village boundaries is prohibited.
- v. Removal of Dead Birds. Dead chickens and ducks and waste eggs shall be promptly bagged and disposed of.
- vi. Manure Storage and Removal. Stored manure shall be placed in a fully enclosed container. No more than three (3) cubic feet of manure shall be stored. All other manure not used for composting or fertilizing shall be removed from the site.



MCKENNA

May 4, 2023

Village Council
Village of Franklin
32325 Franklin Road
Franklin, Michigan 48025

Subject: Outdoor Lighting Regulations

Dear Council Members:

On behalf of the Planning Commission, I am pleased to submit to you for your consideration an updated version of the proposed Outdoor Lighting Ordinance for the Village of Franklin. This version has been substantially revised to address the recommendations offered by Trustee David Sahli.

Because of the scope of revisions, a second public hearing was required, which was held on March 15th. There were no public comments. Following the public hearing, the Planning Commission voted unanimously to forward the Ordinance to the Village Council for approval.

The proposed Ordinance was further reviewed and revised at a subcommittee meeting held on May 4, 2023, attended by Village President Bill Lamott, Planning Commission Chair Peter Halick, Trustee David Sahli, Planning Commissioner Nick Bevins, and myself.

If you have any questions regarding the Ordinance, please feel free to contact me.

Respectfully submitted,

McKENNA

Christopher J. Doozan, AICP
Community Planning Consultant

c: Roger Fraser, Village Administrator
Dana Hughes, Village Clerk
Peter Halick, Planning Commission Chairman
Peter Gojcaj, Village Attorney

HEADQUARTERS
235 East Main Street
Suite 105
Northville, Michigan 48167

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Outdoor Lighting Ordinance

VILLAGE OF FRANKLIN, MICHIGAN

REVISION PREPARED ON MAY 4, 2023 BY

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CHAPTER 1470

Outdoor Lighting

1470.01 FINDINGS

Adequate outdoor lighting is necessary for safety and security. However, improper use of outdoor electric lighting can cause light pollution, disrupting people's enjoyment of their surroundings. Research has shown that some types of lighting can harm human health and disrupt wildlife. Some types of lighting, such as lighting that creates glare, causes visual discomfort and may even reduce visibility. The goals of Chapter 1470 are to set forth regulations that permit essential outdoor lighting that promotes safety and security but discourage use of lighting that is detrimental to the public health, safety, and welfare.

1470.02 PURPOSE

The purpose of Chapter 1470 is to provide regulations for outdoor lighting that will:

- (a) Permit the use of outdoor lighting needed for nighttime safety, utility, security, productivity, enjoyment, and commerce.
- (b) Minimize adverse off-site impacts of outdoor lighting, such as light trespass and glare.
- (c) Curtail light pollution, reduce sky glow, and improve the ambience of the nighttime environment.
- (d) Protect the natural environment from the adverse effects of night lighting.
- (e) Conserve energy to the greatest extent possible.

1470.03 APPLICABILITY

All outdoor lighting installed after the effective date of this Ordinance shall comply with the requirements set forth herein, except as noted. This includes, but is not limited to, new lighting, replacement lighting (including changing from one type or intensity of bulb or lamp to another), or any other lighting whether attached to a building or structure, pole, the earth, or any other location, including lighting installed by any third party.

1470.04 DEFINITIONS

Words and phrases used in Chapter 1470 shall have the meanings set forth below.

Bulb (or Lamp): The source of electric light (to be distinguished from the whole assembly, which is called the luminaire). "Lamp" is often used to denote the bulb and its housing.

Canopy: A covered structure that is open on its sides for vehicular or pedestrian access (e.g., a gas station canopy).

Filtered Fixture: A light fixture that has a glass, acrylic, or translucent enclosure to filter the light.

Fixture: The assembly that holds the lamp in a lighting system. The fixture includes the elements designed to give light output control, such as a reflector (mirror), refractor (lens), ballast, housing, and the attachment parts.

Floodlight: A fixture or lamp designed to flood an area with light.

Footcandle: A unit of measure expressing the quantity of light received on a surface. One footcandle is the illuminance produced by a candle on a surface one-foot square from a distance of one foot. A light meter provides the most reliable means of measuring footcandles.

Fully Shielded Fixture: An outdoor lighting fixture that is shielded or constructed so that light emitted is projected onto the site and away from adjoining properties. The bulb or other light source of a fully shielded fixture is not visible from adjoining properties.

Glare: Visual conditions in which there is excessive contrast or an inappropriate distribution of light sources that disturbs the observer or limits the ability to distinguish details and objects.

High Pressure Sodium (HPS) Lamp: High-intensity discharge lamp where radiation is produced from sodium vapor at relatively high partial pressures (100 torr).

Incandescent Lamp: A lamp that produces light by a filament heated to a high temperature by electric current.

Laser Light Source: An intense beam of light, in which all photons share the same wavelength.

LED Light: A light fixture that uses a light-emitting diode, which is a semi-conductor diode that emits light when conducting electrical current.

Light Pollution: Any adverse effect of artificial light including, but not limited to, glare, light trespass, sky glow, energy waste, compromised safety and security, and adverse impacts on the nocturnal environment.

Light Trespass: Light that falls beyond the boundary of the property it is intended to illuminate (also called spill light).

Lighting Uniformity: The human perception of even distribution of light throughout a given area.

Low Pressure Sodium (LPS) Lamp: A discharge lamp where the light is produced by radiation from sodium vapor at a relatively low partial pressure (about 0.001 torr). A LPS lamp produces monochromatic light.

Lumen: A measure of the total quantity of visible light emitted by a source per unit of time.

Luminaire: The complete lighting unit (fixture), consisting of a lamp, or lamps and ballasts (when applicable), together with parts designed to distribute the light (reflector, lens, diffuser), position and protect the lamps, and connect the lamps to a power supply.

Mercury Vapor Lamp: A high-intensity discharge lamp where the light is produced by radiation from mercury vapor.

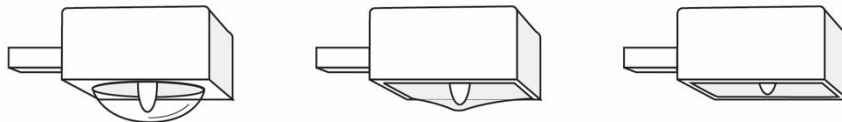
Metal Halide Lamp: A high-intensity discharge mercury lamp where the light is produced by radiation from metal halide vapors.

Mounting Height: The height of the photometric center of a luminaire above grade level.

Non-Essential Lighting: Outdoor lighting which is not required for safety or security purposes.

Ornamental Lighting: A luminaire that is used to illuminate streets, driveway entrances, sidewalks, or building entrances, that serves a decorative function as well. Such lighting typically has a historical or decorative appearance, along with the following characteristics:

- It is designed to mount on a pole using an arm, pendant, or vertical component;
- It has an opaque or translucent top and/or sides;
- It has an optical aperture that is either open or enclosed with a flat, sag, or drop lens (see illustrations); and
- It is mounted in a fixed position.



Drop-Lens, Sag-Lens, and Flat Lense Fixtures

Recessed Canopy Fixture: An outdoor lighting fixture recessed into a canopy ceiling so that the bottom of the fixture is flush with the ceiling.

Shielded Directional Luminaire: A luminaire that has an adjustable mounting device that allows it to be aimed in any direction and also has a shield, louver, or baffle to block direct view of the lamp.

Sky Glow: The brightening of the nighttime sky that results from scattering and reflection of artificial light by moisture and dust particles in the atmosphere. Sky glow is caused by light directed or reflected upward or sideways. Sky glow reduces one's ability to view the night sky.

1470.05 GENERAL REQUIREMENTS

The requirements in this Section apply to ~~residential and nonresidential~~ all lighting throughout the Village, except for lighting that is identified as exempt in Section 1470.07.

- (a) Fixture Orientation and Shielding. Unless otherwise noted herein, lighting fixtures shall be focused downward and shall be fully shielded to prevent glare and sky glow and to minimize light trespass beyond the property it is intended to illuminate ~~onto adjoining properties~~. Full cut-off fixtures shall be used to prevent light from projecting above a ninety degree (90°) horizontal plane (see illustration at end of Chapter 1470).

- (b) Light Trespass at the Property Line. The intensity of light on a site shall not exceed two-tenths (0.2) of a footcandle at any property line that abuts a residentially zoned property and one-half (0.5) of a footcandle at any other zoned property.
- (c) Uplighting. Uplighting of buildings and trees for aesthetic purposes shall be confined to the target surfaces to prevent sky glow.
- (d) Mounting Height. Lighting fixture mounting height shall not exceed twenty-two (22) feet.
- (e) Color Correction. Only fixtures with a Correlated Color Temperature (CCT) equal to or less than 3,000 Kelvin shall be permitted.
- (f) Ornamental Lighting. The orientation and shielding requirements shall be waived for ornamental lighting, as defined herein, if the Village enforcement official determines that the fixture will comply with the illumination levels specified in this subsection or in Table 1 in Section 1470.06, and will not cause glare.

1470.06 NONRESIDENTIAL LIGHTING REQUIREMENTS

The requirements in this Section apply only to nonresidential lighting throughout the Village.

- (a) Illumination Levels. Nonresidential lighting shall comply with the illumination levels specified in the following Table 1.

Table 1: Maximum Illumination Levels

Location	Average Maximum Maintained Footcandles
Infrequently Used Pedestrian Entrances	1.0
Active Pedestrian Entrances	5.0
Low Activity Parking Areas	3.0
High Activity Parking Areas	5.0
Loading Areas	5.0

- (b) Uniformity Ratio. In order to attain lighting uniformity, the ratio between average lighting levels to the average maximum lighting levels shall not exceed 4:1.
- (c) Canopy Lights. Light fixtures mounted on the underside of a canopy or similar structure shall be fully recessed into the canopy.

1470.07 EXEMPTIONS

The following outdoor lighting shall be exempt from the regulations in Chapter 1470:

- (a) Fossil Fuel Light. Fossil fuel light produced directly or indirectly from the combustion of natural gas or other utility-type fossil fuels (e.g., gas lamps) is exempt from the regulations in this Chapter.
- (b) Temporary Lighting for Carnivals, Fairs, or Civic Uses. Lighting for temporary carnivals, fairs, or civic uses permitted by the Village Council is exempt from the regulations in this Chapter.

- (c) Construction and Emergency Lighting. Temporary lighting necessary for construction or emergency purposes is exempt from the regulations in this Chapter provided that it is discontinued immediately upon completion of the construction or abatement of the emergency.
- (d) Lighting for Public Monuments. Lighting for public monuments, statuary, or historical markers is exempt from the regulations in this Chapter.
- (e) Flag Lighting. Lighting of flags is exempt from the regulations in this Chapter provided that the flag lighting fixtures produce a maximum light output of 500 lumens, with a narrow beam ranging between 15 and 25 degrees, that is focused directly on the flag.
- (f) ~~Lighting in a Public Right-of-Way. Lighting erected by a public agency within a public right-of-way or easement is exempt from the regulations in this Chapter.~~
- (g) Temporary Low Illuminance Seasonal Lighting. Temporary low illuminance lights used for seasonal display (e.g., holiday lights) are exempt from the regulations regarding fixture orientation and shielding, mounting height, and color correction in this Chapter. High intensity lights are prohibited, as stated in Section 1470.08.

1470.08 PROHIBITED LIGHTING

The following outdoor lighting shall be prohibited in the Village of Franklin:

- (a) High Intensity Lights. Laser lights, strobe lights, searchlights, and any other similar lights shall be prohibited for lighting, advertising, or entertaining purposes.
- (b) Flashing and Moving Lights. Flashing, moving, and intermittent lighting. Nothing in this subsection is intended to prohibit motion-activated lights or lights otherwise exempted by Section 1470.07(g).
- (c) Unshielded Lights. Because of the inability to shield them, barn lights, non-shielded wall packs, and floodlights not aimed downward are prohibited (see Illustrations 1 and 2 at end of Chapter 1470).

1470.09 SIGN LIGHTING

Illuminated signs shall comply with the regulations in Section 1474.14 (the Sign Code).

1470.10 APPROVAL PROCESS

Approval of proposed outdoor lighting shall be required in the following circumstances:

- (a) Nonresidential Lighting where Site Plan Review Is Required. Where site plan review is required (e.g., new development, redevelopment, substantial renovation), proposed outdoor lighting shall be subject to site plan review and approval, pursuant to Section 1268.30. The following information shall be included on or with the site plan:
 - (1) Locations of all outdoor lighting fixtures.
 - (2) Photometric grid overlaid on the site plan indicating the level of illumination throughout the site in footcandles.
 - (3) Manufacturer's specification sheet for each type of proposed fixture.

- (b) Nonresidential Lighting where Site Plan Review Is Not Required. Where site plan review is not required (e.g., lighting replacement only—no other proposed improvements), proposed replacement outdoor lighting shall be subject to review by the Building Official or Electrical Inspector. The following information shall be included on or with the application for a permit:
- (1) Locations of all outdoor lighting fixtures.
 - (2) Manufacturer's specification sheet for each type of proposed fixture.
- (c) Residential Lighting—New Home. Proposed outdoor lighting for a new home shall be subject to review by the Building Official or Electrical Inspector. The following information shall be included on or with the application for a building or electrical permit:
- (1) Locations of all outdoor lighting fixtures.
 - (2) Manufacturer's specification sheet for each type of proposed fixture.
- (d) Residential Lighting—Existing Home. Where the Building or Electrical Codes require a permit, proposed replacement lighting for an existing home shall be subject to review by the Building Official or Electrical Inspector. The following information shall be included on or with the application for a building or electrical permit:
- (1) Locations of proposed replacement outdoor lighting fixtures.
 - (2) Manufacturer's specification sheet for each type of proposed fixture.

Where the Building or Electrical Codes do not require a permit, replacement lighting shall nevertheless comply with the regulations in this Chapter.

1470.11 ILLUSTRATIONS

- (a) Pursuant to Section 1470.05(a), full cut-off fixtures shall be used to prevent light from projecting above a ninety degree (90°) horizontal plane.

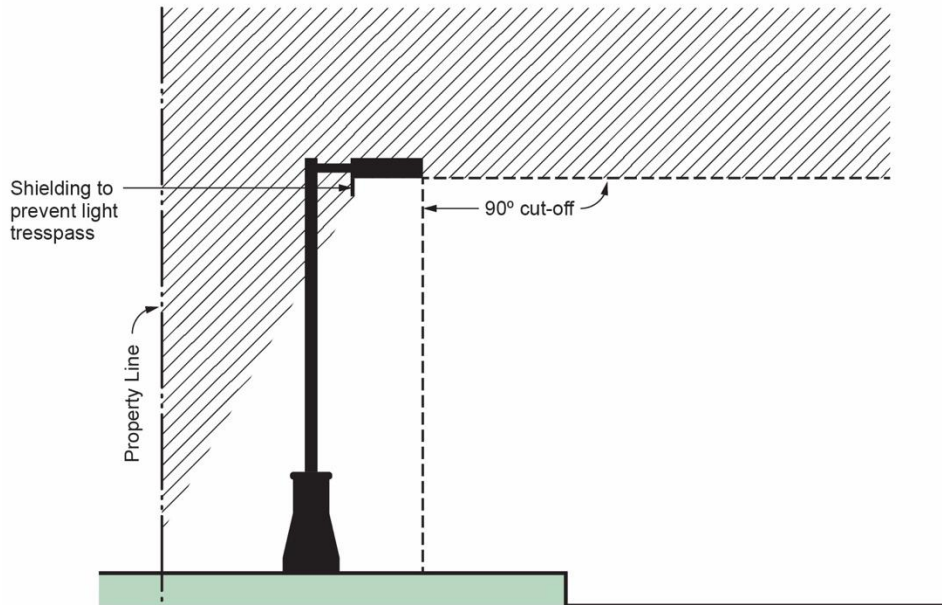


Illustration 1: Parking Lot Fixture Orientation and Shielding

- (b) Pursuant to Section 1470.08(c), the following unshielded lights are prohibited.

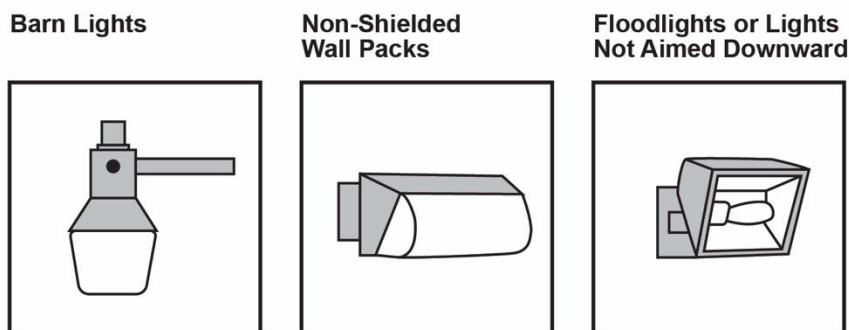


Illustration 2: Prohibited Lights

(c) Following are a few examples of light fixtures that comply with ordinance requirements.

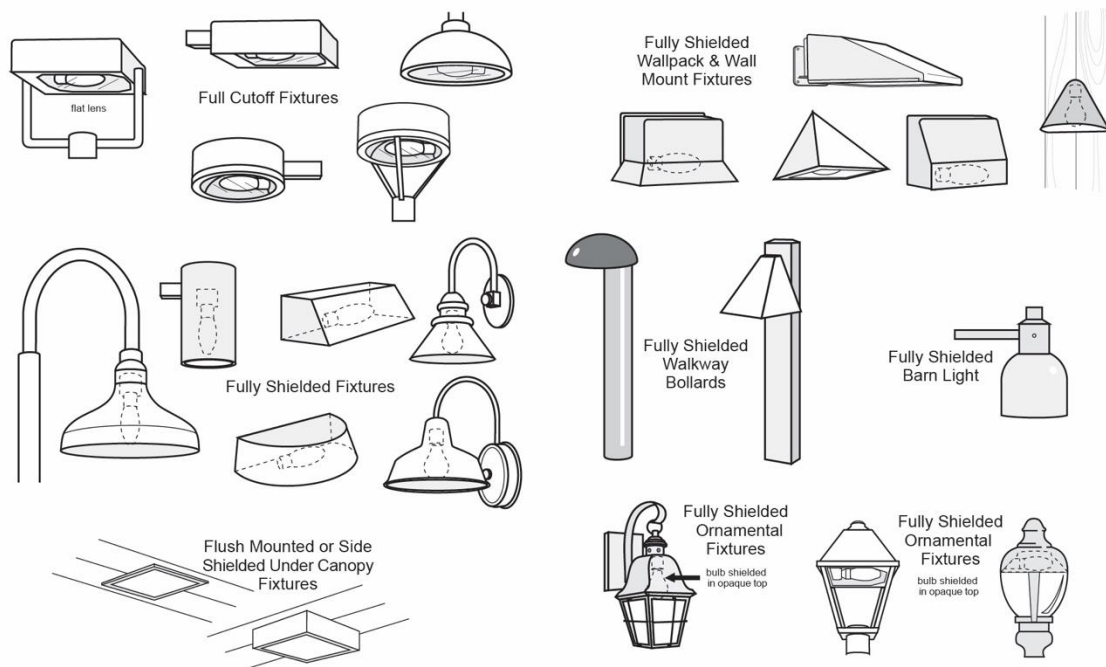


Illustration 3: Acceptable Light Fixtures



MCKENNA

May 20, 2023

Village Council
Village of Franklin
32325 Franklin Road
Franklin, Michigan 48025

Subject: Public Institutional Rezoning

Location: Various Locations—See Map and Chart

Applicant: Initiated by the Franklin Village Council

Dear Council Members:

PLANNING COMMISSION RECOMMENDATION

In response to the April 10, 2023, Resolution from Village Council regarding Public Institutional Zoning, the Planning Commission initiated the process of rezoning several properties in the Village that are used for public or quasi-public purposes to Public Institutional District.

The rezoning process commenced with a public hearing, which was held on May 17, 2023. Properties that were included in the public hearing notice are shown on Map 1 and identified in Table 1. There were no comments from the public at the hearing.

Planning Commission discussion focused on the consistency of the rezoning with the Master Plan and options for use of the properties currently zoned C-1 (the Post Office and the Fire Station). Upon conclusion of discussion, a motion was approved that recommends rezoning all the properties in Table 1 to PI, **except** for the Post Office parcel. The motion was approved by a vote of 3-1. The motion was approved with the understanding that the Future Land Use Map in the 2023 Master Plan, which is currently under review, will be amended to designate the Bowden Road property as Public and Quasi-Public.

BACKGROUND INFORMATION

In July 2021 the Village Council adopted Chapter 1259 of the Village Code, which established the PI, Public Institutional District. According to Section 1259.01, the purpose of this District is as follows:

The PI Public Institutional District is intended to recognize the public, quasi-public, and institutional nature of particular parcels of land and provide standards and guidelines for their continued use and future development; to ensure that those public, quasi-public, and institutional land uses will be compatible with the surrounding districts and uses; and to ensure that the public, quasi-public, and institutional use of property will promote the most desirable use of land in accordance with the Village's Master Plan.

At the time the PI district was established, no properties in the Village were rezoned. Now that the Village Council has initiated this rezoning, pursuant to Section 1246.01 of the Village Code, the Planning Commission must review the proposal and provide a recommendation to the Village Council.

HEADQUARTERS

235 East Main Street
Suite 105
Northville, Michigan 48167

○ 248.596.0920
F 248.596.0930
MCKA.COM

Communities for real life.



PROPERTIES ORIGINALLY PROPOSED TO BE REZONED

Table 1 identifies the properties that were originally proposed to be rezoned. A map attached to this letter shows the locations of the properties.

Table 1: Properties Proposed to Be Rezoned

Property	Address	Parcel Identification No.	Current Zoning
Franklin Village Offices, including related buildings and land (e.g., Kreger house and barn)	32325 Franklin Rd.	24-06-257-022	R-1, Low Density Residential
Franklin/Bingham Farms Police Department	32311 Franklin Rd.	24-06-257-022	R-1, Low Density Residential
Franklin Library (located on Village Green)	32455 Franklin Rd.	24-06-253-024	R-1, Low Density Residential
FCA Owned recreation fields and related facilities and land	No address	24-06-252-010 & 24-06-257-020	R-1, Low Density Residential
Franklin Village Green	No address	24-06-253-024	R-1, Low Density Residential
Franklin Community Church	26425 Wellington Rd.	24-06-252-001	R-1, Low Density Residential
Franklin/Bingham Farms Fire Department	32707 Franklin Rd.	24-06-203-021	C-1, Local Business & R-1, Low Density Residential
Franklin Historical Museum and adjoining property	26165 Thirteen Mile Rd.	24-07-226-006	R-L, Large Lot Residential
Huda School	32220 Franklin Rd.	24-06-278-012, 24-06-278-014 & 24-06-278-015	R-L, Large Lot Residential
U. S. Post Office – Franklin Branch	32406 Franklin Rd.	24-06-276-003	C-1, Local Business
Franklin Cemetery	No address	24-06-257-023	R-1, Low Density Residential



Property	Address	Parcel Identification No.	Current Zoning
Bowden Road Property (currently vacant)	No address	24-06-279-002	R-1, Low Density Residential

CURRENT ZONING

As noted in Table 1, almost all the subject properties are currently zoned single-family residential, except for the following two:

- The portion of the Franklin/Bingham Farms Fire Department property that fronts on Franklin Road is zoned C-1, Local Business.
- The U. S. Post Office is zoned C-1, Local Business.

A key feature of the current single-family zoning is that most of the existing uses on the subject properties are Special Approval Uses, including municipal buildings, churches, schools, public utility buildings, and museums. Consequently, these uses are subject to a more rigorous review process, including a public hearing, whenever a development proposal is submitted. Municipal parks and municipal recreation areas operated exclusively for the use and enjoyment of the public are Principal Permitted Uses in single-family districts. Under the Public Institutional zoning, all these uses would be Principal Permitted Uses.

Another consideration with respect to the current single-family zoning is that single-family detached dwellings are Principal Permitted Uses. Thus, theoretically the FCA, Huda School, or the Franklin Community Church could develop single family dwellings on their properties without the need for any special approvals. If rezoned to Public Institutional district, this right would no longer exist. (According to the Village Charter, a vote of the electorate is required to acquire real property; however, it is not clear if a vote of the electorate is required to dispose of real property in the event that the Village wanted to develop its property.)

In the C-1, Local Business District, publicly-owned buildings are Principal Permitted Uses. Thus, the Franklin/Bingham Farms Fire Department is a permitted use. Our understanding is that the U. S. Post Office building is leased from a private owner. If this is the case, it is a nonconforming building. Under the Public Institutional zoning, both uses would be Principal Permitted Uses and the Post Office would become conforming.

Under the current C-1 zoning, the Fire Department and Post Office properties could be redeveloped for a variety of uses, including offices, automobile service stations, banks, retail stores, laundry or dry-cleaning establishments, restaurants, repair shops, and single-family residential when located on the second floor of a building occupied by retail, service, or office on the first floor. If rezoned to Public Institutional district, the ability to develop these uses would no longer exist.

FUTURE LAND USE CONSIDERATIONS

The Future Land Use Map that is a part of the *adopted* 2015 Master Plan designates all the subject properties as Public and Quasi-Public, except for the following:

- The Franklin Historical Museum and adjoining property is designated Large Lot Residential.
- The Bowden Road Property is designated Low Density Residential.



- The residential structure on Vincennes Road that is part of the Franklin/Bingham Farms Fire Department property is designated Low Density Residential.

Public Institutional zoning is inconsistent with Large Lot Residential and Low Density Residential designations.

The Future Land Use Map that is part of the *unadopted* 2023 Master Plan designates all of the subject properties as Public and Quasi-Public, except for the Bowden Road Property and the Franklin/Bingham Farms Fire Department's Vincennes Road property, which are both designated Low Density Residential.

SURROUNDING LAND USE

Table 2 indicates the existing land use surrounding all the properties that are subject to rezoning. We do not believe the Public Institutional rezoning will create incompatibilities with existing surrounding land use, primarily because the range of permitted uses would be limited to uses that are now present on the properties.

Table 2: Surrounding Land Use

Property	North	South	East	West
Franklin Village Offices, including related buildings and land (e.g., Kreger house and barn)	Village Green	Police Department	Residential	FCA Grounds
Franklin/Bingham Farms Police Department	Municipal Offices	Village-Owned Property, Franklin Cemetery	Residential, Huda School Property	FCA Grounds
Franklin Library (located on Village Green)	Commercial	Village Green	Commercial	Village Green
FCA Owned recreation fields and related facilities and land	Franklin Community Church	Village-Owned Property, Franklin Cemetery	Municipal Buildings	Residential
Franklin Village Green	Commercial, Residential	Municipal Buildings	Commercial, U. S. Post Office	Franklin Community Church
Franklin Community Church	Residential	FCA Grounds	Village Green	Residential
Franklin/Bingham Farms Fire Department	Commercial	Residential	Commercial	Residential
Franklin Historical Museum and adjoining property	Residential	Residential	Residential	Residential



Property	North	South	East	West
Huda School	Residential	Residential	Residential	Franklin Cemetery, Police Department
U. S. Post Office – Franklin Branch	Commercial	Residential	Residential	Village Green
Franklin Cemetery	Village-Owned Property	Residential	Residential, Huda School	Residential
Bowden Road Property (currently vacant)	Residential	Residential	Residential	Residential

ORDINANCE CONSIDERATIONS

Section 1246.02(b)(1) lists five criteria the Planning Commission and Village Council must take into consideration when evaluating a proposed amendment. Following is our review of those five criteria:

1. *The amendment shall address the needs of the state's citizens for food, fiber, energy, and other natural resources, places of residence, recreation, industry, trade, service, and other uses of land.* **Response:** The amendment addresses the need for recreation, service, and public use, by assuring that the properties will be reserved for these purposes into the future.
2. *The amendment shall ensure that use of the land is situated in appropriate locations and relationships.* **Response:** As noted in the discussion of current land use the Public Institutional rezoning will not create incompatibilities with existing surrounding land use, primarily because the range of permitted uses would be limited to uses that are now present on the properties.
3. *The amendment shall limit the inappropriate overcrowding of land and congestion of population, transportation systems, sewage, and other public facilities.* **Response:** The amendment would limit overcrowding by protecting open space in the Village from inappropriate development.
4. *The amendment shall facilitate adequate and efficient provision for transportation systems, sewage disposal, water, energy, education, recreation, and other public service and facility requirements.* **Response:** The amendment deals primarily with public service and facility requirements by making sure that essential Village properties are properly zoned.
5. *The amendment shall promote public health, safety, and welfare.* **Response:** The best measure of public health, safety, and welfare is consistency with the Master Plan. As noted above, the proposed amendment is generally consistent with the Future Land Use Plan and it is definitely consistent with the goals of the Master Plan with respect to development of the Village Center.

Section 1246.02(b)(2) also indicates that *a zoning amendment shall be evaluated with consideration of the character of the district(s) affected, its peculiar suitability for particular uses, the conservation of property values and natural resources, and the general and appropriate trend and character of land, building, and population development.* **Response:** The character of the districts affected is public or quasi-public, which is the reason the



properties are being considered for rezoning. Preservation of these public and quasi-public areas is one reason that Franklin is a highly valued community in which to live, so we believe the rezoning will support conservation of property values. On certain properties considered for rezoning, such as the museum parcel (aka Jenstan parcel), the rezoning will conserve natural resources. The rezoning is consistent with the uses and activities already occurring on the subject properties.

KEY FINDINGS

This report has made the following key findings:

1. The proposed rezonings are largely consistent with the purpose of the Public Institutional District.
2. Under the current zoning, most of the existing uses of the subject properties are Special Approval Uses. Under the proposed PI zoning, the existing uses would become Principal Permitted Uses.
3. The U.S. Post Office building is currently nonconforming. Under PI zoning, it would be conforming. However, rezoning to PI would limit the development options for the parcel if the Post Office ever ceased operating at that location.
4. The proposed rezonings are largely consistent with the adopted 2015 and proposed 2023 Master Plans. The Bowden Road Property should be designated Public or Quasi-Public on the Future Land Use Map in the 2023 Master Plan before it is adopted, since the property is used for a public purpose (it has drainage pipes running through it).
5. The Public Institutional rezoning will not create incompatibilities with existing surrounding land use, primarily because the range of permitted uses would be limited to uses that are now present on the properties.
6. The proposed rezoning satisfies the criteria the Planning Commission and Village Council are required to consider in Sections 1246.02(b)(1) and 1246.02(b)(2).

CONCLUSION

In consideration of the above findings, the Planning Commission recommends rezoning all the properties in Table 1 to PI, **except** for the Post Office parcel. In addition, the Future Land Use Map that is included in the 2023 Master Plan should be amended to designate the Bowden Road property as Public and Quasi-Public.






Respectfully submitted,

McKENNA

Christopher J. Doozan, AICP
Community Planning Consultant

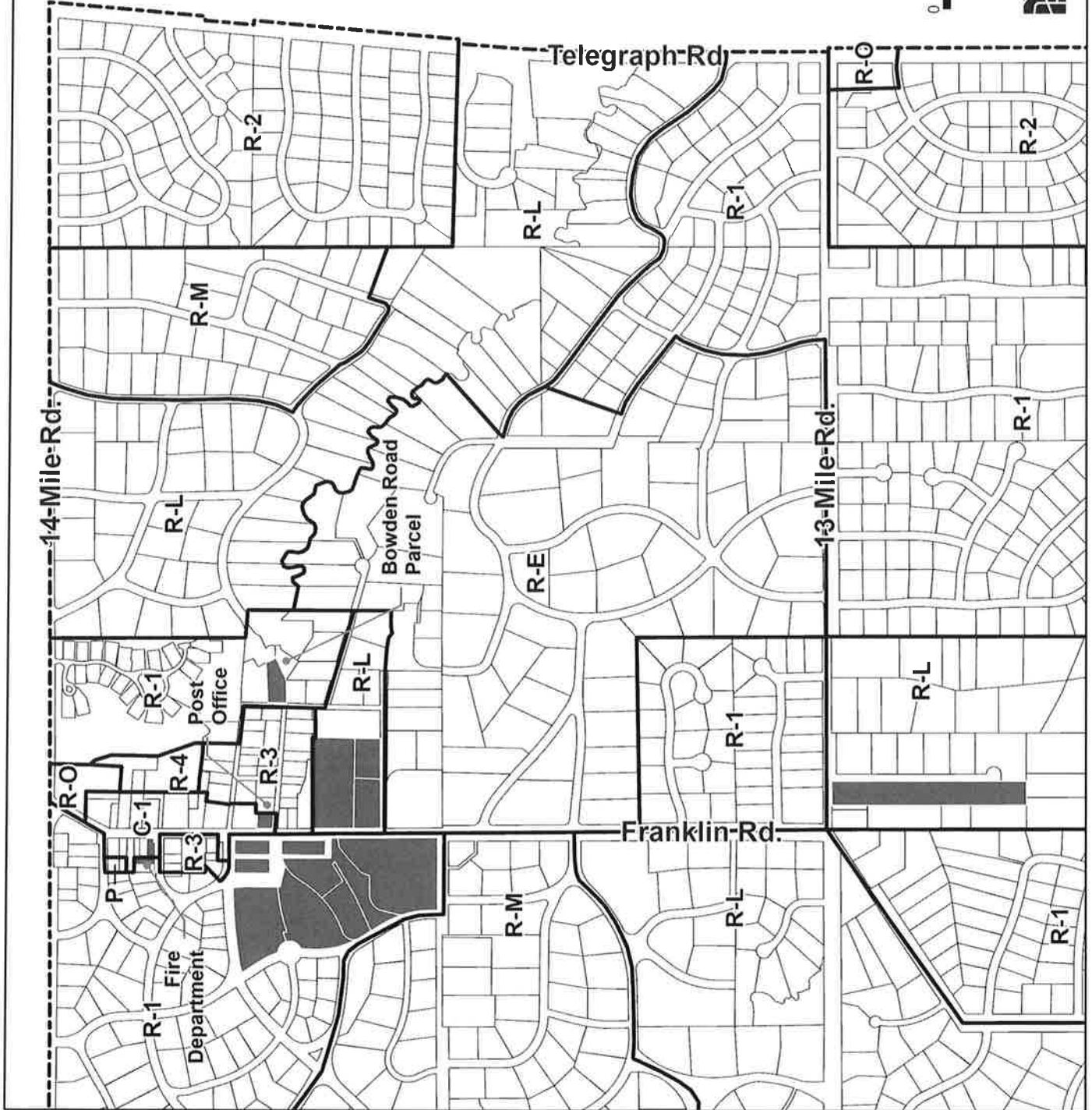
c: Roger Fraser, Village Administrator
Dana Hughes, Village Clerk
Peter Halick, Planning Commission Chairman

LEGEND

-  Rezoning
-  Parcels
-  Parcel
-  Boundaries
-  Village of Franklin Boundary

Zoning Districts

- R-E Estate Residential
- R-L Large Lot Residential
- R-M Modified Low Density Residential
- R-1 Low Density Residential
- R-2 Medium Low Density Residential
- R-3 Medium Density Residential
- R-4 Medium High Density Residential
- R-O Restricted Office
- C-1 Local Business
- P Vehicular Parking



Council Action Requested

1. 2018: HDC reconstituted a “study committee” to identify, evaluate and recommend properties for inclusion in the current Local Historic District that would enhance the value of the district while also offering protection for potentially threatened resources.
2. This was approved by Council.
3. It was laborious and the five properties that are recommended for inclusion were selected because they objectively meet specific criteria.

1

Q. What is the HDC asking for?

HDC is asking for 5 properties to be added to the existing Historic District. They are:



1. 32020 Franklin Road – house and carriage house



4. 26425 Wellington Road Franklin Community Church



2. 32325 Franklin Road– house, barn and shed: Kreger House



5. FCA owned property*

** As of 7/27/23, confirmation of actual property owned by the FCA is unconfirmed. (council resolution)*



3. 26475 Scenic Highway: house and barn Lamott House

2

Facts about Franklin's Historic District Commission

1. 2/10/69: Franklin was designated the first historic district in Michigan to be accepted into the National Register of Historic Places.
2. 1971: Franklin formed its local Historic District.
3. HDC follows the standards and guidelines created by the U.S. Secretary of the Interior for the National Register of Historic Places + Council agreement and public input via hearings and informally. Members are appointed by Council.
4. Structures: Reviews proposed work to the exterior to ensure that original historic materials are retained, or reasonable substitutes are used and that a proposed project's design is in keeping with the materials, style and time period of the building.
5. Land: Reviews major historic landscape features or landscape features that have been determined to be character-defining for the district. *E.g., Franklin's HDC reviewed the 2021 streetscape plan including landscaping, as an example of their role in municipal projects. It did not select plant materials.*

Twenty-six properties within this area have been found to possess historical or architectural significance. Many of the properties are buildings which date from the early years of the village in the mid-1830's. Most of the other buildings were constructed later in the nineteenth century.

There has been some modern commercial development in this district, especially along Franklin Road, but the village is essentially intact and possesses the flavor of a mid-nineteenth century rural community.

3

Facts About Historic Districts

1. Historic preservation is intended to be a public purpose. ([Michigan's Local Historic District Act: Public Act 169 of 1970](#)).
2. A local historic district includes structures or features that are related through:
 - History
 - Architecture
 - Archaeology
 - Engineering
 - Culture
3. The local designation is the only way to protect the investments made to properties in the district. National designation does not do this.
4. In Michigan and elsewhere property values in designated historic districts are higher than the comparable non-designated areas of the same community, regardless of whether the overall values were stable, increasing, or decreasing. (ref: [MPHN study 2016](#) and others).
5. Per the National Park Service, money spent rehabilitating historic buildings is an investment in the future, when these structures could be the showpieces of a revitalized city. We have seen this in Detroit.



4

Benefits of Historic Designation:

1. Legal protection for historic resources
2. Preservation tax incentives
3. Economic development
4. Community revitalization and diversity
5. Availability of grants to fund projects
6. Increased visitors/spend



5

Public Act: Public Purpose

Inclusivity is the intention of the Act:

- Michigan's Local Historic District Act (Public Act 169 of 1970) declares historic preservation to be a public purpose.
- "A community may not enact a historic district ordinance that *requires* the consent of an owner before a property is included in a local historic district." It's up to Council.
- The Secretary's guidelines for determining historic district boundaries state that boundaries are based on geography, integrity and the significance of the resource, not on political boundaries or ownership.
- "Donut holes" frowned upon.

Regarding open land:

- Michigan's Local Historic District Act includes open space in the definition of a historic resource.
- It defines open spaces as "undeveloped land, a naturally landscaped area, or a formal or man-made landscaped area that provides a connective link or a buffer between other resources."
- Significant historic landscape features can include large trees, historic fences, walkways, stone walls, a historic garden, a park or green, an orchard or the farmland associated with a farmstead. The key word is significant.

Regarding government overreach:

- By law (Sec 399.204 Historic district commission) the HDC is the body responsible for ensuring the integrity of the local historic district.
- The scope of local HDC s are clearly defined by state law.
- It is not unusual for the HDC to work through differences between what a property owner wants and whether proposed projects meet broad criteria.
- Safeguards: HDC members **MUST** reside in the local community and are appointed by Council. The standards they must use in judging an application are specific and baked into the law.

6

Why we should support this expansion

1. **Protecting Franklin's uniqueness won't happen by itself.**
2. **We already balance property rights and public benefit.** We have managed this tension for years and can continue to do so.
3. **Historic preservation continues to be a Master Plan priority:** The 2023 Master Plan chapters 2, 3, 4, 5, 6 and Implementation Goals in Ch.10 refer directly to goals and policies to preserve Franklin's historic character through protecting historic structures/spaces.
4. **Maintain and enhance property value:** Appreciation rate, value increases, and insulation from property value decreases are likely if our experience matches other communities. Multiple studies have been done in MI since 2010 that affirm this.
5. **Long term view:** If we intend the village council to maintain the ability to control and protect the property, then local historic designation is an insurance policy against forced development due to unforeseen economic downturn, organization priority changes or other factors.
6. **Visual expression of "character":** The aesthetics of village land and buildings is the visual statement of how residents express "village character".
7. **Protect against slow loss of ambiance:** Erosion of the village ambiance happens over time and may not be noticeable until areas + structures that contributed to the formation of Franklin are gone.

7

Reference docs and where go for more info:

1. Historic District Study Committee Report Franklin Village Local Historic District Modification October 2022
2. <https://www.legislature.mi.gov/documents/mcl/pdf/mcl-act-169-of-1970.pdf> (Local Historic Districts Act of 1970)
3. 2023 Franklin Master Plan draft as of July 1, 2023
4. [Michigan SP Franklin Historic District \(archives.gov\)](#) (Franklin Historical Register archival materials)
5. <https://www.mhpn.org/wp-content/uploads//2019/12/Local-Historic-Districts-and-Property-Values-in-Michigan-Neighborhoods.pdf> Study in 2016
6. <https://www.nps.gov/subjects/historicpreservation/economic-impacts.htm#:~:text=Preservation%20enhances%20real%20estate%20values,streets%20and%20downtowns%20economically%20viable> 2015
7. <https://www.mplace.org/4a77e8/globalassets/documents/shpo/research-resources/publications/report-card-the-economic-impacts-of-historic-preservation-in-michigan.pdf> Nov 2006
8. [Ann Arbor Historic Preservation FAQs 2023](#)

8



32325 Franklin Road, Franklin, Michigan 48025

FAX: (248) 626-0538

(248) 626-9666

www.franklin.mi.us

RESOLUTION

Relocation of Pickering Barn

WHEREAS, the venerable Pickering Barn, located on Franklin Road in Bloomfield Township, is available to be relocated from its historic location, and

WHEREAS, the Franklin Village Council would like to consider relocating the barn into the Village, and

WHEREAS, certain research should be accomplished to locate an appropriate site for the barn,

NOW THEREFORE, the Franklin Village Council requests and directs the Franklin Village Planning Commission to consider where in the Village would be an appropriate location for the barn given the size of the barn, the possible uses of the barn, the appropriate land use for the barn, and the availability of parcels that may meet those criteria.

Passed on this 14th day of August, 2023.

OBJECTIVE: AUTHORIZE THE PLANNING
COMMISSION TO INVESTIGATE POSSIBLE
LOCATIONS FOR THE PICKERING BARN

INVESTIGATION WILL FOCUS ON INTEGRATING
THE HISTORIC BARN INTO A LONG TERM
VISION WHERE THE BARN BECOMES A
VALUABLE POSITIVE CONTRIBUTION TO
FRANKLIN

THE FINAL REPORT WILL OFFER RECOMMENDATIONS
FOR SEVERAL POSSIBLE ALTERNATIVES



Right – Of –Way Application

INSPECTIONS 248-626-1601

PERMIT NO. 2019-_____

DATE STAMP

32325 Franklin Rd • Franklin MI 48025-1199 • Phone (248) 626-9666 • Fax (248) 626-0538

The undersigned hereby applies for a permit to (describe project)

TELECOMMUNICATIONS NETWORK TO BE CONSTRUCTED. OWNED AND OPERATED BY EXTENET SYSTEMS THE MAIN COMPONENTS OF THIS INSTALLATION ARE: THE INSTALLATION (1) OMNI ANTENNA AND ASSOCIATED ELECTRICAL COMPONENTS. LOCATED ON NEW EXTENET 50'-0" WOOD UTILITY POLE

SUBMIT CHECKLIST WITH APPLICATION

I. LOCATION OF PROJECT		Historic District ? <input type="checkbox"/> yes <input checked="" type="checkbox"/> no	Zoning District	Right of Way
Cross Streets Woodside Dr. and W 13 Mile				
Name: New Pole		Telephone No:		
Address: 27008-27060 WOODSIDE DR,		City: FRANKLIN	State: MI	Zip Code: 48025
B. ARCHITECT OR ENGINEER				
Name: SMJ International		Telephone No:		
Address: 49030 Pontiac Trail		City: Wixom	State: MI	Zip Code: 48393
License No:		Expiration Date:		
C. CONTRACTOR				
Name: TBD/ Still out for Bid		Telephone No:		
Address:		City:	State:	Zip Code:
License No:		Expiration Date:		
Federal Employer Number or Reason for Exemption:				
Worker's Comp Insurance Carrier or Reason for Exemption:				
MESC Employer Number or Reason for Exemption:				
III. TYPE OF IMPROVEMENT AND PLAN REVIEW				
A. TYPE OF IMPROVEMENT				
<input type="checkbox"/> New Building <input type="checkbox"/> Addition / Remodel <input type="checkbox"/> Demolition <input type="checkbox"/> Property <input checked="" type="checkbox"/> Other				
B. REVIEW(s) TO BE PERFORMED				
<input type="checkbox"/> Building / Trades <input type="checkbox"/> Engineering <input type="checkbox"/> Arborist <input type="checkbox"/> Legal <input type="checkbox"/> Other				
VI. APPLICANT INFORMATION:				
Applicant is responsible for the payment of all fees and charges applicable to this application and must provide the following information:				
Name: Philip Bys o/b/o Extenet		Telephone No. 630-885-1190		
Address: 5844 John Hickman Pkwy		City: Frisco	State: TX	ZIP:
Federal ID no. (if applicable)				

I hereby certify that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent, and we agree to conform to all applicable laws of the State of Michigan. All information submitted on this application is accurate to the best of my knowledge.

Section 23a of the State Construction Code Act of 1972, Act No. 230 of the Public Acts of 1972, being Section 125.1523a of the Michigan Compiled Laws, prohibits a person from conspiring to circumvent the licensing requirements of this state relating to persons who perform work on a residential building or a residential structure. Violators of Section 23a are subject to civil fines.

Signature of Applicant *Philip Bys* Print Name Philip Bys Application Date 05/22/23

Checks accepted only as a conditional payment. If not honored by bank, permit is unpaid and subject to penalties.

VII. FOR INTERNAL USE ONLY

	REQUIRED	APP / REJ	DATE	BY	
A ~ BUILDING PERMIT	<input type="checkbox"/> Yes <input type="checkbox"/> No				
B ~ CULVERT PERMIT	<input type="checkbox"/> Yes <input type="checkbox"/> No				
C ~ FENCE PERMIT	<input type="checkbox"/> Yes <input type="checkbox"/> No				
D ~ FLOODPLAIN PERMIT	<input type="checkbox"/> Yes <input type="checkbox"/> No				
E ~ LANDFILL PERMIT	<input type="checkbox"/> Yes <input type="checkbox"/> No				
F ~ SOIL EROSION PERMIT	<input type="checkbox"/> Yes <input type="checkbox"/> No				
G ~ TREE REMOVAL PERMIT	<input type="checkbox"/> Yes <input type="checkbox"/> No				
H ~ WETLANDS PERMIT	<input type="checkbox"/> Yes <input type="checkbox"/> No				
I ~ HISTORIC DISTRICT	<input type="checkbox"/> Yes <input type="checkbox"/> No				
J ~ ZONING BOARD **	<input type="checkbox"/> Yes <input type="checkbox"/> No				
K ~ Right-of-Way Permit	<input type="checkbox"/> Yes <input type="checkbox"/> No				

** Zoning District _____ Required Setback _____ Front _____ / _____ Side _____ Back
Proposed Setback _____ Front _____ / _____ Side _____ Back

Approved by:

(signature)

VILLAGE OF FRANKLIN BUILDING OFFICIAL

Expiration of Permit: A permit remains valid as long as work is progressing and inspections are requested and conducted. A permit shall become invalid if the authorized work is not commenced within six months after issuance of the permit or if the authorized work is suspended or abandoned for a period of six months after the time of commencing the work. A permit will be closed when no inspections are requested and conducted within 6 months of the date of issuance or the date of a previous inspection. Closed permits cannot be refunded or reinstated.

BUILDING CHECKLIST

ADDRESS:

☐ **Permit Application**

- ☐ Completed application, signed and dated
- ☐ Proof of ownership (ie: copy of title insurance policy)
- ☐ Current market value of proposed construction indicated
- ☐ Square footage indicated
- ☐ Homeowner's Permit requires signed and dated Home Owner's Affidavit on file
- ☐ Builder's Registration – copy builder's license and driver's license on file
- ☐ Permit application fee
- ☐ Bond / Deposit amount of \$ _____
- ☐ Is project located in the Historic District?
 - ☐ yes - submit to Historic District Commission for review
 - ☐ no
- ☐ **THREE** copies of certified plot plan indicating:
 - ☐ Dimensions of all property lines – indicate any easements
 - ☐ Dimensions of existing and proposed work
 - ☐ Setback dimensions of all yards
 - ☐ Well location
 - ☐ Location of septic system or pressure sewer facility
- ☐ **THREE FOLDED** copies of construction plans – signed & sealed by licensed architect
- ☐ Two copies of building specifications (where applicable)

☐ **Culvert Permit**

- ☐ Completed application / checklist
- ☐ Application Fee of \$ _____
- ☐ Engineering / Consultant Review

☐ **Fence Permit**

- ☐ Completed application / checklist
- ☐ Application Fee of \$ _____
- ☐ Engineering / Consultant Review

NOTE: pool permit will not be
finaled nor bond refunded until
fence is installed and approved

☐ **Floodplain Permit**

- ☐ Completed application / checklist
- ☐ Application Fee of \$ _____
- ☐ Engineering / Consultant Review
- ☐ Copy of MDEQ Floodplain Permit

☐ **Landfill Permit**

(addition or subtraction of 10 cubic yards of fill)

- ☐ Completed application / checklist
- ☐ Application Fee of \$_____
- ☐ Engineering / Consultant Review

☐ **Sanitary System**

- ☐ Septic System
 - ☐ Copy of current Septic Operating Permit
 - ☐ Approval from OCHD indicating septic will support remodel / addition
- ☐ Pressure Sewer System
 - ☐ Application / Engineering / Installation Fees of approximately \$12,450 - \$15,000
 - ☐ Plan Review from OCHD for Placement
 - ☐ Pressure Sewer Easement Agreement - signed and dated

☐ **Soil Erosion Permit** (property: over 1 acre OR within wetlands OR has storm drain)

- ☐ Completed application / checklist
- ☐ Application Fee of \$_____
- ☐ Engineering / Consultant Review
- ☐ Copy of Oakland County Drain Commission Permit

☐ **Tree Removal / Replacement Permit or Tree Waiver Affidavit**

- ☐ Completed application / checklist
- ☐ Application Fee of \$_____
- ☐ Engineering / Consultant Review - **OR**
- ☐ Affidavit confirming no trees will be disturbed during construction

☐ **Well**

- ☐ Use existing well
- ☐ Abandon existing well
- ☐ Install new well
 - ☐ Copy of Oakland County Health Department analysis of water

☐ **Wetlands Permit**

- ☐ Completed application / checklist
- ☐ Application Fee of \$_____
- ☐ Engineering / Consultant Review

THIS LIST ACCURATELY DESCRIBES ALL WORK DONE AT THIS ADDRESS

REQUIRED INSPECTIONS

The following is a list of required inspections necessary for issuance of a Certificate of Occupancy in the Village of Franklin.

1. Footings: Trench, spread, interior bearing wall and/or exterior wall footings
2. Electrical - Temporary connect

3. Backfill
4. Mechanical - Gas line test
5. Plumbing - Underground: drain, waste and vents
6. Exterior foundation drains
7. Waterproofing or Damp-proofing
8. Basement slab - stone, gravel, wire mesh, visqueen
9. Garage Slab - compaction
10. Electrical - Rough
11. Mechanical - Rough: H.V.A.C. & Gas
12. Mechanical - Rough: Pre-fab fireplace
13. Plumbing - Rough: water, tub & shower sets
14. Brick - Flashing & Weep Holes
15. Rough framing
15. Pressure Sewer System / Sewer Lines
16. Insulation
17. Electrical -Final
18. Plumbing - Final: including well pump / water report from OCHD
19. Mechanical & H.V.A.C. - Final
20. Mechanical - Final: pre-fab fireplace
21. Final Grade and Trees
22. Final Building

** Any low voltage violations will be directed to the building permit holder. Re-inspections for violations will be the responsibility of the building permit holder.*

The above are customary inspections. Not all projects require all of the above inspections. Some projects may be unique, requiring additional inspections as stipulated by the building official.

VILLAGE OF FRANKLIN INSTRUCTION SHEET ~ SURVEY AND SITE DRAINAGE PLAN

To expedite the review of plans, the following requirements are provided to aid the surveyor in preparing his survey and the site drainage plan for building sites:

All plans must bear the seal of a land surveyor who is registered to practice in the State of Michigan.

Elevation to be shown:

- Existing and proposed grades around perimeter of lot
- Existing and proposed grades at building corners

Proposed first floor
Finish grade at adjacent buildings
Ditch or swale line
Road centerline and edge
Surrounding area 50' beyond site limits (Contours on 1' intervals or elevations to 0.1' on a grid of 25' or less)

Dimensions to be shown:

Site boundaries
Proposed setbacks and side yards
Front setbacks
Natural Feature Setback (radius of 25' along wetland line)

Additional information to be shown:

Legal description
Benchmark
Right-of-Way width
Proposed drain pattern
Wetland designation (Wetland designation line must be flagged on site)
All existing and proposed utilities
All easements
All trees to be removed (Tree Removal / Replacement Application)

The drawing shall include a location map.

The directional arrow for "North" shall point top of page.

The scale is to be an engineer's scale from 1" - 10' to 1" - 40'.

The final building grade shall be established and maintained at an elevation that will provide a minimum 2 ½% to 5% slope away from the building or house. The balance of the building or house site shall be graded to provide positive surface drainage from that point to the street, ditch or other drainage course.

No surface or roof drainage, which creates a nuisance to the owners of occupants or adjacent premises, is permitted.

All grades must be maintained and information provided prior to building permit issue.

VILLAGE OF FRANKLIN

MASTER FEE SCHEDULE adopted January 2019

BUILDING PERMIT

APPLICATION FEE - A non-refundable fee shall accompany each permit application. This fee shall be credited to the approved permit fee.

(a) New Commercial Buildings.....\$2,000
(b) New Residential Buildings (.33/SQ FT OR MIN).....\$1,500
(c) New Residential (Accessory) Buildings (.31/SQ FT OR MIN)....\$200
(d) Commercial Additions / Alterations.....\$500
(e) Residential Additions / Alterations (.31/SQ FT OR MIN).....\$100

CONTRACTOR REGISTRATION - annual fee.....\$25

BUILDING PERMIT RENEWAL

(a) New Commercial Buildings..... \$500

- (b) New Residential Buildings.....\$300
- (c) New Residential (Accessory) Buildings.....\$100
- (d) Commercial Additions / Alterations..... \$175
- (e) Residential Additions / Alterations.....\$150

BUILDING PERMIT VALUATION - The permit fee shall be based on the estimated market value of construction, based on Marshall Swift as updated. At final Building Inspection, total market value will be adjusted with fee pursuant to (a) below

- (a) \$8 per \$1000 Estimated Total Market Value of Construction....Permit Fee
- (b) Permit Fee includes one inspection and one re-inspection (if necessary) for each stage of construction. Any further re-inspections or no one home shall require a re-inspection fee at \$55 each.
- (c) Minimum Permit Fee.....\$100.00
- (d) Work Prior to Obtaining a Permit.....Permit Fee x 2

CANCELLATION OF PERMIT - On cancellation of building permit, all application fees, plan review fees, \$50 for each inspection performed and 25% of the building permit fee shall be retained by the Village of Franklin; the remaining building permit fee and 100% of the bond shall be returned to the applicant.

CERTIFICATE OF OCCUPANCY REQUEST -

- (a) Extension of Temporary Certificate of Occupancy - each request...\$50

CONSTRUCTION BONDS - Upon cancellation, return or refund of building and/or construction bonds, the applicant shall not be entitled to interest.

- (a) New Commercial Building.....\$5,000
- (b) New Residential Building.....\$1,500
- (c) New Non-Residential (Accessory) Building.....\$1,500
- (d) Commercial Additions / Alterations.....\$2,000
- (e) Residential Additions / Alterations.....\$200
- (f) Non-Residential Additions / Alterations.....\$200

PLAN REVIEW FEE -

- (a) Permit Fee x 25%.....Plan Review Fee
- (b) Minimum Plan Review Fee.....\$50
- (c) In the case of site plans associated with Planning Commission and/or Zoning Board of Appeals a \$150 fee is required prior to agenda posting for each meeting.
- (d) For projects taking place on 3 acres or more:
 - 1. Planning/Engineering/Legal/Building Official...2,500 Per Consultant

This is an estimate of Review Costs.
Any remaining balance will be refunded upon completion of project.

Petitioner is responsible for any charges over the collected amount.

2. Where review of documents is performed by outside consultants, the applicant shall be responsible for all CONSULTING FEES incurred by the Village of Franklin PLUS a 10% administration fee.

REINSPECTION FEE.....\$55

WORK STARTED WITHOUT PERMIT - for work started prior to the issuance of a building permit, the fee shall be charged at a rate of two (2) times the usual permit fee.

SPECIAL INSPECTIONS - Inspection performed by building, electrical, plumbing or HVAC inspectors\$50 per hour, 1 hr minimum

BUSINESS LICENSE

The Village of Franklin Charter Chapter II, Sections #8 and #9, and Village of Franklin Codified Ordinance Chapter 810 shall regulate the licensing of all trades, professions, businesses and/or privileges. The license fee is established at the discretion of Council and shall be an annual fee in the amount of.....\$25

CONSULTING FEE

Where documents are reviewed or inspections are performed by outside consultants, the applicant shall be responsible for 100% of fees PLUS a 10% administrative fee.



SPECIAL USE APPLICATION

INSPECTIONS 248-626-1601

PERMIT NO. 2019-_____

DATE STAMP

32325 Franklin Rd • Franklin MI 48025-1199 • Phone (248) 626-9666 • Fax (248) 626-0538

The undersigned hereby applies for a permit to (describe project)

A SMALL CELL SYSTEM TELECOMMUNICATIONS NETWORK, TO BE CONSTRUCTED, OWNED AND OPERATED

BY EXTENET SYSTEMS, IN THE PUBLIC RIGHT OF WAY PURSUANT TO AUTHORITY GRANTED BY THE MICHIGAN METRO

ACT. THE MAIN COMPONENTS OF THIS INSTALLATION ARE: THE INSTALLATION OF ONE(1) OMNI ANTENNA, TWO (2) RADIOS,

ASSOCIATED ELECTRICAL COMPONENTS, AND MOUNTING BRACKETS AS REQUIRED, LOCATED ON NEW EXTENET CLASS 2

50'-0" WOOD UTILITY POLE.

Current market value of project \$ _____

SUBMIT CHECKLIST WITH APPLICATION

I. LOCATION OF PROJECT		Historic District ? <input type="checkbox"/> yes <input checked="" type="checkbox"/> no		Zoning District	
Address: 27008-27060 W 13 MILE RD, FRANKLIN, MI 48025					
II. PARCEL IDENTIFICATION # Right of Way					
A. OWNER OR LESSEE Right of Way owned and managed by Oakland County					
Name:			Telephone No:		
Address:		City:		State: Zip Code:	
B. ARCHITECT OR ENGINEER					
Name: SMJ International			Telephone No:		
Address: 49030 Pontiac Trail		City: Wixom		State: MI Zip Code: 48393	
License No:			Expiration Date:		
C. CONTRACTOR					
Name: TBD/ Still out for Bid			Telephone No:		
Address:		City:		State: Zip Code:	
License No:			Expiration Date:		
Federal Employer Number or Reason for Exemption:					
Worker's Comp Insurance Carrier or Reason for Exemption:					
MESC Employer Number or Reason for Exemption:					
III. TYPE OF IMPROVEMENT AND PLAN REVIEW					
A. TYPE OF IMPROVEMENT					
<input type="checkbox"/> New Building <input type="checkbox"/> Addition / Remodel <input type="checkbox"/> Demolition <input type="checkbox"/> Property <input checked="" type="checkbox"/> Other					
B. REVIEW(s) TO BE PERFORMED					
<input type="checkbox"/> Building / Trades <input type="checkbox"/> Engineering <input type="checkbox"/> Arborist <input type="checkbox"/> Legal <input type="checkbox"/> Other					

VI. APPLICANT INFORMATION:

Applicant is responsible for the payment of all fees and charges applicable to this application and must provide the following information:

Name: Philip Bys o/b/o Extenet		Telephone No. 630-885-1190	
Address: 5844 John Hickman Pkwy	City: Frisco	State: TX	ZIP:
Federal ID no. (if applicable)			

I hereby certify that the proposed work is authorized by the owner of record and that I have been authorized by the owner to make this application as his authorized agent, and we agree to conform to all applicable laws of the State of Michigan. All information submitted on this application is accurate to the best of my knowledge.

Section 23a of the State Construction Code Act of 1972, Act No. 230 of the Public Acts of 1972, being Section 125.1523a of the Michigan Compiled Laws, prohibits a person from conspiring to circumvent the licensing requirements of this state relating to persons who perform work on a residential building or a residential structure. Violators of Section 23a are subject to civil fines.

Signature of Homeowner

N/A

Signature of Applicant

Philip Bys

Print Name

Philip Bys

Application Date

08/09/23

Checks accepted only as a conditional payment. If not honored by bank, permit is unpaid and subject to penalties.

VII. FOR INTERNAL USE ONLY

	REQUIRED	APP / REJ	DATE	BY	
A ~ BUILDING PERMIT	<input type="checkbox"/> Yes <input type="checkbox"/> No				
B ~ CULVERT PERMIT	<input type="checkbox"/> Yes <input type="checkbox"/> No				
C ~ FENCE PERMIT	<input type="checkbox"/> Yes <input type="checkbox"/> No				
D ~ FLOODPLAIN PERMIT	<input type="checkbox"/> Yes <input type="checkbox"/> No				
E ~ LANDFILL PERMIT	<input type="checkbox"/> Yes <input type="checkbox"/> No				
F ~ SOIL EROSION PERMIT	<input type="checkbox"/> Yes <input type="checkbox"/> No				
G ~ TREE REMOVAL PERMIT	<input type="checkbox"/> Yes <input type="checkbox"/> No				
H ~ WETLANDS PERMIT	<input type="checkbox"/> Yes <input type="checkbox"/> No				
I ~ HISTORIC DISTRICT	<input type="checkbox"/> Yes <input type="checkbox"/> No				
J ~ ZONING BOARD **	<input type="checkbox"/> Yes <input type="checkbox"/> No				

** Zoning District Required Setback _____ Front _____ / _____ Side _____ Back _____
Proposed Setback _____ Front _____ / _____ Side _____ Back _____

Approved by:

(signature)

VILLAGE OF FRANKLIN BUILDING OFFICIAL

No Rocks or Stone Mailboxes Shall be put in the Right-of-Way

Expiration of Permit: A permit remains valid as long as work is progressing and inspections are requested and conducted. A permit shall become invalid if the authorized work is not commenced within six months after issuance of the permit or if the authorized work is suspended or abandoned for a period of six months after the time of commencing the work. A permit will be closed when no inspections are requested and conducted within 6 months of the date of issuance or the date of a previous inspection. Closed permits cannot be refunded or reinstated.

SPECIAL USE CHECKLIST

- ___ Completed Permit Application as provided by the Village of Franklin, including;
 - ___ A full identification and the residence address of the property owner(s) and/or applicant(s), all interested parties and their authorized agent(s).
 - ___ A copy from licensed title insurance company of proof of ownership, and a certificate from all proprietors, title holders and/or their authorized agents that they concur in the application for site plan review.
 - ___ A non-refundable application fee of \$100, and a \$150 special use permit fee.
 - ___ \$5,000 bond for potential street damage
 - ___ Copies of any legal restrictions, covenants and/or agreements with or controlling the parcel(s), including a written approval of any encumbrance holders.

TEMPORARY USE

- ___ Where the use is of a temporary nature, the duration of the proposed use and any conditions for restoration of premises or property in which or upon which such use is to be conducted.

PERMANENT USE

- ___ A complete legal description of existing total property and legal descriptions(s) of the parcel(s) therein, including zoning classification and land use of surrounding areas, prepared by a registered civil engineer or land surveyor.
- ___ A preliminary plot plan and/or diagram of subject property, including a vicinity map showing surrounding properties, streets, freeways, parks, schools, etc. in a form that shall be recordable with the Oakland County Register of Deeds.
- ___ A topographical map of the property platted with not more than two-foot contour intervals and all natural features and buffer zones for those features. Such plan shall show the location, identity and size all trees of 6" caliper at DBH or greater, as well as the current and proposed detailed grading and landscaping concept for the development.
- ___ Scaled architectural drawings illustrating the location of existing and proposed structures, improvements, location of septic, sanitary sewer, well, water lines, public or private easements, lot lines, setbacks, entrances and loading points.
- ___ The location and size of any floodplain and/or wetland found on the site and the methods to be employed to preserve and protect and said natural features, consistent with the provisions of Village of Franklin Ordinance chapter 122 and MDEQ permits where required.
- ___ Such further information as the Village Engineer, Village Planner, Village Attorney or Village Council may require.

The applicant shall be responsible for 100% of all consultant fees incurred by the Village PLUS a 10% administrative fee



MI-S000000039

TMO ID: DE0800BA_61LAB

27008-27060 W 13 MILE RD, FRANKLIN, MI 48025

PROJECT DESCRIPTION	VICINITY MAP	DRAWING INDEX
<p>THESE DRAWINGS DEPICT A PORTION OF A SMALL CELL SYSTEM TELECOMMUNICATIONS NETWORK, TO BE CONSTRUCTED, OWNED AND OPERATED BY EXTENET SYSTEMS, IN THE PUBLIC RIGHT OF WAY PURSUANT TO AUTHORITY GRANTED BY THE MICHIGAN METRO ACT.</p> <p>THE MAIN COMPONENTS OF THIS INSTALLATION ARE: THE INSTALLATION OF ONE (1) OMNI ANTENNA, TWO (2) RADIOS, ASSOCIATED ELECTRICAL COMPONENTS, AND MOUNTING BRACKETS AS REQUIRED, LOCATED ON NEW EXTENET CLASS 2 50'-0" WOOD UTILITY POLE.</p>		<p>T1 TITLE SHEET AND PROJECT INFORMATION</p> <p>T2 GENERAL NOTES, LEGEND, AND SYMBOLS</p> <p>A1 SITE PLANS</p> <p>A2 SITE ELEVATIONS</p> <p>D1 EQUIPMENT DETAILS</p> <p>D2 EQUIPMENT DETAILS</p> <p>D3 EQUIPMENT DETAILS</p> <p>MDOT TRAFFIC CONTROL PLAN</p>
PROPRIETARY INFORMATION		
<p>THE INFORMATION CONTAINED IN THIS SET OF CONSTRUCTION DOCUMENTS IS PROPRIETARY BY NATURE. ANY USE OR DISCLOSURE OTHER THAN THAT WHICH RELATES TO CARRIER SERVICES IS STRICTLY</p>		
PROJECT INFORMATION	CODE COMPLIANCE	PROJECT TEAM
<p>SITE NAME: DE_NEW_NODE 73 (DE0800BA_61LAB)</p> <p>ADDRESS: 27008-27060 W 13 MILE RD, FRANKLIN, MI 48025</p> <p>LATTITUDE: 42.514729</p> <p>LONGITUDE: -83.316117</p> <p>JURISDICTIONS: FRANKLIN</p> <p>A.P.N./ TAX ID: TBD</p> <p>LOCATION: PUBLIC RIGHT OF WAY</p> <p>HUB NAME: DEH0056A</p> <p>HUB ADDRESS: TBD</p> <p>HUB LATITUDE: TBD</p> <p>HUB LONGITUDE: TBD</p>	<p>ALL WORK AND MATERIALS SHALL BE PERFORMED AND INSTALLED IN ACCORDANCE WITH THE CURRENT EDITIONS OF THE FOLLOWING CODES AS ADOPTED BY THE LOCAL GOVERNING AUTHORITIES. NOTHING IN THESE PLANS IS TO BE CONSTRUCTED TO PERMIT WORK NOT CONFORMING TO THESE CODES.</p> <div><div><ul style="list-style-type: none">2017 NATIONAL ELECTRICAL CODE2015 INTERNATIONAL BUILDING CODE2015 INTERNATIONAL MECHANICAL CODE2018 INTERNATIONAL PLUMBING CODE</div><div><ul style="list-style-type: none">2012 INTERNATIONAL FIRE CODECITY AND/OR COUNTY ORDINANCESLOCAL BUILDING CODE(S)</div></div>	<div><div><p>PROPERTY OWNER:</p><p>NAME: PUBLIC RIGHT OF WAY</p><p>ADDRESS: 27008-27060 W 13 MILE RD, FRANKLIN, MI 48025</p><p>APPLICANT:</p><p>EXTENET SYSTEMS, INC.</p><p>5844 JOHN HICKMAN PKWY, SUITE 600</p><p>FRISCO, TX 75034</p><p>PHONE: (630) 505-3800</p><p>FAX: (630) 577-1332</p></div><div><p>PLANNING/ZONING:</p><p>EXTENET SYSTEMS INC.</p><p>CONTACT: ERIC LOVVORN</p><p>PHONE: (770) 337-5760</p><p>CONSTRUCTION MANAGER:</p><p>EXTENET SYSTEMS INC.</p><p>CONTACT: BILL VORCE</p><p>PHONE: (248) 882-4360</p></div><div><p>ROW/DOT/DPW:</p><p>EXTENET SYSTEMS INC.</p><p>CONTACT: ERIC LOVVORN</p><p>PHONE: (770) 337-5760</p><p>ARCHITECT/ENGINEER:</p><p>PETER LICHOMSKI, ARCHITECT</p><p>49030 PONTIAC TRAIL, SUITE 100,</p><p>WIXON, MI 48393</p><p>PH: (248) 705-9212</p></div></div>
	E911 INFORMATION	PERMITTING AGENCY
<div> LOCATION OF FIBER TBD</div> <div>27008-27060 W 13 MILE RD, FRANKLIN, MI 48025</div>		<div><div><p>POLE OWNER:</p><p>NEW EXTENET POLE</p></div><div><p>PLANNING/ZONING:</p><p>AGENCY CONTACT:</p><p>PHONE: RD, CITY, ST ZIP</p></div><div><p>ROW/DOT/DPW:</p><p>AGENCY CONTACT:</p><p>PHONE: RD, CITY, ST ZIP</p></div></div>

APPLICANT

CONNECTIONS FOR LIFE

5844 JOHN HICKMAN PKWY, SUITE 600
FRISCO, TX 75034
www.extenet.com

ARCHITECT/ENGINEER

SMJ International

49030 PONTIAC TRAIL, SUITE 100
WIXON, MI 48393

REVISIONS:

C	08/09/23	REVISED CD	RC
B	07/28/23	REVISED CD	RC
A	04/06/23	CD	RC
#	DATE	DESCRIPTION	INT.

PROFESSIOINAL STAMP

PROJECT NAME:

MI-S000000039
SMALL CELL NETWORK
TMO ID:
DE0800BA_61LAB

PROJECT LOCATION:

27008-27060 W 13 MILE RD,
FRANKLIN, MI 48025

SHEET TITLE:

TITLE SHEET &
PROJECT INFO

SHEET NUMBER:

T1

GENERAL NOTES

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SURVEY MONUMENTS AND/OR VERTICAL CONTROL BENCHMARKS WHICH ARE DISTURBED OR DESTROYED BY CONSTRUCTION. A LAND SURVEYOR MUST FIELD LOCATE, REFERENCE, AND/OR PRESERVE ALL HISTORICAL OR CONTROLLING MONUMENTS PRIOR TO ANY EARTHWORK. IF DESTROYED, SUCH MONUMENTS SHALL BE REPLACED WITH APPROPRIATE MONUMENTS BY A LAND SURVEYOR. A CORNER RECORD OR RECORD OF SURVEY, AS APPROPRIATE, SHALL BE FILED AS REQUIRED BY THE PROFESSIONAL LAND SURVEYORS ACT.
2. IMPORTANT NOTICE: CALL MICHIGAN 811, TOLL FREE 1-800-482-7171, THREE DAYS BEFORE YOU DIG.
3. CONTRACTOR SHALL BE RESPONSIBLE FOR THE POT HOLE AND LOCATING OF ALL EXISTING UTILITIES THAT CROSS THE PROPOSED TRENCH LINE AND MUST MAINTAIN MINIMUM VERTICAL AND HORIZONTAL CLEARANCES AS CALLED FOR BY LOCAL CODES AND/OR ORDINANCES.
4. IF ANY EXISTING HARDSCAPE OR LANDSCAPE INDICATED ON THE APPROVE PLANS IS DAMAGED OR REMOVED DURING DEMOLITION OR CONSTRUCTION, IT SHALL BE REPAIRED AND/OR REPLACED IN KIND PER THE APPROVED PLANS.
5. CONTRACTOR SHALL REPLACE OR REPAIR ALL TRAFFIC SIGNAL LOOPS, CONDUIT, AND LANE STRIPING DAMAGED DURING CONSTRUCTION.
6. THIS PROJECT WILL BE INSPECTED BY ENGINEERING AND FIELD ENGINEERING DIVISION.
7. MANHOLES OR COVERS SHALL BE LABELED COMMUNICATIONS.
8. CONTRACTOR SHALL IMPLEMENT AN EROSION CONTROL PROGRAM DURING THE PROJECT CONSTRUCTION ACTIVITIES. THE PROGRAM SHALL MEET THE APPLICABLE REQUIREMENTS OF THE STATE WATER RESOURCE CONTROL BOARD.
9. THE CONTRACTOR SHALL HAVE EMERGENCY MATERIALS AND EQUIPMENT ON HAND FOR UNFORESEEN SITUATIONS, SUCH AS DAMAGE TO UNDERGROUND WATER, SEWER, AND STORM DRAIN FACILITIES WHEREBY FLOWS MAY GENERATE EROSION AND SEDIMENT POLLUTION.



SPECIAL NOTES

1. INDEMNIFICATION CLAUSE: THE CONTRACTOR AGREES AND SHALL: ASSUME SOLE AND COMPLETE RESPONSIBILITY OF THE JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING THE SAFETY OF ALL PERSONS AND PROPERTIES. THAT THESE REQUIREMENTS SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS AND CONDITIONS. THE CONTRACTOR FURTHER AGREES TO DEFEND INDEMNITY AND HOLD EXTENET, REPRESENTATIVES, AND ENGINEERS HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED IN CONNECTION WITH THE PERFORMANCE OF THE WORK ON THIS PROJECT.
2. PRIOR TO THE BEGINNING OF ANY CONSTRUCTION AND THROUGHOUT THE COURSE OF CONSTRUCTION WORK, THE CONTRACTOR SHALL FULLY COMPLY WITH "MICHIGAN OCCUPATIONAL SAFETY AND HEALTH" ACT OF 1973 INCLUDING ALL REVISIONS AND AMENDMENTS THERETO.
3. ALL WORK SHALL CONFORM TO THE LATEST STANDARD "SPECIFICATIONS FOR PUBLIC WORKS CONSTRUCTION" AS ADOPTED BY THE CITY, COUNTY OR STATE AS MODIFIED BY STANDARD PLANS AND ADDENDUMS.
4. THE EXISTENCE AND LOCATION OF UTILITIES AND OTHER AGENCY'S FACILITIES AS SHOWN HERON ARE OBTAINED BY A SEARCH OF AVAILABLE RECORDS. OTHER FACILITIES MAY EXIST. THE CONTRACTOR SHALL VERIFY PRIOR TO THE START OF CONSTRUCTION AND SHALL USE EXTREME CARE AND PROTECTIVE MEASURES TO PREVENT DAMAGE TO THESE FACILITIES. THE CONTRACTOR IS RESPONSIBLE FOR THE PROTECTION OF ALL UTILITY OR AGENCY FACILITIES WITHIN THE LIMITS OF WORK, WHETHER THEY ARE SHOWN ON THIS PLAN OR NOT.
5. THE CONTRACTOR SHALL NOTIFY THE CITY, COUNTY OR STATE ENGINEER INSPECTION DEPARTMENT, AT LEAST TWO DAYS BEFORE START OF ANY WORK REQUIRING THEIR INVOLVEMENT.
6. THE CITY, COUNTY OR STATE SHALL SPECIFY THE EXPIRATION PERIOD OF THE PERMIT FOR THIS CONSTRUCTION PROJECT.
7. THE MINIMUM COVER FOR ALL CONDUITS PLACED UNDERGROUND SHALL BE 48 INCHES TO THE FINISHED GRADE AT ALL TIMES UNLESS OTHERWISE APPROVED.
8. THE CONTRACTOR SHALL TUNNEL ALL CURB AND GUTTERS AND BORE ALL CONCRETE DRIVEWAYS AND WALKWAYS AT THE DIRECTION OF THE CITY, COUNTY OR STATE ENGINEER.
9. ALL A C AND/OR CONCRETE PAVEMENT SHALL BE REPLACED AT THE DIRECTION OF THE CITY, COUNTY OR STATE ENGINEERS.
10. ALL SHRUBS, PLANTS OR TREES THAT HAVE BEEN DAMAGED OR DISTURBED DURING THE COURSE OF THE WORK, SHALL BE REPLANTED AND/OR REPLACED SO AS TO RESTORE THE WORK SITE TO ITS ORIGINAL CONDITION.
11. THE CONTRACTOR WILL BE RESPONSIBLE FOR THE PROCESSING OF ALL APPLICANT PERMIT FORMS ALONG WITH THE REQUIRED LIABILITY INSURANCE FORMS. CLEARLY DEMONSTRATING THAT EXTENET, THE CITY, COUNTY OR STATE IS ALSO INSURED WITH THE REQUIRED LIABILITY INSURANCE FOR THIS CONSTRUCTION PROJECT.
12. VAULTS, PEDESTALS, CONDUITS AND OTHER TYPES OF SUBSTRUCTURE ARE EITHER SPECIFIED ON THIS PLAN OR WILL BE SPECIFIED BY THE CONSTRUCTION ENGINEER. ANY AND ALL DEVIATIONS FROM THE SPECIFIED TYPES OF MATERIAL MUST BE APPROVED BY THE SYSTEM ENGINEER, IN WRITING BEFORE INSTALLATION THEREOF.
13. THE CONTRACTOR SHALL VERIFY THE LOCATION OF ALL EXISTING UTILITIES, INCLUDING SEWER LATERALS & WATER SERVICES TO INDIVIDUAL LOTS BOTH VERTICAL AND HORIZONTAL PRIOR TO COMMENCING IMPROVEMENT OPERATIONS.
14. CONTRACTOR SHALL MAKE EXPLORATION EXCAVATIONS AND LOCATE EXISTING FACILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS TO PLANS IF REVISION IS NECESSARY BECAUSE OF LOCATION OF EXISTING UTILITIES.
15. THE LOCATIONS OF ALL EXISTING UTILITIES SHOWN ON THESE PLANS ARE FROM EXISTING RECORDS AND CORROBORATED, WHERE POSSIBLE, WITH FIELD TIES. THE CONTRACTOR IS RESPONSIBLE FOR CONFIRMING THE LOCATIONS SHOWN, BOTH HORIZONTAL AND VERTICALLY. PRIOR TO CONSTRUCTION, IF EXISTING LOCATIONS VARY SUBSTANTIALLY FROM THE PLANS, THE ENGINEER SHOULD BE NOTIFIED TO MAKE ANY CONSTRUCTION CHANGES REQUIRED.

SPECIAL NOTES

- TEMPORARY EROSION/SEDIMENT CONTROL PRIOR TO COMPLETION OF FINAL IMPROVEMENTS, SHALL BE PERFORMED BY THE CONTRACTOR OR QUALIFIED PERSON AS INDICATED BELOW:
1. ALL REQUIREMENTS OF THE CITY, COUNTY AND STATE "STORM WATER STANDARDS" MUST BE INCORPORATED INTO THE DESIGN AND CONSTRUCTION OF THE PROPOSED GRADINGS/IMPROVEMENTS CONSISTENT WITH THE APPROVED STORM WATER POLLUTION PREVENTION PLAN (SWPPP), WATER QUALITY TECHNICAL REPORT (WQTR), AND/OR WATER POLLUTION CONTROL PLAN (WPCL).
2. FOR STORM DRAIN INLETS, PROVIDE A GRAVEL BAG SILT BASIN IMMEDIATELY UPSTREAM OF INLET AS INDICATED ON DETAILS.
3. FOR INLETS LOCATED AT SUMPS ADJACENT TO TOP OF SLOPES, THE CONTRACTOR SHALL ENSURE THAT WATER DRAINING TO THE SUMP IS DIRECTED INTO THE INLET AND THAT A MINIMUM OF 1.00' FREEBOARD EXISTS AND IS MAINTAINED ABOVE THE TOP OF THE INLET. IF FREEBOARD IS NOT PROVIDED BY GRADING SHOWN ON THESE PLANS THE CONTRACTOR SHALL PROVIDE IT VIA TEMPORARY MEASURES, I.E. GRAVEL BAGS OR DIKES.
4. THE CONTRACTOR OR QUALIFIED PERSON SHALL BE RESPONSIBLE FOR CLEANUP OF SILT AND MUD ON ADJACENT STREET(S) AND STORM DRAIN SYSTEM DUE TO CONSTRUCTION ACTIVITY.
5. THE CONTRACTOR OR QUALIFIED PERSON SHALL CHECK AND MAINTAIN ALL LINED AND UNLINED DITCHES AFTER EACH RAINFALL.
6. THE CONTRACTOR SHALL REMOVE SILT AND DEBRIS AFTER EACH MAJOR RAINFALL.
7. EQUIPMENT AND WORKERS FOR EMERGENCY WORK SHALL BE MADE AVAILABLE AT ALL TIMES DURING THE RAINY SEASON. ALL NECESSARY MATERIALS SHALL BE STOCKPILED ON SITE AT CONVENIENT LOCATIONS TO FACILITATE RAPID CONSTRUCTION OF TEMPORARY DEVICES WHEN RAIN IS IMMINENT.
8. THE CONTRACTOR SHALL RESTORE ALL EROSION/SEDIMENT CONTROL DEVICES TO WORKING ORDER TO THE SATISFACTION OF THE CITY ENGINEER OF RESIDENT ENGINEER AFTER EACH RUN-OFF PRODUCING RAINFALL.
9. THE CONTRACTOR SHALL INSTALL ADDITIONAL EROSION/SEDIMENT CONTROL MEASURES AS MAY BE REQUIRED BY THE RESIDENT ENGINEER DUE TO UNCOMPLETED GRADING OPERATIONS OR UNFORESEEN CIRCUMSTANCES, WHICH MAY ARISE.
10. THE CONTRACTOR SHALL BE RESPONSIBLE AND SHALL TAKE NECESSARY PRECAUTIONS TO PREVENT PUBLIC TRESPASS ONTO AREAS WHERE IMPOUNDED WATERS CREATE A HAZARDOUS CONDITION.
11. ALL EROSION/SEDIMENT CONTROL MEASURES PROVIDED PER THE APPROVED GRADING PLAN SHALL BE INCORPORATED HERON. ALL EROSION/SEDIMENT CONTROL FOR INTERIM CONDITIONS SHALL BE DONE TO THE SATISFACTION OF THE RESIDENT ENGINEER.
12. GRADED AREAS AROUND THE PROJECT PERIMETER MUST DRAIN AWAY FROM THE FACE OF THE SLOPE AT THE CONCLUSION OF EACH WORKING DAY.
13. ALL REMOVABLE PROTECTIVE DEVICES SHOWN SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN RAIN IS IMMINENT.
14. THE CONTRACTOR SHALL UNDO GRADE, INCLUDING CLEARING AND GRUBBING FOR THE AREAS FOR WHICH THE CONTRACTOR OR QUALIFIED PERSON CAN PROVIDE EROSION/SEDIMENT CONTROL MEASURES.

ABBREVIATIONS

AL	ALUMINUM	(F)	FUTURE	PRELIM	PRELIMINARY
ALY	ALLOY	FLR	FLOOR	PWR	POWER
ANT	ANTENNA	FOC	FACE OF CURB	QTY	QUANTITY
AGL	ABOVE GROUND LEVEL	FT	FOOT	R	RADIUS
AMSL	ABOVE MEAN SEA LEVEL	FS	FARSIDE	RAD	RADIATION
APVD	APPROVED	FSTNR	FASTENER	RC	RAD CENTER
APPROX	APPROXIMATE	GALV	GALVANIZED	RCVR	RECEIVER
AR, AIR	AS REQUIRED	GA	GAUGE	RELOC	RELOCATED
BAT	BATTERY	GEN	GENERATOR	REOD	REQUIRED
BC	BOLT CIRCLE	GND	GROUND/GROUNDING	ROW	RIGHT OF WAY
BLDG	BUILDING	ID	INSIDE DIAMETER	SH	SHEET
BRKT	BRACKET	MATL	MATERIAL	SPLY	SUPPLY
CAB	CABINET	MFR	MANUFACTURER	SS	STAINLESS STL
CL	CENTERLINE	MTD	MOUNTED	STD	STANDARD
CONC	CONCRETE	MTG	MOUNTING	STL	STEEL
CND	CONDUIT	MTR	METER	STRL	STRUCTURAL
DN	DOWN	MAX	MAXIMUM	SQ	SQUARE
(E)	EXISTING	MIN	MINIMUM	SW	SWITCH
EA	EACH	(N)	NEW	THD	THREAD
EL	ELEVATION	NS	NEARSIDE	THK	THICK
EMBED	EMBEDMENT	NTS	NOT TO SCALE	TNND	TINNED
EMER	EMERGENCY	OC	ON CENTER	TYP	TYPICAL
ENCL	ENCLOSURE	OD	OUTSIDE DIAMETER	UBC	UNIFORM
EP EOP	EDGE OF PAVEMENT	(P)	PROPOSED		BUILDING CODE
EOP	EQUIPMENT	PLYWD	PLYWOOD	W/	WITH
EQ SP	EQUAL SPACE	PL	PLACES	W/O	WITHOUT
HGT	HEIGHT	PNL	PANEL	XMFR	TRANSFORMER
		P/O	PART OF	XMTR	TRANSMITTER
		POSN	POSITION		

GENERAL NOTES

ROW GROUND CONSTRUCTION NOTES:

1. GC TO REMOVE/CLEAN ALL DEBRIS, NAILS, STAPLES, OR NON-USED VERTICALS OFF THE POLE.
2. ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH MUNICIPAL, COUNTY, STATE, AND FEDERAL STANDARDS AND REGULATIONS.
3. CALL MICHIGAN 811 72 HOURS PRIOR TO EXCAVATING AT (800) 482-7171.
4. ALL LANDSCAPING TO BE RESTORED TO ORIGINAL CONDITION OR BETTER.
5. ALL EQUIPMENT TO BE BONDED.
6. METERING CABINET(IF PLACED) REQUIRES 3' CLEARANCE AT DOOR OPENING.
7. CAULK CABINET BASE AT PAD.

CAULK CABINET BASE AT PAD, STANDARD GROUNDING NOTES:

1. GROUND TESTED AT 25 OHMS OR LESS.
2. 5/8"x8" ROD, CAD WELD OR UL LISTED DIRECT BURY CLAMP BELOW GRADE
3. #6 GROUND AND BOND WIRE.
4. MOLDING, STAPLED EVERY 1' AND AT EACH END
5. GROUND RODS 3' FROM POLE.

STANDARD CONDUIT NOTES:

1. FOR UNDERGROUND USE SCHEDULE 40.
2. FOR RISERS USE SCHEDULE 80.
3. PLACE 2" SDR-11 RED CONDUIT FOR UG POWER APPLICATIONS.
4. RISERS TO BE ATTACHED TO POLE WITH STANDARD U-CLAMPS AND LAG SCREWS.
5. RISER U-CLAMPS TO BE INSTALLED EVERY 5'.
6. CONDUIT UNDER 1" MAY BE ATTACHED WITH GROUND WIRE MOLDING STAPLES.
7. ALL CONDUIT WILL BE PROOFED WITH A MANDREL AND EQUIPPED WITH PULL ROPE OR MULE TAPE.

STANDARD TRENCHING NOTES:

1. MAINTAIN 24" MINIMUM COVER FOR ELECTRICAL CONDUIT.
2. MAINTAIN 48" MINIMUM COVER FOR COMMUNICATIONS CONDUIT.
3. IN STREET SLURRY TO GRADE AND MILL DOWN 1-1/2" FOR AC CAP.
4. IN DIRT SLURRY 18" FROM GRADE, AND FILL WITH 95% COMPACTION IN NATIVE SOIL FOR BALANCE.
5. PLACE WARNING TAPE IN TRENCH 12" ABOVE ALL CONDUITS AND #18 WARNING TAPE ABOVE GROUND RING.

ROW UTILITY POLE CONSTRUCTION NOTES:

1. NO BOLT THREADS TO PROTRUDE MORE THAN 1-1/2".
2. FILL ALL HOLES LEFT IN POLE FROM REARRANGEMENT OF CLIMBERS.
3. ALL CLIMB STEPS NEXT TO CONDUIT SHALL HAVE EXTENDED STEPS.
4. CABLE NOT TO IMPEDE 15" CLEAR SPACE OFF POLE FACE (12:00).
5. 90° SHORT SWEEPS UNDER ANTENNA ARM. ALL CABLES MUST ONLY TRANSITION ON THE INSIDE OR BOTTOM OF ARMS (NO CABLE ON TOP OF ARMS).
6. USE CABLE CLAMPS TO SECURE CABLE TO ARMS; PLACE 2" CARRIER CABLE ID TAGS ON BOTH SIDES OF ARMS.
7. USE 90° CONNECTOR AT CABLE CONNECTION TO ANTENNAS.
8. USE 1/2" CABLE ON ANTENNAS UNLESS OTHERWISE SPECIFIED.
9. FILL VOID AROUND CABLES AT CONDUIT OPENING WITH FOAM SEALANT TO PREVENT WATER INTRUSION.

	GAS	(E) UG GAS
	OIL	(E) UG PETROLEUM
	W	(E) UG WATER
	R	(E) UG STORM
	S	(E) UG SANITARY
	TV	(E) UG CABLE TV
	T	(E) UG TELEPHONE
	FO	(E) UG FIBER OPTIC
	E	(E) UG POWER
	OH	(E) OVERHEAD COMM
	PWR	(E) OVERHEAD POWER
		(E) BUILDING
		(E) WATER BODY
		(E) WASH/WETLAND
		(E) CULVERT
		(E) FENCE
		(E) BLOCK WALL
		(E) GUARDRAIL
		(E) ROAD EDGE/CURB
		(E) LIP OF GUTTER
		(E) DIRT ROAD
		(E) DRIVEWAY
		(E) SIDEWALK

	(E) RIGHT OF WAY
	(E) PROPERTY LINE
	(E) RAILROAD
	(E) LANE STRIPE
	NB (P) AERIAL NEW BUILD
	OL (P) AERIAL OVERLASH
	DB (P) DIRECTIONAL BORE
	TR (P) OPEN TRENCH
	PL (P) FLOW
	00+00 (P) STATIONING
	V (P) VAULT
	BUSH
	DECIDUOUS TREE
	CONIFEROUS TREE
	ELECTRIC SIGN
	BIKE RACK
	TRASHCAN
	POST/MARKER
	MAILBOX
	UNKNOWN MANHOLE
	UNKNOWN VAULT
	FIBER VAULT
	FIBER PED

	TELEPHONE MANHOLE
	TELEPHONE VAULT
	TELEPHONE LARGE PED
	TELEPHONE SMALL PED
	CATV HAND HOLE
	CATV VAULT
	CATV LARGE PED
	CABLE SMALL PED
	SANITARY SEWER MANHOLE
	STORM SEWER MANHOLE
	STORM CATCH BASIN
	WATER BLOW OFF
	WATER VALVE
	WAIER CURB BOX
	WATER GATE AND VALVE
	FIRE HYDRANT
	WATER VAULT
	BACKFLOW VALVE
	AIR RELIEF VALVE
	WATER WELL MONITOR
	PLUG & CAP
	PRESSURE REDUCING VALVE
	NON-POTABLE VALVE

	NON-POTABLE MANHOLE
	CATHODIC PROT TEST
	JUNCTION BOX
	PULL BOX
	SUBSURFACE XFR
	PADMOUNTED 3PH XFR
	PAD MOUNTED SWITCHING
	PAD MOUNTED JUNCTION
	PAD MOUNTED SECTIONALIZER
	PAD MOUNTED CAPACITOR
	PAD MOUNTED BREAK SWITCH
	PAD MOUNTED FUSE DISCONNECT
	RECTANGLE POWER MANHOLE
	LARGE POWER PED
	POWER MANHOLE
	ELECTRIC CABINET
	POWER POLE
	POWER POLE WITH TRANSFORMER
	JOINT POLE
	JOINT POLE WITH TRANSFORMER
	TELEPHONE POLE
	CATV POLE
	METAL POLE

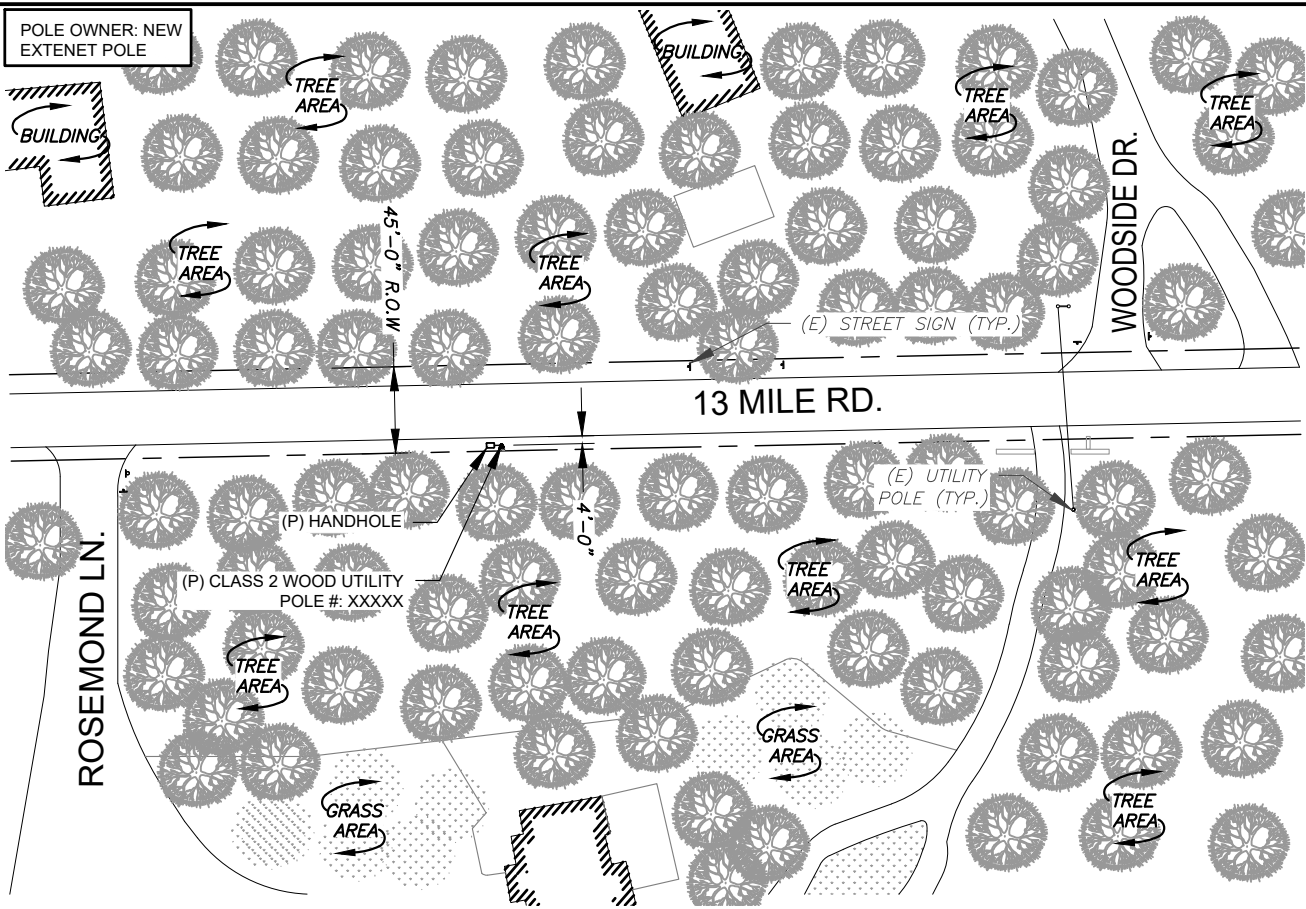
	CONCRETE POLE
	TRAFFIC SIGNAL
	POWER METER
	CROSS WALK POLE
	LOW LEVEL LIGHT POLE
	HIGH LEVEL LIGHT POLE LARGE
	TRAFFIC SIGNAL POLE
	GAS VALVE
	GAS MANHOLE
	NORTH ARROW
	SPOT ELEVATION (DATUM)
	FLAG NOTE
	ITEM BALLOON (DETAIL SHEETS)
	DETAIL REFERENCE
	SECTION REFERENCE

ROW CONSTRUCTION GENERAL NOTES

SCALE	3
NTS	

LEGEND & SYMBOLS

SCALE	1
NTS	

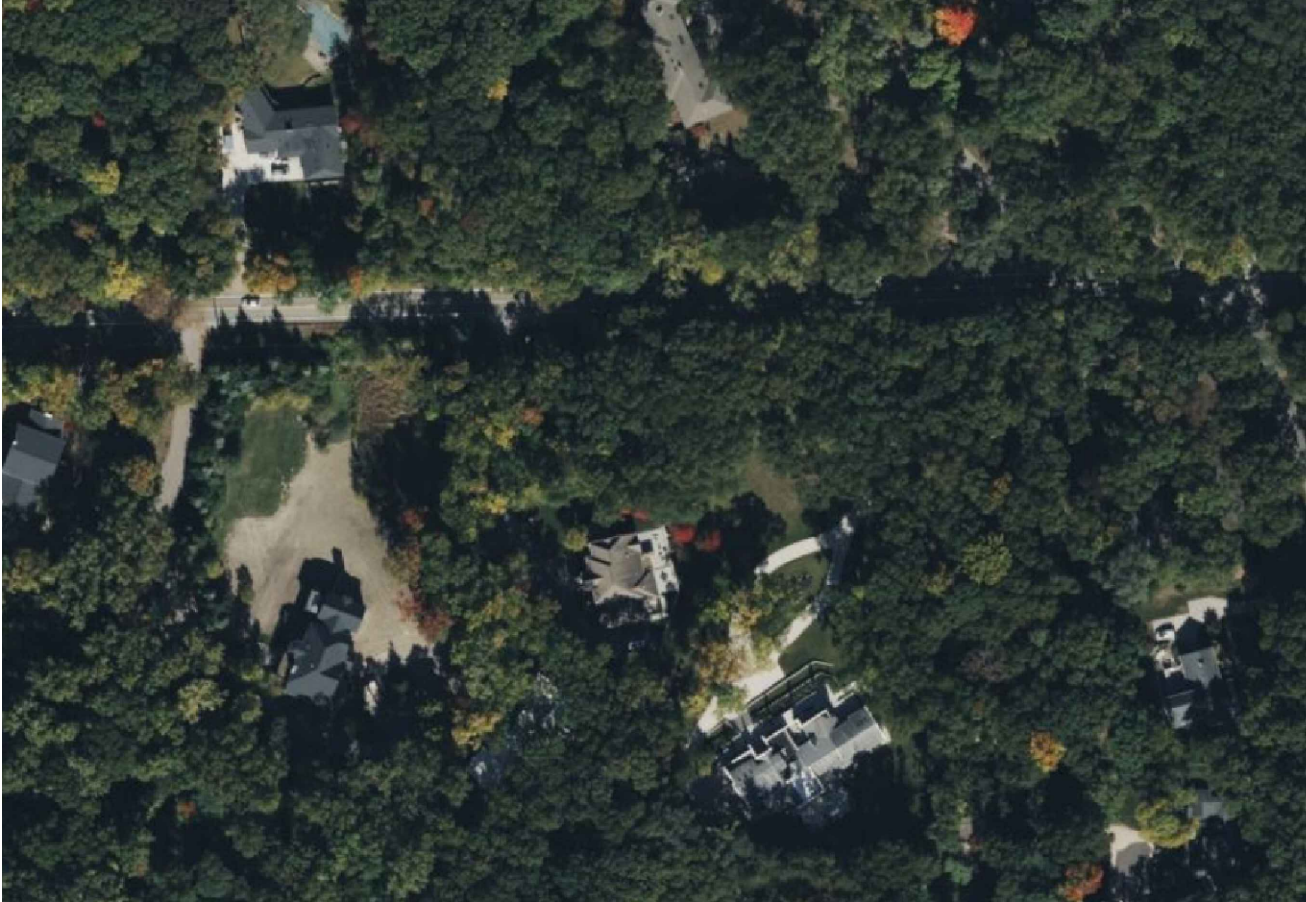


SITE PLAN

B-SCALE NTS
D-SCALE NTS 4

EQUIPMENT PLAN VIEW

B-SCALE 1/2"=1'-0"
D-SCALE 1"=1'-0" 2

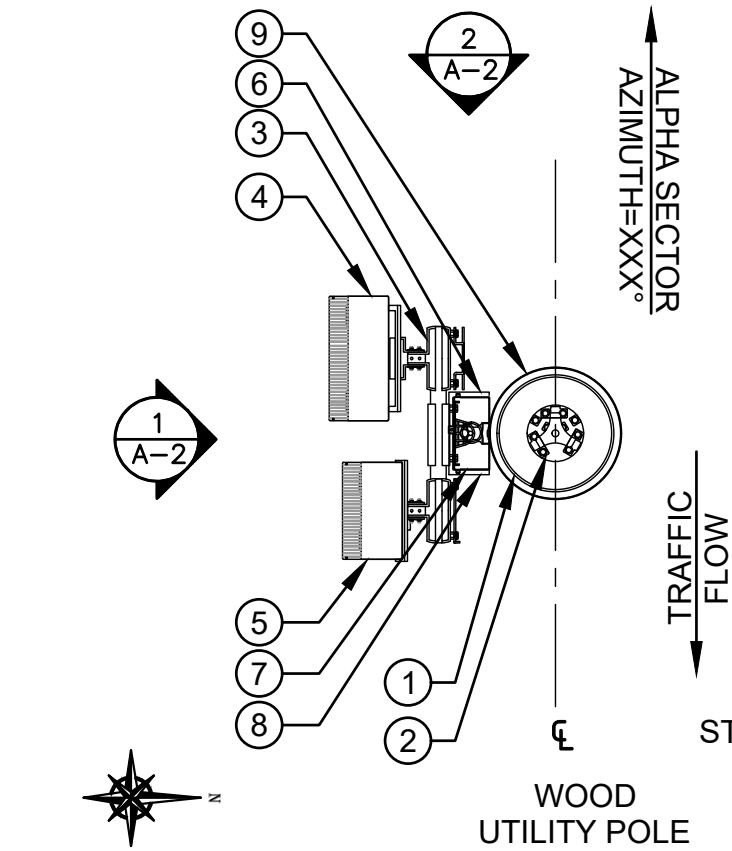


SITE PLAN AERIAL OVERVIEW

B-SCALE NTS
D-SCALE NTS 3


EXISTING SITE PHOTO

B-SCALE NTS
D-SCALE NTS 1




FLAGNOTE LEGEND		
FLAGNOTE	DESCRIPTION	DETAIL
1	PANEL/OMNI ANTENNA	1/D1
2	ANTENNA MOUNTING BRACKET	2/D1
3	RADIO BRACKET	2/D3
4	RADIO - AZHL	3/D3
5	RADIO - AHFIB	4/D3
6	LOAD CENTER	2/D2
7	FIBER NID	1/D3
8	FUSED DISCONNECT	1/D2
9	PROPOSED EXTENET WOOD POLE	-
10	U-GUARD RISER FOR COAX/FIBER	-
11	CONDUIT RISER FOR PWR	-

APPLICANT



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FRISCO, TX 75034
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ARCHITECT/ENGINEER



49030 PONTIAC TRAIL, SUITE 100
WIXOM, MI 48393

REVISIONS:

#	DATE	DESCRIPTION	INT.
C	08/09/23	REVISED CD	RC
B	07/28/23	REVISED CD	RC
A	04/06/23	CD	RC

PROFESSIONAL STAMP

PROJECT NAME:

MI-S000000039
SMALL CELL NETWORK
TMO ID:
DE0800BA_61LAB

PROJECT LOCATION:

27008-27060 W 13 MILE RD,
FRANKLIN, MI 48025

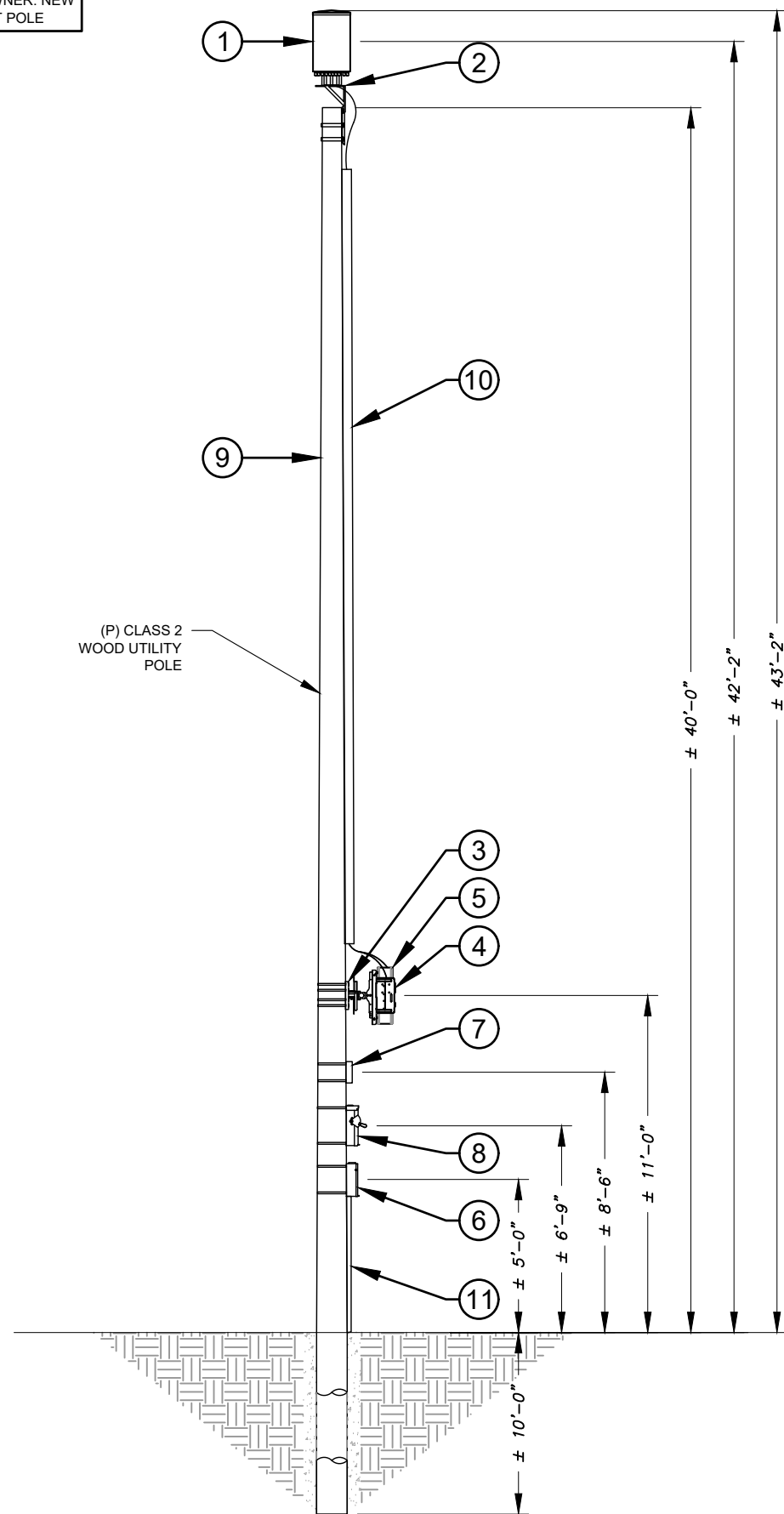
SHEET TITLE:

SITE PLANS

SHEET NUMBER:

A1

POLE OWNER: NEW
EXTENET POLE

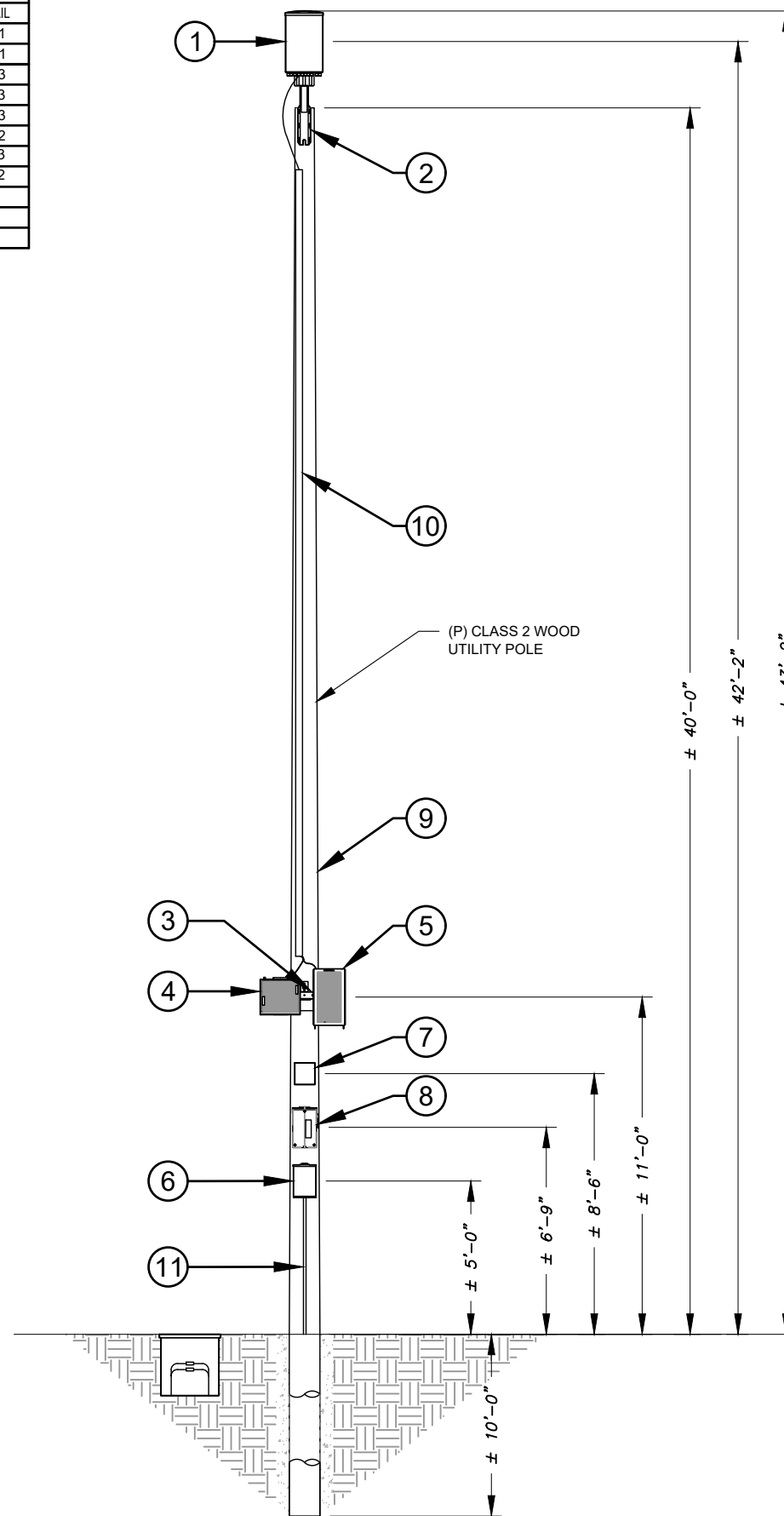


PROPOSED NORTH ELEVATION

B-SCALE 3/16"=1'-0"
D-SCALE 3/8"=1'-0"

2

FLAGNOTE LEGEND		
FLAGNOTE	DESCRIPTION	DETAIL
1	PANEL/OMNI ANTENNA	1/D1
2	ANTENNA MOUNTING BRACKET	2/D1
3	RADIO BRACKET	2/D3
4	RADIO - AZHL	3/D3
5	RADIO - AHFIB	4/D3
6	LOAD CENTER	2/D2
7	FIBER NID	1/D3
8	FUSED DISCONNECT	1/D2
9	PROPOSED EXTENET WOOD POLE	-
10	U-GUARD RISER FOR COAX/FIBER	-
11	CONDUIT RISER FOR PWR	-



PROPOSED WEST ELEVATION

B-SCALE 3/16"=1'-0"
D-SCALE 3/8"=1'-0"

1

APPLICANT



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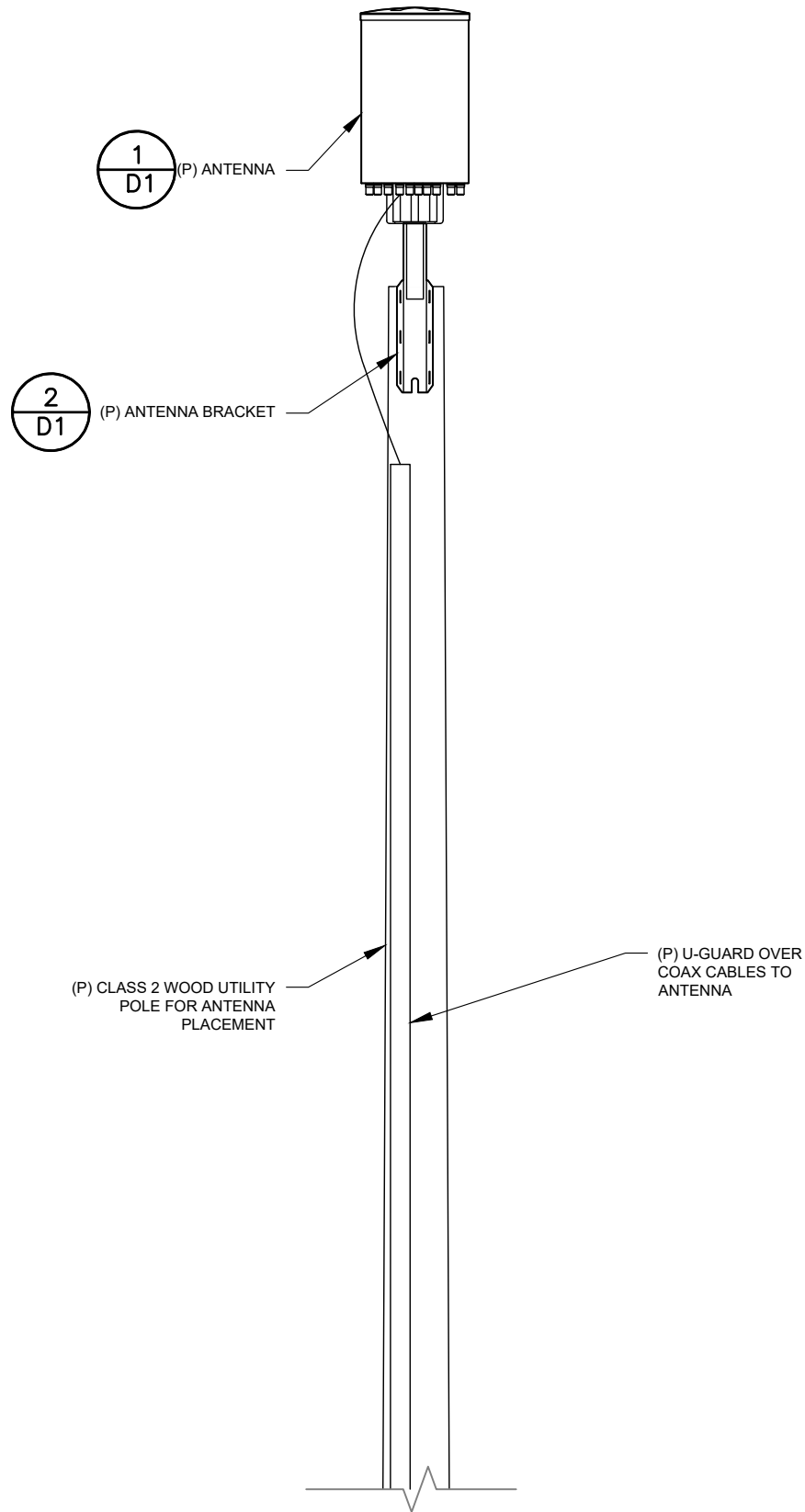
27008-27060 W 13 MILE RD,
FRANKLIN, MI 48025

SHEET TITLE:

SITE ELEVATIONS

SHEET NUMBER:

A2



ANTENNA MOUNT ASSEMBLY

B-SCALE 1/2"=1'-0"
D-SCALE 1"=1'-0"

3

AMPHENOL 4U4VT360X06Fxys4 ANTENNA



16-Port Canister Antenna
(4x) 1695-2700 | (4x) 3300-4200 MHz

OMNI 23.9 IN FIXED TILT

4U4VT360X06Fxys4

Features

- Pseudo omni configuration with 16 connectors
- Ideal for multi-carrier or MIMO deployments
- Broadband networks 1695-2700 and 3300-4200 MHz
- Easily removable lifting ring
- Improvements in gain, port isolation and VSWR
- Can be ordered with an integrated GPS unit
- Available for order with a grey, brown or black radome

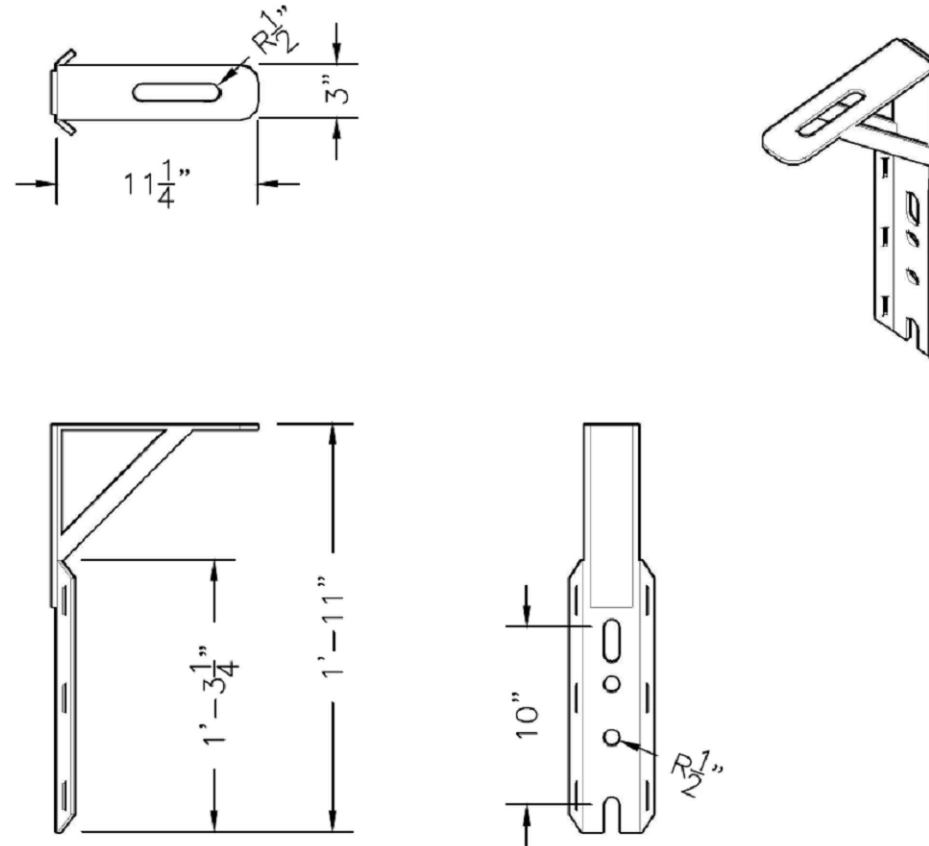


MECHANICAL SPECIFICATIONS

Antenna	Height	mm (in)	608 (23.9)
	Diameter	mm (in)	371 (14.6)
Net Weight - Antenna Only		kg (lbs)	13.2 (29)
Windload	Calculation	km/h (mph)	160 (100)
	Frontal	N (lbf)	191 (43)
Survival Wind Speed		km/h (mph)	241 (150)
Wind Area		m² (ft²)	0.22 (2.4)
Volume		m³ (ft³)	0.07 (2.3)
Connector	Type	---	(16x) 4.3-10 Female; (1x) N-Type Female with optional GPS Unit
	Position	---	Bottom
Radome Color		---	Grey (Pantone 420 C), Brown (Pantone 476 C), Black (RAL 9011)
Lightning Protection (Grounding Type)		---	Direct Ground

B-SCALE NTS
D-SCALE NTS

2



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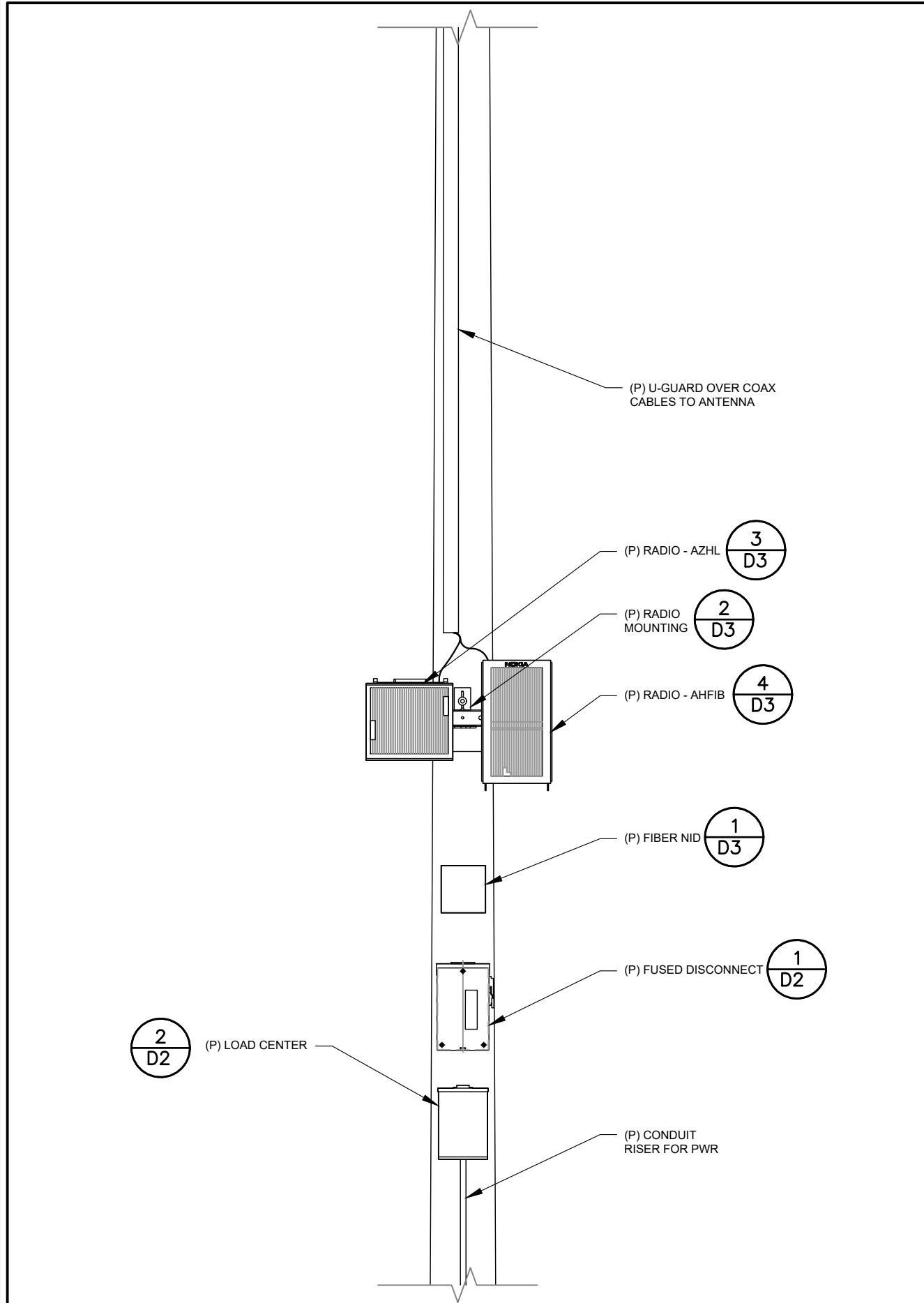
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FRANKLIN, MI 48025

SHEET TITLE:

EQUIPMENT DETAILS

SHEET NUMBER:

D1



POLE MOUNTED EQUIPMENT ASSEMBLY RADIO AREA

B-SCALE 1/2"=1'-0"
D-SCALE 1"=1'-0"

3

FUSED DISCONNECT (TG4323R)

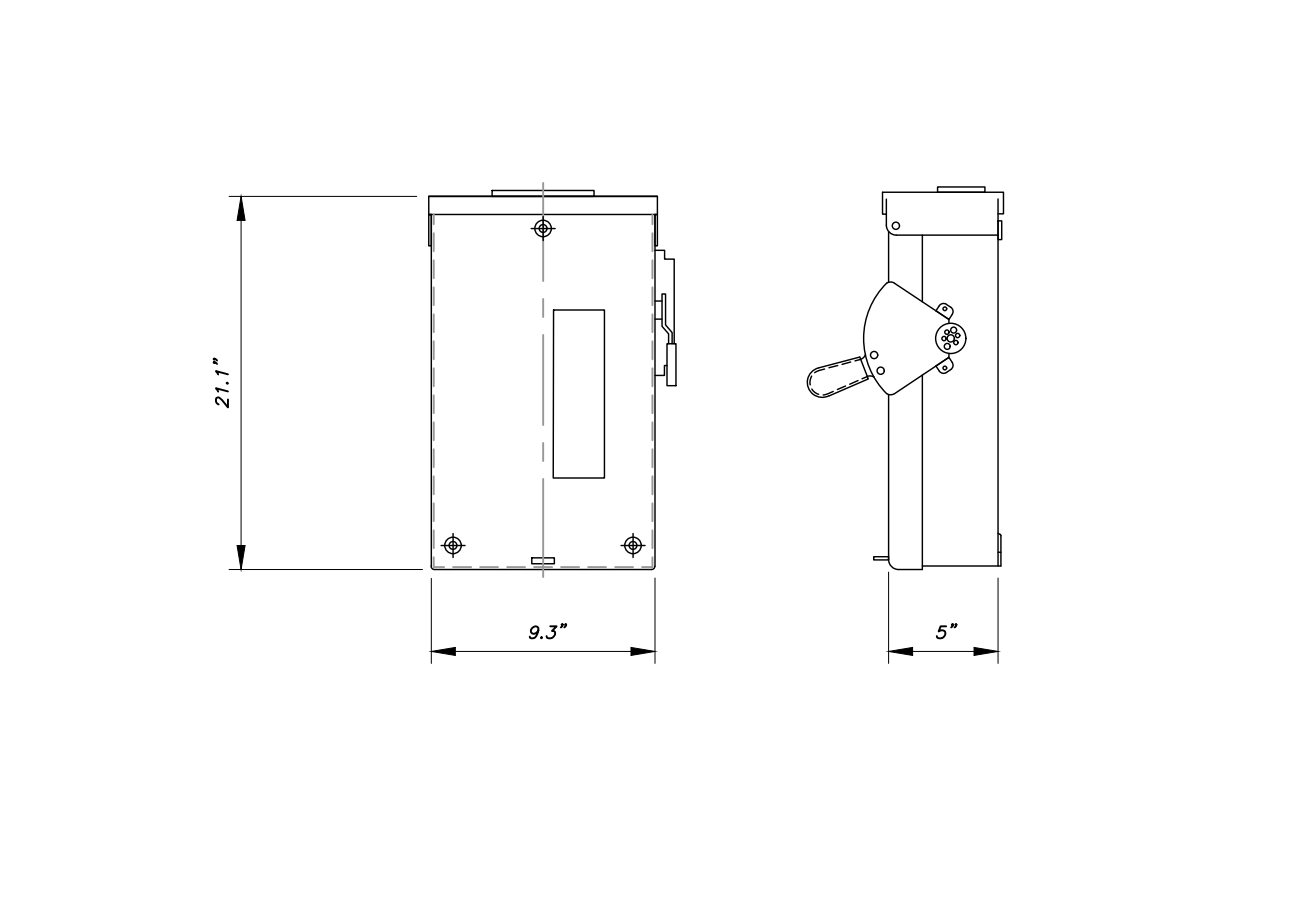
B-SCALE NTS
D-SCALE NTS

1

LOAD CENTER


B-SCALE NTS
D-SCALE NTS

2




SQUARE D QO6-12L100RB
LOAD CENTER

APPLICANT



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27008-27060 W 13 MILE RD,
FRANKLIN, MI 48025

SHEET TITLE:

EQUIPMENT DETAILS

SHEET NUMBER:

D2

AHFIB AirScale RRH 4T4R B25/66 160W

Product name	AirScale Dual RRH 4T4R B25/66 320W, AHFIB – 474216A
Supported Frequency bands	3GPP Bands 25 and 66
Frequencies	Band 25: DL 1930–1995MHz, UL 1850–1915MHz Band 66: DL 2110–2200MHz, UL 1710–1780MHz
Number of TX/RX ports	4/4
Instantaneous Bandwidth IBW	Band 25/ Band 66 – full band
Occupied Bandwidth OBW	Band 25: full band, Band 66: 80MHz
Output Power	40W per band, 80W per TX
Supply Voltage / Voltage Range	DC-48 V / -36V to -60V
Typical Power Consumption	525W (ETSI 24h Avg – 4x20W per band, 40W per TX port)
Antenna Ports	4 ports, 4.3–10+
Optical Ports	2 x CPRI 9.8 Gbps
ALD Control Interfaces	AISG3.0 from ANT 1,2,3,4 and RET (Power supply ANT1 and ANT3)
Other Interfaces	External Alarm MDR-26 Serial connector (4 inputs, 1 Output) DC Circular Power Connector
Operational Temperature Range	-40°C to 55°C (with no solar load)
Dimensions (mm)	560x308x149 mm (without covers or mounting bracket)
Height x width x depth	
Volume (liters)	< 26 (without covers or mounting bracket)
Weight (kg)	< 30 (without covers or mounting bracket)
Ingress protection class	IP65
Installation options	Pole, Wall, Book mount: Vertical wall/pole, Horizontal wall
Surge protection	Class II 5kA

AirScale Multiband RRH



AHFIB 474216A

NOKIA

RADIO - AHFIB

B-SCALE	NTS
D-SCALE	NTS

4

AZHL AirScale RRH 8T8R B41 320W
Technical data

Specification	Details
Standard	3GPP compliant, TDD
Band / Frequency range	N41/B41 2496 – 2690MHz
Max. supported modulation	256 QAM
Number of TX/RX paths	8T / 8R
Instantaneous bandwidth IBW	194 MHz
Occupied bandwidth OBW	190 MHz
Max. output power per TRX	40 W / TRX (320 W total)
Dimensions	350 mm (H) x 395 mm (W) x 190 mm (D)
Volume	26.3 l
Weight	23 kg (without mounting bracket)
Supply voltage / Connector type	DC -36 V ... -60 V / 2 pole connector
Power consumption	559 W typical (75% DL duty cycle, ETSI 24H Average) 1140 W max (75% DL duty cycle, 100% RF load)
Antenna ports, Calibration port	8 x 4.3–10, 1 x 4.3–10
ALD Control Interfaces	Control AISG2.0/3.0,
Optical ports	2 x SFP28, 9.8G CPRI, 10/25GE eCPRI (Octis Boot)
Other interfaces / Connector type	External Alarms / MDR26,
Operational temperature range	-40 °C ... +55 °C
Cooling	Natural convection cooling
Installation options	Pole, Wall, Book
Ingress / Surge protection	IP65, DC-port Class II +/- 5kA
Supported RAT	TD-LTE, NR

AirScale High Power RRH
benefits

- Connectivity with AirScale BBU (via CPRI/eCPRI) – Initial release with CPRI
- Beamforming capable 8T8R with 8x 40 W
- Various operating modes: 8T8R , 2x 4T4R and 4x 2T2R
- Deployment flexibility for different use cases with multiple mounting options



AZHL 475432A

NOKIA

RADIO - AZHL

B-SCALE	NTS
D-SCALE	NTS

3

POLE MOUNTED FIBER NID (FIS-Z1602FTTX)

FIS FTTX INTERCONNECT ENCLOSURES -
Z1602FTTX



- FEATURES**
- Provides slack 3 meters storage for minor repairs and testing
 - Accommodates up to 6 drop connections
 - Can be mounted indoors or outdoors where space is limited
 - Protects fiber and connections for long life

This FIS fiber transition housing (FTH) provides an optical demarcation and interconnection point for fiber-to-the-premises (FTTP) applications. Suitable for indoor or outdoor locations, the FTH provides physical protection for the transition between provider and customer, and facilitates system testing. Fiber entering and exiting the housing may be secured using the internal lances with the tie wraps. Slack cable is held neatly and securely using the backplate with integrated slack routing/management guides. The backplate also incorporates mounting clips for fusion or mechanical splices. The housings are molded from an engineering grade thermoplastic selected to withstand harsh outdoor environments. These housings may be installed on a wall or secured to a vertical conduit. Unauthorized access is deterred by the security screw latch. For added security, a lock may be installed on the integrated locking hasp.

SPECIFICATIONS

Dimensions	8.42"H x 7.92"W x 2.5"D
Temperature Range, Storage	-10 °C - 60 °C (14 °F - 140 °F)
Housing Material	Thermoplastic
Number of Adapters/Drop Cables	(6) SC Simplex or (6) LC Duplex Adapters and (6) Pre Term Drop Cables
Ground Configuration	Ground Post
Security Fasteners	Standard 3/8-in hex screw

B-SCALE	NTS
D-SCALE	NTS

1

APPLICANT



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PROFESSIOINAL STAMP

PROJECT NAME:

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SMALL CELL NETWORK
TMO ID:
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PROJECT LOCATION:

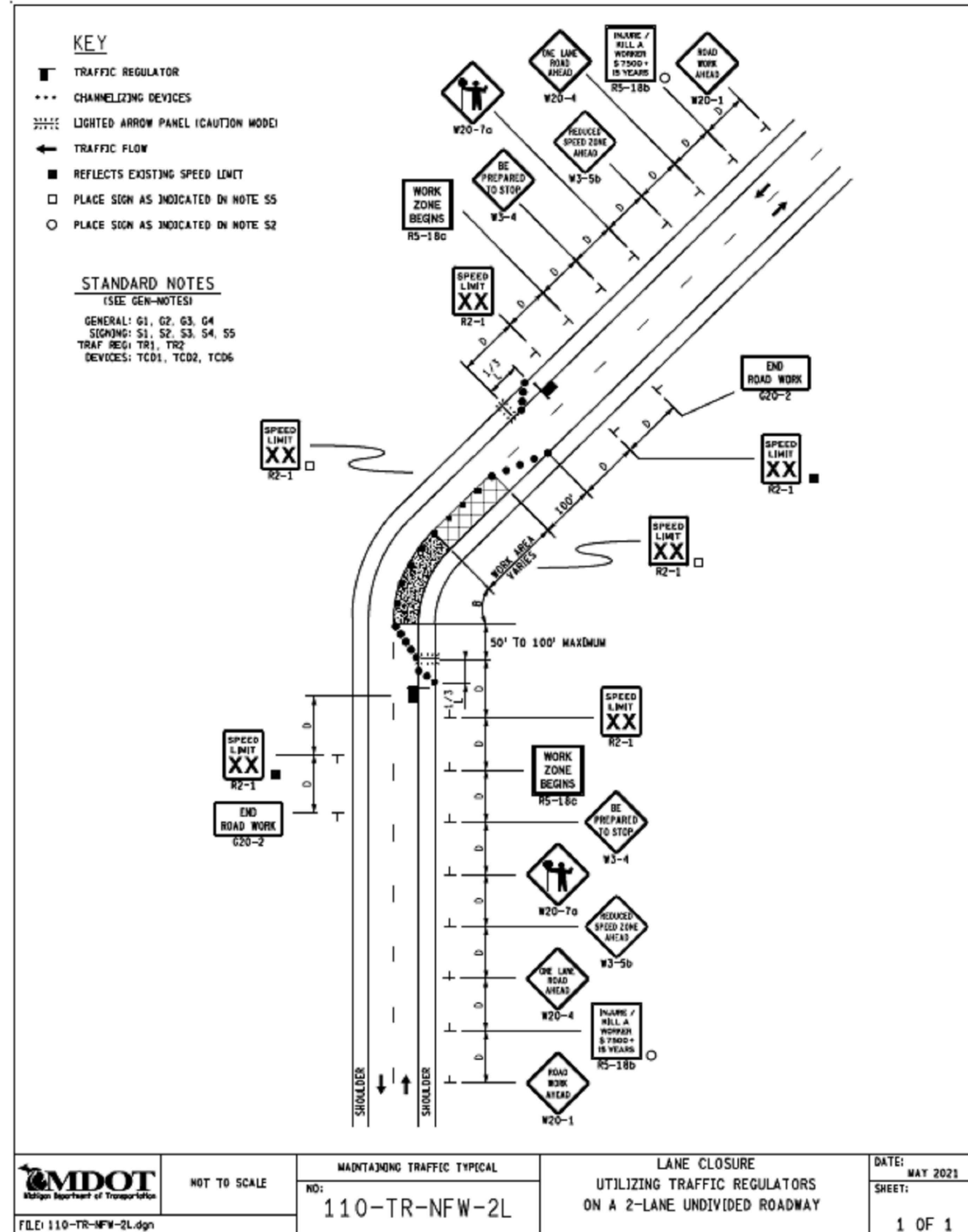
27008-27060 W 13 MILE RD,
FRANKLIN, MI 48025

SHEET TITLE:

EQUIPMENT DETAILS

SHEET NUMBER:

D3



APPLICANT



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REVISIONS:

#	DATE	DESCRIPTION	INT.
C	08/09/23	REVISED CD	RC
B	07/28/23	REVISED CD	RC
A	04/06/23	CD	RC
#	DATE	DESCRIPTION	INT.

PROFESSIONAL STAMP

PROJECT NAME:

MI-S000000039
SMALL CELL NETWORK
TMO ID:
DE0800BA_61LAB

PROJECT LOCATION:

27008-27060 W 13 MILE RD,
FRANKLIN, MI 48025

SHEET TITLE:

TRAFFIC CONTROL
PLAN

SHEET NUMBER:

MDOT