



A G E N D A

CITY OF LAKEPORT

PLANNING COMMISSION

Wednesday, April 8, 2020

PUBLIC ADVISORY: THE CITY COUNCIL CHAMBERS WILL NOT BE OPEN TO THE PUBLIC

Pursuant to Section 3 of Executive Order N-29-20, issued by Governor Newsom on March 17, 2020, the regular meeting of the Planning Commission for April 8, 2020 will be conducted telephonically through Go to Webinar. Please be advised that pursuant to the Executive Order, and to ensure the health and safety of the public by limiting human contact that could spread the COVID-19 virus, the Council Chambers will not be open for the meeting. Planning Commissioners will be participating telephonically and will not be physically present in the Council Chambers.

If you would like to speak on an agenda item, you can access the meeting remotely:

Join from a PC, Mac, iPad, iPhone, or Android device:

Please use this web link: <https://attendee.gotowebinar.com/register/7414650526216099851>

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If you prefer to use your phone, you must select "Use Telephone" after joining the webinar and call in using the numbers below.

United States (Toll-free): 1 (866) 952-8437

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Access Code: 807-348-828

Audio PIN: Shown after joining the webinar

*Please note that if you phone in without using the web link, you will be in "listen mode" only, and will not be able to participate or comment.

The City wants you to know that you can also submit your comments by email to virtualhost@cityoflakeport.com.

To give the City Clerk adequate time to print out your comments for consideration at the meeting, please submit your written comments prior to 4:30 p.m.

Please indicate in the email Subject Line "FOR PUBLIC COMMENT" and list the item number you wish to comment on.

Comments that you want read to the Council will be subject to the three minute time limitation (approximately 350 words). Written comments that are only to be provided to Council and not read at the meeting will be distributed to the Council prior to the meeting.

The City of Lakeport thanks you in advance for taking all precautions to prevent spreading the COVID-19 virus.



A G E N D A

CITY OF LAKEPORT

PLANNING COMMISSION

REGULAR MEETING: Wednesday, April 8, 2020 5:30 P.M.
City Hall Council Chambers, 225 Park Street

- I. CALL MEETING TO ORDER: 5:30 p.m.**
- II. ROLL CALL:**
- III. ACCEPTANCE OF AGENDA:** **Urgency Items:** To add an item, the Commission is required to make a majority decision that an urgency exists (as defined in the Brown Act) and a two-thirds determination that the need to take action arose subsequent to the Agenda being posted.
- Move to accept the agenda as posted or move to add or delete items.
- IV. COMMUNICATIONS:**
- A. Public Input:** Any person may speak for three minutes about any subject within the authority of the Planning Commission, provided that the subject is not already on tonight's agenda. Persons wishing to address the Planning Commission are required to complete a Citizen's Input form and submit it to the Community Development Director prior to the meeting being called to order. While not required, please state your name and address for the record.
- V. CONSENT CALENDAR:**
- The following Consent Agenda items are expected to be routine and non-controversial. They will be acted upon by the Commission at one time without any discussion. Any Planning Commissioner may request that any item be removed from the Consent Agenda for discussion under the Regular Agenda.
- A. Minutes:** Approval of the completed minutes from the Regular Planning Commission meeting of February 12, 2020.
- VI. REGULAR CALENDAR:**
- A. Lakeport Police Department – GPC 20-01 & CE 20-03** General Plan of Conformity Report for the construction of an 8-foot chain link fence surrounding a parking lot on the south side of the building for the City of Lakeport Police Department at 2025 South Main Street, further described as APN 005-045-42.
- B. Gillian Gallagher – UP 20-01 & CE 20-04** Application for Use Permit for a short-term rental permit within an existing single-family dwelling located at this site. The project is located along the northern side of Eleventh Street at 990 Eleventh Street, further described as APN 026-481-04.
- C. New Hope Fellowship Church – AR 19-05 & CE 19-11** Application for an Architectural and Design Review that allows a 5,160 square foot Building located behind an existing building for the New Hope Fellowship Church at 305 Peckham Court, further described as APN 005-049-09.

VII. Correspondence

Review of the Pending Projects list.

**VIII Comments from Staff
or Commissioners:**

IV. SCHEDULE NEXT MEETING:

Discuss and set the next meeting date (May 13, 2020).

X. ADJOURNMENT:

APPEALS:

The applicant or affected persons not satisfied with the decision of the Planning Commission may file an appeal. Affected persons include individuals who received notice of a land use application, or who attended the Planning Commission meeting and made verbal comments or submitted written comments in response to the notice. An appeal of a decision made by the Planning Commission shall be filed with the Community Development Director within five business days of the decision. Said appeal shall be filed on the prescribed form and accompanied by the fee in the amount set by Resolution of the City Council.

ACCESSIBILITY:

The City of Lakeport, in complying with the Americans with Disabilities Act (ADA), requests individuals who require special accommodations to access, attend and/or participate in the City meeting due to disability, to please contact City Clerk's Office, (707) 23-5615, 72 hours prior to the scheduled meeting to ensure reasonable accommodations are provided.



**CITY OF LAKEPORT
PLANNING COMMISSION
REGULAR MEETING
February 12, 2020
MINUTES**

CALL MEETING TO ORDER AND ROLL CALL: Chairman Froio called the meeting to order at 5:30 p.m. with Commissioners Green, Wicks, Warrenburg and Mitchell present. Also, present were Community Development Director, Kevin Ingram, Associate Planner Daniel Chance, and Administrative Specialist, Linda Sobieraj.

ACCEPTANCE OF AGENDA:

Commissioner Warrenburg made a motion to accept the agenda as posted. Seconded by Commissioner Green and unanimously carried by voice vote (5-0).

COMMUNICATIONS: Director Ingram advised there was no public input.

CONSENT AGENDA:

Commissioner Green advised on the January 16, 2020, minutes page 2, line two should have *Chance* after Associate Planner.

Chair Froio advised the need for clarification of the January 16, 2020, minutes that page 3 paragraph 9 should actually read: "*Commissioner Green suggested having maximum sign area and development standards for framing materials.*"

Chair Froio advised on the December 11, 2019, minutes that page 1 paragraph 4 should read; "*Chair Green*" not Chair Greed.

Chair Froio advised on the December 11, 2019, minutes that page 2 last sentence should read: "*Chance stated one of the changes involved large family **daycares** which will **no** longer require approval of a Use Permit through the city.*"

A motion was made by Commissioner Green, to accept the minutes as amended. Seconded by Commissioner Mitchell and unanimously carried by voice vote (5-0). (Minutes from the Regular Planning Commission meeting of December 11, 2019, and the Special Planning Commission meeting January 16, 2020.)

REGULAR AGENDA:

Planning Department & Planning Commission 2020 Goals & Work Program-

Director Ingram presented the Planning Commission with a slide presentation outlining the Planning Department and Planning Commission's 2020 Goals and Work Program and

2019/2020 accomplishments. Most critical 2020 goals include: updating Housing and Safety Elements of the General Plan, completion of the South Lakeport Annexation, and completion of the Right-of-way improvements ordinance revisions.

Commissioner Green stated he liked the look of the City Hall remodel and asked if staff had discussed the security aspect of the open counter and what the general public had to say about it. Administrative Specialist Sobieraj advise overall the public likes the way it looks and asked similar questions on security and safety. Director Ingram advised staff will eventually have added security in the way of cameras and other security measures as well.

Chair Froio advised he wouldn't mind a tour of the Bank of America building and was wondering if staff could show the Commissioners around. Director Ingram advised it could be arranged to take two Commissioners at a time for a tour.

Commissioner Green asked, would the completion of the pedestrian needs study identify the shovel ready projects so the Commission could take a look at for the next CDBG cycle? Director Ingram advised it would.

Director Ingram advised staff expected to have a draft portion of the Housing Element ready to bring before the Planning Commission withing the next couple months. Commissioner Wicks asked that staff get the information to them as early as possible to give the Commissioners plenty of time to review the document.

Chair Froio suggested implementing some type of clock or time frame to follow up on the conditions of approval for Planning projects to assure applicants comply with the conditions set forth.

Director Ingram stated, staff has already started putting specific time frames in the Project Conditions Agreements, however capturing them in a matrix where staff could keep track of them easier.

Commissioner Green stated one item he didn't see on the goals was Code Enforcement. Green advised there are several properties in the city that need cleaning up.

Commissioner Green suggested staff provide the Commission with updates on the number, type and resolution of code enforcement complaints received. Director Ingram stated was is done with the Traffic Safety Advisory board is provide a biannual report of safety issues and staff could do something similar for the Planning Commission of code enforcement complaints.

Commissioner Wicks suggested City Hall remain open on Fridays or make the closed day a Monday as most people do a lot of business on Fridays.

CORRESPONDENCE:

Chair Froio asked for consensus to change the wording on the agenda under correspondence to add "Pending Projects" next to it for clarification. Approved by consensus.

Director Ingram stated staff is going to try and get the Local Hazard Mitigation Plan added into the Safety Element of the General Plan and it should be presented to the Planning Commission in the coming months. Ingram also advised the Prop 68 Lakefront CEQA document will also be coming to the Commission around the same time.

COMMENTS FROM STAFF AND COMMISSIONERS:

Chair Green stated he noticed some properties in the city are not well maintained and in the coming projects he may ask what can we do to green up these projects.

Associate Planner Chance advised when someone submits a project with a landscaping plan, staff has to make sure it meets the state law that was implemented during the drought as those laws haven't changed.

DISCUSS AND SET THE NEXT MEETING DATE:

It was agreed by consensus that the next meeting be held on Wednesday, March 11, 2020, meeting adjourned closed 7:07 p.m.

Respectfully submitted,

KEVIN M. INGRAM

Community Development Director

These are the summary Minutes of the Planning Commission meeting. A recorded tape of the meeting is available at the Community Development Department at Lakeport City Hall, 225 Park Street, Lakeport, California for a period of 30 days after the approval of these Minutes.



CITY OF LAKEPORT COMMUNITY DEVELOPMENT DEPARTMENT STAFF REPORT

DATE: April 8, 2020

FILE NO: GPC 20-01, CE 20-03

**APPLICANT/
REPRESENTATIVE:** City of Lakeport Police Department
2025 South Main Street
Lakeport, CA 95453

OWNER City of Lakeport Police Department
2025 South Main Street
Lakeport, CA 95453

LOCATION: 2025 South Main Street (005-045-42)

GENERAL PLAN: Public and Civic Uses

ZONING: PCU, Public and Civic Uses

STAFF CONTACT: Daniel D. Chance, Associate Planner

REQUESTED ACTION: The Planning Commission is being asked to review and approve a General Plan of Conformity Report for the construction of an 8-foot chain link fence surrounding a parking lot on the south side of the building for the City of Lakeport Police Department at 2025 South Main Street, further described as APN 005-045-42.

GENERAL PLAN AND ZONING DISTRICT: The subject property is designated Public and Civic Uses according to the City of Lakeport General Plan Land Use Map and is within the PCU, Public and Civic Uses zoning district according to the City Zoning Map. The property is currently utilized as the offices of the Lakeport Police Department.

GENERAL PLAN OF CONFORMITY ANALYSIS: The City of Lakeport is seeking a determination that the Approval of this General Plan of Conformity Report for the construction of an 8-foot chain link fence, approximately 256-feet in length for the purpose of securing the Police Department officer building entry and fleet vehicle parking area from the general public is consistent with the City of Lakeport General Plan. The project also includes additional fencing along the western property boundary to secure and screen generator and fuel storage areas.

As a local public agency the City of Lakeport is subject to the requirements of Government Code Section 65402(c) which states:

*" A local agency shall not acquire real property... nor dispose of any real property, **nor construct or authorize a public building or structure**, in any county or city, if such county or city has adopted a general plan or part thereof and such general plan or part thereof is applicable thereto, until the location, purpose and extent of such acquisition, disposition, or such public building or structure have been submitted to and reported upon by the planning agency having jurisdiction, as to conformity with said adopted general plan or part thereof."*

The Land Use and Safety Elements of the Lakeport General Plan contain language and policies that encourage the overall improvement of the City's general services which includes police protection--

- Page II-11/12 of the General Plan Land Use Element states: *"The adequacy of the City's infrastructure and the provision of basic City services are among the most critical issues facing the community... It is an objective of the Lakeport General Plan to ensure that adequate potable water supplies, sewer treatment, storm drainage facilities, and other basic service are available for both the current and future population anticipated by this Plan."*
- Objective S 3 of the City's Safety Element reads: *"To maintain an effective emergency response system."*

Based upon the above, the construction of fencing to secure the office entry and vehicle fleet parking area is found to be consistent with the City's General Plan.

City Planning and Police staff worked closely together in the development of the fencing proposal to ensure that the design was in conformance with City commercial fencing regulations, consistent with development patterns in this vicinity and did not adversely detract from the public viewshed as viewed from South Main Street.

PROJECT DESCRIPTION: The proposed project consists of constructing an 8-foot chain link fence, approximately 256-feet in length for the City of Lakeport Police Department. The purpose of the project is to provide a safe convenient location for police officers to load and unload suspects, store evidence, as well as providing an enclosed area to park police vehicles. The fencing would be located along the southern side of the existing building and would extend from the frontage of the building along South Main Street. The fence would run along the southerly property line adjacent to the storm drainage area for Auto Zone and under the solar array on the property. The fence would include a large gate providing access to the parking area, as well as smaller gates to provide access to the heating and cooling, as well as the emergency generator along the western portion of the building. At this time, the proposed project includes a dense growth of vines along the southern and eastern portions of the fence, which would grow on the fence and subsequently screen the fence from views from South Main Street and Auto Zone. Since the western side of the fence includes a large number of gates, vines would be impractical. Along the western side the applicant is proposing plastic slats to provide screening. The plastic slats would be a color matching the existing building which is tan/beige.

The color of the decorative slats in the fence will match the existing color of the Police Department building. The fencing will be maintained in a clean and litter-free manner. Damaged sections of the fence, associated slates and climbing vines will be maintained and replaced as needed.

ARCHITECTURAL DESIGN & COMMERCIAL FENCE STANDARDS ANALYSIS: As part of staff's due diligence, review of the project included an analysis of the City's architectural and design review standards outlined in Chapter 17.27 of the Municipal Code and the commercial fences/walls standards outlined in Section 17.28.010.P of the zoning ordinance performance standards. The use of the vines on the fence, as well as the slats that match the existing building would complement and add to the architectural interest of the building. The project does not require the removal of the existing landscaping to facilitate fencing at the project site. Based on this analysis staff has determined that the proposed fence location and design are consistent with the spirit and intent of all applicable zoning ordinance standards that would otherwise be required of a similar private development.

CALIFORNIA ENVIRONMENTAL QUALITY ACT FINDINGS: The proposed project has been determined to be categorically exempt from the provisions of the California Environmental Quality Act according to Section 15332(a-e) of the 2020 CEQA guidelines. This section allows for infill development construction that meets the following standards:

In-fill development projects consistent with the General Plan and Zoning; within the City limits on less than five acres; with not value as habitat for endangered species; would not result in traffic, noise, and air and water quality; and adequately served by all required utilities.

CONCLUSION AND RECOMMENDATION: Staff recommends that the Planning Commission report that the construction of an 8-foot chain link fence, adjacent to the south side of the existing Police Department building, approximately 256-feet in length for the purpose of securing the Police Department officer building entry and fleet vehicle parking area from the general public, is in conformity with the Lakeport General Plan.

The proposed project has been determined to be categorically exempt from the provisions of the California Environmental Quality Act according to Section 15332(a-e) of the 2020 CEQA guidelines. This section categorically exempts projects that represent infill development.

SAMPLE MOTIONS

Categorical exemption Approval

I move that the Planning Commission find that GPC 20-01 as applied for by City of Lakeport Police Department is categorically exempt pursuant to Section 15332(a-e) of the CEQA Guidelines.

General Plan of Conformity

I move that the Planning Commission report that the construction of fencing for the purpose of securing the Police Department officer entry and fleet vehicle parking area on property located at 2025 South Main Street, is in conformity with the Lakeport General Plan.

Attachment A: Vicinity Map

Attachment B: Application; Site Plan & Colors

cc: Applicant/Property Owner
Planning Commission

Attachment A: Vicinity Map



Lakeport PD Vehicle Enclosure (GPC 20-01) Vicinity Map

Attachment B: Application & Site Plan



City of Lakeport

225 Park St – Lakeport CA 95453

Phone: (707) 263-5613 EXT. 205 FAX: (707) 263-9314

www.cityoflakeport.com

LAND USE APPLICATION

WITH OR WITHOUT CATEGORICAL EXEMPTION

APPLICANT'S INFORMATION	LAND OWNER'S INFORMATION
Name <u>CERRY GONZALEZ</u>	Name _____
Company Name <u>LAKEPORT POLICE DEPT.</u>	Company Name <u>SAME</u>
Mailing Address <u>2025 SQ MAIN ST.</u>	Mailing Address _____
City, State, Zip <u>LAKEPORT, CA 95453</u>	City, State, Zip _____
Phone <u>263-5491</u> Fax _____	Phone _____ Fax _____
Email <u>CGONZALEZ@LAKEPORTPOLICE.ORG</u>	Email _____

AGENT, ENGINEER, OR ARCHITECT'S INFORMATION (if any)	
Name _____	Company Name _____
Mailing Address _____	Phone _____ Fax _____
City, State, Zip _____	Email _____

PROJECT INFORMATION	
Project location: <u>2025 SOUTH MAIN STREET</u>	Assessor Parcel No.(s): <u>005-045-42</u>
Current land use: _____	Size of existing parcel: _____
Current Zoning: <u>C-2 MAJOR RETAIL</u>	Current General Plan Designation: _____
Subdivision tract name: _____	Lot and block numbers: _____
Description of proposed project: _____	

ATTACH SUPPLEMENTAL INFORMATION AS REQUIRED

SIGNATURE OF APPLICANT	DATE	SIGNATURE OF LAND OWNER	DATE
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LAND USE APPLICATIONS REQUIRED FOR PROPOSED PROJECT:

<input type="checkbox"/>	\$668.07	Abandonment of Right-of-Way
<input type="checkbox"/>	1,977.50*	Annexation
<input type="checkbox"/>	148.17	Archeological Review
<input type="checkbox"/>	2809.72*	Architectural & Design Review
<input type="checkbox"/>	711.80	Arch. & Design Review (Minor)
<input checked="" type="checkbox"/>	89.49	Arch. & Design Review (Small Project)
<input type="checkbox"/>	296.32	Approved Plan Revision
<input checked="" type="checkbox"/>	133.48	Categorical Exemption
<input type="checkbox"/>	266.97	Certificate of Compliance
<input type="checkbox"/>	1245.40	Development Agreement
<input type="checkbox"/>	844.94	Environmental Review
<input type="checkbox"/>	244.61	Fence Request
<input type="checkbox"/>	326.14	Free-Standing Sign
<input type="checkbox"/>	771.09	General Plan Amendment

<input type="checkbox"/>	\$ 889.43	Lot Line Adjustment
<input type="checkbox"/>	118.80	Minor Exception
<input type="checkbox"/>	466.40*	Formal Concept Plan Review
<input type="checkbox"/>	88.87 & up**	Reapportionment – Sewer Assessment
<input type="checkbox"/>	237.15	Shoreline Development
<input type="checkbox"/>	1860.53*	Tentative Parcel Map
<input type="checkbox"/>	2,685.52*	Tentative Subdivision Map
<input type="checkbox"/>	652.29	Use Permit, Major
<input type="checkbox"/>	172.02	Use Permit, Minor
<input type="checkbox"/>	682.11	Variance
<input type="checkbox"/>	222.25	Voluntary Merger
<input type="checkbox"/>	1038.06	Zone Change
<input type="checkbox"/>	177.09*	Zoning Permit
<input type="checkbox"/>		Other

*Planning and Engineering Fees ** Engineering Fee

Total Fees Collected: \$ _____ Receipt # _____ Initials _____ Date _____

Revised 7/1/2019

.600 AC.

SUPPLEMENTAL INFORMATION FOR VARIOUS LAND USE APPLICATIONS

Please answer questions and/or attach additional information appropriate to the type of land use(s) being applied for – see boxes checked on the bottom of the first page of this application to see which of the following applications apply

APPROVED PLAN REVISION	Description of original project _____ Description of revision being proposed _____	
DEVELOPMENT AGREEMENT	Floor area of proposed buildings _____ Number of parking spaces _____	
ENVIRONMENTAL REVIEW	Please complete the information requested on the next page.	
FENCE REQUEST	Cross streets _____ Description of proposed fence _____ Reason for fence _____ ATTACH DETAILED SITE PLAN AND ELEVATION OF PROPOSED FENCE	
* FREE-STANDING SIGN	Sign maker name, address, phone _____ Description of proposed sign <u>8' FOOT HIGH CHAINLINK FENCE WITH VINES ON FRONT AND SIDE AND SLATS ON THE REAR</u>	
GENERAL PLAN AMENDMENT	ATTACH WRITTEN STATEMENT RESPONDING TO GENERAL PLAN AMENDMENT CRITERIA – see attached information. ATTACH MAP / SITE PLAN AND LEGAL DESCRIPTION OF PROPERTY.	
LOT LINE ADJUSTMENT	Assessor's Parcel No. _____ Size of parcel _____ Present use _____ Assessor's Parcel No. _____ Size of parcel _____ Present use _____	Assessor's Parcel No. _____ Size of parcel _____ Present use _____ Signature of adjacent landowner _____ Date _____ ATTACH DETAILED MAP DRAWN TO SCALE ILLUSTRATING PROPOSED ADJUSTMENT
MINOR EXCEPTION	Section of applicable Ordinance (Code) _____ Description of proposed exception _____ ATTACH EXCEPTION JUSTIFICATION STATEMENT – see attached information	
TENTATIVE PARCEL OR SUBDIVISION MAP	Number _____ and size of parcels to be created _____ Reason for requesting division of land _____ Will easements or rights-of-way be dedicated _____ Is sewer and water service available _____	
SHORELINE DEVELOPMENT	Describe the proposed shoreline development _____ ATTACH SHORELINE DEVELOPMENT PLAN – see attached information	
USE PERMIT	ATTACH USE PERMIT JUSTIFICATION STATEMENT – see attached information	
VARIANCE	Section of Ordinance (Code) being varied _____ Description of proposed variance _____ ATTACH VARIANCE JUSTIFICATION STATEMENT – see attached instructions	
VOLUNTARY MERGER	Description of proposed merger _____ Reason for requesting merger _____	
ZONE CHANGE	ATTACH A WRITTEN EXPLANATION FOR REZONING REQUEST AND DISCUSS CONFORMANCE WITH THE GENERAL PLAN – see attached information. ATTACH MAP, SITE PLAN, AND LEGAL DESCRIPTION OF PROPERTY	



LAKEPORT POLICE DEPARTMENT MEMORANDUM

DATE: October 23, 2015

TO: Dan Chance

FROM: Interim Lieutenant Gonzalez

RE: Police Department Fence Project Architectural and Design Review Application

Description of project:

Attached are the measurements and site plan prepared by Tom Carlton showing the location of the vehicle rolling gate and "man" gate to the rear of the police department. In addition I have attached the current quote from Arrow Fence that will be further refined. We requested that there not be any plastic slats to the rear of the fence facing AutoZone and the side of the fence facing S.Main Street but there would be slats on the area around the generator and gate itself as vine (plant material) would be unsafe.

For privacy purpose we would use a vine which is Lonicera jap. Halliana a type of Honeysuckle. I followed up with Star Gardens in Middleton and confirmed that it would grow at a reasonable rate and that it was drought tolerant. See attached photo of the plant. They recommend this plant for fences around this area as it is a hardy plant.



We expect to have a keypad by the entrance to the rolling gate and a card reader near the "man gate" to allow for automated entry. The keypad would be programed the same as City yard to facility City Access to the rear of the police department. Please advise if you need additional information. Given the nature of the project and constraints arrow fence offers an engineered fencing solution.



Agricultural • Commercial • Residential
State & Federal
License # 585041

ARROW FENCING
P.O. BOX 385
CALPELLA, CA 95418
707-485-1128 Fax: 707-485-1142
Arrowfencingca.com
chris@arrowfencingca.com

CHAINLINK FENCE SPECIFICATION

FABRIC: 96" 9 GA. W/ BROWN PDS PLUS SLAT KK CHAIN LINK FABRIC.

TOP RAIL: 1 5/8" O.D. FULL WEIGHT PIPE, 2.27 lbs. per foot. Top rail 21' in length, joined with 1 5/8" SLEEVE.

LINE POST: 2 3/8" O.D. FULL WEIGHT PIPE, 3.65 lbs. per foot. Line posts set 10' on center maximum spacing. Concrete footing: 9" diameter, 36" depth.

TERMINAL POST: 2 7/8" O.D. FULL WEIGHT PIPE, 5.79 lbs. per foot. Concrete footing: 10" diameter, 36" depth.

GATES: SINGLE SWING GATE: Framework of 1 7/8" STRUCTURAL PIPE, 2.20 lbs. per foot.
ROLLING GATE: Framework of 1 7/8" STRUCTURAL PIPE, 2.20 lbs. per foot.
DOUBLE SWING GATE: Framework of 1 7/8" STRUCTURAL PIPE, 2.20 lbs. per foot.
Gates braced and trussed as necessary. Same fabric as fence.

GATE POST: SINGLE SWING GATE: 2 7/8" O.D. FULL WEIGHT PIPE, 5.79 lbs. per foot. Concrete footing: 10" diameter, 36" depth.
ROLLING GATE: 2 7/8" O.D. FULL WEIGHT PIPE, 5.79 lbs. per foot. Concrete footing: 10" diameter, 36" depth.
DOUBLE SWING GATE: 4" O.D. FULL WEIGHT PIPE, 9.10 lbs. per foot. Concrete footing: 10" diameter, 36" depth.

TENSION WIRE: 7 GA. COIL SPRING GALVANIZED TENSION WIRE attached to bottom of fence fabric with 9 GA. STEEL HOG RING spaced 24" on center.

FITTINGS: REGULAR BRACE BAND & CARRIAGE BOLT, PRESSED STEEL RAIL-END, PRESSED STEEL EYE-TOP, PRESSED STEEL CAP, 3/16" X 3/4" TENSION BAR, REGULAR TENSION BAND & CARRIAGE BOLT.

TIE WIRE: 10 1/2" 11 GA. STEEL TIE WIRE & 6 1/2" 11 GA. STEEL TIE WIRE spaced 15" on center for line posts & 24" on center for rails.

POST FOOTING: TRUCK POURED CONCRETE.



Agricultural • Commercial • Residential

State & Federal

License # 585041

ARROW FENCING
CALPELLA, CA 95418
Arrowfencingca.com

P.O. BOX 385
707-485-1128 Fax: 707-485-1142
chris@arrowfencingca.com

PROPOSAL/CONTRACT

Page 1
01/22/2020

Customer Information:

City Of Lakeport
255 Park Street
Lakeport, CA 95453

Job Information:

Gerry 841-7726

Notes:

- Install 256' of 8' tall V-GP slated cahin link fence
- 2-4'SGL
- 1-8' DBLE
- 1-10' DBLE
- Swing gates
- 1-12' auto roll gate will need 15' plus return
- LM CSW 24V
- 1-photo eye
- 4 edge
- 1- Konx Box
- 3- Trasnmitters
- 14x14'' ground track
- Power by others

ARROW FENCING - CALIFORNIA CONTRACTORS LICENSE #585041

NOTICE TO OWNER: (SECTION 7019 - CONTRACTORS LICENSE LAW) UNDER THE MECHANIC'S LIEN LAW, ANY CONTRACTOR, SUBCONTRACTOR, LABORER, MATERIALMAN OR OTHER PERSON WHO HELPS TO IMPROVE YOUR PROPERTY AND IS NOT PAID FOR HIS LABOR, SERVICES OR MATERIAL, HAS A RIGHT TO ENFORCE HIS CLAIM AGAINST YOUR PROPERTY.

UNDER THE LAW, YOU MAY PROTECT YOURSELF AGAINST SUCH CLAIMS BY FILING, BEFORE COMMENCING SUCH WORK OR IMPROVEMENT, AN ORIGINAL CONTRACT FOR THE WORK OF IMPROVEMENT OR A MODIFICATION THEREOF, IN THE OFFICE OF THE COUNTY RECORDER OF THE COUNTY WHERE THE PROPERTY IS SITUATED AND REQUIRING THAT A CONTRACTOR'S PAYMENT BOND BE RECORDED IN SUCH OFFICE. SAID BOND SHALL BE IN AN AMOUNT NOT LESS THAN FIFTY PERCENT (50/5) OF THE CONTRACT PRICE AND SHALL, IN ADDITION TO ANY CONDITIONS FOR THE PERFORMANCE OF THE CONTRACT, BE CONDITIONED FOR THE PAYMENT IN FULL OF THE CLAIMS OF ALL PERSONS FURNISHING LABOR, SERVICES, EQUIPMENT OR MATERIALS FOR THE WORK DESCRIBED IN SAID CONTRACT.

The responsibility for complying with local zoning regulations and obtaining any required permits shall rest with the customer. ARROW FENCING will assist the customer, upon request, in determining where the fence is to be erected, but under no circumstance does ARROW FENCING assume any responsibility concerning property lines or in any way guarantee their accuracy. If property pins cannot be located it is recommended that the customer have the property surveyed.

ARROW FENCING assumes no responsibility for damage to underground utilities, public or private. The customer will assume all liability for any damage caused by directing ARROW FENCING to dig in the immediate vicinity of known utilities.

The final billing will be based on the actual footage of fencing built and the work performed. Partial billing for materials delivered to the job site and work completed may be sent at weekly intervals. Adjustments for material used on this job and adjustments for labor will be charged or credited at the currently established rates.

Additional charges for any extra work not covered in this contract that was requested by the customer will also be added. The full amount of this contract along with any additional charges will become payable upon completion of all work whether or not it has been invoiced.

A finance charge of 1 1/2% per month (or a minimum of \$1.00), which is an annual percentage rate of 18%, shall be applied to accounts that are not paid within 10 days after completion of any work invoiced. All materials will remain the property of ARROW FENCING until all invoices pertaining to this job are paid in full. The customer agrees to pay all interest and any costs incurred in the collection of this debt.

CONTRACTORS ARE REQUIRED BY LAW TO BE LICENSED AND REGULATED BY THE CONTRACTOR'S STATE LICENSE BOARD. ANY QUESTIONS CONCERNING A CONTRACTOR MAY BE REFERRED TO THE REGISTRAR, CONTRACTORS STATE LICENSE BOARD, [9835 Goethe Road], Sacramento, California. [Mailing Address: P.O. Box 26000, Sacramento, California 95827.]

Approved & Accepted for Customer:

Contract Amount: \$ 49209.83

Down Payment: \$

Balance Due: \$ 49209.83

Customer

Date

Accepted for ARROW FENCING:

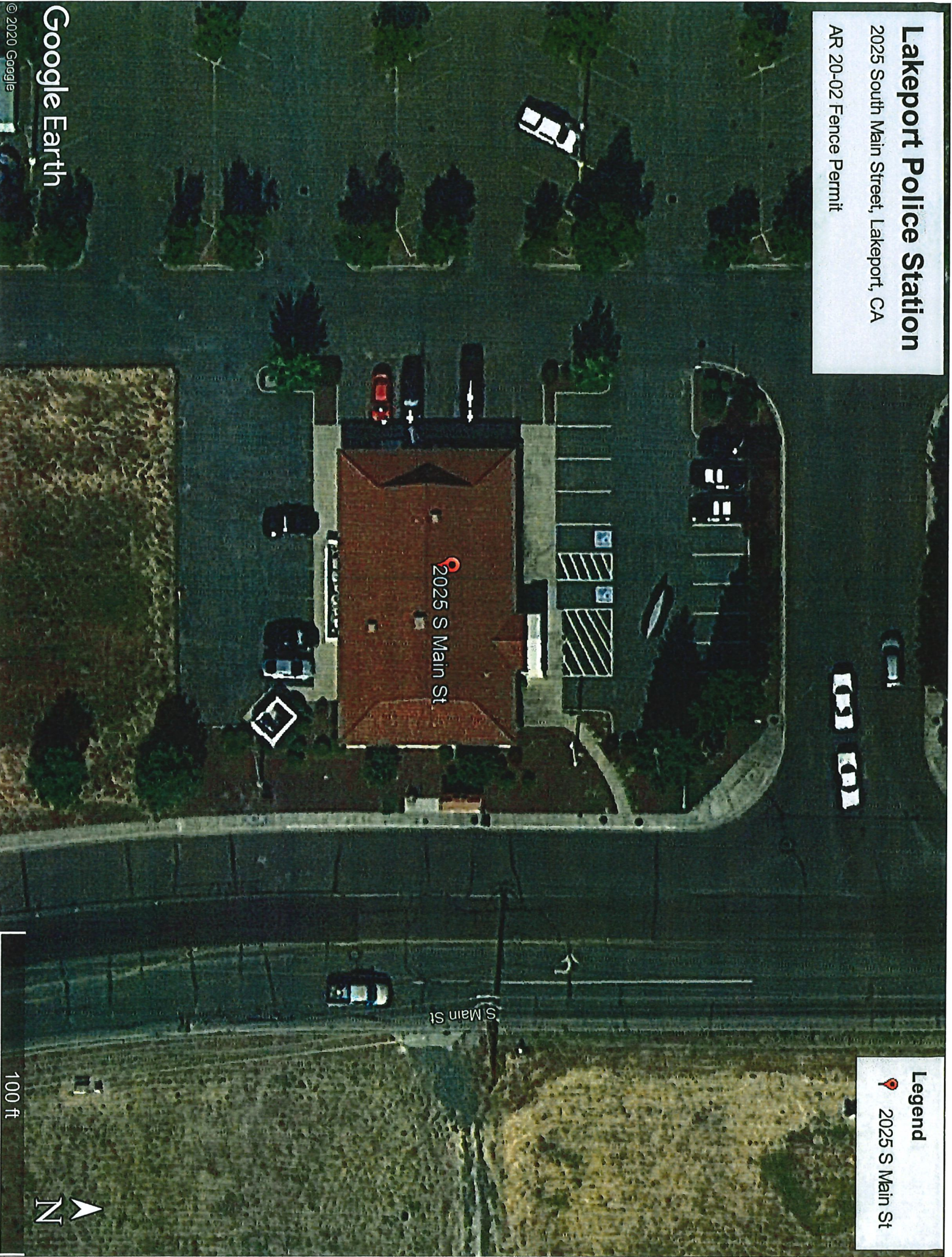
Salesperson

Date


Lakeport Police Station

2025 South Main Street, Lakeport, CA

AR 20-02 Fence Permit



Legend

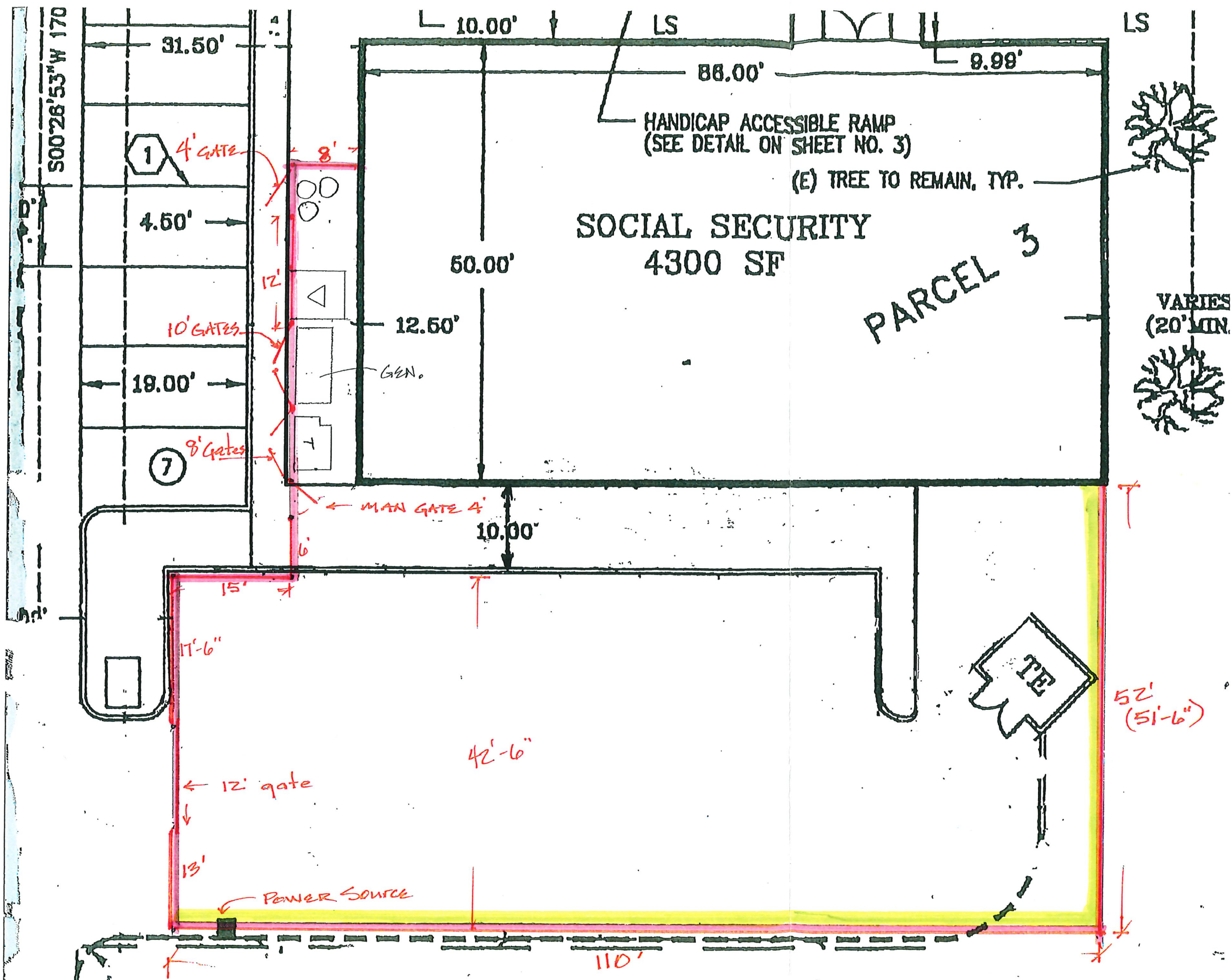
 2025 S Main St

Google Earth

© 2020 Google

100 ft





Total length perimeter
= 256' including gates
Total length of gates
= 38'



SOUTH MAIN STREET

Scale: $\frac{3}{32}'' = 1'-0''$
Approx.



**CITY OF LAKEPORT
COMMUNITY DEVELOPMENT DEPARTMENT
STAFF REPORT**

DATE: April 8, 2020

FILE NO: UP 20-01/ CE 20-04

APPLICANT: Gillian Gallagher
990 Eleventh Street
Lakeport, CA. 95453

OWNER: City of Lakeport
225 Park Street
Lakeport, CA 95453

LOCATION: 990 Eleventh Street (026-481-04)

GENERAL PLAN: Residential

ZONING: R-2, Medium Density Residential, 11th Street Professional Overlay

STAFF CONTACT: Daniel D. Chance, Associate Planner

REQUESTED ACTION: The Planning Commission is being asked to review and approve an application of a Use Permit to allow a short-term rental, consistent with Section 17.24.110.E of the zoning ordinance. The Use Permit would allow for a short-term rental permit within an existing single family dwelling located at this site. The project is located along the northern side of Eleventh Street at 990 Eleventh Street.

GENERAL PLAN AND ZONING DISTRICT: The subject property is designated Residential according to the City of Lakeport General Plan Land Use Map and is within the R-2/PO, Medium Density Residential / 11th Street Professional Overlay zoning district according to the City Zoning Map. Section 17.05.050.D of the zoning ordinance states that "Those uses permitted in the R-1 district subject to a use permit" are permitted with the issuance of use permit in the R-2 zoning district. 'Short-term rental of a residence to transient guests' is permitted in the R-1 zoning district subject to the issuance of a use permit per Section 17.04.05.C of the zoning ordinance.

As proposed, the allowance for the short-term rental of a residence to transient guests at this site is consistent with the objective ED 10 of the General Plan which seeks "To promote and enhance Lakeport as a year round visitor/recreation destination area" and likewise Policy ED 10.2 of the Economic Development Element which "supports new visitor-oriented lodging...(Page VI-6-7)."

As proposed the project is consistent with the intent of the General Plan and Zoning Ordinance Section, in respect to community design, 17.05, Medium Density Residential and 17.24 Use Permit, in respect to the conditional use on the property.

PROJECT DESCRIPTION: The proposed project consists of a short-term rental proposed in an existing single family residence located on the north side of Eleventh Street. The short-term rental is to be offered through Airbnb, offering a private room in a 1,054 square foot home. The property owner will still reside at the site. The room would accommodate up to two people and possible pet. The operation of the Airbnb would provide an affordable room for health care professionals, tourists and people visiting family members. The Airbnb would be located on a half-acre, fenced site and is located a good distance from the closest neighbor. Access to the site is from a private driveway from Eleventh Street, with adequate on-site parking. The applicant would be on the property, and would not allow large parties, late night noise or smoking.

Staff reviewed all of the criteria applicable to this project and has determined that the proposed short-term rental is in compliance with the use permit standards for short-term rentals 17.24.110.E set forth in the Municipal Code.



Site Plan

The applicant would be required to get a business license for the operation of the short-term rental, as well as working with the city to pay Transient Occupancy Tax for the short-term rental. Staff has added a condition requiring placement of a small sign

identifying the address of the property along Eleventh Street. Said sign shall be no larger than four square feet, consistent with the sign regulations for residential property.

Staff has recommended that signage along Eleventh Street at the property's driveway to assist visitors in locating the short term rental. The signage shall identify the address of said property only. Under the Sign ordinance the maximum size allowed in residential districts is four square feet.

Agency Review Comments: The submitted plans were provided to the Building Official, City Engineer, City Public Works, City Finance Department, Environmental Health, Police and Fire District for their review.

- Building Official: Currently not aware of any Building Code requirements for short term rentals.
- City Engineer: The City Engineer had no concerns.
- Public Works: No street or right-of-way improvements required.
- Public Works Utilities: No concerns.
- Finance Department: No concerns.
- City Police: No Police concerns.
- Fire District: The Fire District has no concerns at this time.
- Environmental Health: No comments received.

The conditions being recommended based on comments received. No proposed modifications are being proposed to the structure that would require the issuance of a building permit. Project Conditions of Approval and vicinity map are attached.

USE PERMIT APPLICATION FINDINGS: As described, the proposed short term rental set forth for the Medium Density Residential (R-2) Zoning Ordinance requires the issuance of a use permit by the Lakeport Planning Commission. Section 17.24.040 of the Zoning Ordinance requires the following findings be made for said approval:

Finding 1: That the proposed location and use is consistent with the objectives of this ordinance and the purposes of the district in which the site is located. The short-term rental as outlined in the proposed application is consistent with the standards set forth for the R-2/PO, Medium Density Residential / 11th Street Professional Overlay zoning district. The site and circulation associated with the proposed project on this property is adequate for the use. The use is consistent with other uses in the immediate area, would not reflect a significant increase in use in the area, and would not have a significant impact on the immediate area.

Finding 2: That the proposed location of the use and proposed conditions under which it would be operated or maintained will be consistent with the General Plan; will not be detrimental to the health, safety, or welfare of persons residing or in or adjacent to the neighborhood of such use; and will not be detrimental to properties or improvements in the vicinity or to the general welfare of the city. The project with proposed conditions implemented is consistent with the objectives and policies of the Lakeport General

Plan. Objective ED-10 of the General Plan encourages uses that promote and enhance Lakeport as a year round visitor/recreation destination area. Furthermore, this use will take place in a location not in close proximity to other residences, the property owner will be on-site during use and adequate on-site parking is available. As proposed this project will not have a significant impact on the neighboring commercial and residential properties in the immediate area.

Finding 3: That the proposed use will comply with the provisions of this title. The use, with the conditions of approval are in compliance with the R-2 zoning district (LMC Chapter 17.05) and Use Permit standards (LMC Chapter 17.24), including all special provisions pertaining to 'Short term rental of residences to transient guests (vacation home) as outlined in Section 17.24.100.E.

CALIFORNIA ENVIRONMENTAL QUALITY ACT FINDINGS:

Finding 4: The project is statutorily exempt of the California Environmental Quality Act. The proposed project has been determined to be categorically exempt from the provisions of the California Environmental Quality Act according to Section 15332(a-e) of the 2020 CEQA guidelines. This section allows the construction of:

In-fill development projects consistent with the General Plan and Zoning; within the City limits on less than five acres; with not value as habitat for endangered species; would not result in traffic, noise, and air and water quality; and adequately served by all required utilities.

CONCLUSION, RECOMMENDATION, AND CONDITIONS: Based on the information provided by the applicant and the comments received from City staff, a finding is made that the short term rental located on the residential property located at 900 Eleventh Street is in general conformance with the Lakeport Municipal Code Section 17.240.40 (Use Permit criteria and standards). The proposed use will not significantly impact the building and will not impact the functionality of the existing residential use. The proposed project has been determined to be exempt from the provisions of the California Environmental Quality Act according to Section 15268 (b) and 15301 of the 2020 CEQA guidelines.

Staff recommends that the Planning Commission approve the Use Permit application subject to the conditions of approval set forth in the staff report (Attachment B).

SAMPLE MOTIONS

Categorical exemption Approval

I move that the Planning Commission find that UP 20-01 as applied for by Gillian Gallagher is categorically exempt as an infill development project pursuant to Section 15332(a-e) of the CEQA Guidelines.

Use Permit Approval

I move that the Planning Commission find that the Use permit applied for by Gillian Gallagher, on property located at 990 Eleventh Street does meet the requirements of Section 17.24.040 of the Lakeport Zoning Ordinance; consistent with the objectives and policies of the Lakeport General Plan; and subject to the project conditions of approval (Attachment B), and with the findings listed in the April 8, 2020 staff report.

The Planning Commission's approval of the applications shall be subject to the conditions of approval specified in the staff report and/or as amended by the Planning Commission at the public hearing.

Attachment A: Vicinity Map
Attachment B: Project Conditions Agreement
Attachment C: Application; Site Plan and Narrative,

Attachment A:

Vicinity Map



Gallagher Short-Term Rental Project (UP 20-01) Vicinity Map

Attachment B:
Project Conditions Agreement



CITY OF LAKEPORT
Community Development Department
225 Park Street
Lakeport, Ca 95453

PROJECT CONDITIONS AGREEMENT

Land Use Application File No. UP 20-01

*This Agreement is entered into by **Gillian Gallagher**
990 Eleventh St. (Hereinafter Applicant/Owner).*

RECITALS

WHEREAS, Applicant/Owner applied to the City of Lakeport for a Use Permit approval for a short-term rental; and

WHEREAS, the City of Lakeport Planning Commission on April 8, 2020 has reviewed and approved the project for conformance with the Use Permit criteria and standards set forth in Section 17.24.110; and

WHEREAS, the proposed project is hereby approved subject to the following conditions:

1. The applicant/owner shall sign a standard City of Lakeport Project Conditions Agreement which lists the conditions of approval and shall agree to said conditions. A copy of the signed agreement shall be returned to the Community Development Department.
2. The applicant/owners shall comply with the provisions of Municipal Code Chapter 3.20 regarding the collection and payment of the Transient Occupancy Tax (TOT). Proof of TOT program registration with the City of Lakeport Finance Department shall be provided to the Community Development Department prior to the commencement of operations.
3. The applicant/owners shall comply with all applicable provisions of Municipal Code Chapter 5.04 regarding the issuance of a Business License. A copy of the issued business license shall be provided to the Community Development Department prior to the commencement of operations.
4. The applicant/owner/operator shall post a notice within portion of the home being utilized as a short-term rental and provide a handout to guests at the time of check-in which shall substantially conform with the following:

The owners of this home and the city of Lakeport welcome you to our town. We sincerely hope that you and your family enjoy your stay and return again soon.

This home has been approved by the City for use as a vacation home rental. Because it is located in a residential area, we ask that you and your family maintain a quiet and peaceful atmosphere. There are adjacent neighbors who live here full time and would appreciate your consideration. Your cooperation is appreciated.

Any deviation from the above language shall be approved in advance by the Community Development Director.

5. The applicant/owners shall work with the Building Official for the City of Lakeport to review the change in occupancy status from a single-family use to a transient guest use. Battery-powered smoke and carbon monoxide detectors shall be provided in the house as required by the California Building Code before the property is occupied by transient guests. The dwelling shall be inspected by Community Development Department staff before the short-term vacation rental activities are initiated.
6. The applicant/owner shall provide a sign on the property along Eleventh Street identifying the house address. The signage shall be no larger than four square feet.
7. The use permit shall be reviewed by the Planning Commission as necessary to determine compliance with conditions of approval or if legitimate and verified complaints are submitted to the City.

NOW, THEREFORE, IT IS AGREED:

1. That the applicant/owner has read and agrees to each and every item and condition herein.
2. That the development and use of the real property described herein shall conform to the conditions listed above and all City of Lakeport Ordinances and Resolutions where applicable.
3. That said conditions shall be binding on all owners or persons having or acquiring any right, title, or interest in said real property, or any part thereof, subject to this agreement.

Dated: _____

APPLICANT/OWNER

SIGNATURE- Gillian Gallagher

PLEASE PRINT NAME

cc: Project File

Attachment C:
Application; Site Plan and Floor Plan



City of Lakeport
 225 Park St – Lakeport CA 95453
 Phone: (707) 263-5613 EXT. 205 FAX: (707) 263-9314
 www.cityoflakeport.com

LAND USE APPLICATION WITH OR WITHOUT CATEGORICAL EXEMPTION

APPLICANT'S INFORMATION	LAND OWNER'S INFORMATION
Name <u>Gillian Gallagher</u>	Name <u>Gillian Gallagher</u>
Company Name _____	Company Name _____
Mailing Address <u>990 11th St</u>	Mailing Address <u>990 11th St</u>
City, State, Zip <u>Lakeport CA 95453</u>	City, State, Zip <u>Lakeport CA 95453</u>
Phone <u>707 407 5972</u> Fax _____	Phone <u>707 407 5972</u> Fax _____
Email <u>gilliangallagher8@gmail.com</u>	Email <u>gilliangallagher8@gmail.com</u>

AGENT, ENGINEER, OR ARCHITECT'S INFORMATION (if any)	
Name _____	Company Name _____
Mailing Address _____	Phone _____ Fax _____
City, State, Zip _____	Email _____

PROJECT INFORMATION	
Project location: <u>990 11th St Lakeport CA 95453</u>	Assessor Parcel No.(s): _____
Current land use: <u>Residential</u>	Size of existing parcel: <u>.43 acre</u>
Current Zoning: <u>Residential</u>	Current General Plan Designation: _____
Subdivision tract name: _____	Lot and block numbers: <u>990</u>
Description of proposed project: <u>Short Term Rental</u>	

ATTACH SUPPLEMENTAL INFORMATION AS REQUIRED

SIGNATURE OF APPLICANT	DATE	SIGNATURE OF LAND OWNER	DATE
<u>Gallagher</u>		<u>Gallagher</u>	<u>1/6/2020</u>

LAND USE APPLICATIONS REQUIRED FOR PROPOSED PROJECT:

<input type="checkbox"/>	\$668.07	Abandonment of Right-of-Way	<input type="checkbox"/>	\$ 889.43	Lot Line Adjustment
<input type="checkbox"/>	1,977.50*	Annexation	<input type="checkbox"/>	118.80	Minor Exception
<input type="checkbox"/>	148.17	Archeological Review	<input type="checkbox"/>	466.40*	Formal Concept Plan Review
<input type="checkbox"/>	2809.72*	Architectural & Design Review	<input type="checkbox"/>	88.87 & up**	Reapportionment – Sewer Assessment
<input type="checkbox"/>	711.80	Arch. & Design Review (Minor)	<input type="checkbox"/>	237.15	Shoreline Development
<input type="checkbox"/>	89.49	Arch. & Design Review (Small Project)	<input type="checkbox"/>	1860.53*	Tentative Parcel Map
<input type="checkbox"/>	296.32	Approved Plan Revision	<input type="checkbox"/>	2,685.52*	Tentative Subdivision Map
<input checked="" type="checkbox"/>	133.48	Categorical Exemption	<input type="checkbox"/>	652.29	Use Permit, Major
<input type="checkbox"/>	266.97	Certificate of Compliance	<input checked="" type="checkbox"/>	172.02	Use Permit, Minor
<input type="checkbox"/>	1245.40	Development Agreement	<input type="checkbox"/>	682.11	Variance
<input type="checkbox"/>	844.94	Environmental Review	<input type="checkbox"/>	222.25	Voluntary Merger
<input type="checkbox"/>	244.61	Fence Request	<input type="checkbox"/>	1038.06	Zone Change
<input type="checkbox"/>	326.14	Free-Standing Sign	<input type="checkbox"/>	177.09*	Zoning Permit
<input type="checkbox"/>	771.09	General Plan Amendment	<input type="checkbox"/>		Other

*Planning and Engineering Fees ** Engineering Fee

Total Fees Collected: \$ _____ Receipt # _____ Initials _____ Date _____

Revised 7/1/2019

SUPPLEMENTAL INFORMATION FOR VARIOUS LAND USE APPLICATIONS

Please answer questions and/or attach additional information appropriate to the type of land use(s) being applied for – see boxes checked on the bottom of the first page of this application to see which of the following applications apply

APPROVED PLAN REVISION	Description of original project <u>Quinn, private room inside residence</u>	
	Description of revision being proposed _____	
DEVELOPMENT AGREEMENT	Floor area of proposed buildings _____ Number of parking spaces _____	
ENVIRONMENTAL REVIEW	Please complete the information requested on the next page.	
FENCE REQUEST	Cross streets _____ Description of proposed fence _____ Reason for fence _____ ATTACH DETAILED SITE PLAN AND ELEVATION OF PROPOSED FENCE	
FREE-STANDING SIGN	Sign maker name, address, phone _____ Description of proposed sign _____	
GENERAL PLAN AMENDMENT	ATTACH WRITTEN STATEMENT RESPONDING TO GENERAL PLAN AMENDMENT CRITERIA – see attached information. ATTACH MAP / SITE PLAN AND LEGAL DESCRIPTION OF PROPERTY.	
LOT LINE ADJUSTMENT	Assessor's Parcel No. _____ Size of parcel _____ Present use _____	Assessor's Parcel No. _____ Size of parcel _____ Present use _____
	Assessor's Parcel No. _____ Size of parcel _____ Present use _____	Signature of adjacent landowner _____ Date _____
	ATTACH DETAILED MAP DRAWN TO SCALE ILLUSTRATING PROPOSED ADJUSTMENT	
MINOR EXCEPTION	Section of applicable Ordinance (Code) _____ Description of proposed exception _____ ATTACH EXCEPTION JUSTIFICATION STATEMENT – see attached information	
TENTATIVE PARCEL OR SUBDIVISION MAP	Number _____ and size of parcels to be created _____ Reason for requesting division of land _____ Will easements or rights-of-way be dedicated _____ Is sewer and water service available _____	
SHORELINE DEVELOPMENT	Describe the proposed shoreline development _____ ATTACH SHORELINE DEVELOPMENT PLAN – see attached information	
USE PERMIT	ATTACH USE PERMIT JUSTIFICATION STATEMENT – see attached information	
VARIANCE	Section of Ordinance (Code) being varied _____ Description of proposed variance _____ ATTACH VARIANCE JUSTIFICATION STATEMENT – see attached instructions	
VOLUNTARY MERGER	Description of proposed merger _____ Reason for requesting merger _____	
ZONE CHANGE	ATTACH A WRITTEN EXPLANATION FOR REZONING REQUEST AND DISCUSS CONFORMANCE WITH THE GENERAL PLAN – see attached information. ATTACH MAP, SITE PLAN, AND LEGAL DESCRIPTION OF PROPERTY	

To Whom It May Concern,

I am requesting approval for my business license to support my Airbnb. I am offering a private room in my 1054 sq ft home at 990 Eleventh St Lakeport. I am hoping to offer this room to aid the local community. My goal is to offer a safe, comfortable and affordable room to traveling healthcare professionals, tourists and people visiting families. My room is offered as a short term or long term space for those individuals in need. It is available seven days a week. I am a seasonal worker for the State and would use this revenue as an aid to my new relocation to the City of Lakeport.

My house is on half an acre with a fenced in yard to not encumber my neighbors with possible visiting pets. I have multiple off street parking available, and my guests vehicles will not be a hindrance to the city. There will be no tolerance for large parties, late night noise or smoking. The room accommodates at most, two people. My goal is to aid the travelers coming to see the city without any negative impacts to the community or my surrounding area.

Thank you for your time,


Gillian Gallagher

gilliangallagher8@gmail.com

7074075972

Mellor Dr

Eleventh St

Eleventh St



Community I
Credit Union



11th



Home



North Bay
Merchant Services



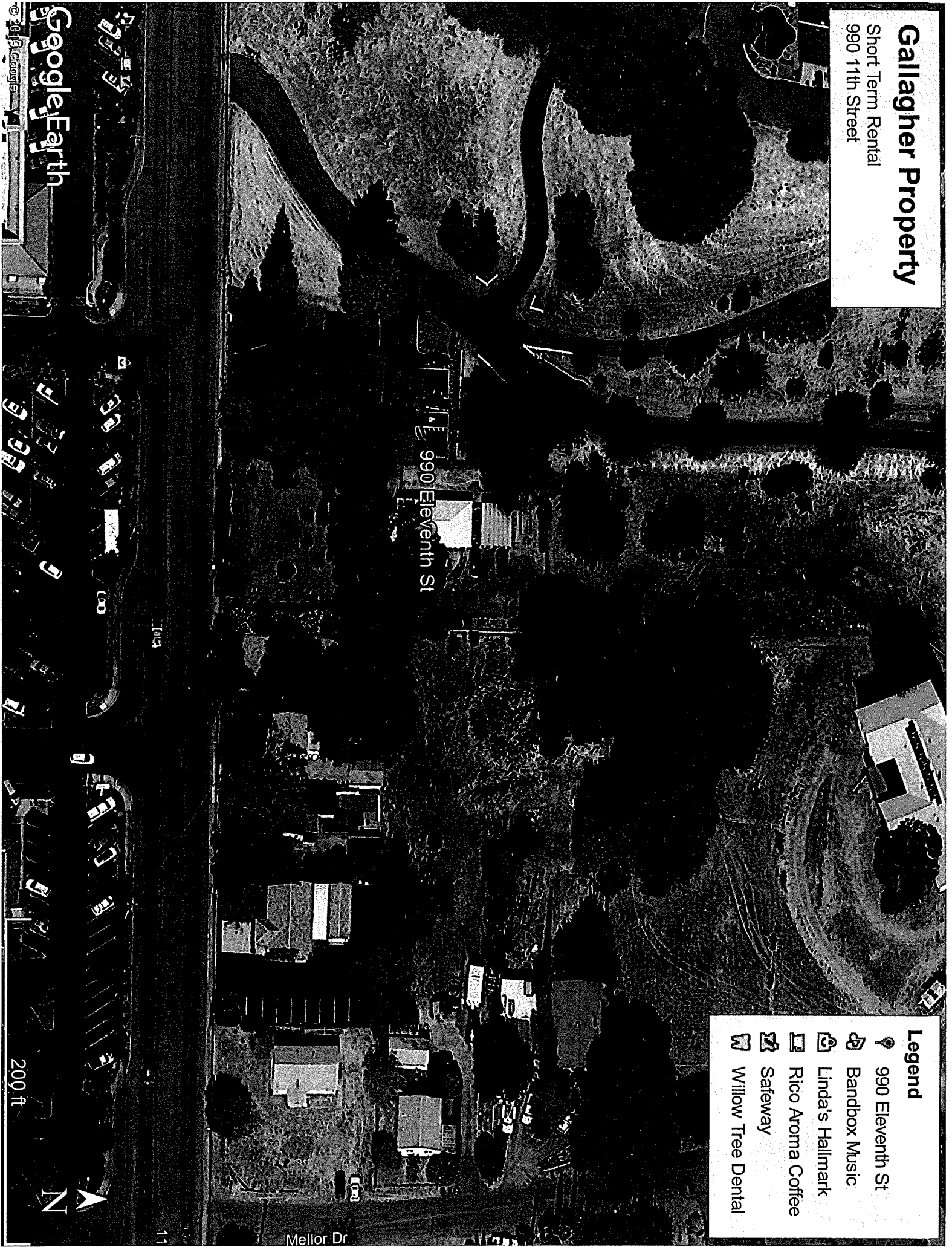
Safeway Pharmacy



Safe

Gallagher Property

Short Term Rental
990 11th Street



Legend

- 990 Eleventh St
- Bandbox Music
- Linda's Hallmark
- Rico Aroma Coffee
- Safeway
- Willow Tree Dental

Google Earth

© 2013 Google

200 ft





CITY OF LAKEPORT COMMUNITY DEVELOPMENT DEPARTMENT STAFF REPORT

DATE: April 8, 2020

FILE NO: AR 19-05

APPLICANT/OWNER: New Hope Fellowship Church
Moses Zapata
305 Peckham Court
Lakeport, CA 95453

LOCATION: 305 Peckham Court (005-049-09)

GENERAL PLAN: Major Retail

ZONING: C-3, Service Commercial

STAFF CONTACT: Daniel D. Chance, Associate Planner

REQUESTED ACTION: The Planning Commission is being asked to review and approve an application for an Architectural and Design Review that allows a 5,160 square foot Building located behind an existing building for the New Hope Fellowship Church at 305 Peckham Court, further described as APN 005-049-09.

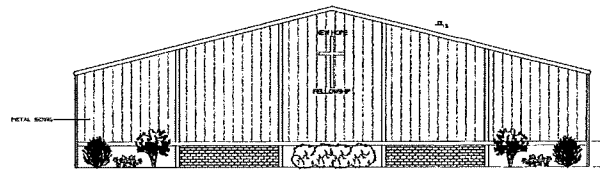
GENERAL PLAN AND ZONING DISTRICT: The subject property is designated Major Retail according to the City of Lakeport General Plan Land Use Map and is within the C-3, Service Commercial zoning district according to the City Zoning Map. Churches, schools and daycare facilities are permitted within the C-3 zoning district subject to the issuance of a use permit. A use permit for the current church operations was approved in December 1998 (UP 97-005). The proposed construction of a new 5,160 square foot building requires the approval of an Architectural and Design Review, subject to the objectives and regulations set forth in Chapter 17.27 of the Zoning Ordinance.

Section 17.27.020 of the Municipal Code indicates that Architectural and Design Review is required for the construction of new commercial, institutional and similar buildings. It further indicates that no building permit or other entitlement for remodel shall be issued until the site plan; the architectural elevations and related plans have been reviewed and approved by either the Planning Commission or Community Development Director as provided for in the Zoning Ordinance.

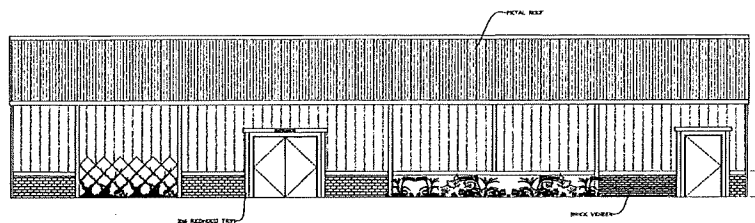
The size of the project at 5,160 square feet requires the project be reviewed and approved by the Planning Commission.

PROJECT DESCRIPTION: The proposed project consists of constructing a 5,160 square foot church at the New Hope Fellowship church site. The project proposes to replace

the existing 4,161 square foot sanctuary building on the site. The existing building will be retained and used to support other church related activities at the site. The new addition would be located directly behind the existing church building on the property. The new building would be a metal building with a 3-foot wainscoting around the base of the building, which would have a brick veneer. The wainscoting would be broken up with landscaping on all sides of the building. The color of the new building would be tan to match the existing building, with a blue roof. The new construction would be visible from State Highway 29, however, the size and height is similar to the existing building and would not represent a significant visual impact from that visual corridor.



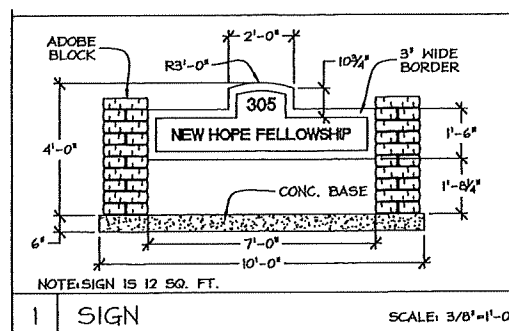
EAST ELEVATION



NORTH ELEVATION

The submitted plans include a detailed landscaping plan that includes plantings around the new building and planting islands throughout the existing parking lot consistent with regulations set forth in Section 17.23.060.I, Parking Development Standards—Landscape Requirements of the zoning ordinance. Exterior lighting will be provided on the northwest and northeast corners of the building. Existing lighting within the parking lot will be retrofitted utilizing existing poles. All lighting will be required to be shielded and facing downward to reduce off-site glare.

SIGNS: The proposed application includes three signs. The first consists of an approximately 10-square foot monument sign to replace an existing wooden freestanding monument sign visible from Peckham Court. The submitted application also includes two (2) building mounted signs on the west and east elevations consisting of the Church name and cross measuring approximately 36 square feet per each instance.



1 SIGN SCALE: 3/8"=1'-0"

Section 17.52.050 of the City's Municipal Code (Sign Ordinance) permits the following signage in the C-3 zoning district: one building mounted sign, per street frontage, not to exceed 100 total square feet with no more than 50 square feet on any one sign. A freestanding sign not to exceed 25 feet in height and having more than 50 square feet of signage on any face is also permitted. Additionally, Section 17.52.040.C prohibits signage "*designated or located specifically to be seen from Highway 29.*"

As proposed, staff is recommending the inclusion of a condition prohibiting signage along the western building elevation that is directly oriented to State Highway 29. With the removal of this highway oriented signage, all other proposed signage is consistent with zoning ordinance sign regulations outlined in Municipal Code Chapter 17.52.

PARKING LAYOUT: The proposed project would include resurfacing the parking lot and developing 82-parking spaces and planting areas located around the site. The applicant is proposing 82-parking spaces on the property. Calculating the parking demand for the two buildings on the property would require 64-parking spaces (17.23.050.E.5 Parking Ordinance). As proposed, the parking lot layout and vehicle circulation is consistent with the City's development standards.

FRONTAGE IMPROVEMENTS: The proposed project is subject to right-of-way improvement provisions set forth in Chapter 12.04 of the Municipal Code. Peckham Court is currently a 50-foot right-of-way that ends in a cul-de-sac. Staff review of previous development projects along Peckham Court notes that significant right of way dedication has been made to the City. This large dedication was made prior to the completion of the State Highway 29 expressway when Peckham Court was actually part of Todd Road and was considered a primary collector road provided greater east/west movement to the then Highway 29 which was South Main Street. As such, Public Works staff has worked directly with the project applicants on the development of specialized right-of-way improvements more applicable to the individual characteristics of this site. A condition of approval is being recommended that requires a possible dedication of an additional five (5) feet of right-of-way to match existing development patterns at the site. The purpose of this dedication is to allow for the construction of curb, gutter and sidewalk without necessitating the removal of the existing valley gutter and drainage inlets which currently exist along the roadway edge. These improvements will likely require a change to the provided site plan that would relocate the planter box shown along the Peckham Court frontage 5 feet to the south and possibly eliminate up to 3 parking spaces.

AGENCY REVIEW COMMENTS: The submitted plans were provided to the Building Official, City Engineer, City Public Works, Police and Fire District for their review.

- Building Official: Some inconsistencies on the plans, parking, landscaping, floor plans, as well as curb, gutter and sidewalk. (Note: plans were modified to address those concerns)
- City Engineer: Requested information if frontage improvements are required, onsite drainage will need to be revised to meet city standards. (Note: Engineer and Public Works staff met on-site with applicants to discuss site frontage specifics.)
- Public Works, Roads: If street improvements are required need civil plans. No civil plans if just revised parking and landscaping. (Note: Engineer and Public Works staff met on-site with applicants to discuss site frontage specifics.)

- Public Works, Utilities: No Comments.
- City Police: No Police concerns.
- Fire District: Fire had no comments.

Specific project conditions have been included to address agency comments received. Project Conditions of Approval and vicinity map are attached.

ARCHITECTURAL AND DESIGN REVIEW APPLICATION FINDINGS: As described, the proposed new 5,161 square foot church building is consistent with the architectural and design review standards set forth in Chapter 17.27 of the zoning ordinance as it relates to color, design, landscaping, lighting and parking. The proposed project design is compatible and complimentary to existing buildings at the site and in the general vicinity. Additionally, the new structure would not have a significant visual impact upon State Highway 29.

Finding 1: The proposed project is consistent with the purpose of the Lakeport Zoning Ordinance. The property is zoned C-3, Service Commercial which allows church use with the issuance of a use permit. Use Permit (UP 97-005) was approved in 1998 allowing for church uses at this site. The proposed new structure is consistent with that previously issued use permit. As proposed and with the incorporation of recommended conditions of approval the project is consistent with the Lakeport Zoning Ordinance.

Finding 2: The project is in substantial compliance with the design criteria. The materials and color associated with the new church building located in the rear of the property reflects a design consistent with the existing buildings, and a harmonious design within the immediate area, and will not have a negative visual impact to State Highway 29. The project is in compliance with the criteria and standards for 17.27.110 Architectural and Design Review.

Finding 3: The project is consistent with the Lakeport General Plan. The project as proposed is consistent with the objective and policies of the Lakeport General Plan. The General Plan encourages commercial development designs which foster economic growth, reduce land consumption, and compliment adjacent land uses. The proposed addition reflects that objective by fostering economic growth, while complimenting adjacent land uses.

CALIFORNIA ENVIRONMENTAL QUALITY ACT FINDINGS:

Finding 4: The project is categorically exempt from the California Environmental Quality Act. The proposed project has been determined to be categorically exempt from the provisions of the California Environmental Quality Act according to Section 15332(a-e) of the 2020 CEQA guidelines. This section allows the construction of:

In-fill development projects consistent with the General Plan and Zoning; within the City limits on less than five acres; with not value as habitat for endangered species; would not result in traffic, noise, and air and water quality; and adequately served by all required utilities.

CONCLUSION, RECOMMENDATION, AND CONDITIONS: Based on the information provided by the applicant and the comments received from City staff, a finding is made that the 5,160 square foot church located in the rear half of the New Hope Fellowship Church property located at 305 Peckham Court is in general conformance

with the Lakeport Municipal Code Section 17.27.110 (Architectural and Design Review criteria and standards). The proposed new building design is compatible and consistent with existing development at this site and will not result in a significant visual impact to the traveling public on State Highway 29. The proposed project has been determined to be exempt from the provisions of the California Environmental Quality Act according to Section 15332(a-e) of the 2020 CEQA guidelines. This section categorically exempts projects that represent in-fill development.

Staff recommends that the Planning Commission approve the Architectural and Design Review application subject to the conditions of approval set forth in the staff report (Attachment B).

SAMPLE MOTION

Categorical exemption Approval

I move that the Planning Commission find that AR 19-05 as applied for by New Hope Fellowship Church is categorically exempt pursuant to Section 15332(a-e) of the CEQA Guidelines.

Architectural and Design Review Approval

I move that the Planning Commission find that the Architectural and Design Review applied for by New Hope Fellowship Church, on property located at 305 Peckham Court does meet the requirements of Section 17.27.080 of the Lakeport Zoning Ordinance; consistent with the objectives and policies of the Lakeport General Plan; and subject to the project conditions of approval (Attachment B), and with the findings listed in the April 8, 2020 staff report.

The Planning Commission's approval of the applications shall be subject to the conditions of approval specified in the staff report and/or as amended by the Planning Commission at the public hearing.

Attachment A: Vicinity Map
Attachment B: Project Conditions Agreement
Attachment C: Application; Site Plan, Floor Plan, Elevations, & Colors

cc: Applicant/Property Owner
Planning Commission

Attachment A:

Vicinity Map



New Hope Fellowship (AR 19-05) Vicinity Map

Attachment B:
Project Conditions
Agreement



CITY OF LAKEPORT
Community Development Department
225 Park Street
Lakeport, Ca 95453

PROJECT CONDITIONS AGREEMENT

Land Use Application File No. AR 19-05

*This Agreement is entered into by **New Hope Fellowship Church**
(hereinafter Applicant/Owner).*

RECITALS

WHEREAS, Applicant/Owner applied to the City of Lakeport for a Minor Architectural and Design Review approval for a 5,160-square foot building; and

WHEREAS, the City of Lakeport has reviewed and approved the project for conformance with the Architectural and Design Review criteria and standards set forth in Section 17.27.110 of the Lakeport Municipal Code; and

WHEREAS, the use of this property as a church is authorized by UP 97-005; and

WHEREAS, the proposed project is hereby approved subject to the following conditions:

1. The applicant/owner shall sign a standard City of Lakeport Project Conditions Agreement which lists the conditions of approval and shall agree to said conditions. A copy of the signed agreement shall be returned to the Community Development Department.
2. The project shall be developed in accordance with the plans and specifications received by the City in February 18, 2020. Minor alterations may be approved in writing by the City of Lakeport Community Development Director or his designee.
3. The applicant/owner shall maintain the exterior building features in good condition for the life of the project. Damaged or dilapidated portions of the structure or related improvements shall be repaired or replaced as necessary.
4. The final building plans shall include extending the walkway for the entryway to the sidewalk, that walkway shall meet ADA standards.
5. Roof-mounted mechanical equipment shall be provided with architectural screens which effectively screen the equipment and complement the building's architecture. Ground-mounted mechanical equipment, if provided, shall also

be provided with visual screens. Said screens shall be detailed on the building construction plans.

6. The stormwater drainage collection, conveyance and detention facilities shall be developed in accordance with the approved plans and shall be completed prior to the issuance of any final occupancy permit.
7. All new exterior lighting serving the building shall be shielded, provided with property line cut-offs, and/or downlit so as to eliminate glare-related impacts to adjacent properties or the public right-of-way. Details and specifications regarding the proposed building-mounted lighting shall be included in the building permit application package and shall be consistent with the approved photometric plan approved by the Planning Commission.
8. The applicant/owner/developer shall prepare and submit a detailed final landscaping plan, including irrigation plan, prior to the issuance of a building permit. Said landscaping plan shall be consistent with the Landscape plans approved by the Planning Commission. The planting of all landscaping materials shall be completed prior to the issuance of an occupancy permit and shall be continuously maintained and watered over the life of the project. Landscaping irrigation shall comply with the State's Model Water Efficient Landscape Ordinance (AB 1881) and shall be designed to minimize water usage. All plant materials that are not healthy or that dies shall be replaces with similar landscape materials in a timely manner.
9. No signage shall be provided upon the west facing building elevation or other location of the site that is designed or located specifically to be seen from Highway 29.
10. The final Building Plans shall include Civil Plans that will address the curb, gutter and sidewalk along the Peckham Court frontage and all onsite drainage.
11. Prior to occupancy, if required, the applicant/owner/developer shall dedicate land to the City of Lakeport for the Peckham Court right-of-way that includes a 5' of public utility easement for the curb, gutter and sidewalk.
12. The applicant/owner/developer shall provide onsite bike racks. The building plans shall include the location of the bike racks.
13. The applicant/owner/developer shall provide the appropriate electrical charging stations. The building plans shall include the location of the charging station(s) and identify those parking spaces for EV charging.

14. All other conditions pertaining to the property associated with Architectural and Design Review (AR 19-05) shall remain in effect except as where specifically modified by this permit.

NOW, THEREFORE, IT IS AGREED:

1. That the applicant/owner has read and agrees to each and every item and condition herein.
2. That the development and use of the real property described herein shall conform to the conditions listed above and all City of Lakeport Ordinances and Resolutions where applicable.
3. That said conditions shall be binding on all owners or persons having or acquiring any right, title, or interest in said real property, or any part thereof, subject to this agreement.

Dated: _____

APPLICANT/OWNER

SIGNATURE- Moses Zapata

PLEASE PRINT NAME

cc: Project File

Attachment C:
Application; Site Plan,
Floor Plan, & Elevation



CITY OF LAKEPORT, COMMUNITY DEVELOPMENT DEPARTMENT
225 PARK STREET, LAKEPORT, CA 95453 phone: (707) 263-5615 / fax: (707) 263-5397

LAND USE APPLICATION WITH OR WITHOUT CATEGORICAL EXEMPTION

APPLICANT'S INFORMATION	LAND OWNER'S INFORMATION
Name <u>NEW HOPE FELLOWSHIP</u>	Name <u>NEW HOPE FELLOWSHIP</u>
Company Name <u>Moses Zapata</u>	Company Name <u>Moses Zapata</u>
Mailing Address <u>305 PECKHAM CT.</u>	Mailing Address <u>305 PECKHAM CT.</u>
City, State, Zip <u>LAKEPORT, CA, 95453</u>	City, State, Zip <u>LAKEPORT, CA, 95453</u>
Phone <u>707 262 1227</u> Fax _____	Phone <u>Same</u> Fax _____
Email _____	Email _____

AGENT, ENGINEER, OR ARCHITECT'S INFORMATION (if any)	
Name _____	Company Name _____
Mailing Address _____	Phone _____ Fax _____
City, State, Zip _____	Email _____

PROJECT INFORMATION	
Project location: <u>305 PECKHAM CT, LAKEPORT</u>	Assessor Parcel No.(s): _____
Current land use: <u>CHURCH</u>	Size of existing parcel: _____
Current Zoning: _____	Current General Plan Designation: _____
Subdivision tract name: _____	Lot and block numbers: _____
Description of proposed project: <u>FOUNDATION WORK TO ACCOMMODATE A NEW METAL STRUCTURE TO REPLACE THE SANITARY. (OLD LOCATION TO REMAIN AND TO BE UTILIZED AS OFFICE SPACE, ETC.)</u>	

ATTACH SUPPLEMENTAL INFORMATION AS REQUIRED

	<u>2/26/19</u>		<u>2/26/19</u>
SIGNATURE OF APPLICANT	DATE	SIGNATURE OF LAND OWNER	DATE

LAND USE APPLICATIONS REQUIRED FOR PROPOSED PROJECT:

<input type="checkbox"/>	\$ 641.09	Abandonment of Right-of-Way	<input type="checkbox"/>	\$ 828.71	Lot Line Adjustment
<input type="checkbox"/>	1842.48*	Annexation	<input type="checkbox"/>	110.69	Minor Exception
<input type="checkbox"/>	138.50	Archeological Review	<input type="checkbox"/>	434.55*	Formal Concept Plan Review
<input checked="" type="checkbox"/>	2,617.88*	Architectural & Design Review	<input type="checkbox"/>	88.87 & up**	Reapportionment - Sewer Assessment
<input type="checkbox"/>	663.20	Arch. & Design Review (Minor)	<input type="checkbox"/>	220.96	Shoreline Development
<input type="checkbox"/>	83.36	Arch. & Design Review (Small Project)	<input type="checkbox"/>	1,733.50*	Tentative Parcel Map
<input type="checkbox"/>	276.09	Approved Plan Revision	<input type="checkbox"/>	2,505.16*	Tentative Subdivision Map
<input checked="" type="checkbox"/>	124.37	Categorical Exemption	<input type="checkbox"/>	607.75	Use Permit, Major
<input type="checkbox"/>	248.74	Certificate of Compliance	<input type="checkbox"/>	160.27	Use Permit, Minor
<input type="checkbox"/>	1,160.37	Development Agreement	<input type="checkbox"/>	635.53	Variance
<input type="checkbox"/>	787.25	Environmental Review	<input type="checkbox"/>	207.07	Voluntary Merger
<input type="checkbox"/>	219.56	Fence Request	<input type="checkbox"/>	967.18	Zone Change
<input type="checkbox"/>	303.87	Free-Standing Sign	<input type="checkbox"/>	168.71*	Zoning Permit
<input type="checkbox"/>	718.44	General Plan Amendment	<input type="checkbox"/>		Other

*Planning and Engineering Fees ** Engineering Fee

Total Fees Collected: \$ 2929.99 **Receipt #** _____ **Initials** _____ **Date** _____

SUPPLEMENTAL INFORMATION FOR VARIOUS LAND USE APPLICATIONS

Please answer questions and/or attach additional information appropriate to the type of land use(s) being applied for – see boxes checked on the bottom of the first page of this application to see which of the following applications apply

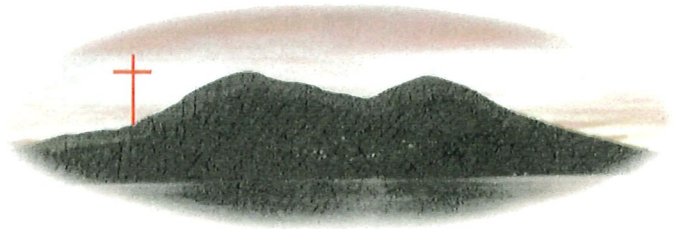
APPROVED PLAN REVISION	Description of original project _____ Description of revision being proposed _____	
DEVELOPMENT AGREEMENT	Floor area of proposed buildings _____ Number of parking spaces _____	
ENVIRONMENTAL REVIEW	Please complete the information requested on the next page.	
FENCE REQUEST	Cross streets _____ Description of proposed fence _____ Reason for fence _____ ATTACH DETAILED SITE PLAN AND ELEVATION OF PROPOSED FENCE	
FREE-STANDING SIGN	Sign maker name, address, phone _____ Description of proposed sign _____	
GENERAL PLAN AMENDMENT	ATTACH WRITTEN STATEMENT RESPONDING TO GENERAL PLAN AMENDMENT CRITERIA – see attached information. ATTACH MAP / SITE PLAN AND LEGAL DESCRIPTION OF PROPERTY.	
LOT LINE ADJUSTMENT	Assessor's Parcel No. _____ Size of parcel _____ Present use _____ Assessor's Parcel No. _____ Size of parcel _____ Present use _____	Assessor's Parcel No. _____ Size of parcel _____ Present use _____ Signature of adjacent landowner _____ Date _____ ATTACH DETAILED MAP DRAWN TO SCALE ILLUSTRATING PROPOSED ADJUSTMENT
MINOR EXCEPTION	Section of applicable Ordinance (Code) _____ Description of proposed exception _____ ATTACH EXCEPTION JUSTIFICATION STATEMENT – see attached information	
TENTATIVE PARCEL OR SUBDIVISION MAP	Number _____ and size of parcels to be created _____ Reason for requesting division of land _____ Will easements or rights-of-way be dedicated _____ Is sewer and water service available _____	
SHORELINE DEVELOPMENT	Describe the proposed shoreline development _____ ATTACH SHORELINE DEVELOPMENT PLAN – see attached information	
USE PERMIT	ATTACH USE PERMIT JUSTIFICATION STATEMENT – see attached information	
VARIANCE	Section of Ordinance (Code) being varied _____ Description of proposed variance _____ ATTACH VARIANCE JUSTIFICATION STATEMENT – see attached instructions	
VOLUNTARY MERGER	Description of proposed merger _____ Reason for requesting merger _____	
ZONE CHANGE	ATTACH A WRITTEN EXPLANATION FOR REZONING REQUEST AND DISCUSS CONFORMANCE WITH THE GENERAL PLAN – see attached information. ATTACH MAP, SITE PLAN, AND LEGAL DESCRIPTION OF PROPERTY	

Re: New Hope Fellowship

Date: September 04, 2019/Requirements for submittal plans per Daniel Chance, City of Lakeport-Associate Planner.

- 1. Square ft of existing and new structures located on civil drawings including dimensions**
- 2. Show exterior parking lot lighting on new and existing structures.**
- 3. Provide cut sheet of light fixtures to be used.**
- 4. Provide floor plan of new structure with dimensions and locations of rooms and stage area including exterior exits for path egress.**
- 5. Front site entry improvements (curbs, gutters, sidewalks, driveway).**
- 6. Brief narrative submitted with above requirements detailing the use of new and existing structures.**

NEW HOPE FELLOWSHIP
305 Peckham Ct.
Lakeport, CA. 95453
707 262 1145



9/27/2019

City of Lakeport

City Planning

To whom it may concern:

Re: Building and foundation for a new sanctuary

The following information is for your consideration and as per your requests regarding the new sanctuary and foundation construction at 305 Peckham Ct., in Lakeport. This new construction is to replace the existing sanctuary on the same property and will be separate from the existing structure.

Additionally, and for your information, the existing sanctuary will be used in the future as classroom space, offices, etc. and will not be connected physically to the new sanctuary building. Also, there is now in our existing sanctuary three bathrooms and one non-commercial kitchen area and fellowship hall.

Thank you and if there is any other information you may need, please contact me, Pastor Moses Zapata at 707 349 2546 or Elder Tony Velasquez at 202 245 4317.

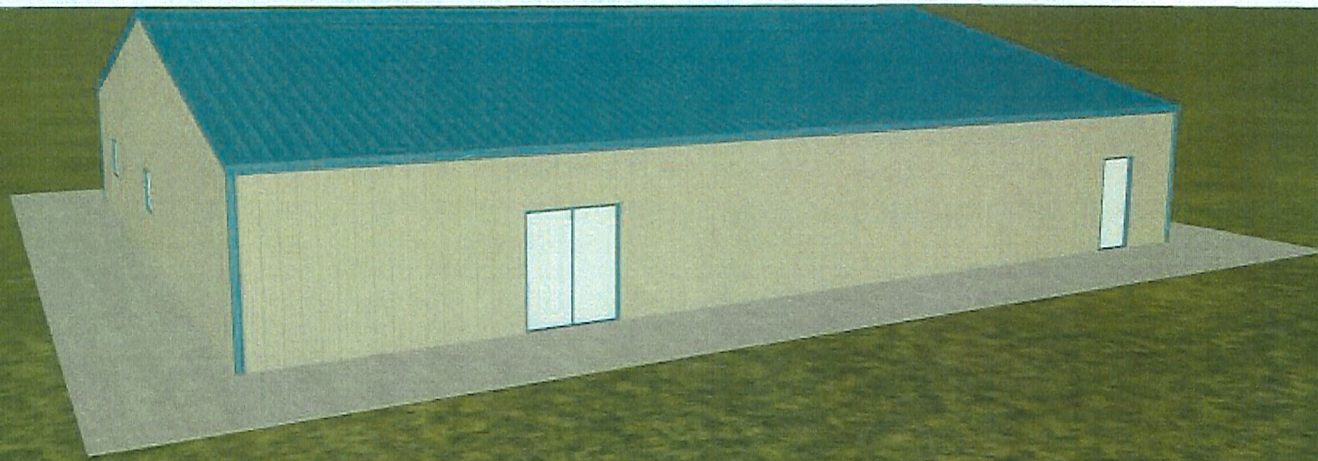
Thank you,

A handwritten signature in blue ink, which appears to read 'Moses Zapata', followed by a stylized star or asterisk symbol.

Pastor Moses Zapata

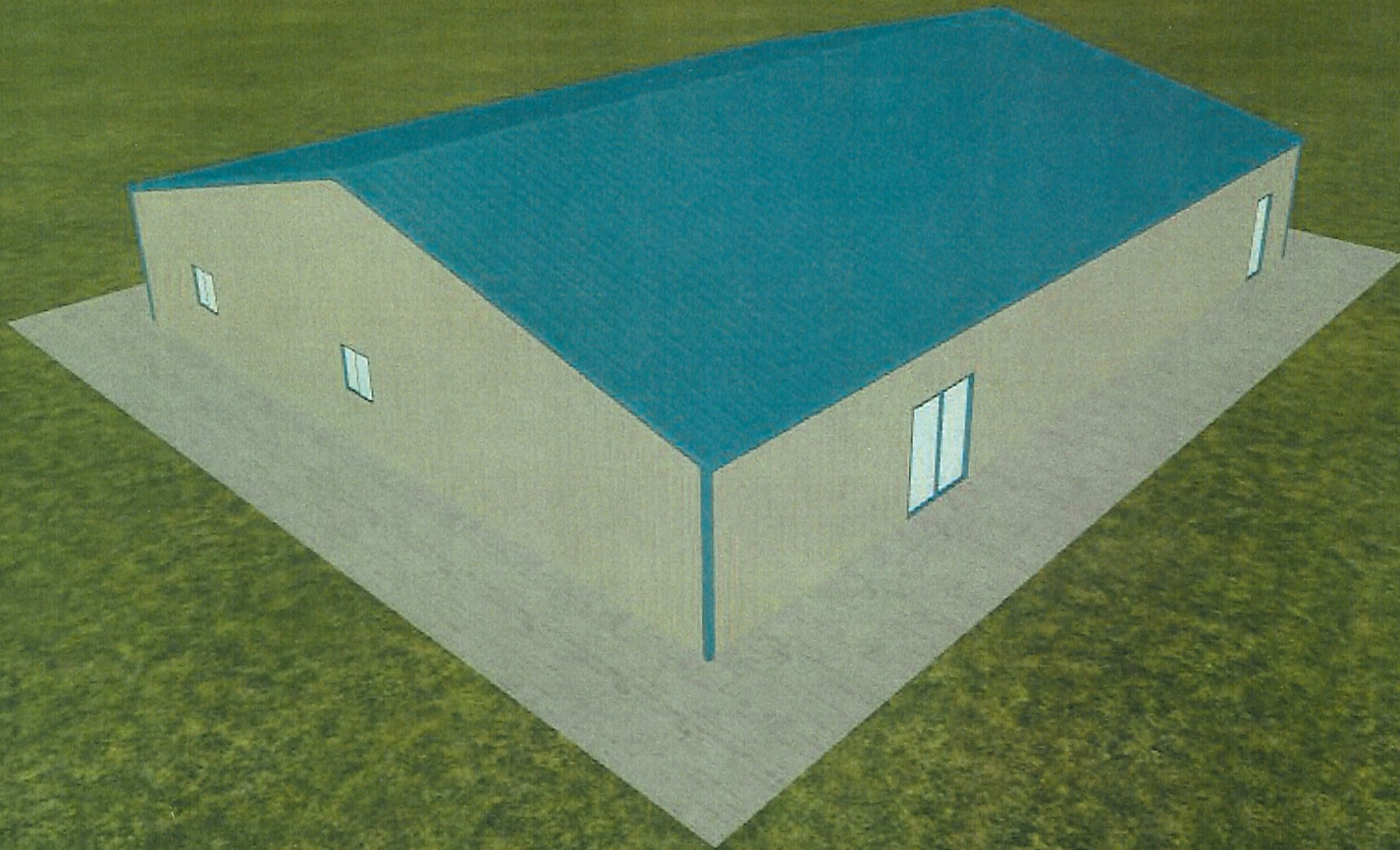
Senior Pastor

Looking NORTH from building



NORTHEAST

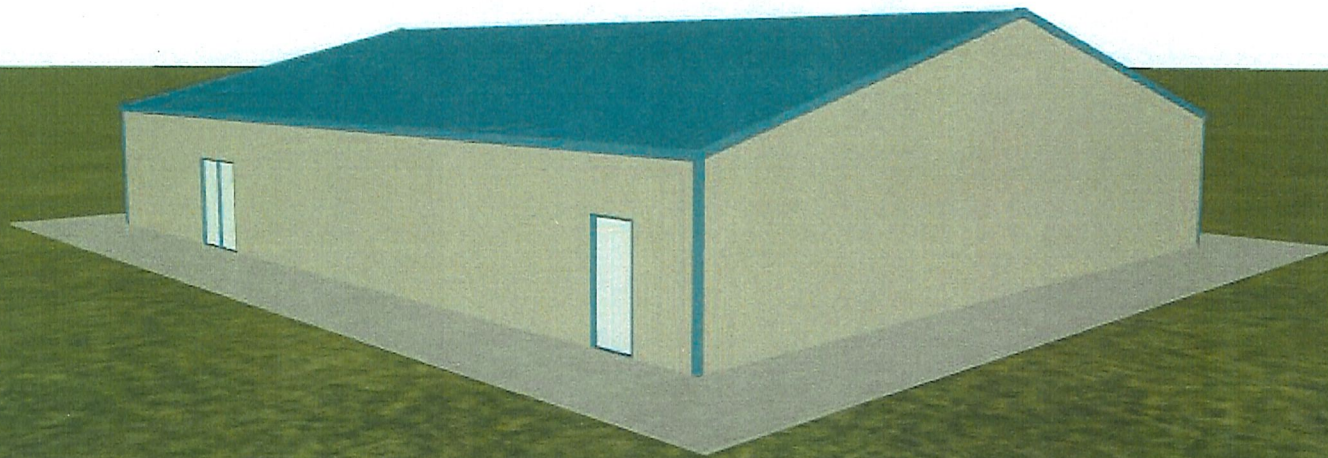
NORTH



NORTH

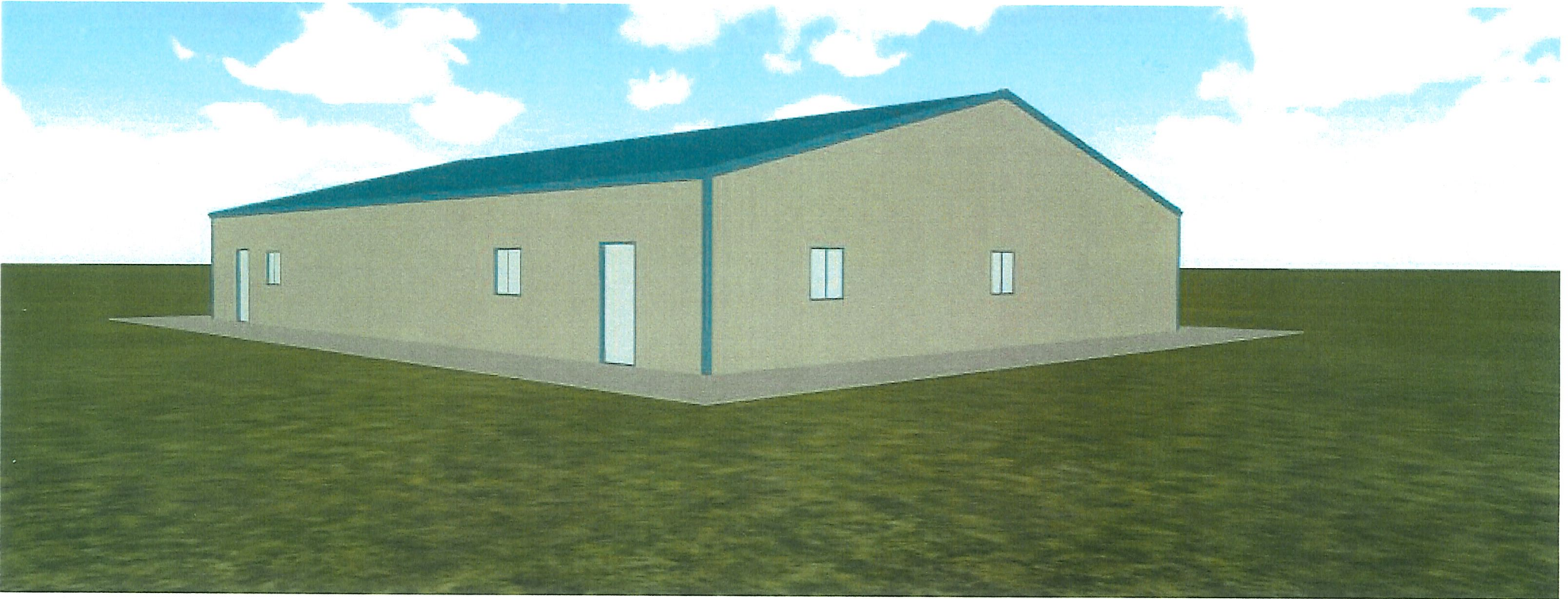


SOUTHWEST



SOUTHWEST

NORTHEAST

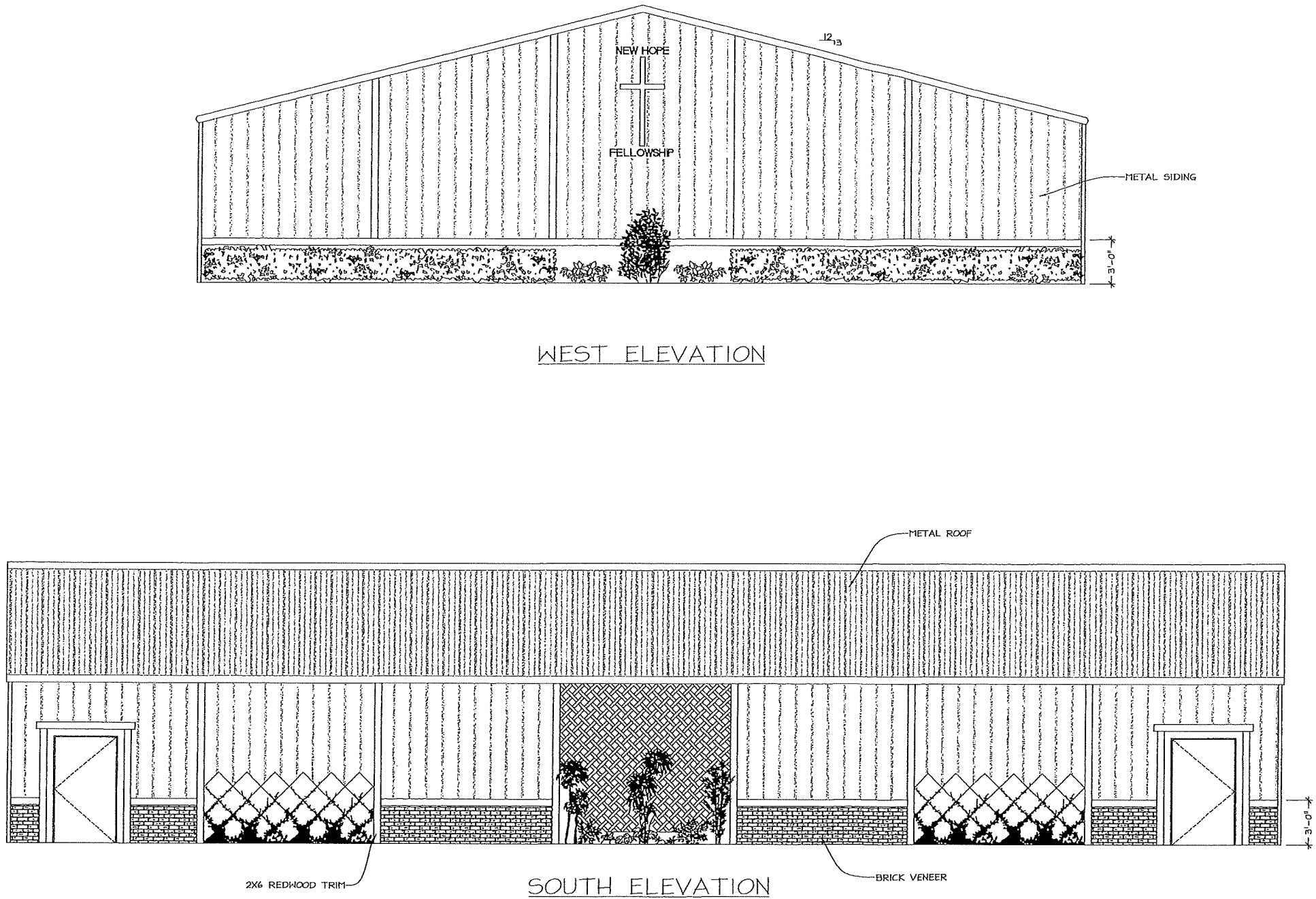


11/6

<div>GENERAL NOTES</div> <div><div>1. ALL CONSTRUCTION SHALL COMPLY WITH THE 2016 CBC AS REVISED AND ADOPTED BY THE STATE OF CALIFORNIA, THE AMERICANS WITH DISABILITIES ACT, AND ALL APPLICABLE LOCAL CODES, ORDINANCES, AND STANDARDS.</div><div>2. CONTRACTOR IS TO VERIFY ALL EXISTING CONDITIONS, DIMENSIONS, DETAILS ETC., AND AS SOON AS DISCOVERED SHALL NOTIFY DESIGNER OF ANY AND ALL DISCREPANCIES PRIOR TO PROCEEDING WITH THE WORK.</div><div>3. ALL WORK SHALL BE APPLIED IN ACCORDANCE WITH THE MANUFACTURER'S LATEST RECOMMENDATIONS OR WRITTEN DIRECTIONS.</div><div>4. DO NOT SCALE DRAWINGS; DIMENSIONS GOVERN. THE CONTRACTOR SHALL NOTIFY DESIGNER IMMEDIATELY OF ANY AND ALL DISCREPANCIES.</div><div>5. ALL DIMENSIONS ARE TO CENTERLINE OF COLUMN, FACE OF STUD OR FACE OF CONCRETE WORK UNLESS OTHERWISE NOTED.</div><div>6. WHERE CONSTRUCTION DETAILS ARE NOT SHOWN OR NOTED FOR ANY PART OF THE WORK, THE DETAILS SHALL BE THE SAME AS FOR OTHER SIMILAR WORK. IF QUESTIONS CANNOT BE RESOLVED IN THIS MANNER, CONTACT DESIGNER PRIOR TO PROCEEDING WITH THE WORK.</div><div>7. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO LOCATE ALL EXISTING UTILITIES WHETHER SHOWN HEREON, OR NOT, AND TO PROTECT THEM FROM DAMAGE. THE CONTRACTOR SHALL BEAR ALL EXPENSE OF REPAIR OR REPLACEMENT OF UTILITIES OR OTHER PROPERTY DAMAGED BY OPERATIONS IN CONJUNCTION WITH THE EXECUTION OF HIS WORK.</div><div>8. THE CONTRACTOR WILL VERIFY AND CONFORM TO ALL REQUIREMENTS OF ALL UTILITY COMPANIES UNLESS OTHERWISE NOTED.</div><div>9. EXISTING ELEVATIONS AND LOCATIONS TO BE JOINED, SHALL BE VERIFIED BY THE CONTRACTOR BEFORE CONSTRUCTION STAKING. IF THEY DIFFER FROM THOSE SHOWN ON THE DRAWINGS, THE CONTRACTOR SHALL NOTIFY DESIGNER SO THAT MODIFICATIONS CAN BE MADE BEFORE PROCEEDING WITH THE WORK.</div><div>10. THE CONTRACTOR SHALL SECURE PERMITS REQUIRED BY THE FIRE DEPARTMENT PRIOR TO BUILDING OCCUPATION.</div></div>	<div>GENERAL NOTES</div>	<div>SCOPE OF WORK</div>	<div>CONSULTANTS</div>																																																																																																																
		<div>VICINITY MAP</div> <div></div>	<div>ABBREVIATIONS</div> <table><tr><td>CL.</td><td>Centerline</td><td>KIT.</td><td>Kitchen</td></tr><tr><td>A.F.F. APPROX.</td><td>Above Finish Floor Approximately</td><td>LAV.</td><td>Lavatory</td></tr><tr><td>BRD. BOT.</td><td>Board Bottom</td><td>MAX. MECH.</td><td>Maximum Mechanical</td></tr><tr><td>CLG.</td><td>Ceiling</td><td>MIN.</td><td>Minimum</td></tr><tr><td>CNTR.</td><td>Counter</td><td>MISC.</td><td>Miscellaneous</td></tr><tr><td>COL.</td><td>Column</td><td>N.T.S.</td><td>Not To Scale</td></tr><tr><td>CONC. CTR.</td><td>Concrete Center</td><td>O.C.</td><td>On Center</td></tr><tr><td>DBL.</td><td>Double</td><td>O.H.</td><td>Overhead</td></tr><tr><td>D.F.</td><td>Douglas Fir</td><td>PLAS. PLTWD.</td><td>Plaster Plywood</td></tr><tr><td>DIA.</td><td>Diameter</td><td>R.D.</td><td>Roof Drain</td></tr><tr><td>DN.</td><td>Down</td><td>REF.</td><td>Reference</td></tr><tr><td>DS.</td><td>Downspout</td><td>REQ.</td><td>Required</td></tr><tr><td>(E) ELEV.</td><td>Existing Elevation</td><td>R.H.</td><td>Room</td></tr><tr><td>EQPT. EXT.</td><td>Equipment Exterior</td><td>R.O.</td><td>Rough Opening</td></tr><tr><td>F.D.</td><td>Floor Drain</td><td>RND.</td><td>Redwood</td></tr><tr><td>FDN. FIN.</td><td>Foundation Finish</td><td>SCH. SECT.</td><td>Schedule Section</td></tr><tr><td>G.B.</td><td>Grab Bar</td><td>SPEC.</td><td>Specification</td></tr><tr><td>GND.</td><td>Ground</td><td>STD.</td><td>Standard</td></tr><tr><td>GYP.</td><td>Gypsum Board</td><td>STOR.</td><td>Storage</td></tr><tr><td>H.B.</td><td>Hose Bibb</td><td>SUSP.</td><td>Suspended</td></tr><tr><td>HDWD. HORZ.</td><td>Hardwood Horizontal</td><td>T.C.</td><td>Top of Curb</td></tr><tr><td>INSUL. INT.</td><td>Insulation Interior</td><td>T.O.B.</td><td>Top of Beam</td></tr><tr><td></td><td></td><td>T.O.C.</td><td>Top of Concrete</td></tr><tr><td></td><td></td><td>T.O.S.</td><td>Top of Slab</td></tr><tr><td></td><td></td><td>T.O.W.</td><td>Top of Wall</td></tr><tr><td></td><td></td><td>V.T.O.</td><td>Vent to outside</td></tr><tr><td></td><td></td><td>W.C.</td><td>Water Closet</td></tr><tr><td></td><td></td><td>WD.</td><td>Wood</td></tr></table>	CL.	Centerline	KIT.	Kitchen	A.F.F. APPROX.	Above Finish Floor Approximately	LAV.	Lavatory	BRD. BOT.	Board Bottom	MAX. MECH.	Maximum Mechanical	CLG.	Ceiling	MIN.	Minimum	CNTR.	Counter	MISC.	Miscellaneous	COL.	Column	N.T.S.	Not To Scale	CONC. CTR.	Concrete Center	O.C.	On Center	DBL.	Double	O.H.	Overhead	D.F.	Douglas Fir	PLAS. PLTWD.	Plaster Plywood	DIA.	Diameter	R.D.	Roof Drain	DN.	Down	REF.	Reference	DS.	Downspout	REQ.	Required	(E) ELEV.	Existing Elevation	R.H.	Room	EQPT. EXT.	Equipment Exterior	R.O.	Rough Opening	F.D.	Floor Drain	RND.	Redwood	FDN. FIN.	Foundation Finish	SCH. SECT.	Schedule Section	G.B.	Grab Bar	SPEC.	Specification	GND.	Ground	STD.	Standard	GYP.	Gypsum Board	STOR.	Storage	H.B.	Hose Bibb	SUSP.	Suspended	HDWD. HORZ.	Hardwood Horizontal	T.C.	Top of Curb	INSUL. INT.	Insulation Interior	T.O.B.	Top of Beam			T.O.C.	Top of Concrete			T.O.S.	Top of Slab			T.O.W.	Top of Wall			V.T.O.	Vent to outside			W.C.	Water Closet			WD.	Wood
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		<div>PROJECT/CODE DATA</div> <div>OWNERS ADDRESS: 305 PECKHAM COURT LAKEPORT, CA. 95453</div> <div>APN: 006-049-09</div> <div>CBC CONSTRUCTION TYPE: N/A</div> <div>OCCUPANCY: CHURCH</div> <div>ZONING: CITY</div> <div>TOTAL BUILDING AREA: + EXISTING CONDITIONED AREA: N/A S.F. + ADDED CONDITIONED AREA: N/A S.F. + TOTAL: N/A S.F.</div> <div>ALLOWABLE BUILDING HEIGHT: 35'-0"</div> <div>UTILITIES POWER: EXISTING WATER: EXISTING SEWER: EXISTING</div> <div>ASSUMED LOAD CRITERIA: THE MINIMUM UNIFORMLY DISTRIBUTED LIVE LOAD SHALL BE AS PROVIDED IN TABLE R301.5.</div> <div>THE ACTUAL WEIGHTS OF MATERIALS AND CONSTRUCTION SHALL BE USED FOR DETERMINING DEAD LOAD WITH CONSIDERATION FOR THE DEAD LOAD OF FIXED SERVICE EQUIPMENT.</div> <div>THE ALLOWABLE DEFLECTION OF ANY STRUCTURAL MEMBER UNDER THE LIVE LOAD LISTED IN SECTIONS R301.5 AND R301.6 SHALL NOT EXCEED THE VALUES IN TABLE R301.7.</div> <div>-SEISMIC: D2 -CLIMATE ZONE 2, NO SNOW LOAD -WIND: BASIC WIND SPEED 85 MPH, EXPOSURE C -ROOF: 16 PSF LL/24 PSF DL -FLOOR: 40 PSF LL/10 PSF DL -WALLS: 20 PSF DL</div>	<div>SYMBOL LEGEND</div> <table><tr><td>(#) DOOR No.</td><td>(#) EQUIPMENT No.</td><td>(#) DETAIL No. AX.0 SHEET LOCATION</td></tr><tr><td>(#) WINDOW No.</td><td>ROOM 0'-0" ROOM NAME CEILING HL.</td><td>(#) SECTION No. AX.0 SHEET LOCATION</td></tr><tr><td>A VIEW</td><td>(#) KEY NOTE</td><td>(#) FINISH No. AX.0 SHEET LOCATION</td></tr></table>	(#) DOOR No.	(#) EQUIPMENT No.	(#) DETAIL No. AX.0 SHEET LOCATION	(#) WINDOW No.	ROOM 0'-0" ROOM NAME CEILING HL.	(#) SECTION No. AX.0 SHEET LOCATION	A VIEW	(#) KEY NOTE	(#) FINISH No. AX.0 SHEET LOCATION	<div>DRAWING INDEX</div> <table><tr><td>ARCHITECTURAL A0.1 COVER SHEET A1.0 FLOOR PLAN "BY OTHERS" A2.0 ELEVATIONS A2.1 ELEVATIONS</td><td>DEFERED SUBMITTALS: MANUFACTURED TRUSS ENGINEERING ALL SUBMITTALS MUST BE APPROVED BY THE BUILDING DEPARTMENT PRIOR TO INSTALLATION.</td></tr><tr><td>CIVIL C1.0 SITE PLAN</td><td>FIRE</td></tr><tr><td>ELECTRICAL</td><td></td></tr><tr><td>PLUMBING</td><td></td></tr><tr><td>LANDSCAPING L5.1 LANDSCAPING PLAN</td><td></td></tr></table>	ARCHITECTURAL A0.1 COVER SHEET A1.0 FLOOR PLAN "BY OTHERS" A2.0 ELEVATIONS A2.1 ELEVATIONS	DEFERED SUBMITTALS: MANUFACTURED TRUSS ENGINEERING ALL SUBMITTALS MUST BE APPROVED BY THE BUILDING DEPARTMENT PRIOR TO INSTALLATION.	CIVIL C1.0 SITE PLAN	FIRE	ELECTRICAL		PLUMBING		LANDSCAPING L5.1 LANDSCAPING PLAN																																																																																													
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ARCHITECTURAL A0.1 COVER SHEET A1.0 FLOOR PLAN "BY OTHERS" A2.0 ELEVATIONS A2.1 ELEVATIONS	DEFERED SUBMITTALS: MANUFACTURED TRUSS ENGINEERING ALL SUBMITTALS MUST BE APPROVED BY THE BUILDING DEPARTMENT PRIOR TO INSTALLATION.																																																																																																																		
CIVIL C1.0 SITE PLAN	FIRE																																																																																																																		
ELECTRICAL																																																																																																																			
PLUMBING																																																																																																																			
LANDSCAPING L5.1 LANDSCAPING PLAN																																																																																																																			
	<div>WATER EFFICIENCY</div> <div>PLUMBING FIXTURES AND FITTINGS SHALL COMPLY WITH THE FOLLOWING: WATER CLOSETS 4.303.1.1: LESS THAN OR EQUAL TO 1.28 GAL/FLUSH.</div> <div>SINGLE SHOWERHEADS 4.303.1.3.1: LESS THAN OR EQUAL TO 2.0 GPM @ 80 PSI.</div> <div>MULTIPLE SHOWERHEADS 4.303.1.3.2: COMBINED FLOW RATE OF ALL SHOWERHEADS CONTROLLED BY A SINGLE VALVE SHALL NOT EXCEED 2.0 GPM @ 80 PSI, OR ONLY ONE SHOWER OUTLET IS TO BE IN OPERATION AT A TIME.</div> <div>RESIDENTIAL LAVATORY FAUCETS 4.303.1.4.1: MAXIMUM FLOW RATE LESS THAN OR EQUAL TO 1.2 GPM @ 60 PSI; MINIMUM FLOW RATE LESS THAN OR EQUAL TO 0.8 GPM @ 20 PSI.</div> <div>KITCHEN FAUCETS 4.303.1.4.4: LESS THAN OR EQUAL TO 1.8 GPM @ 60 PSI; TEMPORARY INCREASE TO 2.2 GPM ALLOWED BUT SHALL DEFAULT TO 1.8 GPM.</div> <div>STANDARDS FOR PLUMBING FIXTURES AND FITTINGS: PLUMBING FIXTURES AND FITTINGS SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA PLUMBING CODE, AND SHALL MEET APPLICABLE STANDARDS REFERENCED IN TABLE 1701.1 OF THE CALIFORNIA PLUMBING CODE.</div> <div>AT THE TIME OF FINAL INSPECTION, A MANUAL, COMPACT DISC, WEB-BASED REFERENCE OR OTHER MEDIA ACCEPTABLE TO THE ENFORCING AGENCY WHICH COVERS 10 SPECIFIC SUBJECT AREAS SHALL BE PLACED IN THE BUILDING.</div>	<div>DESIGN CRITERIA</div> <div>2016 CBC, CPC, CMC, AND CFC WITH CALIFORNIA HEALTH AND SAFTY CODES.</div> <div>2016 CEC ENERGY EFFICIENCY AND GREEN BUILDING STANDARDS.</div> <div>TO THE BEST OF MY KNOWLEDGE THESE PLANS ARE DRAWN TO COMPLY WITH THE OWNER'S SPECIFICATIONS AND ANY CHANGES MADE ON THEM AFTER PRINTS ARE MADE WILL BE DONE AT THE OWNER'S EXPENSE AND RESPONSIBILITY. THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND ENCLOSED DRAWING. LOST COAST DESIGNS IS NOT LIABLE FOR ERRORS ONCE CONSTRUCTION HAS BEGUN. WHILE EVERY EFFORT HAS BEEN MADE IN THE PREPARATION OF THIS PLAN TO AVOID MISTAKES, THE MAKER CAN NOT GUARANTEE AGAINST HUMAN ERROR. THE CONTRACTOR OF THE JOB MUST CHECK ALL DIMENSIONS AND OTHER DETAILS PRIOR TO CONSTRUCTION AND BE SOLELY RESPONSIBLE THEREAFTER.</div>																																																																																																																	

REVISIONS	BY
<div>△</div>	
OWNER: NEW HOPE FELLOWSHIP CHURCH 305 PECKHAM COURT LAKEPORT, CA. 95453	
ROBIN WEBSTER DESIGNS P.O. BOX 181 NICE, CA 95464 707-349-5773 707-349-5873	
PROJECT DESCRIPTION: NEW METAL BUILDING	
SHEET TITLE COVER SHEET	
DRAWN BY:	ROBIN
CHECKED BY:	ROBIN
DATE:	06/10/19
SIGNATURE	
SCALE	NONE
SHEET A0.1	

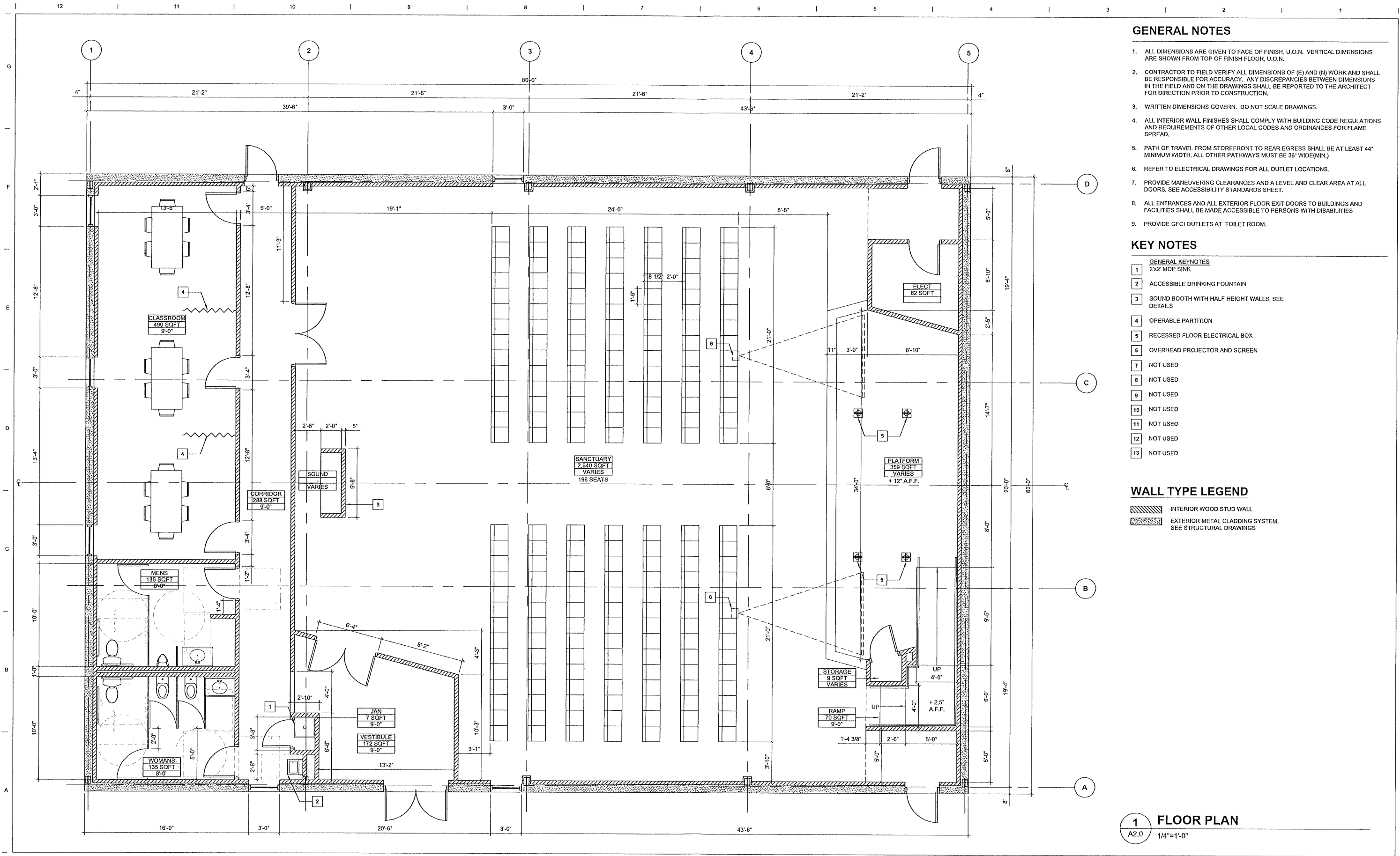
SQUARE BUBBLE REFERS
TO GENERAL NOTES
SEE SHEET A0.1
ELLIPTIC BUBBLE REFERS
KEYED NOTES
ON SAME SHEET
ROUND BUBBLE REFERS
TO ENGINEERING NOTES



KEY NOTES

PROVIDE LEVEL LANDINGS AT EXT. DOORS, MIN. WIDTH OF DOOR AND WITH A MIN. RUN OF 36" WITH MAX. OF 7-3/4" BELOW FINISHED FLOOR.

REVISIONS	BY
OWNER: NEW HOPE FELLOWSHIP CHURCH 305 PECKHAM COURT LAKEPORT, CA. 95453	
ROBIN WEBSTER DESIGNS P.O. BOX 181 NOE CA 95464 707-849-5773 707-849-5873	
PROJECT DISCRPTION: NEW METAL BUILDING	
TITLE SHEET	
ELEVATIONS	
DRAWN BY: ROBIN	
CHECKED BY: ROBIN	
DATE: 06/10/19	
SIGNATURE	
SCALE 1/4" = 1'-0"	
SHEET	
A2.0	



GENERAL NOTES

1. ALL DIMENSIONS ARE GIVEN TO FACE OF FINISH, U.O.N. VERTICAL DIMENSIONS ARE SHOWN FROM TOP OF FINISH FLOOR, U.O.N.
2. CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS OF (E) AND (N) WORK AND SHALL BE RESPONSIBLE FOR ACCURACY. ANY DISCREPANCIES BETWEEN DIMENSIONS IN THE FIELD AND ON THE DRAWINGS SHALL BE REPORTED TO THE ARCHITECT FOR DIRECTION PRIOR TO CONSTRUCTION.
3. WRITTEN DIMENSIONS GOVERN. DO NOT SCALE DRAWINGS.
4. ALL INTERIOR WALL FINISHES SHALL COMPLY WITH BUILDING CODE REGULATIONS AND REQUIREMENTS OF OTHER LOCAL CODES AND ORDINANCES FOR FLAME SPREAD.
5. PATH OF TRAVEL FROM STOREFRONT TO REAR EGRESS SHALL BE AT LEAST 44" MINIMUM WIDTH, ALL OTHER PATHWAYS MUST BE 36" WIDE(MIN.)
6. REFER TO ELECTRICAL DRAWINGS FOR ALL OUTLET LOCATIONS.
7. PROVIDE MANEUVERING CLEARANCES AND A LEVEL AND CLEAR AREA AT ALL DOORS, SEE ACCESSIBILITY STANDARDS SHEET.
8. ALL ENTRANCES AND ALL EXTERIOR FLOOR EXIT DOORS TO BUILDINGS AND FACILITIES SHALL BE MADE ACCESSIBLE TO PERSONS WITH DISABILITIES
9. PROVIDE GFCI OUTLETS AT TOILET ROOM.

KEY NOTES

- GENERAL KEYNOTES
- 1 2x2' MOP SINK
 - 2 ACCESSIBLE DRINKING FOUNTAIN
 - 3 SOUND BOOTH WITH HALF HEIGHT WALLS, SEE DETAILS
 - 4 OPERABLE PARTITION
 - 5 RECESSED FLOOR ELECTRICAL BOX
 - 6 OVERHEAD PROJECTOR AND SCREEN
 - 7 NOT USED
 - 8 NOT USED
 - 9 NOT USED
 - 10 NOT USED
 - 11 NOT USED
 - 12 NOT USED
 - 13 NOT USED

WALL TYPE LEGEND

- INTERIOR WOOD STUD WALL
- EXTERIOR METAL CLADDING SYSTEM, SEE STRUCTURAL DRAWINGS

1 FLOOR PLAN

A2.0 1/4"=1'-0"

NEW HOPE FELLOWSHIP

305 PECKHAM COURT
LAKEPORT, CA. 95453
APN: 005-049-09



FOUST ARCHITECTURE
330 Capistrano Ave.
San Francisco, CA 94112
brian@foustarchitecture.com
T: 415.615.2418



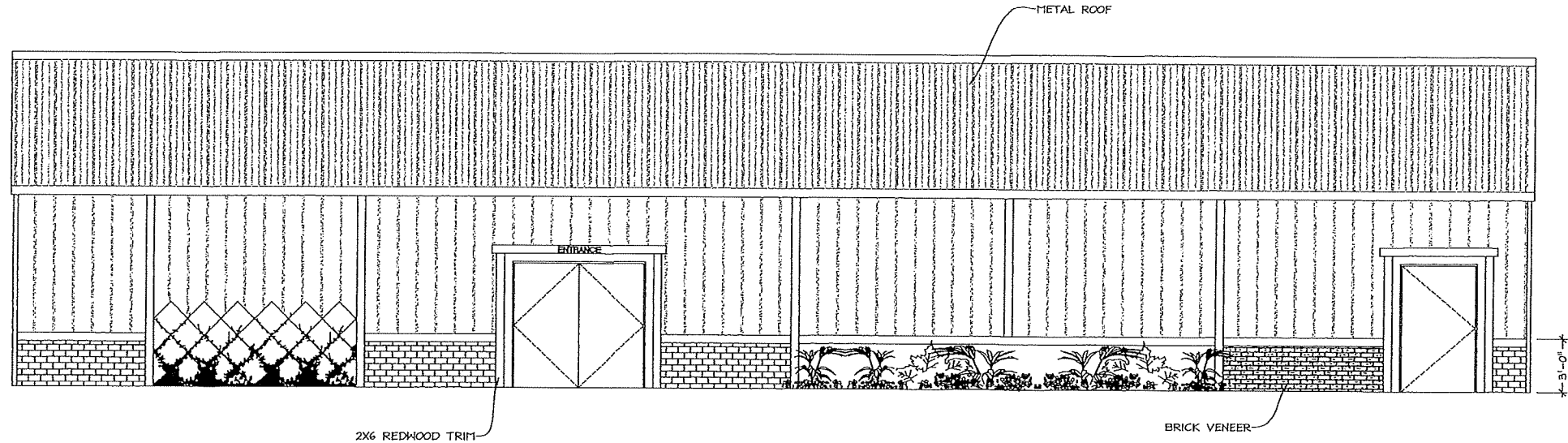
Brian Foust

No.	Date	Issue
10.22.2019	10.22.2019	PLANNING RESPONSE TO COMMENTS

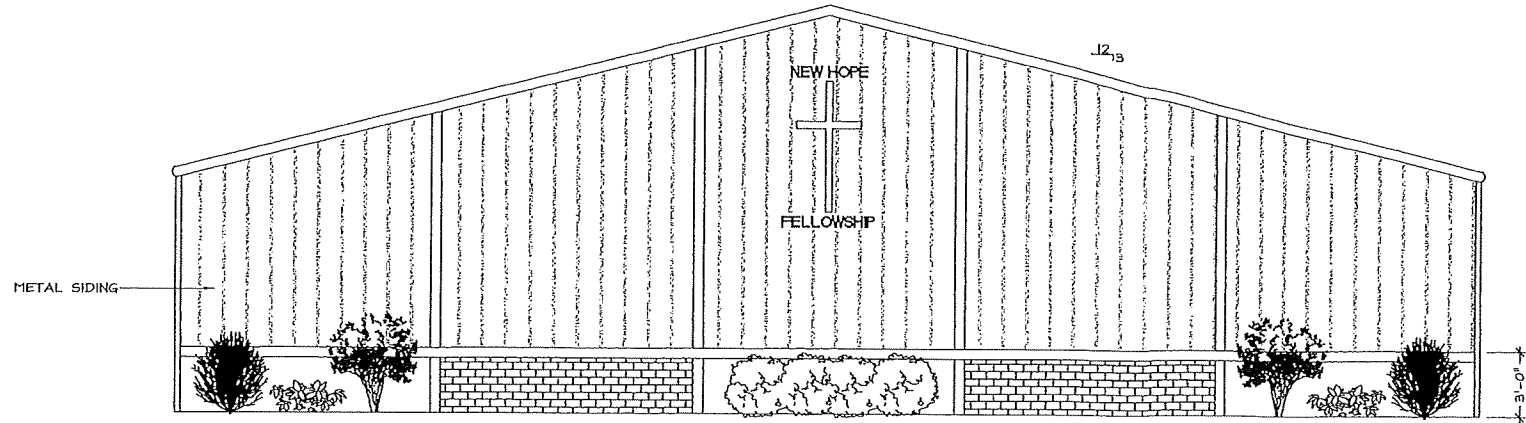
Project No.	Scale
1914	1/4"=1'-0"
Sheet Title	
PROPOSED PLANS	

A2.0

SQUARE BUBBLE REFERS
TO GENERAL NOTES
SEE SHEET A0.1
ELLIPTIC BUBBLE REFERS
KEYED NOTES
ON SAME SHEET
ROUND BUBBLE REFERS
TO ENGINEERING NOTES



NORTH ELEVATION

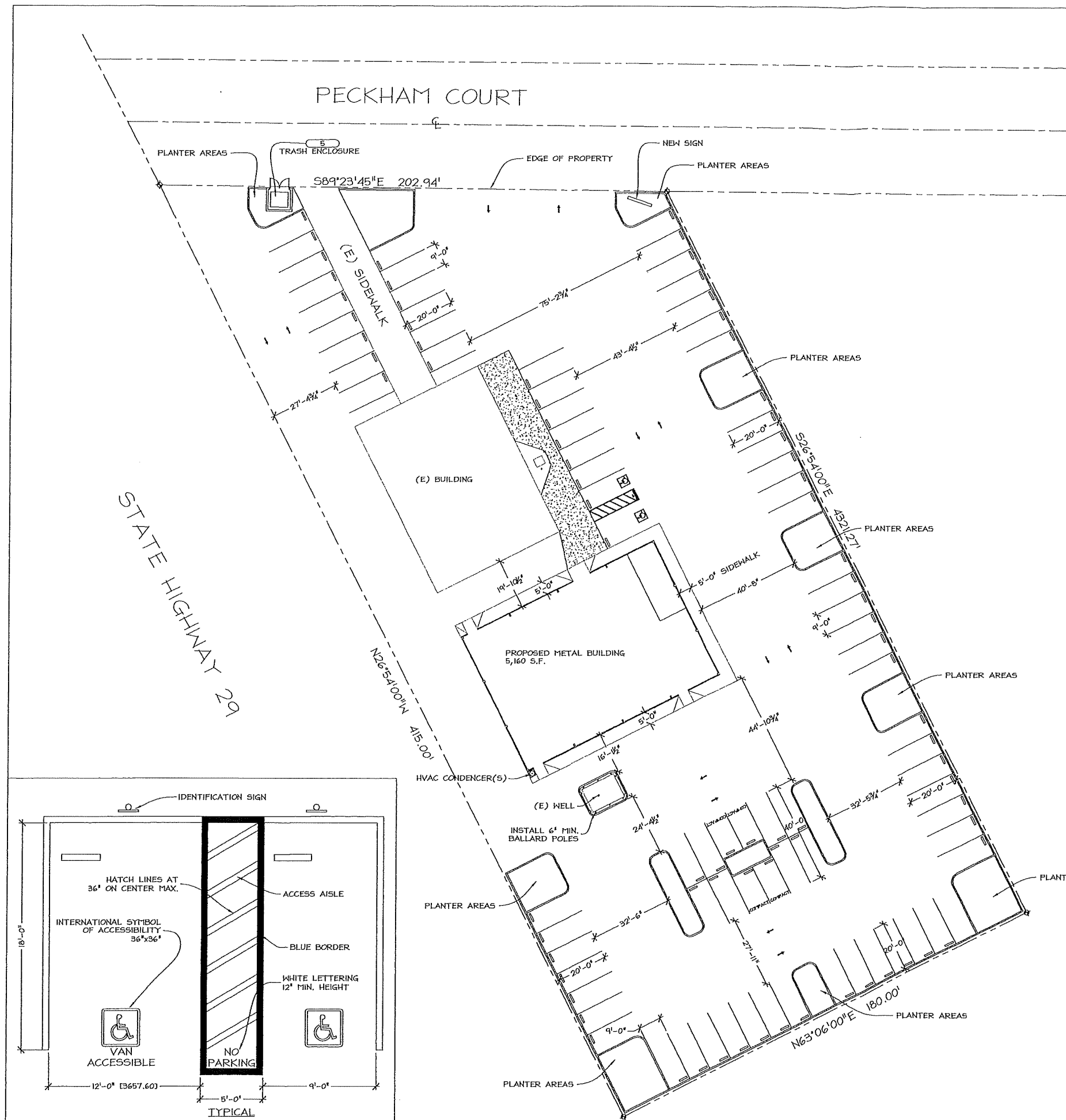


EAST ELEVATION

KEY NOTES

SEE SHEET A2.0

REVISIONS		BY
△		
OWNER: NEW HOPE FELLOWSHIP CHURCH 305 PECKHAM COURT LAKEPORT, CA. 95453		
ROBIN WEBSTER DESIGNS P.O. BOX 181 NIDE, CA 95464 707-349-5773 707-349-5878		
PROJECT DESCRIPTION: NEW METAL BUILDING		
TITLE SHEET		
ELEVATIONS		
DRAWN BY: ROBIN		
CHECKED BY: ROBIN		
DATE: 06/10/19		
SIGNATURE		
SCALE 1/4" = 1'-0"		
SHEET		
A2.1		



PARKING REQUIREMENTS

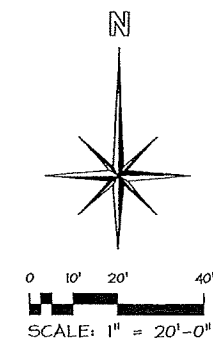
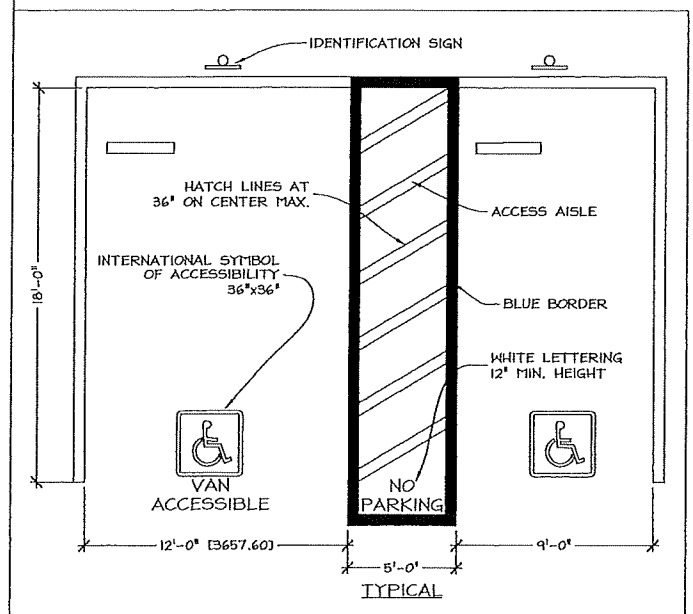
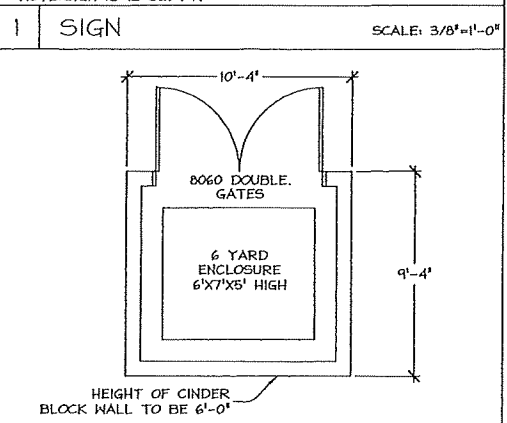
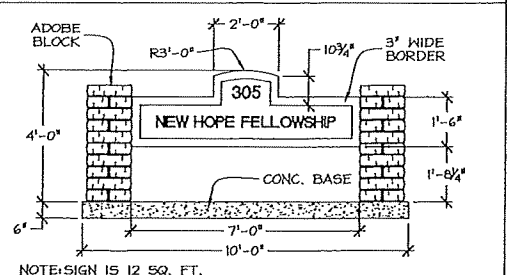
THERE IS A TOTAL OF 83 PARKING SPACES.

SECTION 46.5 STATES THAT, ONE (1) SPACE FOR EVERY FOUR (4) FIXED SEATS, OR ONE (1) SPACE PER FIFTY (50) SQUARE FEET OF AREA IN CHURCH OR AUDITORIUM, PLUS ONE (1) SPACE PER SIX HUNDRED (600) SQUARE FEET OF FLOOR AREA OF ALL FACILITIES

EACH PARKING SPACE TO BE 20'-0" DEEP AND 9'-0" WIDE.

PARKING FOR COMPACT CARS TO BE MIN. 7'-1/2"X16'. CURRENT PROPOSED COMPACT PARKING SPACES ARE 16'-0" DEEP AND 9'-0" WIDE.

- KEY NOTES**
- 1 APN#S 005-049-09
 - 2 PROPERTY SIZE = 1.53 ACRES
 - 3 DRAINAGE R401.3. SURFACE DRAINAGE SHALL BE DIVERTED TO A STORM SEWER CONVEYANCE OR OTHER APPROVED POINT OF COLLECTION THAT DOES NOT CREATE A HAZARD. LOTS SHALL BE GRADED TO DRAIN SURFACE WATER AWAY FROM FOUNDATION WALLS. THE GRADE SHALL FALL A MINIMUM OF 6 INCHES WITHIN THE FIRST 10 FEET.
 - 4 THE PARKING LOT AND DRIVE WAY WILL HAVE 3" OF ASPHALT CONCRETE ON 8" OF BASE ROCK.
 - 5 CAL GREEN CODES:
 - RECYCLE AND/OR SALVAGE FOR REUSE A MINIMUM OF 65% OF THE NONHAZARDOUS CONSTRUCTION AND DEMOLITION WASTE IN ACCORDANCE WITH EITHER SECTION 4.408.2, 4.408.3 OR 4.408.4; OR MEET A MORE STRINGENT LOCAL CONSTRUCTION AND DEMOLITION WASTE MANAGEMENT ORDINANCE.
 - 6 4.408.1 DOCUMENTATION IS REQUIRED PER SECTION 4.408.5.
 - EXCEPTIONS:
 - 1. EXCAVATED SOIL AND LAND-CLEARING DEBRIS.
 - 2. ALTERNATIVE WASTE REDUCTION METHODS DEVELOPED BY WORKING WITH LOCAL ENFORCING AGENCIES IF DIVERSION OR RECYCLE FACILITIES CAPABLE OF COMPLIANCE WITH THIS ITEM DO NOT EXIST OR ARE NOT LOCATED REASONABLY CLOSE TO THE JOBSITE.
 - 3. THE ENFORCING AGENCY MAY MAKE EXCEPTIONS TO THE REQUIREMENTS OF THIS SECTION WHEN ISOLATED JOBSITES ARE LOCATED IN AREAS BEYOND THE HAUL BOUNDARIES OF THE DIVERSION FACILITY.
 - 7 4.408.2 SUBMIT A CONSTRUCTION WASTE MANAGEMENT PLAN MEETING ITEMS 1 THROUGH 5 IN SECTION 4.408.2. PLANS SHALL BE UPDATED AS NECESSARY AND SHALL BE AVAILABLE FOR EXAMINATION DURING CONSTRUCTION.
 - 8 4.408.3 UTILIZE A WASTE MANAGEMENT COMPANY, APPROVED BY THE ENFORCING AGENCY, WHICH CAN PROVIDE VERIFIABLE DOCUMENTATION THAT DIVERTED CONSTRUCTION AND DEMOLITION WASTE MATERIALS MEET THE REQUIREMENTS IN SECTION 4.408.1.
 - 9 4.408.4, 4.408.4.1 (LR) PROJECTS THAT GENERATE A TOTAL COMBINED WEIGHT OF CONSTRUCTION AND DEMOLITION WASTE DISPOSED IN LANDFILLS, WHICH DO NOT EXCEED 3.4 POUNDS PER SQUARE FOOT OF THE BUILDING AREA SHALL MEET THE MINIMUM 65% CONSTRUCTION WASTE REDUCTION REQUIREMENT IN SECTION 4.408.1. PROJECTS THAT GENERATE A TOTAL COMBINED WEIGHT OF CONSTRUCTION AND DEMOLITION WASTE DISPOSED IN LANDFILLS, WHICH DO NOT EXCEED 2 POUNDS PER SQUARE FOOT OF THE BUILDING AREA, SHALL MEET THE MINIMUM 65% CONSTRUCTION WASTE REDUCTION REQUIREMENT IN SECTION 4.408.1.

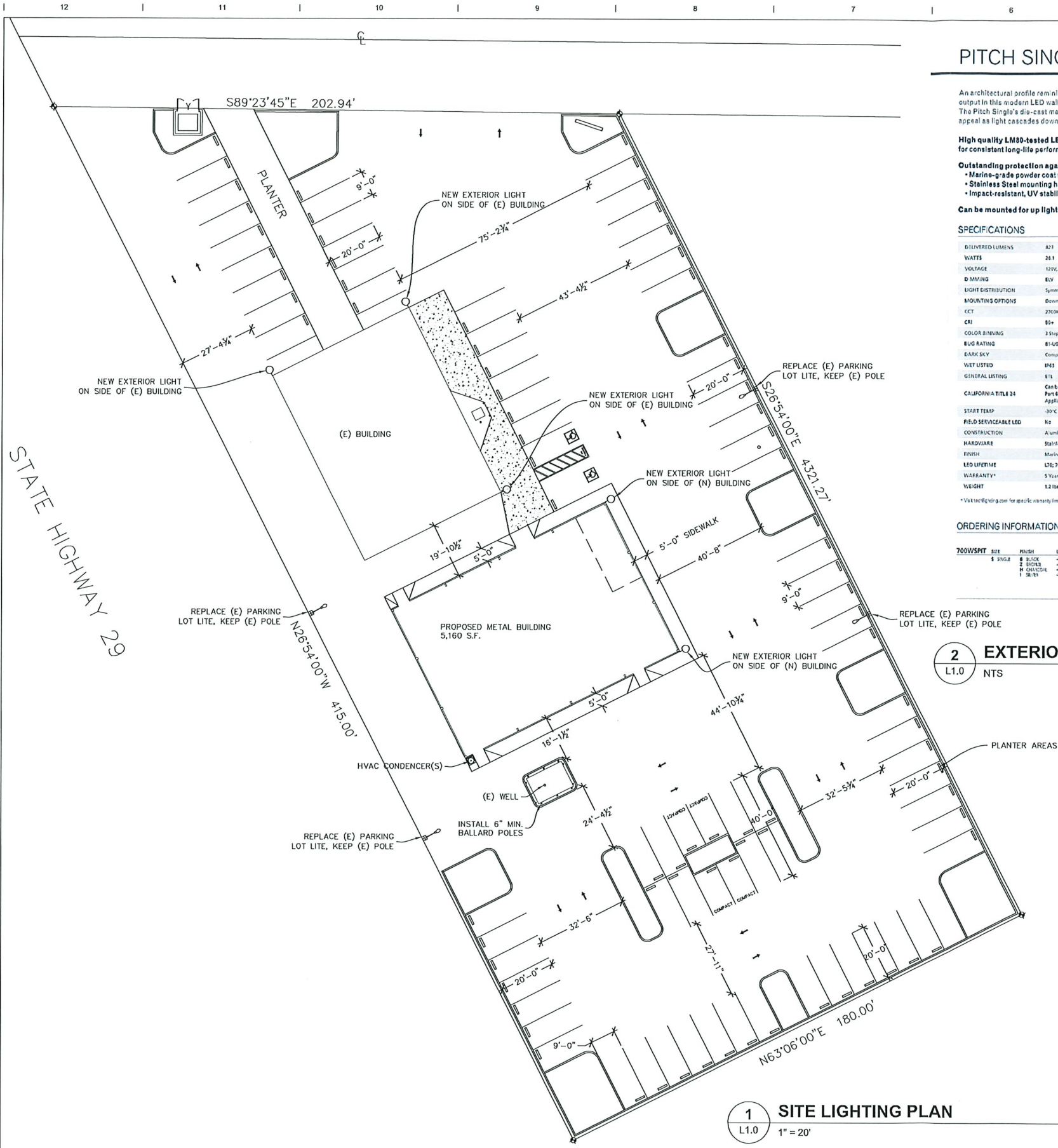


REVISIONS	BY

OWNER: NEW HOPE FELLOWSHIP CHURCH 305 PECKHAM COURT LAKEPORT, CA. 95453	DESIGNER: ROBIN WEBSTER DESIGNS P.O. BOX 181 NCE, CA. 95464 707-349-5773 707-349-5573	PROJECT DESCRIPTION: NEW METAL BUILDING
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TITLE SHEET
SITE PLAN
DRAWN BY: ROBIN
CHECKED BY: ROBIN
DATE: 06/10/19
SIGNATURE
SCALE: AS NOTED
SHEET

C1.0



1 SITE LIGHTING PLAN
L1.0 1" = 20'

PITCH SINGLE WALL SCONCE



An architectural profile reminiscent of beautifully classic roof lines delivers significant light output in this modern LED wall sconce suitable for both indoor and outdoor applications. The Pitch Single's die-cast metal body houses powerful LED light sources that create visual appeal as light cascades down along a wall.

High quality LM80-tested LEDs for consistent long-life performance and color

Outstanding protection against the elements:

- Marine-grade powder coat finishes
- Stainless Steel mounting hardware
- Impact-resistant, UV stabilized frosted acrylic lensing

Can be mounted for up lighting or down lighting

SPECIFICATIONS

DELIVERED LUMENS	821
WATTS	28.1
VOLTAGE	120V, 277V
DIMMING	ELV
LIGHT DISTRIBUTION	Symmetric
MOUNTING OPTIONS	Downlight or Uplight
ECT	2700K, 3000K
CRI	90+
COLOR RENDERING	3 Step
BUG RATING	81-90-99
DARK SKY	Compliant (Downlight)
WET LISTED	IP65
GENERAL LISTING	ETL
CALIFORNIA TITLE 24	Can be used to comply with CEC 2016 Title 24 Part 6 for outdoor use. Registration with CEC Appliance Database not required.
START TEMP	-30°C
FIELD SERVICEABLE LED	No
CONSTRUCTION	Aluminum
HARDWARE	Stainless Steel
FINISH	Marine Grade Powder Coat
LED LIFETIME	47K: 70,000 Hours
WARRANTY*	5 Years
WEIGHT	1.2 lbs.

*Visit techlighting.com for specific warranty limitations and details.

ORDERING INFORMATION

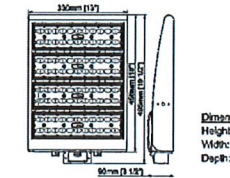
760WSPIT	SIZE	FINISH	LAMP*
4	3/16"	BL/CK	4-LED821
2	5/16"	BL/CK	4-LED821
1	5/8"	BL/CK	4-LED821

techlighting.com

2 EXTERIOR WALL SCONCE LIGHTING
L1.0 NTS

Features & Specifications

PLT
AREA LIGHTS



INTENDED USE - LED area lights are all-purpose area lighting fixtures that can be used for parking lots, car dealerships, outdoor stadiums, pathways and parks. These LED fixtures will yield a significant reduction in energy consumption compared to standard HID systems and virtually eliminate ongoing maintenance expenses with a long-lasting lifespan. Designed for outdoor applications, the LED area light fixtures will provide reduced off-site visibility as well as effective security lighting.

CONSTRUCTION - Heavy-duty die cast aluminum housing with bronze polyester powder paint for corrosion-free durability. Resistant to rough vibrations and external impacts. Acrylic lens protects the LEDs and provides even light distribution. Housing is sealed with a silicone gasket, protecting against moisture and environmental contaminants (IP65 rated). Modular LED bricks wired in parallel for ease of maintenance.

OPTICS - High-performance LEDs maintain a 39,000 Lumen output at 4000K for 70,000 hours of use, >70 CRI.

Type III light distribution is intended for perimeter lighting of parking lots and along the edges of an open area as well as large roadways and parking lot aisles. It casts more light forward so that it can be used to light roads and pathways from the side of the road rather than being installed in the median.

LED area lights are designed to have a more directional beam angle than metal halide and high pressure sodium fixtures so no light is lost within or above the fixture. These LED fixtures also do not lose lumens in the same way as a HID fixture, meaning the brightness stays constant longer and needs to be replaced far less frequently.

ELECTRICAL - Input voltage of 120-277 VAC, 60/60Hz. Includes 4V surge protection standard. 10KV and 20KV optional. Includes a shunting cap and photocell receptacle. Features a Meanwell LED Driver.

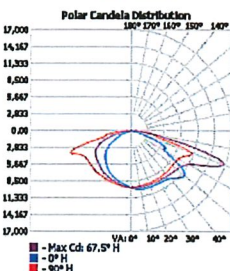
INSTALLATION - Versatile mount design can be used with different styles of mounts, including slipfitter, straight arm, trunion, and a bracket. Mounts sold separately.

LISTINGS - UL Certified to safety standards for wet location. Rated for -40°C to 45°C ambient temperature. IP-65 Rated, IK10 rated - protected against 20 joules of impact. DesignLights Consortium® (DLC) qualified product. DLC Part Number #: PLT873X11X2.

WARRANTY - 5-year warranty. PLT products that are damaged or defective will be repaired or replaced at PLT's choosing for a period of 5 years. Contact 1-800-624-4488 for more information.

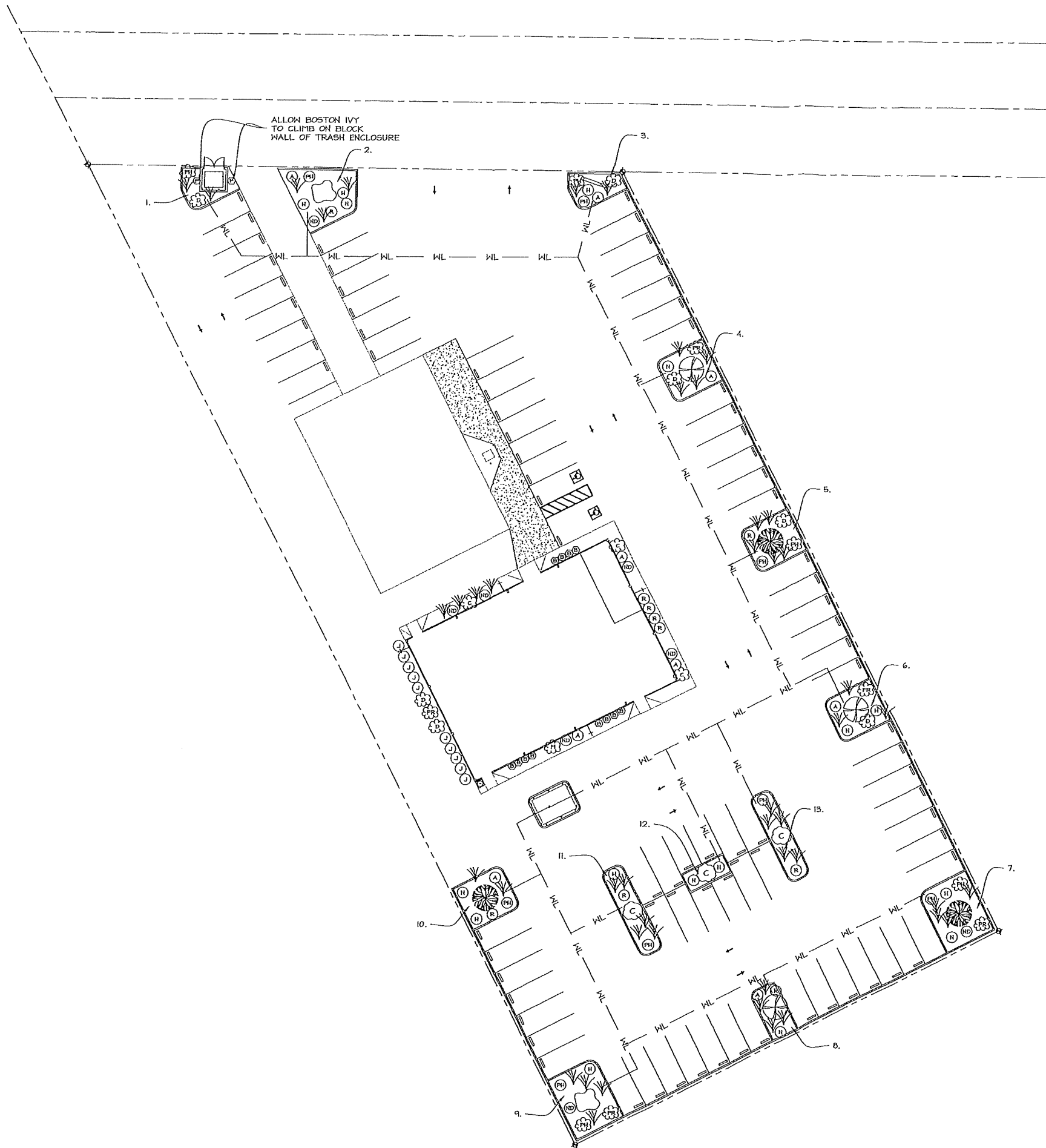
ADD-ONS - Pair with timers, photocells, and motion sensors for hassle free bright night time lighting and energy savings during the day. If paired with a photocell, it must be LED compatible in order to operate properly. If using a conventional photocell, be sure to replace it with one rated for use with LEDs. While conventional light sensors will still work with LED fixtures at first, they will burn out prematurely. The same is true for motion sensors.

If you live in the northern hemisphere, your photocell should face north whenever possible. North-facing light sensors allow for the most balanced on/off schedule based on the arc of the sun. If pointed west, it will turn on and off late and vice versa for east-facing light sensors. Photocells facing the south will be exposed to the most direct sunlight which can burn out the components and cause premature failure. If you want your lights to come on early or late, we recommend pointing the light sensor northeast or northwest, respectively. The opposite is true south of the equator.



SKU #	Kelvin	Lumens	CRI	Wattage	Voltage	DLC?	Mounting	Life Hours	Warranty
PLT-11554	4000	39,000	70	300	120-277	Yes	Pole or Wall	70,000	5 Years

3 EXTERIOR PARKING LOT LIGHTS
L1.0 NTS



PLANTER AREAS

- PARKING LOT IS 54,077 S.F.
1. 243 S.F.
 2. 487 S.F.
 3. 203 S.F.
 4. 329 S.F.
 5. 329 S.F.
 6. 329 S.F.
 7. 475 S.F.
 8. 294 S.F.
 9. 475 S.F.
 10. 329 S.F.
 11. 275 S.F.
 12. 119 S.F.
 13. 275 S.F.
- 4,162 TOTAL S.F.

KEY NOTES

1. PLAN IS DIAGRAMMATIC IN NATURE, LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR CORRECT PLANT PLACEMENT.
2. ALL TREES AND PLANTS TO GET FERTILIZER TABLETS AT TIME OF PLANTING, AND EXISTING SOIL TO BE AMENDED WITH NITRO DUST FOR PLANTING PITTS.
3. ALL PLANTERS TO BE SLOPED FOR PROPER DRAINAGE.
4. ALL LARGE TREES WITHIN 3' OF CURB OR WALKWAYS TO GET ROOT BARRIERS.
5. ALL TREES TO BE DOUBLE STAKED AND TIED.

PLANT LEGEND

TREE LEGEND

- | SYMBOL | PLANT NAME | QTY |
|--------|--|-----|
| (L) | LAGERSTOEMIA, GRAPE MYRTLE "CHEROKEE RED" - 30' TALL, 15 GAL | 3 |
| (N) | LAURUS NOBILIS, SWEET BAY - 12' TO 40' TALL, 15 GAL | N/A |
| (M) | MAGNOLIA GRANDIFLORA - 80' TALL WITH 40' SPREAD, 15 GAL | 3 |
| (MA) | MALUS, FLOWERING CRABAPPLE "AMERICAN BEAUTY" - 30' TALL WITH 18' SPREAD, 24" BOX | 2 |
| (Q) | QUERCUS LOBATA, VALLEY OAK - 70' TALL, 15 GAL | N/A |
| (C) | CUPRESSOCYPARIS LEYLANDII - 15' TO 20' TALL, 15 GAL | 3 |

LARGE SCRUBS

- | SYMBOL | PLANT NAME | QTY |
|--------|--|-----|
| (M) | MAGNOLIAS, SOULANGIANA - 25' TALL, 15 GAL | 3 |
| (P) | PHORMIUM, NEW ZEALAND FLAX "TENAX" - 9' TALL, 5 GAL | 5 |
| (C) | CISTUS HYBRIDUS, ROCK ROSE - 2' TO 5' TALL, 5 GAL | 3 |
| (N) | NERIUM OLEANDER - 15' TALL, 5 GAL | N/A |
| (D) | DIETES, FORTNIGHT LILYS - 4'X3', 1 GAL | 7 |
| (P) | PRUNUS CAROLINIANA, LAUREL CHERRY - 20' TALL, 15 GAL | 4 |

SMALL SCRUBS

- | SYMBOL | PLANT NAME | QTY |
|--------|---|-----|
| (N) | PHORMIUM, NEW ZEALAND FLAX "RAINBOW" - 4' TALL, 5 GAL | 7 |
| (N) | NANDINA DOMESTICA COMPACTA "HEAVENLY BAMBOO" - 6' TO 8' TALL, 5 GAL | 8 |
| (A) | AGAPANTHUS "LILY OF THE NILE" - 1-1/2' TALL, 1 GAL | 9 |
| (J) | JUNIPER HORIZONTALIS "BLUE RUG" - 12' TALL 3' OC, 1 GAL | 10 |
| (N) | NANDINA "NANA COMPACTA" - 1-1/2' TO 2' TALL, 1 GAL | 8 |
| (R) | ROSMARINUS OFFICINALIS "ROSEMARY" - 2' TO 6' TALL, 1 GAL | 6 |
| (H) | HEMEROCALLIS DAYLILLYS "RED-ORANGE" - 1-1/2' TALL, 1 GAL | 7 |

GRASSES

- | SYMBOL | PLANT NAME | QTY |
|--------|--|-----|
| (V) | CALAMAGROSTIS ARUNDINACEA, "KARL FOERSTER" 3' TALL | 14 |
| (V) | MUHLENBERGIA RIGENS, "MUHLY" 2' TALL | 12 |
| (V) | NASSELLA TENUISSIMA, "MEXICAN FEATHER GRASS" 2' TALL | 11 |
| (V) | FESTUCA OVINA, "SHEEP FESCUE" 2' TALL | 10 |

TURF GRASS

- | SYMBOL | PLANT NAME | QTY |
|--------|---|-----|
| (D) | RTF - RHIZOMATOUS, TALL FESCUE - APPROX 6,000 SQ. FT. | N/A |

GROUND COVER

- | SYMBOL | PLANT NAME | QTY |
|--------|---|-----|
| (*) | COTONEASTER DAMMERI "CORAL BEAUTY" - 3' OC. 3' TO 6" TALL 8' WIDE | N/A |
| (*) | ERIGERON KARVINSKIANUS "SANTA BARBARA DAISY" - 1-1/2' TALL | N/A |

CLIMBER PLANTS

- | SYMBOL | PLANT NAME | QTY |
|--------|--|-----|
| (P) | PARTHENOCISSUS TRICUSPIDATA "BOSTON IVY" | 2 |
| (B) | BOUGAINVILLEA | 12 |

D.C.

- | SYMBOL | PLANT NAME | QTY |
|--------|--------------------|-----|
| (D) | DECOMPOSED GRANITE | N/A |

PLUMBING SYMBOLS

- | SYMBOL | PLANT NAME | QTY |
|--------|-------------------|-----|
| (+) | HOSE BIB "SPIGOT" | N/A |

PLUMBING LEDGER

- | SYMBOL | PLANT NAME | QTY |
|--------|------------|-----|
| (W) | WATER LINE | N/A |

NOTE: WATER LINE TO PLANTING AREA CAN BE MANUAL OR ON AN AUTOMATIC TIMER.

REVISIONS	BY

OWNER: NEW HOPE FELLOWSHIP CHURCH
305 PECKHAM COURT
LAKEPORT, CA. 95453

ROBIN WEBSTER
DESIGNS
P.O. BOX 181
MOE, CA. 95464
707-849-5778
707-849-5878

PROJECT DESCRIPTION:
NEW METAL BUILDING

TITLE SHEET
LANDSCAPE PLAN

DRAWN BY: ROBIN
CHECKED BY: ROBIN
DATE: 06/10/19

SIGNATURE

SCALE: AS NOTED
SHEET

LS1

PLANNING PROJECTS PENDING

as of
April 2, 2020

No.	Staff Assigned	File No./Name	Date Received	Progress	Next Action	PC / Staff Level
1.	Dan	GPA & Zoning Inconsistencies	6/2/2016	Staff currently preparing required exhibit maps and ordinance language for recommended General Plan and Zone changes.	C.C. review (July / August)	P.C. Approved 8/15/2018
2.	Kevin / Dan	City of Lakeport – Housing Element Update	4/2/2019	Update General Plan Housing Element.	Community Workshop	
3.	Kevin / Dan	Element 7 Lakeport LLC – UP 19-03, CE 19-07 1775 S. Main St.	4/24/2019	Application for a Use Permit and Categorical Exemption for a cannabis micro-business.	Waiting on further items from Applicant.	P.C.
4.	Kevin / Dan	Element 7 Lakeport LLC – CAN 19-02 1775 S. Main St.	4/24/2019	Application for a cannabis micro-business.	Waiting on further items from Applicant.	City Mgr. Review
5.	Kevin / Dan	North Coast Dining – ZP 19-02 & CE 19-10 350 N. Main St.	7/2/2019	Application for a Zoning Permit for outdoor seating area in front of restaurant.	Waiting on further items from applicant.	Staff
6.	Kevin / Dan	New Hope Fellowship Church – AR 19-05 & CE 19-11 - 305 Peckham Ct.	7/9/2019	Application for Architectural and Design review and Categorical Exemption for a 5,160 square foot metal building.	P.C. Review	PC Review April 8, 2020
7.	Kevin / Dan	City of Lakeport Safety Element Update		Update General Plan Safety Element to include Local Hazard Mitigation Plan.		
8.	Kevin / Dan	City of Lakeport Eleventh Street Corridor Study – OA 19-01		Proposed expansion of bicycle, pedestrian, and transit improvements along the Eleventh Street Corridor and nearby roadways.		
9.	Kevin / Dan	City of Lakeport – Downtown Sign Board Regulations - ZC 19-03 & CE 19-18		An amendment to the Lakeport Zoning Ordinance Chapter 17.12 and 17.52 concerning the regulation of portable		

				sandwich board signs in the Central Business (CB) zoning district.		
9.	Kevin / Dan	New Vista Development - AR 19-08, S 19-01, UP 19-04, ZP 19-05, and ER 19-03	10/7/2019	Application for a Combined Development Permit for the property at 1842 Todd Road in Lakeport California. The project would include the following: A Tentative Subdivision Map to subdivide a 14.89-acre parcel into eight (8) separate commercial properties. An Architectural and Design Review for the construction of ten (10) structures that include one (1) service station with bays, four (4) restaurants with drive thru facilities, two (2) restaurants, one (1) three story 70-unit hotel and three (3) commercial retail buildings. The total square footage of all the structures on the property would be approximately 94,850 square feet.	P.C. Review	P.C. Review
10.	Kevin / Dan	Lake County Tribal Health – VM 19-01 & CE 19-19	12/19/2019	Application for a Voluntary Merger of five contiguous parcels.	Staff approval.	Staff
10.	Kevin / Dan	Marlene Healey (Artsy Tarts) – AR 20-01 & CE 20-01	1/7/2020	Application for an Architectural and Design Review for a 6' fence in the rear of the business.	Building Permit Issued	Staff approved 3/4/2020
11.	Kevin / Dan	Lakeport Police Department – AR 20-02 & CE 20-03		Application for an Architectural and Design Review for an 8' fence in the rear and side of the building.	PC Review	PC Review April 8, 2020
12.	Kevin / Dan	Gillian Gallagher – UP 20-01 & CE 20-04 990 Eleventh St.	2/4/2020	Application for a Use Permit for short term rental.	PC Review	PC Review April 8, 2020
13.		Joseph Szupello Zapman Distribution – UP 20-02 & CE 20-05 – 1875 N. High St.	2/12/2020	Application for a Use Permit to do automotive repair.	Request for Reviews sent out.	PC Review

14.		Jonathan Bridges – AR 20-03, ER 20-02, GPA 20-01 & ZC 20-01	2/20/2020	Application for Architectural and Design review, Environmental Review, General Plan Amendment and Zoning Change to build a storage facility.	Request for Reviews sent out.	PC Review
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