

# **PLANNING COMMISSION**

**MARCH 8, 2021**

**6:30 O'CLOCK P.M.**

1. Call to Order
2. Minutes of the Previous Meeting – February 8, 2021
3. Witzel Property Discussion
4. Public Hearing – Smiling Moose Conditional Use Permit for a drive through business
5. Public Hearing – Kasson Meadows 7<sup>th</sup> Rezone and Preliminary Plat
6. Solar Farm Discussion
7. ZED Discussion
8. Other
9. Adjourn

MINUTES OF PLANNING COMMISSION MEETING  
February 8, 2021

Pursuant to due call and notice thereof, a regular Planning Commission meeting was held at City Hall on the 8th day of February, 2021 at 6:30 PM

**THE FOLLOWING WERE PRESENT:** Commissioner Ferris, Commissioner Thompson, Commissioner Burton, Commissioner Torkelson, Commissioner Zelinske, Commissioner Tinsley and Commissioner Fitch

**THE FOLLOWING WERE ABSENT:** None

**THE FOLLOWING WERE ALSO PRESENT:** Administrator Tim Ibisch, Clerk Linda Rappe, Brad Scheib – HKgi and Kim and Steve White

**CALL TO ORDER AT 6:30PM**

**MINUTES OF THE PREVIOUS MEETING – January 11, 2021 - Motion to Approve the Minutes as Submitted made by Commissioner Thompson, second by Commissioner Tinsley With All Voting Aye.**

**PUBLIC HEARING – ORDINANCE UPDATE VARIANCE** – Administrator Ibisch stated that we had this come up with the Dominos variance. Consultant Brad Schieb stated that the language gives us clear and direct authority to amend or revoke a variance. This gives the City the right to entertain a request by a property owner to amend, or revoke or rescind a variance and the City can do that without consent of the property owner if a condition is not being met.

Public hearing opened

No Comments

Public Hearing Closed

Discussion – Commissioner Tinsley had a question for Mr. Schieb on Section 2, there is a lot of added language and asked for clarification on the added language. Mr. Schieb stated that any amending, rescinding or revoking will require a public hearing. Mr. Schieb stated that the variances and conditional use permits should be monitored.

**Motion to Approve the Changes in the Variance Language with the minor edit made by Commissioner Burton, second by Commissioner Zelinske with All Voting Aye.**

**PUBLIC HEARING – ORDINANCE UPDATE DRIVE THROUGH BUSINESSES** –

Administrator Ibisch stated that this is to a certain degree reverting this back to the code before the update. Chairman Ferris asked if we need a definition for a drive through, will this include drive up ATM's etc. Mr. Schieb stated that we want to make sure that we have standards in place so that this allows drive throughs and does not disrupt the downtown. Mr. Schieb stated that post office boxes, donation boxes, and drive up un-manned ATM's are treated as accessories.

Public Hearing Open

Kim and Steve White, 406 13<sup>th</sup> Ave NW, they purchased the Hy-Vee Pharmacy building and would like to run a drive through coffee shop and gift shop.

Public Hearing Closed

Coffee shops are more traffic generating than restaurants and pharmacies. The Planning Commission would like to amend Section 2 part b to say “all businesses with drive throughs”. Mr. Schieb stated that a pharmacy drive through and a restaurant drive through are different traffic generators.

Commissioner Tinsley – are these the standards for C-2 and C-3 where they are already permitted with standards. Mr. Schieb stated that these are already in place as PS for C-2 and C-3 but for a cup for C-1 and R-C these standards would be guidelines for conditions. Mr. Schieb stated that with the conditional use permit is to be able to make this work and make sure that the proper agreements in place and make sure that the residential neighborhood is not compromised. The Chamber of Commerce was notified but no comments were received. Commissioner Zelinske stated that the lines will be backed out onto the streets.

Commissioner Tinsley stated a typo in Section 2 B part 10 sub part b “lumination” not “lamination”. **Motion to Recommend Approval of the Changes to the Ordinance Language made by Commissioner Zelinske, second by Commissioner Fitch with All Voting Aye.**

**OTHER** – Administrator Ibisch presented drawing of potential development in NE Kasson, there are transportation issues that need to be ironed out.

**ADJOURN** 7:00PM

Respectfully Submitted,

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Linda Rappe, City Clerk

# PRE-SUBMITTAL DISCUSSION-PLANNING COMMISSION

WITZEL SUBDIVISION

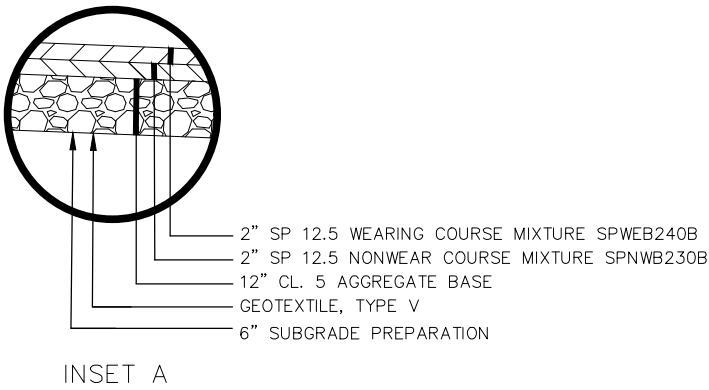
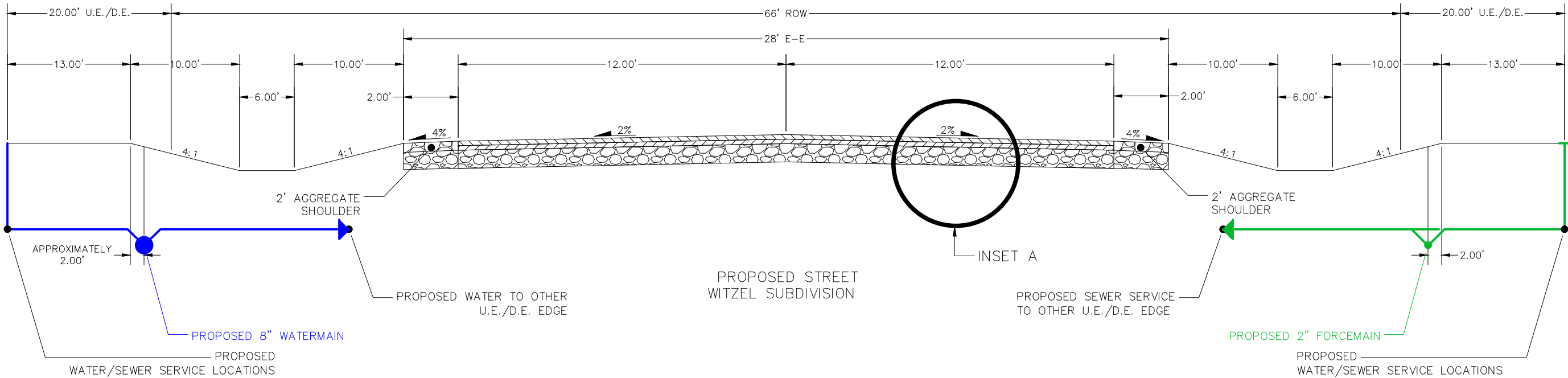
KASSON, MN

MEETING DATE: March 8, 2021  
MEETING TIME: 6:30 PM  
MEETING LOCATION: City Hall

## AGENDA ITEMS:

1. Project Description
  - i. Rural Subdivision along 16<sup>th</sup> St. NE
    - i. Property is in the City's Orderly Annexation Agreement Area
    - ii. Approximately 38 lots
    - iii. Lot size averages around 1-acre
    - iv. Rural roadway with 24-wide pavement width and aggregate shoulders
    - v. Storm water conveyed via ditches and culverts
    - vi. Three stormwater management facilities
    - vii. 10-foot wide shared use trail from existing 16<sup>th</sup> Street trail to east property line.
    - viii. Subdivision to be served by City watermain and City low-pressure sanitary sewer. Each resident will be required to install and maintain a private sanitary sewer grinder pump.
2. Submittals and Timeline
  - i. ~~Staff pre design meeting (2-25-2021)~~
  - ii. Informal Discussion-Planning Commission (3-8-2021)
  - iii. Public Hearing – Planning Commission (4-12-2021)
    - i. Preliminary Plat
    - ii. Land Use Application – Annexation and Land Use
    - iii. Zoning Amendment/Rezoning Application – Proposed R1 District
  - iv. Final Plat – City Council (4-28-2021)
3. Questions – Comments - Concerns





I hereby certify that this plan, specification or report was prepared by me or under my direct personal supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

PRELIMINARY ONLY - NOT FOR CONSTRUCTION


Name \_\_\_\_\_ Date \_\_\_\_\_ License No. \_\_\_\_\_

REVISIONS		DESCRIPTION	
NO.	DATE		

TYPICAL SECTION	
WITZEL SUBDIVISION KASSON MINNESOTA 2021	

SCALE: AS SHOWN
WHKS PROJECT NO. 9197
DRAWN BY: JAM
CHECKED BY: BT/JP
SHEET 1 OF 3





engineers + planners + land surveyors

I hereby certify that this plan, specification or report was prepared by me or under my direct personal supervision and that I am a duly Licensed Professional Engineer under the laws of the State of Minnesota.

**PRELIMINARY ONLY - NOT FOR CONSTRUCTION**

Name \_\_\_\_\_ Date ##### License No. \_\_\_\_\_

REVISIONS	
NO.	DESCRIPTION

**PRELIMINARY LAYOUT**

WITZEL PROPERTY  
KASSON, MINNESOTA  
2021

SCALE:  
AS SHOWN

WHKS PROJECT NO.  
9197

DRAWN BY:  
JAM

CHECKED BY:  
JP/BT

SHEET  
2 OF 3









## STAFF REPORT

**TO:** Planning and Zoning Commission  
**FROM:** Brad Scheib, Consulting Planner, HKGi  
**DATE:** February 25, 2021  
**SUBJECT:** Consider Conditional Use Permit for Drive-Through Facilities  
**APPLICANT:** Kim & Steve White  
**OWNER:** Kim & Steve White (recently closed on the property)  
**LOCATION:** 408 Main Street West; PID No. 24.150.0010  
**MEETING DATE:** March 8, 2021  
**COMPREHENSIVE PLAN:** Downtown  
**ZONING:** C-1 Central Business District

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## BACKGROUND

The applicants, Kim and Steve White, have applied for a conditional use permit for a drive-through business at the property 408 Main Street West. Drive-through businesses are conditionally permitted uses in the C-1 Central Business District, with use-specific standards listed in Sec. 154.205(B).

The applicants have recently closed on the purchase of the property and intend to open a coffee shop/gift shop in the existing building with a drive-through window. The building was the former site of a pharmacy with a drive-through window.

## REVIEW PROCEDURE

### *60-Day Land Use Application Review Process*

Pursuant to Minnesota State Statutes Section 15.99, local government agencies are required to approve or deny land use requests within 60 days. Within the 60-day period, an automatic extension of no more than 60 days can be obtained by providing the applicant written notice containing the reason for the extension and specifying how much additional time is needed. For the purpose of Minnesota Statutes Section 15.99, "Day 1" for the conditional use permit application was determined to be February 12, 2021. The City's deadline for action is on April 13, 2021.

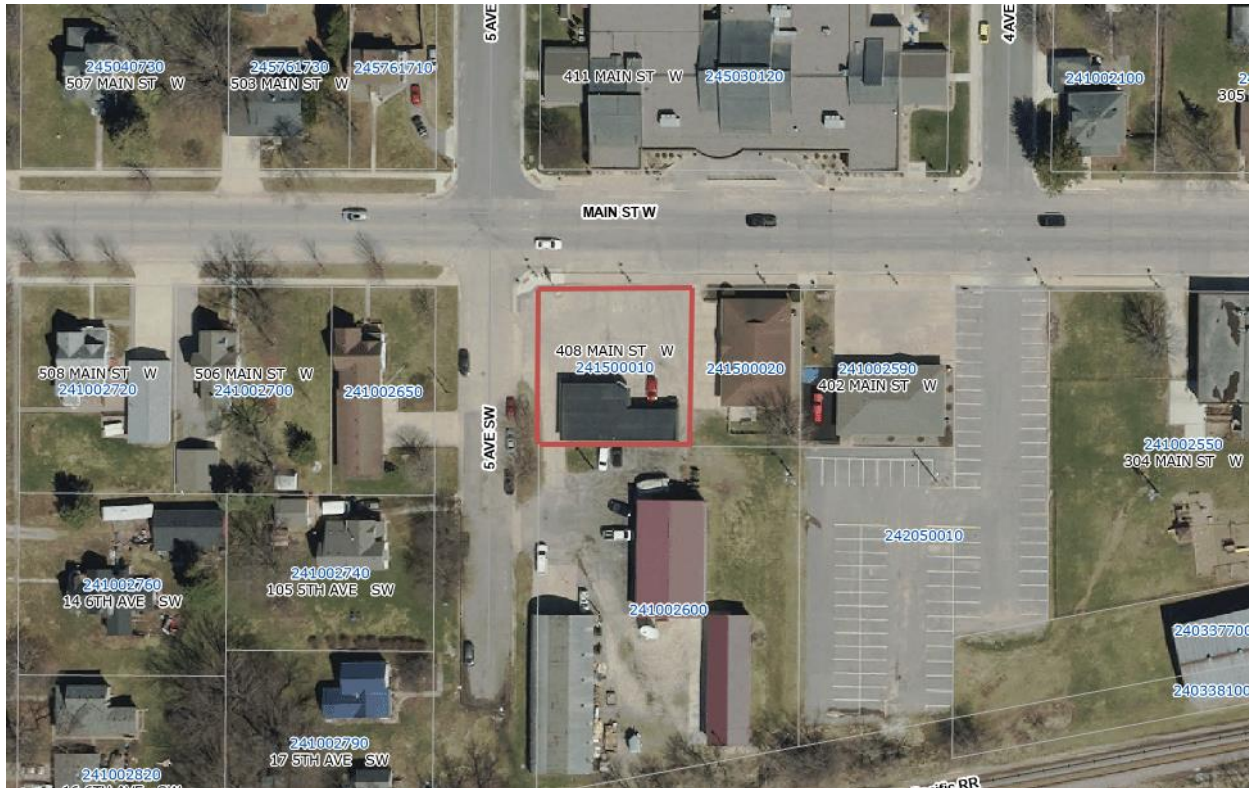
### *Public Hearing*

City Code § 154.067 requires a public hearing for review of a conditional use permit to be held by the Planning and Zoning Commission. The public hearing notice for the CUP was published in the Dodge

County Independent and posted on the City website. The CUP public hearing notice was mailed to all affected property owners located within 350 feet of the subject properties.

## APPLICATION REVIEW

### *Existing Site Character*



- The parcel is approximately 9,600 square feet, fronting on Main Street
- The existing building is one-story and approximately 1,500 square feet in area
- The remainder of the parcel is covered by driveways and parking areas; impervious coverage is 100%
- There are currently three vehicle accesses onto the site, one onto Main Street to the north, one onto 5th Avenue to the west, and a southern access to the adjacent parcel
- The existing building has one drive-through window on the west side of the building;
  - This is an existing non-conforming use on the property, as a drive-through facility requires a Conditional Use Permit by code
  - The drive-through vehicle lane exits through the south access point onto the adjacent parcel
- There are residential parcels across 5<sup>th</sup> Avenue to the west of the site

### *Proposed Improvements*

- The layout of the applicant's proposal can be seen in the attached Architectural Site Plan, dated February 22, 2021

- The applicant is proposing the coffee shop would initially have hours from 6 am to 2 pm Monday through Saturday; the drive through would only be in operation during those same hours, otherwise just the gift shop would operate.
- The applicant is proposing the addition of building a second drive-through window approximately 15 feet south of the existing one, so that money may be accepted at the first and orders delivered at the second. They are also proposing the addition of a drive-up menu board /intercom system at the northern side of the lot.
- The site plan shows movable planters used as landscaping as well as to provide screening from the headlights of drive-through vehicles onto 5<sup>th</sup> Avenue and adjacent residential uses.
- The planters also create a block to the western curb cut to the site, which will reduce traffic on 5<sup>th</sup> Avenue and eliminate a potential conflict point between entering the site and the drive-through queuing area. The intent of the planters would be to allow access to the site from 5<sup>th</sup> Avenue when the drive through is not in operation and not allow access when the drive through is open for business.
- The northwest corner of the site is being shown as having a patio seating area, with moveable planters marking off the area
- Pedestrian connections to the entrance of the building to Main Street are shown through “crosswalk style” striping.

### **Comprehensive Plan Consistency**

- The property is guided for downtown use by the 2040 Comprehensive Plan
- Downtown guidance encourages a mix of uses that support a walkable community, providing destinations for residents and workers; coffee shops and retail goods fit within this category
- The proposed use of a drive-through facility can be consistent with the Comprehensive Plan’s guidance for a walkable area when site design and circulation for vehicles and pedestrians are designed accordingly.

### **Zoning District Standards**

- The property is zoned C-1 Central Business District. The district is intended to provide for high density development for commercial and service activities, with activity focused on Main Street
- Drive-through facilities are classified as conditional uses in the C-1 district
- The C-1 District has the following applicable standards:

	<b>Requirement</b>	<b>Existing/Proposed</b>	<b>Analysis</b>
Minimum Lot Size	5,000 sf	9,600 sf	Meets Standards
Minimum Lot Width at Street Line	50’	96’	Meets Standards
Street Yard (North) Setback	0’	60’	Meets Standards
Street Yard (West)	0’	15’	Meets Standards
Side Yard (East)	0’	10’	Meets Standards
Rear Yard (South)	0’	4’	Meets Standards
Maximum Building Height	35’ / 2.5 stories	1 story	Meets Standards
Maximum Impervious Surface	N/A	100%	Meets Standards

### Use Specific Standards

Use-specific standards for drive-through facilities are listed within Section 154.205

Standard	Analysis
(1) Drive-through facilities and stacking areas shall not be within 100 feet of any parcel that is zoned residential, or has an occupied institutional building, including but not limited to schools, religious institutions, and community centers unless the entire facility and stacking areas are separated from said parcel by a building wall.	<ul style="list-style-type: none"> <li>The parcel is across the street from a residential home and the existing drive-through window and drive-through lane are within 100 feet of that parcel; however, these facilities are existing non-conformities on the property, and they may be allowed to continue. <b>Meets Standards as a pre-existing condition</b></li> <li>The new menu board and speaker system has been placed outside of the 100' setback. <b>Meets Standards</b></li> <li>The addition of a new second drive-up window does not expand the existing non-conformity, as it will relieve excessive queuing by processing orders faster. <b>Meets Standards</b></li> </ul>
(2) Drive-through facilities and stacking areas shall be designed to meet the following:	
(a) Located where they will not interfere with parking spaces, aisles, loading areas, through traffic, vehicle or pedestrian circulation, or driveway access.	<ul style="list-style-type: none"> <li>The drive-through facilities and stacking areas are located primarily on the western side of the property, designed to allow vehicle access to the parking areas and entrance of the building; the western access of the property is blocked by moveable planters to avoid conflict with the drive-through lane. <b>Meets Standards</b></li> <li>The southern access is onto an adjacent parcel. <b>The applicant has entered into a private access/easement agreement with the property to the south preserving and allowing access to meet this standard</b></li> </ul>
(b) Allow drivers not using the drive-through, or wishing to exit the drive-through area, to bypass the drive-through lane(s).	<ul style="list-style-type: none"> <li>The drive-through lane and stacking areas are designed to allow for circulation of non-drive-through vehicles to access the site from Main Street. <b>Meets Standards</b></li> <li>The drive-through lane is wide enough to accommodate bypass or exiting of the drive through from the southern access. <b>Meets Standards</b></li> </ul>
(c) Where feasible, drive-through windows, drop boxes, menu boards, and associated or similar structures shall be located to the rear or side of the principal building, and must incorporate landscape screening, decorative fences, walls, or a combination of these elements to minimize their view from the street.	<ul style="list-style-type: none"> <li>The drive-through windows, as existing non-conformities, are on the side of the building. <b>Meets Standards</b></li> <li>The new menu board/speaker is located at the front of the property, as the 100 ft setback from residential uses prevents it from being placed on the side of the property. <b>Meets Standards</b></li> </ul>

Standard	Analysis
(d) Only one lane shall be provided for queuing; where feasible, this lane shall be a minimum of three stacking spaces leading to the menu or other first-point of contact.	<ul style="list-style-type: none"> <li>The site only had one lane for queuing; there are at least four spaces for queuing behind the pick-up window, but not really any queuing behind the menu, as it would block access to the site; this situation is caused by the menu/speaker being outside of the 100 ft setback to the residential property to the west. <b>Meets Standards</b></li> </ul>
(e) Queuing areas shall be designed so that queues will not block or intersect the sidewalk or road right-of-way	<ul style="list-style-type: none"> <li>There is concern that the lack of queuing spaces behind the menu/speaker could result in informal queuing that spills into the right-of-way and Main Street. <b>Recommend that mitigation of potential traffic impacts be retained as a condition of approval</b></li> </ul>
(f) Curb-cut entrances for queuing driveways and exit driveways shall be consolidated with any other driveway entrances or exits on the site.	<ul style="list-style-type: none"> <li>There are three existing accesses to the site; the plans show the western curb cut will be blocked by movable planters. This solution will block access, but also keep costs down for the user while keeping access available for future users of the site. <b>Recommend that the blocking of the western access, by moveable planters or similar means, be a condition of approval and must be on site as long as drive-through facilities are a use on site</b></li> </ul>
(g) Curb-cut entrances to the site shall be located so that access can be provided without generating significant traffic on local residential streets.	<ul style="list-style-type: none"> <li>There are three existing accesses to the site; the plans show the western curb cut will be blocked by movable planters. This solution should limit the in and out traffic coming onto 5<sup>th</sup> Avenue. <b>Meets Standards</b></li> </ul>
(h) Drive-through lanes should not interfere with building entrances	<ul style="list-style-type: none"> <li>The drive-through lanes do not interfere with the entrance to the building. <b>Meets Standards</b></li> </ul>
(i) Pedestrian access shall be provided from each abutting street to the primary entrance with a continuous four (4' 0") foot-wide sidewalk or delineated walkway. Pedestrian walkways should not intersect the drive-through drive aisles, but where they do the walkways shall have clear visibility and shall be delineated by textured and colored paving	<ul style="list-style-type: none"> <li>The plans propose a pedestrian connection, delineated by "crosswalk style" striping from the sidewalk on Main Street to the building entrance. <b>Meets Standards</b></li> </ul>
(3) All drive-through lanes shall be clearly identified using striping, landscaping, and/or signs.	<ul style="list-style-type: none"> <li>The plans show the drive-through lanes having delineated striping on the driver's side. <b>Recommend as a condition of approval the addition of striping or other delineation to show the distinction between the drive-through lane and the patio seating area on the northwest corner of the parcel</b></li> </ul>



Standard	Analysis
(4) Adequate area shall be designated for snow storage such that clear visibility shall be maintained from the property to any public street.	<ul style="list-style-type: none"> <li>The applicant has provided an executed agreement to allow for snow storage off site.</li> </ul>
(5) Any canopy as part of this use shall be compatible with the architectural design and materials of the principal structure.	<ul style="list-style-type: none"> <li>The applicant is not proposing a canopy. <b>Meets Standards</b></li> </ul>
(6) Where feasible, drive-through windows, drop boxes, menu boards, and associated or similar structures should be located to the rear or side of the principal building, and must incorporate landscape screening, decorative fences, walls, or a combination of these elements to minimize their view from the street.	<ul style="list-style-type: none"> <li>Same as (2)(c), above. <b>Meets Standards</b></li> </ul>
(7) All new lighting must be LED, fully shielded, be no brighter than needed for the task, and shine only where it is needed. Lights should have a correlated color temperature (CCT) of 3,000 Kelvin (K) or lower, and dim or turn off at 11PM or one (1) hour after close of business, whichever is later. Existing lighting should be retrofitted or replaced to meet these standards.	<ul style="list-style-type: none"> <li>The applicant has indicated that no new lighting is planned for the site beyond the menu board. <b>Keep as an ongoing condition</b></li> </ul>
(8) Menu boards must be no brighter than needed for the task, be lit with LED lights of a correlated color temperature (CCT) no higher than 5,000 Kelvin (K) (ideally 4,000K or lower), and be turned off when the drive-through closes.	<ul style="list-style-type: none"> <li>The final lighting output of the menu sign shall be required to meet standards. The applicant has indicated that the menu board will include Dark Sky compliant lighting. <b>Keep as an ongoing condition</b></li> </ul>
(9) Any associated speaker system shall emit no more than fifty (50) decibels and at no time shall any speaker system be audible above daytime ambient noise levels beyond the property lines of the site. The system shall be designed to compensate for ambient noise levels in the immediate area.	<ul style="list-style-type: none"> <li>The speaker system proposed by the applicant has volume adjustment capabilities and can be adjusted to meet these limits. <b>Keep as an ongoing condition</b></li> </ul>
(10) When a drive-through facility is adjacent to a residential use, the additional following shall apply:	

Standard	Analysis
(a) Fencing, screening, berming, or a combination of, at least three feet in height shall be installed between drive-through facilities, including stacking areas, and adjacent residential uses to block direct lighting from headlights.	<ul style="list-style-type: none"> <li>The applicant is proposing the installation of moveable planters along the western edge of the property to simultaneously screen headlights from the drive-through as well as block vehicle access through the western curbcut. <b>Recommend that screening on the western side, by moveable planters or similar means, be a condition of approval and must be on site as long as drive-through facilities are a use on site</b></li> </ul>
(b) A lighting plan shall be require showing the proposed lighting of the site. The illumination measurement at the property lot line adjacent to a residential use may not exceed 0.30 footcandles	<ul style="list-style-type: none"> <li>The applicant is not proposing any additional lighting to be installed on the site. <b>Meets Standards</b></li> </ul>

### Development Standards

Development Standards are special considerations that may apply to any use or any district in the City. They are listed in Sections 154.270 through 154.327. The following development standard considerations apply to this site:

- Visual Obstructions to Vehicular Traffic – the applicant has shown the location of a “clear sight triangle” on the site plan. City fire and police staff need to review the layout to confirm the safety of the intersection with the proposed planters and seating located in the site triangle.  
**Recommend as a condition of approval**
- Refuse – the site plan shows outdoor trash storage on the east side of the building. **Meets Standards**
- Off-Street Parking – the site plan shows five parking spaces on the site; Section 154.295(B) exempts this parcel from off-street parking minimums due to its location in downtown. 5 parking spaces would provide ample off-street parking for the proposed use. **Meets Standards**
- Loading Space – the site plan does not show a loading space for the building; Section 154.296(B) exempts the site from a loading space because the building is less than 3,000 sf in area. **Meets Standards**
- Access and Circulation – these elements have already been evaluated and considered by the Use-Specific Standards above. **Meets Standards**
- Landscaping, Screening, Walls and Fences – these elements have already been evaluated and considered by the Use-Specific Standards above. **Meets Standards**

### Conditional Use Permit Review

As described in Section 154.067(D)(4), the following should be considered during review of a conditional use permit application:

- (1) The effects of the proposed use on the comprehensive plan; and
- (2) The effects of the proposed use upon the health, safety and general welfare of occupants of surrounding lands.

Additionally, the following findings should be made, when applicable:

- (1) The proposed conditional use meets all of the applicable use specific standards listed within §§ 154.175 to 154.178;
- (2) The use is not in conflict with the comprehensive plan of the city;
- (3) The use is consistent with the purpose of this chapter and the purposes of the zoning district in which the applicant intends to locate the proposed use;
- (4) The use will not cause traffic hazards and the traffic generated by the proposed use can be safely accommodated on existing or planned street systems; and the existing public roads providing access to the site will not need to be upgraded or improved by the city in order to handle the additional traffic generated by the use;
- (5) Adequate measures have been taken or are proposed to prevent or control offensive odor, fumes, dust, noise, vibration or lighting which would otherwise disturb the use of neighboring property;
- (6) Adequate utilities, parking, drainage and other necessary facilities will be provided;
- (7) The proposed use will not impede the normal and orderly development or improvements of the surrounding property;
- (8) The proposed use will not be injurious to the use and enjoyment of other property in the neighborhood and will not significantly diminish or impair the values of the property;
- (9) The use will not disrupt the character of the neighborhood; and
- (10) The structure and site shall have an appearance that will not have an adverse effect upon adjacent residential properties.

Finally, after consideration and discussion of the proposal, the Planning and Zoning Commission may recommend additional conditions as may be appropriate to facilitate the use on the site.

## **DISCUSSION**

- There is potential, if the drive-through coffee service is very popular at peak times during the day, that traffic for the drive-through will exceed the spaces available on site and spill onto Main Street. It is important for the applicant to understand that this would be in violation of the conditional use permit and it is the responsibility of the applicant to mitigate the situation or the City could revoke the CUP, as described in Section 154.067(F)(2) of the City Code.
- There are potential mitigation improvements; however, these improvements may prove financially challenging or impractical.

## **STAFF RECOMMENDATION**

Staff recommends that the Planning and Zoning Commission make recommendation to the City Council to approve the application for a CUP for a drive-through use at 408 Main Street West, with the following conditions:

- (1) The applicant shall enter into a private access/easement agreement with the property to the south to allow for the drive-through facility to exit across the property to the south. A

copy of this agreement shall be recorded with the County and the use of drive-through facilities shall not commence until such filing. (note and executed agreement has been provided to staff)

- (2) Queuing areas for the drive-through shall not block or intersect the sidewalk or road right-of-way of Main Street.
- (3) The existing western vehicle access to the site off of 5<sup>th</sup> Avenue Southwest shall be blocked off from vehicular traffic by means of proposed moveable planters or similar means as long as drive-through facilities are in use on site.
- (4) Delineation of the drive-through lane, by painted lines or other similar means, from the proposed patio seating area shall be added to the Architectural Site Plan prior to recording of the CUP.
- (5) All new lighting must be LED, fully shielded, be no brighter than needed for the task, and shine only where it is needed. Lights should have a correlated color temperature (CCT) of 3,000 Kelvin (K) or lower, and dim or turn off at 11PM or one (1) hour after close of business, whichever is later. Existing lighting should be retrofitted or replaced to meet these standards over time.
- (6) Menu boards must be no brighter than needed for the task, be lit with LED lights of a correlated color temperature (CCT) no higher than 5,000 Kelvin (K) (ideally 4,000K or lower), and be turned off when the drive-through closes.
- (7) Any associated speaker system shall emit no more than fifty (50) decibels and at no time shall any speaker system be audible above daytime ambient noise levels beyond the property lines of the site. The system shall be designed to compensate for ambient noise levels in the immediate area.
- (8) The site shall maintain screening between the drive-through facilities and the western parcel line through the use of moveable planters that are at least three feet in height including vegetation and planter box.
- (9) The applicant shall be responsible for payment of all costs associated with the land use request.
- (10) The applicant shall be responsible for recording the CUP approving resolution with Dodge County. The applicant is advised that the resolution will not be released for recording until all conditions as applicable have been met.

In recommending approval of the variance, staff offer the following findings of fact:

- (1) The proposed conditional use meets all of the applicable use specific standards listed within §154.205(B);
- (2) The use is not in conflict with the comprehensive plan of the city;
- (3) The use is consistent with the purpose of Chapter 154 Zoning of the City Code and the purposes of the C-1 Central Business District;

- (4) The use will not cause traffic hazards and the traffic generated by the proposed use can be safely accommodated on existing or planned street systems; and the existing public roads providing access to the site will not need to be upgraded or improved by the city in order to handle the additional traffic generated by the use;
- (5) Adequate measures have been taken or are proposed to prevent or control offensive odor, fumes, dust, noise, vibration or lighting which would otherwise disturb the use of neighboring property;
- (6) Adequate utilities, parking, drainage and other necessary facilities will be provided;
- (7) The proposed use will not impede the normal and orderly development or improvements of the surrounding property;
- (8) The proposed use will not be injurious to the use and enjoyment of other property in the neighborhood and will not significantly diminish or impair the values of the property;
- (9) The use will not disrupt the character of the neighborhood; and
- (10) The structure and site shall have an appearance that will not have an adverse effect upon adjacent residential properties.

## **CITY COUNCIL REVIEW**

In the event a recommendation is received from the Planning and Zoning Commission, it will be forwarded to the City Council for action at the March 10<sup>th</sup> or March 24<sup>th</sup>, 2021 meeting.

## **ATTACHMENTS**

- A. Architectural Site Plan, February 23, 2021



# SMILING MOOSE COFFEE & GIFTS

408 WEST MAIN STREET, KASSON, MN 55944

## OWNER

KIM & STEVE WHITE

## ARCHITECT

ARMON ARCHITECTURE, INC.  
CONTACT: COLLIN TINSLEY, RA  
11 4TH STREET SW  
ROCHESTER, MN 55902

## CONTRACTOR

BENIKE CONSTRUCTION  
2960 HWY 14 WEST  
ROCHESTER, MN 55901

### GENERAL CONSTRUCTION NOTES

- ALL CONSTRUCTION WORK SHALL BE DONE IN ACCORDANCE WITH APPLICABLE BUILDING CODES AND ORDINANCES OR AGENCIES HAVING JURISDICTION OVER THIS PROJECT.
- THE CONTRACTOR SHALL FURNISH ALL LABOR, MATERIALS, TOOLS, EQUIPMENT, AND RELATED ITEMS REQUIRED TO COMPLETE AND RENDER FUNCTIONAL THE WORK, CONSISTENT WITH THE DESIGN INTENT AS EXPRESSED IN THE CONSTRUCTION DOCUMENTS.
- CONTRACTOR TO BE RESPONSIBLE FOR ALL PERMITS, FEES, AND INSPECTIONS REQUIRED FOR THE EXECUTION OF THE WORK.
- THE CONTRACTOR SHALL SUPERVISE AND DIRECT THE WORK, USING THE CONTRACTOR'S BEST SKILL AND ATTENTION. CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR ALL MEANS, METHODS, TECHNIQUES, SEQUENCES, AND PROCEDURES AND FOR COORDINATION OF ALL PORTIONS OF THE WORK UNDER THE CONTRACT.
- ESTABLISH AND MAINTAIN PROJECT SAFETY DURING CONSTRUCTION AND DEMOLITION TO PROTECT PERSONNEL, TENANTS, AND BUILDING OCCUPANTS. REQUIREMENTS INCLUDE, BUT ARE NOT LIMITED TO O.S.H.A. PART 1926 LATEST EDITION.
- CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO COMMENCEMENT OF WORK AND CONTACT THE ARCHITECT IF A CONFLICT OCCURS.
- CONTRACTOR SHALL FIELD VERIFY ALL MEASUREMENTS, LOCATIONS, AND CHARACTERISTICS OF ALL WORK AND EQUIPMENT (WHETHER SUPPLIED BY THE OWNER OR OTHERS) WITH THE SUPPLIER OR MANUFACTURER PRIOR TO THE START OF RELATED WORK OR FABRICATION.
- ANY VARIATIONS FROM INDICATED DIMENSIONS OR CONDITIONS SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE ARCHITECT.
- NO CHANGES SHALL BE MADE WITHOUT APPROVAL OF THE ARCHITECT.
- UNDER NO CIRCUMSTANCES SHALL ANY MEASUREMENT BE SCALED FROM THE DRAWINGS WITHOUT APPROVAL OF THE ARCHITECT PRIOR TO PROCEEDING WITH THE WORK.
- DIMENSIONS ARE TO FACE OF ARCHITECTURAL FINISH, UNLESS NOTED OTHERWISE.
- ALL DOOR HARDWARE SETS SHALL BE CODED AND/OR KEYED IN ACCORDANCE WITH BUILDING REQUIREMENTS. CODES AND/OR KEYS ARE TO BE DELIVERED TO THE TENANT, PROPERLY TESTED AND/OR TAGGED. THE QUANTITY OF MASTER AND PASS KEYS SHALL BE COORDINATED WITH BUILDING MANAGEMENT.
- ALL WORK SHALL CONFORM IN QUALITY TO ACCEPTED INDUSTRY STANDARDS. ALL MILLWORK SHALL CONFORM TO A.W.I. PREMIUM GRADE STANDARDS UNLESS NOTED OTHERWISE.
- THE MATERIALS USED FOR CONSTRUCTION OF AND WITHIN THE SPACE SHALL NOT CONTAIN ASBESTOS, P.C.B., OR OTHER HAZARDOUS MATERIALS OF ANY TYPE.
- ALL WALLS TO BE LAID OUT AT 90 DEGREE ANGLES, UNLESS NOTED OTHERWISE.
- AREAS INVOLVED SHALL BE KEPT CLEAN DURING WORKING HOURS AND SHALL BE SWEEPED BROOM CLEAN AT THE END OF EACH WORK DAY.
- METHODS OF HANDLING MATERIALS, RUBBISH, AND/OR DEBRIS SHALL BE SUCH THAT THE SCATTERING OF DUST SHALL BE HELD TO A MINIMUM.
- TRUCKS AND/OR OTHER FORMS OF TRANSPORTATION USED FOR HAULING MATERIALS, TRASH AND/OR DEBRIS FROM THE SITE SHALL BE SUCH THAT NO MATERIALS, TRASH, OR DEBRIS IS DROPPED OR SCATTERED ALONG THE ROUTE OF TRAVEL EITHER ON SITE OR AFTER LEAVING THE SITE.
- COMPLY WITH NFPA CODE 241, "BUILDING CONSTRUCTION AND DEMOLITION OPERATIONS", ANSI-A10 SERIES STANDARDS FOR "SAFETY REQUIREMENTS FOR CONSTRUCTION AND DEMOLITION", NECA ELECTRICAL DESIGN LIBRARY "TEMPORARY ELECTRICAL FACILITIES" AND "MANUAL OF ACCIDENT PREVENTION IN CONSTRUCTION" OF THE ASSOCIATED GENERAL CONTRACTORS OF AMERICA.

### ABBREVIATION INDEX

AFF	ABOVE FINISHED FLOOR
CL	CENTERLINE
EQ	EQUAL
FD	FLOOR DRAIN
FE	FIRE EXTINGUISHER
FEC	FIRE EXTINGUISHER CABINET
FF	FINISHED FLOOR
HVAC	HEATING, VENTILATING & AIR CONDITIONING
NIC	NOT IN CONTRACT
OH	OPPOSITE HAND
REF	REFER, REFERENCE
RO	ROUGH OPENING
SF	SQUARE FOOT
SIM	SIMILAR
TYP	TYPICAL
UNO	UNLESS NOTED OTHERWISE
VIF	VERIFY IN FIELD

### SYMBOL LEGEND

01 NAME

SCALE: 1/8" = 1'-0"

DRAWING NAME

DRAWING SCALE

DRAWING NUMBER

NEW CONSTRUCTION

EXISTING CONSTRUCTION

NEW DOOR

DOOR NUMBER

EXISTING DOOR

WINDOW TYPE

BREAKLINE

KEYNOTE

EXIT

OCCUPANT LOAD OF SPACE

OCCUPANT LOAD THROUGH EGRESS COMPONENT

DETAIL CALLOUT

DRAWING NUMBER ON SHEET

SHEET NUMBER

OPTIONAL SPECIAL NOTATION

INTERIOR ELEVATION MARKER

SHEET NUMBER

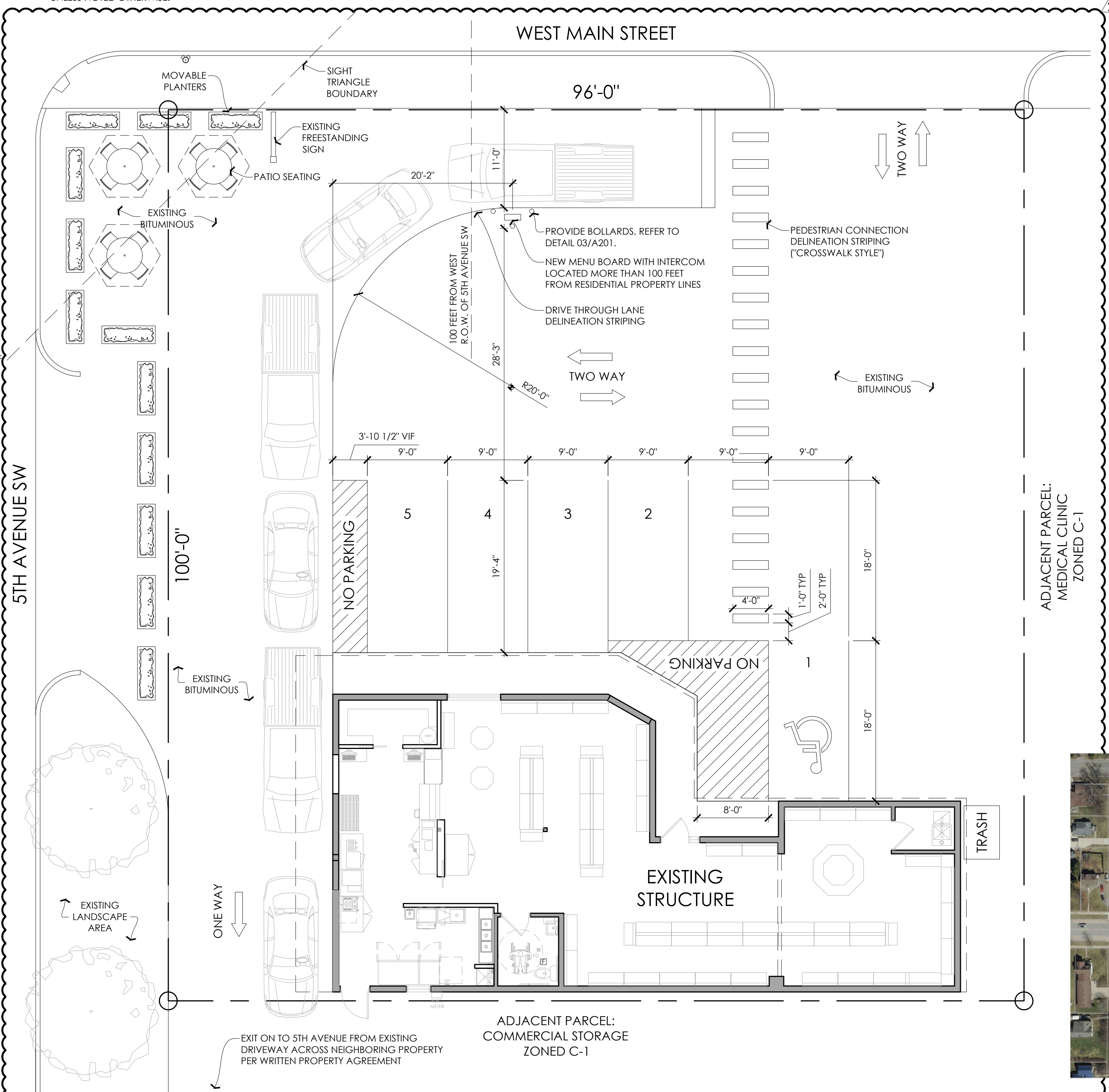
DRAWING NUMBER ON SHEET

ALTERNATE INTERIOR ELEVATION MARKER

ROOM NAME

ROOM NUMBER

NOTES (OPTIONAL)



02 ARCHITECTURAL SITE PLAN  
SCALE: 1/8" = 1'-0"

### PROJECT SCOPE

INTERIOR REMODEL OF FORMER PHARMACY AND RETAIL SPACE TO A RETAIL SPACE AND COFFEE SHOP. PROJECT WILL OCCUR IN TWO PHASES. THE FIRST PHASE WILL BE A MINOR REMODEL OF THE EAST PORTION OF THE BUILDING AS A RETAIL AREA. THE SECOND PHASE WILL BE THE COMPONENTS OF THE COFFEE SHOP.

### DRAWING INDEX

ARCHITECTURAL		
SHEET NO.	SHEET NAME	PERMIT SET
A001	GENERAL INFORMATION, SITE INFORMATION	X
A201	DEMOLITION FLOOR PLAN, PROPOSED FLOOR PLAN, DETAILS	X

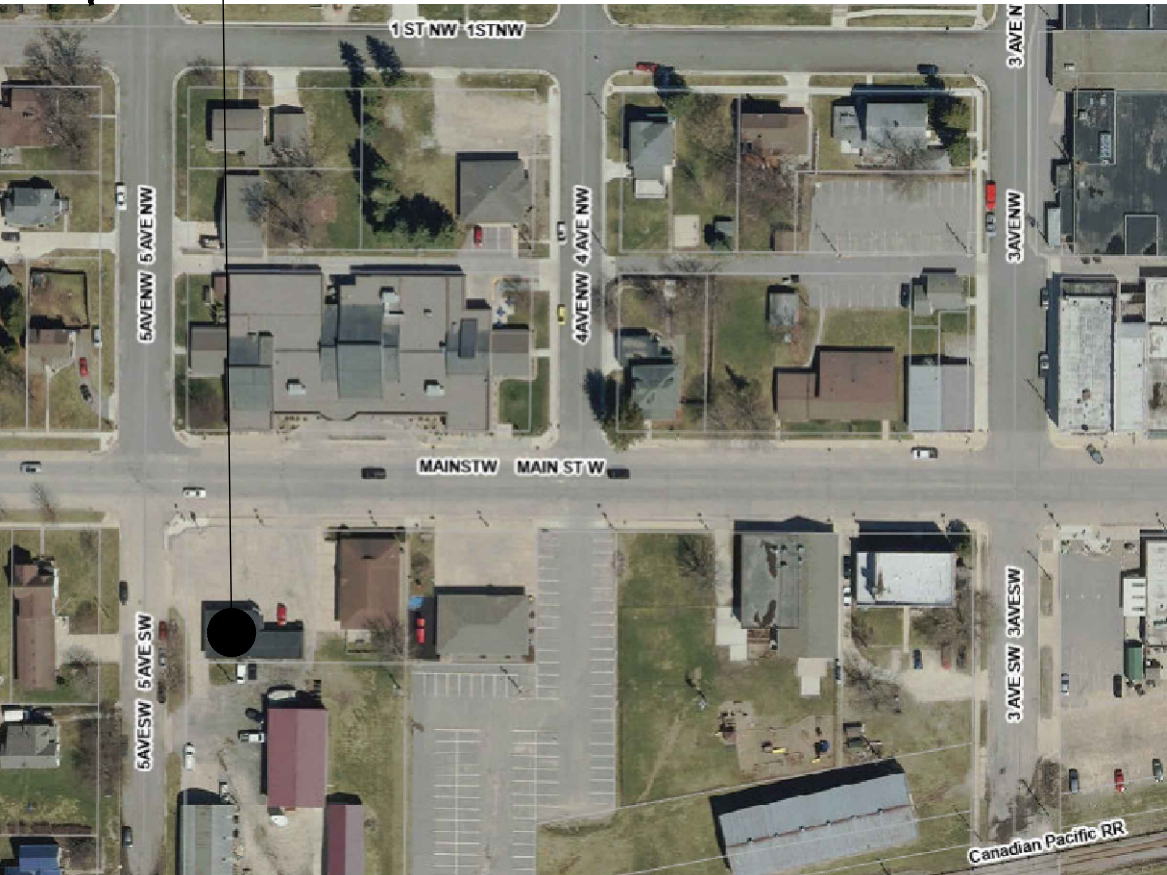
### ZONING

EXISTING SITE (CARLSON FIRST SUBDIVISION, LOT 1, BLOCK 1, PARCEL: 24.15.00.010)	
DISTRICT	C-1
STANDARDS	USE: COFFEE SHOP - PERMITTED; GENERAL RETAIL - PERMITTED; RESTAURANT WITH DRIVE-THROUGH - CONDITIONAL USE PERMIT
	SETBACKS: FRONT = 0 FEET; REAR = 0 FEET; SIDE = 0 FEET
	MAXIMUM IMPERVIOUS SURFACE: NOT APPLICABLE
	PARKING REQUIRED: NONE (154.07.21 (B))

### CODE SUMMARY

2020 MINNESOTA CONSERVATION CODE FOR EXISTING BUILDINGS (IEBC 2018 WITH MINNESOTA AMENDMENTS)				
COMPLIANCE METHOD	WORK AREA (301.3.2)			
TYPE OF OCCUPANCY	M (MERCANTILE)			
TYPE OF CONSTRUCTION	5-B			
NUMBER OF STORIES	1 STORY			
WORK AREA	1,736 SF (LEVEL 3 ALTERATION)			
OCCUPANT LOAD	23 OCCUPANTS (LESS THAN 20% INCREASE FROM PREVIOUS OCCUPANT LOAD)			
FIRE SPRINKLERS	NONE; NOT REQUIRED			
FIRE ALARM	NONE; NOT REQUIRED (IBC 907.2.7)			
EXTERIOR WALL FIRE RATING (TABLE 602)	NORTH	EAST	SOUTH	WEST
	NOT REQ'D	EXISTING NO CHANGE	EXISTING NO CHANGE	NOT REQ'D
UNPROTECTED, NONSPRINKLERED OPENING LIMITATIONS	NO LIMIT	NO CHANGE	NO CHANGE	NO LIMIT
CORRIDOR FIRE RATING	NONE (SERVING LESS THAN 30 OCCUPANTS)			
MAXIMUM TRAVEL DISTANCE	200 FEET (TABLE 1017.2)			
COMMON PATH OF TRAVEL	75 FEET (TABLE 1016.3.3 (2))			
EXIT SIGNS	PROVIDED; NOT REQUIRED			
PLUMBING FIXTURES	UNISEX SINGLE USER RESTROOM - ONE TOILET, ONE LAVATORY - SEPARATE FACILITIES NOT REQUIRED (IEBC 809.1)			

### PROJECT LOCATION



01 LOCATION MAP  
SCALE: NOT TO SCALE



Commercial • Residential • Code Consulting  
11 FOURTH STREET SW Rochester, MN 55902  
Phone: 507.289.6063

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

*Collin Tinsley*  
SIGNATURE  
COLLIN TINSLEY  
PRINTED NAME  
51076 02-23-2021  
NUMBER DATE

REVISIONS  
02-22-2021  
02-23-2021

SMILING MOOSE COFFEE & GIFTS  
408 WEST MAIN STREET  
KASSON, MN 55944

23 February 2021  
DATE

C. TINSLEY  
DRAWN BY

2020-119  
PROJECT NUMBER

SHEET TITLE  
GENERAL INFORMATION,  
SITE INFORMATION

SHEET

A001



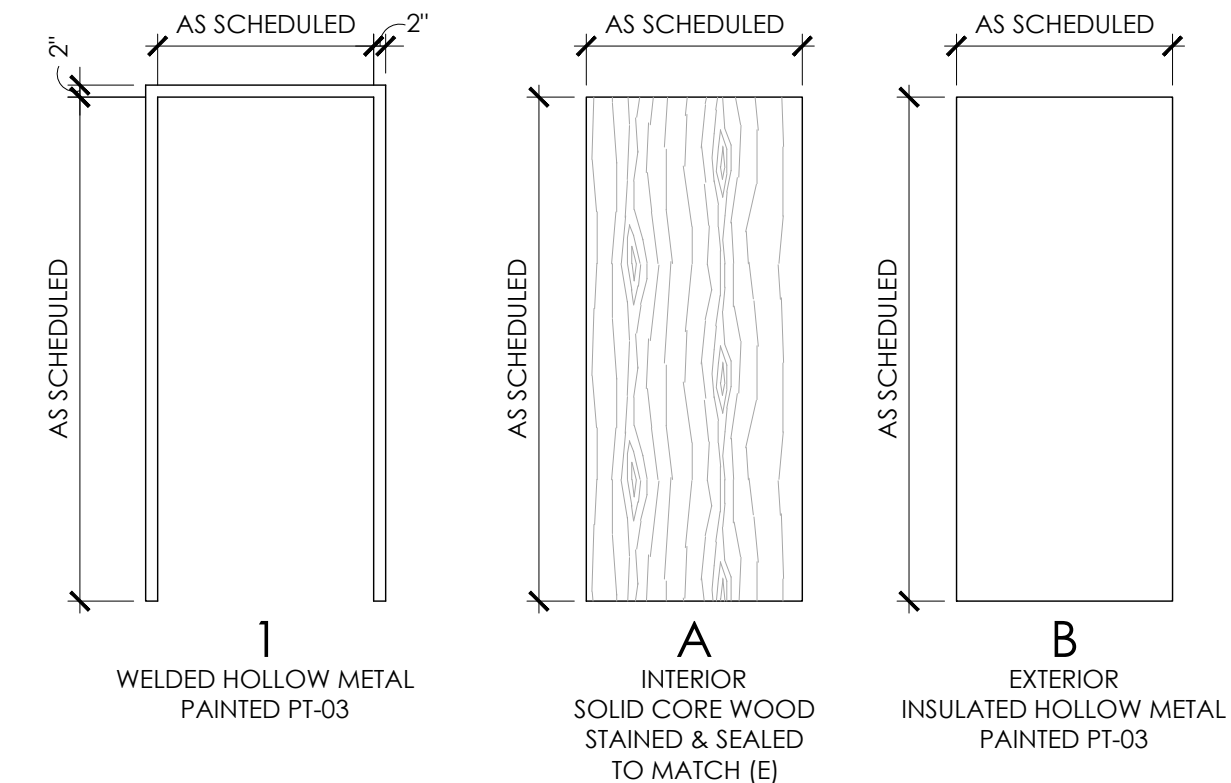
ROOM FINISH SCHEDULE					
(VERIFY ALL ROOM FINISHES WITH OWNER)					
ROOM NO.	ROOM NAME	FLOOR	CEILING	WALL BASE	WALLS
100	EAST RETAIL AREA	VP-01	PT-01	WD-01	PT-01
101	EXISTING MECHANICAL	EXISTING	EXISTING	EXISTING	EXISTING
102	EXISTING RESTROOM	EXISTING	PT-01	EXISTING	PT-01
103	CENTRAL RETAIL AREA	VP-01	PT-01	WD-01	PT-02
104	STORAGE	EPX-01	PT-01	EPX-01	FRP-01
105	FOOD PREP	EPX-01	PT-01	EPX-01	FRP-01

#### ROOM FINISHES (VERIFY ALL ROOM FINISHES WITH OWNER)

EP-01: STAINLESS STEEL EDGE PROTECTION  
EPX-01: EPOXY RESINOUS FLOORING  
FRP-01: FIBERGLASS REINFORCED PLASTIC WITH COVE BASE TRIM. SEAL JOINTS BETWEEN COVE BASE TRIM, FLOOR, AND FRP PANEL WITH COMPATIBLE SEALANT  
PT-01: INTERIOR LATEX PAINT ON GYPSUM BOARD WITH LEVEL 4 FINISH  
PT-02: INTERIOR EPOXY OR ENAMEL PAINT  
PT-03: EXTERIOR ENAMEL PAINT  
VP-01: VINYL PLANK  
WD-01: WOOD BASE

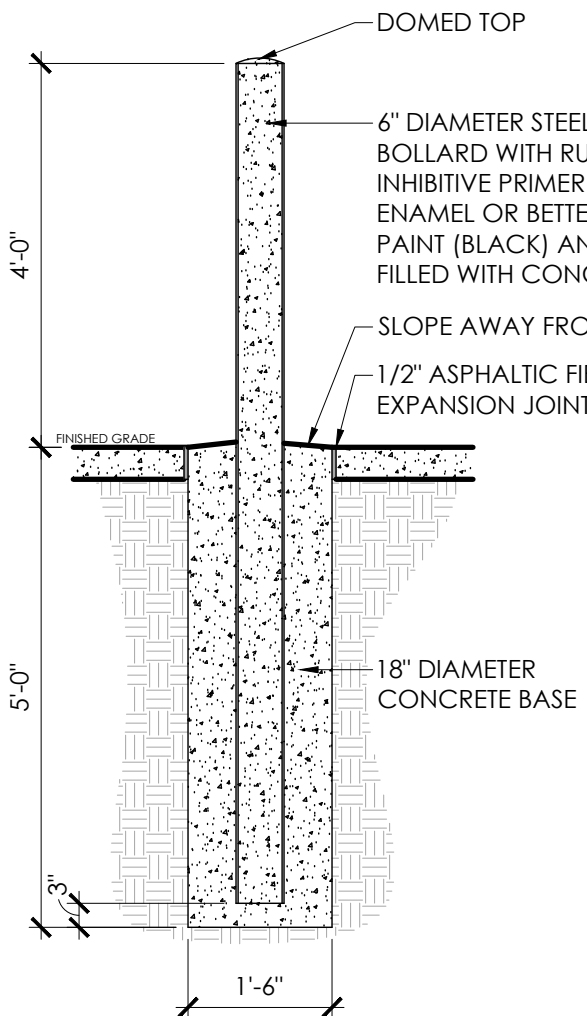
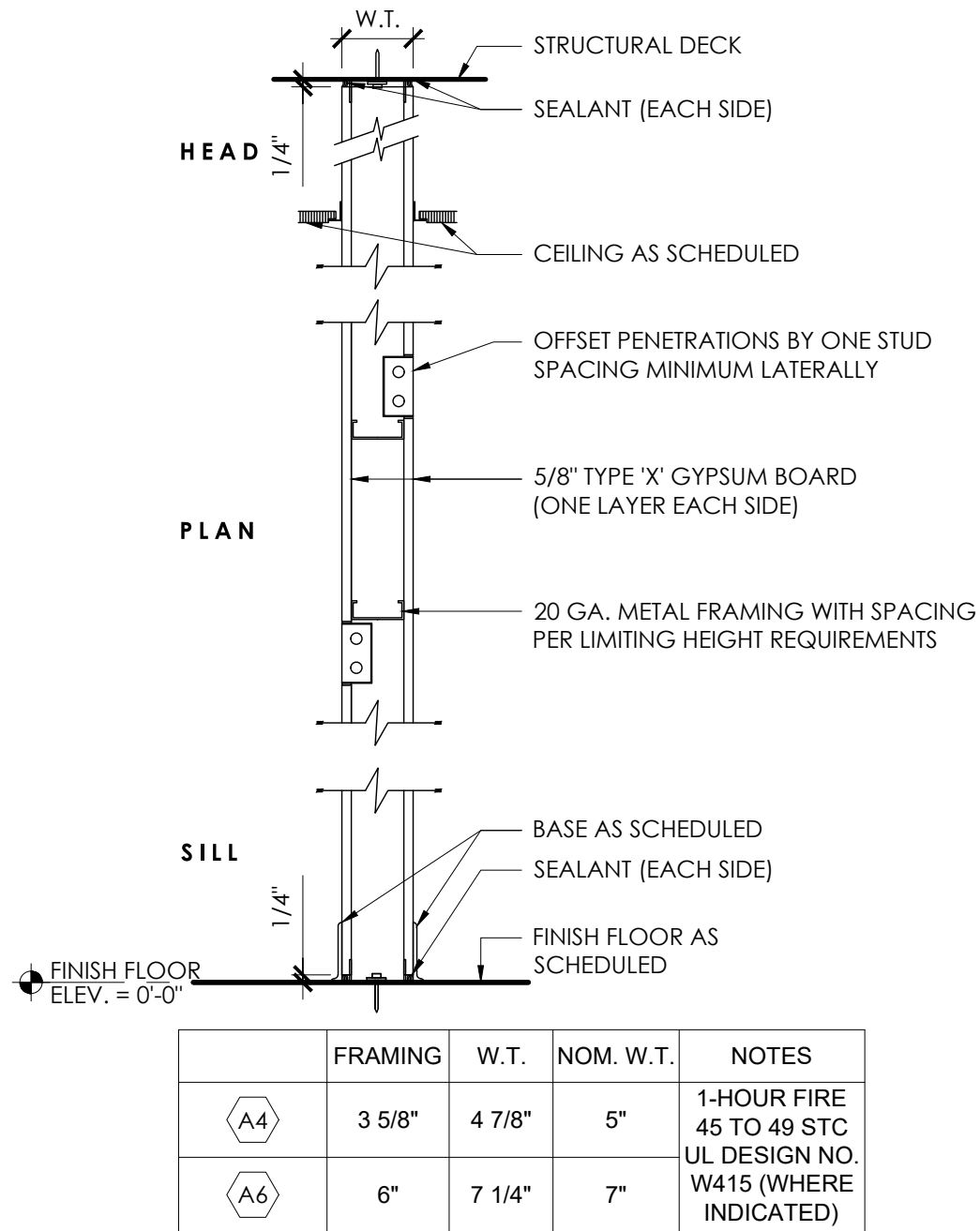
EQUIPMENT SCHEDULE				
NO.	EQUIPMENT	QTY.	MANUFACTURER	MODEL NUMBER
1	3-COMPARTMENT SINK	1	JOHN BOOS	E358-15-14T15
2	MOP SINK	1	ZURN	Z1996-24
3	1-COMPARTMENT SINK	1	JOHN BOOS	E158-18-12L18-X
4	HAND WASH SINK	1	ATOSA	MRS-HS-14
6	REFRIGERATED BASE/WORK TOP	1	ARCTIC AIR	AUC48R
8	BACK BAR CABINET, REFRIGERATED	1	ARCTIC AIR	A8872G
10	ESPRESSO MACHINE	1	ASTRA	M2C014
11	COFFEE BREWER	1	BUNN	37600.0002
11.5	COFFEE GRINDER	1	BUNN	05800.0003
12	WORK TABLE	1	JOHN BOOS	FBLG3630-X
13	ICE CREAM DIPPING/DISPLAY	1	NOR-LAKE	HF100WWG/0
16	REACH-IN FREEZER	1	ARCTIC AIR	AF49
17	REACH-IN REFRIGERATOR	1	ARCTIC AIR	AR23
19	WIRE SHELVING	4	NEXEL	S2448EP
21	ICE MAKER WITH BIN, CUBE-STYLE	1	MANITOWOC	UYF0190A
23	REFRIGERATED MERCHANDISER	1	ATOSA	MCF8709GR
25	WORK TABLE	1	JOHN BOOS	FBLG4830-X
26	MICROWAVE	1	AMANA ACP	RCS10DSE
27	POP-UP TOASTER	1	HATCO	TPT-120-QS
28	MIXER	1	WARING	WDM360TX
29	DISPLAY CASE	1	CAL-MIL	1012
30	FOOD TOPPING WARMER	1	SERVER PRODUCTS	81140
31	DISPLAY CASE	1	APW WYOTT	DWCH-14

DOOR SCHEDULE							
DOOR NO.	OPENING SIZE		THICKNESS	DOOR TYPE	FRAME TYPE	FIRE RATING	HARDWARE SET
	WIDTH	HEIGHT					
104	3'-0"	6'-8"	1-3/4"	A	POCKET	NO	PER MFR.
105A	3'-0"	6'-8"	1-3/4"	A	POCKET	NO	PER MFR.
105B	3'-0"	7'-0"	1-3/4"	B	1	NO	2



#### FRAME TYPES DOOR TYPES

SCALE: 3/8" = 1'-0" SCALE: 3/8" = 1'-0"



#### 03 BOLLARD DETAIL

SCALE: 1/2" = 1'-0"

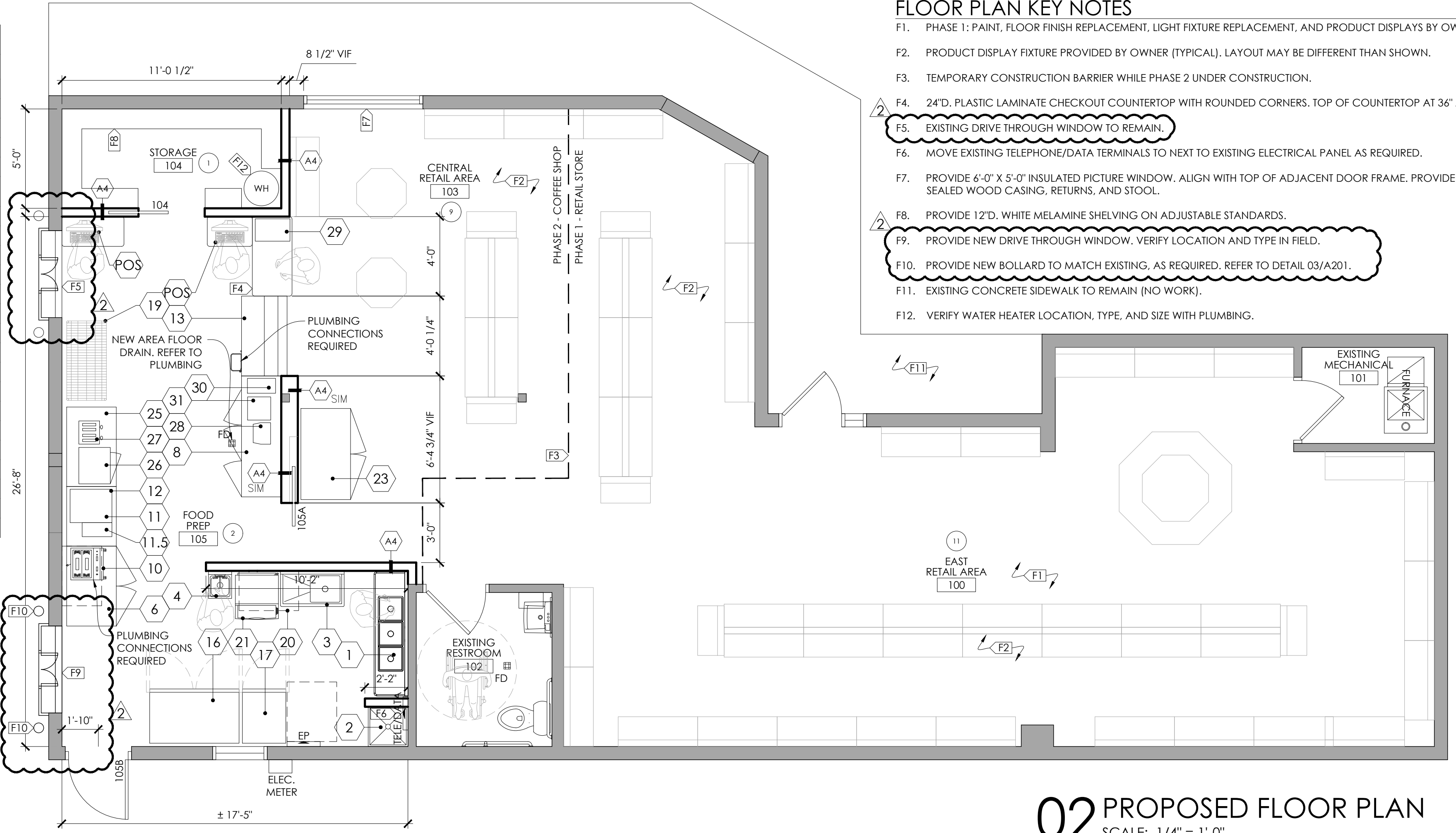
#### GENERAL DOOR & HARDWARE NOTES

- PROVIDE TEMPERED OR SAFETY GLAZING WHEN REQUIRED BY CODE OR AUTHORITY HAVING JURISDICTION
- INSTALL DOORS AND FRAMES FOLLOWING DOOR INDUSTRY STANDARDS AND BUILDING STANDARDS. COORDINATE WITH OWNER AS REQUIRED.
- VERIFY DOOR AND FRAME FINISHES WITH OWNER.
- VERIFY HARDWARE STYLE, TYPE, AND FINISH WITH OWNER UNLESS NOTED OTHERWISE.
- CLOSER ADJUSTMENTS SHALL MEET MINNESOTA ACCESSIBILITY REQUIREMENTS. CLOSER SHALL BE ADJUSTED TO CLOSE FROM AN OPEN POSITION OF 70 DEGREES TO A POINT 3 INCHES FROM THE LATCH IN A MAXIMUM OF 3 SECONDS. MAXIMUM FORCE REQUIRED TO OPERATE THE DOOR SHALL NOT EXCEED 5 POUNDS OF FORCE.
- COORDINATE KEYING OF LOCK SETS WITH OWNER.
- ALL DOORS SHALL HAVE SILENCERS. PROVIDE SEALS IN LIEU OF SILENCERS AT FIRE RATED AND/OR SOUND RATED CONDITIONS.

#### DOOR HARDWARE

01 NOT USED

- 02 DOOR SHALL HAVE:
- ENTRY LOCKSET WITH LEVER HANDLE WITH BREAKAWAY TRIM
  - 3 SETS NRP HINGES
  - CLOSER WITH STOP
  - KICKPLATE
  - WEATHERSTRIPPING
  - FULL SADDLE THRESHOLD
  - DOOR SWEEP
  - DOOR VIEWER

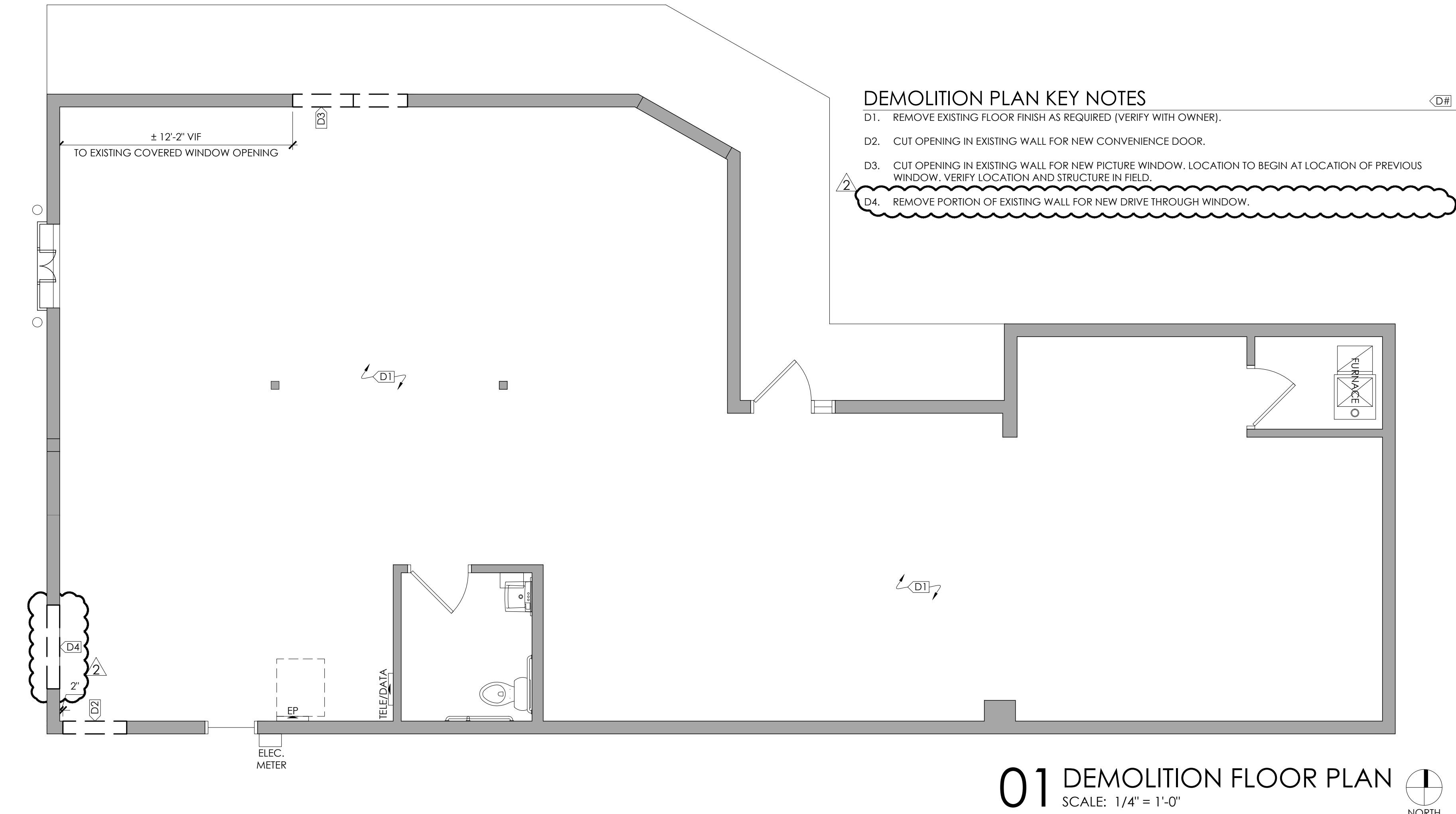


#### FLOOR PLAN KEY NOTES

- F1. PHASE 1: PAINT, FLOOR FINISH REPLACEMENT, LIGHT FIXTURE REPLACEMENT, AND PRODUCT DISPLAYS BY OWNER.
- F2. PRODUCT DISPLAY FIXTURE PROVIDED BY OWNER (TYPICAL). LAYOUT MAY BE DIFFERENT THAN SHOWN.
- F3. TEMPORARY CONSTRUCTION BARRIER WHILE PHASE 2 UNDER CONSTRUCTION.
- F4. 24"D. PLASTIC LAMINATE CHECKOUT COUNTERTOP WITH ROUNDED CORNERS. TOP OF COUNTERTOP AT 36" AFF.
- F5. EXISTING DRIVE THROUGH WINDOW TO REMAIN.
- F6. MOVE EXISTING TELEPHONE/DATA TERMINALS TO NEXT TO EXISTING ELECTRICAL PANEL AS REQUIRED.
- F7. PROVIDE 6'-0" X 5'-0" INSULATED PICTURE WINDOW. ALIGN WITH TOP OF ADJACENT DOOR FRAME. PROVIDE STAINED & SEALED WOOD CASING, RETURNS, AND STOOL.
- F8. PROVIDE 12"D. WHITE MELAMINE SHELVING ON ADJUSTABLE STANDARDS.
- F9. PROVIDE NEW DRIVE THROUGH WINDOW. VERIFY LOCATION AND TYPE IN FIELD.
- F10. PROVIDE NEW BOLLARD TO MATCH EXISTING, AS REQUIRED. REFER TO DETAIL 03/A201.
- F11. EXISTING CONCRETE SIDEWALK TO REMAIN (NO WORK).
- F12. VERIFY WATER HEATER LOCATION, TYPE, AND SIZE WITH PLUMBING.

#### 02 PROPOSED FLOOR PLAN

SCALE: 1/4" = 1'-0"



#### DEMOLITION PLAN KEY NOTES

- D1. REMOVE EXISTING FLOOR FINISH AS REQUIRED (VERIFY WITH OWNER).
- D2. CUT OPENING IN EXISTING WALL FOR NEW CONVENIENCE DOOR.
- D3. CUT OPENING IN EXISTING WALL FOR NEW PICTURE WINDOW. LOCATION TO BEGIN AT LOCATION OF PREVIOUS WINDOW. VERIFY LOCATION AND STRUCTURE IN FIELD.
- D4. REMOVE PORTION OF EXISTING WALL FOR NEW DRIVE THROUGH WINDOW.

#### 01 DEMOLITION FLOOR PLAN

SCALE: 1/4" = 1'-0"



I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

*Collin Tinsley*  
SIGNATURE  
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SMILING MOOSE COFFEE & GIFTS  
408 WEST MAIN STREET  
KASSON, MN 55944

23 February 2021  
DATE

C. TINSLEY  
DRAWN BY

2020-119  
PROJECT NUMBER

SHEET TITLE  
DEMOLITION FLOOR  
PLAN, PROPOSED FLOOR  
PLAN, DETAILS  
SHEET

A201





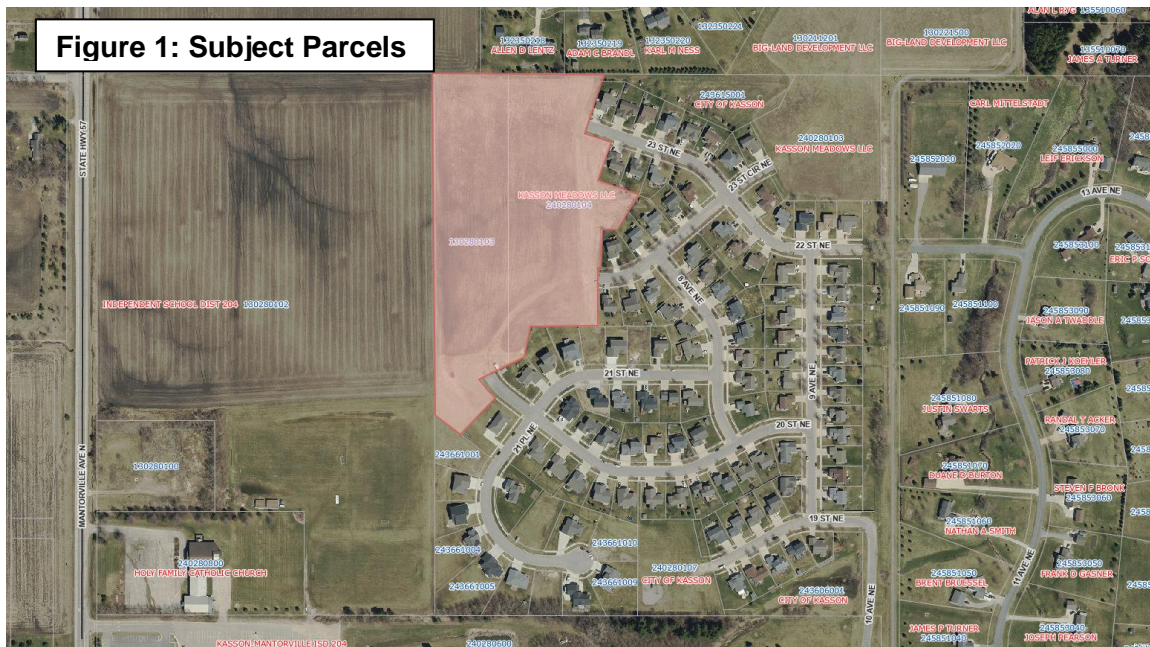
## STAFF REPORT

**TO:** Planning and Zoning Commission  
**FROM:** Brad Scheib, Consulting Planner, HKGi  
**DATE:** March 3, 2021  
**SUBJECT:** Kasson Meadows 7<sup>th</sup> Addition – Rezoning and Preliminary Plat  
**APPLICANT:** Kasson Meadows, LLC  
**OWNER:** Kasson Meadows, LLC  
**LOCATION:** PID No. 240280104 & 130280103  
**MEETING DATE:** March 8, 2021  
**COMPREHENSIVE PLAN:** LDR – Low Density Residential  
**ZONING:** DH Development Holding District

---

## OVERVIEW

The applicant, Kasson Meadows, LLC., represented by Scott Lampland, has applied for the approval of rezoning and Preliminary Plat for the properties located at PID No. 240280104 & 130280103. The proposed development, called Kasson Meadows 7<sup>th</sup> Addition, will subdivide two existing parcels located on the northern border of Kasson.





The parcels are currently zoned DH Development Holding District; the DH District is meant to allow existing uses to continue but requires rezoning to a zoning district that complies with the Comprehensive Plan at time of subdivision or development. As such, the applicant is requesting rezoning of these parcels to the R-1 Single Family Residential District. The Preliminary Plat shows the subdivision of the cumulative 12.11 acres into 16 single family detached residential lots at the southern end of the site with the remaining 5.28 acres of the site left unplatted, held for future platting.

## **BACKGROUND**

- This is the most recent phase of development of the Kasson Meadows neighborhood in northern Kasson.
- Currently, the Kasson Meadows neighborhood does not have permanent access via public roads.
  - 10<sup>th</sup> Avenue NE serves as access to the neighborhood to 16<sup>th</sup> Street NE, but this access currently cuts across property owned by the school district and the road has not been finished to City standards. The city is researching if an easement exists for this street. If not, the City and the applicant will need to work with the school district to formalize 10<sup>th</sup> Avenue NE as a City Street (easement or right-of-way) meeting city street standards.
  - There is also an access point platted as right-of-way from 22<sup>nd</sup> Street NE east to the Little's Meadow subdivision; while the right-of-way has been set aside, the actual street connection has not been installed. The City is working with the applicant to get this street connection constructed this summer.
  - Staff is recommending that these access issues need to be resolved before Kasson Meadows 7<sup>th</sup> Addition will be allowed to pull building permits for the properties.
- The subject site had been part of previous General Development Plans reviewed by the Planning and Zoning Commission. The last GDP from 2006 can be seen as an attachment to this report.
- The westerly parcel has recently been annexed into the City.

## **REVIEW PROCEDURE**

The applications submitted include the following subdivision requests:

- Rezoning of property from DH Development Holding District to R-1 Single-Family Residential District
- Preliminary Plat approval

### **60-Day Land Use Application Review Process**

Pursuant to Minnesota State Statutes Section 15.99, local government agencies are required to approve or deny land use requests within 60 days. Within the 60-day period, an automatic extension of no more than 60 days can be obtained by providing the applicant written notice containing the reason for the extension and specifying how much additional time is needed. For the purpose of Minnesota Statutes Section 15.99, "Day 1" for the Rezoning application was determined to be February 18, 2021. The City's deadline for action or extension is on April 19, 2021.

### **120-Day Subdivision Review Process**

Pursuant to Minnesota State Statutes Section 462.358, local government agencies are required to approve or deny subdivision requests within 120 days. “Day 1” is determined to be March 1, 2021 in accordance with Minnesota Statutes 645.15. The 120-day timeline for the preliminary plat expires on June 29, 2021.

### **Public Hearing**

City Code Section 154.069 requires that a public hearing for a zoning amendment, including rezoning of parcels, be held by the Planning and Zoning Commission. Furthermore, City Code Section 153.083 requires that a public hearing for review of the preliminary plat be held by the Planning and Zoning Commission. The public hearing notices for both the zoning amendment and preliminary plat were published in the Dodge County Independent and posted on the City website. The public hearing notices were mailed to all affected property owners located within 350 feet of the subject properties.

### **ZONING AMENDMENT REVIEW**

The applicant is proposing rezoning of the parcels from DH Development Holding District to R-1 Single-Family Residential District. This proposal fulfills the intention of the DH District as it holds vacant land until such a time that it is ready for development, and a rezoning is necessary.

The proposed R-1 Single-Family Residential District is in compliance with the Comprehensive Plan’s guidance of this area for Low Density Residential land uses. Furthermore, the existing Kasson Meadow’s development is zoned R-1, so this rezoning request is in keeping with the context of the neighborhood.

### **PRELIMINARY PLAT REVIEW**

The following is a review of the submitted materials as they relate to the City of Kasson’s adopted 2040 Comprehensive Plan, the Subdivision Ordinance (Chapter 153 of the City Code), and the Zoning Ordinance (Chapter 154 of the City Code). Additional elements related to technical aspects of subdivision have been reviewed by the City Engineer and are addressed later in this report.

### **Comprehensive Plan and Zoning**

#### ***Land Use***

The City’s Comprehensive Plan guides this area for Low Density Residential land uses.

- Low Density Residential consists of single family detached residential as the prevailing development type but may also consist of limited amounts of two unit buildings (twin homes or duplexes). Density of development within the Low Density Residential areas falls within a range of 2 to 4 housing units per acre (detached lot sizes ranging from 8,000 to 20,000 square feet).
  - The Preliminary Plat shows 16 residential units on an estimated 6.83 acres of land, resulting in a density of 2.34 units per acre, which is within the Low Density Residential land use designation.
  - The lot areas proposed fall between 8,928 sf and 20,423 sf, which generally meets the guidance of the Comprehensive Plan

### ***Zoning Standards***

The site is proposed to be zoned R-1 Single Family Residential. The proposed use of single-family detached dwellings is a permitted use in the R-1 Zoning District.

Zoning Standard	Required	Proposed	Analysis
Minimum Lot Area	8,000 sf	8,928 sf – 20,423 sf	Meets Standards
Minimum Lot Width (Building Line)	66'	Staff analysis of Plat show all lot widths over 66' at the building line	Meets Standards
Minimum Lot Width (Street Line)	45'	Plat shows all lot widths at the street are over 45'	Meets Standards
Front Yard Setback	20'	Preliminary Plat shows the location of setbacks for all properties, no buildings are proposed within required setbacks	Setbacks will be verified at time of individual building permit, but generally the subdivision is designed in such a way to accommodate them
Side Yard Setback	6.5'		
Rear Yard Setback	25'		
Maximum Building Height	35' / 2.5 stories	Building Height is not required for preliminary plat	These will be enforced at the time of building permit review
Maximum Impervious Surface	40%	Individual lot estimates range from 18% to 40%	Meets Standards – these will be enforced at the time of building permit review

### ***Surrounding Land Uses***

The site has the following land uses in the immediate proximity:

- To the north are large-lot single-family homes located within the Township
- To the east and south is the existing Kasson Meadows neighborhood
- To the west is school district property currently used as sports practice fields

The proposed uses for the site fit with the existing and future character of the area

### ***Preliminary Plat***

The purpose of a preliminary plat is to give preliminary review and approval of the subdivision of land that meets the guidance of the City's Comprehensive Plan and the standards of the subdivision and zoning ordinances. The approval of a preliminary plat gives developers the right to develop the site as shown within the preliminary plat, as long as the final plat substantially meets the standards and conditions of the preliminary plat approval. This right lasts one year after preliminary approval and two years after final approval, unless otherwise agreed upon between the developer and the City. With that in mind, the preliminary plat should be reviewed with care and a technical eye. Conditions of approval are common, and should be addressed by the applicant, submitted to the City and approved by appropriate staff before the City will accept a final plat application.

Section 153.083 (D) lists the following considerations to be made when reviewing a Preliminary Plat:

- (D) Criteria for review. In making their determination, the Planning and Zoning Commission and City Council shall consider the following:
- (1) Consistency with the design standards and other requirements of this chapter;
  - (2) Consistency with the city's comprehensive plan or other adopted plans applicable to the area;
  - (3) Consistency with Chapter 154 of the City Code;
  - (4) The physical characteristics of the site, including but not limited to topography, erosion and flooding potential, development or use contemplated; and
  - (5) The proposed development's potential for a negative fiscal or environmental impact upon the city.

City development review staff have reviewed the preliminary plat and find it generally meets the criteria listed above. Below are a few highlights for the Planning and Zoning Commission to consider:

- Trail/sidewalk access to the School District Property – The neighborhood is a single-family neighborhood which is likely to have many school aged kids. It is adjacent to existing and future school facilities. The subdivision as designed has limited connectivity to the west. Staff recommends a midblock or other sidewalk connection to improve pedestrian accessibility. Staff recommends this be discussed and added as a condition of approval.
- Park dedication – Agreements pertaining to park dedication exist with prior additions of Kasson Meadows. A park (Meadowland Park) serves the property to the south. Staff will work with prior agreements and seek cash in lieu of land to satisfy park dedication for this plat.
- Street connection to neighborhood - As previously discussed there is no legal street connection to this neighborhood. A condition of approval will be to ensure the neighborhood has adequate street access.
- Street naming – the final plat shall have proper street naming consistent with city street naming methodology.
- Remnant lands – The plat for Kasson Meadows 7<sup>th</sup> contains only the southern portion of the property being platted. Staff recommends platting the remaining northerly portion of the lot as an outlot (or outlots). This is required by the recently updated subdivision code. This ensures the orderly development of future phases by requiring platting prior to any additional improvements or building on the lot.

## **STAFF / CONSULTANT / AGENCY REVIEW**

### **City Staff Review**

Staff held development review meeting on 02/25/2021 to discuss the plat. Substantive comments from that meeting are included in this staff report and the city engineers supporting memo.

### **City Engineer Review**

The City Engineer, in consultation with City Administrative and Public Works Staff, has prepared the letter as an attachment to this report to address engineering and utility related concerns for the proposed development. At this time the applicant has provided preliminary construction plans for engineering review.

## **RECOMMENDATIONS**

### **Zoning Amendment**

Staff recommends that the Planning and Zoning Commission recommend approval to the City Council of the proposed rezoning of PIDs No. 240280104 & 130280103 from DH Development Holding District to R-1 Single-Family Residential District with the following conditions:

1. The rezoning shall occur with the approval of the proposed preliminary plat for Kasson Meadow's 7<sup>th</sup> Addition.

This recommendation is based on the following findings of fact:

1. The proposed zoning of R-1 Single-Family Residential District complies with the overall guidance of the comprehensive plan of Low Density Residential land use for the site; and
2. The proposed zoning will not have a negative impact on the site and adjacent properties.

### **Preliminary Plat**

Staff recommends that the Planning and Zoning Commission recommend approval to the City Council of the proposed Preliminary Plat of Kasson Meadows 7<sup>th</sup> Addition, with the following conditions:

1. The preliminary plat shall not be approved until the parcels are rezoned to R-1 Single-Family Residential District
2. The applicant shall add the remnants of PIDs No. 240280104 & 130280103 as outlots to the preliminary plat and provide existing and future legal descriptions of those areas prior to submittal of the final plat
3. The applicant shall add a trail or sidewalk connection to the west to provide needed pedestrian connections from the neighborhood to current and future school facilities. This element shall be added to the preliminary plat prior to submittal of the final plat
4. The applicant shall work with City Public Works staff to update street naming so that streets names are consistent with City direction; these shall be reflected on the final plat at time of submittal
5. Finished construction of public access via 10<sup>th</sup> Avenue Northwest and 22<sup>nd</sup> Street Northeast shall be required prior to the issuance of any individual building permit for Kasson Meadow's 7<sup>th</sup> Addition
6. Other changes as indicated by the City Engineer in their letter to the City Administrator dated February 28, 2021, as drawn on the plans attached to the letter shall be required prior to submittal of the final plat.

This recommendation is based on the following findings of fact:

1. The proposed preliminary plat, with conditions, is consistent with the Comprehensive Plan and policies of the City of Kasson.
2. The physical characteristics of the site are suitable for the type of development and use being proposed.
3. The proposed development will not negatively impact the health, safety, or welfare of the community.
4. The proposed preliminary plat, with conditions, gives effective protection to the natural resources of the community, especially ground water and surface waters.

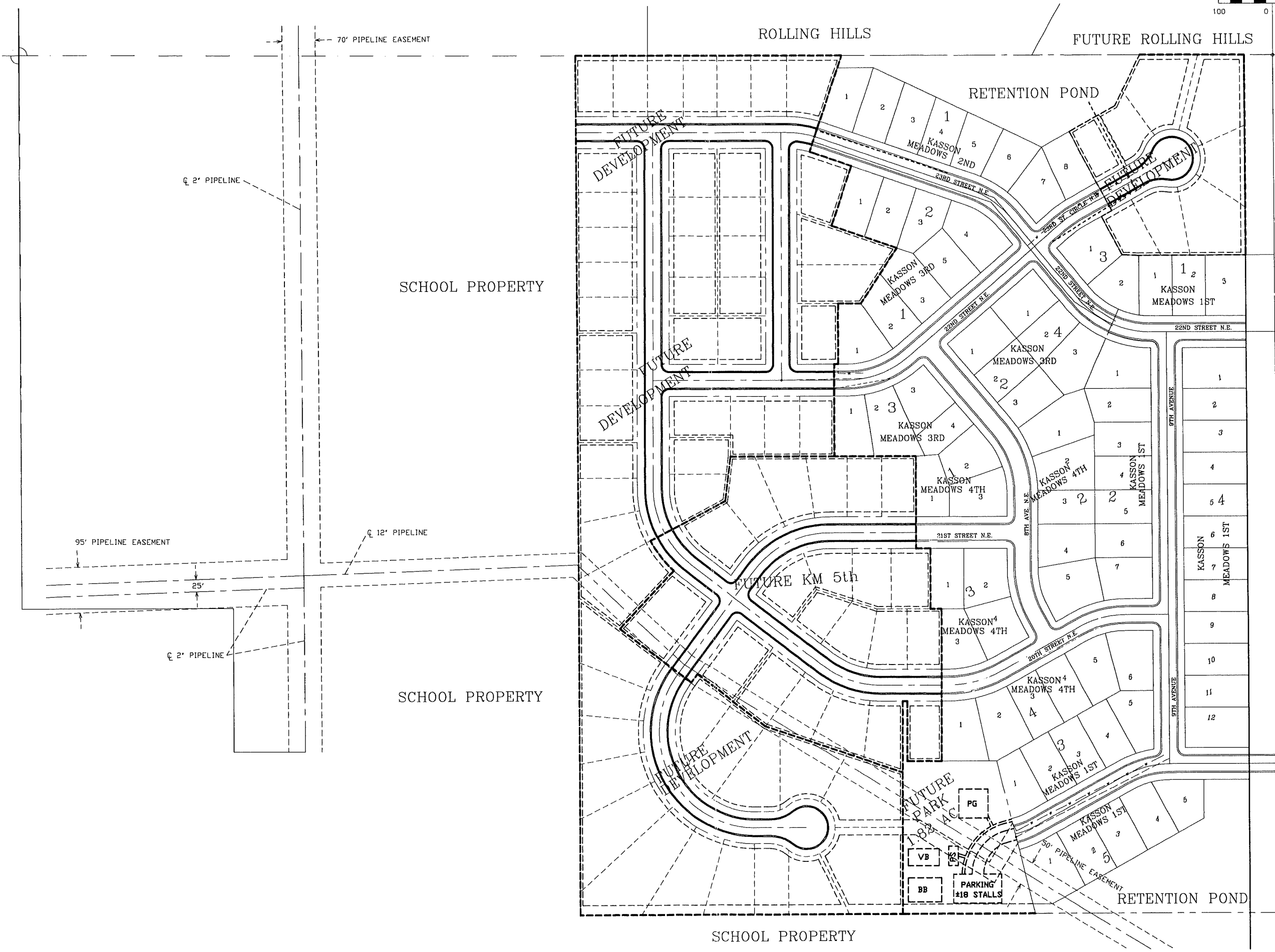
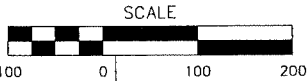
## **CITY COUNCIL REVIEW**

In the event a recommendation is received from the Planning and Zoning Commission, it will be forwarded to the City Council for action, likely at the March 10<sup>th</sup>, 2021 meeting.

## **ATTACHMENTS**

- A. Rezoning Application – Applicant Narrative, February 18, 2021
- B. Kasson Meadows Revised GDP (General Development Plan), 2006
- C. Kasson Meadows 7<sup>th</sup> Addition – Preliminary Plat, February 15, 2021
- D. City Engineer Review Letter and Marked-Up Exhibits, February 28, 2021

# KASSON MEADOWS REVISED GDP



**WHKS & CO.**  
ENGINEERS PLANNERS LAND SURVEYORS  
507-288-3923  
2805 South Broadway  
ROCHESTER, MINNESOTA 55904

REVISIONS		DESCRIPTION	
NO.	DATE		

GENERAL DEVELOPMENT PLAN  
REVISED  
KASSON MEADOWS  
KASSON, MINNESOTA

SCALE: AS SHOWN
PROJECT NO. 6712
DRAWN BY: BWC
CHECKED BY: AJK
SHEET 1 OF 1

**Property Information:**

Current Land Use Designation: AGRICULTURAL

Current Zoning District: HOLDING

Proposed Zoning District: R-1

**Rezoning / Amendment Description:**

PED 130280103 WAS ANNEXED INTO THE CITY OF KASSON  
IN THE FALL OF 2020. APPLICANT IS SEEKING R-1  
ZONING.

**Applicant Narrative:**

Provide a written explanation as to how the requested rezoning / amendment complies with the guidance of the Comprehensive Plan

R-1 ZONING IS CONSISTENT WITH THE FUTURE  
"LOW DENSITY RESIDENTIAL" LAND USE INDICATED IN THE  
CITY'S COMPREHENSIVE PLAN. R-1 MATCHES THE ADJACENT  
DEVELOPED LAND.



34-203269CG03.dwg

2/17/2021 1:34:36 PM

DODGE CO MON  
NE COR NE 1/4  
SEC 28-107-16

N 89°46'42" W 1466.17  
N. LINE NE 1/4

LIMESTONE  
NE COR NE 1/4  
SEC 28-107-16

#### LEGAL DESCRIPTION

That part of the Northeast corner of Section 28, Township 107 North, Range 16 West, Dodge county, Minnesota described as follows:

Commencing at the northeast corner of said Section 28; thence North 89 degrees 46 minutes 42 seconds West (Note: All Bearings are in relationship with the Dodge County Coordinate System NAD '83, Adjusted 19996), along the north line of said Northeast Quarter, 1466.17 feet to the west line of the East 1466.16 feet of said Northeast Quarter; thence continuing South 00 degrees 01 minutes 55 seconds East along said west line, 524.86 feet to the POINT OF BEGINNING; thence South 00 degrees 01 minutes 55 seconds East, 592.84 feet to the northwest corner of Lot 1, Block 1, KASSON MEADOWS SIXTH, according to the plat thereof on file in the County Recorder's office; thence South 52 degrees 43 minutes 53 seconds East along the north line of said Lot 1, Block 1, 107.76 feet to the northwest corner of KASSON MEADOWS FIFTH, according to the plat thereof on file in the County Recorder's office (the northerly boundary of said KASSON MEADOWS FIFTH is described in the next five courses); thence North 43 degrees 10 minutes 58 seconds East, 164.10 feet; thence northwesterly 75.82 feet along a non-tangential curve, concave northeasterly, having a central angle 19 degrees 18 minutes 27 seconds, and a radius of 233.00 feet, chord of said curve bears North 27 degrees 09 minutes 47 seconds West, 78.15 feet; thence North 62 degrees 28 minutes 32 seconds East, 163.37 feet; thence North 11 degrees 35 minutes 43 seconds East, 100.00 feet; thence South 89 degrees 46 minutes 42 seconds East 222.00 feet to the southwest corner of KASSON MEADOWS THIRD, according to the plat thereof on file in the County Recorder's office (the westerly boundary of said KASSON MEADOWS FIFTH is described in the next three courses); thence North 00 degrees 13 minutes 18 seconds East, 125.06 feet; thence South 89 degrees 46 minutes 42 seconds East, 7.92 feet; thence North 00 degrees 13 minutes 18 seconds East, 125.06 feet to the northwest corner of said KASSON MEADOWS FIFTH; thence North 89 degrees 46 minutes 42 seconds West, 152.67 feet; thence South 00 degrees 01 minutes 55 seconds East, 22.10 feet; thence South 89 degrees 58 minutes 05 seconds West, 204.00 feet; thence North 00 degrees 01 minutes 55 seconds West, 9.76 feet; thence South 89 degrees 58 minutes 05 seconds West, 190.63 feet to the west line of the East 1466.16 feet of said Northeast Quarter and the POINT OF BEGINNING.

LEGEND	
	DENOTES EASEMENT
	DENOTES EXISTING CONTOURS
	DENOTES WATERMAIN PIPE
	DENOTES SANITARY PIPE
	DENOTES STORM PIPE
	DENOTES TRAIL
	DENOTES RIGHT OF WAY
	DENOTES PROPERTY BOUNDARY
	DENOTES SETBACK LIMITS
	DENOTES CITY LIMITS

#### UTILITY QUALITY LEVEL

The subsurface utility information in this plan is quality level D. This quality level was determined according to the guidelines of C/ASCE 38-2, entitled "Standard Guidelines for the Collection and Depiction of Existing Subsurface Utility Data."

BASIS OF BEARINGS  
All Bearings are in relationship with the Dodge County Coordinate System NAD '83, Adjusted 1996.

D.U.E. = DRAINAGE AND UTILITY EASEMENT DEFINED  
An unobstructed easement for the construction and maintenance of all necessary overhead, underground or surface public utilities, including rights to conduct drainage and trimming on said easement.

MONUMENTS  
● FOUND (6" PIPE UNLESS NOTED OTHERWISE)  
○ SET (6" PIPE UNLESS NOTED OTHERWISE)

T. 109 N.		R. 20 W.	
N.W. 1/4		N.E. 1/4	
	12		
S.W. 1/4		S.E. 1/4	

No Scale  
LOCATION MAP

BUILDING SETBACKS: R1 ZONING			
FRONT	SIDE	SIDE	REAR
20 FT	6.5 FT	6.5 FT	25 FT
CORNER LOT SETBACKS			
20 FT	20 FT	6.5 FT	6.5 FT
MINIMUM LOT AREA = 8,000 SQ. FT			

#### LAND USE SUMMARY:

NUMBER OF LOTS = 16 LOTS  
TOTAL AREA OF PROPERTY = 5.41 ACRES  
TOTAL AREA OF ROW = 1.42 ACRES

#### ZONING NOTES:

EXISTING ZONING = R-1  
PROPOSED ZONING = R-1

#### OWNER INFORMATION:

Owner: KASSON MEADOWS LLC  
Address: 2510 SCHUSTER LN NW, ROCHESTER, MN  
Name: SCOTT LAMPLAND  
Phone: 507-864-7095  
email: scott@rochesterservicecompany.com

LAND USE SUMMARY					LAND USE SUMMARY					LAND USE SUMMARY				
BLOCK 1 SITE INFORMATION:					BLOCK 2 SITE INFORMATION:					BLOCK 4 SITE INFORMATION:				
	HARDCOVER (SF)	PERVIOUS AREA (SF)	TOTAL AREA	PERCENT OF HARD COVER (SF)		HARDCOVER (SF)	PERVIOUS AREA (SF)	TOTAL AREA	PERCENT OF HARD COVER (SF)		HARDCOVER (SF)	PERVIOUS AREA (SF)	TOTAL AREA	PERCENT OF HARD COVER (SF)
LOT 1	3,614	16,809	20,423	18%	LOT 1	3,600	6,827	10,427	35%	LOT 1	3,661	5,597	9,258	40%
LOT 2	3,617	11,936	15,553	23%	LOT 2	3,600	6,827	10,427	35%	LOT 2	3,600	5,328	8,928	40%
LOT 3	3,601	6,785	10,386	35%	LAND USE SUMMARY					LOT 3	3,600	5,639	9,239	39%
LOT 4	3,600	6,096	9,696	37%	BLOCK 3 SITE INFORMATION:					LOT 4	3,600	5,988	9,588	38%
LOT 5	3,600	6,096	9,696	37%		HARDCOVER (SF)	PERVIOUS AREA (SF)	TOTAL AREA	PERCENT OF HARD COVER (SF)	LOT 5	3,600	6,365	9,965	36%
LOT 6	3,600	6,096	9,696	37%						LOT 6	3,600	6,365	9,965	36%
LOT 7	3,600	6,096	9,696	37%	LOT 1	3,600	7,200	10,800	35%					



PH. NO. 507-634-4505  
PLANS@WSE.ENGINEERING  
www.wse.engineering

KASSON OFFICE  
P.O. BOX 100  
33 B E VETERANS  
MEMORIAL HIGHWAY  
KASSON, MN 55944

PLAINVIEW OFFICE  
320 WEST BROADWAY  
SUITE 3  
PLAINVIEW, MN 55964

San Massey

DESCRIPTION:  
DATE:  
REV:

PRELIMINARY PLAT  
KASSON MEADOWS 7th  
DODGE COUNTY, MINNESOTA

THIS SURVEY AND DRAWING  
WAS PREPARED FOR THE  
EXCLUSIVE USE OF:

SCALE: AS SHOWN  
DATE: 2/15/2021  
DRAWN BY: GFN  
JOB NUMBER: 34-203269  
DWG. FILE: 34-203269CG03.dwg

2905 South Broadway  
Rochester, MN 55904-5515  
Phone: 507.288.3923  
Fax: 507.288.2675  
Email: rochester@whks.com  
Website: www.whks.com



February 28, 2021

Mr. Tim Ibisch  
City Administrator  
City of Kasson  
401 5th St. SE  
Kasson, MN 55944

RE: Kasson, MN  
Kasson Meadows 7th  
**Review of Preliminary Plat, Preliminary Construction Plans and Rezoning Application**

Dear Tim:

We have reviewed the preliminary plat, preliminary construction plans and rezoning application as submitted for the referenced project, as requested. We offer the following comments on the submitted plans in addition to the comments on the attached marked up plans.

General Comments

1. Development Agreement, Zoning Review and Fee related items are not included in our review.
2. A revised General Development Plan (GDP) was previously prepared for the full buildout. The street and lot layout depicted on the preliminary plat generally conform the revised (GDP).
3. The subject property was annexed into the City of Kasson at the November 18, 2020 council meeting. At the time of annexation, the property was placed in the D-H Development Holding District.
4. The Applicant is proposing to rezone the subject property to Single Family Residential District R-1.
5. The subject property is located within Flood Zone C (areas of minimal flood hazard).
6. Any existing wetlands shall be delineated and depicted on the final plat and construction plan set.
7. 10' wide drainage and utility easements shall be provided along all shared lot lines within the subdivision.
8. The Engineer shall verify if the existing wet pond was designed to manage runoff for this phase of development and that it complies with the current State General Construction Stormwater NPDES permit and City design standards. Required revisions to the

existing pond shall be constructed as part this phase. Any correspondence with the MPCA shall be forwarded to the City Engineer.

9. An Engineer's Opinion of Construction Costs and Construction Schedule shall be submitted with the final plat.
10. The applicant must secure all necessary permits before construction begins including the NPDES construction storm water, Health Department watermain extension, MPCA sanitary sewer extension. The Owner, or their representative, will be responsible for permit compliance.
11. The Owner and Contractor will be required to have a pre-construction meeting with the City for the installation of public infrastructure. Contractor shall coordinate any watermain and sewer disturbances with the City maintenance staff.
12. Monuments disturbed/missing should be set at the end of construction.
13. The bituminous paving wear course shall be paved after one construction season.
14. Construction details, stormwater pollution prevention plan, and erosion and sedimentation control plan shall be submitted with the final plat for review.
15. Storm sewer pipe sizing and gutter spread calculations shall be submitted with the final plat for review.
16. It is recommended that the City require the Developer to perform testing and observation of all engineered fill outside the right-of-way. The Developer should be required to submit test results and observation records to the City upon completion. This information is provided to the City for informational purposes only and is not reviewed by the City.
17. ADA ramps must meet ADA requirements and shall be constructed as part of the subdivision. ADA ramps shall be detailed on the plans to illustrate compliance with ADA requirements. Non-compliant ramps will need to be removed and replaced at the Developers cost.
18. As-built construction plans should be provided.
19. The soil boring report shall be submitted with final plat.
20. A second public access to the property should be provided.
21. Additional comments may follow upon review of the final construction plan set, final plat and drainage plans and report.

#### Preliminary Plat

1. Any covenants or deed restrictions shall be provided with the final plat submittal.
2. Lot widths at the building line shall be added.

3. The preliminary plat shall be revised to reflect the improvements on the revised construction plans.
4. Additional comments are provided on the attached preliminary plat.

Preliminary Construction Plans

1. A hydrant shall be provided at each intersection. Hydrant locations and spacing shall be reviewed by the City Fire Chief.
2. A blow off hydrant shall be provided at every watermain dead end.
3. Removed hydrants shall be salvaged to the City.
4. B624 concrete curb and gutter shall be provided at all catch basins.
5. Curb stops for water services shall be placed at the 10-foot drainage and utility easement.
6. Structural fill areas shall be added to the grading plan.
7. All proposed private utility roadway crossing conduit locations should be shown on the construction plans and installed before roadway construction.
8. A service table shall be added to the plan set.
9. The Engineer shall verify that the future 7<sup>th</sup> Avenue extension will have positive drainage to future 23<sup>rd</sup> Street NE.
10. The Engineer shall verify that future lots fronting the future 6<sup>th</sup> Avenue NE extension, north of the project limits can be served with sanitary sewer from future 23<sup>rd</sup> Street NE.
11. Additional comments are provided on the attached preliminary construction plans.

We recommend approval of the preliminary plat conditional upon the above items being addressed and resubmitted. A revised preliminary plat, construction plan set, and grading plan shall be submitted with the final plat for review.

Please contact us if you have any questions.

Sincerely,

**WHKS & co.**



Brandon W. Theobald, P.E.

BWT/bwt

Mr. Tim Ibisch  
February 28, 2021  
Page 4 of 4

Cc: Charlie Bradford, Public Works Director  
Linda Rappe, City Clerk  
Melanie Leth, City Attorney  
Brad Scheib, HKG inc., Consulting Planner  
Tyler Mandler, WSE & Massey Land Surveying and Engineering  
Les Conway, WSE & Massey Land Surveying and Engineering



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2/17/2021 1:34:36 PM

DODGE CO MON  
NE COR NE 1/4  
SEC 28-107-16

N 89°46'42" W 1466.17

N 89°46'42" W 1466.17

N. LINE NE 1/4

LIMESTONE  
NE COR NE 1/4  
SEC 28-107-16

#### LEGAL DESCRIPTION

That part of the Northeast corner of Section 28, Township 107 North, Range 16 West, Dodge county, Minnesota described as follows:

northeast corner of said Section 28; thence North 89 degrees 46 minutes 42 seconds West (Note: All Bearings with the Dodge County Coordinate System NAD '83, Adjusted 1999), along the north line of said Northeast 1/4 to the west line of the East 1466.16 feet of said Northeast Quarter; thence continuing South 00 degrees 01 minutes 55 seconds East along said west line, 524.86 feet to the POINT OF BEGINNING; thence South 00 degrees 01 minutes 55 seconds East to the northwest corner of Lot 1, Block 1, KASSON MEADOWS SIXTH, according to the plat thereof on record at the office; thence South 52 degrees 43 minutes 53 seconds East along the north line of said Lot 1, Block 1, to the northwest corner of KASSON MEADOWS FIFTH, according to the plat thereof on file in the County Recorder's office; thence North 43 degrees 01 minutes 18 seconds East, 164.10 feet; thence northwesterly 75.82 feet along a non-tangential curve, concave northeasterly, having a radius of 233.00 feet, chord of said curve bears North 27 degrees 09 minutes 18 seconds East, 100.00 feet; thence South 89 degrees 46 minutes 42 seconds East, 100.00 feet to the southwest corner of KASSON MEADOWS FIFTH, according to the plat thereof on file in the County Recorder's office; thence North 43 degrees 01 minutes 18 seconds East, 125.00 feet to the northwest corner of said KASSON MEADOWS FIFTH is described in the next five courses; thence North 43 degrees 01 minutes 18 seconds East, 125.00 feet; thence South 00 degrees 01 minutes 55 seconds East, 204.00 feet; thence North 00 degrees 01 minutes 55 seconds West, 190.63 feet to the west line of the East 1466.16 feet of said Northeast Quarter; thence continuing South 00 degrees 01 minutes 55 seconds East, 524.86 feet to the POINT OF BEGINNING.

#### LEGEND

---	DENOTES EASEMENT
---	DENOTES EXISTING CONTOURS
---	DENOTES WATERMAIN PIPE
---	DENOTES SANITARY PIPE
---	DENOTES STORM PIPE
---	DENOTES TRAIL
---	DENOTES RIGHT OF WAY
---	DENOTES PROPERTY BOUNDARY
---	DENOTES SETBACK LIMITS
---	DENOTES CITY LIMITS

#### UTILITY QUALITY LEVEL

The subsurface utility information in this plan is quality level D. This quality level was determined according to the guidelines of C/ASCE 38-2, entitled "Standard Guidelines for the Collection and Depiction of Existing Subsurface Utility Data."

BASIS OF BEARINGS  
All Bearings are in relationship with the Dodge County Coordinate System NAD '83, Adjusted 1999.

T. 109 N.	R. 20 W.
N.W. 1/4	N.E. 1/4



PH. NO. 507-634-4505  
PLANS@WSE.ENGINEERING  
www.wse.engineering

KASSON OFFICE  
P.O. BOX 100  
33 B E VETERANS  
MEMORIAL HIGHWAY  
KASSON, MN 55944

PLAINVIEW OFFICE  
320 WEST BROADWAY  
SUITE 3  
PLAINVIEW, MN 55964

*San Bway*

DESCRIPTION:
DATE:
REV:

PRELIMINARY PLAT  
KASSON MEADOWS 7th  
COUNTY, MINNESOTA

THERE ARE DISCREPANCIES BETWEEN THE LOT AREAS NOTED ON PLAN AND THE TABLE. PLEASE REVIEW AND REVISE ACCORDINGLY INCLUDING THE % OF HARD COVER. IT APPEARS THAT LOT 2, BLK 4 MAY EXCEED THE ALLOWABLE 40% MAXIMUM IMPERVIOUS SURFACE

VERIFY THAT FUTURE LOTS CAN BE SERVED BY SANITARY SEWER FROM FUTURE 23RD ST NE

LABEL ROW WIDTH AND BACK OF CURB TO BACK OF CURB PAVEMENT WIDTH

VERIFY THAT 7TH AVENUE NE HAS POSITIVE DRAINAGE TO FUTURE 23RD ST NE

LABEL ROW WIDTH AND BACK OF CURB TO BACK OF CURB PAVEMENT WIDTH

THE PRELIMINARY PLAT SHALL BE APPROPRIATELY SEALED

ADD AND LABEL EXISTING U.E

ADD AND LABEL EXISTING U.E

ADD AND LABEL EXISTING U.E

- LABEL EXISTING CONTOURS  
- SEE UTILITY MARKUPS ON THE MARKED UP CONSTRUCTION PLAN SET

NOTE PERMITTED 40% MAX. IMPERVIOUS SURFACE

PROVIDE ADA PED RAMP

PROVIDE ADA PED RAMP

LABEL ROW WIDTH AND BACK OF CURB TO BACK OF CURB PAVEMENT WIDTH

LABEL ROW WIDTH AND BACK OF CURB TO BACK OF CURB PAVEMENT WIDTH

LABEL EXISTING GAS EASEMENT

LABEL EXISTING U.E

MATTHEW D. NARVESON

JACOB M. SCHMIDT  
PID: 243644001

LABEL EXISTING U.E

BUILDING SETBACKS: R1 ZONING				
FRONT	SIDE	SIDE	REAR	
20 FT	6.5 FT	6.5 FT	25 FT	
CORNER LOT SETBACKS				
20 FT	20 FT	6.5 FT	6.5 FT	
MINIMUM LOT AREA = 8,000 SQ. FT				

LAND USE SUMMARY BLOCK 1 SITE INFORMATION:				
	HARDCOVER (SF)	PERVIOUS AREA (SF)	TOTAL AREA	PERCENT OF HARD COVER (SF)
LOT 1	3,614	16,809	20,423	18%
LOT 2	3,617	11,936	15,553	23%
LOT 3	3,601	6,785	10,386	35%
LOT 4	3,600	6,096	9,696	37%
LOT 5	3,600	6,096	9,696	37%
LOT 6	3,600	6,096	9,696	37%
LOT 7	3,600	6,096	9,696	37%

LAND USE SUMMARY BLOCK 2 SITE INFORMATION:				
	HARDCOVER (SF)	PERVIOUS AREA (SF)	TOTAL AREA	PERCENT OF HARD COVER (SF)
LOT 1	3,600	6,827	10,427	35%
LOT 2	3,600	6,827	10,427	35%

LAND USE SUMMARY BLOCK 3 SITE INFORMATION:				
	HARDCOVER (SF)	PERVIOUS AREA (SF)	TOTAL AREA	PERCENT OF HARD COVER (SF)
LOT 1	3,600	7,200	10,800	35%

LAND USE SUMMARY BLOCK 4 SITE INFORMATION:				
	HARDCOVER (SF)	PERVIOUS AREA (SF)	TOTAL AREA	PERCENT OF HARD COVER (SF)
LOT 1	3,661	5,597	9,258	40%
LOT 2	3,600	5,328	8,928	40%
LOT 3	3,600	5,639	9,239	39%
LOT 4	3,600	5,988	9,588	38%
LOT 5	3,600	6,365	9,965	36%
LOT 6	3,600	6,365	9,965	36%



0 40 80  
SCALE IN FEET

THIS SURVEY AND DRAWING WAS PREPARED FOR THE EXCLUSIVE USE OF:

SCALE: AS SHOWN  
DATE: 2/15/2021  
DRAWN BY: GFN  
JOB NUMBER: 34-203269  
DWG. FILE: 34-203269CG03.dwg

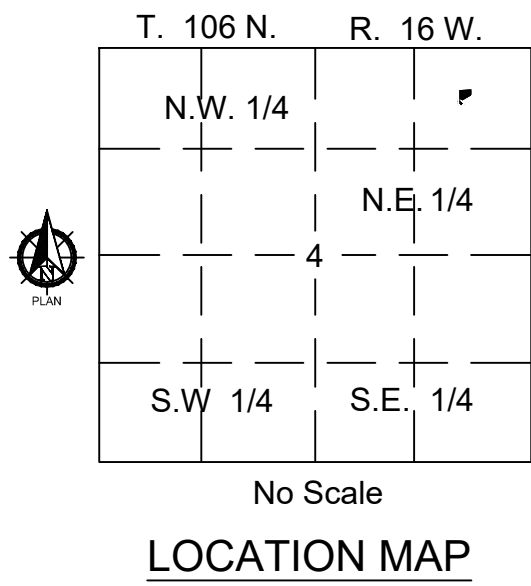


34-203269 CT01.dwg

# GRADING PLAN SET FOR KASSON MEADOWS 7th

Kasson, MN

Issue Date - 07/02/2020 Submittal



**BENCHMARK ELEVATION = 1235.22**  
TOP NUT HYDRANT AT THE NORTH SIDE OF 3RD STREET N.E. & 12 AVENUE N.E.

LEGEND	
1245	DENOTES PROPOSED CONTOUR ANNOTATION
x 46.84	DENOTES PROPOSED SPOT ELEVATION
→	DENOTES DRAINAGE DIRECTION
SF	DENOTES SILT FENCE OR BIOROLL PER 7-01SDP
⊙	DENOTES INLET PROTECTION PER 7-05SDP
▨	DENOTES PROPOSED EROSION MAT
—	DENOTES PROPOSED BITUMINOUS
~	DENOTES EXISTING CONTOURS
—	DENOTES TREE LINE
—	DENOTES WATERMAIN PIPE
—	DENOTES STORM SEWER PIPE
—	DENOTES SANITARY PIPE

INDEX TO PLANS	
Sheet Title	Sht. No.
TITLE SHEET	1
GRADING PLAN	2
6TH AVE NE PROFILE	3
22ND ST NE PROFILE	4

This plan contains 4 Total sheets

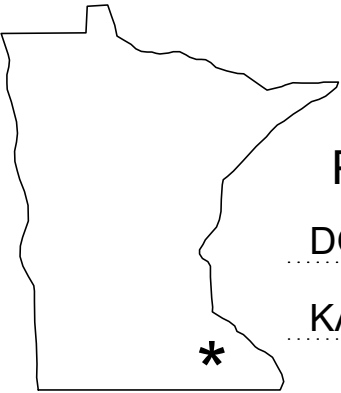
Approved By: \_\_\_\_\_  
City Engineer Date

OWNER / DEVELOPER

KASSON MEADOWS, LLC  
2510 SCHUSTER LN NW  
ROCHESTER, MN 55901  
PH. NO. (507) 281-5333

CIVIL ENGINEERS / SURVEYORS

WSE MASSEY ENGINEERING & SURVEYING, LTD  
P.O. BOX 100  
KASSON, MN. 55944  
PH. NO. (507) 634-4505



PROJECT LOCATION

DODGE COUNTY  
KASSON DISTRICT

UTILITY QUALITY LEVEL

The subsurface utility information in this plan is quality level D.  
This quality level was determined according to the guidelines of CI/ASCE 38-2, entitled "Standard Guidelines for the Collection and Depiction of Existing Subsurface Utility Data."

PH. NO. 507-634-4505  
PLANS@WSE.ENGINEERING  
www.wse.engineering

KASSON OFFICE  
P.O. BOX 100  
33 B E VETERANS  
MEMORIAL HIGHWAY  
KASSON, MN 55944

PLAINVIEW OFFICE  
320 WEST BROADWAY  
SUITE 3  
PLAINVIEW, MN 55964

REV.	DATE	DESCRIPTION

TITLE SHEET  
KASSON MEADOWS 7th  
DODGE COUNTY, MINNESOTA

THIS SURVEY AND DRAWING  
WAS PREPARED FOR THE  
EXCLUSIVE USE OF:

SCALE: \_\_\_\_\_ AS SHOWN  
DATE: \_\_\_\_\_ 2/15/2021  
DRAWN BY: \_\_\_\_\_ T.A.C.  
JOB NUMBER: \_\_\_\_\_ 34-203269  
DWG. FILE: \_\_\_\_\_ 34-203269 CT01.dwg

Project Number 34-203269

SHEET 1 OF 4

2/18/2021 9:51:06 AM



34-203269CG03.dwg

2/18/2021 9:52:16 AM

SEE MARKED UP UTILITIES ON SHEETS 3 AND 4 OF THE PLAN SET.

MOVE EASEMENT TEXT FOR CLARITY

VERIFY THAT 7TH AVENUE NE HAS POSITIVE DRAINAGE TO FUTURE 23RD ST NE

PROVIDE POSITIVE DRAINAGE

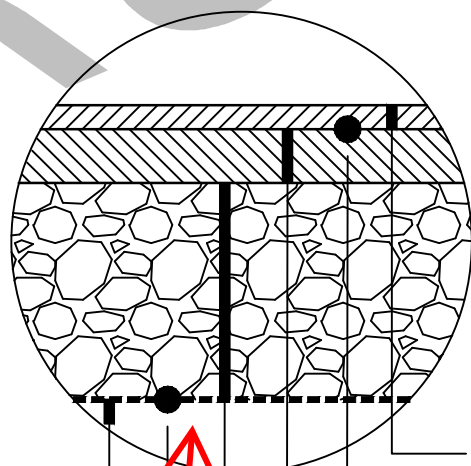
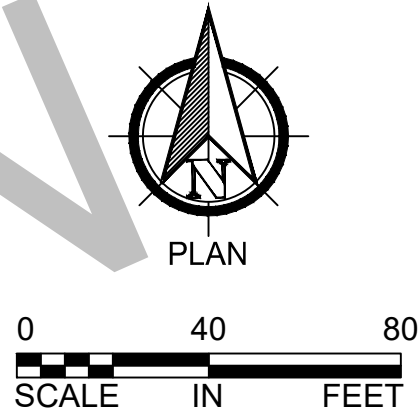
- LABEL EXISTING CONTOURS  
- LABEL AND SHOW ALL EXISTING ADJOINING UTILITY EASEMENTS (SEE PRELIMINARY PLAT MARKUPS)  
- ADD FLOW ARROWS

GENERAL NOTES

Number of lot = 16

Total area of property = 5.41 acres

LEGEND	
-1245-	DENOTES PROPOSED CONTOUR ANNOTATION
x 46.84	DENOTES PROPOSED SPOT ELEVATION
→	DENOTES DRAINAGE DIRECTION
SF	DENOTES SILT FENCE OR BIOROLL PER 7-01SDP
⊙	DENOTES INLET PROTECTION PER 7-05SDP
⬢	DENOTES PROPOSED BITUMINOUS
---	DENOTES EXISTING CONTOURS
---	DENOTES TREE LINE
---	DENOTES WATERMAIN PIPE
---	DENOTES STORM SEWER PIPE
---	DENOTES SANITARY PIPE
---	DENOTES GRADING LIMIT
---	DENOTES PROPERTY BOUNDARY
---	DENOTES INTERNAL PROPERTY LINES
---	DENOTES PHASE LINE OF PHASE AREAS



INSET A

BITUMINOUS ROAD SECTION

1.5" BITUMINOUS WEAR COURSE, MN DOT 2360 **SPWEA240C**  
MnDOT 2357 BITUMINOUS TACK COAT  
2.5" BITUMINOUS BASE COURSE, MN DOT 2360 2360 **SPNWEA240G**  
10" MN DOT CLASS 5 AGGREGATE BASE  
MnDOT TYPE V GEOTEXTILE SEPARATION FABRIC  
12" SUBGRADE PREPARATION

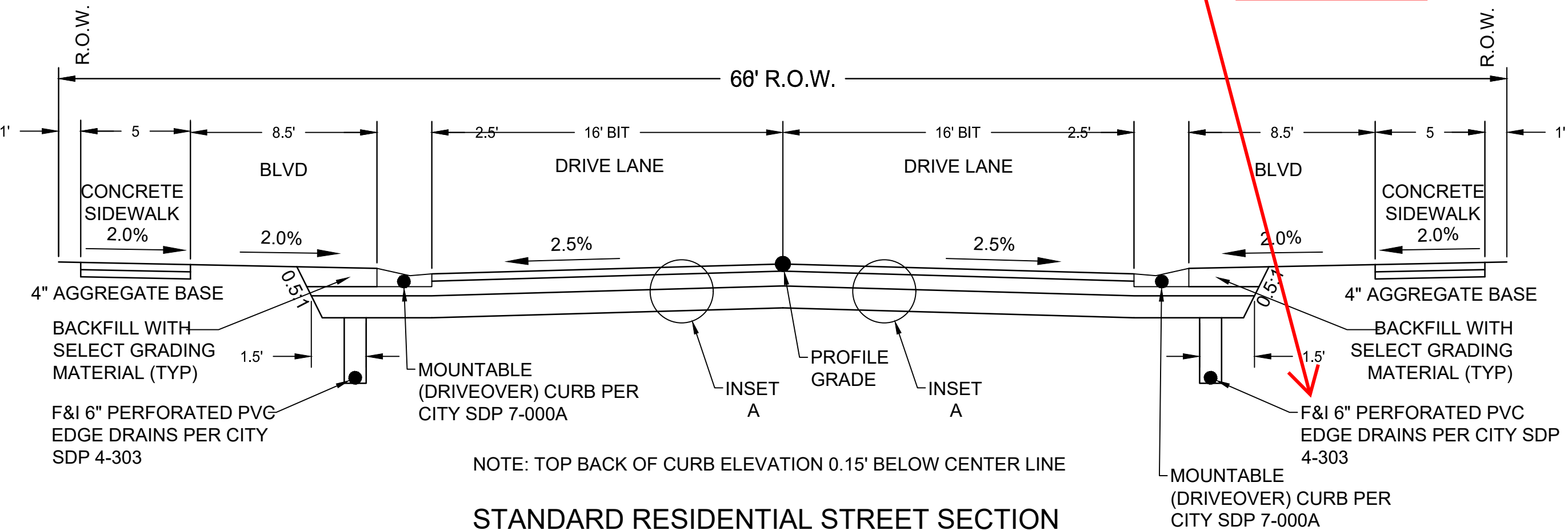
**SPWEB240B**

**SPNWB230B**

PROVIDE 12" OF GRANULAR BASE

SDP #'S DO NOT MATCH CITY OF KASSON STANDARD DETAILS PLEASE REVIEW AND REVISE ACCORDINGLY

LABEL EXISTING GAS EASEMENT



NOTE: TOP BACK OF CURB ELEVATION 0.15' BELOW CENTER LINE

STANDARD RESIDENTIAL STREET SECTION

PH. NO. 507-634-4505  
PLANS@WSE.ENGINEERING  
www.wse.engineering

KASSON OFFICE  
P.O. BOX 100  
33 B E VETERANS  
MEMORIAL HIGHWAY  
KASSON, MN 55944

PLAINVIEW OFFICE  
320 WEST BROADWAY  
SUITE 3  
PLAINVIEW, MN 55964

REV.	DATE:	DESCRIPTION:

GRADING PLAN  
KASSON MEADOWS 7th  
DODGE COUNTY, MINNESOTA

THIS SURVEY AND DRAWING  
WAS PREPARED FOR THE  
EXCLUSIVE USE OF:

SCALE: \_\_\_\_\_ AS SHOWN  
DATE: 2/15/2021  
DRAWN BY: T.A.C.  
JOB NUMBER: 34-203269  
DWG. FILE: 34-203269CG03.dwg

Sheet 2 of 4

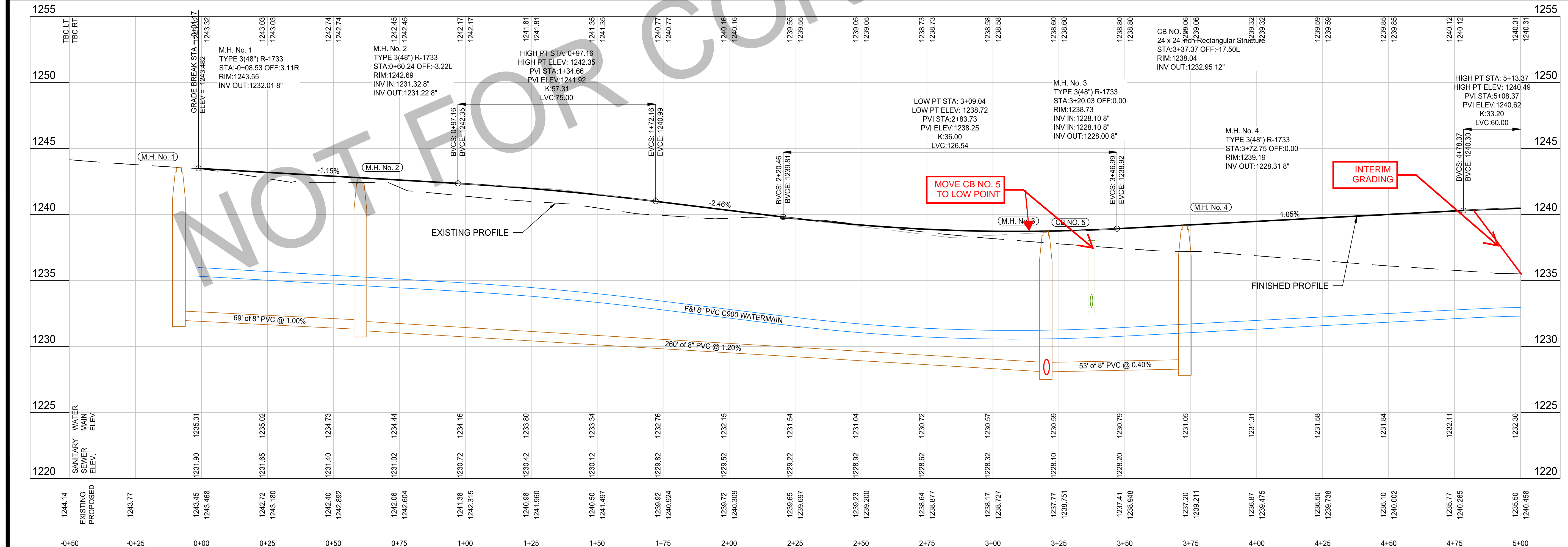


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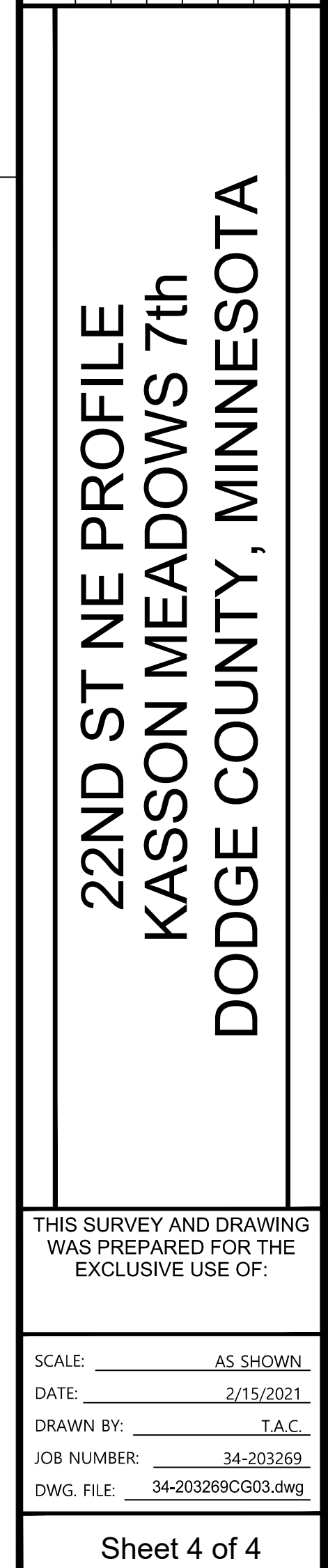
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WAS PREPARED FOR THE  
EXCLUSIVE USE OF:

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DATE: \_\_\_\_\_ 2/15/2021  
DRAWN BY: \_\_\_\_\_ T.A.C.  
JOB NUMBER: \_\_\_\_\_ 34-203269  
DWG. FILE: \_\_\_\_\_ 34-203269CG03.dwg

Sheet 3 of 4







## Linda Rappe

---

**From:** Timothy Ibisch <cityadministrator@cityofkasson.com>  
**Sent:** Wednesday, March 03, 2021 8:59 AM  
**To:** 'Linda Rappe'  
**Subject:** FW: Question about Planning Commission Meeting on March 8th 2021

Please include Mr. Godbout's questions in the PZ packet.

**From:** Dale Godbout <degodbout@gmail.com>  
**Sent:** Tuesday, March 2, 2021 8:23 PM  
**To:** Timothy Ibisch <cityadministrator@cityofkasson.com>  
**Subject:** Re: Question about Planning Commission Meeting on March 8th 2021

Hello Mr. Ibisch,

Thank you for sending over the proposal map. I do have a couple of concerns that I would very much appreciate being brought up during the meeting as I will unfortunately be unable to attend.

- 1 When will the "ONLY" road that services the subdivision be fixed and brought to the level that we should expect for the number of homes in the subdivision? This subdivision pays a lot of taxes overall to the city and has as much traffic as a lot of small towns in the area by itself. We should expect that to be a part of this expansion.
- 2 What are the plans for another entrance to the subdivision? Again related to the question above we have a lot of traffic that is forced and localized on a main road. It would be great to get a second way in and out of the subdivision. I understand that is likely not to happen but needs to be really considered due to the traffic and the extra wear and tear that the people that live close to the entrance will have to be burdened with when future repairs are needed. Plus the extra wear and tear due to construction equipment coming and going on the existing roads.
- 3 My address at 701 20th street will likely see an even larger uptick in traffic going by my home. The homes all around me have small children and we already have issues with cars speeding by. What traffic control will be in-place to help reduce traffic and speed? I believe having a second entrance will help with this situation but not eliminate it. We need to stop 20th street from being the "highway through" the east / west part of the subdivision.

Thank you for raising the questions during the meeting and look forward to hearing the responses back from you or from the meeting minutes.

Cheers!

Dale Godbout  
701 20th St NE  
Kasson, MN 55944  
402-681-2063

On Tue, Mar 2, 2021 at 4:04 PM Timothy Ibisch <cityadministrator@cityofkasson.com> wrote:

Good afternoon,

## Linda Rappe

---

**From:** Timothy Ibisch <cityadministrator@cityofkasson.com>  
**Sent:** Thursday, March 04, 2021 11:54 AM  
**To:** 'Brad Scheib'; 'Brandon Theobald'  
**Cc:** 'Linda Rappe'  
**Subject:** RE: ZED School planning

Looks good to me Brad, very concise write up on what should happen. Thanks for reaching out to Abby. I am mostly concerned with making sure the annexation proceeds in a timely manner. Let me know if you want me to contact anyone.

**Timothy P. Ibisch**  
City Administrator  
City of Kasson



**From:** Brad Scheib <[Brad@hkgi.com](mailto:Brad@hkgi.com)>  
**Sent:** Thursday, March 4, 2021 11:33 AM  
**To:** Brandon Theobald ([BTheobald@Whks.com](mailto:BTheobald@Whks.com)) <[BTheobald@Whks.com](mailto:BTheobald@Whks.com)>; Timothy Ibisch <[cityadministrator@cityofkasson.com](mailto:cityadministrator@cityofkasson.com)>  
**Subject:** ZED School

1. Parcel in question is currently not within the City. As a school facility this should be connected to city sewer and water services and be annexed into the City of Kasson. It is also within the orderly annexation area. (NOTE, IF THEY ARE ACQUIRING ADDITIONAL LAND FROM SCHOOL, THAT ADDED LAND WILL ALSO NEED TO BE ANNEXED).
  - a. Both the township and city prefer that annexations be comprehensive in nature based on thought through development proposals / concepts as opposed to individual lot by lot. Therefore, for efficiency and consistency purposes I would encourage the full annexation of this area east of Highway 57 to the existing city boundary. Technically, I believe the city can simply require it but I am not 100% sure on this. we need 50% of property owners to agree...
    - i. This takes care of a step that the school district would eventually need to do anyway prior to any development or improvement to their land that requires city services.
    - ii. The School land is currently classified as Ag Land and annexation would not change this
    - iii. The remnant KM School lands could be rezoned either to DH (holding zone) or R1.
2. Parcel is currently guided SF residential (which is consistent with the current development form and use at the time of the comp plan update). The parcel will need a comprehensive plan amendment to Public/Institutional

3. As the parcel is not in the city it will need to be 'rezoned' to R1. Schools are permitted with standards in the R1. If it is an admin building or other I need to think about what the right mechanism is...we might have a gap in our code for that.
4. Subdivision – if the project requires additional land from the school district then there will need to be a subdivision of sorts. The following options would exist depending on what they are proposing to do.
  - a. One option would be an administrative lot line adjustment IF they are simply moving a common boundary.
  - b. Second option would be to plat the property along with the school district property. They could subdivide as L1 B1 and L2 B1 or the remaining school property could be an outlot if future subdivision is anticipated. However, if they intend to develop it as a school or school facilities making it L2 B1 seem logical.
    - i. If we plat it as L2 B1, we will want to discuss and agree on ROW and possibly construction of a street connecting Highway 57 to 23<sup>rd</sup> Street (Kasson Meadows). I know this complicates things. Probably does not need to be built until they figure out what they want to do with the property.

I do not have a strong opinion about a or b above but could find reason to support either approach. If I had to make a recommendation I would request that they plat it and that we either do an outlot and we get ROW across the northern edge of the property. I know the school maybe does not want that but I think it is needed and at the end of the day will support any facilities or development school wants to do. As long as we improve the two accesses to Kasson Meadows 7<sup>th</sup> soon, we do not need to build that street connection until further development happens.

Those are my thoughts. Let me know if I am missing anything or off base with anything. I have reached out to Abby.

**Brad Scheib, AICP**

Vice President

[brad@hkgi.com](mailto:brad@hkgi.com)

office direct: 612.252.7122

cell: 612.616.0180

**HKGi**

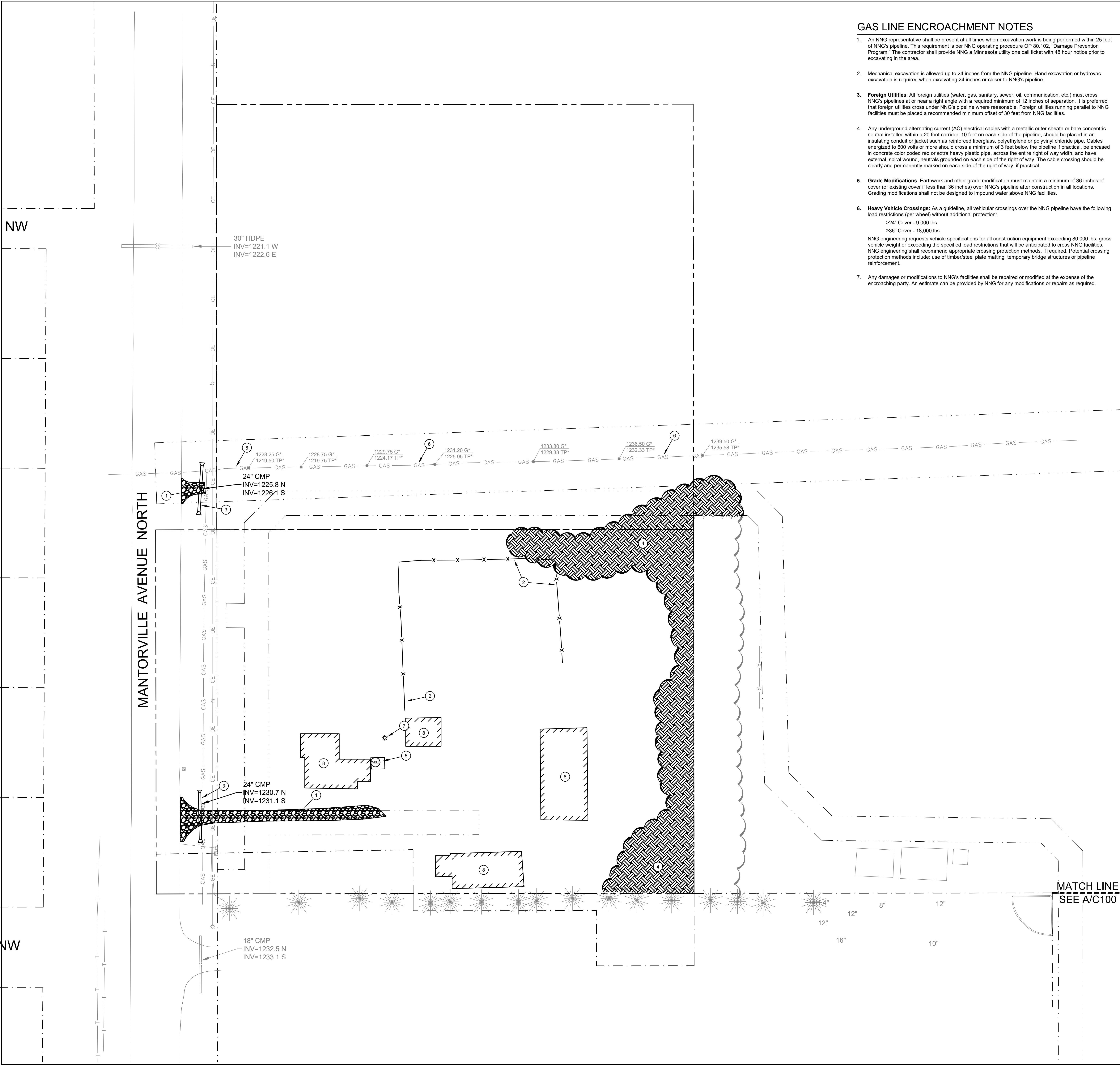
Planning, Landscape Architecture, Urban Design

123 North Third Street, Suite 100

Minneapolis, MN 55401

[www.hkgi.com](http://www.hkgi.com)





GAS LINE ENCROACHMENT NOTES

1. An NNG representative shall be present at all times when excavation work is being performed within 25 feet of NNG's pipeline. This requirement is per NNG operating procedure OP 80.102, "Damage Prevention Program." The contractor shall provide NNG a Minnesota utility one call ticket with 48 hour notice prior to excavating in the area.
2. Mechanical excavation is allowed up to 24 inches from the NNG pipeline. Hand excavation or hydrovac excavation is required when excavating 24 inches or closer to NNG's pipeline.
3. **Foreign Utilities:** All foreign utilities (water, gas, sanitary, sewer, oil, communication, etc.) must cross NNG's pipelines at or near a right angle with a required minimum of 12 inches of separation. It is preferred that foreign utilities cross under NNG's pipeline where reasonable. Foreign utilities running parallel to NNG facilities must be placed a recommended minimum offset of 30 feet from NNG facilities.
4. Any underground alternating current (AC) electrical cables with a metallic outer sheath or bare concentric neutral installed within a 20 foot corridor, 10 feet on each side of the pipeline, should be placed in an insulating conduit or jacket such as reinforced fiberglass, polyethylene or polyvinyl chloride pipe. Cables energized to 600 volts or more should cross a minimum of 3 feet below the pipeline if practical, be encased in concrete color coded red or extra heavy plastic pipe, across the entire right of way width, and have external, spiral wound, neutrals grounded on each side of the right of way. The cable crossing should be clearly and permanently marked on each side of the right of way, if practical.
5. **Grade Modifications:** Earthwork and other grade modification must maintain a minimum of 36 inches of cover (or existing cover if less than 36 inches) over NNG's pipeline after construction in all locations. Grading modifications shall not be designed to impound water above NNG facilities.
6. **Heavy Vehicle Crossings:** As a guideline, all vehicular crossings over the NNG pipeline have the following load restrictions (per wheel) without additional protection:  
>24" Cover - 9,000 lbs.  
≥36" Cover - 18,000 lbs.  
NNG engineering requests vehicle specifications for all construction equipment exceeding 80,000 lbs. gross vehicle weight or exceeding the specified load restrictions that will be anticipated to cross NNG facilities. NNG engineering shall recommend appropriate crossing protection methods, if required. Potential crossing protection methods include: Use of timber/steel plate matting, temporary bridge structures or pipeline reinforcement.
7. Any damages or modifications to NNG's facilities shall be repaired or modified at the expense of the encroaching party. An estimate can be provided by NNG for any modifications or repairs as required.

SYMBOL LEGEND

- REMOVE AND DISPOSE OF EXISTING BITUMINOUS PAVEMENT SECTION
- REMOVE AND DISPOSE OF EXISTING CONCRETE PAVEMENT SECTION
- REMOVE AND DISPOSE OF EXISTING GRAVEL PAVEMENT
- CLEAR AND GRUB

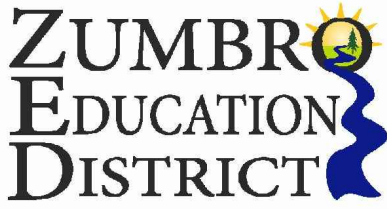
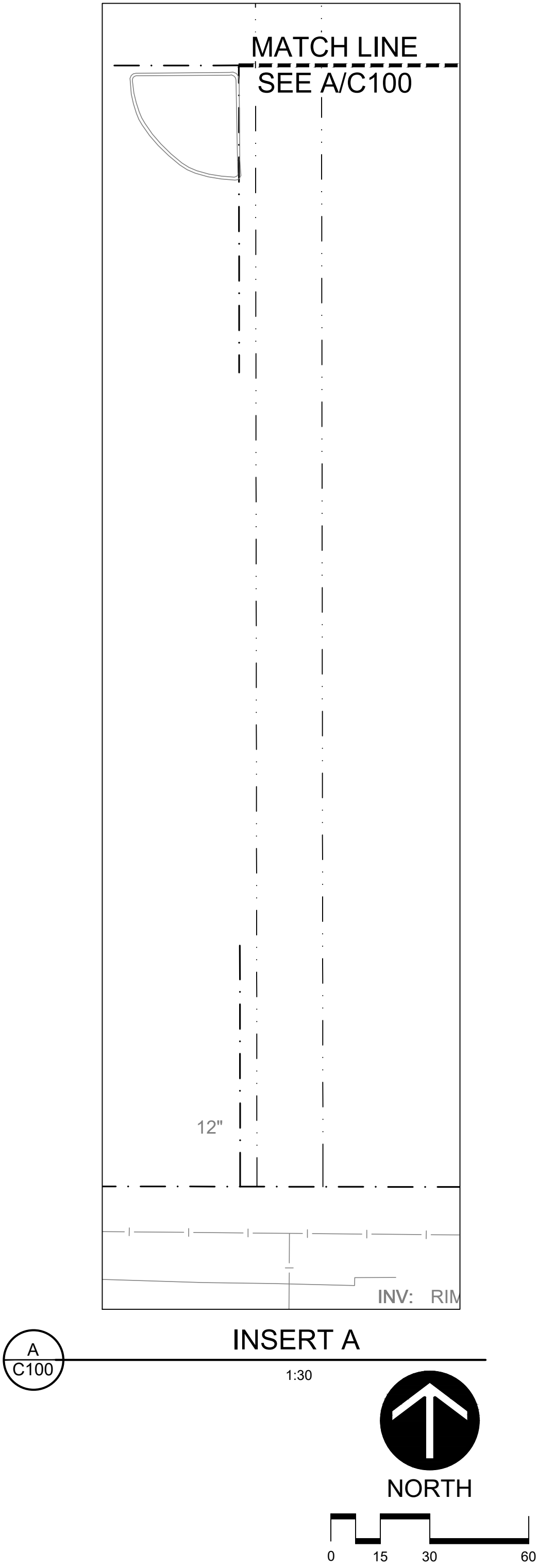
SPOT ABBREVIATIONS:  
G - GRADE  
TP - TOP OF PIPE  
(\*) - EXISTING TO BE VERIFIED

KEY NOTES

- 1 REMOVE AND DISPOSE OF EXISTING GRAVEL.
- 2 REMOVE AND DISPOSE OF EXISTING FENCE .
- 3 REMOVE AND DISPOSE OF EXISTING CULVERT.
- 4 CLEAR AND GRUB EXISTING TREES, SHRUBS, STUMPS, ETC AS NEEDED.
- 5 ABANDON EXISTING WATER WELL IN ACCORDANCE WITH MINNESOTA DEPARTMENT OF HEALTH REQUIREMENTS.
- 6 PROTECT IN PLACE EXISTING NNG HIGH PRESSURE 12" GAS LINE.
- 7 REMOVE AND DISPOSE OF EXISTING ELECTRICAL POLE, FOOTING, AND ANY RELATED ELECTRICAL, CORD WITH UTILITY PROVIDER.
- 8 REMOVE AND DISPOSE OF EXISTING BUILDING FOUNDATIONS AND/OR FOOTINGS.

DEMOLITION NOTES

1. Verify all existing utility locations.
2. It is the responsibility of the Contractor to perform or coordinate all necessary utility demolitions and relocations from existing utility locations to all onsite amenities and buildings. These connections include, but are not limited to, water, sanitary sewer, cable tv, telephone, gas, electric, site lighting, etc.
3. Prior to beginning work, contact Gopher State Onecall (651-454-0002) to locate utilities throughout the area under construction. The Contractor shall retain the services of a private utility locator to locate the private utilities.
4. Sawcut along edges of pavements, sidewalks, and curbs to remain.
5. All construction shall be performed in accordance with state and local standard specifications for construction.



ZUMBRO EDUCATION DISTRICT SCHOOLS

NEW SCHOOL BUILDING  
2002 MANTORVILLE AVE N  
KASSON, MN 55944



ARCHITECTURE  
PLANNING  
INTERIOR DESIGN

401 North Second Avenue, Suite 206  
Minneapolis, MN 55401  
www.wendelcompanies.com  
p812.332.1401

I hereby certify that this plan, specifications or report was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the state of Minnesota.

Eric G. Meyer, P.E.  
Date: 02.26.21 Lic. No.: 44592



3524 Labore Road  
White Bear Lake, MN 55110  
651.481.9120 (f) 651.481.9201  
www.larsonengr.com

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REVISIONS		
NO.	DATE	REVISION

DWG. TITLE

DEMOLITION PLAN

DATE 2/28/2021

SCALE 1:30

DWN. MTH

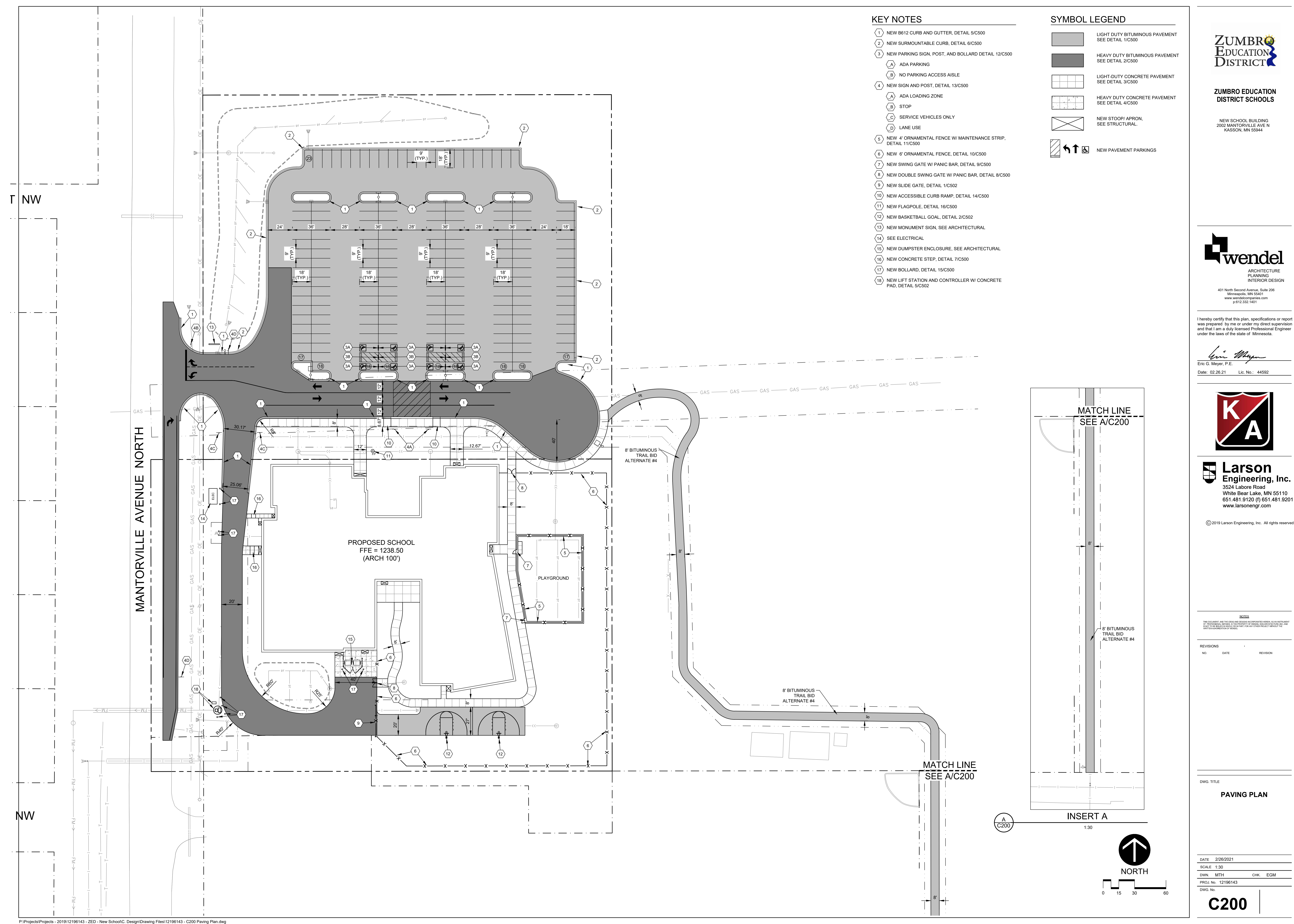
CHK. EGM

PROJ. No. 12196143

DWG. No.

C100



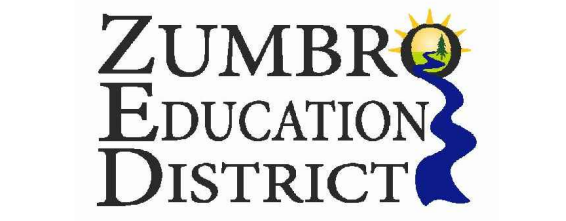


KEY NOTES

- 1 NEW B612 CURB AND GUTTER, DETAIL 5/C500
- 2 NEW SURMOUNTABLE CURB, DETAIL 6/C500
- 3 NEW PARKING SIGN, POST, AND BOLLARD DETAIL 12/C500
  - A ADA PARKING
  - B NO PARKING ACCESS AISLE
- 4 NEW SIGN AND POST, DETAIL 13/C500
  - A ADA LOADING ZONE
  - B STOP
  - C SERVICE VEHICLES ONLY
  - D LANE USE
- 5 NEW 4' ORNAMENTAL FENCE W/ MAINTENANCE STRIP, DETAIL 11/C500
- 6 NEW 6' ORNAMENTAL FENCE, DETAIL 10/C500
- 7 NEW SWING GATE W/ PANIC BAR, DETAIL 9/C500
- 8 NEW DOUBLE SWING GATE W/ PANIC BAR, DETAIL 8/C500
- 9 NEW SLIDE GATE, DETAIL 1/C502
- 10 NEW ACCESSIBLE CURB RAMP, DETAIL 14/C500
- 11 NEW FLAGPOLE, DETAIL 16/C500
- 12 NEW BASKETBALL GOAL, DETAIL 2/C502
- 13 NEW MONUMENT SIGN, SEE ARCHITECTURAL
- 14 SEE ELECTRICAL
- 15 NEW DUMPSTER ENCLOSURE, SEE ARCHITECTURAL
- 16 NEW CONCRETE STEP, DETAIL 7/C500
- 17 NEW BOLLARD, DETAIL 15/C500
- 18 NEW LIFT STATION AND CONTROLLER W/ CONCRETE PAD, DETAIL 5/C502

SYMBOL LEGEND

- [Symbol] LIGHT DUTY BITUMINOUS PAVEMENT SEE DETAIL 1/C500
- [Symbol] HEAVY DUTY BITUMINOUS PAVEMENT SEE DETAIL 2/C500
- [Symbol] LIGHT-DUTY CONCRETE PAVEMENT SEE DETAIL 3/C500
- [Symbol] HEAVY DUTY CONCRETE PAVEMENT SEE DETAIL 4/C500
- [Symbol] NEW STOOP/ APRON, SEE STRUCTURAL
- [Symbol] NEW PAVEMENT PARKINGS



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KASSON, MN 55944



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I hereby certify that this plan, specifications or report was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the state of Minnesota.

*Eric G. Meyer*  
Eric G. Meyer, P.E.  
Date: 02.26.21 Lic. No.: 44592



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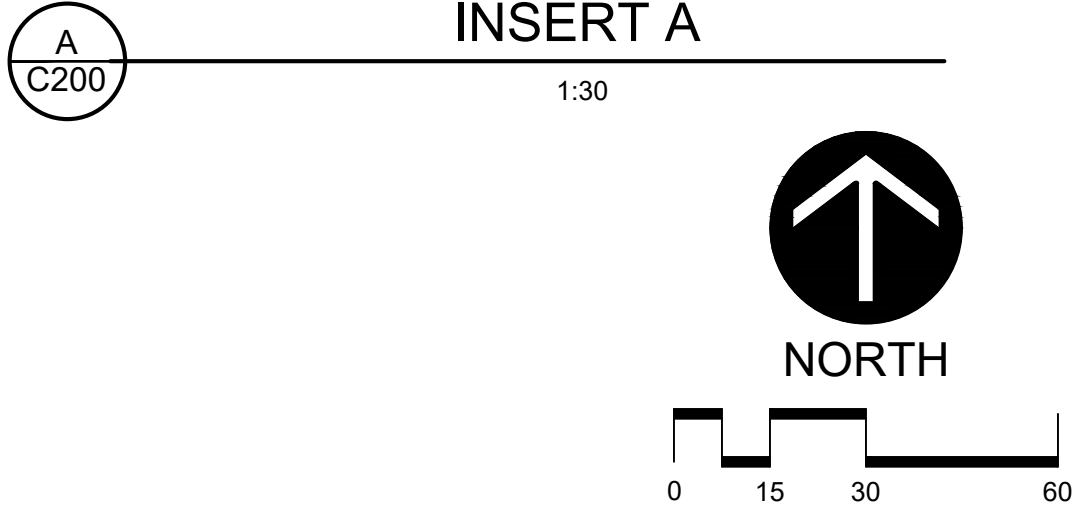
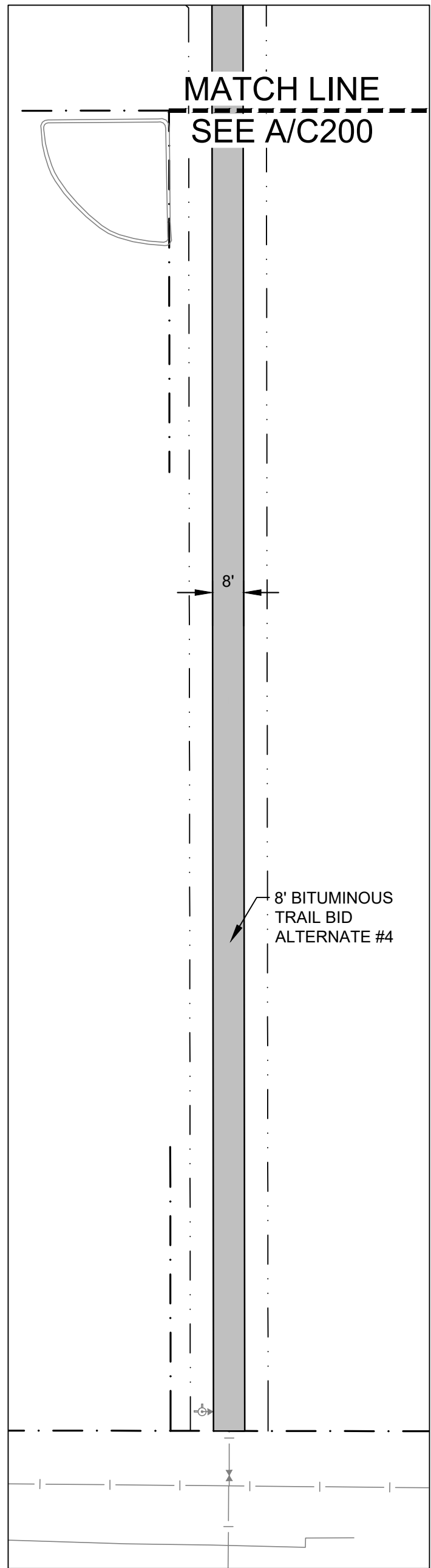
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REVISIONS	NO.	DATE	REVISION

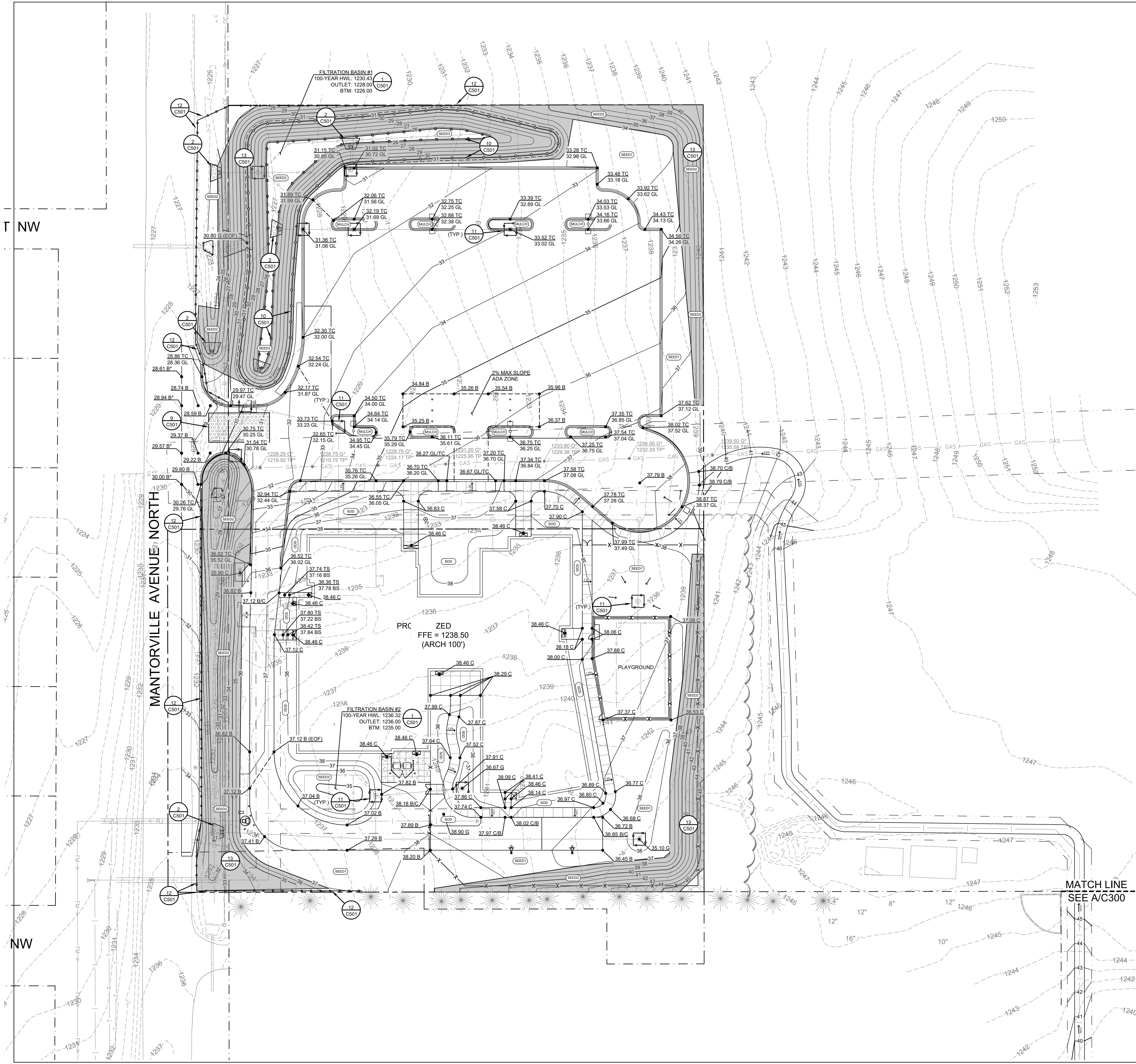
DWG. TITLE  
**PAVING PLAN**

DATE 2/26/2021  
SCALE 1:30  
DWN MTH CHK EGM  
PROJ. No. 12196143  
DWG. No.

**C200**







LEGEND

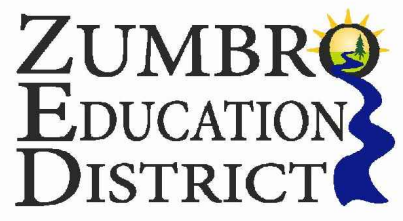
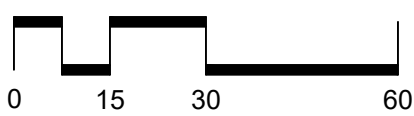
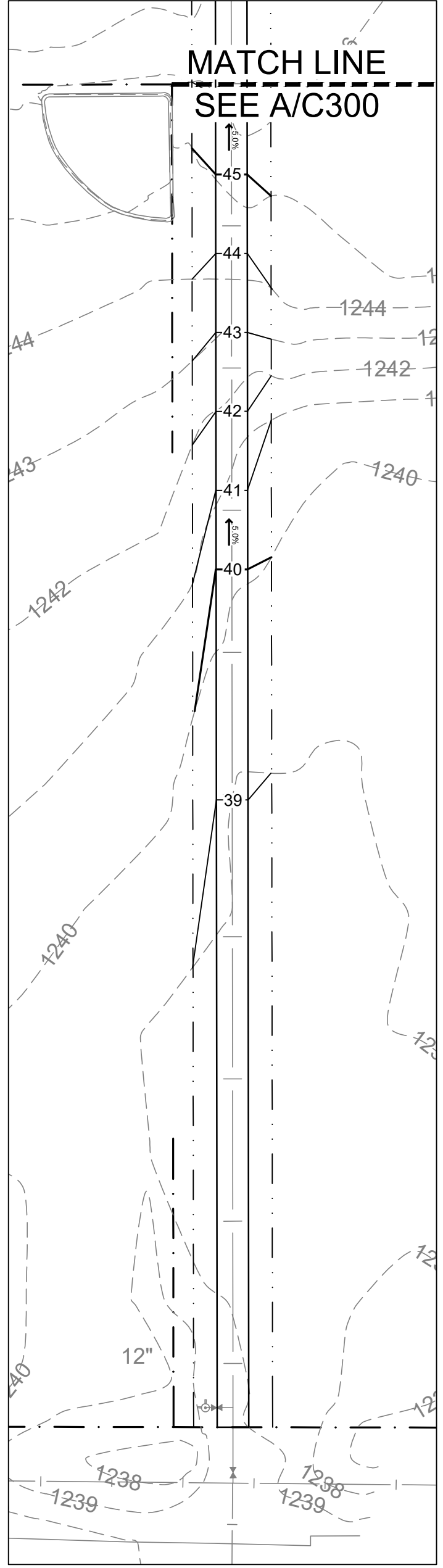
- 950 EXISTING CONTOURS
  - 950 PROPOSED CONTOURS - MAJOR INTERVAL
  - 949 PROPOSED CONTOURS - MINOR INTERVAL
  - GRADE BREAK LINE
  - 2.0% SLOPE
  - SILT FENCE
  - RIP-RAP / ROCK CONST. ENTRANCE
  - EROSION CONTROL BLANKET
  - INLET PROTECTION
  - CONCRETE WASHOUT STATION (TO BE DETERMINED DURING CONSTRUCTION)
  - SOD
  - TURF SEED
  - ROADSIDE SEED
  - STORM WATER SEED
  - 18" DEEP PLANTING SOIL, WEED BARRIER FABRIC, & 4" SHREDED MULCH
- SPOT ABBREVIATIONS:
- |                         |                               |
|-------------------------|-------------------------------|
| TC - TOP OF CURB        | TW - TOP OF WALL              |
| GL - GUTTER LINE        | BW - BOTTOM OF WALL (F/G)     |
| TS - TOP STEP           | BS - BOTTOM STEP              |
| C - CONCRETE            | (*) - EXISTING TO BE VERIFIED |
| G - GRADE               |                               |
| EO - EMERGENCY OVERFLOW |                               |

GRADING NOTES

- Tree protection consisting of snow fence or safety fence installed at the drip line shall be in place prior to beginning any grading or demolition work at the site.
- All elevations with an asterisk (\*) shall be field verified. If elevations vary significantly, notify the Engineer for further instructions.
- Grades shown in paved areas represent finish elevation.
- Restore all disturbed areas with 4" of good quality topsoil and seed/sod. For filtration basin areas refer to detail 1/C501 for construction and restoration guidelines.
- All construction shall be performed in accordance with state and local standard specifications for construction.
- Add 1200' to all spot elevations and contours for NAV 88 elevation datum.

EROSION CONTROL NOTES

- See sheet C501 for Erosion Control Notes.



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REVISIONS  
NO. DATE REVISION

DWG. TITLE

GRADING AND  
EROSION CONTROL  
PLAN

DATE 2/28/2021

SCALE 1:30

DWN MTH CHK EGM

PROJ. No. 12196143

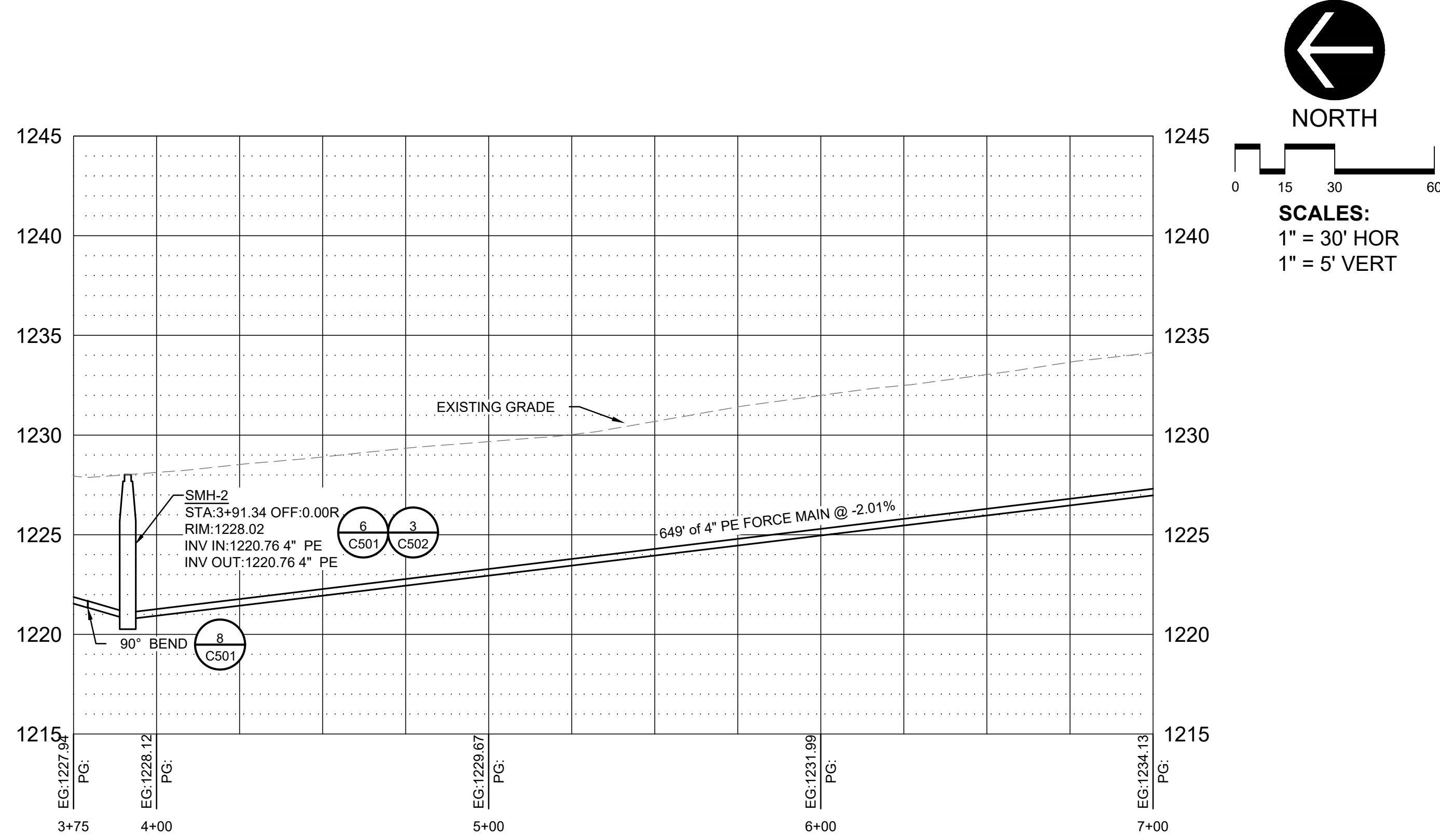
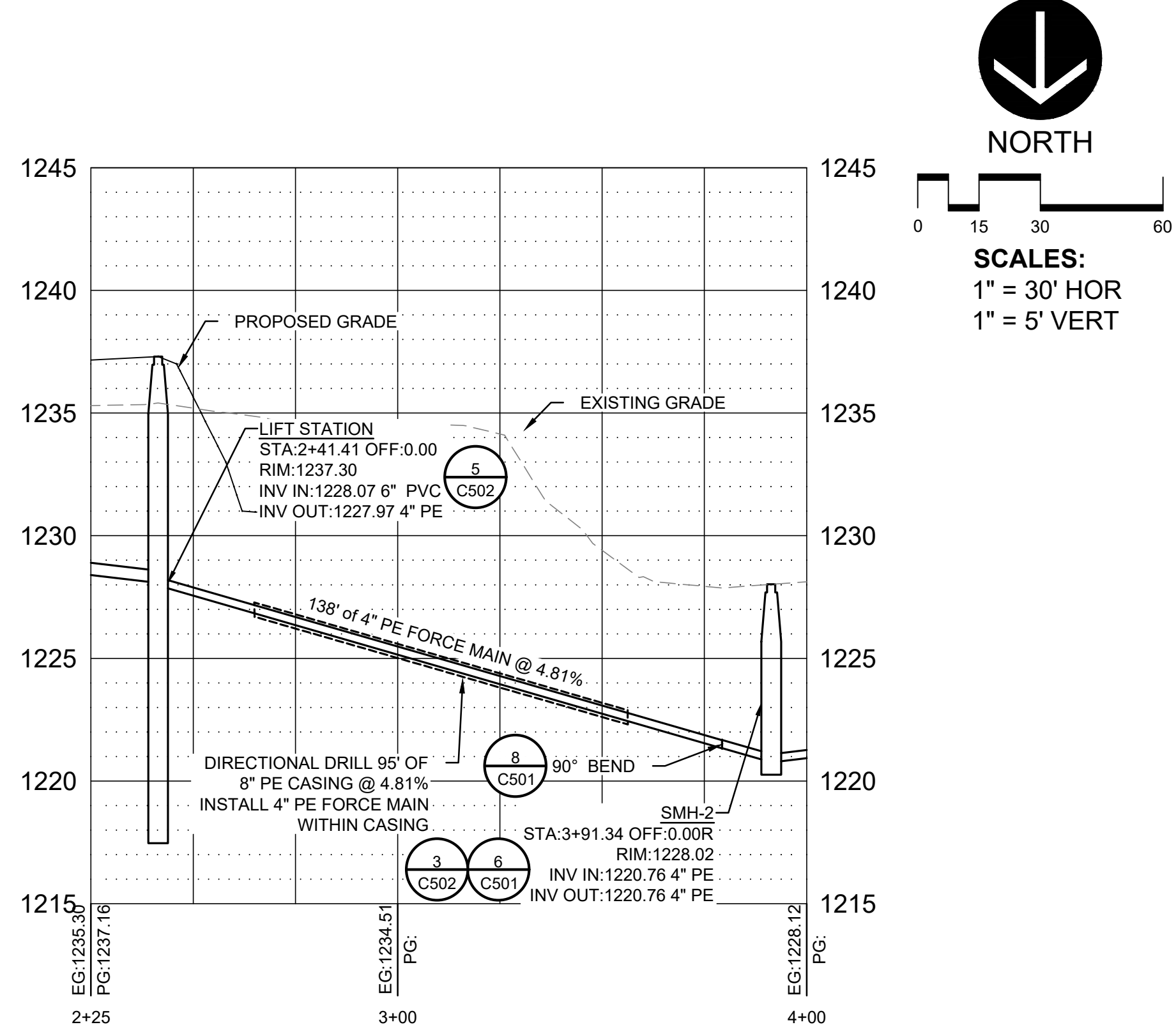
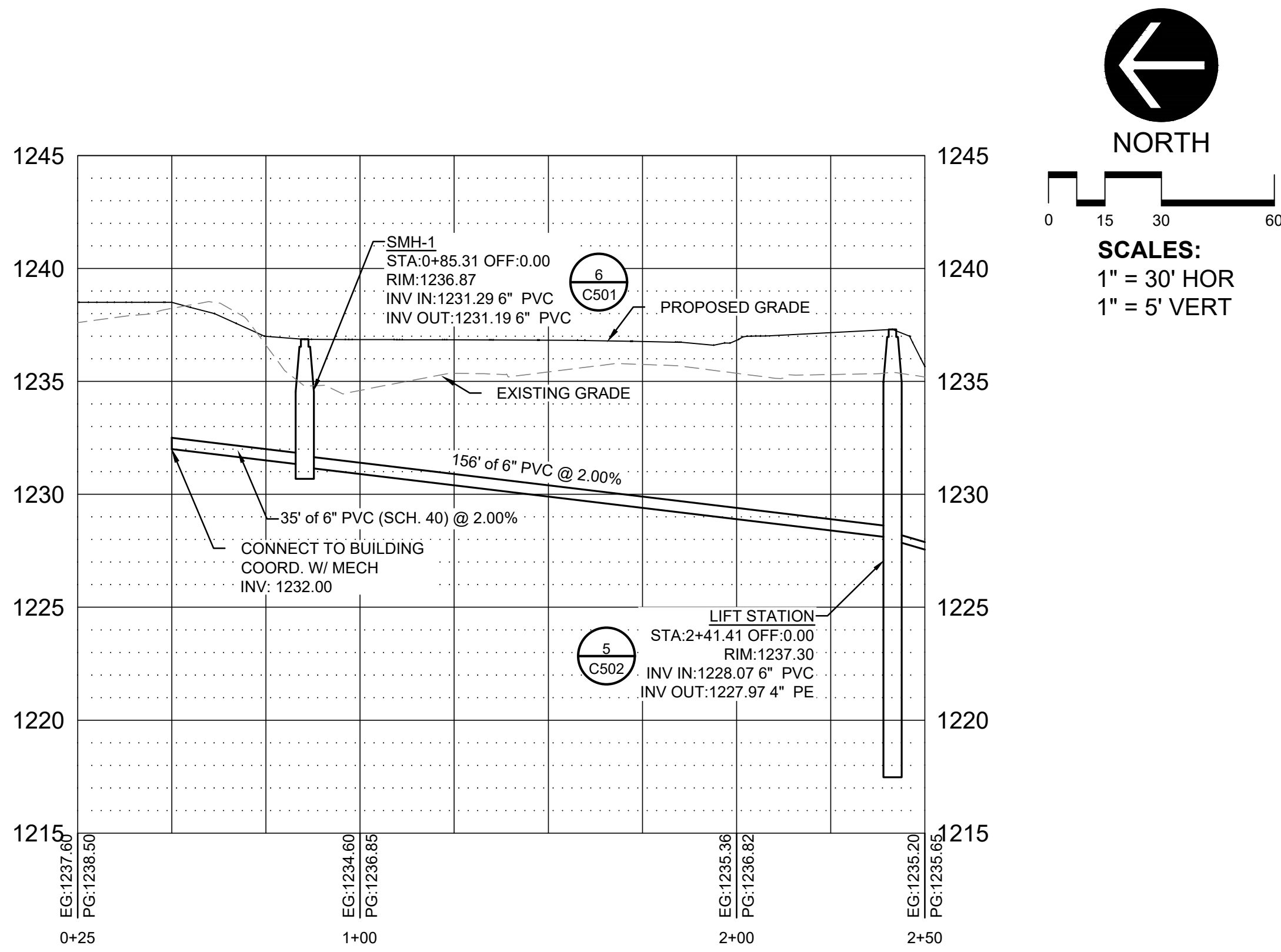
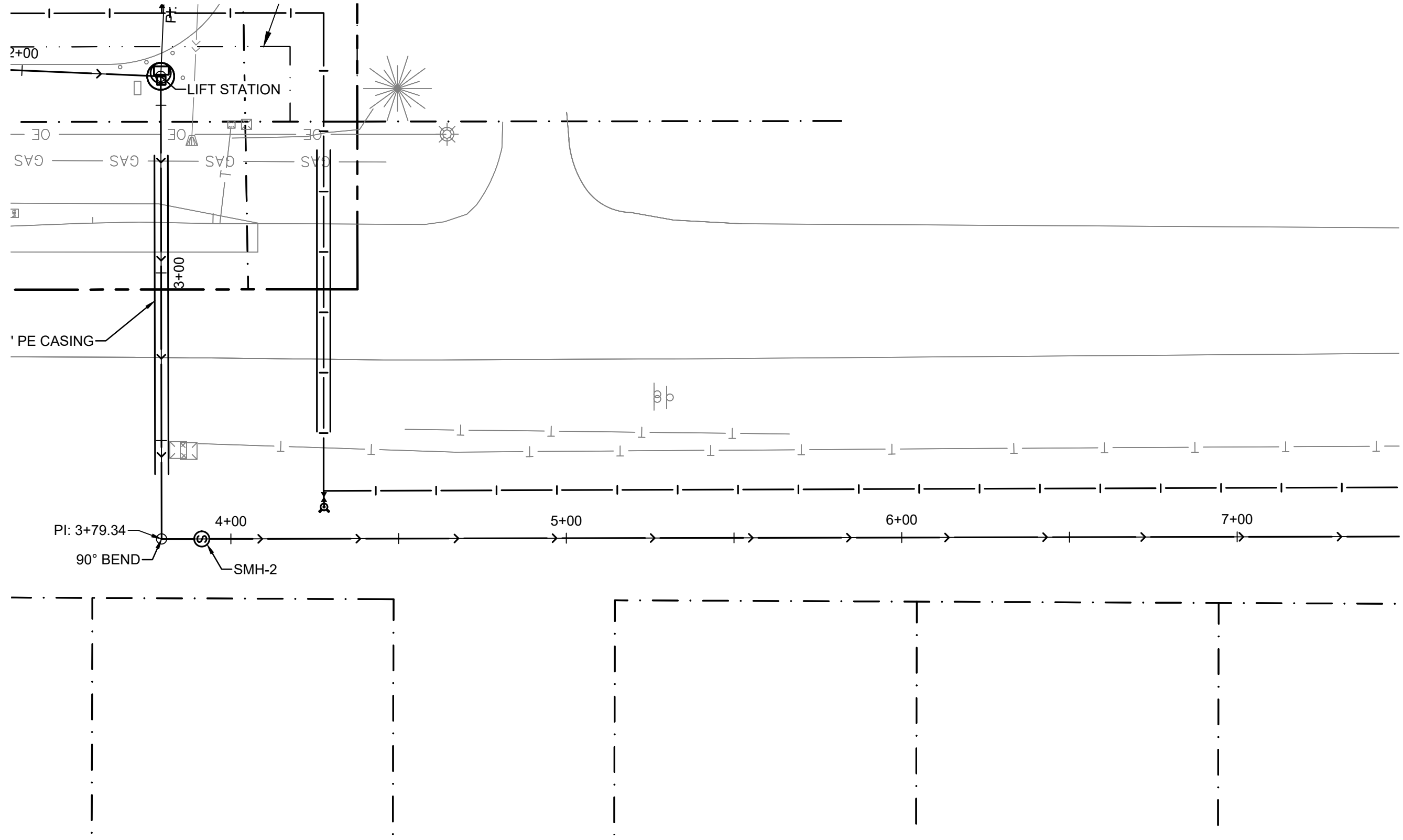
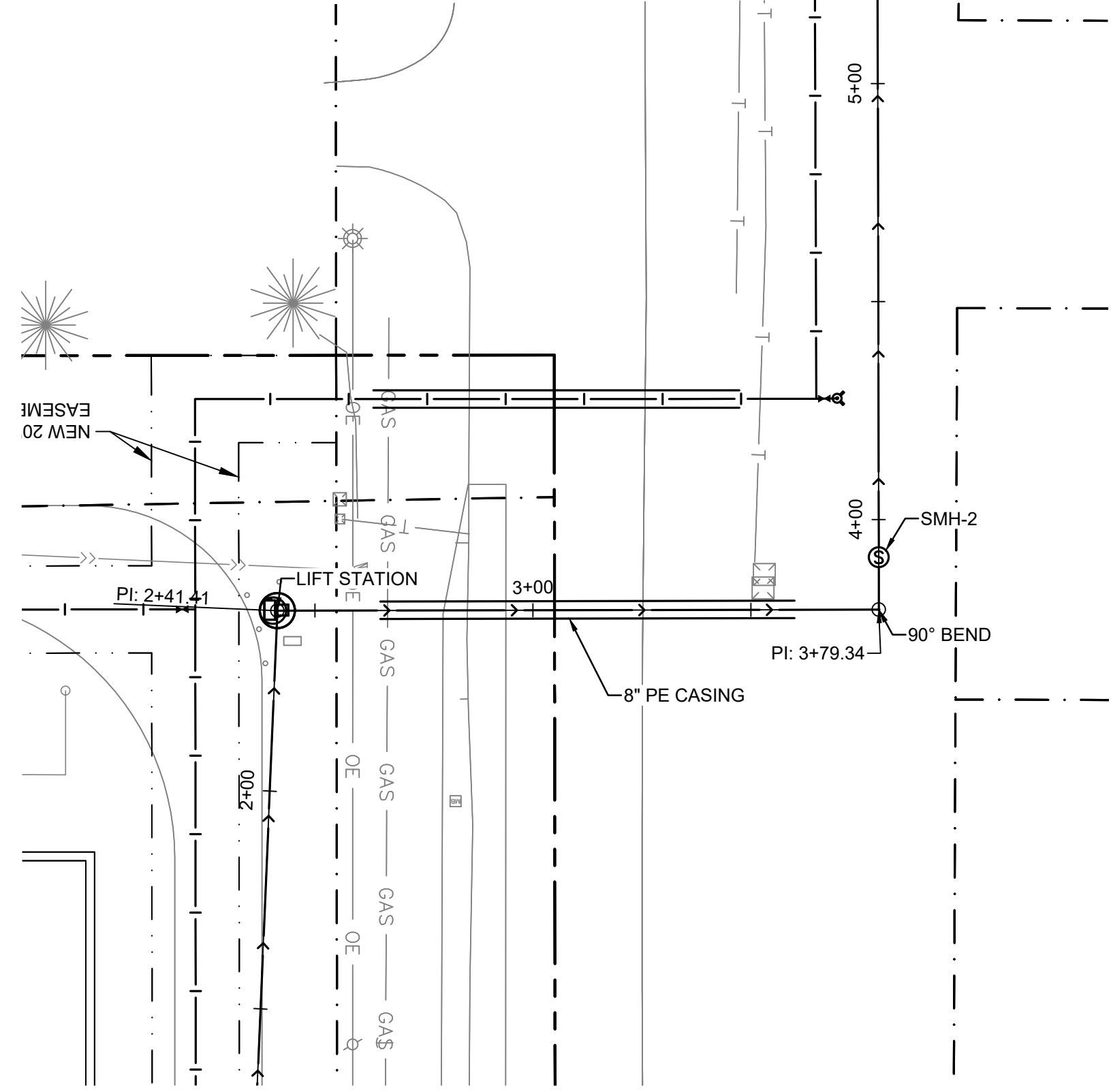
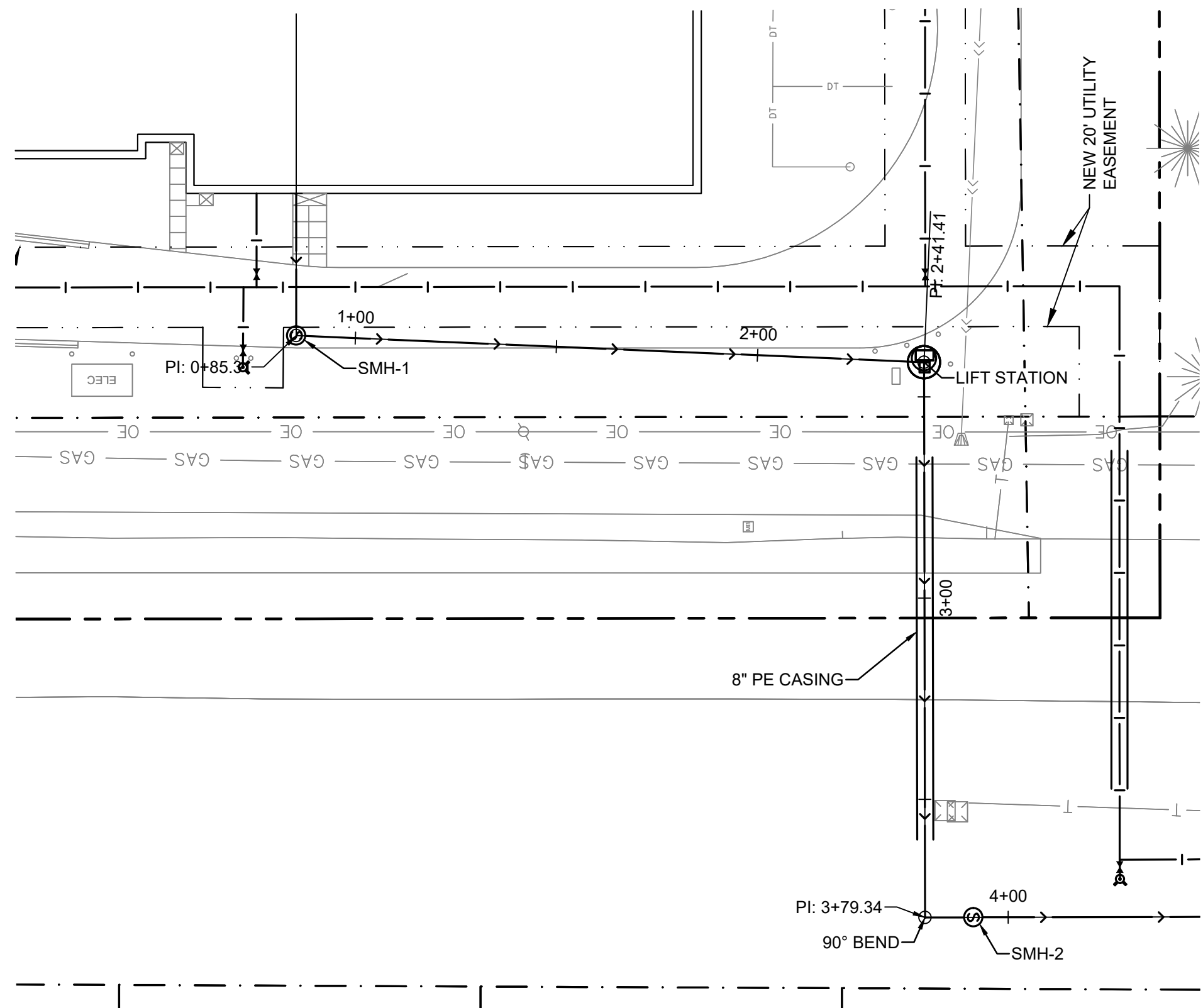
DWG. No.

C300









SYMBOL LEGEND

	REMOVE AND REPLACE EXISTING GRAVEL PAVEMENT SECTION		WATER SHUTOFF		HYDRANT		PROPERTY LINE
	GATE VALVE & BOX		SANITARY MANHOLE		TEE		EASEMENT LINE
	STORM MANHOLE		CURB INLET		FLARED END		RIGHT-OF-WAY LINE
	PIPE INSULATION		SANITARY SEWER PIPE		WATERMAIN PIPE		STORM SEWER PIPE
			DRAIN TILE PIPE				

UTILITY NOTES

- See sheet C400 for utility notes.

NOTES

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REVISIONS

NO.	DATE	REVISION
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DWG. TITLE

SANITARY SEWER  
EXTENSION PLAN AND  
PROFILE - NORTH

DATE 2/28/2021

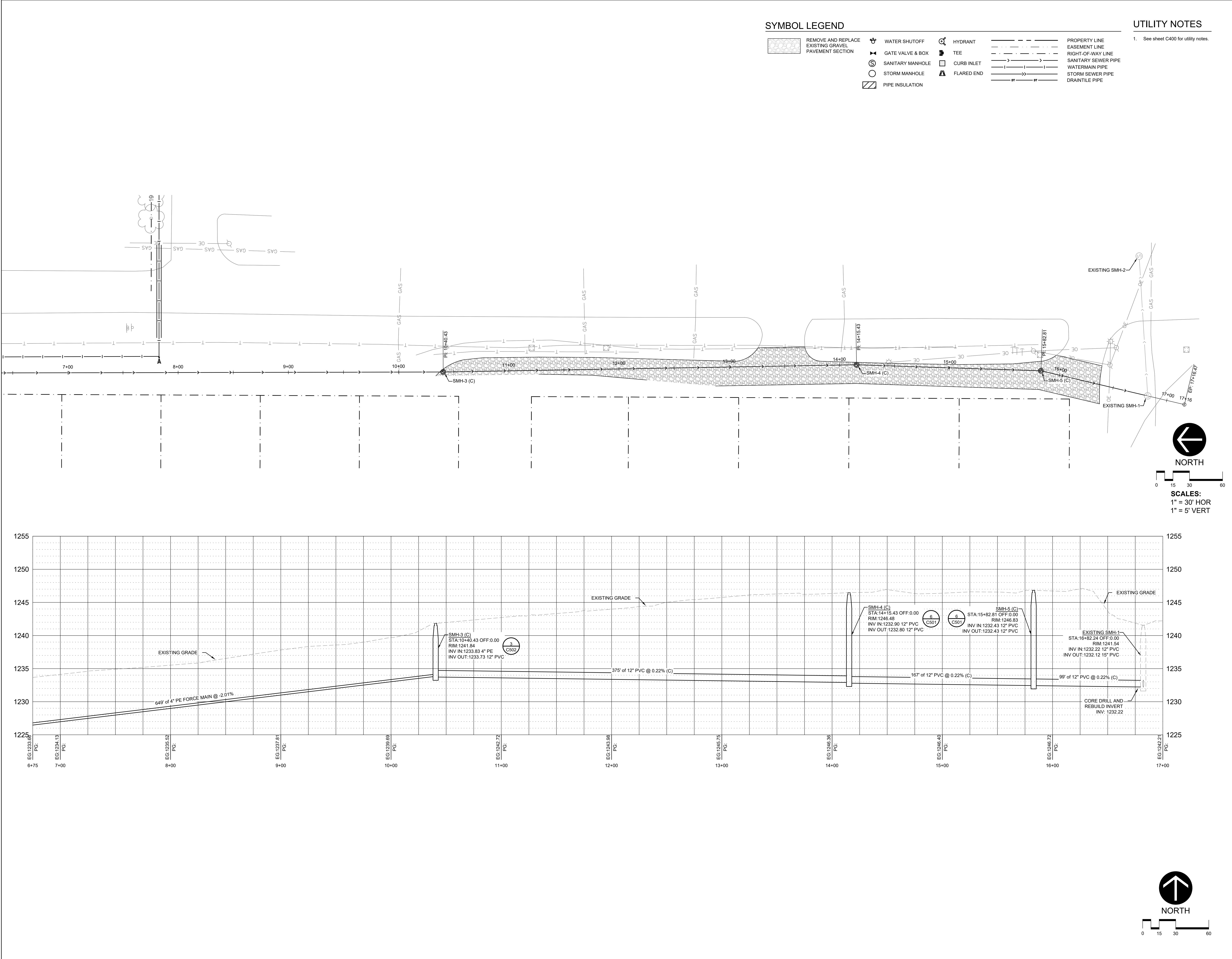
SCALE 1"=30'

DWN MTH CHK EGM

PROJ. No. 12196143

DWG. No.

C401



**ZUMPRO EDUCATION DISTRICT**

**ZUMPRO EDUCATION DISTRICT SCHOOLS**

NEW SCHOOL BUILDING  
2002 MANTORVILLE AVE N  
KASSON, MN 55944

401 North Second Avenue, Suite 206  
Minneapolis, MN 55401  
www.wendelcompanies.com  
p 612.332.1401

I hereby certify that this plan, specifications or report was prepared by me or under my direct supervision and that I am a duly licensed Professional Engineer under the laws of the state of Minnesota.

*Eric G. Meyer, P.E.*  
Eric G. Meyer, P.E.  
Date: 02.26.21 Lic. No.: 44592

**K A**

**Larson Engineering, Inc.**  
3524 Labore Road  
White Bear Lake, MN 55110  
651.481.9120 (f) 651.481.9201  
www.larsonengr.com

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**REVISIONS**

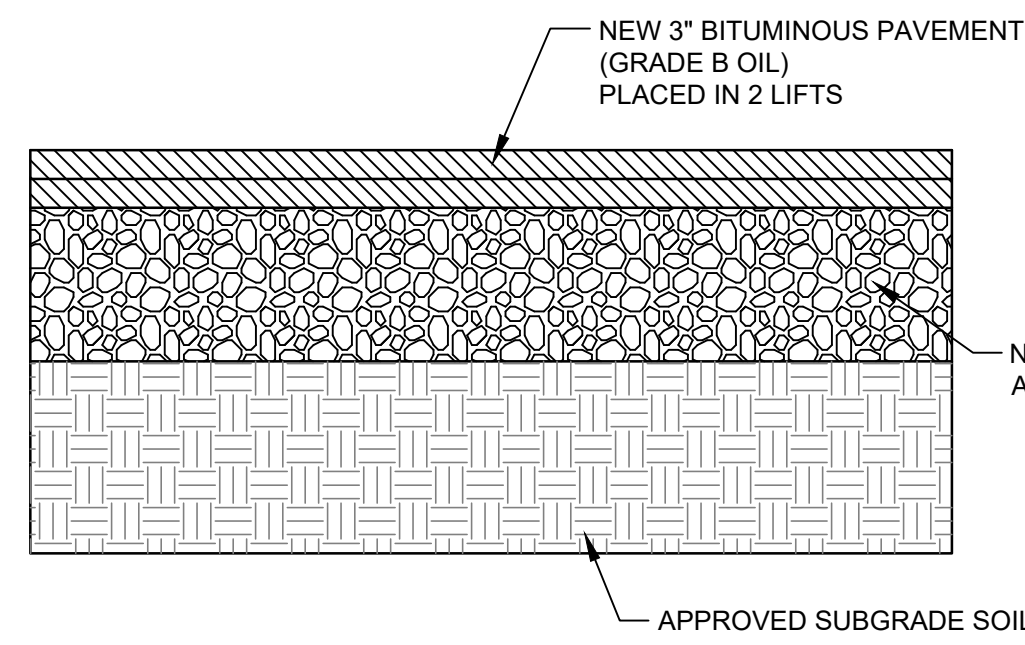
NO.	DATE	REVISION
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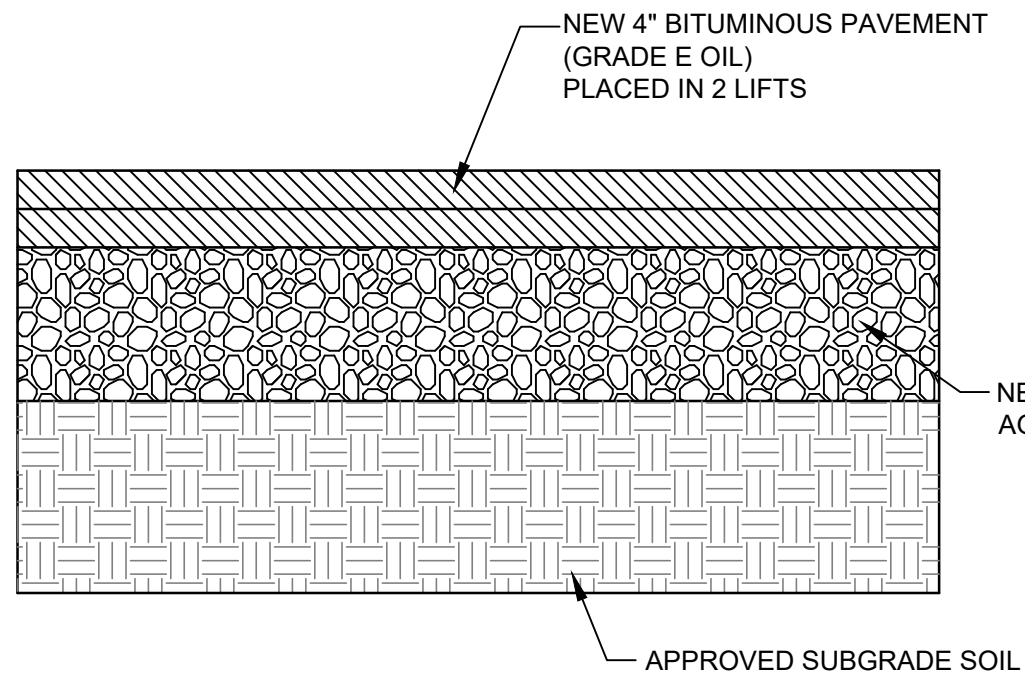
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PROJ. No.: 12196143  
DWG. No.: **C402**

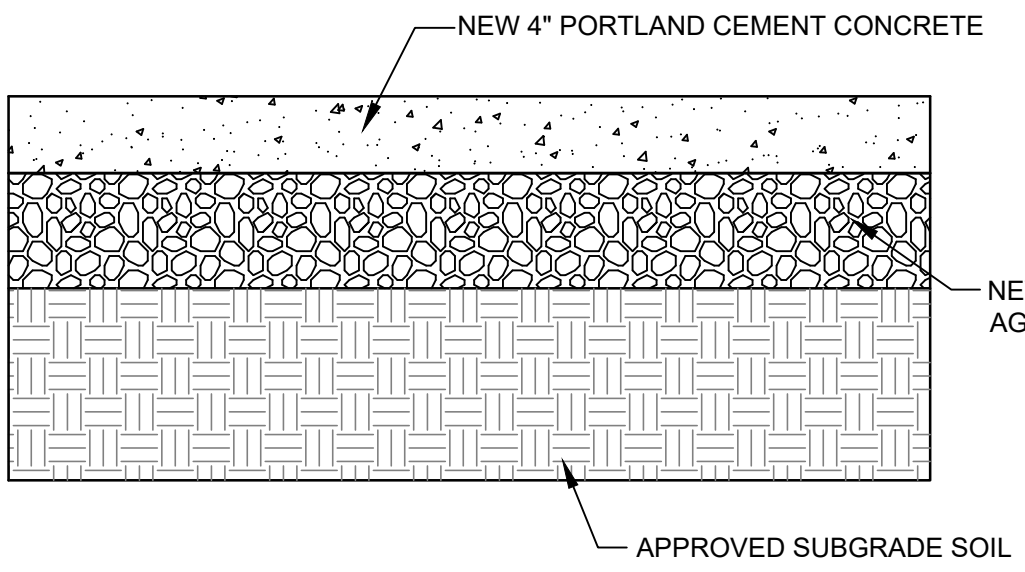




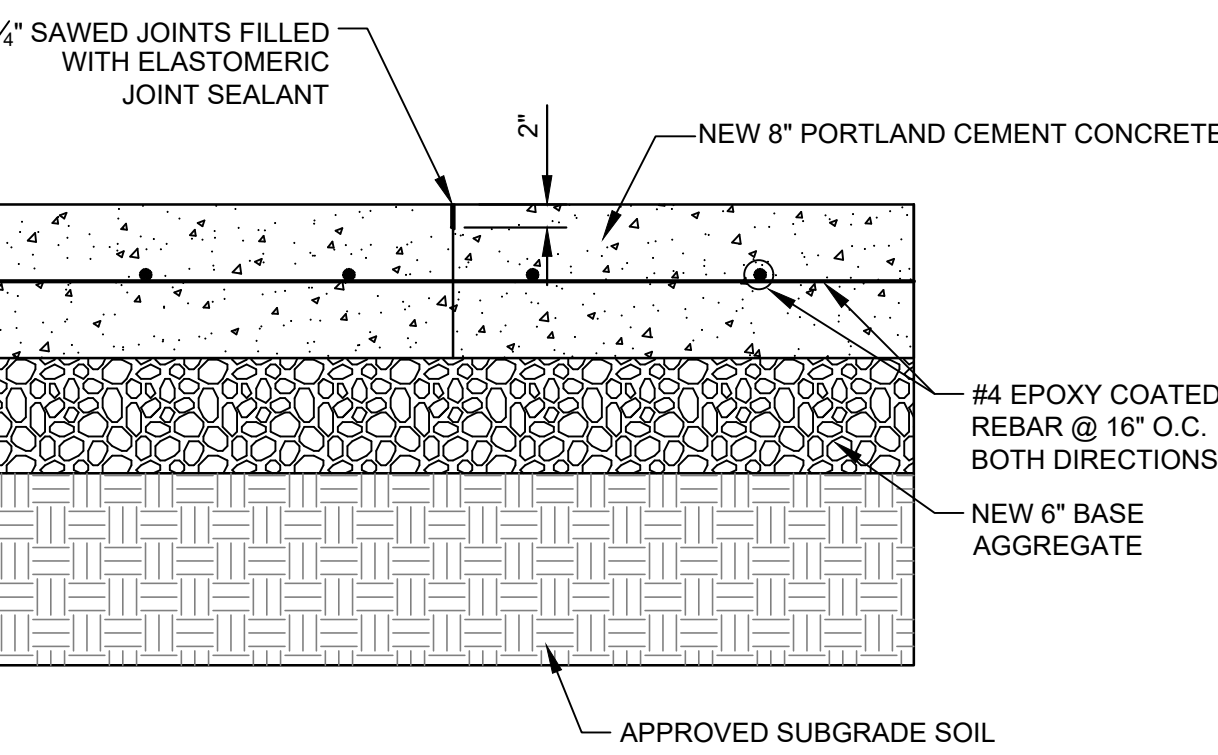
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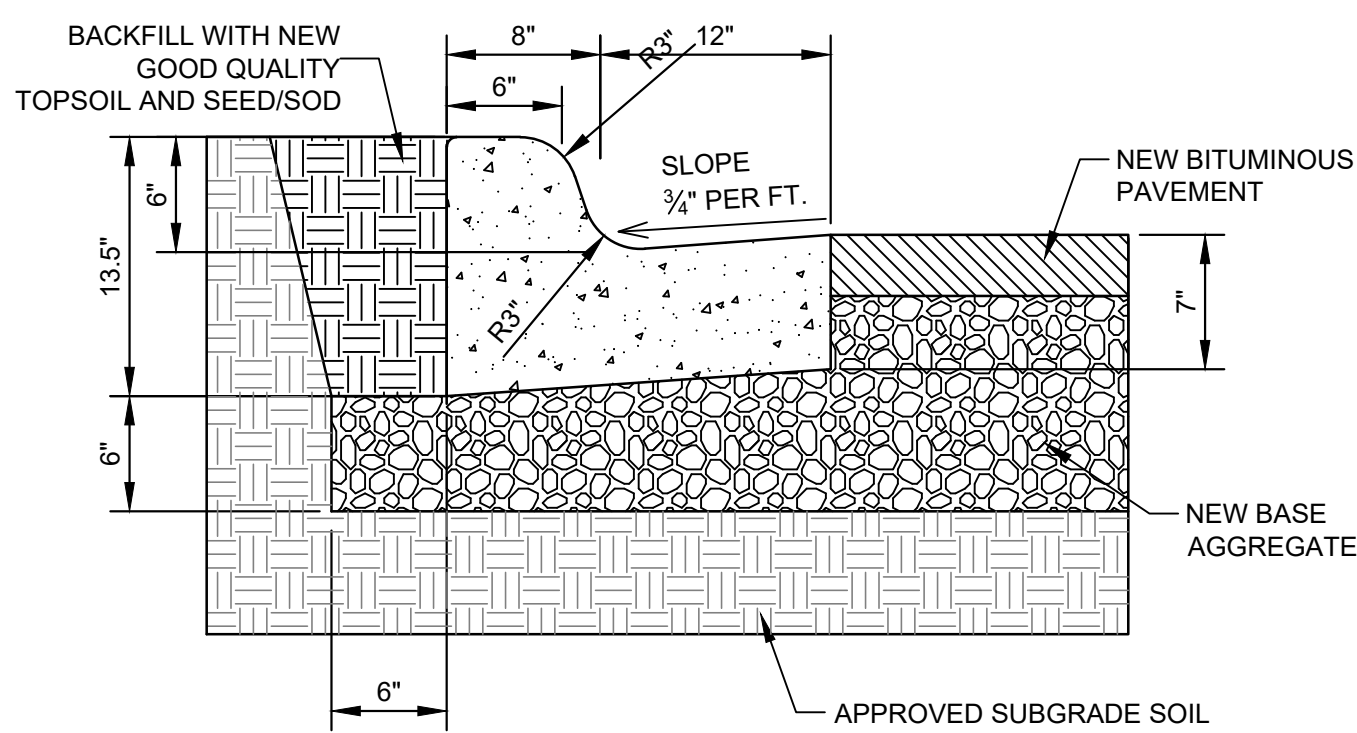
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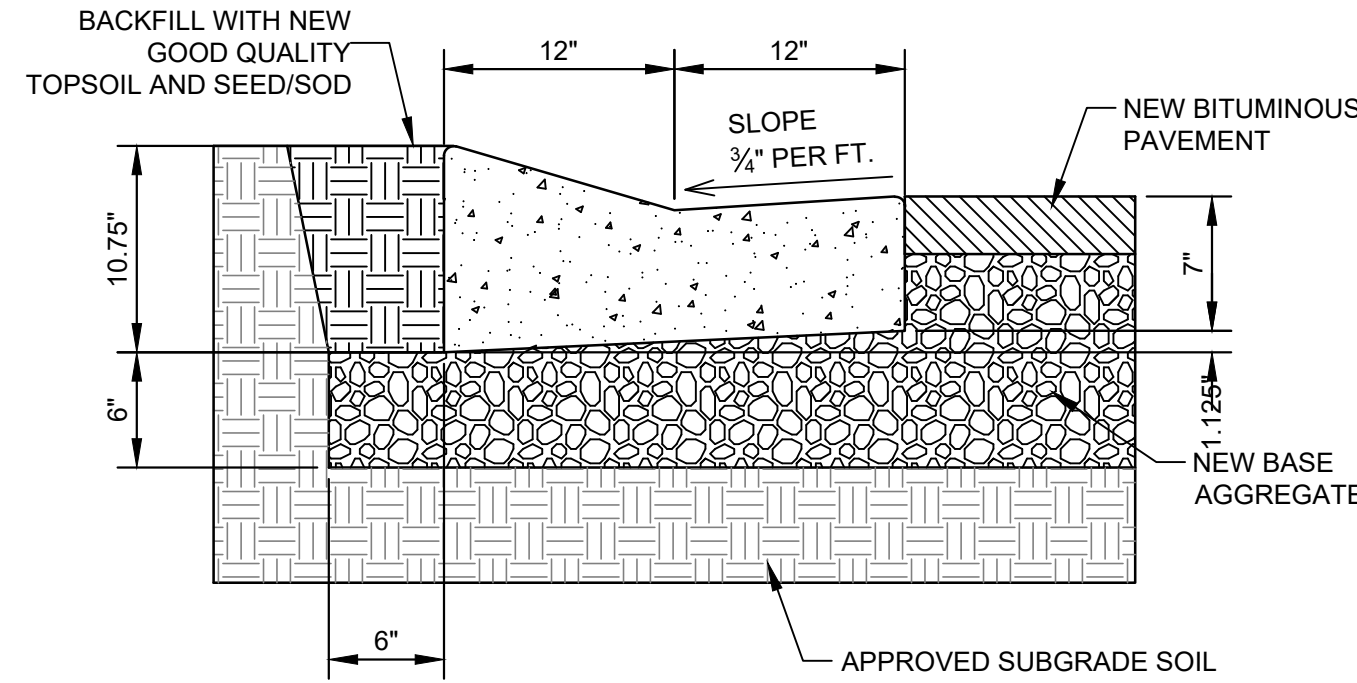
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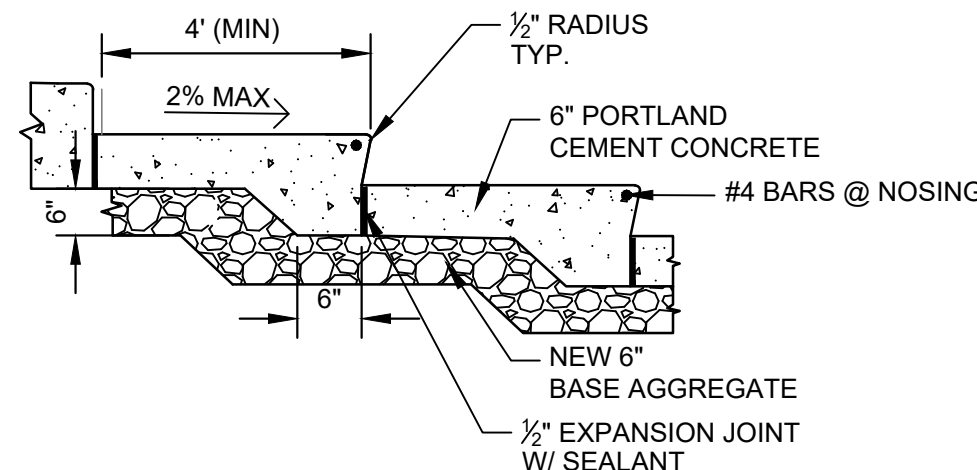
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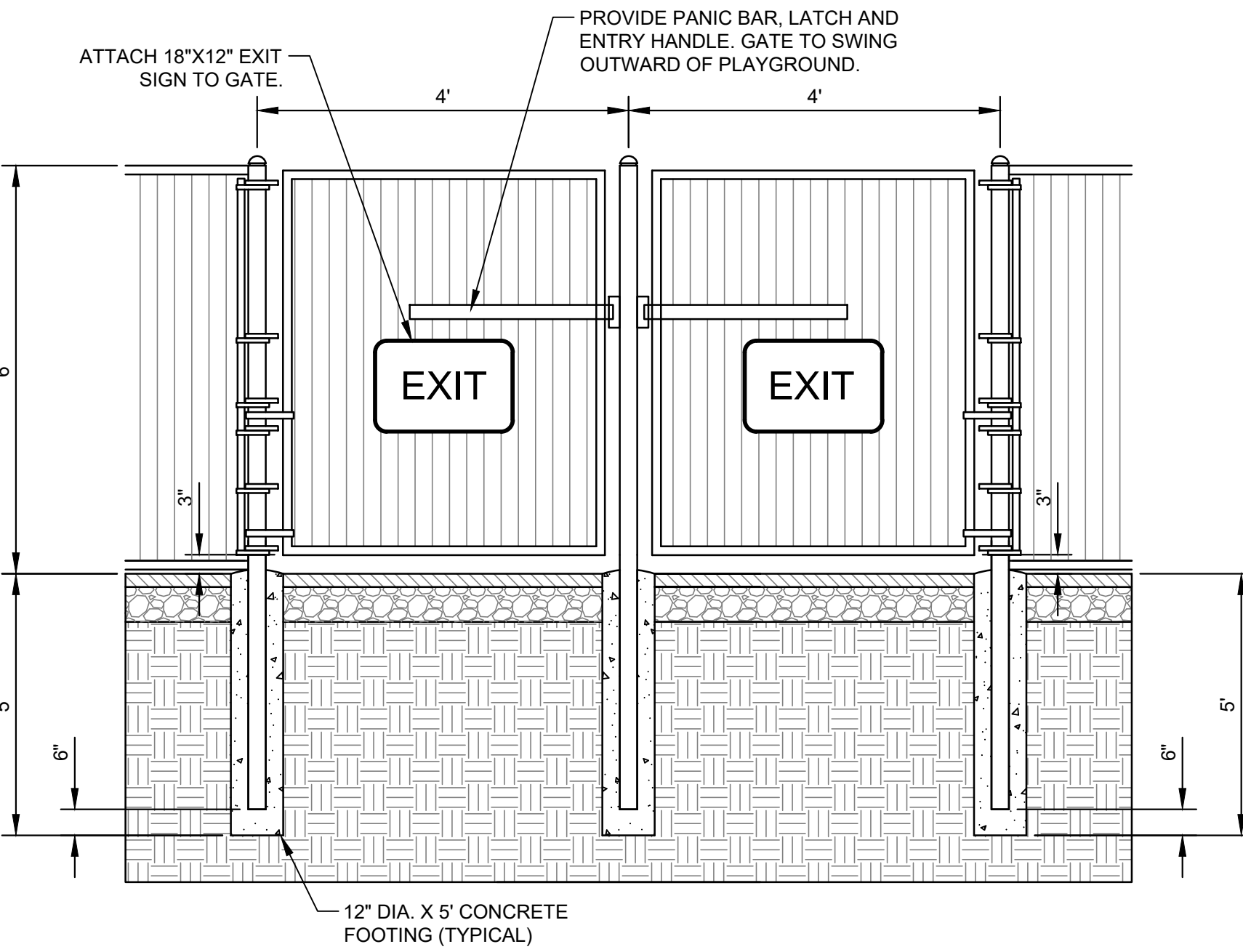
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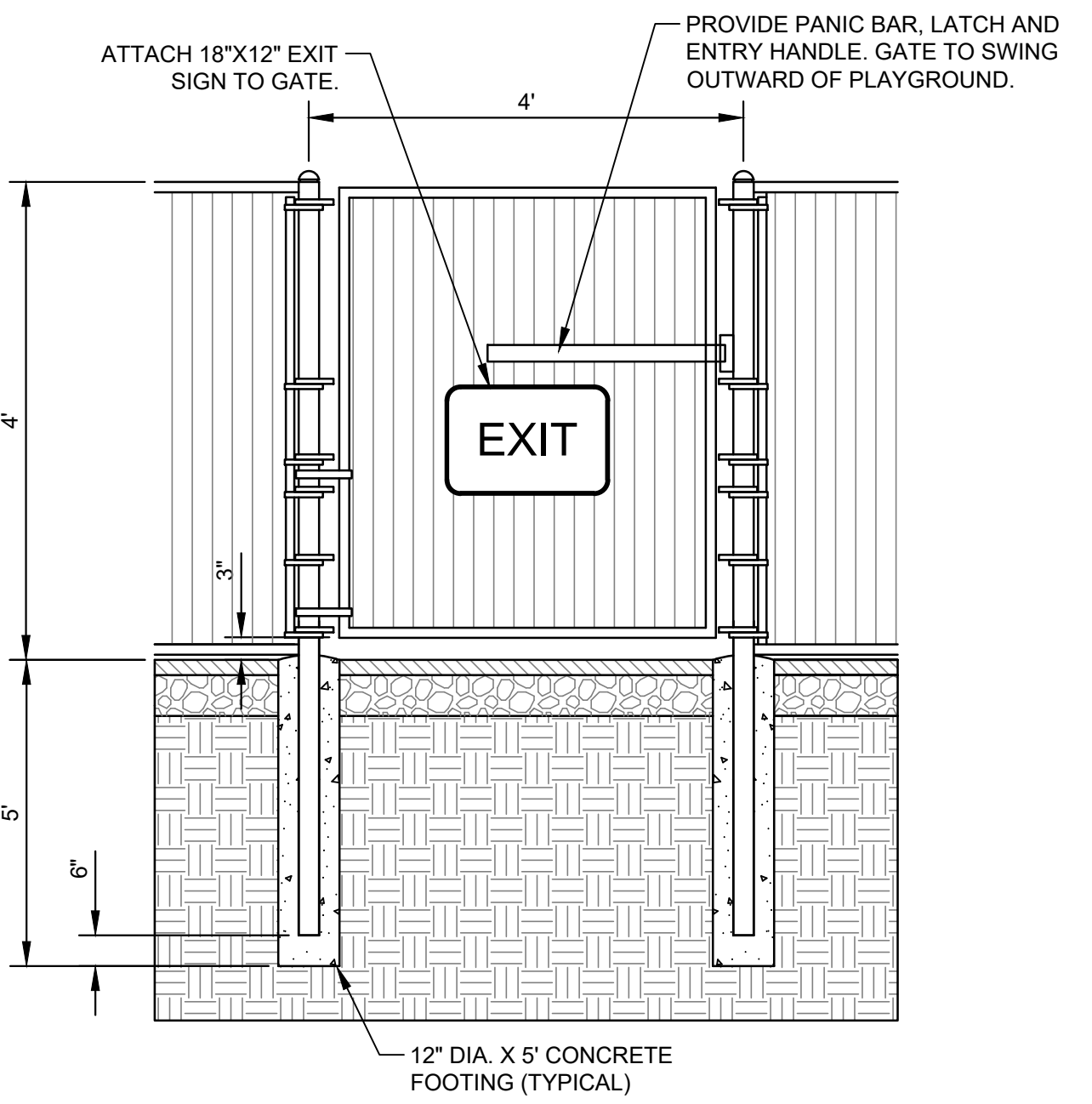
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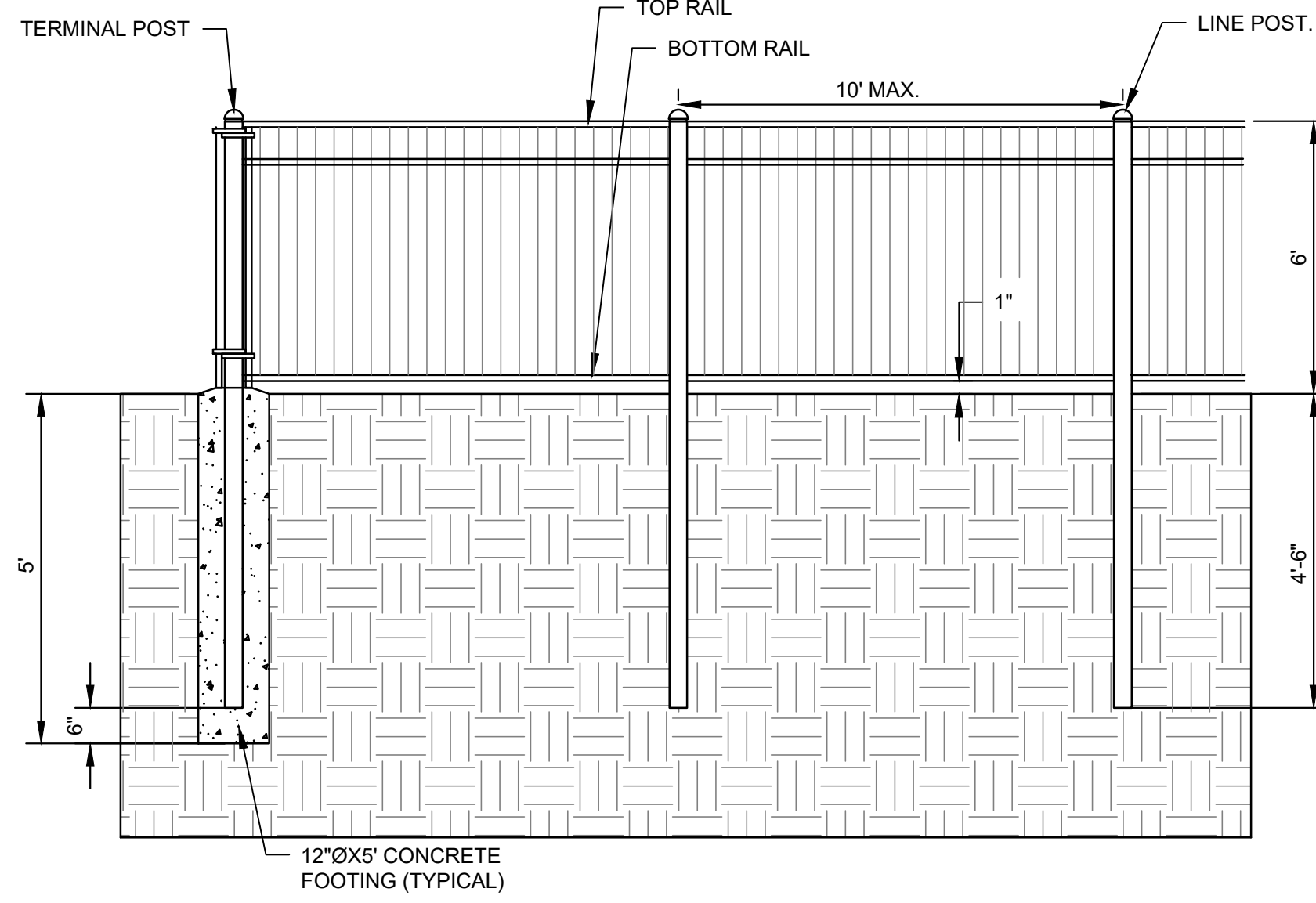
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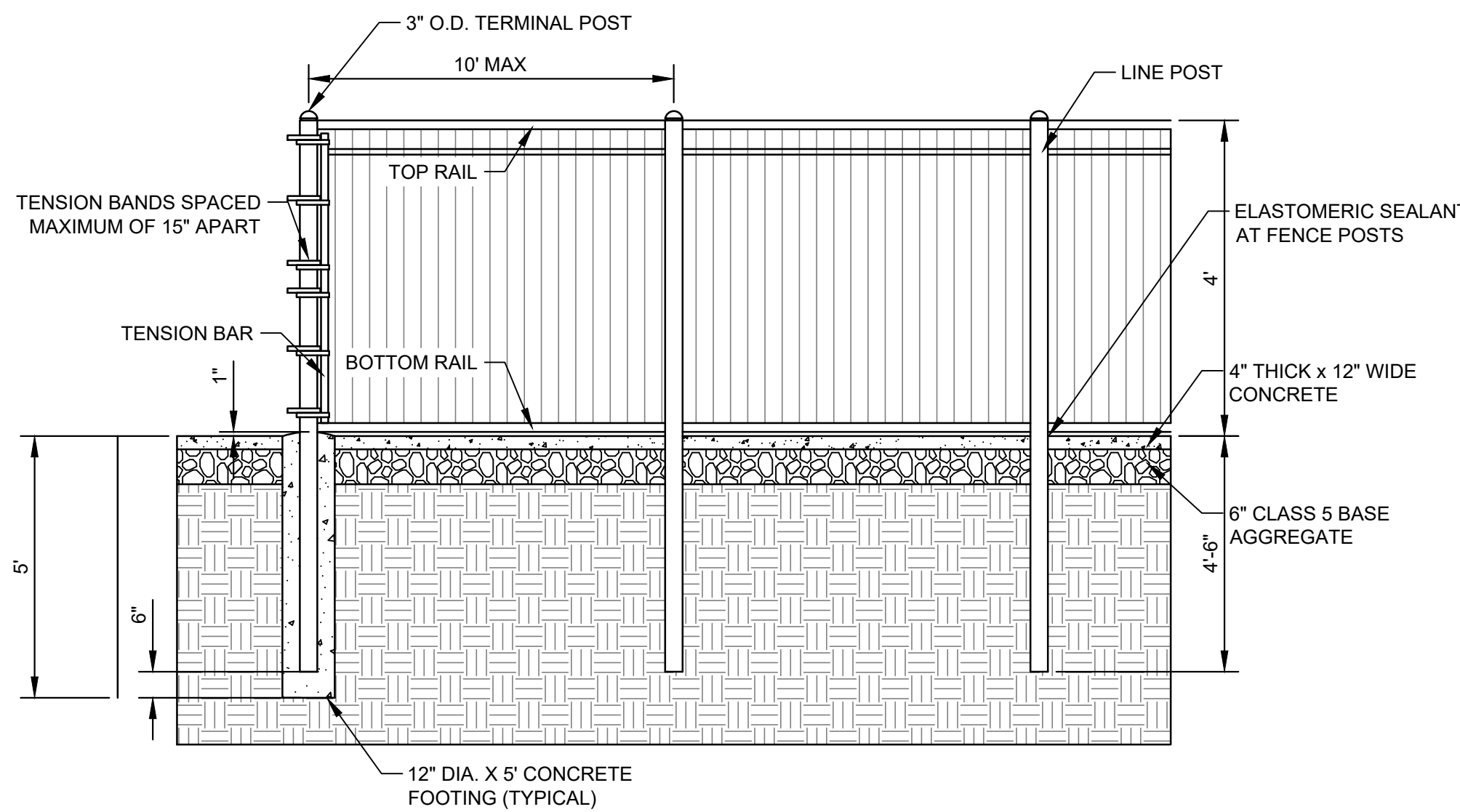
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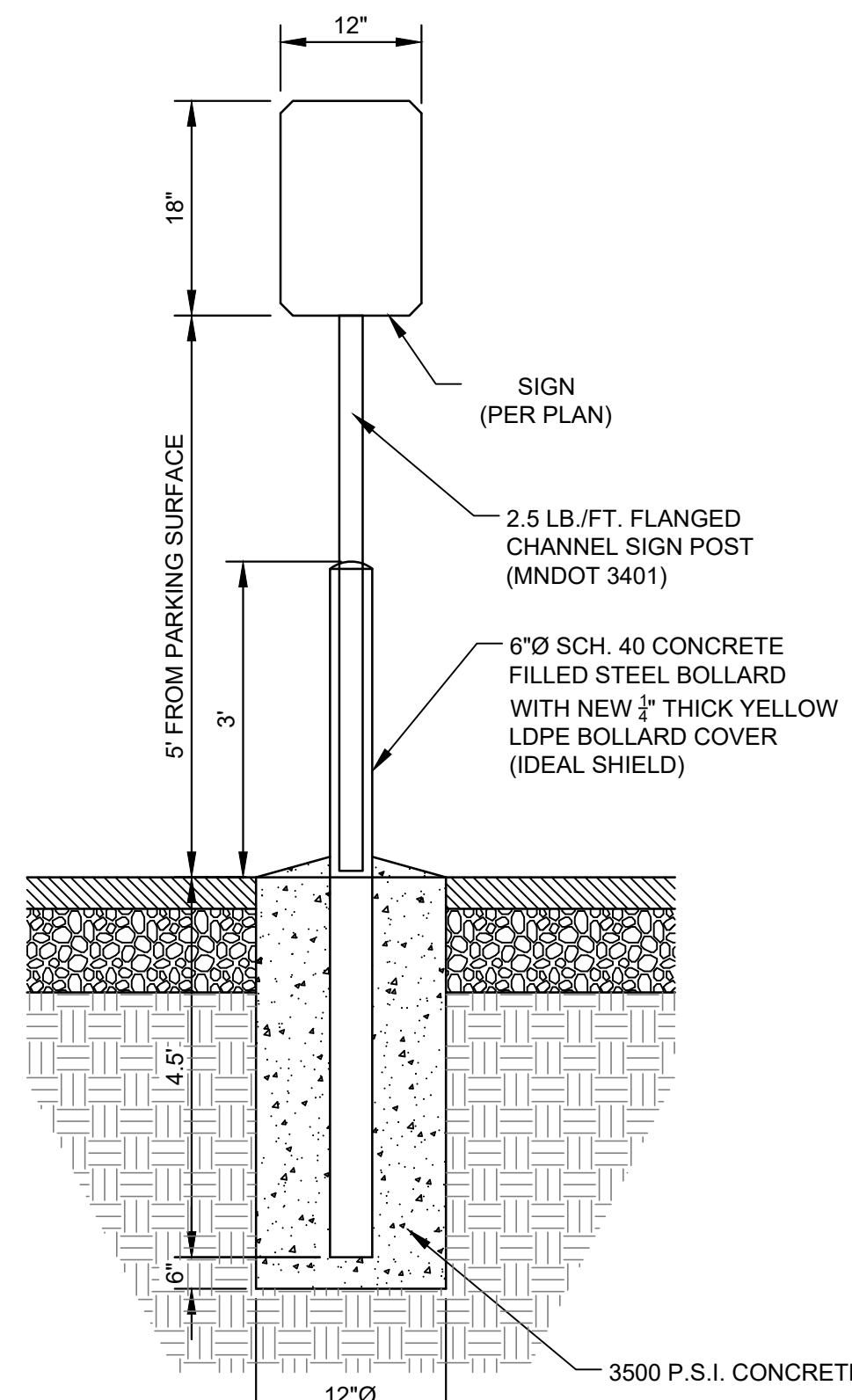
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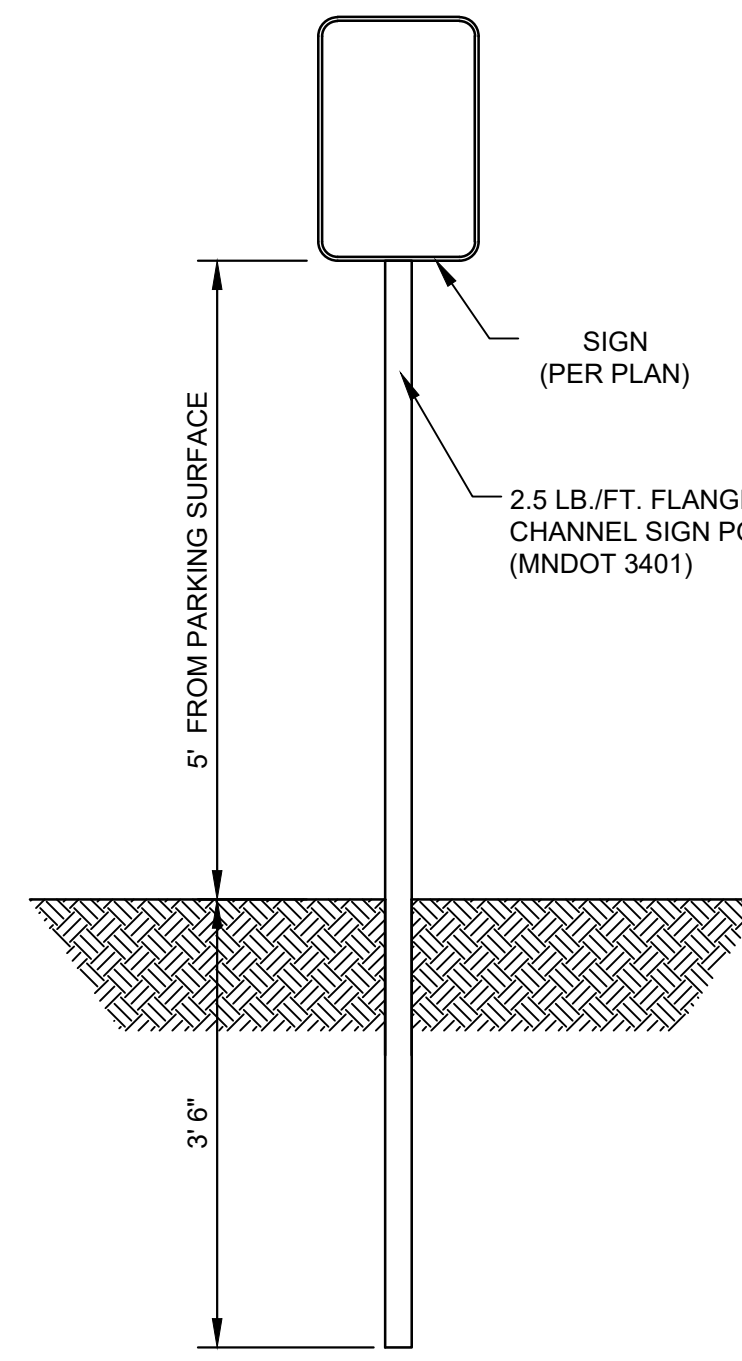
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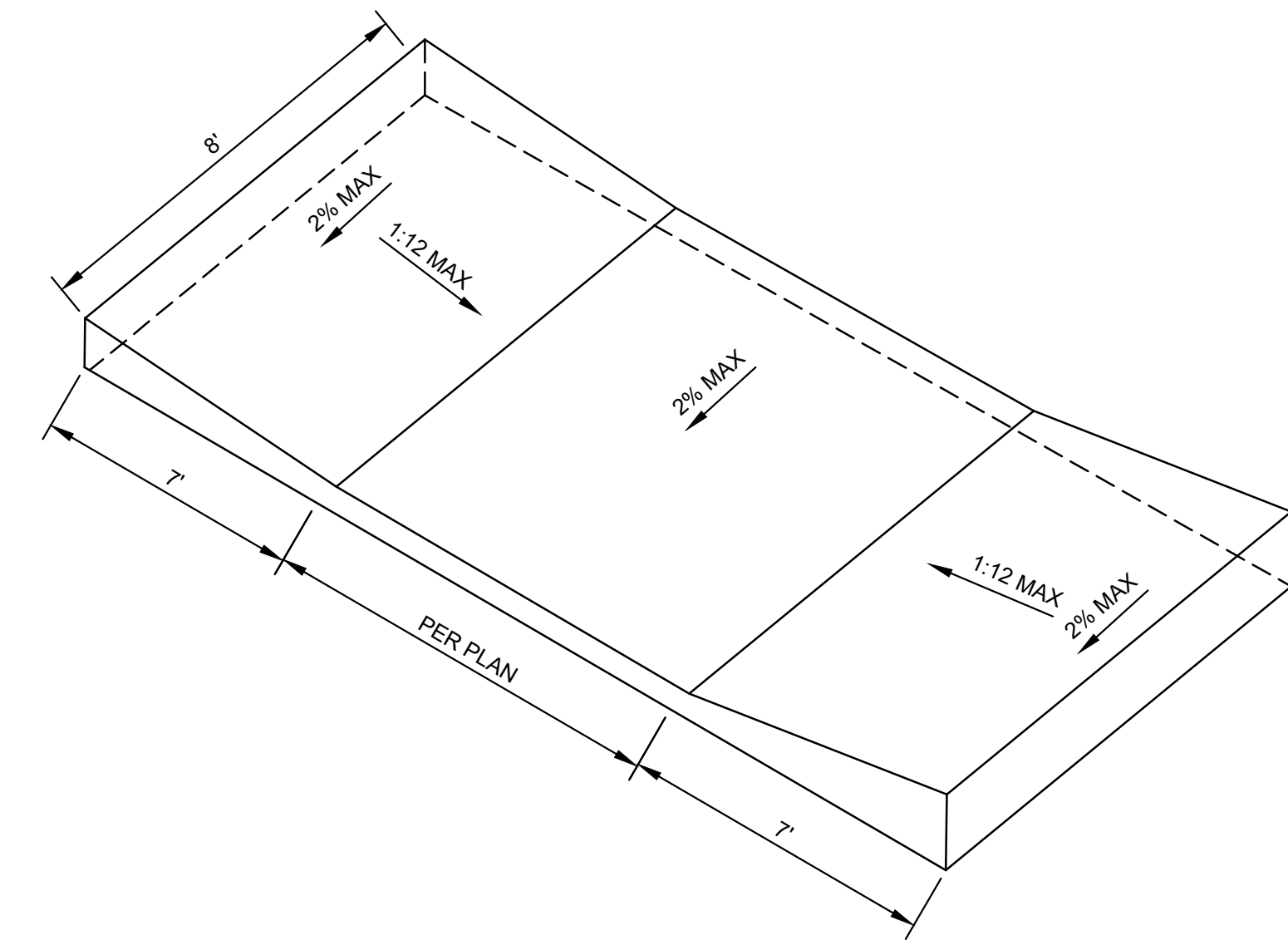
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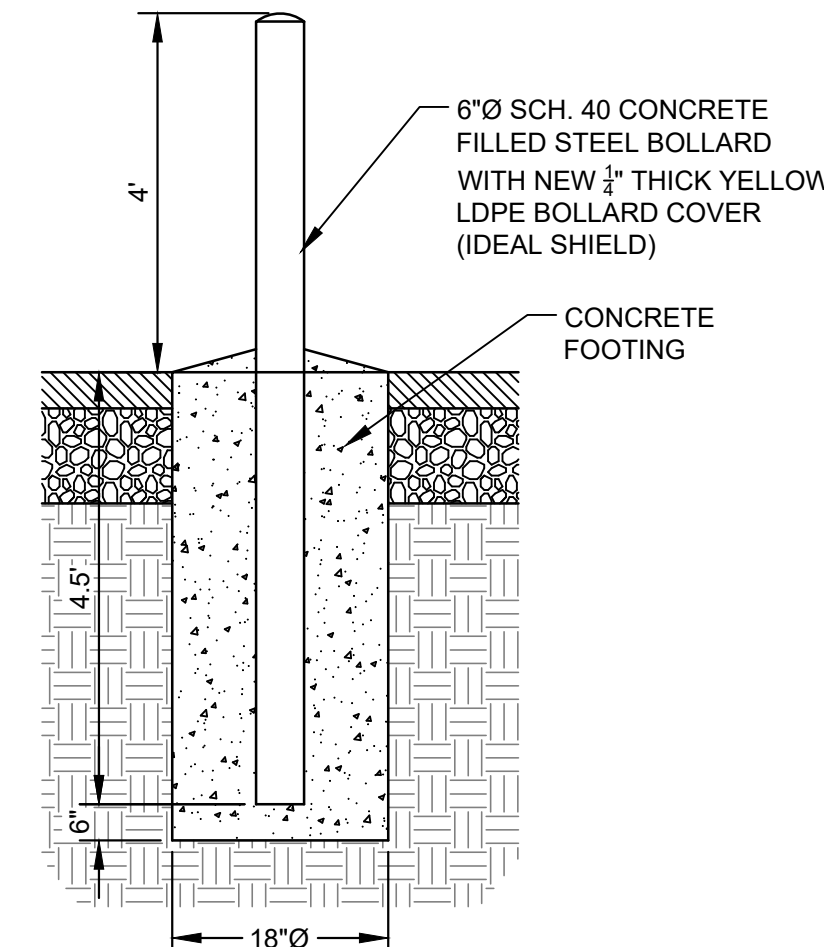
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NOT TO SCALE



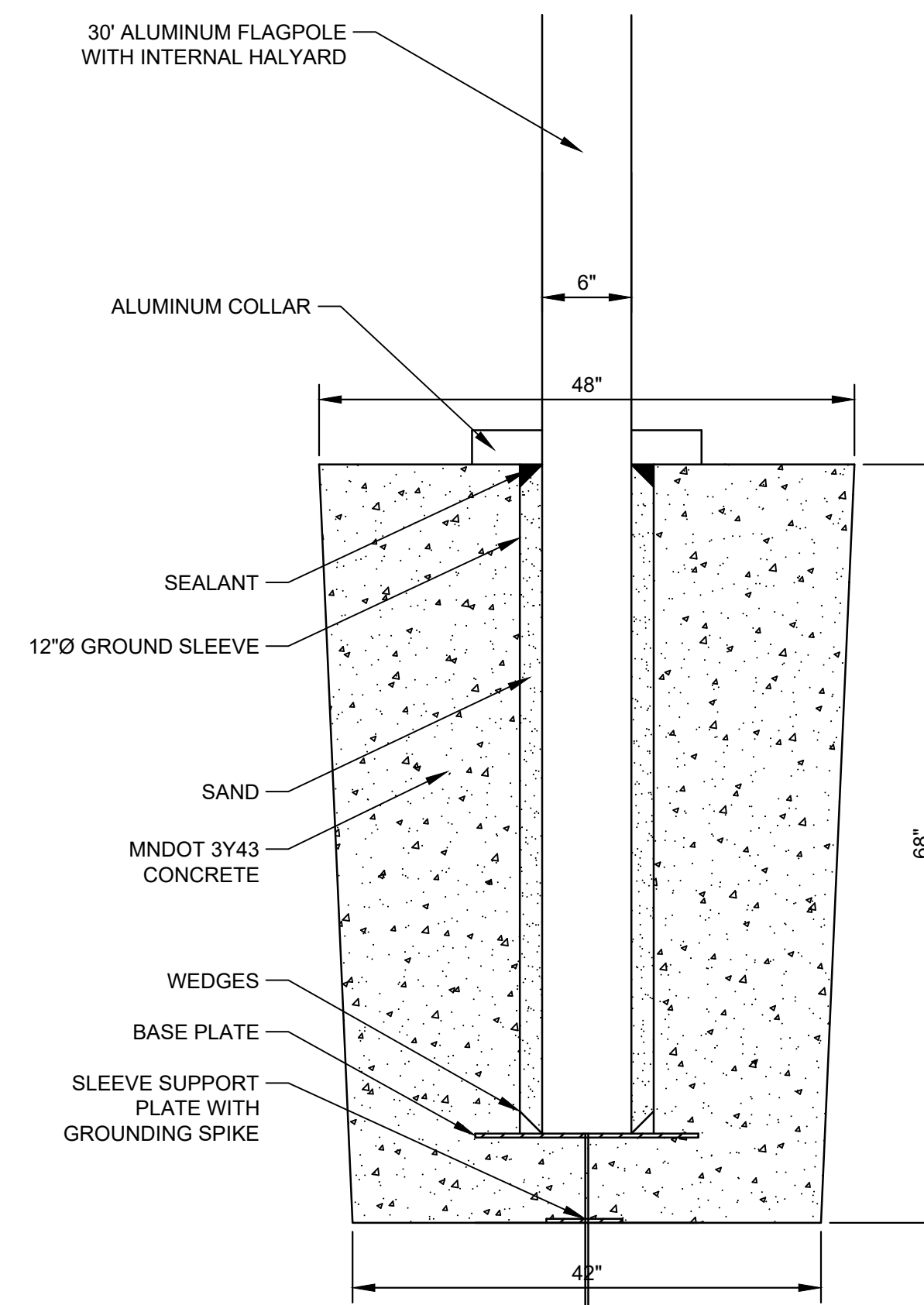
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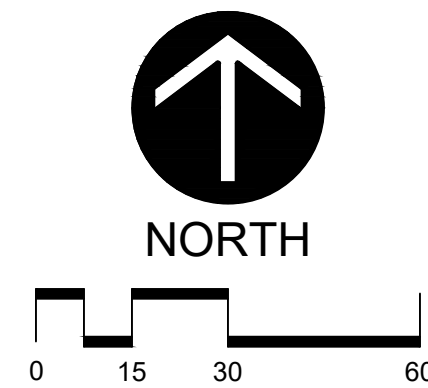
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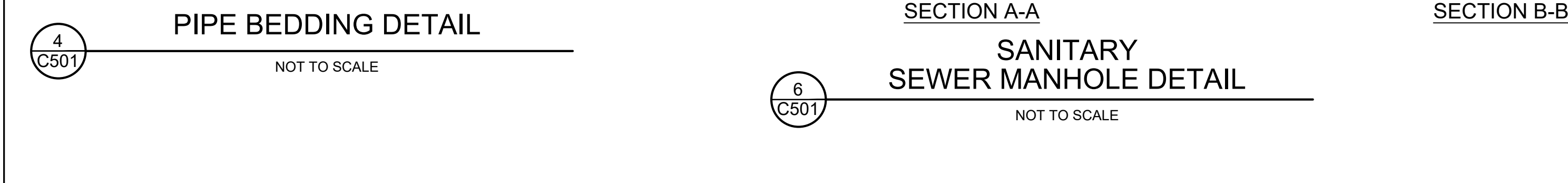
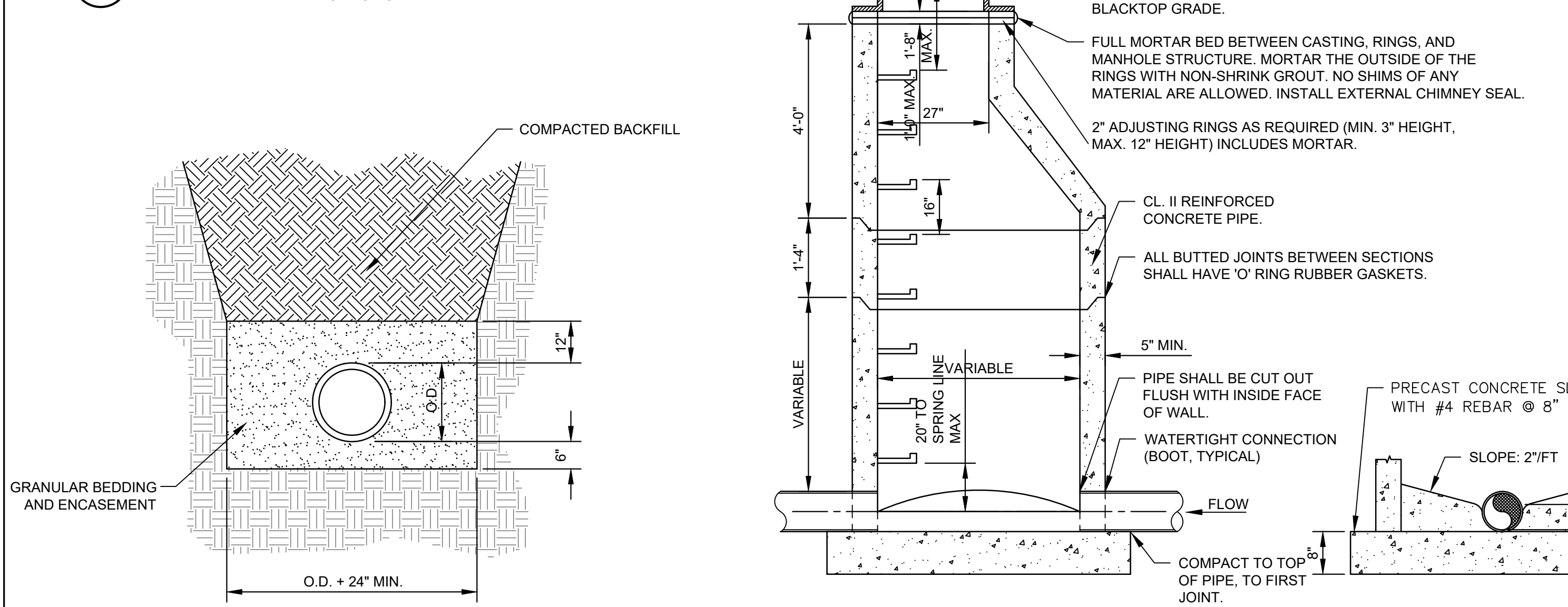
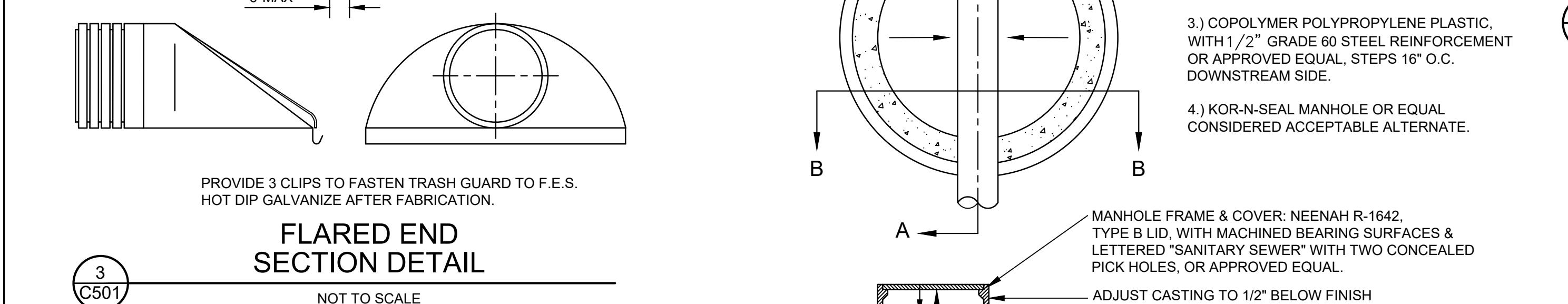
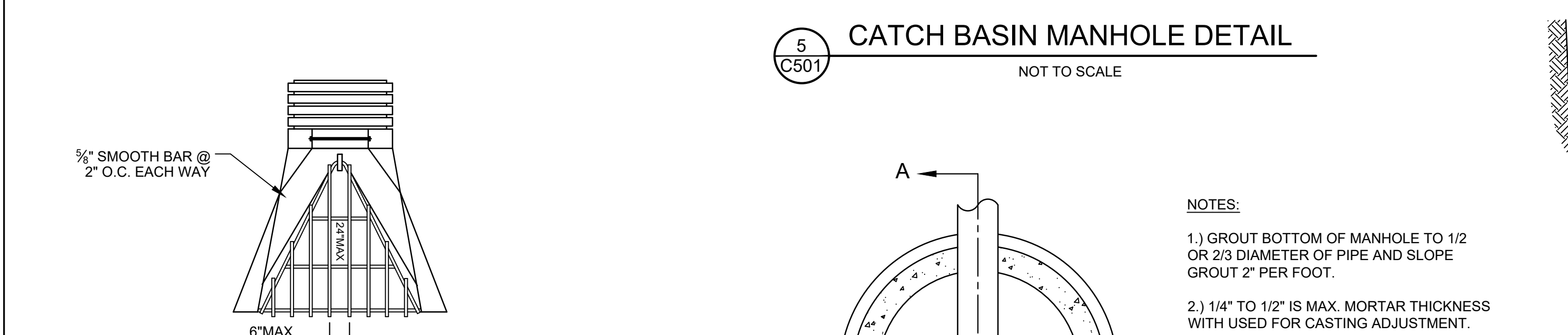
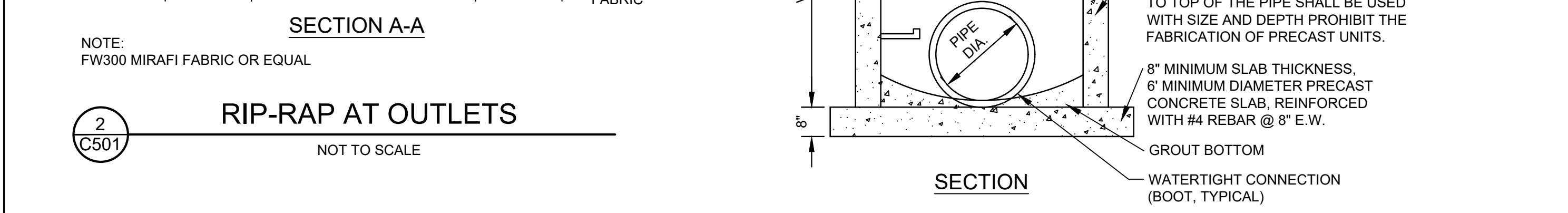
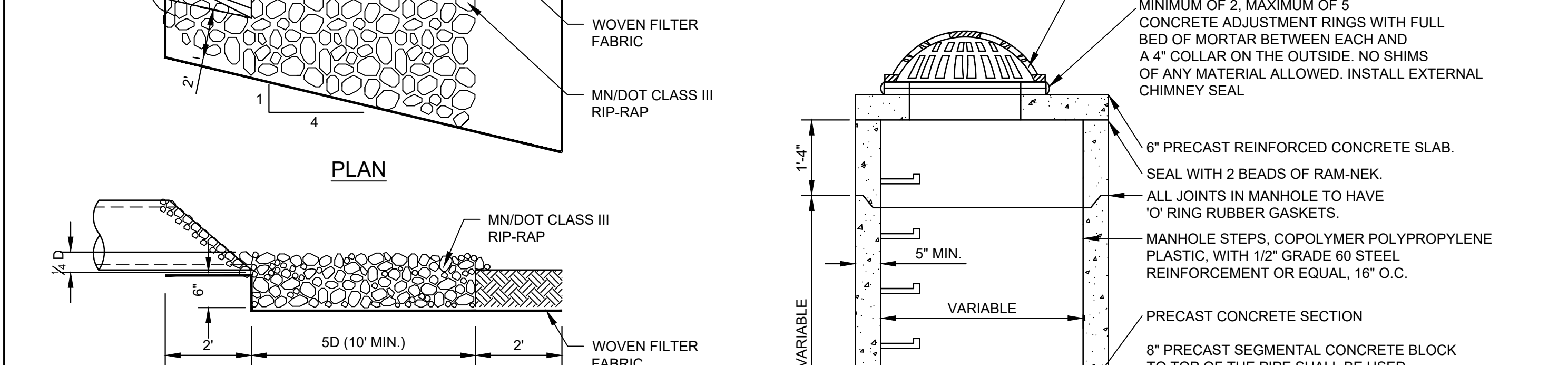
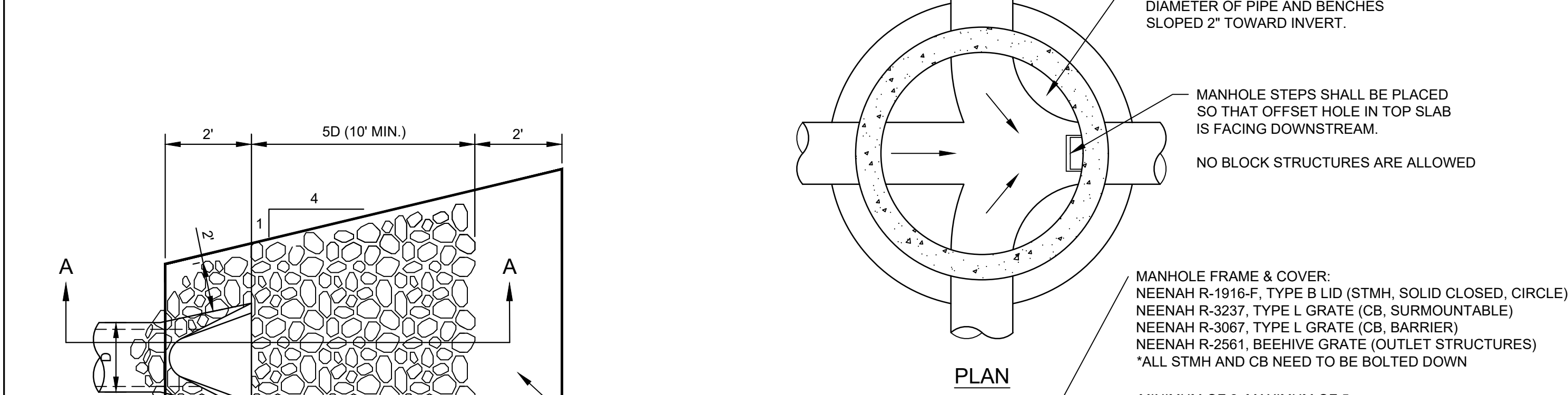
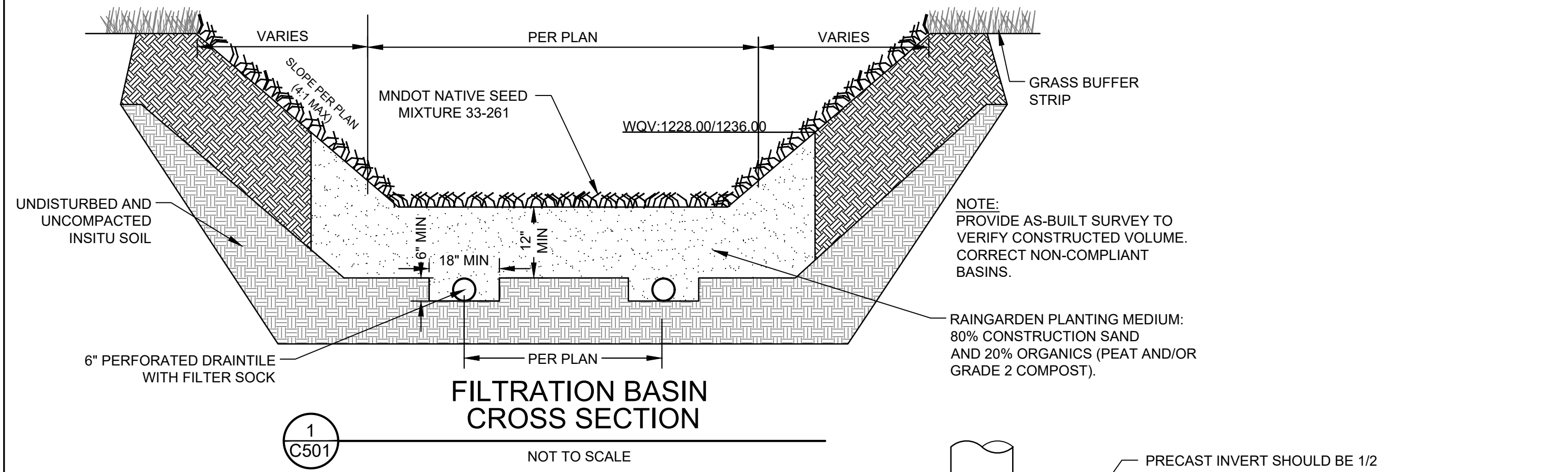
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16  
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FLAG POLE AND FOUNDATION DETAIL  
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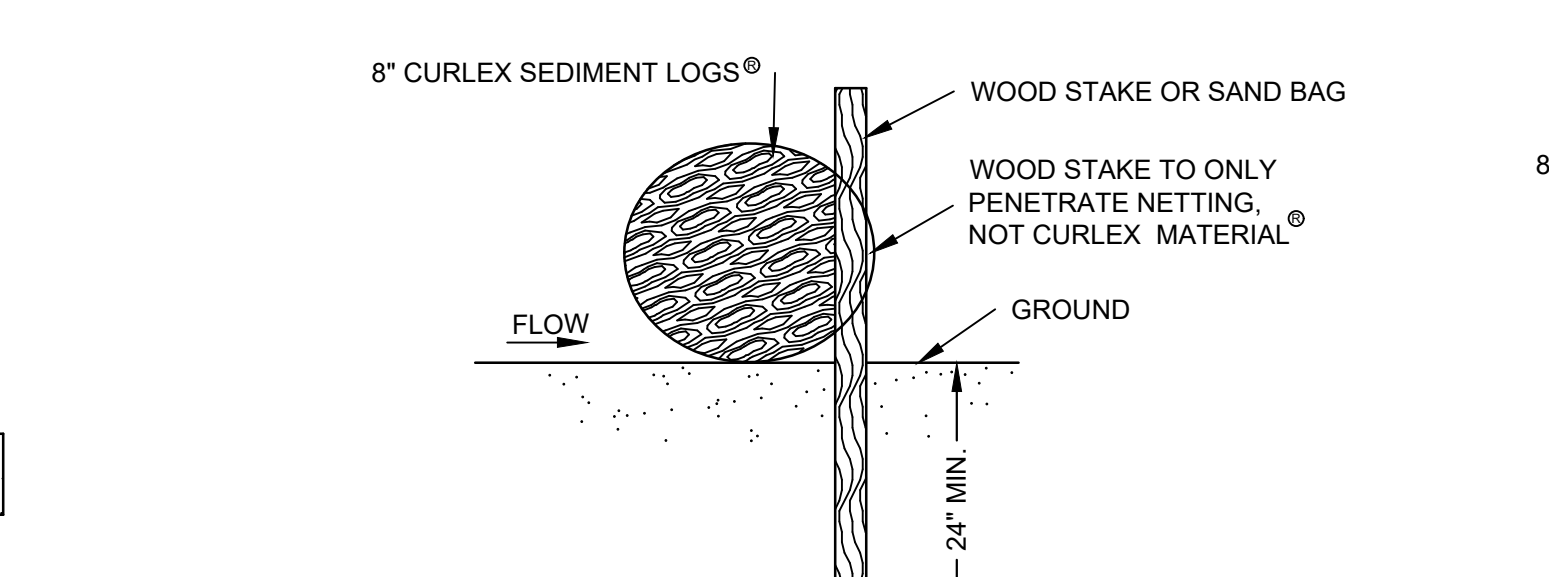
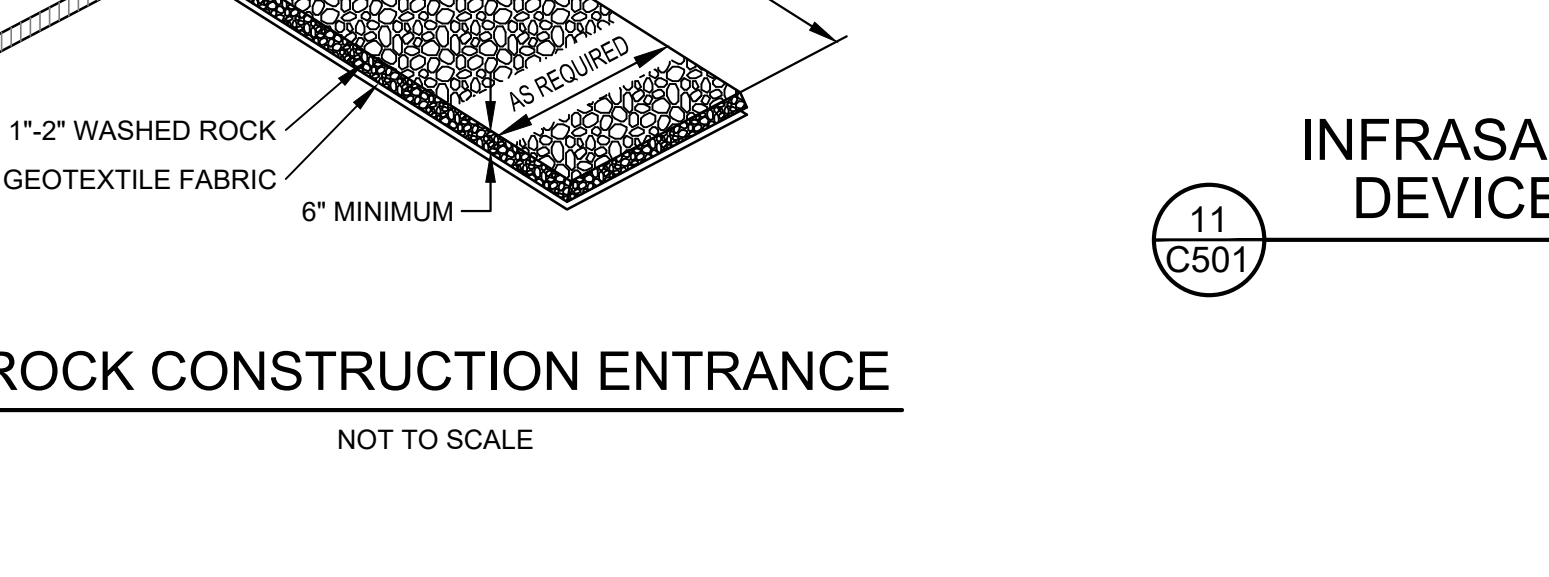
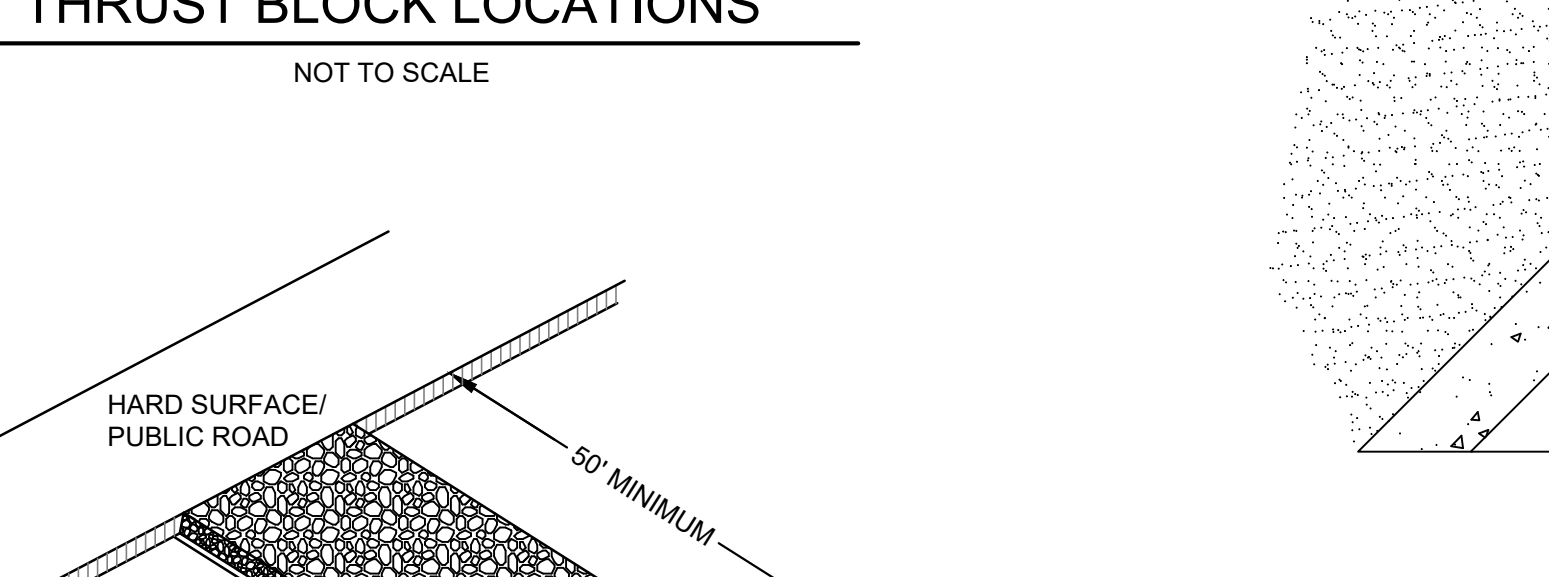
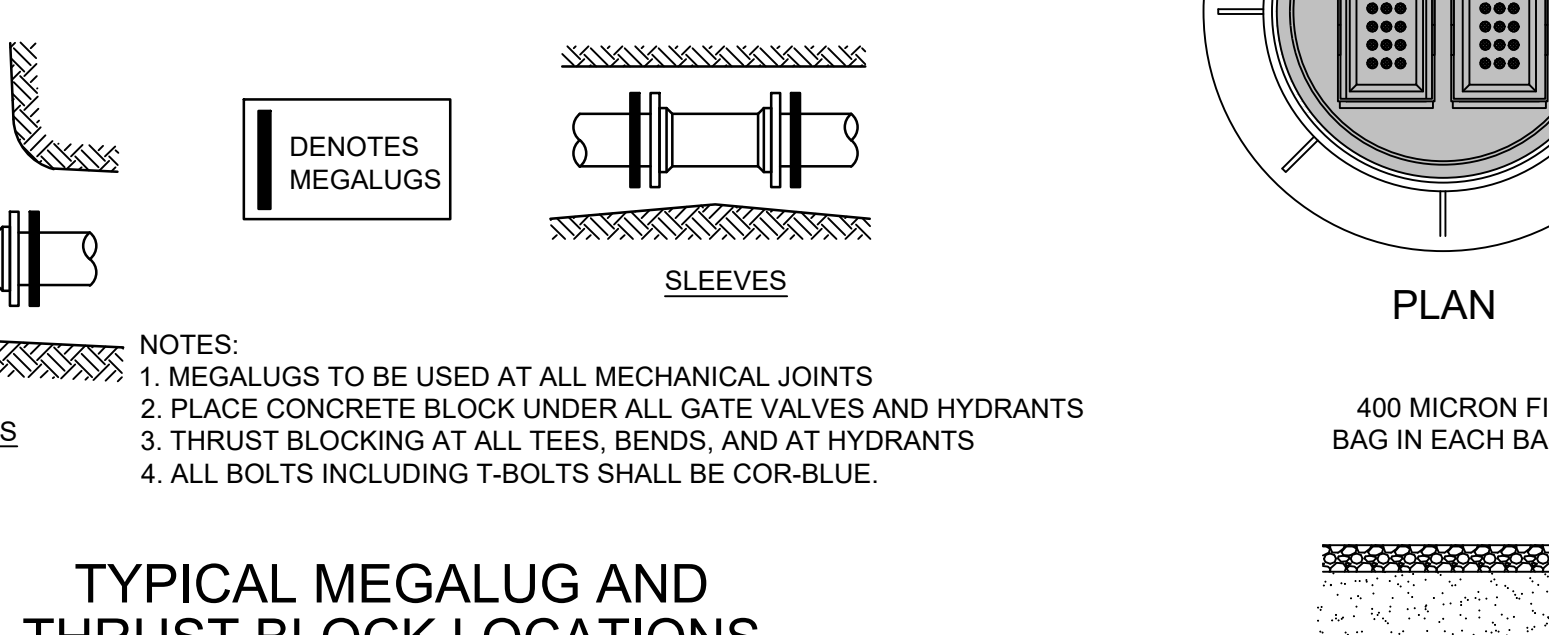
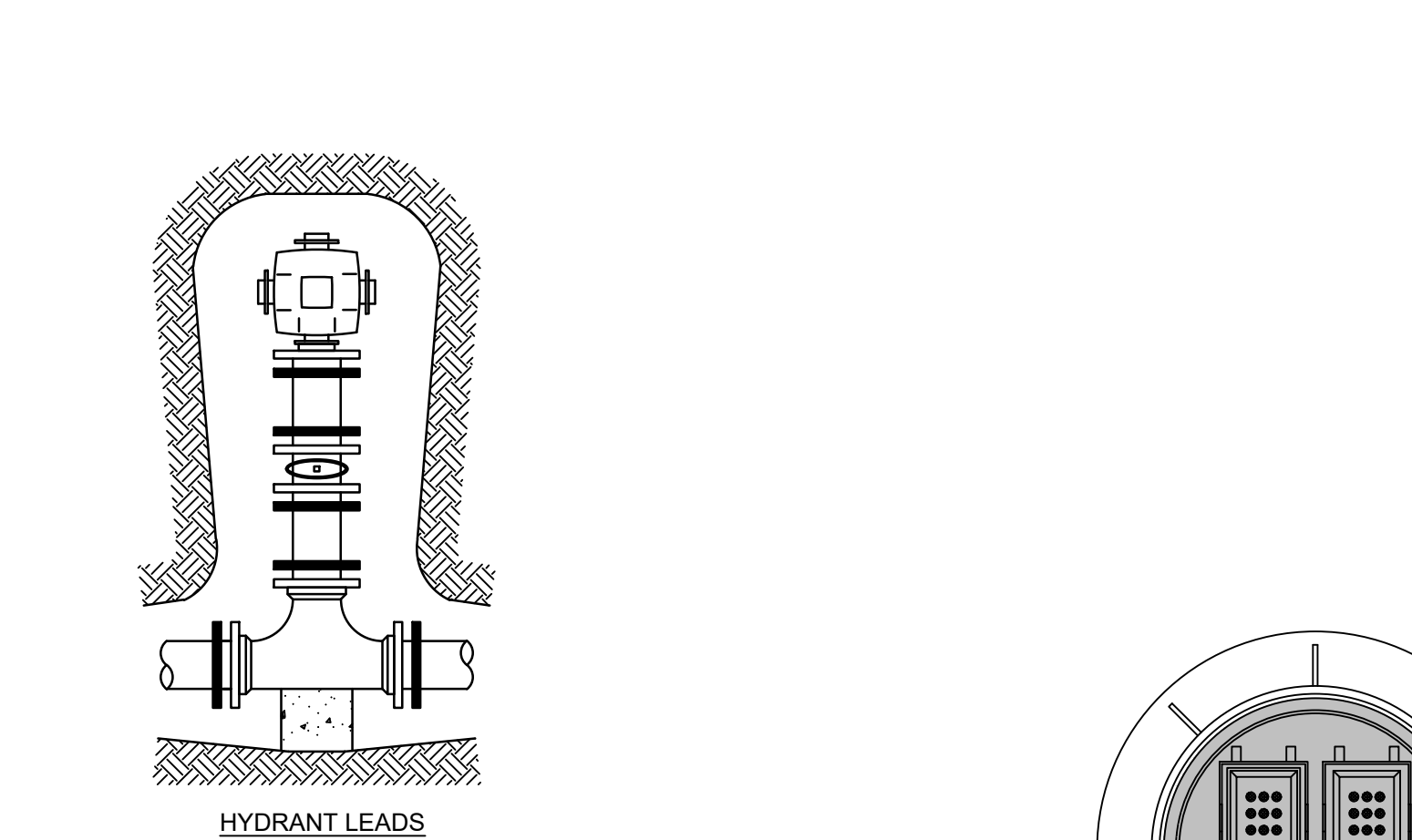
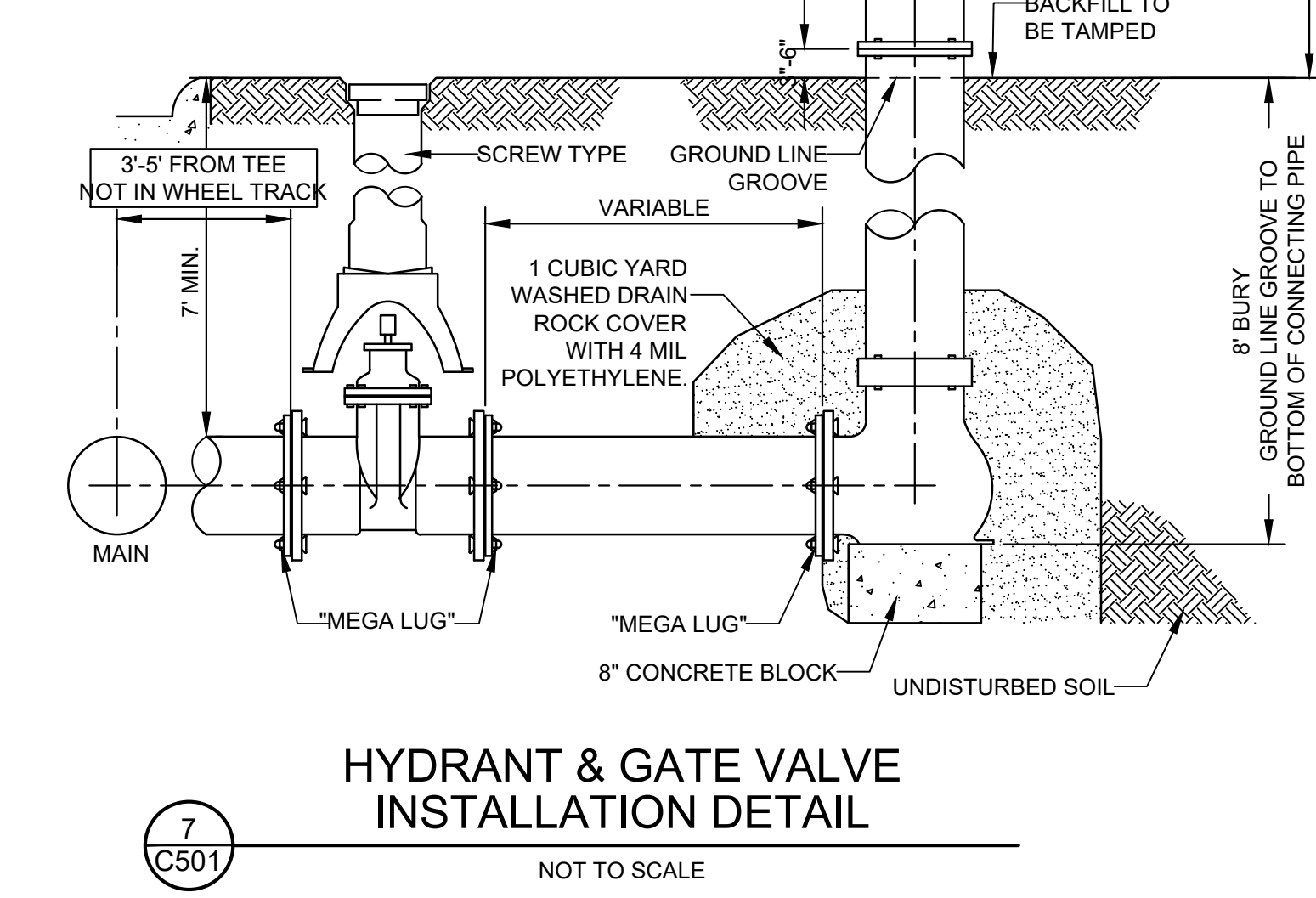






#### NOTES:

- 1.) HYDRANT SPECIFICATIONS PER CITY STANDARDS.
- 2.) ALL HYDRANT LEADS SHALL BE VALVED.
- 3.) ONE (1) 5" HYDRAFINDER WITH SPRING BASE HYDRANT FLAG PER HYDRANT IS REQUIRED.
- 4.) "MEGA LUG" THRUST RESTRAINT GLANDS ARE REQUIRED ON ALL HYDRANT LEAD JOINTS BACK TO THE WATERMAIN.
- 5.) HYDRANTS SHALL BE MARKED WITH APPROVED "OUT OF SERVICE" TAGS WHEN INSTALLED.
- 6.) EXTENSIONS INSTALLED GREATER THAN 12" SHALL REQUIRE A NEW SINGLE PIECE HEAVY DUTY VALVE ROD ASSEMBLY.
- 7.) WHEN INSTALLING A VALVE ROD EXTENSION, THE NON-BREAKABLE COUPLING SLEEVES GO ON THE BOTTOM AND THE BREAKABLE SLEEVES GO ON THE TOP OF THE EXTENSION ROD. VERIFY "TOP AND BOTTOM" OF BREAKOFF SECTION.



#### EROSION CONTROL NOTES

1. Owner and Contractor shall obtain MPCA-NPDES permit. Contractor shall be responsible for all fees pertaining to this permit. The SWPPP shall be kept onsite at all times.
2. Install temporary erosion control measures (inlet protection, silt fence, and rock construction entrances) prior to beginning any excavation or demolition work at the site.
3. Erosion control measures shown on the erosion control plan are the absolute minimum. The contractor shall install temporary earth dikes, sediment traps or basins, additional siltation fencing, and/or disk the soil parallel to the contours as deemed necessary to further control erosion. All changes shall be recorded in the SWPPP.
4. All construction site entrances shall be surfaced with crushed rock across the entire width of the entrance and from the entrance to a point 50' into the construction zone.
5. The toe of the silt fence shall be trenched in a minimum of 6". The trench backfill shall be compacted with a vibratory plate compactor.
6. All grading operations shall be conducted in a manner to minimize the potential for site erosion. Sediment control practices must be established on all down gradient perimeters before any up gradient land disturbing activities begin.
7. All exposed soil areas must be stabilized as soon as possible to limit soil erosion but in no case later than 14 days after the construction activity in that portion of the site has temporarily or permanently ceased. Temporary stockpiles without significant silt, clay or organic components (e.g., clean aggregate stockpiles, demolition concrete stockpiles, sand stockpiles) and the constructed base components of roads, parking lots and similar surfaces are exempt from this requirement.
8. The normal wetted perimeter of any temporary or permanent drainage ditch or swale that drains water from any portion of the construction site, or diverts water around the site, must be stabilized within 200 lineal feet from the property edge, or from the point of discharge into any surface water. Stabilization of the last 200 lineal feet must be completed within 24 hours after connecting to a surface water. Stabilization of the remaining portions of any temporary or permanent ditches or swales must be complete within 14 days after connecting to a surface water and construction in that portion of the ditch has temporarily or permanently ceased.
9. Pipe outlets must be provided with energy dissipation within 24 hours of connection to surface water.
10. All riprap shall be installed with a filter material or soil separation fabric and comply with the Minnesota Department of Transportation Standard Specifications.
11. All storm sewers discharging into wetlands or water bodies shall outlet at or below the normal water level of the respective wetland or water body at an elevation where the downstream slope is 1 percent or flatter. The normal water level shall be the invert elevation of the outlet of the wetland or water body.
12. All storm sewer catch basins not needed for site drainage during construction shall be covered to prevent runoff from entering the storm sewer system. Catch basins necessary for site drainage during construction shall be provided with inlet protection.
13. In areas where concentrated flows occur (such as swales and areas in front of storm catch basins and intakes) the erosion control facilities shall be backed by stabilization structure to protect those facilities from the concentrated flows.
14. Inspect the construction site once every seven days during active construction and within 24 hours after a rainfall event greater than 0.5 inches in 24 hours. All inspections shall be recorded in the SWPPP.
15. All silt fences must be repaired, replaced, or supplemented when they become nonfunctional or the sediment reaches 1/3 of the height of the fence. These repairs must be made within 24 hours of discovery, or as soon as field conditions allow access. All repairs shall be recorded in the SWPPP.
16. If sediment escapes the construction site, off-site accumulations of sediment must be removed in a manner and at a frequency sufficient to minimize off-site impacts.
17. All soils tracked onto pavement shall be removed daily.
18. All infiltration areas must be inspected to ensure that no sediment from ongoing construction activity is reaching the infiltration area and these areas are protected from compaction due to construction equipment driving across the infiltration area.
19. Temporary soil stockpiles must have silt fence or other effective sediment controls, and cannot be placed in surface waters, including stormwater conveyances such as curb and gutter systems, or conduits and ditches unless there is a bypass in place for the stormwater.
20. Collected sediment, asphalt and concrete millings, floating debris, paper, plastic, fabric, construction and demolition debris and other wastes must be disposed of properly and must comply with MPCA disposal requirements.
21. Oil, gasoline, paint and any hazardous substances must be properly stored, including secondary containment, to prevent spills, leaks or other discharge. Restricted access to storage areas must be provided to prevent vandalism. Storage and disposal of hazardous waste must be in compliance with MPCA regulations.
22. External washing of trucks and other construction vehicles must be limited to a defined area of the site. Runoff must be contained and waste properly disposed of. No engine degreasing is allowed onsite.
23. All liquid and solid wastes generated by concrete washout operations must be contained in a leak-proof containment facility or impermeable liner. A compacted clay liner that does not allow washout liquids to enter ground water is considered an impermeable liner. The liquid and solid wastes must not contact the ground, and there must not be runoff from the concrete washout operations or areas. Liquid and solid wastes must be disposed of properly and in compliance with MPCA regulations. A sign must be installed adjacent to each washout facility to inform concrete equipment operators to utilize the proper facilities.
24. Upon completion of the project and stabilization of all graded areas, all temporary erosion control facilities (silt fences, hay bales, etc.) shall be removed from the site.
25. All permanent sedimentation basins must be restored to their design condition immediately following stabilization of the site.
26. Contractor shall submit Notice of Termination for MPCA-NPDES permit within 30 days after Final Stabilization.

FILTER AREA	5.65 FT <sup>2</sup>
OVERFLOW AREA	0.42 FT <sup>2</sup>
MAXIMUM OVERFLOW RATE (@ 7" HEAD)	1.99 CFS
MAXIMUM OVERFLOW RATE (@ 13" HEAD)	2.79 CFS
BASKET WEIGHT (EMPTY)	1 LB
BASKET WEIGHT (FULL-APPROX.)	45 LBS

