

**PLANNING COMMISSION**

**OCTOBER 11, 2021**

**6:30 O'CLOCK P.M.**

1. Call to Order
2. Minutes of the Previous Meeting – September 13, 2021
3. PUBLIC HEARING – Conditional Use Permit for Electronic Sign – Home Federal
4. Transportation Map
5. Vail Property – Update/Discussion
- 6.. Other
7. Adjourn

## MINUTES OF PLANNING COMMISSION MEETING

September 13, 2021

Pursuant to due call and notice thereof, a regular Planning Commission meeting was held at City Hall on the 13th day of September, 2021 at 6:30 PM

**THE FOLLOWING WERE PRESENT:** Chairman Ferris, Commissioner Burton, Commissioner Thompson, Commissioner Tinsley, Commissioner Egger and Commissioner Fitch

**THE FOLLOWING WERE ABSENT:** Commissioner Torkelson

**THE FOLLOWING WERE ALSO PRESENT:** City Administrator Ibisch, Clerk Rappe, Brad Scheib – HKGi, Mary and Ryan Pennington, Roger and Renee Horsman, Jamie Judisch, Jim Judisch and Tim O'Morro

**CALL TO ORDER AT 6:30PM**

**MINUTES OF THE PREVIOUS MEETING – August 9, 2021 - Motion to Approve the Minutes as Submitted made by Commissioner Thompson, second by Commissioner Burton With All Voting Aye.**

**PUBLIC HEARING – CONDITIONAL USE PERMIT FOR FENCE ON THE PROPERTY LINE** – Administrator Ibisch stated that this property is in Stone Ridge Subdivision and the side/south property line is along the trail that extends all along the Methodist Church north boundary. Mary Pennington property owner, was in attendance and would like the Planning Commission to strike the staff recommendation of putting the fence three feet from the property line on the west side that is not along the trail. Mrs. Pennington has permission from the neighbor to put it on the property line. Brad Scheib stated that an access easement with the neighbor would be needed and filed with the County.

Public hearing open

No comments

Public hearing closed

**Motion to Recommend Approval with the modification of Condition #3 To Be Able To Put The Fence On The Property Line with An Access Easement, made by Commissioner Burton, second by Commissioner Fitch with All Voting Aye.**

**PUBLIC HEARING – VARIANCE TO REBUILD GARAGE 2 FEET FROM PROPERTY LINE** – Administrator Ibisch stated that the garage burned down and the Horsman's would like to rebuild on the footprint. Roger and Renee Horsman were in attendance. Mr. Horsman stated that they would like to replace the garage that caught fire and was a total loss that is closer to property line than 6.6 feet. Mr. Horsman stated that the pins and corner markers are still there and the neighbors don't have a problem with this. Planning Consultant, Brad Scheib stated that the one thing we want to make sure is that the structure is entirely on your property. If the pins are there that makes it easy for the surveyor to locate.

Public hearing open

No comments

Public hearing closed

Commissioner Tinsley confirmed that the garage would be the same size as the previous.

Commissioner Burton stated that if we can locate the property pins then he has no problem with this.

Commissioner Thompson stated that do we want a survey or just locate the pins. Mr. Scheib stated that the survey is suggested out of caution and given the age of this plat.

Commissioner Thompson stated that ultimately it is the homeowner's responsibility if the pins are off and he would do it without a survey. Renee Horsman stated that they are barely getting enough from insurance to rebuild without the extra expense of a survey. Mr. Scheib stated that the certificate of survey would show where the property line is in relation to the foundation.

Commissioner Burton stated that this plat is old enough so he is ok not to have the survey but would like a verification of where the pins. Administrator Ibisch stated that he would like to protect the city from liability when we are not surveyors. Mr. Horsman stated that the neighbor put a fence in 6 years ago and they put up a string line and the back of the garage is actually 3 feet from the property line. The southwest corner of the garage is 2.5 feet and the back of the garage is 3 feet. Mr. Horsman stated that if the garage was moved over to accommodate the 6.5 foot setback it would be behind the house and useless.

Motion to Approve the Garage Following Staff Recommendations made by Commissioner Thompson. Due to the lack of a second the motion fails.

**Motion to Approve the Variance With The Findings of Fact and Conditions Minus The Survey Requirement by Commissioner Burton, second by Commissioner Thompson. Roll call: Ayes- Thompson, Burton and Tinsley Abstain: Fitch Nays: Eggler and Ferris**

**VAIL PROPERTY – UPDATE/DISCUSSION** – Administrator Ibisch stated that he received these last week and there are some developers that have expressed interest in the property by the water tower to develop into more townhomes and apartment buildings. Commissioner Thompson asked if they are interested in doing the entire project or just one building. This is a concept. Ibisch stated that there is a large need for affordable housing. Commissioner Eggler likes Concept B better for traffic and emergency vehicle flow.

Commissioner Thompson asked if this would be assisted living or senior housing. Ibisch stated it would be senior living. Concept B had the parking lot being a buffer from the railroad tracks. Ibisch stated that fencing and landscaping would have to be worked out. Commissioner Tinsley also favors Concept B also, giving more distance from the train. Commissioner Thompson asked if there would there be a possibility of any of the former viaduct buried there. Commissioner Thompson stated that apartments that have garages instead of just parking tend to be nicer.

**4<sup>TH</sup> AVE NE APARTMENTS – UPDATE/DISCUSSION** – Jamie Judisch presented plans for an apartment building in the Thompson Addition. They believe this location is a prime location for this building given its proximity to the school campus, it is drawn at 33 units and they believe they can fill a fair number with the senior population. Parking garage would come out on 5<sup>th</sup> Ave NE and they are not sure yet what the grade would be. Judisch is not concerned with traffic flow and sited his building in Pine Island is close to a school. A private drive is going in off 16<sup>th</sup> St and that would terminate in a parking lot at the apt building. They are figuring one parking spot per unit. The construction could start in early 2022. This would take about 10 month construction schedule. Storm water is a question that is being worked out. Commissioner Fitch has quite a few questions from a fire department viewpoint. He is concerned with the location and access for the fire department. He is not prepared to get into specifics. Mr. Judisch stated that the building would be sprinkled and all of the fire requirements will be met. They will be predominately 2 bedroom apartments. Laura Chamberlain from HKGi sent a letter with requirements that would have to be met.

**INFORMATION ON BYRON SOLAR** – Administrator Ibisch shared the letter and maps from the Byron solar project, this is a very large solar project and will be close to our borders. This will be approximately 1800 acres. These are not in our urban expansion zone. We can bring more information next month on urban expansion and annexation areas and how much control we actually have.

**OTHER** – Administrator Ibisch informed the Commissioners that a public meeting will be held Sept 30 6:00PM at the forum room at the KMHS for the Highway 57 project.

**ADJOURN** – 7:43pm

Respectfully Submitted,

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Linda Rappe, City Clerk

## **RESOLUTION # 10.X-21**

### **CITY OF KASSON RESOLUTION APPROVING A CONDITIONAL USE PERMIT FOR AN ELECTRONIC SIGN**

WHEREAS, an application has been received from Home Federal requesting a Conditional Use Permit to install an electronic sign on property owned by the applicant at 502 South Mantorville Ave. in the City of Kasson; and

WHEREAS, a Public Hearing was held concerning this application on October 11, 2021 following due publication thereof; and

WHEREAS, such applications are reviewed by the Planning Commission and the Zoning Administrator prior to recommending Council action; and

WHEREAS, since the Kasson Municipal Code, in Section 154.347 lists Electronic Signs as a Permitted Conditional Use in all commercial/industrial Districts; and

WHEREAS, the property in question is in the C-2 District; and

WHEREAS, following the testimony and review, the findings made by the Planning Commission indicate that the proposed project will have limited or mitigated impact on the surrounding neighborhood and is in the public interest;

NOW THEREFORE BE IT RESOLVED by the Planning Commission of the City of Kasson that the following findings of fact are hereby adopted and it is recommended that the City Council approve the Conditional Use Permit:

1. **The use will be sufficiently compatible or separated by distance or screening from adjacent residentially zoned or used land so that existing homes will not be depreciated in value and there will be no deterrence to development of vacant land.**

The site is sufficiently screened from any residentially used land as to have little, if any impact. The adjacent residential properties are screened by the primary structure, accessory structures and vegetation.

2. **The structure and site shall have an appearance that will not have an adverse affect upon adjacent residential properties**

The appearance of the sign will not be sufficiently altered so that an increased adverse impact is considered unlikely.

3. **The use, in the opinion of the City, is reasonably related to the overall needs of the City and to the existing land use.**

Since these types of signs are becoming an increasingly important part of the promotion of commercial enterprises and have been consistently allowed along Mantorville Ave., it may be considered reasonably related to the needs of the City.



4. **The use is consistent with the purpose of this Ordinance and the purposes of the zoning district in which the applicant intends to locate the proposed use.**

Since such signs are specifically listed as Conditional Uses that may be allowed in this Zoning District, it can be considered compatible with the Ordinance.

5. **The use is not in conflict with the Comprehensive Plan of the City.**

Since the proposed use of the property is a Permitted Conditional Use in the District, the use is in accordance with the Comprehensive Plan.

6. **The use will not cause traffic hazards or congestion.**

Since the permit is for a sign, no traffic congestion is anticipated from this use.

7. **The proposed use will not be injurious to the use and enjoyment of other property in the neighborhood and will not significantly diminish or impair the values of such property.**

The sign will be sufficiently small in the area as to have little or no impact on surrounding properties.

8. **The use will not disrupt the character of the neighborhood.**

The proposed sign is of a nature consistent with the existing use so that no disruption of the neighborhood is anticipated.

**NOW THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF KASSON, MINNESOTA:**

That the said Conditional Use Permit for an Electronic Sign at 502 Mantorville Ave South is hereby approved by the City Council of the City of Kasson.

Adopted this 13<sup>th</sup> day of October, 2021.

**ATTEST:**

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Linda Rappe, City Clerk

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Steve Johnson, Mayor

The motion for the adoption of the foregoing resolution was made by Council Member Egger and duly seconded by Council Member Coleman. Upon a vote being taken, the following members voted in favor thereof: Borgstrom, Buck, Coleman, Egger and Johnson. Those against same: None.

**APPLICATION FOR CONDITIONAL USE PERMIT**

Fee Paid \$ \_\_\_\_\_

Date Filed \_\_\_\_\_

Street Address of Property 602 Mantorville Ave. S, Kasson MN 55944

Legal Description of Property JH Kassons Add. 24x5 BI EX W17FT + EX PT of 1/4 COMM SECOR W115FT.

Owner's Name Home Federal Savings Bank Phone 607-280-3419

Address 1016 Civic Center Dr. NW, Rochester MN 55901

Applicant (if other than Owner):

Name Andrew M. Peik Phone 507-287-6500

Address 3205 East River Road NE 55906 Rochester MN.

Description of Request install LED sign where the old monument used to be

Reason(s) for Request obtain a conditional use permit to install an electronic LED sign

Present Zoning Classification C-2 - General Commercial District

Existing Use of Property Home Federal Savings Bank - financial institution

Signature of Applicant Maureen Keith Date 09/17/2021

Am in Re

09/17/2021

**FOR OFFICE USE ONLY**

Date accepted \_\_\_\_\_

Recommended \_\_\_\_\_ Denied \_\_\_\_\_ by the Planning Commission on \_\_\_\_\_, 19\_\_

Approved \_\_\_\_\_ Denied \_\_\_\_\_ by the City Council on \_\_\_\_\_, 19\_\_

If approved, the following conditions were prescribed:

1. \_\_\_\_\_
2. \_\_\_\_\_
3. \_\_\_\_\_
4. \_\_\_\_\_

If denied, denial was for the following reason(s): \_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Date Received: \_\_\_\_\_ Date Paid/Picked-up: \_\_\_\_\_ Permit # \_\_\_\_\_

# APPLICATION FOR BUILDING PERMIT

## CITY OF KASSON, MINNESOTA

Applicant: <u>Home Federal</u>	Phone No: <u>507-535-1309</u>
Address: <u>1016 Civic Center Dr NW Rochester MN</u>	Proposed Project: _____
Contractor: <u>Rochester Sign Service</u>	Phone No: <u>507-287-6500</u>
State License No: <u>00344L</u>	Plumber's Name/License # <u>—</u>
Building Site Location/New Address: <u>502 S. Mantolville Ave</u>	

### TYPE OF CONSTRUCTION

☐ New    ☐ Single Family    ☐ Multi-Family    ☐ Addition/Alteration    ☐ Deck    ☐ Demolition  
☐ Move    ☒ Sign    ☐ Plumbing    ☐ Mechanical    ☐ Pool    ☐ Commercial/Industrial

Proposed Project: \_\_\_\_\_ Currently Zoned: \_\_\_\_\_

Legal Description of Property: \_\_\_\_\_

Lot Length: \_\_\_\_\_ Lot Width: \_\_\_\_\_ Water Service Line Size: \_\_\_\_\_

Building Size: \_\_\_\_\_ (sq. ft.) Total sq. ft. of all accessory buildings & hard surface (driveway, etc.): \_\_\_\_\_

SET BACKS: Front Property Line \_\_\_\_\_ ft. Rear Property Line \_\_\_\_\_ ft. Side Line \_\_\_\_\_ ft. Side Line \_\_\_\_\_ ft.

Year House was built: \_\_\_\_\_ If pre-1978 – list name of qualifying contractor or company with certification for lead abatement. \_\_\_\_\_ (MN Statute 144.9501-144)(Remodel Only)

 UTILITIES REQUIRED: N/A SEWER    N/A WATER    N/A ELECTRIC

**A SKETCH DRAWN TO SCALE SHOWING ALL DIMENSIONS AND DISTANCES FROM LOT LINES MUST BE ATTACHED ALONG WITH TWO (2) COPIES OF PLANS.**

I hereby declare that I am the Owner, or authorized agent of the owner of the above described property and I agree to construct the building or use herein described in accordance with the regulations and ordinances that govern said improvement within the City of Kasson and that the foregoing information contained on this permit is a true and correct statement of my intentions. Once a permit is processed, there will be **NO REFUNDS**.

 Date: 9/16/2021    Signed by Applicant: [Signature]  
 Please Print Name: Andrew M. Peik

(TO BE COMPLETED BY CITY)

VALUATION: \$ \_\_\_\_\_

Building Permit Fee: \$ \_\_\_\_\_ Plan Check Fee: \$ \_\_\_\_\_ Surcharge: \$ \_\_\_\_\_

BUILDING PERMIT APPROVED BY: \_\_\_\_\_ DATE: \_\_\_\_\_

Water Connect Fee: \$ \_\_\_\_\_ Water Tap Fee: \$ \_\_\_\_\_ Water Meter Fee: \$ \_\_\_\_\_

Sewer Connect Fee: \$ \_\_\_\_\_ Sewer Tap Fee: \$ \_\_\_\_\_ Sump Pump Fee: \$ \_\_\_\_\_

Electric Meter Fee: \$ \_\_\_\_\_ Curb Top Fee: \$ \_\_\_\_\_ Other Fees: \$ \_\_\_\_\_

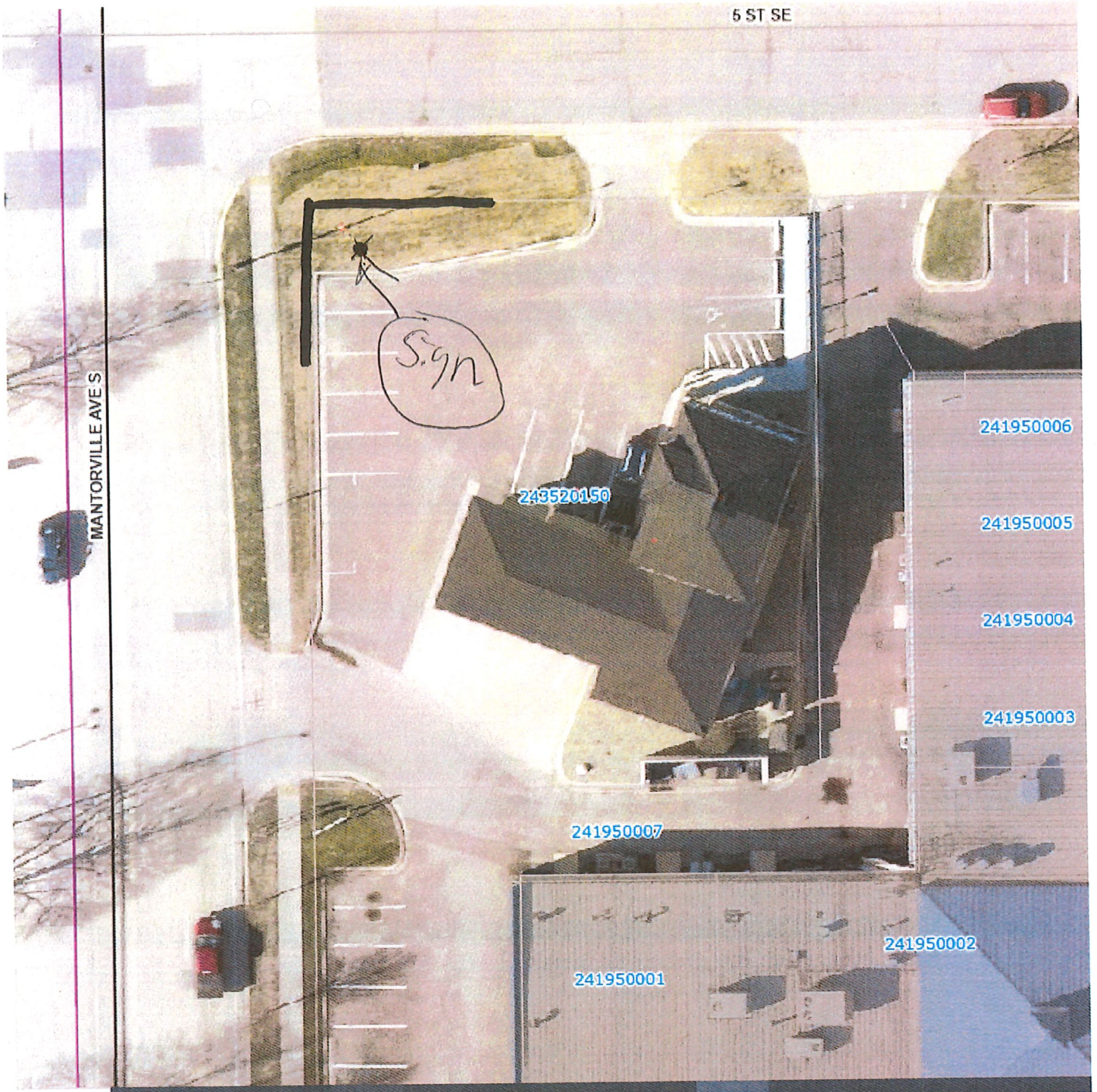
Electric Connect Fee: \$ \_\_\_\_\_ Plumbing: \$ \_\_\_\_\_ Mechanical: \$ \_\_\_\_\_

ZONING APPROVED BY: \_\_\_\_\_ DATE: \_\_\_\_\_

Building Permit Fees: \$ \_\_\_\_\_ Zoning Fees: \$ \_\_\_\_\_ Total Amount Due: \$ \_\_\_\_\_

Zoning District: \_\_\_\_\_ Setbacks: Front \_\_\_\_\_ Rear \_\_\_\_\_ R. Side \_\_\_\_\_ L. Side \_\_\_\_\_



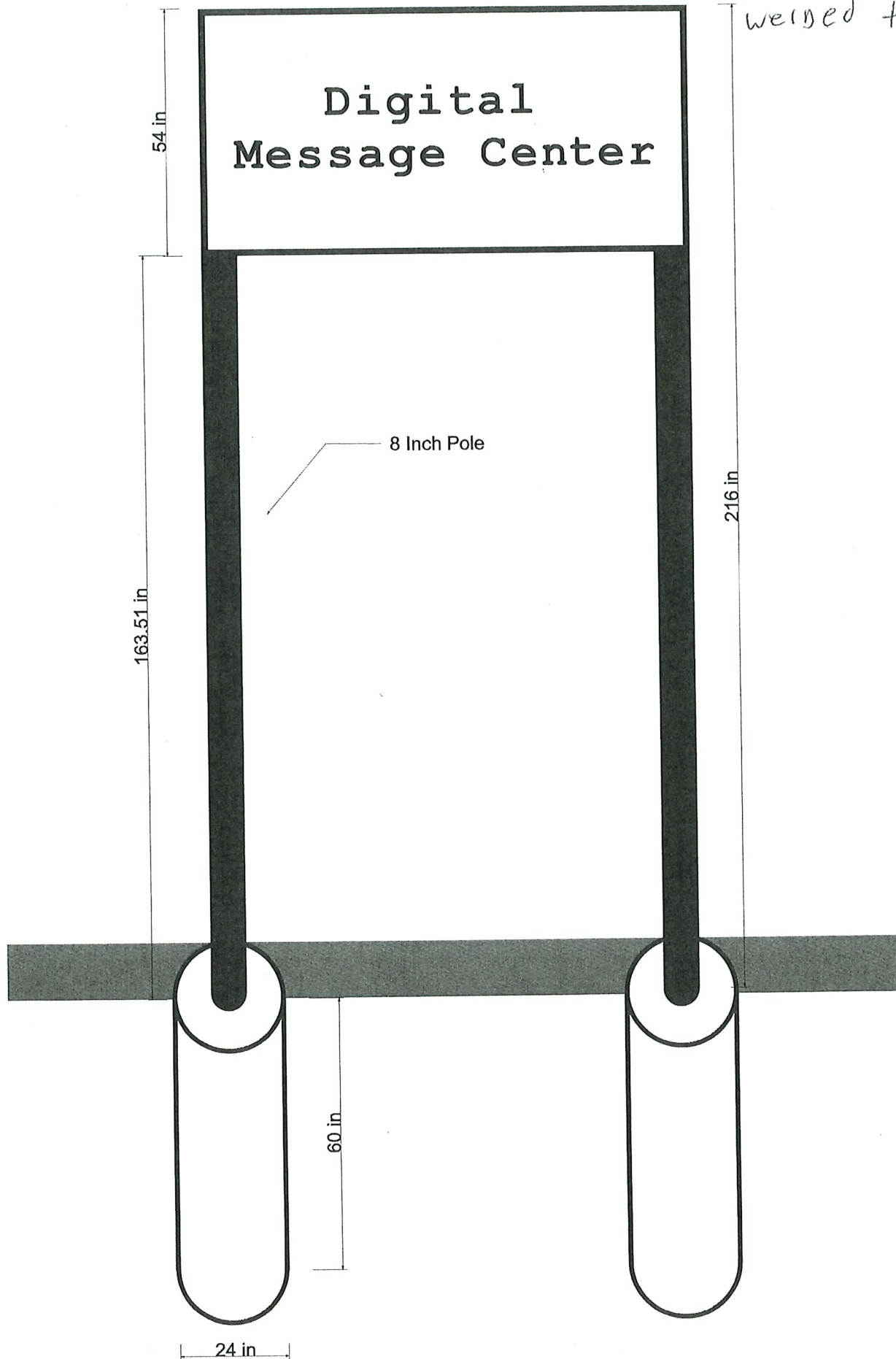


Sincerely,

Laurie A. O'Neill-Keith  
Vice President  
Director of Real Estate  
Home Federal  
1016 Civic Center Dr NW  
Rochester, MN 55901

[laurie.keith@hfsb.com](mailto:laurie.keith@hfsb.com)

BACK is over  
Digital message center.  
welded to poles





# Future Roadway Access and Connection Plan

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## Purpose

The purpose of the Future Roadway Access and Connection Plan is to establish clear direction for staff, policy makers, developers, and property owners on the implementation of the Functional Class Roadways network established in the City of Kasson Comprehensive Plan: Kasson Upward 2040. This Plan builds off of the planned road network of the Comprehensive Plan and gives direction on where future developments will connect with through streets and access the future arterial, collector, and parkway road system. It applies logical intersection spacing standards to ensure adequate connectivity, safety, and traffic management for Kasson's existing and planned roadway network. It is not the intention of this Plan to dictate the exact layout of future local streets; rather, this Plan provides guidance to developers on the expectations of where local streets will connect to the greater road system and provide street continuity. It is expected that local development projects will incorporate the guidance from this plan into their development projects.

## Description

The Future Roadway Access and Connection Plan consists of this policy summary and the attached map. The map utilizes Figure 7.2 Future Functional Class Roadways from the Comprehensive Plan as its base and establishes a set of access points with arrows showing the direction of access into future developable areas.

## Implementation

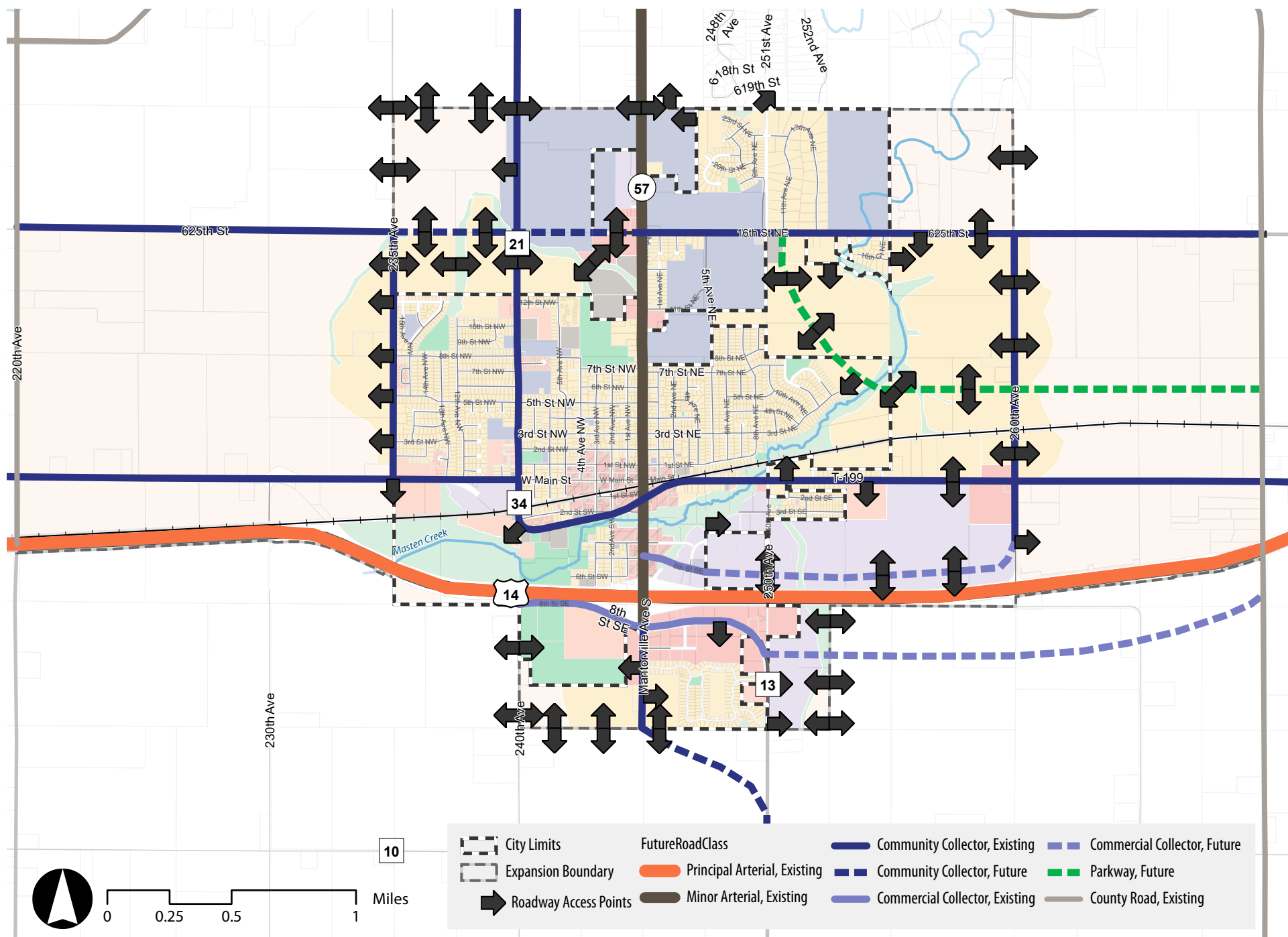
This Plan is meant to provide clear guidance to property owners and developers on the general location and number of accesses they are expected to provide onto existing and future arterial, collector, and parkway roadways. The Plan also provides guidance on where roadway connections between neighborhoods and across streams, ditches, and other barriers are expected. Developers and property owners should consult this map at the pre-development stage to propose their own internal street network that accommodates the access points.

Specific location and intersection design will be worked out between the developer and the City Engineer during the Preliminary Platting stage. A property owner or developer may propose an amendment to this map, showing alternative access points for their property. Such a proposal would require approval by the City Engineer, consideration by the Planning Commission, and approval by the City Council prior to accepting a subdivision based on the new proposal.

## Relevant Comprehensive Plan Transportation Goals and Policies

- Goal 7.1 Offer a greater degree of connectivity for all roadway users in future developments
- Policy 7.1.1 Require new neighborhoods to have multiple ingress and egress points from local streets connecting to collector and arterial street systems
  - Policy 7.1.3 Explore new street/roadway improvements on a city wide basis that increase or enhance connectivity within the community as a solution to relieving traffic congestion on existing collector corridors
  - Policy 7.1.4 Plan beyond a specific development project's boundaries. Roads and trails do not just end at a particular project's edges. As development is proposed in new growth areas make sure that the circulation system considers how adjacent property might develop and how a circulation system works for the larger area and connects to the collector and arterial roadway system
- Goal 7.3 Develop a safe roadway system that minimizes traffic collisions and minimizes property damage that results from unsafe roadway systems
- Policy 7.3.5 Support and enforce the policies related to access management, connectivity, mobility options, and traffic management as a means to enhance safety of the roadway system
- Goal 7.6 Manage access to the existing and future roadway network
- Policy 7.6.1 Control and manage direct access to arterial and collector roadways in new growth areas
  - Policy 7.6.2 Over time, correct access problems within existing developed areas as property intensifies in development, redevelops or as roadways are reconstructed
  - Policy 7.6.3 Require individual properties to access the arterial roadway system via access to collector or local streets rather than direct access to arterial streets
  - Policy 7.6.4 Support redevelopment of property along existing collector road corridors that seeks to reduce individual direct access points
  - Policy 7.6.5 Encourage consolidation of driveways along collector streets



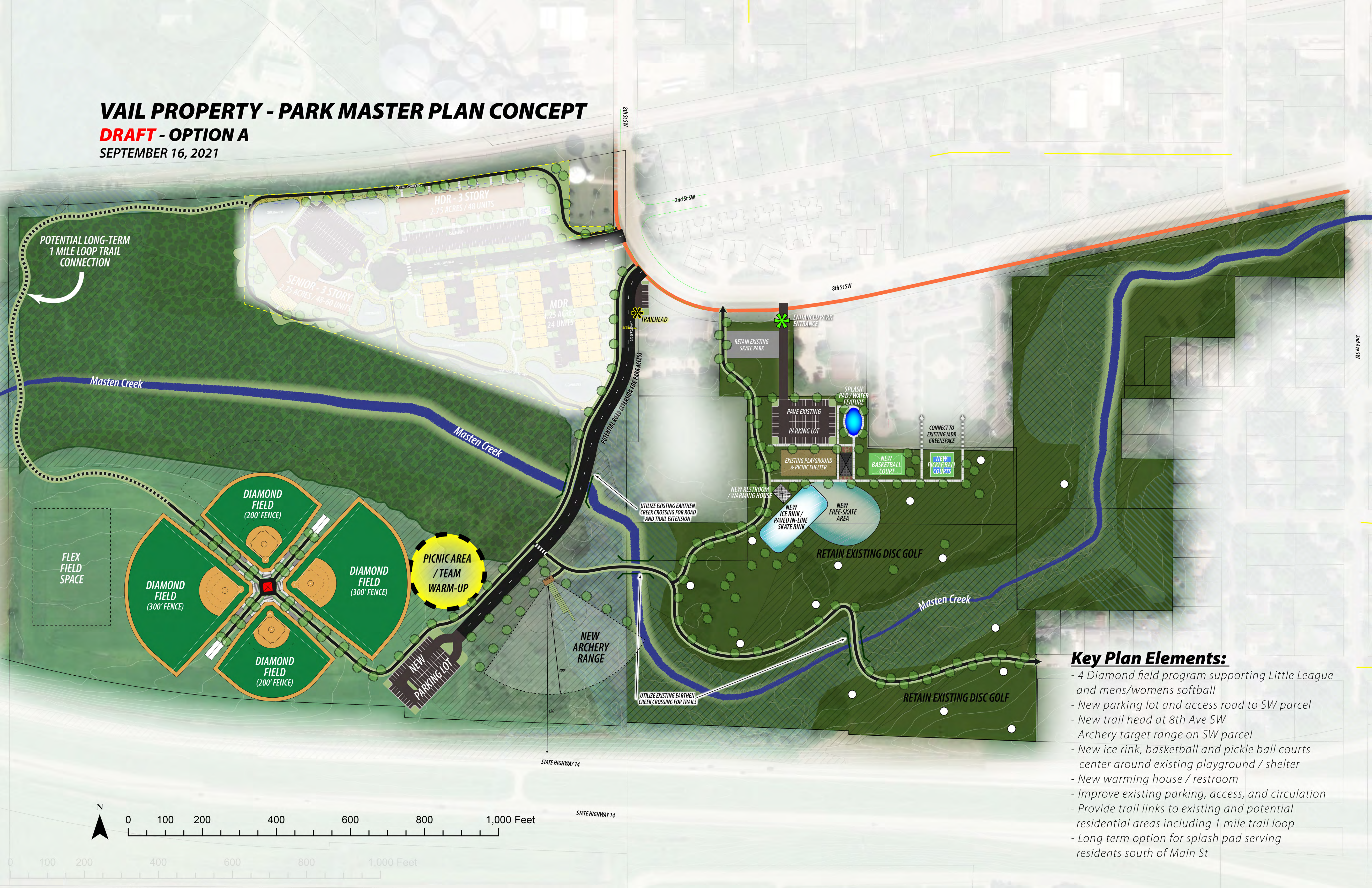




# VAIL PROPERTY - PARK MASTER PLAN CONCEPT

**DRAFT - OPTION A**

SEPTEMBER 16, 2021



## Key Plan Elements:

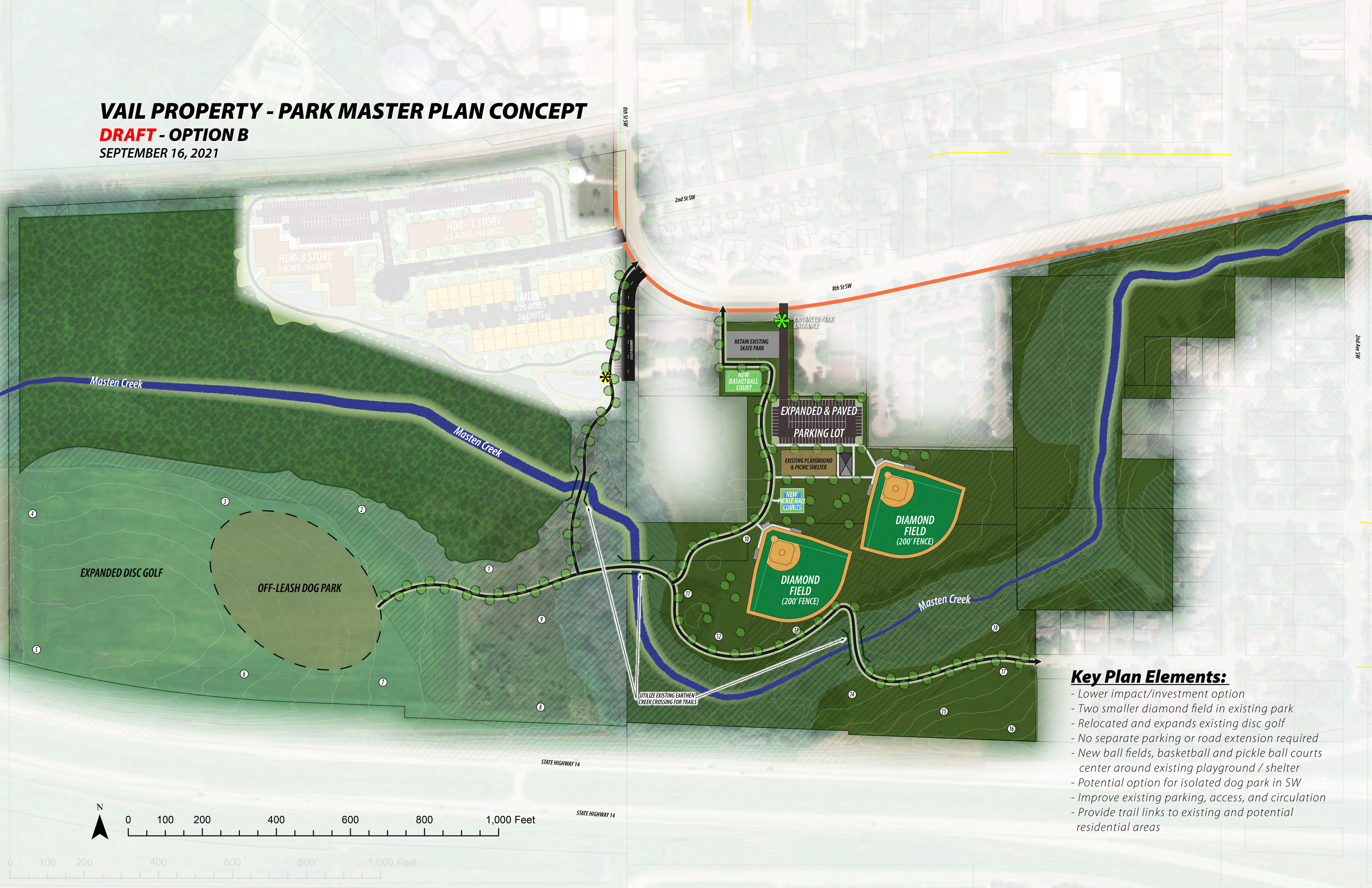
- 4 Diamond field program supporting Little League and mens/womens softball
- New parking lot and access road to SW parcel
- New trail head at 8th Ave SW
- Archery target range on SW parcel
- New ice rink, basketball and pickle ball courts center around existing playground / shelter
- New warming house / restroom
- Improve existing parking, access, and circulation
- Provide trail links to existing and potential residential areas including 1 mile trail loop
- Long term option for splash pad serving residents south of Main St



# VAIL PROPERTY - PARK MASTER PLAN CONCEPT

**DRAFT - OPTION B**

SEPTEMBER 16, 2021



## Key Plan Elements:

- Lower impact/investment option
- Two smaller diamond field in existing park
- Relocated and expands existing disc golf
- No separate parking or road extension required
- New ball fields, basketball and pickle ball courts center around existing playground / shelter
- Potential option for isolated dog park in SW
- Improve existing parking, access, and circulation
- Provide trail links to existing and potential residential areas



- If this is being developed with a single developer there may be a good reason to leave the roadway as private and possibly the roadway is incorporated into the parking area.
- City should consider if the MDR has any financial incentives as it is currently being developed in town without any incentives. This could still be on the map and decided at a later date.
- Discuss any possible park improvement funding with City.
- What is the plan for the usable land on the other side of the creek? I think getting a road and utilities out there will be difficult for development. Prairie trails? additional frisbee golf? rent farm land? ball fields? solar??
- Water and Sewer extension will be a simple extension from the existing utilities on CSAH 34

# CONCEPT

this is a city parcel that could be included in the project. (dog park?)(trail head?)

Ave not St

future trail to sunset trail

we may have to combine these driveways but ok for now

existing trail

CSAH 34

this is a city parcel that could be included in the project (trail head here?? this will be a better location for visibility)

there was talk about developing this parcel but it is limited with the floodplain

8th St SW

TRAILHEAD

to lions park

rail road

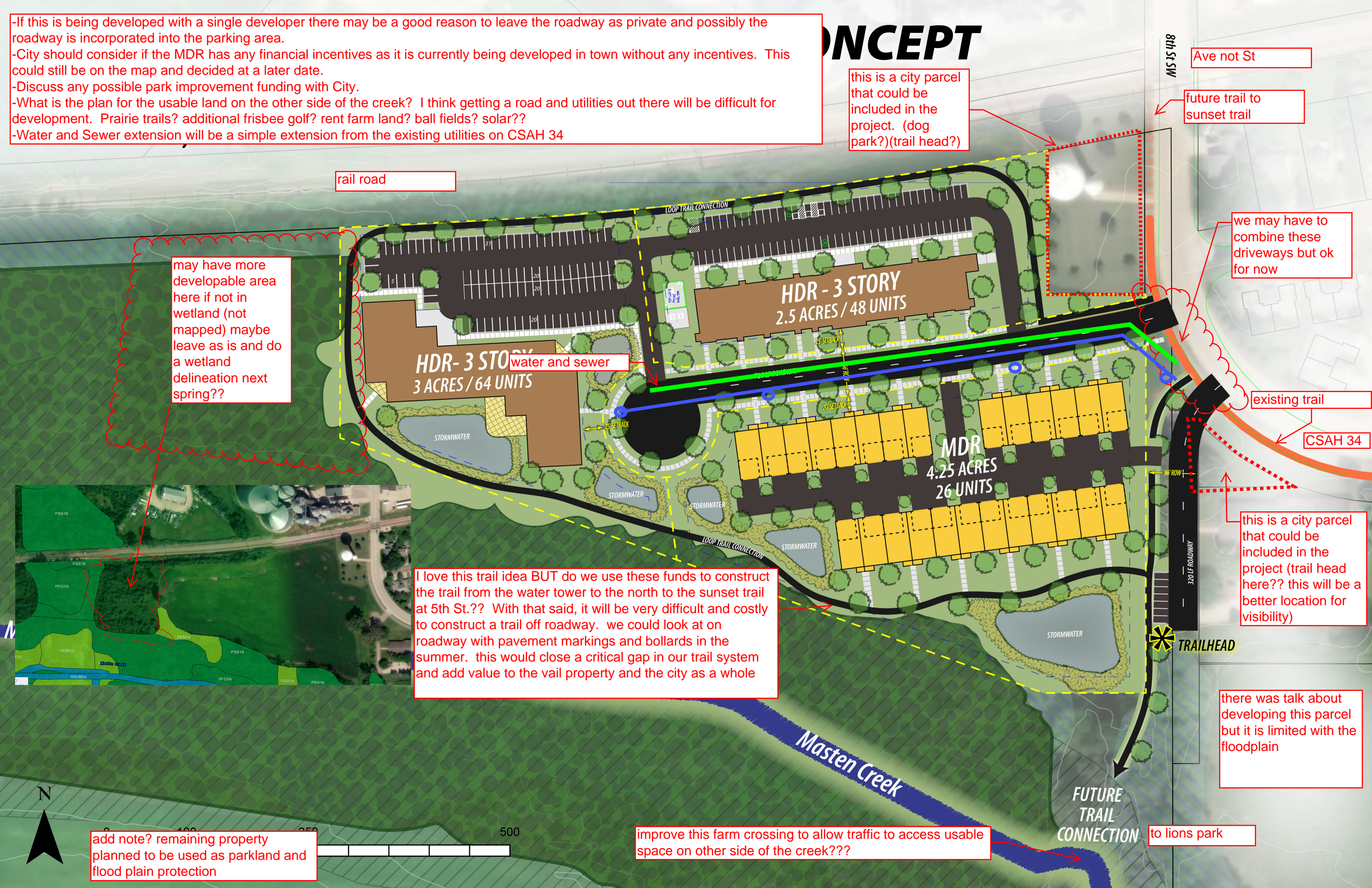
may have more developable area here if not in wetland (not mapped) maybe leave as is and do a wetland delineation next spring??

water and sewer

I love this trail idea BUT do we use these funds to construct the trail from the water tower to the north to the sunset trail at 5th St.?? With that said, it will be very difficult and costly to construct a trail off roadway. we could look at on roadway with pavement markings and bollards in the summer. this would close a critical gap in our trail system and add value to the vail property and the city as a whole

add note? remaining property planned to be used as parkland and flood plain protection

improve this farm crossing to allow traffic to access usable space on other side of the creek???





# DUE NORTH COFFEE - PRICING SET

## OWNER

NAME: SCOTT PULHAM  
PHONE: (801) 390-6344

## ARCHITECT

ARMON ARCHITECTURE, INC.  
CONTACT: PAUL ARMON, AIA  
11 4TH STREET SW  
ROCHESTER, MN 55902  
(507) 261-6140

DRAWING INDEX	
ARCHITECTURAL	
SHEET NO.	SHEET NAME
A001	TITLE SHEET
A201	FLOOR PLAN, ROOM FINISH SCHEDULE, & DOOR SCHEDULE
A301	REFLECTED CEILING PLAN & ROOF PLAN
A401	EXTERIOR ELEVATIONS & BUILDING SECTIONS
A402	INTERIOR ELEVATIONS



01 3D IMAGE  
SCALE: NOT TO SCALE



Commercial • Residential • Code Consulting  
11 FOURTH STREET SW Rochester, MN 55902  
Phone: 507.289.6063

I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

SIGNATURE  
PRINTED NAME  
NUMBER DATE

PRELIMINARY  
NOT FOR REGULATORY APPROVAL,  
PERMITTING, OR CONSTRUCTION

## DUE NORTH COFFEE - PRICING SET

30 September 2021  
DATE

DRAWN BY  
2021-030  
PROJECT NUMBER

SHEET TITLE  
GENERAL INFORMATION

SHEET  
A001



I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

SIGNATURE  
PRINTED NAME  
NUMBER DATE

PRELIMINARY  
NOT FOR REGULATORY APPROVAL, PERMITTING, OR CONSTRUCTION

DUE NORTH COFFEE - PRICING SET

30 September 2021  
DATE

DRAWN BY  
2021-030  
PROJECT NUMBER

SHEET TITLE  
FLOOR PLAN, ROOM  
FINISH SCHEDULE, &  
DOOR SCHEDULE  
SHEET

A201

FLOOR PLAN KEYED NOTES

- F1. SOLID SURFACE COUNTER ON BRACKETS. TOP TO BE 38" A.F.F., COLOR TO BE SELECTED BY OWNER.
- F2. STAINLESS STEEL TABLE, BY OWNER.
- F3. PLUMBING FIXTURE TO BE SELECTED BY PLUMBER.
- F4. POINT OF SALE, BY OWNER.
- F5. FURNITURE, BY OWNER.
- F6. POURED CONCRETE PATIO, BROOM FINISH.

DOOR SCHEDULE						
DOOR NO.	OPENING SIZE		THICKNESS	DOOR TYPE	FRAME TYPE	HARDWARE SET
	WIDTH	HEIGHT				
100	3'-0"	7'-0"	1-3/4"	A	1	01
102	3'-0"	7'-0"	1-3/4"	B	2	02

GENERAL DOOR & HARDWARE NOTES

- PROVIDE TEMPERED OR SAFETY GLAZING WHEN REQUIRED BY CODE OR AUTHORITY HAVING JURISDICTION.
- INSTALL DOORS AND FRAMES FOLLOWING DOOR INDUSTRY STANDARDS AND BUILDING STANDARDS. COORDINATE WITH OWNER AS REQUIRED.
- VERIFY DOOR AND FRAME FINISHES WITH OWNER.
- VERIFY HARDWARE STYLE, TYPE, AND FINISH WITH OWNER UNLESS NOTED OTHERWISE.
- CLOSER ADJUSTMENTS SHALL MEET MINNESOTA ACCESSIBILITY REQUIREMENTS. CLOSER SHALL BE ADJUSTED TO CLOSE FROM AN OPEN POSITION OF 70 DEGREES TO A POINT 3 INCHES FROM THE LATCH IN A MAXIMUM OF 3 SECONDS. MAXIMUM FORCE REQUIRED TO OPERATE THE DOOR SHALL NOT EXCEED 5 POUNDS OF FORCE.
- COORDINATE KEYING OF LOCK SETS WITH OWNER.
- ALL DOOR SHALL HAVE SILENCERS. PROVIDE SEALS IN LIEU OF SILENCERS AT FIRE RATED AND/OR SOUND RATED CONDITIONS.

DOOR HARDWARE

- 01 DOOR SHALL INCLUDE:
- ENTRY LATCH WITH LEVER HANDLE
  - HINGES (1-1/2 PAIR)
  - CLOSER WITH STOP
  - THRESHOLD
  - WEATHERSTRIPPING
  - DOOR SHOE
  - RAIN DRIP
- 02 DOOR SHALL INCLUDE:
- PRIVACY LATCH WITH LEVER HANDLE
  - HINGES (1-1/2 PAIR)
  - WALL STOP
  - SILENCERS

EQUIPMENT SCHEDULE

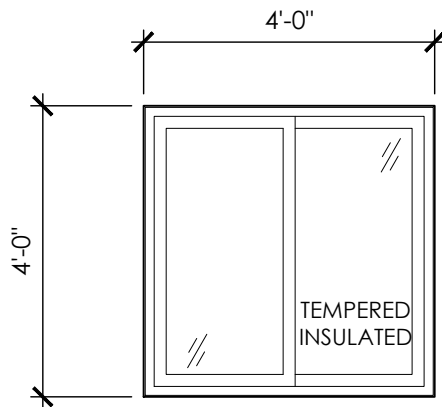
NO.	EQUIPMENT	QTY.	MANUFACTURER	MODEL NUMBER
1	ESPRESSO MACHINE	2	FRANKE	S700
2	UNDER COUNTER REFRIGERATOR	2	TURBO AIR	EUR-36-N6
3	UNDER COUNTER ICE MACHINE	2	AVANTCO	194UC280HA
4	3 COMPARTMENT SINK	1	SELECTED BY PLUMBER	-
5	MINI DONUT OVEN	1	STATE FAIR MINI DONUTS	-
6	NITRO & COLD BREW COFFEE KEGERATOR	1	KEG OUTLET	KC-NSF-2-NC
7	DRIP SERVE	1	CURTIS	G4GEMT10A1000
8	TEA BREWER	1	CURTIS	TB
9	MOP SINK	1	SELECTED BY PLUMBER	-
10	HAND SINK	2	SELECTED BY PLUMBER	-
11	REACH-IN REFRIGERATOR	1	AVANTCO	178A49RHC
12	PITCHER RINSER	1	BARISTA BASICS	--
13	COUNTERTOP CONVECTION OVEN (FUTURE)	1	TURBOCHEF	ECO-9500-1

ROOM FINISH SCHEDULE

ROOM NO.	ROOM NAME	FLOOR	CEILING	WALL BASE	WALLS
100	ENTRY	EPOXY FLOOR	MYLAR ACT	WHITE FRP	WHITE FRP
101	KITCHEN	EPOXY FLOOR	WHITE FRP	WHITE FRP	WHITE FRP
102	RESTROOM	EPOXY FLOOR	MYLAR ACT	WHITE FRP	WHITE FRP
103	OUTDOOR SEATING	BROOM FINISH CONCRETE	--	--	--

FRAME TYPES

SCALE: 3/8" = 1'-0"



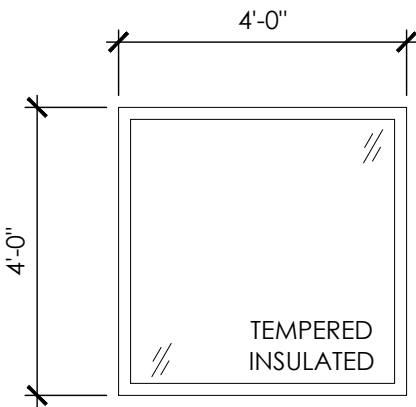
A  
ALUMINUM  
DARK BRONZE  
ANODIZED

WINDOW TYPES

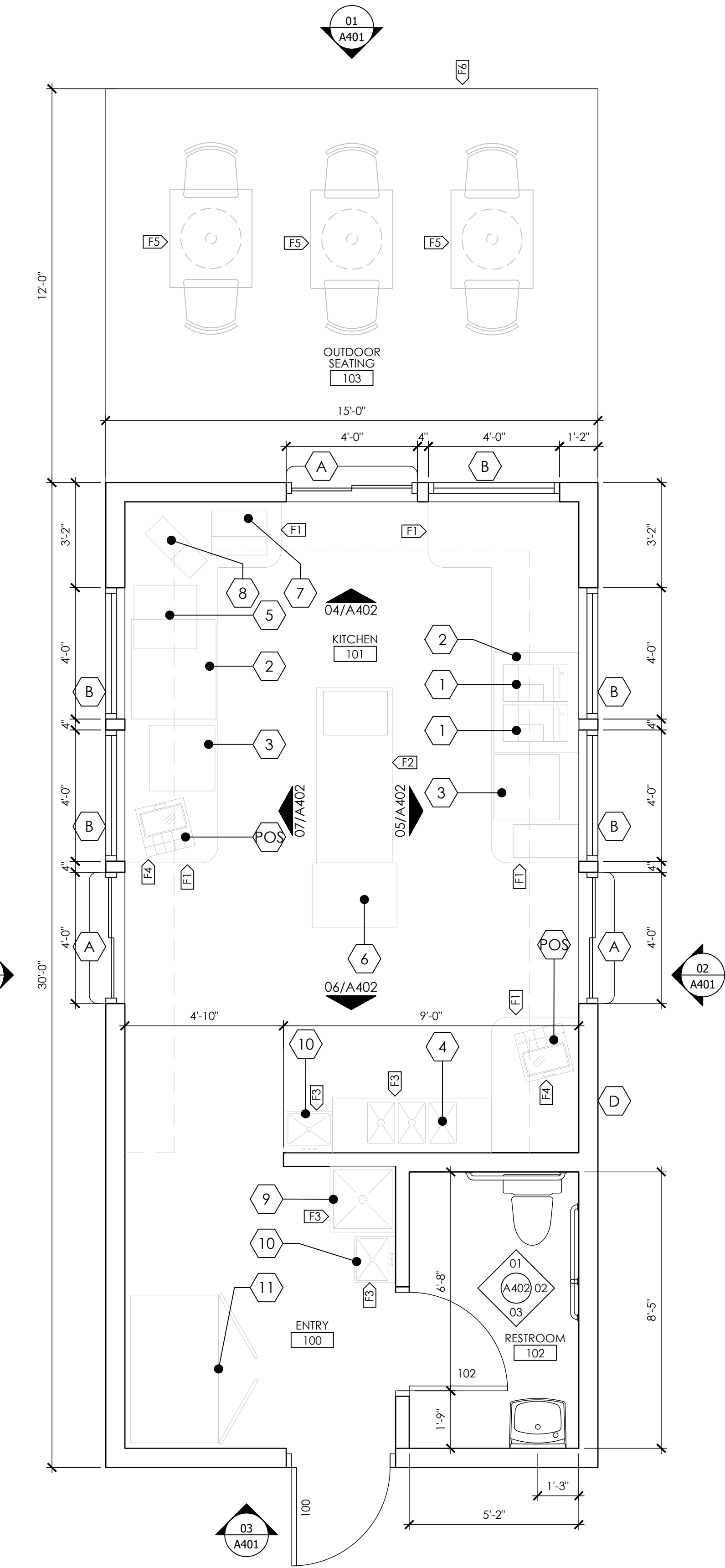
SCALE: 3/8" = 1'-0"

DOOR TYPES

SCALE: 3/8" = 1'-0"



B  
ALUMINUM  
DARK BRONZE  
ANODIZED



01 FLOOR PLAN  
SCALE: 3/8" = 1'-0"



I HEREBY CERTIFY THAT THIS PLAN, SPECIFICATION, OR REPORT WAS PREPARED BY ME OR UNDER MY DIRECT SUPERVISION AND THAT I AM A DULY LICENSED ARCHITECT UNDER THE LAWS OF THE STATE OF MINNESOTA.

SIGNATURE

PRINTED NAME

NUMBER

DATE

PRELIMINARY  
NOT FOR REGULATORY APPROVAL,  
PERMITTING, OR CONSTRUCTION

DUE NORTH COFFEE - PRICING SET

30 September 2021  
DATE

DRAWN BY

2021-030  
PROJECT NUMBER

SHEET TITLE

REFLECTED CEILING PLAN  
& ROOF PLAN

SHEET

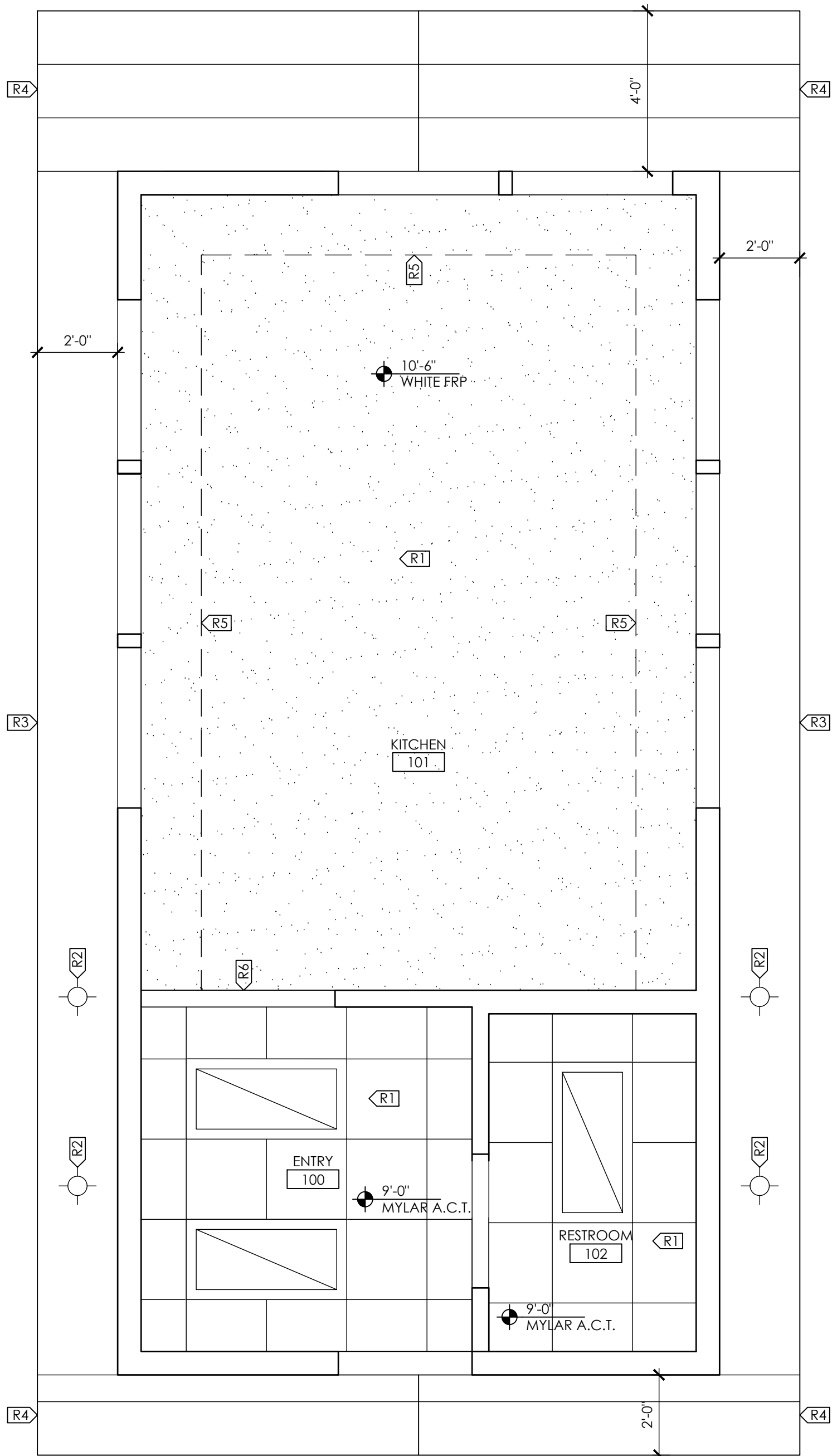
A301

RCP KEYED NOTES

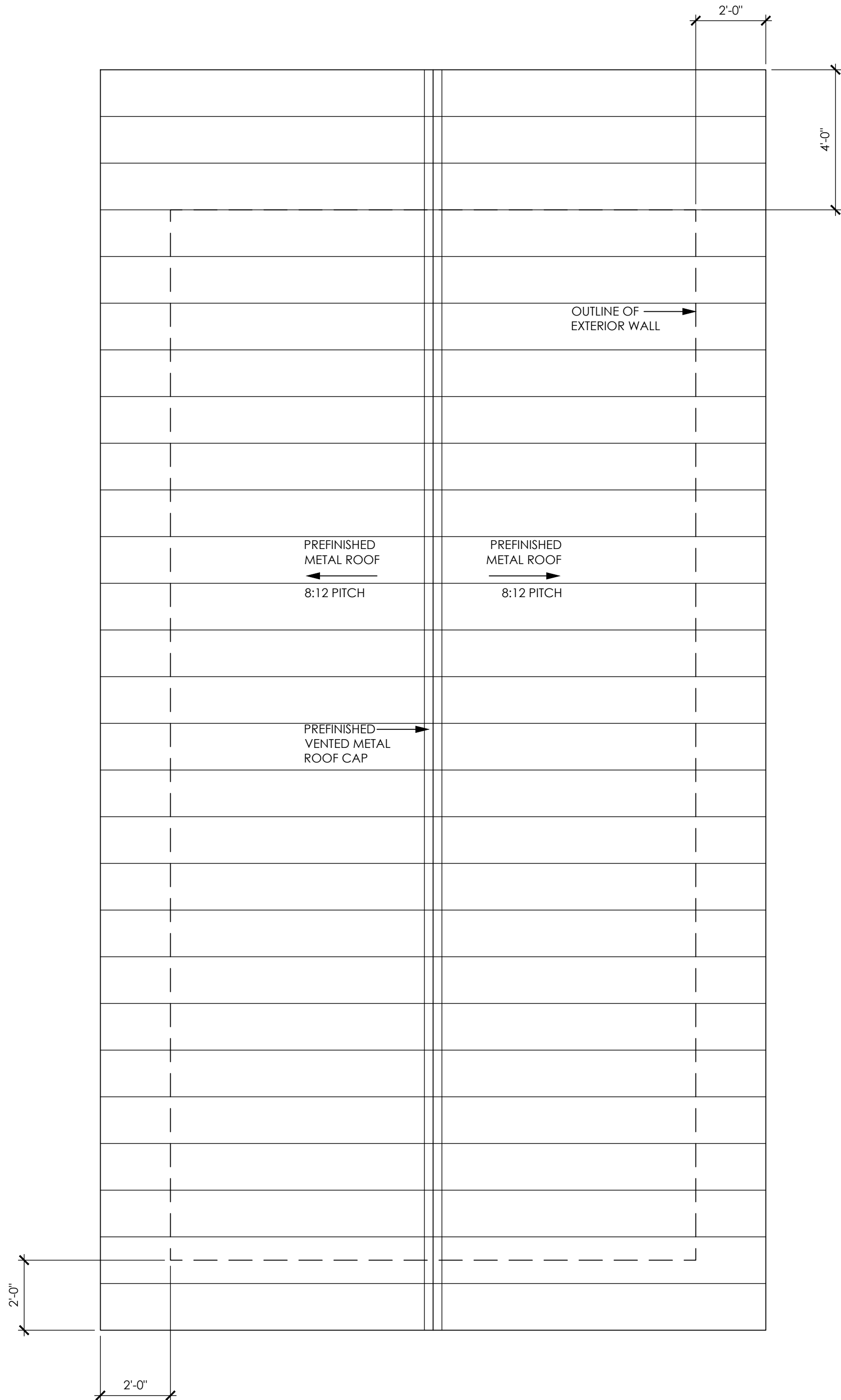
- R1. COORDINATE LIGHTING AND DIFFUSER LAYOUT WITH ELECTRICAL AND MECHANICAL CONTRACTORS.
- R2. EXTERIOR CAN LIGHT FIXTURE.
- R3. PREFINISHED ALUMINUM VENTED SOFFIT.
- R4. PREFINISHED SLOPED METAL SOFFIT AT 8:12 PITCH.
- R5. OUTLINE OF UPPER SHELVES.
- R6. BULKHEAD @ 8' - 6" A.F.F. WITH WHITE FRP FINISH.

REFLECTED CEILING PLAN LEGEND

- 2x4 RECESSED FLUORESCENT LIGHTING FIXTURE
- RECESSED LIGHTING FIXTURE
- CEILING HEIGHT (A.F.F.)
- CEILING FINISH



01 REFLECTED CEILING PLAN  
SCALE: 3/8" = 1'-0"



02 ROOF PLAN  
SCALE: 3/8" = 1'-0"





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SPECIFICATION, OR REPORT WAS  
PREPARED BY ME OR UNDER MY  
DIRECT SUPERVISION AND THAT I AM A  
DULY LICENSED ARCHITECT UNDER THE  
LAWS OF THE STATE OF MINNESOTA.

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PRINTED NAME  
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PERMITTING, OR CONSTRUCTION

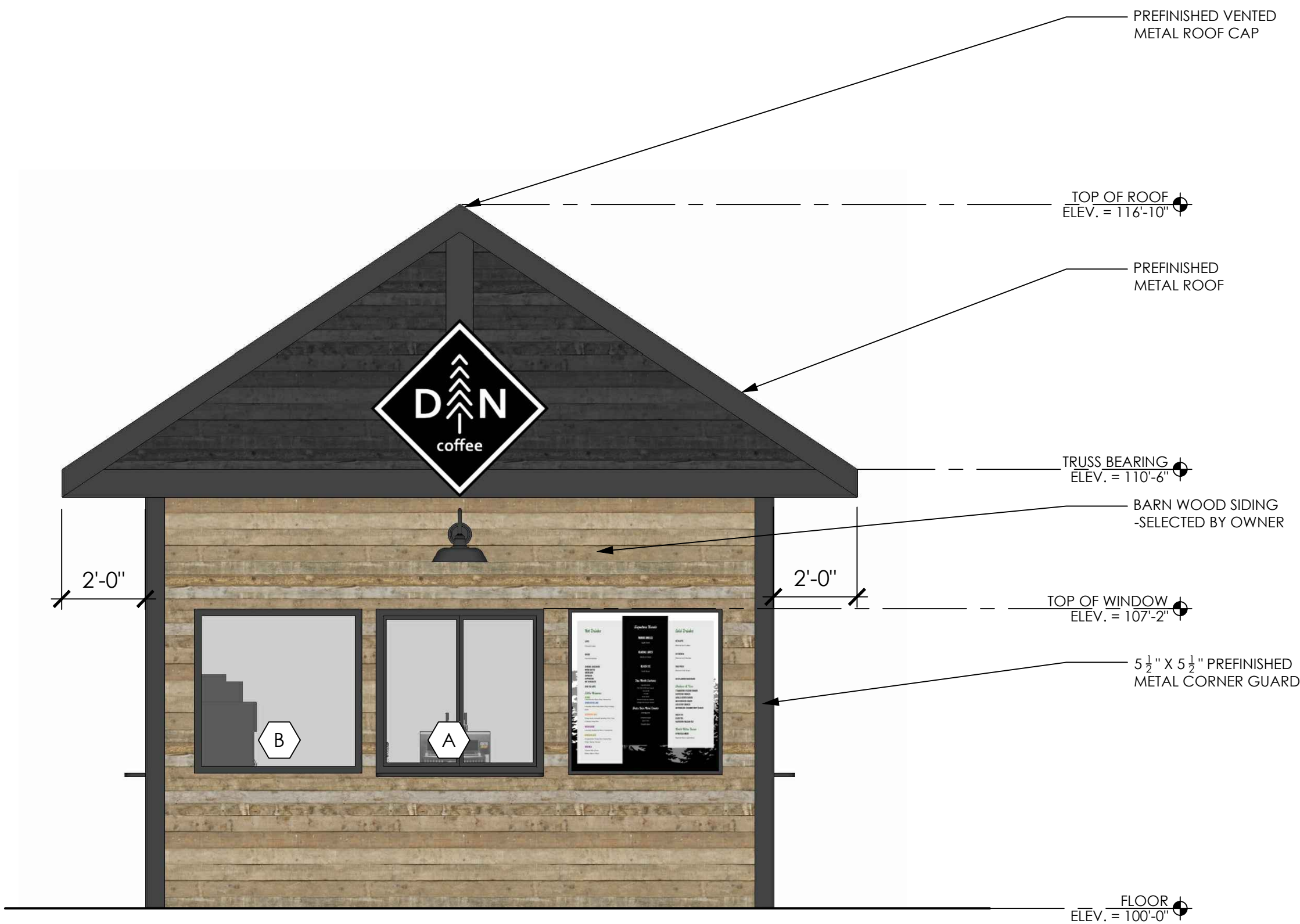
DUE NORTH COFFEE - PRICING SET

30 September 2021  
DATE

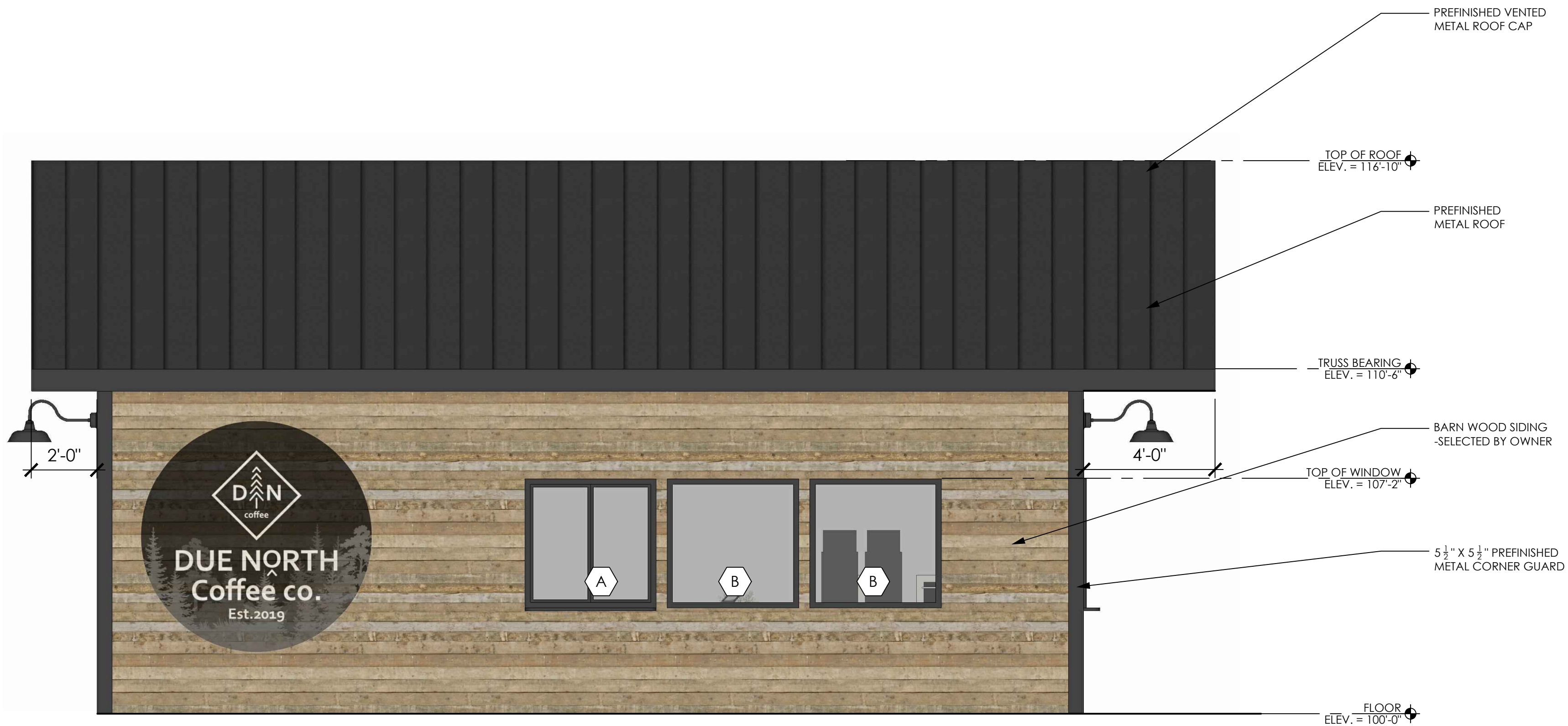
DRAWN BY  
2021-030  
PROJECT NUMBER

SHEET TITLE  
EXTERIOR ELEVATIONS

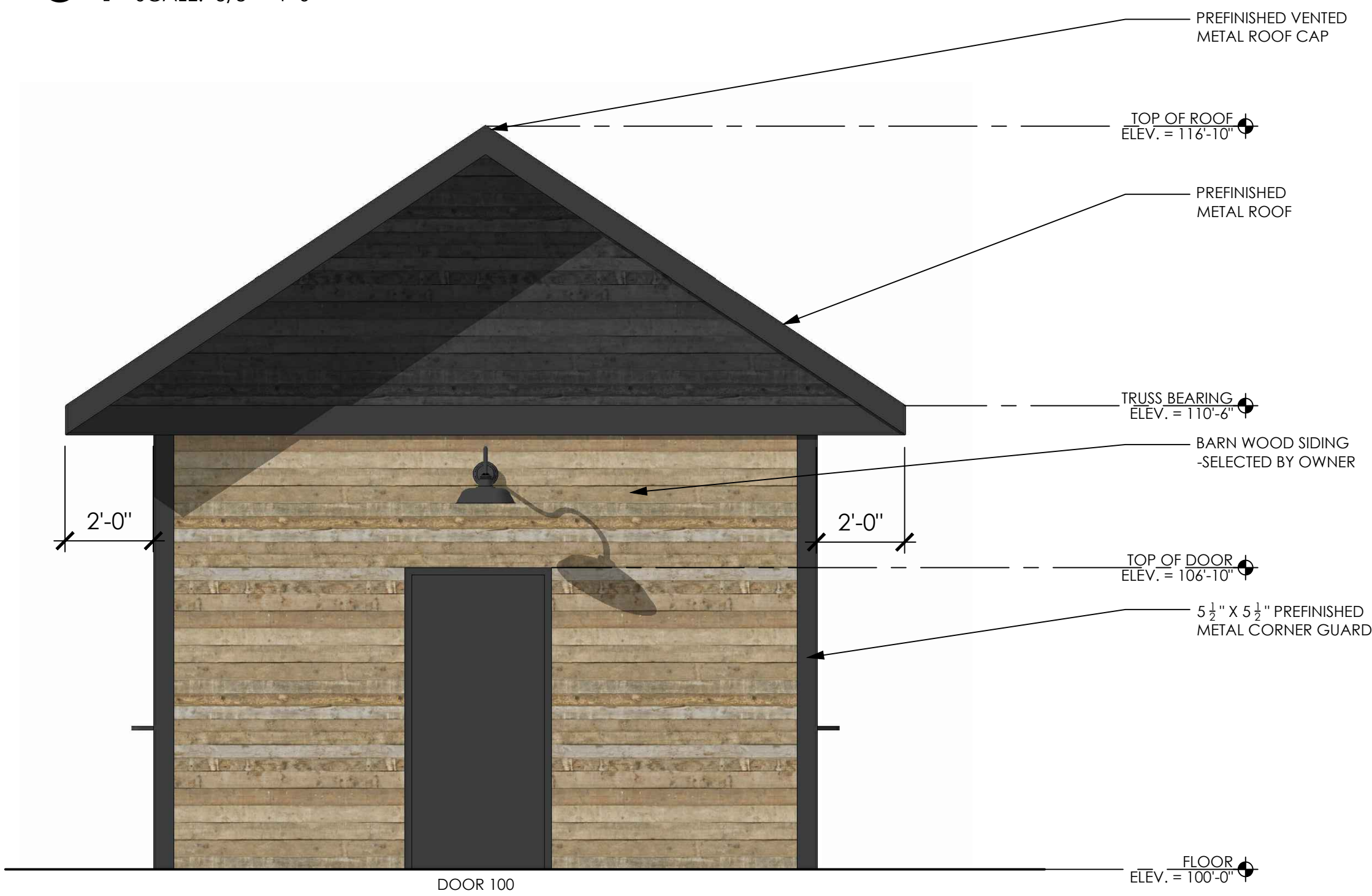
SHEET  
A401



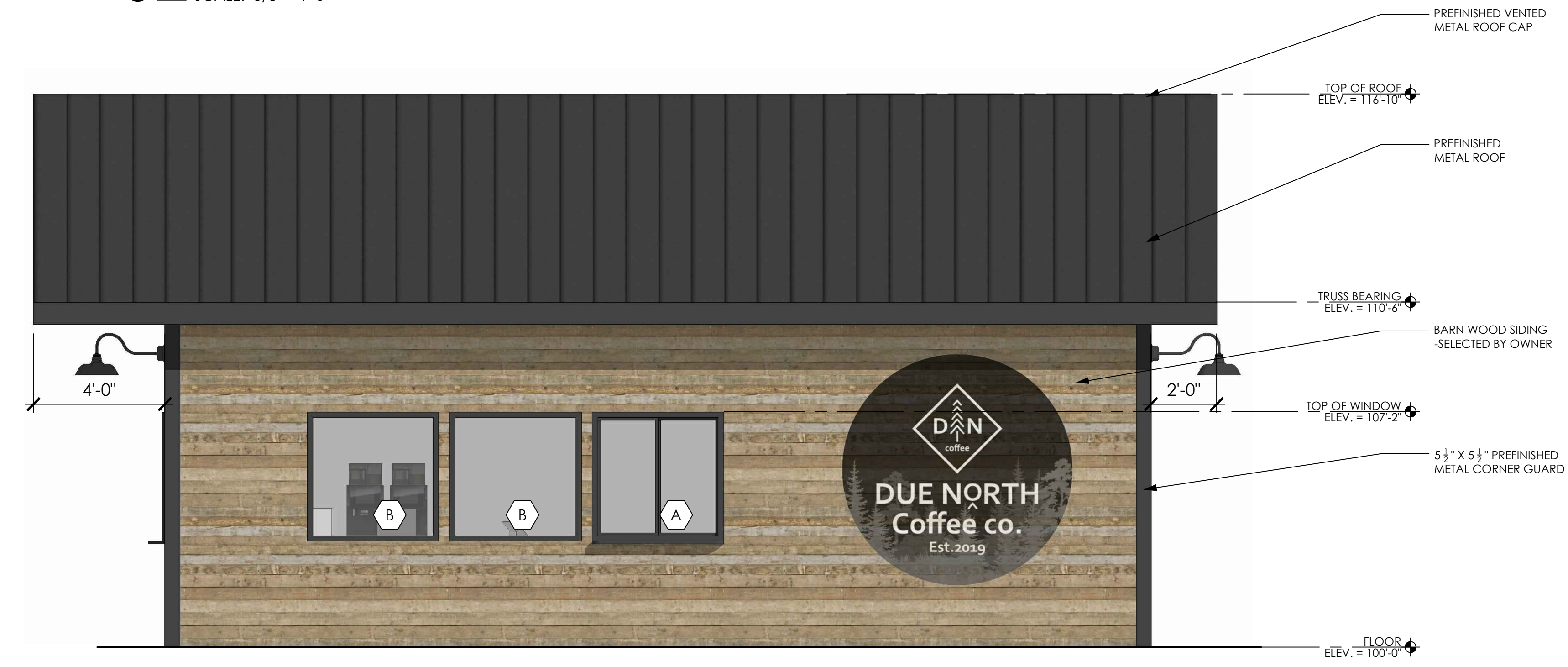
01 NORTH EXTERIOR ELEVATION  
SCALE: 3/8" = 1'-0"



02 EAST EXTERIOR ELEVATION  
SCALE: 3/8" = 1'-0"



03 SOUTH EXTERIOR ELEVATION  
SCALE: 3/8" = 1'-0"



04 WEST EXTERIOR ELEVATION  
SCALE: 3/8" = 1'-0"



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PERMITTING, OR CONSTRUCTION

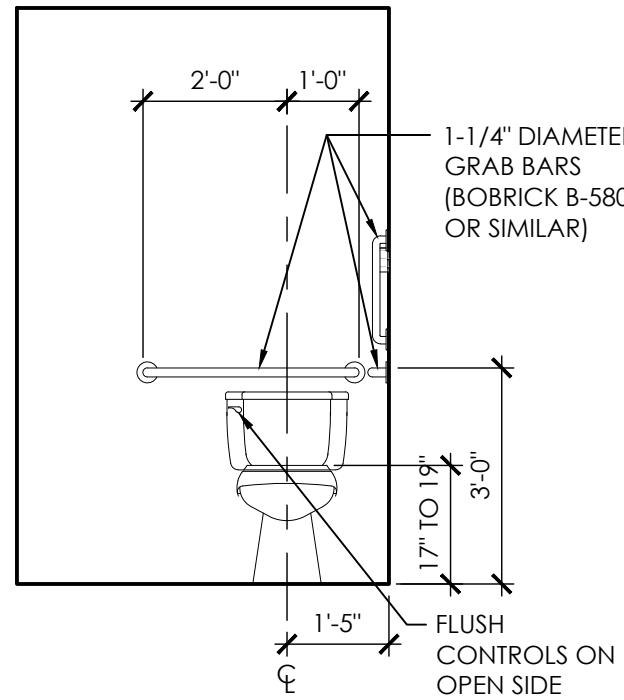
DUE NORTH COFFEE - PRICING SET

30 September 2021  
DATE

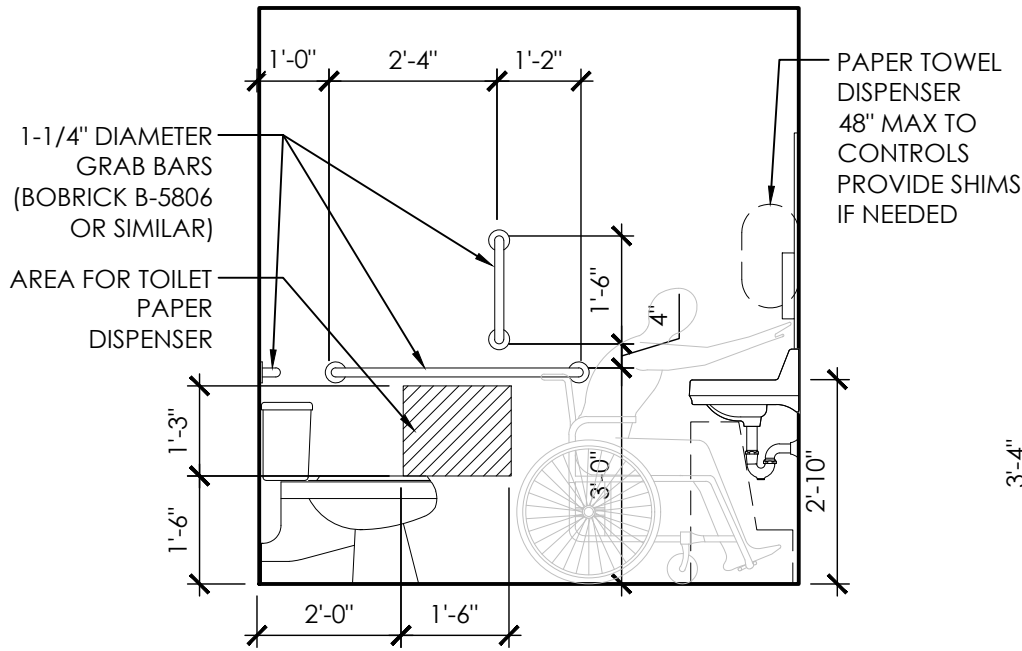
DRAWN BY  
2021-030  
PROJECT NUMBER

SHEET TITLE  
INTERIOR ELEVATIONS

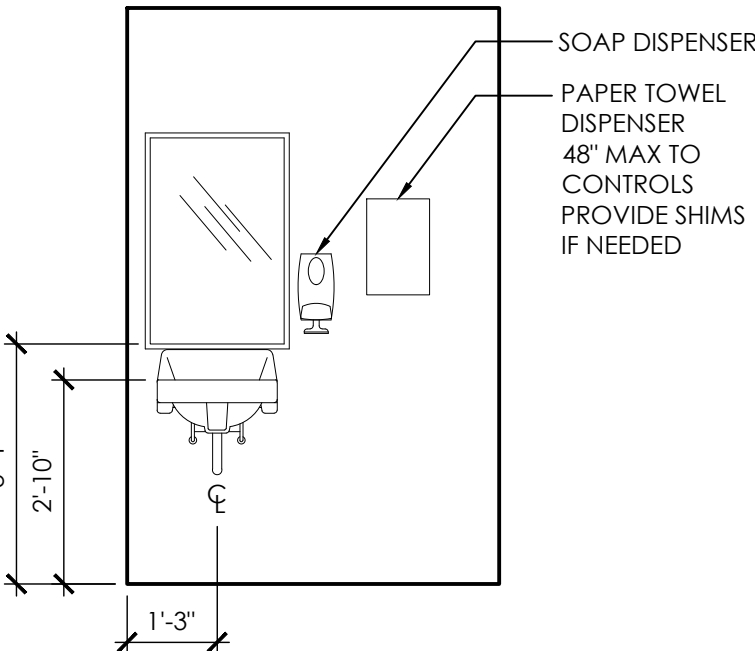
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A402



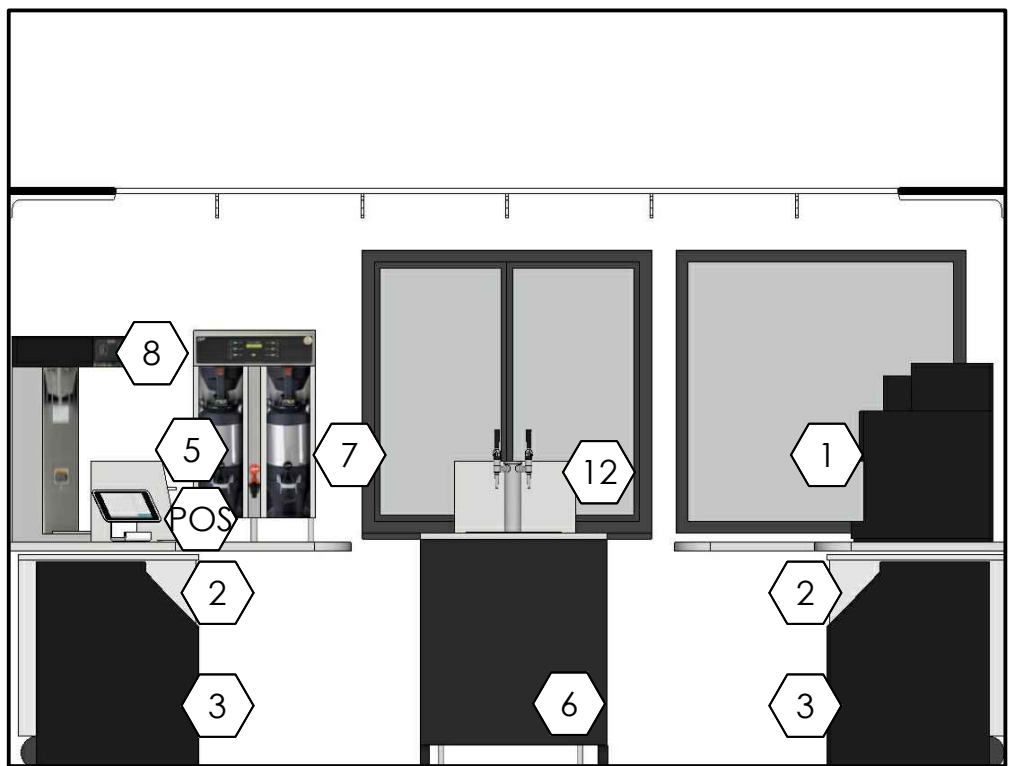
01 ELEVATION  
SCALE: 3/8" = 1'-0"



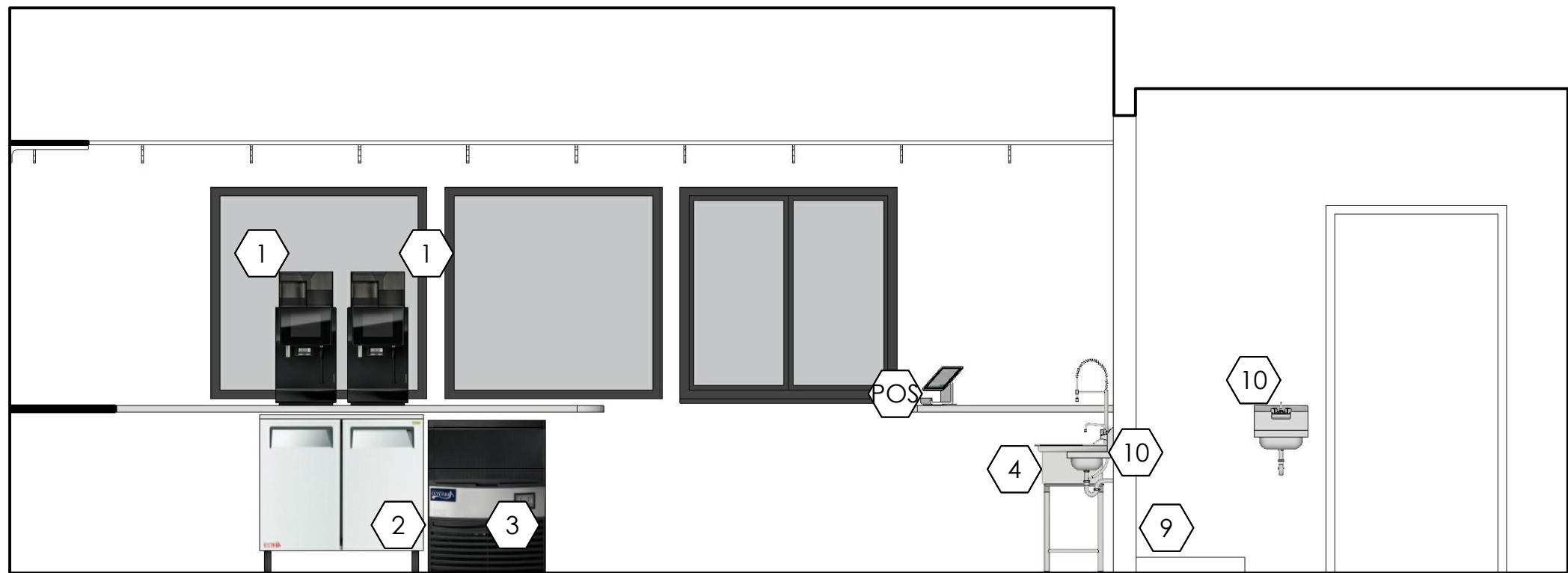
02 ELEVATION  
SCALE: 3/8" = 1'-0"



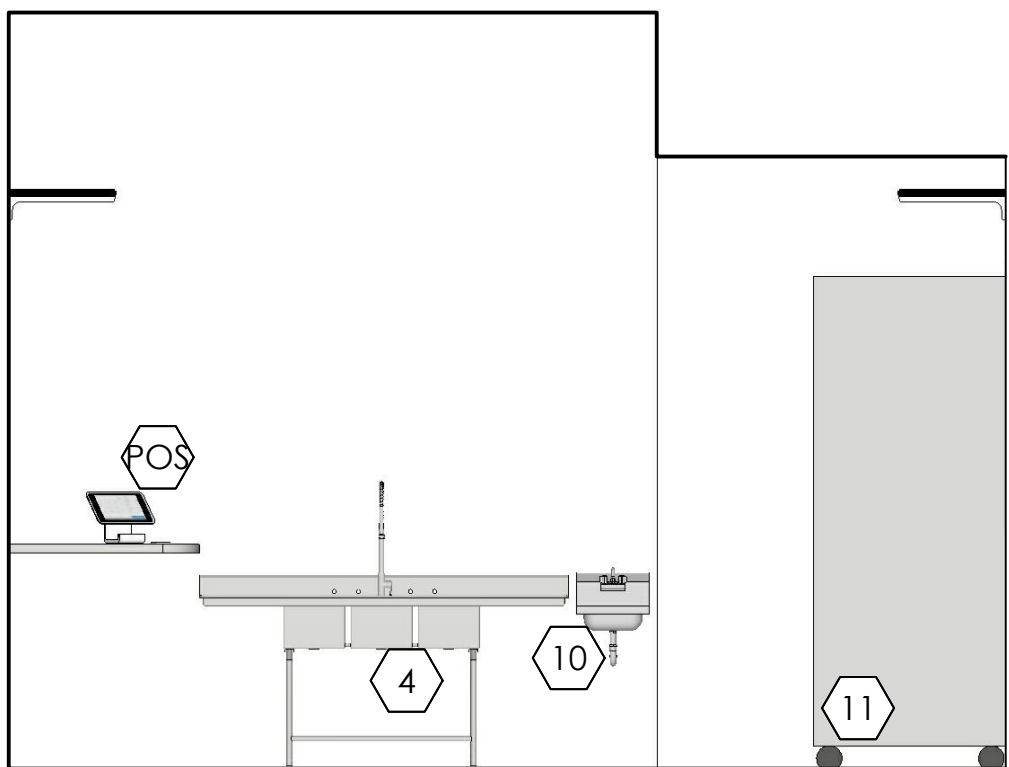
03 ELEVATION  
SCALE: 3/8" = 1'-0"



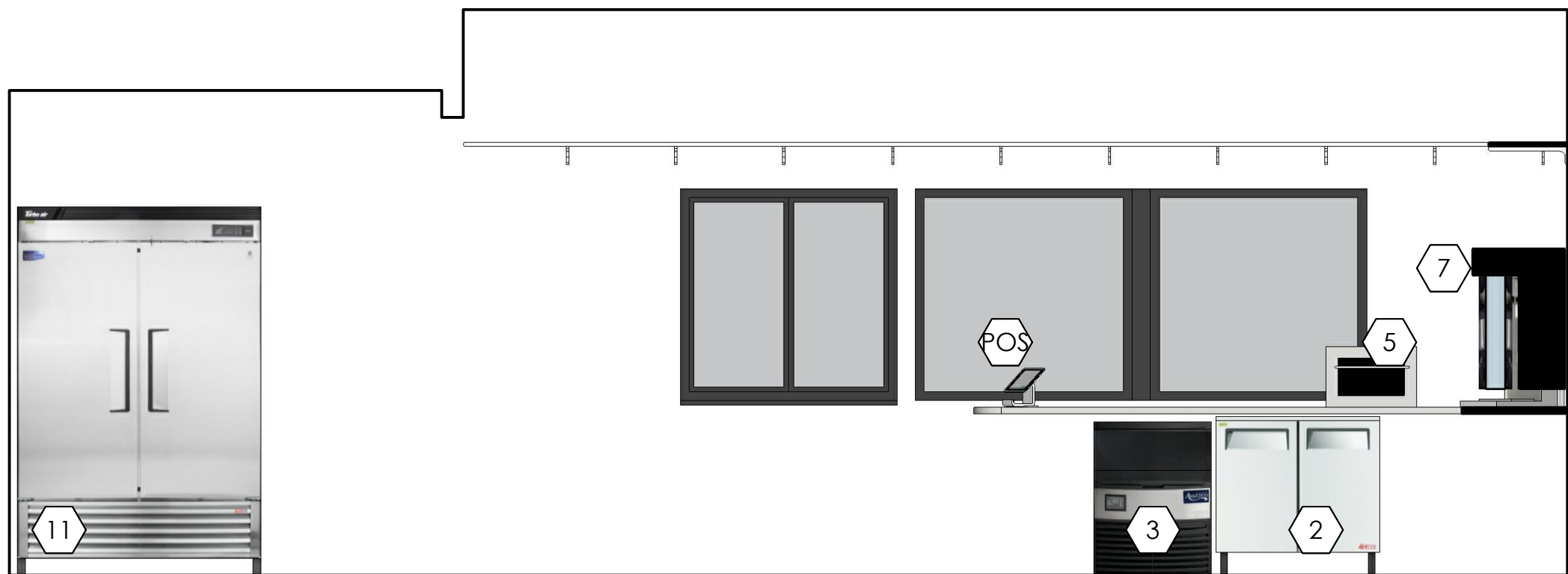
04 INTERIOR ELEVATION  
SCALE: 3/8" = 1'-0"



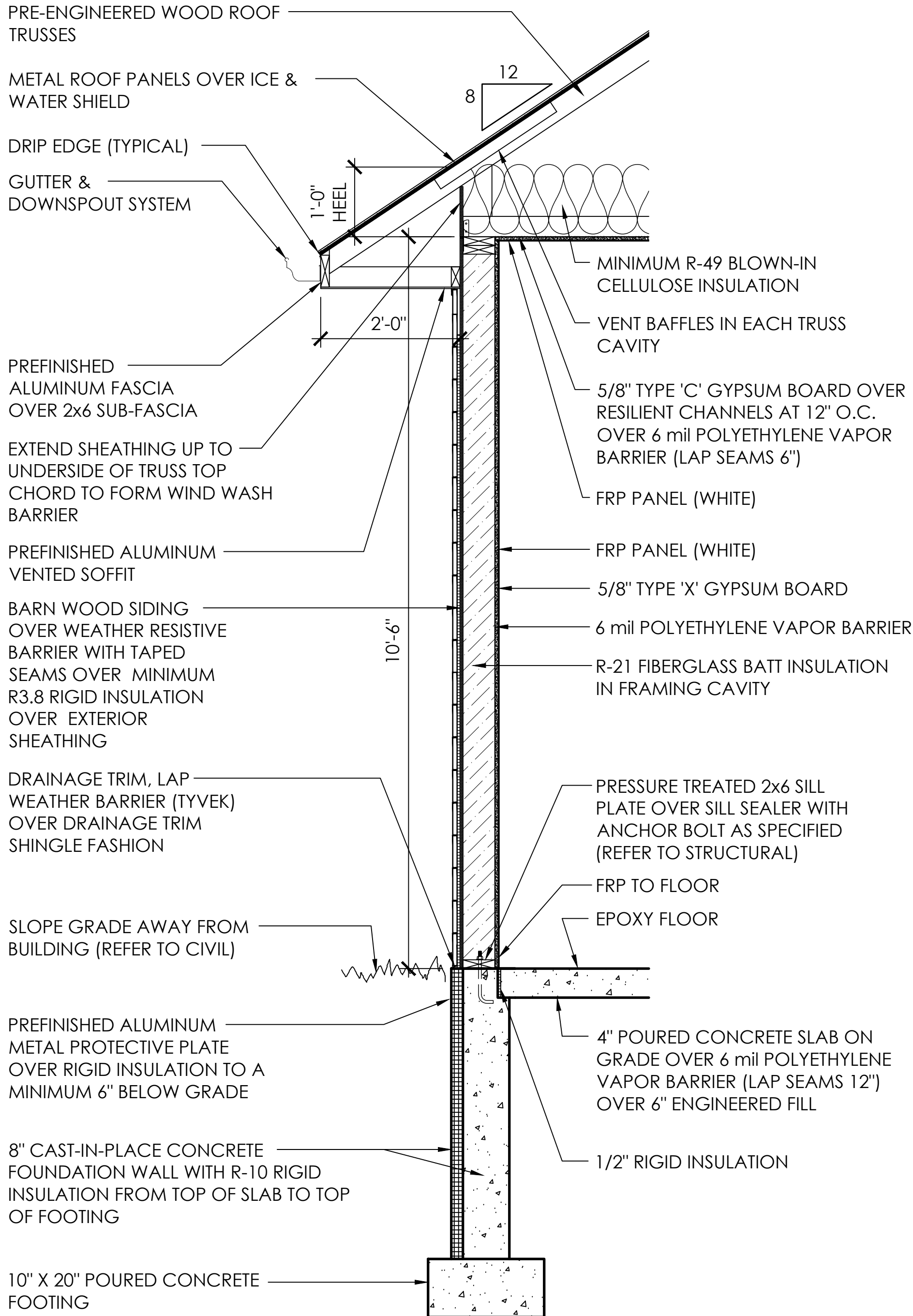
05 INTERIOR ELEVATION  
SCALE: 3/8" = 1'-0"



06 INTERIOR ELEVATION  
SCALE: 3/8" = 1'-0"



07 INTERIOR ELEVATION  
SCALE: 3/8" = 1'-0"



08 TYPICAL WALL SECTION  
SCALE: 3/4" = 1'-0"