HISTORIC DISTRICT COMMISSION
MONDAY, JUNE 22, 2020
Electronic Meeting – 4:00 P.M.

AGENDA

1) **CALL TO ORDER**
2) **ROLL CALL**
3) **PUBLIC COMMENT**
4) **APPROVAL OF MINUTES**
   A. Approve Minutes of Regular Historic District Commission Meeting May 26, 2020
5) **UNFINISHED BUSINESS**
   A. Work Plan
6) **NEW BUSINESS**
   A. 124-136 W. Ash – First Contracting Inc. request for Certificate of Appropriateness for replacement of windows.
7) **LIAISON REPORT**
   A. City Manager's Report
8) **ADJOURN**

HISTORIC DISTRICT COMMISSION ELECTRONIC MEETING INFORMATION

PLEASE TAKE NOTICE that the meeting of the City of Mason Historic District Commission scheduled for **June 22, 2020, starting at 4:00 pm,** will be conducted virtually (online and/or by phone) due to health concerns surrounding Coronavirus/COVID-19, under the Governor of Michigan's Executive Orders 2020-59 and 2020-75.

The City of Mason will be using Zoom to host this meeting. A free account is required to use Zoom. Please take the time to download and set-up Zoom prior to the meeting. Zoom may be accessed here: https://zoom.us/

MEETING INFORMATION:

Topic: **Historic District Commission Meeting**
Time: **June 22, 2020 at 4:00 p.m.** Eastern Time

Meeting ID: 839 3840 7872

Video Conference Information: **Link to join online: https://us02web.zoom.us/j/83938407872**

- You may also join a meeting without the link by going to join.zoom.us on any browser and entering the Meeting ID identified above.

- Phone Information:
  Dial (312) 626 6799 (Enter meeting ID when prompted.)

To comply with the **Americans with Disabilities Act (ADA),** any citizen requesting accommodation to attend this meeting, and/or to obtain this notice in alternate formats, please contact Michigan Relay at https://hamiltonrelay.com/michigan/index.html.

Resources: More Questions? Please Contact our Customer Service Desk at 517.676.9155.

Electronic Meeting Rules for Public

- All public participants entering the meeting will automatically be muted upon entering.
- All public participants should either turn off or leave off their video camera. Only Historic District Commission (HDC) members will be allowed to have their video cameras on. Your video camera will be turned off for you if you do not turn it off yourself.
- Public comment:
    - Public only will be allowed to address the HDC during Public Comments
    - Public is allowed three (3) minutes to speak.
    - Public must state the name and address slowly and clearly before they start to address the HDC.
    - Public comments will be addressed in the following order:
        1. Those provided in writing by 2:30 pm on the day of the meeting sent to marciah@mason.mi.us will be read aloud by Chair.
        2. Those requesting to speak during meeting, by providing name, address in by 2:30 pm on the day of the meeting sent to marciah@mason.mi.us.
        3. Those using the Video Conference Portion (not calling on a telephone) will be asked to use the "Raise Your Hand" Feature in Zoom. The Chair will call on individuals to speak and they will be unmuted at that time.
        4. Participants that are available only by phone, after the Chair requests.

- Inappropriate or disruptive participants will not be allowed or tolerated and will be removed from the meeting.
- Due to the electronic nature of this type of meeting the Chair, at their discretion, may adjourn the meeting with or without notice for any reason. Every attempt will be made to remain connected to the meeting, however two examples of abrupt adjournment may be computer connectivity issues or lack of appropriate participation. According to the Attorney General, interrupting a public meeting in Michigan with hate speech or profanity could result in criminal charges under several State statutes relating to Fraudulent Access to a Computer or Network (MCL 752.797) and/or Malicious Use of Electronics Communication (MCL 750.540).

ADDITIONAL ZOOM INSTRUCTIONS FOR PARTICIPANTS:

PHONE INSTRUCTIONS - to join the conference by phone

1. On your phone, dial the teleconferencing number provided above.
2. Enter the **Meeting ID number** (above) when prompted using your touch- tone (DTMF) keypad.

VIDEOCONFERENCE INSTRUCTIONS – to watch and speak, but not to be seen

Before a videoconference:

1. You will need a computer, tablet, or smartphone with speaker or headphones. You will have the opportunity to check your audio immediately upon joining a meeting.
2. Details, phone numbers, and links to videoconference or conference call is provided above. The details include a link to "Join via computer" as well as phone numbers for a conference call option. It will also include the 9-digit Meeting ID.

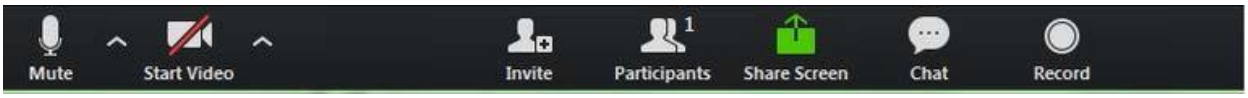
To join the videoconference:

1. At the start time of your meeting, enter the link to join via computer. You may be instructed to download the Zoom application.
2. You have an opportunity to test your audio at this point by clicking on "Test Computer Audio." Once you are satisfied that your audio works, click on "Join audio by computer."

If you are having trouble hearing the meeting, you can join via telephone while remaining on the video conference:

1. On your phone, dial the teleconferencing number provided above.
2. Enter the **Meeting ID number** when prompted using your touch- tone (DTMF) keypad.
3. If you have already joined the meeting via computer, you will have the option to enter your 2- digit participant ID to be associated with your computer.

Participant controls in the lower left corner of the Zoom screen:



Using the icons in the lower left corner of the Zoom screen, you can:

- Mute/Unmute your microphone (far left)
- Turn on/off camera ("Start/Stop Video")
- Invite other participants
- View Participant list – opens a pop-out screen that includes a **"Raise Hand"** icon that you may use to raise a virtual hand during Call to the Public
- Change your screen name that is seen in the participant list and video window

Somewhere (usually upper right corner on your computer screen) on your Zoom screen you will also see a choice to toggle between "speaker" and "gallery" view. "Speaker view" shows the active speaker. "Gallery view" tiles all of the meeting participants.

CITY OF MASON
HISTORIC DISTRICT COMMISSION
MINUTES OF MAY 26, 2020
DRAFT

Clinton called the meeting to order at 4:03 p.m. at 201 W. Ash Street, Mason MI (Via Zoom Teleconference).

Present: (6) Clinton, Cummings, Klein, Schulien, Shattuck, Vogel
Absent: (0)
Also present: Elizabeth A. Hude, AICP, Community Development Director, Marcia Holmes, Administrative Assistant

PUBLIC COMMENT
None.

ELECTION OF LEADERSHIP
Hude opened nominations for Chair.

Schulien nominated Cummings for the position of chair. Klein seconded.

Hude closed the nominations for Chair.

Cummings: Yes (6) Clinton, Cummings, Klein, Schulien, Shattuck, Vogel
No (0)
Absent (0)

MOTION PASSED: Cummings confirmed as Chair

Hude opened nominations for Vice-Chair.

Schulien nominated Clinton for the position of Vice-Chair. Vogel seconded.

Hude closed nominations for Vice-Chair.

Clinton: Yes (6) Clinton, Cummings, Klein, Schulien, Shattuck, Vogel
No (0)
Absent (0)

MOTION PASSED: Clinton confirmed as Vice-Chair

APPROVAL OF MINUTES
MOTION by Schulien, second by Clinton, to approve the Historic District Commission meeting minutes as amended from December 16, 2019.

Yes (6) Clinton, Cummings, Klein, Schulien, Shattuck, Vogel
No (0)

Absent: (0)

MOTION APPROVED

UNFINISHED BUSINESS

A. Work Plan Update – Community Partnership Program Application submitted – Survey Project (verbal update)

Director Hude reported that the Certified Local Government (CLG) Annual Report was submitted and Staff submitted a Community Partnership Program Application for the Survey Project. The Community Partnership Program Grant was awarded to another community, but the plan is to submit a grant application for the Library project.

Cummings asked if they need to discuss the requirements from the audit from the last CLG annual report. Hude replied that they have made some progress on the survey and then Covid hit. Cummings requested this item be kept under Unfinished Business for the next meeting.

NEW BUSINESS

A. 110 W. Oak – Pierce Plumbing request for Certificate of Appropriateness for new metal gable siding and gutters.

MOTION by Schulien, second by Klein, to approve a Certificate of Appropriateness for the metal gable siding and gutters.

Yes (6) Clinton, Cummings, Klein, Schulien, Shattuck, Vogel
No (0)
Absent: (0)

MOTION APPROVED

B. 117 & 119 E. Maple – Fiedler Insurance request for Certificate of Appropriateness for replacement storm doors, replacement windows, exterior painting, and brick exterior re-pointing.

Schulien made Point Of Order as to whether this Certificate of Appropriateness request is 2 separate issues or not. Staff noted it is a single property holder.

Cummings asked if the renovations include the center door between the two storefronts. Alan Fiedler, Aaron Fiedler, and Bruce Johnston were on the Zoom call for questions. Johnston and Aaron Fiedler stated that the door was going to be replaced. Cummings asked if the awning was going to be replaced. Bruce and Aaron replied it was not going away. Cummings asked if the brick re-pointing was going to be done on the east side of the building where there is spalling. The answer was yes. Clinton mentioned that she and a couple of the other Commissioners went to the site and could pick the brick out with her fingers as it was wet. Johnston responded that the plan is to repair the spalling and brick issues but also address the reason this is occurring by providing the need for water relief through some fixes on the roof. Cummings

asked if the large window was part of the renovation. Johnston replied it is, and it is the last window to be replaced on the property.

Cummings asked if there were any other questions. There were none.

MOTION by Klein, second by Vogel, to approve a Certificate of Appropriateness for replacement storm doors, replacement windows, exterior painting, and brick exterior re-pointing.

Yes (6) Clinton, Cummings, Klein, Schulien, Shattuck, Vogel
No (0)
Absent: (0)

MOTION APPROVED

C. 2020 Meeting Schedule

Cummings noted the meeting schedule and asked if they would be electronic for the time being. Hude replied that Historic District Commission has no requirement for a minimum amount of meetings so there will be meetings only when there is urgent business and they will be electronic until further notice.

Cummings asked if Zoom would be a possibility to utilize when in person meetings are scheduled but a member is on vacation. Hude was not sure but said she would look into it.

LIAISON REPORT

Vogel welcomed everyone back. She noted that City Council passed the budget with no new capital spending. Council also voted to raise water rates. Vogel explained that with the shutdown, many of the big users - Mason Public Schools, Gestamp, Hair Salons and Dog Groomers closed, what is left is not covering the costs. Council also has cut City staffing by 10 hours weekly through June and July. This will be challenging to DPW who usually hires seasonal staff which will not be happening this year so mowing may take a little longer. The Police Department did create a new parking space on the southeast side of the building for people to come and speak to the Police.

Vogel explained that staffing cuts were also part of the reasoning behind canceling the Memorial Day parade and Fireworks. It will also affect the Ingham County Fair.

DDA was creative and did a gift card sale to help those businesses downtown. They sold $35,000 worth of cards and are planning a second round while trying to include businesses on the Cedar Street corridor also.

The 2020 High School graduates will be honored in late July.

Director Hude noted that the pre-Covid Historic District Commission budget was limited as to having enough staff capacity to complete special projects but it will be even more limited now as there are no increases in the budget. She alerted members that Work Plan projects may stay under Unfinished Business for a while due to budget cuts.

Cummings shared his reasoning for keeping the work plan on unfinished business which was the Certified Local Government Annual Report.

Cummings asked Klein if the Summer Concert Series would be happening. Klein said that since the City has canceled events, the Concerts are canceled. There is talk of outdoor movies happening at the Fairgrounds but it is only talk right now.

Klein shared an update of the Mason Historical Society. The museum has been closed and remains closed. All summer events have been canceled.

Director Hude shared about the new online building permit system being available and the updated webpage and new FAQ for when do you need a building permit.

ADJOURN

The meeting adjourned at approximately 4:37 p.m.

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Elizabeth A. Hude, AICP, Community Development Director

TO: Historic District Commission
FROM: Elizabeth A. Hude, AICP, Community Development Director
RE: 124-136 W. Ash St.
DATE: June 16, 2020

First Contracting Inc. has submitted a proposal for façade improvements of the building located at 124-136 W. Ash for the replacement of all 2nd story windows with windows shown on the Proposed Detail Sheets (pages 1-24) and architectural elevation included in Building Permit PB20-0084:

- PELLA ARCHITECT SERIES DOUBLE HUNG WINDOWS WITH SCREENS
- BROWN EXTERIOR
- PRE-FINISHED WHITE INTERIOR
- FACTORY APPLIED ALUNINUM BRICKMOULD
- ADVANCED LOW-E GLASS --- EXCEEDS BUILDING CODE
- FACTORY APPLIED WOCD DEVICES

Section 31-5(a) of the City of Mason's Ordinances requires that a permit be obtained for work "… performed within an historic district affecting the exterior appearance of a resource …". The subject property is located within the Mason Historic District. The applicant is, therefore, requesting Historic District Commission approval.

Mason Main Street Façade Study
The Main Street Façade Study is the manual by which each building within the Mason Historic District was evaluated. The Study provided architectural consultation to the building owners and the Historic District Commission. The recommendations provided in the Study were based on the U.S. Secretary of the Interior's Standards for Rehabilitation. ***This property was discussed on pages 40-42.***

U.S. Secretary of the Interior's Standards for Rehabilitation
Section 31-5(d) states that the review of any application shall follow the U.S. Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings. Section 31-5(3) lists the discretionary standards that the Commission shall consider and are as follows:

1. *The historical or architectural value and significance of the structure and its relationship to the historical value of the surrounding area.*
2. *The relationship of the exterior architectural features of the structure to the rest of the structure and the surrounding area.*
3. *The general compatibility of exterior design, arrangement, texture, and materials proposed to be used.*
4. *Other factors, including aesthetic value, which the commission considers pertinent.*

Analysis
The proposed façade changes appear to be consistent in character with other buildings in the Historic District. The proposed materials for the windows are consistent with those that have previously been approved by the Mason HDC and SHPO for improvements at 440 S. Jefferson (Kean's), which suggests they do not conflict with either the Mason Main Street Façade Study or the U.S. Secretary of the Interior's Standards for Rehabilitation. The HDC has the following options:

Analysis
The proposed façade improvements appear to be consistent with both the Mason Main Street Façade Study and the U.S. Secretary of the Interior's Standards for Rehabilitation. Staff offers the following recommendations for consideration:

STATUS/NOTE	REQUIREMENT
M = Appears to meet requirement; D = Does not appear to meet requirement; I = Information Needed; R = Recommendation; W = Waiver Requested; *Italics = Staff comments*	
M	*1. The historical or architectural value and significance of the structure and its relationship to the historical value of the surrounding area.* As stated above, the buildings are both contributing resources listed on pages 40-42 of the Façade Study.
M	*2. The relationship of the exterior architectural features of the structure to the rest of the structure and the surrounding area.* The buildings are adjacent to contributing historic structures in all directions.
M	*3. The general compatibility of exterior design, arrangement, texture, and materials proposed to be used.* The selected colors and materials do not detract from the historic and architectural value of the structure and appear to be complimentary and generally compatible to the remainder of the building and surrounding structures.
M	*4. Other factors, including aesthetic value, which the commission considers pertinent.* Staff believes the proposed materials are appropriate for the type of structure and have been used elsewhere within the Historic District – Kean's. This will contribute to a more consistent architectural palette among the buildings in downtown.

Recommended Action
The Historic District Commission has the following options per Section 31-5 of the City Ordinance:

- Approve a Certificate of Appropriateness
- Deny a Certificate of Appropriateness
- Issue a Notice to Proceed, under specific conditions, in accordance with Sec. 31-5(f)(3)
- Continue the matter to a future time and date certain, with or without a request for more information.

Staff offers the following motion for consideration:

<u>Motion</u>

The Historic District Commission approve a Certificate of Appropriateness for façade improvements to the buildings located at 124-136 W. Ash by replacing 2nd story windows as shown on documents submitted

for Building Permit PB20-0084 based upon the findings that the proposed replacements and materials including:

- PELLA ARCHITECT SERIES DOUBLE HUNG WINDOWS WITH SCREENS
- BROWN EXTERIOR
- PRE-FINISHED WHITE INTERIOR
- FACTORY APPLIED ALUNINUM BRICKMOULD
- ADVANCED LOW-E GLASS --- EXCEEDS BUILDING CODE
- FACTORY APPLIED WOCD DEVICES

are consistent with the standards listed in Section 31-5(3) of the Mason Code, specifically:

1. That the property is listed as a contributing building in the City of Mason Historic District and the selected color and materials for the windows will not detract from the historic and architectural value of the structure and appear complimentary and generally compatible to the remainder of the building and will not have a significant negative impact on the surrounding area; and,

2. The materials are compatible with the rest of the structure and the surrounding area.

3. The proposed materials are of appropriate textures and materials for the historic structure; and,

4. The proposed improvements will complement and enhance the District.

Proposal - Detailed

Carter Lumber #0236
3178 E. Bristol Rd.
Burton, MI 48529
Phone: (810) 742-8250 **Fax:** (810) 742-5840

Sales Rep Name: Dunham,
Sales Rep Phone: 810-742-8250
Sales Rep E-Mail: mdunham@carterlumber.com
Sales Rep Fax: 888-282-3740

Customer Information	Project/Delivery Address	Order Information
The Carter Companies - 00236 00000 THE CARTER COMPANIES 601 Tallmadge Road KENT, OH 44240 **Primary Phone:** (810) 7428250 **Mobile Phone:** **Fax Number:** (810) 7425840 **E-Mail:** **Contact Name:** **Great Plains #:** 7900236 **Customer Number:** 1005385993 **Customer Account:** 7900236	**FC 124-135 West Ash Mason** 00236 THE CARTER COMPANIES 3178 E. BRISTOL RD. **Lot #** BURTON, MI 48529 **County:** GENESEE **Owner Name:** The Carter Companies - 00236 **Owner Phone:** (810) 7428250	**Quote Name:** FC 124-135 West Ash Mason **Order Number:** P79VG0IF5 **Quote Number:** **12727223** **Order Type:** Non-Installed Sales **Wall Depth:** **Payment Terms:** C.O.D. **Tax Code:** 6.0 % **Cust Delivery Date:** 7/7/2020 **Quoted Date:** 6/16/2020 **Contracted Date:** **Booked Date:** **Customer PO #:**

Customer Notes: DISCOUNTED BUILDER PRICING WITH TAX ---------- DISCOUNTED BUILDER PRICING WITH TAX

PELLA ARCHITECT SERIES DOUBLE HUNG WINDOWS WITH SCREENS

BROWN EXTERIOR

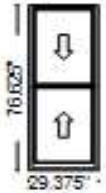
PRE-FINISHED WHITE INTERIOR

FACTORY APPLIED ALUNINUM BRICKMOULD

ADVANCED LOW-E GLASS --- EXCEEDS BUILDING CODE

FACTORY APPLIED WOCD DEVICES

Line #	Location:	Attributes	Qty
10	Window #1	**Architect, Traditional, Double Hung, 29.375 X 76.625, Brown**	1



Viewed From Exterior

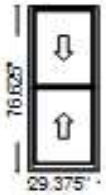
Rough Opening: 30 - 1/8" X 77 - 3/8"

PK #
2061

1: Traditional, Non-Standard SizeNon-Standard Size Double Hung, Equal
Frame Size: 29 3/8 X 76 5/8
General Information: Standard, Luxury, Clad, Pine, 5", 3 11/16"
Exterior Color / Finish: Painted, Standard Enduraclad, Brown
Interior Color / Finish: Prefinished White Paint Interior
Sash / Panel: Ogee, Ogee, Standard, No Sash Lugs
Glass: Insulated Dual Low-E Advanced Low-E Insulating Glass Argon Non High Altitude
Hardware Options: Spoon-Style Lock, White, WOCD (ASTM F2090), No Limited Opening Hardware, Order Sash Lift, No Integrated Sensor
Screen: Full Screen, Standard EnduraClad, Brown, Standard, InView™
Performance Information: U-Factor 0.29, SHGC 0.28, VLT 0.53, CPD PEL-N-232-00253-00001, Performance Class CW, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, Year Rated 08|11, Egress Meets Typical 5.7 sqft (E) (United States Only)
Grille: No Grille,
Wrapping Information: EnduraClad® Exterior Trim, Full Frame Replacement, Factory Applied, Brickmould, 1/2" Sill Nose, Brickmould, Brickmould, Factory Applied, Brown, 3 11/16", 5", Factory Applied, Pella Recommended Clearance, Perimeter Length = 212".

Tip to Tip Exterior Trim Opening:
31 3/4" x 79"

Line #	Location:	Attributes	Qty
15	Window #2	**Architect, Traditional, Double Hung, 29.375 X 76.625, Brown**	1



Viewed From Exterior

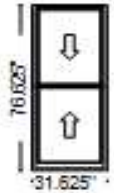
Rough Opening: 30 - 1/8" X 77 - 3/8"

PK #
2061

1: Traditional, Non-Standard SizeNon-Standard Size Double Hung, Equal
Frame Size: 29 3/8 X 76 5/8
General Information: Standard, Luxury, Clad, Pine, 5", 3 11/16"
Exterior Color / Finish: Painted, Standard Enduraclad, Brown
Interior Color / Finish: Prefinished White Paint Interior
Sash / Panel: Ogee, Ogee, Standard, No Sash Lugs
Glass: Insulated Dual Low-E Advanced Low-E Insulating Glass Argon Non High Altitude
Hardware Options: Spoon-Style Lock, White, WOCD (ASTM F2090), No Limited Opening Hardware, Order Sash Lift, No Integrated Sensor
Screen: Full Screen, Standard EnduraClad, Brown, Standard, InView™
Performance Information: U-Factor 0.29, SHGC 0.28, VLT 0.53, CPD PEL-N-232-00253-00001, Performance Class CW, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, Year Rated 08|11, Egress Meets Typical 5.7 sqft (E) (United States Only)
Grille: No Grille,
Wrapping Information: EnduraClad® Exterior Trim, Full Frame Replacement, Factory Applied, Brickmould, 1/2" Sill Nose, Brickmould, Brickmould, Factory Applied, Brown, 3 11/16", 5", Factory Applied, Pella Recommended Clearance, Perimeter Length = 212".

Tip to Tip Exterior Trim Opening:
31 3/4" x 79"

Line #	Location:	Attributes	Qty
20	Window #3	**Architect, Traditional, Double Hung, 31.625 X 76.625, Brown**	1



PK # 2061

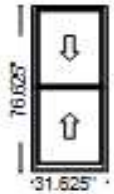
Viewed From Exterior

Rough Opening: 32 - 3/8" X 77 - 3/8"

1: Traditional, Non-Standard SizeNon-Standard Size Double Hung, Equal
Frame Size: 31 5/8 X 76 5/8
General Information: Standard, Luxury, Clad, Pine, 5", 3 11/16"
Exterior Color / Finish: Painted, Standard Enduraclad, Brown
Interior Color / Finish: Prefinished White Paint Interior
Sash / Panel: Ogee, Ogee, Standard, No Sash Lugs
Glass: Insulated Dual Low-E Advanced Low-E Insulating Glass Argon Non High Altitude
Hardware Options: Spoon-Style Lock, White, WOCD (ASTM F2090), No Limited Opening Hardware, Order Sash Lift, No Integrated Sensor
Screen: Full Screen, Standard EnduraClad, Brown, Standard, InView™
Performance Information: U-Factor 0.29, SHGC 0.28, VLT 0.53, CPD PEL-N-232-00253-00001, Performance Class CW, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, Year Rated 08|11, Egress Meets Typical 5.7 sqft (E) (United States Only)
Grille: No Grille,
Wrapping Information: EnduraClad® Exterior Trim, Full Frame Replacement, Factory Applied, Brickmould, 1/2" Sill Nose, Brickmould, Brickmould, Factory Applied, Brown, 3 11/16", 5", Factory Applied, Pella Recommended Clearance, Perimeter Length = 217".

Tip to Tip Exterior Trim Opening:
34" x 79"

Line #	Location:	Attributes	Qty
25	Window #4	**Architect, Traditional, Double Hung, 31.625 X 76.625, Brown**	1



PK # 2061

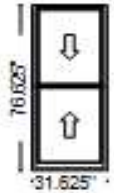
Viewed From Exterior

Rough Opening: 32 - 3/8" X 77 - 3/8"

1: Traditional, Non-Standard SizeNon-Standard Size Double Hung, Equal
Frame Size: 31 5/8 X 76 5/8
General Information: Standard, Luxury, Clad, Pine, 5", 3 11/16"
Exterior Color / Finish: Painted, Standard Enduraclad, Brown
Interior Color / Finish: Prefinished White Paint Interior
Sash / Panel: Ogee, Ogee, Standard, No Sash Lugs
Glass: Insulated Dual Low-E Advanced Low-E Insulating Glass Argon Non High Altitude
Hardware Options: Spoon-Style Lock, White, WOCD (ASTM F2090), No Limited Opening Hardware, Order Sash Lift, No Integrated Sensor
Screen: Full Screen, Standard EnduraClad, Brown, Standard, InView™
Performance Information: U-Factor 0.29, SHGC 0.28, VLT 0.53, CPD PEL-N-232-00253-00001, Performance Class CW, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, Year Rated 08|11, Egress Meets Typical 5.7 sqft (E) (United States Only)
Grille: No Grille,
Wrapping Information: EnduraClad® Exterior Trim, Full Frame Replacement, Factory Applied, Brickmould, 1/2" Sill Nose, Brickmould, Brickmould, Factory Applied, Brown, 3 11/16", 5", Factory Applied, Pella Recommended Clearance, Perimeter Length = 217".

Tip to Tip Exterior Trim Opening:
34" x 79"

Line #	Location:	Attributes	Qty
30	Window #5	**Architect, Traditional, Double Hung, 31.625 X 76.625, Brown**	1



Viewed From Exterior

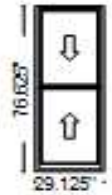
Rough Opening: 32 - 3/8" X 77 - 3/8"

PK #
2061

1: Traditional, Non-Standard SizeNon-Standard Size Double Hung, Equal
Frame Size: 31 5/8 X 76 5/8
General Information: Standard, Luxury, Clad, Pine, 5", 3 11/16"
Exterior Color / Finish: Painted, Standard Enduraclad, Brown
Interior Color / Finish: Prefinished White Paint Interior
Sash / Panel: Ogee, Ogee, Standard, No Sash Lugs
Glass: Insulated Dual Low-E Advanced Low-E Insulating Glass Argon Non High Altitude
Hardware Options: Spoon-Style Lock, White, WOCD (ASTM F2090), No Limited Opening Hardware, Order Sash Lift, No Integrated Sensor
Screen: Full Screen, Standard EnduraClad, Brown, Standard, InView™
Performance Information: U-Factor 0.29, SHGC 0.28, VLT 0.53, CPD PEL-N-232-00253-00001, Performance Class CW, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, Year Rated 08|11, Egress Meets Typical 5.7 sqft (E) (United States Only)
Grille: No Grille,
Wrapping Information: EnduraClad® Exterior Trim, Full Frame Replacement, Factory Applied, Brickmould, 1/2" Sill Nose, Brickmould, Brickmould, Factory Applied, Brown, 3 11/16", 5", Factory Applied, Pella Recommended Clearance, Perimeter Length = 217".

Tip to Tip Exterior Trim Opening:
34" x 79"

Line #	Location:	Attributes	Qty
35	Window #6	**Architect, Traditional, Double Hung, 29.125 X 76.625, Brown**	1



Viewed From Exterior

Rough Opening: 29 - 7/8" X 77 - 3/8"

PK #
2061

1: Traditional, Non-Standard SizeNon-Standard Size Double Hung, Equal
Frame Size: 29 1/8 X 76 5/8
General Information: Standard, Luxury, Clad, Pine, 5", 3 11/16"
Exterior Color / Finish: Painted, Standard Enduraclad, Brown
Interior Color / Finish: Prefinished White Paint Interior
Sash / Panel: Ogee, Ogee, Standard, No Sash Lugs
Glass: Insulated Dual Low-E Advanced Low-E Insulating Glass Argon Non High Altitude
Hardware Options: Spoon-Style Lock, White, WOCD (ASTM F2090), No Limited Opening Hardware, Order Sash Lift, No Integrated Sensor
Screen: Full Screen, Standard EnduraClad, Brown, Standard, InView™
Performance Information: U-Factor 0.29, SHGC 0.28, VLT 0.53, CPD PEL-N-232-00253-00001, Performance Class CW, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, Year Rated 08|11, Egress Meets Typical 5.7 sqft (E) (United States Only)
Grille: No Grille,
Wrapping Information: EnduraClad® Exterior Trim, Full Frame Replacement, Factory Applied, Brickmould, 1/2" Sill Nose, Brickmould, Brickmould, Factory Applied, Brown, 3 11/16", 5", Factory Applied, Pella Recommended Clearance, Perimeter Length = 212".

Tip to Tip Exterior Trim Opening:
31 1/2" x 79"

Line #	Location:	Attributes	Qty
40	Window #7 Tempered	**Architect, Traditional, Double Hung, 29.125 X 88.625, Brown**	1

Viewed From Exterior

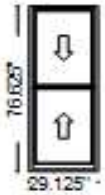
Rough Opening: 29 - 7/8" X 89 - 3/8"

PK #
2061

1: Traditional, Non-Standard SizeNon-Standard Size Double Hung, Equal
Frame Size: 29 1/8 X 88 5/8
General Information: Standard, Luxury, Clad, Pine, 5", 3 11/16"
Exterior Color / Finish: Painted, Standard Enduraclad, Brown
Interior Color / Finish: Prefinished White Paint Interior
Sash / Panel: Ogee, Ogee, Standard, No Sash Lugs
Glass: Insulated Dual Tempered Low-E Advanced Low-E Insulating Glass Argon Non High Altitude
Hardware Options: Spoon-Style Lock, White, WOCD (ASTM F2090), No Limited Opening Hardware, Order Sash Lift, No Integrated Sensor
Screen: Full Screen, Standard EnduraClad, Brown, Premium, InView™
Performance Information: U-Factor 0.29, SHGC 0.28, VLT 0.52, CPD PEL-N-232-00257-00001, Performance Class CW, PG 30, Calculated Positive DP Rating 30, Calculated Negative DP Rating 30, Year Rated 08|11, Egress Meets Typical 5.7 sqft (E) (United States Only)
Grille: No Grille,
Wrapping Information: EnduraClad® Exterior Trim, Full Frame Replacement, Factory Applied, Brickmould, 1/2" Sill Nose, Brickmould, Brickmould, Factory Applied, Brown, 3 11/16", 5", Factory Applied, Pella Recommended Clearance, Perimeter Length = 236".

Tip to Tip Exterior Trim Opening:
31 1/2" x 91"

Line #	Location:	Attributes	Qty
45	Window #8	**Architect, Traditional, Double Hung, 29.125 X 76.625, Brown**	1



Viewed From Exterior

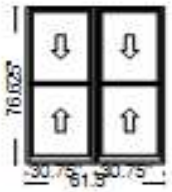
Rough Opening: 29 - 7/8" X 77 - 3/8"

PK #
2061

1: Traditional, Non-Standard SizeNon-Standard Size Double Hung, Equal
Frame Size: 29 1/8 X 76 5/8
General Information: Standard, Luxury, Clad, Pine, 5", 3 11/16"
Exterior Color / Finish: Painted, Standard Enduraclad, Brown
Interior Color / Finish: Prefinished White Paint Interior
Sash / Panel: Ogee, Ogee, Standard, No Sash Lugs
Glass: Insulated Dual Low-E Advanced Low-E Insulating Glass Argon Non High Altitude
Hardware Options: Spoon-Style Lock, White, WOCD (ASTM F2090), No Limited Opening Hardware, Order Sash Lift, No Integrated Sensor
Screen: Full Screen, Standard EnduraClad, Brown, Standard, InView™
Performance Information: U-Factor 0.29, SHGC 0.28, VLT 0.53, CPD PEL-N-232-00253-00001, Performance Class CW, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, Year Rated 08|11, Egress Meets Typical 5.7 sqft (E) (United States Only)
Grille: No Grille,
Wrapping Information: EnduraClad® Exterior Trim, Full Frame Replacement, Factory Applied, Brickmould, 1/2" Sill Nose, Brickmould, Brickmould, Factory Applied, Brown, 3 11/16", 5", Factory Applied, Pella Recommended Clearance, Perimeter Length = 212".

Tip to Tip Exterior Trim Opening:
31 1/2" x 79"

Line #	Location:	Attributes
50	Window #9	



Viewed From Exterior

Rough Opening: 62 - 1/4" X 77 - 3/8"

PK #
2061

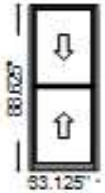
Architect, Traditional, 2-Wide Double Hung, 61.5 X 76.625, Brown

Qty
1

1: Traditional, Non-Standard SizeNon-Standard Size Double Hung, Equal
Frame Size: 30 3/4 X 76 5/8
General Information: Standard, Luxury, Clad, Pine, 5", 3 11/16"
Exterior Color / Finish: Painted, Standard Enduraclad, Brown
Interior Color / Finish: Prefinished White Paint Interior
Sash / Panel: Ogee, Ogee, Standard, No Sash Lugs
Glass: Insulated Dual Low-E Advanced Low-E Insulating Glass Argon Non High Altitude
Hardware Options: Spoon-Style Lock, White, WOCD (ASTM F2090), No Limited Opening Hardware, Order Sash Lift, No Integrated Sensor
Screen: Full Screen, Standard EnduraClad, Brown, Standard, InView™
Performance Information: U-Factor 0.29, SHGC 0.28, VLT 0.53, CPD PEL-N-232-00253-00001, Performance Class CW, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, Year Rated 08|11, Egress Meets Typical 5.7 sqft (E) (United States Only)
Grille: No Grille,
Vertical Mull 1: FactoryMull, Standard Joining Mullion, Frame To Frame Width- 0", Mull Design Pressure- 20
2: Traditional, Non-Standard SizeNon-Standard Size Double Hung, Equal
Frame Size: 30 3/4 X 76 5/8
General Information: Standard, Luxury, Clad, Pine, 5", 3 11/16"
Exterior Color / Finish: Painted, Standard Enduraclad, Brown
Interior Color / Finish: Prefinished White Paint Interior
Sash / Panel: Ogee, Ogee, Standard, No Sash Lugs
Glass: Insulated Dual Low-E Advanced Low-E Insulating Glass Argon Non High Altitude
Hardware Options: Spoon-Style Lock, White, WOCD (ASTM F2090), No Limited Opening Hardware, Order Sash Lift, No Integrated Sensor
Screen: Full Screen, Standard EnduraClad, Brown, Standard, InView™
Performance Information: U-Factor 0.29, SHGC 0.28, VLT 0.53, CPD PEL-N-232-00253-00001, Performance Class CW, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, Year Rated 08|11, Egress Meets Typical 5.7 sqft (E) (United States Only)
Grille: No Grille,
Wrapping Information: EnduraClad® Exterior Trim, Full Frame Replacement, Factory Applied, Brickmould, 1/2" Sill Nose, Brickmould, Brickmould, Factory Applied, Brown, 3 11/16", 5", Factory Applied, Pella Recommended Clearance, Perimeter Length = 277".

Tip to Tip Exterior Trim Opening:
63 7/8" x 79"

Line #	Location:	Attributes	Qty
55	Window #10	**Architect, Traditional, Double Hung, 33.125 X 88.625, Brown**	1



Viewed From Exterior

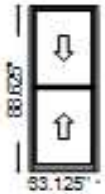
Rough Opening: 33 - 7/8" X 89 - 3/8"

PK #
2061

1: Traditional, Non-Standard SizeNon-Standard Size Double Hung, Equal
Frame Size: 33 1/8 X 88 5/8
General Information: Standard, Luxury, Clad, Pine, 5", 3 11/16"
Exterior Color / Finish: Painted, Standard Enduraclad, Brown
Interior Color / Finish: Prefinished White Paint Interior
Sash / Panel: Ogee, Ogee, Standard, No Sash Lugs
Glass: Insulated Dual Low-E Advanced Low-E Insulating Glass Argon Non High Altitude
Hardware Options: Spoon-Style Lock, White, WOCD (ASTM F2090), No Limited Opening Hardware, Order Sash Lift, No Integrated Sensor
Screen: Full Screen, Standard EnduraClad, Brown, Premium, InView™
Performance Information: U-Factor 0.29, SHGC 0.28, VLT 0.53, CPD PEL-N-232-00253-00001, Performance Class CW, PG 30, Calculated Positive DP Rating 30, Calculated Negative DP Rating 30, Year Rated 08|11, Egress Meets Typical 5.7 sqft (E) (United States Only)
Grille: No Grille,
Wrapping Information: EnduraClad® Exterior Trim, Full Frame Replacement, Factory Applied, Brickmould, 1/2" Sill Nose, Brickmould, Brickmould, Factory Applied, Brown, 3 11/16", 5", Factory Applied, Pella Recommended Clearance, Perimeter Length = 244".

Tip to Tip Exterior Trim Opening:
35 1/2" x 91"

Line #	Location:	Attributes	Qty
60	Window #11	**Architect, Traditional, Double Hung, 33.125 X 88.625, Brown**	1



Viewed From Exterior

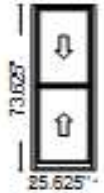
Rough Opening: 33 - 7/8" X 89 - 3/8"

PK #
2061

1: Traditional, Non-Standard SizeNon-Standard Size Double Hung, Equal
Frame Size: 33 1/8 X 88 5/8
General Information: Standard, Luxury, Clad, Pine, 5", 3 11/16"
Exterior Color / Finish: Painted, Standard Enduraclad, Brown
Interior Color / Finish: Prefinished White Paint Interior
Sash / Panel: Ogee, Ogee, Standard, No Sash Lugs
Glass: Insulated Dual Low-E Advanced Low-E Insulating Glass Argon Non High Altitude
Hardware Options: Spoon-Style Lock, White, WOCD (ASTM F2090), No Limited Opening Hardware, Order Sash Lift, No Integrated Sensor
Screen: Full Screen, Standard EnduraClad, Brown, Premium, InView™
Performance Information: U-Factor 0.29, SHGC 0.28, VLT 0.53, CPD PEL-N-232-00253-00001, Performance Class CW, PG 30, Calculated Positive DP Rating 30, Calculated Negative DP Rating 30, Year Rated 08|11, Egress Meets Typical 5.7 sqft (E) (United States Only)
Grille: No Grille,
Wrapping Information: EnduraClad® Exterior Trim, Full Frame Replacement, Factory Applied, Brickmould, 1/2" Sill Nose, Brickmould, Brickmould, Factory Applied, Brown, 3 11/16", 5", Factory Applied, Pella Recommended Clearance, Perimeter Length = 244".

Tip to Tip Exterior Trim Opening:
35 1/2" x 91"

Line #	Location:	Attributes
65	Window #12	



Viewed From Exterior

Rough Opening: 26 - 3/8" X 74 - 3/8"

Architect, Traditional, Double Hung, 25.625 X 73.625, Brown

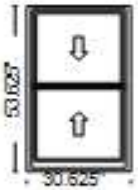
Qty 1

PK # 2061

1: Traditional, Non-Standard SizeNon-Standard Size Double Hung, Equal
Frame Size: 25 5/8 X 73 5/8
General Information: Standard, Luxury, Clad, Pine, 5", 3 11/16"
Exterior Color / Finish: Painted, Standard Enduraclad, Brown
Interior Color / Finish: Prefinished White Paint Interior
Sash / Panel: Ogee, Ogee, Standard, No Sash Lugs
Glass: Insulated Dual Low-E Advanced Low-E Insulating Glass Argon Non High Altitude
Hardware Options: Spoon-Style Lock, White, WOCD (ASTM F2090), No Limited Opening Hardware, Order Sash Lift, No Integrated Sensor
Screen: Full Screen, Standard EnduraClad, Brown, Standard, InView™
Performance Information: U-Factor 0.29, SHGC 0.28, VLT 0.53, CPD PEL-N-232-00253-00001, Performance Class CW, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, Year Rated 08|11, Egress Meets Typical for ground floor 5.0 sqft (E1) (United States Only)
Grille: No Grille,
Wrapping Information: EnduraClad® Exterior Trim, Full Frame Replacement, Factory Applied, Brickmould, 1/2" Sill Nose, Brickmould, Brickmould, Factory Applied, Brown, 3 11/16", 5", Factory Applied, Pella Recommended Clearance, Perimeter Length = 199".

Tip to Tip Exterior Trim Opening:
28" x 76"

Line #	Location:	Attributes
70	Window #13	



Viewed From Exterior

Rough Opening: 31 - 3/8" X 54 - 3/8"

Architect, Traditional, Double Hung, 30.625 X 53.625, Brown

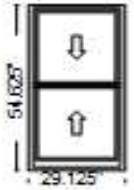
Qty 1

PK # 2061

1: Traditional, Non-Standard SizeNon-Standard Size Double Hung, Equal
Frame Size: 30 5/8 X 53 5/8
General Information: Standard, Luxury, Clad, Pine, 5", 3 11/16"
Exterior Color / Finish: Painted, Standard Enduraclad, Brown
Interior Color / Finish: Prefinished White Paint Interior
Sash / Panel: Ogee, Ogee, Standard, No Sash Lugs
Glass: Insulated Dual Low-E Advanced Low-E Insulating Glass Argon Non High Altitude
Hardware Options: Spoon-Style Lock, White, WOCD (ASTM F2090), No Limited Opening Hardware, Order Sash Lift, No Integrated Sensor
Screen: Full Screen, Standard EnduraClad, Brown, Standard, InView™
Performance Information: U-Factor 0.29, SHGC 0.28, VLT 0.53, CPD PEL-N-232-00253-00001, Performance Class CW, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, Year Rated 08|11, Egress Does not meet typical United States egress, but may comply with local code requirements
Grille: No Grille,
Wrapping Information: EnduraClad® Exterior Trim, Full Frame Replacement, Factory Applied, Brickmould, 1/2" Sill Nose, Brickmould, Brickmould, Factory Applied, Brown, 3 11/16", 5", Factory Applied, Pella Recommended Clearance, Perimeter Length = 169".

Tip to Tip Exterior Trim Opening:
33" x 56"

Line #	Location:	Attributes	Qty
75	Window #14	**Architect, Traditional, Double Hung, 29.125 X 54.625, Brown**	1



Viewed From Exterior

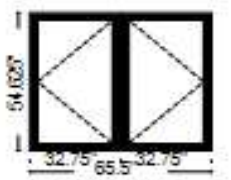
Rough Opening: 29 - 7/8" X 55 - 3/8"

PK #
2061

1: Traditional, Non-Standard SizeNon-Standard Size Double Hung, Equal
Frame Size: 29 1/8 X 54 5/8
General Information: Standard, Luxury, Clad, Pine, 5", 3 11/16"
Exterior Color / Finish: Painted, Standard Enduraclad, Brown
Interior Color / Finish: Prefinished White Paint Interior
Sash / Panel: Ogee, Ogee, Standard, No Sash Lugs
Glass: Insulated Dual Low-E Advanced Low-E Insulating Glass Argon Non High Altitude
Hardware Options: Spoon-Style Lock, White, WOCD (ASTM F2090), No Limited Opening Hardware, Order Sash Lift, No Integrated Sensor
Screen: Full Screen, Standard EnduraClad, Brown, Standard, InView™
Performance Information: U-Factor 0.29, SHGC 0.28, VLT 0.53, CPD PEL-N-232-00253-00001, Performance Class CW, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, Year Rated 08|11, Egress Does not meet typical United States egress, but may comply with local code requirements
Grille: No Grille,
Wrapping Information: EnduraClad® Exterior Trim, Full Frame Replacement, Factory Applied, Brickmould, 1/2" Sill Nose, Brickmould, Brickmould, Factory Applied, Brown, 3 11/16", 5", Factory Applied, Pella Recommended Clearance, Perimeter Length = 168".

Tip to Tip Exterior Trim Opening:
31 1/2" x 57"

Line #	Location:	Attributes
80	Window #15	



Viewed From Exterior

Rough Opening: 66 - 1/4" X 55 - 3/8"

PK #
2061

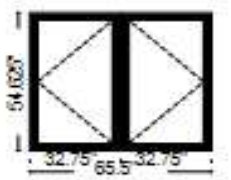
Architect, Traditional, 2-Wide Casement, 65.5 X 54.625, Brown

Qty
1

1: Traditional, Non-Standard SizeNon-Standard Size Left Casement
Frame Size: 32 3/4 X 54 5/8
General Information: Standard, Clad, Pine, 5", 3 11/16"
Exterior Color / Finish: Painted, Standard Enduraclad, Brown
Interior Color / Finish: Prefinished White Paint Interior
Sash / Panel: Ogee, Ogee, Standard
Glass: Insulated Dual Low-E Advanced Low-E Insulating Glass Argon Non High Altitude
Hardware Options: Wash Hinge Hardware, Fold-Away Crank, White, WOCD (ASTM F2090), No Limited Opening Hardware, No Integrated Sensor
Screen: Full Screen, White, InView™
Performance Information: U-Factor 0.28, SHGC 0.26, VLT 0.48, CPD PEL-N-11-21561-00002, Performance Class CW, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, Year Rated 11, Egress Meets Typical 5.7 sqft (E) (United States Only)
Grille: No Grille,
Vertical Mull 1: FactoryMull, Standard Joining Mullion, Frame To Frame Width- 0", Mull Design Pressure- 20
2: Traditional, Non-Standard SizeNon-Standard Size Right Casement
Frame Size: 32 3/4 X 54 5/8
General Information: Standard, Clad, Pine, 5", 3 11/16"
Exterior Color / Finish: Painted, Standard Enduraclad, Brown
Interior Color / Finish: Prefinished White Paint Interior
Sash / Panel: Ogee, Ogee, Standard
Glass: Insulated Dual Low-E Advanced Low-E Insulating Glass Argon Non High Altitude
Hardware Options: Wash Hinge Hardware, Fold-Away Crank, White, WOCD (ASTM F2090), No Limited Opening Hardware, No Integrated Sensor
Screen: Full Screen, White, InView™
Performance Information: U-Factor 0.28, SHGC 0.26, VLT 0.48, CPD PEL-N-11-21561-00002, Performance Class CW, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, Year Rated 11, Egress Meets Typical 5.7 sqft (E) (United States Only)
Grille: No Grille,
Wrapping Information: EnduraClad® Exterior Trim, Full Frame Replacement, Factory Applied, Brickmould, 1/2" Sill Nose, Brickmould, Brickmould, Factory Applied, Brown, 3 11/16", 5", Factory Applied, Pella Recommended Clearance, Perimeter Length = 241".

Tip to Tip Exterior Trim Opening:
67 7/8" x 57"

Line #	Location:	Attributes
85	Window #16	



Viewed From Exterior

Rough Opening: 66 - 1/4" X 55 - 3/8"

Architect, Traditional, 2-Wide Casement, 65.5 X 54.625, Brown

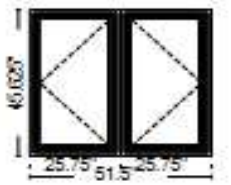
Qty
1

PK #
2061

1: Traditional, Non-Standard SizeNon-Standard Size Left Casement
Frame Size: 32 3/4 X 54 5/8
General Information: Standard, Clad, Pine, 5", 3 11/16"
Exterior Color / Finish: Painted, Standard Enduraclad, Brown
Interior Color / Finish: Prefinished White Paint Interior
Sash / Panel: Ogee, Ogee, Standard
Glass: Insulated Dual Low-E Advanced Low-E Insulating Glass Argon Non High Altitude
Hardware Options: Wash Hinge Hardware, Fold-Away Crank, White, WOCD (ASTM F2090), No Limited Opening Hardware, No Integrated Sensor
Screen: Full Screen, White, InView™
Performance Information: U-Factor 0.28, SHGC 0.26, VLT 0.48, CPD PEL-N-11-21561-00002, Performance Class CW, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, Year Rated 11, Egress Meets Typical 5.7 sqft (E) (United States Only)
Grille: No Grille,
Vertical Mull 1: FactoryMull, Standard Joining Mullion, Frame To Frame Width- 0", Mull Design Pressure- 20
2: Traditional, Non-Standard SizeNon-Standard Size Right Casement
Frame Size: 32 3/4 X 54 5/8
General Information: Standard, Clad, Pine, 5", 3 11/16"
Exterior Color / Finish: Painted, Standard Enduraclad, Brown
Interior Color / Finish: Prefinished White Paint Interior
Sash / Panel: Ogee, Ogee, Standard
Glass: Insulated Dual Low-E Advanced Low-E Insulating Glass Argon Non High Altitude
Hardware Options: Wash Hinge Hardware, Fold-Away Crank, White, WOCD (ASTM F2090), No Limited Opening Hardware, No Integrated Sensor
Screen: Full Screen, White, InView™
Performance Information: U-Factor 0.28, SHGC 0.26, VLT 0.48, CPD PEL-N-11-21561-00002, Performance Class CW, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, Year Rated 11, Egress Meets Typical 5.7 sqft (E) (United States Only)
Grille: No Grille,
Wrapping Information: EnduraClad® Exterior Trim, Full Frame Replacement, Factory Applied, Brickmould, 1/2" Sill Nose, Brickmould, Brickmould, Factory Applied, Brown, 3 11/16", 5", Factory Applied, Pella Recommended Clearance, Perimeter Length = 241".

Tip to Tip Exterior Trim Opening:
67 7/8" x 57"

Line #	Location:	Attributes
90	Window #17	



Viewed From Exterior

Rough Opening: 52 - 1/4" X 46 - 3/8"

PK #
2061

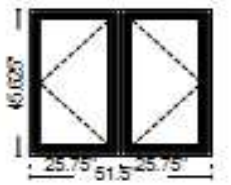
Architect, Traditional, 2-Wide Casement, 51.5 X 45.625, Brown

Qty
1

1: Traditional, Non-Standard SizeNon-Standard Size Left Casement
Frame Size: 25 3/4 X 45 5/8
General Information: Standard, Clad, Pine, 5", 3 11/16"
Exterior Color / Finish: Painted, Standard Enduraclad, Brown
Interior Color / Finish: Prefinished White Paint Interior
Sash / Panel: Ogee, Ogee, Standard
Glass: Insulated Dual Low-E Advanced Low-E Insulating Glass Argon Non High Altitude
Hardware Options: Wash Hinge Hardware, Fold-Away Crank, White, WOCD (ASTM F2090), No Limited Opening Hardware, No Integrated Sensor
Screen: Full Screen, White, InView™
Performance Information: U-Factor 0.28, SHGC 0.26, VLT 0.48, CPD PEL-N-11-21561-00002, Performance Class CW, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, Year Rated 11, Egress Does not meet typical United States egress, but may comply with local code requirements
Grille: No Grille,
Vertical Mull 1: FactoryMull, Standard Joining Mullion, Frame To Frame Width- 0", Mull Design Pressure- 20
2: Traditional, Non-Standard SizeNon-Standard Size Right Casement
Frame Size: 25 3/4 X 45 5/8
General Information: Standard, Clad, Pine, 5", 3 11/16"
Exterior Color / Finish: Painted, Standard Enduraclad, Brown
Interior Color / Finish: Prefinished White Paint Interior
Sash / Panel: Ogee, Ogee, Standard
Glass: Insulated Dual Low-E Advanced Low-E Insulating Glass Argon Non High Altitude
Hardware Options: Wash Hinge Hardware, Fold-Away Crank, White, WOCD (ASTM F2090), No Limited Opening Hardware, No Integrated Sensor
Screen: Full Screen, White, InView™
Performance Information: U-Factor 0.28, SHGC 0.26, VLT 0.48, CPD PEL-N-11-21561-00002, Performance Class CW, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, Year Rated 11, Egress Does not meet typical United States egress, but may comply with local code requirements
Grille: No Grille,
Wrapping Information: EnduraClad® Exterior Trim, Full Frame Replacement, Factory Applied, Brickmould, 1/2" Sill Nose, Brickmould, Brickmould, Factory Applied, Brown, 3 11/16", 5", Factory Applied, Pella Recommended Clearance, Perimeter Length = 195".

Tip to Tip Exterior Trim Opening:
53 7/8" x 48"

Line #	Location:	Attributes
91	Window #18	



Viewed From Exterior

Rough Opening: 52 - 1/4" X 46 - 3/8"

PK #
2061

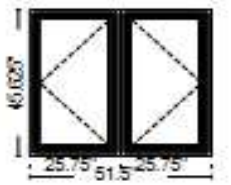
Architect, Traditional, 2-Wide Casement, 51.5 X 45.625, Brown

Qty
1

1: Traditional, Non-Standard SizeNon-Standard Size Left Casement
Frame Size: 25 3/4 X 45 5/8
General Information: Standard, Clad, Pine, 5", 3 11/16"
Exterior Color / Finish: Painted, Standard Enduraclad, Brown
Interior Color / Finish: Prefinished White Paint Interior
Sash / Panel: Ogee, Ogee, Standard
Glass: Insulated Dual Low-E Advanced Low-E Insulating Glass Argon Non High Altitude
Hardware Options: Wash Hinge Hardware, Fold-Away Crank, White, WOCD (ASTM F2090), No Limited Opening Hardware, No Integrated Sensor
Screen: Full Screen, White, InView™
Performance Information: U-Factor 0.28, SHGC 0.26, VLT 0.48, CPD PEL-N-11-21561-00002, Performance Class CW, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, Year Rated 11, Egress Does not meet typical United States egress, but may comply with local code requirements
Grille: No Grille,
Vertical Mull 1: FactoryMull, Standard Joining Mullion, Frame To Frame Width- 0", Mull Design Pressure- 20
2: Traditional, Non-Standard SizeNon-Standard Size Right Casement
Frame Size: 25 3/4 X 45 5/8
General Information: Standard, Clad, Pine, 5", 3 11/16"
Exterior Color / Finish: Painted, Standard Enduraclad, Brown
Interior Color / Finish: Prefinished White Paint Interior
Sash / Panel: Ogee, Ogee, Standard
Glass: Insulated Dual Low-E Advanced Low-E Insulating Glass Argon Non High Altitude
Hardware Options: Wash Hinge Hardware, Fold-Away Crank, White, WOCD (ASTM F2090), No Limited Opening Hardware, No Integrated Sensor
Screen: Full Screen, White, InView™
Performance Information: U-Factor 0.28, SHGC 0.26, VLT 0.48, CPD PEL-N-11-21561-00002, Performance Class CW, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, Year Rated 11, Egress Does not meet typical United States egress, but may comply with local code requirements
Grille: No Grille,
Wrapping Information: EnduraClad® Exterior Trim, Full Frame Replacement, Factory Applied, Brickmould, 1/2" Sill Nose, Brickmould, Brickmould, Factory Applied, Brown, 3 11/16", 5", Factory Applied, Pella Recommended Clearance, Perimeter Length = 195".

Tip to Tip Exterior Trim Opening:
53 7/8" x 48"

Line #	Location:	Attributes
92	Window #19	



Viewed From Exterior

Rough Opening: 52 - 1/4" X 46 - 3/8"

PK #
2061

Architect, Traditional, 2-Wide Casement, 51.5 X 45.625, Brown

Qty
1

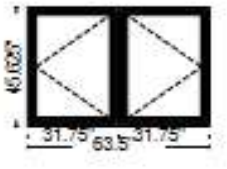
1: Traditional, Non-Standard SizeNon-Standard Size Left Casement
Frame Size: 25 3/4 X 45 5/8
General Information: Standard, Clad, Pine, 5", 3 11/16"
Exterior Color / Finish: Painted, Standard Enduraclad, Brown
Interior Color / Finish: Prefinished White Paint Interior
Sash / Panel: Ogee, Ogee, Standard
Glass: Insulated Dual Low-E Advanced Low-E Insulating Glass Argon Non High Altitude
Hardware Options: Wash Hinge Hardware, Fold-Away Crank, White, WOCD (ASTM F2090), No Limited Opening Hardware, No Integrated Sensor
Screen: Full Screen, White, InView™
Performance Information: U-Factor 0.28, SHGC 0.26, VLT 0.48, CPD PEL-N-11-21561-00002, Performance Class CW, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, Year Rated 11, Egress Does not meet typical United States egress, but may comply with local code requirements
Grille: No Grille,
Vertical Mull 1: FactoryMull, Standard Joining Mullion, Frame To Frame Width- 0", Mull Design Pressure- 20
2: Traditional, Non-Standard SizeNon-Standard Size Right Casement
Frame Size: 25 3/4 X 45 5/8
General Information: Standard, Clad, Pine, 5", 3 11/16"
Exterior Color / Finish: Painted, Standard Enduraclad, Brown
Interior Color / Finish: Prefinished White Paint Interior
Sash / Panel: Ogee, Ogee, Standard
Glass: Insulated Dual Low-E Advanced Low-E Insulating Glass Argon Non High Altitude
Hardware Options: Wash Hinge Hardware, Fold-Away Crank, White, WOCD (ASTM F2090), No Limited Opening Hardware, No Integrated Sensor
Screen: Full Screen, White, InView™
Performance Information: U-Factor 0.28, SHGC 0.26, VLT 0.48, CPD PEL-N-11-21561-00002, Performance Class CW, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, Year Rated 11, Egress Does not meet typical United States egress, but may comply with local code requirements
Grille: No Grille,
Wrapping Information: EnduraClad® Exterior Trim, Full Frame Replacement, Factory Applied, Brickmould, 1/2" Sill Nose, Brickmould, Brickmould, Factory Applied, Brown, 3 11/16", 5", Factory Applied, Pella Recommended Clearance, Perimeter Length = 195".

Tip to Tip Exterior Trim Opening:
53 7/8" x 48"

Line #	Location:	Attributes
95	Window #20	

Architect, Traditional, 2-Wide Casement, 63.5 X 45.625, Brown

Qty: 1



PK # 2061

Viewed From Exterior

Rough Opening: 64 - 1/4" X 46 - 3/8"

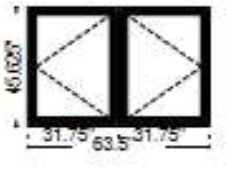
1: Traditional, Non-Standard SizeNon-Standard Size Left Casement
Frame Size: 31 3/4 X 45 5/8
General Information: Standard, Clad, Pine, 5", 3 11/16"
Exterior Color / Finish: Painted, Standard Enduraclad, Brown
Interior Color / Finish: Prefinished White Paint Interior
Sash / Panel: Ogee, Ogee, Standard
Glass: Insulated Dual Low-E Advanced Low-E Insulating Glass Argon Non High Altitude
Hardware Options: Wash Hinge Hardware, Fold-Away Crank, White, WOCD (ASTM F2090), No Limited Opening Hardware, No Integrated Sensor
Screen: Full Screen, White, InView™
Performance Information: U-Factor 0.28, SHGC 0.26, VLT 0.48, CPD PEL-N-11-21561-00002, Performance Class CW, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, Year Rated 11, Egress Meets Typical 5.7 sqft (E) (United States Only)
Grille: No Grille,
Vertical Mull 1: FactoryMull, Standard Joining Mullion, Frame To Frame Width- 0", Mull Design Pressure- 20
2: Traditional, Non-Standard SizeNon-Standard Size Right Casement
Frame Size: 31 3/4 X 45 5/8
General Information: Standard, Clad, Pine, 5", 3 11/16"
Exterior Color / Finish: Painted, Standard Enduraclad, Brown
Interior Color / Finish: Prefinished White Paint Interior
Sash / Panel: Ogee, Ogee, Standard
Glass: Insulated Dual Low-E Advanced Low-E Insulating Glass Argon Non High Altitude
Hardware Options: Wash Hinge Hardware, Fold-Away Crank, White, WOCD (ASTM F2090), No Limited Opening Hardware, No Integrated Sensor
Screen: Full Screen, White, InView™
Performance Information: U-Factor 0.28, SHGC 0.26, VLT 0.48, CPD PEL-N-11-21561-00002, Performance Class CW, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, Year Rated 11, Egress Meets Typical 5.7 sqft (E) (United States Only)
Grille: No Grille,
Wrapping Information: EnduraClad® Exterior Trim, Full Frame Replacement, Factory Applied, Brickmould, 1/2" Sill Nose, Brickmould, Brickmould, Factory Applied, Brown, 3 11/16", 5", Factory Applied, Pella Recommended Clearance, Perimeter Length = 219".

Tip to Tip Exterior Trim Opening:
65 7/8" x 48"

Line #	Location:	Attributes
100	Window #21	

Architect, Traditional, 2-Wide Casement, 63.5 X 45.625, Brown

Qty: 1



PK # 2061

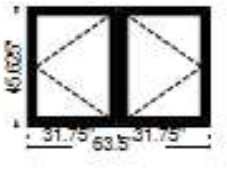
Viewed From Exterior

Rough Opening: 64 - 1/4" X 46 - 3/8"

1: Traditional, Non-Standard SizeNon-Standard Size Left Casement
Frame Size: 31 3/4 X 45 5/8
General Information: Standard, Clad, Pine, 5", 3 11/16"
Exterior Color / Finish: Painted, Standard Enduraclad, Brown
Interior Color / Finish: Prefinished White Paint Interior
Sash / Panel: Ogee, Ogee, Standard
Glass: Insulated Dual Low-E Advanced Low-E Insulating Glass Argon Non High Altitude
Hardware Options: Wash Hinge Hardware, Fold-Away Crank, White, WOCD (ASTM F2090), No Limited Opening Hardware, No Integrated Sensor
Screen: Full Screen, White, InView™
Performance Information: U-Factor 0.28, SHGC 0.26, VLT 0.48, CPD PEL-N-11-21561-00002, Performance Class CW, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, Year Rated 11, Egress Meets Typical 5.7 sqft (E) (United States Only)
Grille: No Grille,
Vertical Mull 1: FactoryMull, Standard Joining Mullion, Frame To Frame Width- 0", Mull Design Pressure- 20
2: Traditional, Non-Standard SizeNon-Standard Size Right Casement
Frame Size: 31 3/4 X 45 5/8
General Information: Standard, Clad, Pine, 5", 3 11/16"
Exterior Color / Finish: Painted, Standard Enduraclad, Brown
Interior Color / Finish: Prefinished White Paint Interior
Sash / Panel: Ogee, Ogee, Standard
Glass: Insulated Dual Low-E Advanced Low-E Insulating Glass Argon Non High Altitude
Hardware Options: Wash Hinge Hardware, Fold-Away Crank, White, WOCD (ASTM F2090), No Limited Opening Hardware, No Integrated Sensor
Screen: Full Screen, White, InView™
Performance Information: U-Factor 0.28, SHGC 0.26, VLT 0.48, CPD PEL-N-11-21561-00002, Performance Class CW, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, Year Rated 11, Egress Meets Typical 5.7 sqft (E) (United States Only)
Grille: No Grille,
Wrapping Information: EnduraClad® Exterior Trim, Full Frame Replacement, Factory Applied, Brickmould, 1/2" Sill Nose, Brickmould, Brickmould, Factory Applied, Brown, 3 11/16", 5", Factory Applied, Pella Recommended Clearance, Perimeter Length = 219".

Tip to Tip Exterior Trim Opening:
65 7/8" x 48"

Line #	Location:	Attributes	Qty
105	Window #22	**Architect, Traditional, 2-Wide Casement, 63.5 X 45.625, Brown**	1



PK #
2061

Viewed From Exterior

Rough Opening: 64 - 1/4" X 46 - 3/8"

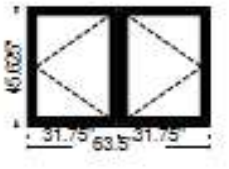
1: Traditional, Non-Standard SizeNon-Standard Size Left Casement
Frame Size: 31 3/4 X 45 5/8
General Information: Standard, Clad, Pine, 5", 3 11/16"
Exterior Color / Finish: Painted, Standard Enduraclad, Brown
Interior Color / Finish: Prefinished White Paint Interior
Sash / Panel: Ogee, Ogee, Standard
Glass: Insulated Dual Low-E Advanced Low-E Insulating Glass Argon Non High Altitude
Hardware Options: Wash Hinge Hardware, Fold-Away Crank, White, WOCD (ASTM F2090), No Limited Opening Hardware, No Integrated Sensor
Screen: Full Screen, White, InView™
Performance Information: U-Factor 0.28, SHGC 0.26, VLT 0.48, CPD PEL-N-11-21561-00002, Performance Class CW, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, Year Rated 11, Egress Meets Typical 5.7 sqft (E) (United States Only)
Grille: No Grille,
Vertical Mull 1: FactoryMull, Standard Joining Mullion, Frame To Frame Width- 0", Mull Design Pressure- 20
2: Traditional, Non-Standard SizeNon-Standard Size Right Casement
Frame Size: 31 3/4 X 45 5/8
General Information: Standard, Clad, Pine, 5", 3 11/16"
Exterior Color / Finish: Painted, Standard Enduraclad, Brown
Interior Color / Finish: Prefinished White Paint Interior
Sash / Panel: Ogee, Ogee, Standard
Glass: Insulated Dual Low-E Advanced Low-E Insulating Glass Argon Non High Altitude
Hardware Options: Wash Hinge Hardware, Fold-Away Crank, White, WOCD (ASTM F2090), No Limited Opening Hardware, No Integrated Sensor
Screen: Full Screen, White, InView™
Performance Information: U-Factor 0.28, SHGC 0.26, VLT 0.48, CPD PEL-N-11-21561-00002, Performance Class CW, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, Year Rated 11, Egress Meets Typical 5.7 sqft (E) (United States Only)
Grille: No Grille,
Wrapping Information: EnduraClad® Exterior Trim, Full Frame Replacement, Factory Applied, Brickmould, 1/2" Sill Nose, Brickmould, Brickmould, Factory Applied, Brown, 3 11/16", 5", Factory Applied, Pella Recommended Clearance, Perimeter Length = 219".

Tip to Tip Exterior Trim Opening:
65 7/8" x 48"

Line #	Location:	Attributes
110	Window #23	

Architect, Traditional, 2-Wide Casement, 63.5 X 45.625, Brown

Qty: 1



PK # 2061

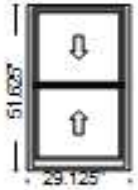
Viewed From Exterior

Rough Opening: 64 - 1/4" X 46 - 3/8"

1: Traditional, Non-Standard SizeNon-Standard Size Left Casement
Frame Size: 31 3/4 X 45 5/8
General Information: Standard, Clad, Pine, 5", 3 11/16"
Exterior Color / Finish: Painted, Standard Enduraclad, Brown
Interior Color / Finish: Prefinished White Paint Interior
Sash / Panel: Ogee, Ogee, Standard
Glass: Insulated Dual Low-E Advanced Low-E Insulating Glass Argon Non High Altitude
Hardware Options: Wash Hinge Hardware, Fold-Away Crank, White, WOCD (ASTM F2090), No Limited Opening Hardware, No Integrated Sensor
Screen: Full Screen, White, InView™
Performance Information: U-Factor 0.28, SHGC 0.26, VLT 0.48, CPD PEL-N-11-21561-00002, Performance Class CW, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, Year Rated 11, Egress Meets Typical 5.7 sqft (E) (United States Only)
Grille: No Grille,
Vertical Mull 1: FactoryMull, Standard Joining Mullion, Frame To Frame Width- 0", Mull Design Pressure- 20
2: Traditional, Non-Standard SizeNon-Standard Size Right Casement
Frame Size: 31 3/4 X 45 5/8
General Information: Standard, Clad, Pine, 5", 3 11/16"
Exterior Color / Finish: Painted, Standard Enduraclad, Brown
Interior Color / Finish: Prefinished White Paint Interior
Sash / Panel: Ogee, Ogee, Standard
Glass: Insulated Dual Low-E Advanced Low-E Insulating Glass Argon Non High Altitude
Hardware Options: Wash Hinge Hardware, Fold-Away Crank, White, WOCD (ASTM F2090), No Limited Opening Hardware, No Integrated Sensor
Screen: Full Screen, White, InView™
Performance Information: U-Factor 0.28, SHGC 0.26, VLT 0.48, CPD PEL-N-11-21561-00002, Performance Class CW, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, Year Rated 11, Egress Meets Typical 5.7 sqft (E) (United States Only)
Grille: No Grille,
Wrapping Information: EnduraClad® Exterior Trim, Full Frame Replacement, Factory Applied, Brickmould, 1/2" Sill Nose, Brickmould, Brickmould, Factory Applied, Brown, 3 11/16", 5", Factory Applied, Pella Recommended Clearance, Perimeter Length = 219".

Tip to Tip Exterior Trim Opening:
65 7/8" x 48"

Line #	Location:	Attributes
115	Window #24	



Viewed From Exterior

Rough Opening: 29 - 7/8" X 52 - 3/8"

Architect, Traditional, Double Hung, 29.125 X 51.625, Brown

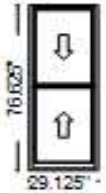
Qty
1

PK #
2061

1: Traditional, Non-Standard SizeNon-Standard Size Double Hung, Equal
Frame Size: 29 1/8 X 51 5/8
General Information: Standard, Luxury, Clad, Pine, 5", 3 11/16"
Exterior Color / Finish: Painted, Standard Enduraclad, Brown
Interior Color / Finish: Prefinished White Paint Interior
Sash / Panel: Ogee, Ogee, Standard, No Sash Lugs
Glass: Insulated Dual Low-E Advanced Low-E Insulating Glass Argon Non High Altitude
Hardware Options: Spoon-Style Lock, White, WOCD (ASTM F2090), No Limited Opening Hardware, Order Sash Lift, No Integrated Sensor
Screen: Full Screen, Standard EnduraClad, Brown, Standard, InView™
Performance Information: U-Factor 0.29, SHGC 0.28, VLT 0.53, CPD PEL-N-232-00253-00001, Performance Class CW, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, Year Rated 08|11, Egress Does not meet typical United States egress, but may comply with local code requirements
Grille: No Grille,
Wrapping Information: EnduraClad® Exterior Trim, Full Frame Replacement, Factory Applied, Brickmould, 1/2" Sill Nose, Brickmould, Brickmould, Factory Applied, Brown, 3 11/16", 5", Factory Applied, Pella Recommended Clearance, Perimeter Length = 162".

Tip to Tip Exterior Trim Opening:
31 1/2" x 54"

Line #	Location:	Attributes
120	Window #25	



Viewed From Exterior

Rough Opening: 29 - 7/8" X 77 - 3/8"

Architect, Traditional, Double Hung, 29.125 X 76.625, Brown

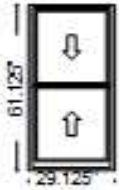
Qty
1

PK #
2061

1: Traditional, Non-Standard SizeNon-Standard Size Double Hung, Equal
Frame Size: 29 1/8 X 76 5/8
General Information: Standard, Luxury, Clad, Pine, 5", 3 11/16"
Exterior Color / Finish: Painted, Standard Enduraclad, Brown
Interior Color / Finish: Prefinished White Paint Interior
Sash / Panel: Ogee, Ogee, Standard, No Sash Lugs
Glass: Insulated Dual Low-E Advanced Low-E Insulating Glass Argon Non High Altitude
Hardware Options: Spoon-Style Lock, White, WOCD (ASTM F2090), No Limited Opening Hardware, Order Sash Lift, No Integrated Sensor
Screen: Full Screen, Standard EnduraClad, Brown, Standard, InView™
Performance Information: U-Factor 0.29, SHGC 0.28, VLT 0.53, CPD PEL-N-232-00253-00001, Performance Class CW, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, Year Rated 08|11, Egress Meets Typical 5.7 sqft (E) (United States Only)
Grille: No Grille,
Wrapping Information: EnduraClad® Exterior Trim, Full Frame Replacement, Factory Applied, Brickmould, 1/2" Sill Nose, Brickmould, Brickmould, Factory Applied, Brown, 3 11/16", 5", Factory Applied, Pella Recommended Clearance, Perimeter Length = 212".

Tip to Tip Exterior Trim Opening:
31 1/2" x 79"

Line #	Location:	Attributes
125	Window #26	



Viewed From Exterior

Rough Opening: 29 - 7/8" X 61 - 7/8"

Architect, Traditional, Double Hung, 29.125 X 61.125, Brown

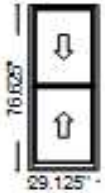
Qty 1

PK # 2061

1: Traditional, Non-Standard SizeNon-Standard Size Double Hung, Equal
Frame Size: 29 1/8 X 61 1/8
General Information: Standard, Luxury, Clad, Pine, 5", 3 11/16"
Exterior Color / Finish: Painted, Standard Enduraclad, Brown
Interior Color / Finish: Prefinished White Paint Interior
Sash / Panel: Ogee, Ogee, Standard, No Sash Lugs
Glass: Insulated Dual Low-E Advanced Low-E Insulating Glass Argon Non High Altitude
Hardware Options: Spoon-Style Lock, White, WOCD (ASTM F2090), No Limited Opening Hardware, Order Sash Lift, No Integrated Sensor
Screen: Full Screen, Standard EnduraClad, Brown, Standard, InView™
Performance Information: U-Factor 0.29, SHGC 0.28, VLT 0.53, CPD PEL-N-232-00253-00001, Performance Class CW, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, Year Rated 08|11, Egress Does not meet typical United States egress, but may comply with local code requirements
Grille: No Grille,
Wrapping Information: EnduraClad® Exterior Trim, Full Frame Replacement, Factory Applied, Brickmould, 1/2" Sill Nose, Brickmould, Brickmould, Factory Applied, Brown, 3 11/16", 5", Factory Applied, Pella Recommended Clearance, Perimeter Length = 181".

Tip to Tip Exterior Trim Opening:
31 1/2" x 63 1/2"

Line #	Location:	Attributes
130	Window #27	



Viewed From Exterior

Rough Opening: 29 - 7/8" X 77 - 3/8"

Architect, Traditional, Double Hung, 29.125 X 76.625, Brown

Qty 1

PK # 2061

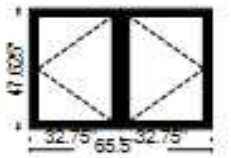
1: Traditional, Non-Standard SizeNon-Standard Size Double Hung, Equal
Frame Size: 29 1/8 X 76 5/8
General Information: Standard, Luxury, Clad, Pine, 5", 3 11/16"
Exterior Color / Finish: Painted, Standard Enduraclad, Brown
Interior Color / Finish: Prefinished White Paint Interior
Sash / Panel: Ogee, Ogee, Standard, No Sash Lugs
Glass: Insulated Dual Low-E Advanced Low-E Insulating Glass Argon Non High Altitude
Hardware Options: Spoon-Style Lock, White, WOCD (ASTM F2090), No Limited Opening Hardware, Order Sash Lift, No Integrated Sensor
Screen: Full Screen, Standard EnduraClad, Brown, Standard, InView™
Performance Information: U-Factor 0.29, SHGC 0.28, VLT 0.53, CPD PEL-N-232-00253-00001, Performance Class CW, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, Year Rated 08|11, Egress Meets Typical 5.7 sqft (E) (United States Only)
Grille: No Grille,
Wrapping Information: EnduraClad® Exterior Trim, Full Frame Replacement, Factory Applied, Brickmould, 1/2" Sill Nose, Brickmould, Brickmould, Factory Applied, Brown, 3 11/16", 5", Factory Applied, Pella Recommended Clearance, Perimeter Length = 212".

Tip to Tip Exterior Trim Opening:
31 1/2" x 79"

Line #	Location:	Attributes
135	Window #28	

Architect, Traditional, 2-Wide Casement, 65.5 X 47.625, Brown

Qty: 1



PK # 2061

Viewed From Exterior

Rough Opening: 66 - 1/4" X 48 - 3/8"

1: Traditional, Non-Standard SizeNon-Standard Size Left Casement
Frame Size: 32 3/4 X 47 5/8
General Information: Standard, Clad, Pine, 5", 3 11/16"
Exterior Color / Finish: Painted, Standard Enduraclad, Brown
Interior Color / Finish: Prefinished White Paint Interior
Sash / Panel: Ogee, Ogee, Standard
Glass: Insulated Dual Low-E Advanced Low-E Insulating Glass Argon Non High Altitude
Hardware Options: Wash Hinge Hardware, Fold-Away Crank, White, WOCD (ASTM F2090), No Limited Opening Hardware, No Integrated Sensor
Screen: Full Screen, White, InView™
Performance Information: U-Factor 0.28, SHGC 0.26, VLT 0.48, CPD PEL-N-11-21561-00002, Performance Class CW, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, Year Rated 11, Egress Meets Typical 5.7 sqft (E) (United States Only)
Grille: No Grille,
Vertical Mull 1: FactoryMull, Standard Joining Mullion, Frame To Frame Width- 0", Mull Design Pressure- 20
2: Traditional, Non-Standard SizeNon-Standard Size Right Casement
Frame Size: 32 3/4 X 47 5/8
General Information: Standard, Clad, Pine, 5", 3 11/16"
Exterior Color / Finish: Painted, Standard Enduraclad, Brown
Interior Color / Finish: Prefinished White Paint Interior
Sash / Panel: Ogee, Ogee, Standard
Glass: Insulated Dual Low-E Advanced Low-E Insulating Glass Argon Non High Altitude
Hardware Options: Wash Hinge Hardware, Fold-Away Crank, White, WOCD (ASTM F2090), No Limited Opening Hardware, No Integrated Sensor
Screen: Full Screen, White, InView™
Performance Information: U-Factor 0.28, SHGC 0.26, VLT 0.48, CPD PEL-N-11-21561-00002, Performance Class CW, PG 50, Calculated Positive DP Rating 50, Calculated Negative DP Rating 50, Year Rated 11, Egress Meets Typical 5.7 sqft (E) (United States Only)
Grille: No Grille,
Wrapping Information: EnduraClad® Exterior Trim, Full Frame Replacement, Factory Applied, Brickmould, 1/2" Sill Nose, Brickmould, Brickmould, Factory Applied, Brown, 3 11/16", 5", Factory Applied, Pella Recommended Clearance, Perimeter Length = 227".

Tip to Tip Exterior Trim Opening:
67 7/8" x 50"

Thank You For Your Interest In Pella® Products

PELLA WARRANTY:

Pella products are covered by Pella's limited warranties in effect at the time of sale. All applicable product warranties are incorporated into and become a part of this contract. Please see the warranties for complete details, taking special note of the two important notice sections regarding installation of Pella products and proper management of moisture within the wall system. Neither Pella Corporation nor the Seller will be bound by any other warranty unless specifically set out in this contract. However, Pella Corporation will not be liable for branch warranties which create obligations in addition to or obligations which are inconsistent with Pella written warranties.

Clear opening (egress) information does not take into consideration the addition of a Rolscreen [or any other accessory] to the product. You should consult your local building code to ensure your Pella products meet local egress requirements.

Per the manufacturer's limited warranty, unfinished mahogany exterior windows and doors must be finished upon receipt prior to installing and refinished annually, thereafter. Variations in wood grain, color, texture or natural characteristics are not covered under the limited warranty.

INSYNCTIVE PRODUCTS: In addition, Pella Insynctive Products are covered by the Pella Insynctive Products Software License Agreement and Pella Insynctive Products Privacy Policy in effect at the time of sale, which can be found at Insynctive.pella.com. By installing or using Your Insynctive Products you are acknowledging the Insynctive Software Agreement and Privacy Policy are part of the terms of sale.

Notice of Collection of Personal Information: We may collect your personal information when you interact with us. Under the California Consumer Privacy Act (CCPA), California residents have specific rights to request this information, request to delete this information, and opt out of the sharing or sale of this information to third parties. To learn more about our collection practices and your rights under the CCPA please visit our link https://www.pella.com/california-rights-policy/ at pella.com.

ARBITRATION AND CLASS ACTION WAIVER ("ARBITRATION AGREEMENT")

YOU and Pella and its subsidiaries and the Pella Branded Distributor AGREE TO ARBITRATE DISPUTES ARISING OUT OF OR RELATING TO YOUR PELLA PRODUCTS (INCLUDES PELLA GOODS AND PELLA SERVICES) AND WAIVE THE RIGHT TO HAVE A COURT OR JURY DECIDE DISPUTES. YOU WAIVE ALL RIGHTS TO PROCEED AS A MEMBER OR REPRESENTATIVE OF A CLASS ACTION, INCLUDING CLASS ARBITRATION, REGARDING DISPUTES ARISING OUT OF OR RELATING TO YOUR PELLA PRODUCTS. You may opt out of this Arbitration Agreement by providing notice to Pella no later than ninety (90) calendar days from the date You purchased or otherwise took ownership of Your Pella Goods. To opt out, You must send notice by e-mail to pellawebsupport@pella.com, with the subject line: "Arbitration Opt Out" or by calling (877) 473-5527. Opting out of the Arbitration Agreement will not affect the coverage provided by any applicable limited warranty pertaining to Your Pella Products. For complete information, including the full terms and conditions of this Arbitration Agreement, which are incorporated herein by reference, please visit www.pella.com/arbitration or e-mail to pellawebsupport@pella.com, with the subject line: "Arbitration Details" or call (877) 473-5527. D'ARBITRAGE ET RENONCIATION AU RECOURS COLLECTIF ("convention d'arbitrage") EN FRANÇAIS SEE PELLA.COM/ARBITRATION. DE ARBITRAJE Y RENUNCIA COLECTIVA ("acuerdo de arbitraje") EN ESPAÑOL VER PELLA.COM/ARBITRATION.

Seller shall not be held liable for failure or delay in the performance of its obligations under this Agreement, if such performance is hindered or delayed by the occurrence of an act or event beyond the Seller's reasonable control (force majeure event), including but not limited to earthquakes, unusually severe weather and other Acts of God, fire, strikes and labor unrest, epidemics, riots, war, civil unrest, and government interventions. Seller shall give timely notice of a force majeure event and take such reasonable action to mitigate the impacts of such an event.

Product Performance Information:

U-Factor, Solar Heat Gain Coefficient (SHGC), and Visible Light Transmittance (VLT) are certified by the National Fenestration Rating Council (NFRC). Manufacturer stipulates that these ratings conform to applicable NFRC procedures for determining whole product performance. NFRC ratings are determined for a fixed set of environmental conditions

and a specific product size. NFRC does not recommend any products and does not warrant the suitability of any product for any specific use.

Design Pressure (DP), Performance Class, and Performance Grade (PG) are certified by a third party organization, in many cases the Window and Door Manufacturers Association (WDMA). The certification requires the performance of at least one product of the product line to be tested in accordance with the applicable performance standards and verified by an independent party. The certification indicates that the product(s) of the product line passed the applicable tests. The certification does not apply to mulled and/or product combinations unless noted. Actual product results will vary and change over the products life.

For more performance information along with information on Florida Product Approval System (FPAS) Number and Texas Dept. of Insurance (TDI) number go to www.pella.com/performance.

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RECEIVED
JUN 01 2020
CITY OF MASON
CUSTOMER SERVICE

BUILDING PERMIT APPLICATION

201 W. Ash Street • Mason, MI 48854 • Phone: 517-676-9155
www.mason.mi.us email: info@mason.mi.us

Date 5/29/2020	Permit No. (Office Use Only) PB20-0084

PROJECT LOCATION

Project Address (Street, City, State, Zip)	124-136 W. Ash Street			
Parcel ID 33-19-10-08-236-010	Subdivision name/Lot No.	Flood Zone/ FIRM Community Panel No.	Zoning District (s)	Historic District? ☐ or ☐

PROJECT INFORMATION

CHECK ALL THAT APPLY:
X Residential X Commercial X Certificate of Occupancy
___ New Principal Structure X Alteration to Existing Structure ___ Demolition of Existing Structure
___ Roof/Siding X Windows/Doors X Sign(s) X Exterior Changes to Building in Historic District
___ Accessory Structure (Deck, Shed, Garage, Pool, Fence, Retaining Wall) ___ Temporary Structure (Tent/Canopy - Special Event)

Project Description: (Provide a detailed description of work to be done. Also provide information on how the structure or space within the structure will be used. Attach additional pages if necessary.)

Renovate 4 existing apartments into 4 new apartments including interior wall framing, windows, doors, finishes and MEP ugrades.

Size of Structure (sq. ft.) 3680	Valuation of Work 465,000	Permit Fee $
Construction Type III-B	Use Group R-2	Occupancy Load

APPLICANT INFORMATION

Who is the applicant? ☐ Property Owner ☐ Tenant ☑ Contractor ☐ Other:

Who is the primary contact? ☑ Applicant ☐ Other:

Applicant Name/Address
First Contracting, Inc/ 701 S Main St, Ovid, MI 48866

Applicant Phone 9898341500 Email connor@firstcontracting.net

Property Owner Name/Address (If different from applicant or property address)
West Ash, LLC/ PO Box 373, Haslett, MI 48840

Property Owner Phone Email kschaeffer1@gmail.com

Contractor Name/Address
First Contracting, Inc/ 701 S Main St, Ovid, MI 48866 License # 2102117421

Contractor Phone 9898341500 Email connor@firstcontracting.net

It is understood that this permit becomes null and void if work or construction is not commenced within **six months**, or if work or construction is suspended or abandoned for a period of **six months** at any time after work is commenced. A true copy of the plans of said structure is attached. It is understood that all provisions of laws and ordinances governing this type of work will be complied with whether specified herein or not. The granting of a permit does not presume to give authority to violate or cancel the provisions of any other state or local law regulating construction or the performance of construction.

Section 23a of the Michigan Construction Code Act of 1972 (1972 PA 230, MCL 125.1523A) prohibits a person from conspiring to circumvent the licensing requirement of this State relating persons who are to perform work on a residential building or a residential structure. Violators of Section 23a are subject to civil fines. By execution of this application, the person signing represents that the information provided and the accompanying documentation is, to the best of his/her knowledge, true and accurate. In addition, the person signing represents that he or she is authorized and does hereby grant a right of entry to City officials for the purpose of inspecting the premises and uses thereon to verify compliance with the terms and conditions of any permit or approval issued as a result of this application.

Applicant Signature Connor Patton Digitally signed by Connor Patton DN: L=Ovid, S=MI, C=US, O=First Contracting, Inc., CN=Connor Patton Reason: I am the author of this document Location: 701 S Main St, Ovid, MI Date: 2020-05-26 13:08:51 Foxit PhantomPDF Version: 9.7.1 Date 5/26/2020

DocuSign Envelope ID: 70F41395-3B38-4C19-9AB6-AF47DBBF9B80

BUILDING PERMIT APPLICATION COMMERCIAL CHECKLIST

PLEASE NOTE: PERMIT FEES ARE DUE AT THE TIME OF APPLICATION.

Questions? Call Customer Service at 517-676-9155 or email info@mason.mi.us Monday - Friday, 8 a.m. – 5 p.m.

- Applicants should review Section 94-95 of the Mason Code for a complete listing of application requirements. This checklist is meant to serve as a general reference. Additional information may be requested as necessary to determine compliance with building codes and city ordinances.
- Staff will begin the review process once all required documents and payments are submitted. Estimated review time is 5-14 days.

	PERMIT FEE – See Directory of Charges, page 5 located at www.mason.mi.us, 'How Do I, Directory of Charges' or click here.
	COMPLETED BUILDING PERMIT APPLICATION
	OWNER AUTHORIZATION (Submit either the Owner Authorization form or the contract signed by the property owner)
	TWO SETS OF STAMPED/SIGNED DRAWINGS AND SPECIFICATIONS - 24" x 36"; BUILDING OFFICIAL MAY ALLOW 11" X 17"
	ELECTRONIC COPY OF PLANS ON A USB STICK DRIVE
	COMMERCIAL COVER SHEET COMPLETED
	STATEMENT OF SPECIAL INSPECTIONS PER CHAPTER 17, 2015 MBC – Required before a permit will be issued.
	ENERGY CODE COMPLIANCE FORMS: https://www.energycodes.gov/compliance
	PROPERTY BOUNDARY LINE SURVEY showing the location, shape, area, dimensions, north arrow, and legal descriptions of the parcel, location of easements and centerline of roads. *Note: Certified boundary surveys are documents prepared and sealed by a professional land surveyor. If you do not have one, you may inquire with the Ingham County Register of Deeds, or submit a FOIA request to have City staff research available records for one that may be on file from a previous permit or action. Otherwise, if one cannot be located sufficient to meet this requirement, we recommend you contact a professional land surveyor to have one prepared. SEE EXAMPLE 'CERTIFICATE OF SURVEY'.*
	COMPLETED SITE PLAN (SEE EXAMPLE) DRAWN TO AN ENGINEER SCALE, INCLUDING THE FOLLOWING: o The existing or intended use of the land/structures o The proposed number of sleeping rooms o Location of utility lines, wells, and septic drain fields o Location of easements o Grading plan showing drainage o The yard, open space and parking area dimensions o Street grades, proposed finished grades and contour changes (where changes are proposed) o Location of regulated waterways, floodplains or wetlands o Legal description (as necessary)
	WATER AND SEWER CONNECTION – OBTAIN RIGHT OF WAY PERMIT from City of Mason
	WELL AND SEPTIC PERMIT FROM INGHAM COUNTY (if abandoning)
	SOIL EROSION PERMIT FROM INGHAM COUNTY DRAIN COMMISSIONER
NOTE	AS-BUILT PLANS SHOWING ALL CHANGES AND REVISIONS MAY BE REQUIRED PRIOR TO FINAL INSPECTION; THIS APPLIES TO THE STRUCTURE AND SITE PLAN.
Additional permits may be required:	
	STATE PERMITS – Plumbing, Electrical, Mechanical, DEQ/EGLE (Wetlands, Asbestos, Etc.)
	RIGHT OF WAY PERMIT from City of Mason (MDOT for M-36, or County for Kipp or Howell roads)
Always call before you dig! Contact **MISS DIG** at least three (3) business days prior to excavating on your property. Visit **www.missdig.org** or call **811** or **1-800-482-7171**.	

BUILDING PERMIT
Technical Review

PERMIT # PB20-0084

Type of Permit: Residential _____ Commercial _____ Change of Occupancy _____

Applicant: First Contracting

Address: 124-W. Ash
136

Requires the following inspections be completed and approved in accordance with the provisions of the Michigan Residential Code, _____ Edition.

___ Footing inspection
___ Concrete slab or under-floor inspection
___ Vapor barrier inspection
___ Floodplain inspection (as required)
___ Energy Efficiency inspection (Insulation)
___ Fire-resistance-rated construction inspection
___ Lath or gypsum board inspection
___ Foundation inspection
___ Post Hole/Ledgerboard inspection
___ Open Joist inspection
___ Frame (rough) and Masonry inspection
___ Roof Deck inspection
___ Lowest Floor elevation (if required)
___ Final
___ Other inspections:_____
___ Plans are required on jump drive before Final Inspection

Before Final inspection:

____ All Final State Inspections MUST be approved before a final Building Inspection
____ Zoning: Record Drawings of Work in electronic format are required before Final Inspection
____ Zoning Administrator: Site Inspection
____ Building Inspector

BUILDING REVIEW:

Approved _____ Denied _____ Official Administrator_____ Date_____

Special Conditions_____

ZONING REVIEW:

Existing Structure or Use: Conforming _____ Non-Conforming _____

Proposed Structure or Use: Conforming _____ Non-Conforming _____

Variance Granted _____ Date _____ HDC Review Required: Yes ___ No ___ Date_____

Approved _____ Denied _____ Official Administrator_____ Date_____

Special Conditions_____

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Property Owner Authorization

This form must be filled out if you are a contractor doing work for a property owner.

I, Kevin Schaeffer, authorize the below named contractor/agent
(Property owner)

First Contracting/ Connor Patton to act on my behalf to secure permits and inspections
(Contractor/Agent name/License #)

for work to be done at 124-136 W Ash St in Mason, Michigan.
(Address where work is being done.)

I understand that I remain responsible to ensure that the work described in the building permit shall be installed in accordance with the local code and shall not be enclosed, covered up, or put into operation until it has been inspected and approved by the inspector.

DocuSigned by:
Signature: KevinSchaeffer Date: 5/29/20
7F29C36DBC99477...
Address: PO Box 373, Haslett, MI 48840
Phone: 517-290-2458 Email: kschaeffer1@gmail.com

Agent's/Contractor's Affidavit and Signature

I hereby certify that the proposed work is authorized by the owner of record and I have been authorized by the owner to make this application as his authorized agent and understand work described in the building permit shall be installed in accordance and complies with the local code and shall not be enclosed, covered up, or put into operation until it has been inspected and approved by the inspector. I will cooperate with the Inspector and assume the responsibility to arrange for necessary and timely inspections.

Print Name: Connor Pattoon Date: 5/29/20
Signature: Connor Patton Digitally signed by Connor Patton DN: C=US, S=MI, O=US, O=FirstContracting, inc, CN=Connor Patton Reason: I am the author of this document Location: "701 S Main St, Ovid, MI Date: 2020-05-29 08:46:03 Foxit PhantomPDF Version: 9.7.1
Company Name: First Contracting, Inc
Address: 701 S Main St, Ovid, MI 48866
Phone: 5178997826 Email: connor@firstcontracting.net

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Commercial Cover Sheet

This page is required for all commercial building permit applications.

BUILDING CODE	Michigan Building Code 2015
USE GROUP	R-2
TYPE OF CONSTRUCTION	III-B
SQUARE FOOTAGE	3,680
SPRINKLER?	YES ☒ NO ☐
SPECIAL INSPECTIONS REQUIRED?	YES ☐ NO ☒

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CERTIFICATE OF SURVEY

0 30 60

LEGEND

- SECTION CORNER
- SET IRON
- FOUND IRON

BASIS OF BEARING: STATE PLANE COORDINATES, MI SOUTH ZONE 2113, NAD83

EXAMPLE

LEGAL DESCRIPTION

LOT 19, ORIGINAL PLAT OF MASON, AS RECORDED IN LIBER 1 OF PLATS, PAGE 235, INGHAM COUNTY RECORDS.

CERTIFICATION STATEMENT

I, PROFESSIONAL SURVEYOR #12345, CERTIFY THAT THIS SURVEY WAS MADE UNDER MY DIRECTION, THAT ALL CORNERS HAVE BEEN MARKED AS SHOWN, THAT THE RATIO OF CLOSURE OF THE UNADJUSTED FIELD OBSERVATIONS WAS 1:5000 OR BETTER, AND THAT ALL THE REQUIREMENTS OF PUBLIC ACT 132, AS AMENDED, HAVE BEEN COMPLIED WITH.

STATE OF MICHIGAN
PROFESSIONAL SURVEYOR No.
LICENSED PROFESSIONAL SURVEYOR

Professional Surveyor's Signature

2-28-20
DATE

GENERIC
Land Surveyors, Inc.
1234 Five St.
Anytown, Michigan 48854
Ph: 123-456-7890
Fx: 123-456-7891
http://www.generic.com

PART OF THE ORIGINAL PLAT OF MASON, SECTION 8, T2N-R1W, CITY OF MASON, INGHAM COUNTY, MICHIGAN

Scale: 1"=30'	Date:2-28-20	SHT 1 OF 1
Drawn: ABC	Checked: PSS	Job: 2020-45

DocuSign Envelope ID: 70F41395-3B38-4C19-9AB6-AF47DBBF9B80

SITE PLAN

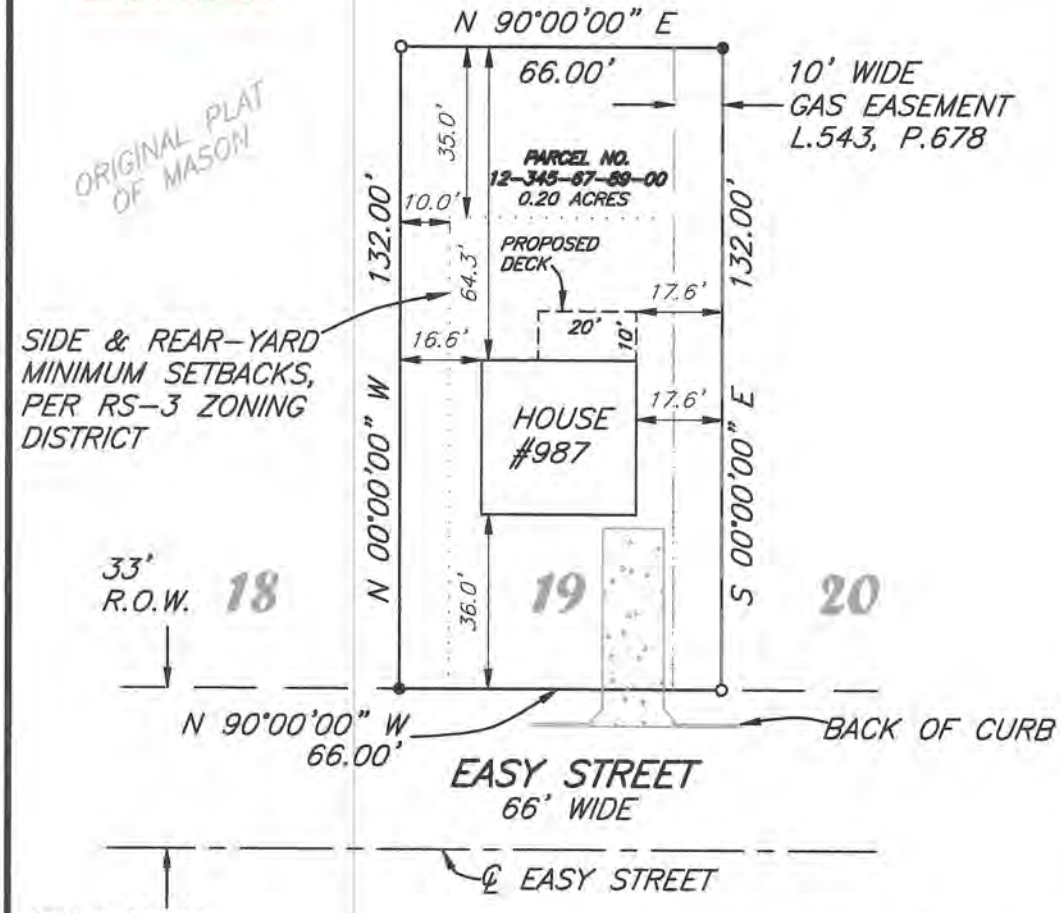
0 30 60

LEGEND

- SECTION CORNER
- SET IRON
- FOUND IRON

BASIS OF BEARING: STATE PLANE COORDINATES, MI SOUTH ZONE 2113, NAD83

EXAMPLE



LEGAL DESCRIPTION

LOT 19, ORIGINAL PLAT OF MASON, AS RECORDED IN LIBER 1 OF PLATS, PAGE 235, INGHAM COUNTY RECORDS.

CERTIFICATION STATEMENT

I, PROFESSIONAL SURVEYOR #12345, CERTIFY THAT THIS SURVEY WAS MADE UNDER MY DIRECTION, THAT ALL CORNERS HAVE BEEN MARKED AS SHOWN, THAT THE RATIO OF CLOSURE OF THE UNADJUSTED FIELD OBSERVATIONS WAS 1:5000 OR BETTER, AND THAT ALL THE REQUIREMENTS OF PUBLIC ACT 132, AS AMENDED, HAVE BEEN COMPLIED WITH.

STATE OF MICHIGAN
PROFESSIONAL SURVEYOR No.
LICENSED PROFESSIONAL SURVEYOR

Professional Surveyor's Signature

2-28-20
DATE

GENERIC
Land Surveyors, Inc.
1234 Five St.
Anytown, Michigan 48854
Ph: 123-456-7890
Fx: 123-456-7891
http://www.generic.com

PART OF THE ORIGINAL PLAT OF MASON, SECTION 8, T2N-R1W, CITY OF MASON, INGHAM COUNTY, MICHIGAN

Scale: 1"=30'	Date:2-28-20	SHT 1 OF 1
Drawn: ABC	Checked: PSS	Job: 2020-45

West Ash, LLC
2019 Renovations
124-136 W. Ash
City of Mason, Ingham County
Mason, Michigan 48854

UTILITY MARKING
BEFORE YOU DIG CALL MISS DIG
PROTECTION OF UNDERGROUND FACILITIES
PUBLIC ACT 53 OF 1974

PROJECT LOCATION

Mason

NORTH

SITE VICINITY MAP

State Code Authorities Having Jurisdiction

Mechanical	State of Michigan Construction Codes 517-241-9307	Michigan Mechanical Code 2015, Part M, based on IMC 2015 adopted as amended and effective April 12, 2017.
Plumbing	State Of Michigan Construction Codes 517-241-9300	Michigan Plumbing Code 2015, Part 7, based on IPC 2015 adopted as amended and effective April 12, 2017.
Electrical	State of Michigan Construction Codes 517-241-9307	Michigan Electrical Rules, Part 8 based on NEC 2017 adopted as amended and effective January 8, 2019.

Local Code Authorities Having Jurisdiction

Zoning	City of Mason Dept of Zoning & Planning 517-676-9155	City of Mason Zoning Ordinance
Building	City of Lansing Office of Building Safety 517-483-4100	Michigan Building Code 2015, Part 4, based on IBC 2015 adopted as amended and effective April 22, 2017. Where referenced to by the Michigan Rehabilitation Code for Existing Buildings 2015.
Existing Building	City of Lansing Office of Building Safety 517-483-4100	Michigan Rehabilitation Code for Existing Buildings 2015, based on IEBC 2015 adopted as amended and effective December 13, 2016. Chapter 14 - Performance Compliance
Health Department	Ingham County Health Department 517-887-4510	

Other Authorities

Sanitary	City of Mason 517-676-1200	
Storm Water Drainage	City of Mason 517-676-1200	
Local Roads	City of Mason City Engineering 517-676-1200	

Local Utilities

Water	City of Mason City Engineering 517-676-1200	
Gas	Consumers Energy Gas Engineering 517-788-2300	
Electric	Consumers Energy Electric Engineering 517-788-2300	

BUREAU OF CONSTRUCTION CODES
STATE OF MICHIGAN

ELECTRICAL

These documents are approved for compliance with the STATE OF MICHIGAN ELECTRICAL CODE subject to field inspection and the conditions of the approval.

BUREAU OF CONSTRUCTION CODES
STATE OF MICHIGAN
ELECTRICAL
A PROGRESS SERVICE

GENERAL PROJECT NOTES:

1. The contractor shall be exclusively responsible for determining the exact (all) locations and dimensions prior to the start of construction. It is the contractor's responsibility to verify the various utility services in accordance with Michigan Public Act No. 53 of 1974. 72 hours to three (3) working days (excluding Saturday, Sunday, or holidays) before you dig call Miss Dig 800-482-7171 or 811 (toll free).
2. Before contractor commences with demolition or construction, he shall check with all local utilities for verification of underground lines. All utilities shall be coordinated between existing services, proposed services and utility companies. Any abandoned service shall be terminated according to the utility company's requirements.
3. Applicable Federal, State and Local Acts, Codes, Laws, Ordinances and Regulations etc. shall be considered as part of the requirements for this project and shall also precedence over these drawings and specifications. Advise the Architect in writing of apparent conflicts between these drawings and possible interpretations of codes, ordinances, and regulations.
4. All Mechanical, Plumbing and Electrical work shall be performed by Contractors licensed for such work and who shall secure the proper permits for related activities.
5. It is the effect of these construction documents to construct a complete building with all building systems fully functional and usable at the completion of the work. These drawings indicate the general scope of the work to be provided.
6. The approximate areas and dimensions indicated are to assist the contractor in determining the relative magnitude of project size and shall not be used as actual areas in determining quantities for ordering or ordering of material. The contractor is responsible for taking his or her own measurements of the existing conditions.
7. Areas indicated are for determination of Construction & Occupancy requirements for conformance with the Building Code only. Providing of Mechanical, Electrical, Storage and Accessory Areas for Living Area Calculations are the responsibility of the Owner and Leasing Agent. Any other use of these numbers shall be checked and verified with legal construction by the professional responsible for producing their records.
8. For projects that affect pre-1978 homes, child care facilities and schools, firms performing renovation, repair and painting projects that disturb lead-based paint be certified by EPA and that they use certified renovators who are trained by EPA-approved training providers to follow lead-safe work practices. Contractors must use lead-safe work practices and follow these procedures: a) Contain the work area. b) Minimize dust. c) Clean up thoroughly.
Comply with EPA Regulations on Residential Property Renovation, 40CFR745, Subpart E.
9. Contractor shall construct the project in accordance with the Bldg-Ex/Accessibility Single State Construction Code Act 230 of Michigan - Act 10 of 1972 and the Americans with Disabilities Act.
a. Comply with State of Michigan Building Code 2015, incorporating the International Building Code 2015 with amendments & ICC/ANSI A117.1-2009 effective April 22, 2017. When Referenced to by the Michigan Rehabilitation Code for Existing Buildings 2015.
b. Comply with State of Michigan Rehabilitation Code for Existing Buildings 2015, incorporating the International Building Code 2015 with amendments effective December 13, 2016.
Chapter 14 - Performance Compliance
c. Comply with State of Michigan Energy Code 2015 - Part 10a, incorporating the International Energy Conservation Code 2012 Commercial provisions, with amendments effective September 23, 2017, and referencing ASHRAE 90.1-2013.
d. Comply with State of Michigan Mechanical Code 2015, based on IMC 2015 adopted and effective April 12, 2017.
e. Comply with State of Michigan Plumbing Code 2015, based on IPC 2015 adopted and effective April 28, 2017.
f. Comply with Michigan Electrical Rules, Part 8 based on NEC 2017 adopted as amended and effective January 8, 2019.
g. Prepare: Provide the necessary supports, rough opening, utility rough-in, floor or sub-base, etc. for items to be installed by others.
h. Definition: Shown on drawings by notes, graphics or scheduled, or written into other portions of contract documents. Terms such as "shown," "noted," "scheduled," and "specified" have the same meaning as "indicated," and are used to assist the reader in locating particular information.
i. References to Contractor and/or Construction Manager that may be included in notes with the set of drawings shall mean either the Contractor, or the Owner if there is not a General Contractor for the Project.
All Contractors (General, Sub-Contractors, Vendors and Suppliers) shall:
j. Provide all miscellaneous items, equipment, parts and accessories necessary to install complete and fully functional building systems, whether such miscellaneous items, equipment, part or accessory is specifically described herein or not. As the completion of the work, the building shall be fully functional and usable by the Owner.
k. Bid the site prior to executing a contract for the project to examine the existing conditions. No additional payment will be approved by the Owner for conditions that the Contractor could have identified through the preexisting site visit.
l. Review all documents and shall notify the Architect in writing of any discrepancies or inadequacies prior to starting work.
m. Review and verify all dimensions and notify Architect in writing of any discrepancies prior to Start of Work.
n. Review and verify that documents are coordinated.
o. Shall be satisfied that the downspots indicated are possible for their work to be constructed, finished and functioning. Commencement of work indicates acceptance of prior trades works. Completion of work shall provide that subsequent trades can complete their work.
p. Provide the highest quality of work and the greatest quantity of materials required for a complete project conforming to all codes, whether or not such materials required for such conformance are included or shown.
q. Commencement of work shall indicate the Contractor's acceptance of these documents as being correct, complete and valid. Requests for changes based on claims of incomplete documents after Execution of Contract will not be accepted.
r. Any ambiguities or conflicts between the various elements of the contract documents shall be brought to the attention of the Architect before proceeding with any work or involved. In the event of conflicts within the contract documents, the Architect shall render interpretation.
s. Do not scale these drawings. Use dimensions indicated on the drawings and those verified at the project site. The owner's representative shall clarify any dimensions or areas that are unclear on the drawings. Scaling of these drawings or other methods to determine dimensions will not be acceptable. Bidders are responsible to field verify dimension to determine material quantities and sizes in preparing proposals. Discrepancies between actual conditions and the schematic information shown in drawings will not be cause for a change in the contract price or schedule.
11. Contractor shall:
a. Maintain the construction site in a neat and clean manner. He shall legally dispose of all unused material from the site. At the end of the project the contractor shall clean all surfaces and leave the project in a clean state.
b. Provide access or entrance permits to all valve chambers and other necessary adjustment items.
c. Where Demolition and/or removal of old grounds exposes unfinished surfaces, openings, holes, missing trim, etc. Patch and repair surfaces to match adjacent surfaces so that demolition and removals can not be detected.
d. Coordinate with the mechanical and electrical contractors the location of duct work, ceiling, frame, shades, sprinkler, etc.
e. Provide adequate clearances for servicing of equipment per code.
f. Provide new material (patch, repair and refinish surfaces and supporting structure as required to provide new finishes) project where demolition exposes or damages surfaces to be exposed to that project.
g. Replace damaged materials with materials equal or better quality of the material that was damaged.
12. Contractor shall:
a. Provide and pay for temporary utilities such as water, electric, heat, etc. As necessary to complete project.
b. Include and pay for the cost of all fees and materials and all state sales and use taxes to complete the project in accordance with the documents.
c. Include, apply and pay the cost of all building permits and/or fees necessary to complete the construction of this project, and provide display and requests for inspections from the local authorities.
d. Furnish insurance in accordance with general conditions and as required by all state and local laws.
13. CONSTRUCTION METHODS:
The Architect is not responsible for construction means, methods, techniques, sequences, or procedures, or for safety precautions and programs in connection with the Contractor's responsibility.
14. CONSTRUCTION SAFETY:
These documents do not include the necessary components for construction safety. Safety, care of adjacent properties during construction, and compliance with local regulations regarding safety is, and shall be, the contractor's responsibility.
15. CONSTRUCTION ADMINISTRATION:
The Architect's Basic Services do not include Construction Phase services. The Owner shall be responsible for interpreting the Contract Documents, reviewing submittals, certifying payments to the Contractor, and observing the Contractor's Work. The Owner assumes responsibility for observing, reminding or mitigating errors, inconsistencies or omissions. The Owner may expand the contract in writing to include specific Construction Phase services.
16. OWNER-AUTHORIZED CHANGES:
If the Owner authorizes deviations, minored or unannounced, from the documents prepared by the Architect and Consultants without written agreement of the Architect, the Owner shall indemnify and hold harmless the Architect, Architect's consultants and agents and employees of any of them from and against claims, damages, losses and expenses, including but not limited to attorneys' fees, arising out of or resulting in whole or in part from such deviations regardless of whether or not such claim, damage, loss or expense is caused in part by a party indemnified hereunder.
17. SPECIAL INSPECTOR AND RESPONSIBILITES:
a. None Required

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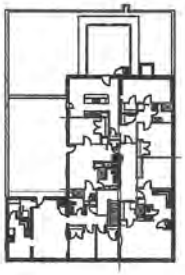
STATE OF MICHIGAN

PLUMBING

These documents are approved for compliance with the STATE OF MICHIGAN PLUMBING CODE subject to field inspection and the conditions of the approval.

SOUTH ELEVATION
Scale: 1/16" = 1'-0"



NORTH
SECOND FLOOR PLAN
Scale: 1/16" = 1'-0"

BUREAU OF CONSTRUCTION CODES
STATE OF MICHIGAN

MECHANICAL

These documents are approved for compliance with the STATE OF MICHIGAN MECHANICAL CODE subject to field inspection and the conditions of the approval.

DRAWING INDEX

G 0.1	TITLE SHEET, CODE DATA, PROJECT INFORMATION, DRAWING INDEX, & SITE PLAN
A 0.2	2ND FLOOR DEMOLITION PLAN
A 1.2	2ND FLOOR PLAN
A 2.0	EXTERIOR ELEVATIONS

The Drawings listed below were not been prepared by Roger L. Donaldson, AIA P.L.C. and therefore have not been approved or reviewed by Roger L. Donaldson, AIA P.L.C. for any purpose other than general coordination with the drawings listed above. Roger L. Donaldson, AIA P.L.C. assumes no responsibility for the design or accuracy contained herein.

MECHANICAL & ELECTRICAL DRAWINGS PREPARED BY:	
Contractor and Engineering, etc.	
	MECHANICAL / PLUMBING
M 0.1	MECHANICAL NOTES, SCHEDULES, SYMBOLS, and DETAILS
M 1.1	MECHANICAL DEMOLITION PLAN
M 2.1	PLUMBING FLOOR PLAN
M 3.1	HVAC FLOOR PLAN
	ELECTRICAL
E 0.1	ELECTRICAL NOTES, SCHEDULES, SYMBOLS and DETAILS
E 1.1	ELECTRICAL DEMOLITION PLAN
E 2.1	ELECTRICAL FLOOR PLAN

Other Drawings Building, Architectural, Structural, Mechanical, Plumbing, and Electrical Drawings may have been Prepared by other Design Professionals and are not part of this Drawing Set.

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Roger L. Donaldson, AIA P.L.C.
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Holt, Michigan 48842-1506
(517) 694-0011 Phone
RogerAIA@comcast.net

STATE OF MICHIGAN
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LICENSED

Mechanical & Electrical Engineering

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East Lansing, Michigan 48823
(517) 337-4402 Phone
(517) 337-7315 Fax

STATE OF MICHIGAN
BRIAN KNOX
ELECTRICAL
LICENSED

TABLE 1604.5
OCCUPANCY SUMMARY BUILDING CODE

Existing Occupancy	B-S2	Proposed occupancy	B-S2	Alt 2b Compliance
Total building area (sq ft)	1600	Occupant of stories	2 Story	2b-1 & 2b-2
Minimum Code Occupant Width	36	Height in feet	30 feet	Alteration
Type of construction	5B	Height in floor	1 story/ft.	Full with Existing Apartments
Existing Furnished	1600 Total	Occ Separation	1000 Total	Full Interior Floor Apartments
Sprinkler (NFPA 13 Compliance)	Yes	Occ Separation of height and area		& Fire Rated Business Occupancy
Sprinkler in basement	No	Corridor wall rating	1 hr/Rated	
Occupancy Separation	Yes	Assumed Floor Area		
Interior/exterior rating of vertical occupancy separations	1 hr/Rated			
Type of HVAC system	Automatic	Occupancy number of floors		
Fire alarm required	No	Occupant location		
Fire alarm type		Type		
Smoke control	No	Assumed Conditions Occupancy Separation	None	
Alternate all corridor	Yes	Dead end	No	
Manifold and actuator fire/smoke	1 hr/2 Hour	Smoke controls	No	
Sprinkler (2009)		Smoke Tested Stairwell		
Stairwell pressure emergency lighting	Yes	Exit on outside	Yes	

SAFETY FEATURES	REQUIRED	ORIGINAL (%)	ORIGINAL OF CURRENT (%)	CURRENT SAFETY (%)	
HVAC & Ceiling Grids		0.0	0.0	0.0	
HVAC & Ceiling Area	1600	0.0	0.0	0.0	
HVAC & Ceiling Compatibility		0.0	0.0	0.0	
HVAC & Ceiling Compatibility Line Separations		0.0	0.0	0.0	
HVAC & Ceiling Grids	1	0.0	0.0	0.0	
HVAC & Ceiling Compatibility	1 in Each Exit 2 Hours	0.0	0.0	0.0	
HVAC & Ceiling Grids	1	0.0	0.0	0.0	
HVAC & Ceiling Fire Separation	1	0.0	0.0	0.0	
HVAC & Fire Alarm System	1	0.0	0.0	0.0	
HVAC & Classroom Ceiling Separation	1	—	0.0	0.0	
HVAC & Corridors & Exit Access Fire Separation		—	0.0	0.0	
HVAC & Corridors Grids	1	—	0.0	0.0	
HVAC & Corridors Lighting Fixtures/Lighting	1	—	0.0	0.0	
HVAC & Corridors Compatibility	1	—	—	—	
HVAC & Fire Alarm Compatibility	1	—	(1-2 Grids)	(1-2)	
HVAC & Fire Alarm	1	0.0	0.0	0.0	
HVAC & Fire Alarm Line Fire Separation	Required	0.0	0.0	0.0	
HVAC & Fire Alarm Compatibility	Required	None	—	—	
HVAC & Fire Alarm Compatibility		—	—	—	
HVAC & Fire Alarm Lighting Fixtures		—	—	—	
HVAC & Fire Alarm Compatibility		—	—	—	
HVAC & Fire Alarm Compatibility		—	—	—	
Building Score *(All Other Items Applicable, Not Shown Here)		0.0	0.0	0.0	

TABLE 1401.2
EVALUATION SCHEDULE *

CATEGORY	F (SAFE)	F (UNSAFE)	RATIO	RATING	FOR
(1a) = (1b) = (1c) =	(1a) F (1b) F (1c) F	(1a) UNSAFE (1b) UNSAFE (1c) UNSAFE	0.00	0.000	
(2a) = (2b) = (2c) =	(2a) F (2b) F (2c) F	(2a) UNSAFE (2b) UNSAFE (2c) UNSAFE	0.00	0.000	
(3a) = (3b) = (3c) =	(3a) F (3b) F (3c) F	(3a) UNSAFE (3b) UNSAFE (3c) UNSAFE	0.00	0.000	
* F = Safe	(3d) = Number of Stories	(3d) UNSAFE			
UNSAFE = Unsafe Figure	(3e) = Number of Units				

ROGER L. DONALDSON, AIA P.L.C.
STATE OF MICHIGAN
ROGER L. DONALDSON
ARCHITECT
LICENSED

West Ash, LLC
2019 Renovations
124-136 W. Ash
City of Mason, Ingham County
Mason, Michigan 48854
PROJECT
08-30

Fig. Date: 08/30/2019

TITLE SHEET, CODE DATA, DRAWING INDEX, SITE PLAN & PROJECT INFORMATION
SHEET TITLE

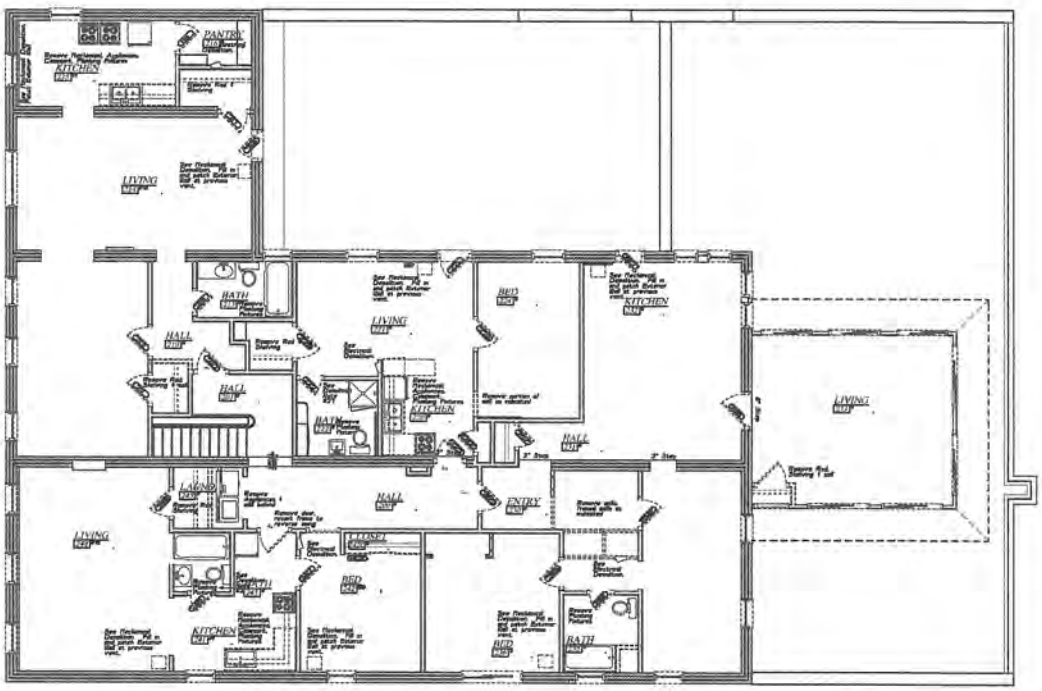
G0.1
SHEET NUMBER
08-30-2019

GENERAL DEMOLITION NOTES:

1. Do not scale these drawings. Use dimensions indicated on the drawings and those verified at the project site. Any discrepancy in dimensions that the contractor or the drawings shall be verified by the Owner's Representative. Quality of these drawings or other methods to determine dimensions will not be acceptable.
2. Any projects that affect pre-1978 homes, child care facilities and schools. Firms performing renovation, repair and painting projects that disturb lead-based paint be certified by EPA and that they use certified renovators who are trained by EPA-approved training providers to follow lead-safe work practices. Contractors must use lead-safe work practices and follow these procedures: a) Contain the work area; b) Minimize dust; c) Clean up thoroughly.
   Comply with EPA Regulations for Residential Property Renovation, 40CFR (40, Subpart E.
3. All items of demolition of asbestos-containing material shall be abated in Owners storage spaces elsewhere throughout.
4. Coordinate all demolition work with individual trades to minimize conflicts.
5. The structural integrity of the building shall not be altered.
6. The Contractor shall field verify all conditions for removal of all components necessary for coordination with new installations. These drawings are for general demolition only and are not intended to be shop drawings or "as built" drawings. All work that interfaces with new construction, storage areas or rough stress, shall be removed or relocated as directed by the Architect or Owner's representative.
7. See mechanical and electrical demolition plans for additional demolition requirements.
8. Where demolition creates or damaged surfaces to be exposed in final project, patch, repair and refinish surfaces and supporting structure as required to provide new finished project.
9. Where demolition and/or removal of equipment exposes architectural surfaces, openings, holes, missing trim, etc. Patch and repair surfaces to match adjacent surfaces at time demolition and schedule not to be defective.
10. When stone, masonry partially due to demolition of items, remaining walls full height to nearest vertical or wall direction, and form uniform to match edge.
11. Occupancy: Owner will occupy portions of the building (first floor) immediately adjacent to areas of selective demolition. Conduct selective demolition work in a manner that will interfere least for disruption of owner's normal operations. Provide minimum of five hours advance notice to owner of demolition activities that will impact owner's normal operations.
12. Traffic: Conduct selective demolition operations and deliver removed to the exterior in unused minimum interference with roads, streets, walks, and other adjacent occupied or used facilities.
13. Utility Services: Maintain existing utilities indicated to remain. Keep in service and protect against damage during demolition operations.
   a. Do not interrupt utilities serving occupied or used facilities, except when authorized in writing by authorities having jurisdiction. Provide temporary services during interruptions to existing utilities, as acceptable to governing authorities.
   b. Maintain fire protection services during selective demolition operations.
   c. Locate, identify, shut-off, and disconnect utility services that are not indicated to remain.
   d. Provide bypass connections as necessary to maintain continuity of services to occupied areas of building. Provide a minimum of 72 hours advance notice to owner. If shutdown of services is necessary during demolition.
14. Sequence: Prior to commencement of selective demolition work, inspect areas in which work will be performed.
15. Preparation: Provide temporary partitions, barricades, shoring, bracing, or support to prevent movement, settlement, or collapse of all structures to be demolished and adjacent facilities to remain.
   a. Cover and protect furniture, equipment and fixtures indicated "To Remain" from damage in damage.
   b. Control operation of equipment and fixtures indicated "To Remain" from damage in damage.
   c. Control operation of equipment and fixtures indicated "To Remain" from damage in damage.
16. All mechanical, electrical, or structural elements that conflict with the removal function or design are exceptional. Investigate and disclose both nature and extent of conflict. Prepare selective demolition schedule as necessary to continue overall job progress without delay.
17. Damage: Promptly repair damages caused to adjacent facilities by demolition work at no cost owner.
18. Repair demolition performed in excess of that required. Restore structures and surfaces to remain to conditions existing prior to commencement of selective demolition work. Repair and refinish adjacent construction or surfaces soiled or damaged by selective demolition work.
19. Disposal of demolished materials: Remove debris, rubbish and other materials resulting from demolition operations from building site. Transport and legally dispose offsite.
   a. Burning of removed materials is not permitted on project site.
   b. If hazardous materials are encountered during demolition operations, comply with applicable regulations, laws, and ordinances concerning removal, handling and protection against exposure or environmental pollution.
20. Cleanup and repair: Upon completion of demolition work, remove tools, equipment, and demolished materials from site. Repair any damaged surfaces and leave interior areas broom-clean.

SPECIFIC DEMOLITION NOTES:

21. All floor finishes in the restroom and the outdoor patio to remain for new floor finish.
22. Where the existing finish cannot or does not match at a wood floor, the area can be finished, remove the entire material, sand, and prepare the wood floor for new stain finish.
23. Patching existing wood floor, sand and prepare the wood floor for new stain finish.
24. Remove Hallway and Living Room 40 drywall walls.
25. Prepare all ceilings for new painted finishes.
26. Remove all Kitchen Counters, Cabinets, Appliances and fixtures.
27. Remove all Bath/Vanity Fixtures.
28. Remove ceiling in Rooms 202, Room 240. Prepare wall for new ceiling at 8'6".
29. Remove all exterior windows and prepare for new windows.
30. Remove all exterior doors and prepare for new doors.
31. Remove all interior doors, discontinuity gates and hardware, and prepare for new items.
32. Remove ceiling with insulation and expose the existing floor joist. Slaughter Joist measures.
33. See mechanical and electrical demolition plans for additional demolition needs.



See Demolition Notes for other items of Demolition.
All items shown as dashed lines are removed or relocated or provided in shell are to be retained.

2ND FLOOR PLAN - DEMOLITION
Scale: 1/4" = 1'-0"

ROGER L. DONALDSON AIA P.C.
ARCHITECT

West Ash, LLC
2019 Renovations
2141 West Ash
City of Mason, Ingham County
Mason, Michigan 48854
PROJECT

SECOND LEVEL PLAN - DEMOLITION
SHEET TITLE

A0.2
SHEET NUMBER

DETAIL INDICATOR
SHEET ON WHICH BUILDING SECTION IS SHOWN

Room Name — Existing Floor Water Area sq.ft. — Code & of Occupants — Room Number

Room Name — New Floor Water Area sq.ft. — Code & of Occupants — Room Number

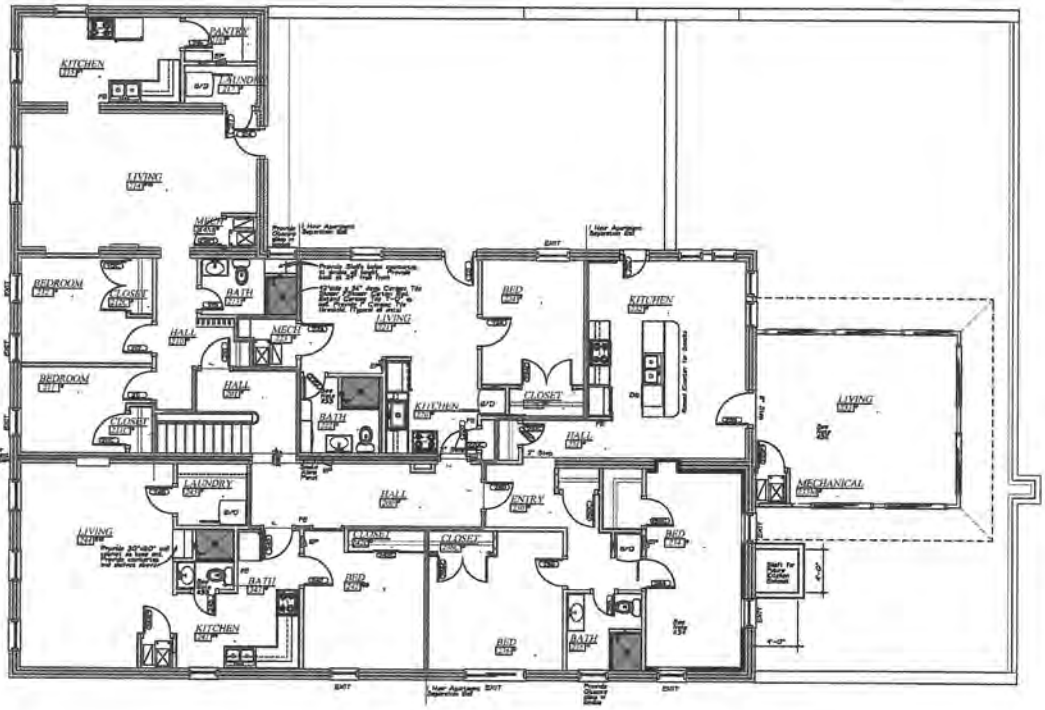
Existing Door Number — New Door Number

Existing Wall — New Wall

Existing Door — New Door

Wall or Door to be removed

Door to be reserved



2ND FLOOR PLAN
Scale: 1/4" = 1'-0"

ROGER L DONALDSON, AIA P.L.C.
ARCHITECT

West Ash, LLC
2019 Renovations
124-134 W. Ash
City of Mason, Ingham County
Mason, Michigan 48854

PROJECT

SECOND FLOOR PLAN & PLAN NOTES

SHEET TITLE

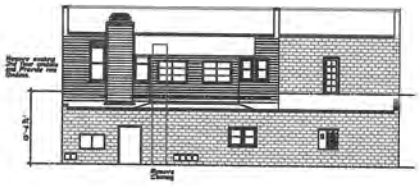
A1.2

SHEET NUMBER

10-24-2020

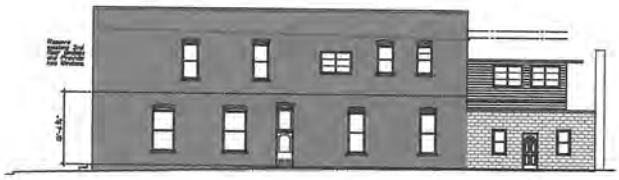
WINDOW NOTES

1. Provide Screens for all operable units. Owner to refuse on screens as noted.
2. All windows shall be triple pane insulating clear units with Low E Argon filled air space.
3. All windows shall have wood exterior jamb, extension jambs as required for wall depth.
4. All windows shall have exterior Aluminum Cladding, color as selected by Owner.
5. Windows noted as "EW" windows shall comply w/ 2015 IBC §1029 for minimum sill window dimensions.
6. Exit Windows shall meet or exceed Building Code requirements of free area. Opening Area 5.7 sq.ft., width of 20" and height 24", 2015 MBC §1030.2.
7. Exit Window Sill shall be no greater than 44" above finish floor 2015 MBC §1030.3.
8. All windows shall have fall protection device, complying with ASTM F2090 and 2015 MBC § 1013.5.
9. Exit Window operation shall be operational from the interior without use of tools, keys or special knowledge or strength to open.
10. Glazing in Windows shall comply with 2015 MBC §2406 and CPSC 16 CFR 1201 and shall be Safety Glazing when in Hazardous Locations. Safety Glazing shall be properly label for identification.
11. All Windows shall have a U-Value of 0.32 or better, comply with 2015 Michigan Uniform Energy Code, Part 10, Climate Zone 5A.



NORTH ELEVATION
Scale: 1/8" = 1'-0"

WEST ELEVATION
Scale: 1/8" = 1'-0"



EAST ELEVATION
Scale: 1/8" = 1'-0"

SOUTH ELEVATION
Scale: 1/8" = 1'-0"

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2019 Renovations
124-138 W. Ash
City of Mesa, Maricopa County
Mesa, Michigan 48160

PROJECT

EXTERIOR ELEVATIONS

SHEET TITLE

A2.1

SHEET NUMBER

PLUMBING GENERAL NOTES

[illegible]

PLUMBING EQUIPMENT SCHEDULE

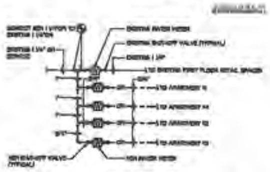
[illegible]

PLUMBING SYMBOLS

—— CW ——	COLD WATER
—— HW ——	HOT WATER
—— V ——	VENT
—— SAN ——	SANITARY PIPING
—— G ——	GAS
——	GAS COCK
——	SHUT-OFF VALVE

PLUMBING FIXTURE ROUGH-IN SCHEDULE

SYMBOL	CW	HW	SAN	VENT	REMARKS
WC	[illegible]	-	3"	2"	
LAV	[illegible]	[illegible]	1 1/2"	1 1/4"	
[illegible]	[illegible]	[illegible]	1 1/2"	[illegible]	
[illegible]	[illegible]	[illegible]	2"	1 1/2"	
[illegible]	[illegible]	[illegible]	[illegible]	1 1/2"	
[illegible]	[illegible]	[illegible]	2"	1 1/2"	



WATER METER DETAIL

MECHANICAL EQUIPMENT SCHEDULE

[illegible]

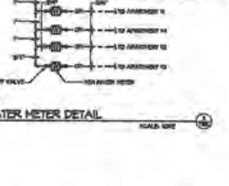
MECHANICAL SYMBOLS

[illegible]

MECHANICAL GENERAL NOTES

[illegible]

GAS WATER HEATER DETAIL



FURNACE RETURN AIR DETAIL

RETURN AIR GRILLE DETAIL

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EAI
Engineering Applications
E.A.I., LLC

West Ash, LLC
2019 Renovations

MECHANICAL NOTES, SCHEDULES, SYMBOLS, and DETAILS

SHEET TITLE

M0.1

SHEET NUMBER

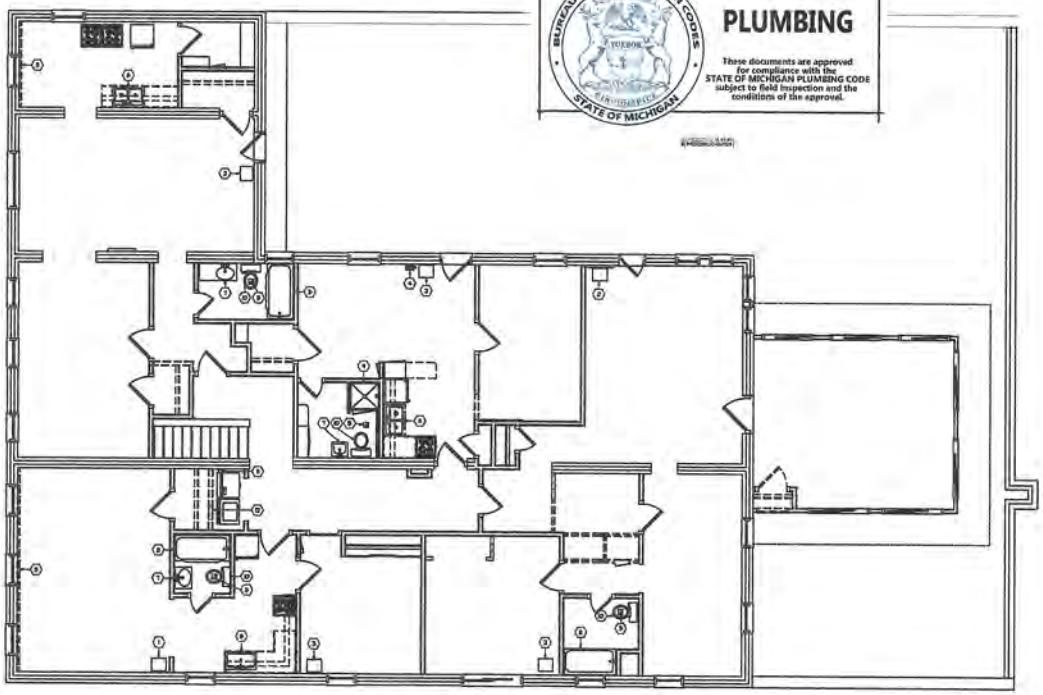
MECHANICAL DEMOLITION NOTES

GENERAL:

1. THE CONTRACTOR SHALL FIELD VERIFY ALL CONDITIONS FOR REMOVAL OF ALL COMPONENTS NECESSARY FOR COORDINATION WITH NEW INSTALLATION. THESE DRAWINGS ARE FOR GENERAL DEMOLITION ONLY. THEY ARE NOT INTENDED TO BE SHOP DRAWINGS. ALL WORK THAT INTERFERES WITH NEW CONSTRUCTION WHETHER SHOWN OR NOT SHOWN, SHALL BE REMOVED OR RELOCATED AS DIRECTED BY ARCHITECT/OWNER.
2. COORDINATE WITH ELECTRICAL PLANS FOR MECHANICAL DEMOLITION OF ELECTRICAL EQUIPMENT.
3. CONTRACTOR TO TURN OVER ALL DEMOLITION ITEMS TO OWNER AT OWNER'S DISCRETION. CONTRACTOR SHALL PROPERLY DISPOSE OF ALL DEMOLITION ITEMS WHICH OWNER DOES NOT WANT.

KEYNOTES:

1. REMOVE EXISTING WALL MOUNTED FURNACE AND TWIN-WALL VENT. EXISTING GAS PIPING TO REMAIN FOR NEW FURNACE.
2. REMOVE EXISTING WALL MOUNTED FURNACE AND TWIN WALL VENT. REMOVE EXISTING GAS PIPING.
3. REMOVE EXISTING ABANDONED BASEBOARD RADIATION AND PIPING.
4. REMOVE EXISTING ABANDONED RADIATION AND PIPING.
5. REMOVE EXISTING EXHAUST FAN AND DUCTWORK.
6. REMOVE EXISTING WOODEN SINK, EXISTING CW, HW,SANITARY, AND VENT TO REMAIN FOR NEW SINK.
7. REMOVE EXISTING LAV, EXISTING CW, HW,SANITARY, AND VENT TO REMAIN FOR NEW LAV.
8. REMOVE EXISTING SINGLE EXISTING CW, HW, SANITARY, AND VENT TO REMAIN FOR NEW SINGLE.
9. REMOVE EXISTING SHOWER, EXISTING CW, HW, SANITARY, AND VENT TO REMAIN FOR NEW SHOWER.
10. REMOVE EXISTING WC, EXISTING CW, SANITARY, AND VENT TO REMAIN FOR NEW WC.
11. REMOVE EXISTING DRYER VENT.
12. REMOVE EXISTING GAS DRYER BOX, INCLUDING CW, HW, AND SANITARY.



BUREAU OF CONSTRUCTION CODES
STATE OF MICHIGAN

PLUMBING

These documents are approved for compliance with the STATE OF MICHIGAN PLUMBING CODE subject to field inspection and the conditions of the approval.

MECHANICAL DEMOLITION PLAN

SCALE: 1/8" = 1'-0"

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107 Terra Lane
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(616) 494-0068

EAI
Engineering Applications
E.A.I. LLC
CONSULTANT
Project No. 170

West Ash, LLC
2019 Renovations
1343-1347 W. Ash
City of Muskegon (Muskegon County)
Tax Parcel # 61-[illegible]
PROJECT

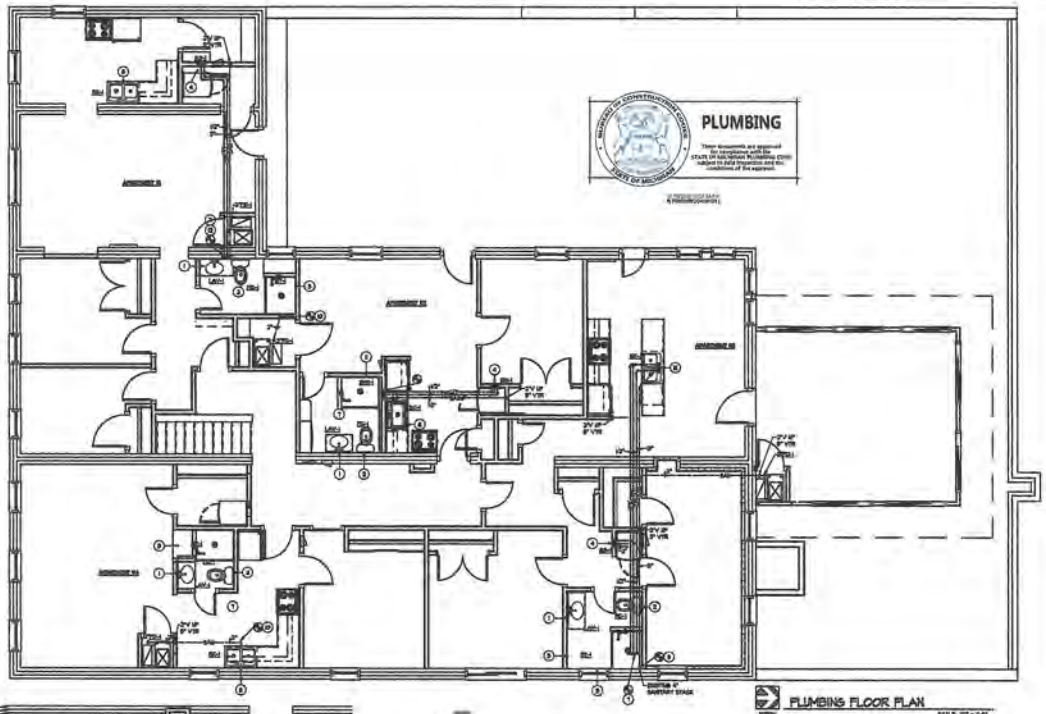
MECHANICAL DEMOLITION PLAN
SHEET TITLE

M1.1
SHEET NUMBER

PLUMBING KEY NOTES:

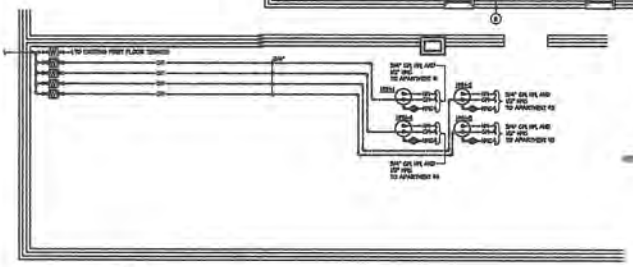
1. CONNECT NEW LAV TO EXISTING CW, HW, AND SANITARY.
2. CONNECT NEW FCO TO EXISTING CW AND SANITARY.
3. CONNECT NEW WC TO EXISTING CW, HW, AND SANITARY.
4. NEW 1/2" CW AND HW, 2" SANITARY UP TO NEW SINK.
5. NEW 1/2" CW AND HW, 2" SANITARY UP TO NEW SINK.
6. CONNECT NEW 6" SANITARY TO EXISTING 4" SANITARY STACK.
7. NEW SUMP CW, HW, AND 1/2" HWC DOWN TO DISHWASHER. CONNECT SINK TO NEW APARTMENT WATER METER. CONNECT CW AND HW TO APARTMENT WM.
8. CONNECT NEW SINK TO EXISTING CW, HW, AND SANITARY.
9. CONNECT NEW BACK CW, HW, AND SANITARY TO EXISTING CW, HW AND SANITARY FOR REMOVED BAY VANITY SINK.
10. CONNECT NEW 2" SANITARY TO EXISTING SANITARY PIPING THIS AREA.
11. CONNECT NEW SINK TO EXISTING CW, HW, AND SANITARY.
12. CONNECT 2" SANITARY TO EXISTING SANITARY.
13. NEW 1/2"CW, SANITARY, 1/2" HW TO SINK, 1/2" CW AND HW TO WC.

NOTE:
NEW HWH SUPPLY LINING FROM BACK APARTMENT TO NEW HWH AND RECIRCULATION PUMP FOR BACK APARTMENT IN BASEMENT. (W/ FROM APARTMENT # 101 (#104, APARTMENT #2 TO #101-2 ETC.)



PLUMBING FLOOR PLAN

SCALE: 1/8" = 1'-0"



PARTIAL BASEMENT PLUMBING FLOOR PLAN

SCALE: 1/8" = 1'-0"

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Engineering Applications
E.A.I., L.L.C.
CONSULTANT
Project No. 1121

West Ash, LLC
2019 Renovations
2414 W. Ash
City of Lansing, Ingham County
Tax Parcel 33010

PROJECT

PLUMBING FLOOR PLAN

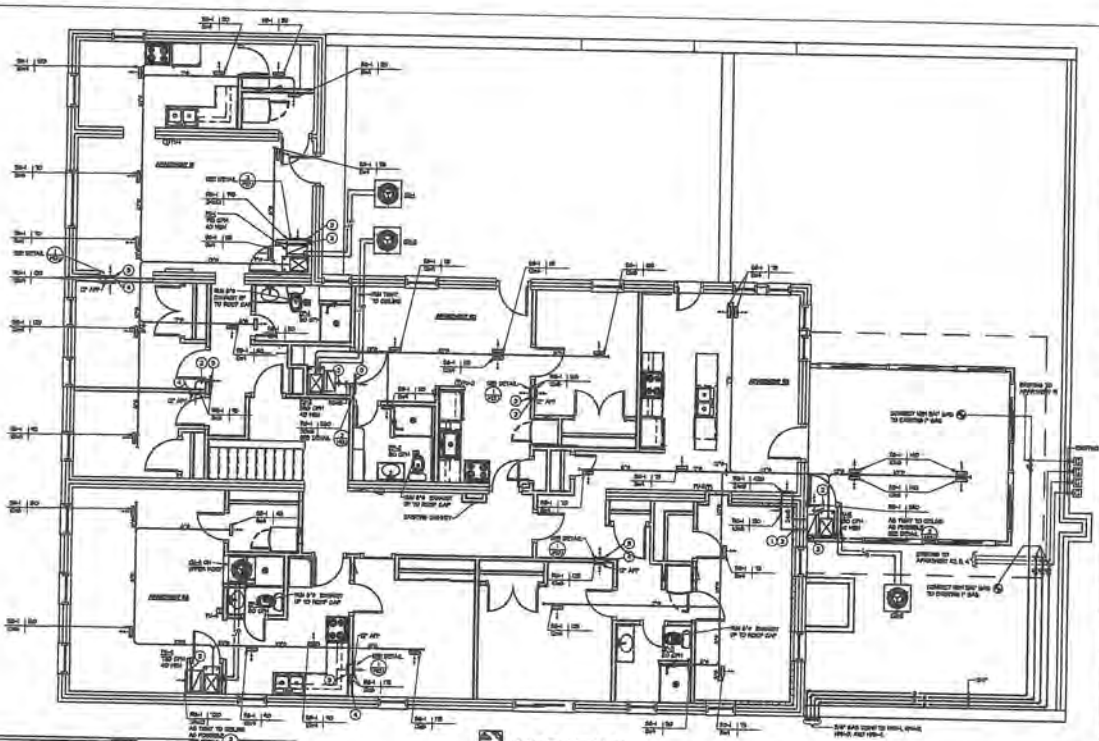
SHEET TITLE

M2.1

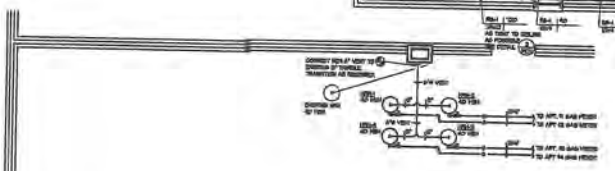
SHEET NUMBER

HVAC KEY NOTES:

1. HOLD RETURN AIR DUCT AS TIGHT TO CEILING AS POSSIBLE.
2. LINE RETURN AIR DUCT WITH 1/2" ACOUSTICAL LINER.
3. HOLD RETURN AIR GRILLE AS TIGHT TO CEILING AS POSSIBLE.
4. 3 1/2"x10" RETURN AIR DUCT RISE UP IN WALL.



HVAC FLOOR PLAN



PARTIAL BASEMENT PLUMBING FLOOR PLAN

MECHANICAL

ROGER L. DONUSKIN AIA P.L.C. ARCHITECT

EAI Engineering Applications Inc. CONSULTANT

West Ash, LLC 2019 Renovations

HVAC FLOOR PLAN

M3.1

NEW LOADCENTER #1

NEW LOADCENTER #2

NEW LOADCENTER #3

NEW LOADCENTER #4

NEW LOADCENTER 'H'

Apartment #1 Panel Calculations

Apartment #2 Panel Calculations

Apartment #3 Panel Calculations

Apartment #4 Panel Calculations

APARTMENT BUILDING SERVICE

METER / CIRCUIT BREAKER SCHEDULE

1	3P60A	100 FL ABS	
2	3P60A	AFT. 14	
3	3P30A	50 FL ABS	FIELD VERIFY
4	3P40A	AFT. 10	
5	3P60A	30 FL ABS	FIELD VERIFY
6	3P60A	AFT. 12	
7	3P60A	30 FL ABS	FIELD VERIFY
8	3P60A	AFT. 8	
9	SPARE		
10	3P60A	HOME PANEL	

GENERAL ELECTRICAL NOTES AND SPECIFICATIONS

1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE APPLICABLE EDITION OF THE NATIONAL ELECTRICAL CODE (NEC) AND ALL STATE AND LOCAL CODES.
2. OBTAIN AND PAY FOR ALL PERMITS.
3. COORDINATE AND INSTALLATION OF ALL ELECTRICAL EQUIPMENT AND CONNECTIONS WITH ARCHITECTURAL AND MECHANICAL PLANS AND CONTRACT DRAWINGS.
4. BACK TO BACK OR TWO THE WALL BOXES SHALL NOT BE USED. BOXES INSTALLED ON OPPOSITE SIDES OF A FIRE RATED PARTITION SHALL BE SEPARATED BY 24" TRAINER.
5. IN WARMED AREAS ALL CIRCUIT SHALL BE CONDUCTORS AND RECEIVABLE RECEPTACLES, STAINLESS SHALL BE REQUIRED WITH STAINLESS STEEL COVERS.
6. PROVIDE LABELED MATCH COVER COVER PLATE FOR EMERGENCY RECEPTACLES & SWITCHES.
7. ALL CONDUIT SHALL BE IN FLOOR SLAB SHALL BE SPACED A MINIMUM OF ONE CONDUIT DIAMETER APART EXCEPT WHERE THEY ARE TO A PANEL.
8. ALL CONDUCTORS SHALL BE COPPER. ALUMINUM CONDUCTORS WILL NOT BE ACCEPTABLE.
9. WIRING SHALL BE METAL CLAD CABLE (TYPE MC) WHERE INSTALLED IN WOOD FRAME. IF INSTALLED IN METAL, PLACE ON EVERY ABOVE SUPPORTS SHALL BE TYPE THE TRAY ON SAME INSTALLED IN CONDUIT CONSISTING OF 10 AT SHALL BE TYPE EMT. ALL WIRE AND CONDUIT CONNECTED TO TYPE THE TRAY DROP TYPE THE TRAY OR THE WIRE IS ZERO. ALL AND CONDUIT RODS SHALL BE ADJUSTED ACCORDINGLY. EXTERIOR UNDERGROUND CONDUIT THAT BE RIGID NON-METALLIC.
10. NON-METALLIC SHEATHED CABLE INSTALLED WITHOUT CONDUIT SHALL BE PROTECTED IN PROXIMITY AS LONG AS:
    A. THE INSPECTING AUTHORITY APPROVES IT.
    B. INSTALLATION IS IN STRICT COMPLIANCE WITH NEC ARTICLES 300 AND 334.
    C. AND INSTALLED IN METAL FIXED SHALL BE PROTECTED AT EACH STUD WITH LISTED SHEATHED OR LISTED CONDUITS COVERING ALL METAL SUPPORTS.
11. FINAL CONNECTION TO TRIPS SUBJECT TO VIBRATION SHALL BE MADE WITH FLEXIBLE METALLIC OR LIQUIDTIGHT FLEXIBLE METALLIC CONDUIT. INSTALL LIQUIDTIGHT FLEXIBLE CONDUIT IN ANY SHAPE OR ORIENTATION. LOCATIONS FLEXIBLE METALLIC CONDUIT OR LIQUIDTIGHT FLEXIBLE METALLIC CONDUIT WILL NOT BE APPROVED FOR USE AS A GROUNDING CONNECTOR. A SEPARATE GROUNDING WIRE SHALL BE INSTALLED IN ALL FLEXIBLE METALLIC CONDUIT AND LIQUIDTIGHT FLEXIBLE METALLIC CONDUIT.
12. ALL DISCONNECT SWITCHES SHALL BE HEAVY DUTY TYPE. DISCONNECT SWITCHES INSTALLED INDOORS SHALL BE NEMA TYPE 1 MAINTENANCE DISCONNECT SWITCHES SHALL BE NEMA TYPE 3R.
13. NEW CIRCUIT BREAKERS PANELS SHALL BE FACTORY ASSEMBLED WITH PLUG-ON CIRCUIT BREAKERS. WITH KEY PATHS AS INDICATED ON PLANS. SCHEDULE PANEL SHALL HAVE FULL LENGTH HINGED COVER. CIRCUIT DIRECTORY AND SHALL BE SUITABLE FOR SURFACE OR FLUSH MOUNTING (AS INDICATED OR PANEL SCHEDULE) SURFACE AND KITCHEN OR PLACES SHALL BE AS INDICATED ON THE PANEL SCHEDULE. THE CIRCUIT DIRECTORY SHALL BE TYPED.
14. ALL CIRCUIT BREAKERS SCHEDULED ON BATTERY LIGHT FIXTURES SHALL BE "RED" PAINTED. ALL CIRCUIT BREAKERS CONTROLLING AND CIRCUIT SHALL BE "NATURAL WHITE".
15. ALL RECEPTACLES INSTALLED OUTDOOR ARE TO ANY AND BE ANY CIRCUITS SHALL BE OF THE GROUNDING TYPE.
16. SURFACE MOUNTED CONDUITS MUST BE USED ON WALLS AND CEILINGS WHERE IT IS NOT POSSIBLE TO CONCEAL WRIGHT. PRIOR TO PATCH BACKGROUND.
17. THE ELECTRICAL CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ALL NECESSARY EXPENSES AND PARTS FOR A COMPLETE AND OPERATING INSTALLATION OF ALL DEVICES, MONITOR, LIGHT FIXTURES, FURNITURE PANELS, ETC. ACCORDING TO THE MANUFACTURERS SPECIFICATIONS, INSTALLATION INSTRUCTIONS, AND RECOMMENDATIONS.
18. ALL EXISTING UNUSED WIRING SHALL BE REMOVED AND REUSED BY THE MICHIGAN ELECTRICAL CODE. EXISTING UNUSED WIRING LEFT IN PLACE SHALL BE RE-ENERGIZED AND TAGGED PER MICHIGAN ELECTRICAL CODE.

ELECTRICAL SYMBOLS

LIGHT FIXTURE SCHEDULE

A. TYPE UNDER TYPE LED FIXTURE WITH 5000 LUMENS, 50 WATTS OR AS SELECTED BY OWNER.

B. TYPE UNDER TYPE LED FIXTURE WITH 3000 LUMENS, 30 WATTS OR AS SELECTED BY OWNER.

C. TYPE SURFACE MOUNTED OR PENDANT MOUNTED FLUORESCENT FIXTURE WITH 4-LED T8 LAMPS OR AS SELECTED BY OWNER.

D. VANITY FIXTURE WITH 2-LED8 SCREW-IN LED LAMPS OR AS SELECTED BY OWNER.

E. RECESSED LED DOWNLIGHT OR AS SELECTED BY OWNER.

EM. EMERGENCY LIGHTING, WALL MOUNTED BATTERY OPERATED EMERGENCY LIGHT WITH 2-HEAD ADJUSTABLE HEADS, SEALED 12 VOLT LEAD CALCIUM BATTERY, AND RUNS FOR MINIMUM 90 MINUTES. FIXTURE TYPE OR VOLT OPERATION, OR EQUAL.

AR. SURFACE CAT. 10AR-4 (ADDRESSABLE)
BATTERY OPERATED EMERGENCY LIGHT WITH 2-HEAD ADJUSTABLE HEADS, SEALED 12 VOLT LEAD CALCIUM BATTERY, AND RUNS FOR MINIMUM 90 MINUTES OR MEETS OTHER CAPACITY SEALED BATTERY, 12 VOLT LEAD CALCIUM BATTERY, FIXTURE WITH ADJUSTABLE HEADS, FINISH, AND RED LENSES, FUTURE FOR LED VOLT OPERATION, OR EQUAL.

ELECTRICAL RISER DIAGRAM - DEMOLITION

SCALE: NONE

ELECTRICAL RISER DIAGRAM -NEW

SCALE: NONE

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Project No. 1125

West Ash, LLC
2019 Renovations
224-228 W. Ash
Royal Oak, Oakland County
Royal Oak Township, Michigan

ELECTRICAL NOTES, SCHEDULES, SYMBOLS, and DETAILS

SHEET TITLE

E0.1

SHEET NUMBER

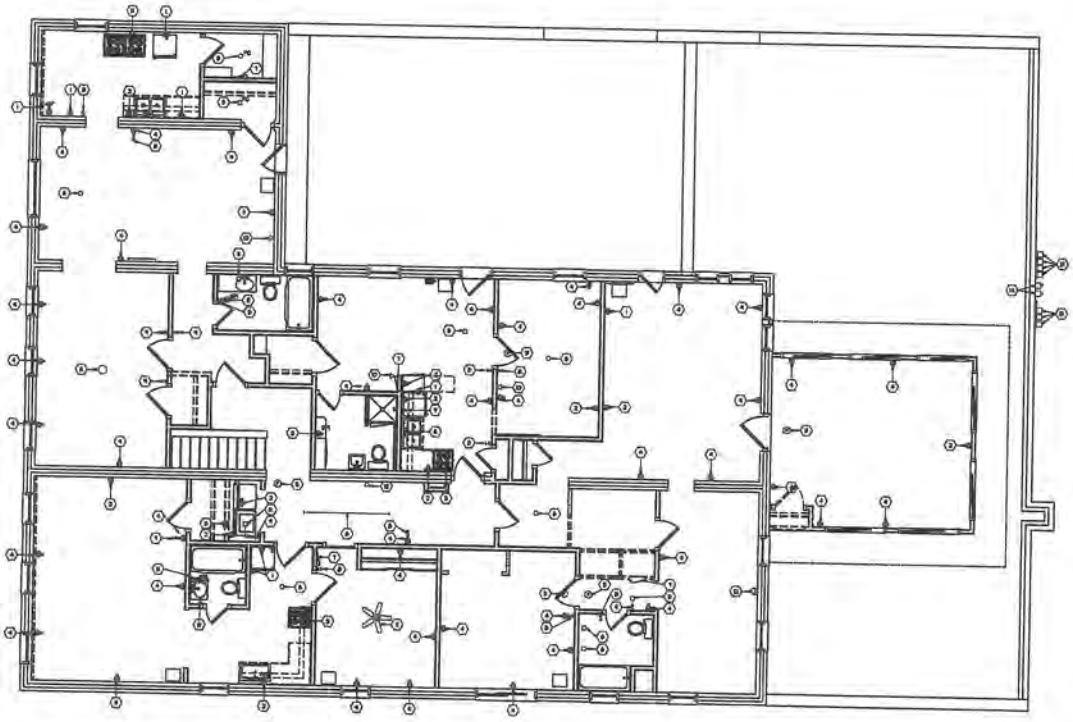
ELECTRICAL DEMOLITION NOTES

GENERAL:

1. THE CONTRACTOR SHALL FIELD VERIFY ALL CONDITIONS FOR REMOVAL OF ALL EQUIPMENT INDICATED FOR CONTRACTOR TO FOR INSTALLATION. THESE DRAWINGS ARE FOR GENERAL DEMOLITION ONLY. THEY ARE NOT INTENDED TO BE SHOP DRAWINGS. ALL WORK THAT INTERFERES WITH NEW CONSTRUCTION, EXISTING WORK OR NOT SHOWN, SHALL BE REMOVED OR RELOCATED AS DIRECTED BY ARCHITECT/OWNER.
2. COORDINATE WITH MECHANICAL PLANS FOR ELECTRICAL DEMOLITION OF MECHANICAL EQUIPMENT.
3. CONTRACTOR TO TAKE OVER ALL DEMOLITION WORK TO OWNER AT OWNER'S DISCRETION. CONTRACTOR SHALL PROTECT OWNER OF ALL DEMOLITION WORK WHICH OWNER DOES NOT TAKE.
4. RE-CIRCUIT RECEPTACLES, LIGHT FIXTURES, OUTLET BOXES, ETC. AS SHOWN ON DWG. EXISTING WIRE AND RACEWAY MAY BE REUSED IF CONDITION MEETS AND REQUIRED WORK FOR THE CONDITION. REMOVE ALL UNUSED EXISTING WIRING.

KEYNOTES:

1. REMOVE EXISTING RECEPTACLE, EXISTING WIRE AND RACEWAY TO REMAIN.
2. REMOVE EXISTING RECEPTACLE, RACEWAY, AND WIRE BACK TO SOURCE.
3. EXISTING SPARE RECEPTACLE TO REMAIN.
4. EXISTING RECEPTACLE TO REMAIN.
5. REMOVE EXISTING SMOKE DETECTOR.
6. REMOVE EXISTING LIGHT FIXTURE.
7. REMOVE EXISTING PANEL AND CUT CABLE BACK TO DISCONNECT SWITCH AND WIRING.
8. EXISTING LIGHT SWITCH TO REMAIN.
9. REMOVE EXISTING LIGHT SWITCH, RACEWAY, AND WIRE.
10. EXISTING TELEPHONE OUTLET TO REMAIN.
11. REMOVE EXISTING CEILING FAN.
12. REMOVE EXISTING JUNCTION BOX, RACEWAY, AND WIRE BACK TO SOURCE.
13. REMOVE EXISTING TELEPHONE OUTLET AND WIRE.
14. EXISTING 3P,120A, 208V FAN DISCONNECT SWITCHES AND SERVING DROP TO REMAIN.
15. REMOVE EXISTING APPARTMENT PANEL AND DISCONNECT SWITCHES.
16. EXISTING FIRST FLOOR RETAIL SPACE PANELS AND DISCONNECT SWITCHES TO REMAIN.



ELECTRICAL DEMOLITION PLAN

SCALE: 1/8" = 1'-0"

ELECTRICAL

STATE OF MICHIGAN

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2019 Renovations
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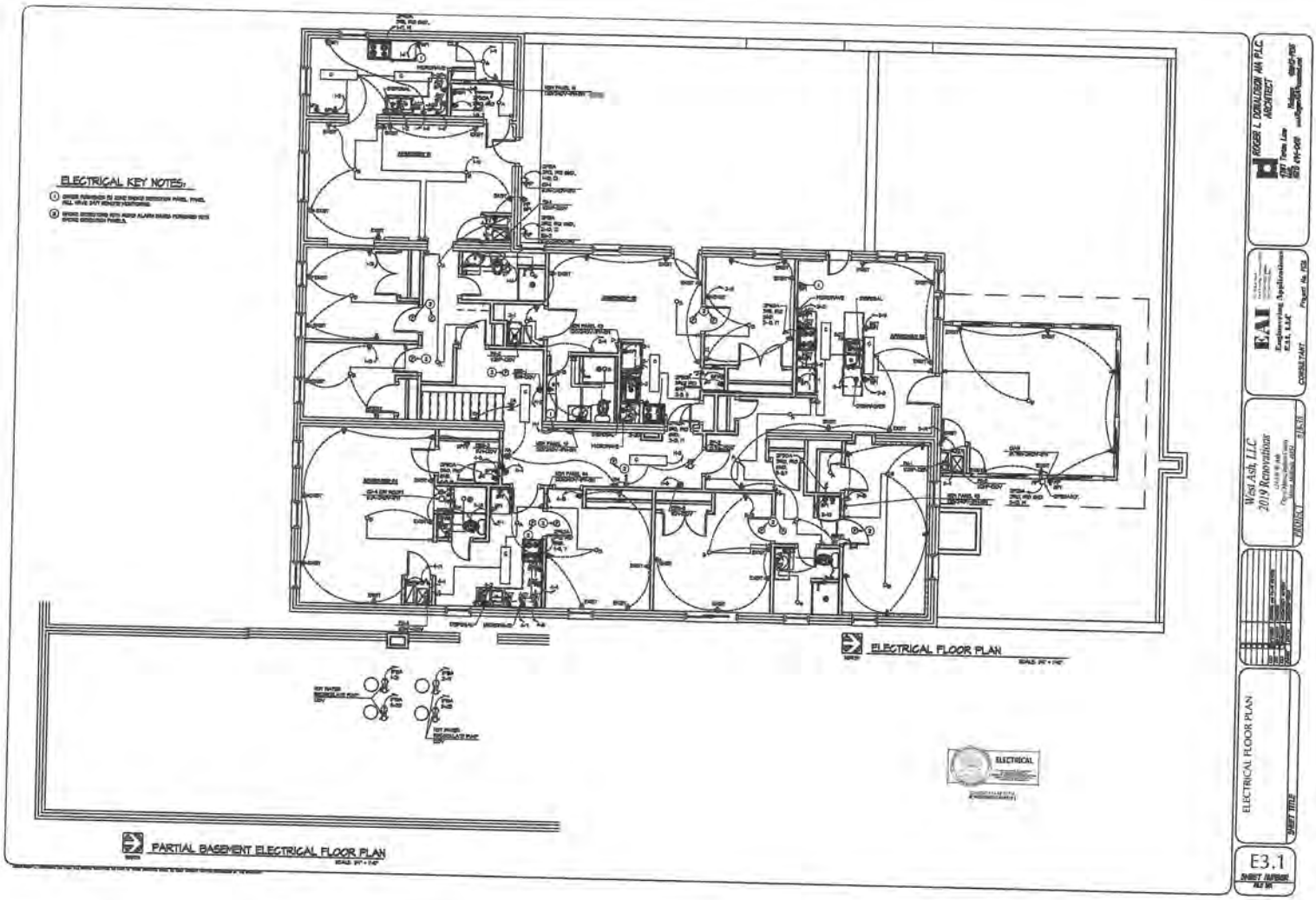
City of Ferndale, Oakland County
Ferndale, Michigan 48220

ELECTRICAL DEMOLITION PLAN

SHEET TITLE

E1.1

SHEET NUMBER
PER SET


ELECTRICAL KEY NOTES:
ELECTRICAL FLOOR PLAN
PARTIAL BASEMENT ELECTRICAL FLOOR PLAN
ELECTRICAL
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ELECTRICAL FLOOR PLAN
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E3.1
SHEET NUMBER

City Manager's Report: June 11, 2020

COVID-19 UPDATES:

- Please see the Continuity of Operations document, as of June 11, 2020, available on the City's website: here.
    - City Hall will be open to public wearing masks starting June 15, 2020
    - Building Permits - Service has resumed for applications and inspections. Permits can be submitted through the online application or by drop off in the drop box at City Hall.
- Please see the COVID-19 Preparedness and Response Plan, as of June 3, 2020 available on the City's website: here. This document complies with Executive Order 2020-59.

ACTIVE PROJECTS STATUS UPDATES (PROJECTS NOT COORDINATED BY THE CITY)

Project Name	Status
HISTORIC DISTRICT COMMISSION	
124-136 W. Ash St. **PENDING**	Historic District Commission will be meeting in June to review a Certificate of Appropriateness request for window replacement.
BUILDING PERMITS – COMMERCIAL PROJECTS UNDER CITY REVIEW	
1133 S. Cedar – MSU Federal CU **PENDING**	Building permit application in review for interior renovations.
205 S. Cedar - DSN **PENDING**	Two building permits pending for this address. Both filed after code enforcement violations were noted. 1. Sign permit. 2. Installing door on front of building.
118 W. Oak St. **PENDING**	Two permits pending for this address. 1. Change of Occupancy permit has been filed for Nail Tech in small office space. 2. Change of Occupancy permit has been filed to proceed with opening of the Arcade on the first floor only.
117 & 119 E. Maple – Fiedler insurance **ACTIVE**	Building permit is active for replacement storm doors, replacement windows, exterior painting, and brick exterior re-pointing.
301 Bush – Ingham County **ACTIVE**	Building permit active for tear off and re-roof of building.
110 W. Oak – Mason Energy Group **ACTIVE**	Building permit active for siding, fascia, and soffit work. *Historic District Commission approved a Certificate of Appropriateness for new metal gable siding and gutters on May 26, 2020.
706 S. Cedar – State Farm Insurance **ACTIVE**	Building permit active for tear off and re-roof of building.
213 N. East St. – ServiceMaster **ACTIVE**	Building permit active to add overhead door, open doorways to meet ADA code and build necessary ramps.
125 E. Kipp Rd – Dollar Tree **ACTIVE**	Building permit is active for a 5,460 sq. ft. addition to accommodate up to four new retailers.
652 Hull Rd- New Goodwill **ACTIVE**	Building permit application is active and construction of a new 15,772 square foot commercial building for a Goodwill retail store.
801 N. Cedar St.- City Limits **ACTIVE**	Building permit is active to construct a 4,828 sq. ft. addition along with additional parking.
402 S. Jefferson (former Baja Grill) **ACTIVE**	Building permit is active for interior and exterior renovations.
700 Buhl – Ingham 911 **ACTIVE**	Building permit is active for installation of antennas, microwave dishes and associated mounts on existing tower. Install unmanned equipment shelter.
525 N. Cedar- Timeless Treasures **TEMPORARY OCCUPANCY PERMIT ISSUED**	A Temporary Certificate of Occupancy has been issued for Timeless Treasures. Remaining work includes the installation of the approved landscaping, repairs to parking lot lighting, and a site plan revision if the owner intends to include the outdoor flea market.

BUILDING PERMITS – FIRE RESTORATION	
Private Residence – Hall Blvd. **ACTIVE**	Building permit is active for reconstruction of residence.
111 Mason St. – Mason Depot **ACTIVE**	Building permit is active for reconstruction after fire.
575 N. Cedar St. – Heb's Inn **ACTIVE**	Building permit is active for reconstruction after fire.

OPERATIONS

- Staff will disconnect a few decorative street lights in the downtown due to water getting into the fixtures and causing lights to flicker. Parts have been ordered and repairs will be made after we receive the parts (expected delivery end of June).
- Since going live in May, the City has received nearly 60 permits online, primarily for roof and siding. We believe this alone has resulted in a savings of nearly 30 hours of Customer Service time for data entry. Special thanks to Marcia Holmes, Community Development Administrative Assistant and our Customer Service Team for making this happen. We are limited to taking only roof and siding permits online now but with a goal shifting the administrative intake of 100% of our permit types online over the next few months.

Staffing Updates:

- City Manager has implemented a hiring freeze due to COVID-19.

Traffic Updates:

- Traffic and speed evaluations in certain areas have become a lower priority to limit contact.

LARGE CITY PROJECTS

FY 2019-2020			
Project	**Project Name/Description**	**Status**	**Completed**
STREETS, SIDEWALKS, BRIDGES (S)			
2018-S1 (FY 18/19)	MDOT- Temple Street Safety Grant *MPS/ City support smaller scope and rejecting grant due to costs.*	City will contribute $20,000 (previously committed match) and MPS will contribute $10,000. Plans are being revised for review. Delaying due to COVID-19	
2017-S5	Walnut- Columbia St. to North End	Final cleanup and restoration as applicable remain.	October
2017-S10	Sidewalk Program- NW Quadrant	Bid Opening April 1; five bids were received, delaying award due to COVID-19	
2017-S11/ 2017-U19/ 2018-P3	Kerns Road- Cedar Street to Howell Rd./ Hayhoe Riverwalk Trail Extension	All underground work is completed. Main line curb is done. The radii at Howell and Cedar will be completed within a week or so. Next step will be base course of asphalt, then pathway work.	
2017-S12/ 2017-U20	W. Elm St.- Henderson St. to Jefferson St.	Restoration and final clean up as applicable.	November
2017-S13/ 2017-U21	Park St.- Elm Street to Oak St.	Complete	November
UTILITIES: SANITARY SEWER, STORM WATER, AND WATER DISTRIBUTION (U)			
2017-U11	Turbine Aeration Blower at POTW	Recommendation awaiting City Council approval	
2017-U15	Replace Hydrants at Mason Plaza	Discussions with owner about relocations occurring. Delaying due to COVID-19	
2017-U23	Well No. 6 Rebuild	Moved to FY 2020-2021	
2017-U24	Study of Sewer Flow on Mason St.	Data collection underway	
2017-U25	Gutters for Water Treatment Plant	Moved to FY 2020-2021	
2019-U1	WWTP- Design	RFQP planned for Spring, delaying due to COVID-19	
2019-U2	DPW- Design	Delaying due to COVID-19	

PARKS/ CEMETERY/ FORESTRY/ NONMOTORIZED (P)			
2017-P8	Laylin Park - Phase II	Delaying due to COVID-19	
MOTOR VEHICLE POOL (MVP)			
2017-MVP11	Vehicle No. 13 Replacement	Complete	March
2017-MVP12	Mower No. 75 Replacement	Complete	July
2017-MVP13	Vehicle No. 6 Replacement	Complete	March
2019-MVP1	Vehicle No. 25 Equipping	Complete	January
BUILDING, PROPERTY, EQUIPMENT (B)			
2017-B5	Library Improvements, Phase 1	Contractor has begun work preparing final design/construction documents.	
2017-B7 **2018-B16**	City Hall Parking Lot Repairs Station 1 Rear Approach	Bids received, delaying due to COVID-19	
2017-B10	Fire Station 1- Furnace/AC	Delaying due to COVID-19	
2017-B11	Fire Station 1- Washer/ Dryer	Dryer has been received and installed (May 2020); delaying washer due to COVID-19	
2017-B12	City Hall New Servers	Email Server to Office 365 Complete. City Hall server replacement delaying due to COVID-19	
2018-B10	BS&A Module for Online Permitting	This service is live and we are accepting applications.	May
2018-B12	City Hall Carpet Replacement	Delaying due to COVID-19	
2018-B13	Extrication Tools Replacement	All items have been received.	February
2018-B15	Sprinkler System in Truck Bay	Delaying due to COVID-19	
2018-B19	Wireless Connectivity- City Hall to Jefferson St (DPW and POTW)	Previous account manager no longer with ACD. Working on new estimates with alternate routes. Delaying due to COVID-19	
2019-B1	Election Tabulator Machines	Tabulator Machine has been ordered; manufacturer has been delayed; anticipated receipt June 2020. State of Michigan Grant has been approved to fund 50% of the tabulator cost.	
2019-B2	City Hall- Phase 1	Received bid for design, delaying due to COVID-19	

FY 2020-2021			
Project	**Project Name/Description**	**Status**	**Completed**
STREETS, SIDEWALKS, BRIDGES (S)			
	2020 Local Streets	Base course of asphalt placed on Eaton and Maple. Structure adjustment next and then final asphalt placed. Work will progress to Center Street and Brookdale.	