

**PLANNING COMMISSION**

**APRIL 8, 2019**

**6:30 O'CLOCK P.M.**

**AGENDA**

1. Call to Order at 6:30
2. Minutes of the Previous Meetings – March 11, 2019
3. Public Hearing – Final Plat Thompson Addition
4. Public Hearing – Final Plat – Stone Ridge Second Addition
5. Other
  - a. Reminder Special Work session with HKGi on April 22 at 6:00 at Public Works Building
9. ADJOURN

**MINUTES OF PLANNING COMMISSION MEETING**  
March 11, 2019

Pursuant to due call and notice thereof, a regular Planning Commission meeting was held at City Hall on the 11th day of March, 2019 at 6:30 PM

**THE FOLLOWING MEMBERS WERE PRESENT:** Commissioner Ferris, Commissioner Fitch, Commissioner Tinsley, Commissioner Thompson, Commissioner Zelinske and Commissioner Burton.

**THE FOLLOWING WERE ABSENT:** Torkelson

**THE FOLLOWING WERE ALSO PRESENT:** Administrator Theresa Coleman, City Clerk Rappe, Mike Marti, David Martin, Sonja Thompson, Dustin Tomoson, Trevor Langemo, Tim O'Morro, Alex Malm, Sara and Troy Brown

**CALL TO ORDER AT 6:30**

**MINUTES OF THE PREVIOUS MEETINGS – JANUARY 14, 2019 – Motion to Approve the Minutes made by Commissioner Thompson, second by Commission Burton with All Voting Aye.**

**PUBLIC HEARING – VARIANCE CASEY'S SIGN** – Casey's General Store is asking for a variance of 6'8" to erect their sign. This is much shorter than the Burger King sign.

Public Hearing Opened.

Dustin Tomoson of Ringdahl Architects is in attendance representing Casey's General Store as their architect for the sign.

Public Hearing Closed.

The Planning Commissioners looked at the layout of the lot and where the sign will be and were in agreement that they had no issues with this variance.

**Motion to Approve the Resolution Granting a Variance to Casey's for the Sign made by Commissioner Burton, second by Commissioner Zelinske with All Voting Aye.**

**PUBLIC HEARING – PRELIMINARY PLAT – THOMPSON ADDITION** – Commissioner Thompson recused himself from this portion of the meeting.

Administrator Coleman stated that the side yard setback for the house on lot 13 could be varied to be less than the 6 ½ feet since it is in a PUD. Coleman went over staff comments. The current driveway will go away and the shared drive will replace it. Conditions on the CUP have been incorporated into the preliminary plat. Commissioner Tinsley questioned the width of a 16 foot driveway. Mr. Thompson stated that there are the two required parking spots for the homes in front of their house and if they have guests there would be parking on 16<sup>th</sup> St. NE and there would be no parking on the private drive and it will be part of the association documents. Commissioner Fitch asked if the association documents are complete. Mr. Thompson stated they are in process.

Public Hearing Opened.

Aaron and Sonja Thompson – 504 16<sup>th</sup> St. NE – Mr. Thompson went through the staff planning review. The sidewalk is graded and Thompson asks that it wait to be put in until there is a connection.

Thompson was told that parkland fees were paid by the previous developer. Coleman stated that fees are calculated based on area but the Council and Planning Commission can re-evaluate this since the density is changing since the last development. Thompson asked if the wac and sac fees were paid. Coleman stated that there would be an opportunity for the Planning Commission and Council to re-evaluate these also. Thompson asked if hydrant cost was covered by the city and Commissioner Fitch stated that it is not. The Fire Chief approved the turnaround at the end. Thompson stated that financing

Planning Commission Meeting March 11, 2019

is in place to put in the drive and the first set of townhomes. He would start with two at the south end and work toward the north. Commissioner Burton asked if Thompson will maintain the green space while building is in process.

Trevor Langemo - 1400 2<sup>nd</sup> Ave Cir NE – asked if they have considered traffic in the mornings and afternoon and that this is a lot of extra cars. He also asked if the intention is to sell and not rent. Mr. Thompson stated that the intention is for sale.

Sara/Troy Brown – 1404 2<sup>nd</sup> Ave Cir NE – They want to stay in a residential neighborhood stated this feels like an apartment building in their back yard and concerned about their property value. They are also concerned about safe routes to school. They are concerned with adding traffic and construction noise.

Aaron Thompson – he lives in the house on the corner and they want to keep it as a residential area and with putting one drive instead of 5 and they were improving the traffic flow.

Public Hearing Closed –

Commissioner Zelinske feels that putting in a sidewalk in is a waste of time unless you are going to make everyone along there put them in and he feels this should be part of the safe routes to school and a bike path should be all along the south side of 16<sup>th</sup> St NE.

Commissioner Burton stated that we will need some traffic controls and bike path or trail and how we do it is to be debated yet. Administrator Coleman stated that the City has opportunity to do a demonstration project on the corner of 5<sup>th</sup> Ave and 16<sup>th</sup> St. There will be some distance from that intersection that there will be no parking on 16<sup>th</sup> St NE and 5<sup>th</sup> Ave NE.

Commissioner Tinsley is concerned with width of the drive and it will be hard to enforce the parking on the street.

Commissioner Ferris feels the planning commission really doesn't have anything to do with the fees and that would be a Council decision.

Commissioner Fitch is concerned with sidewalk, and parking on street. Mr. Thompson stated that he is not opposed to putting in a sidewalk he would just like it to go somewhere. Administrator Coleman will have the City Engineer put some numbers together to put sidewalk in to Hwy 57.

Commissioner Burton also stated that the City's comprehensive plan states that people wanted this type of development around the school.

Administrator Coleman will get comments from engineer before final plat.

**Motion to Approve the Preliminary Plat with changes of adding a bituminous bike path on north side, language consistent with comp plan, #2 remove final plat, made by Commissioner Burton, second by Commissioner Fitch with All Voting Aye.**

**PUBLIC HEARING – FINAL PLAT – THOMPSON ADDITION** – removed due to an incomplete application.

**TABLED DECISION FOR THE PRELIMINARY PLAT STONE RIDGE 2<sup>ND</sup>**

The developer has made a formal request to address the Council this Wednesday on storm water. David Martin, Massey Surveying, stated that an agreement is in the process of being prepared for Marti and Schuette and they are pursuing two options. The first option is a larger regional pond down in the existing drawal that is partly on the County property and Schutte's property that is consistent with existing wetlands that cannot be determined until spring. Option B is a pond on Schutte's property for Stone Ridge 1 and 2. Outlot A seems graded appropriately already for a trail and they don't want to have to re-grade it if it is not necessary. **Motion to Recommend to Approve the Preliminary Plat made by Commissioner Thompson, second by Commissioner Burton with All Voting Aye.**

**REVOCATION OF WILKER CONDITIONAL USE PERMIT** – Administrator Coleman stated that there were 8 specific conditions listed Wilker's 2010 CUP. A letter was sent on July 12, 2018 and the

Planning Commission Meeting March 11, 2019

Planning Commission met on August 6, 2018 and no action was taken since it was within the 30 days given in the letter. Mr. Wilker did not come into compliance within that 30 day so on September 10, 2018 there was a public hearing for revocation of the CUP and no action was taken. It was stated that Wilker's attorney and the City Attorney should confer. A letter was sent by Wilker's attorney and discussed with the City Council. Commissioner Burton stated that the City has gone out of their way to provide an opportunity to let Mr. Wilker come into compliance. He has made no effort. Without meeting the conditions of the CUP he is not in compliance. Commissioner Fitch stated that we have exhausted all opportunities to work this out in a civil manner and he has had nine years.

**Motion to Recommend Approval of the Resolution Revoking the Conditional Use Permit for Jason Wilker Landscaping made by Commissioner Burton, second by Commissioner Fitch with All Voting Aye.**

**HOSINGTON-KOEGLER** – HKGI provided an outline and quote. The commission is in agreement with the proposal for \$30,000 and outline would like to move forward with this. The Planning Commission will hold a workshop on April 22, 2019 at 6PM at the Public Works Building Conference Room.

**ADJOURN** 7:58 PM

Respectfully Submitted,

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Linda Rappe, City Clerk

**CITY OF KASSON  
RESOLUTION # 4.x-19**

**RESOLUTION APPROVING THE FINAL PLAT OF  
THOMPSON ADDITION**

**WHEREAS**, Aaron and Sonja Thompson, the owners of the property in question have submitted a request for a Final Plat, and;

**WHEREAS**, at a public hearing duly held on the 8th day of April 2019, the Planning Commission heard testimony of all persons wishing to comment on the proposed Final Plat; and

**WHEREAS**, the appropriate City Staff and consultants have performed a technical review of the proposed Final Plat; and

**WHEREAS**, following the public testimony and report of the technical review, the Planning Commission reviewed all relevant information regarding the proposed Final Plat; and

**WHEREAS**, it is the finding of the Planning Commission that conditions established for the approval of the Final Plat have been addressed; and

**NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF KASSON, MINNESOTA:**

That the said Final Plat of Thompson Addition is hereby approved by the City Council of the City of Kasson with the following conditions:

Maintain 30% Green Space

Resolve Easement Vacations

Association Documents at Final Plat

Private Drive, Private Water, Private Sewer

Provide Sidewalk along 16<sup>th</sup> Street at completion or 2022 SRTS; whichever comes first

Restore Pavement to Current Condition

City Engineer Review Letter Attached

Adopted this 10<sup>th</sup> day of April 2019.

**ATTEST:**

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Linda Rappe, City Clerk

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Chris McKern, Mayor

The motion for the adoption of the foregoing resolution was made by Council Member --and duly seconded by Council Member --. Upon a vote being taken, the following members voted in favor thereof: --, --, --, -- and --. Those against same: --.

2905 South Broadway  
Rochester, MN 55904-5515  
Phone: 507.288.3923  
Fax: 507.288.2675  
Email: rochester@whks.com  
Website: www.whks.com



April 2, 2019

Ms. Theresa Coleman  
City Administrator  
City of Kasson  
401 5th St. SE  
Kasson, MN 55944

RE: Kasson, MN  
Thompson Addition  
**Review of Construction Plans and Final Plat**

Dear Theresa:

We have reviewed the grading, utility and storm water pollution prevention plans and final plat as submitted for the referenced project, as requested. We offer the following comments on the submitted plans in addition to the comments on the attached plans.

1. Development Agreement, Zoning Review and Fee related items are not included in our review.
2. An Engineer's Opinion of Construction Costs and Construction Schedule has not been submitted.
3. The applicant must secure all necessary permits before construction begins including the NPDES construction storm water, Health Department watermain extension, MPCA sanitary sewer extension. The Owner, or their representative, will be responsible for permit compliance.
4. The Owner and Contractor will be required to have a pre-construction meeting with the City for the installation of public infrastructure. Contractor shall coordinate any watermain and sewer disturbances with the City maintenance staff.
5. All proposed private utility roadway crossing conduit locations should be shown on the construction plan or installed before roadway construction.
6. Monuments disturbed/missing shall be set at the end of construction.
7. As-built construction drawings shall be provided.
8. It is recommended that the watermain and sanitary sewer main remain public. All private roadways and utilities should be labeled as private. Association documents should be submitted to address the private roadways and any utilities.
9. A 5-foot wide sidewalk along 16<sup>th</sup> Street N.E will be required per the preliminary plat approval condition.

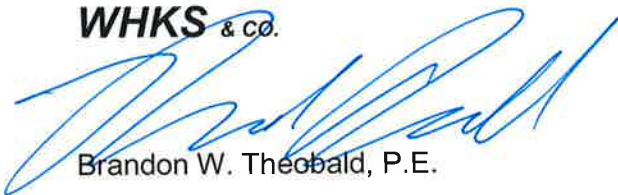
10. The Fire Department should be consulted as to the acceptability of the proposed 16-wide fire lane and turn around as it does not meet fire code.
11. Installation of the watermain under the driving lanes of 16<sup>th</sup> Street NE shall be horizontally directionally drilled.
12. The watermain and sanitary sewer will need to be shifted to provide 10-foot of separation and 10-foot from the property line.
13. Valve Boxes shall have a Power Seal Valve Box Aligner 5000 or an approved equal.
14. The City of Kasson requires the following tracer wire specifications. They should be included in the project specifications.  
<http://www.mrwa.com/PDF/TracerWireSpecGuideFinalweb7.pdf>
15. Existing platted utility easements will need to be vacated.
16. Other comments are provided on the attached plans and plat.

We recommend approval of the plans and final plat conditional upon the above items being addressed and resubmitted.

Please contact us if you have any questions.

Sincerely,

**WHKS & CO.**



Brandon W. Theobald, P.E.

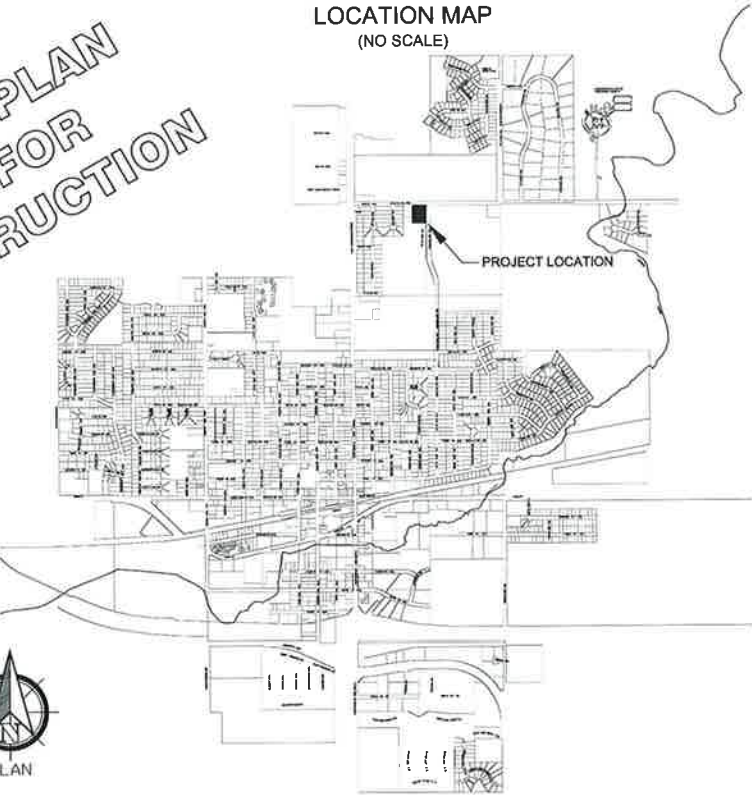
BWT/bwt

Cc: Charlie Bradford, Public Works Director  
Linda Rappe, City Clerk  
Melanie Leth, City Attorney  
Mark Schoenfelder, Ridgeline Group  
Aaron Thompson, Developer

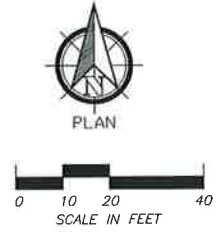


# THOMPSON ADDITION 504 DEVELOPMENT PUD

LOCATION MAP  
(NO SCALE)



REVIEW PLAN  
NOT FOR  
CONSTRUCTION



**EXISTING PROPERTY DESCRIPTION**  
Lots 1, 2, 3 and 4, Block 1, HACKS 2ND ADDITION, according to the plat thereof, on file in the office of the County Recorder, Dodge County, Minnesota.

AND  
The North 152.00 feet of the East 108.00 feet of Lot 2, Block 1, HACKS ADDITION, according to the plat thereof, on file in the office of the County Recorder, Dodge County, Minnesota.

**OWNER AND DEVELOPER**  
504 DEVELOPMENT, LLC  
504 16th Street NE  
Kasson, MN

<b>PROJECT AREAS:</b>	
PROPERTY AREA	68,641 SQ FT (1.58 AC)
TOTAL PROJECT SIZE (DISTURBED AREA)	58,993 SQ FT (1.35 AC)
EXISTING AREA OF IMPERVIOUS SURFACE	6,090 SQ FT (0.12 AC)
NEW IMPERVIOUS AREA CREATED	34,780 SQ FT (0.80 AC)
POST CONSTRUCTION AREA OF IMPERVIOUS SURFACE	39,850 SQ FT (0.91 AC)

**GOVERNING SPECIFICATIONS**  
THE 2016 EDITION OF THE MINNESOTA DEPARTMENT OF TRANSPORTATION "STANDARD SPECIFICATIONS FOR CONSTRUCTION" SHALL GOVERN FOR SITE GRADING AND DRIVEWAY CONSTRUCTION  
THE 2013 EDITION OF THE CITY ENGINEERS ASSOCIATION OF MINNESOTA STANDARD SPECIFICATIONS SHALL GOVERN FOR UTILITY INSTALLATION

INDEX	
SHEET	DESCRIPTION
C1.0	SITE LAYOUT
C2.0	GRADING AND EROSION CONTROL PLAN
C3.0	DRIVEWAY AND UTILITY PLAN
C4.0	STANDARD PLATES / TYPICAL SECTIONS
C5.0	STORM WATER POLLUTION PREVENTION PLAN

**BASIS OF DRAWING FILE:**  
**DATE OF SURVEY:** 08-06-2018  
**COORDINATE SYSTEM:** DODGE COUNTY  
**HORIZONTAL DATUM:** NAD83(2011) REF: VRS  
**VERTICAL DATUM:** NAVD88 REF: VRS  
**ADDITIONAL FILE INFORMATION:**

**BENCHMARK ELEVATION = 1244.38**  
TOP NUT HYDRANT AT SE QUADRANT  
OF 16TH ST SE AND 5TH AVE SE



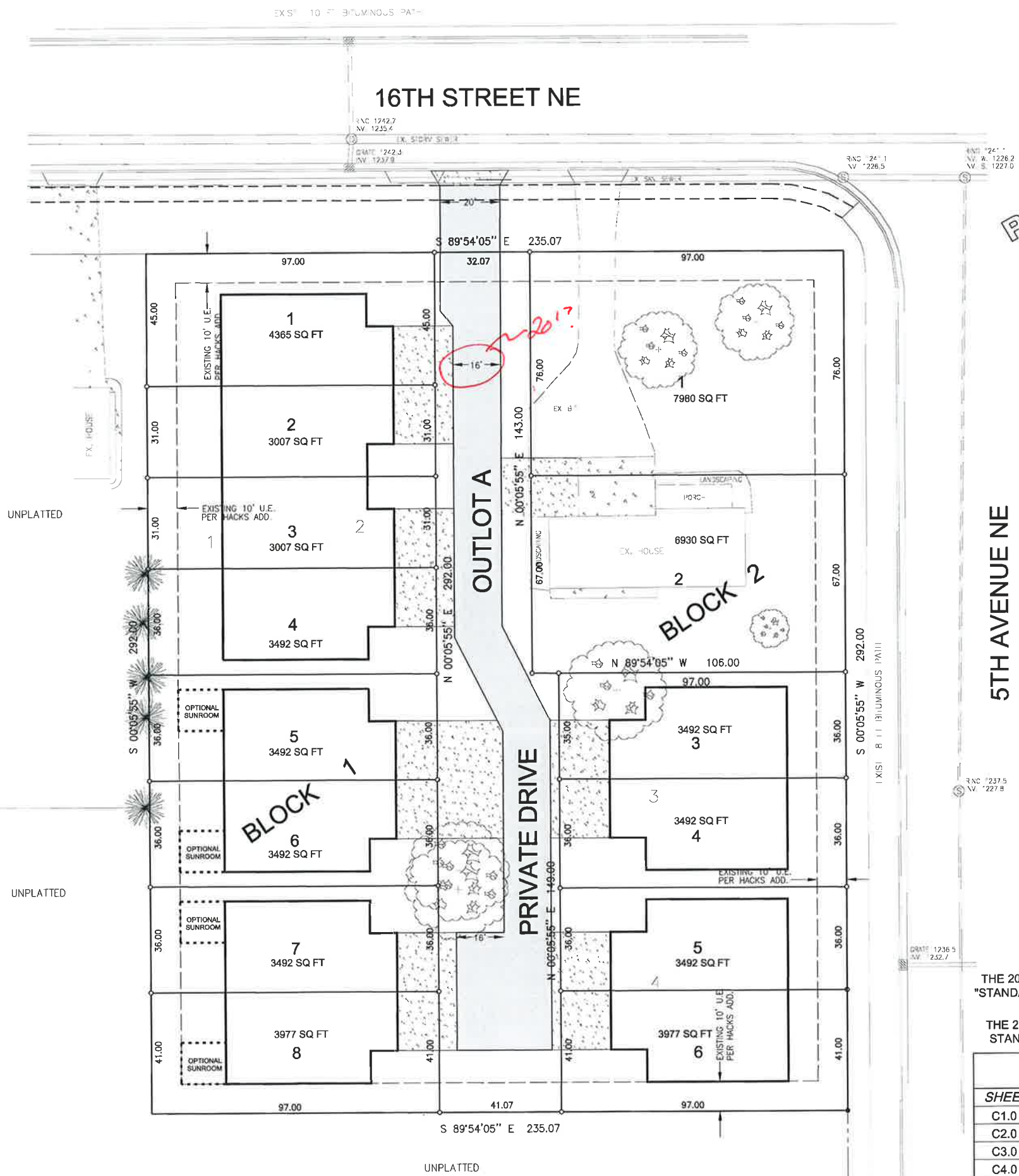
1647 16th Ave. NW  
Rochester, MN 55901  
PHONE (507) 286-7869  
aaron@thedesigndesignconnection.net  
www.thedesigndesignconnection.net

**RIDGELINE**  
G R O U P  
ENGINEERS • PLANNERS • SURVEYORS  
3082 HIGHWAY 59 BLDG  
RED WING, MN 56001  
(507) 754-6951  
THIS DRAWING SPECIFICALLY DESIGNATES AREAS THAT ARE THE PROPERTY OF THE ABOVE LISTED DESIGNER. IT SHALL NOT BE COPIED, REPRODUCED, OR OTHERWISE USED IN CONNECTION WITH ANY OTHER PROJECT OR PROJECT IN WHOLE OR IN PART WITHOUT THE WRITTEN PERMISSION OF THE DESIGNER. SHALL CONTINUE IN FORCE OF THESE RESERVATIONS.  
I HEREBY CERTIFY THAT THIS PLAN SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A duly LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.  
MARK A. SCHNEIDER  
P.E. LICENSE NO. 2018

504 DEVELOPMENT PUD  
SITE LAYOUT  
KASSON  
MINNESOTA

PROJECT #:	19001
DRAWN BY:	MAS
CHECKED BY:	MAS
PRELIM DATE:	01/21/2019
BID SET DATE:	03/23/2019
PERMIT SET DATE:	
REVISION:	
PRINTED:	

SITE LAYOUT  
**C1.0**





# 16TH STREET NE

## GRADING NOTES:

1. AN NPDES CONSTRUCTION STORMWATER PERMIT SHALL BE OBTAINED BY THE OWNER AND CONTRACTOR IF THE DISTURBED AREA EXCEEDS 1 ACRE. A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) SHALL BE PREPARED IN ACCORDANCE WITH THE NPDES CONSTRUCTION STORMWATER PERMIT.
2. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO ENSURE THAT SEDIMENT DOES NOT LEAVE THIS SITE. IT IS RECOMMENDED (NOT REQUIRED) THAT THE CONTRACTOR INSTALL A STABILIZED VEHICLE EXIT TO KEEP SEDIMENT TRACKING TO A MINIMUM.
3. ALL PROPOSED ELEVATIONS ARE TOP OF PAVING OR FINISHED GRADE, UNLESS NOTED OTHERWISE. PROPOSED ELEVATIONS ARE INTENDED TO PROVIDE POSITIVE DRAINAGE TOWARDS CATCH BASINS AND/OR OUTLETS. THE CONTRACTOR SHALL BE RESPONSIBLE TO PROVIDE THE REQUIRED ELEVATIONS, WHICH WILL PROMOTE POSITIVE DRAINAGE THROUGHOUT THE PROJECT SITE.
4. SPOT ELEVATIONS ARE FLOW LINE AND/OR FINISHED GRADES, UNLESS OTHERWISE INDICATED BY THE LOCATION OF THE SPOT. ADD 6" TO FLOW LINE ELEVATIONS TO OBTAIN THE TOP OF CURB ELEVATIONS, UNLESS NOTED OTHERWISE.
5. THE OWNER IS AWARE THAT SOME GRADES ON THE SITE ARE LESS THAN 2.00%. LOCALIZED PONDING MAY OCCUR AND THEY ACCEPT ALL IMPACT.
6. EROSION AND SEDIMENT CONTROL BEST MANAGEMENT PRACTICES (BMP) SHALL BE INSTALLED BEFORE LAND DISTURBING OPERATIONS BEGIN AND SHALL REMAIN IN PLACE UNTIL FINAL STABILIZATION HAS BEEN ESTABLISHED.
7. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION AND ELEVATION OF ALL UTILITIES PRIOR TO THE BEGINNING OF CONSTRUCTION.
8. THE CONTRACTOR SHALL NOTIFY ALL APPROPRIATE ENGINEERING DEPARTMENTS AND UTILITY COMPANIES 72 HOURS PRIOR TO CONSTRUCTION. ALL NECESSARY PRECAUTIONS SHALL BE TAKEN TO AVOID DAMAGE TO EXISTING UTILITIES.
9. THE SITE HAS NOT NECESSARILY BEEN DESIGNED TO BALANCE THE ON-SITE MATERIALS. THE CONTRACTOR IS RESPONSIBLE FOR DETERMINING THE EARTHWORK QUANTITY ON THIS SITE. EXCESS MATERIAL, IF ANY SHALL BE DISPOSED OF OFF-SITE. THE CONTRACTOR SHALL IMPORT SUITABLE MATERIAL AS NEEDED.
10. CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED ELEVATIONS PRIOR TO START OF CONSTRUCTION. VERIFY CRITICAL ELEVATIONS TO ENSURE CONFORMANCE WITH GRADING PLAN, PARTICULARLY WITH WALK AND/OR PAVEMENTS TO REMAIN. MEET EXISTING GRADES ALONG STREETS, PROPERTY LINES AND DRIVEWAY ENTRANCES. RESTORE ALL EXISTING PAVEMENTS TO THEIR ORIGINAL, IF NOT BETTER CONDITION. NOTIFY OWNER OF ANY CONFLICTS.

## EROSION PREVENTION:

Construction of silt fence and all other erosion control measures shall be complete before other construction activity occurs.

Use phased construction whenever practical and establish turf as soon as possible to minimize sediment transport.

The contractor shall inspect the construction site once every seven days and within 24 hours after rain events for damage to erosion control devices. If damaged or ineffective erosion control devices are discovered, they shall be repaired or replaced. The contractor shall maintain inspection records, which include date and time of inspections, dates of rainfall events, rainfall amount, findings of inspections, corrective actions taken (including dates and times), and documentation of any changes to the temporary or permanent erosion control plans made during construction.

Temporary stockpiles require additional sediment control and temporary cover after 7 days.

Turf establishment or temporary seeding of all exposed soil not being actively worked shall be practiced using the following:

Type of Slope or Disturbance Area	Time Area Can Remain Open Without Being Actively Worked	
	Normal Water	Special/Impaired Water
Steeper than 3:1	14 Days	7 Days
10:1 to 3:1	14 Days	7 Days
Flatter than 10:1	14 Days	7 Days
Ditches	14 Days	7 Days
Pipe Ends	1 Day	1 Day
Within 200 feet of Surface Water	1 Day	1 Day

All exposed soils shall be seeded or sodded at the earliest possible time to prevent/reduce erosion.

- A. Seed shall be Mn/DOT mixture 260 and shall be placed in accordance with Mn/DOT 2575. Seed shall meet Mn/DOT Specification 3876. Seed shall be applied at a rate of 100 lbs/acre. Mulch shall be Mn/DOT Type 1 mulch. Mulch shall be applied at a rate of 2.0 tons/acre. Mulch shall be disc anchored. Fertilizer shall be applied to seeded areas as incidental to seeding. Fertilizer shall be a 22-5-10 (%N-P-K) applied at a rate of 300 lbs/acre.

- B. Sod shall meet Mn/DOT Specification 3878.2A, Type Lawn and Boulevard Sod. Sodding shall be in accordance with Mn/DOT 2575.

Additional erosion prevention measures may be found in the permit and MPCA's Best Management Practices.

## CONSTRUCTION SEQUENCE (AS APPLICABLE):

1. Install Erosion Control Measures
2. Install Storm Sewer
3. Install Structures
4. Install Pavements
5. Install Lawn/Landscape
6. Flush Storm Sewer
7. Remove Erosion Control Measures only after all pavements have been installed and all soils have been stabilized.

**BENCHMARK ELEVATION = 1244.38**  
TOP NUT HYDRANT AT SE QUADRANT  
OF 16TH ST SE AND 5TH AVE SE

LEGEND	
—1245—	DENOTES PROPOSED CONTOUR ANNOTATION
x 46.84	DENOTES PROPOSED SPOT ELEVATION
---	DENOTES DRAINAGE DIRECTION
—SF—	DENOTES SILT FENCE OR BIOROLL
⊙	DENOTES INLET PROTECTION
▨	DENOTES PROPOSED EROSION MAT

5TH AVENUE NE



0 10 20 40  
SCALE IN FEET

REVIEW PLAN  
NOT FOR  
CONSTRUCTION



## EXISTING UTILITY NOTES

THE LOCATION OF UNDERGROUND AND OVERHEAD FACILITIES OR STRUCTURES AS SHOWN ON THE PLANS ARE BASED ON AVAILABLE RECORDS AT THE TIME THE PLANS WERE PREPARED AND ARE NOT GUARANTEED TO BE COMPLETE OR CORRECT. THERE MAY BE ADDITIONAL UNDERGROUND AND OVERHEAD UTILITIES NOT SHOWN ON THE PLAN THAT MAY BE REQUIRE RELOCATION OR REMOVAL. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REQUEST A GOPHER STATE ONE CALL PRIOR TO THE START OF ANY CONSTRUCTION TO DETERMINE THE EXACT LOCATION OF ALL FACILITIES AND TO PROVIDE ADEQUATE PROTECTION OF SAID UTILITIES DURING THE COURSE OF WORK.

504 DEVELOPMENT PUD  
GRADING AND EROSION CONTROL PLAN  
MINNESOTA  
KASSON

PROJECT #: 19001  
DRAWN BY: MAS  
CHECKED BY: MAS  
PRELIM DATE: 01/21/2019  
BID SET DATE: 03/22/2019  
PERMIT SET DATE:  
REVISION:  
PRINTED:

GRADING AND  
EROSION CONTROL  
**C2.0**

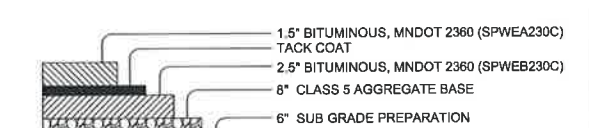
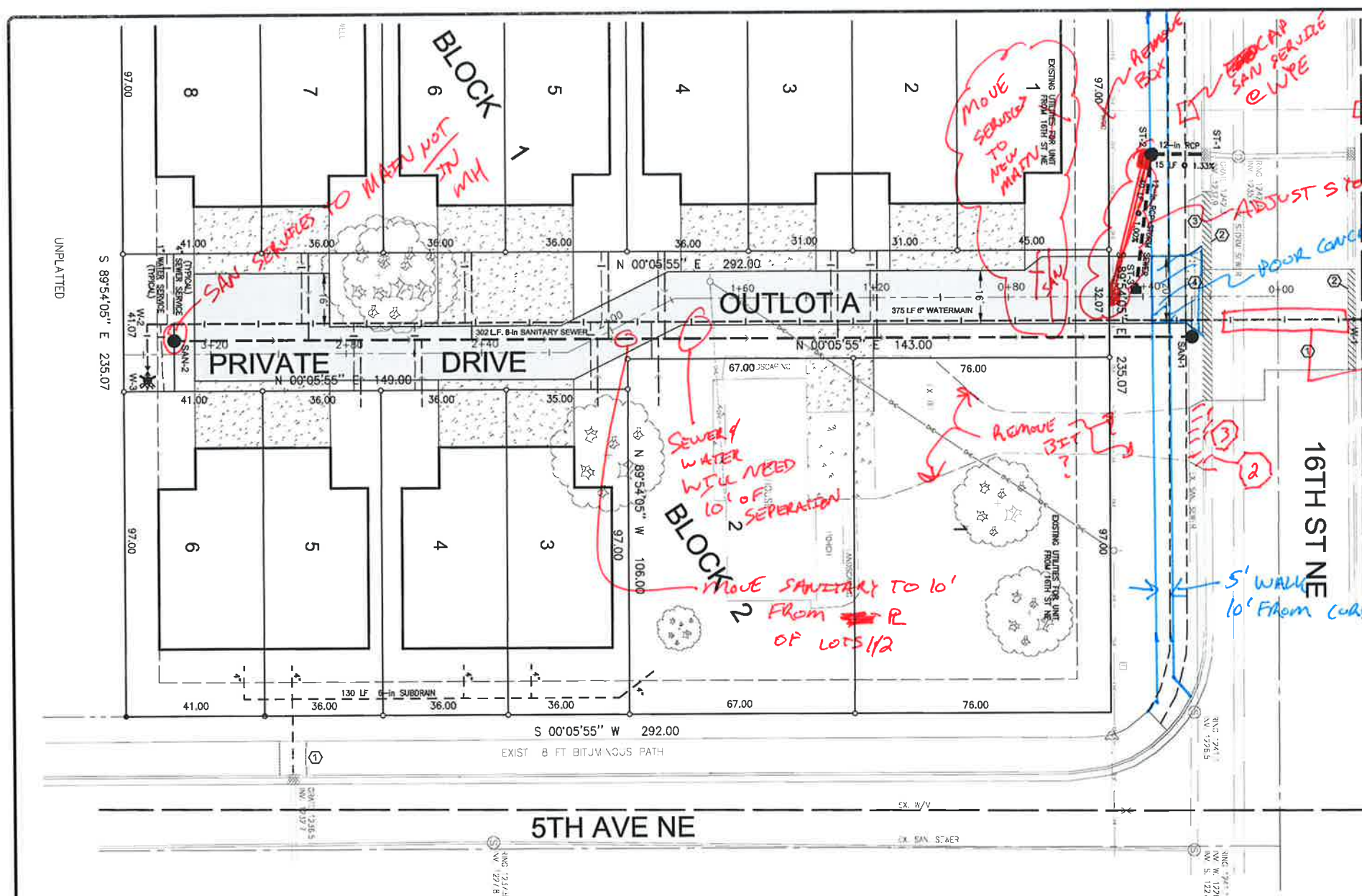
**the design connection**  
Residential and Commercial  
Design • Planning  
Serving Rochester and  
Southern Minnesota  
1647 16th Ave. NW  
Rochester, MN 55901  
PHONE (507) 286-7969  
aaron@thedesigndesignconnection.net  
www.thedesigndesignconnection.net

**RIDGELINE GROUP**  
ENGINEER | PLANNER | SURVEYOR  
3002 HIGHWAY 218, RD  
PO BOX 1000  
ROCHESTER, MN 55901  
THIS OFFICIAL SPECIFICATION DESIGN & CONSTRUCTION PLAN IS THE PROPERTY OF THE RIDGELINE GROUP. IT SHALL NOT BE COPIED, REPRODUCED, OR OTHERWISE USED IN CONNECTION WITH ANY OTHER PROJECT WITHOUT THE WRITTEN PERMISSION OF THE RIDGELINE GROUP. ANY VIOLATION OF THIS AGREEMENT SHALL CONSTITUTE A BREACH OF THE CONTRACT.

MARK A. SCHNEIDER  
DATE: 04/02/2019 10:11 AM

NOTE:  
SILT FENCE SHOWN OFFSET FROM PROPERTY LINE FOR CLARITY.  
NO WORK SHALL TAKE PLACE OUTSIDE OF PROPERTY BOUNDARIES  
EXCEPT WITHIN THE STREET RIGHT-OF-WAY.





BENCHMARK ELEVATION = 1244.38  
TOP NUT HYDRANT AT SE QUADRANT  
OF 16TH ST SE AND 5TH AVE SE

#### KEY NOTES:

- SAWCUT/REMOVE AND REPLACE BITUMINOUS PAVEMENT MATCH EXISTING SECTION
- REMOVE AND REPLACE CONCRETE CURB AND CUTTER
- REMOVE DRIVE APRON
- CONCRETE DRIVE APRON

- ST-1**  
CONNECT TO EXIST CB  
INV = 1238.00
- ST-2**  
PRIVATE STORM SEWER  
CONSTRUCT MH-CB TYPE 4 (48")  
NEENAH R-2533 TYPE B  
RIM = 1242.30  
INV = 1238.20
- ST-3**  
PRIVATE STORM SEWER  
CONSTRUCT CB TYPE 3  
NEENAH R-3347-A TYPE C  
RIM = 1242.30  
INV = 1238.60

- SAN-1**  
CONSTRUCT SANITARY MH TYPE 3A  
OVER EXISTING 12" SAN SEWER  
E INV = 1227.25 (FIELD VERIFY)  
W INV = 1227.35  
S INV (LOWER) = 1228.00  
S INV (UPPER) = 1233.20  
RIM = 1242.9  
CONTRACTOR SHALL PROVIDE ADVANCE NOTICE TO THE CITY REGARDING THE TIME AND DATE THAT THE CITY NEEDS TO BE AVAILABLE TO MAKE THE CONNECTION. CONTACT # 507-XXX-XXXX
- SAN-2**  
CONSTRUCT SANITARY MH TYPE 3  
RIM = 1248.4  
INV IN = 1235.10 (SERVICES)  
INV OUT = 1235.00

- W-1**  
WET TAP EXIST WATERMAIN  
F&I 6" GV AND BOX  
VERIFY LOCATION WILL NOT BE IN CURB LINE
- W-2**  
F&I 6" 90" BEND
- W-3**  
F&I HYDRANT  
F&I 6" GV AND BOX  
BREAKOFF ELEV = 1245.7

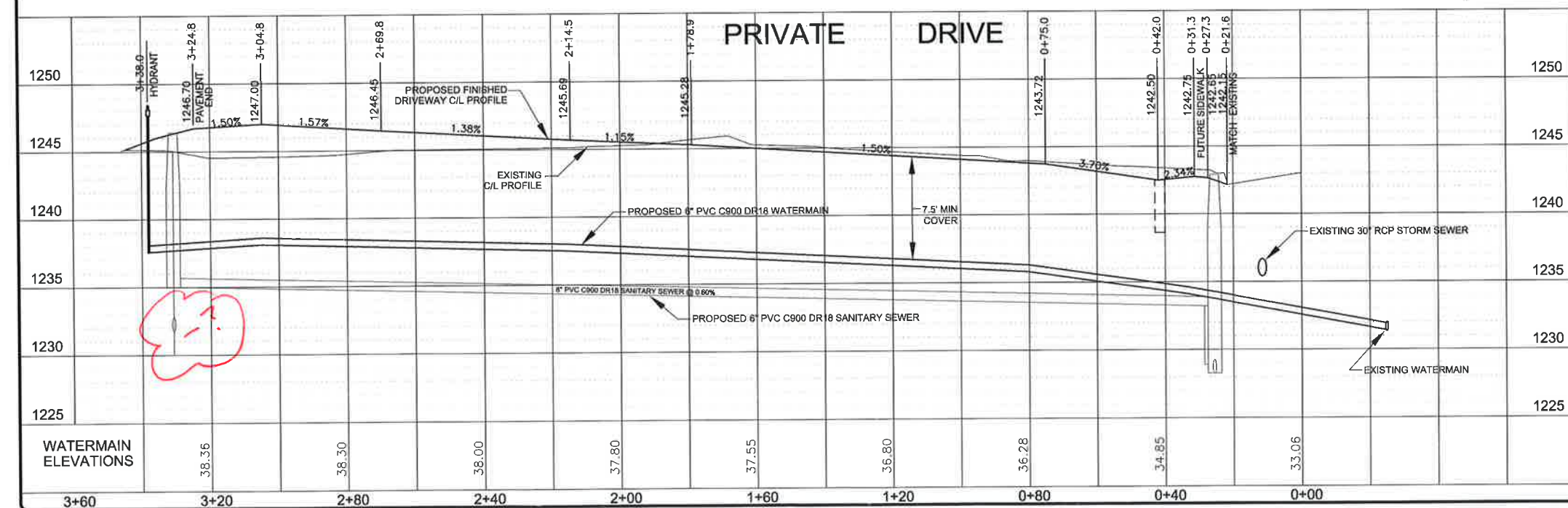
MAINTAIN MINIMUM 1.5' VERTICAL SEPARATION BETWEEN SEWER (SANITARY AND STORM) AND WATERMAIN

WATER MAIN AND SANITARY SEWER SERVICE CHART									
LOT	BLOCK	CURB STOP STATION	CURB STOP ELEVATION	DIST. FROM MH TO WYE	END SAN. SERV. ELEV.	FLOW LINE WYE	LENGTH OF SAN. SERVICE	% GRADE	SAN. SERVICE
1	1	EXISTING SERVICE	FROM 16TH ST NE						
1	2	EXISTING SERVICE	FROM 16TH ST NE						
2	1	1+21 RT	1244.7	93.0	1234.28	1233.76	26.0	2.00%	
3	1	1+32.5 RT	1245.1	105.0	1234.35	1233.63	26.0	2.00%	
4	1	1+80.0 RT	1245.7	156.5	1234.88	1234.14	28.0	2.00%	
2	2	1+93.0 LT	1245.7	168.5	1234.55	1234.15	28.0	2.00%	
5	1	1+93.0 RT	1246.6	173.0	1234.77	1234.25	28.0	2.00%	
3	2	2+13.0 RT	1245.9	178.0	1234.86	1234.26	20.0	2.00%	
6	1	2+45.0 RT	1247.2	213.0	1235.00	1234.48	26.0	2.00%	
4	2	2+60.0 LT	1246.8	228.0	1234.97	1234.57	20.0	2.00%	
5	2	2+78.0 LT	1246.8	246.0	1235.08	1234.68	20.0	2.00%	
7	1	2+93.0 RT	1245.1	261.0	1235.29	1234.77	26.0	2.00%	
8	1	3+33.0 RT	1247.0	---	1235.62	---	26.0	2.00%	
6	2	3+34.0 LT	1246.1	---	1235.40	---	15.0	2.00%	



#### EXISTING UTILITY NOTES

THE LOCATION OF UNDERGROUND AND OVERHEAD FACILITIES OR STRUCTURES AS SHOWN ON THE PLANS ARE BASED ON AVAILABLE RECORDS AT THE TIME THE PLANS WERE PREPARED AND ARE NOT GUARANTEED TO BE COMPLETE OR CORRECT. THERE MAY BE ADDITIONAL UNDERGROUND AND OVERHEAD UTILITIES NOT SHOWN ON THE PLAN THAT MAY BE REQUIRE RELOCATION OR REMOVAL. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO REQUEST A GOPHER STATE ONE CALL PRIOR TO THE START OF ANY CONSTRUCTION TO DETERMINE THE EXACT LOCATION OF ALL FACILITIES AND TO PROVIDE ADEQUATE PROTECTION OF SAID UTILITIES DURING THE COURSE OF WORK.



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Rochester, MN 55901  
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info@thedesigndesignconnection.net  
www.thedesigndesignconnection.net

**RIDGELINE GROUP**  
ENGINEERS & PLANNERS & SURVEYORS  
3000 HIGHWAY 56 S.W.  
RED WING, MN 56001  
(507) 751-8001

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I HEREBY CERTIFY THAT THIS PLAN SPECIFICATION OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A STATE LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

MARK A. SCHROEDER  
M.E. 0000000000  
MAY 2019

**504 DEVELOPMENT PUD**  
DRIVEWAY AND UTILITY PLAN

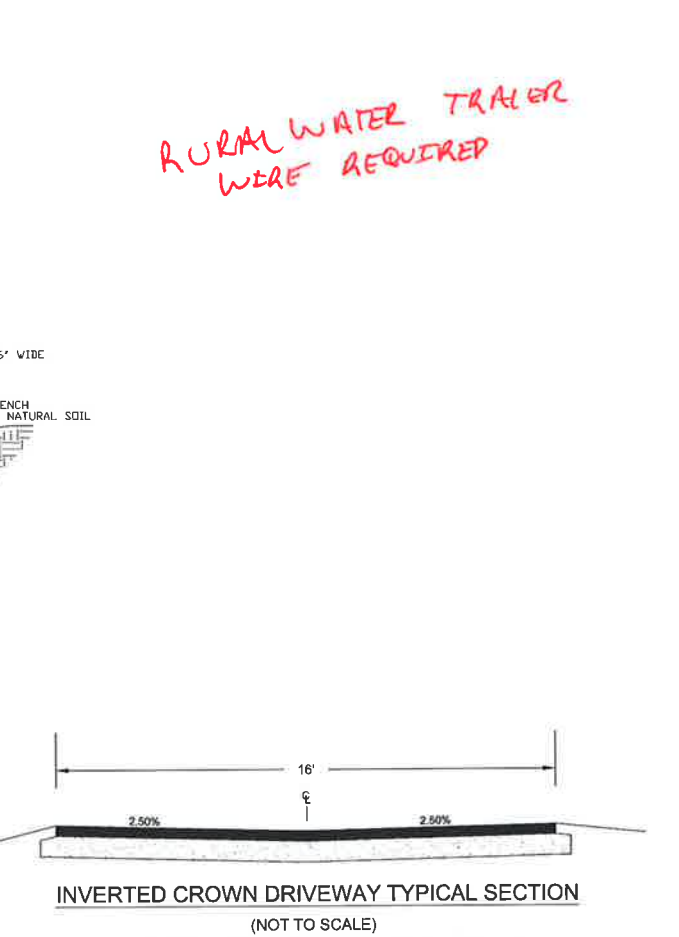
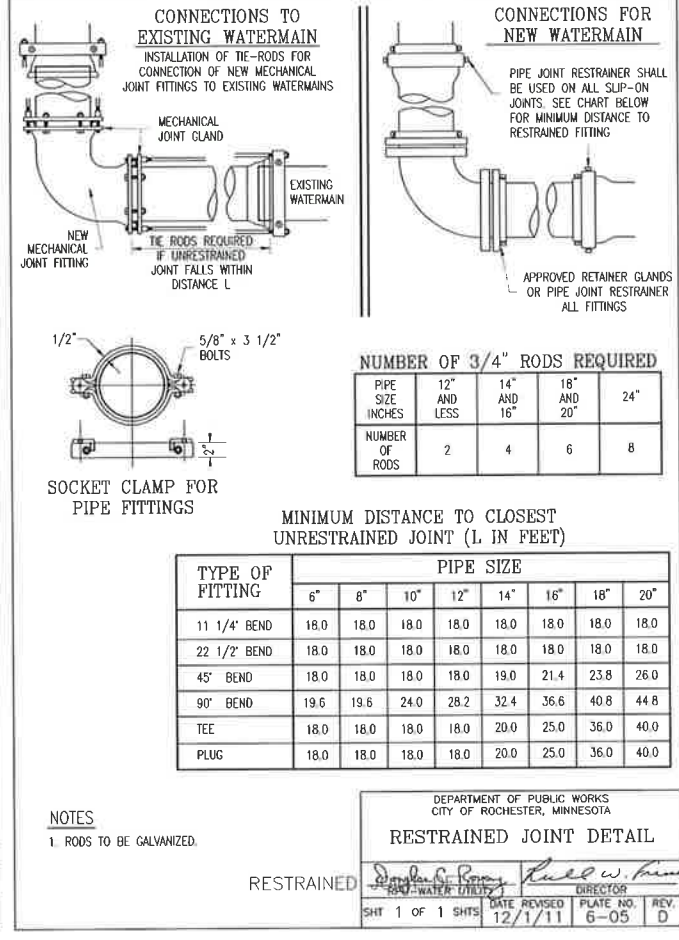
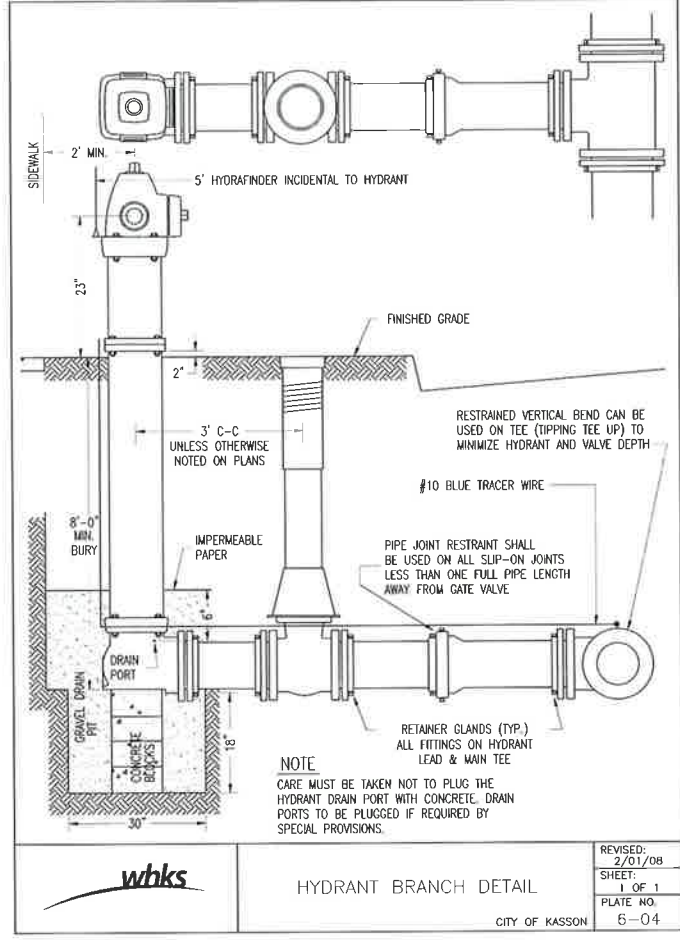
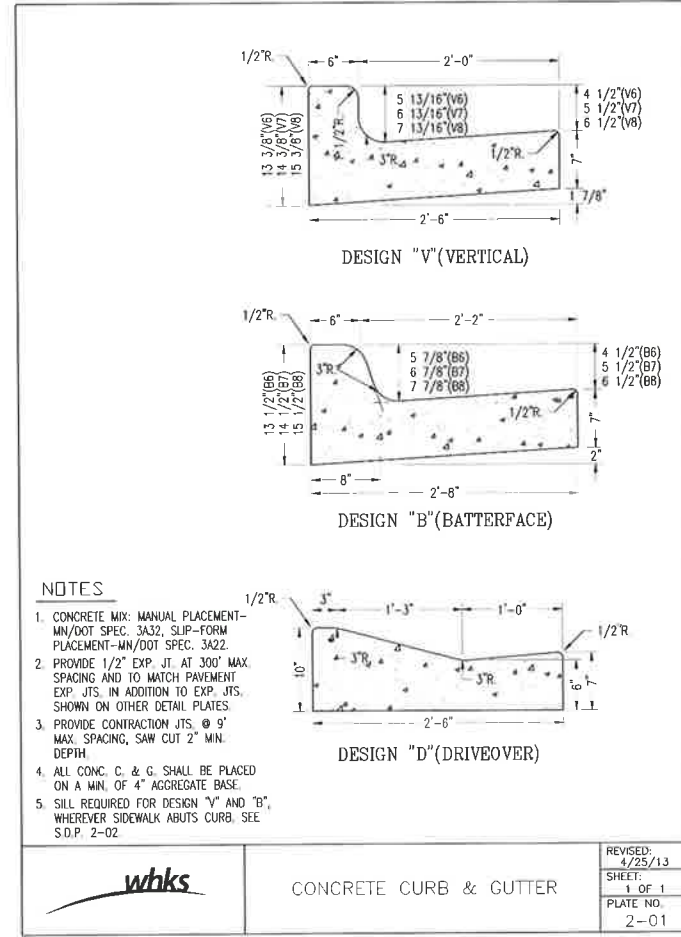
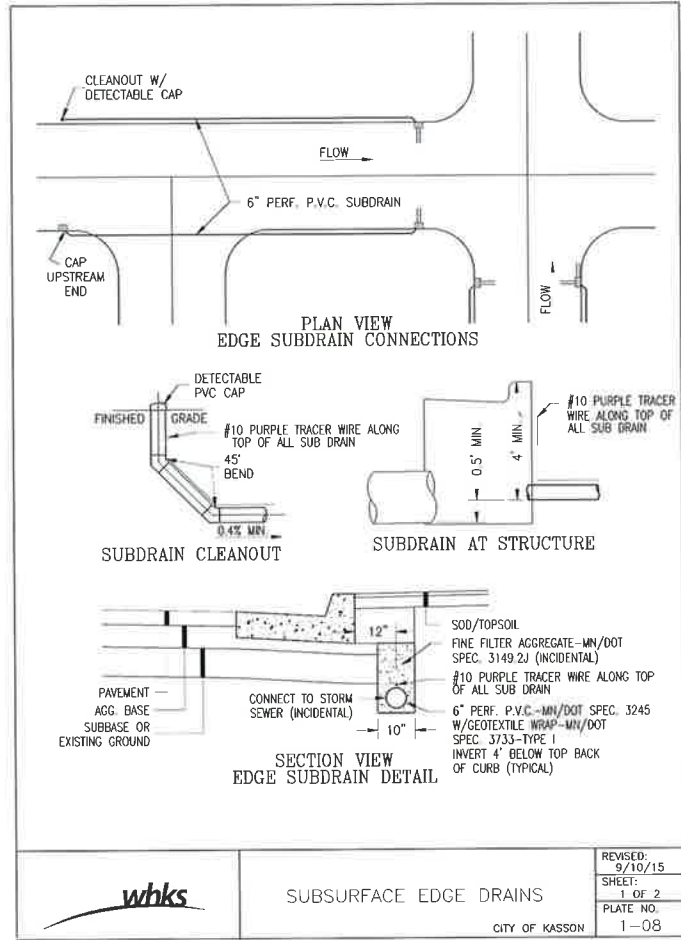
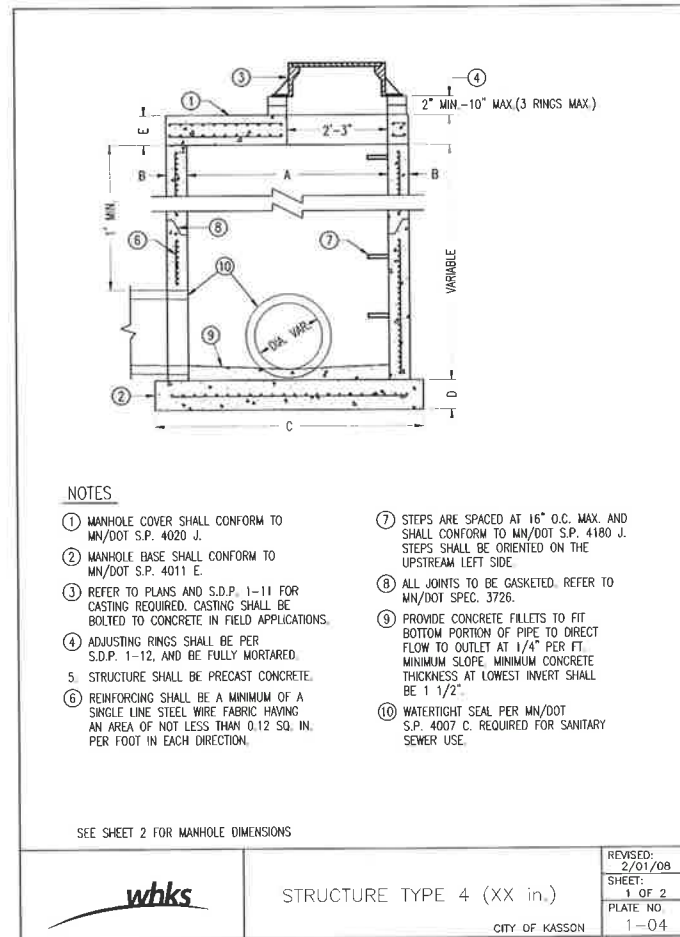
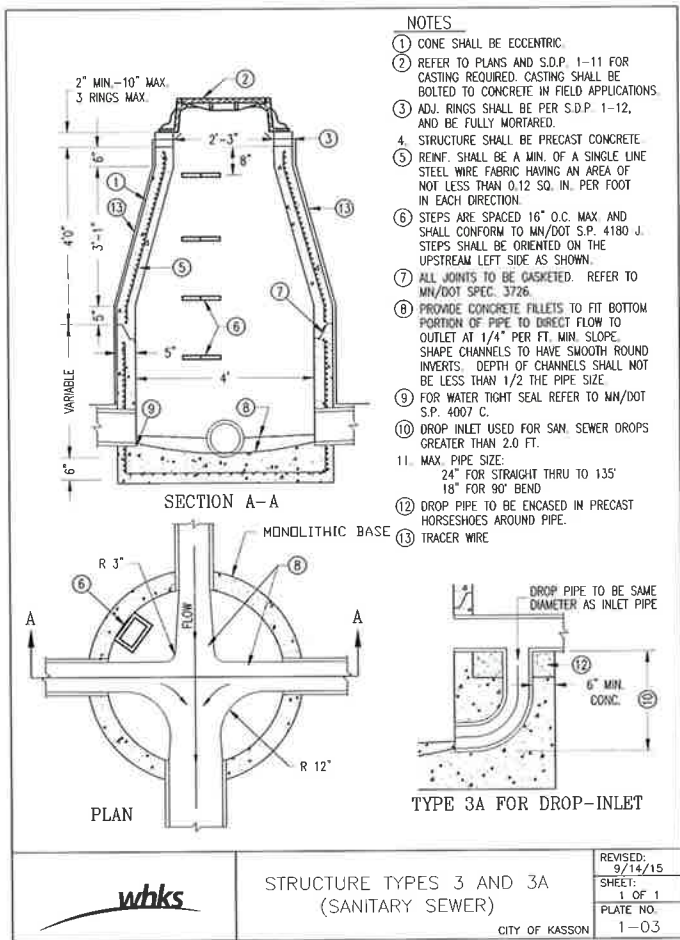
MINNESOTA

KASSON

PROJECT #: 19001  
DRAWN BY: MAS  
CHECKED BY: MAS  
PRELIM DATE: 01/21/2019  
BID SET DATE: 03/23/2019  
REVISION:  
PRINTED:

DRIVEWAY & UTILITY PLAN  
**C3.0**





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1647 16th Ave. NW  
Rochester, MN 55901  
PHONE (507) 286-7869  
aaron@thedesigndesignconnection.net  
www.thedesigndesignconnection.net

**RIDGELINE GROUP**  
ENGINEERS • PLANNERS • SURVEYORS  
3082 HIGHWAY 16 S.W.  
PO BOX 100, MINNAPOLIS, MN 55408  
(612) 784-8021

**504 DEVELOPMENT PUD**  
DETAILS  
MINNESOTA  
KASSON

PROJECT # 19001  
DRAWN BY: MAS  
CHECKED BY: MAS  
PRELIM DATE:  
BID SET DATE: 03/22/2019  
REVISION:  
PRINTED:

**C4.0**







**RIDGELINE**  
G R O U P  
ENGINEERS | PLANNERS | SURVEYORS  
3100 HIGHWAY 88 S.W.  
RED WING, MN 55068  
(612) 754-8821



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**RIDGELINE**  
G R O U P  
ENGINEERS | PLANNERS | SURVEYORS  
30092 HIGHWAY 58 BLVD  
RED WING, MN 55066  
(651) 784-9521

**CITY OF KASSON  
RESOLUTION # 4.x-19**

**RESOLUTION APPROVING THE FINAL PLAT OF  
STONE RIDGE SECOND ADDITION**

**WHEREAS**, Michael Marti, the owner of the property in question have submitted a request for a Final Plat, and;

**WHEREAS**, at a public hearing duly held on the 8th day of April 2019, the Planning Commission heard testimony of all persons wishing to comment on the proposed Final Plat; and

**WHEREAS**, the appropriate City Staff and consultants have performed a technical review of the proposed Final Plat; and

**WHEREAS**, following the public testimony and report of the technical review, the Planning Commission reviewed all relevant information regarding the proposed Final Plat; and

**WHEREAS**, it is the finding of the Planning Commission that conditions established for the approval of the Final Plat have been addressed; and

**NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF KASSON, MINNESOTA:**

That the said Final Plat of Stone Ridge Second Addition is hereby approved by the City Council of the City of Kasson with the following conditions:

Provide 20' Water Main Easement  
Grade the Existing Trail Easement  
Address Storm Water Management at Final Plat  
Execute Development Agreement (to include storm pond agreement from Schuette, storm pond easement, no building permits issued prior to storm pond construction)  
Water and Sewer Access Charges at Final Plat  
Parkland Fees at Final Plat  
Community Mailbox to be located on 6<sup>th</sup> or 7<sup>th</sup> Ave NW  
City Engineer Review Letter Attached

Adopted this 10<sup>th</sup> day of April 2019.

**ATTEST:**

---

Linda Rappe, City Clerk

---

Chris McKern, Mayor

The motion for the adoption of the foregoing resolution was made by Council Member -- and duly seconded by Council Member ---. Upon a vote being taken, the following members voted in favor thereof: ---. Those against same: --.



2905 South Broadway  
Rochester, MN 55904-5515  
Phone: 507.288.3923  
Fax: 507.288.2675  
Email: rochester@whks.com  
Website: www.whks.com



April 2, 2019

Ms. Theresa Coleman  
City Administrator  
City of Kasson  
401 5th St. SE  
Kasson, MN 55944

RE: Kasson, MN  
Stone Ridge Second  
**Review of Construction Plans, Drainage Study and Final Plat**

Dear Theresa:

We have reviewed the grading, utility and storm water pollution prevention plans, drainage study and final plat as submitted for the referenced project, as requested. We offer the following comments on the submitted plans in addition to the comments on the attached plans.

1. Development Agreement, Zoning Review and Fee related items are not included in our review.
2. An Engineer's Opinion of Construction Costs and Construction Schedule has been submitted.
3. The applicant must secure all necessary permits before construction begins including the NPDES construction storm water, Health Department watermain extension, MPCA sanitary sewer extension, Dodge County right-of-way. The Owner, or their representative, will be responsible for permit compliance.
4. The Owner and Contractor will be required to have a pre-construction meeting with the City for the installation of public infrastructure. Contractor shall coordinate any watermain and sewer disturbances with the City maintenance staff.
5. A regional storm water management pond is planned to serve the area. The regional storm water management pond will serve future developments. Details of the regional pond will need to be addressed with the developer. The pond should be cleaned out by the Developer after homes are constructed prior to the City taking ownership of the pond. These provisions should be included in the development agreement.
6. All proposed private utility roadway crossing conduit locations should be shown on the construction plan or installed before roadway construction.
7. Monuments disturbed/missing shall be set at the end of construction.
8. As-built construction drawings shall be provided.
9. The bituminous paving wear course shall be paved after one construction season.

10. It is recommended that the City require the Developer to perform testing and observation of all engineered fill outside the right-of-way. The Developer should be required to submit test results and observation records to the City upon completion. This information is provided to the City for informational purposes only and is not reviewed by the City.
11. The contract specifications should reference the current City Engineers Association of Minnesota (CEAM) Standard Specifications.
12. Valve Boxes shall have a Power Seal Valve Box Aligner 5000 or an approved equal.
13. The City of Kasson requires the following tracer wire specifications. They should be included in the project specifications.  
<http://www.mrwa.com/PDF/TracerWireSpecGuideFinalweb7.pdf>
14. Dodge County Highway department should review and provide comments on the plat and construction plans.
15. Controlled access should be provided along the 8<sup>th</sup> Ave NW frontage.
16. A 20-foot wide easement will be required centered on the watermain loop to 8<sup>th</sup> Avenue N.W. A 20-foot wide easement will be required along the southern limits of the plat to accommodate the proposed swale.
17. Other comments are provided on the attached plans and plat.

We recommend approval of the plans and final plat conditional upon the above items being addressed and resubmitted.

Please contact us if you have any questions.

Sincerely,

**WHKS** & co.

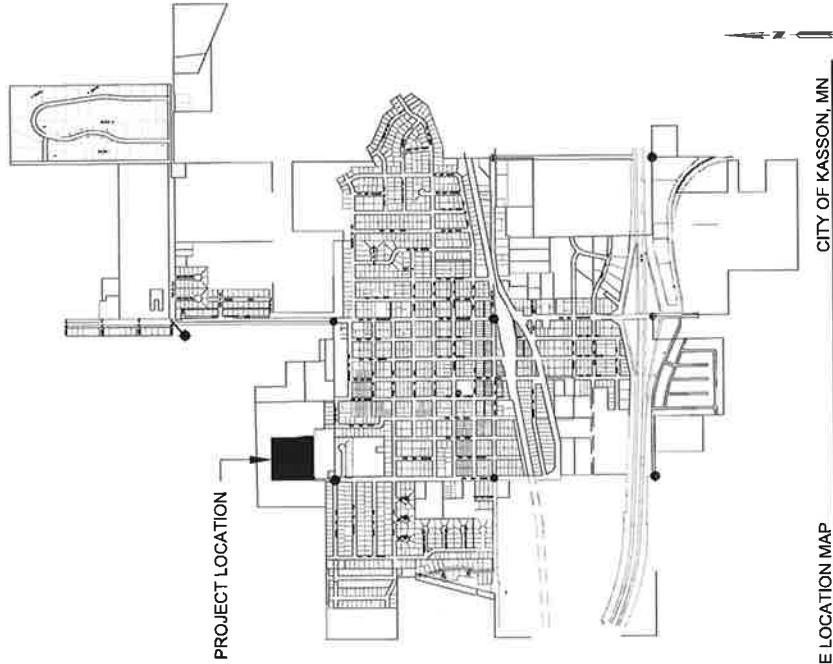


Brandon W. Theobald, P.E.

BWT/bwt

Cc: Charlie Bradford, Public Works Director  
Linda Rappe, City Clerk  
Melanie Leth, City Attorney  
David Martin, Massey Land Surveying and Engineering  
Rich Massey, Massey Land Surveying and Engineering  
Mike Marti, Developer

# PUBLIC IMPROVEMENTS STONE RIDGE SECOND CITY OF KASSON, MINNESOTA



## CITY OFFICIALS

MAYOR: CHRIS MCKERN  
CITY COUNCIL: DAN EGGLER  
MELISA FERRIS  
DUANE BURTON  
LONNIE ZELINSKE  
CLERK ADMINISTRATOR: THERESA COLEMAN  
CITY ATTORNEY: MELANIE LETH  
PUBLIC WORKS DIRECTOR: CHARLIE BRADFORD

## OWNER / DEVELOPER

MIKE MARTI  
1730 30TH STREET SE  
KASSON, MN 55944  
PHONE NO. (507)634-2000

## CIVIL ENGINEERS / SURVEYORS

MASSEY LAND SURVEYING & ENGINEERING  
P.O. BOX 100  
KASSON, MN 55944  
PH. NO. 507-634-4505

## SHEET INDEX

1	TITLE SHEET
2,3,4,5	STANDARD DETAILS & TYPICAL SECTION
6,7	6TH AVENUE NW
8,9	7TH AVENUE NW
10	10TH STREET NW
11	WATERMAIN LOOP EXT
12,13	GRADING PLAN

## BENCH MARKS

TOP NUT OF HYDRANT INTERSECTION OF 12TH STREET NW AND  
7TH AVENUE NW  
TOP NUT OF HYDRANT EL. 1242.92

## VERTICAL CONTROL

THE ELEVATIONS ON THIS PLAN ARE BASED ON THE NORTH  
AMERICAN VERTICAL DATUM OF 1988.

## UTILITY LOCATION

UTILITY LOCATIONS SHOWN ARE PROVIDED BY LOCAL  
UTILITY OWNERS. THE ENGINEER HAS CONDUCTED VISUAL  
CALL SYSTEM LOCATIONS ARE SHOWN TO THE ACCURACY  
OF THE MARKING, AND MASSEY LAND SURVEYING DOES  
NOT ASSUME RESPONSIBILITY FOR MISLOCATED OR  
UNMARKED UTILITIES.  
TICKET #182001628 (7/18) 10TH STREET NW,  
TICKET #182001627 (7/18) 10TH STREET NW,



**MASSEY**  
LAND SURVEYING  
& ENGINEERING

P.O. BOX 100  
KASSON, MN 55944  
PH. NO. 507-634-4505

I hereby certify that this  
survey was prepared by me or  
under my direct supervision and  
that I am a duly  
licensed Professional Engineer  
under the laws  
of the State of Minnesota.

DAVID A. MARTI  
31131  
Number  
3/16/19  
Date

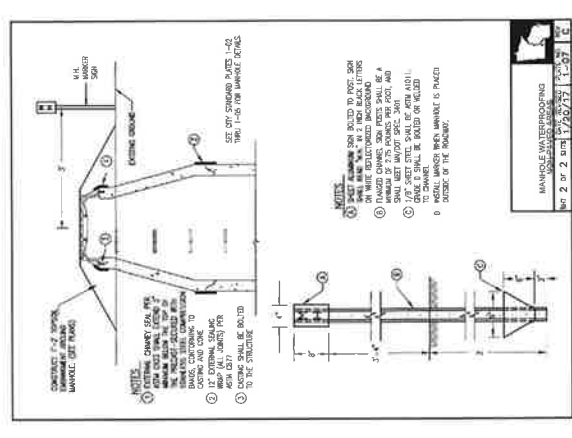
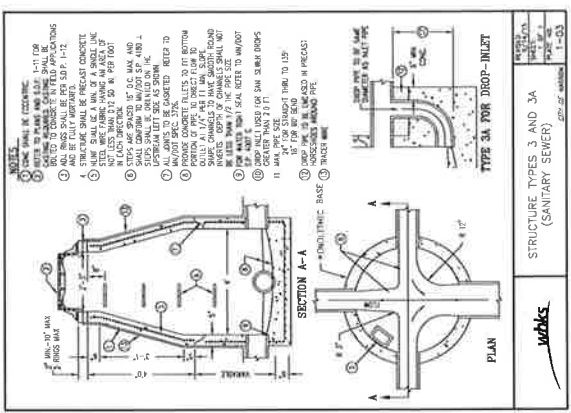
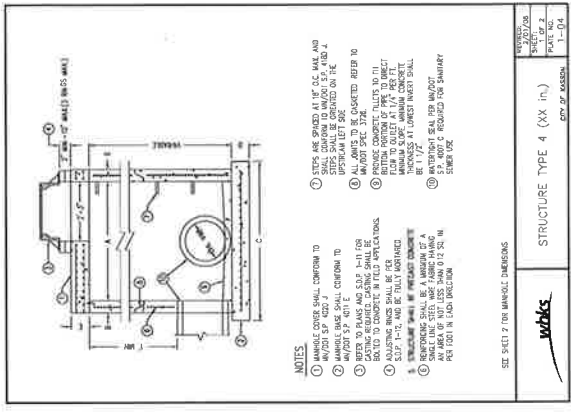
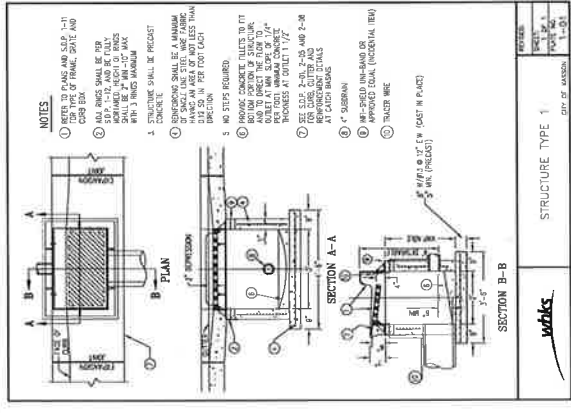
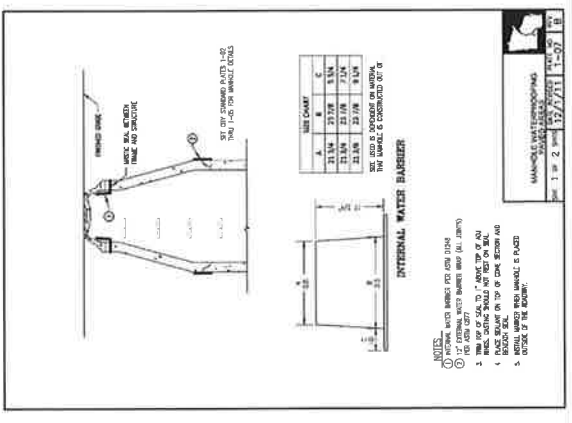
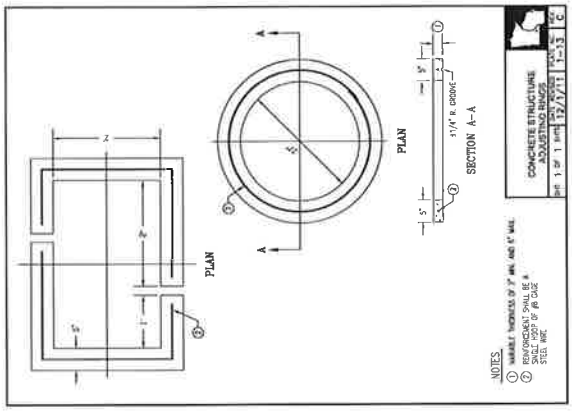
STONE RIDGE SECOND  
PART OF THE SW 1/4, SECTION 28, T 107 N, R 16 W  
CITY OF KASSON, DODGE COUNTY, MINNESOTA

THIS DOCUMENT  
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MASSEY LAND  
SURVEYING, INC.

THIS SURVEY AND DRAWING  
WAS PREPARED FOR THE  
ENGINEER BY:  
MIKE MARTI  
KASSON, MN

SCALE: NONE  
DATE: 2/22/2019  
DRAWN BY: D.A.M.  
JOB NUMBER: 232L  
DWG. FILE: 2325C01  
REVISION DATE:

SHEET NO. 1 OF 13

[illegible]

STONE RIDGE SECOND  
KASSON, MINNESOTA  
DETAIL PLATES

THIS SURVEY AND DRAWING WAS PREPARED FOR THE EXCLUSIVE USE OF: MIKE MARTI KASSON MN	SCALE	NONE
	DATE	2/20/2019
	DRAWN BY	D.A.M.
	JOB NUMBER	2924
	DWG FILE	2924CD01
REVISION DATE:		



**M. ASSEY**  
LAND SURVEYING  
& ENGINEERING

P.O. BOX 100  
KASSON, MN 55944  
PH. NO. 507-634-4505

I hereby certify that this work was prepared by me or was prepared by me under my direct supervision and that I am a duly Licensed Professional Engineer in the State of Minnesota.

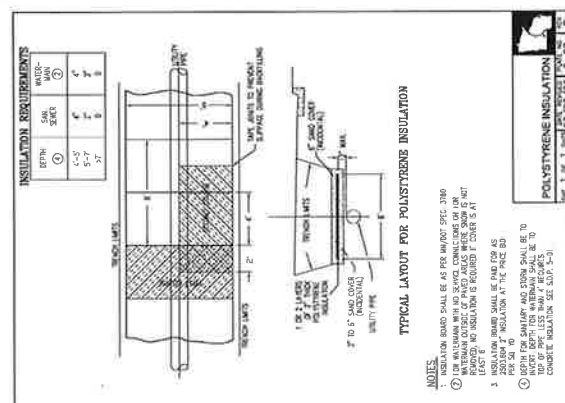
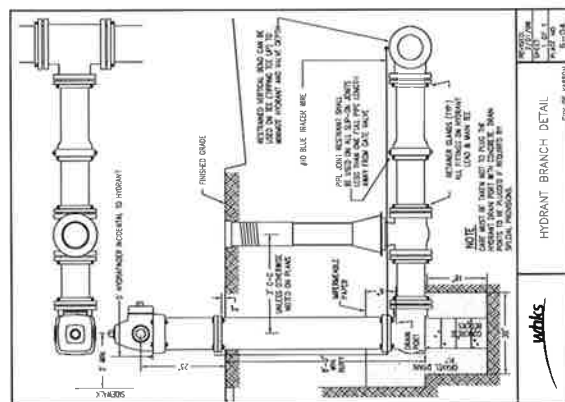
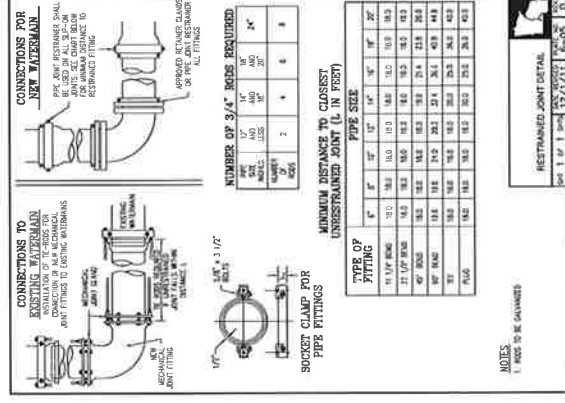
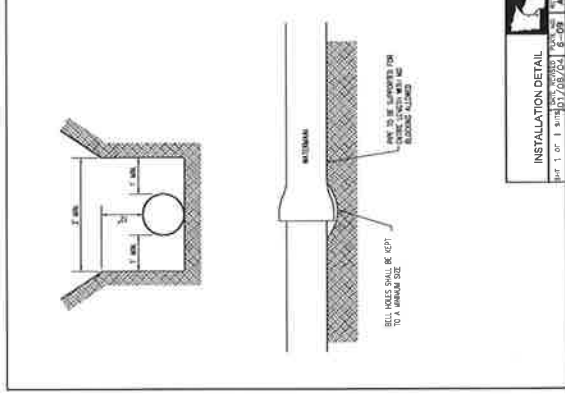
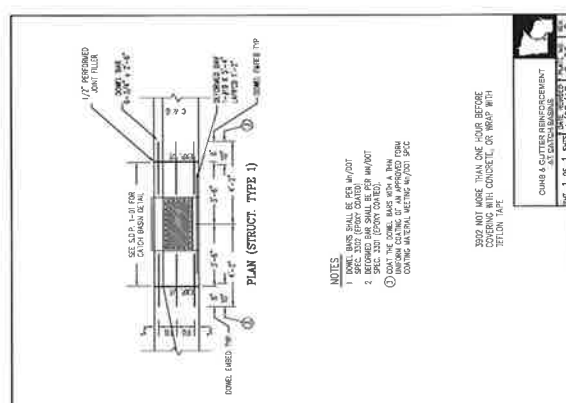
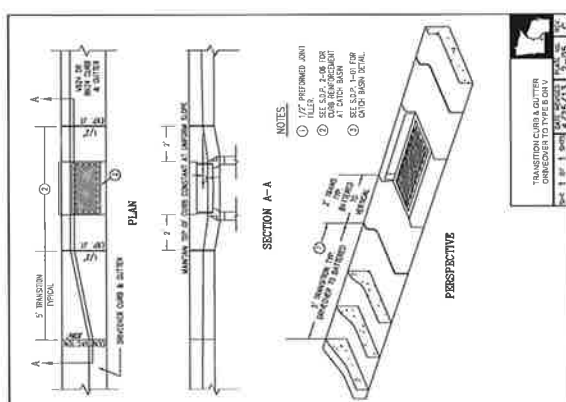
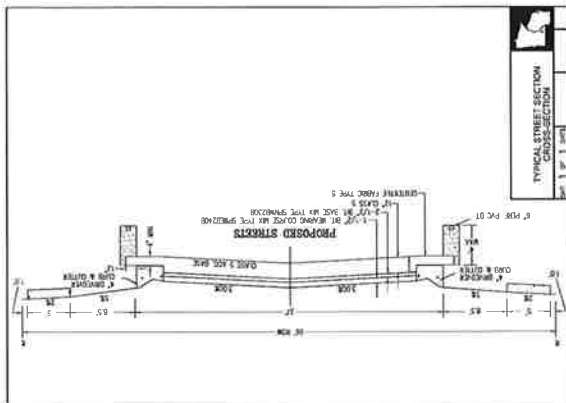
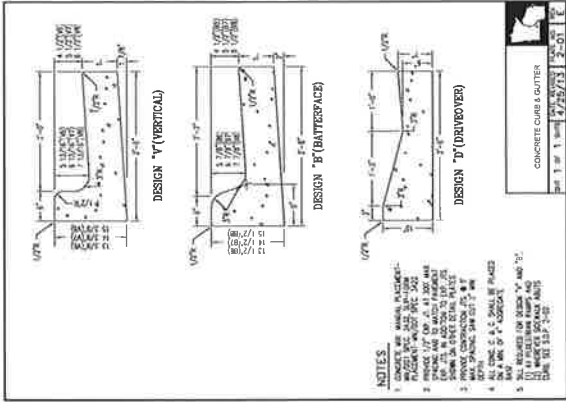
DAVID A. MARTIN  
3/14/19  
2131  
Number  
Date

# STONE RIDGE SECOND DETAIL PLATES

THIS PROJECT AND DRAWINGS  
WAS PREPARED FOR THE  
KASSON, MINNESOTA  
KASSON, MN

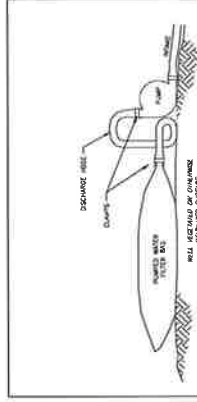
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DRAWN BY: D.A.M.  
JOB NUMBER: 2924  
DWC FILE: 2924C001  
REVISION DATE: 05/28/2019

SHEET NO. 3 OF 13



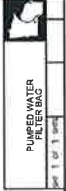


STONE RIDGE SECOND  
DETAIL PLATES

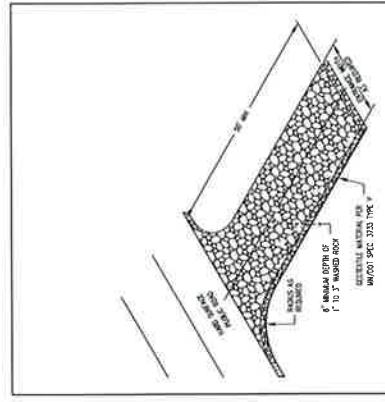


ELEVATION VIEW

1. FILTER BAGS SHALL BE MADE FROM NON-ABSORBENT, NON-TOXIC, NON-FLAMMABLE, NON-DEGRADABLE MATERIAL. BAGS SHALL BE 12 INCHES LONG, 6 INCHES WIDE, AND 1/2 INCH THICK. BAGS SHALL BE MADE OF A MATERIAL THAT IS NOT PERMEABLE TO LIQUIDS AND GASES. BAGS SHALL BE MADE OF A MATERIAL THAT IS NOT PERMEABLE TO LIQUIDS AND GASES. BAGS SHALL BE MADE OF A MATERIAL THAT IS NOT PERMEABLE TO LIQUIDS AND GASES.
2. BAGS SHALL BE LOCATED IN WELL-VENTILATED AREAS OR PLACED OUTSIDE THE VEHICLE. BAGS SHALL NOT BE PLACED ON SLIPS.
3. BAGS SHALL BE LOCATED IN WELL-VENTILATED AREAS OR PLACED OUTSIDE THE VEHICLE. BAGS SHALL NOT BE PLACED ON SLIPS.
4. THE BAG DISCHARGE HOSE SHALL BE INSTALLED INTO THE BAGS IN A MANNER SUCH THAT THE HOSE WILL NOT BE KINKED OR BENT.
5. THE BAGGING RATE SHALL BE NO GREATER THAN 750 GPM OR 1/2 THE MAXIMUM CAPACITY OF THE BAGGING SYSTEM, WHICHEVER IS LESS. PUMP ARREST SHALL BE INSTALLED TO PREVENT THE TANKING OF BAGS AND TO PREVENT THE TANKING OF BAGS.
6. FILTER BAGS SHALL BE INSPECTED DAILY. IF ANY PROBLEMS ARE DETECTED, PUMPING SHALL CEASE IMMEDIATELY AND NOT RESUME UNTIL THE PROBLEM IS CORRECTED.

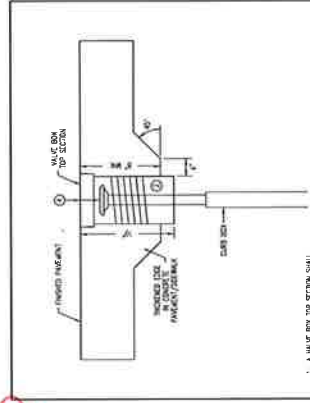


PUMP-OUT STATION  
FILTER BAG



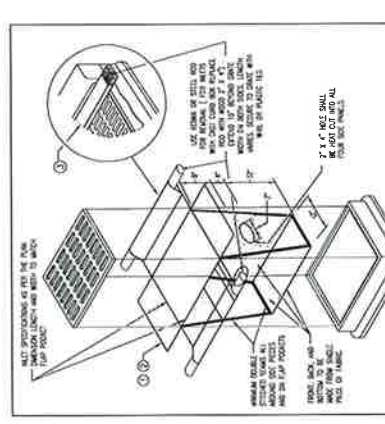
ROCK CONSTRUCTION  
DETAIL

- MAINTENANCE (INDICATED)  
THE BOX AND SHALL BE MAINTAINED TO PREVENT THE TANKING OF BAGS AND TO PREVENT THE TANKING OF BAGS.



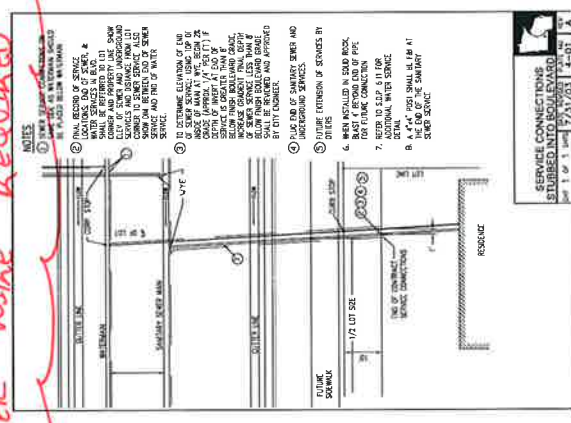
CURB BOX COVER  
DETAIL

1. CURB BOX COVER SHALL BE 1/2 INCH THICK AND SHALL BE MADE OF A MATERIAL THAT IS NOT PERMEABLE TO LIQUIDS AND GASES.
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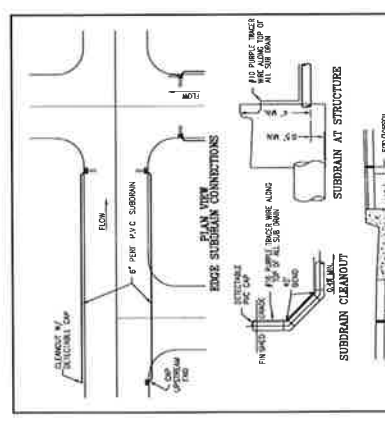
CURB BOX COVER  
DETAIL

- NOTES:  
1. ALL SUBSURFACE DRAINAGE SHALL BE INSTALLED IN SUCH A MANNER AS TO PREVENT THE TANKING OF BAGS AND TO PREVENT THE TANKING OF BAGS.



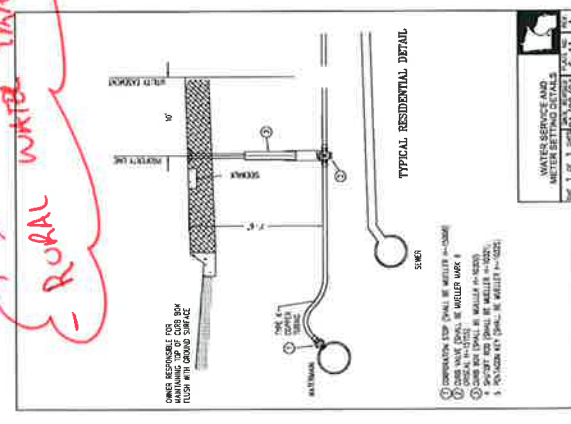
CURB BOX COVER  
DETAIL

- NOTES:  
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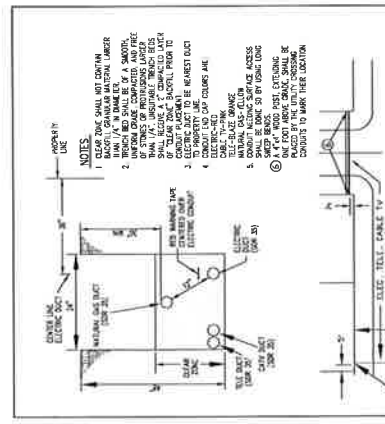
CURB BOX COVER  
DETAIL

- NOTES:  
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CURB BOX COVER  
DETAIL

- NOTES:  
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CURB BOX COVER  
DETAIL

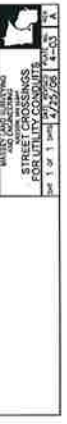
- NOTES:  
1. CURB BOX COVER SHALL BE 1/2 INCH THICK AND SHALL BE MADE OF A MATERIAL THAT IS NOT PERMEABLE TO LIQUIDS AND GASES.

RURAL WATER TANKER WIRE REQUIRED



CURB BOX COVER  
DETAIL

- NOTES:  
1. CURB BOX COVER SHALL BE 1/2 INCH THICK AND SHALL BE MADE OF A MATERIAL THAT IS NOT PERMEABLE TO LIQUIDS AND GASES.



CURB BOX COVER  
DETAIL

- NOTES:  
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**M. ASSEY**  
LAND SURVEYING  
& ENGINEERING

P.O. BOX 100  
KASSON, MN 55944  
PH. NO. 507-634-4505

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer in the State of Minnesota.

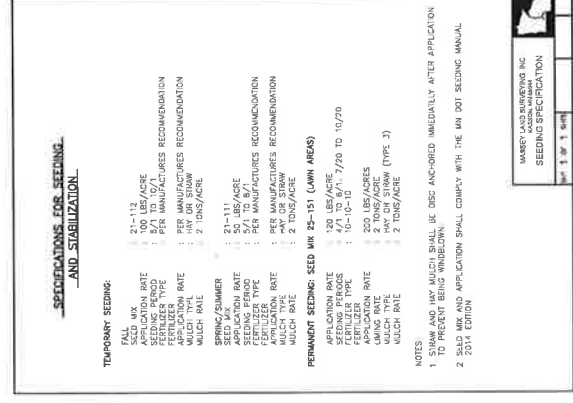
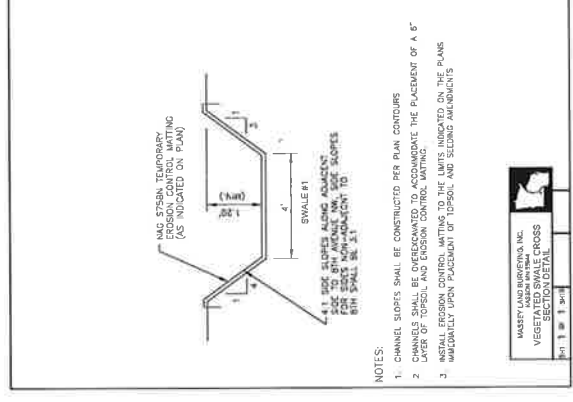
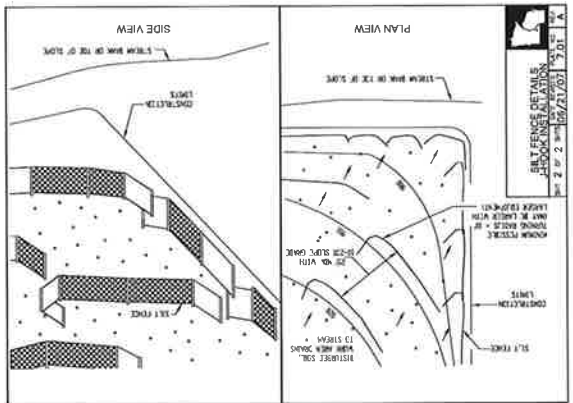
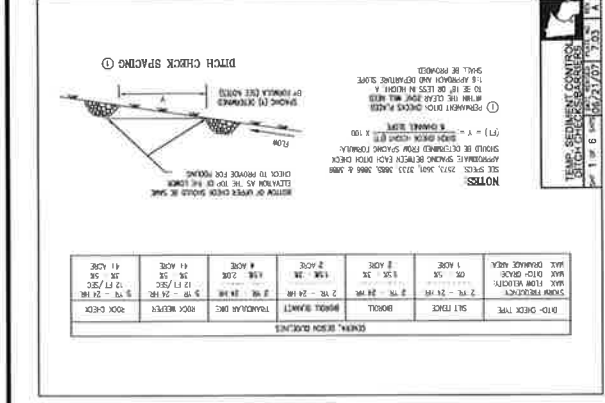
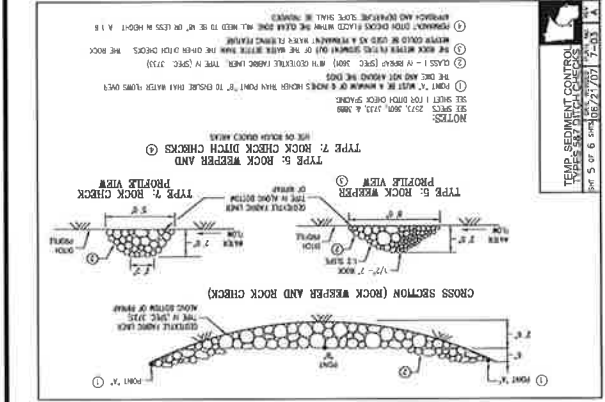
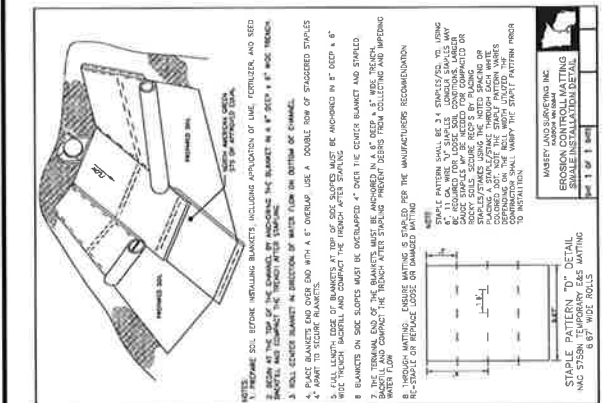
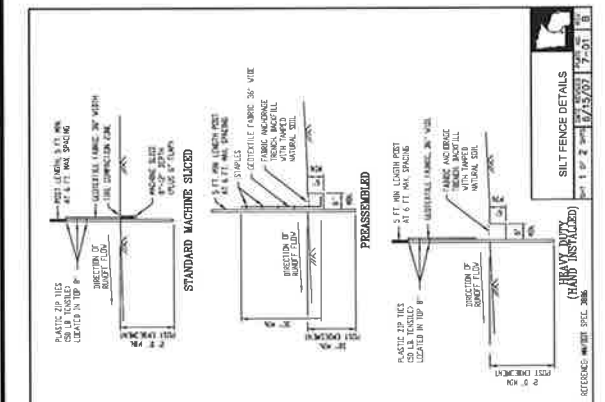
*David A. Martin*  
DAVID A. MARTIN  
5133  
Number  
3/14/19  
Date

# STONE RIDGE SECOND DETAIL, MINNESOTA

THIS SURVEY AND CHANGES  
HEREON ARE THE PROPERTY OF  
M. ASSEY LAND SURVEYING &  
ENGINEERING, INC. AND ARE NOT  
TO BE REPRODUCED OR  
EXCLUDED FOR THE  
KASSON, MN

SCALE NONE  
DATE 2/20/2019  
DRAWN BY D.A.M.  
JOB NUMBER 2924  
DWG FILE 2924-001  
REVISION DATE

SHEET NO. 5 OF 13



## STONE RIDGE SECOND DETAIL, MINNESOTA

THIS SURVEY AND CHANGES  
HEREON ARE THE PROPERTY OF  
M. ASSEY LAND SURVEYING &  
ENGINEERING, INC. AND ARE NOT  
TO BE REPRODUCED OR  
EXCLUDED FOR THE  
KASSON, MN

SCALE NONE  
DATE 2/20/2019  
DRAWN BY D.A.M.  
JOB NUMBER 2924  
DWG FILE 2924-001  
REVISION DATE

SHEET NO. 5 OF 13





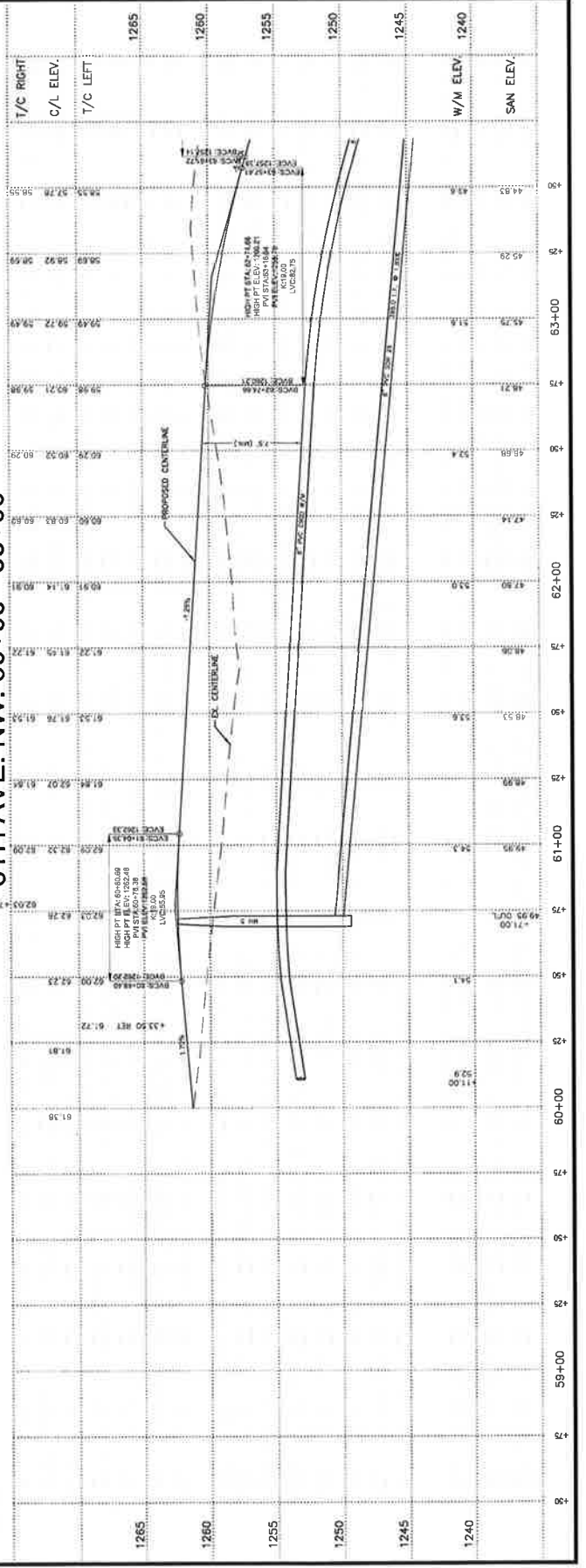
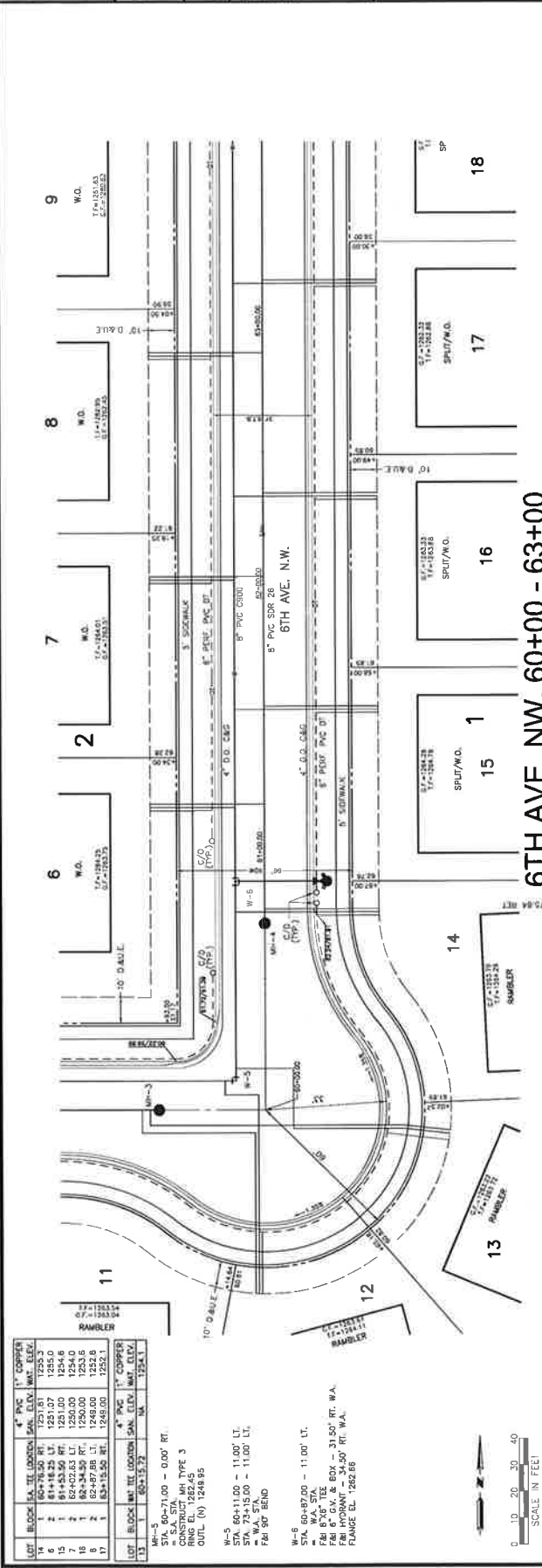
**M. A. SWEENEY**  
LAND SURVEYING  
& ENGINEERING  
P.O. BOX 100  
KASSON, MN 55944  
PH. NO. 507-534-4505

I hereby certify that this plan was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.  
*David A. Martin*  
DAVID A. MARTIN  
3137  
Number  
3/14/12  
Date

STONE RIDGE SECOND  
KASSON, MINNESOTA  
6TH AVE. N.W. 60+00 - 63+00

WAS PREPARED FOR THE  
OWNER: KASSON, MN  
DATE: 2/22/12  
SCALE: 1" = 20'  
DRAWN BY: G.D.L.  
CHECKED BY: R.B.L.  
JOB NUMBER: 2324  
DWG FILE: 2324E001  
REVISION DATE: -

SHEET NO. 6 OF 13





P.O. BOX 100  
KASSON, MN 55944  
PH. NO. 507-634-4505

hereby certify that this data, specification or report was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the State of Minnesota

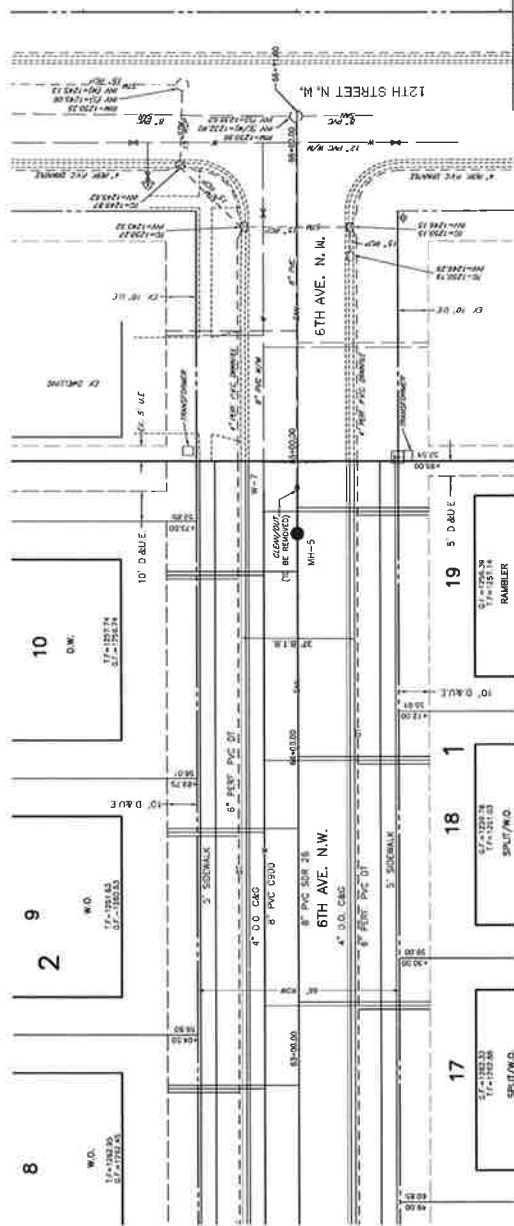
David A. Martin  
DAVID A. MARTIN  
51131 3/14/19

STONE RIDGE SECOND  
KASSON, MINNESOTA  
6TH AVE. N.W. 63+00 - 66+11.00

WAS PREPARED FOR THE  
EXCLUSIVE USE OF:

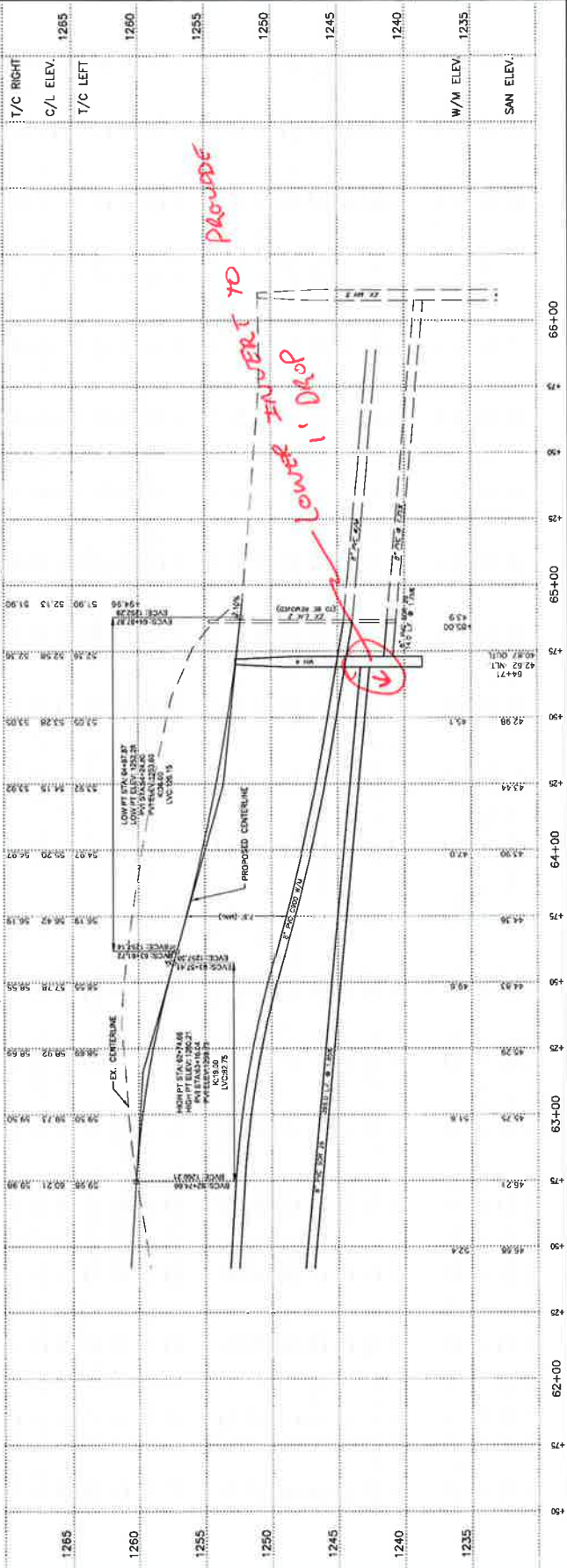
CITY OF KASSON, MN  
SCALE 1" = 20'  
DATE 2/20/2019  
DRAWN BY G.D.Z.  
CHECKED BY R.W.Z.  
JOB NUMBER 2924  
DWG FILE 2924CP01

REVISION DATE \_\_\_\_\_ SHEET NO. 7 OF 13



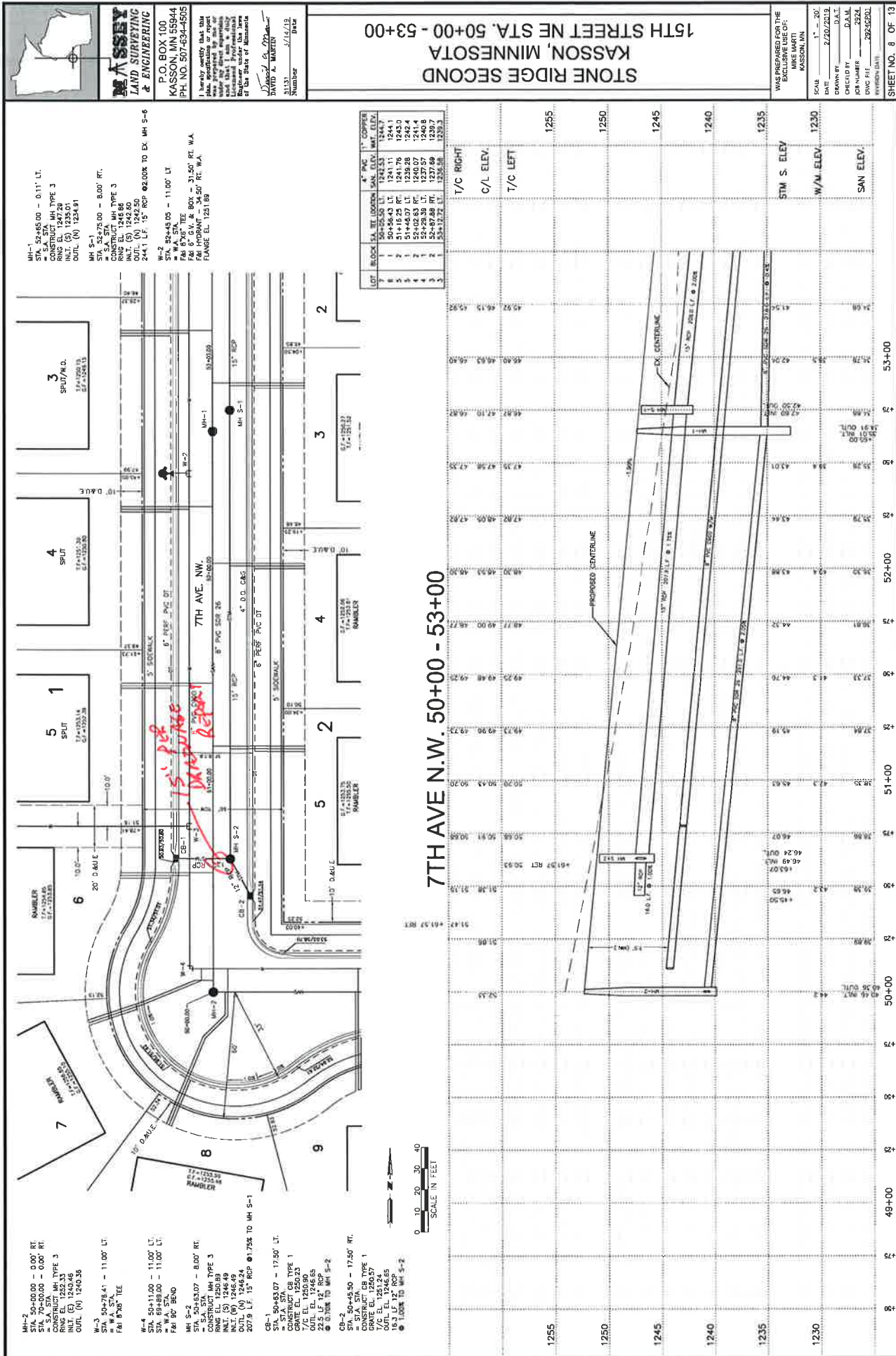
LOT	BLOCK	S.A. TIE LOCATION	4" PVC BAN. ELEV.	1" COPPER WAT. ELEV.
9	2	63+73.13 LT.	1248.00	1249.4
10	1	63+97.00 RT.	1247.00	1248.3
18	0	64+58.24 LT.	1244.68	1245.9
19	1	64+79.50 RT.	1243.00	1245.4

6TH AVE. N.W. 63+00 - 66+11.00

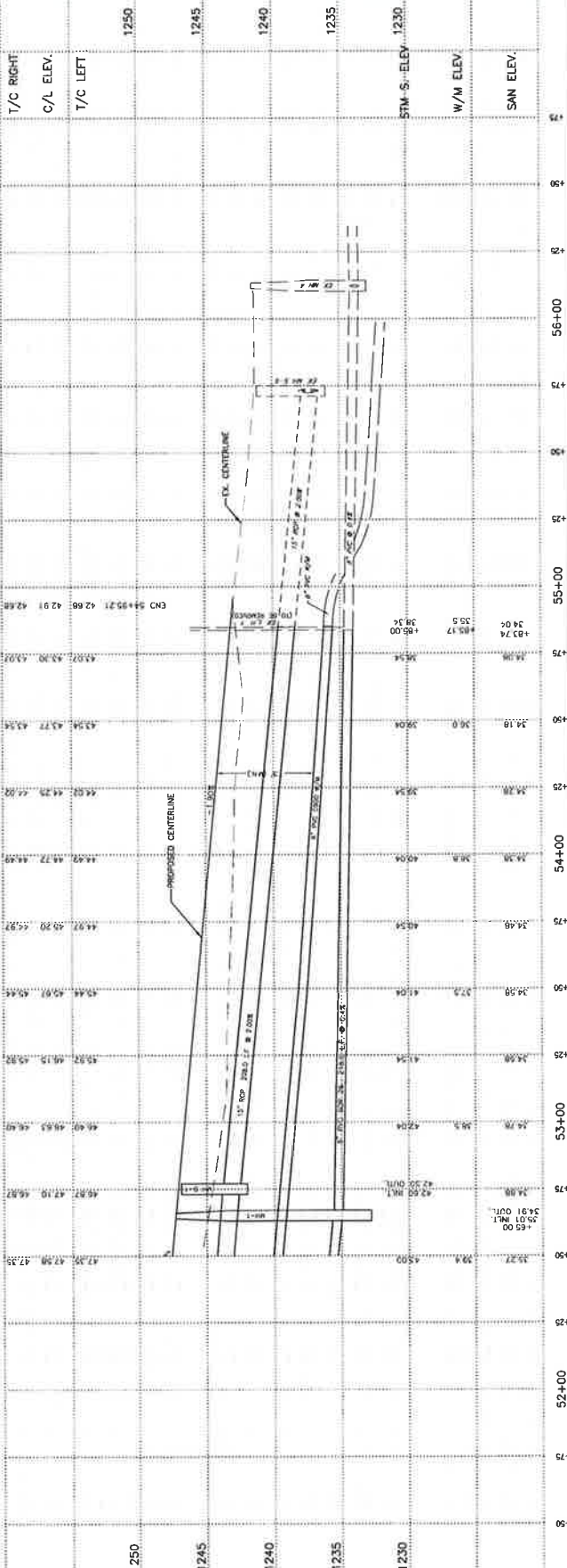


MH-4  
 STA. 64+71.00 - 0.23' LT.  
 CONSTRUCT MH TYPE 3  
 RING EL. 1252.66  
 INT. (S) 1242.62  
 OUTF. (N) 1240.87

W-7  
 STA. 64+85.00 - 11.00' LT.  
 W.A. STA  
 F&I CONNECT TO EX. W.M.









**KASSBY**  
LAND SURVEYING  
& ENGINEERING

P.O. BOX 100  
KASSON, MN 55444  
PH. (507) 533-4505

I hereby certify that this  
survey was made in accordance  
with the laws of Minnesota  
and the rules and regulations  
of the State of Minnesota  
and that the same is a true and  
correct copy of the original  
as the same was made by me or  
under my direct supervision  
and that I am a duly Licensed Professional  
Surveyor in the State of Minnesota  
at the time of making the same.

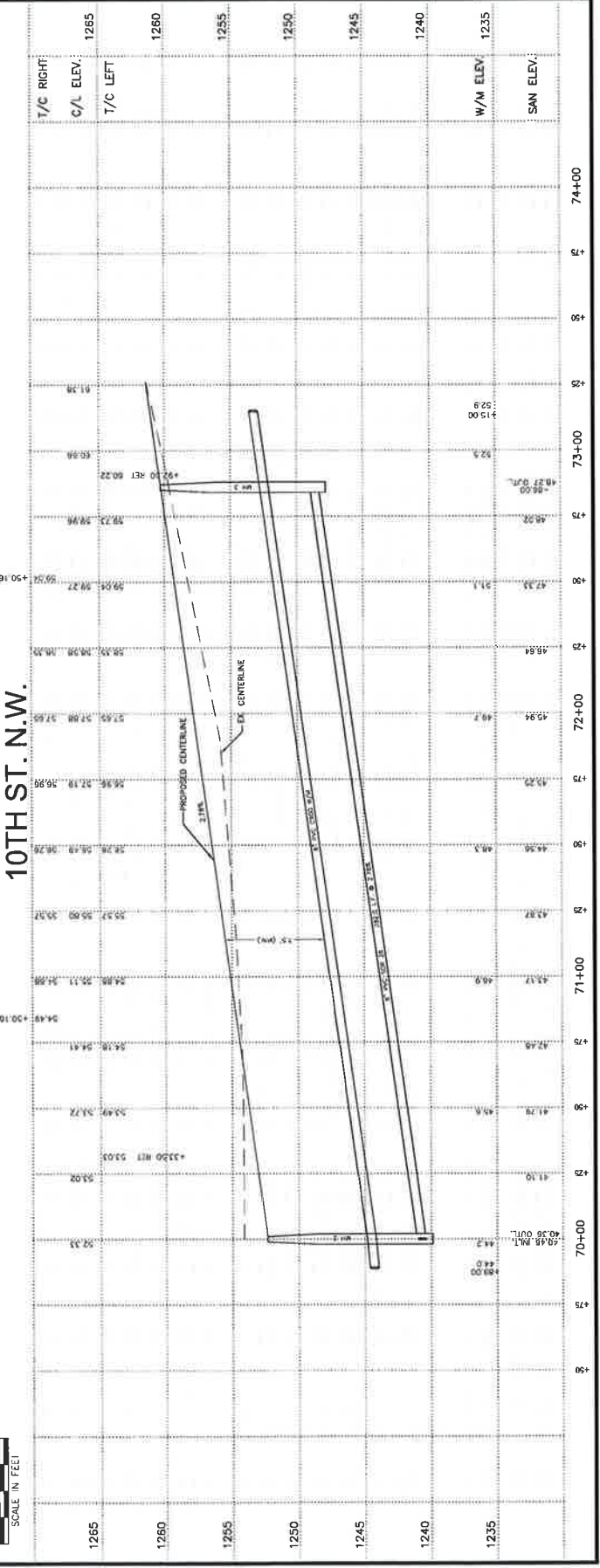
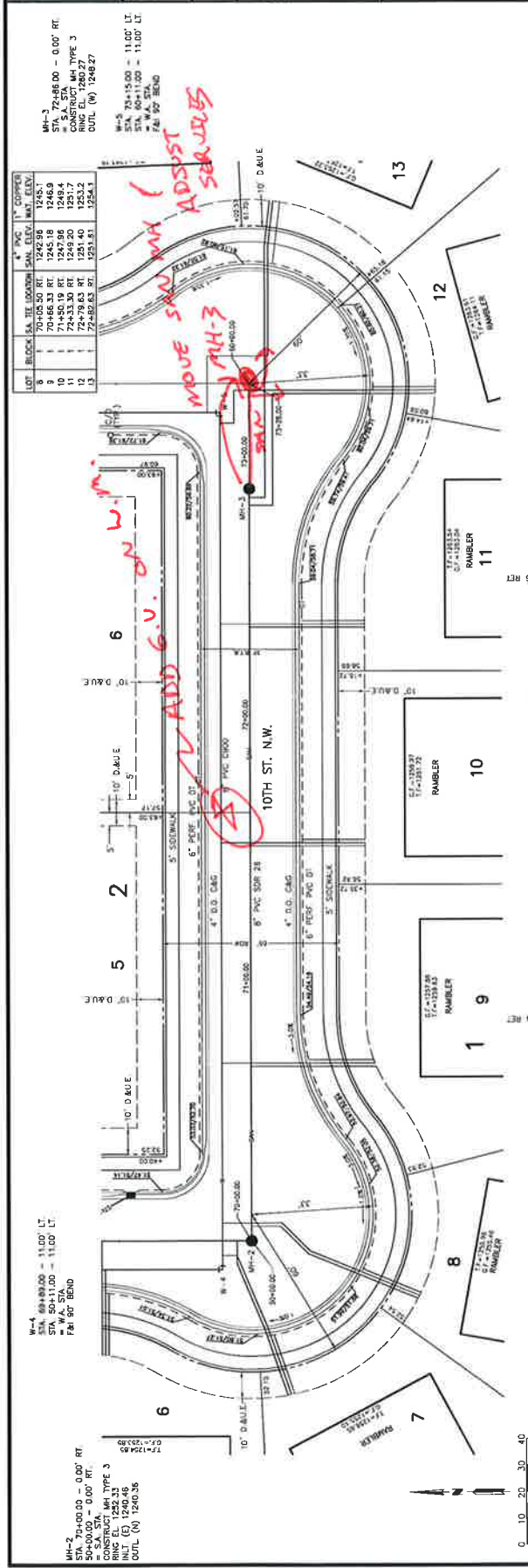
*David A. Kassby*  
DAVID A. KASSBY  
Surveyor  
3/1/12  
DATE

STONE RIDGE SECOND  
10TH ST. N.W.

WAS PREPARED FOR THE  
EXCLUSIVE USE OF:  
KASSON, MN

SCAD 1" = 20'  
DATE 2/20/2013  
DRAWN BY S.D.L.  
CHECKED BY S.D.L.  
DESIGNED BY S.D.L.  
DWG. FILE 23242501

SHEET NO. 10 OF 13





P.O. BOX 100  
KASSON, MN 55944  
PH. NO. 507-634-4505

I hereby certify that this plan, specification or report was prepared by me or under my direct supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota

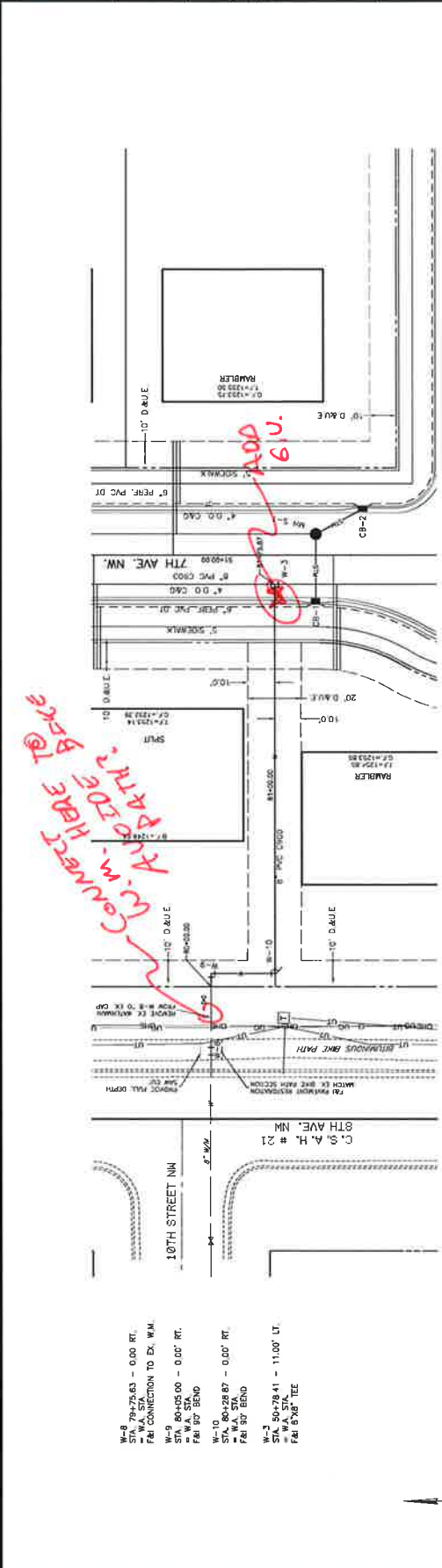
David A. Martin  
DAVID A. MARTIN  
51131 3/14/19  
Number Date

STONE RIDGE SECOND  
KASSON, MINNESOTA  
WATERMAIN LOOP EXT

WAS PREPARED FOR THE  
EXCLUSIVE USE OF:  
MIKE MARTI  
KASSON, MN

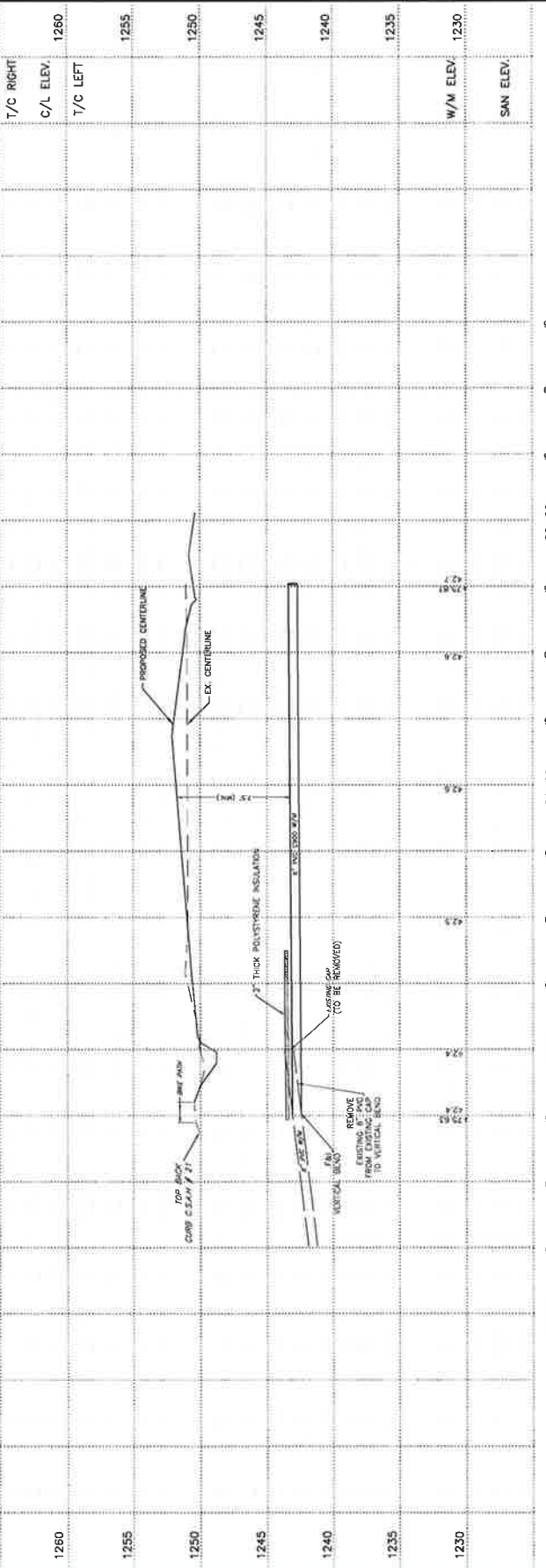
SCALE 1" = 20'  
DATE 2/20/2019  
DRAWN BY G.D.Z.  
CHECKED BY R.W.Z.  
JOB NUMBER 2924  
DWG FILE 2924COP1  
REVISION DATE \_\_\_\_\_

SHEET NO. 11 OF 13



W-2 STA 81+75.87  
STA 50+78.41 - 11.00' LT.  
= W.A. STA.  
F&I 8"X8" TEE

# WATERMAIN LOOP EXT



79+00











SHEET NO. 1 OF 1

PROJECT NUMBER: 2924

## Theresa Coleman

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**From:** Laura Chamberlain <laura@hkgi.com>  
**Sent:** Thursday, April 04, 2019 11:00 AM  
**To:** cityadministrator@cityofkasson.com  
**Subject:** Materials for PC  
**Attachments:** - Memo\_Zoning Update Module Schedule\_040819.docx

Theresa,

I'm attempting to resend this a third time, as I don't think my previous attempts went through. Please confirm when you receive it.

Theresa,

I've come up with a preliminary schedule for how we will be approaching the modules from our extended work plan. As a placeholder, I'm putting in dates of each month's regular Planning Commission meeting, but as we go, we may find that a different meeting type (work session, open house, stakeholder engagement session) is more appropriate for the module. Your feedback throughout the process is really appreciated.

### Module 1: Districts, Uses, & Bulk Standards

- Meeting 1: April 22<sup>nd</sup> – Work Session with PC
- Meeting 2: May 13<sup>th</sup> – PC regular meeting

### Module 2: New Zoning Districts

- Meeting: June 10<sup>th</sup> – PC regular meeting

### Module 3: Subdivision/Platting Procedures & Standards

- Meeting: August 12<sup>th</sup> – PC regular meeting

### Module 4: Performance Standards

- Meeting: September 9<sup>th</sup> – PC regular meeting

### Module 5: Administration & Procedural

- Meeting: October 14<sup>th</sup>

Once the modules are done, we will have a complete draft of the ordinances. At that point, we should think ahead to how the City wants to engage in the final adoption of the ordinances. Throughout the modules, we'll want to be engaging with any property owners/stakeholders that may see a change in their zoning, or allowed uses – again, we'll feel out this approach as we go, but please let me know if you have any ideas or preferred methodology. Once we have a draft, something like an Open House or other engagement method will also be wise. Beyond that, then, the official process of posting notice, holding a public hearing, and going through official adoption will also need to be scheduled.

Depending on how all of that goes and holiday scheduling, I think we could accomplish those steps in November & December 2019.

Attached is also a memo that you can present to the Planning Commission for Monday's meeting, letting them know the process ahead.

Please let me know if you have any questions or thoughts.

Thank you!

## MEMORANDUM

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**TO:** Kasson Planning Commission  
**FROM:** Laura Chamberlain, Project Manager, HKGi  
**DATE:** April 8, 2019  
**SUBJECT:** Zoning & Subdivision Ordinance Update – Module Schedule

---

The City of Kasson kicked off the Zoning & Subdivision Ordinance Update project in October, 2018. The need for this project arose after the completion of *Kasson Upward*, Kasson's Comprehensive Plan for 2040. In January, 2019, the consultant team met with the Planning Commission and established an annotated outline for the approach of the drafting and adoption of the ordinance update. In March, 2019, the City decided to move forward with the approach proposed by HKGi, with remaining work broken down by Modules. Estimated Planning Commission dates have been included as well; these dates may change as the project progresses, if the other meeting types (Work Sessions, Open Houses, Stakeholder meetings) are found to be more appropriate for the different modules.

It is the intention that throughout this project, City Staff will continue to give updates to the City Council to keep them updated on the progress. It is also the intention that as zoning changes that impact specific parcels or users are proposed, that project staff and city staff will engage with those users up front, and provide them opportunities to give their feedback.

The Modules are described below:

**Module 1: Districts, Uses, & Bulk Standards**

- Organize and update existing Zoning District and Overlay District sections
- Analyze Uses and Bulk Standards for each district
- Updates to the Zoning Map as needed
- Two meetings with the Planning Commission
  - o April 22<sup>nd</sup>, Planning Commission Work Session
  - o May 13<sup>th</sup>, Planning Commission regular meeting

Module Deliverables:

- Draft of Zoning Chapter Article III: Zoning Districts
- Proposed changes to Zoning Map

### **Module 2: New Zoning Districts**

- Evaluate possibility of new zoning district(s) to fulfill Comprehensive Plan Goals
- Establish Uses and Bulk Standards for district(s)
- Updates to the Zoning Map as needed
- One meeting with the Planning Commission – June 10<sup>th</sup>, Planning Commission regular meeting

#### Module Deliverables:

- Draft of Zoning Chapter Article III: Zoning Districts with New Zoning District(s) Added
- Proposed changes to Zoning Map

### **Module 3: Subdivision/Platting Procedures & Standards**

- Organize and Update Subdivision Chapter of City Code
- Facilitate City Engineer to establish Subdivision Design Standards (\*Engineer's time not part of this proposal)
- One meeting with the Planning Commission – August 12<sup>th</sup>, Planning Commission regular meeting

#### Module Deliverables:

- Draft of Subdivision Chapter

### **Module 4: Performance Standards**

- Organize and Update Performance Standards
- Establish Use Specific Standards
- Organize and Establish standards for Off-Street Parking, Landscaping and Screening, and Lighting
- One meeting with the Planning Commission – September 9<sup>th</sup>, Planning Commission regular meeting

#### Module Deliverables:

- Draft of Zoning Chapter Article IV: Development Standards

### **Module 5: Administration & Procedural**

- Finalize and Organize Definitions
- Establish Training Materials for Planning Commission
- Develop Informational Cut-Sheets regarding City Processes
- One meeting with the Planning Commission – October 14<sup>th</sup>, Planning Commission regular meeting

Module Deliverables:

- Draft of New Definitions Chapter
- Draft of Building Regulations Chapter
- Planning Commission Training Materials/Instructions
- City Process Forms, Cut-Sheets, and Information Sheets
- Instructions for Adoption of New Ordinances & Zoning Map

**Further Steps – Ordinance Adoption**

After the modules have been completed, the City will go through the adoption process of the entire ordinance update. It is likely that a broad community engagement event, such as an open house, will be appropriate at that time. Once feedback is received from the community, an official public hearing process, and first reading and second reading of the ordinance will be needed for adoption. City staff will work through the scheduling of this process with project staff as well as the City Attorney to ensure that all necessary steps are taken. It is likely that these elements could be addressed in November and December of 2019.