

P.O. Box 157
10405 Merrill Road
Hamburg, Michigan 48139-0157

(810) 231-1000 Office
(810) 231-4295 Fax



Supervisor: Pat Hohl
Clerk: Mike Dolan
Treasurer: Jason Negri
Trustees: Bill Hahn
Annette Koeble
Chuck Menzies

**HAMBURG TOWNSHIP BOARD OF TRUSTEES
REGULAR MEETING**

Hamburg Township Hall Board Room

Tuesday, March 17, 2020

7:00 p.m.

AGENDA

1. Call to Order
2. Pledge to the Flag
3. Roll Call of the Board
4. Call to the Public
5. Correspondence
6. Consent Agenda
7. Approval of the Agenda
8. Unfinished Business:
 - A. Open Trustee Position
 - B. Strategic Planning – Update/Reschedule
 - C. Bob White Beach Blvd – Road Improvement SAD – Resolution #5
 - D. Downing Drive – Road Maintenance SAD Resolution #3
 - E. Downing Drive – Road Improvement SAD – Resolution #5
 - F. Edge lake/Burton Drive – Road Improvement SAD – Resolution #5
9. Current Business:
 - A. Township Operations - COVID 19 Protocol
 - B. Ordinance 24C – 1st Reading
 - C. Ordinance 28F – 1st Reading
 - D. Emergency Management Resolution
 - E. Final Site Plan Review – Strawberry Creek Farms
 - F. Amended LETS Bus Agreement
 - G. Regency Village Pump Station Payment
 - H. 2020 Master Plan
 - I. Over Road Banner – Merrill Rd
 - J. Temporary Speed Reduction – Merrill Rd
 - K. Lee Road – Joint Road Project
 - L. Zoning Department Hiring – Temporary Part Time
 - M. Assessing Department – Wage Adjustment Scheitz & West
 - N. Museum Administrator – Part Time Hiring
 - O. Payment Approval – Livingston County Drain Commission - \$654.61
 - P. Payment Approval – Boomers Party Store – Election Workers Food – \$652.39
 - Q. Payment Approval – C & E Construction - Invoice #2455 - \$9397.50
 - R. Payment Approval – EDC of Livingston – Invoice #1283 - \$20,913.57
10. Call to the Public
11. Board Comments
12. Public Information
 - A. DTE Tree Cutting Program for 2020
13. Adjournment

Pledge to the Flag



No Correspondence

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Supervisor: Pat Hohl
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Chuck Menzies
Jim Neilson

**HAMBURG TOWNSHIP BOARD OF TRUSTEES
REGULAR MEETING**

Hamburg Township Hall Board Room

Tuesday, March 17, 2020

7:00 p.m.

CONSENT AGENDA

1. Approval of the Minutes
 - A. Township Board Regular Meeting Minutes – March 3, 2020
 - B. Township Board 1st Public Hearing – Louis Lane Road SAD – February 25, 2020
 - C. Township Board 1st Public Hearing – Oneida Way Road SAD – February 25, 2020
 - D. Township Board 1st Public Hearing – Pine Valley Road SAD – February 25, 2020
 - E. Township Board 1st Public Hearing – Tamarack Lake SAD – February 25, 2020
2. Bills/Vendor Payable List (A&B)
3. Department/Committee Reports
 - A. MUC Meeting Minutes – February 12, 2020
 - B. Library Monthly Report – February 2020
 - C. DPW Monthly Report – February 2020
 - D. Police Department Monthly Report – February 2020

HAMBURG TOWNSHIP BOARD OF TRUSTEES
Regular Meeting
Hamburg Township Hall Board Room
Tuesday, March 3, 2019
2:30 p.m.

1. Call to Order

Supervisor Hohl called the meeting to order at 2:30 p.m.

2. Pledge to the Flag

3. Roll Call of the Board

Present: Dolan, Koeble, Hohl, Negri
Absent: Menzies, Hahn
Also Present: Patricia Hughes, Deputy Clerk

4. Call to the Public

Kristy Masters, 7095 Winding Trail, stated her objection to the Pine Valley Estate Road Improvement SAD.

5. Correspondence

None.

6. Approval of the Consent Agenda

Motion by Negri, second by Koeble, to approve the Consent Agenda as presented.

Voice Vote: AYES: 4, ABSENT: 2 MOTION CARRIED

7. Approval of the Agenda

Motion by Dolan, second by Negri, to approve the Agenda as amended with the removal of 9E & 10A.

Voice Vote: AYES: 4, ABSENT: 2 MOTION CARRIED

8. Police Department – Reserve Officer Swearing In

Motion by Dolan, second by Koeble, to approve the appointment of Ray Lanning as a Hamburg Township Reserve Police Officer effective immediately.

Voice Vote: AYES: 4, ABSENT: 2 MOTION CARRIED

9. Unfinished Business

A. Louis Lane – Road Improvement SAD Resolution #3 & #4

Motion by Dolan, second by Negri, to approve the Resolution #3 for Louis Lane Road Improvement SAD.

ROLL CALL Vote: Hahn: Absent, Hohl: Y, Koeble: Y, Negri: Y, Menzies: Absent, Dolan: Y
MOTION CARRIED

Motion by Negri, second by Koeble, to approve the Resolution #4 for Louis Lane Road Improvement SAD setting the second public hearing for Tuesday, March 24, 2020 at 5:30 p.m.

**ROLL CALL Vote: Hahn: Absent, Hohl: Y, Koeble:Y, Negri: Y, Menzies: Absent, Dolan: Y
MOTION CARRIED**

B. Oneida Lane – Road Improvement SAD Resolution #3 & #4

Motion by Negri, second by Koeble, to approve the Resolution #3 for Oneida Lane Road Improvement SAD.

**ROLL CALL Vote: Hahn: Absent, Hohl: Y, Koeble:Y, Negri: Y, Menzies: Absent, Dolan: Y
MOTION CARRIED**

Motion by Negri, second by Koeble, to approve the Resolution #4 for Oneida Lane Road Improvement SAD setting the second public hearing for Tuesday, March 24, 2020 at 5:00 p.m.

**ROLL CALL Vote: Hahn: Absent, Hohl: Y, Koeble:Y, Negri: Y, Menzies: Absent, Dolan: Y
MOTION CARRIED**

C. Pine Valley – Road Improvement SAD Resolution #3 & #4

Open Call to the Public - 2:51 p.m.

Lori Nakon, 6832 Wide Valley Drive, asked about Tamarack Lake and how they did improvements on just entrance and also how the support was calculated.

Marcia Bauers, 6993 Wide Valley Drive, stated her objection to the Pine Valley Road Improvement SAD.

Anthony Gole, 6833 Wide Valley Drive, thanked the County Road Commission for the work they had done previously and the Board for their work.

Jennifer Defenderfer, 6816 Wide Valley Drive, thanked the Board for the extra attention.

Stephanle Cesarz, 7155 Wide Valley Drive, asked about doing another SAD and stated her support for the project.

Kristy Masters, 7095 Winding Trail, stated her appreciation to the Board & neighbors who did the work for this project.

Closed Call to the Public – 2:59 p.m.

No Action Taken – SAD Falls.

D. Tamarack Lake Subdivision – Road Improvement SAD Resolution #3 & #4

Motion by Negri, second by Koeble, to approve the Resolution #3 Tamarack Lake Subdivision Road Improvement SAD.

**ROLL CALL Vote: Hahn: Absent, Hohl: Y, Koeble:Y, Negri: Y, Menzies: Absent, Dolan: Y
MOTION CARRIED**

Motion by Koeble, second by Negri, to approve the Resolution #4 Tamarack Lake Subdivision Road Improvement SAD setting the second public hearing for Tuesday, March 24, 2020 at 6:00 p.m.

**ROLL CALL Vote: Hahn: Absent, Hohl: Y, Koeble:Y, Negri: Y, Menzies: Absent, Dolan: Y
MOTION CARRIED**

E. Open Trustee Position - Recommendation

Removed.

10. Current Business

A. 2020 Master Plan Update

Removed.

B. Fire Department – Thermal Imaging Cameras

Motion by Dolan, second by Koeble, to approve the purchase of Thermal Imaging Camera Replacements at a cost of \$32,915.92 less the grants and trade in matching of old cameras from MMRMA.

Voice Vote: AYES: 4, ABSENT: 2

MOTION CARRIED

C. Fire Department – S.O.P. Updates

Motion by Hohl, second by Negri, to approve the Fire Department S.O.P. 100-16 as provided in the packet.

Voice Vote: AYES: 4, ABSENT: 2

MOTION CARRIED

Motion by Hohl, second by Koeble, to approve the Fire Department S.O.P. 100-17 as proposed in the packet.

Voice Vote: AYES: 4, ABSENT: 2

MOTION CARRIED

Motion by Hohl, second by Koeble, to approve the Fire Department S.O.P. 100-18 employee injury and illness.

Voice Vote: AYES: 4, ABSENT: 2

MOTION CARRIED

D. DPW - Decant Valve

Motion by Hohl, second by Negri, to approve the expenditure of \$10,986.00 for the replacement butterfly valve for the wastewater treatment plant as stated in the memo from Tony Randazzo dated 02/26/2020.

Voice Vote: AYES: 4, ABSENT: 2

MOTION CARRIED

E. DPW – LED Lighting

Motion by Hohl, second by Negri, to approve the purchase of LED lights from Standard Electric for the wastewater treatment plant at a cost of \$5,820.60 as provided in the memo from Tony Randazzo dated 02/26/2020.

Voice Vote: AYES: 4, ABSENT: 2

MOTION CARRIED

F. Grounds – Fertilizer RFP

Motion by Hohl, second by Koeble, to solicit a proposal from Green Pastures and that the proposal be approved by Dolan, Hohl and Randazzo.

Voice Vote: AYES: 4, ABSENT: 2

MOTION CARRIED

G. I.T. – Coordinator Hiring

Motion by Hohl, second by Koeble, to approve the hiring of Fred Steuber for the IT Coordinator position grade 9 position at the rate of \$27.40/hour, that he be eligible for the ECI increase on July 1, 2020 and receive a 3% raise after successful completion of the 6-month probationary period contingent upon meeting the Townships pre-hire requirements.

Voice Vote: AYES: 4, ABSENT: 2

MOTION CARRIED

H. DPW – Technician Hiring

Motion by Hohl, second by Negri, to approve the hiring of Michael Fisher as a Full-Time DPW Technician contingent upon completion of all pre-hire requirements, at rate of \$19.86/hour, which is the minimum for this grade 7 position and that he be eligible for the July 1, 2020 ECI wage increase and receive a \$35/month phone stipend.

Voice Vote: AYES: 4, ABSENT: 2

MOTION CARRIED

I. Cable TV – Videographer Hiring

Motion by Dolan, second Negri, to approve the hiring of Ann Borek for the role of primary videographer contingent upon completion of all pre-hire requirements for the part-time videographer position at \$18.45/hour and receive a minimum of 2 hours pay per meeting, and be eligible for the July 1, 2020 EDI increase with a retroactive to the two prior meetings she trained on.

Voice Vote: AYES: 4, ABSENT: 2

MOTION CARRIED

J. Clerks Department – Kuzner Probation Period Completion

Motion by Dolan, second Koeble, to approve the 5% wage increase for Mary Kuzner at her probationary 6 month anniversary retroactive to February 1, 2020.

Voice Vote: AYES: 4, ABSENT: 2

MOTION CARRIED

K. Finance Control Book – January 2020

Motion by Negri, second Koeble, to receive, file, and publish the January 2020 Finance Control Book.

Voice Vote: AYES: 4, ABSENT: 2

MOTION CARRIED

L. Parks & Recreation – Jaguar Tournament

Motion by Dolan second Koeble, to approve the Michigan Jaguar 2020 Invitational Tournament based upon the contingencies laid out in the Parks & Recreation and Public Safety Meeting Minutes.

Voice Vote: AYES: 4, ABSENT: 2

MOTION CARRIED

M. Parks & Recreation – Smartwater Tournament

Motion by Hohl, second Koeble, to approve the 2020 Smartwater Invitational Tournament as presented in the memo from Parks & Recreation & ADA Coordinator Deby Henneman dated 02/06/2020.

Voice Vote: AYES: 4, ABSENT: 2

MOTION CARRIED

N. Parks & Recreation – Powerade Tournament

Motion by Dolan, second by Negri, to approve the 2020 PowerAde Invitational Tournament as outlined in the memo.

Voice Vote: AYES: 4, ABSENT: 2

MOTION CARRIED

11. Public Information

A. Census 2020

B. DTE Tree Cutting Program

12. Call to the Public

Cindy Michniewicz, 3140 Shehan Rd, clarified that where the resident is on April 1, 2020 is where they should participate in the 2020 Census.

13. Board Comments

Hohl encouraged all residents to participate in the 2020 Census, restated that taxes can no longer be paid at the Township and they now need to be paid at the County, mentioned the Coronavirus and precautions you should take.

Negri stated they wrapped up the tax collection and that 97% of residents had paid on time, for those who didn't will need to pay at Livingston County and they should have the new totals available by March 20, 2020.

Dolan shared that the Presidential Primary is next Tuesday, March 10, 2020 with polls opening at 7:00 a.m. and close at 8:00 p.m., you can still register in person with your local Clerks office, that there is no reason absentee voting, and that we are open from 8:00 a.m. to 4:00 p.m. Saturday, March 7, 2020 in the Clerks Department Only.

14. Adjourn Meeting/Closed Session

Motion by Negri, supported by Koeble, to adjourn meeting.

Voice Vote: AYES: 4, ABSENT: 2

MOTION CARRIED

Meeting adjourned at 3:36 p.m.

Respectfully submitted,



Courtney L. Paton
Recording Secretary



Mike Dolan
Township Clerk

FAX 810-231-4295
PHONE 810-231-1000



P.O. Box 157
10405 Merrill Road
Hamburg, Michigan 48139

HAMBURG TOWNSHIP BOARD OF TRUSTEES
First Public Hearing – Louis Lane Road Improvement S.A.D.
Hamburg Township Hall Board Room
Tuesday, February 25, 2020
5:30 p.m.

1. Call to Order

Supervisor Hohl called the meeting to order at 5:30 p.m.

2. Pledge to the Flag

3. Roll Call of the Board

Present: Hohl, Dolan, Negri, Koeble

Absent: Hahn, Menzies

Also Present: Brittany Campbell, Utilities Coordinator; Patricia Hughes, Deputy Clerk

4. Call to the Public

A call was made with no response.

5. Correspondence

No correspondence.

6. Approval of the Agenda

Motion by Dolan, supported by Koeble, to approve the agenda as presented.

Voice Vote: AYES: 4 NAYS: 0 ABSENT: 2 MOTION CARRIED

7. Current Business

Louis Lane Road Maintenance S.A.D.

Campbell stated that 17 petitions were received from the 24 property owners equaling 71.39% in favor of this project by parcel count with no objection or rescinded signatures. With a total estimated cost of \$170,000.00 which would be approximately \$7,083.34 per parcel. A 45 day grace period is set up for home owners to pay in full and avoid interest or it will be spread out of a 10 year period. Tentatively setting the 2nd public hearing for March 24, 2020.

Open Public Hearing 5:40 p.m.

Brian Volk, 11749 Louis Lane, asked why the Board is willing to do this if most communities are not willing to do this and asked about the estimate according to the road commission.

Elaine Umholtz, 11820 Louis Lane, asked about maintenance and also stated about a concern with fox & raccoons denning in the drains.

Closed Public Hearing 5:43 p.m.

8. Board Comments

None.

9. Call to the Public

A call was made with no response.

10. Adjourn Meeting

Motion by Koeble, supported Dolan, to adjourn the meeting.

Voice Vote: AYES: 4 NAYS: 0 ABSENT: 2

MOTION CARRIED

Meeting adjourned at 5:51 p.m.

Respectfully submitted,



Courtney L. Paton
Recording Secretary



Mike Dolan
Township Clerk

FAX 810-231-4295
PHONE 810-231-1000



P.O. Box 157
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Hamburg, Michigan 48139

HAMBURG TOWNSHIP BOARD OF TRUSTEES
First Public Hearing – Oneida Way Road Improvement S.A.D.
Hamburg Township Hall Board Room
Tuesday, February 25, 2020
5:00 p.m.

1. Call to Order

Supervisor Hohl called the meeting to order at 5:00 p.m.

2. Pledge to the Flag

3. Roll Call of the Board

Present: Hohl, Dolan, Negri, Koeble

Absent: Hahn, Menzies

Also Present: Brittany Campbell, Utilities Coordinator; Patricia Hughes, Deputy Clerk

4. Call to the Public

A call was made with no response.

5. Correspondence

No correspondence.

6. Approval of the Agenda

Motion by Dolan, supported by Koeble, to approve the agenda as presented.

Voice Vote: AYES: 4 NAYS: 0 ABSENT: 2 MOTION CARRIED

7. Current Business

Oneida Way Road Maintenance S.A.D.

Campbell stated that 9 petitions were received from the 10 property owners equaling 90% in favor of this project by parcel count with no objection or rescinded signatures. With a total estimated cost of \$58,882.00 which would be approximately \$5,888.20 per parcel. A 45 day grace period is set up for home owners to pay in full and avoid interest or it will be spread out of a 10 year period. Tentatively setting the 2nd public hearing for March 24, 2020.

Open Public Hearing 5:12 p.m.

Tom Canning, 9136 Oneida Way, asked how the payment will added to escrow.

Closed Public Hearing 5:13 p.m.

8. Board Comments

None.

9. Call to the Public

A call was made with no response.

10. Adjourn Meeting

Motion by Koeble, supported Negri, to adjourn the meeting.

Voice Vote: AYES: 4 NAYS: 0 ABSENT: 2

MOTION CARRIED

Meeting adjourned at 5:14 p.m.

Respectfully submitted,



Courtney L. Paton
Recording Secretary



Mike Dolan
Township Clerk

FAX 810-231-4295
PHONE 810-231-1000



P.O. Box 157
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HAMBURG TOWNSHIP BOARD OF TRUSTEES
First Public Hearing – Pine Valley Estates Road Improvement S.A.D.
Hamburg Township Hall Board Room
Tuesday, February 25, 2020
6:30 p.m.

1. Call to Order

Supervisor Hohl called the meeting to order at 6:55 p.m.

2. Pledge to the Flag

3. Roll Call of the Board

Present: Hohl, Dolan, Negri, Koeble

Absent: Hahn, Menzies

Also Present: Brittany Campbell, Utilities Coordinator; Patricia Hughes, Deputy Clerk

4. Call to the Public

David Saunders, 6945 Wide Valley Dr, asked how the road was classified as something other than public.

Steve Martillo, 7060 Winding Trail, asked about adding sewer & water before doing the road.

5. Correspondence

No correspondence.

6. Approval of the Agenda

Motion by Dolan, supported by Koeble, to approve the agenda as presented.

Voice Vote: AYES: 4 NAYS: 0 ABSENT: 2 MOTION CARRIED

7. Current Business

Pine Valley Estates Road Maintenance S.A.D.

Campbell stated that 39 petitions were received from the 74 property owners equaling 53.51% in favor of this project by parcel count. With 7 letters of objection and 1 rescinded signatures dropping support to 52.45% and if any other signatures get rescinded that it might stop the project from happening. With a total estimated cost of \$475,000.00 which would be approximately \$6,418.92 per parcel. A 45 day grace period is set up for home owners to pay in full and avoid interest or it will be spread out of a 10 year period. Tentatively setting the 2nd public hearing for March 24, 2020.

Open Public Hearing 6:18 p.m.

Brian Mullaly, 6817 Wide Valley, asked that proportionate time be spent answering the questions asked.

Joe Monroe, 6881 Wide Valley, stated that if the residents are going to fund the roads then all roads should be made private and pass the tax cuts along for the roads, flooding where a drain should have been placed, asking if this qualified for an income tax relief, and many other objections to this project.

Dave Desnoyers, 7158 Winding Trail, stated his objection to the project.

Dave Saunders, 6945 Wide Valley, stated he believed that there is a constitutional guideline that would prevent this.

Marcia Bauer, 6993 Wide Valley, stated her objection to this project.

Douglas Chaplin, 7104 Wide Valley, stated his objection to this project.

Connie Rose, 6900 Wide Valley, stated her objection to this project.

Marcelo Ponti, 7060 Winding Trail, stated his concern if someone was to get hurt due to the pot holes who would be responsible.

Terrie Gole, 6833 Wide Valley, asked about other options, why the county doesn't match anything and if the assessment went with the property or the owner.

Bruce Stoddart, 6848 Wide Valley, stated his surprise to the project and talked about the pro's and con's.

Connie Rose, 6900 Wide Valley, stated how the assessment is set up needs to be addressed.

Marcia Bauer, 6993 Wide Valley, stated she doesn't believe that the petition was completed correctly and that the rules didn't seem to be followed.

Joe Monroe, 6881 Wide Valley, asked for a curb instead of a wing if the project is going to be passed.

John Stilson, 7100 Wide Valley, stated that if it does pass he hopes the drainage issues are fixed as well.

Connie Rose, 6900 Wide Valley, stated that she never had anyone bring the petition to her house and was not invited to a neighborhood gathering for information.

Brian Mullaly, 6817 Wide Valley, clarified that if comments are closed they can't rescind their signature so asked that the board reply to the comments & questions before they submit their letters.

Michelle Green, 7009 Wide Valley, thanked everyone for coming and asked to hear the answers from the board before they closed the hearing.

James Malott, 6977 Wide Valley, explained that he was a little upset about how this was handled.

Terrie Gole, 6833 Wide Valley, asked about options if there are hardships with paying.

Joe Monroe, 6881 Wide Valley, stated he would support a scaled down version of the project fixing the beginning of the subdivision.

Nicole Sarkett, 7120 Wide Valley Drive, stated her support of the project.

Doug Chaplin, 7104 Wide Valley, wanted to know about the drainage and water issue.

Connie Rose, 6900, Wide Valley, asked for a petition for just the beginning of the subdivision.

Michelle Green, 7009 Wide Valley, thanked all for and against the project for sharing.

Terrie Gole, 6833 Wide Valley, asked about part of the road and the contractors.

Dave Saunders, 6945 Wide Valley, complimented everyone for the questions to help everyone understand.

Robert Gerwin, 6900 Wide Valley, asked for an audit of the petition.

Closed Public Hearing 8:32 p.m.

Campbell stated that she received one rescinded signature and that drops support to 51.19%

8. Board Comments

None.

9. Call to the Public

Patricia Hughes, 11359 Pleasant View, stated she wouldn't pin her hopes on hardship, that she shared her subdivision had only done the entrance 2 years ago and now were asking for the whole subdivision, and thanked the board for their work trying to help residents.

Joe Monroe, 6881 Wide Valley, asked what would happen if they went after a rescind of the Road Millage.

Rhonda Chaplin, 7104 Wide Valley, stated communication is difficult because they do not have an association.

Connie Rose, 6900 Wide Valley, stated no they do not have a homeowners association.

10. Adjourn Meeting

Motion by Negri, supported Koeble, to adjourn the meeting.

Voice Vote: AYES: 4 NAYS: 0 ABSENT: 2

MOTION CARRIED

Meeting adjourned at 8:43 p.m.

Respectfully submitted,



Courtney L. Paton
Recording Secretary



Mike Dolan
Township Clerk

FAX 810-231-4295
PHONE 810-231-1000



P.O. Box 157
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Hamburg, Michigan 48139

HAMBURG TOWNSHIP BOARD OF TRUSTEES
First Public Hearing – Tamarack Lake Subdivision Road Improvement S.A.D.
Hamburg Township Hall Board Room
Tuesday, February 25, 2020
6:00 p.m.

1. Call to Order

Supervisor Hohl called the meeting to order at 6:00 p.m.

2. Pledge to the Flag

3. Roll Call of the Board

Present: Hohl, Dolan, Negri, Koeble

Absent: Hahn, Menzies

Also Present: Brittany Campbell, Utilities Coordinator; Patricia Hughes, Deputy Clerk

4. Call to the Public

A call was made with no response.

5. Correspondence

No correspondence.

6. Approval of the Agenda

Motion by Koeble, supported by Negri, to approve the agenda as presented.

Voice Vote: AYES: 4 NAYS: 0 ABSENT: 2 MOTION CARRIED

7. Current Business

Tamarack Lake Subdivision Road Maintenance S.A.D.

Campbell stated that 120 petitions were received from the 182 property owners equaling 62.21% in favor of this project by parcel count with no objection or rescinded signatures. With a total estimated cost of \$400,000.00 which would be approximately \$2,197.81 per parcel. A 45 day grace period is set up for home owners to pay in full and avoid interest or it will be spread out of a 10 year period. Tentatively setting the 2nd public hearing for March 24, 2020.

Open Public Hearing 6:18 p.m.

Patricia Hughes, 11359 Pleasant View, submitted a letter of objection stating she receives no benefit asking that the previously improved part of the subdivision be excluded.

Marybeth Timmerman, 11598 Cedar Bend Drive, asked that Cedar Bend be removed from this Road Improvement as Class A & B vehicles are going up and down the road for the new homes being built and there are still 4 vacant lots for sale so this will continue.

Robert Songer, 2894 Indian Trail, states that they do not benefit as they are on the gravel portion of the subdivision and asked that they reassess the project.

Bonnie Swanson, 11463 Lauderdale Ct, stated that all of the roads are used by the residents of the neighborhood, all property values will go up and let Jodi from the Road Commission know that there are already a couple cracks in the previously improved portions of the road.

Kay Avigne, 2662 Indian Trail, stated he would like to see the bids, a storm water run-off survey, the previously paved portion benefited everyone but this project is not beneficial to everyone and asked that Indian Trail be excluded from this project.

Sean McAskill, 2664 Indian Trail, stated he had already rescinded his support but wanted to ask about paving roads with recycled plastic.

Jim Markey, 11439 Lauderdale Ct., stated his support for this project and asked to verify that Lauderdale Ct. is a public road.

Mike Nanry, 11376 Cedar Bend Drive, stated his support for the project.

April Baranek, 2662 Indian Trail, asked that the storm water run-off be taking into consideration as that is going into Baseline Lakes Biosphere.

Patricia Hughes, 11359 Pleasant View, stated that she was glad to support the previously paved project but asked if this had been the original project if it would have been supported.

Bonnie Swanson, 11463 Lauderdale Ct, stated that because of the money involved they couldn't have proposed this as the original project.

Marybeth Timmerman, 11598 Cedar Bend Drive, asked about the percentage of support.

Closed Public Hearing 6:42 p.m.

8. Board Comments

None.

9. Call to the Public

Bonnie Swanson, 11463 Lauderdale Ct, stated that they had asked about including the dirt roads in the project.

10. Adjourn Meeting

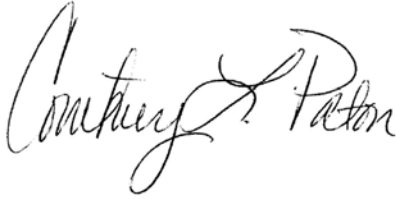
Motion by Koeble, supported Negri, to adjourn the meeting.

Voice Vote: AYES: 4 NAYS: 0 ABSENT: 2

MOTION CARRIED

Meeting adjourned at 6:56 p.m.

Respectfully submitted,

A handwritten signature in black ink, reading "Courtney L. Paton". The signature is written in a cursive style with a large, stylized 'C' and 'P'.

Courtney L. Paton
Recording Secretary

A handwritten signature in blue ink, reading "Mike Dolan". The signature is written in a cursive style with a large, stylized 'M' and 'D'.

Mike Dolan
Township Clerk

GL Number	GL Desc	Vendor	OPEN - CHECK TYPE: PAPER CHECK Invoice Description	Amount	Check #
Fund 101 General Fund					
Dept 000.000					
101-000.000-422.000	CHARGE BACKS/MTT/BOARD OF REVIE	LIVINGSTON COUNTY TREASU	BOR-HOMESTEAD 1/20	23.09	
		Total For Dept 000.000		23.09	
Dept 101.000 Township Board					
101-101.000-958.000	DUES/SUBSCRIP/RECERTIFICATION	SEMCOG -SOUTHEASTERN MIC	MARCH 2020 DUES	236.33	
		Total For Dept 101.000 Township Board		236.33	
Dept 253.000 Treasurer					
101-253.000-864.000	WORKSHOPS/SEMINARS	APT US&C	APT ANNUAL CONFERENCE	499.00	
		Total For Dept 253.000 Treasurer		499.00	
Dept 265.000 Township Buildings					
101-265.000-726.000	SUPPLIES & SMALL EQUIPMENT	ADVANCED WATER TREATMENT	BLANKET P.O. - BOTTLED WATER FOR BLDG	5.50	
101-265.000-726.000	SUPPLIES & SMALL EQUIPMENT	ADVANCED WATER TREATMENT	BLANKET P.O. - BOTTLED WATER & COOLER	27.50	
101-265.000-921.000	ELECTRIC	DTE ENERGY	9100 139 0346 3 - OLD PACKER/NEW DPW-	175.25	
		Total For Dept 265.000 Township Buildings		208.25	
Dept 410.000 Zoning					
101-410.000-864.000	WORKSHOPS/SEMINARS	MICHIGAN ASSOCIATION OF	PACHECO CLEAN ENERGY PLANNING WORKSHO	100.00	
101-410.000-864.000	WORKSHOPS/SEMINARS	MICHIGAN STORM WATER FLO	STEFFENS MI STORMWATER/FLOODPLAIN ANN	200.00	
		Total For Dept 410.000 Zoning		300.00	
Dept 450.000 Street Lighting					
101-450.000-926.000	STREET LIGHTING	DTE ENERGY	9100 167 2011 2 - UNIT LIGHTING -1/23	44.88	
		Total For Dept 450.000 Street Lighting		44.88	
		Total For Fund 101 General Fund		1,311.55	
Fund 206 Fire Fund					
Dept 000.000					
206-000.000-801.000	CONTRACTUAL SERVICES	VERIZON WIRELESS	PARTIAL BILL - FM ZERNICK - 1/23-2/22	35.01	
206-000.000-921.000	ELECTRIC	DTE ENERGY	9100 086 3133 5 - F.D.#11 -1/24-2/24/	1,013.36	
206-000.000-921.000	ELECTRIC	DTE ENERGY	9100 086 3146 7 - F.D.#12 - 1/23-2/21	141.43	
206-000.000-921.100	SIREN ELECTRIC USAGE	DTE ENERGY	9100 114 5063 2 - SIREN(STRAWBERRY LK	44.15	
206-000.000-921.100	SIREN ELECTRIC USAGE	DTE ENERGY	9300 018 1587 5 - SIREN(CHILSON RD) -	14.72	
206-000.000-921.100	SIREN ELECTRIC USAGE	DTE ENERGY	9100 167 2020 3 - SIREN(HAMBURG RD) 1	15.76	
206-000.000-921.100	SIREN ELECTRIC USAGE	DTE ENERGY	9300 018 1596 6 - SIREN(WINANS & SHEH	29.74	
		Total For Dept 000.000		1,294.17	
		Total For Fund 206 Fire Fund		1,294.17	
Fund 207 Police Fund					
Dept 000.000					
207-000.000-853.000	PHONE/COMM/INTERNET	VERIZON WIRELESS	BLANKET P.O. FOR MONTHLY SERVICE FEES	455.56	
207-000.000-871.000	LAW ENFORCEMENT INFO NETWORK	STATE OF MICHIGAN	BLANKET P.O. FOR LEIN & VPN CONNECTIO	387.00	
207-000.000-958.000	DUES/SUBSCRIP/RECERTIFICATION	MICHIGAN ASSOCIATION OF	2020 MEMBERSHIP DUES	100.00	
		Total For Dept 000.000		942.56	
		Total For Fund 207 Police Fund		942.56	
Fund 208 SENIORS, PARKS, LL TRAIL					
Dept 750.000 Recreation Board					
208-750.000-921.000	ELECTRIC	DTE ENERGY	9100 081 1689 9 - PARKING LOT LIGHTS	86.70	
208-750.000-921.000	ELECTRIC	DTE ENERGY	9100 122 7190 4 - MERRILL FIELD - 1/2	23.32	

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GL Number	GL Desc	Vendor	Invoice Description	Amount	Check #
Fund 208 SENIORS, PARKS, LL TRAIL					
Dept 750.000 Recreation Board					
		Total For Dept 750.000 Recreation Board		110.02	
		Total For Fund 208 SENIORS, PARKS, LL TRAIL		110.02	
Fund 492 Mumford Park Lighting SAD					
Dept 000.000					
492-000.000-926.000	STREET LIGHTING	DTE ENERGY	9100 086 3102 0 - MUMFORD PK LIGHTING	122.40	
		Total For Dept 000.000		122.40	
		Total For Fund 492 Mumford Park Lighting SAD		122.40	
Fund 590 SEWER FUND					
Dept 001.000					
590-001.000-853.000	PHONE/COMM/INTERNET	VERIZON WIRELESS	1/23-2/22/2020	52.42	
590-001.000-921.000	ELECTRIC	DTE ENERGY	9100 141 9399 9 - WINANS PUMP STN - 1	183.33	
590-001.000-921.000	ELECTRIC	DTE ENERGY	9100 086 3063 4 - ORE LK PUMP STN - 1	473.88	
590-001.000-921.000	ELECTRIC	DTE ENERGY	9100 146 5433 9 - BIOXIDE STN(EDGELAK	13.69	
590-001.000-921.000	ELECTRIC	DTE ENERGY	9300 018 1587 5 - STRAWBERRY PUMP STN	1,003.73	
590-001.000-921.000	ELECTRIC	DTE ENERGY	9100 160 2723 7 - RUSTIC DR - 1/28-2/	393.57	
590-001.000-921.000	ELECTRIC	DTE ENERGY	9100 114 4947 7 - BIOXIDE STN(CORDLEY	30.67	
590-001.000-921.000	ELECTRIC	DTE ENERGY	9100 081 1657 6 - HAMB RD PUMP STN -	484.27	
		Total For Dept 001.000		2,635.56	
Dept 002.000					
590-002.000-921.000	ELECTRIC	DTE ENERGY	9100 086 3078 2 - WWTP - 1/24-2/24/20	5,861.38	
		Total For Dept 002.000		5,861.38	
		Total For Fund 590 SEWER FUND		8,496.94	
Fund 701 Trust & Agency Fund					
Dept 000.000					
701-000.000-222.000	DUE TO COUNTY TRAILER FEES	LIVINGSTON COUNTY TREASU	TRAILER FEES REC'D 3/2/2020 FOR JAN 2	166.50	
701-000.000-222.000	DUE TO COUNTY TRAILER FEES	LIVINGSTON COUNTY TREASU	TRAILER FEES REC'D 3/2/2020 FOR JANUA	666.00	
701-000.000-222.204	DUE TO COUNTY DOG LICENSE FEE	LIVINGSTON COUNTY TREASU	DOG TAG DISTRIBUTION 2/1-2/29/2020	490.50	
701-000.000-231.100	DUE TO UNION DUES	POLICE OFFICER LABOR COU	MARCH 2020 DUES	804.00	
701-000.000-231.410	DUE TO AFLAC (BIWEEKLY)	AFLAC - AMERICAN FAMILY	FEBRUARY	679.78	
		Total For Dept 000.000		2,806.78	
		Total For Fund 701 Trust & Agency Fund		2,806.78	
Fund 703 Winter Tax Collection Fund					
Dept 000.000					
703-000.000-275.000	OVER/UNDER PAYMENTS	DAVID HUSAK	REFUND DUE TO OVERPAYMENT	12.00	
		Total For Dept 000.000		12.00	
		Total For Fund 703 Winter Tax Collection Fund		12.00	

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INVOICE GL DISTRIBUTION REPORT FOR HAMBURG TOWNSHIP OFFICES

POST DATES 03/02/2020 - 03/03/2020

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GL Number	GL Desc	Vendor	Invoice Description	Amount	Check #
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Fund Totals:

Fund 101 General Fund	1,311.55
Fund 206 Fire Fund	1,294.17
Fund 207 Police Fund	942.56
Fund 208 SENIORS, PARK	110.02
Fund 492 Mumford Park	122.40
Fund 590 SEWER FUND	8,496.94
Fund 701 Trust & Agenc	2,806.78
Fund 703 Winter Tax Co	12.00

Total For All Funds:	15,096.42
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GL Number	GL Desc	Vendor	Invoice Description	Amount	Check #
Fund 101 General Fund					
Dept 000.000					
101-000.000-279.742	STRAWBERRY CREEK FARM	ROSATI, SCHULTZ, JOPPICH	PLANNING & ZONNG MATTERS THROUGH 1/31	420.50	
101-000.000-279.746	HAMPTON MANOR OF HAMBURG	PROCESS RESULTS, INC.	HAMB TWP-HAMPTON MANOR PLANNING CS 1/	2,053.13	
Total For Dept 000.000				2,473.63	
Dept 101.000 Township Board					
101-101.000-801.500	ECONOMIC DEVELOPMENT CONSULTANT	ECONOMIC DEVELOPMENT COU	MUNICIPAL PARTNERSHIP INVESTMENT 2020	20,913.57	
101-101.000-826.000	LEGAL FEES	ROSATI, SCHULTZ, JOPPICH	GENERAL MATTERS THROUGH 1/31/2020	527.00	
101-101.000-826.000	LEGAL FEES	ROSATI, SCHULTZ, JOPPICH	ROBERT MCLENON & SVETLANA DORONINA VS	325.50	
101-101.000-826.000	LEGAL FEES	ROSATI, SCHULTZ, JOPPICH	MARY ANN LAMKIN VS HAMB TWP BD OF TRU	6,069.00	
101-101.000-826.000	LEGAL FEES	ROSATI, SCHULTZ, JOPPICH	LABOR & EMPLOYMENT LAW THROUGH 1/31/2	486.00	
101-101.000-826.000	LEGAL FEES	ROSATI, SCHULTZ, JOPPICH	MICHIGAN TAX TRIBUNAL MATTERS THROUGH	308.00	
Total For Dept 101.000 Township Board				28,629.07	
Dept 191.000 Elections					
101-191.000-726.000	SUPPLIES & SMALL EQUIPMENT	PRINTING SYSTEMS, INC.	ELECTION SUPPLIES	827.34	
101-191.000-726.000	SUPPLIES & SMALL EQUIPMENT	PRINTING SYSTEMS, INC.	ELECTION SUPPLIES	913.85	
101-191.000-726.000	SUPPLIES & SMALL EQUIPMENT	PRINTING SYSTEMS, INC.	ELECTION SUPPLIES	656.08	
101-191.000-726.000	SUPPLIES & SMALL EQUIPMENT	PRINTING SYSTEMS, INC.	ELECTION SUPPLIES	536.29	
101-191.000-726.000	SUPPLIES & SMALL EQUIPMENT	PRINTING SYSTEMS, INC.	PAD OF 50 CITY/TWP PARTISAN NOMINATIN	6.50	
101-191.000-726.000	SUPPLIES & SMALL EQUIPMENT	PRINTING SYSTEMS, INC.	PRESIDENTIAL PRIMARY BALLOT MARKING I	20.00	
101-191.000-726.000	SUPPLIES & SMALL EQUIPMENT	PRINTING SYSTEMS, INC.	MARCH 10, 2020 PRESIDENTIAL PRIMARY A	598.38	
101-191.000-726.000	SUPPLIES & SMALL EQUIPMENT	PRINTING SYSTEMS, INC.	MARCH 10, 2020 PRESIDENTIAL PRIMARY A	154.28	
101-191.000-726.000	SUPPLIES & SMALL EQUIPMENT	PRINTING SYSTEMS, INC.	MARCH 10, 2020 PRESIDENTIAL PRIMARY A	578.10	
Total For Dept 191.000 Elections				4,290.82	
Dept 215.000 CLERK'S OFFICE					
101-215.000-861.000	MILEAGE	MARY C. KUZNER	REIMBURSEMENT - MILEAGE (POST OFFICE)	24.12	
101-215.000-962.000	SUNDRY	WEX BANK	VEHICLE FUEL 2/6-3/5/2020	27.91	
Total For Dept 215.000 CLERK'S OFFICE				52.03	
Dept 258.000 COMPUTER/CABLE					
101-258.000-853.000	PHONE/COMM/INTERNET	CHARTER COMMUNICATIONS	8245 12 483 0092058 - TWP - 3/1-3/31/	338.41	
Total For Dept 258.000 COMPUTER/CABLE				338.41	
Dept 265.000 Township Buildings					
101-265.000-751.000	VEHICLE FUEL	WEX BANK	VEHICLE FUEL 2/6-3/5/2020	558.29	
101-265.000-758.000	UNIFORMS/ACCESSORIES	CINTAS CORPORATION # 31	UNIFORMS FOR BLDGS. & GROUNDS & DPW -	110.76	
101-265.000-758.000	UNIFORMS/ACCESSORIES	CINTAS CORPORATION # 31	UNIFORMS FOR BLDGS. & GROUNDS & DPW -	111.76	
101-265.000-813.000	TRASH DISPOSAL	ADVANCED DISPOSAL	TRASH PICK UP	137.06	
101-265.000-932.000	MAINTENANCE TWP HALL	MYERS GROUP ENTERPRISES	5 YARDS OF PARKING LOT SALT FOR MUNIC	90.00	
101-265.000-932.000	MAINTENANCE TWP HALL	TRI-COUNTY SUPPLY, INC.	BLANKET P.O. - CLEANING SUPPLIES FOR	713.17	
101-265.000-932.008	MAINTENANCE LIBRARY	MYERS GROUP ENTERPRISES	5 YARDS OF PARKING LOT SALT FOR MUNIC	90.00	
101-265.000-933.000	EQUIPMENT MAINT/REPAIR	TRI-COUNTY SUPPLY, INC.	REPAIRS TO TWP, HALL VACUUM CLEANER	144.52	
101-265.000-962.000	SUNDRY	IRON MOUNTAIN INFORMATIO	1/29-2/25/2020	262.90	
Total For Dept 265.000 Township Buildings				2,218.46	
Dept 299.000 Other Expenses					
101-299.000-806.000	FOIA EXPENSES	BIG PDQ	FOIA COPIES - HOUSE PLANS FOR 7694 EL	12.85	
101-299.000-933.000	EQUIPMENT MAINT/REPAIR	PITNEY BOWES GLOBAL FINA	12/28/2019 - 3/27/2020	471.03	
Total For Dept 299.000 Other Expenses				483.88	
Dept 410.000 Zoning					
101-410.000-751.000	VEHICLE FUEL	WEX BANK	VEHICLE FUEL 2/6-3/5/2020	43.52	

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INVOICE GL DISTRIBUTION REPORT FOR HAMBURG TOWNSHIP OFFICES
EXP CHECK RUN DATES 03/17/2020 - 03/17/2020
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GL Number	GL Desc	Vendor	Invoice Description	Amount	Check #
Fund 101 General Fund					
Dept 410.000 Zoning					
101-410.000-826.000	LEGAL FEES	ROSATI, SCHULTZ, JOPPICH	ORDINANCE ENFORCEMENT MATTERS THROUGH	546.00	
101-410.000-826.000	LEGAL FEES	ROSATI, SCHULTZ, JOPPICH	PLANNING & ZONNG MATTERS THROUGH 1/31	280.00	
Total For Dept 410.000 Zoning				869.52	
Dept 450.000 Street Lighting					
101-450.000-926.000	STREET LIGHTING	DTE ENERGY - STREET LIGH	STREET LIGHTS & TRAFFIC SIGNALS - 2/1	1,541.40	
Total For Dept 450.000 Street Lighting				1,541.40	
Dept 803.000 HISTORICAL MUSEUM					
101-803.000-853.000	PHONE/COMM/INTERNET	CHARTER COMMUNICATIONS	8245 12 483 0180010 - HISTORICAL MUSE	126.97	
101-803.000-921.000	ELECTRIC	DTE ENERGY	9100 335 8974 8 - HISTORICAL MUSEUM -	108.00	
101-803.000-923.000	NATURAL GAS/HEAT	CONSUMERS ENERGY	1000 6426 7956 - HISTORICAL SOCIETY -	154.87	
Total For Dept 803.000 HISTORICAL MUSEUM				389.84	
Total For Fund 101 General Fund				41,287.06	
Fund 206 Fire Fund					
Dept 000.000					
206-000.000-726.000	SUPPLIES & SMALL EQUIPMENT	ADVANCED WATER TREATMENT	BLANKET P.O. - BOTTLED WATER	23.96	
206-000.000-727.000	MEDICAL AND SCENE SUPPLIES	LAKELAND ACE HARDWARE, I	SCENE SUPPLIES PROPANE CYLINDER INV 1	33.99	
206-000.000-727.000	MEDICAL AND SCENE SUPPLIES	LAKELAND ACE HARDWARE, I	SCENE SUPPLIES- 20 LB PROPANE INV 108	12.60	
206-000.000-758.000	UNIFORMS/ACCESSORIES	KING KLEANERS	DRY CLEANING CHARGES FOR FIRE DEPT.	24.00	
206-000.000-758.000	UNIFORMS/ACCESSORIES	PHOENIX SAFETY OUTFITTER	BLANKET P.O. FOR UNIFORMS & ACCESSORI	53.50	
206-000.000-758.000	UNIFORMS/ACCESSORIES	SHIRLEY D. MILLER	UNIFORM ALTERATIONS	20.00	
206-000.000-813.000	TRASH DISPOSAL	ADVANCED DISPOSAL	TRASH PICK UP	153.00	
206-000.000-826.000	LEGAL FEES	ROSATI, SCHULTZ, JOPPICH	GENERAL MATTERS THROUGH 1/31/2020	671.50	
206-000.000-932.003	MAINTENANCE FIRE HALL	#774494 - CUMMINS BRIDGE	STN 12 ANNUAL PLANNED MAINTENANCE	214.94	
206-000.000-932.003	MAINTENANCE FIRE HALL	#774494 - CUMMINS BRIDGE	STN 11 ANNUAL PLANNED MAINTENANCE	228.55	
206-000.000-932.003	MAINTENANCE FIRE HALL	MYERS GROUP ENTERPRISES	5 YARDS OF PARKING LOT SALT FOR MUNIC	240.00	
206-000.000-933.000	EQUIPMENT MAINT/REPAIR	LAKELAND ACE HARDWARE, I	EQUIPMENT MAINTENANCE INV 1204/1	16.99	
206-000.000-933.000	EQUIPMENT MAINT/REPAIR	LAKELAND ACE HARDWARE, I	EQUIPMENT MAINTENANCE, INV 1088/1	13.99	
206-000.000-933.000	EQUIPMENT MAINT/REPAIR	SAFEWARE, INC.	ALTAIR 5X DETECTOR REPAIR-EQUIP MAINT	545.80	
206-000.000-939.000	VEHICLE MAINTENANCE	AUTOZONE INC	BLANKET P.O. FOR SUPPLIES & VEHICLE M	55.98	
206-000.000-939.000	VEHICLE MAINTENANCE	BACHMAN TRUCK TIRE SERVI	R-11 VEHICLE MAINTENANCE	508.00	
206-000.000-962.000	SUNDRY	DAVID GIRARD	REIMBURSEMENT-FOOD FOR FIRE INVESTIGA	182.94	
206-000.000-965.000	TRAINING	HARTLAND DEERFIELD FIRE	FIRE INSPECTOR 1 CLASS (LAWVER, STEIN	200.00	
206-000.000-965.000	TRAINING	NICK MILLER	REIMBURSEMENT - FOOD (TRAINING)	18.57	
206-000.000-975.000	SPECIAL PROJECTS	FIRE STATION CHECKLIST,	FAST FIELD MONTHLY SERVICE MARCH 2020	100.00	
Total For Dept 000.000				3,318.31	
Total For Fund 206 Fire Fund				3,318.31	
Fund 207 Police Fund					
Dept 000.000					
207-000.000-282.100	SEX OFFENDER FINES DUE TO MSP	STATE OF MICHIGAN	SEX OFFENDER ANNUAL REGISTRATION FEE	30.00	
207-000.000-726.000	SUPPLIES & SMALL EQUIPMENT	CRH OHIO LTD	BOTTLED WATER - 3/1-3/31/20	45.00	
207-000.000-726.000	SUPPLIES & SMALL EQUIPMENT	GARANT'S OFFICE SUPPLIES	POLICE MEMO BOOKS	109.00	
207-000.000-726.000	SUPPLIES & SMALL EQUIPMENT	OFFICE EXPRESS, INC.	BLANKET P.O. FOR OFFICE SUPPLIES	159.98	
207-000.000-730.000	POSTAGE	GARANT'S OFFICE SUPPLIES	POLICE MEMO BOOKS	15.23	
207-000.000-758.000	UNIFORMS/ACCESSORIES	HURON VALLEY GUNS, LLC	BLANKET P.O. - UNIFORMS & ACCESSORIES	198.97	
207-000.000-758.000	UNIFORMS/ACCESSORIES	HURON VALLEY GUNS, LLC	BLANKET P.O. - UNIFORMS & ACCESSORIES	343.94	
207-000.000-758.500	UNIFORM CLEANING	KING KLEANERS	BLANKET P.O. FOR UNIFORM CLEANING - P	331.00	
207-000.000-801.000	CONTRACTUAL SERVICES	ADVANCED DISPOSAL	BLANKET P.O. FOR GARBAGE REMOVAL - 2/	101.11	

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GL Number	GL Desc	Vendor	Invoice Description	Amount	Check #
Fund 207 Police Fund					
Dept 000.000					
207-000.000-826.000	LEGAL FEES	ROSATI, SCHULTZ, JOPPICH	GENERAL MATTERS THROUGH 1/31/2020	637.50	
207-000.000-853.000	PHONE/COMM/INTERNET	CHARTER COMMUNICATIONS	BLANKET P.O. FOR INTERNET SERVICES -	130.55	
207-000.000-871.000	LAW ENFORCEMENT INFO NETWORK	TRANSUNION RISK AND ALTE	BLANKET P.O. FOR INVESTIGATIVE SERVIC	97.20	
207-000.000-932.002	MAINTENANCE POLICE BUILDING	MYERS GROUP ENTERPRISES	5 YARDS OF PARKING LOT SALT FOR MUNIC	90.00	
207-000.000-932.002	MAINTENANCE POLICE BUILDING	TRI-COUNTY SUPPLY, INC.	BLANKET P.O. FOR CLEANING SUPPLIES	568.66	
207-000.000-932.002	MAINTENANCE POLICE BUILDING	TRI-COUNTY SUPPLY, INC.	CLEANING SUPPLIES FOR THE POLICE DEPA	227.82	
207-000.000-932.002	MAINTENANCE POLICE BUILDING	TRI-COUNTY SUPPLY, INC.	CHARGES IN EXCESS OF BLANKET PO	47.78	
207-000.000-933.000	EQUIPMENT MAINT/REPAIR	APPLIED IMAGING	BLANKET P.O. FOR SERVICE, LABOR & COP	142.63	
207-000.000-933.000	EQUIPMENT MAINT/REPAIR	APPLIED IMAGING	CHARGES IN EXCESS OF BLANKET PO	70.19	
207-000.000-939.000	VEHICLE MAINTENANCE	CRUISERS, INC.	INVOICE IN EXCESS OF BLANKET PO	340.00	
207-000.000-939.000	VEHICLE MAINTENANCE	MID-TOWNE COLLISION	BUMPER REPAIR TO 7003-DEDUCTIBLE	250.00	
207-000.000-939.000	VEHICLE MAINTENANCE	PINCKNEY CHRYSLER DODGE	BLANKET P.O. FOR VEHICLE MAINTENANCE	29.95	
207-000.000-939.000	VEHICLE MAINTENANCE	PINCKNEY CHRYSLER DODGE	BLANKET P.O. FOR VEHICLE MAINTENANCE	29.95	
207-000.000-939.000	VEHICLE MAINTENANCE	PINCKNEY CHRYSLER DODGE	BLANKET P.O. FOR VEHICLE MAINTENANCE	1,765.95	
207-000.000-962.000	SUNDRY	AMERICAN VIDEO TRANSFER	STATUTORY FOIA REDACTION PROCESSING	90.00	
207-000.000-962.000	SUNDRY	CORRIGAN OIL CO.	IMPOUNDED VEHICLE CHARGES	220.50	
207-000.000-962.000	SUNDRY	MATTHEW DUHAIME	REIMBURSEMENT -LESO-UTAH/COLORADO,FOO	789.32	
207-000.000-962.000	SUNDRY	NATE WATSON	REIMBURSEMENT - UTAH/COLORADO - FOOD	147.24	
207-000.000-965.000	TRAINING	DARIUSZ NISENBAUM	REIMBURSEMENT - FOOD (TRAINING)	10.37	
Total For Dept 000.000				7,019.84	
Total For Fund 207 Police Fund				7,019.84	
Fund 208 SENIORS, PARKS, LL TRAIL					
Dept 000.000					
208-000.000-276.200	SENIOR CENTER ACTIVITY FUND	ALPINE FLORIST AND GIFTS	BLANKET P.O. FOR SENIOR CENTER MONTHL	6.00	
208-000.000-276.200	SENIOR CENTER ACTIVITY FUND	PETTY CASH - SENIOR CENT	REIMBURSEMENT - 12/19-3/5/2020	230.21	
208-000.000-283.300	SENIOR CENTER TRIP DEPOSITS	BIANCO TOURS	FIREKEEPERS CASINO TRIP - 02/25/2020	1,258.00	
Total For Dept 000.000				1,494.21	
Dept 750.000 Recreation Board					
208-750.000-813.000	TRASH DISPOSAL	ADVANCED DISPOSAL	TRASH PICK UP	126.00	
Total For Dept 750.000 Recreation Board				126.00	
Dept 805.000 SENIOR CENTER					
208-805.000-813.000	TRASH DISPOSAL	ADVANCED DISPOSAL	TRASH PICK UP	84.00	
208-805.000-853.000	PHONE/COMM/INTERNET	CHARTER COMMUNICATIONS	8245 12 483 0156556 - SENIOR CEN - 2/	224.43	
208-805.000-932.001	MAINTENANCE COMM CENTER	MYERS GROUP ENTERPRISES	5 YARDS OF PARKING LOT SALT FOR MUNIC	90.00	
208-805.000-933.000	EQUIPMENT MAINT/REPAIR	APPLIED IMAGING	B/W & COLOR MONTHLY COPY OVERAGES - 2	24.86	
Total For Dept 805.000 SENIOR CENTER				423.29	
Total For Fund 208 SENIORS, PARKS, LL TRAIL				2,043.50	
Fund 243 BROWNFIELD REDEVELOPMENT AUTHORITY FUND					
Dept 000.000					
243-000.000-676.000	REIMBURSEMENTS & COST RECOVERY	AKT PEERLESS ENVIRONMENT	EGLE BROWNFIELD GRANT/LOAN THIRD PART	1,421.25	
Total For Dept 000.000				1,421.25	
Total For Fund 243 BROWNFIELD REDEVELOPMENT AUTHORITY				1,421.25	
Fund 375 Mumford Dredging Debt Retirement					
Dept 000.000					
375-000.000-991.000	DEBT SERVICE - PRINCIPAL	THE BANK OF NEW YORK MEL	IMMS 7083018400 - HAMBURGSAR12	3,971.50	

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GL Number	GL Desc	Vendor	Invoice Description	Amount	Check #
Fund 375 Mumford Dredging Debt Retirement					
Dept 000.000					
375-000.000-995.000	INTEREST EXPENSE	THE BANK OF NEW YORK MEL	IMMS 7083018400 - HAMBURGSAR12	219.28	
375-000.000-996.000	AGENT FEES	THE BANK OF NEW YORK MEL	HAMBURGSAR12 - FEE 4/1/2020 - 3/31/20	3.38	
		Total For Dept 000.000		4,194.16	
		Total For Fund 375 Mumford Dredging Debt Retirement		4,194.16	
Fund 479 Rustic/Lake Pointe Road SAD					
Dept 000.000					
479-000.000-802.000	ROAD IMPROVEMENT	MYERS GROUP ENTERPRISES	RUSTIC RD & LAKE POINTE DR - PLOW RDS	200.00	
		Total For Dept 000.000		200.00	
		Total For Fund 479 Rustic/Lake Pointe Road SAD		200.00	
Fund 480 Scott Drive ROAD SAD					
Dept 000.000					
480-000.000-802.000	ROAD IMPROVEMENT	MYERS GROUP ENTERPRISES	SCOTT DR - PLOW RD ON 2/6, 2/9, 2/13	500.00	
		Total For Dept 000.000		500.00	
		Total For Fund 480 Scott Drive ROAD SAD		500.00	
Fund 482 Crystal Drive/Beach Rd Maint					
Dept 000.000					
482-000.000-802.000	ROAD IMPROVEMENT	ALAN'S ASPHALT MAINTENAN	CRYSTAL DR - SALT & PLOWED 2/6, 2/7,	2,310.00	
		Total For Dept 000.000		2,310.00	
		Total For Fund 482 Crystal Drive/Beach Rd Maint		2,310.00	
Fund 483 Norene Ct/Peary Dr SAD - Rd Mn					
Dept 000.000					
483-000.000-802.000	ROAD IMPROVEMENT	MYERS GROUP ENTERPRISES	NORENE & PEARY DR - PLOW RDS 2/6, 2/9	420.00	
		Total For Dept 000.000		420.00	
		Total For Fund 483 Norene Ct/Peary Dr SAD - Rd Mn		420.00	
Fund 485 Edgelake/Burton Drive SAD					
Dept 000.000					
485-000.000-802.000	ROAD IMPROVEMENT	ALAN'S ASPHALT MAINTENAN	EDGE LAKE/BURTON -PLOWED 2/6, 2/8, 2/	865.00	
		Total For Dept 000.000		865.00	
		Total For Fund 485 Edgelake/Burton Drive SAD		865.00	
Fund 486 Downing Drive SAD					
Dept 000.000					
486-000.000-802.000	ROAD IMPROVEMENT	ALAN'S ASPHALT MAINTENAN	DOWNING DR - PLOWED RD 2/8 & 2/26/202	150.00	
		Total For Dept 000.000		150.00	
		Total For Fund 486 Downing Drive SAD		150.00	
Fund 487 Riverside/Century/Lagoon SAD					
Dept 000.000					
487-000.000-802.000	ROAD IMPROVEMENT	MYERS GROUP ENTERPRISES	RIVERSIDE,CENTURY,LAGOON & RADIAL - P	2,100.00	
		Total For Dept 000.000		2,100.00	
		Total For Fund 487 Riverside/Century/Lagoon SAD		2,100.00	

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OPEN - CHECK TYPE: PAPER CHECK

GL Number	GL Desc	Vendor	Invoice Description	Amount	Check #
Fund 489 Island Shore/Schlenker SAD					
Dept 000.000					
489-000.000-802.000	ROAD IMPROVEMENT	MYERS GROUP ENTERPRISES	ISLAND SHORE DR & SCHLENKER RD - PLOW	750.00	
		Total For Dept 000.000		750.00	
		Total For Fund 489 Island Shore/Schlenker SAD		750.00	
Fund 491 Campbell Drive SAD					
Dept 000.000					
491-000.000-802.000	ROAD IMPROVEMENT	MYERS GROUP ENTERPRISES	CAMPBELL DR - PLOW RD ON 2/6, 2/9, 2/	560.00	
		Total For Dept 000.000		560.00	
		Total For Fund 491 Campbell Drive SAD		560.00	
Fund 494 Winans Drive SAD					
Dept 000.000					
494-000.000-802.000	ROAD IMPROVEMENT	MYERS GROUP ENTERPRISES	WINANS DR - PLOW RD 2/6, 2/9 & 2/27/2	450.00	
		Total For Dept 000.000		450.00	
		Total For Fund 494 Winans Drive SAD		450.00	
Fund 497 STRAWBERRY INDIANOLA IMP SAD					
Dept 000.000					
497-000.000-991.000	DEBT SERVICE - PRINCIPAL	THE BANK OF NEW YORK MEL	IMMS 6781388400 - HAMBURGTWP2010SPECA	21,250.00	
497-000.000-995.000	INTEREST EXPENSE	THE BANK OF NEW YORK MEL	IMMS 6781388400 - HAMBURGTWP2010SPECA	5,567.50	
		Total For Dept 000.000		26,817.50	
		Total For Fund 497 STRAWBERRY INDIANOLA IMP SAD		26,817.50	
Fund 499 DOWNING DR ROAD IMP SAD					
Dept 000.000					
499-000.000-991.000	DEBT SERVICE - PRINCIPAL	THE BANK OF NEW YORK MEL	IMMS 6781388400 - HAMBURGTWP2010SPECA	2,975.00	
499-000.000-995.000	INTEREST EXPENSE	THE BANK OF NEW YORK MEL	IMMS 6781388400 - HAMBURGTWP2010SPECA	779.45	
		Total For Dept 000.000		3,754.45	
		Total For Fund 499 DOWNING DR ROAD IMP SAD		3,754.45	
Fund 590 SEWER FUND					
Dept 000.000					
590-000.000-198.886	HAMBURG ROAD (#15-01-300-009)	C & E CONSTRUCTION CO.,	GRINDER PUMP - 6672 HAMBURG RD	9,397.50	
		Total For Dept 000.000		9,397.50	
Dept 001.000					
590-001.000-751.000	VEHICLE FUEL	WEX BANK	VEHICLE FUEL 2/6-3/5/2020	418.56	
590-001.000-758.000	UNIFORMS/ACCESSORIES	CINTAS CORPORATION # 31	UNIFORMS FOR BLDGS. & GROUNDS & DPW -	141.39	
590-001.000-758.000	UNIFORMS/ACCESSORIES	CINTAS CORPORATION # 31	UNIFORMS FOR BLDGS. & GROUNDS & DPW -	141.39	
590-001.000-850.100	GRINDER PUMP PARTS	DUBOIS-COOPER & ASSOCIAT	GRINDER PARTS	1,920.00	
590-001.000-850.100	GRINDER PUMP PARTS	DUBOIS-COOPER & ASSOCIAT	GRINDER CAN ACCESSWAY ADAPTER FOR FLO	747.00	
		Total For Dept 001.000		3,368.34	
Dept 002.000					
590-002.000-728.000	CHEMICALS	ALEXANDER CHEMICAL CORPO	ALUM FOR WASTEWATER TREATMENT PLANT	4,898.16	
590-002.000-813.000	TRASH DISPOSAL	ADVANCED DISPOSAL	TRASH PICK UP	89.00	
590-002.000-830.000	LAB ANALYSIS - WWTP	MERIT LABORATORIES	TEST - HAMBURG	773.00	
590-002.000-830.100	LAB ANALYSIS FEES - PORTAGE	MERIT LABORATORIES	TEST PORTAGE LK	2,393.00	

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OPEN - CHECK TYPE: PAPER CHECK

GL Number	GL Desc	Vendor	Invoice Description	Amount	Check #
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Fund 590 SEWER FUND					
Dept 002.000					
		Total For Dept 002.000		8,153.16	
Dept 003.000					
590-003.000-962.000	SUNDRY	LIVINGSTON COUNTY REGIST	RECORDING/FILING FEES - MITCHELL BLDG	30.00	
590-003.000-962.000	SUNDRY	LIVINGSTON COUNTY REGIST	RECORDING/FILING FEES - MITCHELL BLDG	30.00	
		Total For Dept 003.000		60.00	
Dept 004.000					
590-004.000-991.000	DEBT SERVICE - PRINCIPAL	THE BANK OF NEW YORK MEL	IMMS 6781388400 - HAMBURGTWP2010SPECA	775.00	
590-004.000-991.000	DEBT SERVICE - PRINCIPAL	THE BANK OF NEW YORK MEL	IMMS 7083018400 - HAMBURGSAR12	231,028.50	
590-004.000-991.000	DEBT SERVICE - PRINCIPAL	THE BANK OF NEW YORK MEL	IMMS 7100158400 - HAMBURGSAR11	250,000.00	
590-004.000-995.000	INTEREST EXPENSE	THE BANK OF NEW YORK MEL	IMMS 6781388400 - HAMBURGTWP2010SPECA	203.05	
590-004.000-995.000	INTEREST EXPENSE	THE BANK OF NEW YORK MEL	IMMS 7083018400 - HAMBURGSAR12	12,755.72	
590-004.000-995.000	INTEREST EXPENSE	THE BANK OF NEW YORK MEL	IMMS 7100158400 - HAMBURGSAR11	9,700.00	
590-004.000-996.000	AGENT FEES	THE BANK OF NEW YORK MEL	HAMBURGSAR11 - FEE 4/1/2020 - 3/31/202	750.00	
590-004.000-996.000	AGENT FEES	THE BANK OF NEW YORK MEL	HAMBURGSAR12 - FEE 4/1/2020 - 3/31/20	196.62	
		Total For Dept 004.000		505,408.89	
		Total For Fund 590 SEWER FUND		526,387.89	
Fund 591 WATER DEBT SERVICE FUND					
Dept 000.000					
591-000.000-991.000	DEBT SERVICE - PRINCIPAL	THE BANK OF NEW YORK MEL	IMMS 6770018400 - HAMCAPIMP08	75,000.00	
591-000.000-995.000	INTEREST EXPENSE	THE BANK OF NEW YORK MEL	IMMS 7083048400 - HAMBURGCIR12	19,175.00	
591-000.000-995.000	INTEREST EXPENSE	THE BANK OF NEW YORK MEL	IMMS 6770018400 - HAMCAPIMP08	22,500.00	
		Total For Dept 000.000		116,675.00	
		Total For Fund 591 WATER DEBT SERVICE FUND		116,675.00	
Fund 701 Trust & Agency Fund					
Dept 000.000					
701-000.000-231.400	DUE TO COLONIAL LIFE	COLONIAL LIFE	BCN E4362067 DEDUCTION DATES 2/6/20 &	249.82	
701-000.000-231.450	DUE TO UNUM (BIWEEKLY)	PROVIDENT LIFE AND ACCID	E0120220 2/6/2020-3/5/2020	67.50	
701-000.000-283.100	KEY DEPOSITS PAYABLE	HAY CREEK HOMEOWNERS ASS	KEY DEPOSIT REFUND (VOIDED CK #20152	100.00	
701-000.000-283.100	KEY DEPOSITS PAYABLE	HIAWATHA BEACH INC.	KEY DEPOSIT REFUND (VOIDED CK #16580	100.00	
701-000.000-283.100	KEY DEPOSITS PAYABLE	HIAWATHA BEACH INC.	KEY DEPOSIT REFUND (VOIDED CK #18904	100.00	
701-000.000-283.100	KEY DEPOSITS PAYABLE	MICHAEL ZEGLEVSKI	KEY DEPOSIT REFUND	100.00	
701-000.000-283.100	KEY DEPOSITS PAYABLE	MILL CREST MOORS HOMEOWN	KEY DEPOSIT REFUND (VOIDED CK 20242 D	100.00	
		Total For Dept 000.000		817.32	
		Total For Fund 701 Trust & Agency Fund		817.32	
Fund 703 Winter Tax Collection Fund					
Dept 000.000					
703-000.000-214.204	DUE TO ROAD FUND	PAUL & PATRICIA SCHLAGEL	REFUND ON 2019 TAXES DUE TO MTT	11.84	
703-000.000-214.204	DUE TO ROAD FUND	SHARI MELENSFSKY & FRANK	REFUND ON 2019 TAXES DUE TO MTT	55.41	
703-000.000-214.300	DUE TO GENERAL ADMIN FEES	CLIFFORD WILLIAMS	REFUND - ADMIN FEE(SPECIAL ASSESSMENT	8.51	
703-000.000-214.300	DUE TO GENERAL ADMIN FEES	PAUL & PATRICIA SCHLAGEL	REFUND ON 2019 TAXES DUE TO MTT	5.44	
703-000.000-214.300	DUE TO GENERAL ADMIN FEES	SHARI MELENSFSKY & FRANK	REFUND ON 2019 TAXES DUE TO MTT	15.52	
703-000.000-217.101	DUE TO GENERAL FUND/TAXES	PAUL & PATRICIA SCHLAGEL	REFUND ON 2019 TAXES DUE TO MTT	9.89	
703-000.000-217.101	DUE TO GENERAL FUND/TAXES	SHARI MELENSFSKY & FRANK	REFUND ON 2019 TAXES DUE TO MTT	46.25	
703-000.000-217.206	DUE TO FIRE FUND/TAXES	PAUL & PATRICIA SCHLAGEL	REFUND ON 2019 TAXES DUE TO MTT	20.72	
703-000.000-217.206	DUE TO FIRE FUND/TAXES	SHARI MELENSFSKY & FRANK	REFUND ON 2019 TAXES DUE TO MTT	96.96	
703-000.000-217.207	DUE TO POLICE FUND/TAXES	PAUL & PATRICIA SCHLAGEL	REFUND ON 2019 TAXES DUE TO MTT	29.92	

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GL Number	GL Desc	Vendor	Invoice Description	Amount	Check #
Fund 703 Winter Tax Collection Fund					
Dept 000.000					
703-000.000-217.207	DUE TO POLICE FUND/TAXES	SHARI MELENSFSKY & FRANK	REFUND ON 2019 TAXES DUE TO MTT	139.98	
703-000.000-222.101	DUE TO COUNTY TAXES	PAUL & PATRICIA SCHLAGEL	REFUND ON 2019 TAXES DUE TO MTT	39.79	
703-000.000-222.101	DUE TO COUNTY TAXES	SHARI MELENSFSKY & FRANK	REFUND ON 2019 TAXES DUE TO MTT	186.17	
703-000.000-222.201	DUE TO COUNTY AMBULANCE	PAUL & PATRICIA SCHLAGEL	REFUND ON 2019 TAXES DUE TO MTT	3.52	
703-000.000-222.201	DUE TO COUNTY AMBULANCE	SHARI MELENSFSKY & FRANK	REFUND ON 2019 TAXES DUE TO MTT	16.46	
703-000.000-222.203	DUE TO COUNTY PARKS	PAUL & PATRICIA SCHLAGEL	REFUND ON 2019 TAXES DUE TO MTT	2.55	
703-000.000-222.203	DUE TO COUNTY PARKS	SHARI MELENSFSKY & FRANK	REFUND ON 2019 TAXES DUE TO MTT	11.92	
703-000.000-222.205	DUE TO COUNTY VETS RELIEF	PAUL & PATRICIA SCHLAGEL	REFUND ON 2019 TAXES DUE TO MTT	1.35	
703-000.000-222.205	DUE TO COUNTY VETS RELIEF	SHARI MELENSFSKY & FRANK	REFUND ON 2019 TAXES DUE TO MTT	6.34	
703-000.000-222.500	DUE TO COUNTY SET	PAUL & PATRICIA SCHLAGEL	REFUND ON 2019 TAXES DUE TO MTT	72.18	
703-000.000-222.500	DUE TO COUNTY SET	SHARI MELENSFSKY & FRANK	REFUND ON 2019 TAXES DUE TO MTT	337.74	
703-000.000-223.000	DUE TO LIBRARY	PAUL & PATRICIA SCHLAGEL	REFUND ON 2019 TAXES DUE TO MTT	9.37	
703-000.000-223.000	DUE TO LIBRARY	SHARI MELENSFSKY & FRANK	REFUND ON 2019 TAXES DUE TO MTT	43.84	
703-000.000-225.103	DUE TO PINCKNEY SCH DEBT TAX	SHARI MELENSFSKY & FRANK	REFUND ON 2019 TAXES DUE TO MTT	424.98	
703-000.000-225.201	DUE TO BRIGHTON SCH OPERATING T	PAUL & PATRICIA SCHLAGEL	REFUND ON 2019 TAXES DUE TO MTT	216.55	
703-000.000-225.203	DUE TO BRIGHTON SCH DEBT TAX	PAUL & PATRICIA SCHLAGEL	REFUND ON 2019 TAXES DUE TO MTT	86.50	
703-000.000-234.101	DUE TO LISD TAX	PAUL & PATRICIA SCHLAGEL	REFUND ON 2019 TAXES DUE TO MTT	39.69	
703-000.000-234.101	DUE TO LISD TAX	SHARI MELENSFSKY & FRANK	REFUND ON 2019 TAXES DUE TO MTT	185.69	
Total For Dept 000.000				2,125.08	
Total For Fund 703 Winter Tax Collection Fund				2,125.08	

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GL Number	GL Desc	Vendor	Invoice Description	Amount	Check #
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Fund Totals:

Fund 101 General Fund	41,287.06
Fund 206 Fire Fund	3,318.31
Fund 207 Police Fund	7,019.84
Fund 208 SENIORS, PARK	2,043.50
Fund 243 BROWNFIELD RE	1,421.25
Fund 375 Mumford Dredg	4,194.16
Fund 479 Rustic/Lake P	200.00
Fund 480 Scott Drive R	500.00
Fund 482 Crystal Drive	2,310.00
Fund 483 Norene Ct/Pea	420.00
Fund 485 Edgelake/Burt	865.00
Fund 486 Downing Drive	150.00
Fund 487 Riverside/Cen	2,100.00
Fund 489 Island Shore/	750.00
Fund 491 Campbell Driv	560.00
Fund 494 Winans Drive	450.00
Fund 497 STRAWBERRY IN	26,817.50
Fund 499 DOWNING DR RO	3,754.45
Fund 590 SEWER FUND	526,387.89
Fund 591 WATER DEBT SE	116,675.00
Fund 701 Trust & Agenc	817.32
Fund 703 Winter Tax Co	2,125.08

Total For All Funds:	744,166.36
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10405 Merrill Road ♦ P.O. Box 157
Hamburg, MI 48139
Phone: 810.231.1000 ♦ Fax: 810.231.4295
www.hamburg.mi.us

EXCERPT FROM HAMBURG TOWNSHIP MUNICIPAL UTILITIES COMMITTEE MEETING MINUTES

To the attention of: Patrick J. Hohl, Supervisor
Hamburg Township Board of Trustees

Re: **Approved Municipal Utilities Committee Minutes**

Please be apprised of this excerpt from the ☒ Unapproved ☐ Approved Minutes of the Meeting
of the Hamburg Township Municipal Utilities Committee:

Date of Meeting: March 11th, 2020

Committee Members Present: Hohl, Koeble

Committee Members Absent: Hahn

Text of Motion: MOTION BY HOHL, SUPPORTED BY KOEBLE TO APPROVE THE
MINUTES OF THE FEBRUARY 12th, 2020 MUNICIPAL UTILITIES
COMMITTEE MEETING AS PRESENTED.

Ayes: Hohl, Koeble Absent: Hahn Nays: None

MOTION CARRIED.

State of Michigan }
County of Livingston }
Township of Hamburg }

I, BRITTANY K. CAMPBELL, Hamburg Township Utilities Coordinator and recording
secretary to the Municipal Utilities Committee, do hereby certify that the foregoing is a true and
correct excerpt of the Minutes of the aforementioned Regular/Special Meeting of the Hamburg
Township Municipal Utilities Committee.

 Date: March 11th, 2020
BRITTANY K. CAMPBELL
HAMBURG TOWNSHIP UTILITIES COORDINATOR

HAMBURG TOWNSHIP MUNICIPAL UTILITIES COMMITTEE
WEDNESDAY, FEBRUARY 12th, 2020 – 2:30 P.M.
10405 MERRILL ROAD, HAMBURG, MI 48139

1. CALL TO ORDER

The meeting was called to order by Hohl at 2:30 p.m.

Roll Call of the Committee:

Present: Hohl, Koeble

Absent: Hahn

Also Present: Tony Randazzo and Brittany Campbell

2. CALL TO THE PUBLIC

Hohl opened the call to the public and seeing no response, closed the call to the public.

3. CORRESPONDENCE

There was no correspondence to be addressed at this meeting.

4. APPROVAL OF THE AGENDA

MOTION BY HOHL, SUPPORTED BY KOEBLE TO APPROVE THE AGENDA WITH THE ADDITION OF ITEM 7.D. UNDER CURRENT BUSINESS.

Ayes: Hohl, Koeble

Absent: Hahn

Nays: None

Motion carried.

Unfinished Business:

- A. LCWA Information/Updates
- B. DTE Power Supply Issues
- C. RE300 Pilot Study Update
- D. Pump Station at Regency Village
- E. Biosolids Testing, Removal and Land Application Contract Renewal

Current Business:

- A. DPW Monthly Report – January 2020 Statistics
- B. Sewer Extension Design Review/Discussion – 8904 Rushview Drive
- C. Marshall Smith Sewer Connection Cost Review – 8633 Country Club Dr.
- D. Norfolk Homes Sewer Connection Agreement – 5320 Hickory View Ct.

5. APPROVAL OF THE MINUTES

MOTION BY HOHL, SUPPORTED BY KOEBLE TO APPROVE THE MINUTES OF THE JANUARY 8th, 2020 MUNICIPAL UTILITIES COMMITTEE MEETING AS PRESENTED.

Ayes: Hohl, Koeble

Absent: Hahn

Nays: None

Motion carried.

6. UNFINISHED BUSINESS

A. LCWA Information/Updates.

MOTION BY HOHL, SUPPORTED BY KOEBLE TO TABLE ALL UNFINISHED BUSINESS UNTIL NEW INFORMATION IS AVAILABLE.

Ayes: Hohl, Koeble

Absent: Hahn

Nays: None

Motion carried.

B. DTE Power Supply Issues.

MOTION BY HOHL, SUPPORTED BY KOEBLE TO TABLE ALL UNFINISHED BUSINESS UNTIL NEW INFORMATION IS AVAILABLE.

Ayes: Hohl, Koeble

Absent: Hahn

Nays: None

Motion carried.

C. RE300 Pilot Study Update.

MOTION BY HOHL, SUPPORTED BY KOEBLE TO TABLE ALL UNFINISHED BUSINESS UNTIL NEW INFORMATION IS AVAILABLE.

Ayes: Hohl, Koeble

Absent: Hahn

Nays: None

Motion carried.

D. Pump Station at Regency Village.

MOTION BY HOHL, SUPPORTED BY KOEBLE TO TABLE ALL UNFINISHED BUSINESS UNTIL NEW INFORMATION IS AVAILABLE.

Ayes: Hohl, Koeble

Absent: Hahn

Nays: None

Motion carried.

E. Biosolids Testing, Removal and Land Application Contract Renewal. Randazzo noted that he received one competing bid for sludge hauling; however, the price was only slightly lower than BioTech and the vendor's track record is unknown. Randazzo stated that he feels that renewing the contract with BioTech Agronomics is in the Township's best interest.

MOTION BY HOHL, SUPPORTED BY KOEBLE TO FORWARD THE CONTRACT FOR TESTING, REMOVAL AND LAND APPLICATION OF BIOSOLIDS FROM THE WWTP TO THE BOARD WITH THE RECOMMENDATION TO APPROVE THE NEW CONTRACT WITH BIOTECH AGRONOMICS, INC.

Ayes: Hohl, Koeble Absent: Hahn Nays: None
Motion carried.

7. CURRENT BUSINESS

A. DPW Monthly Report – January Statistics. Randazzo noted that the Wastewater Treatment Plant (WWTP) was out of compliance for one day in January for high phosphorus. The Township is still waiting to receive feedback from the DEQ on the WWTP permit even though the old permit has expired. Randazzo stated the applications for the full-time DPW technician position have been coming in and there are of good applicants who work in hands-on type jobs.

MOTION BY HOHL, SUPPORTED BY KOEBLE TO NOTE THE DPW MONTHLY REPORT AS RECEIVED AND TO BE FILED AND TO ALSO FORWARD A COPY TO THE TOWNSHIP BOARD AS AN AGENDA ITEM FOR THEIR REVIEW.

Ayes: Hohl, Koeble Absent: Hahn Nays: None
Motion carried.

B. Sewer Extension Design Review/Discussion – 8904 Rushview Drive. Campbell explained that during the construction of the sanitary sewer extension along Rushview Drive it was determined that a 4-foot diameter manhole and a 4" gate valve was needed to properly construct the sewer extension as designed by the Township Engineer. These structures were not included in the original engineering review and estimate of cost submitted by Process Results. This resulted in the additional cost of \$7,755.00 being added to the construction charges for the project. Campbell recommended that that Township should finance the additionally required sewer structures in the amount of \$7,755.00 as part of the upcoming bond sale or pay through the Enterprise Fund as a capital improvement noting that the sewer extension along Rushview rive will allow for the connection of additional sewer customers on the new sewer line. Campbell also noted that the Nims Contract SAD Agreement should be adjusted to show the actual charges that are to be billed to the property owners.

MOTION BY HOHL, SUPPORTED BY KOEBLE TO FORWARD TO THE BOARD WITH THE RECOMMENDATION TO PAY THE ADDITIONAL SEWER STRUCTURE COST IN THE AMOUNT OF \$7,755.00 OUT OF THE ENTERPRISE FUND CAPITAL RESERVES.

Ayes: Hohl, Koeble Absent: Hahn Nays: None
Motion carried.

C. Marshall Smith Sewer Connection Cost Review – 8633 Country Club Dr. Campbell explained the estimated sewer connection fees under the bid proposal were \$6,142.50. At the time of the grinder pump installation it was discovered the builder decided to change the location of the grinder pump station approximately 50 feet further than the originally selected location. During the installation, a total length of 55 feet of 4” building sewer pipe was installed when only 15 feet was included in the original sewer connection estimate. The actual construction charges for the sewer connection were \$6,615.00 leaving a balance due of \$472.50. As a result, the total shortage of \$472.50 should be billed to the property owner.

MOTION BY HOHL, SUPPORTED BY KOEBLE REQUESTING THE ACCOUNTING DEPARTMENT TO INVOICE THE PROPERTY OWNER IN THE AMOUNT OF \$472.50 FOR ADDITIONAL SEWER CONSTRUCTION CHARGES AS OUTLINED IN THE SEWER CONNECTION AGREEMENT.

Ayes: Hohl, Koeble

Absent: Hahn

Nays: None

Motion carried.

D. Norfolk Homes Sewer Connection Agreement – 5320 Hickory View Ct.

MOTION BY HOHL, SUPPORTED BY KOEBLE TO APPROVE THE NORFOLK HOMES AGREEMENT FOR A DIRECT SEWER CONNECTION AS PRESENTED, AS ALL OF THE ESTIMATED SEWER FEES WERE PAID UP-FRONT IN CASH.

Ayes: Hohl, Koeble

Absent: Hahn

Nays: None

Motion carried.

8. **CALL TO THE PUBLIC**

Seeing no requests to address the Sewer Committee, Hahn closed the call to the public.

9. **INFORMATIONAL/EDUCATIONAL MATERIAL**

There was no information and/or educational material available for this meeting.

10. **ADJOURNMENT**

MOTION BY KOEBLE, SUPPORTED BY HAHN TO ADJOURN THE MEETING.

Ayes: Hohl, Koeble

Absent: Hahn

Nays: None

Motion carried.

The meeting was adjourned at 2:44 p.m.

The foregoing is considered to be a true and accurate record of all items discussed. If any discrepancies or inconsistencies are noted, please contact the writer immediately.

Respectfully submitted,

A handwritten signature in blue ink that reads "Brittany K. Campbell". The signature is written in a cursive style and is positioned above a solid black horizontal line.

Brittany K. Campbell
Hamburg Township Utilities Coordinator

Hamburg Township Library

10411 Merrill Rd. P.O. Box 247
Hamburg, MI 48139
810-231-1771

Monthly Report: March 2020

February Statistics:

- Number of new patrons: 50
- Number of computer users: 230
- Number of in-building items checked out: 6,447
- Number of digital items checked out: 1,211
- Average daily visits: 169

Upcoming Closed Dates:

- Friday, April 10 Good Friday

Upcoming Programs:

- Mar. 18 Cheers to Michigan: A Celebration of Cocktail Culture & Craft Distillers, Free, 6:30pm
- Mar. 19 Thursday Matinee: *The Goldfinch*, free, 1:00pm
- Mar. 19 Kitchen Joy, Free, 6:30pm
- Mar. 21 Saturday Movie: *The More the Merrier*, free, 1:00pm
- Mar. 23 Horse to Horsepower, free, 6:30pm
- Mar. 24 AARP Tax Assistance, free, by appointment
- Mar. 26 **LR** - From Suffragette to Rosie, free, 6:30pm
- Mar. 27 Friday Movie: *Mildred Pierce*, free, 1:00pm
- Mar. 30 Maker Monday: Curious Bunny Pot, free, 6:30pm
- Apr. 1 **LR** - Book Club: *The All Girl Filling Station's Last Reunion by Fannie Flag*, free, 1:00pm
- Apr. 1 Drop-in Genealogy Help, free, 1:00pm
- Apr. 2 Lunch & Learn: Instant Pot Cooking Class, \$5.00, noon
- Apr. 4-11 Peeps Dioramas drop-off
- Apr. 4 Saturday Movie: *Easter Parade*, free, 1:00pm
- Apr. 6 Cheese Pairing with Wines, \$15, 6:30pm
- Apr. 7 AARP Tax Assistance, free, by appointment
- Apr. 11 **LR** - Living Military Genealogy, free, 1:00pm
- Apr. 13-25 Voting on Peeps Dioramas
- Apr. 13 **LR** - Women Airforce Service Pilots (WASPs), free, 6:30pm
- Apr. 14 Get to Know Your Township: Fire Chief Nick Miller, free, 6:30pm
- Apr. 16 Thursday Matinee: *Downton Abbey*, free, 1:00pm
- Apr. 18 Saturday Movie: *Without Love*, free, 1:00pm
- Apr. 20 Maker Monday: All-Purpose T-shirt Tote, free, 6:30pm

Of Special Note: Once again, all the Livingston County public libraries are partnering on this year's Livingston Reads – One Book One Community. This year's choice is Fannie Flagg's *The All Girl Filling Station's Last Reunion*. Look for LR related programs at all the county libraries.

Fax: 810-231-1520

hamb@tln.lib.mi.us

www.hamburglibrary.org



10405 Merrill Road ♦ P.O. Box 157
Hamburg, MI 48139
Phone: 810.231.1000 ♦ Fax: 810.231.4295
www.hamburg.mi.us

EXCERPT FROM HAMBURG TOWNSHIP MUNICIPAL UTILITIES COMMITTEE MEETING MINUTES

To the attention of: Patrick J. Hohl, Supervisor
Hamburg Township Board of Trustees

Re: **DPW Monthly Report – February 2020 Statistics**

Please be apprised of this excerpt from the ☒ Unapproved ☐ Approved Minutes of the Meeting
of the Hamburg Township Sewer Committee:

Date of Meeting: March 11th, 2020

Sewer Committee Members Present: Hohl, Koeble

Sewer Committee Members Absent: Hahn

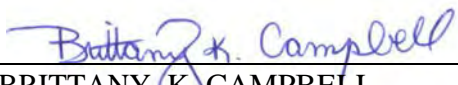
Text of Motion: MOTION BY HOHL, SUPPORTED BY KOEBLE TO NOTE THE
DPW MONTHLY REPORT AS RECEIVED AND TO BE FILED AND
TO ALSO FORWARD A COPY TO THE TOWNSHIP BOARD AS AN
AGENDA ITEM FOR THEIR REVIEW.

Ayes: Hohl, Koeble Absent: Hahn Nays: None

MOTION CARRIED.

State of Michigan }
County of Livingston }
Township of Hamburg }

I, BRITTANY K. CAMPBELL, Hamburg Township Utilities Coordinator and recording
secretary to the Municipal Utilities Committee, do hereby certify that the foregoing is a true and
correct excerpt of the Minutes of the aforementioned Regular/~~Special~~ Meeting of the Hamburg
Township Municipal Utilities Committee.

 Date: March 11th, 2020
BRITTANY K. CAMPBELL
HAMBURG TOWNSHIP UTILITIES COORDINATOR



10405 Merrill Road ♦ P.O. Box 157
Hamburg, MI 48139
Phone: 810.231.1000 ♦ Fax: 810.231.4295
www.hamburg.mi.us

To: Municipal Utilities Committee
From: Tony Randazzo
Date: 03-03-2020
Re: DPW Monthly Report

-
1. The wastewater treatment plant was in compliance for the entire month of February.
 2. The DEQ has not provided any feedback on our permit yet even though the old permit has expired.
 3. The Kress Rd. wet well was successfully rehabbed and recoated with a more resistant product. The station was in bypass for over a week to perform the work. DPW staff did a great job assisting the contractor and keeping the collection system running smoothly throughout the process.

HAMBURG TOWNSHIP DPW ACTIVITY TRACKING CHART 2019 VERSUS 2020

DPW Activities	Jan-19	Jan-20	Feb-19	Feb-20	Mar-19	Mar-20	Apr-19	Apr-20	May-19	May-20	Jun-19	Jun-20	Jul-19	Jul-20	Aug-19	Aug-20	Aug-19	Sep-20	Sep-19	Oct-20	Oct-19	Oct-20	Nov-19	Nov-20	Year End Total 19	Year End Total 2020
Grinder Calls	53	35	33	24	36		43		54		48		43		52		52		47		38		27		526	59
Grinder Replacements	44	25	23	20	31		37		48		40		34		42		39		32		37		22		429	45
Grinder Repairs	56	43	27	26	35		41		42		42		39		52		39		41		32		26		472	69
Hiland-other repairs	4	3	6	3	11		7		20		8		11		9		7		16		3		15		117	6
Grinder Star - Ups	2	2	1	3	4		2		4		2		1		1		4		3		2		2		28	5
Grinder Deact.	1	0	0	0	0		0		0		0		0		0		0		1		0		0		2	0
Sewer Repairs	0	0	0	0	0		0		0		1		1		0		0		0		0		0		2	0
WWTP Alarms	2	0	6	3	5		25		22		13		10		9		11		8		7		2		120	3
Hamburg Road Lift	2	0	4	0	2		2		2		2		5		1		3		1		2		1		15	0
Winans Road Lift	2	0	4	0	3		2		2		4		4		2		5		2		2		1		33	0
KESS RD. Lift	2	0	4	0	2		2		1		5		1		1		3		2		2		0		25	0
Ore Station Alarms	2	0	5	0	5		9		7		7		14		3		3		1		2		1		59	0
School Alarms	2	0	0	2	1		1		2		3		2		1		4		0		0		0		16	2
Grinder Reacts	1	1	1	1	1		1		1		0		2		0		1		0		1		1		10	2
Rustic Station	1	0	4	0	2		3		6		4		2		1		2		2		2		0		29	0
Medical Center	3	0	2	0	1		2		2		2		4		1		4		1		2		1		25	0
Miss Dig Stakings	63	93	130	108	175		220		275		350		410		430		320		250		210		172		3005	201
Grinders in stock	70-4	62-3	67-4	59-3	62-4		61-3		56-3		53-3		52-3		49-3		44-4		18-4		39-3		37-3			
Chilson Commons	1	0	2	0	1		2		2		1		2		1		2		0		2		1		17	0
Overtime call outs	31	22	17	9	14		25		32		21		24		34		33		31		23		23		308	31
PLANT -EFF./MO.	9.1	8.9	8.3	8.4	8.8		8.7		9.8		9.2		9.2		8.7		8.8		8.6		8.4		9.1		107	17
AVE. DAILY/ MG	0.26	0.29	0.29	0.29	0.28		0.29		0.33		0.32		0.31		0.29		0.31		0.29		0.29		0.29			1
MAX. DAILY MG.	0.32	0.31	0.31	0.32	0.34		0.34		0.41		0.33		0.31		0.32		0.33		0.32		0.31		0.32			1
PLANT- INF/ MO.	8.4	9.1	9	9.3	9.3		9.2		10.4		9.9		9.9		9.2		9.7		9.6		9.4		9.5		114	18
AVE. DAILY /MG	0.32	0.31	0.32	0.32	.030		0.31		0.34		0.34		0.31		0.31		0.32		0.33		0.31		0.32			1
MAX. DAILY MG.	0.36	0.33	0.34	0.33	0.34		0.37		0.47		0.33		0.35		0.33		0.32		0.32		0.34		0.34			1



HAMBURG TOWNSHIP POLICE

MONTHLY REPORT

February, 2020

COMMUNITY HAPPENINGS

Community Involvement:

- Sgt. Anthony Wallace and Officer Adam Fischhaber attended a Law Enforcement Appreciation luncheon in Pinckney on February 29, 2020.

Communications:

- Chief Richard Duffany received a thank you letter from the family of Jim Neilson on February 24, 2020.

POLICE DEPARTMENT OPERATIONS

Personnel:

- No Personnel movement this month.

Training:

- Deputy Chief Dariusz Nisenbaum attended the Michigan Association of Chiefs of Police conference held February 5, 2020 – February 7, 2020 in Grand Rapids.

- Administrative Supervisor Danielle Price and Administrative Assistants Cris Schuster & Karen Castleman attended Michigan Pistol Permit update training on February 7, 2020 in Lansing.
- Sgt. Anthony Wallace participated in the Livingston County Major Crash Team training on February 11, 2020.
- Deputy Chief Dariusz Nisenbaum, Sgt. Anthony Wallace, Sgt. Matthew Duhaime and Sgt. Steve Locke participated in SWAT team training on February 12, 2020.
- Sgt. Megan Paul and Sgt. Matthew Duhaime attended Improving Cognitive Skills training February 19, 2020 in Lansing.
- All sworn members of the department participated in firearms training at the HTPD range on February 23, 2020 & February 24, 2020.
- Deputy Chief Dariusz Nisenbaum attended Officer/Citizen Encounters training on February 26, 2020 in Rockford.

Monthly Arrest Summary

02/01/20-3:20pm:

A 27-year old female Wetmore, MI resident was arrested at Pettysville Road & M-36 for *Driving While License Suspended*. Her vehicle was impounded and she was cited and released.

02/02/20-3:37pm:

A 23-year old male Township resident was arrested at Hamburg Road & Ore Lake Road for *Driving While License Suspended* and *Providing False Identification to a Police Officer*. His vehicle was impounded and he was lodged in the Livingston County Jail.

02/05/20-2:48pm:

A 57-year old male Township resident was arrested at a township residence for *Home Invasion-1st degree, Resisting Arrest and on a felony warrant for Aggravated Indecent Exposure* out of Howell. He was lodged in the Livingston County Jail.

02/05/20- 4:06pm:

A 26-year old male Township resident was arrested at Winans Drive & Club House Drive for *Driving While License Suspended*. His vehicle was impounded and he was cited and released.

02/09/20-5:26pm:

A 60-year old male Ann Arbor resident was arrested at M-36 & Kress Road for *Driving While License Suspended*. His vehicle was impounded and he was cited and released.

02/10/20-1:11am:

A 17-year old male Township resident was arrested at home for *Malicious Destruction of Property*. He was lodged in the Livingston County Jail.

02/10/20-8:13pm:

A 36-year old female Township resident was arrested at Merrill Road & M-36 for *Driving While License Suspended*. Her vehicle was impounded and she was cited and released.

02/12/20-8:30pm:

A 55-year old male Brighton Township resident was arrested at M-36 & Hall Road for *Operating While Intoxicated*. His vehicle was impounded and he was lodged in the Livingston County Jail.

02/15/20-1:06am:

A 34-year old male Township resident was arrested at Strawberry Lake Road & Locust Lane for *Operating While Intoxicated*. His vehicle was impounded and he was lodged in the Livingston County Jail.

02/19/20-10:13am:

A 28-year old male Northfield Township resident was arrested at M-36 & Barton Rd for *Fleeing and Eluding, Resisting Arrest, Possession of a Stolen Vehicle, Driving While License Suspended and for misdemeanor warrants for traffic offenses* out of Westland and Northfield Township. The vehicle was impounded and he was lodged in the Livingston County Jail.

02/22/20-1:40pm:

A 41-year old male Township resident was arrested at M-36 & Hamburg Road for *Driving While License Suspended*. His vehicle was impounded and he was cited and released.

02/29/20-3:27am:

A 30-year old male Township resident was arrested at Hamburg Road & Stone Street for *Possession of Methamphetamine and Driving While License Suspended*. His vehicle was impounded and he was lodged in the Livingston County Jail.

General Police information:

Marine Patrol:

The current police boat has been taken out of service and winterized/stored.

The department added a second police boat (18 ft Bayliner) through the Department of Defense 1033 program on February 27, 2020.

Lakeland Trail Patrol:

Regular patrols on the Lakelands Trail ceased for the winter season in November.

Road Patrol Vehicles:

All road patrol vehicles are in working order.

Red Barrel:

26 pounds of prescription drugs were removed from the Red Barrel in front of the police station on February 14, 2020.

LIVINGSTON COUNTY 911

Events by Nature Code by Agency

Agency: HATP, Event date/Time range: 02/01/2020 00:00:00 - 02/29/2020 23:59:59

Agency Code	Nature Code	Rpt Only	Self Init	CFS	Total	% Total	Avg Disp Time	Avg Resp Time	Avg Scene Time	Total Call Time	Avg Call Time
HATP	911 HANG UP	0	0	3	3	0%	0:05:29	0:06:28	0:16:35	1:25:39	0:28:3
	ABANDONED VEHICLE	0	0	1	1	0%	0:04:04	0:19:40	0:21:04	0:44:48	0:44:4
	ABDOMINAL PAIN	0	0	1	1	0%	0:02:17	0:00:00	0:00:00	0:02:22	0:02:2
	AIRCRAFT EMERGENCY	0	0	1	1	0%	0:00:51	0:06:33	0:06:11	0:13:35	0:13:3
	ALARM	0	1	14	15	1%	0:02:17	0:06:18	0:04:57	2:55:55	0:11:4
	ANIMAL COMPLAINT	0	1	8	9	0%	0:03:55	0:08:29	0:11:07	3:21:27	0:22:2
	AREA CHECK	0	302	0	302	16%	0:00:01	0:04:36	0:03:04	15:34:15	0:03:0
	ASSAULT REPORT ONLY	0	0	1	1	0%	0:05:37	0:04:48	0:22:10	0:32:35	0:32:3
	ASSIST EMS	0	0	56	56	3%	0:00:53	0:08:34	0:24:55	6:39:22	0:07:0
	ASSIST FIRE DEPARTMENT	0	0	8	8	0%	0:01:17	0:03:15	0:52:07	2:09:37	0:16:1
	ASSIST OTHER AGENCY	0	3	6	9	0%	0:05:04	0:15:11	0:27:42	5:33:10	0:37:0
	ATV COMPLAINT	0	0	1	1	0%	0:01:50	0:06:28	0:05:11	0:13:30	0:13:3
	BOMB FOUND	0	0	1	1	0%	0:04:11	0:11:13	1:30:05	1:45:29	1:45:2
	BREATHING PROBLEM	0	0	3	3	0%	0:00:39	0:00:00	0:00:00	0:02:30	0:00:5
	BUILDING/PROPERTY/VACATION CHK	0	162	0	162	9%	0:00:01	0:00:14	0:03:23	9:07:59	0:03:2
	CARDIAC/RESPIRATORY ARREST	0	0	1	1	0%	0:00:34	0:12:53	2:05:39	2:19:07	2:19:0
	CHASE/PURSUIT	0	2	1	3	0%	0:00:32	0:02:01	0:59:37	2:13:59	0:44:4
	CHIMNEY FIRE	0	0	1	1	0%	0:00:18	0:04:17	0:01:35	0:06:11	0:06:1
	CITIZEN ASSIST	0	9	13	22	1%	0:08:18	0:07:36	0:17:14	9:04:11	0:24:4
	CIVIC EVENT	0	5	0	5	0%	0:00:01	0:02:31	2:13:30	11:17:34	2:15:3
	CIVIL COMPLAINT	0	0	3	3	0%	0:07:36	0:13:31	0:16:00	4:54:57	1:38:1
	CO ALARM/ OR INVESTIGATION	0	0	1	1	0%	0:01:09	0:00:00	0:00:00	0:43:34	0:43:3
	COMMUNITY POLICING	0	9	0	9	0%	0:00:01	0:00:00	0:01:55	0:17:19	0:01:5

Agency Code	Nature Code	Rpt Only	Self Init	CFS	Total	% Total	Avg Disp Time	Avg Resp Time	Avg Scene Time	Total Call Time	Avg Call Time
	CONSERVATION LAWS	0	1	0	1	0%	0:00:00	0:00:00	0:08:24	0:08:24	0:08:2
	COURT PROSECUTOR ACTIVITY	0	2	0	2	0%	0:00:00	0:00:03	0:54:41	1:49:28	0:54:4
	CRIMINAL SEXUAL CONDUCT REPORT	0	1	2	3	0%	0:02:45	0:14:07	2:21:56	7:53:38	2:37:5
	DHS REFERRALS	0	0	1	1	0%	0:21:38	1:12:58	0:27:05	2:01:41	2:01:4
	DIABETIC PROBLEM	0	0	1	1	0%	0:00:24	0:07:20	0:17:28	0:25:13	0:25:1
	DISTURBANCE/TROUBLE	0	0	2	2	0%	0:11:58	0:07:49	0:17:48	1:15:09	0:37:3
	DOMESTIC PHYSICAL IN PROGRESS	0	0	3	3	0%	0:03:15	0:06:21	1:09:14	3:56:32	1:18:5
	DOMESTIC VERBAL	0	0	5	5	0%	0:02:35	0:06:47	0:44:37	4:29:58	0:54:0
	DRUGS/VCSA	0	0	1	1	0%	0:04:47	0:00:00	0:00:00	0:11:22	0:11:2
	FALL	0	0	2	2	0%	0:02:01	0:00:00	0:00:00	0:20:02	0:10:0
	FINGERPRINTS	0	1	0	1	0%	0:00:00	0:00:00	0:06:09	0:06:09	0:06:0
	FOLLOW UP	0	16	0	16	1%	0:00:01	0:13:06	0:44:50	12:31:34	0:46:5
	FOOT PATROL	0	6	0	6	0%	0:00:01	0:00:00	0:09:26	0:56:40	0:09:2
	FRAUD	0	6	4	10	1%	0:02:54	0:24:50	0:25:44	6:32:49	0:39:1
	GAS LEAK OR ODOR	0	0	1	1	0%	0:00:48	0:00:00	0:00:00	0:01:46	0:01:4
	GENERAL NON CRIMINAL	0	2	0	2	0%	0:00:01	0:00:00	0:09:15	0:18:32	0:09:1
	HAZARD	0	1	4	5	0%	0:02:37	0:06:15	0:27:10	3:00:12	0:36:0
	HIT AND RUN ACCIDENT	0	0	5	5	0%	0:05:30	0:08:53	0:19:23	2:48:55	0:33:4
	INFO- GENERAL	0	21	2	23	1%	0:00:48	0:00:00	0:16:49	6:11:44	0:16:1
	INTIMIDATION THREATS HARASSMEN	0	0	1	1	0%	0:04:47	0:12:13	0:17:36	0:34:37	0:34:3
	LARCENY	0	0	2	2	0%	0:04:25	0:23:57	0:19:51	1:36:26	0:48:1
	LIQUOR INVESTIGATION	0	2	0	2	0%	0:00:00	0:00:00	0:59:29	1:58:58	0:59:2
	LOCKOUT	0	1	4	5	0%	0:03:14	0:08:44	0:13:04	1:48:43	0:21:4
	LOST/FOUND PROPERTY	0	2	0	2	0%	0:00:00	0:00:00	0:00:50	0:01:41	0:00:5
	MDOP	0	1	1	2	0%	0:01:48	0:10:26	0:10:26	0:33:08	0:16:3
	MEETINGS	0	5	0	5	0%	0:00:01	0:00:03	1:11:58	6:00:05	1:12:0

Agency Code	Nature Code	Rpt Only	Self Init	CFS	Total	% Total	Avg Disp Time	Avg Resp Time	Avg Scene Time	Total Call Time	Avg Call Time
	MISSING PERSON/RUN-A-WAY	0	0	2	2	0%	0:09:27	0:06:35	1:01:13	2:34:31	1:17:1
	MOTORIST ASSIST	0	9	0	9	0%	0:00:01	0:00:00	0:04:19	0:38:54	0:04:1
	NOISE COMPLAINTS	0	0	2	2	0%	0:03:14	0:05:19	0:14:39	0:59:02	0:29:3
	OPEN DOOR	0	1	0	1	0%	0:00:01	0:00:00	0:04:51	0:04:52	0:04:5
	OVERDOSE/INGESTION	0	0	1	1	0%	0:01:07	0:09:09	0:13:37	0:23:53	0:23:5
	PATROL INFORMATION	0	0	10	10	1%	0:03:25	0:04:06	0:03:46	1:59:46	0:11:5
	PBT REQUEST	0	1	1	2	0%	0:01:51	0:08:37	0:11:12	0:32:53	0:16:2
	PDA	0	7	28	35	2%	0:09:48	0:10:34	0:39:38	32:43:44	0:56:0
	PIA - WITH VEHICLE FIRE	0	0	1	1	0%	0:02:02	0:02:37	0:35:20	0:39:59	0:39:5
	PIREF (REFUSE EMS)	0	0	2	2	0%	0:02:26	0:24:51	0:38:30	2:11:36	1:05:4
	PRISONER TRANSPORT	0	0	1	1	0%	0:02:07	0:00:19	2:43:56	2:46:23	2:46:2
	PUBLIC SERVICE	0	0	2	2	0%	0:09:04	0:08:06	0:21:18	1:16:59	0:38:3
	REPO INFO	0	0	1	1	0%	0:15:10	0:00:00	0:00:00	0:15:19	0:15:1
	ROAD RUNOFF	0	3	6	9	0%	0:02:28	0:06:33	0:19:33	3:20:10	0:22:1
	SICK PERSON	0	0	4	4	0%	0:01:15	0:00:00	0:00:00	0:10:07	0:02:3
	SICK PERSON PRIORITY 3	0	0	1	1	0%	0:00:44	0:00:00	0:00:00	0:00:48	0:00:4
	SNOWMOBILE COMPLAINT	0	0	1	1	0%	0:04:36	0:00:18	0:08:55	0:13:50	0:13:5
	SOLICITOR COMPLAINT	0	1	0	1	0%	0:00:01	0:00:00	0:25:30	0:25:31	0:25:3
	STOLEN/RECOVERED PROPERTY	0	1	0	1	0%	0:00:00	0:11:41	3:25:29	3:37:10	3:37:1
	STROKE	0	0	2	2	0%	0:00:44	0:04:30	0:39:35	0:46:33	0:23:1
	STRUCTURE FIRE	0	0	3	3	0%	0:00:25	0:04:42	2:03:23	6:25:33	2:08:3
	SUBDIVISION PATROL	0	646	0	646	35%	0:00:01	0:00:22	0:03:48	41:06:21	0:03:4
	SUBPOENA SERVICE	0	4	0	4	0%	0:00:01	0:15:30	0:15:51	1:49:58	0:27:3
	SUICIDAL SUBJECT	0	0	2	2	0%	0:03:36	0:03:35	0:26:33	1:07:28	0:33:4
	SUPPLEMENTAL ADD TO PREV RPT	0	1	0	1	0%	0:00:00	0:00:00	0:01:30	0:01:30	0:01:3
	SUSPICIOUS PERSON	0	1	1	2	0%	0:03:33	0:10:04	0:18:00	0:49:38	0:24:4
	SUSPICIOUS SITUATION	0	4	7	11	1%	0:03:34	0:07:11	0:14:27	3:43:58	0:20:2

Agency Code	Nature Code	Rpt Only	Self Init	CFS	Total	% Total	Avg Disp Time	Avg Resp Time	Avg Scene Time	Total Call Time	Avg Call Time
	SUSPICIOUS VEHICLE	0	15	2	17	1%	0:01:29	0:13:28	0:11:13	4:16:29	0:15:00
	TRAFFIC DETAIL	0	149	0	149	8%	0:00:01	0:00:00	0:14:50	36:52:59	0:14:50
	TRAFFIC STOP	0	195	0	195	10%	0:00:01	0:00:00	0:07:18	23:45:14	0:07:18
	TRAFFIC VIO/ARREST	0	6	0	6	0%	0:00:01	0:00:00	1:09:20	6:56:02	1:09:20
	UNATTENDED DEATH PRI 3/INVEST	0	0	1	1	0%	0:00:15	0:03:35	6:19:23	6:23:13	6:23:13
	UNKNOWN ACCIDENT	0	0	3	3	0%	0:05:49	0:04:22	2:02:02	2:40:04	0:53:22
	VEH UDAA REPORT	0	0	1	1	0%	0:04:44	0:33:11	0:22:24	1:00:20	1:00:20
	WAR ATT/SEARCH	0	0	2	2	0%	0:08:23	0:25:38	0:11:40	1:12:04	0:36:00
	WARRANT ARREST CRIMINAL	0	2	0	2	0%	0:00:00	0:10:06	1:05:30	2:31:11	1:15:30
	WELFARE CHECK	0	1	10	11	1%	0:05:50	0:10:44	0:17:45	5:44:07	0:31:11
Subtotals for No Summary Code		0	1609	262	1871	100%	0:03:05	0:09:54	0:39:08	351:00:40	0:42:55
Subtotals for HATP		0	1609	262	1871	100%	0:03:05	0:09:54	0:39:08	351:00:40	0:42:55

Resolution #5 – Bob White Beach Boulevard Road Improvement Project

TOWNSHIP OF HAMBURG

At a regular meeting of the Township Board of the Township of Hamburg, Livingston County, Michigan (the “Township”) held at the Hamburg Township Hall Meeting Room on Tuesday, March 17th, 2020, beginning at 7:00 p.m. Eastern Time, there were:

PRESENT: _____

ABSENT: _____

The following preamble and resolution were offered by _____ and seconded by _____.

**RESOLUTION CONFIRMING SPECIAL ASSESSMENT ROLL
FOR THE BOB WHITE BEACH BOULEVARD ROAD IMPROVEMENT PROJECT**

WHEREAS, the Board of Trustees (the “Township Board”) has determined that it is desirable to act favorably upon the request of the property owners to finance the construction of certain road improvements for their private road, to be completed by a Contractor hired by the property owners, within the Township as described in Exhibit A (the “Project”);

WHEREAS, the Township Board has tentatively determined to finance the cost of the Project by issuing bonds (the “Bonds”), in accordance with Act No. 188, Michigan Public Acts of 1954, as amended (“Act 188”);

WHEREAS, the Township Board has determined to use Special Assessments levied under Act 188 to raise the funds to pay the Township’s obligations on the Bonds;

WHEREAS, the Special Assessment District for the Project has been determined by the Township Board;

WHEREAS, the Township Board has directed the Township Supervisor to prepare the proposed Special Assessment Roll;

WHEREAS, the Township Supervisor has prepared the proposed Special Assessment Roll and has filed the proposed Special Assessment Roll with the Township Clerk;

WHEREAS, the Township Board has scheduled a public hearing on the proposed Special Assessment Roll and notice of the hearing has been properly provided;

WHEREAS, the Township Board conducted the public hearing on the proposed Special Assessment Roll on March 17, 2020.

NOW, THEREFORE, BE IT RESOLVED THAT:

1. Roll Confirmation. In accordance with Act No. 188, Michigan Public Acts of 1954, as amended, and the laws of the State of Michigan, the Township Board hereby confirms the Special Assessment Roll for the Hamburg Township Bob White Beach Boulevard – Road Improvement Special Assessment District (the “Roll”).
2. Future Installments – Principal. The Township Board determines that each Special Assessment may be paid in 10 equal installments. The first installment shall be due on December 1, 2020. Each subsequent installment shall be due at intervals 12 months from the due date of the first installment.
3. Future Installments – Interest. All unpaid installments shall bear interest, payable annually on each installment due date, at a rate equal to one percent (1%) above the average interest rate on the Township bonds sold to finance the Project. Interest on such unpaid installments shall accrue from the first day of the month in which interest starts to accrue on such Township bonds.
4. Warrant. The Township Clerk is hereby directed to attach a warrant (in the form of Exhibit B to this resolution) to the Roll and to deliver such warrant and the Roll to the Township Treasurer, who shall thereupon collect the special assessments in accordance with the terms of this Resolution, the Clerk’s warrant and the statutes of the State of Michigan.
5. Ratification of Notice. The form and content of the notice published and mailed to property owners in the special assessment district by the Township Clerk with respect to the public hearing held on March 17, 2020 and all action of Township officials in scheduling such hearing, are hereby approved, ratified and confirmed.
6. Inconsistent Prior Resolutions. All previously adopted resolutions that are in conflict with this resolution are replaced to the extent of such conflict.

A vote on the foregoing resolution was taken and was as follows:

YES: _____

NO: _____

ABSENT: _____

Resolution declared _____.

CLERK'S CERTIFICATE

The undersigned, being the Clerk of the Township, hereby certifies that (1) the foregoing is a true and complete copy of a resolution duly adopted by the Township Board at a regular meeting at which meeting a quorum was present and remained throughout, (2) the original thereof is on file in the records in my office, (3) the meeting was conducted, and public notice thereof was given, pursuant to and in full compliance with the Open Meetings Act (Act No. 267, Public Acts of Michigan, 1976, as amended) and (4) minutes of such meeting were kept and will be or have been made available as required thereby.

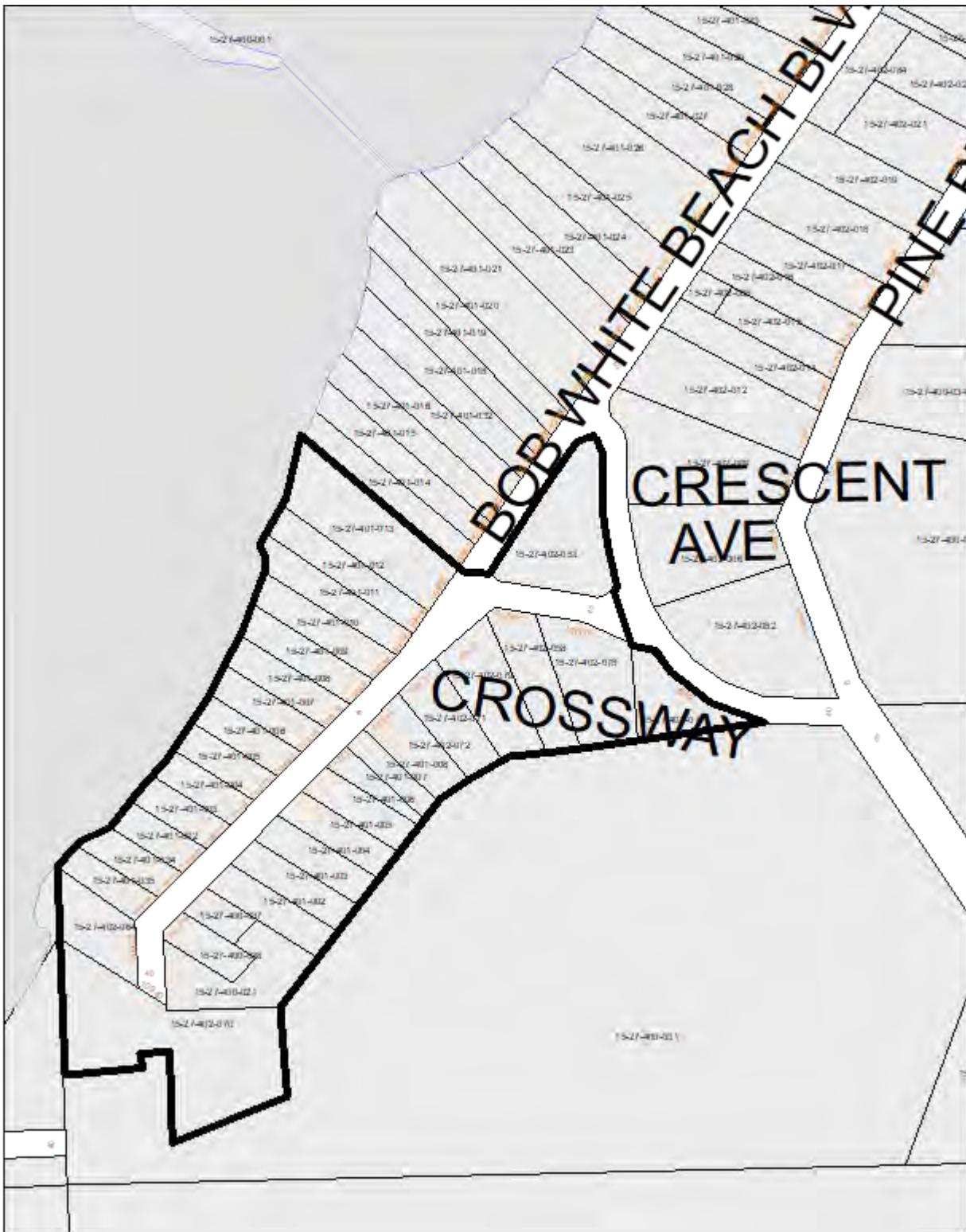
Michael Dolan
Hamburg Township Clerk

EXHIBIT "A"

DESCRIPTION OF PROJECT

The project will include saw cutting and removal of the existing asphalt up to four-inches (4") thick. Inspection of the existing gravel bases to confirm stability, place 21AA crushed concrete to supplement the existing grade and soften the grade/slope on the north side of Crescent Drive in preparation of new paving. Contractor shall grade and compact aggregate base, construct four-inches (4") of compacted hot mixed asphalt with a 2" MDOT 13A leveling course and a 2" MDOT 36A wearing course. A mountable asphalt curb shall be installed on the north side of Crescent Drive. Concrete and asphalt paved driveways within 3 feet of the road edge will be tied in with asphalt, gravel driveways will have a 1-foot wide asphalt paved apron at the edge of the road. Contractor shall clean up and remove all debris associated with the road improvements. The street rehabilitation shall serve the properties within the Township located along Bob White Beach Boulevard that are within the boundaries indicated on the attached map.

Bob White Beach Boulevard Road Improvement Project
Hamburg Township, Livingston County, Michigan



FAX (810) 231-4295
TELEPHONE: (810) 231-1000



P.O. Box 157
10405 Merrill Road
Hamburg, MI 48139

EXHIBIT "B"

WARRANT

TO: Treasurer
Hamburg Township
Livingston County, Michigan

I certify that attached to this Warrant is a true copy of the Special Assessment Roll confirmed by the Township Board of the Township of Hamburg on March 17, 2020 (the "Confirming Resolution"). You are hereby directed to proceed to collect the amounts due on such roll in accordance with this Warrant, the Confirming Resolution and the statutes of the State of Michigan.

Michael Dolan
Hamburg Township Clerk

**DOWNING DRIVE
SPECIAL ASSESSMENT DISTRICT RESOLUTION
(Resolution #3)**

TOWNSHIP OF HAMBURG

At a regular meeting of the Township Board of the Township of Hamburg, Livingston County, Michigan, (the "Township") held at the Hamburg Township Hall on Tuesday, March 17th, 2020, at 7:00 p.m., there were

PRESENT: _____

ABSENT: _____

The following preamble and resolution were offered by _____ and seconded by _____.

**RESOLUTION CONFIRMING SPECIAL ASSESSMENT ROLL
FOR THE DOWNING DRIVE ROAD MAINTENANCE
SPECIAL ASSESSMENT DISTRICT**

WHEREAS, the Township Board of the Township of Hamburg, Livingston County, Michigan, after due and legal notice, has conducted a public hearing upon a proposed Special Assessment Roll prepared by the Supervisor and Assessing Officer of the Township for the purpose of defraying the costs of road maintenance to be performed within the Special Assessment District as requested by petitions received from the property owners for such project;

WHEREAS, the Township Board has acknowledged that the Township Supervisor has filed the proposed Special Assessment Roll with the Township Clerk;

WHEREAS, such public hearing was preceded by proper notice in the Livingston County Press & Argus, a newspaper of general circulation in the township, and by First Class Mail notice to each property owner of record within said district and upon said assessment roll;

WHEREAS, comments were received from those present at such public hearing concerning said assessment roll and opportunity to all present to be heard in the matter;

WHEREAS, written objections, if any, were received to said roll and levy;

WHEREAS, the oral comments received indicated the reasonableness of the following assessment roll and any amendments thereto;

WHEREAS, a record of those present to protest, and of written protests submitted at or before the public hearing was made a part of the minutes of the hearing;

WHEREAS, The Township Board has duly inspected the proposed Assessment Roll and has considered all comments and proposed amendments thereto, and has found the proposed Assessment Roll to be correct, just and reasonable;

NOW, THEREFORE, BE IT RESOLVED THAT:

1. Roll Confirmed. In accordance with Act No. 188, Michigan Public Acts of 1954, as amended, and the laws of the State of Michigan, the Township Board hereby confirms the Special Assessment Roll in the form of Exhibit "B" for the Downing Drive - Road Maintenance Special Assessment District (the "Roll").

2. Future Installments - Principal. The Township Board determines that each Special Assessment may be paid in 10 annual installments. The first installment shall be due on December 1, 2020. Each subsequent installment shall be due at intervals 12 months from the due date of the first installment.

3. Warrant. The Township Clerk is hereby directed to attach a warrant (in the form of Exhibit A to this resolution) to the Roll and to deliver such warrant and the Roll to the Township Treasurer, who shall thereupon collect the special assessments in accordance with the terms of this Resolution, the Clerk's warrant and the statutes of the State of Michigan.

5. Ratification of Notice. The form and content of the notice published and mailed to property owners in the special assessment district by the Township Clerk with respect to the public hearing held on March 17th, 2020, and all action of Township officials in scheduling such hearing, are hereby approved, ratified and confirmed.

6. Inconsistent Prior Resolutions. All previously adopted resolutions that are in conflict with this resolution are repealed to the extent of such conflict.

A vote on the foregoing resolution was taken and was as follows:

YES: _____

NO: _____

ABSENT: _____

Resolution _____.

CLERK'S CERTIFICATE

The undersigned, being the duly elected Clerk of the Township, hereby certifies that (1) the foregoing is a true and complete copy of a resolution duly adopted by the Township Board at a regular meeting at which meeting a quorum was present and remained throughout, (2) the original thereof is on file in the records in my office, (3) the meeting was conducted, and public notice thereof was given, pursuant to and in full compliance with the Open Meetings Act (Act No. 267, Public Acts of Michigan, 1976, as amended) and (4) minutes of such meeting were kept and will be or have been made available as required thereby.

Michael Dolan
Hamburg Township Clerk



10405 Merrill Road ♦ P.O. Box 157
Hamburg, MI 48139
Phone: 810.231.1000 ♦ Fax: 810.231.4295
www.hamburg.mi.us

EXHIBIT A

Public Act 188 of 1954 Proceedings

Warrant for Collection of Hamburg Township Special Assessment Roll No. X3139

TO: The Treasurer of Hamburg Township, Livingston County, Michigan

In accordance with the attached resolution of the Hamburg Township Board of Trustees adopted on March 17, 2020, you are hereby directed to collect the special assessments set forth in the attached Hamburg Township **Downing Drive – Road Maintenance** Special Assessment Roll No. X3139 from the owners of the properties described in said assessment roll, together with such interest and penalties as set forth in said resolution and prescribed by statute.

Any sums due after December 1, 2020 shall bear interest at the rate of 0 percent per annum. Any assessments or portions thereof paid prior to December 1, 2020 shall not bear any interest.

In any installment of a special assessment is not paid when due, there shall be collected, in addition to interest, a penalty at the rate of 0 percent for each month or fraction of a month that the installment remains unpaid before being reported to the Township Board for reassessment upon the township tax roll under the provisions of PA 188 of 1954, as amended.

Township Clerk Signature: _____

Dated: _____

Township: Hamburg

Resolution #5 – Downing Drive Road Improvement Project

TOWNSHIP OF HAMBURG

At a regular meeting of the Township Board of the Township of Hamburg, Livingston County, Michigan (the “Township”) held at the Hamburg Township Hall Meeting Room on Tuesday, March 17th, 2020, beginning at 7:00 p.m. Eastern Time, there were:

PRESENT: _____

ABSENT: _____

The following preamble and resolution were offered by _____ and seconded by _____.

RESOLUTION CONFIRMING SPECIAL ASSESSMENT ROLL FOR THE DOWNING DRIVE ROAD IMPROVEMENT PROJECT

WHEREAS, the Board of Trustees (the “Township Board”) has determined that it is desirable to act favorably upon the request of the property owners to finance the construction of certain road improvements for their private road, to be completed by a Contractor hired by the property owners, within the Township as described in Exhibit A (the “Project”);

WHEREAS, the Township Board has tentatively determined to finance the cost of the Project by issuing bonds (the “Bonds”), in accordance with Act No. 188, Michigan Public Acts of 1954, as amended (“Act 188”);

WHEREAS, the Township Board has determined to use Special Assessments levied under Act 188 to raise the funds to pay the Township’s obligations on the Bonds;

WHEREAS, the Special Assessment District for the Project has been determined by the Township Board;

WHEREAS, the Township Board has directed the Township Supervisor to prepare the proposed Special Assessment Roll;

WHEREAS, the Township Supervisor has prepared the proposed Special Assessment Roll and has filed the proposed Special Assessment Roll with the Township Clerk;

WHEREAS, the Township Board has scheduled a public hearing on the proposed Special Assessment Roll and notice of the hearing has been properly provided;

WHEREAS, the Township Board conducted the public hearing on the proposed Special Assessment Roll on March 17, 2020.

NOW, THEREFORE, BE IT RESOLVED THAT:

1. Roll Confirmation. In accordance with Act No. 188, Michigan Public Acts of 1954, as amended, and the laws of the State of Michigan, the Township Board hereby confirms the Special Assessment Roll for the Hamburg Township Downing Drive – Road Improvement Special Assessment District (the “Roll”).
2. Future Installments – Principal. The Township Board determines that each Special Assessment may be paid in 10 equal installments. The first installment shall be due on December 1, 2020. Each subsequent installment shall be due at intervals 12 months from the due date of the first installment.
3. Future Installments – Interest. All unpaid installments shall bear interest, payable annually on each installment due date, at a rate equal to one percent (1%) above the average interest rate on the Township bonds sold to finance the Project. Interest on such unpaid installments shall accrue from the first day of the month in which interest starts to accrue on such Township bonds.
4. Warrant. The Township Clerk is hereby directed to attach a warrant (in the form of Exhibit B to this resolution) to the Roll and to deliver such warrant and the Roll to the Township Treasurer, who shall thereupon collect the special assessments in accordance with the terms of this Resolution, the Clerk’s warrant and the statutes of the State of Michigan.
5. Ratification of Notice. The form and content of the notice published and mailed to property owners in the special assessment district by the Township Clerk with respect to the public hearing held on March 17, 2020 and all action of Township officials in scheduling such hearing, are hereby approved, ratified and confirmed.
6. Inconsistent Prior Resolutions. All previously adopted resolutions that are in conflict with this resolution are replaced to the extent of such conflict.

A vote on the foregoing resolution was taken and was as follows:

YES: _____

NO: _____

ABSENT: _____

Resolution declared _____.

CLERK'S CERTIFICATE

The undersigned, being the Clerk of the Township, hereby certifies that (1) the foregoing is a true and complete copy of a resolution duly adopted by the Township Board at a regular meeting at which meeting a quorum was present and remained throughout, (2) the original thereof is on file in the records in my office, (3) the meeting was conducted, and public notice thereof was given, pursuant to and in full compliance with the Open Meetings Act (Act No. 267, Public Acts of Michigan, 1976, as amended) and (4) minutes of such meeting were kept and will be or have been made available as required thereby.

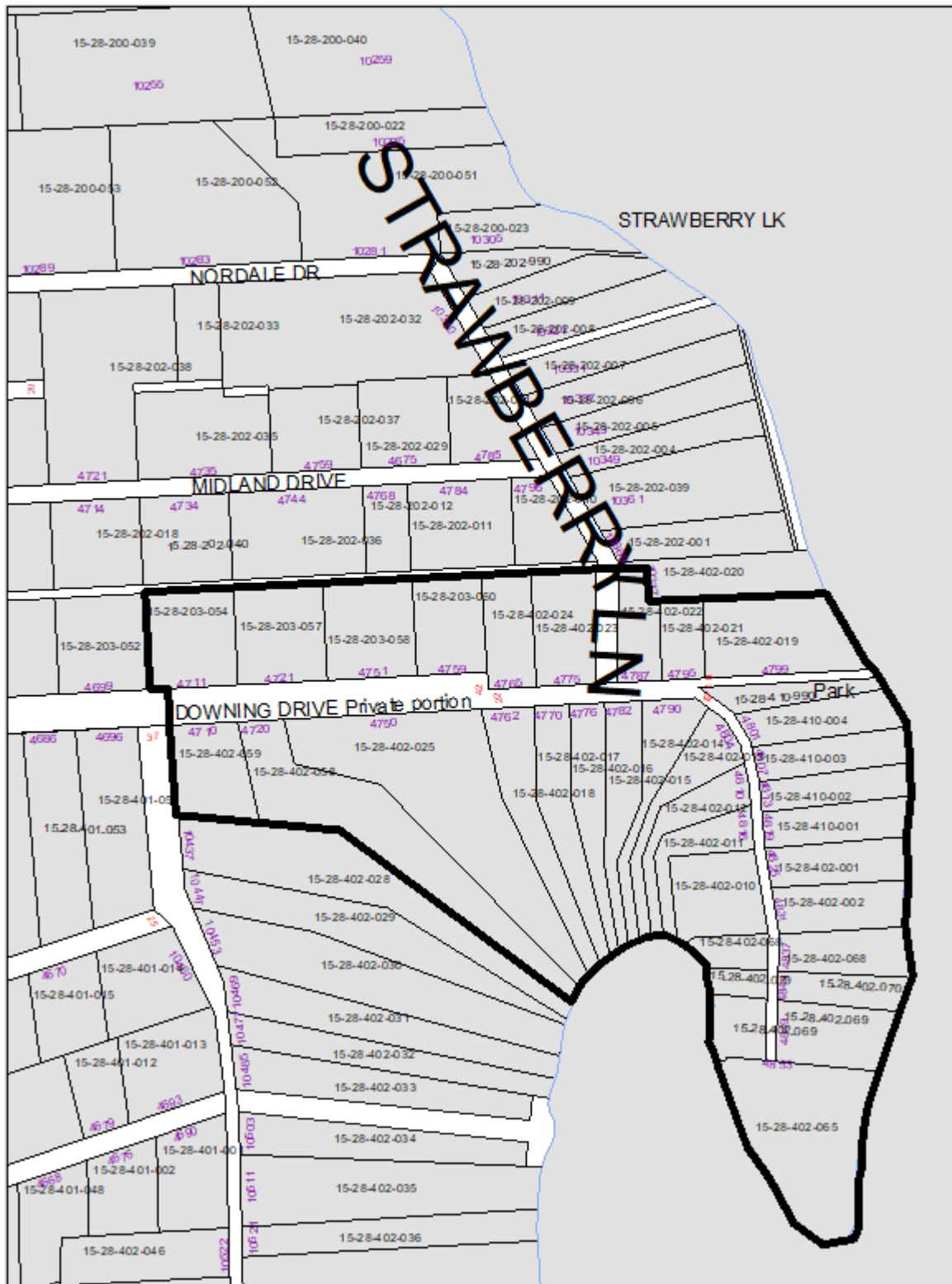
Michael Dolan
Hamburg Township Clerk

EXHIBIT "A"

DESCRIPTION OF PROJECT

The project will include saw cutting and removal of the existing chip seal, cold patch and HMA patching areas up to two-inches (2") thick from road and driveway approaches cut existing gravel base to grade, proof roll grade to confirm stability, find grade and compact in preparation of new paving. The Contractor shall construct a final compacted four-inch (4") hot mixed asphalt surface comprised of a 2" MDOT #1100L, 20AA leveling course (213 tons), an SS-1h tack coat, and a 2" #1100T 20AA wearing course (213 tons). Existing asphalt or concrete driveways within three feet (3') of the edges of the road will be tied into the road with asphalt smoothly. Gravel driveways will have a one-foot (1') wide asphalt paved apron constructed off the edges of the road. The street rehabilitation shall serve the properties within the Township located along Downing Drive that are within the boundaries indicated on the attached map.

Downing Drive Road Improvement Project
Hamburg Township, Livingston County, Michigan



FAX (810) 231-4295
TELEPHONE: (810) 231-1000



P.O. Box 157
10405 Merrill Road
Hamburg, MI 48139

EXHIBIT "B"

WARRANT

TO: Treasurer
Hamburg Township
Livingston County, Michigan

I certify that attached to this Warrant is a true copy of the Special Assessment Roll confirmed by the Township Board of the Township of Hamburg on March 17, 2020 (the "Confirming Resolution"). You are hereby directed to proceed to collect the amounts due on such roll in accordance with this Warrant, the Confirming Resolution and the statutes of the State of Michigan.

Michael Dolan
Hamburg Township Clerk

Resolution #5 – Edgelake Drive & Burton Drive Road Improvement Project

TOWNSHIP OF HAMBURG

At a regular meeting of the Township Board of the Township of Hamburg, Livingston County, Michigan (the “Township”) held at the Hamburg Township Hall Meeting Room on Tuesday, March 17th, 2020, beginning at 7:00 p.m. Eastern Time, there were:

PRESENT: _____

ABSENT: _____

The following preamble and resolution were offered by _____ and seconded by _____.

RESOLUTION CONFIRMING SPECIAL ASSESSMENT ROLL FOR THE EDGELAKE DRIVE & BURTON DRIVE ROAD IMPROVEMENT PROJECT

WHEREAS, the Board of Trustees (the “Township Board”) has determined that it is desirable to act favorably upon the request of the property owners to finance the construction of certain road improvements for their private roads, to be completed by a Contractor hired by the property owners, within the Township as described in Exhibit A (the “Project”);

WHEREAS, the Township Board has tentatively determined to finance the cost of the Project by issuing bonds (the “Bonds”), in accordance with Act No. 188, Michigan Public Acts of 1954, as amended (“Act 188”);

WHEREAS, the Township Board has determined to use Special Assessments levied under Act 188 to raise the funds to pay the Township’s obligations on the Bonds;

WHEREAS, the Special Assessment District for the Project has been determined by the Township Board;

WHEREAS, the Township Board has directed the Township Supervisor to prepare the proposed Special Assessment Roll;

WHEREAS, the Township Supervisor has prepared the proposed Special Assessment Roll and has filed the proposed Special Assessment Roll with the Township Clerk;

WHEREAS, the Township Board has scheduled a public hearing on the proposed Special Assessment Roll and notice of the hearing has been properly provided;

WHEREAS, the Township Board conducted the public hearing on the proposed Special Assessment Roll on March 17, 2020.

NOW, THEREFORE, BE IT RESOLVED THAT:

1. Roll Confirmation. In accordance with Act No. 188, Michigan Public Acts of 1954, as amended, and the laws of the State of Michigan, the Township Board hereby confirms the Special Assessment Roll for the Hamburg Township Edgelake Drive & Burton Drive – Road Improvement Special Assessment District (the “Roll”).
2. Future Installments – Principal. The Township Board determines that each Special Assessment may be paid in 10 equal installments. The first installment shall be due on December 1, 2020. Each subsequent installment shall be due at intervals 12 months from the due date of the first installment.
3. Future Installments – Interest. All unpaid installments shall bear interest, payable annually on each installment due date, at a rate equal to one percent (1%) above the average interest rate on the Township bonds sold to finance the Project. Interest on such unpaid installments shall accrue from the first day of the month in which interest starts to accrue on such Township bonds.
4. Warrant. The Township Clerk is hereby directed to attach a warrant (in the form of Exhibit B to this resolution) to the Roll and to deliver such warrant and the Roll to the Township Treasurer, who shall thereupon collect the special assessments in accordance with the terms of this Resolution, the Clerk’s warrant and the statutes of the State of Michigan.
5. Ratification of Notice. The form and content of the notice published and mailed to property owners in the special assessment district by the Township Clerk with respect to the public hearing held on March 17, 2020 and all action of Township officials in scheduling such hearing, are hereby approved, ratified and confirmed.
6. Inconsistent Prior Resolutions. All previously adopted resolutions that are in conflict with this resolution are replaced to the extent of such conflict.

A vote on the foregoing resolution was taken and was as follows:

YES: _____

NO: _____

ABSENT: _____

Resolution declared _____.

CLERK'S CERTIFICATE

The undersigned, being the Clerk of the Township, hereby certifies that (1) the foregoing is a true and complete copy of a resolution duly adopted by the Township Board at a regular meeting at which meeting a quorum was present and remained throughout, (2) the original thereof is on file in the records in my office, (3) the meeting was conducted, and public notice thereof was given, pursuant to and in full compliance with the Open Meetings Act (Act No. 267, Public Acts of Michigan, 1976, as amended) and (4) minutes of such meeting were kept and will be or have been made available as required thereby.

Michael Dolan
Hamburg Township Clerk

EXHIBIT "A"

DESCRIPTION OF PROJECT

The project will include cold milling three-inches (3") of the existing roadway with subgrade undercutting to incorporate the removal of bad material and placement of 21AA crushed concrete. Three-inches (3") of hot mix asphalt (HMA) 13A shall be placed in two lifts with LTBC-2 tack placed between lifts. Excess millings are to be placed on Burton Drive and Sylvania (over the hill). Millings shall be graded and compacted by the Contractor with a two-inch (2") course of hot mix asphalt (HMA) 13A to be placed over the millings. The street rehabilitation shall serve the properties within the Township located along Edgelake Drive and Burton Drive that are within the boundaries indicated on the attached map.

Edgelake Drive & Burton Drive Road Improvement Project

Hamburg Township, Livingston County, Michigan



FAX (810) 231-4295
TELEPHONE: (810) 231-1000



P.O. Box 157
10405 Merrill Road
Hamburg, MI 48139

EXHIBIT "B"

WARRANT

TO: Treasurer
Hamburg Township
Livingston County, Michigan

I certify that attached to this Warrant is a true copy of the Special Assessment Roll confirmed by the Township Board of the Township of Hamburg on March 17, 2020 (the "Confirming Resolution"). You are hereby directed to proceed to collect the amounts due on such roll in accordance with this Warrant, the Confirming Resolution and the statutes of the State of Michigan.

Michael Dolan
Hamburg Township Clerk



MEMORANDUM

Memorandum

To: Township Board of Trustees

From: Scott Pacheco

Date: March 17, 2020

Re: Repeal of Replace General Ordinances Number 24-B Subdivision Control Ordinance

Draft Ordinance 24-C will revise the wording in Ordinance 24-B as follows:

1. The name of the Public act 288 of 1967 has been changed from the subdivision control act to the Land Division Act so the references to the Subdivision Control Act throughout the Subdivision Control Ordinance has been changed to reference the Land Division Act.
2. Section 1.6 Violations has been amended to comply with the Civil Infraction Ordinance 71A.
3. Section 1.7 Severability has been amended to allow the Township Board the ability to modify the provisions of the ordinance under extraordinary circumstances if the intent of the ordinance is observed.
4. Article 3 has been revised to allow the Clerk to designate other Township Staff to review the preliminary and final plat submittals for completeness.
5. Article 6 Right to Amend has been added. This article includes standard wording that references the Township right to amend the ordinance.
6. Article 7 Repealer, Article 8 Saving Clause and Article 9 Effective Date have all been updated.

The draft ordinances 24-C is attached to this report. Exhibit A is the Draft Ordinance with markups and Exhibit B is a clean copy of the Draft Ordinance.

RECOMMENDATION:

The Township Board should review the proposed General Ordinance amendments and either make revisions to the suggested wording, approve or deny the draft ordinance amendments. If the Township Board wishes to approve the General Ordinance amendments they should approve the each General Ordinance amendment separately (Ordinance 84-A and Ordinance 85-A) through a motion on a roll call vote. If the amendment is approved staff will submit the summary notices (Attachment C and D) to the Press and Argus and 30 days after the notice in the paper the ordinance will be effective.

EXHIBITS

Attachment A- Draft General Ordinance 24-C with mark ups

Attachment B- Draft General Ordinance 24-C clean

Attachment C- Summary Notice 24-C

Hamburg Township
Ordinance 24-~~BC~~
Subdivision Control Ordinance

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ARTICLE 1
GENERAL PROVISIONS

Section 1.0. Title

This Ordinance shall be known and be cited as the Subdivision Plat Ordinance of the Township of Hamburg.

Section 1.1. Purpose

The purpose of this Ordinance is to carry out the provisions of the Michigan Subdivision Land Division Control Act, Public Act 288 of 1967, as amended of 1967, (formally known as the Subdivisions Control Act), and to regulate and control the subdivision of land within the Township of Hamburg, in order to promote the safety, public health and general welfare of the community.

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Section 1.2. Legal Authorization

This Ordinance is enacted pursuant to the statutory authority granted by the Township Planning Commission Act, Act 168, P.A. of 1959 as amended; and the Subdivision Control Land Division Act, 288, P.A. of 1967, as amended. All plats submitted to the Township Board for approval shall be made, approved, filed, recorded, revised and vacated in the manner provided by the Michigan Subdivision Control Land Division Act of 1967, and in the manner and in accordance with the provisions of this Ordinance as hereinafter set forth.

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Section 1.3. Application

This Ordinance shall not apply to any lot or lots forming a part of a subdivision created and recorded prior to the effective date of the Ordinance, except for further dividing of existing lots. Nor is it intended by this Ordinance to repeal, abrogate, annual, or in any way impair or interfere with existing provisions of other laws, ordinances or regulation, or with private restrictions placed upon property by deed, covenant or other private restrictions placed upon property of deed, covenant or other private agreements, or with restrictive covenants running with the land to which the Township is a party. Where this Ordinance imposes a greater restriction upon land than is imposed or required by such existing provisions of any other ordinance of the Township, the provisions of this Ordinance shall prevail.

Section 1.4. Conformance with Zoning Ordinance

All plats reviewed under these regulations shall conform to all zoning ordinance provisions for the district in which the proposed plat is to be located. All required zoning changes shall be made prior to tentative approval of the preliminary plat by the Township Board.

Section 1.5. Fees

The Township Board shall establish by resolution, a schedule of fees, charges and expenses, for preliminary and final plat review, planning review, engineering review, attorney, inspection and other matters pertaining to this Ordinance; the schedule shall be available in the Township Office and may be amended only by the Township Board.

Any special meeting of the Planning Commission requested by the developer shall be paid for by the developer prior to said meeting at the rate of a special meeting.

Until all applicable fees, charges, and expenses have been paid in full, no action shall be taken on any application.

Section 1.6. Violation

Any person who shall violate any of the terms of this Ordinance shall be responsible for a Municipal Civil Infraction.

For purposes of assessing fines and penalties only, a violation under this section shall be classified as a Class C Municipal Civil Infraction.

The fines and penalties in Section 6 entitled "Sanctions for Violations" as set forth in Hamburg Township Civil Infraction Ordinance (CIO) are incorporated herein by reference.

~~Failure to comply with the provisions of this Ordinance shall constitute a misdemeanor. Any person, whether such person be the owner or agent of the owner, who violates this Ordinance or fails to comply with any of its requirements shall, upon conviction thereof, be fined not more than Five Hundred Dollars (\$500.00) or imprisoned for not more than thirty (30) days, or both. Each day such violation continues shall be considered a separate offense.~~

Section 1.7. Severability

~~Should any section, clause or provision of this Ordinance be declared by the Courts to be invalid, the same shall not affect the validity of the Ordinance as a whole, or any part thereof, other than the part so declared to be invalid. Should any article, section, subsection, paragraph, subparagraph, sentence, or clause of this Ordinance be declared by a court of competent jurisdiction to be unconstitutional or invalid, that holding shall not affect the validity of this Ordinance in whole or part, other than that part declared to be unconstitutional or invalid.~~

Where extraordinary circumstances exist or there are practical difficulties in complying with a certain provision or requirement of this Ordinance, the Township Board may at their discretion vary or modify any of the provisions or requirements herein contained at a particular instance so that the spirit of the Ordinance shall be observed and an adequate development be encouraged.

ARTICLE 2
DEFINITIONS

Section 2.0. Definitions

The following definition shall apply in the interpretation and enforcement of this Ordinance, unless otherwise specifically stated.

Section 2.1. As-Built Plans

Revised construction plans in accordance with all approved field changes.

Section 2.2. Buffer Strip

A strip or parcel of land, privately restricted or publicly dedicated as open space intended to minimize conflicts between incompatible land uses.

Section 2.3. Clerk

The Township Clerk or his/her appointed designee.

Section 2.4. Date of Filing

The date upon which the Zoning Administrator certifies a submittal to be complete.

Section 2.5. Department of Transportation

Michigan Department of Transportation.

Section 2.6. Department of Commerce

Michigan Department of Commerce.

Section 2.7. Department of Public Health

Livingston County Health Department.

Section 2.8. Department Of Natural Resources

Michigan Department of Natural Resources.

Section 2.9. Dedication

The intentional transfer by the proprietor to the public of the ownership of, or an interest in, land for a public purpose.

Section 2.10. Design Standards

The engineering and design standards adopted by Hamburg Township.

Section 2.11. Easement

An interest in land owned by another which entitles the owner or owners of the easement to a limited use or enjoyment of the land. An easement may be created in favor of the public generally, federal and state agencies, municipal and private corporations and individuals.

Section 2.12. Engineer

A civil engineer who is registered in the State of Michigan as a registered professional engineer.

Section 2.13. Improvements

Any structure or material change incident to servicing or furnishing facilities for a subdivision such as, but not limited to grading, street surfacing, curb and gutter, driveway approaches, sidewalks, pedestrian ways, water mains and lines, sanitary sewers, storm sewers, culverts, bridges, utilities, lagoons, slips, waterways, lakes, bays, canals, and other appropriate items, with appurtenant construction; demolition of structures; planting of removal of trees and other vegetation cover.

Section 2.14. Master Plan

The Master Plan for the Township of Hamburg, Livingston County, Michigan, as adopted by the Planning Commission in accordance with Act 168 of Public Act of 1959, as amended.

Section 2.15. Outlot

When included within the boundary of a recorded plat, means a lot set aside for purposes other than a ~~building site~~ development site, park or other land dedicated to public use or reserved to private use. (This definition applies to outlots platted after January 1, 1968.)

Section 2.16. Pedestrian way

A separate right-of-way dedicated to or reserved for public use by pedestrians, which crosses blocks or other tracts of land for the purpose of facilitating pedestrian access to adjacent streets and properties.

Section 2.17. Planning Commission

The Planning Commission of Hamburg Township as established under Act 168, P.A. of 1959, as amended.

Section 2.18. Proprietor

Any person or any combination of persons, including a government agency, undertaking any development as defined in this Ordinance. The term proprietor includes such commonly used references as subdivider, developer, and owner.

Section 2.19. Public Utility

All persons, firms, corporations, or municipal or other public authority providing gas, electricity, water, steam, telephone, telegraph, storm sewers, sanitary sewers, transportation, or other services of a similar nature.

Section 2.20. Right-of-way

A street, alley or other thoroughfare or easement permanently established for the passage of persons or vehicle.

Section 2.21. Sidewalk

A facility, placed within the right-of-way of existing streets, or a facility connecting buildings, parking lots, or other activities having access to the street right-of-way, for the purpose of providing safe movement of pedestrians.

Section 2.22. Subdivide or Subdivision

~~The partitioning of a parcel or tract of land by the proprietor thereof or by his heirs, executors, administrators, legal representatives, successors, or assigns for the purpose of sale or lease of more than one (1) year, or of building development, where the act of division creates five (5) or more parcels land each of which is ten (10) acres or less in area, and which are created successive divisions within a period of ten (10) years dated from January 1, 1968, in accordance~~

~~with the Subdivision Control Act. The term subdivision also refers to any area which is subdivided within the foregoing definition.~~ The partitioning or splitting of a parcel or tract of land by the proprietor thereof or by his or her heirs, executors, administrators, legal representatives, successors, or assigns for the purpose of sale, or lease of more than 1 year, or of building development that results in 1 or more parcels of less than 40 acres or the equivalent, and that is not exempted from the platting requirements of the Land Division Act by sections 108 and 109 of the Act. "Subdivide" or "subdivision" does not include a property transfer between 2 or more adjacent parcels, if the property taken from 1 parcel is added to an adjacent parcel; and any resulting parcel shall not be considered a building site unless the parcel conforms to the requirements of this act or the requirements of an applicable local ordinance.

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Section 2.23. ~~Subdivision Control~~Land Division Act

Act 288, P.A. of 1967, as amended.

Section 2.24. Surveyor

A land surveyor who is registered in the State of Michigan as a registered land surveyor.

Section 2.25. Topographical Map

A map showing existing physical characteristics, with contour lines at sufficient intervals to permit determination of proposed grades and drainage.

Section 2.26. Township Engineer

The staff engineer or consulting engineer of the Township.

Section 2.27. Township Planner

The staff planner or consulting planner of the Township.

Section 2.28. Zoning Ordinance

The Hamburg Township Zoning Ordinance.

ARTICLE 3
PLAT PROCEDURES AND REQUIREMENTS

Section 3.1. Preliminary Plat – Tentative Approval

3.1.1. Filing. The proprietor shall file ten (10) copies of the preliminary plat together with fees, proof of ownership, and a written request with the Township Clerk at least thirty (30) days prior to the Planning Commission meeting at which the plat is to be considered. The Clerk of other Township staff designee shall check the completeness of the submittal, and, if complete, transmit same to the Planning Commission for the next regular meeting. If the application is not complete, the Clerk or other Township designee shall so notify the applicant in writing and shall list deficiencies.

3.1.2. Required Information

1. Name and address of the proprietor and proof of ownership, and the name and address of the Engineer or Surveyor who prepared the plat.

2. Name of proposed subdivision and full legal description of the parcel to be subdivided. The legal description must bear the certificate of a Surveyor.
3. Date of plat preparation, north arrow, and scale of plat, which shall not be greater than 200 feet to the inch.
4. Area maps showing the relationship of the proposed subdivision to the surrounding area within one-half mile.
5. Map of existing topography at two (2) foot contours intervals. Existing surface drainage shall be indicated.
6. If the site is not served by public water and sewer, soil test borings must be prepared in accordance with the standards of the Livingston County Health Department. Borings shall be taken at a minimum of one per lot.
7. Layout of streets indicating proposed street names; right-of-way widths; and connections with, and location and width of platted streets, alleys, easements and public walkways.
8. Layouts, numbers and dimensions of lots, including building setback lines showing dimensions and finished grade elevations and schedule of lot sizes.
9. Location, widths and names of existing or prior easements of record, public and/or private.
10. Location of existing sewers, culverts, water mains, storm drains, other underground facilities and electricity, telephone, and gas lines within or adjacent to the tract being proposed for subdivision.
11. Proposed plans for surface drainage, water supply and sewage disposal.
12. The location of significant natural features, such as water courses, floodplains and wetlands, bodies of water, stands of trees, and individual trees (apart from stands of trees) having a caliper of twelve (12) inches greater, within the area to be platted.
13. All parcels or lands to be dedicated or reserved for public use or for use in common property owners in the subdivision shall be indicated on the preliminary plat, along with any conditions of such dedication or reservation.
14. If the subdivision is to be developed in stages, the relation of each stage to the entire subdivision plan shall be clearly indicated.
15. A statement of proposed deed restrictions or protective covenants, if any.

3.1.3. Review Procedures

1. The Planning Commission shall review the preliminary plat for conformance with the Zoning Ordinance, Master Plan, Design Standards, this Ordinance and any pertinent general ordinances. The Planning Commission shall refer the plat to

the Township Engineer, Planner, ~~and~~ Fire Department and any other agency it deem necessary for review and recommendations.

2. The Planning Commission shall take action on the preliminary plat within sixty (60) days of the date of filing of the plat. The review period may be extended by written agreement between the Planning Commission and the proprietor. If no action is taken by the Planning Commission within the 60-day period, and if no extension is secured, the proprietor may submit the preliminary plat to the Township Board for Action.
3. The Planning Commission shall then recommend tentative approval, conditional approval, or disapproval, of the preliminary plat and transmit all copies of the preliminary plat together with the reasons for its action to the Township Board.
4. The Township Board shall, within thirty (30) days of receiving the Planning Commission's recommendation, approve or disapprove the tentative preliminary plat. The Clerk shall notify the proprietor or developer if the preliminary plat is approved or disapproved; and if disapproved, the reason(s) shall be stated.

3.1.4. Effect of Tentative Approval of Preliminary Plat

1. Tentative approval of the preliminary plat shall confer upon the proprietor for a period of one (1) year from the approval date, approval of the lot sizes, lot orientations and street layout of the proposed subdivision. The tentative approval may be extended if an extension is applied for by the proprietor and granted in writing by the Township Board at the recommendation of the Planning Commission. Written notice of any extension shall be sent by the Township Board to all other plat approval authorities.

Section 3.2. Preliminary Plat – Final Approval

- 3.2.1. **Filing.** The proprietor shall submit ten (10) copies of the preliminary plat, as tentatively approved by the Township Board and approved by all county and state plat approval authorities as required by the ~~Subdivision Control~~Land Division Act, together with the required information and fees, to the Clerk at least twenty (20) days prior to the meeting of the Township Board at which the preliminary plat is to be considered for final approval. The Clerk or other Township staff designee shall check the completeness of the submittal, and if complete, transmit same to the Township Board in adequate time for inclusion on the agenda for the Board's next meeting. If the application is not complete, the Clerk shall so notify the proprietor in writing and shall list deficiencies.

The Clerk shall simultaneously transmit one copy of the preliminary plat as tentatively approved by the Township Board and as approved by all county and state plat approval authorities, to the Township Engineer, Planner, and if deed restrictions are part of the plat, to the Township Attorney.

3.2.2. Required Information

1. A list of all county and state authorities required by the Subdivision Control Land Division Act to approved the preliminary plat, certifying that the list is complete and that each authority has approved the preliminary plat.
2. One approved copy of the preliminary plat from each county and state authority required by the Subdivision Control Land Division Act to approve the preliminary plat.
3. Copy of the receipt from the Township Treasurer that all fees have been paid and/or that funds are in escrow to cover the remaining fees.

3.2.3. Review Procedures

1. The Clerk shall forward the preliminary plat to the Township Engineer and Planner for review of compliance with zoning and design regulations and to the Township Attorney for review of Deed Restrictions, if required. All reports are forwarded to the Township Board.
2. The Township Board shall consider and review the preliminary plat at its next meeting, or within 20 days from the date of submission, and approve it if the proprietor has met all conditions laid down for approval. If the preliminary plat does not meet all conditions laid down for approval, the Township Board may deny the preliminary plat or, with the acquiescence of the proprietor, return the preliminary plat to the Planning Commission for amendment.
3. After the Township Board has taken action on the final preliminary plat, the Clerk shall notify the proprietor or developer if the preliminary plat is approved or disapproved; and if disapproved, the reason(s) shall be stated.

3.2.4. Final Approval of the Preliminary Plat. Final approval of the final preliminary plat confers upon the proprietor for a period of two (2) years from the date of the approval the conditional right that the general terms and conditions under which the final approval of the preliminary plat was granted will not be changed.

The two (2) year period may be extended if the proprietor applies for an extension in writing and said extension is granted by the Township Board in writing. Written notice of any extension shall be sent by the Board to all other plat approval authorities. Construction of improvements may commence upon final approval of the preliminary plat by the Township Board.

Section 3.3. Final Plat

- 3.3.1. Filing.** The proprietor or developer shall submit the final plat in a form complying with the provisions and procedures of the Subdivision Control Land Division Act together with the required information and fees to the Clerk at least ~~ten~~ ^{ten} (10) days prior to the meeting of the Township Board at which the plat is to be considered. The Clerk or other Township staff designee shall check the completeness of the submittal, and if complete, transmit same to

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the Board in adequate time for inclusion on the agenda for the Board's next meeting. If the application is not complete, the Clerk or other Township staff designee shall so notify the applicant in writing and shall list deficiencies. A final plat shall not be accepted for review after the date of expiration of the final approval of the preliminary plat.

3.3.2. Required Information (Revised in Amend. B to Subdivision Control Ord.)

1. One (1) mylar copy and ten (10) prints thereof.
2. Abstract of title or other certificate establishing ownership interests and to ascertain if proper parties have signed the plat, for all land included in the subdivision. ~~(As amended April 28, 1992)~~
3. The proprietor shall provide the Township Clerk with a certificate from his engineer indicating that improvements have been installed in conformance with the approved engineering drawings, with any changes noted therein and attached in drawings, and proof of a guarantee of completion for those improvements to be installed after final plat approval, as finally approved in the preliminary plat. All monuments, lot corners must be in and inspected or bonded to assure completion before final approval is given.

3.3.3. Review Procedures.

1. The final plat shall conform closely to the preliminary plat as finally approved. The final plat may cover only a portion of the area covered by the preliminary plat as finally approved (per Section 3.2(4) above).
2. All improvements and facilities to be provided by the proprietor shall be installed, or adequate security in lieu thereof shall be provided; and all dedications, and easements shall be evidenced as having been made before the Township Board may approve the final plat. However, approval of the final plat shall not constitute acceptance of items for dedication. The Township Board reserves the right to have all installations inspected and approved by the Township Engineer before the Board approved the final plat.
3. Prior to Final Plat Approval the proprietor shall present a letter from the Livingston County Drain Commissioner stating that all drains and the storm water retention/detention facilities in the proposed plat are in established Livingston County Drainage District.
4. The Township Board, at its next regular meeting or within twenty (20) days of submittal of the plat to the Clerk, shall approve or disapprove the final plat. The Clerk shall notify the proprietor final plat approval or disapproval.
5. If the final plat is approved, the Clerk shall transmit the reproducible copy of the plat and the filing and recording fees to the County Plat Board. One paper print shall be forwarded to the County Building Department, and one print

shall be retained by the Township Clerk. The reproducible copy and paper prints shall have the date of approval marked thereon.

6. If the final plat is approved, the Township Clerk shall sign a certificate signifying approval of the final plat by the Township Board. The certificate shall include the date of approval and the date on which the Clerk signs the certificate.
7. If the final plat is disapproved, the Clerk shall record the reasons for rejection in the minutes of the meeting, notifying the proprietor in writing of the action and the reasons therefor, and return the plat to the proprietor.

3.3.4. Effect of Final Plat Approval. Approval of the final plat shall confer upon the proprietor for a period of three (3) years from the date of approval, a right that all existing zoning regulations and subdivision regulations shall remain unchanged as they apply to the property included in the final plat.

ARTICLE 4

DESIGN STANDARDS FOR SUBDIVISION IMPROVEMENTS

Section 4.0. General

The following design standards shall be considered as minimum requirements applicable to subdivisions. Variances from the standards set forth in this Article shall be granted only as provided for in Article 5.

Section 4.1. Streets and Roads

The design, layout and construction of all subdivision streets and roads, including the necessary provisions for drainage, shall be in accordance with the standards and specifications of the Livingston County Road Commission and the provisions of this Ordinance.

The arrangement of streets in the subdivision shall provide for the continuation of streets in adjacent subdivisions, where such extensions are deemed desirable by the Planning Commission and County Road Commission, and where such extension is not precluded by topographic or other existing conditions. The layout shall provide for proper projection of principal streets into adjoining properties not yet subdivided. In general, all such streets shall have a width at least as great as the street being extended.

Local streets shall be laid out so as to discourage their use by through traffic.

Streets shall be arranged in proper relation to topography so as to result in usable lots, safe streets, and reasonable grades, both for the streets and for driveways intersecting therewith.

The street layouts shall not isolate lands from existing public streets or roads, unless suitable access is provided, and the access be granted by easement or dedicated to public use. Slight jogs in continuous streets at points of intersection with other streets shall not be permitted. Where offsets cannot be avoided, a minimum distance of 125 feet shall be established between centerlines of the intersecting streets.

Where future connections to adjacent areas are to be provided, the land for such connection shall be covered by an easement and shall be designated "future road" on the various plats. Each such easement shall be at least sixty-six (66) feet wide and a document conveying the easement for road purposes shall be filed with the County Road Commission at the time of filing of the preliminary plat for final approval.

Intersection of local or residential roads with collector and arterial roads shall be reduced to a reasonable minimum but should, in general, be at least 500 feet apart, centerline to centerline, to preserve the traffic carrying capacity of the collector and arterial roads, and to reduce the potential accidents at such intersections. In general, all streets should intersect each other so that for a distance of at least 100 feet the street is approximately at right angles to the street it joins. In no case shall an intersection form an angle of less than 90 degrees. No more than two streets shall cross at one intersection.

All street construction shall be centered on the street right-of-way. Section line and quarter line roads shall be centered on these lines unless the Township Engineer or County Road Commission.

Section 4.1.1. Lot Dimensions and Orientation

No lot created within a plat shall be less than the minimum lot dimensions and minimum area as stated in the Township Zoning Ordinance for the Zoning District in which it is located, unless modifications are approved pursuant to the Ordinances of the Township. Where a lot abuts two or more streets, the proprietor shall clearly designate on the plat which street line constitutes the front lot line. Side lot lines shall be generated at right angles to straight street lines or shall project radially from a curved street line or cul-de-sac.

Section 4.2. Pedestrianways and Sidewalks

Sidewalks may be required on one or both sides of the street depending on environmental or traffic conditions; or, in the case of low density development, they may be ~~expected, excluded~~ entirely. Pedestrianways linking portions of the subdivision may also be required.

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Section 4.3. Storm Drainage

The design and construction of storm drainage improvements shall be in accordance with the standards and specifications of the Livingston County Drain Commissioner.

Section 4.4. Sanitary Sewage Disposal and Water Supply Systems

Central sanitary sewer and water supply facilities shall be designed and located in accordance with the specifications and procedural requirements of the Michigan Department of Health. On-site waste disposal and water supply systems shall be designed and located in accordance with the specifications and procedural requirements of the Livingston County Health Department.

Section 4.5. Gas, Wire or Cable Utilities

All lines for telephone, electrical, television, and other services distributed by wire or cable shall be placed underground throughout a subdivision. Overhead lines may be permitted upon recommendation of the Planning Commission and approval by the Township Board at the time of tentative approval of the preliminary plat where it is determined that such lines will not impair the health, safety, general welfare, design, appearance, and character of the subdivision, and only where such overhead lines are brought to the perimeter of the subdivision. This Section shall not be construed to prohibit the construction above ground of surface equipment associated with an underground distribution system, such as, but not limited to, surface mounted transformers, power terminal pedestals, meters and meter boxes, concealed wires, street lights, and street light poles.

All facilities, including those for gas distribution, shall be installed in accordance with standards and specifications of the Michigan Public Service Commission. The layout of such facilities shall be submitted to the utility companies having jurisdiction in the area for their review before filing for final approval of the preliminary plat. All said utilities placed in public rights-of-way shall not conflict with other underground lines.

All underground public utility installations, including lines for street lighting systems which traverse privately owned property, shall be protected by easements granted by the proprietor and approved by the public utility. Such easements shall be so located as to not interfere with the use of any lot or other part of the subdivision. The size of, and restrictions pertaining to, such easements shall be in accordance with the standards and specifications of the agency having jurisdiction over the utility line and the ~~Subdivision Control~~Land Division Act, and shall be indicated on the preliminary plat submitted for tentative approval.

Section 4.6. Reservation of Playground Areas

Any subdivision comprising twenty (20) lots or more, either as a single subdivision or as a group of adjacent subdivisions offered by a single proprietor, shall provide a children's playground,

pedestrian trail system or combination thereof which shall contain an area equal in size to fifteen hundred (1,500) square feet for each lot in the subdivision.

Said playground, pedestrian trail system or combination thereof shall be well drained, graded, seeded or sodded, safe from hazard, accessible to all lots, and the location shall be determined prior to tentative approval of the preliminary plat by the Planning Commission and Township Board. Reservation of playground, pedestrian trail system or combination thereof shall be achieved through deed restrictions or dedication to a subdivision homeowner's association. ~~(Section 4.6 amended January 288, 1992, published February 12, 1992, for effect on March 13, 1992)~~

Section 4.7. Preservation of Buffer Strips and Natural Features

The Planning Commission shall, wherever possible, require the preservation of all natural features which add value to the proposed subdivision and the community at large, such as large trees or groves of trees, water courses, vistas, historic spots and features, wildlife habitats and ecological areas, and similar irreplaceable assets. The location, nature, and extent of such features should be identified in the "preliminary plat – tentative approval" stages and shall be made a part of the subsequent plats to the greatest possible extent. The preservation and/or inclusion of such features may be made a condition of tentative approval of the preliminary plat.

Should a proposed subdivision border or contain an existing or proposed major thoroughfare, buffer strips parallel and adjacent to the road shall be provided as required by the Planning Commission may require landscaping, marginal access streets, reverse frontage, or other such treatment as may be necessary to adequately separate buffer strips and natural features shall be achieved through deed restrictions or dedication to a subdivision homeowner's association.

~~(Page as amended 1/28/92)~~

Section 4.8. Uninhabitable Areas

Lands deemed uninhabitable in their natural state by the Planning Commission shall not be platted for residential use, or for any other use that might create a danger to health, safety, or property, within or outside the subdivision. Such lands shall be set aside for recreational use or shall be retained in their natural state as open space. However, such lands may be platted and developed if the features making the lands uninhabitable can reasonably be removed without destruction of adjacent or nearby property or desirable natural features of the land, and if approval is obtained from all plat approval authorities required to review plats under the ~~Subdivision Control~~Land Division Act and this Ordinance. Any areas of land within the proposed subdivision which lie either wholly or partly within the flood plain of a river, stream, creek, or lake, or any other areas which are subject to flooding by storm water shall be clearly shown on the preliminary plat and the final plat.

Section 4.9. Performance Guarantees

In the event the improvements as required by the Township Board shall not have been completed by the time the plat is ready for final approval, the developer shall enter into an agreement with the Township to construct or complete such improvements within a reasonable time and, in such case, shall deposit with the Township a certified check, cash, or a surety bond for the faithful performance and completion of the required improvements. Such bond, cash or

check shall be in such an amount as the Township Engineer shall estimate to be a sufficiently adequate sum to cover the cost to construct or to complete construction of the required improvements. The Township shall rebate to the developer, as the work progresses, amounts of such deposits equal to the ratio of work satisfactorily completed to the entire project. Such rebate shall be based on report and recommendation of the Township Engineer.

Section 4.10. As-built Drawings

The proprietor shall submit to the Township Engineer or Building Department one reproducible copy of “as-built” engineering drawings of each of the required improvements that has been completed prior to the final plat approval. Each set of drawings shall be certified by the proprietor’s engineer. Similar drawings shall also be submitted after final plat approval of improvements installed under bond. This provision does not apply to improvements made under the jurisdiction of other public agencies.

~~(Page as amended 1/28/92)~~

**ARTICLE 5
VARIANCES**

Section 5.0. General

The Township Board, upon the recommendation of the Planning Commission, may authorize a variance from the provisions of this Ordinance on a finding that undue hardship may result from strict compliance. Variances shall apply only to improvements, standards and specifications set forth in the Ordinance but not to procedures required herein.

Section 5.1. Findings Required

No variance shall be granted unless the following findings are made upon examination of the request:

1. That there are such special circumstances or conditions affecting said property that strict application of the provisions of this Ordinance would clearly be impractical or unreasonable.
2. That the conditions requiring the variance were not created by the proprietor.
3. That the variance is necessary for the preservation and enjoyment of a substantial property right of the proprietor, and is not primarily intended for his economic gain.
4. That the granting of the variance will not be detrimental to the public welfare or injurious to other property in the area in which said property is situated.
5. That such variance will not have the effect of nullifying the intent and purpose of this Ordinance, the adopted Master Plan, and the Zoning Ordinance.
6. That such variance will not violate the provisions of the Subdivision Control Land Division Act.

Section 5.2. Application for Variance

Application for any such variance shall be submitted in writing by the proprietor to the Township Board at the time the preliminary plat is filed for tentative approval by the Planning Commission. The petition shall state fully the grounds for the application and all the facts relied upon by the proprietor and shall be supplemented by maps, plans, or other data which may aid in the analysis of the condition of the request for variance.

ARTICLE 6

RIGHT OF AMEND

The Township of Hamburg specifically reserves the right to amend this Ordinance in whole or in part, at one or more times hereafter, or to repeal the same.

ARTICLE 6.7

REPEALER

This section repeals Hamburg Township General Ordinance 24-B Subdivision Control Ordinance and all other ordinances and parts of ordinances in conflict with the provisions of this ordinance. The Subdivision Plat Ordinance of the Township of Hamburg adopted on February 26, 1979 and effective March 28, 1979 is hereby repealed.

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ARTICLE 78

SAVING CLAUSE

The prosecution of any complaint issued under the authority of said Hamburg Ordinance No. 24-B Subdivision Control Ordinance prior to its repeal is hereby saved and preserved.

ARTICLE 9

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EFFECTIVE DATE

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This Ordinance shall become effective thirty (30) days after the first publication in accordance with Act 191, of the Public Acts of 1939, as amended.

~~The prosecution of any action civil or criminal action filed under the authority of said 1979 Ordinance prior to its repeal is hereby saved and preserved.~~

Introduced by Strang, supported by Bitondo, the adoption of the Subdivision Control Ordinance:

Ayes: Bitondo, Strang, Jezowski, Bater, Parrish, Hollenbeck, Winn

Nayes: None

Resolution Carried

Certification

I, , being the duly elected Clerk of the Township of Hamburg, County of Livingston and State of Michigan hereby certify that this Hamburg Township Ordinance No. 24-~~B-C~~ to repeal and replace ~~amend~~ Hamburg Township Ordinance No. 24-~~AB~~, was duly approved by the Township Board at their regular meeting of Tuesday, , and was published within 30 days after its adoption by printing the same in the Brighton Argus on .

Original signed by:

Hamburg Township Clerk

**Hamburg Township
Ordinance 24-C
Subdivision Control Ordinance**

**ARTICLE 1
GENERAL PROVISIONS**

Section 1.0. Title

This Ordinance shall be known and be cited as the Subdivision Plat Ordinance of the Township of Hamburg.

Section 1.1. Purpose

The purpose of this Ordinance is to carry out the provisions of the Land Division Act, Public Act 288 of 1967, as amended (formally known as the Subdivisions Control Act), and to regulate and control the subdivision of land within the Township of Hamburg, in order to promote the safety, public health and general welfare of the community.

Section 1.2. Legal Authorization

This Ordinance is enacted pursuant to the statutory authority granted by the Township Planning Commission Act, Act 168, P.A. of 1959 as amended; and the Land Division Act, 288, P.A. of 1967, as amended. All plats submitted to the Township Board for approval shall be made, approved, filed, recorded, revised and vacated in the manner provided by the Michigan Land Division Act of 1967, and in the manner and in accordance with the provisions of this Ordinance as hereinafter set forth.

Section 1.3. Application

This Ordinance shall not apply to any lot or lots forming a part of a subdivision created and recorded prior to the effective date of the Ordinance, except for further dividing of existing lots. Nor is it intended by this Ordinance to repeal, abrogate, annual, or in any way impair or interfere with existing provisions of other laws, ordinances or regulation, or with private restrictions placed upon property by deed, covenant or other private restrictions placed upon property of deed, covenant or other private agreements, or with restrictive covenants running with the land to which the Township is a party. Where this Ordinance imposes a greater restriction upon land than is imposed or required by such existing provisions of any other ordinance of the Township, the provisions of this Ordinance shall prevail.

Section 1.4. Conformance with Zoning Ordinance

All plats reviewed under these regulations shall conform to all zoning ordinance provisions for the district in which the proposed plat is to be located. All required zoning changes shall be made prior to tentative approval of the preliminary plat by the Township Board.

Section 1.5. Fees

The Township Board shall establish by resolution, a schedule of fees, charges and expenses, for preliminary and final plat review, planning review, engineering review, attorney, inspection and other matters pertaining to this Ordinance; the schedule shall be available in the Township Office and may be amended only by the Township Board.

Any special meeting of the Planning Commission requested by the developer shall be paid for by the developer prior to said meeting at the rate of a special meeting.

Until all applicable fees, charges, and expenses have been paid in full, no action shall be taken on any application.

Section 1.6. Violation

Any person who shall violate any of the terms of this Ordinance shall be responsible for a Municipal Civil Infraction.

For purposes of assessing fines and penalties only, a violation under this section shall be classified as a Class C Municipal Civil Infraction.

The fines and penalties in Section 6 entitled "Sanctions for Violations" as set forth in Hamburg Township Civil Infraction Ordinance (CIO) are incorporated herein by reference.

Section 1.7. Severability

Should any article, section, subsection, paragraph, subparagraph, sentence, or clause of this Ordinance be declared by a court of competent jurisdiction to be unconstitutional or invalid, that holding shall not affect the validity of this Ordinance in whole or part, other than that part declared to be unconstitutional or invalid.

Where extraordinary circumstances exist or there are practical difficulties in complying with a certain provision or requirement of this Ordinance, the Township Board may at their discretion vary or modify any of the provisions or requirements herein contained at a particular instance so that the spirit of the Ordinance shall be observed and an adequate development be encouraged.

ARTICLE 2
DEFINITIONS

Section 2.0. Definitions

The following definition shall apply in the interpretation and enforcement of this Ordinance, unless otherwise specifically stated.

Section 2.1. As-Built Plans

Revised construction plans in accordance with all approved field changes.

Section 2.2. Buffer Strip

A strip or parcel of land, privately restricted or publicly dedicated as open space intended to minimize conflicts between incompatible land uses.

Section 2.3. Clerk

The Township Clerk or his/her appointed designee.

Section 2.4. Date of Filing

The date upon which the Zoning Administrator certifies a submittal to be complete.

Section 2.5. Department of Transportation

Michigan Department of Transportation.

Section 2.6. Department of Commerce

Michigan Department of Commerce.

Section 2.7. Department of Public Health

Livingston County Health Department.

Section 2.8. Department Of Natural Resources

Michigan Department of Natural Resources.

Section 2.9. Dedication

The intentional transfer by the proprietor to the public of the ownership of, or an interest in, land for a public purpose.

Section 2.10. Design Standards

The engineering and design standards adopted by Hamburg Township.

Section 2.11. Easement

An interest in land owned by another which entitles the owner or owners of the easement to a limited use or enjoyment of the land. An easement may be created in favor of the public generally, federal and state agencies, municipal and private corporations and individuals.

Section 2.12. Engineer

A civil engineer who is registered in the State of Michigan as a registered professional engineer.

Section 2.13. Improvements

Any structure or material change incident to servicing or furnishing facilities for a subdivision such as, but not limited to grading, street surfacing, curb and gutter, driveway approaches, sidewalks, pedestrian ways, water mains and lines, sanitary sewers, storm sewers, culverts, bridges, utilities, lagoons, slips, waterways, lakes, bays, canals, and other appropriate items, with appurtenant construction; demolition of structures; planting or removal of trees and other vegetation cover.

Section 2.14. Master Plan

The Master Plan for the Township of Hamburg, Livingston County, Michigan, as adopted by the Planning Commission in accordance with Act 168 of Public Act of 1959, as amended.

Section 2.15. Outlot

When included within the boundary of a recorded plat, means a lot set aside for purposes other than a development site, park or other land dedicated to public use or reserved to private use. (This definition applies to outlots platted after January 1, 1968.)

Section 2.16. Pedestrian way

A separate right-of-way dedicated to or reserved for public use by pedestrians, which crosses blocks or other tracts of land for the purpose of facilitating pedestrian access to adjacent streets and properties.

Section 2.17. Planning Commission

The Planning Commission of Hamburg Township as established under Act 168, P.A. of 1959, as amended.

Section 2.18. Proprietor

Any person or any combination of persons, including a government agency, undertaking any development as defined in this Ordinance. The term proprietor includes such commonly used references as subdivider, developer, and owner.

Section 2.19. Public Utility

All persons, firms, corporations, or municipal or other public authority providing gas, electricity, water, steam, telephone, telegraph, storm sewers, sanitary sewers, transportation, or other services of a similar nature.

Section 2.20. Right-of-way

A street, alley or other thoroughfare or easement permanently established for the passage of persons or vehicle.

Section 2.21. Sidewalk

A facility, placed within the right-of-way of existing streets, or a facility connecting buildings, parking lots, or other activities having access to the street right-of-way, for the purpose of providing safe movement of pedestrians.

Section 2.22. Subdivide or Subdivision

The partitioning or splitting of a parcel or tract of land by the proprietor thereof or by his or her heirs, executors, administrators, legal representatives, successors, or assigns for the purpose of sale, or lease of more than 1 year, or of building development that results in 1 or more parcels of less than 40 acres or the equivalent, and that is not exempted from the platting requirements of the Land Division Act by sections 108 and 109 of the Act. "Subdivide" or "subdivision" does not include a property transfer between 2 or more adjacent parcels, if the property taken from 1 parcel is added to an adjacent parcel; and any resulting parcel shall not be considered a building site unless the parcel conforms to the requirements of this act or the requirements of an applicable local ordinance.

Section 2.23. Land Division Act

Act 288, P.A. of 1967, as amended.

Section 2.24. Surveyor

A land surveyor who is registered in the State of Michigan as a registered land surveyor.

Section 2.25. Topographical Map

A map showing existing physical characteristics, with contour lines at sufficient intervals to permit determination of proposed grades and drainage.

Section 2.26. Township Engineer

The staff engineer or consulting engineer of the Township.

Section 2.27. Township Planner

The staff planner or consulting planner of the Township.

Section 2.28. Zoning Ordinance

The Hamburg Township Zoning Ordinance.

ARTICLE 3
PLAT PROCEDURES AND REQUIREMENTS

Section 3.1. Preliminary Plat – Tentative Approval

3.1.1. Filing. The proprietor shall file ten (10) copies of the preliminary plat together with fees, proof of ownership, and a written request with the Township Clerk at least thirty (30) days prior to the Planning Commission meeting at which the plat is to be considered. The Clerk or other Township staff designee shall check the completeness of the submittal, and, if complete, transmit same to the Planning Commission for the next regular meeting. If the application is not complete, the Clerk or other Township designee shall so notify the applicant in writing and shall list deficiencies.

3.1.2. Required Information

1. Name and address of the proprietor and proof of ownership, and the name and address of the Engineer or Surveyor who prepared the plat.
2. Name of proposed subdivision and full legal description of the parcel to be subdivided. The legal description must bear the certificate of a Surveyor.
3. Date of plat preparation, north arrow, and scale of plat, which shall not be greater than 200 feet to the inch.
4. Area maps showing the relationship of the proposed subdivision to the surrounding area within one-half mile.
5. Map of existing topography at two (2) foot contours intervals. Existing surface drainage shall be indicated.
6. If the site is not served by public water and sewer, soil test borings must be prepared in accordance with the standards of the Livingston County Health Department. Borings shall be taken at a minimum of one per lot.
7. Layout of streets indicating proposed street names; right-of-way widths; and connections with, and location and width of platted streets, alleys, easements and public walkways.
8. Layouts, numbers and dimensions of lots, including building setback lines showing dimensions and finished grade elevations and schedule of lot sizes.
9. Location, widths and names of existing or prior easements of record, public and/or private.

10. Location of existing sewers, culverts, water mains, storm drains, other underground facilities and electricity, telephone, and gas lines within or adjacent to the tract being proposed for subdivision.
11. Proposed plans for surface drainage, water supply and sewage disposal.
12. The location of significant natural features, such as water courses, floodplains and wetlands, bodies of water, stands of trees, and individual trees (apart from stands of trees) having a caliper of twelve (12) inches greater, within the area to be platted.
13. All parcels or lands to be dedicated or reserved for public use or for use in common property owners in the subdivision shall be indicated on the preliminary plat, along with any conditions of such dedication or reservation.
14. If the subdivision is to be developed in stages, the relation of each stage to the entire subdivision plan shall be clearly indicated.
15. A statement of proposed deed restrictions or protective covenants, if any.

3.1.3. Review Procedures

1. The Planning Commission shall review the preliminary plat for conformance with the Zoning Ordinance, Master Plan, Design Standards, this Ordinance and any pertinent general ordinances. The Planning Commission shall refer the plat to the Township Engineer, Planner, Fire Department and any other agency it deem necessary for review and recommendations.
2. The Planning Commission shall take action on the preliminary plat within sixty (60) days of the date of filing of the plat. The review period may be extended by written agreement between the Planning Commission and the proprietor. If no action is taken by the Planning Commission within the 60-day period, and if no extension is secured, the proprietor may submit the preliminary plat to the Township Board for Action.
3. The Planning Commission shall then recommend tentative approval, conditional approval, or disapproval, of the preliminary plat and transmit all copies of the preliminary plat together with the reasons for its action to the Township Board.
4. The Township Board shall, within thirty (30) days of receiving the Planning Commission's recommendation, approve or disapprove the tentative preliminary plat. The Clerk shall notify the proprietor or developer if the preliminary plat is approved or disapproved; and if disapproved, the reason(s) shall be stated.

3.1.4. Effect of Tentative Approval of Preliminary Plat

1. Tentative approval of the preliminary plat shall confer upon the proprietor for a period of one (1) year from the approval date, approval of the lot sizes, lot orientations and street layout of the proposed subdivision. The tentative approval may be extended if an extension is applied for by the proprietor and

granted in writing by the Township Board at the recommendation of the Planning Commission. Written notice of any extension shall be sent by the Township Board to all other plat approval authorities.

Section 3.2. Preliminary Plat – Final Approval

- 3.2.1. Filing.** The proprietor shall submit ten (10) copies of the preliminary plat, as tentatively approved by the Township Board and approved by all county and state plat approval authorities as required by the Land Division Act, together with the required information and fees, to the Clerk at least twenty (20) days prior to the meeting of the Township Board at which the preliminary plat is to be considered for final approval. The Clerk or other Township staff designee shall check the completeness of the submittal, and if complete, transmit same to the Township Board in adequate time for inclusion on the agenda for the Board's next meeting. If the application is not complete, the Clerk shall so notify the proprietor in writing and shall list deficiencies.

The Clerk shall simultaneously transmit one copy of the preliminary plat as tentatively approved by the Township Board and as approved by all county and state plat approval authorities, to the Township Engineer, Planner, and if deed restrictions are part of the plat, to the Township Attorney.

3.2.2. Required Information

1. A list of all county and state authorities required by the Land Division Act to approve the preliminary plat, certifying that the list is complete and that each authority has approved the preliminary plat.
2. One approved copy of the preliminary plat from each county and state authority required by the Land Division Act to approve the preliminary plat.
3. Copy of the receipt from the Township Treasurer that all fees have been paid and/or that funds are in escrow to cover the remaining fees.

3.2.3. Review Procedures

1. The Clerk shall forward the preliminary plat to the Township Engineer and Planner for review of compliance with zoning and design regulations and to the Township Attorney for review of Deed Restrictions, if required. All reports are forwarded to the Township Board.
2. The Township Board shall consider and review the preliminary plat at its next meeting, or within 20 days from the date of submission, and approve it if the proprietor has met all conditions laid down for approval. If the preliminary plat does not meet all conditions laid down for approval, the Township Board may deny the preliminary plat or, with the acquiescence of the proprietor, return the preliminary plat to the Planning Commission for amendment.
3. After the Township Board has taken action on the final preliminary plat, the Clerk shall notify the proprietor or developer if the preliminary plat is approved or disapproved; and if disapproved, the reason(s) shall be stated.

- 3.2.4. Final Approval of the Preliminary Plat.** Final approval of the final preliminary plat confers upon the proprietor for a period of two (2) years from the date of the approval the conditional right that the general terms and conditions under which the final approval of the preliminary plat was granted will not be changed.

The two (2) year period may be extended if the proprietor applies for an extension in writing and said extension is granted by the Township Board in writing. Written notice of any extension shall be sent by the Board to all other plat approval authorities. Construction of improvements may commence upon final approval of the preliminary plat by the Township Board.

Section 3.3. Final Plat

- 3.3.1. Filing.** The proprietor or developer shall submit the final plat in a form complying with the provisions and procedures of the Land Division Act together with the required information and fees to the Clerk at least ten (10) days prior to the meeting of the Township Board at which the plat is to be considered. The Clerk or other Township staff designee shall check the completeness of the submittal, and if complete, transmit same to the Board in adequate time for inclusion on the agenda for the Board's next meeting. If the application is not complete, the Clerk or other Township staff designee shall so notify the applicant in writing and shall list deficiencies. A final plat shall not be accepted for review after the date of expiration of the final approval of the preliminary plat.

3.3.2. Required Information (Revised in Amend. B to Subdivision Control Ord.)

1. One (1) mylar copy and ten (10) prints thereof.
2. Abstract of title or other certificate establishing ownership interests and to ascertain if proper parties have signed the plat, for all land included in the subdivision.
3. The proprietor shall provide the Township Clerk with a certificate from his engineer indicating that improvements have been installed in conformance with the approved engineering drawings, with any changes noted therein and attached in drawings, and proof of a guarantee of completion for those improvements to be installed after final plat approval, as finally approved in the preliminary plat. All monuments, lot corners must be in and inspected or bonded to assure completion before final approval is given.

3.3.3. Review Procedures.

1. The final plat shall conform closely to the preliminary plat as finally approved. The final plat may cover only a portion of the area covered by the preliminary plat as finally approved (per Section 3.2(4) above).

2. All improvements and facilities to be provided by the proprietor shall be installed, or adequate security in lieu thereof shall be provided; and all dedications, and easements shall be evidenced as having been made before the Township Board may approve the final plat. However, approval of the final plat shall not constitute acceptance of items for dedication. The Township Board reserves the right to have all installations inspected and approved by the Township Engineer before the Board approved the final plat.
3. Prior to Final Plat Approval the proprietor shall present a letter from the Livingston County Drain Commissioner stating that all drains and the storm water retention/detention facilities in the proposed plat are in established Livingston County Drainage District.
4. The Township Board, at its next regular meeting or within twenty (20) days of submittal of the plat to the Clerk, shall approve or disapprove the final plat. The Clerk shall notify the proprietor final plat approval or disapproval.
5. If the final plat is approved, the Clerk shall transmit the reproducible copy of the plat and the filing and recording fees to the County Plat Board. One paper print shall be forwarded to the County Building Department, and one print shall be retained by the Township Clerk. The reproducible copy and paper prints shall have the date of approval marked thereon.
6. If the final plat is approved, the Township Clerk shall sign a certificate signifying approval of the final plat by the Township Board. The certificate shall include the date of approval and the date on which the Clerk signs the certificate.
7. If the final plat is disapproved, the Clerk shall record the reasons for rejection in the minutes of the meeting, notifying the proprietor in writing of the action and the reasons therefor, and return the plat to the proprietor.

3.3.4. Effect of Final Plat Approval. Approval of the final plat shall confer upon the proprietor for a period of three (3) years from the date of approval, a right that all existing zoning regulations and subdivision regulations shall remain unchanged as they apply to the property included in the final plat.

ARTICLE 4

DESIGN STANDARDS FOR SUBDIVISION IMPROVEMENTS

Section 4.0. General

The following design standards shall be considered as minimum requirements applicable to subdivisions. Variances from the standards set forth in this Article shall be granted only as provided for in Article 5.

Section 4.1. Streets and Roads

The design, layout and construction of all subdivision streets and roads, including the necessary provisions for drainage, shall be in accordance with the standards and specifications of the Livingston County Road Commission and the provisions of this Ordinance.

The arrangement of streets in the subdivision shall provide for the continuation of streets in adjacent subdivisions, where such extensions are deemed desirable by the Planning Commission and County Road Commission, and where such extension is not precluded by topographic or other existing conditions. The layout shall provide for proper projection of principal streets into adjoining properties not yet subdivided. In general, all such streets shall have a width at least as great as the street being extended.

Local streets shall be laid out so as to discourage their use by through traffic.

Streets shall be arranged in proper relation to topography so as to result in usable lots, safe streets, and reasonable grades, both for the streets and for driveways intersecting therewith.

The street layouts shall not isolate lands from existing public streets or roads, unless suitable access is provided, and the access be granted by easement or dedicated to public use. Slight jogs in continuous streets at points of intersection with other streets shall not be permitted. Where offsets cannot be avoided, a minimum distance of 125 feet shall be established between centerlines of the intersecting streets.

Where future connections to adjacent areas are to be provided, the land for such connection shall be covered by an easement and shall be designated "future road" on the various plats. Each such easement shall be at least sixty-six (66) feet wide and a document conveying the easement for road purposes shall be filed with the County Road Commission at the time of filing of the preliminary plat for final approval.

Intersection of local or residential roads with collector and arterial roads shall be reduced to a reasonable minimum but should, in general, be at least 500 feet apart, centerline to centerline, to preserve the traffic carrying capacity of the collector and arterial roads, and to reduce the potential accidents at such intersections. In general, all streets should intersect each other so that for a distance of at least 100 feet the street is approximately at right angles to the street it

joins. In no case shall an intersection form an angle of less than 90 degrees. No more than two streets shall cross at one intersection.

All street construction shall be centered on the street right-of-way. Section line and quarter line roads shall be centered on these lines unless the Township Engineer or County Road Commission.

Section 4.2 Lot Dimensions and Orientation

No lot created within a plat shall be less than the minimum lot dimensions and minimum area as stated in the Township Zoning Ordinance for the Zoning District in which it is located, unless modifications are approved pursuant to the Ordinances of the Township. Where a lot abuts two or more streets, the proprietor shall clearly designate on the plat which street line constitutes the front lot line. Side lot lines shall be generated at right angles to straight street lines or shall project radially from a curved street line or cul-de-sac.

Section 4.3 Pedestrianways and Sidewalks

Sidewalks may be required on one or both sides of the street depending on environmental or traffic conditions; or, in the case of low density development, they may be excluded entirely. Pedestrianways linking portions of the subdivision may also be required.

Section 4.4 Storm Drainage

The design and construction of storm drainage improvements shall be in accordance with the standards and specifications of the Livingston County Drain Commissioner.

Section 4.5 Sanitary Sewage Disposal and Water Supply Systems

Central sanitary sewer and water supply facilities shall be designed and located in accordance with the specifications and procedural requirements of the Michigan Department of Health. On-site waste disposal and water supply systems shall be designed and located in accordance with the specifications and procedural requirements of the Livingston County Health Department.

Section 4.6 Gas, Wire or Cable Utilities

All lines for telephone, electrical, television, and other services distributed by wire or cable shall be placed underground throughout a subdivision. Overhead lines may be permitted upon recommendation of the Planning Commission and approval by the Township Board at the time of tentative approval of the preliminary plat where it is determined that such lines will not impair the health, safety, general welfare, design, appearance, and character of the subdivision, and only where such overhead lines are brought to the perimeter of the subdivision. This Section shall not be construed to prohibit the construction above ground of surface equipment associated with an underground distribution system, such as, but not limited to, surface mounted transformers, power terminal pedestals, meters and meter boxes, concealed wires, street lights, and street light poles.

All facilities, including those for gas distribution, shall be installed in accordance with standards and specifications of the Michigan Public Service Commission. The layout of such facilities shall be submitted to the utility companies having jurisdiction in the area for their review before filing for final approval of the preliminary plat. All said utilities placed in public rights-of-way shall not conflict with other underground lines.

All underground public utility installations, including lines for street lighting systems which traverse privately owned property, shall be protected by easements granted by the proprietor and approved by the public utility. Such easements shall be so located as to not interfere with the use of any lot or other part of the subdivision. The size of, and restrictions pertaining to, such easements shall be in accordance with the standards and specifications of the agency having jurisdiction over the utility line and the Land Division Act, and shall be indicated on the preliminary plat submitted for tentative approval.

Section 4.7 Reservation of Playground Areas

Any subdivision comprising twenty (20) lots or more, either as a single subdivision or as a group of adjacent subdivisions offered by a single proprietor, shall provide a children's playground, pedestrian trail system or combination thereof which shall contain an area equal in size to fifteen hundred (1,500) square feet for each lot in the subdivision.

Said playground, pedestrian trail system or combination thereof shall be well drained, graded, seeded or sodded, safe from hazard, accessible to all lots, and the location shall be determined prior to tentative approval of the preliminary plat by the Planning Commission and Township Board. Reservation of playground, pedestrian trail system or combination thereof shall be achieved through deed restrictions or dedication to a subdivision homeowner's association.

Section 4.8 Preservation of Buffer Strips and Natural Features

The Planning Commission shall, wherever possible, require the preservation of all natural features which add value to the proposed subdivision and the community at large, such as large trees or groves of trees, water courses, vistas, historic spots and features, wildlife habitats and ecological areas, and similar irreplaceable assets. The location, nature, and extent of such features should be identified in the "preliminary plat – tentative approval" stages and shall be made a part of the subsequent plats to the greatest possible extent. The preservation and/or inclusion of such features may be made a condition of tentative approval of the preliminary plat.

Should a proposed subdivision border or contain an existing or proposed major thoroughfare, buffer strips parallel and adjacent to the road shall be provided as required by the Planning Commission may require landscaping, marginal access streets, reverse frontage, or other such treatment as may be necessary to adequately separate buffer strips and natural features shall be achieved through deed restrictions or dedication to a subdivision homeowner's association.

Section 4.9 Uninhabitable Areas

Lands deemed uninhabitable in their natural state by the Planning Commission shall not be platted for residential use, or for any other use that might create a danger to health, safety, or property, within or outside the subdivision. Such lands shall be set aside for recreational use or

shall be retained in their natural state as open space. However, such lands may be platted and developed if the features making the lands uninhabitable can reasonably be removed without destruction of adjacent or nearby property or desirable natural features of the land, and if approval is obtained from all plat approval authorities required to review plats under the Land Division Act and this Ordinance. Any areas of land within the proposed subdivision which lie either wholly or partly within the flood plain of a river, stream, creek, or lake, or any other areas which are subject to flooding by storm water shall be clearly shown on the preliminary plat and the final plat.

Section 4.10 Performance Guarantees

In the event the improvements as required by the Township Board shall not have been completed by the time the plat is ready for final approval, the developer shall enter into an agreement with the Township to construct or complete such improvements within a reasonable time and, in such case, shall deposit with the Township a certified check, cash, or a surety bond for the faithful performance and completion of the required improvements. Such bond, cash or check shall be in such an amount as the Township Engineer shall estimate to be a sufficiently adequate sum to cover the cost to construct or to complete construction of the required improvements. The Township shall rebate to the developer, as the work progresses, amounts of such deposits equal to the ratio of work satisfactorily completed to the entire project. Such rebate shall be based on report and recommendation of the Township Engineer.

Section 4.11 As-built Drawings

The proprietor shall submit to the Township Engineer or Building Department one reproducible copy of "as-built" engineering drawings of each of the required improvements that has been completed prior to the final plat approval. Each set of drawings shall be certified by the proprietor's engineer. Similar drawings shall also be submitted after final plat approval of improvements installed under bond. This provision does not apply to improvements made under the jurisdiction of other public agencies.

ARTICLE 5

VARIANCES

Section 5.0. General

The Township Board, upon the recommendation of the Planning Commission, may authorize a variance from the provisions of this Ordinance on a finding that undue hardship may result from strict compliance. Variances shall apply only to improvements, standards and specifications set forth in the Ordinance but not to procedures required herein.

Section 5.1. Findings Required

No variance shall be granted unless the following findings are made upon examination of the request:

1. That there are such special circumstances or conditions affecting said property that strict application of the provisions of this Ordinance would clearly be impractical or unreasonable.
2. That the conditions requiring the variance were not created by the proprietor.
3. That the variance is necessary for the preservation and enjoyment of a substantial property right of the proprietor, and is not primarily intended for his economic gain.
4. That the granting of the variance will not be detrimental to the public welfare or injurious to other property in the area in which said property is situated.
5. That such variance will not have the effect of nullifying the intent and purpose of this Ordinance, the adopted Master Plan, and the Zoning Ordinance.
6. That such variance will not violate the provisions of the Land Division Act.

Section 5.2. Application for Variance

Application for any such variance shall be submitted in writing by the proprietor to the Township Board at the time the preliminary plat is filed for tentative approval by the Planning Commission. The petition shall state fully the grounds for the application and all the facts relied upon by the proprietor and shall be supplemented by maps, plans, or other data which may aid in the analysis of the condition of the request for variance.

ARTICLE 6

RIGHT OF AMEND

The Township of Hamburg specifically reserves the right to amend this Ordinance in whole or in part, at one or more times hereafter, or to repeal the same.

ARTICLE 7

REPEALER

This section repeals Hamburg Township General Ordinance 24-B Subdivision Control Ordinance and all other ordinances and parts of ordinances in conflict with the provisions of this ordinance.

ARTICLE 8

SAVING CLAUSE

The prosecution of any complaint issued under the authority of said Hamburg Ordinance No. 24-B Subdivision Control Ordinance prior to its repeal is hereby saved and preserved.

ARTICLE 9

EFFECTIVE DATE

This Ordinance shall become effective thirty (30) days after the first publication in accordance with Act 191, of the Public Acts of 1939, as amended.

Introduced by _____, supported by _____, the adoption of the Subdivision Control Ordinance:

Ayes: Bitondo, Strang, Jezowski, Bater, Parrish, Hollenbeck, Winn

Nayes: None

Resolution Carried

Certification

I, _____, being the duly elected Clerk of the Township of Hamburg, County of Livingston and State of Michigan hereby certify that this Hamburg Township Ordinance No. 24-C to repeal and replace Hamburg Township Ordinance No. 24-B, was duly approved by the Township Board at their regular meeting of Tuesday, _____, and was published within 30 days after its adoption by printing the same in the Brighton Argus on _____.

Original signed by:

Hamburg Township Clerk

**HAMBURG TOWNSHIP
LIVINGSTON COUNTY,
MICHIGAN
NOTICE OF ADOPTION (General Ordinance 24-C)**

NOTICE is hereby given that the Township Board for Hamburg Township, Livingston County, Michigan adopted General Ordinance 24-C at a regular meeting held on December 24, 2019. A summary of the ordinance appears below:

General Ordinance 24-C is to carry out the provisions of the Land Division Act, Public Act 288 of 1967, as amended (formally known as the Subdivisions Control Act), and to regulate and control the subdivision of land within the Township of Hamburg, in order to promote the safety, public health and general welfare of the community.

Article 1: General Provisions

Section 1.0: Title. States that General Ordinance 24-C shall be known and cited as the Subdivision Control Ordinance.

Section 1.1: Purpose. States the intent and purpose for adoption of the ordinance.

Section 1.2 Legal Authorization. States the state acts that provide the Township with the authority to regulate subdivision plats.

Section 1.3 Application. States what type of projects this ordinance applies to.

Section 1.4 Conformance with the Zoning Ordinance. States that all plats reviewed under this ordinance shall conform to the zoning ordinance provisions.

Section 1.5 Fees. States that the Township Board shall establish fees, how the fees are established and what the fees are for.

Section 1.6 Violation. Establishes that violations to this ordinance are a Class C Municipal Civil Infraction and shall comply with the Township Civil Infraction Ordinance.

Section 1.7 Servability. This section provides that if any portion of the ordinance is declared invalid, such invalidity shall not affect any other portion of the ordinance and allow the Township Board to vary or modify the provisions of this ordinance if they determine extraordinary circumstances exist.

Article 2 Definitions

Section 2.0 to 2.28. Provides definitions of words used in this ordinance.

Article 3 Plat Procedures and Requirements

Section 3.1 Preliminary Plat-Tentative Approval. This section sets up filling, application, review and approval requirements, procedures and regulations for Preliminary Plat-Tentative Approval.

Section 3.2 Preliminary Plat-Final Approval. This section sets up filling, application, review and approval requirements, procedures and regulations for Preliminary Plat-Final Approval.

Section 3.3 Final Plan. This section sets up filling, application, review and approval requirements, procedures and regulations for Final Plat Approval.

Article 4 Design Standards for Subdivision Improvements

Section 4.0 General. States that these standards are minimum requirements and that variances to the standards are only granted as provided in Article 5.

Section 4.1 Street and Roads. States the design requirements for streets and roads within a project regulated by this ordinance.

Section 4.2 Lot Dimensions and Orientation. States the design requirements for lot dimensions and orientation within a project regulated by this ordinance.

Section 4.3 Pedestrianways and Sidewalks. States the design requirements for Pedestrianways and Sidewalks within a project regulated by this ordinance.

Section 4.4 Storm Drainage. States the design requirements for Storm Drainage within a project regulated by this ordinance.

Section 4.5 Sanitary Sewage Disposal and Water Supply Systems. States the design requirements for Sanitary Sewage Disposal and Water Supply Systems within a project regulated by this ordinance.

Section 4.6 Gas, Wire or Cable Utilities. States the design requirements for Gas, Wire or Cable Utilities within a project regulated by this ordinance.

Section 4.7 Reservation of Playground Areas. States the design requirements for Playground Areas within a project regulated by this ordinance.

Section 4.8 Preservation of Buffer Strips and Natural Features. States the design requirements for Buffer Strips within a project regulated by this ordinance.

Section 4.9 Uninhabitable Areas. States the design requirements for Uninhabitable Areas within a project regulated by this ordinance.

Section 4.10 Performance Guarantees. Allows for a developer to enter into an agreement with Township if the improvements to the site are not 100% completed when the final approval of the plat.

Section 4.11 As-built Drawing. Required that the proprietor submit “as-build” engineering drawing for each required improvement when that improvement has been completed and prior to final plat approval.

Article 5 Variances

Section 5.0 General. States that The Township Board, upon the recommendation of the Planning Commission, may authorize a variance from the provisions of this Ordinance on a finding that undue hardship may result from strict compliance. Variances shall apply only to improvements, standards and specifications set forth in the Ordinance but not to procedures required herein.

Section 5.1 Finding Required. States the finding required for the Township to grant a variance request.

Section 5.2 Application for Variance. States the application procedure to request a variance to this ordinance.

Article 6 Right to Amend. States that Hamburg Township reserves the right to amend this Ordinance.

Article 7 Repealer. Repeals Hamburg Township Ordinances 24-B and all other ordinances and parts of ordinances in conflict with the provisions of this ordinance.

Article 8 Saving Clause. This section saves and preserves the prosecution of any complaint issued under the authority of said Hamburg Ordinance 24-B prior to its repeal.

Article 9 Effective Date. This section establishes that the ordinance shall take effect 30 days following its publication.

A copy of the full text of the Ordinance may be inspected at the Township Offices (10405 Merrill Road, Whitmore Lake, MI 48189).

Hamburg Township Board Adoption: March 17, 2020

Publication date:

Effective date:



To: Township Board of Trustees
From: Amy Steffens
Date: March 17, 2020
Re: Repeal of Replace General Ordinances Number 28-E, Private Road ordinance

The township engineer has reviewed the Private Road ordinance standards and indicated that the ordinance meets the Livingston County Road Commission requirements and is acceptable as written.

Draft Ordinance 28-F revises 28-E per the following changes:

1. Section 1.5 Violations has been amended to comply with the Civil Infraction Ordinance 71A, making violations to this ordinance a Class C municipal civil infraction.
2. Section 2.2.(c) has been amended to change "Section 8.16 of the Hamburg Township Zoning Ordinance" to "Section 8.17" to match the renumbered zoning ordinance.
3. Section 2.4 has been changed to say "the proprietor shall submit one copy of the application..."
4. Article 3 Severability has been updated with standard wording.
5. Section 3.1 Repealer has been changed to Article 4 Repealer and updated.
6. Article 5 Right to Amend has been added with standard wording that allows the Township to amend the ordinance.
7. Section 3.3 Saving Clause has been changed to Article 6 Saving Clause and updated.
8. Section 3.4 Effective Date has been changed to Article 7 Effective Date and updated.
9. Certification section updated with name and correct ordinance number.
10. Attachment A Hamburg Township Minimum Road Standards has been updated to the current date and ordinance number.

The draft ordinance 28-F is attached to this report. Exhibit A is the redlined draft ordinance with markups and Exhibit B is a clean copy of the draft ordinance.

RECOMMENDATION:

The Township Board should review the proposed General Ordinance amendments and either make revisions to the suggested wording, or approve or deny the draft ordinance amendments. If the Township Board wishes to approve the General Ordinance amendments, they should approve the General Ordinance through a motion on a roll call vote. If the amendment is approved staff will submit the summary notices for publication and 30 days after the notice in the paper the ordinance will be effective.

EXHIBITS

Attachment A- Draft General Ordinance 28-F redlined
Attachment B- Draft General Ordinance 28-F clean copy

Hamburg Township
Ordinance 28 - ~~FE~~
Private Road Ordinance

Style Definition: Heading 2: Font: 12 pt, Not Bold, No underline, Centered

An Ordinance to establish the standards for private roads within Hamburg Township and to repeal conflicting Ordinances.

ARTICLE 1
GENERAL PROVISIONS

Section 1.0. Title

This Ordinance shall be known and be cited as the Hamburg Township Private Road Ordinance.

Section 1.1. Purpose

The purpose of this Ordinance is to regulate the construction, maintenance and use of private roads in the Township of Hamburg, and to promote and protect the public health, safety, and welfare.

Section 1.2. Legal Authorization

This Ordinance is enacted pursuant to the statutory authority granted by Section 41.181 of the Michigan Compiled Laws.

Section 1.3. Applicability

The provisions of this Ordinance shall apply to the creation, construction, extension, and/or the alteration of private roads.

Section 1.4. Fees

The Township Board shall establish by resolution a schedule of fees to be charged to proprietors with respect to the administration, review and inspection of private roads. Proprietors making application for the creation, construction, extension and/or the alteration of private roads shall be required to post either a performance or cash bond in an amount deemed appropriate by the Township Engineer to be sufficient for completion of the road, said bond to be discharged upon final approval of the private road and payment of all fees.

Section 1.5. Violations

~~Failure to comply with the provisions of this Ordinance shall constitute a misdemeanor. Any person, whether such person be a proprietor or an agent of a proprietor, who violates this Ordinance or fails to comply with any of its provisions shall, upon conviction thereof, be fined not more than Five Hundred Dollars (\$500) or imprisoned for not more than thirty (30) days, or both. Each day such violation continues shall be considered a separate offense.~~

Any person who shall violate any of the terms of this Ordinance shall be responsible for a Municipal Civil Infraction.

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For purposes of assessing fines and penalties only, a violation under this section shall be classified as a Class C Municipal Civil Infraction.

The fines and penalties in Section 6 entitled “Sanctions for Violations” as set forth in Hamburg Township Civil Infraction Ordinance are incorporated herein by reference.

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Section 1.6. Definitions

1. Private Road: A privately owned and maintained road allowing access to more than one parcel.
2. Private Driveway: Any piece of privately owned and maintained property, which is used for vehicular traffic servicing up to two parcels.
3. Proprietors: Those constructing or desiring to construct a private road and all those property owners whose property is being or is intended to be served by a private road.

ARTICLE 2

PROCEDURES AND REQUIREMENTS

Section 2.0. Filing

A proprietor shall submit an application for a private road permit with the Zoning Administrator. Accompanying the application shall be four (4) copies of a road plan containing the information required under Section 2.1 hereof.

Section 2.1. Required Information

The application shall be accompanied by four (4) copies of a road plan prepared by a Registered Land Surveyor or Registered Engineer drawn at a scale of not greater than 200 feet to the inch. The following information shall be contained in the road plan:

- 2.1.1. A legal description and survey of the lots or parcels and the names and addresses of the lot or parcel owners to be served by the private road.
- 2.1.2. A legal description of the road easement and related utility and drainage easements.
- 2.1.3. Plans, profile drawings, and cross sections of the proposed private road easements showing all materials, grades, dimensions, and bearings in compliance with the standards set forth in Section 2.2.

2.1.4. Existing topography at two (2) foot contour intervals, soils, and drainage characteristics of the subject site.

2.1.5. Location of existing buildings on the lots or parcels being served or intended to be served by the private road as well as any existing building or structures in or adjacent to any proposed easement.

Section 2.2. Standards

2.2(A) The design and construction of all private roads shall comply with the most currently published American Society of Highway Traffic Officials (ASHTO) standards for the criteria applicable to the private road, subject to the approval of the Township Engineer (see attachment A). If the private road provides direct access to a county road, approval of the road connection placement and design must be approved by the Livingston County Road Commission prior to Township Approval.

2.2(B) Notwithstanding any other provisions of the Ordinance, private roads in subdivisions platted prior to the enactment of this Ordinance, and private roads or easements which are contained in land divisions approved by the Township prior to the enactment of this Ordinance, shall continue to meet the specifications approved at the time of application. Upon expansion, reconstruction, or major alteration of the existing private road, new construction shall comply with the most currently published American Society of Highway Traffic Officials (ASHTO) standards for the criteria applicable to the private road. The Township Engineer shall determine if this provision is met.

2.2(C) Section 8.1~~6~~7 of the Hamburg Township Zoning Ordinance shall apply to all private roads in the Township.

2.2(D) The location of all newly created private roads and placement of required easements shall be consistent with approvals granted according to the site plan review requirements of Article 4.0 of the Township Zoning Ordinance.

Section 2.3. Private Driveways

Private Driveways may serve up to two (2) parcels and shall not be considered a private road. If two (2) lots are to be served by one (1) private driveway, both lots must have the required frontage on an improved public or private road. Approval of the approach to a public road is required from the Livingston County Road Commission. If at any time more than two (2) parcels are to have access using the existing private driveway, it shall be brought into compliance with the standards contained in this Ordinance.

Section 2.4. Review and Inspection

The ~~Zoning Administrator~~proprietor shall submit one (1) copy of the application and road plans to the Livingston County Road Commission for approval off any approaches to public road and two (2) copies to the designated Township Engineer for review.

2.4.1 During construction of the private road, the petitioner must perform the following testing and inspections:

2.4.1(A) Underground Utilities

- I. The petitioner's engineer shall have a representative on site, as necessary, during the installation of the underground utilities (culvert and sewer) to observe the underground utility installation and verify the use of proper construction methods with the exception of those utilities to be owned and operated by the Township. The results of these inspections and observations should be documented in the petitioner's engineer's daily reports.
- II. A gradation analysis (or mechanical analysis) shall be performed on the granular backfill material to confirm that the material meets the gradation requirements called for in the approval construction plans. Gradation analysis tests shall be performed at a frequency of not less than once per 1,000 cubic yards or once per project, whichever is more.
- III. When the utility pipe is under or within the influence of the roadbed, compaction (or density) testing shall be performed once every 250 feet per lift of trench backfill or once per lift on pipe runs less than 250 feet with more if failing tests warrant.
- IV. The backfill of catch basins, inlets, manholes, valve boxes, etc. within the influence of the roadbed shall be placed in accordance with the requirements for structural backfill as called for in the current Michigan Department of Transportation Standard Specifications for Construction.

2.4.1(B) Subgrade

- I. The proposed location of the road shall be identified by placement of surveying stakes. The stakes shall indicate the horizontal location and grade of the proposed road.
- II. The road subgrade shall be inspected by the petitioner's engineer to verify that the road is in the correct location and the subgrade is trimmed to the proper grade and slope. The subgrade inspection should also confirm that the subgrade is free from rutting and soft spots before placing any subbase material. The inspection shall consist of "proof-rolling" the subgrade. The results of this inspection shall be documented in the petitioner's engineer's daily reports.

2.4.1(C) Subbase

- I. A gradation analysis shall be performed on the subbase material to confirm that the material meets the gradation requirements for the approved subbase material. Gradation analysis tests shall be performed at a frequency of not less than once every 1,500 cubic yards of subbase material.
- II. Compaction (or density) testing of the subbase material shall be performed at a frequency of not less than once for every 200 feet of roadway with more if failing tests warrant.
- III. The grading and slope of the subbase material shall be checked and documented with a frequency of not less than every 100 feet of roadway.

- IV. The bottom grade and width of the roadside ditches (if provided) shall be checked and documented with a frequency of not less than 100 feet of ditch. The locations and elevations of the culvert inverts shall be documented.
- V. A visual inspection of the subbase material shall be performed and documented to verify that the subbase is free from rutting and soft spots before placing any base material.

2.4.1(D) Aggregate Base

- I. A gradation analysis shall be performed on the aggregate base material to confirm that the material meets the gradation requirements for the approved aggregate base material. Gradation analysis tests shall be performed at a frequency of not less than once every 1,500 cubic yards of aggregate base material.
- II. Compaction (or density) testing of the aggregate base material shall be performed at a frequency of not less than once for every 100 feet of roadway with more if failing tests warrant.
- III. The grading and slope of the aggregate base material shall be checked and documented with a frequency of not less than every 100 feet of roadway.

2.4.1(E) Bituminous Pavement

- I. The petitioner's engineer shall issue a written 'permit to place' for each section of aggregate base material suitable to place the bituminous pavement material. The 'permit to place' shall verify that the bituminous pavement will not be placed on any frozen aggregate base material or frost when cold weather is a concern. The petitioner's engineers shall have a representative on site at all times during the bituminous paving operations.
- II. The petitioner's engineer shall verify and document that the bituminous mix design meets the approved construction plan requirements.
- III. For roads with concrete curb and gutters, the petitioner's engineer shall verify and document that the concrete mix design for the curb and gutters meets the approved construction plan requirements. Tests for slump, air entertainment, temperature (for both concrete and ambient air) and compressive strength (for 7-day and 28-day) shall be performed at a rate of one set of tests for 1,500 feet of curb and gutter or one set of tests per day for each day that the curb and gutter is installed.
- IV. Extraction tests shall be performed on the bituminous material at a minimum frequency of once every 1,000 tons of bituminous material placed but not less than once a day or once per mixture type. The extraction test may be replaced by visual inspection and submittal of plant extraction test results for small projects with less than 400 tons of bituminous material per project.
- V. Density tests shall be performed on each lift of bituminous pavement. The control density for each bituminous mixture shall be determined.

- VI. The ambient air temperature shall be documented for each day that bituminous material is placed. The temperature of the bituminous mixture shall be documented for each truckload.
- VII. The final grade of the road centerline and the concrete curb and gutters or edges of pavement (in roads with gravel shoulders) shall be documented at a frequency of not less than once every 100 feet of roadway. The transverse slope of the final pavement shall be documented every 100 feet of roadway.

2.4.2 At the completion of the private road construction (including final restoration and sign installation), the following items shall be submitted to the Township for final review:

2.4.2(A) One set of reproducible "Conforming to Construction Records" (or As-Built) drawings of the completed private road. The sewer locations, materials, sizes, invert elevations and slopes shall be indicated. This manhole and catch basins or inlets should be shown. The grades and slopes of the road shall be shown. Each set of "Conforming to Construction Records" drawings shall have the original stamp and signature of the petitioner's registered professional engineer.

2.4.2(B) Copies of all the inspection reports (including the daily reports), the test results, the engineer's 'permit to place' the bituminous pavement material, and the engineer's certifications of the mix designs and the suitability of the road subgrade and subbase material shall be submitted.

2.4.2(C) The petitioner's engineer shall submit written certification with their original stamp and signature stating that the private road construction is complete and that the construction activities, testing and documentation were carried out under their supervision and that the private road was properly constructed in substantial compliance with the approved construction plans and the Township private road requirements. The petitioner's engineer shall identify any deviations in the road construction from the approval construction plans and provide a justification for such deviations. The justifications shall be made using reasonable engineering judgements. A written certification from a Registered Land Surveyor or a Registered Professional Engineer shall be submitted stating that the private road was located in accordance with the approved construction plans.

2.4.3 The Township Engineer shall review the information and perform a final site visit to visually confirm the documentation submitted by the petitioner's engineer for the Township's final acknowledgement that the private road construction was completed in substantial compliance with the Township Ordinance requirements. The Township Engineer shall make a recommendation to the Township on whether all the required documentation has been submitted and the private road construction has been properly completed. The petitioner's engineer shall be informed of any review comments preventing the final acknowledgement of the private road.

2.4.4 If the petitioner has submitted a performance guarantee, the Township shall release or return the performance guarantee to the petitioner once the Township acknowledges that all the documentation has been submitted and that the construction of the private road was properly completed in substantial compliance with the Township Ordinance requirements.

Section 2.5. Street Names and Signs

Private roads shall be named by the proprietors subject to the review and approval of the Township Planning Commission and the Livingston County Road Commission. The proprietors shall be responsible for the erection and maintenance of the street signs and all traffic signs required by the Township, the County, and the State.

Section 2.6. Disclosure

The legal description of the private road and related utility and drainage easements shall be recorded with the Livingston County Register of Deeds at the time of land division. The seller and/or proprietor shall give written notice to each new owner of record served by the private road that initial construction of the road is the responsibility of the seller, but that maintenance and future improvements of private roads are the sole responsibility of all record owners served by the road. Said notice shall be attached to and recorded with each transmitting instrument of interest. In addition, each platted subdivision, subdivision of land into four (4) parcels or less, or condominium project shall provide a duly recorded maintenance agreement within its definition of easement, subdivision regulations, master deed, or bylaws which shall be subject to review and approval by the Township Attorney. At a minimum, the maintenance agreement shall contain the following:

2.6(1) A method of apportioning and collecting all maintenance costs.

2.6(2) A statement holding the Township harmless as to liability for design and maintenance of the private road.

2.6(3) An acknowledgement that it is the collective responsibility of the property owners benefiting from the private road to maintain the following: surface grading and resurfacing at regular intervals; snow and ice removal; repair of potholes; maintenance of road drainage systems; regular cutting of weeds and grass within the easement; and, replacement or construction of the roadway and all related improvements, such as road base, road surfaces, culverts, bridges, catch basins, drains, and traffic signs.

2.6(4) A statement that the obligation to maintain the private road and related easements shall be an obligation attached to the land parcels to be served by the private road, and shall be binding upon the owner(s) of such land and their heirs, successors, and assigns.

Section 2.7. Issuance of Land Use Permits

No land use permit shall be issued for any parcel until the private road, as defined in 1.6(1) has been constructed and approved in accordance with the standards established in this Ordinance.

Section 2.8. Issuance of Private Road Certificate of Compliance

A Private Road Certificate of Compliance shall be used by the Zoning Administrator upon receiving certification from the designated Township Engineer that construction has been completed in conformance with the standards set forth in Section 2.2 hereof.

Section 2.9. Appeals

Any decision regarding the administration or standards of this Ordinance may be appealed to the Township Board upon written request of the proprietor made within sixty (60) days of said decisions. Prior to consideration of such appeal, the Township Board shall request the written opinion of the Planning Commission, which may further request the opinion of the designated Township Engineer. In hearing such appeals, the procedures, fees, and administrative process shall be the same as those established for appeals of General Ordinance decisions.

2.9.1 Variances may only be granted by the Township Board on the finding that both of the following conditions have been met:

2.9.1(A) That there are such special circumstances or conditions affecting said property that strict application of the provisions of this Ordinance would clearly be impractical or unreasonable.

2.9.1.2 That the variance or exemption is necessary for the preservation and enjoyment of a substantial property right of a proprietor, and is not intended primarily for that economic gain of any proprietor.

2.9.2.2 In order to grant a variance, the Township Board shall also find:

2.9.2.2(A) That the granting of the variance will not be unduly detrimental to the public welfare or injurious to other property in the area in which said property is situated.

2.9.2.2(B) That such variance or exemption will not have the effect of nullifying the intent and purpose of this Ordinance, the adopted Master Plan or the Township Zoning Ordinance.

2.9.3 In the event or exemption is granted under this Section, said variance or exemption shall be recorded with the Livingston County Register of Deeds by the seller and/or proprietor.

ARTICLE 3

SEVERABILITY ~~AND EFFECTIVE DATE~~

Should any article, section, subsection, paragraph, subparagraph, sentence, or clause of this Ordinance be declared by a court of competent jurisdiction to be unconstitutional or invalid, that holding shall not affect the validity of this Ordinance in whole or part, other than that part declared to be unconstitutional or invalid.

Where extraordinary circumstances exist or there are practical difficulties in complying with a certain provision or requirement of this Ordinance, the Township Board may at their discretion vary or modify any of the provisions or requirements herein contained at a particular instance so that the spirit of the Ordinance shall be observed and an adequate development be encouraged.

ARTICLE 4

Repealer

Section 3.1. — Repealer

Ordinance No. 28-~~DE~~, known as the Private Road Ordinance, adopted by the Hamburg Township Board on ~~November 11, 1997~~October 27, 1998, is hereby repealed.

ARTICLE 5

Right of Amend

The Township of Hamburg specifically reserve the right to amend this Ordinance in whole or in part, at one or more times hereafter, or to repeal the same.

Section 3.2. — Severability

~~The provisions of this Ordinance are severable and any decision by any Court of competent jurisdiction that any provision or clause hereof is invalid shall not affect the validity of the remainder of this Ordinance.~~

Section 3.3. — ARTICLE 6

Saving Clause

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The prosecution of any complaint issued under the authority of said Private Road Ordinance, Ordinance 28-A₇ adopted June 26, 1984, or Ordinance 28-B₇ adopted February 14, 1989, or Ordinance 28-C₇ adopted October 12, 1993, or Ordinance 28-D₇ adopted November 11, 1997, or Ordinance 28-E adopted October 27, 1998, prior to repeals is hereby saved and preserved.

Section 3.4 — ARTICLE 7

Effective Date

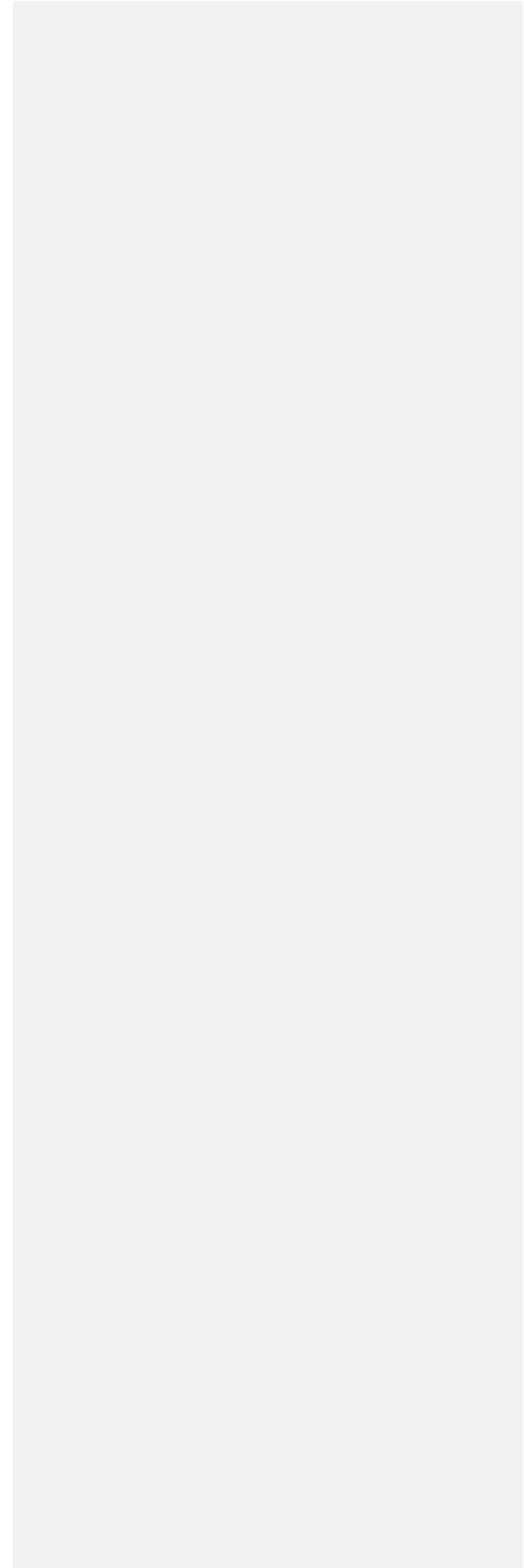
~~This Ordinance was adopted by the Township Board at a regular meeting thereof held on the 27th day of October 1998, and shall become effective thirty (30) days after publication. Pursuant to MCL 41.184 sect 4(1) this Ordinance will take effect 30 days after its publication.~~

Certification

I, _____, Mike Dolan, being the duly elected Clerk of the Township of Hamburg, County of Livingston and State of Michigan hereby certify that this Hamburg Township Ordinance No. 28-~~FE~~ to amend Hamburg Township Ordinance No. 28-~~ED~~, was duly approved by the Township Board at their regular meeting of Tuesday, _____, and was published within 30 days after its adoption by printing the same in the Brighton Argus on _____.

Original signed by:

Hamburg Township Clerk



ATTACHMENT A

HAMBURG TOWNSHIP MINIMUM PRIVATE ROAD STANDARDS

Date: ~~October 1998~~ April, 2020

The following minimum standard shall apply to Private Roads, according to Ordinance Number 28-~~FE~~ of the Hamburg Township Code of Ordinances. These standards may be modified from time to time by the Township Board.

DESCRIPTION	MINIMUM STANDARD
1. Average Daily Traffic Volumes (ADT)	9.5 vehicles per day per single family detached dwelling; 8 vehicles per day per each attached dwelling unit.
2. Design Speed	20 MPH
3. Stopping Sight Distance	125 feet
4. Vertical Alignment	0.5% minimum 10.0% maximum
5. Horizontal Alignment	100-ft. minimum radius
6. Right-of-Way Width	With ditches: 60 feet, 100-ft. diameter at cul-de-sacs; With curb & gutter: 50 feet, 100-ft. diameter at cul-de-sacs
7. Road Width (width of pavement, edge to edge)	ADT less than 250: 18 feet ADT over 400: 20 feet
8. Shoulder Width (graded slope)	Shoulders not required with curb & gutter; otherwise: ADT less than 400: 2 feet (each side) ADT over 400: 4 feet (each side)
9. Curb and Gutter	Concrete curb and gutter permitted
10. Cul-de-Sacs	66-foot diameter minimum -to edge of pavement (not including shoulders or curb & gutter) - islands permitted when road is paved -islands must include curb & gutter
11. Intersection Offsets	Private road intersections shall be directly aligned with other streets or roads, or offset at least 250 feet from a public road or offset at least 125 feet from a private road (measurement from centerline to centerline)
12. Road Surface	Less than 5 houses: 7 inches compacted thickness of 21AA, 22A or 23A gravel. Five (5) or more houses: 3 inches of bituminous surface, placed in two courses over a 7-inch gravel base or 6 inches of concrete.
13. Sub-Base	Six (6) inches of compacted Class II sand. On-site material may be used in laboratory analysis indicates that it meets specification requirements. Sub-base not required for concrete pavement.
14. Drainage	Ditches: 2'-0" minimum depth from centerline, IV; 3H front and back slopes; 2' bottom width. Culverts/Storm Sewers: Pipe must comply with MDOT Standard Specifications. Provide minimum 2-foot of cover over pipe at road crossings. End sections must be

	provided at culvert ends.
15. Horizontal Clearance to Obstructions	All trees and other objects must be removed from the roadway to the back slope of the ditch 1' above the ditch bottom.
16. Erosion Control/Restoration	All areas disturbed by construction must be top soiled, seeded and mulched. Steep slopes may require sod or riprap. Temporary erosion control measures must be utilized.
17. Private Road Sign	Each private road shall be identified with a sign at each intersection. These signs shall be distinguishable from public street signs.
18. Traffic Control Devices	Private stop signs and street signs at entrance and interior intersections (comply with MMUTCD Manual). Provide a speed limit sign (5 MPH less than the design speed) following each intersection, located 100' to 200' from the intersection. Provide pedestrian crossing signs at all trail/walkway crossings.
LIVINGSTON COUNTY ROAD COMMISSION APPROVAL	If the private road intersects a County road, a permit for the approach must be obtained from the Livingston County Road Commission prior to Township review. A copy of the permit shall be attached with the application.



10405 Merrill Road * P.O. Box 157 * Hamburg, Michigan 48139 * 810-231-1000 * Fax 810-231-4295

PRIVATE ROAD CONSTRUCTION CERTIFICATION

Project Name

I, _____, acting as the _____,
Print or Type Name Title or Office

For the _____, certify that the facilities installed were
Project

constructed in substantial compliance with the approved plans and specifications. These facilities have passed inspection and testing requirements as specified in the Township Private Road Ordinance. Any substantial changes/deviations from the approved plans are noted as follows: _____

(List here or attach separate list)

In addition, I, _____, certify that the road has been
Print or Type Name

constructed on the location shown on the approved plans. Further, as-built drawings of the project have been prepared and submitted to the Township.

Signature

Date

ENCLOSURES

_____ Daily Inspection Reports

_____ Material Testing Reports by _____
Name of Firm

Other _____

**Hamburg Township
Ordinance 28 - F
Private Road Ordinance**

An Ordinance to establish the standards for private roads within Hamburg Township and to repeal conflicting Ordinances.

ARTICLE 1

GENERAL PROVISIONS

Section 1.0. Title

This Ordinance shall be known and be cited as the Hamburg Township Private Road Ordinance.

Section 1.1. Purpose

The purpose of this Ordinance is to regulate the construction, maintenance and use of private roads in the Township of Hamburg, and to promote and protect the public health, safety, and welfare.

Section 1.2. Legal Authorization

This Ordinance is enacted pursuant to the statutory authority granted by Section 41.181 of the Michigan Compiled Laws.

Section 1.3. Applicability

The provisions of this Ordinance shall apply to the creation, construction, extension, and/or the alteration of private roads.

Section 1.4. Fees

The Township Board shall establish by resolution a schedule of fees to be charged to proprietors with respect to the administration, review and inspection of private roads. Proprietors making application for the creation, construction, extension and/or the alteration of private roads shall be required to post either a performance or cash bond in an amount deemed appropriate by the Township Engineer to be sufficient for completion of the road, said bond to be discharged upon final approval of the private road and payment of all fees.

Section 1.5. Violations

Any person who shall violate any of the terms of this Ordinance shall be responsible for a Municipal Civil Infraction.

For purposes of assessing fines and penalties only, a violation under this section shall be classified as a Class C Municipal Civil Infraction.

The fines and penalties in Section 6 entitled “Sanctions for Violations” as set forth in Hamburg Township Civil Infraction Ordinance are incorporated herein by reference.

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2. Private Driveway: Any piece of privately owned and maintained property, which is used for vehicular traffic servicing up to two parcels.
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ARTICLE 2

PROCEDURES AND REQUIREMENTS

Section 2.0. Filing

A proprietor shall submit an application for a private road permit with the Zoning Administrator. Accompanying the application shall be four (4) copies of a road plan containing the information required under Section 2.1 hereof.

Section 2.1. Required Information

The application shall be accompanied by four (4) copies of a road plan prepared by a Registered Land Surveyor or Registered Engineer drawn at a scale of not greater than 200 feet to the inch. The following information shall be contained in the road plan:

- 2.1.1. A legal description and survey of the lots or parcels and the names and addresses of the lot or parcel owners to be served by the private road.
- 2.1.2. A legal description of the road easement and related utility and drainage easements.
- 2.1.3. Plans, profile drawings, and cross sections of the proposed private road easements showing all materials, grades, dimensions, and bearings in compliance with the standards set forth in Section 2.2.
- 2.1.4. Existing topography at two (2) foot contour intervals, soils, and drainage characteristics of the subject site.
- 2.1.5. Location of existing buildings on the lots or parcels being served or intended to be served by the private road as well as any existing building or structures in or adjacent to any proposed easement.

Section 2.2. Standards

2.2(A) The design and construction of all private roads shall comply with the most currently published American Society of Highway Traffic Officials (ASHTO) standards for the criteria applicable to the private road, subject to the approval of the Township Engineer (see attachment A). If the private road provides direct access to a county road, approval of the road connection placement and design must be approved by the Livingston County Road Commission prior to Township Approval.

2.2(B) Notwithstanding any other provisions of the Ordinance, private roads in subdivisions platted prior to the enactment of this Ordinance, and private roads or easements which are contained in land divisions approved by the Township prior to the enactment of this Ordinance, shall continue to meet the specifications approved at the time of application. Upon expansion, reconstruction, or major alteration of the existing private road, new construction shall comply with the most currently published American Society of Highway Traffic Officials (ASHTO) standards for the criteria applicable to the private road. The Township Engineer shall determine if this provision is met.

2.2(C) Section 8.17 of the Hamburg Township Zoning Ordinance shall apply to all private roads in the Township.

2.2(D) The location of all newly created private roads and placement of required easements shall be consistent with approvals granted according to the site plan review requirements of Article 4.0 of the Township Zoning Ordinance.

Section 2.3. Private Driveways

Private Driveways may serve up to two (2) parcels and shall not be considered a private road. If two (2) lots are to be served by one (1) private driveway, both lots must have the required frontage on an improved public or private road. Approval of the approach to a public road is required from the Livingston County Road Commission. If at any time more than two (2) parcels are to have access using the existing private driveway, it shall be brought into compliance with the standards contained in this Ordinance.

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The proprietor shall submit one (1) copy of the application and road plans to the Livingston County Road Commission for approval off any approaches to public road and two (2) copies to the designated Township Engineer for review.

2.4.1 During construction of the private road, the petitioner must perform the following testing and inspections:

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- I. The petitioner's engineer shall have a representative on site, as necessary, during the installation of the underground utilities (culvert and sewer) to observe the underground utility installation and verify the use of proper construction methods with the exception of those utilities to be owned and

operated by the Township. The results of these inspections and observations should be documented in the petitioner's engineer's daily reports.

- II. A gradation analysis (or mechanical analysis) shall be performed on the granular backfill material to confirm that the material meets the gradation requirements called for in the approval construction plans. Gradation analysis tests shall be performed at a frequency of not less than once per 1,000 cubic yards or once per project, whichever is more.
- III. When the utility pipe is under or within the influence of the roadbed, compaction (or density) testing shall be performed once every 250 feet per lift of trench backfill or once per lift on pipe runs less than 250 feet with more if failing tests warrant.
- IV. The backfill of catch basins, inlets, manholes, valve boxes, etc. within the influence of the roadbed shall be placed in accordance with the requirements for structural backfill as called for in the current Michigan Department of Transportation Standard Specifications for Construction.

2.4.1(B) Subgrade

- I. The proposed location of the road shall be identified by placement of surveying stakes. The stakes shall indicate the horizontal location and grade of the proposed road.
- II. The road subgrade shall be inspected by the petitioner's engineer to verify that the road is in the correct location and the subgrade is trimmed to the proper grade and slope. The subgrade inspection should also confirm that the subgrade is free from rutting and soft spots before placing any subbase material. The inspection shall consist of "proof-rolling" the subgrade. The results of this inspection shall be documented in the petitioner's engineer's daily reports.

2.4.1(C) Subbase

- I. A gradation analysis shall be performed on the subbase material to confirm that the material meets the gradation requirements for the approved subbase material. Gradation analysis tests shall be performed at a frequency of not less than once every 1,500 cubic yards of subbase material.
- II. Compaction (or density) testing of the subbase material shall be performed at a frequency of not less than once for every 200 feet of roadway with more if failing tests warrant.
- III. The grading and slope of the subbase material shall be checked and documented with a frequency of not less than every 100 feet of roadway.
- IV. The bottom grade and width of the roadside ditches (if provided) shall be checked and documented with a frequency of not less than 100 feet of ditch. The locations and elevations of the culvert inverts shall be documented.
- V. A visual inspection of the subbase material shall be performed and documented to verify that the subbase is free from rutting and soft spots before placing any base material.

2.4.1(D) Aggregate Base

- I. A gradation analysis shall be performed on the aggregate base material to confirm that the material meets the gradation requirements for the approved aggregate base material. Gradation analysis tests shall be performed at a frequency of not less than once every 1,500 cubic yards of aggregate base material.
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2.4.1(E) Bituminous Pavement

- I. The petitioner's engineer shall issue a written 'permit to place' for each section of aggregate base material suitable to place the bituminous pavement material. The 'permit to place' shall verify that the bituminous pavement will not be placed on any frozen aggregate base material or frost when cold weather is a concern. The petitioner's engineers shall have a representative on site at all times during the bituminous paving operations.
- II. The petitioner's engineer shall verify and document that the bituminous mix design meets the approved construction plan requirements.
- III. For roads with concrete curb and gutters, the petitioner's engineer shall verify and document that the concrete mix design for the curb and gutters meets the approved construction plan requirements. Tests for slump, air entertainment, temperature (for both concrete and ambient air) and compressive strength (for 7-day and 28-day) shall be performed at a rate of one set of tests for 1,500 feet of curb and gutter or one set of tests per day for each day that the curb and gutter is installed.
- IV. Extraction tests shall be performed on the bituminous material at a minimum frequency of once every 1,000 tons of bituminous material placed but not less than once a day or once per mixture type. The extraction test may be replaced by visual inspection and submittal of plant extraction test results for small projects with less than 400 tons of bituminous material per project.
- V. Density tests shall be performed on each lift of bituminous pavement. The control density for each bituminous mixture shall be determined.
- VI. The ambient air temperature shall be documented for each day that bituminous material is placed. The temperature of the bituminous mixture shall be documented for each truckload.
- VII. The final grade of the road centerline and the concrete curb and gutters or edges of pavement (in roads with gravel shoulders) shall be documented at a frequency

of not less than once every 100 feet of roadway. The transverse slope of the final pavement shall be documented every 100 feet of roadway.

2.4.2 At the completion of the private road construction (including final restoration and sign installation), the following items shall be submitted to the Township for final review:

2.4.2(A) One set of reproducible "Conforming to Construction Records" (or As-Built) drawings of the completed private road. The sewer locations, materials, sizes, invert elevations and slopes shall be indicated. This manhole and catch basins or inlets should be shown. The grades and slopes of the road shall be shown. Each set of "Conforming to Construction Records" drawings shall have the original stamp and signature of the petitioner's registered professional engineer.

2.4.2(B) Copies of all the inspection reports (including the daily reports), the test results, the engineer's 'permit to place' the bituminous pavement material, and the engineer's certifications of the mix designs and the suitability of the road subgrade and subbase material shall be submitted.

2.4.2(C) The petitioner's engineer shall submit written certification with their original stamp and signature stating that the private road construction is complete and that the construction activities, testing and documentation were carried out under their supervision and that the private road was properly constructed in substantial compliance with the approved construction plans and the Township private road requirements. The petitioner's engineer shall identify any deviations in the road construction from the approval construction plans and provide a justification for such deviations. The justifications shall be made using reasonable engineering judgements. A written certification from a Registered Land Surveyor or a Registered Professional Engineer shall be submitted stating that the private road was located in accordance with the approved construction plans.

2.4.3 The Township Engineer shall review the information and perform a final site visit to visually confirm the documentation submitted by the petitioner's engineer for the Township's final acknowledgement that the private road construction was completed in substantial compliance with the Township Ordinance requirements. The Township Engineer shall make a recommendation to the Township on whether all the required documentation has been submitted and the private road construction has been properly completed. The petitioner's engineer shall be informed of any review comments preventing the final acknowledgement of the private road.

2.4.4 If the petitioner has submitted a performance guarantee, the Township shall release or return the performance guarantee to the petitioner once the Township acknowledges that all the documentation has been submitted and that the construction of the private road was properly completed in substantial compliance with the Township Ordinance requirements.

Section 2.5. Street Names and Signs

Private roads shall be named by the proprietors subject to the review and approval of the Township Planning Commission and the Livingston County Road Commission. The proprietors

shall be responsible for the erection and maintenance of the street signs and all traffic signs required by the Township, the County, and the State.

Section 2.6. Disclosure

The legal description of the private road and related utility and drainage easements shall be recorded with the Livingston County Register of Deeds at the time of land division. The seller and/or proprietor shall give written notice to each new owner of record served by the private road that initial construction of the road is the responsibility of the seller, but that maintenance and future improvements of private roads are the sole responsibility of all record owners served by the road. Said notice shall be attached to and recorded with each transmitting instrument of interest. In addition, each platted subdivision, subdivision of land into four (4) parcels or less, or condominium project shall provide a duly recorded maintenance agreement within its definition of easement, subdivision regulations, master deed, or bylaws which shall be subject to review and approval by the Township Attorney. At a minimum, the maintenance agreement shall contain the following:

2.6(1) A method of apportioning and collecting all maintenance costs.

2.6(2) A statement holding the Township harmless as to liability for design and maintenance of the private road.

2.6(3) An acknowledgement that it is the collective responsibility of the property owners benefiting from the private road to maintain the following: surface grading and resurfacing at regular intervals; snow and ice removal; repair of potholes; maintenance of road drainage systems; regular cutting of weeds and grass within the easement; and, replacement or construction of the roadway and all related improvements, such as road base, road surfaces, culverts, bridges, catch basins, drains, and traffic signs.

2.6(4) A statement that the obligation to maintain the private road and related easements shall be an obligation attached to the land parcels to be served by the private road, and shall be binding upon the owner(s) of such land and their heirs, successors, and assigns.

Section 2.7. Issuance of Land Use Permits

No land use permit shall be issued for any parcel until the private road, as defined in 1.6(1) has been constructed and approved in accordance with the standards established in this Ordinance.

Section 2.8. Issuance of Private Road Certificate of Compliance

A Private Road Certificate of Compliance shall be used by the Zoning Administrator upon receiving certification from the designated Township Engineer that construction has been completed in conformance with the standards set forth in Section 2.2 hereof.

Section 2.9. Appeals

Any decision regarding the administration or standards of this Ordinance may be appealed to the Township Board upon written request of the proprietor made within sixty (60) days of said decisions. Prior to consideration of such appeal, the Township Board shall request the written opinion of the Planning Commission, which may further request the opinion of the designated Township Engineer. In hearing such appeals, the procedures, fees, and administrative process shall be the same as those established for appeals of General Ordinance decisions.

2.9.1 Variances may only be granted by the Township Board on the finding that both of the following conditions have been met:

2.9.1(A) That there are such special circumstances or conditions affecting said property that strict application of the provisions of this Ordinance would clearly be impractical or unreasonable.

2.9.1.2 That the variance or exemption is necessary for the preservation and enjoyment of a substantial property right of a proprietor, and is not intended primarily for that economic gain of any proprietor.

2.9.2.2 In order to grant a variance, the Township Board shall also find:

2.9.2.2(A) That the granting of the variance will not be unduly detrimental to the public welfare or injurious to other property in the area in which said property is situated.

2.9.2.2(B) That such variance or exemption will not have the effect of nullifying the intent and purpose of this Ordinance, the adopted Master Plan or the Township Zoning Ordinance.

2.9.3 In the event or exemption is granted under this Section, said variance or exemption shall be recorded with the Livingston County Register of Deeds by the seller and/or proprietor.

ARTICLE 3

SEVERABILITY

Should any article, section, subsection, paragraph, subparagraph, sentence, or clause of this Ordinance be declared by a court of competent jurisdiction to be unconstitutional or invalid, that holding shall not affect the validity of this Ordinance in whole or part, other than that part declared to be unconstitutional or invalid.

Where extraordinary circumstances exist or there are practical difficulties in complying with a certain provision or requirement of this Ordinance, the Township Board may at their discretion vary or modify any of the provisions or requirements herein contained at a particular instance so that the spirit of the Ordinance shall be observed and an adequate development be encouraged.

ARTICLE 4

Repealer

Ordinance No. 28-E, known as the Private Road Ordinance, adopted by the Hamburg Township Board on October 27, 1998 is hereby repealed.

ARTICLE 5

Right of Amend

The Township of Hamburg specifically reserve the right to amend this Ordinance in whole or in part, at one or more times hereafter, or to repeal the same.

ARTICLE 6

Saving Clause

The prosecution of any complaint issued under the authority of said Private Road Ordinance, Ordinance 28-A adopted June 26, 1984, or Ordinance 28-B adopted February 14, 1989, or Ordinance 28-C adopted October 12, 1993, or Ordinance 28-D adopted November 11, 1997, or Ordinance 28-E adopted October 27, 1998, prior to repeals is hereby saved and preserved.

ARTICLE 7

Effective Date

Pursuant to MCL 41.184 sect 4(1) this Ordinance will take effect 30 days after its publication.

Certification

I, Mike Dolan, being the duly elected Clerk of the Township of Hamburg, County of Livingston and State of Michigan hereby certify that this Hamburg Township Ordinance No. 28-F to amend Hamburg Township Ordinance No. 28-E, was duly approved by the Township Board at their regular meeting of Tuesday, _____, and was published within 30 days after its adoption by printing the same in the Brighton Argus on _____.

Original signed by:

Hamburg Township Clerk

ATTACHMENT A

HAMBURG TOWNSHIP MINIMUM PRIVATE ROAD STANDARDS

Date: April, 2020

The following minimum standard shall apply to Private Roads, according to Ordinance Number 28-F of the Hamburg Township Code of Ordinances. These standards may be modified from time to time by the Township Board.

DESCRIPTON	MINIMUM STANDARD
1. Average Daily Traffic Volumes (ADT)	9.5 vehicles per day per single family detached dwelling; 8 vehicles per day per each attached dwelling unit.
2. Design Speed	20 MPH
3. Stopping Sight Distance	125 feet
4. Vertical Alignment	0.5% minimum 10.0% maximum
5. Horizontal Alignment	100-ft. minimum radius
6. Right-of-Way Width	With ditches: 60 feet, 100-ft. diameter at cul-de-sacs; With curb & gutter: 50 feet, 100-ft. diameter at cul-de-sacs
7. Road Width (width of pavement, edge to edge)	ADT less than 250: 18 feet ADT over 400: 20 feet
8. Shoulder Width (graded slope)	Shoulders not required with curb & gutter; otherwise: ADT less than 400: 2 feet (each side) ADT over 400: 4 feet (each side)
9. Curb and Gutter	Concrete curb and gutter permitted
10. Cul-de-Sacs	66-foot diameter minimum -to edge of pavement (not including shoulders or curb & gutter) - islands permitted when road is paved -islands must include curb & gutter
11. Intersection Offsets	Private road intersections shall be directly aligned with other streets or roads, or offset at least 250 feet from a public road or offset at least 125 feet from a private road (measurement from centerline to centerline)
12. Road Surface	Less than 5 houses: 7 inches compacted thickness of 21AA, 22A or 23A gravel. Five (5) or more houses: 3 inches of bituminous surface, placed in two courses over a 7-inch gravel base or 6 inches of concrete.
13. Sub-Base	Six (6) inches of compacted Class II sand. On-site material may be used in laboratory analysis indicates that it meets specification requirements. Sub-base not required for concrete pavement.
14. Drainage	Ditches: 2'-0" minimum depth from centerline, IV; 3H front and back slopes; 2' bottom width. Culverts/Storm Sewers: Pipe must comply with MDOT Standard Specifications. Provide minimum 2-foot of cover over pipe at road crossings. End sections must be

	provided at culvert ends.
15. Horizontal Clearance to Obstructions	All trees and other objects must be removed from the roadway to the back slope of the ditch 1' above the ditch bottom.
16. Erosion Control/Restoration	All areas disturbed by construction must be top soiled, seeded and mulched. Steep slopes may require sod or riprap. Temporary erosion control measures must be utilized.
17. Private Road Sign	Each private road shall be identified with a sign at each intersection. These signs shall be distinguishable from public street signs.
18. Traffic Control Devices	Private stop signs and street signs at entrance and interior intersections (comply with MMUTCD Manual). Provide a speed limit sign (5 MPH less than the design speed) following each intersection, located 100' to 200' from the intersection. Provide pedestrian crossing signs at all trail/walkway crossings.
LIVINGSTON COUNTY ROAD COMMISSION APPROVAL	If the private road intersects a County road, a permit for the approach must be obtained from the Livingston County Road Commission prior to Township review. A copy of the permit shall be attached with the application.



10405 Merrill Road * P.O. Box 157 * Hamburg, Michigan 48139 * 810-231-1000 * Fax 810-231-4295

PRIVATE ROAD CONSTRUCTION CERTIFICATION

Project Name

I, _____, acting as the _____,
Print or Type Name Title or Office

For the _____, certify that the facilities installed were
Project

constructed in substantial compliance with the approved plans and specifications. These facilities have passed inspection and testing requirements as specified in the Township Private Road Ordinance. Any substantial changes/deviations from the approved plans are noted as follows: _____

(List here or attach separate list)

In addition, I, _____, certify that the road has been
Print or Type Name

constructed on the location shown on the approved plans. Further, as-built drawings of the project have been prepared and submitted to the Township.

Signature

Date

ENCLOSURES

_____ Daily Inspection Reports

_____ Material Testing Reports by _____
Name of Firm

Other _____



Hamburg Township Public Safety Administration

PO BOX 157 • HAMBURG, MICHIGAN 48139
PHONE: (810) 222-1171 • FAX: (810) 231-9401



RICHARD DUFFANY, DIRECTOR OF PUBLIC SAFETY/CHIEF OF POLICE
NICK MILLER, DEPUTY DIRECTOR OF PUBLIC SAFETY/FIRE CHIEF

RDUFFANY@HAMBURG.MI.US
NMILLER@HAMBURG.MI.US

TO: Hamburg Township Board
FROM: Chief Richard Duffany
DATE: March 12, 2020
RE: Agenda Item Topic: **Emergency Management Resolution**
General Ledger #: N/A
Number of Supporting Documents: 1
NEW/OLD BUSINESS: **XXX** New Business
_____ Old Business – Previous Agenda #:

On December 6, 2016 the Hamburg Township Board of Trustees adopted a document entitled *Emergency Management Resolution*. This document includes a Township Board Resolution electing to have Hamburg Township incorporated into the Livingston County Emergency Management Program, a Support Emergency Operations Plan, General Emergency Management Guidelines, Emergency Management Response Procedures and Emergency Action Guidelines.

A review of this document is required annually during the budget preparation process. I have reviewed the *Emergency Management Resolution* and, in addition to adoption date changes, there are only a couple minor amendments to it. These amendments include changing one of the alternate contact persons for the Clerk's Office (on page 19) and updating shelter information (beginning on page 39).

I have included a draft copy of the revised *Emergency Management Resolution* for your review and adoption.

Respectfully,

A handwritten signature in black ink, appearing to read "Richard Duffany".

Chief Richard Duffany
Director of Public Safety/Chief of Police

EMERGENCY MANAGEMENT RESOLUTION

**Support Emergency Operations Plan
General Emergency Management Guidelines
Emergency Management Response Procedures and
Emergency Action Guidelines**

Adopted Date: March 17, 2020

Effective Date: March 17, 2020

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Emergency Management Resolution

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TOWNSHIP OF HAMBURG – EMERGENCY MANAGEMENT RESOLUTION

WHEREAS, Hamburg Township has elected to be incorporated into the Livingston County Emergency Management Program; and

WHEREAS, by becoming part of the county emergency management program, Hamburg Township and Livingston County have certain responsibilities to each other; and

WHEREAS, this Support Emergency Operations Plan has been developed to identify the responsibilities between Hamburg Township and Livingston County in regards to pre-disaster emergency management activities and it also providing for Hamburg Township government agencies to respond to various types of emergencies or disasters that affect the community.

WHEREAS, this support plan is to be used in concurrence with the County Emergency Operations Plan as it is a supporting document; and

WHEREAS, the support plan will be maintained in accordance with the up-to-date standards of the Livingston County Emergency Operations Plan and review of this support plan shall be accomplished concurrently with the county plan,

NOW THEREFORE, BE IT RESOLVED, that Hamburg Township adopts and approves this Resolution to provide for the mitigation, preparedness, response and recovery from natural and human-made disasters within Hamburg Township by being part of the Livingston County emergency management program; to appoint the County Emergency Management Coordinator as the Hamburg Township Emergency Management Coordinator; to provide for a means for coordinating the resources of the municipality with those of the county; and to provide a means through which the township Board may exercise the authority and discharge the responsibilities vested in them by this resolution and Act No. 390 of the Public Acts of 1976, as amended; said Resolution is as follows:

A RESOLUTION to provide for the mitigation, preparedness, response and recovery from natural and human-made disasters within Hamburg Township by being part of the Livingston County Emergency Management Program; to appoint the County Emergency Management Coordinator as the Hamburg Township Emergency Management Coordinator; to provide for a means for coordinating the resources of the municipality with those of the county; and to provide a means through which the township board may exercise the authority and discharge the responsibilities vested in them by this resolution and Act No. 390 of the Public Acts of 1976, as amended.

Article 1 - Short Title

Section 101. This resolution shall be known as the “Emergency Management Resolution.”

Article 2 – Definitions

Section 201. For the purpose of this resolution, certain words used herein are defined as follows:

- (a) “Act” means the Michigan Emergency Management Act, Act No. 390 of the Public Acts of 1976, as amended.
- (b) “Disaster” means an occurrence or threat of widespread or severe damage, injury or loss of life or property resulting from a natural or human-made cause, including but not limited to, fire, flood, snowstorm, ice storm, tornado, windstorm, wave action, oil spill, water contamination, utility failure, hazardous peacetime radiological incident, major transportation accident, hazardous materials incident, epidemic, air contamination, blight, drought, infestation, explosion, or hostile military action or paramilitary action, or similar occurrences resulting from terrorist activities, riots, or civil disorders.
- (c) “Disaster relief force” means all agencies of county and municipal government, private and volunteer personnel, public officers and employees, and all other persons or groups of persons identified in the Livingston County Emergency Operations Plan as having duties to perform or those called into duty or working at the direction of a party identified in the plan to perform a specific disaster or emergency related task during a local state of emergency.
- (d) “District Coordinator” means the Michigan Department of State Police District Emergency Management Coordinator. The District Coordinator serves as liaison between local emergency management programs and the Michigan State Police, Emergency Management Division in all matters pertaining to the mitigation, preparedness, response and recovery of emergency and disaster situations.
- (e) “Emergency management coordinator” means the person appointed to coordinate all matters pertaining to emergency management within the municipality. The emergency management coordinator for Hamburg Township is the Livingston County emergency management coordinator.
- (f) “Emergency management program” means a program established to coordinate mitigation, preparedness, response and recovery activities for all emergency or disaster situations within a given geographic area made up of one or several political subdivisions. Such a program has an appointed emergency management coordinator and meets the program standards and requirements established by the Department of State Police, Emergency Management Division. Hamburg Township has elected to be part of the Livingston County emergency management program.
- (g) “Emergency operations plan” means the plan developed and maintained by county and political subdivisions included in the emergency management program area for the purpose of responding to all emergency or disaster situations by identifying and organizing the disaster relief force.
- (h) “Governor’s state of disaster” means an executive order or proclamation by the Governor that implements the disaster response and recovery aspects of the Michigan Emergency Management Plan and applicable local plans of the county or municipal programs affected.
- (i) “Governor’s state of emergency” means an executive order or proclamation by the Governor that implements the emergency response and recovery aspects of the Michigan Emergency Management Plan and applicable local plans of the county or municipal programs affected.
- (j) “Local state of emergency” means a declaration by the Township Supervisor pursuant to the act and this resolution which implements the response and recovery aspects of the Livingston County Emergency Operations Plan and authorizes certain actions as described in this resolution.

(k) “Vital records” means those records that contain information needed to continue the effective functioning of a government entity jurisdiction and for the protection of the rights and interests of persons under emergency conditions in the event of an emergency or disaster situation.

Article 3 - Emergency Management Coordinator; Appointment

Section 301. By the authority of this resolution the township supervisor hereby appoints the Livingston County Emergency Management Coordinator as the emergency management coordinator for Hamburg Township. In addition to acting for, and at the direction of, the County Administrator, the Emergency Management Coordinator will also act for, and at the direction of, the Township Supervisor.

Section 302. A line of succession for the Livingston County Emergency Management Coordinator has been established and is listed in the Hamburg Township Emergency Operations Plan.

Article 4 - Emergency Management Coordinator; Duties

Section 401. The Emergency Management Coordinator shall comply with standards and requirements established by the Department of State Police, Emergency Management Division, under the authority of the act, in accomplishing the following¹:

- (a) Direct and coordinate the development of the Livingston County Emergency Operations Plan, which shall be consistent in content with the Michigan Emergency Management Plan.
- (b) Specify departments or agencies which must provide an annex to the plan or otherwise cooperate in its development.
- (c) Identify departments and agencies to be included in the Emergency Operations Plan as disaster relief force.
- (d) Develop and maintain a county Resource Manual.
- (e) Coordinate the recruitment, appointment, and utilization of volunteer personnel.
- (f) Assure the emergency management program meets eligibility requirements for state and federal aid.
- (g) Coordinate and/or conduct training and exercise programs for the disaster relief force within the county and to test the adequacy of the Emergency Operations Plan.
- (h) Through public information programs, educate the population as to actions necessary for the protection of life and property in an emergency or disaster.
- (i) Assist in the development of mutual aid agreements.
- (j) Assist the Hamburg Township municipal liaison with the development of municipal standard operating procedures which are consistent with the county Emergency Operations Plan.

¹ Act 390, as amended, sec. 7a (4) gives the Emergency Management Division the authority to promulgate several standards and requirements.

- (k) Oversee the implementation of all functions necessary during an emergency or disaster in accordance with the Emergency Operations Plan.
- (l) Coordinate county emergency management activities with those municipalities included in the county emergency management program, other municipalities, the state, and adjacent counties.
- (m) Coordinate all preparedness activities, including maintaining primary and alternate Emergency Operations Centers.
- (n) Identify mitigation opportunities within the county and encourage departments/agencies

Article 5 - Emergency Management Liaison; Duties

Section 501. By the authority of this resolution the Township Supervisor has appointed a liaison, as defined in Section IV of the Support Emergency Operations Plan Introduction, for the purpose of assisting the county Emergency Management Coordinator in coordinating the emergency management activities within the municipality. The duties of the liaison are as follows:

- (a) Coordinate municipal emergency management activities with those of the county jurisdictions.
- (b) Assist the county Emergency Management Coordinator with the development of the county Emergency Operations Plan and the incorporation of municipal resources into the plan.
- (c) Identify municipal departments and agencies to be included in the Emergency Operations Plan as part of the disaster relief force.
- (d) Identify municipal resources and forward information to the county Emergency Management Coordinator for inclusion in the county Resource Manual.
- (e) Coordinate the recruitment, appointment, and utilization of volunteer resources.
- (f) Assist the county Emergency Management Coordinator with administering training programs.
- (g) Coordinate municipal participation in exercises conducted by the county.
- (h) Assist in the development of mutual aid agreements.
- (i) Assist in educating the population as to actions necessary for the protection of life and property in an emergency or disaster.
- (j) Encourage departments/agencies within the municipality to identify and implement procedures to mitigate the effects of potential disasters.
- (k) Assist in the assessment of the nature and scope of the emergency or disaster and collect damage assessment information and forward to the county.
- (l) Coordinate the vital records protection program.

- (m) Develop municipal standard operating procedures for disaster response which are consistent with the county Emergency Operations Plan.

Section 502. The Township Supervisor shall appoint a minimum of two persons as successors to the position of the municipal liaison. The line of succession shall be supplied to the county Emergency Management Coordinator: Primary liaison is the Director of Public Safety/Police Chief, first alternate is the Fire Chief, and Second Alternate is the Deputy Police Chief.

Article 6 – Township Supervisor: Powers; Duties

Section 601. On an annual basis, the Township Supervisor shall review the eligibility and performance of the Emergency Management Coordinator and provide a written recommendation to the Township in conjunction with the Budget approval process.

Section 602. The Township Supervisor shall, review the effectiveness of the Livingston County Emergency Operations Plan as the plan relates to the municipality every year. With the assistance of the municipal liaison, he/she shall make recommendations to the county Emergency Management Coordinator of any changes which may be needed. After this review and incorporation of necessary changes, the township supervisor shall certify the plan to be current and adequate for Hamburg Township.²

Section 603. When circumstances within the township indicate that the occurrence or threat of occurrence of widespread or severe damage, injury or loss of life or property from natural or human-made cause exists the Township Supervisor may declare a local state of emergency. Such a declaration shall be promptly filed with the Livingston County Emergency Management Office, who shall forward it to the Department of State Police, Emergency Management Division. This declaration shall not be continued or renewed for a period in excess of 7 days except with the consent of the Township Board.

Section 604. If the Township Supervisor invokes such power and authority, he/she shall, as soon as reasonably expedient, convene the Township Board for one or more emergency meetings in accordance with the Open Meetings Act to perform its normal legislative and administrative duties as the situation demands, and will report to that body relative to emergency activities. Nothing in this resolution shall be construed as abridging or curtailing the powers of the Township Board unless specifically provided herein.

Section 605. The Township Supervisor may do one or more of the following under a local state of emergency:

- (a) Direct the Emergency Management Coordinator to implement the Emergency Operations Plan.
- (b) Issue directives as to travel restrictions on local roads within the municipality.
- (c) Relieve township employees of normal duties and temporarily reassign them to other duties.
- (d) Activate mutual aid agreements.
- (e) Direct the municipal disaster relief effort in accordance with the county Emergency Operations Plan and municipal standard operating procedures.

² Rule 4 (c) (d-q) of the administrative rules promulgated for Act 390, sec. 19 states that the plan shall be considered official upon bearing the signature of the chief executive official of the municipality. The plan must be current and adequate (see rule) within two years.

- (f) Notify the public and recommend in-place or evacuation or other protective measures.
- (g) Request a state of disaster or emergency declaration from the Governor as described in Article 7.
- (h) When obtaining normal approvals would result in further injury or damage, or is not possible due to the nature of the disaster, the Township Supervisor may, until the Township Board convenes, waive procedures and formalities otherwise required pertaining to the following:
 - (1) For a period of up to 7 days, send the disaster relief force and resources to the aid of other communities as provided by mutual aid agreements.
 - (2) For a period of up to 7 days, appropriate and expend funds from the disaster contingency fund created in Article 9 up to \$250,000.
 - (3) For a period of up to 7 days, make contracts, obtain and distribute equipment, materials, and supplies for disaster purposed.
 - (4) Employ temporary workers.
 - (5) Purchase and distribute supplies, materials, and equipment.
- (6) Make, amend, or rescind ordinances or rules necessary for emergency management purposes which supplement a rule, order, or directive issued by the Governor or a state agency. Such an ordinance or rule shall be temporary and, upon the Governor's declaration that a state of disaster or state of emergency is terminated, shall no long be in effect.³

Section 606. If a state of disaster or emergency is declared by the Governor, assign and make available for duty the employees, property, or equipment of the township within or without the physical limits of the township as ordered by the Governor or the Director of the Department of State Police in accordance with the act.⁴

Article 7 - Governor Declaration Request

Section 701. If a disaster or emergency occurs that has not yet been declared to be a state of disaster or a state of emergency by the Governor, and the Township Supervisor determines that the situation is beyond control of the municipality, he/she may request the Governor to declare that a state of disaster or state of emergency exists in the municipality in accordance with the act. This shall be done by immediately contacting the Livingston County Emergency Management Coordinator. The Emergency Management Coordinator shall immediately contact the District Coordinator. The District Coordinator, in conjunction with the Emergency Management Coordinator, shall assess the nature and scope of the disaster or emergency, and they shall recommend the state personnel, services, and equipment that will be required for its prevention, mitigation, or relief.⁵

³ Act 390, as amended, sec.12 (2) provides this authority.

⁴ Act 390, as amended, sec. 10 (1) (h) provides this authority.

⁵ Act 390, as amended, sec.12 states that the "chief executive official" (see definitions in act) of a county or any municipality may make this request. However, he/she must do this utilizing the procedures set forth in sec. 14 of the act

Article 8- Volunteers; Appointment; Reimbursement

Section 801. Each municipal department, commission, board, or other agency of municipal government is authorized to appoint volunteers to augment its personnel in time of emergency to implement emergency functions assigned in the county Emergency Operations Plan. Such individuals are part of the disaster relief force and shall be subject to the rules and operational control set forth by the respective department, commission, board, or agency through which the appointment was made, and shall be reimbursed for all actual and necessary travel and subsistence expenses.⁶

Article 9 - Disaster Contingency Fund

Section 901. A disaster contingency fund is hereby created in the budget of not less than \$250,000. Money may be expended from the fund when a local state of emergency has been declared for the purpose of paying the disaster relief force, purchase of supplies and services, repair costs, or other needs required specifically for the mitigation of the effects of, or in response to, the emergency or disaster.

Article 10 - Rights of Disaster Relief Force

Section 1001. In accordance with the act, personnel of the disaster relief force while on duty shall have the following rights:

- (a) If they are employees of the municipality, or other governmental agency regardless of where serving, have the powers, duties, rights, privileges, and immunities and receive the compensation incidental to their employment.
- (b) If they are not employees of the municipality, or other governmental agency be entitled to the same rights and immunities as are provided for by law.

Article 11 - Temporary Seat of Government

Section 1101. The township board shall provide for the temporary movement and reestablishment of essential government offices in the event that existing facilities cannot be used.

Article 12 – Liability

Section 1201. As provided for in the act and this resolution, the municipality, or the agents or representatives of the municipality, shall not be liable for personal injury or property damage sustained by the disaster relief force. In addition, any member of the disaster relief force engaged in disaster relief activity shall not be liable in a civil action for damages resulting from an act of omission arising out of and in the course of the person's good faith rendering of that activity, unless the person's act or omission was the result of that person's gross negligence or willful misconduct. The right of a person to receive benefits or compensation to which he or she may otherwise be entitled to under the worker's compensation law, any pension law, or act of congress will not be effected as a result of said activity.⁷

which states that the appointed emergency management coordinator and the district coordinator must jointly assess the situation and make recommendations.

⁶ Act 390, as amended, sec. 11 (1) (a-c) discusses disaster relief force rights and duties.

⁷ Act 390, as amended, sec. 11 (2-8) discusses liability.

Section 1202. As provided for in the act, any person owning or controlling real estate or other premises who voluntarily and without compensation grants the municipality the right to inspect, designate and use the whole or any part of such real estate or premises for the purpose of sheltering persons or for any other disaster related function during a declared local state of emergency or during an authorized practice disaster exercise, shall not be civilly liable for the death of, or injury to, any person on or about such real estate or premises under such license, privilege or other permission, or for loss of, or damage to, the property of such person.

Article 13 – Sovereignty

Section 1301. Should any section, clause, or provision of this resolution be declared by the courts invalid for any reason, such declaration shall not affect the validity of this resolution as a whole or any part thereof, other than the section, clause, or provision so declared to be invalid.

Article 14 – Repeals

Section 1401. All resolutions or parts of resolutions inconsistent herewith are hereby repealed.

Article 15 - Annual Review

Section 1501. This resolution shall be reviewed annually by the Township Board in conjunction with the adoption of the Budget and changes shall be made if necessary.

Article 16 - Effective Date

Section 1601. This resolution shall have immediate effect.

[End Resolution Text]

ROLL CALL VOTE:

A roll call vote on the foregoing resolution was taken and was as follows:

AYES: _____

NAYS: _____

ABSENT: _____

RESOLUTION DECLARED: _____

CERTIFICATION

I, Michael H. Dolan, being the duly elected Clerk of the Township of Hamburg, Livingston County, Michigan hereby certify that:

(1) The foregoing is a true and complete copy of the Resolution duly adopted by the Township Board on March 17, 2020;

(2) The original of such resolution is on file in the records of the Clerk's office;

(3) The meeting was conducted, and public notice thereof was given, pursuant to and in full compliance with the Open Meetings Act (Act No. 267, Public Acts of Michigan, 1976, as amended);
And,

(4) The minutes of such meeting were kept and will be or have been (or will be) made available as required by the Open Meetings Act.

DATE: _____

Michael H. Dolan, Hamburg Township Clerk

Hamburg Township

Support Emergency Operations Plan

A Support Plan to County Emergency Operations Plan/ Emergency Action Guidelines

Date: March 17, 2020

Signature page

Date:

To all Recipients:

Transmitted herewith is the Support Emergency Operations Plan for the Hamburg Township in support to the Livingston County Emergency Operations Plan.

The plan provides a framework for the Township to use in performing emergency functions before, during, and after a natural disaster, technological incident or a hostile attack.

This plan was adopted by the Board under Resolution dated March 17, 2020. It supersedes all previous plans.

PATRICK J. HOHL, Hamburg Township Supervisor

Date

Hamburg Township

Introduction to the Plan

I. Purpose

Hamburg Township has elected to be incorporated into the Livingston County Emergency Management Program. By becoming part of the county emergency management program, the Hamburg Township and Livingston County have certain responsibilities to each other. This Support Emergency Operations Plan has been developed to identify the responsibilities between Hamburg Township and Livingston County in regards to pre-disaster emergency management activities. It also provides for Hamburg Township government agencies to respond to various types of emergencies or disasters that affect the community. This support plan is to be used in concurrence with the County Emergency Operations Plan as it is a supporting document. The support plan will be maintained in accordance with the up-to-date standards of the Livingston County Emergency Operations Plan. Review of this support plan shall be accomplished concurrently with the county plan.

II. Scope

This plan is a flexible document in which changes from the content of the plan may occur due to unique nature of emergencies.

Each agency that has a supported role in this plan or its elements has developed Standard Operating Procedures (SOP) which provides systematic instructions for accomplishing assigned functions.

In addition, to support emergency preparedness and response efforts, the local government also conducts other activities such as personnel training, participating in exercises, encouraging chronic disease prevention techniques; educate the public on awareness activities, and use of appropriate land use planning decisions for mitigation and prevention purposes as well.

Through this plan, Hamburg Township continues to implement the National Incident Management System, participating in efforts to provide an effective and efficient incident management operation.

III. Plan Maintenance and Implementation

The plan has been developed together with local community, and county officials to ensure consistency within the county emergency management program documents. The plan is required to be approved by the Hamburg Township Board every year in conjunction with the Budget, or whenever the Elected Officials change, and is to be forwarded to the County Emergency Management Office. Upon approval, it will be implemented, tested through exercises in concurrence with County officials, and review/updated to maintain its current with the County Emergency Operations Plan.

This plan has been provided to all municipal agencies, elected officials, the county emergency management office and the MSP/EMHSD district coordinator.

IV. Emergency Management Program Oversight

Hamburg Township has appointed the Director of Public Safety/Police Chief to serve as the Municipal Emergency Management Liaison responsible for working with the County Emergency Management Coordinator in matters pertaining to emergency management for the municipality. Pursuant to the requirements in P.A. 390, of 1976, as amended, Section 19, Livingston County has adopted a resolution that incorporates Hamburg Township into its emergency management program, necessary for disaster assistance.

Hamburg Township

Basic Information

Community Profile

Location. Hamburg Township is situated in town 1 North, range 5 East of Livingston County.

Population and Individuals Having Disabilities, Special or Functional Needs. The community has a population of over 22,000 residents. Of this number, the 2010 US Census for Hamburg Township identified approximately 7.0 % of individuals with a disability under age 65 years for the period 2009-2013. 1610 persons are identified as individuals with special/functional needs. Some of these individuals reside in non-group homes where help is provided as needed or on-call.

On an annual basis, Hamburg Township will include the Medical Alert Information Request in Appendix 2 with all December tax bills. The Hamburg Township Fire Department will maintain a data base of all individuals having disabilities, special or functional needs.

Major Industries. The township has very limited industrial and commercial development. The Hamburg Township Fire Department has on file, and will update annually in conjunction with the annual facilities inspection, a record of each industrial and commercial industry in the township.

Flooding Risks. We have possible flooding as Natural Disasters in our township. Information regarding flooding can be found in Hamburg Township's Flooding Response Action Plan, latest revision date of January 7, 2014. (Hamburg Township is NFIP Community #260118 and is included in the FEMA Flood Insurance Study for Livingston County, Michigan dated September 17, 2008).

Railway Risks. We also have approximately 8 miles of rail running through our town that may or may not have unknown hazardous materials aboard.

General Hazard Vulnerabilities. More information regarding hazard vulnerability can be found in the County's Hazard Mitigation Plan/Analysis.

Extremely Hazardous Materials Locations. Within the community, there are no sites that contain extremely hazardous materials. Pursuant to SARA Title III, off-site emergency response plans have been developed by the LEPC to prepare the fire department(s) to respond to the specific hazardous materials on the sites. In addition, the owners of the site(s) have reported the types of hazardous material that is housed on-site, as required by the Emergency Planning and Community Right-To-Know Act.

Emergency Management Authority

Pursuant to P.A. 390 of 1976, as amended, the Hamburg Township Supervisor may declare a local state of emergency for Hamburg Township. In the Township Supervisor's absence, pursuant to local legislation, the Deputy Supervisor is authorized to declare the local state of emergency as well. Upon a declaration, PA 390 also authorizes the Township Supervisor to issue directives, such as restrictions to travel on local roads. The local declaration activates this emergency plan as well as the emergency operations center to conduct activities to ensure the safety of people, property, and the environment.

Hamburg Township has been a recipient of federal preparedness assistance; a resolution has been adopted by the local government for establishing the National Incident Management System as the standard for incident management for all-hazards. Through the adoption, the township continues to implement the concepts of the NIMS through training, planning, and exercising activities.

Response Resources

Hamburg Township maintains two fulltime departments responsible for providing public safety and welfare to the community. Each department is comprised of qualified emergency personnel, and maintains equipment capable of responding to emergencies. A list of resources that the departments use for emergency situations can be requested through the municipal emergency management liaison. Under circumstances, if the incident requires additional resources beyond the capability of Hamburg Township, the Township Supervisor may enact mutual aid, or it may be necessary to request county assistance through proper procedures.

Emergency Management Organization

The Hamburg Township emergency management organization consists of six departments responsible for conducting activities in response to emergencies within the community. These six departments have been assigned specific emergency functions the municipality has identified necessary in order to provide an effective response to secure the safety of people, property, and the environment. Each agency is responsible for implementing pre-disaster activities to help prevent and/or prepare for various hazards that the community is vulnerable to such as: chronic diseases, flooding, hazardous material spills, inclement weather, tornadoes, and public disturbance to name a few; a more profound list can be found in the County's Hazard Mitigation Plan/Analysis. Prevention and preparedness activities include: awareness training, exercising, hygienic practices to prevent spreading of infectious diseases, stockpiling equipment, and educating people to self-care for themselves in an emergency.

The Township Supervisor serves as the incident manager for municipal coordination. At his/her side is the emergency management liaison, a planning chief, finance chief, operations chief, and logistics chief. The operations chief is responsible for coordinating the individual emergency functions assigned by agencies.

The table lists the functions, assigned agencies, primary point of contact, and phone number.

Function	Agency	Primary Contact	Phone
Direction and Control	Supervisor	Pat Hohl	1-586-663-2842
Fire Services	Hamburg Twp. Fire	Chief Nick Miller	1-810-459-1567
Law Enforcement	Hamburg Twp. Police	Chief Richard Duffany	1-734-968-5711
Warning and Communications	Hamburg Twp. Fire	Chief Nick Miller	1-810-459-1567
Public Information	Supervisor	Pat Hohl	1-586-663-2842
Damage Assessment	Assessing	Susan Murray	1-248-345-3909
Public Works	Technical Services / Utilities	Tony Randazzo	1-734-634-5977
Emergency Medical Services	Hamburg Twp. Fire	Chief Nick Miller	1-810-459-1567
Human Services	Township Clerk	Michael H. Dolan	1-734-891-7398

Line of Succession

The following is a list of the 2nd and 3rd alternates for each agency identified in the plan to maintain the emergency tasks assigned:

Agency	2nd Alternate	3rd Alternate
HTFD	FM Zernick 1-810-588-7373	Capt. Jase Lawver 1-734-637-9656
HTPD	DC Nisenbaum 1-734-564-3306	Sgt. Gary Harpe 1-734-564-9835
SUPERVISOR	Michael Dolan 1-734-891-7398	Tony Randazzo 1-734-634-5977
ASSESSING	Don Burtraw 1-734-474-5142	Mandy West 1-248-767-5816
TECHNICAL SERVICE/UTILITIES	Dave Podvoyski 1-517-404-2926	Russ Williamson 1-734-368-8729
CLERK	Mary Kuzner 1-810-347-3415	Deby Henneman 1-810-923-3866

Hamburg Township

General Emergency Management Guidelines

The following guidelines are general to the municipality, all agencies, and individuals who have a role in responding to an emergency within the Hamburg Township. Being that emergency planning is a work in progress guidelines are continuously reviewed and modified due to the situation and complexity of incidents.

1. Report to the local Emergency Operations Center when activated for scheduled exercises or disasters, or delegate another individual to staff the EOC and implement the plan.
2. Implement mutual aid agreements or contracts with other organizations to supplement local resources that have been exhausted.
3. Ensure compliance with this plan and the County Emergency Plan, and any pertinent procedures and documents issued, which impact the provision of emergency services in the municipality.
4. Train department emergency personnel in emergency management functions and NIMS/ICS concepts.
5. Assists in the development, review and maintenance of the plan and of the County EOP.
6. Develop and maintain standard operating procedures for specific functions or actions identified in the plan.
7. Maintain a list of resources available by the departments/agencies.
8. Protect records and other resources deemed essential for continuing government functions and each agency's emergency operations in accordance to procedures and policies.
9. Establish mutual aid agreements and/or contracts with other jurisdictions/entities to supplement municipal resources.
10. Establish a system of coordination, such as the incident command system, within the EOC. Field operations, however, are required to use the incident command system.
11. Participate in the review and update of this emergency operations plan, in accordance to a schedule identified by the Municipal Emergency Management Liaison and the County Emergency Management Coordinator.
12. Adapt and provide printed emergency management materials and verbal messages to those who are vision impaired, non-English speaking, or deaf/hard of hearing.
13. Conduct pre-disaster public awareness activities including education classes, self-care guidelines, communications plans, and protocols.
14. Make recommendations to the Township Supervisor regarding protective actions.
15. Utilize MI CIMS to record and log significant events throughout the duration of the emergency, as well as the decisions made by the Incident Commander and Township Supervisor.

16. Continuously conduct emergency planning activities as it is a work-in-progress, periodically being reviewed and updated.

All emergency response agencies are considered to be available to respond.

Hamburg Township

Emergency Response Procedures

The following are procedures that Hamburg Township conducts and coordinates with the county in response to a local state of emergency.

1. Assure that the municipal emergency response agencies, elected officials and the County Emergency Management Coordinator are notified of the situation.
2. Municipal agencies assess the nature and scope of the emergency or disaster.
3. If the situation can be handled locally, do so, using the following sequenced guidelines:
 - The Emergency Management Liaison advises the Township Supervisor and coordinates all emergency response actions.
 - The Township Supervisor declares a local state of emergency and notifies the County Emergency Management Coordinator of this action.
 - A local state of emergency declaration is forwarded to the county office.
 - **The emergency management liaison activates the emergency operations center. The EOC is located at 10100 Veterans Memorial Drive, Hamburg, MI 48139-0157 (HTFD Station #12). If this location is unavailable an alternate location is at 3666 East M-36, Pinckney, MI 48169 (HTFD Station #11).**
 - Emergency response agencies are notified through telephone, smart messaging, Livingston County Central Dispatch by the Municipal Emergency Management Liaison to report to the EOC.
 - The Township Supervisor directs departments/agencies to respond to the emergency situation in accordance to each agency's functional guidelines indicated in the attachments to this plan.
 - The Township Supervisor issues directives as to travel restrictions on local roads and recommends protective actions from the commanding agency. Protective action recommendations will be based on weather forecasting and if the incident complexity increases due to inability to respond rapidly and with a "ready" supply of resources to mitigate the incident.
 - Notify the public of the situation, through the Public Information Official, and take appropriate actions.
 - Keep the County Emergency Management Coordinator informed of the situation and actions taken.
 - If municipal resources become exhausted or if special resources are needed, request county assistance through the County Emergency Management Coordinator.
4. If assistance is requested, the county emergency management coordinator assesses the situation and makes recommendations on the type/level of assistance. The County will also take the following steps:

- Activate the County Emergency Operations Center
- Activate the County Emergency Operations Plan/Emergency Action Guidelines
- Respond with county resources as requested
- Activate mutual aid agreements
- Coordinate county resources with municipal resources
- Notify MSP/EMHSD District Coordinator.
- Develop a jurisdiction situation report and a damage and injury assessment report via and submit to the MSP/EMHSD.
- Assist the municipality with prioritizing and allocating resources.
- If county resources are exhausted, the county makes a request to the Governor to declare a state of emergency or state of disaster in accordance with procedures set forth in PA 390, as amended. The county shall not request state assistance or a declaration of a state of disaster or a state of emergency unless requested to do so by the Township Supervisor of Hamburg Township if the situation occurs solely within the confines of the municipality.
- If state assistance is requested, the MSP/EMHSD District Coordinator, in conjunction with the County Emergency Management Coordinator and Municipal Emergency Management Liaison, assess the disaster or emergency situation and recommends the necessary resources that are required for its prevention, mitigation, or relief efforts.
- After completing the assessment, the MSP/EMHSD District Coordinator immediately notifies the State Director of Emergency Management and Homeland Security of the situation.
- The State Director of Emergency Management and Homeland Security notifies the Governor and makes recommendations.
- If state assistance is granted, procedures are followed in accordance to the Michigan Emergency Management Plan and the County Emergency Operations Plan.

Addenda

Hamburg Township

EMERGENCY ACTION GUIDELINES

The following attachments provide guidelines for each function that has been assigned to the agencies in response to an emergency or disaster situation.

- Attachment A: Direction and Control
- Attachment B: Fire Services
- Attachment C: Law Enforcement
- Attachment D: Warning and Communications
- Attachment E: Public Information
- Attachment F: Damage Assessment
- Attachment G: Public Works
- Attachment H: Emergency Medical Services
- Attachment I: Human Services

Each agency assigned is responsible for maintaining the guidelines, as well as approving any changes to the guidelines or changes to the official responsible for implementation.

ATTACHMENT A: Direction and Control

The Township Supervisor, with support from the Emergency Management Liaison and Fire Chief, is responsible for directing and controlling emergency management operations.

The following guidelines represent a checklist of actions that the Township Supervisor and Liaison must consider for providing an effective response to an emergency or disaster situation.

Functional Guidelines:

1. Issue orders and directives, i.e., travel restrictions, and recommend protective actions to be taken by the general public.
2. Declare a local state of emergency or disaster and notify the County Emergency Management Office.
3. Generate and disseminate information to the public via the Public Information Officer.
4. Provide for continuity of operations.
5. Activates and maintains the local emergency operations center.
6. Seek federal post-disaster funds, as available, as well as pre-disaster assistance.
7. Maintain record of activity regarding decisions on emergency actions.
8. Review and evaluate assessment data.
9. Maintain liaison with state and federal officials.
10. Coordinate with County officials in response and recovery efforts.
11. Coordinate and conduct information sharing activities to identify potential and enacted WMD or terrorism activities, and mobilize and direct resources in response to such incidents.
12. Prepares and maintains an emergency plan for the municipality subject to the direction of the elected officials; reviews and updates as required.
13. Develops and maintains a trained staff and current emergency response checklists appropriate for the emergency needs and resources of the community.
14. Coordinate with State and federal officials in collecting and sharing terrorism related information.

The Township Supervisor has reviewed and approves the assigned guidelines. These will be maintained in accordance to the current standards of the county's emergency plan.

PATRICK J. HOHL, Hamburg Township Supervisor

Date

ATTACHMENT B: Fire Services

The Fire Department is responsible for fire service activities.

The following guidelines represent a checklist of actions that department officials must consider for providing an effective response to an emergency or disaster situation.

Functional Guidelines:

1. Provide command level representatives to the EOC and Unified Incident Command Post, when activated.
2. Coordinates fire and search and rescue services with appropriate personnel at the County Emergency Management Agency; including assistance to regional specialty teams such as, but not limited to the Regional Response Team, MUSAR, and BOMB Squad.
3. Coordinates with County EMC and the State of Michigan in the decontamination and monitoring of affected citizens and emergency workers after exposure to CBRNE hazards.
4. Assumes primary responsibility for emergency alerting of the public.
5. Assists with evacuation of affected citizens, especially those who are institutionalized, immobilized or injured.
6. Provides resources for fire services response and rescue operations.
7. Assists in salvage operations and debris clearance.
8. Advises elected officials about fire and rescue activities.
9. Conduct safety analysis of the emergency, inform and recommend corrections to the Township Supervisor.
10. Respond to hazardous materials spills in accordance to the procedures in Appendix 1.
11. Assist in search and rescue operations.
12. Assist in searching for bombs and/or explosive devices in connection with WMD events.

The Fire Chief has reviewed and approves the assigned guidelines. These will be maintained in accordance to the current standards of the county's emergency plan.

Nick Miller, Hamburg Township Fire Chief

Date

ATTACHMENT B: APPENDIX 1: Fire Services

HAZMAT RESPONSE Guidelines

The Fire Department is responsible for the response to hazardous materials spills. Response will be in accordance to the following procedures.

1. Assume incident command upon arrival at the scene.
2. Establish scene security or coordinate with other available agencies to establish scene security.
3. Monitor and evaluate environmental health risks or hazards from hazardous materials releases.
4. Inspect possible sources of contamination.
5. Provide technical assistance and liaison with other appropriate agencies or organizations for the remediation of hazardous waste releases and other contamination sources.
6. Disseminate information to the Emergency Operations Center Public Information Officer on hazardous material releases issues.
7. Makes protective action recommendations based on severity and complexity of incident type.
8. Ensure PPE is fit tested to responders.
9. Prior to proceeding with cleanup, analyze and evaluate the safety of the spill by a certified Safety Officer/technician.
10. Decontaminate equipment and gear.

The Fire Chief has reviewed and approves the assigned guidelines. These will be maintained in accordance to the current standards of the county's emergency plan.

Nick Miller, Hamburg Township Fire Chief

Date

ATTACHMENT C: Law Enforcement

The Police Department is responsible for law enforcement activities.

The following guidelines represent a checklist of actions that department officials must consider for providing an effective response to an emergency or disaster situation.

Functional Guidelines:

1. Develops and maintains procedures for the Police Department.
2. Coordinates security and law enforcement services; with appropriate personnel at the County Emergency Operations Center.
3. Establishes security and protection of critical facilities.
4. Provides traffic and access control in and around affected areas.
5. Assists with emergency alerting and notification of threatened population.
6. Assists with the evacuation of affected citizens, especially those who are institutionalized, immobilized or injured.
7. In cooperation with the Fire Department, performs search and rescue operations.
8. Implement any curfews ordered by the Township Supervisor.
9. Provides access control to affected areas.
10. Provide emergency assistance to persons with special/functional needs.
11. Assists the medical examiner with mortuary services.
12. Coordinate urban search and rescue activities.
13. Investigate incident and provide intelligence information to state and federal officials.

The Police Chief has reviewed and approves the assigned responsibilities. These responsibilities will be maintained in accordance to the current standards of the county's emergency plan.

RICHARD DUFFANY, Hamburg Township Director of Public Safety/Police Chief

Date

ATTACHMENT D: Warning and Communications

The Fire Department is responsible for warning and communications activities.

The following guidelines represent a checklist of actions that department officials must use for providing an effective response to an emergency or disaster situation.

Emergency Guidelines:

1. Warn the following individuals via telephone, pager, smart messaging, sirens, etc.:
 - a. Township Supervisor.
 - b. Municipal Emergency Management Liaison.
 - c. County Emergency Management Coordinator.
 - d. Municipal Emergency Operations Center representatives.
2. Ensure all agencies represented in the municipal Emergency Operations Center have communications both to their staff at their department offices and their staff at the incident site. This equipment consists of radios, telephones, cell phones, pagers, sirens, etc.
3. Establish communications with the county Emergency Operations Center if activated. The communications equipment available for this link is i.e., LEIN, telephone, fax, pagers, sirens, etc.
4. Establish communications with the Incident Command Post, if established.
5. Activate the public warning system in accordance to the procedures listed in Appendix D-1.
6. Ensure the public warning system provides notification to special needs populations identified in the community, i.e., elderly, hearing impaired, non-English speaking, and others. The system consists of sirens, door-to-door, telephone fan out, 211 system, etc.
7. Contact and warn special facilities and locations, such as schools, hospitals, nursing homes, major industries, institutions, and place of public assembly. The methods of warning and contacting these locations consist of sirens, personal contact, telephone, etc.

The Fire Chief has reviewed and approves the assigned responsibilities. These responsibilities will be maintained in accordance to the current standards of the county's emergency plan.

Nick Miller, Hamburg Township Fire Chief

Date

ATTACHMENT E: Public information

The Township Supervisor is responsible for public information activities.

The following guidelines represent a checklist of actions that the Public Information Official must consider for providing an effective response to an emergency or disaster situation.

Emergency Guidelines:

1. Function as the sole point of contact for the news media and public officials.
2. Collect information from municipal emergency response agencies located in the emergency operations center and other locations.
3. Prepare news releases to be disseminated to the local media.
4. Conduct press tours of disaster area(s) within the community.
5. Establish a **Public Information Center at Fire Station 12, 10100 Veterans Memorial Drive, Hamburg, Michigan 48139** to become the central point from which news releases are issued.
6. Establish and maintain contact with the County Public Information Official if the County's Emergency Operations Plan is activated.
7. Coordinate public information activities with the county Public Information Officer if the County Emergency Operations Center is activated.
8. Assist the county in establishing a Joint Information Center (JIC).
9. Assist the county with establishing a Rumor Control Center.
10. Assist the Municipal Emergency Management Liaison in developing and distributing education material on the hazards that face the municipality.
11. Develop and maintain Emergency/Public Information procedures.
12. Maintain a log and file of all information released to the media.

The Township Supervisor has reviewed and approves the assigned responsibilities. These responsibilities will be maintained in accordance to the current standards of the county's emergency plan.

PATRICK J. HOHL, Hamburg Township Supervisor

Date

ATTACHMENT F: Damage Assessment

The Assessing Department is responsible for damage assessment activities.

The following guidelines represent a checklist of actions that department officials must consider for providing an effective response to an emergency or disaster situation.

Emergency Guidelines:

1. Record initial information from first responders such as law enforcement, fire services, and public works.
2. If necessary, activate the damage assessment team which consists of the following agencies:
 - Assessing Department - responsible for public damage assessment.
 - Assessing Department - responsible for individual damage assessment.
3. Provide information to the Municipal Emergency Management Liaison. The Liaison will then provide assessment data to the county for preparation of a jurisdictional situation report via E-Team.
4. If the situation warrants, assist the Township Supervisor with the preparation of a local state of emergency declaration and forward to the County Emergency Management Coordinator.
5. Prepare a request for county assistance in conjunction with the Municipal Emergency Management Liaison.
6. Plot damage assessment information on status boards in the Municipal Emergency Operations Center.
7. Record all expenditures for municipal personnel, equipment, supplies, services, etc., and track resources being used.
8. Prepare reports for the municipal public information official.
9. Collect information and forward to the County so that the county can complete the Damage and Injury Assessment information through the jurisdiction's situational report via MI CIMS.

The Assessing Department official has reviewed and approves the assigned responsibilities. These responsibilities will be maintained in accordance to the current standards of the county's emergency plan.

SUSAN MURRAY, MAAO, Hamburg Township Assessor

Date

ATTACHMENT G: Public Works

The Fire Department with the support of the Public Works Department is responsible for damage assessment activities.

The following guidelines represent a checklist of actions that department officials must consider for providing an effective response to an emergency or disaster situation.

Emergency Guidelines:

1. Maintain transportation routes.
2. If necessary, coordinate activities designed to control the flow of flood water, including sandbagging, emergency diking, and pumping operations.
3. Coordinate travel restrictions/road closures within the municipality.
4. Identify evacuation routes.
5. Provide emergency generators and lighting.
6. Assist with traffic control.
7. Assist with access control.
8. Assist with urban search and rescue activities, i.e., persons trapped in damaged buildings or under heavy debris/objects, etc.
9. Assist private utilities with the shutdown and restoration of gas and electric services.
10. Assist with transportation of essential goods, i.e., food, medical supplies, etc.
11. As necessary, establish a staging area for public works.
12. Report damage information to the Damage Assessment Team.
13. If necessary, assist with damage surveys for the federal public assistance grant program.
14. If the county Emergency Operations Center is activated, establish and maintain contact with the person representing public works.
15. Notify Law Enforcement of the location(s) of disabled vehicles.
16. Inspect critical infrastructure and other public utilities for safety.

The Fire Chief has reviewed and approves the assigned responsibilities. These responsibilities will be maintained in accordance to the current standards of the county's emergency plan.

Nick Miller, Hamburg Township Fire Chief

Date

ATTACHMENT G: APPENDIX 1: Public Works

Hazmat Response Guidelines

1. The Public Works Department will support the Fire Department in response efforts according to the following:
2. Assist the Fire Department in the cleanup of contaminated soils and transport to appropriate dump sites.
3. Evaluates inland waters conditions and makes recommendations to Fire Chief on response actions.
4. Provides heavy equipment and diking materials to support the Fire Department's response hazardous materials incidents.
5. Advise the incident commander of any safety concerns.
6. Ensure personnel use adequate personal protection equipment.
7. Decontaminate equipment and gear.
8. Operation, and deactivation if necessary, of residential grinder pumps and all waste water collection and treatment systems.
9. Function as the liaison with the operators of the Livingston Community Water Authority to ensure safety of the water provided.
10. Facilitate and provide for the services of private equipment/excavation contractors as needed.
11. The Director of Technical Services and Utilities has reviewed and approves these guidelines. These will be maintained in accordance to the current standards of the county's emergency plan.

TONY RANDAZZO, Hamburg Township Director of Technical Services

Date

ATTACHMENT H: Emergency Medical Services

The Fire Department is responsible for emergency medical service activities.

The following guidelines represent a checklist of actions that agency officials must consider for providing an effective response to an emergency or disaster situation.

Emergency Guidelines:

1. Evacuate nursing homes, hospitals, and other medical facilities.
2. Assist with animal and pet control.
3. Assist with decontamination.
4. Coordinate emergency medical care to victims.
5. Establish a staging area for emergency medical equipment.
6. Identify a facility to be used as a temporary morgue if necessary.
7. Coordinate with hospitals and shelter managers to staff medical teams at shelters.
8. When appropriate, coordinate field units' participation in damage assessment activities.
9. Ensure that emergency medical teams responding on-scene have established an on-scene medical command post and a medical commander.
10. Maintain a list and the addresses of individuals with special/functional needs and other individuals needing assistance.

The emergency medical official has reviewed and approves the assigned responsibilities. These responsibilities will be maintained in accordance to the current standards of the county's emergency plan.

Nick Miller, Hamburg Township Fire Chief

Date

ATTACHMENT I: Human Services

The Township Clerk will serve as the Human Services Liaison and is responsible for human services activities. The liaison will coordinate and/or keep informed human services activities occurring within the municipality, with the County Human Services Department.

The following guidelines represent a checklist of actions that the liaison must consider for providing an effective response to an emergency or disaster situation.

Emergency Guidelines:

1. Coordinate activities of municipal agencies/departments which provide human service type services.
2. Coordinate the provision of transportation for evacuation.
3. Open and manage shelters in the municipality.
4. Set up canteen to feed emergency workers in the municipality.
5. Provide food and clothing to municipality workers and victims of disaster residing in the municipality.
6. Assist the county with establishing a Rumor Control Center.
7. Arrange for provision of Crisis Counseling or Critical Incident Stress Debriefing (CISD) for both victims and identified disaster workers.
8. If the County Emergency Operations Center is activated, establish and maintain contact with the person representing Human Services. If the county Emergency Operations Center is not activated, establish and maintain contact with the county Human Services Official directly at the county Department of Human Services.
9. Coordinate with ARC and other pertinent organizations for the distribution of emergency clothing for disaster victims.
10. Coordinate efforts to provide transportation for disaster victims. (Consider local school buses, council on aging, canoe liveries, USFS, volunteers, etc.)

The Township Clerk has reviewed and approves the assigned responsibilities. These responsibilities will be maintained in accordance to the current standards of the county's emergency plan.

Michael H. Dolan, Hamburg Township Clerk

Date

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Attachment I

APPENDIX 1: HUMAN SERVICES: Resources and Support Services

TRANSPORTATION RESOURCES	Type
Brighton Area Schools Transportation Department Office – Phone: 810-299-3890 Fax: 810-299-3898 125 South Church Street, Brighton, Michigan 48116 Web Site: http://www.brightonareaschools.com/departments.cfm?subpage=134641	School Busses
Pinckney Community Schools Transportation Department Office – Phone: 810-225-3960 (Board of Education/Central Offices – Phone: 810-225-3900) 2020 East M-36, Pinckney, Michigan 48169 Web Site: http://www.pinckneyschools.org/index.php/depts/transportation	School Busses
Livingston Essential Transportation Service (L.E.T.S.) 3950 West Grand River, Howell, Michigan 48855 Phone: 517-546-6600 / Fax: 517-546-5088 Web Site: https://www.livgov.com/lets	Public Transportation Services - Dial-A-Ride Service to Any Destination Countywide and Regional Medical Service To Ingham, Oakland, Genesee, and Washtenaw Counties. See further information on the web site regarding service hours, trip scheduling, fares and tokens.

SHELTERS	Maximum occupancy
Hamburg Township Senior Center Mailing Address: 10407 Merrill Road, P.O. Box 157, Hamburg, Michigan 48139 Physical Address: 10407 Merrill Road, Whitmore Lake, Michigan 48189 Phone: 810-231-1000 – Ext. 225/Fax: 810-231-3877 Web Site: http://www.hamburg.mi.us/senior/	<ul style="list-style-type: none"> • Has a kitchen certified for and used for serving Meals on Wheels by the Livingston County Health Department • Has a large open area room which can seat up to 134 people at round tables/chairs for meal service • Large open area room could be used as sleeping area – could temporarily house 41 people • Public restrooms for men and women • No shower facilities • No generator at location
Hamburg Township Hall Mailing Address: 10405 Merrill Road, P.O. Box 157, Hamburg, Michigan 48139 Physical Address: 10405 Merrill Road, Whitmore Lake, Michigan 48189 Phone: 810-231-1000/Fax: 810-231-4295 Web site: http://www.hamburg.mi.us/	<ul style="list-style-type: none"> • Board room could be used as sleeping area – could temporarily house 50 people • Public restrooms for men and women • No shower facilities • Has generator back up

Hamburg Township Fire Department Station 11 Phone: 810-222-1100/Fax: 810-231-1974 Mailing Address: P.O. Box 157, Hamburg, Michigan 48139 Web Site: http://www.hamburg.mi.us/fire/ Physical Location: 3666 East M-36, Pinckney, Michigan 48169	<ul style="list-style-type: none"> • Training room can seat up to 146 people for meal service • Training room could be used as sleeping area – could temporarily house 47 people • Restrooms for men and women • Has shower facilities • Has generator back up
St. Paul's Lutheran Church Phone: 810-231-1033 Physical Location: 7701 E M-36, Whitmore Lake, MI 48189 Web site: https://stpaulhamburg.com/	<ul style="list-style-type: none"> • Restrooms for men and women • No shower facilities • Can seat up to 169 people at round tables/chairs for meal service • Upstairs open room and basement could be used for sleeping area for up to 74 people • No generator at location
Pinckney Community Schools Web site: http://www.pinckneyschools.org/ <ul style="list-style-type: none"> • Pathfinder School – 2100 East M-36, Pinckney, MI 48169. Phone: 810-225-5200/Fax: 810-225-5205 • Navigator School – 2150 East M-36, Pinckney, MI 48169. Phone: 810-225-5300 	<ul style="list-style-type: none"> • County Health Dept. Certified Cafeterias/Kitchens/Lunch Rooms • Restrooms for men and women • Has shower facilities • Gymnasiums could provide Shelter and food service for • Gymnasiums could be used as sleeping area – could temporarily house people • No generator at locations

FOOD/FAMILY CARE RESOURCES	Type of service
Kroger Grocery Store 9700 Chilson Commons Pinckney, Michigan 48169 Phone: 734-213-7970 Hours: Daily 6:00 am to Midnight Web Site: https://www.kroger.com/	<ul style="list-style-type: none"> • General Food Services • Bottled water • Cleaning items and supplies • Pharmacy • Baby supplies
Meijer Grocery Store 8650 W Grand River Ave Brighton, MI 48116 Phone: 810-227-3404 Hours: OPEN 24 HOURS Web Site: https://meijer.com	<ul style="list-style-type: none"> • General Food Services • Bottled water • Cleaning items and supplies • Pharmacy • Baby supplies • Clothing
Boomers Party Store & Pizza 8999 Hamburg Road Brighton, Michigan 48116 Phone: 810-231-4200 Hours: Daily 10:00 am to 10:00 pm	<ul style="list-style-type: none"> • Party Store & Pizzeria

Mimi's Diner 5589 East M-36 Pinckney, Michigan 48169 Phone: 810-231-9800 Hours: Daily 7:00 am to 9:00 pm Web Site: http://www.mimisdiner.net/	<ul style="list-style-type: none"> • Full Service/Coney Island Diner
The Salvation Army Thrift Store/Livingston County, Michigan 503 Lake Street Howell, Michigan 48843 Phone: 517-546-4750 Web Site for Emergency Services Assistance: http://centralusa.salvationarmy.org/livingston/Emergency	<ul style="list-style-type: none"> • Recycling of Used Clothing and Household Goods, Furniture, and Appliances for minimal cost
St. Vincent DePaul Thrift Store – Ann Arbor, Michigan 1001 Broadway St., Ann Arbor, Michigan 48105 Phone: 734-761-1400 Web Site: http://svdpaa.org/?page_id=7	<ul style="list-style-type: none"> • Gently Used Clothing, Household and Vintage

SPECIAL/FUNCTIONAL NEEDS CARE SERVICES	Type of service
Hamburg Township Fire Department Station 12 – Physical Location: 10100 Veterans Memorial Drive, Whitmore Lake, Michigan 48189 Phone: 810-222-1100/Fax: 810-231-1974 Mailing Address: P.O. Box 157, Hamburg, Michigan 48139 Web Site: http://www.hamburg.mi.us/fire/	<ul style="list-style-type: none"> • Medical Alert Information Program - Working to identify and maintain a list of all Township residents that may need special assistance in the event of any emergency evacuation through used of attached form

APPENDIX 2
HAMBURG TOWNSHIP FIRE DEPARTMENT
MEDICAL ALERT INFORMATIONFORM



Hamburg Township Fire Department

Hamburg Township Fire Department - Station 12
Physical Location: 10100 Veterans Memorial Drive Whitmore Lake, Michigan 48189
Phone: 810-222-1100

Medical Alert Information
Self-Identification For Persons With Disabilities Questionnaire

In an effort to strengthen Evacuation Preparedness in Hamburg Township, the Hamburg Township Fire Department (HTFD) is requesting all township residents that may need special assistance to voluntarily self-identify themselves so that arrangements can be made to meet those needs in the event of any emergency evacuation.

Consider the following as a self-evaluation to determine whether you will need assistance in an emergency evacuation:

Yes___ No___ Limitations that interfere with walking or using stairs (joint pain, mobility device user i.e. wheelchair, cane, crutches, walker)._____

Yes___ No___ Reduced stamina, fatigue or tires easily (due to a variety of temporary or permanent conditions not limited to those on this list).

Yes___ No___ Respiratory (cardiac [heart] conditions, asthma, emphysema, or other symptoms triggered by stress, exertion, or exposure to small amounts of dust or smoke, etc.).

Yes___ No___ Emotional, cognitive thinking or learning difficulties (may become confused when dealing with unfamiliar and unusual activity during an emergency, lose sense of direction, or may need emergency directions explained in simple steps or basic concepts)._____

Yes___ No___ Vision loss (may require assistance in moving down stairs).

Yes___ No___ Hearing loss/Difficulty Speaking (may require modification to the standard notification/communication method).

Yes___ No___ Temporary limitations resulting from, but not limited to:

- Surgery
- Accidents and injuries (sprains, broken bones)
- Pregnancy
- Work Disability
- Diabetic w/medications

Yes___ No___ Do you rely on technology or medication which may not work in an emergency (hearing aids, wheelchair, oxygen tank, elevator, lighting, sounds)?

Yes___ No___ Allergies - Medications or Food allergies? (Please List)

*If you answered yes to any of the above, please complete the following voluntary Self-Identification for Persons with Disabilities – Questionnaire and send to **CONFIDENTIAL Clerk Michael Dolan's Office, ADA Coordinator For At-Risk Management, P.O. BOX 157, Hamburg, Michigan 48139***

Name – First:	Name – Last:

Date of Birth:	Phone Number:
Month: Day: Year:	

Email Address:	Location In Home Where You Spend The Most Time:

Emergency Contact Name	Relationship	Phone

Description: Please describe the type of assistance you may need during an evacuation. Do NOT provide medical details.

I would like to thank you for taking the time to fill this form out. The HTFD is continuing to maintain the best emergency services available to our residents and neighbors. If you have any questions, please feel free to contact my office and/or the township clerk's office. - Fire Chief Nick Miller

APPENDIX 3 AREA GENERAL COMMUNITY EMERGENCY SERVICES

COMPANY/ORGANIZATION	Type of service
<p><i>Note: Hamburg Township is approximately half-way between the Red Cross offices in Howell, Michigan and Ann Arbor, Michigan.</i></p> <p>American Red Cross – Mid-Michigan Chapter 1800 East Grand River Ave., Lansing, MI 48909 Phone: 517-484-7461/Fax: 517-484-3799 Serving Clare, Clinton, Eaton, Gratiot, Hillsdale, Ingham, Jackson, Livingston & Shiawassee Counties Web Site for Emergency Services: http://www.redcross.org/local/mi/emergency-services</p> <p>Livingston County Office: 1372 West Grand River Ave., Howell, Michigan 48843 Phone: 517-546-0326/Fax: 517-546-0886 Local Contacts: Shirley Jackson/John Boris</p> <p>American Red Cross – Southeastern Michigan Chapter 100 Mack Avenue, Detroit, Michigan 48201 Phone: 313-833-4440/Fax: 313-833- 4461 Serving Washtenaw, Oakland, Other SE Michigan Counties</p> <p>Ann Arbor Offices 4624 Packard Road, Ann Arbor, Michigan 48108 Phone: 734-971-5300</p>	<ul style="list-style-type: none"> • Emergency food, clothing, temporary shelter and personal care items to disaster victims as needed. • Facilitate inquiries from concerned family members outside the disaster area • Referrals to agencies for long-term needs • Emergency services outside of Michigan • Trained volunteers from Michigan are regularly called upon to provide emergency relief throughout
<p>F.E.M.A. – LIVINGSTON COUNTY C.E.R.T. PROGRAM (LIVINGSTON COUNTY COMMUNITY EMERGENCY RESPONSE TEAM)</p> <p>Month and year the CERT Program was started: June 2009 Geographic Area: LIVINGSTON (County) Point of Contact: Bruce Pollock Livingston County CERT Coordinator Livingston County Community Emergency Response Team 300 S. Highlander Way Howell, MI 48843</p> <p>(517) 878-0138 (517) 546-5008 n8wwx@yahoo.com</p> <p>CERT Web Site: http://co.livingston.mi.us/emergencyManagement/Cert.htm</p>	<ul style="list-style-type: none"> • Local FEMA/CERT Team Services

<p>DISASTER ASSISTANCE RESPONSE TEAM (D.A.R.T.) Mailing Address: DART, Inc., 1211 W. Grand River Ave., Howell, Michigan 48843</p> <p>Web Sites: http://brightonareafire.com/news-events/disaster-assistance-response-team/ http://dartliv.org/</p> <p>Contact Person: Roy Seifried – Phone: 517-546-0347/E-mail: rstuff8@comcast.net</p>	<ul style="list-style-type: none">• The Livingston County DART is made up of dedicated men and women looking to serve their community. DART provides services by responding to larger incidents and taking care of our first responders. This service provides proper nutrition, warm gloves, and other resources to first responders.• Web page for services provided: http://dartliv.org/services.html
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APPENDIX 4
EMERGENCY RESTORATION DAMAGE SERVICES
(EQUIPMENT CONTRACTORS)

COMPANY/ORGANIZATION	Type of service
BOB MYERS EXCAVATING, INC. 8111 Hammel Road, Brighton, Michigan 48116 Office: 810-231-2044/Fax: 810-231-9790 Contact Persons: Mike Myers – Mobile Phone: 810-217-6350 Bob Myers – Mobile Phone: 810-217-6359	<ul style="list-style-type: none">• Excavating Services
BELFOR PROPERTY RESTORATION SERVICES – Michigan Ann Arbor Area Offices: 2643 East Michigan Avenue, Ypsilanti, Michigan 48198. Phone: 734-261-7764 Local Contact Person - Belfor Property Restoration Representative: Denny Hughes – Business Line: 734-245-4738; Cell Phone 810-623-1059; E-mail: denny.hughes@us.belfor.com Web Site: https://www.belfor.com/en/us/belfor-usa-offices/michigan Emergency Services 24/7 Phone Number: 800-856-3333	<ul style="list-style-type: none">• Water Damage• Fire Damage• Storm Damage• Mold Damage• Recovery Services
C & E CONSTRUCTION COMPANY, INC. P.O. Box 1359 Highland, Michigan 48357 Office Phone: 248-889-1716 Fax: 248-889-4677 Mobile Phone: 248-568-9801 Contact Persons: Greg Harris/April Harris	<ul style="list-style-type: none">• Excavating Contractor
KNIGHT'S GRADING & EXCAVATING P.O. Box 504, Dexter, Michigan 48130 Contact Person: Robert Knight Phone: 734-426-3948 Fax: 734-426-5009	<ul style="list-style-type: none">• Grading & Excavating Services
TERRA CONTRACTING SERVICES, LLC 6760 Metroplex, Romulus, Michigan 48174 Office Phone: 866-354-8963/Fax: 734-729-4830 Web Site: http://www.terracontracting.net/	<ul style="list-style-type: none">• Environmental Services

Memorandum

To: Township Board of Trustees

From: Scott Pacheco

Date: March 17, 2020

Re: Final Site Plan Review (SP18-002) to consider the major agricultural use including a wedding barn facility, u-pick operations, a farm markets at 5550 Strawberry Lake Road. (TID15-25-100-092).

PROJECT DESCRIPTION:

Consideration the site plan (SP18-002) associated with the approved Special Use Permit (SUP18-002) to allow a major agricultural commercial/tourism business on the 98-acre property at 5550 Strawberry Lake Road.

PROJECT HISTORY:

The Special Use Permit and Site Plan Review Applications (SUP18-002 and SP18-002) were originally reviewed by the Planning Commission at the December 19, 2018 public hearing. Prior to this original hearing the Township received eight letters on the project five in favor and three against. At this hearing 13 people talked during the public hearing process. Most of these people (11) stated concerns with the proposed project. The concerns discussed were mostly with the potential noise and traffic that the proposed use of the property would create. After hearing the public comments and reviewing the staff report, project plans, and application materials; the Planning Commission approved SUP18-002 on a 4 to 1 vote.

The approved SUP18-002 allowed the use of the 98-acre property at 5550 Strawberry Lake Road (TID 15-34-200-003) as a major agricultural commercial/tourism business. SUP18-002 included a u-pick apple orchard, u-pick pumpkin patch, corn-maze, raised gardens, nature-based kid play area, hiking trails, signs, a farm market structure where donuts and ice cream would be sold along with other items, a 200-person wedding barn, and other agricultural based amenities. The Planning Commission's special use permit approval included the following four waivers under section 8.29.8 of the zoning ordinance:

- The main sign can be attached to the entry feature at a height of 13.5' above grade
- A temporary sign can be displayed for more than 45 days per calendar year;
- The maximum number of attendees at an event at the wedding barn can be up to 200 people; and
- The maximum number of 30 events are allowed per year in the wedding barn.

The Planning Commission approval of the special use permit approval is linked to the Site Plan being approved.

At the December 19, 2018 hearing the Planning Commission tabled the site plan review application for the major agricultural commercial/tourism business and request the applicant provide the following additions information prior to final determination on the site plan was made:

- Plans for the wedding barn; including architectural plans and storm water drainage plans that include the wedding barn and gravel parking area;
- Lighting details and photometric plans for the entire site;
- Information showing water can be provided to the site to meet the Livingston County Health Department regulations, this information could be in the form of a letter from the Livingston County Public Health Department (LCHD), studies or test from your engineering or the LCHD or other information.

In January of 2020 the applicant submitted the additional information requested by the Planning Commission, along with some additional information and on February 19, 2020 the Planning Commission review and discussed the Site Plan application, SP18-002 (Attachment A), and recommended approval of the site plan as follows:

In the matter of the request for Site Plan approval for 5550 Strawberry Lake Road, SP18-002, to recommend approval of the Site Plan to the Township Board, subject to the following:

- A. The Planning Commission finding that the Special Land Use approval (SUP18-002) dated December 19, 2018, remains in effect, including all waivers granted, consisting of the number of events being limited to 30 events per calendar year, with a maximum of 200 attendees, with an annual administrative review of the special land use permit, and approval of signage, as submitted, subject to and in accordance with the approval of the Site Plan (SP18-002);
- B. Planning Commission findings that the standards of Section 4.4.3 of the Township Zoning Ordinance, as identified in the Planning and Zoning Staff Report, dated December 19, 2018, as set forth in Paragraphs A – L, Pages 18 through 22, and as identified in Tonights Planning and Zoning Staff Report on pages 7-12 subject to the following conditions:

1. The site plan shall include the following notes:
 - a. Hours of operation shall be limited to between 8:00 am and 11 pm; no amplified music shall be allowed after 10 pm; and, setup and cleanup of the event and workers and attendees to the event shall not arrive or leave the site before or after the hours of operation.
 - b. Events shall be required to meet the regulations of the Hamburg Township Noise Ordinance.
 - c. Adequate site and surrounding area clean-up shall be done within 48 hours following the event.
 - d. The agricultural use of the property must be started prior to the agritourism business. Meaning the crops shall be planted prior to site being uses for the agritourism use.
2. The site plan shall include the following notes and prior to issuance of a land use permit, the zoning department shall verify that the lighting complies with these notes:

- a. all light fixtures shall be fully shielded and must be directed downward toward the earth or building.
 - b. all outdoor lighting shall be turned off between 11:00 pm and sunrise and that all light fixtures used for security purposes are to be on motion detection devices.
 - c. The portable lights used shall be directed toward the ground and shall located on the site so a maximum of 0.5 footcandles is emitted at the property line.
 - d. The portable light shall meet the regulations under section 9.11 of the zoning ordinance.
3. Prior to issuance of a land use or building permit all local, county and state regulations will need to be reviewed and approved for this project. A list of the agencies that may be required to review this project including but are not limited to; the Livingston County Drain Commission, Road Commission, Building Department, and Health Department, and the Hamburg Township Engineer, Utilities and Fire Departments.
4. In addition to any other review from the building department, the building department shall also verify that all Federal and State requirements regarding handicapped parking, loading and access are met and that all other ADA requirements are met on the site.
5. If more than 50 cubic feet of grading will need to be done on this project a grading permit and plan shall be required. The grading shall be minimized and can be approved by staff as long as the grading plan respects the natural topography of the site to the maximum extent possible. If Staff is not comfortable approving the plan because of its scope it can be sent back to the Planning Commission for review as an amendment to the Special Use Permit.

The motion is made because the plan is otherwise in compliance with Article 3 and Article 4 of the Zoning Ordinance, and all other applicable provisions of the Ordinance.

The February 18, 2020 Planning Commission Staff Report and Minutes is attached to this Memorandum as Attachment B for Township Board review.

At the Planning Commission meeting the applicant discuss that the project would be built over time and that the all the uses would not be built and completed all at once. To better understand how the project will be built out over time the applicant has submitted a phasing plan (Attachment C) for the Township Board final review of the site plan. The applicant has proposed that site plan is proposed to be divided up into two phases. Phase 1 includes the front parking area, the u-pick pumpkin patch, the farm center, farm market building and all the associated improvements; and Phase 2 would be the Wedding Barn and all associated improvements. The apple orchard and the corn maze would be added when needed.

Staff believe that the Phase 1 and 2 of this project can stand alone. Meaning if Phase 1 is built but Phase 2 is not completed the project still has value to the community and the intent of the Aricultural Commercial/ Tourism Business regulations would still be met. Therefor staff believe that a timeframe is not necessary between the two phases and this can be reviewed during the

annual special land use permit process. However, staff has some concerns with the overall proposed phasing for the project. If phase 1 and phase 1 are completed with only the u-pick pumpkin patch as the farming activity of the property it does not appear that the intent of the Agricultural Commercial/ Tourism Business regulation of the zoning ordinance would be met. The intent of the Township allowing Agricultural Commercial/ Tourism Business are that these business would be complementary and accessory to the primary agricultural land use of the property.

Staff Suggestion:

At a minimum staff would suggest that prior to the use of the wedding barn on the property the apple trees for the orchard and the corn for the corn maze be planted. This would insure that more farming activities are located on the property in associated with the Agricultural Commercial/ Tourism Business use of the property. With this additional condition and the yearly review of the project via the land use permit process it can be reviewed that the use of the property continues to meet the intent of the approvals and the zoning regulations.

Since the Planning Commission meeting the applicant has been working with this the Livingston County Road Commission (LCRC) to provide an approvals for the entrance and exit from the site. The LCRC approval would be required prior to issuance of a land use permit and was discussed in the recommendation of approval from the Planning Commission in item 3:

“Prior to issuance of a land use or building permit all local, county and state regulations will need to be reviewed and approved for this project. A list of the agencies that may be required to review this project including but are not limited to; the Livingston County Drain Commission, Road Commission, Building Department, and Health Department, and the Hamburg Township Engineer, Utilities and Fire Departments.”

Due to the project being built in phases, the unknown quantity of the traffic due to the success of the use and that this type of use is fairly new and there are not many traffic models that can be used to accurately predict the volume of traffic that will be generated; the LCRC would like the Township Board to add the following addition condition (condition #6) to the project approval.

“Due to the project being built in phases, the unknown quantity of the traffic due to the success of the use and that this type of use is fairly new and there are not many traffic models that can be used to accurately predict the volume of traffic that will be generated; the Livingston County Road Commission(LCRC) will require review of the traffic on a yearly basis to determine either 1) when the left turn by-pass lane needs to be constructed or 2) if altering the hours of operation or the other restrictions can be applied to the site to eliminate the need for a left turn by-pass lane 3) if the alternative transportation measures (for example: shuttle busing) can be implemented to reduce the vehicle demand and eliminate the need for a left turn by-pass lane. The proprietor shall submit actual traffic counts taken during the peak hour on 3 separate peak season dates for review by the LCRC as a part of the required yearly review of the traffic. The review of the traffic should be done by the LCRC prior to the Township’s issuance of the yearly land use permit for the project.”

This condition would allow the LCRC review the traffic on a yearly basis. The benefits of this condition would be that the applicant would not need to do roadway improvements or other traffic calming tasks unless, based on the actual use of the site, those improvements or tasks are found to be necessary to actual traffic concerns. This will also allow the LCRC the ability to make sure the roadways continue to function as needed to keep traffic flowing.

Recommendation:

The Township Board should review the final site plan project and the recommendation to approve the final site plan application from the Planning Commission and either approve or deny the application.

The Planning Commission and staff recommends the Township Board approves the final site plan (SPA19-002) because the project with as conditioned by the Planning Commission complies with discretionary standards A through L for site plan review in Article 4.

Approval Motion:

In the matter of the request for Site Plan approval for 5550 Strawberry Lake Road, SP18-002, the Township Board approves the site plan (SP18-002) subject to the following:

- A. The Planning Commission finding that the Special Land Use approval (SUP18-002) dated December 19, 2018, remains in effect, including all waivers granted, consisting of the number of events being limited to 30 events per calendar year, with a maximum of 200 attendees, with an annual administrative review of the special land use permit, and approval of signage, as submitted, subject to and in accordance with the approval of the Site Plan;
- B. Township Board findings that the standards of Section 4.4.3 of the Township Zoning Ordinance, as identified in the Planning and Zoning Staff Report, dated December 19, 2018, as set forth in Paragraphs A – L, Pages 18 through 22, and as identified in the February 19, 2020 Planning and Zoning Staff Report on pages 7-12 and as discussed at the Planning Commission and Township Board meeting; subject to the following conditions:

1. The site plan shall include the following notes:

- a. Hours of operation shall be limited to between 8:00 am and 11 pm; no amplified music shall be allowed after 10 pm; and, setup and cleanup of the event and workers and attendees to the event shall not arrive or leave the site before or after the hours of operation.
- b. Events shall be required to meet the regulations of the Hamburg Township Noise Ordinance.
- c. Adequate site and surrounding area clean-up shall be done within 48 hours following the event.
- d. The agricultural use of the property must be started prior to the agritourism business. Meaning the crops shall be planted prior to site being used for the agritourism use.

2. The site plan shall include the following notes and prior to issuance of a land use permit, the zoning department shall verify that the lighting complies with these notes:

- a. all light fixtures shall be fully shielded and must be directed downward toward the earth or building.
 - b. all outdoor lighting shall be turned off between 11:00 pm and sunrise and that all light fixtures used for security purposes are to be on motion detection devices.
 - c. The portable lights used shall be directed toward the ground and shall located on the site so a maximum of 0.5 footcandles is emitted at the property line.
 - d. The portable light shall meet the regulations under section 9.11 of the zoning ordinance.
3. Prior to issuance of a land use or building permit all local, county and state regulations will need to be reviewed and approved for this project. A list of the agencies that may be required to review this project including but are not limited to; the Livingston County Drain Commission, Road Commission, Building Department, and Health Department, and the Hamburg Township Engineer, Utilities and Fire Departments.
4. In addition to any other review from the building department, the building department shall also verify that all Federal and State requirements regarding handicapped parking, loading and access are met and that all other ADA requirements are met on the site.
5. If more than 50 cubic feet of grading will need to be done on this project a grading permit and plan shall be required. The grading shall be minimized and can be approved by staff as long as the grading plan respects the natural topography of the site to the maximum extent possible. If Staff is not comfortable approving the plan because of its scope it can be sent back to the Planning Commission for review as an amendment to the Special Use Permit.
6. Because Phase 1 and Phase 2 of the project can act independently Phase 1 can be built first and Phase 2 can be built at any time in the future. This can be monitored through the annual review of the special land use permit. The project phasing shall require the planting of the apple tree for the apple orchard and the planting of the corn for the corn maze prior to the use of the wedding barn in Phase 2. That being said the apple orchard and the corn maze may be planted at any time prior to use of the wedding barn.
7. Due to the project being built in phases, the unknown quantity of the traffic due to the success of the use and that this type of use is fairly new and there are not many traffic models that can be used to accurately predict the volume of traffic that will be generated; the Livingston County Road Commission(LCRC) will require review of the traffic on a yearly basis to determine either 1) when the left turn by-pass lane needs to be constructed or 2) if altering the hours of operation or the other restrictions can be applied to the site to eliminate the need for a left turn by-pass lane 3) if the alternative transportation measures (for example: shuttle busing) can be implemented to reduce the vehicle demand and eliminate the need for a left turn by-pass lane. The proprietor shall submit actual traffic counts taken during the peak hour on 3 separate peak season dates for review by the LCRC as a part of the required yearly review of

the traffic. The review of the traffic should be done by the LCRC prior to the Township's issuance of the yearly land use permit for the project.

The motion is made because the plan is otherwise in compliance with Article 3 and Article 4 of the Zoning Ordinance, and all other applicable provisions of the Ordinance.

Attachments:

Attachment A: February 19, 2020 Planning Commission Staff Report including attachments

Attachment B: February 19, 2020 Draft Minutes

Attachment C: Proposed Phasing Plan

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To: Planning Commissioners
From: Scott Pacheco, AICP
Hamburg Township
Planning and Zoning Director
Date: February 19, 2020
Agenda Item: 6A
Project address: 5550 Strawberry Lake Road
(TID# 15-34-200-003)
Description: **Site Plan Review (SP 18-002)**
to consider the site plan associated with the approved Special Use Permit 18-002 to allow a major agricultural commercial/tourism business on the 98-acre property at 5550 Strawberry Lake Road.

Owner: Scott and Lauren Tharp

PROJECT HISTORY:

The Special Use Permit and Site Plan Review Applications (SUP18-002 and SP18-002) were originally reviewed by the Planning Commission at the December 19, 2018 public hearing. Prior to this original hearing the Township received eight letters on the project five in favor and three against. At this hearing 13 people talked during the public hearing process. Most of these people (11) stated concerns with the proposed project. The concerns discussed were mostly with the potential noise and traffic that the proposed use of the property would create. After hearing the public comments and reviewing the staff report, project plans, and application materials; the Planning Commission approved SUP18-002 on a 4 to 1 vote.

SUP18-002 allowed the use of the 98-acre property at 5550 Strawberry Lake Road (TID 15-34-200-003) as a major agricultural commercial/tourism business. SUP18-002 included a u-pick apple orchard, u-pick pumpkin patch, corn-maze, raised gardens, nature-based kid play area, hiking trails, signs, a farm market within a retail/restaurant structure where donuts and ice cream would be provided along with other items, a 200-person wedding barn, and other agricultural based amenities. The Planning Commission's special use permit approval included the following four waivers under section 8.29.8 of the zoning ordinance:

- The main sign can be attached to the entry feature at a height of 13.5' above grade
- A temporary sign can be displayed for more than 45 days per calendar year;
- The maximum number of attendees at an event at the wedding barn can be up to 200 people; and
- The maximum number of 30 events are allowed per year in the wedding barn.

At this hearing the Planning Commission tabled the site plan review application for the major agricultural commercial/tourism business and request the applicant provide the following additions information prior to final determination on the site plan was made:

- Plans for the wedding barn; including architectural plans and storm water drainage plans that include the wedding barn and gravel parking area;
- Lighting details and photometric plans for the entire site;
- Information showing water can be provided to the site to meet the Livingston County Health Department regulations, this information could be in the form of a letter from the Livingston County Public Health Department (LCHD), studies or test from your engineering or the LCHD or other information.

The December 19, 2018 Staff Report with exhibits (Exhibit A) and Meeting Minutes (Exhibit B) are attached to this report for your review.

PROJECT ANALYSIS:

The applicant has submitted a revised site plan (Exhibit C). The only changes on the recently submitted site plan (Feb 4, 2020) from the original site plan (October 25, 2018) are revisions to the location of the wedding barn, gravel parking, and gravel driveway; addition of the handicap parking areas, both at the farm market and the wedding barn; addition of drainage for the wedding barn and gravel parking area; and an increase in the size of the proposed farm market building. The applicant has also submitted new elevations and floor plans for the wedding barn and the farm market building (Exhibit D), a written description of the proposed lighting with a photometric study (Exhibit E), a letter from the LCPH regarding the water to the site and the soils evaluation for sub-surface sewage disposal (Exhibit F), review from the LCRC about the driveway access points (Exhibit G), a memo from the applicants better explaining the traffic that will be created from the site (Exhibit H) and a summary of the originally approved uses allowed on the property (Exhibit I).

The proposed changes have not significantly changed staffs comments in the December 19, 2018 staff report on the site plan review of the project. Where additional staff comment was warranted due to the newly submitted information staff has copied the zoning regulations and original analysis and included it in the following sections in blue followed by the revised staff comments in red. Below are the regulations and standards that have been affected by the new information's provided, all other regulations and standards are in staff report that was prepared for the December 19, 2018 planning Commission hearing (Exhibit A):

ZONING ANALYSIS:

The proposed Farm Market will be 2,840 square feet and 19'4" in height. The proposed Wedding Barn will be 8,800 square feet and 21'8" in height. Both of these buildings are not located near any property line and will meet all the required setbacks.

Table 1
Development Review Compliance Table

Criteria/Regulation	Required by Regulations	Proposed Project	Status
Section 9.11 Outdoor Lighting: The proposal includes 21 lights; 6 parking lot lights, 4 in the parking area near the roadway and two in the parking area by the wedding barn; 12 driveway lights that will be located along the commercial driveway between Strawberry Lake Road and the wedding barn; and 3 wall mounted lights on the Farm Market building. A clear plan showing the location of the lights was not submitted. Staff has created a plan showing the location of the lights. Lights marked P and Parking Lot Lights, lights marked D are Driveway lights and lights marked B are lights Mounted to the Buildings. The parking lot lights and the driveway lights will have a rural design similar to the light fixtures shown in item 7 A in the General Information packet submitted by the applicant (Exhibit B). However the parking lot lights will be mounted on 15 foot poles and the driveway lights will be mounted on 12 foot poles and will not be mounted on 25 foot poles as stated in the general information section 7 Lighting. The wall mounted building lights will also utilize a rural design similar to the light fixtures shown in item 7 B of the General Information packet submitted by the applicant (Exhibit B). Clear plans were submitted by the application showing the location and type of lights that are being requested. The light fixtures are provided in the written description of the proposed lighting and the light location are shown in Exhibit D and the location of the portable lights are shown on the revised site plan in Exhibit C. Three portable lights will be used to light the front parking area when needed. These lights will be downward facing and full cut and stand no taller than 15 feet in height. Nineteen downward facing, full cut, 15 foot tall, decorative fixed lights and poles will be located on the site. Two on the front corners of the farm market area, 12 along the gravel drive to the wedding barn and five in the wedding barn parking area. These light poles and fixtures will have a rural appearance to blend with the character of the use and the site.			

Criteria/Regulation	Required by Regulations	Proposed Project	Status
<p>Eight wall lights will be used; three on the farm market building and five on the wedding barns. The fixtures for these light are full cut and will be directed towards the ground. They also have a rural barn light appearance to blend with the character of the use and the site.</p> <p>Seasonal light and outdoor string lighting will also be used around the farm market building and outdoor seating areas.</p> <p>Gooseneck lights that will be directed at the sign and full cut will be used to illuminate the site on the Farm Market building.</p>			
<p>Section 9.11.4</p> <ol style="list-style-type: none"> <p>1. Exterior lighting shall be fully shielded and directed downward toward the Earths surface, away from residential uses, roads, glass, water or other reflective materials which would create excessive off-site glare or incident rays.</p> <p>The exact light fixtures have not yet been chosen for the proposed lighting</p> <p>The final site plan shall include a note that states all light fixtures shall be fully shielded and must be directed downward toward the earth or building.</p> <p>Most of the proposed light fixtures appear to be fully shielded and directed downward to the earth surface.</p> <p>2. The Zoning Administrator and/or Planning Commission may approve decorative light fixtures as an alternative to shielded fixtures when it can be proven that there will be no off-site glare and the proposed fixtures will improve the appearance of the site.</p> <p>The exact light fixtures have not yet been chosen for the proposed lighting.</p> <p>The final site plan shall include a note that states that the proposed lights shall be designed so there is no off-site glare.</p> <p>The light fixture proposed all have a rural appearance and will be compatible with the farm use and design of the project. Also as stated before the proposed light fixtures are mostly shielded. The photometric plan shows that there will be no lighting that will shine off site.</p> <p>3. Lights on poles shall not be taller than the building whose area they illuminate nor taller than fifteen (15) feet whichever is shorter. Lights on poles may exceed fifteen (15) feet up to twenty (20) feet if the fixtures are located a minimum of seventy-five (75) feet from any planned, zoned or used residential areas.</p> <p>The lights proposed as a part of this project will not be on poles greater than 15 feet in height.</p> 			

Criteria/Regulation	Required by Regulations	Proposed Project	Status
<p>The final site plan shall include a note that states no lights shall be installed on pole greater than 15 feet in height.</p> <p>No new comments.</p> <p>4. Lighting shall not be of a flashing, moving or intermittent type. None of the proposed lighting is flashing, moving or intermittent.</p> <p>No new comments.</p> <p>5. Except where used for security purposes, all outdoor lighting fixtures, existing or hereafter installed and maintained shall be turned off between 11:00 p.m. and sunrise, except when used for commercial and industrial uses, such as in sales, assembly and repair areas, where such use is open for business after 11:00 p.m. but only for so long as such use open for business. Businesses with light fixtures used for security purposes are encouraged to use a motion detection devise which is directed to detect motion within the property. The final site plan shall include a note that states all outdoor lighting shall be turned off between 11:00 pm and sunrise and that all light fixtures used for security purposes are to be on motion detection devises.</p> <p>No new comments.</p> <p>6. Any light fixture must be placed in such a manner that no light emitting surface is visible from any residential area or public/private roadway, walkway, trail or other public way when viewed at ground level. The exact light fixtures have not yet been chosen for the proposed lighting.</p> <p>The final site plan shall include a note that states all outdoor lighting must be placed in such a manner that no light emitting surface is visible from any residential area or public/private roadway, walkway, trail or other public way when viewed at ground level</p> <p>The proposed light fixtures have been submitted and directed towards the ground. However, because the proposed lights for the front parking areas are portable and movable staff would suggestion that a condition be included that requires these light be placed on the property so that any light emitted from these lights not exceed the maximum allowed 0.5 footcandles at the property line.</p> <p>Staff Suggestion: The portable lights used shall be directed toward the ground and shall located on the site so a maximum of 0.5 footcandles is emitted at the</p>			

Criteria/Regulation	Required by Regulations	Proposed Project	Status
<p>property line.</p> <p>7. The intensity of light within a site shall not exceed ten (10) footcandles or one (1) footcandle at any property line, except where it abuts a residentially used or zoned site whereby a maximum of 0.5 footcandles is permitted. The only exception is with gas station canopy and automobile dealership lighting, where a maximum of twenty (20) footcandles is permitted within the site but the above standards shall apply to intensity at the property line.</p> <p>Prior to issuance of a land use permit the applicant shall submit a light study that shows this standard is met.</p> <p>A photometric plan has been submitted. The plan shows that no lights will be places on the site so the light exceeds the maximum of 0.5 footcandles at the property line and that no light exceeds 10 footcandles at the ground level.</p> <p>Lighting Recommended Conditions:</p> <p><u>If the Planning Commission approved this project staff suggest that the following be made conditions of project approval:</u></p> <ol style="list-style-type: none"> 1) <u>The final site plan shall include the following notes and prior to issuance of a land use permit the zoning department shall verify that the lighting complies with these notes:</u> <ol style="list-style-type: none"> a) <u>all light fixtures shall be fully shielded and must be directed downward toward the earth or building.</u> b) <u>the proposed lights shall be designed so there is no off-site glare</u> c) <u>no lights shall be installed on pole greater than 15 feet in height.</u> d) <u>all outdoor lighting shall be turned off between 11:00 pm and sunrise and that all light fixtures used for security purposes are to be on motion detection devises.</u> e) <u>all outdoor lighting must be placed in such a manner that no light emitting surface is visible from any residential area or public/private roadway, walkway, trail or other public way when viewed at ground level</u> 2) <u>Prior to issuance of a land use permit by the Zoning Department a lighting study shall be completed that shows that light within a site shall not exceed ten (10) footcandles or one (1) footcandle at the property line, except where it abuts a residentially used or zoned site whereby a maximum of 0.5 footcandles is permitted.</u> <p><u>If the Planning Commission approved this project staff suggest that the following be made conditions of project approval:</u></p> <ol style="list-style-type: none"> 3) <u>The final site plan shall include the following notes:</u> <ol style="list-style-type: none"> a) <u>all light fixtures shall be fully shielded and must be directed downward toward the earth or building.</u> b) <u>all outdoor lighting shall be turned off between 11:00 pm and sunrise</u> 			

Criteria/Regulation	Required Regulations	by Proposed Project	Status
	<p><u>and that all light fixtures used for security purposes are to be on motion detection devises.</u></p> <p>c) <u>The portable lights used shall be directed toward the ground and shall located on the site so a maximum of 0.5 footcandles is emitted at the property line.</u></p>		

STANDARDS FOR APPROVAL:

Section 4.4.3. Standards for Site Plan Review.

A. The proposed development conforms to all provisions of the Zoning Ordinances.

Please see the “Table 1 Development Review Compliance Table” on pages 2-13 for analysis on the project compliance and consistency with the intent and purpose of the Township’s Zoning Ordinance.

No new comments.

B. All required information has been provided.

The applicant has submitted examples photos of the type of building that will be used for the Wedding Barn the size of the wedding barn 60 feet by 100 feet. Staff suggests that the use of the wedding barn be reviewed and a decision be made on the use. If the planning commission approves the use the design for the wedding barn should be reviewed by staff prior to final approval of a land use permit for this building.. The design shall meet all the zoning district regulations and shall look similar to the photos submitted. .

It appears that there is adequate information for the Planning Commission to make a determination on this project.

The applicant has submitted the additional information as requested by the Planning Commission at the December 18, 2018 hearing:

- 1) Final Site Plan (Exhibit C),
- 2) New elevations and floor plans for the wedding barn and the farm market building (Exhibit D),
- 3) A written description of the proposed lighting with a photometric study (Exhibit E),
- 4) A letter from the LCPH summarizing the information about the water to the site and the soils evaluation for the sub-surface sewer disposal (Exhibit F),
- 5) Review from the LCRC about the driveway access points (Exhibit G)
- 6) A memo from Fleis and VandenBrink the applicant traffic engineer, which explains the on and off site traffic generation (Exhibit H) and
- 7) A summary of the originally approved use of the property (Exhibit I)

C. The movement of vehicular and pedestrian traffic within the site and in relation to access streets and sidewalks will be safe and convenient.

Most of the parking for the uses other than the wedding barn will be at the front of the site so there will not be a lot of vehicles moving through this site on a normal day. It appears that the site will be safe and convenient for pedestrian traffic.

Staff Suggestion:

If the Planning Commission approved this project staff suggest that prior to issuance of a building permit the building department will verify that all Federal and State requirements ADA requirements are met.

Please review the memo from Fleis and VandenBrink (Exhibit H) which explains the on and off site traffic generation from the proposed use. This memo shows that although *“there are a few weeks in the late summer-early fall when the traffic volumes will increase”* due to the proposed use *“the overall impact of this site is 38% less than what would be expected from a single-family development on this site”*.

The memo also suggest some item to allow for safe vehicular and pedestrian traffic under the Traffic Operation Plan on pages 3 and 4 of the memo. These suggestions should be implemented as a part of this project.

D. The proposed development will be harmonious with existing and future uses in the immediate area and the community.

See analysis under standard B on page 14 above.

All the improvements proposed including the wedding barn, the farm market building, the light fixtures, the fencing, the signage and others will have a rural agricultural appearance. The lighting will meet all the Township regulations and will not cast light off site. The proposed building are located on the site so that they are not near any of the surrounding residential properties. The main use area of the site is centrally located on the site to further reduce any possible impacts on the adjacent properties. It appears that the proposed development will be harmonious with existing and future uses in the immediate area and the community.

E. The proposed development provides the necessary infrastructure improvements, such as roads, drainage, pedestrian facilities and utilities, to serve the site, and be adequately coordinated with the current and future use of adjacent properties.

The proposed building will be over 400 feet from the sewer line that runs along Strawberry Lake Road, therefore the Township Regulation do not require these building be connected to the public sewer line. However, it is suggested by the Township Engineer that because of the proposed use that it be hook up. The applicant has received preliminary approval of the driveway location for the commercial use of the site. There are no existing trails in the area to connect to.

Staff Suggestion

If the Planning Commission approved this project staff suggests that prior to issuance of the land use permit for the wedding barn a storm water plan shall be submitted and approved by the Township Engineer.

The applicant has submitted proposed drainage for the wedding barn and gravel parking area on the site plan. These plans have been review by the Township Engineer (Exhibit J).

Staff Suggestion:

Prior to issuance of a land use permit the project plans will need to be approved by the Township Engineer.

- F. The applicable requirements of Township, County and State agencies are met regarding grading and surface drainage and for the design and construction of storm sewers, storm water holding facilities, water mains, and sanitary sewers.**
To limit the impact of the project on the surface drainage and storm water runoff there is very little new impervious area used. The front parking areas will be mowed grassy areas and the roadway will be a gravel driveway. The only areas that will add impervious areas to the site are the footprints of the wedding barn and farm market building and the concrete patio infront of the farm market building.

Suggested Conditions:

Prior to issuance of a land use or building permit all local, county and state regulations will need to be reviewed and approved for this project. A list of the agencies that may be required to review this project including but are not limited to; the Livingston County Drain Commission, Road Commission, Building Department, and Health Department, and the Hamburg Township Engineer, Utilities and Fire Departments.

New comments from the Fire District where received (Exhibit K).

- G. Natural resources will be preserved to the maximum extent possible in the site design by developing in a manner which will not detrimentally affect or destroy natural features such as lakes, ponds, streams, wetlands, steep slopes, and woodlands.**

The subject site is large and the nature of the project is to maintain a rural agricultural appearance to the property. Trees will be removed but only when necessary to create the uses area. The area of the property that will not be used for the agricultural commercial/tourism business will remain as it exists.

The revised site plan shows the final location of the improvements. The closest improvement will be over 250 feet the wetlands on the property.

- H. The proposed development shall respect the natural topography to the maximum extent possible by minimizing the amount of cutting, filling, and grading required.**

The proposed project has utilized the site to reduce the amount of grading that will be needed. The areas used for the Parking Area, Farm Center, and Corn Maze has

been located on the flat areas of the site. No grading plan has been provided for the project so it appears that less than 50 cubic feet of grading will be necessary to create this project.

Staff Suggestion:

If more than 50 cubic feet of grading will need to be done on this project the grading shall be minimized and can be approved by staff as long as the grading plan respects the natural topography of the site to the maximum extent possible. Staff can require the plan be review by the Planning Commission if needed.

No new comments.

I. The proposed development will not cause soil erosion or sedimentation.

As a part of the Building Permit process the Livingston County Drain Commission (LCDC) will require a soil erosion or sedimentation control permit prior to issuance of a building permit.

No new comments.

J. Landscaping, including trees, shrubs and other vegetative material is provided to maintain, improve and/or restore the aesthetic quality of the site.

The project does not proposed any new landscaping. However because of the location and size of the property and the abundance of existing vegetation that will remain on the site, it does not appear that additional landscaping will be needed to restore the aesthetic quality of the site.

No new comments.

K. Conformance to the adopted Hamburg Township Engineering and Design Standards. (Amended 3/10/87)

Please see the attached Comments for the Township Engineer (Exhibit J).

Staff Suggestion:

If the Planning Commission approved this project staff suggests that prior to issuance of the land use permit the site plan shall be approved by the Township Engineer.

No new comments.

L. All proposed commercial, office, industrial, institutional and multiple family development shall utilize quality architecture to ensure that buildings are compatible with surrounding uses, protect the investment of adjacent landowners, blend harmoniously into the streetscape and meet the objectives the Township Master Plan. New buildings, additions and renovations shall be designed to preserve or complement the design character of existing development provide visual harmony between old and new buildings, and create a positive image for the Township's various commercial shopping nodes.

Commercial, office, industrial, institutional and multiple family architecture shall be reviewed by the Planning Commission under the following criteria:

- 1. Buildings shall front towards and relate to the public street. Buildings shall be located to create a define streetscape through uniform setbacks and proper relationship to adjacent structures. Proper relationship to existing structures in the area shall be maintained through building mass, proportion, scale, roof line shapes and rhythm. Buildings within the area designated on the M-36 Corridor Plan/Master Plan as the "Hamburg Village" shall be compatible with the historic character of the unincorporated place commonly referred to as the "Old Hamburg Village."**
Because of the nature and location of the proposed agricultural commercial/tourism business the farm market building and wedding barn are designed and located on the site to interact with other improvements on the site. There are not other commercial buildings in the area.

No new comments.

- 2. Building materials and colors shall relate well and be harmonious with the surrounding area. Roof shape and materials shall be architecturally compatible with adjacent buildings and enhance the predominant streetscape. For any side of a principal building facing a public or private street, at least fifty percent (50%) of the facade shall be constructed of, or covered with, the following materials:**
 - a. Brick;**
 - b. Fluted or scored concrete block;**
 - c. Cut stone;**
 - d. Vinyl siding;**
 - e. Wood siding;**
 - f. Glass; or,**
 - g. Other materials similar to the above as determined by the Planning Commission.**

The farm market building will be a 1408 square foot building with a 256 square foot front porch on it. The building is designed with a rural farm building appearance and utilizes board and baton siding.

The wedding barn will be a 6000 square foot building and will have a western horse barn appearance with a taller center area with lean too area on either side. These barn also utilize the board and baton siding.

The colors of these building will be red or natural wood color.

The Farm Market Building has been enlarged and will be 2,840 square feet. The design is still similar to the original and will have a rural, farm building appearance as stated above.

The Wedding Barn will be 8,800 square feet and will have a classic raised monitor barn style with a taller center area with shorter lean too type areas on either side.

3. **Buildings shall possess architectural variety, but enhance the overall cohesive community character. Buildings shall provide architectural features, details and ornaments such as archways, colonnades, towers, cornices or peaked roof lines.**

These building are designed to have a farm type appearance which will enhance the overall cohesive community character.

No new comments.

4. **Building walls over 100 feet in length shall be broken up with a combination of the following: varying building lines, windows, architectural accents and trees.**

No building walls will be over 100 feet in length.

The longest building wall is on the wedding barn and it is 100 feet in length. Because of the location of the barn on the site it will not be visible from off site. There are windows and large doors on the long wall lengths that help to break up the elevations. The wedding barn is designed with a raised monitor barn style which also helps to break up this long wall elevation.

5. **Building entrances shall utilize windows, canopies and awnings; provide unity of scale, texture, and color; and provide a sense of place.**

The proposed building entrances do utilize windows, canopies and awnings; provide unity of scale, texture, and color; and provide a sense of place.

No new comments.

6. **Where the rear facade of a building will be visible from a residential zoning district, or the rear of the site will be used for public access or parking, such rear facade shall be constructed to a finished quality comparable to the front facade.**

The rear façade of the proposed building will not be visible from the surrounding properties. However the construction and finished on the rear facades of the proposed building will remain high quality.

No new comments.

7. **Signs, landscaping, lighting and other site elements shall be coordinated and compatible with the building design, as well as harmonious with other nearby developments. Developments shall provide site features such as decorative entry signs, ornamental lighting, pedestrian plazas and/or pedestrian furniture.**

The proposed sign, fencing, play equipment, and other improvements that are proposed as a part of this project all have a farm type theme and appearance. All of the improvements are proposed to be built out of high quality materials.

No new comments.

RECOMMENDATION:

The Planning Commission should review the project and make a recommendation to (approve/deny) the project to the Township Board. In the review of the project the Planning Commission should consider if the project meets the discretionary standards listed above and discussed in the originally December 19, 2018 Staff Report.

EXAMPLE MOTIONS:

The following motion has been prepared by the Township Attorney for review by the Planning Commission:

Approval Motion

In the matter of the request for Site Plan approval for 5550 Strawberry Lake Road, SP18-002, to recommend approval of the Site Plan to the Township Board, subject to the following:

- A. The Planning Commission finding that the Special Land Use approval (SUP18-002) dated December 19, 2018, remains in effect, including all waivers granted, consisting of the number of events being limited to 30 events per calendar year, with a maximum of 200 attendees, with an annual administrative review of the special land use permit, and approval of signage, as submitted, subject to and in accordance with the approval of the Preliminary Site Plan;
- B. Planning Commission findings that the standards of Section 4.4.3 of the Township Zoning Ordinance, as identified in the Planning and Zoning Staff Report, dated December 19, 2018, as set forth in Paragraphs A – L, Pages 18 through 22, and as identified in Tonights Planning and Zoning Staff Report on pages 7-12subject to the following conditions:

1. The site plan shall include the following notes:
 - a. Hours of operation shall be limited to between 8:00 am and 11 pm; no amplified music shall be allowed after 10 pm; and, setup and cleanup of the event and workers and attendees to the event shall not arrive or leave the site before or after the hours of operation.
 - b. Events shall be required to meet the regulations of the Hamburg Township Noise Ordinance.
 - c. Adequate site and surrounding area clean-up shall be done within 48 hours following the event.
 - d. The agricultural use of the property must be started prior to the agritourism business. Meaning the crops shall be planted prior to site being uses for the agritourism use.
2. The site plan shall include the following notes and prior to issuance of a land use permit, the zoning department shall verify that the lighting complies with these notes:

- a. all light fixtures shall be fully shielded and must be directed downward toward the earth or building.
 - b. all outdoor lighting shall be turned off between 11:00 pm and sunrise and that all light fixtures used for security purposes are to be on motion detection devices.
 - c. The portable lights used shall be directed toward the ground and shall located on the site so a maximum of 0.5 footcandles is emitted at the property line.
3. Prior to issuance of a land use or building permit all local, county and state regulations will need to be reviewed and approved for this project. A list of the agencies that may be required to review this project including but are not limited to; the Livingston County Drain Commission, Road Commission, Building Department, and Health Department, and the Hamburg Township Engineer, Utilities and Fire Departments.
4. In addition to any other review from the building department, the building department shall also verify that all Federal and State requirements regarding handicapped parking, loading and access are met and that all other ADA requirements are met on the site.
5. If more than 50 cubic feet of grading will need to be done on this project a grading permit and plan shall be required. The grading shall be minimized and can be approved by staff as long as the grading plan respects the natural topography of the site to the maximum extent possible. If Staff is not comfortable approving the plan because of its scope it can be sent back to the Planning Commission for review as an amendment to the Special Use Permit.

The motion is made because the plan is otherwise in compliance with Article 3 and Article 4 of the Zoning Ordinance, and all other applicable provisions of the Ordinance,

Exhibits:

Exhibit A: December 19, 2018 Staff Report

Exhibit B: December 19, 2018 Meeting Minutes

Exhibit C: Site Plans

Exhibit D: Wedding Barn and Farm Market Building Floor Plans And Elevations

Exhibit E: Lighting Description and Photometric Study

Exhibit F: LCPH water and sewer letter

Exhibit G: LCRC Driveway review letter

Exhibit H: Fleis and VanderBrink Traffic Memo

Exhibit I: Summary of approved uses

Exhibit J: Hamburg Township Engineering Review Letter

Exhibit K: Hamburg Township Fire Department Review Letter

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To: Planning Commissioners

From: Scott Pacheco, AICP
Hamburg Township
Planning and Zoning Director

Date: December 19, 2018

Agenda Item: 7A

Project address: 5550 Strawberry Lake Road
(TID# 15-34-200-003)

Description: **Special Use Permit (SUP 18-002) and Site Plan Amendments (SP 18-001)**
Public Hearing to consider allowing a major agricultural commercial/tourism business on the 98-acre property at 5550 Strawberry Lake Road.

Owner: Scott and Lauren Tharp

PROJECT DESCRIPTION:

The proposed project will be a major agricultural commercial/tourism business on the 98-acre property at 5550 Strawberry Lake Road (TID 15-34-200-003). The proposed business will include a u-pick apple orchard, u-pick pumpkin patch, corn-maze, raised gardens, nature-based kid play area, hiking trail, a sign, a farm market building where donuts and ice cream will also be provided along with other items, a 300-person wedding barn, and other agricultural based amenities.

Major agricultural/ tourism businesses are allowed in the Low Density Rural Residential Zoning District (RAA) with approval of a Special Use Permit (Section 7.5.1 (B)) and compliance the regulations in Section 8.29 of the zoning ordinance. Section 8.29.8 provides the Planning Commission with the ability to waive or modify any of the regulations in Section 8.29, provided certain criteria are met. The project applicants are requesting that the Planning Commission allow the following waivers to the Agricultural Commercial/Tourism Business regulations:

- 1) The main sign is proposed to be 20 square feet and attached to the entry gate at 13 feet above grade where the regulations require that a non-residential sign in a residential district

be either a wall or monument sign and be a maximum of 20 square feet in size. Monument signs are restricted to 6 feet in height.

- 2) A temporary sign (vinyl and attached to the front farm fence) is proposed to be approximately 15 square feet but may be allowed at any time during the year where the regulations allow a 20 square foot temporary signs to be up a maximum of 45 days.
- 3) The number of attendees of an event in the event barn shall be limited to 300 people where the regulations limit maximum number of attendees for an event to 150 persons, or the maximum occupancy of the space where the event is held, whichever is less (Section 8.29.7 (D)(3)), and the number of events in the barn shall be limited to 30 events per calendar year where the regulations limit the maximum number of events to no more than 20 events per calendar year (Section 8.29.7.(D)(1)).
- 4) No yearly approval and review of the special land use permit shall be required where the regulations require yearly review of the special land use permit by the Zoning Administrator and if deemed necessary the Planning Commission (Section 8.29.7 (D)(7)).

ZONING ANALYSIS:

The below table summarizes all the zoning regulations that apply for the proposed project

Table 1
Development Review Compliance Table

Criteria/Regulation	Required Regulations	by Proposed Project	Status
RAA Setbacks:			
Front Yard:	30'	30'	✓
Rear Yard:	35'	>1000'	✓
(W)Minimum Side:	20'	585'	✓
(E)Minimum Side:	20'	100'	✓
Number of Stories/ Height	2.5 story/ 35 feet	1 story/17 feet	✓
Lot Size:	2 acres	98 acres	✓
Lot Coverage:			
Building:	20% of Lot Size	<20%	✓
Total Impermeable:	20% of Lot Size	<20%	✓
Section 8.29 Agricultural Commercial/ Tourism Business Regulations:			
8.29.5 Supplemental Regulations – All Agricultural Commercial/Tourism Business Types. The following supplemental regulations are required for all Major and Minor Agricultural Commercial/Tourism Business Type uses in 8.29.3 and 8.29.4:			
A. Must be an accessory use to a residential use of the property.			
B. Buffer plantings may be required along the property line where there is an abutting residentially zoned			✓

Criteria/Regulation	Required by Regulations	Proposed Project	Status
	property. Greenbelt transition strips are intended to screen views of the proposed operation from the adjacent home or property. Buffer plantings shall meet the standards of Section 9.4.6 Greenbelts and Buffer Zones.		✓
C.	Must provide off-street parking to accommodate use as outlined in Article 10 Off Street Parking and Loading.		
1.	Parking facilities may be located on a grass or gravel area for seasonal uses such as farm markets, u-pick operations, and agricultural mazes.		✓
2.	All parking areas shall be defined by either gravel, cut lawn, sand, or other visible marking.		✓
3.	All parking areas shall be located in such a manner to avoid traffic hazards associated with entering and exiting the public roadway.		✓
4.	Paved or unpaved parking areas shall not be located in required setbacks or buffer areas.		✓
5.	Paved or gravel parking areas must meet all storm water management design and landscape screening requirements as set forth in this Zoning Ordinance.		See engineering comments
D.	<u>Hours of operation shall be limited to between 8:00 am and 11 pm. No amplified music shall be allowed after 10 pm; setup and cleanup of the event and workers and attendees to the event shall not arrive or leave the site before or after the hours of operation.</u>		Shall be noted on site plan
E.	Signs must meet the regulations for the zoning district. (Article 18)		Requested Waiver
F.	All other local, state, and federal regulations apply.		
8.29.7 Supplemental Regulations – Major Agricultural Commercial/Tourism Business Types.			See Suggested Condition
A.	Minimum lot area of 40 acres		✓
B.	All uses permitted by this section shall be accessed on a public Arterial roadway within the Township with the condition that the increase in traffic shall not		✓

Criteria/Regulation	Required by Regulations	Proposed Project	Status
	create a nuisance, to nearby residents by way of traffic or noise or increase the public cost in maintaining the roadway.		
C.	A one hundred (100)-foot open buffer shall be provided on all sides between the nearest location of the activity to the nearest adjacent residential property. Agricultural Commercial/Tourism Business activities shall not be allowed within this buffer area. Where possible, crops shall remain within this buffer area to help maintain the agricultural character of the site.	✓	
D.	Agricultural Commercial/Tourism Business that hold weddings, outdoor and indoor concerts and other events with attendance greater than 40 people shall meet the following regulations:		
	1. Maximum duration: No more than 20 events shall be allowed on a site per calendar year.		Requesting waiver
	2. <u>Noise: Events shall be required to meet the regulations of the Hamburg Township Noise Ordinance.</u>		Shall be noted on site plan
	3. Number of Attendees: Events shall be limited to a maximum of 150 persons, or the maximum occupancy of the space where the event is held, whichever is less.		Requesting Waiver
	4. Distance to neighboring structures: If an event is held outdoors all temporary structures and outdoor venues shall meet the open buffer setback listed above.	✓	
	5. <u>Clean-Up. Adequate site and surrounding area clean-up shall be done within 48 hours following the event.</u>		Shall be noted on site plan
	6. Lighting. All exterior lighting shall be so installed that the surface of the source of light shall not be visible from the nearest residential district boundary and it shall be so arranged to reflect light away from any residential use. In no case shall any lighting become a nuisance as regulated in the Township Nuisance Ordinance. Lighting shall meet the applicable requirements under section 9.11 Outdoor Lighting.		(see Lighting)
	7. Yearly Approval: In addition to the initial Special Land Use Permit, the owners of the establishment shall submit a land use permit		Requesting waivers

Criteria/Regulation	Required by Regulations	Proposed Project	Status
	<p>application on a yearly basis which includes the following information for the Zoning Administrator to review. Should the Zoning Administrator deem necessary, the yearly application may be sent to the Planning Commission for consideration.</p> <ul style="list-style-type: none"> a. A list of the approximate dates that the venue will be used for events including the type of event, b. A plot plan that depicts the location of all event venues, bathroom facilities, parking, drop off areas, and any other information deemed by the Zoning Administrator to be necessary in the review of the project, c. The name and phone number of a contact person that will be at the events. d. A signed agreement with the property owner of any land to be used for off-site parking. e. Any of the requirements in a-d above may be altered, as necessary, to meet the requirements of the special use permit process. (Hamburg Zoning Ordinance, section 3.5). 		
<p>Section 8.29 Agricultural Commercial/ Tourism Business</p> <p>The following are the regulations of section 8.29 that the applicant has requested the Planning Commission grant a waiver from in bold followed by what the applicant has proposed:</p> <p>1) Signs must meet the regulations for the zoning district under Article 18;</p> <p>The code allows a commercial uses on a residential properties to have one permanent, 20 square foot, monument sign no greater than 6 feet in height. The applicant has proposed one permanent, 20 square foot sign to hang off a rustic post and beam entry feature at 13 feet in height.</p> <p>The code allows 20 square foot of temporary signage to be up a maximum of 45 days per calendar year. The applicant has proposed a 15 square foot temporary sign (vinyl and attached to the front farm fence) to be allowed at any time during the year without restrictions.</p>			

Criteria/Regulation	Required by Regulations	Proposed Project	Status
<p>2) Agricultural Commercial/Tourism Business that hold weddings, outdoor and indoor concerts and other events with attendance greater than 40 people shall meet the following regulations: Maximum duration: No more than 20 events shall be allowed on a site per calendar year.</p> <p>The code allows for no more than 20 events per calendar year. The applicants have requested that they be allowed to hold 30 events per year.</p>			
<p>3) Agricultural Commercial/Tourism Business that hold weddings, outdoor and indoor concerts and other events with attendance greater than 40 people shall meet the following regulations: Number of Attendees: Events shall be limited to a maximum of 150 persons, or the maximum occupancy of the space where the event is held, whichever is less.</p> <p>The code allows a maximum attendance of 150 persons per event. The applicants have requested a maximum attendance of 300 persons per event.</p>			
<p>4) Agricultural Commercial/Tourism Business that hold weddings, outdoor and indoor concerts and other events with attendance greater than 40 people shall meet the following regulations: Yearly Approval: In addition to the initial Special Land Use Permit, the owners of the establishment shall submit a land use permit application on a yearly basis which includes the following information for the Zoning Administrator to review. Should the Zoning Administrator deem necessary, the yearly application may be sent to the Planning Commission for consideration.</p> <p>a) A list of the approximate dates that the venue will be used for events including the type of event,</p> <p>b) A plot plan that depicts the location of all event venues, bathroom facilities, parking, drop off areas, and any other information deemed by the Zoning Administrator to be necessary in the review of the project,</p> <p>c) The name and phone number of a contact person that will be at the events.</p> <p>d) A signed agreement with the property owner of any land to be used for off-site parking.</p> <p>e) Any of the requirements in a-d above may be altered, as necessary, to meet the requirements of the special use permit process. (Hamburg Zoning Ordinance, section 3.5).</p> <p>The code requires that a yearly review of the project be conducted by the Zoning Administrator to make sure the project is following their approval requirements. This is done through the submittal of a yearly Land Use Permit. The applicants have requested no yearly review of the project be conducted.</p>			

Criteria/Regulation	Required by Regulations	Proposed Project	Status
<p>Section 8.29.8 Planning Commission Waivers</p> <p>The Planning Commission is allowed to waive the regulations of section 8.29 if the project as proposed meets the standards in section 8.29.8 Planning Commission Waiver. The following are the applicable standards in Bold followed by staff analysis of the project.</p> <p>A. The applicant provides all requested information and pays all applicable application and review fees, to be determined by the Township Board Fee Schedule.</p> <p>The applicant has submitted examples photos of the type of building that will be used for the Wedding Barn and the size of the wedding barn 60 feet by 100 feet. Staff suggests that the use and design of the wedding barn be reviewed and a decision be made on the use. If the Planning Commission approves the use and the design for the wedding barn, the official plans can be reviewed by staff prior to final approval of a land use permit for this building.. The design shall meet all the zoning district regulations and shall look similar to the photos submitted. .</p> <p>It appears that there is adequate information for the Planning Commission to make a determination on this project.</p> <p>B. The proposed Commercial/ Agricultural Tourism Business does not endanger the public health, safety, and welfare of the community.</p> <p>The Agricultural Commercial/Tourism Business proposed will be required to have approvals of all necessary state and federal agencies prior to issuance of a building permit. Some of the agency approvals required include but are not limited to Livingston County Health Department, Livingston County Drain Commission, Livingston County Road Commission, Livingston County Building Department, and the Hamburg Township Fire Department.</p> <p>Because of the large size of the site, the location of the more intense uses to the interior of the site and the extensive area for off street parking; it does not appear that the proposed business or the required waivers would endanger the public health, safety, and welfare of the community.</p> <p>C. A Commercial/ Agricultural Tourism Business that meets the required regulations of this Article would not meet the needs of the use on the subject site.</p> <p>The applicants have requested the proposed waivers from the regulations on the size, number and yearly review of the events based on the fact that the property where the proposed use will be located is very large approximately 98 acres based on the assessors records and the proposed wedding barn will be over 500 feet from a property line on the site and even farther from an adjacent neighbor.</p>			

Criteria/Regulation	Required Regulations	by Proposed Project	Status
	<p>More events per year with more people in attendance will likely make the project more profitable but it is unclear if the required number and size of event will not meet the needs of the project.</p> <p>Hamburg Township has restricted the Sunset Cove bed and breakfast to twenty, 150 person, events per year and has not yet received a request to increase the number or size of these events. As noted the site in which this bed and breakfast is located is much smaller than this site.</p>		
<p>D.</p>	<p>The Commercial/ Agricultural Tourism Business utilizes a well thought out layout, high quality materials and design.</p> <p>The subject site lot is large. The layout of the proposed business and uses is well thought out; with the more intensive uses including the parking areas, market building, farm center, and wedding barn towards the middle of the site surrounded by existing vegetation and less intense uses; including the u-pick apple orchard, the corn maze and the existing home. At a minimum there is a 100' buffer of existing landscaping is located between these less intense uses and the property lines.</p> <p>The materials and designs of the structure and other equipment appears to be high quality. However, there is no design for the proposed wedding barn.</p>		
<p>E.</p>	<p>The Commercial/ Agricultural Tourism Business shall be in harmony and consistent with the architecture of the surrounding building and relate to the features of these building in terms of location, scale, size, color, lettering, materials, and texture.</p> <p>The proposed sign has a rural design that will blend well with the existing neighborhood along Strawberry Road.</p> <p>The proposed building (farm market and wedding barn) will have a rural design and appearance, the other proposed structures (split rail fencing, play equipment, lights, and animal enclosures) will also have a rural design and appearance and will relate to the architecture of the surrounding buildings.</p>		
<p>F.</p>	<p>The Commercial/ Agricultural Tourism Business shall be consistent with the character of the surrounding area.</p> <p>The sign and building designs will be consistent with the character of the surrounding area; however, I am concerned that the requested higher use of the property for events (30 per year and 300 people per event) may not be consistent with the character of the surrounding area; because of the greater traffic impacts on the roadway and the greater noise and other impacts that may be created for the adjacent property owners.</p> <p>If the Planning Commission wishes to approve this agricultural</p>		

Criteria/Regulation	Required by Regulations	Proposed Project	Status
<p>commercial/tourism business at this location. Staff suggestion approving the business without the waivers to the three regulations for the wedding barn and events venue requested by the applicant.</p> <p>Once the project is complete, has been open and is established within the neighborhood the applicant can at that time come back and request an amendment to the SUP to increase the number of event allowed per year and the maximum number of attendees at an event. This will allow the township the ability to observe the uses and determine if the size and number of event is appropriate at the site prior to increasing these regulations.</p> <p>G. The Commercial/ Agricultural Tourism Business shall not be a nuisance to any residential uses. See analysis under standard F. above. Expanding the number and size of the event allowed on the site may create a nuisance to the surrounding residential uses.</p> <p>The sign as designed will have a rural appearance and does not appear that it will be a nuisance to the surrounding residential uses.</p> <p><u>Staff Recommendation:</u> <u>If the Planning Commission approved this project staff would suggest denying the waivers to allow weddings, outdoor and indoor concerts and other events to exceed the required number of event per year of 20, to exceed the maximum attendance of 150 persons and the waiver of the yearly review and approving the waiver to the sign regulations under section 8.29.5 (E). Staff would suggest approval of the waivers for the proposed signs.</u></p>			
Section 9.4 Landscape Standards: Greenbelts, Screening, and Plant Materials			
<p>9.4.5 Existing Plant Material.</p> <p>A. Consideration of Existing Elements in the Landscape Design. In instances where healthy plant material exists on a site prior to its development, the Planning Commission may permit substitution of such plant material in place of the requirements set forth in this Section.</p> <p>B. Preservation of Existing Plant Material. Site plans shall show all existing trees which are located in the portions of the site that will be built upon or otherwise altered, and are six (6) inches or greater in caliper, measured twelve (12) inches above grade.</p> <p>Trees shall be labeled "To Be Removed" or "To Be Saved" on the site plan. If existing plant material is labeled "To Be Saved" on the site plan, protective measures should be implemented, such as the placement of a tree guard at the dripline around each tree. No vehicle or other construction equipment shall be parked or stored within the dripline of any tree or other</p>			

Criteria/Regulation	Required by Regulations	Proposed Project	Status
<p>plant material intended to be saved.</p> <p>Staff Suggestion: <u>If the Planning Commission approved this project staff would suggest that the following be made a condition of approval, the existing vegetation within the 100' buffer will be preserved.</u></p>			
<p>9.4.6 (E) Required Buffer Zone 20 feet 6 foot high continuous wall or required berm</p> <p>1 canopy tree, 1 evergreen tree and 4 shrubs per each thirty (30) linear feet along the property line, rounded upward.</p> <p>Note: The Planning Commission may waive or reduce the above requirement if equivalent screening is provided by existing or planned parks, parkways, recreation areas, or by existing woodlands on the lot, and topographic or other natural conditions. Existing quality trees (hickory, oak, maple, ash) with a caliper at least eight (8) inches shall count as two (2) trees toward the above requirements.</p>			<p>✓ Can be waived by the Planning Commission. (see note)</p> <p>Existing vegetation exists between the use and the adjacent properties. ✓</p>
<p>Landscaping Staff Analysis: The project site is large and surrounded on all side by existing heavy vegetation. The property owners have started to remove many of the trees that would need to be removed as a part of this project or to plant an apple orchard or other agricultural field on this site, if this project is not approved. There is a minimum buffer of 100' between any of the proposed uses and the adjacent properties. It appears that the existing landscaping on the site should be adequate to screen the proposed use from the surrounding properties.</p>			
<p>Section 9.11 Outdoor Lighting: The proposal includes 21 lights; 6 parking lot lights, 4 in the parking area near the roadway and 2 in the parking area by the wedding barn; 12 driveway lights that will be located along the commercial gravel driveway between Strawberry Lake Road and the wedding barn; and 3 wall mounted lights on the Farm Market building.</p> <p>A clear plan showing the location of the lights was not submitted. Staff has created a plan showing the approximate location of these lights. Lights marked P and Parking Lot Lights, lights marked D are Driveway lights and lights marked B are</p>			

Criteria/Regulation	Required by Regulations	Proposed Project	Status
<p>lights Mounted to the Buildings. (Exhibit E)</p> <p>The parking lots lights and the driveway lights will have a rural design similar to the light fixtures shown in item 7 A in the General Information packet submitted by the applicant (Exhibit B). However the parking lot lights will be mounted on 15 foot poles and the driveway lights will be mounted on 12 foot poles and will not be mounted on 25 foot poles as stated in the general information section 7 Lighting. The wall mounted building lights will also utilize a rural design similar to the light fixtures shown in item 7 B of the General Information packet submitted by the applicant (Exhibit B).</p>			
<p>Section 9.11.4</p> <ol style="list-style-type: none"> <p>1. Exterior lighting shall be fully shielded and directed downward toward the Earths surface, away from residential uses, roads, glass, water or other reflective materials which would create excessive off-site glare or incident rays.</p> <p>The exact light fixtures have not yet been chosen for the proposed lighting</p> <p>The final site plan shall include a note that states all light fixtures shall be fully shielded and must be directed downward toward the earth or building.</p> <p>2. The Zoning Administrator and/or Planning Commission may approve decorative light fixtures as an alternative to shielded fixtures when it can be proven that there will be no off-site glare and the proposed fixtures will improve the appearance of the site.</p> <p>The exact light fixtures have not yet been chosen for the proposed lighting.</p> <p>The final site plan shall include a note that states that the proposed lights shall be designed so there is no off-site glare.</p> <p>3. Lights on poles shall not be taller than the building whose area they illuminate nor taller than fifteen (15) feet whichever is shorter. Lights on poles may exceed fifteen (15) feet up to twenty (20) feet if the fixtures are located a minimum of seventy-five (75) feet from any planned, zoned or used residential areas.</p> <p>The lights proposed as a part of this project will not be on poles greater than 15 feet in height.</p> <p>The final site plan shall include a note that states no lights shall be installed on pole greater than 15 feet in height.</p> <p>4. Lighting shall not be of a flashing, moving or intermittent type.</p> <p>None of the proposed lighting is flashing, moving or intermittent.</p> <p>5. Except where used for security purposes, all outdoor lighting fixtures, existing or hereafter installed and maintained shall be turned off between 11:00 p.m. and sunrise, except when used for commercial and</p> 			

Criteria/Regulation	Required by Regulations	Proposed Project	Status
<p>industrial uses, such as in sales, assembly and repair areas, where such use is open for business after 11:00 p.m. but only for so long as such use open for business. Businesses with light fixtures used for security purposes are encouraged to use a motion detection devise which is directed to detect motion within the property.</p> <p>The final site plan shall include a note that states all outdoor lighting shall be turned off between 11:00 pm and sunrise and that all light fixtures used for security purposes are to be on motion detection devises.</p> <p>6. Any light fixture must be placed in such a manner that no light emitting surface is visible from any residential area or public/private roadway, walkway, trail or other public way when viewed at ground level.</p> <p>The exact light fixtures have not yet been chosen for the proposed lighting.</p> <p>The final site plan shall include a note that states all outdoor lighting must be placed in such a manner that no light emitting surface is visible from any residential area or public/private roadway, walkway, trail or other public way when viewed at ground level</p> <p>7. The intensity of light within a site shall not exceed ten (10) footcandles or one (1) footcandle at any property line, except where it abuts a residentially used or zoned site whereby a maximum of 0.5 footcandles is permitted. The only exception is with gas station canopy and automobile dealership lighting, where a maximum of twenty (20) footcandles is permitted within the site but the above standards shall apply to intensity at the property line.</p> <p>Prior to issuance of a land use permit the applicant shall submit a light study that shows this standard is met.</p> <p>Lighting Recommended Conditions:</p> <p><u>If the Planning Commission approved this project staff suggest that the following be made conditions of project approval:</u></p> <p>1) <u>The final site plan shall include the following notes and prior to issuance of a land use permit the zoning department shall verify that the lighting complies with these notes:</u></p> <p>a) <u>all light fixtures shall be fully shielded and must be directed downward toward the earth or building.</u></p> <p>b) <u>the proposed lights shall be designed so there is no off-site glare</u></p> <p>c) <u>no lights shall be installed on pole greater than 15 feet in height.</u></p> <p>d) <u>all outdoor lighting shall be turned off between 11:00 pm and sunrise and that all light fixtures used for security purposes are to be on motion detection devises.</u></p> <p>e) <u>all outdoor lighting must be placed in such a manner that no light emitting surface is visible from any residential area or public/private roadway, walkway, trail or other public way when viewed at ground</u></p>			

Criteria/Regulation	Required by Regulations	Proposed Project	Status
<p><u>level</u></p> <p>2) <u>Prior to issuance of a land use permit by the Zoning Department a lighting study shall be completed that shows that light within a site shall not exceed ten (10) footcandles or one (1) footcandle at the property line, except where it abuts a residentially used or zoned site whereby a maximum of 0.5 footcandles is permitted.</u></p>			
<p>Section 10.3. Parking Space Requirements: The regulations for parking are located in Article 10 of the zoning ordinance. Because the use of this site is so specific and non-conventional there are not any parking requirements that meet this project exactly. The following are the requirements in the regulations for the most similar uses:</p>			
<p>Regular Parking Stalls Market Building (1400 sq ft) Retail stores,</p>	<p>One (1) parking space for each 150 sq. ft. of floor area excluding auto parking space within or on the building.</p>		✓
<p>Establishment for sale and consumption inside a building of food or refreshments</p>	<p>One (1) parking space for each four (4) patron seat, plus one (1) parking</p>		✓
<p>Wedding Barn (300 people) Auditoriums (other than incidental to schools), lodge halls, or buildings of similar uses without fixed seats</p>	<p>One (1) parking space for each six (6) persons permitted in such edifice as determined in the capacity limitations, thereof, by the Fire Marshall.</p> <p>Warehouses</p>	<p>50 Parking Spaces Required</p>	✓
<p>Loading Spaces</p>	<p>Commercial Buildings over</p>	<p>The gravel roadway to</p>	✓

Criteria/Regulation	Required by Regulations	Proposed Project	Status
	5000 square feet of gross floor area require 1 truck loading space at least 12 feet X 25 feet with 14 feet in clearance.	the wedding barn has a 50' long turnaround at the wedding barn.	
General Parking Requirements:			
1. Off-street parking for non-residential uses shall be located on the same lot or parcel or within three hundred (300) feet of the building it is intended to serve provided the provisions of Section 10.2.2., Collective Parking, are met.			✓
2. A minimum area of 200 square feet shall be provided for each vehicle parking space and each space shall be designated and reserved for parking.			✓
3. A suitable means of ingress and egress shall be provided and located to minimize traffic congestion and interference with pedestrian movement. The location of all entrances and exits and directional signs, shall be approved by the Planning Commission, and where required by the Livingston County Road Commission and the Michigan Department of Transportation.			✓
4. Parking areas with a capacity of four or more vehicles shall be hard surfaced (either concrete, bituminous asphalt or other stabilized engineered surface) prior to occupancy and shall provide adequate drainage facilities to dispose of all collected surface water. The requirement for paving may be waived by the Planning Commission through paragraph 10.2.1.I.			8.29.5 above
5. Except for single-family residential lots, lighting shall be provided for use when a parking area is in operation. The installation of such lighting shall be so hooded or shielded as to reflect the light away from abutting or neighboring property.			✓
6. When required off-street parking in a non-residential district abuts a residential district, there shall be located a landscaped buffer strip fifteen (15) feet wide and parallel to the mutual boundary. The buffer strip shall be composed of trees and/or foliage. In lieu of a buffer strip, the Planning Commission may permit or require a solid fence or wall between six (6) and eight (8) feet in height shall be located along the mutual boundary.			N/A ✓*

Criteria/Regulation	Required Regulations	by Proposed Project	Status
7. Federal and State requirements regarding handicapped parking and access shall apply.			
<p>Parking: Staff Analysis The project proposes a total of 147 parking spaces; 64 spaces in the main lot off of strawberry lake road off the east entrance, 32 overflow spaces in an arear off the west entrance to the site, and 51 spaces by the wedding barn. All of the spaces are currently proposed on grassy areas and will be defined by mowing and rail road ties.</p> <p>Staff Suggestion: <u>If the Planning Commission approved this project staff suggest that prior to issuance of a building permit the building department will verify that all Federal and State requirements regarding handicapped parking, loading and access are met.</u></p>			

STANDARDS FOR APPROVAL:

Section 3.5.3. Basis of Determinations Special Use Permit Review

A. Compatibility with the Master Plan: Will be harmonious and in accordance with the general objectives or any specific objectives of the Hamburg Township Master Plan.

The agricultural commercial/tourism business is compatible with the master plan because they are rural in nature and they allow for the preservation of farm activities in Hamburg Township

B. Compatibility with Surrounding Area: Will able designed, constructed, operated, and maintained so as to be harmonious and appropriate in appearance with the existing or intended character of the general vicinity, will not change the essential character of the area, and will not be hazardous or disturbing to existing or future nearby uses. In determining whether a special land use will be compatible and not create a significant detrimental impact, as compared to the impacts of permitted uses, consideration shall be given to the degree of impact the special land use may have on adjacent property, as compared with the expected value to the community. The following types of impacts shall be considered:

1. Use activities, processes, materials, equipment or conditions of operation;
2. vehicular circulation and parking areas;
3. outdoor activity, storage and work areas;
4. hours of operation;
5. production of traffic, noise, vibration, smoke, fumes, odors, dust, glare, and light;
6. impacts on adjacent property values; and
7. the relative ease by which the impacts above will be mitigated.

The subject site lot is very large at approximately 98 acres. The layout of the proposed business is well thought out; with the more intensive uses including the parking areas, market building, farm center, and wedding barn towards the middle

of the site. There will be existing vegetation and less intense uses; including the u-pick apple orchard, the corn maze and the existing home, surrounding the interior uses and at a minimum there will be a 100' buffer of existing landscaping located between these less intense uses and the nearest property lines.

The materials and designs of the structure and other equipment appear to be high quality and designed to have a rural farmhouse appearance that will blend well with the architecture of the homes in the area.

To reduce the impacts of the use on the surrounding area staff would suggestion that if the Planning Commission wishes to approve this agricultural commercial/tourism business at this location that the number of events, the number of attendees per event and the yearly review of the project meet the requirements of Section 8.29.

If in the future, once the project is complete and has been open, the applicant can at that time come back and request an amendment to the SUP to increase the number of event allowed per year and the maximum number of attendees at an event. This will allow the township the ability to observe the uses and determine if the size and number of events is appropriate at the subject site prior to increasing these regulations.

C. Improvement to the Immediate Vicinity: Will be an improvement in relation to property in the immediate vicinity and to the Township as a whole.

It appears that the proposed project will fill a need for Hamburg Township residence and the surrounding community. The improvements to this site appear to be designed with a rural farm house appearance and of high quality materials that will blend with the improvements in the immediate vicinity.

D. Impact of Traffic on the Street System: The location and design of the proposed special land use shall minimize the negative impact on the street system in consideration of items such as vehicle trip generation (i.e. volumes), types of traffic, access location and design, circulation and parking design, street and bridge capacity, traffic operations at proposed access points, and traffic operations at nearby intersections and access points. The Township may require submittal of a traffic impact study to ensure compliance with this standard. Such a traffic study shall be in accordance with standard practices and procedures, and prepared by a qualified traffic professional. The Township may require mitigation to maintain traffic operations at a level that is consistent with other types of permitted uses in the district. Route and operational restrictions (such as hours, cleaning of dust, or debris) may be established for construction traffic to minimize negative impacts.

The proposed use is located on Strawberry Lake Road this roadway is a paved arterial roadway and can handle traffic amounts greater than other smaller roads within the township.

A driveway permit from the Livingston County Road Commission will be required for the new commercial driveway access on this site. The preliminary review from the LCRC (Exhibit G) states that the proposed driveway location could meet the

LCRC requirements for a commercial driveway approach once the clear vision areas are established. Establishing the clear vision areas would require removal of some of the existing trees and shrubs along the roadway near the driveway approach.

To reduce the impacts of the use on the street system staff would suggestion that if the Planning Commission wishes to approve this agricultural commercial/tourism business at this location that the number of events, the number of attendees per event and the yearly review of the project meet the requirements of Section 8.29.

If in the future, once the project is established with the smaller number and size of event, the applicants may still wish to expand the number and size of the event on the property. If that is the case they can apply for an amendment to the Special Use Permit. Waiting to increase the size and number of events on the property provides the township with the ability to observe the uses and determine if the size and number of event is appropriate at the site prior to allowing an increase in the regulations. A traffic study may be required at that time to make sure the greater size does not create extensive impacts on the street systems within the Township.

- E. Impact on the Overall Environment:** The proposed special land use shall not have an unacceptable significant adverse effect on the quality of the natural environment in comparison to the impacts associated with typical permitted uses. The Planning Commission may require a quantitative comparison of the impacts of typical permitted uses and the special land use to assist in making this determination (such as an overlay of conceptual development plans, on a natural features map, illustrating other site development options to demonstrate the impacts have been minimized to the extent practical). If the cumulative impact creates or contributes to a significant environmental problem, mitigation shall be provided to alleviate the impacts associated with the environmental problem, mitigations shall be provided to alleviate the impacts associated with the requested use.

The proposed project does require the removal of many trees; however the farming of this property witch is an allowed use in this district would more than likely require the removal of many more trees from this site than the proposed use.

The proposed project minimizes the impacts on the storm water and drainage on the site by minimizing the impervious surfaces by using a gravel driveway and mowed grass parking areas.

- F. Public Services Impact:** Will be served adequately by essential public services and facilities or that the persons responsible for the establishment of the proposed use will provide adequately any such service or facility, will not create excessive additional public costs and will not be detrimental to the economic welfare of the Township. Public facilities shall include, but not be limited to: streets, pedestrian or bicycle facilities, police and fire protection, drainage systems, water and sewage facilities, and schools.

Please review the Township's Engineer, Utilities Department and Fire Department reviews of this project. Because the proposed buildings on the site and part of this

project are greater than 400 feet from the sewer line along Strawberry Lake Road, hook up to sewer is not required.

- G. Compliance with Zoning Ordinance Standards: Will be consistent with the intent and purposes of this Ordinance and be designed, constructed, operated, and maintained to meet the stated intent of the zoning district.**

Please see the “*Table 1 Development Review Compliance Table*” on pages 2-13 for analysis on the project compliance and consistency with the intent and purpose of the Township’s Zoning Ordinance.

Section 4.4.3. Standards for Site Plan Review.

- A. The proposed development conforms to all provisions of the Zoning Ordinances.**

Please see the “*Table 1 Development Review Compliance Table*” on pages 2-13 for analysis on the project compliance and consistency with the intent and purpose of the Township’s Zoning Ordinance.

- B. All required information has been provided.**

The applicant has submitted examples photos of the type of building that will be used for the Wedding Barn the size of the wedding barn 60 feet by 100 feet. Staff suggests that the use of the wedding barn be reviewed and a decision be made on the use. If the planning commission approves the use the design for the wedding barn should be reviewed by staff prior to final approval of a land use permit for this building.. The design shall meet all the zoning district regulations and shall look similar to the photos submitted. .

It appears that there is adequate information for the Planning Commission to make a determination on this project.

- C. The movement of vehicular and pedestrian traffic within the site and in relation to access streets and sidewalks will be safe and convenient.**

Most of the parking for the uses other than the wedding barn will be at the front of the site so there will not be a lot of vehicles moving through this site on a normal day. It appears that the site will be safe and convenient for pedestrian traffic.

Staff Suggestion:

If the Planning Commission approved this project staff suggest that prior to issuance of a building permit the building department will verify that all Federal and State requirements ADA requirements are met.

- D. The proposed development will be harmonious with existing and future uses in the immediate area and the community.**

See analysis under standard B on page 14 above.

- E. The proposed development provides the necessary infrastructure improvements, such as roads, drainage, pedestrian facilities and utilities, to serve the site, and be adequately coordinated with the current and future use of adjacent properties.**

The proposed building will be over 400 feet from the sewer line that runs along Strawberry Lake Road so the Township Regulation do not require these building be hooked up to the sewer line. However, it is suggested by the Township Engineer that because of the proposed use that it be hook up. The applicant has received preliminary approval of the driveway location for the commercial use of the site. There are no existing trails in the area to connect to.

Staff Suggestion

If the Planning Commission approved this project staff suggests that prior to issuance of the land use permit for the wedding barn a storm water plan shall be submitted and approved by the Township Engineer.

- F. The applicable requirements of Township, County and State agencies are met regarding grading and surface drainage and for the design and construction of storm sewers, storm water holding facilities, water mains, and sanitary sewers.**

To limit the impact of the project on the surface drainage and storm water runoff there is very little new impervious area used. The parking areas will be mowed grassy areas and the roadway will be a gravel driveway. The only areas that will add impervious areas to the site are the footprints of the wedding barn and farm market building and the concrete patio in front of the farm market building.

Suggested Conditions:

Prior to issuance of a land use or building permit all local, county and state regulations will need to be reviewed and approved for this project. A list of the agencies that may be required to review this project including but are not limited to: the Livingston County Drain Commission, Road Commission, Building Department, and Health Department, and the Hamburg Township Engineer, Utilities and Fire Departments.

- G. Natural resources will be preserved to the maximum extent possible in the site design by developing in a manner which will not detrimentally affect or destroy natural features such as lakes, ponds, streams, wetlands, steep slopes, and woodlands.**

The subject site is large and the nature of the project is to maintain a rural agricultural appearance to the property. Trees will be removed but only when necessary to create the uses area. The area of the property that will not be used for the agricultural commercial/tourism business will remain as it exists.

- H. The proposed development shall respect the natural topography to the maximum extent possible by minimizing the amount of cutting, filling, and grading required.**

The proposed project has utilized the site to reduce the amount of grading that will be needed. The areas used for the Parking Area, Farm Center, and Corn Maze has been located on the flat areas of the site. No grading plan has been provided for the project so it appears that less than 50 cubic feet of grading will be necessary to create this project.

Staff Suggestion:

If more than 50 cubic feet of grading will need to be done on this project the grading shall be minimized and can be approved by staff as long as the grading plan respects the natural topography of the site to the maximum extent possible. Staff can require the plan be review by the Planning Commission if needed.

I. The proposed development will not cause soil erosion or sedimentation.

As a part of the Building Permit process the Livingston County Drain Commission (LCDC) will require a soil erosion or sedimentation control permit prior to issuance of a building permit.

J. Landscaping, including trees, shrubs and other vegetative material is provided to maintain, improve and/or restore the aesthetic quality of the site.

The project does not proposed any new landscaping. However because of the location and size of the property and the abundance of existing vegetation that will remain on the site, it does not appear that additional landscaping will be needed to restore the aesthetic quality of the site.

K. Conformance to the adopted Hamburg Township Engineering and Design Standards. (Amended 3/10/87)

Please see the attached Comments for the Township Engineer (Exhibit I).

Staff Suggestion:

If the Planning Commission approved this project staff suggests that prior to issuance of the land use permit for the wedding barn a storm water plan shall approved by the Township Engineer.

L. All proposed commercial, office, industrial, institutional and multiple family development shall utilize quality architecture to ensure that buildings are compatible with surrounding uses, protect the investment of adjacent landowners, blend harmoniously into the streetscape and meet the objectives the Township Master Plan. New buildings, additions and renovations shall be designed to preserve or complement the design character of existing development provide visual harmony between old and new buildings, and create a positive image for the Township's various commercial shopping nodes. Commercial, office, industrial, institutional and multiple family architecture shall be reviewed by the Planning Commission under the following criteria:

- 1. Buildings shall front towards and relate to the public street. Buildings shall be located to create a define streetscape through uniform setbacks and proper relationship to adjacent structures. Proper relationship to existing structures in the area shall be maintained through building mass, proportion, scale, roof line shapes and rhythm. Buildings within the area designated on the M-36 Corridor Plan/Master Plan as the "Hamburg Village" shall be compatible with the historic character of the unincorporated place commonly referred to as the "Old Hamburg Village."**
Because of the nature and location of the proposed agricultural commercial/tourism business the farm market building and wedding barn are designed and located on the site to interact with other improvements on the site

and do not face the roadway. There are not other commercial buildings in the area.

2. **Building materials and colors shall relate well and be harmonious with the surrounding area. Roof shape and materials shall be architecturally compatible with adjacent buildings and enhance the predominant streetscape. For any side of a principal building facing a public or private street, at least fifty percent (50%) of the facade shall be constructed of, or covered with, the following materials:**
 - a. **Brick;**
 - b. **Fluted or scored concrete block;**
 - c. **Cut stone;**
 - d. **Vinyl siding;**
 - e. **Wood siding;**
 - f. **Glass; or,**
 - g. **Other materials similar to the above as determined by the Planning Commission.**

The farm market building will be a 1408 square foot building with a 256 square foot front porch on it. The building is designed with a rural farm building appearance and utilizes board and baton siding and a large overhang for the porch.

The wedding barn will be a 6000 square foot building and will have a western horse barn appearance with a taller center area with lean too area on either side. These barn also utilize the board and baton siding.

The colors of these building will be red or natural wood color.

3. **Buildings shall possess architectural variety, but enhance the overall cohesive community character. Buildings shall provide architectural features, details and ornaments such as archways, colonnades, towers, cornices or peaked roof lines.**

These building are designed to have a farm type appearance which will enhance the overall cohesive community character of the area.
4. **Building walls over 100 feet in length shall be broken up with a combination of the following: varying building lines, windows, architectural accents and trees.**

No building walls will be over 100 feet in length.
5. **Building entrances shall utilize windows, canopies and awnings; provide unity of scale, texture, and color; and provide a sense of place.**

The proposed building entrances utilize windows, canopies and awnings; provide unity of scale, texture, and color; and provide a sense of place.
6. **Where the rear facade of a building will be visible from a residential zoning district, or the rear of the site will be used for public access or**

parking, such rear facade shall be constructed to a finished quality comparable to the front facade.

The rear façade of the proposed building will not be visible from the surrounding properties. However the construction and finishes on the rear facades of the proposed building will remain high quality.

- 7. Signs, landscaping, lighting and other site elements shall be coordinated and compatible with the building design, as well as harmonious with other nearby developments. Developments shall provide site features such as decorative entry signs, ornamental lighting, pedestrian plazas and/or pedestrian furniture.**

The proposed sign, fencing, play equipment, and other improvements that are proposed as a part of this project all have a farm type theme and appearance. All of the improvements are proposed to be built out of high quality materials.

RECOMMENDATION:

The Planning Commission should review the project and (approve/deny) the Special Use Permit and make a recommendation to (approve/deny) the site plan to the Township Board for the agricultural commercial/tourism business at 5550 Strawberry Lake Road. In the review of the project the Planning Commission should consider if the project meets the discretionary standards listed above.

EXAMPLE MOTIONS:

Approval

The Planning Commission approves the Special Use Permit (SUP18-002) and recommends approval of the Site Plan (SP18-001) to the Township Board to allow a major agricultural commercial/tourism business on the 98-acre property at 5550 Strawberry Lake Road; because the project with the following recommended conditions will meet all the discretionary standards for Special Use Permits under Article 3 and Site Plan Review under Article 4 as described at this hearing and as presented in the December 19, 2018 Staff Report. The waiver to regulations in 8.29 to allow the sign to be 13 feet in height 6 feet in height and

Suggested Conditions of Approval

1. Township Board approval of the Site Plan is required in order for the Special Use Permit approval to be affective.
2. The site plan shall include the following notes:
 - a. Hours of operation shall be limited to between 8:00 am and 11 pm. No amplified music shall be allowed after 10 pm; setup and cleanup of the event and workers and attendees to the event shall not arrive or leave the site before or after the hours of operation.
 - b. Events shall be required to meet the regulations of the Hamburg Township Noise Ordinance.
 - c. Adequate site and surrounding area clean-up shall be done within 48 hours following the event.
3. The site plan shall include the following notes and prior to issuance of a land use permit the zoning department shall verify that the lighting complies with these notes:
 - a. all light fixtures shall be fully shielded and must be directed downward toward the earth or building.

- b. the proposed lights shall be designed so there is no off-site glare
 - c. no lights shall be installed on pole greater than 15 feet in height.
 - d. all outdoor lighting shall be turned off between 11:00 pm and sunrise and that all light fixtures used for security purposes are to be on motion detection devises.
 - e. all outdoor lighting must be placed in such a manner that no light emitting surface is visible from any residential area or public/private roadway, walkway, trail or other public way when viewed at ground level
- 4. Prior to issuance of a land use permit by the Zoning Department a lighting study shall be completed that shows that light within a site shall not exceed ten (10) footcandles or one (1) footcandle at the property line, except where it abuts a residentially used or zoned site whereby a maximum of 0.5 footcandles is permitted.
- 5. Prior to issuance of a land use or building permit all local, county and state regulations will need to be reviewed and approved for this project. A list of the agencies that may be required to review this project including but are not limited to; the Livingston County Drain Commission, Road Commission, Building Department, and Health Department, and the Hamburg Township Engineer, Utilities and Fire Departments.
 - a. In addition to any other review from the building department, the building department shall also verify that all Federal and State requirements regarding handicapped parking, loading and access are met and that all other ADA requirements are met on the site.
- 6. Prior to issuance of a land use permit for the wedding barn the following will be needed:
 - a. A storm water plan for the wedding barn and associated improvement will need to be approved by the Township Engineer.
 - b. The design of the wedding barn shall be reviewed by zoning staff and shall meet all the zoning district regulations have a similar design to the photos submitted at the December 19, 2018 Planning Commission hearing.
- 7. If more than 50 cubic feet of grading will need to be done on this project a grading permit and plan shall be required. The grading shall be minimized and can be approved by staff as long as the grading plan respects the natural topography of the site to the maximum extent possible. If Staff is not comfortable approving the plan because of its scope it can be sent back to the Planning Commission for review as an amendment to the Special Use Permit.

Denial Motion: (Planning Commission fills in the standards that the project does not meet)

The Planning Commission denies the Special Use Permit and recommends denial of Site Plan Amendments (SUP18-002 and SP18-001) to allow a major agricultural commercial/tourism business on the 98-acre property at 5550 Strawberry Lake Road; because the project will not meet discretionary standards for Special Use Permits under Article 3 Section 3. ____, ____, and ____, or Site Plan Review under Article 4 Section 4. ____, ____, and ____, or for Projects within the Village Center Area under Article 7, Section 7.7.9.1 () (), and () as described at this hearing tonight and as presented in the November 28, 2018 Staff Report.

Exhibits:

- Exhibit A: Application (applicant)
- Exhibit B: General Information Packet (applicant)
- Exhibit C: Wedding Barn Specifics (applicant)
- Exhibit D: Plans for the New Farm Market Building 11X17 (applicant)

Exhibit E: Plan showing the proposed light location 11X17 (planning staff)
Exhibit F: Site Plan 24X36 (applicant)
Exhibit G: Preliminary Driveway Review (LCRC)
Exhibit H: Plans for Entry Sign (applicant)
Exhibit I: Hamburg Township Engineering Review (engineering consultant)
Exhibit J: Hamburg Township Utilities Review (utilities staff)

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P.O. Box 157
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Hamburg, Michigan 48139

**Planning Commission
Hamburg Township
10405 Merrill Rd., P.O. Box 157
Hamburg Township, Michigan 48139
December 19, 2018
7:00p.m.**

1. CALL TO ORDER:

Present: Goetz, Hamlin, Menzies, Muir & Priebe

Absent: Leabu & Muck

Also Present: Amy Steffens, Planning & Zoning Administrator, Scott Pacheco, Planning & Zoning Director, and Brittney Stein, Zoning Coordinator

2. PLEDGE TO THE FLAG:

3. APPROVAL OF THE AGENDA:

Chairman Goetz stated that we need to add Old Business for discussion of a letter regarding Water's Edge.

Motion by Hamlin, supported by Priebe

To approve the agenda as amended

Voice vote: Ayes: 5 Nays: 0 Absent: 2 MOTION CARRIED

4. APPROVAL OF MINUTES: None

5. CALL TO THE PUBLIC:

Chairman Goetz opened the call to the public for any item not on the agenda.

Mr. Bill Riffe, 5560 Pointe Pele Ct. stated that this is a great idea. It has a lot of merit. It will help the township and its residents, and will bring people into the community. His major concern is water. They have two six inch wells that serve the Mystic Ridge area. This plan is going to need a lot of water for whatever facilities they will have, including their growing facilities, structures and event facilities. Since the Township does not have its own water supply, they are going to have to get their water from a well. His concern is what will happen when they draw all that water down. With all of the paving going on, all of the rain and run-off will be drained away and not refill the ground water table.

Chairman Goetz stated that there will be opportunity for public comment after the Special Use Permit presentation. Hearing no further public comment, the call was closed.

6. OLD BUSINESS:

- a. Letter regarding Water's Edge

Planning & Zoning Administrator Steffens stated that the remonstrators for the Water's Edge Village have asked that the correspondence and petitions now before the Commission be presented at this meeting. It is a petition signed by residents of Hamburg Township opposed to the Open Space PUD application. There are also letters included from people opposed.

7. NEW BUSINESS:

- a. Special Use Permit (SUP18-002) and Site Plan Review (SPR 18-001) applications to consider allowing a major agricultural commercial/tourism business on the 98-acre property at 5550 Strawberry Lake Road (TID 15-34- 200-003). The proposed business will include a u-pick apple orchard, u-pick pumpkin patch, corn-maze, raised gardens, nature-based kid play area, hiking trail, a sign, a farm market retail/restaurant structure, a 300-person wedding barn, and other agricultural based amenities.

Lauren & Scott Tharp introduce their Engineer, Brian from Powell Engineering. Ms. Tharp stated that when they first approached the Township with their vision for their farm, they asked if there was an ordinance that would include something like this, and the answer was no. This is unchartered territory for the Township and with that comes a lot of planning and discussion. They appreciate all the work and time that has gone into getting them to where they are today. She stated that in 2015 they had the opportunity to buy the property at 5550 Strawberry Lake Road and they began to dream about what to do with the land. They want to preserve the land and came up with the idea of opening a seasonal farm market/cider mill as well as a wedding barn. They are hoping to have a discussion and find a way to move forward with their project. Mr. Tharp stated that in watching the Board meeting last night, what they heard from the residents was their desire to preserve the rural character of the community. Their plan does exactly that for the township. Developers would be interested in developing this property, but that is not the path that they want for their property. Long term this is a better choice for the Township.

Ms. Tharp stated that the first waiver they are asking for is for signage. They would like to do a post and beam sign at the entrance which will add to the farm atmosphere. The second sign is a vinyl sign to hang on the fence along Strawberry Lake Road. They are proposing a seasonal business offering different things throughout the year, and the vinyl sign would allow them to tell the public what they are offering in each of those seasons. The ordinance allows this type of sign for 45 days. They are requesting it for June through December. Mr. Tharp stated that the next item is the waiver of an annual review by the Planning Commission. He stated that they do not have a problem being called in for review, but what they do want is something measurable and something they can control. Complaints from neighbors is not something they can control or a neighbor's dislike of their farm. What they can control are violations. If they add a statement such as "review of complaints from neighboring property owners regarding specific violations". They do not want a broad complaint being a reason to bring them in for review. Ms. Tharp stated that the final waiver they are asking for deals with the number of guests and number of events for the wedding barn. They are asking to host events for up to 300 people and have up to 30 events per year. The ordinance limits events up to 150 people and a maximum number of events of 20 per year. She discussed text that was written at the time a bed and breakfast with a wedding venue was proposed. She stated that they are asking that the Commission look at their site individually and not the same as a previous request. They have some commonality, but they are very different. Sunset Cove has 2 acres, they have 98 acres. They have residential properties very close to them. Their barn would be several hundred feet from any property line and even further from a dwelling unit. They are located in a low density zoning area. Given their unique circumstances, they feel their request is reasonable. Mr. Tharp stated that they look forward to providing something that adds value and character and brings people into the Township and showcases the Township for what it is.

Planning & Zoning Director Pacheco gave a history of the Agricultural Commercial/Tourism Business Ordinance. He discussed the intent and the reasons why these ordinances were adopted including the difficulty in farming larger pieces of property and make an economic profit. This was to help farmers and preserve open space areas. We looked at a lot of different things when we went through the process including where they should be located, how big of an area should be, setbacks, buffer areas, etc. This project will use approximately 15 acres of the existing 100 acre

property. Six of those acres will be planted with an apple orchard, 1.5 acres planted with a pumpkin patch and 4 acres planted with corn until they create a corn maze. That leaves approximately 5 acres for the more intense use. The farm center will house the donut hut, ice cream at certain times of the year and cider mill. In that area is the wedding barn proposal as well as the parking. In developing the ordinance, they decided that they would allow for waivers in certain situations. In the Tharp's proposal, one of the reasons they are asking for the waivers is because their lot size is much greater than what we require. We require 40 acres, their site is 98 acres. He discussed the requested sign waiver. He stated that the ordinance states that the signage shall meet the requirements of the zoning district. That district is RAA. For commercially used property in the residential district, we would allow a 20 square foot monument sign no greater than 6 feet in height. They are not requesting an increase in size, but rather that it not be a monument but a "ranch type" sign. That maintains the rural characteristic of the community and blends in well with the neighbors. He does not have too many concerns with that request. The other part of the sign waiver request is that we allow a 20 square foot sign up to 45 calendar days per year. They are asking to be able to put up a 15 square foot vinyl sign any time they are open between June and December. Because of the size of their property, a 15 foot sign hanging on their proposed rural fence is not a big concern. They are just trying to get the information out to the public. Our ordinance requires that no more than 20 events shall be held on a site per calendar year. They are asking for 30 events per calendar year. Also, our regulations limit the number of attendees to 150 persons or the maximum occupancy of the space where the event is held, whichever is less. They are asking to increase that size to 300 persons. The site is large, but his suggestion is to limit the number now and have them come back in the future. Once the operations are under way we can make sure that site can handle 150 people prior to going to more than our code allows or allowing more events. He stated that the Commission can review annually any special use permit but there has to be a violation of the approved special use permit. It can't be just because the neighbors are complaining. There is a yearly review required under 8.29.7 by our Zoning Administrator. If the Zoning Administrator deems it necessary, it can be pushed up to the Planning Commission. They have to have a yearly land use permit. They need to tell us when their events are happening and outline anything that has changed from the year before. We have not had any complaints regarding the Sunset Cove location, which is a much smaller site. Therefore, he would suggest that we not waive the yearly review.

Pacheco stated that we received three letters concerned about the project or opposed to the project from Caron Wiesner Wainwright, Bob Finn and Lynn Riel. There were five letters received in favor of the proposed use and location from Tom Garcia, Ryan Schacht, Amber Demears, Susan Lupo, and Jeremy Jeruzal. He stated that the applicants did have an open house meeting where they sent notice to all of the neighbors.

Pacheco stated that the project does meet the zoning regulations with the exception of the proposed waivers. They do have to go through the Site Plan review and Special Use Permit review. There are discretionary standards for both of those. He does have suggestions if the Commission decides to approve the project based on these standards. The Livingston County Health Department will be required to do a well permit for this use and will have to approve the septic as well. There is no requirement that they hook up to sanitary sewer. He further stated that he has heard concerns about the natural features and the traffic. This property could be used at a higher, more intense use. The reason why we approve these Agricultural Commercial businesses is to reduce the use of these larger properties.

Chairman Goetz opened the public hearing.

Mr. Phil Wagner of 10967 Pine Bluff stated that he owns the property that abuts the proposed project, and he is completely good with the project. He has had discussions with the Tharps and feels they are sincere. This project will take time to build. He is northeast of the property and would be most impacted by the noise from the prevailing wind. He would guess that it will be less noise than what we currently get from the lake with the parties and fireworks. He has heard concerns about the water yet he has a pond with about 50 springs that feed it, and the water table is so high he could only build a crawl space. There are wetlands which are buffered between the operation and the road. He is perfectly fine with the proposed signs. He has looked at other wedding venues. Although they are requesting up to 300 people, not every event will have that many, and there are already large parties on the lake. This is a positive land use compared to the recent discussions about another development on Winans Lake Road. In terms of traffic, you are talking about an occasional use versus the number of houses that could be put on the property. This is a good use that will not destroy the nature of the neighborhoods.

Brian Totten of 5184 Strawberry Lake Road stated that he understands that it is required to notice property owners within 300 feet of the proposed property, but 300 feet does not speak to the impact on the larger community. He does have issue with the project. The nature of the area will change as a result of the proposed use. The noise from a 300 person wedding, the lights from the parking, etc. will have an impact. He moved here because he likes the Strawberry Lake Road pasture feeling, and that will change as a result of this. He does question why a septic system would be allowed rather than tapping into the sewer system. He would have liked to have known about this long ago and would hope that the Zoning Department would consider the impact to the residents beyond the 300 feet. Mrs. Totten stated that they applaud the creativity of the Tharps, but they are very concerned about their source of water. They ask that you slow down this process. She stated that good government looks out for our interests. Studies show that land around an aquifer needs to be undisturbed.

Deb Mardeusz stated that they take their grandchildren to cider mills all over the area. They moved here because of the environment. They want to be able to sit on their deck and not see anything and hear the frogs.

Richard Arnold of 5569 Seney Circle stated that this is not going to keep the nature of the neighborhood. He is concerned about the wetlands. The proposed barn is on the edge of the wetlands. He assumes that the Tharps will be good neighbors and check with the DEQ before they do anything here. He would think that most of the people in the area would be fine with the project without the wedding barn. It will bring in a lot of people and a lot of pollution.

Steve Harrison of 3245 Orchard stated that he feels that the project overall is fantastic and will provide something to do with your kids and family that the Township is lacking. When he and his wife got married last year, they would have loved to have a farm setting. They had approximately 250 people and there is not an opportunity for that anywhere near here.

Mary Roleson of Mystic Ridge stated that she would agree with the project without the wedding barn. But asked if this would be organic farming and if there would be fertilizers that will get into the wetlands and water. She stated that there are a lot of deer in the area and asked if they planned on shooting them or it will increase the car-deer accidents on Strawberry Lake Road. She discussed the extra traffic that will result on Strawberry Lake Road.

Dianna Kriebel of 5679 Trailside stated that they are directly behind the proposed venue. She is fine with the market, etc., but she is very much against the wedding barn. They would try to enjoy their summer, but have to listen to music. They would have the traffic to contend with for 30 weekends.

Joe McFarland of Loon Lake stated that his biggest concern is the wedding barn. You are talking about 300 people traveling Strawberry Lake Road every weekend after a reception.

Aaron Machnik of 5609 Seney Circle stated that every year they appreciate the Township's fireworks and activities at the park. They accept that as a condition of what they bought their property under. His reading of the ordinance would lead him to believe that this project is not ready to be approved for a special use permit. Several of the criteria deal with traffic, public impact, etc. This should be demonstrated before a special land use permit is granted. He discussed the deer population and stated that the traffic is the largest concern. There is a place for this type of facility, but it has to be done safely.

Cecil Lindsey of 5588 Seney Circle stated that in reading the reports, he was pleased to see that the Township is addressing some of the major concerns. Traffic is still a concern. He quoted from the applicant's proposal: "The special land use permit for Strawberry Creek Farm (Cider Mill/Farm Market and Wedding Barn) should be granted for the life of the business, without further review of the Planning Commission and without the possibility of the special use permit being revoked due to complaints by neighbors." He stated that this board has a duty to do justice, and that is not acceptable. People have a right to voice their opinions. He suggested a meeting with the Township, applicant and neighbors to work out a compromise.

Karen Falbo of 5554 Crane Creek stated that she administers two websites Mystic Ridge Community on Facebook and NextDoor.com After publishing the proposal, there were many comments against the party barn. Someone did a survey of party barns in the area and there were 35 in a 25 mile radius of Ann Arbor. The concerns are drunk drivers

leaving the facility and noise. She commends the applicants for trying to do something nice. The parking lot is too large and the party barn is not a good idea. The Township recently sent out a 2020 Master Plan survey and the responses implied that we want to stay a rural area with no commercialization of Strawberry Lake Road.

Linda Bauby of 5948 Strawberry Lake Road stated that she is very concerned about having a wedding barn with a 300 person capacity. Noise and traffic are her main concerns.

Bill Roleson of 5493 Crane Creek stated that he previously lived near the Barnstormers, which is a similar venue. The noise and ruckus was an issue. He is concerned about the traffic and water situation. A wedding barn is not something they are interested in.

Hearing no further comment, Chairman Goetz closed the public hearing.

Commissioner Menzies stated that we knew that the traffic would be a concern. He has no problem with the apple orchard, pumpkin patch, etc. We don't have anything like that in the area. Obviously, the noise with the wedding barn is a big concern. If this is approved, he would agree that we should start small and see how it works. He does feel that there should be a traffic study. As far as the well goes, it all would have to be tested. He does not feel that this is ready for approval.

Commissioner Hamlin stated that usually these are re-purposed existing barns used to augment what a farm is making. He discussed the size of the barn and the size of barns in the area. He spoke with the owners of a wedding barn in Ann Arbor, and after eight years in business, they have not had a lot of complaints. They have a limit of 300 people, but they indicated that typically they have 175 people plus 20 staff, and they do 30-35 events per year. Building a new barn does meet our ordinance. Our ordinance allows the ability to grant waivers. He does feel that it is important to have an annual review by the Planning Commission, not complaint driven, simply a review to see how things are going. We need plans for the barn, lighting information, and storm water information. They need to add a restroom facility in the farm market. He would also like to see a report from the Fire Department. It was stated that they did review the project and requested the road widths, etc.

Commissioner Hamlin asked the applicants if they have experience farming. Mrs. Tharp stated that they have a hobby farm at home and they did try to plant pumpkins one year and learned a lot. Discussion was held on the separate entrance and exit. Hamlin stated that he would like to see information about the clearing of the woods and impact on the wetlands. He further stated that he does not have a problem with the number of events at 30, but he does not think that there will be many events with 300 people.

Mrs. Tharp discussed the size of the barn. She stated that they wanted a larger barn so that they could house everyone within the building. A lot of event barns have limited size so they use a seasonal tent. When you use a seasonal tent that brings the amplified music outdoors and greater impact on the neighbors. The question was asked if they plan to have a commercial kitchen. Mrs. Tharp stated that they plan to have a prep kitchen, which is a basic area where caterers can bring in their food. The question was asked if they are planning on having events throughout the year. Mrs. Tharp stated that they are. Hamlin stated that he would suggest that the grass parking be changed to gravel. He stated that he would like to see what the plan is to control noise. One thing with a new barn is that it will be insulated as compared to an old barn. He stated that according to the people he spoke to, they indicated that people leave in layers from an event, not all at once. He would encourage the applicant to tie into the sanitary sewer. Finally, he does not think that the patio with string lights would meet our ordinance.

Pacheco discussed the traffic. He stated that the traffic would be different than the peak hours for residential traffic. Although some people believe that there is a traffic problem on Strawberry Lake Road, the traffic studies show that there is not. The studies show that the traffic has actually gone down since 2008 for specific reasons. For the short time the barn would impact the road, it would be much less than traffic from 48 single family homes over the entire day. The applicant's engineer, stated that they have provided a review from the Livingston County Road Commission about the two entrance locations that have been approved subject to site distance field review. Based on traffic counts, etc. they did not find this to be a heavy use. It was stated that this is not a traffic study.

Pacheco stated that the Road Commission, Drain Commission, all of the local, State and Federal approvals will be required. It will probably not need MDR review because they will show that they are not going to impact the wetlands. The barn is approximately 120 feet from the wetlands. If it was determined that the wetlands were impacted, the wedding barn would simply be moved a few additional feet. These approval would be required prior to any land use permit.

Commissioner Muir stated that the Township is currently looking for ideas for large parcels of land to preserve the natural landscape. This happens to be one such idea where we can take 100 acres and turn it into 15 acres of development and preserve the balance. The potential exists to put up 50 homes on this property which would lead to clear cutting, roads and more traffic. He stated that he does not believe that we should grant the waivers at this time for the number of events, attendees and yearly review. However, it may be open for re-visit once we get a couple of yearly cycles through. There are a number of local, state and federal reviews that need to be done before any building can start. They will be addressing the things that have been brought up such as the well, septic, and traffic. There was recently a traffic study on Strawberry Lake which resulted in the four-way stop. The only issues was making a left turn from Merrill Road onto Strawberry Lake and the through from the dirt portion to the paved portion of Merrill. Although it is not required, he would like the applicant to consider hooking into the sewer. Further, he stated that he is not sure about the vinyl sign and asked if there was an alternative. Commissioner Muir stated that the Township has a strict noise and lighting ordinance. He agreed with the gravel parking versus the grass.

Commissioner Priebe stated that the proposal is exciting. She is not sure about the 300 people per event waiver. The farm market, orchard, corn maze, etc. is exactly what we are looking for in that area. She does not have a problem with the Special Use Permit, but she is not sure that the site plan is quite ready for approval. There are still some things that need to be done. She looks forward to seeing more detail.

Chairman Goetz stated that the one thing that he would disagree with is the waiver of the yearly review. It does not mean that they necessarily have to come before the Planning Commission, but it should be reviewed to ensure that all of the requirements are being met. He does not have a problem with the sign at the entrance. Although, he would agree with Commissioner Hamlin that they would not see too many events with 300 people, he would like to take a "wait and see" approach and start with a lesser number. That would allow us to see if we are going to have any issues.

Mr. Tharp stated that with regards to the review waiver, it is not their intent to circumvent the Planning Commission or the residents, but rather protect their investment based on tangible items. It was stated that again, the review would go before the Zoning Department, and if there were an issue, it would be brought before the Planning Commission. It would be an administrative issue.

Discussion was held on the applicant's request. Pacheco stated that they have requested both the preliminary and final site plan approval. They will be required to have a final lighting study prior to the land use permit and would have to meet the requirements of the Zoning Ordinance. He further discussed the requirements. They will be able to meet the requirements fairly easily because they are not close to any of their property lines with the lights. He discussed the patio lights and stated that our ordinance does not address this type of lights. They may have to get some type of lighting to direct the light towards the ground. What they have proposed is not going to cast light, but it is not directly shielded. They are also required to have the lights turned off by 10:00 p.m. It says 10:00 p.m. unless they are open, and they can stay open until 11:00 p.m. with a wedding event. It was stated that you don't want to see the glow of the lights either. Pacheco stated that they are proposing full cut-off and the height of the poles are lowered to 15 foot for the parking lot lights and 12 foot for the lights along the roadway back to the wedding barn.

Commissioner Hamlin stated that he does not think that they have what they need for final site plan. We do not know what the building looks like or the materials. Pacheco suggested that the Commission request the items you believe they need to submit. The applicant can request preliminary approval. Mrs. Tharp stated that they are fine with doing some additional homework. They did submit some pictures to give a general overview of the architecture of the barn. It was stated that the Commission is looking for more. It was stated that because it is going to be approximately two years before the wedding barn, the Commission could approve something and require that the

architectural designs of the building come back prior to final land use permit for the wedding barn. At the time of the wedding barn, we would require a drainage plan as well.

Discussion was held on approval of the waivers. Pacheco stated that you do not want to approve the waivers until you approve the special use permit.

Commissioner Hamlin stated that he does not have a problem with the 30 events. He does not have a problem with the signs, however you could do a wood sign versus vinyl that could be put up as seasons change. He would agree with starting with the lower number of attendees and see how it goes. Our ordinance requires 150, but he would be comfortable with 200. Discussion was held on enforcement of the number of people. Pacheco stated that if there were an issue, we would go and count the number of people. Commissioner Muir stated that he still feels that 20 events and 150 people is reasonable, but he will go along with the consensus of the Commission.

Commissioner Priebe asked if we would approve the Special Use without the site plan. Pacheco stated that you can. The Commission should tell them what they would like improved on the site plan to be resubmitted.

Commissioner Menzies stated that he still has concern about the wedding barn including the parking, traffic and noise. He would like to see something like this. However, this is brand new and should be looked at closely. It was stated that the special use approval includes the wedding barn. It was stated that the wedding barn would be a large economic part to allow them to survive. The question is if this is appropriate use for the site. Commissioner Menzies stated that it is a great location for this and it would fit in with the area. But, there are concerns of the neighbors and it has never been done here before. Menzies stated that he does not have a problem with the special use. It does meet the criteria.

Discussion was held on requiring well and septic studies. Pacheco stated that usually that happens before building permit approval. The Commission can request that information if they would like. Commissioner Hamlin asked the applicant if they looked at hooking into the sewer. Mrs. Tharp stated that it is more expensive. They have very sandy soil and perks very well. They would like to go with septic. Mr. Tharp stated that they own a septic and excavating business. They have met with the Health Department who has laid out exactly what is required. If it is not possible based on the engineering, then they would have to look at the sanitary sewer.

Motion by Muir, supported by Priebe

To approve Special Use Permit (SUP18-002) for the property at 5550 Strawberry Lake Road with the number of events to be limited to 30 per calendar year with a maximum of 200 attendees with an administrative yearly review, and approve the signs as submitted

Commissioner Menzies stated that he still has concerns regarding the wedding barn.

Voice vote: Ayes: 4 Nays: 1 Absent: 2 MOTION CARRIED

Discussion was held on the permitting process for the well including analyzing the aquifer, test well, etc.

Discussion was held on the location of the wetlands in relation to any of the activities. It was stated that the wedding barn would be 120 feet from the wetlands.

Motion by Muir, supported by Priebe

To table Site Plan Review (SPR 18-001) and request the following information be provided for re-submittal:

- Architectural plans for the wedding barn, which could be delayed based on the timing of the building of the barn
- Stormwater plan for the parking and wedding barn
- Lighting detail

- Well testing and permit information

Pacheco stated that this information is being requested before approval of the site plan. It will be brought back before the Commission. No public hearing is required. They will review the plans to make sure that it meets the requirements of our Ordinance and then make a recommendation to the Township Board. It would then go to the Township Board for final approval. Mr. Tharp asked if, in two years they go to build the wedding barn and the plans change slightly, can it be brought back for an amendment. It was stated that it would be an amendment to the site plan.

Voice vote: Ayes: 4 Nays: 1 Absent: 2 MOTION CARRIED

8. ZONING ADMINISTRATOR'S REPORT:

Amy Steffens, Planning & Zoning Administrator stated that we are putting plans together for our yearly joint meeting with the Township Board, ZBA, Parks and Rec and Planning Commission. If there are issues you would like to see addressed at that meeting such as zoning text amendments, etc. please let them know within the next few weeks. They will be working on the year in review and work plan for 2019. Also, if there is any training you would like to pursue, please let her know and as things become available, she will let you know.

9. ADJOURNMENT:

Motion by Menzies, supported by Muir

To adjourn the meeting

Voice vote: Ayes: 5 Nays: 0 Absent: 2 MOTION CARRIED

The Regular Meeting of the Planning Commission was adjourned at 9:04 p.m.

Respectfully submitted,

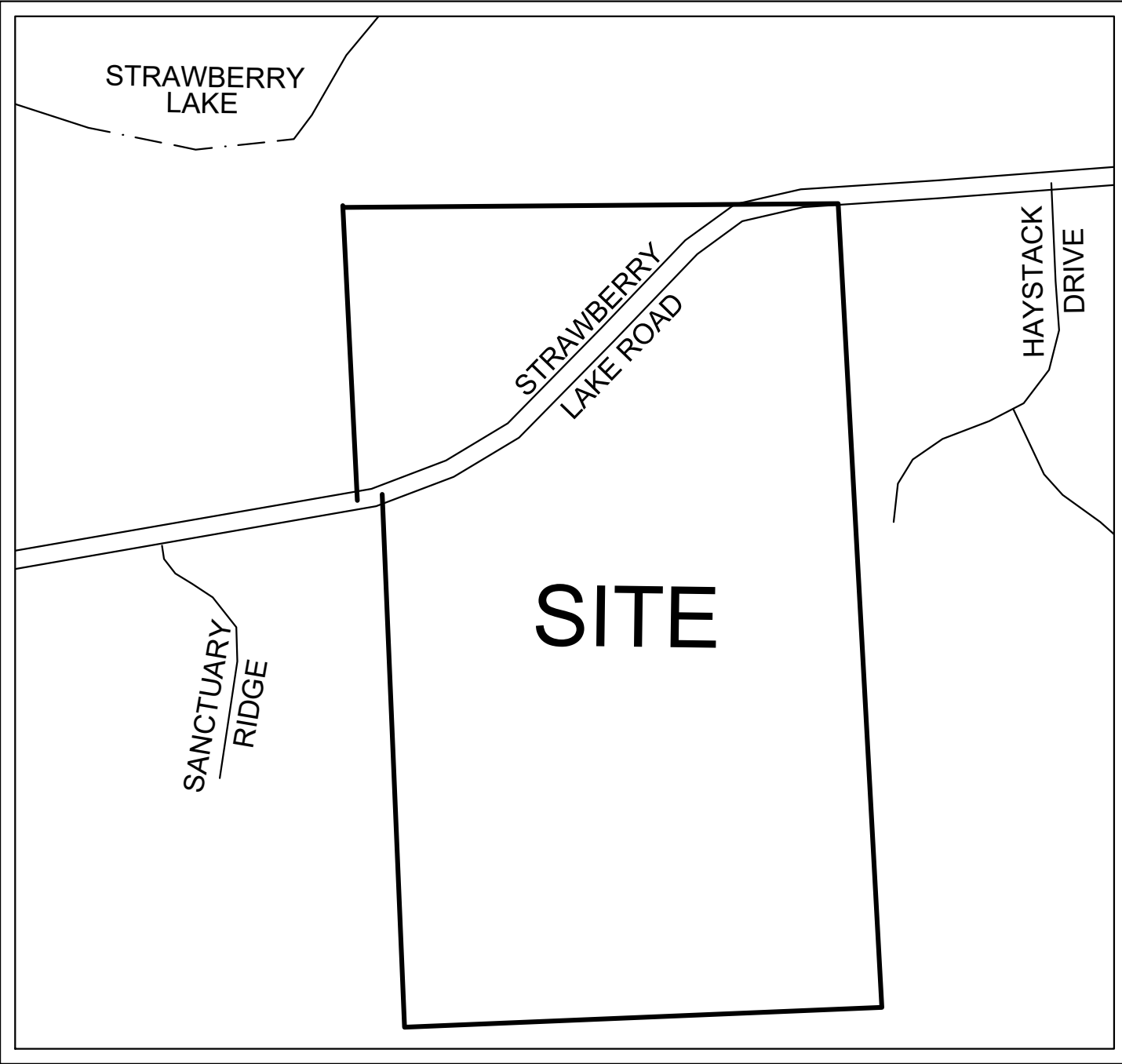
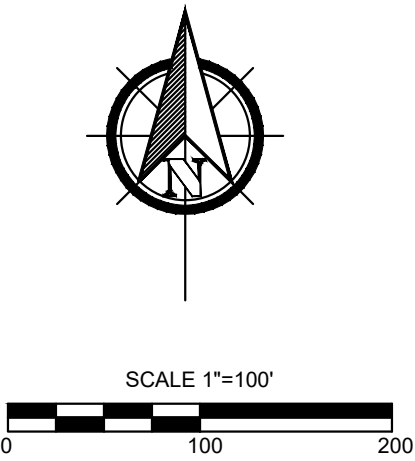
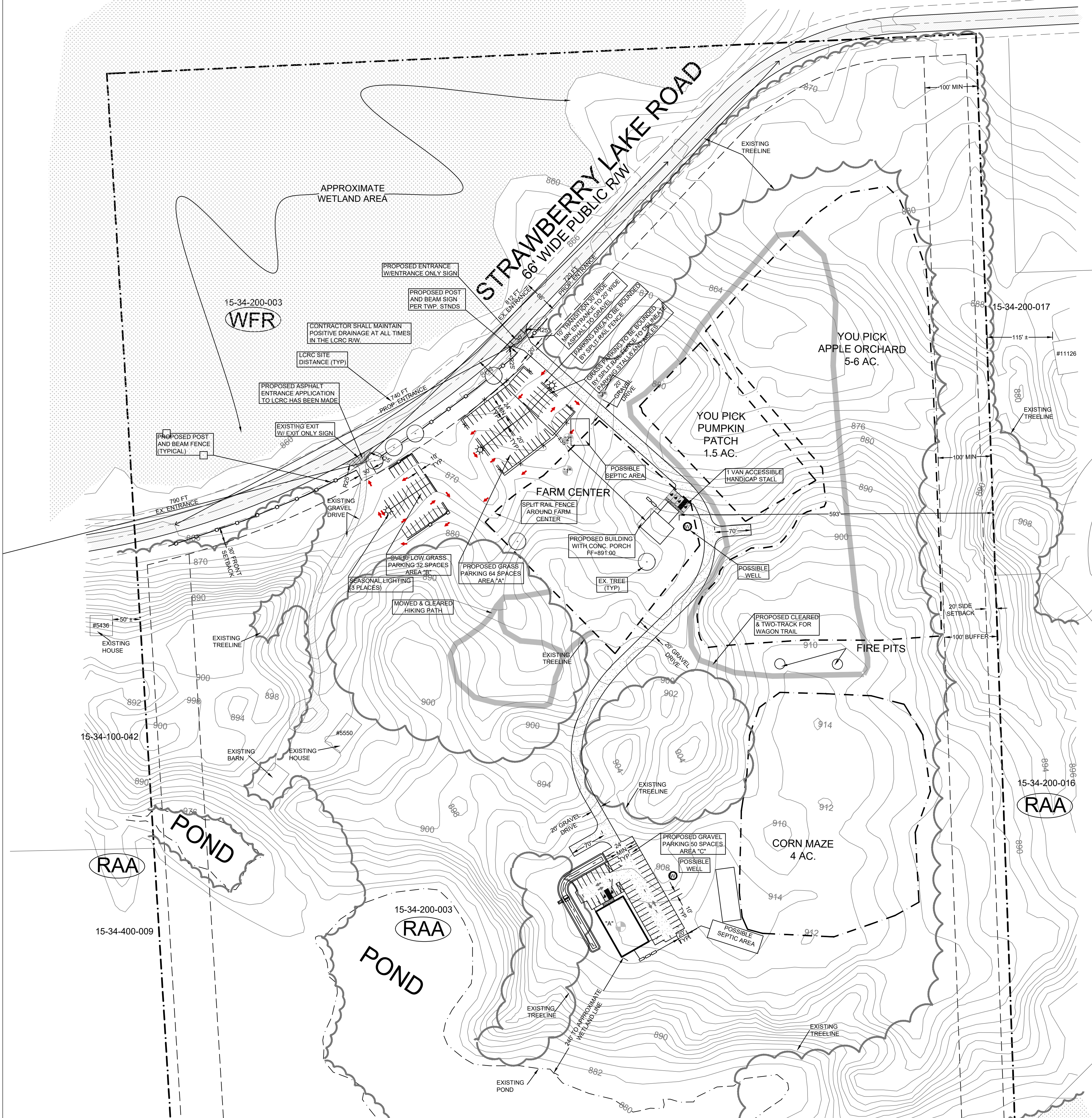
Julie C. Durkin
Recording Secretary

The minutes were approved
As presented/Corrected: _____

Fred Goetz, Chairperson

SITE PLAN FOR
STRAWBERRY CREEK FARMS
HAMBURG TOWNSHIP, LIVINGSTON COUNTY, MICHIGAN

EXHIBIT C



LOCATION MAP
SCALE: 1" = 1500'

DEVELOPER:

SCOTT THARP
5550 STRAWBERRY LAKE ROAD
WHITMORE LAKE, MI 48189
248-921-2839

SHEET INDEX

- S1 SITE PLAN
- S2 DRAINAGE CALCULATIONS AND DETAILS
- 1 of 2 PHOTOMETRIC PLAN
- 2 of 2 PHOTOMETRIC PLAN

PARCEL LEGAL DESCRIPTION (TAX I.D. 15-34-200-003):

ALL THAT PART OF THE WEST 100 ACRES OF THE Ne 1/4 OF SECTION 34, T1N, R5E, EXCEPTING THEREFROM ALL THAT PART LYING NORTH AND WEST OF STRAWBERRY LAKE ROAD.

GENERAL NOTES:

- EXISTING ZONING - RAA
SETBACKS = FRONT -30 FT. (100 FT BUFFER ZONE ALONG ALL BORDERING PROPERTIES WILL REMAIN WOODED)
REAR -35 FT.
SIDE -20 FT.
- SEASONAL FARM MARKET AND DONUT HUT (JUNE-DECEMBER) WITH PUMPKIN PATCH, CORN MAZE AND APPLE ORCHARD (NO ANNUAL PERMIT REQUIRED). ALSO, A WEDDING BARN (ANNUAL PERMIT REQUIRED). UNDER ARTICLE 8.00 SUPPLEMENTAL REGULATIONS- MAJOR AGRICULTURAL COMMERCIAL/TOURISM BUSINESS.
- WASTE WATER DISPOSAL FOR THE DONUT HUT & WEDDING BARN TO BE DISCHARGED TO PROPOSED SEPTIC SYSTEM PER LCHD STANDARDS.
- WATER SUPPLY FOR THE DONUT HUT TO BE PROVIDED BY AN ON-SITE WELL PER LCHD STANDARDS .
- OFF STREET PARKING WILL BE LOCATED ON THE GRASSY AREAS AS SHOWN.
- TRASH COLLECTION IS TO BE IN TYPICAL SMALL OR RESIDENTIAL DUMPSTER.
- THE SITE IS WOODED AND TREE CLEARING WILL BE DONE TO ALLOW PLACEMENT OF THE PUMPKINS, CORN, AND APPLE TREES. AREAS NOT USED FOR AGRICULTURE WILL BE KEPT WOODED.
- NO GRADING IS PROPOSED AND ANY EARTH DISTURBANCE WILL BE ASSOCIATED WITH INSTALLATION OF THE CONC. SLABS FOR THE BUILDINGS AND TREE CLEARING.
- LIGHTING WILL BE BUILDING MOUNTED NEAR THE BUILDING AND POLE MOUNTED NEAR THE WEDDING CHAPEL PATH AND FARM CENTER.
- FARM CENTER WILL CONSIST OF FARM MARKET/DONUT HUT, PICNIC TABLES AND KIDS PLAY AREA.
- HIKING PATH- MOWED AND CLEARED 8-FOOT PATHWAY. PICTURE BELOW.
- TRACTOR AND WAGON PATH- CLEARED TWO TRACK TRACTOR PATH. PICTURE BELOW.
- PORTABLE TOILETS WILL BE PROVIDED FOR GUEST USE. RESTROOM FOR STAFF WILL BE PROVIDED IN THE FARM MARKET.
- SEE ATTACHED FOR DETAILS REGARDING FENCING, SIGNAGE, MENU, SPECIFICS OF FARM CENTER AND LANDSCAPING.

ZONEING NOTES:

- NOISE: EVENT SHALL BE REQUIRED TO MEET THE REGULATIONS OF THE HAMBURG TWP NOISE ORDINANCE.
- CLEAN UP: ADEQUATE SITE AND SURROUNDING AREA CLEAN UP SHALL BE DONE WITHIN 48 HOURS OF AN EVENT.

STORM WATER NOTE:

NO STORM WATER SYSTEM IS PROPOSED DUE TO THE PROPOSED IMPROVEMENTS BEING IN A NATURAL STATE. THE PROPOSED BUILDINGS SHALL HAVE THEIR DOWNSPOUT DRAINAGE DIRECTED UNDERGROUND. THE GRAVEL DRIVE WILL NOT HAVE DITCHES AND WILL BE INSTALLED AT OR NEAR EXISTING GRADE.

TRAFFIC FLOW AND PARKING NOTE:

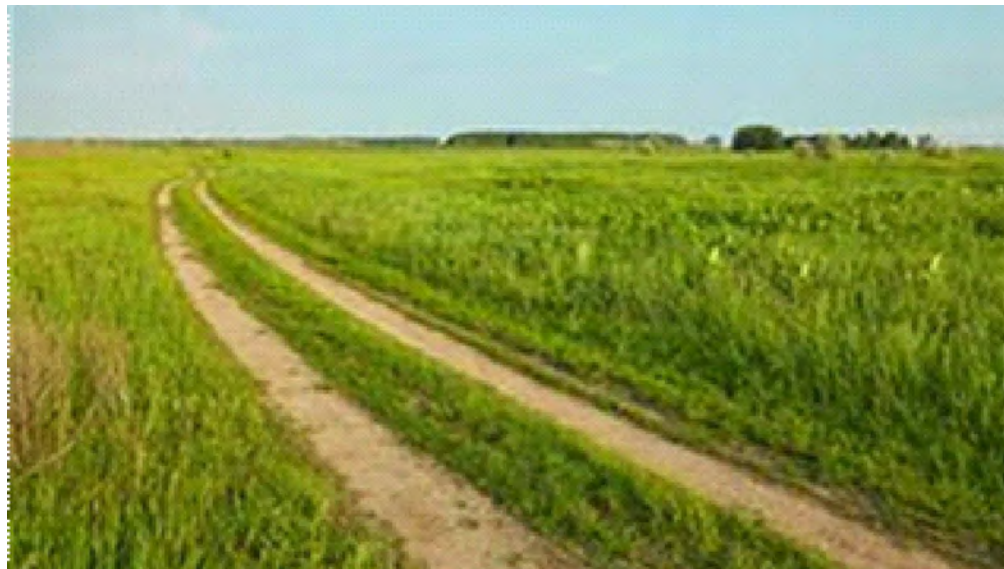
THE FINDINGS AS DENOTED IN THE FLEIS AND VANDENBRINK "TRIP GENERATION ANALYSIS AND SITE TRAFFIC OPERATIONS REVIEW" WILL BE FOLLOWED BY THE OWNERS. STAFF, SIGNAGE, BARRIERS, AND OTHER MEASURES WILL BE USED TO COORDINATE ONE WAY TRAFFIC AND ORDERLY PARKING PROCEDURES DURING PEAK TIMES.

TEST HOLES:

PER POWELL ENGINEERING 7-29-19	PER LCDPH 10-23-19
TESTHOLE "A"	TESTHOLE "1"
6" TOPSOIL	0.5" TOPSOIL
11.5' CLAY LOAM	6.0' LOAMY SAND
5' BROWN MEDIUM SAND	10.0' FINE SAND
	TESTHOLE "2"
	0.5" TOPSOIL
	6.0' LOAMY SAND
	11.0' FINE SAND
	TESTHOLE "3"
	0.5" TOPSOIL
	8.0' LOAMY SAND
	11.0' FINE SAND

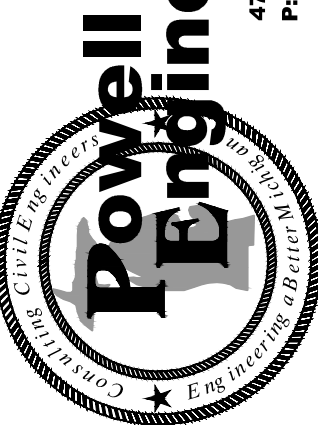


CLEARED & MOWED HIKING PATH



TRACTOR PATH

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NOTE: AS AN AID TO THE CONTRACTOR, VARIOUS UTILITIES AND UNDERGROUND STRUCTURES ARE SHOWN FROM FIELD PLANS AND PROFILES. ALL INFORMATION CONCERNING ALL UTILITIES SHOWN ON THE PLANS AND PROFILES IS TAKEN FROM FIELD NOTES AND/OR AVAILABLE RECORDS. THE OWNER AND ENGINEER DOES NOT GUARANTEE THE LOCATION, DEPTH, OR CHARACTER OF ANY UTILITIES OR UNDERGROUND STRUCTURES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION, DEPTH, AND CHARACTER OF ALL UTILITIES AND UNDERGROUND STRUCTURES SHOWN ON THE PLANS AND PROFILES PRIOR TO THE START OF ANY CONSTRUCTION.



BEFORE YOU DIG
CALL MISS DIG
1-800-482-7171

**STRAWBERRY CREEK FARMS
& FALL ADVENTURE CENTER**

SITE PLAN
HAMBURG TOWNSHIP, LIVINGSTON COUNTY, MI

ISSUE DATES

SITE PLAN	05-08-18
PER TWP	9-24-18
SITE PLAN	10-1-18
SITE PLAN	10-25-18
LCHD	11-20-18
SITE PLAN	01-16-20
SITE PLAN	02-04-20

DRAWN	BBB
DESIGNED	BBB
APPROVED	MCP
P.E. JOB No.	17-532
SCALE	AS SHOWN
S1	SITE PLAN



WETLAND VOLUME ANALYSIS

WE PROPOSE TO STORE THE 100 YR DETENTION STORAGE VOLUME IN THE EXISTING WETLAND ON THE PROPERTY AND STORE AND INFILTRATE THE FIRST FLUSH VOLUME PRIOR TO THE WETLAND. STORM VOLUMES ABOVE FF VOLUME WILL OVER FLOW THROUGH THE RIPRAP SPILLWAY TOWARD THE WETLAND.

THE 100 YEAR STORM VOLUME REQUIRED IS 4,263 CF. (SEE SPREAD SHEET BELOW)

THE VOLUME PROVIDED BY THE FIRST FOOT ABOVE THE WETLAND WITHIN THE PROP. LINES :

880 = 572995 SF 596,885 CF 1.0 596,885 CF
881 = 620774 SF

THE REQUIRED VOLUME DOES NOT RAISE THE WETLAND VOLUME BY 0.01 FT.

DETENTION VOLUME CALCULATION

TRIBUTARY AREA = 0.60 AC.

COMPOSITE C FACTOR:
BLDG&PVT = 60'X120' & 475 SF = 0.17 AC X 0.9 = 0.15
GRAVEL = 0.43 AC X 0.6 = 0.26
0.41/0.60 = 0.69

A=0.60, C=0.69,
Qo=0.60 X .2 = 0.12

LIVINGSTON COUNTY DETENTION STORAGE - METHOD 2

Tributary Area (A)= 0.6 Acres Max Perm Outflow 0.2

Compound Run-off Coefficient (C) = 0.69 (Attach Computations)

Design Constant (K1)= A x C = 0.41

Allowable Outflow Rate (Qo)*= 0.200 cfs (Max + INF-R)

1	2	3	4	5	6	7
Duration (Minutes)	Duration (Seconds)	Intensity (100-yr Storm) (In/Hr)	Col. #2 x Col. #3 Inches	Inflow Volume = Col. 4 x K1 (Cu. Ft.)	Outflow Volume = Col. #2 x Qo (Cu. Ft.)	Storage Volume Col. 5 - Col. 6 (Cu. Ft.)
5	300	9.17	2,751	1139	60	1079
10	600	7.86	4,716	1952	120	1832
15	900	6.88	6,192	2563	180	2383
20	1,200	6.11	7,332	3035	240	2795
30	1,800	5	9,000	3726	360	3366
60	3,600	3.24	11,664	4829	720	4109
90	5,400	2.39	12,906	5343	1080	4263
120	7,200	1.9	13,680	5664	1440	4224
180	10,800	1.34	14,472	5991	2160	3831

FIRST FLUSH CALCULATION

Vff = 1815(C)(A) = 1815(0.57)(0.68) 714 CF VOLUME REQUIRED IN ONSITE BASIN

STORAGE PROVIDED IN BASIN:

909.5 3718 2759 1.0 2759 = 3353
908.5 1799

907.5 3(B)H = 3 (1799)(1) = 594 CF (STORAGE IN BASIN)

STORAGE PROVIDED IN STONE BED:

10'X10'X7.5' = 750 CF X 30% = 225 CF (STORAGE PROVIDED IN STONE)

TOTAL STORAGE PROVIDED = 594 CF + 225 CF = 819 CF PROVIDED > 714 CF REQUIRED

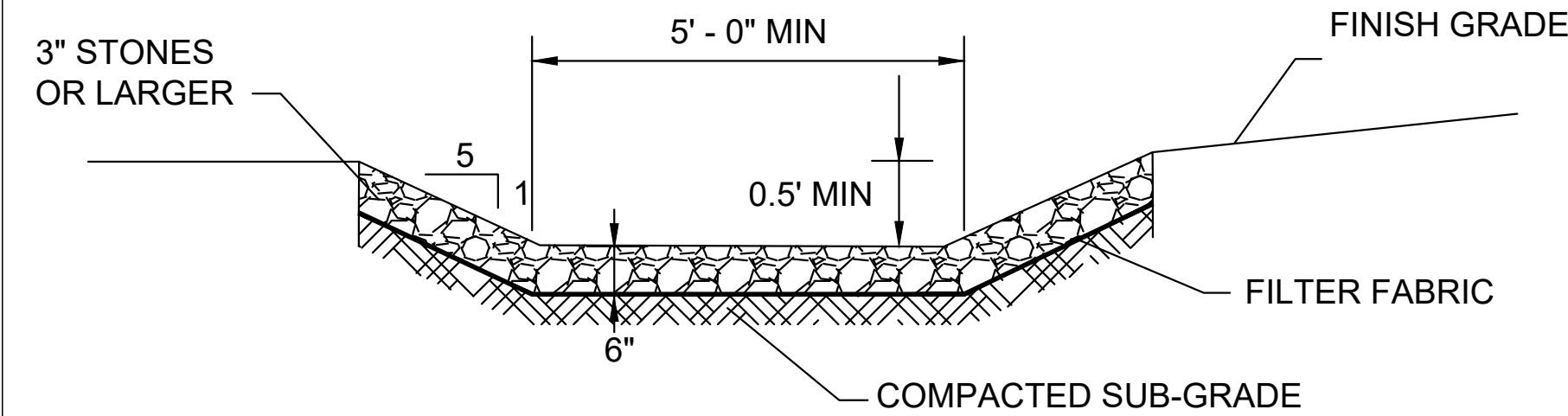
DETAIN FIRST FLUSH FOR 24 HOURS PRIOR TO OUTLET:

BECAUSE WE ARE INFILTRATING THE WATER AND NOT OVER FLOWING UNTIL THE 809.5 ELEVATION THE FIRST FLUSH VOLUME WILL PROBABLY NEVER FLOW OVERLAND TO THE WETLAND. THE BASIN VOLUME INCLUDING FREEBOARD VOLUME (4,172 CF) IS GREATER THAN THE 100 YR VOLUME REQUIRED.

TIME TO DEWATER THE BASIN:

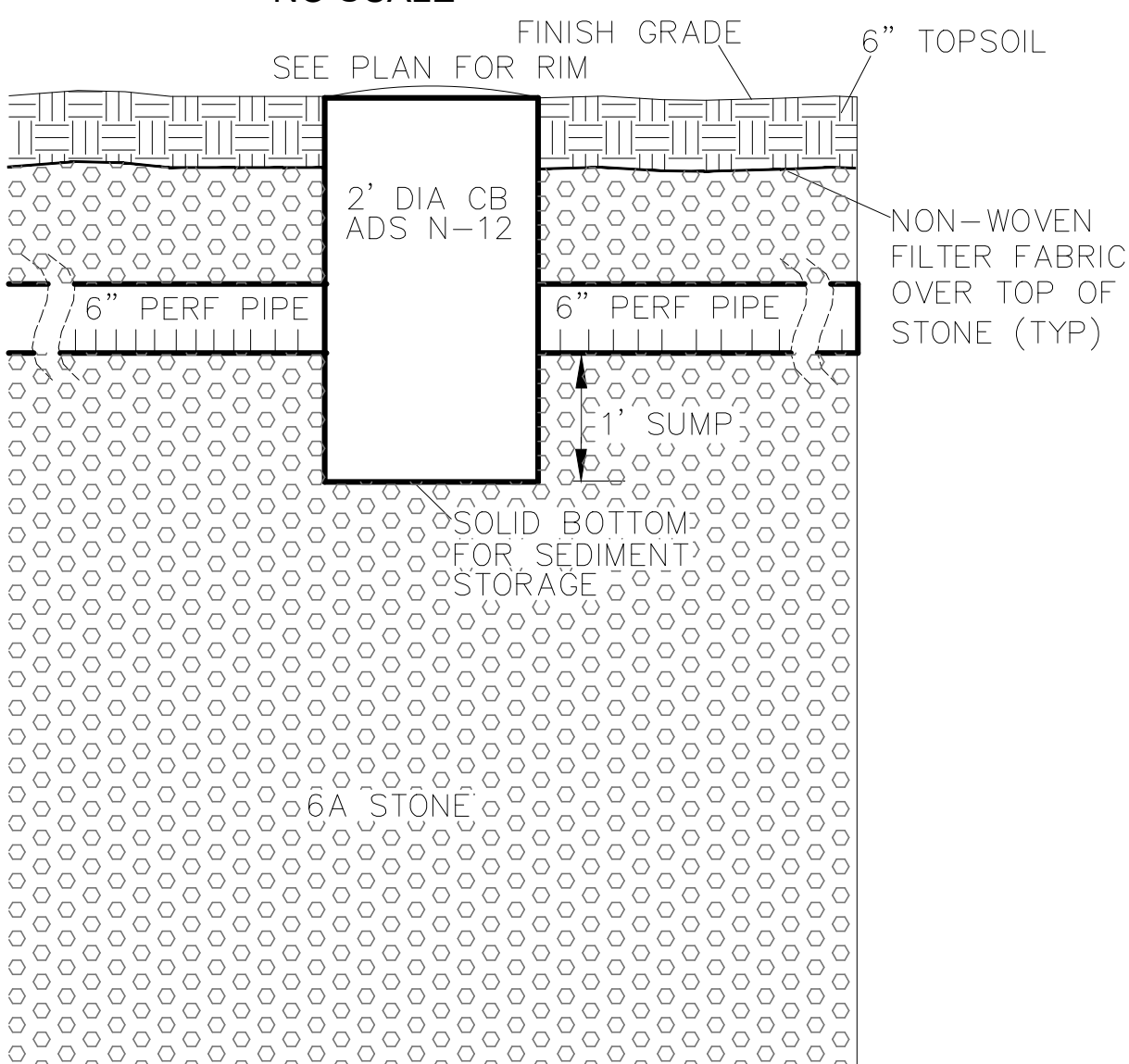
F.F. VOLUME = 714 CF
INFILTRATION RATE = 100 SF X 0.50 FT/HOUR = 50 CF/HR
TIME TO DEWATER = 714 CF / 50 CF/HR = 14 HOURS

WEDDING BARN DETAIL



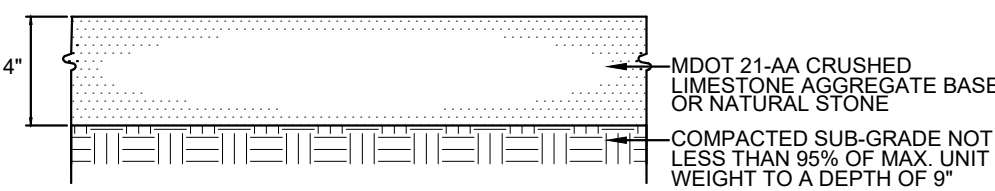
RIP-RAP SPILLWAY

NO SCALE

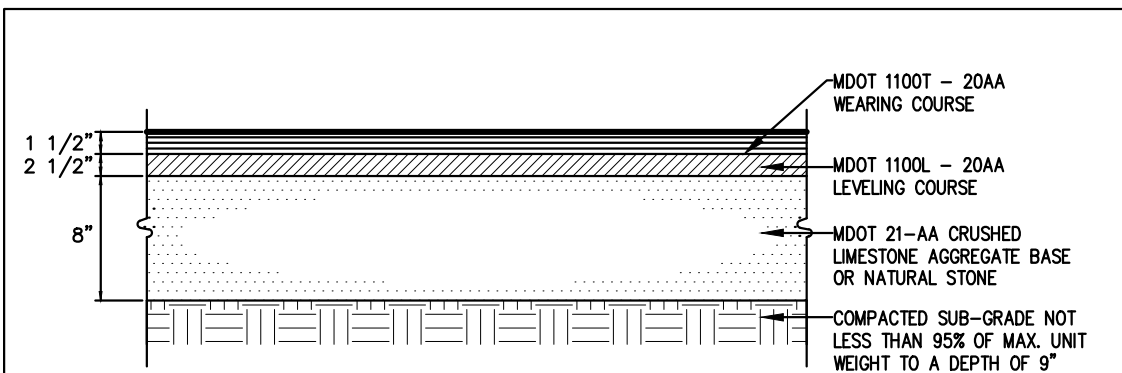


10'X10'X7.5' STONE BED CROSS SECTION DETAIL

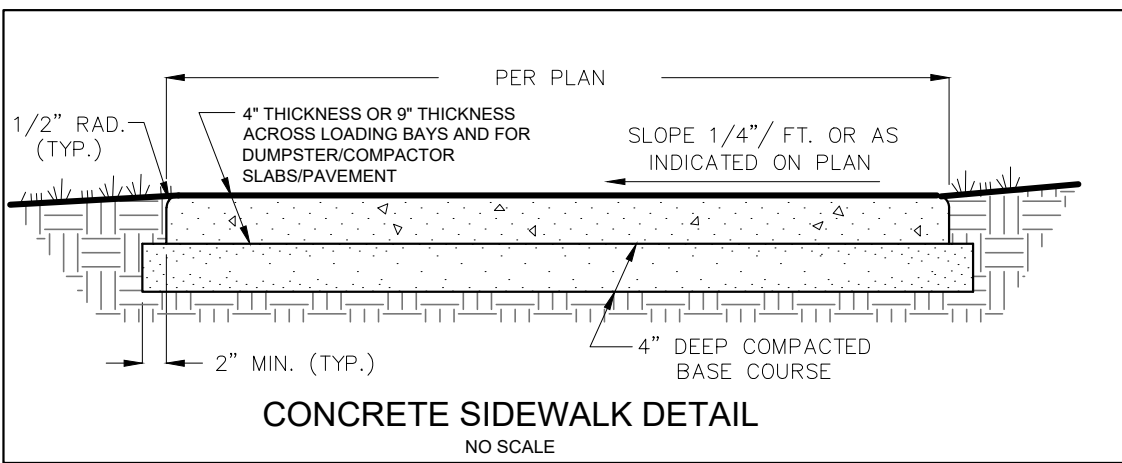
NO SCALE



20 FT WIDE GRAVEL DRIVE CROSS-SECTION



TYPICAL ASPHALT PAVEMENT CROSS-SECTION



CONCRETE SIDEWALK DETAIL

NO SCALE

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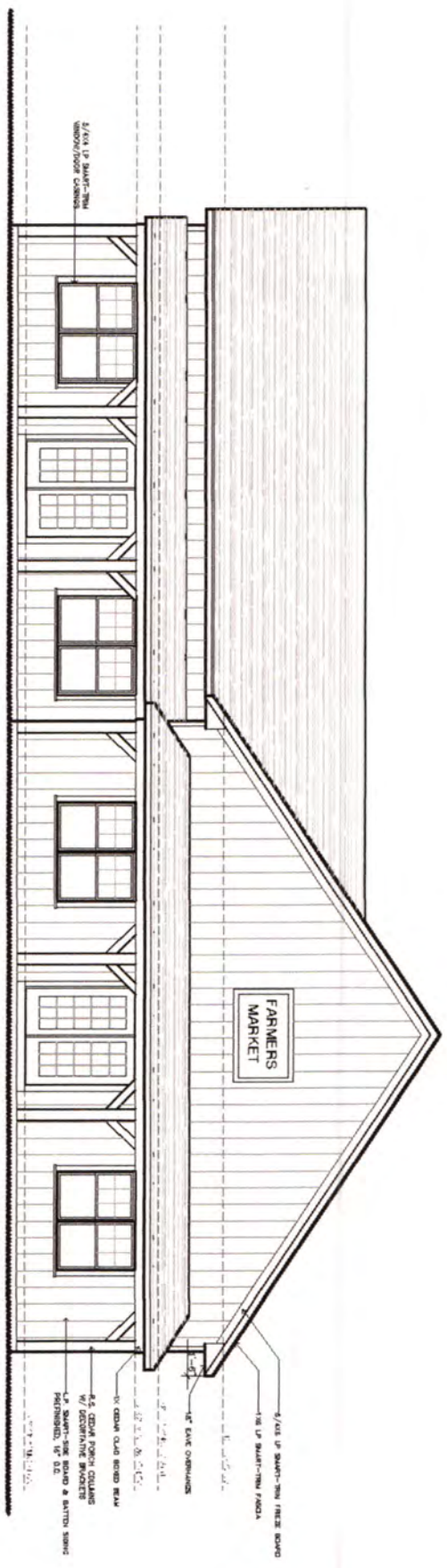
STRAWBERRY CREEK FARMS
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SITE PLAN
HAMBURG TOWNSHIP, LIVINGSTON COUNTY, MI

ISSUE DATES

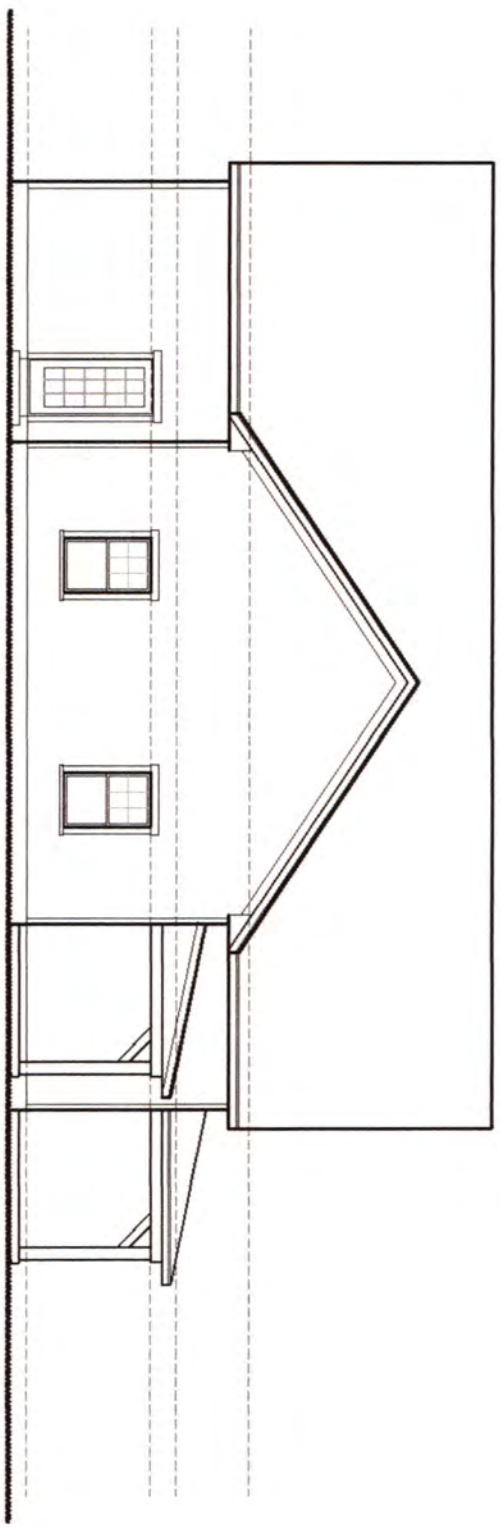
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S2	SITE PLAN

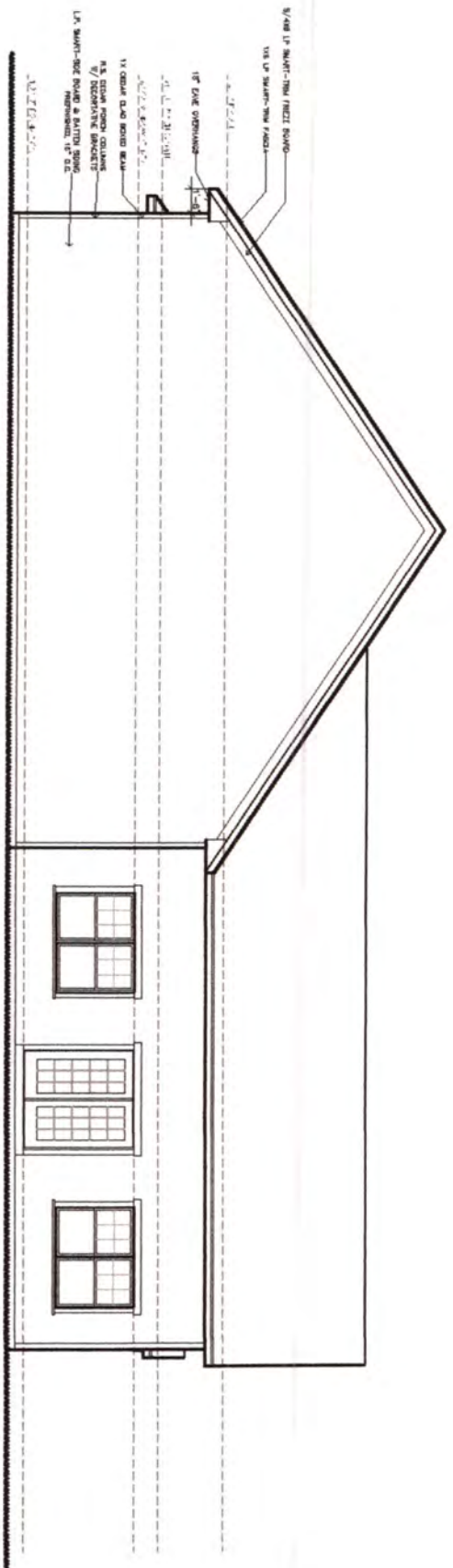
Farm Market



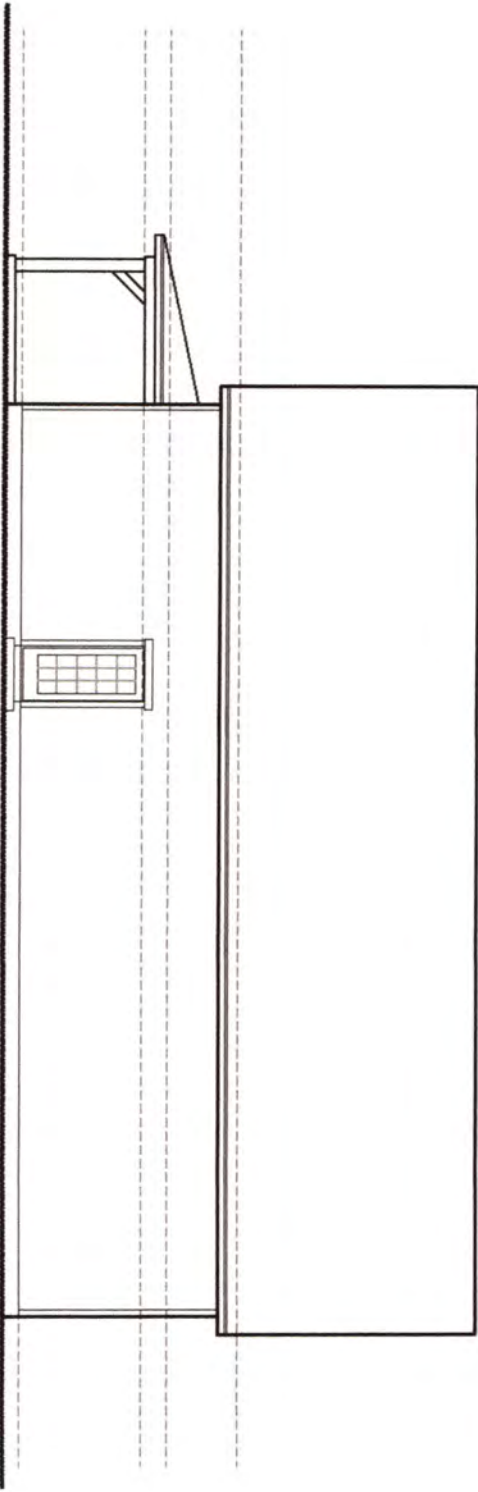
Front Elevation



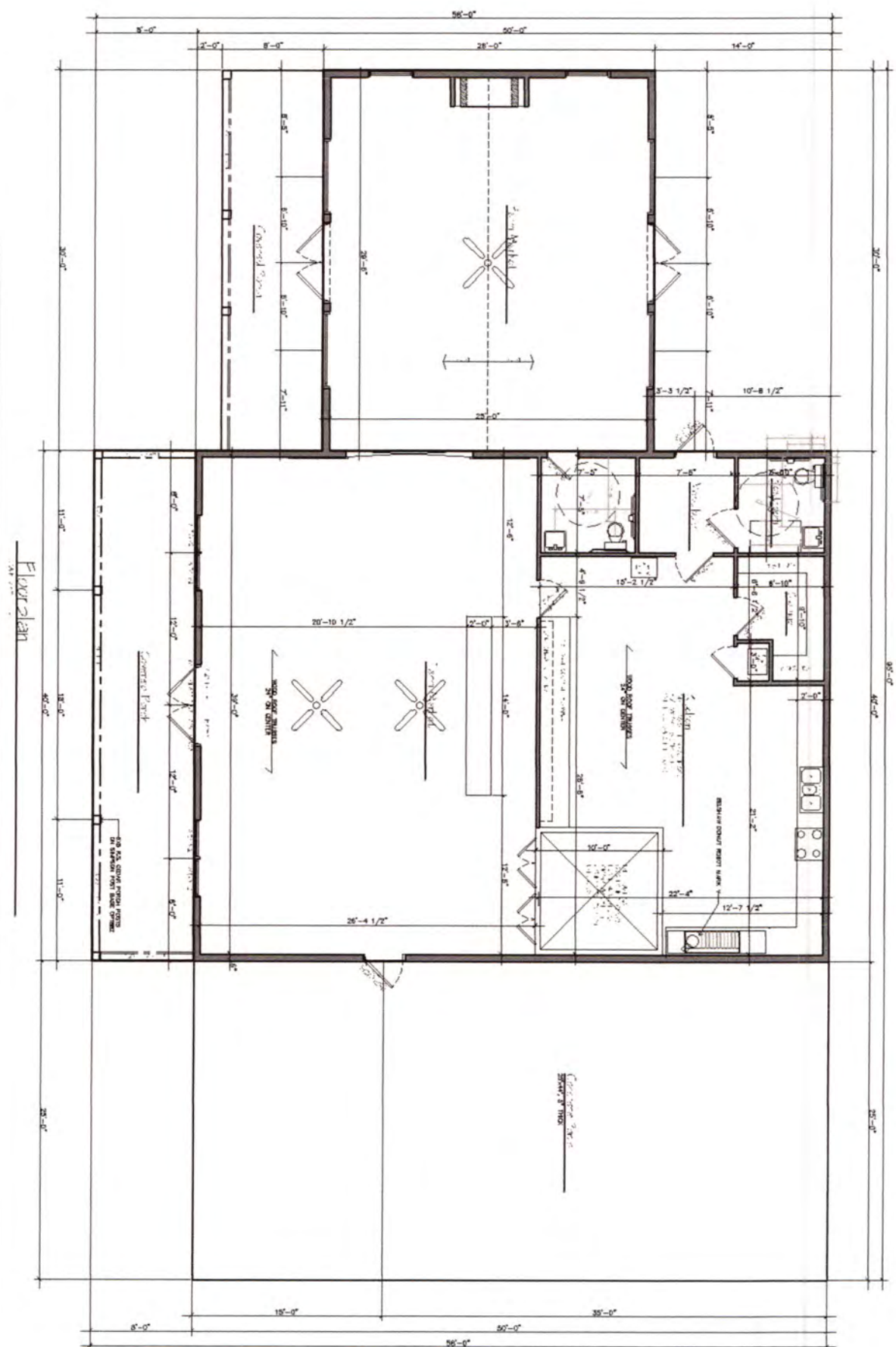
Left Elevation



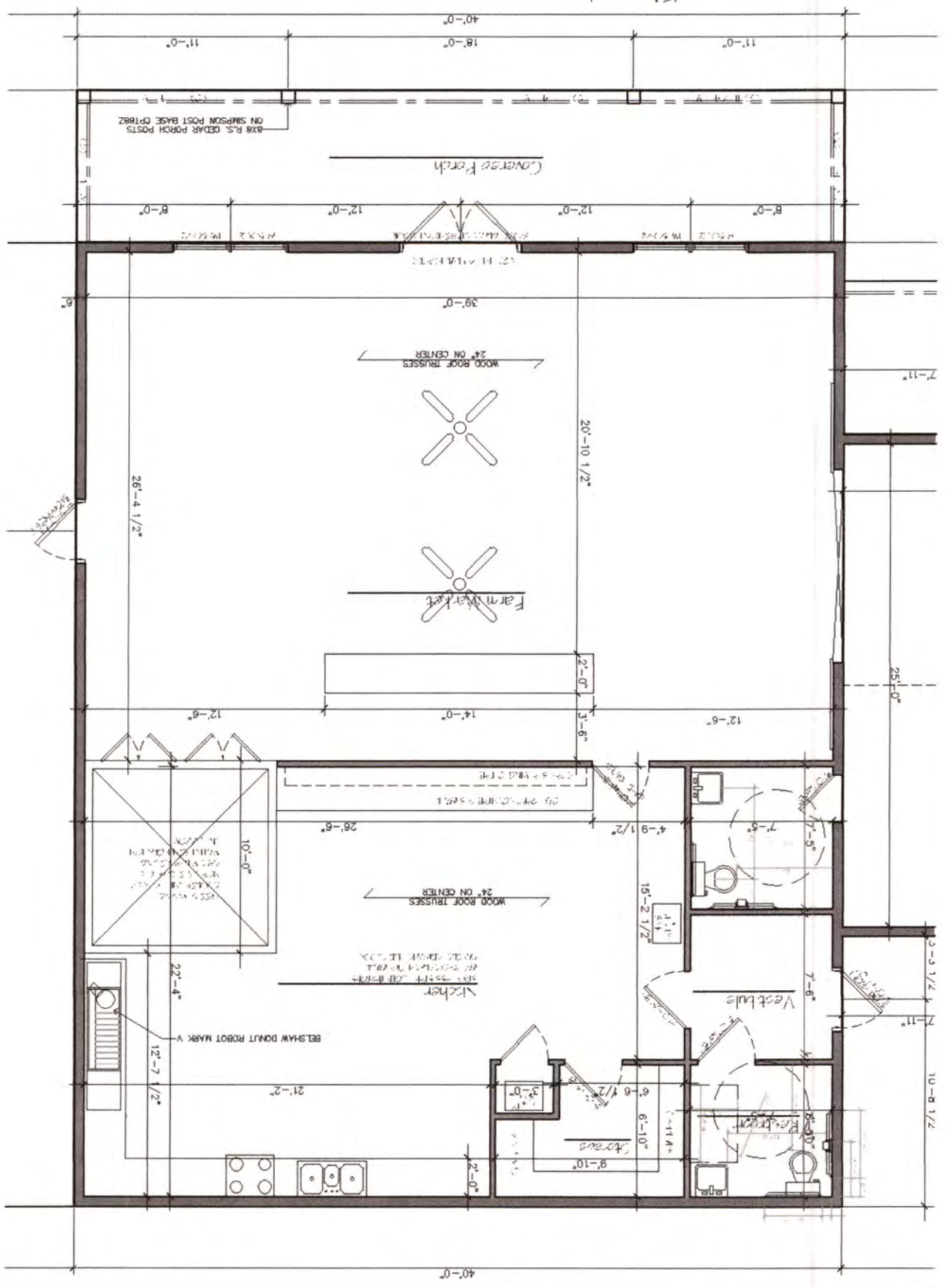
Rear Elevation



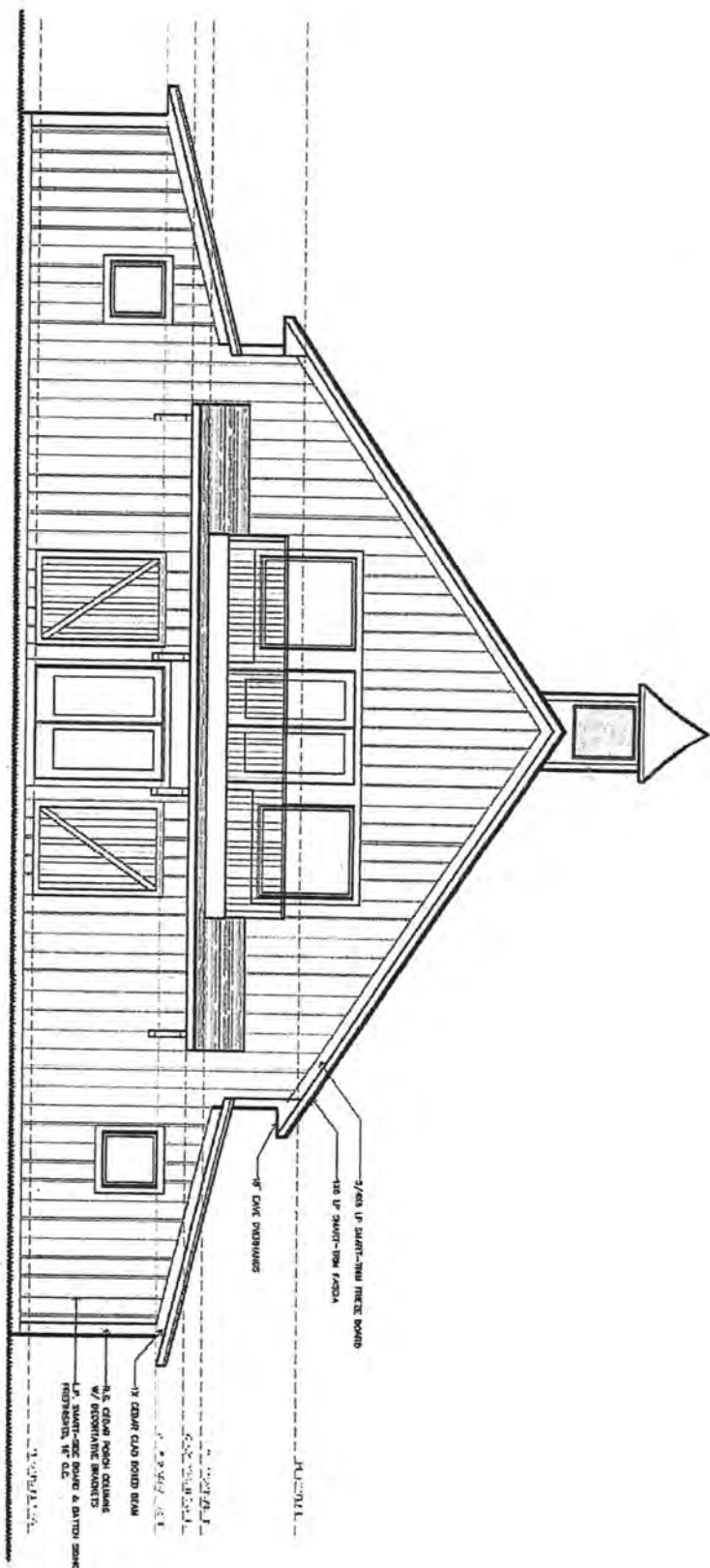
Right Elevation



Floorplan



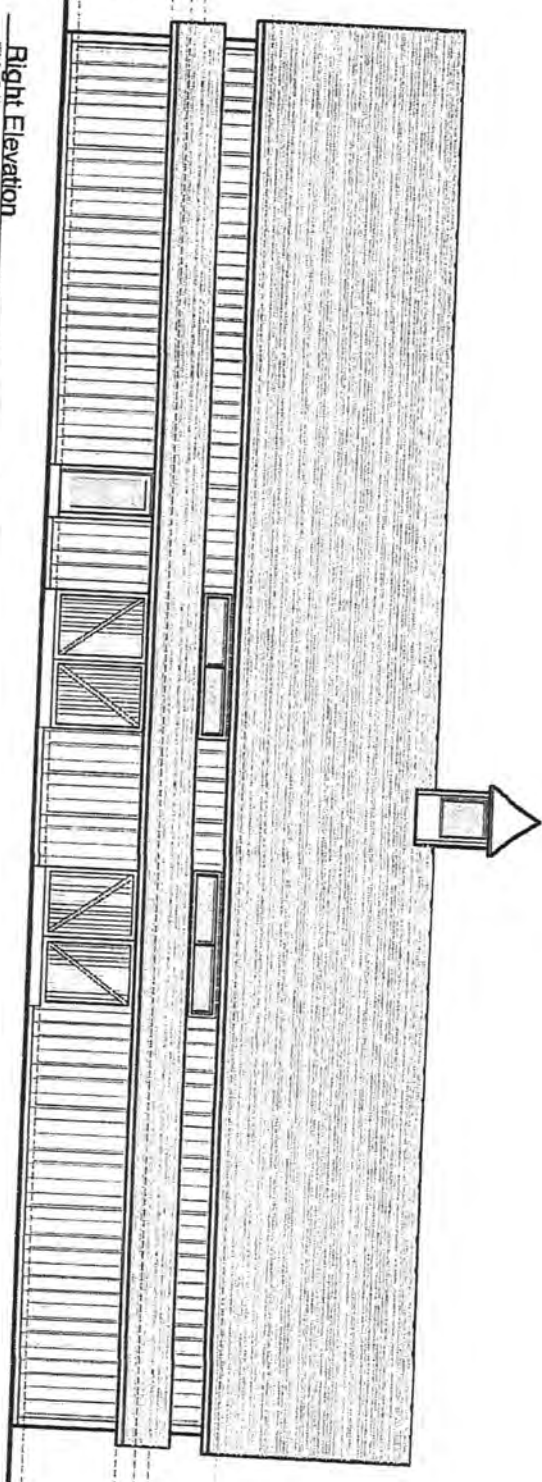
Wedding Barn



Front Elevation

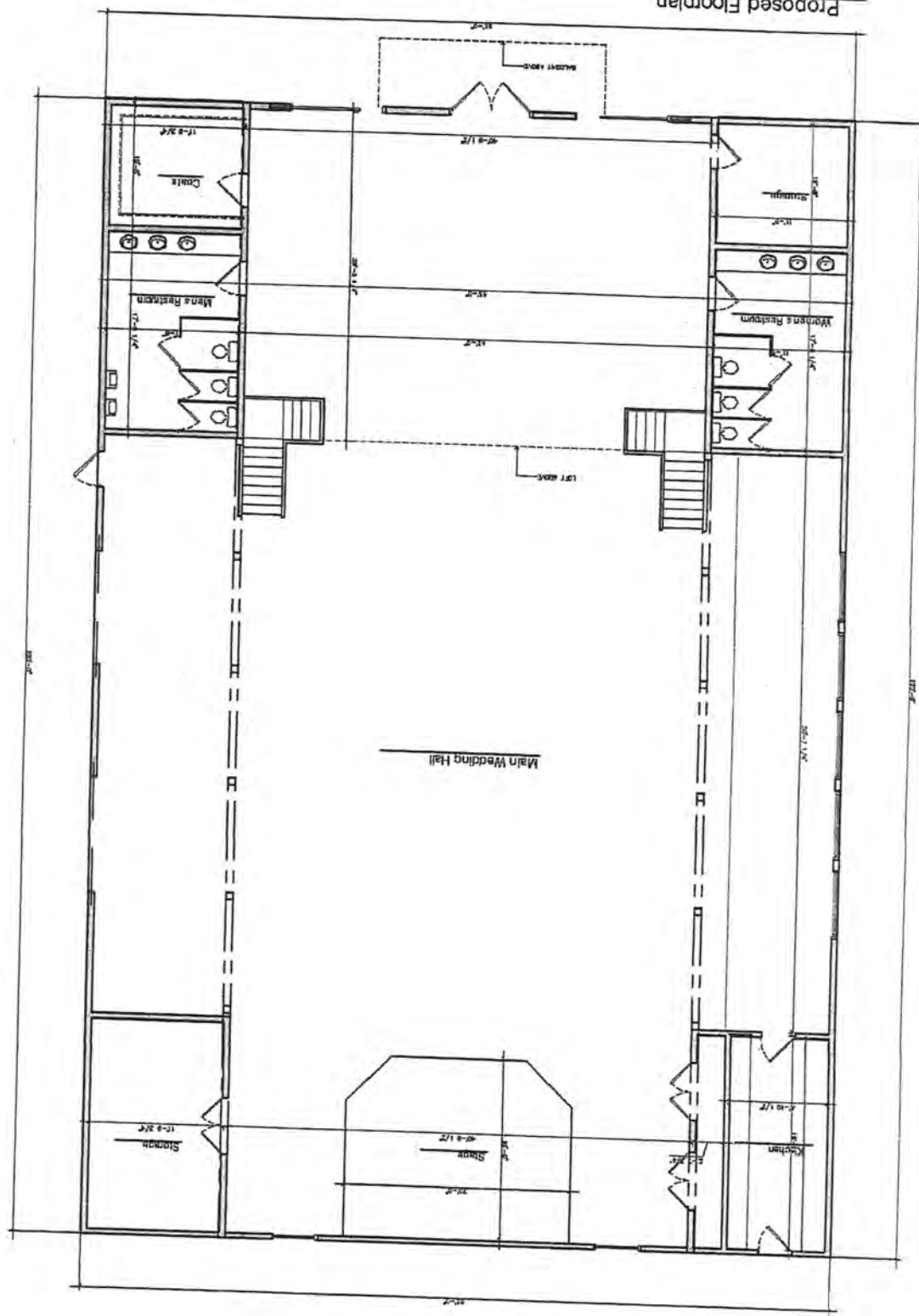
SCALE: 1/4" = 1'-0"

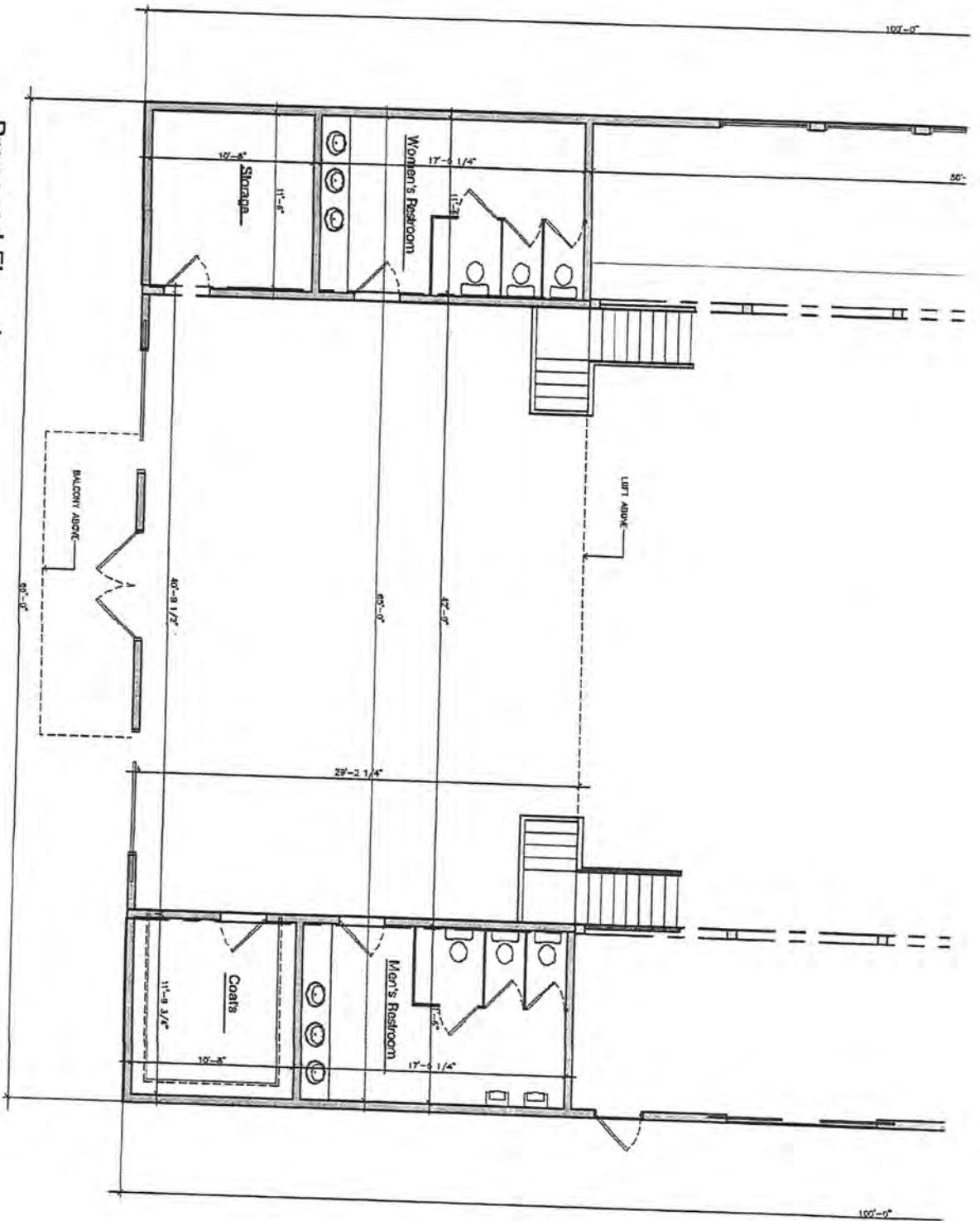
1. 20' x 40' x 10' (20' x 40' x 10')
2. 20' x 40' x 10' (20' x 40' x 10')
3. 20' x 40' x 10' (20' x 40' x 10')
4. 20' x 40' x 10' (20' x 40' x 10')
5. 20' x 40' x 10' (20' x 40' x 10')
6. 20' x 40' x 10' (20' x 40' x 10')
7. 20' x 40' x 10' (20' x 40' x 10')
8. 20' x 40' x 10' (20' x 40' x 10')
9. 20' x 40' x 10' (20' x 40' x 10')
10. 20' x 40' x 10' (20' x 40' x 10')



Right Elevation
MD-4 5-14

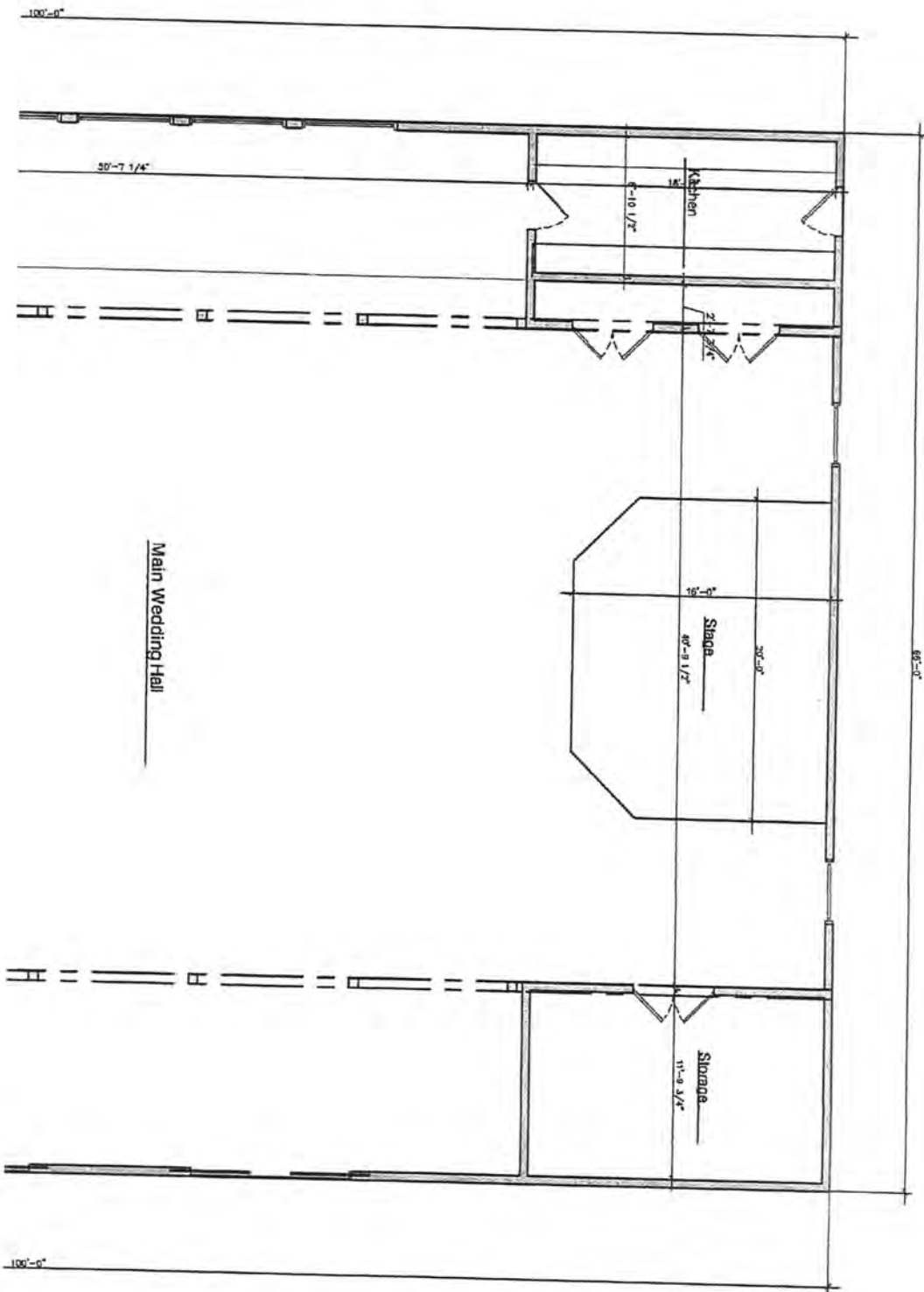
Proposed Floorplan





Proposed Floorplan

SCALE: 1/4" = 1'-0"



Strawberry Creek Farm Lighting Proposal:

A. Portable/ Seasonal Lights

1. Front parking area (along Strawberry Lake RD):

Generac Magnum MLT3060K Mobile Portable Light Tower 300 I 400 Series

See attached spec sheet for details.

The Portable Light Tower will:

- Be a downward facing full cut light
- Stand not more than 15 feet in height
- Allow for flexibility as parking needs change
- Allow for minimal disturbance for light pollution
- Keep the rural atmosphere of Hamburg Township as the lights will be stored and out of sight in the off season

2. Seasonal Lights:

- Outdoor String Lights to be used on patios.
- Christmas lights to be used seasonally.



B. Fixed Lights

1. Marking Corners of Farm Center, Gravel Path leading to Wedding Barn and Parking Area for Wedding Barn

Allegra Medium- See attached spec sheet for details.

Allegra Lights will:

- Be a downward facing full cut light
- Stand 15 feet in height
- Be placed at the front corners on the farm center

- Be placed every 200 feet along the gravel drive to the wedding barn
- Two additional lights will be in the gravel parking area of the wedding barn

2. Building Mounted Lights (on Farm Market and Wedding Barn):

Outdoor barn lights will be:

- Full cut lights
- Attached to building



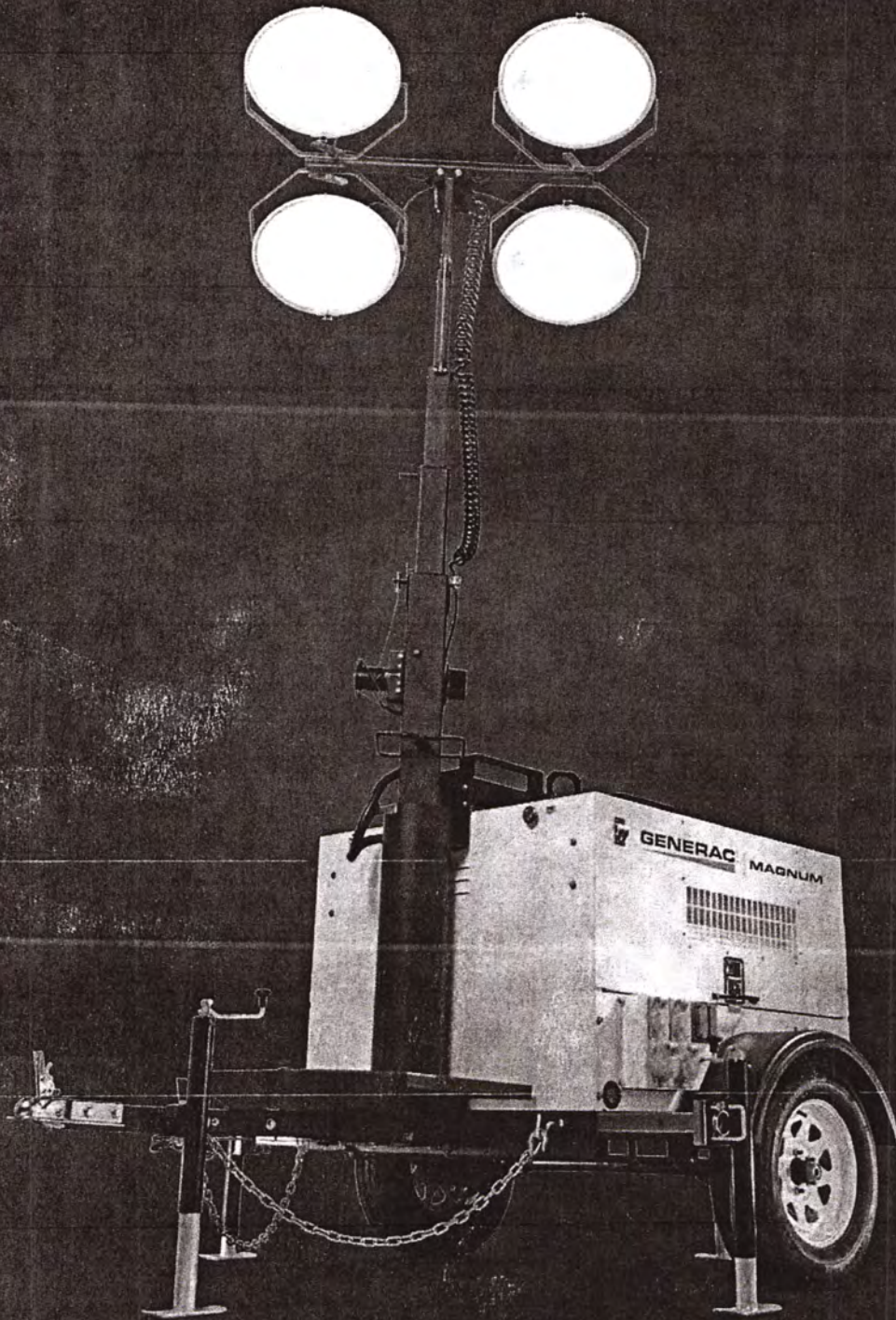
- Style:

- Sign lighting on barn to illuminate Strawberry Creek Farm sign:



3000 | 4000
SERIES
Mobile Light Towers

GENERAC
MAGNUM



3000 | 4000 MOBILE LIGHT TOWERS

Generac | Magnum 3000/4000 series mobile light towers, provides you with flexible lighting and power solutions wherever, day or night, 24/7. All of our units are built on rugged full tubular frames with proven off-road durability. Our lighting solutions can illuminate up to 7 acres and are available on 30ft horizontal or 25ft vertical masts. Set-up and operation is designed to be safe, user friendly and efficient, and available additional options are designed to keep you up and running in the harshest work environments.

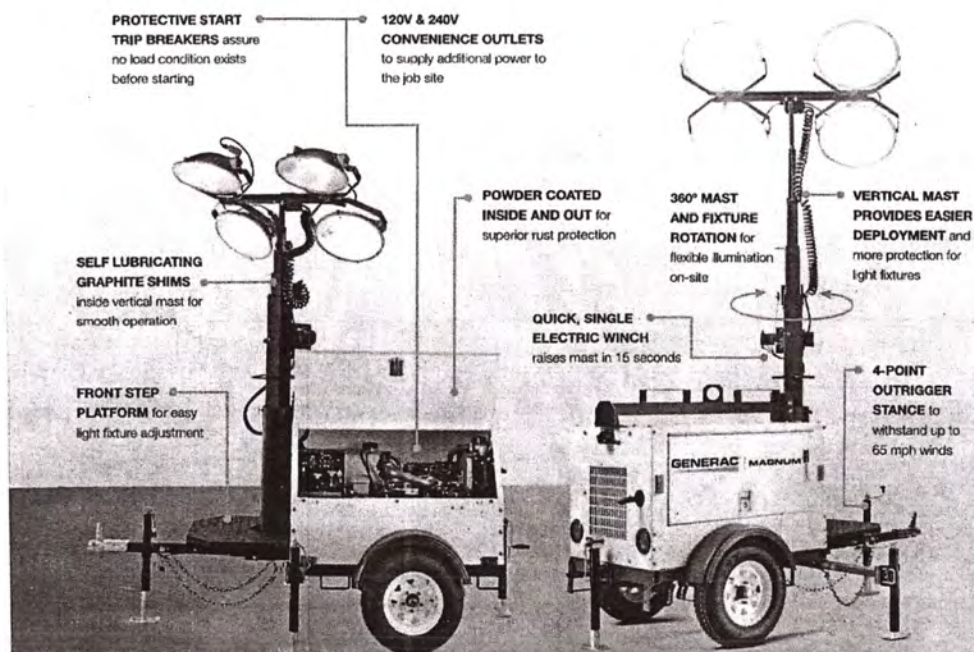
APPLICATIONS

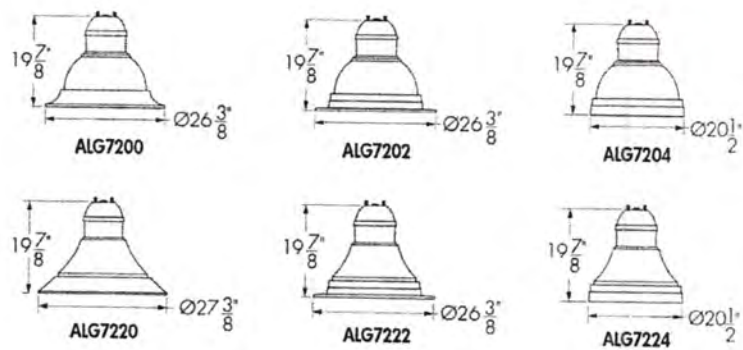
- Construction Sites
- Rental
- Roadwork
- Oil & Gas

SPECIFICATIONS

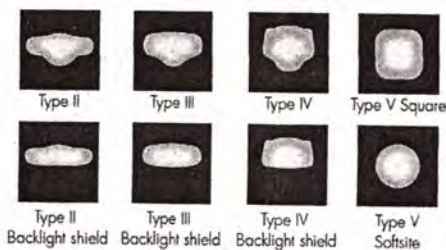
Additional options available

	MLT3060M / V	MLT3060K / V	MLT4060M / V	MLT4060K / V	MLT4080K / V	MLT4150M / V	MLT4200IF4 / V
	USA (METRIC)						
Engine / Tier	Mitsubishi / T4	Kubota / T4	Mitsubishi / T4	Kubota / T4	Kubota / T4	Mitsubishi / T4	Isuzu / T4
Prime	10.5 hp @ 1800 RPM	11.7 hp @ 1800 RPM	10.5 hp @ 1800 RPM	11.7 hp @ 1800 RPM	13.5 hp @ 1800 RPM	23.5 hp @ 1800 RPM	36.2 hp @ 1800 RPM
Power (kW)	6	6	6	6	8	15	20
Output (Amps)	50	50	50	50	66	125	167
Fuel Tank Capacity (gal)	30	30	30	30	30	56	50
Fuel Consumption / 100% Prime	0.47	0.50	0.47	0.50	0.70	1.30	2.10
Run Time (hrs)	64	60	64	60	43	43	24
Mast Height Deployed (ft / m)	30 (9.14)	30 (9.14)	30 (9.14)	30 (9.14)	30 (9.14)	30 (9.14)	30 (9.14)
Mast Height Deployed - Vertical Mast (ft / m)	25 (7.62)	25 (7.62)	25 (7.62)	25 (7.62)	25 (7.62)	25 (7.62)	25 (7.62)
Light Fixtures	(4) 1,000 MH	(4) 1,000 MH	(4) 1,000 MH	(4) 1,000 MH	(4) 1,000 MH	(4) 1,000 MH	(4) 1,000 MH
Total Lumens	440,000	440,000	440,000	440,000	440,000	440,000	440,000
Illumination Coverage	Up to 5-7 acres	Up to 5-7 acres	Up to 5-7 acres	Up to 5-7 acres	Up to 5-7 acres	Up to 5-7 acres	Up to 5-7 acres
Dimensions - Stowed (in)	170 x 49 x 68	170 x 49 x 68	170 x 63 x 70	170 x 63 x 70	170 x 63 x 70	170 x 68 x 70	170 x 68 x 70
Dimensions Stowed - Vertical Mast (in)	117 x 58 x 111	117 x 58 x 111	115 x 63 x 107	115 x 63 x 107	115 x 63 x 107	115 x 68 x 107	115 x 68 x 107
Weight, Wet (lbs)	1856	1873	1910	1908	1925	2420	2315
Weight, Wet - Vertical Mast (lbs)	1910	1923	2162	2182	2188	2483	2395

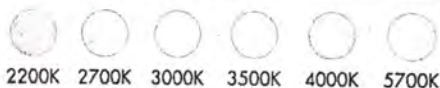




Distributions



Colors and Color Temperatures



Controls

ON/OFF 0-10V

Rating

IP66 (light engine only)

Certifications



Description

The Allegra Medium is a durable, stylish luminaire for urban lighting applications, including pedestrian plazas, residential streets and collector roads. Offering a choice of outputs, color temperatures, and distributions, the Allegra Medium is elegance personified.

Features

Color and Color Temperature	2200K, 2700K, 3000K, 3500K, 4000K, 5700K
Distributions	Type II, Type III or Type IV (with or without backlight shield), Type 5 square and Type V Softsite
Options	Surge protector
Mounting Options	Top mounted, Side top mounted
Warranty	5-year limited warranty

Performance

Output (nominal lumens)	Minimum 3000lm / Maximum 17000lm
Color Rendering	3 SDCM at CRI 70+ and 2 SDCM at CRI 80+
Lumen Maintenance	TM-21 L70 527,000 hrs (projected, Ta 77 °F), 36,000 hrs (reported, Ta 77 °F)
Dark sky	Dark sky compliant (2200K, 2700K, 3000K and 3500K Color temperatures, BUG rating of U0)

Physical

Housing Material	Die cast low copper 360 aluminum alloy
Lens	Clearsite lens, Softsite lens
Weight	Up to 35 lbs
EPA	Up to 1.13 sq ft
Surface Finish	Super Durable resistant exterior polyester powder coating meets AAMA 2604-98 requirements (5 years Florida exposure), a Corrosion finish (CRC) pre-finish is available to meet ASTM B-117 & ASTM D-1654 (salt spray resistance) and ASTM D-2247 requirements (humidity resistance).

Electrical and control

Voltage	120 volts, 240 volts, 277 volts, 347 volts, 480 volts
Control	On/Off control, 0-10V dimming

Environmental

Storage Temperature	-40 °F to 122 °F (device must reach start-up temperature value before operating)
Start-up Temperature	-40 °F to 104 °F (-13 °F to 104 °F for 120V combined with M80, L170, L30 Softsite, L50 Softsite or L70 Softsite output)
Operating Temperature	-40 °F to 104 °F (-13 °F to 104 °F for 120V combined with M80, L170, L30 Softsite, L50 Softsite or L70 Softsite output)
Ingress Protection Rating	IP66 (light engine)
Environment	Dry / damp / wet location

Decorative arms (order separately, consult related specification sheets for details)

Compatible decorative arms	CS2, CS4, CS6, CS9, CS12, CS13, MC5, PU4 and PU5 decorative arms
----------------------------	--

Photometric information

Type II, 4000K, CRI 70+



Nominal output [lm]	Typical delivered output [lm]	Efficiency (lm/W)	BUG Rating			Typical maximum power 120/277V (W)
			B	U	G	
S40	3,376	109	1	0	1	31
S60	5,204	95	1	0	1	55
M80	6,892	108	2	0	1	64
M110	9,423	102	2	0	2	92
M150	12,518	95	2	0	2	132
L170	14,023*	96	3*	0*	2*	146

Type III, 4000K, CRI 70+



Nominal output [lm]	Typical delivered output [lm]	Efficiency (lm/W)	BUG Rating			Typical maximum power 120/277V (W)
			B	U	G	
S40	3,801	123	1	0	1	31
S60	5,861	107	1	0	1	55
M80	7,761	121	2	0	2	64
M110	10,612	115	2	0	2	92
M150	14,097	107	3	0	2	132
L170	15,792*	108	3*	0*	2*	146

Type IV, 4000K, CRI 70+



Nominal output [lm]	Typical delivered output [lm]	Efficiency (lm/W)	BUG Rating			Typical maximum power 120/277V (W)
			B	U	G	
S40	3,529	114	1	0	1	31
S60	5,441	99	1	0	1	55
M80	7,205	113	2	0	2	64
M110	9,852	107	2	0	2	92
M150	13,087	99	3	0	3	132
L170	14,662*	100	3*	0*	3*	146

Type V square, 4000K, CRI 70+



Nominal output [lm]	Typical delivered output [lm]	Efficiency (lm/W)	BUG Rating			Typical maximum power 120/277V (W)
			B	U	G	
S40	3,844	124	2	0	1	31
S60	5,927	108	3	0	1	55
M80	7,849	123	3	0	1	64
M110	10,733	117	3	0	2	92
M150	14,257	108	4	0	2	132
L170	15,980*	110	4*	0*	2*	146

Type V Softsite, 4000K, CRI 70+



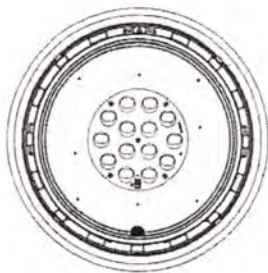
Nominal output [lm]	Typical delivered output [lm]	Efficiency (lm/W)	BUG Rating			Typical maximum power 120/277V (W)
			B	U	G	
L30	3,048	66	1	0	1	47
L50	5,856	60	2	0	1	96
L70	8,022*	55	3*	0*	1*	146

*Photometric performance is measured in compliance with IESNA LM-79-08. Due to rapid and continuous advance in LED technology, photometric information is subject to change without notice.

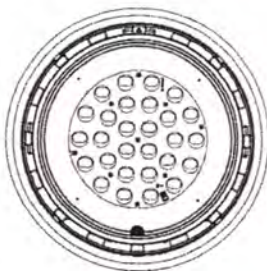
Optical system

LED board size

Small (4000lm to 6000lm)



Medium (8000lm to 15000lm)



Large (17000lm)



Type V Softsite is available with large LED board only (3000lm to 7000lm).

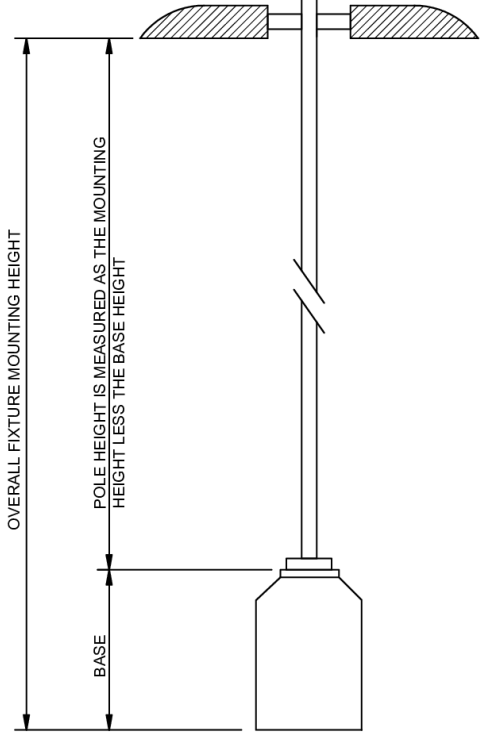
Backlight shield*



*Small, medium and large LED boards size have the same full coverage backlight shield pieces.

*Backlight shield available with Type II, Type III and Type IV only.

*Backlight shield is factory installed.



YOU PICK
PUMPKIN
PATCH
1.5 AC.

General Note







1. SEE SCHEDULE FOR LUMINAIRE MOUNTING HEIGHT.
2. SEE LUMINAIRE SCHEDULE FOR LIGHT LOSS FACTOR.
3. CALCULATIONS ARE SHOWN IN FOOTCANDLES AT: GRADE

THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING / FUTURE FIELD CONDITIONS. THIS LIGHTING LAYOUT REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS. MOUNTING HEIGHTS INDICATED ARE FROM GRADE AND/OR FLOOR UP.

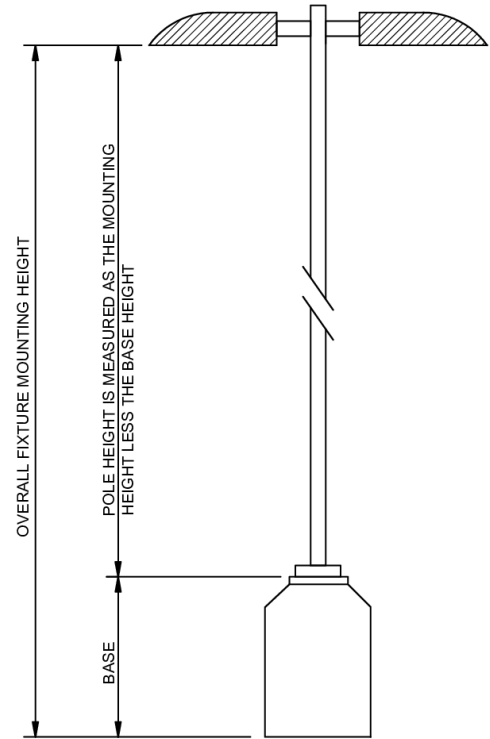
THESE LIGHTING CALCULATIONS ARE NOT A SUBSTITUTE FOR INDEPENDENT ENGINEERING ANALYSIS OF LIGHTING SYSTEM SUITABILITY AND SAFETY. THE ENGINEER AND/OR ARCHITECT IS RESPONSIBLE TO REVIEW FOR MICHIGAN ENERGY CODE AND LIGHTING QUALITY COMPLIANCE.

UNLESS EXEMPT, PROJECT MUST COMPLY WITH LIGHTING CONTROLS REQUIRMENTS DEFINED IN ASHRAE 90.1 2013. FOR SPECIFIC INFORMATION CONTACT GBA CONTROLS GROUP AT ASG@GASSERBUSH.COM OR 734-266-6705

Statistics							
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min	Avg/Max
Wedding Lot	X	2.1 fc	9.5 fc	0.4 fc	23.8:1	5.3:1	0.2:1

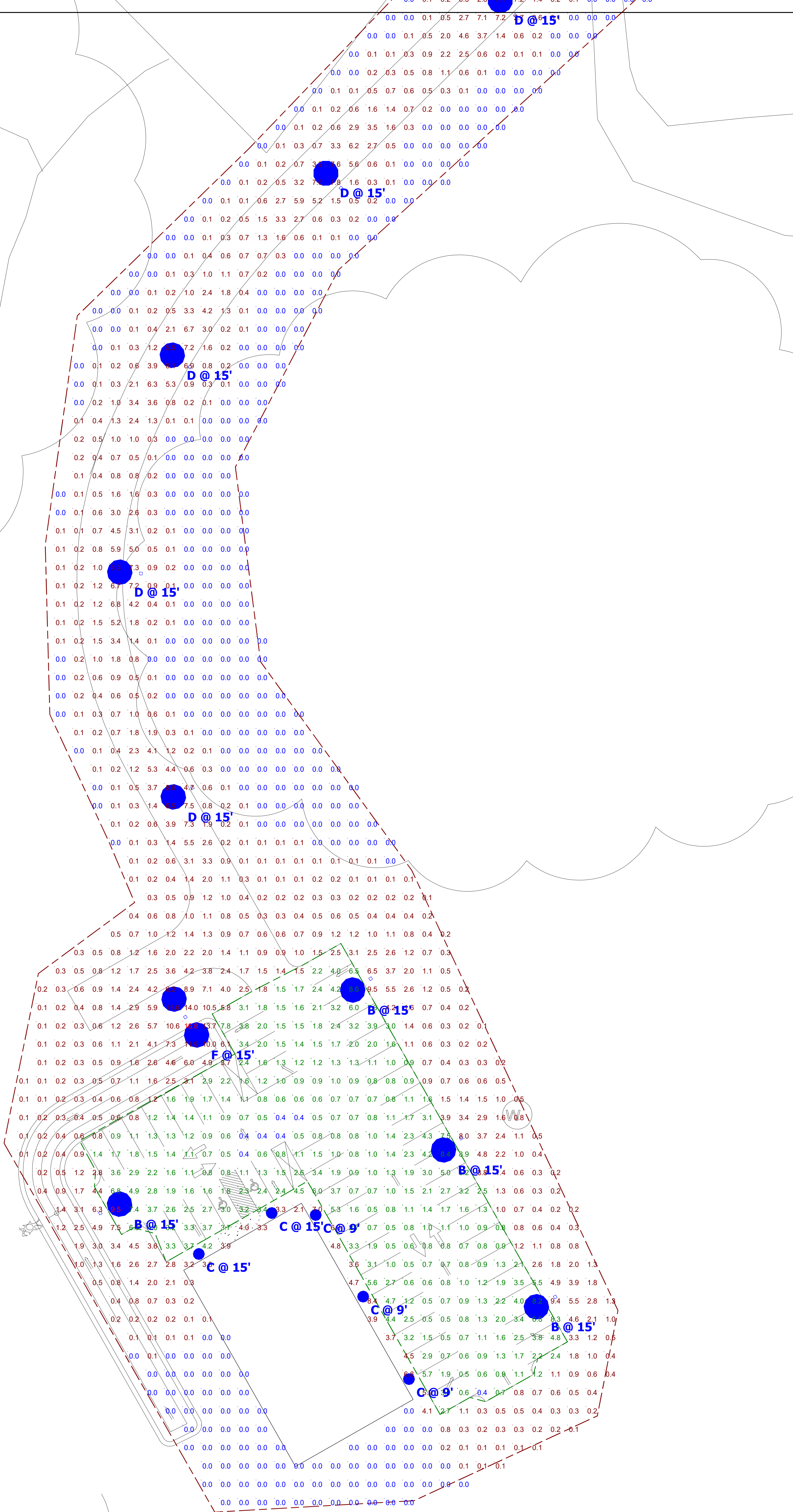
Schedule										
Symbol	Label	QTY	Manufacturer	Catalog Number	Description	Number Lamps	Filename	Lumens per Lamp	LLF	Wattage
	A	8	Luminaire	ALG-120/277-CSL-L170-30K-CRI 80-S5	Allegra	1	ALG-120_277-CSL-L170-30K-CRI 80-S5.ies	13777	0.9	292
	B	4	Luminaire	ALG-120/277-CSL-L170-30K-CRI 80-4	Allegra	1	ALG-120_277-CSL-L170-30K-CRI 80-4.ies	12645	0.9	146
	C	8	Luminaire Inc.	7100/102/7104/7120/7122 Serie Allegra	Allegra	1	7100-9LE3-056L-CW.ies	4423	0.9	68.75
	D	8	Luminaire	ALG-120/277-CSL-L170-30K-CRI 80-2 BLS	Allegra	1	ALG-120_277-CSL-L170-30K-CRI 80-2 BLS.ies	7417	0.9	146
	F	2	Luminaire	ALG-120/277-CSL-L170-30K-CRI 80-4	Allegra	1	ALG-120_277-CSL-L170-30K-CRI 80-4.ies	12645	0.9	292
	E	2	Luminaire	ALG-120/277-CSL-L170-30K-CRI 80-S5	Allegra	1	ALG-120_277-CSL-L170-30K-CRI 80-S5.ies	13777	0.9	146

Plan View
Scale - 1" = 20ft



POND

RAA





Livingston County Health Department

Environmental Health Division
2300 E. Grand River - Suite 200 - Howell, MI 48843

Fax (517) 546-9853 - Phone (517) 546-9858

www.lchd.org

Soils Evaluation For Sub-Surface Sewage Disposal System

PSEV2019-00379

Case No. 1

15-34-200-003

Current Desc. #

Hamburg Township

Township

Location: 5550 STRAWBERRY LAKE RD Lot:

Subdivision:

Acerage: 100

Parcel:

Applicant

THARP SCOTT & LAUREN
5550 STRAWBERRY LAKE RD
WHITMORE LAKE MI 48189
(248) 921 2839

Owner

THARP SCOTT & LAUREN
5550 STRAWBERRY LAKE RD
WHITMORE LAKE MI 48189
(248) 921 2839

Soil Description

<u>Date</u>	<u>Boring #</u>	<u>Soil Type</u>	<u>Soil Desc</u>	<u>Beg Depth</u>	<u>End Depth</u>	<u>SWT Depth</u>	<u>WT Depth</u>
10/23/2019	01	Loamy Sand	Topsoil	0.00	0.50	None	None
10/23/2019	01	Loamy Sand		0.50	6.00	None	None
10/23/2019	01	Fine Sand	Dry	6.00	10.00	None	None
10/23/2019	02	Loamy Sand	Topsoil	0.00	0.50	None	None
10/23/2019	02	Loamy Sand		0.50	6.00	None	None
10/23/2019	02	Fine Sand	Dry	6.00	11.00	None	None
10/23/2019	03	Loamy Sand	Topsoil	0.00	0.50	None	None
10/23/2019	03	Loamy Sand		0.50	8.00	None	None
10/23/2019	03	Fine Sand	Dry	8.00	11.00	None	None

Within 800 of a potential or known source of contamination: No

Alternative Review: No

Further Info Needed (Refer to Comments)

Conditions:

Oversize: No

The review of this site by the Livingston County Health Dept. by no means guarantees that a permit will be issued. However, soil conditions indicate that soils are suitable for the disposal of onsite waste water in the area of borings # 1 - # 3. Each development is site specific and it must be shown that adherence to Act 399, P.A. 1976 of the Michigan Safe Drinking Water Act and Michigan Criteria for Subsurface Disposal can be met.

Aaron Aumock

Environmental Health Representative

10/25/2019

Date

1 / 3

Soils Evaluation based on criteria stated in Livingston County Sanitary Code, effective January 4th, 1993.

This is NOT a permit. A suitable soils rating is NOT a guarantee that a permit to construct an on-site subsurface sewage disposal system will be granted. Changing conditions that might result in a permit denial are explained in more detail on the reverse side.



Livingston County Health Department
Environmental Health Division
2300 E. Grand River - Suite 200 - Howell, MI 48843
Fax (517) 546-9853 - Phone (517) 546-9858
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Soils Evaluation For Sub-Surface Sewage Disposal System

PSEV2019-00379

Case No. 1

15-34-200-003

Current Desc. #

Hamburg Township

Township

Location: 5550 STRAWBERRY LAKE RD **Lot:** **Subdivision:** **Acerage:** 100 **Parcel:**

A soil evaluation is conducted by the Environmental Health Division of the Livingston County Health Department to determine the suitability of utilizing onsite subsurface sewage treatment for a particular parcel of property. Comments might be made regarding the utilization of an onsite water well supply based on historical information in the general area, but in no instance can the information on this evaluation be specific for any particular parcel. We advise any prospective buyer to contact a licensed well driller, familiar with the area, for more specific information on water quality, yield, depth of wells, etc. The following discussion describes those factors which are evaluated during a soil evaluation and their effect on the operation of subsurface sewage treatment systems.

1. Soil type and permeability is a quality of a soil that enables it to transmit water or air. Slow permeable soils, such as clays and silts, are not suitable for utilizing onsite subsurface sewage treatment. Wetland soils such as muck and marl are poorly drained and therefore unsuitable for subsurface sewage treatment.
2. Highest known groundwater evaluation is an important consideration in determining if a site is suitable for the utilization of subsurface sewage treatment. In addition to the problems associated with saturated conditions, bacteria and viruses can survive if allowed to move in a water medium. Groundwater is our drinking water and must be protected from contamination by maintaining adequate isolation distances. Where the highest zone of groundwater saturation is less than 24 inches below the original ground surface the site will be considered unsuitable.
3. Deep excavations or cut-down systems can only be accepted under the following conditions:
 - a. Adequate and suitable material is within 20 ft. of the original grade.
 - b. The soils encountered shall not be saturated.
 - c. The drinking water aquifer will not become contaminated as a result of the wastewater discharge.
4. Other considerations evaluated during a soils evaluation include but are not limited to:
 - a. Adequate suitable area for a replacement system.
 - b. Isolation distances to water well supplies, surface waters, severe slopes, and property lines.
 - c. If the site is subject to flooding.

A determination of "suitable" soils does not guarantee that this property will be approved for development. It is the responsibility of the owner/purchaser to perform their due diligence with respect to other local, county, state, or federal requirements and/or restrictions that may impact the development potential of this property. These requirements and/or restrictions may void or restrict this soil evaluation.

This soil evaluation is valid for a specific building site. Any change in the legal description or a division of the original parcel into smaller parcels may void the original soils evaluation. A suitable soils evaluation does not necessarily mean that a permit to construct a subsurface sewage treatment system will automatically be issued. Some factors that might change the rating for permit approval include:

- a. Revisions to the current Sanitary Code Requirements for Permit Approval. This soils evaluation was conducted under the criteria for Permit Approval stated in the Livingston County Sanitary Code effective April 1, 2009.
- b. Grading, filling or excavation on the parcel.
- c. Construction on neighboring properties where location of water wells and/or sewage treatment systems encroach on required isolation distances.
- d. A soils evaluation for commercial property is only valid if specific wastewater flow is stated.
- e. Should some other condition of the property become known after the date of this soil evaluation that could impact the feasibility of development, or impact the quality of drinking water due to the discovery of a previously unknown source of contamination, the potential development of the property could be impacted. These discoveries may void or restrict this soil evaluation.

SWT - Seasonal Water Table

GW - Ground Water

WT - Water Table

LEGEND - Soil Description

MOT	Mottled	SAT	Saturated
GRE	Grey	LIG	Light
HEA	Heavy	DRY	Dry
WET	Wet		

Aaron Aumock

Environmental Health Representative

10/25/2019

Date

2 / 3

Soils Evaluation based on criteria stated in Livingston County Sanitary Code, effective January 4th, 1993.

This is NOT a permit. A suitable soils rating is NOT a guarantee that a permit to construct an on-site subsurface sewage disposal system will be granted. Changing conditions that might result in a permit denial are explained in more detail on the reverse side.



Livingston County Health Department
Environmental Health Division
2300 E. Grand River - Suite 200 - Howell, MI 48843
Fax (517) 546-9853 - Phone (517) 546-9858
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Soils Evaluation For Sub-Surface Sewage Disposal System

PSEV2019-00379

Case No. :

15-34-200-003

Current Desc. #

Hamburg Township

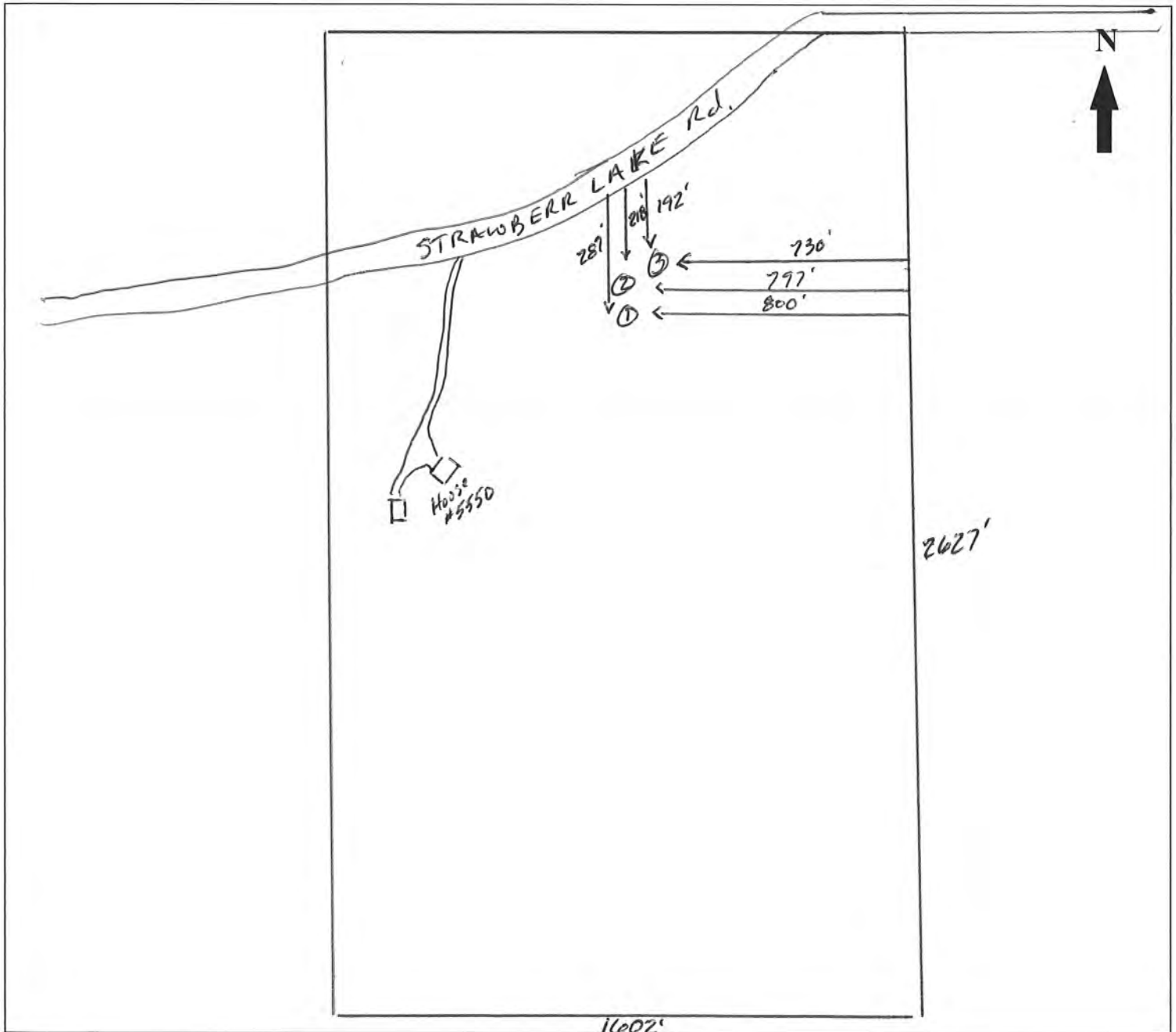
Township

Location: 5550 STRAWBERRY LAKE RD Lot:

Subdivision:

Acerage: 100

Parcel:



Aaron Aumock
Environmental Health Representative

10/25/2019
Date

3/3

Soils Evaluation based on criteria stated in Livingston County Sanitary Code, effective January 4th, 1993.

This is NOT a permit. A suitable soils rating is NOT a guarantee that a permit to construct an on-site subsurface sewage disposal system will be granted. Changing conditions that might result in a permit denial are explained in more detail on the reverse side.



LIVINGSTON COUNTY ROAD COMMISSION
LAND SPLIT / SIGHT DISTANCE REVIEW

****NOTE: THIS IS NOT A
DRIVEWAY PERMIT.****

Review Number 1807-014

Property Owner and Applicant Information

Owner: Scott & Lauren Tharp
Street Address: 5550 Strawberry Lake Road
City, State, ZIP: Hamburg, MI 48189
Day Phone: (734) 308-0282 Fax:
Applicant:
Company:
Address:
City, State:
Applicant Phone: Applicant Fax:

Location

Township: Hamburg Section: 34
Development: Strawberry Creek Farm
Approach Type: Commercial
Speed Limit (if posted):
Speed Factors (if any): 35 MPH Advisory to the East

Roadway On: Strawberry Lake Road Side of Street: South

Field Measurements

Location of existing property corners from nearest crossroad: -87 and 1836 feet West of Pine Bluff

Parcel	Property/ Easement Corners	Access Point(s)	Sight Distance Req. Std Min	Sight Distance Measured	Sight Distance Comply	Clear Vision Comply	Neighbor Consent Required	Approve
Existing		1400	875 600	812 East 790 West	Yes	No	No	No
Proposed Commercial		1019	875 600	720 East 740 West	Yes	No	No	No

Comments:

The existing residential driveway and the proposed driveway locations could meet our requirements for a commercial driveway approach once the clear vision area is established. Trees and shrubs need to be removed both east and west of the approaches. To the west, the clear vision area will be needed on the north side of the road. See the LCRC booklet for more information.

Inspection Date: 12/7/2018

Inspector:

Sonny Newton
Sonny Newton

Ex 5 G



The values listed as standard represent the minimum requirements for sight distance where existing roadway and site characteristics allow. Where conditions do not allow for the standard, the driveway shall be located in the best location, maximizing sight distance as close to the standard as possible. A permit will not be issued where the minimum allowable sight distance, based on speed conditions, cannot be achieved. In some instances, the Livingston County Road Commission may reduce the sight distance requirements where conditions limit vehicle speeds in the vicinity of the proposed approach.

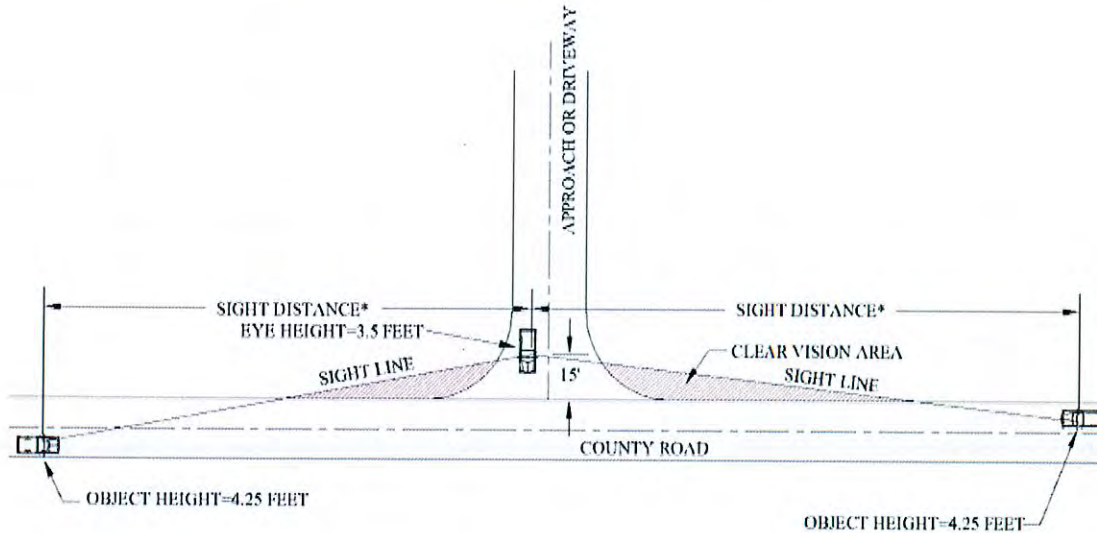
On gravel roads that do not have a posted speed limit, commercial driveway approaches shall meet the 45-mph requirements for sight distance.

On roadways serving through traffic that have a 25-mph prima facie limit posted, commercial driveway approaches shall meet the value listed as standard for sight distance.

Sight distance shall be measured on the edge of the roadway at the center of the approach, using an eye height of 3.5 feet above the road edge and sighting a target 4.25 feet high along the center of each lane on the road. A portion of the target being sighted shall be continuously in view for the required sight distance values. Further, the approach should be located to provide as much of the target in view as possible. The approach should also be located to maximize the view of oncoming traffic for a motorist on the existing county road preparing to turn left at the driveway.

The same sight distance required at the edge of the road shall be continuously provided, along the center of the approach, to a point 15 feet off the edge of the road. The Road Commission may reduce this requirement to a point not less than 10 feet off the edge of the road, depending on site-specific conditions.

A clear vision area, as shown in Figure 2, shall be provided prior to construction and use of any commercial driveway approach entering onto a roadway under the jurisdiction of the Livingston County Road Commission. To provide for adequate vision, all obstructions must be removed within the clear vision area. The property owner shall maintain the clear vision area in perpetuity.



Note: On multilane highways, clear vision shall be provided to the center of each lane in both directions of travel.

Figure 2. Clear vision requirement for commercial driveways.

MEMO

To: Mr. Scott Tharp
Strawberry Creek Farms

From: Julie M. Kroll, PE, PTOE
Fleis & VandenBrink

Date: Revised February 4, 2020

Re: Strawberry Creek Farms
5550 Strawberry Lake Road, Hamburg Twp., Michigan
Trip Generation Analysis and Site Traffic Operations Review

INTRODUCTION

This memorandum presents the results of a trip generation analysis and site traffic operations review at the proposed Strawberry Creek Farms development in Hamburg Township, Michigan. The project site is located at 5550 Strawberry Lake Road as shown on **Figure 1**.

FIGURE 1: SITE LOCATION MAP



BACKGROUND INFORMATION

The subject site is located adjacent to the south side of Strawberry Lake Road, approximately 1½ miles west of Hamburg Road. Strawberry Lake Road runs generally in the east and west directions and is under the jurisdiction of the Livingston County Road Commission (LCRC).

The subject site is generally undeveloped, with one single family home, including an existing gravel driveway provided on the property. The existing single-family home will remain on the property with the addition of the proposed development, which includes the following land uses:

**27725 Stansbury Boulevard, Suite 195
Farmington Hills, MI 48334**

P: 248.536.0080

F: 248.536.0079

www.fveng.com

- Wedding Barn
- U-Pick Pumpkin Patch (seasonal)
- U-Pick Apple Orchard (seasonal)
- Corn Maze (seasonal)
- Farm Market & Donut Hut (seasonal)

A new site access driveway is proposed to access the new land uses, in addition to improvements to the existing gravel driveway on the site, for a total of two site access driveways. The proposed site plan is attached.

TRIP GENERATION

The number of Weekday, AM peak hour, PM peak hour, and Saturday vehicle trips were calculated for the proposed land use and were then compared to trips generated by a 40 unit subdivision that would potentially be developed at the proposed site location. The projected trip generation for single-family homes was calculated based on the rates and equations published by ITE in *Trip Generation, 10th Edition*. However, ITE does not currently have trip generation information for the proposed land uses (Wedding Barn and Agritourism). Therefore, other sources were referenced to calculate the projected traffic volumes associated with the proposed land uses. These sources include:

- *Estimating Trip Generation and Distribution for a Wedding Venue*. Mike Spack, PE, PTOE & Kent Harbert, Colorado DOT
- *Trip Generation at Virginia Agritourism Land Uses*. Virginia Transportation Research Council

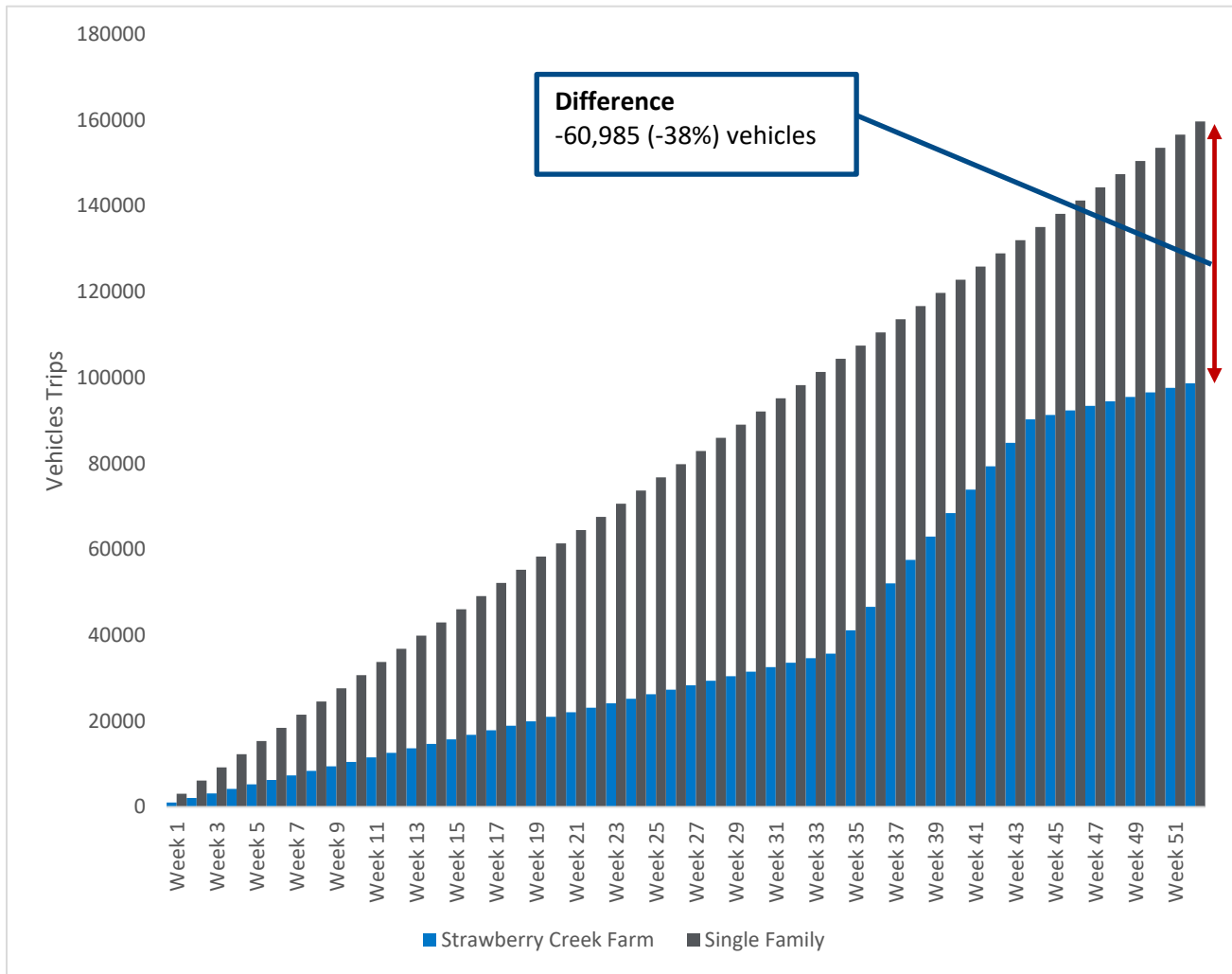
The trip generation forecasts for both the off-peak and peak seasons are shown in **Table 1**.

Table 1: Site Trip Generation Comparison

Off-Peak Season														
Land Use	ITE Code	Size	Units	Average Daily Traffic	AM Peak Hour			PM Peak Hour			Saturday Daily Traffic	Saturday Peak		
					In	Out	Total	In	Out	Total		In	Out	Total
Wedding Barn	n/a	200	Ocup	150	0	0	0	60	0	60	150	60	0	60
U-Pick Apples/Pumpkins	n/a	0	Prk Sp	0	0	0	0	0	0	0	0	0	0	0
Proposed Land Use				150	0	0	0	60	0	60	150	60	0	60
Single Family Detached	210	40	DU	448	8	25	33	26	16	42	415	28	24	52
Difference				-298	-8	-25	-33	34	-16	18	-265	32	-24	8
Peak Season														
Land Use	ITE Code	Size	Units	Average Daily Traffic	AM Peak Hour			PM Peak Hour			Saturday Daily Traffic	Saturday Peak		
					In	Out	Total	In	Out	Total		In	Out	Total
Wedding Barn	n/a	200	Ocup	150	0	0	0	60	0	60	150	60	0	60
U-Pick Apples/Pumpkins	n/a	96	Prk Sp	490	10	0	10	25	24	49	979	49	49	98
Proposed Land Use				640	10	0	10	85	24	109	1,129	109	49	158
Single Family Detached	210	40	DU	448	8	25	33	26	16	42	415	28	24	52
Difference				192	2	-25	-23	59	8	67	714	81	25	106

The weekday trip generation was extrapolated to calculate the annual difference in trip generation associated with the proposed land use and the existing zoning with single-family homes for this site. The results of this analysis are illustrated on **Chart 1** and show that throughout the year, the projected traffic volumes for this site are relatively low. There are a few weeks in the late summer-early fall when the traffic volumes will increase; however, the overall impact of this site is 38% less than what would be expected from a single-family development on this site.

Chart 1: Yearly Vehicle Trip Generation Projections



The projected traffic associated with both the proposed development and the alternative single-family homes was further evaluated to determine the impact on the adjacent Strawberry Lake Road. The existing traffic volume data on Strawberry Lake Road was obtained from the Michigan Department of Transportation (MDOT) Transportation Data Management System and shows an average annual daily traffic (AADT) volume of 4,550 vehicles per day (vpd) adjacent to the project site. The average daily traffic volumes projected for both the proposed development and the single-family land use were compared to the existing traffic volumes to determine the percent change in traffic volumes on the adjacent roadway associated with the two land uses. The results of the analysis are summarized in **Table 2** and show that the impact of the proposed development on an average daily basis will be less than what is permitted under the existing zoning.

TABLE 2: STRAWBERRY LAKE ROAD TRAFFIC IMPACT SUMMARY

Strawberry Lake Road	Strawberry Creek Farms	Single Family
2018 Traffic Volumes (vpd)	4,555	4,555
Yearly Average New Site Generated Traffic (vpd)	271	439
Total Volume (vpd)	4,826	5,003
Percentage Increase	5.6%	8.7%

TRAFFIC OPERATIONS PLAN

The proposed site plan was reviewed for operations and safety. The observations and recommendations are summarized below and shown on the attached site plan.

Ingress/Egress Operations

- The two driveways are proposed to operate during peak times with one-way ingress and egress operations; with the east driveway (Main Entrance) providing ingress and the west driveway providing egress.
- The parking lot should have one-way traffic flow. This can be accommodated with signing and parking lot attendants during the peak time directing traffic to open spaces. A one-way traffic flow through the parking lots will reduce the potential for vehicle conflicts between ingress and egress vehicles. It will reduce the internal congestion and potential impacts to the adjacent street operations.
- The main driveway through the property should have a temporary barriers to restrict access for vehicles other than employees and vehicles with handicap parking permits to pass through. During peak times a parking attendant should be assigned to manage this access point.
- During non-peak times (weekday) and during off-peak season the parking lot can operate with one site access driveway (Main Entrance) for ingress and egress. The operations of the parking facility would be similar to any parking lot and vehicles would be free to find a convenient open space.

Pedestrian Safety

- A pedestrian walkway should be provided along the main entrance driveway. This area should be designated and signed as the pedestrian walkway. This can be accommodated with temporary fencing or other delineation.

Wayfinding/Signing

- Signing within the parking facility should be added to direct vehicles in a one-way pattern through the parking lot during the peak operations.
- Signage should be provided that indicates the ADA parking is located adjacent to the Farm Center/Donut Hut and parking location of the Wedding Barn.

Parking Management

- Provide a minimum of two parking lot attendants in the parking lot during peak times; one attendant directing ingress vehicles and one attendant parking vehicles. When overflow parking is used four attendants should be provided in the parking lot; two attendants to remain in the main parking lot and two attendants in the overflow lot. The two attendants in the overflow lot should be utilized to direct ingress traffic and park vehicles, consistent with the main parking lot operations.
- The parking attendants should be trained for parking lot safety and operations and have high visibility attire per MIOSHA requirements. The parking attendants should also be provided with two-way communication devices that are connected with each other and supervisory staff.
- A minimum of four ADA parking spaces should be provided for this site. These parking spaces should be located adjacent to the proposed Farm Market/Donut Hut.

KEY FINDINGS

- The impact of the proposed development on Strawberry Lake Road on an average daily basis will be less than what is permitted under the existing zoning as developed with 40-single family homes.
- When evaluated on annual basis the overall impact of the proposed development is 38% less than what would be expected from a single-family development on this site.
- The proposed site plan should be updated to include a minimum of four ADA parking spaces adjacent to the proposed Farm Market/Donut Hut.
- The peak season is expected to occur during the weekends in September and October for this site. The trip generation can be accommodated through the recommendations outlined in the traffic operations plan. Key considerations for this plan include:
 - Ensure all staff are provided with proper training on safety and the operations of the site circulation.

- Provide adequate signage at the site access points and internal to the site to maintain a one-way circulation to reduce vehicle conflicts.
- Provide a pedestrian walkway/delineation between the overflow parking and the site access roadway.
- During non-peak times (weekday) and during off-peak season the parking lot can operate with one site access driveway (Main Entrance) for ingress and egress. The operations of the parking facility would be similar to any parking lot and vehicles would be free to find a convenient open space.

Any questions related to this memorandum should be addressed to Fleis & VandenBrink.

Attached: Site Plan
Traffic Volume Data
Recommended Traffic Operations & Signing

JMK:jmk:eep

Disclaimer: The Michigan Department of Transportation (MDOT) works with individual agencies (cities/villages, counties, metropolitan planning organizations (MPOs), regional planning organizations (RPOs), and other areas of MDOT) to identify existing traffic count programs and/or traffic data [... more](#)


List View

All DIRs


Record	1	of 1	Goto Record	go
Location ID	47-5150	MPO ID		
Type	SPOT	HPMS ID		
On NHS	No	On HPMS	No	
LRS ID	4104134	LRS Loc Pt	2.203	
SF Group	Rural Non State	Route Type		
AF Group	NoFactor	Route		
GF Group	Rural Non State	Active	Yes	
Class Dist Grp	NTL_5	Category	Primary	
Seas Ciss Grp				
WIM Group				
QC Group	Default			
Funct'l Class	(5) Major Collector	Milepost		
Located On	STRAWBERRY LAKE RD			
Loc On Alias				
WEST OF	Merrill Rd			
More Detail				

STATION DATA

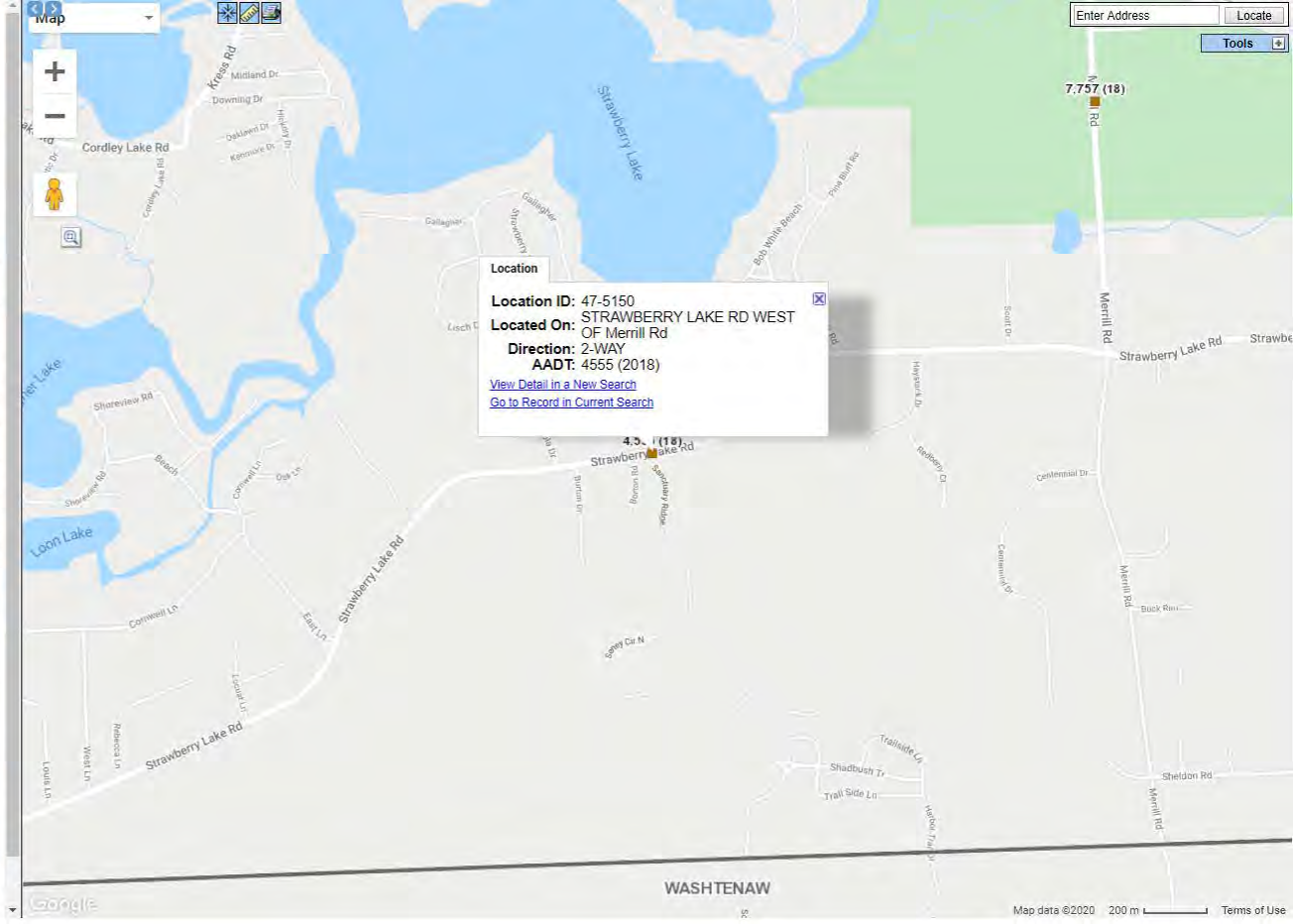
Directions: **2-WAY** **EB** **WB** 

AADT 								
	Year	AADT	DHV-30	K %	D %	PA	BC	Src
	2018	4,555 ³				4,434 (97%)	121 (3%)	Grown from 2017
	2017	4,523 ³				4,389 (97%)	134 (3%)	Grown from 2016
	2016	4,345				4,345 (100%)	0 (0%)	SEMCOG

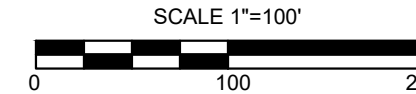
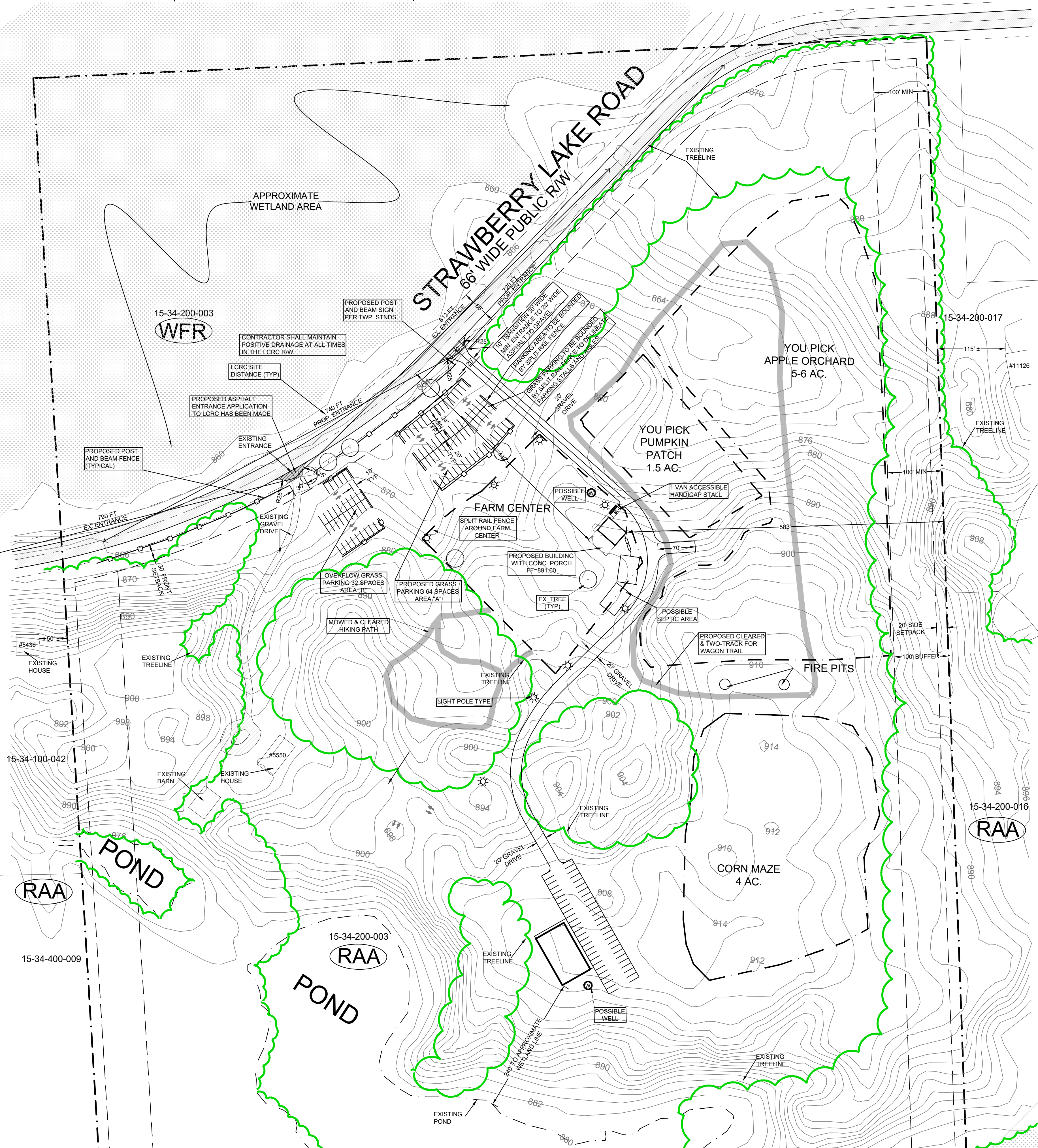
VOLUME COUNT			
	Date	Int	Total
No Data			

VOLUME TREND 	
Year	Annual Growth
2018	1%
2017	4%

CLASSIFICATION			
	Date	Int	Total
No Data			



SITE PLAN FOR STRAWBERRY CREEK FARMS



SCOTT THARP

SHEET INDEX

1 of 2 PHOTOMET

PARCEL LEGAL DESCRIPTION

THEREFROM ALL THAT PART LYING NORTH AND WEST OF STRAWBERRY

GENERAL NOTES:

SETBACKS = FRONT
REAR

- REAR -35 FT.
SIDE -20 FT.
2. SEASONAL FARM MARKET AND DONUT HUT (JUNE-DECEMBER) WITH PUMPKIN PATCH, CORN MAZE AND APPLE ORCHARD (NO ANNUAL PERMIT REQUIRED). ALSO, A WEDDING BARN (ANNUAL PERMIT REQUIRED). UNDER ARTICLE 8.00 SUPPLEMENTAL REGULATIONS MAJOR AGRICULTURAL COMMERCIAL/TOURISM BUSINESS.
3. WASTE WATER DISPOSAL FOR THE DONUT HUT & WEDDING BARN TO BE DISCHARGED TO PROPOSED SEPTIC SYSTEM PER LCHD STANDARDS.
4. WATER SUPPLY FOR THE DONUT HUT TO BE PROVIDED BY AN ON-SITE WELL PER LCHD STANDARDS .
5. OFF STREET PARKING WILL BE LOCATED ON THE GRASSY AREAS AS SHOWN.
6. TRASH COLLECTION IS TO BE IN TYPICAL SMALL OR RESIDENTIAL DUMPSTER.
7. THE SITE IS WOODED AND TREE CLEARING WILL BE DONE TO ALLOW PLACEMENT OF THE PUMPKINS, CORN, AND APPLE TREES. AREAS NOT USED FOR AGRICULTURE WILL BE KEPT WOODED.
8. NO GRADING IS PROPOSED AND ANY EARTH DISTURBANCE WILL BE ASSOCIATED WITH INSTALLATION OF THE CONC. SLABS FOR THE BUILDINGS AND TREE CLEARING.
9. LIGHTING WILL BE BUILDING MOUNTED NEAR THE BUILDING AND POLE MOUNTED NEAR THE WEDDING CHAPEL PATH AND FARM CENTER.
10. FARM CENTER WILL CONSIST OF FARM MARKET/DONUT HUT, PICNIC TABLES AND KIDS PLAY AREA.
11. HIKING PATH- MOWED AND CLEARED 8-FOOT PATHWAY. PICTURE BELOW.
12. TRACTOR AND WAGON PATH- CLEARED TWO TRACK TRACTOR PATH. PICTURE BELOW.
13. PORTABLE TOILETS WILL BE PROVIDED FOR GUEST USE. RESTROOM FOR STAFF WILL BE PROVIDED IN THE FARM MARKET.
14. SEE ATTACHED FOR DETAILS REGARDING FENCING, SIGNAGE, MENU, SPECIFICS OF FARM CENTER AND LANDSCAPING.

1 NOISE: EVENT SHALL

- 2.2. ROUSE: EVENT SHALL BE REQUIRED TO CLEAN UP ALL EMISSIONS OF THE FURNACE IN CASE OF SHARP CLEAN UP: ADEQUATE SITE AND SURROUNDING AREA CLEAN UP SHALL BE DONE WITHIN 48 HOURS OF AN EVENT.

TO STORM WATER SYSTEM

NATURAL STATE. THE PROPOSED BUILDINGS SHALL HAVE THEIR DOWNSPOUT DRAINAGE DIRECTED UNDERGROUND. THE GRAVEL DRIVE WILL NOT HAVE DITCHES AND WILL BE INSTALLED AT OR NEAR EXISTING GRADE.

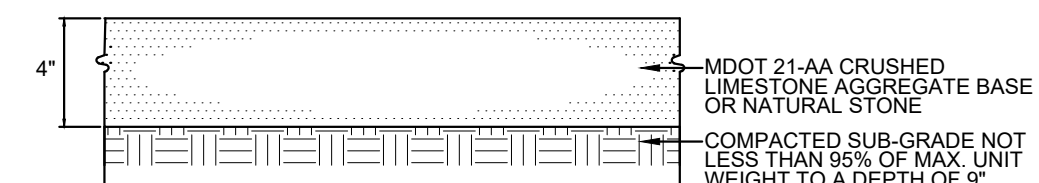
SEQUENCE OF CONSTRUCTION FOR SOIL EROSION CONTROL

1. 4. INSTALL EROSION CONTROL MEASURES ON ANY EXPOSED EROSION CONTROL PLAN, (TEMPORARY)
2. 5. INSTALL SILTATION FENCE, SHOWN ON THE SOIL EROSION CONTROL PLAN, (TEMPORARY)
3. 6. INSTALL GRAVEL DRIVE ROAD SHOULDER.
4. 7. INSPECT AND REPAIR AND/OR REPLACE ANY DAMAGED SILT FENCE
5. 8. REMOVE TEMPORARY SOIL EROSION CONTROL MEASURES AFTER PERMANENT VEGETATION HAS BEEN ESTABLISHED.
6. 9. IT IS THE RESPONSIBILITY OF THE DEVELOPER TO INSURE THAT ALL SOIL EROSION CONTROL MEASURES ARE INSTALLED AND MAINTAINED.
7. 10. DUST MUST BE CONTROLLED AT ALL TIMES.
8. 11. VEGETATION MUST BE ACCEPTABLY ESTABLISHED PRIOR TO FINAL RELEASE OF THE CONSTRUCTION DEPOSIT.
9. 12.

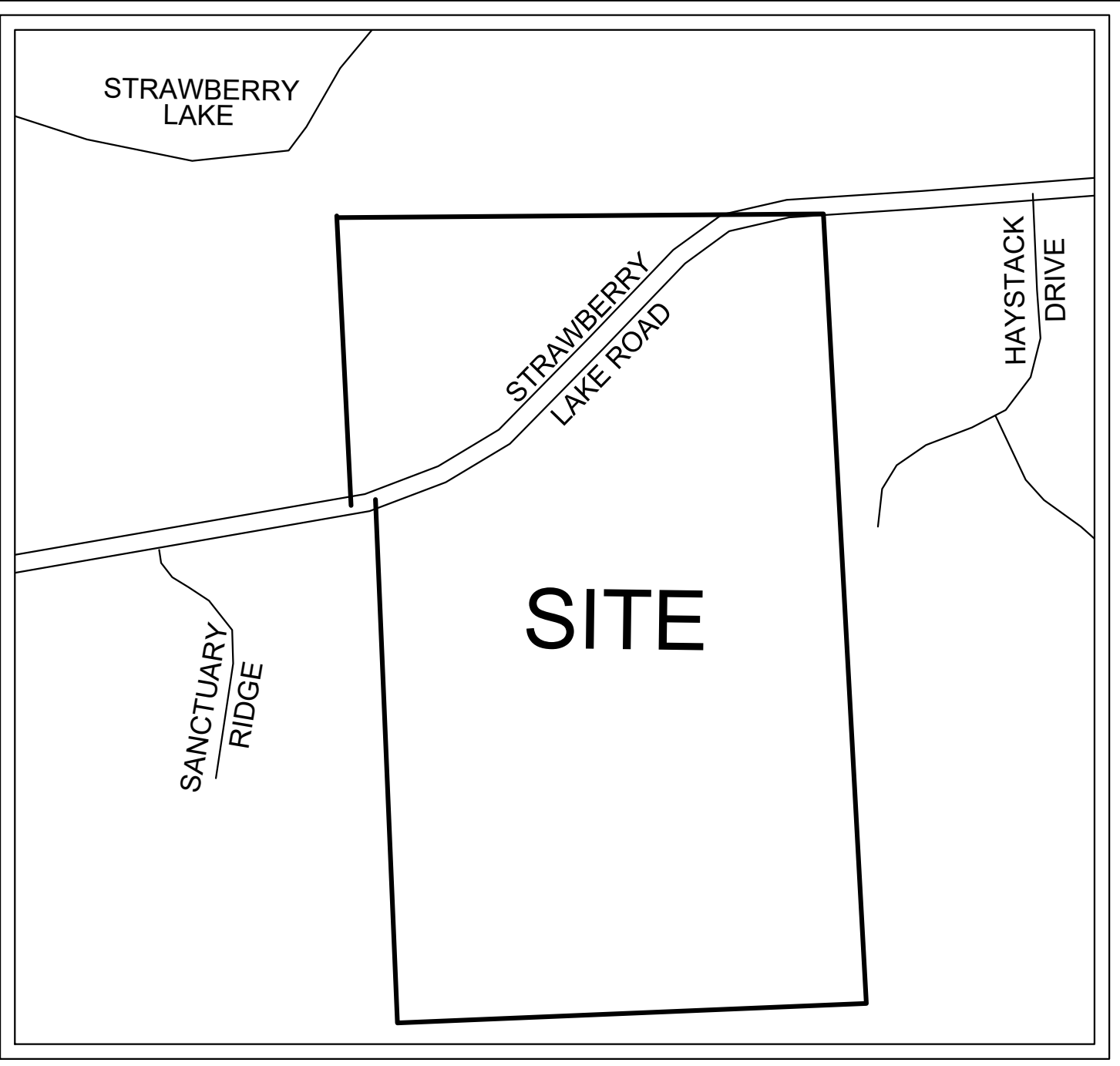
AND SEDIMENT CONTROL DEVICES

THE OWNER IS RESPONSIBLE FOR ANY DISTURBED AREAS NOT HAVING VEGETATION ESTABLISHED. MAINTENANCE SHOULD BE PERFORMED FOLLOWING ANY STORM AND SHOULD INCLUDE:

STRESS THAT IT DOES NOT BE ENTER THE EXAMINING OFFICE.

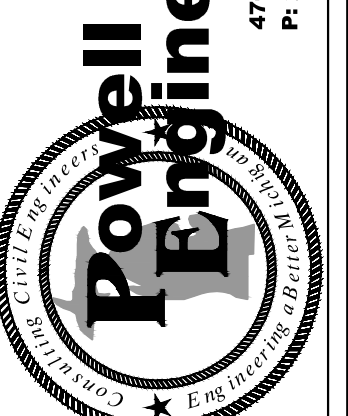


20 FT WIDE GRAVEL DRIVE CROSS-SECTION



SCALE: 1" = 1500'

J & Associates, LLC
 re, White Lake, Michigan 48383
 @powelleng.net



OT. AS A RESULT THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS, LICENSES AND PROFILES. ALL INFORMATION CONCERNING ALL UTILITIES SHOWN ON THE PLANS SHALL BE OBTAINED BY THE OWNER AND/OR AVAILABLE RECORDS, BUT THE OWNER AND ENGINEER DOES NOT GUARANTEE THE ACCURACY OF ANY INFORMATION. ANY ADDITIONAL UNDERGROUND STRUCTURES OR UTILITIES MAY NOT BE ENCOUNTERED, IF THE CONTRACTOR DOES ENCOUNTER A STRUCTURE OR UTILITY NOT SHOWN ON THE PLANS, OR DETERMINES THAT ONE OF THE UTILITIES/STRUCTURES SHOWN ON THE PLANS IS NOT THE SAME, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER AND ENGINEER FOR DIRECTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL DAMAGE TO EXISTING UTILITIES. NOTIFY "MISS DIG" AT 1-800-447-7171, 72 HOURS PRIOR TO THE START OF THE PROJECT.



**BEFORE YOU DIG
CALL MISS DIG**
1-888-488-7171

STRAWBERRY CREEK FARMS & FALL ADVENTURE CENTER

SITE PLAN

HAMBURG TOWNSHIP, LIVINSTON COUNTY, MI

ISSUE DATES

SITE PLAN
05-08-18
PER TWP
9-24-18
SITE PLAN
10-1-18
SITE PLAN
10-25-18
LCRC
11-20-18
12-19-18

DESIGNED BBB

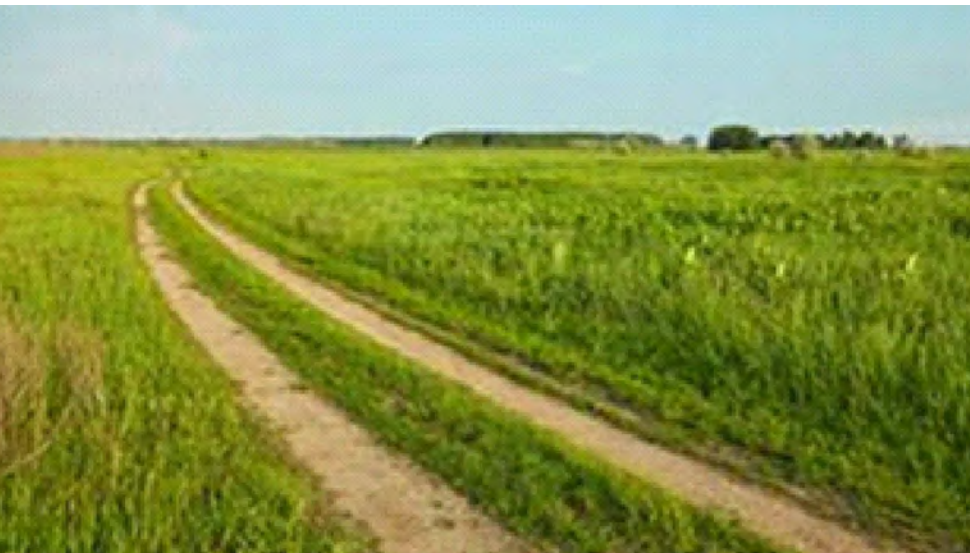
P.E. JOB No. 17-532

1

© 2009 Powell Engineering & Associates, LLC

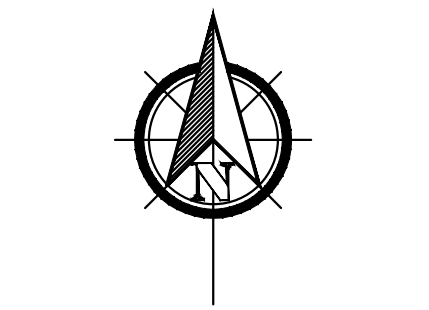
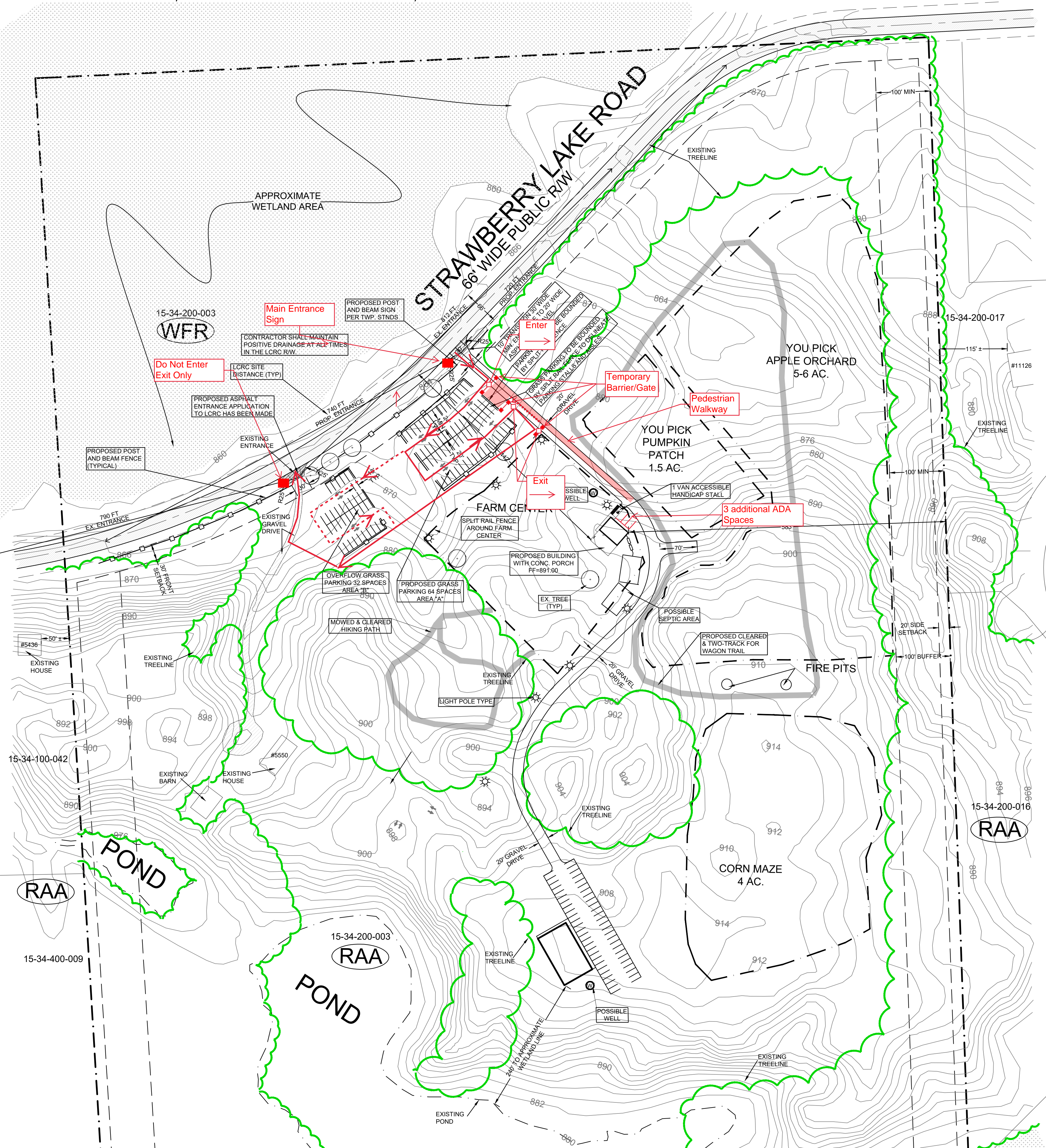


CLEARED & MOWED HIKING PATH




REACTOR RATIO

SITE PLAN FOR STRAWBERRY CREEK FARMS



SCALE 1"=100'



A horizontal scale bar with alternating black and white segments. It is marked with '0' at the left end, '100' at the midpoint, and '200' at the right end.

DEVELOPER:

SCOTT THARP
5550 STRAWBERRY LAKE ROAD
WHITMORE LAKE, MI 48189
248-921-2839

SHEET INDEX

S1 SITE PLAN
1 of 2 PHOTOMETRIC PLAN
2 of 2 PHOTOMETRIC PLAN

PARCEL LEGAL DESCRIPTION (TAX I.D. 15-34-200-003):

ALL THAT PART OF THE WEST 100 ACRES OF THE Ne $\frac{1}{4}$ OF SECTION 34, T1N, R5E, EXCEPTING THEREFROM ALL THAT PART LYING NORTH AND WEST OF STRAWBERRY LAKE ROAD.

GENERAL NOTES:

1. EXISTING ZONING - RAA
SETBACKS = FRONT -30 FT. (100 FT BUFFER ZONE ALONG ALL BORDERING PROPERTIES WILL REMAIN WOODED)
REAR -35 FT.
SIDE -20 FT.
2. SEASONAL FARM MARKET AND DONUT HUT (JUNE-DECEMBER) WITH PUMPKIN PATCH, CORN MAZE AND APPLE ORCHARD (NO ANNUAL PERMIT REQUIRED), ALSO, A WEDDING BARN (ANNUAL PERMIT REQUIRED). UNDER ARTICLE 8.00 SUPPLEMENTAL REGULATIONS, MAJOR AGRICULTURAL COMMERCIAL AND TOURISM BUSINESS.
3. WASTE WATER DISPOSAL FOR THE DONUT HUT & WEDDING BARN TO BE DISCHARGED TO PROPOSED SEPTIC SYSTEM PER LCHD STANDARDS.
4. WATER SUPPLY FOR THE DONUT HUT TO BE PROVIDED BY AN ON-SITE WELL PER LCHD STANDARDS .
5. OFF STREET PARKING WILL BE LOCATED ON THE GRASSY AREAS AS SHOWN.
6. TRASH COLLECTION IS TO BE IN TYPICAL SMALL OR RESIDENTIAL DUMPSITER.
7. THE SITE IS WOODED AND TREE CLEARING WILL BE DONE TO ALLOW PLACEMENT OF THE PUMPKINS, CORN, AND APPLE TREES. APPROX 10% OF THE SITE IS TO BE KEPT WOODED.
8. NO GRADING IS PROPOSED AND ANY EARTH DISTURBANCE WILL BE ASSOCIATED WITH INSTALLATION OF THE CONC. SLABS FOR THE BUILDINGS AND TREE CLEARING.
9. LIGHTING WILL BE BUILDING MOUNTED NEAR THE BUILDING AND POLE MOUNTED NEAR THE WEDDING CHAPEL PATH AND FARM CENTER.
10. FARM CENTER WILL CONSIST OF FARM MARKET/DONUT HUT, PICNIC TABLES AND KIDS PLAY AREA.
11. HIKING PATH- MOWED AND CLEARED 8-FOOT PATHWAY. PICTURE BELOW.
12. PORTABLE TOILETS WILL BE CLEARED TWO TRACK TRACTOR PATH. PICTURE BELOW.
13. PORTABLE TOILETS WILL BE PROVIDED FOR GUEST USE. RESTROOM FOR STAFF WILL BE PROVIDED IN THE FARM MARKET.
14. SEE ATTACHED FOR DETAILS REGARDING FENCING, SIGNAGE, MENU, SPECIFICS OF FARM CENTER AND LANDSCAPING.

ZONEING NOTES:

1. NOISE: EVENT SHALL BE REQUIRED TO MEET THE REGULATIONS OF THE HAMBURG TWP NOISE ORDINANCE.
2. CLEAN UP: ADEQUATE SITE AND SURROUNDING AREA CLEAN UP SHALL BE DONE WITHIN 48 HOURS OF AN EVENT.

STORM WATER NOTE:

NO STORM WATER SYSTEM IS PROPOSED DUE TO THE PROPOSED IMPROVEMENTS BEING IN A NATURAL STATE. THE PROPOSED BUILDINGS SHALL HAVE THEIR DOWNSPOUT DRAINAGE DIRECTED UNDERGROUND. THE GRAVEL DRIVE WILL NOT HAVE DITCHES AND WILL BE INSTALLED AT OR NEAR EXISTING GRADE.

SEQUENCE OF CONSTRUCTION FOR SOIL EROSION CONTROL

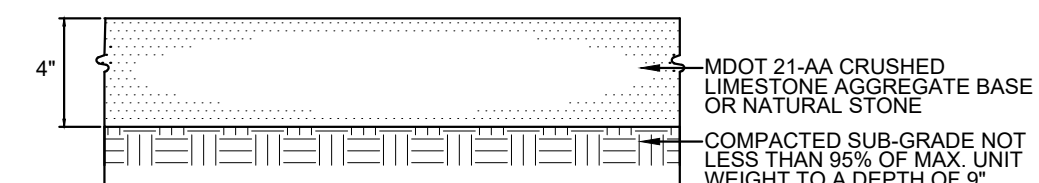
1. OBTAIN SOIL EROSION PERMIT FROM LIVINGSTON COUNTY DRAIN COMMISSION.
2. INSTALL SILTATION FENCE AS SHOWN ON THE SOIL EROSION CONTROL PLAN. (TEMPORARY)
3. INSTALL GRAVEL DRIVE DONUT SHOP BUILDING.
4. INSPECT AND REPAIR AND/OR REPLACE ANY DAMAGED SILT FENCE
5. REMOVE TEMPORARY SOIL EROSION CONTROL MEASURES AFTER PERMANENT VEGETATION HAS BEEN ESTABLISHED.
6. IT IS THE RESPONSIBILITY OF THE DEVELOPER TO INSURE THAT ALL SOIL EROSION CONTROL MEASURES ARE INSTALLED AND MAINTAINED.
7. DUST MUST BE CONTROLLED AT ALL TIMES.
8. VEGETATION MUST BE ACCEPTABLY ESTABLISHED PRIOR TO FINAL RELEASE OF THE CONSTRUCTION DEPOSIT.
- 9.

PROGRAM PROPOSAL FOR THE CONTINUED MAINTENANCE OF ALL PERMANENT SOIL EROSION AND SEDIMENT CONTROL DEVICES

THE OWNER IS RESPONSIBLE FOR ANY DISTURBED AREAS NOT HAVING VEGETATION ESTABLISHED. MAINTENANCE SHOULD BE PERFORMED FOLLOWING ANY STORM AND SHOULD INCLUDE:

ANY PROBLEM DISCOVERED DURING THE MAINTENANCE CHECKS SHOULD BE ADDRESSED IMMEDIATELY.

ANY ACCUMULATED SEDIMENT REMOVED DURING INSPECTION SHOULD BE REMOVED FROM THE SITE SO THAT IT DOES NOT RE-ENTER THE DRAINAGE COURSE.



20 FT WIDE GRAVEL DRIVE CROSS-SECTION



CLEARED & MOWED HIKING PATH



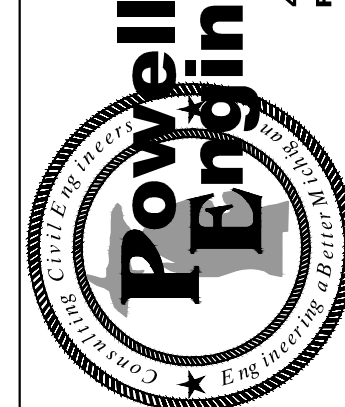
TRACTOR PATH



LOCATION MAP
SCALE: 1" = 1500'

Consulting Civil Engineers
"Engineering A Better Michigan"

g & Associates, LLC
White Lake, Michigan 48383
info@powelleng.net



NOTES ARE AN AID TO THE CONTRACTOR. FUTURE UTILITIES AND UNDERGROUND STRUCTURES ARE SHOWN ON THESE PLANS AND PROFILES. ALL INFORMATION ON UTILITIES AND UNDERGROUND STRUCTURES ON THESE PLANS AND PROFILES IS TAKEN FROM FIELD TOPO AND/OR AVAILABLE RECORDS, BUT THE CONTRACTOR SHALL VERIFY THE LOCATION, DEPTH, ELEVATION, OR THAT THERE ARE NO UTILITIES AND UNDERGROUND STRUCTURES ON THE PROJECT. IF THE CONTRACTOR DOES ENCOUNTER A PREVIOUSLY UNIDENTIFIED UTILITY AND/OR UNDERGROUND STRUCTURE, THE CONTRACTOR SHALL NOTIFY THE UTILITIES. STRUCTURES SHOWN ON THESE PLANS ARE INCORRECTLY LOCATED, THE CONTRACTOR SHALL NOTIFY THE OWNER AND ENGINEER FOR DIRECTION ON HOW TO PROCEED. THE CONTRACTOR WILL BE RESPONSIBLE FOR NOTIFYING ALL EXISTING UTILITIES, NOTIFY "MISS DIG" 1-800-462-7171, 72 HOURS BEFORE THE START OF ANY EXCAVATION.



**BEFORE YOU DIG
CALL MISS DIG
1-800-482-7171**

**STRAWBERRY CREEK FARMS
& FALL ADVENTURE CENTER**

ISSUE DATES

SITE PLAN
05-08-18
PER TWP
9-24-18
SITE PLAN
10-1-18
SITE PLAN
10-25-18
LCRC
11-20-18
12-19-18

DRAWN **BBB**

DESIGNED **BBB**

APPROVED **MCP**

P.E. JOB No. **17-532**

SCALE **AS SHOWN**

1

SITE PLAN



RECEIVED

JAN 22 2020

Hamburg Township
Planning and Zoning Department

Strawberry Creek Farm aims to provide visitors of all ages with an authentic family-friendly farm experience while maintaining the rural character and open space of Hamburg Township.

Strawberry Creek Farm will be made up of a seasonal farm market/cider mill as well as a wedding barn that will operate on weekends throughout the year.

General Information:

1. Ownership of the property:
Scott and Lauren Tharp
5550 Strawberry Lake RD.
Hamburg TWP, MI
15-34-200-003
2. Months (season) of operation:
 - a. Farm: June- December
 - i. June-August: U-pick, local fresh produce & ice cream
 - ii. September- October: Cider, donuts, pumpkins, mums, cornstalks
 - iii. November- December: Christmas trees, wreaths, hot cocoa
 - b. Wedding Barn: Weekends throughout the year
3. Hours of operation:
 - a. Farm: 10am-10pm (hours may vary depending on season)
 - b. Wedding Barn: until 11pm, no amplified music after 10
4. Anticipated number of retail customers:
 - a. Cider Mill- Unknown number of customers, heaviest traffic on fall weekends
 - b. Wedding Barn- Up to 200 guests
5. Maintenance plan for disposal:
 - a. Waste water disposal for the Donut Hut and Wedding Barn to be discharged to proper septic system per LCHD standards
 - b. Trash collection is to be in typical small or residential dumpster
6. Signage:
 - a. Post and Beam Entrance with "Strawberry Creek Farm" hanging from top beam.
13.5 feet above grade
 - b. Temporary sign displayed more than 45 days

7. Lighting:

See "Strawberry Creek Farm Proposed Lighting Plan"

8. Maximum number of employees at one time:

- a. 8 employees at one time, will vary depending on season and demand

9. Restroom facilities:

- a. Cider Mill-Portable toilets will be provided for guest use. Restroom for staff will be provided in the Donut Hut/Farm Market.
- b. Wedding Barn- Restrooms will be provided in wedding barn for guests

10. Parking/Traffic flow:

See Traffic Study for trip generations, traffic operations and key findings.

11. Landscaping:

- a. 100' buffer will be kept wooded
- b. Mature trees will remain on Strawberry Lake RD to preserve the appearance and character of the landscape.
- c. Farm Center and parking will be grass with mature trees preserved
- d. Pumpkin patch, apple orchard and corn maze will add to the landscaping and environment of the farm.

12. Fences:

- a. Three-rail farm fence will be placed along Strawberry Lake RD.
- b. Split rail fence will border the Farm Center.

13. Season tent may be allowed to help with sheltered area for picnic tables.

Farm Center:

The farm center will be a common gathering space that consists of the Farm Market, kids play area, raised bed garden, picnic table area, petting farm and open space.

Donut Hut/Farm Market Menu and Sales Items:

Summer:

- Seasonal local fresh produce
- Jams, honey, mixes, popcorn, salsa
- Ice Cream
- Eatery food items
- Seasonal gifts/decor

Fall:

- Cider, Cider Slush and Hot Cider
- Donuts
- Popcorn
- Coffee
- Pies
- Jams, honey, mixes, popcorn, salsa
- Eatery food items
- Seasonal gifts/décor

Winter:

- Cider, Hot Cider
- Coffee
- Donuts
- Cookies
- Popcorn
- Jams, honey, mixes, popcorn, salsa
- Eatery food items
- Seasonal gifts/decor



February 12, 2020

Ms. Amy Steffens
Hamburg Township
10405 Merrill Rd
P.O. Box 157
Hamburg, MI 48193

Re: Strawberry Creek Farms
Site Plan Review

Dear Ms. Steffens

We have received plans for the Strawberry Creek Farms & Fall Adventure Center, dated February 7, 2020 and prepared by Powell Engineering.

We offer the following comments for your consideration:

General

1. Both the proposed farm stand/ donut hut and future wedding barn are located greater than 400 feet from the existing force main, thus the property owner is not required to connect based on the sewer ordinance. However, due to the proposed uses, we suggest the Township consider requiring connection.
2. The test hole locations should be shown on the drawings.
3. Locations and details of ADA ramps should be included.

Stormwater/ Grading

4. As most of the site is unimpacted by the proposed development, the petitioner is only proposing a stormwater management system for the wedding barn which impacts less an acre of land. The proposed Farm Center building impact area is approximately 4,500 square feet. Although larger than the December 2018 submittal, the building will not result in a concentration of flow sufficient to require detention.
5. The stormwater note on Sheet 1 should be updated to include stormwater management for the Wedding Barn.
6. The petitioner should show the proposed grading around the Wedding Barn and along the driveway, and the contours should be clearly labeled.
7. The Detention Volume calculation should also take into account any pervious area that would contribute based on the proposed grading. The drainage area should be shown on the plans.



8. The first flush volume calculation uses an incorrect area (0.57 vs 0.6 used in prior calculations).
9. Justification for the infiltration rate and allowable discharge rate should be provided.
10. Additional details of the outlet are required for clarification. The narrative indicates an 809.5 elevation while the plan sheets show elevations between 908 and 910.
11. At minimum, the following additional permits will be required. A copy of any completed permits should be submitted to the Township.
 - a. Soil Erosion and Sediment Control
 - b. MDOT.
 - c. Livingston County Health Department for well and or septic

In summary, we do not recommend approval of the site plan until the above items are addressed to the Township's satisfaction.

If you have any questions, please contact me at (734) 657-4925.

Sincerely,

Ted L. Erickson, P.E.
Principal



HAMBURG TOWNSHIP FIRE DEPARTMENT

FIRE PREVENTION BUREAU

FIRE MARSHAL JORDAN ZERNICK

*10100 VETERANS MEMORIAL DR.
HAMBURG, MI 48139 PO BOX 157
810.222.1100
JZERNICK@HAMBURG.MI.US*

To: Hamburg Twp. Zoning

From: Fire Marshal, Jordan Zernick

CC: Fire Chief, Nick Miller

Subject: Strawberry Creek Farms

Date: February 14, 2020

I have completed the preliminary site plan review for the proposed project at Strawberry Creek Farms in Hamburg Township. The review was based on the applicable Fire Code and Hamburg Township Ordinance Requirements.

The plans are approved as submitted with the following requirements, revisions and clarification:

1. All roadways to be 20 ft minimum width. This does include the designated turn around areas on the access road for the development.
2. A complete set of building plans shall be submitted to the Fire Prevention Division for all buildings on the property.
3. There shall be a minimum vertical clearance of 13' 6" on all drive isles. This does include the parking lot areas.
4. Please give clarification as to what the drive isle off of the parking lot for the Barn is going to be utilized for.

This approval is subject to field inspection. This approval shall be valid for one year. If construction has not begun within 12 months of the date on this letter the plans must be resubmitted for approval. This approval does not exempt the project from complying with all applicable codes. Additional submittals and approvals may be required

Jordan C. Zernick

Fire Marshal Jordan Zernick



FAX 810-231-4295
PHONE 810-231-1000

P.O. Box 157
10405 Merrill Road
Hamburg, Michigan 48139

**Planning Commission
Hamburg Township
10405 Merrill Rd., P.O. Box 157
Hamburg Township, Michigan 48139
Wednesday, February 19, 2020
7:00 P.M. 7:00 p.m.**

1. CALL TO ORDER:

Present: Bohn, Hamlin, Koeble, Muck, Muir & Priebe

Absent: Leabu

Also Present: Scott Pacheco, Township Planner, Amy Steffens, Planning & Zoning Administrator, & Brittany Stein, Zoning Coordinator

2. PLEDGE TO THE FLAG:

3. APPROVAL OF THE AGENDA:

Commissioner Muir questioned the Site Plan Review request for a 300-person wedding barn. Township Planner Pacheco stated that the original request was for 300 people, but we revised it under the Special Use Permit to only allow 200 people. Old Business (a) was revised to a 200-person wedding barn.

Motion by Priebe, supported by Muir

To approve the agenda as amended

Voice vote: Ayes: 6 Nays: 0 Absent: 1 MOTION CARRIED

4. APPROVAL OF MINUTES:

a) November 20, 2019 Planning Commission minutes

Motion by Koeble, supported by Priebe

To approve the minutes of the November 20, 2019 meeting as presented

Voice vote: Ayes: 5 Nays: 0 Absent: 1 Abstain: 1 MOTION CARRIED

5. CALL TO THE PUBLIC:

Chairman Muck opened the call to the public. Hearing no response, the call was closed.

6. OLD BUSINESS:

- a) Site Plan Review (SPR 18-002) application to consider allowing a major agricultural commercial/tourism business on the 98-acre property at 5550 Strawberry Lake Road (TID 15-34-200-003). The proposed business will include a u-pick apple orchard, u-pick pumpkin patch, corn-maze, raised gardens, nature-based kid play area, hiking trail, a sign, a farm market retail/restaurant structure, a 200-person wedding barn, and other agricultural based amenities.

Scott and Lauren Tharp, applicants, were present as well as their engineer and individuals involved with the traffic study. Ms. Tharp stated that at the last meeting, the Planning Commission sent them away with some homework. They have spent some time putting together those items which have been presented including plans for the wedding barn, a letter from the Livingston County Health Department, and an updated plan for the farm market. She also indicated that this fall she worked at a local cider mill to learn their business and gained insight and knowledge. She stated that after working there, they did revise their plan for the farm market to enlarge it to host people comfortably and provide seating. At the last meeting, there was some concern about traffic, and it was suggested that they compare the projected use of their farm to a 40-unit single family development, which would be the size of a development on their property. She discussed the lighting and their photometric plan. She stated that this is a large undertaking which they do not intend to complete in 1-2 years. Their plan is to start with the farm market and kids' area and would like to start their crops with pumpkins and berries. They are hoping in 2-3 years to begin the wedding barn. During that time period they would begin with the apple orchard, which does take time to develop.

Planner Pacheco stated that the Special Use Permit was approved by the Planning Commission in December 2018 including a u-pick operation, corn maze, kids area, hiking trails, a farm market with a retail structure as well as a 200 person wedding barn and other agricultural based amenities. Also approved was the main sign at a height of 13.5 feet above grade, a temporary sign that can be displayed for more than 45 days per calendar year and the maximum number of 30 events allowed per year in the wedding barn. These were all waivers to the Agriculture/Tourism regulations approved as part of that special use permit. At that time, the Planning Commission asked the applicant to bring back some additional information so they could review the site plan. Since that time, they have provided that information. They have also provided a traffic study. When the original application came before the Planning Commission, there were 13 people that spoke, and we received 8 letters both for and against the project. Most of the concerns discussed were noise, traffic and lighting. The study showed that at times there would be more traffic on the roadways than a 40-unit single-family development, but overall it would be less. He reviewed his staff report with most of the changes to the lighting and architecture of the structure. He has also provided a proposed motion written by the Township Attorney. The Special Use Permit and Site Plan are combined as one item.

Commissioner Bohn stated that the applicant has indicated that certain aspects of the site plan would not be completed for a couple years and asked if they would be protected under the site plan so that they would not have to come back to the Planning Commission for additional approvals. Pacheco stated that as long as they have started the project, they can continue.

Discussion was held on the entrance sign and the Fire Department requirement of being over 13.5 feet.

Commissioner Hamlin questioned the inclusion of the word restaurant. He further stated that he understands that there will be eating of donuts and ice cream, which is fine. He does not want to include the word restaurant as that implicates a much different use.

Commissioner Hamlin stated that the patio is open with no roof. He stated that the lighting for that patio is not on the photometric plan. He discussed his concerns about the Generac lighting. His concern is that they can light up 5-7 acres. He would not agree with this type of lighting. Chairman Muck stated that he would agree. He stated that these portable lights can be a noise and aesthetic issue. It could also become an enforcement issue. He would prefer to see lighting on timers. Mr. Tharp stated that it was a challenge to come up with a solution. There are times when more light is needed and other times less light is required. Portable lights seemed to serve the purpose of adequately lighting the space. When you look at permanent pole type lights for the parking area, you end up with a lot of light poles in the middle of this area. From an aesthetic perspective, they felt that the portable lights would be preferred because at the end of the season they can be removed and stored so that everything is aesthetically pleasing. Their intent is to appropriate light it, still meet the noise ordinance, but not light up the whole thing when not required. Ms.

Tharp stated that these lights can also be set at different vertical limits. Township ordinance says no higher than 15 feet, and they have written that into their photometric plan. Discussion was held on the potential lumens. Commissioner Hamlin stated that he is okay with portable lights, just not these lights. Pacheco discussed the code requirements and stated that these lights may not be able to meet those requirements. The applicant will have to find a portable light to meet those requirements. Mr. Tharp stated that their intent was to find something the least impactful to the community and still serve the purpose and still meet the code. They would be happy to look at other options. Pacheco stated that the Commission could approve portable or not portable and they can work with staff to find lighting that meets the code requirement. Further discussion was held on lighting options.

Commissioner Hamlin stated that there was no floor plan for the second story. Ms. Tharp stated that it is simply a loft approximately 1/3 the size of the wedding barn.

Mr. Tharp added that this is where they live and it is there intention to work with the Township to manage the 30 events per year, if that happens, and make sure they work within the ordinances and minimize complaints.

Motion by Priebe, supported by Koeble

In the matter of the request for Site Plan approval for 5550 Strawberry Lake Road, SP18-002, to recommend approval of the Site Plan to the Township Board, subject to the following:

- A. The Planning Commission finding that the Special Land Use approval (SUP18-002) dated December 19, 2018, remains in effect, including all waivers granted, consisting of the number of events being limited to 30 events per calendar year, with a maximum of 200 attendees, with an annual administrative review of the special land use permit, and approval of signage, as submitted, subject to and in accordance with the approval of the Site Plan;
- B. Planning Commission findings that the standards of Section 4.4.3 of the Township Zoning Ordinance, as identified in the Planning and Zoning Staff Report, dated December 19, 2018, as set forth in Paragraphs A – L, Pages 18 through 22, and as identified in Tonight's Planning and Zoning Staff Report on pages 7-12 subject to the following conditions:

1. The site plan shall include the following notes:
 - a. Hours of operation shall be limited to between 8:00 am and 11 pm; no amplified music shall be allowed after 10 pm; and, setup and cleanup of the event and workers and attendees to the event shall not arrive or leave the site before or after the hours of operation.
 - b. Events shall be required to meet the regulations of the Hamburg Township Noise Ordinance.
 - c. Adequate site and surrounding area clean-up shall be done within 48 hours following the event.
 - d. The agricultural use of the property must be started prior to the agritourism business. Meaning the crops shall be planted prior to site being used for the agritourism use.
2. The site plan shall include the following notes and prior to issuance of a land use permit, the zoning department shall verify that the lighting complies with these notes:
 - a. All light fixtures shall be fully shielded and must be directed downward toward the earth or building.
 - b. All outdoor lighting shall be turned off between 11:00 pm and sunrise and that all light fixtures used for security purposes are to be on motion detection devices.
 - c. The portable lights used shall be directed toward the ground and shall located on the site so a maximum of 0.5 footcandles is emitted at the property line. These lights shall be reviewed and approved by staff to ensure that they meet Section 9.11.4 of the Township Ordinance
3. Prior to issuance of a land use or building permit all local, county and state regulations will need to be reviewed and approved for this project. A list of the agencies that may be required to review this project including but are not limited to; the Livingston County Drain Commission,

Road Commission, Building Department, and Health Department, and the Hamburg Township Engineer, Utilities and Fire Departments.

4. In addition to any other review from the building department, the building department shall also verify that all Federal and State requirements regarding handicapped parking, loading and access are met and that all other ADA requirements are met on the site.
5. If more than 50 cubic yards of grading will need to be done on this project a grading permit and plan shall be required. The grading shall be minimized and can be approved by staff as long as the grading plan respects the natural topography of the site to the maximum extent possible. If Staff is not comfortable approving the plan because of its scope it can be sent back to the Planning Commission for review as an amendment to the Special Use Permit.

The motion is made because the plan is otherwise in compliance with Article 3 and Article 4 of the Zoning Ordinance, and all other applicable provisions of the Ordinance,

Voice vote: Ayes: 6 Nays: 0 Absent: 1 MOTION CARRIED

7. NEW BUSINESS:

- a) ZTA19-009: (Public Hearing) Zoning Text Amendment to add regulations regarding collection bins. The regulation will allow collection bins within the Commercial and Industrial districts as long as some specific requirements can be met.

Chairman Muck opened the call to the public. Hearing no response, the call was closed.

Pacheco stated that this first came to the Planning Commission in November 2019. It is with regards to collection bins that are popping up around town. Those that have been put in have not done so legally, meaning that they have not come to the Township for approval. They are going on spaces that would require site plan amendments. We have been holding off enforcement until after we get some regulations in place. Because they have been installed without permits, we will be able to ask that they be removed and inform them where they can put them on the property. There are currently 5-6 in the CVS parking lot taking up approximately 6 parking spaces. CVS has already asked for reduced parking so we would never have allowed those spaces to be blocked. He stated that at the last meeting a couple minor modifications were requested. Those changes have been made and is now back for final review and recommendation to the Township Board.

Motion by Muir, supported by Bohn

To recommend to the Township Board approval of ZTA 19-009 to add regulations regarding Donation/collection bins as written in the staff report dated February 19, 2020

Voice vote: Ayes: 6 Nays: 0 Absent: 1 MOTION CARRIED

- b) Master Plan update (2020): Presentation of Draft 2020 Master Plan and updated Village Center Master Plan

Chairman Muck stated that we received a letter from Commissioner Leabu who could not be at tonight's meeting but served on the 2020 Master Plan Steering Committee.

Planner Pacheco stated that we have been working on this project for the past two years. We are in the final stretch. The Commission is getting the first look at the draft Master Plan. He gave a brief history and reviewed his staff report. He stated that in the draft Master Plan we included what use to be in the M-36 Corridor Plan. That plan will be eliminated. We did not however incorporate the Village Center Master Plan. That is still very important because that is the area where want to direct growth in the next 20+ years. That plan went into effect in 1995 and not much has changed. With our new goals and objectives in our Master Plan, it is much more clear that the area with higher

density is the Village Center zoning districts and not the more rural single family residential districts. We also separated the appendixes which makes the document easier and less intimidating. It is much clearer and more precise for developers. We hope to use this document as a sales document for the community. He further explained the process including comments from interested agencies before we distributed the document. The next step would be for the Planning Commission to recommend to the Township Board to move forward with distribution of the plan to the interested agencies who we have already talked to. There is a 63-day review period. After that review period, the Planning Commission will hold a public hearing on the final plan. The Commission can then make a recommendation to the Township Board. The Board then will have final approval of the Master Plan.

Chairman Muck thanked the entire Planning staff. He stated they did a remarkable job especially with the public outreach.

Commissioner Bohn stated that this is a vast improvement over our current Master Plan. The efforts are truly reflected in the document.

Commissioner Hamlin provided some minor language and grammatical changes.

Motion by Muir, supported by Priebe

To recommend to the Township Board distribution of the draft 2020 Master Plan dated 2/19/2020 with the minor changes as recommended by Commissioner Hamlin. The Township Board can either approve the distribution with no changes or minor changes or they can recommend major changes to the draft Master Plan. If they recommend major changes to the plan, then the plan with the proposed changes will need to be sent back to the Planning Commission for review

Voice vote: Ayes: 6 Nays: 0 Absent: 1 MOTION CARRIED

Motion by Muir, supported by Koeble

To recommend to the Township Board inclusion of the draft changes to the Village Center Master plan with the distribution of the draft 2020 Master Plan

Voice vote: Ayes: 6 Nays: 0 Absent: 1 MOTION CARRIED

8. ZONING ADMINISTRATOR'S REPORT:

Amy Steffens, Planning & Zoning Administrator stated that she would like to remind the Commissioners that the annual joint meeting with the Township Board, Planning Commission, Zoning Board of Appeals and Parks and Recreation Committee will be next Wednesday, February 26th at 7:00 p.m. They are currently working on the staff reports. It will be a year in review for 2019 and help us set our work plan for the coming year. Some of the zoning text amendments they will be talking about at this meeting include the unintended consequences of the non-conforming ordinance, we would like to talk about some of the floodplain development standards, and possibly short-term rentals. If there is anything that the Commissioners would like addressed, please let staff know before Friday as the packets will be going out.

9. ADJOURNMENT:

Motion by Hamlin, supported by Priebe

To adjourn the meeting

Voice vote: Ayes: 6 Nays: 0 Absent: 1 MOTION CARRIED

The Regular Meeting of the Planning Commission was adjourned at 8:00 p.m.

Respectfully submitted,

Julie C. Durkin
Recording Secretary

The minutes were approved as presented/Corrected: _____

Jeff Muck, Chairperson

**AMENDMENT TO INTERGOVERNMENTAL
AGREEMENT FOR
TRANSPORTATION SERVICES**

BETWEEN:

COUNTY OF LIVINGSTON

AND

HAMBURG TOWNSHIP

AMENDMENT TO INTERGOVERNMENTAL AGREEMENT FOR TRANSPORTATION SERVICES

This Amendment to Intergovernmental Agreement for Transportation Services (“Amendment”), is made and entered into effective as of the date of the last party to sign below (the “Amendment Date”) by and between the COUNTY OF LIVINGSTON, a municipal corporation and political subdivision of the State of Michigan (hereinafter referred to as the “County”) and the Township of Hamburg, a Michigan General Law Township with offices at 10405 Merrill Road, Whitmore Lake, Michigan 48189 (hereafter referred to as the “Township”).

RECITALS

WHEREAS, the County, through Livingston Essential Transportation Services (“LETS”) and Township entered into an Intergovernmental Agreement for Transportation Services (“Agreement”) for the provision of demand response service to elderly residents of the Township.

WHEREAS, the County and Township desire to amend the Agreement as contained herein.

NOW, THEREFORE, in consideration of these premises, the mutual covenants set forth herein, and for other good and valuable consideration, the receipt and sufficiency of which are hereby acknowledged, the County and Township agree as follows:

A. Section C of the Agreement shall be replaced in its entirety with the following:

Scope of Service. LETS will provided buses to service riders within the Township Monday through Friday each week during the term of this agreement. Service will be provided on a demand response basis. Riders being transported to and from the senior center will be charged a fare of \$1.00 per one way trip. All other riders will be charged a fare of \$1.00 per round trip for “In-County” service and \$3.00 per round trip for “Out-of-County” service. It is expressly understood that all policies relating to fare collection, personnel and administration of LETS will be the responsibility of the County.

B. Section D of the Agreement shall be replaced in its entirety with the following:

Payment by Township. The Township agrees to pay the County its “Local Share” of the total cost of the service provided by the County annually. The Local Share is the cost to the County after reducing the actual cost of service by federal and state contributions and will vary depending on farebox revenue and is illustrated by the Local Share Formula attached hereto as Exhibit A. The County will invoice the Township for its Local Share on a monthly basis which shall be paid within thirty (30) days of receipt.

C. All capitalized terms not defined herein shall have the meaning ascribed to such terms in the Agreement. In the event of a conflict between the terms of this Amendment and the Agreement, this Amendment shall govern and control.

- D. Except as set forth in this Amendment, the Agreement remains unmodified and in full force and effect.
- E. This Amendment may be executed in counterparts, each of which shall be deemed an original, but all of which together shall be deemed to be one and the same instrument. A signed copy of this Amendment delivered by facsimile, email, or other means of electronic transmission shall be deemed to have the same legal effect as delivery of an original signed copy of this Amendment. Receipt of an executed signature page to this Amendment by facsimile or other digital or electronic transmission shall constitute effective delivery thereof.

IN WITNESS WHEREOF, the undersigned have executed this Amendment effective as of the date of the last party to sign below.

COUNTY OF LIVINGSTON

TOWNSHIP OF HAMBURG


BY: _____
Carol S. Griffith, Chairperson
County Board of Commissioners

BY: _____
Pat Hohl
Supervisor

Dated: _____

Dated: _____

Approved as to Form:



Mark T. Koerner, Attorney

34536:00001:4664991-1

EXHIBIT A

Local Share Formula

“Actual Cost” =	Annual Hours x \$62.00 per hour
“Federal Contribution” (@50%) =	Actual Cost – Farebox Revenue/2
“State Contribution” (@35%) =	Actual Cost x .35
“Local Share” =	Actual Cost – Federal Contribution – State Contribution



10405 Merrill Road ♦ P.O. Box 157
Hamburg, MI 48139
Phone: 810.231.1000 ♦ Fax: 810.231.4295
www.hamburg.mi.us

EXCERPT FROM HAMBURG TOWNSHIP MUNICIPAL UTILITIES COMMITTEE MEETING MINUTES

To the attention of: Patrick J. Hohl, Supervisor
Hamburg Township Board of Trustees

Re: **Pump Station at Regency Village**

Please be apprised of this excerpt from the ☒Unapproved ☐Approved Minutes of the Meeting
of the Hamburg Township Sewer Committee:

Date of Meeting: March 11th, 2020

Sewer Committee Members Present: Hohl, Koeble

Sewer Committee Members Absent: Hahn

Text of Motion: MOTION BY HOHL, SUPPORTED BY KOEBLE TO FORWARD TO
THE BOARD WITH THE RECOMMENDATION TO AUTHORIZE
THE ACCOUNTING DEPARTMENT TO ISSUE A CHECK IN THE
AMOUNT OF \$10,000.00 AS RESOLUTION TO THE REGENCY
VILLAGE PUMP STATION DESIGN FLAW ISSUE.

Ayes: Hohl, Koeble


Absent: Hahn

Nays: None

MOTION CARRIED.

State of Michigan }
County of Livingston }
Township of Hamburg }

I, BRITTANY K. CAMPBELL, Hamburg Township Utilities Coordinator and recording
secretary to the Municipal Utilities Committee, do hereby certify that the foregoing is a true and
correct excerpt of the Minutes of the aforementioned Regular/~~Special~~ Meeting of the Hamburg
Township Municipal Utilities Committee.

 Date: March 11th, 2020
BRITTANY K. CAMPBELL
HAMBURG TOWNSHIP UTILITIES COORDINATOR

Brittany Campbell

From: Pat Hohl
Sent: Monday, March 2, 2020 9:49 AM
To: Tony Randazzo; Brittany Campbell
Subject: FW: Regency Village
Attachments: 4664_001.pdf

I think we have a deal on the Regency pump issue.

Pat Hohl

Hamburg Township Supervisor
Direct, 810-222-1116
Cell, 586-663-2842

From: MARSHALL BLAU [mailto:proprop@comcast.net]
Sent: Friday, February 28, 2020 1:23 PM
To: Pat Hohl <pathohl@hamburg.mi.us>
Cc: Ed McNeely <ejm@mc-law.com>
Subject: Regency Village

Hello Pat,

I am forwarding the email and letter agreement received from Nick Heintz at Kennedy Industries. Kindly mail a check payable to Wilson's Corner, LLC, in the amount of \$10,000.00 at your earliest convenience. Said amount is based upon \$5,000.00 from the Township, \$3,000.00 credit from Process Results, and \$2,000.00 credit from Kennedy Industries. If you have any questions, please advise.

Marshall

----- Original Message -----

From: Nick Heintz <nheintz@kennedyind.com>
To: MARSHALL BLAU <proprop@comcast.net>
Date: February 28, 2020 at 11:24 AM
Subject: RE: Regency Village

Hi Marshall:

See attached letter confirming our conversation. Kennedy will issue a \$2,000 in house credit to Hamburg to help out in the unfortunate situation you have encountered. As you understood, pump selections were made, plans developed and submittals fully approved before shipment of any of our supplied product was made. We feel we are going over and above to be a team player in this situation and will do what we can to sell these pumps in order for you to recoup some cost. I have no idea what the purchase price will be but we will negotiate the best possible price we can. Please let me know when the pumps can be delivered to our facility for evaluation.

Thanks,

Nick Heintz

Business Development Manager

(248) 529-2943 Direct

(248) 977-3690 Cell

(248) 684-1200 Main Office

[Website](#) | [vCard](#) | [Facebook](#) | [LinkedIn](#) | [Twitter](#) | [YouTube](#)



PROGRESSIVE PROPERTIES

P.O. Box 2709
Southfield, Michigan 48037-2709
Email: propop@comcast.net
Tel: 248-358-2210
Fax: 248-647-0614

February 10, 2020

Mr. Nick Heintz
Business Development Manager
Kennedy Industries
4925 Holtz Drive
Wixom, Michigan 48393

RE: Regency Village

Dear Nick:

Confirming our recent telephone conversations regarding the pump station and generator you supplied at Regency Village, Kennedy Industries has agreed to issue a two thousand dollar (\$2,000.00) credit to Hamburg Township, which covers a portion of the cost we paid for replacement pumps. In addition, Kennedy Industries will place the original pumps in their inventory, use their best efforts to sell them, and when they are sold, forward the proceeds to Progressive Properties, Inc. (agent for Wilson's Corner, LLC). *Pumps will need to be returned to Kennedy Industries in good working order with no defects.*

Very truly yours,

Accepted by:

PROGRESSIVE PROPERTIES, INC.

KENNEDY INDUSTRIES



Marshall Blau
President



Nick Heintz
Business Development Manager

RECEIVED

FEB 17 2020

KENNEDY INDUSTRIES INC.

Memorandum

To: Township Board of Trustees
From: Scott Pacheco
Date: March 3, 2020
Re: Hamburg Township Draft 2020 Master Plan

PROJECT HISTORY:

The Michigan Planning Enabling Act requires the following steps in the Master Plan Process

- 1) Notice of intent to plan,
- 2) Planning Commission review of Draft Master Plan,
- 3) Township Board of approval to Distribute the Draft Master Plan,
- 4) Distribution of the Draft Master Plan,
- 5) Public Planning Commission Hearing and approval of the Master Plan (optional assertion to approve or reject by the Township Board), and
- 6) Distribution of the Approved Master Plan.

In March of 2018 the notice of intent to prepare the 2020 Hamburg Township Master Plan was sent to the interested agencies. Also in March of 2018 the Master Plan Steering Committee was formed to guide the creation of the plan. From April 2018 to October 2018 the Steering Committee and Township Staff conducted public outreach, which included the following:

- April 2018 held a Kick-off Meeting for the 2020 Master Plan
- June 2018 created the 2020 Master Plan website and the public survey were created and made available to the public
- June 14 -16, 2018 staffed a booth at the Hamburg Family Fun Fest
- July 4-8 2018 visited commercial businesses throughout the township
- August 22, 2018 held a public open house/ ice scream social
- September 26, 2018 the public survey was closed
- October 3, 2018 held meeting to present and discuss the survey result.

After the information that was gathered from the different public outreach efforts was reviewed and discussed staff prepared the draft 2020 Master Plan. In September and October of 2019 the Steering Committee held four meeting discussing and providing recommended changes to the draft Master Plan document. On November 13, 2019 a meeting which included the Governmental and Qusi-Governmental agencies was conducted to receive final feedback from these agencies prior to the Planning Commission review of the document.

On February 19, 2020 the Planning Commission held a public meeting to review and discuss the Draft 2020 Master Plan. At this meeting the Planning Commission recommended some minor grammatical changes to the Draft Master Plan, however, due to the extensive review by the steering committee and the public outreach throughout the project very little change was

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necessary. The Planning Commission recommended approval and distributions of the Draft 2020 Master Plan and the minor update to the Village Center Master Plan. The information in the M-36 Corridor Plan, was incorporated into the Draft 2020 Master Plan eliminating the need for that sub-plan moving forward.

After the review from the Planning Commission at the February 19, 2020 meeting, one additional minor change was made to the Draft 2020 Master Plan by staff. This change was to include the maps from Appendix E into the actual Master Plan document. This was done to make the Master Plan easier to use by the public. As nothing in the maps or the wording of the Master Plan has changed this would not be considered a major change to the Draft Master Plan and therefore would not need to be sent back to the Planning Commission for review prior to the Distribution of the plan if the Township Board approved this change.

This change along with all of the comments from the Planning Commission, Master Plan Steering Committee, and governmental and quasi-governmental agencies have been incorporated into the draft 2020 Hamburg Township Master Plan and the update to the Village Center Master Plan that has been attached to this report for your review .

RECOMMENDATION:

The Township Board should review and discuss the Draft 2020 Master Plan and the update to the Village Center Master Plan and either approve the distribution with no changes or minor changes or they can recommend major changes to the draft Master Plan. If they recommend major changes to the Plan then the Plan with the proposed changes will need to be sent back to the Planning Commission for review.

The Michigan Planning Enabling Act Michigan Planning Enabling Act allows the Planning Commission to approve the Master Plan unless the legislative body, the Township Board, by resolution has asserted the right to approve or reject the master plan. If the Township Board would like to have the final approval or rejection of the Master Plan they should also approve the attached resolution to assert the right to approve or reject amendment to the Township Master Plan and sub plans.

NEXT STEPS:

If the Township Board approves the distribution of the draft plan. The draft plan is sent to the same entities that were provided the original notice of intent letters. These entities have 63 days to review and provide comments on the draft plan. After this required review period is complete, the Planning Commission notices and holds a public hearing on the draft Master Plan. After the public hearing, because the Township Board has asserted its right to adopt the Master Plan, the Planning Commission will make a recommendation to adopt the Master Plan to the Township Board. The Township Board will then officially pass a resolution to adopt the Master Plan. After adoption, a notice/copy of the adopted plan is sent to the same entities that were provided the original notice of intent letters

ATTACHMENTS:

Attachment A: Draft 2020 Master Plan

Attachment B: Draft Updates to the Village Center Master Plan

Attachment C: Master Plan Appendices

Attachment D: February 19, 2020 Planning Commission staff report and draft minutes

Attachment E: Resolution to assert



2020 MASTER PLAN

Hamburg Township

DRAFT 03/03/2020



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INTRODUCTION

Importance of a Master Plan

A Master Plan is a document that is prepared in cooperation with the public to identify communities short and long range planning goals and objectives. Municipalities produce master plans to develop an overall vision for the next 20 years and to conduct a comprehensive review of their facilities and services. A successful master plan also helps the public understanding of the planning process and describes how the goals for the community were created and how they can be implemented.

In the state of Michigan municipalities are required to prepare a master plan in accordance to [Section 31 of the Michigan Planning Enabling Act \(MPEA\)](#) (PA 33 of 2008, MCL 125.3831). The MPEA requires that the Master Plan “*make careful and comprehensive surveys and studies of present conditions and future growth within the planning jurisdiction with due regard to its relation to neighboring jurisdictions*” and that “*A master plan shall address land use and infrastructure issues and may project 20 years or more into the future. A master plan shall include maps, plats, charts, and descriptive, explanatory, and other related matter and shall show the planning commission’s recommendations for the physical development of the planning jurisdiction*”.

MPEA requires that the Master Plan include; a land use plan; recommendations on infrastructure; recommendations for redevelopment or rehabilitation of blighted areas; a zoning plan and implementation measures. MPEA also provides suggestions for other additional information that a municipality may want to consider including into their Master Plan. These suggestions include transportation, safety, good civic design, public utilities, recreation, and use of resources.

Hamburg Township last adopted a Master Plan in 2011. With increased development pressure coming from both within the Township and neighboring municipalities, the Master Plan needed to be revisited and revised to insure the plan can keep pace with the Community needs.

Principals of a Master Plan

Before using the Master Plan to guide future development, it is important to understand some of the basic principles upon which it is based:

The plan should be flexible: The document is not meant to be cast in stone, it should be fluid and able to change with the conditions of the community. The plan is a general guide to be used by the government to provide direction for the future of Hamburg Township. It is required by MPEA that the document be reviewed a minimum of every 5 years to make sure the plan adequately addresses the community’s needs and changing conditions.

The plan should allow for orderly development: The land use allocations reflected in the plan are based on the best available demographic projections for Hamburg Township. The plan must realistically provide sufficient land area to meet the anticipated needs and demands of our residents, including residential and commercial uses, while at the same time protecting the overall quality of life and physical environment.

The plan should encourage public participation: The plan should be written in a way that aids public understanding of, and invites public participation into, the planning processes and goal implementation.

The plan should balance property rights: Property rights are personal and valuable, reasonable use of your property is protected by law. The Master Plan guides the impacts of land use throughout the community.

The plan is more than a zoning map: The Master Plan reflects the planned use of land, taking into consideration existing development, but does not depict a "new" zoning district map. Because the Master Plan and zoning map are intended to be in reasonable harmony, it is likely that future zoning districts will take the shape of the plan as rezoning requests are received and reviewed by the community.

Zoning is not a substitute for a master plan: The plan is a long-range guide for community development, while zoning approvals are specific to a piece of property. Zoning approvals are mostly permanent, unless the use itself is temporary in nature.

Deviation from the plan puts zoning decisions at risk of invalidation: Community development should be supported by the Master Plan. Zoning decisions that are not based upon the plan risk invalidation if faced with a legal challenge. Decisions made based on the document may be afforded additional validity, since the decision was not made in an arbitrary fashion, but follows a rational plan for Hamburg Township.

The plan should be kept current: The Township should conduct Annual review of the plan. Township officials and employees can assist by bringing issues not addressed in the document to the attention of the Planning Commission or Township Board. Amendments to the plan can be done at that time to keep it up to date and consistent with community philosophies. As the Master Plan is a guiding document, if situations and circumstances change during the life of the document, uses can be approved to comply with these changes. The Master Plan should then be amended at the next update to reflect these new situations and approved uses. MPEA requires that a comprehensive update occur at least every 5 years.

Who uses the Master Plan

The master plan is a policy and action driven document. The Township staff, residents, the development community, and community partners are all responsible for the master plan's implementation.

The Township: The Master Plan will shape actions ranging from staff discussions with potential developers to the Township Board's review of priority-based budgeting (PBB). The vision detailed in this document will provide the foundation for updating regulations and policies, including the Zoning Ordinance and the Complete Streets Policy, and set priorities for infrastructure and improvement projects for streets and parks. Hamburg Township boards and commissions are critical to Master Plan implementation, particularly the Planning Commission who will use this document to review development requests.

The Development Community: The Master Plan is a must-read for anyone interested in developing in Hamburg Township. The Future Land Use section of this plan details the type and scale of development envisioned by the community. The Township will review all proposed projects through the lens of the Master Plan.

The Residents: Residents are critical stakeholders in this document. Whether serving on a board or commission or participating in neighborhood planning and discussions, residents are guardians of this document. There were

several opportunities during the preparation of the Master Plan for community members to define the direction of the Township and identify the challenges and opportunities to achieving this vision. Many community members provided the Township with input through the Master Plan review process.

Neighborhood Leaders: The health and vitality of our neighborhoods are critical to the Township's overall health. With this in mind, the Master Plan focuses on raising the quality of life for all residents. The Future Land Use section of this document and the [Village Center Master Plan](#) provides a road map for future neighborhood planning efforts.

Partners: The Township cannot achieve the goals of this document on its own. To move forward, the Township will partner with local and state organizations, the local business community, Township residents, local developers and many others who will play a role in the implementation of this Master Plan.

Using the Master Plan

While the Master Plan serves many purposes, it is important to remember that the Master Plan is a general guide for the Township's goals, objectives, policies and implementation measures and provides a single, comprehensive view of the community's desires for the future of the Township.

The Master Plan will be implemented by:

- Aiding in daily decision-making. The goals and policies outlined will help guide the Township Board and Planning Commission in their decisions on zoning, development proposals, capital improvements and other matters related to land use and development.
- Helping in decision-making on how and where to invest in public infrastructure and improve municipal services. So the public investment results in the maximum benefits to the community as a whole.
- Informing Township officials about the changing demographics within the Township and how these shifts in the Township's population might impact housing, municipal services, transportation needs, and other aspects of the community.
- Routinely bringing all stakeholders together to discuss the future of the Township.
- Making the Township eligible for future funding opportunities, such as state and federal funding sources.
- Helping to protect and enhance the things in Hamburg Township that make it a great place to live, work and play for both of today's residents, visitors and for those of future generations.

Zoning decisions: Because the Master Plan envisions the future use of land, rezoning decisions should be consistent with its recommendations. This is not to say that all rezonings that are consistent with the [Future Land Use Map](#) should be approved or that all rezonings that differ from the [Future Land Use Map](#) should be rejected. Each request needs to be evaluated separately. When considering these items, consideration should be given to changing conditions. Again, the annual review of the Master Plan will be key in identifying such conditions.

Transportation improvements: There is a strong nexus between transportation and land use. As development proceeds, the need for new or improved roadways, alternative forms of transportation, and new trail systems

becomes obvious. By measuring the intensity of future development shown in the Master Plan, transportation planners can estimate needed rights-of-way widths, number of lanes, and the level of necessary access management to allow all types of transportation options. Additionally, the Master Plan may consider other transportation needs necessary to reduce traffic or to help the mobility of the users on the roadways or trail systems.

Environmental impact: As a reflection of the intensity of land use, the Master Plan should reflect Hamburg Township desire to protect its environment and natural features. The plan should establish that value to the community and propose steps to implement the appropriate regulations.

Utility extensions/capital improvements: The Master Plan designation of land use intensity is useful when evaluating the need for improved utilities, new roadways, public buildings, and other improvements. This information may be included in a Capital Improvement Program (CIP). The CIP is a six-year plan, updated annually, for capital expenditures necessary for plan implementation. Development of the CIP is the responsibility of the Township Board, with considerable input from municipal staff and/or consultants (e.g., engineers, planners, administrators, etc.).

Recreation planning: As the Township continues to grow and develop there will be additional need for recreation/open space land. The Master Plan can assist in the setting of priorities for park development. For example, parks and recreation plans pay special attention to the goals and objectives of the Master Plan. If additional recreational services are called for in the Master Plan, these services may be noted in the Parks and Recreation plans. A review of future land use is also important. If a Master Plan indicates that substantial new residential development will be forthcoming in a particular area, some thought should be given for the need to provide and develop additional park land. However, the [Future Land Use Map](#) cannot indicate specific properties as park land unless the land is in public ownership, or steps are already well underway to acquire the property.

Development of the Master Plan

In March of 2018 the Township Board directed staff to create and send a Notice of Intent to prepare the 2020 Master Plan. This notice was sent to the interested agencies as required in [Section 39 of the Michigan Planning Enabling Act](#) (MPEA) (MCL 125.3839).

The Township formed a Steering Committee to guide the creation of the plan. The Steering Committee was made up of three citizens of the Township, one of which was a local business owner; two members of the Township Board, one member each of the Planning Commission and Zoning Board of Appeals, and a representative of the Livingston County Planning Department.

The Steering Committee and Township staff created a website dedicated to the Master Plan update, created and distributed a public survey, staffed an informational booth at the Hamburg Family Fun Fest, visited many commercial businesses in the Township to solicit input from the business community, and held multiple meetings, including a kickoff meeting and an ice cream social open house as a part of the public outreach efforts for the development of this Master Plan.



Between October of 2018 and December of 2019 multiple meetings were held between the Steering Committee members and Township staff to review and discuss the results of the public outreach efforts, the steps required in the master planning process and the working draft of the Hamburg Township 2020 Master Plan.

Review of the public outreach suggested that the opinions of the community have not significantly changed since the last Master Plan update in 2011 or the Master Plan review in 2016. The community believed the quality of life within the Township was above average and that they wanted to preserve the things they most enjoy about the community, such as; the waterbodies, natural areas, and outdoor recreation options. Therefore, in the preparation of this update much of the plan will remained unchanged from the 2011 Master Plan. The 2020 Master Plan focuses on updating the data used in the Master Plan and reformatting the Master Plan to make it more user friendly. Also as required by MPEA discussion regarding the Township's [Zoning Map](#) and complete streets were added to the 2020 Master Plan.

In February of 2020 the Planning Commission discussed and reviewed the draft Master Plan at their regular monthly meeting. The Planning Commission made a recommendation to the Township Board to approve the distribution of the draft Master Plan for comment.

On March 3, 2020, the Township Board reviewed the draft Master Plan and the recommendation from the Planning Commission and approved the distribution of the draft Master Plan for comment.

After the 63-day comment period all comments were reviewed and because there were no significant changes required the Planning Commission held a public hearing on [REDACTED], 2020 and made a recommendation to the Township Board to approved the Hamburg Township 2020 Master Plan.

On [REDACTED], [REDACTED] 2020 the Township Board once again reviewed the draft Master Plan and the recommendation from the Planning Commission and approved the Hamburg Township 2020 Master Plan.

Design of the Master Plan

The Master Plan is separated into four chapters. Each chapter includes a summary of the existing conditions and key determining factors that influences the vision and policies of those areas. The factors could include public input, demographic data, and generally accepted planning practices. Although the goals and objectives

are consolidated at the end of chapter 1, specific goal and objectives addressing the chapter topics are also located at the end of in each chapter.

Executive Summary (Chapter 1): This chapter is one of the most important in the plan as it summarizes the data used in the creation of the plan, including all public input, as well as the goals and objectives the Township hopes to achieve in the next 10 to 20 years.

Land Use (Chapter 2): Discusses and identifies the existing land uses and explores future development and land use opportunities.

Transportation (Chapter 3): Discusses and identifies the existing transportation conditions in the Township and how the Township can accommodate the future transportation needs of the citizens.

Natural Features (Chapter 4): Discusses and identifies the existing natural feature and environmental conditions in the Township and how the Township can preserve and protect these features into the future.

Integration with other plans

In addition to the Township Master Plan, there are subarea plans that address specific areas and interests of the Township in more detail. Subarea plans are created to focus on a certain section of a community where more specific goals have been identified. This component of the Township Master Plan has served as a catalyst for detailed standards outlined in the Township's Zoning Ordinance.

Hamburg Village Center Master Plan: The Hamburg Village Center Master Plan is designed to preserve the existing village character and require that future development be designed to maintain a traditional village character by following specific design principals (commonly referred to as traditional neighborhood design). This plan details the land use, transportation and urban design framework for continued development of the village. Streetscape elements such as street trees, ornamental streetlights, sidewalks and road curbs are proposed throughout the village area. The plan also designates areas for neighborhood open space and village greens.

Hamburg Township 2018 Parks and Recreation Master Plan: The Parks and Recreation Master Plan serves as a roadmap for future recreation facilities and programs by considering existing parks and programs in and around the Township and the anticipated demand for additional or improved recreation facilities. This plan also forms the basis for potential recreation grant funding from the Michigan Department of Natural Resources (MDNR) and other agencies and foundations.

Hamburg Township Water and Sewer Master Plan: The Hamburg Township Water and Sewer Master Plan was developed to determine the future water and sewer needs of the Township, evaluate the ability of the existing systems to provide for this need, evaluate alternatives for future water and sewer needs, estimate preliminary costs of each of these alternatives and provide recommendations. The sections of this plan regarding water services were updated in the [Hamburg Township Water Master Plan](#).

Livingston County Master Plan: The Livingston County Master Plan was developed to connect the twenty municipalities within the County, so that the positive impacts of good planning and zoning practices could be replicated throughout a majority of these municipalities. The plan identifies critical issues and provides best practices for communities to use in addressing these issues.

Livingston County Greenways Plan: The Hamburg Greenways Plan includes local standards for providing useful pathway and greenway connections between the Township's commercial, residential, and recreational areas, as well as between the natural habitats within the Township. Each project that is developed within the Township is evaluated for the potential of connecting existing, future, and planned greenways.

Livingston County Transit Master Plan: The Livingston County Transit Master Plan determined what transit system enhancements can be made to improve the quality of life in Livingston County. With this information, the Plan presents a set of actions that can be taken in the short, mid, and long term to improve the existing transit system and offer new mobility options for residents and visitors, as well as funding and governance options to achieve their implementation.

CHAPTER 1-EXECUTIVE SUMMARY

The following executive summary discusses and summarizes the history of the Township; the past, current and future demographics and housing trends for the Township; and the public input that was gathered through the public outreach process. Lastly, the executive summary consolidates all the goals and objectives that are identified through the Master Plan process.

History of the area

Less than 200 years ago Hamburg Township was a great source of food for the Potawatomi Indians. They hunted, fished and gathered wild berries and fruits from the areas fertile land and its abundance of lakes, rivers and streams.

The first white settler to the Hamburg area was Jesse Hall who purchased Section 25 from the United States government in 1831 and built a cabin in the northeast quarter section. This was the beginning of the settlement of Hamburg Village. In 1835, E.F. Gay, a merchant from Ann Arbor, bought 30 acres and built a dam and sawmill. That same year, property owners established the organization of the Township within Livingston County and elected the first Township officials. Two years later in 1837 Gay sold his land to three Germans known as the Messrs. Grisson, who added a gristmill, store, and hotel. A plat was recorded in 1837, but no consensus could be reached on the township name (although the names of Steuben and Lenox were originally considered), the Messrs. Grisson were giving the privilege of naming the Township and they chose Hamburg after their hometown in Germany.



Due to the availability of inexpensive farmland, Hamburg thrived as an agricultural community throughout the nineteenth century. However, except for a brief resurgence during the Depression, agricultural activities declined in the twentieth century.

In the latter part of the nineteenth and early part of the twentieth century, Livingston County began to be recognized as a recreational haven for Detroit and Ann Arbor residents, thereby establishing a trend that remains today. Prior to 1900, the sole occupants of Zukey Lake were the Ann Arbor Sporting Club and the Oak Grove Club, both private hunting and fishing clubs. The improvement of county and state roads, and the completion of the Ann Arbor Railroad through Hamburg Township, opened the lakes to more summer visitors by the early twentieth century.

The Ann Arbor Railroad track was laid in 1886 establishing Hamburg as the village with two railroads. By the 1920's six Ann Arbor Railroad passenger trains and four Grand Trunk trains stopped daily in Hamburg. The railroads brought jobs, people and goods to the community. Lakeland, located in the heart of the lakes region, emerged as a port of entry to the lakes upon completion of its railroad station.

Development of Hamburg Township as a recreational community slowed during the great depression and then again during World War II. The transformation of Hamburg Township from a seasonal recreational to a permanent residential environment occurred largely after World War II with the conversion of cottages to year round residences.

The once dominant rural character of the Township has been slowly changing since the early 1950's, when suburbanites from the Detroit and Ann Arbor area began looking at Livingston County as a convenient commute between the rural or lake front lifestyle and metro area employment. Population in the Township nearly doubled every 10 years between 1950 and 1980 until the United States fell into a recession. The recession temporarily slowed migration into Livingston County. This slow growth was short lived, however, with the population once again increasing at a fast pace between 1990 and 2000. The Township saw largest inflow of population, 7,544 people, for a 10-year period between 1990 and 2000. The growth once again slowed due to the economic condition of the country and the region due to the mortgage crises and recession of 2007. The growth rate decreased to 2.7 percent between 2000 and 2010 and the Township continues to grow at a similar pace in 2020.

Demographics and Housing

The population data used in the Master Plan comes from multiple sources; the United States Census Bureau, [2000 and 2010 Census Data](#), [American Community Survey Data 5-year Estimates](#), [SEMCOG 2018 Population and Household Estimates for Southeast Michigan](#), [Hamburg Township Community Profile](#) and [2045 Regional Development Forecast](#), and [Livingston County Community Demographics and Economic Data Profile](#). See the links to the websites and [Appendix B](#) for detailed population information. The Hamburg Township demographic and housing data is summarized below:

General Population: The population in Hamburg Township, as well as many of the surrounding Townships, has increased since 1950. The growth rate from 1960-2000 for Hamburg Township was consistently greater than the total growth rate for Livingston County or the State of Michigan. Population in the Township increased almost four times between 1970 and 2000. Since 2000 the population growth of Hamburg Township has slowed from over 57 percent population growth between 1990 and 2000 to 2.7 percent population growth between 2000 and 2010. The population of Hamburg Township was 21,163 residents in 2010. The population growth of the township is estimably to remain low between 2010 and 2020. The population of the Township will be collected as a part of the 2020 census.

Age & Gender: The median age of Hamburg Township residents was 42.6 years in 2010. However, by 2016 the median age of Hamburg Township residents was projected to increase to age 45. People between the ages of 45 and 54 were the largest age group, comprising 19.8 percent of residents in 2010. Between 2000 and 2010 the age of the population within the Township has begun to shift with the total number of people between ages

45 and 85 growing by 3,305 people, and the total number of people from ages 0 to 45 decreased by 2,767 people. The population of people 0 to 19 years of age decreased by 11.2% between 2000 and 2010 and the population of people older than 65 years old increased by 79.3% between 2000 and 2010. This shift in the demographic makeup of the community is important to note when creating the policies and objectives in this Master Plan. This information helps to determine the needs of the existing population and providing policies to make the community more sustainable into the future.

Race & Ethnicity: The racial and ethnic makeup of Hamburg Township is very homogeneous. The majority of the population in the Township (96.2%) was estimated to be Caucasian in 2010. In contrast, it is estimated that only a small minority of the population of the Township (1.3%) considered themselves Hispanic or Latino/Latina. Asian and Black races round off the top four race population is the Township at .6 and .3 percent of the population respectively.

Education: Hamburg Township is highly educated with 95.3 percent of the population over age 25 having obtained a high school diploma and 73 percent of the population at least having some college education. In contrast, the State of Michigan has 89.9 percent of the total population over age 25 having obtained a high school diploma and 60.3% of the total population that have some college education.

Income: Hamburg Township has a strong economic base with 74 percent of Township residents earning \$50,000 or more annually and over half of Township residents earning more than \$75,000 annually. The median household income for the Township was estimated at \$82,819 as of 2016. In comparison, the median household income for the State of Michigan was estimated at \$50,803. Although these levels of income display a strong economic base compared to that of the State of Michigan, approximately 16 percent of the population earns below \$35,000 and 2.4 percent live below the federal poverty line. These estimates should be considered for access and affordability when planning for housing, transportation, and park and recreation needs within the Township.

Households & Families: Hamburg Township was comprised of 7,860 households (a person or group of people occupying a housing unit) in 2010, which is an increase of 774 households since 2000. The average household size was 2.69 people in 2010, which is a decrease from 2000 when the average household size in Hamburg Township was 2.88 people. Families (one or more other people related to the householder by birth, marriage or adoption) comprised 78.2 percent of all households with an estimated family size of 3.05 people in 2010. In 2010 Single-person households comprises 17.2 percent of all households within the township. While largest percentage of household in the Township were two person households, which comprised 37.7 percent of the total households in the Township. There were also significant proportions of three and four person households, 17.5 and 18 percent respectively. As of 2018 SEMCOG estimates there are 595 additional households since the 2010 census within the Township, for a total of 8,455 households. However, they are also estimating that the household size continues to drop to an average of 2.55 persons per household.

Over the past 50 years there has been a steady increase in the number of households in Hamburg Township and this is also reflected in the population levels. The rate of population and number of households increasing in tandem suggests that the community is stable and could result in favorable community involvement and

participation in parks and recreation activities. However, the average household size has recently been declining and this trend is expected to continue. The declining household size is likely due to aging population and reduced family sizes. The decline in the household size may create a more dispersed population if the housing densities do not increase accordingly. Future parks and recreation facilities will need to be dispersed to reflect the trend.

Housing Costs: Hamburg Township is almost entirely a single-family residential community with 91.1% of the housing units being single-family homes. In the 90's housing values in Hamburg Township started to increase at a more rapid rate and in 2000 the median value of housing was \$100,200. The value of Hamburg Township housing decreased slightly during the housing crisis starting in 2007; but has slowly and steadily increased since. The median price of a housing unit was \$183,100 in 2013 and in 2016 the median price was \$217,300. This is considerably higher than the median housing prices for the State of Michigan (\$127,800) and Livingston County (\$204,000) in 2016. Because of the high housing costs and other characteristics, there continues to be very limited housing opportunities for young families or senior citizens, who for the most part have limited budgets.

Housing Occupancy: Hamburg Township had 8,668 housing units in 2010, of those housing units, 7,860 were occupied, and 808 were vacant. Of the occupied housing units, 91.1 percent were owner occupied and 8.1 percent were renter occupied in 2010.

Age of Housing: Almost 75 percent of Hamburg Township's housing has been constructed since 1970 and 46.2 percent has been constructed since 1990. The Township had a housing boom in the late 1990's early 2000's. At this time Hamburg Township was the fastest growing Township in Michigan. This housing boom was ultimately slowed by the 2007 United States recession. Only 1.8 percent of the housing within the Township was constructed between 2010 and 2016. The slow growth in new homes and the decrease in the average household size could create a situation where the population of the Township starts to decline over time.

Seasonal Housing: In Hamburg Township, there were a total of 8,668 housing units in 2010, which is 981 more units or 12.7 percent more units than compared to total number of housing units in 2000 and is 3,578 more units or 70.3 percent more units than compared to the total number of housing units in 1990. Of the 8,668 housing units, 5.5 percent are not year round owner occupied homes. In comparison, 5.3 percent of the housing units were not year round owner occupied homes in 2000 and 10.3 percent of the housing units were not year round owner occupied homes in 1990. The decrease in the amount of seasonal housing within the Township provides evidence that existing cottages are being converted to permanent year round homes.

Housing Type: Hamburg Township is almost entirely a single-family residential community with 91.1 percent of the housing units being single-family homes in 2016. Another 5 percent of the housing units are made up of mobile homes. The remaining 3.9 percent of the housing units are some type or form of multi-family units, the largest portion of these units are duplexes at 1.7 percent. In 2016, it was also estimated that 84.2 percent of existing housing units had three or more bedrooms.

Population Projections: The three factors which modify the population of an area are births, deaths, and migration. The birth and death rate are factors over which local government can exert the least control. However, in and out migration is very much influenced by the local economy, transportation accessibility, development

policies and local lending policies. Utilizing the population projections prepared for the [2045 Regional Development Forecast by the SEMCOG](#) Hamburg Township's population will continue to grow slowly through 2045 with the population increasing to a projected 23,325 people and the total number of households growing to 9,491. Which is a 10.8 percent and a 14.8 percent increase respectively, from the 2010 census.

Summary: From 2000 to 2010 and continuing in the latest demographic estimates in 2016 and 2018 Hamburg Township's population growth has slowed, the community is getting older, more educated, and more affluent. The housing within the Township continues to increase in value, although construction of housing in the Township has also slowed. Most of the homes in the Township are single family detached and are owner occupied. The decrease in the population growth can be attributed to multiple factors; a decrease in the average household size due to the aging population, a decrease in the average family size with younger families waiting longer and having fewer children, and a reduction in the development growth of the Township. These demographic and housing trends for the Township are projected to continue through 2045.

Public Input and Outreach

Good planning requires extensive public outreach and feedback from a wide variety of stakeholders within the community. Township staff and the Master Plan Steering Committee understood the importance of this outreach and worked to get the community involved in all stages of the Master Plan process.

The following is a summary of the public outreach efforts that were held as a part of the Hamburg Township 2020 Master Plan process:

- On April 12, 2018 an initial kickoff meeting was held. This meeting was attended by many representatives from local governments and quasi-government agencies,
- In May of 2018 a website dedicated to the Master Plan was created to consolidate information on the Master Plan process and to allow the community an easily accessed portal for public review and comments on the Master Plan,
- In Mid-June 2018 the Master Plan survey was distributed to community members through the Township's websites, Facebook pages, email lists, personal invitations, and other outreach efforts in an attempt to receive greater public input,
- The Steering Committee members and Township employees staffed a booth at the Hamburg Township Fun Fest from June 14 to June 16, 2018, to further inform the public of the process and to gain greater public comment on the plan,
- The first three weeks of July 2018 Steering Committee members visited businesses throughout the community to solicit comments from the business community,
- On August 22, 2018 an ice cream social and public open house was held to discuss the Master Plan process and gather more comments from the public, and
- On September 7, 2018 the public survey was closed to the public for review.

From these public outreach efforts, it became clear that, in general, the community believed the quality of life within the Township was above average and that the things they enjoyed about the community such as the waterbodies, natural areas, and outdoor recreation options should be preserved. It also became clear that the community's goals and objectives had not changed dramatically since 2011 Master Plan. Therefore, the scope of this update would be mostly limited to updating the data used in the creation of the plan, revising the format of the plan to make it more user friendly, and by adding discussions of the new items required by MPEA.

[Appendix C](#), public outreach and input contains a full account of all the public input efforts including public survey results.

Community Goals and Objectives

What follows is three chapters on [Land Use](#), [Transportation](#), and [Natural Features](#). Each of these topics is important to the community and the creation of the Master Plan. Each chapter identifies its own community goals and objectives to better guide the development of the Township into the future. Some of the goals and objectives are found in multiple chapters as the goal or objective may address items considered under Land Use, Transportation and Natural Features.

Goals are general statements that define the direction and character of future development. Objectives create a framework for action and form the basis upon which more detailed development decisions may be made under a specific goal.

Goals and objectives should be followed by implementation measures. Implementation measures are action items that can be used in the future to meet the specific goal or objective of the Master Plan. The implementation measures listed in [Appendix A](#) are to be used as a guide to implement the goals and objective of the 2020 Master Plan. Yearly the Township should review the implementation measures and may determine that there are other items, not on this list, that are more important based on additional information or changing conditions. The inclusion of the implementation measures into the Master Plan does not commit Hamburg Township to any particular recommendations, but rather they are used to guide community decision makers to take actions consistent with 2020 Master Plan.

The goals and objectives from each chapter are summarized below for easy reference.

COMMUNITY GOALS AND OBJECTIVES	
GENERAL	
Goal 1: Protect and promote the public health, safety, comfort and general welfare.	
<u>Objective A:</u> Manage the Land Use, Transportation and Environmental aspects of the Township.	
<u>Objective B:</u> Create a healthy and safe community.	
LAND USE	

Goal 2: Preserve the natural and historic character of Hamburg Township by accommodating a reasonable amount of development, but ensuring the development is in harmony with the natural features and the unique environmental requirements of the Township.

Objective A: Direct future development to areas most suited for that type of development.

Objective B: Consider the location of the natural features on a site during review of future development layouts.

Objective C: Encourage preservation of the existing landscaping and natural features along M-36 to retain the rural/scenic quality of the Township.

Objective D: Encourage residential clustering and allow for a wider variety of uses on land that is actively farmed, develop additional practical alternatives for farmers to reduce the necessity to convert prime farmland to other uses.

Objective E: Cluster and contain future commercial development around existing commercial areas in the Hamburg Village, Village Center, M-36/Chilson Road, Lakeland, Hamburg Road and Ore Lake Road, M-36/Pettysville Road areas to enhance and serve the residents of the surrounding neighborhoods and motorists on M-36.

Objective F: Preserve the existing farmland throughout the community.

Objective G: Encourage clean energy sources, but still balance the benefits and drawbacks presented by the alternatives.

Objective H: To retain industrial growth within the area of the Township where it will least conflict with surrounding land use.

Goal 3: Promote a mix of development types to manage sustainable growth.

Objective A: Provide an avenue to allow for a diversity in housing types to support the changing demographics, such as young professionals, empty nesters and the increasing elderly population.

Objective B: Encourage development that supports the aging population of the community, including aging in place, access to core services, and the expansion of necessary medical services.

Objective C: Provide an avenue for attainable housing.

Objective D: Encourage development in the Village Center area as indicated in the [Village Center Master Plan](#).

Goal 4: Create a more visible identity for Hamburg Township and promote a sense of place within Hamburg Township.

Objective A: Encourage the development of the Village Center as indicated in the [Village Center Master Plan](#).

Objective B: Prioritize the economic development along the M-36 commercial corridor and in the Village Center area.

Objective C: Promote revitalization of the commercial properties.

TRANSPORTATION

Goal 5: Promote safe and efficient travel within the Township.

Objective A: Encourage maintenance and repair of existing transportation routes, including roadways, trails and transit.

Objective B: Provide and promote a vehicular and non-motorized transportation network that is a vital component of a high quality community environment for people who live, work, shop and recreate in Hamburg Township.

Objective C: Encourage vehicular and non-motorized connections between neighboring development and from developments to recreation facilities, commercial businesses, Township services and buildings and the school buildings.

Objective D: Manage growth by encouraging and promoting future development in areas with adequate transportation networks.

Objective E: Encourage developments to provide alternative transportation opportunities for their communities.

Objective F: Promote complete streets.

Objective G: Utilize best access management practices.

Goal 6: Accommodate increases in traffic volumes or implement measures to reduce traffic volumes on roadways where needed.

Objective A: Provide for higher traffic volumes through selected widening of M-36, intersection or traffic signal improvements, access management, preservation of select right-of-way and construction of indirect access systems.

Objective B: Utilize best access management practices.

Objective C: Encourage public transportation and multi-modal transportation options to reduce traffic on heavily used roadways such as M-36.

Goal 7: Preserve the rural appearance of the Township as viewed from the roadways when appropriate.

Objective A: Preserve the existing natural features along Township roadways including M-36 when possible.

Objective B: Development should be situated away from the main thoroughfares to protect key view sheds and to retain an appearance of low intensity development.

Objective C: Commercial development shall be contained at the Village Center area and key commercial nodes along M-36.

Objective D: Except in the Village Center area and other commercial corridors, existing landscaping and natural features viewed along M-36 should be preserved; development should be situated away from the roadway and key view sheds should be protected.

NATURAL FEATURES

Goal 8: Protect, preserve, and enhance whenever possible the unique and desirable natural amenities of Hamburg Township.

Objective A: Direct future development to areas most suited for that type of development.

Objective B: Consider the location of the natural features on a site during review of future development layouts.

Objective C: Encourage preservation of the existing landscaping and natural features of the rural/scenic quality of the Township.

Objective D: Encourage future development to incorporate green infrastructure measures.

Objective E: Discourage developments from removing existing woodland areas and significant trees when appropriate.

Objective F: Better regulate the usage of the waterways within the Township where possible.

Objective G: Identify and restore existing wetland areas that have been damaged.

Objective H: Encourage clean energy sources while still balancing the benefits and drawbacks presented by the alternatives.

CHAPTER 2-LAND USE

Overview

This chapter identifies the existing land uses and explores future development and land use opportunities.

Existing Land Use Conditions

Since the 2011 Master Plan was adopted Hamburg Township has experienced the following land development:

- 450 vacant residentially zoned parcels have been developed with new single family homes,
- The Hamburg Elementary School was demolished and a 208 unit apartment development has been approved on 16 acres in the Village Center area,
- A 70-unit, open space, site condominium development on 50-acres zoned medium density residential, along M-36, west of the railroad crossing was approved and construction has started,
- An 86-unit senior housing development on 6.5 acre zoned village center, previously occupied by a septic company, at M-36 and Veterans Memorial Drive was approved and construction has started, and
- Three properties were rezoned to better conform to their existing uses and to better serve the community as a whole and the adjacent neighborhoods into the future:
 - o 5960 Cunningham Lake Road (rezoned from PPRF to WFR),
 - o 10480 Hall Road (rezoned from GI to VR), and
 - o 8977 and 8999 Hamburg Road (rezoned from WFR to NS).

There are 23,040 acres within the Township. For the 2020 Master Plan update an inventory of existing land use was conducted using aerial photographs and verified by field observation. Existing land uses presented in [Map 1](#) were classified into the following categories and Geographic Information System software was used to calculate the acreages:

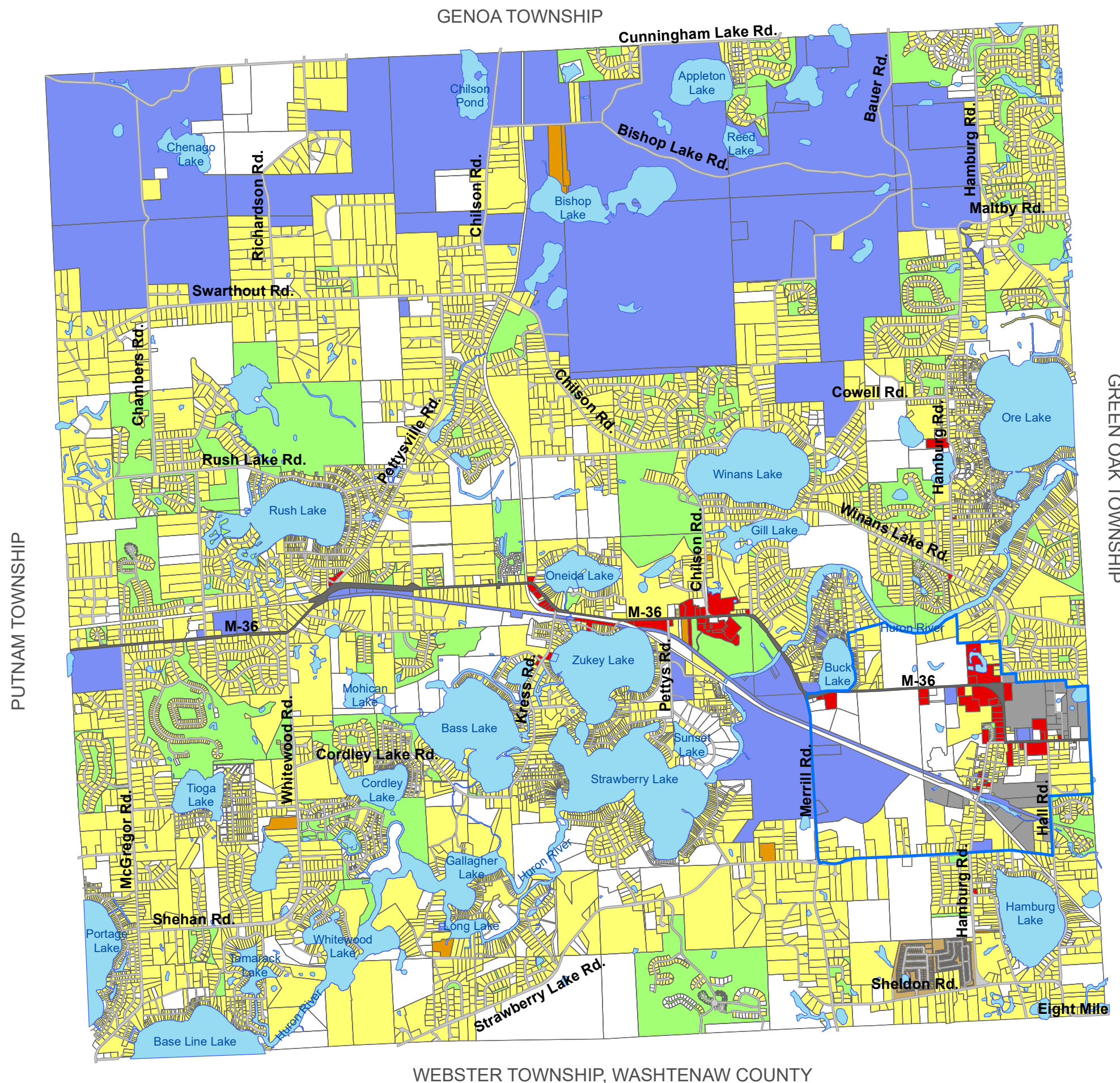
- **Vacant Land:** Includes land that currently is not developed with an improved structure. This may include property that is actively used for agricultural purposes. These lands comprise 3,475 acres.
- **Water Bodies:** Includes lakes and rivers and comprises 2,525 acres.
- **Single Family Residential:** Includes land that is developed with single-family homes and comprises 9,665 acres. These can be categorized into the following:
 - o Low density residential includes parcels developed with single-family residences at a density of one dwelling unit per two acres or greater. There are large lot single-family parcels throughout the Township, generally created through metes-and-bounds land divisions. The north and western portions of the Township are characterized by low density, or large estate sized parcels.
 - o Medium density residential includes parcels developed with single-family residences at a density of one dwelling unit per 20,000 square feet to two acres. These developments generally include subdivisions that developed since the Township adopted its first Zoning Ordinance in 1968 which

required a 30,000 square foot minimum lot size for a majority of the Township. The 30,000 square foot lot area requirement was increased to one acre in the early 2000's. Although the minimum lot size in this district is now one acre a development could utilize the planned unit development process to reduce this requirement with appropriate design.

- o High density residential includes parcels of land developed with single-family residences at a density greater than one unit per 20,000 square feet. This area consists of older subdivisions that were platted prior to the 1968 Zoning Ordinance. Much of this area was originally developed as resort cottage communities that have been converted to permanent year-round homes.
- **Multiple Family Residential:** There are a few small multiple family developments in isolated areas around the Township. Multiple family developments comprise 52 acres.
- **Manufactured Housing Community:** There is currently a mobile home park located in the southeast corner of the Township. This development comprises 88 acres.
- **Commercial:** Commercial includes all land and buildings where products, goods or services are sold. There are several commercial clusters located along M-36. The predominance of commercial activity is located on the north side of the Hamburg Village along M-36. Commercial uses comprise 156 acres.
- **Industrial:** Includes all lands and buildings devoted to manufacturing, processing, warehousing and related storage. Industrial uses are limited to locations around the Hamburg Village area. There is an industrial park at the eastern portion of the Township north of M-36. Industrial uses comprise 171 acres.
- **Public:** Includes public and quasi-public, which are all lands and buildings devoted to governmental facilities, schools, churches and cemeteries. Public facilities are generally located in the southern portion of the Township along M-36 and in the Hamburg Village area. These uses comprise 479 acres. Also included as public is state land and private recreation and preserved open space areas.
 - o The Brighton State Recreation Area comprises 4,345 acres in the northern portion of the Township.
 - o Private recreation and preserved open space includes golf courses, private recreation clubs and open space areas that are part of a clustered residential development and are preserved through a planned unit development or open space community regulations. Private recreation and open space lands comprise 2,066 acres.

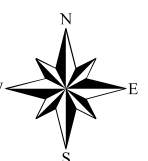
Map 1 Existing Land Use

Hamburg Township,
Livingston County, Michigan



- Single Family Residential
- Multiple Family Residential
- Manufactured Housing Community
- Commercial
- Conserved Open Space
- Industrial
- Public
- Vacant
- Village Boundary
- Water Bodies

0 0.25 0.5 1 1.5 2 Miles



Source: Hamburg Township, 2019

01/2020

Future Land Use Summary

The Future Land Use section of the Master Plan serves to translate community development goals into a narrative and graphic illustration. It is based largely on existing land use patterns, projected demographics, natural resource capability and adequacy of community facilities and services such as roads, public utilities, schools, police and fire protection. Other contributing factors include the input received during the Master Plan process and the consideration of proper planning principles. The [Future Land Use Map \(Map 4\)](#) is not intended to serve as a [Zoning Map \(Map 5\)](#) nor dictate the use of individual parcels of property. Rather, it is to be used as a generalized guide to the location of growth and development. The land uses and residential densities that are indicated are to serve as a guide to overall densities within the various areas provided.

Factors for Consideration: The following are factors that were taken into consideration in preparing the future land use plan and map:

- **Existing Land Use:** The existing land use patterns of both Hamburg Township and the surrounding communities were considered to ensure that the future land use plan would be compatible with those patterns. Forty-four percent of the Township's land has been developed for residential purposes, particularly single-family dwellings on individual lots. The location of most existing nonresidential development is appropriate and will continue to serve as the primary business centers for the Township. The communities land use patterns have evolved in a relatively orderly manner. Commercial developments are located along major roadways and in neighborhood centers. Industrial developments are in relatively secluded areas, away from signal family residential developments. Higher density residential development is in areas where residential development is in higher demand and more services can be provided. Lower density development is in areas further from services where more natural features can be preserved. These land use patterns will be continued, with slight modification, rather than altered in a significant manner. The Village Center area was created to guide future development and growth away from the more rural areas of the Township to a centralized area better equipped with a more adequate roadway system, existing utilities and a closer proximity to police and fire services.
- **Existing Zoning:** Changes to the existing zoning designations from the 2011 Master Plan are not proposed. However, there is no vested interest in a parcel that guarantees zoning will not change.
- **Natural Features:** The natural rolling topography, woodlands and waterways provide highly attractive and marketable property for development. The location of each future land use designation were determined, in part, by the location and extent of natural features. For example, soil conditions and the ability of the soil to accommodate individual septic systems require that certain areas of the Township be limited to low-density and medium-density residential development. Lower overall single family residential development densities are also proposed for properties containing significant wetland areas, although the use of clustered developments and green infrastructure in buildable areas of properties, while conserving the wetlands, can provide a balance between the environment and the development potential of the property.
- **Desires of the Community:** The future land use pattern desired by Township officials and property

owners has been expressed through a variety of venues. Residents and business owners generally expressed that they wanted to retain the quality of life within Hamburg Township by preserving and enhancing the existing natural features, waterbodies and outdoor recreational opportunities within the community, directing development to appropriate areas, and requiring a high quality of design for future development. To allow the community to thrive in the future it is important for Hamburg Township to create a sense of place and to diversify housing types to promote more multi-generational, senior and workforce housing opportunities.

- **Community Character:** The Hamburg Township community values the rural aesthetic of the Township. At the same time, there is interest in the Township continuing to provide desired high quality services. This can be done by ensuring that the quality, quantity and location of future development will provide the tax base to support the desires of the community while preserving the valued rural character.
- **Demographic, Housing and Populations Projection:** It was important to consider the existing demographics and housing stock within the community when preparing the Master Plan. This data along with the future demographics, and population trends of the community will provide information to guide the future land use needs of a community. For example:
 - o **Future Growth:** Hamburg Township is expected to experience steady slow growth (see [Appendix A](#) for demographic analysis). The Township population has been climbing steadily over the past thirty years, almost tripling in size. The Township is expected to continue to grow although at a much slower rate in the foreseeable future.
 - o **Aging Population:** The average age of the population of United States will be getting older over the next twenty to thirty years, with the majority of the baby boomer generation reaching the age of 65. Hamburg Township's population break down is currently older than that of the State of Michigan or Livingston County. The aging population will have impacts on the development of the Township. In 2010 11 percent of the population of Hamburg Township was older than 65 years old. By 2045 it is projected that over 29 percent of the Township's population will be older than 65 years old. This is important to consider when looking at the future land uses as older people have different needs and wants which will have different impacts on a community.
 - o **Declining Household Sizes:** The average household size has declined in the past twenty years. In addition, the increased number of households, relative to the size of the population, creates a need for more housing. In the future, the number of households is expected to increase at a faster rate than the population.
- **Non-conforming Lots:** There are a number of older subdivisions within the Township that pre-date current zoning and subdivision standards. In many instances, the lots within these subdivisions do not conform to current minimum lot size standards, are accessed by substandard roadways, have soil conditions that are unsuitable for onsite septic fields, and are located within wetlands or floodplains. These subdivisions are generally located along the Chain of Lakes and were originally developed for lakefront cottages. Over time and with the installation of the public sewer system, these small cottages

where able to be expanded and converted to permanent year-round residences and the vacant non-conforming lots are now more viable for development. The Zoning Ordinance provides that a nonconforming lot may be developed without obtaining a variance from the Township Zoning Board of Appeals provided the structure meets all setback requirements. Some of the non-conforming lots of record may not be able to be developed due their size, lack of adequate access or the location of existing wetlands and floodplains.

- **Relationship of Uses:** When considering future land uses the master plan strives to reduce or eliminate incompatible land use relationships existing in the Township. For example, industrial uses would be incompatible with single-family residential uses or in the middle of the village center area. The Future Land Use section designates areas for uses that are considered most appropriate for the community's long-term objectives, with the intention of eventually relocating some existing uses that do not meet these objectives. More dense residential development is directed to areas of the community that have the necessary infrastructure such as the Village Center area.
- **Residential Trends:** The fast pace of growth in Hamburg Township over the last 30 years has resulted in a significant amount of housing development. Most of the existing and new housing is comprised of single-family detached units and most of the housing that has been built over the last 20 years are large homes on large lots. The citizens of Hamburg Township have expressed a desire to continue with residential development on "large" lots. However the need for more diversity in housing types will increase due to changing demographics (aging, smaller households, lifestyle). As current residents age, some will desire to downsize and stay in the area. Also, a variety of housing is needed to allow younger families, single parent households, employees of the business within the community and other individuals to stay and live in the Township. For Hamburg Township to remain economically and socially viable into the future, a diversity of housing types should be promoted.
 - o **Senior Housing:** By 2045 it is estimated that people older than 65 will make up 29.5 percent of the Township population that will be up from 11.2 percent currently. The Township currently has zoning regulations for Elder Cottage Housing Opportunity (ECHO) Villages, which incentivizes development of senior housing. ECHO Villages consist of clustered cottage units with smaller minimum floor areas that are often less than 1,000 square feet. The cottages are permanent, singular or attached structures, and they are not accessory to a principal dwelling. ECHO Villages allow seniors the opportunity for an active, independent lifestyle, where they can age in place in their own home for as long as possible. Villages often have qualifying conditions such as age restrictions or they must have a household member that is disabled. Villages are built according to [International Code Council \(American National Standards Institute\) Accessibility Standards](#) and the [American with Disability Act](#) regulations for maximum interior and exterior accessibility. The zoning regulations for ECHO housing have been in place since 1993 and although these ECHO regulations provide for senior housing opportunities, there have only been ___ developments that have taken advantage of the ECHO regulations. Of those developments, only one of them is still age restricted. The Township should consider additional ways to promote housing that will be

accessible to this aging population.

- o **Missing Middle:** In the 2020 housing market it is expected that different housing types are needed to support changing demographics. Market demands for certain target groups such as young professionals and empty nesters, as well as the increasing elderly population are recognized as being very similar. All of these demographics are seeking a more compact, attached housing product in the form of row houses, townhomes, duplexes, four-plexes, or low rise apartments within established neighborhoods which exhibit a full array of amenities, such as walkability, parks or other recreation opportunities, and proximity to areas with commercial and entertainment opportunities. Proximity to jobs that are walkable, bike-able, or easily accessed by convenient transit are also important to young professionals and empty nesters who are still in the workforce. This housing type is being referred to as the “missing middle”. Missing middle is a range of multi-unit or clustered housing types compatible in scale with single-family homes that help meet the growing demand for walkable urban living. Such housing is intended to be incorporated into a traditional single-family neighborhood through infill projects in such a way as to be seamlessly integrated into the character of the neighborhood. Design regulations for such housing types should be created to ensure that new construction is consistent with the neighborhood both in scale and architectural quality. This type of housing should be directed to areas that can support the higher densities such as the Village Center area.



- o **Workforce Housing:** Workforce housing refers to housing that is affordable to those who are employed in the Township, but cannot afford to live in the Township. It is costly to train workers only to have them leave their employment if a job closer to their home becomes available. Based on survey results and conversation with employers within the Township and County; they have suggested that it is difficult to adequately staff some of the service and retail jobs within the Township because of the lack of housing for these workers. Other employees within the Township that may need workforce housing may be considered “essential workers” such as teachers, nurses, firefighters and police officers. Growth in the economy of the Township is greatly

hampered by the lack of workforce housing. As a solution to the lack of workforce housing, some employers across the country are building housing for their employees on land that they already own or have acquired. This dedicated employee housing near worksites can be a powerful attraction and retention tool for employers. Another workforce-housing tool is Employer Assisted Housing (EAH) programs through which employer's help employees attain rental or home ownership through benefits such as down payment assistance, rental/mortgage assistance, shared equity, forgivable loans, and matched savings or upfront grants.

- **Market Condition:** Market conditions were considered even though they may change during the time frame of this Plan. Hamburg Township's existing commercial, office, and institutional developments may experience growth in the coming years; however, the areas for this potential growth will remain unchanged from the 2011 master plan. Most of the growth will be infill of the existing facilities and on vacant properties within the existing designated areas. The manner in which the commercial development occurs will have potential impacts on the aesthetics of the community, traffic patterns, the level of commercial services enjoyed by Township residents, and the relationship to other land uses. Retail, trade, service and office/business jobs have historically been the employment base in Hamburg Township. Although the Township is mostly a bedroom community, the job opportunities within the Township are important to consider when looking at the future land use as it is important to provide housing opportunities for people working within the Township to limit future traffic and environmental impact on the community.
- **Commercial Trends:** The existing commercial nodes along M-36 offer a limited range of goods and services. The most common commercial uses in Hamburg Township are restaurants, service businesses and retail sales of convenience goods. Service-type businesses include beauty and barbershops, real estate offices, insurance offices and other businesses that provide a service rather than sell a product. Convenience goods are goods consumed or used on a daily basis, such as groceries, drugs, and hardware items. Only a few of the retail businesses within the Township market comparison goods. Comparison goods are purchased less frequently and usually only after people have compared prices and quality of competing stores. Township residents generally travel to surrounding communities such as Brighton or Howell for these comparison goods. If they desire a broad selection of goods or a variety of stores, residents will travel to regional shopping centers in Washtenaw or Oakland Counties. Certain specialized services, such as the services of a stockbroker or medical specialist, are generally acquired outside of the Township.
 - o **Commercial Development Potential:** Projections of commercial development potential through 2030 ([Appendix D](#)) was prepared for the 2011 Master Plan. With little change in the data between 2011 and 2019, these projections are still valid. The commercial base analysis revealed that continued commercial development, primarily convenience commercial, can be expected to meet the needs of the Township's population and that insufficient market support for most comparison goods businesses exists within the Township. Consequently, it appears that the potential for large-scale commercial development is limited. It is likely that any new construction of commercial

facilities will be no larger than a neighborhood shopping center. Such facilities can be accommodated within the existing commercially zoned areas of the Township. Also, based on the retail analysis of the [Village Center Master Plan](#), approximately half of the commercial development can be supported in the Village area.

- o **Village Historic Downtown:** This is the small commercial area along Hamburg Road within the Village Center area. With future development directed to the Village Center Area it will be important that small neighborhood oriented commercial opportunities be created in this area. These commercial activities will offer walkable and convenience services to the residents in the immediate area. The commercial node will also help to create a sense of place for not only the immediate neighborhood but for the community as a whole.
- **Infrastructure, Public Facilities and Services:** The density of residential uses and the designation of land for industrial and commercial development are dependent on the availability and capacity of the community's public water and sanitary sewers, existing transportation facilities, public infrastructure, important environmental features, and existing development patterns. Portions of the Township are currently served, are planned to be served, or have the potential to be served by public water and/or sewer, see the [Water and Sewer Master Plan](#) and the [Water Master Plan](#) for more details. Accessibility to and the capacity of the road network will determine, in part, the types and intensity of uses that the Township may expect. The availability of community facilities such as schools and recreational facilities determines the areas that are especially attractive for residential development, while the level of police and fire protection contributes to quality of life in all areas of the Township.
 - o **Sanitary Sewer Service Area:** Much of the historic development in Hamburg Township was around the chain-of-lakes. These areas were developed with resort cottages on small lots with individual septic drain fields. Over time, these areas have been converted to year-round homes. Areas surrounding the lakes have soil conditions and high water tables that are not well suited for drain fields. The combination of the natural soil characteristics and increased residential use of the lake areas led to significant problems with septic tank systems. The lack of septic system treatment performance was affecting the quality of wells and the lakes. In response to these problems, Hamburg Township has provided a sanitary sewer system to serve the most intensely developed areas around the lakes. Currently, in conjunction with the Township's system, there is an agreement between Hamburg Township and the City of Brighton for treatment. The City of Brighton Sewage Treatment Plant is located in the northeast corner of Hamburg Township. To accommodate the current and projected level of development and to reduce the environmental impacts of the existing and future development, Hamburg Township prepared a [Water and Sewer Master Plan](#). The plan indicated and increased service areas including the Village Center and the area around Rush Lake. Sanitary sewer services have also been expanded to serve most of the southern and eastern portions of the Township. ([See Map 2, Existing and Future Sanitary Sewer Districts](#))

Map 2 Existing and Future Sanitary Sewer

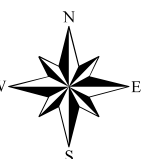
Hamburg Township,
Livingston County, Michigan

- Current Sewered Parcels
- Future Sewer Districts
- Existing Sewer Lines

PUTNAM TOWNSHIP

GREEN OAK TOWNSHIP

0 0.25 0.5 1 1.5 2 Miles

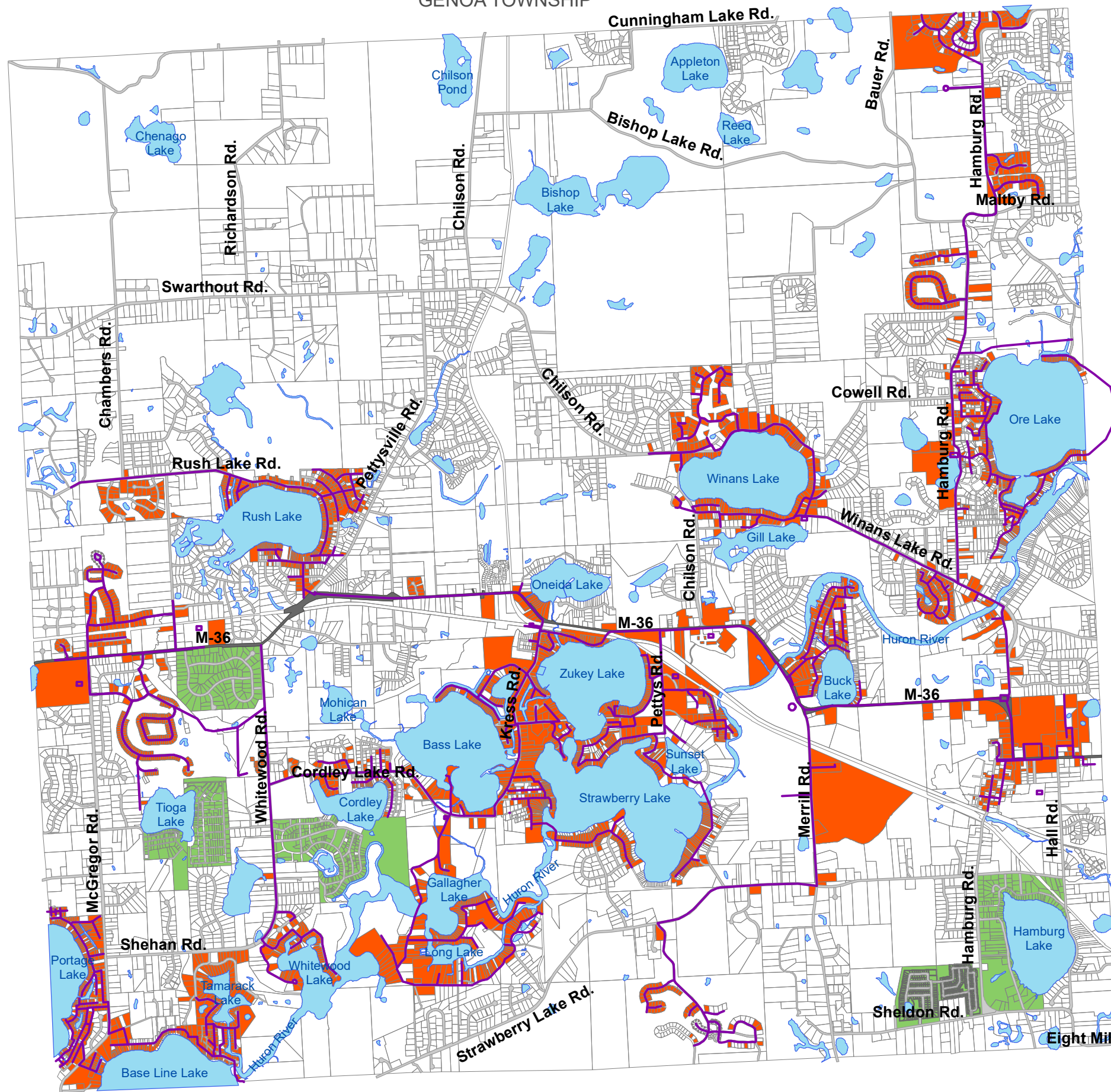


Source: Hamburg Township, 2019

01/2020

GENOA TOWNSHIP

WEBSTER TOWNSHIP, WASHTENAW COUNTY



- o **Public Water:** The growth of Hamburg Township has led to the development of a public water supply system. Township residents and businesses largely continue to rely on individual wells for water supply with only eight businesses currently hooked up to the public water system. The need for municipal water has been greatest within the Hamburg Village area, because the Village is planned for much of the higher density development within the Township. There also exist areas in the township with low water production where a public water system would alleviate current low capacity issue for residents and potentially allow for development of sites. The Township updated the section of the [Sewer and Water Master Plan](#) in 2006 with the creation of the [Water Master Plan](#). This plan creates a water service area and splits that area into four phases. The water services will be extended based on the plans for each phase when new development is proposed in the areas ([See Map 3, Existing and Future Water Map](#)).
- **Neighboring Communities:** Land use in the areas surrounding Hamburg Township is predominantly low density residential, recreational, agricultural, and vacant. The City of Brighton, bordering the northeast corner of Hamburg Township, represents the most urbanized neighbor. Hamburg Township's relationship with its neighbors will be closely tied to land use activities along the major growth corridors linking Hamburg Township with neighboring units. These corridors include M-36 west to Putnam Township, M-36 east to Green Oak Township, Brighton Road north to the City of Brighton and Chilson Road north to Genoa Township and the City of Howell, Hamburg Road southeast to Green Oak Township and Strawberry Lake and Merrill Roads south to Webster Township. All units of government should carefully weigh the impact on their neighbors of land use decision within the major growth corridors.
- **Emerging Technologies:** Innovations and technological advances will likely have impacts on the future growth of the Township. One recent example of technology affecting growth came about with the invention of the internet and more recently with the access and ease in on-line shopping. This online shopping trend has affected the existing and future growth of retail development throughout the Township, and the entire world. Two of the most recent up and coming emerging technologies that may have an impact on land use within the Township are in Alternative Energies. Due to solar and wind power generation becoming more economically feasible, the fact that solar and wind are a cleaner energy source, and the fact that new federal and state laws have been created to requiring less dependence on fossil fuels, there is greater pressure on municipalities to allow larger scale solar and wind projects. Solar and wind power may have less impacts on the environment, but large scale solar and wind project systems could have greater impacts on nearby properties. Another new technology that may have an impact on future growth in the Township is autonomous vehicles. Although these vehicles are currently not in mass production, they may within the time frame of this Master Plan. The Township should continue to monitor new technologies and to weigh the benefits and impacts of these technologies when determining how to regulate them.
- **Existing Township Master Plan:** The previous Township Master Plan, adopted by Hamburg Township in 2011, and other applicable plans were reviewed and used as a guide for the current version of the Township Master Plan. Because the opinions of the community, the demographics of the area and the

existing land uses have not significantly changed since our last Master Plan update in 2011 the future land use plan contained in the previous plan has been re-evaluated based on current trends and conditions and has not been significantly changed.

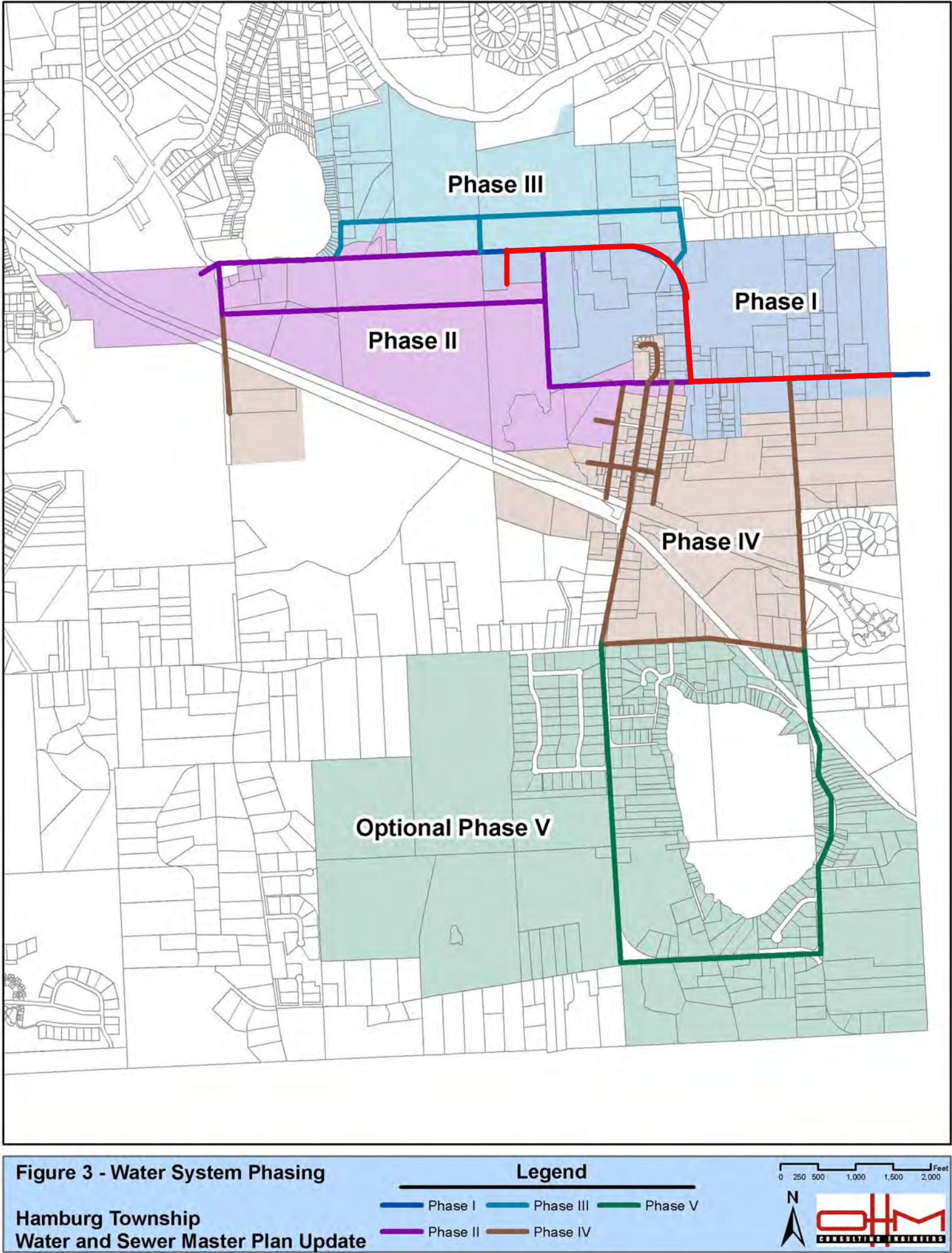
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Map 3 Existing and Future Water Service

Hamburg Township,
Livingston County, Michigan

Existing Water Line
(Livingston County Water Authority)

This Map is the Water System Phasing map which creates a water service area and splits that area into four phases. The water services will be extended based on the plans for each phase when new development is proposed in the areas.
(Excerpt of Hamburg Township Water and Sewer Master Plan, 2006)



Source: Hamburg Township, 2019

Future Land Use Designations

Rural Low Density Single Family Residential (One dwelling unit per two acres): Rural Low Density Residential land use is planned for land areas within the southern and northern most portions of the Township that are least capable of supporting development. This designation also applies to transitional areas from the recreational lands to the Medium Density Single Family Residential in the northern third of the Township. Much of this area contains significant natural features such as wetlands and floodplains.

Within the Rural Low Density Residential area, single-family residences should be developed at one dwelling unit per two acres. The overall density of this area should be kept relatively low. The provision of low-density rural residential areas will lead toward the preservation of open space and the rural atmosphere of Hamburg Township. Developments in these areas are encouraged to take advantage of the Township's open space and agricultural tourism provisions.



Medium Density Single Family Residential (One dwelling unit per acre): Medium Density Residential is intended for areas that are characteristic of moderate density residential and undeveloped land areas, which are capable of supporting development at moderate densities. This designation applies to much of the land surrounding the lakes and in the center of the Township concentrated along M-36. Medium density residential provides for single-family residences at a density of one dwelling unit per acre. Developments in these areas are encouraged to take advantage of the Township's open space provisions.

High Density Single Family Residential (Four to ten dwelling units per acre):

High Density Single Family Residential is intended for areas that are characteristic of higher density residential, capable of supporting development at higher densities, and located in close proximity to community facilities, service, transportation routes, and commercial areas. This designation applies to the areas around most of the lakes within the Township, as well as in the Village Center. High Density Single Family Residential provides for single-family residences at four dwelling units per acre and higher. Developments in these areas are encouraged to take advantage of the Township's planned unit development regulations to allow projects that provide additional benefits to the Township more regulatory flexibility.



Multiple Family Residential: Multiple Family Residential is specifically identified for areas capable of supporting development at higher densities and located in close proximity to community facilities, service, transportation routes, and commercial areas. It is intended that these areas will develop as multiple family or mobile home park residential with public water and sanitary sewer. Densities will vary depending upon site conditions, but is planned to be a net of four dwelling units per acre. Developments in these areas are encouraged to take advantage of the Township's planned unit development regulations to allow projects that provide additional benefits to the Township more regulatory flexibility.



Neighborhood Commercial: Neighborhood commercial includes all land and buildings where products, goods or services are provided to serve the residents of the immediate neighborhood areas. These uses are smaller, low traffic generating commercial services. This land use designation is for the maintenance of the existing commercial clusters located along M-36.

Neighborhood commercial includes two areas that are located on the chain-of-lakes and one small area along Hamburg Road. These waterfront and neighborhood commercial areas are intended to develop for low intensity uses that serve the immediate neighborhood and boaters. Uses would include restaurants, bait shops or small neighborhood grocery stores. Developments in these areas are encouraged to take advantage of the Township's planned unit development provisions.

General Commercial: General commercial includes all land and buildings where products, goods or services are provided to service a larger community area. These uses will be larger uses and will generate higher traffic volumes. This land use designation will be used for the maintenance and some expansion of the existing commercial clusters located along M-36. Strip commercial development along M-36 beyond these community nodes should be discouraged.



Industrial: Industrial properties are contained to the larger existing industrial areas. These areas are relatively isolated from residential areas and can be provided with existing and planned community facilities and services, such as access to M-36 and public water and sewer services.

Public/Quasi-Public: The public/quasi-public includes all lands and buildings devoted to governmental facilities, schools, parks and cemeteries.



**Public and Private Recreational Facilities (40 acre lot size):**

Public and private recreational land provides an exclusive area for specified government, civic and private recreational facilities. This will assist in protecting the Brighton State Recreation Area and private recreational facilities from intrusion by more intense suburban development that would otherwise detract from the natural amenities and resources of this area. These types of land uses will also limit the need for extensive public services such as public water, sanitary sewer, and additional schools. This area of the Township is largely in a natural state and contains large areas of woodlands, wetland and wildlife habitat.

Natural River Residential: The natural river residential is located within the Huron Natural River District, as established by [Huron River Management Plan](#) adopted by the Natural Resources Commission (NRC). All land within 400 feet of the shoreline of the Huron River is included in this designation.



Waterfront Residential: The waterfront residential is located along the major lakes within the Township and intended to regulate the small waterfront parcels, typically less than one acre. These parcels should maintain their existing character and setbacks from the lakes. Developments in this district are encouraged to take advantage of the Township's open space provisions.

Village Center: The Village Center area was created to allow a critical mass of activities and to be pedestrian oriented in order to create a sense of place within the Township. This Village Center area and the [Village Center Master Plan](#) were designed to create a community center area within the township, offers additional services, encourage development, and allow a variety of development types. Encouraging the development of the Village Center area will lessen the development pressures on other areas throughout the township that may be less suitable for development. Developments in this district are encouraged to take advantage of the Township's planned unit development regulations.



Map 4

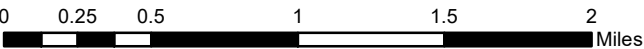
Future Land Use

Hamburg Township, Livingston County, Michigan

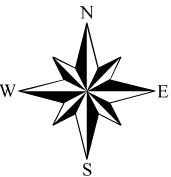
- High Density Residential
- Medium Density Residential
- Low Density Residential
- Multiple Family Residential
- Waterfront Residential
- Natural River Residential
- Neighborhood Commercial
- General Commercial
- Conserved Open Space
- Public and Private Recreational Facilities
- Public/Quasi-Public
- Water Bodies
- M-36 Corridor
- Trail

Village Center Area

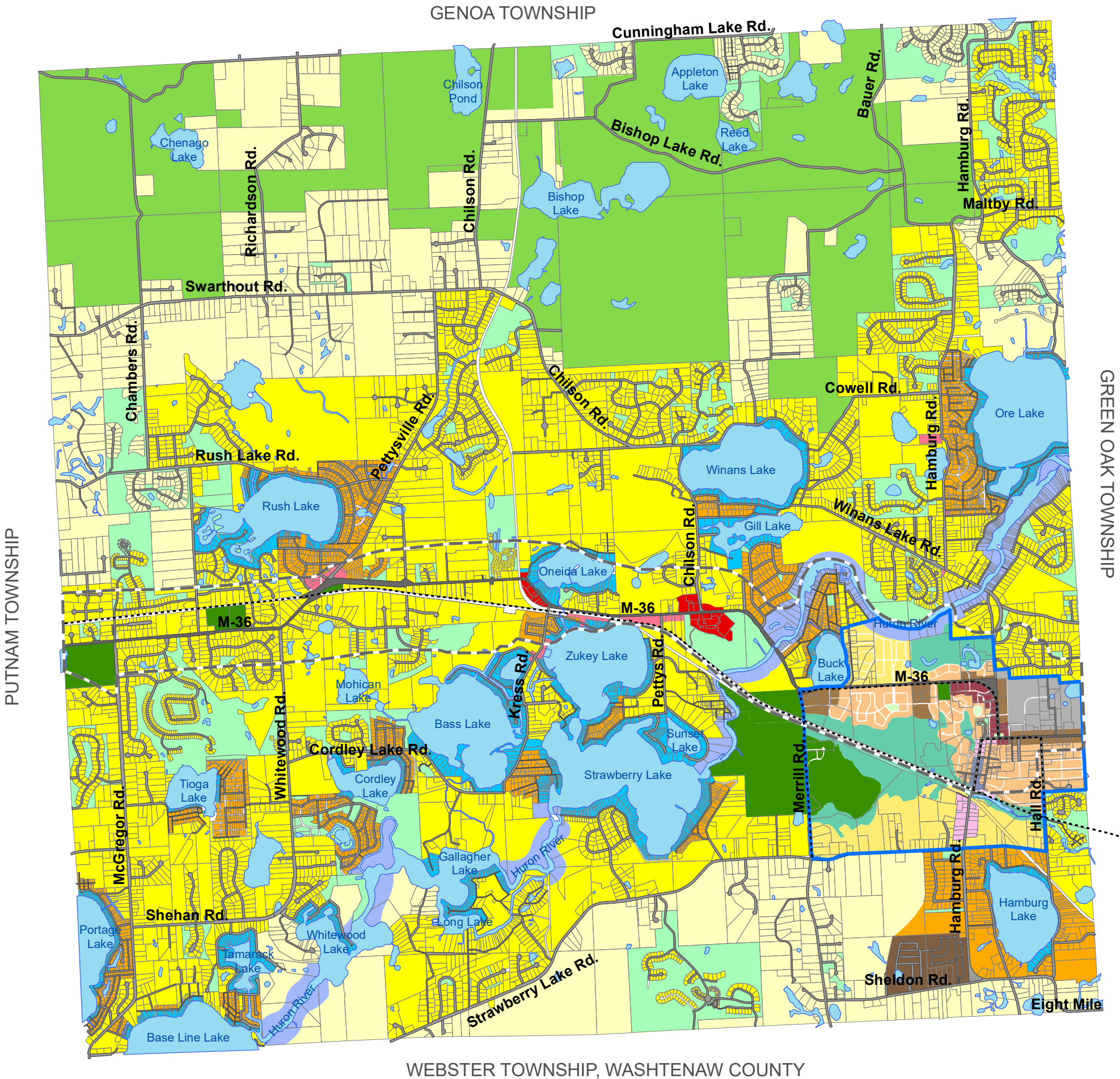
- Village Residential-2
- Village Residential-10
- Village Core
- Village Gateway
- Village Historic
- Village Transition
- Industrial
- Conservation District
- Parkland
- Village Boundary



Source: Hamburg Township, 2019



01/2020



Zoning

The following table illustrates the proposed future land use and the corresponding zoning district designations. This table in combination with the [Future Land Use Map](#), should be used as a guide to making decisions on rezoning. However, there are also other conditions that need to be taken into consideration when making a decision on the appropriate timing of a rezoning, such as current availability of public infrastructure.

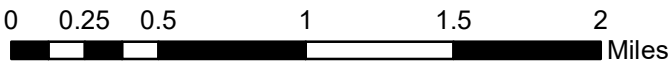
Table 1
Future Land Use Classifications and Applicable Zoning Designations

Land Use	Proposed Density	Applicable Zoning District(s)	Actual Density
Rural Low Density Single Family Residential	1 unit/2 acres	RAA – Low Density Rural Residential	1 unit/2 acres (87,120 sq. ft.)
Medium Density Single Family Residential	1 unit/acre	RA – Medium Density Residential	1 unit/acre (43,560 sq. ft.)
High Density Single Family Residential	4 units/acre	RB – High Density Residential	1 unit/10,000 sq. ft.
Multiple Family Residential	4 units/acre	RC – Multiple Family Residential MHP – Mobile Home Park Residential	Varies depending on size of development
Neighborhood Commercial	NA	NS – Neighborhood Service	NA
General Commercial	NA	CS – Community Service	NA
Industrial	NA	LI – Light Industrial GI – General Industrial	NA
Public and Private Recreational	1 unit/40 acres	PPRF – Proposed Public and Private Recreational facilities	1 unit/40 acres (1,742,400 sq. ft.)
Natural River	1 unit/acre	NR – Natural River Residential	1 unit/acre (43,560 sq. ft.)
Waterfront Residential	1 unit/acre	WFR – Waterfront Residential	1 unit/acre (43,560 sq. ft.)
Hamburg Village	*See Hamburg Township Village Center Master Plan	Proposed VG – Village Gateway VC – Village Core VH – Village Historic VT – Village Transition VR-2 – Village Residential 2 VR-10 – Village Residential 10 MD-Mixed Development	Varies depending on land use type

Map 5 Zoning Map

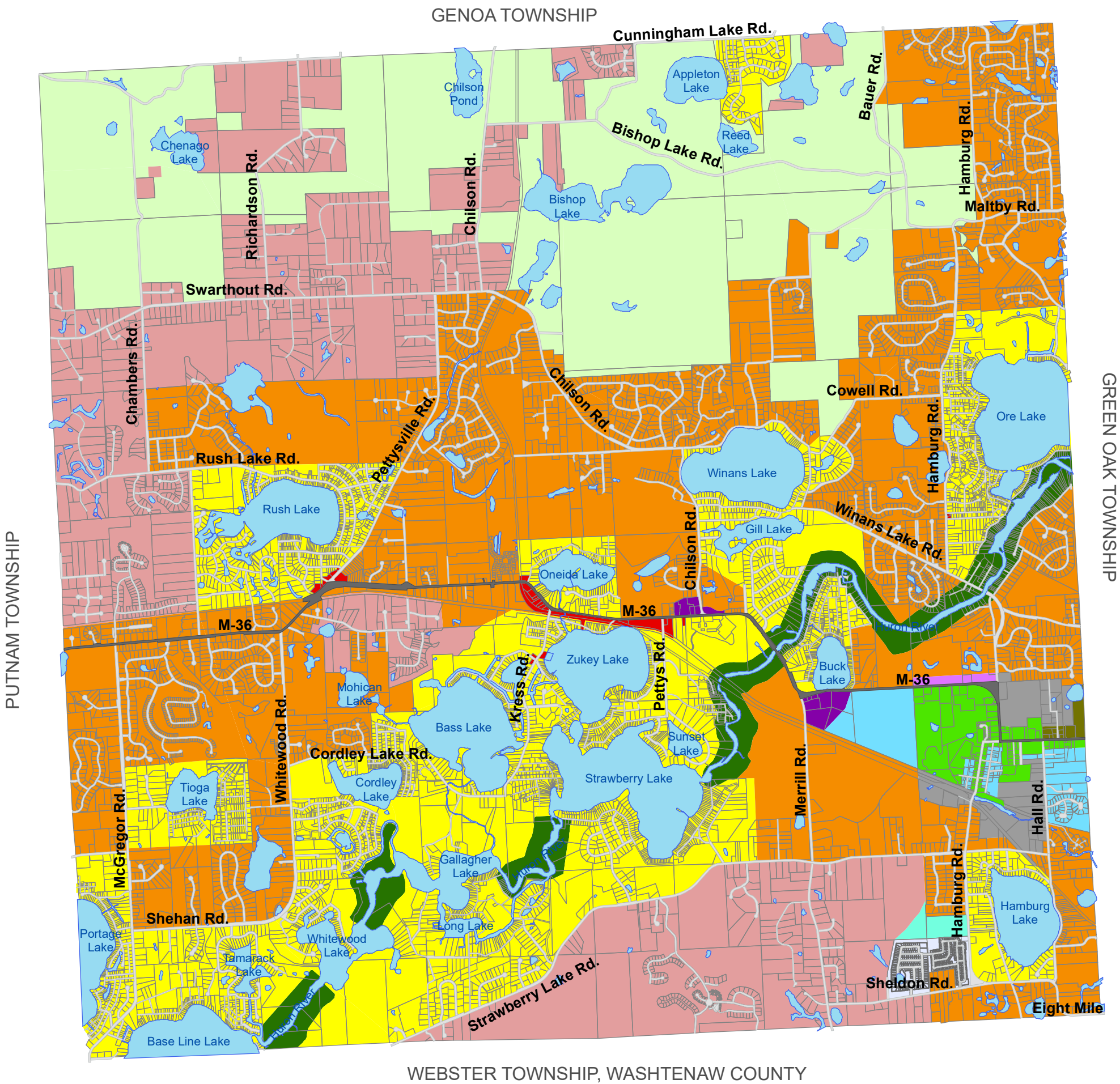
Hamburg Township,
Livingston County, Michigan

- Zoning District**
- RAA - Low Density Residential
 - RA - Medium Density Residential
 - RB - High Density Residential
 - WFR - Waterfront Residential
 - NR - Natural River Residential
 - MHP - Mobile Home Park Residential
 - NS - Neighborhood Service
 - CS - Community Service
 - LI - Limited Industrial
 - GI - General Industrial
 - MD - Mixed Development
 - VC - Village Center
 - VR - Village Residential
 - PPRF - Public and Private Recreational Facilities



Source: Hamburg Township, 2019

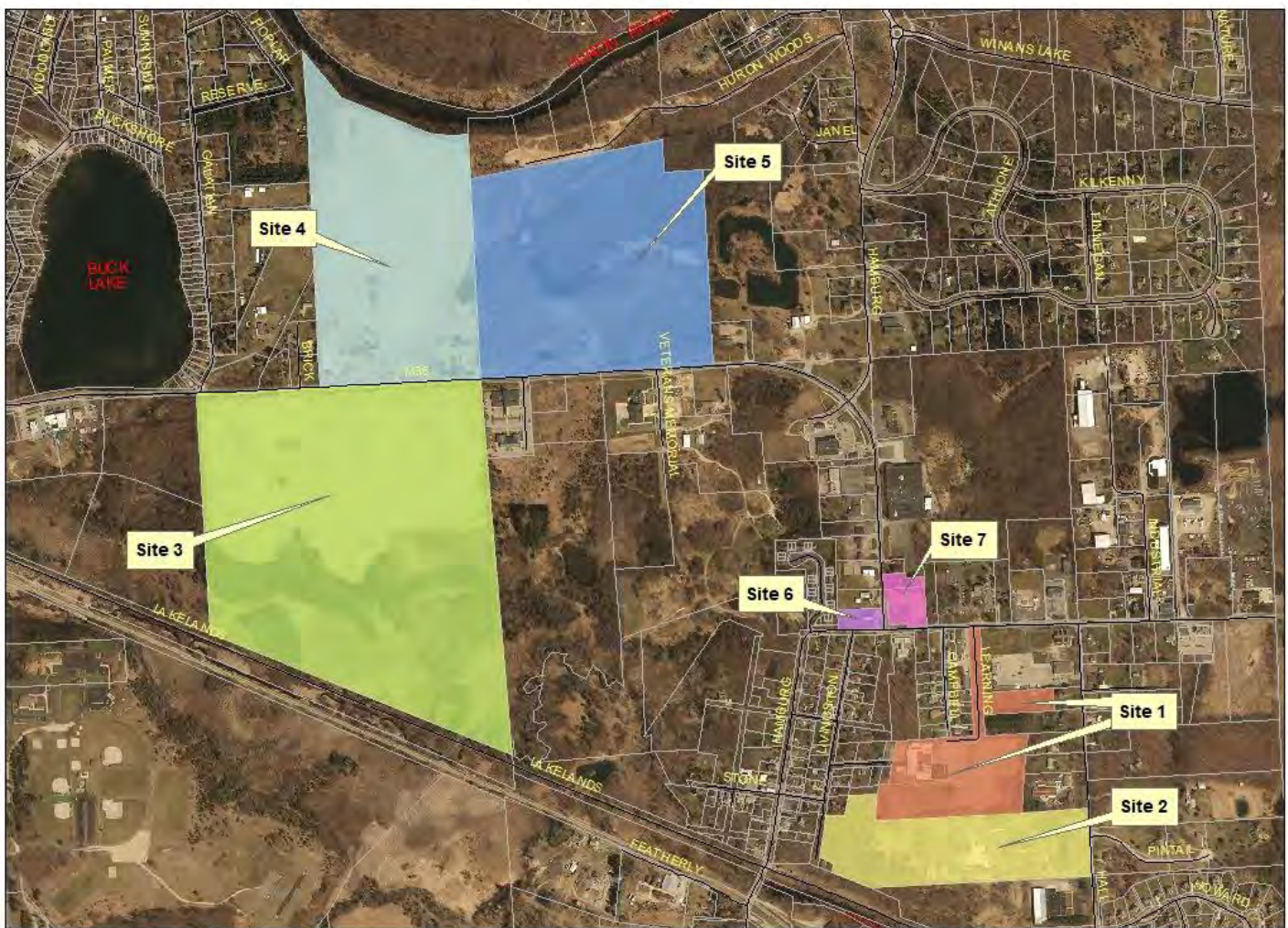
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Opportunity Sites

Seven sites have been identified to spotlight for future development opportunities. These sites have been chosen because they are currently vacant or under-utilized, given their location, unique features, and size. All of the sites chosen are located within the [Village Center Master Plan](#) area, as it is the Township's goal to direct development to this area helping to preserve other areas of the Township that are more environmentally sensitive and less suitable for development. This area is also in close proximity to existing sewer and water services. Although there are many vacant or under-utilized sites throughout the Township, these seven sites have been singled out to highlight their potential for future development.

Map 6
Hamburg Township Opportunity Sites



Opportunity Site 1: Old Hamburg Elementary

Sites: 16-acre area that is currently vacant. In December of 2016 the site was rezoned under a Planned Unit Development to include 208 unit apartment complex. The existing buildings were removed from the site and the lot was cleared for development but no improvement have been started. The property is currently zoned Village Center (VC) and the [Future Land Use Map](#) designates this site for Village Residential-10. This site ideal for higher density residential as it has direct access to the old downtown area, M-36 and the Lakeland Trail.



Opportunity Site 2



Opportunity Site 2: Hoskins Property: A 20-acre site that currently has a vacant single story commercial building on it. The Hoskins Manufacturing facility closed in 2001 and since this property has been bought and sold multiple times at municipal tax sales. The site is currently considered a brownfield site due to contamination resulting from the prior manufacturing facility and the depositing of fill materials from unknown sources on the site. In 2018 the Hamburg Township Brownfield Redevelopment Authority was granted a Brownfield Development Loan and Grant from the Michigan Department of Environment, Great Lakes and Energy (EGLE) to help the owners of the property with the clean-

up of the site, which includes the removal of an existing building and the necessary clean-up to address soil and groundwater contamination. The property is currently zoned General Industrial (GI) and the [Future Land Use Map](#) designates the site as Village Residential-10. Because of the zoning and future land use designations this property can be used for a wide variety of development types.

Opportunity Site 3: Knapp Property: A 97-acre vacant site off of the south side of M-36 and west of Professional Center Drive. The site is zoned High Density Residential (RB) and the [Future Land Use Map](#) designates a portion of this site for Village Gateway district and a portion of this site for Village Residential-10.



Opportunity site 4 and 5: Knapp Property and Guo Property (North Side of M-36): These sites include 102 acres of vacant property off of the north side of M-36 across from Veterans Memorial Drive and Professional Center Drive. The southern 100 feet of these sites is zoned for Mixed Development (MD), and the rest of the site is zoned Medium Density Residential (RA). The [Future Land Use Map](#) designates the site as Village Residential-2. Opportunity site 4 is approximately 48 acres and is relatively flat with the Huron River running along the north property line. Opportunity site 5 is approximately 54 acres and has a sensitive wetland area in the middle of the property.

Opportunity site 6 and 7: Quin-Martin Property and Silay (Quonset Hut) Property: These sites include 3.18 acres of vacant property at the northwest and northeast corner of the intersection of M-36 and Hamburg Road. These sites are zoned Village Center (VC) and the [Future Land Use Map](#) designation is Village Core with a small area at the corner of each of the sites to remain public parklands to create a defined entrance to the Village Center area of Hamburg Township. With the construction of new residential developments of approximately 250 units in Green Oak Township directly adjacent to the eastern boarder of Hamburg Township along M-36 these sites are prime locations for future mixed use development with commercial on the ground floor and residential or office above.



Goals and Objectives

The following section will list out some of the more important goals and objectives of the Land Use section followed by possible implementation measures to reach these goals.

LAND USE GOALS AND OBJECTIVES

Goal 2: Preserve the natural and historic character of Hamburg Township by accommodating a reasonable amount of development, but ensuring the development is in harmony with the natural features and the unique environmental requirements of the Township.

Objective A: Direct future development to areas most suited for that type of development.

Objective B: Consider the location of the natural features on a site during review of future development layouts.

Objective C: Encourage preservation of the existing landscaping and natural features along M-36 to retain the rural/scenic quality of the Township.

Objective D: Encourage residential clustering and allow for a wider variety of uses on land that is actively farmed, develop additional practical alternatives for farmers to reduce the necessity to convert prime farmland to other uses.

Objective E: Cluster and contain future commercial development around existing commercial areas in the Hamburg Village, Village Center, M-36/Chilson Road, Lakeland, Hamburg Road and Ore Lake Road, M-36/Pettysville Road areas to enhance and serve the residents of the surrounding neighborhoods and motorists on M-36.

Objective F: Preserve the existing farmland throughout the community.

Objective G: Encourage clean energy sources but still balance the benefits and drawbacks presented by the alternatives.

Objective H: To retain industrial growth within the area of the Township where it will least conflict with surrounding land use.

Objective I: Address potential problems that may be associated with development of nonconforming lots of record, particularly development of the existing vacant nonconforming lots of record that are constrained by size, location or access.

Goal 3: Promote a mix of development types to manage sustainable growth.

Objective A: Provide an avenue for to allow for a diversity in housing types to support the changing demographics, such as young professionals and empty nesters and the increasing elderly population.

Objective B: Encourage development that supports the aging population of the community, including aging in place, access to core services, and the expansion of necessary medical services.

Objective C: Provide an avenue for attainable housing.

Objective D: Encourage development in the Village Center area as indicated in the [Village Center Master Plan](#).

Goal 4: Create a more visible identity for Hamburg Township and promote a sense of place within Hamburg Township.

Objective A: Encourage the development of the Village Center as indicated in the [Village Center Master Plan](#).

Objective B: Prioritize the economic development along the M-36 commercial corridor and in the Village Center area.

Objective C: Promote revitalization of the commercial properties.

CHAPTER 3-Transportation

Overview

This chapter identifies the existing transportation conditions and explores future transportation needs and opportunities across five main mode of transportation: vehicular, pedestrian, bicycle, rail and air transportation

Existing Transportation

Hamburg Township is characterized by lakes and rolling topography. The beauty and abundance of the natural features make Hamburg Township a desirable place for homebuyers that are seeking a rural atmosphere. While the Township's many natural features enhance the desirable quality of the community, they present limitations for roadways. The rolling topography, sharp curves and limited sight distances, while enhancing the pedestrian and bicycle transportation conditions, contribute to more difficult driving conditions, especially during adverse weather. Complicating these conditions are narrow driving lanes along roadways, which are constrained to relatively narrow right-of-ways. Adjacent land uses and numerous road intersections at curves and areas with poor sight distance cause traffic flow restrictions and potential safety hazards.



The Township's vehicular corridors are linked to the regional transportation network via M-36, which intersect with US-23 in neighboring Green Oak Township. Arterial east-west roads within the Township are M-36, Strawberry Lake Road, and Winans Lake Road. The major north-south roads within the Township are Hamburg, Chilson, Pettysville, Whitewood, and McGregor Roads.

Among the roads in Hamburg Township, M-36 is a state route under the jurisdiction of the Michigan Department of Transportation (MDOT). Primary and local public roads are maintained by the Livingston County Road Commission (LCRC) with the State Motor Vehicle Highway Fund matched by Township funds.

M-36 links many communities including the communities adjacent to Hamburg Township including Village of Pinckney, Putnam Township and Green Oak Township. There is currently much concern over the safety and general conditions of M-36, which is the most travelled roadway within the community. The same concerns exist for county roads. Chilson Road and Winans Lake Road are the busiest county roads in the Township. Other roads within the Township that have greater daily usage are Hamburg, McGregor and Pettysville Roads. Many of these roads have limitations due to sharp curves and poor sight distance. Complicating these conditions are driving lanes, which are 11 feet instead of 12 feet wide with gravel shoulders along most of the road. Adjacent land uses and numerous primary road intersections cause traffic flow restrictions and potential safety hazards. Bishop Lake Road is the only county primary gravel road in Hamburg Township and provides access to the Brighton State Recreation Area. Traffic volumes are higher on this roadway during summer weekends and holidays.

Local subdivision roads built in the 1920's and 1930's were not subject to Livingston County approval. Many of these roads serving lake frontages are often very narrow and provide little right-of-way for improvements or maintenance. Some of these roads have segments with only one gravel lane making it difficult if not impossible for two vehicles to pass. There are a number of subdivisions within the Township that were platted with roads that were never constructed. There are also some privately owned lots of record that do not have improved road frontage. As development of the Township continues and un-subdivided parcels become scarcer, demand for developing these old lots of record is becoming greater. Dealing with development in this situation is difficult because these lots are often developed on a lot-by-lot basis and if road improvements are constructed, they are completed on a piece-meal basis. Making this situation more difficult, the road improvements in these situations fall of the owner of the property that is requesting the developed. This property owner then needs to work on an agreement with other property owner that may benefit from the new improvements, to cover the cost of the new roadway or they will need to cover the costs themselves. While new public roads are subject to LCRC approval and design standards, the Township should work with the LCRC to develop policies for dealing with development on these platted, un-improved roads.

The roadway system within Hamburg Township has a four element hierarchy which includes a major arterial (M-36), arterial, collector, and local streets. This hierarchy defines the roles of each street in terms of operational requirements, which in turn can be translated into planning, management and physical design features.

Table 2
Hamburg Township Roadway Hierarchy

	North/South	East/West
Major Arterials		M-36
Arterials	Hamburg Road (portion) Chilson Road Pettysville Road	Winans Lake Road
Collectors	Whitewood Road McGregor Road Merrill Road (portion) Hamburg Road (portion) Bauer Road*	Strawberry Lake Road Shehan Road Cunningham Lake Road* Bishop Lake Road Swarthout Road* Maltby Road
Local Streets	All other streets	All other streets

*Portion of roadway gravel

There are two major bridges in Hamburg Township, both spanning the Huron River. The M-36 bridge which was recently widened to 40 feet to carry two 12-foot lanes of traffic with eight-foot shoulders. The Winans Lake Road bridge was replaced in 2009 and has an expected life of another 50 years. Both of these bridges are in the eastern portion of the Township. Where the river flows out of the southwest corner of the Township, it is a

considerable distance into Washtenaw County before there is another crossing. The distance along the Huron River between the M-36 bridge and the North Territorial Road bridge in Washtenaw County is approximately eight miles.

The major non-motorized route through the Township is the 10-foot-wide, paved, multi-use, Lakelands Trail. This trail was constructed within an abandoned railroad right-of-way. It begins in the center of the Old Hamburg Village area and continues west to the Township line and onwards to the Village of Pinckney to the west. The Lakelands Trail travels through some of the more developed portions of the Township and runs adjacent to the Pinckney Middle School at the western edge of the Township. The Lakelands Trail provides a valuable non-motorized route through the Township. As new developments are being built, many neighborhood paths and trails are also being created within these developments. As these new developments and new pathways are created future connections to adjacent developments, community commercial nodes and the Lakeland Trails should be considered.



There are currently limited public transportation options within Hamburg Township. Livingston Essential Transportation Service (LETS) is a county agency that provides on demand bus or what is called a paratransit service to the area. While LETS is available to the public, it is often overbooked. People's Express of Whitmore Lake provides a similar service and is also available to Hamburg residents. Other mass transportation options that are currently available within the Township, although on a very limited basis, are ride-sharing services such as carpooling and private on demand services such as Uber and Lyft.

In March of 2019 the [Livingston County Transit Master Plan](#) was approved. Many of the communities within Livingston County, including Hamburg Township, collaborated in the creation of this plan. The goals of the plan include improving the system efficiency of current service for existing and new customers; developing new services that expand the customer base and respond to unserved needs; providing regional connections; and collaborating across communities, agencies, and sectors to have multimodal transportation considered as part of the county's development. Since the plan was adopted LETS has worked to expand their door-to-door transportation services with additional weekend dial-a-ride service and several new special services, including an agreement with the Hamburg Township Senior Center that launched in July 2019 to provide additional paratransit service to seniors within the Township at a reduced rate. A new healthcare transportation service was launched in October 2019 and is open to the public for medical appointments, pharmacy visits, on-demand emergency department discharges, and other activities that fulfill the mission of improving health and wellness. Also in October 2019, with support from the Township and other communities within Livingston County, LETS entered into an agreement with Michigan Flyer to provide round-trip shuttle service between Livingston County and Detroit Metro Airport from a stop at the Brighton Meijer.

Hamburg Township has one active railroad line. This line bisects the Township at its center from the north and proceeds easterly, from the center, through the Old Hamburg Village, and finally, exits the Township into Green

Oak Township. This line is owned by the State of Michigan and operated by Great Lakes Central Railroad. The rail line is predominantly for freight transit. According to the MDOT, the railroad is utilized by approximately two trains a day, five to six days a week. The tracks merge with what was once the old Grand Trunk Western and Ann Arbor Rail Road lines that have recently been abandoned and converted for use as the Lakelands Trail.

There is an airfield in Hamburg Township, Cackleberry Airport on Strawberry Road, at the southwest corner of the Township. Additional airports are within close proximity to Hamburg Township including the Livingston County Airport, northwest of the City of Howell, Detroit Metropolitan Airport, in the City of Romulus, approximately 25 miles southeast of Hamburg Township, and Willow Run Airport in Van Buren Township, approximately 18 miles southeast of Hamburg Township. Willow Run Airport is primarily a freight airport.

Existing Vehicular Traffic Patterns: Future traffic patterns within the road network will be closely related to land use. Because of this it is important that road development be coordinated with the overall plan for the Township. The most critical corridor is along M-36. Careful consideration of land use planning, zoning and site development along this corridor will ensure a well-coordinated traffic system and land use pattern.

Traffic is influenced by trip generation, route selection and street capacity. Trip generation varies by land use. The type and amount of traffic originating from a household will vary based on the demographic makeup such as household size, age of residents, and number of autos owned. Since many of the residents of Hamburg Township work outside of the community, much of the trips generated within the Township are to destinations outside of the Township.

Existing traffic volumes for roadways throughout Hamburg Township vary, depending upon the location of the segment studied or the date the study was conducted. Over the past 20 years the Township population growth and development activity has slowed. The slowing of population and development growth, reduction in household sizes, aging of the Township's population, increase in the number of people working from home, and increase in access to non-motorized transportation options all contribute to a reduction in actual daily vehicular traffic generated over previous projections for daily traffic volumes for year 2020 within the Township. The most recent traffic counts collected by the LCRC can be found in [Map 7, Existing Traffic Conditions](#). Table 3 summarizes the traffic count data for some of the main arterials that connect Hamburg Township. As you can see in Table 3 the actual vehicular trip counts after 2018 are lower on many of the Township's roadways than the projected vehicular trip counts for 2000 and none of the roadways have surpassed the projected vehicular trip counts for 2020.

Table 3

Traffic Counts prior to 1995 vs Traffic Projection vs Traffic Counts after 2015

Street Locations	Actual Trip Counts Prior to 1995 (LCRC)	Projected counts for 2000*	Actual Trip counts after 2018 (LCRC)	Projected counts for 2020*
Strawberry Lake Road (East of Merrill Road)	3,328 (1994)	4,000	4,650 (2019)	6,600

Merrill Road (North of Strawberry Lake Road)	4,075 (1993)	9,000	7,370 (2019)	13,800
Hamburg Road (South of Strawberry Lake Road)	3,848 (1993)	5,700	4,760 (2018)	7,960
Hamburg Road (North of Winans Lake Road)	2,575 (1987)	5,200	3,610 (2018)	7,500
Winans Lake Road (West of Hamburg Road)	4,205 (1994)	4,100	4,380 (2018)	4,900
Winans Lake Road (East of Hamburg Road)	5,205 (1992)	8,100	10,300 (2018)	11,400
Chilson Road (South of Swarthout Road)	4,851 (1993)	6,000	5,720 (2019)	8,500
Chilson Road (North of Swarthout)	6,934 (1992)	8,800	8,910 (2019)	12,300
Swarthout Road (West of Chilson Road)	5,727(1993)	6,800	7,390 (2019)	12,300
Pettysville Road (South of Swarthout Road)	4,902 (1994)	8,300	6,370 (2019)	10,400
Whitewood Road (South of M-36)	3,549 (1988)	6,100	3,600(2018)	9,700
McGregor Road (South of M-36)	4,169 (1995)	4,900	3,810(2019)	6,200

*2000 and 2020 traffic projections from QRS-11 Traffic Model prepared by McKenna Associates, Inc for prior Master Plan

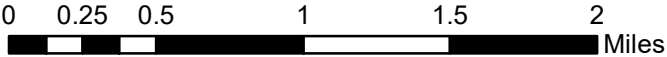
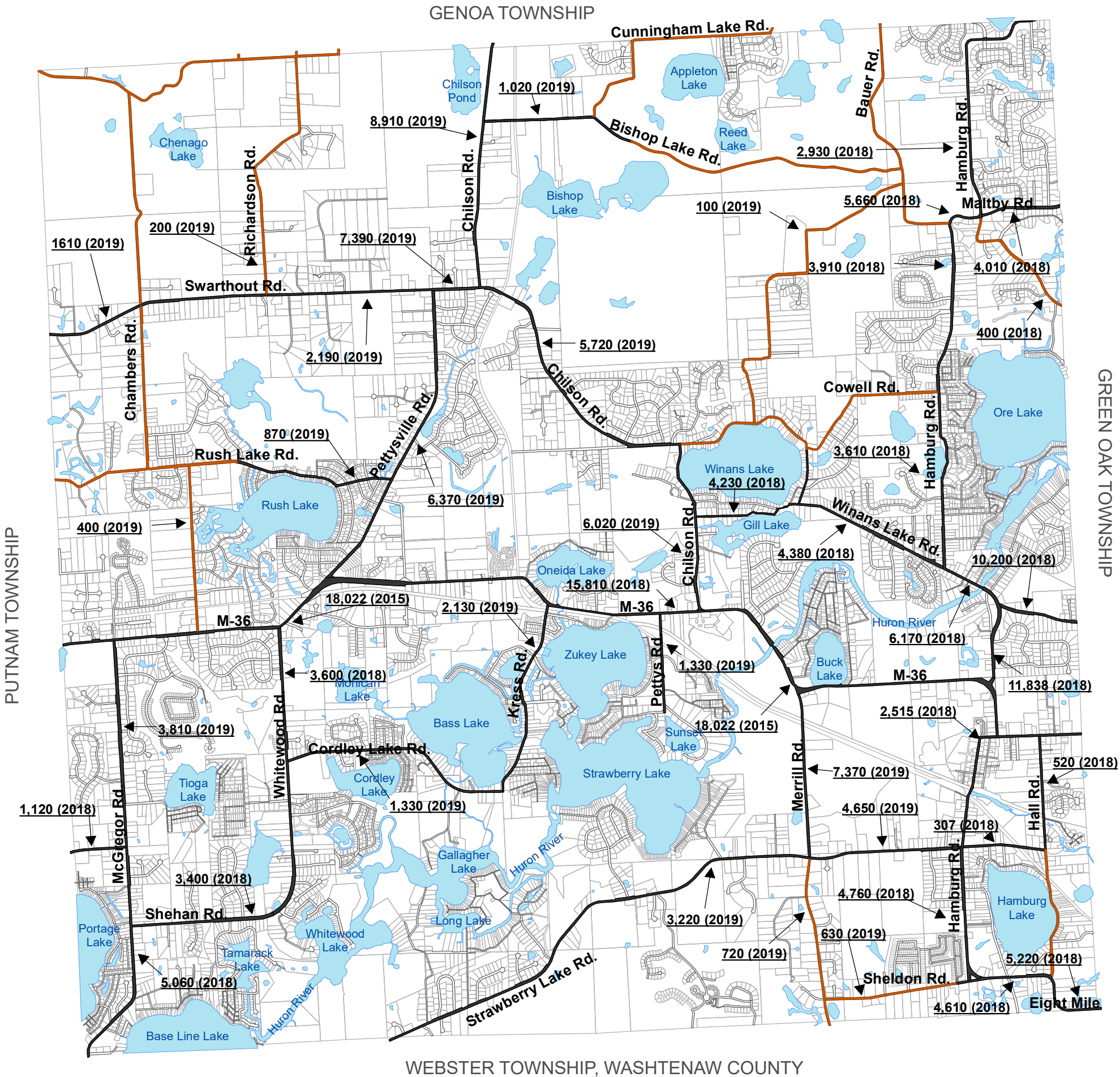
Map 7 Existing Traffic Conditions

Hamburg Township, Livingston County, Michigan

Gravel Collectors

Paved Arterials and Collectors

1,234 (2019) = 24 Hour Average Daily Traffic (Year)



Sources:
 Hamburg Township, 2019.
 Livingston County Road Commission, Transportation Data Management System, 2019.
 MDOT, Transportation Data Management System, 2019.

Future Transportation

The following section discusses items to be considered when reviewing new roadway, trails and development projects throughout the Township. Consideration of these items will help to reduce possible future transportation congestions and provide multiple modes of transportation in the Township for future residence and employees.

Future Roadway Improvements (widening, intersection improvements, roundabouts, traffic lights, etc.):

It is important to consider existing traffic volumes when considering future development within the township. The Township should work with the MDOT, LCRC, Township citizens and future developers to plan for roadway upgrading, roadway widening, intersection improvements or projection of future capacity.

The Township should work with MDOT to consider widening M-36 at select locations along M-36. This would primarily be done at major intersections and along the commercial segments of the corridor.

In order to preserve the rural character of Hamburg Township, any future road widening of roadways within the Township should balance traffic needs with consideration of natural features. Road improvements should not be designed to address only peak hour traffic conditions alone, but should be sensitive to the 24-hour impacts of traffic in terms of the environment, community character and traffic conditions. Excessive road widening would lead to increased traffic speeds and a more suburbanized appearance. Periodic congestion may be preferred over excessive widening for through traffic. Throughout most of the Township, roads are expected to remain two lanes. The narrower roads, which wind through the hills and lakes of the community, add to the natural rural character of Hamburg Township.

The Township should work with the LCRC to determine if acceleration, deceleration, or passing lanes should be required for new developments along major roadways. These improvements should be considered for developments that will generate moderate to high turn volumes or where there are sight distance limitations. These improvements should be the responsibility of the developer.

Selected intersection improvements should be made at locations, which have experienced higher crash rates than other intersections. Improvements can include turn lanes, sight distance improvements, pavement improvements, signalization or other form of traffic control such as roundabouts.

As an alternative to signalization, the Township should consider other forms of traffic control devices such as roundabouts. MDOT considers these traffic control devices as possible alternatives to signalization, in appropriate situations. While roundabouts are similar to traffic circles, the modern roundabout is designed to allow traffic to flow freely around the circle, with entering vehicles yielding to vehicles already in the circle. Roundabouts are seen as a means to increase roadway capacity while minimizing the need to add lanes. Also, eliminating the need for signalization at roundabouts will help to preserve the rural character of Hamburg Township.

When new developments include private roadways, the Township should consider the standards in the Township Private Road Ordinance. These standards are applicable to local streets that provide access to abutting residential land, and that do not serve higher volumes of through traffic. The private road standards allow for

development of narrower roads with steeper grades and smaller turning radii. These are all intended to minimize the impact of road construction and preserve natural features.

Development of future roads, either within new developments or within existing development but that have not yet been constructed, whether public or private, needs to be well planned to ensure the establishment of a safe and efficient vehicular circulation system. Special attention needs to be given to the planning and design of roads for the following purposes:

- Protect the substantial public investment in the street system.
- Promote and coordinate effective and energy efficient development.
- Promote the orderly development of, and ongoing access to, land.
- Protect community character and minimize environmental impacts.
- Promote safe and efficient travel within the Township.
- Prevent duplication of roads.
- Ensure reasonable, though not always direct, access to properties.
- Ensure roads remain passable in all weather conditions and are adequate to provide safe, year-round access by fire, police and other public and emergency vehicles.
- Ensure roads are improved to properly handle development impacts.


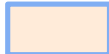
[Map 8, Potential Future Roadway Connections](#) and the [Future Land Use Map](#) in the [Village Center Master Plan](#) both identify potential locations for future road connections. The Township should consider connections of local roads when looking at development projects. Providing road connections between adjacent subdivisions allows for movement between adjacent neighborhoods without the need to access major roads. It also provides an alternative means for residents within the subdivisions to access the major road network at locations that are most efficient for traveling to their destination, shortening trips and thereby minimizing traffic impacts to the major road network. It is important that connections between local streets be designed to discourage use by through traffic that does not have an origin or destination within the local neighborhood.

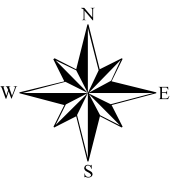
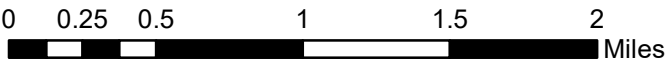
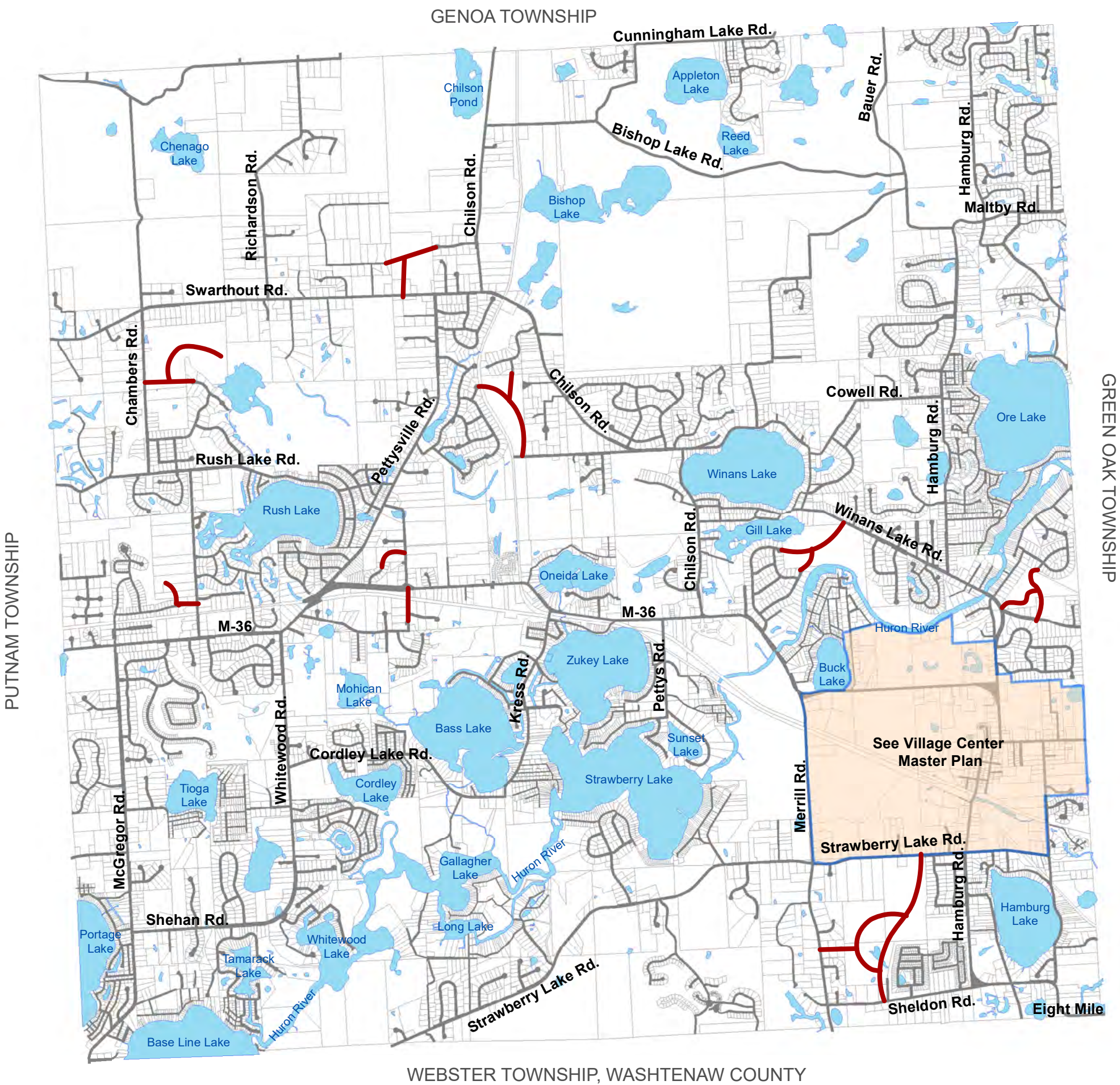
When the Township received requests to vacate, existing road right-of-ways were roadways have not yet been developed within existing subdivisions and other unplanted areas of the Township, careful consideration should be made to verify the potential vacations will not eliminate the possibilities for future connections to adjacent neighborhoods, other improvements or undeveloped sites.

New development within the Hamburg Village area should consider the transportation recommendations of the [Village Center Master Plan](#). This plan contains a proposed circulation and access system that includes a hierarchical road system that establishes road functions ranging from local access to through arterial. This system defines the roles of each street in terms of operational requirements, which in turn translates into planning, management and physical design features. The location of future access points to M-36 are defined. This road network will reduce the need for direct access to M-36 and help to manage the flow of traffic in this

Map 8 Potential Future Roadway Connections

Hamburg Township,
Livingston County, Michigan

-  Future Road / Connections
-  Village Center Area



more intensely developed portion of the Township. This plan should be followed as closely as possible when considering the development of new roadways within this area.

It is impossible to apply a general formula to each of the Township's many arterial and collector streets to establish a threshold of maximum expected roadway capacity. The Township should work with the MDOT and the LCRC to evaluate existing conditions and establish an action plan for review of specific traffic management issues. For example, the Township can establish general guidelines as to when an unpaved roadway should be considered for paving; when a paved roadway should be considered for widening; or when other special attention by the Township is warranted.

Complete Street Design: The Township should also work with LCRC and the MDOT to consider construction of complete street designs for any future roadway projects. Complete streets are roadways that are planned, designed and constructed to provide appropriate access to all uses in a manner that promotes safe and efficient movement of people and goods whether by car, truck, transit, assistive device, foot or bicycle (also known as multi-modal transportation). In 2010, Michigan legislation was passed requiring road commissions, MDOT and local units of government to consult with one another regarding transportation projects or plans and to agree on how best to address their respective Complete Streets policies. However, this state law does not give local communities authority or jurisdiction over projects planned or undertaken by transportation agencies. Hamburg Township does not own any roadways. Roadways within the Township are either under the jurisdiction of the Michigan Department of Transportation, the Livingston County Road Commission, or are privately owned and maintained roads.

The concept of complete streets encompasses many approaches to planning, designing, and operating roadways and rights of way with all users in mind to make the transportation network safer and more efficient. Complete streets approaches vary based on community context. They can address many elements, such as sidewalks, bicycle lanes, bus lanes, public transportation stops, crossing opportunities, median islands, accessible pedestrian signals, curb extensions, modified vehicle travel lanes, streetscape, and landscape treatments. Complete streets may reduce motor vehicle-related crashes and pedestrian risk, as well as bicyclist risk when well-designed bicycle-specific infrastructure is included in the street design. They promote walking and bicycling by providing safer places to achieve physical activity through transportation.

Complete streets provide a number of benefits including, but not limited to, improved safety for all uses, improved human health by encouraging walking and biking, decreased vehicular traffic, reduced dependence on gasoline and other petroleum products, and improved air quality. Providing more transportation options fosters more livable communities and improves quality of life for all ages and socio-economic groups in the Township.

Access Management: According to the Federal Highway Administration, access management is the proactive management of vehicular access points to land parcels adjacent to all manner of roadways. Good access management principles promote safe and efficient use of the community transportation network.

Access management includes a set of techniques that local governments can use to control access to each of the roads within their network. Studies show reducing or limiting the number of access points, carefully placing and spacing access points and designing the road and access points to serve all users, can help achieve safer

environments and preserve efficient traffic flow. These techniques are used to improve transportation operations and increase safety while maintaining reasonable access to properties. In some cases, access may be provided through shared or indirect means, but in every case, reasonable access is always maintained. Many of these techniques require cooperation between local, state, and federal agencies, but some can be directly influenced by the local municipality.

Access management can also improve the corridor for bicyclists and pedestrians by reducing and limiting the number of potential conflict points along the corridor. Proper placement and design of access points can help improve visibility of pedestrians and bicyclists and reduce the risk involved in crossing multiple driveways and intersections.

Access spacing can increase distances between traffic signals to improve the flow of traffic on major and minor arterials reducing congestion and improving air quality. Driveway spacing can require fewer driveways by spacing them more adequately apart allowing for more orderly management of traffic and reducing challenges posed by sight distances. By utilizing access management principles, Hamburg Township can provide for expanded traffic control while striving to maintain the rural environment residents have come to enjoy.

Along major arterials, such as M-36, alternative access should be encouraged, such as shared driveways, rear service drives or frontage roads. Commercial developments and parking lots should be connected through front or rear service drives. Frontage drives, rear service drives, shared driveways, and connected parking lots should be used to minimize the number of driveways and access points, while preserving the property owner's right to reasonable access. Certain turning movements should be limited, especially left turns, where safety hazards may be created or traffic flow may be impeded.

Access to Amenities: Access to recreation facilities, municipal services, commercial areas and schools can be difficult for certain segments of the population, primarily children and the elderly, because these amenities are scattered throughout the Township. The municipal services including the Township offices, public library and the senior center are not located near residential areas and due to the size and rural nature of the Township there is considerable distance between these amenities and the location where much of the population currently lives.

Efforts have been made recently to expand the bike paths throughout the Township and improvements to the Lakelands Trail has been completed across the entire Township. The Township should continue to improve the pedestrian and bicycle access to all of these amenities. Improving access to these areas can be increased through a few different avenues such as: creating and adopting complete street policies and working with the LCRC and the MDOT to implement that policy; and working with future developers to provide connections from future developments to the Lakelands Trail, nearby parks, community schools, commercial areas, and other community amenities.

Pedestrian and Bike Trails: As discussed previously the Lakeland Trail is the major non-motorized route east to west through the Township. In addition to this existing 10-foot wide paved trail, many of the existing developed areas (subdivisions) throughout the Township were required to build internal trail systems for the use of the property owners within the development. In the [Village Center Master Plan](#) an eight-foot wide paved multi-use trail is proposed along the south side on M-36 from Merrill Road to Hall Road, along Merrill Road from M-36 to

Strawberry Lake Road, and along Hall Road and Hamburg Road from M-36 to the Lakeland Trail. Additionally the township is working on funding for a future multi-use trail along McGregor Road south of the Lakeland Trail. There are also many miles of existing hiking, biking and equestrian trails within the Pinckney and Brighton Recreation Areas located within Hamburg Township.

As stated under the complete streets and access sections of this chapter additional bike and pedestrian pathways are needed to better connect residential development to Township amenities (parks, municipal services, other trails, and local commercial areas). The Township should develop a pathways plan and a complete streets program to expand the existing network of non-motorized trails in the most logical locations.

Mass Transportation: Mass transit is simply defined as public transportation. This can include buses, commuter trains, car and vanpool services, and taxis/ride sharing services. The use of mass transit benefits residents by alleviating traffic congestion, reducing the impacts of the roadways, saving household income that would otherwise be used for transportation costs, providing transportation options for citizen that cannot drive, such as younger citizens and the elderly, and improving community health by the reduction of pollutants that are by-products of automobiles. Mass transit also help business attract and retain a more reliable workforce.

As stated previously the mass transit options in Hamburg Township include LETS (Livingston Essential Transportation Services), semi-private transportation options such as Peoples Express, the Michigan Flyer Airport Shuttle (in Brighton) and private transportation options in the form of ride sharing services such as Uber or Lyft.

To better provide for the aging population within the Township, to create a more accessible community for young families and businesses and to help the community grow into the future the Township should continue to work with surrounding communities to expand mass transportation options in the area.

Emerging Technologies in Transportation: Some trends in the emerging technologies in the transportation field are closer to wide scale use than others. For example, the use of ride-sharing services is becoming more prevalent. Also the use of smart transportation technologies to manage traffic like the addition of the auxiliary lane on Highway US-23 or traffic mapping applications on smart devices help to disperse traffic volumes at peak traffic times. Other emerging trend that may impact transportation within the Township are clean vehicles; autonomous (driverless) vehicles; car, scooter and bike share services; and smart transportation technologies that will allow better synchronized transportation options which will allow the users better connectivity. These smart technologies could be as simple as providing better interfaces to allow the public easier access and knowledge of different transportation options or they could be more complex like driverless rail trail services.

Summary: As the Township's population continues to both grow and age it is likely that there will be a greater need for more transportation options and services. The citizens also continue to want quick undisrupted transportation routes through the Township. The [Livingston County Transit Master Plan](#) creates goals and objectives for the county to provide better transportation service to the area. The Township should work together with the county to provide the best transportation options for the community.

The M-36 Corridor

The M-36 corridor is the main transportation corridor through Hamburg Township and acts as the gateway to the Township for many citizens and visitors that travel through and to the Township. The limited crossings of the Huron River and the natural features within the Township have led to a road system that funnels most of the longer distance travel to M-36. Because of this the M-36 corridor is vital to the transportation network through the Township.

This section provides for continued development along M-36 while preserving the rural character of the surrounding neighborhoods, the existing landscaping and the natural features viewed along M-36. This should be done by maintaining well-defined nodes of clustered commercial development and by promoting improved site design for new development and redevelopment of existing sites. This section also identifies means for accommodating increased traffic volumes through selective transportation improvements to the M-36 corridor.

Streetscape: There are two general types of streetscapes located along the M-36 corridor. Existing commercial development centers and natural, rural environments. The commercial developments are in several locations along the corridor and the natural rural environments are located between these commercial centers. The commercial center areas should provide well-defined commercial nodes that serve the surrounding neighborhoods and motorists on M-36. The natural rural environments should be preserved when possible by allowing lower intensity development in these areas that maintains or enhances the natural quality of the areas.

The M-36 corridor should not be "suburbanized" with excessive clearing of natural vegetation, deep building setbacks and large front parking lots. Development patterns need to be sensitive and complimentary to the overall character of the Township. Low-to-medium density single-family residential development should be maintained in areas identified as important because of their open rural character. Future commercial and office development along the corridor should be directed towards areas where transportation improvements can be made to support the uses.

Improvements: Increases in traffic volumes should be accommodated through selective widening of M-36, intersection improvements, installation of traffic signals, use of deceleration lanes and construction of indirect access systems. Select road widening should be made at commercial nodes as the corridor develops. In noncommercial areas, M-36 should remain a two-lane roadway. To preserve the rural character of Hamburg Township, any future road widening should balance traffic needs with consideration of natural features.

Working with MDOT on a complete streets plan for the M-36 corridor will provide for multiple modes of transportation and increasing the public transportation options within the Township. It will also help to alleviate traffic congestion along this corridor into the future.

Site Design: The Township should encourage the neo-traditional village concept where appropriate in commercial areas with mixed-use development, reduced setbacks, parking at the side or rear and a more pedestrian oriented streetscape. In areas where the wide-open rural character is identified as a critical community asset, buildings should be located in the background so that the natural features remain the dominant

feature of the streetscape. Buildings on these sites should fit into the natural topography and preserve an undisturbed natural vegetative buffer along M-36.

To prevent Hamburg Township from developing a suburbanized character, parking lots should be discouraged in the front of buildings. Parking should be encouraged within the side yards or rear yard of the site. Impervious surface (i.e. pavement) coverage should be minimized by limiting the size of parking lots in order to maintain natural open space and minimize drainage problems.

Signage: Signs are another feature which have a major impact on the character of the streetscape. To have signs as an integral part of the character of M-36, they should be located in relation to buildings, landscaping, natural features and other signs. Consolidation of signs at shopping centers should be encouraged. Ground signs should be required in place of pylon signs for all new development. Sign materials and color should complement the building materials. Sign designs should be required as part of site plan review.

Landscaping: Landscaping is also an integral part of the natural character of the M-36 corridor. The existing landscaping and natural features should be preserved along the M-36 right-of-way. Important views along the corridor should be preserved through building location, orientation and other site plan standards. When development is proposed it should maximize the amount of green space through street trees and plantings, landscape parking lot setbacks, providing trees within parking lots, and discouraging large and uninterrupted pavement areas. Landscaping should blend in with the natural setting of the Township by utilizing similar plant species.

Open Space: An open space network should be created along the corridor and throughout the whole Township. Non-motorized paths should be required with all new development or redevelopment of existing sites along the M-36 corridor. The Lakeland Trail should be combined with other bike paths to interconnect the open space areas along the M-36 corridor. These paths should also be linked with other areas of the Township, and areas in adjacent communities, as part of a comprehensive open space network.

Building Design: New buildings should be designed to preserve or complement the character of existing development and blend harmoniously into the streetscape. The overall appearance should be "timeless". The intent of "timeless" architecture is style and quality, which continues to be admired and copied in any era. Timeless architecture commonly includes features such as brick, peaked roofs, accent features and windows. Brick facades with traditional windows are preferred for most commercial buildings.

Access Management: Access management involves reducing traffic conflicts (i.e. potential for crashes) and preserving through traffic flow using a variety of measures. The number of access points to M-36 should be managed through best management practices. Alternative means of vehicular access should be encouraged; deceleration tapers and left turn bypass lanes should be used to convey traffic turning movements.

Goals and Objectives

The following section will list some of the more important goals and objectives of the Transportation section followed by possible implementation measures to reach these goals.

TRANSPORTATION GOALS AND OBJECTIVES

Goal 5: Promote safe and efficient travel within the Township.

Objective A: Encourage maintenance and repair of existing transportation routes, including roadways, trails and transit.

Objective B: Provide and promote a vehicular and non-motorized transportation network that is a vital component of a high quality community environment for people who live, work, shop and recreate in Hamburg Township.

Objective C: Encourage vehicular and non-motorized connections between neighboring development and from developments to recreation facilities, commercial businesses, Township services and buildings and the school buildings.

Objective D: Manage growth by encouraging and promoting future development in areas with adequate transportation networks.

Objective E: Encourage developments to provide alternative transportation opportunities for their communities.

Objective F: Promote complete streets.

Objective G: Utilize best access management practices.

Goal 6: Accommodate increases in traffic volumes or implement measures to reduce traffic volumes on roadways where needed.

Objective A: Provide for higher traffic volumes through selected widening of M-36, intersection or traffic signal improvements, access management, preservation of select right-of-way and construction of indirect access systems.

Objective B: Utilize best access management practices.

Objective C: Encourage public transportation and multi-modal transportation options to reduce traffic on heavily used roadways such as M-36.

Goal 7: Preserve the rural appearance of the Township as viewed from the roadways when appropriate.

Objective A: Preserve the existing natural features along Township roadways including M-36 when possible.

Objective B: Development should be situated away from the main thoroughfares to protect key view sheds and to retain an appearance of low intensity development.

Objective C: Commercial development shall be contained at the Village Center area and key commercial nodes along M-36.

Objective D: Except in the Village Center area and other commercial corridors, existing landscaping and natural features viewed along M-36 should be preserved; development should be situated away from the roadway and key view sheds should be protected.

CHAPTER 4- Natural Features

Overview

This chapter identifies the existing environmental and natural features within the Township and explores opportunities and strategies to preserve, protect and enhance these features.

How we interact with the natural environment is critical in how the community develops. The geology, topography, soils, water resources, woodlands, fish and wildlife, and scenic features, along with other natural features change and interact as part of a community's ecosystem. We must protect the natural environment while still allowing the community to grow in a controlled manner. Development must be directed to areas that are suitable for growth while still integrating the projects into the natural and physical fabric of the community.

Existing Conditions

Hamburg Township is blessed with an abundance of natural resources including water features, sandy soils, woodlands, and rolling topography. These features make an important contribution to the quality of life in the Township. In terms of development, these features provide both constraints and opportunities. Thus, the natural features have a significant influence on the future land use pattern for the Township, in conjunction with other factors such as existing land use, infrastructure, market factors, transportation, and community regulations.



In Hamburg Township, these natural resource factors create limitations on the type and extent of future development that can occur in certain areas. These areas include, but are not limited to areas that are unsuitable for septic systems, unstable for building foundations, poorly drained, and susceptible to flooding. While these factors place restrictions upon development, other natural resource factors present opportunities for development. The scenic and recreational attractiveness of the lakes, hills and woodlands offer a unique residential setting. It is helpful to examine these natural resource factors in detail to determine both the opportunities and constraints. The examination involves an inventory of resource factors, and a determination of the capability of the natural resource base to support future development.

The following is a brief overview of some of the major natural features that are prevalent throughout the Township. As development occurs, the following features should be considered in addition to other site-specific conditions that may be pertinent to each individual location.

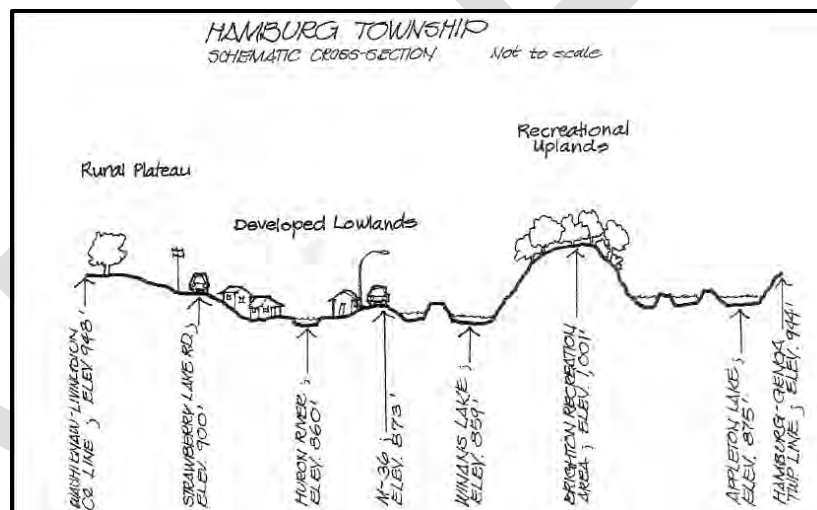
Geology: The soils and geology in the Township are characteristic of glacially formed landscapes consisting mainly of moraines (glacially deposited sands and gravel) and till plains. The underlying bedrock is a gray shale known as the Coldwater Formation. The surface geology of the Township was formed 10,000 to 12,000 years

ago when glacial activity deposited rock, soil, and large blocks of ice. The glacial drift is a very thick layer of soil material that has been deposited by the advancement and retreat of the Wisconsin glacier during the last ice age. The ice blocks embedded within the soil eventually melted and left depressions, which are today's lakes. These lakes were connected by an outwash channel, which is now the Huron River and chain of lakes system.

Since the last ice age, the soils on Hamburg Township have formed as a result of a number of soil forming factors. These include water drainage, wind, slopes, climate, biological activity, and human activity.

Topography/Slope: The topographic features of the area and the relative elevations of the Huron River, chain of lakes, and the upland moraines to the north and south are depicted in Figure 1, which illustrates a typical cross-section through the Township. Most of the residential development within the Township is located within the lower elevations. There is limited development at the higher elevations to the north and to the south of the river corridor. These uplands have become an attraction for development because of the unique contrast to the flat terrain of southeastern Michigan.

Figure 1



Slope is an important development consideration associated with topographic features. Areas of extreme slope have been included in the development suitability map so that opportunities and constraints for potential development can be identified. There are three common slope problems:

- Mechanical cut and fill, where slopes are reshaped and in some locations steepened, results in a significant change in the natural functions of the hillside.
- Deforestation from past agricultural operations, and now by development, causes both a weakening of the slope and increased surface runoff rates.
- Improper location of structures on slopes causes changes to vegetation, slopes, and drainage patterns.

There are two major areas of extreme slope. These are the areas north of Winans Lake and the area west of the

Chilson Impoundment. The remainder of the Township is generally flat to gently rolling with isolated areas of severe or moderate slope. Steep slopes will require sensitive site planning prior to development. Care should be taken to ensure that extensive grading is minimized and to ensure that natural features such as vegetation and top soil are protected.

Above the floodplains and wetlands that line the Huron River and the other drainage ways of the Township, there are steep banks or bluffs, which separate the lowland and the upland. These will generally have steep slopes and be heavily vegetated. Disruption of the vegetative cover on these bluff areas may cause significant erosion problems and effect stream ecology.

Soils: In order to minimize construction costs and risks to the environment, it is desirable for future development to be constructed upon sites with suitable soils. Poor soils present problems such as poor foundation stability and septic field failure. The three major soil characteristics considered in the analysis of soil conditions are drainage, foundation stability, and septic suitability characteristics. Each of these factors have been inventoried and mapped by the Livingston County Soil Survey, prepared by the Soil Conservation Service. ([See Map 9, General Soil Survey](#)).

- **Drainage:** Soil drainage characteristics are examined because of the potentially high development costs, maintenance costs and sanitary problems encountered on poorly drained soils. These costs and problems are often associated with septic field failures, flooded basements, and susceptibility to frost action. Dense mucks, silts, and clays with high water tables are the soils most often associated with drainage problems.

In general, poorly drained lands lie within the floodplains of the Huron River and chain of lakes. Other areas include lands associated with Hay, Chilson, South Ore and Horseshoe Creeks and the numerous small ponds or depressions throughout the Township. Moderately drained and well-drained soils consist of loamy sands, which allow the passage of water from surface layers to lower soil depths. These areas are sufficiently above the groundwater table to assist drainage and provide a suitable foundation for construction.

- **Foundation Stability:** Shifting foundations, cracked walls, and cracked pavement and roadways are some of the potential problems associated with foundation instability. These problems often result in increased development and maintenance costs or, in extreme cases, structural failure.

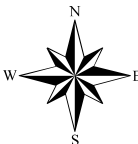
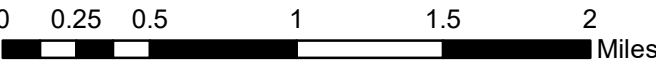
Generally, well-drained, coarse-textured soils provide the most suitable foundations. Soils with good or fair stability are located in the upland sections of the Township. Poor soil stability occurs with soils containing large concentrations of organic material, such as muck, silt and clay. The areas of poor soil stability are concentrated in the low lying and poorly drained areas adjacent to lakes and creeks. In those low-lying areas, the presence of water in and near the surface contributes to frost heave, compression, shrinkage and swelling.

Map 9 General Soil Survey

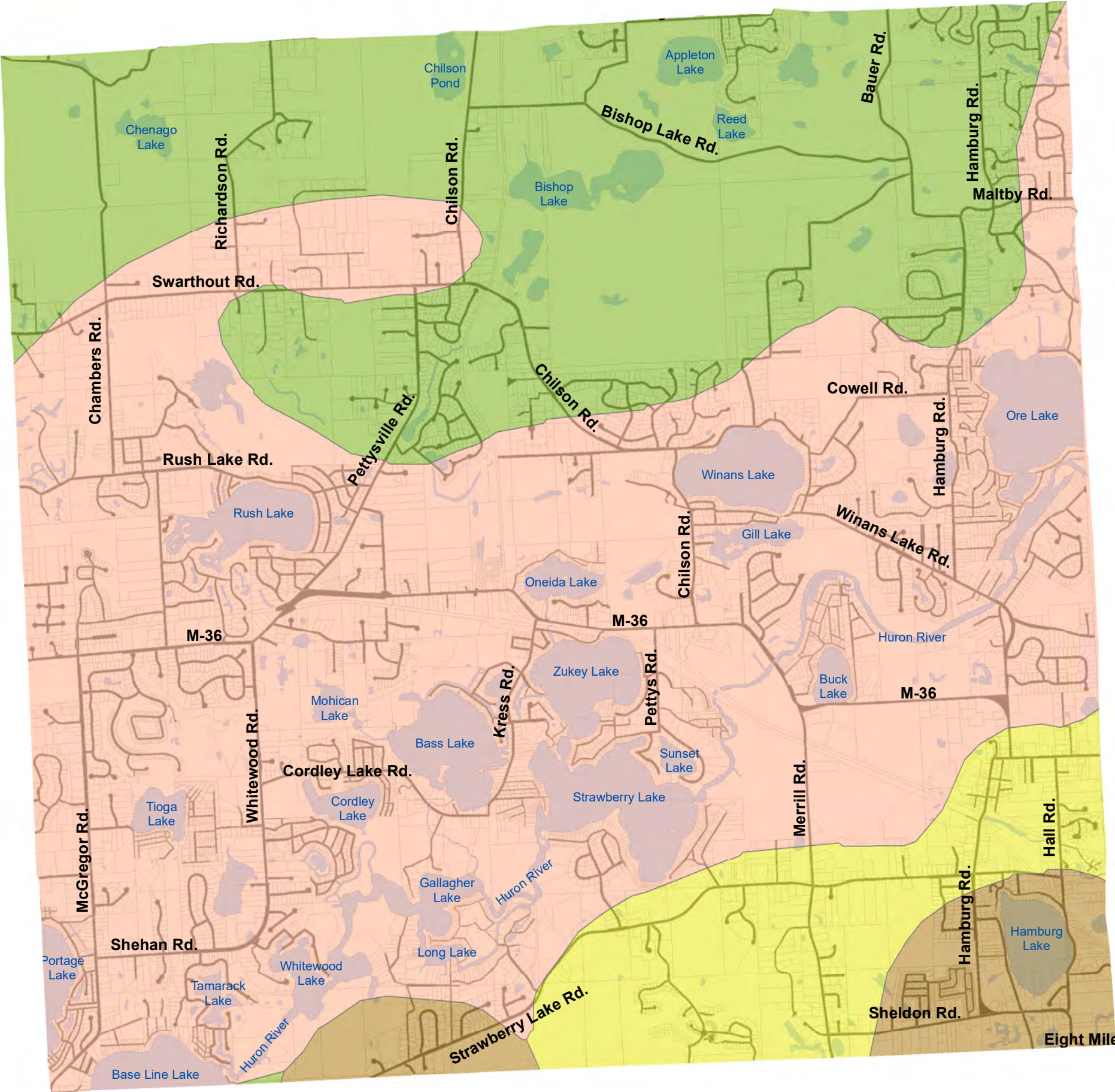
Hamburg Township,
Livingston County, Michigan

- Wasepi-Fox-Boyer Association
- Spinks-Oshtemo-Houghton-Fox-Boyer Association
- Miami-Conover-Brookston Association
- Morley-Blount Association

Sources:
Hamburg Township, 2019
Natural Resources Conservation Service, United States
Department of Agriculture. Web Soil Survey.



PUTNAM TOWNSHIP



GENOA TOWNSHIP

GREEN OAK TOWNSHIP

WEBSTER TOWNSHIP, WASHTENAW COUNTY

- **Septic Suitability:** Because many of the residential dwellings within Hamburg Township are served by individual septic systems, the location of septic systems on proper soils is extremely important. Inspection and approval for use of a septic system is Livingston County Health Department's jurisdiction and through their Sanitary Code permit, inspect, and correct known failures. Septic system failures are often the result of poor soil permeability, high water table or excessive slope, lack of proper maintenance (periodic pumping of the tank), and water use in the home. Soils such as compacted clays and silts will not allow wastewater to percolate through the filtering layers of soil. A high water table prohibits adequate filtering thereby allowing the sewage effluent to pollute the groundwater supplies and contaminate residential wells, lakes, and streams. Finally, the Livingston County Health Department, through conformance with their Sanitary Code considers soil type, water table, and slope to determine system-citing suitability.

Areas of slight septic suitability are scattered throughout the Township, but are predominantly in upland areas. Important areas of suitable soils are located near the Village of Hamburg, southeast of Winans Lake, and along the western portions of M-36.

- **Soil Series:** According to the United States Department of Agriculture, Web Soils Survey, the three most abundant soil series within Hamburg Township, located in the upland areas, are Boyer-Oshtemo, Fox, and Miami. Many of the low-lying, wet areas along lakes and rivers contain alluvial materials such as Carlisle and Houghton mucks. Other soils found within the Township are the Bronson, Gilford, and Oakville.

While the Boyer series is found throughout the Township, it is most abundant in the southern portion near the lakes. The Fox series is found throughout the Township, but is most abundant in the western portion of the Township. The Boyer series are well-drained loamy sands and the Fox series are well-drained sandy loams. Both are found at slopes ranging from 0-25 percent. Both soil series have moderate permeability and are good for a variety of uses. The major limitation of these soils for construction are areas where the slope exceeds 12 percent. For instance, removal of the vegetation which cover these steep hillsides may cause severe erosion problems. These soils do have some limitations for septic fields, as their sandy texture is a poor filter.

The Miami series is predominant throughout the eastern portion of the Township around Old Hamburg. These soils are well-drained clay loams found at slopes ranging from 0-25 percent. The Miami series have moderate permeability and have only slight or moderate limitations for most uses. The major limitation of these soils for construction is where their slope exceeds 12 percent. Similar to the Boyer and Fox series, areas of steep slope should be protected from disturbance to avoid severe erosion problems. Because these soils percolate slowly, they do have some significant limitations for septic fields.

Carlisle mucks and Houghton mucks are both found along the drainage ways of the Township, particularly in low-lying areas adjacent to the Huron River and the lakes. These soils are nearly level, very poorly drained soils. They contain high levels of organic matter, which are easily compressible under the weight of construction and decay when dried out. These mucks can be used for agriculture, but have severe

limitations due to wetness and low strength for any other uses. These soils are generally associated with wetlands and floodplains.

Other soils encountered in the Township are the Bronson, Gilford, and Oakville series. Bronson is a level, poorly drained loamy sand. Gilford is a very poorly drained sandy loam found in low areas. Both these soils are not well suited for construction due to poor drainage and wetness. Oakville is a well-drained fine sandy loam. These soils are well suited for construction.

Water Resources: Groundwater and surface water deposits are a vital resource within Hamburg Township. Because there is a limited area within the Township that is served by a central water distribution system, most of the residents must rely upon individual wells for their water supply. Lakes and streams of the Township are also an important resource for their scenic and recreational value. These water resources should continue to be protected and managed to ensure their quality and availability for future use.

- **Drainage:** Upland areas drain to the low-lying wetlands, lakes and streams that pass through the Township. Soil permeability of most upland areas are moderate to moderately rapid. As these areas become developed, the amount of water infiltrating the surface will decrease and the surface runoff will increase. This will be caused by clearing of natural vegetation, addition of impervious material to the land (buildings and pavement), and installation of storm drains. These will have the cumulative effect of increasing the peak discharge in the area rivers and streams while reducing the amount of water infiltrating to ground water. Minimization of these impacts may involve protecting native vegetation, increasing green infrastructure regulations, on-site stormwater retention, and clustered development.

Groundwater: Important factors in the evaluation of groundwater are the quantity and quality of the water. The Livingston county health department requires that residential properties have wells that produce a minimum of 10 gallons per minute. The average estimated yield from wells within Hamburg Township is around 30 gallons per minute. However, this figure will vary upon the location within the Township and there have been a few instances where adequate water could not be provided. More water appears to be available within the outwash channels of the central lowlands than the upland moraines.

The Livingston County Health Department evaluates every well construction site and determines if restrictions are required based on the potential risk due to contamination sources in the area. The restrictions may require the well to be drilled to a certain depth or require the well be placed a distance from a potential source of contamination, such as a sewer line, septic system, or historical contamination site. Water quality concerns in the township include aesthetic issues including elevated hardness and iron. Naturally occurring arsenic is also found in wells in the township. LCHD requires that wells that test over the drinking water standard of 10 parts per billion install treatment devices to reduce the arsenic. The wells in the township vary in depth and may be constructed the sand and gravel deposits or into the underlying bedrock.

- **Surface Water:** Connected by the Huron River are the chain of lakes, which pass through the Township and are among the most valuable natural resources of the community. In combination, the river, lakes, and rolling hills create picturesque views. The numerous lakes and Huron River provide a number of recreational opportunities such as boating, fishing, and swimming. The quality of these water features

enhance the value of adjacent property for residential opportunities. The Huron River provides vital functions to the region for drainage and water supply, fish and wildlife habitat, industry and recreation.

The Huron River passes diagonally through the Township from the northeast to the southwest. This valuable regional resource, which has its headwaters in Oakland County, flows southwesterly through Hamburg Township, towards Ann Arbor, and then discharges to Lake Erie. A vast number of communities are linked by this river in Oakland, Livingston, Washtenaw, Wayne and Monroe Counties. This river provides vital functions to the region for drainage and water supply, fish and wildlife habitat, industry and recreation. Development of the Township should maintain or enhance this resource.

The inland lakes and Huron River corridor are unique because of their residential attractiveness and scenic amenities. Because of these attributes and the desire of residents for access to these water resources, the relationship between man and the environment becomes extremely important. Water pollution is a major concern, which if created would jeopardizes the residential and recreational setting of the Township.

Permits are required for activities including dredging, filling, constructing or placing a structure on bottomlands, constructing, reconfiguring, or expanding a marina, interfering with natural flow of water or connecting a ditch or canal to an inland lake or stream through the State of Michigan Department of Environment, Great Lakes, and Energy (EGLE), under the authority of Part 301, Inland Lakes and Streams, of the Natural Resources and Environmental Protection Act, 1994 PA 451, as amended (NREPA). The program oversees EGLE also administers the federal permit program which regulates the dredging or filling of inland lakes and streams under Section 404 of the Clean Water Act (except in coastal areas where the United States Army Corps of Engineers retains this authority).

Many government and quasi-governmental agencies are monitoring the water quality of the lakes and rivers within the Township. Many of these agencies have prepared reports on the chemical makeup, temperature, clarity and biodiversity of these lakes and rivers. Some of these agencies include, but are not limited to, Army Corp of Engineering: Federal Emergency Management Agency: Michigan Department of Environment, Great Lakes, and Energy, SEMCOG, the Huron River Watershed Council (HRWC); and the Portage, Base, Whitewood Owners Association and other lake associations.

The Huron River area in Hamburg Township has been designated as a "country-scenic" river under the [Michigan Natural River Act 1970](#). The adoption of a Natural River District by the Township in 1978 provides for the management of the river corridor, which will help protect water quality and aesthetic appeal in the future.

In addition to the Huron River, many streams and creeks contribute to the river, as well as interconnect the many lakes. There are three major streams in the Township that flow from the north down to the Huron River. These major creeks are the Hay, Chilson, South Ore and Horseshoe Creeks. Associated with the creeks is a corridor of adjacent wetlands. The creeks and wetlands are important for surface drainage, groundwater recharge and wildlife habitat.

Proper land management can improve the current water quality conditions of Hamburg Township. Sources of pollution can be controlled through drainage and runoff controls, septic field corrections, proper treatment of sanitary wastes, land use planning, limitation of fertilizer applications, and action by lake associations or residents. Alteration of the creeks and wetlands can contribute to flooding, poor water quality, insufficient water supply and loss of valuable wildlife habitat. Protecting the quality of the many lakes and streams of the Township, while providing the opportunity for the community to grow, will require land use planning and engineering that considers key components of these water features.

- **Wetlands:** Wetlands play a very important part in the hydrological and ecological systems. In addition to providing fish and wildlife habitat, wetlands also maintain and stabilize groundwater supplies, reduce the dangers of flooding, and improve water quality.

Any wetlands which are greater than five acres in size or within 500 feet of a lake, stream, or pond are regulated by the Michigan Department of EGLE through the Part 303, Wetlands Protection, of the Natural Resources and Environmental Protection Act, 1994 Public Act 451, as amended. Any activity that requires that these regulated wetlands be filled, dredged, or drained, requires a permit from the Michigan Department of EGLE. Permits will generally not be granted unless the issuance is in the public interest and necessary to realize the benefits derived from the activity. If a wetland fill permit is granted, then mitigation should be required such as creating new wetlands within the same drainage way or enhancement of existing wetlands.

Major wetland complexes associated with the lakes, streams and floodplains are found throughout Hamburg Township. The largest wetlands are located adjacent to the Huron River and chain of lakes. The areas north of Bass Lake and near Chilson Creek comprise some of the larger wetlands within the Township. Other areas are found along Hay Creek, South Ore Creek, and the numerous kettle depressions scattered throughout the Township.

Wetlands serve a variety of important functions, which not only benefit the natural environment, but also the community. Wetland areas help to mitigate flooding by detaining surface runoff, control soil erosion and sedimentation loading in rivers and lakes interlinked with groundwater; improve water quality; and provide highly productive ecosystems in terms of wildlife habitat and vegetation.

Future development in areas surrounding these wetlands could impact wetland resources. When development is proposed near wetlands a viable alternative should be evaluated to avoid any negative impact to the wetlands. This is done by considering wetland resources as constraints to development. The cost of avoidance of these wetlands should also be considered when considering future development.

Wetland areas also can provide natural buffers between residential and commercial land uses and contribute significantly to the aesthetic character of the community. Many wetlands are located in low areas adjacent to lakes and rivers. Since these wetlands are undevelopable, the open areas should remain natural. These open areas will help maintain picturesque views of the lakes. Wetland regulation has prevented recent development of many major wetland complexes within the Township. By

incorporating wetlands as part of the future development of the community, they will continue to maintain open and green space as well as contribute to a more rural setting. Wetlands areas as identified by the National Wetlands Inventory and the Michigan Resource Inventory System within the Township are shown on [Map 10, Lakes, Wetlands and Floodplain](#).

- **Floodplains:** A floodplain is the land area adjacent to a watercourse that is subject to flooding. The designation of floodplains and the restriction of their development is a measure designed to protect life, health and property. Federal, state and local laws regulate encroachment, dredging and filling within floodplain areas. The 2008 FEMA floodplain and floodway areas within the Township are shown on [Map 10, Lakes, Wetlands and Floodplain](#).

Floodplain permits are required for project that occupy, fill or grade lands within a floodplain through the State of Michigan Department of Environment, Great Lakes and Energy (EGLE) under the provisions of Part 31, Water Resources Protection, of the Natural Resources and Environmental Protection Act, 1994 PA 451, as amended (NREPA). The purpose of this permit is to assure that channels and floodways are not inhabited and that the capacity of the floodway is not unduly restricted.

Floodplains perform important hydrological, geological, ecological, and environmental functions including but not limited to, flood conveyance, storage of floodwater, reduction of peak flow during flood events, groundwater recharge, support of riparian vegetation and wildlife habitat, filtration of storm water through vegetation to remove sediment, absorption of excess nutrients from water into soil and plants, transportation and deposition of nutrients and plant materials, and biological treatment of other pollutants.

Floodplains associated with the Huron River and the drainage courses that cross Hamburg Township are vital to the ecosystem of these low-lying areas. Periodic flooding of these drainage ways is critical to the types of vegetation and animal species that live here. Floodplains also contain water during periods of high stream levels. Any alteration to the physical size of the floodplain will disrupt the drainage flow during high water periods and potentially cause increased flooding elsewhere. Future development in the floodplain should be cautiously considered, as there are risks to property, structures, and lives in the event of a high water event.

Woodlands: A significant portion of the total land area of the Township is wooded. Much of this area is adjacent to the inland lakes or wetlands. Water tolerant species such as ash, silver maple, cottonwood, tamarack, willow, and sycamore are typically found where natural vegetation meets the water's edge. Future development should be planned in a manner protecting unique woodlands.

Hamburg Township trees and woodlands substantially contribute to the economic and mental well-being of Township residents. The abundant woodlands and trees help create the peaceful, rural atmosphere that makes Hamburg Township a very special place to live. Trees provide a visual barrier between individual properties and neighboring properties, an essential factor for preserving the rural atmosphere and property values.

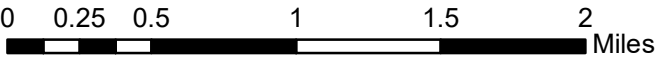
Woodlands provide the following community benefits: influence on microclimate, reduction in air pollution, reduction in soil erosion, and provide valuable wildlife habitat.

Map 10 Lakes, Wetlands and Floodplain

Hamburg Township,
Livingston County, Michigan

- Lakes, Rivers & Streams
- 100-Year Floodplain (2008)
- Wetlands

Sources:
Hamburg Township, 2019
Michigan Department of Environment, Great Lakes and Energy.
Federal Emergency Management Agency, Department of
Homeland Security.



There is a significant amount of mature vegetation along many of the road corridors that pass through the Township. Woodlands located near the roadway contribute to a natural/rural atmosphere in a number of ways. The impact of vegetation on the motorist will be greater because of the close proximity to the roadway. A greater mass of vegetation will be within the forward view of the motorist. Other features such as buildings will have a less dominant impact on the streetscape because they fall behind the vegetative foreground. Taller trees will provide a sense of enclosure, providing a very define space bounded by vegetation. There is also a significant amount of vegetation along most lakes and streams throughout the area.

Fish and Wildlife: The continued existence of fish and wildlife depends upon the maintenance of adequate habitat. While some species can adopt to the pressures of urbanization, others cannot live in close proximity to humans. Fish and wildlife habitat are areas which provide food, cover, and corridors for movement. For example, the wetlands in Hamburg Township are essential as habitat and as a food source for the abundant fishery of the Huron River and the various lakes of the Township. As wetland vegetation dies back each season, it breaks down into particles called detritus, which is eaten by insects as well as birds and small mammals. Insects, in turn, are eaten by the fish. The shallow, sheltered wetlands connected with the Huron River and the various lakes of the Township also provide protected spawning and nursery areas for fish.

It is important to provide areas of sufficient size to be useful to wildlife through either protection of existing habitat or creating new habitat. Reasonably continuous corridors must be provided for adequate movement of wildlife and plant seeds between isolated areas. The township trail systems and open spaces areas should be used to provide these corridors. The inland lakes are good for fishing. Bass, pike, and bluegill are the primary species, while an occasional walleye is caught in the Huron River. Wetlands adjacent to lakes are used as spawning areas for bass and pike. Populations of Canadian geese, ducks, songbirds, muskrat, mink, and raccoon are also dependent upon these wetlands. Fox, squirrel, woodchuck, rabbit and deer are the predominant mammals and are actively hunted within state lands in the Brighton State Recreation Area and other private lands. The valuable habitats for fish and wildlife within the Township should be preserved to the best extent possible while still allowing adequate development of the land.

- **The Michigan Natural Features Inventory:** This inventory is maintained by the MDNR as a service to citizens and local officials. Plants and animals which are (or are potentially) threatened or endangered are listed on the inventories. The inventory is not a definitive statement about the presence, absence or condition of environmental features, since many of the sites listed have not been completely surveyed. Unfortunately, some features present in the past may have already been destroyed by human factors and development.

Plant and animal species that are endangered, threatened or of special concern in Hamburg Township lands and waters are noted on by section number in [Appendix F](#). If developments are proposed on or near these areas the presence and importance of the plant or animal should be reviewed. For extremely rare or endangered species, a permit may be needed from the MDNR. It is important to note that threatened and endangered species may have special value when located in a protected area or woodland. It may be the presence of woodlands, which protect the species and provide habitat.

Scenic Features: The lakes, topography, vegetation and cultural resources are components in the overall scenic attractiveness of the Township. Scenic vistas are places which afford expansive views of Township visual resources. These are located on top of hills and high elevations (north of Winans Lake) or along roadways (M-36 and other local roads). Roadways are important visual corridors because they unfold a rapid sequence of vistas. Lakes, trees, fields, homes, commercial enterprises and signs are common sites that are presented to the roadside viewer. Like other rural/urban areas, the organization of the vistas is based upon the roadway. Homes, retail centers and other activities are located off these roads and too often, the viewer is presented with a multitude of messages, signs, and symbols, which are often associated with a strip development. Too many signs and establishments lacking a sense of organization and purposeful design can become an offensive strip development. It is important that future planning efforts recognize the overall image or impression presented along roadways and avoid potentially offensive developments, particularly along M-36. There are a number of areas of the Township that have view characteristics of a rural/open space community. These are topographically high or open agricultural areas. These areas provide a wide panoramic view of the surrounding hills and are characteristic of an open, rural agricultural area overlooking many of the lakes and adjacent hills.

Landmarks are important visual resources. St. Stephen's Church, historical structures, Village Center, the Huron River and other waterbodies are visual landmarks, which lend an important character and identity to the Township. The cultural or man built landmarks should be preserved and managed in a sensitive manner. New development should complement unique landmarks and should not detract from the scenic vistas of Hamburg Township's lakes, hills and vegetation.

Contamination Sites: According to the State of Michigan records, there are eighteen sites within the Township that are on the states inventory of know facilities list. These sites consist of all known facilities where there has been a release of a hazardous substance(s) in excess of the Part 201 residential criteria and/or where response actions have not been completed to meet the applicable cleanup criteria. Also on this list are all known facilities where there has been a release of a hazardous substance(s) under a Part 213, leaking underground storage tanks, of the Natural Resources and Environmental Protection Act (NREPA) residential risk-based screening levels, and/or where response actions have not been completed to meet the applicable cleanup criteria. The following table includes a list of the 19 sites and the designation the state currently has on each of the sites. A map of the location of these sites can be found under [Map 11, Contamination Sites](#).

Table 4
Hamburg Township Contamination Sites*

Number	Name	Address	Summary Description
1	Grossman Ideal Steel	10800 Hamburg Rd.	Site Contamination PCE, VOC, and Metals
2	R & B Manufacturing	7495 E. M-36	Site Contamination: VOC
3	Hoskins Manufacturing**	10776 Hall Rd.	Site Contamination: PCE and VOC
4	Kings Kleaners	5589 E. M-36	Dry Cleaner: PCE discharge

5	Strawberry Lake Rd Dump	Strawberry Lake Rd.	Closed historic residential landfill site
6	Hamburg/Shell Hop-In	7620 E. M-36	Storage Tank: Historic Release of Petroleum, Tanks Removed
7	Brighton Boy Scout Rifle Range	Pine Creek Subdivision	Site Contamination: Metals
8	Kennedy Property	7609 E. M-36	Storage Tank: Historic Release of Petroleum, Tanks Removed
9	Lakeland Car Care Center	5637 E. M-36	Storage Tank: Historic Release of Petroleum
10	Lakeland Montessori	5520 E. M-36	Storage Tank: Historic Release of Petroleum, Tanks Removed
11	National Controls	10737 Hamburg Rd.	Site Contamination: PCE and VOC
12	Pettysville Store	9190 Pettysville Rd.	Storage Tank: Historic Release of Petroleum
13	Whitewood Meadows	Whitewood Meadows Lane	Closed historic residential landfill
14	Winter's Quick Clean	6458 E. M-36	Dry Cleaner: PCE discharge
15	Ted Cobb Boats & Motors	9653 Kress Rd.	Storage Tank: Historic Release of Petroleum, Tanks Removed
16	Chalet Cleaners	7490 E. M-36	Dry Cleaner: PCE discharge
17	Barbara Johnson Property	10814 Hamburg Rd.	Site Contamination: Metals
18	Key Plastics	7530 Strawberry Lake Rd.	Fire suppression water contamination

PCE= Perchloroethylene VOC=Volatile Organic Compounds

* For additional details regarding these sites, visit Michigan Department of EGLE's Environmental Mapper at

<https://www.mcgi.state.mi.us/environmentalmapper/>

** Brownfield Redevelopment site currently undergoing cleanup

- The Hoskins Manufacturing Site:** In February of 2019 the State of Michigan, Hamburg Township and the current property owners and local developer have partnered to revitalize the vacant, blighted property. A \$205,000 grant and a \$425,000 loan were awarded to the Hamburg Township Brownfield Redevelopment Authority (BRA) from the State of Michigan to address environmental contamination at this site. The grant and loan will not only help assess, but will also help to mitigate environmental contamination and remove blight from the site.

Map 11

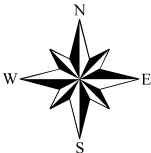
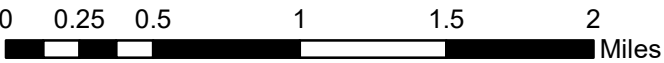
Contamination Sites

Hamburg Township,
Livingston County, Michigan

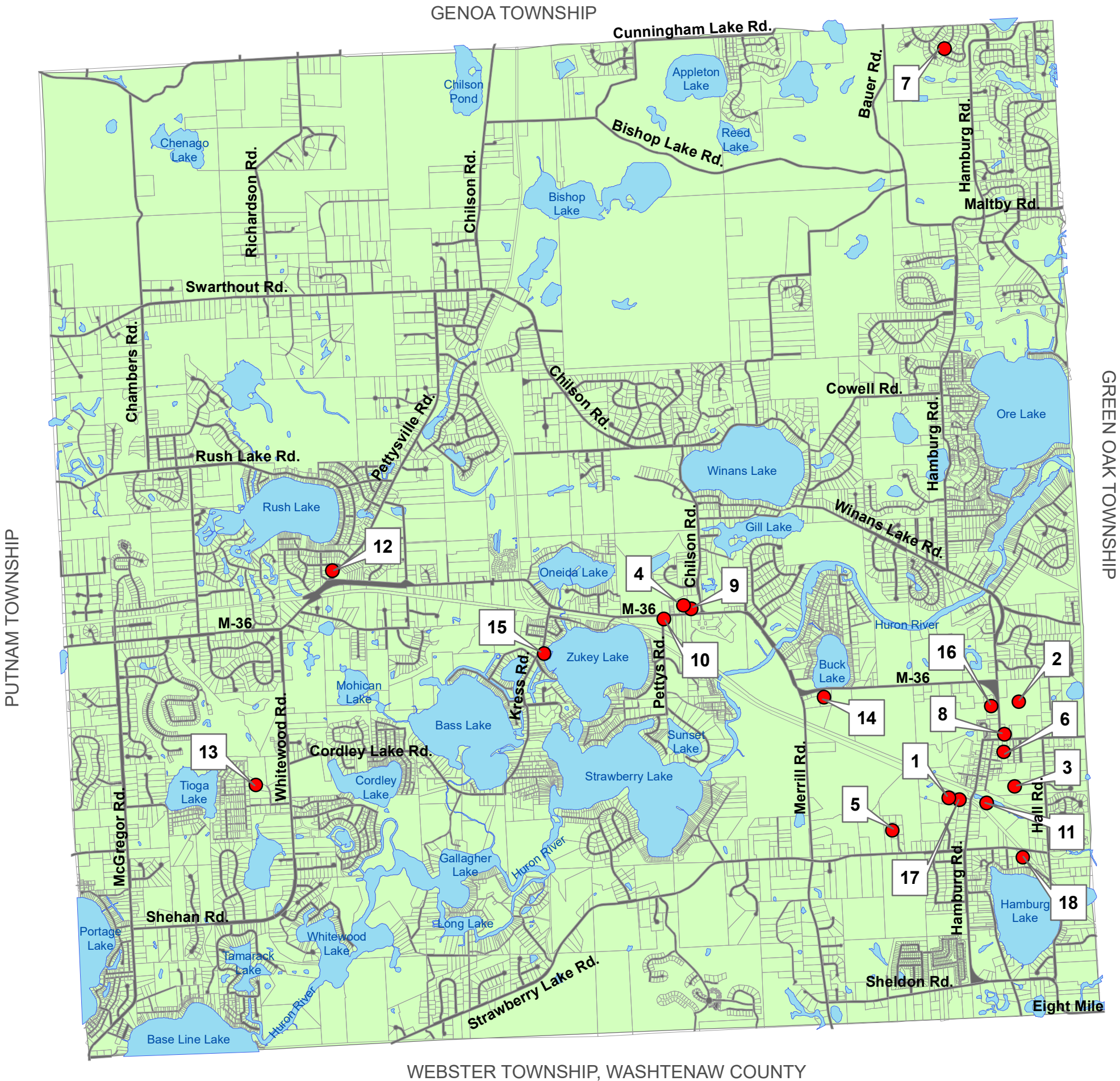
● Contamination Sites

Site Number	Name	Address
1	Grossman Ideal Steel	10800 Hamburg Rd.
2	R & B Manufacturing	7495 E. M-36
3	Hoskins Manufacturing	10776 Hall Rd.
4	Kings Kleaners	5589 E. M-36
5	Strawberry Lake Road Dump	Strawberry Lake Rd. at North Star Dr.
6	Hamburg/Shell Hop-In	7620 E. M-36
7	Brighton Boy Scout Rifle Range	Pine Creek Bluffs Subdivision
8	Kennedy Property	7609 E. M-36
9	Lakeland Car Care Center	5637 E. M-36
10	Lakeland Montessori	5520 E. M-36
11	National Controls	10737 Hamburg Rd.
12	Pettysville Store	9190 Pettysville Rd.
13	Whitewood Meadows	Whitewood Meadows Lane
14	Winter's Quick Clean	6458 E. M-36
15	Ted Cobb Boats and Motors	9653 Kress Rd.
16	Chalet Cleaners	7490 E. M-36
17	Barbara Johnson Property	10814 Hamburg Rd.
18	Key Plastics	7530 Strawberry Lake Rd.

Sources:
Hamburg Township, 2019.
Michigan Department of Environment, Great Lakes & Energy.



01/2020



Summary of Existing Natural Features: After review of all the natural features a needs assessment inventory was created. This inventory of natural resources is useful when interpreted to determine the capability of the natural resource base to support development. By guiding future development into the most capable areas, problems associated with large-scale grading, flood damage, foundation stability, poor drainage, and septic system failures can be avoided. The resource factors considered include topography, floodplains, wetlands, and soils (foundation stability, drainage, and septic suitability), and the criteria illustrated below were established for the various resource factors to determine which land areas were most or least capable of supporting development.

Table 5
Natural Resources Capability Map Process

Areas Least Capable of Supporting Development	Areas Most Capable of Supporting Development
Areas with slope greater than 12%	Areas with slope 12% or less
Areas within 100 year floodplain	Areas outside of 100 year floodplain
Wetland areas	Upland areas
Areas with poor soil stability	Areas with good or fair soil stability
Areas with poor soil drainage	Areas with good or fair soil drainage
Areas with severe septic limitations	Areas with few septic limitations

The final step in the development capability process was the mapping of the individual natural resource capability criteria on transparent overlays. By combining the overlays, a composite development capability map was produced.

The Development Capability Map is illustrated on [Map 12, Land Capability](#). Dark areas are lands least capable of supporting development while remaining Township lands are considered to be most capable of supporting development. As shown on this map, general patterns of land capabilities emerge. For example, lands adjacent to the chain of lakes, the Huron River and Hay, Chilson and South Ore Creeks are generally less capable of supporting development. Lands with a less restrictive development capability are scattered throughout the Township. Three major areas of favorable land are located within the Township. The first area is located in the vicinity of Hamburg Village. Another area is located to the southeast of Winans Lake, and a third area lies within the western portion of the Township along M-36. New structures built within these areas will pose few problems for development while projects proposed in areas outlined in the dark areas of the map will require close scrutiny and sensitive site design.

The natural resources data, inventory and map were all used in conjunction with the other factors discussed in the previous chapters to determine the appropriate locations for future land uses within the Township.

GENOA TOWNSHIP

Map 12

Land Capability



Hamburg Township,
Livingston County, Michigan

PUTNAM TOWNSHIP

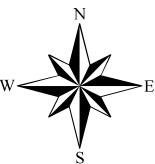
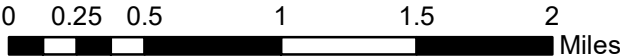
GREEN OAK TOWNSHIP



WEBSTER TOWNSHIP, WASHTENAW COUNTY

-  Land areas most capable of supporting development
-  Land areas least capable of supporting development

Source:
Hamburg Township Master Plan, 1979
Ayres, Lewis, Norris, & May, Inc.



Existing Regulations: Many regulations within the Township Zoning Ordinance and General Ordinances have been created to help preserve and protect the natural resources of the Township.

- **Conservation Zoning Districts:** The interrelation between the natural features and land use components of the Master Plan is most visible in the establishment of land use categories. The land use categories are created following the constraints and opportunities for development. Therefore, if an area is identified as having significant and fragile natural resources, lower impact/density development is recommended. This is based upon the natural capability analysis described in the previous section.

Natural features however, are not the only items considered when determining land use categories. Other factors such as existing land use patterns, infrastructure improvements and traffic patterns and community needs are also considered. The following are some examples of how zoning districts may provide for the protection of these fragile natural areas:

- o **RAA - Single Family Low Density Rural:** This district currently has a minimum lot area requirement of 87,120 square feet (2 acres) per dwelling unit. This is currently the lowest density zoning district in the Township. This lower density developed with the flexibility offered by the Township's open space community regulations allows for a low impact form of development that can minimize impact on natural features.
 - o **NR - Natural River Residential:** This district has been established along the Huron River and was established based upon standards contained in the [Michigan Natural River Act \(PA 231 of 1970\)](#). This district was established to implement public objectives embodied in the [Huron River Natural River Management Plan](#) adopted by the [NRC](#), and endorsed by Hamburg Township. These public objectives seek to preserve and enhance the values of the Huron River area. This district contains standards that protect the Huron River such as setback requirements for buildings and septic systems, restrictions on land alteration, standards for building design and screening, requirements for maintaining a natural vegetation strip along the river's edge and strong regulations for waterfront structures such as docks.
 - o **Planned Unit Developments (PUD's):** PUD's allows flexibility in the development of properties in exchange for the preservation of sensitive land or to better provide for the community needs. This often time happens by clustering of development to preserve open space areas around wetlands and floodplains or in other areas of a property that may have unique natural features.
- **Natural Feature Setbacks:** The Township has also enacted setback regulations to reduce the impact of development and to help preserve specific natural features. The development setback includes setbacks from wetlands, lakes, rivers, and bluffs.

There is a strong basis for this type of requirement. Development surrounding water features, particularly wetlands, affects the function of the water feature. Development immediately adjacent to a water feature may have the effect of increasing the disturbance to this natural ecosystem and reduce the water feature's ability to perform these functions.

The setbacks help to protect the wetlands by preserve areas around these natural features. This allows the undisturbed soil between site improvements and the wetlands to act as a buffer to try to maintain the natural upland/wetland interaction that existed prior to development. It also creates natural open space corridors to serve as wildlife habitat, allowing animals to move through suburban areas along remaining undeveloped natural corridors.

- **Other Zoning Regulations:** Other regulations that currently exist to preserve the natural features of the community include regulations that restrict the lot coverage of a site based on its zoning district, the development of sites that are within the floodplain and floodway, and the access to lakes and rivers through the common use regulations.
 - o **Lot Coverage:** By restricting the percentage of the lot that can be covered by impermeable surfaces and other drainage requirements help to protect the community from flooding and problem created by excessive stormwater runoff and protect the open space areas on private properties.
 - o **Floodplain regulations:** These regulations are intended to comply with the provisions and requirements of the [National Flood Insurance Program](#) and subsequent enactments and rules and regulations promulgated in furtherance of this program by the [Federal Emergency Management Agency \(FEMA\)](#). The provisions in the Zoning Ordinance are intended to help protect human life, prevent or minimize material losses, and reduce the cost to the public of rescue and relief efforts. The provisions also restrict or prohibit uses which are dangerous to health, safety, or property in times of flooding or cause excessive increases in flood heights or velocities; require that uses vulnerable to floods, including public facilities which serve such uses, shall be protected against flood damage at the time of initial construction; and protect individuals from buying lands which are designated to be unsuited for intended purposes because of flooding. The regulations balance, providing these safety items while still allowing reasonable economic use of properties located within a designated floodplain area.
 - o **Common Use Regulations:** These regulations restrict the use of lake front properties, the over-usage of inland lakes, and avoid situations, which may create a nuisance, impair important irreparable natural resources and destroy property values. These regulations are intended to reinforce the implementation of the [Michigan Inland Lakes and Streams Act](#).
- **Township General Ordinances:** These general ordinances were approved as police power ordinances. However, some of the general ordinances have aspects that also help to preserve the natural features of the Township, such as the Drainage, Subdivision Control, Land Divisions, and Blight Ordinances.
 - o **Drainage Ordinance:** Increases in development activity place additional burden on existing natural drainage systems. The overtaking of drainage systems could lead to localized flooding, environmental damage, and costly storm drainage improvements to be borne by taxpayers. By prompting the preservation of natural drainage ways and providing stormwater retention basins,

the impact of development upon drainage systems are minimized.

The Township has adopted a strong Drainage Ordinance. This ordinance takes a comprehensive approach to stormwater management by encouraging: the preservation of existing natural features that perform stormwater management functions, minimization of impervious surface, direction of stormwater discharge to open grassed areas, and careful design of erosion control mechanisms. This ordinance also addresses the management of erosion and sedimentation by incorporating drainage elements such as the utilization of natural grassed swales, sedimentation ponds, wet ponds, and stormwater marsh systems. The ordinance generally requires the development of wet ponds and stormwater marsh systems for detention. The ordinance requires landscaping of stormwater basins, wet ponds and stormwater marsh systems.

- o **Subdivision Control Ordinance:** This ordinance requires compliance with the land division act regarding subdivisions of property. The regulations help the preservation of natural features that add value to the subdivision and to the community when possible. This ordinance also requires buffer area to preserve scenic views from roads, and protects lands that are deemed uninhabitable due to its natural state.
- o **Land Division Ordinance:** This ordinance requires compliance with the land division act when processing exempt splits. The regulations help to preserve the natural features of the township by restricting the size, location and number of possible divisions on a subject property.
- o **Blight Ordinance:** The Blight Ordinance provides the Township with the ability to prevent property owners from creating situations that may have a detrimental impact on the natural environment, whether it be on the scenic nature of the community or on items that could contaminate natural features.

Future Opportunities

Although the Township has many regulations currently in place to preserve and protect the natural features of the community there are still additional opportunities that the Township may wish to pursue in the future that would provide additional protection for these resources.

Streambank & Slope Protection: As pointed out previously in this plan, steep slopes require sensitive site planning prior to development. Above the floodplains and wetlands that line the Huron River and the other drainage ways of the Township there are steep banks or bluffs which separate the lowland and the upland. These will generally have steep slopes and be heavily vegetated. Disruption of the vegetative cover on these bluff areas may cause significant erosion problems and effect stream ecology. Care should be taken to ensure that extensive grading is minimized and to ensure that natural features such as vegetation and top soil are protected. This applies not only to bluffs that line waterways, but also to other areas of the Township where there is significant topography. The Township may wish to create stricter regulations to development activities on steep slopes.

There are a number of means for the Township to consider for the protection of steeply sloped areas:

- Setback requirements, such as the Natural River district setback of 125 feet for structure, could be established for all waterways. These requirements could be variable based upon the extent of the slope. This standard could be incorporated into the natural feature's setback described above where the setback is increased as the slope increase.
- The flexibility offered by the open space community regulations can be used to cluster the development away from steep slopes. The open space community regulations could be amended to require that areas with steep slopes be preserved as natural open space.
- Another innovative approach could be to adopt slope-related regulations where the density of development would be reduced on sites that contain steep slopes. Lots that are located in areas with severe topography would have to be larger. While this may add some complexity to conventional development, it may also serve as an incentive for clustered development under the open space community regulations.
- The Township may wish to work with the county, state, and HRWC to inventory areas where significant streambank erosion is occurring. A partnership can be formed between government agencies and private groups to undertake a streambank stabilization effort.

Gravel Road Crossings of Streams: In addition to streambank erosion, sediment delivered at road/stream crossings contribute significantly to sediment pollution in waterways. The problem is most pronounced with gravel road crossings. Sedimentation from roads destroys fish and wildlife habitat by filling deep ponds, decreasing hydrologic diversity and covering spawning gravel and aquatic substrate. The sediment also degrades water quality by carrying oils, greases and other pollutants from the roadway into the waterway. The Township can work with the LCRC, the MDNR, and the MDOT to control and manage sediment delivery at road crossings. This can be done through a variety of means including a combination of paving, curb and gutter, drainage control structures, diversions, and sedimentation basins. Also, the Township Private Road Ordinance and Drainage Ordinance can be amended to require that sedimentation control structures at all road/waterway crossings.

Septic System Treatment: Ground water and surface water contamination from septic drain fields is a serious concern in the Township. Many of the areas surrounding the chain of lakes in Hamburg Township were developed prior to current zoning and health regulations. Many of these neighborhoods were developed as cottage communities at higher densities than currently allowed, and within areas where the soils are not suitable for septic system treatment. The continued growth of the community and the conversion of many of these cottages into year-round homes has over time led to contamination problems. In response to this, the Township has established public sanitary sewer districts to serve these areas. Through working with the Livingston County Health Department, the Township can continue to manage the problem of ground water and surface water contamination from septic drain fields as they arise. The Township should also consider the continuation of the provision of public sanitary sewer to higher density areas of the Township and those areas with poor soil conditions and restrict the density of future development in areas where the threat to ground water and surface water contamination is highest. The Township can encourage and incentivize future developments to be served by sanitary sewer.

Restoration of Wetlands: Previous to current wetland regulations, many wetlands within the Township were filled, drained or otherwise altered. Wetlands along the Huron River and the chain of lakes have been filled for the purpose of development. In other areas, drains and agricultural tiles may have been installed to drain surface water from wetlands so that the land could be farmed.

The location of these altered wetlands can be identified. Although the hydrology of the site has been altered, the native soils will still exhibit coloration and textures associated with hydric conditions. In addition, the MDNR has mapped pre-settlement land cover (vegetation) based upon historic survey records. Maps are available for Hamburg Township that show the historic natural land cover.

These wetlands can be restored. Hydrologic restoration may involve the removal of fill material and/or closing (or slowing) man-made drainage ways. Restoration may also involve covering the soil surface with peat and re-establishment of hydrophytes (wetland vegetation). Within open space community developments where there are damaged or filled wetlands, a condition of approval may be the restoration of the natural system.

Floodplains: A significant portion of Township residents live within a floodplain. These areas are characterized by the older lake front cottage developments that pre-date current floodplain regulations. Any attempt to eliminate existing floodplain development is not practical. However, the Township has adopted realistic regulations that regulate any new development or redevelopment within the floodplain.

Within the floodplain, there are varying degrees of hazard, which require different regulatory treatment. The floodway is that portion of the floodplain, which directly adjoins the stream channel and endures frequent flooding and strong currents. The floodway is an inappropriate area for permanent construction, especially designed for human habitation. However, the area within the floodplain but outside the floodway serves as a backwater storage area and may be developed provided that structures are elevated above the flood level or flood-proofed. The current Township regulations reflect these standards. However, the Township should continue to educate staff and Township residents on the floodplain regulations.

Lake Access & Use Regulations: Increased population in Hamburg Township and lake front development have continued to place pressures on the many lakes of the Township for recreational use. The Township currently has regulations that govern the creation of common use “keyhole” development. A keyhole, also referred to as a common use access site, is a waterfront lot that is used to provide lake access for non-riparian (non-lake front) lot owners. Many existing subdivisions contain these keyhole lots and predate the ordinance. These keyholes are generally waterfront parks that are owned in common by all lot owners within the subdivision.

When used for access and dockage for numerous boats, these can increase the density of boat usage on the lakes and contribute to the following problems, particularly from powerboats:

- Shore erosion.
- Damage to lake bottom and stirring-up of sediment.
- Oil and gas spillage.
- Noise.
- Conflicts and safety problems between numerous users (power boats, sailboats, personal watercrafts,

canoes and swimmers).

As the Township continues to grow, the problem associated with lake overcrowding will worsen. It is important to point out that keyholes are only one part of the problem. Impacts to the safety and quality of the Township's waterways is also impacted by recreational use by riparian, or waterfront lot owners, as well as public access sites such as MDNR launch sites. While the current keyhole ordinance can help manage the problem, the Township should consider further study towards adopting a more comprehensive approach towards managing usage of the Township's waterways. This comprehensive approach to managing the usage of the waterways could include limiting the number of boats on all lake front lots (keyhole or private lots), requiring minimum lot shore lengths on waterways for new lots, or creating more enforceable regulations regarding the usage of docks. The Township may also consider working with the Livingston County Sheriff and the MDNR to create and adopt a marine safety ordinance that regulates recreational usage of the Township's waterways, such as safe operations of vessels, speed limits, noise levels, pollution of waters, obstruction of waterways, and use of road ends for mooring, along with many other items.

Preservation of Natural Topography Vegetation: For those who have resided in an urban setting, the intrinsic value of rolling topography, trees and vegetation is well understood. Poorly conceived subdivision activity has unwisely removed tree cover and involved massive grading to minimize site development cost. The scarcity of large tracts with woods or rolling topography make those that still exist highly valuable. The land use densities proposed by the Land Use section of this Master Plan will promote the preservation of existing vegetation and topography. Further, specific standards can be applied to subdivision plot regulations and site plan review to require preservation of tree cover, the provision of landscaping and buffer strips, and the minimization of site grading. The open space community regulations should continue to be utilized to encourage preservation of open space, vegetative cover, and natural topography.

Woodland and Tree Preservation: As discussed previously a significant portion of the total land area of the Township is wooded. With the increase in development throughout the Township, there is pressure from development to encroach on these wooded areas. Although the Township currently has some regulations in place to preserve the more important wood areas and to require new plantings to provide buffers and screening of the new developments, more could be done to protect these trees. The Township may wish to consider a tree preservation ordinance that requires that any significant sized vegetation that is removed due to a new development be replaced with additional new native landscaping based on the size and number of existing trees being removed. These types of regulations not only required the developer to replace vegetation that is removed, but also makes the project owners seriously consider the removal of existing vegetation when designing a project.

Green Infrastructure: Green infrastructure can be categorized in two ways: 1) Natural - the ecosystems present in the natural environment. 2) Built - constructed green infrastructure such as rain gardens, bioswales and community gardens. Green Infrastructure provides many natural resource benefits. It can reduce the amount of polluted stormwater runoff entering rivers, lakes, streams and wetlands and the risk of flooding by slowing and reducing stormwater runoff into waterways. It can be used for water collection for irrigation or infiltration into the soil to recharge groundwater and increase flow into rivers. It also can be used to create habitat corridors and to

increase vegetation, which positively impacts air quality through capture and reduction of carbon, dust and air pollution.

Built green infrastructure takes many forms such as:

- Bioswales: A shallow stormwater channel densely planted with grasses, shrubs and/or trees.
- Grow zones: Areas of concentrated native plantings.
- Pervious pavement systems: Paver blocks, permeable concrete parking lots and other systems that allow water to filter through and be stored/discharged.
- Streetscape planter boxes: Primarily fenced in areas containing plantings and a water filtration and release system.

The Township can educate the public on the benefits and use of green infrastructure and can work on regulations that either require the use or incentivize the use of green infrastructure on certain projects.

New Zoning District: There are certain portions of the Township that are characterized by significant natural features such as extreme topography, large wetland complexes and extensive wildlife habitat. Much of these areas are within the Brighton State Recreation Area in the northern portion of the Township. Many of the privately owned lands surrounding the Recreation Area have been developed at a very low density due to the extreme natural conditions of this area. As the surrounding areas become more urbanized, the MDNR may sell portions of the State Recreation Area to purchase land in more remote locations. The Township may consider adopting very low-density zoning district that would require a larger lot size, such as five acres, for this area. This would help ensure that the significant natural features of this area will be protected if this area becomes developed.

Goals and Objectives

The following section will list out some of the more important goals and objectives of the Natural Features section followed by possible implementation measures to reach these goals.

NATURAL FEATURES GOALS AND OBJECTIVES

Goal 7: Protect, preserve, and enhance whenever possible the unique and desirable natural amenities of Hamburg Township.

Objective A: Direct future development to areas most suited for that type of development.

Objective B: Consider the location of the natural features on a site during review of future development layouts.

Objective C: Encourage preservation of the existing landscaping, natural features, and rural/scenic quality of the Township.

Objective D: Encourage future development to incorporate green infrastructure measures.

Objective E: Discourage developments from removing existing woodland areas and significant trees when appropriate.

Objective F: Better regulate the usage of the waterways within the Township where possible.

Objective G: Identify and restore existing wetland areas that have been damaged.

Objective H: Encourage clean energy sources while still balancing the benefits and drawbacks presented by the alternatives.

DRAFT

2010

HAMBURG TOWNSHIP
LIVINGSTON COUNTY, MICHIGAN



VILLAGE CENTER MASTER PLAN

Updated 2020

McKenna
ASSOCIATES



Village Center Master Plan

HAMBURG TOWNSHIP | Livingston County, Michigan

Adopted January 18, 2011

(Updated April 2020)

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Village Analysis

Village Size: The area considered as the "village" needs to be limited. In order to develop the critical mass of activity and be pedestrian oriented, development should be within a walkable village. Residential development needs to be within walkable distance to shopping and recreation opportunities. Future commercial development should be contained within the present commercial node and not sprawl along M-36. This will encourage redevelopment of this commercial center and support existing commercial establishments with new commercial development.

I. Existing Village Analysis

Introduction

The 1995 Hamburg Township Village Plan outlines the concept of building upon the existing infrastructure of the original platted Village of Hamburg, and introduced the concept of village development through the designation of land uses through basic concepts. The 2007 Hamburg Township Village Plan will focus on analysis, design, public participation, and the implementation. The goal of updating the Village Plan is to prepare the Township for future development.

Analysis will include a physical inventory of existing uses, natural features and other physical constraints in the Village Area, a build-out analysis of residential uses and a retail base analysis for the commercial component of the Village. This update will also involve the use of a charrette to gather input from the community regarding the design of the village and the subsequent creation of an overall development plan for the Village with design guidelines and principals for the development of sites within the Village. Finally, the 2007 Hamburg Township Village Plan will outline a detailed implementation strategy for the development of the Village area.

Very little change has occurred within the Village Center Master Plan area since it was last updated in 2010. As a part of the 2020 update it has been determined, that the only changes necessary are to the Existing Land Use data and Existing Land Use Map. All other data and analysis in the Village Center Master Plan with remain unchanged and is still relevant.

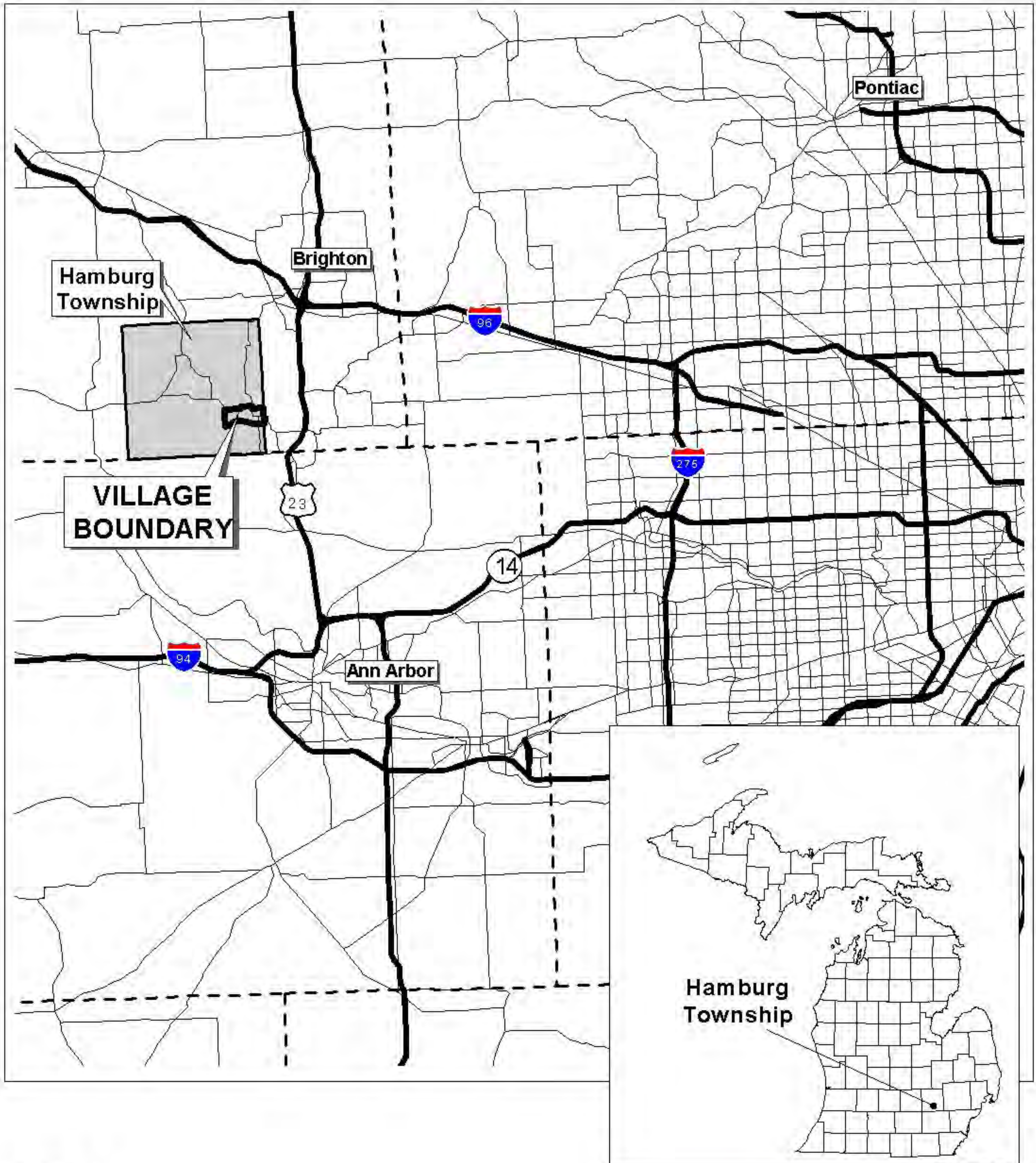
This plan will insure that the future development will result in the creation of a cohesive community center which will offer services which benefit the entire Hamburg community.

Regional Analysis

Hamburg Township is located in Livingston County, Michigan, approximately 50 miles west of downtown Detroit and 10 miles north of downtown Ann Arbor. The Village of Hamburg is located in the southeast portion of Hamburg Township (See Map 1).

The area designated for village development is located along M-36 from Hamburg Road to Merrill Road. The Village area is approximately three miles to the west of US-23, and is roughly five miles south of downtown Brighton.

The Village is designed to provide a desirable and necessary range of housing options for the residents of Hamburg Township including single family detached units, attached single family units, and multiple family units. It is also intended to provide the day-to-day commercial needs of the residents within the Village area and to provide all residents of the Township with specialized commercial needs including antique stores, restaurants and other attractions. Based on these service principals, the Village area is contained in an area that is approximately one square mile in area.



Map 1 Regional Location

Hamburg Township, Livingston County, Michigan

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0 MI. 1.5 MI. 3 MI.



1/18/06

Build-Out Analysis

Build-out analysis provides a detailed look at the housing units, population and related services that could develop as a direct result of a community's plan. By determining the potential residential population, the results of the analysis will not only provide insight on the impact a planned area will have on the existing uses but can also be used to calculate the demand the area will generate for commercial uses and an accurate market analysis.

Methodology

Build-out analysis is a two step process. First, through physical analysis the amount of land available for development will be determined. Based on the developable land area, the planned and zoned density characteristics can be applied to those areas to determine the number of housing units and the population for the area.

Physical Analysis

To determine the amount of land available for development within the Village area, an existing land use survey was conducted. The characteristics of the existing uses will be used to define the following categories.

Single Family Residential:

This category includes dwellings in platted subdivisions, site condominium communities and the dwellings in the Summer Park development.



Neighborhood Commercial:

A retail or service establishment serving the day-to-day needs of Township residents. This includes restaurants, such as the Hamburg Pub, strip retail centers, such as Hamburg Plaza and convenience marts, such as Hamburg Food Center.



Multiple Family Residential:

Any existing residential structure with two or more visible dwelling units. The only multiple family structure is a duplex located near Livingston and Stone Road.



General Commercial:

A retail or service establishment which is auto-oriented or a large scale operation. All auto repair facilities, N.A. Mans Lumber and Alpine Food Center are larger scale commercial uses.

**Home Office:**

An office operation located in a residential dwelling is a home office. Jim Vasser Tax Service located on Hamburg Road is the only identifiable home office in the village area.

**Vacant Commercial:**

There are three vacant retail structures in the village which could be used for future commercial operations.

**Public/Semi-Public:**

Any church, school or Township facility, such as Hamburg Elementary and St. Paul's Lutheran Church.

**Office:**

The Hamburg Professional Center, Countryside Veterinary Clinic and Hamburg Professional Commons are examples of these uses.

**Industrial:**

Any manufacturing operation such as Ideal Steel, Metaldyne or CableTech.



Open Space: Land within a residential development providing recreational use for its residents or used as a buffer for the development.

Right-of-Way (R.O.W.): Any platted or dedicated improved public or private road located with the village area.

Unimproved R.O.W.: Any platted right-of-way which has not been constructed as a public roadway.

Vacant: Any land which is not occupied by a building, residential or non-residential use. Agricultural land use is considered vacant for the parameters of the village build-out

Natural Features: Locations of natural features in the Village area are also included in the survey. National Wetlands Inventory data from the U.S. Fish and Wildlife Division and Land Use/Land Cover data from the Michigan Resource Information System was utilized to initially locate wetlands and significant woodlands in the area. Since both data sets are approximately 20 years old, recent Township aerial photography and field observation was utilized to determine approximate boundaries of these natural features.

The above information has identified two types of significant woodlands and four types of wetlands within the village area (See Map 2).

Table 1 lists each existing land use category and the acreage of each existing land use category. Only minor changes have occurred to the Existing Land Use in the Village Center area since the 2010 Village Center Master Plan update. The majority of these changes include the following; 8 to 12 single homes have been built on large parcels of land that were previously vacant; the

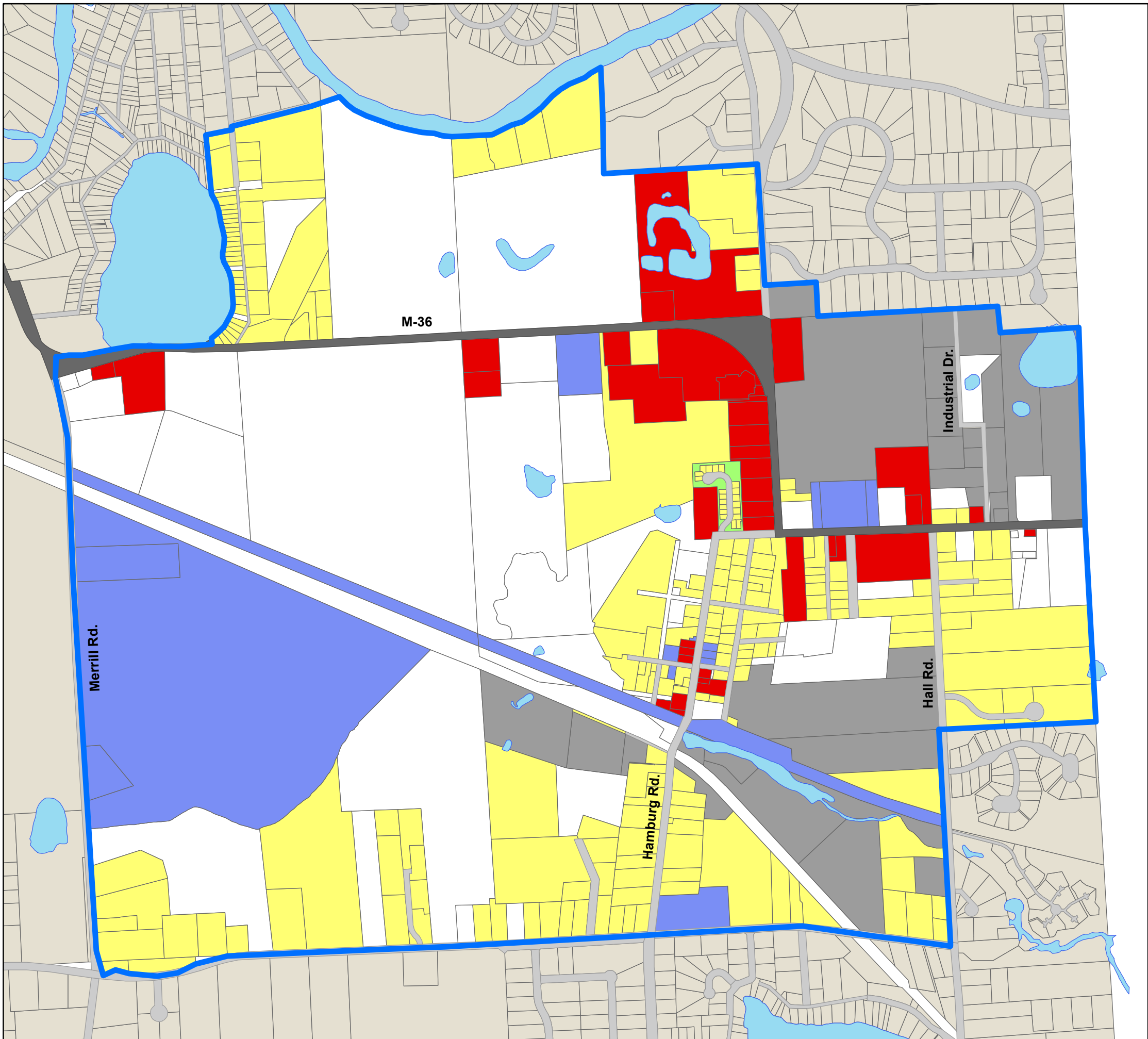
Hamburg Eye Care building was developed on an 1.86 acre site off Veterans Memorial Drive (two additional building are still proposed on this site); the Hamburg Township Fire Station was built on a 5 acres site on Veterans Memorial Parkway; an 86 unit senior housing development was approved and is under construction on a 6.5 acre site off of Veterans Memorial Parkway; and the Hamburg Elementary school and the Haskins Manufacturing sites are now vacant.

Table 1 (Updated): 2020 Existing Land Use - Village of Hamburg		
Land Use Category	Acreage	% of total
Single Family Residential	323.9	26.89%
Commercial	86.42	7.17%
Conserved Open Space	2.3	0.19%
Industrial	162.85	13.52%
Public	170.48	14.15%
Vacant	458.75	38.08%
TOTAL ACREAGE	1204.7	100.00%

Map 2 Village Center Existing Land Use

Hamburg Township,
Livingston County, Michigan

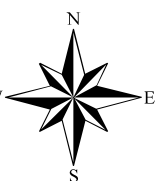
- Single Family Residential
- Commercial
- Industrial
- Public
- Conserved Open Space
- Vacant
- Water Bodies
- Village Boundary



0 0.05 0.1 0.2 0.3 0.4
Miles



Source: Hamburg Township, 2019



01/2020

DETERMINATION OF LAND AVAILABLE FOR DEVELOPMENT

While the above existing land use categories provide a basis for determining the land available for development, further analysis is necessary. Land uses are categorized into the following categories.

Natural Features: All wetland and woodland categories identified on Map 2 were determined to provide a substantial benefit to the Township and should be preserved or exhibited characteristics which could not be developed without significant mitigation efforts.

Right-of-Way: Both improved and unimproved rights-of-way were determined to be fundamental components to existing or future infrastructure demands of the village and should not be used for planned future development.

Viable Uses: Existing uses determined to continue as currently developed was removed from the calculation of land available for development. While some uses have the potential to be redeveloped at the planned future land use density, the land available for development does not involve redevelopment opportunities.

Vacant/Underutilized Land: Land identified as vacant and portions of several parcels which could be developed at the planned density have resulted in the amount of land available for development. Examples of underutilized land which has already been classified as vacant includes the western portion of the two industrial uses on Hall Road, portions of residential lots on Hall Road, a portion of the Alpine Food Center property, a portion of the Metaldyne property and a portion of the Towne One North development property.

The amount of vacant/underutilized land which is available for development is identified in Table 2.

Table 2: Land Available for Development – Village of Hamburg	
LAND USE CATEGORY	ACREAGE
Total Village Area	1128.82
- Natural Features	- 92.21
- Right-of-Way	- 43.25
- Viable Uses	- 189.10
Land Available for Development	804.26

Determining the Potential Amount of Housing Units and Population

The land available for development identified above includes all future land use category areas, both residential and non-residential. The Village Future Land Use is identified on Map 4.

The residential density of each planned future land use category is dictated by the zoning district in which it is located. The zoning districts in the Village area are identified on Map 5. Geographic information system (GIS) software was used to determine the zoning district and residential future land use category for the land available for development.

Table 3: Future Land Use of Land Available for Development - Village of Hamburg		
FUTURE LAND USE CATEGORY	ACREAGE	% OF TOTAL ACREAGE
Village Residential-2 (VR-2)	121.47	15.10%
Village Residential-10 (VR-10)	146.69	18.24%
Village Gateway (VG)	49.22	6.12%
Village Core (VC)	7.07	0.88%
Village Historic (VH)	0.00	0.00%
Village Transition (VT)	5.09	0.63%
Industrial (LI/GI)	78.37	9.74%
Conservation District (NR)	306.34	38.10%
Public	90.01	11.19%
TOTAL AREA	804.26	100.00 %

The Hamburg Township Zoning Ordinance was used to determine the number of dwelling units per acre for each category. Build-out analysis requires the separation of high density residential uses into a percentage of townhomes and apartments based upon planning standards for a neighborhood community.

Table 4: Village of Hamburg Build-Out						
Future Land Use Category and Zoning	Area (Acres)	Housing Unit Types	Average Dwelling Units per Acre	Number of Dwellings	Persons per Dwelling	Number of Persons
Village Residential-2 (VR-2)	121.47	Accessory Dwelling Units, Apartments, ECHO, Single-Family Detached Dwellings, Townhouses	2.20	267	2.78	742
Village Residential-10 (VR-10)	146.69	Accessory Dwelling Units, Apartments, ECHO, Single-Family Detached Dwellings, Townhouses	10.00	1,467	2.78	4,078
Village Gateway (VG)	49.22	Accessory Dwelling Units, Apartments, ECHO, Live-Work Units, Single-Family Detached Dwellings, Townhouses	12.62	621	2.78	1,726
Village Core (VC)	7.07	Apartments, Live-Work Units	17.00	120	2.78	334
Village Historic (VH)	0.00	Apartments, Live-Work Units	17.00	0	2.78	0
Village Transition (VT)	5.09	Accessory Dwelling Units, Live-Work Units, Single-Family Detached Dwellings	8.70	44	2.78	122
Conservation (NR)	306.34	Single-Family Detached Dwellings	1.00	306	2.78	851
TOTALS	804.26	--	--	2,826	--	7,853

The number of persons per dwelling unit is provided by SEMCOG projections for March 2001.

Retail Base Analysis

The retail base analysis is a quantitative tool used to indicate the potential demand for different types of commercial uses, given the population and income levels of households within the service area of the Village Center. Customer and merchant surveys or focus groups should be conducted to determine more qualitative information regarding where people shop and which types of uses they would like to see in the Village.

The service area of the Village Center was based on the anticipated mix of retail uses contained in the Village Center. A more detailed description of retail mix is included at the end of this chapter. The 1995 Village Plan identified the “primary market area” as including residents from within the Village as well as the overall Township. The uses anticipated by the 1995 plan included convenience stores, banks, dry cleaners, video rental shops, beauty/barber shops, and small retail strips. Based on this description, it was determined that the service area is a 6 mile radius from the Village area (See Map 3).

Although we identified the general service radius for the Village as 6 miles, the fact is that much of this area is currently being served by existing commercial development primarily along US-23, as well as the recently developed Chilson Commons. As a result, the Village market share is currently approximately 30% of the overall service

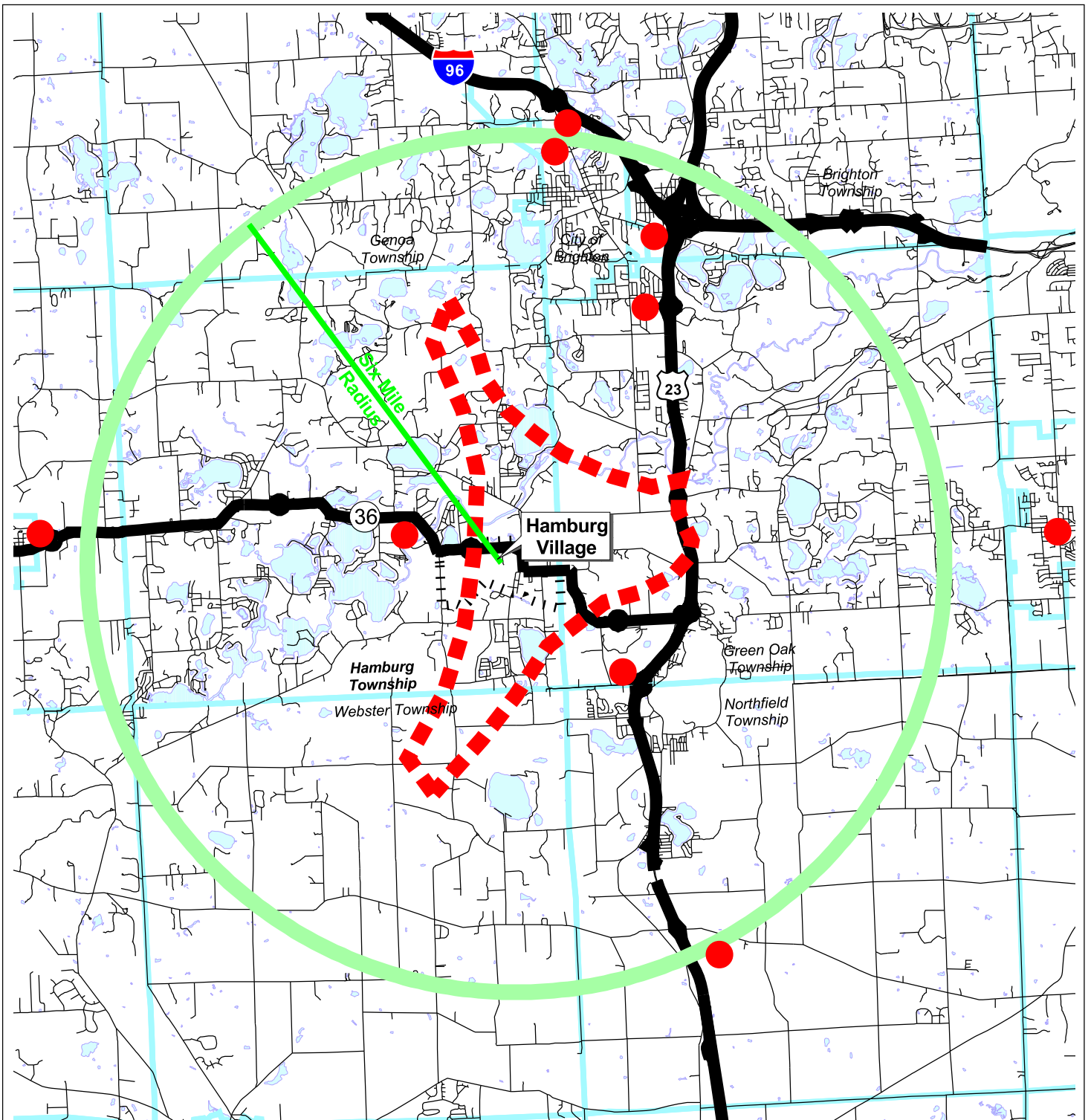
area based on access to other shopping centers. As the population in and around the Village increases, demand will increase.

To determine the potential demand for commercial uses we acquired market specific data for the six mile service area from Claritas Inc. This data describes how much money each household spends on grocery, food, household, apparel, entertainment, and other commercial goods on an annual basis.

The projected amount of commercial space that could be supported by the current population and future population was determined by multiplying the household expenditures for each of the major retail categories provided by Claritas by the current and future number of households in the service area and then factoring in the anticipated market share percentage.





The Urban Land Institute has conducted numerous surveys of various retail operations. In their publication, “Dollars & Cents of Shopping Centers”, they provide a detailed results of these surveys.

The survey information includes the amount of sales dollars per square foot of building area needed to support various commercial uses. The typical square footage of each of these uses is also included in the survey information. Table 5 indicates the amount of commercial demand for several retail categories.



Basemap Source: ESRI, Inc.

Map 3 Village Market Area

-  Six Mile Radius Market Area
-  Modified Market Area
-  Municipal Boundaries
-  Adjacent Community Shopping Locations

0 MI. 6 MI.
3 MI.

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Hamburg Township, Livingston County, Michigan

Table 5: Potential Commercial Demand by Category – Village Service Area

		Modified Service Area	Village Center Residential Build-Out
Demand for Grocery Store			
Average Annual Household Expenditure		\$5,363.14	\$5,363.14
Number of Households		5,993	2,826
Total Expenditure		\$32,139,652	\$15,156,234
Sq. Footage supportable based on Expenditure	624	51,506	24,289
Total Site Area (Sq. Ft.) (structure x 2.5)		128,765	60,722
Site Area (acres)		2.96	1.39
Demand for Junior Department Store			
Average Annual Household Expenditure		\$5,199	\$5,199
Number of Households		5,993	2,826
Total Expenditure		\$31,156,012	\$14,692,374
Sq. Footage supportable based on Expenditure	248	125,629	59,243
Total Site Area (Sq. Ft.) (structure x 2.5)		314,073	148,109
Site Area (acres)		7.21	3.40
Demand for Furniture			
Average Annual Household Expenditure		\$923	\$923
Number of Households		5,993	2,826
Total Expenditure		\$5,531,256	\$2,608,398
Sq. Footage supportable based on Expenditure	387	14,293	6,740
Total Site Area (Sq. Ft.) (structure x 2.5)		35,732	16,850
Site Area (acres)		0.82	0.39
Demand for Drugs			
Average Annual Household Expenditure		\$2,029	\$2,029
Number of Households		5,993	2,826
Total Expenditure		\$12,159,174	\$5,733,954
Sq. Footage supportable based on Expenditure	493.5	24,639	11,619
Total Site Area (Sq. Ft.) (structure x 2.5)		61,597	29,047
Site Area (acres)		1.41	0.67
Demand for Eating/Drinking			
Average Annual Household Expenditure		\$6,755	\$6,755
Number of Households		5,993	2,826
Total Expenditure		\$40,477,646	\$19,089,630
Sq. Footage supportable based on Expenditure	593.95	68,150	32,140
Total Site Area (Sq. Ft.) (structure x 2.5)		170,375	80,350
Site Area (acres)		3.91	1.85

When the potential sales volume generated by the households within the service area is divided by the sales dollars per square foot of building area for each of the major types of retail uses, the result is the number of square feet of each retail use that could be supported. The average square footage from the survey data is then applied to determine the amount of commercial activity that the service area can support. Table 6 illustrates the estimated land area required to support the existing and future retail demand.

Table 6: Summary of Acres Required to Support Retail Demand			
Retail Store Types	Modified Service Area	Village Center Residential	Total Service Area
Grocery	2.96	1.39	4.35
Junior Department Store	7.21	3.40	10.61
Furniture	0.82	0.39	1.21
Drugs	1.41	0.67	2.08
Eating/ Drinking	3.91	1.85	5.76
Total commercial acreage			24.01

Based on the numbers from Table 6, there is a market for a grocery store, clothing stores, one or two drug stores, and several restaurants. A general standard for determining the land area required for retail uses is four times the gross building floor area. However, this figure reflects conventional development practices including excessive parking and inefficient site layout. Because the Village is anticipated to be a more compact development, we have used a factor of 2.5 square feet of land for each square foot of building area. Based on this reduced ratio, the land area needed to

accommodate the current retail market space needs of residents is estimated to be approximately 17 acres and 7 additional acres to support the retail needs of future residents of the Village.

Other Factors

As described above, the quantitative analysis is only one consideration in determining the market potential of the Village. Other factors including traffic, day-time customers, and recreational visitors also need to be considered.

The location of the Village area along a major regional arterial, M-36, beneficial because traffic volumes have increased by approximately 2% annually based on the latest information from MDOT. This is a result of increased development within and beyond the boundaries of the Township and the limited mobility through the Township. However, the result is a market for convenience commercial uses and development pressure for automobile oriented uses such as gas stations.

Hamburg Township is currently a bedroom community. There are minimal employment opportunities within the Township for the typical Township resident. As a result, most residents commute to work. This pattern can contribute significantly to loss of market share because many people shop close to where they work. On the other hand, there is a tremendous market potential on weekends, evenings, and holidays.

Seasonal weekend tourists or visitors to the Hamburg area add to the fluctuation in the market demand. Although the number of seasonal residents is diminishing through the redevelopment of cottages, there are still a large number of visitors who come to Hamburg on the weekends to enjoy the “chain-of-lakes” and other natural assets including state parks and the Lakeland Trail. These

visitors contribute not only to the demand for convenience goods, but they also create a market for entertainment and restaurant uses associated with a typical resort community.

Commercial Development Characteristics

These factors clearly indicate that developing a strategy for the Village requires more than a simple quantitative analysis. It is essential that the Township understand these conditions in order to determine the type of retail uses that are desirable and that can succeed within the Village.

The real estate industry and the Urban Land Institute recognize and have surveyed the characteristics of a number of shopping center types. They range from super regional centers to fashion centers,

power centers, and others. Based on the goals and objectives contained in the Township Master Plan, and the existing market conditions, it is anticipated that the Village will contain elements of three types of shopping districts, the town center, neighborhood center, and the resort retail center.

A neighborhood shopping center includes the sale of convenience foods and personal services and is usually anchored by a supermarket or superstore with supermarket and pharmacy. The range in size of a neighborhood center is 30,000 to 100,000 square feet of floor area. A neighborhood shopping center is typically supported by 3,000 to 40,000 people who are located within 2 to 5 miles.

Town Center

“Town centers are being created on Greenfield sites in the centers of new communities such as Reston, Virginia. This approach to retailing is as much about creating a social environment as it is about providing a commercial center.”

“Know the Market”

- Identify the trade area.
- Determine the specific market forces at work.
- Identify where the Village fits into the retail continuum relative to other retail destinations, and the competition.
- Determine the shopping patterns of the market and set reasonable expectations about how they are likely to evolve.
- Build on the position that the Village holds in the regional hierarchy of retail locations.

Town center and resort retailing centers require a more qualitative approach addressing issues of design and place making. The objective of the Village Plan is to create the environment for these types of commercial uses to be successful and to serve the needs of the Village and Township residents and visitors.

Resort Retailing

“Unlike traditional shopping centers, successful resort based retail stores exhibit several characteristics. In general, they:

- Are geared to visitors and are usually unable to survive on local traffic alone;
- Offer an intimate scale with a distinctive ambience and are strongly oriented toward pedestrian traffic;
- Create an “experience” that increases the resort’s appeal;
- Present a distinctive and consistent architectural design and a line of merchandise that convey a unifying theme;
- Offer a variety of restaurants, bars, and other entertainment facilities that function as a key tenants and help create a social ambience;
- Lack traditional anchor tenants;
- May have shops offering goods with distinctive logos and, depending on the market profile, higher-end commemorative merchandise; and
- Offer an ongoing program of special events and activities.

Although there is no set formula for success – each site is different, six key principals of design have been identified for developing resort centers:

Milieu – Capitalizing on distinctiveness of the setting and other special attributes of the location enhances the center’s draw.

Multi-activity Environments – By investing in multiple activities and making the resort a year-round destination, developers can ensure the feasibility of more diverse retail goods that can appeal to sightseers, local residents, regional residents, resort employees, and or corporate, meeting, or conference attendees.

Town Center Hub – Clustering retail functions in a central area increases their appeal and drawing power.

Character through tenant Mix – A carefully selected mix of retail tenants helps to create a distinctive image for the resort.

The Right Retailers – The tenant mix should carefully capitalize on the attractiveness of good health, wellness, and longevity; small indulgences and outdoor accessories; and entertainment.

Design and Merchandising – Design and architectural guidelines further strengthen a resort’s identity by offering a consistent image.

II. Detailed Village Design

Village Charrette

Hamburg Township in conjunction with McKenna Associates, Inc. led a two-day design charrette January 20th and 21st, 2006. The charrette meetings were held in the Township Council Chambers on Merrill Road, and were open to the public throughout the two day event. The public was encouraged to attend and review the evolution of designs as often as they liked. Approximately 80 people participated in the two-day process. The evening presentations were also filmed and shown on the local cable channel.

As previously defined, the charrette focused on the Village area. Background maps, aerial photos, plans and historic documents were displayed for public consideration. During the charrette's meetings and design sessions, planning and urban design ideas and concepts were outlined and tested in graphic form. Interested community leaders and residents provided their input on those graphics and concepts, all toward the overall goal of improving the appearance and retail climate of the Village. Meetings were held during the two-days with many different groups, including representatives of the Township Board, Planning Commission, Township Engineers, and civic groups.

Day one of the charrette included a tour of the Village area, a brief existing conditions assessment, and all-day design sessions focused on land use and circulation. It was then followed by an evening presentation to the public discussing the different concepts of the day.

Day two of the charrette focused on discussing specific design Principles as they related to; parks and open space, streetscape, and architecture and building design. These three sessions happened concurrently to allow members of the public to drop by during the day to provide their input into the planning and design process. A public review of the concepts developed during day two were presented that evening.

The results of the charrette are presented in both text and graphic form in this document including the conceptual design for the Village area.



Design Concepts

The purpose of the Village Plan is to establish a detailed link between the policies established by the Township Master Land Use Plan and Zoning Ordinance and the actual designs for project proposals. The design guidelines incorporated into this plan will become an important implementation mechanism in assisting the Township in bringing these plans and ideas to reality.

To this point, the tools in place in the Township have succeeded in establishing strong policies in line with the intent and purpose of the Master Plan. However, interpretation and implementation of those policies has been difficult. The Village Plan establishes design guidelines, enhances zoning regulations, and provides incentives for development that will result in a high quality, well-designed, sustainable Village area.

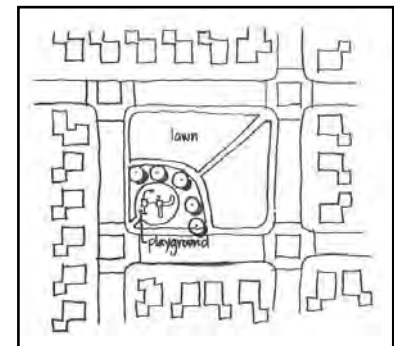
The development of these key design concepts was based on the results of analysis of existing conditions within the Village area, conversations with Township officials and administration, review of existing documents and plans, and the Township design charrette. This information was compiled together to develop the recommendations and strategies contained within this plan.

During the design portion three key elements were discussed as a starting point to developing specific design guidelines. Key elements discussed were: parks and open space; roads and streetscape; and architecture and building design. Provided here is general summary, detailed points can be found in the Appendix Section. You will find detailed design guidelines in the following chapter that have been derived from these general concepts discussed during the charrette.

Parks and Open Space

The purpose of open space guidelines is to provide public and semi-public spaces that enhance the quality of life for Village and Township residents. Open space may be public or privately owned and maintained and may come in many shapes and sizes. Open space may include areas for active recreation such as Bennett Park, or it may be areas set aside for the preservation of natural resources or the passive enjoyment of the natural environment.

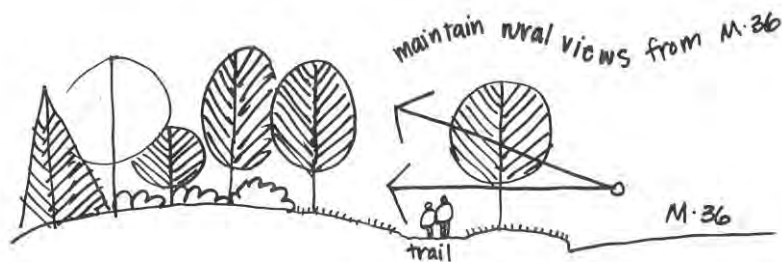
Within the Village area, the only current area of dedicated open space is Bennett Park located on Merrill Road. This well used facility includes soccer and baseball fields, a picnic area, playground, parking, restrooms, and a significant undeveloped, forested area with some lightly maintained trails through them. The Park is a tremendous resource for the Township and the Village area. However, access to the park is a concern, particularly for nearby residents who may like to allow their children to walk or bike to the park unsupervised. Providing smaller pocket parks with playgrounds for children or passive space for other residents to enjoy without having to cross major roadways should be a priority.



Roads and Streetscape

Another key focus of the charrette was to discuss streetscape elements. This is essential when creating a Village Plan because positive streetscape can soften the traffic and road conditions, and enhance the pedestrian environment. Attendees discussed such elements as street trees, lighting, on-street parking and sidewalk design. These elements, which should remain consistent throughout the Village, will give it a sense of place and create a vibrant pedestrian atmosphere.

Another concept discussed was to keep M-36 a high volume, high speed thoroughfare with limited intersections and curb cuts. It was important to the attendees of the charrette that a rural view shed be maintained when traveling down M-36.

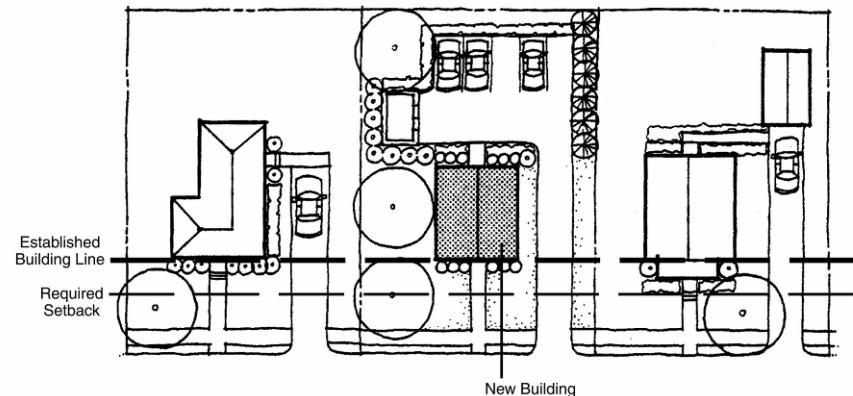


Heavy landscaping as a tool to separate M-36 from the Village.

Architecture and Building Design

During the charrette general design principals were discussed as a precursor to establishing design guidelines. When regulating an area based on its design, the type or form of a building becomes more important than the use intended for it. In that sense, it does not matter whether a building is intended for use as a bakery, a butcher, or a bookstore. It does not matter if there are law offices up stairs or loft apartments. The point is more what form the building takes and whether or not that form is compatible with the form of adjacent structures.

Building elements that were focused on were; providing design guidelines that encourage mixed-use buildings within core areas, minimizing distances between buildings, establishing a build to line, and providing appropriate building scale.



Established Building Line

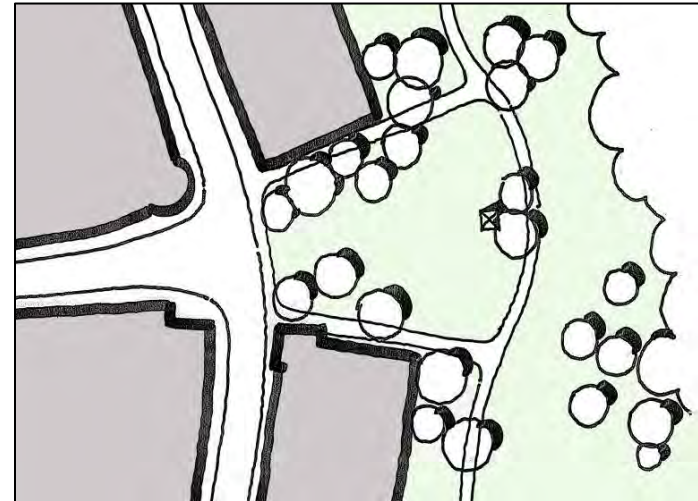
Open Space Network

Characteristics

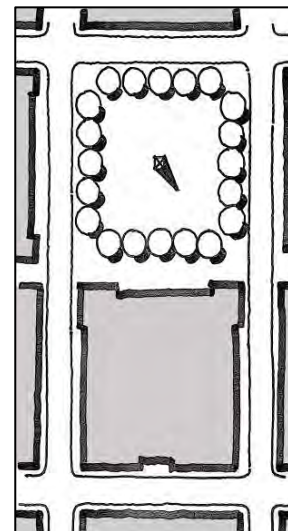
- Promote developments that reflect the Village's natural features and its traditional community patterns.
- Special attention should be paid to environmentally sensitive areas and trail design.
- Trails should not impact wildlife movement corridors, flood plains, wetlands or regional drainage systems.
- Natural corridors such as drainage corridors should be used to define edges of neighborhoods within communities and integrated into the overall open space structure of the community.
- Greenways with trails should line riparian corridors, drainage swales and retention areas, connecting natural open space with active open space destinations such as parks, schools, recreation fields, open lands, etc.

Development Edges

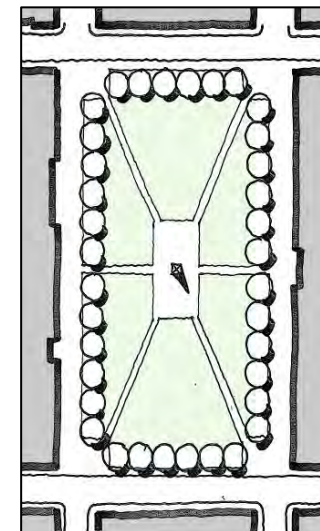
- Development adjacent to open space systems should front the open space with public access, while protecting the natural environment where desired.
- Edge treatment may be a combination of one-sided street frontage, open cul-de-sacs or integration with active parks, schools or other open space.
- Include walking paths and bike paths where called for in the area plan.



Public Park



Plaza



Square

Natural River District

- Include public access path provisions
- Connect to other natural open space systems, bike paths, and linear parks.
- Adjacent development shall be permeable to allow access.

Public and Private Community Parks

- Promote the creative design of a wide variety of community parks for the residents and visitors.
- Active community parks often contain multiple sports fields, community buildings and other active play areas.
- Community parks shall be easily accessible while still providing appropriate buffers to adjacent neighborhoods.
- Appropriately located, well-designed parking should be provided at community parks.
- Parks should be used to define boundaries between districts.
- Community parks should be designed to connect into the larger greenbelts in the planning area.

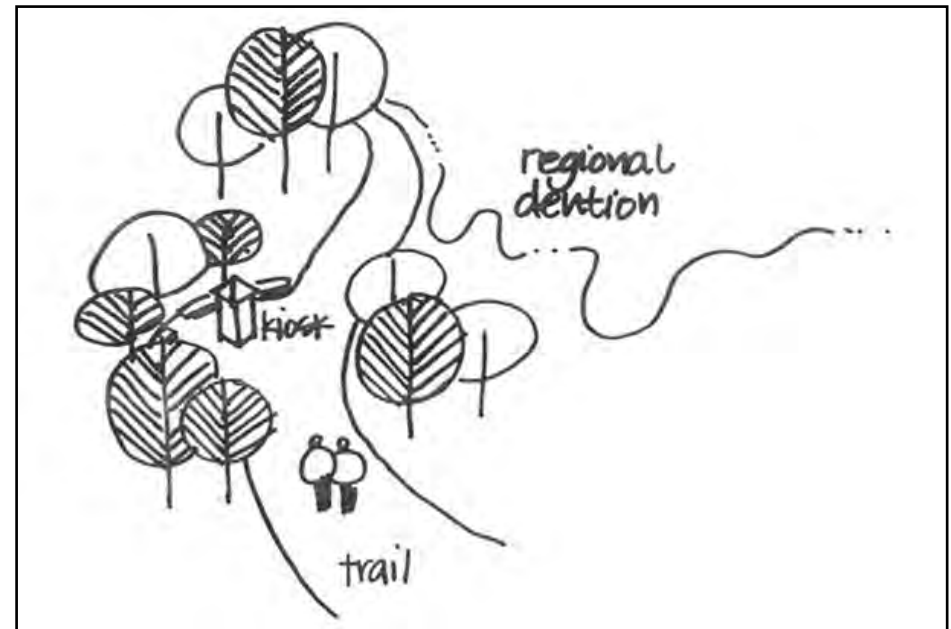
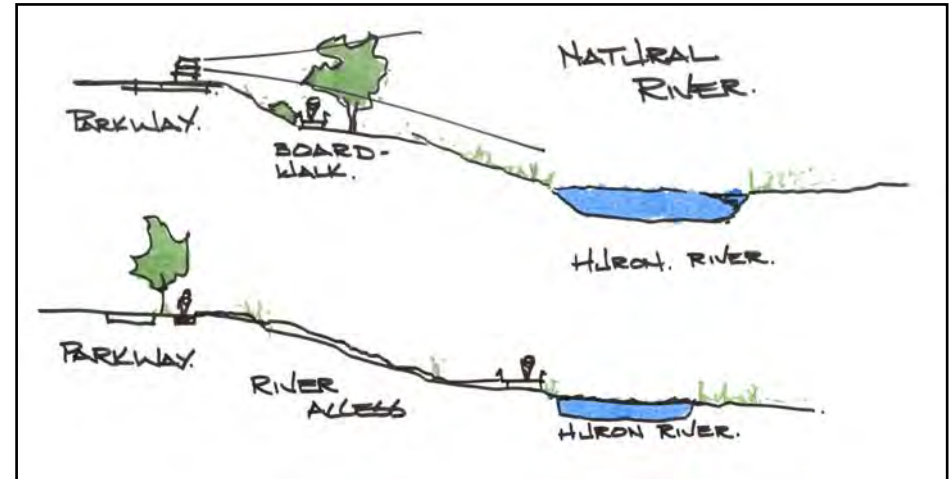


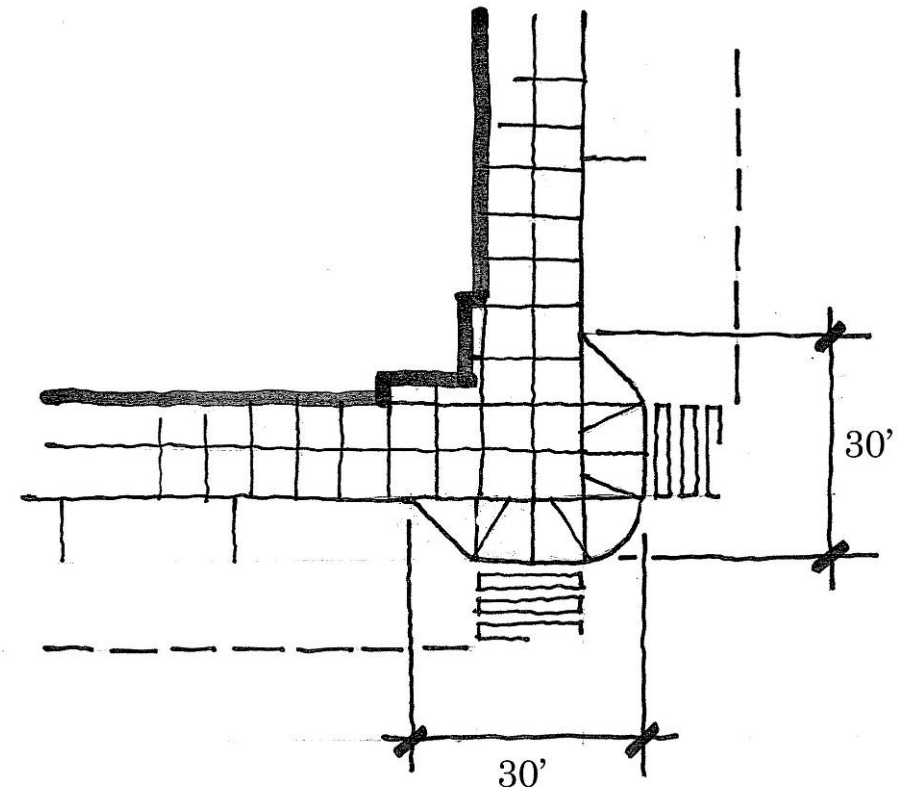
Chart 1: Open Space	VC	VG	VH/VT	VR 10	Industrial	Natural River
Village Square: The “Square” is an open space of hardscape and softscape that allows for public gatherings. It is a requirement to have lighting, signage, seating and provisions for public art, memorials and utility provisions for public entertainment etc.	•	•	•			
Plazas: Plaza’s are an approved alternative to Squares or Greens and substantially paved in hardscape material and are integrated with building developments rather than park-like. The space is to be dedicated public space. Other design provisions apply.	•	•	•	•		
Community Commercial Parks: Community commercial parks are to be provided proportionate to park standards. Community commercial parks are generally more formal and provided for residential and commercial users as well. Parks shall be public and range in size from .5 acres to 2 acres as appropriate.		•		•		
Courtyards: Courtyards in commercial developments are encouraged to be semi public open spaces during daytime hours.	•	•	•		•	
Seating Areas: Outdoor seating areas are desired and encouraged in the commercial mixed-use district.	•	•	•		•	
Parks: Neighborhood parks of 1 to 3 acres should become the focus and identity for the neighborhood. These parks are typically designed passive recreation and may include informal open ball playing areas and tot lots.				•		•
Natural Spaces: Natural open spaces should act as borders to development and also as part of the larger open space network.				•	•	•
Tot Lots: Tot lots for younger neighborhood children are often located on small parcels of 3,000 to 5,000 square feet. They often have play equipment for smaller children, protected hardscape areas, and shaded lawn space.				•		

Circulation

Characteristics

- The road network should provide multiple options for reaching Village amenities such as schools, parks, shops, and community facilities.
- View corridors to the river, open space, and other local landmarks should be a basic consideration.
- New roads, paths, and trails should connect to existing neighborhoods.
- Traffic calming measures should be used to eliminate short cuts and support a desirable living environment.
- Connecting roads should knit neighborhoods together, not form barriers.
- Roads, bikeways, and walkways should create a unifying circulation network that provides convenient routes throughout the Village.
- Discourage the use of cul-de-sacs.

Maximum Block Sizes	VC	VG	VH	Residential 10	Industrial
600 x 600		•			
300 x 500	•		•	•	
Unrestricted					•



M-36

Motor Vehicle Function: M-36 is to serve regional mobility through Hamburg Township. Driveways and curb cuts along M-36 are permitted only as necessary to access the Village.

Bicycle/Pedestrian Function: M-36 shall provide for pedestrian/bicycle circulation and direct walking access to all land uses abutting the corridor. Minimum 8 foot walkways on both sides.

STREET NETWORK

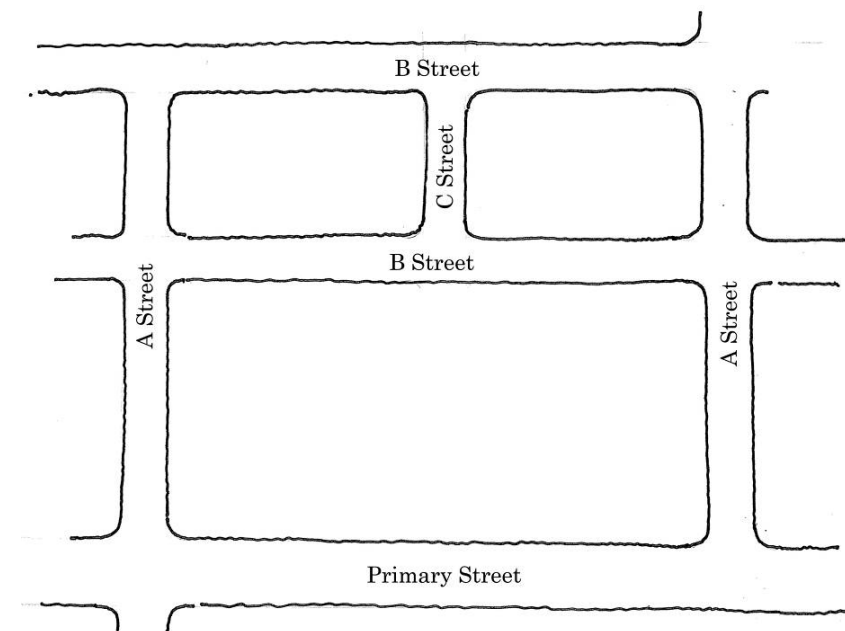
Interior Streets: All development in the Village shall occur along a fully developed interior street network. The street system located within parcels to be developed is referred to as the secondary street network, while public roads with a right-of-way width of 86 feet or greater are referred to as the primary street system.

The secondary street network shall consist of three types of street:

A-Streets: Shall form the basis around which the secondary street network is designed. A-Streets shall be the main street within a development, and shall have buildings or public spaces fronting on the street. Parking and loading areas shall not have frontage on an A-Street.

B-Streets: Are those streets that intersect with A-Streets. B-Streets are intended to provide a connection between A-Streets and to provide access to parking and loading areas. B-Streets are required to have buildings or public spaces along at least a portion of the street frontage, but parking and loading areas may also be located along B-Streets. B-Streets may intersect with both A-Streets and C-Streets.

C-Streets: Are streets that provide access to parking, loading, or other service areas of the site. C-Streets are not required to have any buildings or public space fronting the street, so the street frontage may consist of parking, loading, or service areas. Certain building types may also front on C-Streets. C-Streets may not intersect with an A-Street, but may intersect with a B-Street.

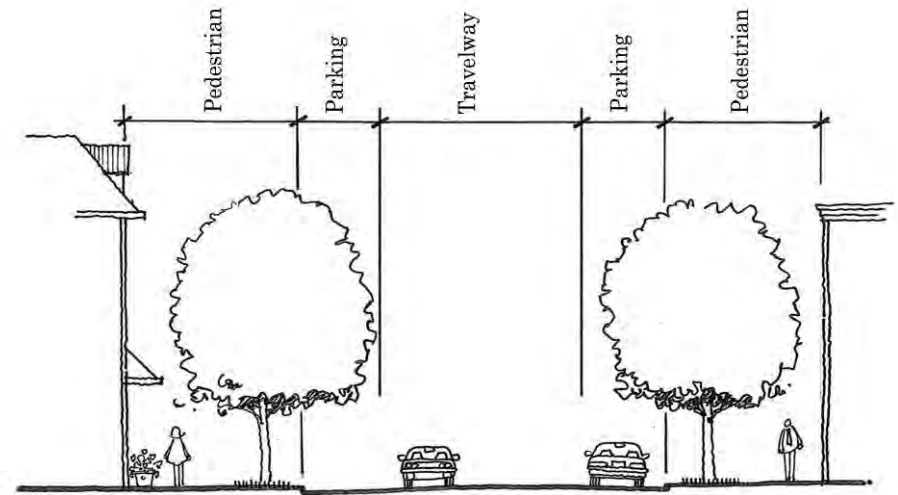


A-Street Locations: A-Streets shall be developed consistent with the locations shown on the Future Land Use Plan. The exact location of A-Streets on a particular site may be varied from those shown on the Plan to account for site-specific factors such as natural or man-made features provided that the general layout and number of A-Streets and connection points for the continuation of A-Streets on adjacent parcels are consistent. Additional A-Streets that are not shown on the Future Land Use Plan may also be created on a site. Any variations to the location or layout of A-Streets as shown on the Plan shall require the approval of the Planning Commission.

B-Street and C-Street Locations: B and C-Streets shall be developed as necessary to create the required block system, and to distribute vehicular and pedestrian traffic through a development. B and C-Streets may be developed wherever appropriate on the site, provided that they meet the layout and design standards of this Section.

ALLEYWAYS

Motor Vehicle Function: Alley's provide secondary access to residential and commercial properties. They are located to the rear of properties that take their primary access from other streets. Alley's must be dedicated as public easements but are private streets. In commercial districts, they provide space for utilities, access for parking, garbage collection and delivery services. In residential districts, alleys provide access to garages, and may provide secondary access for emergency services. Residential and commercial parcels shall not take sole or primary access from an alley. Alley design speed shall be 10 mph in residential districts and 5 mph in commercial.



Residential Access off of Alley

Motor Vehicle Parking: Parking within the alley travel lane is prohibited.

Bicycle/Pedestrian Function: Alleys shall allow pedestrian/ bicycle circulation and direct walking access to land uses abutting the alley corridor in mixed traffic within the vehicular travel lane.

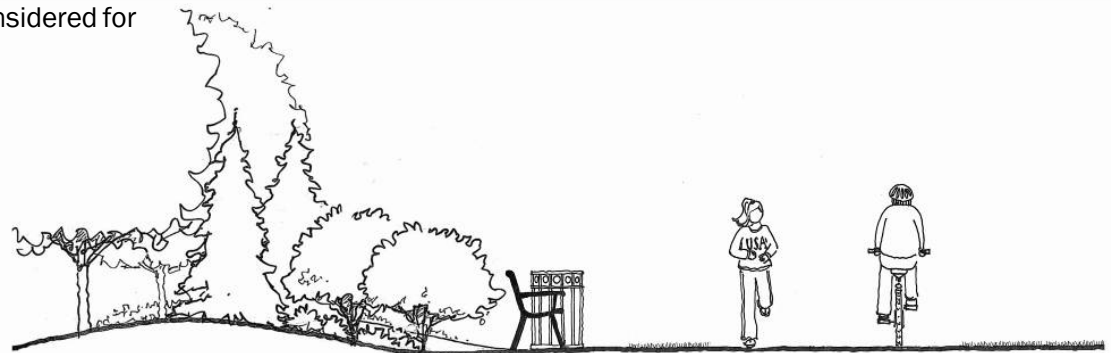
PEDESTRIAN WAY

Motor Vehicle Function: Pedestrian ways are narrow paved pathways dedicated for public use and designed to provide walking access across large blocks or nearby streets. Pedestrian ways shall not be open to use by motor vehicles other than approved maintenance equipment.

Bicycle/Pedestrian Function: Pedestrian ways provide for continuous public access and circulation across residential and commercial/mixed blocks. Trees and pedestrian-scaled lighting are also included. Alternative pavement materials will be considered for low intensity use locations.

Pedestrian and Bicycle Policies and Guidelines:

- The Village Plan should contain a master bikeway plan providing the basic structure of on and off-street bike paths as part of the overall circulation and transportation network.
- Generally bike paths should be provided on local roads/ M-36, and within open space systems.
- Pedestrian and bike connections should be made to residential neighborhoods, retail centers and open space systems. Pedestrian and bike connections should be made wherever auto connections are infeasible due to physical constraints or other considerations.
- Loop road layouts should be supplemented with pedestrian and bike path, “shortcuts” to make walking and biking more convenient.



A shared pedestrian and bike path

Transit Oriented Development (TOD):

Hamburg has a long history of railroad activity. Recently a public private-partnership has committed to establishing an active commuter line between Whitmore Lake and Howell. The line may eventually connect Ann Arbor to the south with Traverse City to the north.

The train would operate on an existing rail line that runs through the Village Center area from the southeast corner of the Village, past the Historic Village area, and through to the northwest just south of where the Lakeland Trail intersects Merrill Road. Establishing a station along this section of the rail line would present a tremendous opportunity for the creation of an active, vibrant, collection of businesses, restaurants, recreation, and residential uses.

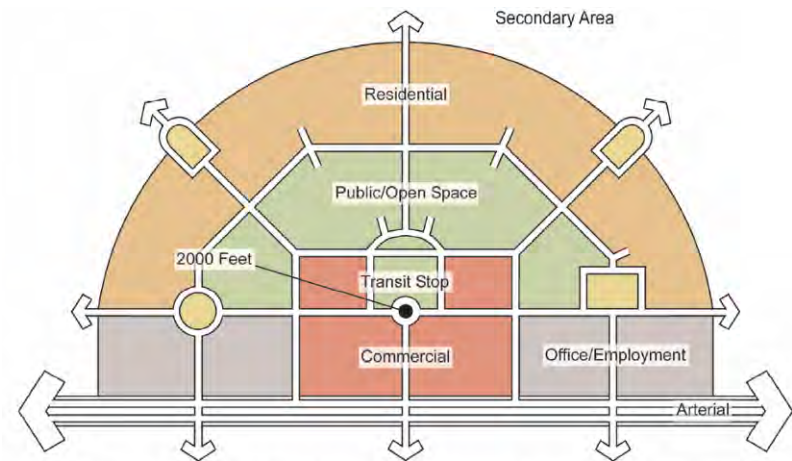
Often referred to as transit oriented developments or TODs, this pattern of development typically falls within easy walking distance of a bus or train station. A transit oriented development would provide a regional attraction with access to other destinations such as Ann Arbor, Howell, and Traverse City. This creates additional opportunity for commercial development by drawing in more potential customers to the Village Area.

The most beneficial location of a station in this area would be south of the Mill Pond along Hamburg Road south of the Historic Village area. This location would bring people into the Historic Village area and provide the catalyst for redeveloping some industrial property with potential contamination. This site would be a strong candidate for the establishment of a Brownfield Site.

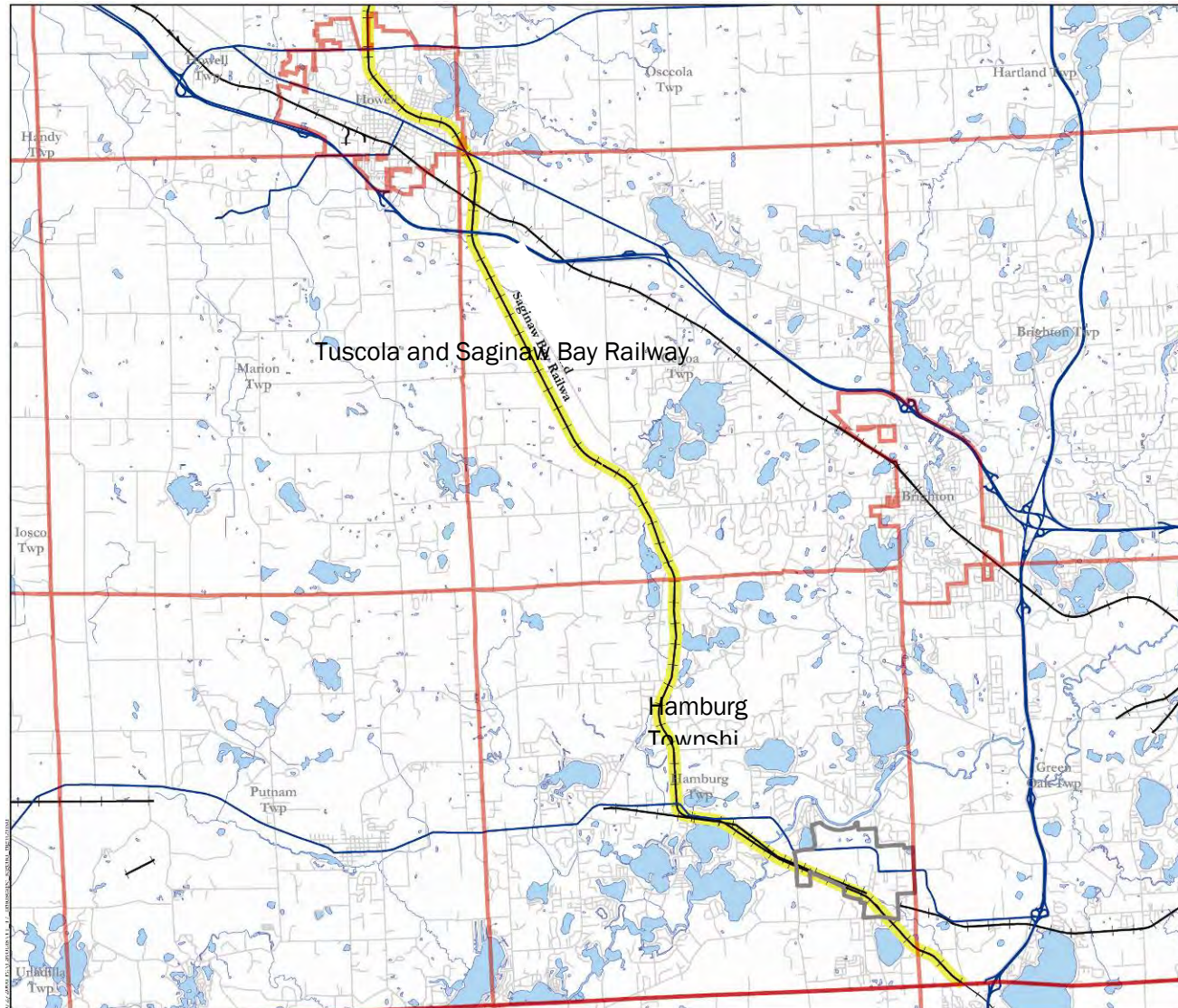
A second possible location would be near Merrill Road north of the Lakeland Trail. There is sufficient area here to accommodate parking and it is close to the Township facilities on Merrill Road.

Because the exact location has not been identified, this plan is proposing the establishment of a TOD Overlay District. This would allow the development pattern of a TOD to be established within a ¼ mile radius of a station once the location is established.

The development patterns and characteristics of a TOD are similar to those anticipated in the Village Core District with a concentration and mix of uses that is greater than in other areas of the Village Center area.



From: Peter Calthorpe, The Next American Metropolis: Ecology, Community, and the American Dream, New York: Princeton Architectural Press, 1993, www.papress.com



Land Use Plan

The chart below represents land use guidelines within The Village. Please refer to the Zoning Ordinance and Appendix A for specific uses and special requirements.

Chart 2: Building Uses	VC	VG	VH	VT	Residential 2/10	Industrial	Natural River
Residential Uses							
Accessory Dwelling Unit		◦		•	◦/•		
Apartment	•	•	•		◦/•		
ECHO		◦			◦/•		
Live-Work Unit	•	•	•	•			
Single-Family Detached Dwelling		◦	◦	•	•/•		•
Townhouse		◦			◦/•		
Commercial/Office Uses							
Auto Uses (sales, storage, carwash, maintenance)						•	
Business and Professional Offices 0 to 10,000 SF +	•/◦	•/◦	•	•			
Drive-thru Service	◦	◦				•	
Entertainment/Recreation Facilities	•/◦	•/◦	◦	◦		◦	
Food and Beverage Establishments and Stores	•	•	•/◦	•/◦			
Open air display	◦	◦	◦	◦		•	
Personal Service Establishments 0 to 5,000 SF GFA	•	•	•	•/◦			
Planned Shopping Center	•	•					
Retail 0 to 5,000 SF GFA	•	•	•/◦	•			
Civic Uses	•/◦	•/◦	•/◦	•			◦
Lodging Uses	◦	◦	◦	◦			◦
Industrial Uses						•/◦	

- Permitted Use
- Special Use

Map 4 Village Future Land Use

Hamburg Township,
Livingston County, Michigan

Future Land Use

- Village Residential-2
- Village Residential-10
- Village Gateway District
- Village Core District
- Village Historic District
- Village Transition
- Conservation District
- Public
- Parkland
- Industrial
- Transit Oriented Development Overlay District
- Lakeland Trail
- Trail
- Lakes and Streams
- Wetlands as identified on NWI and MIRIS maps
- Wetlands as identified on NWI and MIRIS maps and soil areas which include wetland soils

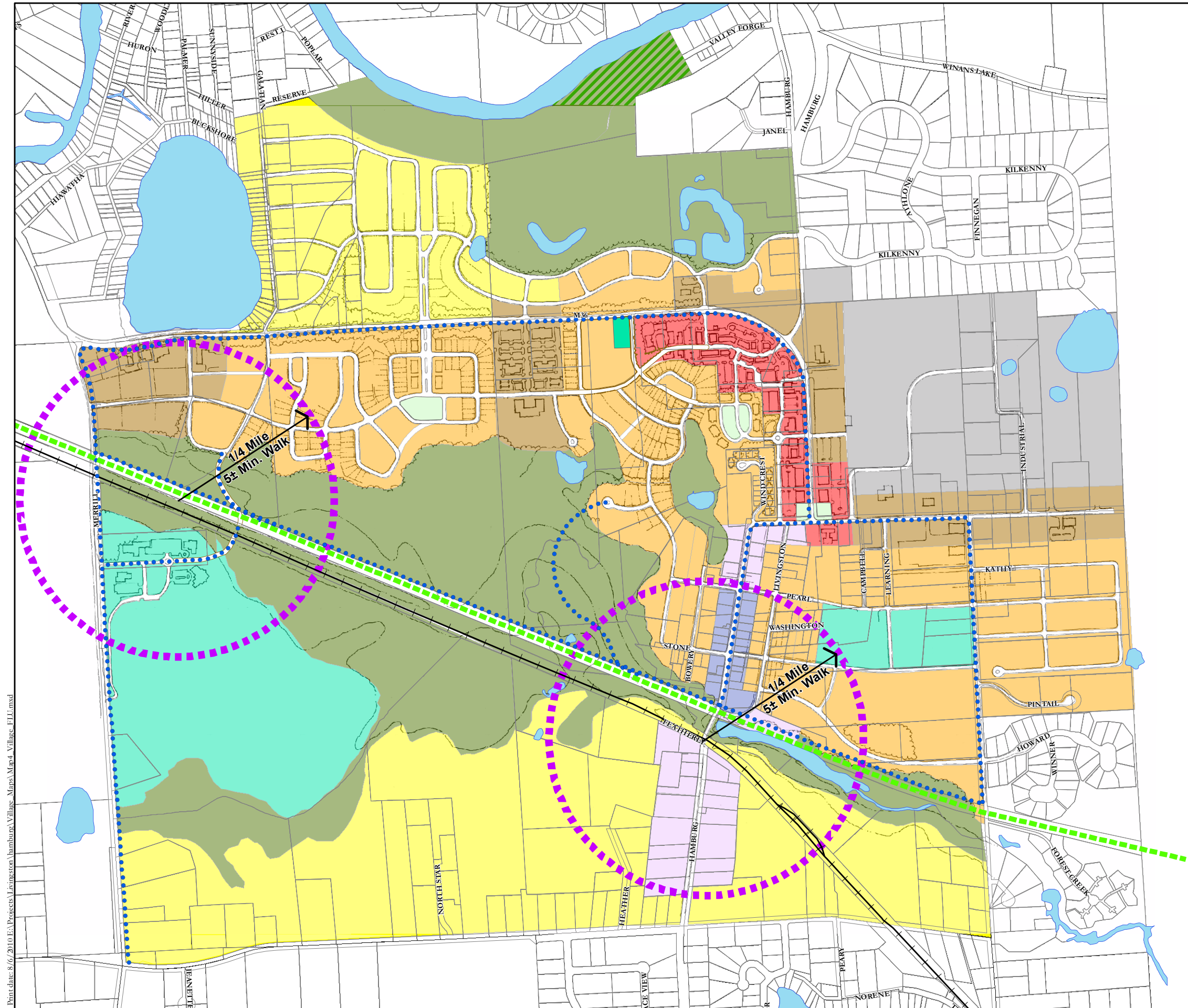
Data Source: Livingston County Information
Technology Department GIS Division, 2005

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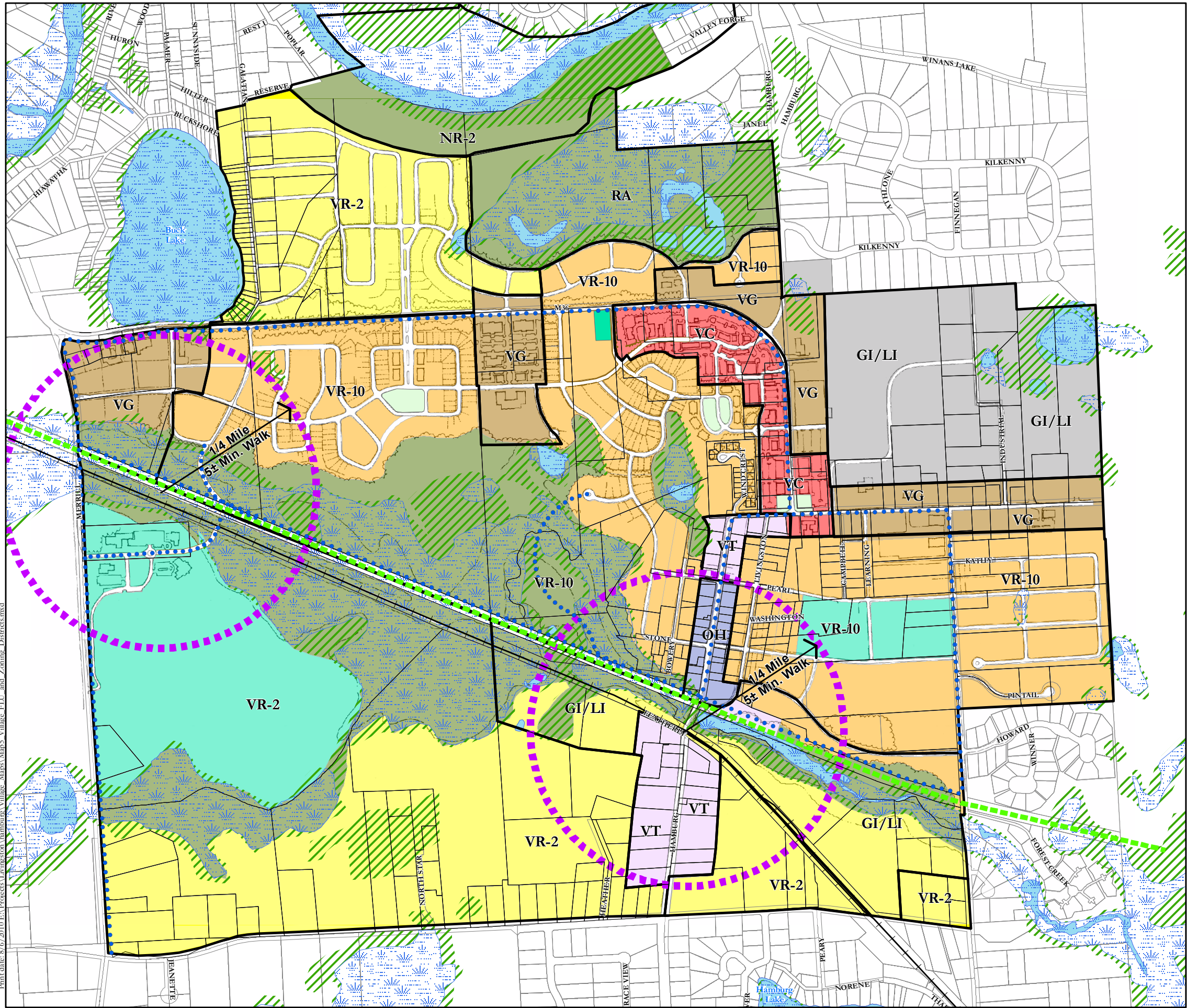
McKenna
ASSOCIATES
INCORPORATED



08/06/10



Print date: 8/6/2010 EA Project: Livingston\Hamburg Village Maps\Map5 Village FLL and Zoning Districts.mxd



Map 5 Village Future Land Use and Zoning Districts

Draft

Hamburg Township,
Livingston County, Michigan

Zoning

- NR-2 Natural River District
- RA Medium Density Residential
- VR-2 Village Residential 2
- VR-10 Village Residential 10
- VG Village Gateway
- VC Village Core
- VT Village Transition
- OH Old Hamburg
- GI/LI General Industrial
- TOD Transit Oriented Development Overlay

Future Land Use

- Village Residential-2
- Village Residential-10
- Village Gateway District
- Village Core District
- Village Historic District
- Village Transition
- Conservation District
- Public
- Parkland
- Industrial
- Transit Oriented Development Overlay District
- Lakelands Trail
- Trail
- Lakes and Streams
- Wetlands as identified on NWI and MIRIS maps
- Wetlands as identified on NWI and MIRIS maps and soil areas which include wetland soils

Data Source: Livingston County Information
Technology Department GIS Division, 2005

0 500 1,000
Feet

Mckenna
ASSOCIATES
INCORPORATED



8/06/10

III. District Types and Design Guidelines

Village Core / Village Gateway / Transit Oriented Overlay District (VC/VG/TOD)

District Character

The purpose of the Village Core/Village Gateway Districts is to provide for community-wide retail uses while integrating with smaller scale shops. These districts should connect to neighboring residential streets. The intent is to allow for commercial uses while creating a pedestrian connection to adjacent neighborhoods and open space.

The purpose of the TOD District is take advantage of the potential for a train station that may be located in the Village. Because the exact location of the station is not known at this time, the TOD District will be treated as a floating zone. Once the location of the station is determined, the land uses, design characteristics, and other standards associated with the TOD District will be applied as an overlay within approximately ¼ mile of the station.

Characteristics:

- The VC/VG Districts should have a strong pedestrian connection with building placement, orientation, and entries reinforcing the pedestrian path.
- The road network should consist of a series of generally rectilinear blocks in a grid or interconnected pattern which is conducive to walking, biking, and vehicle trips within the Village.
- Streets should be designed with on street parking and require buildings to orient toward the street.



Parking: Parking requirements per zoning code except for the following exceptions:

- Shared parking must be taken into consideration for multi-use/multi-building projects.
- Minimal parking beyond zoning code requirements.

STREETSCAPE

The following streetscape design improvements will help to enhance the pedestrian environment.

Lighting: Streetlights within the VC/VG District must be as shown in figure L1 and spaced 50' o.c. Parking lot lighting may be a shoebox design with a maximum height of 20 feet and painted black. Additional lighting is recommended and may include building and signage lighting as well as accent up-lights on buildings or at landscaping.

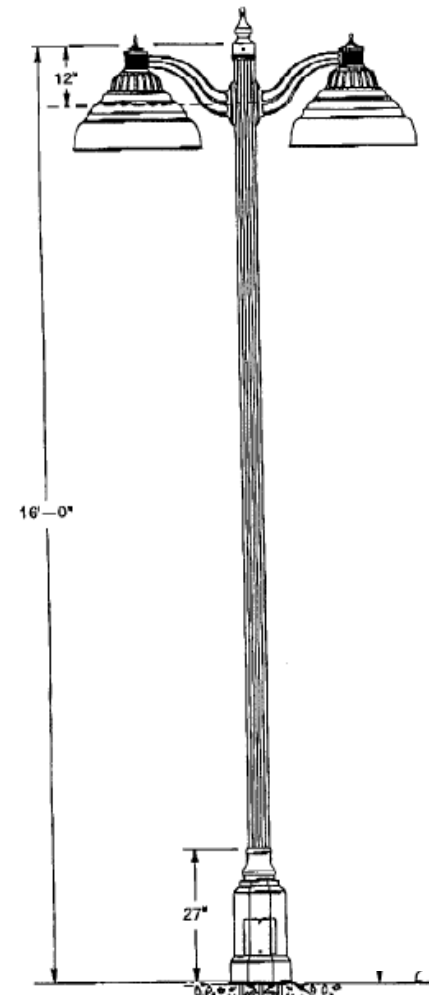
Street Trees: Street trees should be placed a minimum of 50' o.c. within tree wells (with grates or hard pack pervious material). There should be bulbouts with accent trees at intersections and mid-block crossings.

Intersections: Pedestrian crossings should be clearly designated with wide striping at a minimum. For retail streets accent paving such as interlocking pavers, brick in accent bands or scored and sand blasted concrete are strongly encouraged.

Sidewalk Design: Sidewalks should be a minimum of 12 to 16 feet wide and wider when deemed appropriate. Where seating is encouraged a minimum of 16 feet is desired. Accent paving such

as interlocking pavers, brick in accent bands or scored and sand blasted concrete are strongly encouraged along retail/mixed use pedestrian walks and crossings.

Open Space: Please refer to Chart 1 for appropriate open space provisions within the VC/VG Districts.



SITE PLANNING AND BUILDING TYPES

Buildings and site development should contribute to a cohesive urban pattern, define and frame the public streets and plazas, while reinforcing the overall goal of creating a walkable district.

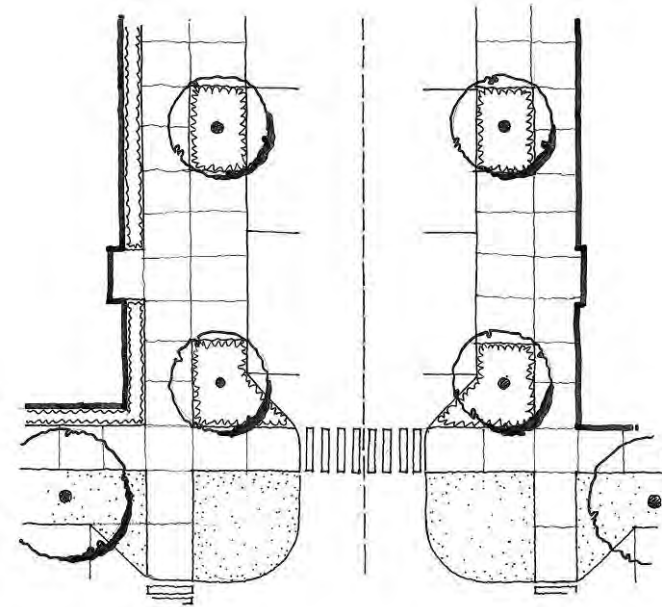
Parking: Attractive, landscaped parking areas should be located to the rear and sides of the building to encourage a pedestrian-friendly street edge.

Commercial Frontage: Commercial Buildings should be built to the street or have a minimal landscape setback to define the street. Commercial building frontage should extend a minimum of 75% of the primary street frontage. Commercial parking should typically be behind buildings and never located on corner lots.

Building Design:

- The use of special storefront detailing, façade ornamentation, quality materials, unique signage and awnings or canopies can reinforce the pedestrian nature of the street.
- Facades should be articulated through architectural treatment in a relatively small rhythm of approximately 25'-30' and be generally vertical in proportion.
- Building entrances shall be clearly visible from a public street.

Setbacks: A maximum front yard setback from the right-of-way of 10 feet. Exception may be made for outdoor seating areas and public plazas.

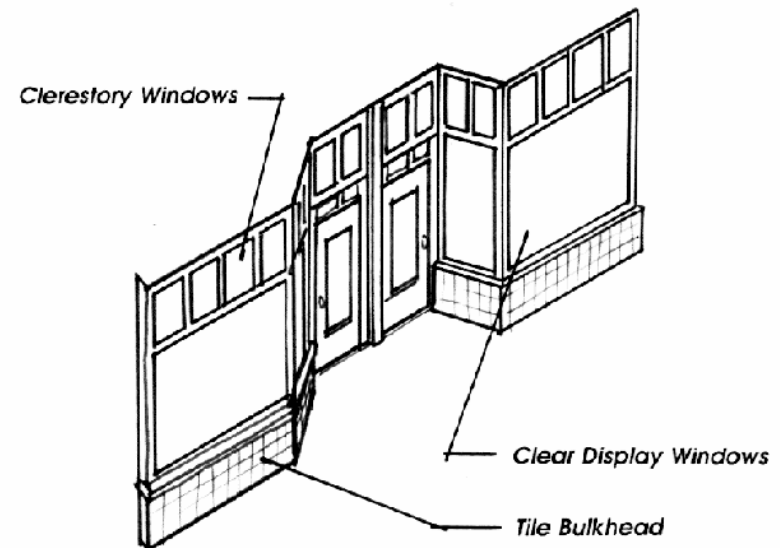


Height: A minimum one story height of 18 feet and a maximum overall height of 35 feet unless determined by the Township additional height is appropriate. Commercial buildings shall have a minimum first floor interior height of 12 feet although 15 is preferred.

Three story building heights are encouraged at key locations subject to Township approval and the appropriate mix of uses.

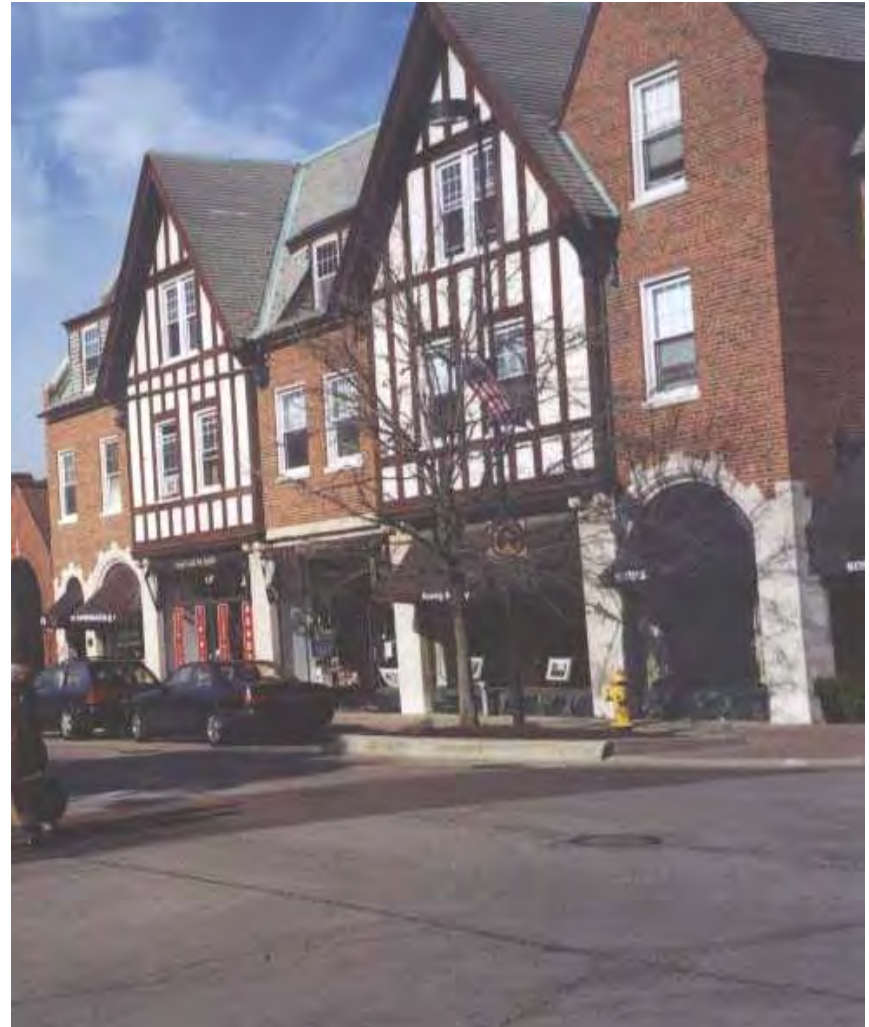
Façade Requirements: Three or more of the following methods of articulation shall be used to provide visual interest and create a human scale:

-
- Providing a balcony, bay window, porch, patio, deck, or clearly defined entry for each interval.
- Providing a lighting fixture, trellis, prominent ornamental tree or other landscape feature within each interval.
- Providing architectural features such as setbacks, indentations, overhangs, projections, cornices, bays, canopies, building modulations, or awnings.
- Use of material variations such as contrasting colors, brick or metal banding, or textural changes.
- For commercial buildings, a minimum of 70 percent of the front façade on the ground floor shall be transparent.
- For commercial buildings with parking in the rear, a minimum 40 percent of the rear façade shall be transparent. And an entrance point must be provided.



Roofline Requirements: Roof lines shall be varied through two or more of the following methods. The maximum roof length without a variation shall be forty feet.

1. **Dormers:** A projection from a sloping roof that contains a window.
2. **Roof Line with Architectural Focal Point:** A prominent rooftop feature such as a peak, tower, gable, dome, barrel vault or roof line trellis structure.
3. **Roof Line Variation:** The roof line articulated through a variation or step in roof height or detail, such as:
 - a. **Projecting Cornice:** Roof line articulated through a variation or step in cornice height or detail. Cornices must be located at or near the top of the wall or parapet.
 - b. **Articulated Parapet:** Roof line parapets shall incorporate angled curved or stepped detail elements.
 - c. **Pitched Roof or Full Mansard:** A roof with angled edges, with or without a defined ridgeline and extended eaves.
4. **Terraced Roof:** A roof line incorporating setbacks for balconies, roof gardens, or patios.



SIGNAGE

To enhance the visual character of the Village and maintain a high level of quality the following design standards shall apply towards signage.

General Requirements: Signs shall be architecturally consistent with the style, materials, colors, and composition of the building.

A sign program shall be developed for buildings which house more than one tenant. Signs shall at a minimum be consistent with one another.

All signs shall be externally illuminated. All signs which project out from the building must have a minimum vertical clearance of nine feet.

Wall Signs: Wall signs shall be placed generally within a sign band located above the storefront and not exceed 80% of the linear frontage. Maximum size, per façade, is .75 square feet per linear foot or 24 square feet. Letters shall not exceed 18 inches and shall be mounted flush against the wall.

Awning and Canopy Signs: Sign lettering and/or logo shall not compromise more than 20% or 10 square feet of exterior surface. Awnings and canopies must be permanently attached to the building.



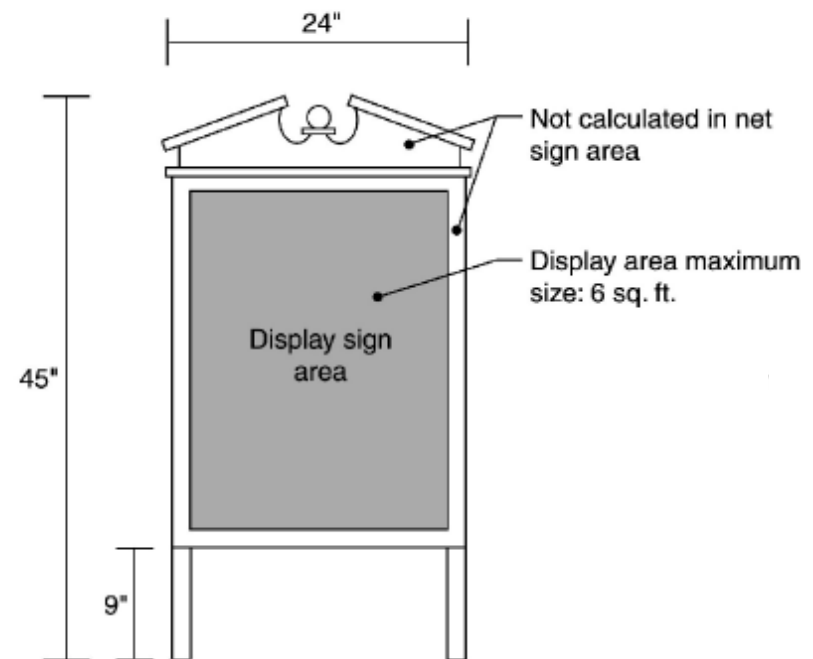
Projecting Signs: Signs shall project no more than 48 inches from the building face. Signs are limited to five square feet per side. Projecting signs shall be visually appealing with wrought iron mounting hardware.

Marquee Signs: Marquee signs are only allowed on theaters, cinemas, schools, performing arts facilities, parking structures, and religious institutions. The sign copy shall be limited to include only the facility's name and changeable copy related to present and future events. The facility portion shall be no larger than 40% of the sign area and the changeable copy portion no larger than 80%.

Window Signs: Window signs shall not exceed 10% of the window so that visibility into and out of the window is not obscured. Window signs shall be directly applied to the window or hung inside the window, concealing all mounting hardware and equipment.

Freestanding Signs: Freestanding signs must be ground mounted and architecturally harmonious with the character of the building. They must meet the size requirements of the Zoning Ordinance and be located in a landscaped area.

A-Frame Sidewalk Signs: There shall only be one a-frame sign per business and it must be located within five feet of the main entrance. Five feet of clear sidewalk must be maintained at all times and signs must be stored indoors during closed hours. Portable sidewalk signs shall be made of wood or decorative metal, with cast iron brackets, and shall be architecturally compatible with the style, composition, materials, colors and details of the building. No portable sidewalk sign shall exceed an overall height of forty-five (45) inches and an overall width of twenty-four (24) inches.



Village Historic (VH)

District Character

The purpose of the Village Historic District is to provide for small neighborhood oriented retail uses and services while integrating with existing residential uses. The district should connect to neighboring residential streets. The intent is to allow for commercial uses while creating a pedestrian connection to adjacent neighborhoods and open space.

Characteristics:

- The Historic District should have a strong pedestrian connection with building placement, orientation, and entries reinforcing the pedestrian path.
- Strong design guidelines will ensure any future development matches the existing traditional small town character of the area.
- Shared and public parking lots should be provided to encourage multi-business visits by the Village Historic patrons.

Parking: Parking requirements per zoning code except for the following exceptions:

- Shared parking must be taken into consideration for multi-use/multi-building projects.
- Minimal parking beyond zoning code requirements.
-



STREETSCAPE

The following streetscape design improvements will help to enhance the pedestrian environment. These improvements may be waived or modified by the Planning Commission subject to the waiver modification requirements outlined in Section 9.0 of the zoning code.

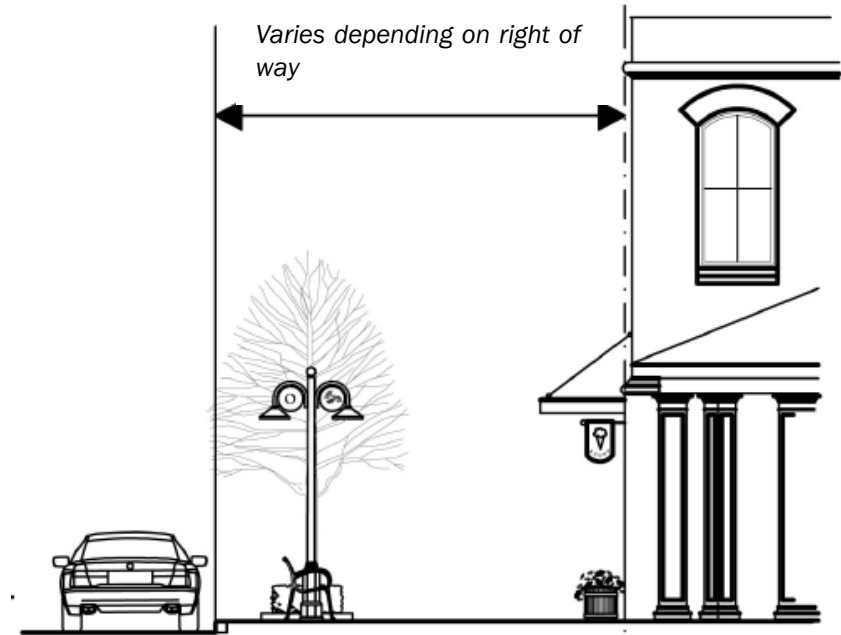
Lighting: Please refer to the VC/VG lighting standards.

Street Trees: Street trees should be placed approximately 25' o.c. within tree wells (with grates or hard pack pervious material). There should be bulbouts with accent trees at intersections and mid-block crossings.

Intersections: Pedestrian crossings should be clearly designated with wide stripping at a minimum. For retail streets accent paving such as interlocking pavers, brick in accent bands or scored and sand blasted concrete are strongly encouraged.

Sidewalk Design: Sidewalks should be a minimum of 6 to 16 feet wide and wider when deemed appropriate. Where seating is encouraged a minimum of 16 feet is desired.

Open Space: Please refer to Chart 1 for appropriate open space provisions within the VH District.



SITE PLANNING AND BUILDING TYPES

Buildings and site development should contribute to the existing historic nature of the neighborhood, while reinforcing the overall goal of creating a walkable district.

Parking: Attractive, landscaped parking areas should be located to the rear and sides of the building to encourage a pedestrian-friendly street edge.

Commercial Frontage: New commercial buildings should be built to the street or have a minimal landscape setback to define the street. Commercial building frontage should extend a minimum of 75% of the primary street frontage. Commercial parking should typically be behind buildings and never located on corner lots.

Building Design:

- The use of special storefront detailing, façade ornamentation, quality materials, unique signage and awnings or canopies can reinforce the pedestrian nature of the street.
- Facades should be articulated through architectural treatment in a relatively small rhythm of approximately 25'-30' and be generally vertical in proportion.

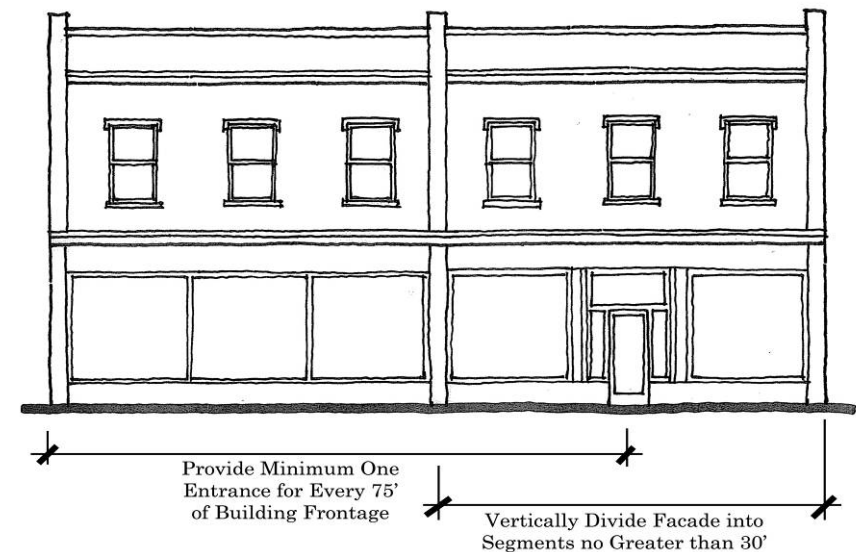
Setbacks: Setbacks will vary depending on existing improvements. All new construction, or renovations exceeding 50% of the floor area, shall provide a minimum six foot sidewalk. A six foot planting area is also required when possible between the pavement and the sidewalk. New commercial construction shall not have a setback greater than 10 feet from the front setback line. For the purposes of the VH District, the front setback line shall be defined as the

typical front setback for each building located on the same block as the subject site.

Height: New buildings shall have a minimum one story height of 18 feet and a maximum overall height of 35 feet unless determined by the Township additional height is appropriate. Commercial buildings shall have a minimum first floor interior height of 12 feet.

Façade Requirements: For new construction, please refer to the VC/VG for façade requirements.

Signage: Please refer to the sign requirements in the VC/VG Districts.



Village Transition (VT)

District Character

The purpose of the Village Transition District is to encourage and direct adaptive re-use of the existing buildings and homes while integrating with existing residential uses. The district should connect to neighboring residential streets. The intent is to allow for low intensity commercial uses while maintaining the residential character of the neighborhood.

Characteristics:

- Permit expanded commercial and retail uses to ensure Hamburg Road's viability, while maintaining the desirable traditional character of the existing structures along Hamburg Road north and south of the historic village core and surrounding residential areas.
- Provide a feasible alternative to strip commercial development along Hamburg Road and reuse of existing residential structures in the surrounding residential areas.
- Shared parking lots should be provided to reduce drive aisles and impervious surface.
- Encourage the renovation of buildings; ensure that new buildings are compatible with their context and the desired character of Hamburg Road and surrounding residential areas.

Parking: Parking requirements per zoning code except for the following exceptions:

- Shared parking must be taken into consideration for multi-use/multi-building projects.
- Minimal parking beyond zoning code requirements.



STREETSCAPE

The following streetscape design improvements will help to enhance the pedestrian environment. These improvements may be waived or modified by the Planning Commission subject to the waiver modification requirements outlined in Section 9.0 of the zoning code.

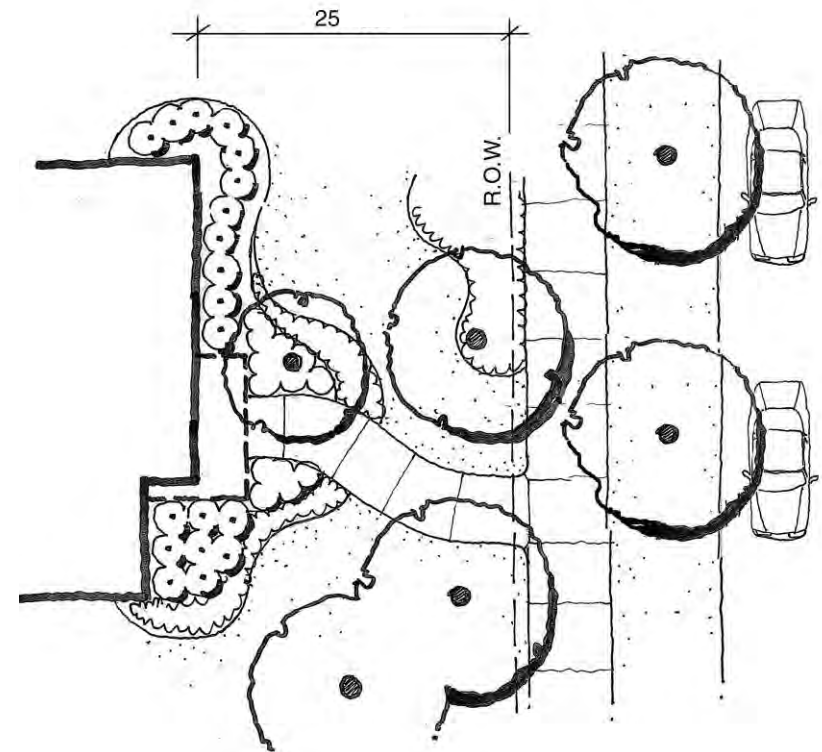
Lighting: Please refer to the VC/VG lighting standards.

Street Trees: Street trees should be placed approximately 50' o.c. within tree wells (with grates or hard pack pervious material). There should be bulbouts with accent trees at intersections and mid-block crossings.

Intersections: Pedestrian crossings should be clearly designated with wide stripping at a minimum. Accent paving such as interlocking pavers, brick in accent bands or scored and sand blasted concrete are strongly encouraged.

Sidewalk Design: Sidewalks should be a minimum of 6 feet wide and wider when deemed appropriate. Where seating is encouraged a minimum of 16 feet is desired. Accent paving such as interlocking pavers, brick in accent bands or scored and sand blasted concrete are strongly encouraged for sidewalks larger than 6 feet.

Open Space: Please refer to Chart 1 for appropriate open space provisions within the VH District.



SITE PLANNING AND BUILDING TYPES

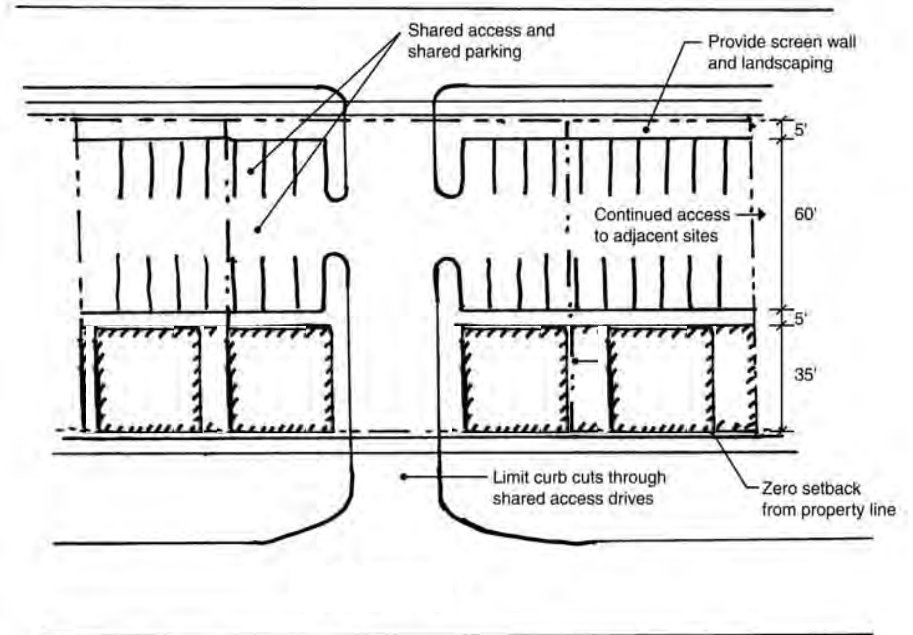
Buildings and site development should contribute to the historic nature of the area, define and frame Hamburg Road, while reinforcing the overall goal of creating a walkable district.

Parking: Attractive, landscaped parking areas should be located to the rear and sides of the building to encourage a pedestrian-friendly street edge. Adjacent uses are encouraged to share parking.

Building Design and Setback Requirements:

- The front building line of any new or expanded building in the VT District shall be located within 5 feet of the front setback line. For the purposes of the VT District, the front setback line shall be defined as the typical front setback for each building located on the same block as the subject site. However, in no case shall the front setback be more than 25 feet from the street right-of-way.
- All buildings shall have a pedestrian entrance at the front building façade.
- Rear entrances facing interior parking areas shall contain well designed pedestrian entrances and access points.
- The length of any building shall not exceed 60 feet. However, upon review by the Planning Commission, the length of a building may be increased up to 100 feet if the Commission finds that the proposal meets the intent of this Article, specifically the façade requirements detailed below.

B-Street



A-Street

Shared Parking is encouraged in the VT District

Height: New buildings shall have a minimum one story height of 18 feet and a maximum overall height of 35 feet unless determined by the Township additional height is appropriate.

Façade Requirements: All sites within the VT District are subject to the following architectural standards and the discretion of the Planning Commission:

New Buildings:

- All building facades shall relate to typical historic residential forms found along Hamburg Road and surrounding residential areas through the use of materials, architectural ornament, and details.
- All facades shall provide for pedestrian scale and create visual interest for the pedestrian, including but not limited to front porches, front entrances, bay windows, and other traditional residential scaled details.
- All buildings shall maintain the appearance and scale of individual residences.
- The principal building material shall consist of brick, stone, architectural masonry units and/or hardi-plank siding. Vinyl and aluminum siding is prohibited.
- All roofs shall be pitched and include variations such as dormers, hips, gables, or turrets.



Existing Buildings: Where an addition is being proposed for an existing building, the existing facade materials and design may be used on the addition, provided that the following criteria have been met:

- The addition does not exceed fifty (50) percent of the existing building floor area; all new facades substantially constitute a continuation of the existing facades with respect to color, texture, size, height, and location of materials; and that the visual effect is to make the addition appear as part of the existing building.
- If the addition exceeds fifty (50) percent of the existing building floor area, the entire building shall be brought into full compliance with the façade requirements above.

Signage: All uses shall be subject to the sign standards of the VC/VG District. When a new use, construction of a new building, or additions are proposed to an existing building, all existing signage must be brought into compliance with current ordinance requirements and is subject to the review of the Planning Commission as part of a master sign plan. The following additional requirements apply for all signs within the VT District:

- All ground signs shall be of wood or masonry construction. The message panel of all signs shall be painted, routed, individually formed wooden letters, or pin mounted letters.
- Not more than 3 colors, excluding a background color, may be used on a sign in the VT District.



Village Residential 2/10 (VR-2, VR-10)

District Character

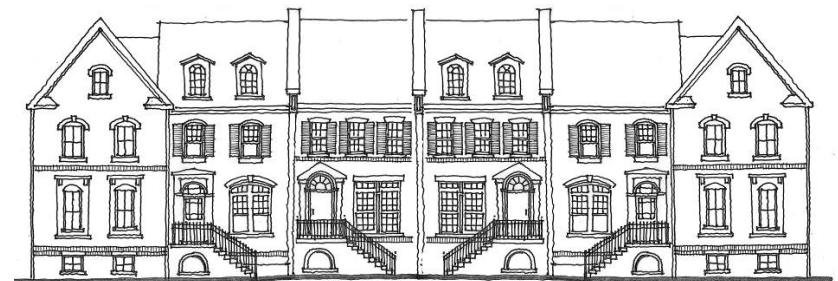
The purpose of the Village Residential Districts are to provide a variety of predominantly residential uses which include different housing opportunities while providing services such as parks, schools and convenience shops designed to encourage walking and biking minimizing the impact of the automobile. The intent is to create high quality residential neighborhoods, which are integrated with other neighborhoods, as well as other districts.

Village Residential 2 will act as a transition area within the southern portion of the Village north of Strawberry Lake Road.

Characteristics:

- New streets, bikeways, paths and trails should connect to existing adjacent neighborhoods and create a unifying circulation network.
- Traffic calming measures should be used to eliminate shorts cuts and support a desirable living environment.
- Multiple connecting streets within a residential neighborhood should knit a neighborhood together, not from barriers.
- The street network should lead to major amenities such as retail centers, shops, schools, parks and community facilities.
- Street and path systems should focus on important vistas such as community buildings, woodlands or open spaces.
- There should be a wide variety of residential building types and living opportunities within a neighborhood including small lot single-family, duplexes, townhomes, row homes, garden apartments, and flats.

-
-
- Residential densities shall generally transition from greater intensities near other districts or neighborhood nodes and to medium or lesser densities at community edges or major open space systems.



Parking: The following parking requirements per zoning code except for the following exceptions:

- Visitor parking for residential uses allowed on-street.
- Convenience retail parking on-street is allowed.
- Churches shall institute shared parking programs with convenience retail/business service uses adjacent. Each is allowed a 15% reduction in required parking.

STREETSCAPE

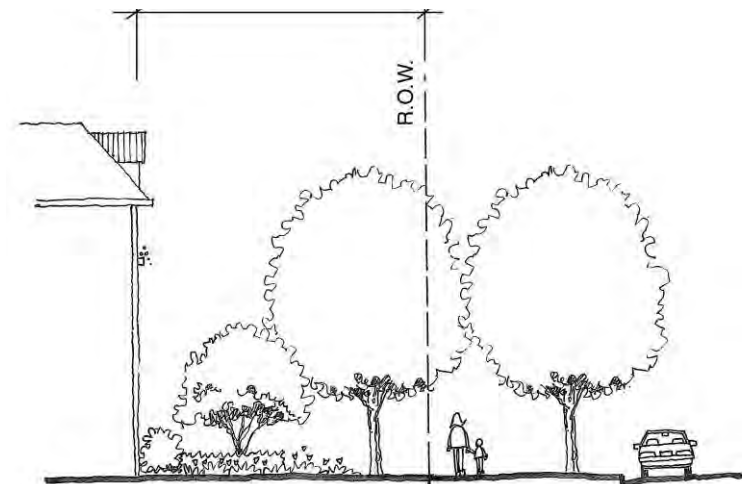
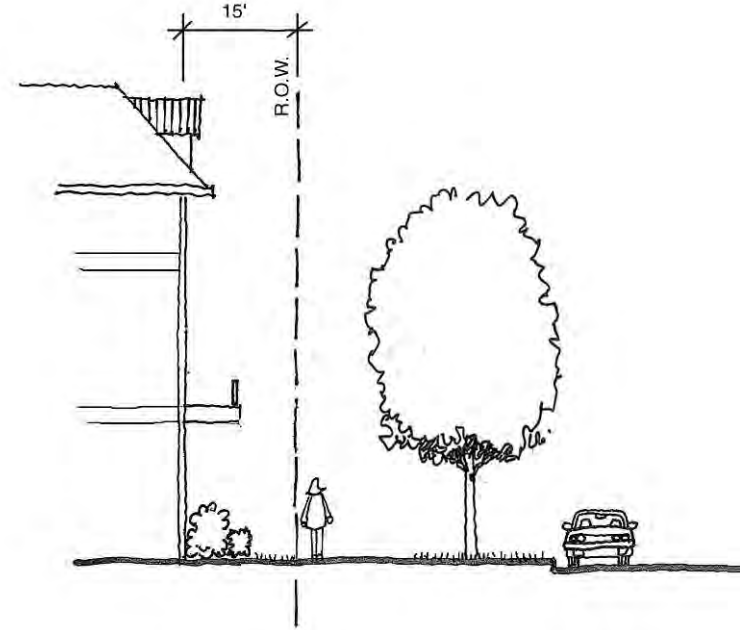
The following streetscape design improvements will help to enhance the pedestrian environment.

Lighting: Streetlights should be scaled for lighting the pedestrian way at approximately 12' in height and 50' o.c. Additional lighting may include accent lights along residential pathways or landscaping.

Street Trees: Street trees should be placed approximately 30– 50' o.c. There should be bulbouts with accent trees at intersections and mid-block crossings.

Intersections: Pedestrian crossings should be clearly designated with wide stripping at a minimum. Accent paving such as interlocking pavers, brick in accent bands or scored and sand blasted concrete are strongly encouraged.

Sidewalk Design: Sidewalks should be a minimum of 6 feet wide and wider when deemed appropriate.

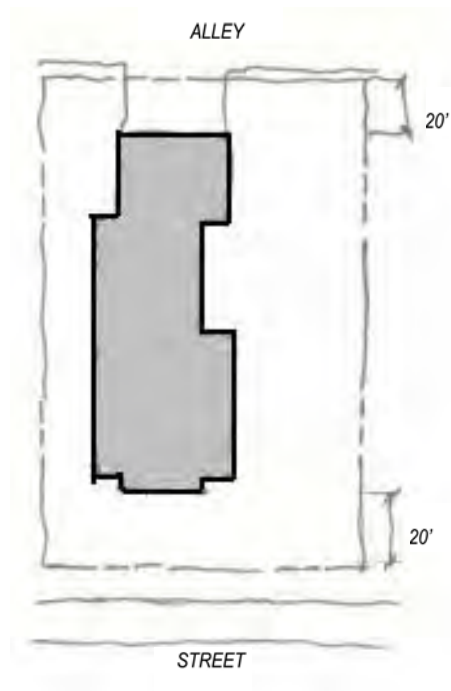


SITE PLANNING AND BUILDING TYPES

The following site planning and building type standards will help to create an attractive environment in the VR Districts:

Building Location: Buildings and site development should contribute to a cohesive urban pattern, define and frame the public street and open space system, and reinforce the overall goal of creating a walkable district.

Residential Frontage: Residential Buildings should be built to the street or have a minimal front porch setback with raised entries.



Building Design:

VR-10

Units range from 600 sq. ft. one bedrooms to 1,500 sq. ft. for three bedrooms.

Primary building entrances shall be oriented towards streets, parks or pedestrian plazas.

Ground floor units shall have individual entries directly from the street.

The buildings may be accessed through a common entry with an elevator and stair core to a series of double loaded corridors.

Buildings should be organized around a large semiprivate open space that provides for quality landscaping, tot lots and building buffer space.

Front yard setbacks shall generally range from 0-15 feet.

Façade Requirements:

- The architectural features, materials, and building articulation shall be continued on all sides visible from a public street.
- The front façade of the principal building shall face onto the public street.
- The front façade shall not be oriented to face directly to a parking lot.
- Porches, roof overhangs, pent roofs, or other similar architectural features shall define the front entrance to all residences.
- Front loaded garages are discouraged. Any front loaded garages must be recessed a minimum of 10 feet.

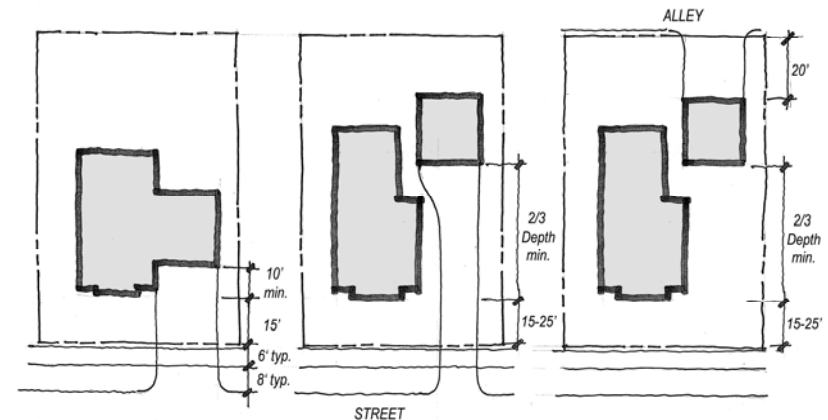
Open Space: Please refer to Chart 1 for appropriate open space provisions within the VR Districts.

Signage: Both districts may have address signage, accessory signage not exceeding two square feet, private traffic signs, and one real estate sign per dwelling unit for sale. Subdivisions are also permitted one sign per vehicle entrance, located on private property, and not to exceed 20 square feet. All signage is still subject to Zoning Ordinance requirements. In addition VR-8 may have the following:

- Up to eight square feet of accessory signage.
- Signs identifying community facilities. Not to exceed 15 square feet not closer than 30 feet to a single family residential property line.
- Garages with access from an alley



Garages with access from an alley



Garage setback from the front façade are encouraged.

INDUSTRIAL (LI/GI)

District Character

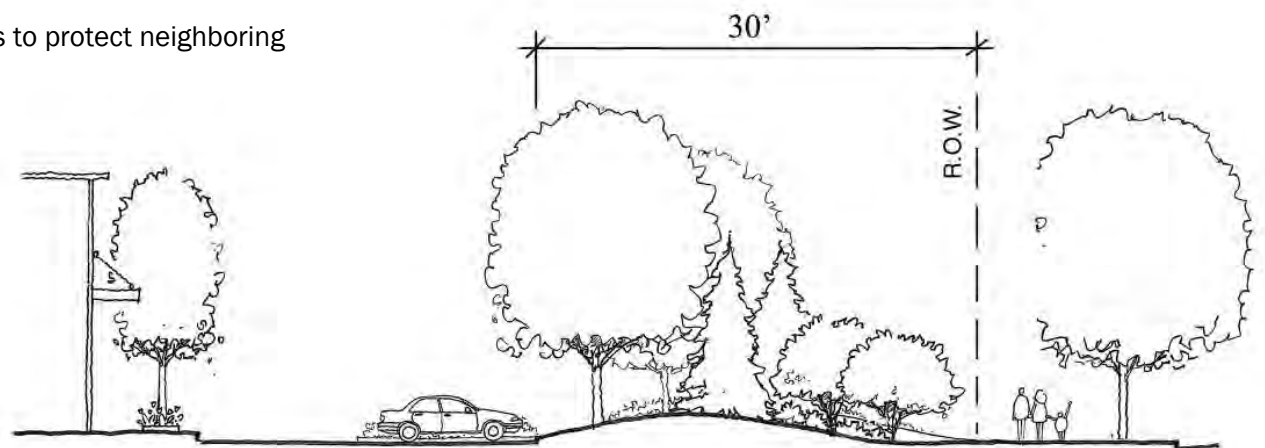
The Industrial District is intended to encourage innovative research, office, and light industrial uses, but at all times to protecting the neighboring residential districts from any adverse impacts. It shall also maintain the Village character by providing a walkable environment and utilizing high quality design. The District is designed to encourage unified complexes of research, office and light industrial uses, with high tech and multi-use facilities in a planned environment.

Characteristics:

- The Industrial District shall maintain the integrity of the Village by placing buildings on the street front along Industrial Drive.
- Innovative industrial/technical uses are encouraged.
- Shared parking lots are encouraged to reduce impervious surfaces.
- Stringent landscape requirements to protect neighboring residential uses.

Parking: Parking requirements per zoning code except for the following exceptions:

- Shared parking must be taken into consideration for multi-use/multi-building projects.
- Minimal parking beyond zoning code requirements.
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STREETSCAPE

The following streetscape design improvements will help to enhance the pedestrian environment. These improvements may be waived or modified by the Planning Commission subject to the waiver modification requirements outlined in Section 9.0 of the zoning code.

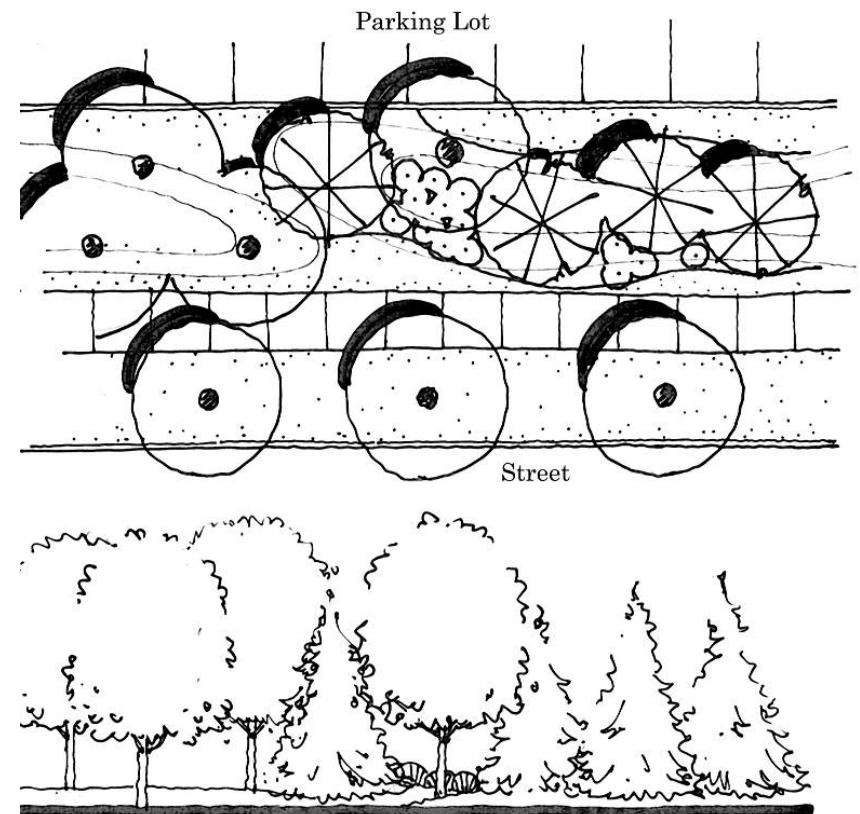
Lighting: Please refer to the VC/VG lighting standards.

Street Trees: Street trees should be placed approximately 50' o.c. within tree wells (with grates or hard pack pervious material).

Intersections: Pedestrian crossings should be clearly designated with wide stripping at a minimum.

Sidewalk Design: Sidewalks should be a minimum of 6 to 10 feet wide.

Open Space: Please refer to Chart 1 for appropriate open space provisions within the Industrial District.



SITE PLANNING AND BUILDING TYPES

Commercial Frontage: Buildings along Industrial Drive are encouraged to be built to the street or have a minimal landscape setback to define the street. Industrial building frontage should extend a minimum of 65% of the primary street frontage. Customer and employee parking should typically be behind and to the side of buildings and never located on corner lots.

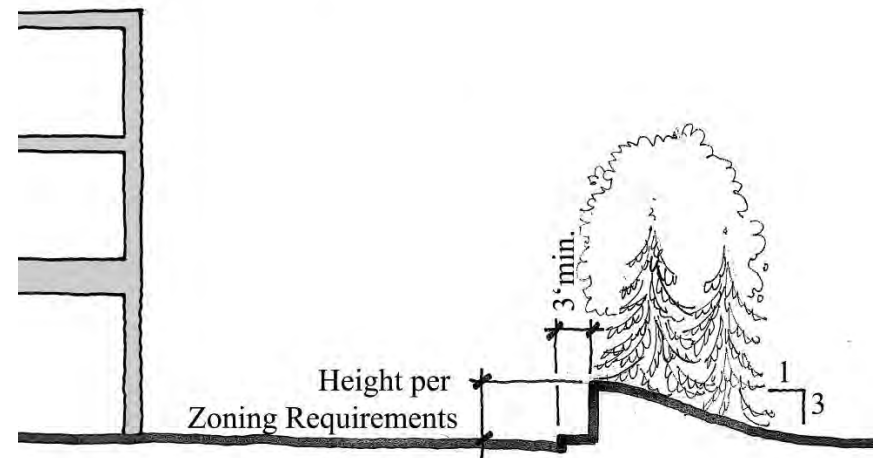
Parking: Attractive, landscaped parking areas should be located to the rear and sides of the building to encourage a pedestrian-friendly street edge.

Building Design:

- Buildings along Industrial Drive are encouraged to maintain the street frontage, while buildings located off of private drives may have one row of parking in front behind a 30 foot landscaped setback.
- Buildings located on Industrial Drive should have facades articulated through architectural treatment in a relatively small rhythm of approximately 50' and be generally vertical in proportion.
- Building entrances shall be clearly visible from a public street.
- Front facades shall have a minimum 40% transparency along Industrial Drive.

Setbacks: Maximum front setback of 30 feet must be landscaped. One row of parking is allowed in front of the building located behind the landscape buffer. Zero front setbacks are encouraged along Industrial Drive.

Height: Height shall be determined in conjunction with the Zoning Ordinance and the Township Planning Commission. First floor ceiling heights with a minimum of 15 feet are encouraged.



Screening Requirements for Industrial Uses Backing to Residential

Natural River (NR)

District Character

The purpose of the Natural River District is to preserve and enhance the values of the Huron River area and implement the objectives embodied in the Huron River Management Plan.

Characteristics:

- New streets, bikeways, paths and trails should connect to existing adjacent neighborhoods and create a unifying circulation network.
- Discourage the building of private property against the river as to eliminate it from public access.
- Encourage preservation and public areas along the river frontage.
- To prevent ecological damage due to overbuilding this sensitive area.
- Street and path systems should focus on important vistas such as the river, community buildings, woodlands or open spaces.
- To promote the recreational values of the River.

Parking: The following parking requirements per zoning code except for the following exceptions:

- Visitor parking for recreational uses allowed on-street.



STREETSCAPE

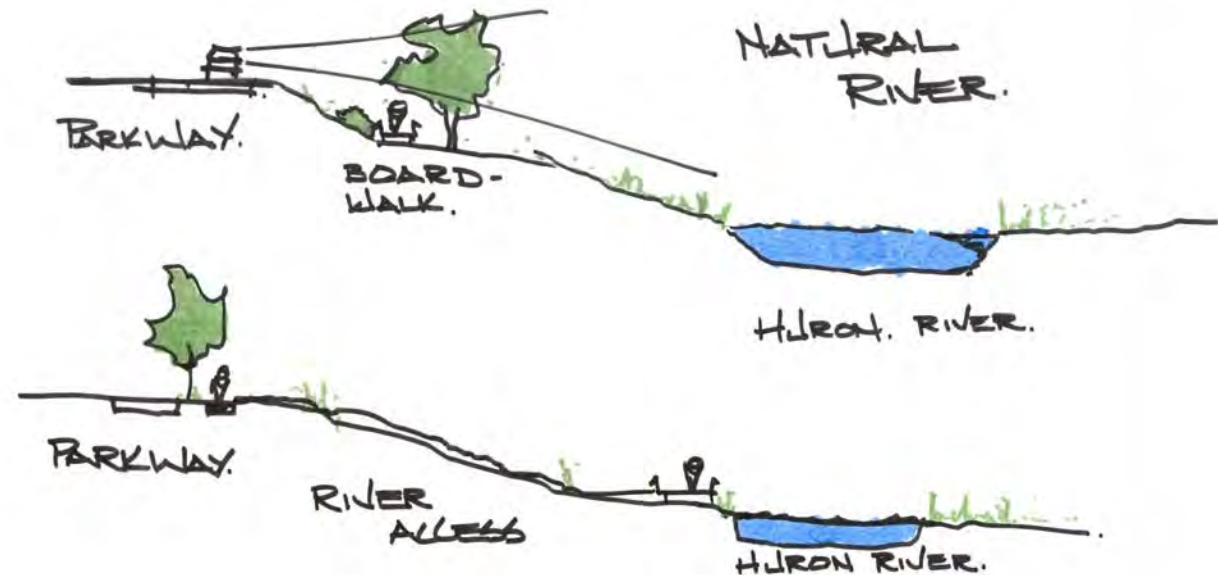
The following streetscape design improvements will help to enhance the pedestrian environment. These improvements may be waived or modified by the Planning Commission subject to the waiver modification requirements outlined in Section 9.0 of the zoning code.

Lighting: Streetlights should be scaled for lighting the pedestrian way at approximately 12' in height and 50' o.c. Additional lighting may include accent lights along residential pathways or landscaping.

Street Trees: Street trees should be placed approximately 50' o.c. or according to Zoning Requirements/Open Space Plan whichever is more stringent.

Intersections: Pedestrian crossings should be clearly designated with wide stripping at a minimum. Accent paving such as interlocking pavers, brick in accent bands or scored and sand blasted concrete are strongly encouraged.

Sidewalk Design: Sidewalks should be a minimum of 6 feet wide and wider when deemed appropriate.



SITE PLANNING AND BUILDING TYPES

The following site planning and building type standards will help to create an attractive environment in the NR District:

Building Location: Buildings and site development should contribute to the protection of the natural river areas as well as providing accessibility to the public. Homes should front on to a public street lining the river as opposed to homes backing onto the River.

Residential Frontage: Residential Buildings should be built facing the street with a 15-25 foot front porch setback with raised entries.

Façade Requirements:

- The architectural features, materials, and building articulation shall be continued on all sides visible from a public street.
- The front façade of the principal building shall face onto the public street.
- Porches, roof overhangs, pent roofs, or other similar architectural features shall define the front entrance to all residences.
- Front loaded garages are discouraged. Any front loaded garage must be recessed a minimum of 10 feet.



Open Space: Please refer to Chart 1 for appropriate open space provisions within the NR Districts.

Signage: Both districts may have address signage, accessory signage not exceeding two square feet, private traffic signs, and one real estate sign per dwelling unit for sale. Subdivisions are also permitted one sign per vehicle entrance, located on private property, and not to exceed 20 square feet. All signage is still subject to Zoning Ordinance requirements.



IV. Plan Implementation

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Other / Private Responsibility

CF - Community Foundation

GI - Greenways Initiative

Other / Public Responsibility

County - Livingston County

MEDC - Mich Econ Dev Corp

P&Z - Planning and Zoning Admin

■

Significant Involvement

KEY	AREA	PROJECT	IMPORTANCE	TIMEFRAME		PRIVATE RESPONSIBILITIES				APPROVALS			FUNDING OPPORTUNITIES			PROJECT	
				Plan/Design	Implement	Township Supervisor	Other	County/ State/ Federal	Property Owner	Other	Township Board	Plan Comm	Other...	Public	SAD		Private
Planning																	
Update Zoning Ordinance			1	1	1		PC/TB				■	■	■			Planning	
Codify design guidelines			1	1	1		PC/TB				■	■				Codify design guidelines	
Civic Spaces																	
Connection to Municipal Park			3	4	4	1			2		■	■		■	■	Civic Spaces	
Lakeland Trail Connection to the east			3	3	4	2			1		■	■		■	■	Lakeland Trail Connection to the east	
Mixed-Use Development																	
Recruit developers			1	1	1		P&Z	MEDC						■		Recruit developers	
Assemble property			2	1	4	2	P&Z							■	■	Assemble property	
Business recruitment			1	1	1		P&Z	MEDC						■		Business recruitment	
Pedestrian Improvements																	
<i>M-36</i>																<i>M-36</i>	
Complete path on south & west			1	1	2		P&Z	County	1						■	■	Complete path on south & west
Uniform Lighting Standard			2	2	2		P&Z	MDOT								■	Uniform Lighting Standard
Provide cross walk to north side			2	2	2		P&Z	MDOT	2					■	■	■	Provide cross walk to north side
Benches/furnishings			2	2	2		P&Z		2					■	■	■	Benches/furnishings
Hamburg Road																	
Widen and Repair Sidewalks			1	1 or 2	2	1	P&Z					■		■	■	■	Widen and Repair Sidewalks
On-street parking			2	1 or 2	2	1	P&Z				■			■			On-street parking
Improve pedestrian lighting			1	1 or 2	2		P&Z							■	■		Improve pedestrian lighting
Plant additional street trees			2	1 or 2	2		P&Z		2					■	■	■	Plant additional street trees
Connections																	
Improve pedestrian signage			1	1	1	2	P&Z						MDOT	■	■	■	Improve pedestrian signage
Develop historical/interpretive signs			3	1 or 2	2		P&Z							■	■	■	Develop historical/interpretive signs
Develop Lakeland Trail entry			1	1 or 2	2		P&Z	County				■	MDOT	■		■	Develop Lakeland Trail entry
Vehicular																	
M-36 widening			3	2	4	2		MDOT	1		■	■	MDOT	■	■	■	M-36 widening
Adopt Access Management Standards			1	2	2			MDOT	2				MDOT	■	■	■	Adopt Access Management Standards
Gateways																	
M36/Village Gateways			1	1 or 2	2	2	P&Z					■			■	■	M36/Village Gateways

Appendix A

Table of Permitted Uses by District

P = Principal Use S = Special Use = ☐ = Prohibited Use *(current zoning ordinance sections, subject to change)

USES	DISTRICTS								Supplemental Use Standards*
	VG	VC	VH	VT	VR-2	VR-10	LI/GI	NR	
ANIMAL AND AGRICULTURAL USES									
Greenhouses, Nursery Sales, Garden and Feed Centers							S		
Raising and Keeping of Horses or Other Domestic Animals								S	Section 7.7.1
RESIDENTIAL USES									
Accessory Dwelling Units	S		S	P	S	P			Section 8.27
Adult Foster Care Large/Small Group Home								S	Section 8.26
Apartments	P	P	P		S	P			Section 8.23
Bed and Breakfast Inns	S	S	S	S				S	Section 8.24
Childcare Center or Day Care Center	S	S			S	S			Section 8.7
ECHO	S				S	P			Article 15.00
Family Day Care Home (up to 6 children)	P			P	P	P		P	
Group Day Care Home (7 to 12 children)	S			S	S	S		S	Section 8.7
Home Occupations	S			S	S	S		P	Section 8.1
Live-Work Units	P	P	P	P					
Single-Family Detached Dwellings	S		S	P	P	P		P	TBD
Townhouses	S				S	P			
OFFICE, SERVICES, AND COMMUNITY USES									
Banquet Halls, Private Clubs, and Fraternal Halls	S	S	S						
Business and Professional Offices up to 1,500 Sq. Ft. GFA	P	P	P	P					
Business and Professional Offices up to 5,000 Sq. Ft. GFA	P	P	P						

USES	DISTRICTS								Supplemental Use Standards*
	VG	VC	VH	VT	VR-2	VR-10	LI/GI	NR	
Business and Professional Offices up to 10,000 Sq. Ft. GFA	P	S							
Business and Professional Offices greater than 10,000 Sq. Ft. GFA	S	S					P		
Churches and Other Buildings Associated with Religious Worship (seating capacity of <u>not</u> more than 300 persons)	P	P	P	P				S	
Churches and Other Buildings Associated with Religious Worship (seating capacity of more than 300 persons)	S	S	S	S				S	
Drive-Through Service	S	S					P		
Funeral Homes up to 5,000 Sq. Ft. GFA and Mortuaries	P	P					P		
Gasoline Service Stations							P		
Indoor Recreation Centers such as Fitness and Health Clubs, Batting Cages, Bowling Alleys, Skating Rinks, and Athletic Courts	S	S	S						
Music/Dance Studios; Technical or Vocational Training Facilities up to 5,000 Sq. Ft. GFA	P	P							
Natural Study, Hiking, and Pedestrian Paths; Boardwalks; and Conservation and Environmental Interpretative Areas (kiosks, overlooks, open shelter, etc.)								P	
Outdoor Retail Sales/Display	S	S	S	S			P		
Personal Service Establishments - Barber Shops, Beauty Salons, and Laundry Pick-up up to 1,500 Sq. Ft. GFA	P	P	P	P					
Personal Service Establishments - Barber Shops, Beauty Salons, and Laundry Pick-up up to 5,000 Sq. Ft. GFA	P	P	P	S					
Public Buildings, Post Offices, Libraries, Fire Stations, Community Centers, Public Maintenance Buildings	P	P	P	P				S	

USES	DISTRICTS								Supplemental Use Standards*
	VG	VC	VH	VT	VR-2	VR-10	LI/GI	NR	
Public or Private Elementary, Junior and Senior Schools, and Institutions of Higher Education	S	S	S	S	S	S		S	Section 8.6
Public or Private Golf Courses, Parks, Recreation Clubs and Open Spaces								S	
COMMERCIAL USES									
Banking and Financial Institutions up to 1,500 Sq. Ft. GFA	P	P	P	P					
Banking and Financial Institutions up to 5,000 Sq. Ft. GFA	P	P	P				P		
Body, Paint, and Repair Shops for Autos and Other Vehicles							P		
Drive-Through Service	S	S					P		
Food and Beverage Service Establishments (restaurants; dairy bars; taverns; outdoor cafes) up to 5,000 Sq. Ft. GFA	P	P	S	S					
Food and Beverage Stores (groceries; fruit/meat; baked goods; dairy; beverages/liquor up to 1,500 Sq. Ft. GFA	P	P	P	P					
Food and Beverage Stores (groceries; fruit/meat; baked goods; dairy; beverages/liquor up to 5,000 Sq. Ft. GFA	P	P	S	S					
Non-Residential Uses Greater Than 5,000 Sq. Ft.	S	S	S				P		
Outdoor Retail Sales/Display	S	S	S				P		
Planned Community Shopping Centers	P	P							TBD
Repair Shops (bicycles; appliances; shoes; jewelry; small motors <u>not</u> motor vehicles) up to 1,500 Sq. Ft. GFA	P	P	P	P					
Repair Shops (bicycles; appliances; shoes; jewelry; small motors <u>not</u> motor vehicles) up to 5,000 Sq. Ft. GFA	P	P	S						
Retail Stores up to 1,500 Sq. Ft. GFA	P	P	P	P					
Retail Stores up to 5,000 Sq. Ft. GFA	P	P	S						
Sale of Goods at Wholesale							P		

USES	DISTRICTS								Supplemental Use Standards*
	VG	VC	VH	VT	VR-2	VR-10	LI/GI	NR	
Sales, Rental, Services, and Repair of Motor Vehicles, Farm Machinery, Boats, Trailers, and Heavy Equipment, including Power Plants							P		
INDUSTRIAL, RESEARCH, AND LABORATORY USES									
Asphalt and other Bituminous Plants							S		
Bulk Storage of Petroleum and Chemical Products, Flammable Liquids or Gasses							S		
Concrete or Concrete Products Manufacture									
Construction and Farm Equipment Sales							P		
Contractor's Establishment							P		
Manufacturer of Stone or Tile Products							P		
Manufacturing, Processing, or Assembling of such products as Food Products, Pharmaceutical and Cosmetic Products, Appliances, Electrical Parts, Scientific Instruments, Office Machines, and Metal Products Except Heavy Machinery and Transportation Equipment							P		
Manufacturing of Heavy Equipment and Machinery							P		
Open Industrial Uses or Industrial Products or Materials Storage							P		
Packaging Operations but not including Baling or Discarded or Junk Materials, such as but not limited to Paper, Cloth, Rags, Lumber, Metal, or Glass							P		
Planned Industrial Parks							P		LI, Light Industrial
Plating							S		
Printing, Publishing, and Related Activities							P		
Public and Private Sanitary Landfills, Incinerators, and Junkyards							S		

USES	DISTRICTS								Supplemental Use Standards*
	VG	VC	VH	VT	VR-2	VR-10	LI/GI	NR	
Public Service Installations, Public Utility Buildings and Structures for Gas, Water, and Electrical Service, Telephone Exchanges, and Transformer Stations and Substations, including the Storage of Equipment and Vehicles but not including Power Plants							P		
Quarries and Sand and Gravel Pits							S		
Research and Testing Facilities							P		
Retail Uses which have an Industrial Character in terms of either Outdoor Storage or Display Requirements or Activities such as Lumber Yards or Building Supplies							S		
Shops for Plumbing, Sheet Metal, Woodworking, Machine Work, and Tool and Die Making							P		
Trucking and Cartage Facilities, Trucks and Industrial Equipment Storage Yards, Repairing, and Washing Equipment and Machinery							P		
Warehousing and Material Distribution Centers							P		
OTHER USES									
Accessory Buildings and Structures			P	P			P	P	Section 8.3
Essential Services		P		P	P	P	P	P	Section 8.4
Signs	P	P	P	P	P	P	P	P	Section 8.2

Acknowledgements

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APPENDIX A

IMPLEMENTATION MEASURES

Appendix A

Implementation Matrix

The implementation matrix identifies projects or initiatives the Township could undertake or complete in the period between master plan updates. The matrix is a guide, not an exhaustive list, to projects or initiatives that could be considered by the township during this period.

The matrix should be reviewed annually. During the annual review of this matrix the Township may create more specific tasks to enact each of the implementation measures. For example the first implementation measure is to *“Provide formal and informal opportunities for residents to engage in physical activity through offering active transportation options, creating recreational opportunities in the existing parks and by expanding parklands and trails.”* In the first yearly review of the Master Plan the Township could create a task such as applying for a grant with the state to secure funding for a specific trail connection.

The projects or initiatives identified in the matrix are intended to achieve and implement the goals in the Master Plan. Each project or initiative may support the goals identified in a specific topical chapter or may support goals within multiple topic areas. This is consistent with the approach the Planning Commission has taken throughout the master planning process in that there has been a recognition of cross cutting themes that related to multiple important topics or subtopics.

Responsibility

The Master Plan has been developed by the Planning Commission for the Township and is intended to be a comprehensive plan that identifies community wide goals that will help to achieve the land use goals and infrastructure needs of the Township. Some of the projects or actions identified in the matrix are tasks that must be initiated and carried out by the Township Board (TB) as legislative acts while other tasks can be carried out by the Planning Commission (PC) with the understanding that the ultimate legislative body is the Township Board. Finally, there are some projects and actions that may be carried out administratively (Admin) or by other entities with the direction and discretion of the Township Board. Each year the Township should review these measure to create tasks that will help execute each item.

Components of the Matrix

- Implementation Measure: Identification of a project or action that the township could take in order to implement the policies identified in the Master Plan.
- Responsibility: Identification of the entities that may be responsible for addressing the specific implementation measure.
- Goals Supported: Identification of the overarching topics from the document with policies that are generally supported by the project or initiative identified.

Implementation Measure	Responsibility	Goals Supported
1. Provide formal and informal opportunities for residents to engage in physical activity through offering active transportation options, creating recreational opportunities in the existing parks and by expanding parklands and trails.	TB/ Admin	General (G1)
2. Promote social engagement opportunities for all community members.	TB/ Admin	General (G1)
3. Broaden access to, and availability of, fresh and healthy food options; by working with existing farm operations and existing businesses and encouraging new opportunities to offer these types of food options within the community.	TB	General (G1)

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4. Promote equality for all within the Township.	TB	General (G1)
5. Promote recycling throughout the Township.	TB	General (G1)
6. Continue to follow the regulations and land uses allowed by the Township Zoning Map and Ordinance.	Admin	All Goals
7. Provide utility improvements in locations best suited for development to support managed growth. When contemplating the continuation of public sanitary sewer the allowed and existing density and soils conditions of the areas should be considered.	TB	Land Use (G2) Natural Resources (G8)
8. Create zoning regulations that incentivize growth in areas most appropriate for development.	PC	Land Use (G2, G3)
9. Develop additional zoning regulations to encourage residential clustering and allows for a wider variety of uses on land that is actively farmed.	PC	Land Use (G2)
10. Review the floodplain and wetland regulations in the zoning ordinance to ensure the regulations: comply with state and federal regulations; clearly address requirements for submission of a development project on an impacted lot; and protect properties, structures, and people from floodplain development impact.	PC	Land Use (G2) Natural Features (G8)
11. Develop zoning regulations that encourage the use low impact development techniques, including green infrastructure regulation, for new development projects.	PC	Land Use (G2) Natural Features (G8)
12. Provide educational opportunities (i.e., classes, updated website information, and informational handouts) to property owners to provide them a better understanding of the regulations and development opportunities of their properties.	Admin	All
13. Review zoning regulations to see if there are additional opportunities to promote improved site design for new development and redevelopment of existing sites through site development and architectural standards.	PC	Land Use (G2, and G3)
14. Encourage developers to work with the Township and to utilize the Planned Unit Development regulations in the Zoning Ordinance	Admin	Land Use (G2, and G3) Natural Features (G8)
15. Develop zoning regulations to address possible problems associated with development of nonconforming lots of record. For example where two or more contiguous nonconforming lots are under single ownership they shall be considered to be an individual lot if the lots are constrained and could not be reasonably developed separately under the zoning regulations or other local, state or federal regulations.	PC	Land Use (G2)
16. Develop zoning regulations that encourage a mix of different housing types.	PC	Land Use (G3)
17. Develop zoning regulations that relax certain requirements to incentivize senior housing development opportunities and services in specific locations within the Township.	PC	Land Use (G3)

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18. Create zoning regulations that promote universal access design within developments.	PC	Land Use (G3)
19. Revise the zoning regulations execute the goals and objectives of the Village Center Master Plan.	PC	Land Use (G4)
20. Work with the property owners, residents, and business owners within the Village Center to implement the goals of the Village Center Master Plan.	Admin	Land Use (G4)
21. Incentivize commercial property owners within the historic village area to provide an authentic sense of place for community identification and growth within the township.	TB	Land Use (G4)
22. In the commercial zoning districts allow residential uses on all levels other than the main (ground) level.	PC	Land Use (G4)
23. Support commercial property owners by encouraging and incentivizing clean-up and occupancy of their properties.	TB	Land Use (G4)
24. Continue to assist the LCRC and township residents to repair the existing roadways and other transportation networks.	TB	Transportation (G4, G5 and G6)
25. Implement zoning regulations that encourage vehicular and non-motorized connectivity between developments and neighboring developments, recreation facilities, commercial areas, township services, and schools during the site plan review process.	PC	Transportation (G4, G5 and G6)
26. Work with the MDOT and LCRC to create a complete streets implementation plan to follow when repairing or replacing existing roadways.	Admin/ TB	Transportation (G4, G5 and G6)
27. Work with Livingston County and the surrounding communities to implement the Livingston County Transit Master Plan and to provide mass transportation opportunities when needed.	TB	Transportation (G4,G5, and G6)
28. Implement existing access management regulations and develop new access management regulations that will provide safer access to the main thoroughfares throughout the Township.	Admin/ PC	Transportation (G4, G5 and G6)
29. Traffic impact evaluations/studies should be required on large-scale developments.	Admin/ PC	Transportation (G4, G5 and G6)
30. Continue to work with the LCRC and MDOT on improvement to the roadway systems. These improvements should have a positive effect on traffic flow and safety and should including but not be limited to intersection improvements, traffic signals, road widening, roundabouts, bulb outs, and speed limit controls.	TB	Transportation (G4, G5 and G6)
31. Review and develop more comprehensive standards for private roadways. In developments where private roads may need to be designed to a standard higher than the minimum private road standards, these private roadways should be designed to meet the public roadway standards. Example situations may include but are not limited to roadways that at present or in the future may be dedicated for public use, contribute to the continuity in the public street system, offer access to adjacent undeveloped parcels, expect relatively high traffic volumes, abut a relatively high density development or have a significant amount of on-street parking.	TB	Transportation (G4, G5 and G6)

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32. Encourage alternative transportation opportunities during the review of new development projects.	All	Transportation (G5, G6, and G7)
33. Work with developers to implement the landscape regulations of the zoning ordinance, by requiring landscape buffers along main thoroughfares, and by preserving natural features such as scenic vistas and forested areas by allowing clustered developments.	Admin	Transportation (G5, G6, and G7) Natural Resources (G8)
34. Continue to provide educational opportunities to educate staff and the citizen on floodplain and wetland regulations.	TB/ Admin	Natural Resources (G8)
35. Encourage the use of native species to fulfill landscaping requirements.	PC	Natural Resources (G8)
36. Review the township's regulations regarding the use of the waterways and consider regulations to better protect these natural resources (limit the number of boats on lake front lot, requiring minimum lot shore lengths on waterways for new lots, and/or create more enforceable regulations regarding the usage of docks)	PC	Natural Resources (G8)
37. Work with the State, County, and Huron River Watershed Council to inventory areas where significant streambank erosion occurs. Once this inventory is complete consider possible regulations to better protect these areas from future development.	TB	Natural Resources (G8)
38. Revise the review process for site plan applications by including the Livingston County Public Health Department and other interested agencies in initial review of projects.	Admin	Natural Resources (G8)
39. Develop zoning regulations for clean energy sources.	PC	Land Use (G4) Natural Resources (G8)

APPENDIX B

DEMOGRAPHICS



DP-1

Profile of General Demographic Characteristics: 2000

Census 2000 Summary File 1 (SF 1) 100-Percent Data

NOTE: For information on confidentiality protection, nonsampling error, definitions, and count corrections see <http://www.census.gov/prod/cen2000/doc/sf1.pdf>

Subject	United States	
	Number	Percent
Total population	281,421,906	100.0
SEX AND AGE		
Male	138,053,563	49.1
Female	143,368,343	50.9
Under 5 years	19,175,798	6.8
5 to 9 years	20,549,505	7.3
10 to 14 years	20,528,072	7.3
15 to 19 years	20,219,890	7.2
20 to 24 years	18,964,001	6.7
25 to 34 years	39,891,724	14.2
35 to 44 years	45,148,527	16.0
45 to 54 years	37,677,952	13.4
55 to 59 years	13,469,237	4.8
60 to 64 years	10,805,447	3.8
65 to 74 years	18,390,986	6.5
75 to 84 years	12,361,180	4.4
85 years and over	4,239,587	1.5
Median age (years)	35.3	(X)
18 years and over	209,128,094	74.3
Male	100,994,367	35.9
Female	108,133,727	38.4
21 years and over	196,899,193	70.0
62 years and over	41,256,029	14.7
65 years and over	34,991,753	12.4
Male	14,409,625	5.1
Female	20,582,128	7.3
RACE		
One race	274,595,678	97.6
White	211,460,626	75.1
Black or African American	34,658,190	12.3
American Indian and Alaska Native	2,475,956	0.9
Asian	10,242,998	3.6
Asian Indian	1,678,765	0.6
Chinese	2,432,585	0.9
Filipino	1,850,314	0.7
Japanese	796,700	0.3
Korean	1,076,872	0.4
Vietnamese	1,122,528	0.4
Other Asian [1]	1,285,234	0.5
Native Hawaiian and Other Pacific Islander	398,835	0.1
Native Hawaiian	140,652	0.0
Guamanian or Chamorro	58,240	0.0

Subject	United States	
	Number	Percent
Samoa	91,029	0.0
Other Pacific Islander [2]	108,914	0.0
Some other race	15,359,073	5.5
Two or more races	6,826,228	2.4
Race alone or in combination with one or more other races [3]		
White	216,930,975	77.1
Black or African American	36,419,434	12.9
American Indian and Alaska Native	4,119,301	1.5
Asian	11,898,828	4.2
Native Hawaiian and Other Pacific Islander	874,414	0.3
Some other race	18,521,486	6.6
HISPANIC OR LATINO AND RACE		
Total population	281,421,906	100.0
Hispanic or Latino (of any race)	35,305,818	12.5
Mexican	20,640,711	7.3
Puerto Rican	3,406,178	1.2
Cuban	1,241,685	0.4
Other Hispanic or Latino	10,017,244	3.6
Not Hispanic or Latino	246,116,088	87.5
White alone	194,552,774	69.1
RELATIONSHIP		
Total population	281,421,906	100.0
In households	273,643,273	97.2
Householder	105,480,101	37.5
Spouse	54,493,232	19.4
Child	83,393,392	29.6
Own child under 18 years	64,494,637	22.9
Other relatives	15,684,318	5.6
Under 18 years	6,042,435	2.1
Nonrelatives	14,592,230	5.2
Unmarried partner	5,475,768	1.9
In group quarters	7,778,633	2.8
Institutionalized population	4,059,039	1.4
Noninstitutionalized population	3,719,594	1.3
HOUSEHOLDS BY TYPE		
Total households	105,480,101	100.0
Family households (families)	71,787,347	68.1
With own children under 18 years	34,588,368	32.8
Married-couple family	54,493,232	51.7
With own children under 18 years	24,835,505	23.5
Female householder, no husband present	12,900,103	12.2
With own children under 18 years	7,561,874	7.2
Nonfamily households	33,692,754	31.9
Householder living alone	27,230,075	25.8
Householder 65 years and over	9,722,857	9.2
Households with individuals under 18 years	38,022,115	36.0
Households with individuals 65 years and over	24,672,708	23.4
Average household size	2.59	(X)
Average family size	3.14	(X)
HOUSING OCCUPANCY		
Total housing units	115,904,641	100.0
Occupied housing units	105,480,101	91.0
Vacant housing units	10,424,540	9.0
For seasonal, recreational, or occasional use	3,578,718	3.1
Homeowner vacancy rate (percent)	1.7	(X)
Rental vacancy rate (percent)	6.8	(X)
HOUSING TENURE		
Occupied housing units	105,480,101	100.0
Owner-occupied housing units	69,815,753	66.2

Subject	United States	
	Number	Percent
Renter-occupied housing units	35,664,348	33.8
Average household size of owner-occupied unit	2.69	(X)
Average household size of renter-occupied unit	2.40	(X)

(X) Not applicable.

[1] Other Asian alone, or two or more Asian categories.

[2] Other Pacific Islander alone, or two or more Native Hawaiian and Other Pacific Islander categories.

[3] In combination with one or more other races listed. The six numbers may add to more than the total population and the six percentages may add to more than 100 percent because individuals may report more than one race.

Source: U.S. Census Bureau, Census 2000 Summary File 1, Matrices P1, P3, P4, P8, P9, P12, P13, P,17, P18, P19, P20, P23, P27, P28, P33, PCT5, PCT8, PCT11, PCT15, H1, H3, H4, H5, H11, and H12.



QT-H1

General Housing Characteristics: 2000

Census 2000 Summary File 1 (SF 1) 100-Percent Data

NOTE: For information on confidentiality protection, nonsampling error, definitions, and count corrections see <http://www.census.gov/prod/cen2000/doc/sf1.pdf>

Subject	Michigan	
	Number	Percent
OCCUPANCY STATUS		
Total housing units	4,234,279	100.0
Occupied housing units	3,785,661	89.4
Vacant housing units	448,618	10.6
TENURE		
Occupied housing units	3,785,661	100.0
Owner-occupied housing units	2,793,124	73.8
Renter-occupied housing units	992,537	26.2
VACANCY STATUS		
Vacant housing units	448,618	100.0
For rent	72,805	16.2
For sale only	44,250	9.9
Rented or sold, not occupied	27,161	6.1
For seasonal, recreational, or occasional use	233,922	52.1
For migratory workers	1,449	0.3
Other vacant	69,031	15.4
RACE OF HOUSEHOLDER		
Occupied housing units	3,785,661	100.0
One race	3,736,437	98.7
White	3,133,686	82.8
Black or African American	493,690	13.0
American Indian and Alaska Native	19,543	0.5
Asian	55,192	1.5
Native Hawaiian and Other Pacific Islander	694	0.0
Some other race	33,632	0.9
Two or more races	49,224	1.3
HISPANIC OR LATINO HOUSEHOLDER AND RACE OF HOUSEHOLDER		
Occupied housing units	3,785,661	100.0
Hispanic or Latino (of any race)	83,544	2.2
Not Hispanic or Latino	3,702,117	97.8
White alone	3,091,051	81.7
AGE OF HOUSEHOLDER		
Occupied housing units	3,785,661	100.0
15 to 24 years	190,143	5.0
25 to 34 years	648,232	17.1
35 to 44 years	856,962	22.6
45 to 54 years	779,515	20.6
55 to 64 years	515,226	13.6
65 years and over	795,583	21.0
65 to 74 years	410,861	10.9
75 to 84 years	298,154	7.9

Subject	Michigan	
	Number	Percent
85 years and over	86,568	2.3

(X) Not applicable.

Source: U.S. Census Bureau, Census 2000 Summary File 1, Matrices H3, H4, H5, H6, H7, and H16.



DP-1

Profile of General Population and Housing Characteristics: 2010

2010 Demographic Profile Data

NOTE: For more information on confidentiality protection, nonsampling error, and definitions, see <http://www.census.gov/prod/cen2010/doc/dpsf.pdf>.

Geography: Hamburg township, Livingston County, Michigan

Subject	Number	Percent
SEX AND AGE		
Total population	21,165	100.0
Under 5 years	1,052	5.0
5 to 9 years	1,456	6.9
10 to 14 years	1,726	8.2
15 to 19 years	1,579	7.5
20 to 24 years	838	4.0
25 to 29 years	895	4.2
30 to 34 years	914	4.3
35 to 39 years	1,244	5.9
40 to 44 years	1,797	8.5
45 to 49 years	2,142	10.1
50 to 54 years	2,054	9.7
55 to 59 years	1,769	8.4
60 to 64 years	1,364	6.4
65 to 69 years	994	4.7
70 to 74 years	564	2.7
75 to 79 years	340	1.6
80 to 84 years	220	1.0
85 years and over	217	1.0
Median age (years)	42.6	(X)
16 years and over	16,549	78.2
18 years and over	15,816	74.7
21 years and over	15,193	71.8
62 years and over	3,101	14.7
65 years and over	2,335	11.0
Male population	10,677	50.4
Under 5 years	533	2.5
5 to 9 years	739	3.5
10 to 14 years	883	4.2
15 to 19 years	835	3.9
20 to 24 years	441	2.1
25 to 29 years	450	2.1
30 to 34 years	463	2.2
35 to 39 years	622	2.9
40 to 44 years	861	4.1
45 to 49 years	1,041	4.9
50 to 54 years	1,029	4.9
55 to 59 years	906	4.3
60 to 64 years	719	3.4

Subject	Number	Percent
65 to 69 years	496	2.3
70 to 74 years	315	1.5
75 to 79 years	157	0.7
80 to 84 years	97	0.5
85 years and over	90	0.4
Median age (years)	42.4	(X)
16 years and over	8,326	39.3
18 years and over	7,942	37.5
21 years and over	7,597	35.9
62 years and over	1,561	7.4
65 years and over	1,155	5.5
Female population	10,488	49.6
Under 5 years	519	2.5
5 to 9 years	717	3.4
10 to 14 years	843	4.0
15 to 19 years	744	3.5
20 to 24 years	397	1.9
25 to 29 years	445	2.1
30 to 34 years	451	2.1
35 to 39 years	622	2.9
40 to 44 years	936	4.4
45 to 49 years	1,101	5.2
50 to 54 years	1,025	4.8
55 to 59 years	863	4.1
60 to 64 years	645	3.0
65 to 69 years	498	2.4
70 to 74 years	249	1.2
75 to 79 years	183	0.9
80 to 84 years	123	0.6
85 years and over	127	0.6
Median age (years)	42.8	(X)
16 years and over	8,223	38.9
18 years and over	7,874	37.2
21 years and over	7,596	35.9
62 years and over	1,540	7.3
65 years and over	1,180	5.6
RACE		
Total population	21,165	100.0
One Race	20,896	98.7
White	20,577	97.2
Black or African American	69	0.3
American Indian and Alaska Native	72	0.3
Asian	123	0.6
Asian Indian	9	0.0
Chinese	39	0.2
Filipino	21	0.1
Japanese	20	0.1
Korean	20	0.1
Vietnamese	9	0.0
Other Asian [1]	5	0.0
Native Hawaiian and Other Pacific Islander	6	0.0
Native Hawaiian	4	0.0
Guamanian or Chamorro	0	0.0
Samoan	0	0.0

Subject	Number	Percent
Other Pacific Islander [2]	2	0.0
Some Other Race	49	0.2
Two or More Races	269	1.3
White; American Indian and Alaska Native [3]	94	0.4
White; Asian [3]	93	0.4
White; Black or African American [3]	38	0.2
White; Some Other Race [3]	9	0.0
Race alone or in combination with one or more other races: [4]		
White	20,834	98.4
Black or African American	119	0.6
American Indian and Alaska Native	182	0.9
Asian	233	1.1
Native Hawaiian and Other Pacific Islander	23	0.1
Some Other Race	66	0.3
HISPANIC OR LATINO		
Total population	21,165	100.0
Hispanic or Latino (of any race)	279	1.3
Mexican	154	0.7
Puerto Rican	21	0.1
Cuban	15	0.1
Other Hispanic or Latino [5]	89	0.4
Not Hispanic or Latino	20,886	98.7
HISPANIC OR LATINO AND RACE		
Total population	21,165	100.0
Hispanic or Latino	279	1.3
White alone	210	1.0
Black or African American alone	3	0.0
American Indian and Alaska Native alone	5	0.0
Asian alone	1	0.0
Native Hawaiian and Other Pacific Islander alone	0	0.0
Some Other Race alone	33	0.2
Two or More Races	27	0.1
Not Hispanic or Latino	20,886	98.7
White alone	20,367	96.2
Black or African American alone	66	0.3
American Indian and Alaska Native alone	67	0.3
Asian alone	122	0.6
Native Hawaiian and Other Pacific Islander alone	6	0.0
Some Other Race alone	16	0.1
Two or More Races	242	1.1
RELATIONSHIP		
Total population	21,165	100.0
In households	21,151	99.9
Householder	7,860	37.1
Spouse [6]	5,323	25.2
Child	6,675	31.5
Own child under 18 years	5,069	23.9
Other relatives	588	2.8
Under 18 years	222	1.0
65 years and over	121	0.6
Nonrelatives	705	3.3
Under 18 years	53	0.3
65 years and over	46	0.2
Unmarried partner	423	2.0
In group quarters	14	0.1

Subject	Number	Percent
Institutionalized population	0	0.0
Male	0	0.0
Female	0	0.0
Noninstitutionalized population	14	0.1
Male	10	0.0
Female	4	0.0
HOUSEHOLDS BY TYPE		
Total households	7,860	100.0
Family households (families) [7]	6,150	78.2
With own children under 18 years	2,667	33.9
Husband-wife family	5,323	67.7
With own children under 18 years	2,238	28.5
Male householder, no wife present	284	3.6
With own children under 18 years	142	1.8
Female householder, no husband present	543	6.9
With own children under 18 years	287	3.7
Nonfamily households [7]	1,710	21.8
Householder living alone	1,352	17.2
Male	705	9.0
65 years and over	144	1.8
Female	647	8.2
65 years and over	282	3.6
Households with individuals under 18 years	2,833	36.0
Households with individuals 65 years and over	1,629	20.7
Average household size	2.69	(X)
Average family size [7]	3.05	(X)
HOUSING OCCUPANCY		
Total housing units	8,668	100.0
Occupied housing units	7,860	90.7
Vacant housing units	808	9.3
For rent	43	0.5
Rented, not occupied	8	0.1
For sale only	137	1.6
Sold, not occupied	25	0.3
For seasonal, recreational, or occasional use	474	5.5
All other vacants	121	1.4
Homeowner vacancy rate (percent) [8]	1.9	(X)
Rental vacancy rate (percent) [9]	6.3	(X)
HOUSING TENURE		
Occupied housing units	7,860	100.0
Owner-occupied housing units	7,227	91.9
Population in owner-occupied housing units	19,555	(X)
Average household size of owner-occupied units	2.71	(X)
Renter-occupied housing units	633	8.1
Population in renter-occupied housing units	1,596	(X)
Average household size of renter-occupied units	2.52	(X)

X Not applicable.

[1] Other Asian alone, or two or more Asian categories.

[2] Other Pacific Islander alone, or two or more Native Hawaiian and Other Pacific Islander categories.

[3] One of the four most commonly reported multiple-race combinations nationwide in Census 2000.

[4] In combination with one or more of the other races listed. The six numbers may add to more than the total population, and the six

percentages may add to more than 100 percent because individuals may report more than one race.

[5] This category is composed of people whose origins are from the Dominican Republic, Spain, and Spanish-speaking Central or South American countries. It also includes general origin responses such as "Latino" or "Hispanic."

[6] "Spouse" represents spouse of the householder. It does not reflect all spouses in a household. Responses of "same-sex spouse" were edited during processing to "unmarried partner."

[7] "Family households" consist of a householder and one or more other people related to the householder by birth, marriage, or adoption. They do not include same-sex married couples even if the marriage was performed in a state issuing marriage certificates for same-sex couples. Same-sex couple households are included in the family households category if there is at least one additional person related to the householder by birth or adoption. Same-sex couple households with no relatives of the householder present are tabulated in nonfamily households. "Nonfamily households" consist of people living alone and households which do not have any members related to the householder.

[8] The homeowner vacancy rate is the proportion of the homeowner inventory that is vacant "for sale." It is computed by dividing the total number of vacant units "for sale only" by the sum of owner-occupied units, vacant units that are "for sale only," and vacant units that have been sold but not yet occupied; and then multiplying by 100.

[9] The rental vacancy rate is the proportion of the rental inventory that is vacant "for rent." It is computed by dividing the total number of vacant units "for rent" by the sum of the renter-occupied units, vacant units that are "for rent," and vacant units that have been rented but not yet occupied; and then multiplying by 100.

Source: U.S. Census Bureau, 2010 Census.



QT-P11

Households and Families: 2010

2010 Census Summary File 1

NOTE: For information on confidentiality protection, nonsampling error, and definitions, see <http://www.census.gov/prod/cen2010/doc/sf1.pdf>.

Geography: Hamburg township, Livingston County, Michigan

Subject	Number	Percent
HOUSEHOLD TYPE		
Total households	7,860	100.0
Family households [1]	6,150	78.2
Male householder	4,931	62.7
Female householder	1,219	15.5
Nonfamily households [2]	1,710	21.8
Male householder	945	12.0
Living alone	705	9.0
Female householder	765	9.7
Living alone	647	8.2
HOUSEHOLD SIZE		
Total households	7,860	100.0
1-person household	1,352	17.2
2-person household	2,964	37.7
3-person household	1,379	17.5
4-person household	1,413	18.0
5-person household	540	6.9
6-person household	151	1.9
7-or-more-person household	61	0.8
Average household size	2.69	(X)
Average family size	3.05	(X)
FAMILY TYPE AND PRESENCE OF RELATED AND OWN CHILDREN		
Families [3]	6,150	100.0
With related children under 18 years	2,809	45.7
With own children under 18 years	2,667	43.4
Under 6 years only	432	7.0
Under 6 and 6 to 17 years	432	7.0
6 to 17 years only	1,803	29.3
Husband-wife families	5,323	100.0
With related children under 18 years	2,322	43.6
With own children under 18 years	2,238	42.0
Under 6 years only	377	7.1
Under 6 and 6 to 17 years	379	7.1
6 to 17 years only	1,482	27.8
Female householder, no husband present families	543	100.0
With related children under 18 years	328	60.4
With own children under 18 years	287	52.9

Subject	Number	Percent
Under 6 years only	36	6.6
Under 6 and 6 to 17 years	34	6.3
6 to 17 years only	217	40.0

X Not applicable.

[1] A household that has at least one member of the household related to the householder by birth, marriage, or adoption is a "Family household." Same-sex couple households are included in the family households category if there is at least one additional person related to the householder by birth or adoption. Same-sex couple households with no relatives of the householder present are tabulated in nonfamily households. Responses of "same-sex spouse" were edited during processing to "unmarried partner."

[2] "Nonfamily households" consist of people living alone and households which do not have any members related to the householder.

[3] "Families" consist of a householder and one or more other people related to the householder by birth, marriage, or adoption. They do not include same-sex married couples even if the marriage was performed in a state issuing marriage certificates for same-sex couples. Same-sex couples are included in the families category if there is at least one additional person related to the householder by birth or adoption. Responses of "same-sex spouse" were edited during processing to "unmarried partner." Same-sex couple households with no relatives of the householder present are tabulated in nonfamily households.

Source: U.S. Census Bureau, 2010 Census.

Summary File 1, Tables P17, P18, P28, P29, P37, P38, and P39.



QT-P3

Race and Hispanic or Latino Origin: 2010

2010 Census Summary File 1

NOTE: For information on confidentiality protection, nonsampling error, and definitions, see <http://www.census.gov/prod/cen2010/doc/sf1.pdf>.

Geography: Hamburg township, Livingston County, Michigan

Subject	Number	Percent
RACE		
Total population	21,165	100.0
One race	20,896	98.7
White	20,577	97.2
Black or African American	69	0.3
American Indian and Alaska Native	72	0.3
American Indian, specified [1]	59	0.3
Alaska Native, specified [1]	0	0.0
Both American Indian and Alaska Native, specified	0	0.0
[1] American Indian or Alaska Native, not specified	13	0.1
Asian	123	0.6
Native Hawaiian and Other Pacific Islander	6	0.0
Some Other Race	49	0.2
Two or More Races	269	1.3
Two races with Some Other Race	16	0.1
Two races without Some Other Race	237	1.1
Three or more races with Some Other Race	1	0.0
Three or more races without Some Other Race	15	0.1
HISPANIC OR LATINO		
Total population	21,165	100.0
Hispanic or Latino (of any race)	279	1.3
Mexican	154	0.7
Puerto Rican	21	0.1
Cuban	15	0.1
Other Hispanic or Latino [2]	89	0.4
Not Hispanic or Latino	20,886	98.7
RACE AND HISPANIC OR LATINO		
Total population	21,165	100.0
One race	20,896	98.7
Hispanic or Latino	252	1.2
Not Hispanic or Latino	20,644	97.5
Two or More Races	269	1.3
Hispanic or Latino	27	0.1
Not Hispanic or Latino	242	1.1

X Not applicable.

[1] "American Indian, specified" includes people who provided a specific American Indian tribe, such as Navajo or Blackfeet. "Alaska Native, specified" includes people who provided a specific Alaska Native group, such as Inupiat or Yup'ik.

[2] This category is comprised of people whose origins are from the Dominican Republic, Spain, and Spanish-speaking Central or South American countries. It also includes general origin responses such as "Latino" or "Hispanic."

Source: U.S. Census Bureau, 2010 Census.



DP05

ACS DEMOGRAPHIC AND HOUSING ESTIMATES

2013-2017 American Community Survey 5-Year Estimates

Supporting documentation on code lists, subject definitions, data accuracy, and statistical testing can be found on the American Community Survey website in the Technical Documentation section.

Sample size and data quality measures (including coverage rates, allocation rates, and response rates) can be found on the American Community Survey website in the Methodology section.

Although the American Community Survey (ACS) produces population, demographic and housing unit estimates, it is the Census Bureau's Population Estimates Program that produces and disseminates the official estimates of the population for the nation, states, counties, cities, and towns and estimates of housing units for states and counties.

Subject	Hamburg township, Livingston County, Michigan			
	Estimate	Margin of Error	Percent	Percent Margin of Error
SEX AND AGE				
Total population	21,612	+/-23	21,612	(X)
Male	10,730	+/-301	49.6%	+/-1.4
Female	10,882	+/-306	50.4%	+/-1.4
Sex ratio (males per 100 females)	98.6	+/-5.5	(X)	(X)
Under 5 years	936	+/-172	4.3%	+/-0.8
5 to 9 years	1,072	+/-147	5.0%	+/-0.7
10 to 14 years	1,565	+/-205	7.2%	+/-0.9
15 to 19 years	1,522	+/-208	7.0%	+/-1.0
20 to 24 years	1,136	+/-202	5.3%	+/-0.9
25 to 34 years	1,878	+/-236	8.7%	+/-1.1
35 to 44 years	2,475	+/-258	11.5%	+/-1.2
45 to 54 years	3,890	+/-278	18.0%	+/-1.3
55 to 59 years	1,902	+/-240	8.8%	+/-1.1
60 to 64 years	1,826	+/-187	8.4%	+/-0.9
65 to 74 years	2,209	+/-196	10.2%	+/-0.9
75 to 84 years	932	+/-176	4.3%	+/-0.8
85 years and over	269	+/-99	1.2%	+/-0.5
Median age (years)	45.5	+/-0.7	(X)	(X)
Under 18 years	4,582	+/-185	21.2%	+/-0.9
16 years and over	17,748	+/-201	82.1%	+/-0.9
18 years and over	17,030	+/-185	78.8%	+/-0.9
21 years and over	16,341	+/-217	75.6%	+/-1.0
62 years and over	4,513	+/-217	20.9%	+/-1.0
65 years and over	3,410	+/-192	15.8%	+/-0.9
18 years and over	17,030	+/-185	17,030	(X)
Male	8,328	+/-243	48.9%	+/-1.3
Female	8,702	+/-235	51.1%	+/-1.3
Sex ratio (males per 100 females)	95.7	+/-5.0	(X)	(X)

Subject	Hamburg township, Livingston County, Michigan			
	Estimate	Margin of Error	Percent	Percent Margin of Error
65 years and over	3,410	+/-192	3,410	(X)
Male	1,709	+/-158	50.1%	+/-3.5
Female	1,701	+/-148	49.9%	+/-3.5
Sex ratio (males per 100 females)	100.5	+/-14.0	(X)	(X)
RACE				
Total population	21,612	+/-23	21,612	(X)
One race	21,268	+/-186	98.4%	+/-0.9
Two or more races	344	+/-187	1.6%	+/-0.9
One race	21,268	+/-186	98.4%	+/-0.9
White	20,993	+/-232	97.1%	+/-1.1
Black or African American	112	+/-86	0.5%	+/-0.4
American Indian and Alaska Native	0	+/-18	0.0%	+/-0.1
Cherokee tribal grouping	0	+/-18	0.0%	+/-0.1
Chippewa tribal grouping	0	+/-18	0.0%	+/-0.1
Navajo tribal grouping	0	+/-18	0.0%	+/-0.1
Sioux tribal grouping	0	+/-18	0.0%	+/-0.1
Asian	130	+/-123	0.6%	+/-0.6
Asian Indian	0	+/-18	0.0%	+/-0.1
Chinese	11	+/-17	0.1%	+/-0.1
Filipino	27	+/-40	0.1%	+/-0.2
Japanese	92	+/-117	0.4%	+/-0.5
Korean	0	+/-18	0.0%	+/-0.1
Vietnamese	0	+/-18	0.0%	+/-0.1
Other Asian	0	+/-18	0.0%	+/-0.1
Native Hawaiian and Other Pacific Islander	8	+/-13	0.0%	+/-0.1
Native Hawaiian	0	+/-18	0.0%	+/-0.1
Guamanian or Chamorro	0	+/-18	0.0%	+/-0.1
Samoa	8	+/-13	0.0%	+/-0.1
Other Pacific Islander	0	+/-18	0.0%	+/-0.1
Some other race	25	+/-29	0.1%	+/-0.1
Two or more races	344	+/-187	1.6%	+/-0.9
White and Black or African American	16	+/-26	0.1%	+/-0.1
White and American Indian and Alaska Native	239	+/-164	1.1%	+/-0.8
White and Asian	13	+/-20	0.1%	+/-0.1
Black or African American and American Indian and Alaska Native	0	+/-18	0.0%	+/-0.1
Race alone or in combination with one or more other races				
Total population	21,612	+/-23	21,612	(X)
White	21,337	+/-153	98.7%	+/-0.7
Black or African American	189	+/-99	0.9%	+/-0.5
American Indian and Alaska Native	276	+/-176	1.3%	+/-0.8
Asian	175	+/-131	0.8%	+/-0.6
Native Hawaiian and Other Pacific Islander	16	+/-17	0.1%	+/-0.1
Some other race	32	+/-31	0.1%	+/-0.1
HISPANIC OR LATINO AND RACE				
Total population	21,612	+/-23	21,612	(X)
Hispanic or Latino (of any race)	377	+/-133	1.7%	+/-0.6
Mexican	229	+/-101	1.1%	+/-0.5
Puerto Rican	0	+/-18	0.0%	+/-0.1
Cuban	60	+/-53	0.3%	+/-0.2
Other Hispanic or Latino	88	+/-63	0.4%	+/-0.3
Not Hispanic or Latino	21,235	+/-138	98.3%	+/-0.6
White alone	20,685	+/-256	95.7%	+/-1.2
Black or African American alone	112	+/-86	0.5%	+/-0.4
American Indian and Alaska Native alone	0	+/-18	0.0%	+/-0.1

Subject	Hamburg township, Livingston County, Michigan			
	Estimate	Margin of Error	Percent	Percent Margin of Error
Asian alone	130	+/-123	0.6%	+/-0.6
Native Hawaiian and Other Pacific Islander alone	8	+/-13	0.0%	+/-0.1
Some other race alone	0	+/-18	0.0%	+/-0.1
Two or more races	300	+/-176	1.4%	+/-0.8
Two races including Some other race	0	+/-18	0.0%	+/-0.1
Two races excluding Some other race, and Three or more races	300	+/-176	1.4%	+/-0.8
Total housing units	9,186	+/-204	(X)	(X)
CITIZEN, VOTING AGE POPULATION				
Citizen, 18 and over population	16,843	+/-210	16,843	(X)
Male	8,261	+/-249	49.0%	+/-1.3
Female	8,582	+/-241	51.0%	+/-1.3

Data are based on a sample and are subject to sampling variability. The degree of uncertainty for an estimate arising from sampling variability is represented through the use of a margin of error. The value shown here is the 90 percent margin of error. The margin of error can be interpreted roughly as providing a 90 percent probability that the interval defined by the estimate minus the margin of error and the estimate plus the margin of error (the lower and upper confidence bounds) contains the true value. In addition to sampling variability, the ACS estimates are subject to nonsampling error (for a discussion of nonsampling variability, see Accuracy of the Data). The effect of nonsampling error is not represented in these tables.

For more information on understanding race and Hispanic origin data, please see the Census 2010 Brief entitled, Overview of Race and Hispanic Origin: 2010, issued March 2011. (pdf format)

While the 2013-2017 American Community Survey (ACS) data generally reflect the February 2013 Office of Management and Budget (OMB) definitions of metropolitan and micropolitan statistical areas; in certain instances the names, codes, and boundaries of the principal cities shown in ACS tables may differ from the OMB definitions due to differences in the effective dates of the geographic entities.

Estimates of urban and rural populations, housing units, and characteristics reflect boundaries of urban areas defined based on Census 2010 data. As a result, data for urban and rural areas from the ACS do not necessarily reflect the results of ongoing urbanization.

Source: U.S. Census Bureau, 2013-2017 American Community Survey 5-Year Estimates

Explanation of Symbols:

1. An '***' entry in the margin of error column indicates that either no sample observations or too few sample observations were available to compute a standard error and thus the margin of error. A statistical test is not appropriate.
2. An '-' entry in the estimate column indicates that either no sample observations or too few sample observations were available to compute an estimate, or a ratio of medians cannot be calculated because one or both of the median estimates falls in the lowest interval or upper interval of an open-ended distribution.
3. An '-' following a median estimate means the median falls in the lowest interval of an open-ended distribution.
4. An '+' following a median estimate means the median falls in the upper interval of an open-ended distribution.
5. An '***' entry in the margin of error column indicates that the median falls in the lowest interval or upper interval of an open-ended distribution. A statistical test is not appropriate.
6. An '*****' entry in the margin of error column indicates that the estimate is controlled. A statistical test for sampling variability is not appropriate.
7. An 'N' entry in the estimate and margin of error columns indicates that data for this geographic area cannot be displayed because the number of sample cases is too small.
8. An '(X)' means that the estimate is not applicable or not available.

Community Profiles

YOU ARE VIEWING DATA FOR:

Hamburg Township



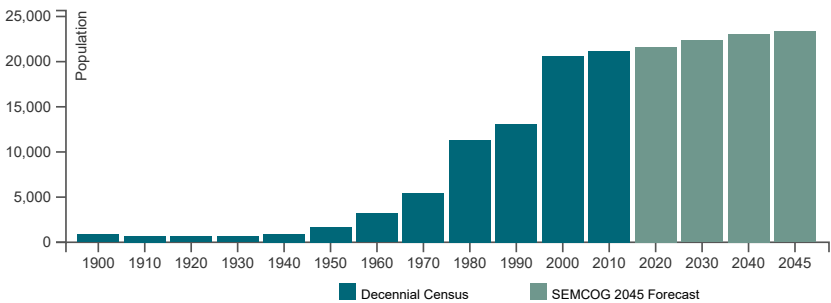
Census 2010 Population:
21,165
Area: 36 square miles

[VIEW COMMUNITY EXPLORER MAP](#)

Population and Households

Link to American Community Survey (ACS) Profiles: **Select a Year** **Social | Demographic**
Population and Household Estimates for Southeast Michigan, 2019

Population Forecast



Population and Households

Population and Households	Census 2010	Change 2000-2010	Pct Change 2000-2010	SEMCOG Jul 2019	SEMCOG 2045
Total Population	21,165	538	2.6%	21,394	23,325
Group Quarters Population	14	-233	-94.3%	117	175
Household Population	21,151	771	3.8%	21,277	23,150
Housing Units	8,668	990	12.9%	8,903	-
Households (Occupied Units)	7,860	774	10.9%	8,488	9,491
Residential Vacancy Rate	9.3%	1.6%	-	4.7%	-
Average Household Size	2.69	-0.19	-	2.51	2.44

Source: **U.S. Census Bureau, SEMCOG Population and Household Estimates, and SEMCOG 2045 Regional Development Forecast**

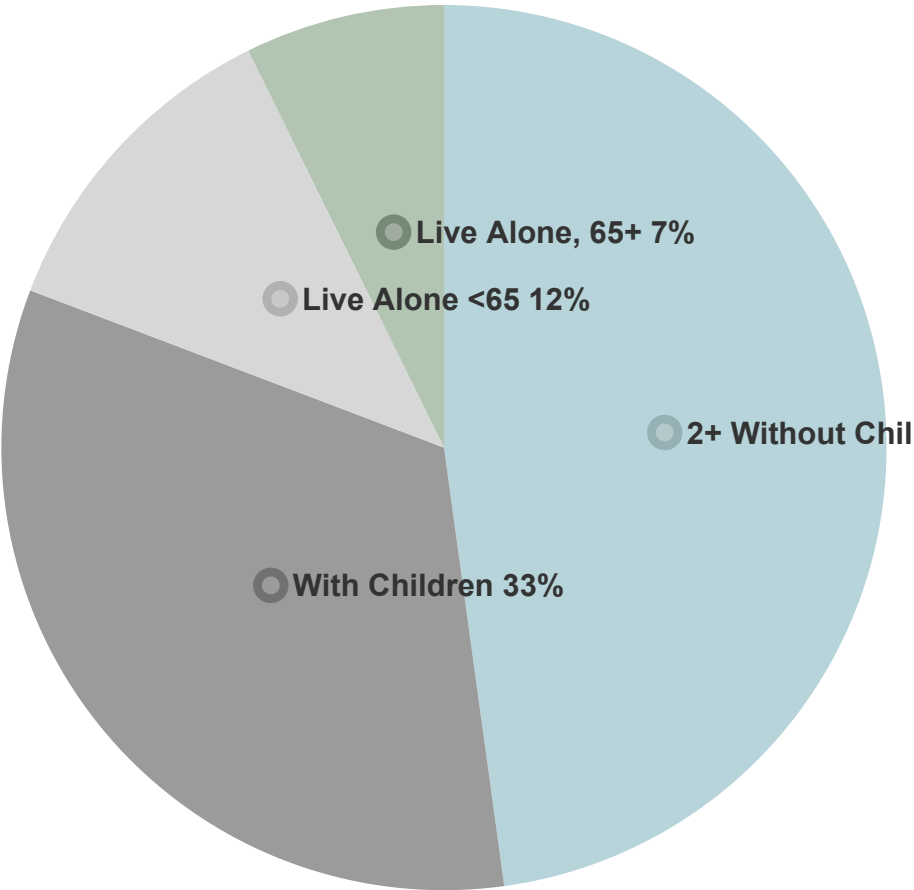
Components of Population Change

Components of Population Change	2000-2005 Avg.	2006-2010 Avg.	2011-2015 Avg.
Natural Increase (Births - Deaths)	140	24	35
Births	241	124	161
Deaths	101	100	126
Net Migration (Movement In - Movement Out)	210	-266	-57
Population Change (Natural Increase + Net Migration)	350	-242	-22

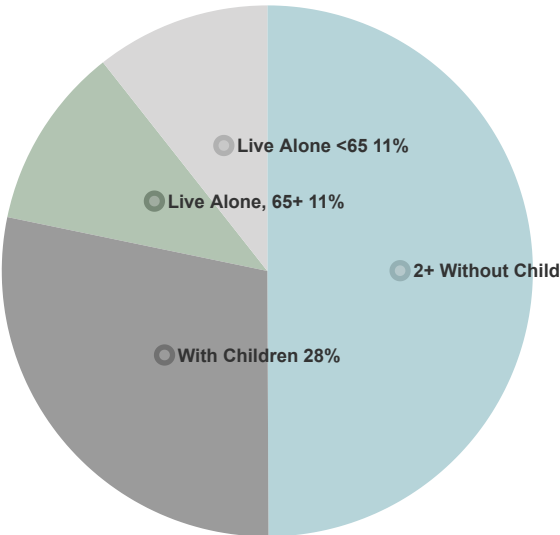
Source: **Michigan Department of Community Health Vital Statistics, U.S. Census Bureau, and SEMCOG**

Household Types

ACS
2015



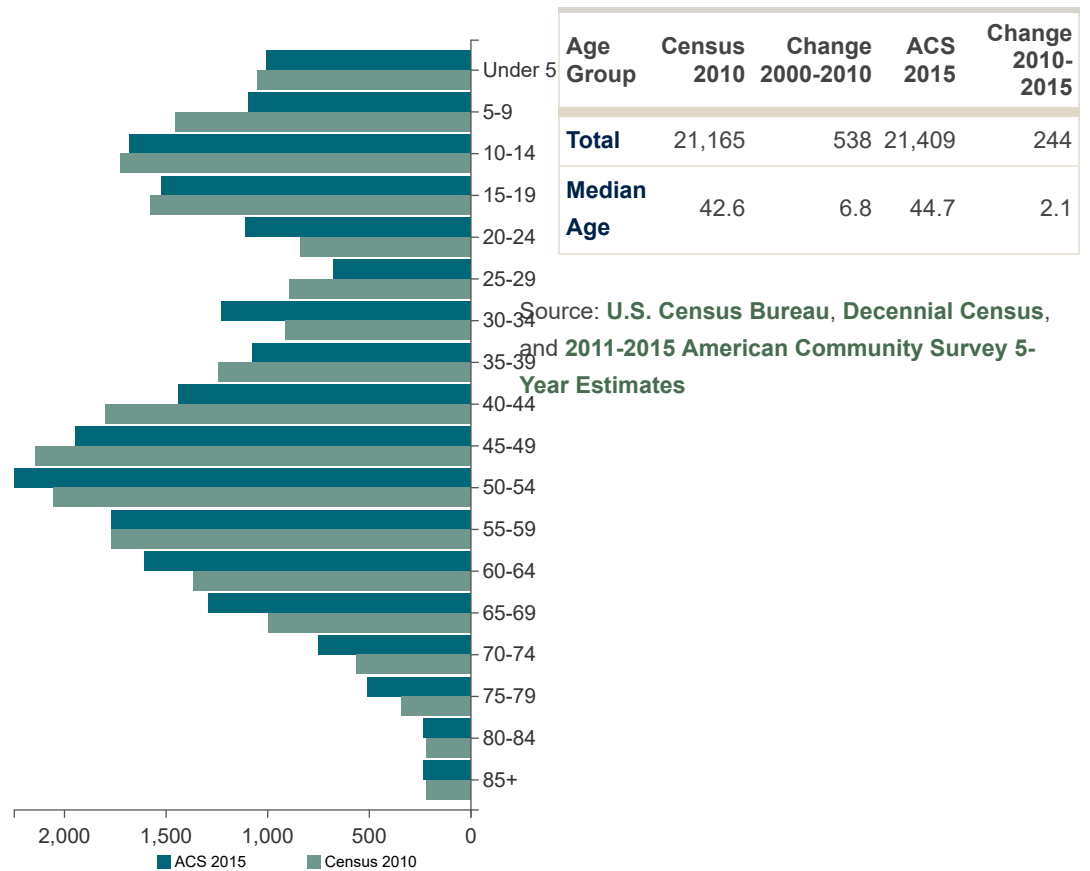
SEMCOG
2045



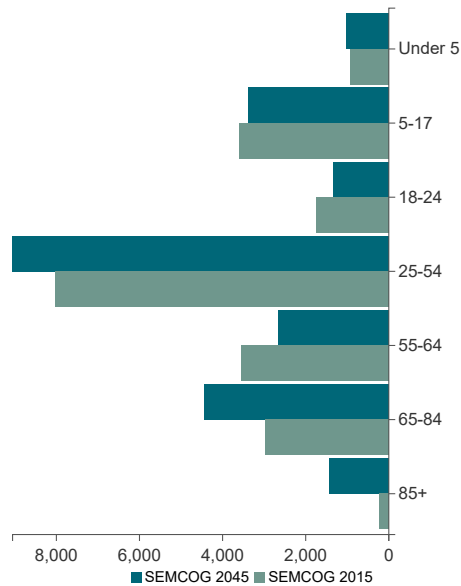
Household Types	Census 2010	ACS 2015	Change 2010-2015	Pct Change 2010-2015	SEMOG 2045
With Seniors 65+	1,629	2,107	478	29.3%	4,137
Without Seniors	6,231	6,077	-154	-2.5%	5,354
Live Alone, 65+	426	597	171	40.1%	1,056
Live Alone, <65	926	976	50	5.4%	1,008
2+ Persons, With children	2,833	2,697	-136	-4.8%	2,688
2+ Persons, Without children	3,675	3,914	239	6.5%	4,739
Total Households	7,860	8,184	324	4.1%	9,491

Source: U.S. Census Bureau, Decennial Census, 2011-2015 American Community Survey 5-Year Estimates, and SEMCOG 2045 Regional Development Forecast

Population Change by Age, 2010-2015



Forecasted Population Change 2015-2045



Age Group	Change 2015 - 2045	Pct Change 2015 - 2045
Total	2,272	10.8%

Source: **SEMCOG 2045 Regional Development Forecast**

Older Adults and Youth Populations

Older Adults and Youth Population	Census 2010	ACS 2015	Change 2010-2015	Pct Change 2010-2015	SEMCOG 2045
Note: Population by age changes over time because of the aging of people into older age groups, the movement of people, and the occurrence of births and deaths.					

Source: **U.S. Census Bureau, Decennial Census, 2011-2015 American Community Survey 5-Year Estimates, and SEMCOG 2045 Regional Development Forecast**

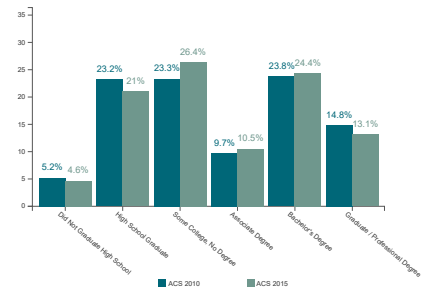
Race and Hispanic Origin

Race and Hispanic Origin	Census 2010	Percent of Population 2010	ACS 2015	Percent of Population 2015	Percentage Point Change 2010-2015
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Source: **U.S. Census Bureau, Decennial Census, and 2011-2015 American Community Survey 5-Year Estimates**

Highest Level of Education

Highest Level of Education*	ACS 2010	ACS 2015	Percentage Point Chg 2010-2015
* Population age 25 and over			

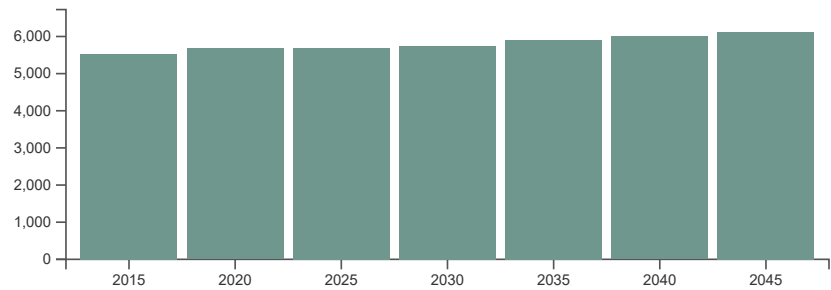


Source: U.S. Census Bureau, 2006-2010 and 2011-2015 American Community Survey 5-Year Estimates

Economy & Jobs

Link to American Community Survey (ACS) Profiles: **Select a Year** 2014-2018 **Economic**

Forecasted Jobs



Source: SEMCOG 2045 Regional Development Forecast

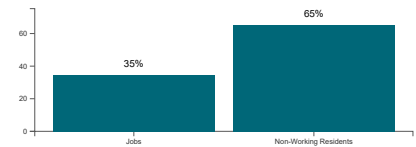
Forecasted Jobs by Industry Sector

Forecasted Jobs By Industry Sector	Change 2015-2045	Pct Change 2015-2045
------------------------------------	------------------	----------------------

Source: SEMCOG 2045 Regional Development Forecast

Daytime Population

Daytime Population	SEMCOG and ACS 2015
Jobs	5,527
Non-Working Residents	10,398
Age 15 and under	4,041
Not in labor force	5,642
Unemployed	715
Daytime Population	15,925



Source: **SEMCOG 2045 Regional Development Forecast** and **2011-2015 American Community Survey 5-Year Estimates**

Note: The number of residents attending school outside Southeast Michigan is not available. Likewise,

the number of students commuting into Southeast Michigan to attend school is also not known.

Where Workers Commute From 2013

Rank	Where Workers Commute From *	Workers	Percent
	* Workers, age 16 and over employed in	0	100%

Source: **U.S. Census Bureau** - 2009-2013 CTPP/ACS Commuting Data and **Commuting Patterns in Southeast Michigan**

Where Residents Work 2013

Rank	Where Residents Work *	Workers	Percent
	* Workers, age 16 and over residing in	0	100%

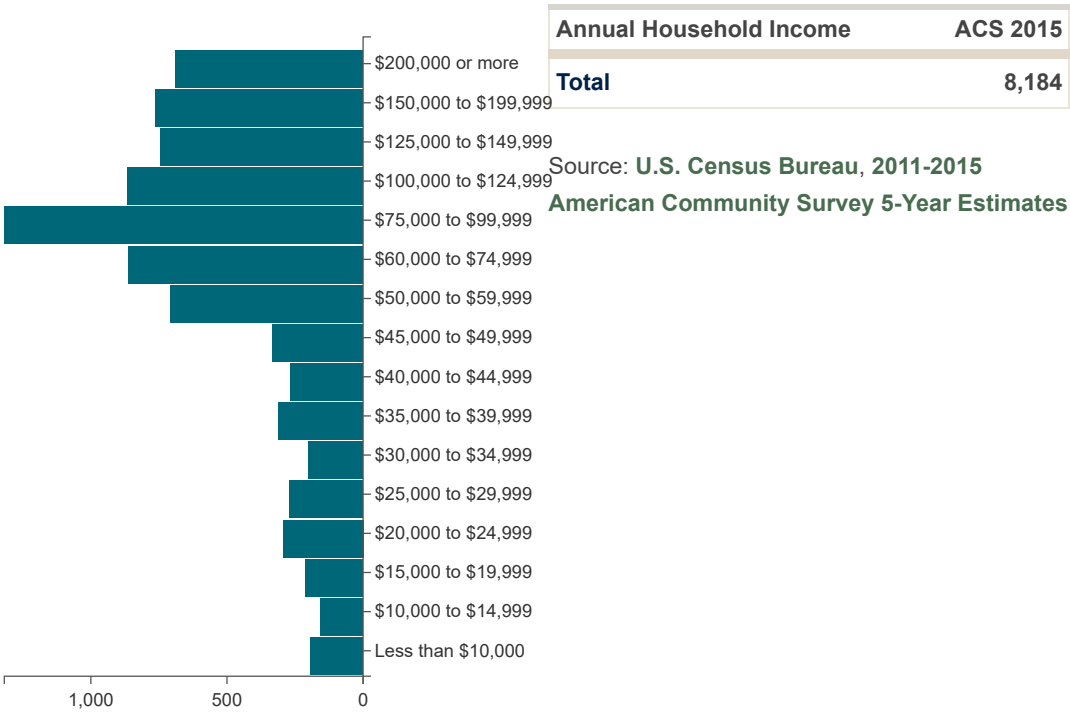
Source: **U.S. Census Bureau** - 2009-2013 CTPP/ACS Commuting Data and **Commuting Patterns in Southeast Michigan**

Household Income

Income (in 2015 dollars)	ACS 2010	ACS 2015	Change 2010-2015	Percent Change 2010-2015
Median Household Income	\$92,009	\$78,085	\$-13,924	-15.1%
Per Capita Income	\$37,963	\$38,067	\$104	0.3%

Source: **U.S. Census Bureau, 2006-2010 and 2011-2015 American Community Survey 5-Year Estimates**

Annual Household Income



Poverty

Poverty	ACS 2010	% of Total (2010)	ACS 2015	% of Total (2015)	% Point Chg 2010-2015
Persons in Poverty	758	3.5%	872	4.1%	0.6%
Households in Poverty	228	2.9%	335	4.1%	1.2%

Source: U.S. Census Bureau, 2006-2010 and 2011-2015 American Community Survey 5-Year Estimates

Housing

Link to American Community Survey (ACS) Profiles: **Select a Year** 2014-2018 ▾ **Housing**

Building Permits 2000 - 2019

Year	Single Family	Two Family	Attach Condo	Multi Family	Total Units	Total Demos	Net Total
2000 to 2019 totals	1,348	28	4	0	1,380	114	1,266

Source: SEMCOG Development

Note: Permit data for most recent years may be incomplete and is updated monthly.

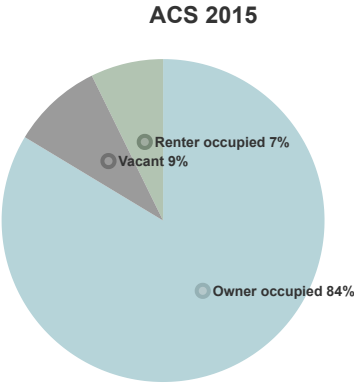
Housing Types

Housing Type	ACS 2010	ACS 2015	Change 2010-2015	New Units Permitted 2015-2018
Total	8,617	9,002	385	166
Units Demolished				-28
Net (Total Permitted Units - Units Demolished)				138

Source: U.S. Census Bureau, 2006-2010 and 2011-2015 American Community Survey 5-Year Estimates, SEMCOG Development

Housing Tenure

Housing Tenure	Census 2010	ACS 2015	Change 2010-2015
Total Housing Units	8,668	9,002	334



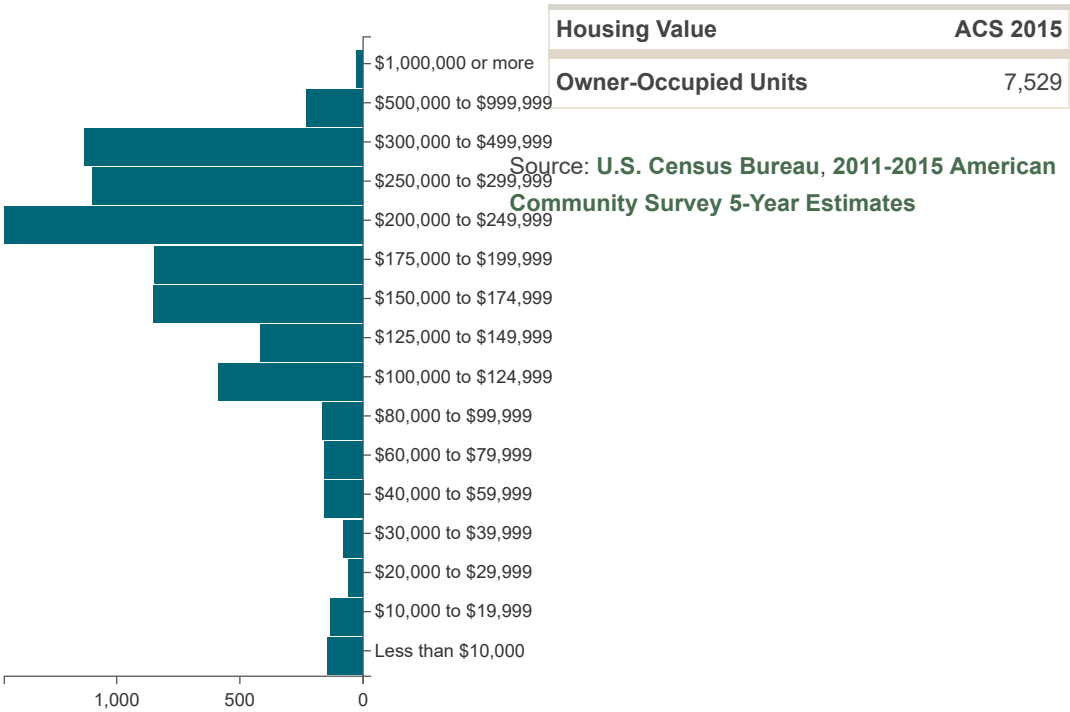
Source: U.S. Census Bureau, 2006-2010 and 2011-2015 American Community Survey 5-Year Estimates

Housing Value and Rent

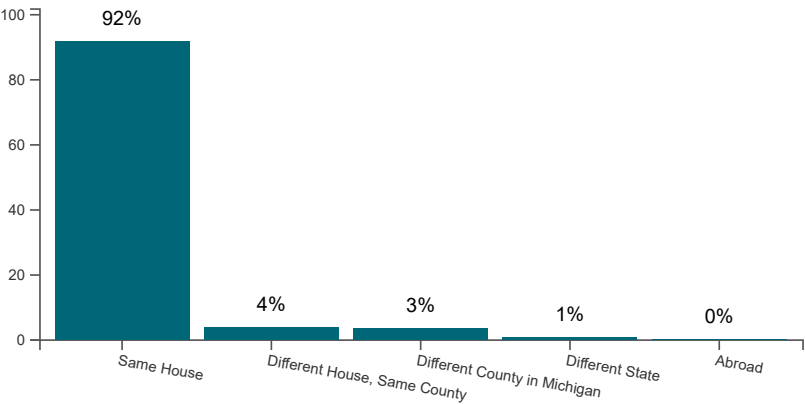
Housing Value (in 2015 dollars)	ACS 2010	ACS 2015	Change 2010-2015	Percent Change 2010-2015
Median housing value	\$256,822	\$206,100	\$-50,722	-19.8%
Median gross rent	\$1,036	\$893	\$-143	-13.8%

Source: U.S. Census Bureau, Census 2000, 2006-2010 and 2011-2015 American Community Survey 5-Year Estimates

Housing Value



Residence One Year Ago *



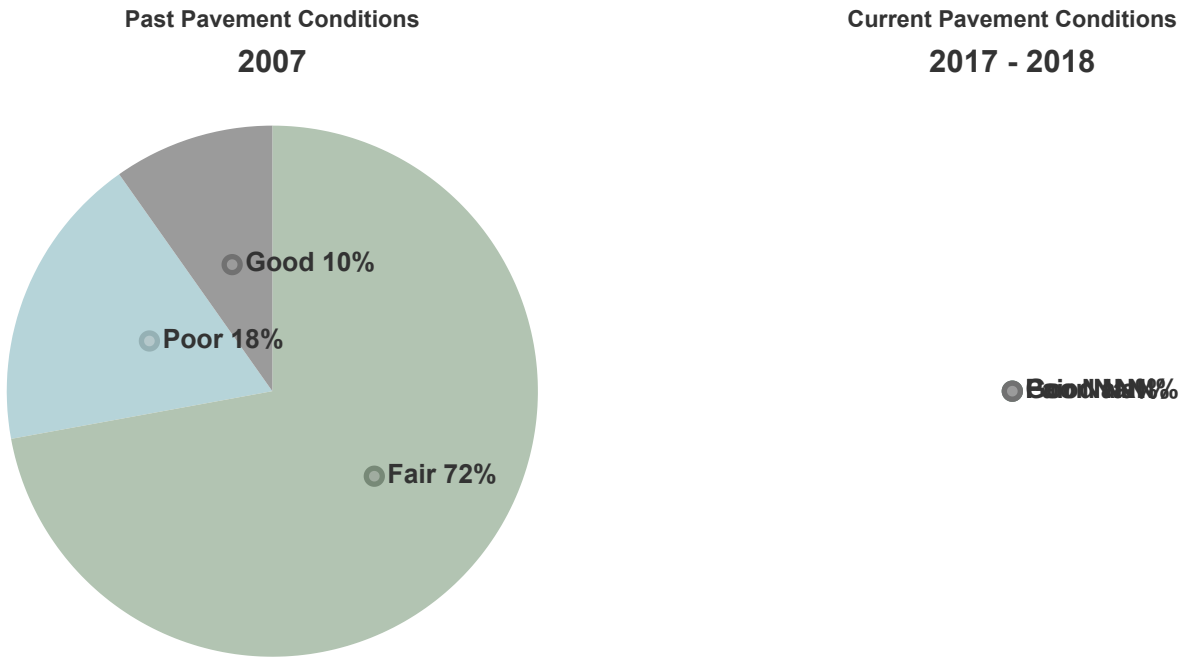
* This table represents persons, age 1 and over, living in Hamburg Township from 2011-2015. The table does not represent person who moved out of Hamburg Township from 2011-2015.

Source: U.S. Census Bureau, 2011-2015 American Community Survey 5-Year Estimates

Transportation

Miles of public road (including boundary roads): 103
Source: Michigan Geographic Framework

Pavement Condition (in Lane Miles)



Note: Poor pavements are generally in need of rehabilitation or full reconstruction to return to good condition. Fair pavements are in need of capital preventive maintenance to avoid deteriorating to the poor classification. Good pavements generally receive only routine maintenance, such as street sweeping and snow removal, until they deteriorate to the fair condition.

Source: SEMCOG

Bridge Status

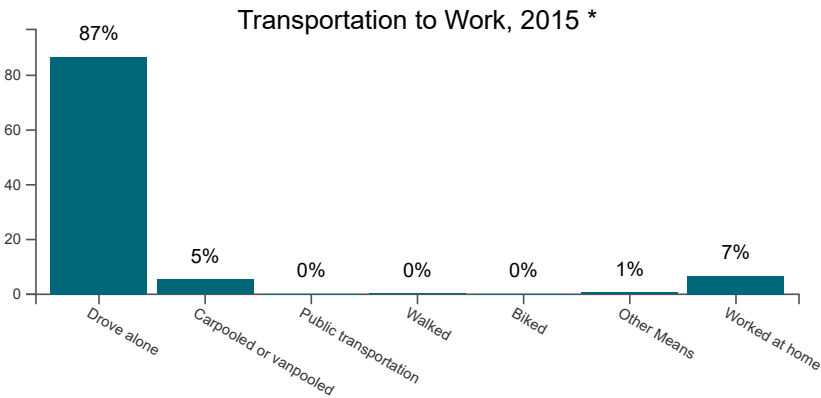
Bridge Status	Percent Point Chg 2008-2010
Open	0%
Open with Restrictions	0%
Closed*	0%
Total Bridges	0.0%
Deficient Bridges	4.2%

* Bridges may be closed because of new construction or failed condition.

Note: A bridge is considered deficient if it is structurally deficient (in poor shape and unable to carry the load for which it was designed) or functionally obsolete (in good physical condition but unable to support current or future demands, for example, being too narrow to accommodate truck traffic).

Source: Michigan Structure Inventory and Appraisal Database

Detailed Intersection & Road Data



* Resident workers age 16 and over

Transportation to Work

Transportation to Work	ACS 2010	% of Total (ACS 2010)	ACS 2015	% of Total (ACS 2015)	% Point Chg 2010-2015
Resident workers age 16 and over	10,634	100.0%	10,851	100.0%	0.0%

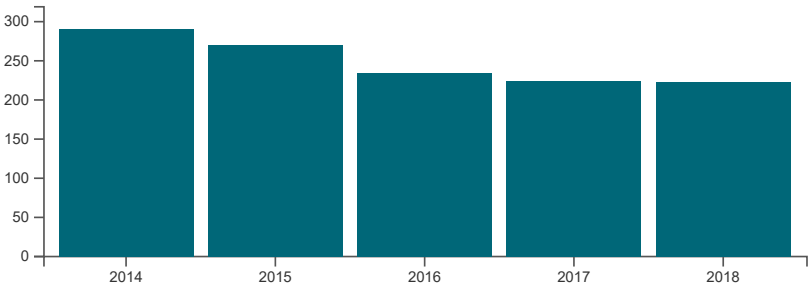
Source: U.S. Census Bureau, 2006-2010 and 2011-2015 American Community Survey 5-Year Estimates

Mean Travel Time to Work

Mean Travel Time To Work	ACS 2010	ACS 2015	Change 2010-2015
For residents age 16 and over who worked outside the home	33.4 minutes	31.3 minutes	-2.1 minutes

Source: U.S. Census Bureau, 2006-2010 and 2011-2015 American Community Survey 5-Year Estimates

Crashes, 2014-2018



Source: Michigan Department of State Police with the Criminal Justice Information Center and SEMCOG

Note: Crash data shown is for the entire city.

Crash Severity

Crash Severity	Percent of Crashes 2014 - 2018
<u>Fatal</u>	0.3%
<u>Serious Injury</u>	2.3%
<u>Other Injury</u>	12.8%
<u>Property Damage Only</u>	84.5%
<u>Total Crashes</u>	100%

Crashes by Type

Crashes by Type	Percent of Crashes 2014 - 2018
<u>Head-on</u>	1.8%
<u>Angle or Head-on/Left-turn</u>	13.4%
<u>Rear-End</u>	25.8%
<u>Sideswipe</u>	7.6%
<u>Single Vehicle</u>	47.5%
<u>Backing</u>	0.8%
<u>Other or Unknown</u>	3.1%

Crashes by Involvement

Crashes by Involvement	Percent of Crashes 2014 - 2018
<u>Red-light Running</u>	0.6%
<u>Lane Departure</u>	30.4%
<u>Alcohol</u>	5.4%
<u>Drugs</u>	1.8%
<u>Deer</u>	19%
<u>Train</u>	0%
<u>Commercial Truck/Bus</u>	1.9%
<u>School Bus</u>	0.6%
<u>Emergency Vehicle</u>	1.3%
<u>Motorcycle</u>	1.9%
<u>Intersection</u>	31.6%
<u>Work Zone</u>	0.2%
<u>Pedestrian</u>	0.5%
<u>Bicyclist</u>	0.1%
<u>Distracted Driver</u>	2.7%
<u>Older Driver (65 and older)</u>	14.4%
<u>Young Driver (16 to 24)</u>	40.3%

High Frequency Intersection Crash Rankings

Local Rank	County Rank	Region Rank	Intersection	Annual Avg 2014-2018
------------	-------------	-------------	--------------	----------------------

Note: Intersections are ranked by the number of reported crashes, which does not take into account traffic volume. Crashes reported occurred within 150 feet of the intersection.

Source: **Michigan Department of State Police with the Criminal Justice Information Center** and **SEMCOG**

High Frequency Road Segment Crash Rankings

Local Rank	County Rank	Region Rank	Segment	From Road - To Road	Annual Avg 2014-2018
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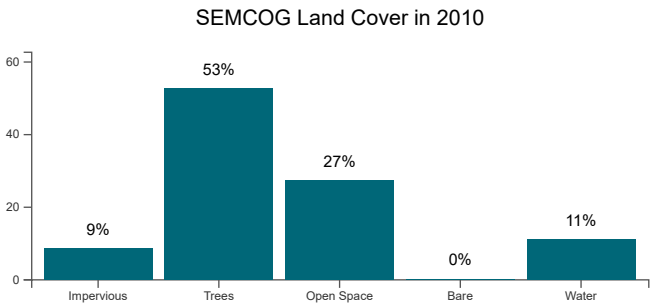
Note: Segments are ranked by the number of reported crashes, which does not take into account traffic volume.

Environment

SEMCOG 2015 Land Use

SEMCOG 2015 Land Use	Acres	Percent
Total	23,056.1	100%

Note: Land Cover was derived from SEMCOG's 2010 Leaf off Imagery.
Source: **SEMCOG**



Source Data
SEMCOG - Detailed Data

Type	Description	Acres	Percent
Total Acres		23,056.1	

Hamburg Twp - 2045 Forecast Summary

Population and Households

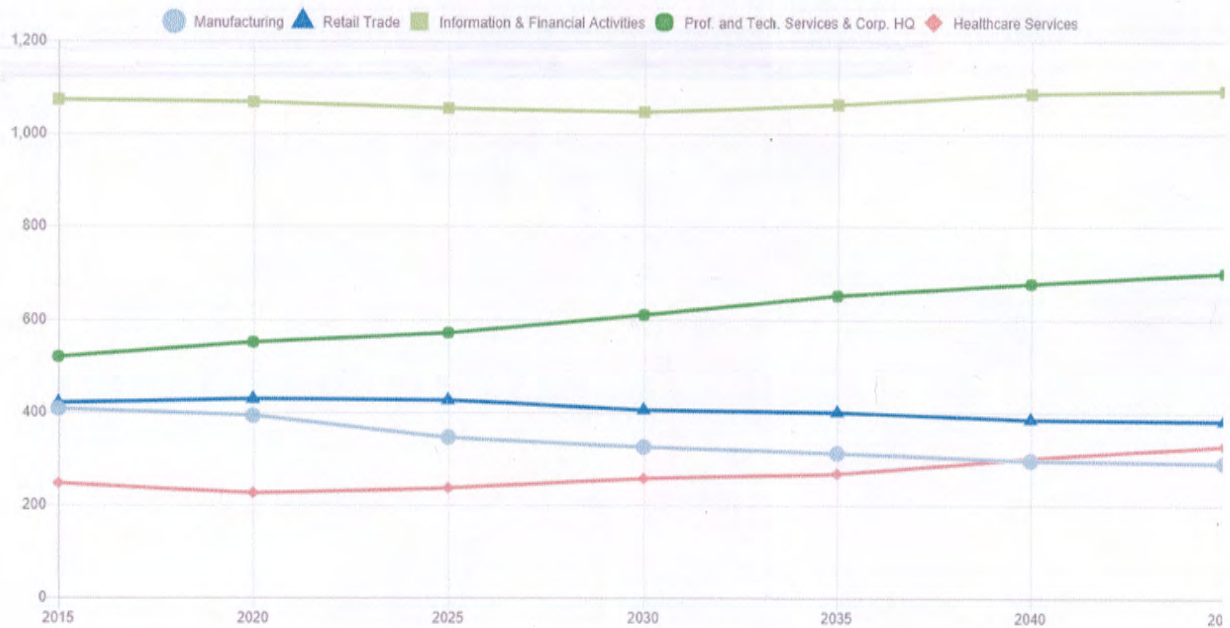
	2015	2025	2035	2045	Change 2015 - 45	
					Number	Percent
Total Population	21,053	22,098	22,645	23,325	2,272	10.8%
Household Population	20,936	21,965	22,497	23,150	2,214	10.6%
Group Quarters Population	117	133	148	175	58	49.6%
Population Age 0-4	927	1,276	1,164	1,013	86	9.3%
Population Age 5-17	3,608	2,744	3,361	3,388	-220	-6.1%
Population Age 18-24	1,746	1,354	881	1,324	-422	-24.2%
Population Age 25-54	8,035	8,243	8,788	9,054	1,019	12.7%
Population Age 55-64	3,553	3,549	2,649	2,654	-899	-25.3%
Population Age 65-84	2,961	4,479	4,974	4,452	1,491	50.4%
Population Age 85+	223	453	828	1,440	1,217	545.7%
Housing Units	8,762	9,500	9,785	9,956	1,194	13.6%
Household Size	2.53	2.45	2.42	2.44	-0.09	-3.6%
Households	8,264	8,960	9,295	9,491	1,227	14.8%
With Children (Age 0-17)	2,663	2,445	2,647	2,688	25	0.9%
With Seniors (Age 65+)	2,314	3,445	4,031	4,137	1,823	78.8%
With One Person Only	1,695	1,962	2,015	2,064	369	21.8%
With Fewer Cars than Workers	333	455	499	497	164	49.2%



Hamburg Twp - 2045 Forecast Summary

Employment by Sector

	2015	2025	2035	2045	Change 2015 - 45	
					Number	Percent
Total Jobs	5,527	5,891	5,912	6,113	586	10.6%
Nat. Resources, Mining, & Const.	508	598	627	652	144	28.3%
Manufacturing	406	345	310	289	-117	-28.8%
Wholesale Trade	95	92	89	97	2	2.1%
Retail Trade	421	425	399	382	-39	-9.3%
Trans., Warehousing, & Utilities	110	115	115	125	15	13.6%
Information & Financial Activities	1,074	1,055	1,062	1,093	19	1.8%
Prof. and Tech. Services & Corp. HQ	518	570	651	700	182	35.1%
Admin., Support, & Waste Serv.	490	603	722	741	251	51.2%
Education Services	300	302	308	322	22	7.3%
Healthcare Services	245	236	268	327	82	33.5%
Leisure & Hospitality	681	684	690	708	27	4.0%
Other Services	481	447	444	448	-33	-6.9%
Public Administration	198	219	227	229	31	15.7%

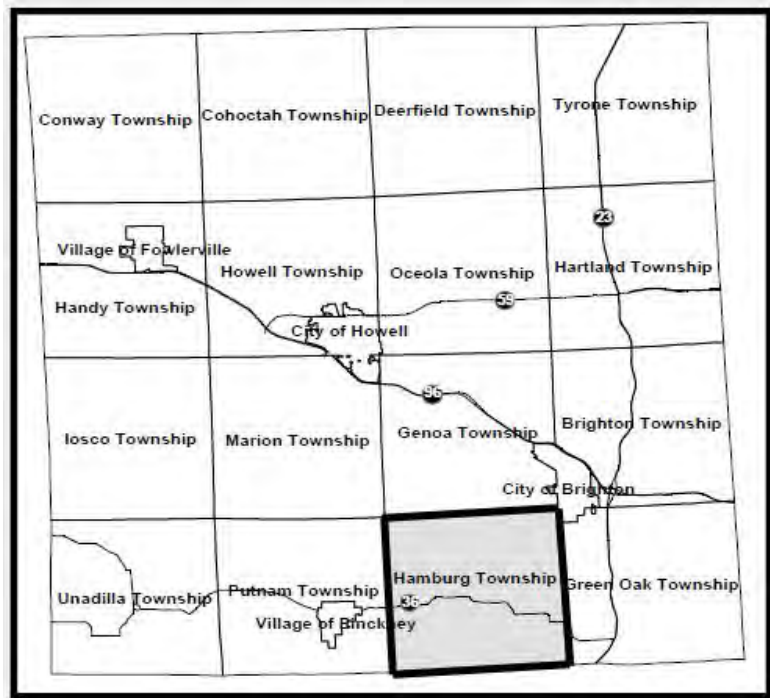


MASTER PLAN Community Profile

For

Hamburg Township

Livingston County, Michigan



LOCATION

Hamburg Township is located in the southeast quadrant of Livingston County. The most populated community, the Township is rich in scenic beauty and recreational opportunities.

GOVERNMENT

Hall Address: 10405 Merrill Road
Hamburg, MI 48139

Mailing Address: P.O. Box 157
Hamburg, MI 48139

Phone: (810) 231-1000

Web Site: <http://www.hamburg.mi.us>

TAX RATES

2019 Residential Millage Rates:

Homestead:

27.8875/ \$1,000 of taxable value

Non-Homestead:

45.8155/ \$1,000 of taxable value

Sources: Livingston County Department of Planning, Southeast Michigan Council of Governments (SEMCOG), Livingston County Equalization, U.S. Census Bureau, Michigan Department of Technology, Management & Budget.

Business Hours

Monday-Friday
8:00 a.m. to 5:00 p.m

County Commissioners

Robert Bezotte, District 6
Dennis Dolan, District 8

Township Officials

Supervisor: Patrick Hohl
Clerk: Mike Dolan
Treasurer: Jason Negri

POPULATION AND HOUSEHOLD DATA FOR HAMBURG TOWNSHIP

	Census 2010	SEMCOG (July 2018)	SEMCOG 2045
Total Population	21,165	20,611	23,325
Household Population	21,151	20,957	23,150
Housing Units	8,668	8,869	-
Occupied Units	7,860	8,455	9,491
Average Household Size	2.69	2.44	2.44

*Source: U.S. Census Bureau & SEMCOG

FORECASTED POPULATION CHANGE 2015-2045

Age Group	2015	2020	2025	2030	2035	2040	2045	Change 2015 - 2045	Pct Change 2015 - 2045
Under 5	927	1,073	1,276	1,288	1,164	1,015	1,013	86	9.3%
5-17	3,608	3,008	2,744	2,957	3,361	3,483	3,388	-220	-6.1%
18-24	1,746	1,652	1,354	1,037	881	1,062	1,324	-422	-24.2%
25-54	8,035	8,119	8,243	8,484	8,788	8,972	9,054	1,019	12.7%
55-64	3,553	3,803	3,549	3,105	2,649	2,566	2,654	-899	-25.3%
65-84	2,961	3,635	4,479	4,860	4,974	4,822	4,452	1,491	50.4%
85+	223	336	453	599	828	1,152	1,440	1,217	545.7%
Total	21,053	21,626	22,098	22,330	22,645	23,072	23,325	2,272	10.8%

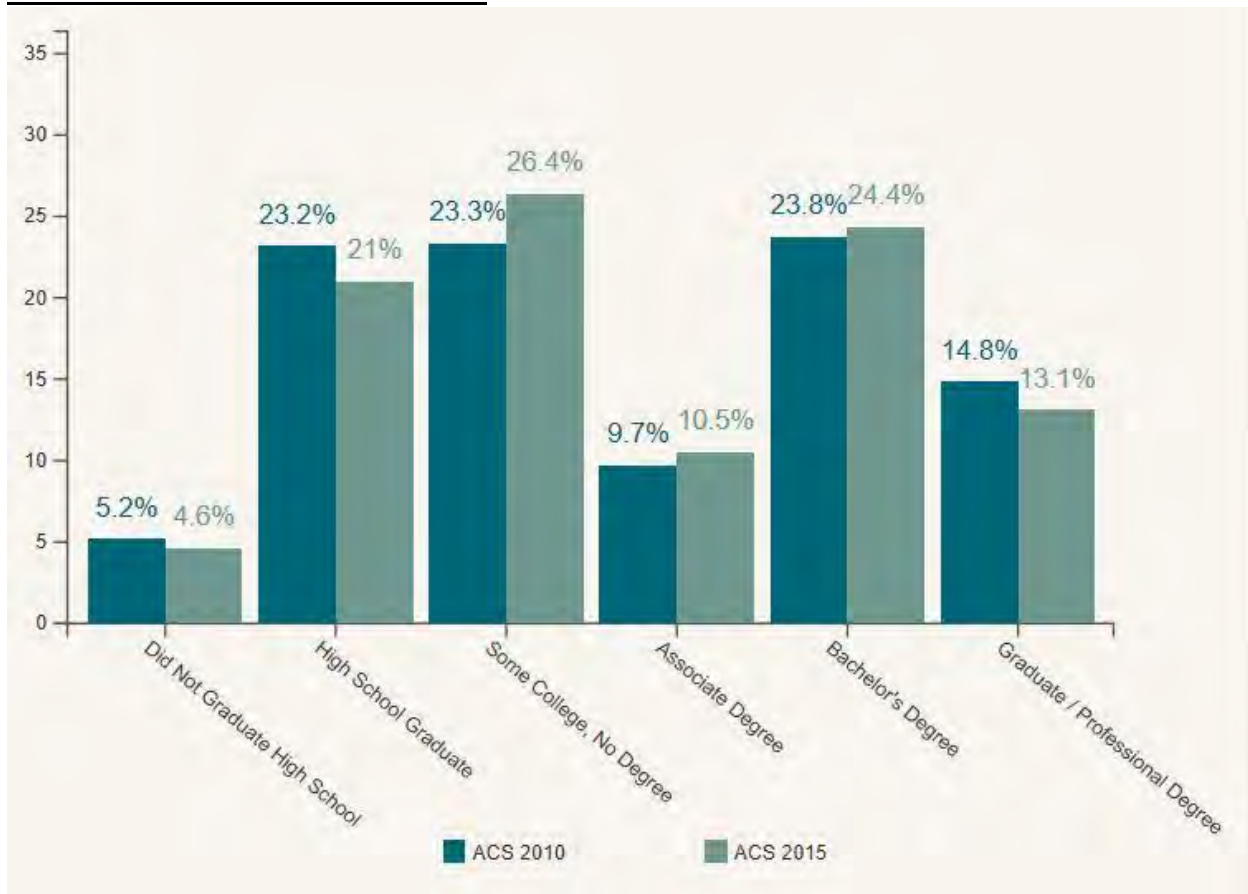
*Source: SEMCOG 2045 Regional Development Forecast

RACE

Race and Hispanic Origin	Census 2010	Percent of Population 2010	ACS 2015	Percent of Population 2015	Percentage Point Change 2010-2015
Non-Hispanic	20,886	98.7%	21,045	98.3%	-0.4%
↳ White	20,367	96.2%	20,537	95.9%	-0.3%
↳ Black	66	0.3%	29	0.1%	-0.2%
↳ Asian	122	0.6%	58	0.3%	-0.3%
↳ Multi-Racial	242	1.1%	413	1.9%	0.8%
↳ Other	89	0.4%	8	0%	-0.4%
Hispanic	279	1.3%	364	1.7%	0.4%
Total	21,165	100%	21,409	100%	0%

***Source: U.S. Census Bureau, SEMCOG, & 2015 ACS 5 Year Estimates**

HIGHEST LEVEL OF EDUCATION



***Source: U.S. Census Bureau, SEMCOG, & 2015 ACS 5 Year Estimates**

HOUSING TYPES

Housing Type	ACS 2010	ACS 2015	Change 2010-2015	New Units Permitted 2015-2018
Single Family Detached	8,083	8,274	191	166
Duplex	81	176	95	0
Townhouse / Attached Condo	67	51	-16	0
Multi-Unit Apartment	19	84	65	0
Mobile Home / Manufactured Housing	367	417	50	0
Other	0	0	0	
Total	8,617	9,002	385	166
Units Demolished				-28
Net (Total Permitted Units - Units Demolished)				138

*Source: U.S. Census Bureau, 2010 & 2015 ACS 5 Year Estimates, SEMCOG

HOUSING VALUE AND RENT

Housing Value (in 2015 dollars)	ACS 2010	ACS 2015	Change 2010-2015	Percent Change 2010-2015
Median housing value	\$256,822	\$206,100	\$-50,722	-19.8%
Median gross rent	\$1,036	\$893	\$-143	-13.8%

*Source: SEMCOG & U.S. Census Bureau

BUILDING PERMITS 2010-2018

	<u>Single Family</u>	<u>Two-Family</u>	<u>Attached Condo</u>	<u>Multi-Family</u>	<u>Total</u>
<u>2010</u>	<u>11</u>	<u>0</u>	<u>0</u>	<u>0</u>	<u>11</u>
<u>2011</u>	<u>17</u>	<u>0</u>	<u>0</u>	<u>0</u>	<u>17</u>
<u>2012</u>	<u>23</u>	<u>0</u>	<u>0</u>	<u>0</u>	<u>23</u>
<u>2013</u>	<u>51</u>	<u>0</u>	<u>0</u>	<u>0</u>	<u>51</u>
<u>2014</u>	<u>54</u>	<u>0</u>	<u>0</u>	<u>0</u>	<u>54</u>
<u>2015</u>	<u>39</u>	<u>0</u>	<u>0</u>	<u>0</u>	<u>39</u>
<u>2016</u>	<u>50</u>	<u>0</u>	<u>0</u>	<u>0</u>	<u>50</u>
<u>2017</u>	<u>39</u>	<u>0</u>	<u>0</u>	<u>0</u>	<u>39</u>
<u>2018</u>	<u>38</u>	<u>0</u>	<u>0</u>	<u>0</u>	<u>38</u>

*Source: SEMCOG

HOUSEHOLD INCOME

Income (in 2015 dollars)	ACS 2010	ACS 2015	Change 2010- 2015	Percent Change 2010- 2015
Median Household Income	\$92,009	\$78,085	\$-13,924	-15.1%
Per Capita Income	\$37,963	\$38,067	\$104	0.3%

*Source: U.S. Census Bureau, ACS 5 Year Estimates 2010 & 2015

POVERTY

Poverty	ACS 2010	% of Total (2010)	ACS 2015	% of Total (2015)	% Point Chg 2010- 2015
Persons in Poverty	758	3.5%	872	4.1%	0.6%
Households in Poverty	228	2.9%	335	4.1%	1.2%

*Source: U.S. Census Bureau, 2010 & 2015 ACS 5 Year Estimates

HOUSING TENURE

Housing Tenure	Census 2010	ACS 2015	Change 2010-2015
Owner occupied	7,227	7,529	302
Renter occupied	633	655	22
Vacant	808	818	10
↳ Seasonal/migrant	474	535	61
↳ Other vacant units	334	283	-51
Total Housing Units	8,668	9,002	334

*Source: U.S. Census Bureau, 2010 & 2015 ACS 5 Year Estimates

TOWNSHIP AND COUNTY MAP AND MASTER PLAN LINKS:

Hamburg Township Zoning Map:

[http://www.hamburg.mi.us/government/lawroom_\(ordinances\)_general_ordinances/zoning_ordinance.php](http://www.hamburg.mi.us/government/lawroom_(ordinances)_general_ordinances/zoning_ordinance.php)

Hamburg Township Master Plan:

[http://www.hamburg.mi.us/government/lawroom \(ordinances\) general ordinances/master plans.php](http://www.hamburg.mi.us/government/lawroom%20(ordinances)%20general%20ordinances/master_plans.php)

Countywide Generalized Zoning Map:

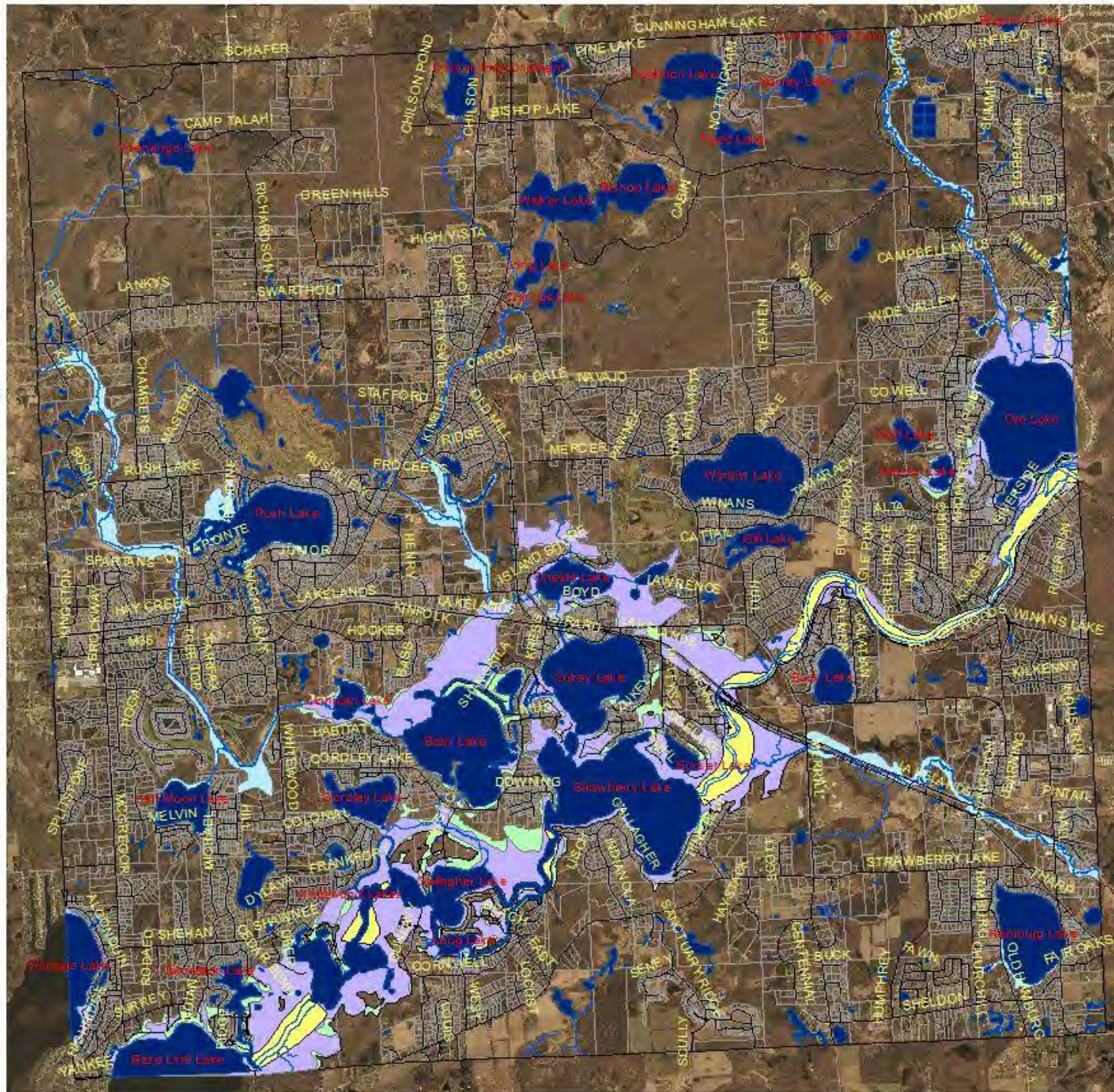
<https://livgov.maps.arcgis.com/apps/webappviewer/index.html?id=1e91d68c9eb540d5b63d8cc51f8b3652>

2018 Livingston County Master Plan: <https://www.livgov.com/plan/Pages/County-Plans.aspx>

APPENDIX C

PUBLIC OUTREACH







Hamburg Township Master Plan Kickoff Meeting



THE KICKOFF MEETING: Introductions

Who was invited:

Representatives from governmental and quasi-governmental agencies that will be key contributors and users of the New Master Plan:

- All of the required interested agencies:
 - Adjacent Municipalities
 - The Public Utilities
 - LCPC and RC
 - MDOT
 - LETS
- School Districts
- Chamber of Commerce
- LCBD and DC
- MDEQ
- DNR
- MAP
- MML
- MTA
- SPARK

THE KICKOFF MEETING: Introductions

The Steering Committee: will be tasked with directing the master plan review process and to solicit public engagement throughout the process.

- Two Township Board Members:
 - Jim Neilson
 - Annette Koeble
- One Planning Commission Member:
 - Victor Leabu
- One Zoning Board of Appeals Member:
 - Joyce Priebe
- One Representative from the LCPD
 - Katherine Kline-Hudson
- One Residential Property Owner anywhere within the Township
 - Michelle Brunner
- One Commercial Property or Business Owner anywhere within the Township
 - Lauren Tharp
- One Residential Property Owner, Commercial Property Owner, or Business Owner within the Village Center Area
 - Stephen Pugsley





THE MASTER PLAN: What is it

What is it:

The Master Plan is a document which creates policies to guide the future development of the Township. This plan is necessary prior to creating the municipalities zoning ordinance. The difference between a Master Plan and the Zoning Ordinance is that the master plan is a policy document that expresses the intent of the Township and the zoning ordinance is law with penalties and consequences for not following it.

The Master Plan communicates a shared vision for Hamburg Township's future and guides how the Township can build on its assets and overcome barriers to reach that vision. The Master Plan is a tool used by Township staff as well as local boards and committees to make decisions about:

- How the Township can protect environmentally sensitive areas as well as important historic buildings and landmarks,
- What future investments in community services are priorities, and
- How the Township can support business development.

THE MASTER PLAN: Why

It is Required by the Michigan Planning Enabling Act (MPEA)

- The MPEA requires that the Master Plan “make careful and comprehensive surveys and studies of present conditions and future growth within the planning jurisdiction with due regard to its relation to neighboring jurisdictions” Section 31(2)(a)).
- MPEA also requires “A master plan shall address land use and infrastructure issues and may project 20 years or more into the future. A master plan shall include maps, plats, charts, and descriptive, explanatory, and other related matter and shall show the planning commission’s recommendations for the physical development of the planning jurisdiction” (Sec. 33(1)).

The following items are required by MPEA to be included in the Master Plan:

- A land use plan (Sec. 33(2)(a));
- Recommendations on infrastructure (Sec. 33(2)(b));
- Recommendations for redevelopment or rehabilitation of blighted areas (Sec. 33(2)(c));
- A zoning plan (Sec. 33(2)(d)) and
- Implementation measures (Sec. 33(2)(e)).

The following items are suggested items that may be included in the Master Plan (MPEA section 7(2)(d))

- A system of transportation to lessen congestion on streets and provide for safe and efficient movement of people and goods by motor vehicles, bicycles, pedestrians, and other legal users.
- Safety from fire and other dangers.
- Light and air.
- Healthful and convenient distribution of population.
- Good civic design and arrangement and wise and efficient expenditure of public funds.
- Public utilities such as sewage disposal and water supply and other public improvements.
- Recreation.
- The use of resources in accordance with their character and adaptability.”



THE MASTER PLAN: Update Why

To Streamline the Master Plan Document and to make it more user friendly; most of the information required in MPEA (Demographics and Existing Natural and Physical areas of the Township) can be put into an Appendices with just brief summaries of the information in the actual wording of the Master Plan. That will allow the more important information such as the goals, objectives and implementation measures to have a more prominent role in the actual Master Plan Document.

The Master Plan will be used by Hamburg Township to do the following:

- Make better decisions about where to invest in public infrastructure and improve municipal services.
- Understand changing demographics and how shifts might impact housing, municipal services, transportation needs, and other aspects of town life.
- Bring residents together to talk about the Town's future
- Be eligible for funding opportunities, showing how projects have been vetted with the public and are local priorities.
- Its most important goal is to protect and enhance the things in Hamburg Township that make it a great place to live, both for today's residents and future generations.



THE MASTER PLAN: Moving Forward

Step	Task	2018				2019	
		Mar	Apr-Jun	Jul-Sep	Oct-Dec	Jan-Mar	Apr-Jun
1	Prepare and Send Notice of Intent to Plan *	3/1/18-3/2/18					
2	Create Master Plan Committee	3/1/18-3/15/18					
3	Kick off Meeting with all interested parties		4/12/18				
4	Review and identify deficiencies and key stakeholders		4/12/18-5/7/18				
5	Meeting of Master Plan Committee discuss review and public outreach		5/7/18-5/11/18				
6	Prepare Survey		5/14/18-6/4/18				
7	Make Survey Public		6/4/18				
8	Public Outreach Meeting and Events		6/4/18	8/3/18			
9	Meeting of the Master Plan Committee to discuss public input			8/6/18-8/10/18			
10	Compile Data and Prepare Revisions to All Documents		6/4/18		10/5/18		
11	Meeting of Master Plan Committee to review draft Master Plan				10/8/18-10/12/18		
12	Prepare report for Planning Commission				10/15/18-11/13/18		
13	Planning Commission Meeting on Draft Master Plan *				11/21/18		
14	Prepare report for Township Board				11/22/18-11/27/18		
15	Township Board to approve distribution of the Draft Master Plan*				12/4/18		
16	Distribute Draft Master Plan*				12/7/18		
17	Public Review Period *				12/7/18	2/9/19	
18	County Review Period *				12/7/18	3/11/19	
19	Meeting of Master Plan Committee to review and address comments					3/11/19-3/17/19	
20	Make necessary changes to Draft Master Plan and Prepare Report for Planning Commission					3/17/19	4/12/19
21	First Meeting for Planning Commission Review of Final Draft Master Plan						4/17/19
22	Prepare revisions to Final Draft Master Plan based on PC comments						4/18/19-5/10/19
23	Hold Public Hearing for Planning Commission Review of Final Draft Master Plan *						5/15/19
24	Prepare Report of Township Board						5/16/19-6/12/19
25	Hold Township Board Review of Final Draft Master Plan *						6/18/19
26	Send necessary agencies copy of approved Master Plan *						6/19/19-6/25/19
27	Implement Master Plan						Next 20 years
	Master Plan Subcommittee Meeting						
	Planning Commission Meeting						
	Township Board Meeting						

* These tasks are required by the MPEA

THE MASTER PLAN: Visioning Questions

1. What is your favorite thing about Hamburg Township?

- _____
- _____
- _____
- _____

2. If you could add anything to Hamburg Township what would it be?

- _____
- _____
- _____
- _____

3. What is your favorite pastime/hobby?

- _____
- _____
- _____
- _____





THE MASTER PLAN: Moving Forward

Public Participation:

- Identifying and setting up meeting with Key Stakeholders
- Creating a Public Survey that is available to everyone
- Attending HOA meetings and holding Open Houses
- Setting up Information Booths at Public Events
- Public Participation Contest (best pictures or front cover design)
- Creating a Website to keep the public informed and to create an easier way for the public to get involved
 - <https://visionhamburgmi.wixsite.com/hamburgmasterplan>
- Holding public meeting and distributing the new Master Plan for comments

THE MASTER PLAN: What's Next

- Stay Involved
 - Follow the process
 - On the website
 - Via e-mails: interested parties list
 - Make your voices heard
 - Make sure your comments and concerns are addressed
 - Send your comments
 - Website
 - e-mail asteffens@hamburg.mi.us
 - phone at 1-810-231-1000
 - Mail: Hamburg Township
Planning Department
10405 Merrill Road
Whitmore Lake, Michigan 48189
- Participate in Public Participation:
 - Fill out the survey
 - Come to meetings
 - Attend open houses and events



THE MASTER PLAN: What's Next

- Steering Committee
 - Next meeting will be the beginning of May
 - Review Master Plan Update Binders
 - Master Plan
 - M-36 Corridor Plan
 - Village Center Master Plan
 - Informational Handouts
 - Discuss Key Stakeholders
 - Who should the Township actively reach out to and get involved in the process
 - Master Plan Update Layout
 - Public Participation Survey Review



April 12, 2018 Kickoff Meeting

Visioning Questions Answers

Questions 1: What is your favorite thing about Hamburg Township?

1. The natural resources; Lakes, Hills, Woodlands
2. The Water
3. The Chain of Lakes and Lakeland Trail
4. The Huron River, Lakelands Trail and Outdoor Recreations
5. The natural resources; Water, Wetlands, Woods, etc.
6. Ditto
7. The Lakes and River
8. The Water, People and Trails
9. The Lakes
10. The Lakelands Trail
11. The People
12. The Nature and Lakes
13. The Parks
14. The Family Centered Environment, Water and Trails
15. The area reminds me of up north

Question 2: If you could add anything to Hamburg Township what would it be?

1. Public Transportation to Ann Arbor, Detroit and Lansing
2. Senior Housing
3. Senior Housing
4. Better Public Transportation
5. M-36 Traffic Congestions
6. Shared Biked
7. Trail connections to the Lakeland Trail
8. Farmers Market
9. Senior Housing and Apartments
10. Senior Housing and affordable apartments
11. Sustainable Planning Practices
12. Ditto
13. More Parks with Activities for Kids

Question 3: What is your favorite pastime?

1. Water Sports
2. Anything outdoors
3. Boating
4. Fishing, canoeing
5. Water recreation activities
6. Paddle boarding, walking
7. Woodworking
8. Kayaking
9. Walking, Biking, Boating and Swimming

10. Cross Country Skiing

11. Trail Walking

12. Bird Watching, Swimming at Hamburg Fitness Center and listening to R&B music

13. Hiking, birdwatching, canoeing, biking, exploring nature, chatting with fellow enthusiasts

June 14-16, 2018 Fun Fest visioning board responses

What is your favorite thing about Hamburg Township?

Water, Lakes, & River: 6

The Lakeland Trail: 5

Parks and Activities (Things to do, Outdoor Recreation): 2

The People: 1

Natural Areas (Wetlands, Woods, etc.): 0

Services (Retail, specialty shops, restaurants, etc.): 0

If you could add anything to Hamburg Township, what would it be?

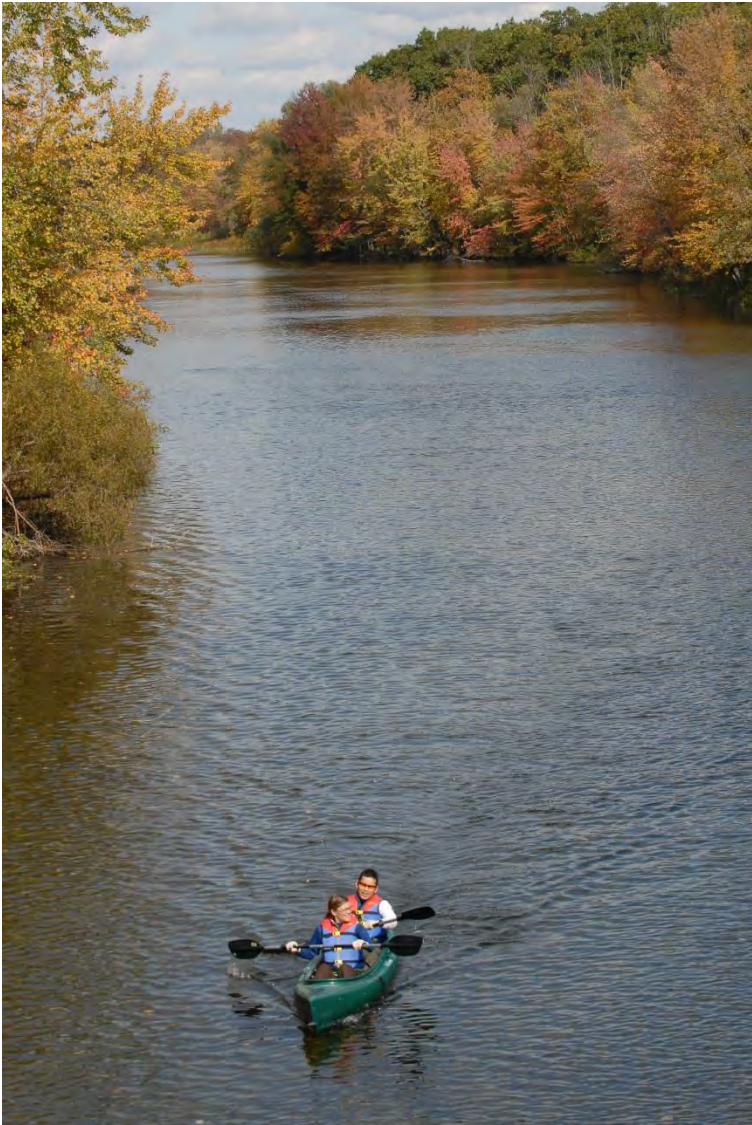
Farmers Market: 6

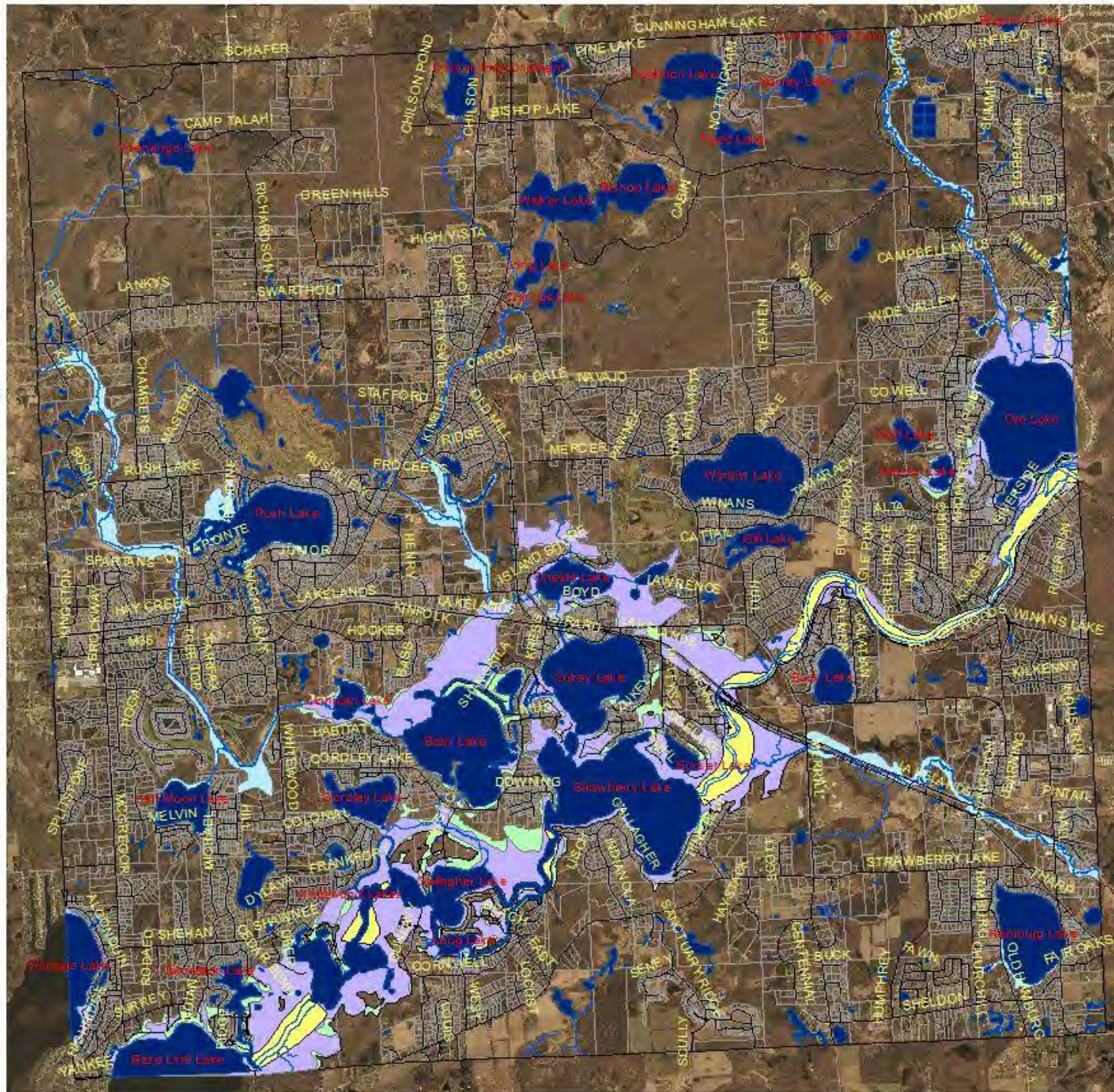
Senior housing & Apartments: 5

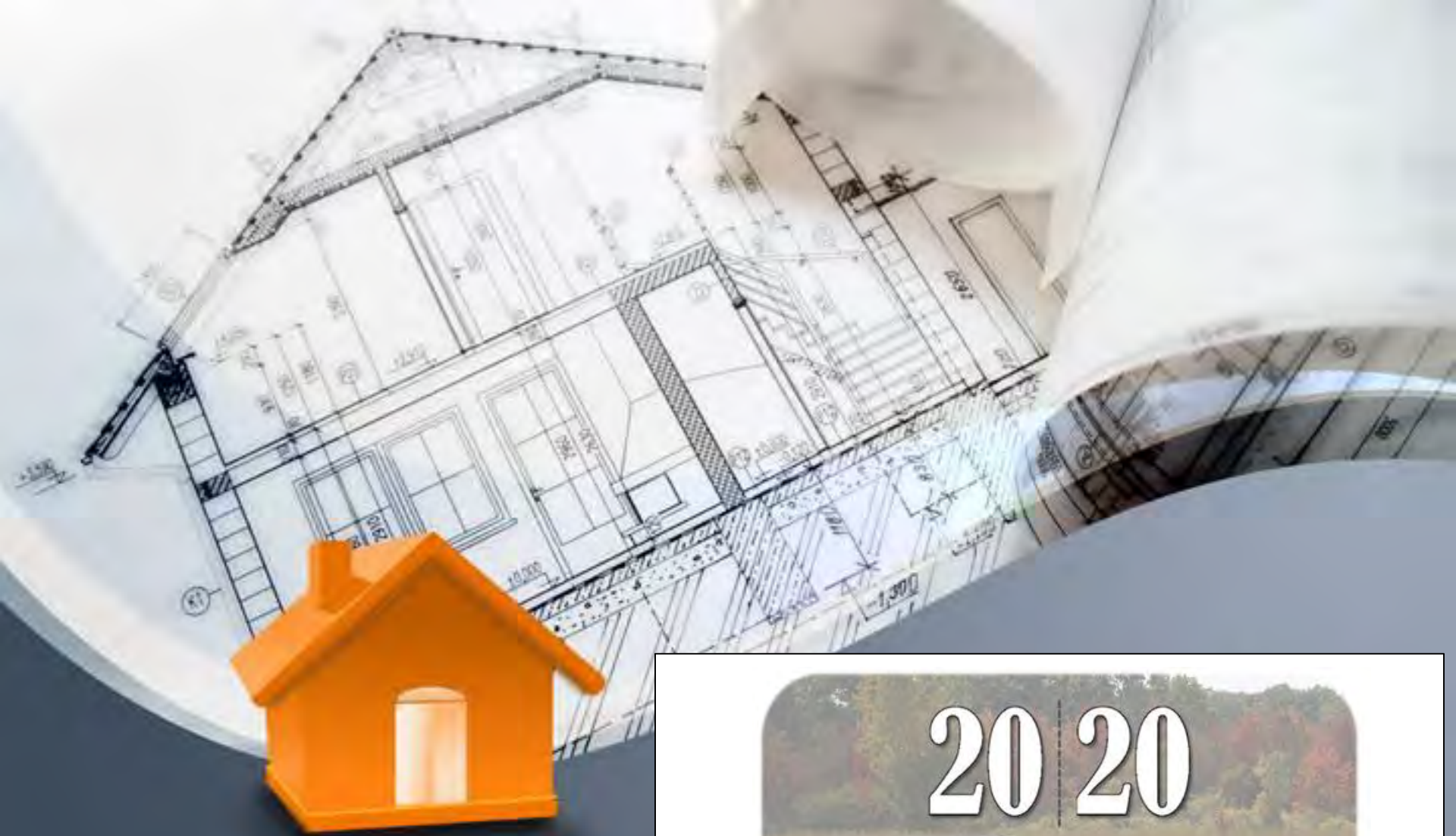
Parks and Activities for kids: 3

Trails and connections to the Lakelands Trail: 2

Public Transit and Multi-Modal options: 0







20 | 20

MASTER PLAN UPDATE



Hamburg Township



<https://visionhamburgmi.wixsite.com/hamburgmasterplan>



PUBLIC OPEN HOUSE: Introductions

Who was invited:

Anyone that is interested in the future of Hamburg Township.

- Citizens of the Township
- Government Officials
 - Township Board Members
 - Planning Commission Members
 - Zoning Board of Appeals Members
 - Parks and Rec Commission Members
 - Others
- Business Owners
- People that work, shop or play in the Township
 - People in the Schools
 - People that use the parks or lake
 - People that shop at the businesses

PUBLIC OPEN HOUSE: Introductions



Who we are:

Township Staff:

- Amy Steffens, AICP: Hamburg Township Planning and Zoning Director
- Brittany Stein: Hamburg Township Zoning Coordinator
- Scott Pacheco, AICP: Hamburg Township Planner

The Steering Committee:

- Jim Neilson : Township Board
- Annette Koeble: Township Board
- Victor Leabu: Township Planning Commission
- Joyce Priebe: Township Zoning Board of Appeals
- Katherine Kline-Hudson: Livingston County Planning Department
- Michelle Brunner: Hamburg Township Residential Property Owner
- Lauren Tharp: Hamburg Township Resident and Commercial Business Owner
- Stephen Pugsley: Hamburg Township, Village Center Resident





THE MASTER PLAN: What is it?

What is the Master Plan:

The Master Plan is a document which creates policies to guide the future development of the Township. This plan is necessary prior to creating the municipalities zoning ordinance. The difference between a Master Plan and the Zoning Ordinance is that the master plan is a policy document that expresses the intent of the Township and the zoning ordinance is law with penalties and consequences for not following it.

The Master Plan communicates a shared vision for Hamburg Township's future and guides how the Township can build on its assets and overcome barriers to reach that vision. The Master Plan is a tool used by Township staff as well as local boards and committees to make decisions about:

- How the Township can protect environmentally sensitive areas as well as important historic buildings and landmarks,
- What future investments in community services are priorities, and
- How the Township can support business development.



THE 20/20 MASTER PLAN: Schedule

Step	Task	2018				2019	
		Mar	Apr-Jun	Jul-Sep	Oct-Dec	Jan-Mar	Apr-Jun
1	Prepare and Send Notice of Intent to Plan *	3/1/18-3/2/18					
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27	Implement Master Plan						Next 20 years
	Master Plan Subcommittee Meeting						
	Planning Commission Meeting						
	Township Board Meeting						

* These tasks are required by the MPEA

THE 20|20 MASTER PLAN: Where we are at:



Timeline of Events:

- 1) In March of 2018 the Notice of Intent to prepare the 20|20 Master Plan was sent to the required agencies.
- 2) In March of 2018 the 20|20 Master Plan Steering Committee was formed to help guide the preparation of the Plan.
- 3) On April 12, 2018 the Kick-off Meeting with the government and quasi-government agencies was held for the 20|20 Master Plan Process.
- 4) In mid-April of 2018 The 20|20 Master Plan Website was created:
<https://visionhamburgmi.wixsite.com/hamburgmasterplan>
- 5) On May 11, 2018 the Steering Committee held a public meeting to discuss who the key stakeholders are and what public outreach was needed to gather input.
- 6) In June of 2018 a survey was distributed to solicit public responses to help guide the 20|20 Master Plan process.
- 7) On June 14, 15, and 16, 2018 Township Staff and Steering Committee members set up a booth at the Hamburg Family Fun Fest to interact with the public.
- 8) In July of 2018 Steering Committee members visited various commercial businesses throughout the Township to get a better understanding of how the Township can provide better services to the commercial interests with the township.
- 9) Tonight's Open House is our final outreach to get public input for the 20|20 Master Plan.



THE MASTER PLAN: Public Open House

(Work Station Activity 1)



There are 5 tables in the room (Tables A-E). Each table is considered a work station. At each work station there is a large aerial map of Hamburg Township and three markers (blue, green and black). The people sitting at each table are considered a group. As a group please use the Aerial Map at your table and identify the following:

1. With the green sharpie circle your favorite areas or places in Hamburg Township.
2. With the blue sharpie circle the areas of the Township you believe should be preserved.
3. With the black sharpie circle the areas of the Township you believe are most appropriate for future development.

After your group has created your map please pick a representative from your group that will present the following information:

1. Why did your group pick the areas in green? What does your group like about those areas? Is there anything your group believes the Township may be able to do to either make these areas better or to expand these areas into other parts of the Township?
2. Why did your group pick the areas in blue? What does your group believe should be preserved in these areas and why?
3. Why did your group pick the areas in black? What are the areas your group picked to be most appropriate for development and why? Do you have a type of development you would like to see in the areas?

If you have question during this activity there are Steering Committee members at each work station to help you or feel free to ask one of the Township Planning Staff members in the room.





THE MASTER PLAN: Village Center

Village Center Master Plan:

- In 1995 the Hamburg Township Village Plan was created. This plan outlined the concept of building upon the existing infrastructure of the original platted Village of Hamburg.
- In 2010 the Hamburg Township Village Plan (HTVP) was updated to better focus on analysis, design, public participation, and the implementation of the plan. The 2010 HTVP outlined a more detailed implementation strategy for the development of the Village area to insure that the future development will result in the creation of a cohesive community center which will offer services which benefit the entire Hamburg community.
 - This update included a detailed natural and man-made features and market analysis of the area.
 - The update also utilized public input through a 2 day design charrette and multiple public workshops.
- The Village Center Area is designed to provide :
 - housing options for the residents of Hamburg Township including single family detached units, attached single family units, and multiple family units
 - The housing should allow for the population necessary to support the areas commercial and business needs
 - commercial businesses that support the day to day needs of the residents within the Village area, and
 - specialized commercial business including antique stores, restaurants and other attractions for all residents of the township and surrounding communities.

The additional population, mix of businesses, and design of the area will help foster a thriving and vibrant area that will hopefully someday be a destination for residences of the Township and the surrounding communities.

THE MASTER PLAN: Public Open House (Work Station Activity 2)



At each work station there is an aerial map labeled **Village Center** and a **Future Land Use Map** that was created from the 2010 Village Center Master Plan Public Outreach. Each work station should also have 3 stapled packets labeled **Village Historic District**, **Village Residential-10 District**, and **Village Core /Village Gateway District**. These packets contain a description of the district as created in 2010 and pictures of different types of developments.

On the aerial map you will see three areas outlined. The area outlined in blue is the **Village Historic District**, the areas outlined in green is the **Village Residential-10 District**, the areas outlined in black is the **Village Core/ Village Gateway Districts** as designated in the future land use map for the Village Center Master Plan.

Your group should review the map, the location of each district, the description of each district as created in 2010, and the development pictures in the packet for each district. Once you have done this your group should pick out which types of developments would be most appropriate for each area. Your group may choose multiple types of development (pictures) for each area.

After your group has considered the development types please pick a representative from your group that will present the following information:

1. What types of Development your group picked for each area , why your group liked those development types and why your group did not like the other development types?
2. Is there anything that your group believes may be beneficial in the Village Center area ? How does your group think that the Hamburg Township government may be able to help to provide this?

If you have question during this activity there are Steering Committee members at each work station to help you or feel free to ask one of the Township Planning Staff members in the room.





THE MASTER PLAN: Moving Forward

Public Participation:

- On September 5, 2018 the public survey will be closed (two weeks from today)

Preparing and approval of the 20|20 Master Plan (after September 5, 2018):

- Compile data collected from public outreach and present to steering committee at meeting to discuss drafting the 20|20 Master Plan (mid-September).
- Prepare draft Master Plan with help and input for the steering committee (September – November).
- Present draft Master Plan to the Township Planning Commission and the Township Board (December 2018).
- Distribute the draft Master Plan for public review and comment.
- Make any necessary changes to the draft Master Plan after the comment period is closed.
- Hold Planning Commission Public Hearing on the final draft of the Master Plan.
- Township Board meeting to approve final draft of the Master Plan (June 2019).
- Distribute the approved Master Plan to the interested agencies.
- Implement the new Master Plan.

THE MASTER PLAN: Next Steps



1. Compile and present data from the public outreach
 - 600+ surveys have been received to date.
 - 30+ business have been visited.
 - 4 Public meetings to solicit input have been held.

2. Prepare Draft Hamburg Township 20|20 Master Plan
 - Meeting with Steering Committee mid-September.
 - September to December: prepare draft 20|20 Master Plan.



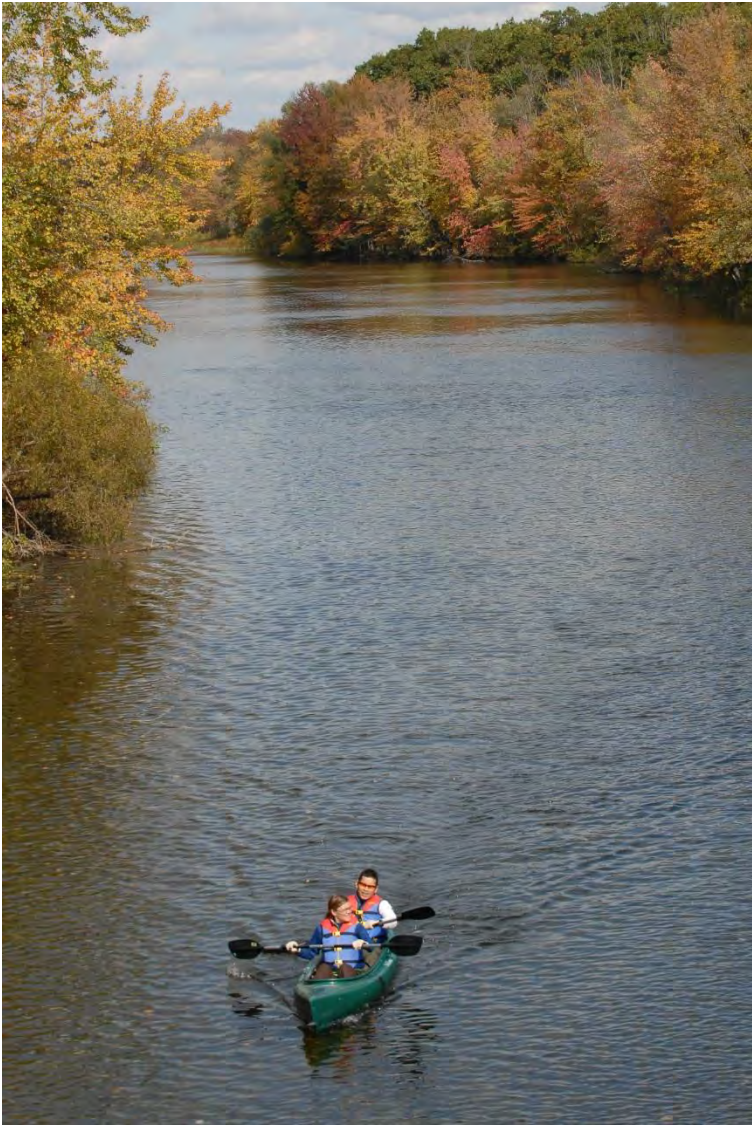
THE MASTER PLAN: Last Chances for Public Input Opportunities

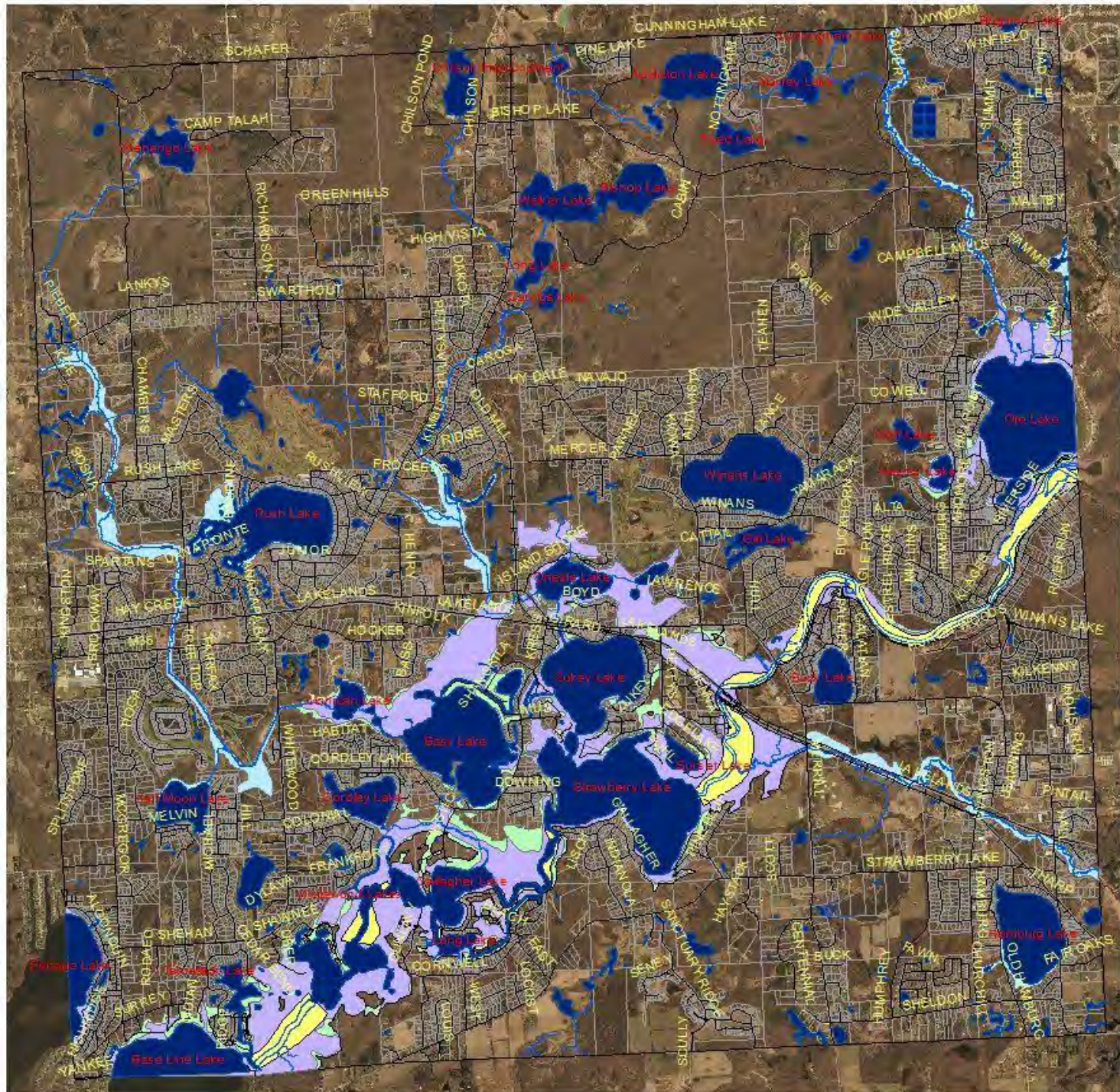


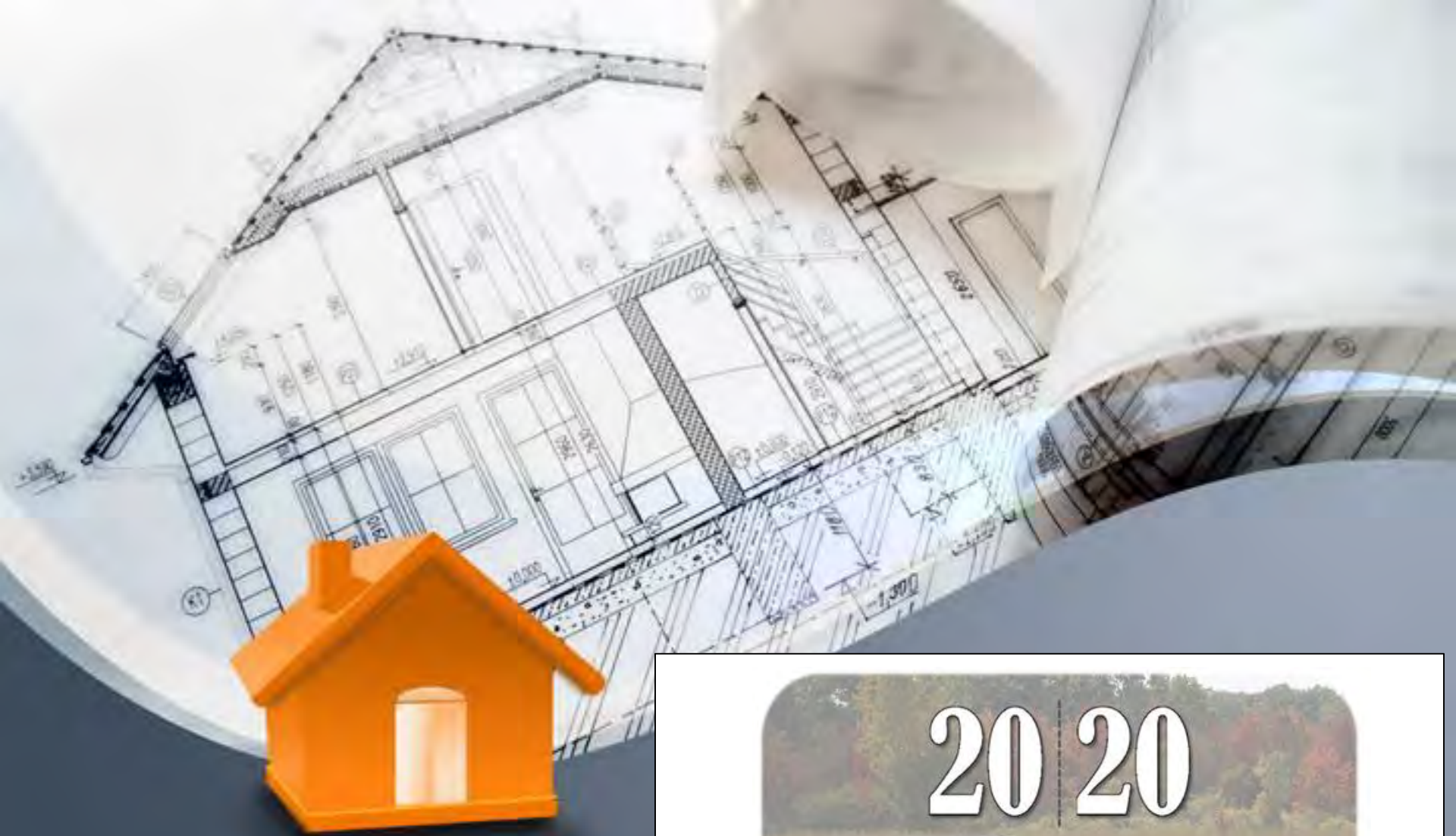
1. Comment or fill out the Survey at the Hamburg Township 20|20 Master Plan Webpage:
<https://visionhamburgmi.wixsite.com/hamburgmasterplan>
2. Come into the Township Hall and fill out a hard copy of the survey or talk with a Planning and Zoning Staff member about your ideas or concerns at:

Township Office
Zoning Counter
10405 Merrill Road
Whitmore Lake, MI









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MASTER PLAN UPDATE



Hamburg Township



<https://visionhamburgmi.wixsite.com/hamburgmasterplan>



Public Participation Efforts

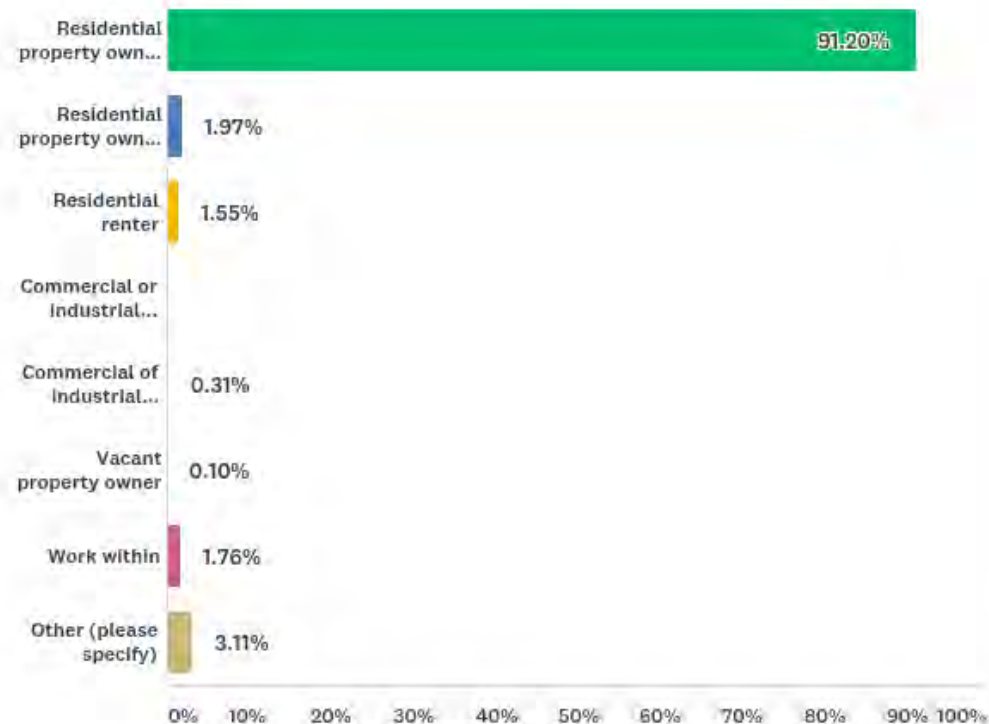
Public Outreach Events:

- April 12, 2018 the Kick-off Meeting (Governmental and Qusi-governmental professionals)
 - Lakes, Rivers, Natural Areas and Trails
 - Public Transportation and Senior/ Affordable Housing
- May 11, 2018 Steering Committee Meeting
- June 2018 the website and public survey were created and made public
- June 14, 15, and 16, 2018 Hamburg Family Fun Fest Booth.
 - Lakes, Rivers, and Trails
 - Farmers Market and Senior Housing
- 2nd, 3rd and 4th weeks of July 2018 Steering Committee reached out to commercial businesses throughout the township
- August 22, 2018 Public Open House meeting
 - Lakes, Rivers, Natural Areas and Trials
 - Limiting Development, Preserving Open Space and No High Density Residential

Survey Results: Question 1



Q1 Which of the following best describes your involvement with Hamburg Township?



2020

MASTER PLAN UPDATE



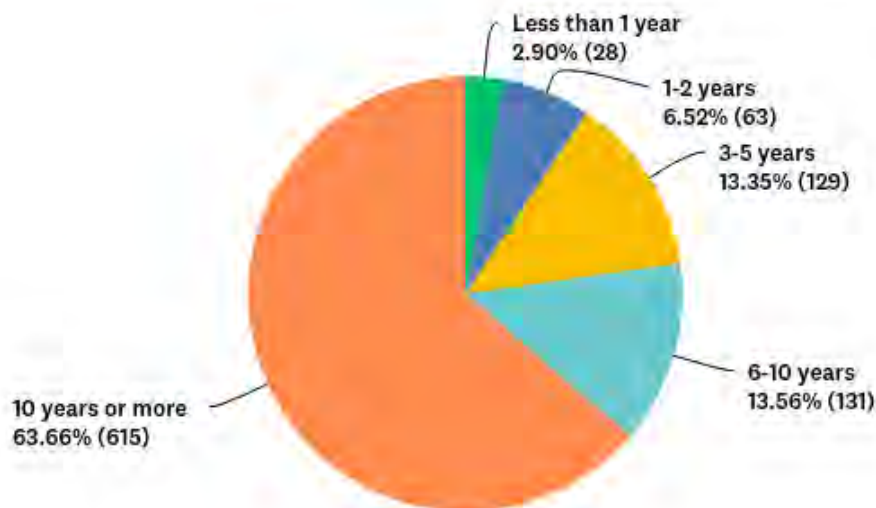
Hamburg Township



<https://visionhamburgmi.wixsite.com/hamburgmasterplan>

Survey Results Question 2

Q2 Based on your answer to Question 1, how long have you been involved with Hamburg Township in this capacity?



2020

MASTER PLAN UPDATE



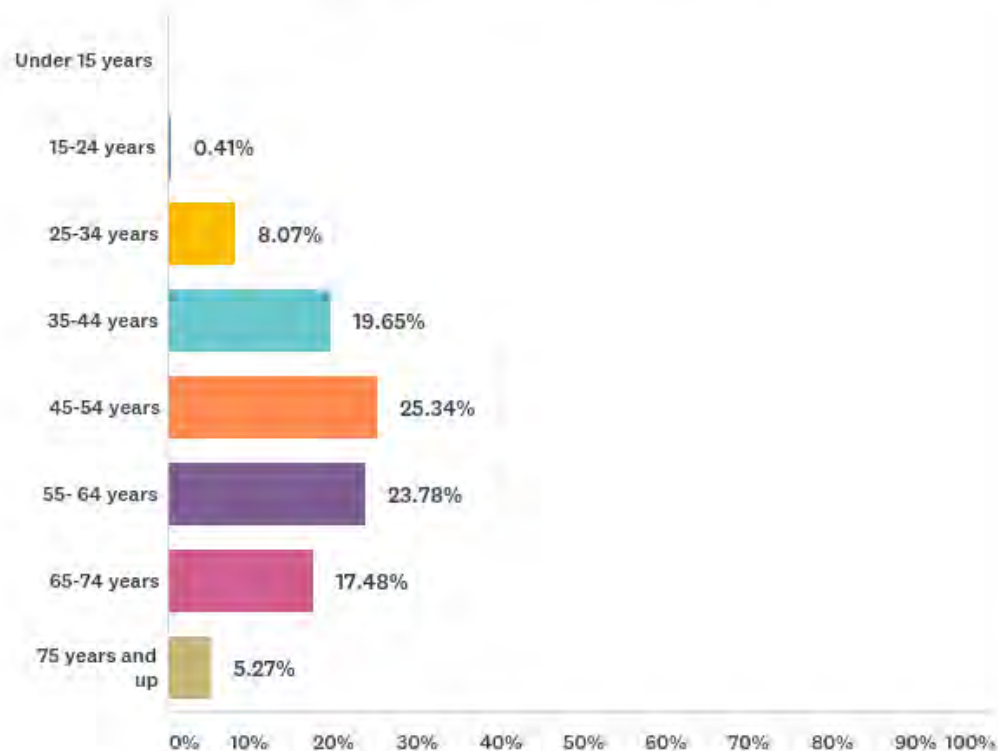
Hamburg Township



<https://visionhamburgmi.wixsite.com/hamburgmasterplan>

Survey Results Question 3

Q3 What is your age range?



2020

MASTER PLAN UPDATE



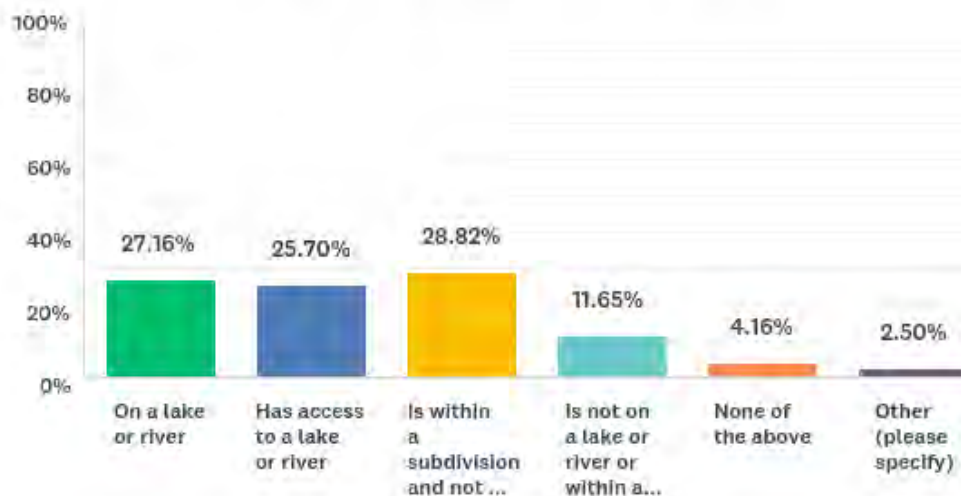
Hamburg Township



<https://visionhamburgmi.wixsite.com/hamburgmasterplan>

Survey Results Question 4

Q4 If you are a residential property owner or renter in the Township which best describes the property you own or rent?



2020

MASTER PLAN UPDATE



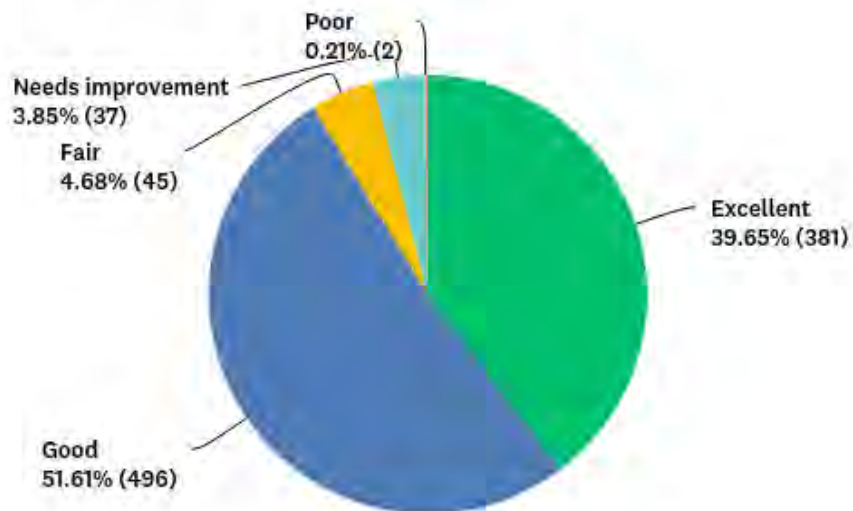
Hamburg Township



<https://visionhamburgmi.wixsite.com/hamburgmasterplan>

Survey Results Question 5

Q5 How do you rate the quality of life within Hamburg Township?



2020

MASTER PLAN UPDATE



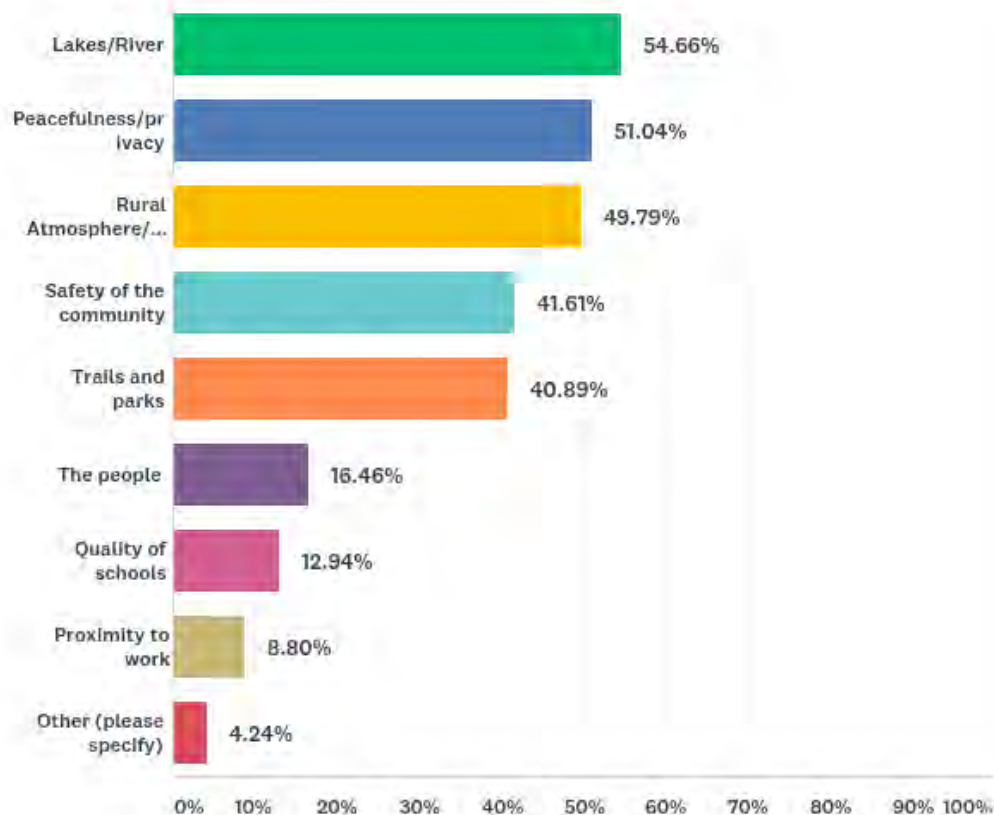
Hamburg Township



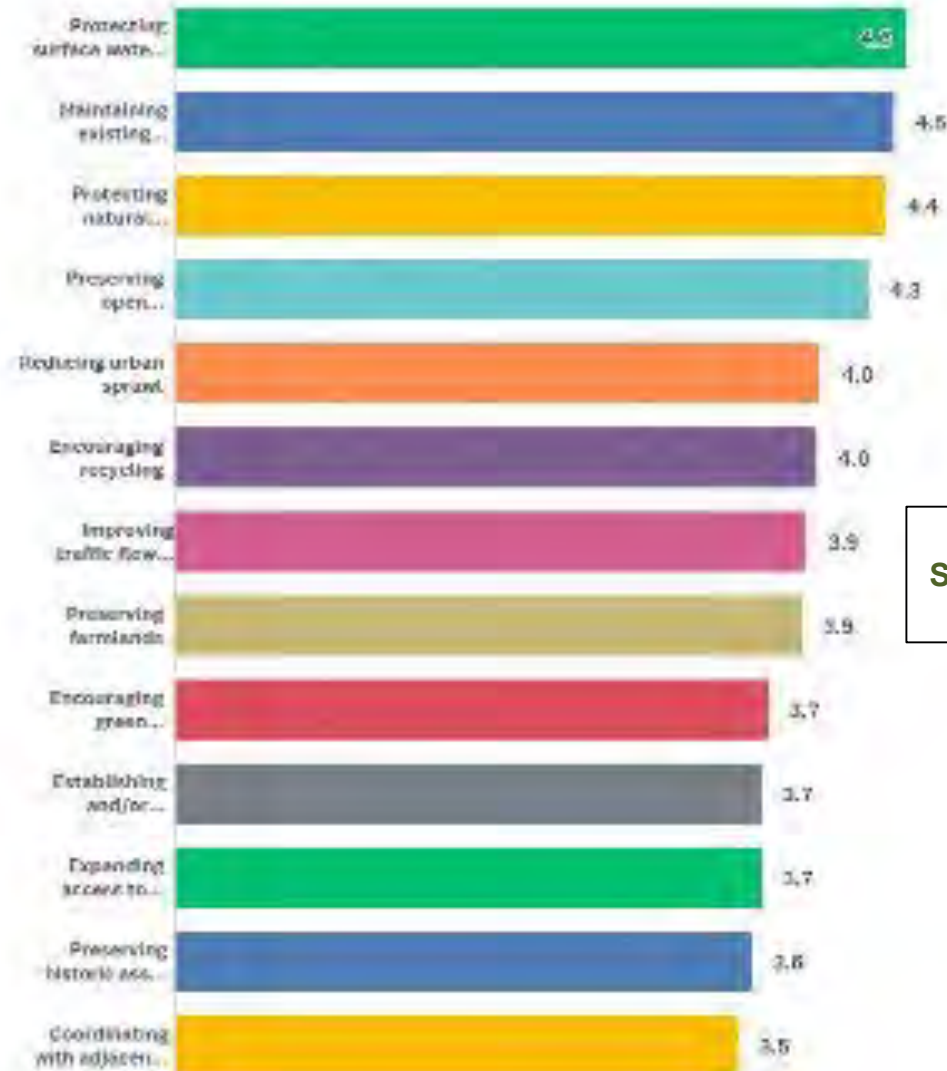
<https://visionhamburgmi.wixsite.com/hamburgmasterplan>

Survey Results Question 6

Q6 What is your favorite thing about Hamburg Township?



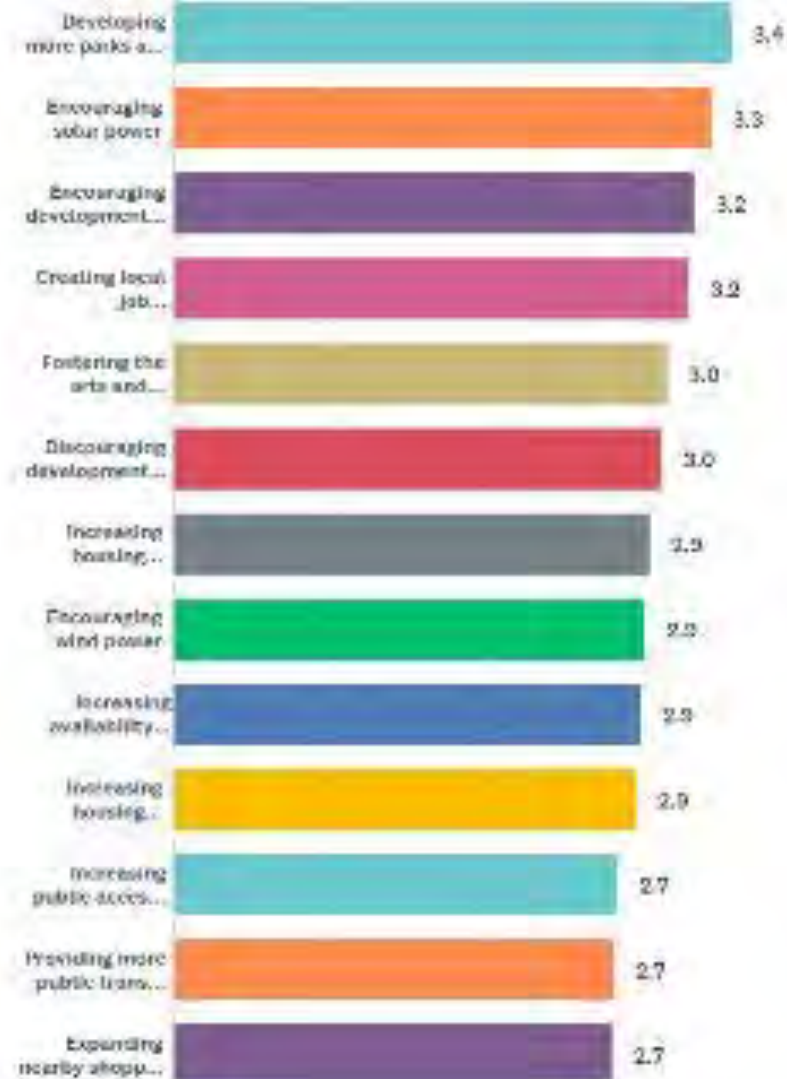
Q7 On a scale from 1 (not very important) to 5 (very important) In your opinion, how important will each of the following items be for Hamburg Township to consider on over the next 5 to 10 years?



Survey Results Question 7-1



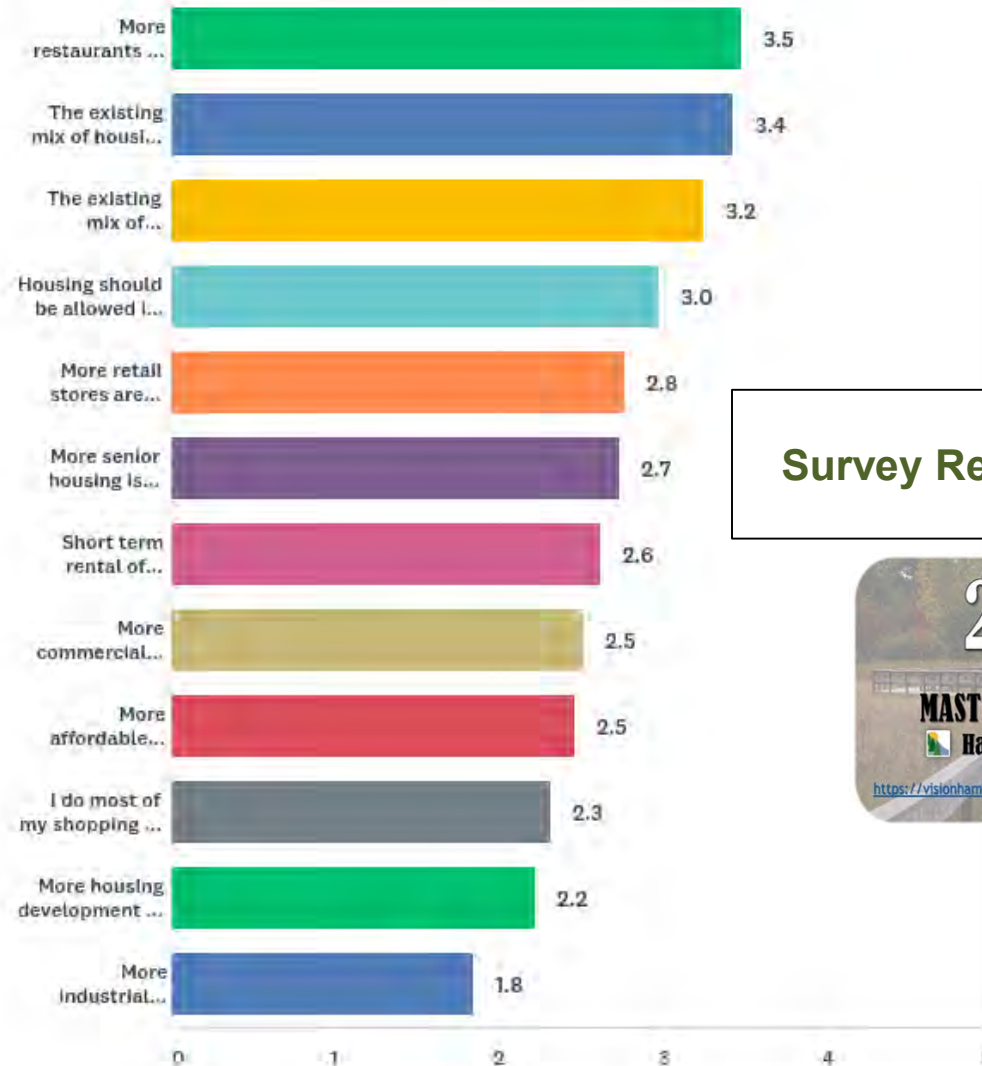
Q7 On a scale from 1 (not very important) to 5 (very important) In your opinion, how important will each of the following items be for Hamburg Township to consider on over the next 5 to 10 years?



Survey Results Question 7-2



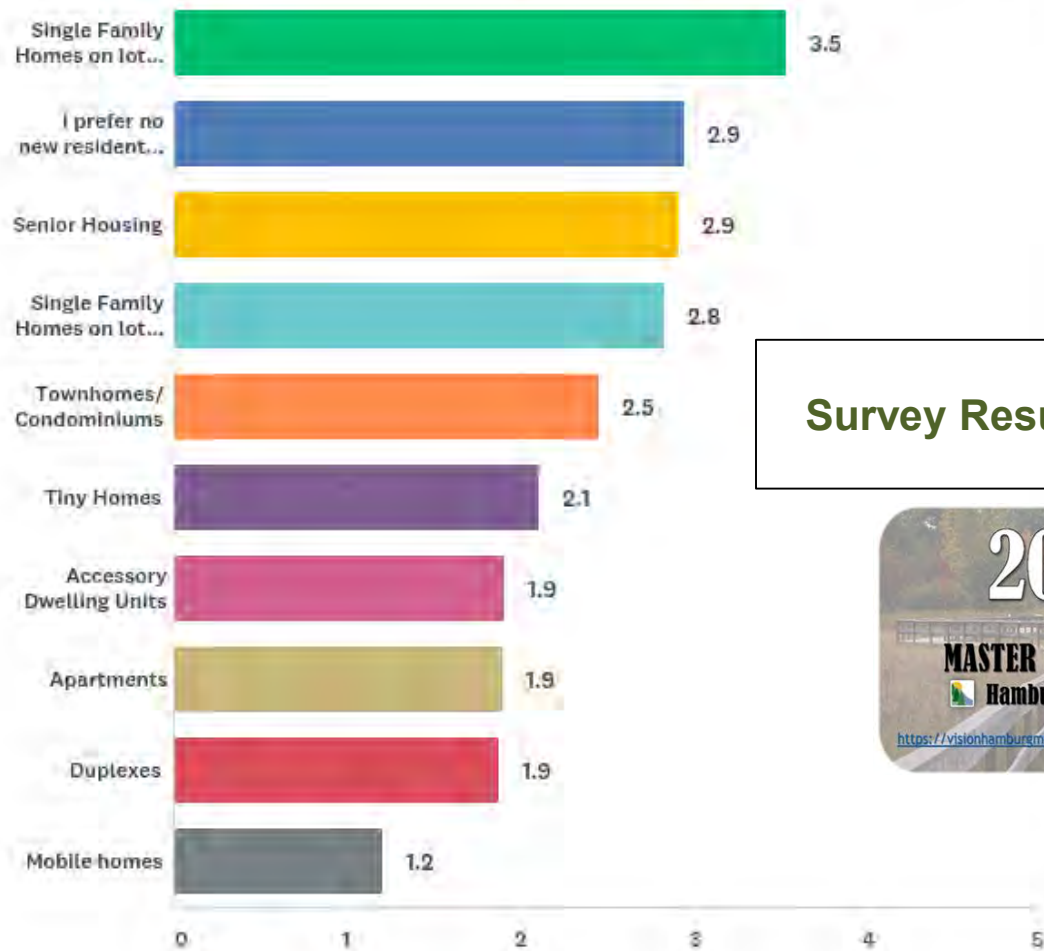
Q8 On a scale from 1 (Strongly disagree) to 5(Strongly agree) in your opinion, do you agree or disagree with the following statements about housing and commercial developments for Hamburg Township?



Survey Results Question 8



Q9 On a scale from 1 (like the least) to 5 (like the most) what housing types would you like to see more of developed within Hamburg Township?



Survey Results Question 9



Q10 On a scale from 1 (like the least) to 5 (like the most) what types of commercial development would you like to see more of within Hamburg Township?



Survey Results Question 10



2020

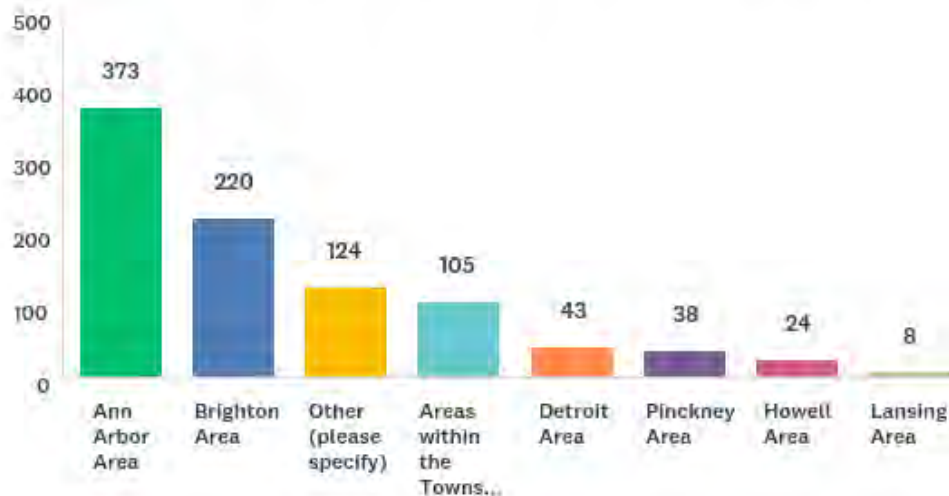
MASTER PLAN UPDATE

Hamburg Township

<https://visionhamburgmi.wixsite.com/hamburgmasterplan>

Survey Results Question 11

Q11 If Hamburg Township were to encourage more public transit opportunities what area would you most want the public transit to service?



2020

MASTER PLAN UPDATE



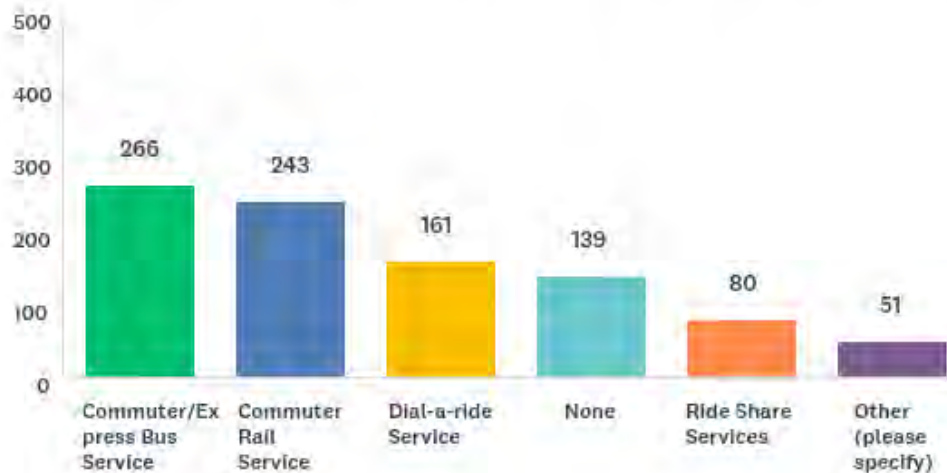
Hamburg Township



<https://visionhamburgmi.wixsite.com/hamburgmasterplan>

Survey Results Question 12

Q12 If Hamburg Township were to encourage more public transit what type of public transportation would you most want to see?



2020

MASTER PLAN UPDATE



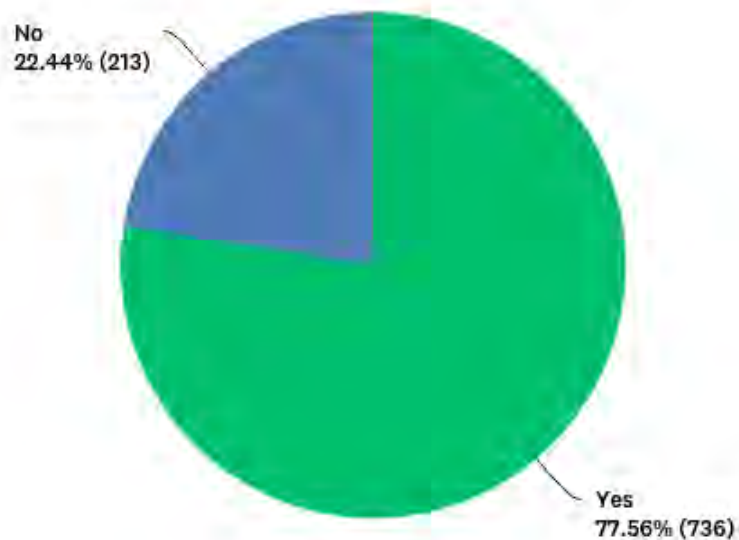
Hamburg Township



<https://visionhamburgmi.wixsite.com/hamburgmasterplan>

Survey Results Question 13

Q13 Are you in support of providing multiple transportation options (car, bus and rail transit, bicycling and walking) within Hamburg Township?





Other Information To Consider

1. Hamburg Township 2017 Parks and Recreation Master Plan
 - a. Parks and Recreation Survey
2. Livingston County Master Plan
 - a. Government Leaders Master Plan Survey
3. Demographic and Physical Data
4. Existing Conditions
5. Best Practices



THE 20/20 MASTER PLAN: Schedule

Step	Task	2018				2019	
		Mar	Apr-Jun	Jul-Sep	Oct-Dec	Jan-Mar	Apr-Jun
1	Prepare and Send Notice of Intent to Plan *	3/1/18-3/2/18					
2	Create Master Plan Committee	3/1/18-3/15/18					
3	Kick off Meeting with all interested parties		4/12/18				
4	Review and identify deficiencies and key stakeholders		4/12/18-5/7/18				
5	Meeting of Master Plan Committee discuss review and public outreach		5/7/18-5/11/18				
6	Prepare Survey		5/14/18-6/4/18				
7	Make Survey Public		6/4/18				
8	Public Outreach Meeting and Events		6/4/18	8/3/18			
9	Meeting of the Master Plan Committee to discuss public input		8/6/18-8/10/18 10/3/2018				
10	Compile Data and Prepare Revisions to All Documents		6/4/18	10/5/2018 12/5/2018			
11	Meeting of Master Plan Committee to review draft Master Plan			10/8/18-10/12/18 12/5/18-1/2/19			
12	Prepare report for Planning Commission			10/15/18-11/13/18 1/2/19-1/9/19			
13	Planning Commission Meeting on Draft Master Plan *				11/21/2018-1/16/19		
14	Prepare report for Township Board			11/22/18-11/27/18 1/16/19-1/30/19			
15	Township Board to approve distribution of the Draft Master Plan*				12/4/2018-2/5/19		
16	Distribute Draft Master Plan*				12/7/2018-2/6/19		
17	Public Review Period *				12/7/2018-2/6/19	2/9/2019-4/7/19	
18	County Review Period *				12/7/2018-2/6/19	3/11/2019-4/7/19	
19	Meeting of Master Plan Committee to review and address comments				3/11/19-3/17/19 4/8/19-4/12/19		
20	Make necessary changes to Draft Master Plan and Prepare Report for Planning Commission				3/17/2019-4/12/19 4/12/2019-5/08/19		
21	First Meeting for Planning Commission Review of Final Draft Master Plan					4/17/2019-5/15/19	
22	Prepare revisions to Final Draft Master Plan based on PC comments					4/18/19-5/10/19 5/15/19-	
23	Hold Public Hearing for Planning Commission Review of Final Draft Master Plan *					5/15/2019-6/19/201	
24	Prepare Report of Township Board						5/16/19-6/12/19
25	Hold Township Board Review of Final Draft Master Plan *						6/18/19
26	Send Township Board and necessary agencies copy of approved Master Plan *						6/19/19-6/25/19
27	Implement Master Plan						Next 20 years
	Master Plan Subcommittee Meeting						
	Planning Commission Meeting						
	Township Board Meeting						

* These tasks are required by the MPEA



THE MASTER PLAN: Moving Forward

Public Participation:

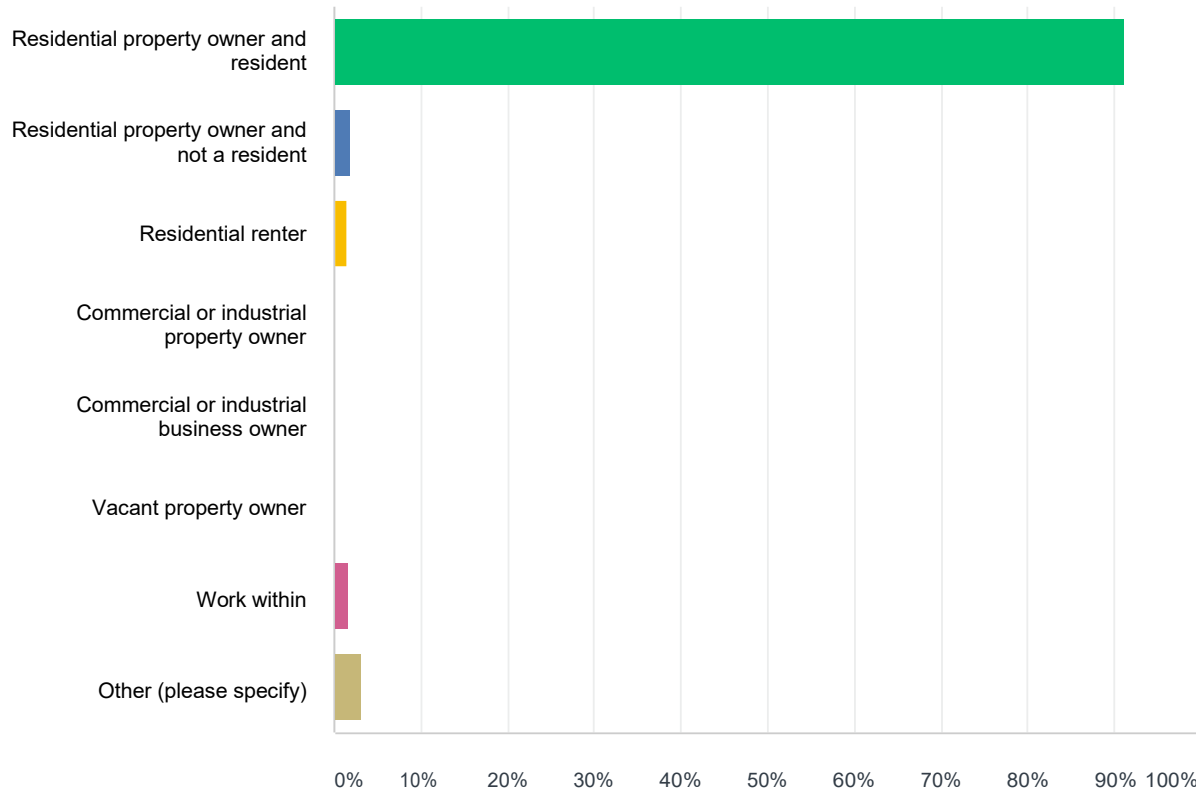
- On September 5, 2018 the public survey will be closed (two weeks from today)

Preparing and approval of the 20|20 Master Plan (after September 5, 2018):

- Prepare draft Master Plan with help and input for the steering committee (October – December).
- Present draft Master Plan to the Township Planning Commission and the Township Board (February 2019).
- Distribute the draft Master Plan for public review and comment. (63 days)
- Make any necessary changes to the draft Master Plan after the comment period is closed.
- Hold Planning Commission Public Hearing on the final draft of the Master Plan.
- Distribute the approved Master Plan to the Township Board and the interested agencies.
- Implement the new Master Plan.

Q1 Which of the following best describes your involvement with Hamburg Township?

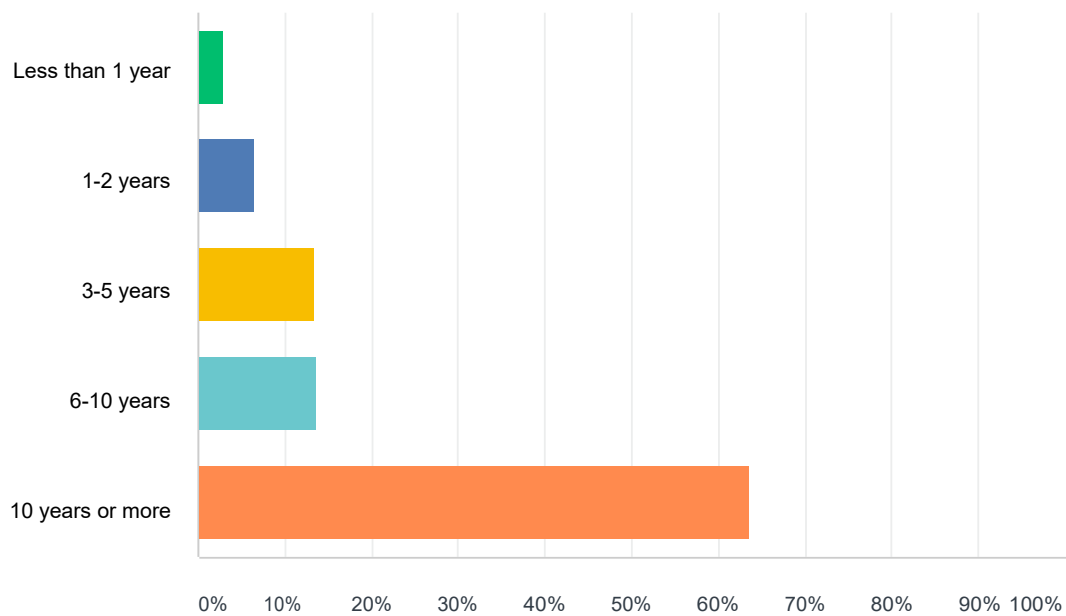
Answered: 966 Skipped: 2



ANSWER CHOICES	RESPONSES	
Residential property owner and resident	91.20%	881
Residential property owner and not a resident	1.97%	19
Residential renter	1.55%	15
Commercial or industrial property owner	0.00%	0
Commercial or industrial business owner	0.31%	3
Vacant property owner	0.10%	1
Work within	1.76%	17
Other (please specify)	3.11%	30
TOTAL		966

Q2 Based on your answer to Question 1, how long have you been involved with Hamburg Township in this capacity?

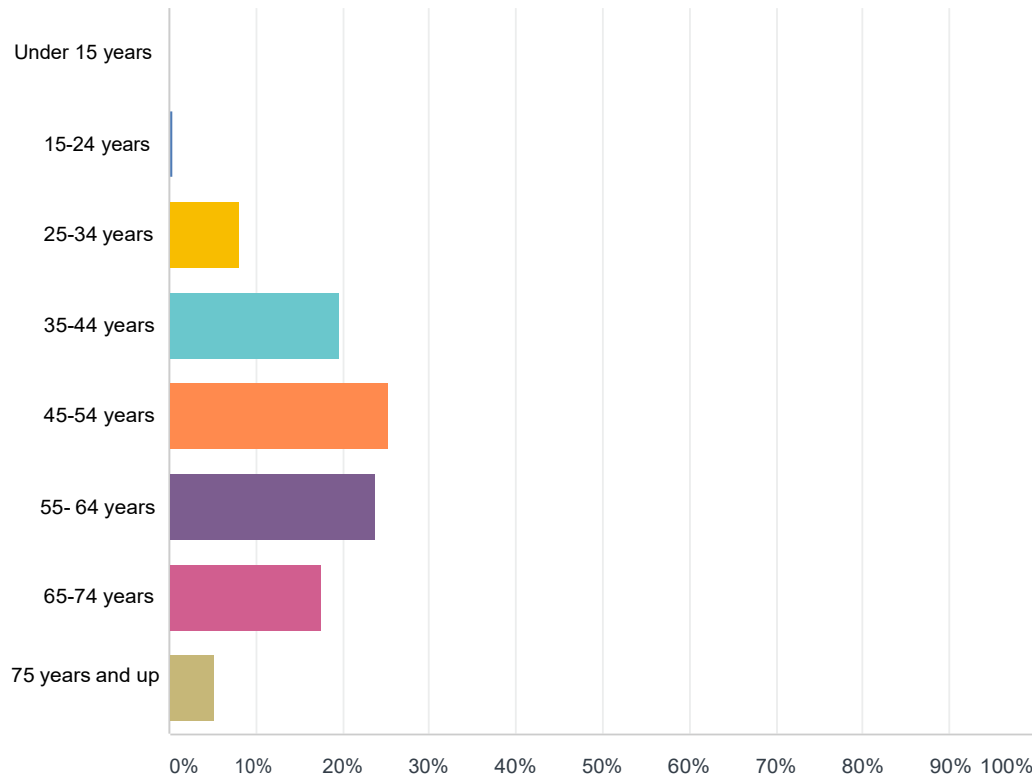
Answered: 966 Skipped: 2



ANSWER CHOICES		RESPONSES	
Less than 1 year		2.90%	28
1-2 years		6.52%	63
3-5 years		13.35%	129
6-10 years		13.56%	131
10 years or more		63.66%	615
TOTAL			966

Q3 What is your age range?

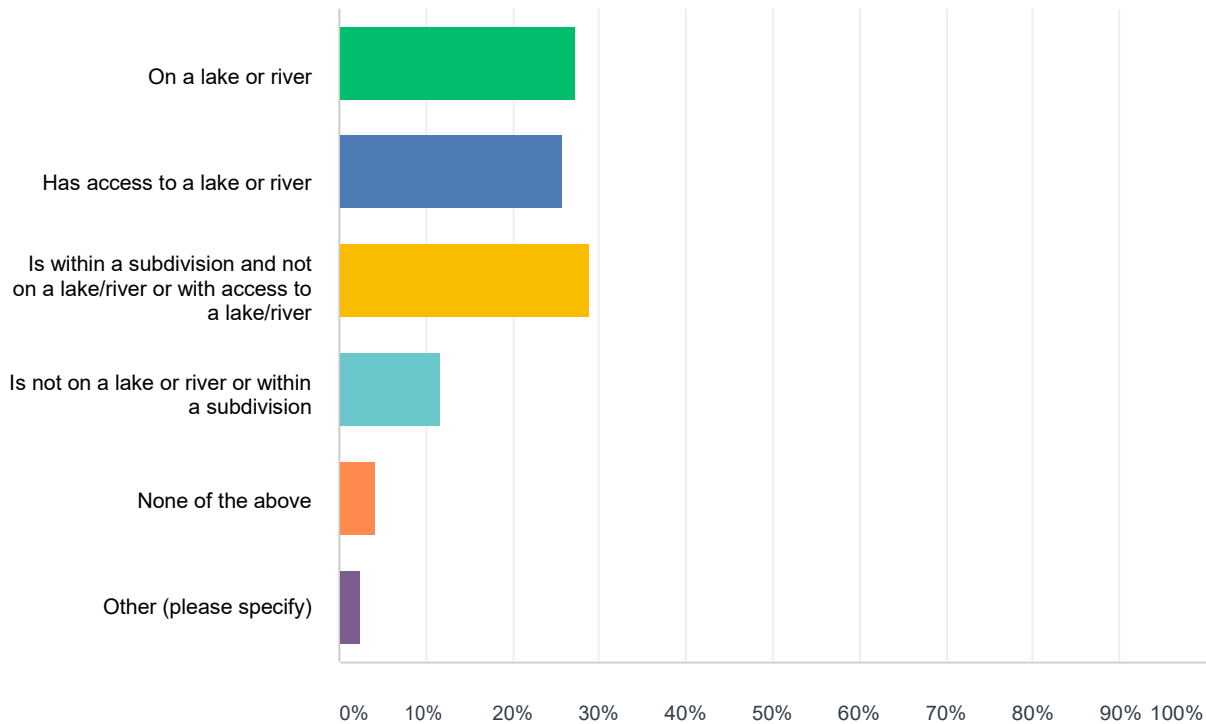
Answered: 967 Skipped: 1



ANSWER CHOICES	RESPONSES	
Under 15 years	0.00%	0
15-24 years	0.41%	4
25-34 years	8.07%	78
35-44 years	19.65%	190
45-54 years	25.34%	245
55- 64 years	23.78%	230
65-74 years	17.48%	169
75 years and up	5.27%	51
TOTAL		967

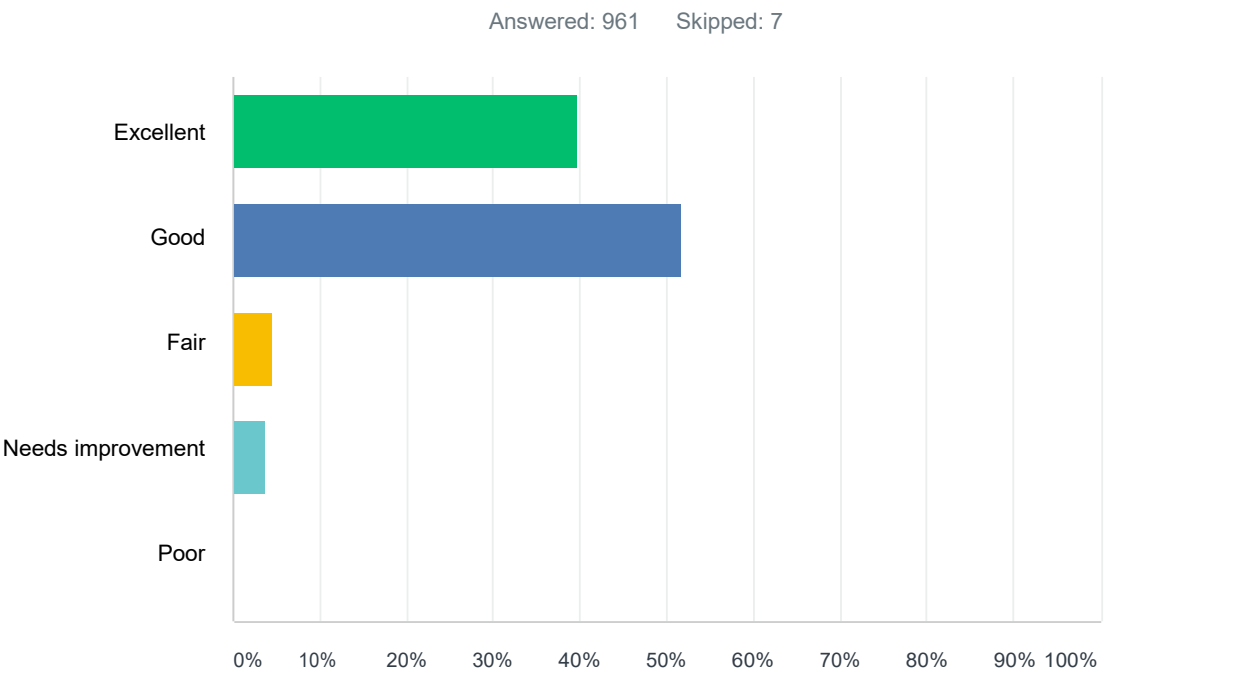
Q4 If you are a residential property owner or renter in the Township which best describes the property you own or rent?

Answered: 961 Skipped: 7



ANSWER CHOICES	RESPONSES	
On a lake or river	27.16%	261
Has access to a lake or river	25.70%	247
Is within a subdivision and not on a lake/river or with access to a lake/river	28.82%	277
Is not on a lake or river or within a subdivision	11.65%	112
None of the above	4.16%	40
Other (please specify)	2.50%	24
TOTAL		961

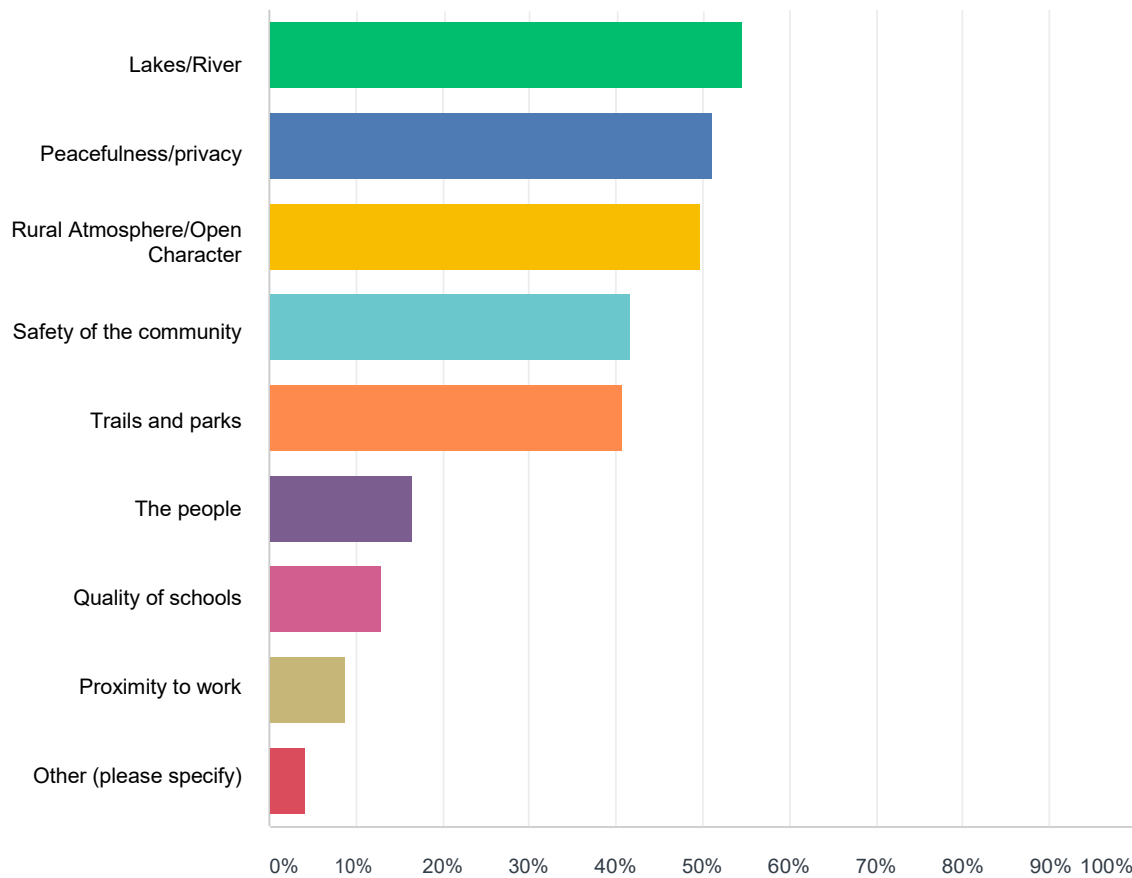
Q5 How do you rate the quality of life within Hamburg Township?



ANSWER CHOICES		RESPONSES	
Excellent		39.65%	381
Good		51.61%	496
Fair		4.68%	45
Needs improvement		3.85%	37
Poor		0.21%	2
TOTAL			961

Q6 What is your favorite thing about Hamburg Township?

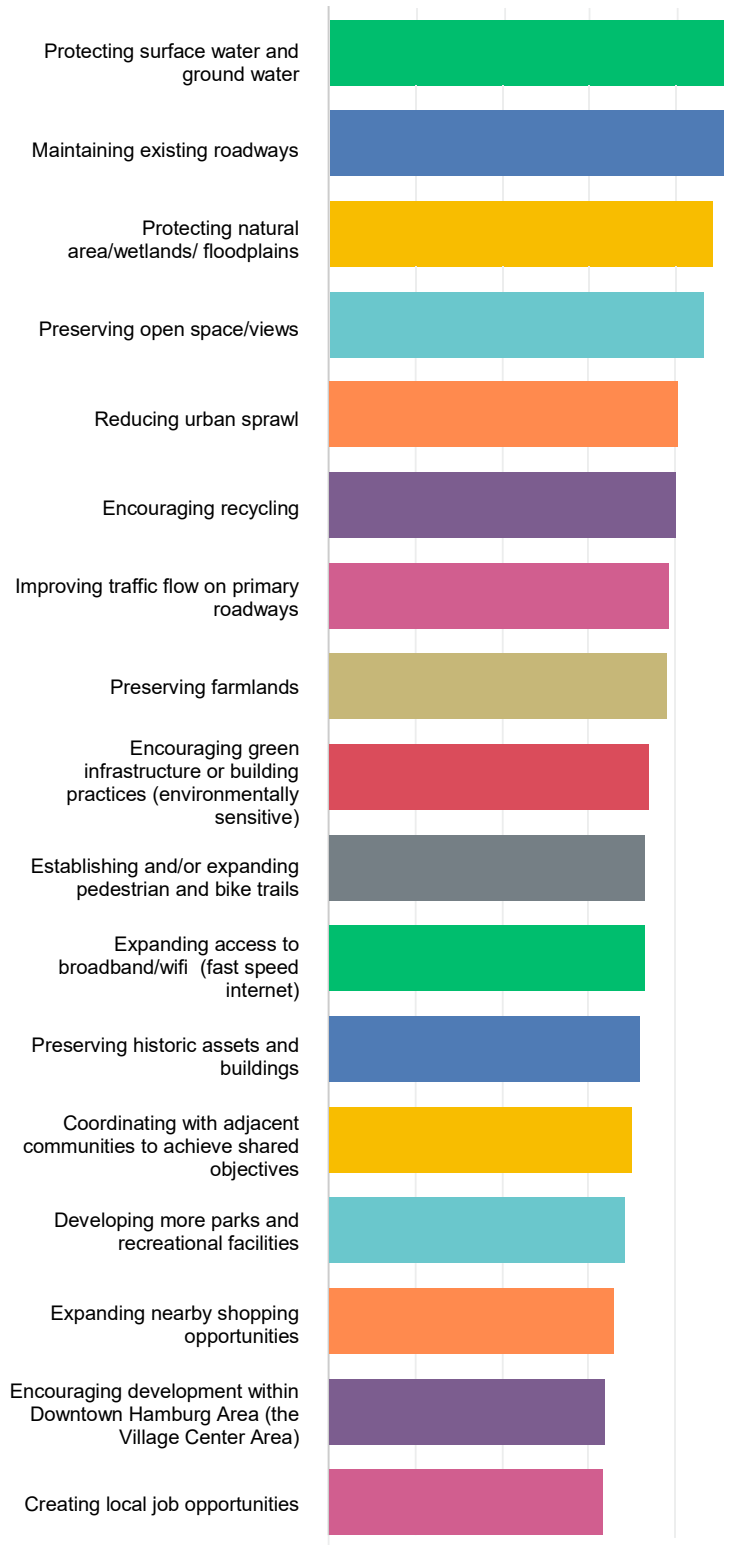
Answered: 966 Skipped: 2



ANSWER CHOICES	RESPONSES	
Lakes/River	54.66%	528
Peacefulness/privacy	51.04%	493
Rural Atmosphere/ Open Character	49.79%	481
Safety of the community	41.61%	402
Trails and parks	40.89%	395
The people	16.46%	159
Quality of schools	12.94%	125
Proximity to work	8.80%	85
Other (please specify)	4.24%	41
Total Respondents: 966		

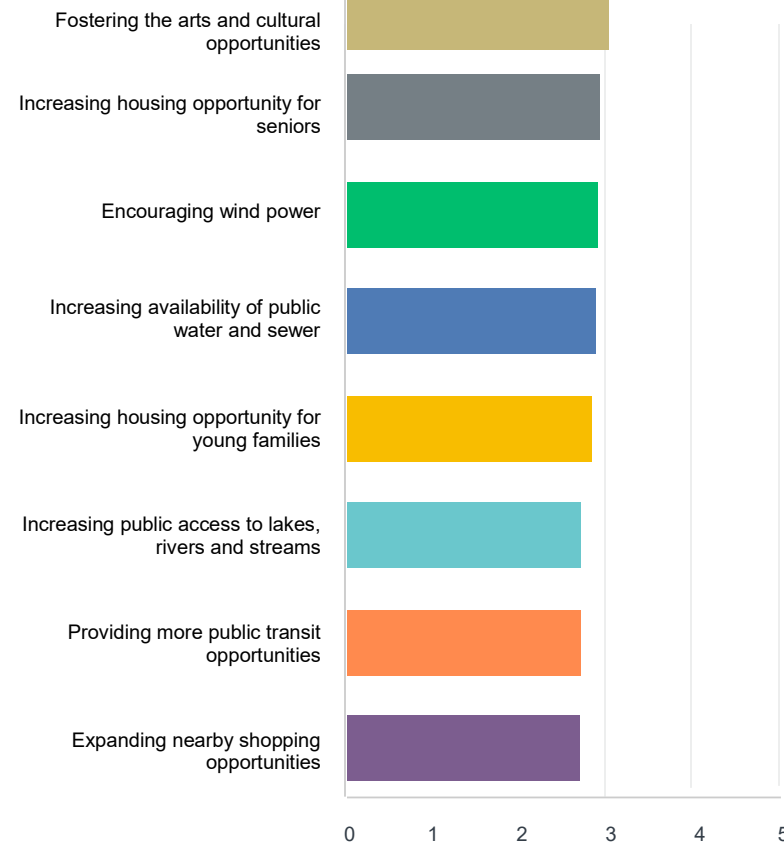
Q7 On a scale from 1 (not very important) to 5 (very important) In your opinion, how important will each of the following items be for Hamburg Township to consider on over the next 5 to 10 years?

Answered: 966 Skipped: 2



2020 Master Plan Survey

SurveyMonkey



	1	2	3	4	5	TOTAL	WEIGHTED AVERAGE
Protecting surface water and ground water	1.25% 12	2.19% 21	7.72% 74	17.10% 164	71.74% 688	959	4.56
Maintaining existing roadways	1.14% 11	0.94% 9	7.49% 72	28.20% 271	62.23% 598	961	4.49
Protecting natural area/wetlands/ floodplains	2.29% 22	3.02% 29	9.49% 91	19.19% 184	66.01% 633	959	4.44
Preserving open space/views	1.98% 19	3.86% 37	11.48% 110	24.32% 233	58.35% 559	958	4.33
Reducing urban sprawl	5.05% 48	6.95% 66	19.68% 187	16.95% 161	51.37% 488	950	4.03
Encouraging recycling	5.24% 50	5.97% 57	18.22% 174	23.56% 225	47.02% 449	955	4.01
Improving traffic flow on primary roadways	3.64% 35	7.59% 73	19.85% 191	28.48% 274	40.44% 389	962	3.94
Preserving farmlands	3.44% 33	7.61% 73	23.88% 229	24.92% 239	40.15% 385	959	3.91
Encouraging green infrastructure or building practices (environmentally sensitive)	6.05% 58	10.96% 105	22.86% 219	26.83% 257	33.30% 319	958	3.70
Establishing and/or expanding pedestrian and bike trails	5.63% 54	10.94% 105	26.46% 254	25.83% 248	31.15% 299	960	3.66
Expanding access to broadband/wifi (fast speed internet)	10.36% 99	8.58% 82	22.28% 213	22.38% 214	36.40% 348	956	3.66
Preserving historic assets and buildings	5.42% 52	12.83% 123	25.86% 248	27.74% 266	28.15% 270	959	3.60

Coordinating with adjacent communities to achieve shared objectives	7.21% 69	10.55% 101	28.63% 274	30.93% 296	22.68% 217	957	3.51
Developing more parks and recreational facilities	7.50% 72	13.65% 131	29.38% 282	27.71% 266	21.77% 209	960	3.43
Encouraging solar power	15.43% 148	10.32% 99	27.22% 261	21.38% 205	25.65% 246	959	3.31
Encouraging development within Downtown Hamburg Area (the Village Center Area)	14.81% 142	13.97% 134	28.15% 270	22.31% 214	20.75% 199	959	3.20
Creating local job opportunities	12.32% 117	14.74% 140	33.05% 314	23.05% 219	16.84% 160	950	3.17
Fostering the arts and cultural opportunities	14.45% 138	17.17% 164	33.19% 317	21.05% 201	14.14% 135	955	3.03
Increasing housing opportunity for seniors	15.14% 145	21.82% 209	31.73% 304	17.54% 168	13.78% 132	958	2.93
Encouraging wind power	23.38% 224	16.60% 159	26.20% 251	14.09% 135	19.73% 189	958	2.90
Increasing availability of public water and sewer	18.41% 176	19.87% 190	30.96% 296	16.95% 162	13.81% 132	956	2.88
Increasing housing opportunity for young families	20.34% 194	20.02% 191	27.88% 266	17.82% 170	13.94% 133	954	2.85
Increasing public access to lakes, rivers and streams	25.96% 249	16.79% 161	28.36% 272	15.75% 151	13.14% 126	959	2.73
Providing more public transit opportunities	26.94% 257	17.51% 167	26.62% 254	15.20% 145	13.73% 131	954	2.71
Expanding nearby shopping opportunities	24.74% 236	20.75% 198	26.31% 251	16.14% 154	12.05% 115	954	2.70

Q8 On a scale from 1 (Strongly disagree) to 5(Strongly agree) in your opinion, do you agree or disagree with the following statements about housing and commercial developments for Hamburg Township?

Answered: 962 Skipped: 6

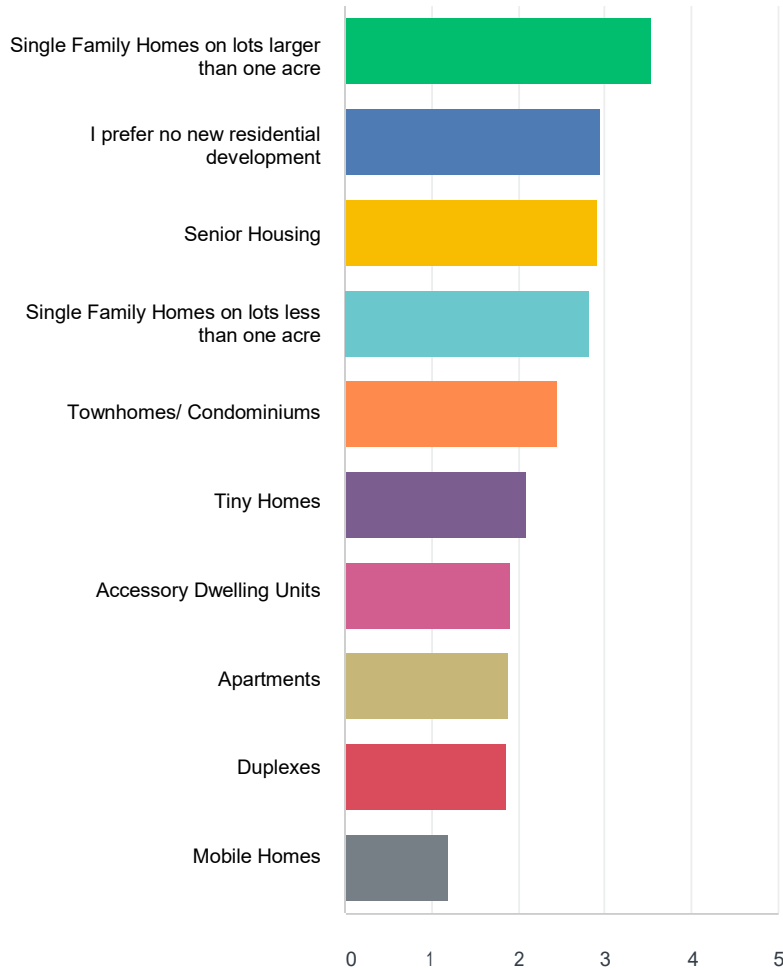


	1	2	3	4	5	TOTAL	WEIGHTED AVERAGE
More restaurants are needed in Hamburg Township	11.98% 115	8.23% 79	25.73% 247	29.17% 280	24.90% 239	960	3.47
The existing mix of housing types in Hamburg Township meets the needs of the community	7.98% 76	13.45% 128	28.68% 273	28.68% 273	21.22% 202	952	3.42
The existing mix of commercial development in Hamburg Township meets the needs of the community	9.86% 94	16.16% 154	32.00% 305	24.13% 230	17.84% 170	953	3.24
Housing should be allowed in above commercial businesses	18.14% 172	14.45% 137	33.76% 320	19.30% 183	14.35% 136	948	2.97

More retail stores are needed in Hamburg Township	23.67% 227	19.19% 184	27.53% 264	17.00% 163	12.62% 121	959	2.76
More senior housing is needed in Hamburg Township	21.32% 204	21.63% 207	31.03% 297	14.63% 140	11.39% 109	957	2.73
Short term rental of single family housing should be allowed (example: Airbnb's)	29.81% 285	17.05% 163	25.21% 241	17.05% 163	10.88% 104	956	2.62
More commercial development is needed within Hamburg Township	32.01% 306	17.99% 172	25.52% 244	16.21% 155	8.26% 79	956	2.51
More affordable housing is needed in Hamburg Township	30.95% 295	22.46% 214	25.39% 242	11.54% 110	9.65% 92	953	2.46
I do most of my shopping in Hamburg Township	31.04% 298	27.60% 265	26.25% 252	9.79% 94	5.31% 51	960	2.31
More housing development is needed within Hamburg Township	41.05% 392	20.31% 194	22.30% 213	8.27% 79	8.06% 77	955	2.22
More industrial development is needed within Hamburg Township	50.94% 487	23.54% 225	18.41% 176	4.71% 45	2.41% 23	956	1.84

Q9 On a scale from 1 (like the least) to 5 (like the most) what housing types would you like to see more of developed within Hamburg Township?

Answered: 960 Skipped: 8



	1	2	3	4	5	TOTAL	WEIGHTED AVERAGE
Single Family Homes on lots larger than one acre	10.57% 100	10.15% 96	23.78% 225	26.32% 249	29.18% 276	946	3.53
I prefer no new residential development	27.84% 250	10.91% 98	26.17% 235	9.13% 82	25.95% 233	898	2.94
Senior Housing	17.06% 161	18.43% 174	34.64% 327	16.21% 153	13.67% 129	944	2.91
Single Family Homes on lots less than one acre	26.51% 250	12.94% 122	24.18% 228	24.39% 230	11.98% 113	943	2.82
Townhomes/ Condominiums	36.73% 346	13.80% 130	25.37% 239	16.35% 154	7.75% 73	942	2.45
Tiny Homes	47.23% 443	17.48% 164	19.94% 187	8.53% 80	6.82% 64	938	2.10

Accessory Dwelling Units	51.63% 460	17.62% 157	22.90% 204	5.16% 46	2.69% 24	891	1.90
Apartments	54.51% 514	18.88% 178	14.10% 133	7.85% 74	4.67% 44	943	1.89
Duplexes	52.37% 487	21.72% 202	16.02% 149	6.56% 61	3.33% 31	930	1.87
Mobile homes	85.24% 797	10.70% 100	3.32% 31	0.00% 0	0.75% 7	935	1.20

Q10 On a scale from 1 (like the least) to 5 (like the most) what types of commercial development would you like to see more of within Hamburg Township?

Answered: 957 Skipped: 11

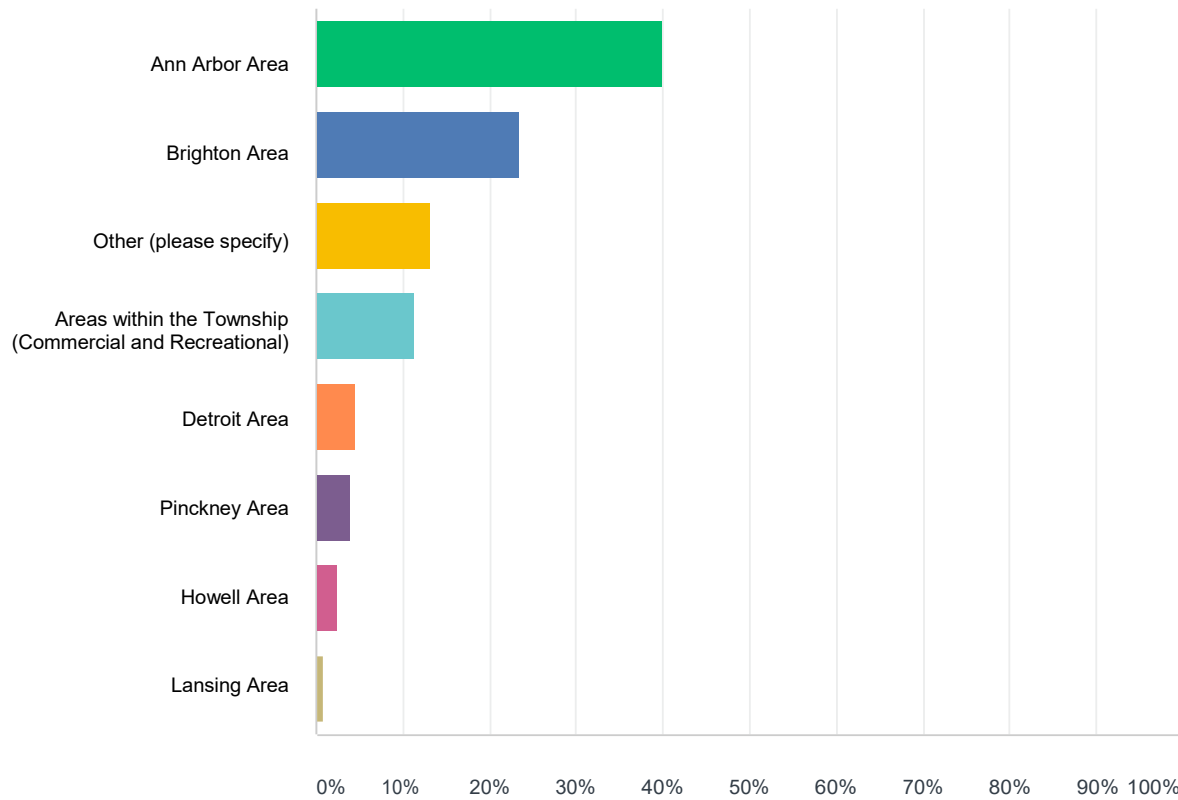


	1	2	3	4	5	TOTAL	WEIGHTED AVERAGE
Restaurants	9.30% 88	8.77% 83	22.73% 215	29.49% 279	29.70% 281	946	3.62
Agricultural Businesses on farms	9.64% 90	13.28% 124	34.37% 321	23.55% 220	19.16% 179	934	3.29
Specialty Shops	16.65% 156	15.80% 148	30.84% 289	23.80% 223	12.91% 121	937	3.01
Health Care	14.65% 137	15.83% 148	36.36% 340	21.82% 204	11.34% 106	935	2.99
Home-based businesses	16.42% 153	16.09% 150	40.56% 378	17.70% 165	9.23% 86	932	2.87
None	36.63% 226	7.78% 48	25.45% 157	6.81% 42	23.34% 144	617	2.72
Neighborhood Convenience Stores	28.57% 268	22.81% 214	28.57% 268	14.61% 137	5.44% 51	938	2.46
General Offices							
Regional Shopping Center							
Industrial							

General Offices	27.56% 258	20.19% 189	37.18% 348	12.39% 116	2.67% 25	936	2.42
Regional Shopping center	39.91% 374	16.54% 155	22.09% 207	13.87% 130	7.58% 71	937	2.33
Industrial	52.99% 496	22.86% 214	17.74% 166	4.70% 44	1.71% 16	936	1.79

Q11 If Hamburg Township were to encourage more public transit opportunities what area would you most want the public transit to service?

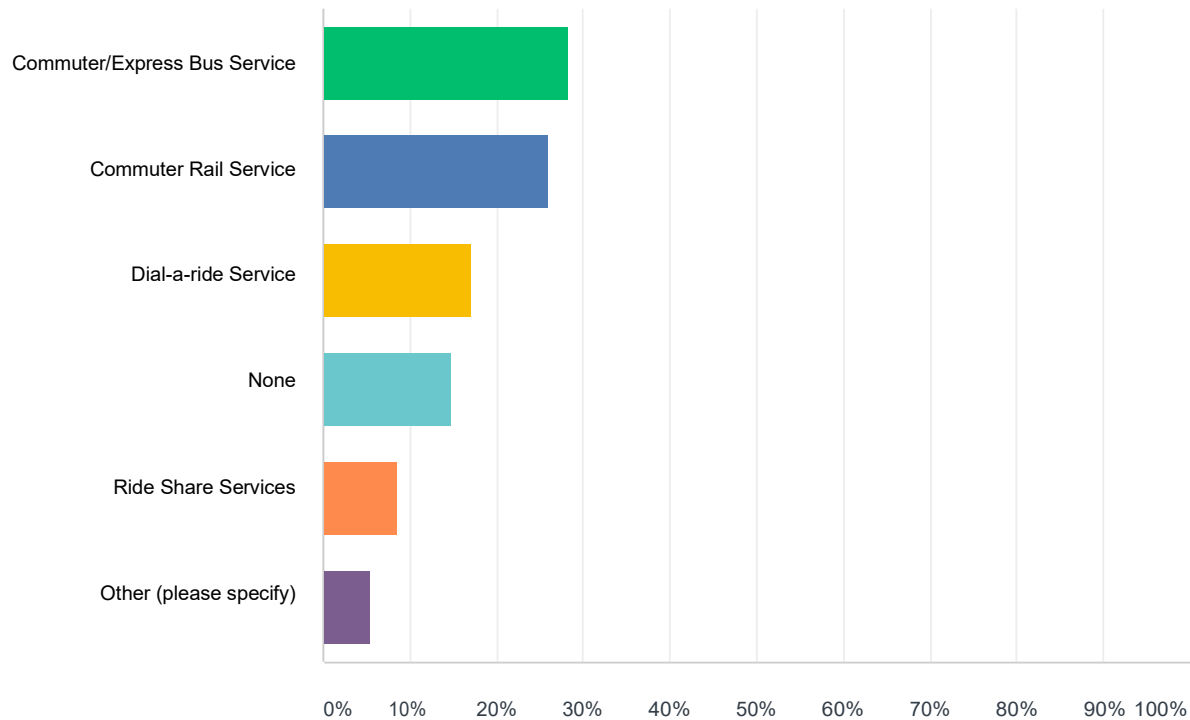
Answered: 935 Skipped: 33



ANSWER CHOICES	RESPONSES	
Ann Arbor Area	39.89%	373
Brighton Area	23.53%	220
Other (please specify)	13.26%	124
Areas within the Township (Commercial and Recreational)	11.23%	105
Detroit Area	4.60%	43
Pinckney Area	4.06%	38
Howell Area	2.57%	24
Lansing Area	0.86%	8
TOTAL		935

Q12 If Hamburg Township were to encourage more public transit what type of public transportation would you most want to see?

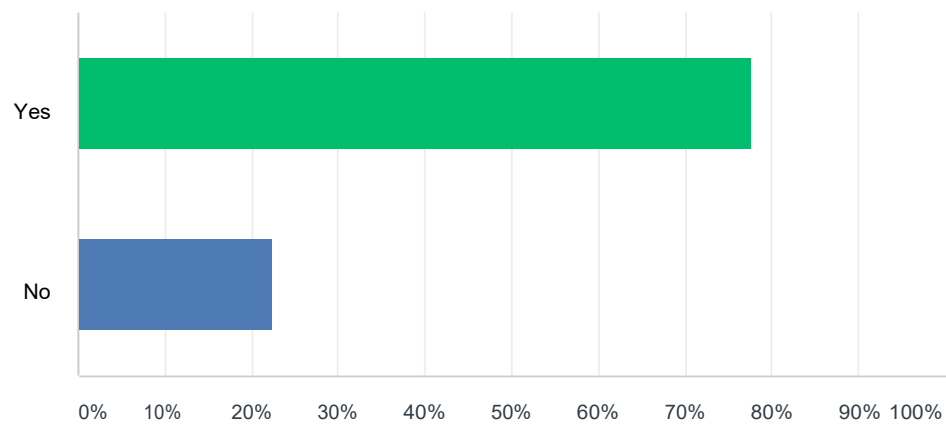
Answered: 940 Skipped: 28



ANSWER CHOICES	RESPONSES	
Commuter/Express Bus Service	28.30%	266
Commuter Rail Service	25.85%	243
Dial-a-ride Service	17.13%	161
None	14.79%	139
Ride Share Services	8.51%	80
Other (please specify)	5.43%	51
TOTAL		940

Q13 Are you in support of providing multiple transportation options (car, bus and rail transit, bicycling and walking) within Hamburg Township?

Answered: 949 Skipped: 19



ANSWER CHOICES		RESPONSES	
Yes		77.56%	736
No		22.44%	213
TOTAL			949

APPENDIX D

COMMERCIAL ANALYSIS

Appendix D

PROJECTION OF COMMERCIAL DEVELOPMENT POTENTIAL

A projection of commercial development potential for Hamburg Township was made for the purpose of determining the amount of land to plan for commercial use. The results of these projections are indicated in the Table Below.

THE PROCESS:

Determination of Trade Area: The first step in projecting the potential for future commercial development involves determination of the trade area from which customers are most likely to be drawn to Hamburg businesses. Distance is normally the most important determinant of trade area, since most people will generally travel to the nearest businesses that serve their needs. Other factors that affect trade area include travel times, quality, service, variety of merchandise, accessibility, and socioeconomic differences between communities. The trade for convenience goods is generally limited to the residential areas immediately surrounding the business district. People generally will not travel great distances for groceries, drugs, and other convenience goods that they purchase frequently. In a low-density residential community, such as Hamburg Township, the trade area for convenience goods may encompass three or four miles. For the purpose of the master plan's projection, the entire Township was used. Because residents in the northern portion of the Township will likely be drawn towards Brighton and residents in the western portion of the Township will likely be drawn towards Pickney/Putnam for convenience goods, this will provide a generous estimation of Hamburg Township's commercial market.

Trade Area Income: Trade area income is calculated using projections of change in the population and income data. According to SEMCOG, there were 24,301 persons in Hamburg Township in October 2007. According to SEMCOG projections, the population will increase to 36,331 by the year 2030. According to the Census, the per capita income of Hamburg Township was \$30,283 in 1999. Assuming per capita income remains constant in terms of 2007 dollars, the estimated total household income will be \$1,379,794,704 in 2030.

Expenditure: The expenditure of income on convenience goods is calculated based upon the trade area income multiplied by the percent of income spent on convenience goods. These are based upon state and national averages for household income expenditures, as determined by the U.S. Census Bureau for each metropolitan area.

Local Sales Capture: Based on the range of goods and services marketed by businesses along the M-36 commercial corridor, it is evident that residents make only a portion of their purchases in Hamburg Township. Residents of the trade area may take their business outside of the Township for a number of reasons, including convenience, accessibility, price, quality, or variety of selection. The "capture rate" indicates the portion of total trade area sales actually captured by Hamburg businesses.

The capture rate for convenience goods businesses is usually close to 100 percent in neighborhoods near the businesses, but the rate declines sharply at a driving distance of only 10 to 15 minutes from the businesses. Average capture rates are utilized in Table 18. It is likely that the capture rate for convenience businesses may be less because so many people travel outside of the Township to work, thereby patronizing convenience businesses outside of the Township.

Retail Floor Area Requirements: Retail floor area requirements are estimated based upon the total captured expenditure and sales per square foot. Sales per square foot figures are provided by the Urban Land Institute's annual publication Dollars and Cents of Shopping Centers.

Appendix D

Land Area Requirements for Commercial Development: A general standard for shopping centers is that the total site area should be about four times the gross building floor area. This floor area ratio provides ample room for parking, open space, pedestrian and traffic circulation, and landscaping. Based on this ratio, the total land area needs for retail can be estimated.

A comparison of the zoning and existing land use maps reveals that the land area zoned for commercial use exceeds the amount actually devoted to such uses. Many parcels zoned for commercial use are currently under utilized. Some excess of commercial-zoned land is needed to provide adequate area for development to meet future retail and office needs of the population. The future land use plan provides for continued commercial development within the existing commercial nodes along M-36.

FUTURE COMMERCIAL LAND USE IN SUMMARY:

The commercial base analysis reveals that continued commercial development, primarily convenience commercial, can be expected to meet the needs of the Township's growing population. The analysis indicates that insufficient market support for most comparison goods businesses exists within. Consequently, it appears that the potential for large scale commercial development is limited. It is likely that any new construction of commercial facilities will be no larger than a neighborhood shopping center, which has a typical gross leasable area of about 50,000 square feet. Such facilities can be accommodated with some expansion of the existing nodes of commercial along M-36. Also, based on the retail analysis of the Village Center Master Plan, approximately half of the commercial development can be supported in the Village area.

The share of the comparison goods market captured by Township businesses is not likely to increase substantially in the future. Generally, a minimum trade area population of 40,000 or direct access onto a major highway is needed to provide adequate market support for a community shopping center containing comparison goods stores. The SEMCOG population projections and the future land use build out analysis indicators support this, and residents will likely continue to travel to regional shopping centers in Brighton and other nearby communities.

Appendix D

Table 18: Current 2007 and Projected 2030 Convenience Commercial Land Area Requirement

2007							
	Expenditure as % of 2007 Gross Income	2007 Expenditure	Capture Rate	2007 Total Capture Expenditure	Median Sales/Sq. Ft.	Total Sq.Ft. Demanded in 2007	Total Acres in 2007
Food at home/liquor/ housekeeping/tobacco	9.90%	\$91,367,434	85 %	\$77,662,319	390.25	199,007	18.27
						89,803	8.25
						21,823	2.00
						46,586	4.28
						25,140	2.31
						51,318	4.71
						921	0.08
						434,596	39.91
2030							
	Expenditure as % of 2030 Gross Income	2030 Expenditure	Capture Rate	2030 Total Capture Expenditure	Median Sales/Sq. Ft.	Total Sq.Ft. Demanded in 2030	Total Acres in 2030
Food at home/liquor/ housekeeping/tobacco	9.90%	\$136,599,676	85 %	\$161,109,724	390.25	297,527	27.32
		\$72,025,284		\$36,012,642	268.23	134,260	12.33
		\$64,022,474		\$6,402,247	196.23	32,626	3.00
		\$264,920,583		\$52,984,117	760.74	69,648	6.40
		\$69,127,715		\$3,456,386	91.96	37,586	3.45
		\$17,799,352		\$11,569,579	151.77	76,231	7.00
		\$4,277,364		\$213,868	155.38	1,376	013
		\$628,722,447		\$226,748,563		649,254	59.62

APPENDIX E

MICHIGAN NATURAL FEATURES

INVENTORY DATA

Appendix E

MICHIGAN NATURAL FEATURES INVENTORY DATA

Section	Scientific Name	Common name	State Status	Federal Status
2	<i>Sistrurus catenatus catenatus</i>	Massasauga	Sp. Concern	Concern
11	<i>Celtis Tenuifolia</i>	Dwarf hackberry	Sp. Concern	Concern
13	<i>Lampsilis fasciola</i>	Wavy-rayed lamp-mussel	Threatened	-
	<i>Sistrurus catenatus</i>	Massasauga	Sp. Concern	Concern
20	<i>Eleocharis equisetoides</i>	Horsetail spike-rush	Sp. Concern	-
22	<i>Justicia americana</i>	Water-willow	Threatened	-
24	<i>Ammocrypta pellucida</i>	Eastern sand darter	Threatened	Concern
25	<i>Muhlenbergia richardsonis</i>	Mat muhly	Threatened	-
	<i>Sporobolus heterolepis</i>	Prairie dropseed	Threatened	-
26	<i>Clemmys guttata</i>	Spotted turtle	Sp. Concern	-
28	<i>Acris crepitans blanchardi</i>	Blanchard' s cricket frog	Sp. Concern	-
	<i>Ammocrypta pellucida</i>	Eastern sand darter	Threatened	-
	<i>Draba reptans</i>	Creeping whitlow-grass	Threatened	-
	<i>Lampsilis fasciola</i>	Wavy-rayed lamp-mussel	Threatened	-
	<i>Sistrurus catenatus catenatus</i>	Massasauga	Sp. Concern	-
31	<i>Clemmys guttata</i>	Spotted turtle	Sp. Concern	-
	<i>Dysnomia triquetra</i>	Snuffbox	Endangered	Concern
	<i>Sistrurus catenatus catenatus</i>	Massasauga	Sp. Concern	Concern
32	<i>Sistrurus catenatus catenatus</i>	Massasauga	Sp. Concern	Concern
33	<i>Ammocrypta pellecida</i>	Eastern sand darter	Threatened	concern

Source: Michigan Natural Features Inventory, Michigan Department of Natural Resources

To: Planning Commission
From: Scott Pacheco, AICP Township Planner
Date: Feb 19, 2020
Agenda
Item: B
Subject: Draft 2020 Hamburg Township Master Plan

BACKGROUND:

The Master Plan is a document which creates policies to guide the future development of the Township. This plan is necessary prior to creating the municipalities zoning ordinance. The difference between a Master Plan and the Zoning Ordinance is that the master plan is a policy document that expresses the intent of the Township and the zoning ordinance is law with penalties and consequences for not following it.

The Michigan Planning Enabling Act of 2008 (MPEA) requires municipalities to review and update their master plans every 5 years. On September 16, 2015 the Planning Commission approved the 5-year review of the 2010 Hamburg Township Master Plan with no changes to the existing plan. As a part of the approval of the 5-year review process, the Planning Commission directed staff to prepare a timeline for the 2020 comprehensive update to the Master Plan. In 2017 the Planning Commission approved the update to the Parks and Recreation Master Plan.

The MPEA requires that the Master Plan “make careful and comprehensive surveys and studies of present conditions and future growth within the planning jurisdiction with due regard to its relation to neighboring jurisdictions” (Section 31(2)(a)). This includes information such as demographic and housing data and conditions within a community such as existing environmental and transportation information. This information is the background data, studies and resources that are used to help create the goals and objectives of the master plan. In newer master plans this data is summarized and included in the appendices or by reference in the Master Plan. This allows the Master Plan document to be more streamlined and easier to use by reducing the overall size of the document and only including the more important information in the actual Plan.

MPEA also requires “A master plan shall address land use and infrastructure issues and may project 20 years or more into the future. A master plan shall include maps, plats, charts, and descriptive, explanatory, and other related matter and shall show the planning commission’s recommendations for the physical development of the planning jurisdiction” (Sec. 33(1)). This information also can mostly be found in the fact book.

In addition to this required information MPEA also states that the Master Plan shall include the following subjects if they are considered in determining the future development of the Township:

- 1) A land use plan that includes a classification and allocation of land for various uses (Sec. 33(2)(a));
- 2) Recommendations on infrastructure including transportation for all users of roadways (Sec. 33(2)(b));
- 3) Recommendations for redevelopment or rehabilitation of blighted areas (Sec. 33(2)(c));
- 4) For a local unit of government that has adopted a zoning ordinance, a zoning plan (Sec. 33(2)(d)) and
- 5) Recommendations for implementing any of the master plan's proposals (Sec. 33(2)(e)).

MPEA (Sec. 7(2)(d)) suggests that the Master Plan also include "among other things, promotion of or adequate provision for one or more of the following:

- 1) A system of transportation to lessen congestion on streets and provide for safe and efficient movement of people and goods by motor vehicles, bicycles, pedestrians, and other legal users.
- 2) Safety from fire and other dangers.
- 3) Light and air.
- 4) Healthful and convenient distribution of population.
- 5) Good civic design and arrangement and wise and efficient expenditure of public funds.
- 6) Public utilities such as sewage disposal and water supply and other public improvements.
- 7) Recreation.
- 8) The use of resources in accordance with their character and adaptability."

Those are all of the requirements in the MPEA regarding the contents of a master plan. The lack of information about what is required in a master plan makes it challenging when it comes to preparing the plan. This brings up questions such as what should and what should not be included in the Township's Master Plan? Instead of thinking of this lack of information as a difficulty let's think of it as making the process easier. This lack of requirements leaves the door wide open to the Township to determine what they want to include in their master planning document.

PROCESS AND SCHEDULE:

The MPEA requires the following steps in the Master Plan Process

- 1) Notice of intent to plan,
- 2) Planning Commission review of Draft Master Plan,
- 3) Township Board of approval to distribute the Draft Master Plan,
- 4) Distribution of the Draft Master Plan,
- 5) Public Planning Commission Hearing and approval of the Master Plan, and
- 6) Distribution of the Approved Master Plan.

In March of 2018 the Township Board directed staff to create and send the notice of intent to prepare the 2020 Hamburg Township Master Plan. In March of 2018 the Master Plan Steering Committee was formed to guide the creation of the plan. From April 2018 to October 2018 the Steering Committee and Township Staff conducted public outreach, which included the following:

- April 2018 held a Kick-off Meeting for the 2020 Master Plan
- June 2018 created the 2020 Master Plan website and the public survey were created and made available to the public
- June 14 -16, 2018 staffed a booth at the Hamburg Family Fun Fest
- July 4-8 2018 visited commercial businesses throughout the township
- August 22, 2018 held a public open house/ ice scream social

- September 26, 2018 the public survey was closed
- October 3, 2018 held meeting to present and discuss the survey result.

After the information that was gathered from the different public outreach efforts was reviewed and discussed, staff prepared the draft 2020 Master Plan. In September of 2019 the Steering Committee held four meetings discussing and providing recommended changes to the draft Master Plan document. On November 13, 2019 the Steering Committee held another meeting which included the Governmental and Quasi-Governmental agencies to receive final feedback on the draft Master Plan from these agencies prior to the Planning Commission review of the document. All of the comments from the Master Plan Steering Committee, and the Governmental and Quasi-Governmental agencies have been incorporated into the draft 2020 Hamburg Township Master Plan that has been provided for your review at tonight's meeting.

The Planning Commission should review the draft 2020 Hamburg Township Master Plan, direct staff to make any necessary changes and direct staff to send the draft Master Plan to the Township Board (Governing Body) for review and to approve the distribution of the plan as required by MPEA.

Next Steps:

If the Planning Commission recommends distribution of the draft Master Plan to the Township Board, the Township Board can either approve the distribution with no changes or minor changes or they can recommend major changes to the draft Master Plan. If they recommend major changes to the plan then the plan with the proposed changes will need to be sent back to the Planning Commission for review.

Once the Township Board approves the distribution of the draft plan. The draft plan is sent to the same entities that were provided the original notice of intent letters. These entities have 63 days to review and provide comments on the draft plan. After this required review period is complete, the Planning Commission holds a public hearing on the draft Master Plan. After the public hearing, because the Township Board has asserted its right to adopt the Master Plan, the Planning Commission will make a recommendation to adopt the Master Plan to the Township Board. The Township Board will then officially pass a resolution to adopt the Master Plan. After adoption, a notice/copy of the adopted Plan is sent to the same entities that were provided the original notice of intent letters.

Exhibits:

Exhibit A: Draft Master Plan

Exhibit B: Appendices for the Master Plan

Exhibit C: Draft Village Center Master Plan



FAX 810-231-4295

P.O. Box 157
10405 Merrill Road

**Planning Commission
Hamburg Township
10405 Merrill Rd., P.O. Box 157
Hamburg Township, Michigan 48139
Wednesday, February 19, 2020
7:00 P.M. 7:00 p.m.**

1. CALL TO ORDER:

Present: Bohn, Hamlin, Koeble, Muck, Muir & Priebe

Absent: Leabu

Also Present: Scott Pacheco, Township Planner, Amy Steffens, Planning & Zoning Administrator, & Brittany Stein, Zoning Coordinator

2. PLEDGE TO THE FLAG:

3. APPROVAL OF THE AGENDA:

Commissioner Muir questioned the Site Plan Review request for a 300-person wedding barn. Township Planner Pacheco stated that the original request was for 300 people, but we revised it under the Special Use Permit to only allow 200 people. Old Business (a) was revised to a 200-person wedding barn.

Motion by Priebe, supported by Muir

To approve the agenda as amended

Voice vote: Ayes: 6 Nays: 0 Absent: 1 MOTION CARRIED

4. APPROVAL OF MINUTES:

a) November 20, 2019 Planning Commission minutes

Motion by Koeble, supported by Priebe

To approve the minutes of the November 20, 2019 meeting as presented

Voice vote: Ayes: 5 Nays: 0 Absent: 1 Abstain: 1 MOTION CARRIED

5. CALL TO THE PUBLIC:

Chairman Muck opened the call to the public. Hearing no response, the call was closed.

6. OLD BUSINESS:

- a) Site Plan Review (SPR 18-002) application to consider allowing a major agricultural commercial/tourism business on the 98-acre property at 5550 Strawberry Lake Road (TID 15-34-200-003). The proposed business will include a u-pick apple orchard, u-pick pumpkin patch, corn-maze, raised gardens, nature-based kid play area, hiking trail, a sign, a farm market retail/restaurant structure, a 200-person wedding barn, and other agricultural based amenities.

Scott and Lauren Tharp, applicants, were present as well as their engineer and individuals involved with the traffic study. Ms. Tharp stated that at the last meeting, the Planning Commission sent them away with some homework. They have spent some time putting together those items which have been presented including plans for the wedding barn, a letter from the Livingston County Health Department, and an updated plan for the farm market. She also indicated that this fall she worked at a local cider mill to learn their business and gained insight and knowledge. She stated that after working there, they did revise their plan for the farm market to enlarge it to host people comfortably and provide seating. At the last meeting, there was some concern about traffic, and it was suggested that they compare the projected use of their farm to a 40-unit single family development, which would be the size of a development on their property. She discussed the lighting and their photometric plan. She stated that this is a large undertaking which they do not intend to complete in 1-2 years. Their plan is to start with the farm market and kids' area and would like to start their crops with pumpkins and berries. They are hoping in 2-3 years to begin the wedding barn. During that time period they would begin with the apple orchard, which does take time to develop.

Planner Pacheco stated that the Special Use Permit was approved by the Planning Commission in December 2018 including a u-pick operation, corn maze, kids area, hiking trails, a farm market with a retail structure as well as a 200 person wedding barn and other agricultural based amenities. Also approved was the main sign at a height of 13.5 feet above grade, a temporary sign that can be displayed for more than 45 days per calendar year and the maximum number of 30 events allowed per year in the wedding barn. These were all waivers to the Agriculture/Tourism regulations approved as part of that special use permit. At that time, the Planning Commission asked the applicant to bring back some additional information so they could review the site plan. Since that time, they have provided that information. They have also provided a traffic study. When the original application came before the Planning Commission, there were 13 people that spoke, and we received 8 letters both for and against the project. Most of the concerns discussed were noise, traffic and lighting. The study showed that at times there would be more traffic on the roadways than a 40-unit single-family development, but overall it would be less. He reviewed his staff report with most of the changes to the lighting and architecture of the structure. He has also provided a proposed motion written by the Township Attorney. The Special Use Permit and Site Plan are combined as one item.

Commissioner Bohn stated that the applicant has indicated that certain aspects of the site plan would not be completed for a couple years and asked if they would be protected under the site plan so that they would not have to come back to the Planning Commission for additional approvals. Pacheco stated that as long as they have started the project, they can continue.

Discussion was held on the entrance sign and the Fire Department requirement of being over 13.5 feet.

Commissioner Hamlin questioned the inclusion of the word restaurant. He further stated that he understands that there will be eating of donuts and ice cream, which is fine. He does not want to include the word restaurant as that implicates a much different use.

Commissioner Hamlin stated that the patio is open with no roof. He stated that the lighting for that patio is not on the photometric plan. He discussed his concerns about the Generac lighting. His concern is that they can light up 5-7 acres. He would not agree with this type of lighting. Chairman Muck stated that he would agree. He stated that these portable lights can be a noise and aesthetic issue. It could also become an enforcement issue. He would prefer to see lighting on timers. Mr. Tharp stated that it was a challenge to come up with a solution. There are times when more light is needed and other times less light is required. Portable lights seemed to serve the purpose of adequately lighting the space. When you look at permanent pole type lights for the parking area, you end up with a lot of light poles in the middle of this area. From an aesthetic perspective, they felt that the portable lights would be preferred because at the end of the season they can be removed and stored so that everything is aesthetically pleasing. Their intent is to appropriate light it, still meet the noise ordinance, but not light up the whole thing when not required. Ms.

Tharp stated that these lights can also be set at different vertical limits. Township ordinance says no higher than 15 feet, and they have written that into their photometric plan. Discussion was held on the potential lumens. Commissioner Hamlin stated that he is okay with portable lights, just not these lights. Pacheco discussed the code requirements and stated that these lights may not be able to meet those requirements. The applicant will have to find a portable light to meet those requirements. Mr. Tharp stated that their intent was to find something the least impactful to the community and still serve the purpose and still meet the code. They would be happy to look at other options. Pacheco stated that the Commission could approve portable or not portable and they can work with staff to find lighting that meets the code requirement. Further discussion was held on lighting options.

Commissioner Hamlin stated that there was no floor plan for the second story. Ms. Tharp stated that it is simply a loft approximately 1/3 the size of the wedding barn.

Mr. Tharp added that this is where they live and it is their intention to work with the Township to manage the 30 events per year, if that happens, and make sure they work within the ordinances and minimize complaints.

Motion by Priebe, supported by Koeble

In the matter of the request for Site Plan approval for 5550 Strawberry Lake Road, SP18-002, to recommend approval of the Site Plan to the Township Board, subject to the following:

- A. The Planning Commission finding that the Special Land Use approval (SUP18-002) dated December 19, 2018, remains in effect, including all waivers granted, consisting of the number of events being limited to 30 events per calendar year, with a maximum of 200 attendees, with an annual administrative review of the special land use permit, and approval of signage, as submitted, subject to and in accordance with the approval of the Site Plan;
- B. Planning Commission findings that the standards of Section 4.4.3 of the Township Zoning Ordinance, as identified in the Planning and Zoning Staff Report, dated December 19, 2018, as set forth in Paragraphs A – L, Pages 18 through 22, and as identified in Tonight's Planning and Zoning Staff Report on pages 7-12 subject to the following conditions:

1. The site plan shall include the following notes:
 - a. Hours of operation shall be limited to between 8:00 am and 11 pm; no amplified music shall be allowed after 10 pm; and, setup and cleanup of the event and workers and attendees to the event shall not arrive or leave the site before or after the hours of operation.
 - b. Events shall be required to meet the regulations of the Hamburg Township Noise Ordinance.
 - c. Adequate site and surrounding area clean-up shall be done within 48 hours following the event.
 - d. The agricultural use of the property must be started prior to the agritourism business. Meaning the crops shall be planted prior to site being used for the agritourism use.
2. The site plan shall include the following notes and prior to issuance of a land use permit, the zoning department shall verify that the lighting complies with these notes:
 - a. All light fixtures shall be fully shielded and must be directed downward toward the earth or building.
 - b. All outdoor lighting shall be turned off between 11:00 pm and sunrise and that all light fixtures used for security purposes are to be on motion detection devices.
 - c. The portable lights used shall be directed toward the ground and shall be located on the site so a maximum of 0.5 footcandles is emitted at the property line. These lights shall be reviewed and approved by staff to ensure that they meet Section 9.11.4 of the Township Ordinance
3. Prior to issuance of a land use or building permit all local, county and state regulations will need to be reviewed and approved for this project. A list of the agencies that may be required to review this project including but are not limited to; the Livingston County Drain Commission,

Road Commission, Building Department, and Health Department, and the Hamburg Township Engineer, Utilities and Fire Departments.

4. In addition to any other review from the building department, the building department shall also verify that all Federal and State requirements regarding handicapped parking, loading and access are met and that all other ADA requirements are met on the site.
5. If more than 50 cubic yards of grading will need to be done on this project a grading permit and plan shall be required. The grading shall be minimized and can be approved by staff as long as the grading plan respects the natural topography of the site to the maximum extent possible. If Staff is not comfortable approving the plan because of its scope it can be sent back to the Planning Commission for review as an amendment to the Special Use Permit.

The motion is made because the plan is otherwise in compliance with Article 3 and Article 4 of the Zoning Ordinance, and all other applicable provisions of the Ordinance,

Voice vote: Ayes: 6 Nays: 0 Absent: 1 MOTION CARRIED

7. NEW BUSINESS:

- a) ZTA19-009: (Public Hearing) Zoning Text Amendment to add regulations regarding collection bins. The regulation will allow collection bins within the Commercial and Industrial districts as long as some specific requirements can be met.

Chairman Muck opened the call to the public. Hearing no response, the call was closed.

Pacheco stated that this first came to the Planning Commission in November 2019. It is with regards to collection bins that are popping up around town. Those that have been put in have not done so legally, meaning that they have not come to the Township for approval. They are going on spaces that would require site plan amendments. We have been holding off enforcement until after we get some regulations in place. Because they have been installed without permits, we will be able to ask that they be removed and inform them where they can put them on the property. There are currently 5-6 in the CVS parking lot taking up approximately 6 parking spaces. CVS has already asked for reduced parking so we would never have allowed those spaces to be blocked. He stated that at the last meeting a couple minor modifications were requested. Those changes have been made and is now back for final review and recommendation to the Township Board.

Motion by Muir, supported by Bohn

To recommend to the Township Board approval of ZTA 19-009 to add regulations regarding Donation/collection bins as written in the staff report dated February 19, 2020

Voice vote: Ayes: 6 Nays: 0 Absent: 1 MOTION CARRIED

- b) Master Plan update (2020): Presentation of Draft 2020 Master Plan and updated Village Center Master Plan

Chairman Muck stated that we received a letter from Commissioner Leabu who could not be at tonight's meeting but served on the 2020 Master Plan Steering Committee.

Planner Pacheco stated that we have been working on this project for the past two years. We are in the final stretch. The Commission is getting the first look at the draft Master Plan. He gave a brief history and reviewed his staff report. He stated that in the draft Master Plan we included what use to be in the M-36 Corridor Plan. That plan will be eliminated. We did not however incorporate the Village Center Master Plan. That is still very important because that is the area where want to direct growth in the next 20+ years. That plan went into effect in 1995 and not much has changed. With our new goals and objectives in our Master Plan, it is much more clear that the area with higher

density is the Village Center zoning districts and not the more rural single family residential districts. We also separated the appendixes which makes the document easier and less intimidating. It is much clearer and more precise for developers. We hope to use this document as a sales document for the community. He further explained the process including comments from interested agencies before we distributed the document. The next step would be for the Planning Commission to recommend to the Township Board to move forward with distribution of the plan to the interested agencies who we have already talked to. There is a 63-day review period. After that review period, the Planning Commission will hold a public hearing on the final plan. The Commission can then make a recommendation to the Township Board. The Board then will have final approval of the Master Plan.

Chairman Muck thanked the entire Planning staff. He stated they did a remarkable job especially with the public outreach.

Commissioner Bohn stated that this is a vast improvement over our current Master Plan. The efforts are truly reflected in the document.

Commissioner Hamlin provided some minor language and grammatical changes.

Motion by Muir, supported by Priebe

To recommend to the Township Board distribution of the draft 2020 Master Plan dated 2/19/2020 with the minor changes as recommended by Commissioner Hamlin. The Township Board can either approve the distribution with no changes or minor changes or they can recommend major changes to the draft Master Plan. If they recommend major changes to the plan, then the plan with the proposed changes will need to be sent back to the Planning Commission for review

Voice vote: Ayes: 6 Nays: 0 Absent: 1 MOTION CARRIED

Motion by Muir, supported by Koeble

To recommend to the Township Board inclusion of the draft changes to the Village Center Master plan with the distribution of the draft 2020 Master Plan

Voice vote: Ayes: 6 Nays: 0 Absent: 1 MOTION CARRIED

8. ZONING ADMINISTRATOR'S REPORT:

Amy Steffens, Planning & Zoning Administrator stated that she would like to remind the Commissioners that the annual joint meeting with the Township Board, Planning Commission, Zoning Board of Appeals and Parks and Recreation Committee will be next Wednesday, February 26th at 7:00 p.m. They are currently working on the staff reports. It will be a year in review for 2019 and help us set our work plan for the coming year. Some of the zoning text amendments they will be talking about at this meeting include the unintended consequences of the non-conforming ordinance, we would like to talk about some of the floodplain development standards, and possibly short-term rentals. If there is anything that the Commissioners would like addressed, please let staff know before Friday as the packets will be going out.

9. ADJOURNMENT:

Motion by Hamlin, supported by Priebe

To adjourn the meeting

Voice vote: Ayes: 6 Nays: 0 Absent: 1 MOTION CARRIED

The Regular Meeting of the Planning Commission was adjourned at 8:00 p.m.

Respectfully submitted,

Julie C. Durkin
Recording Secretary

The minutes were approved as presented/Corrected: _____

Jeff Muck, Chairperson

TOWNSHIP OF HAMBURG
RESOLUTION TO ASSERT THE RIGHT TO APPROVE OR REJECT AMENDMENT TO THE
TOWNSHIP MASTER PLAN AND SUB PLANS.

At a regular meeting of the Township Board of the Township of Hamburg, Livingston County, State of Michigan, held at the Hamburg Township Board Room on Tuesday, March 3, 2020, beginning at 2:30 p.m., Eastern Standard Time, there were

PRESENT:

ABSENT:

MOVED FOR ADOPTION:

SUPPORTED BY:

RESOLUTION

WHEREAS, Act 33 of the Public Acts of Michigan of 2008, as amended, the Michigan Planning Enabling Act (the "Act") provides for a township planning commission to prepare potential amendments to a master plan or a sub-plan for a geographic area less than the entire planning jurisdiction; and

WHEREAS, The Act notes that the legislative body, in this case the Hamburg Township Board, can by resolution assert the right to approve or reject amendments to a master plan or a sub-plan for a geographic area less than the entire planning jurisdiction; and

WHEREAS, Hamburg Township continues to work toward the final revisions to the Hamburg Township 2020 Master Plan and The update to the Village Center Master Plan, following the direction noted in the Act.

NOW THEREFORE, BE IT RESOLVED, that the Township of Hamburg hereby assert the right for the Township Board to approve or reject the Update to the Hamburg Township Master Plan and Sub-Plans.

A roll call vote on the foregoing resolution was taken and was as follows:

AYES:

NAYS:

ABSENT:

RESOLUTION DECLARED:

CERTIFICATION

I, Michael Dolan, being the duly elected Clerk of the Township of Hamburg, Livingston County, Michigan hereby certify that (1) the foregoing is a true and complete copy of the Resolution duly adopted by the Township Board on January 21, 2020; (2) the original of such resolution is on file in the records of the Clerk's office; (3) the meeting was conducted, and public notice thereof was given, pursuant to and in full compliance with the Open Meetings Act (Act No. 267, Public Acts of Michigan, 1976, as amended); and (4) minutes of such meeting were kept and will be or have been (or will be) made available as required by the Open Meetings Act.

DATE: January 21, 2020

Michael Dolan
Hamburg Township Clerk



March 3, 2020

Hamburg Township Board of Trustees
P.O. Box 157
Hamburg, Michigan 48139

Dear Members of the Board:

In February 2006 the Hamburg Township Board adopted a resolution recognizing the Hamburg Enhanced Recreation Organization (H.E.R.O.) as a Township volunteer organization and supporting their efforts as a community non-profit organization dedicated to creating opportunities to attract local and area-wide support for recreation and the community as a whole. This year H.E.R.O. will be hosting the 15th Annual Hamburg Family Fest which is scheduled from June 17th through June 20th, 2020 at Bennett Park.

H.E.R.O. installed banner poles on Merrill Road in Spring 2006 (under permit from the Livingston County Road Commission) approximately 200 yards south of the railroad track. To announce the annual event and draw the attention of the crowds of people that travel to and from the park facility during the baseball and soccer season, H.E.R.O. installs a banner across Merrill Road every year from May 1st through June 30th.

The County specifications for banners require a permit to be issued only to the governing body. H.E.R.O. respectfully requests the Hamburg Township Board to pass a resolution requesting a banner permit from the Livingston County Road Commission for the H.E.R.O. events scheduled at Manly Bennett Park during the Hamburg Family Fun Fest for 2020. Further, that the Township Board request the County Board of Commissioners to waive any and all fees that may be associated with the Livingston County Road Commission banner permit.

H.E.R.O. appreciates your support to make this event a huge success for the community.

Sincerely,

Joanna G. Hardesty
H.E.R.O. President
(810) 626-3035





**OVER-THE-ROAD BANNER
APPLICATION FOR TOWNSHIP APPROVAL**

APPLICANT: Hamburg Enhanced Recreation Organization

ADDRESS: P.O. Box 548
Hamburg, MI 48139

PHONE: (810) 626-3035 **E-MAIL** director@hamburgfunfest.com

CONTACT PERSON: Joanna G. Hardesty

PHONE: DAYTIME (810) 626-3035 **CELL PHONE:** (810) 397-9058

DATE(S) OF EVENT: June 17, 2019 – June 20, 2020

DATES REQUESTED FOR BANNER DISPLAY: May 1, 2020 – June 30, 2020

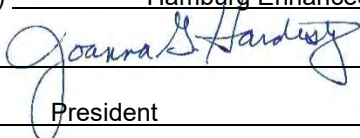
DESCRIPTION OF EVENT: Hamburg Family Fun Fest sponsored by H.E.R.O. running four (4) days at the Bennett Park facilities. The event includes family fun activities – fireworks, amusement rides, petting zoo, concerts, arts & crafts, classic car show, etc., etc.

RELEASE AND HOLD HARMLESS AGREEMENT

The Applicant hereby agrees to assume all loss, damages, risk and liability associated with the installation and display of an over-the-road banner. It recognizes and acknowledges that this includes, but is not limited to, personal injury and property damage incurred for any reason whatsoever. Applicant further agrees to release, hold harmless and indemnify, the Township of Hamburg, their elected officials, officers, agents, and employees, from any and all liability or responsibility whatsoever for injury (including death) to persons and for any damage to any Township property, or the property of others, arising out of, or resulting from, the placement of the over-the-road banner. Applicant further hereby waives, releases and discharges Hamburg Township, their elected officials, officers, agents, and employees from any and all claims, demands, actions, causes of actions, damages and liabilities resulting from or arising directly or indirectly out of the placement of the over-the-road banner. Applicant further acknowledges and agrees it is solely responsible for installation and removal of the banner. If Applicant fails to remove the banner by the permit expiration date, Hamburg Township may contract for the removal of the banner and charge the cost back to the Applicant. Applicant recognizes that it is responsible to reimburse Hamburg Township for this cost and failure to do so will result in permanent ineligibility for future application and use.

Agreed to this 3rd day of March, 2020.

NAME (print) Hamburg Enhanced Recreation Organization (H.E.R.O.)

BY:  Joanna G. Hardesty

ITS: President

TWP BOARD ACTION: _____ DATE: _____



March 3, 2020

Hamburg Township Board of Trustees
P.O. Box 157
Hamburg, Michigan 48139

Dear Members of the Board:

In February 2006 the Hamburg Township Board adopted a resolution recognizing the Hamburg Enhanced Recreation Organization (H.E.R.O.) as a Township volunteer organization and supporting their efforts as a community non-profit organization dedicated to creating opportunities to attract local and area-wide support for recreation and the community as a whole. This year H.E.R.O. will be hosting the 15th Annual Hamburg Family Fun Fest which is scheduled from June 17th through June 20th, 2020 at Bennett Park.

Given the number and types of events including fireworks shows, petting zoo, amusement rides, etc., at the Fun Fest it is anticipated that this event will draw thousands of participants to the area; more particularly to both East and West Bennett Park. With a speed limit of 55 mph on Merrill Road, it could potentially cause a safety issue to pedestrians crossing to reach the events taking place at East and West Bennett Park. We respectfully request that the Hamburg Township Board petition the Livingston County Road Commission to reduce the speed limit on Merrill Road between M-36 and Strawberry Lake Road (through Manly Bennett Park) from the current 55 mph to 35 mph during the Hamburg Family Fun Fest as has been done for the past 14 years.

H.E.R.O. appreciates your support to make this event a huge success for the community.

Sincerely,

A handwritten signature in blue ink that reads "Joanna G. Hardesty".

Joanna G. Hardesty
H.E.R.O. President
(810) 626-3035



**HAMBURG TOWNSHIP
PERSONNEL COMMITTEE
Hamburg Township Conference Room
Wednesday, March 11, 2020
3:00 P.M. Meeting**

1. CALL TO ORDER & ROLL CALL OF THE COMMITTEE

Chairman Koeble called the meeting to order at 3:01 P.M.

Present: Trustee Annette Koeble and Clerk Mike Dolan

Absent: Trustee Hahn

Others Present for All or Part of Meeting: Pat Hohl, Thelma Kubitskey, Susan Murray, and Patricia Hughes.

2. APPROVAL OF THE AGENDA

Motion by Koeble, second by Dolan, to approve the agenda as presented.

Passed unanimously

3. APPROVAL OF MINUTES

Motion by Koeble, second by Dolan, to approve the minutes of the February 26, 2020 meeting as presented.

Passed unanimously

4. CALL TO THE PUBLIC

There was no response to the call.

5. OLD BUSINESS

There were no Old Business items.

6. NEW BUSINESS

A. Zoning Department – Hiring Erik Perdonik as Temporary Part-Time Zoning Coordinator

By a memo dated March 5, 2020, Planning & Zoning Administrator Amy Steffens requested the Personnel Committee to recommend to the Township Board the hiring of Erik Perdonik for the position of temporary, part-time Zoning Coordinator.

Motion by Dolan, second by Koeble, to recommend to the Township Board approval to hire Erik Perdonik as the temporary part-time Zoning Coordinator, with Zoning Administrator Amy Steffens scheduling his work hours up to 40 hours per week at \$25/hour for a maximum of 18 weeks, with no phone stipend and no July 1, 2020 ECI wage increase.

Passed unanimously

B. Assessing Department – Wage Adjustment for Brendan Scheitz

Assessor Murray requested, with the concurrence of Supervisor Hohl, a wage adjustment for Brendan Scheitz because Brendan achieved his Level II Assessing Certification in December 2019, and did not receive an increase in pay at that time.

Motion by Koeble, second by Dolan, to recommend to the Township Board that Brendan Scheitz's hourly rate be increased to \$23.27/hour effective the next pay period, and that he receive the July 1, 2020 ECI adjustment of 1.9%.

Passed unanimously

C. Assessing Department – Wage Adjustment for Mandy West

Assessor Murray requested, with the concurrence of Supervisor Hohl, a wage adjustment for Mandy West because, through an error, the May 2017 pay grade increase that Assessor Murray had requested when Mandy moved to the Appraiser position did not occur.

Motion by Koeble, second by Dolan, to recommend to the Township Board that Mandy West be classified as a Grade 9 employee with a pay increase to \$28.65/hour effective the next pay period, and that she receive the July 1, 2020 ECI adjustment of 1.9%.

Passed unanimously

7. CALL TO THE PUBLIC

There was no response to the call.

8. BOARD COMMENTS

Chairman Koeble reported that the prime candidate for the Museum Administrator position will be interviewed March 14, and terms of her employment would be negotiated. If agreement is reached, Trustee Koeble, who is the liaison with the Historical Society and Museum, would like the Township Board to approve hiring the candidate at the Board's March 17 meeting.

Motion by Dolan, second by Koeble, that the Personnel Committee recommends that the name of the candidate for the position of Museum Administrator be taken directly to the Township Board at its March 17th meeting for hiring approval in order to allow the candidate to start work with Suzanne Hines immediately to develop a business plan for the Museum.

Passed unanimously

9. ADJOURNMENT

Motion by Dolan, second by Koeble, to adjourn the meeting.

Passed unanimously

The meeting was adjourned at 3:27 P.M.

Patricia Hughes

Deputy Clerk

Minutes approved as presented or amended at the month/day/year meeting.

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Patricia Hughes

Deputy Clerk

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NOTHING IN PACKET

C & E CONSTRUCTION CO INC

PO BOX 1359
HIGHLAND, MI 48357
248-889-1716

Invoice

DATE	INVOICE #
3/16/2020	2455

BILL TO

Hamburg Township
ATTN: Accounts Payable
PO Box 157
Hamburg MI 48139

PROJECT

GP Hamburg Twp

DESCRIPTION	QTY	RATE	AMOUNT
Hamburg Township Grinder Pump Install @ 6672 Hamburg Road			
Install Grinder Pump	1	2,205.00	2,205.00
Install Electrical Service For Grinder Pump	1	1,207.50	1,207.50
Service Lateral Connection 10" D.I Tap with 1.5" and Curb Stop/ Check Valve	1	1,470.00	1,470.00
Service Lateral Directionally Bored 1.5" CTE HDPE DR-9	240	15.75	3,780.00
New Building Sewer Connection	1	525.00	525.00
Residential Instal Of 4 " PVC over 10 feet	10	21.00	210.00
This work was completed on 12/12/19			
GL Code <u>590-000-198.886</u>			
BKC Approved <u>[Signature]</u>			
MAR 09 2020			
Entered <u>3/9 kg</u>			
Due Date <u>[Signature]</u>			
*Property owners paid estimated Sewer connection fees in full on 03/13/2019. BKC			
- no additional fees due -			
Total			\$9,397.50



Economic Development Council of
Livingston County

218 East Grand River Ave.
Upper Level
Brighton, MI 48116

Invoice

Date	Invoice #
2/19/2020	1283

Bill To
Hamburg Township 10405 Merrill Road Hamburg, MI 48139

Quantity	Description	Rate	Amount
	Municipal Partnership Investment 2020 PGH Needs Board Approval GL Code <u>101-101-000-801.500</u> Approved <u>PGH</u> FEB 27 2020 Entered <u>3/10 KJ</u> Due Date <u> </u>	20,913.57	20,913.57
We appreciate your support!		Total	\$20,913.57

2020 SPARK-Livingston Focus Areas



Municipal Support

Site Readiness
Marketing
Retail Leakage Reports



Focused support to public sector partners.



Industry Collaboratives

Talent Pipeline Management
Manufacturing Day



Leverage partnerships to maintain talent pool



SPARK.grow

Cybersecurity Education*
Building Great Organizations*
Rising Leaders*
Reskilling Programs
Career Awareness Events*



Increase services to support growth and retention of our BD businesses.



Grow Livingston

Increase Private Sector Funding in Livingston
Branding for Livingston New Business Attraction*



Targeted fundraising program and BD team rebranding of Livingston for business attraction.

*Strategic Projects



Date goes here

Dear Customer:

Trees are a beautiful and vital part of Michigan's landscape. They're also the leading cause of power outages and can pose a serious public safety hazard if they grow too near or into power lines. That's why our tree experts will be visiting your area soon to trim and, if necessary, remove trees growing too close to power lines.

Our tree trimming program follows industry standards and uses trimming methods that promote healthy trees and safe, reliable power. All work will be completed by tree professionals who have been trained on safe, proper and environmentally responsible work practices. Get a full view of DTE's tree trimming program at dteenergy.com/treecare.

We are committed to working with you throughout this process, and will be here to address any concerns you might have before tree work begins. Here's what you can expect in the upcoming weeks:

- **You may see DTE representatives in your yard or neighborhood inspecting the power lines and trees to determine where trimming is needed. Representatives will be wearing high-visibility vests and carrying DTE ID badges.**
- **If tree work is needed on your property, the representative will knock on your door. If you are not home, we will leave a "Tree Work Scheduled" door card. If you have questions about the work intended for your property, please call the number on the door card.**
- **If a tree poses a serious hazard to power lines or if trimming will put the tree's health at risk, we may need to remove it. In this case, representatives will leave behind additional information and make considerable attempts to work directly with the property owner before removing any trees.**

We appreciate your support as we work to provide you with safe, reliable and affordable energy.

Questions?

If you have any tree-trimming questions or comments, please call 800.477.4747 to speak with a DTE representative.

Sincerely,

DTE's Tree Trimming Team

P.S. Thinking about planting a tree? Support a safe and reliable energy grid by planting powerline-friendly trees. Get free advice on where and what to plant at dteenergy.com/treecare.

Attached is a map that shows where DTE Energy will be performing tree trimming in 2020 to help improve electric reliability in your community. As part of this effort, we reach out to our customers in a number of ways before we actually start trimming.

Initially, customers will receive a phone call and letter explaining that we will be in the area. The first step is to plan the work. If the customer is not at home when we are evaluating their property ("planning the work") we will leave a door hanger with contact information for the property owner. A copy of the letter and door hanger are attached. We also have information on our website [dteenergy.com/tree care](https://dteenergy.com/tree-care) about our tree maintenance program. Please feel free to link our tree trim website to your community website.

Please let me if you have any additional questions about this tree trim work.

Thanks,

Michael Sage

DTE Energy | Regional Manager, Corporate and Government Affairs

One Energy Plaza, 1510 WCB, Detroit, MI 48226

1000 South VanDyke, Bad Axe, MI 48413

[o] 989.269.5805

[c] 313.702.1015

michael.sage@dteenergy.com



Tree Work Scheduled

Date: _____

DTE customer,

Trees are the leading cause of power outages and can create dangerous safety hazards across the energy grid. To ensure you and your family's safety, we've identified a tree that needs to be trimmed or removed. This will better allow us to deliver safe, reliable energy to you and your neighbors. Here's more info:

- ☐ **Tree Trimming** – No action is required. More info is included on the back of this piece.
- ☐ **Tree Removal** – Trees recommended for removal are marked with two white dots near their bases. We would like to discuss this work with you before we begin. ***Please read and complete the "Tree Removal Agreement" provided.***
- ☐ **Other:** _____

Our tree-trimming program is aligned with industry best practices, and our team is committed to striking the delicate balance between safe, affordable and reliable energy. There is no charge for this service.

Questions or concerns? We're here to help. Contact your DTE representative as soon as possible to ensure we're able to speak with you before work begins:

DTE representative

Phone



Improving Electric Reliability

Recently trimmed areas have seen electric reliability improve by an average of 70 percent.



What to Expect

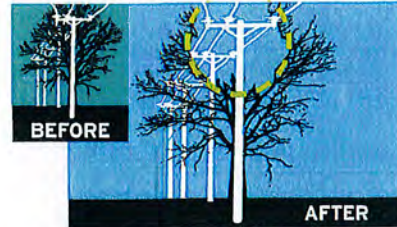
How We Trim

Crews will trim a radius of approximately 15 feet around DTE electrical equipment.

Debris Policy

- **Debris we'll remove:** small branches and limbs.
- **Debris we'll leave behind:** larger pieces of wood (cut to firewood length); dead or diseased wood or debris; trees and/or limbs that fell due to natural causes.

Please note: we do not remove dead or diseased vegetation to prevent the spread of tree diseases.



Service drops

Your service drop – the power line that runs from the electric pole near your property to your house – is your personal connection to the energy grid. Keeping vegetation away from your service drop to prevent outages and safety hazards is your responsibility.

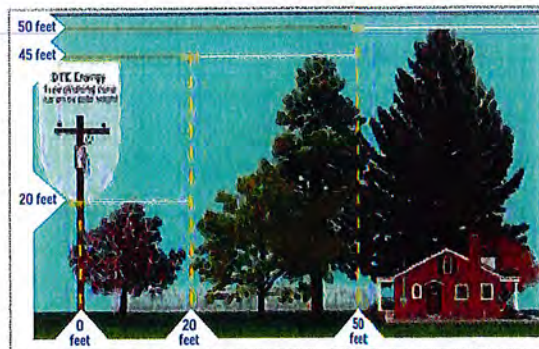
Since service drops are energized and extremely dangerous, we highly recommend you use a professional tree-trimming service to remove or maintain any vegetation that's in contact – or may come into contact – with it.

Safety

Trees and the energy grid don't mix, and when combined, can create potentially dangerous safety hazards. To keep your family safe, do not trim, work near or climb on trees near power lines, or on trees with power lines nearby.

Right Tree, Right Place

The secret to having strong, beautiful trees and reliable electric service is planting the right trees in the right places. Consult the planting guide at dteenergy.com/treecare for more information.



Learn more at dteenergy.com/treecare



We were here...

Date _____

Dear Customer:

A DTE Energy contract tree crew has completed the tree trimming work on your property. DTE contracts all its tree trimming work to professional tree trimming services. Woody debris may have been left on your property in accordance with the utilities debris policy (indicated below):

- ☐ **Caused by mother nature:** Trees or limbs that fall due to natural causes are the customer's responsibility for removal. If vegetation is interfering with DTE equipment, we will clear it and leave all woody debris from the damaged tree.
- ☐ **Wood left from utility work:** Any large wood will be cut into manageable lengths and piled on the property for customer disposal. Small branches have been chipped and removed.
- ☐ **Excess debris from utility work:** We were unable to remove small debris at the time of work completion. We will return as soon as possible to chip the rest of the debris. Large wood will be cut into manageable lengths and piled on the property for customer disposal.
- ☐ **Dead or diseased wood:** In order to reduce the spread of forest pests and diseases, previously dead or diseased wood will be left on site. Large wood will be cut into manageable lengths and piled on the property for customer disposal.

If you have a question or concern regarding the work completed on your property, please contact:

Contact Name

Phone Number

Crew Number

If you would like to learn more about DTE Energy's Tree Trim Program and how it plays a key role in reducing power outages, please visit: dteenergy.com/treecare.

Thank you for contacting us about the need for tree trimming on your property.



DTE Energy Work Authorization

Trees are the leading cause of power outages and can create serious – sometimes deadly – safety hazards across the energy grid. We've identified a tree that needs to be removed to allow us to deliver safe, reliable energy to you and your neighbors, and to keep rates for you and our other customers across southeastern Michigan. Our experts determined trimming this tree will likely damage the tree's health and strength.

Please complete the form below and attach it to your front door; one of our crews will pick it up. If we cannot retrieve a signed removal agreement, we'll need to trim the tree extensively to promote electric reliability and public safety near your property. Don't hesitate to contact your DTE representative – listed below – if you have any questions or if you'd like additional information about our tree-trimming process.

Address _____

City _____ Zip _____

Description of tree(s) to be removed:

Total _____

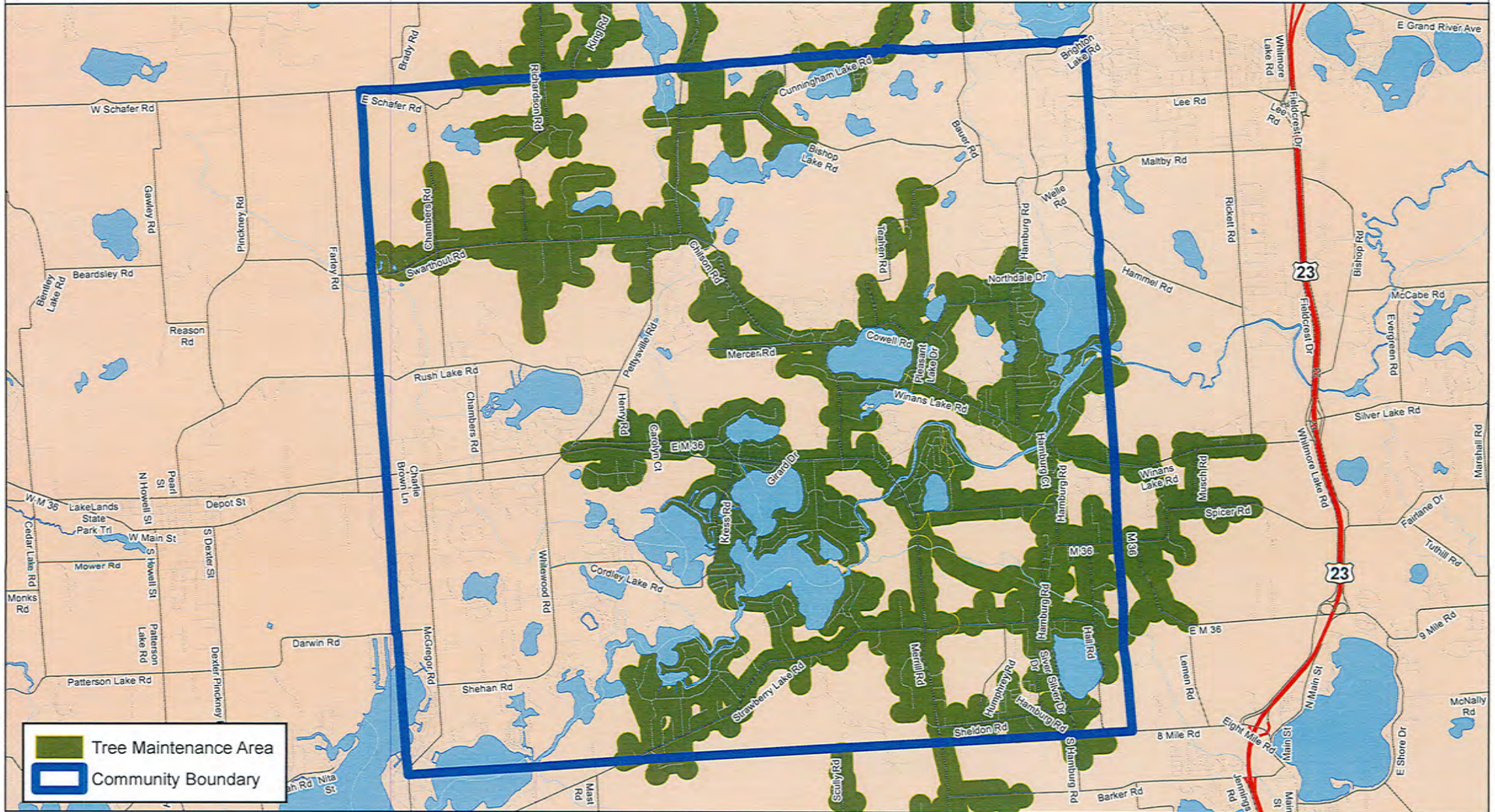
Property Owner Section

Prior Notice? _____

Authorization notes _____

I, the undersigned, own the property described on this card and agree that the DTE Electric Company, or its agent(s), may complete the previously described vegetation maintenance, and I have the right to agree to maintenance for the property. I understand the field will apply an herbicide to prevent stump regrowth.

2020 Tree Trim Maintenance Program Hamburg Township



- Two-thirds of the time DTE Energy customers spend without power is due to trees.
- Tree trimming is an industry-wide solution to prevent outages. DTE Energy follows industry best practice and standards for tree trimming.
- DTE Energy works collaboratively with customers every step of the way to address their concerns before we begin work.

Please note: During 2020, DTE is planning to trim trees within the area shaded green. Additional tree work may be necessary based on circuit performance to improve reliability. Severe weather, or other circumstances may change the timing and extent of the work

NOVEMBER 2019