

**PLANNING COMMISSION**

**FEBRUARY 10, 2020**

**6:30 O'CLOCK P.M.**

1. Call to Order
2. Minutes of the Previous Meeting – January 13, 2020
3. Discussion on Kwik Trip Conditional Use Permit
4. Discussion on Possible Meadow Lodge Apts Re-Zoning
5. Discussion on Thompson Addition Revision
6. Other
7. Adjourn

MINUTES OF PLANNING COMMISSION MEETING

January 13, 2020

Pursuant to due call and notice thereof, a regular Planning Commission meeting was held at City Hall on the 13th day of January, 2020 at 6:30 PM

**THE FOLLOWING MEMBERS WERE PRESENT:** Commissioner Ferris, Commissioner Thompson, Commissioner Zelinske, Commissioner Torkelson, Commissioner Tinsley and Commissioner Burton.

**THE FOLLOWING WERE ABSENT:** Commissioner Fitch

**THE FOLLOWING WERE ALSO PRESENT:** City Administrator Tim Ibisch, City Clerk Rappe, Finance Director Nancy Zaworski, City Attorney Leth, City Engineer Theobald, Consultant Laura Chamberlain HKGi, Les Conway, Tony Bigelow, Coy Borgstrom, Jason Wilker, Julie Nagorski, Brian Keehn, Ben Boynton, Kyle Decker, Rose McKain, Dean and Terri Schuette, Brandon Stedman, Chris Hallstrom, Kaleb Melcher, Charlie Hallstrom, Doug Buck, Bonnie Ryan, Neeley Ryan, Bruce Whitacker, Sae Denny, Christie and John Bausman, Steven Arett, Troy Andrist, Steve Erickson

**CALL TO ORDER AT 6:30PM**

**MINUTES OF THE PREVIOUS MEETINGS – December 9, 2019 – Motion to Approve the Minutes as presented by Commissioner Thompson, second by Commissioner Burton with All Voting Aye.**

**PUBLIC HEARING BIGELOW-VOIGT 8<sup>th</sup> GENERAL DEVELOPMENT PLAN** – Laura Chamberlain, HKGi Planning Consultant, gave the background of this proposal of 11.81 acres of 14 single family detached lots and 28 single family attached homes. In this case the single family attached units are incorporated in the planned unit development so only one CUP is required. Ms. Chamberlain has consulted the City's Comprehensive Plan regarding greenspace, trails, roadways and floodplain/ponds/wetlands. Ms. Chamberlain referred to her staff report regarding the specific considerations for the CUP for PUD and Preliminary Plat. Ms. Chamberlain also referred to the staff comments as well as the City Engineer comments.

Tony Bigelow – 1210 16<sup>th</sup> St NE Kasson. Mr. Bigelow stated that they are willing and can work on all contingencies except the one connecting 12<sup>th</sup> St NW because that drainage channel drains a large area.

Les Conway – WSE Massey. Mr. Conway stated that they reviewed Ms. Chamberlain's and staff comments, the pond on the west handles the drainage for Bigelow 7<sup>th</sup> and the new pond on the east that could handle Bigelow 8<sup>th</sup> and other areas that drain this direction. They propose that Outlot A would be City property. Mr. Conway stated that by not putting 12<sup>th</sup> St through improves the sustainability and habitat of this design.

Public Hearing Open – no comments

Public Hearing Closed

Discussion

Planning Commission Meeting January 13, 2020

Commissioner Zelinske – He agrees that 12<sup>th</sup> does not need to go through and that would hamper water flow. He doesn't like the idea of private streets because of narrowness for fire trucks and issues of parking and snow removal.

Commissioner Thompson - agrees that 12<sup>th</sup> does not need to go through and that the private roads could be wider.

Mr. Conway stated that those responsibilities are the homeowners association. And the ends of the streets are less than 150' to the intersection and there would not be any parking on those streets. All of the townhomes would be in the association.

Commissioner Burton - all comments brought up by staff regarding the PUD are appropriate and he is in agreement the 12<sup>th</sup> St NW would not need to go through but we need to find a way to eventually to cross that waterway. Not in favor of running an easement across the Wilker property and somehow we need to go to the north to get to County 21.

Commissioner Torkelson proposed that there be no parking along private streets.

Commissioner Tinsley – nothing to add, feels the same way about the streets and how is parking enforced.

**Motion to Approve the General Development Plan with staff comments made by Commissioner Thompson, second by Commissioner Zelinske with all voting Aye.**

**PUBLIC HEARING FOR A CONDITIONAL USE PERMIT FOR A PLANNED UNIT DEVELOPMENT**

**REQUESTED BY BIGELOW-VOIGT 8TH** – Mr. Conway stated that they have no problem meeting the requirements of staff and WHKS design comments.

Ms. Chamberlain stated that staff would like some time to look over the plans that were just handed out and if the Planning Commission approves this staff would make sure that it is complete before it goes to City Council.

Public Hearing Opened – no comments

Public Hearing Closed

Discussion

Commissioner Tinsley had questions for Mr. Conway regarding grading for wetlands. Mr. Conway stated that in the new plan the pond is stretched out a bit and the slope is not as steep.

**Motion to Approve the CUP for a PUD Contingent on the Developer Meeting The Conditions Outlined by Staff before Approval, made by Commissioner Burton, second by Commissioner Thompson with All Voting Aye.**

**PUBLIC HEARING FOR BIGELOW VOIGT 8<sup>TH</sup> PRELIMINARY PLAT**

Public Hearing Opened – no comments

Public Hearing Closed

**Motion to Approve the Preliminary Plat With the Conditions Either Already Met or Still Needed to Meeting made by Commissioner Thompson, second by Commission Torkelson with All Voting Aye.**

**PUBLIC HEARING FOR A CONDITIONAL USE PERMIT FOR A LANDSCAPING AND NURSERY REQUESTED BY JASON WILKER** - Ms. Chamberlain gave a brief background on the property. Ms. Chamberlain has provided findings and additional considerations, in the Comprehensive Plan it is designated as medium density residential. The application as presented did not provide enough information to grant this CUP. Ms. Chamberlain reminded the Commissioners that a CUP is applied to the property and not to the owner.

Julie Nagorski , Jason Wilker’s Attorney, - This plan that he has submitted is what he has used before. Wilker has a nursery stock dealer certificate, he has a plan that works under the parameters of the city ordinance. She does not believe that requirements that are not in the ordinance should not be imposed. Ms. Nagorski and Mr. Wilker are against the suggestions made by the City Attorney.

Jason Wilker – Property Owner of 1103 8<sup>th</sup> Ave NW, Kasson, resides at 630 Meadowlark Ct, Byron, MN – he feels he has met and tried to meet what the city has asked of him. He has not heard from anyone who wanted to come out to his property.

Public Hearing Opened

Ben Boynton – 209 4<sup>th</sup> St SW – he is concerned that this has become a bigger topic in town than the infrastructure. He feels that Mr. Wilker is complying with the City. Mr. Boynton supports the CUP.

Troy Andrist – 64739 270<sup>th</sup> Ave, Kasson - he knows what Jason is going through and has had the same experience. He would like to get something worked out.

Ben Boynton – he lives near two giant culverts and debris blocks culverts and if it would cause drainage issues.

Steve Arett – 25145 750<sup>th</sup> Hayfield - he is here to support Wilker.

Doug Buck – 300 15<sup>th</sup> Ave NW – he is here in support of Wilker, and attested to his character.

Coy Borgstrom – 20 E Veterans Memorial Hwy – he believes we need to go back to the book on this. This has been twisted. The CUP is answered by the neighbors, and there have been no complaints in 10 years. The only complaint was from a person 6-8 blocks away. He doesn’t want anyone to take staff’s recommendation and that they don’t make the decisions. There are a lot of things in this community that are against the ordinance but no one is doing anything about them.

Jason Wilker – he notices that rules are bent for some people. He has had no complaints in 11 years. He believes his business benefits the city.

Public Hearing Closed

Laura Chamberlain – point of clarification, the application for a CUP does not require a General Development Plan but a cup does require a Development Plan.

Planning Commission Meeting January 13, 2020

Commissioner Thompson asked where the City is regarding litigation. City Attorney Leth stated that there has been no assurances that if this is granted that the lawsuit will go away. There has been no communication from Wilker or his Attorney in that regard. Attorney Leth stated that just because someone hasn't set foot on Mr. Wilker's property doesn't mean that there isn't sufficient evidence to take this action. The allowed CUP is for a nursery and he is not operating as a nursery he is operating as a landscaping business. In the 2010 cup he was required to plant 60% of property to trees.

Commissioner Thompson – the City does not currently have a review of CUP's process. He asked Attorney Leth to explain her recommendations. As far as the building structures this was part of the 2010 original CUP.

Chairman Ferris – this has always been a piece of property that has had a commercial use and when it was annexed it was annexed as R-1. He believes that conditions put on in 2010 were to balance the commercial activities on that land.

Commissioner Zelinske – all we want him to do is follow his conditions.

Commissioner Burton – we want to make this work for the City and Mr. Wilker. He had 14 months from when he was told that he was in violation to when the cup was revoked. We were accurate in the fact that we were not putting a street through his property and we did not even have a request for this street until Bigelow Voigt 8<sup>th</sup> Subdivision. He is willing to work with Wilker as to new trees or trees that have been planted.

Commissioner Tinsley – looked at the conditions suggested by Wilker. He is agreeable with the conditions set forth from Wilker.

Commissioner Thompson – believes we are headed in right direction, but need more clarification.

Commissioner Burton – would like the recommendation for the 12<sup>th</sup> St easement struck from recommendation clarification of no new buildings be built.

**Motion to table and allow City Staff and Wilker to come to a set of conditions that will work for the site, made by Commissioner Thompson, second by Commissioner Torkelson with All Voting Aye.**

10 min break 8:34.  
8:43PM

**BLAINES 14<sup>TH</sup> GDP – TABLED FROM DECEMBER MEETING** – Laura Chamberlain gave background for the Blaine's 14<sup>th</sup>. The total GDP involves two parcels with a total of 131 single family detached lots and two outlots for stormwater. She went through requirements of the Comprehensive Plan for density, land use, green space, transportation and parks and trails. There is floodplain on the site. Dodge County is preparing a map revision and have released their best estimated for flood zone in this area. There is no approving action for a GDP it is just a concept. The Planning Commission role is to review it and let the developer know if this meets the Comprehensive Plan, Zoning Ordinance and Subdivision Ordinance. Phasing of the development is not indicated on the GDP. There is a section of land that is

not accounted for. The road extensions should be shown as future roadways. The outlot should be dedicated to the city as a single piece to protect that natural resource. Preliminary Plat is missing a lot of detail.

Duane asked to hear from the City Attorney regarding the Attorney opinion submitted by Mr. Blaine. Her opinion is that case is not applicable here.

City Engineer Theobald – regarding the outlot, this is a request to plat all of the space around Masten Creek as an outlot and have it be dedicated to the City. Maintenance of this property is difficult if it is private. There is a sewer trunk line that runs along the creek. We would want the other outlot for the bridge. Commissioner Burton asked about the proposed parkway and if we have identified the street alignment. Engineer Theobald stated that has been a factor and in the platting process this will be considered.

Les Conway, WSE Massey represented the developer, the remnant does need to be addressed on the Preliminary Plat. Mr. Conway stated there is no phase 2 right now. As to the recommendation that the creek be an outlot, the land has value and could be a parkland dedication or a negotiated item. They tried to address all other technical issues. The end of 13<sup>th</sup> Ave would be a crown and everything would drain to the pond. They feel as far as the parkway it should not be a condition of approval. Engineer Theobald stated that he doesn't see the difference between them dedicating the stormwater pond to the City as an outlot and from dedicating the creek property to the City as an outlot. Mr. Conway stated because the City's Ordinance regarding stormwater management dictates the first.

The Commissioners were in agreement to work on negotiating for the outlot that would involve the creek.

**Motion to Direct Staff to Inform the Applicant in writing that the GDP with Suggested Revisions Will Meet the Objectives of the Subdivision and Zoning Ordinances made by Commissioner Tinsley, second by Commissioner Thompson with All Voting Aye.**

**Motion to Recommend Approval with Conditions and Findings of Fact as Presented by Staff Along with the Outlot B Be From the Sewer Line Easement to the South Side of the Creek made by Commissioner Tinsley, second by Commissioner Zelinske with All Voting Aye.**

**COMMISSIONER TERMS EXPIRING** – Both Commissioners Thompson and Torkelson are both interested in renewing their terms.

Chairman Ferris asked that voting on a Chairman on the next agenda.

**OTHER -**

ADJOURN 9:40PM

Respectfully Submitted,

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Linda Rappe, City Clerk

**APPLICATION FOR CONDITIONAL USE PERMIT**

Fee Paid \$ \_\_\_\_\_

Date Filed \_\_\_\_\_

Street Address of Property 101 8th ST SE, Kasson Mn

Legal Description of Property Section 04; Twp: 106; Rng 016; Block: 001; Lot 001:

Owner's Name Kwik Trip Inc / Nick Newman Phone 608-793-6199

Address 1626 Oak St, Ia Crosse Wi 54602

Applicant (if other than Owner):  
Name \_\_\_\_\_ Phone \_\_\_\_\_

Address \_\_\_\_\_

Description of Request We would like to demo the existing store and car wash. Then we would like to develop the site into additional truck parking to support the new Kwik Trip across the road.

Reason(s) for Request We would like to help with the flow of truck traffic to free up existing lot and make the lot safer for our customers

Present Zoning Classification N/A

Existing Use of Property Current buildings on site are not used, at time some public parking

Signature of Applicant \_\_\_\_\_ Date \_\_\_\_\_

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**FOR OFFICE USE ONLY**

Date accepted \_\_\_\_\_

Recommended \_\_\_\_\_ Denied \_\_\_\_\_ by the Planning Commission on \_\_\_\_\_, 19\_\_

Approved \_\_\_\_\_ Denied \_\_\_\_\_ by the City Council on \_\_\_\_\_, 19\_\_

If approved, the following conditions were prescribed:

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_
4. \_\_\_\_\_

If denied, denial was for the following reason(s): \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_

**SECTION 24-18 CONDITIONAL USE PERMITS**

PURPOSE. The purpose of a conditional use permit is to permit a use that would not be appropriate generally but may be allowed with appropriate restrictions upon finding that (1) certain conditions as detailed in the Zoning Ordinance exist, and (2) the use or development conforms to the Comprehensive Plan, and (3) is compatible with the existing area.

STANDARDS FOR GRANTING A CONDITIONAL USE PERMIT. In making the determination whether or not the conditional use is to be allowed, the city shall consider (1) the effects of the proposed use on the Comprehensive Plan, (2) and the effects of the proposed use upon the health, safety and general welfare of occupants of surrounding lands. Among other thing, the City shall make the following findings where applicable:

1. The use will not create an excessive burden on existing parks, schools, streets and other public facilities which serve or are proposed to serve the area.
2. The use will be sufficiently compatible or separated by distance or screening from adjacent residentially zoned or used land so that existing homes will not be depreciated in value and there will be no deterrence to development of vacant land.
3. The structure and site shall have an appearance that will not have an adverse effect upon adjacent residential properties.
4. The use, in the opinion of the City, is reasonably related to the overall needs of the City and to the existing land use.
5. The use is consistent with the purpose of this ordinance and the purposes of the zoning district in which the applicant intends to locate the proposed use.
6. The use is not in conflict with the Comprehensive Plan of the City.
7. The use will not cause traffic hazards or congestion.
8. The traffic generated by the proposed use can be safely accommodated on existing or planned street systems; and the existing public roads providing access to the site will not need to be upgraded or improved by the City in order to handle the additional traffic generated by the use.
9. Adequate measures have been taken or are proposed to prevent or control offensive order, fumes, dust, noise, vibration or lighting which would otherwise disturb the use of neighboring property.
10. Adequate utilities, parking, drainage and other necessary facilities will be provided.
11. The proposed use will not impede the normal and orderly development or improvements of the surrounding property.
12. The proposed use will not be injurious to the use and enjoyment of other property in the neighborhood and will not significantly diminish or impair the values of such property.
13. The use will not disrupt the character of the neighborhood.

REQUIRED EXHIBITS FOR CONDITIONAL USE PERMITS

The following items shall be required:

Y \_\_\_\_\_ N \_\_\_\_\_  
 Y \_\_\_\_\_ N \_\_\_\_\_

1. A completed application form.
2. An accurate boundary description of the property.
3. Evidence of ownership or enforceable option on the property.
4. A development plan of the property showing the existing or proposed buildings, streets, access roads, driveways, parking spaces and signs.
5. Landscaping and screening plans.
6. Any additional information deemed necessary by the City to determine the suitability of the particular site for the proposed use.

**NOTE: SUBMITTAL OF THE REQUIRED INFORMATION DOES NOT GUARANTEE THE ISSUANCE OF A CONDITIONAL USE PERMIT. ADDITIONAL INFORMATION MAY BE NEEDED OR CONDITIONS MAY EXIST THAT WOULD PREVENT THE ACTUAL GRANTING OF A CONDITIONAL USE PERMIT.**

2905 South Broadway  
Rochester, MN 55904-5515  
Phone: 507.288.3923  
Fax: 507.288.2675  
Email: rochester@whks.com  
Website: www.whks.com



February 3, 2020

Mr. Tim Ibisch  
City Administrator  
City of Kasson  
401 5th St. SE  
Kasson, MN 55944

RE: Kasson, MN  
Kwik Trip Convenience Store 619 Truck Parking  
Lot 1, Block 1 Travelers Way  
**Review of Construction Plan Set**

Dear Tim:

We have reviewed the construction plan set as submitted for the referenced project, as requested. We offer the following comments on the submitted plans.

General Comments

1. Zoning Review and Fee related items are not included in our review.
2. The applicant is proposing to demolish the existing Kwik Trip Facility and construct an off-site truck parking facility consisting of 14 parking spaces. The proposed improvements will reduce pre-development impervious coverage by 0.50 acres.
3. The subject property to be redeveloped was previously platted as Lot 1, Block 1 Travelers Way and is Zoned C-3.
4. A conditional use permit for the off-site truck parking will be required as per Section 154.080(E)(4) of the City of Kasson Zoning Ordinance, since the proposed truck parking is not located on the same lot as the principal use.
5. The applicant must secure all necessary permits before construction begins including the NPDES construction storm water, Dodge County right-of-way, MnDOT Drainage/Work in Right-of-way. The Owner, or their representative, will be responsible for permit compliance.
6. The site contractor should be required to have a pre-construction meeting and coordinate utility disturbances with City maintenance staff (Charlie Bradford 507.421.2279).

7. Existing water services shall be removed from the main. Small diameter services (corporations) shall be removed from the main and repaired with a repair sleeve. Larger services (fittings) shall be capped at the fitting. Existing sanitary sewer services shall be capped at the property line.
8. A lighting isofocandle plan complying with Section 154.064 Glare of the City of Kasson Zoning Ordinance shall be provided for review.
9. Verify there is not a conflict between the storm sewer and the light pole footing along the west side of the parking lot.
10. Pedestrian facilities and a county road pedestrian crossing should be considered between the parking lot and main store. A pedestrian crossing at 4<sup>th</sup> Ave should be considered.
11. A shared access exists with the adjacent property to the east. An access easement should be provided.

We recommend approval of the plans conditional upon the above items being addressed and resubmitted.

Please contact us if you have any questions.

Sincerely,

**WHKS & CO.**

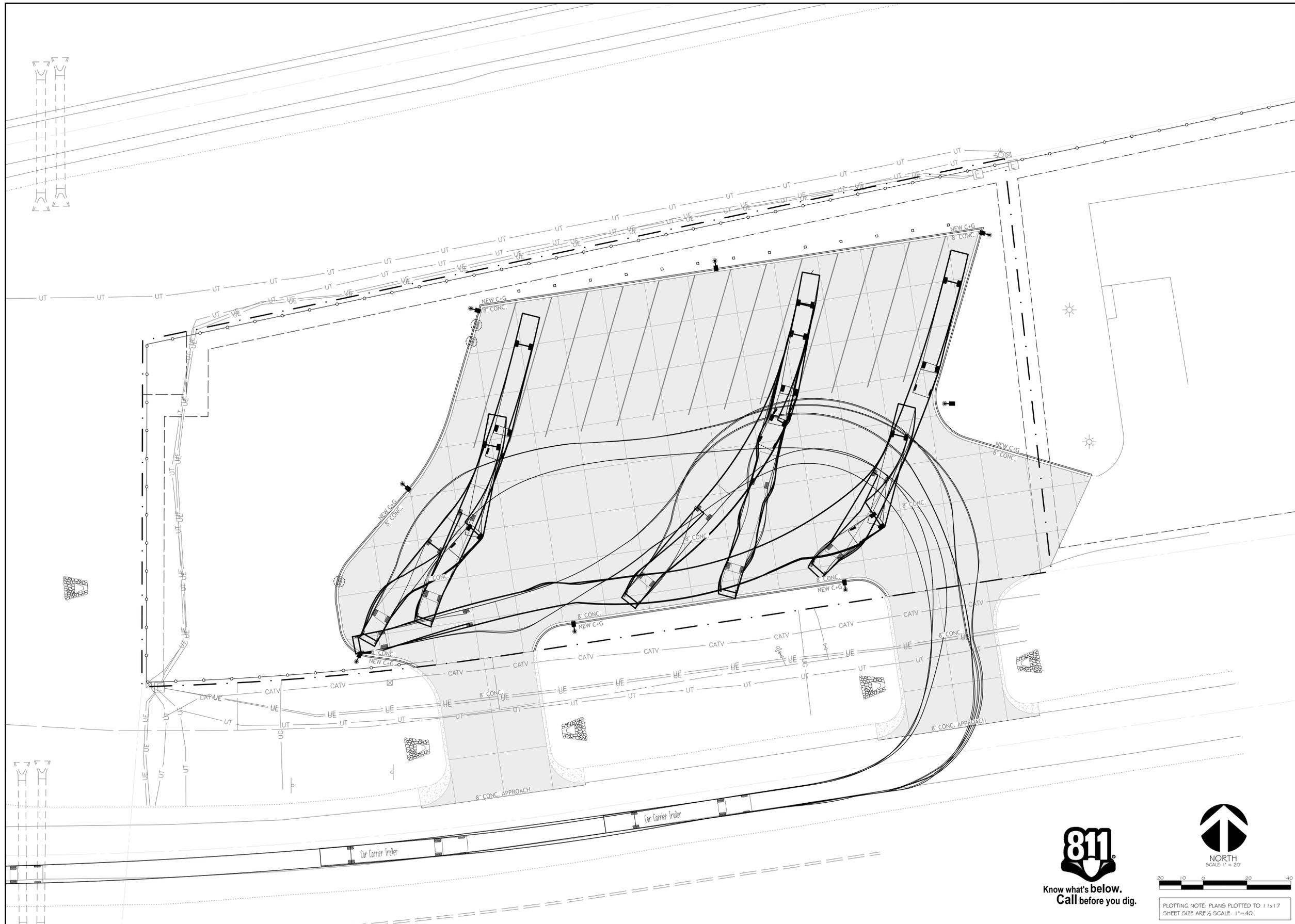


Brandon W. Theobald, P.E.

BWT/bwt

Cc: Charlie Bradford, Public Works Director  
Linda Rappe, City Clerk  
Melanie Leth, City Attorney  
Laura Chamberlain, HKG inc., Consulting Planner  
Nick Newman, Kwik Trip Inc.





**KWIK TRIP, Inc.**  
 P.O. BOX 2107  
 1626 OAK STREET  
 LACROSSE, WI 54602-2107  
 PH. (608) 781-8988  
 FAX (608) 781-8960

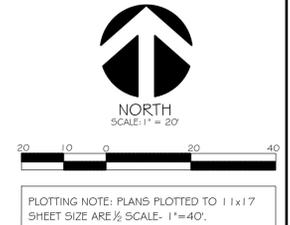
**INSITES**  
 SITE PLANNING LANDSCAPE ARCHITECTURE  
 3030 Harbor Lane North, STE 131  
 Plymouth Minnesota 55447  
 763.383.8400  
 fax 763.383.8400

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision, and that I am a duly licensed Landscape Architect under the laws of the State of Minnesota.  
 Date 09AUG19  
 Signed *[Signature]* Robert J. Mueller

**TURNING PLAN**  
**CONVENIENCE STORE 619 TRUCK PARKING**  
**KASSON, MN**

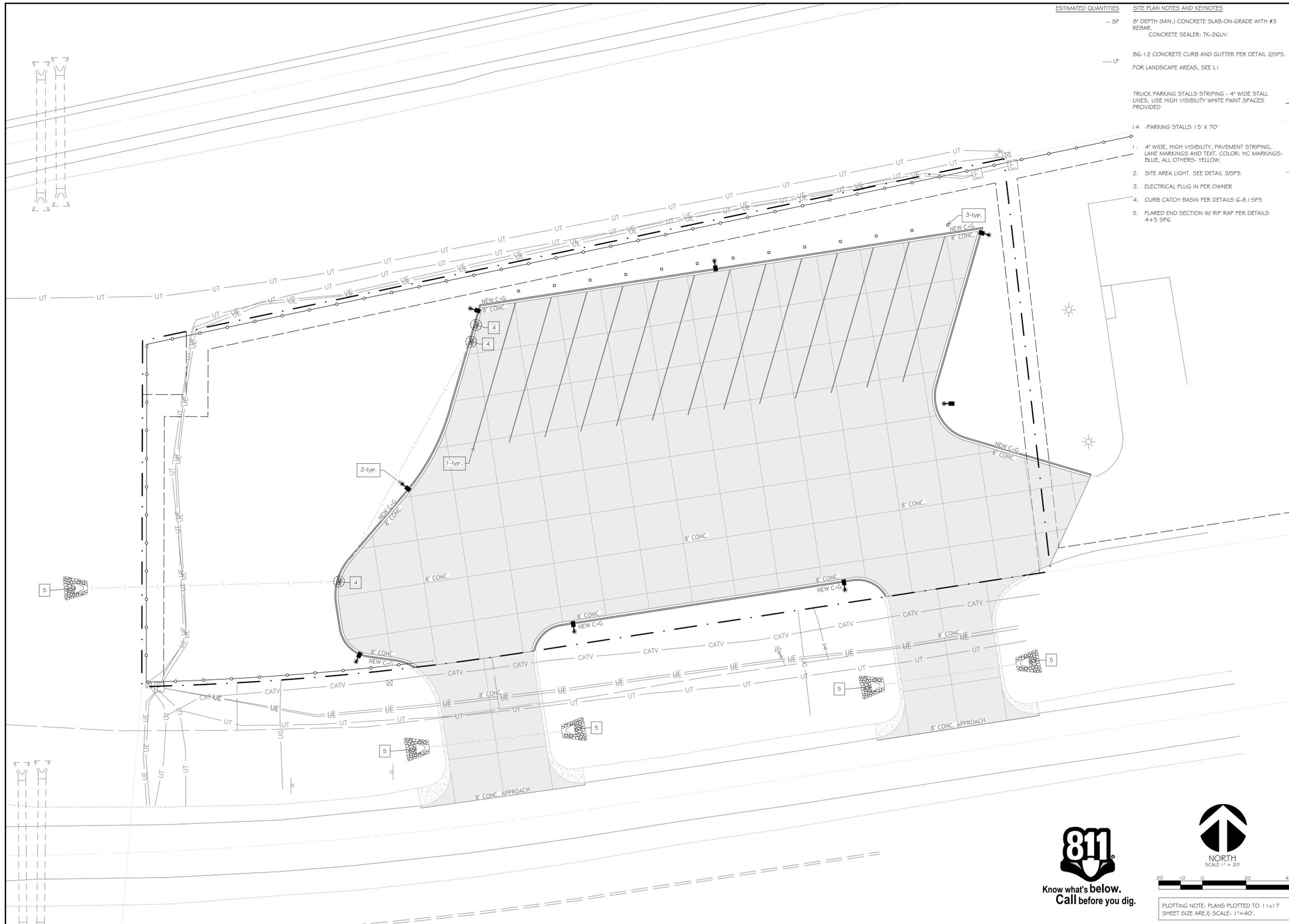
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 DATE: 09AUG19  
 SHEET: **SPT**



INSITES 19-020 PVA N.K.





**ESTIMATED QUANTITIES**

-- 5F 8" DEPTH (MIN.) CONCRETE SLAB-ON-GRADE WITH #3 REBAR.  
CONCRETE SEALER: TK-2GUV

---- LF B6-12 CONCRETE CURB AND GUTTER PER DETAIL 2/SP5.  
FOR LANDSCAPE AREAS, SEE LI

**SITE PLAN NOTES AND KEYNOTES**

TRUCK PARKING STALLS STRIPING - 4' WIDE STALL LINES, USE HIGH VISIBILITY WHITE PAINT. SPACES PROVIDED

14 - PARKING STALLS 15' X 70'

- 4' WIDE, HIGH VISIBILITY, PAVEMENT STRIPING, LANE MARKINGS AND TEXT. COLOR: HC MARKINGS- BLUE, ALL OTHERS- YELLOW.
- SITE AREA LIGHT. SEE DETAIL 3/SP5
- ELECTRICAL PLUG IN PER OWNER
- CURB CATCH BASIN PER DETAILS 6-8 / SP5
- FLARED END SECTION W/ RIP RAP PER DETAILS 4+5 SP6



**KWIK TRIP, Inc.**  
 P.O. BOX 2107  
 1626 OAK STREET  
 LACROSSE, WI 54602-2107  
 PH. (608) 781-8988  
 FAX (608) 781-8960

**INSITES**  
 SITE PLANNING LANDSCAPE ARCHITECTURE  
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 763.383.8400  
 fax 763.383.8400

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision, and that I am a duly licensed Landscape Architect under the laws of the State of Minnesota.

Date 09AUG19  
 Signed Robert J. Mueller

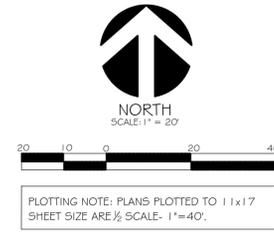
**SITE KEYNOTE PLAN**

**CONVENIENCE STORE 619 TRUCK PARKING**

**KASSON, MN**

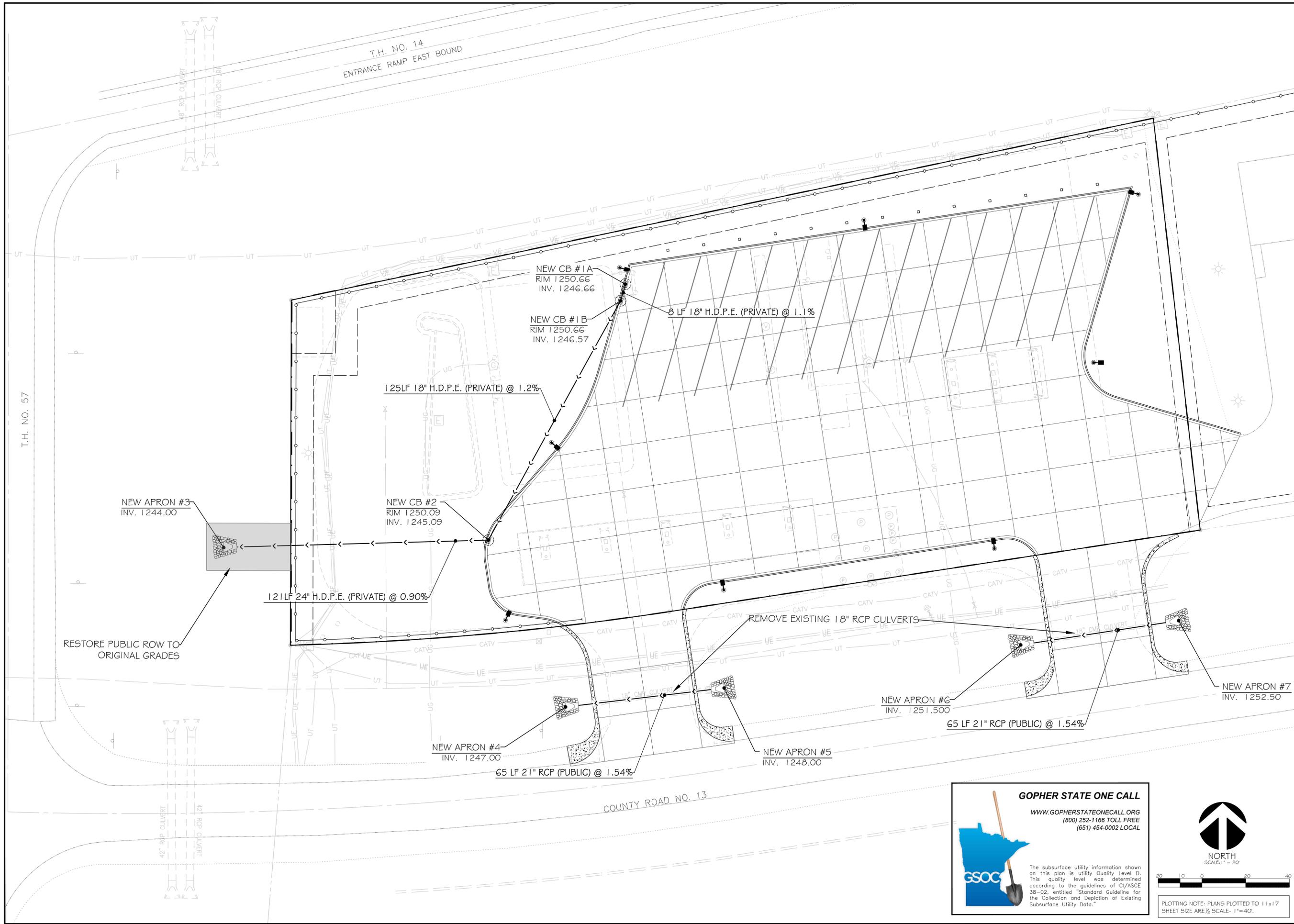
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 DATE 09AUG19  
 SHEET **SP1.1**



INSITES 19-020 PVA N.N.





T.H. NO. 14  
ENTRANCE RAMP EAST BOUND

T.H. NO. 57

COUNTY ROAD NO. 13

**GOPHER STATE ONE CALL**  
[WWW.GOPHERSTATEONECALL.ORG](http://WWW.GOPHERSTATEONECALL.ORG)  
 (800) 252-1166 TOLL FREE  
 (651) 454-0002 LOCAL

The subsurface utility information shown on this plan is utility Quality Level D. This quality level was determined according to the guidelines of CI/ASCE 38-02, entitled "Standard Guideline for the Collection and Depiction of Existing Subsurface Utility Data."

**NORTH**  
SCALE: 1" = 20'

0 10 20 40

PLOTTING NOTE: PLANS PLOTTED TO 11x17 SHEET SIZE ARE 1/2" SCALE. 1" = 40'.



**KWIK TRIP, Inc.**  
 P.O. BOX 2107  
 1626 OAK STREET  
 LACROSSE, WI 54602-2107  
 PH. (608) 781-8988  
 FAX (608) 781-8960

**Sunde Engineering, PLLC**  
 10030 NEBBITT AVENUE SOUTH  
 BLOOMINGTON, MINNESOTA 55407  
 (952) 881-3344 TELEPHONE  
 (952) 881-1912 FAX  
 www.sundecon.com

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

*Brian H. Mundtack*  
 Brian H. Mundtack  
 DATE: 8/9/19 REG. NO.: 23468

**STORM SEWER PLAN**

**CONVENIENCE STORE 619 TRUCK PARKING**

**KASSON, MN**

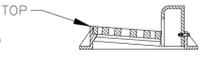
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 DATE: 09AUG19  
 SHEET: **SP3**

G E N E R A L :

- Existing boundary, location, topographic, and utility information shown on this plan is from a field survey by Yaggy Colby Associates dated 10/5/07. The Engineer is not responsible for inaccuracies related to the survey information.
- Perform all construction work in accordance with State and Local requirements.
- Perform all construction activity in accordance with the Minnesota Pollution Control Agency GENERAL STORMWATER PERMIT FOR CONSTRUCTION ACTIVITY issued August 1, 2013 and all subsequent amendments thereto.
- Comply with all applicable local, state, and federal safety regulations. Comply with the work safety practices specified by the Occupational Safety and Health Administration (OSHA). OSHA prohibits entry into "confined spaces," such as manholes and inlets (see 29 CFR Section 1910.146), without undertaking certain specific practices and procedures. Perform excavations in accordance with the requirements of O.S.H.A. 29 CFR, Part 1926, Subpart F, Excavations. Sloping or benching for excavations greater than 20 feet deep must be approved by a registered professional engineer (www.osha.gov).
- Safety is solely the responsibility of the Contractor, who is also solely responsible for the construction means, methods, techniques, sequences or procedures, and for safety precautions and programs in connection with the Work.
- The Engineer shall not have control over, charge of, or responsibility for the construction means, methods, techniques, sequences or procedures, or for safety precautions and programs in connection with the Work. The Engineer's review shall not constitute approval of safety precautions or of any construction means, methods, techniques, sequences, or procedures.
- Examine all local conditions at the site, and assume responsibility as to the grades, contours, and the character of the earth, existing conditions, and other items that may be encountered during excavation work above or below the existing grades. Review the drawings, specifications, and geotechnical report covering this work and become familiar with the anticipated site conditions.
- Refer to the architectural plans for building and stoop dimensions, site layout and dimensions, pavement sections and details, striping, and other site features.
- A licensed surveyor shall perform construction staking. The Contractor shall provide and be responsible for the staking. Verify all plan and detail dimensions prior to construction staking. Stake the limits of walkways and curbing prior to valvebox, maintenance hole, and catchbasin installation. Adjust valvebox and maintenance hole locations in order to avoid conflicts with curb and gutter. Adjust catchbasin locations in order to align properly with curb and gutter.
- Provide temporary fences, barricades, coverings, and other protections in order to preserve existing items to remain, and to prevent injury or damage to person or property.
- Provide all traffic control required in order to construct the proposed improvements. Traffic control design and associated government approvals are the responsibility of the Contractor. Comply with local authorities and the latest version of the Minnesota Manual on Uniform Traffic Control Devices (MMUTCD), including the Field Manual for Temporary Traffic Control Zone Layouts. If the temporary traffic control zone affects the movement of pedestrians, provide adequate temporary pedestrian access and walkways. If the temporary traffic control zone affects an accessible and detectable pedestrian facility, maintain accessibility and detectability along the alternate pedestrian route in accordance with the provisions for pedestrian and worker safety contained in Part 6 of the MMUTCD.
- All existing existing sewer and watermain pipes that are to be abandoned shall either be removed, or completely filled with sand or lean mix grout.
- Separation of Water and Sewer: Construct sewer and water services in accordance with Minnesota Rules, part 4714.0721 and Uniform Plumbing Code (UPC) parts 720.0 and 721.0. Provide a minimum horizontal separation of 10 feet between all water and sewer lines, including manholes, catch basins, storm sewer, sanitary sewer, draintile, or other potential sources for contamination. Measure the separation distance from the outer edge of the pipe to the outer edge of the contamination source (outer edge of structures, piping, etc.). At water and sewer crossings, the bottom of the water pipe located within ten feet of the point of crossing must be at least 12-inches above the sewer. When this is not feasible, the sewer pipe material must be approved for use inside of or within a building in accordance with the requirements of Minnesota Rules part 4714.0701 and UPC part 701.0. No joints or connections are allowed on the water line within 10-feet of the crossing.
- The subsurface utility information shown on this plan is utility Quality Level D. This quality level was determined according to the guidelines of CI/ASCE 38-02, entitled "Standard Guideline for the Collection and Depiction of Existing Subsurface Utility Data."
- The locations of existing utilities shown on this plan are from record information. The Engineer does not guarantee that all existing utilities are shown or, if shown, exist in the locations indicated on the plan. It is the Contractor's responsibility to ascertain the final vertical and horizontal location of all existing utilities (including water and sewer lines and appurtenances). Notify the Engineer of any discrepancies.
- The Contractor is solely responsible for all utility locates. Contact utility companies for locations of all public and private utilities within the work area prior to beginning construction. Contact GOPHER STATE ONE CALL at (651) 454-0002 in the Minneapolis/St. Paul metro area, or 1-800-252-1166 elsewhere in Minnesota for exact locations of existing utilities at least 48 working hours (not including weekends and holidays) before beginning any construction in accordance with Minnesota Statute 216D. Obtain ticket number and meet with representatives of the various utilities at the site. Provide the Owner with the ticket number information. Gopher State One Call is a free service that locates municipal and utility company lines, but does not locate private utility lines. Use an independent locator service or other means in order to obtain locations of private utility lines including, but not limited to, underground electric cables, telephone, TV, and lawn sprinkler lines.
- Pothole to verify the positions of existing underground facilities at a sufficient number of locations in order to assure that no conflict with the proposed work exists and that sufficient clearance is available.
- Where existing gas, electric, cable, or telephone utilities conflict with the Work, coordinate the abandonment, relocation, offset, or support of the existing utilities with the appropriate local utility companies. Coordinate new gas meter and gas line installation, electric meter and electric service installation, cable service, and telephone service installation with the local utility companies.
- Arrange for and secure suitable disposal areas off-site. Dispose of all excess soil, waste material, debris, and all materials not designated for salvage. Waste material and debris includes trees, stumps, pipe, concrete, asphaltic concrete, cans, or other waste material from the construction operations. Obtain the rights to any waste area for disposal of unsuitable or surplus material either shown or not shown on the plans. All work in disposing of such material shall be considered incidental to the work. All disposal must conform to applicable solid waste disposal permit regulations. Obtain all necessary permits at no cost to the OWNER.
- Straight line saw-cut existing bituminous or concrete surfacing at the perimeter of pavement removal areas. Use saws that provide water to the blade. Do not allow the slurry produced by this process to be tracked outside of the immediate work area or discharged into the sewer system. Tack and match all connections to existing bituminous pavement.
- Relocate overhead power, telephone, and cable lines as required. Seal and report any existing unused on-site wells and septic systems in accordance with Minnesota Department of Health (MDH) requirements. Provide the MDH with a Well and Boring Sealing Record, or certify in writing that there are no unused wells on the property.
- All materials required for this work shall be new material conforming to the requirements for class, kind, grade, size, quality, and other details specified herein or as shown on the Plans. Do not use recycled or salvaged aggregate, asphaltic pavement, crushed concrete, or scrap shingles. Unless otherwise indicated, the Contractor shall furnish all required materials.
- Reconstruct driveways and patch street to match existing pavement section and grade. Sod right-of-way. The work area shown is general and may need to be adjusted in the field.
- Restore the public right-of-way at temporary construction entrance locations. Replace any concrete curb and gutter, bituminous pavement, sidewalk, or vegetative cover damaged by the construction activity. Restore damaged turf with sod within the public right-of-way. The work area shown is general and may need to be adjusted in the field.
- Provide and maintain temporary drainage throughout construction until the permanent drainage system and structures are in place and operational. Install temporary ditches, piping, pumps, or other means as necessary in order to insure proper drainage at all times. Provide low points at building pads or roadways with positive outfalls.
- Protect sub grades from damage by surface water runoff.
- Full design strength is not available in bituminous pavement areas until the final lift of asphalt is compacted into place. Protect pavement areas from overloading by delivery trucks, construction equipment, and other vehicles.
- When sawing or drilling concrete or masonry, use saws that provide water to the blade. Do not allow the slurry produced by this process to be tracked outside of the immediate work area or discharged into the sewer system.
- Adjust all curb stops, valve boxes, maintenance hole castings, catchbasin castings, cleanout covers, and similar items to finished grade.
- Install all pipe with the ASTM identification numbers on the top for inspection. Commence pipe laying at the lowest point in the proposed sewer line. Lay the pipe with the bell end or receiving groove end of the pipe pointing upgrade. When connecting to an existing pipe, uncover the existing pipe in order to allow any adjustments in the proposed line and grade before laying any pipe. Do not lay pipes in water or when the trench conditions are unsuitable for such work.
- Obtain and pay for all permits, tests, inspections, etc. required by agencies that have jurisdiction over the project including the NPDES permit from the State. The Contractor is responsible for all bonds, letters of credit, or cash sureties related to the work. Execute and inspect work in accordance with all local and state codes, rules, ordinances, or regulations pertaining to the particular type of work involved.
- Obtain permits from the City for work in the public right-of-way.
- Refer to the geotechnical report by the Soils Engineer for dewatering requirements.
- Construct sanitary sewer, watermain, and storm sewer utilities in accordance with the City Engineer's Association of Minnesota Standard Specifications sections 2600, 2611, and 2621 dated 2013, or the latest revised edition.
- Install detectable underground marking tape directly above all pvc, polyethylene, and other nonconductive underground utilities at a depth of 457 mm (18 inches) below finished grade, unless otherwise indicated. Bring the tape to the surface at various locations in order to provide connection points for locating underground utilities. Install Rhino TrView Flex Test Stations, or approved equal, at each surface location.
- Secure and deliver to the Owner as-built information showing locations, top, and invert elevations of maintenance holes, catchbasins, cleanouts, inlet and outlet pipes, valves, hydrants, and related structures. Location ties shall be to permanent landmarks or buildings.
- Place #3 rebar at 3' on center in all 6" thick concrete pavement locations. Place #4 rebar at 3' on center in all 8" thick concrete pavement locations.
- Place #4 x 2'-0" tie bar at 3' on center in all concrete curb and gutter.

S T O R M D R A I N A G E :

- Unless otherwise indicated, use reinforced, precast, concrete maintenance holes and catchbasins conforming to ASTM C478, furnished with water stop rubber gaskets and precast bases. Joints for all precast maintenance hole sections shall have confined, rubber "O"-ring gaskets in accordance with ASTM C443. These joints are normally used in sewers to hold infiltration and exfiltration to a practical minimum and are adequate for hydrostatic heads up to 30'. The inside barrel diameter shall not be less than 48 inches.
- Install catchbasin castings with specified top elevation at the front rim. 
- All joints and connections in the storm sewer system shall be gastight or watertight. Use flexible compression joints to make watertight connections to manholes in accordance with Minnesota Rules part 4714.0719.6. Where permitted by the administrative authority, approved resilient rubber seals or waterstop gaskets may be used in order to make watertight connections to manholes, catchbasins, and other structures. Use Fernco "Concrete Manhole Adaptors" or "Large Diameter Waterstops", Press-Seal "Waterstop Grouting Rings", or approved equal. Cement mortar joints alone are not allowed unless making repairs or connections to existing lines having such joints.
- The building sewer starts 2 feet outside of the building. See Uniform Plumbing Code (UPC) part 715.1. Material installed within 2 feet of the building must be of materials approved for use inside of or within the building.
- The exterior storm water piping must comply with the following requirements: (A) Double wyes may not be used for drainage fittings in the horizontal position (see Minnesota Rules, Chapter 4714, Section 310.5). Proper pipe slope cannot be maintained on both of the offset branches. (B) Changes in direction in drainage piping must be made by appropriate use of wyes and bends (see Minnesota Rules, Chapter 4714, Section 706.0). Tees are not allowed where the direction of flow changes from either vertical to horizontal or horizontal to horizontal.
- RCP: Reinforced concrete pipe (RCP) and fittings shall conform to ASTM C76, Design C, with circular reinforcing for the class of pipe specified. Use Class IV RCP for pipes 21" and larger. Use Class V RCP for pipes 18" and smaller. Joints shall be made up of concrete surfaces with a groove on the spigot for an O-ring rubber gasket (also referred to as a confined O-ring type joint) in accordance with ASTM C361. These joints are normally used in gravity sewers where exceptional tightness is required. This type of joint provides excellent inherent water tightness in both the straight and deflected position and meets all the joint requirements of ASTM C443.
- RC Aprons: Install a reinforced concrete apron on the free end of all daylighted RCP storm sewer pipes. Tie the last three sections (including apron) of all daylighted RCP storm sewer with a minimum of two tie bolt fasteners per joint. This requirement applies to both upstream and downstream pipe inlets and outlets. For concrete culverts, tie all joints. Ties to be used only to hold the pipe sections together, not for pulling the sections tight. Nuts and washers are not required on inside of 675 mm (27 inch) or less diameter pipes.
- Grates on horizontal pipes: Install safety-trash grates on all horizontal inlets/outlets greater than 6 inches in diameter. The grates shall be placed so that the rods or bars are not more than 3 inches downstream of the inlet/outlet. Rods or bars shall be spaced so that the openings do not permit the passage of a 6-inch sphere.
- Testing: Test all portions of storm sewer that are within 10 feet of buildings, within 10 feet of buried water, lines, within 50 feet of water wells, or that pass through soil or water identified as being contaminated in accordance with the Minnesota Rules part 4714.1109 and UPC part 1109.0. Test all flexible storm sewer lines for deflection after the sewer line has been installed and backfill has been in place for at least 30 days. No pipe shall exceed a deflection of 5%. If the test fails, make necessary repairs and retest.
- Draintile: In accordance with Minnesota Rules part 4714.1102.5, use perforated polyvinyl chloride PVC (ASTM D2729) or corrugated polyethylene PE (ASTM F405) on all draintile 3-inches to 6-inches in diameter. Install draintile with high permeability circular knit polymeric filament filter sock per ASTM D6707-01. MnDot 3733 Type I sewn seam non-woven fabric shall not be used. Draintile pipe directly connected to the storm sewer is classified as storm sewer. Draintile inlet elevations to the catch basins must be above the storm sewer outlet elevations.
- Use Neenah R-3067-DR/DL casting with curb box, or approved equal, on CB #1A, CB #1B, and CB #2. Casting shall include the "NO DUMPING, DRAINS TO RIVER," environmental notice.
- Install detectable underground marking tape directly above all pvc, polyethylene, and other nonconductive underground utilities at a depth of 457 mm (18 inches) below finished grade, unless otherwise indicated. Bring the tape to the surface at various locations in order to provide connection points for locating underground utilities. Install green Rhino TrView Flex Test Stations, or approved equal, with black caps at each surface location.
- Install all pipe with the ASTM identification numbers on the top for inspection. Commence pipe laying at the lowest point in the proposed sewer line. Lay the pipe with the bell end or receiving groove end of the pipe pointing upgrade. When connecting to an existing pipe, uncover the existing pipe in order to allow any adjustments in the proposed line and grade before laying any pipe. Do not lay pipes in water or when the trench conditions are unsuitable for such work.
- Clean sediment and debris from sewers, sumps and stormwater basins prior to final owner acceptance.

H D P E R E Q U I R E M E N T S :

- Install dual-wall, smooth interior, corrugated high-density polyethylene (HDPE) pipe at locations indicated on the plan. High-density polyethylene (HDPE) storm sewers must meet ASTM F714 (see Minnesota Rules, Chapter 4714 and Installation Standard 1).
- Dual-wall, smooth interior, corrugated high-density polyethylene (HDPE) pipe shall conform to the requirements of AASHTO M252 for pipe sizes 4-inch to 10-inch diameter. Dual-wall, smooth interior, corrugated high-density polyethylene (HDPE) pipe shall conform to the requirements of ASTM F2306 for pipe sizes 12-inch to 60-inch diameter.
- All fittings must comply with ASTM Standard D3212.
- Water-tight joints must be used at all connections including structures in conformance with ASTM F2510.
- HDPE pipe connections into all concrete structures must be made with water tight materials utilizing Nyoplast "Manhole Adaptors" along with Press-Seal or Kor-N-Seal "Watertight Connector", Cost-A-Seal "Precast Watertight Connector", or approved equals. Where the alignment precludes the use of the above approved watertight methods, Corseal 231 WaterStop sealant, or approved equal will only be allowed as approved by the Administrative Authority.
- Lay all HDPE pipe on a continuous granular bed. Installation must comply with ASTM D2321. All sections of the corrugated HDPE pipe shall be coupled in order to provide water tight joints.
- Perform deflection tests on all HDPE pipe after the sewer lines have been installed and backfill has been in place for at least 30 days. No pipe shall exceed a deflection of 5%. If the test fails, make necessary repairs and perform the test again until acceptable. Supply the mandrel for deflection testing. If the deflection test is to be run using a rigid ball or mandrel, it shall have a diameter equal to 95% of the inside diameter of the pipe. The ball or mandrel shall be clearly stamped with the diameter. Perform the tests without mechanical pulling devices.
- After installation, the underground stormwater storage system must pass a manometer test with one inch of water column for five minutes in accordance with Minnesota Rules, part 4715.1115.

**KWIK TRIP**

**KWIK STAR**

**KWIK TRIP, Inc.**  
**P.O. BOX 2107**  
**1626 OAK STREET**  
**LACROSSE, WI 54602-2107**  
**PH. (608) 781-8988**  
**FAX (608) 781-8960**



I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A FULLY LICENSED PROFESSIONAL ENGINEER UNDER THE LAWS OF THE STATE OF MINNESOTA.

*Brian L. Mundstock*  
 Brian L. Mundstock  
 DATE: 8/9/19 REG. NO.: 23468

**STORM SEWER NOTES**

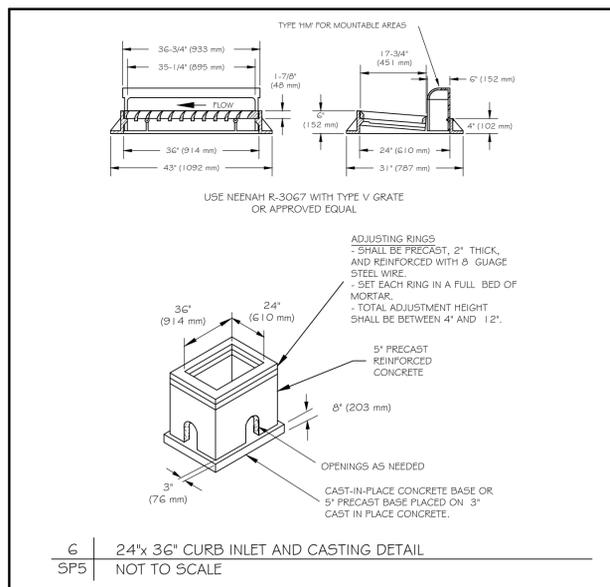
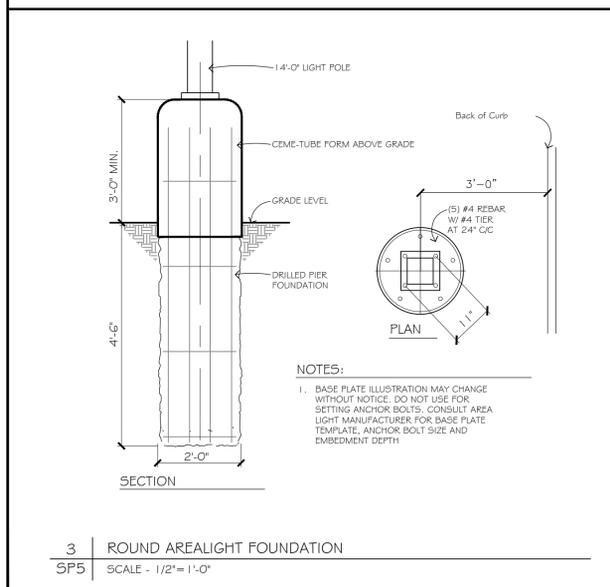
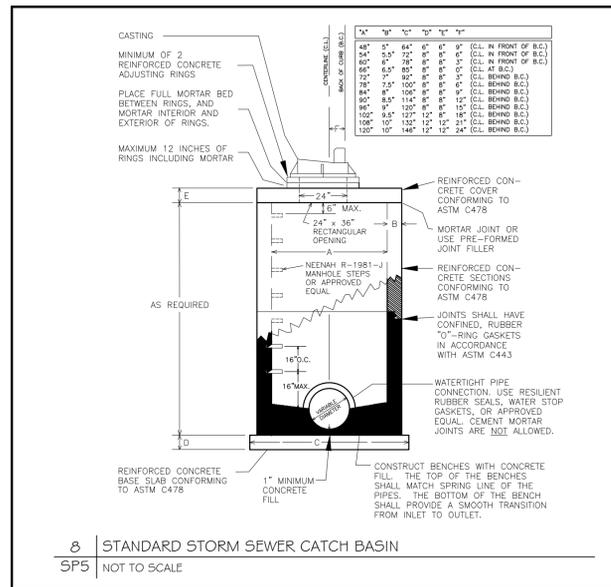
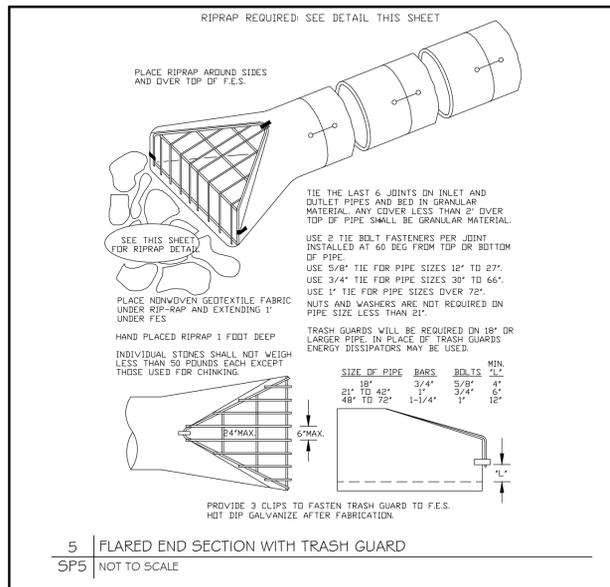
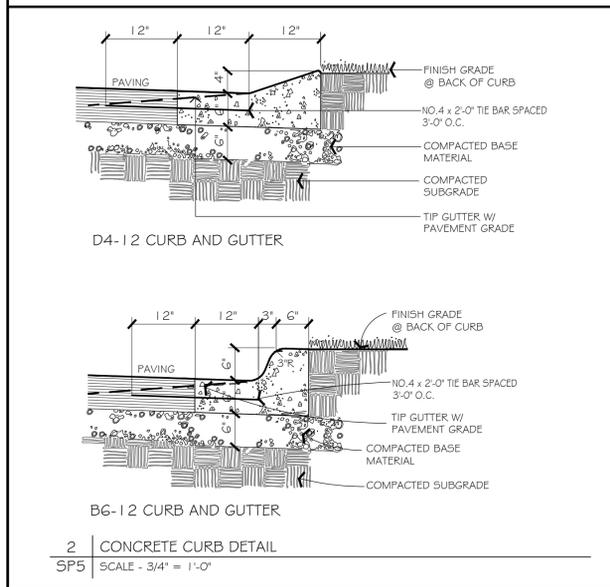
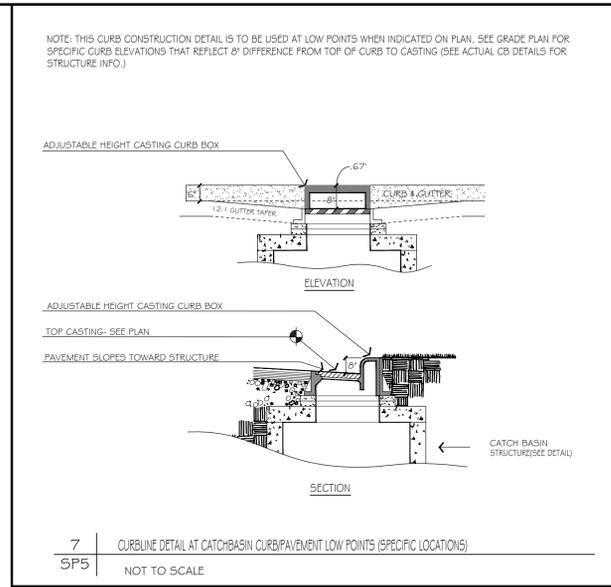
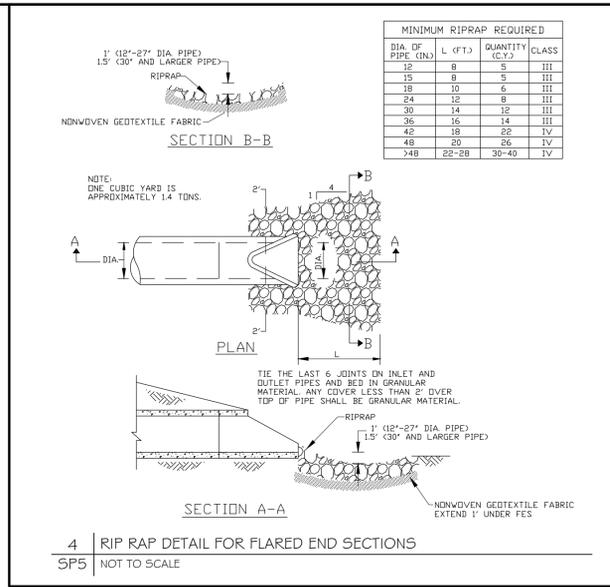
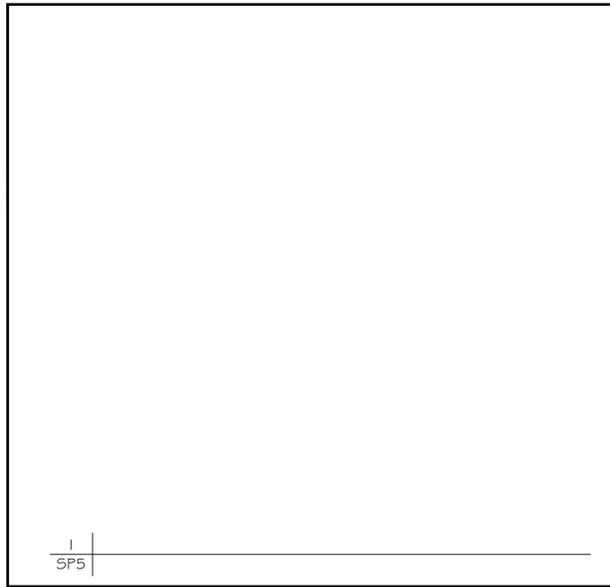
**CONVENIENCE STORE 619 TRUCK PARKING**

**KASSON, MN**

NO.	DATE	DESCRIPTION

DRAWN BY \_\_\_\_\_  
 SCALE \_\_\_\_\_ GRAPHIC \_\_\_\_\_  
 PROJ. NO. 19G19  
 DATE 09AUG19  
 SHEET \_\_\_\_\_

**SP3.1**



**KWIK TRIP, Inc.**  
 P.O. BOX 2107  
 1626 OAK STREET  
 LACROSSE, WI 54602-2107  
 PH. (608) 781-8988  
 FAX (608) 781-8960

**INSITES**  
 SITE PLANNING LANDSCAPE ARCHITECTURE  
 3030 Harbor Lane North, STE 131  
 Plymouth Minnesota 55447  
 763.383.8400  
 fax 763.383.8400

I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision, and that I am a duly licensed Landscape Architect under the laws of the State of Minnesota.  
 Date 09AUG19  
 Signed Robert J. Mueller

**SITE PLAN DETAILS**

**CONVENIENCE STORE 619 TRUCK PARKING**

**KASSON, MN**

NO.	DATE	DESCRIPTION

DRAWN BY: \_\_\_\_\_  
 SCALE: GRAPHIC  
 PROJ. NO.: 19619  
 DATE: 09AUG19  
 SHEET: **SP5**

INSITES 19-020 PVA N.A.



**SWPPP DESIGN CERTIFICATION**  
 I, Robert Mueller, hereby certify that I have completed designer SWPPP, Erosion and Stormwater Management Certification Program. My certification expires May 2020.

**SWPPP INSTALLER CERTIFICATION**  
 I hereby certify that I have completed installer SWPPP, Erosion and Stormwater Management Certification Program.  
 signed \_\_\_\_\_  
 expiration \_\_\_\_\_

**SWPPP INSPECTOR CERTIFICATION**  
 I hereby certify that I have completed inspector SWPPP, Erosion and Stormwater Management Certification Program.  
 signed \_\_\_\_\_  
 expiration \_\_\_\_\_

- CONSTRUCTION SEQUENCE**
- \*INSTALL EROSION/SEDIMENT CONTROL MEASURES
  - \*INSTALL STORMWATER MANAGEMENT AND/OR POND/SEDIMENT BASINS
  - \*INSTALL STORM SEWER
  - \*INSTALL STRUCTURES
  - \*INSTALL PAVEMENTS
  - \*INSTALL SMALL UTILITIES (GAS, ELECTRIC, PHONE, CABLE, ETC.)
  - \*INSTALL LAWN/LANDSCAPE
  - \*FLUSH STORM SEWER
  - \*REMOVE EROSION CONTROL MEASURES ONLY AFTER ALL PAVEMENTS HAVE BEEN INSTALLED AND ALL SOILS HAVE BEEN STABILIZED

PROVIDE TEMPORARY EROSION CONTROL ON EXPOSED SOILS BANKS AT ALL TIMES. PROVIDE LONG TERM PERMANENT EROSION CONTROL-SEE LANDSCAPE PLAN AND SWPP NOTES FOR MORE INFORMATION

EROSION CONTROL BLANKET ON SIDE SLOPES OF 3:1 OR GREATER DOUBLE NETTED LIGHT DUTY

ALL EROSION CONTROL MEASURES SHALL BE IMPLEMENTED AND CONSTRUCTED IN ACCORDANCE TO STATE AND DNR TECHNICAL STANDARDS

ALL SILT FENCE MUST BE INSTALLED BY THE CONTRACTOR AND INSPECTED BY THE CITY PRIOR TO ANY SITE WORK.

SITE EROSION CONTROL MEASURES MUST BE IN PLACE AT ALL TIMES. SHOULD DEVICES BE REMOVED FOR WORK ACCESS, THEY SHALL BE REINSTALLED AT THE END OF EACH WORK DAY UNTIL PAVEMENTS HAVE BEEN INSTALLED AND ALL LANDSCAPE AREAS HAVE BEEN MULCHED AND SODDED. SEEDED AREAS MUST EXHIBIT MINIMUM OF 70% SOIL COVERAGE.

REFER TO THE SWPPP PLAN NOTES AND DETAIL SHEETS SWP2-4 FOR MORE INFORMATION.

CONTACT NICK NEWMAN  
 KWIK TRIP INC  
 1626 OAK STREET  
 LACROSSE, WI 54602  
 608-793-6199

**PROJECT DATA**

PROJECT START DATE: SEPT 2019  
 PROJECT COMPLETION DATE: DECEMBER 2019

**SITE AREA DATA**

TOTAL SITE AREA: 72,305 SF  
 PRE-CONSTRUCTION IMPERVIOUS AREA: 63,272 SF  
 POST-CONSTRUCTION IMPERVIOUS AREA: 41,606 SF  
 APPROX. AREA OF LAND DISTURBANCE: 100%

**SITE RUNOFF COEFFICIENT (CN)**

PRE-CONSTRUCTION: 96  
 POST-CONSTRUCTION: 90

**SOIL DATA**

SURFACE SOIL: READLYN SILT LOAM  
 SUB-SURFACE SOIL: --

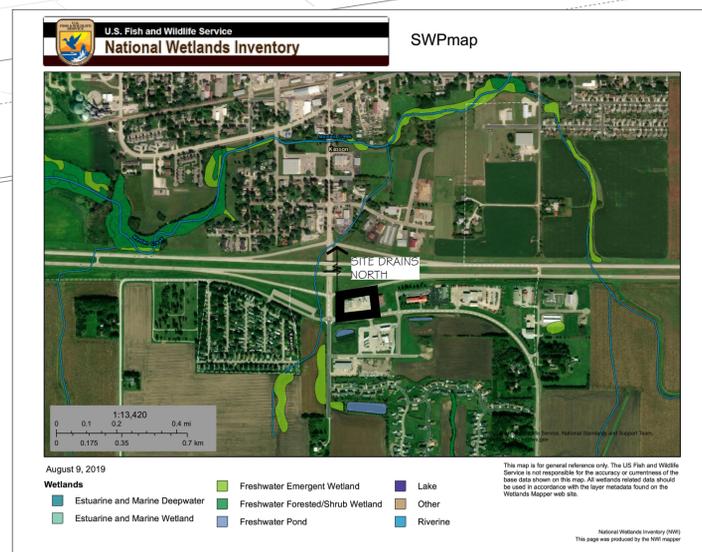
DEPTH OF GROUND WATER: --FT

DOWN-STREAM TRIBUTARY: SOUTH BRANCH MIDDLE FORK ZUMBRO RIVER WATERSHED

**Estimated Preliminary Erosion Control Quantities**  
 (actual quantities subject to change)

Item	Quantity
Rock Construction Entrance	260 sq.yd.
Silt Sack	3 (total structures to protect)
Erosion Control Blanket (basin)	205 sq.yd.
Rip Rap	15 cu. yd.
Silt Fence	1,075 l.f.
Rock Filtration dikes	-- l.f.
Bio Roll/erosion log	200 l.f.

Note: for maintenance purposes contractor shall all sufficient quantities for repair and replacement of erosion control devices throughout all phases of the projects construction.



**811**  
 Know what's below.  
 Call before you dig.

**NORTH**  
 SCALE: 1" = 20'

PLOTTING NOTE: PLANS PLOTTED TO 11x17 SHEET SIZE ARE 1/2" SCALE. 1" = 40'.



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I hereby certify that this plan, specification, or report was prepared by me or under my direct supervision, and that I am a duly licensed Landscape Architect under the laws of the State of Minnesota.

Date 09AUG19  
 Signed: Robert J. Mueller

**EROSION CONTROL PLAN**

**CONVENIENCE STORE 619 TRUCK PARKING**

**KASSON, MN**

NO.	DATE	DESCRIPTION

DRAWN BY: GRAPHIC  
 PROJ. NO.: 19619  
 DATE: 09AUG19  
 SHEET: **SWP1**

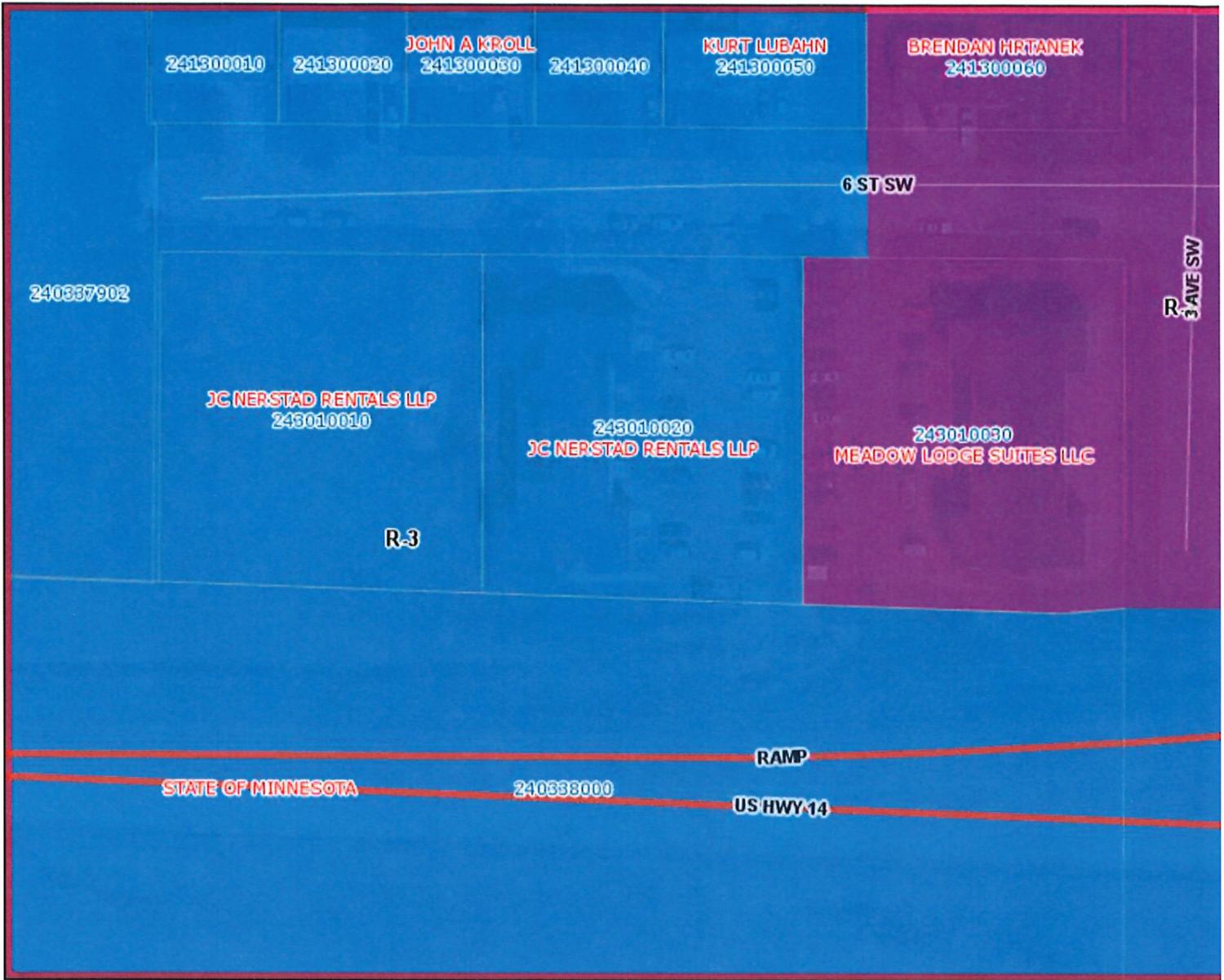








# ArcGIS WebMap



February 5, 2020

Parcels	Roads	CITY	PVT
PIN	CARG	CSAHG	RR
Name	CARP	CSAHP	SHWY

0  
|  
0

NPGS, Goodhue Cc

**RESOLUTION #12.4-18  
CITY OF KASSON**

**RESOLUTION APPROVING A CONDITIONAL USE PERMIT  
TO ALLOW FOR A PLANNED UNIT DEVELOPMENT AT  
HACKS ADDITION & HACKS SECOND ADDITION, KASSON, MN**

**WHEREAS**, Aaron and Sonja Thompson, owners of the property in question has submitted a request for a Conditional Use Permit to allow for a Planned Unit Development (PUD) at Hacks Addition and Hacks Second Addition, Kasson, MN, and;

**WHEREAS**, at a public hearing duly held on the 10th day of December, 2018, the Planning Commission heard testimony of all persons wishing to comment on the proposed Conditional Use Permit to allow for a Planned Unit Development; and

**WHEREAS**, the appropriate City Staff and consultants have performed a technical review of the application, including attachments, for a Conditional Use Permit to allow for a Planned Unit Development; and

**WHEREAS**, following the public testimony and report of the technical review, the Planning Commission reviewed all relevant information regarding the proposed Conditional Use Permit to allow for a Planned Unit Development and recommends approval;

**NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF KASSON, MINNESOTA that the following Findings are hereby adopted regarding the application for a Conditional Use Permit to allow for a PUD at Hacks Addition and Hacks Second Addition, Kasson, MN:**

**SECTION 154.338**

**(A)**

1. A PUD is consistent with the Comprehensive Plan Goal 5.4 to develop a diverse and high quality housing stock that meets the needs of current and future resident at all stages of life and at various income levels.
2. A PUD is an effective treatment of the property; providing for preservation of the current amenities.
3. A PUD will harmonize with proposed housing development in areas surrounding the elementary school.
4. The proposed development is a Conditional Use under Section 154.147(c) of the Code.
5. The Development Agreement will require a Letter of Credit sufficient to assure completion of the PUD.

**(B)** The primary use is a Conditional Use allowed in the R-1 Zoning District.

**(C)** The PUD will preserve the current terrain characteristics of the site.

**(D)** The architectural style of buildings has been reviewed by the Planning and Zoning Commission.

**SECTION 154.339 (A)**

The PUD shall be a residential development, consists of 1.575 acres more or less and maintains a minimum of 30% green space.

**SECTION 154.340**

The application, procedures and requirements to establish a Planned Unit Development shall apply.

**SECTION 154.029 (B)(2)**

- (a) The City recently acquired the expanded Lion’s Park, Kasson-Mantorville Public Schools have completed two expansion projects, the City Streets have already been constructed, the Wastewater Treatment Plant expansion is underway and discussion of a new water tower has been initiated.
- (b) The development of Hacks Addition and Hacks Second Addition, Kasson, MN will not deter development of vacant land.
- (c) The proposed design will blend with the surrounding residential neighborhood.
- (d) (k) (l) (m) The proposed development completes the neighborhood.
- (e) The proposed Planned Unit Development is compatible with the existing area.
- (f) A Planned Unit Development is consistent with the Comprehensive Plan Goal 5.4 to develop a diverse and high quality housing stock that meets the needs of current and future resident at all stages of life and at various income levels.
- (g) (h) (i) The proposed development of twelve (12) townhomes to be served by a private street accessed from 16<sup>th</sup> Street NE.
- (h) The proposed development includes access to utilities, parking and storm water management.

**BE IT FURTHER RESOLVED that the Conditional Use Permit to allow for Planned Unit Development at Hacks and Hacks 2<sup>nd</sup> Addition, Kasson, MN, is hereby approved subject to the following conditions of approval:**

1. Approval of the Final Construction Plans by the City Engineer (to include by not limited to turnaround to meet State Building Code, hydrant location and sub-drain access),
2. Approval of the Preliminary Plat and Final Plat (to include, but not limited to, utility access easements, utility easements, drainage Easements and trail easements);
3. Executed Development Agreement
4. Restore Pavement to Current Condition and Chip Seal (after hook-up and sewer connection to 16<sup>th</sup> Street manhole);
5. Association Documents at Final Plat (include private drive, private water and sewer);
6. Documentation of Sealed Well .

**Adopted** this 12<sup>th</sup> day of December, 2018.

\_\_\_\_\_  
Chris McKern, Mayor

**ATTEST:**

\_\_\_\_\_  
Linda Rappe, City Clerk

The motion for adoption of the foregoing resolution was made by Mayor McKern and duly seconded by Council Member Borgstrom. Upon a vote being taken, the following members voted in favor thereof: Borgstrom, Buck, Egger, McKern and Zelinske. Those against same: None.

# THOMPSON ADDITION

16TH STREET NE

50'

50'

S 89°54'05" E 235.07

97.00

97.00

40'

32.07

97.00

97.00

40'

S 89°54'05" E 235.07

UNPLATTED

EXISTING 10' U.E. PER HACKS ADD.

EXISTING 10' U.E. PER HACKS ADD.

VACATED U.E.

VACATED U.E.

EXISTING 10' U.E. PER HACKS ADD.

EXISTING 10' U.E. PER HACKS ADD.

VACATED U.E.

VACATED U.E.

VACATED U.E.

VACATED U.E.

VACATED U.E.

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UNPLATTED

S 00°05'55" W 292.00

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UNPLATTED

HACKS

OUTLOT A

N 00°05'55" E 143.00

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UNPLATTED

N 00°05'55" E 292.00

N 89°54'05" W 106.00

S 00°05'55" W 292.00

N 00°05'55" E 149.00

S 00°05'55" W 292.00

N 00°05'55" E 149.00

S 00°05'55" W 292.00

N 00°05'55" E 149.00

UNPLATTED

36.00

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UNPLATTED

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UNPLATTED

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UNPLATTED

UNPLATTED

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UNPLATTED

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UNPLATTED

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UNPLATTED

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UNPLATTED

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97.00

97.00

UNPLATTED

UNPLATTED

S 89°54'05" E 235.07

UNPLATTED

UNPLATTED

UNPLATTED

UNPLATTED

UNPLATTED

UNPLATTED

UNPLATTED

UNPLATTED

UNPLATTED

### INSTRUMENT OF DEDICATION

KNOW ALL PERSONS BY THESE PRESENTS: That 504 Development, LLC, a Minnesota limited liability company, owner of the following described property situated in the County of Dodge, State of Minnesota, to wit: Lots 1, 2, 3 and 4, Block 1, HACKS 2ND ADDITION, according to the plat thereof, on file in the office of the County Recorder, Dodge County, Minnesota.

AND

The North 152.00 feet of the East 108.00 feet of Lot 2, Block 1, HACKS ADDITION, according to the plat thereof, on file in the office of the County Recorder, Dodge County, Minnesota.

Has caused the same to be surveyed and plotted as THOMPSON ADDITION and do hereby dedicate to the public for public use the drainage and utility easement as created by this plat.

In witness whereof said 504 Development, LLC, a Minnesota limited liability company, has caused these presents to be signed by its proper officer this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Signed: 504 Development, LLC

\_\_\_\_\_ its \_\_\_\_\_

STATE OF MINNESOTA

COUNTY OF \_\_\_\_\_

This instrument was acknowledged before me this \_\_\_\_\_ day of \_\_\_\_\_ of 20\_\_\_\_ by \_\_\_\_\_ of 504 Development, LLC a Minnesota limited liability company, on behalf of the limited liability company.

Notary Public \_\_\_\_\_ County, Minnesota  
My commission expires \_\_\_\_\_

### CITY OF KASSON PLANNING AND ZONING COMMISSION

This plat of THOMPSON ADDITION has been approved by the Planning and Zoning Commission of the City of Kasson, Minnesota this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Chair \_\_\_\_\_

Secretary \_\_\_\_\_

### CITY OF KASSON CITY COUNCIL

This plat of THOMPSON ADDITION has been approved by the City Council of the City of Kasson on this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Mayor \_\_\_\_\_

City Clerk \_\_\_\_\_

### DODGE COUNTY SURVEYOR

I certify that pursuant to Chapter 389.09, laws of Minnesota, this plat has been approved this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Lisa M. Hanni  
Dodge County Surveyor

### DODGE COUNTY AUDITOR/TREASURER

Pursuant to Minnesota Statutes, Section 505.021, Subd. 9, taxes payable in the year 20\_\_\_\_ on the land hereinafter described have been paid. Also, taxes and transfer entered this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Dodge County Auditor/Treasurer \_\_\_\_\_

### DODGE COUNTY RECORDER

I hereby certify that this plat of THOMPSON ADDITION was filed in the office of the County Recorder for public record on this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, at \_\_\_\_\_ o'clock \_\_\_\_\_ M. and was duly recorded as Document Number \_\_\_\_\_ File Number \_\_\_\_\_.

Dodge County Recorder \_\_\_\_\_

### SURVEYORS CERTIFICATE

I, Mark A. Schoenfelder, do hereby certify that this plat was prepared by me or under my direct supervision; that I am a duly Licensed Land Surveyor in the State of Minnesota; that this plat is a correct representation of the boundary survey; that all mathematical data and labels are correctly designated on the plat; that all monuments depicted on this plat have been, or will be correctly set within one year; that all water boundaries and wet lands, as far as they are shown and labeled on the plat, and all public ways are shown and labeled on the plat.

Dated this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Mark A. Schoenfelder, Land Surveyor  
Minnesota License No. 42302

STATE OF MINNESOTA

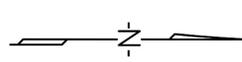
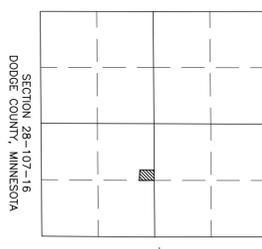
COUNTY OF \_\_\_\_\_

This instrument was acknowledged before me this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_ by Mark A. Schoenfelder, Land Surveyor

Notary Public \_\_\_\_\_ County, Minnesota  
My commission expires \_\_\_\_\_

### LOCATION MAP

(NOT TO SCALE)

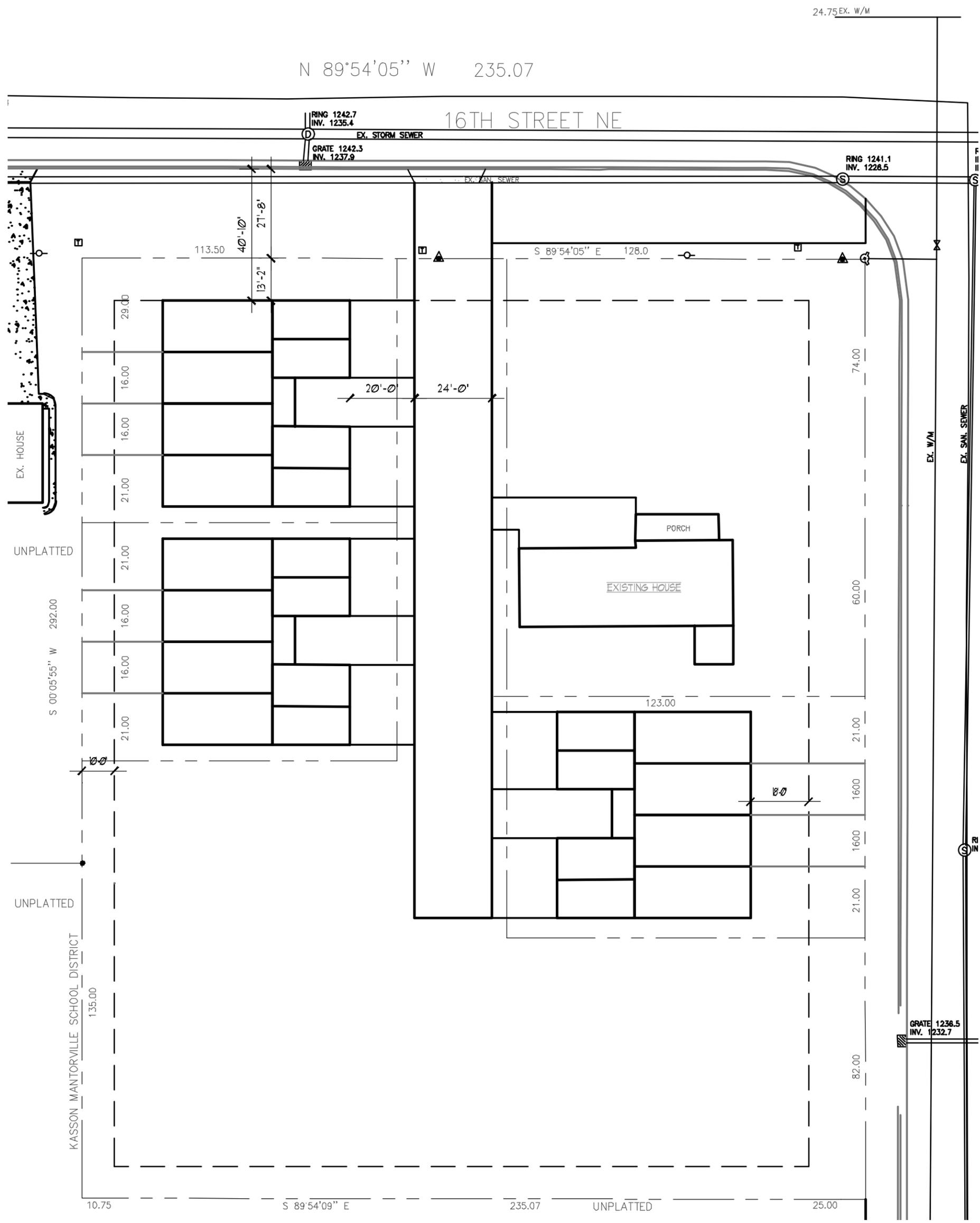


### LEGEND

- Denotes a 1/2 inch x 15 inch Iron Pipe set with a Plastic Cap Stamped 42302
- Denotes a Found Iron Monument

### BEARINGS

Bearings are referenced to the north line of HACKS ADDITION, which is assumed to bear South 89°54'05" East.





**SITE PLAN**  
 SCALE: 1"=30'-0"

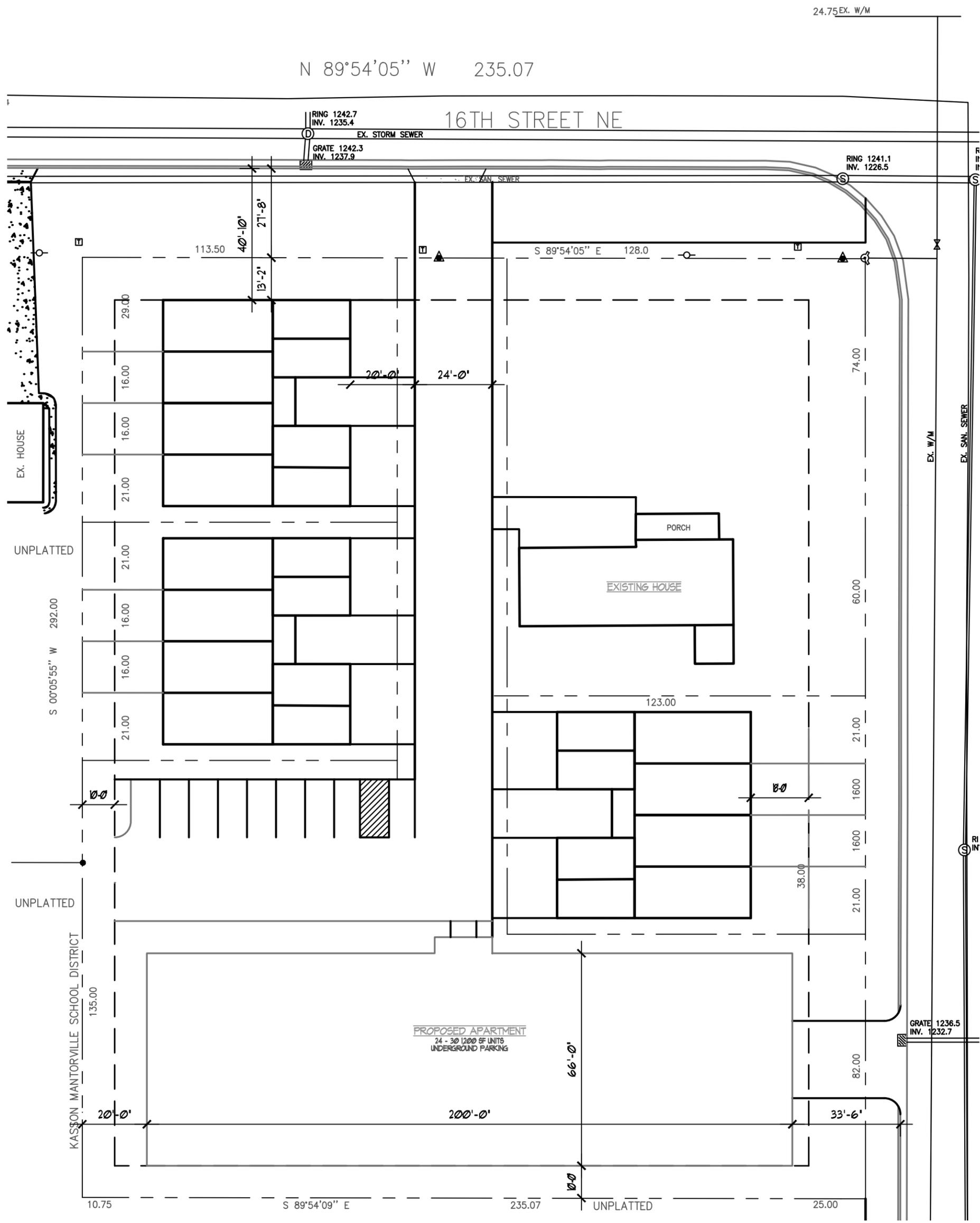


**THOMPSON FIRST SUBDIVISION**  
 4TH AVE DRIVE  
 APARTMENT STUDY  
 KASSON, MINNESOTA

PROJECT #: 17087  
 DRAWN BY: AJT  
 CHECKED BY: AJT  
 REVIEW DATE: JUNE 29, 2019  
 REVISION:  
 PRINTED: Jan 30, 2020

SITE  
 PLAN  
**C1.0**

(2) TWO UNIT, (1) FOUR UNIT & APARTMENT



 **SITE PLAN**  
SCALE: 1"=30'-0"



**THOMPSON FIRST SUBDIVISION**  
4TH AVE DRIVE  
APARTMENT STUDY  
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SITE PLAN

**C1.A**

(2) TWO UNIT, (1) FOUR UNIT & APARTMENT

## **Staff Planning Review**

### **Thompson Addition**

Preliminary Plat

Prepared by The Design Connection

### **Zoning Administrator**

Maintain 30% green space; show calculation on site plan

Plat Lot 13 as 108 x 143; re-plat at later date

### **Association Documents at Final Plat**

To include Private Drive, Private Water and Private Sewer

### **Zoning Clerk**

Provide Sidewalk along North Frontage (SRTS and TAP)

Zoned R-1

### **Finance**

Execute Development Agreement

(to include letter of credit sufficient to assure completion of the PUD)

### **Electric Supervisor**

Record necessary utility easements, utility access easements

Install crossing in private drive

### **Park and Recreation Supervisor**

Parkland Fees at Final Plat

### **Water/Wastewater**

Provide documentation of sealed well

WAC/ SAC Fees at Final Plat

### **Streets**

Restore Pavement to Current Condition and Chip Seal

(after hook-up and sewer connection to 16<sup>th</sup> Street Manhole)

### **City Engineer**

City Engineer to review and approve Site Plan prior to Final Plat Approval

(to include, but not limited to,

hydrant location and sub-drain access)

### **Fire**

Private Drive and turnaround to be approved by Fire Chief

