

**JOINT PLANNING COMMISSION
CITY OF MASON AND VEVAY TOWNSHIP**

TUESDAY, FEBRUARY 12, 2019
Sycamore Room– 1st Floor - 6:30 P.M.
201 West Ash Street, Mason MI

AGENDA

1. CALL TO ORDER

2. ROLL CALL

3. ELECTION OF LEADERSHIP

A. Elect Officers for 2019- Chair, Vice-Chair and Secretary

4. PUBLIC COMMENT

5. APPROVAL OF MINUTES

A. Approve Minutes of Regular City of Mason and Vevay Township Joint Planning Commission Meeting February 7, 2017.

6. PUBLIC HEARING

A. Resolution 2019-01: Goodwill Industries of Central Michigan's Heartland, Inc. is requesting a special use permit for permission to construct a new 15,772 square foot commercial building for a Goodwill retail store at 652 Hull Road.

7. ADJOURN

**CITY OF MASON/VEVAY TOWNSHIP
JOINT PLANNING COMMISSION
Regular Meeting
Tuesday, February 7, 2017**

MINUTES

Members Present: Vice Chair John Sabbadin, Secretary Jack Cady, Seth Waxmen, and Jim Minster

Members Absent: Chair Ilene Thayer, Jon Droscha, and Mark Howe

Staff Present: David Haywood, Director of Zoning and Development for the City of Mason and Vevay Township Scribe Brett Linsley

The meeting was called to order by Vice Chair Sabbadin at 6:40 p.m. and followed by the Pledge of Allegiance.

Approval Minutes. A correction was made to the minutes after the Commission received their packet. David Haywood and Brett Linsley are now listed as “Staff Present” instead of “Others Present.”

MOTION Waxman, seconded Cady, to approve the meeting minutes from January 23, 2017 as presented.

Motion Approved Unanimously.

People from the Floor. None

Meeting was adjourned at 6:42 p.m.

Jack Cady, Secretary

Transcribed by Brett Linsley
February 7, 2017 Mason Vevay Joint PC Minutes.docx



City of Mason
Planning Commission
Staff Report

TO: Planning Commission
FROM: Elizabeth A. Hude, AICP, Community Development Director
SUBJECT: 652 Hull Rd – Goodwill
DATE: February 7, 2019

Goodwill Industries of Central Michigan's Heartland Inc. is requesting a special use permit and simultaneous preliminary and final site plan approval to construct a new 15,772 square foot commercial building for a Goodwill retail store at 652 Hull Road. The parcel is zoned C-2 General Commercial District. The development was previously approved on January 23, 2017. The permits were valid for two years, have expired, and do not qualify for an extension.

The proposal is shown on the following plans and documents submitted on January 14, 2019:

- Letter from Matthew B. Van Dyk dated January 11, 2019
- Plan set dated January 11, 2019:
 - Existing Topographic Plan, page V 101
 - Demolition Plan, page CD 101
 - Site Plan, page C 101
 - Utilities, page C 102-103
 - Grading and Storm Sewer Plan, page C 104
 - Soil Erosion and Sedimentation Control, page C 105
 - Details, page C 501
 - Site Landscape Plans (North, Central, South), pages L 100, 110, 120
 - Floor Plan and Perspective – Preliminary, page A 101
 - Exterior Elevations – Preliminary, page A 301
 - Electrical Site Plan, ES 101

The records for prior meetings and approvals can be viewed at the links provided below:

January 23, 2017 – Joint Vevay/Mason Planning Commission: Special Use Permit and Site Plan APPROVED

https://www.mason.mi.us/document_center/Governments/Planning%20Commission/03f%20Previous%20Joint%20Planning%20Commission%20Packet%20Jan%2023%202017.pdf

CONSTRUCTION SCHEDULE

In the submission letter dated January 11, 2019, it states Goodwill plans to bid out the project in February 2019, and anticipates beginning construction in June 2019. The store expects to open in the summer of 2020.

LAND USE AND ZONING

The site is located and fronts on both Hull Road, which is under the jurisdiction of the Ingham County Road Department and on US 127 which is under the jurisdiction of the Michigan Department of Transportation (MDOT). This is a 'property in fee' to the centerline of the road, which means that the property line is in the middle of the road and within the County road right of way.

The property is under the jurisdiction of both Vevay and Mason Planning commission per the Mason and Vevay Township 425 Agreement, Section 4.01 (excerpt attached).

The surrounding land uses and zoning are as follows:

	Current Land Use	Zoning	Future Land Use
North	<i>There are two properties that share the property line along the north:</i> Commercial (Meijer) and Residential	C-2 General Commercial District AG Single Family Agricultural District	Commercial
West	US 127 - Interstate Right of Way - Michigan Department of Transportation (MDOT)		
South	City of Mason Water Tower	AG Single Family Agricultural District	Public (Water Tower)
East	Industrial	M-2 (General Manufacturing District)	Industrial

COMMENTS – DEPARTMENTS AND AGENCIES

Staff circulated the application and plans to city staff and agencies with jurisdiction over the project. In addition to comments received in 2017, the following were received.

BUILDING INSPECTOR	Checklist for commercial construction and the information regarding special inspections was forwarded to applicant.
INGHAM COUNTY ROAD DEPARTMENT	The Ingham County Road Department (ICRD) reviewed and accepted the project plan set dated December 14, 2016. Any subsequent changes to the plan set shall be indicated on the plans or otherwise made apparent for another ICRD review. Ultimately, the proprietor will have to apply and be issued an ICRD permit for any proposed work within the public road right-of-way of Hull Road. Said permit will be issued based on an acceptable construction plan set, including proposed traffic control schemes. (e-mail 1-17-19)
MICHIGAN DEPARTMENT OF TRANSPORTATION	Since the proposed drainage changes may affect the US-127 right of way the applicant would need to submit for a MDOT right of way permit, site plan and the attached 2484 drainage calculation form for MDOT review. MDOT permits can be applied for at the Michigan Permit Gateway (MPG), and the information for accessing the MPG portal is located at www.michigan.gov/mdotmpg . (email 1-18-19)
MICHIGAN DEPARMTENT OF ENVIRONMENTAL QUALITY	The site does not appear to be in a regulated floodplain under the State's floodplain provisions found in Part 31, Water Resources Protection, of the NREPA, as amended. (email 1-18-19)

SIDEWALK

Staff has reviewed the prior discussion concerning the requirement for sidewalk and requested deferment. Staff recommends that the condition requiring the installation of a sidewalk by the property owner be removed and instead an easement will be granted to the City for future installation based on the following:

Sidewalks are defined in Sec. 1-2 Definitions of the City Ordinance as *that portion of the street between the curb, or the lateral line of the roadway, and the adjacent property line, intended for the use of pedestrians.*

Sidewalks are required to be installed during the development of a site in accordance with Sec. 94-227(10)a and the City of Mason Development Standards:

(10) Site plans shall meet the driveway, traffic safety, and parking standards of the city in such manner as necessary to address the following:

a. Safe and efficient vehicular and non-vehicular circulation, including parking areas, non-motorized linkages to abutting parcels, uses, sidewalks, and trails.

The property owner's boundary is within the County road right of way and the County has jurisdiction over work within the County road right of way. The City will be developing a non-motorized plan (NMP) for sidewalks, trails and bike lanes as part of its Parks and Recreation Plan update this year. An NMP is a policy document that is required in order to request funding in a Capital Investment Program (CIP), and is also required when working with other agencies like ICRD and MDOT.

Currently there is no connectivity to the existing City of Mason sidewalk system. As referenced in the NMP and congruent CIP, the City will begin to address the missing portions of connectivity and allocate resources (special assessments, etc.) to construct these benefits. In the future, the City can coordinate with the County to install a future sidewalk along Hull Rd in accordance with its NMP and County requirements. The property owner could be special assessed in accordance with the jurisdictional agency's policy.

Staff corresponded with the applicant's representative on February 7, 2019 by email to make them aware that it will likely cost more when the City does the assessment for the sidewalk than if they were to install it as a part of the project. The City's assessment will include costs for restoration, mobilization and other items that would likely be reduced if they added the sidewalk during their construction. They acknowledged the potential for higher costs, but still prefer to defer construction of the sidewalk.

STAFF REVIEW

Staff finds that the Site Plan appears to meet the standards for a Special Use Permit, Preliminary and Final Site Plan Approval. This is based upon a review of the materials submitted which remain consistent with the plans approved in 2017 with the exception of the items listed in the application cover letter dated January 11, 2019. The plan now reflects a 20-foot-wide sanitary sewer easement, the vestibule reduced in size from 16,680 sq. ft. to 15,772 sq. ft. (reduction of 908 sq. ft.), and an additional catch basin has been added along the east side of the detention basin.

§94-227. Standards for site plan review and approval. In reviewing an application for site plan review and approval the following standards shall apply:

STATUS/NOTE	REQUIREMENT
*M = Meets requirements; I = Information Needed; R = Recommendation	
M	(1) The site shall be developed so that all elements shall be harmoniously and efficiently organized in relation to the size, shape, type and topography of the site and surrounding property.
M	(2) The site shall be developed so as not to impede the normal and orderly development, improvement, and use of surrounding property for uses permitted in this chapter.
M	(3) All buildings or groups of buildings shall be arranged to permit emergency vehicle access by some practical means to all sites.
M	(4) Every structure or dwelling unit shall have direct access to a public street or indirect access to a public street via an approved dedicated private street.
M	(5) Appropriate measures shall be taken to ensure that the addition or removal of surface waters will not adversely affect neighboring properties, that controls are in place to minimize sedimentation and erosion, and that topographic alterations are minimized to accommodate storm water management.
M/R – See condition 3.	(6) Provisions shall be made for the construction of storm sewer facilities including grading, gutters, piping, on-site storage, and treatment of turf as required to handle stormwater and prevent erosion.
M	(7) Secondary containment for above ground areas where hazardous substances are stored or used shall be provided as required by the city fire chief.
M	(8) Exterior lighting shall be designed and located so that the source of illumination is directed away from adjacent properties, the intensity of lighting is the minimum necessary, and the direction of lighting is downward as much as is possible and appropriate for the project.
M	(9) All loading and unloading areas, outside storage areas, and refuse receptacles shall be screened from casual view from the public rights-of-way and adjoining land uses.
M/R – see condition 2 for sidewalks.	(10) Site plans shall meet the driveway, traffic safety, and parking standards of the city in such manner as necessary to address the following:
	a. Safe and efficient vehicular and non-vehicular circulation, including parking areas, non-motorized linkages to abutting parcels, uses, sidewalks, and trails.
	b. Shared driveways and service drives.
M	c. Adequate and properly located utilities.
	(11) Provisions shall be made for proposed common areas and public features to be reasonably maintained.
M/R – See condition 1 and 4.	(12) The site plan submittal shall demonstrate compliance with all applicable requirements of this chapter, chapters 58 and 74, the building code, and county, state, and federal law.

In addition to these standards, Section 94-191(f) of the Mason Code provides the Basis of Determination for Special Use Permits. These standards must be met before a Special Use Permit can be approved. The standards and staff commentary regarding compliance follow:

- (1) *Be designed, constructed, operated, and maintained so as to be harmonious and appropriate in appearance with the existing or intended character of the general vicinity and that such a use will not change the essential character of adjacent property or the zoning district in which it is proposed.*
The location is currently zoned for commercial use. The use appears to be harmonious with the general surroundings and character of the immediate vicinity.
- (2) *Not be hazardous or disturbing to uses in the same general vicinity and will be a substantial improvement to property in the immediate vicinity and to the community as a whole.*
Provided the conditions listed in the resolution are met, staff is not aware of any additional conflicts of a hazardous or disturbing nature associated with the proposed use.
- (3) *Be served adequately by essential facilities and services, such as highways, streets, police and fire protection, drainage structures, refuse disposal, water and sewage facilities, and schools.*
The use is proposed in an area currently served by public water and planned for sanitary sewer extension. The City will coordinate with the County to install sidewalk at a future date in accordance with the City's sidewalk/non-motorized plan. The property will be special assessed in accordance with the appropriate jurisdiction's policy on special assessments.
- (4) *Not create additional requirements at public cost for public facilities and services.*
It does not appear that the proposed use will create additional public costs.
- (5) *Not involve uses, activities, processes, materials, and equipment or conditions of operation that will be detrimental to any person, property, or the general welfare by noise, fumes, glare, or odors.*
Staff is not aware of any conflicts of this nature.
- (6) *Not be located such that it will directly or indirectly have a substantial adverse impact on the natural resources of this city.*
Staff is not aware of any conflicts of this nature.
- (7) *Be in compliance with other applicable local, county, state, or federal rules and regulations.*
It appears that the proposed use is in compliance, provided the specified conditions of approval are met.

ACTION

§94-191. General standards and requirements. (d, g, i)

(d) Review and decision. The planning commission may approve, approve with conditions, or deny an application for special use permit. The review of a special use permit application and the associated site plan shall be made by the planning commission in accordance with the procedures and standards specified in this chapter.

(1) An application for special use permit and the associated preliminary site plan shall be approved if both are found to be in compliance with the requirements of this chapter, and other applicable local, county, state, or federal laws, rules or regulations. The planning commission may defer a decision in order to obtain that information deemed necessary to making an informed decision.

(2) The applicant may make changes to the application and site plan in order to achieve compliance with this chapter. Such changes shall be noted on the application or site plan or the planning commission may require that these documents be resubmitted incorporating said changes.

(3) Approval and issuance of a special use permit shall signify concurrent approval of the application and preliminary site plan, therefore any subsequent authorized modification to the site plan shall become part of the special use permit and shall be enforceable as such.

(4) The decision to approve or deny a request for a special use permit shall be retained as a part of the record of action on the request and shall incorporate a statement of conclusions which specifies the basis for the decision, any changes to the originally submitted application and site plan necessary to insure compliance with the chapter, and any conditions imposed with approval.

(5) Once a special use permit is issued, all site development and use of land on the property affected shall be consistent with the approved special use permit unless a change conforming to chapter requirements is approved by the planning commission.

(6) The concurring vote of a majority of the members appointed to and serving on the planning commission shall be necessary to approve a special use permit.

(7) The planning commission shall defer all proceedings on an application for a special use permit upon the request of the applicant when less than eight members of the planning commission are present for consideration of and voting on said special use. The right of deferment shall be considered waived by the applicant if deferment is not requested immediately upon the opening of the hearing conducted pursuant to section 94-191(c). When deferment is requested as required, the planning commission shall, at that time, determine the date of a future regular or special meeting for the continuation of the hearing and consideration of the matter. Notice previously given for the original hearing date shall constitute notice of the future hearing date with no further notice required.

(g) Conditions. The planning commission may impose such reasonable conditions upon the approval of a special use permit as are deemed necessary to protect the general welfare, protect individual property rights, and insure that the intent and objectives of this chapter will be satisfied.

(1) The conditions may include those necessary to insure that public services and facilities affected by a proposed use will be capable of accommodating the increased service and facility loads caused by the use.

(2) The conditions may include those necessary to protect the natural environment and conserve natural resources and energy, to insure compatibility with adjacent uses, and to promote the use of land in a socially and economically desirable manner.

(3) The conditions shall be designed to protect natural resources, the public health, safety, and welfare, as well as the social and economic well-being of those who will use the land or engage in the activity under consideration, residents and landowners immediately adjacent to the proposed land use or activity, and the community as a whole.

(4) The planning commission may require a performance guarantee in accordance with section 94-100 of this chapter.

(5) The special use permit may be limited for a specified period of time only where the subject use has some naturally limiting factor.

(6) The conditions may include that a specified percentage of the authorized construction and/or development be completed within a specified period of time. Failure to meet this requirement shall invalidate special use authorization for only that portion of the project not developed as required.

i) Transfer and expiration of special use permit. The city shall notify the applicant, in writing mailed to the address listed on the application, that a special use permit has become invalid.

(1) A special use permit shall be valid for as long as the permitted use continues in accordance with the terms stated therein unless otherwise stated in the special use permit. If the use permitted by the special use permit is not established in compliance with the terms of the special use permit within 12 months from the date of its issuance, then the special use permit shall automatically expire and be of no further effect or validity. This period of time may be extended by the planning commission for good cause for an additional six months.

(2) Approval of a special use permit shall be valid regardless of change of ownership provided that all terms and conditions of the permit are met by subsequent owner.

(3) If the use permitted under the special use permit ceases or is vacated for 12 months, the special use permit shall automatically expire and be of no further effect or validity.

§94-226. Final site plan review and approval.

The planning commission shall have the authority to approve, approve with conditions, or deny an application for final site plan review and approval.

§94-229. Extension of site plan approval.

Approvals of a final site plan are valid for a period of 12 months. Only one extension of a final site plan may be granted for an additional 12 months at the sole discretion of the approving authority. A final site plan is deemed to have expired if a building permit has not been obtained for the development within 12 months of approval of the final site plan. A request to extend preliminary or final site plan validity shall be submitted prior to the expiration of the preliminary or final site plan.

§94-230. Conformance to approved site plan.

A development project shall conform to the approved final site plan. Failure to conform to the approved final site plan shall constitute a violation of this chapter.

However, amendments to an approved site plan can be made subject to the provisions of §94-228 Amendments to an approved site plan.

§94-231. Review standards for planning commission decision.

(a) A decision rejecting, approving, or conditionally approving a site plan shall be based upon requirements and standards contained in the zoning ordinance, other statutorily authorized and properly adopted local unit of government planning documents, other applicable ordinances, and state and federal statutes.

(b) A site plan shall be approved if it contains the information required by the zoning ordinance and is in compliance with the conditions imposed under the zoning ordinance, other statutorily authorized and properly adopted local unit of government planning documents, other applicable ordinances, and state and federal statutes.

The applicant has submitted a Final Site Plan that, with the conditions listed, appears to contain the information required by the zoning ordinance, and will meet the standards for approval of a Special Use Permit and Preliminary/Final Site Plan review.

Therefore, the following motion is offered for consideration:

MOTION

Motion to approve Resolution 2019-01 for a Special Use Permit, Preliminary and Final Site Plan Approval which includes the following conditions:

1. That the applicant will secure prior authorization from the necessary agencies prior to the issuance of a building permit – MDOT (storm water discharge), ICRD (curbs), ICDC (soil erosion).
2. The applicant will provide the necessary easements to the City of Mason for the future installation and maintenance of sidewalks and public utilities including but not limited to water, sewer, and storm drainage. Such utility easement shall be 20' in width and shall run immediately adjacent to and westerly of the westerly right-of-way line of Hull Road for the full length of the Property, to be depicted on the Site Plan when submitted for a building permit. Similarly, such sidewalk easement shall be 10' in width and shall run immediately adjacent to and westerly of the westerly right-of-way line of Hull Road for the full length of the Property.
3. The applicant will provide a drainage facilities maintenance agreement prior to the issuance of an occupancy permit.
4. The applicant will provide a record drawing for the site documenting conformance with the approved special use permit and site plan, utility and easement locations, prior to the issuance of a certificate of occupancy.

Attachments:

1. Proposed Resolution 2019-01
2. Mason and Vevay Township 425 Agreement, Section 4.01 (excerpt)
3. Application
4. Link to packet with materials for previously approved SUP/SP:
https://www.mason.mi.us/document_center/Governments/Planning%20Commission/03f%20Previous%20Joint%20Planning%20Commission%20Packet%20Jan%2023%202017.pdf

**CITY OF MASON AND VEVAY TOWNSHIP
JOINT PLANNING COMMISSION
RESOLUTION No. 2019-01**

**A RESOLUTION APPROVING A PRELIMINARY SITE PLAN AND FINAL SITE PLAN AND SPECIAL USE
PERMIT TO CONSTRUCT A NEW 15,772 SQUARE FOOT COMMERCIAL BUILDING
LOCATED AT 652 HULL ROAD**

February 12, 2019

WHEREAS, a request has been received from Goodwill Industries of Central Michigan's Heartland, Inc. for a Special Use Permit, Preliminary and Final Site Plan Approval to construct a new commercial building at 652 Hull Road; and

WHEREAS, the subject property is further described as:

THE LAND SITUATED IN THE CITY OF MASON, INGHAM COUNTY, STATE OF MICHIGAN, AND IS DESCRIBED AS FOLLOWS: ALL THAT PART OF THE SOUTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 17, T2N, R1W, CITY OF MASON, INGHAM COUNTY, MICHIGAN, LYING EAST OF HIGHWAY US-127 RIGHT-OF-WAY, EXCEPT THE SOUTH 430 FEET THEREOF AND ALSO EXCEPT THE NORTH 150 FEET OF THE EAST 240 FEET OF SAID SOUTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 17, T2N, R1W, CITY OF MASON, INGHAM COUNTY, MICHIGAN.

WHEREAS, the parcel is zoned C-2 (General Commercial District); and

WHEREAS, Section 94-222 states that any use within the C-2 zoning district requires site plan review; and

WHEREAS, Section 94-142. C2 General Commercial District (d) Uses authorized by special use permit. paragraph 14 indicates that any use permitted in the district involving one or more structures that occupy, either individually or collectively, more than 15,000 square feet of gross floor area requires a Special Use Permit; and

WHEREAS, the Planning Commission accepts the staff report dated February 7, 2018 as findings of fact that, with the conditions listed herein, the plans will comply with the Site Plan Approval Standards listed in Section 94-227 of the Mason Code and with the Special Use Permit basis of determination standards listed in Section 94-191(f) of the Mason Code; and

WHEREAS, approval is granted with the following conditions:

1. That the applicant will secure prior authorization from the necessary agencies prior to the issuance of a building permit – MDOT (storm water discharge), ICRD (curbs), ICDC (soil erosion).
2. The applicant will provide the necessary easements to the City of Mason for the future installation and maintenance of sidewalks and public utilities including but not limited to water, sewer, and storm drainage. Such utility easement shall be 20' in width and shall run immediately adjacent to and westerly of the westerly right-of-way line of Hull Road for the full length of the Property, to be depicted on the Site Plan when submitted for a building permit. Similarly, such sidewalk easement shall be 10' in width and

shall run immediately adjacent to and westerly of the westerly right-of-way line of Hull Road for the full length of the Property.

3. The applicant will provide a drainage facilities maintenance agreement prior to the issuance of an occupancy permit.

4. The applicant will provide a record drawing for the site documenting conformance with the approved special use permit and site plan, utility and easement locations, prior to the issuance of a certificate of occupancy.

WHEREAS, this site plan approval is valid for 12 months from the approval date listed herein.

NOW THEREFORE BE IT RESOLVED, that the City of Mason and Vevay Township Joint Planning Commission does hereby approve a Special Use Permit, Preliminary and Final Site Plan to construct a new 15,772 square foot commercial building located at 652 Hull Road based on the site plan dated January 11, 2019.

CLERK'S CERTIFICATION: I hereby certify that the foregoing is a true and accurate copy of a resolution adopted by the Planning Commission at its regular meeting held Tuesday, February 12, 2019, the original of which is part of the City of Mason and Vevay Township Joint Planning Commission minutes.

Sarah J. Jarvis, City Clerk
City of Mason
Ingham County, Michigan

of this Agreement shall review the 425 Agreement every 5 (five) years and submit any recommendations for proposed modifications to the City Council and Township Board.

2.05 Covenant to Cooperate. The City and the Township hereby covenant and agree that they will cooperate with each other, and with any other agent or instrumentality of the City, the State or the Township performing or required to perform any action in connection with or pursuant to the terms of this Agreement, and will do all things necessary in a legally sufficient and expeditious manner to legally effectuate the transfer of the Property and cause the development of the Property in accordance with this Agreement.

ARTICLE III

PROPERTY DEVELOPMENT

4.01 Joint Planning. In considering and granting any required special use permit, the application shall be reviewed by a Joint Planning Commission composed of four (4) members of the Mason Planning Commission appointed by the Mayor and approved by the Mason City Council and the three (3) members of the Vevay Township Planning Commission appointed by the Township Supervisor and approved by the Township Board. An appeal from any decision of the Joint Planning Commission shall be decided by a joint meeting of the Mason City Council and the Vevay Township Board of Trustees, sitting "en banc". The Joint Planning Commission shall meet on call and will be staffed by the Building Official of the

City of Mason. Minutes of each meeting shall be taken by a Secretary appointed by Vevay Township, the cost of said service being equally split by the two jurisdictions.

4.02 Tax Increment Financing. ~~4.02~~ The City of Mason shall establish a local development finance authority (LDFA) pursuant to 1986 PA 281, and/or create or continue a Downtown Development Authority pursuant to 1975 PA 197 the initial boundaries of which shall include the territory conditionally transferred under PA 425. Of the 11 members appointed to the Board of the LDFA, one member will be appointed by the County Board of Commissioners, one member shall represent Lansing Community College, four members shall be appointed by the City of Mason, three members shall be appointed by the Township, and two members shall be appointed by the Mason Public School District. TIF revenues captured from eligible property shall be used for public facilities to serve eligible property within the TIF district and may include road facilities to and around the eligible property and other public facilities which are necessary to serve the eligible property whether or not located on that eligible property. The Development Plan and Tax Increment Financing Plan and any amendments thereto shall be approved by the Mason City Council and the Vevay Township Board of Trustees. Any tax revenues not required by the LDFA/DDA to finance public facilities to serve the eligible property within the District shall revert proportionally to the respective taxing jurisdictions, and reverted City of Mason tax revenues shall be



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January 11, 2019

VIA ELECTRONIC MAIL TO ELIZABETHH@MASON.MI.US

Elizabeth A. Hude, AICP
Community Development Director
City of Mason
201 W. Ash Street
Mason, Michigan 48854

Dear Ms. Hude:

We represent Goodwill Industries of Central Michigan's Heartland, Inc. ("**Goodwill**"). On January 23, 2017, the City of Mason and Vevay Township Joint Planning Commission (the "**Planning Commission**") adopted Resolution No. 2017-01, which granted a special use permit and approved a final site plan (the "**Approved Site Plan**") for Goodwill's construction of a new commercial building at 652 Hull Road. Goodwill is currently on track to bid out the project in February and to start construction in June. Per the Resolution, however, the Approved Site Plan is only valid for a period of 24 months from the approval date, and is scheduled to expire at the end of the current calendar month.

Goodwill, therefore, is resubmitting its application for a special use permit and site plan approval (the "**Resubmitted Site Plan**") for its project at 652 Hull Road. The Resubmitted Site Plan is *identical* to the Approved Site Plan, with three minor exceptions:

1. First, in order to satisfy condition #4 of the Approved Site Plan, the 20-foot-wide sanitary sewer easement that was previously depicted along only a portion of the Hull Road frontage has been extended and is now depicted along the full length of the Hull Road frontage.
2. Second, the vestibule on the north side of the building (which is located easterly of the truck bay) has been reduced in size from 16,680 square feet to 15,772 square feet (total reduction of 908 square feet). The floorplan of the building is identical to another building that Goodwill recently constructed in Marshall, Michigan. In the course of constructing the Marshall building, Goodwill discovered that a slightly smaller vestibule area was better for its operations.
3. Third, an additional catch basin has been added along the east side of the detention basin for improved drainage. As in the Approved Site Plan, a roof drain runs from the building through the portico/overhang along the west side of the building (which serves as a donation drop-off) and discharges into the detention basin. The additional catch basin will be located where the roof drain intersects with the detention basin (similar to the other basins located further north and further south along the detention basin).

Like the Approved Site Plan, the Resubmitted Site Plan is being submitted for conditional approval. Goodwill requests that approval of the Resubmitted Site Plan be conditioned only on the remaining three conditions of the Approved Site Plan (condition #4 being satisfied above):

1. **Condition #1: MDOT Authorization for Storm Water Discharge.** Goodwill requires authorization from the Michigan Department of Transportation (MDOT) in order to discharge excess storm water runoff into the US-127 right-of-way through the “Outlet Control Structure” and “Emergency Spillway” (shown on the Approved and Resubmitted Site Plans). Although the project has been designed to significantly exceed the minimum requirements for such authorization, MDOT has informed us that the Department will not review Goodwill’s request for authorization until it has received a final ROW permit application, which we cannot submit until we have final construction plans prepared, a contractor has been selected, and we are ready to proceed with work in the MDOT ROW. They will not issue a permit for an unidentified contractor and without those construction drawings being completed. Due to the expense involved in getting to that point, in terms of sequencing, that step does not occur until after site plan approval; indeed, it does not generally occur until the building permit application process commences. Therefore, this condition cannot be satisfied prior to approval of the Resubmitted Site Plan.
2. **Condition #2: Sidewalk for Pedestrian Access.** As a nonprofit steward of its donors’ funds, Goodwill has a heightened obligation to avoid waste. Although Goodwill is not opposed to building a sidewalk along Hull Road and facilitating pedestrian access, there is currently no sidewalk on either adjoining property, and no obligation or requirement that either owner build one. If Goodwill builds a sidewalk now, it will essentially be a sidewalk to nowhere as it would be inaccessible by pedestrians for the foreseeable future. If, however, the owner of the property to the north becomes required to build a sidewalk, then Goodwill will promptly build a sidewalk from the northern boundary to the pedestrian walkways internal to Goodwill’s site. If the owner of the property to the south also becomes required to build a sidewalk, then Goodwill promptly build a sidewalk along the remaining frontage of Hull Road. That notion is what this language accomplishes, and we would request that it remain as-is. Notably, this condition was discussed at length in connection with the development of the Approved Site Plan, it was endorsed by the Staff Memorandum (see page 4 of the January 19, 2017 staff Memorandum) issued in connection with the Approved Site Plan, and it was unanimously agreed to by the Commission as an acceptable compromise. Inasmuch as the underlying facts have not changed, this condition should not be changed.
3. **Condition #3: Drainage Facilities Maintenance Agreement.** As previously discussed with the Zoning Administrator, Goodwill will enter into a drainage facilities maintenance agreement in connection with the building and occupancy permitting process, in accordance with the City’s standard practice. Therefore, this condition should not be changed.

Like the previous special use permit under the Approved Site Plan, the special use permit applied for under the Resubmitted Site Plan satisfies the standards set forth in Section 94-191(f) of the Mason Code:

- (1) **Be designed, constructed, operated, and maintained so as to be harmonious and appropriate in appearance with the existing or intended character of the general vicinity and that such a use will not change the essential character of adjacent property or the zoning district in which it is proposed.** The project site is currently

January 11, 2019

Page 3

zoned for commercial use. The proposed use is harmonious with the general surroundings and character of the immediate vicinity.

- (2) **Not be hazardous or disturbing to uses in the same general vicinity and will be a substantial improvement to property in the immediate vicinity and to the community as a whole.** There are no conflicts of this nature.
- (3) **Be served adequately by essential facilities and services, such as highways, streets, police and fire protection, drainage structures, refuse disposal, water and sewage facilities, and schools.** The proposed use is in an area currently served by public water and planned for sanitary sewer extension.
- (4) **Not create additional requirements at public cost for public facilities and services.** The proposed use will not create additional public costs.
- (5) **Not involve uses, activities, processes, materials, and equipment or conditions of operation that will be detrimental to any person, property, or the general welfare by noise, fumes, glare, or odors.** There are no conflicts of this nature.
- (6) **Not be located such that it will directly or indirectly have a substantial adverse impact on the natural resources of this city.** There are no conflicts of this nature.
- (7) **Be in compliance with other applicable local, county, state, or federal rules and regulations.** The proposed use is in compliance, provided that the requested conditions of approval are met.

Because the Resubmitted Site Plan is effectively identical to the Approved Site Plan, and no changes are being requested to the conditions previously imposed, we understand that the preliminary and final site plan reviews are being consolidated. As such, please add Goodwill's application for a special use permit and preliminary and final site plan review to the agenda for the next Planning Commission meeting on Tuesday, February 12, 2019. Thank you for your consideration. If you have any questions, please contact my office.

Sincerely,

MILLER JOHNSON



By

Matthew B. Van Dyk

MBV:ges

Enclosures

cc: Ken Bauer, CEO, Goodwill Industries of Central Michigan's Heartland, Inc.
Mark Peters, Development Director, Goodwill Industries of Central Michigan's Heartland, Inc.
Michele Rossio, Tower Pinkster
Craig Newhouse, Tower Pinkster
Eric Klompmaker, Driesenga & Associates
John Tenpas, Driesenga & Associates



APPLICATION – SITE PLAN REVIEW/SPECIAL USE PERMIT

City of Mason

Planning Department • 201 W. Ash Street • Mason, MI 48854

Phone: 517/676-9155 • Fax: 517/676-1330

www.mason.mi.us

Applicant– Please check one of the following:

X	Preliminary Site Plan Review
X	Final Site Plan Review
X	Special Use Permit*
	Administrative Review
* includes Preliminary Site Plan Review	

PLANNING DEPARTMENT USE ONLY

Application Received: _____

Tax ID: _____

Fee: _____

Receipt #: _____

I. APPLICANT INFORMATION

Name Ken Bauer

Organization Goodwill Industries of Central Michigan's Heartland, Inc.

Address 4820 Wayne Road, Battle Creek, Michigan 49037

Telephone Number 269-768-6500

Facsimile Number 888-452-5968

Interest in Property (owner, tenant, option, etc.) Owner

Note: If applicant is anyone other than owner, request must be accompanied by a signed letter of authorization from the owner.

II. PROPERTY INFORMATION

Goodwill Industries of

Owner Central Michigan's Heartland, Inc.

Telephone Number 269-768-6500

Property Address 652 Hull Road, Mason, Michigan 48854

Legal Description: If in a Subdivision: Subdivision Name _____ Lot Number _____

If Metes and Bounds (can be provided on separate sheet): _____

THE LAND SITUATED IN THE CITY OF MASON, INGHAM COUNTY, STATE OF MICHIGAN, AND IS DESCRIBED AS FOLLOWS:

ALL THAT PART OF THE SOUTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 17, T2N, R1W, CITY OF MASON, INGHAM COUNTY, MICHIGAN, LYING EAST OF HIGHWAY US-127 RIGHT-OF-WAY, EXCEPT THE SOUTH 430 FEET THEREOF AND ALSO EXCEPT THE NORTH 150 FEET OF THE EAST 240 FEET OF SAID SOUTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 17, T2N, R1W, CITY OF MASON, INGHAM COUNTY, MICHIGAN.

APPLICANT CERTIFICATION

By execution of this application, the person signing represents that the information provided and the accompanying documentation is, to the best of his/her knowledge, true and accurate. In addition, the person signing represents that he or she is authorized and does hereby grant a right of entry to City officials for the purpose of inspecting the premises and uses thereon to verify compliance with the terms and conditions of any Special Use Permit and/or Site Plan approval issued as a result of this application.

Signature Kenneth C Bauer Date 1-10-2019

III. REQUEST DESCRIPTION

A. Written Description – Please use this section to describe the use or uses proposed. Attach additional pages, if necessary.

The existing use of the property is vacant land. The proposed use is retail and workforce development.

B. Available Services

Public Water ☒ YES ☐ NO
Public Sanitary Sewer ☒ YES ☐ NO

Paved Road (Asphalt or Concrete) ☒ YES ☐ NO
Public Storm Sewer ☐ YES ☒ NO

C. Estimate the Following

Traffic Generated 50 - 60 vehicles per hour, peak hour

Total Employees 26 Shifts 3

Population Increase 0

Employees in Peak Shift 12 - 15

Hours of Operation 9:30 AM to 8:00 PM
Monday through Saturday
11:00 AM to 6:00 PM
Sunday

Total Bldg. Area Proposed 15,772 SF

Parking Spaces Provided 109

D. Project Phasing

This project will be completed in: ☒ One Phase ☐ Multiple Phases – Total No. of Phases: _____

Note: The phases of construction for multi-phase projects must be shown on the site plan

IV. APPLICATION MATERIALS

The following are checklists of items that generally must be submitted with applications for Preliminary Site Plan Review, Final Site Plan Review, and Special Use Permits. Applicants should review Articles VI and VII of Chapter 94 of the Mason Code for a complete listing of application requirements. All site plan drawings must comply with the requirements of Section 94-226(d) of the Zoning Ordinance. Incomplete applications will not be processed.

- ☐ Completed application form
- ☐ 20 copies of site plan drawings is larger than 11" x 17" (**30 copies for Special Use Permits**)
- ☐ 1 – 11" x 17" copy of the site plan
- ☐ Plans submitted on CD (Commercial only)
- ☐ Legal description
- ☐ Proof of ownership/owner authorization
- ☐ Construction schedule for proposed project
- ☐ Construction calculations for utilities
- ☐ Fee (see below)
- ☐ Any other information deemed necessary

Application Fee – all requests must be accompanied by a fee, as established by the City Council. The fee schedule for Preliminary Site Plan Reviews, Final Site Plan Reviews, and Special Use Permits is as follows (As of October 16, 2006):

<u>Administrative Reviews</u>	\$70.00
<u>Preliminary Site Plan Reviews</u>	\$200.00
<u>Final Site Plan Review</u>	\$100.00
<u>Special Use Permits</u> (includes preliminary site plan review)	\$275.00
<u>Engineering Review</u>	\$220.00*

*Two-hour minimum fee for projects increasing demand on public utilities. Actual fees incurred are billed to applicant upon completion of review.

V. APPLICATION DEADLINES

Preliminary Site Plan/Special Use Permit Review – Applications for Preliminary Site Plan Review may be submitted at any time. Complete applications must be received a minimum four (4) weeks prior to a Planning Commission meeting to be placed on the agenda. Upon receipt of a complete application, a public hearing will be scheduled for the next regularly scheduled meeting (for Special Use Permits only). The Planning Commission has the final authority to approve, approve with conditions or deny an application for Preliminary Site Plan/Special Use Permit Review. The Planning Department staff will issue a letter to the applicant advising of any changes or revisions that may be necessary prior to making application for Final Site Plan Review.

Final Site Plan Review – Complete applications must be received a minimum of four (4) weeks prior to a Planning Commission meeting to be placed on an agenda. The Planning Commission has the final authority to approve, approve with conditions or deny an application for Final Site Plan Review. Planning Commission meetings are held on the second Tuesday after the first Monday of every month, unless the Tuesday is a Township recognized holiday, in which case the meeting is held on the following day (Wednesday).

VI. STAFF REPORT

The Planning Department Staff will prepare a report to the Planning Commission regarding an application for Preliminary Site Plan Review, Final Site Plan Review or Special Use Permit. The report will explain the request and review whether it complies with the zoning standards of the Mason Code. Staff will present the findings of that report during the Planning Commission meeting. An applicant who wishes to obtain one (1) copy of that report, at no cost, prior to the meeting must provide a written request to the Planning Department. The report is generally complete on the Friday before the meeting and can be mailed to the applicant or picked up by the applicant in the Planning Department.

[illegible]

The security features listed below, as well as those not listed, exceed industry guidelines.

Endorsement MicroPoint Signature Lines Small type in signature line appears as dotted line when photocopied

Absence of "Original Document" verbiage on back of check voids check

GOODWILL OF CENTRAL MI, MASON

GOODWILL INDUSTRIES of CENTRAL MICHIGAN'S HEARTLAND, INC.

Mason, Michigan
SITE PLAN APPROVAL

DESIGN TEAM

ARCHITECT/ENGINEER
TowerPinkster
ARCHITECTS | ENGINEERS

242 EAST KALAMAZOO
SUITE 200
KALAMAZOO, MICHIGAN 49007
PHONE: 269.343.6133
FAX: 269.343.6633

CIVIL CONSULTANT



12334 JAMES STREET,
SUITE 100
HOLLAND, MI 49424
PHONE: 616.396.0255

DRAWING INDEX

GENERAL
G 001 COVER SHEET

SURVEY
V 101 EXISTING TOPOGRAPHIC PLAN

CIVIL DEMOLITION
CD 101 DEMOLITION PLAN

CIVIL
C 101 SITE PLAN
C 102 UTILITIES
C 103 UTILITIES
C 104 GRADING AND STORM SEWER PLAN
C 105 SOIL EROSION AND SEDIMENTATION CONTROL
C 501 DETAILS
L 100 LANDSCAPE SITE PLAN NORTH
L 110 SITE LANDSCAPE PLAN CENTRAL
L 120 SITE LANDSCAPE PLAN - SOUTH

ARCHITECTURAL
A 101 FLOOR PLAN AND PERSPECTIVE - PRELIMINARY
A 301 EXTERIOR ELEVATIONS - PRELIMINARY

ELECTRICAL SITE
ES 101 ELECTRICAL SITE PLAN

TowerPinkster
ARCHITECTS | ENGINEERS

TowerPinkster Three Associations Inc.

242 East Kalamazoo Avenue, Suite 200
Kalamazoo, Michigan 49007-5203
269.343.6133 phone 269.343.6633 fax
4 East Fulton Street, Suite 200
Grand Rapids, Michigan 49503
616.456.9966 phone 616.456.9836 fax

www.towerpinkster.com

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DATE

JANUARY 11, 2019

PROJECT TITLE

GOODWILL OF
CENTRAL MI,
MASON

GOODWILL
INDUSTRIES of
CENTRAL
MICHIGAN'S
HEARTLAND,
INC.

Mason, Michigan

ISSUED FOR DATE

SHEET TITLE

COVER SHEET

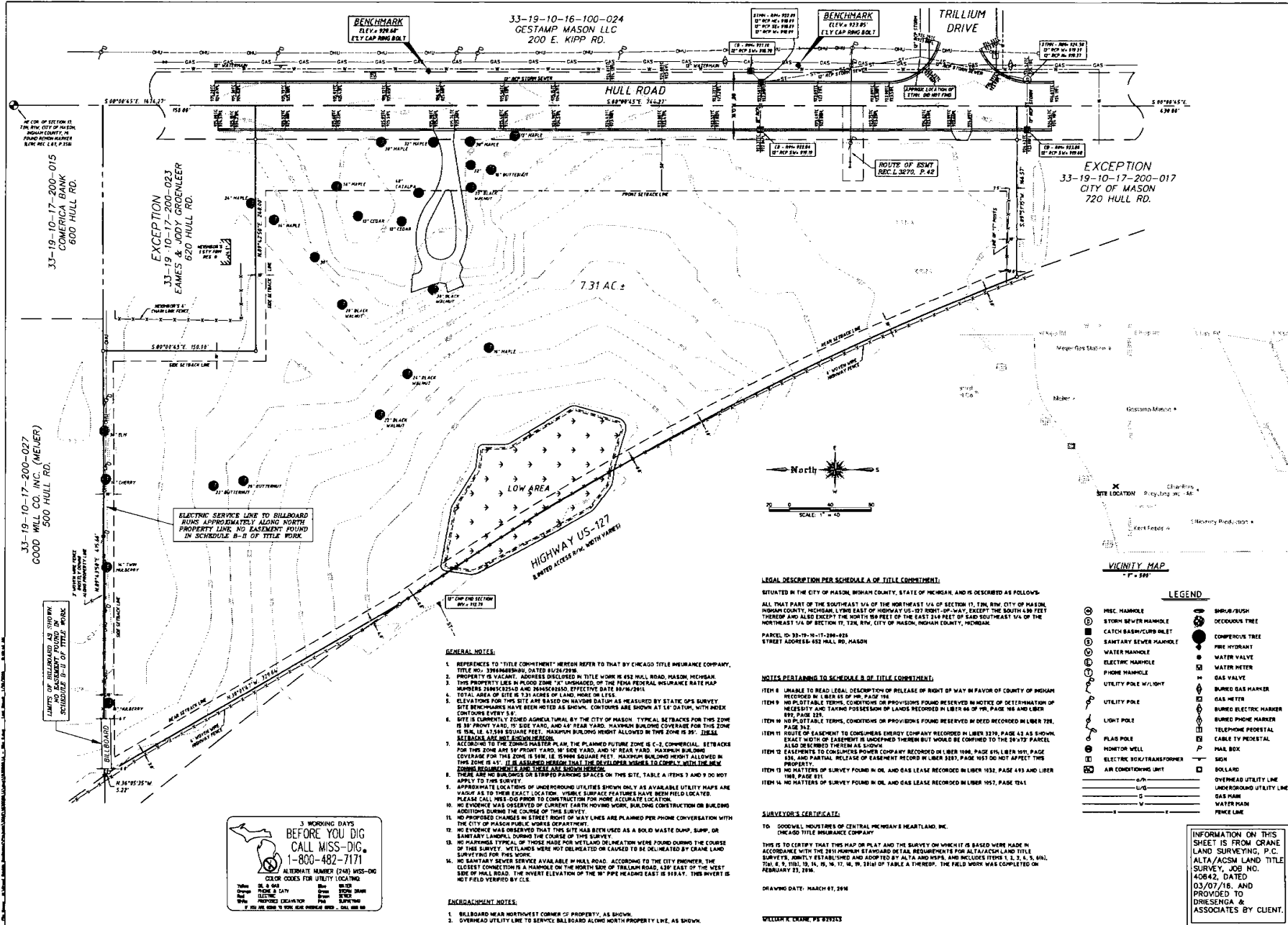
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TowerPinkster
ARCHITECTS | ENGINEERS

SHEET NUMBER

G 001

15-225.10



TowerPinkster
INCORPORATED

201 East Main Street, Suite 100
Mason, Michigan 48854
800.343.9033
313.444.4444
www.towerpinkster.com

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DATE
JANUARY 11, 2019

PROJECT TITLE
GOODWILL OF CENTRAL MI, MASON

GOODWILL INDUSTRIES OF CENTRAL MICHIGAN'S HEARTLAND, INC.

Mason, Michigan

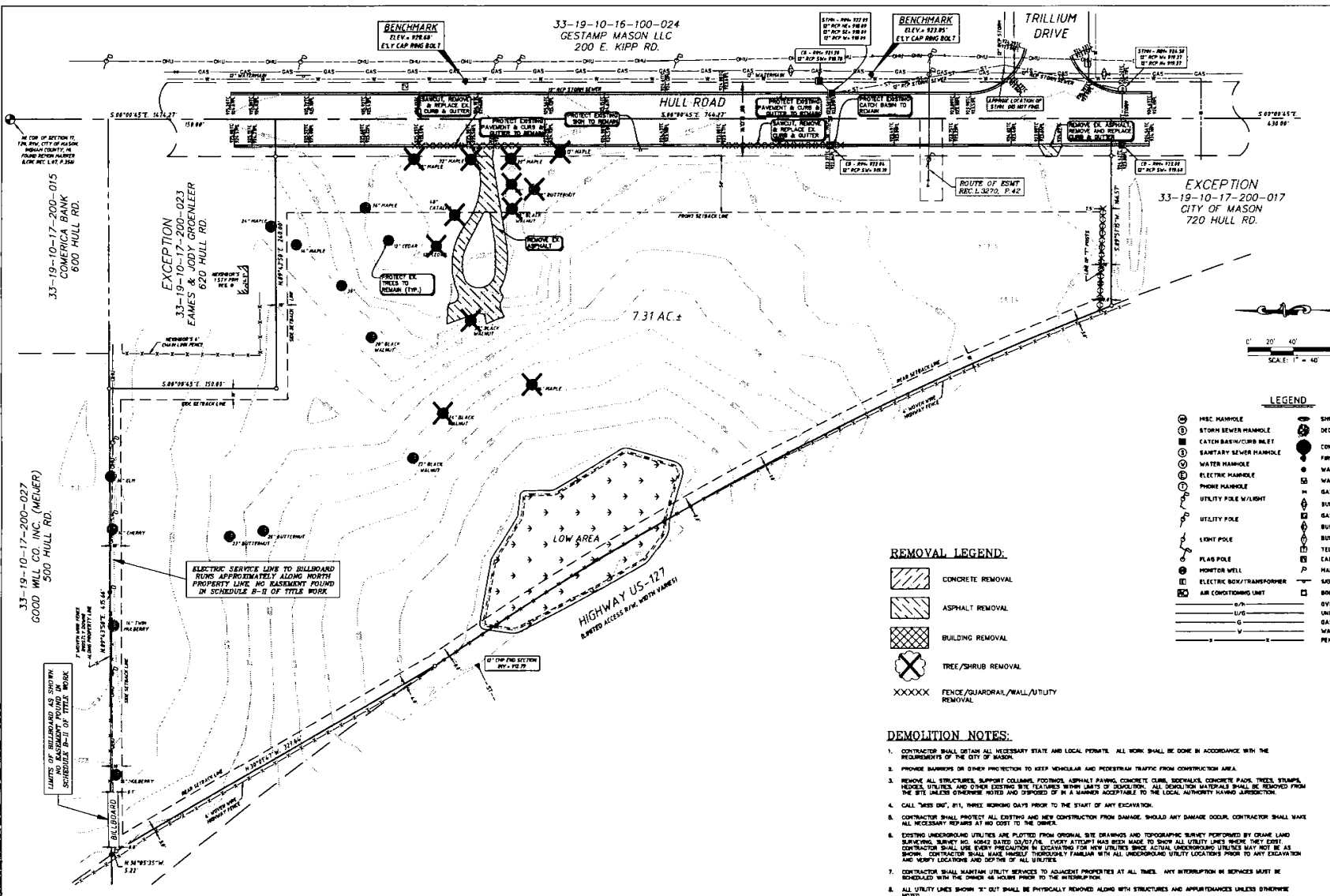
ISSUED FOR
DATE

SHEET TITLE
EXISTING TOPOGRAPHIC PLAN

SHEET NUMBER
V 101

15-225.10

INFORMATION ON THIS SHEET IS FROM CRANE LAND SURVEYING, P.C. ALTA/ACSM LAND TITLE SURVEY, JOB NO. 40842, DATED 03/07/18, AND PROVIDED TO DRIESSEN & ASSOCIATES BY CLIENT.



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Fax: 303.751.1001
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Tower Pinkster This Association Inc.
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Denver, Colorado 80202
Phone: 303.733.8888
Fax: 303.733.8889
www.towerpinkster.com

DATE
JANUARY 11, 2019

PROJECT TITLE
GOODWILL OF CENTRAL MI, MASON

GOODWILL INDUSTRIES OF CENTRAL MICHIGAN'S HEARTLAND, INC.
Mason, Michigan

- LEGEND**
- 1" IRC MANHOLE
 - 2" STORM SEWER MANHOLE
 - 3" CATCH BASIN/CURB INLET
 - 4" SANITARY SEWER MANHOLE
 - 5" WATER MANHOLE
 - 6" ELECTRIC MANHOLE
 - 7" PHONE MANHOLE
 - 8" UTILITY POLE W/LIGHT
 - 9" UTILITY POLE
 - 10" LIGHT POLE
 - 11" MONITOR WELL
 - 12" PLAS POLE
 - 13" AIR CONDITIONING UNIT
 - SHRUB/BUSH
 - DECIDUOUS TREE
 - CONIFEROUS TREE
 - FIRE HYDRANT
 - WATER VALVE
 - WATER METER
 - GAS VALVE
 - BURNED GAS MARKER
 - GAS METER
 - BURNED ELECTRIC MARKER
 - BURIED PHONE MARKER
 - TELEPHONE PEDESTAL
 - CABLE TV PEDESTAL
 - HAS BOX
 - SAN
 - BOLLARD
 - OVERHEAD UTILITY LINE
 - UNDERGROUND UTILITY LINE
 - GAS MAIN
 - WATER MAIN
 - PEACE LINE

- REMOVAL LEGEND**
- CONCRETE REMOVAL
 - ASPHALT REMOVAL
 - BUILDING REMOVAL
 - TREE/SHRUB REMOVAL
 - FENCE/GUARDRAIL/WALL/UTILITY REMOVAL

- DEMOLITION NOTES:**
- CONTRACTOR SHALL OBTAIN ALL NECESSARY STATE AND LOCAL PERMITS. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE REQUIREMENTS OF THE CITY OF MASON.
 - PROVIDE BARRIERS OR OTHER PROTECTION TO KEEP VEHICULAR AND PEDESTRIAN TRAFFIC FROM CONSTRUCTION AREA.
 - REMOVE ALL STRUCTURES, SUPPORT COLUMNS, FOOTINGS, ASPHALT PAVING, CONCRETE CURBS, SIDEWALKS, CONCRETE PADS, TRAIL STAMPS, RECESSED UTILITIES, AND OTHER EXISTING SITE FEATURES WITHIN LIMITS OF DEMOLITION. ALL DEMOLITION MATERIALS SHALL BE REMOVED FROM THE SITE UNLESS OTHERWISE NOTED AND DISPOSED OF IN A MANNER ACCEPTABLE TO THE LOCAL AUTHORITY HAVING JURISDICTION.
 - CALL "MISS OUT", 811, THREE WORKING DAYS PRIOR TO THE START OF ANY EXCAVATION.
 - CONTRACTOR SHALL PROTECT ALL EXISTING AND NEW CONSTRUCTION FROM DAMAGE. SHOULD ANY DAMAGE OCCUR, CONTRACTOR SHALL MAKE ALL NECESSARY REPAIRS AT NO COST TO THE OWNER.
 - EXISTING UNDERGROUND UTILITIES ARE PLOTTED FROM ORIGINAL SITE DRAWINGS AND TOPOGRAPHIC SURVEY PERFORMED BY CRANE LAND SURVEYING SURVEY INC. 10/24/2017. EVERY ATTEMPT HAS BEEN MADE TO SHOW ALL UTILITY LINES WHERE THEY EXIST. CONTRACTOR SHALL USE EVERY PRECAUTION IN EXCAVATING FOR NEW UTILITIES SINCE ACTUAL UNDERGROUND UTILITIES MAY NOT BE AS SHOWN. CONTRACTOR SHALL MAKE HIMSELF THOROUGHLY FAMILIAR WITH ALL UNDERGROUND UTILITY LOCATIONS PRIOR TO ANY EXCAVATION AND VERIFY LOCATIONS AND DEPTHS OF ALL UTILITIES.
 - CONTRACTOR SHALL MAINTAIN UTILITY SERVICES TO ADJACENT PROPERTIES AT ALL TIMES. ANY INTERRUPTION IN SERVICES MUST BE SCHEDULED WITH THE OWNER 48 HOURS PRIOR TO THE INTERRUPTION.
 - ALL UTILITY LINES SHOWN "X" OUT SHALL BE PHYSICALLY REMOVED ALONG WITH STRUCTURES AND APPURTENANCES UNLESS OTHERWISE NOTED.
 - PROTECT ALL TREES AND SHRUBS NOT SCHEDULED FOR REMOVAL. DO NOT OPERATE EQUIPMENT, STORE, STOCKPILE, OR PARK WITHIN DRIP LINE OF PLANTS. HOLD NECESSARY DISTANCE TO A SHRUB.
 - REMOVAL ITEMS SHOWN ARE BASED ON BEST AVAILABLE INFORMATION AND ARE SHOWN SCHEMATICALLY. THE CONTRACTOR SHALL VISIT THE SITE PRIOR TO BID TO BE FULLY FAMILIAR WITH THE EXTENT OF REMOVAL ITEMS. THE CONTRACTOR IS RESPONSIBLE FOR ALL REMOVALS NECESSARY TO COMPLETE CONSTRUCTION. QUESTIONS REGARDING ITEMS TO BE REMOVED SHALL BE DIRECTED TO THE ENGINEER PRIOR TO CONSTRUCTION.
 - TREE REMOVAL SHALL BE MINIMIZED. COORDINATE ALL TREE REMOVAL WITH OWNER.
 - SAMPLE AND REMOVE EXISTING CURBS & GUTTERS WITHOUT DAMAGING EXISTING ASPHALT ROADWAY PAVEMENT. PROVIDE MOST "X" OPENING IN THE CONCRETE PAVEMENT, OR THE PLANS, NEW CURBS & GUTTERS TO BE RECONSTRUCTED AND DOWNELOADED INTO EXISTING UTILITY 3" - 4" INFORMED BARS, EMBEDDED 8" INCHES MINIMUM. NEW CURBS & GUTTERS TO ALSO BE DOWNELOADED INTO EXISTING CONCRETE PAVEMENT UTILIZING 4" DOWNELOADED BARS, EMBEDDED 8" INCHES MINIMUM. SPACED AT 18" ON CENTER ALONG THE LENGTH OF THE NEW CURBS & GUTTERS.

811
Know what's below.
Call before you dig.

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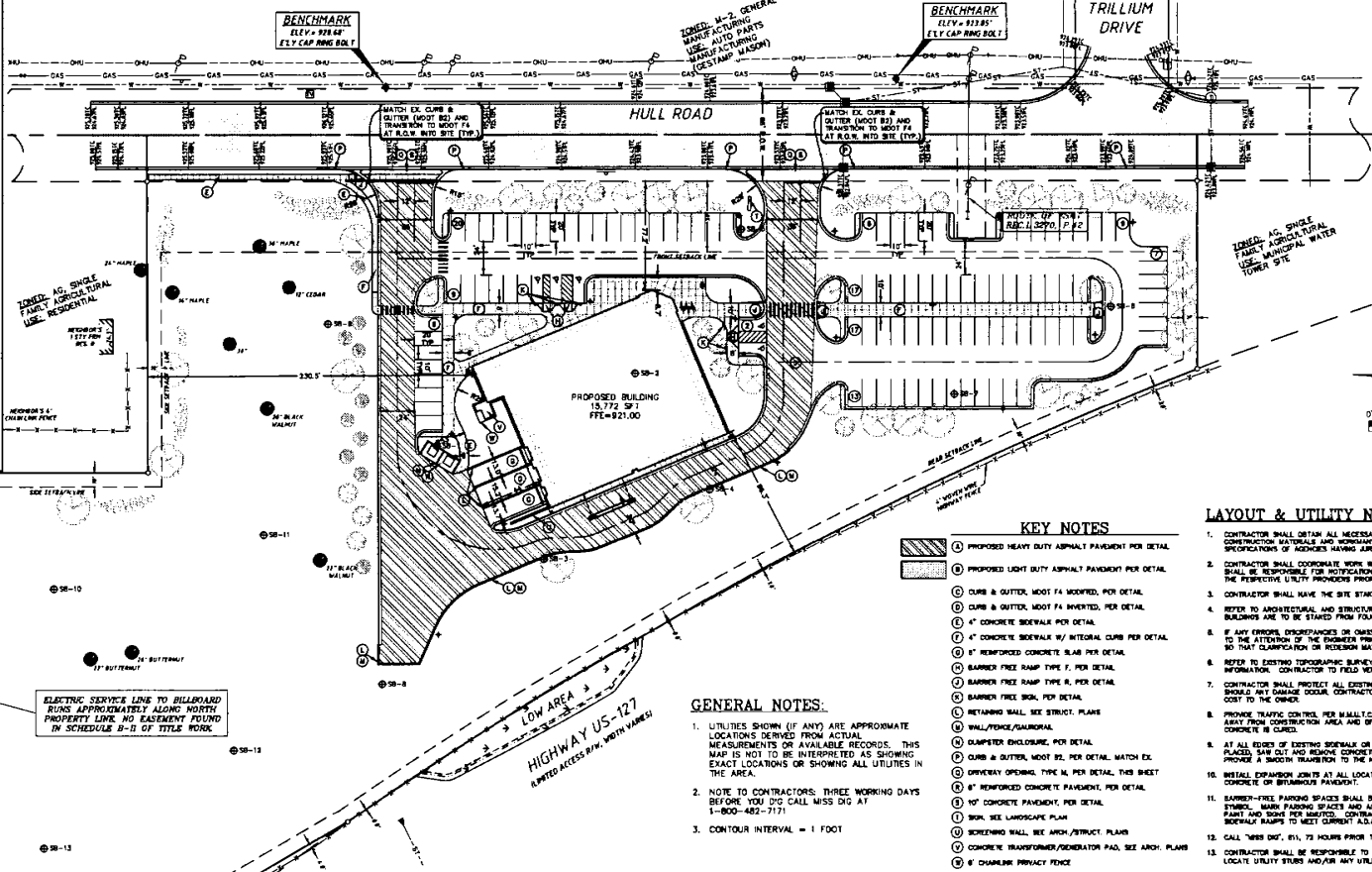
ISSUED FOR
SHEET TITLE
DEMOLITION PLAN

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SHEET NUMBER
CD 101
15-225.10

SITE NOTES

- 1. ZONING REQUIREMENTS:**
CURRENT ZONING: C-2 GENERAL COMMERCIAL
PROPOSED ZONING: C-2 GENERAL COMMERCIAL
MINIMUM LOT COVERAGE: 4.5%
MINIMUM BUILDING HEIGHT: 40 FT
PROPOSED BUILDING HEIGHT: 35 FT
- 2. SUMMARY OF PARKING:**
NUMBER OF SPACES REQUIRED: 86
150 FT BY 10 FT WITH 5 FT/10 FT (150) NUMBER OF SPACES PROVIDED: 108
150 FT BY 10 FT WITH 5 FT/10 FT (150) NUMBER OF SPACES PROVIDED: 108
150 FT BY 10 FT WITH 5 FT/10 FT (150) NUMBER OF SPACES PROVIDED: 108
- 3. SUMMARY OF UTILITIES & SITE DRAINAGE:**
PROPOSED BUILDING SANITARY FACILITIES TO DISCHARGE TO EXISTING SANITARY SEWER. LOCATION TWO LOCATED EITHER:
IN TRILLIUM DRIVE RIGHT OF WAY ON THE NORTH SIDE OF TRILLIUM DRIVE
NORTH OF THE SITE ON THE WEST SIDE OF HULL ROAD IN FRONT OF THE MEADOWS PROPERTY STONE
- 4. SUMMARY OF UTILITIES:**
EXISTING PROPERTY UTILITIES: METAL & NONMETAL CONDUIT
TOLERANCES:
THERE ARE NO KNOWN OR POTENTIAL VARIANCES ASSOCIATED WITH THIS PROJECT
FLOODPLAIN:
THERE ARE NO FLOODPLAIN AREAS WITHIN THE SUBJECT PROPERTY



KEY NOTES

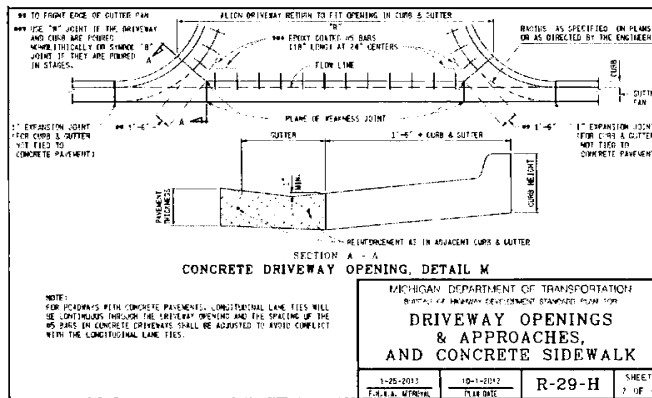
- PROPOSED HEAVY DUTY ASPHALT PAVEMENT PER DETAIL
- PROPOSED LIGHT DUTY ASPHALT PAVEMENT PER DETAIL
- CURB & GUTTER, MOIST F4 MODIFIED, PER DETAIL
- CURB & GUTTER, MOIST F4 MODIFIED, PER DETAIL
- 4" CONCRETE SIDEWALK PER DETAIL
- 4" CONCRETE SIDEWALK W/ INTERNAL CURB PER DETAIL
- 8" REINFORCED CONCRETE SLAB PER DETAIL
- BARRIER FREE RAMP TYPE F, PER DETAIL
- BARRIER FREE RAMP TYPE F, PER DETAIL
- BARRIER FREE SIGN, PER DETAIL
- RETAINING WALL, SEE STREET PLANS
- WALL/FENCE/PAVEMENT, PER DETAIL
- CURB & GUTTER, MOIST F4 MODIFIED, MATCH EX.
- CONCRETE SIDEWALK, TYPE M, PER DETAIL, THIS SHEET
- 8" REINFORCED CONCRETE PAVEMENT, PER DETAIL
- NOT CONCRETE PAVEMENT, PER DETAIL
- SEE LANDSCAPE PLAN
- CONCRETE TRANSFORMER/GENERATOR PAD, SEE ARCH. PLANS
- IF CHANGING PRIVATE FENCE

GENERAL NOTES

- UTILITIES SHOWN (IF ANY) ARE APPROXIMATE LOCATIONS DERIVED FROM ACTUAL MEASUREMENTS OR AVAILABLE RECORDS. THIS MAP IS NOT TO BE INTERPRETED AS SHOWING EXACT LOCATIONS OR SHOWING ALL UTILITIES IN THE AREA.
- NOTE TO CONTRACTORS: THREE WORKING DAYS BEFORE YOU DIG CALL MISS DIG AT 1-800-482-7171
- CONTOUR INTERVAL = 1 FOOT

LAYOUT & UTILITY NOTES

- CONTRACTOR SHALL OBTAIN ALL NECESSARY STATE AND LOCAL PERMITS. ALL CONSTRUCTION MATERIALS AND WORKMANSHIP SHALL CONFORM TO STANDARDS AND SPECIFICATIONS OF APPLICABLE GOV. JURISDICTION.
- CONTRACTOR SHALL COORDINATE WITH OTHER CONTRACTORS ON SITE. CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFICATION AND COORDINATION OF ALL CONSTRUCTION WITH THE RESPECTIVE UTILITY PROVIDERS PRIOR TO STARTING ANY CONSTRUCTION.
- CONTRACTOR SHALL HAVE THE SITE STAKED BY A LICENSED SURVEYOR.
- REFER TO ARCHITECTURAL AND STRUCTURAL DRAWINGS FOR BUILDING OVERSIGHTS. BUILDINGS ARE TO BE STAKED FROM FOUNDATION PLANS PROVIDED BY THE ARCHITECT.
- IF ANY EXISTING OVERSIGHTS OR OVERSIGHTS BECOME APPARENT, THEY SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER PRIOR TO THE CONSTRUCTION OF ANYTHING AFFECTED SO THAT CLARIFICATION OR REVISION MAY OCCUR.
- REFER TO EXISTING TOPOGRAPHIC SURVEY FOR MEASUREMENTS AND OTHER EXISTING INFORMATION. CONTRACTOR TO FIELD VERIFY LAYOUT PRIOR TO CONSTRUCTION.
- CONTRACTOR SHALL PROTECT ALL EXISTING AND NEW CONSTRUCTION FROM DAMAGE. SHOULD ANY DAMAGE OCCUR, CONTRACTOR SHALL MAKE ALL NECESSARY REPAIRS AT NO COST TO THE OWNER.
- PROVIDE TRAFFIC CONTROL PER M-22.22 TO KEEP MOTORIST AND PEDESTRIAN TRAFFIC AWAY FROM CONSTRUCTION AREA AND OFF NEWLY PAVED AREAS BEFORE STRIPING OR CONCRETE IS CURED.
- AT ALL EDGES OF EXISTING SIDEWALK OR CURB AGAINST WHICH NEW CONCRETE IS TO BE PLACED, SAW OUT AND REMOVE CONCRETE BACK TO THE NEAREST CURBING, JOINT OR PROVIDE A SMOOTH TRANSITION TO THE NEW CONCRETE.
- INITIAL EXCAVATION CENTER AT ALL LOCATIONS WHERE NEW CONCRETE MEETS EXISTING CONCRETE OR BITUMINOUS PAVEMENT.
- BARRIER-FREE PARKING SPACES SHALL BE 8' WIDE AND MARKED WITH APPROVED PAVEMENT SYMBOL. MARK PARKING SPACES AND ACCESS AREAS WITH 4" WIDE BLUE PAVEMENT LINES. CONTRACTOR SHALL BE RESPONSIBLE FOR EXCAVATING FOR NEW UTILITIES SINCE EXISTING UNDERGROUND UTILITIES MAY NOT BE SHOWN. CONTRACTOR SHALL MAKE NECESSARY REVISIONS TO EXISTING UTILITIES PRIOR TO ANY EXCAVATION AND VERIFY LOCATIONS AND DEPTHS OF ALL UTILITIES.
- EXCEPT FOR THOSE UTILITIES NOTED TO BE PLACED OR REMOVED, RECONNECT ALL LINES EXCAVATED DURING CONSTRUCTION. CONTRACTOR SHALL COORDINATE ALL UTILITY WORK WITH UTILITY PROVIDER.
- UTILITY CONTRACTOR SHALL BE RESPONSIBLE FOR THE DRAINING OR LOWERING OF ALL EXISTING MANHOLE AND CATCH BASINS, FRAMES AND COVERS, VALVE BOXES AND CLEANOUTS TO MEET FLOOD PROTECTION.
- ALL STORM SEWER OVERFLOW RAMP, WITHIN THE PROPERTY LIMITS SHALL BE IDENTIFIED AND CLEANED OUT AS NECESSARY. IF THERE SPECIFIC PROBLEMS, IT SHOULD BE IDENTIFIED AND CLEANED OUT AS NECESSARY. IF THERE SPECIFIC PROBLEMS, IT SHOULD BE IDENTIFIED AND CLEANED OUT AS NECESSARY.
- ALL SITE UTILITIES SHALL BE STAKED AND PLACED TO WITHIN THE FEET OF THE OUTSIDE BUILDING FOUNDATION WALL UNLESS OTHERWISE NOTED.
- REFER TO ARCHITECTURAL/MECHANICAL PLANS FOR EXACT BUILDING SANITARY, STORM AND WATER SERVICE CONNECTION LOCATIONS. FIELD ADJUST AS NECESSARY.
- SEE ADDITIONAL DRAWINGS IN SHEET SET FOR MORE INFORMATION.



MICHIGAN DEPARTMENT OF TRANSPORTATION
BUREAU OF HIGHWAY DEVELOPMENT STANDARD PLANS FOR
**DRIVEWAY OPENINGS
& APPROACHES,
AND CONCRETE SIDEWALK**

1-25-2013 10-1-2012 R-29-H SHEET 2 OF 4
1-25-2013 1-25-2013 1-25-2013

DRIEBENGA & ASSOCIATES, INC.
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10000 E. 12th Ave., Suite 100
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www.driebenga.com

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DATE
JANUARY 11, 2019

PROJECT TITLE
**GOODWILL OF
CENTRAL MI,
MASON**

**GOODWILL INDUSTRIES OF
CENTRAL
MICHIGAN'S
HEARTLAND,
INC.**

Mason, Michigan

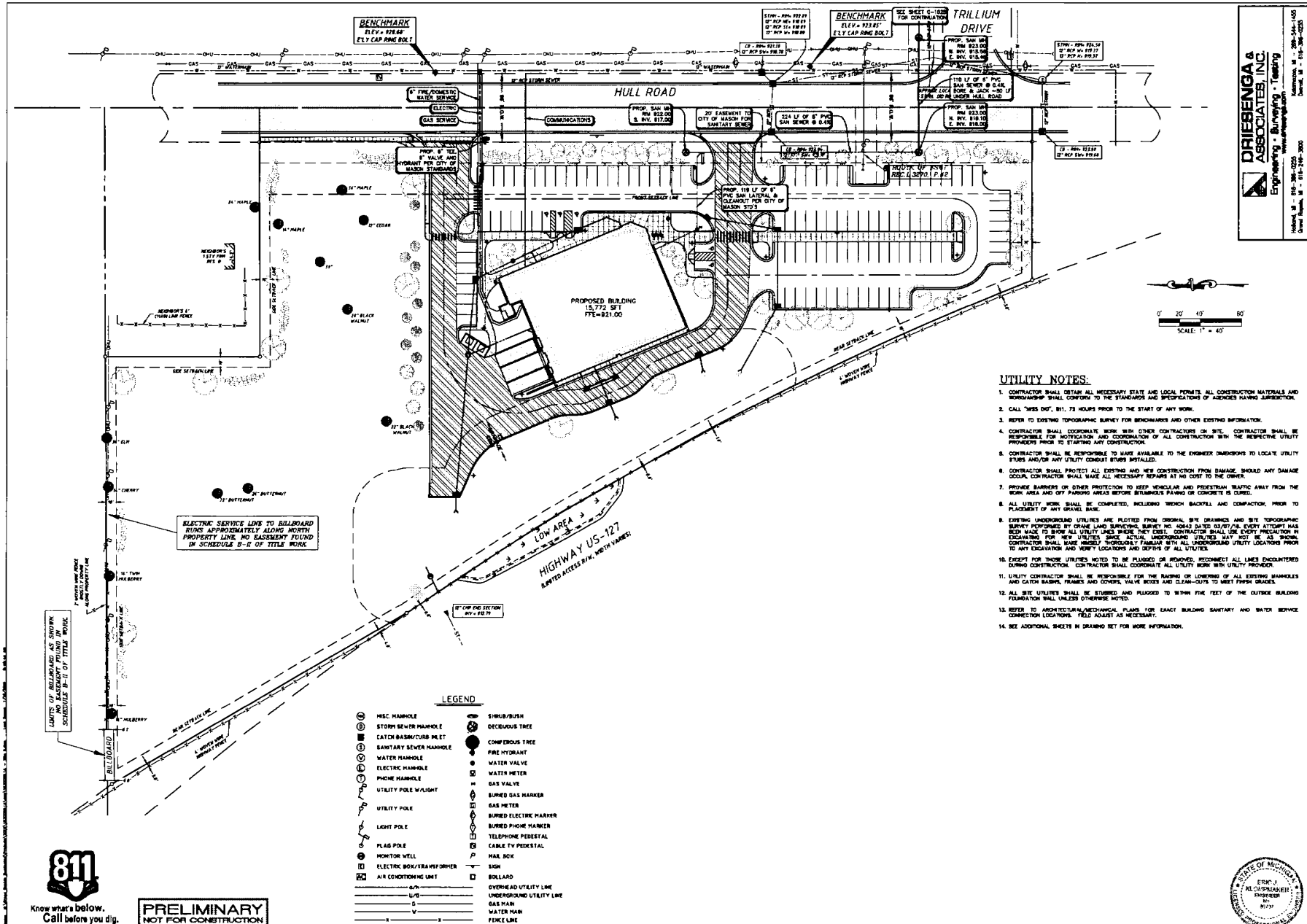
ISSUED FOR
SHEET TITLE
SITE PLAN

PRELIMINARY

SHEET NUMBER
C 101
15-225-10

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PRELIMINARY
NOT FOR CONSTRUCTION



TowerPinkster
INCORPORATED

Tower Pinkster, LLC
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Farmington Hills, MI 48334
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1 East Park Road, Suite 200
Farmington Hills, MI 48334
248.241.7070 Fax: 248.241.8533

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DATE
JANUARY 11, 2019

PROJECT TITLE
GOODWILL OF CENTRAL MI, MASON

GOODWILL INDUSTRIES OF CENTRAL MICHIGAN'S HEARTLAND, INC.

Mason, Michigan

ISSUED FOR DATE

SHEET TITLE
UTILITIES

PRELIMINARY
NOT FOR CONSTRUCTION

SHEET NUMBER

C 102

15-225.10

DRIEBENGA & ASSOCIATES, INC.
Engineering • Surveying • Testing

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Detroit, MI 48226-3800
Phone: 313-224-1000
Fax: 313-224-1001
Website: www.driebenga.com

Professional Engineer
No. 014 - 00000000
State of Michigan, Exp. 12/31/2023

TowerPinkster
ANALYTICAL ENGINEERS

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Ann Arbor, Michigan 48106-4020
313.237.4710 phone 313.237.4710 fax

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DATE
JANUARY 11, 2019

PROJECT TITLE
GOODWILL OF CENTRAL MI, MASON

GOODWILL INDUSTRIES OF CENTRAL MICHIGAN'S HEARTLAND, INC.

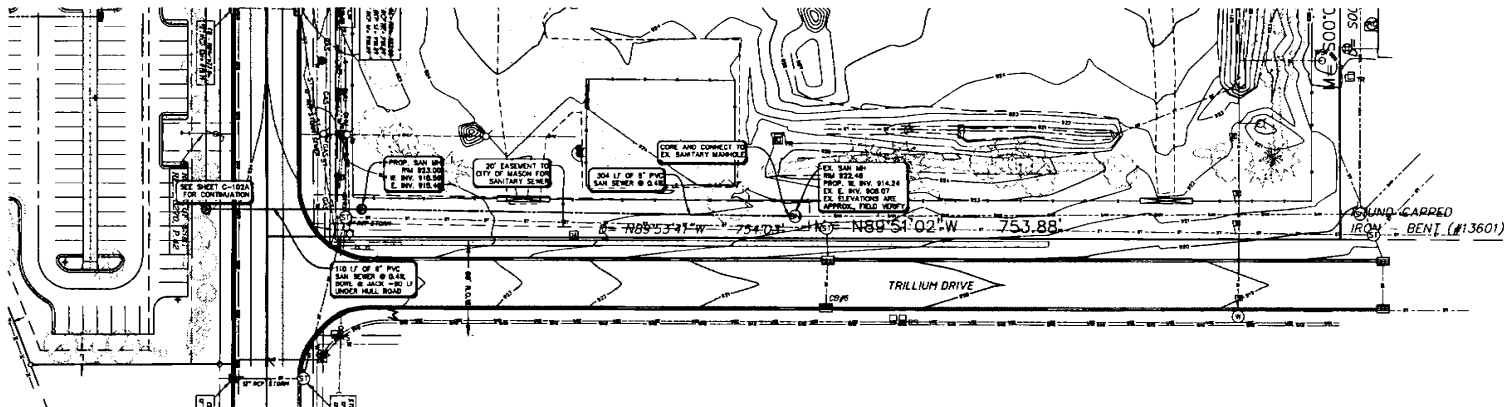
Mason, Michigan

ISSUED FOR _____ DATE _____

SHEET TITLE
UTILITIES

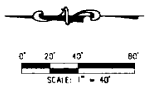
PRELIMINARY
NOT FOR CONSTRUCTION

SHEET NUMBER
C 103
15-225.10



UTILITY NOTES:

- CONTRACTOR SHALL OBTAIN ALL NECESSARY STATE AND LOCAL PERMITS, ALL CONSTRUCTION MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF AGENCIES HAVING JURISDICTION.
- CALL "TWO DEPT", 811, 72 HOURS PRIOR TO THE START OF ANY WORK.
- REFER TO EXISTING TOPOGRAPHIC SURVEY FOR BENCHMARKS AND OTHER EXISTING INFORMATION.
- CONTRACTOR SHALL COORDINATE WORK WITH OTHER CONTRACTORS ON SITE. CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFICATION AND COORDINATION OF ALL CONSTRUCTION WITH THE RESPECTIVE UTILITY PROVIDERS PRIOR TO STARTING ANY CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE TO MAKE AVAILABLE TO THE ENGINEER DIMENSIONS TO LOCATE UTILITY STOPS AND/OR ANY UTILITY CORRELATION STOPS INSTALLED.
- CONTRACTOR SHALL PROTECT ALL EXISTING AND NEW CONSTRUCTION FROM DAMAGE. SHOULD ANY DAMAGE OCCUR, CONTRACTOR SHALL MAKE ALL NECESSARY REPAIRS AT NO COST TO THE OWNER.
- PROTECT BARRIERS OR OTHER PROTECTION TO KEEP VEHICLES AND PEDESTRIAN TRAFFIC AWAY FROM THE WORK AREA AND OFF PARKING AREAS BEFORE BENCHMARKS PAVING OR CONCRETE IS CURED.
- ALL UTILITY WORK SHALL BE COMPLETED, INCLUDING TRENCH BACKFILL AND COMPACTION, PRIOR TO PLACEMENT OF ANY GRAVEL BASE.
- EXISTING UNDERGROUND UTILITIES ARE PLOTTED FROM ORIGINAL SITE DRAWINGS AND SITE TOPOGRAPHIC SURVEY PERFORMED BY CRANE LAND SURVEYING, SURVEY NO. 20042 DATED 03/20/18. EVERY ATTEMPT HAS BEEN MADE TO SHOW ALL UTILITY LINES WHERE THEY EXIST. CONTRACTOR SHALL USE EXTREME PRECAUTION IN EXCAVATING FOR NEW UTILITIES SINCE ACTUAL UNDERGROUND UTILITIES MAY NOT BE AS SHOWN. CONTRACTOR SHALL MAKE SURE TO THOROUGHLY FAMILIAR WITH ALL UNDERGROUND UTILITY LOCATIONS PRIOR TO ANY EXCAVATION AND VERIFY LOCATIONS AND DEPTHS OF ALL UTILITIES.
- EXCEPT FOR THOSE UTILITIES NOTED TO BE PLACED OR REMOVED, RECONNECT ALL LINES ENCOUNTERED DURING CONSTRUCTION. CONTRACTOR SHALL COORDINATE ALL UTILITY WORK WITH UTILITY PROVIDER.
- UTILITY CONTRACTOR SHALL BE RESPONSIBLE FOR THE RASING OR LOWERING OF ALL EXISTING MANHOLES AND CATCH BASINS, FRAMES AND COVERS, VALVE BOXES AND CLEAN-OUTS TO MEET FINISH GRADES.
- ALL SITE UTILITIES SHALL BE STUMPED AND PLOTTED TO WITHIN FIVE FEET OF THE OUTSIDE BUILDING FOUNDATION UNLESS OTHERWISE NOTED.
- REFER TO ARCHITECTURAL/MECHANICAL PLANS FOR EXACT BUILDING SANITARY AND WATER SERVICE CONNECTION LOCATIONS. FIELD ADJUST AS NECESSARY.
- SEE ADDITIONAL SHEETS IN DRAWING SET FOR MORE INFORMATION.



LEGEND

- | | | | |
|---|--------------------------|---|--------------------------|
| ① | MISC. MANHOLE | ⊗ | SHRUB/BUCH |
| ② | STORM SEWER MANHOLE | ⊗ | DECIDUOUS TREE |
| ③ | CATCH BASIN/CURB INLET | ⊗ | CONIFEROUS TREE |
| ④ | SANITARY SEWER MANHOLE | ⊗ | FIRE HYDRANT |
| ⑤ | WATER MANHOLE | ⊗ | WATER VALVE |
| ⑥ | ELECTRIC MANHOLE | ⊗ | WATER METER |
| ⑦ | PHONE MANHOLE | ⊗ | GAS VALVE |
| ⑧ | UTILITY POLE W/ LIGHT | ⊗ | BURIED GAS MANHOLE |
| ⑨ | UTILITY POLE | ⊗ | GAS METER |
| ⑩ | FLAG POLE | ⊗ | BURIED ELECTRIC MANHOLE |
| ⑪ | MONITOR WELL | ⊗ | BURIED PHONE MANHOLE |
| ⑫ | ELECTRIC BOX/TRANSFORMER | ⊗ | TELEPHONE PEDESTAL |
| ⑬ | AIR CONDITIONING UNIT | ⊗ | MAIL BOX |
| ⑭ | UNDERGROUND UTILITY LINE | ⊗ | SIGN |
| ⑮ | UNDERGROUND UTILITY LINE | ⊗ | BUZZ LARD |
| ⑯ | GAS MAIN | ⊗ | OVERHEAD UTILITY LINE |
| ⑰ | WATER MAIN | ⊗ | UNDERGROUND UTILITY LINE |
| ⑱ | FENCE LINE | ⊗ | |



Know what's below.
Call before you dig.

PRELIMINARY
NOT FOR CONSTRUCTION

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 Fax: 734.769.0001
 Email: info@towerpinkster.com

DATE
 JANUARY 11, 2019

PROJECT TITLE
**GOODWILL OF
 CENTRAL MI,
 MASON**

**GOODWILL INDUSTRIES OF
 CENTRAL
 MICHIGAN'S
 HEARTLAND,
 INC.**

Mason, Michigan

ISSUED FOR _____ DATE _____

SHEET TITLE
**GRADING AND
 STORM SEWER
 PLAN**

PRELIMINARY
 NOT FOR CONSTRUCTION

SHEET NUMBER

C 104

15-225-10



GRADING & STORM SEWER NOTES:

- CONTRACTOR SHALL OBTAIN ALL NECESSARY STATE AND LOCAL PERMITS. ALL CONSTRUCTION MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF APPLICABLE MAJOR JURISDICTIONS.
- CALL "811" PRIOR TO THE START OF ANY WORK.
- REFER TO EXISTING TOPOGRAPHIC SURVEY FOR BENCHMARKS AND OTHER EXISTING INFORMATION.
- CONTOUR INTERVAL = 1 FOOT
- ALL SLOES SHALL BE GRADED TO PROVIDE FOR SMOOTH CONTOURS AND POSITIVE DRAINAGE AWAY FROM BUILDINGS. FLOODING OF WATER WILL NOT BE ALLOWED EXCEPT WHERE INDICATED.
- CONTRACTOR SHALL COORDINATE WORK WITH OTHER CONTRACTORS ON SITE. CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFICATION AND COORDINATION OF ALL CONSTRUCTION WITH THE RESPECTIVE UTILITY PROVIDERS PRIOR TO STARTING ANY CONSTRUCTION.
- CONTRACTOR SHALL BE RESPONSIBLE TO HAVE AVAILABLE TO THE ENGINEER DIMENSIONS TO LOCATE UTILITY STUBS AND/OR ANY UTILITY CONDUIT STUBS INSTALLED.
- CONTRACTOR SHALL PROTECT ALL EXISTING AND NEW CONSTRUCTION FROM DAMAGE. SHOULD ANY DAMAGE OCCUR, CONTRACTOR SHALL MAKE ALL NECESSARY REPAIRS AT NO COST TO THE OWNER.
- PROTECT BARRIERS OR OTHER PROTECTION TO KEEP VEHICLES AND PEDESTRIAN TRAFFIC AWAY FROM THE WORK AREA AND OFF PARKING AREAS BEFORE SIGNIFICANT PAVING OR CONCRETE IS CURED.
- ALL UTILITY WORK SHALL BE COMPLETED, INCLUDING TRENCH BACKFILL AND COMPACTION, PRIOR TO PLACEMENT OF ANY GRAVEL BASE.
- EXISTING UNDERGROUND UTILITIES ARE PLOTTED FROM ORIGINAL SITE DRAWINGS AND SITE TOPOGRAPHIC SURVEY. EVERY ATTEMPT HAS BEEN MADE TO SHOW ALL UTILITY LINES WHERE THEY EXIST. CONTRACTOR SHALL USE EXTREME PRECAUTION IN EXCAVATING FOR NEW UTILITIES SINCE ACTUAL UNDERGROUND UTILITIES MAY NOT BE AS SHOWN. CONTRACTOR SHALL MAKE THEMSELVES THOROUGHLY FAMILIAR WITH ALL UNDERGROUND UTILITY LOCATIONS PRIOR TO ANY EXCAVATION AND VERIFY LOCATIONS AND DEPTHS OF ALL UTILITIES.
- EXCEPT FOR THOSE UTILITIES NOTED TO BE PLUGGED OR REMOVED, RECONNECT ALL LINES ENCOUNTERED DURING CONSTRUCTION. CONTRACTOR SHALL COORDINATE ALL UTILITY WORK WITH UTILITY PROVIDERS.
- UTILITY CONTRACTOR SHALL BE RESPONSIBLE FOR THE PAVING OR LAYING OF ALL EXISTING MANHOLES AND CATCH BASINS, FRAMES AND COVERS, VALVE BOXES AND CLEAN-OUTS TO MEET FRESH GRADES.
- ALL STORM SEWER STRUCTURES, INCLUDING DUMPS, WITHIN THE PROPERTY LIMITS SHALL BE REPAIRED AND CLEANED OUT IF NECESSARY. IF SOME SPECIFIC PROBLEM IS IDENTIFIED DURING THIS ACTIVITY, CONTACT THE ENGINEER FOR FURTHER INSTRUCTIONS.
- IN ALL AREAS OF NEW GRADING OR CONSTRUCTION, SLOPE AND STOOPLINE EXISTING TOPSOIL AND FRESHMAN ALL GRADING AND EXCAVATION TO THE ELEVATION POINTS SHOWN. TOPSOIL SHALL BE REPLACED WITH A 4" MINIMUM THICKNESS OF DISCONTAMINATED AREAS OUTSIDE OF BUILDING AND PAVEMENT AREAS. TOPSOIL SHALL BE SEEDS AND GRADED.
- ALL SITE UTILITIES SHALL BE STUBBED AND PLUGGED TO WITHIN FIVE FEET OF THE OUTSIDE BUILDING FOUNDATION WALL UNLESS OTHERWISE NOTED.
- REFER TO ARCHITECTURAL/MECHANICAL PLANS FOR EXACT BUILDING STORM SEWER CONNECTION LOCATIONS. FIELD ADJUST AS NECESSARY.
- SEE ADDITIONAL SHEETS IN DRAWING SET FOR MORE INFORMATION.

STORM STRUCTURE DATA

CS#01
 RM 918.30
 SW INV 12' RCP=918.00
 SW INV 4' STW=918.00

CS#02
 RM 918.44
 SW INV 12' RCP=918.08
 SW INV 4' STW=918.08

CS#03
 RM 918.75
 SW INV 12' RCP=918.30
 SW INV 4' STW=918.30

CS#04
 RM 920.38
 SW INV 12' RCP=918.40
 SW INV 4' STW=918.40

CS#05
 RM 920.48
 SW INV 12' RCP=918.40

CS#06
 RM 920.26
 SW INV 12' RCP=918.00
 SW INV 4' STW=918.00

CS#07
 RM 918.02
 SW INV 12' RCP=918.14

CS#08
 RM 918.48
 SW INV 12' RCP=918.23
 SW INV 4' STW=918.23

CS#09
 RM 920.48
 SW INV 12' RCP=918.40

CS#10
 RM 919.28
 SW INV 12' RCP=918.08

CS#11
 RM 919.71
 SW INV 4' STW=918.18
 SW INV 4' STW=918.18

TRENCH DRAINS
 SEE DETAIL SHEET

STORM WATER DETENTION BASIN

TOP OF BANK EL. = 918.50
 EMERGENCY SPILLWAY CREST ELEV. = 918.50
 NORMAL WATER LEVEL = 913.00
 BOTTOM OF BASIN = 911.00

100 YR EVENT WATER EL. = 915.00
 RECD STORAGE VOL. = 14,880 CF
 PROVIDED STORAGE VOL. = 48,863 CF

2 YR EVENT WATER EL. = 913.77
 RECD STORAGE VOLUME = 12,389 CF
 PROVIDED STORAGE VOL. = 41,889 CF

FIRST FLUSH
 RECD STORAGE VOLUME = 8,809 CF
 PROVIDED STORAGE VOLUME = 18,856 CF (IN PERM. POOL)

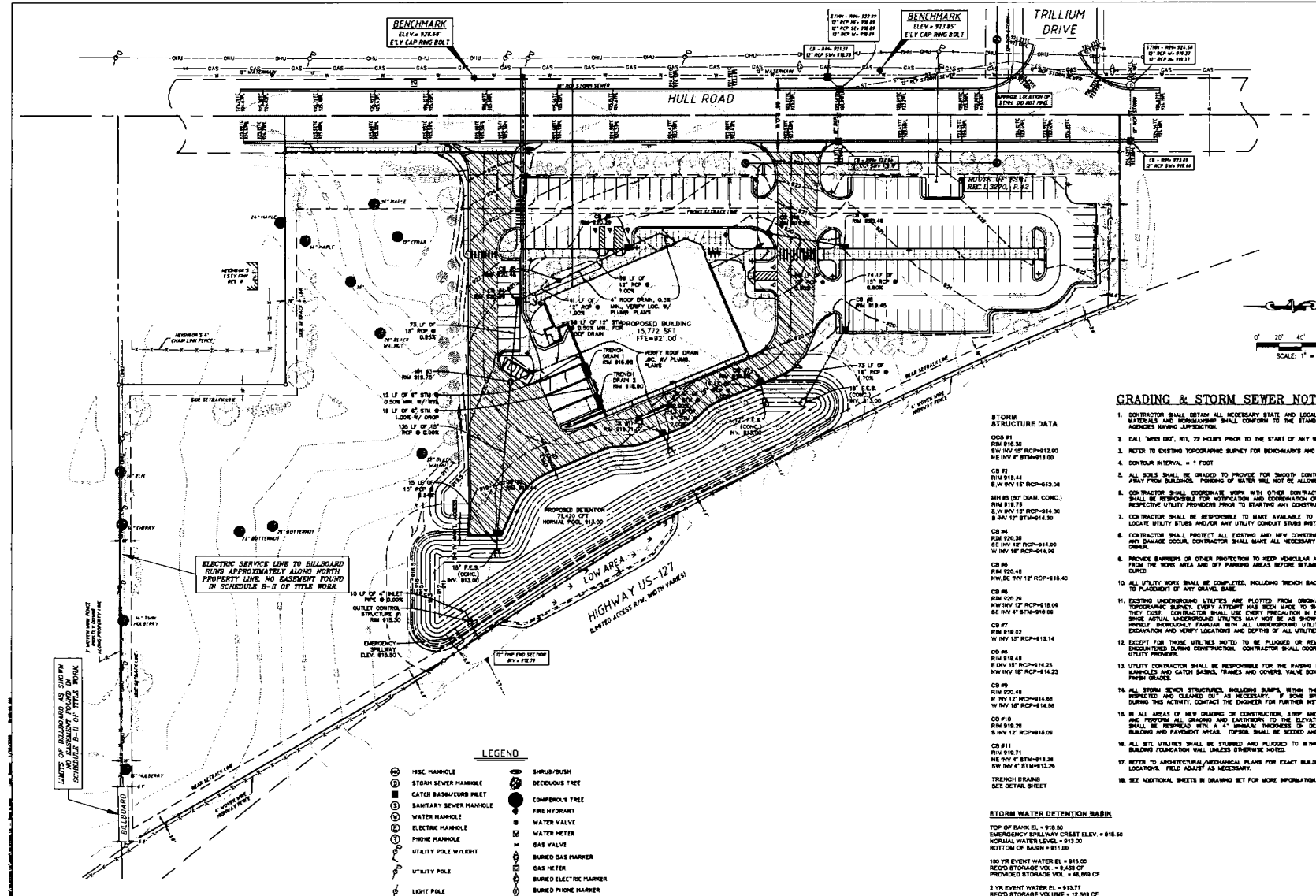
RECD PERMANENT POOL = 14,880 CF
 PROVIDED PERMANENT POOL = 18,856 CF

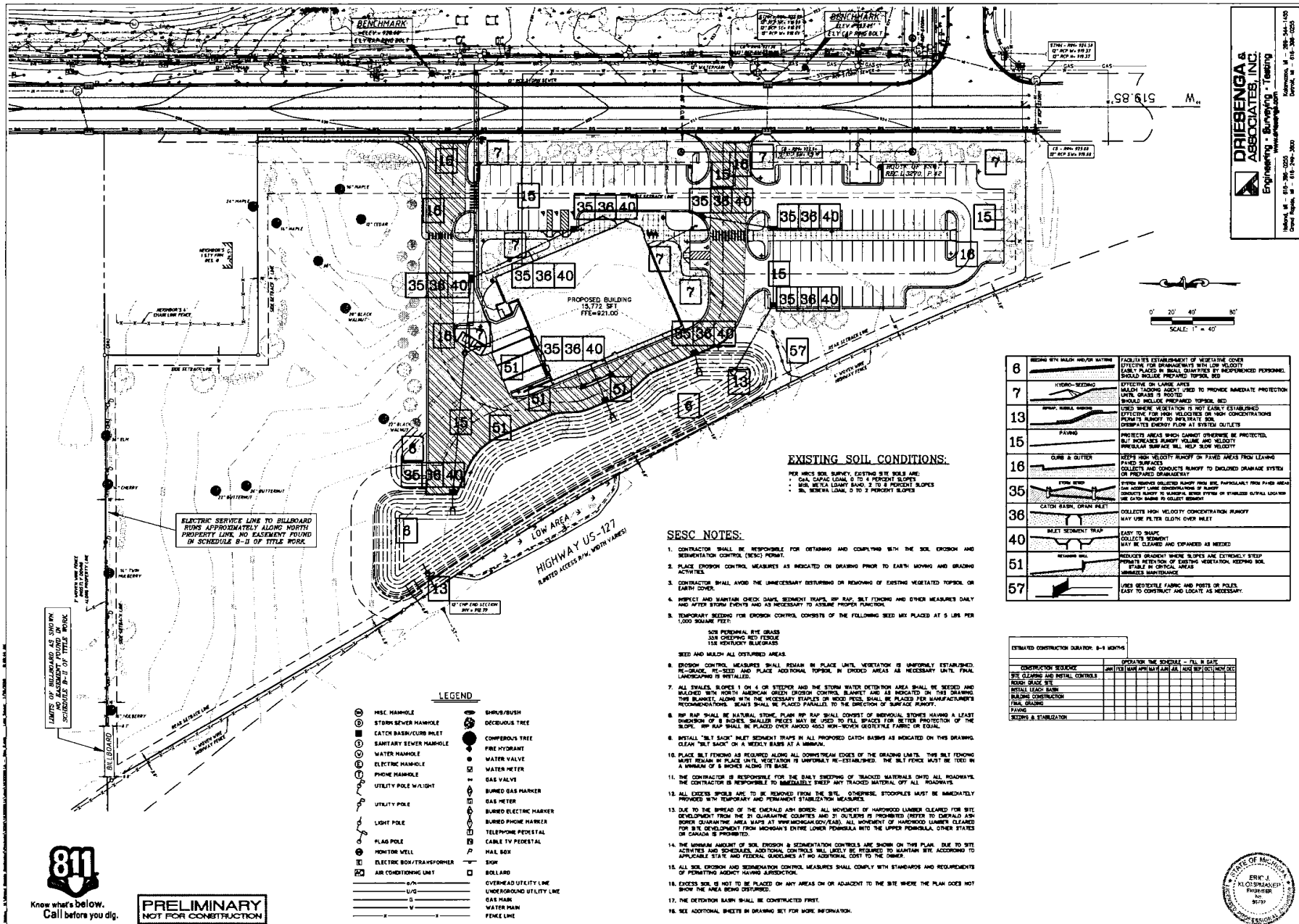
LEGEND

- | | |
|--------------------------|--------------------------|
| HYD. MANHOLE | SHRUB TREES |
| STORM SEWER MANHOLE | DECIDUOUS TREE |
| CATCH BASIN/CURB INLET | CONIFEROUS TREE |
| SANITARY SEWER MANHOLE | FIRE HYDRANT |
| WATER MANHOLE | WATER VALVE |
| ELECTRIC MANHOLE | WATER METER |
| PHONE MANHOLE | GAS VALVE |
| UTILITY POLE W/ LIGHT | BURNED GAS MANHOLE |
| UTILITY POLE | GAS METER |
| UTILITY POLE | BURNED ELECTRIC MANHOLE |
| FLAG POLE | BURNED PHONE MANHOLE |
| MONITOR WELL | TELEPHONE PEDESTAL |
| ELECTRIC BOX/TRANSFORMER | CABLE TV PEDESTAL |
| AIR CONDITIONING UNIT | MAIL BOX |
| | EGP |
| | BILLBOARD |
| | OVERHEAD UTILITY LINE |
| | UNDERGROUND UTILITY LINE |
| | GAS MAIN |
| | WATER MAIN |
| | FENCE LINE |



PRELIMINARY
 NOT FOR CONSTRUCTION





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DATE
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PROJECT TITLE
GOODWILL OF CENTRAL MI, MASON

GOODWILL INDUSTRIES OF CENTRAL MICHIGAN'S HEARTLAND, INC.
 Mason, Michigan

ISSUED FOR DATE
 SHEET TITLE
SOIL EROSION AND SEDIMENTATION CONTROL

PRELIMINARY
 SHEET NUMBER
C 105
 15-223.10

6	SEEDING WITH MULCH FOR BATTERIES	PROTECTS ESTABLISHMENT OF VEGETATION COVER EFFECTIVE FOR DRAINAGEWAYS WITH LOW VELOCITY. EASILY PLACED IN SMALL QUANTITIES BY INCOMPETENT PERSONNEL. SHOULD INCLUDE PREPARED TOPSOIL, MULCH.
7	HYDRO-SEEDING	EFFECTIVE ON LARGE AREAS. MULCH TACKING AGENT USED TO PROVIDE IMMEDIATE PROTECTION UNTIL GRASS IS ROOTED. SHOULD INCLUDE PREPARED TOPSOIL, MULCH.
13	SPRINK, SEED, MULCH	USED WHERE VEGETATION IS NOT EASILY ESTABLISHED. PLANTS TO RUNOFF TO INFILTRATE SOIL. COMPLETED ENDPOINT FLOOR AT SYSTEM OUTLET.
15	PAVING	PROTECTS AREAS WHICH CANNOT OTHERWISE BE PROTECTED. BUT INCREASES RUNOFF VOLUME AND VELOCITY. UNDESIRABLE SURFACE WILL INFLUENCE VELOCITY.
18	CURB & DUTCH	KEEPS HIGH VELOCITY RUNOFF ON PAVED AREAS FROM LEAVING PAVED SURFACES. COLLECTS AND CONDUCTS RUNOFF TO ENCLOSED DRAINAGE SYSTEM OR PREPARED DRAINAGEWAY.
35	STORM DRAIN	USED WHERE LARGE CONCENTRATIONS OF RUNOFF CHANGES EASILY TO SHARPEN. EROSION PROTECTS OR STABILIZES ACTUAL LOCATION OF CATCH BASIN TO COLLECT RUNOFF.
36	CATCH BASIN, DRAIN INLET	COLLECTS HIGH VELOCITY CONCENTRATION RUNOFF. WAY USE FILTER CLOTH OVER INLET.
40	INLET SEDIMENT TRAP	EASY TO SHAPE. COLLECTS SEDIMENT. MAY BE CLEANED AND EXPANDED AS NEEDED.
51	RETAINING WALL	REDUCES GRADIENT WHERE SLOPES ARE EXTREMELY STEEP. PREVENTS INTENTION OF EROSION VEGETATION. REDUCES SOIL STABLE IN CRITICAL AREAS. DEMANDS MAINTENANCE.
57	PAVING	USED TO PROTECT FACING AND PORTS OR POLES. EASY TO CONSTRUCT AND LOCATE AS NECESSARY.

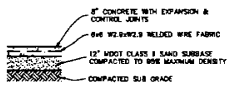
ESTIMATED CONSTRUCTION DURATION: 3-6 MONTHS	
CONSTRUCTION SEQUENCE	OPERATION THE SCHEDULE - FULL & DATE
SITE CLEARING AND INITIAL CONTROLS	1/11/19 10:00 AM TO 11:00 AM
ROUGH GRADE SITE	1/11/19 11:00 AM TO 12:00 PM
INSTALL LEAD BARRIERS	1/11/19 12:00 PM TO 1:00 PM
BUILDING CONSTRUCTION	1/11/19 1:00 PM TO 2:00 PM
FINAL GRADE	1/11/19 2:00 PM TO 3:00 PM
STORMS & STABILIZATION	1/11/19 3:00 PM TO 4:00 PM

EXISTING SOIL CONDITIONS:
 PER NCS SOIL SURVEY, EXISTING SITE SOIL ARE:
 1. CLAY, CAPAC LOAM, 0 TO 4 PERCENT SLOPES
 2. SILT, SILT LOAM, 4 TO 8 PERCENT SLOPES
 3. SILT, SILT LOAM, 8 TO 10 PERCENT SLOPES

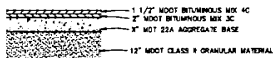
SESC NOTES:
 1. CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND COMPLYING WITH THE SOIL EROSION AND SEDIMENTATION CONTROL (SESC) PERMIT.
 2. PLACE EROSION CONTROL MEASURES AS INDICATED ON DRAWING PRIOR TO EARTH MOVING AND GRADING ACTIVITIES.
 3. CONTRACTOR SHALL AVOID THE UNNECESSARY DISTURBING OF EXISTING VEGETATED TOPSOIL OR EARTH COVER.
 4. INSPECT AND MAINTAIN CHECK DAMS, SEDIMENT TRAPS, Silt PANS, Silt FENCING AND OTHER MEASURES DAILY AND AFTER STORM EVENTS AND AS NECESSARY TO ASSURE PROPER FUNCTION.
 5. TEMPORARY SEEDING FOR EROSION CONTROL, CONSISTS OF THE FOLLOWING SEED MIX PLACED AT 5 LBS PER 1,000 SQUARE FEET:
 50% PERENNIAL RYE GRASS
 30% CREEPING RED FESCUE
 10% KENTUCKY BLUEGRASS
 SEED AND MULCH ALL DISTURBED AREAS.
 6. EROSION CONTROL MEASURES SHALL REMAIN IN PLACE UNTIL VEGETATION IS UNIFORMLY ESTABLISHED. RE-GRASS, RE-SEED AND PLACE ADDITIONAL TOPSOIL IN ERODED AREAS AS NECESSARY UNTIL FINAL LANDSCAPING IS INSTALLED.
 7. ALL SLOPES, SLOPES 1 ON 4 OR STEEPER AND THE STORM WATER DETENTION AREA SHALL BE SEEDING AND MULCHED WITH NORTH AMERICAN GREEN EROSION CONTROL BLANKET AND AS INDICATED ON THIS DRAWING. THE BLANKET, ALONG WITH THE NECESSARY STAPLES OR NAILS, SHALL BE PLACED FOR MANUFACTURER'S RECOMMENDATIONS. SEAMS SHALL BE PLACED PARALLEL TO THE DIRECTION OF SURFACE RUNOFF.
 8. Silt PANS SHALL BE NATURAL STONE, PLUM OR RAY SHALL CONSIST OF HANDWORKED STONES HAVING A LEAST DIMENSION OF 8 INCHES. SMALLER PILES MAY BE USED TO FILL SPACES FOR DETENTION PROTECTION OF THE SLOPE. Silt PANS SHALL BE PLACED OVER AVOID 4000 NON-WOVEN GEOTEXTILE FABRIC OR EQUAL.
 9. INSTALL "SILT BAG" INLET SEDIMENT TRAPS IN ALL IMPROVED CATCH BASINS AS INDICATED ON THIS DRAWING. CLEAN "SILT BAG" ON A WEEKLY BASIS AT A MINIMUM.
 10. PLACE Silt FENCING AS REQUIRED ALONG ALL DOWNSTREAM EDGES OF THE DRAWING LIMITS. THIS Silt FENCING MUST BE REMOVED OR RE-EVALUATED IF IT IS UNSTABLE OR IF IT IS NOT MAINTAINED. THE Silt FENCE MUST BE TOOK IN A MINIMUM OF 6 INCHES ALONG ITS BASE.
 11. THE CONTRACTOR IS RESPONSIBLE FOR THE DAILY SHEETING OF TRUCKED MATERIALS ONTO ALL ROADWAYS. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN ALL TRUCKED MATERIAL OFF ALL ROADWAYS.
 12. ALL EXCESS SHOULD BE TO BE REMOVED FROM THE SITE. OTHERWISE, STOCKPILES MUST BE IMMEDIATELY PROVIDED WITH TEMPORARY AND PERMANENT STABILIZATION MEASURES.
 13. DUE TO THE SPREAD OF THE EMERALD ASH BORER, ALL MOVEMENT OF HANDWORKED LUMBER CLEARED FOR SITE DEVELOPMENT FROM ANY OF QUADRANTAL COUNTIES AND IT OUTLIER IS PROHIBITED. (ENTER TO EMERALD ASH BORER QUADRANTAL AREA MAPS AT WWW.MICHIGAN.GOV/EAAB). ALL MOVEMENT OF HANDWORKED LUMBER CLEARED FOR SITE DEVELOPMENT FROM MICHIGAN'S ENTIRE LOWER PENINSULA INTO THE UPPER PENINSULA, OTHER STATES OR CANADA IS PROHIBITED.
 14. THE UPPER AMOUNT OF SOIL EROSION & SEDIMENTATION CONTROLS ARE SHOWN ON THIS PLAN. DUE TO SITE ACTIVITIES AND SEASONAL CHANGES, THESE CONTROLS WILL LIKELY BE REQUIRED TO MAINTAIN SITE ACCORDING TO APPLICABLE STATE AND FEDERAL GUIDELINES AT NO ADDITIONAL COST TO THE OWNER.
 15. ALL SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL COMPLY WITH STANDARDS AND REQUIREMENTS OF PERMITTING AGENCY HAVING JURISDICTION.
 16. EXCESS SOIL IS NOT TO BE PLACED ON ANY AREAS ON OR ADJACENT TO THE SITE WHERE THE PLAN DOES NOT SHOW THE AREA BOUND BEING CONSTRUCTED.
 17. THE DETENTION BASIN SHALL BE CONSTRUCTED FIRST.
 18. SEE ADDITIONAL SHEETS IN DRAWING SET FOR MORE INFORMATION.



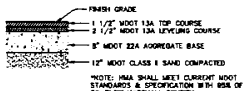
PRELIMINARY
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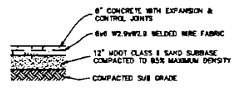
8" REINFORCED CONCRETE PAVEMENT
NO SCALE



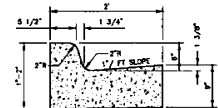
BITUMINOUS PAVEMENT SECTION
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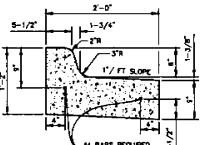
PARKING LOT SECTION (HEAVY DUTY)
NO SCALE



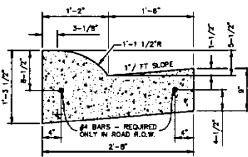
6" REINFORCED CONCRETE PAVEMENT
NO SCALE



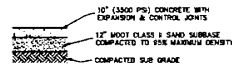
CURB & GUTTER - MDOT DETAIL F4 MODIFIED
NO SCALE



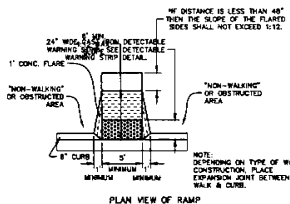
CURB & GUTTER - F4 INVERTED GUTTER
NO SCALE



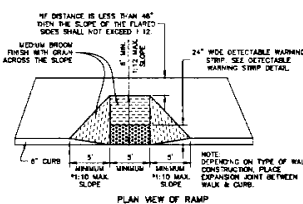
CURB & GUTTER - MDOT DETAIL B2
NO SCALE



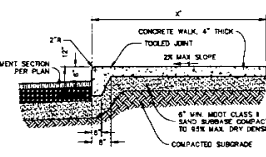
10" CONCRETE PAVEMENT
NO SCALE



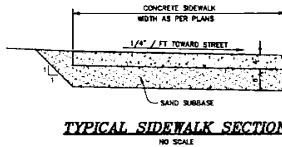
BARRIER FREE SIDEWALK RAMP - TYPE R
NO SCALE



BARRIER FREE SIDEWALK RAMP - TYPE F
NO SCALE

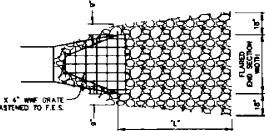


SIDEWALK WITH INTEGRAL CURB
NO SCALE

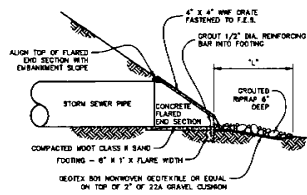


TYPICAL SIDEWALK SECTION
NO SCALE

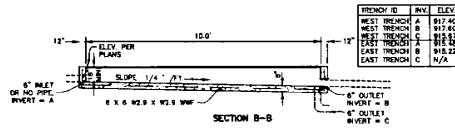
PIPE DIA. (FEET)	TYPE
12"	8
15"	8
18"	8
24"	10
30"	10
36"	10
42"	15
48"	15
60"	20
72"	20
78"	20
84"	20



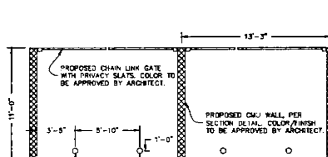
24" STORM MANHOLE
NO SCALE



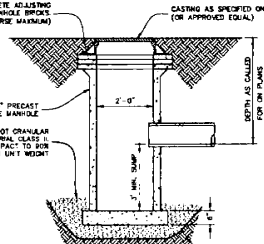
FLARED END SECTION
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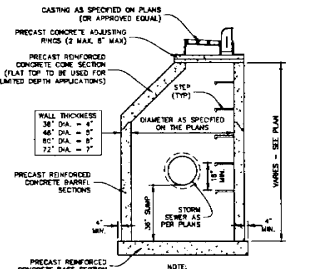
TRENCH DRAIN - TRUCK DOCK
NO SCALE



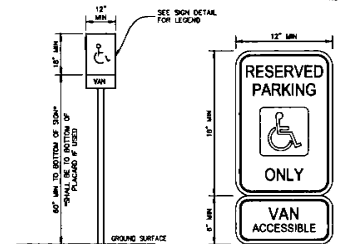
DUMPSTER ENCLOSURE DETAIL
NO SCALE



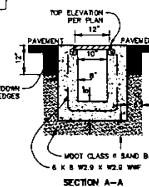
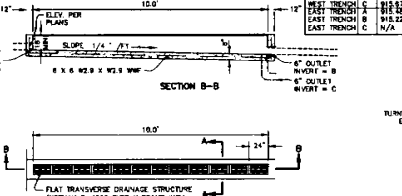
DUMPSTER ENCLOSURE WALL SECTION
NO SCALE



CATCH BASIN
NO SCALE



BARRIER FREE SIGN
NO SCALE



DRIEBENGA & ASSOCIATES, INC.
Engineering • Surveying • Testing
Holland, MI - 616-396-0255
Grand Rapids, MI - 616-249-3800
Kalamazoo, MI - 269-544-1455
Detroit, MI - 616-396-0255

TowerPinkster
ARCHITECTS & ENGINEERS

TowerPinkster, PLLC
342 East Commons Avenue, Suite 200
Ann Arbor, Michigan 48107-0201
Tel: 734.763.1200 Fax: 734.763.1201
www.towerpinkster.com

DATE
JANUARY 11, 2019

PROJECT TITLE
GOODWILL OF CENTRAL MI, MASON

GOODWILL INDUSTRIES OF CENTRAL MICHIGAN'S HEARTLAND, INC.

Mason, Michigan

ISSUED FOR DATE

SHEET TITLE
DETAILS

SHEET NUMBER

C 501

15-225.10

DATE
JANUARY 11, 2010

PROJECT TITLE
GOODWILL - MASON



GOODWILL INDUSTRIES OF CENTRAL MICHIGAN'S HEARTLAND
City of Mason, Michigan

B/E PLAN REVIEW #5 01/11/2010
B/E PLAN REVIEW #2 12/06/2010
B/E PLAN REVIEW 10/10/2010

ISSUED FOR DATE

SHEET TITLE
SITE LANDSCAPE PLAN - NORTH

PRELIMINARY
NOT FOR CONSTRUCTION

SHEET NUMBER

L 100

15-225.10

PLANT LIST

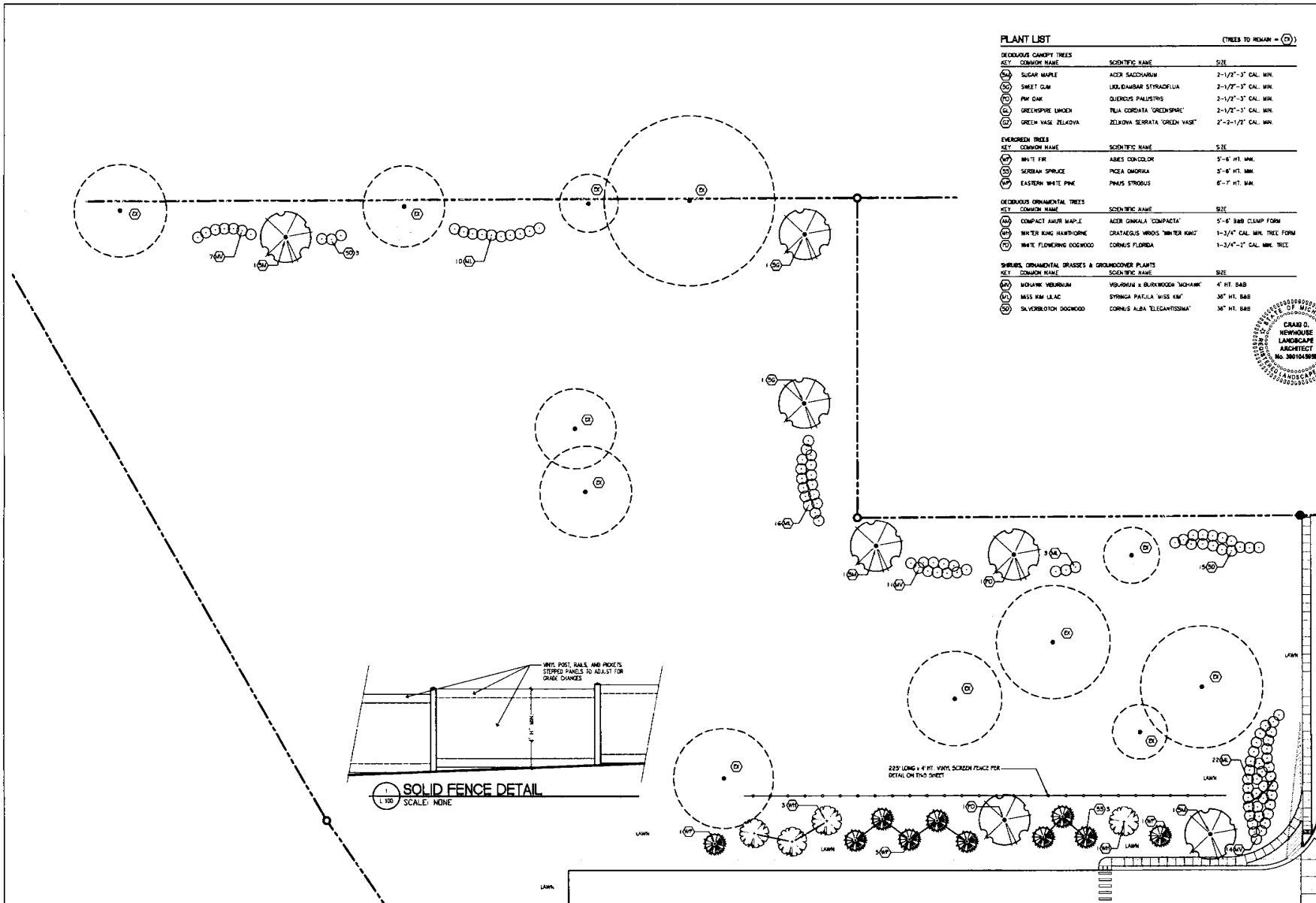
(TREES TO REMAIN = (C))

KEY	COMMON NAME	SCIENTIFIC NAME	SIZE
(C)	SUGAR MAPLE	ACER SACCCHARUM	2'-1/2" - 3" CAL. MIN.
(C)	SWEET GUM	LICHTENHARTS STRAUCHIIA	2'-1/2" - 3" CAL. MIN.
(C)	PIW GUM	QUERCUS PAULSTRIIS	2'-1/2" - 3" CAL. MIN.
(C)	GREENSPICE LINDEN	TELA CORDATA 'GREENSPICE'	2'-1/2" - 3" CAL. MIN.
(C)	GREEN VASE ZELKOVA	ZELKOVA SERRATA 'GREEN VASE'	2'-2 1/2" - 3" CAL. MIN.

KEY	COMMON NAME	SCIENTIFIC NAME	SIZE
(C)	WHITE FIR	ABIES CONCOLOR	5'-6" HT. MAX.
(C)	SCANDIAN SPRUCE	PICEA OMORICA	5'-6" HT. MAX.
(C)	EASTERN WHITE PINE	PINUS STROBUS	6'-7" HT. MAX.

KEY	COMMON NAME	SCIENTIFIC NAME	SIZE
(C)	COMPACT AMUR MAPLE	ACER GINAKA 'COMPACT'	5'-6" BAB CLUMP FORM
(C)	WINTER KING HAWTHORNE	CRATAEGUS VIRENS 'WINTER KING'	1'-3/4" CAL. MIN. TREE FORM
(C)	WHITE FLOWERING DOGWOOD	CORNUS FLORIDA	1'-3/4" - 2" CAL. MIN. TREE

KEY	COMMON NAME	SCIENTIFIC NAME	SIZE
(C)	WINDYING YEW	YUCCA FILIFOLIA 'WINDYING YEW'	4" HT. BAB
(C)	MISS KIM LILAC	SYRINGA PATULA 'MISS KIM'	36" HT. BAB
(C)	SILVERLEAF DOGWOOD	CORNUS ALBA 'ELEGANTISSIMA'	36" HT. BAB



SITE LANDSCAPE PLAN - NORTH
SCALE: 1"=20' @ 24" X 36" FULL SIZE PLOT

SITE LANDSCAPE PLAN - CENTRAL
SCALE: 1"=20' @ 24" x 36" FULL SIZE PLOT

NORTH
0 10 20 40 60



PLANT LIST

(TREES TO REMAIN = (R))

DECIDUOUS SHADY TREES

KEY	COMMON NAME	SCIENTIFIC NAME	SIZE
(R)	SUGAR MAPLE	ACER SACCCHARUM	2-1/2" - 3" CAL. WIL.
(R)	SWEET GUM	LIQUIDAMBAR STRYALIFLUA	2-1/2" - 3" CAL. WIL.
(R)	PIN OAK	QUERCUS PAUCISTRIS	2-1/2" - 3" CAL. WIL.
(R)	GREENSPRING LINDEN	TILIA CORDATA 'GREENSPRING'	2-1/2" - 3" CAL. WIL.
(R)	GREEN VASE YELDER	ELAEAGNUS YERRELLII 'GREEN VASE'	2" - 2-1/2" CAL. WIL.

EVERGREEN TREES

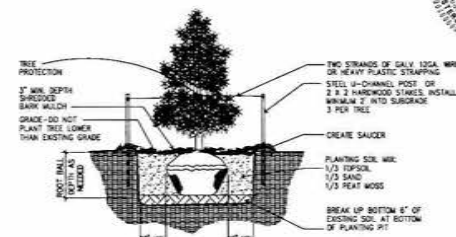
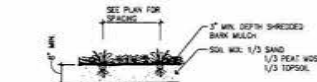
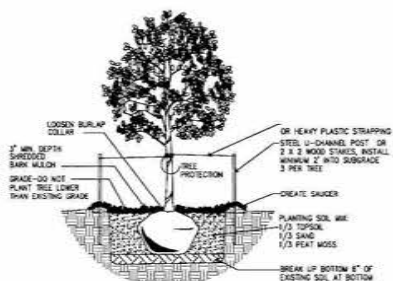
KEY	COMMON NAME	SCIENTIFIC NAME	SIZE
(R)	WHITE FIR	ABIES CONCOLOR	5'-8" HT. WIL.
(R)	SEABARK SPRUCE	PICEA MARSHIANA	5'-8" HT. WIL.
(R)	EASTERN WHITE PINE	PINUS STROBUS	8'-7" HT. WIL.

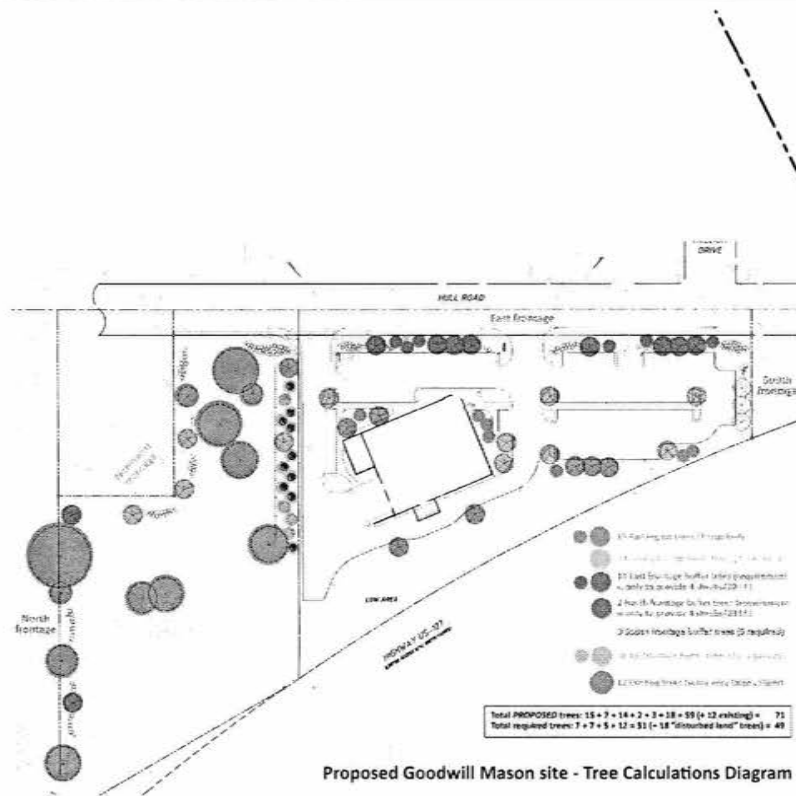
DECIDUOUS ORNAMENTAL TREES

KEY	COMMON NAME	SCIENTIFIC NAME	SIZE
(R)	COMPACT MAHOGANY	ACER GINNALA 'COMPACT'	5'-8" DBH CLUMP FORM
(R)	WINTER KING HAWTHORNE	CRATAEGUS VIRGATA 'WINTER KING'	1-3/4" CAL. WIL. TREE FORM
(R)	WHITE FLOWERING DOGWOOD	CORNUS FLORIDA	1-3/4" - 2" CAL. WIL. TREE

SHRUBS, ORNAMENTAL GRASSES & GROUNDCOVER PLANTS

KEY	COMMON NAME	SCIENTIFIC NAME	SIZE
(R)	MOONWAX VERBENA	VERBENA x BURNWOOD 'MOONWAX'	4" HT. BAB
(R)	MISS KIM LILAC	SYRINGA PATULA 'MISS KIM'	36" HT. BAB
(R)	SILVERBLOOM DOGWOOD	CORNUS ALBA 'ELEGANTISSIMA'	36" HT. BAB





Proposed Goodwill Mason site - Tree Calculations Diagram

PLANT LIST

KEY	COMMON NAME	SCIENTIFIC NAME	SIZE
DECIDUOUS CANOPY TREES			
1	SUGAR MAPLE	ACER SACCCHARIN	2'-1/2" - 3" CAL. MIN.
2	SWEET GUM	LIGUSTRUM STRACONFLUA	2'-1/2" - 3" CAL. MIN.
3	PN. OAK	QUERCUS PALUSTRIS	2'-1/2" - 3" CAL. MIN.
4	GREENSPICE LINDEN	TELA DORADIA "GREENSPICE"	2'-1/2" - 3" CAL. MIN.
5	GREEN WIDE ZELKOVIA	ZELKOVIA SERRATA "GREEN WIDE"	2'-2-1/2" CAL. MIN.
EVERGREEN TREES			
6	WHITE FIR	ABIES CONCOLOR	5'-6" FT. MIN.
7	SEABIRD SPRUCE	PICEA OMORICA	5'-6" FT. MIN.
8	EASTERN WHITE PINE	PAULS STROBUS	5'-7" FT. MIN.
DECIDUOUS ORNAMENTAL TREES			
9	COMPACT MAUI MAPLE	ACER OMNIALA "COMPACT"	5'-6" BAB CLAMP FORM
10	WINTER KING HANDBORNE	CRATAEGUS VIRIDIS "WINTER KING"	1-3/4" CAL. MIN. TREE FORM
11	WHITE FLOWERING DOGWOOD	CORNUS FLORIDA	1-3/4" - 2" CAL. MIN. TREE
SHRUBS, ORNAMENTAL GRASSES & BOUNDOVER PLANTS			
12	WOMAN VIBURNUM	VIBURNUM x BURKHEDD "WOMAN"	4" HT. BAB
13	WISS RW LILAC	SYRINGA PAULSA WISS RW	36" HT. BAB
14	SILVERBELLION DOGWOOD	CORNUS ALBA "SILVERBELLION"	36" HT. BAB

LANDSCAPE ZONING REQUIREMENTS

"BUFFER ZONE PLANTING REQUIREMENTS"	
EAST FRONTAGE (ADJACENT ZONING: M1 & M2) BUFFER TYPE "A" ALONG 674' LT. OF HULL ROAD, 5' WIDE MIN.	4/20 LT = 140 SHRUBS REQUIRED 107 SHRUBS PROPOSED
NORTH FRONTAGE (ADJACENT ZONING: C2) BUFFER TYPE "A" ALONG 840' LT. OF WALKER PROPERTY, 5' WIDE MIN.	4/20 LT = 83 SHRUBS REQUIRED 20 SHRUBS PROPOSED
NORTHEAST CORNER FRONTAGE (ADJACENT ZONING: A2) BUFFER TYPE "B" ALONG 435' LT. OF RESIDENTIAL PROPERTY, 10' WIDE MIN.	4/20 LT = 71 SHRUBS REQUIRED 45 SHRUBS PROPOSED
SOUTH FRONTAGE (ADJACENT ZONING: A2) BUFFER TYPE "A" ALONG 810' LT. OF WALKER TOWER PROPERTY	4/20 LT = 27 SHRUBS REQUIRED 8 SHRUBS PROPOSED
WEST FRONTAGE (ADJACENT ZONING: W2) NO BUFFER ALONG 810' LT. OF HIGHWAY 137	0 PLANTS REQUIRED 0 PLANTS PROPOSED
"PARKING LOT PLANTING REQUIREMENTS"	
1 CANOPY TREE + 100' OF LANDSCAPING PER 8 PARKING SPACES	14 TOTAL PARKING LOT TREES REQUIRED (FOR SPACES 1-8 = 13.5), 1/2 OF THE 14 MUST BE "INTERIOR" = 7 TREES 22 TOTAL PARKING LOT TREES PROPOSED (10 + 7 INTERIOR)
"DISTURBED LAND TREE PLANTING REQUIREMENTS"	
1 TREE PER 10,000 SF OF DISTURBED LAND	18 TREES REQUIRED REQUEST ONLY FOR THE 12 EXISTING TREES REMAINING ON SITE + THE CHANGES IN OTHER CATEGORIES
"OFF-STREET LOADING/UNLOADING SCREENING FROM RESIDENTIAL USE REQUIREMENTS"	
4 MIN. HEIGHT SOLID FENCE BETWEEN NORTH SIDE OF PROPOSED TRUCK DOOR AREA AND RESIDENTIAL PROPERTY @ NE CORNER OF SITE	FENCE REQUIRED 225' LT. FENCE PROPOSED

NOTE: 12 EXISTING TREES TO REMAIN ON SITE (SOME VERY LARGE CALIPERS) - SEE SURVEY SHEET & REMOVALS SHEETS FOR REFERENCE.

SITE LANDSCAPE PLAN - SOUTH
SCALE: 1"=20' @ 34" x 36" FULL SIZE PLOT

NORTH
0 10 20 40 60

TowerPinkster
ARCHITECTS

Tower Pinkster Tree Associates Inc.
240 East Kalamazoo Avenue, Suite 200
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4 East Fulton Street, Suite 201
Grand Rapids, Michigan 49503
616.438.3844 voice 616.438.2928 fax
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DATE
JANUARY 11, 2019

PROJECT TITLE
GOODWILL - MASON

GOODWILL INDUSTRIES OF CENTRAL MICHIGAN'S HEARTLAND

City of Mason, Michigan

SITE PLAN REVIEW # 01112019
SITE PLAN REVIEW # 12062018
SITE PLAN REVIEW 10/10/2018

ISSUED FOR DATE

SHEET TITLE

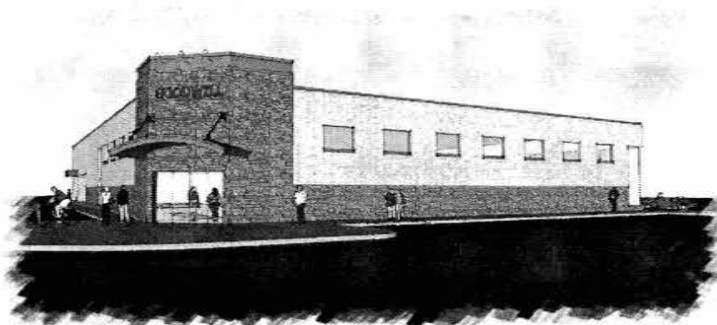
SITE LANDSCAPE PLAN - SOUTH

PRELIMINARY
NOT FOR CONSTRUCTION

SHEET NUMBER

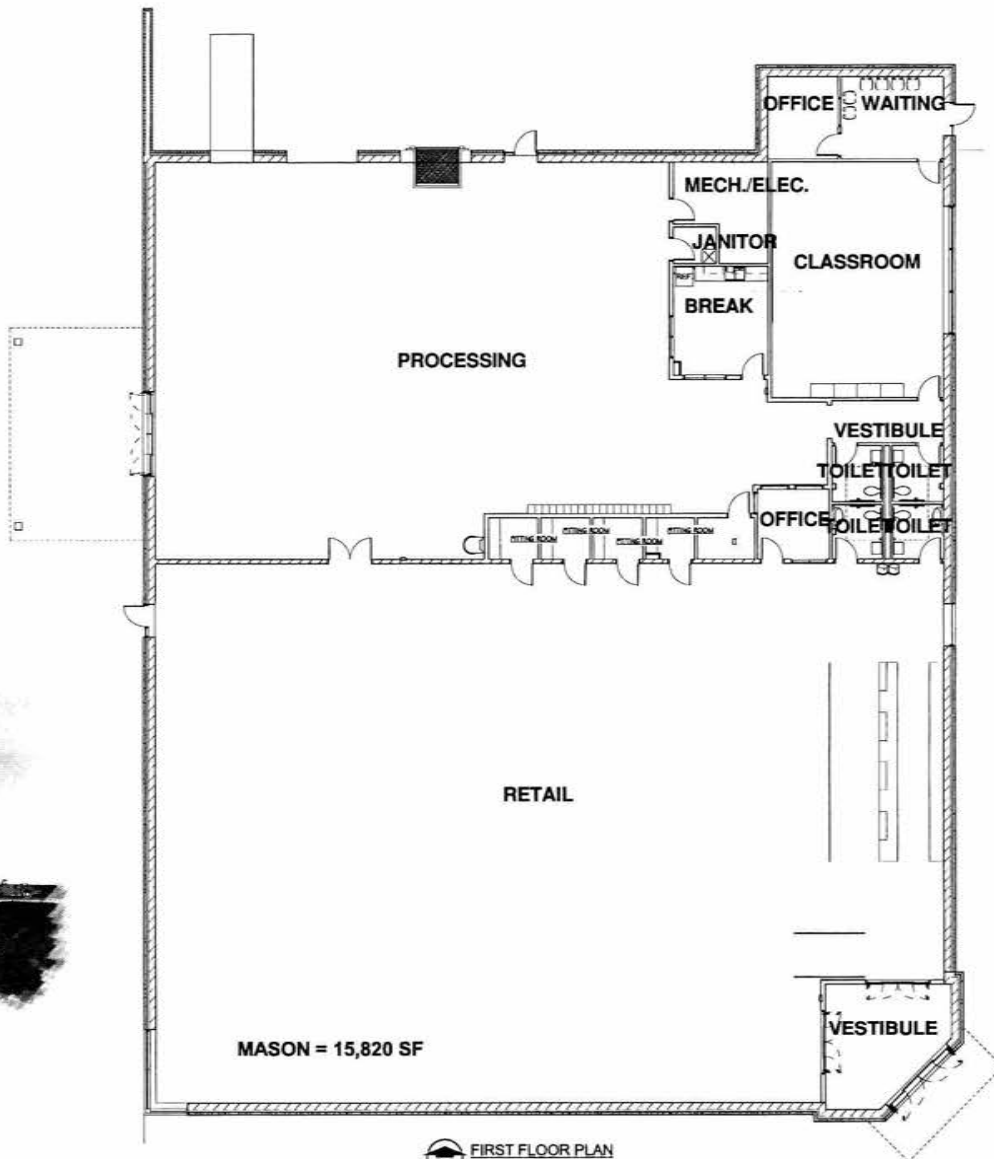
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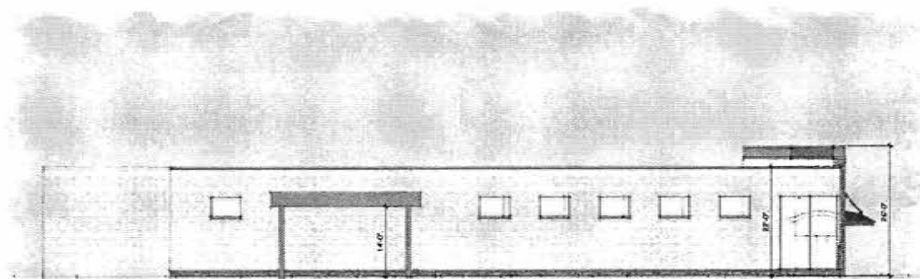


PERSPECTIVE
NO SCALE

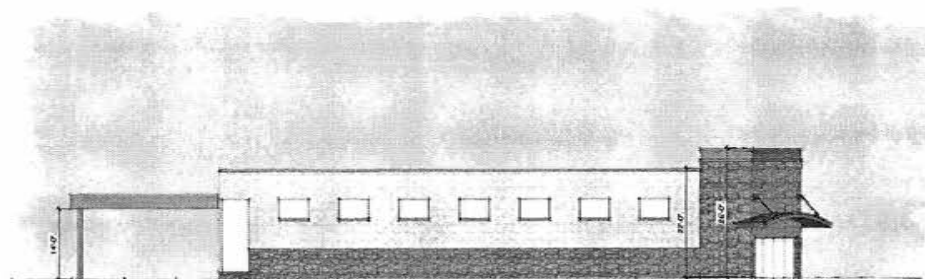
GRAPHICAL REPRESENTATION



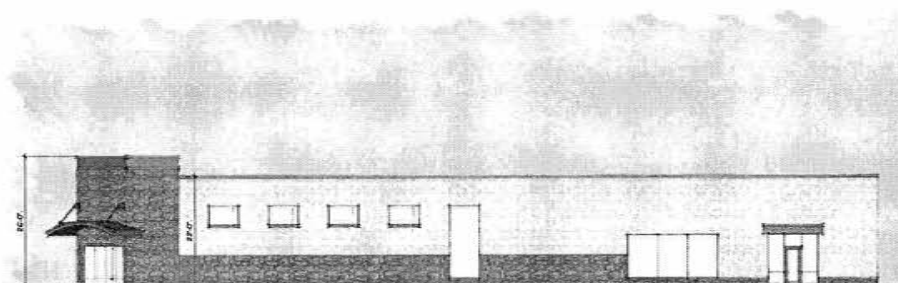
MASON = 15,820 SF



2 WEST ELEVATION
A 301
1/16" = 1'-0"



1 SOUTH ELEVATION
A 301
1/16" = 1'-0"



3 EAST ELEVATION
A 301
1/16" = 1'-0"

TowerPinkster
ARCHITECTS, PLLC (INCORPORATED)

Tower Pinkster/Thru Associates Inc.

3401 East Kalamazoo Avenue, Suite 200
Kalamazoo, Michigan 49007-0000
268.343.8120 • fax 268.343.8121 • cell

1 East Fulton Street, Suite 200
Grand Rapids, Michigan 49503
616.456.2644 • fax 616.456.2638 • cell

www.towerpinkster.com

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DATE

JANUARY 11, 2019

PROJECT TITLE

**GOODWILL OF
CENTRAL MI,
MASON**

**GOODWILL
INDUSTRIES of
CENTRAL
MICHIGAN'S
HEARTLAND,
INC.**

Mason, Michigan

ISSUED FOR

DATE

SHEET TITLE

**EXTERIOR
ELEVATIONS -
PRELIMINARY**

PRELIMINARY
NOT FOR CONSTRUCTION

SHEET NUMBER

A 301

15-225.10

DATE
JANUARY 11, 2019

PROJECT TITLE
**GOODWILL OF
CENTRAL MI,
MASON**

**GOODWILL
INDUSTRIES OF
CENTRAL
MICHIGAN'S
HEARTLAND**

City of Mason,
Michigan

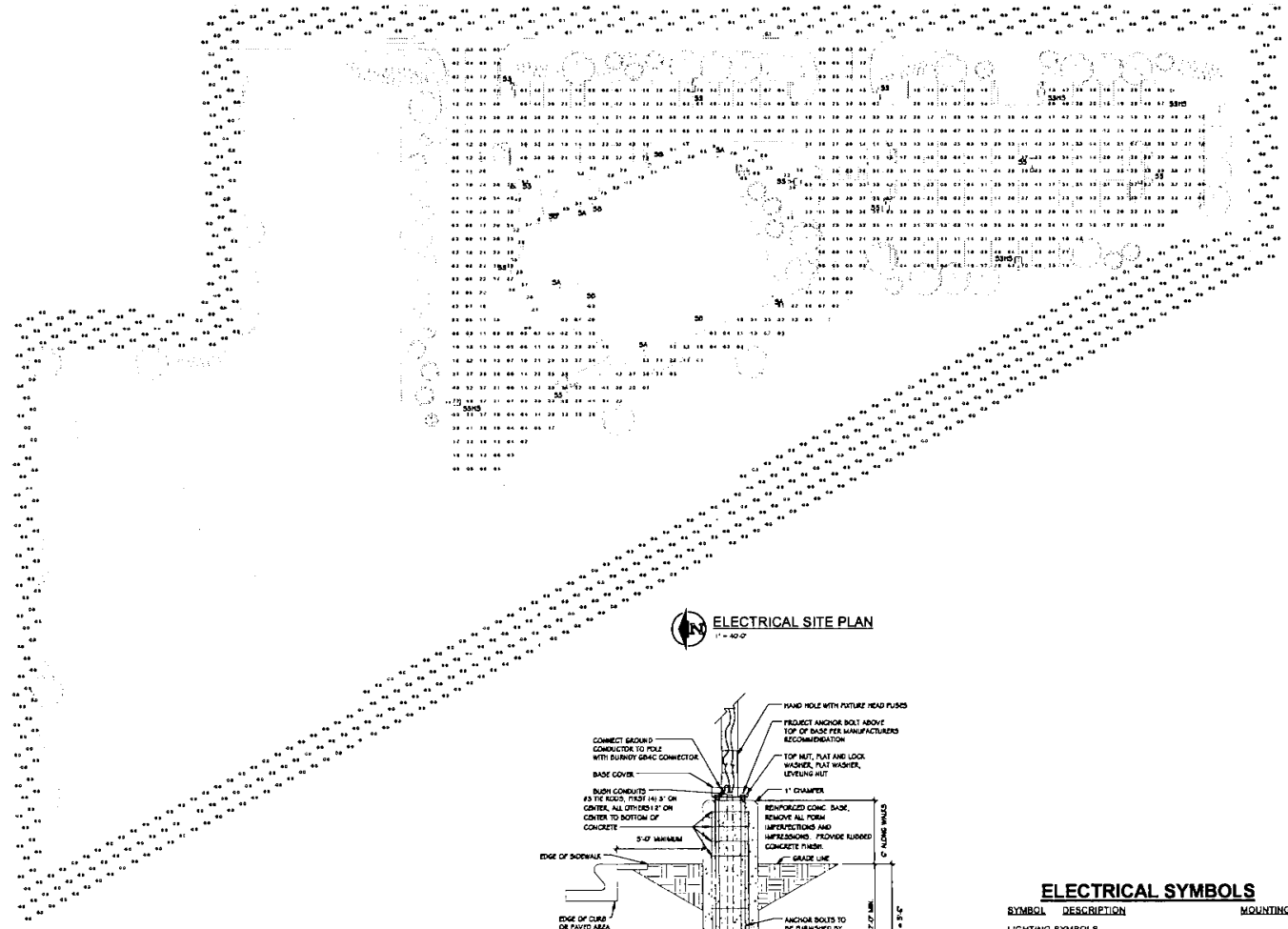
ISSUED FOR DATE

SHEET TITLE
**ELECTRICAL
SITE PLAN**

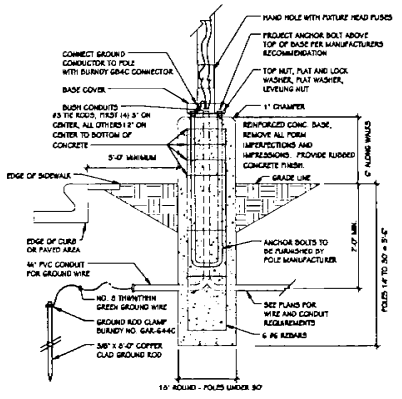
PRELIMINARY
NOT FOR CONSTRUCTION

SHEET NUMBER

ES 101
15-225.10



ELECTRICAL SITE PLAN
1" = 40'-0"



LIGHTING POLE BASE DETAIL
SCALE: NONE

LIGHTING STATISTICS					
Name	Average	Maximum	Minimum	Maximum / Minimum	Average / Minimum
PARKING	2.3 fc	8.1 fc	0.2 fc	63.1	13.6
SIDEWALK	4.0 fc	14.6 fc	0.5 fc	28.8	7.9
PROPERTY LINE	0.0 fc	0.4 fc	0.0 fc	9512.2	388.7

ELECTRICAL SYMBOLS

SYMBOL	DESCRIPTION	MOUNTING HEIGHTS
LIGHTING SYMBOLS		
<input checked="" type="checkbox"/>	EXTERIOR POLE LIGHT	

LIGHT FIXTURE SCHEDULE

TYPE	DESCRIPTION	MOUNTING	WATTS	MANUFACTURER
SS	LED AREA LIGHT	11' POLE	136 VA	LITHONIA: # DSX1-LED-40C-1000-40K-TSM
SSHD	LED AREA LIGHT	14' POLE	136 VA	LITHONIA: # DSX1-LED-40C-1000-40K-TSM-HD
SS	LED AREA LIGHT	15' POLE	136 VA	LITHONIA: # DSX1-LED-40C-1000-40K-TSM
SA	LED WALL PACK	SURFACE	74 VA	LITHONIA: # DSXV1-LED-80C-1000-40K-TSM
SD	LED WALL PACK	SURFACE	22 VA	LITHONIA: # DLWV1-LED-80W-40K

4

8 3 1 2 2 1 5
Tx:4192693
2/14/2017 10:10:00 AM

8 3 1 1 4 2 5
Tx:4192203
2/6/2017 10:12:00 AM

2017-005401
DERRICK QUINNEY
INGHAM COUNTY MICHIGAN
REGISTER OF DEEDS
RECORDED ON:
02/14/2017 11:29 AM
PAGES: 4

INGHAM COUNTY TREASURER'S CERTIFICATE
I HEREBY CERTIFY that there are no TAX LIENS or TITLES
held by the state or any individual against the within description, and
all TAXES on same are paid for five years previous to the date of this
instrument as appears by the records of this office except as stated.

2/7/17 Eric Schertz, Ingham County Treasurer
Sec. 135, Act 206, 1893 as amended

IAE

WARRANTY DEED

GRANTOR: **ALLEN S. FREDERICK FARM, LLC**, a Michigan limited liability company

WHOSE ADDRESS IS: 1813 Candlestick Lane, Midland, Michigan, 48642

CONVEYS AND WARRANTS
TO GRANTEE: **GOODWILL INDUSTRIES OF CENTRAL MICHIGAN'S
HEARTLAND, INC.**, a Michigan nonprofit corporation

WHOSE ADDRESS IS: 4820 Wayne Road, Battle Creek, Michigan, 49015

the real estate situated in the City of Mason, Ingham County, Michigan, more fully described on the attached **Exhibit A**, together with all improvements, tenements, easements, hereditaments and appurtenances associated with the real estate, and together with any and all gas, oil, and mineral rights and interest in and to such real estate, subject only to those matters listed on the attached **Exhibit B**.

THIS DEED IS GIVEN FOR VALUABLE CONSIDERATION OF: See Real Estate Transfer Tax Valuation Affidavit filed herewith.

The Grantor grants to the Grantee the right to make ALL available divisions under Section 108 of the Land Division Act, Act No. 288 of the Public Acts of 1967, as amended. The Grantor intends to convey the right to make all available divisions, bonus divisions and redivisions associated with the Property as the Grantor may have under the Land Division Act, Act No. 288 of the Public Acts of 1967, as amended.

This Property may be located within the vicinity of farm land or a farm operation. Generally accepted agricultural and management practices which may generate noise, dust, odors, and other associated conditions may be used and are protected by the Michigan Right to Farm Act.

[SIGNATURES & NOTARIAL ACKNOWLEDGEMENT ON FOLLOWING PAGE]

*e-Chicago Title
Portage*

Allen S. Fredrick Farm, LLC,
a Michigan limited liability company

By: Maryann Frederick
Name: Maryann Frederick
Its: Member

Dated: January 21, 2017
25

STATE OF MICHIGAN)
)ss.
MIDLAND COUNTY)

The foregoing instrument was acknowledged before me on JAN 25, 2017, by Maryann Frederick, member of Allen S. Frederick Farm, LLC, a Michigan limited liability company, on behalf of the limited liability company.

Prepared by & Return to After Recording:
Matthew B. Van Dyk
MILLER JOHNSON
100 West Michigan Avenue, Suite 200
Kalamazoo, MI 49007

LAWRENCE J. SNYDER
Printed: [Signature]
Notary Public, MIDLAND County, Michigan
My commission expires: Aug 11, 2023
Acting in MIDLAND County, Michigan

**DRAFTER HAS NOT EXAMINED AND MAKES NO REPRESENTATIONS RESPECTING
TITLE TO THE PROPERTY OR THE LAND DIVISION ACT**

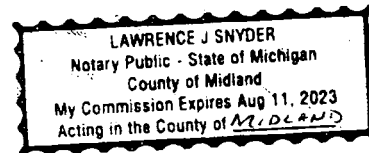


EXHIBIT A

Legal Description

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF MASON, INGHAM COUNTY, STATE OF MICHIGAN, AND IS DESCRIBED AS FOLLOWS:

ALL THAT PART OF THE SOUTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 17, T2N, R1W, CITY OF MASON, INGHAM COUNTY, MICHIGAN, LYING EAST OF HIGHWAY US-127 RIGHT-OF-WAY, EXCEPT THE SOUTH 430 FEET THEREOF AND ALSO EXCEPT THE NORTH 150 FEET OF THE EAST 240 FEET OF SAID SOUTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 17, T2N, R1W, CITY OF MASON, INGHAM COUNTY, MICHIGAN.

Parcel ID: 33-19-10-17-200-026

Street Address: 652 Hull Rd, Mason

EXHIBIT B

Permitted Encumbrances

1. Taxes and/or assessments which become a lien or become due and payable subsequent to the date hereof.

~~_____~~