



HISTORIC DISTRICT COMMISSION

June 18, 2018, 6:00 p.m.
Second Floor Training Room
Mason City Hall

AGENDA

- 1. CALL TO ORDER**
- 2. ROLL CALL**
- 3. PUBLIC COMMENT**
- 4. APPROVAL OF MINUTES** (March 19, 2018)
- 5. UNFINISHED BUSINESS**
 - A. Development Updates – Administrators Report
 - B. Art and Placemaking in the Historic District - Discussion
- 6. NEW BUSINESS**
 - A. 154 W. Maple Street
- 7. LIAISON REPORT**
- 8. ADJOURN**

**CITY OF MASON
HISTORIC DISTRICT COMMISSION MEETING
MINUTES OF MARCH 19, 2018**

Clinton called the meeting to order at 6:02 pm in the Second Floor Training Room at 201 West Ash Street, Mason MI.

Commissioner(s) present: Clinton, Cummings, Linsley, Shattuck
Commissioner(s) absent: Schulien, Vogel
Also present: Elizabeth Hude, Community Development Director

PUBLIC COMMENT

Loren Shattuck voiced concerns about the trees and the brush pile near the creek at the bottom of Jefferson and Park.

APPROVAL OF MINUTES

Cummings made a motion, seconded by Shattuck, to accept the meeting minutes from the January 11, 2018 meeting.

Yes (4)
No (0)
Absent (2)

MOTION APPROVED

UNFINISHED BUSINESS

- A. Development Updates – Administrators Report was provided in packet.
- B. Revised Meeting Schedule – Memo from staff was provided in packet confirming the approved new meeting dates and times – the 3rd Monday of the month at 6 p.m.

NEW BUSINESS

- A. Draft Sign Ordinance – Discussion took place on the proposed sign ordinance. Staff will review the ordinance for mention of HDC sign review requirement in the Historic District. The mural behind Wheaton's was discussed which segued into item B.
- B. Art and Placemaking in the Historic District – Discussion
The City of Mason Public Art Policy was included in the packet. Staff asked for input on how the HDC views art in the Historic District and how it should be reviewed. Shattuck stated that the HDC should have influence. Years ago there was a proposal for a mural on the side of Baja Grill facing Ash St. involving DDA funding and the Arts Council. The HDC reviewed and supported the project. Staff and commissioners will review the City ordinance Ch. 31 and bring ideas back to the next meeting.

LIAISON REPORT

Vogel gave an update on City business.

ADJOURN

Meeting adjourned at approximately 6:30 pm.



TO: Historic District Commission

FROM: Elizabeth A. Hude, AICP, Community Development Director

RE: 154 W. Maple Street

DATE: June 18, 2018

The owners of 154 W. Maple Street have submitted an application to the Planning Commission for a Special Use/Preliminary Site Plan zoning permit proposing the demolition of the existing building and new construction of a 24,287 sq. ft., three-story, mixed-use building to include mercantile, business and single-family residential. A public hearing will take place during the Planning Commission's regular meeting on Tuesday, July 10, 2018 at 6:30 p.m. or shortly thereafter.

Section 31-5(a) of the City of Mason's Ordinances requires that a permit be obtained for work "... performed within an historic district affecting the exterior appearance of a resource ...". The subject property is located within the Mason Historic District. The applicant is, therefore, requesting Historic District Commission approval.

Mason Main Street Façade Study

The Main Street Façade Study is the manual by which each building within the Mason Historic District was evaluated. The Study provided architectural consultation to the building owners and the Historic District Commission. The recommendations provided in the Study were based on the U.S. Secretary of the Interior's Standards for Rehabilitation. This property was identified as a non-contributing resource in the District. The related excerpts of the Study are attached.

U.S. Secretary of the Interior's Standards for Rehabilitation

Section 31-5(d) states that the review of any application shall follow the U.S. Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings. Section 31-5(3) lists the discretionary standards that the Commission shall consider and are as follows:

1. *The historical or architectural value and significance of the structure and its relationship to the historical value of the surrounding area.*
2. *The relationship of the exterior architectural features of the structure to the rest of the structure and the surrounding area.*
3. *The general compatibility of exterior design, arrangement, texture, and materials proposed to be used.*
4. *Other factors, including aesthetic value, which the commission considers pertinent.*

Analysis

Staff is interested in a discussion of findings from Commission members as to the proposed building and how it meets the discretionary standards above and the recommendations from the Mason Main Street Façade Study. Included in this packet are Google map images of the buildings along W. Maple Street – a north and south view. Staff offers the following recommendations for consideration:

Recommended Action

OPTION 1

The Historic District Commission approve the façade improvement proposal for 154 W. Maple Street as submitted on plans dated May 25, 2018 to the Planning Commission for a Special Use/Preliminary Site Plan zoning permit, based upon the findings that it is consistent with the standards listed in Section 31-5(3) of the Mason Code, specifically:

1. That the property is listed as a non-contributing in the City of Mason Historic District and the rehabilitation of the property will have a significant impact on the surrounding area,
2. The proposed project will restore key historic features of the building,
3. The project proposes renovations that are appropriate textures and materials for the historic structure, and
4. The proposed structure will complement and enhance the District.

Or, in the event recommendations are made for modifications to the proposal:

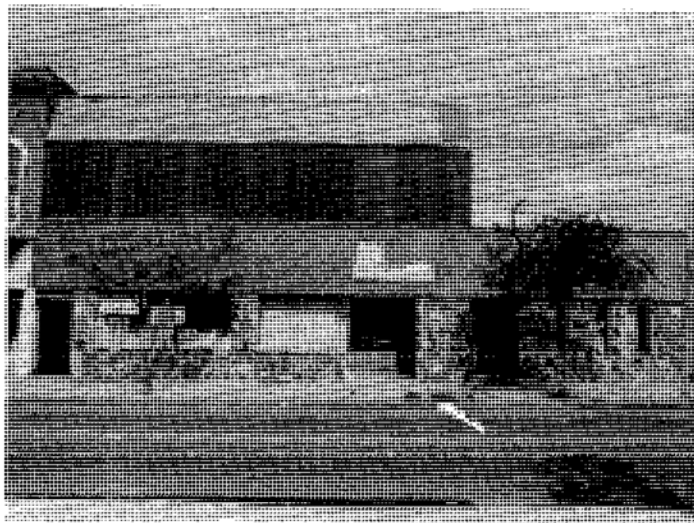
OPTION 2

The Historic District Commission approve the façade improvement proposal for 154 W. Maple Street as submitted on plans dated May 25, 2018 to the Planning Commission for a Zoning Permit – Special Use/Preliminary Site Plan, with the following modifications (need to list specific modifications):

- 1.
- 2.
- 3.
- 4.

With the modifications listed above, the Historic District finds that the proposal is consistent with the standards listed in Section 31-5(3) of the Mason Code, specifically:

1. That the property is listed as a non-contributing in the City of Mason Historic District and the rehabilitation of the property will have a significant impact on the surrounding area,
2. The proposed project will restore key historic features of the building,
3. The project proposes renovations that are appropriate textures and materials for the historic structure, and
4. The proposed structure will complement and enhance the District.



MASON BARGAIN SHOES
158 West Maple Street
1887



HISTORY: Mason Bargain Shoes is made up of two buildings. The original owner of the central building was J. Beech. The building was erected in 1887 and was a green house and flower shop, proprietor, E. Beech.

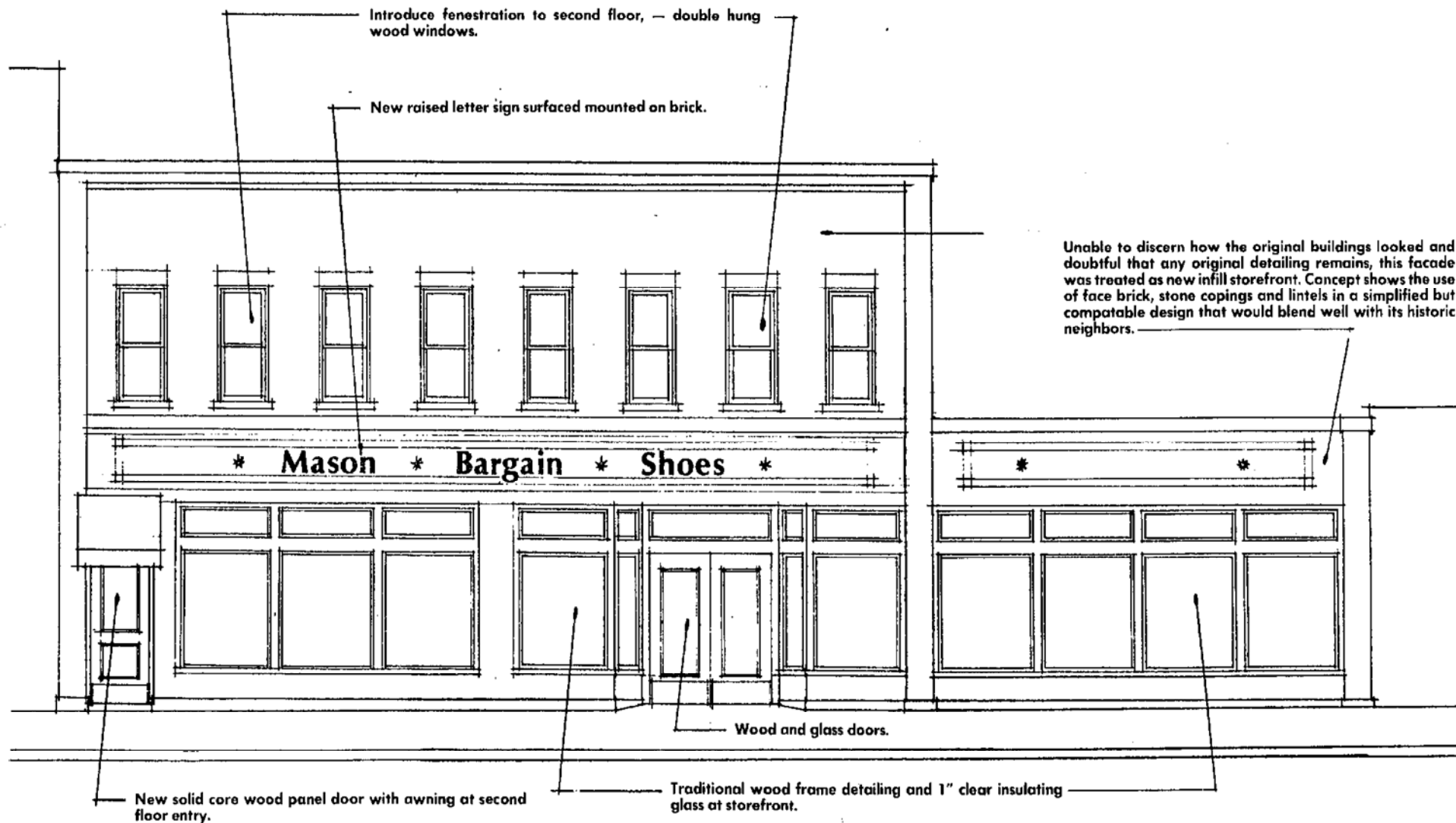
Mason Bargain Shoes also contains what was once a storefront in the Paddock Building, erected in 1886.

ARCHITECTURAL DESCRIPTION: The Mason Shoe Store building has been altered perhaps more than any other building found in the historic district. The building consists of a two story on the west and a one story infill building on the east. The street level portion of the building has been covered with a cultured lava rock, which is totally out of character with the district architecture. Display windows run the width of the two story portion of the building and consist of aluminum frames with large panes of glass. A single wooden door is located on the west side of the building which apparently leads to a stairway to the second floor.

A recessed entrance is found on the east corner of the two story portion of the building. The recess is treated with vertical reversed board and batten wooden siding. The easterly portion of the building, the one story infill building, is covered with the cultured stone and has a recessed six panel wood door. The wood door is colonial in character. Three vertical slot type windows surrounded with cedar boards offer a relief in the cultured stone front.

A panel of diagonal cedar boards runs above the storefront windows the full width of both buildings. The second story portion of the westerly portion of the building is sided with wood reversed board and batten siding. This siding covers any detail that may remain of the original building. Above the wooden siding is a shingled mansard roof which apparently returns over the original parapet wall.

The business sign consists of a shoe that is symbolic of a clown's shoe with a rather long foot with a large bulging toe section. Upon the shoe is painted the name of the store. The "modernization" of this storefront has totally obscured the original architecture. It is uncertain if any of that original character still exists at the second floor. However, it is certain that none of the original character remains at the street level.



Google Maps

134 W. Maple St.



Imagery ©2018 Google, Map data ©2018 Google 20 ft

View looking North

Google Maps



Imagery ©2018 Google, Map data ©2018 Google 20 ft

↑ View looking South
194 W. Maple St.



APPLICATION – SITE PLAN REVIEW/SPECIAL USE PERMIT

City of Mason

Planning Department • 201 W. Ash Street • Mason, MI 48854

Phone: 517/676-9155 • Fax: 517/676-1330

www.mason.mi.us

Applicant– Please check one of the following:

- | | |
|-------------------------------------|------------------------------|
| <input checked="" type="checkbox"/> | Preliminary Site Plan Review |
| <input checked="" type="checkbox"/> | Final Site Plan Review |
| <input type="checkbox"/> | Special Use Permit* |
| <input type="checkbox"/> | Administrative Review |

* includes Preliminary Site Plan Review

PLANNING DEPARTMENT USE ONLY

Application Received: _____

Tax ID: _____

Fee: _____

Receipt #: _____

I. APPLICANT INFORMATION

Name Brian Brady, Red Oak Holdings, LLC
Organization N/A
Address 2111 University Park Dr, Suite 650, Okemos, MI 48864
Telephone Number 517-347-4141 Facsimile Number 517-347-4675
Interest in Property (owner, tenant, option, etc.) Owner

Note: If applicant is anyone other than owner, request must be accompanied by a signed letter of authorization from the owner.

II. PROPERTY INFORMATION

Owner Red Oak Holdings, LLC Telephone Number 517-347-4141
Property Address 2111 University Park Dr, Suite 650, Okemos, MI 48864
Legal Description: If in a Subdivision: Subdivision Name _____ Lot Number _____
If Metes and Bounds (can be provided on separate sheet):
See attached civil drawings for legal description.

APPLICANT CERTIFICATION

By execution of this application, the person signing represents that the information provided and the accompanying documentation is, to the best of his/her knowledge, true and accurate. In addition, the person signing represents that he or she is authorized and does hereby grant a right of entry to City officials for the purpose of inspecting the premises and uses thereon to verify compliance with the terms and conditions of any Special Use Permit and/or Site Plan approval issued as a result of this application.

Signature _____

Date _____

5/25/18

III. REQUEST DESCRIPTION

A. Written Description – Please use this section to describe the use or uses proposed. Attach additional pages, if necessary.

Proposed, new construction of a 3 story, mixed-use building. Uses include mercantile, business and single-family residential.

B. Available Services

Public Water ☒ YES ☐ NO
Public Sanitary Sewer ☒ YES ☐ NO

Paved Road (Asphalt or Concrete) ☒ YES ☐ NO
Public Storm Sewer ☒ YES ☐ NO

C. Estimate the Following - to be determined, dependent on tenants.

Traffic Generated _____ Total Employees _____ Shifts _____
Population Increase _____ Employees in Peak Shift _____
Hours of Operation _____ AM to _____ PM Total Bldg. Area Proposed _____
_____ day through _____ day Parking Spaces Provided _____

D. Project Phasing

This project will be completed in: ☒ One Phase ☐ Multiple Phases – Total No. of Phases: _____

Note: The phases of construction for multi-phase projects must be shown on the site plan

IV. APPLICATION MATERIALS

The following are checklists of items that generally must be submitted with applications for Preliminary Site Plan Review, Final Site Plan Review, and Special Use Permits. Applicants should review Articles VI and VII of Chapter 94 of the Mason Code for a complete listing of application requirements. All site plan drawings must comply with the requirements of Section 94-226(d) of the Zoning Ordinance. Incomplete applications will not be processed.

- ☒ Completed application form
- ☒ 20 copies of site plan drawings is larger than 11" x 17" (30 copies for Special Use Permits)
- ☒ 1 – 11" x 17" copy of the site plan
- ☒ Plans submitted on CD (Commercial only)
- ☒ Legal description
- ☒ Proof of ownership/owner authorization
- ☐ Construction schedule for proposed project
- ☐ Construction calculations for utilities
- ☒ Fee (see below)
- ☒ Any other information deemed necessary

10 FULL
10 11x17
PER
ELIZABETH
HIDE.

to be determined

Application Fee – all requests must be accompanied by a fee, as established by the City Council. The fee schedule for Preliminary Site Plan Reviews, Final Site Plan Reviews, and Special Use Permits is as follows (As of October 16, 2006):

Administrative Reviews	\$70.00
Preliminary Site Plan Reviews	\$200.00
Final Site Plan Review	\$100.00
Special Use Permits (includes preliminary site plan review)	\$275.00
Engineering Review	\$220.00*

*Two-hour minimum fee for projects increasing demand on public utilities. Actual fees incurred are billed to applicant upon completion of review.

V. APPLICATION DEADLINES

Preliminary Site Plan/Special Use Permit Review – Applications for Preliminary Site Plan Review may be submitted at any time. Complete applications must be received a minimum four (4) weeks prior to a Planning Commission meeting to be placed on the agenda. Upon receipt of a complete application, a public hearing will be scheduled for the next regularly scheduled meeting (for Special Use Permits only). The Planning Commission has the final authority to approve, approve with conditions or deny an application for Preliminary Site Plan/Special Use Permit Review. The Planning Department staff will issue a letter to the applicant advising of any changes or revisions that may be necessary prior to making application for Final Site Plan Review.

Final Site Plan Review – Complete applications must be received a minimum of four (4) weeks prior to a Planning Commission meeting to be placed on an agenda. The Planning Commission has the final authority to approve, approve with conditions or deny an application for Final Site Plan Review. Planning Commission meetings are held on the second Tuesday after the first Monday of every month, unless the Tuesday is a Township recognized holiday, in which case the meeting is held on the following day (Wednesday).

VI. STAFF REPORT

The Planning Department Staff will prepare a report to the Planning Commission regarding an application for Preliminary Site Plan Review, Final Site Plan Review or Special Use Permit. The report will explain the request and review whether it complies with the zoning standards of the Mason Code. Staff will present the findings of that report during the Planning Commission meeting. An applicant who wishes to obtain one (1) copy of that report, at no cost, prior to the meeting must provide a written request to the Planning Department. The report is generally complete on the Friday before the meeting and can be mailed to the applicant or picked up by the applicant in the Planning Department.

154 W. MAPLE ST. MIXED USE

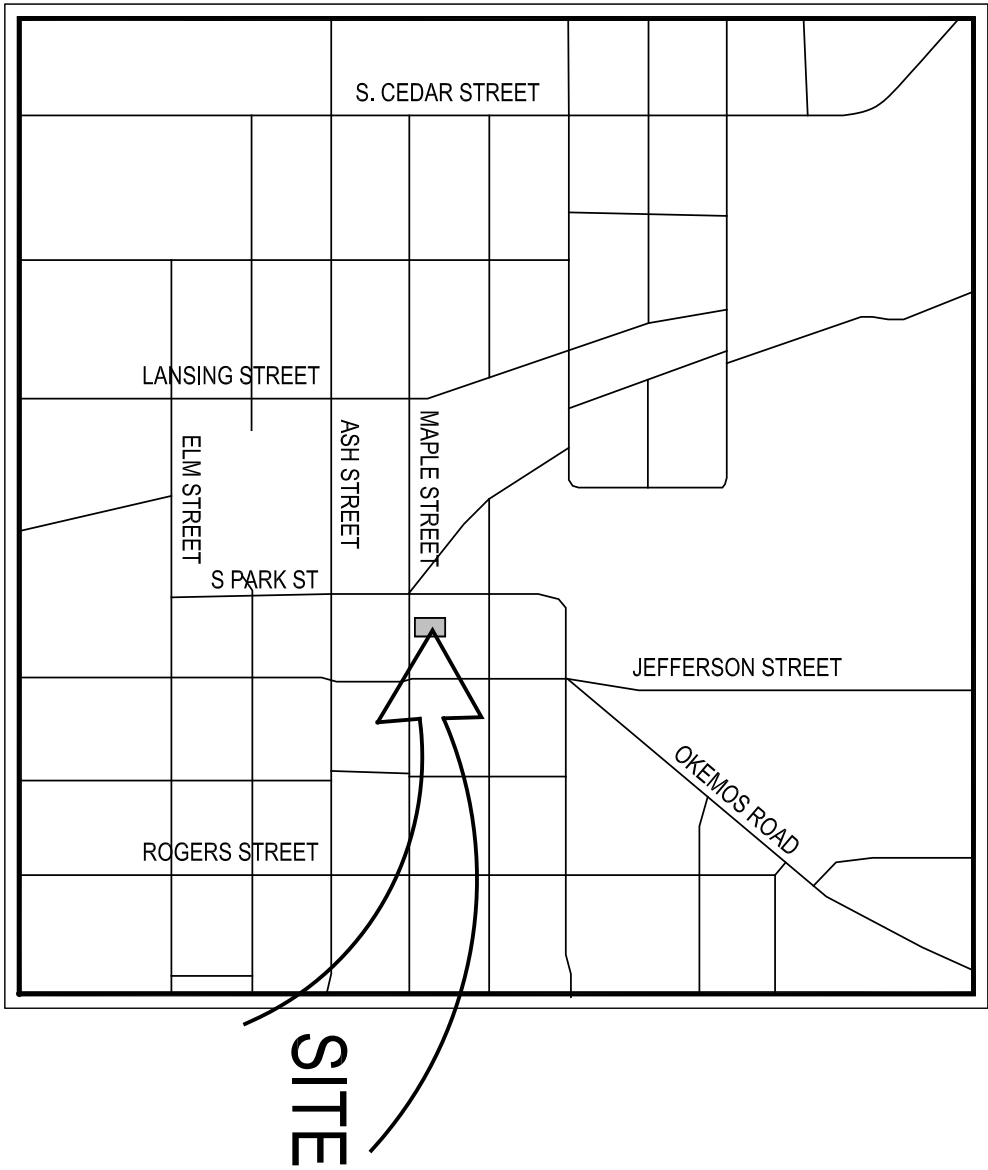
MASON, MI 48854



PRELIMINARY RENDERING FOR ILLUSTRATIVE PURPOSES ONLY

SHEET INDEX		■ ■ ■
IX	SHEET INDEX	05/25/18
1	SITE AND UTILITY PLAN	05/25/18
2	STORM AND GRADING PLAN	05/25/18
3	EXISTING SURVEY PLAN	05/25/18
4	DEMOLITION PLAN	05/25/18
A-1-01 FIRST FLOOR PLAN / WALL TYPES		05/25/18
A-1-02	SECOND FLOOR PLAN / DOOR SCHEDULE / DOOR DETAILS	05/25/18
A-1-03	THIRD FLOOR PLAN / ROOM FINISH SCHEDULE	05/25/18
A-3-01	EXTERIOR BUILDING ELEVATIONS - NORTH AND SOUTH	05/25/18
A-3-02	EXTERIOR BUILDING ELEVATIONS - EAST AND WEST	05/25/18

PROJECT DATA		■ ■ ■
APPLICABLE CODES		
BUILDING CODE	2015 MICHIGAN BUILDING CODE	
MECHANICAL CODE	2015 MICHIGAN MECHANICAL CODE	
PLUMBING CODE	2015 MICHIGAN PLUMBING CODE	
ELECTRICAL CODE	2014 NATIONAL ELECTRIC CODE (WITH STATE OF MICHIGAN PART B AMENDMENTS)	
ENERGY CODE	2015 MICHIGAN ENERGY CODE -- 2015 ASHRAE 90.1	
ACCESSIBILITY	2004 ICC/ANSI A117.1 -- 2015 MI BLDG CODE CH. 11	
GENERAL PROJECT DATA		
CONSTRUCTION TYPE	11-B	
OCCUPANCY CLASSIFICATIONS	FIRST FLOOR: M (MERCHANDISE), B (BUSINESS), U (UTILITY)	
FIRST & SECOND FLOOR ARE	SECOND FLOOR: B (BUSINESS)	
THIRD FLOOR: R-3 (RESIDENTIAL (1 UNIT))		
FIRE SUPPRESSION	FULLY SPRINKLERED W/ NFPA 13 SYSTEM	
FIRE ALARM SYSTEM	NOT REQUIRED	
MANUAL PULL STATIONS	NOT REQUIRED	
SMOKE DETECTION	REQUIRED AT R-3 USE PER NBC 907.2.11.2	
ZONING	C-1 (CENTRAL BUSINESS DISTRICT)	
BUILDING AREA (INSIDE EXTERIOR WALLS PER CODE - NOT FOR LEASING)		
GROSS AREA	FIRST FLOOR: 8,088 S.F. SECOND FLOOR: 8,184 S.F. THIRD FLOOR: 8,015 S.F. TOTAL = 24,287 S.F.	
AREA CALCULATIONS		
BASE TABULAR AREA IN ACCORDANCE WITH 2015 NBC TABLES 504.3 (BLDG HG1) 504.4 (NO. OF STORIES) AND 506.2 (FLOOR AREA)		
FLOOR AREA (SECOND FLOOR) = 8,184 S.F. < 25500 S.F. BASE TABULAR BUILDING IS MIXED USE, NONSEPARATED PER NBC 506.3.1		
U (UTILITY) - PRIVATE RESIDENT GARAGE) MOST RESTRICTIVE WITH A BASE TABULAR AREA OF 25500 S.F.)		
25500 S.F. > 8,184 S.F. (OKAY)		
OCCUPANCY CALCULATIONS		
FIRST AND SECOND FLOOR - TO BE DETERMINED BASED ON GROUP OCCUPANCY		
THIRD FLOOR (GROUP R-3 OCCUPANCY)		
THIRD FLOOR (R-2 FLOOR AREA)		8,015 S.F. (86029) S.F.
THIRD FLOOR (R-1 FLOOR AREA)		200 (86029) S.F. / OCCUPANT
THIRD FLOOR (R-1 USE OCCUPANT LOAD)		8,015 (86029) S.F. / 200 = 40 OCCUPANTS



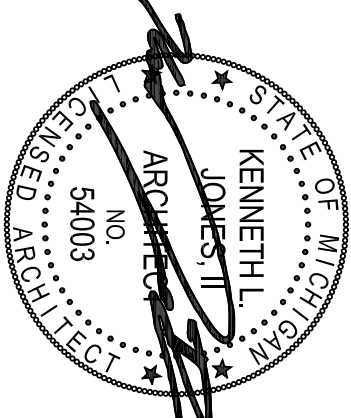
LOCATION MAP

NOT TO SCALE

DESIGN DEV. PACKAGE
SITE PLAN REVIEW

04/27/18
05/25/18

Copyright 2018 Studio [in]trigue Architects, LLC



Project Type
NEW CONSTRUCTION

Client
W. MAPLE ST. MIXED USE
154 W. MAPLE ST
MASON, MI 48854

Client
RED OAK HOLDINGS
2111 UNIVERSITY PARK DRIVE

Project Number
17.208

Sheet
IX

Copyright 2018 Studio [in]trigue Architects, LLC

PRELIMINARY NOT FOR CONSTRUCTION

FOR ILLUSTRATIVE PURPOSES ONLY
THESE DRAWINGS ARE TO BE USED FOR ILLUSTRATIVE PURPOSES ONLY AND ARE NOT TO BE USED AS A BASIS FOR CONSTRUCTION OR ALTERATIONS.
STUDIO [INTRIGUE] ARCHITECTS, LLC EXPRESSLY DISCLAIMS ANY AND ALL LIABILITY FOR THE USE OF THESE DRAWINGS FOR ANY PURPOSE OTHER THAN THAT AUTHORIZED BY THE LICENSEE. THE USE OF THESE DRAWINGS SHALL BE LIMITED TO CLIENT REVIEW ONLY.

154 W. Maple
CITY OF MASON, INGHAM COUNTY, MICHIGAN

SITE DATA

PROPOSED MIXED USE BUILDING
EXISTING USE: MIXED USE BUILDING
TOTAL SITE AREA = 0.20 ACRES
ZONING: C-1 (CENTRAL BUSINESS DISTRICT)
ADJACENT ZONING: C-1

BUILDING SETBACKS

FRONT - 0 FEET
SIDES - 0 FEET
REAR - 0 FEET

BUILDING/UNIT DATA

SEE ARCHITECTURAL PLANS FOR FLOOR INFORMATION

PARKING

DOWNTOWN AREA, NONE PROVIDED ON-SITE

UTILITIES

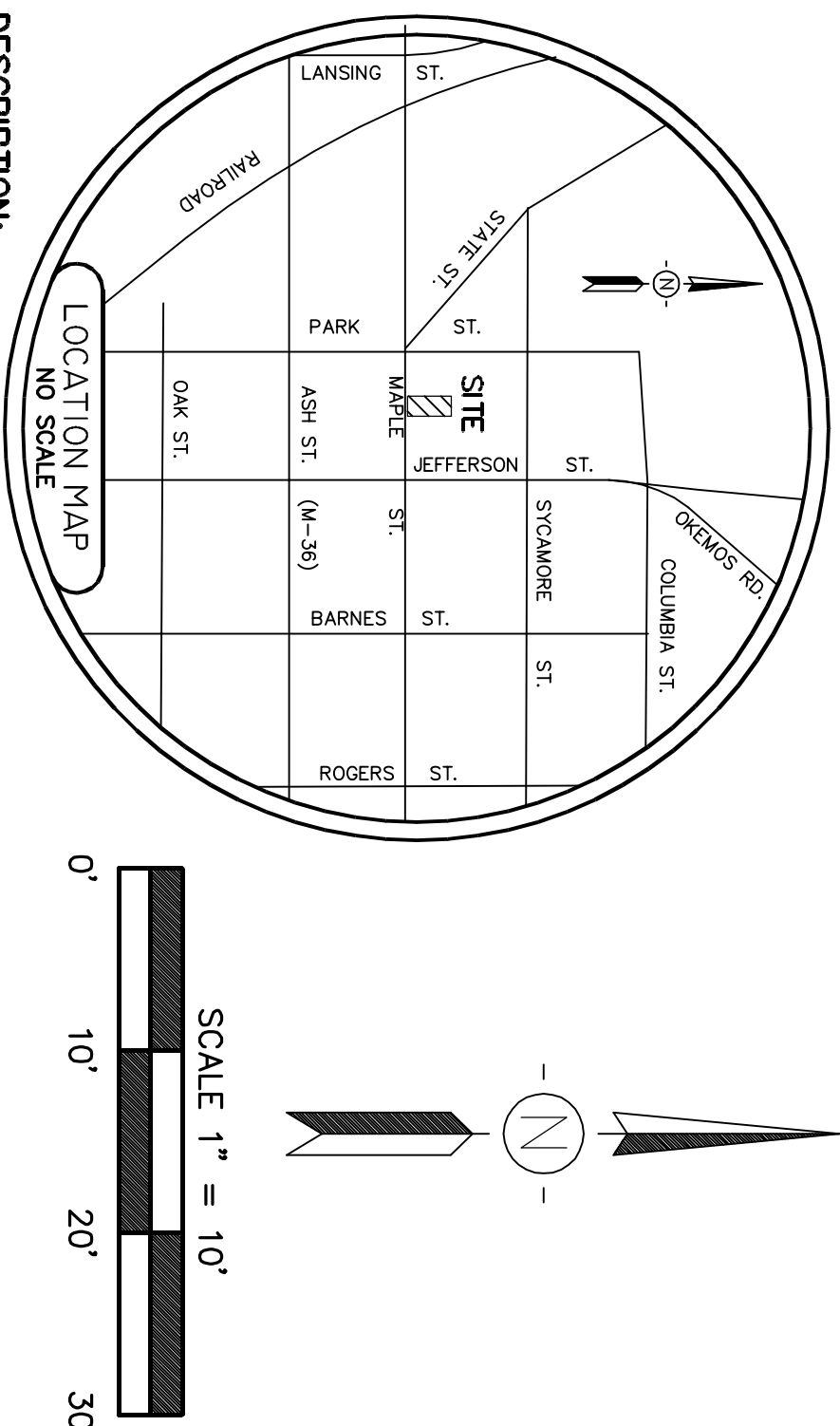
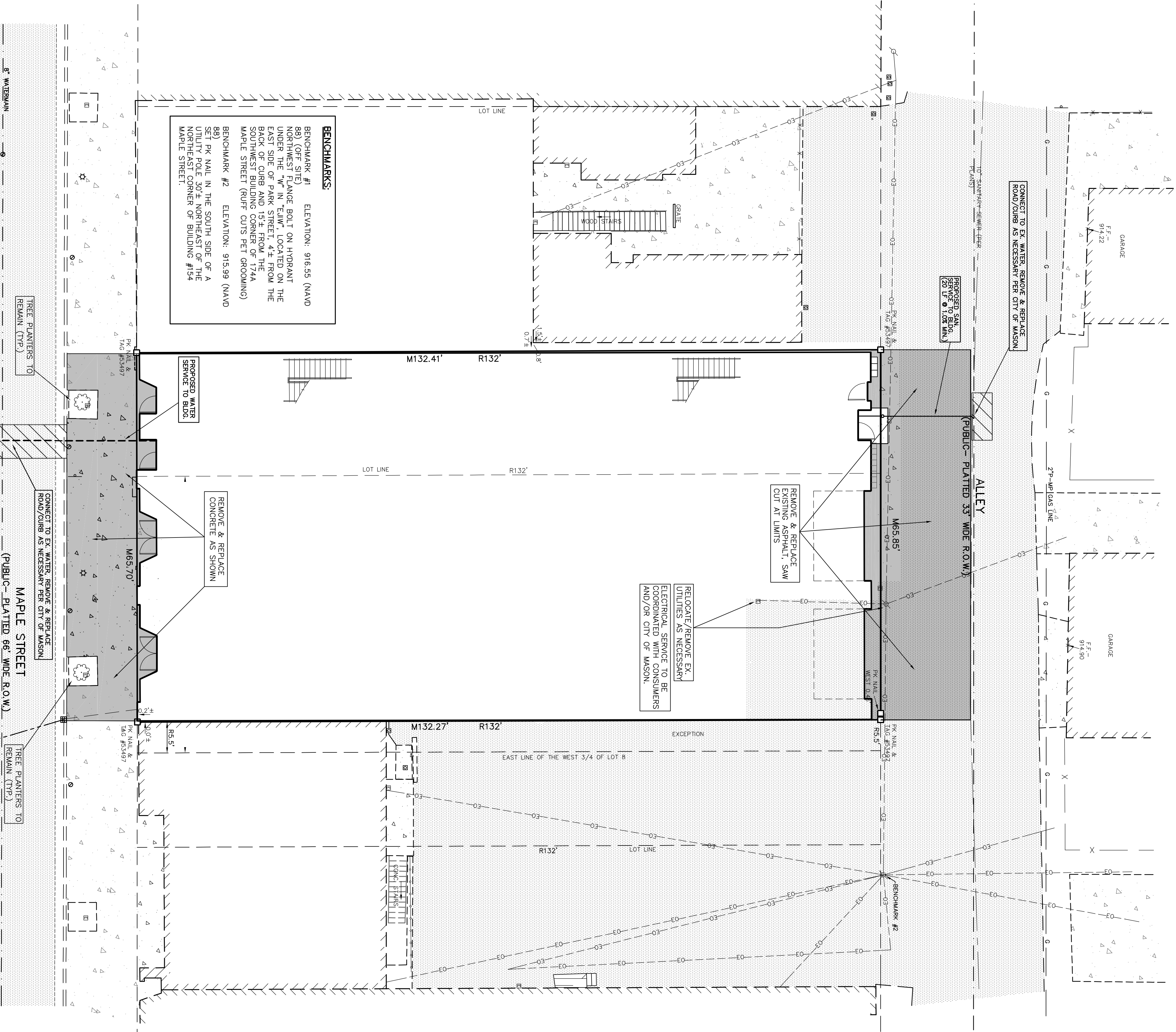
WATER:

SANITARY:

STORM:

NOTES

- LOCATE UTILITIES PRIOR TO INSTALLATION (COORDINATE W/ ENGINEER)
- AS-BUILT UTILITY LOCATIONS & ELEVATIONS MUST BE DELIVERED TO THE CITY ENGINEER UPON COMPLETION OF THE PROJECT

























LEGAL DESCRIPTION:

(As provided):
The East 22 feet of Lot 7 and the West 3/4 of Lot 8, excluding the East 5.5 feet thereof, Block 7, Original Plat of City of Mason, Ingham County, Michigan, according to the recorded plat thereof, as recorded in Liber 37 of Deeds, Page 234, Ingham County Records.

APPLICANT:	ARCHITECT:	ENGINEER/SURVEYOR:
Red Oak Holdings, LLC 2111 UNIVERSITY PARK DR. SUITE 650 OKEMOS, MI 48864	Studio Intrigue Architects 1114 S. WASHINGTON AVE., STE. 100 LANSING, MI 48201-1649 PH: (313) 527-8806 FAX: (313) 572-8805	KERS, Inc. 105 W. HASELTY RD. HASELTY, MI 48840 PH: (313) 339-1014 FAX: (313) 339-8847

EX. LEGEND

- | | |
|---|------------------------------|
|  | = SET 1/2" BAR WITH CAP |
|  | = FOUND IRON AS NOTED |
|  | = DISTANCE NOT TO SCALE |
|  | = FENCE |
|  | = ASPHALT |
|  | = CONCRETE |
|  | = GRAVEL |
|  | = EXISTING SPOT ELEVATION |
|  | = EXISTING CANTOUR ELEVATION |
|  | = SANITARY SEWER |
|  | = STORM SEWER |
|  | = WATER LINE |
|  | = GAS LINE |
|  | = UNDERGROUND TELEPHONE |
|  | = UNDERGROUND TELEVISION |
|  | = UNDERGROUND ELECTRIC |
|  | = OVERHEAD WIRES |
|  | = EDGE OF WOODS |
|  | = DECIDUOUS TREE |
|  | = CONIFEROUS TREE |
|  | = BUSH |
|  | = BUILDING OVERLAP |

LEGEND


- | | |
|--|------------------------------|
| | PROPOSED WATER MAIN |
| | PROPOSED SANITARY SEWER |
| | PROPOSED STORM SEWER |
| | PROPOSED HYDRANT |
| | PROPOSED GATE VALVE |
| | PROPOSED S.M., M.H. |
| | PROPOSED STORM M.H. |
| | PROPOSED C.B. |
| | PROPOSED GRASS |
| | PROPOSED FIRST FLOOR ELEV. |
| | PROPOSED TOP OF CURB ELEV. |
| | PROPOSED TOP OF FOUND. ELEV. |
| | PROPOSED TOP OF SLAB ELEV. |
| | PROPOSED TOP OF WALK ELEV. |
| | DENOTES S.E.C. KEYING SYSTEM |

SHEET INDEX

1. SITE & UTILITY PLAN
2. STORM & GRADING PLAN
3. EXISTING SURVEY PLAN
4. DEMOLITION PLAN

SITE ADDRESS: 154 W. MAPLE STREET, MASON MI 48854

SURVEY#93455.TOP2

 **KEBS, INC.**
KYES ENGINEERING
BRYAN LAND SURVEYING

2116 HASETT ROAD, HASETT, MI 48840
PH. 517-339-1014 FAX. 517-339-8047

Ph. 269-781-9800

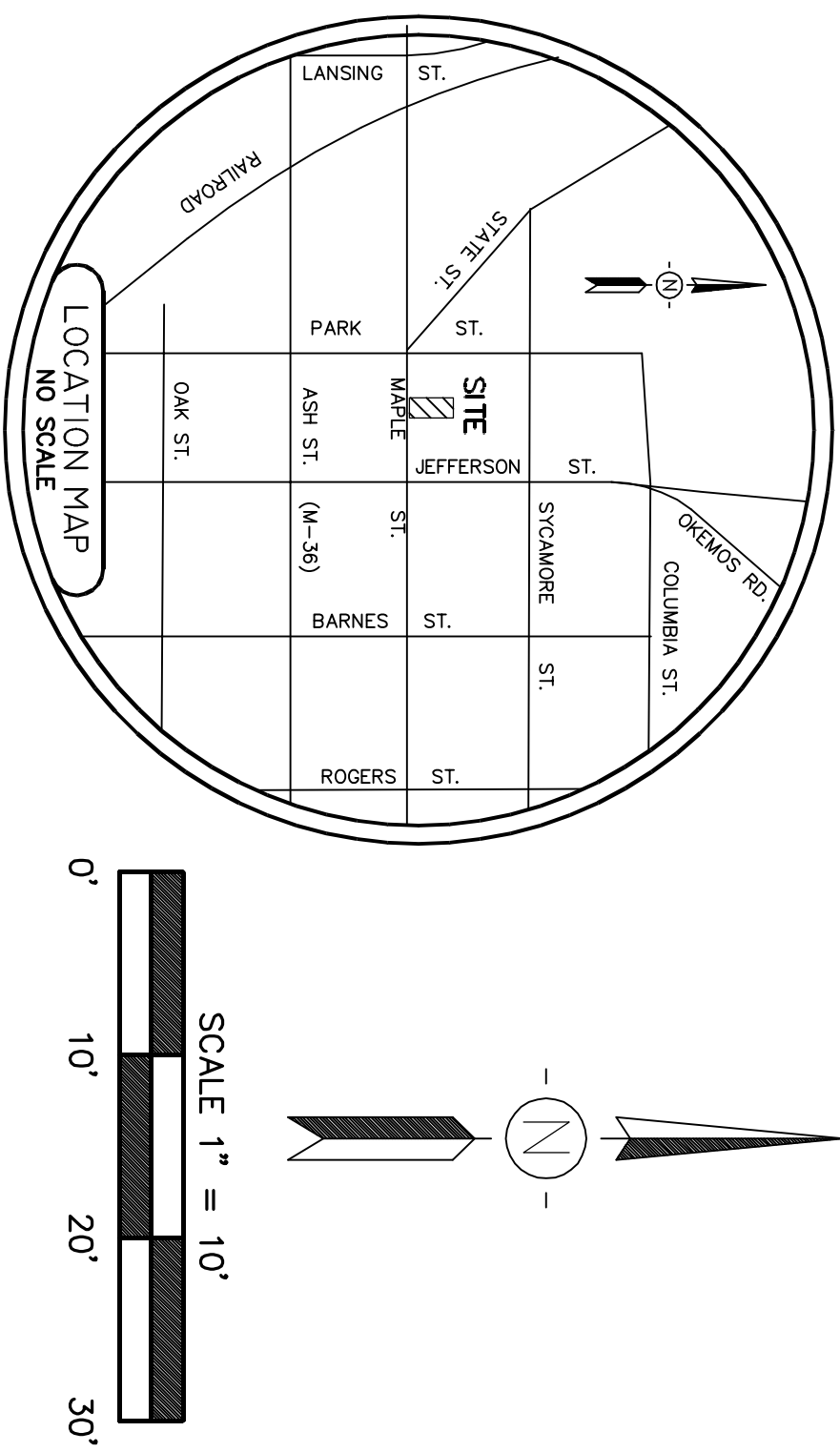
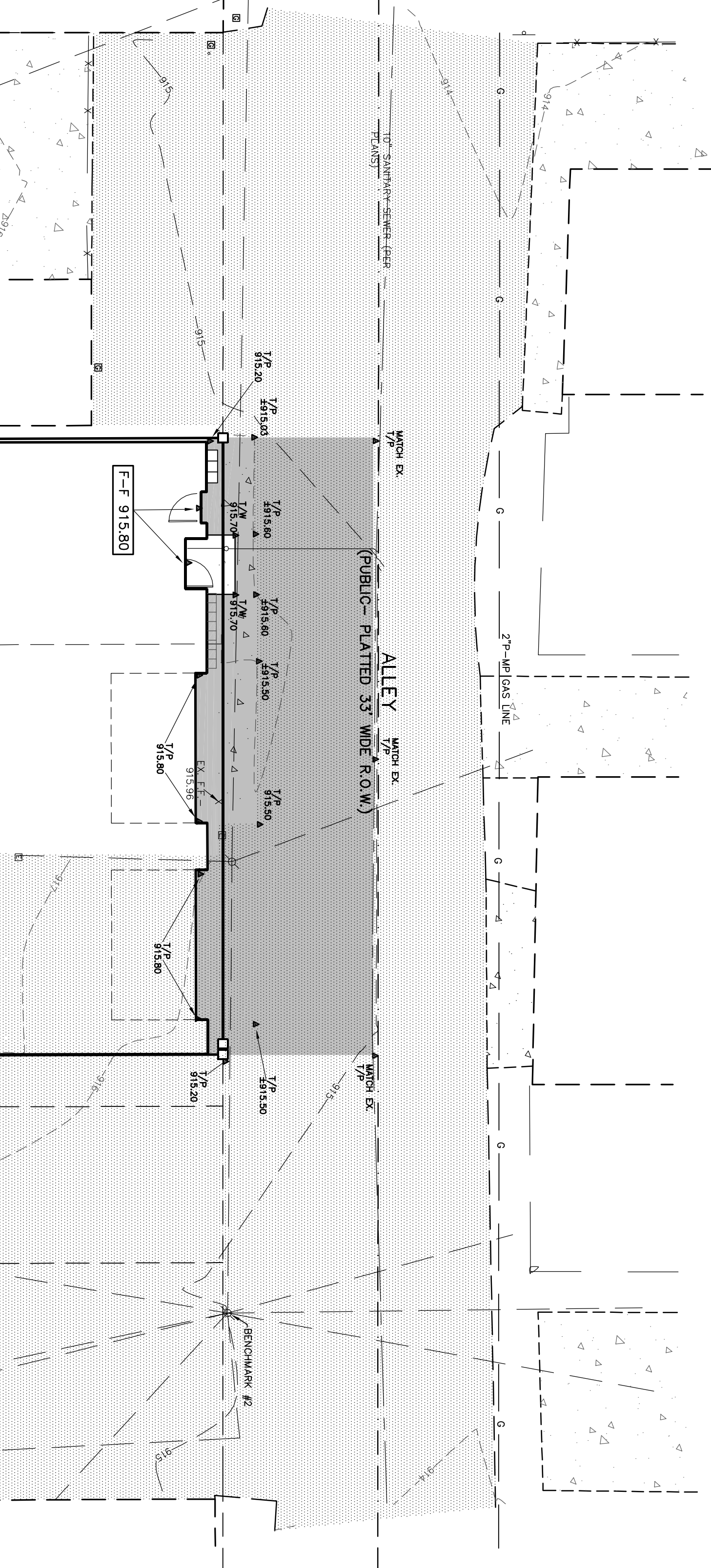
154 W. Maple

DESIGNER:	APPROVED:
IMK	IMK

18	PROJECI MGN. JMK	SHEET 1
----	---------------------	---------

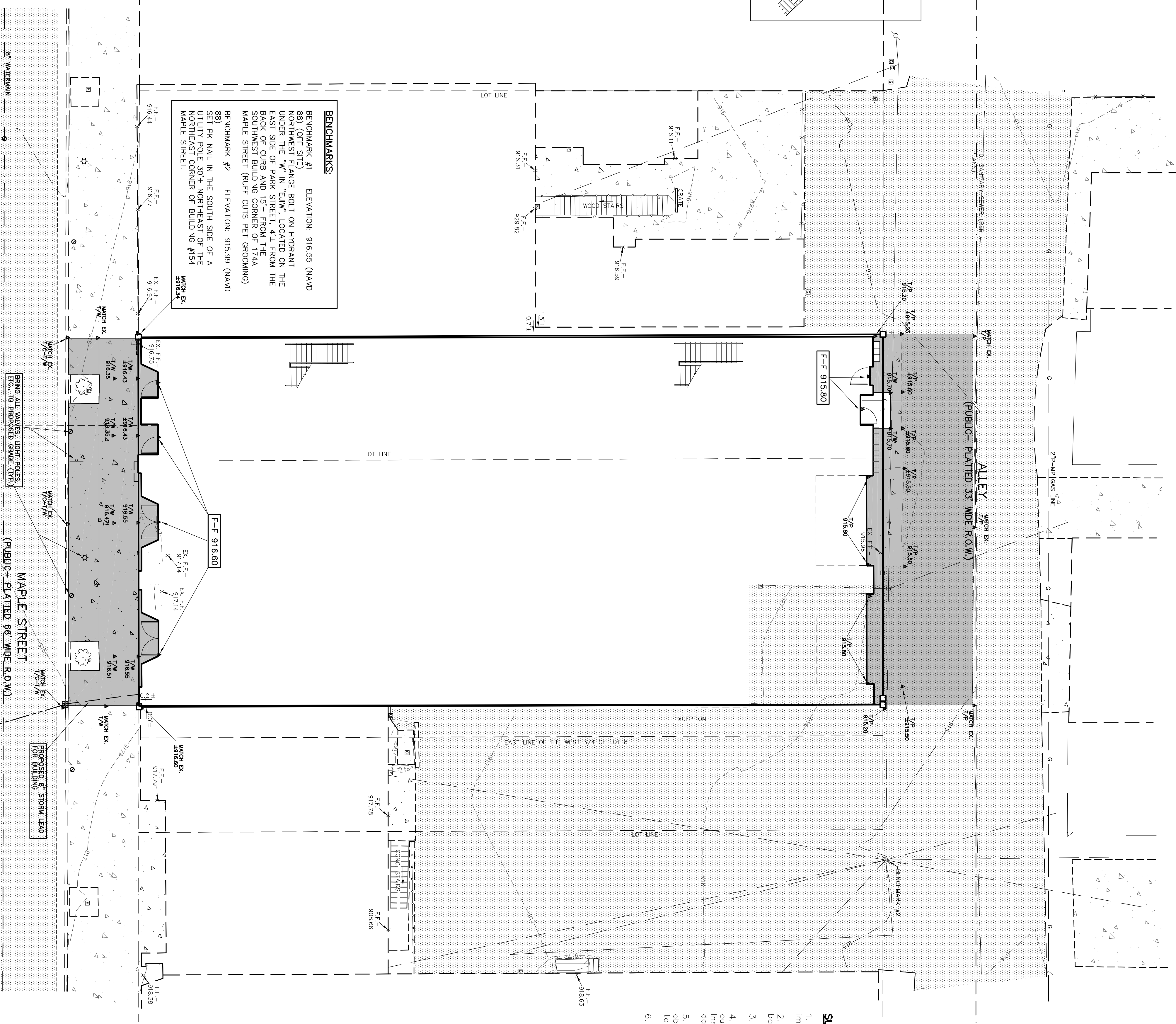
93455 | **igine Architects**



154 W. Maple
CITY OF MASON, INGHAM COUNTY, MICHIGAN



1. This plan was made at the direction of the parties named hereon and is intended solely for their immediate use. Survey prepared from fieldwork performed in April 2018.
2. All bearings and distances on the survey are record and measured unless otherwise noted. Elevation based on NAVD 85.
3. All dimensions are in feet and decimals thereof.
4. By scaled map location and graphic plotting only, this property lies entirely within Flood Zone "X" areas outside the 0.2% annual chance floodplain, according to the National Flood Insurance Program, Flood Insurance Rate Map for the City of Mason, Ingham County, Michigan, Community Panel No. 260605025D, dated August 16, 2011.
5. Utility information as shown was obtained from available public records and from supporting field observations, where possible, and is subject to verification in the field by the appropriate authorities prior to use for construction. MISS DIG was not contacted to mark utilities on site at the time of the survey.
6. Easements wetlands, if any, not shown hereon.

1. ALL SIGNS, PAVEMENT MARKINGS AND OTHER TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE MICHIGAN MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
2. CONTRACTOR SHALL SAW-CUT TO PROVIDE SMOOTH TRANSITIONS AT THE-INS TO EXISTING EDGES OF JOINTS OR SCORE MARKS ARE TO BE SHARP AND CLEAN WITHOUT SHOWING EDGES OF JOINING TOOL.
3. CONTRACTOR SHALL SAW-CUT THE-INS AT EXISTING CURBS AS NECESSARY TO ENSURE SMOOTH TRANSITIONS.
4. CONTRACTOR SHALL SAW-CUT AND TRANSITION TO MEET EXISTING PAVEMENT AS NECESSARY AND AS DIRECTED BY AN INSPECTOR TO INSURE POSITIVE TRANSITION.
5. CONSTRUCTION ISSUED BY AGENCY OF MICHIGAN, INC. AND THE SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION ISSUED BY THE U.S. DEPARTMENT OF LABOR.
6. ALL WORK SHALL COMPLY WITH ALL APPLICABLE CODES, REGULATIONS, AND/OR LOCAL STANDARDS IMPOSED BY LOCAL UTILITY, AND THE CITY OF MASON.
7. ALL EXISTING CONCRETE CURB & GUTTER TO REMAIN INTACT UNLESS OTHERWISE NOTED.
8. ALL EXISTING CURB & GUTTER TO BE REPAIRED TO ORIGINAL CONDITION.
9. NECESSARY BARRICADES, SUFFICIENT LIGHTS, SIGNS AND OTHER TRAFFIC CONTROL METHODS AS MAY BE NECESSARY FOR THE PROTECTION AND SAFETY OF THE PUBLIC SHALL BE PROVIDED AND MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT.
10. CONTRACTOR SHALL FILL VARYING CONDITION OF EXISTING ASPHALT AND SHALL REPLACE OR REPAIR ANY SUNKEN AND/OR DAMAGED ASPHALT AREAS.



		SITE ADDRESS: 154 W. MAPLE STREET, MASON MI 48853	
REVISIONS 5-25-18 SITE PLAN REVIEW		K&ES ENGINEERING BRYAN LIND STARCHES 2116 HASLETT ROAD, HASLETT MI 48840 PH. 517-535-1014 FAX. 517-535-8047 Mr. 269-781-9880 Marquette Office	
		154 W. Maple STORM & GRADING PLAN	
SCALE: 1"= 10'-0" DATE: 5-11-18 AUTHORIZED BY: Studio Intrigue Architects	DESIGNER: JMK PROJECT MGR. JMK SHEET 2 OF 4 JOB # 93455		

FOR: **STUDIO INTRIGUE ARCHITECTS, LLC**

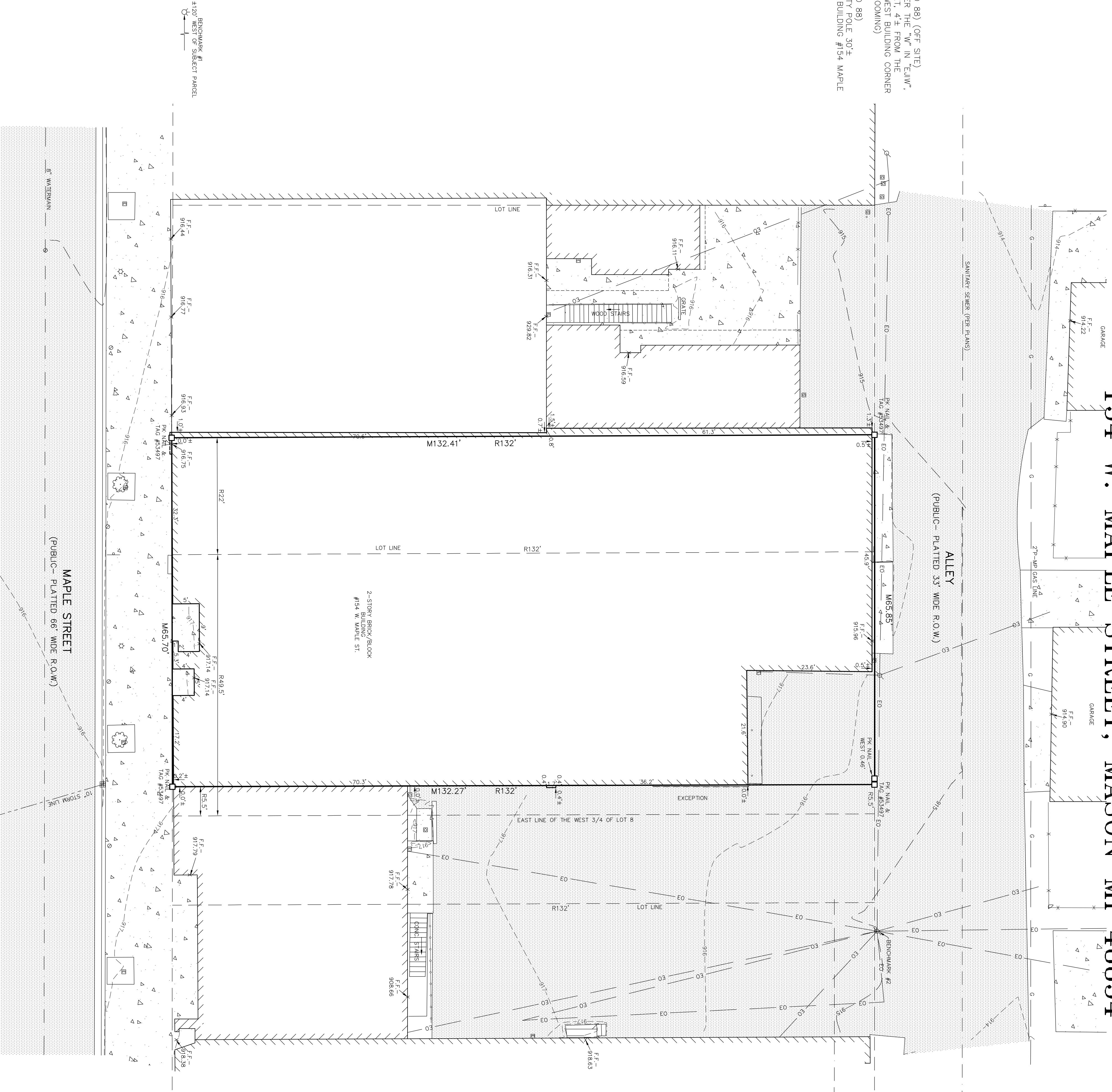
LOT & TOPOGRAPHIC SURVEY

"154 W. MAPLE STREET, MASON MI 48854"

BENCHMARKS:

BENCHMARK #1 ELEVATION: 916.55 (NAVD 88) (OFF SITE)
NORTHWEST FLANGE BOLT ON HYDRANT UNDER THE "W" IN "E.I.W.",
LOCATED ON THE EAST SIDE OF PARK STREET, 4'± FROM THE
BACK OF CURB AND 15'± FROM THE SOUTHWEST BUILDING CORNER
OF 1744 MAPLE STREET (RUFF CUTS PET GROOMING)

BENCHMARK #2 ELEVATION: 915.99 (NAVD 88)
SET PK NAIL IN THE SOUTH SIDE OF A UTILITY POLE 30'±
NORTHEAST OF THE NORTHEAST CORNER OF BUILDING #154 MAPLE
STREET.



154 W. Maple
CITY OF MASON, INGHAM COUNTY, MICHIGAN


GENERAL

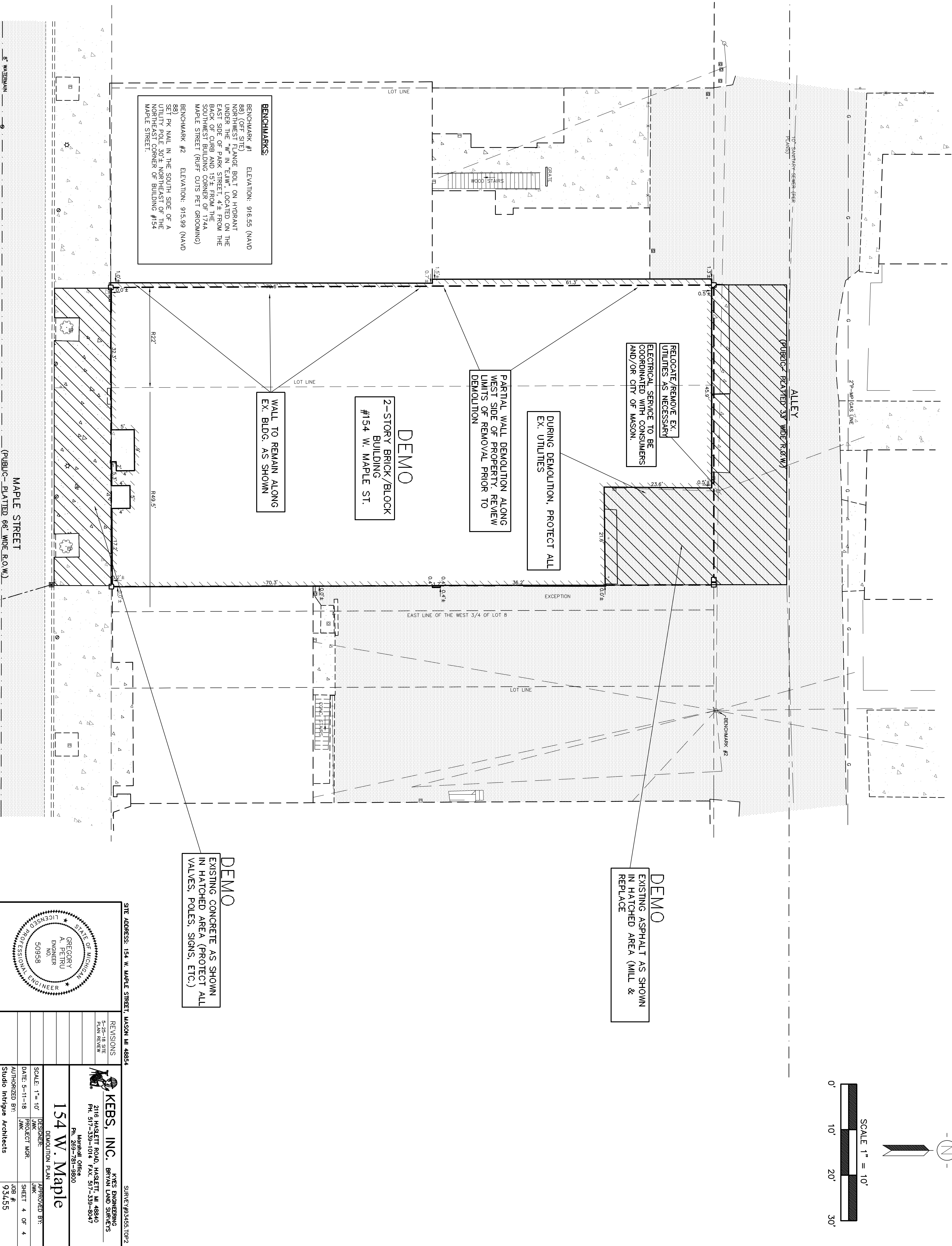
1. Any unstable soil (such as peat, muck, mud, soft blue clay, topsoil, etc.) which is encountered beneath proposed utilities, roadways, parking lots and structures, ditches and buildings shall be removed down to sound subsoil and the material shall be compacted in 6" layers to 95% of max. density. The subsoil fill shall be compacted in 6" layers to 95% of max. density. The decision on material for bedding and backfill shall be determined by the Engineer.
2. Sidewalk construction shall be in accordance with the requirements and specifications of the City of Mason.
3. Information on depth, size, etc., of all other underground utilities shown herein is plan information only, obtained from the utility company involved. Prior to any final designing or construction, it is recommended that all utility companies, agencies, departments, etc., involved be contacted for verification of such locations.
4. The locations, size and elevation of sewers and related structures shown hereon, were obtained through field observation. KEES, Inc., is not responsible for information on any other sewers, drains or related structures not found and not shown hereon, that may cross, parallel, or be contiguous to or serve this site.
5. For protection of underground utilities, the contractor shall dig 80"—482"—1711' a minimum of 72 hours prior to excavating in the vicinity of these. All MGS DIG participating members will thus be routinely notified. These utility owners who may not be a part of the "MGS DIG" alert system.
6. Footing drains and eave troughs shall be connected to the storm sewer.
7. All existing roads, driveways and yards disturbed during construction shall be restored by the contractor to its original condition.
8. All sewer pipe shall be bedded with C1, III granular material. Class III material shall be used in backfilling all sewer trenches to 1' above the sewer pipe.
9. All connection of trenches within the roadways and parking areas shall be made in accordance with the City of Mason specifications. The trench back pack around the structures will be required, or equipment capable of reaching 95% density.
10. Contractor shall be responsible for obtaining all permits for construction.
11. Contractor shall be responsible for maintaining As-Built drawings of all lot level locations and drawings shall be available to the Engineer upon request.

EX. LEGEND

- | | |
|--|-------------------------|
| | = SANITARY MANHOLE |
| | = DRAINAGE MANHOLE |
| | = ELECTRIC MANHOLE |
| | = TELEPHONE MANHOLE |
| | = CATCHBASIN |
| | = SANITARY CLEANOUT |
| | = FIRE HYDRANT |
| | = VALVE |
| | = UTILITY POLE |
| | = LIGHT POLE |
| | = GUY POLE |
| | = GUY WIRE |
| | = UTILITY PEDESTAL |
| | = TRANSFORMER |
| | = HANDHOLE |
| | = ELECTRIC METER |
| | = GAS METER |
| | = WATER METER |
| | = SIGN |
| | = POST |
| | = AIR CONDITIONING UNIT |
| | = BUILDING OVERHANG |

LEGEND

- 
- 12 MORE
 (3 MONTHS 12/85)
 EFFING 101 D6
 CALL M65 D6
 800-482-7111
 (TOLL-FREE)
- | |
|--|
| 801
F-7-380.00
▲ 1/6 880.00
▲ 1/6 880.00
▲ 1/6 880.00
① |
|--|
- PROPOSED GRADES
 PROPOSED FIRST FLOOR ELEV.
 PROPOSED TOP OF CURB ELEV.
 PROPOSED TOP OF GROUND ELEV.
 PROPOSED TOP OF WALK ELEV.
 ①
 DENOTES S.E.C. KENING SYSTEM



PRELIMINARY
NOT FOR
CONSTRUCTION

FOR ILLUSTRATIVE PURPOSES ONLY
THESE DRAWINGS ARE TO BE USED
AND ARE NOT TO BE USED AS A
BASIS FOR CONSTRUCTION OR
ATtribution.
STUDIO INTRIGUE ARCHITECTS, LLC
ALL LIABILITY RESULTS FROM OR
CONNECTED WITH THE USE OF THESE
DRAWINGS SHALL BE LIMITED TO THE
LICENSE TO USE OF THIS DRAWING
RENDER ONLY.

04/27/18
05/25/18

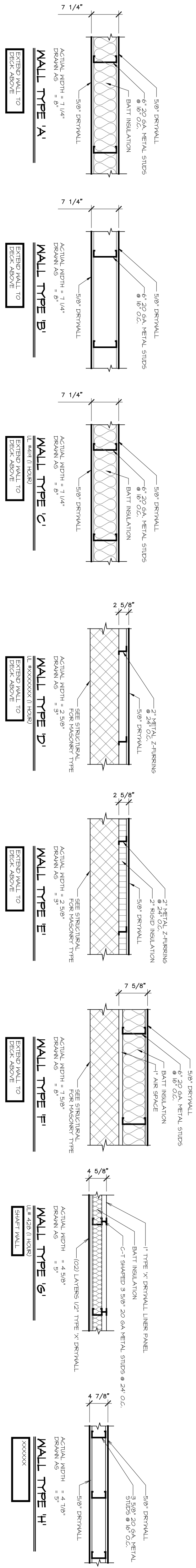
DESIGN DEV. PACKAGE
SITE PLAN REVIEW

Copyright 2018 Studio Intrigue Architects, LLC



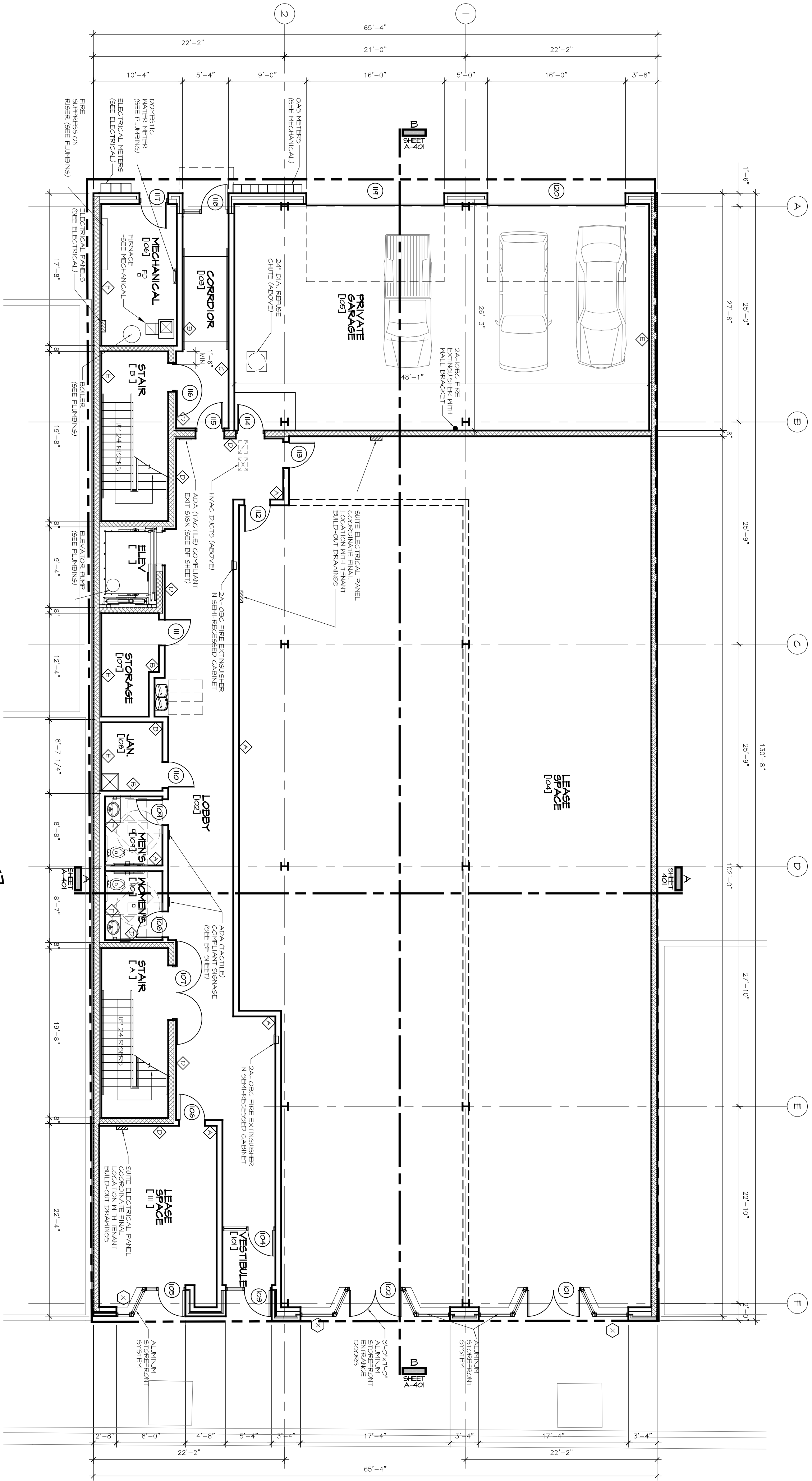
studio
[intrigue]
ARCHITECTS

1114 S. WASHINGTON AVE. ✕ SUITE 100 ✕ LANSING ✕ MICHIGAN ✕ 48210
517.372.8804 PHONE ✕ 517.372.8805 FAX ✕ WWW.STUDIOINTRIGUE.COM



WALL TYPES

3/4" = 1'-0"



FIRST FLOOR PLAN

1/8" = 1'-0"



A-101

Project Number
17.208

Copyright 2018 Studio Intrigue Architects, LLC

211 UNIVERSITY
PARK DRIVE

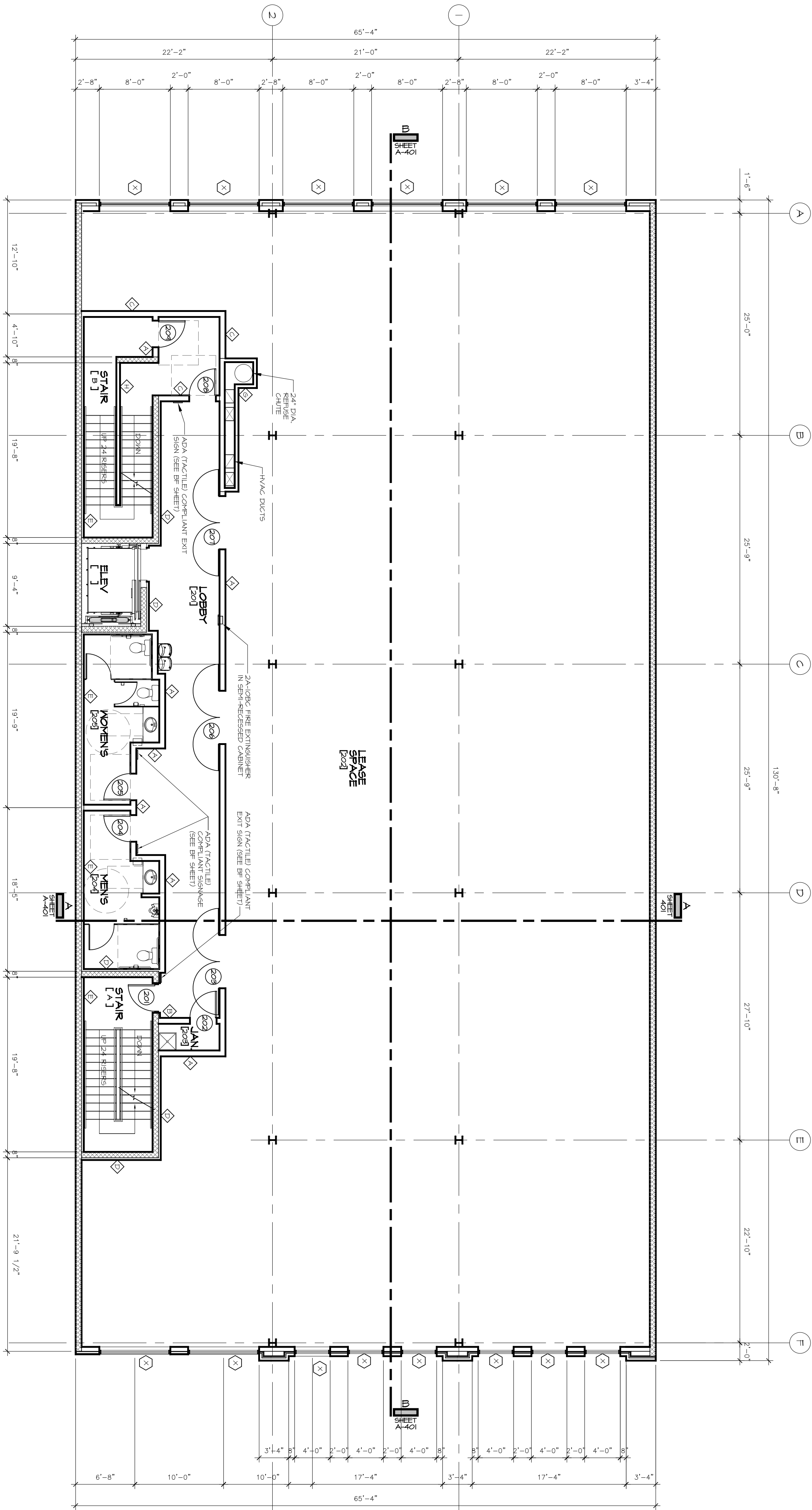
RED OAK
HOLDINGS

W. MAPLE ST.
MIXED USE

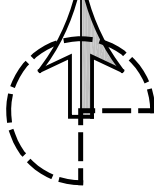
154 W. MAPLE ST
MASON, MI 48854

Project Type
NEW
CONSTRUCTION

Client



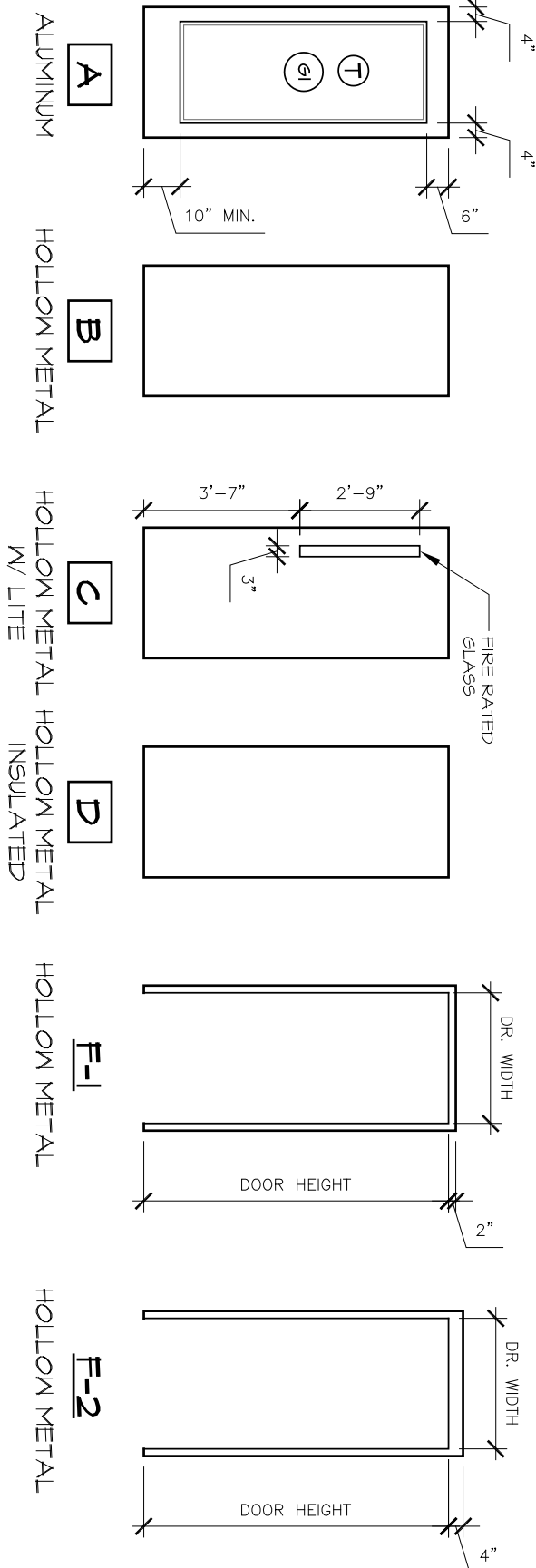
SECOND FLOOR PLAN



FIRST FLOOR DOOR SCHEDULE							
NO.	WIDTH	HEIGHT	DOOR		FRAME		REMARKS
			TYPE	FIN.	TYPE	FIN.	
101	02'8"-0"	7'-0"	A	PF			
102	02'8"-0"	7'-0"	A	PF			
103	3'-0"	7'-0"	A	PF			
104	3'-0"	7'-0"	A	PF			
105	3'-0"	7'-0"	A	PF			
106	3'-0"	7'-0"	B	PF	F-1	PT	
107	02'8"-0"	7'-0"	C	PT	F-2	PT	60 MIN. PROTECT DOOR MAGNETIC HOLD OPEN FOR EACH LEAF
108	3'-0"	7'-0"	B	PT	F-1	PT	
109	3'-0"	7'-0"	B	PT	F-1	PT	
110	3'-0"	7'-0"	B	PT	F-1	PT	
111	3'-0"	7'-0"	B	PT	F-1	PT	
112	3'-0"	7'-0"	B	PT	F-1	PT	
113	3'-0"	7'-0"	B	PT	F-1	PT	
114	3'-0"	7'-0"	B	PT	F-2	PT	60 MIN.
115	3'-0"	7'-0"	B	PT	F-2	PT	
116	3'-0"	7'-0"	C	PT	F-2	PT	60 MIN.
117	3'-0"	7'-0"	D	PT	F-2	PT	
118	3'-0"	7'-0"	D	PT			
119	6'-0"	4'-0"	D	PT			
120	6'-0"	4'-0"	D	PT			

SECOND FLOOR DOOR SCHEDULE							
NO.	WIDTH	HEIGHT	THK.	DOOR		FRAME	REMARKS
				TYPE	FIN.	TYPE	
201	3'-0"	7'-0"	3/4"	C	PT	F-2	PT - 60 MIN.
202	3'-0"	7'-0"	3/4"	B	PT	F-1	PT
203	02'8"-0"	7'-0"	3/4"	B	PT	F-1	PT
204	3'-0"	7'-0"	3/4"	B	PT	F-1	PT
205	3'-0"	7'-0"	3/4"	B	PT	F-1	PT
206	02'8"-0"	7'-0"	3/4"	B	PT	F-1	PT
207	02'8"-0"	7'-0"	3/4"	B	PT	F-1	PT
208	3'-0"	7'-0"	3/4"	C	PT	F-1	PT
209	3'-0"	7'-0"	3/4"	B	PT	F-1	PT

- NOTES
- FIELD VERIFY OFFS PRIOR TO ORDERING OR FABRICATING MATERIALS
 - ALL DOORS TO BE COMMERCIAL GRADE, FINISHED ON ALL (06) SIDES
 - T = TEMPERED
 - EACH PAIR OF INTEREED GLAZING SHALL BE LABELED TO SPECIFY THE LABELER, THE MATERIAL, AND THE TYPE OF GLAZING. THE LABEL SHALL BE PERMANENTLY ATTACHED, SAND BLASTED CERAMIC FIRED OR EMBOSSED OR SHALL BE OF A TYPE THAT ONCE APPLIED CANNOT BE REMOVED WITHOUT BEING DESTROYED
 - ALL HARDWARE SHALL HAVE A DULL CHROME FINISH
 - ALL HARDWARE KETING SHALL BE COORDINATED WITH THE OWNER
 - ALL HARDWARE NOTED ARE STANDARD SETS AS PROVIDED BY RITTER FRENCH ASSOCIATES, 248-651-1333 PHONE, 248-651-2650 FAX



DOOR AND FRAME ELEVATIONS

1/4" = 1'-0"

DESIGN DEV. PACKAGE
SITE PLAN REVIEW

04/27/18
05/25/18

Copyright 2018 Studio Intrigue Architects, LLC



Project Type
NEW
CONSTRUCTION

W. MAPLE ST.
MIXED USE

154 W. MAPLE ST
MASON, MI 48854

Client

RED OAK
HOLDINGS

2111 UNIVERSITY
PARK DRIVE

Copyright 2018 Studio Intrigue Architects, LLC

Project Number
17.208

Sheet

A-102

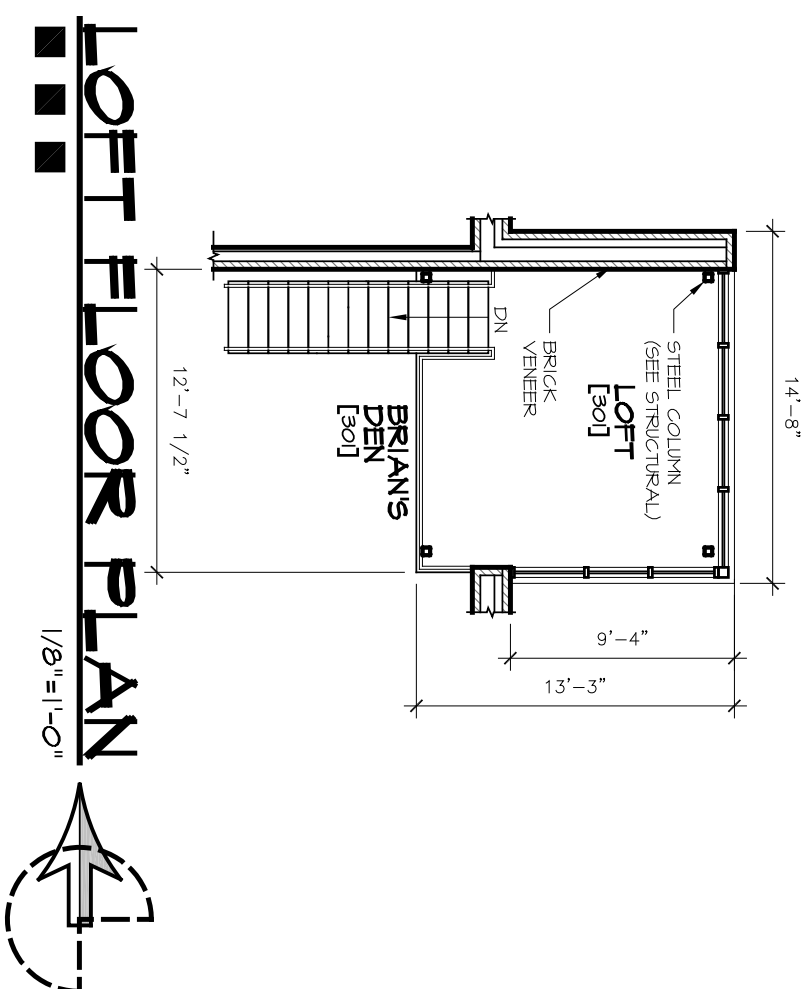
PRELIMINARY
NOT FOR
CONSTRUCTION

FOR ILLUSTRATIVE PURPOSES ONLY
THESE DRAWINGS ARE TO BE USED FOR ILLUSTRATIVE PURPOSES ONLY AND NOT FOR CONSTRUCTION OR ALTERATIONS.
STUDIO INTRIGUE ARCHITECTS, LLC
114 S. WASHINGTON AVE., SUITE 100, LANSING, MI 48204
517.372.8804 PHONE • 517.372.8805 FAX • WWW.STUDIOINTRIGUE.COM
ALL RIGHTS RESERVED. NO PART OF THIS DRAWING MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, WITHOUT PERMISSION IN WRITING FROM STUDIO INTRIGUE ARCHITECTS, LLC.
THIS DRAWING IS THE PROPERTY OF STUDIO INTRIGUE ARCHITECTS, LLC. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. IT IS NOT TO BE USED FOR ANY OTHER PROJECT OR SITE WITHOUT THE WRITTEN PERMISSION OF STUDIO INTRIGUE ARCHITECTS, LLC.
LICENSE TO USE OF THIS DRAWING SHALL BE LIMITED TO CLIENT REVIEW ONLY.

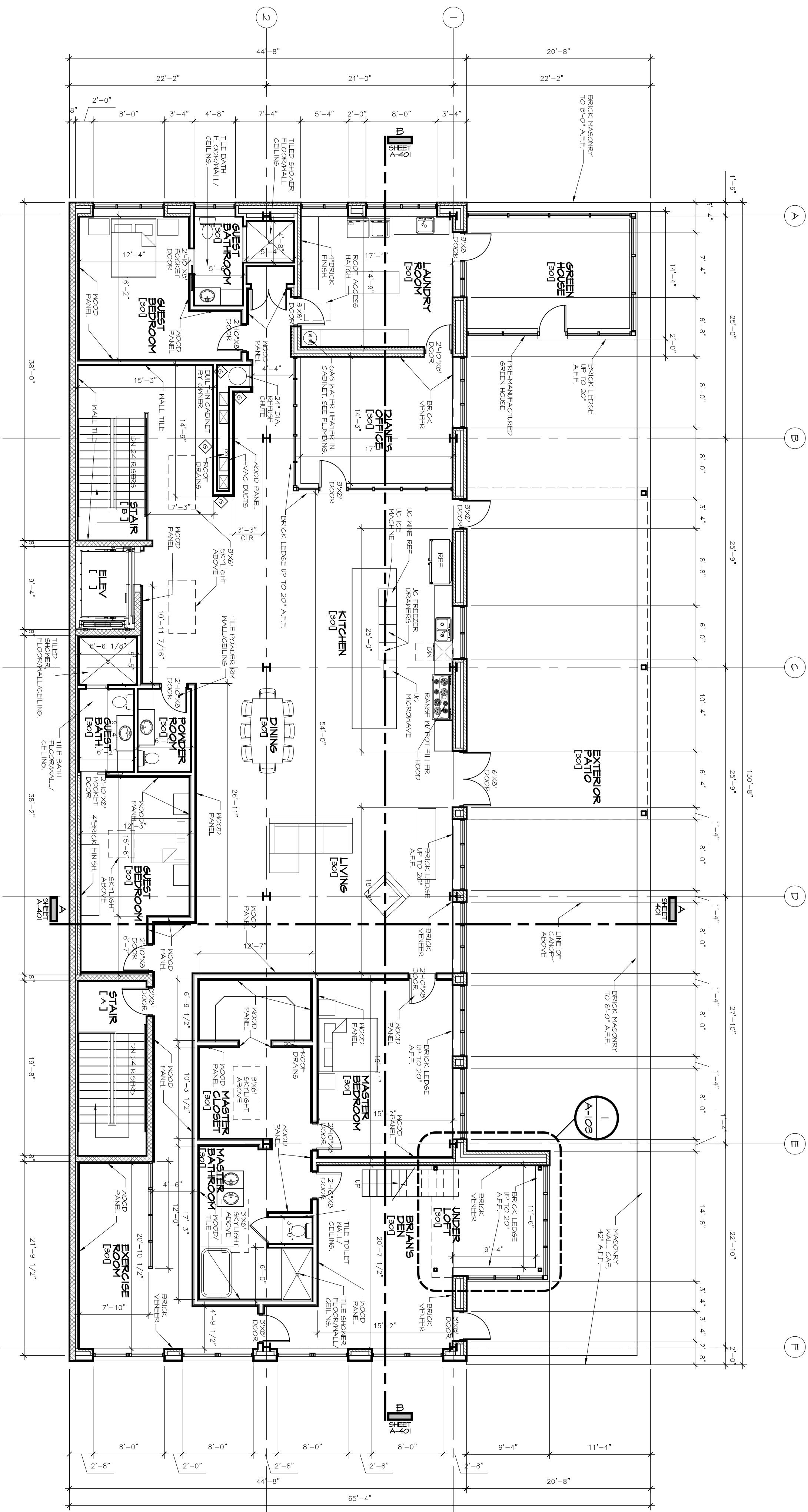
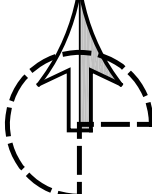
FIRST FLOOR FINISH SCHEDULE										LEGEND	
NO.	ROOM	FLOOR	BASE	WALL		CEILING		REMARKS	ABBR	DESCRIPTION	
101	VESTIBULE	CT	CT	DM	PT	PF	10'-0"	X	CT	CARPET	
102	LOBBY	CPT	VCB	DM	PT	LAT	10'-0"	X	CT	CERAMIC TILE	
103	CORRIDOR	CT	CT	DM	PT	LAT	10'-0"	X	DM	DRYWALL	
104	LEASE SPACE	SC	-	EXP	-	-	-	X	DM	DRYWALL	
105	PRIVATE GARAGE	SC	VCB	DM	PT	-	-	X	EXP	PAINT	
106	MECHANICAL	SC	VCB	DM	PT	-	-	X	EXP	PAINT	
107	STORAGE	SC	VCB	DM	PT	-	-	X	EXP	PAINT	
108	JANITORS	SC	VCB	DM	PT	-	-	X	EXP	PAINT	
109	MENS	CT	CT	DM	PT	LAT	PF	-	EXP	SEALD CONCRETE	
110	JOCKEYS	SC	-	EXP	-	-	-	X	EXP	SEALD CONCRETE	
III	LEASE SPACE	SC	-	EXP	-	-	-	X	EXP	SEALD CONCRETE	
-	STAIR 'A'	SC	VCB	DM	PT	-	-	X	EXP	SEALD CONCRETE	
-	STAIR 'B'	SC	VCB	DM	PT	-	-	X	EXP	SEALD CONCRETE	

SECOND FLOOR FINISH SCHEDULE									
NO.	ROOM	FLOOR	BASE		WALL		CEILING		REMARKS
					MAT.	FIN.	MAT.	FIN.	
201	LOBBY	CPT	VCB	DM	PT	LAT	PT	10'-0"	x
202	LEASE SPACE	SC	EXP	-	-	-	EXP.	-	x
203	JUNITORS	SC	VCB	DM	FRONT PT	PT	-	EXP.	x
204	MENS	CT	CT	DM	PT	LAT	PT	8'-0"	x
205	WOMEN'S	CT	CT	PT	LAT	PT	8'-0"	x	

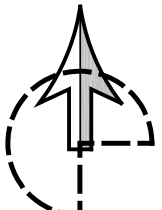
1. ALL FINISHES NEEDED ARE GENERIC - FINAL SELECTIONS SHALL BE AS SELECTED BY OWNER.
2. SANITARY BASES IN TOILET ROOMS AND BATHROOMS SHALL BE 6" TALL MINIMUM.
3. ALL FLOOR FINISHES SHALL BE SLIP RESISTANT AND SECURELY ATTACHED IN ACCORDANCE WITH 2015 NBC 1008.4. THE STATIC COEFFICIENT OF FRICTION (SCF) FOR ALL FLOOR SURFACES SHALL BE 0.6 MINIMUM.
4. DRYWALL IN TOILET ROOMS AND BATHROOMS SHALL BE MOISTURE-RESISTANT (GREEN TYPE) IN AREAS EXPOSED TO MOISTURE.
5. WALL SURFACES IN TOILET ROOMS AND BATHROOMS SHALL BE NONABSORBENT IN ACCORDANCE W/ 2015 NBC 1201.2.
6. DRYWALL FINISH GRADE TO BE LEVEL. 4 UNLESS OTHERWISE NOTED.
7. REFER TO GENERAL NOTES FOR OTHER INTERIOR FINISH REQUIREMENTS.



LOFT FLOOR PLAN



THIRD FLOOR PLAN



**PRELIMINARY
NOT FOR
CONSTRUCTION**

FOR ILLUSTRATIVE PURPOSES ONLY

THESE DRAWINGS ARE TO BE USED FOR ILLUSTRATIVE PURPOSES ONLY AND ARE NOT TO BE USED AS A BASIS FOR CONSTRUCTION OR ALTERATIONS.

STUDIO (NIRLEIGH) ARCHITECTS LLC EXPRESSLY DISCLAIMS ANY AND ALL LIABILITY RESULTING FROM OR CONNECTED WITH THE USE OF THESE DRAWINGS FOR ANY PURPOSE OTHER THAN ILLUSTRATION.

LICENSE TO USE OF THIS DRAWING SHALL BE LIMITED TO CLIENT REVIEW ONLY.

A-103

17.208

Copyright 2018 Studio [Intrigue] Architects, LLC

2111 UNIVERSITY
PARK DRIVE

RED OAK HOLDINGS

W. MAPLE ST.
MIXED USE

154 W. MAPLE ST
MASON, MI 48854

Project type
**NEW
CONSTRUCTION**

studio
[intrigue]
ARCHITECTS

1114 S. WASHINGTON AVE. ✕ SUITE 100 ✕ LANSING ✕ MICHIGAN ✕ 48911
517.372.8804 PHONE ✕ 517.372.8805 FAX ✕ WWW.STUDIOINTRIGUE.COM

Copyright 2018 Studio [intrigue] Architects, LLC

03/27/18

DESIGN DEV. PACKAGE

**PRELIMINARY
NOT FOR
CONSTRUCTION**

FOR ILLUSTRATIVE PURPOSES ONLY

THESE DRAWINGS ARE TO BE USED FOR ILLUSTRATIVE PURPOSES ONLY AND ARE NOT TO BE USED AS A BASIS FOR CONSTRUCTION OR ALTERATION.

STUDIO (UN)REGISTERED ARCHITECTS LTD.
EXPRESSLY DISCLAIMS ANY AND ALL LIABILITY RESULTING FROM OR ARISING OUT OF THE USE OF THESE DRAWINGS FOR ANY PURPOSE OTHER THAN ILLUSTRATION.

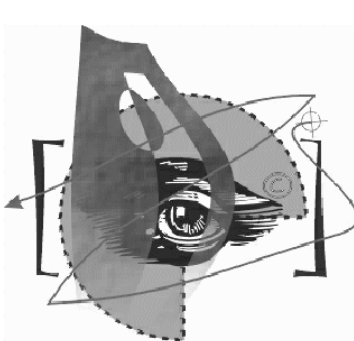
LICENSEE TO USE OF THIS DRAWING
IS LIMITED TO THE CLIENT.
REVIEW ONLY.

[illegible]

04/27/18
05/25/18

FACADE NOTES

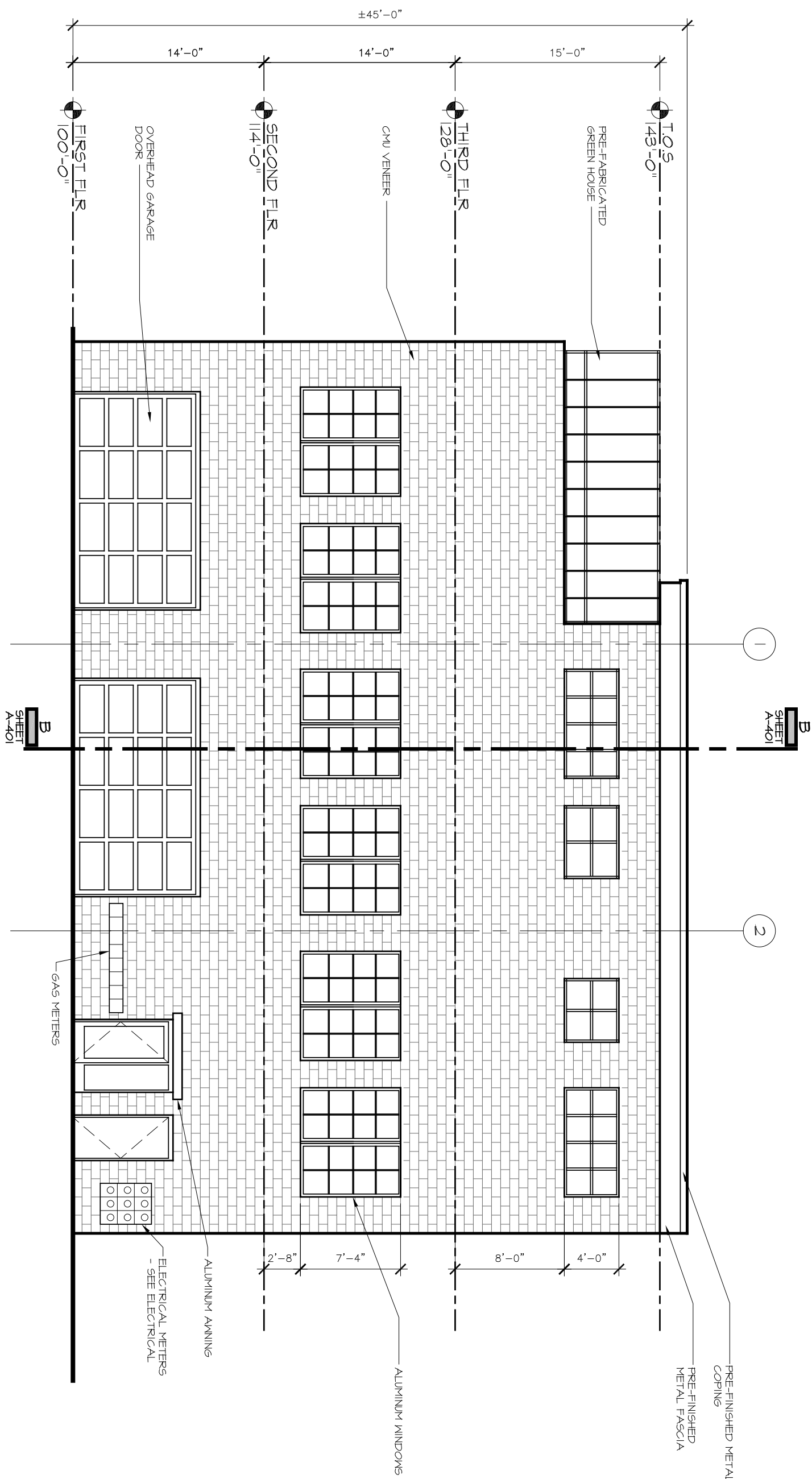
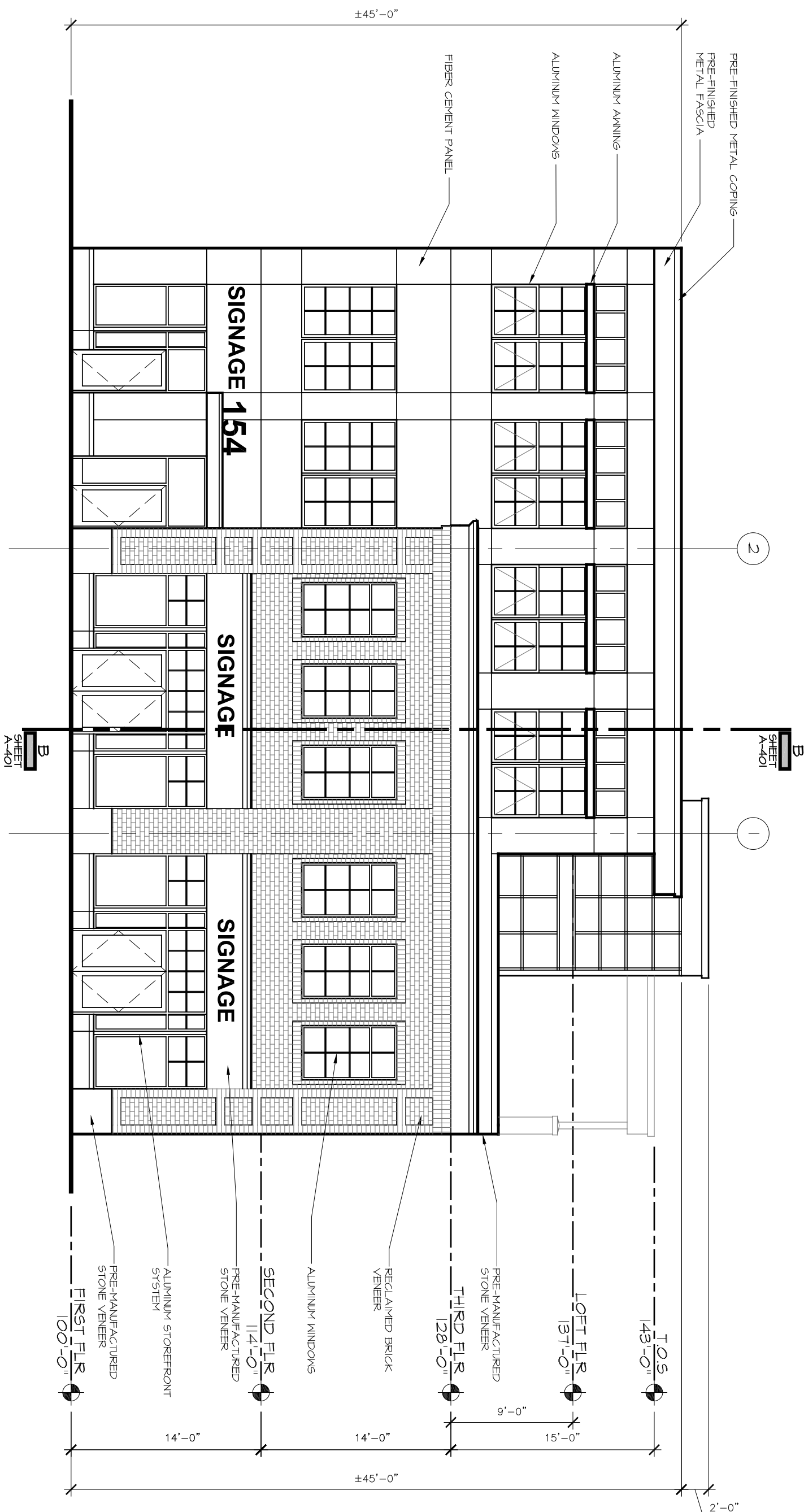
1. PROVIDE SEALANT AT EXTERIOR AT THE INTERSECTIONS OF ALL DISSIPILAR MATERIALS COLOR TO MATCH THE COLOR OF THE PRIMARY ADJACENT MATERIAL.
2. FIELD VERIFY ALL OPENINGS FOR ALUMINUM STOREFRONT FRAMING PRIOR TO ORDERING OF MATERIALS OR FABRICATION.
3. PROVIDE ISOLATION COATING BETWEEN ALL DISSIPILAR METALS (IE-ALUM TO STEEL).
4. FABRIC COMPANIES AND SIGNAGE SHALL BE DESIGNED AND PERMITTED BY OWNER'S SIGNAGE SUBCONTRACTOR.
5. ANY SIGNAGE SHOWN IS FOR ILLUSTRATIVE PURPOSES ONLY. DO NOT SCALE THE SIGNAGE. THE SIGNAGE FABRICATION OR SIGN PROVIDER MUST BE APPROVED BY THE ARCHITECT PRIOR TO FABRICATION. (ARE NOT SHOP DRAWINGS). THE SIGNAGE SUBCONTRACTOR SHALL VISIT THE PROJECT SITE TO MEASURE AND OBSERVE FIELD CONDITIONS PRIOR TO FABRICATION.
6. ALL MASONRY SHALL RECEIVE A FIELD-APPLIED MASONRY SEALER/WATER REPELLENT. THE SEALER/WATER REPELLENT, WHERE ADJACENT TO ASPHALT/CONCRETE FLATWORK, SHALL BE SEALED WITH PROSOCCO SEALGUARD OR APPROVED EQUAL. ALL OTHER AREAS SHALL BE SEALED WITH PROSOCCO SLOVANEK OR APPROVED EQUAL.
7. ALL EXPOSED STEEL PLATES, ANGLES AND OTHER STRUCTURAL SHAPES SHALL BE PAINTED AND PAINTED IN THE FIELD.
8. ALL WOOD IN CONTACT WITH CONCRETE OR MASONRY SHALL BE TREATED.



studio
[intrigue]
ARCHITECTS
1114 S. WASHINGTON AVE. • SUITE 100 • LANSING • MICHIGAN • 48206
517.372.8804 PHONE • 517.372.8805 FAX • WWW.STUDIOINTRIGUE.C

SOUTH ELEVATION
1/8" = 1'-0"

1/8" = 0.125"



NORTH ELEVATION

 $1/8" = .125$

NEW CONSTRUCTION

W. MAPLE ST.
MIXED USE

154 W. MAPLE ST
MASON, MI 48854

Client

RED OAK HOLDINGS

2111 UNIVERS
PARK DRIVE

1111

Project Number

17.208

Shnee

A-301

FOR ILLUSTRATIVE PURPOSES ONLY.
THESE DRAWINGS ARE PRELIMINARY AND NOT FOR CONSTRUCTION. ANY CHANGES OR ALTERATIONS TO THE DESIGN SHALL BE THE RESPONSIBILITY OF THE CLIENT. THE ARCHITECT ASSUMES NO LIABILITY FOR THE ACCURACY OF THE INFORMATION PROVIDED BY THE CLIENT. THE ARCHITECT'S WORK IS LIMITED TO THE DESIGN OF THE BUILDING AND DOES NOT INCLUDE THE DESIGN OF THE LANDSCAPE OR THE DESIGN OF THE INTERIORS. THE ARCHITECT'S WORK IS LIMITED TO THE DESIGN OF THE BUILDING AND DOES NOT INCLUDE THE DESIGN OF THE LANDSCAPE OR THE DESIGN OF THE INTERIORS.

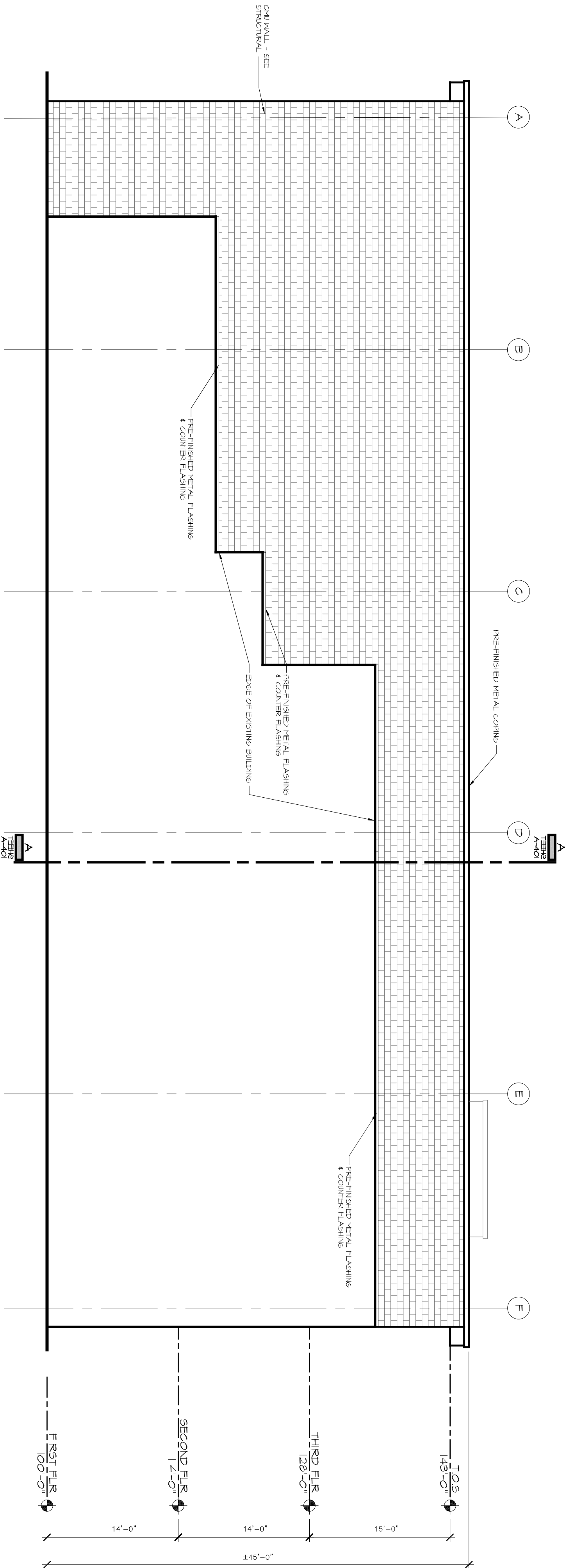
STUDIO [INTRIGUE] ARCHITECTS, LLC
1114 S. WASHINGTON AVE. SUITE 100 LANSING, MI 48204
517.372.8804 PHONE 517.372.8805 FAX WWW.STUDIOINTRIGUE.COM

PRELIMINARY
NOT FOR
CONSTRUCTION

FOR ILLUSTRATIVE PURPOSES ONLY.
THESE DRAWINGS ARE PRELIMINARY AND NOT FOR CONSTRUCTION. ANY CHANGES OR ALTERATIONS TO THE DESIGN SHALL BE THE RESPONSIBILITY OF THE CLIENT. THE ARCHITECT ASSUMES NO LIABILITY FOR THE ACCURACY OF THE INFORMATION PROVIDED BY THE CLIENT. THE ARCHITECT'S WORK IS LIMITED TO THE DESIGN OF THE BUILDING AND DOES NOT INCLUDE THE DESIGN OF THE LANDSCAPE OR THE DESIGN OF THE INTERIORS. THE ARCHITECT'S WORK IS LIMITED TO THE DESIGN OF THE BUILDING AND DOES NOT INCLUDE THE DESIGN OF THE LANDSCAPE OR THE DESIGN OF THE INTERIORS.

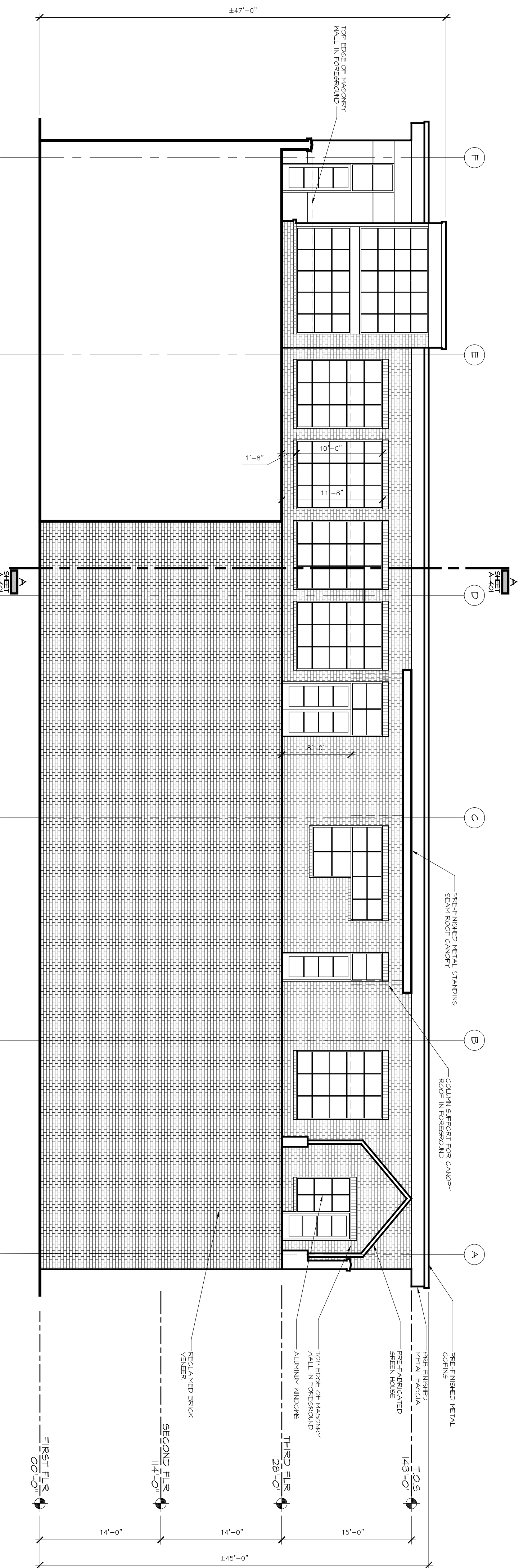
DESIGN DEV. PACKAGE
SITE PLAN REVIEW

04/27/18
05/25/18



WEST ELEVATION

1/8"=1'-0"



EAST ELEVATION

1/8"=1'-0"

Project Type
NEW
CONSTRUCTION

Client
RED OAK HOLDINGS
2111 UNIVERSITY PARK DRIVE

W. MAPLE ST. MIXED USE
154 W. MAPLE ST
MASON, MI 48854

Project
A-302

Copyright 2018 Studio [Intrigue] Architects, LLC
Project Number
17.208

Street
A-302

1114 S. WASHINGTON AVE. ✕ SUITE 100 ✕ LANSING ✕ MICHIGAN ✕ 48204
517.372.8804 PHONE ✕ 517.372.8805 FAX ✕ WWW.STUDIOINTRIGUE.COM