



## **PLANNING COMMISSION**

July 10, 2018, Council Chambers, 6:30 pm  
201 West Ash Street, Mason, MI

### **AGENDA**

**1. CALL TO ORDER**

**2. ROLL CALL**

**3. PUBLIC COMMENT**

**4. APPROVAL OF MINUTES** (June 12, 2018)

**5. PUBLIC HEARING**

A. Resolution 2018-10 - Brian Brady, Red Oak Holdings, LLC has submitted a request for a special use permit and preliminary site plan approval for new construction of a 24,287 sq. ft., three-story, mixed-use building to include mercantile, business and single-family residential, on property located at 154 W. Maple Street, parcel 33-19-10-08-233-021, City of Mason, Ingham Co.

B. Resolution 2018-11 - James Giguere of Giguere Homes is requesting preliminary plat approval to create nineteen (19) residential lots and one private park to be located on Parcel # 33-19-10-04-401-005, 13.5+/- acres in the City of Mason.

**6. UNFINISHED BUSINESS**

A. Development Update – Administrators Report

B. Workplan Update

**7. NEW BUSINESS**

**8. LIAISON REPORT**

**9. ADJOURN**

**CITY OF MASON  
PLANNING COMMISSION MEETING  
MINUTES OF JUNE 12, 2018  
DRAFT**

Sabbadin called the meeting to order at 6:30 p.m. in the Council Chambers at 201 W. Ash Street, Mason, Michigan.

Present: Commissioners: (8) Barna, Droscha, Feintuch, Hagle, Howe, Reeser, Sabbadin, Waxman\*

Absent: Commissioners: (0)

Also present: Elizabeth A. Hude, AICP, Community Development Director

\*Arrived after roll-call at 6:33 p.m.

**PUBLIC COMMENT**

None.

**APPROVAL OF MINUTES**

Howe requested a correction that the vote on page four reflect six members as Hagle was absent during that vote.

**VOTE**

MOTION by Howe, second by Barna to approve the minutes of May 15, as amended.

Yes (7) Barna, Droscha, Feintuch, Hagle, Howe, Reeser, Sabbadin

No (0)

Absent (1) Waxman\*

**MOTION PASSED**

**PUBLIC HEARING**

|   |                   |   |
|---|-------------------|---|
| <b>A. Resolution 2018-09**</b> - Eric Harter, Mason Motorcars LLC is requesting a special use permit and site plan approval for used motor vehicle sales at 700 North Cedar Street, parcel 33-19-10-05-152-017.<br><i>** A clerical error was corrected which changed the resolution number from 2018-08 to 2018-09.</i>  |                   |   |
| OPEN: 6:33 P.M.   | CLOSED: 6:37 P.M. | Public comments received from Jeff Kirkpatrick, property owner, and Eric Harter, applicant. |
| Public comments/Discussion:<br>Jeff Kirkpatrick, property owner of 700 N. Cedar St, handed out an aerial view of the property highlighting the parking area that would be dedicated to the display of used cars on the lot. Since purchasing the property he has made several improvements to the building and parking area.<br>Howe asked if State Farm Insurance was also inside the building besides the used car dealer. Mr. Kilpatrick stated that Tom Thasier, Insurance Agent, utilized the back ½ of the building and that Mr. Harter would occupy the front half.<br>Eric Harter, 1720 Ives Rd, Leslie shared that after closing his business across the street he |                   |   |

wanted to relocate and stay in Mason. He stated there would be no broken or junk cars in the lot, he anticipated having 20 cars on hand and that he would be the only employee as he intends to keep it a small operation.

Howe asked if the business would be open on the weekend and Mr. Harter stated that business hours would include Monday-Friday and from 10 am – 2 pm on Saturday. A state law prevents him from being open on Sunday.

**PC Discussion:**

Staff provided an overview of the staff report, application and explained the need for a Special Use Permit. She discussed the methodology for the parking calculation and that the site provided sufficient parking. She reviewed comments from other agencies and departments and recommended approval.

Reeser stated that after hearing the applicant's presentation and his history with the previous site he sees no reason not to approve. There will be no blight or change. Howe stated he also supports the application and thanked the applicant for staying in Mason.

**VOTE**

MOTION made by Reeser, second by Howe to approve Resolution 2018-09\*\*.

Yes (8) Barna, Droscha, Feintuch, Hagle, Howe, Reeser, Sabbadin, Waxman

No (0)

Absent (0)

**MOTION PASSED**

**UNFINISHED BUSINESS**

- A. Resolution 2018-06/Ordinance 219: Introduction and First Reading of Ordinance 219 to Amend Chapter 94 – Zoning – of the Code of the City of Mason by repealing and replacing Article XI Zoning Board of Appeals (ZBA)

Staff provided an overview on action to date – a public hearing opened and closed at the May 15 meeting and no comments were received from the public at that time. The matter was continued until today's meeting to allow additional time to receive comments from the City Attorney. Comments from the City Attorney have been received and incorporated as noted in the packet, no other changes were made.

**VOTE**

MOTION made by Waxman, second by Droscha to approve Resolution 2018-06 recommending that City Council approve Ordinance 219 as amended.

Yes (8) Barna, Droscha, Feintuch, Hagle, Howe, Reeser, Sabbadin, Waxman

No (0)

Absent (0)

**MOTION PASSED**

- B. Update - Ordinance 218 - to Amend Section 94-131 and Subsection 94-132 of Chapter 94 – Zoning – of the Code of the City of Mason to allow residential uses

Staff provided an update to Commissioners that a change was made to the Ordinance during City Council's second reading. The changes are tracked in the current meeting packet – in the O1 General Office District, the two-family residences were removed from the list of uses allowed by right and moved to a use allowed by Special Use Permit; Multi-family residences were removed as a use allowed by Special Use Permit. The amended ordinance was adopted.

- C. Development Updates – The Administrators Report was distributed.

- D. Workplan Update:

- a. Staff shared that the Food Truck ordinance has expired and City Council is revisiting whether or not to renew it. Sabbadin asked how many permits were issued. Staff stated that no permits were issued but the city did receive one phone call. Droscha provided historical information on how the ordinance developed. Waxman stated that word of mouth among vendors and the fees were high which pushed food trucks out of range for a profit. He believes Good Bites was operating under a peddler permit and that the ordinance exempted the need for a permit if it was operating on private property.
  - b. CENSUS update – staff is working to meet deadline at the end of June for updating the City's address records needed for the next CENSUS
  - c. Special Use Permit received – 154 W. Maple
  - d. Library Feasibility Study
  - e. Ingham County Trails
  - f. Building permits, code enforcement – currently in peak season
  - g. The position for Community Development Assistant has been posted
- E. Sidewalks – Staff has reviewed the Goodwill site plan and the sidewalk will be installed on the private property side; ordinances allow for the ability to require sidewalks but has not found the ordinance that specifies it as a requirement for site plan approval; sidewalks are required as a part of subdivision development. There are chapters addressing sidewalk assessments that she is reviewing and working with the City Administrator and DPW to coordinate future action.

## **NEW BUSINESS**

None.

## **LIAISON REPORT**

Droscha reported that at the last City Council meeting he was elected as the representative for the MML conference, and they approved items in the consent calendar – 4<sup>th</sup> of July fireworks, car show, farmers market starting on July 7. Tri-County Office on Aging made a presentation requesting support for Meals on Wheels; a discussion took place on a potential littering ordinance, no action was taken as it appears unenforceable, a lawsuit resulted in Orion County with Council members being sued \$5m each after adopting a related ordinance. While it is frustrating, community members are encouraged to pick them up and use or dispose of them. Feintuch asked if City Council considered anything other than an ordinance, distributors are

paid by the number they deliver and she receives multiple papers at her residence; she asked if city residents can file complaints with the police? Droscha stated that requests to stop service can be made with the Lansing State Journal but it is a first amendment issue and hard to regulate.

Howe questioned if the City could donate to a cause like Meals on Wheels, seems like a slippery slope? Droscha stated that no, it could not donate. Barna asked if the city could pay for services, ie, seniors receiving meals. Droscha said they could but cautioned the non-profit status would be a question. There are 157 non-profits legally registered in 48854 zip code.

Barna stated that she will be absent at the July meeting.

**ADJOURN**

The meeting adjourned at 7:03 p.m.

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Lori Hagle, Secretary



## City of Mason Planning Commission

*Staff Report*

TO: Planning Commission  
FROM: Elizabeth A. Hude, AICP, Community Development Director  
SUBJECT: Special Use Permit and Preliminary Site Plan Review – 154 W. Maple Street  
DATE: July 6, 2018

Brian Brady, Red Oak Holdings, LLC has submitted a request for a special use permit and preliminary site plan approval for new construction of a 24,287 sq. ft., three-story, mixed-use building to include mercantile, business and single-family residential, on property located at 154 W. Maple Street, parcel 33-19-10-08-233-021, City of Mason, Ingham Co. The proposal calls for the existing structure, which has been vacant for many years, to be demolished. This is shown on plans as follows:

- Sheets 1-4, prepared by Keba, Inc., dated May 11, 2018 and last revised on May 25, 2018
- Sheets A-101-103 and A-301-302, prepared by Studio Intrigue Architects, LLC, dated April 27, 2018 and last revised on May 25, 2018.

### LAND USE AND ZONING

The development is proposed on a parcel zoned C-1 (Central Business District). Section 94-222 states that any use permitted in this district requires site plan review and Section 94-141(7) states that any use permitted in the district involving one or more structures that occupy, either individually or collectively, more than 15,000 square feet of gross floor area requires a Special Use Permit. Section 94-191(e) states that a preliminary site plan must be submitted with the application for a Special Use Permit.

The site fronts on West Maple Street and is also within the boundaries of both the Historic District and the Downtown Development Authority. The surrounding land uses and zoning are as follows:

|       | Current Land Use | Zoning                          | Future Land Use |
|-------|------------------|---------------------------------|-----------------|
| North | Residential      | O-1 (Office District)           | Residential     |
| East  | Commercial       | C-1 (Central Business District) | Commercial      |
| South | Commercial       | C-1 (Central Business District) | Commercial      |
| West  | Commercial       | C-1 (Central Business District) | Commercial      |

The application was submitted to the Historic District Commission (HDC) as required by the City's Ordinance, Chapter 31 Historic Preservation. The HDC reviewed the proposal and approved a certificate of appropriateness at their meeting on June 18, 2018.

## **REVIEW OF SUBMITTAL**

All applications for preliminary site plan review and approval shall comply with the basic required submittal standards of subsection 94-225(d)(1). The additional required submittal standards of subsection 94-225(d)(2) shall be satisfied by any application for preliminary site plan review and approval involving the following uses of land or structures. The planning commission may require that supplemental information and analysis be submitted as part of any application for preliminary site plan review and approval if such information is deemed necessary to demonstrate compliance with the requirements of Chapter 94 Zoning. The costs for such supplemental analysis and information shall be incurred by the applicant. Supplemental information may include the items listed in section 94-225(d)(2).

Table 1: Submittal Standards

| <b>Ordinance</b>  | <b>Status</b> | <b>Note</b>   |
|---|---------------|---|
| §94-225(d)(1) Basic required submittal standards                    | I             | <p>§94-225(d)(1)g. Statement of facts (SOF)... It appears the SOF is listed as Site Data on sheet 1 of 4. The information provided is incomplete as it does not address lot width, building height, minimum floor area per dwelling unit, and parking; however, a supplemental document was provided detailing the number of required and proposed parking spaces.</p> <p>§94-225(d)(1)h.11 Location and screening of refuse facilities - A refuse chute in the private garage is noted on sheet A-101 – staff recommends the applicant clarify how refuse will be managed on-site for all uses in the building and if the requirements of §94-173(b) Solid Waste Disposal will be met.</p> |
| §94-225(d)(2) Additional required submittal standards               | I             | <p>§94-225(d)(2)b – Zoning of property within 500 feet of the subject property</p> <p>§94-225(d)(2)c – Vicinity Map items 4-6 and 8; a location map does provide the location of the subject property and street names sufficient to determine its relationship to the surrounding area.</p> <p>§94-225(d)(2)f – Construction schedule: Staff recommends that the applicant provide a construction schedule and management plan for maintaining traffic and mitigating impacts to businesses in the area.</p> <p>§94-225(d)(2)g – A detailed cost estimate has not been provided.</p>   |
| §94-225(d)(3) Supplemental analysis and information.                | TBD           |   |
| *M = Meets requirements; I = Information Needed; R = Recommendation |               |   |

## **Height, Bulk, Density, and Area Requirements**

Overall the plan appears to meet the building height, setbacks and lot coverage site development standards listed in Section 94-121(c) and Tables 100-1 and 100-2 with the following exception:

- It appears a portion of the building exceeds the 45' height limit. It does not appear to qualify as an exception per §94-175 Supplemental height regulations.

## **Circulation, Loading and Off-Street Parking**

### ***Circulation***

The proposed building is adequately served by infrastructure that supports the safe and orderly circulation of motorized and non-motorized traffic - it fronts onto a four lane public right of way supporting two lanes for bi-directional traffic, two lanes of on-street parking and a sidewalk. CATA route #46 is available one block east on Jefferson St.

### ***Loading***

*There shall be no requirement of loading or unloading space in the C-1 district for property with direct access to an alley. (§94-293(c))*

The site currently has direct access to an alley and therefore is exempt from the loading space requirement.

### ***Off-Street Parking***

*§94-292(h)(1) Uses in the C-1 district states that there shall be no off-street parking space requirements in the C-1 district for those uses which require 20 or less off-street parking spaces. Uses requiring more than 20 off-street parking spaces shall have their parking requirement determined by the planning commission. In making such a decision, the planning commission shall consider the availability of both public and private parking spaces.*

Based upon the requirements of Table 100-5 Parking space requirements, 54 parking spaces are required to support the uses in the development, three of which are to be barrier free. This is detailed in the parking calculation (Table 1) below. The applicant is providing four private parking spaces dedicated to the residence on the third floor. Tenants are yet to be determined for the first and second floors, therefore, parking space requirements are an estimate based upon the intended uses.

Staff finds that there appears to be sufficient parking available in the surrounding public lots and on-street spaces to accommodate the proposed uses and recommends that the planning commission modify the number of required spaces to 24 based upon the following facts:

- 1) Figure 1 displays five public parking lots within a two-block radius of the site (roughly 780 feet) as well as the on-street parking, providing over 618 public parking spaces. There are four barrier-free spaces within 300 feet of the site. The city has three active parking permits, one per car, to allow over-night parking in the public lots (residential use). Those spaces will likely be vacant during the day as peak hour use for residential is typically the opposite of traditional peak hours for retail and office.
- 2) There are an estimated 250 +/- private parking spaces dedicated to businesses downtown.
- 3) A parking study was completed as part of a 2009 Downtown Marketing Analysis by McKenna Associates. Based on their recommendation, a calculation of 3.23 for 1,000 sq. ft. of useable floor area would require a total of 29 parking spaces to support the office and retail uses. This is 23 parking spaces less than what would be required under the City's current parking requirements. The study states that based upon the total building floor area in downtown, which would take into consideration the existing site, demand is for 380 spaces total. Factoring in the available private parking lots associated with many of the buildings, this results in a parking surplus of approximately 240% +/- in downtown Mason.



As the applicant is providing four spaces on-site for the residential use, the remaining 20 spaces required meet the threshold for the allowable limit for which the applicant is exempt from the requirement to provide on-site parking spaces.

Table 2: Parking Calculation

| Use   | UFA<br>(per applicant) | Parking/UFA   | Customer<br>Parking Req.               | Customer<br>Parking Proposed   | Peak Hour<br>Use |
|---|------------------------|---------------|--|--|------------------|
| First Floor<br>General Retail   | 3,653.6 SF             | 1:150 sq. ft. | 25                                     | 0  | 9a-6p M-Su       |
| Second Floor<br>Office  | 5,352.48 SF            | 1:200 sq. ft  | 27                                     | 0  | 8a-5p M-F        |
| Third Floor<br>Residential  | na                     | na            | 2                                      | 4  | na               |
| Total   |                        |               | 54                                     | 4  |                  |
| Allowance for uses in the C-1 District                                      |                        |               | 20                                     |  |                  |
| Balance – parking spaces required on-site                                   |                        |               | 30                                     |  |                  |
| Barrier-free spaces required  |                        |               | 3                                      |  |                  |
| 2009 McKenna Analysis, 3.23 per 1,000 s.f.<br>applied to Office-Retail uses |                        |               | 29                                     | 0  |                  |
| Staff recommendation  |                        |               | 4 - Residential<br>20 - Office/ Retail | 4 – Residential on-site<br>20 – Offsite public parking<br>including 3 on-street<br>barrier free spaces |                  |
| UFA = Useable Floor Area  |                        |               |  |  |                  |

Figure 1: Map of Public Parking Lots



### ***Landscaping***

A landscape buffer is not required for uses in the C-1 district as shown in Table 100-4. Landscape Buffer Classification Matrix.

### ***Signs***

Signs are depicted on the elevation drawings. They will be evaluated further as part of the building permit review for compliance with the requirements of Chapter 58 of the Zoning Ordinance, including Division 2 of said chapter.

### ***Site Lighting***

No lighting on or near the building is indicated on the plan except for the public street lights. Staff recommends the applicant confirm if lighting will be installed. Staff would also like clarification on the landlord's policy regarding tenant lighting during hours when those uses are closed. Will lights be on inside 24/7?

### ***Construction Schedule***

To be determined.

## **PUBLIC SERVICES AND FACILITIES**

### ***Water and Sanitary Sewer***

The site is currently served with water and sanitary sewer. Lead sizes shall be noted on the construction plans per the City Engineer's comments, letter dated June 26, 2018.

### ***Storm Water Management***

There appears to be no change in impervious lot coverage between the existing site and the proposed development. Therefore, storm water runoff remains unchanged. See City Engineer's comments, letter dated June 26, 2018

## **AGENCY COMMENTS**

|                                  |   |
|----------------------------------|---|
| Police                           | No comments or concerns at this time.   |
| Fire                             | No comments or concerns at this time.   |
| City Engineer/DPW                | See letter dated June 26, 2018  |
| Ingham County Drain Commissioner | See letter dated June 14, 2018  |
| Historic District Commission     | The HDC reviewed the proposal and approved a Certificate of Appropriateness on June 18, 2018. |

## **SPECIAL PERMIT BASIS OF DETERMINATION**

In accordance with Special Use Permit: Chapter 94, Article VI, Sec. 94-191(f) Basis of determination.

d) Review and decision. The planning commission may approve, approve with conditions, or deny an application for special use permit.

Sec. 94-191(f) Basis of determination. Before approving a special use permit, the planning commission shall find by clear and convincing proof that the applicable standards set forth by this chapter shall be satisfied by the completion and operation of the proposed development. The planning commission shall review the particular circumstances and facts of each proposed use in terms of these standards and shall make written findings showing that such use shall:

- (1) *Be designed, constructed, operated, and maintained so as to be harmonious and appropriate in appearance with the existing or intended character of the general vicinity and that such a use will not change the essential character of adjacent property or the zoning district in which it is proposed. The Historic District Commission issued a Certificate of Appropriateness on June 18, 2018 which serves as a finding of fact that the development will meet this criterion.*
- (2) *Not be hazardous or disturbing to uses in the same general vicinity and will be a substantial improvement to property in the immediate vicinity and to the community as a whole. Once complete, the development will be a substantial improvement to the area as the current building is vacant, and the architecture is considered 'non-contributing' to the historic nature of the district. A maintenance of traffic/business plan will need to be implemented during construction to minimize hazardous conditions and disturbances to surrounding uses.*
- (3) *Be served adequately by essential facilities and services, such as highways, streets, police and fire protection, drainage structures, refuse disposal, water and sewage facilities, and schools. The site is currently served with essential facilities and services. Staff recommends the applicant clarify how refuse for all uses will be managed on-site.*
- (4) *Not create additional requirements at public cost for public facilities and services. The development will be privately financed. The developer is working with the City to explore grants and programs to support improvements to the public alley to the north which would include the burying of utilities underground.*
- (5) *Not involve uses, activities, processes, materials, and equipment or conditions of operation that will be detrimental to any person, property, or the general welfare by noise, fumes, glare, or odors. The proposed uses in the development appear to be consistent with uses allowed by right in the C-1 zoning district and comply with this criterion. Clarification on security lighting inside the building is recommended to ensure light during the evening hours does not impact residences across the street and adjacent properties.*
- (6) *Not be located such that it will directly or indirectly have a substantial adverse impact on the natural resources of this city. There appear to be no substantial adverse impacts. The development will be reviewed further for compliance with pretreatment standards for storm water discharge into the Sycamore Creek.*
- (7) *Be in compliance with other applicable local, county, state, or federal rules and regulations. The proposal is currently not in compliance with the local ordinance for height. The applicant will need to seek permits or waivers from the Ingham County Drain Commission and recommends consulting with the Federal Aviation Administration on any required permits or waivers due to the proximity to the airport.*

#### **SITE PLAN REVIEW STANDARDS**

In reviewing an application for site plan review and approval the following standards of Sec. 94-227 shall apply:

- (1) *The site shall be developed so that all elements shall be harmoniously and efficiently organized in relation to the size, shape, type and topography of the site and surrounding property. The Historic District Commission issued a Certificate of Appropriateness on June 18, 2018 which serves as a finding of fact that the development will meet this criterion.*
- (2) *The site shall be developed so as not to impede the normal and orderly development, improvement, and use of surrounding property for uses permitted in this chapter. Once complete, the development will be a substantial improvement to the area and meet this criterion. A maintenance of traffic/business plan will need to be implemented during construction to maintain normal and orderly use for surrounding properties.*

- (3) *All buildings or groups of buildings shall be arranged to permit emergency vehicle access by some practical means to all sites. The building fronts on Maple Street, a public right of way, and is also accessible via the public alley to the north. Police and Fire departments have expressed no concerns.*
- (4) *Every structure or dwelling unit shall have direct access to a public street or indirect access to a public street via an approved dedicated private street. The building fronts on Maple Street, a public right of way.*
- (5) *Appropriate measures shall be taken to ensure that the addition or removal of surface waters will not adversely affect neighboring properties that controls are in place to minimize sedimentation and erosion, and that topographic alterations are minimized to accommodate storm water management. The proposed storm water management plan is consistent with its current use and appears to meet this criterion. (Letter dated June 26, 2018)*
- (6) *Provisions shall be made for the construction of storm sewer facilities including grading, gutters, piping, on-site storage, and treatment of turf as required to handle storm water and prevent erosion. The proposed storm water management plan is consistent with its current use and appears to meet this criterion.*
- (7) *Secondary containment for above ground areas where hazardous substances are stored or used shall be provided as required by the city fire chief. No hazardous substances appear to be stored or used by this development. The Fire Chief did not express concerns.*
- (8) *Exterior lighting shall be designed and located so that the source of illumination is directed away from adjacent properties, the intensity of lighting is the minimum necessary, and the direction of lighting is downward as much as is possible and appropriate for the project. No external lighting appears to be proposed. Confirmation of night time illumination from within the building is recommended prior to approval.*
- (9) *All loading and unloading areas, outside storage areas, and refuse receptacles shall be screened from casual view from the public rights-of-way and adjoining land uses. The development has access to an alley and therefore no loading area is required. Refuse for private residential use appears to be contained inside the private garage. It is not clear how refuse will be managed on-site for the remaining uses. Staff recommends clarification prior to approval.*
- (10) *Site plans shall meet the driveway, traffic safety, and parking standards of the city in such manner as necessary to address the following:*
  - a. *Safe and efficient vehicular and non-vehicular circulation, including parking areas, non-motorized linkages to abutting parcels, uses, sidewalks, and trails.*
  - b. *Shared driveways and service drives.*
  - c. *Adequate and properly located utilities.*

The site is served with existing infrastructure to support circulation, traffic safety, utilities and parking.

- (11) *Provisions shall be made for proposed common areas and public features to be reasonably maintained. The site plan shows the demolition and restoration plan for areas of the public sidewalk and alley which appear to meet this criterion.*
- (12) *The site plan submittal shall demonstrate compliance with all applicable requirements of this chapter, chapters 58 and 74, the building code, and county, state, and federal law.*

The proposal is currently not in compliance with the local ordinance for height. The applicant will need to seek permits or waivers from the Ingham County Drain Commission and recommends consulting with the Federal Aviation Administration on any required permits or waivers due to the proximity to the airport.

**STAFF RECOMMENDATION:**

The concurring vote of a majority of the members appointed to and serving on the planning commission shall be necessary to approve a special use permit.

The following motions are offered for consideration:

**OPTION 1 - APPROVE WITH CONDITIONS**

Motion to approve Resolution 2018-10 for Special Use Permit and Preliminary Site Plan Review for 154 W. Maple Street with the following conditions:

A final site plan shall be submitted to the Planning Commission which satisfies the applicable standards for approval including:

1. Revised drawings showing the building height not to exceed 45', and
2. To Address comments provided by the City Engineer, and
3. To provide additional information to address comments noted in the staff report dated July 6, 2018.
4. Other (To be specified: Other additional information based on the public hearing as determined necessary by the Planning Commission in order to make an informed decision and confirm the application meets the requirements of the zoning ordinance.)

**OPTION 2 - DEFER DECISION TO FUTURE MEETING**

Motion to table the application for Special Use Permit and Preliminary Site Plan Review for 154 W. Maple Street until (specify date/meeting) in order to obtain/allow for:

1. Revised drawings showing the building height not to exceed 45', and
2. To Address comments provided by the City Engineer, and
3. To provide additional information to address comments noted in the staff report dated July 6, 2018.
4. *Other (To be specified: Other additional information based on the public hearing as determined necessary by the Planning Commission in order to make an informed decision and confirm the application meets the requirements of the zoning ordinance.)*

**Attachments:**

1. Resolution
2. Application
3. Site Plan
4. Agency emails/letters
5. City of Mason Downtown Marketing Analysis, pages – Parking Inventory, 5, and 36

Introduced:  
Second:

**CITY OF MASON  
PLANNING COMMISSION RESOLUTION No. 2018-10**

**APPROVE SPECIAL USE PERMIT AND PRELIMINARY SITE PLAN REVIEW TO  
CONSTRUCT A 24,287 SQ. FT., THREE-STORY, MIXED-USE BUILDING TO  
INCLUDE MERCANTILE, BUSINESS AND SINGLE-FAMILY RESIDENTIAL, ON  
PROPERTY LOCATED AT 154 W. MAPLE STREET IN THE CITY OF MASON  
July 10, 2018**

**WHEREAS**, a request has been received from Brian Brady, Red Oak Holdings, LLC for a special use permit and preliminary site plan approval for new construction of a 24,287 sq. ft., three-story, mixed-use building to include mercantile, business and single-family residential, on property located at 154 W. Maple Street in the City of Mason; and

**WHEREAS**, the proposal was shown on plans submitted May 29, 2018:

- Sheets 1-4, prepared by Kebs, Inc., dated May 11, 2018 and last revised on May 25, 2018
- Sheets A-101-103 and A-301-302, prepared by Studio Intrigue Architects, LLC, dated April 27, 2018 and last revised on May 25, 2018; and

**WHEREAS**, the subject property is further described as Parcel number 33-19-10-08-233-021: E 22 FT OF LOT 7 & W 3/4 OF LOT 8 EXC E 5 1/2 FT THEREOF, BLOCK 7, SEC 8 T2N R1W CITY OF MASON, INGHAM CO; and

**WHEREAS**, the parcel is zoned C-1 (Central Business District); and

**WHEREAS**, Section 94-222 states that any use within the C-1 zoning district requires site plan review; and

**WHEREAS**, Section 94-141. C1 Central Business District (d) Uses authorized by special use permit. paragraph 7 indicates that any use permitted in the district involving one or more structures that occupy, either individually or collectively, more than 15,000 square feet of gross floor area requires a Special Use Permit; and

**WHEREAS**, the Planning Commission accepts the staff report dated July 6, 2018 as findings of fact that, with the conditions listed herein, the plans will comply with the Special Use Permit Submittal Standards of Section 94-225, the Basis for Determination listed in Section 94-191(f), and Site Plan Review Standards listed in Section 94-227 of the Mason Code; and

**WHEREAS**, approval is granted with the following conditions:

A final site plan shall be submitted to the Planning Commission which satisfies the applicable standards for approval including:

1. Revised drawings showing the building height not to exceed 45', and
2. To Address comments provided by the City Engineer, and
3. To provide additional information to address comments noted in the staff report dated July 6, 2018.

**NOW THEREFORE BE IT BE RESOLVED**, that the Mason Planning Commission does hereby approve a Special Use Permit and Preliminary Site Plan review to construct a 24,287 sq. ft., three-story, mixed-use building to include mercantile, business and single-family residential, on property located at 154 W. Maple Street, based on the plans received on May 29, 2018.

Yes (0)

No (0)

Absent (0)

Vacant (0)

**CLERK'S CERTIFICATION:** I hereby certify that the foregoing is a true and accurate copy of a resolution adopted by the Planning Commission at its regular meeting held Tuesday, July 10, 2018, the original of which is part of the Planning Commission minutes.

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Sarah J. Jarvis, Clerk  
City of Mason  
Ingham County, Michigan



# Patrick E. Lindemann

## Ingham County Drain Commissioner

PO Box 220  
707 Buhl Avenue  
Mason, MI 48854-0220

Phone: (517) 676-8395

Fax: (517) 676-8364

<http://dr.ingham.org>



Cara Florence Clus  
*Deputy Drain Commissioner*

Paul C. Pratt  
*Deputy Drain Commissioner*

David C. Love  
*Chief of Engineering and Inspection*

Sheldon Lewis  
*Administrative Assistant*

June 14, 2018

Elizabeth Hude, Community Development Director  
Mason City Hall  
201 West Ash Street  
P.O. Box 370  
Mason, MI 48854

RE: Site Plan Review request – 154 W. Maple St.  
Conceptual Plan Review; Drain Office #18068

Dear Ms. Hude:

We are in receipt of a June 6, 2018 request by the City of Mason for site plan review for a redeveloped parcel at 154 W. Maple Street in the City of Mason. This conceptual review is offered as a courtesy to the City of Mason only and should not be construed by the project owner or others as formal submission to the Ingham County Drain Commissioner for site plan or drainage review.

The Ingham County Drain Commissioner (ICDC) offers the City of Mason the following conceptual review comments on the stormwater system for this project:

1. The lot is entirely covered by the existing building or pavement; therefore, no new stormwater issues will result from the proposed improvements.
2. The site is not located in the 100-year floodplain.
3. No County Drains are affected by this project.
4. The site is located in the City of Mason, a Phase II area, and the stormwater discharge should be held to adequate pretreatment standards to protect the receiving waters of Sycamore Creek.

We appreciate the opportunity to comment on this plan. It is an honor and a privilege to serve you and the other businesses, citizens and municipalities of Ingham County.

Sincerely,



David C. Love  
Ingham County Drain Engineer



June 26, 2018

Ms. Elizabeth A. Hude, AICP - Community Development Director  
City of Mason  
201 W. Ash Street  
Mason, MI 48854

RE: 154 W. Maple Mixed Use

Dear Ms. Hude:

We have received and reviewed the Preliminary site plan for the proposed mixed-use development at 154 W. Maple Street as prepared by Studio Intrigue Architects with a plan date of May 25, 2018. The plans as provided consisted of nine (9) sheets.

In general, the plans propose the demolition of the existing structures at 154 W. Maple and the construction of a new three-story building.

The impervious lot coverage between the exiting use and the proposed use appears to remain unchanged; therefore, storm water runoff remains unchanged. The site is currently served with water (from Maple Street) and sanitary sewer (from the alley).

We offer the following comments with the understanding these plans are preliminary in nature:

1. The pavement cross section shall be 5 inches of MDOT 13A HMA placed in two lifts (3 inches of base/leveling and 2 inches of top) over an aggregate base of 8 inches of MDOT 22A.
2. The water and sanitary sewer lead sizes shall be noted on the construction plans.

We would recommend the City consider the closing of the sidewalk along Maple Street for the duration of the project and that the pedestrians be routed to the south side of Maple Street.

From an engineering perspective we recommend the approval of the Special Use of this site for a mixed-use development.

Ms. Hude  
June 26, 2018  
Page 2 of 2

We appreciate the opportunity to offer our comments to the City on this development.

If you have any questions or additional comments, please do not hesitate to contact our office.

Sincerely,

WOLVERINE ENGINEERS & SURVEYORS, INC.

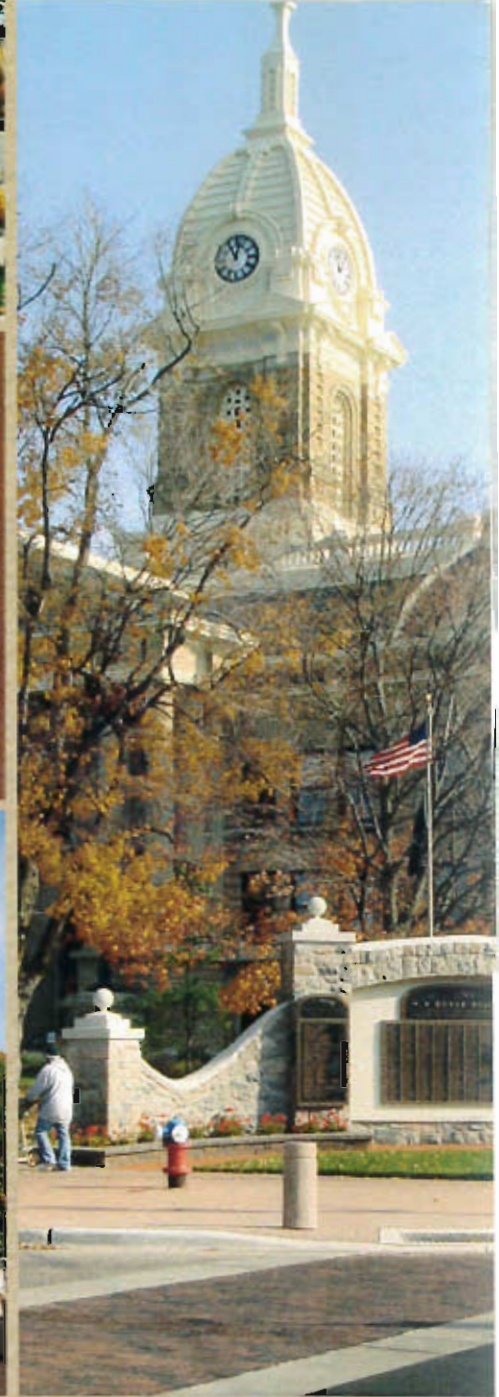


Donald B. Heck, P.E.

DBH:ood

cc: K. Baker, Public Works Director – City of Mason





CITY OF MASON  
DOWNTOWN

# MARKETING ANALYSIS



*Prepared for:*

**Mason Downtown Development  
Authority**

*April 2, 2009*

**FILE COPY**







## Parking Inventory

City of Mason, Michigan

- |  |                           |      |                                  |
|--|---------------------------|------|----------------------------------|
|  | DDA Boundary              |      | On-Street Parking                |
|  | Mixed Use Building        |      | Off-Street Parking Lot (Private) |
|  | Single Family Residential |      | Off-Street Parking Lot (Public)  |
|  | Parking Inventory Area    | (10) | Number of Available Spaces       |

0 250 500 Feet

**McKENNA**  
ASSOCIATES  
INCORPORATED



01/20/2009

## Parking Supply

Downtown contains a combination of public on-street and off-street parking areas and private off-street parking areas.

McKenna Associates inventoried parking supply in the downtown area thru digital reconnaissance and a site survey. The following table summarizes the results of that inventory:

Table 1. Approximate Parking Supply

| Type of Parking           | Supply            |
|---------------------------|-------------------|
| Public Off-Street Spaces  | 287 spaces        |
| On-Street Spaces          | 331 spaces        |
| Private Off-Street Spaces | 296 spaces        |
| <b>TOTAL:</b>             | <b>914 spaces</b> |

The number of parking spaces that are available is an approximate number. Also, some private parking lots allow opportunistic parking where individual spaces are not marked, but where patrons can park wherever there is space. We have estimated the maximum parking possible in these lots.

## Parking Demand

In order to estimate parking demand, we determined the total building area available within the Courthouse Square area boundaries as defined on the attached map. We calculated building area for each of the four quadrants of the DDA area, with Ingham Court and South Jefferson streets being the dividers between quadrants.

As noted above, we estimate that a reasonable parking demand for downtown Mason is one space per 500 sq. ft. of gross building area. In order to estimate parking demand in downtown, we divided the gross building area by 500.

Our parking demand estimate is as follows:

Table 2. Estimated Parking Demand

| Quadrant      | Building Floor Area    | Parking Demand    |
|---------------|------------------------|-------------------|
| NW            | 57,000 sq. ft.         | 114 spaces        |
| NE            | 37,000sq. ft.          | 74 spaces         |
| SE            | 77,000 sq. ft.         | 154 spaces        |
| SW            | 19,000 sq. ft.         | 38 spaces         |
| <b>TOTAL:</b> | <b>190,000 sq. ft.</b> | <b>380 spaces</b> |

Tables 1 and 2 indicate that there is a parking surplus in the downtown area. Public Parking supply is approximately 163% (240% with the addition of Private Parking) of estimated demand indicating the downtown area is over-parked. A 15% surplus is

reasonable to accommodate periods of peak parking demand.

## Parking Balance by Quadrant

The location of parking spaces is almost as important as the quantity available in the downtown area. Mason seems to have a balance of parking in each of the quadrants. What most likely contributes to the perceived lack of parking in the area is the disjointed off-street parking lot configurations and lack of directional signage.

The following table breaks down parking demand and supply by quadrant. Where on-street spaces are located along a dividing street, we allocated each bordering quadrant half of the on-street spaces.

The quadrant analysis recognizes that patrons of downtown businesses will want to park such that they do not have to cross Jefferson, Maple or Ash. In a downtown of Mason's size, having to cross one of these major streets or walk further than a block is perceived as an inconvenience.

Table 3. Parking Gap

| Quadrant | Demand     | Supply     | Gap       |
|----------|------------|------------|-----------|
| NW       | 114 spaces | 229 spaces | 0 spaces  |
| NE       | 74 spaces  | 254 spaces | 0 spaces  |
| SE       | 154 spaces | 101 spaces | 53 spaces |
| SW       | 38 spaces  | 307 spaces | 0 spaces  |

Table 3 indicates that the NW, NE and SW quadrants contain ample parking, while the SE quadrant has a supply gap.

## Parking Conclusions

Conclusions by quadrant:

The NW quadrant contains a significant oversupply of parking. This oversupply supports the idea that this quadrant would be a perfect location for additional signature buildings at the intersection of State and Maple.

The NE quadrant contains more than ample off-street parking; however, that parking is disjointed and awkward. Additionally, the block has no penetration point thru to the street, making the parking less accessible.

Although the SE quadrant contains inadequate parking counts for the current estimated square footage, the availability of parking in the SW quadrant should support it if improvements in connectivity were made.

The website should be used as a tool to keep merchants, shoppers and visitors up-to-date about the latest events and happenings in downtown Mason. One option is to include an events calendar that gives website viewers a glimpse of events that are to come. These event names can include links for viewers to find out more details about the event.

Another option is a “news” page which is frequently updated with the latest news and events from downtown Mason. This may include profiles of new businesses that have recently opened, new development plans that are in the works, grants or awards the City has received, or other noteworthy news that is relevant to the downtown. The website should provide maps and guides to visitors as well as inviting photographs of events and activities. Maps of business locations, public parking lots, and other attractions should be included to help visitors navigate to and through the downtown.

Photographs help visitors visualize the downtown. Capturing the right settings in a picture can provide a powerful visual appeal to attract visitors and local shoppers alike.

Finally, the website should also include links to all other websites of community groups and institutions, including the City Chamber. This type of guidance and cross-marketing can better inform website visitors of the community amenities Mason has to offer.

## PLANNING: ADMINISTRATION, SUPPORT AND REGULATION

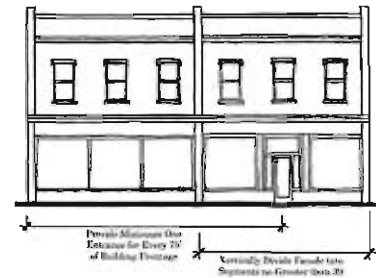
### Adopt a Form-Based Overlay District for Downtown Mason:

Conventional zoning regulates development based primarily on a building’s use. Form-based code allows a greater flexibility in use while focusing more on what the building looks like, how it affects the pedestrian experience, and how it relates to the rest of the district.

Form-based code is a cutting-edge and most effective tool for downtown redevelopment. The greatest strength of this form of regulation is that property owners have the flexibility to attract different types of tenants based on economic conditions. Form-based code allows the market to define the highest and best use of the space.

Another benefit of form-based code is that it limits the amount of special use applications and unnecessary

planning commission review of new business. Finally, the greatest benefit of form-based coding is that new development and building improvements must be done to meet the design guidelines established in the code. This ensures that buildings enhance the character of Mason, improve the pedestrian experience and preserve the historic integrity of the district.



The form-based code also needs to emphasize mixed-use buildings (i.e. buildings with retail on the ground floor and residential or office on the floors above, for example). It is crucial to create an ordinance that creates incentives for mixed-use buildings within Downtown instead of one that creates obstacles.

The form-based code should be applied as an Overlay District to the DDA district. This will help ensure that new development meets the goals and visions of the City of Mason Master Plan.

### Revised Downtown Parking Standards:

Current City regulations demand too much parking. The requirement of 1 space per 50s.f. ufa for restaurants/taverns and 1 space per 150s.f. ufa for general retail is excessive; if the Downtown redevelops as it plans the result will be too much valuable downtown property being used for surface parking lots. Typical average downtown standards for parking are 3.23 spaces per 1,000 s.f. of floor area.

Additionally, the City should encourage employees of Downtown businesses to park in the more remote lots in the northeast and southwest corners of the Courthouse Square district. It may also be appropriate to require remote parking for employees and institute a parking management program in cooperation with the City and the Mason Police Department. Actions like these free up “opportunity parking” spaces and allow the quick trip into a shop or restaurant for patrons.





# APPLICATION – SITE PLAN REVIEW/SPECIAL USE PERMIT

## City of Mason

Planning Department • 201 W. Ash Street • Mason, MI 48854

Phone: 517/676-9155 • Fax: 517/676-1330

www.mason.mi.us

### Applicant– Please check one of the following:

☒ Preliminary Site Plan Review

☒ Final Site Plan Review

☐ Special Use Permit\*

☐ Administrative Review

\* includes Preliminary Site Plan Review

### PLANNING DEPARTMENT USE ONLY

Application Received: \_\_\_\_\_

Tax ID: \_\_\_\_\_

Fee: \_\_\_\_\_

Receipt #: \_\_\_\_\_

## I. APPLICANT INFORMATION

Name Brian Brady, Red Oak Holdings, LLC  
Organization N/A  
Address 2111 University Park Dr, Suite 650, Okemos, MI 48864  
Telephone Number 517-347-4141 Facsimile Number 517-347-4675  
Interest in Property (owner, tenant, option, etc.) Owner

**Note:** If applicant is anyone other than owner, request must be accompanied by a signed letter of authorization from the owner.

## II. PROPERTY INFORMATION

Owner Red Oak Holdings, LLC Telephone Number 517-347-4141  
Property Address 2111 University Park Dr, Suite 650, Okemos, MI 48864  
Legal Description: If in a Subdivision: Subdivision Name \_\_\_\_\_ Lot Number \_\_\_\_\_  
If Metes and Bounds (can be provided on separate sheet):  
See attached civil drawings for legal description.

### APPLICANT CERTIFICATION

By execution of this application, the person signing represents that the information provided and the accompanying documentation is, to the best of his/her knowledge, true and accurate. In addition, the person signing represents that he or she is authorized and does hereby grant a right of entry to City officials for the purpose of inspecting the premises and uses thereon to verify compliance with the terms and conditions of any Special Use Permit and/or Site Plan approval issued as a result of this application.

Signature \_\_\_\_\_

Date 5/25/18

### III. REQUEST DESCRIPTION

A. Written Description – Please use this section to describe the use or uses proposed. Attach additional pages, if necessary.

Proposed, new construction of a 3 story, mixed-use building. Uses include mercantile, business and single-family residential.

#### B. Available Services

Public Water ☒ YES ☐ NO  
Public Sanitary Sewer ☒ YES ☐ NO

Paved Road (Asphalt or Concrete) ☒ YES ☐ NO  
Public Storm Sewer ☒ YES ☐ NO

#### C. Estimate the Following - to be determined, dependent on tenants.

Traffic Generated \_\_\_\_\_ Total Employees \_\_\_\_\_ Shifts \_\_\_\_\_  
Population Increase \_\_\_\_\_ Employees in Peak Shift \_\_\_\_\_  
Hours of Operation \_\_\_\_\_ AM to \_\_\_\_\_ PM Total Bldg. Area Proposed \_\_\_\_\_  
\_\_\_\_\_ day through \_\_\_\_\_ day Parking Spaces Provided \_\_\_\_\_

#### D. Project Phasing

This project will be completed in: ☒ One Phase ☐ Multiple Phases – Total No. of Phases: \_\_\_\_\_

**Note: The phases of construction for multi-phase projects must be shown on the site plan**

### IV. APPLICATION MATERIALS

The following are checklists of items that generally must be submitted with applications for Preliminary Site Plan Review, Final Site Plan Review, and Special Use Permits. Applicants should review Articles VI and VII of Chapter 94 of the Mason Code for a complete listing of application requirements. All site plan drawings must comply with the requirements of Section 94-226(d) of the Zoning Ordinance. Incomplete applications will not be processed.

- ☒ Completed application form
- ☒ 20 copies of site plan drawings is larger than 11" x 17" (30 copies for Special Use Permits)
- ☒ 1 – 11" x 17" copy of the site plan
- ☒ Plans submitted on CD (Commercial only)
- ☒ Legal description
- ☒ Proof of ownership/owner authorization
- ☐ Construction schedule for proposed project
- ☐ Construction calculations for utilities
- ☒ Fee (see below)
- ☒ Any other information deemed necessary

10 Full  
10 11x17  
PER  
ELIZABETH  
HIDE.

to be determined

**Application Fee** – all requests must be accompanied by a fee, as established by the City Council. The fee schedule for Preliminary Site Plan Reviews, Final Site Plan Reviews, and Special Use Permits is as follows (As of October 16, 2006):

|  |           |
|--|-----------|
| <u>Administrative Reviews</u>                                      | \$70.00   |
| <u>Preliminary Site Plan Reviews</u>                               | \$200.00  |
| <u>Final Site Plan Review</u>                                      | \$100.00  |
| <u>Special Use Permits</u> (includes preliminary site plan review) | \$275.00  |
| <u>Engineering Review</u>  | \$220.00* |

\*Two-hour minimum fee for projects increasing demand on public utilities. Actual fees incurred are billed to applicant upon completion of review.



## **V. APPLICATION DEADLINES**

**Preliminary Site Plan/Special Use Permit Review** – Applications for Preliminary Site Plan Review may be submitted at any time. Complete applications must be received a minimum four (4) weeks prior to a Planning Commission meeting to be placed on the agenda. Upon receipt of a complete application, a public hearing will be scheduled for the next regularly scheduled meeting (for Special Use Permits only). The Planning Commission has the final authority to approve, approve with conditions or deny an application for Preliminary Site Plan/Special Use Permit Review. The Planning Department staff will issue a letter to the applicant advising of any changes or revisions that may be necessary prior to making application for Final Site Plan Review.

**Final Site Plan Review** – Complete applications must be received a minimum of four (4) weeks prior to a Planning Commission meeting to be placed on an agenda. The Planning Commission has the final authority to approve, approve with conditions or deny an application for Final Site Plan Review. Planning Commission meetings are held on the second Tuesday after the first Monday of every month, unless the Tuesday is a Township recognized holiday, in which case the meeting is held on the following day (Wednesday).

## **VI. STAFF REPORT**

The Planning Department Staff will prepare a report to the Planning Commission regarding an application for Preliminary Site Plan Review, Final Site Plan Review or Special Use Permit. The report will explain the request and review whether it complies with the zoning standards of the Mason Code. Staff will present the findings of that report during the Planning Commission meeting. An applicant who wishes to obtain one (1) copy of that report, at no cost, prior to the meeting must provide a written request to the Planning Department. The report is generally complete on the Friday before the meeting and can be mailed to the applicant or picked up by the applicant in the Planning Department.

**154 W MAPLE** MASON, MI 48854 (Property Address)Parcel Number: 33-19-10-08-233-021 [Click here to view local unit data for this parcel](#)

Item 1 of 1

[0 Images / 1 Sketch](#)**Property Owner: RED OAK HOLDING LLC****Summary Information**

- > Commercial/Industrial Building Summary
  - Yr Built: N/A
  - # of Buildings: 1
  - Total Sq.Ft.: 13,992
- > Property Tax information found
- > Assessed Value: \$52,330 | Taxable Value: \$52,330

Access additional record information for a small convenience fee. \*

> Additional areas of information include: *Delinquent Tax Information*[Show Purchase Options](#)

\* Additional record information is free for all homeowners, click the 'Show Purchase Options' button for more information.

**Owner and Taxpayer Information**

|              |  |                 |                       |
|--------------|--|-----------------|-----------------------|
| <b>Owner</b> | RED OAK HOLDING LLC<br>2111 UNIVERSITY PARK DR STE 650<br>OKEMOS, MI 48864 | <b>Taxpayer</b> | SEE OWNER INFORMATION |
|--------------|--|-----------------|-----------------------|

**General Information for Tax Year 2018**

|                            |                       |                                 |                           |
|----------------------------|-----------------------|---------------------------------|---------------------------|
| <b>Property Class</b>      | COMMERCIAL - IMPROVED | <b>Unit</b>                     | 33-19 CITY OF MASON       |
| <b>School District</b>     | MASON                 | <b>Assessed Value</b>           | \$52,330                  |
| <b>MAP #</b>               | 10-8D                 | <b>Taxable Value</b>            | \$52,330                  |
| <b>USER NUM IDX</b>        | 0                     | <b>State Equalized Value</b>    | \$52,330                  |
| <b>USER ALPHA 1</b>        | <i>Not Available</i>  | <b>Date of Last Name Change</b> | 10/31/2017                |
| <b>USER ALPHA 3</b>        | <i>Not Available</i>  | <b>Notes</b>                    | <i>Not Available</i>      |
| <b>Historical District</b> | <i>Not Available</i>  | <b>Census Block Group</b>       | <i>Not Available</i>      |
| <b>USER ALPHA 2</b>        | <i>Not Available</i>  | <b>Exemption</b>                | <i>No Data to Display</i> |

**Principal Residence Exemption Information****Homestead Date** *No Data to Display*

| Principal Residence Exemption | June 1st | Final    |
|-------------------------------|----------|----------|
| 2018                          | 0.0000 % | -        |
| 2017                          | 0.0000 % | 0.0000 % |

**Previous Year Information**

| Year | MBOR Assessed | Final SEV | Final Taxable |
|------|---------------|-----------|---------------|
| 2017 | \$50,000      | \$50,000  | \$50,000      |
| 2016 | \$94,710      | \$94,710  | \$79,513      |
| 2015 | \$89,170      | \$89,170  | \$79,276      |

**Land Information**

|                                |                           |   |                           |
|--------------------------------|---------------------------|---|---------------------------|
| <b>Zoning Code</b>             | C1                        | <b>Total Acres</b>                      | 0.200                     |
| <b>Land Value</b>              | \$28,344                  | <b>Land Improvements</b>                | \$170                     |
| <b>Renaissance Zone</b>        | No                        | <b>Renaissance Zone Expiration Date</b> | <i>No Data to Display</i> |
| <b>ECF Neighborhood</b>        | 225 COMMERCIAL DOWNTOWN   | <b>Mortgage Code</b>                    | <i>No Data to Display</i> |
| <b>Lot Dimensions/Comments</b> | <i>No Data to Display</i> | <b>Neighborhood Enterprise Zone</b>     | No                        |

| Lot(s)                         | Frontage | Depth                         |
|--------------------------------|----------|-------------------------------|
| No lots found.                 |          |                               |
| <b>Total Frontage: 0.00 ft</b> |          | <b>Average Depth: 0.00 ft</b> |

**Legal Description**

E 22 FT OF LOT 7 &amp; W 3/4 OF LOT 8 EXC E 5 1/2 FT THEREOF, BLOCK 7, SEC 8 T2N R1W CITY OF MASON, INGHAM CO

## Land Division Act Information

|                                   |                           |                                      |                      |
|-----------------------------------|---------------------------|--------------------------------------|----------------------|
| <b>Date of Last Split/Combine</b> | 09/02/2010                | <b>Number of Splits Left</b>         | 0                    |
| <b>Date Form Filed</b>            | <i>No Data to Display</i> | <b>Unallocated Div.s of Parent</b>   | 0                    |
| <b>Date Created</b>               | 01/01/2011                | <b>Unallocated Div.s Transferred</b> | 0                    |
| <b>Acreage of Parent</b>          | 0.00                      | <b>Rights Were Transferred</b>       | <i>Not Available</i> |
| <b>Split Number</b>               | 0                         | <b>Courtesy Split</b>                | <i>Not Available</i> |
| <b>Parent Parcel</b>              | 33-19-10-08-233-019       |                                      |                      |

## Sale History

| Sale Date  | Sale Price   | Instrument | Grantor              | Grantee             | Terms of Sale | Liber/Page  |
|------------|--------------|------------|----------------------|---------------------|---------------|-------------|
| 10/12/2017 | \$105,000.00 | WD         | 154 WEST MAPLE LLC   | RED OAK HOLDING LLC | ARMS LENGTH   | 2017-039428 |
| 06/15/2011 | \$49,500.00  | WD         | SCHAFER JACK & LINDA | 154 W MAPLE LLC     | ARMS LENGTH   | 3425 / 1244 |

## Building Information - 13992.00 sq ft Stores - Retail (Commercial)

|                              |                      |                                |                      |
|------------------------------|----------------------|--------------------------------|----------------------|
| <b>Floor Area</b>            | 13,992 sq ft         | <b>Estimated TCV</b>           | \$76,143             |
| <b>Occupancy</b>             | Stores - Retail      | <b>Class</b>                   | C                    |
| <b>Stories Above Ground</b>  | 2                    | <b>Average Story Height</b>    | 12 ft                |
| <b>Basement Wall Height</b>  | 4 ft                 | <b>Identical Units</b>         | <i>Not Available</i> |
| <b>Year Built</b>            | <i>Not Available</i> | <b>Year Remodeled</b>          | <i>Not Available</i> |
| <b>Percent Complete</b>      | 0%                   | <b>Heat</b>                    | Forced Air Furnace   |
| <b>Physical Percent Good</b> | 35%                  | <b>Functional Percent Good</b> | 45%                  |
| <b>Economic Percent Good</b> | 100%                 | <b>Effective Age</b>           | 53 yrs               |

**\*\*Disclaimer:** BS&A Software provides BS&A Online as a way for municipalities to display information online and is not responsible for the content or accuracy of the data herein. This data is provided for reference only and WITHOUT WARRANTY of any kind, expressed or inferred. Please contact your local municipality if you believe there are errors in the data.

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# 154 W. MAPLE ST. MIXED USE

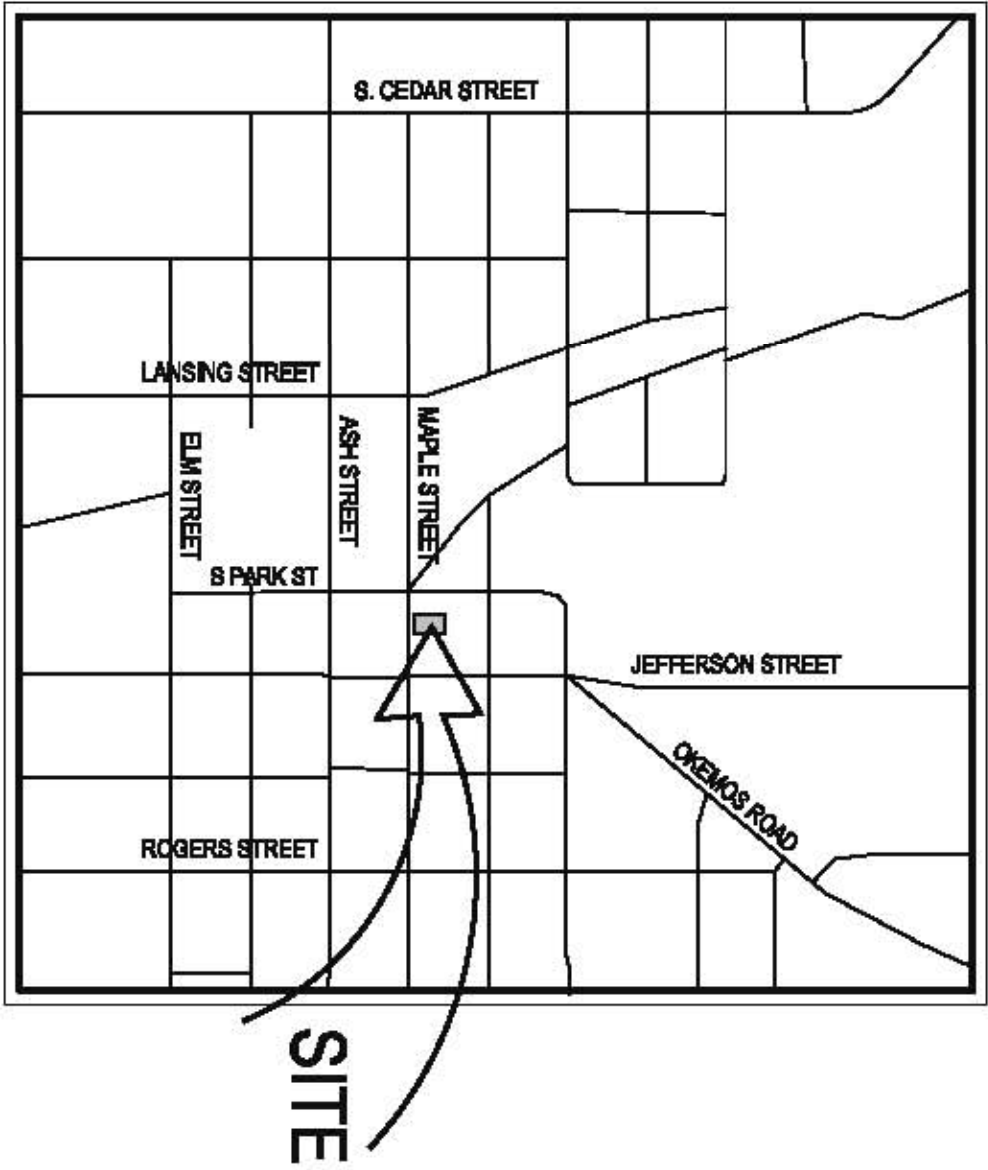
## MASON, MI 48854



PRELIMINARY RENDERING FOR ILLUSTRATIVE PURPOSES ONLY

| SHEET INDEX |  |          |
|-------------|--|----------|
| IX          | SHEET INDEX                                      |          |
| 1           | SITE AND UTILITY PLAN                            | 05/25/18 |
| 2           | STORM AND GRADING PLAN                           | 05/25/18 |
| 3           | EXISTING SURVEY PLAN                             | 05/25/18 |
| 4           | DEMOLITION PLAN                                  | 05/25/18 |
| A-101       | FIRST FLOOR PLAN / WALL TYPES                    | 05/25/18 |
| A-102       | SECOND FLOOR PLAN / DOOR SCHEDULE / DOOR DETAILS | 05/25/18 |
| A-103       | THIRD FLOOR PLAN / ROOM FINISH SCHEDULE          | 05/25/18 |
| A-301       | EXTERIOR BUILDING ELEVATIONS - NORTH AND SOUTH   | 05/25/18 |
| A-302       | EXTERIOR BUILDING ELEVATIONS - EAST AND WEST     | 05/25/18 |

| PROJECT DATA  |   |  |
|---|---|--|
| APPLICABLE CODES  |   |  |
| BUILDING CODE   | 2015 MICHIGAN BUILDING CODE   |  |
| MECHANICAL CODE   | 2015 MICHIGAN MECHANICAL CODE   |  |
| PLUMBING CODE   | 2015 MICHIGAN PLUMBING CODE   |  |
| ELECTRICAL CODE   | 2014 NATIONAL ELECTRIC CODE (WITH STATE OF MICHIGAN PART 8 AMENDMENTS)                                |  |
| ENERGY CODE   | 2015 MICHIGAN ENERGY CODE -- 2015 MICHIGAN ENERGY 90.1  |  |
| ACCESSIBILITY   | 2008 ICC/ANSI A117.1 -- 2015 MI BLDG CODE CH. 11  |  |
| GENERAL PROJECT DATA  |   |  |
| CONSTRUCTION TYPE   | II-B  |  |
| OCCUPANCY CLASSIFICATION(S)   | FIRST FLOOR: M (MERCANTILE), B (BUSINESS), U (UTILITY)  |  |
| FIRST & SECOND FLOOR ARE  | SECOND FLOOR: B (BUSINESS), U (UTILITY)   |  |
| THIRD FLOOR ARE   | THIRD FLOOR: R-3 (RESIDENTIAL) (1 UNIT)   |  |
| FIRE SUPPRESSION  | FULLY SPRINKLERED W/ NFPA 1B SYSTEM   |  |
| FIRE ALARM SYSTEM   | NOT REQUIRED  |  |
| MANUAL PULL STATIONS  | NOT REQUIRED  |  |
| SMOKE DETECTION   | REQUIRED AT R-3 USE PER NBC 907.2.1.2   |  |
| ZONING  | C-1 (CENTRAL BUSINESS DISTRICT)   |  |
| BUILDING AREA (INSIDE EXTERIOR WALLS PER CODE - NOT FOR LEASING)  |   |  |
| GROUP AREA  | FIRST FLOOR: 8,088 S.F.<br>SECOND FLOOR: 8,184 S.F.<br>THIRD FLOOR: 8,018 S.F.<br>TOTAL = 24,291 S.F. |  |
| AREA CALCULATIONS   |   |  |
| BASE TABLE AREA IN ACCORDANCE WITH 2015 NBC TABLES 504.3 (BLDG 167), 504.4 (NO. OF STORIES) AND 506.2 (FLOOR AREA)  |   |  |
| FLOOR AREA (SECOND FLOOR) = 8,184 S.F. < 25,500 S.F. BASE TABLE BUILDING IS MIXED USE, NONSEPARATED PER NBC 506.3.1 |   |  |
| U (UTILITY) - PRIVATE RESIDENT GARAGE) MOST RESTRICTIVE WITH A BASE TABLE AREA OF 25,500 S.F.)                      |   |  |
| 25,500 S.F. > 8,184 S.F. (OKAY)   |   |  |
| OCCUPANCY CALCULATIONS  |   |  |
| FIRST AND SECOND FLOOR - TO BE DETERMINED BASED ON GROUP OCCUPANCY  |   |  |
| THIRD FLOOR (GROUP R-3 OCCUPANCY)   | 8,018 S.F. (GROUP) S.F.   |  |
| GROUP R-3 FLOOR AREA  | 200 (GROUP) S.F. / OCCUPANT   |  |
| TABLE LOOKUP  | 8,018 (GROUP) S.F. / 200 = 40 OCCUPANTS   |  |
| USE OCCUPANT LOAD:  |   |  |



LOCATION MAP

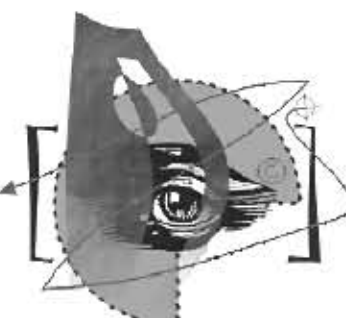
NOT TO SCALE

DESIGN DEV. PACKAGE  
SITE PLAN REVIEW

04/27/18  
05/25/18

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studio  
[intrigue]  
ARCHITECTS  
114 S. WASHINGTON AVE. \* SUITE 100 \* LANSING \* MICHIGAN \* 48202  
577.372.8804 PHONE \* 577.372.8805 FAX \* WWW.STUDIOINTRIGUE.COM



Project Type  
NEW  
CONSTRUCTION

Project

W. MAPLE ST.  
MIXED USE

154 W. MAPLE ST  
MASON, MI 48854

Client

RED OAK  
HOLDINGS  
2111 UNIVERSITY  
PARK DRIVE

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Project Number

17.208

Sheet

IX

**APPLICANT**  
**BRIAN BRADY**  
**RED OAK HOLDINGS, LLC**  
517-347-4141 PHONE  
BRADY@NORTHWESTBROADCASTING.COM

**STUDIO [INTRIGUE] ARCHITECTS, LLC**  
**KENNETH L. JONES, II, AIA, NCARB**  
LICENSE # 1301054003 (EXP. 10/31/19)  
1114 S. WASHINGTON AVE., #100  
LANSING, MI 48202  
517-372-8804 PHONE  
517-372-8805 FAX  
KEN@STUDIOINTRIGUE.COM

**CIVIL ENGINEER**  
**KEBS INC.**  
2116 HASLETT RD.  
HASLETT, MI 48840  
517-339-1014 PHONE

NOT FOR CONSTRUCTION

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154 W. Maple  
CITY OF MASON, INGHAM COUNTY, MICHIGAN

## SITE DATA

PROPOSED MIXED USE BUILDING  
EXISTING USE: MIXED USE BUILDING  
TOTAL SITE AREA = 0.20 ACRES  
ZONING: C-1 (CENTRAL BUSINESS DISTRICT)  
ADJACENT ZONING: C-1

## BUILDING SETBACKS

|         |        |
|---------|--------|
| FRONT - | 0 FEET |
| SIDES - | 0 FEET |
| REAR -  | 0 FEET |

## BUILDING/UNIT DATA

SEE ARCHITECTURAL PLANS FOR FLOOR INFORMATION

## PARKING

DOWNTOWN AREA, NONE PROVIDED ON-SITE

## UTILITIES

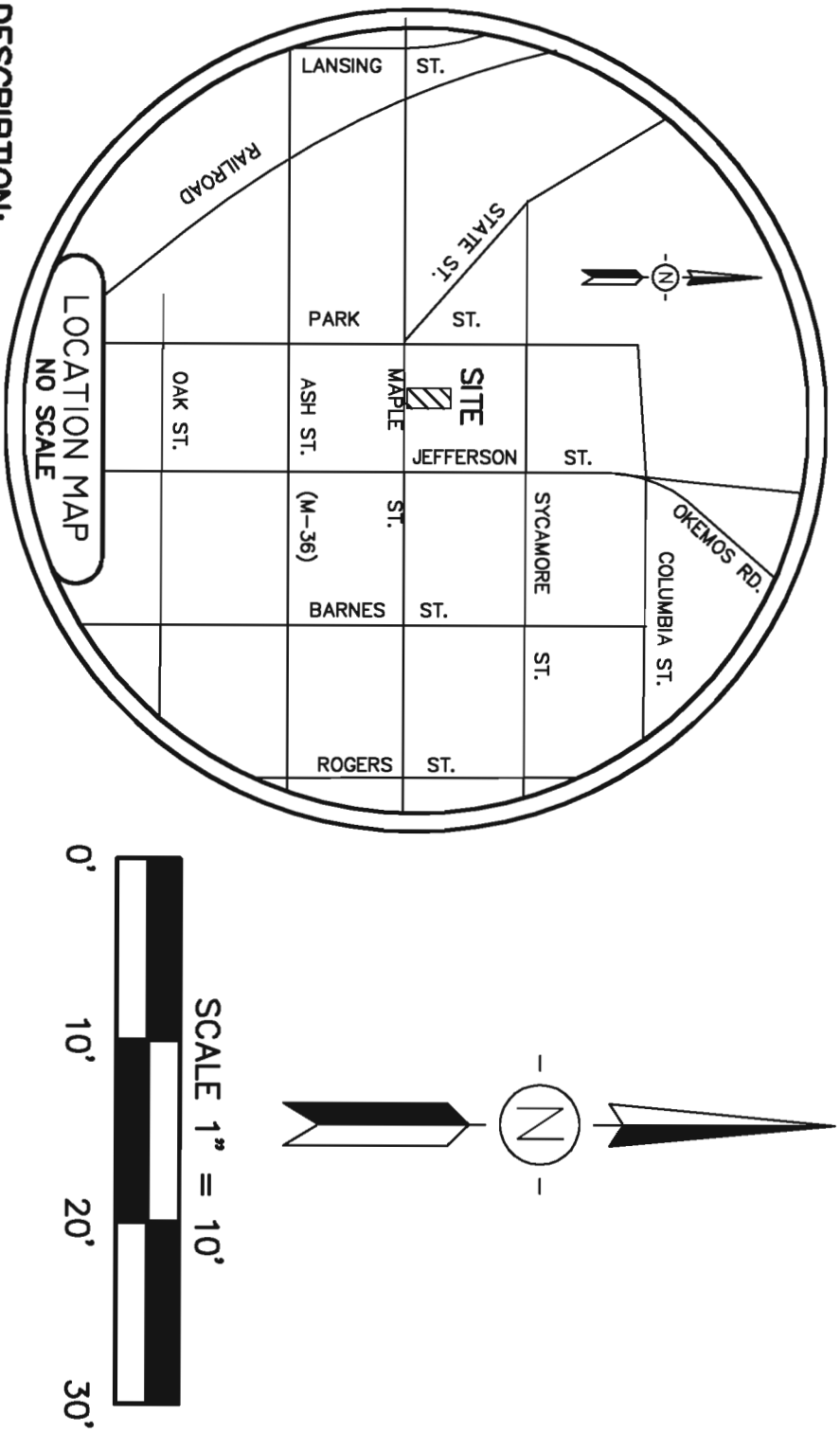
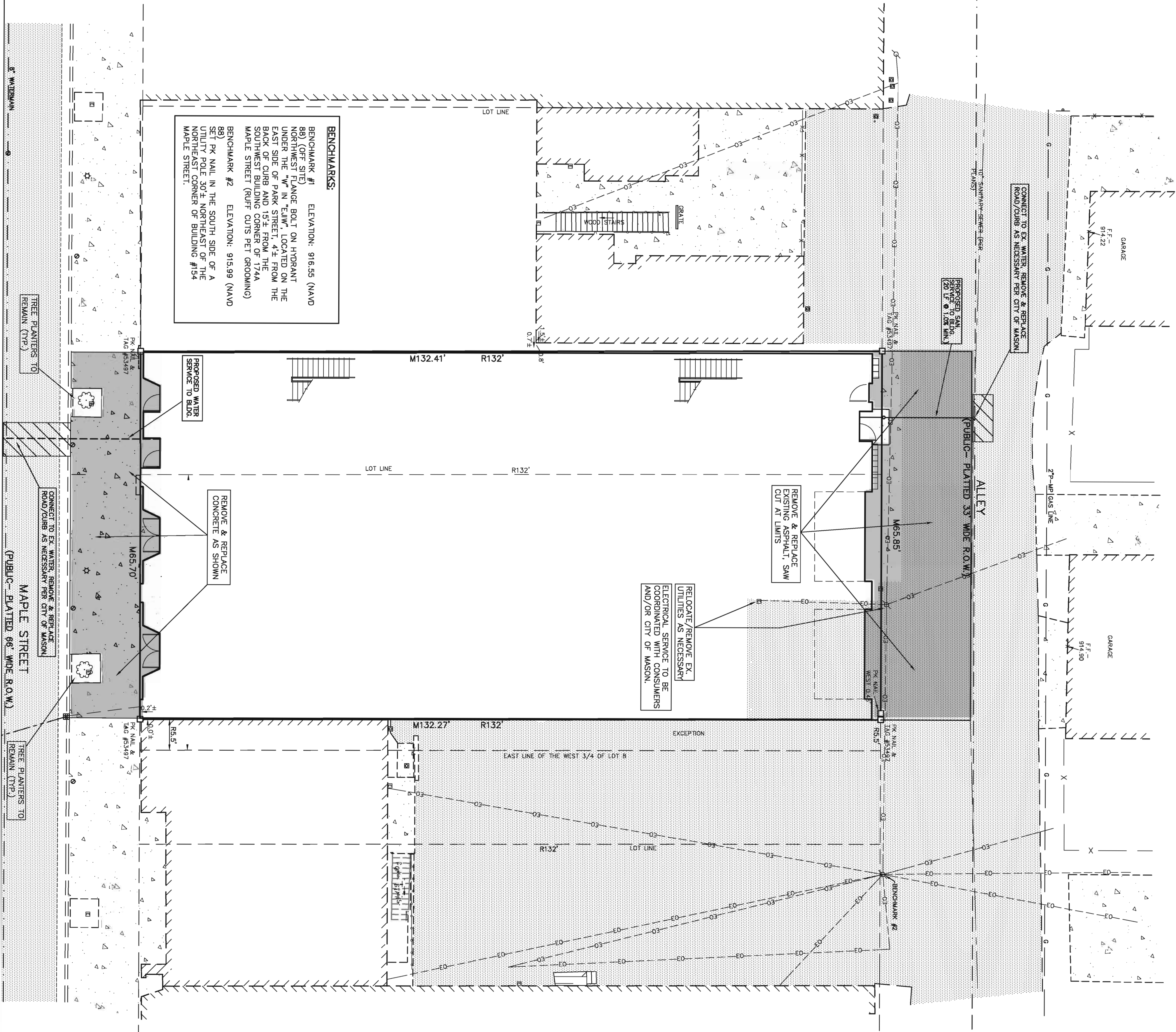
**WATER:**

**SANITARY:**

STORM:

## NOTES

- LOCATE UTILITIES PRIOR TO INSTALLATION (COORDINATE W/ ENGINEER)
- AS-BUILT UTILITY LOCATIONS & ELEVATIONS MUST BE DELIVERED TO THE CITY ENGINEER UPON COMPLETION OF THE PROJECT



**LEGAL DESCRIPTION:**

(As provided):  
The East 22 feet of Lot 7 and the West 3/4 of Lot 8, excluding the East 5.5 feet thereof, Block 7, Original Plat of City of Mason, Ingham County, Michigan, according to the recorded plat thereof, as recorded in Liber 37 of Deeds, Page 234, Ingham County Records.

|  |   |   |
|--|---|---|
| <b>APPLICANT:</b>  | <b>ARCHITECT:</b>   | <b>ENGINEER/SURVEYOR:</b>   |
| Red Oak Holdings, LLC<br>211 UNIVERSITY PARK DR.<br>DALLAS, TX 75261<br>OFFICE: 914-8864 | Studio Intrigue Architects<br>1115 S. WASHINGTON AVE., STE 100<br>DALLAS, TX 75201-6449<br>PHONE: 972-339-3806<br>FAX: (972) 372-9806 | KESS, Inc.<br>2100 HASTLEY RD.<br>HASTLEY, TX 48840<br>PHONE: 972-339-3847<br>FAX: (972) 339-3847 |

### EX. LEGEND

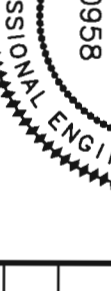
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|--|------------------------------|--|-------------------------|
|  | = SET 1/2" BAR WITH CAP      |  | = SANITARY MANHOLE      |
|  | = FOUND IRON AS NOTED        |  | = DRAINAGE MANHOLE      |
|  | = DEAD LINE                  |  | = ELECTRIC MANHOLE      |
|  | = DISTANCE NOT TO SCALE      |  | = TELEPHONE MANHOLE     |
|  | = FENCE                      |  | = CATCHASIN             |
|  | = ASPHALT                    |  | = SANITARY CLEANOUT     |
|  | = CONCRETE                   |  | = FIRE HYDRANT          |
|  | = GRAVEL                     |  | = VALVE                 |
|  | = EXISTING SPOT ELEVATION    |  | = UTILITY POLE          |
|  | = EXISTING CONTOUR ELEVATION |  | = LIGHT POLE            |
|  | = SANITARY SINKER            |  | = GUT POLE              |
|  | = STORM SINKER               |  | = GUT WIRE              |
|  | = WATER LINE                 |  | = UTILITY PEDESTAL      |
|  | = GAS LINE                   |  | = TRANSFORMER           |
|  | = UNDERGROUND TELEPHONE      |  | = HANDHOLE              |
|  | = UNDERGROUND TELEVISION     |  | = ELECTRIC METER        |
|  | = UNDERGROUND ELECTRIC       |  | = GAS METER             |
|  | = OVERHEAD WIRES             |  | = WATER METER           |
|  | = EDGE OF WOODS              |  | = SIGN                  |
|  | = DECIDUOUS TREE             |  | = POST                  |
|  | = CONIFEROUS TREE            |  | = AIR CONDITIONING UNIT |
|  | = BUSH                       |  |                         |
|  | = BUILDING OVERHANG          |  |                         |

## LEGEND

- [illegible]

# SHEET INDEX

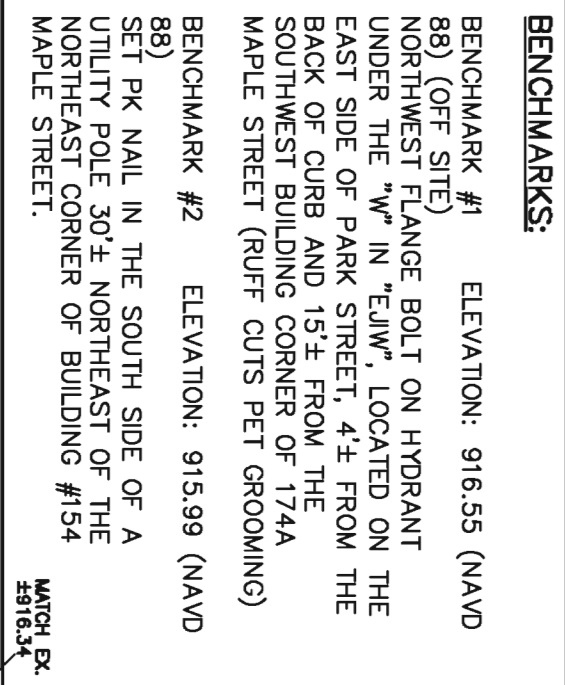
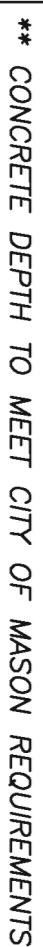
1. SITE & UTILITY PLAN
2. STORM & GRADING PLAN
3. EXISTING SURVEY PLAN
4. DEMOLITION PLAN

|  |  |
|--|--|
| SITE ADDRESS: 154 W. MAPLE STREET, MASON MI 48854<br>SURVEY #93455, 1062           |  |
| REVISIONS:<br>5-20-18 SITE<br>CORRECTIONS  | JONES ENGINEERING<br>BROWN LAND SURVEYS<br>2116 HASLETT ROAD, HASLETT, MI 48840<br>PH. 517-539-1016 FAX. 517-539-3047<br>Aerial Office<br>PH. 269-781-9880 |
|  |  |
| <h1>154 W. Maple</h1>  |  |
| SCALE: 1" = 10'<br>DATE: 5-11-18<br>AUTHORIZED BY:                                 | SHEET # OF 4<br>JOB # 93455  |
| PROJECT NO. 1062<br>PROJECT NAME:  | SHEET 1 OF 4   |
| SITE & UTILITY PLAN<br>APPROVED BY:  |  |
| DRAWN BY: JMK<br>CHECKED BY: JMK   | SHEET 1 OF 4   |
| AUTHORIZED BY:   |  |
| Project Infringe Architects  |  |





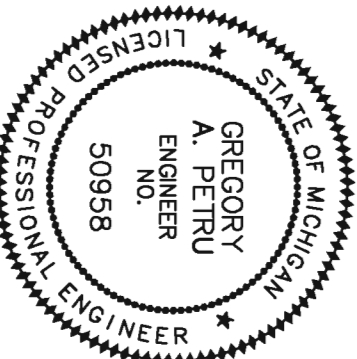
154 W. Maple  
CITY OF MASON, INGHAM COUNTY, MICHIGAN



1. This plan was made at the direction of the parties named hereon and its intended solely for their immediate use. Survey prepared from fieldwork performed in April 2018.
2. All bearings and distances on the survey are record and measured unless otherwise noted. Elevation based on NAVD 88.
3. All dimensions are in feet and decimals thereof.
4. By scaled map location and graphic plotting only, this property lies entirely within Flood Zone "X", created pursuant to the National Flood Insurance Program, according to the 0.2% annual chance floodplain, according to the National Flood Insurance Rate Map for the City of Mason, Ingham County, Michigan, Community Panel No. 26065C00234D, dated August 16, 2011.
5. Utility information as shown was obtained from available public records and from supporting field observations, where possible, and is subject to verification in the field by the appropriate authorities prior to use for construction. MISS DIG was not contacted to mark utilities on site at the time of the survey.
6. Easements wetlands, if any, not shown hereon.

8. PAVE ALL AREAS WHILE ENSURING POSITIVE DRAINAGE

SUNKEN AND/OR DAMAGED ASPHALT AREAS.



**KEBS, INC.**  
ARTS ENGINEERING  
BRYAN LAND SURVEYING

2116 HASLETT ROAD, HASLETT, MI 48840  
PH. 517-339-1014 FAX. 517-339-8047



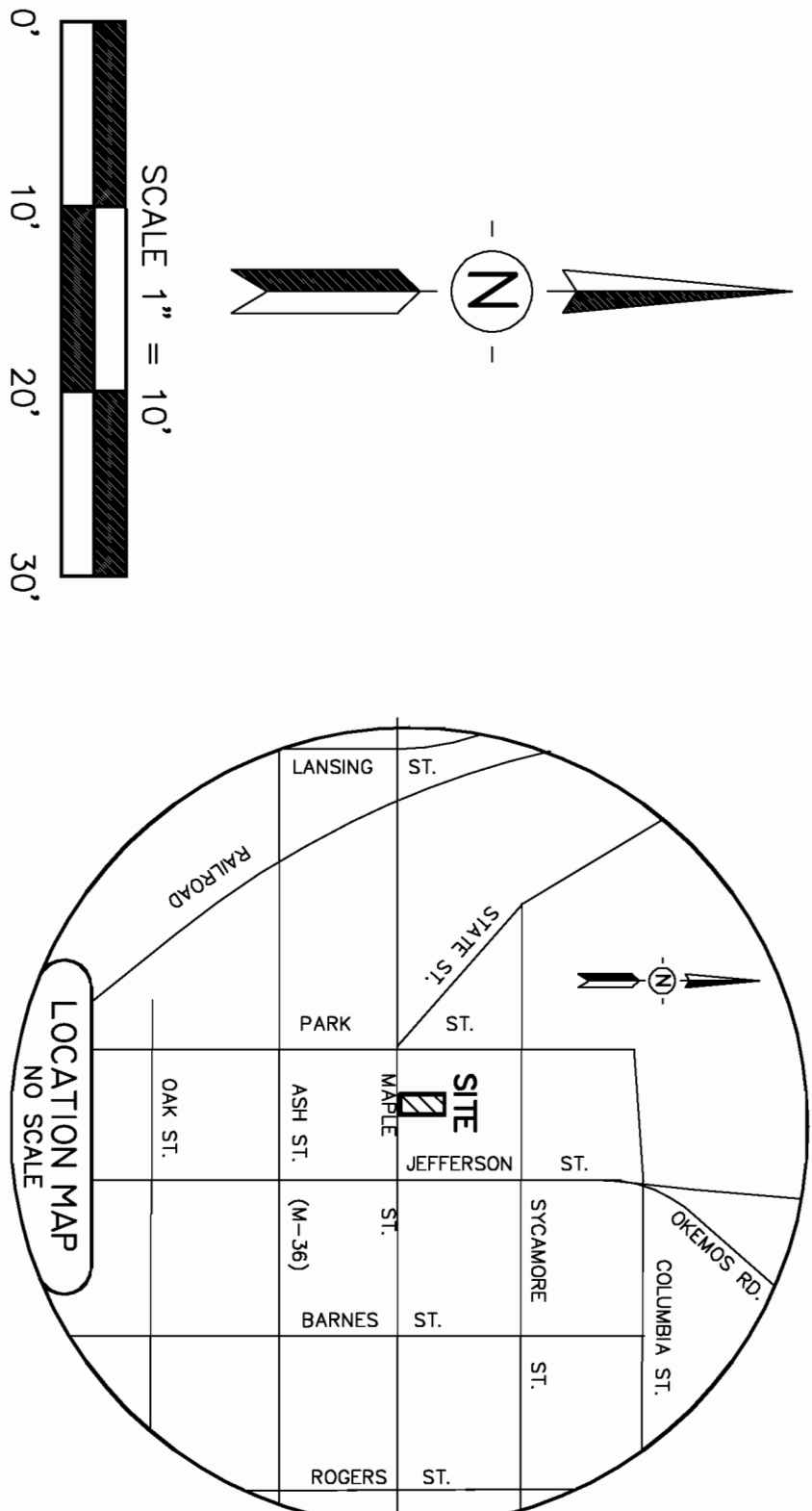
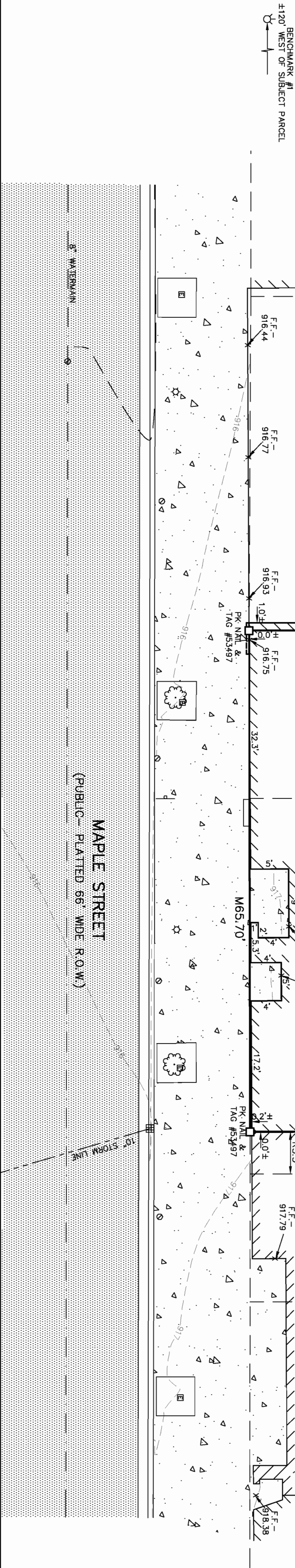
FOR: **STUDIO INTRIGUE ARCHITECTS, LLC**

# LOT & TOPOGRAPHIC SURVEY

## "154 W. MAPLE STREET, MASON MI 48854"

### BENCHMARKS:

BENCHMARK #1 ELEVATION: 916.55 (NAVD 88) (OFF SITE)  
NORTHWEST FLANGE BOLT ON HYDRANT UNDER THE "W" IN "E.I.W.",  
LOCATED ON THE EAST SIDE OF PARK STREET, 4'± FROM THE  
BACK OF CURB AND 15'± FROM THE SOUTHWEST BUILDING CORNER  
OF 1744 MAPLE STREET (RUFF CUTS PET GROOMING)  
BENCHMARK #2 ELEVATION: 915.99 (NAVD 88)  
SET PK NAIL IN THE SOUTH SIDE OF A UTILITY POLE 30'±  
NORTHEAST OF THE NORTHEAST CORNER OF BUILDING #54 MAPLE  
STREET.



### LEGAL DESCRIPTION:

(As provided):

The East 22 feet of Lot 7 and the West 3/4 of Lot 8 excluding the East 5.5 feet thereof, Block 7, Original Plot of City of Mason, Ingham County, Michigan, according to the recorded plat thereof, as recorded in Liber 37 of Deeds, Page 234, Ingham County Records.

### SURVEYOR'S NOTES:

1. This plan was made at the direction of the parties named herein and is intended solely for their immediate use. Survey prepared from fieldwork performed in April 2018.
2. All bearings and distances on the survey are record and measured unless otherwise noted. Elevations based on NAVD 88.
3. All dimensions are in feet and decimals thereof.
4. By scaled map location and graphic plotting only, this property lies entirely within Flood Zone "X", areas of moderate flood hazard, according to the National Flood Insurance Program Flood Insurance Rate Map for the City of Mason, Ingham County, Michigan, Community Panel No. 2605500254D, dated August 16, 2011.
5. Utility information as shown was obtained from available public records and from supporting field observations, where possible, and is subject to verification in the field by the appropriate authorities prior to use for construction. MISS DIG was not contacted to mark utilities on site at the time of the survey.
6. Easements wetlands, if any, not shown hereon.

### LEGEND

|   |                           |   |                         |
|---|---------------------------|---|-------------------------|
| ● | = SET 1/2" BAR WITH CAP   | ⑤ | = SANITARY MANHOLE      |
| ◻ | = FOUND IRON AS NOTED     | ⑥ | = DRAINAGE MANHOLE      |
| — | = DEED LINE               | ⑦ | = ELECTRIC MANHOLE      |
| — | = DISTANCE NOT TO SCALE   | ⑧ | = TELEPHONE MANHOLE     |
| — | = FENCE                   | ⑨ | = CATCHBASIN            |
| — | = ASPHALT                 | ⑩ | = SANITARY CLEANOUT     |
| — | = CONCRETE                | ⑪ | = FIRE HYDRANT          |
| — | = GRAVEL                  | ⑫ | = VALVE                 |
| — | = EXISTING SPOT ELEVATION | ⑬ | = UTILITY POLE          |
| — | = BUILDING OVERHANG       | ⑭ | = LIGHT POLE            |
| — | = SANITARY SEWER          | ⑮ | = GUY POLE              |
| — | = STORM SEWER             | ⑯ | = UTILITY WIRE          |
| — | = WATER LINE              | ⑰ | = TRANSFORMER           |
| — | = GAS LINE                | ⑱ | = HANDHOLE              |
| — | = UNDERGROUND TELEPHONE   | ⑲ | = ELECTRIC METER        |
| — | = UNDERGROUND TELEVISION  | ⑳ | = GAS METER             |
| — | = UNDERGROUND ELECTRIC    | ㉑ | = WATER METER           |
| — | = OVERHEAD WIRES          | ㉒ | = SOL. BORING           |
| — | = EDGE OF WOODS           | ㉓ | = SIGN                  |
| — | = DECIDUOUS TREE          | ㉔ | = POST                  |
| — | = CONIFEROUS TREE         | ㉕ | = AIR CONDITIONING UNIT |
| — | = BUSH                    |   |                         |

| REVISIONS  | COMMENTS                       | ENGINEERING AND LAND SURVEYING              |
|------------|--------------------------------|---|
| 04/25/2018 | ORIGINAL                       | <b>KEBS, INC.</b>                           |
| 04/25/2018 | EDITED                         | <b>Z118 HASLETT ROAD, HASLETT, MI 48840</b> |
| 05/17/2018 | DIMENSIONS                     | <b>PH. 517-538-5581 WWW.KEBS.COM</b>        |
| 05/17/2018 | ADD WATERMAIN & SANITARY LINES | <b>Meredith Office - Ph. 269-781-8800</b>   |
| 05/25/2018 | SITE PLAN REVIEW               |   |
|            | DRAWN BY                       | SECTION                                     |
|            | FIELD WORK BY                  | 8, 12N, R2W                                 |
|            | SHEET                          | JOB NUMBER:                                 |
|            | 3 OF 4                         | 93455.TOP                                   |



154 W. Maple  
CITY OF MASON, INGHAM COUNTY, MICHIGAN

GENERAL

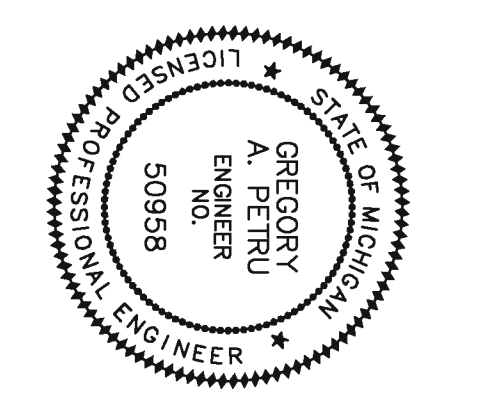
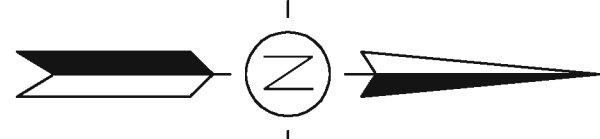
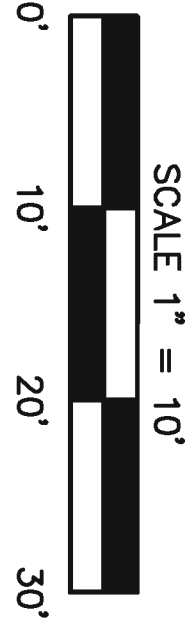
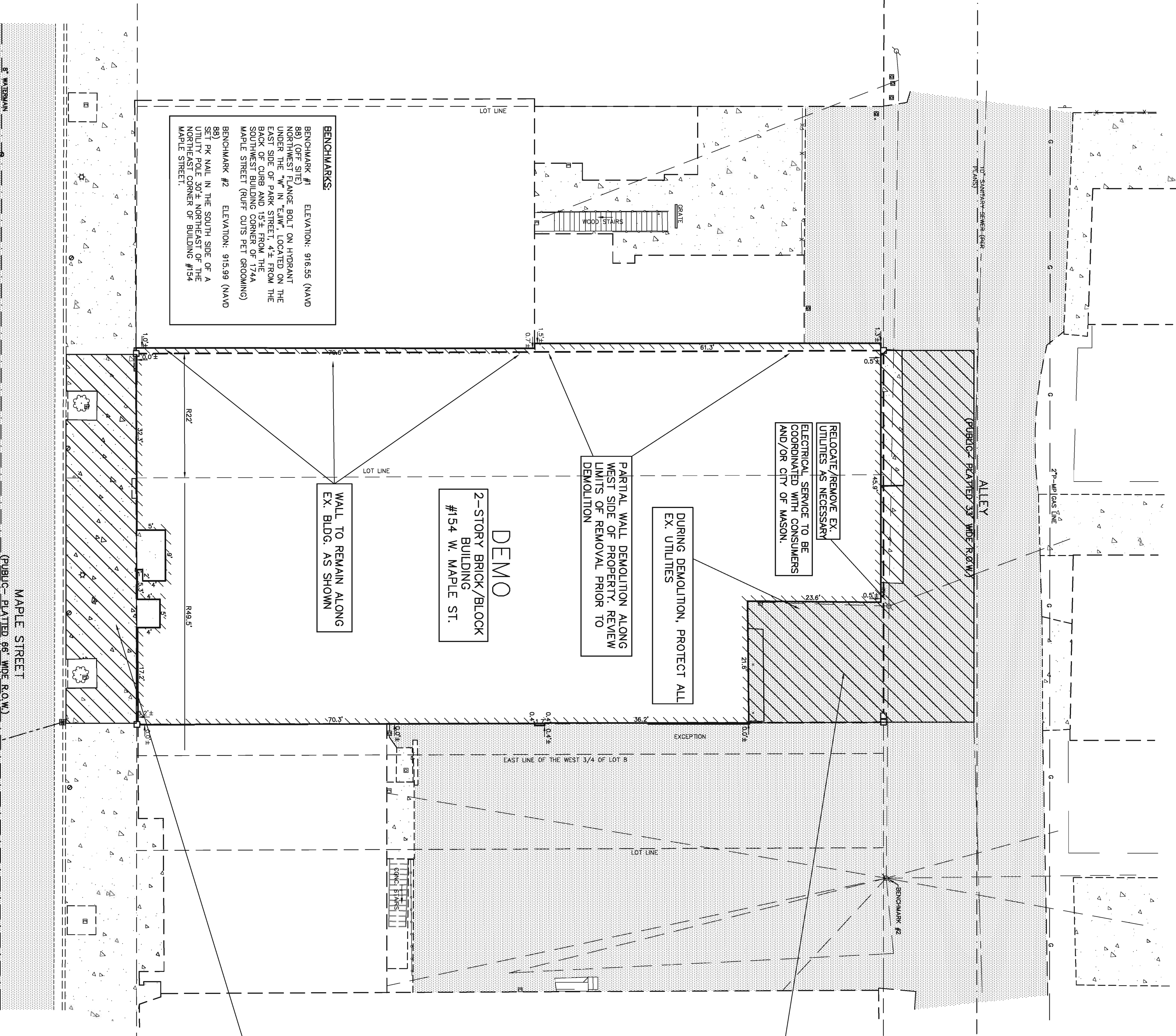
- Any unstable soil (such as peat, muck, marl, soft blue clay, topsoil, etc.) which is encountered beneath proposed utilities, roadways, parking lots and structures, ditches and buildings shall be removed down to sound subsoil and replaced with compacted fill. The fill shall be compacted in 6" layers to 95% of max. density. The decision on material for bedding and backfill shall be determined by the Engineer.
- Sidewalk construction shall be in accordance with the requirements and specifications of the City of Mason.
- Information on depth, size, etc., of all other underground utilities shown herein is plan information only, obtained from the utility company involved. Prior to any final designing or construction, it is recommended that all utility companies, agencies, departments, etc., involved be contacted for verification of such locations.
- The locations, size and elevation of sewers and related structures shown herein, were obtained through field observation. KEBS, Inc. is not responsible for information on any other sewers, drains or related structures not found and not shown herein, that may cross, parallel, be contiguous to or service this site.
- For protection of underground utilities, the contractor shall dial 800-482-7171 a minimum of 72 hours prior to excavating in the vicinity of utility lines. All "MISS DIG" participating members will thus be routinely notified. This does not relieve the contractor of the responsibility of notifying utility owners who may not be a part of the "MISS DIG" alert system.
- Footing drains and eave troughs shall be connected to the storm sewer
- All existing roads, driveways and yards disturbed during construction shall be restored by the contractor to its original condition.
- All sewer pipe shall be bedded with C.I. III granular material. Class III material shall be used in bedding all sewer trenches to 1' above the sewer pipe.
- All compaction of trenches within the roadways and parking areas shall be to 95% density. Equipment such as a small dozer in the trenches and a hoe-pack around the structures will be required, or equipment capable of reaching 95% density.
- Contractor shall be responsible for obtaining all permits required for construction.
- Contractor shall be responsible for maintaining As-Built drawings of all lot, lot, lot locations and drawings shall be available to the Engineer upon request.

EX. LEGEND

- SET 1/2" BAR WITH CAP
- FOUND IRON AS NOTED
- DEED LINE
- DISTANCE NOT TO SCALE
- FENCE
- ASPHALT
- GRAVEL
- EXISTING SPOT ELEVATION
- EXISTING CONTOUR ELEVATION
- SANITARY SEWER
- STORM SEWER
- WATER LINE
- GAS LINE
- UNDERGROUND TELEPHONE
- UNDERGROUND TELEVISION
- UNDERGROUND ELECTRIC
- OVERHEAD WIRES
- EDGE OF WOODS
- DECIDUOUS TREE
- CONIFEROUS TREE
- BUILDING OVERHANG
- SANITARY MANHOLE
- DRAINAGE MANHOLE
- ELECTRIC MANHOLE
- TELEPHONE MANHOLE
- CATCHBASIN
- SANITARY CLEANOUT
- VALVE
- UTILITY POLE
- LIGHT POLE
- GUY POLE
- GUY WIRE
- UTILITY PEDestal
- TRANSFORMER
- HANDHOLE
- ELECTRIC METER
- GAS METER
- WATER METER
- SIGN
- POST
- AIR CONDITIONING UNIT

LEGEND

- PROPOSED GRADES
- PROPOSED FIRST FLOOR ELEV.
- PROPOSED TOP OF CURB ELEV.
- PROPOSED TOP OF PAVT ELEV.
- PROPOSED TOP OF FINISH ELEV.
- PROPOSED S.E.C. MENS SYSTEM



|   |                          |                                      |                                     |
|---|--------------------------|--------------------------------------|-------------------------------------|
| SITE ADDRESS: 154 W. MAPLE STREET, MASON MI 48854 |                          | SHEET #3455, 1092                    |                                     |
| REVISIONS   | 5-26-18 SITE PLAN REVIEW | KEBS, INC.                           | KNES ENGINEERING BRYAN LAND SURVEYS |
|   |                          | 2116 HASLETT ROAD, HASLETT, MI 48840 | PH. 517-339-1014 FAX. 517-339-8047  |
|   |                          | Maple Office                         | Ph. 269-781-9800                    |
|   |                          | 154 W. Maple                         | DEMOLITION PLAN                     |
|   |                          | DESIGNER:                            | APPROVED BY:                        |
|   |                          | DATE: 5-11-18                        | PROJECT MGR                         |
|   |                          | AUTHORIZED BY:                       | SHEET 4 OF 4                        |
|   |                          | Studio Intrigue Architects           | JOB #                               |
|   |                          |                                      | 93455                               |



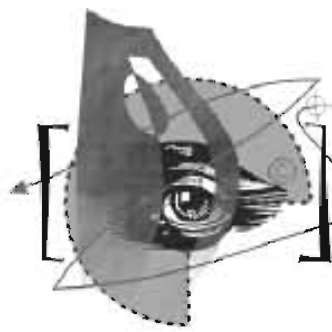
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CONSTRUCTION

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04/27/18  
05/25/18

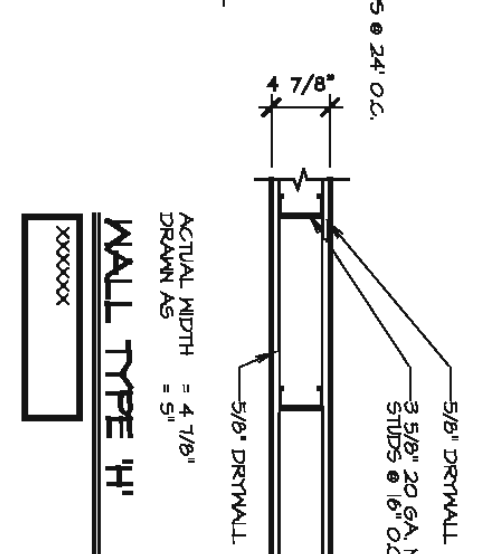
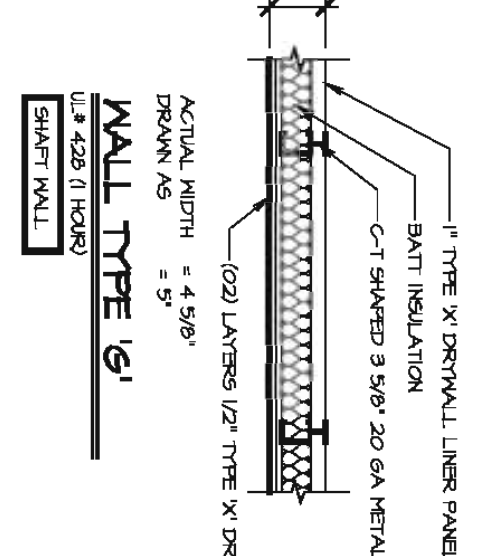
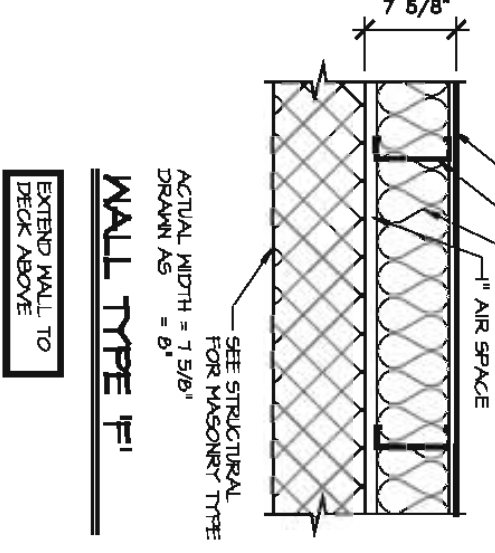
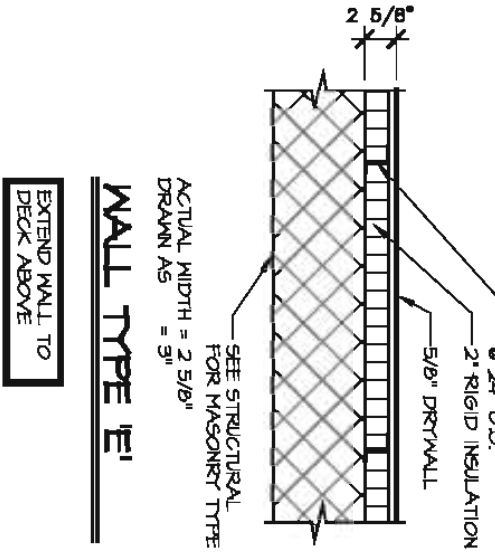
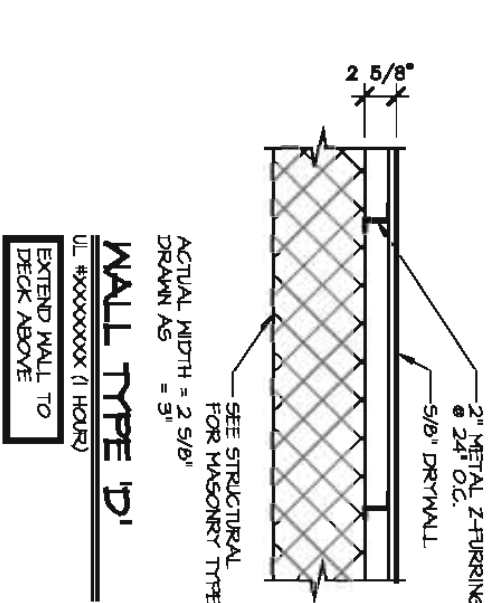
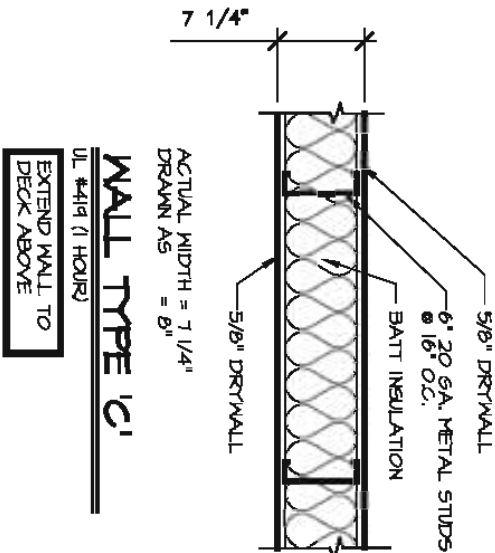
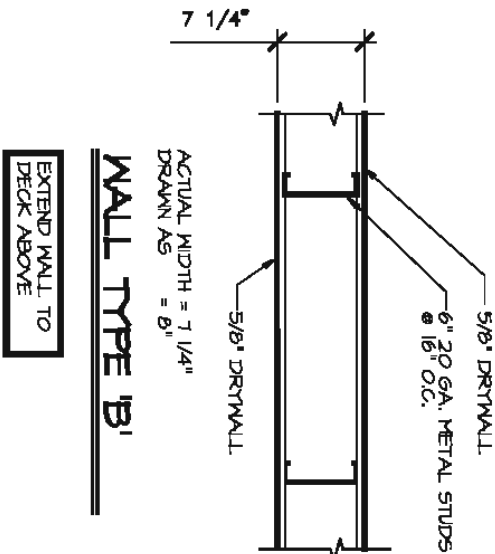
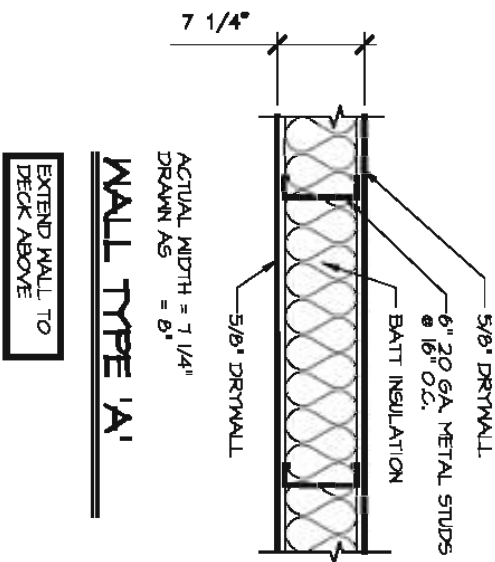
DESIGN DEV. PACKAGE  
SITE PLAN REVIEW

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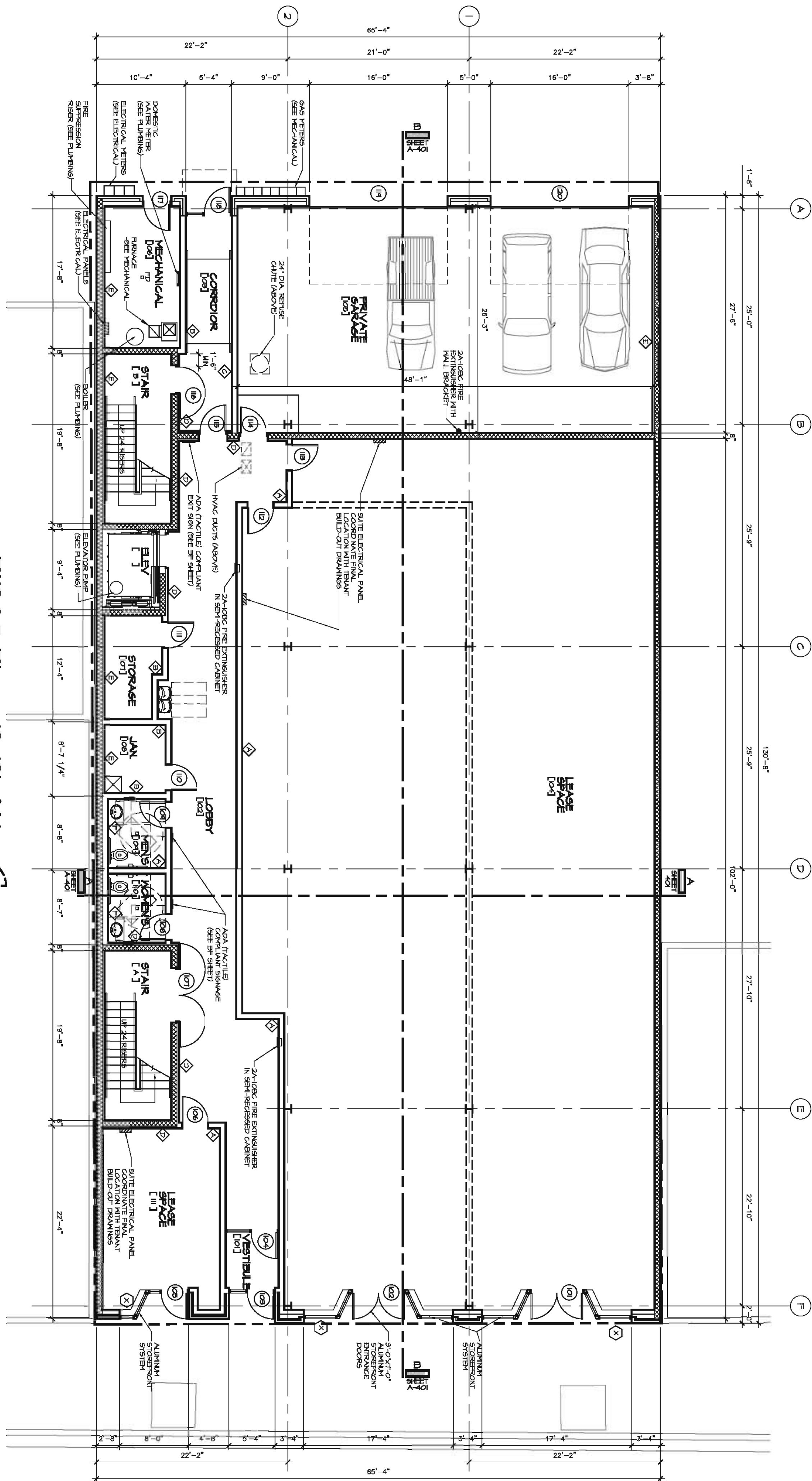
studio  
[intrigue]  
ARCHITECTS

114 S. WASHINGTON AVE. ✦ SUITE 100 ✦ LANSING ✦ MICHIGAN ✦ 48202  
517.372.8804 PHONE ✦ 517.372.8805 FAX ✦ WWW.STUDIOINTRIGUE.COM



## WALL TYPES

3/4" = 1'-0"



## FIRST FLOOR PLAN

1/8" = 1'-0"

Project Type  
NEW  
CONSTRUCTION

Client

W. MAPLE ST.  
MIXED USE

154 W. MAPLE ST  
MASON, MI 48854

RED OAK  
HOLDINGS

2111 UNIVERSITY  
PARK DRIVE

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Project Number

17.208

Sheet

A-101









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DESIGN DEV. PACKAGE  
SITE PLAN REVIEW

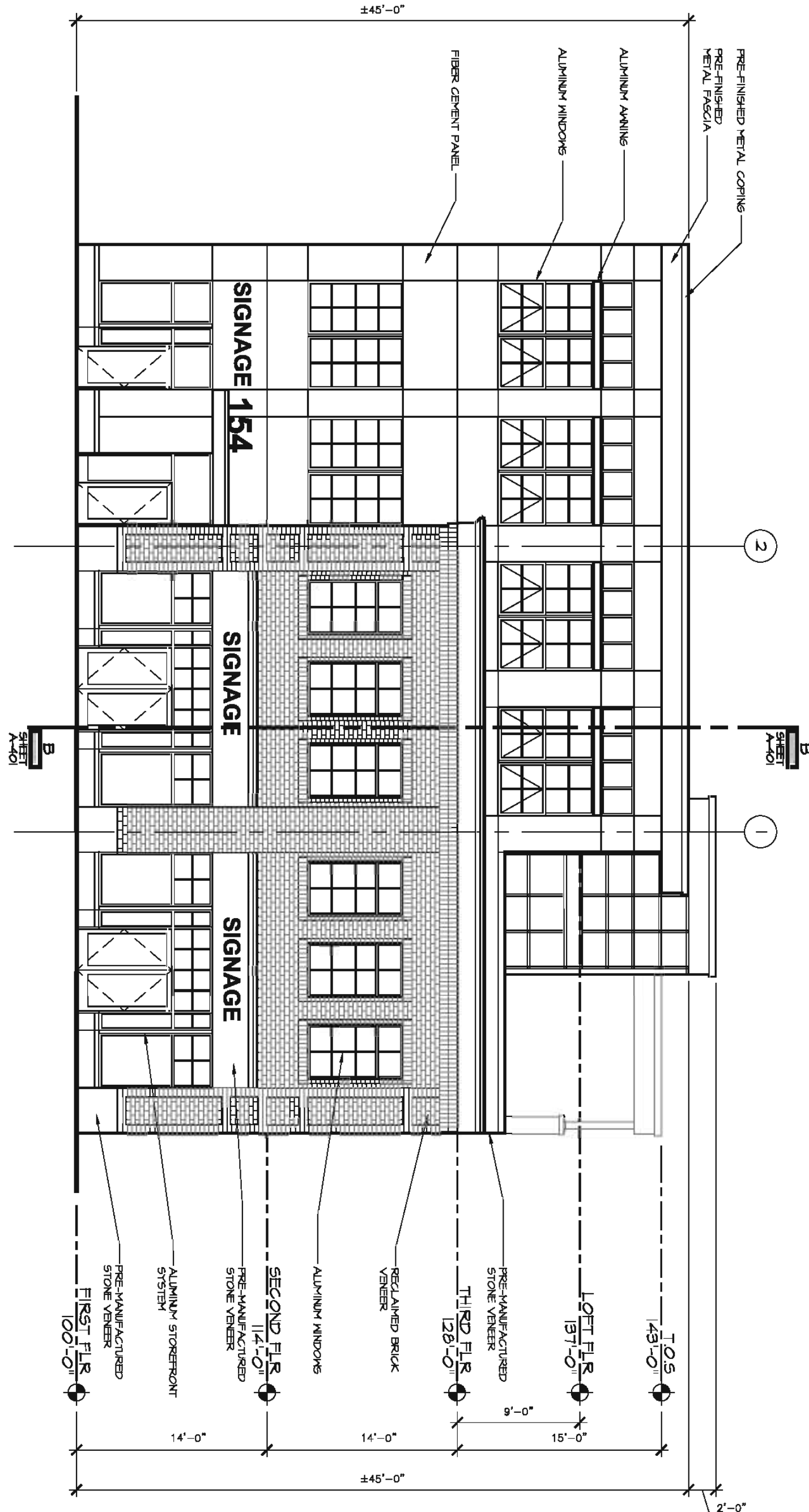
04/27/18  
05/25/18

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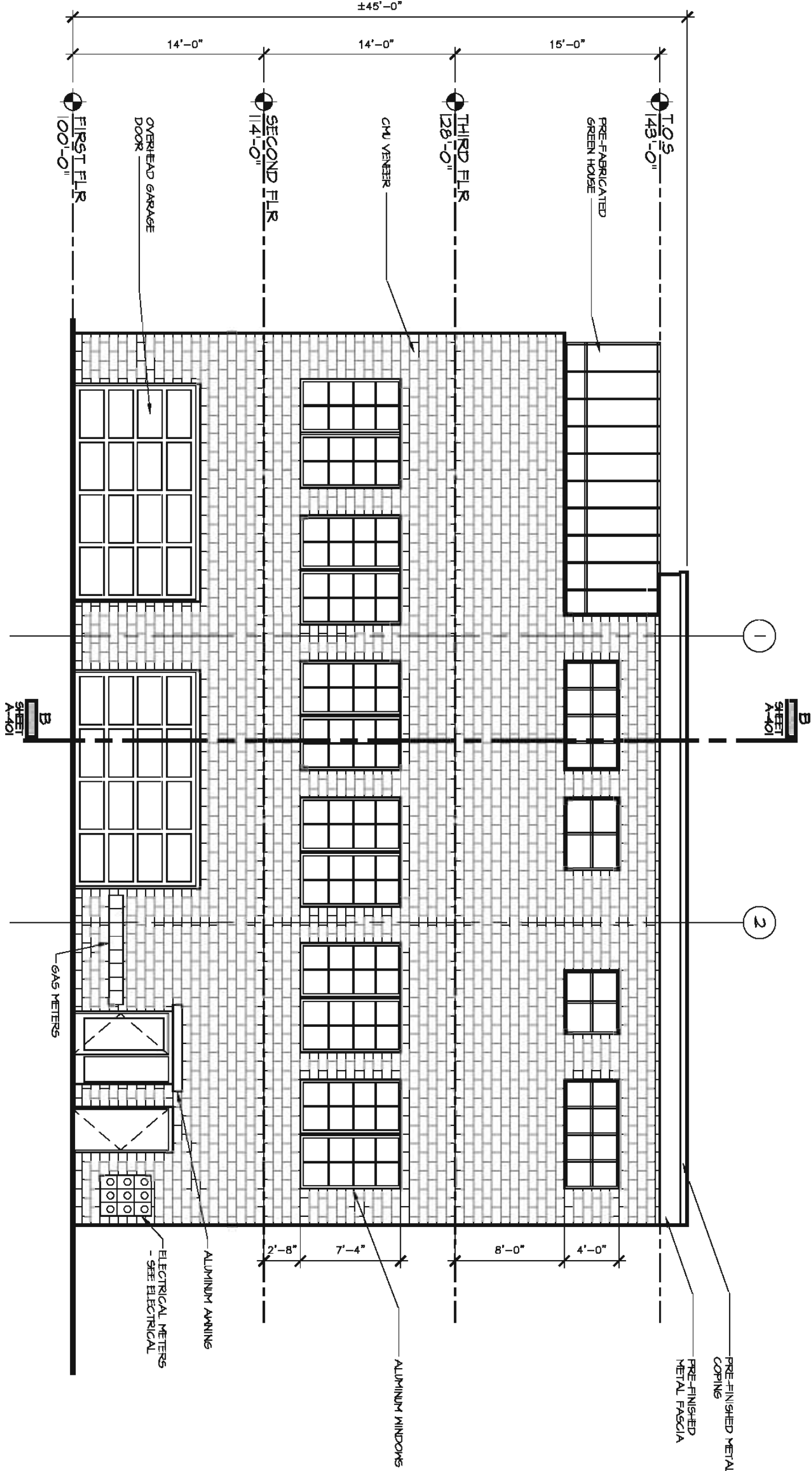
FACADE NOTES

1. PROVIDE SEALANT AT EXTERIOR AT THE INTERSECTIONS OF ALL DISSIMILAR MATERIALS, COLOR TO MATCH THE COLOR OF THE PRIMARY ADJACENT MATERIAL.
2. FIELD VERIFY ALL OPENINGS FOR ALUMINUM STOREFRONT FRAMING PRIOR TO ORDERING OF MATERIALS OR FABRICATION.
3. PROVIDE ISOLATION COATING BETWEEN ALL DISSIMILAR METALS (IE--ALUM TO STEEL).
4. FABRIC CANOPIES AND SIGNAGE SHALL BE DESIGNED AND PERMITTED BY OWNERS SIGNAGE SUBCONTRACTOR.
5. ANY SIGNAGE SHOWN IS FOR ILLUSTRATIVE PURPOSES ONLY. DO NOT SCALE THE ARCHITECTURAL DRAWINGS FOR FABRICATION OF SIGN DRAWINGS (THESE DRAWINGS ARE NOT SHOP DRAWINGS). THE SIGNAGE SUBCONTRACTOR SHALL VISIT THE PROJECT SITE TO MEASURE AND OBSERVE FIELD CONDITIONS PRIOR TO FABRICATION.
6. ALL MASONRY SHALL RECEIVE A FIELD-APPLIED MASONRY SEAL/WATER REPELLENT. THE LOWER 48" OF THE MASONRY, WHERE ADJACENT TO ASPHALT/CONCRETE FLATWORK SHALL BE SEALED WITH PROSOLO SEALER/PRIMER OR APPROVED EQUAL. ALL OTHER MASONRY SHALL BE SEALED WITH PROSOLO SEALER/PRIMER OR APPROVED EQUAL.
7. ALL EXPOSED STEEL PLATES, ANGLES AND OTHER STRUCTURAL SHAPES SHALL BE PRIMER AND PAINTED IN THE FIELD.
8. ALL WOOD IN CONTACT WITH CONCRETE OR MASONRY SHALL BE TREATED.



SOUTH ELEVATION

1/8"=1'-0"



NORTH ELEVATION

1/8"=1'-0"

Project Type  
NEW  
CONSTRUCTION

Client  
RED OAK  
HOLDINGS  
2111 UNIVERSITY  
PARK DRIVE  
154 W. MAPLE ST.  
MASON, MI 48854

Project Number  
17.208

Copyright 2018 Studio [intrigue] Architects, LLC

Sheet

A-301





| Use                          | UFA                           | Parking/UFA | Customer Parking<br>Required | Customer Parking<br>Proposed | Peak Hour Use<br>(dependent on tenant) |
|------------------------------|-------------------------------|-------------|------------------------------|------------------------------|--|
| First Floor General Retail   | 4,567 SF x .80 = 3,653.6 SF   | 1:150 SF    | 25                           | 0                            | 9a-6p M-Su                             |
| Second Floor Office          | 6690.6 SF x .80 = 5,352.48 SF | 1:200 SF    | 27                           | 0                            | 8a-5p M-F                              |
| Third Floor Residential      | N/A                           | N/A         | 2                            | 4                            | N/A                                    |
| Total Parking                |                               |             | 54                           | 4                            |  |
| Barrier Free Spaces Required |                               |             | 3                            | 0                            |  |



## City of Mason Planning Commission

*Staff Report*

TO: Planning Commission  
FROM: Elizabeth A. Hude, AICP, Community Development Director  
SUBJECT: Preliminary Plat – Enclave of Rayner Ponds  
DATE: July 6, 2018

---

### PROJECT DESCRIPTION

James Giguere of Giguere Homes is requesting preliminary plat approval to create nineteen (19) residential lots and one private park to be located on the following described property in the City of Mason:

Parcel # 33-19-10-04-401-005, 13.5+/- acres

THAT PART OF S 1/2 OF SEC 4, T2NR1W & LOT 48, ASSESSOR'S PLAT NO 1, CITY OF MASON DESC AS: COM AT NE COR OF LOT 110, RAYNER PONDS EST. NO 3 BEING N0D28'58"E 1648.5 FT & S89D31'02"E 400.13 FT FROM S 1/4 COR OF SEC 4 - N65D06'13"E 66 FT - NW'LY 165.22 FT ALNG 508 FT RAD CURVE TO LT, CHD BRG N34D12'51"W 164.5 FT TO POB - ALNG N'LY LN OF COPPERSMITH DR 409.05 FT ON 508 FT RAD CURVE TO LEFT, CHD BRG N66D35'57"W 398.08 FT - N89D40'W ALNG SD N'LY LN 204.08 FT - N0D28'58"E 675.27 FT - ALNG EW 1/4 LN S89D40'E 204.62 FT TO CEN OF SEC - ALNG EW 1/4 LN S89D23'32"E 730.04 FT - S0D36'28"W 50.22 FT - S 60DW 70 FT - S13D53'08"W 415.29 FT - S30DE 70 FT - S32D22'45"W 227.48 FT - S15DE 15.23 FT - SW'LY 116.82 FT ALNG 292.5 FT RAD CURVE TO LT, CHD BRG S63D33'30"W 116.05 FT - S52D07'01"W 29.51 FT TO POB. SEC 4, T2N R1W. CITY OF MASON. 13.56 A.

### APPLICABLE REQUIREMENTS

Preliminary Plat approval is subject to the requirements as follows:

State of Michigan Land Division Act (LDA) – Act 288 of 1967

City of Mason Master Plan and Capital Improvement Plan

City of Mason Development Standards for Streets and Utilities

City of Mason Ordinances:

Ch. 58 Signs

Ch. 70, Art. II Excavations and Curb Cuts

Ch. 74 Subdivisions and Other Divisions of Land

City of Mason Zoning Ordinances:

Ch. 94 Zoning

Ch. 100 Reference Tables and Figures



## TIMELINE FOR ACTION BY PLANNING COMMISSION

The application was received on June 7, 2018. Per City of Mason Ordinance Sec. 74-78(c)(3), within 63 days the Planning Commission shall forward to the City Council its recommendation for approval, approval with conditions, or disapproval of the plat. The City Council must consider the recommendation of the Planning Commission within 30 days of the Planning Commission meeting, except that the entire review process must conclude within 90 days from date of submittal. The applicant will then pursue approval of the tentative preliminary plat from outside agencies, return to the City of Mason with a Final Preliminary Plat and again for a Final Plat per the LDA- Act 288 of 1967 and City of Mason Ordinances Ch. 74. See attached flow chart for additional information. The preliminary plat approval will be valid for one year.

| <b>§74-78 Preliminary plat review by Planning Commission</b> | <b>No Later Than</b> | <b>Proposed</b> | <b>Actual</b>             |
|--|----------------------|-----------------|---------------------------|
| Application received (submittal)                             |                      |                 | June 6                    |
| PC recommendation to CC within 63 days                       | August 8             | July 10         | 34 days following receipt |
| CC action within 30 days of PC                               | August 9             | July 16         | (6 days following PC)     |
| 90 days from date of submittal                               | September 3          | July 16         | (41 days)                 |
| Preliminary approval valid for 1 year (§74-79(b))            |                      |                 | July 2019                 |

## CONSTRUCTION SCHEDULE

The applicant has provided a construction schedule for the right of way indicating that the project will start in March of 2019. This schedule is subject to change based upon the required approvals of a final preliminary plat and a final plat as described in LDA-Act 288 of 1967 and City of Mason Ordinances Ch. 74. Individual building permits will be required for construction of buildings on each lot following the satisfactory completion of the right of way.

## FEES

In accordance with the City of Mason Directory of Fees, the application fee is as follows:

Tentative Preliminary Plat \$800.00 + \$10/lot : \$800 + \$190 (19 lots X \$10/lot) = **\$990**

\$960 – Subdivision Application Fee – PAID; **\$30 – Balance Due**

## PUBLIC NOTIFICATION

The public hearing notice appeared in the June 24, 2018 edition of the Community News, was posted at City Hall, and mailed to property owners and occupants within 300 feet of the parcel. In addition, the notice was sent to the Mason School Board and the Preliminary Plat was displayed on the first floor of City Hall.

## MASTER PLAN – Meets Requirements

The proposed preliminary plat appears to be consistent with the current City zoning ordinance and the Future Land Use Plan in the City of Mason Master Plan. The parcel is zoned RS-2 (Single Family Residential) and surrounded by the land uses as follows:

|              | <b>Current Land Use</b> | <b>Zoning</b>                               | <b>Future Land Use</b> |
|--------------|-------------------------|---|------------------------|
| <b>North</b> | Agricultural            | Agricultural (Jurisdiction: Vevay Township) | Suburban Residential   |
| <b>East</b>  | Residential             | RS-2 (Single Family Residential District)   | Residential            |
| <b>South</b> | Residential             | RS-2 (Single Family Residential District)   | Residential            |
| <b>West</b>  | Residential             | RS-2 (Single Family Residential District)   | Residential            |



## Walkability

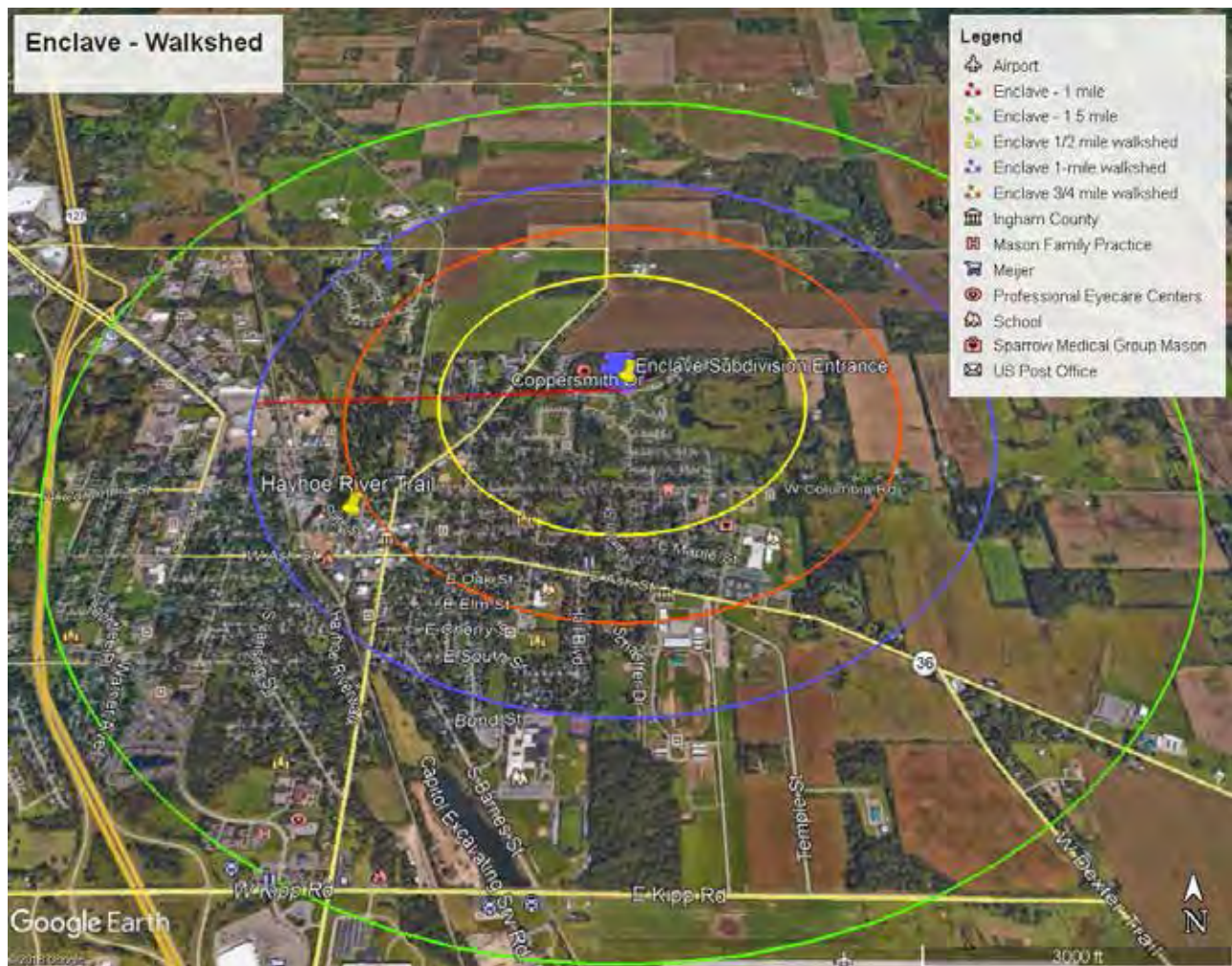
Sidewalks are generally indicated on the proposed preliminary plat in the Typical Road Section and appear to be consistent with the requirement for sidewalks in **§74-157(b)** and as discussed in the City of Mason Master Plan sections:

- Community Character, Historic Preservation and the Environment, p. 2-3
- Transportation, Streets, and Circulation, p. 2-7

Sidewalks are important for supporting pedestrian activity as noted in the community's goal to preserve the character of Mason, page 2-3, and maintaining a transportation network throughout the community that includes pedestrian travel, p. 2-7. The walkshed from the proposed subdivision entrance at Coppersmith Drive and the proposed Victoria Circle is as follows:

| Distance               | Key Destinations   |
|------------------------|--|
| ½ mile; 10 min. walk   | Laylin Park, Bond Park, Sparrow Urgent Care, medical professional offices  |
| ¾ mile; 15 min. walk   | Downtown Mason/Historic District, Ingham County Courthouse, City Hall, US Post Office, Rayner Park, Fairgrounds, Steele St. Elementary School, Mason Middle School, CATA Route #46, Hayhoe Riverwalk Trail, restaurants, retail, and professional services |
| 1 mile; 20 min. walk   | Mason High School, Antiques District, restaurants, retail, and professional services   |
| 1.5 mile; 30 min. walk | US 127, Jewett Airport, grocery (Meijer), gas stations, restaurants (Klavon's), retail, medical and professional services  |

(Source: Google Earth)



## DESIGN STANDARDS – Meets Requirements

The proposed preliminary plat appears to meet the requirements of the *City of Mason Utility and Street Installation Standards*

The need for a Performance Guarantee will be determined in accordance with §74-163 Guarantee of completion of required improvements as part of the Final Plat submittal.

## CITY ORDINANCES – Meets Requirements

| Ordinance   | Status*    | Note   |
|---|------------|--|
| §74-77 Data Required  | M<br><br>R | It appears all requirements are met.<br><br>A separate contour map showing proposed revised ground surface and street grades was not provided (§74-77(8)). Staff recommends that the applicant clarify final ground surface and street grades in the final plat. The future build-out of individual lots will be expected to adhere to the final proposed grading and drainage plan submitted during site plan review. |
| §74-127 Streets   | M          | (f) Proposed cul-de-sac street provides a 66' right of way terminating in a 150' diameter turnaround; the design of the street allows for the future extension of the street to the north. Proposed name – Victoria Circle   |
| §74-128 Easements and Utilities                                     | M          | Noted on plan – sanitary sewer, storm sewer, water main  |
| §74-129 Underground Wiring  | M          | Subject to future final site plan approval   |
| §74-130 Blocks  | M          | The proposed length of Victoria Circle is 560 feet, which is less than the 1,320 feet maximum when measured 600 feet from the nearest intersection to the beginning of the turnaround.   |
| §74-131 Public walkways   | M          | The typical road cross-section shows that a 4' sidewalk is proposed on both sides of the street.   |
| §74-132 Public reservations   | M<br><br>R | The plan shows a proposed private park area which includes wetlands.<br>Staff recommends the applicant provide information on the Final Plat detailing how the Commons will be maintained.   |
| §74-133 Lots  | M<br><br>R | Lots appear to meet the minimum requirements of the zoning ordinance and the depth-to-width ratio of 3:1.<br>Staff recommends the applicant consider expanding Lots 1 and 10 to include the immediately adjacent portion of the proposed Commons and that the deed for those lots include an easement for public access to the private park to ensure a dedicated party is responsible for maintenance of the area.    |
| §94-222 Uses Subject to Site Plan Review                            | Future     | The final platted subdivision will be subject to site plan review. Ch. 58 Signs and Ch. 70, Art. II Excavations and Curb Cuts will also be reviewed during site plan review.   |
| *M = Meets requirements; I = Information Needed; R = Recommendation |            |  |

## DEPARTMENTS

Comments from the remaining departments are attached and summarized below. Comments from outside agencies will be sought separately by the applicant following City Council's action and incorporated into the Final Preliminary Plat in accordance with LDA Act 288 of 1967:

|                                  |  |
|----------------------------------|--|
| FIRE                             | No concerns at this time.                                    |
| POLICE                           | Recommends LED street lights be considered.                  |
| ENGINEERING                      | No concerns, recommends approval. Letter dated June 28, 2018 |
| PUBLIC WORKS                     | Supports comments from City Engineer.                        |
| INGHAM COUNTY DRAIN COMMISSIONER | See letter dated June 26, 2018.                              |
| INGHAM COUNTY ROAD DEPARTMENT    | No comments. Email June 20, 2018.                            |

## ACTION

The Planning Commission has the following options:

- 1.Recommend approval
  - a. The Planning Commission finds that all standards under the Land Division Act, 1967 PA 288, the City of Mason design standards, city and zoning ordinances, and the applicable elements of the master plan are met and all conditions have been satisfied.
  - b. The chairman or secretary of the Planning Commission shall make a notation on each of ten (10) copies.
- 2.Recommend approval with conditions
  - a. Conditions must be consistent with requirements of the Land Division Act, 1967 PA 288, the City of Mason design standards, city and zoning ordinances, and the applicable elements of the master plan.
  - b. Approval with conditions will deem this a Tentative Preliminary Plat and require the applicant to submit a revised Final Preliminary Plat in accordance with the Land Division Act, Act 288 of 1967, and
- 3.Recommend rejection
  - a. The Planning Commission shall list its reasons to be recorded in the minutes and forwarded, along with all copies of the preliminary plat, to City Council.

*Staff offers the following motion for consideration:*

### **MOTION**

Approve Resolution 2018-11 recommending that City Council approve the preliminary plat submitted by James Giguere of Giguere Homes to create nineteen (19) residential lots and one private park as indicated on the plan dated June 15, 2018.

### **Attachments:**

1. Agency letters
2. Application
3. Preliminary Plat Plan dated June 15, 2018.
4. Flow Chart – Land Division Act, Act 288 of 1967

# Patrick E. Lindemann

## Ingham County Drain Commissioner

PO Box 220  
707 Buhl Avenue  
Mason, MI 48854-0220

Phone: (517) 676-8395

Fax: (517) 676-8364

<http://dr.ingham.org>



Carla Florence Cios  
*Deputy Drain Commissioner*

Paul C. Pratt  
*Deputy Drain Commissioner*

David C. Love  
*Chief of Engineering and Inspection*

Sheldon Lewis  
*Administrative Assistant*

June 26, 2018

Elizabeth Hude, Community Development Director  
Mason City Hall  
201 West Ash Street  
P.O. Box 370  
Mason, MI 48854

RE: Preliminary Plat Review request – Enclave at Rayner Ponds  
Conceptual Plan Review; Drain Office #18069

Dear Ms. Hude:

We are in receipt of a June 20, 2018 request by the City of Mason for public comment regarding a proposed plat of the Enclave at Rayner Ponds in the City of Mason. This conceptual review is offered as a courtesy to the City of Mason only and should not be construed by the project owner or others as formal submission to the Ingham County Drain Commissioner for site plan or drainage review. The Ingham County Drain Commissioner does not review the Preliminary Plat until it is tentatively approved by the governing body, under Section 112 of 1967 PA 288, the Land Division Act.

The Ingham County Drain Commissioner (ICDC) offers the City of Mason the following conceptual review comments on the stormwater system for this project:

1. Stormwater currently runs off from the undeveloped site to wetland areas on both the eastern and western ends of the site.
2. The site is part of the Rayner Creek Drain Drainage District.
3. The site is located in the City of Mason, a Phase II area, and the stormwater discharge should be held to adequate pretreatment standards to protect the receiving waters of the Drain.
4. Drainage plans must meet the Rules of the Ingham County Drain Commissioner for low impact development (LID), pretreating the first one inch of runoff from the site and outletting the treated water to a positive public outlet.
5. The adjacent wetland to the west is over five acres in size, so it probably will require an MDEQ Permit for the proposed discharge.
6. The plans must be submitted to the Drain Commissioner's Office for Soil Erosion Control Permit evaluation. Fees and application are found on the Ingham County Drain Commissioner's web site.

We appreciate the opportunity to comment on this plan. It is an honor and a privilege to serve you and the other businesses, citizens and municipalities of Ingham County.

Sincerely,

A handwritten signature in blue ink, appearing to read "David C. Love". The signature is fluid and cursive, with the first name "David" being more prominent than the last name "Love".

David C. Love  
Ingham County Drain Engineer





# Wolverine Engineers & Surveyors, Inc.

312 North Street • Mason, Michigan 48854 • 517.676.9200 • Fax 517.676.9396

June 28, 2018

Ms. Elizabeth A. Hude, AICP - Community Development Director  
City of Mason  
201 W. Ash Street  
Mason, MI 48854

RE: Preliminary Plat - Enclave at Rayner Ponds

Dear Ms. Hude:

We have received and reviewed the Preliminary Plat – Enclave at Rayner Ponds as prepared by Enger Surveying & Engineering with a plan date of June 15, 2018.

In general, the plat proposes nineteen (19) lots on a future public road extending north from Coppersmith Drive.

Pursuant to Chapter 74 Subdivisions and Other Divisions of Land of the City of Mason Code of Ordinances and more specifically Section 74-77 Data Required for Preliminary Plat it appears the required items have been provided.

From an engineering perspective we recommend the approval of the Preliminary Plat for Enclave at Rayner Ponds.

We appreciate the opportunity to offer our comments to the City on this development.

If you have any questions or additional comments, please do not hesitate to contact our office.

Sincerely,

WOLVERINE ENGINEERS & SURVEYORS, INC.

Donald B. Heck, P.E.

DBH:ood

cc: K. Baker, Public Works Director – City of Mason

S:\Projects\2018\18-0077\Corresp\Outgoing\Enclave EHude Prelim Plat 062818.docx

Introduced:  
Second:

**CITY OF MASON  
PLANNING COMMISSION RESOLUTION No. 2018-11**

**RECOMMEDATION THAT CITY COUNCIL APPROVE ENCLAVE AT RAYNER  
PONDS – A PRELIMINARY PLAT TO CREATE NINETEEN (19) RESIDENTIAL LOTS  
AND ONE PRIVATE PARK IN THE CITY OF MASON  
July 10, 2018**

**WHEREAS**, a request has been received from James Giguere of Giguere Homes for preliminary plat approval to create nineteen (19) residential lots and one private park in the City of Mason; and

**WHEREAS**, the proposal was shown on the plan dated June 15, 2018, prepared by Enger Surveying & Engineering; and

**WHEREAS**, the subject property is further described as parcel # 33-19-10-04-401-005:

THAT PART OF S 1/2 OF SEC 4, T2NR1W & LOT 48, ASSESSOR'S PLAT NO 1, CITY OF MASON DESC AS: COM AT NE COR OF LOT 110, RAYNER PONDS EST. NO 3 BEING N0D28'58"E 1648.5 FT & S89D31'02"E 400.13 FT FROM S 1/4 COR OF SEC 4 - N65D06'13"E 66 FT - NW'LY 165.22 FT ALNG 508 FT RAD CURVE TO LT, CHD BRG N34D12'51"W 164.5 FT TO POB - ALNG N'LY LN OF COPPERSMITH DR 409.05 FT ON 508 FT RAD CURVE TO LEFT, CHD BRG N66D35'57"W 398.08 FT - N89D40'W ALNG SD N'LY LN 204.08 FT - N0D28'58"E 675.27 FT - ALNG EW 1/4 LN S89D40'E 204.62 FT TO CEN OF SEC - ALNG EW 1/4 LN S89D23'32"E 730.04 FT - S0D36'28"W 50.22 FT - S 60DW 70 FT - S13D53'08"W 415.29 FT - S30DE 70 FT - S32D22'45"W 227.48 FT - S15DE 15.23 FT - SW'LY 116.82 FT ALNG 292.5 FT RAD CURVE TO LT, CHD BRG S63D33'30"W 116.05 FT - S52D07'01"W 29.51 FT TO POB. SEC 4, T2N R1W. CITY OF MASON. 13.56 A.; and

**WHEREAS**, the parcel is zoned RS-2 (Single Family Residential); and

**WHEREAS**, Section 74-78, states that the Planning Commission shall forward to the City Council its recommendation for approval, approval with conditions, or disapproval of the plat; and

**WHEREAS**, the Planning Commission accepts the staff report dated July 6, 2018 as findings of fact that, with the conditions listed herein, the plans will comply with the City of Mason Development Standards for Streets and Utilities, and with Section 74 Division 3. Design Standards and Division 4. Required Improvements of the Mason Code; and

**NOW THEREFORE BE IT BE RESOLVED**, that the City of Mason Planning Commission does hereby recommend that the City Council approve Enclave at Rayner Ponds, a preliminary plat to create nineteen (19) residential lots and one private park in the City of Mason, based on the plan dated June 15, 2018, prepared by Enger Surveying & Engineering.

Yes (0)  
No (0)  
Absent (0)  
Vacant (0)

**CLERK'S CERTIFICATION:** I hereby certify that the foregoing is a true and accurate copy of a resolution adopted by the Planning Commission at its regular meeting held Tuesday, July 10,

2018, the original of which is part of the Planning Commission minutes.

---

Sarah J. Jarvis, Clerk  
City of Mason  
Ingham County, Michigan





# APPLICATION – SITE PLAN REVIEW/SPECIAL USE PERMIT

## City of Mason

Planning Department • 201 W. Ash Street • Mason, MI 48854

Phone: 517/676-9155 • Fax: 517/676-1330

www.mason.mi.us

### Applicant– Please check one of the following:

☒ Preliminary Site Plan Review

☐ Final Site Plan Review

☐ Special Use Permit\*

☐ Administrative Review

\* includes Preliminary Site Plan Review

### PLANNING DEPARTMENT USE ONLY

Application Received: 6/6/18 EP

Tax ID: \_\_\_\_\_

Fee: \_\_\_\_\_

Receipt #: \_\_\_\_\_

## I. APPLICANT INFORMATION

Name James Giguere

Organization Giguere Homes

Address 6200 Pine Hollow Drive, Ste 100, East Lansing, MI 48823

Telephone Number 1-517-339-3600

Facsimile Number 1-517-339-7201

Interest in Property (owner, tenant, option, etc.) Option to purchase

**Note: If applicant is anyone other than owner, request must be accompanied by a signed letter of authorization from the owner.**

## II. PROPERTY INFORMATION

Owner Homestead Acceptance Corporation Telephone Number 1-586-939-2211

Property Address \_\_\_\_\_

Legal Description: If in a Subdivision: Subdivision Name \_\_\_\_\_ Lot Number \_\_\_\_\_

If Metes and Bounds (can be provided on separate sheet): See attached

### APPLICANT CERTIFICATION

By execution of this application, the person signing represents that the information provided and the accompanying documentation is, to the best of his/her knowledge, true and accurate. In addition, the person signing represents that he or she is authorized and does hereby grant a right of entry to City officials for the purpose of inspecting the premises and uses thereon to verify compliance with the terms and conditions of any Special Use Permit and/or Site Plan approval issued as a result of this application.

Signature [Signature] Date 6/5/18

### III. REQUEST DESCRIPTION

- A. Written Description – Please use this section to describe the use or uses proposed. Attach additional pages, if necessary.

Develop property to create 18 residential lots

#### B. Available Services

Public Water ☒ YES ☐ NO  
Public Sanitary Sewer ☒ YES ☐ NO

Paved Road (Asphalt or Concrete) ☒ YES ☐ NO  
Public Storm Sewer ☒ YES ☐ NO

#### C. Estimate the Following

Traffic Generated 72

Total Employees N/A Shifts       

Population Increase 54

Employees in Peak Shift N/A

Hours of Operation N/A AM to        PM  
       day through        day

Total Bldg. Area Proposed N/A

Parking Spaces Provided N/A

#### D. Project Phasing

This project will be completed in: ☒ One Phase ☐ Multiple Phases – Total No. of Phases:       

**Note: The phases of construction for multi-phase projects must be shown on the site plan**

### IV. APPLICATION MATERIALS

The following are checklists of items that generally must be submitted with applications for Preliminary Site Plan Review, Final Site Plan Review, and Special Use Permits. Applicants should review Articles VI and VII of Chapter 94 of the Mason Code for a complete listing of application requirements. All site plan drawings must comply with the requirements of Section 94-226(d) of the Zoning Ordinance. Incomplete applications will not be processed.

- ☒ Completed application form
- ☒ 20 copies of site plan drawings is larger than 11" x 17" (30 copies for Special Use Permits)
- ☒ 1 – 11" x 17" copy of the site plan
- ☐ Plans submitted on CD (Commercial only)
- ☒ Legal description
- ☒ Proof of ownership/owner authorization
- ☒ Construction schedule for proposed project
- ☐ Construction calculations for utilities
- ☒ Fee (see below)
- ☐ Any other information deemed necessary

**Application Fee** – all requests must be accompanied by a fee, as established by the City Council. The fee schedule for Preliminary Site Plan Reviews, Final Site Plan Reviews, and Special Use Permits is as follows (As of October 16, 2006):

|  |           |
|--|-----------|
| <u>Administrative Reviews</u>                                      | \$70.00   |
| <u>Preliminary Site Plan Reviews</u>                               | \$200.00  |
| <u>Final Site Plan Review</u>                                      | \$100.00  |
| <u>Special Use Permits</u> (includes preliminary site plan review) | \$275.00  |
| <u>Engineering Review</u>  | \$220.00* |

\*Two-hour minimum fee for projects increasing demand on public utilities. Actual fees incurred are billed to applicant upon completion of review.

**V. APPLICATION DEADLINES**

**Preliminary Site Plan/Special Use Permit Review** – Applications for Preliminary Site Plan Review may be submitted at any time. Complete applications must be received a minimum four (4) weeks prior to a Planning Commission meeting to be placed on the agenda. Upon receipt of a complete application, a public hearing will be scheduled for the next regularly scheduled meeting (for Special Use Permits only). The Planning Commission has the final authority to approve, approve with conditions or deny an application for Preliminary Site Plan/Special Use Permit Review. The Planning Department staff will issue a letter to the applicant advising of any changes or revisions that may be necessary prior to making application for Final Site Plan Review.

**Final Site Plan Review** – Complete applications must be received a minimum of four (4) weeks prior to a Planning Commission meeting to be placed on an agenda. The Planning Commission has the final authority to approve, approve with conditions or deny an application for Final Site Plan Review. Planning Commission meetings are held on the second Tuesday after the first Monday of every month, unless the Tuesday is a Township recognized holiday, in which case the meeting is held on the following day (Wednesday).

**VI. STAFF REPORT**

The Planning Department Staff will prepare a report to the Planning Commission regarding an application for Preliminary Site Plan Review, Final Site Plan Review or Special Use Permit. The report will explain the request and review whether it complies with the zoning standards of the Mason Code. Staff will present the findings of that report during the Planning Commission meeting. An applicant who wishes to obtain one (1) copy of that report, at no cost, prior to the meeting must provide a written request to the Planning Department. The report is generally complete on the Friday before the meeting and can be mailed to the applicant or picked up by the applicant in the Planning Department.

## Enclave at Rayner Ponds

### LEGAL DESCRIPTION

That part of S 1 /2 of Sec 4, T2N, R1 W & Lot 48, Assessor's Plat No, 1, City of Mason desc as: Com at NE Cor of Lot 110, Rayner Ponds Est No 3 being NOD28'58"E 1648.5 ft & S89D31'02"E 400.13 ft from S 1 /4 cor of Sec 4- N65D06'13"E 66 ft-NWly 165,22 ft alng 508 ft rad curve to It, chord brg N34D12'51 "W 164.5 ft to POB- Alng Nly In of Coppersmith Dr 409.05 ft on 508 ft rad curve to left, chord brg N66D35'57"W 398.08 ft- N89D40'W alng sd Nly In 204,08 ft-NOD28"58"E 675.27 ft- alng EW 1/4 In S89D40'E 204.62 ft to Cen of Sec- alng EW 1/4 In S89D23'32"E 730.04 ft- SOD36'28"W 50.22 ft- S6DDW 70 ft- S13D53'08"W 415.29 ft- S30DE 70 ft- S32D22'45"W 227.48 ft- S15DE 15.23 ft- SWly 116.82 ft alng 292.5 ft rad curve to It, chd brg S63D33'30"W 116.05 ft- S52D07'01"W 29.51 ft to POB, Sec 4, T2N R1W, City of Mason, 13.56 a.

May 30, 2018

City of Mason  
Planning Department  
201 W. Ash Street  
Mason, MI 48854

To whom it may concern:

I hereby authorize Giguere Homes to pursue approval from the Planning Department for the development of the parcel described in legal description below. I understand that Giguere Homes is seeking approval to develop this parcel into a subdivision containing 18 residential lots. See attached Exhibit 'A'

Sincerely,



David Belcovson  
Homestead Acceptance Corporation

LEGAL DESCRIPTION

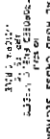
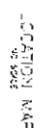
That part of S 1 / 2 of Sec 4, T2N, R1 W & Lot 48, Assessor's Plat No, 1, City of Mason desc as: Com at NE Cor of Lot 110, Rayner Ponds Est No 3 being NOD28'58"E 1648.5 ft & S89D31'02"E 400.13 ft from S 1 / 4 cor of Sec 4- N65D06' 13"E 66 ft-NWly 165.22 ft along 508 ft rad curve to It, chord brg N34D12'51 "W 164.5 ft to POB- Along Nly ln of Coppersmith Dr 409.05 ft on 508 ft rad curve to left, chord brg N66D35'57"W 398.08 ft- N89D40'W along sd Nly ln 204.08 ft-NOD28"58"E 675.27 ft- along EW 1/4 ln S89D40'E 204.62 ft to Cen of Sec- along EW 1/4 ln S89D23'32"E 730.04 ft- SOD36'28"W 50.22 ft- S6DDW 70 ft- 513D53'08"W 415.29 ft- S30DE 70 ft- S32D22'45"W 227.48 ft- S15DE 15.23 ft- SWly 116.82 ft along 292.5 ft rad curve to It, chd brg S63D33'30"W 116.05 ft- S52D07'01"W 29.51 ft to POB, Sec 4, T2N R1W, City of Mason, 13.56 a.



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| 100 | 647-M2000 |

# ENCLAVE AT RAYNER PONDS

ANALYT. Calcd for  $C_{10}H_{12}O_2$ : C, 80.0%; H, 8.0%. Found: C, 79.8%; H, 8.2%. IR (KBr): 1715 (C=O), 1640 (C=C), 1610 (C=C), 1580 (C=C), 1540 (C=C), 1500 (C=C), 1480 (C=C), 1460 (C=C), 1440 (C=C), 1420 (C=C), 1400 (C=C), 1380 (C=C), 1360 (C=C), 1340 (C=C), 1320 (C=C), 1300 (C=C), 1280 (C=C), 1260 (C=C), 1240 (C=C), 1220 (C=C), 1200 (C=C), 1180 (C=C), 1160 (C=C), 1140 (C=C), 1120 (C=C), 1100 (C=C), 1080 (C=C), 1060 (C=C), 1040 (C=C), 1020 (C=C), 1000 (C=C), 980 (C=C), 960 (C=C), 940 (C=C), 920 (C=C), 900 (C=C), 880 (C=C), 860 (C=C), 840 (C=C), 820 (C=C), 800 (C=C), 780 (C=C), 760 (C=C), 740 (C=C), 720 (C=C), 700 (C=C), 680 (C=C), 660 (C=C), 640 (C=C), 620 (C=C), 600 (C=C), 580 (C=C), 560 (C=C), 540 (C=C), 520 (C=C), 500 (C=C), 480 (C=C), 460 (C=C), 440 (C=C), 420 (C=C), 400 (C=C), 380 (C=C), 360 (C=C), 340 (C=C), 320 (C=C), 300 (C=C), 280 (C=C), 260 (C=C), 240 (C=C), 220 (C=C), 200 (C=C), 180 (C=C), 160 (C=C), 140 (C=C), 120 (C=C), 100 (C=C), 80 (C=C), 60 (C=C), 40 (C=C), 20 (C=C), 0 (C=C).



**EE ENCO STEAKS**  
**C OMONKINK**

401 E. 33rd St., Ste. 100, Chicago, IL 60616  
Tel: (312) 331-7665 Fax: (312) 331-7665

401 E. 33rd St., Ste. 100, Chicago, IL 60616  
Tel: (312) 331-7665 Fax: (312) 331-7665

HORIZ SCALE: 1" = 40'

SHEET = OF 1

Tasks

| Name                                     | Begin date | End date |
|--|------------|----------|
| Clear and Grub property                  | 3/4/19     | 3/22/19  |
| Mass grading                             | 3/25/19    | 4/19/19  |
| Storm drain installation                 | 4/22/19    | 5/10/19  |
| Water and sewer installation             | 5/13/19    | 5/31/19  |
| Gas and electric installation            | 6/3/19     | 6/21/19  |
| Finish grading of lots                   | 6/24/19    | 7/5/19   |
| Curb and Gutter installation             | 6/24/19    | 7/12/19  |
| Finish grading of road subsurface        | 7/15/19    | 7/26/19  |
| Install base material and asphalt paving | 7/29/19    | 8/9/19   |

## May 30, 2018



| March | April | May | June | July | August |
|-------|-------|-----|------|------|--------|
|-------|-------|-----|------|------|--------|

| Name                                       | Begin date | End date |
|--|------------|----------|
| ○ Clear and Grub property                  | 3/4/19     | 3/22/19  |
| ○ Mass grading                             | 3/25/19    | 4/19/19  |
| ○ Storm drain installation                 | 4/22/19    | 5/10/19  |
| ○ Water and sewer installation             | 5/13/19    | 5/31/19  |
| ○ Gas and electric installation            | 6/3/19     | 6/21/19  |
| ○ Finish grading of lots                   | 6/24/19    | 7/5/19   |
| ○ Curb and Gutter installation             | 6/24/19    | 7/12/19  |
| ○ Finish grading of road subsurface        | 7/15/19    | 7/26/19  |
| ○ Install base material and asphalt paving | 7/29/19    | 8/9/19   |





A SUBDIVISION OF PART OF THE SOUTH 1/2 OF SECTION 4,  
T2N, R1W, CITY OF MASON, INGHAM COUNTY, MICHIGAN

VEVAY TOWNSHIP

1. ALL LOTS TO BE SERVED WITH PUBLIC  
SANITARY SEWER, PUBLIC WATER AND PUBLIC  
STORM SEWER.

2. MINIMUM LOT SIZE  
LOT WIDTH 75'  
AREA 9600 SQUARE FEET  
3. SETBACKS  
FRONT= 25'  
REAR= 35'  
SIDE= 10'

4. TOTAL ACREAGE= 13.5± ACRES

5. PROPERTY ZONED RS-2

6. CONTAINING 19 LOTS, NUMBERED 1-19  
AND 1 PRIVATE PARK

7. ALL LOTS CONTAIN AT LEAST 9600 SQUARE FEET EXCLUDING LAND CLASSIFIED AS WETLAND. FOR EXAMPLE LOT 8 IS 15,253 SQFT WITHIN THE LOT LINES, OF WHICH 5240 SQFT IS CLASSIFIED AS WETLAND, SO  $15,253 - 5240 = 10,013$  SQFT IS BUILDABLE AREA.

8. PROPOSED TEMPORARY TURNAROUND HAS SAME DIMENSIONS AND PAVEMENT SECTION AS THE CITY'S STANDARD CULDESAC. A TEMPORARY EASEMENT WILL BE PROVIDED FOR THE PART THAT IS OUTSIDE THE 66 FOOT WIDE STREET RIGHT OF WAY. THIS EASEMENT WILL TERMINATE UPON THE EXTENSION OF THE PUBLIC STREET.

9. WETLAND LIMIT WAS DETERMINED AND FLAGGED BY MARX WETLAND, LLC.

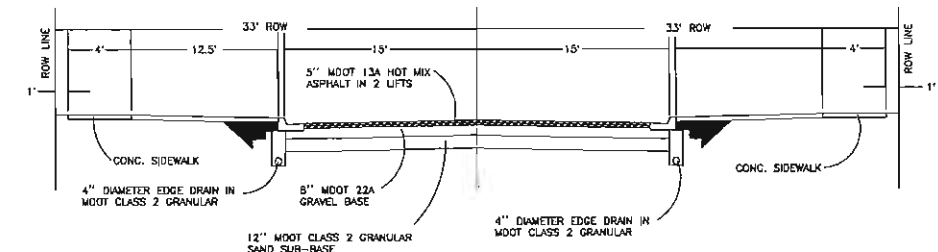
LEGAL DESCRIPTION - PARCEL NUMBER 33-19-10-04-401-005

The part of S 1/2 of Sec 4, T2N, R1W & Lot 4B, Assessor's Plat No. 1, City of Mason does as: Corn at NE cor of Lot 11D, Rayner Ponds Est No 4, bearing N002°58'58" E 1G48.5 ft & S8903°02' E 400.13 ft from S 1/4 of Sec 4 - N6500°13' E 56.1 ft-NWly 165.22 ft along S08 ft rad curve to lt, chord brg N34°02'51" W 164.5 ft to P08 - Along Nly in of Coppermith Dr 409.05 ft on S08 ft rad curve to left, chord brg N86°33'57" W 398.0 ft - N8904°0' W along sd Nly in 204.08 ft - N0028°58' E 675.27 ft - along Ely 1/4 In S89°04'02" 204.52 ft to Can of Sec - along Ely 1/4 In S89°02'32" E 730.04 ft - S00S°28' W 50.22 ft - S600W 70 ft - S1305°08' W 415.29 ft - S300E 70 ft - S32022°45' W 227.48 ft - S150E 15.23 ft - SWly 118.82 ft along 292.5 ft rad curve to lt, chd brg S63°30'30" W 116.05 ft - S52007°01' W 55.1 ft to P08, Sec 4, T2N R1W, City of Mason. 13.56 a.

CURRENT PROPERTY OWNER  
HOMESTEAD ACCEPTANCE CORP  
37308 VAN DYKE  
STERLING HEIGHTS MI 48077

FUTURE OWNER AND PROPRIETOR  
GIGUERE HOMES  
6200 PINE HOLLOW DRIVE STE 100  
EAST LANSING MI 48823

ENGINEER AND SURVEYOR  
RON ENGER PS PE  
ENER SURVEYING AND ENGINEERING  
805 N CEDAR ROAD PO BOX 87  
MASON MI 48854

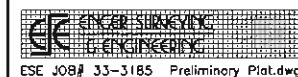


TYPICAL ROAD CROSS SECTION

NO SCALE  
PROPOSED PUBLIC STREETS  
APPLIES TO  
VICTORIA CIRCLE

PLAN DATE: JUNE 15, 2018

| DATE | REVISIONS |
|------|-----------|
|      |           |
|      |           |
|      |           |
|      |           |



ENGER SURVEYING & ENGINEERING  
 805 N. CEDAR PO BOX 87  
 WASON, MICHIGAN 48854-0087  
 517-678-6565  
 FAX 517-678-6675

PRELIMINARY PLAT  
ENCLAVE OF RAYNER PONDS  
DEVELOPER: GIGUERE HOMES  
8200 PINE HOLLOW DRIVE, 5TE 100  
EAST LANSING, MI 48823

HORIZ SCALE: 1" = 50'

SHEET 1 OF 1