



PLANNING COMMISSION
Sycamore Room– 1st Floor
201 West Ash Street, Mason MI
TUESDAY, DECEMBER 11, 2018 - 6:30 P.M.

AGENDA

1. **CALL TO ORDER**
2. **ROLL CALL**
3. **PUBLIC COMMENT**
4. **APPROVAL OF MINUTES** (October 9, 2018)
5. **UNFINISHED BUSINESS**
 - A. Development Update: Administrators Report
6. **NEW BUSINESS**
 - A. Resolution 2018-16: Brian Brady of Red Oak Holdings, LLC is requesting approval of a Final Site Plan for proposed new construction of a 24,287 sq. ft., three-story, mixed-use building to include mercantile, business and single-family residential, on property located at 154 W. Maple Street, parcel 33-19-10-08-233-021, City of Mason, Ingham Co. The proposal calls for the existing structure, which has been vacant for many years, to be demolished.
 - B. 2019 Planning Commission Appointments
 - a. Thank you to our outgoing commissioners: Lori Hagle, Ed Reeser
 - b. Announcing our incoming commissioners (January): Chris Greenshields, Mitch Perrault, Scott Shattuck
 - c. Re-appointments: John Sabaddin
 - d. Council Liaison: TBD January
7. **LIASON REPORT**
8. **ADJOURN**



PLANNING COMMISSION MEETING

MINUTES OF OCTOBER 09, 2018

DRAFT

Call to Order:

Sabbadin called the meeting to order at 6:30 p.m. in the Council Chambers at 201 W. Ash Street, Mason, Michigan.

Roll Call:

Present: Commissioners: (5) Hagle, Howe, Reeser, Sabbadin, Waxman

Absent: Commissioners: (3) Barna, Droscha, Feintuch

Also present: Elizabeth A. Hude, AICP, Community Development Director

Public Comments:

None.

Approval of Minutes:

Motion to approve both August 14, 2018 and September 25, 2018 minutes was made by Reeser, second by Waxman.

MOTION APPROVED UNANIMOUSLY

Public Hearing:

Resolution 2018-14 - Brian Brady, Red Oak Holdings, LLC, has requested an amendment to the Mason Code to amend Chapter 100 – Table 100-2 Building Dimensional Regulations to add footnote (14) under the maximum height allowed in a C-1 Central Business District stating: An additional 5'-0" maximum height may be added for residential occupancy, with a minimum 10'-0" setback from the front building face and a maximum square footage equal to 25% of the grade floor gross area.

OPEN: 6:33 p.m.

CLOSED: 6:36 p.m.

PUBLIC COMMENTS RECEIVED: YES

Public Comments/Discussion:

Chris Weir, with Studio Intrigue Architects, Lansing, MI and Representative for Brian Brady, spoke in favor of the ordinance. He stated that the staff report summed up the request. The request is directly related to their plan for new construction at 154 W Maple - the ordinance would accommodate their plan for the new building which seeks to honor the historical significance of the downtown. The ordinance provides design flexibility for their project and future projects. He said this will encourage economic growth, pedestrian activity and increase density per the goals of the Master Plan.

Jamie Robinson, 4748 W. Columbia Rd. Mason, MI is a building owner downtown. She noted she is very excited to see a building develop in downtown. She began purchasing property in downtown Mason around 2001. She has seen it grow to 55 apartments above retail and restaurants. She also mentioned that this project will add incentives for people to go downtown while reducing blight.

Jamie was also present as a DDA (Downtown Development Authority) Chair. She pointed out that this project would increase our tax base. She noted it is important to keep the look of downtown while adding contributors. She supports the ordinance.

Staff provided an overview of the request and that it is related to a specific project at 154 W Maple. She noted that the C1 District is the appropriate place for growth because the properties within the district are served by existing infrastructure.

Commissioner Howe asked if there was an ideal height increase with a step back. Staff discussed massing, perspective, and proportion between the height building and the sidewalk. With a step back, additional height is possible without losing the character of a four-story building. It was brought up that this maybe an issue to look at more closely in future development. This can be brought up in site plan review.

Commissioner Waxman asked for clarification on the reason for the existing ordinance. Is it all about the ability to see the courthouse and aesthetics? Staff responded stating that was the assumption in the analysis. There is a unique sensitivity because of the courthouse.

Commissioner Waxman continued by asking if there are any public safety reasons for how tall a building needs to be. Staff responded that they did not find any documentation for how the height was arrived at but suspected it was likely determined by the prevalent existing height of buildings built long before zoning, as well as the sensitivity to keeping heights at a level that protected the view of the courthouse, and the reach of fire truck ladders.

Commissioner Hagle asked to verify the height of the Hilliard Building. Staff confirmed the height was just over 42' as confirmed by the County Staff Facilities Manager.

Commissioner Reeser asked about the height restrictions of the downtown District. Staff responded that there is not a specific ordinance protecting historic views in Mason but that precedent exists for doing so. Moreover, there is time to flesh out that question because it needs to go to City Council for two readings.

Commissioner Sabbadin stated he was okay with the five-foot increase.

Commissioner Waxman stated this is a reasonable recommendation. He then asked further if the Commission should look at expanding building options in the district, observing the recommendations made by staff in the report – remove restriction for residential, increase to a full story and greater percentage of area.

Commissioner Reeser responded and recommended to accept the resolution as it is written, and that if the ordinance needed to be changed further, the Planning Commission can discuss in the future.

Commissioner Sabbadin agreed that the commission should not hold up the movement of this building associated with the ordinance. He further posed the idea that the Planning Commission needs to look at height restrictions more creatively. It is a great idea to move forward with this (the ordinance) with the intention that at the December meeting they look at the height restrictions in the C1 District. Moreover, he relayed that it is important to plan for the future.

Vote:

MOTION made by Waxman, second by Howe to approve Resolution 2018-14.

MOTION APPROVED UNANIMOUSLY

Unfinished Business:

<p>A. Resolution 2018- 10: Brian Brady, Red Oak Holdings, LLC has submitted a request for a special use permit and preliminary site plan approval for new construction of a 24,287 sq. ft., three-story, mixed-use building to include mercantile, business and single-family residential, on property located at 154 W. Maple Street, parcel 33-19-10-08-233-021, City of Mason, Ingham Co.</p>
<p>OPEN: July 10 CLOSED: July 10</p>
<p>Public Comments/Discussion: Staff provided an overview. This application was the subject of a public hearing on July 10. No public comments were received. The application was tabled at the request of the applicant to resolve the height limitations.</p> <p>Commissioner Waxman asked if the Historic District Commission has approved of the project. Staff responded yes.</p>
<p>Vote: MOTION made by Waxman, second by Howe to approve Resolution 2018-10. The resolution was amended on the floor to include a condition that City Council approve Ordinance 221.</p> <p><u>MOTION PASSED UNANIMOUSLY</u></p>

New Business:

None.

Admin Report/Workplan

Staff reviewed highlights from the Administrator's Report and Workplan contained in the packet.

Liaison Report:

There was not a liaison report. Council Liaison Droscha was absent from meeting.

Adjourn:

The meeting adjourned at 7:12 p.m.

Lori Hagle, Secretary



City of Mason Planning Commission

Staff Report

TO: Planning Commission
FROM: Elizabeth A. Hude, AICP, Community Development Director
SUBJECT: Final Site Plan Review – 154 W. Maple Street
DATE: December 11, 2018

Brian Brady, Red Oak Holdings, LLC has submitted a request for approval of a Final Site Plan for new construction of a 24,287 sq. ft., three-story, mixed-use building to include mercantile, business and single-family residential, on property located at 154 W. Maple Street, parcel 33-19-10-08-233-021, City of Mason, Ingham Co. The proposal calls for the existing structure, which has been vacant for many years, to be demolished. This is shown on plans as follows:

- Sheets 1-4, prepared by Keba, Inc., dated May 11, 2018 and last revised on November 19, 2018
- Sheets A-101-102 and A-301-302, prepared by Studio Intrigue Architects, LLC, dated April 27, 2018 and last revised on November 19, 2018.
- Sheet A-103 prepared by Studio Intrigue Architects, LLC, dated March 27, 2018 and last revised on November 19, 2018.

LAND USE AND ZONING

The development is proposed on a parcel zoned C-1 (Central Business District). Section 94-222 states that any use permitted in this district requires site plan review and Section 94-141(7) states that any use permitted in the district involving one or more structures that occupy, either individually or collectively, more than 15,000 square feet of gross floor area requires a Special Use Permit. Section 94-191(e) states that a preliminary site plan must be submitted with the application for a Special Use Permit.

A Special Use Permit/Preliminary Site Plan was approved by the Planning Commission on October 9, 2018 (Resolution No. 2018-10). That staff report is attached.

The site fronts on West Maple Street and is also within the boundaries of both the Historic District and the Downtown Development Authority. The surrounding land uses and zoning are as follows:

	Current Land Use	Zoning	Future Land Use
North	Residential	O-1 (Office District)	Residential
East	Commercial	C-1 (Central Business District)	Commercial
South	Commercial	C-1 (Central Business District)	Commercial
West	Commercial	C-1 (Central Business District)	Commercial

The application was submitted to the Historic District Commission (HDC) as required by the City's Ordinance, Chapter 31 Historic Preservation. ***The HDC reviewed the proposal and approved a certificate of appropriateness at their meeting on June 18, 2018.***

REVIEW OF SUBMITTAL

Height, Bulk, Density, and Area Requirements

Overall the plan appears to meet the building height, setbacks and lot coverage site development standards listed in Section 94-121(c) and Tables 100-1 and 100-2. ***On November 12, 2018, City Council adopted Ordinance 221 amending Ch. 100, Table 100-2 to include a provision which would allow for the portion of the building that exceeds the 45' height limit to be allowed by right.***

Circulation

The proposed building is adequately served by infrastructure that supports the safe and orderly circulation of motorized and non-motorized traffic - it fronts onto a four-lane public right of way supporting two lanes for bi-directional traffic, two lanes of on-street parking and a sidewalk. CATA route #46 is available one block east on Jefferson St.

Loading

There shall be no requirement of loading or unloading space in the C-1 district for property with direct access to an alley. (§94-293(c)). The site currently has direct access to an alley and therefore is exempt from the loading space requirement.

Off-Street Parking

§94-292(h)(1) Uses in the C-1 district states that there shall be no off-street parking space requirements in the C-1 district for those uses which require 20 or less off-street parking spaces. Uses requiring more than 20 off-street parking spaces shall have their parking requirement determined by the planning commission. In making such a decision, the planning commission shall consider the availability of both public and private parking spaces.

Based upon the requirements of Table 100-5 Parking space requirements, 54 parking spaces are required to support the uses in the development, three of which are to be barrier free. This is detailed in the parking calculation (Table 1) below. The applicant is providing four private parking spaces dedicated to the residence on the third floor. Tenants are yet to be determined for the first and second floors, therefore, parking space requirements are an estimate based upon the intended uses.

Staff finds that there appears to be sufficient parking available in the surrounding public lots and on-street spaces to accommodate the proposed uses and recommends that the planning commission modify the number of required spaces to 24 based upon the following facts:

- 1) Figure 1 displays five public parking lots within a two-block radius of the site (roughly 780 feet) as well as the on-street parking, providing over 618 public parking spaces. There are four barrier-free spaces within 300 feet of the site. The city has three active parking permits, one per car, to allow over-night parking in the public lots (residential use). Those spaces will likely be vacant during the day as peak hour use for residential is typically the opposite of traditional peak hours for retail and office.
- 2) There are an estimated 250 +/- private parking spaces dedicated to businesses downtown.
- 3) A parking study was completed as part of a 2009 Downtown Marketing Analysis by McKenna Associates. Based on their recommendation, a calculation of 3.23 for 1,000 sq. ft. of useable floor

Landscaping

A landscape buffer is not required for uses in the C-1 district as shown in Table 100-4. Landscape Buffer Classification Matrix.

Signs

Signs are depicted on the elevation drawings. They will be evaluated further as part of the building permit review for compliance with the requirements of Chapter 58 of the Zoning Ordinance, including Division 2 of said chapter.

Site Lighting

No lighting on or near the building is indicated on the plan except for the public street lights. Staff recommends the applicant confirm if lighting will be installed. Staff would also like clarification on the landlord's policy regarding tenant lighting during hours when those uses are closed. Will lights be on inside 24/7?

Construction Schedule

The applicant has provided a construction schedule and construction staging area layout. Staff will hold a pre-construction meeting with the applicant to review the construction schedule, construction staging layout, and a plan to minimize disruption to businesses, residents and traffic through the area.

PUBLIC SERVICES AND FACILITIES

Water and Sanitary Sewer

The site is currently served with water and sanitary sewer. Lead sizes shall be noted on the construction plans per the City Engineer's comments, letter dated June 26, 2018.

Storm Water Management

There appears to be no change in impervious lot coverage between the existing site and the proposed development. Therefore, storm water runoff remains unchanged. See City Engineer's comments, letter dated June 26, 2018

AGENCY COMMENTS – *See Staff Report from October 9, 2018.

Police	No comments or concerns at this time.
Fire	No comments or concerns at this time.
City Engineer/DPW	See letter dated June 26, 2018*
Ingham County Drain Commissioner	See letter dated June 14, 2018*
Historic District Commission	The HDC reviewed the proposal and approved a Certificate of Appropriateness on June 18, 2018.

SITE PLAN REVIEW STANDARDS

In reviewing an application for site plan review and approval the following standards of Sec. 94-227 shall apply:

- (1) The site shall be developed so that all elements shall be harmoniously and efficiently organized in relation to the size, shape, type and topography of the site and surrounding property. **The Historic District Commission issued a Certificate of Appropriateness on June 18, 2018 which serves as a finding of fact that the development will meet this criterion.***
- (2) The site shall be developed so as not to impede the normal and orderly development, improvement, and use of surrounding property for uses permitted in this chapter. **Once complete,***

the development will be a substantial improvement to the area and meet this criterion. A maintenance of traffic/business plan will need to be implemented during construction to maintain normal and orderly use for surrounding properties.

- (3) *All buildings or groups of buildings shall be arranged to permit emergency vehicle access by some practical means to all sites. The building fronts on Maple Street, a public right of way, and is also accessible via the public alley to the north. Police and Fire departments have expressed no concerns.*
- (4) *Every structure or dwelling unit shall have direct access to a public street or indirect access to a public street via an approved dedicated private street. The building fronts on Maple Street, a public right of way.*
- (5) *Appropriate measures shall be taken to ensure that the addition or removal of surface waters will not adversely affect neighboring properties that controls are in place to minimize sedimentation and erosion, and that topographic alterations are minimized to accommodate storm water management. The proposed storm water management plan is consistent with its current use and appears to meet this criterion. (Letter dated June 26, 2018)*
- (6) *Provisions shall be made for the construction of storm sewer facilities including grading, gutters, piping, on-site storage, and treatment of turf as required to handle storm water and prevent erosion. The proposed storm water management plan is consistent with its current use and appears to meet this criterion.*
- (7) *Secondary containment for above ground areas where hazardous substances are stored or used shall be provided as required by the city fire chief. No hazardous substances appear to be stored or used by this development. The Fire Chief did not express concerns.*
- (8) *Exterior lighting shall be designed and located so that the source of illumination is directed away from adjacent properties, the intensity of lighting is the minimum necessary, and the direction of lighting is downward as much as is possible and appropriate for the project. No external lighting appears to be proposed. Confirmation of night time illumination from within the building is recommended prior to approval.*
- (9) *All loading and unloading areas, outside storage areas, and refuse receptacles shall be screened from casual view from the public rights-of-way and adjoining land uses. The development has access to an alley and therefore no loading area is required. Refuse for private residential use appears to be contained inside the private garage. It is not clear how refuse will be managed on-site for the remaining uses. Staff recommends clarification prior to approval.*
- (10) *Site plans shall meet the driveway, traffic safety, and parking standards of the city in such manner as necessary to address the following:*
 - a. *Safe and efficient vehicular and non-vehicular circulation, including parking areas, non-motorized linkages to abutting parcels, uses, sidewalks, and trails.*
 - b. *Shared driveways and service drives.*
 - c. *Adequate and properly located utilities.*

The site is served with existing infrastructure to support circulation, traffic safety, utilities and parking.

- (11) *Provisions shall be made for proposed common areas and public features to be reasonably maintained. The site plan shows the demolition and restoration plan for areas of the public sidewalk and alley which appear to meet this criterion.*
- (12) *The site plan submittal shall demonstrate compliance with all applicable requirements of this chapter, chapters 58 and 74, the building code, and county, state, and federal law. The final site plan appears to meet this requirement. Compliance with the building code will be determined by the Building Official during the review of the building permit application.*

ACTION

§94-226. Final site plan review and approval.

The planning commission shall have the authority to approve, approve with conditions, or deny an application for final site plan review and approval.

§94-229. Extension of site plan approval.

Approvals of a final site plan are valid for a period of 12 months. Only one extension of a final site plan may be granted for an additional 12 months at the sole discretion of the approving authority. A final site plan is deemed to have expired if a building permit has not been obtained for the development within 12 months of approval of the final site plan. A request to extend preliminary or final site plan validity shall be submitted prior to the expiration of the preliminary or final site plan.

§94-230. Conformance to approved site plan.

A development project shall conform to the approved final site plan. Failure to conform to the approved final site plan shall constitute a violation of this chapter. ***However, amendments to an approved site plan can be made subject to the provisions of §94-228 Amendments to an approved site plan.***

§94-231. Review standards for planning commission decision.

(a) A decision rejecting, approving, or conditionally approving a site plan shall be based upon requirements and standards contained in the zoning ordinance, other statutorily authorized and properly adopted local unit of government planning documents, other applicable ordinances, and state and federal statutes.

(b) A site plan shall be approved if it contains the information required by the zoning ordinance and is in compliance with the conditions imposed under the zoning ordinance, other statutorily authorized and properly adopted local unit of government planning documents, other applicable ordinances, and state and federal statutes.

The following motion is offered for consideration:

MOTION

Motion to approve Resolution 2018-16 which includes the following conditions:

1. An approved Right of Way Permit including a construction schedule, construction staging and maintenance of traffic plan will be submitted to the Community Development Director prior to obtaining a building permit.
2. A final as-built plan verifying compliance with the final site plan with location of utilities will be submitted to the Community Development Director prior to issuance of a final Certificate of Occupancy.

Attachments:

1. Resolution 2018-16
2. Application
3. Site Plan
4. SUP Staff Report from October 9, 2018

Introduced:
Second:

**CITY OF MASON
PLANNING COMMISSION RESOLUTION No. 2018-16**

**APPROVE FINAL SITE PLAN TO CONSTRUCT A 24,287 SQ. FT., THREE-STORY,
MIXED-USE BUILDING TO INCLUDE MERCANTILE, BUSINESS AND SINGLE-
FAMILY RESIDENTIAL, ON PROPERTY LOCATED AT 154 W. MAPLE STREET IN
THE CITY OF MASON
December 11, 2018**

WHEREAS, a request has been received from Brian Brady, Red Oak Holdings, LLC for a special use permit and preliminary site plan approval for new construction of a 24,287 sq. ft., three-story, mixed-use building to include mercantile, business and single-family residential, on property located at 154 W. Maple Street in the City of Mason; and

WHEREAS, the proposal was shown on plans submitted:

- Sheets 1-4, prepared by Kebs, Inc., dated May 11, 2018 and last revised on November 19, 2018
- Sheets A-101-102 and A-301-302, prepared by Studio Intrigue Architects, LLC, dated April 27, 2018 and last revised on November 19, 2018.
- Sheet A-103 prepared by Studio Intrigue Architects, LLC, dated March 27, 2018 and last revised on November 19, 2018.

WHEREAS, the subject property is further described as Parcel number 33-19-10-08-233-021: E 22 FT OF LOT 7 & W 3/4 OF LOT 8 EXC E 5 1/2 FT THEREOF, BLOCK 7, SEC 8 T2N R1W CITY OF MASON, INGHAM CO; and

WHEREAS, the parcel is zoned C-1 (Central Business District); and

WHEREAS, Section 94-222 states that any use within the C-1 zoning district requires site plan review; and

WHEREAS, the Planning Commission accepts the staff report dated December 11, 2018 as findings of fact that, with the conditions listed herein, the plans will comply with the Site Plan Review Standards listed in Section 94-227 of the Mason Code; and

WHEREAS, the Planning Commission has determined the parking requirement to be 24 with four spaces provided on site and the remaining 20 available in surrounding off-site parking areas; and

WHEREAS, approval is granted with the following conditions:

1. An approved Right of Way Permit including a construction schedule, construction staging and maintenance of traffic plan will be submitted to the Community Development Director prior to obtaining a building permit.
2. A final as-built plan verifying compliance with the final site plan with location of utilities will be submitted to the Community Development Director prior to issuance of a final Certificate of Occupancy.

NOW THEREFORE BE IT BE RESOLVED, that the Mason Planning Commission does hereby approve a Final Site Plan review to construct a 24,287 sq. ft., three-story, mixed-use building to include mercantile, business and single-family residential, on property located at 154 W. Maple Street.

Yes (0)

No (0)

Absent (0)

Vacant (0)

CLERK'S CERTIFICATION: I hereby certify that the foregoing is a true and accurate copy of a resolution adopted by the Planning Commission at its regular meeting held Tuesday, December 11, 2018, the original of which is part of the Planning Commission minutes.

Sarah J. Jarvis, Clerk
City of Mason
Ingham County, Michigan



APPLICATION – SITE PLAN REVIEW/SPECIAL USE PERMIT

City of Mason

Planning Department • 201 W. Ash Street • Mason, MI 48854

Phone: 517/676-9155 • Fax: 517/676-1330

www.mason.mi.us

Applicant– Please check one of the following:

☒ Preliminary Site Plan Review

☒ Final Site Plan Review

Special Use Permit*

Administrative Review

* includes Preliminary Site Plan Review

PLANNING DEPARTMENT USE ONLY

Application Received: _____

Tax ID: _____

Fee: _____

Receipt #: _____

I. APPLICANT INFORMATION

Name Brian Brady, Red Oak Holdings, LLC

Organization N/A

Address 2111 University Park Dr, Suite 650, Okemos, MI 48864

Telephone Number 517-347-4141 Facsimile Number 517-347-4675

Interest in Property (owner, tenant, option, etc.) Owner

Note: If applicant is anyone other than owner, request must be accompanied by a signed letter of authorization from the owner.

II. PROPERTY INFORMATION

Owner Red Oak Holdings, LLC Telephone Number 517-347-4141

Property Address 2111 University Park Dr, Suite 650, Okemos, MI 48864

Legal Description: If in a Subdivision: Subdivision Name _____ Lot Number _____

If Metes and Bounds (can be provided on separate sheet): _____

See attached civil drawings for legal description.

APPLICANT CERTIFICATION

By execution of this application, the person signing represents that the information provided and the accompanying documentation is, to the best of his/her knowledge, true and accurate. In addition, the person signing represents that he or she is authorized and does hereby grant a right of entry to City officials for the purpose of inspecting the premises and uses thereon to verify compliance with the terms and conditions of any Special Use Permit and/or Site Plan approval issued as a result of this application.

Signature _____

Date 5/25/18

III. REQUEST DESCRIPTION

A. Written Description – Please use this section to describe the use or uses proposed. Attach additional pages, if necessary.

Proposed, new construction of a 3 story, mixed-use building. Uses include mercantile, business and single-family residential.

B. Available Services

Public Water ☒ YES ☐ NO
Public Sanitary Sewer ☒ YES ☐ NO

Paved Road (Asphalt or Concrete) ☒ YES ☐ NO
Public Storm Sewer ☒ YES ☐ NO

C. Estimate the Following - to be determined, dependent on tenants.

Traffic Generated _____ Total Employees _____ Shifts _____
Population Increase _____ Employees in Peak Shift _____
Hours of Operation _____ AM to _____ PM Total Bldg. Area Proposed _____
_____ day through _____ day Parking Spaces Provided _____

D. Project Phasing

This project will be completed in: ☒ One Phase ☐ Multiple Phases – Total No. of Phases: _____

Note: The phases of construction for multi-phase projects must be shown on the site plan

IV. APPLICATION MATERIALS

The following are checklists of items that generally must be submitted with applications for Preliminary Site Plan Review, Final Site Plan Review, and Special Use Permits. Applicants should review Articles VI and VII of Chapter 94 of the Mason Code for a complete listing of application requirements. All site plan drawings must comply with the requirements of Section 94-226(d) of the Zoning Ordinance. Incomplete applications will not be processed.

- ☒ Completed application form
- ☒ 20 copies of site plan drawings is larger than 11" x 17" (30 copies for Special Use Permits)
- ☒ 1 – 11" x 17" copy of the site plan
- ☒ Plans submitted on CD (Commercial only)
- ☒ Legal description
- ☒ Proof of ownership/owner authorization
- ☐ Construction schedule for proposed project
- ☐ Construction calculations for utilities
- ☒ Fee (see below)
- ☒ Any other information deemed necessary

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to be determined

Application Fee – all requests must be accompanied by a fee, as established by the City Council. The fee schedule for Preliminary Site Plan Reviews, Final Site Plan Reviews, and Special Use Permits is as follows (As of October 16, 2006):

<u>Administrative Reviews</u>	\$70.00
<u>Preliminary Site Plan Reviews</u>	\$200.00
<u>Final Site Plan Review</u>	\$100.00
<u>Special Use Permits</u> (includes preliminary site plan review)	\$275.00
<u>Engineering Review</u>	\$220.00*

*Two-hour minimum fee for projects increasing demand on public utilities. Actual fees incurred are billed to applicant upon completion of review.

V. APPLICATION DEADLINES

Preliminary Site Plan/Special Use Permit Review – Applications for Preliminary Site Plan Review may be submitted at any time. Complete applications must be received a minimum four (4) weeks prior to a Planning Commission meeting to be placed on the agenda. Upon receipt of a complete application, a public hearing will be scheduled for the next regularly scheduled meeting (for Special Use Permits only). The Planning Commission has the final authority to approve, approve with conditions or deny an application for Preliminary Site Plan/Special Use Permit Review. The Planning Department staff will issue a letter to the applicant advising of any changes or revisions that may be necessary prior to making application for Final Site Plan Review.

Final Site Plan Review – Complete applications must be received a minimum of four (4) weeks prior to a Planning Commission meeting to be placed on an agenda. The Planning Commission has the final authority to approve, approve with conditions or deny an application for Final Site Plan Review. Planning Commission meetings are held on the second Tuesday after the first Monday of every month, unless the Tuesday is a Township recognized holiday, in which case the meeting is held on the following day (Wednesday).

VI. STAFF REPORT

The Planning Department Staff will prepare a report to the Planning Commission regarding an application for Preliminary Site Plan Review, Final Site Plan Review or Special Use Permit. The report will explain the request and review whether it complies with the zoning standards of the Mason Code. Staff will present the findings of that report during the Planning Commission meeting. An applicant who wishes to obtain one (1) copy of that report, at no cost, prior to the meeting must provide a written request to the Planning Department. The report is generally complete on the Friday before the meeting and can be mailed to the applicant or picked up by the applicant in the Planning Department.

154 W MAPLE MASON, MI 48854 (Property Address)Parcel Number: 33-19-10-08-233-021 [Click here to view local unit data for this parcel](#)

Item 1 of 1

[0 Images / 1 Sketch](#)**Property Owner: RED OAK HOLDING LLC****Summary Information**

- > Commercial/Industrial Building Summary
 - Yr Built: N/A
 - # of Buildings: 1
 - Total Sq.Ft.: 13,992
- > Property Tax information found
- > Assessed Value: \$52,330 | Taxable Value: \$52,330

Access additional record information for a small convenience fee. *> Additional areas of information include: *Delinquent Tax Information*[Show Purchase Options](#)

* Additional record information is free for all homeowners, click the 'Show Purchase Options' button for more information.

Owner and Taxpayer Information

Owner	RED OAK HOLDING LLC 2111 UNIVERSITY PARK DR STE 650 OKEMOS, MI 48864	Taxpayer	SEE OWNER INFORMATION
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General Information for Tax Year 2018

Property Class	COMMERCIAL - IMPROVED	Unit	33-19 CITY OF MASON
School District	MASON	Assessed Value	\$52,330
MAP #	10-8D	Taxable Value	\$52,330
USER NUM IDX	0	State Equalized Value	\$52,330
USER ALPHA 1	<i>Not Available</i>	Date of Last Name Change	10/31/2017
USER ALPHA 3	<i>Not Available</i>	Notes	<i>Not Available</i>
Historical District	<i>Not Available</i>	Census Block Group	<i>Not Available</i>
USER ALPHA 2	<i>Not Available</i>	Exemption	<i>No Data to Display</i>

Principal Residence Exemption Information**Homestead Date** *No Data to Display*

Principal Residence Exemption	June 1st	Final
2018	0.0000 %	-
2017	0.0000 %	0.0000 %

Previous Year Information

Year	MBOR Assessed	Final SEV	Final Taxable
2017	\$50,000	\$50,000	\$50,000
2016	\$94,710	\$94,710	\$79,513
2015	\$89,170	\$89,170	\$79,276

Land Information

Zoning Code	C1	Total Acres	0.200
Land Value	\$28,344	Land Improvements	\$170
Renaissance Zone	No	Renaissance Zone Expiration Date	<i>No Data to Display</i>
ECF Neighborhood	225 COMMERCIAL DOWNTOWN	Mortgage Code	<i>No Data to Display</i>
Lot Dimensions/Comments	<i>No Data to Display</i>	Neighborhood Enterprise Zone	No

Lot(s)	Frontage	Depth
No lots found.		
Total Frontage: 0.00 ft		Average Depth: 0.00 ft

Legal Description

E 22 FT OF LOT 7 & W 3/4 OF LOT 8 EXC E 5 1/2 FT THEREOF, BLOCK 7, SEC 8 T2N R1W CITY OF MASON, INGHAM CO

Land Division Act Information

Date of Last Split/Combine	09/02/2010	Number of Splits Left	0
Date Form Filed	<i>No Data to Display</i>	Unallocated Div.s of Parent	0
Date Created	01/01/2011	Unallocated Div.s Transferred	0
Acreage of Parent	0.00	Rights Were Transferred	<i>Not Available</i>
Split Number	0	Courtesy Split	<i>Not Available</i>
Parent Parcel	33-19-10-08-233-019		

Sale History

Sale Date	Sale Price	Instrument	Grantor	Grantee	Terms of Sale	Liber/Page
10/12/2017	\$105,000.00	WD	154 WEST MAPLE LLC	RED OAK HOLDING LLC	ARMS LENGTH	2017-039428
06/15/2011	\$49,500.00	WD	SCHAFER JACK & LINDA	154 W MAPLE LLC	ARMS LENGTH	3425 / 1244

Building Information - 13992.00 sq ft Stores - Retail (Commercial)

Floor Area	13,992 sq ft	Estimated TCV	\$76,143
Occupancy	Stores - Retail	Class	C
Stories Above Ground	2	Average Story Height	12 ft
Basement Wall Height	4 ft	Identical Units	<i>Not Available</i>
Year Built	<i>Not Available</i>	Year Remodeled	<i>Not Available</i>
Percent Complete	0%	Heat	Forced Air Furnace
Physical Percent Good	35%	Functional Percent Good	45%
Economic Percent Good	100%	Effective Age	53 yrs

****Disclaimer:** BS&A Software provides BS&A Online as a way for municipalities to display information online and is not responsible for the content or accuracy of the data herein. This data is provided for reference only and WITHOUT WARRANTY of any kind, expressed or inferred. Please contact your local municipality if you believe there are errors in the data.

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154 W. MAPLE ST. MIXED USE

MASON, MI 48854



PRELIMINARY RENDERING FOR ILLUSTRATIVE PURPOSES ONLY

CONSTRUCTION MANAGER

ERIC RHADIGAN
RHADIGAN & SONS, INC.
P.O. BOX 22
INDIAN RIVER, MI 49749
231-238-4449 PHONE
ERIC@RHADIGANHOMES.COM

STRUCTURAL ENGINEER

JDH STRUCTURAL ENGINEERING
ROLAND BOKMA, P.E., LEED AP.
3000 IVANREST SW SUITE B
GRANDVILLE, MI 49418
616-531-6020 x3020 PHONE
rbokma@jdheng.com

M/P CONSULTING ENGINEER

ME. DESIGN ASSOCIATES
THOMAS J. PARTAK, P.E.
LICENSE # 6201034926
211 SPENCER, NE.
GRAND RAPIDS, MI 49505
616-454-1181 PHONE
616-454-2242 FAX
INFO@M-EDESIGN.COM

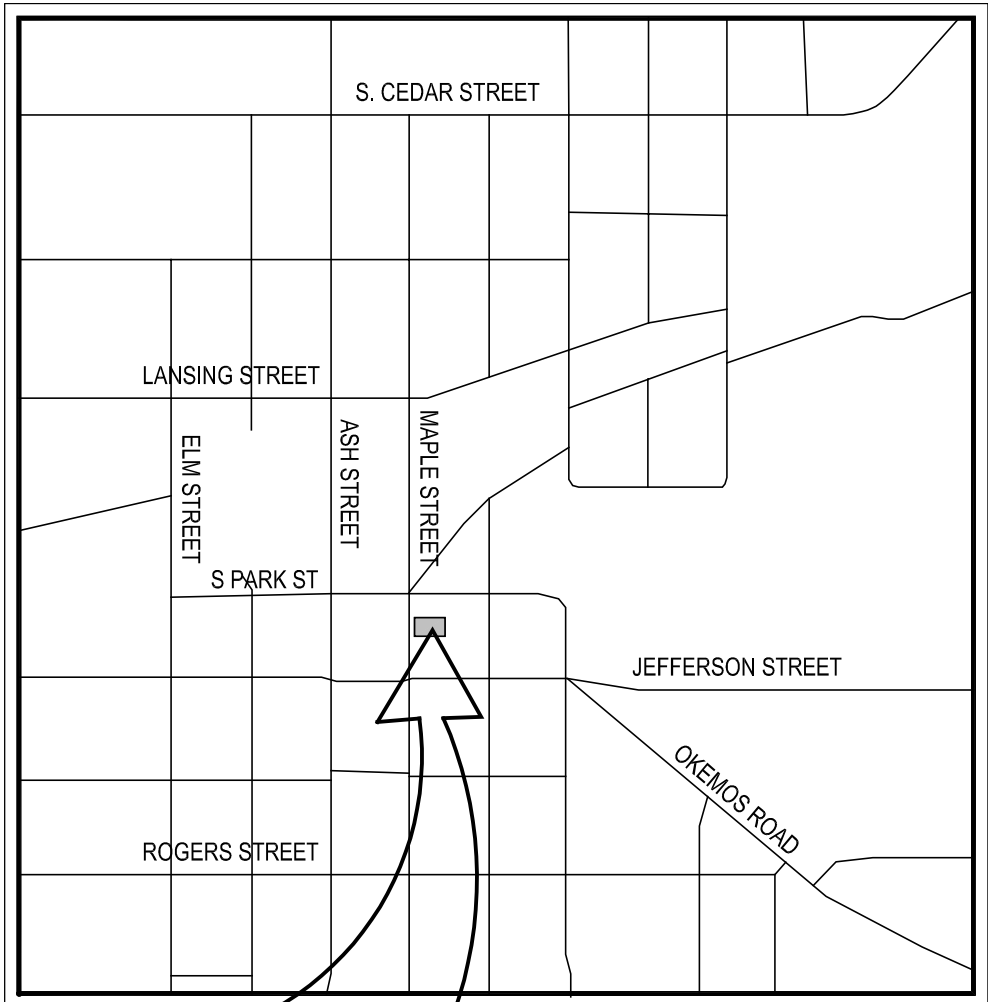
STUDIO [INTRIGUE] ARCHITECTS, LLC
KENNETH L. JONES, II, AIA, NCARB
LICENSE # 1301054003 (EXP. 10/31/19)
114 S. WASHINGTON AVE., #100
LANSING, MI 48210
517-372-8804 PHONE
517-372-8805 FAX
KEN@STUDIOINTRIGUE.COM

CIVIL ENGINEER

KEBS INC.
2116 HASLETT RD.
HASLETT, MI 48840
517-339-1014 PHONE

ELECTRICAL CONSULTANT

MOORE ELECTRICAL DESIGN LLC
LARRY W. MOORE
804 W. AMESBURY DRIVE
DEWITT, MI 48820
517-230-9578 PHONE
LARRY@MOORE2233@GMAIL.COM



SITE

LOCATION MAP

NOT TO SCALE

SHEET INDEX	
IX	SHEET INDEX
1	SITE AND UTILITY PLAN
2	STORM AND GRADING PLAN
3	EXISTING SURVEY PLAN
4	DEMOLITION PLAN
A-1-01	FIRST FLOOR PLAN / WALL TYPES
A-1-02	SECOND FLOOR PLAN
A-1-03	THIRD FLOOR PLAN / LOFT FLOOR PLAN / ROOM FINISH SCHEDULES
A-3-01	EXTERIOR ELEVATIONS - NORTH AND SOUTH / DETAILS
A-3-02	EXTERIOR ELEVATIONS - EAST AND WEST / ENVELOPE ENERGY CODE REQ'S
PREPARED BY	KEBS
DATE	11/19/18

PROJECT DATA	
APPLICABLE CODES	
BUILDING CODE	2015 MICHIGAN BUILDING CODE
MECHANICAL CODE	2015 MICHIGAN MECHANICAL CODE
PLUMBING CODE	2015 MICHIGAN PLUMBING CODE
ELECTRICAL CODE	2014 NATIONAL ELECTRIC CODE (WITH STATE OF MICHIGAN PART 8 AMENDMENTS)
ENERGY CODE	2015 MICHIGAN ENERGY CODE -- 2013 ASHRAE 90.1
ACCESSIBILITY	2008 ICC/ANSI A117.1 -- 2015 MI BLDG CODE CH. 11
GENERAL PROJECT DATA	
CONSTRUCTION TYPE	11-B
OCCUPANCY CLASSIFICATIONS (FIRST & SECOND FLOOR ARE SPECULATIVE)	FIRST FLOOR, M (MERCHANTILE), B (BUSINESS), S-2 (STORAGE) SECOND FLOOR, B (BUSINESS) THIRD FLOOR, R-3 RESIDENTIAL (1 UNIT)
FIRE SUPPRESSION	FULLY SPRINKLERED W/ NFPA 1B SYSTEM
FIRE ALARM SYSTEM	NOT REQUIRED
SMOKE DETECTION	REQUIRED AT R-3 USE PER NBC 907.2.11.2
ZONING	C-1 (CENTRAL BUSINESS DISTRICT)
BUILDING AREA (INSIDE EXTERIOR WALLS PER CODE - NOT FOR LEASING)	
GROSS AREA	FIRST FLOOR, 1484 S.F. SECOND FLOOR, 8064 S.F. THIRD FLOOR, 7482 S.F. TOTAL = 23,455 S.F.
AREA CALCULATIONS	
BASE TABULAR AREA IN ACCORDANCE WITH 2015 NBC TABLES 504.2 (BLDG HGT), 504.4 (NO OF STOREYS) AND 506.2 (FLOOR AREA) FLOOR AREA (SECOND FLOOR) = 8,064 S.F. x 69,900 S.F. BASE TABULAR (MOST RESTRICTIVE) BUILDING IS MIXED USE, NONSEPARATED PER NBC 508.3.1 B (BUSINESS) MOST RESTRICTIVE WITH A BASE TABULAR AREA OF 69,900 S.F.) 69,900 S.F. > 8,064 S.F. (OKAY)	
OCCUPANCY CALCULATIONS	
FIRST AND SECOND FLOOR - TO BE DETERMINED BASED ON GROUP OCCUPANCY THIRD FLOOR (GROUP R-3 OCCUPANCY) GROUP R-3 FLOOR AREA TABLE 1004.1.1 USE OCCUPANT LOAD, 7482 (69025) S.F. / 200 = 40 OCCUPANTS	

FOR ILLUSTRATIVE PURPOSES ONLY

THESE DRAWINGS ARE TO BE USED FOR ILLUSTRATIVE PURPOSES ONLY AND ARE NOT TO BE USED AS A BASIS FOR CONSTRUCTION OR ALTERATIONS.

STUDIO [INTRIGUE] ARCHITECTS, LLC EXPRESSLY DISCLAIMS ANY AND ALL LIABILITY FOR THE USE OF THESE DRAWINGS FOR ANY PURPOSE OTHER THAN THAT INTENDED BY THE ARCHITECT. THESE DRAWINGS SHALL BE REVIEWED BY THE CLIENT.

PRELIMINARY FOR CONSTRUCTION

Copyright 2018 Studio [Intrigue] Architects, LLC

Project Number
17.208

Sheet
IX

Client

RED OAK HOLDINGS

211 UNIVERSITY PARK DRIVE

W. MAPLE ST. MIXED USE

154 W. MAPLE ST
MASON, MI 48854

Project type

NEW CONSTRUCTION

Professional Seal of Kenneth L. Jones II, AIA, NCARB, License # 1301054003

studio [intrigue] ARCHITECTS

1114 S. WASHINGTON AVE. • SUITE 100 • LANSING • MICHIGAN • 48910
517.372.8804 PHONE • 517.372.8805 FAX • WWW.STUDIOINTRIGUE.COM

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04/27/18
11/19/18

DESIGN DEV. PACKAGE
SITE PLAN REVIEW

154 W. Maple
CITY OF MASON, INGHAM COUNTY, MICHIGAN

SITE DATA

PROPOSED MIXED USE BUILDING
EXISTING USE: MIXED USE BUILDING
TOTAL SITE AREA = 0.20 ACRES
ZONING: C-1 (CENTRAL BUSINESS DISTRICT)
ADJACENT ZONING: C-1

BUILDING SETBACKS

FRONT - 0 FEET
SIDES - 0 FEET
REAR - 0 FEET

BUILDING/UNIT DATA

SEE ARCHITECTURAL PLANS FOR FLOOR INFORMATION

PARKING

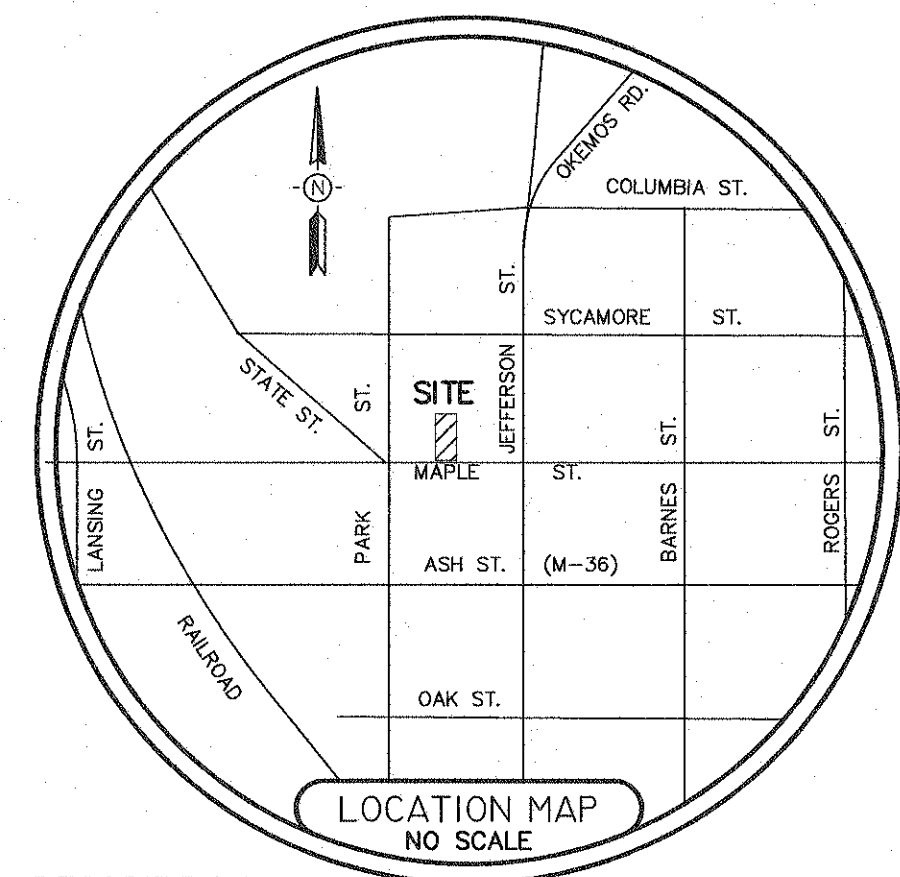
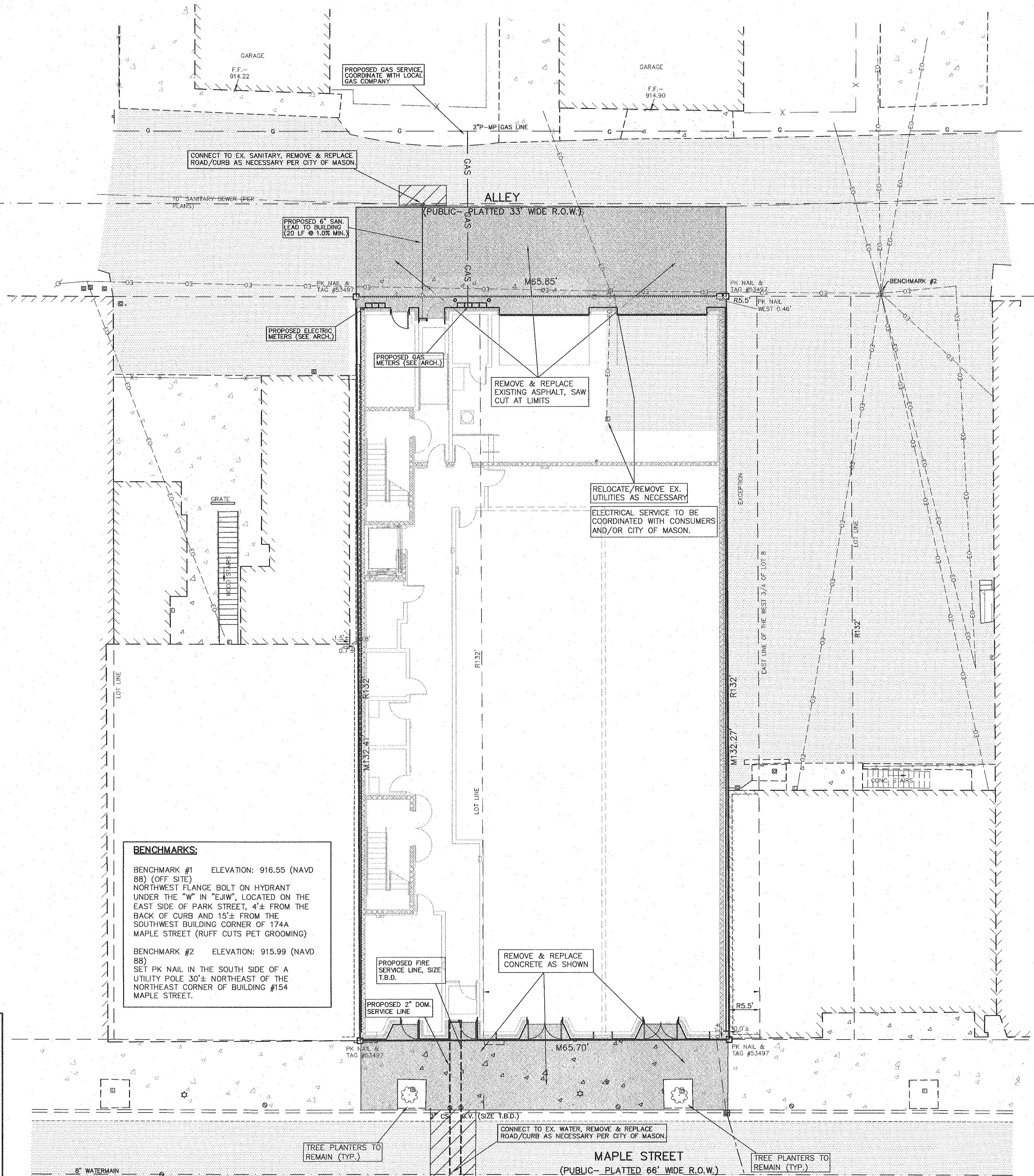
DOWNTOWN AREA, NONE PROVIDED ON-SITE

UTILITIES

WATER:
EX. SERVICE - CITY PUBLIC WATER MAIN
SANITARY:
EX. SERVICE - CITY PUBLIC SANITARY
STORM:
CITY STORM SEWER

NOTES

- LOCATE UTILITIES PRIOR TO INSTALLATION (COORDINATE W/ ENGINEER)
- AS-BUILT UTILITY LOCATIONS & ELEVATIONS MUST BE DELIVERED TO THE CITY ENGINEER UPON COMPLETION OF THE PROJECT



SCALE 1" = 10'
0' 10' 20' 30'

LEGAL DESCRIPTION:

(As provided):
The East 22 feet of Lot 7 and the West 3/4 of Lot 8 excluding the East 5.5 feet thereof, Block 7, Original Plat of City of Mason, Ingham County, Michigan, according to the recorded plat thereof, as recorded in Liber 37 of Deeds, Page 234, Ingham County Records.

APPLICANT:

Red Oak Holdings, LLC
2111 UNIVERSITY PARK DR.
SUITE 650
KEMOS, MI 48864

ARCHITECT:

Studio Intrigue Architects
1114 S. WASHINGTON AVE., STE 100
LANSING, MI 48910-1649
PH: (517) 372-8804
FAX: (517) 372-8805

ENGINEER/SURVEYOR:

KEBS, Inc.
2116 HASLETT RD.
HASLETT, MI 48840
PH: (517) 339-1014
FAX: (517) 339-8047

EX. LEGEND

- = SET 1/2" BAR WITH CAP
- = FOUND IRON AS NOTED
- = DEED LINE
- = DISTANCE NOT TO SCALE
- = FENCE
- = ASPHALT
- = CONCRETE
- = GRAVEL
- = EXISTING SPOT ELEVATION
- = EXISTING CONTOUR ELEVATION
- = SANITARY SEWER
- = STORM SEWER
- = WATER LINE
- = GAS LINE
- = UNDERGROUND TELEPHONE
- = UNDERGROUND TELEVISION
- = UNDERGROUND ELECTRIC
- = OVERHEAD WIRES
- = EDGE OF WOODS
- = DECIDUOUS TREE
- = CONIFEROUS TREE
- = BUSH
- = BUILDING OVERHANG
- = SANITARY MANHOLE
- = DRAINAGE MANHOLE
- = ELECTRIC MANHOLE
- = TELEPHONE MANHOLE
- = CATCHBASIN
- = SANITARY CLEANOUT
- = FIRE HYDRANT
- = VALVE
- = UTILITY POLE
- = LIGHT POLE
- = GUY POLE
- = GUY WIRE
- = UTILITY PEDESTAL
- = TRANSFORMER
- = HANDHOLE
- = ELECTRIC METER
- = GAS METER
- = WATER METER
- = SIGN
- = POST
- = AIR CONDITIONING UNIT

LEGEND

- PROPOSED WATER MAIN
- PROPOSED SANITARY SEWER
- PROPOSED STORM SEWER
- PROPOSED HYDRANT
- PROPOSED GATE VALVE
- PROPOSED SAN. M.H.
- PROPOSED STORM M.H.
- PROPOSED C.B.
- PROPOSED GRADES
- PROPOSED FIRST FLOOR ELEV.
- PROPOSED TOP OF CURB ELEV.
- PROPOSED TOP OF GROUND ELEV.
- PROPOSED TOP OF PAVT ELEV.
- PROPOSED TOP OF WALK ELEV.
- PROPOSED S.E.S.C. KEYING SYSTEM

BENCHMARKS:

BENCHMARK #1 ELEVATION: 916.55 (NAVD 88) (OFF SITE)
NORTHWEST FLANGE BOLT ON HYDRANT UNDER THE "W" IN "EJW", LOCATED ON THE EAST SIDE OF PARK STREET, 4'± FROM THE BACK OF CURB AND 15'± FROM THE SOUTHWEST BUILDING CORNER OF 174A MAPLE STREET (RUFF CUTS PET GROOMING)

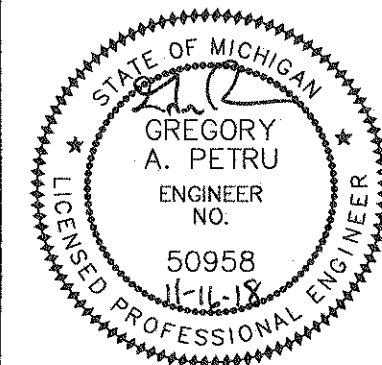
BENCHMARK #2 ELEVATION: 915.99 (NAVD 88)
SET PK NAIL IN THE SOUTH SIDE OF A UTILITY POLE 30'± NORTHEAST OF THE NORTHEAST CORNER OF BUILDING #154 MAPLE STREET.

SHEET INDEX

1. SITE & UTILITY PLAN
2. STORM & GRADING PLAN
3. EXISTING SURVEY PLAN
4. DEMOLITION PLAN

SITE ADDRESS: 154 W. MAPLE STREET, MASON MI 48864

SURVEY#93455.TOP2



REVISIONS

5-25-18 SITE PLAN REVIEW
10-25-18 SITE PLAN REVISION
11-5-18 FOR ARCH. REVIEW
11-19-18 FOR BIDDING & PERMITS

KEBS, INC. KYES ENGINEERING
2116 HASLETT ROAD, HASLETT, MI 48840
PH. 517-339-1014 FAX. 517-339-8047
Marshall Office
Ph. 269-781-9800

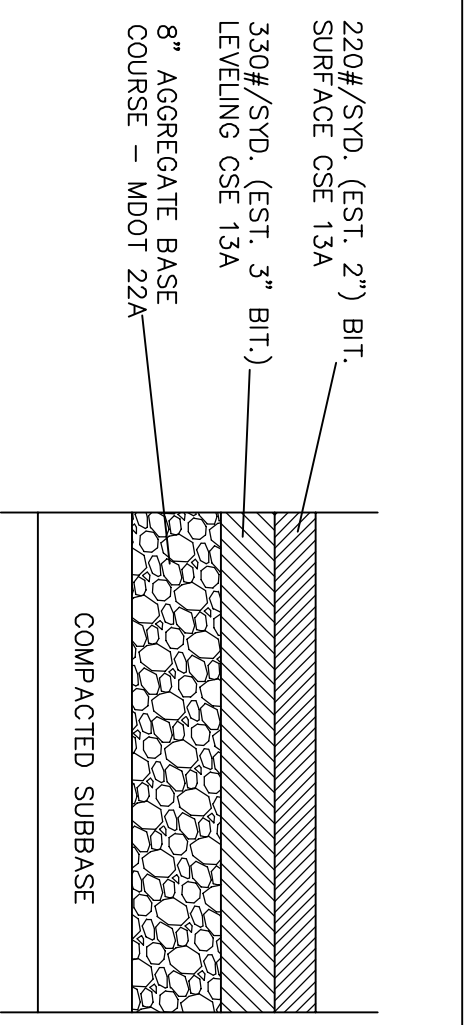
154 W. Maple

SITE & UTILITY PLAN

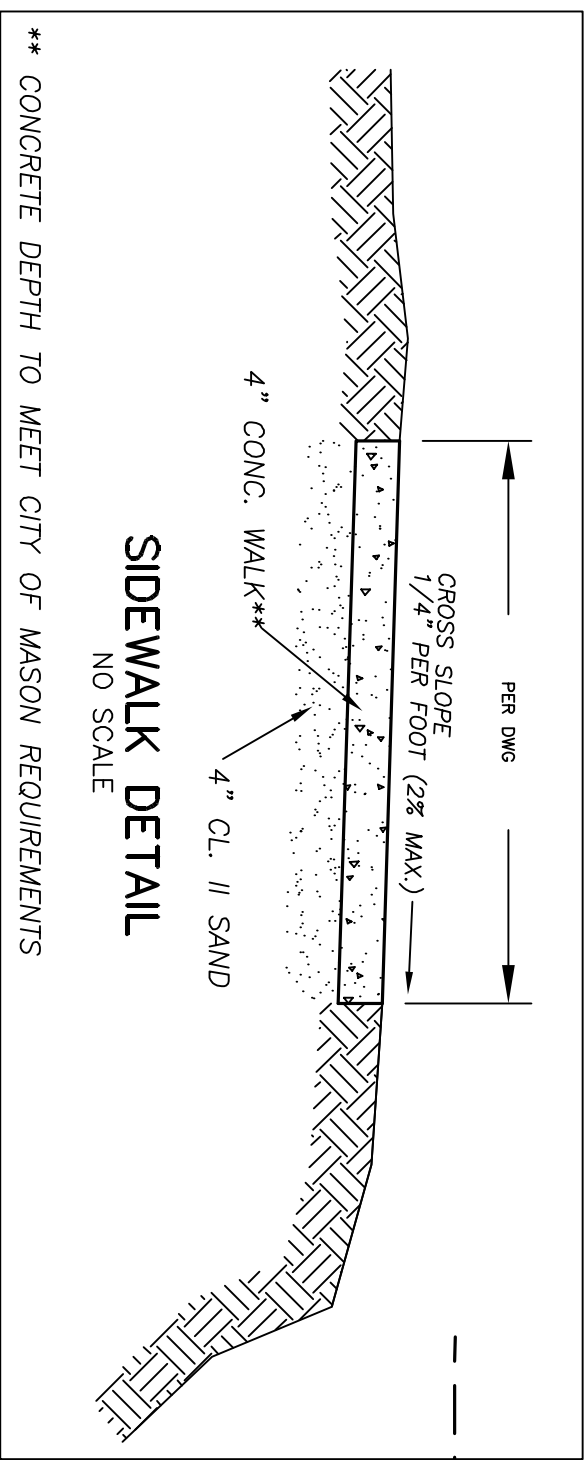
SCALE: 1" = 10'
DATE: 5-11-18
AUTHORIZED BY: Studio Intrigue Architects
DESIGNER: JWK
PROJECT MGR. JWK
APPROVED BY: JWK
SHEET 1 OF 4
JOB #: 93455



NOTE: ALL GRADES SHOWN ARE FOR FINAL
CONSTRUCTED CONDITIONS AND CONTRACTOR
IS RESPONSIBLE FOR HOLDING DOWN GRADES
AS THEY OR THE DEVELOPER DEEMS NECESSARY
FOR BASEMENT SPOILS, TOPSOILS ETC...



ASPHALT
PAVEMENT SECTION



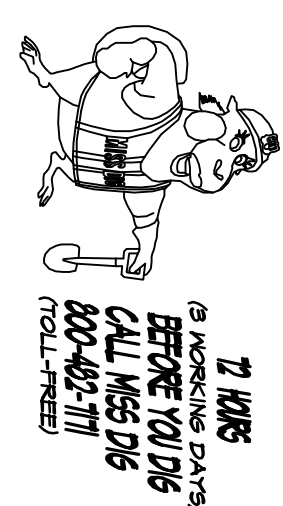
** CONCRETE DEPTH TO MEET CITY OF MASON REQUIREMENTS

EX. LEGEND

- = SET 1/2" BAR WITH CAP
 - = FOUND IRON AS NOTED
 - = DEED LINE
 - = DISTANCE NOT TO SCALE
 - = FENCE
 - = ASPHALT
 - = CONCRETE
 - = GRAVEL
 - = EXISTING SPOT ELEVATION
 - = EXISTING CONTOUR ELEVATION
 - = SANITARY SEWER
 - = WATER LINE
 - = GAS LINE
 - = UNDERGROUND TELEPHONE
 - = UNDERGROUND TELEVISION
 - = OVERHEAD WIRES
 - = EDGE OF WOODS
 - = DECIDUOUS TREE
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 - = VALVE
 - = UTILITY POLE
 - = LIGHT POLE
 - = GUY POLE
 - = UTILITY PEDestal
 - = TRANSFORMER
 - = HANDHOLE
 - = ELECTRIC METER
 - = GAS METER
 - = WATER METER
 - = SIGN
 - = POST
 - = AIR CONDITIONING UNIT

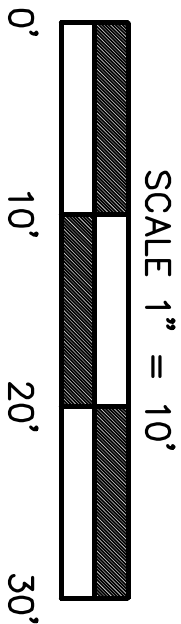
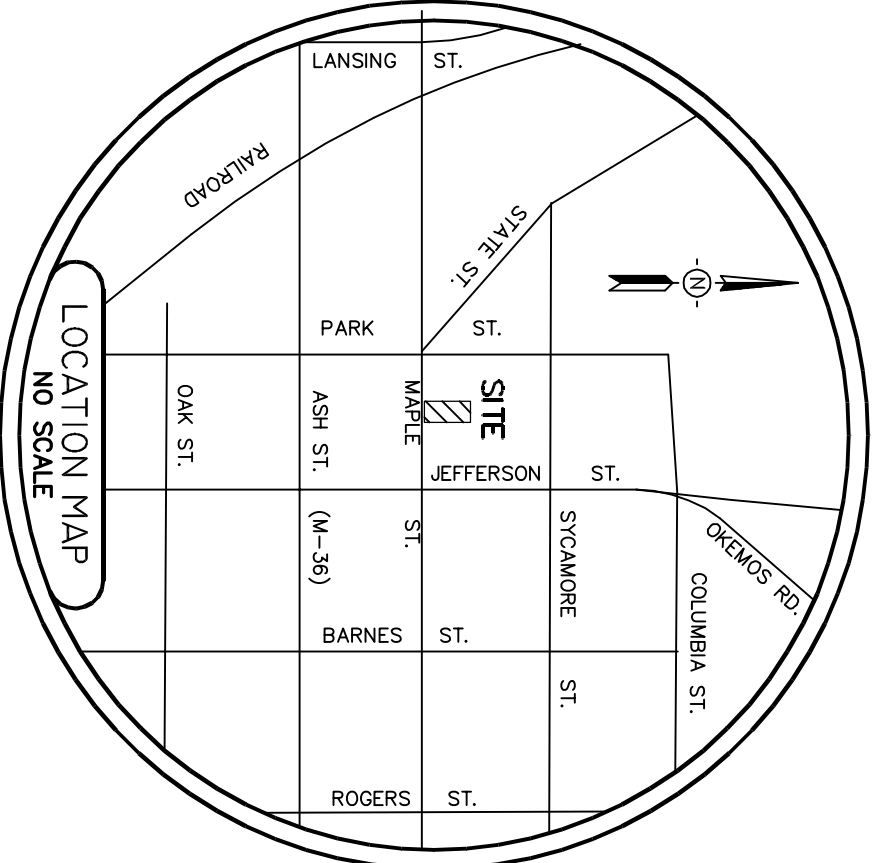
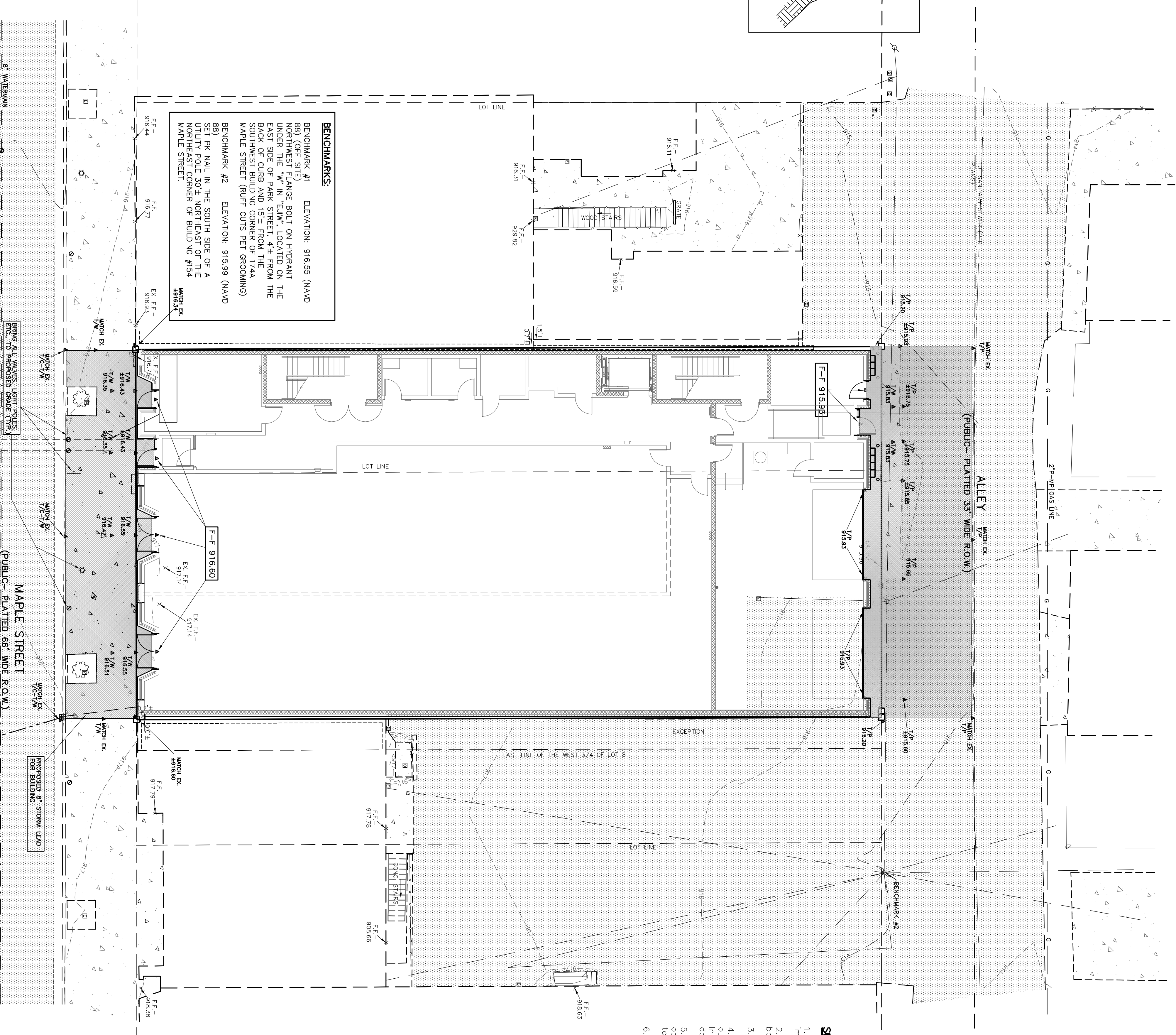
LEGEND

- = PROPOSED WATER MAIN
 - = PROPOSED SANITARY SEWER
 - = PROPOSED STORM SEWER
 - = PROPOSED HYDRANT
 - = PROPOSED ONE WAY VALVE
 - = PROPOSED SAN. M.H.
 - = PROPOSED STORM M.H.
 - = PROPOSED C.A.
 - = PROPOSED C.S.
 - = PROPOSED FIRST FLOOR ELEV.
 - = PROPOSED TOP OF CURB ELEV.
 - = PROPOSED TOP OF PAV. ELEV.
 - = PROPOSED TOP OF FIN. ELEV.
 - = PROPOSED FIN. ELEV.
 - = PROPOSED S.E.S.C. METER SYSTEM
- = PROPOSED 8\"/>



154 W. Maple

CITY OF MASON, INGHAM COUNTY, MICHIGAN



SURVEYOR'S NOTES:

1. This plan was made at the direction of the parties named hereon and is intended solely for their immediate use. Survey prepared from fieldwork performed in April 2018.
2. All bearings and distances on the survey are record and measured unless otherwise noted. Elevations based on NAVD 86.
3. All dimensions are in feet and decimals thereof.
4. By scaled map location and graphic plotting only, this property lies entirely within Flood Zone "X", areas outside the 0.2% annual chance floodplain, according to the National Flood Insurance Program, Flood Insurance Rate Map for the City of Mason, Ingham County, Michigan, Community Panel No. 26065C0254D, dated August 16, 2011.
5. Utility information as shown was obtained from available public records and from supporting field observations, where possible, and is subject to verification in the field by the appropriate authorities prior to use for construction. MNS Dlg was not conducted to mark utilities on site at the time of the survey.
6. Easements wetlands, if any, not shown hereon.

- NOTES:
1. CONTRACTOR TO VERIFY THE LOCATION OF ALL UTILITIES, ELECTRIC CONDUITS, AND THE EXTENT OF ALL ASPHALT AND SIDEWALK REPAIR AND/OR REPLACEMENT PRIOR TO CONSTRUCTION.
 2. CONTRACTOR TO REPLACE ALL PAVEMENT STRIPING AND REPLACE OR RE-INSTALL ALL CURBING OR SIGNAGE DAMAGED OR REMOVED FOR CONSTRUCTION.
 3. ALL DISTURBED AREAS ARE TO BE RETURNED TO ORIGINAL CONDITION, INCLUDING SOIL, VEGETATION, AND EROSION CONTROL MEASURES. ANY DAMAGE TO EXISTING UTILITIES, STRUCTURES, OR LANDSCAPE IS TO BE REPAIRED OR REPLACED AT THE CONTRACTOR'S EXPENSE.
 4. WHICH ANY DISTURBANCE OUTSIDE PAVEMENT AS SOON AS FEASIBLE.
 5. ALL CASTINGS/VALVES TO BE RAISED TO NEW PAVEMENT AND/OR SIDEWALK ELEVATIONS BEFORE FINISHING.
 6. CONTRACTOR SHALL RE-PAINT ALL CURBS THAT HAVE EXISTING PAINT AND RE-STRIP ALL AREAS THAT HAVE EXISTING STRIPING.
 7. CONTRACTOR SHALL SMOOTH EXISTING ASPHALT IN STRAIGHT LINES AND MAKE SMOOTH CONNECTIONS.
 8. PAVE ALL AREAS WHILE ENSURING POSITIVE DRAINAGE.

- PARKING AND PAVING NOTES
1. SIGN, SIGNAL, LIGHTS, AND OTHER TRAFFIC CONTROL DEVICES SHALL CONFORM TO THE MICHIGAN MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES.
 2. CONTRACTOR SHALL SAW-CUT TO PROVIDE SMOOTH TRANSITIONS AT THE LINES TO EXISTING EDGES OF PAVEMENT.
 3. JOINTS OR SCORE MARKS ARE TO BE SHARP AND CLEAN WITHOUT SHOWING EDGES OF JOINING TOOL.
 4. CONTRACTOR SHALL SMOOTH EDGES AS NECESSARY TO ENSURE SMOOTH TRANSITIONS BY INSPECTOR TO INSURE POSITIVE DRAINAGE.
 5. CONTRACTOR SHALL COMPLY WITH ALL PERTINENT PROVISIONS OF THE "MANUAL OF ACCIDENT PREVENTION IN CONSTRUCTION" ISSUED BY AGC OF AMERICA, INC., AND THE SAFETY AND HEALTH REGULATIONS FOR CONSTRUCTION ISSUED BY THE U.S. DEPARTMENT OF LABOR.
 6. ALL WORK SHALL COMPLY WITH ALL APPLICABLE CODES, REGULATIONS, AND/OR LOCAL STANDARDS IMPOSED BY THE CITY OF MASON.
 7. ALL EXISTING CONCRETE CURB & GUTTER TO REMAIN INTACT UNLESS OTHERWISE NOTED.
 8. NECESSARY BARRICADES, SUFFICIENT LIGHTS, SIGNS AND OTHER TRAFFIC CONTROL METHODS AS MAY BE NECESSARY FOR THE PROTECTION AND SAFETY OF THE PUBLIC SHALL BE PROVIDED AND MAINTAINED THROUGHOUT THE CONSTRUCTION PERIOD.
 9. CONTRACTOR SHALL FIELD VERIFY CONDITION OF EXISTING ASPHALT AND SHALL REPLACE OR REPAIR ANY SUNKEN AND/OR DAMAGED ASPHALT AREAS.
 10. SUNKEN AND/OR DAMAGED ASPHALT AREAS.

STATE OF MICHIGAN
LICENSED PROFESSIONAL ENGINEER
GREGORY A. PETRU
NO. 50958

REVISIONS

5-26-18 SITE PLAN REVIEW	10-26-18 SITE PLAN REVIEW
11-13-18 FOR ARCH. REVIEW	11-13-18 FOR ARCH. REVIEW
11-13-18 FOR DRIVING & TURNING	11-13-18 FOR DRIVING & TURNING

KEBS, INC. KNEE ENGINEERING
2116 HASLETT ROAD, HASLETT, MI 48840
PH. 517-339-1014 FAX. 517-339-8047

154 W. Maple

Storm & Grading Plan

DATE: 5-11-18
AUTHOR: JMK
DESIGNER: JMK
PROJECT MGR: JMK
APPROVED BY: JMK

154 W. Maple

Storm & Grading Plan

Studio Intrigue Architects

934.55

154 W. Maple

Storm & Grading Plan

FOR: **STUDIO INTRIGUE ARCHITECTS, LLC**

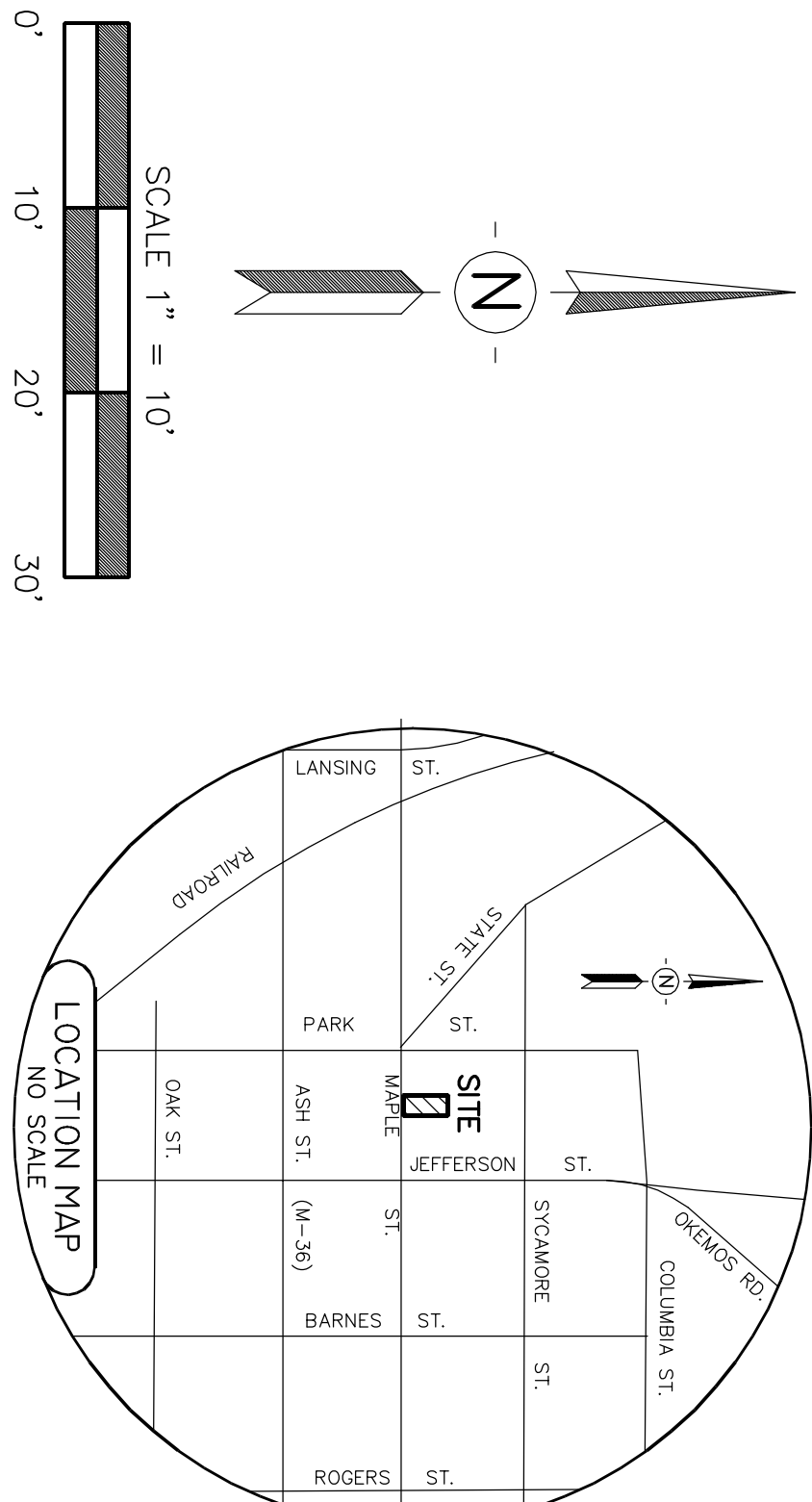
LOT & TOPOGRAPHIC SURVEY

"154 W. MAPLE STREET, MASON MI 48854"

BENCHMARKS:

BENCHMARK #1 ELEVATION: 916.55 (NAVD 88) (OFF SITE)
NORTHWEST FLANGE BOLT ON HYDRANT UNDER THE "W" IN "E.I.W.",
LOCATED ON THE EAST SIDE OF PARK STREET, 4'± FROM THE
BACK OF CURB AND 15'± FROM THE SOUTHWEST BUILDING CORNER
OF 1744 MAPLE STREET (RUFF CUTS PET GROOMING)

BENCHMARK #2 ELEVATION: 915.99 (NAVD 88)
SET PK NAIL IN THE SOUTH SIDE OF A UTILITY POLE 30'±
NORTHEAST OF THE NORTHEAST CORNER OF BUILDING #154 MAPLE
STREET.



LEGAL DESCRIPTION:

(As provided):
The East 22 feet of Lot 7 and the West 3/4 of Lot 8 excluding the East 5.5 feet thereof, Block 7, Original Plot of City of Mason, Ingham County, Michigan, according to the recorded plat thereof, as recorded in Liber 37 of Deeds, Page 234, Ingham County Records.

SURVEYOR'S NOTES:

1. This plan was made at the direction of the parties named herein and is intended solely for their immediate use. Survey prepared from fieldwork performed in April 2018.
2. All bearings and distances on the survey are record and measured unless otherwise noted. Elevations based on NAVD 88.
3. All dimensions are in feet and decimals thereof.
4. By scaled map location and graphic plotting only, this property lies entirely within Flood Zone "X", areas outside the 100-year annual chance floodplain, according to the National Flood Insurance Program, Flood Insurance Rate Study for the City of Mason, Ingham County, Michigan, Community Panel No. 26065002940, dated August 16, 2011.
5. Utility information as shown was obtained from available public records and from supporting field observations, where possible, and is subject to verification in the field by the appropriate authorities prior to use for construction. MISS DIG was not contacted to mark utilities on site at the time of the survey.
6. Easements wetlands, if any, not shown hereon.

LEGEND

●	= SET 1/2" BAR WITH CAP	③	= SANITARY MANHOLE
◻	= FOUND IRON AS NOTED	④	= DRAINAGE MANHOLE
—	= DEED LINE	⑤	= ELECTRIC MANHOLE
—	= DISTANCE NOT TO SCALE	⑥	= TELEPHONE MANHOLE
—	= FENCE	⑦	= CATCHBASIN
—	= ASPHALT	⑧	= SANITARY CLEANOUT
—	= CONCRETE	⑨	= FIRE HYDRANT
—	= GRAVEL	⑩	= VALVE
—	= EXISTING SPOT ELEVATION	⑪	= UTILITY POLE
—	= BUILDING OVERHANG	⑫	= LIGHT POLE
—	= SANITARY SEWER	⑬	= GUY POLE
—	= STORM SEWER	⑭	= UTILITY WIRE
—	= WATER LINE	⑮	= TRANSFORMER
—	= GAS LINE	⑯	= HANDHOLE
—	= UNDERGROUND TELEPHONE	⑰	= ELECTRIC METER
—	= UNDERGROUND TELEVISION	⑱	= GAS METER
—	= UNDERGROUND ELECTRIC	⑲	= WATER METER
—	= OVERHEAD WIRES	⑳	= SOL BORING
—	= EDGE OF WOODS	㉑	= SIGN
—	= DECIDUOUS TREE	㉒	= POST
—	= CONIFEROUS TREE	㉓	= AIR CONDITIONING UNIT
—	= BUSH		

REVISIONS	COMMENTS	ENGINEERING AND LAND SURVEYING
04/25/2018	ORIGINAL	KEBS, INC.
04/25/2018	EDITED	2118 HASLETT ROAD, HASLETT, MI 48840
05/17/2018	ADD WATERMANS & SANITARY LINES	PH: 517-539-1177-539-8047
05/25/2018	SITE PLAN REVIEW	WWW.KEBS.COM
11/19/2018	BIDDING & PERMITS	Morrell Office - Ph. 269-781-9800
		DRAWN BY SLH SECTION 8, 12N, R2W
		FIELD WORK BY SL JOB NUMBER: 93455.TOP
		SHEET 3 OF 4

154 W. Maple
CITY OF MASON, INGHAM COUNTY, MICHIGAN

GENERAL

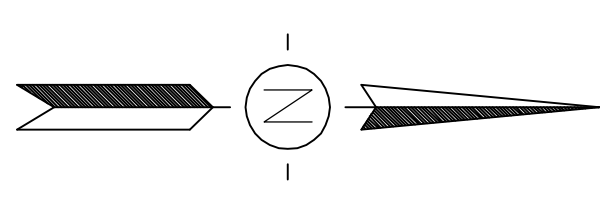
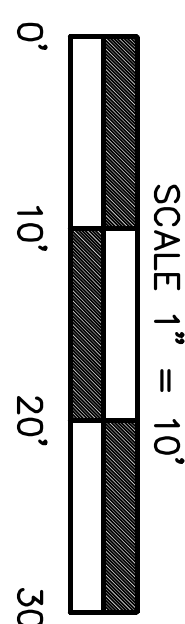
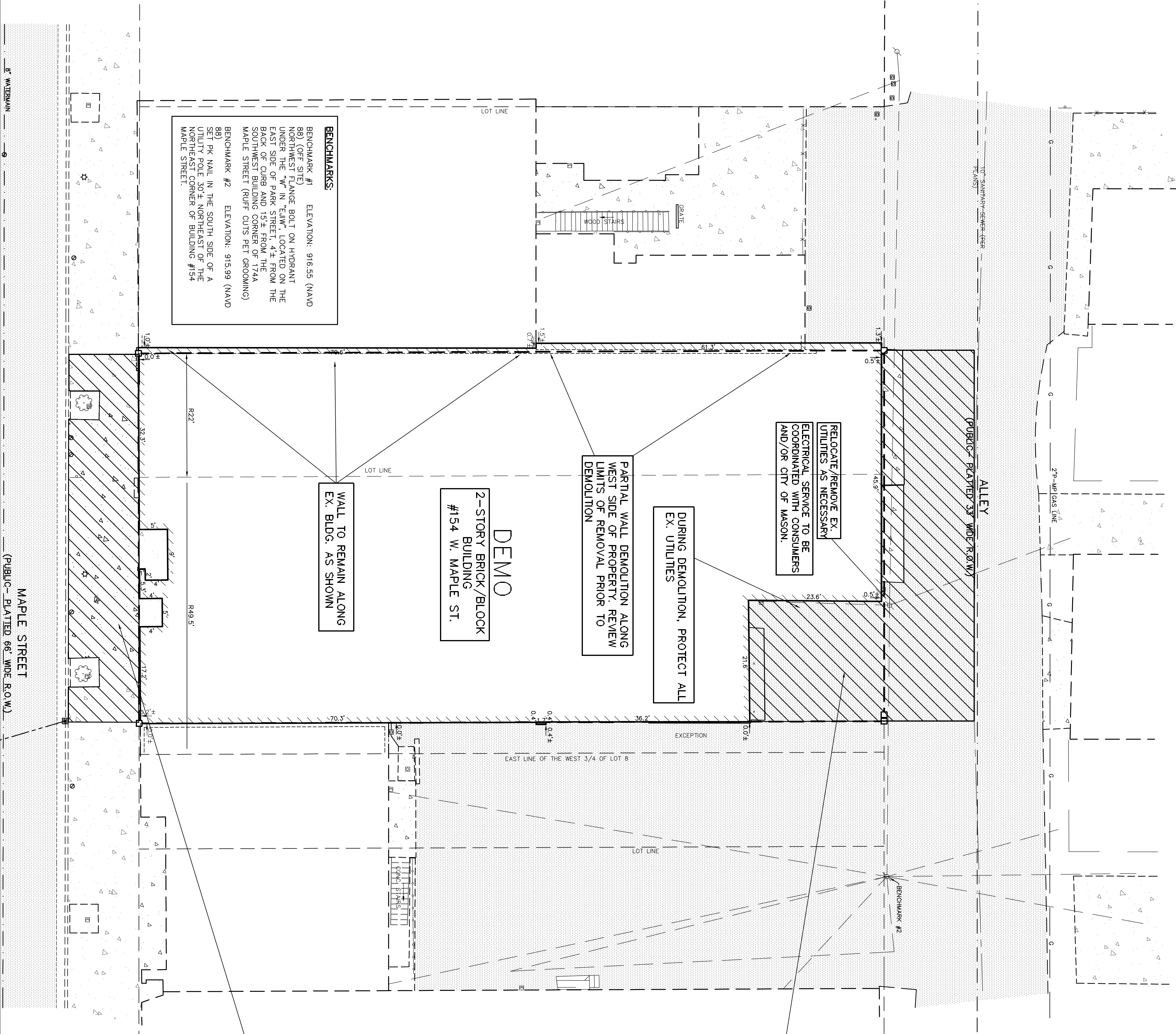
1. Any unstable soil (such as peat, muck, morl, soft blue clay, topsoil, etc.) which is encountered beneath proposed utilities, roadways, parking lots and structures, drives and buildings shall be removed down to sound subsoil and replaced with compacted fill. The fill shall be compacted in 6" layers to 95% of max. density. The decision on material for bedding and backfill shall be determined by the Engineer.
2. Sidewalk construction shall be in accordance with the requirements and specifications of the City of Mason.
3. Information on depth, size, etc., of all other underground utilities shown herein is plan information only, obtained from the utility company involved. Prior to any final designing or construction, it is recommended that all utility companies, agencies, departments, etc., involved be contacted for verification of such locations.
4. The locations, size and elevation of sewers and related structures shown herein, were obtained through field observation. KEBS, Inc. is not responsible for information on any other sewers, drains or related structures not found and not shown herein, that may cross, parallel, be contiguous to or service this site.
5. For protection of underground utilities, the contractor shall dial 800-482-7171, a minimum of 72 hours prior to excavating in the vicinity of utility lines. All "MISS DIG" participating members will thus be routinely notified. This does not relieve the contractor of the responsibility, or notifying utility owners who may not be a part of the "MISS DIG" alert system.
6. Footing drains and eave troughs shall be connected to the storm sewer.
7. All existing roads, driveways and yards disturbed during construction shall be restored by the contractor to its original condition.
8. All sewer pipe shall be bedded with C.I. III granular material. Class III granular material shall be used in bedding all sewer trenches to 1' above the sewer pipe.
9. All compaction of trenches within the roadways and parking areas shall be to 95% density. Equipment such as a small dozer in the trenches and a hoe-pick around the structures will be required, or equipment capable of reaching 95% density.
10. Contractor shall be responsible for obtaining all permits required for construction.
11. Contractor shall be responsible for maintaining As-Built drawings of all lot/lot locations and drawings shall be available to the Engineer upon request.

EX. LEGEND

- = SET 1/2" BAR WITH CAP
 - = FOUND IRON AS NOTED
 - = DEED LINE
 - = DISTANCE NOT TO SCALE
 - = FENCE
 - = ASPHALT
 - = CONCRETE
 - = GRAVEL
 - = EXISTING SPOT ELEVATION
 - = EXISTING CONTOUR ELEVATION
 - = SANITARY SEWER
 - = STORM SEWER
 - = WATER LINE
 - = GAS LINE
 - = UNDERGROUND TELEPHONE
 - = UNDERGROUND TELEVISION
 - = OVERHEAD WIRE
 - = EDGE OF WOODS
 - = DECIDUOUS TREE
 - = CONIFEROUS TREE
 - = BUILDING OVERHANG
- = SANITARY MANHOLE
 - = DRAINAGE MANHOLE
 - = ELECTRIC MANHOLE
 - = TELEPHONE MANHOLE
 - = CATCHBASIN
 - = SANITARY CLEANOUT
 - = VALVE
 - = UTILITY POLE
 - = LIGHT POLE
 - = GUY POLE
 - = UTILITY PEDestal
 - = TRANSFORMER
 - = HANDHOLE
 - = ELECTRIC METER
 - = GAS METER
 - = WATER METER
 - = SIGN
 - = POST
 - = AIR CONDITIONING UNIT

LEGEND

- PROPOSED GRASS
- PROPOSED FIRST FLOOR ELEV.
- PROPOSED TOP OF CURB ELEV.
- PROPOSED TOP OF PAVY ELEV.
- PROPOSED TOP OF FINISH ELEV.
- PROPOSED S.E.C. MENS SYSTEM



DEMO
EXISTING CONCRETE AS SHOWN
IN HATCHED AREA (PROTECT ALL
VALVES, POLES, SIGNS, ETC.)

DEMO
EXISTING ASPHALT AS SHOWN
IN HATCHED AREA (MILL &
REPLACE

PARTIAL WALL DEMOLITION ALONG
WEST SIDE OF PROPERTY. REVIEW
LIMITS OF REMOVAL PRIOR TO
DEMOLITION

DEMO
2-STORY BRICK/BLOCK
#154 W. MAPLE ST.

WALL TO REMAIN ALONG
EX. BLDG. AS SHOWN

STATE OF MICHIGAN

REGISTERED PROFESSIONAL ENGINEER

GREGORY A. PETRU

ENGINEER

NO. 50958

SITE ADDRESS: 154 W. MAPLE STREET, MASON MI 48854

SURVEY#3455.1092

REVISIONS

5-26-18 SITE PLAN REVIEW

10-26-18 SITE PLAN REVIEW

11-19-18 FOR ARCH. REVIEW

11-19-18 FOR DRWG. & TITLING

KEBS, INC.

2116 HASLETT ROAD, HASLETT, MI 48840

PH. 517-339-1014 FAX. 517-339-8047

154 W. Maple

DESIGNER: JMK

APPROVED BY: JMK

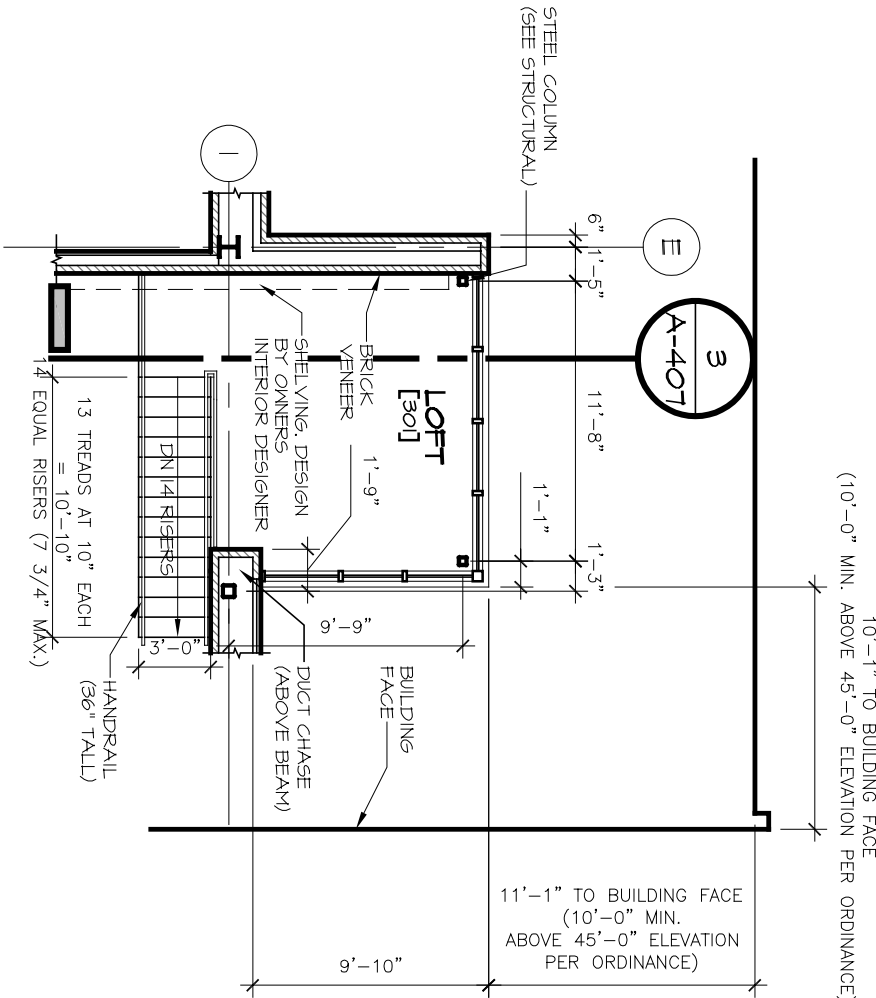
DATE: 5-11-18

AUTHORIZED BY: Studio Intrigue Architects

JOB # 93455

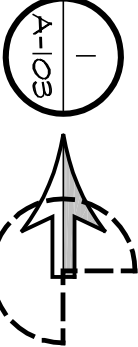
FIRST FLOOR FINISH SCHEDULE										LEGEND	
NO.	ROOM	FLOOR	BASE	WALL		CEILING		REMARKS		ABBR	DESCRIPTION
101	VESTIBULE	SC	VCB	DN	PT	LAT	PF		X	CPT	CARPET
102	LOBBY	SC	VCB	DN	PT	LAT	PF		X	CT	CERAMIC TILE
103	CORRIDOR	SC	VCB	DN	PT	LAT	PF		X	DN	DRYWALL
104	LEASE SPACE	SC	-	EXP.	-	-	-		X	LAT	LAY-IN ACOUSTICAL TILE
105	PRIVATE GARAGE	SC	-	EXP.	PT	-	-		X	FRP	FIBER-REIN. PLASTIC
106	MECHANICAL	SC	VCB	DN	PT	-	-		X	MTL	METAL
107	STORAGE	SC	VCB	DN	PT	-	-		X	PF	PREFINISHED
108	JANITORS	SC	VCB	DN	PT	-	-		X	STAY	STAINED CONCRETE
109	MEN'S	CT	CT	CT	PF	LAT	PF		X	VCB	VINYL COMPOSITE TILE
110	WOMEN'S	CT	CT	CT	PF	LAT	PF		X	MD	LVP
III	LEASE SPACE	SC	-	EXP.	-	-	-		X	CMU	CONC. MASONRY UNIT
-	STAIR 'A'	SC	VCB	DN	PT	-	-		X	EXP	EXP.

VERIFY ALL FINISHES WITH OWNER'S INTERIOR DESIGNER PRIOR TO ORDERING OR FRAMING WALLS



LOFT FLOOR PLAN

1/8"=1'-0"



SECOND FLOOR FINISH SCHEDULE

NO.	ROOM	FLOOR	BASE	WALL		CEILING		REMARKS	
201	LOBBY	SC	VCB	DN	PT	LAT	PF		X
202	LEASE SPACE	SC	-	EXP.	-	-	-		X
203	JANITORS	SC	VCB	DN	PT	PF	PF		X
204	MEN'S	CT	CT	CT	PF	LAT	PF		X
205	WOMEN'S	CT	CT	CT	PF	LAT	PF		X

- ALL FINISHES NOTED ARE GENERIC - FIN. SELECTIONS SHALL BE AS SELECTED BY OWNER.
- SANITARY BASES IN TOILET ROOMS AND BATHROOMS SHALL BE 6" TALL MINIMUM.
- ALL FLOOR FINISHES SHALL BE SLIP RESISTANT AND SECURELY ATTACHED IN ACCORDANCE WITH 2015 NBC 1008.4. THE STATIC COEFFICIENT OF FRICTION (CET) FOR ALL FLOOR SURFACES SHALL BE 0.6 MINIMUM.
- DRYWALL IN TOILET ROOMS AND BATHROOMS SHALL BE MOISTURE-RESISTANT (GREEN TYPE) IN AREAS EXPOSED TO MOISTURE.
- WALL SURFACES IN TOILET ROOMS AND BATHROOMS SHALL BE NONABSORBENT IN ACCORDANCE W/ 2015 NBC 1202.2.
- DRYWALL FINISH GRADE TO BE LEVEL 4 UNLESS OTHERWISE NOTED.
- REFER TO GENERAL NOTES FOR OTHER INTERIOR FINISH REQUIREMENTS.

FINISH NOTE

COORDINATE FLOOR/WALL/CEILING FINISHES WITH OWNER'S INTERIOR DESIGNER.
ADJUST SHEATHING AS NEEDED WHERE CEMENT BOARD IS REQUIRED FOR WALL/FLOOR/CEILING TILE INSTALLATION.

NOTE

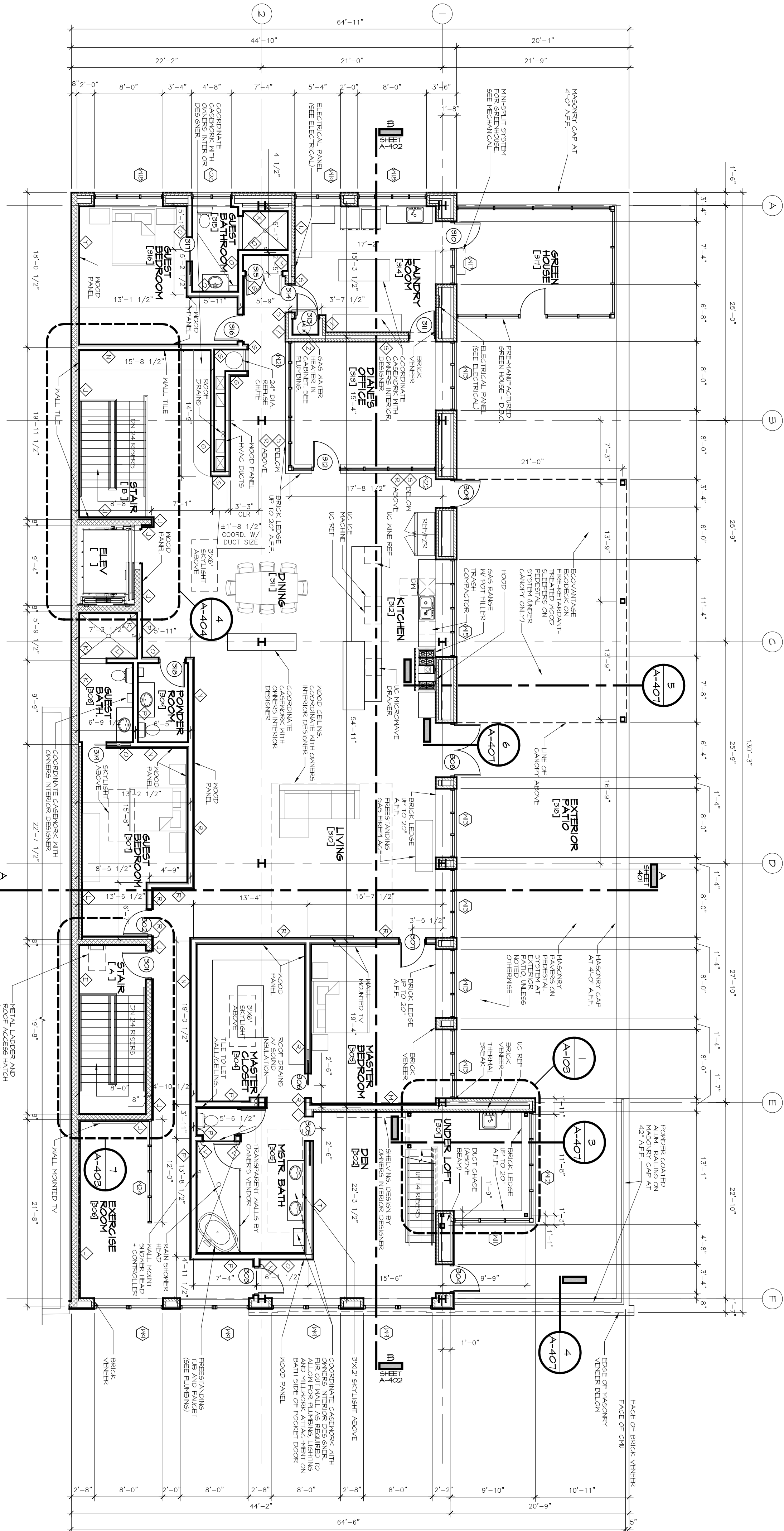
SEE OWNER'S INTERIOR DESIGNER/VENDOR DRAWINGS FOR DETAILS, LAYOUT AND MILLWORK.

HEIGHT COMPLIANCE NOTE

RESIDENTIAL AREA EXCEEDING 45' = 145 SF
GRADE FLOOR = 7494 SF
145 SF / 7494 SF = 0.02 = 2% < 25% (OKAY)

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THIRD FLOOR PLAN

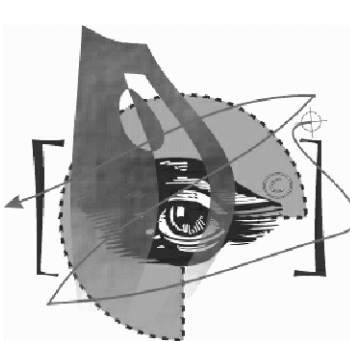
1/8"=1'-0"



DESIGN DEV. PACKAGE
CLIENT REVIEW
SITE PLAN REVIEW

03/27/18
10/29/18
11/19/18

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ARCHITECTS

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517.372.8804 PHONE ✦ 517.372.8805 FAX ✦ WWW.STUDIOINTRIGUE.COM

Project Type
**NEW
CONSTRUCTION**

**W. MAPLE ST.
MIXED USE**

154 W. MAPLE ST
MASON, MI 48854

Client
**RED OAK
HOLDINGS**

2111 UNIVERSITY
PARK DRIVE

Project Number
17.208

Sheet
A-103

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SITE PLAN REVIEW

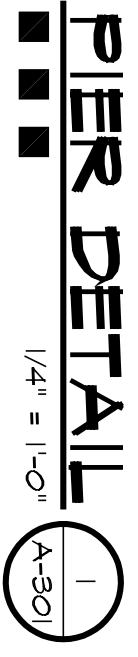
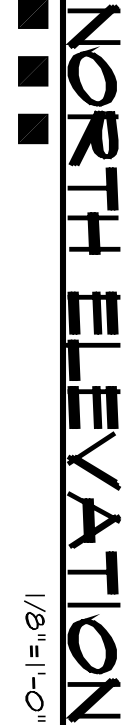
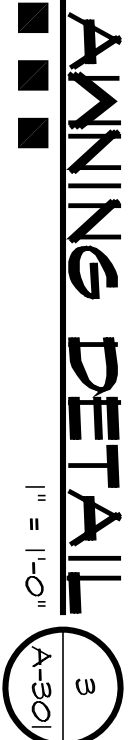
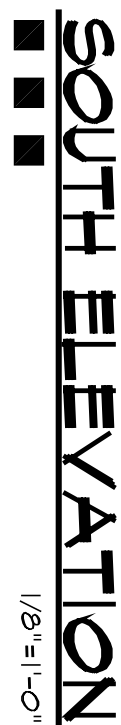
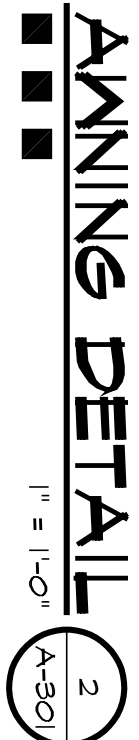


studio
[intrigue]

ARCHITECTS

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1. PROVIDE SEALANT AT EXTERIOR AT THE INTERSECTIONS OF ALL DISSIMILAR MATERIALS, COLOR TO MATCH THE COLOR OF THE PRIMARY ADJACENT MATERIAL.
2. FIELD VERIFY ALL OPENINGS FOR ALUMINUM STOREFRONT FRAMING PRIOR TO ORDERING OF MATERIALS OR FABRICATION.
3. PROVIDE ISOLATION COATING BETWEEN ALL DISSIMILAR METALS (I.E.-ALUM TO STEEL).
4. FABRIC AND CANOPIES AND SIGNAGE SHALL BE DESIGNED AND PERMITTED BY OWNER'S SIGNAGE SUBCONTRACTOR.
5. ANY SIGNAGE SHOWN IS FOR ILLUSTRATIVE PURPOSES ONLY.
6. PROVIDE ARCHITECTURAL DRAWINGS FOR FABRICATION OF SIGN DRAWINGS. THESE DRAWINGS ARE NOT SHOP DRAWINGS. THE SIGNAGE SUBCONTRACTOR SHALL VISIT THE PROJECT SITE TO MEASURE AND OBSERVE FIELD CONDITIONS PRIOR TO FABRICATION.
7. ALL MASONRY SHALL RECEIVE A FIELD APPLIED FINISH. THE FINISH OF THE INTERIOR SHALL BE THE SAME AS THE EXTERIOR, HEREIN LATER. THE LOWER 4" OF THE MASONRY, WHERE ADVANTAGE TO ASPHALT/CONCRETE PLANTWORK SHALL BE SEaled WITH PROSOCCO SALT/GARD OR APPROVED EQUAL. ALL OTHER AREAS SHALL BE SEaled WITH PROSOCCO SLOVENA OR APPROVED EQUAL.
8. ALL EXPOSED STEEL PLATES, ANGLES AND OTHER STRUCTURAL SHAPES SHALL BE PRINted AND PAINTED IN THE FIELD.
9. ALL WOOD IN CONTACT WITH CONCRETE OR MASONRY SHALL BE TREATED.



154 W. MAPLE ST
MASON, MI 48854

2111 UNIVERSITY
PARK DRIVE

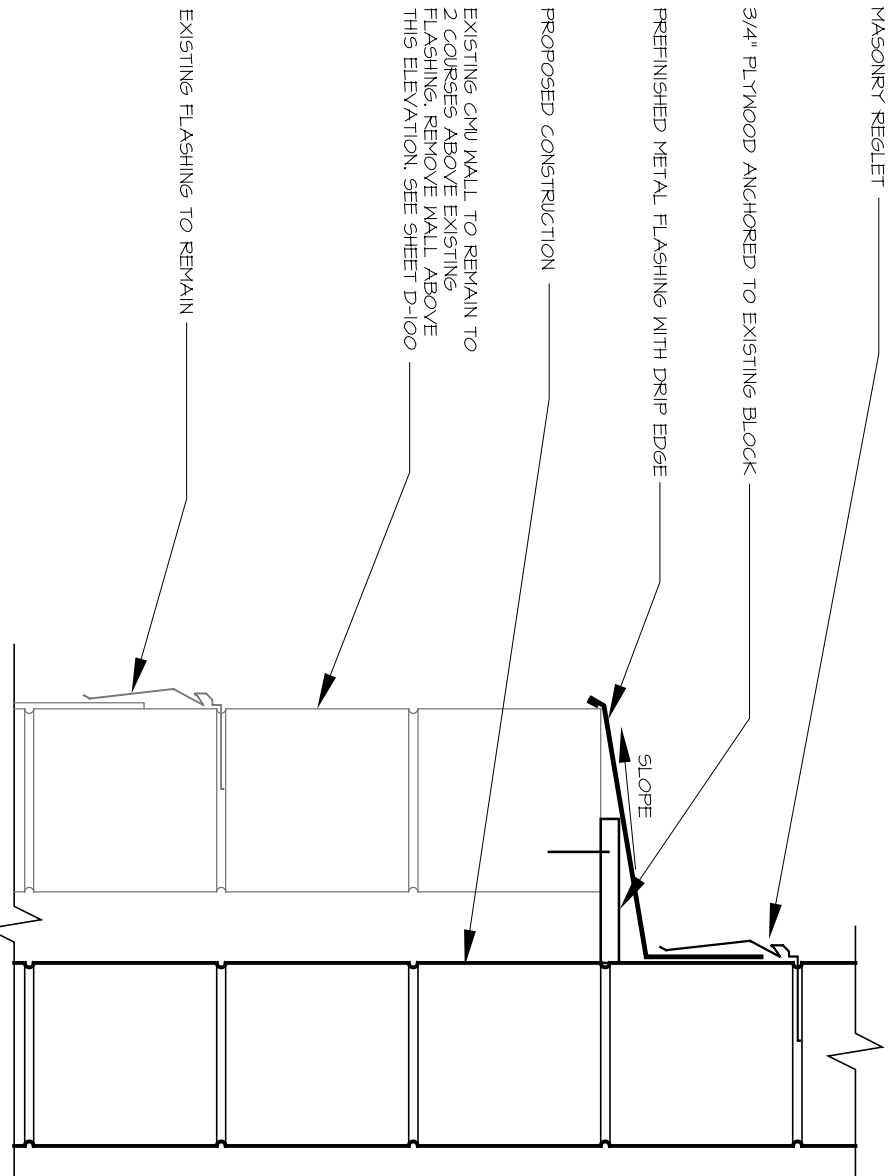
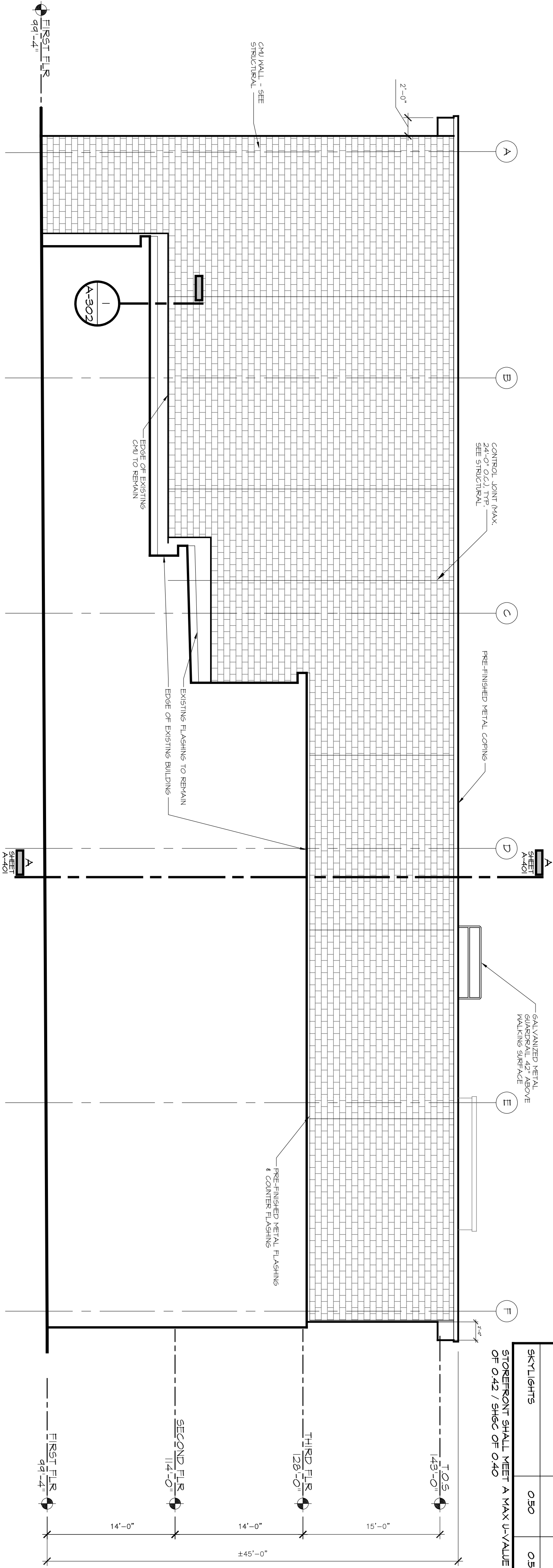
A-301

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2015 MI ENERGY CODE / ASHRAE 90.1-2013 ENVELOPE REQMTS							TABLE 6.5-5 (MASON, MI)
OPAQUE ENVELOPE ELEMENT	MIN R RECD	R PROP	MIN CONT. RECD	CONT. INSULL. PROP.	MAX PERMITTED	PROP.	ENVELOPE COMPLIANCE NOTES
ROOF	N/A	N/A	30	30	U=0.032	U=0.032	1. THE BUILDING ENVELOPE SHALL BE SEALED, CALLED SEALED, AND/OR REATHERSTRIPPED TO MINIMIZE AIR LEAKAGE.
WALLS, MADS	N/A	N/A	11.4	11.4	U=0.04	U=0.04	2. AIR LEAKAGE THROUGH PENETRATION AND DOORS SHALL BE LIMITED IN ACCORDANCE WITH NFPA 400.
WALLS, STEEL FRAMED	15	15	10	10	U=0.55	U=0.55	EXCEPTIONS: FIELD FABRICATED PENETRATION AND DOORS.
FLOORS	N/A	N/A	N/A	N/A	N/A	N/A	FOR GARAGE DOORS, IF APPLICABLE TESTED IN ACCORDANCE WITH NFPA 400.
SLAB ON GRADE (UNHEATED)	15 FOR 24 IN.	15 FOR 24 IN.	N/A	N/A	F=0.52	F=0.52	3. U FACTORS SHALL BE DETERMINED IN ACCORDANCE WITH NFPA 400.
SLAB ON GRADE (HEATED)	20 FOR 48 IN.	20 FOR 48 IN.	N/A	N/A	F=0.686	F=0.686	4. SOLAR HEAT GAIN COEFFICIENT (SHGC) SHALL BE DETERMINED IN ACCORDANCE WITH NFPA 400.
OPAQUE DOORS	N/A	N/A	N/A	N/A	U=0.500	U=0.500	5. U FACTORS SHALL BE DETERMINED IN ACCORDANCE WITH NFPA 400.

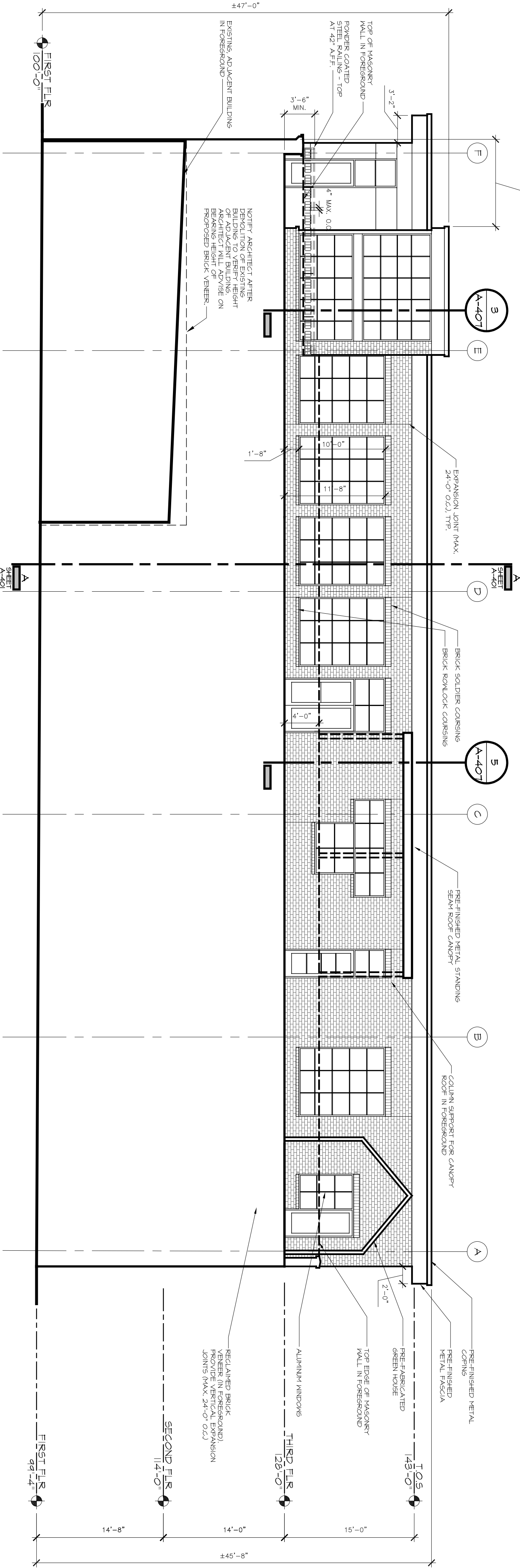
FENESTRATION	MAX U FIXED ALLOW	MAX U OPER. PROP.	MAX U OPER. ALLOW	MAX U OPER. PROP.	MAX SHGC ASSEMBLY ALLOW	MAX SHGC ASSEMBLY PROP.	N/A - ASSEMBLY CONTINUOUS INSULATION MINIMUM PROPOSED
WINDOWS	0.42	0.42	0.50	0.50	0.40	0.40	
SKYLIGHTS	0.50	0.50	N/A	N/A	0.40	0.40	

STOREFRONT SHALL MEET A MAX U-VALUE OF 0.42 / SHGC OF 0.40



WEST ELEVATION

1/8"=1'-0"



SECTION DETAIL

1/12"=1'-0"

A-302

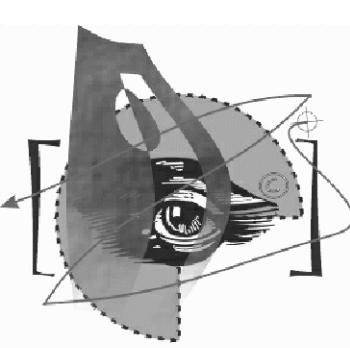
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SITE PLAN REVIEW

04/27/18
11/19/18

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Project Type
NEW
CONSTRUCTION

Project

W. MAPLE ST.
MIXED USE

154 W. MAPLE ST
MASON, MI 48854

Client

RED OAK
HOLDINGS

211 UNIVERSITY
PARK DRIVE

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Project Number

17.208

Sheet

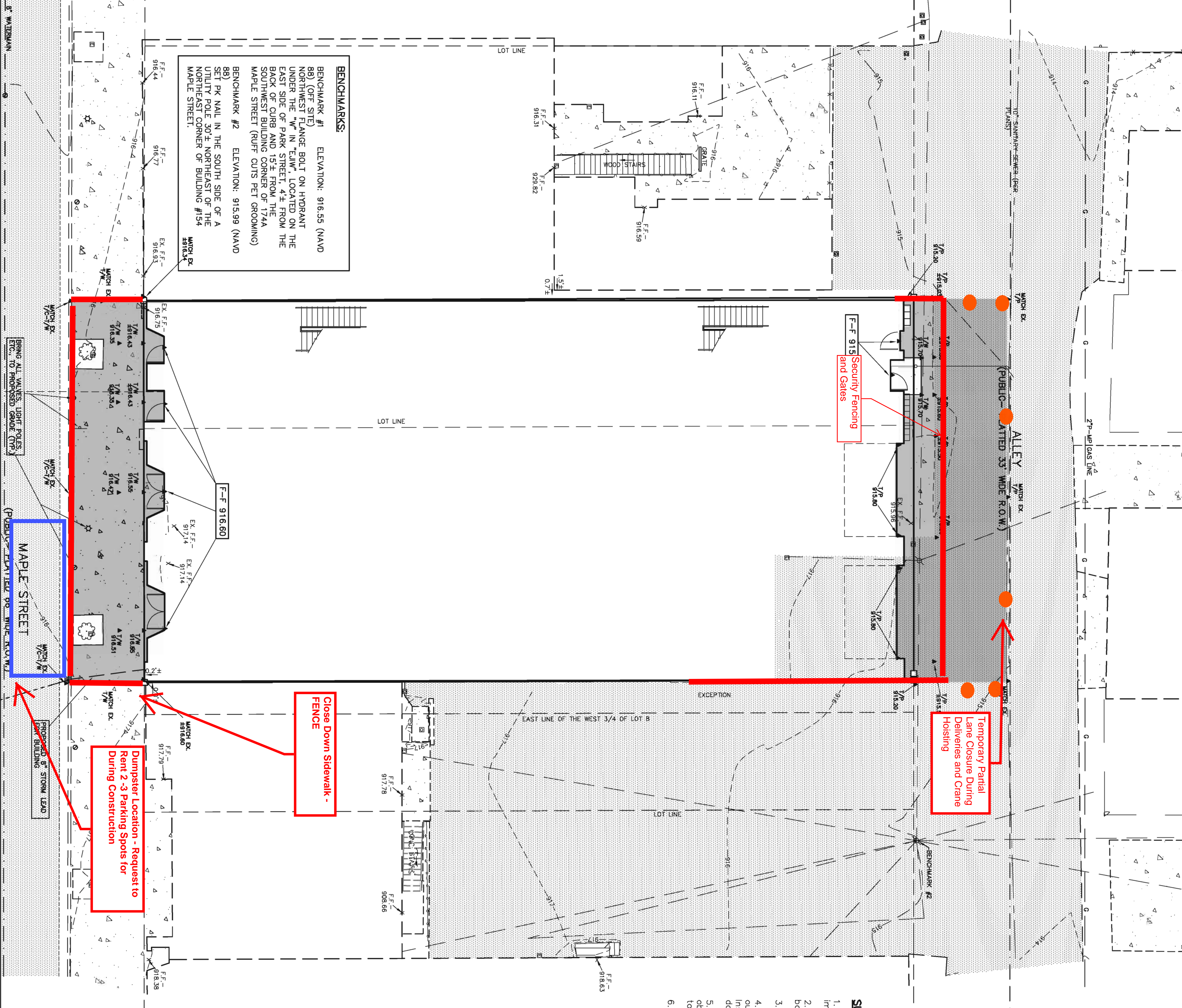
A-302

EAST ELEVATION

1/8"=1'-0"

154 W. Maple
Planning Schedule
July 9, 2018

ID	<div><div></div><div>i</div></div>	Task Name	Duration	Start	Finish	ter Dec	1st Quarter			2nd Quarter			3rd Quarter			4th Quarter			1st Quarter			2nd Quarter			3rd Quarter			4th Quarter			1st Quarter			2nd Quarter			3rd									
				Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec	Jan	Feb	Mar	Apr	May	Jun	Jul	Aug	Sep	Oct	Nov	Dec	Jan	Feb	Mar	Apr	May	Jun	Jul												
1		Preconstruction	223 days	Fri 1/26/18	Tue 12/4/18																																									
2		Incentives and Grants	75 days	Wed 5/16/18	Tue 8/28/18																																									
9		Design	148 days	Fri 1/26/18	Tue 8/21/18																																									
14		Estimating	153 days	Fri 3/2/18	Tue 10/2/18																																									
18		Permitting and Approvals	83 days	Fri 5/25/18	Tue 9/18/18																																									
19		Site Plan Approval	35 days	Fri 5/25/18	Thu 7/12/18																																									
20		Demo Permit	5 days	Wed 8/29/18	Tue 9/4/18																																									
21		Building Permit Approval	20 days	Wed 8/22/18	Tue 9/18/18																																									
22		Utility Relocation	70 days	Wed 8/29/18	Tue 12/4/18																																									
23		Consumers Line Relocation	60 days	Wed 8/29/18	Tue 11/20/18																																									
24		Communication Lines Relocations	60 days	Wed 9/12/18	Tue 12/4/18																																									
25																																														
26		Construction	357 days	Wed 3/6/19	Thu 7/16/20																																									
27		Demo and Abatement	25 days	Wed 3/6/19	Tue 4/9/19																																									
28		Utilities	7 days	Wed 4/10/19	Thu 4/18/19																																									
29		Foundations	10 days	Fri 4/19/19	Thu 5/2/19																																									
30		Shell Construction	90 days	Fri 4/19/19	Thu 8/22/19																																									
31		Roofing and Patio Waterproofing	15 days	Fri 8/23/19	Thu 9/12/19																																									
32		Glazing	20 days	Fri 9/13/19	Thu 10/10/19																																									
33		Steet Side Fascade Work	20 days	Fri 9/13/19	Thu 10/10/19																																									
34		Framing of White Box Areas	10 days	Fri 10/11/19	Thu 10/24/19																																									
35		MEP Rough	30 days	Fri 10/25/19	Thu 12/5/19																																									
36		Install Elevator	20 days	Fri 12/6/19	Thu 1/2/20																																									
37		Insulation and Drywall	30 days	Fri 12/6/19	Thu 1/16/20																																									
38		Painting	15 days	Fri 1/17/20	Thu 2/6/20																																									
39		Ceiling Grid	10 days	Fri 2/7/20	Thu 2/20/20																																									
40		White Box MEP Trim (Emergency Lighting, Fire Alarm,	15 days	Fri 2/21/20	Thu 3/12/20																																									
41		Punchlist and Inspections (Floors 1 and 2 Only)	10 days	Fri 3/13/20	Thu 3/26/20																																									
42																																														
43		Residential Buildout	160 days	Fri 12/6/19	Thu 7/16/20																																									





**Ideal Location for
Job Trailers and
Material Staging -
Would Fence Off
and Secure Area**

Google



City of Mason Planning Commission

Staff Report

TO: Planning Commission
FROM: Elizabeth A. Hude, AICP, Community Development Director
SUBJECT: Special Use Permit and Preliminary Site Plan Review – 154 W. Maple Street
DATE: July 6, 2018

Brian Brady, Red Oak Holdings, LLC has submitted a request for a special use permit and preliminary site plan approval for new construction of a 24,287 sq. ft., three-story, mixed-use building to include mercantile, business and single-family residential, on property located at 154 W. Maple Street, parcel 33-19-10-08-233-021, City of Mason, Ingham Co. The proposal calls for the existing structure, which has been vacant for many years, to be demolished. This is shown on plans as follows:

- Sheets 1-4, prepared by Keks, Inc., dated May 11, 2018 and last revised on May 25, 2018
- Sheets A-101-103 and A-301-302, prepared by Studio Intrigue Architects, LLC, dated April 27, 2018 and last revised on May 25, 2018.

LAND USE AND ZONING

The development is proposed on a parcel zoned C-1 (Central Business District). Section 94-222 states that any use permitted in this district requires site plan review and Section 94-141(7) states that any use permitted in the district involving one or more structures that occupy, either individually or collectively, more than 15,000 square feet of gross floor area requires a Special Use Permit. Section 94-191(e) states that a preliminary site plan must be submitted with the application for a Special Use Permit.

The site fronts on West Maple Street and is also within the boundaries of both the Historic District and the Downtown Development Authority. The surrounding land uses and zoning are as follows:

	Current Land Use	Zoning	Future Land Use
North	Residential	O-1 (Office District)	Residential
East	Commercial	C-1 (Central Business District)	Commercial
South	Commercial	C-1 (Central Business District)	Commercial
West	Commercial	C-1 (Central Business District)	Commercial

The application was submitted to the Historic District Commission (HDC) as required by the City's Ordinance, Chapter 31 Historic Preservation. The HDC reviewed the proposal and approved a certificate of appropriateness at their meeting on June 18, 2018.

REVIEW OF SUBMITTAL

All applications for preliminary site plan review and approval shall comply with the basic required submittal standards of subsection 94-225(d)(1). The additional required submittal standards of subsection 94-225(d)(2) shall be satisfied by any application for preliminary site plan review and approval involving the following uses of land or structures. The planning commission may require that supplemental information and analysis be submitted as part of any application for preliminary site plan review and approval if such information is deemed necessary to demonstrate compliance with the requirements of Chapter 94 Zoning. The costs for such supplemental analysis and information shall be incurred by the applicant. Supplemental information may include the items listed in section 94-225(d)(2).

Table 1: Submittal Standards

Ordinance	Status	Note
§94-225(d)(1) Basic required submittal standards	I	<p>§94-225(d)(1)g. Statement of facts (SOF)... It appears the SOF is listed as Site Data on sheet 1 of 4. The information provided is incomplete as it does not address lot width, building height, minimum floor area per dwelling unit, and parking; however, a supplemental document was provided detailing the number of required and proposed parking spaces.</p> <p>§94-225(d)(1)h.11 Location and screening of refuse facilities - A refuse chute in the private garage is noted on sheet A-101 – staff recommends the applicant clarify how refuse will be managed on-site for all uses in the building and if the requirements of §94-173(b) Solid Waste Disposal will be met.</p>
§94-225(d)(2) Additional required submittal standards	I	<p>§94-225(d)(2)b – Zoning of property within 500 feet of the subject property</p> <p>§94-225(d)(2)c – Vicinity Map items 4-6 and 8; a location map does provide the location of the subject property and street names sufficient to determine its relationship to the surrounding area.</p> <p>§94-225(d)(2)f – Construction schedule: Staff recommends that the applicant provide a construction schedule and management plan for maintaining traffic and mitigating impacts to businesses in the area.</p> <p>§94-225(d)(2)g – A detailed cost estimate has not been provided.</p>
§94-225(d)(3) Supplemental analysis and information.	TBD	
*M = Meets requirements; I = Information Needed; R = Recommendation		

Height, Bulk, Density, and Area Requirements

Overall the plan appears to meet the building height, setbacks and lot coverage site development standards listed in Section 94-121(c) and Tables 100-1 and 100-2 with the following exception:

- It appears a portion of the building exceeds the 45' height limit. It does not appear to qualify as an exception per §94-175 Supplemental height regulations.

Circulation, Loading and Off-Street Parking

Circulation

The proposed building is adequately served by infrastructure that supports the safe and orderly circulation of motorized and non-motorized traffic - it fronts onto a four lane public right of way supporting two lanes for bi-directional traffic, two lanes of on-street parking and a sidewalk. CATA route #46 is available one block east on Jefferson St.

Loading

There shall be no requirement of loading or unloading space in the C-1 district for property with direct access to an alley. (§94-293(c))

The site currently has direct access to an alley and therefore is exempt from the loading space requirement.

Off-Street Parking

§94-292(h)(1) Uses in the C-1 district states that there shall be no off-street parking space requirements in the C-1 district for those uses which require 20 or less off-street parking spaces. Uses requiring more than 20 off-street parking spaces shall have their parking requirement determined by the planning commission. In making such a decision, the planning commission shall consider the availability of both public and private parking spaces.

Based upon the requirements of Table 100-5 Parking space requirements, 54 parking spaces are required to support the uses in the development, three of which are to be barrier free. This is detailed in the parking calculation (Table 1) below. The applicant is providing four private parking spaces dedicated to the residence on the third floor. Tenants are yet to be determined for the first and second floors, therefore, parking space requirements are an estimate based upon the intended uses.

Staff finds that there appears to be sufficient parking available in the surrounding public lots and on-street spaces to accommodate the proposed uses and recommends that the planning commission modify the number of required spaces to 24 based upon the following facts:

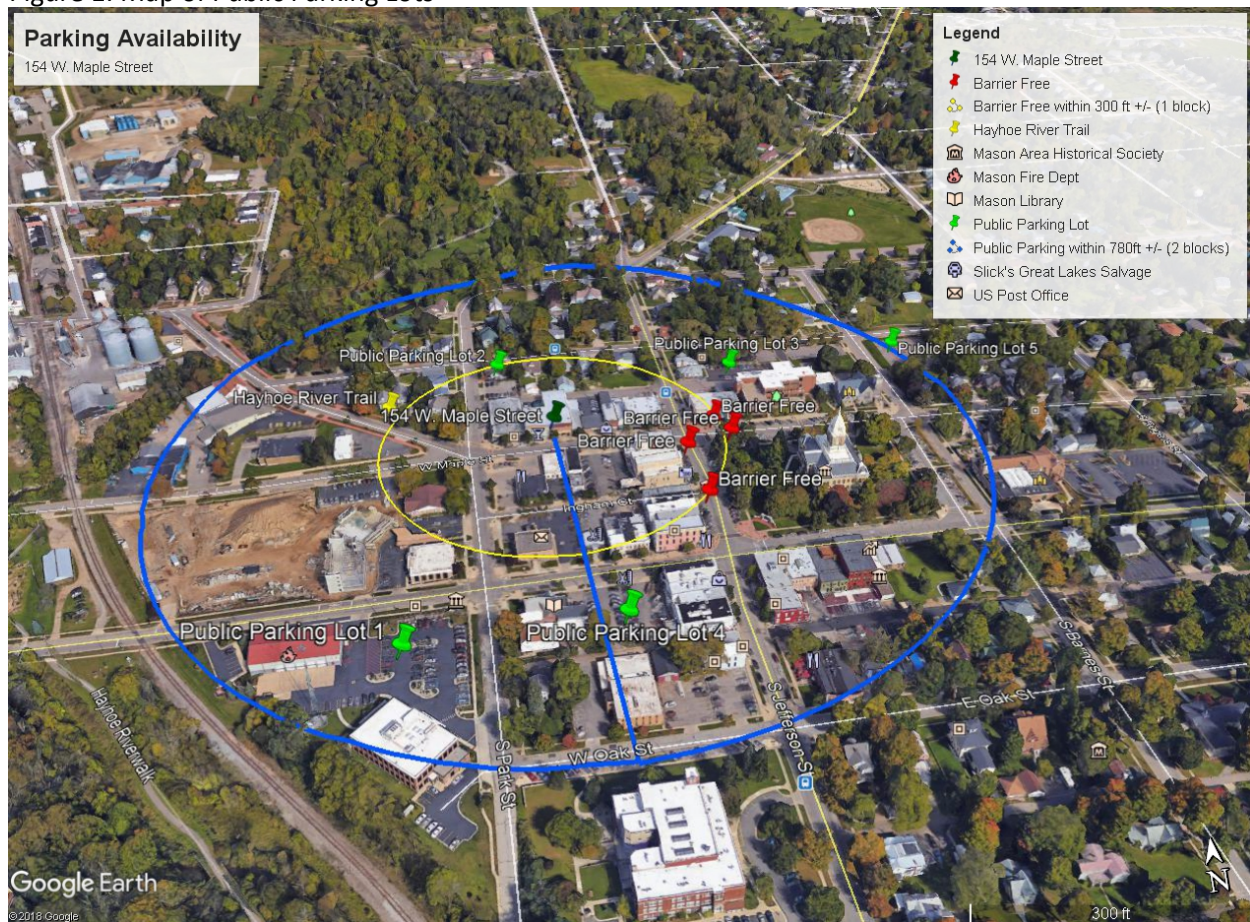
- 1) Figure 1 displays five public parking lots within a two-block radius of the site (roughly 780 feet) as well as the on-street parking, providing over 618 public parking spaces. There are four barrier-free spaces within 300 feet of the site. The city has three active parking permits, one per car, to allow over-night parking in the public lots (residential use). Those spaces will likely be vacant during the day as peak hour use for residential is typically the opposite of traditional peak hours for retail and office.
- 2) There are an estimated 250 +/- private parking spaces dedicated to businesses downtown.
- 3) A parking study was completed as part of a 2009 Downtown Marketing Analysis by McKenna Associates. Based on their recommendation, a calculation of 3.23 for 1,000 sq. ft. of useable floor area would require a total of 29 parking spaces to support the office and retail uses. This is 23 parking spaces less than what would be required under the City's current parking requirements. The study states that based upon the total building floor area in downtown, which would take into consideration the existing site, demand is for 380 spaces total. Factoring in the available private parking lots associated with many of the buildings, this results in a parking surplus of approximately 240% +/- in downtown Mason.

As the applicant is providing four spaces on-site for the residential use, the remaining 20 spaces required meet the threshold for the allowable limit for which the applicant is exempt from the requirement to provide on-site parking spaces.

Table 2: Parking Calculation

Use	UFA (per applicant)	Parking/UFA	Customer Parking Req.	Customer Parking Proposed	Peak Hour Use
First Floor General Retail	3,653.6 SF	1:150 sq. ft.	25	0	9a-6p M-Su
Second Floor Office	5,352.48 SF	1:200 sq. ft	27	0	8a-5p M-F
Third Floor Residential	na	na	2	4	na
Total			54	4	
Allowance for uses in the C-1 District			20		
Balance – parking spaces required on-site			30		
<i>Barrier-free spaces required</i>			3		
<i>2009 McKenna Analysis, 3.23 per 1,000 s.f. applied to Office-Retail uses</i>			29	0	
<i>Staff recommendation</i>			<i>4 - Residential 20 - Office/ Retail</i>	<i>4 – Residential on-site 20 – Offsite public parking including 3 on-street barrier free spaces</i>	
<i>UFA = Useable Floor Area</i>					

Figure 1: Map of Public Parking Lots



Landscaping

A landscape buffer is not required for uses in the C-1 district as shown in Table 100-4. Landscape Buffer Classification Matrix.

Signs

Signs are depicted on the elevation drawings. They will be evaluated further as part of the building permit review for compliance with the requirements of Chapter 58 of the Zoning Ordinance, including Division 2 of said chapter.

Site Lighting

No lighting on or near the building is indicated on the plan except for the public street lights. Staff recommends the applicant confirm if lighting will be installed. Staff would also like clarification on the landlord's policy regarding tenant lighting during hours when those uses are closed. Will lights be on inside 24/7?

Construction Schedule

To be determined.

PUBLIC SERVICES AND FACILITIES

Water and Sanitary Sewer

The site is currently served with water and sanitary sewer. Lead sizes shall be noted on the construction plans per the City Engineer's comments, letter dated June 26, 2018.

Storm Water Management

There appears to be no change in impervious lot coverage between the existing site and the proposed development. Therefore, storm water runoff remains unchanged. See City Engineer's comments, letter dated June 26, 2018

AGENCY COMMENTS

Police	No comments or concerns at this time.
Fire	No comments or concerns at this time.
City Engineer/DPW	See letter dated June 26, 2018
Ingham County Drain Commissioner	See letter dated June 14, 2018
Historic District Commission	The HDC reviewed the proposal and approved a Certificate of Appropriateness on June 18, 2018.

SPECIAL PERMIT BASIS OF DETERMINATION

In accordance with Special Use Permit: Chapter 94, Article VI, Sec. 94-191(f) Basis of determination.

d) Review and decision. The planning commission may approve, approve with conditions, or deny an application for special use permit.

Sec. 94-191(f) Basis of determination. Before approving a special use permit, the planning commission shall find by clear and convincing proof that the applicable standards set forth by this chapter shall be satisfied by the completion and operation of the proposed development. The planning commission shall review the particular circumstances and facts of each proposed use in terms of these standards and shall make written findings showing that such use shall:

- (1) *Be designed, constructed, operated, and maintained so as to be harmonious and appropriate in appearance with the existing or intended character of the general vicinity and that such a use will not change the essential character of adjacent property or the zoning district in which it is proposed. The Historic District Commission issued a Certificate of Appropriateness on June 18, 2018 which serves as a finding of fact that the development will meet this criterion.*
- (2) *Not be hazardous or disturbing to uses in the same general vicinity and will be a substantial improvement to property in the immediate vicinity and to the community as a whole. Once complete, the development will be a substantial improvement to the area as the current building is vacant, and the architecture is considered 'non-contributing' to the historic nature of the district. A maintenance of traffic/business plan will need to be implemented during construction to minimize hazardous conditions and disturbances to surrounding uses.*
- (3) *Be served adequately by essential facilities and services, such as highways, streets, police and fire protection, drainage structures, refuse disposal, water and sewage facilities, and schools. The site is currently served with essential facilities and services. Staff recommends the applicant clarify how refuse for all uses will be managed on-site.*
- (4) *Not create additional requirements at public cost for public facilities and services. The development will be privately financed. The developer is working with the City to explore grants and programs to support improvements to the public alley to the north which would include the burying of utilities underground.*
- (5) *Not involve uses, activities, processes, materials, and equipment or conditions of operation that will be detrimental to any person, property, or the general welfare by noise, fumes, glare, or odors. The proposed uses in the development appear to be consistent with uses allowed by right in the C-1 zoning district and comply with this criterion. Clarification on security lighting inside the building is recommended to ensure light during the evening hours does not impact residences across the street and adjacent properties.*
- (6) *Not be located such that it will directly or indirectly have a substantial adverse impact on the natural resources of this city. There appear to be no substantial adverse impacts. The development will be reviewed further for compliance with pretreatment standards for storm water discharge into the Sycamore Creek.*
- (7) *Be in compliance with other applicable local, county, state, or federal rules and regulations. The proposal is currently not in compliance with the local ordinance for height. The applicant will need to seek permits or waivers from the Ingham County Drain Commission and recommends consulting with the Federal Aviation Administration on any required permits or waivers due to the proximity to the airport.*

SITE PLAN REVIEW STANDARDS

In reviewing an application for site plan review and approval the following standards of Sec. 94-227 shall apply:

- (1) *The site shall be developed so that all elements shall be harmoniously and efficiently organized in relation to the size, shape, type and topography of the site and surrounding property. The Historic District Commission issued a Certificate of Appropriateness on June 18, 2018 which serves as a finding of fact that the development will meet this criterion.*
- (2) *The site shall be developed so as not to impede the normal and orderly development, improvement, and use of surrounding property for uses permitted in this chapter. Once complete, the development will be a substantial improvement to the area and meet this criterion. A maintenance of traffic/business plan will need to be implemented during construction to maintain normal and orderly use for surrounding properties.*

- (3) *All buildings or groups of buildings shall be arranged to permit emergency vehicle access by some practical means to all sites. **The building fronts on Maple Street, a public right of way, and is also accessible via the public alley to the north. Police and Fire departments have expressed no concerns.***
- (4) *Every structure or dwelling unit shall have direct access to a public street or indirect access to a public street via an approved dedicated private street. **The building fronts on Maple Street, a public right of way.***
- (5) *Appropriate measures shall be taken to ensure that the addition or removal of surface waters will not adversely affect neighboring properties that controls are in place to minimize sedimentation and erosion, and that topographic alterations are minimized to accommodate storm water management. **The proposed storm water management plan is consistent with its current use and appears to meet this criterion. (Letter dated June 26, 2018)***
- (6) *Provisions shall be made for the construction of storm sewer facilities including grading, gutters, piping, on-site storage, and treatment of turf as required to handle storm water and prevent erosion. **The proposed storm water management plan is consistent with its current use and appears to meet this criterion.***
- (7) *Secondary containment for above ground areas where hazardous substances are stored or used shall be provided as required by the city fire chief. **No hazardous substances appear to be stored or used by this development. The Fire Chief did not express concerns.***
- (8) *Exterior lighting shall be designed and located so that the source of illumination is directed away from adjacent properties, the intensity of lighting is the minimum necessary, and the direction of lighting is downward as much as is possible and appropriate for the project. **No external lighting appears to be proposed. Confirmation of night time illumination from within the building is recommended prior to approval.***
- (9) *All loading and unloading areas, outside storage areas, and refuse receptacles shall be screened from casual view from the public rights-of-way and adjoining land uses. **The development has access to an alley and therefore no loading area is required. Refuse for private residential use appears to be contained inside the private garage. It is not clear how refuse will be managed on-site for the remaining uses. Staff recommends clarification prior to approval.***
- (10) *Site plans shall meet the driveway, traffic safety, and parking standards of the city in such manner as necessary to address the following:*
 - a. *Safe and efficient vehicular and non-vehicular circulation, including parking areas, non-motorized linkages to abutting parcels, uses, sidewalks, and trails.*
 - b. *Shared driveways and service drives.*
 - c. *Adequate and properly located utilities.*

The site is served with existing infrastructure to support circulation, traffic safety, utilities and parking.

- (11) *Provisions shall be made for proposed common areas and public features to be reasonably maintained. **The site plan shows the demolition and restoration plan for areas of the public sidewalk and alley which appear to meet this criterion.***
- (12) *The site plan submittal shall demonstrate compliance with all applicable requirements of this chapter, chapters 58 and 74, the building code, and county, state, and federal law.*

The proposal is currently not in compliance with the local ordinance for height. The applicant will need to seek permits or waivers from the Ingham County Drain Commission and recommends consulting with the Federal Aviation Administration on any required permits or waivers due to the proximity to the airport.

STAFF RECOMMENDATION:

The concurring vote of a majority of the members appointed to and serving on the planning commission shall be necessary to approve a special use permit.

The following motions are offered for consideration:

OPTION 1 - APPROVE WITH CONDITIONS

Motion to approve Resolution 2018-10 for Special Use Permit and Preliminary Site Plan Review for 154 W. Maple Street with the following conditions:

A final site plan shall be submitted to the Planning Commission which satisfies the applicable standards for approval including:

1. Revised drawings showing the building height not to exceed 45', and
2. To Address comments provided by the City Engineer, and
3. To provide additional information to address comments noted in the staff report dated July 6, 2018.
4. Other (To be specified: Other additional information based on the public hearing as determined necessary by the Planning Commission in order to make an informed decision and confirm the application meets the requirements of the zoning ordinance.)

OPTION 2 - DEFER DECISION TO FUTURE MEETING

Motion to table the application for Special Use Permit and Preliminary Site Plan Review for 154 W. Maple Street until (*specify date/meeting*) in order to obtain/allow for:

1. Revised drawings showing the building height not to exceed 45', and
2. To Address comments provided by the City Engineer, and
3. To provide additional information to address comments noted in the staff report dated July 6, 2018.
4. *Other (To be specified: Other additional information based on the public hearing as determined necessary by the Planning Commission in order to make an informed decision and confirm the application meets the requirements of the zoning ordinance.)*

Attachments:

1. Resolution
2. Application
3. Site Plan
4. Agency emails/letters
5. City of Mason Downtown Marketing Analysis, pages – Parking Inventory, 5, and 36



Wolverine Engineers & Surveyors, Inc.

312 North Street • Mason, Michigan 48854 • 517.676.9200 • Fax 517.676.9396

June 26, 2018

Ms. Elizabeth A. Hude, AICP - Community Development Director
City of Mason
201 W. Ash Street
Mason, MI 48854

RE: 154 W. Maple Mixed Use

Dear Ms. Hude:

We have received and reviewed the Preliminary site plan for the proposed mixed-use development at 154 W. Maple Street as prepared by Studio Intrigue Architects with a plan date of May 25, 2018. The plans as provided consisted of nine (9) sheets.

In general, the plans propose the demolition of the existing structures at 154 W. Maple and the construction of a new three-story building.

The impervious lot coverage between the exiting use and the proposed use appears to remain unchanged; therefore, storm water runoff remains unchanged. The site is currently served with water (from Maple Street) and sanitary sewer (from the alley).

We offer the following comments with the understanding these plans are preliminary in nature:

1. The pavement cross section shall be 5 inches of MDOT 13A HMA placed in two lifts (3 inches of base/leveling and 2 inches of top) over an aggregate base of 8 inches of MDOT 22A.
2. The water and sanitary sewer lead sizes shall be noted on the construction plans.

We would recommend the City consider the closing of the sidewalk along Maple Street for the duration of the project and that the pedestrians be routed to the south side of Maple Street.

From an engineering perspective we recommend the approval of the Special Use of this site for a mixed-use development.

Ms. Hude
June 26, 2018
Page 2 of 2

We appreciate the opportunity to offer our comments to the City on this development.

If you have any questions or additional comments, please do not hesitate to contact our office.

Sincerely,

WOLVERINE ENGINEERS & SURVEYORS, INC.



Donald B. Heck, P.E.

DBH:ood

cc: K. Baker, Public Works Director – City of Mason

Patrick E. Lindemann

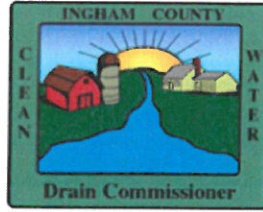
Ingham County Drain Commissioner

PO Box 220
707 Buhl Avenue
Mason, MI 48854-0220

Phone: (517) 676-8395

Fax: (517) 676-8364

<http://dr.ingham.org>



Carla Florence Clos
Deputy Drain Commissioner

Paul C. Pratt
Deputy Drain Commissioner

David C. Love
Chief of Engineering and Inspection

Sheldon Lewis
Administrative Assistant

June 14, 2018

Elizabeth Hude, Community Development Director
Mason City Hall
201 West Ash Street
P.O. Box 370
Mason, MI 48854

RE: Site Plan Review request – 154 W. Maple St.
Conceptual Plan Review; Drain Office #18068

Dear Ms. Hude:

We are in receipt of a June 6, 2018 request by the City of Mason for site plan review for a redeveloped parcel at 154 W. Maple Street in the City of Mason. This conceptual review is offered as a courtesy to the City of Mason only and should not be construed by the project owner or others as formal submission to the Ingham County Drain Commissioner for site plan or drainage review.

The Ingham County Drain Commissioner (ICDC) offers the City of Mason the following conceptual review comments on the stormwater system for this project:

1. The lot is entirely covered by the existing building or pavement; therefore, no new stormwater issues will result from the proposed improvements.
2. The site is not located in the 100-year floodplain.
3. No County Drains are affected by this project.
4. The site is located in the City of Mason, a Phase II area, and the stormwater discharge should be held to adequate pretreatment standards to protect the receiving waters of Sycamore Creek.

We appreciate the opportunity to comment on this plan. It is an honor and a privilege to serve you and the other businesses, citizens and municipalities of Ingham County.

Sincerely,

David C. Love
Ingham County Drain Engineer