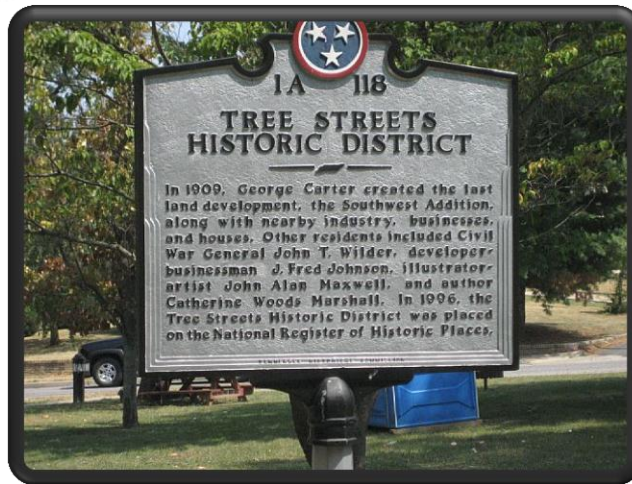


TREE STREETS HISTORIC CONSERVATION DISTRICT DESIGN GUIDELINES



CITY OF JOHNSON CITY, TENNESSEE

ADOPTED 1999

AMENDED NOVEMBER 1999

AMENDED APRIL 2012

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THE TREE STREETS HISTORIC CONSERVATION DISTRICT DESIGN REVIEW GUIDELINES

Introduction

The Tree Streets Historic Conservation District (the "District") is part of the larger South Side neighborhood which comprises one of the largest cohesive collections of early twentieth-century houses in Northeast Tennessee. The District includes approximately 225 primarily residential structures built between 1900 and 1940. South Side Elementary School is a non-residential structure within the District. In 1996, a portion of the South Side neighborhood was classified as a National Historic District on the National Register of Historic Places.

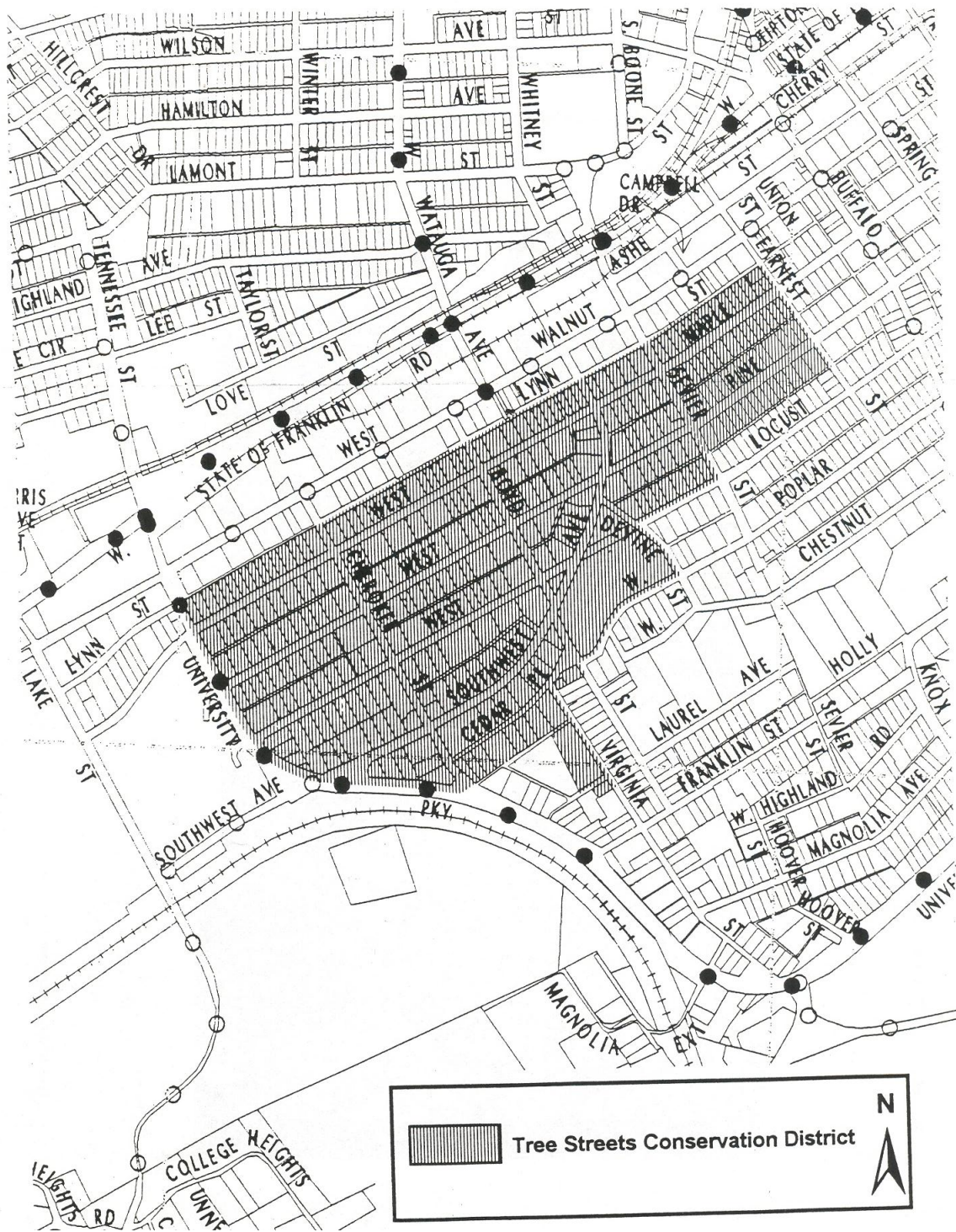
The Tree Streets Historic District is generally defined by University Parkway, South Roan Street, and Lynn Street. The Conservation District is basically bounded by Lynn Street, University Parkway, property lines south of Cedar Place, Locust Street, Devine Street, Sevier Street, Lynn Street, and Earnest Street.

The contributing buildings represent the architectural styles popular in the first three decades of this century and are in mainly good to excellent condition. Bungalows and Four-Squares of brick and wood are predominate, but there is sufficient diversity of design, materials and ornamentation with these two styles to create considerable variety. Also represented in the District are outstanding examples of Colonial Revival, Queen Anne, L-Plan, and Tudor Revival houses.

As different streets were developed, certain styles would be in vogue or preferred by individual builders, giving each street its own character. Hybrid styles are common. Brick, stone, wood, tile, shingles, and stucco, were freely combined with one another.

Through careful maintenance of the buildings, the historical and architectural integrity of the District has been retained, with streetscapes remarkably still as they were 50 to 75 years ago. Deep and uniform setbacks on tree lined streets contribute to a natural cohesive quality, and small lots with mature trees and shrubs give the area an impressive green and shady character. Hence it was appropriate that the District adopted a name suggestive of its park-like quality, and for the name of the streets - the Tree Streets Neighborhood. The architectural and landscape design qualities made the area a successful early-twentieth-century development and can account for the stability and popularity of the District through the years. Careful conservation of these features is necessary to ensure the future success and stability of the District.

There is no one style that can be called the "Tree Streets House", this gives you, the builder, architect, homeowner, greater flexibility in designing a compatible new house or renovating an existing house that will compliment its neighbors.



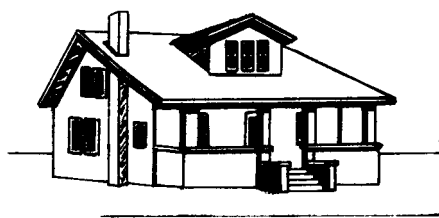
ILLUSTRATIONS OF PREDOMINANT NEIGHBORHOOD STYLES



602 West Maple Street

THE FOUR SQUARE

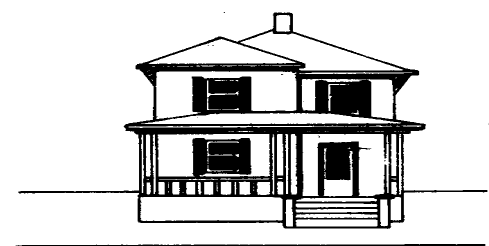
A two story box shaped house of symmetrical rectangles, giving the house a four square appearance. A full width, raised front porch, deep overhangs, a low pitched hipped roof with a single dormer, and a large glass front entry door are characteristics of this style.



428 West Maple Street

THE BUNGALOW

Bungalows are modest houses of one to one-and-half stories, with a front or side gabled roof, asymmetrical raised front porches with a variety of columns from pedestals to pillars. Decoration is found in the form of exposed roof rafters, beams and brackets.



511 West Maple Street

THE QUEEN ANNE

A Queen Anne usually has an asymmetrical façade with a partial or full-width front porch. The use of a steeply pitched roof, a dominant front-facing gable, patterned shingles, cutaway bay windows, and other features to avoid a smooth-wall appearance.



1119 Southwest Avenue

THE COLONIAL REVIVAL

Colonial Revival houses reflect the classic features of a Colonial Style residence. Traditional elements such as the use of symmetrically balanced windows and doors on the front façade and fan lights around the front door. This type of residence is usually two-story.

STATEMENT OF PURPOSE

The Tree Streets Historic Conservation District Design Guidelines are intended as the starting point for the design of buildings, additions, and renovations in the Tree Streets area. The guidelines are design criteria to be used by architects, builders, and homeowners interested in building in the area. They are intended to encourage design creativity utilizing modern materials and techniques and yet blend in with the existing houses. The Guidelines do not encourage copies of existing houses. The design characteristics which the Historic Zoning Commission will review and grant a Certificate of Appropriateness for are as follows:

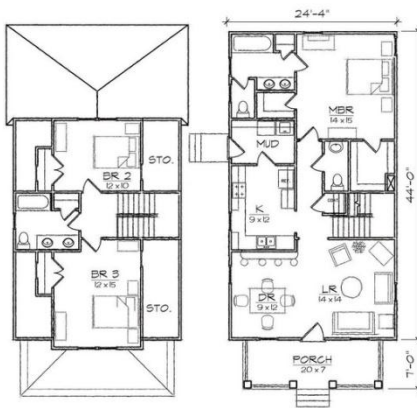
roof line
overhang
building shape
window and door proportions
window and door grouping
garage placement
porches
raised foundation
building setback
placement on the site
fences and walls

Incorporating certain design elements will go a long way towards making an appropriate overall design. The roof line, house form, use of porches, and the proportions and groupings of windows and doors should harmonize with those of surrounding houses. Garages will be placed to the rear of the houses.

The end result should be the maintenance and improvement of existing homes and the construction of new homes with a character which harmonizes with the historic neighborhood. The attached plates and illustrations amplify the guidelines.

Remember, new construction should not be “copies” --- they should be “good neighbors.”

DESIGN GUIDELINES FOR NEW CONSTRUCTION



DESIGN REVIEW

The Johnson City Historic Zoning Commission (HZC) is responsible for reviewing the expansion of livable space and new construction in the Tree Streets Historic Conservation District to see that it is compatible with the existing houses in the conservation district in scale, materials, setback, siting, and placement of garages. The guidelines are applicable only for the portion of the Tree Streets neighborhood designated on the zoning map for Historic/Conservation Zoning. A Certificate of Appropriateness from the HZC is required before construction begins.

The HZC staff prefers to meet with the homeowner and builder at pre-design stages to become familiar with the site and discuss the guidelines. This will help ensure that the site plan, proportions, and details will have a comfortable relationship to the surrounding homes that have earned the district historic conservation status.

The HZC reviews any addition, renovation, and new structure that increases the habitable space and/or is visible from the street. Houses moved into the area also come under review, and no house can be demolished until reviewed by the HZC. In each of these cases, a Certificate of Appropriateness is required. Interior changes, paint colors, and routine maintenance, repair, exterior alterations (when they do not affect habitable living space and are not visible from the street) are not reviewed. Appropriate design characteristics will be approved for a Certificate of Appropriateness and inappropriate design characteristics will not be approved for a Certificate of Appropriateness.

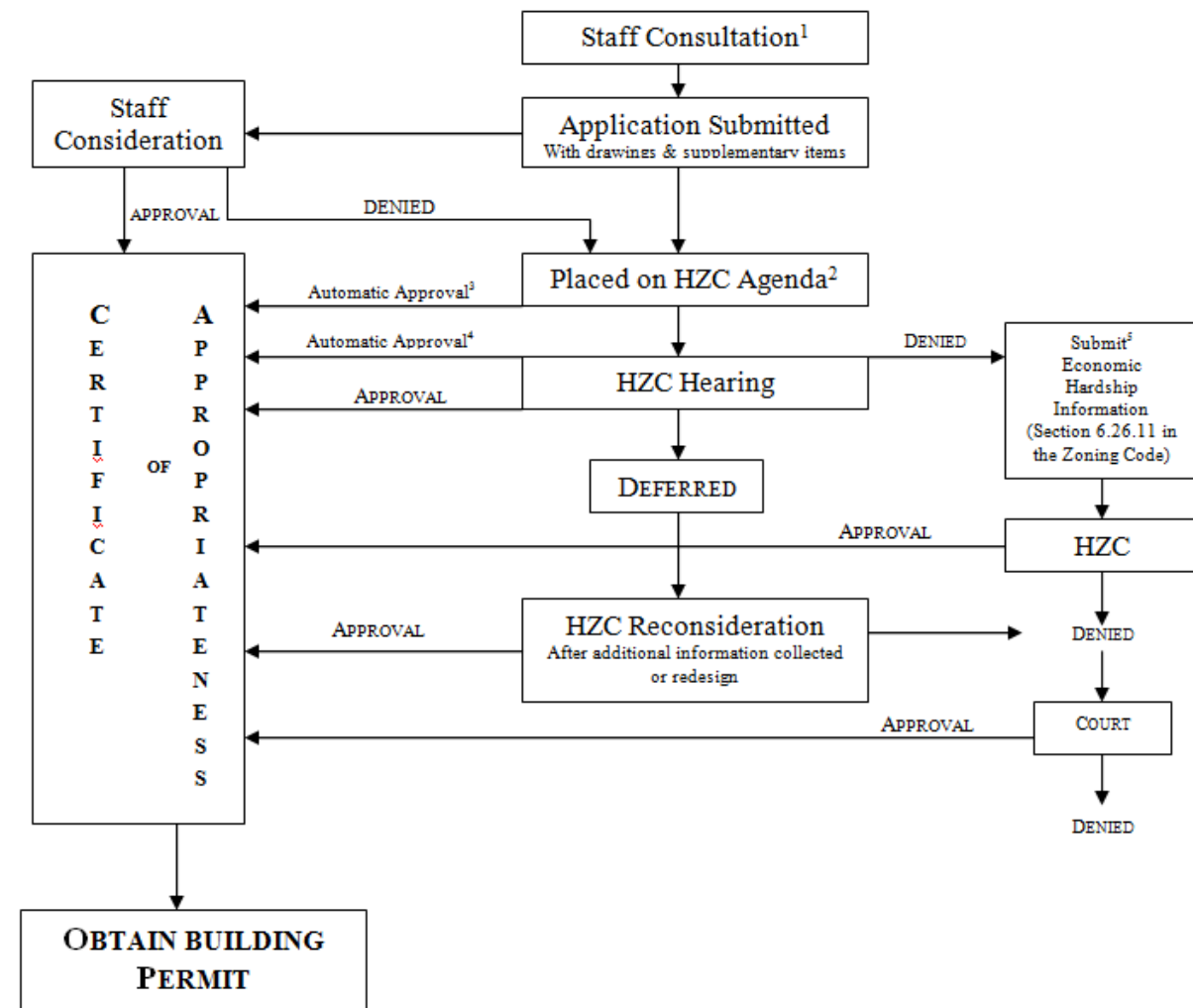
The guidelines do not encourage new “old” buildings, but rather, designs that reflect features that are “common denominators” of the Tree Streets neighborhood’s rich and varied architectural heritage.

PROCEDURE

- Owner decides to build or alter in the tree street neighborhood
- Owner meets with his/her designer to go over guidelines
- Preliminary meeting with HZC staff
- Submit application for review
site plan / measured drawings / material information
- Commission reviews application
- When approved owner receives certificate of appropriateness
- Obtain building permit and begin construction

Governing bodies, agencies and public utilities should endeavor to plan and perform improvements with minimal or no impact on the neighborhood historic character and features. Necessary improvements, maintenance and related actions to protect or maintain the public health, safety and welfare, should be accomplished in a manner feasibly consistent with these Guidelines. Such entities are encouraged to consult with the HZC when planning improvements in order to promote consistency with the neighborhood historic conservation, context, image and appearance. Plans should be submitted to the HZC for review and approval. Exceptions are activities and actions required as a result of natural disasters or emergencies.

CERTIFICATE OF APPROPRIATENESS



¹Talk with the Planning Staff concerning proposed work. Obtain the Application for a C of A.

²Applications received two weeks prior to the monthly meeting of the HZC.

³All applications will be considered by the HZC within 30 days of submission of a completed application or it will be deemed approved.

⁴If the HZC does not render a decision within 30 days of the hearing of the application, it shall be deemed approved.

⁵Economic Hardship Procedure (Section 6.26.11 of the Zoning Code).

CERTIFICATE OF APPROPRIATENESS (COFA)

Does not require a CofA:

- interior renovations
- landscaping
- routine exterior maintenance (painting, cleaning, etc.)

Certificate of Appropriateness Required:

- Staff approval: Existing structures (for the following items, staff has the authority to issue a CofA without submission to the HZC, if proposed change conforms to the Design Guidelines).

- Replacement of light fixtures/signs
- Replacement of doors (including storm doors)
- Replacement of fences/retaining walls
- Replacement of windows (including frames and storm windows)
- Replacement of roofs, gutters, & downspouts
- Replacement of mechanical equipment
- Replacement of siding

- HZC Approval: New Structures, Major Alterations

- New Structures
- New additions that increase habitable space and/or are visible from the street
- Major exterior alterations (including finish materials, awnings, doors and windows, gutter/downspouts, light fixtures, mechanical equipment, and storm doors and windows).
- Demolition
- Moving existing structures

SECTION I. GENERAL TERMS

Design Review Guidelines (the “Guidelines”) are criteria and standards which the Johnson City Historic Zoning Commission (the “Commission”) must consider in determining the appropriateness of proposed work within the District.

Appropriateness of work must be determined in order to accomplish the following goals of historic/conservation zoning as outlined in the guidelines and bylaws of the Johnson City Historic Zoning Commission:

- (a) To promote the educational, cultural, and economic welfare of the people of Johnson City;
- (b) To preserve and protect the historical and architectural value of buildings, other structures, or historically significant areas;
- (c) To ensure the compatibility within the Historic/Conservation District by regulating exterior design, arrangement, texture, and materials;
- (d) To create an aesthetic appearance which complements the historic buildings or other structures;
- (e) To stabilize and improve property values;
- (f) To foster civic beauty and community pride;
- (g) To strengthen the local economy;
- (h) To establish criteria and procedures to regulate the construction, relocation, demolition or other alteration of structures or appurtenances within any Historic/Conservation District; and
- (i) To promote the use of Historic/Conservation Districts for the education, pleasure, and welfare of the present and future citizens of Johnson City.

These Guidelines shall be interpreted and constructed in such a manner as to foster and preserve the predominant single-family residential character of the District.

These Guidelines shall not apply to ordinary repairs and maintenance; however, such repairs shall be done in a manner that does not disrupt the historic integrity of the home.

In addition to meeting the Design Guidelines of the Tree Streets Historic Conservation District, properties are also subject to the regulations in the Johnson City Zoning Ordinance. The Zoning Ordinance governs the use of property and has standards for height, lot coverage, setback, landscaping, and parking requirements.

A. TERMINOLOGY

For the purpose of these Guidelines the following terminology shall apply:

The following words in a guideline indicate that compliance is required for approval:
shall, should, must

The following words in a guideline indicate that compliance is not required but strongly suggested and highly recommended:

recommend, suggest, encourage

The following words in a guideline indicate that a design approach will not be approved:

inappropriate

B. DEFINITIONS

For the purpose of these Guidelines the following definitions shall apply:

Addition: New construction that increases the dimension of an existing building or structure.

Alteration: A replacement or change in building material; the addition or elimination of any architectural element of a building; a repair that reconstructs any part of the exterior of any existing building; or construction of or change to an appurtenance.

Appurtenances: Fences, walls, paving, street lights, curbs, signs, mailboxes, gazebos, fountains, and other accessory or adjunct permanent built features related to a building or streetscape.

Bracket: Projecting support member found under eaves or other overhangs. May be only decorative or may be used to support weight.

Building: Any structure having a roof supported by columns or by walls and intended for the shelter, housing or enclosure of persons, animals, or personal property.

Certificate of Appropriateness: A document issued by the Historic Zoning Commission certifying that the Commission has reviewed the described proposal and determined that it meets all applicable standards of the Commission.

Construction: The process of erecting a new building or restoring/rehabilitating existing building.

Cornice: Projecting decorative molding along the top of a building or a wall.

Demolition: The removal of a building, or major portion thereof.

Exterior: The outside wall. The part of the structure that is visible from the public right-of way and/or from the property lines.

Major Work: Major work must be approved by the Historic Zoning Commission and requires a Certificate of Appropriateness. In general, these are projects which involve a change in the appearance of a building or landscape, and are more substantial in nature than minor work projects.

Minor Work: Any change to a historic resource that does not change the historic characteristic of a property (i.e. roof replacement, replacement of windows, replacement of mechanical equipment). Minor work projects will require a Certificate of Appropriateness and can be approved by the staff liaison to the Historic Zoning Commission.

Muntin: Strips separating panes of glass in a window sash.

Normal Maintenance: Work that does not alter exterior features of a historic resource and is done to maintain functionality (i.e. masonry repairs, painting, cleaning). Normal maintenance does not require a Certificate of Appropriateness.

Pitch: Slope of roof.

Preservation: The retention of all historic fabric through conservation, maintenance & repair. It reflects a buildings continuum over time, through successive occupancies, and the respectful changes and alterations that are made.

Reconstruction: The opportunity to re-create a non-surviving site, landscape, building, structure, or object in all new materials.

Rehabilitation: The act of returning a building to a usable condition through repair, alteration, and/or preservation of its features.

Restoration: The process of accurately taking a structures appearance back to a specific period of time by removing later work and by replacing missing earlier features to match the original.

Setback: Distance from a building to a street or other building.

SECTION II. CONSTRUCTION

Definition: The construction or erection of any free-standing structure or improvement on any lot, within the District, including new construction which utilizes existing party walls and any additions, renovations, or restorations to existing buildings which are subject to review by the Commission pursuant to the Historic/Conservation District Ordinance.

A. GENERAL PRINCIPLES

The provisions of Section II shall apply to the exterior of buildings, to areas of lots visible from public rights-of-way, and especially to principal elevations of buildings.

The principal facades (front) and street-related elevations of proposals for new buildings shall be more carefully reviewed than other facades.

Because construction in the District primarily occurred in the years between 1900 and 1940, and, to a lesser degree, in the years since 1940, a variety of building types and styles result which demonstrate the changes in building tastes and technology over the years. New buildings should continue this tradition while complementing and being compatible with other buildings in the area.

Construction should be consistent with existing buildings along a street in terms of height, scale, setback, rhythm and other design characteristics of existing buildings, both on the same and opposite sides of a street. The dominance of that pattern and rhythm of design characteristic must be respected and not be disrupted. More weight should be given to compatibility with existing buildings which are products of the original and predominant period of construction on a street as opposed to existing buildings constructed as infill development after the original period of construction but prior to the designation of this District as a historic conservation district.

B. DESIGN CHARACTERISTICS FOR NEW CONSTRUCTION

In determining the appropriateness of proposed new construction, the Commission shall consider, among other factors, the compatibility and consistency of the proposed design of the new construction with the designs of existing buildings in terms of the following design characteristics:

B1. Height

New buildings should be constructed to the same number of stories and to a height which is compatible with the height of surrounding buildings. The height of new construction should be consistent with the predominate pattern of the street on which it is located.

B2. Scale and Massing

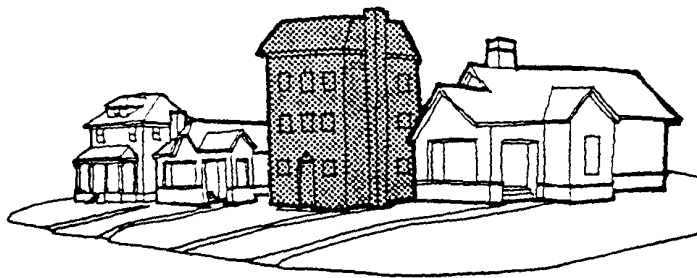
The size of a new building; its mass in relation to open spaces; and its windows, doors, openings, and porches should be visually compatible with the surrounding buildings.

HEIGHT, SCALE, AND MASSING



CONSIDER

New construction that is compatible to neighboring forms, heights, and sizes. In size and shape, infill should be similar to its neighbors. Most important is scale.



AVOID

New construction that differs substantially in height, scale, forms, and sizes from that of neighboring structures.

B3. Setbacks and Rhythm of Spacing

The setback from front and side yard property lines established by adjacent buildings should be maintained. When a definite rhythm along a street is established by uniform lot and building width, new construction should maintain the rhythm.

B4. Orientation

The site orientation of new buildings should be consistent with that of existing buildings along the applicable street and should be visually compatible.

SETBACKS, RHYTHM OF SPACING, AND ORIENTATION



CONSIDER

New construction that relates in site orientation, setbacks from front and side yard property lines and is compatible with the rhythm of the existing streetscape. Most streets have established setbacks with buildings facing the street. Porches and entries have a rhythm and so do roof lines. Garages are set back.



AVOID

New construction which does not relate to the orientation or setbacks of the existing streetscape. Also avoid construction which does not maintain established setbacks.

B5. Relationship of Materials, Textures, and Details

The relationship and use of material, texture, details, and material color of a new building's principal facades should be visually compatible with and similar to those of adjacent buildings or should not contrast conspicuously.

B6. Proportion and Rhythm of Openings

The relationship of width to height of windows and doors, and the rhythm of solids to voids in the new buildings should be visually compatible with the surrounding buildings.

RELATIONSHIP OF MATERIALS, TEXTURES, AND DETAILS WITH THE PROPORTIONS AND RHYTHM OF OPENINGS



CONSIDER

New Construction which is visually compatible with the materials, textures, and details to those of adjacent buildings. Consider appropriate materials such as wood siding, stone or brick. New construction which maintains proportional relationships of solids to voids, and size with those of existing surrounding buildings.



AVOID

New construction which does not relate the materials, sizes of openings, or proportions of the primary facades to those of the surrounding structures.

B7. Roof Shape

The roofs of new buildings should be visually compatible with the roofs of existing buildings, by not contrasting greatly with the roof shape and orientation of surrounding buildings. Features that give the roof its essential historical character within this area shall be maintained. These include roof shape; roof materials; and architectural features such as dormer windows, cupolas, cornices, brackets, chimneys, cresting's and weather vanes.

B8. Foundations

New buildings should be constructed on a raised foundation that is compatible with existing structures. Contrasting materials or a belt course should be used to assist in setting off the raised foundation.

ROOF SHAPES AND FOUNDATIONS



CONSIDER

New construction that relates to surrounding roof structures and is built on a raised foundation. An obvious pattern of rooflines, gable or hip, should be followed. Raised foundations are set off by contrasting materials or belt course.



AVOID

New construction that does not relate to roof forms of neighboring structures or those not built on a raised foundation of a minimum 2 feet above grade.

C. ADDITIONS TO EXISTING BUILDINGS

The following factors should be considered in reviewing proposed additions to existing buildings:

Additions in General

An attached exterior addition to a historic building expands its "outer limits" to create a new profile. Because such expansion has the capability to radically change the historic appearance, new additions should be designed and constructed so that the character-defining features of the historic building are not radically changed, obscured, damaged, or destroyed in the process of rehabilitation.

Additions to Principal Facades

New additions to principal facades of existing buildings should be discouraged and, if permitted at all, should be kept to a minimum and should be visually compatible in scale, materials, and texture; additions should not be visually jarring or contrasting. Additions should, if at all possible, be located to the rear of existing buildings in ways which do not disturb the principal facades.

Enclosure of Covered Areas

The enclosure of carports, porches, porte cocheres, and other covered areas on principal facades, to create additional habitable square footage is usually not appropriate and should be avoided. Notwithstanding, if such enclosure is permitted, it should be accomplished in a manner that preserves the original character of the original principal facade.

Whenever possible, new additions to Tree Streets buildings shall be done in such a manner that if they were to be removed in the future, the essential form and integrity of the original building would not be impaired.

D. OUTBUILDINGS AND APPURTENANCES

Outbuildings

Garages and storage buildings should reflect the design character of the principal building on a lot and that of surrounding buildings and should be compatible in terms of height, scale, roof shape, materials, texture, and details

The location and design of outbuildings should not be visually disruptive to the design character of the surrounding buildings. Outbuildings should be placed to the rear of the principal building on the lot.

Appurtenances

Appurtenances related to new buildings, including driveways, sidewalks, lighting, fences, and walls, shall be visually compatible with the environment of the existing buildings and sites to which they relate. Attached carports, garages, storage facilities and similar structures should generally be placed at or towards the rear of the principal building on the lot.

SECTION III. FEATURES

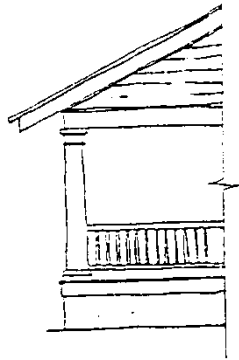
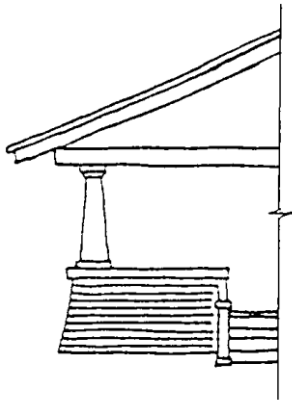
A. FEATURES THAT MAKE A DIFFERENCE

A.1 Porches

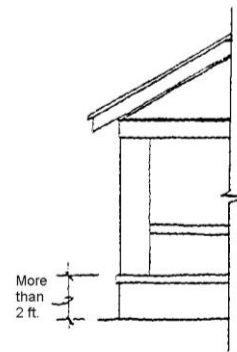
Porches give a house a feeling of openness to the street and welcome the visitor. Porch foundations should be at least 2 feet above grade and of masonry construction. The details and materials should be similar to its neighbors. Porches usually have wide overhanging eaves and substantial columns and balusters. In keeping with the open characteristic of the neighborhood, porches shall not be enclosed.

The principal facades and facades of street-related elevations shall be more carefully reviewed than other facades.

Some appropriate examples...

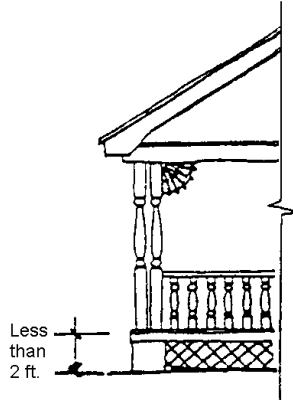
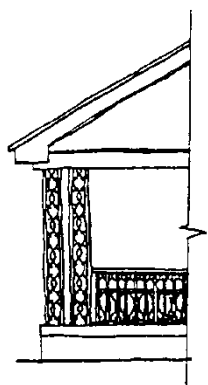


Appropriate column detailing.
Bungalow column shown here.



Porches should be a minimum of 8 feet deep for most houses.

Some that are inappropriate...



Inappropriately styled columns,
brackets, and railing for
predominant neighborhood styles.

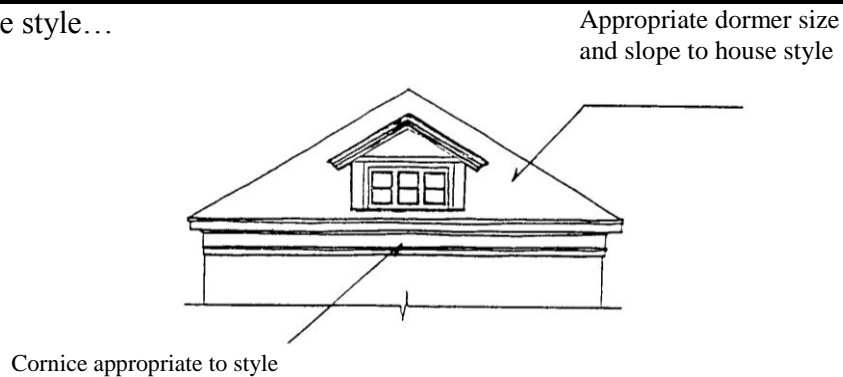
Current 'suburban' boxed cornices
should be discouraged.

A.2 Dormers

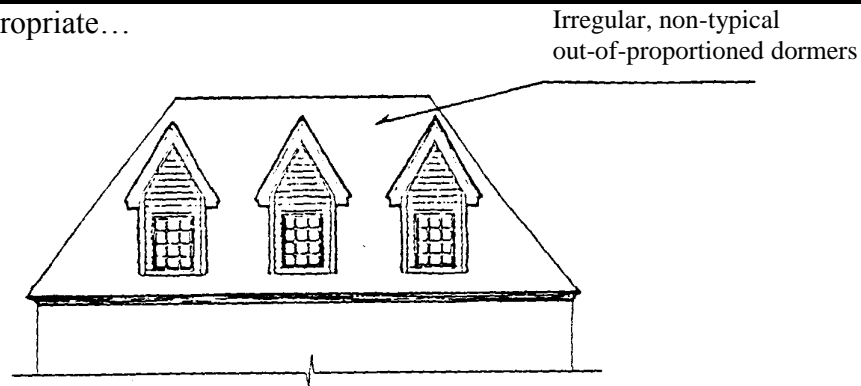
Dormers are common in the Tree Streets District. They provide visual interest to roofs as well as serving a functional purpose. The dormer is very common on hip roofs of Four Squares, though they are also found on Bungalows, Tudor and Craftsman style houses. It is important that a dormer have the proper scale and style for the house. It should come below the ridge line and have a slope compatible with the main roof.

The roofs of new structures or additions should be visually compatible with the roofs of existing buildings.

An appropriate style...



One that is inappropriate...



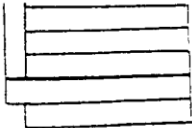
A.3 Materials

Houses built in the early decades of the 20th Century possess a richness of materials and detail not usually seen in modern houses. Interesting combinations of brick, cut stone, stucco, concrete, wood, slate, iron, tile, shingles, and glass were used to create eye-catching textures.

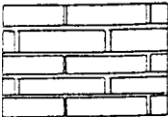
New structures or additions in the district should be built of materials similar to surrounding homes. Two or more contrasting materials should be used: frame houses might have raised masonry foundations; brick houses might use wood for windows, trim and porches.

Some modern materials such as plastic, vinyl, and mirror glass are not compatible and should be avoided. Painting of historically painted materials, in character with the structure and neighborhood, are permitted. Paint colors, tones, shades and contrast shall be consistent with the materials, historic setting, image and appearance.

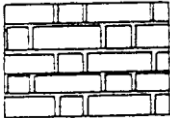
Appropriate




3-4" wood siding



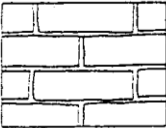
brick



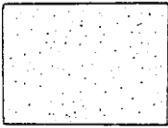
brick



wood shingles




cut block or stone



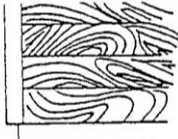
stucco

Chimneys should have brick, masonry or stucco exteriors.

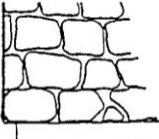
Inappropriate




vertical siding



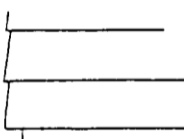
grained vinyl



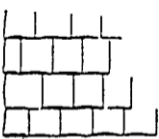
artificial stone



aluminum/vinyl siding



wide siding



asbestos shingle

A.4 Windows

Most original windows in the district are wood, but there are a variety of different window pane configurations. Double hung and casement windows are usually found in multiples of 2 or 3.

For new construction or additions, wood windows are appropriate: patterns may include 1 over 1, or multi-lite windows over a single-lite window used together in groups of 2 over 2.

Raw metal storm screens and window frames are not appropriate. Both new internal or external storm windows should fit within the existing window opening.

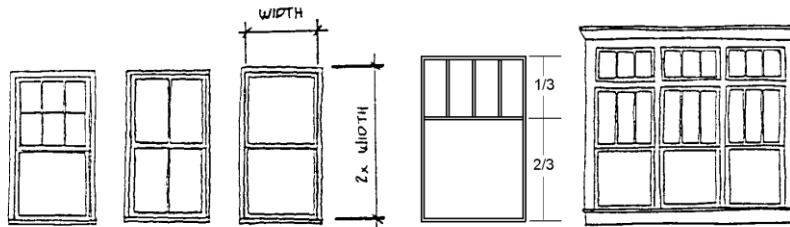
Irregularly shaped windows or odd shapes and sizes not found in the district are inappropriate.

The relationship of width to height of windows and doors and the rhythm of solids to voids in new buildings should be visually compatible with the surrounding buildings.

Some that are appropriate...

Typical “stock” windows which are compatible with predominate styles within the district

Typical “grouped” windows with appropriately sized transoms and trim surround.

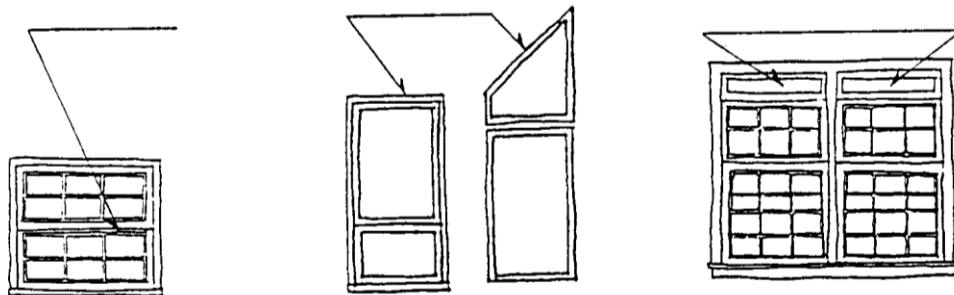


Some that are inappropriate...

Windows too short for primary facade.

Irregular shape windows not in character with neighborhood.

Transoms are too short for appropriate detailing.



A.5 Doors

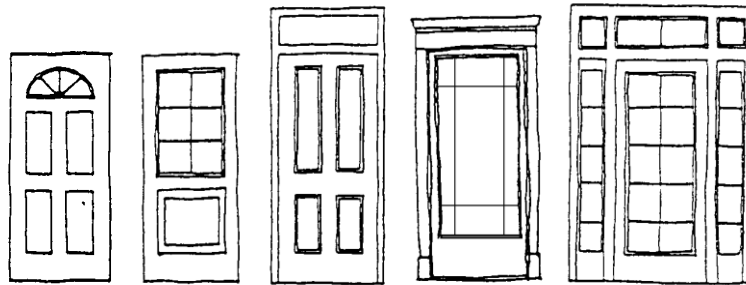
Original doors in the district are wood with a variety of glass and panel designs. Many doors have transoms and sidelights.

It is recommended that new doors be of wood, with a minimum height of 7 feet. The door features might include panels, hoods, trim, and glass transoms and sidelights. Full glass storm doors or those with patterns that complement the front door are appropriate.

Flush doors and doors that are not wood are inappropriate. Very ornate wrought iron storm doors do not conform to the neighborhood.

Some that are appropriate...

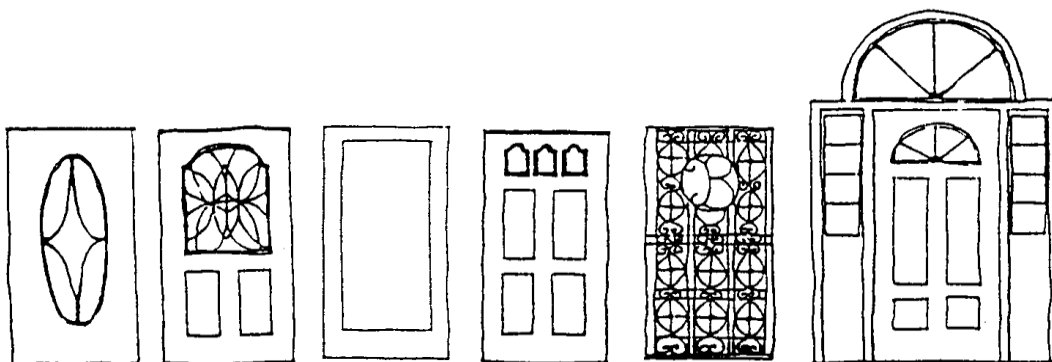
Typical "stock" doors which are compatible to various predominate styles within the district.



Some that are inappropriate...

Typical "stock" doors which do not relate to any predominant style within the district.

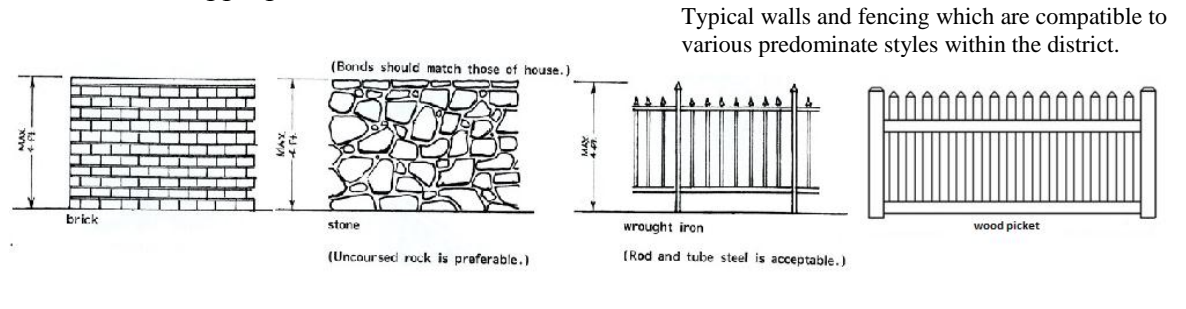
Disproportioned composition of available door elements.



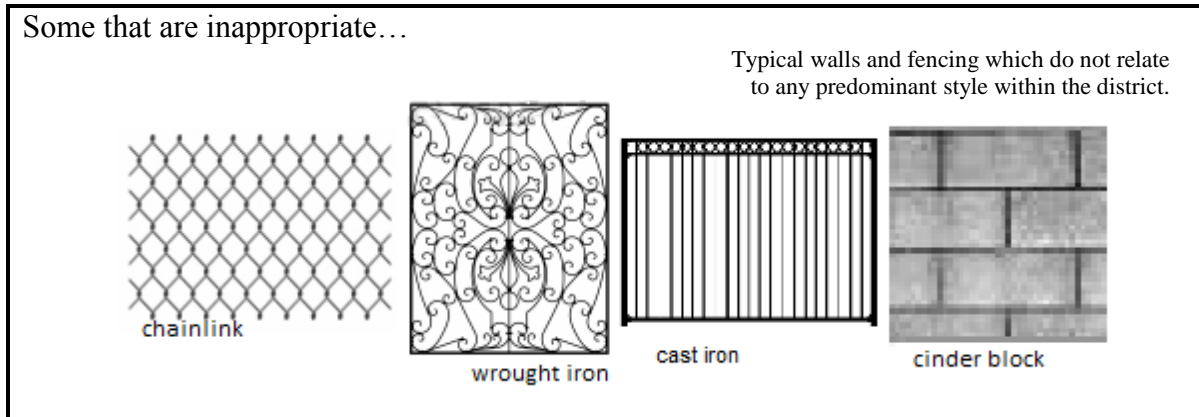
A.6 Fences and Walls

Older neighborhoods traditionally considered streetscapes as a community asset, one that provided open views, vistas and generally evidenced a natural setting. Chain link fencing is prohibited. All new fencing, visible from the street, should be kept within the characteristic of the neighborhood. Fence height should remain at 4ft in the side yard and 6ft in the rear yard.

Some that are appropriate...



Some that are inappropriate...



A.7 Miscellaneous Design Features

Health and Safety Considerations:

Because of the characteristic of the raised foundation of many of the Tree Streets buildings, accessibility for persons with disabilities often requires the introduction of a ramp or lift to the first floor level. When changes to a building are necessary, the property owner must give careful consideration to how the changes can be incorporated without compromising the integrity of the historic building, its character-defining features, or its site. Ramps, lifts and other accessibility features should be integrated into existing buildings to not detract from the historic character of the building or the surrounding neighborhood. Because these features must be given careful consideration to maintain the integrity of the building, a Certificate of Appropriateness is required for the installation of such. This Certificate is for a temporary allowance of such a feature to be installed on a building where needed and shall be removed when no longer in use or a change in ownership occurs.

Mechanical Equipment:

Energy conservation replacement or upgrading of inadequate utility service and introduction or upgrading of mechanical systems are of universal concern of property owners today. When replacing or upgrading energy systems, consideration should be given to placement that is sensitive to the aesthetics and historic character of the structure. Replacement or upgrade to mechanical equipment shall require a Certificate of Appropriateness to ensure that the integrity of the neighborhood shall be maintained.

B. FEATURES TO AVOID

Design features that should be avoided include the following:

- Long and low “Ranch” style houses.
- Slab foundations.
- Houses without porches.
- Garages to the front and driveways that are outside the character of the surrounding neighborhood
- Decorative wrought iron that is outside the character of the surrounding neighborhood.
- The painting of brick, stone, copper, bronze, concrete, or cement block surface that were historically unpainted.

{ DEMOLITION }



DEMOLITION

Definition: The complete or partial tearing down of a building, object, structure or the removal of a building, object, or structure from the District.

GENERAL PRINCIPLES

Since the purpose of historic zoning is to protect historic properties, the demolition of a building, object, or structure which contributes historically or architecturally to the character and significance of the district is inappropriate and should be avoided. Should a proposed demolition be deemed appropriate by the Commission, such demolition should proceed only when an immediate reuse is envisioned for the property. The proposed design of new construction should be submitted to, and reviewed by, the Commission in conjunction with the submission and review of the proposed demolition.

GUIDELINES FOR PROPOSED DEMOLITION

Demolition is appropriate:

1. If a building, object, or structure has lost its architectural and historical integrity and importance and its removal and the proposed new construction will not in the Commission's reasonable discretion result in a more negative, less appropriate visual effect on the District;
2. If a building, object, or structure does not contribute to the historical or architectural character and importance of the District and its removal and the proposed new construction will in the Commission's reasonable discretion result in a more positive, appropriate visual effect on the District;
3. If the Commission determines by the provisions outlined in the Historic/Conservation Ordinance for Economic Hardship for demolition based on financing; or
4. If the demolition is required by a final and nonappealable order or ruling of a court, governmental body or agency having appropriate jurisdiction, and such order or ruling does not allow for the restoration and continued use of the applicable building, object, or structure.

Demolition is inappropriate:

1. If a building, object, or structure is of such architectural or historical interest and value that its removal would be detrimental to the public interest and the goals of historic zoning set forth above in Article I;
2. If the proposed reuse and new construction would diminish or detract from the predominantly single-family residential character of the District;
3. If a building, object, or structure is of such old or unusual or uncommon design and materials that it could not be reproduced without great difficulty and expense; or
4. If its proposed replacement or lack of replacement would in the Commission's reasonable discretion make a less positive visual contribution to the District, would disrupt the character of the District, or would be visually incompatible.

{ RELOCATION }



RELOCATION

Definition: Moving a building into the District or from one site to another within the District. Removal of a building, object, or structure from the District shall be considered and reviewed as a demolition of the building, object, or structure.

GENERAL PRINCIPLES

Moving an existing building which still retains architectural and historical integrity and which contributes to the architectural and historical character of the District should be avoided.

Moving a building which does not contribute to the historical and architectural integrity of the District or which has lost architectural integrity due to deterioration and neglect is appropriate if its removal or the proposal for its replacement will result in a more positive appropriate visual effect on the District.

GUIDELINES FOR RELOCATION

Relocated buildings must be carefully rebuilt to retain and maintain original architectural details and materials.

A building may be moved into the District if it maintains a sense of architectural unity in terms of style, height, scale, massing, materials, quality of construction, texture, and setback with existing buildings along the street.

A building may be moved from one site to another in the District if:

1. the integrity of location and setting of the building in its original location has been lost or is seriously threatened;
2. the new location will be similar in setting and siting;
3. the building will be compatible with the buildings, adjacent to the new location in style, height, scale, materials, and setback; and
4. the relocation of the building will not result in the Commission's reasonable discretion, in a negative visual impact on the site and surrounding buildings from which it will be removed.

{ ENVIRONMENTAL FEATURES }



ENVIRONMENTAL FEATURES

Definition: This section contains recommendations which concern the relationship of significant buildings or groups of buildings to the setting in which they are found. In considering a district, it is particularly important to preserve features of the built environment, such as street or sidewalk paving, gateway structures, landscaping and street lighting or signage; these features are indicative of the age and character of an historic area, and make as important a statement about design as the buildings themselves. Whether considering the entire District or an individual structure, these features which show age and historic character should be preserved.

GENERAL PRINCIPLES

These guidelines shall apply only to areas of lots visible from public rights-of-way.

The distinguishing original qualities or character of a street, site, and its environment shall not be destroyed. For example the removal or alteration of any historic material or distinctive architectural or environmental features should be avoided.

Distinctive stylistic features or examples of skilled craftsmanship which characterize an environment, or site shall be treated with sensitivity.

GUIDELINES FOR CONSERVATION OF ENVIRONMENTAL FEATURES

The landscape in the Tree Streets neighborhood is imprinted by a prevailing grid street pattern. Large mature trees and shrubbery, concrete sidewalks and driveways with houses sited on lots in such a way to give the neighborhood a gracious and orderly feel. Grassy yards are unobscured by fences, though low retaining walls are common on some streets, and hedges along sidewalks are also found. Facades and porches create open and welcoming entrances.

Modest garages are found to the back of the houses, at the end of the driveways. Many lots have garage access from the alleyways, and this siting approach is encouraged in new construction where possible.

Natural contours and the location of sidewalks and walls should be maintained where possible. A new residence must conform to surrounding house setbacks and side yards. A good site plan definitely takes into account the preservation of existing trees.

District

Appropriate:

Retaining distinctive features such as the size, scale, mass, and material of buildings including roofs, porches, doors, windows, and steps that give the District its distinguishing character.

Inappropriate:

Introducing new construction into the District that is incompatible with the character of the District because of size, scale, mass, and materials.

Streets and Paving

Appropriate

Retaining or repairing early or existing streets, walkways and other pavings.

Inappropriate:

Destroying the relationship of buildings and their environment by widening existing streets, changing paving material, or by introducing inappropriately located new streets and parking lots that are incompatible with the character of the District.

Landscape Features

Appropriate:

Retaining landscape features such as parks, gardens, street lights, gateway structures, sidewalks, streets, alleyways, and building set-backs that have traditionally linked buildings to their environment.

Using new plant materials, fencing, sidewalks, and street lights that are compatible with the character of the District in size, scale, and material.

Walkways should be of flagstone or concrete where appropriate and new retaining walls shall not be constructed of railroad timbers or concrete blocks.

If a tree needs to be removed due to damage it is recommended that it be replaced where appropriate to maintain the street canopy look.

Inappropriate;

Introducing street lighting, new plant materials, fencing, sidewalks, and paving materials that are out of scale or inappropriate to the District.

Removing of trees from front yards without replacing them.

Do not conceal the façade of a building with landscaping.

Building Site Features

Appropriate:

Identifying and retaining plants, well-established trees, fencing, walkways, street lights, archaeological features, signs, benches, outbuildings, and other items, that reflect the property's history and development.

Basing decisions for new site work on actual knowledge of the past appearance of the property found in photographs, drawings, newspapers, and tax records. If changes are made, they should be carefully evaluated in light of the past appearance of the site.

Inappropriate:

Making changes to the appearance of the site by removing old plants, trees, fencing, walkways, outbuildings, and other elements before evaluating their importance in the property's history and development.

Leaving plant material and trees in close proximity to the building if the plant material and trees are found to be causing deterioration of historic fabric.

Parking

Appropriate:

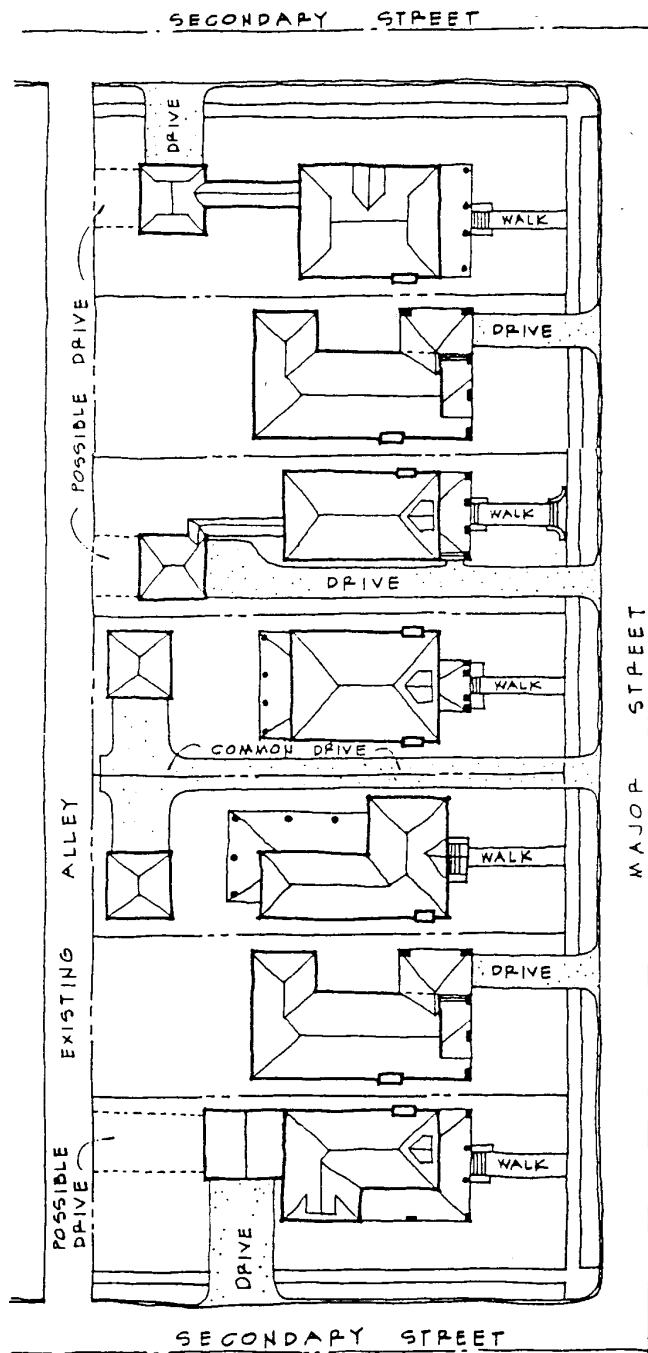
If provided, parking should be done in a manner that does not detract from the historic integrity of the District, street, structure, building, or site. Off-street parking in the rear of the property with access from the alleyway is encouraged.

Screening parking with material and design that are compatible with the character of the District. Screening of parking areas should not be cause for incompatible design of parking area.

Inappropriate:

Removing structures that contribute to the character of the District to provide parking spaces.

Appropriate Site / House Layouts



- ← Front of house oriented toward main street in typical fashion with neighbors. Carport or garage located to rear of property and offset, if possible, from building line.

- ← Concrete sidewalks 4 feet in width and concrete driveways 8-10 feet in width are appropriate.

- ← Carport or garage located behind the house. Access from alley is encouraged when this condition exists.

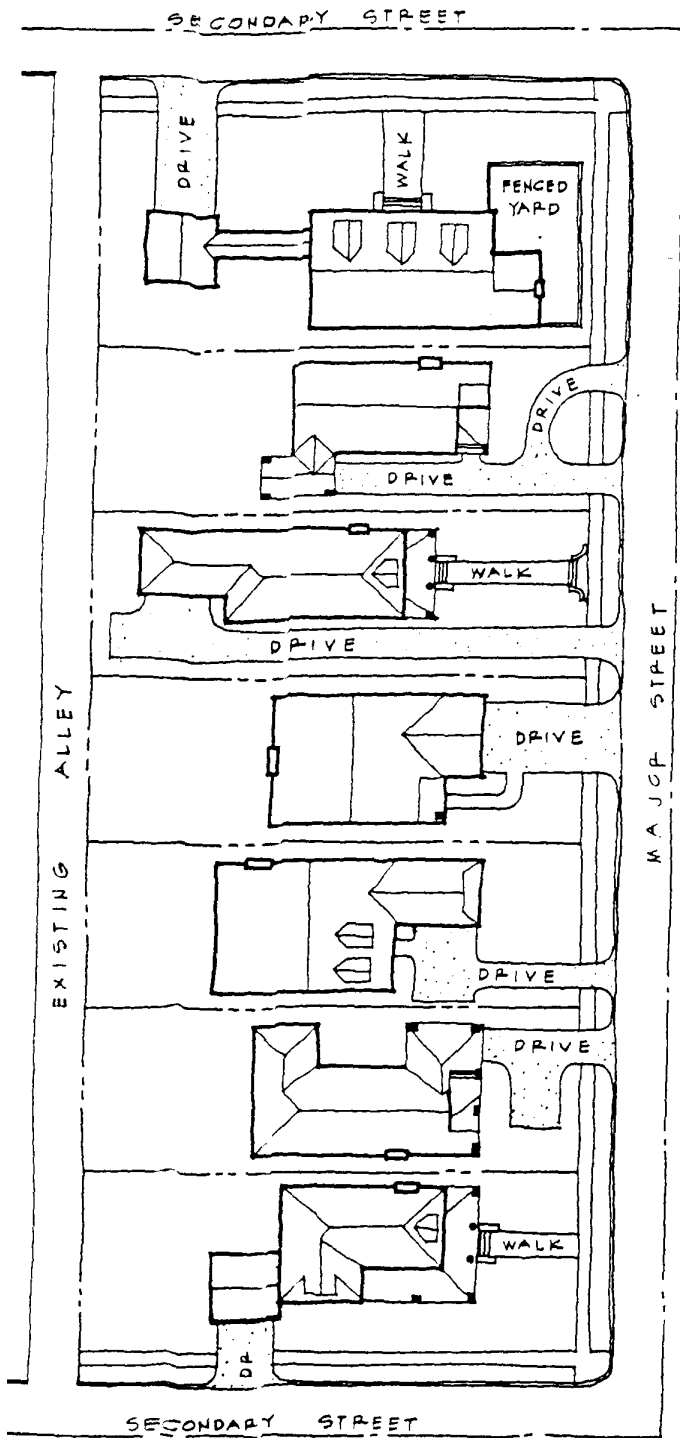
- ← Carport or garage located to rear of property and accessed by a common driveway. Note: A recorded access easement is usually required for this condition.

- ← Open carport which architecturally ties into a covered porte cochere porch is acceptable. This design is typical of the bungalow style.

- ← Covered porch relates to the corner lot while maintaining the consistent street orientation.

- ← Carport or garage is located to the rear and setback from the minimum building line or main street facade.

Inappropriate Site / House Layouts



← Houses not maintaining the orientation and setback toward the major street are inappropriate.

← Circle drive in front yards are inappropriate.

← Houses with greater setbacks than typical street patterns are inappropriate.

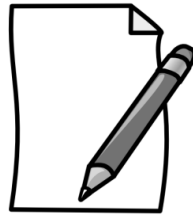
← Front loaded carports or garages located in front of main house are inappropriate.

← Carports or garages located in front of main houses (even if access is to the side) are inappropriate.

← Paved parking pads located in front yards are unacceptable.

← Garages/carports in front of the street elevation of the house is inappropriate.

{ MISCELLANEOUS }



MISCELLANEOUS

Effective Date and Presumption

These Guidelines shall take effect upon the date this District is designated a historic conservation district by the City Commission of the city of Johnson City or as otherwise ordered by the Commission. Upon such date, all property owners owning property within the District and all who shall thereafter become property owners of property within the District, shall be presumed to have knowledge of the provisions of these Guidelines and shall be deemed subject to the provisions of these Guidelines.

Amendment

These Guidelines or the boundaries may be amended from time to time by the property owners of the District, upon:

1. application by any property owner of the District to the Historic Zoning Commission; and
2. notice to all property owners in the District of the proposed amendment(s); and
3. approval of such amendments by the Historic Zoning Commission and any other governmental bodies which are required by applicable law to approve such amendments.

Severability

If any provisions of these Guidelines are determined by a court of law or equity, or other governmental body, having appropriate jurisdiction, to be void or unenforceable, such provision shall be deemed severed from these Guidelines and the remaining provisions shall continue in full force and effect.

Boundaries

The actual boundaries of the District shall be designated as a Historic/ Conservation District (HD) on the Zoning Map.

Additional copies of the Design Guidelines are available from the Johnson City Planning Department, 601 East Main Street, Johnson City, TN.

For information on obtaining a Certificate of Appropriateness and on Historic Conservation District design standards, call the Johnson City Planning Department at 423-434-6071