



## **PLANNING COMMISSION**

TUESDAY, JULY 9, 2019

Sycamore Room - 1<sup>st</sup> Floor - 6:30 P.M.  
201 West Ash Street, Mason MI

### **AGENDA**

#### **1. CALL TO ORDER**

#### **2. ROLL CALL**

#### **3. PUBLIC COMMENT**

#### **4. APPROVAL OF MINUTES**

A. Approve Minutes of Regular Planning Commission Meeting June 11, 2019

#### **5. UNFINISHED BUSINESS**

#### **6. NEW BUSINESS**

- A. Resolution 2019-08: Jesse Howard of Service Master Inc. has requested joint preliminary and final site plan approval related to a change of use in an existing building and construction of an 11-space asphalt parking lot on property located at 213 N. East St.
- B. Resolution 2019-09: Pacifica companies is seeking approval of a final site plan amending a previously approved site plan to build a 5,460 addition that will accommodate up to four new retailers on property located at 125 E. Kipp Rd.

#### **7. LIAISON REPORT**

A. City Manager's Report

#### **8. ADJOURN**

**CITY OF MASON  
PLANNING COMMISSION MEETING  
MINUTES OF June 11, 2019  
DRAFT**

Sabbadin called the meeting to order at 6:30 p.m. in the Sycamore Room 1<sup>st</sup> floor at 201 West Ash Street, Mason MI.

Present: Droscha, Howe, Sabbadin, Shattuck, Vercher, Waxman, Wren  
Absent: Barna, Perrault  
Also present: Elizabeth A. Hude, AICP, Community Development Director

**AGENDA**

**PUBLIC COMMENT**

NONE.

**APPROVAL OF MINUTES**

MOTION by Waxman second by Howe, to approve the Planning Commission meeting minutes from May 14, 2019.

Yes (7) Droscha, Howe, Perrault, Sabbadin, Shattuck, Vercher, Waxman, Wren  
No (0)  
Absent (2) Barna, Perrault

**UNFINISHED BUSINESS**

None.

**NEW BUSINESS**

- A. Resolution 2019-07: Doberman Technologies, has requested joint preliminary and final site plan approval to demolish structures at 202 and 206 Mason Street, and 332 Center Street, and construct a 3,500 square foot commercial building along with a 24-space asphalt parking lot.

Doberman Technologies representative, Tammy Z. Foster from Ziemnick Foster Engineering, provided an updated site plan with a reduced building footprint based on staff's concerns about vision clearance. Staff provided a revised report and resolution for Doberman's new, 3,500 square foot proposal. In order to comply with vision clearance the building had to be reduced from 4,200 square feet to 3,500 square feet.

Shattuck asked where the third structure is located on the site plans, claims he can only see two structures. Hude clarified the site plan shows three structures, all of which are residential homes. These structures are not located in a historic district so there is no formal process for demoing those homes.

Foster explained which structures are being demolished and where the houses are located. The building concept will remain the same even with the reduced square footage of the new structure.

Motion by Waxman, second by Droscha to approve resolution 2019-07 as amended in the revised staff report dated June 7, 2019.

Yes (7) Droscha, Howe, Perrault, Sabbadin, Shattuck, Vercher, Waxman, Wren

No (0)

Absent (2) Barna, Perrault

#### **LIAISON REPORT**

Planning and zoning essentials training on June 18<sup>th</sup> will be held at Mason City Hall. Hude asked for confirmation of attendance. Waxman will not attend; Shattuck may attend a portion.

#### **ADJOURN**

The meeting adjourned at approximately 6:45 p.m.



**City of Mason  
Planning Commission  
Staff Report**

TO: Planning Commission  
FROM: Elizabeth A. Hude, AICP, Community Development Director  
SUBJECT: 213 N. East St. – Service Master  
DATE: June 28, 2019 revised July 3, 2019

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Jesse Howard of Service Master Inc. is requesting joint preliminary and final site plan approval related to a change of use of an existing structure and construction of an 11-space asphalt parking lot at 213 N. East Street. The existing building is to be renovated to accommodate Service Master's office functions including accounting, management functions, and storage. No modifications to the building's footprint are proposed. The proposal is presented on the following:

- Zoning Permit Application dated June 7, 2019
- Plan set, prepared by Landscape Architects & Planners, Inc., dated June 7, 2019 and revised July 3, 2019, sheets:
  - C1: Boundary and Topographic Survey, prepared by DC Engineering, dated March 14, 2019
  - C2: Site Layout – Asphalt Paving
  - C3: Grading Plan
  - C4: Landscape Plan
  - C5: Details
- Progress Drawings (Architectural) prepared by Roger L. Donaldson, AIA P.L.C. Architect, dated May 14, 2019 and revised June 24, 2019, sheets G0.1, A0.1, A1.1, A1.2

The applicant paid a fee of \$300, and together with the plans and documents listed above, the application appears to satisfy the submittal requirements of Sec. 94-226(c).

**CONSTRUCTION SCHEDULE**

Construction is proposed to be completed over a four-month period following permit approvals.

**LAND USE/ZONING/MASTER PLAN**

The subject property, located at 213 N. East Street (west side) between North Street and Center Street, is zoned C-1 Central Business District. The C-1 District authorizes "by right", subject to site plan approval, a range of uses including business offices. Service Master's proposed use of the existing building falls within the permitted "business offices" (Sec. 94-141(b)(1)). The Future Land Use Map of the Master Plan designates the lot as "Commercial."



The surrounding existing land use and zoning, and planned land use (Master Plan), are as follows:

	Current Land Uses	Current Zoning Districts	Planned Land Use
<b>North</b>	Commercial (specialty rentals)	C-1 Central Business District	Commercial
<b>East</b>	Cemetery	AG Single Family Agricultural	Public
<b>South</b>	Single family dwelling	R2F Two Family Residential District	Residential
<b>West</b>	Single family dwelling	C-1 Central Business District	Residential

The use and redevelopment of this property is generally consistent with the Master Plan's Future Land Use Strategy (Chapter Three) as described on page 3-2, most particularly the "Downtown Center" component that is most proximate to the subject property, including the support role that the proposed parking lot plays in providing local day-to-day commercial services.

#### **COMMENTS – DEPARTMENTS AND AGENCIES**

Staff circulated the application and plans to city staff and agencies with jurisdiction over the project on June 17, 2019. The following comments were received.

Building Inspector	<i>The applicant will be required to obtain a building permit prior to construction in accordance with the State Construction Code.</i>
Ingham County Drain Commission (ICDC)	<i>Pending – the applicant will be required to obtain necessary permits from the ICDC prior to construction of the parking lot.</i>
Fire Chief	<i>Pending</i>
Police Chief	<i>Pending</i>
City Engineer	<i>City Engineer agrees with DPW comments.</i>
DPW	<i>A new water main was installed on East Street in (2016/2017) and a stub was provided to both the empty lot and the building. The applicant should disconnect the existing water service along the west boundary from Center Street and reconnect to the new stub service on East Street. The current water service from Center Street has had a history of freezing in extremely cold conditions.</i>  <i>The current private sewer lead also along the westerly boundary of the property should be inspected and evaluated before it is paved over. There is a history of the sewer backing up on this property.</i>

**STAFF REVIEW**

**§94-227. Standards for site plan review and approval.** In reviewing an application for site plan review and approval the following standards shall apply. Staff's comments are specific to the proposed parking lot in recognition that the building is existing, no exterior modifications are proposed that would alter the building's footprint, and the proposed use is permitted in the C-1 District as previously noted.

STATUS/ NOTE	REQUIREMENT
M = Appears to meet requirement; D = Does not appear to meet requirement; I = Information Needed; R = Recommendation; W = Waiver Requested; <i>Italics = Staff comments</i>	
M	(1) The site shall be developed so that all elements shall be harmoniously and efficiently organized in relation to the size, shape, type and topography of the site and surrounding property.  <i>The parking lot configuration is logical, practical and provides for clear circulation entering and exiting the proposed lot, including a clear path for ingress and egress along N. East Street. The parking lot is set back 4.5' or more from shared residential lot lines and the existing dwelling to the west is to be screened from the parking lot by a 6'-high fence. The dwelling to the south, having been accustomed to having an open space area as a visual neighbor, is now to view the proposed 11-car parking lot. The proposed landscaping will soften the visual impact of the parking lot and encourage more "harmonious" development of the property in relation to surrounding property.</i>
M	(2) The site shall be developed so as not to impede the normal and orderly development, improvement, and use of surrounding property for uses permitted in this chapter.  <i>Parking lots are customary accessory uses for commercial-based land uses, which comprise nearly all of the uses permitted in the C-1 District. No parking lot lighting is proposed at this time and it is anticipated that traffic levels will not be excessive or that the use of the property would generate excessive noise or other nuisance conditions. It is reasonable to conclude that the cemetery to the east on the opposite side of N. East Street will not be materially affected by the proposed parking lot. Proposed screening along the west property line will minimize impacts on the adjacent residential lot and, as previously noted, screening along the south property line would benefit the residential properties to the south. Staff is aware of no unique aspect about the proposed 11-car parking lot that would undermine the normal and orderly development, improvement, and use of surrounding property including the potential conversion of existing dwellings in the C-1 District to commercial use.</i>
M	(3) All buildings or groups of buildings shall be arranged to permit emergency vehicle access by some practical means to all sites.  <i>The existing building will continue to have the same level of emergency vehicle access as it is currently afforded, including directly off of N. East St. and from the south side of the building, except that the parking lot may afford easier emergency access to the south side of the building and in the vicinity of the rear of the building.</i>
M	(4) Every structure or dwelling unit shall have direct access to a public street or indirect access to a public street via an approved dedicated private street.  <i>The proposed parking lot will not interfere with the direct access afforded to the existing building via N. East St. and the proposed parking lot will facilitate easier vehicular access.</i>
M	(5) Appropriate measures shall be taken to ensure that the addition or removal of surface waters will not adversely affect neighboring properties, that controls are in place to minimize sedimentation and erosion, and that topographic alterations are minimized to accommodate storm water management.
<i>See (6) below.</i>	

M	(6) Provisions shall be made for the construction of storm sewer facilities including grading, gutters, piping, on-site storage, and treatment of turf as required to handle storm water and prevent erosion.
<i>The site plan appears to meet this requirement as proposed on sheet C2.</i>	
M	(7) Secondary containment for above ground areas where hazardous substances are stored or used shall be provided as required by the city fire chief.
<i>No portions of the proposed parking lot are intended for use in association with hazardous substances. Gasoline and motor oil will for lawn equipment maintenance will be stored within the structure.</i>	
M	(8) Exterior lighting shall be designed and located so that the source of illumination is directed away from adjacent properties, the intensity of lighting is the minimum necessary, and the direction of lighting is downward as much as is possible and appropriate for the project.
<i>The site plan provides for no new exterior lighting in association with the parking lot.</i>	
M	(9) All loading and unloading areas, outside storage areas, and refuse receptacles shall be screened from casual view from the public rights-of-way and adjoining land uses.
<i>The site plan provides for no loading/unloading areas beyond the use of the proposed parking lot for such needs. The parking lot is to be screened from view from the north by the existing building and it is to be screened from the west by a proposed 6'-high fence. Fencing along the east property line is discouraged due to clear vision concerns along N. East St. and the adjacent use across the street being a cemetery.</i>	
See a-c below	(10) Site plans shall meet the driveway, traffic safety, and parking standards of the city in such manner as necessary to address the following:
M	a. Safe and efficient vehicular and non-vehicular circulation, including parking areas, non-motorized linkages to abutting parcels, uses, sidewalks, and trails.
<i>The proposed parking lot is configured in a clear and logical manner and 6 of the 11 proposed spaces are to allow the driver/pedestrian to access the building without the need to cross the parking aisle. There is an existing sidewalk along N. East St. and the segment of the sidewalk that is to be disturbed during construction of the parking lot and building renovations is to be replaced. See also comments in (12) below regarding Sec. 94 Art. X – Parking and Loading Areas.</i>	
M	b. Shared driveways and service drives.
<i>The site is to have one access point, being the proposed parking lot. The site plan does not provide for the shared use of driveways or service drives nor are such features practical given surrounding adjacent uses and existing development patterns.</i>	
M	c. Adequate and properly located utilities.
<i>The parking lot does not require utilities for proper functioning. The water service and private sewer lead will need to be improved as necessary to address comments from the DPW. The water service should be relocated to connect at East Street, and the private sewer lead should be evaluated and improved as necessary.</i>	
M	(11) Provisions shall be made for proposed common areas and public features to be reasonably maintained.
<i>The site plan provides for no common areas and public features that require maintenance.</i>	
See below	(12) The site plan submittal shall demonstrate compliance with all applicable requirements of this chapter, chapters 58 and 74, the building code, and county, state, and federal law.
See Below	Chapter 94 – Zoning and Chapter 100 – Dimensional Requirements
<i>The site plan complies with the site development standards of Chapter 94 including and Tables of Chapter 100 that are referenced in Chapter 94, based on the information presented on the site plan, except as noted or otherwise clarified below.</i>	
M	Sec. 94-172(d)(3)(a) Vision Clearance Across Corner Lot
<i>The site plan appears to meet the requirements.</i>	
M	Sec. 94-176(d)(4) Access for Corner Lot

<i>In the case of a corner lot, Sec. 94-176(d)(4)(a) requires access to the lot be from the street presenting the least hazard. Staff finds that access off of N. East Street, as proposed, will present the least hazard and minimize increased traffic along Center Street which is more residential in character.</i>	
M	Sec. 94-292(g)(1) Number of Required Parking Spaces
<i>The site plan provides for 11 parking spaces though the Ordinance requires 18 spaces based on usable floor area calculations for “general office” and “general service.” However, Sec. 94-292(h)(1) exempts lots in the C-1 District from having to comply with the Ordinance’s off-street parking space requirements if the required number of spaces is 20 or less. In accordance with Sec. 94-292(j)(6)f, the site plan proposes a buffer of 4.5’ and a six-foot fence on the west side of the parking adjacent to the residential property.</i>	
M	Sec. 94-292(j)(1)
<i>Parking in the required front yard is prohibited in the C-1 district. Under Sec. 1-2 Definitions, Front Yard “On a corner lot, the front yard shall be the yard fronting on a street with the largest setback.” This lot is a corner lot. Given that the proposed parking is on the same lot as the principle structure, whose address and frontage is taken from East Street, staff considers the location of the parking to be in a side yard, and that with the proposed landscaping, the site plan will meet this requirement.</i>	
M	Sec. 94-293(c) Loading and Unloading Space
<i>Sec. 94-293(c) states that there shall be no requirement of loading or unloading space in the C-1 district for property with direct access to an alley. The property does not have access to an alley and therefore is required to provide a loading and unloading space. The site plan provides for two garages that may be available for loading and unloading with paved access directly from East Street. It is staff’s understanding that the proposed parking lot is principally for Service Master employees and as such, staff finds that the extra-wide parking aisle (25’) can also reasonably accommodate loading/unloading needs without unreasonable impacts on the principal purpose of the parking lot.</i>	
M	Sec. 94-241 Landscape, screening and buffer requirements
<i>The site plan appears to meet the requirements.</i>	
M	Chapter 58 - Signs
<i>The application does not address signage at this time.</i>	
NA	Chapter 74 Subdivisions
<i>Chapter 74 does not apply to this application.</i>	
I	Building Code
<i>A formal building permit application review will take place if the site plan is approved.</i>	
I	County, State, and Federal Law
<i>See Agency Comments. The applicant is responsible for seeking and complying with additional permit requirements.</i>	

## **ACTION**

### **§94-226. Final site plan review and approval.**

The planning commission shall have the authority to approve, approve with conditions, or deny an application for final site plan review and approval. *The Planning Commission may also choose to amend the proposed resolution, or continue the review to a future time and date certain to allow for plans to be revised and/or for the applicant to provide additional information.*

### **§94-229. Extension of site plan approval.**

Approvals of a final site plan are valid for a period of 12 months. Only one extension of a final site plan may be granted for an additional 12 months at the sole discretion of the approving authority. A final site plan is deemed to have expired if a building permit has not been obtained for the development within 12

months of approval of the final site plan. A request to extend preliminary or final site plan validity shall be submitted prior to the expiration of the preliminary or final site plan.

**§94-230. Conformance to approved site plan.**

A development project shall conform to the approved final site plan. Failure to conform to the approved final site plan shall constitute a violation of this chapter.

***However, amendments to an approved site plan can be made subject to the provisions of §94-228 Amendments to an approved site plan.***

**§94-231. Review standards for planning commission decision.**

(a) A decision rejecting, approving, or conditionally approving a site plan shall be based upon requirements and standards contained in the zoning ordinance, other statutorily authorized and properly adopted local unit of government planning documents, other applicable ordinances, and state and federal statutes.

(b) A site plan shall be approved if it contains the information required by the zoning ordinance and is in compliance with the conditions imposed under the zoning ordinance, other statutorily authorized and properly adopted local unit of government planning documents, other applicable ordinances, and state and federal statutes.

***The applicant has submitted a Final Site Plan that, with the conditions listed, appears to contain the information required by the zoning ordinance, and will meet the standards for joint Preliminary and Final Site Plan approval.***

Therefore, the following motion is offered for consideration:

**MOTION**

Motion to approve Resolution 2019-08.

**Attachments:**

1. Resolution 2019-08
2. Permit application
3. Site plan set dated June 7, 2019 revised July 2, 2019
4. Architectural Progress Drawings dated May 14, 2019 revised June 24, 2019

**CITY OF MASON  
PLANNING COMMISSION  
RESOLUTION No. 2019-08**

**A RESOLUTION GRANTING PRELIMINARY AND FINAL SITE PLAN APPROVAL FOR A CHANGE IN USE OF THE EXISTING BUILDING AT 213 N. EAST STREET AND THE ESTABLISHMENT OF AN 11-SPACE ASPHALT PARKING LOT ON THE SAME PROPERTY.**

**July 9, 2019**

**WHEREAS**, a request has been received from Jesce Howard of Service Master Inc., for Preliminary and Final Site Plan Approval to change the use of an existing building at 213 N. East Street, and to construct an 11-space asphalt parking lot; and

**WHEREAS**, the proposal is presented on a Plan Set dated June 7, 2019 and revised July 2, 2019, and Architectural Progress Drawings dated May 14, 2019 and revised June 24, 2019; and

**WHEREAS**, the parcel is zoned C-1, Local Commercial District; and

**WHEREAS**, Section 94-222 requires site plan review for any use in the C-1 District; and

**WHEREAS**, the Planning Commission accepts the staff report dated June 28, 2019 as findings of fact that with the conditions listed herein, the plans will comply with the site plan review standards listed in Section 94-227 of the Mason Code,

**NOW THEREFORE BE IT RESOLVED**, that the City of Mason Planning Commission does hereby grant Preliminary and Final Site Plan approval for the change of use of an existing structure and construction of an 11-space asphalt parking lot, with the following condition:

1. The water service and private sewer lead will be improved as necessary to address comments from the DPW. The water service will be relocated to connect at East Street, and the private sewer lead will be evaluated and improved as necessary.

Yes ( )

No ( )

Absent ( )

Vacant ( )

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Sarah J. Jarvis, Clerk  
City of Mason  
Ingham County, Michigan



# PERMIT APPLICATION

## ZONING

### Applicant- Please check one of the following:

<input type="checkbox"/>	Preliminary Site Plan Review
<input checked="" type="checkbox"/>	Final Site Plan Review
<input checked="" type="checkbox"/>	Special Use Permit*
<input type="checkbox"/>	Administrative Review

\* includes Preliminary Site Plan Review

### DEPARTMENT USE ONLY

Application Received: \_\_\_\_\_  
Tax ID: \_\_\_\_\_  
Fee: \_\_\_\_\_  
Receipt #: \_\_\_\_\_

### Applicant Information:

Name: JESCE HOWARD  
Organization: SERVICE MASTER INC.  
Address: 213 N. EAST STREET, MASON, MI.  
Telephone Number: 517-819-1921 Facsimile Number: \_\_\_\_\_  
Interest in Property (owner, tenant, option, etc.): OWNER (LAND CONTRACT)

Note: If applicant is anyone other than owner, request must be accompanied by a signed letter of authorization from the owner.

### Property Information:

Owner: SAME AS ABOVE Telephone Number: \_\_\_\_\_  
Property Address: 213 N. EAST STREET, MASON, MI.  
Legal Description: If in a subdivision: Subdivision Name: \_\_\_\_\_ Lot Number: 1 BLK 2  
If Metes and Bounds (can be provided on separate sheet): SMITH & PEASE ADDITION  
TO THE CITY OF MASON, SECTION 5, T2N, R1W  
CITY OF MASON, INGHAM COUNTY, MICHIGAN  
TAX I.D. 33-19-10-05-478-017

### APPLICANT CERTIFICATION

By execution of this application, the person signing represents that the information provided and the accompanying documentation is, to the best of his/her knowledge, true and accurate. In addition, the person signing represents that he or she is authorized and does hereby grant a right of entry to City officials for the purpose of inspecting the premises and uses thereon to verify compliance with the terms and conditions of any Special Use Permit and/or Site Plan approval issued as a result of this application.

Signature: Jesce Howard Date: 6-7-19



**Requested Description:**

**Written Description:** Please use this section to describe the use or uses proposed. Attach additional pages, if necessary.

SERVICE MASTER IS A RESTORATION COMPANY THAT CLEANS, RECONSTRUCTS AND REHABILITATES DAMAGED PROPERTIES. IT WORKS PRIMARILY FOR INSURANCE COMPANIES (CLAIMS)

**Available Services**

Public Water ☒ Yes ☐ No

Paved Road (Asphalt or Concrete) ☒ Yes ☐ No

Public Sanitary Sewer ☒ Yes ☐ No

Public Storm Sewer ☒ Yes ☐ No

**Estimate the Following**

Traffic Generated 8-10 TRIPS/DAY

Total Employees 11

Population Increase N.A.

Employees in Peak Shift 11

House of Operation 8 AM to 5 PM  
M Day through F day

Total Bldg. Area ~~Proposed~~ 3,430 S.F.  
EXISTING  
Parking Spaces ~~Provided~~ 11  
proposed

**Project Phasing**

This project will be completed in: ☒ One Phase ☐ Multiple Phases – Total No. of Phases: 1

**Note:** The phases of construction for multi-phase projects must be shown on the site plan

**Application Materials**

The following are checklists of items that generally must be submitted with applications for Preliminary Site Plan Review, Final Site Plan Review, and Special Use Permits. Applicants should review Articles VI and VII of Chapter 94 of the Mason Code for a complete listing of application requirements. All site plan drawings must comply with the requirements of Section 94-226(d) of the Zoning Ordinance. Incomplete applications will not be processed.

- ☒ Completed application form
- ☐ 2 copies of full scale site plan drawings
- ☒ Plans submitted on CD or PDF (email is acceptable)
- ☒ Legal description
- ☐ Proof of ownership/owner authorization
- ☒ Construction schedule for proposed project
- ☒ Construction calculations for utilities
- ☐ Fee (see below)
- ☐ Any other information deemed necessary

4 MONTH SCHEDULE (CONSTRUCTION)

**Application Fee**

All requests must be accompanied by a fee, as established by the City Council. The fee schedule for Preliminary Site Plan Reviews, Final Site Plan Reviews, and Special Use Permits is as follows (As of October 16, 2006):

Administrative Reviews	\$70.00
Preliminary Site Plan Reviews	\$200.00
Final Site Plan Review	\$100.00
Special Use Permits (includes preliminary site plan review)	\$275.00



Engineering Review

\$220.00\*

\*Two—hour minimum fee for projects increasing demand on public utilities. Actual fees incurred are billed to applicant upon completion of review.

### **Application Deadlines**

#### **Preliminary Site Plan/Special Use Permit Review**

Applications for Preliminary Site Plan Review may be submitted at any time. Complete applications must be received a minimum four (4) weeks prior to a Planning Commission meeting to be placed on the agenda. Upon receipt of a complete application, a public hearing will be scheduled for the next regularly scheduled meeting (for Special Use Permits only). The Planning Commission has the final authority to approve, approve with conditions or deny an application for Preliminary Site Plan/Special Use Permit Review. The Planning Department staff will issue a letter to the applicant advising of any changes or revisions that may be necessary prior to making application for Final Site Plan Review.

#### **Final Site Plan Review**

Complete applications must be received a minimum of four (4) weeks prior to a Planning Commission meeting to be placed on an agenda. The Planning Commission has the final authority to approve, approve with conditions or deny an application for Final Site Plan Review. Planning Commission meetings are held on the second Tuesday after the first Monday of every month, unless the Tuesday is a Township recognized holiday, in which case the meeting is held on the following day (Wednesday).

### **Staff Report**

The Planning Department Staff will prepare a report to the Planning Commission regarding an application for Preliminary Site Plan Review, Final Site Plan Review or Special Use Permit. The report will explain the request and review whether it complies with the zoning standards of the Mason Code. Staff will present the findings of that report during the Planning Commission meeting. An applicant who wishes to obtain one (1) copy of that report, at no cost, prior to the meeting must provide a written request to the Planning Department. The report is generally complete on the Friday before the meeting and can be mailed to the applicant or picked up by the applicant in the Planning Department.

**Resources:** More questions? Please contact our Customer Service Desk at 517.676.9155.

Revised 7.2.2018 (Community Development)

## **213 N. East Street**

### **Site Plan Approval**

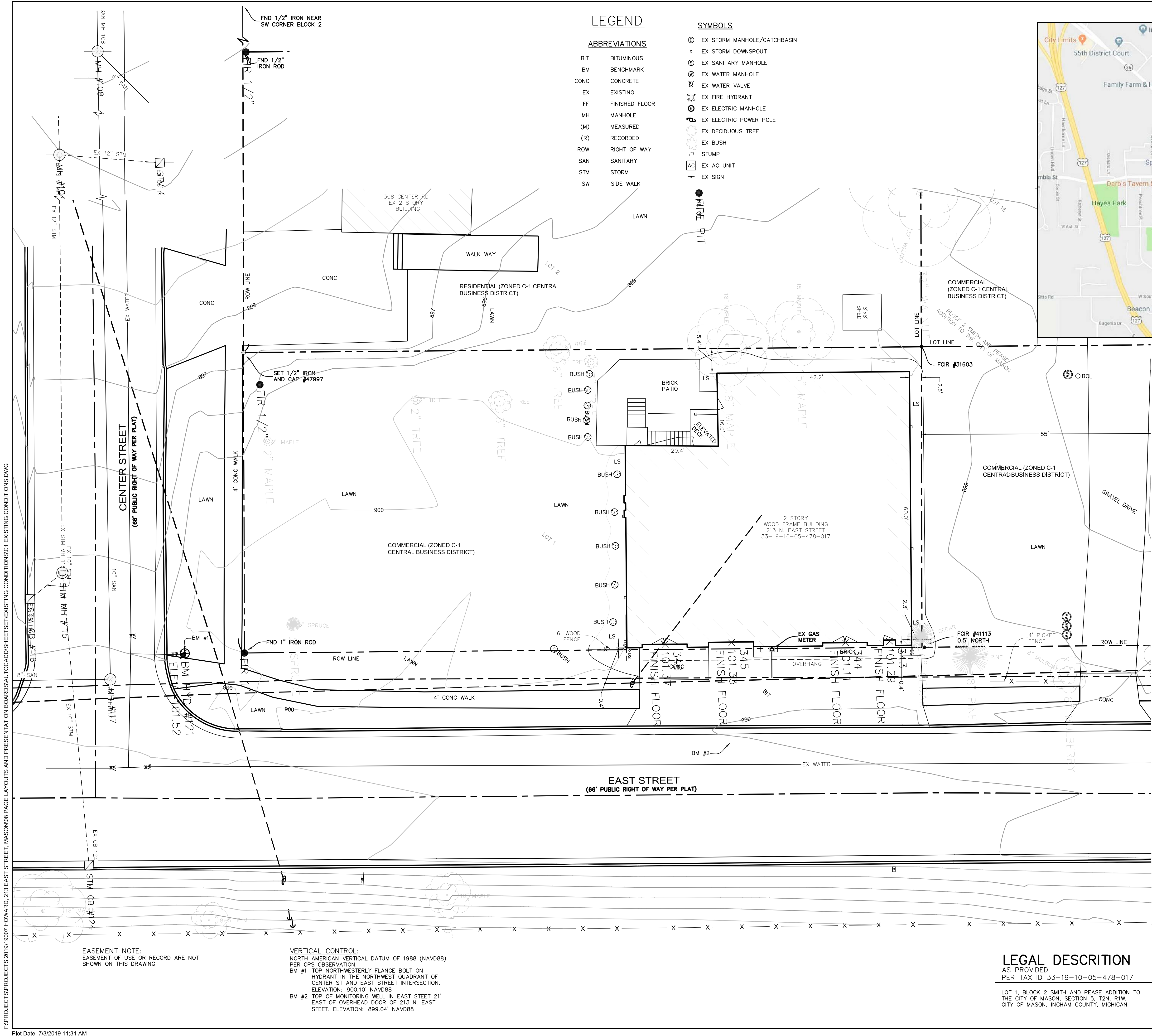
#### Response to City Comments

##### Section 94-241

- a) Planting arrangement and species have been adjusted so that plantings do not interfere with clear vision zones. Clear vision triangles have been shown on sheet C4 - Landscape Plan.
- b) Planting details and a plant schedule identifying size of plants at planting as well as mature size have been included on sheet C4.
- c) Landscape Architect's seal has been added to sheet C4.
- d) Construction details for the dumpster enclosure and privacy fence have been added to Sheet C5.
- e) two shade trees have been included on the southside of the parking lot.
- f) West privacy fence will be constructed with finished side facing toward the adjacent residential property.
- g) Only the asphalt paving option is shown on the drawings.
- h) Construction dimensioning has been added to the drawing set.
- i) The only hazardous equipment being stored on site is gasoline and motor oil for maintenance equipment.



F:\PROJECTS\PROJECTS 2019\9007 HOWARD, 213 EAST STREET, MASON\08 PAGE LAYOUTS AND PRESENTATION\BOARDS\AUTOCAD\DWG\SET\EXISTING CONDITIONS\01 EXISTING CONDITIONS.DWG



**Landscape Architects & Planners, Inc.**  
OAKLAND CENTER  
809 CENTER STREET  
SUITE ONE  
LANSING, MI 48906  
P: (517) 485-5500  
F: (517) 485-5576  
info@lapinc.net

**REVISIONS**

INITIALS	DATE	COMMENTS
NEW	7/3/2019	CITY COMMENT REVISIONS

**TAMARA HOWARD**  
213 N EAST STREET  
MASON, MI 48854  
P: (517) 749-4846 F: -

**EXISTING CONDITIONS**

**SHEET C1**



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Plot Date: 7/3/2019 12:20 PM

### SITE PLAN LEGEND

- ASPHALT PAVING
- 6" CONCRETE
- CURB AND GUTTER

### UTILITY NOTES:

DISCONNECT THE EXISTING WATER SERVICE ALONG THE WEST BOUNDARY FROM CENTER STREET AND RECONNECT TO THE NEW STUB SERVICE ON EAST STREET.

THE CURRENT PRIVATE SEWER LEAD ALONG THE WESTERLY BOUNDARY OF THE PROPERTY SHALL BE INSPECTED AND EVALUATED BEFORE IT IS PAVED OVER.

### SITE PLAN NOTES:

- ALL MEASUREMENTS ARE SHOWN IN ENGLISH DIMENSIONS.
- CONTRACTOR TO PROVIDE ALL TRAFFIC CONTROL REQUIRED TO COMPLETE THIS PROJECT. TRAFFIC CONTROL SHALL MEET CURRENT MMUTCD AND ROAD COMMISSION STANDARDS.
- CONTRACTOR IS RESPONSIBLE FOR ALL STAKING AND LAYOUT FOR THIS PROJECT. THIS INCLUDES ESTABLISHMENT OF A BENCHMARK AS REQUIRED FOR CONSTRUCTION
- ALL QUANTITIES ARE APPROXIMATE AND SHOULD BE VERIFIED IN THE FIELD PRIOR TO BIDDING
- ALL EXISTING UTILITIES TO REMAIN AND BE PROTECTED DURING CONSTRUCTION UNLESS CALLED OUT TO BE REMOVED.
- CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES, PIPES AND STRUCTURES, AS WELL AS THE LOCATION OF EXISTING TREES AND VEGETATION. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY COST INCURRED DUE TO DAMAGE/REMOVAL OF SAID ELEMENTS.
- ANY DISCREPANCIES BETWEEN PLANS, NOTES, WRITTEN SPECIFICATIONS, DETAILS AND EXISTING CONDITIONS SHALL BE IMMEDIATELY REPORTED TO THE OWNER'S AUTHORIZED REPRESENTATIVE FOR REVIEW AND DECISION. CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL REVISIONS DUE TO FAILURE TO GIVE SUCH NOTIFICATION.
- CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO EXISTING STRUCTURES, MATERIALS/IMPROVEMENTS, UTILITIES DAMAGED DURING CONSTRUCTION.



OAKLAND CENTER  
809 CENTER STREET  
SUITE ONE  
LANSING, MI 48906  
P: (517) 485-5500  
F: (517) 485-5576  
info@lapinc.net

### REVISIONS

INITIALS	DATE	COMMENTS
NEW	7/3/2019	CITY COMMENT REVISIONS

TAMARA HOWARD

213 N EAST STREET  
MASON, MI 48854  
P: (517) 749-4846 F: -

213 N EAST STREET

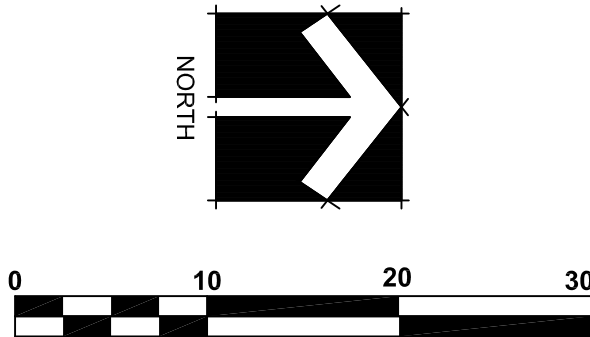
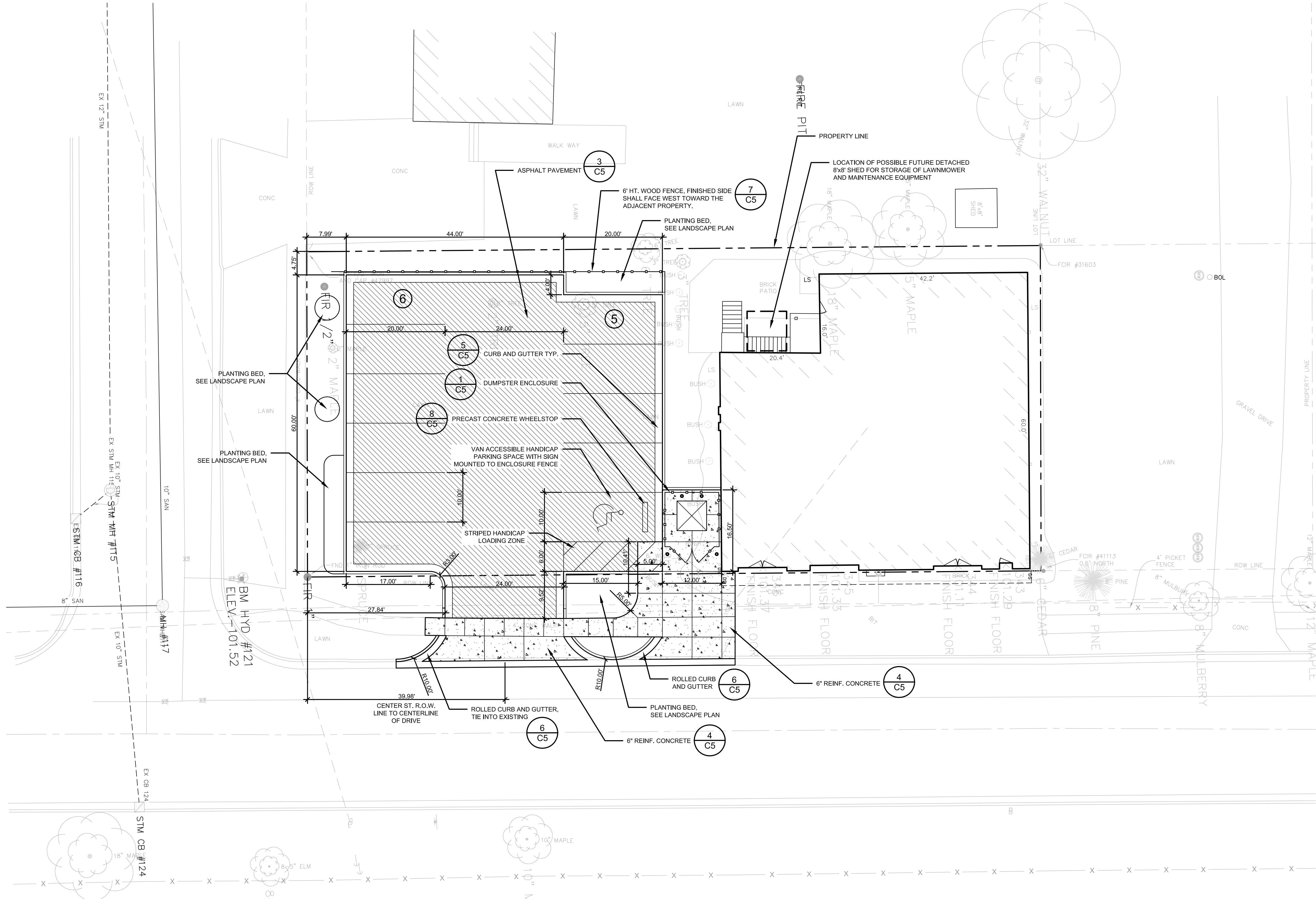
SITE LAYOUT - ASPHALT PAVING

213 N EAST STREET, MASON, MI 48854

DATE: 6/7/2019	DESIGNED BY: NRW
CHECKED BY: REF	DRAWN BY: NRW
PROJECT NO: 19007	SCALE: N/A
HORIZ: N/A	VERT: N/A

SHEET  
C2

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Know what's below.  
Call before you dig.



GRADING PLAN LEGEND:

CONTOUR  
SPOT ELEVATION:

HP = HIGH POINT  
RIM = RIM ELEVATION  
ME = MATCH EXISTING ELEVATION  
TC = TOP OF CURB  
GP = GUTTER PAN  
TW = TOP OF WALL  
BW = BOTTOM OF WALL

BC = BOTTOM OF CURB  
RCP = RIGID CONCRETE PIPE  
TBD = TO BE DETERMINED  
CB = CATCH BASIN  
MH = MANHOLE  
TP = TOP OF PAVEMENT

GRADING NOTES

1. ALL PATHWAY CROSS SLOPES SHALL BE BETWEEN 1% AND 2%. RUNNING SLOPE SHALL BETWEEN 1% AND 4.9%. CONTRACTOR SHALL ASSUME RESPONSIBILITY FOR ENSURING SIDEWALK SLOPES ARE WITHIN TOLERABLE LIMITS AND THAT ALL SIDEWALK AND RAMP SLOPES ARE IN COMPLIANCE WITH THE REGULATIONS AS SET FORTH IN THE AMERICANS WITH DISABILITIES ACT.
2. THE 100-YEAR FLOODPLAIN ELEVATION IS XXX

STORMWATER RUNOFF CALCULATIONS

TOTAL SITE = 9,775 SF (0.22 ACRES)  
USDA SOIL DESIGNATION Bsd - BOYER SPINKS LOAMY SANDS, SOIL GROUP A  
2-YEAR 24-HOUR RAINFALL = 2.42 INCHES

PRE-DEVELOPMENT

LAND-USE	ACRES	RCN	PRODUCT
PAVED PARKING, ROOFS	.09	98	8.82
OPEN SPACES (GOOD CONDITION)	.13	39	5.07
	.22	63	13.89

AVERAGE RCN = 63  
RUNOFF DEPTH = .22 INCHES = .02 FEET  
**TOTAL RUNOFF = 196 CF**  
(9,775 SF x .02' = 196 CF)  
**PEAK DISCHARGE = 6.53 CFS**  
(1.46 CFS/ACRE/INCH x .22 ACRES x .22 INCHES = .07 CFS)

POST-DEVELOPMENT

LAND-USE	ACRES	RCN	PRODUCT
PAVED PARKING, ROOFS	.18	98	17.64
OPEN SPACES (GOOD CONDITION)	.04	39	1.56
	.22	87	19.20

AVERAGE RCN = 87  
RUNOFF DEPTH = 1.24 INCHES = .10 FEET  
**TOTAL RUNOFF = 978 CF**  
(9,775 SF x .10' = 977.5 CF)  
**PEAK DISCHARGE = 11.44 CFS**  
(1.46 CFS/ACRE/INCH x .22 ACRES x 1.24 INCHES = .40 CFS)

**NET ADDITIONAL RUNOFF = 782 CF**

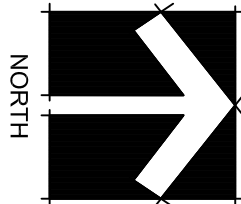
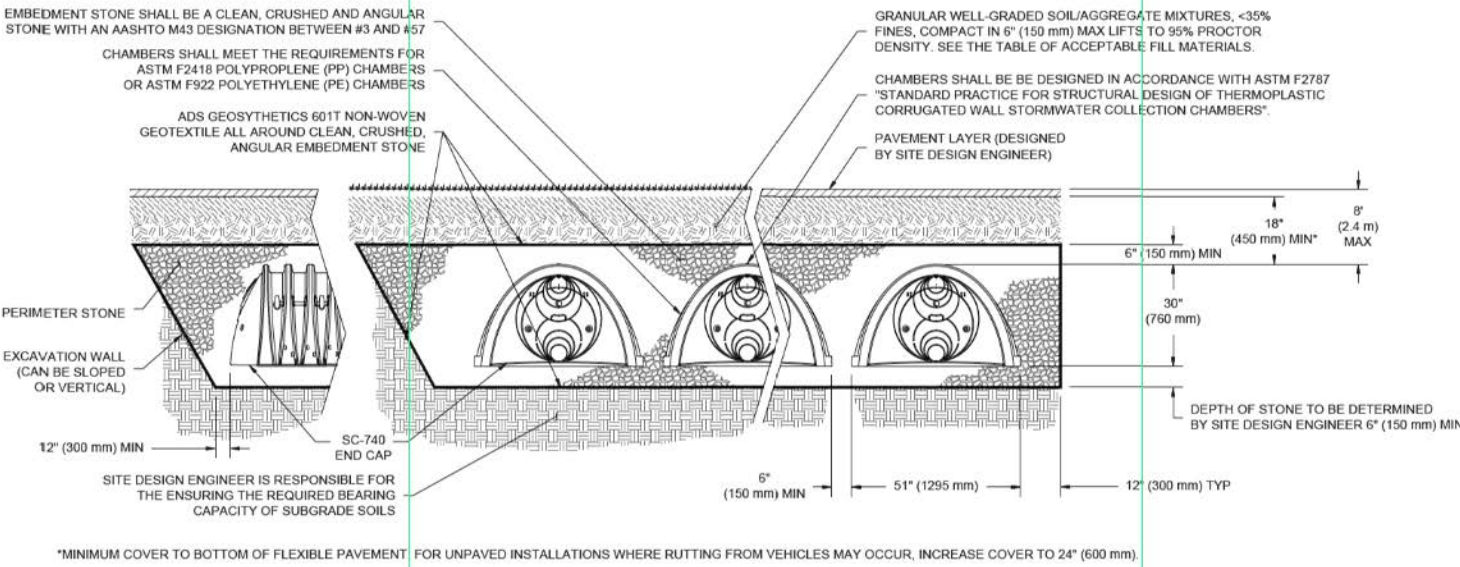
THE ADDITIONAL RUNOFF WILL BE HANDLED IN AN UNDERGROUND VAULT SYSTEM AND WILL BE DISCHARGED THROUGH AN OUTFLOW CONTROL DEVICE INTO MH #115.

System Volume and Bed Size

Installed Storage Volume:	926.66 cubic ft.
Storage Volume Per Chamber:	45.90 cubic ft.
Number Of Chambers Required:	8
Number Of End Caps Required:	4
Chamber Rows:	2
Maximum Length:	36.11 ft.
Maximum Width:	13.97 ft.
Approx. Bed Size Required:	504.53 square ft.

System Components

Amount Of Stone Required:	51.80 cubic yards
Volume Of Excavation (Not including Fill):	65.40 cubic yards



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SUITE ONE  
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P: (517) 485-5500  
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REVISIONS	DATE	COMMENTS
INITIALS		
NEW	7/9/2019	CITY COMMENT REVISIONS

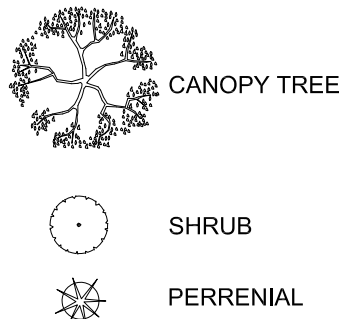
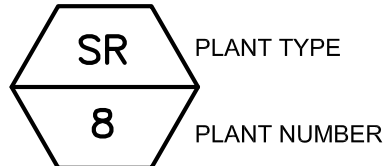
**TAMARA HOWARD**  
213 N EAST STREET  
MASON, MI 48854  
P: (617) 749-4846 F: -

**GRADING PLAN**  
213 N EAST STREET  
DATE: 6/7/2019  
DESIGNED BY: NRW  
CHECKED BY: REF  
DRAWN BY: NRW  
PROJECT NO: 19007  
SCALE: N/A  
HORIZ: N/A  
VERT: N/A

**SHEET C3**  
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LANDSCAPE PLAN LEGEND



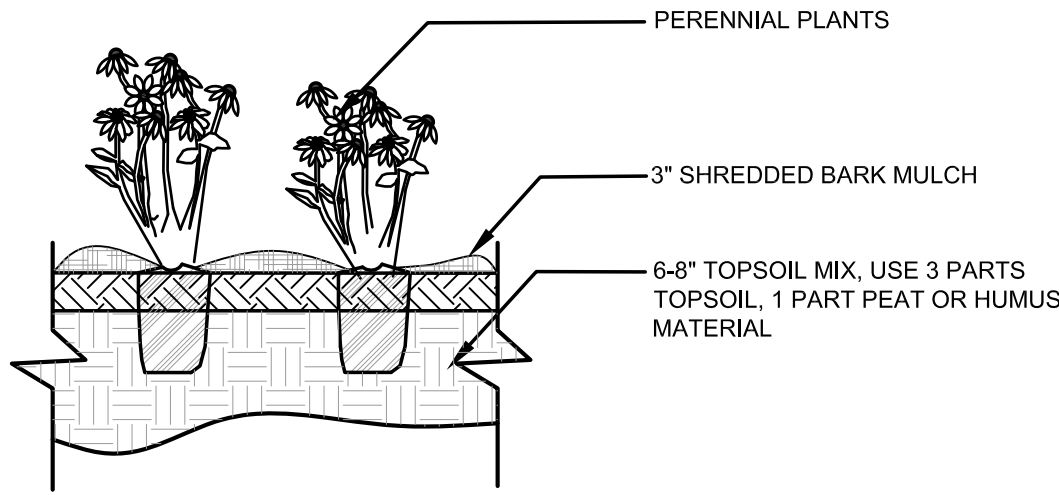
PLANT SCHEDULE						
ID	Count	COMMON NAME	LATIN NAME	PLANT DESC	SIZE	MATURE SIZE
AS	2	SUGAR MAPLE	ACER SACHARUM		1.5" MIN CAL.	60' H. - 40' W.
HA	17	ADORABLE TIGER DAYLILY	HEMEROCALLIS 'ADORABLE TIGER'	ORANGE FLOWERS WITH RED CENTERS	NO. 1 CONT.	2' H. - 2' W.
JC	5	GOLD LACE JUMPER	JUNIPERUS CHINENSIS 'GOLD LACE'		NO. 3 CONT.	4' H. - 4' W.
JS	8	BLUE STAR JUNIPER	JUNIPERUS SQUAMATA 'BLUE STAR'		NO. 3 CONT.	2' H. - 3' W.

ORDINANCE REQUIREMENTS

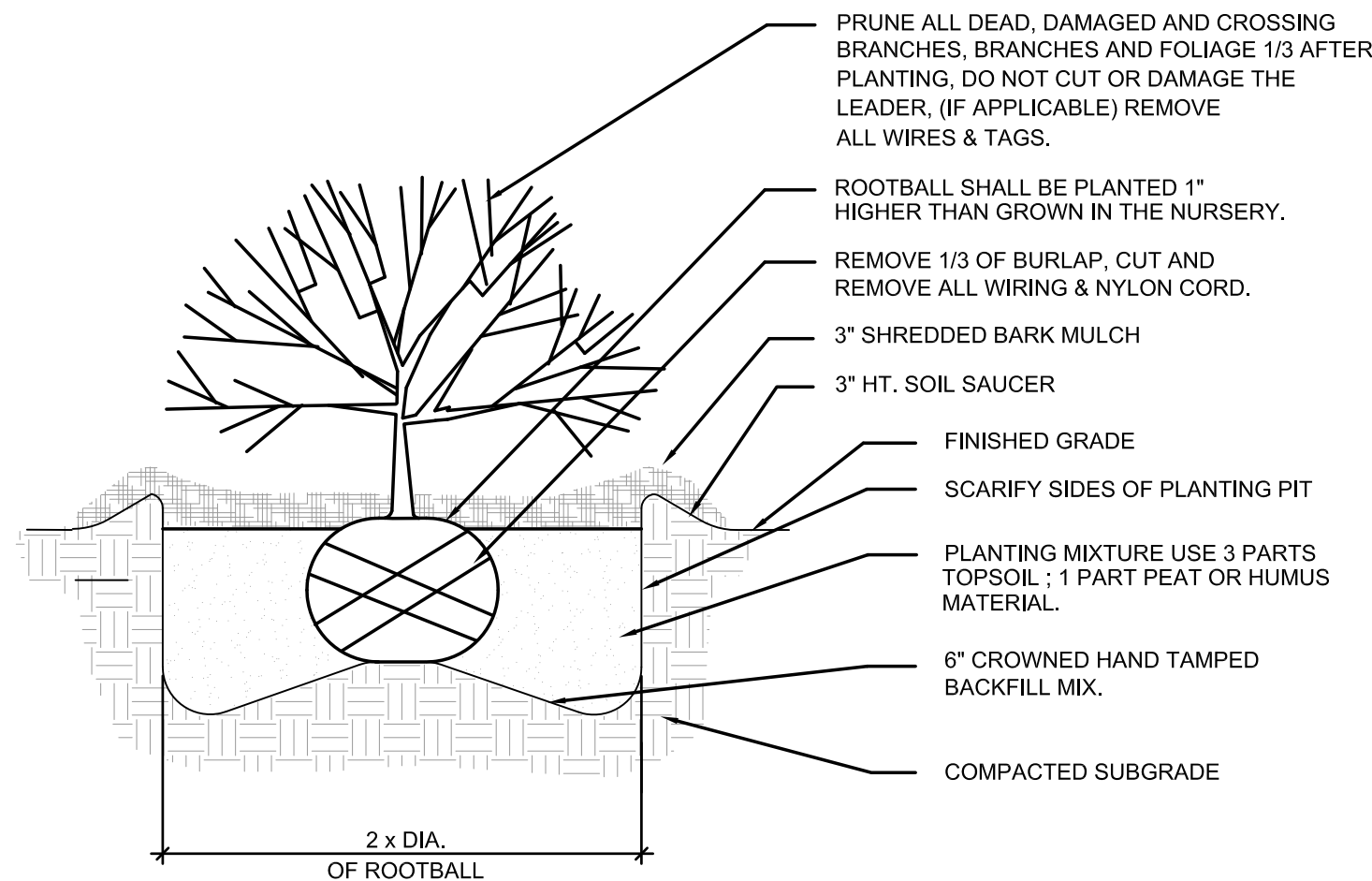
1. REQUIREMENT: PARKING LOT LANDSCAPING, SIX THROUGH 50 SPACES: ONE CANOPY TREE AND 50 SQ. FT. OF LANDSCAPED AREA PER SIX SPACES.  
  
PROPOSED LOT = 11 SPACES.  
REQUIRED = 2 CANOPY TREES AND 100 SF LANDSCAPE AREA.  
PROPOSED = 2 CANOPY TREES AND 226 SF OF LANDSCAPE AREA.
2. REQUIREMENT: AT LEAST TEN PERCENT OF THE SITE AREA SHALL BE LANDSCAPED WITH GRASSES AND OTHER LIVE GROUNDCOVERS, PLANTING BEDS, AND TREES, OR COMBINATIONS THEREOF, AND THE SITE SHALL INCLUDE A MINIMUM OF ONE TREE PER 10,000 SQUARE FEET OF DISTURBED LAND, OR FRACTION THEREOF.  
  
SITE = .22 ACRES.  
PROPOSED LANDSCAPE AREA = .04 ACRES = 18% OF SITE  
2 CANOPY TREES PROPOSED

LANDSCAPE NOTES:

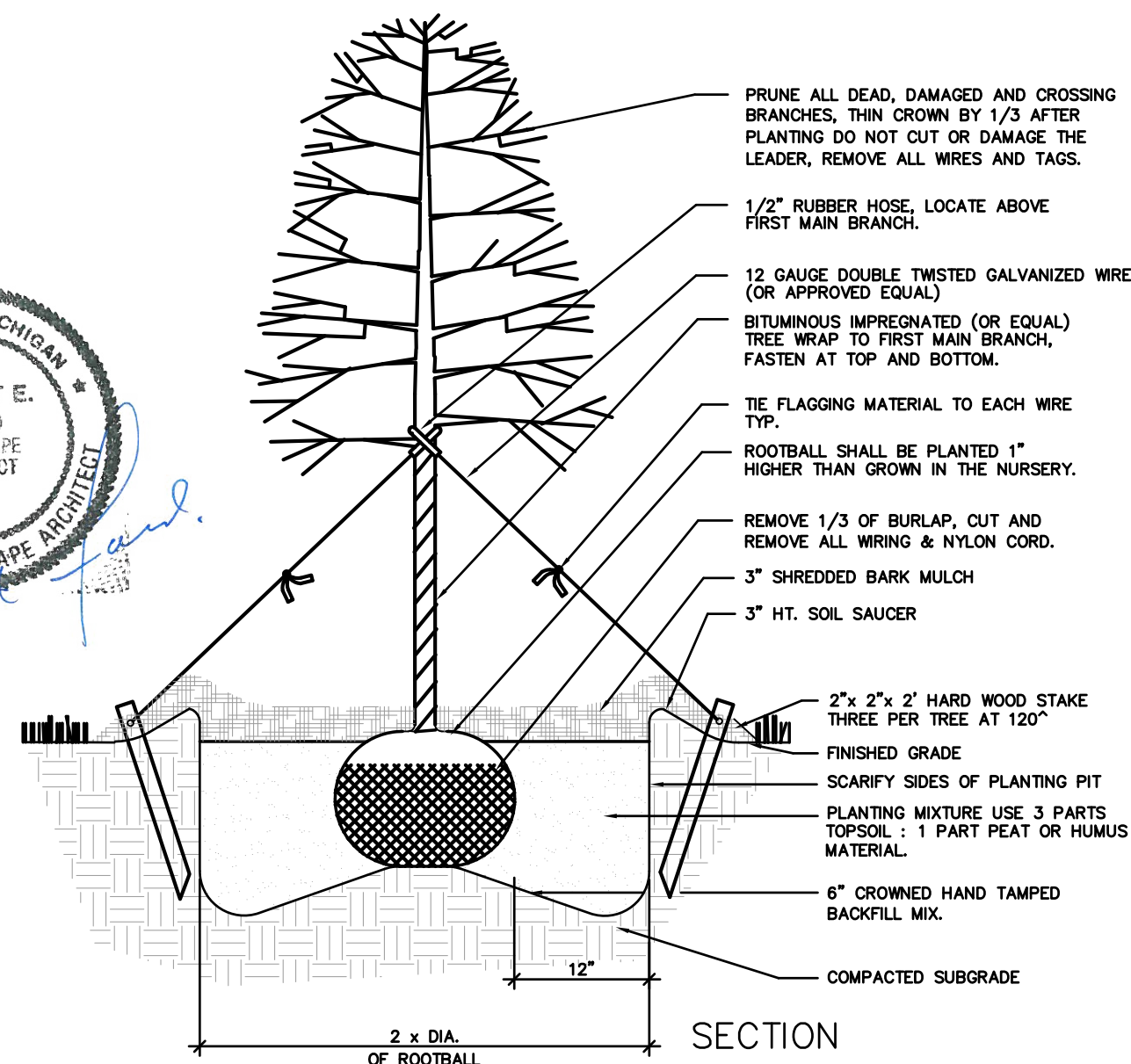
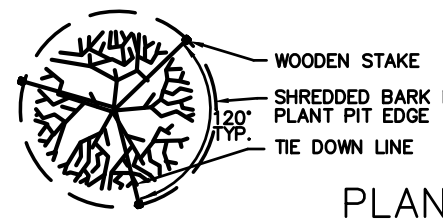
1. INSTALL 3" X 12 GA. EDGING TO SEPARATE LAWN FROM PLANTING BED. (AROUND SHRUBS ONLY)
2. INSTALL 3" DEEP SHREDDED BARK MULCH TO ALL PLANTING AREAS / BEDS / WETLAND AREAS.
3. CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES, PIPES AND STRUCTURES. AS WELL AS THE LOCATION OF EXISTING TREES AND VEGETATION. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY COST INCURRED DUE TO DAMAGE/REMOVAL OF SAID ELEMENTS.
4. ANY DISCREPANCIES BETWEEN PLANS, NOTES, DETAILS AND EXISTING CONDITIONS SHALL BE IMMEDIATELY REPORTED TO THE OWNER'S AUTHORIZED REPRESENTATIVE FOR REVIEW AND DECISION. CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL REVISIONS DUE TO FAILURE TO GIVE SUCH NOTIFICATION.
5. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO EXISTING MATERIALS/IMPROVEMENTS, DAMAGED DURING CONSTRUCTION.
6. SITE BOUNDARY, TOPOGRAPHY, UTILITIES AND OTHER BASE INFORMATION PROVIDED BY OTHERS.
7. CONTRACTOR SHALL VERIFY QUANTITIES SHOWN ON PLANT SCHEDULES AND THOSE INDICATED ON PLANS. CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF QUANTITIES DRAWN.
8. CONTRACTOR SHALL MAKE MINOR ADJUSTMENTS TO PLANT MATERIAL LOCATIONS IN FIELD, AS NECESSARY. THE LOCATION OF ALL PLANT MATERIAL SHALL BE SUBJECT TO APPROVAL BY THE OWNER'S AUTHORIZED REPRESENTATIVE.
9. ALL PLANT MATERIAL SHALL BE OF THE SIZES CALLED FOR IN THE PLANT SCHEDULES. ANY PLANT MATERIAL NOT MEETING THE SIZED AND/OR QUALITY AS CALLED FOR SHALL BE REMOVED FROM SITE. ALL TREES SHALL BE INSPECTED AND APPROVED BY THE OWNER'S AUTHORIZED REPRESENTATIVE. NO SUBSTITUTIONS OF PLANT MATERIAL SHALL BE MADE WITHOUT APPROVAL FROM THE OWNER'S AUTHORIZED REPRESENTATIVE.
10. CONTRACTOR SHALL DETERMINE APPROPRIATE PLANTING BACKFILL MIXES (BASED ON SOILS/SUBSURFACE CONDITIONS) AND REVIEW ALTERNATIVES WITH OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO INSTALLATION.
11. CONTRACTOR TO INCLUDE COST OF ALL MULCH IN THE COST OF THE PLANT MATERIAL.



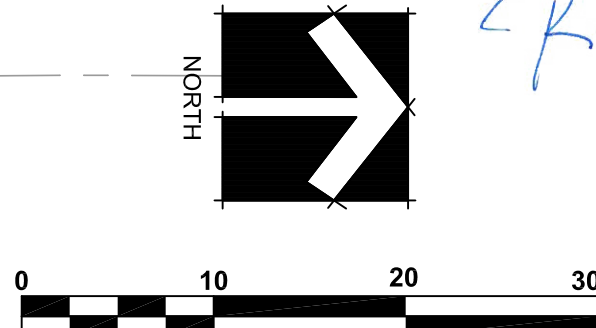
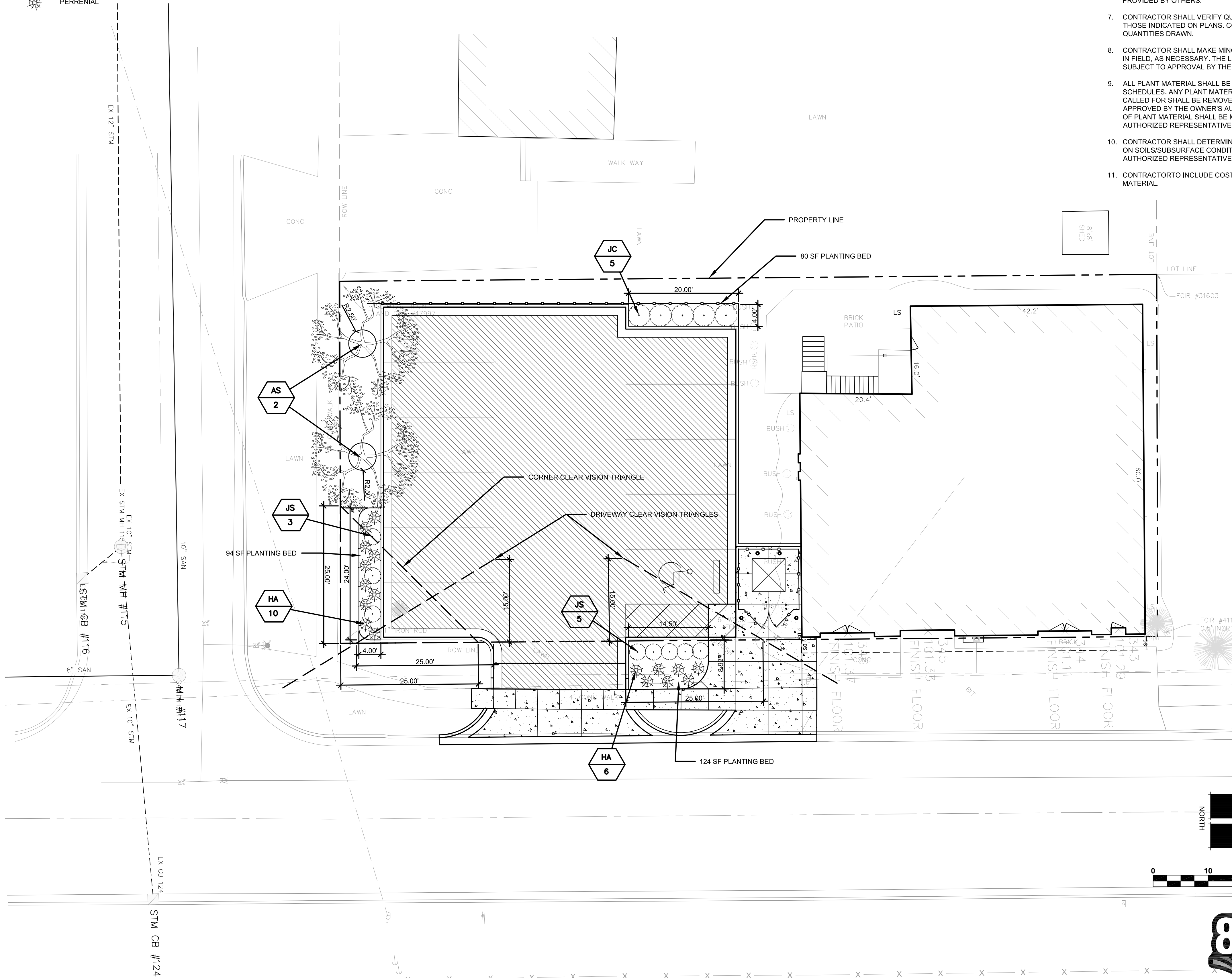
1 PERENNIAL PLANTING DETAIL  
SCALE: NOT TO SCALE



2 SHRUB PLANTING DETAIL  
SCALE: NOT TO SCALE

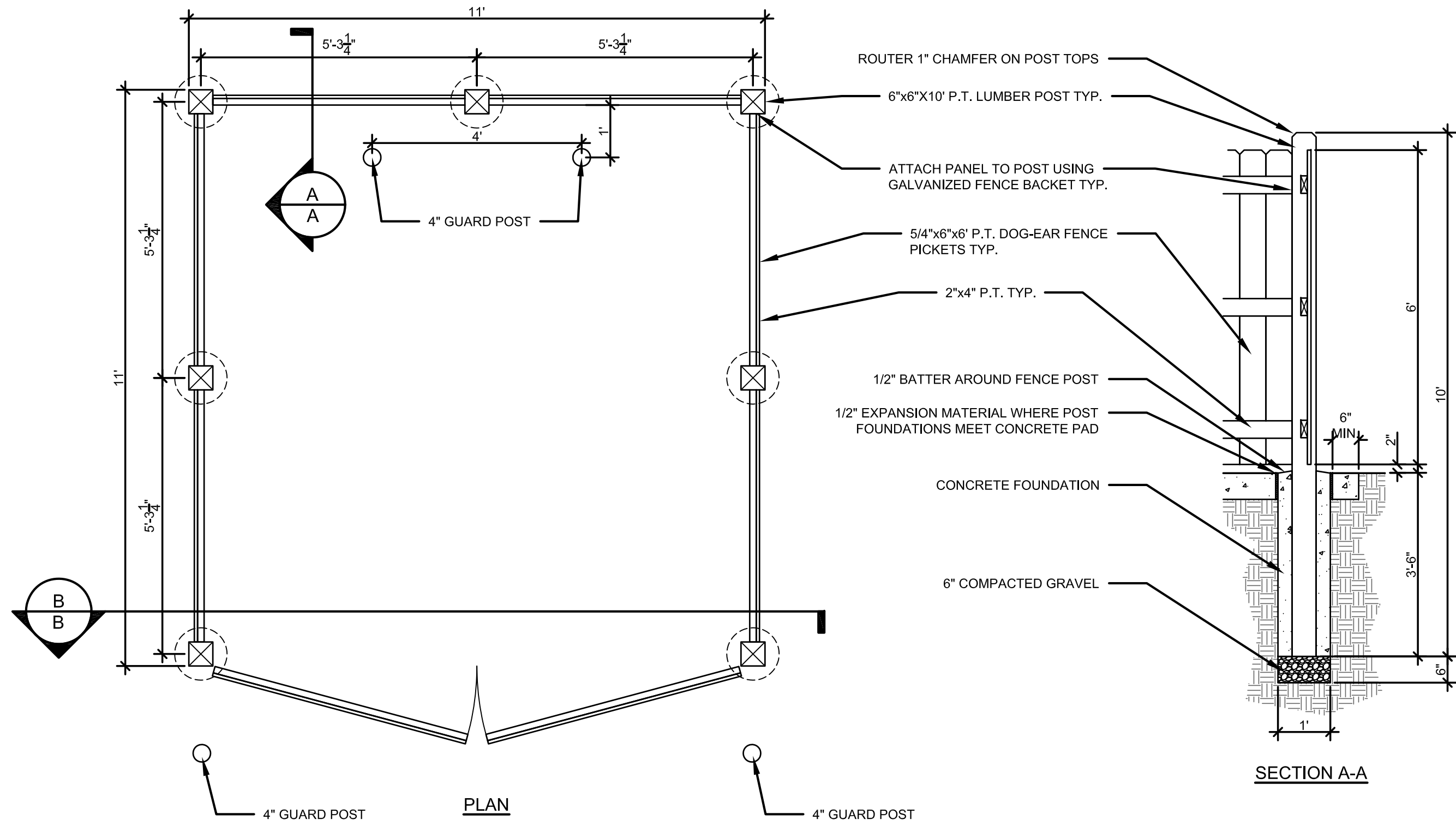


3 TREE PLANTING DETAIL  
SCALE: NOT TO SCALE

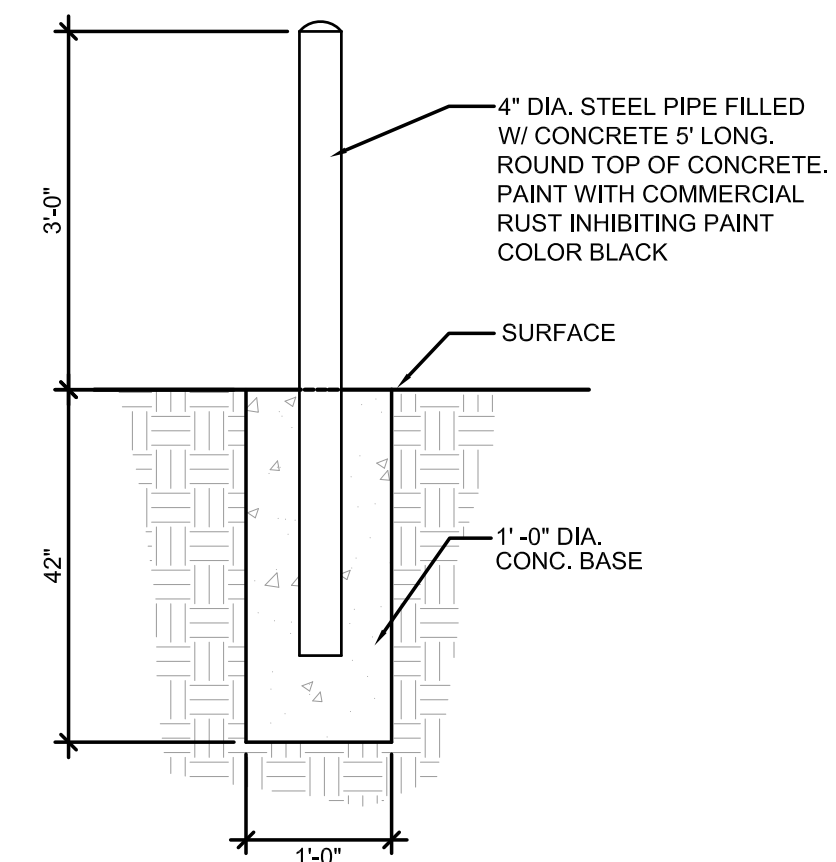




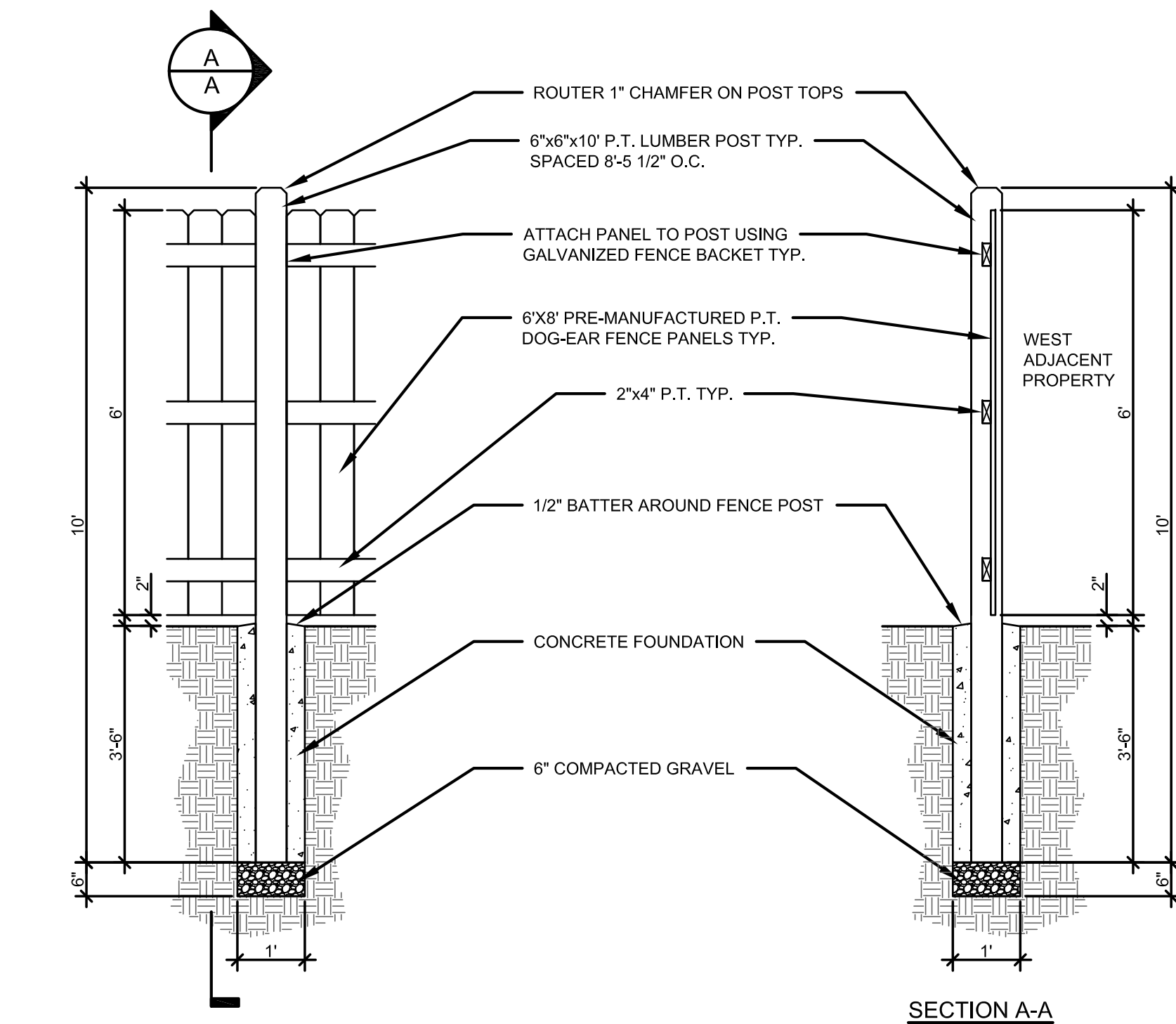
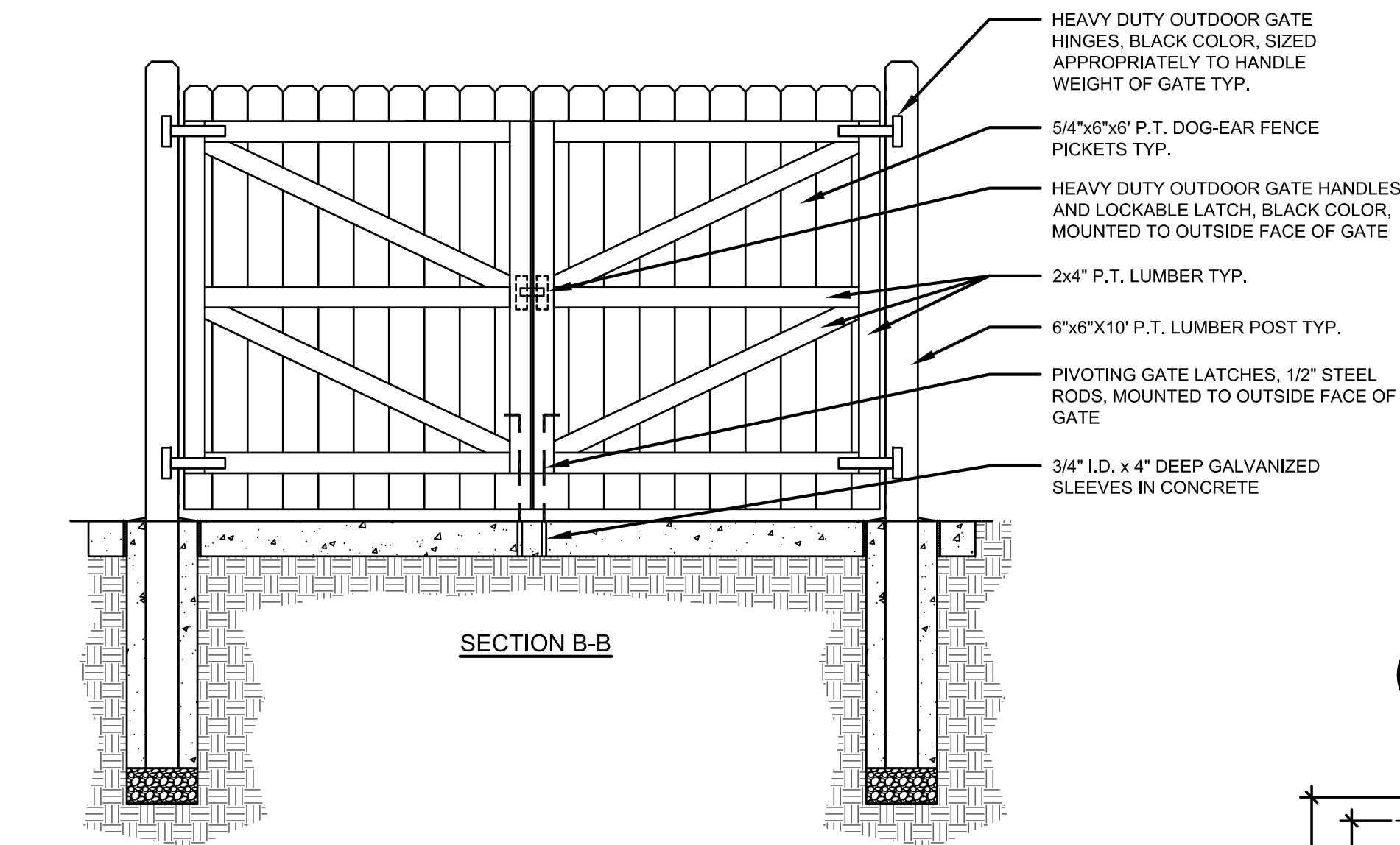
F:\PROJECTS\PROJECTS 2019\19007 HOWARD, 213 EAST STREET, MASON\08 PAGE LAYOUTS AND PRESENTATION\BOARDS\AUTOCAD\SHEET\DETAILS\DETAILS.DWG



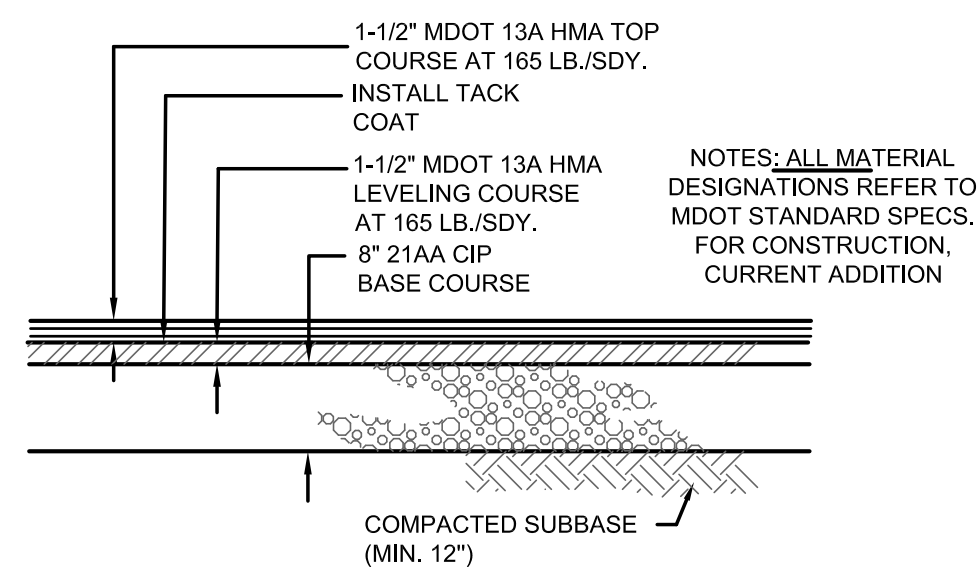
1 DUMPSTER ENCLOSURE  
SCALE: 1:2



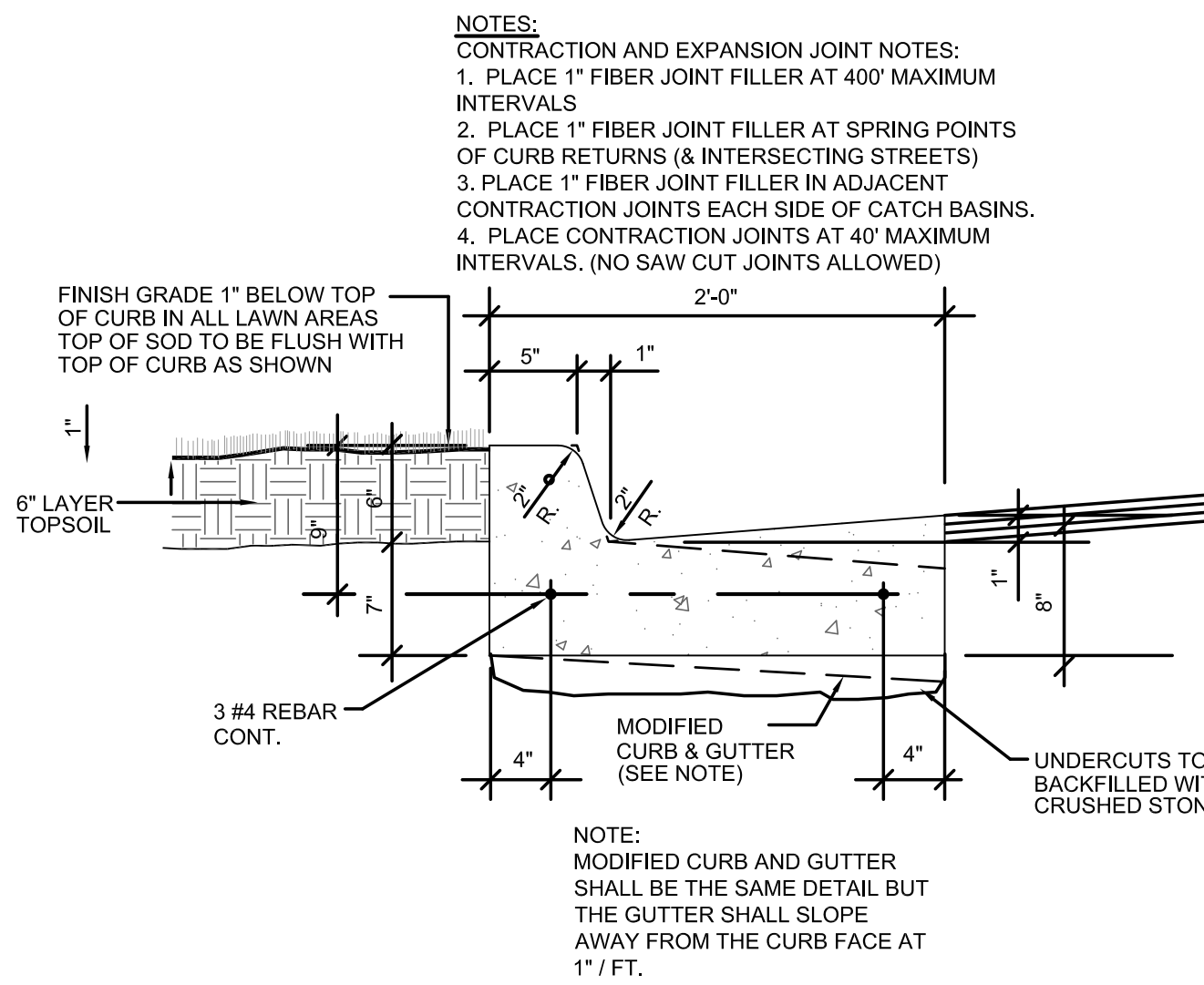
2 4 INCH GUARD POST  
SCALE: NOT TO SCALE



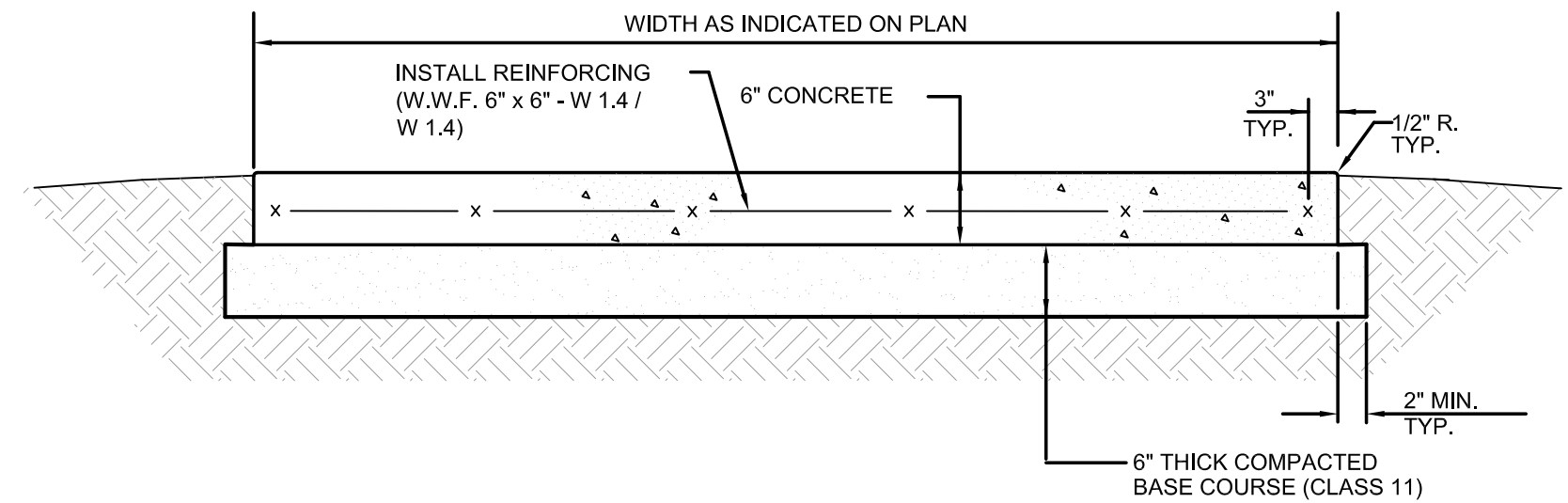
7 WOOD PRIVACY FENCE  
SCALE: 1:1



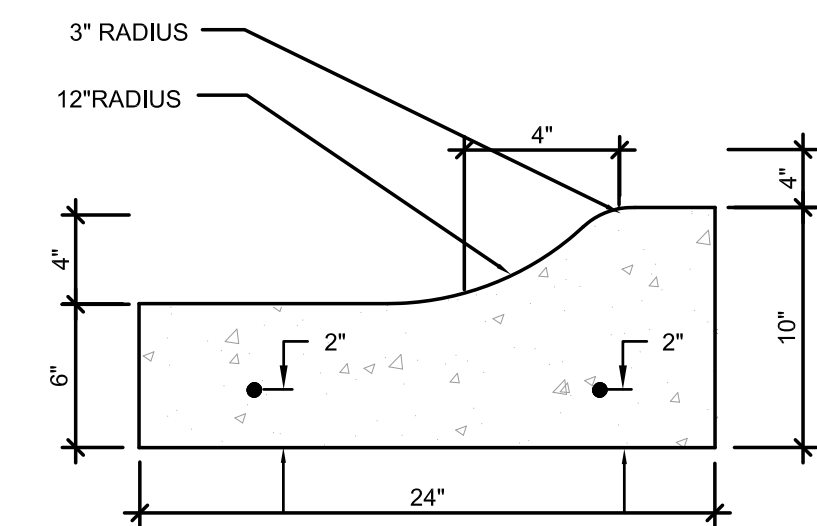
3 ASPHALT PAVING  
SCALE: NOT TO SCALE



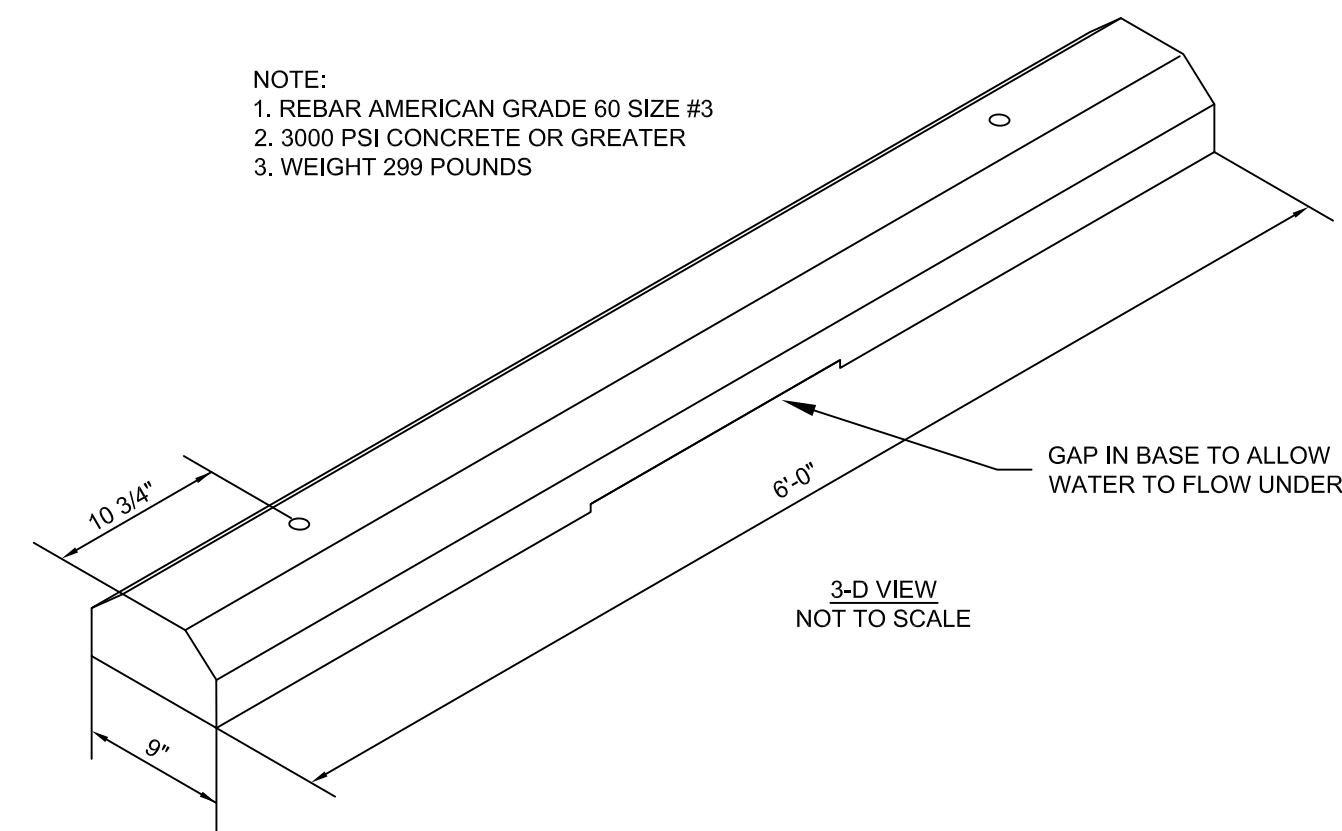
5 STANDARD CURB AND GUTTER  
SCALE: NOT TO SCALE



4 6 INCH REINFORCED CONCRETE  
SCALE: NOT TO SCALE



6 ROLLED CURB AND GUTTER  
SCALE: NOT TO SCALE



8 PRECAST CONC. WHEEL STOP  
SCALE: NOT TO SCALE

REVISIONS	INITIALS	DATE	COMMENTS
1	NEW	7/9/2019	CITY COMMENT REVISIONS

DATE: 6/7/2019	DESIGNED BY: NRW
CHECKED BY: REF	DRAWN BY: NRW
PROJECT NO: 19007	SCALE: N/A
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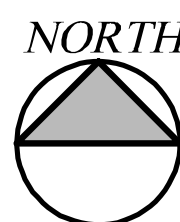
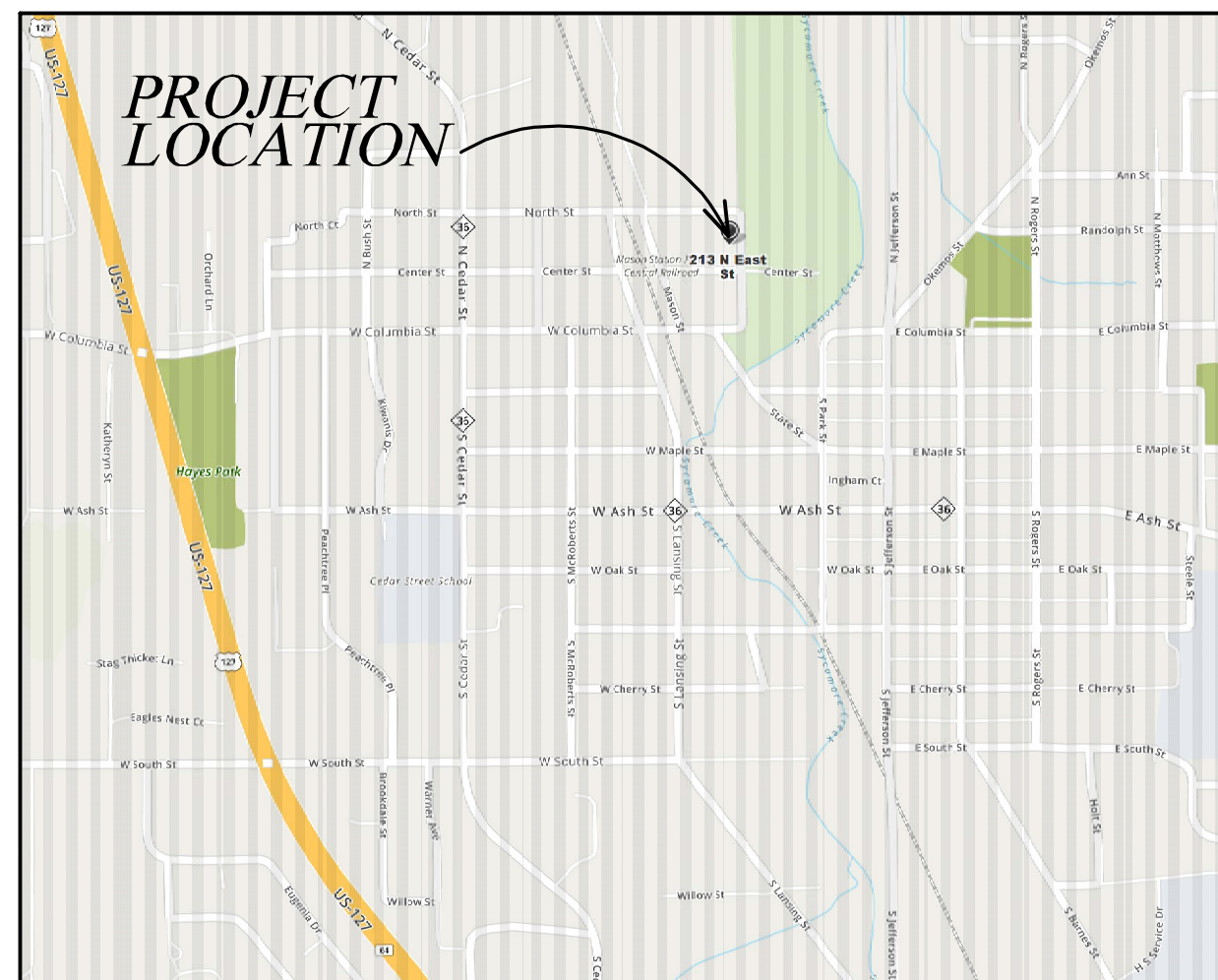
**3 WORKING DAYS!**  
BEFORE YOU DIG  
CALL MISS DIG  
800-482-7171  
or 811  
(TOLL FREE)

UTILITY WARNING  
PROTECTION OF UNDERGROUND FACILITIES  
PUBLIC ACT 53 OF 1974

Underground and/or aboveground utility locations, as may be indicated on the plan, were obtained from utility owners or other documents and were not field located.

A minimum of 72 Hours (3 working days) prior to beginning construction, the contractor shall notify "MISS DIG" and have all underground utilities staked before any work may begin. (Excluding Saturday, Sunday, or holidays.)

The contractor shall be responsible for the protection of all utilities that may interfere with construction. Protection of utilities shall be required as part of construction.



### SITE VICINITY MAP

State Code Authorities Having Jurisdiction		
Mechanical	State of Michigan Construction Codes 517-241-9325	Michigan Mechanical Code 2015, Part 9A, based on IMC 2015 adopted as amended and effective April 12, 2017.
Plumbing	State of Michigan Construction Codes 517-241-9330	Michigan Plumbing Code 2015, Part 7, based on IPC 2015 adopted as amended and effective April 20, 2017.
Electrical	State of Michigan Construction Codes 517-241-9337	Michigan Electrical Rules, Part 8 based on NEC 2017 adopted as amended and effective January 4, 2017.

Local Code Authorities Having Jurisdiction		
Zoning	City of Mason Dept of Zoning & Planning 517-676-9155	City of Mason Zoning Ordinance
Building	City of Mason Office of Building Safety 517-676-9155	Michigan Building Code 2015, Part 4, based on IBC 2015 adopted as amended and effective April 20, 2017. When Referenced to by the Michigan Rehabilitation Code for Existing Buildings 2015.
Existing Building	City of Mason Office of Building Safety 517-676-9155	Michigan Rehabilitation Code for Existing Buildings 2015, based on IBC 2015 adopted as amended and effective December 13, 2016.

## Chapter 10 - Change of Occupancy

Barrier Free                      City of Mason                      Michigan Building Code 2015, Part 4 based on IBC  
Office of Building Safety                      2015 adopted as amended and effective April 20, 2017,  
517-676-9155                      and referencing ICC/ANSI A117.1-2009.

Health Department                      Ingham County  
Health Department  
517-887-4312

### Other Authorities

Sanitary	City of Mason P O T W 517-676-1319
Storm Water Drainage	City of Mason P O T W 517-676-1319
Local Roads	City of Mason City Engineering 517-676-9155

### Local Utilities

Water	City of Mason City Engineering 517-676-9155
Gas	Consumers Energy Gas Engineering 517-374-2320
Electric	Consumers Energy Electric Engineering 517-374-2320

## GENERAL PROJECT NOTES

1. The contractor shall be exclusively responsible for determining the exact utility location and depths prior to the start of construction. It is the contractor's responsibility to locate and provide utility owners in accordance with Michigan Public Act No. 53 of 1974, 72 Hours or three (3) working days (excluding Saturday, Sunday, or Holidays) before you will call Miss Dig 800-482-7171 or 811 (toll free).
  2. Applicable Federal, State and Local Acts, Codes, Laws, Ordinances, and Regulations, etc. shall be considered as part of the requirements for this project and shall take precedent over these drawings and specifications. Advise the Architect in writing of potential conflicts between these drawings and possible interpretations of codes, ordinances, and regulations.
  3. All Mechanical, Plumbing and Electrical work shall be performed by Contractors licensed for such work and who shall obtain the proper permits from local authorities.
  4. It is the intent of these construction documents to construct a complete building with all building systems fully functional and usable at the completion of the work. These drawings indicate the general scope of the work to be provided.
  5. The approximate areas and dimensions indicated are to assist the contractor in determining the relative magnitude of project size and shall not be used as actual areas in determining quantities for bidding or ordering of material. The contractor is responsible for taking his or her own measurements of the existing conditions.
  6. Contractor shall construct this project in accordance with the **Stille-DeRossett-Hall Single State Construction Code Act** State of Michigan - Act 30 of 1972 and the Americans with Disabilities Act.
    - a. Comply with State of Michigan Building Code 2015, Incorporating the International Building Code 2015 with amendments and ICC/ANSI A117.1-2009 effective April 20, 2017, When Referenced to by the Michigan Rehabilitation Code for Existing Buildings 2015
    - b. Incorporate 2015 Michigan Rehabilitation Code for Existing Buildings 2015, Incorporating the International Existing Building Code 2015 with amendments effective December 13, 2016.
- Chapter 10 - Change of Occupancy**

- |     |   |      |
|-----|---|------|
| c.  | Comply with State of Michigan Energy Code 2015 - Part 10a Incorporating the International Energy Conservation Code 2015 Commercial provisions, with amendments effective September 20, 2017, and referencing ASHRAE 90.1-2013.  |      |
| d.  | Comply with State of Michigan Mechanical Code 2015, based on IMC 2015 adopted and effective April 12, 2017.   |      |
| e.  | Comply with State of Michigan Plumbing Code 2015, based on UPC 2015 adopted and effective April 20, 2017.   |      |
| f.  | Comply with Michigan Electrical Rules, Part 8 based on NEC 2017 adopted as amended and effective January 4  | 2019 |
| 7.  | Entry walks, sidewalks, paths, etc. shall have a slope no greater than 1:20 in direction of travel, and cross slope of no greater than 1:48.  |      |
| 8.  | Entry area immediately outside downways shall have a slope no greater than 1:20 in direction of travel, and cross slope of no greater than 1:48 in any direction and shall extend a minimum of 5 feet out from doorway and 2 feet minimum beyond the strike jamb.   |      |
| 9.  | Drawing Notes and Project Specifications may be presented in any or all of the four following formats:<br><b>Descriptive</b> ; describes in detail the material to be used and the workmanship required to fabricate, erect and install the materials.<br><b>Performance</b> ; describes the general expectations of the final performance and result of that part of the project.<br><b>Reference</b> ; describes what reference standards are to be followed for a material, test method or installation procedure.<br><b>Proprietary</b> ; describes exactly what Manufacturer, Model, Catalog number and options are to be used.<br>Contractor shall understand the difference between these formats and provide the proper results for each. |      |
| 10. | The following definitions apply generally to the work.  |      |
| a.  | <b>Provide</b> : Furnish and install, complete and ready for intended use. All notes shall be considered as Provide unless specifically noted otherwise.  |      |
| b.  | <b>Furnish</b> : Supply and deliver to project site, ready for unloading, unpacking, assembly, installation, and similar subsequent requirements.   |      |
| c.  | <b>Install</b> : Operations at project site, including loading, unpacking, assembly, erection, placing, anchoring, applying, working to dimension, finishing, curing, and protecting, cleaning, and similar requirements.   |      |
| d.  | <b>Prepare</b> : Provide the necessary supports, rough opening, utility rough-in, base of sub-base, etc., for items to be installed by others.  |      |
| e.  | <b>Indicated</b> : Shown on drawings by notes, graphics or scheduled, or written into other portions of contract documents. Terms such as "shown," "noted," "scheduled," and "specified" have the same meaning as "indicated," and are used to assist the reader in locating particular information.  |      |
| f.  | References to Contractor and/or Construction Manager that may be included in notes with this set of drawings shall mean either the Contractor, or the Owner if there is not a General Contractor for the Project.   |      |

- |     |   |  |
|-----|---|--|
| 11. | <p>All Contractors (General, Sub Contractors, Vendors and Accessories) shall:</p> <ul style="list-style-type: none"> <li>a. Provide all miscellaneous labor, equipment, parts and supplies necessary to install complete and fully functional building systems, whether such miscellaneous labor, equipment, part or accessory is specifically described herein or not. At the completion of the work, the building shall be fully functional and useable by the Owner.</li> <li>b. Visit the site prior to executing a contract for this project to examine the existing conditions. No additional payment will be approved by the owner for conditions that the Contractor could have identified through the pre-contract site visit.</li> <li>c. Review all documents and shall notify the Architect in writing of any discrepancies or inadequacies prior to starting work.</li> <li>d. Review and verify all dimensions and notify Architect in writing of any discrepancies prior to Start of Work.</li> <li>e. Review and verify that documents are coordinated.</li> <li>f. Shall be satisfied that the dimensions and quantities indicated on the drawings and provide for their work to be constructed, finished and functional. Commencement of work indicates acceptance of prior trades works. Completion of work shall provide that subsequent trades can complete their work.</li> <li>g. Provide the highest quality of work and the greatest quantity of materials required for a complete project conforming to all noted codes, whether or not such materials required for such conformance are indicated in these plans.</li> <li>h. Commencement of work shall indicate the Contractor's acceptance of these documents as being correct, complete and valid. Requests for changes based on claims of incomplete documents after Execution of Contract will not be accepted.</li> <li>i. Any omissions or conflicts between the various elements of the contract documents shall be brought to the attention of the Architect before proceeding with any work so involved. In the event of conflicts within the contract documents, the Architect shall render interpretation.</li> <li>j. Do not scale these drawings. Use dimensions indicated on the drawings and those verified at the project site. The owner's representative shall clarify any dimensions or areas that are unclear on the drawings. Scaling of these drawings for field use or access panels to list valves, dampers and other necessary adjustment items.</li> <li>k. Provide access or access panels to list valves, dampers and other necessary adjustment items.</li> <li>l. Determine material quantities and sizes in preparing proposals. Discrepancies between actual conditions and the schematic information shown on drawings will not be cause for a change in the contract price or schedule.</li> </ul> |  |
| 12. | <p>Contractor shall:</p> <ul style="list-style-type: none"> <li>a. Maintain the construction site in a neat and clean manner, he shall legally dispose of all unused material from the site. At the end of the project the contractor shall clean all surfaces and leave the project in a clean state.</li> <li>b. Provide access or access panels to list valves, dampers and other necessary adjustment items.</li> <li>c. Where Demolition and/or removal of equipment exposes unfinished surfaces, openings, holes, missing trim, etc. Patch and repair surfaces to match adjacent surfaces so that demolition and removals can not be detected.</li> <li>d. Coordinate with the mechanical and electrical contractors the location of ducts, piping, boxes, chases, conduits, etc.</li> <li>e. Provide adequate clearances for servicing of equipment per code.</li> <li>f. Provide new material patch, repair and refinish surfaces and supporting structure as required to provide new finished project where demolition exposes or damages surfaces to be exposed in final project.</li> <li>g. Replace damaged materials with materials equal or better quality of the material that was damaged.</li> </ul>   |  |
| 13. | <p>Contractor shall:</p> <ul style="list-style-type: none"> <li>a. Provide and pay for temporary utilities such as water, electric, heat, etc. As necessary to complete project.</li> <li>b. Include and pay for the cost of all labor and materials and all state sales and use taxes to complete the project in accordance with the documents.</li> <li>c. Include, apply and pay the cost of all building permits and/or fees necessary to complete the construction of this project, it's proper display and requests for inspections from the local authorities.</li> <li>d. Furnish insurance in accordance with general conditions and as required by all state and local laws.</li> </ul>   |  |

- |     |   |
|-----|---|
| 14. | <p><b>CONSTRUCTION METHODS:</b><br/>The Architect is not responsible for construction means, methods, techniques, sequences, or procedures, or for safety precautions since these are solely the Contractors responsibility.</p>  |
| 15. | <p><b>CONSTRUCTION SAFETY:</b><br/>These documents do not include the necessary components for construction safety. Safety, care of adjacent properties during construction, and compliance with local regulations regarding safety is, and shall be, the contractor's responsibility.</p>  |
| 16. | <p><b>CONSTRUCTION ADMINISTRATION:</b><br/>The Architect's Basic Services do not include Construction Phase services. The Owner shall be responsible for interpreting the Contract Documents, reviewing submittals, certifying payments to the Contractor, and observing the Contractor's Work. The Owner assumes responsibility for discovering, correcting or mitigating errors, inconsistencies or omissions. The Owner may request the Architect in writing to provide specific Construction Phase services.</p>  |
| 17. | <p><b>OWNER-AUTHORIZED CHANGES:</b><br/>If the Owner authorizes deviations, recorded or unrecorded, from the documents prepared by the Architect and Consultants without written agreement of the Architect, the Owner shall indemnify and hold harmless the Architect, Architect's consultants and agents and employees of any of them from and against claims, damages, losses and expenses, including but not limited to attorneys' fees, arising out of or resulting in whole or in part from such deviations, regardless of whether or not such claim, damage, loss or expense is caused in part by a party indemnified hereunder.</p> |
| 18. | <p><b>SPECIAL INSPECTOR AND RESPONSIBILITIES:</b><br/>a. None Required.</p>   |

**Service Master**  
**2019 Renovations**  
213 N. East Street  
City of Mason, Ingham County  
Mason, Michigan 48854

DRAWING INDEX	
G 0.1	TITLE SHEET, CODE DATA, PROJECT INFORMATION, DRAWING INDEX, & SITE PLAN
A 0.1	FIRST FLOOR PLAN- DEMOLITION, DEMOLITION NOTES
A 1.1	FIRST FLOOR PLAN, PLAN NOTE, TOILET ROOM DETAILS
A 1.2	SECOND FLOOR PLAN

Other Drawings Including Architectural, Structural, Mechanical, Plumbing, and Electrical Drawings may have been Prepared by other Design Professional(s) and are not part of this Drawing Set.

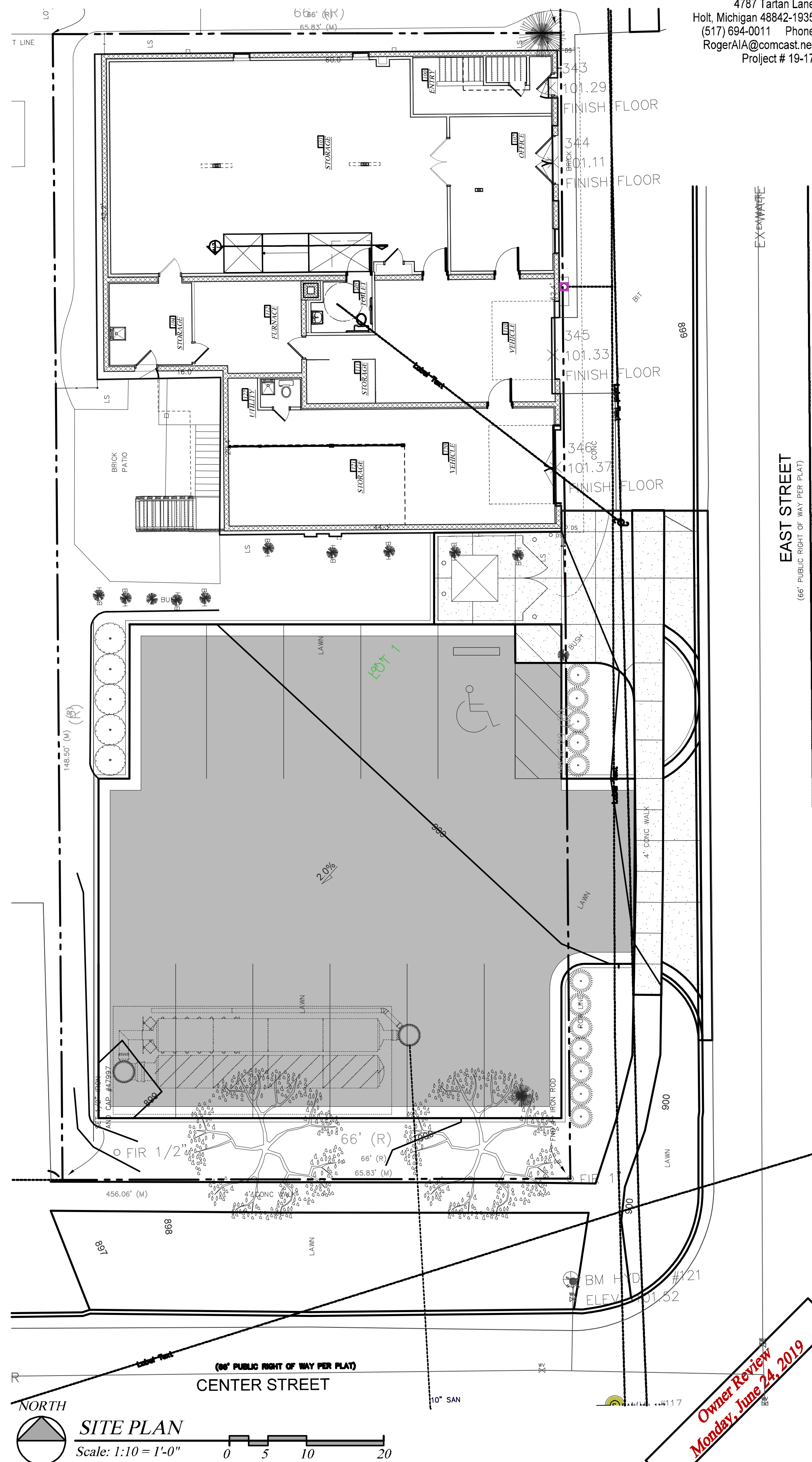
Site Plan as developed by Landscape Architects & Planners, Inc., 809 Center St, Suite One, Lansing, MI 48933,  
Project 19007, Drawing Sheet 1 of 1, dated 03/25/2019

Site Information based on survey completed by DC Engineering, 1210 N. Cedar St. Suite B, Lansing, Michigan 48906 (517) 853-7866. Project LAP - 223 N EAST ST, Drawing Sheet 1 of 1, dated 3/14/2019

## DESIGN PROFESSIONALS:

**Architect:**

Roger Donaldson AIA  
Roger L. Donaldson, AIA P.L.C.  
4787 Tartan Lane  
Holt, Michigan 48842-1935  
(517) 694-0011 Phone  
RogerAIA@comcast.net  
Project # 19-17



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Mason, Michigan 48854

[illegible]

**TITLE SHEET, CODE DATA,  
DRAWING INDEX, SITE PLAN  
& PROJECT INFORMATION**

**G0.1**  
SHEET NUMBER  
FILE NO.  
19-17 G001



- Do not scale these drawings, use dimensions indicated on the drawings and those verified at the Owner's site. Any dimensions or areas that are unclear on the drawings shall be clarified by the Owner's Representative. Scaling of these drawings or other methods to determine dimensions will not be acceptable.
2. All items of demolition of salvageable value shall be placed in Owners storage unless instructed otherwise.
3. Coordinate all demolition work with individual trades to minimize conflicts.
4. The structural integrity of the building shall not be altered.
5. The Contractor shall field verify all conditions for removal of all components necessary for coordination with new installations. These drawings are for general demolition only and are not intended to be shop drawings or "as built" drawings. All work that interferes with new construction, whether shown or not shown, shall be removed or relocated as directed by the Architect or Owner's representative.
6. Where Demolition exposes or damages surfaces to be exposed in final project, patch, repair and refinish surfaces and supporting structure as required to provide new finished project.
7. Where Demolition and/or removal of equipment exposes unfinished surfaces, openings, holes, missing trim, etc. Patch and repair surfaces to match adjacent surfaces so that demolition and removals can not be detected.
8. When areas require painting due to demolition of items, repaint walls full height to nearest corner in each direction, and paint ceilings to each edge.
9. **Occupancy:** Owner will occupy portions of the building immediately adjacent to areas of selective demolition. Conduct selective demolition work in a manner that will minimize need for disruption of owner's normal operations. Provide minimum of four hours advance notice to owner of demolition activities that will impact owner's normal operations.
10. **Traffic:** Conduct selective demolition operations and debris removal in the manner to ensure minimum interference with roads, streets, walks, and other adjacent occupied or used facilities.
11. **Utility Services:** Maintain existing utilities indicated to remain. Keep in service and protect against damage during demolition operations.
  - a. Do not interrupt utilities serving occupied or used facilities, except when authorized in writing by the authorities having jurisdiction. Provide temporary services during interruptions to existing utilities, as acceptable the governing authorities.
  - b. Maintain fire protection services during selective demolition operations.
  - c. Locate, identify, stub off, and disconnect utility services that are not indicated to remain.
  - d. Provide bypass connections as necessary to maintain continuity of service to occupied areas of building. Provide a minimum of 72 hours advance notice to owner if shutdown of services is necessary during changeover.
12. **Inspection:** Prior to commencement of selective demolition work, inspect areas in which work will be performed.
13. **Preparation:** Prepare interior and/or exterior shoring, bracing, or support to prevent movement, settlement, or collapse of structures to be demolished and adjacent facilities to remain.
  - a. Cover and protect furniture equipment and fixtures indicated "To Remain" from spoilage or damage.
  - b. Erected maintain dust-proof partitions and enclosures as required to prevent spread of dust or fumes to occupied portions of the building
14. If unanticipated Mechanical, Electrical, or Structural elements that conflict with the intended Function or Design are encountered, Investigate and Measure both nature and extent of conflict. Revise selective demolition schedule as necessary to continue overall job progress without delay.
15. **Damages:** Promptly repair damages caused to adjacent facilities by demolition work at no cost owner.
16. Repair demolition performed in excess of that required. Return structures and surfaces to remain to conditions existing prior to commencement of selective demolition work. Repair and refinish adjacent construction or surfaces soiled or damages by selective demolition work
17. Disposal of demolished materials: Remove debris, rubbish, and other materials resulting from demolition operations from building site. Transport and legally dispose off-site.
  - a. Burning of removed materials is not permitted on project site.
  - b. If hazardous materials are encountered during demolition operations, comply with applicable regulations, laws, and ordinances concerning removal, handling, and protection against exposure or environmental pollution.
18. Cleanup and repair: upon completion of demolition work, remove tools, equipment, and demolished materials from site. Remove protections and leave interior areas room clean.



**Owner Review  
Monday, June 24, 2019**

*FIRST LEVEL PLAN -  
DEMOLITION*

**A0.1**  
SHEET NUMBER


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**2019 Renovations**  
213 N. East Street  
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Mason, Michigan 48854  
#19-17

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**rd** 4787 Tartan Lane  
1011  
(971) 694-2011

**ROGER L. DONALDSON, AIA P.L.L.C.**  
**ARCHITECT**

48842-1935  
Vancouver  
email: [RogerL@rldon.com](mailto:RogerL@rldon.com)

 LEED Accredited



1. Do not scale these drawings, use dimensions indicated on the drawings and those verified at the project site. Any dimensions or areas that are unclear on the drawings shall be clarified by the Owner's Representative. Scaling of these drawings or other methods to determine dimensions will not be acceptable.
2. All exit doors shall be operable without the use of a key or special knowledge or effort as per IBC/MBC §1008.1.8.
3. All floor surfaces shall be fire resistant and securely attached in accordance with the 2015 MBC §1903.4.1. The static coefficient of friction for all floor surfaces shall be at least 0.6 minimum.
4. All water faucets shall conform to ICC/ANSI §909.4.4 requirements for operable parts. Operable parts shall be operable with one hand and shall not require tight grasping, pinching, or twisting of the wrist. The force required to activate operable parts shall be 5 pounds maximum.
5. Provide nonabsorbent floor and backing at Toilet Room Walls and Floor. Provide 4" Base, and Water Resistant Gypsum Drywall on surfaces adjacent to Water Closets, Lavatories, mop Basin and Drinking Fountains. (MBC §1210.2)
6. When references are made to Contractor, that includes Owner self performing construction work.
7. Contractors shall review and verify all dimensions and shall notify Architect of any discrepancies.
8. The Contractor shall assume that he may be required to provide the highest quality of work and the greatest quantity of materials required for a complete project conforming to all listed codes, whether or not such materials listed for such performance are indicated in these plans.
9. Contractor shall be responsible for protection and safekeeping of all products stored at the site and within the building.
10. Contractor shall properly store materials in accordance with manufacturer's instructions or recommendations. All materials shall be stored in a dry and safe manner. Materials that become wet shall be replaced or properly dried out prior to being used in the Project.
11. Contractor shall coordinate all mechanical, plumbing, electrical and other trade work prior to placing concrete slabs, or gypsum drywall board.
12. Contractor shall maintain Project in a dry condition at all times.
13. All wood in contact with earth, concrete, concrete masonry, clay masonry, or exposed to the weather shall be pressure treated to resist decay.
14. Dimensions are to:
  - Face of Masonry Walls,
  - Exterior face of studs in exterior walls.
  - Face of Stud in new walls.
  - Center of Interior Walls.
  - Face of finished existing walls.Clear indicate clear dimension from face of finish material. Indicated by Dimensions with Arrows
15. Owner may authorize use of 1/2" Gypsum Drywall in areas where stud spacing does not exceed 16" and wall is not Fire Rated.
16. Wall Construction: Owner may use the following wall construction methods as may be required and noted on the drawings.

17. **INTERIOR WALL, TYPE 0.1:**  
Dimensioned at 5" nominal, 5/8" Gypsum Drywall each side of 2x4 Wood Studs at 1'-4" on center. Fill  
Toliet Room wall cavity with 3" dense mineral fiber sound attenuation blankets, friction fit. Minimum STC-45.  
Extend wall to bottom of structure above.

**ROOM FINISHES**

18. **Room Finishes shall be:**  
Walls - Painted Drywall with 4" Vinyl Base  
Floors - Vinyl Composition Tile, new or patch existing. Owner Option  
Floor - Reception area may be hard tile.  
Ceilings - Existing System to Remain

19. Provide all necessary nailers, blocking and grounds as required to support handrails, guardrails, doorposts,  
cabinets, etc. Set work plumb, level and accurately cut. (All nailers, blocking and grounds  
shall be non-combustible or fire-retardant.)

20. Seal all openings around ducts, pipes, conduit, etc. Which pass through floors, walls, and roofs with an  
approved material and method.

21. Exit Doors shall remain unlocked during normal occupancy.

22. **ABBREVIATIONS:**  
EP Electrical Panel  
FD Floor Drain  
MBC Michigan Building Code, current edition  
WH Water Heater

23. **LEGEND:**

#	DETAIL INDICATOR
A2.	SHEET ON WHICH BUILDING SECTION IS SHOWN








	Existing Door Number		New Door Number
	Existing Wall		New Wall
	Existing Door		New Door
			Required Clearance Area

Diagram illustrating the layout and dimensions of a toilet stall:

- 36" Horizontal Back Bar**
- 18" Vertical Side Bar**
- 42" Horizontal Side Bar**
- 36"** (Distance from back bar to side bar)
- 12"** (Distance from side bar to toilet)
- 24"** (Distance from toilet to side bar)
- 54"** (Distance from back bar to toilet)
- 60"** (Minimum Clear)
- Toilet Tissue Paper Dispenser, locate 18" Minimum AFF and 1/2" Clear from Grab Bar**
- Flush Valve locate on open side of Water Closet**

	0	1	2	3	4	5
0	0	1	2	3	4	5
1	1	0	3	4	5	2
2	2	3	0	1	5	4
3	3	4	1	0	2	5
4	4	5	5	2	0	1
5	5	2	4	5	1	0

Number	Site	Type	Door			Label	Glass	Frame			Jamb	Label	Remarks
			Material	How	Exist			Type	Material	Head			
101	20.58	F	Exist	Exist	1	---	---	Exist	Exist	---	---	---	---
102	21.30.08	F	Exist	Exist	1	---	---	Exist	Exist	---	---	---	---
102A	38.58	F	WD	1	---	---	---	1	WD	---	---	---	---
103	38.58	F	WD	Exist	---	---	---	Exist	Exist	---	---	---	---
105	38.58	F	WD	Exist	2	---	---	---	WD	---	---	---	---
106	38.58	F	Exist	Exist	---	---	---	Exist	Exist	---	---	---	---
107	38.58	F	Exist	Exist	---	---	---	Exist	Exist	---	---	---	---
110	38.58	F	Exist	Exist	---	---	---	Exist	Exist	---	---	---	---
110A	38.58	F	WD	1	---	---	---	1	WD	---	---	---	---
111	38.58	F	Exist	Exist	---	---	---	Exist	Exist	---	---	---	---
112A	38.58	F	Exist	Exist	---	---	---	Exist	Exist	---	---	---	---
120	100.89	GHD	WD	3	---	---	---	1	WD	---	---	---	---
120A	38.58	F	WD	1	---	---	---	---	WD	---	---	---	---
122	20.58	F	Exist	Exist	---	---	---	Exist	Exist	---	---	---	---

- 1 First and two Digits of the Door Size Refers to the Door Width in Feet and Inches, the Second two Digits Refer to the Door Height in Feet and Inches. (i.e. 30 60 Represents 3' 0" Wide & 6' 0" High).
- 2 Owner may use 3'-0" x 7'-0" at their option.
- 3 All Doors are 1 3/4" Thick Unless Noted Otherwise.
- 4 Owner may use Hollow Metal Doors at their option.
- 5 Frame Type Roman Numerals Refer to Door Frame Types Drawings Shown.
- 6 Owner may use Hollow Metal Frames at their option.
- 7 At Existing Door Openings, verify condition of door hardware, threshold and gaskets are in good working order - repair/replace as required.

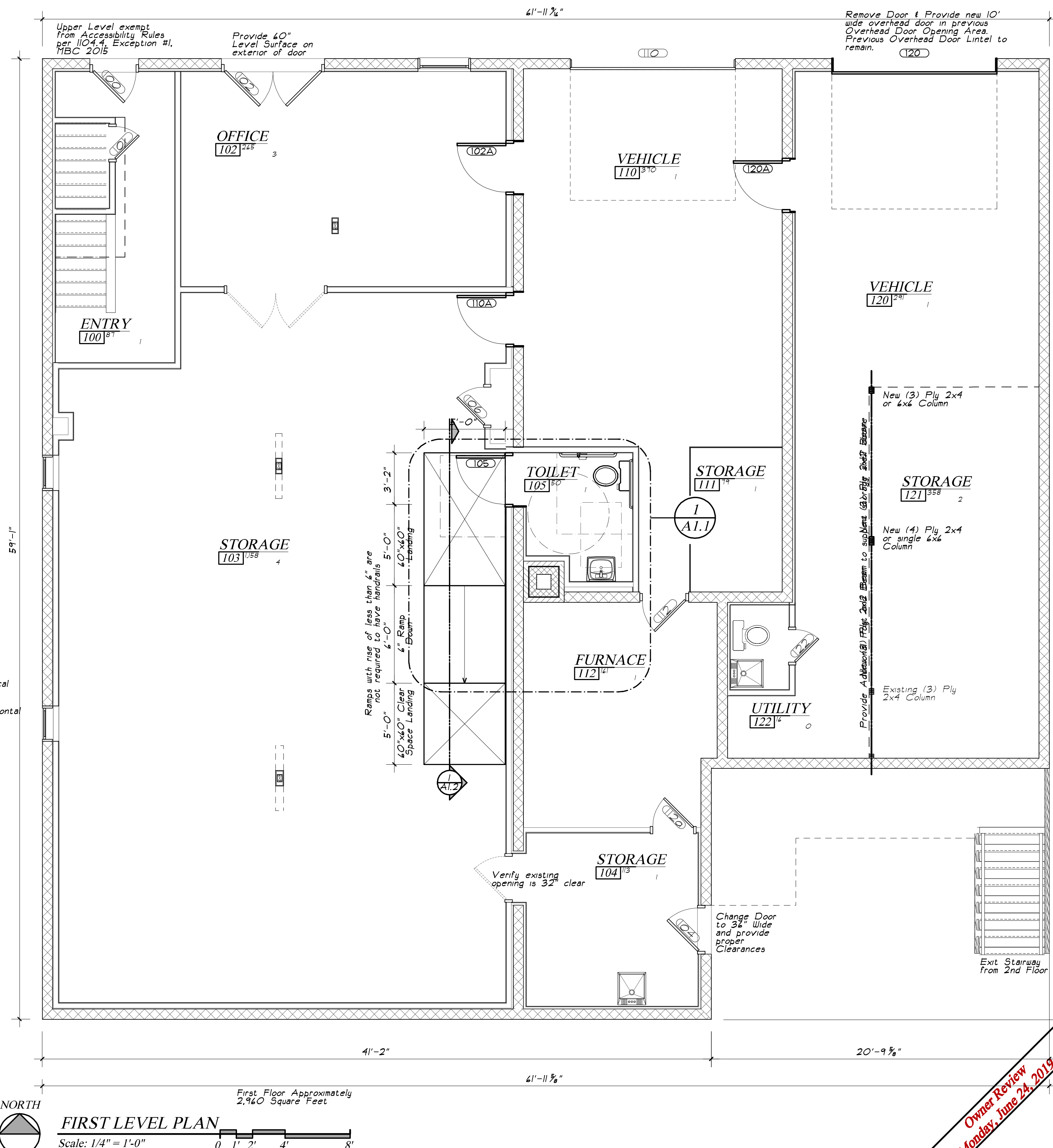
8 Handles, pulls, latches, locks and other operable parts on accessible doors shall have a shape that is easy to grasp with one hand and does not require light grasping, pinching or twisting of the wrist to operate.

F	=	Flush
HM	=	Hollow Metal
RF	=	PreFinished Redi Frame or Equal
SCW	=	Solid Core Wood
WD	=	Wood

SEE  
SCHEDULE

$$1/4'' = 1'-0''$$
 $\frac{1}{4}'' = 1'-0''$ 

Hardware Set # 00		Existing	
Each Opening shall have	1.0	Each	1.0
Operates Properly and Verify Hand-Operated Lockdown Operates Properly to New Master System			
Hardware Set # 01		Apartment Entrance - 20 Minute Rating	
Each Opening shall have	3.0	Each	3.0
1.0	Each	Hinge	
1.0	Each	Closer (Owner Option)	
1.0	Each	Lever Lockset - Function as determined by Owner	
Hardware Set # 02		Toilet	
Each Opening shall have	3.0	Each	3.0
1.0	Each	Hinge	
1.0	Each	Lever Lockset - Privacy Function	
Hardware Set # 03		Overhead Door	
Each Opening shall have	1.0	Each	1.0
Overhead Door Operator or Cylinder			



**Owner Review  
Monday, June 24**

**FIRST FLOOR PLAN,  
DETAILS & NOTES**

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2019 Renovations**  
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Mason, Michigan 48854

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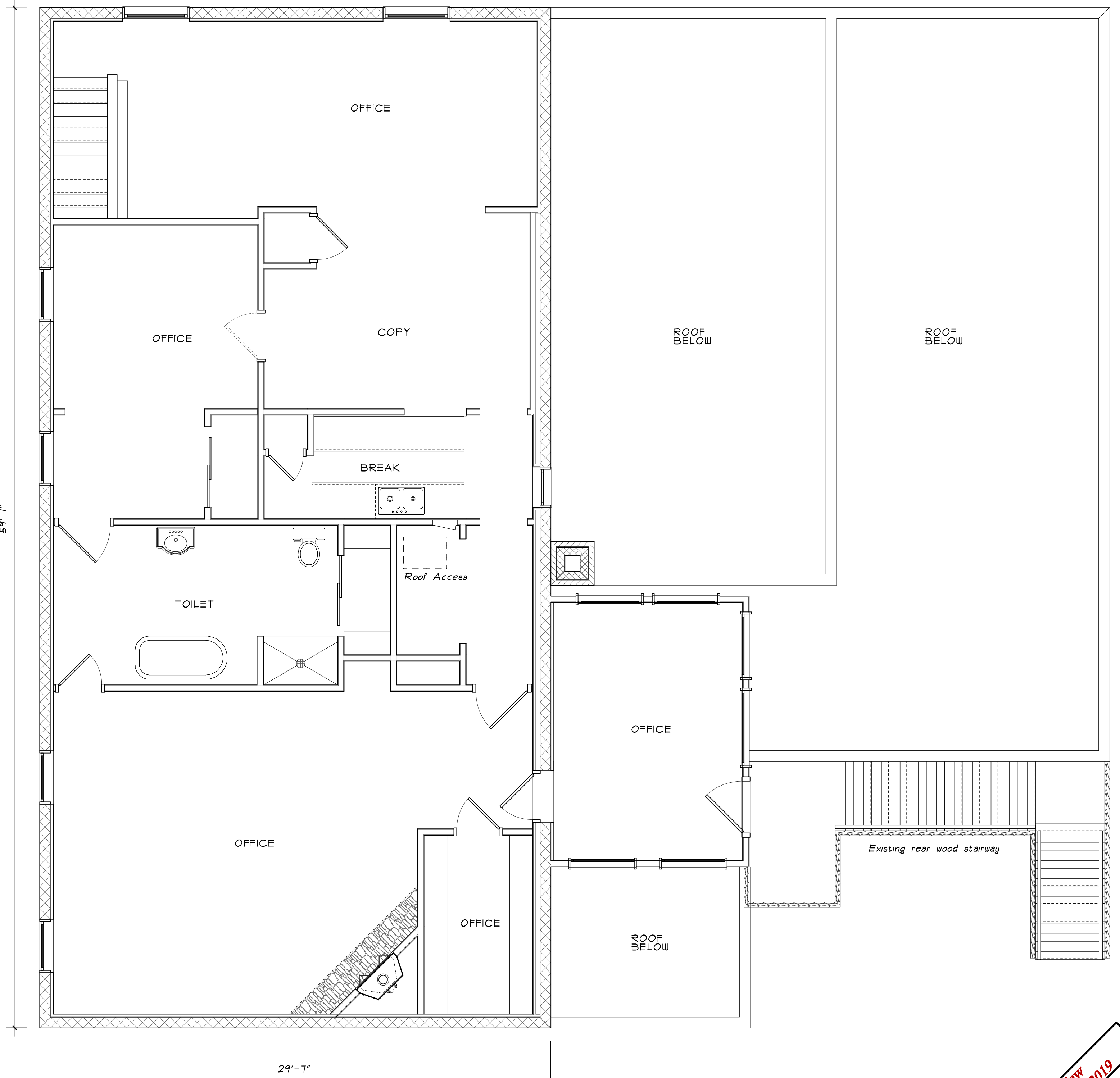
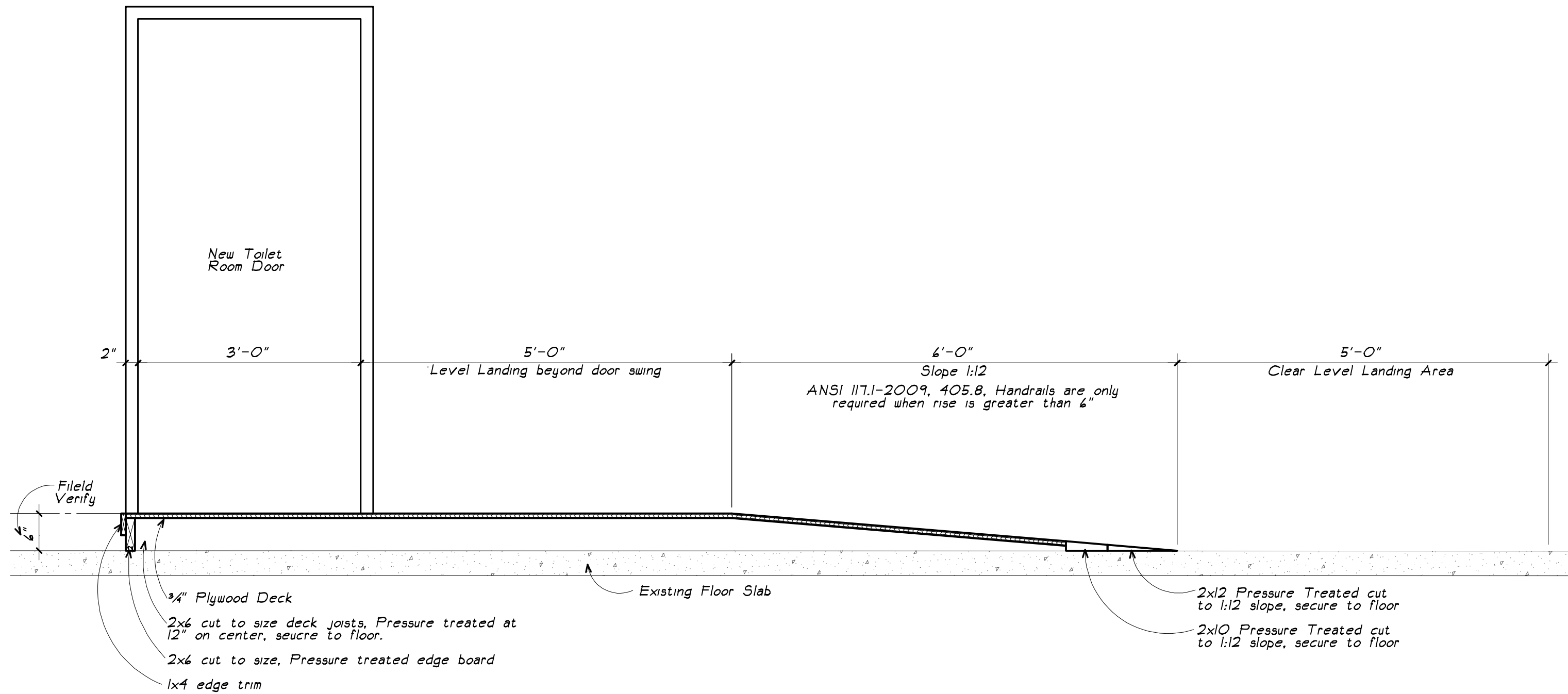
**DONALDSON, AIA P.L.C.**  
**HITECH**  
Michigan 48842-1935  
www.donaldson.com

**A1.1**  
SHEET NUMBER  
FILE NO.  
19-17 A100

19-17 A100



Progress Drawing For Review Only Not for Construction



Upper Level exempt from Accessibility Rules per IIO4.4, Exception #1, IMBC 2015

2ND FLOOR PLAN

2nd Floor Approximately 1,815 Square Feet

Scale: 1/4" = 1'-0"

PLAN FOR REFERENCE ONLY. NO NEW WORK

Owner Review  
Monday, June 24, 2019

ROGER L. DONALDSON AIA P.L.C.  
ARCHITECT  
41877 7th Ave. Suite 100  
Hills, Michigan 48242-9335  
Phone: (313) 664-0011  
Email: ronaldson@comcast.net

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213 N. East Street  
City of Mason, Ingham County  
Mason, Michigan 48854

PROJECT #19-17

CD	DATE	DESCRIPTION
1	06/24/19	Final Owner Review
2	06/24/19	Final Owner Review


Plat Date: 06/24/2019

SECOND FLOOR PLAN

SHEET TITLE

A1.2  
SHEET NUMBER

FILE NO.  
19-17 A100

	<p><b>City of Mason Planning Commission Staff Report</b></p>
---	--

TO: Planning Commission  
FROM: Elizabeth A. Hude, AICP, Community Development Director  
SUBJECT: 125 E. Kipp Rd. – Addition to existing building (Dollar Tree)  
DATE: July 2, 2019

---

Pacifica companies is seeking approval of a final site plan amending a previously approved site plan to build a 5,460 addition that will accommodate up to four new retailers on property located at 125 E. Kipp Rd. The proposal is shown on the following plans and documents:

- Zoning Permit Application, received June 28, 2019
- Plan set dated May 31, 2019 and revised June 28, 2019

The applicant owes a fee of \$100, and once paid, together with the plans and documents listed above, the application appears to satisfy the submittal requirements of Sec. 94-226(c).

For reference, you can find the original site plan approval November 15, 2016 planning commission packet and minutes here:

[https://www.mason.mi.us/document\\_center/Governments/Planning%20Commission/2016%20PC%20Meetings/November\\_15\\_2016%20Packet.pdf](https://www.mason.mi.us/document_center/Governments/Planning%20Commission/2016%20PC%20Meetings/November_15_2016%20Packet.pdf)

[https://www.mason.mi.us/document\\_center/Governments/Planning%20Commission/2016%20PC%20Meetings/November\\_15\\_2016%20Minutes.pdf](https://www.mason.mi.us/document_center/Governments/Planning%20Commission/2016%20PC%20Meetings/November_15_2016%20Minutes.pdf)

### **CONSTRUCTION SCHEDULE**

Construction is expected to begin in July following permit approvals.

### **LAND USE/ZONING/MASTER PLAN**

The development is proposed on a parcel zoned C-2 General Commercial District. The applicant seeks to amend a previously approved site plan. The original addition was approved for 7,000 s.f. for a total building footprint of 16,525 s.f. The addition has been reduced to 5,460 s.f. for a total overall footprint of 14,985 s.f., just under the 15,000 s.f. threshold for which a Special Use Permit is required. The addition will provide new retail space for the addition of 4 new tenants. The use of the building will comply with the authorized uses in the C-2 District Sec. 94-152.

The existing surrounding land uses, zoning, and planned future use are as follows:

	Current Land Use	Current Zoning	Future Land Use (Master Plan)
North	Undeveloped	M-1 (Light Manufacturing)	Mixed Use
West	Commercial	C-2 (General Commercial)	Mixed Use
South	Industrial	M-2 (General Manufacturing)	Industrial
East	Commercial	C-2 (General Commercial)	Mixed Use

#### **COMMENTS – DEPARTMENTS AND AGENCIES**

Staff circulated the application and plans to city staff and agencies with jurisdiction over the project on July 1, 2019. The following comments were received:

BUILDING OFFICIAL	<i>Building permit has been reviewed and is ready to issue for shell only and will need to be revised to meet the conditions of the zoning permit. Future tenant buildouts will require additional building permits.</i>
CITY ENGINEER	<i>The sanitary sewer lead needs to be revised to SDR 26.</i>
DPW	<i>The plans indicate a 2" water service for the four retail spaces. Revise to provide individual 1" service, 1" meter and outside curb box shut off for each space. Provide a 3/4" wall penetration conduit to run wire through, and mounting space for the meter transmitter box for each space.</i>  <i>There is an 8" water main stubbed for fire protection to the building. This needs to be connected or the applicant must install a flushing hydrant.</i>
FIRE	<i>Review pending.</i>
POLICE	<i>Review pending.</i>
Ingham County Drain Commission	<i>Review pending.</i>

#### **STAFF REVIEW**

Staff finds that the Site Plan appears to meet the standards for Final Site Plan Approval with the requested conditions noted below. Comments are provided below as findings of fact related to the requirements and standards listed.

**§94-227. Standards for site plan review and approval.** In reviewing an application for site plan review and approval the following standards shall apply:

STATUS/ NOTE	REQUIREMENT
M = Appears to meet requirement; D = Does not appear to meet requirement; I = Information Needed; R = Recommendation; W = Waiver Requested; <i>Italics = Staff comments</i>	
M/R	(1) The site shall be developed so that all elements shall be harmoniously and efficiently organized in relation to the size, shape, type and topography of the site and surrounding property.  <i>Consistent with previously approved plan. No changes proposed.</i>
M	(2) The site shall be developed so as not to impede the normal and orderly development, improvement, and use of surrounding property for uses permitted in this

	chapter.
<i>Consistent with previously approved plan. No changes proposed.</i>	
M	(3) All buildings or groups of buildings shall be arranged to permit emergency vehicle access by some practical means to all sites.
<i>Consistent with previously approved plan. No changes proposed.</i>	
M	(4) Every structure or dwelling unit shall have direct access to a public street or indirect access to a public street via an approved dedicated private street.
<i>Consistent with previously approved plan. No changes proposed.</i>	
M	(5) Appropriate measures shall be taken to ensure that the addition or removal of surface waters will not adversely affect neighboring properties, that controls are in place to minimize sedimentation and erosion, and that topographic alterations are minimized to accommodate storm water management.
<i>NOTE: See (6) below.</i>	
M	(6) Provisions shall be made for the construction of storm sewer facilities including grading, gutters, piping, on-site storage, and treatment of turf as required to handle stormwater and prevent erosion.
<i>Consistent with previously approved plan. No changes proposed.</i>	
M/I	(7) Secondary containment for above ground areas where hazardous substances are stored or used shall be provided as required by the city fire chief.
<i>Staff is not aware of any hazardous substances to be stored or used on the site. Future review of this criteria will take place as part of the building permit review for interior buildout of tenant spaces.</i>	
M	(8) Exterior lighting shall be designed and located so that the source of illumination is directed away from adjacent properties, the intensity of lighting is the minimum necessary, and the direction of lighting is downward as much as is possible and appropriate for the project.
<i>Consistent with previously approved plan. No changes proposed.</i>	
M	(9) All loading and unloading areas, outside storage areas, and refuse receptacles shall be screened from casual view from the public rights-of-way and adjoining land uses.
<i>Consistent with previously approved plan. No changes proposed.</i>	
See a-c below	(10) Site plans shall meet the driveway, traffic safety, and parking standards of the city in such manner as necessary to address the following:
M	a. Safe and efficient vehicular and non-vehicular circulation, including parking areas, non-motorized linkages to abutting parcels, uses, sidewalks, and trails.
<i>Consistent with previously approved plan. No changes proposed.</i>	
M	b. Shared driveways and service drives.
<i>Consistent with previously approved plan. No changes proposed.</i>	
M	c. Adequate and properly located utilities.
<i>Consistent with previously approved plan. No changes proposed.</i>	
M	(11) Provisions shall be made for proposed common areas and public features to be reasonably maintained.
<i>Consistent with previously approved plan. No changes proposed.</i>	
See below	(12) The site plan submittal shall demonstrate compliance with all applicable requirements of this chapter, chapters 58 and 74, the building code, and county, state, and federal law.
M	Chapter 94 – Zoning and Chapter 100 – Dimensional Requirements
<i>With the exception of the amendment the proposed site plan is consistent with previously approved plan. The amendment appears to meet the requirements.</i>	
M	Sec. 94-172(d)(3)(a) Vision clearance
<i>Consistent with previously approved plan. No changes proposed.</i>	

D	Sec. 94 – Art. X Off-street Parking and Circulation
<i>The previously approved plan stated a condition that parking was to be revised to meet the requirements of Article IX. The parking plan needs to be revised.</i>	
M	Sec. 94-241 Landscape, screening and buffer requirements
<i>Consistent with previously approved plan. No changes proposed.</i>	
M	Chapter 58 - Signs
<i>Consistent with previously approved plan. No changes proposed.</i>	
NA	Chapter 74 – Subdivisions
NA	
I	Building Code
<i>A formal building permit application review will take place if the site plan is approved.</i>	
I	County, State and Federal Law
<i>See Agency Comments. The applicant is responsible for seeking and complying with additional permit requirements.</i>	

## **ACTION**

### **§94-226. Final site plan review and approval.**

The planning commission shall have the authority to approve, approve with conditions, or deny an application for final site plan review and approval. *The Planning Commission may also choose to amend the proposed resolution, or continue the review to a future time and date certain to allow for plans to be revised and/or for the applicant to provide additional information.*

### **§94-229. Extension of site plan approval.**

Approvals of a final site plan are valid for a period of 12 months. Only one extension of a final site plan may be granted for an additional 12 months at the sole discretion of the approving authority. A final site plan is deemed to have expired if a building permit has not been obtained for the development within 12 months of approval of the final site plan. A request to extend preliminary or final site plan validity shall be submitted prior to the expiration of the preliminary or final site plan.

### **§94-230. Conformance to approved site plan.**

A development project shall conform to the approved final site plan. Failure to conform to the approved final site plan shall constitute a violation of this chapter.

***However, amendments to an approved site plan can be made subject to the provisions of §94-228 Amendments to an approved site plan.***

### **§94-231. Review standards for planning commission decision.**

(a) A decision rejecting, approving, or conditionally approving a site plan shall be based upon requirements and standards contained in the zoning ordinance, other statutorily authorized and properly adopted local unit of government planning documents, other applicable ordinances, and state and federal statutes.

(b) A site plan shall be approved if it contains the information required by the zoning ordinance and is in compliance with the conditions imposed under the zoning ordinance, other statutorily authorized and properly adopted local unit of government planning documents, other applicable ordinances, and state and federal statutes.

***The applicant has submitted a Final Site Plan that, with the conditions listed, appears to contain the information required by the zoning ordinance, and will meet the standards for Final Site Plan approval.***

The following motion is offered for consideration:

**MOTION**

Motion to approve Resolution 2019-09.

**Attachments:**

1. Resolution 2019-09
2. Zoning Permit Application, received June 28, 2019
3. Plan set dated May 31, 2019 and revised June 28, 2019
4. Materials from previously approved SUP/SPR – November 11, 2016



**CITY OF MASON  
PLANNING COMMISSION  
RESOLUTION No. 2019-09**

**A RESOLUTION APPROVING AN AMENDMENT TO A FINAL SITE PLAN TO BUILD A 5,460  
ADDITION THAT WILL ACCOMMODATE UP TO FOUR NEW RETAILERS ON PROPERTY  
LOCATED AT 125 E. KIPP RD.**

**July 9, 2019**

**WHEREAS**, a request has been received from Pacifica Companies LLC, for a final site plan to be allowed to amend a previously approved site plan and construct a 5,460 addition that will accommodate up to four new retailers on property located at 125 E. Kipp Rd; and

**WHEREAS**, the subject property is further described as:

A parcel of land in the Southwest  $\frac{1}{4}$  of Section 9, T2N, R1W, City of Mason, Ingham County, Michigan, described as beginning at a point which is South 89d40'59" East (previously described as South 89d39'31" East) 210.00 feet along the South Section line and North 00d12'13" West 50.00 feet from the Southwest corner of Section 9 for the point of beginning; thence North 00d12'13" West 325.00 feet parallel with the West Section line; thence South 89d40'59" East (previously described as South 89d39'31" East) 190.00 feet; thence South 00d12'13" East 325.00 feet; thence North 89d40'59" West 190.00 feet to the point of beginning; and

**WHEREAS**, the parcel is zoned C-2 (General Commercial District); and

**WHEREAS**, Section 94-222 states that any use within the C-2 zoning district requires site plan review; and

**WHEREAS**, the Planning Commission accepts the staff report dated July 3, 2019 as findings of fact that, with the conditions listed herein, the plans will comply with the Site Plan Approval Standards listed in Section 94-227 of the Mason Code; and

**WHEREAS**, approval is granted with the following conditions:

A final site plan, properly dated, shall be submitted with the revised building permit application to include the following changes:

A final site plan, properly dated, shall be submitted with the revised building permit application to include the following changes:

1. That the parking plan be revised to conform with Article IX of the Mason Zoning Ordinance with regard to parking space standards, and
2. The plans will be updated to reflect that the sanitary sewer lead will be revised to SDR 26 as stated by the City Engineer, and
3. Water service will be revised to satisfy the comments of DPW.

**WHEREAS**, this site plan approval is valid for 12 months from the approval date listed herein.

**NOW THEREFORE BE IT RESOLVED**, that the City of Mason Planning Commission does hereby approve the amendment to a Final Site Plan to construct a new 5,460 square foot addition to a commercial building located at 12 E. Kipp Rd based on the site plan dated May 31, 2019 and revised June 28, 2019 with the following conditions:

A final site plan, properly dated, shall be submitted with the revised building permit application to include the following changes:

A final site plan, properly dated, shall be submitted with the revised building permit application to include the following changes:

1. That the parking plan be revised to conform with Article IX of the Mason Zoning Ordinance with regard to parking space standards, and
2. The plans will be updated to reflect that the sanitary sewer lead will be revised to SDR 26 as stated by the City Engineer, and
3. Water service will be revised to satisfy the comments of DPW.

**CLERK'S CERTIFICATION:** I hereby certify that the foregoing is a true and accurate copy of a resolution adopted by the City of Mason Planning Commission at its meeting held Tuesday, July 9, 2019, the original of which is part of the City of Mason Planning Commission minutes.

Yes ( )

No ( )

Absent ( )

Vacant ( )

---

Sarah J. Jarvis, Clerk  
City of Mason  
Ingham County, Michigan



# PERMIT APPLICATION

## ZONING

### Applicant— Please check one of the following:

- |                          |                              |
|--------------------------|------------------------------|
| <input type="checkbox"/> | Preliminary Site Plan Review |
| <input type="checkbox"/> | Final Site Plan Review       |
| <input type="checkbox"/> | Special Use Permit*          |
| <input type="checkbox"/> | Administrative Review        |

\* includes Preliminary Site Plan Review

### DEPARTMENT USE ONLY

Application Received: \_\_\_\_\_

Tax ID: \_\_\_\_\_

Fee: \_\_\_\_\_

Receipt #: \_\_\_\_\_

### Applicant Information:

Name: Matthew Pinder

Organization: Pacific Companies

Address: 1775 Hancock St. Ste. 200 San Diego, CA 92110

Telephone Number: 801 875 1680 Facsimile Number: \_\_\_\_\_

Interest in Property (owner, tenant, option, etc.): owner

*Note: If applicant is anyone other than owner, request must be accompanied by a signed letter of authorization from the owner.*

### Property Information:

Owner: Pacific Companies Telephone Number: 801 875 1680

Property Address: 125 E Kip Rd. Mason MI 48854

Legal Description: If in a subdivision: Subdivision Name: Hancock Lot Number: \_\_\_\_\_

If Metes and Bounds (can be provided on separate sheet): \_\_\_\_\_

### APPLICANT CERTIFICATION

By execution of this application, the person signing represents that the information provided and the accompanying documentation is, to the best of his/her knowledge, true and accurate. In addition, the person signing represents that he or she is authorized and does hereby grant a right of entry to City officials for the purpose of inspecting the premises and uses thereon to verify compliance with the terms and conditions of any Special Use Permit and/or Site Plan approval issued as a result of this application.

Signature: [Signature] Date: 6/28/19

**Requested Description:**

**Written Description:** Please use this section to describe the use or uses proposed. Attach additional pages, if necessary.

Commercial

**Available Services**

Public Water ☒ Yes ☐ No

Paved Road (Asphalt or Concrete) ☒ Yes ☐ No

Public Sanitary Sewer ☒ Yes ☐ No

Public Storm Sewer ☒ Yes ☐ No

**Estimate the Following**

Traffic Generated 4100 TBQ

Total Employees 15

Population Increase N/A

Employees in Peak Shift 9

House of Operation TBD AM to TBD PM  
SUN Day through SUN day

Total Bldg. Area Proposed 5460 / 114985

Parking Spaces Provided 61

**Project Phasing**

This project will be completed in: ☒ One Phase ☐ Multiple Phases – Total No. of Phases: \_\_\_\_\_

**Note: The phases of construction for multi-phase projects must be shown on the site plan**

**Application Materials**

The following are checklists of items that generally must be submitted with applications for Preliminary Site Plan Review, Final Site Plan Review, and Special Use Permits. Applicants should review Articles VI and VII of Chapter 94 of the Mason Code for a complete listing of application requirements. All site plan drawings must comply with the requirements of Section 94-226(d) of the Zoning Ordinance. Incomplete applications will not be processed.

- ☐ Completed application form
- ☐ 2 copies of full scale site plan drawings
- ☐ Plans submitted on CD or PDF (email is acceptable)
- ☐ Legal description
- ☐ Proof of ownership/owner authorization
- ☐ Construction schedule for proposed project
- ☐ Construction calculations for utilities
- ☐ Fee (see below)
- ☐ Any other information deemed necessary

**Application Fee**

All requests must be accompanied by a fee, as established by the City Council. The fee schedule for Preliminary Site Plan Reviews, Final Site Plan Reviews, and Special Use Permits is as follows (As of October 16, 2006):

Administrative Reviews	\$70.00
Preliminary Site Plan Reviews	\$200.00
Final Site Plan Review	\$100.00
Special Use Permits (includes preliminary site plan review)	\$275.00



Dear Ms. Hude:

On November 18<sup>th</sup>, 2016, the City of Mason Planning Commission adopted Resolution NO. 2016-12, which granted a special use permit and approved a final site plan for Pacifica Companies LLC, to construct a new commercial building at 125 East Kipp Road. Per Section 94-191(i)(1) our SUP/SP has expired.

Pacifica Companies, LLC, therefore is resubmitting an application requesting approval of (the "Resubmitted Site Plan") final site plan. The Resubmitted Site Plan will not need SUP/SP approval whereas

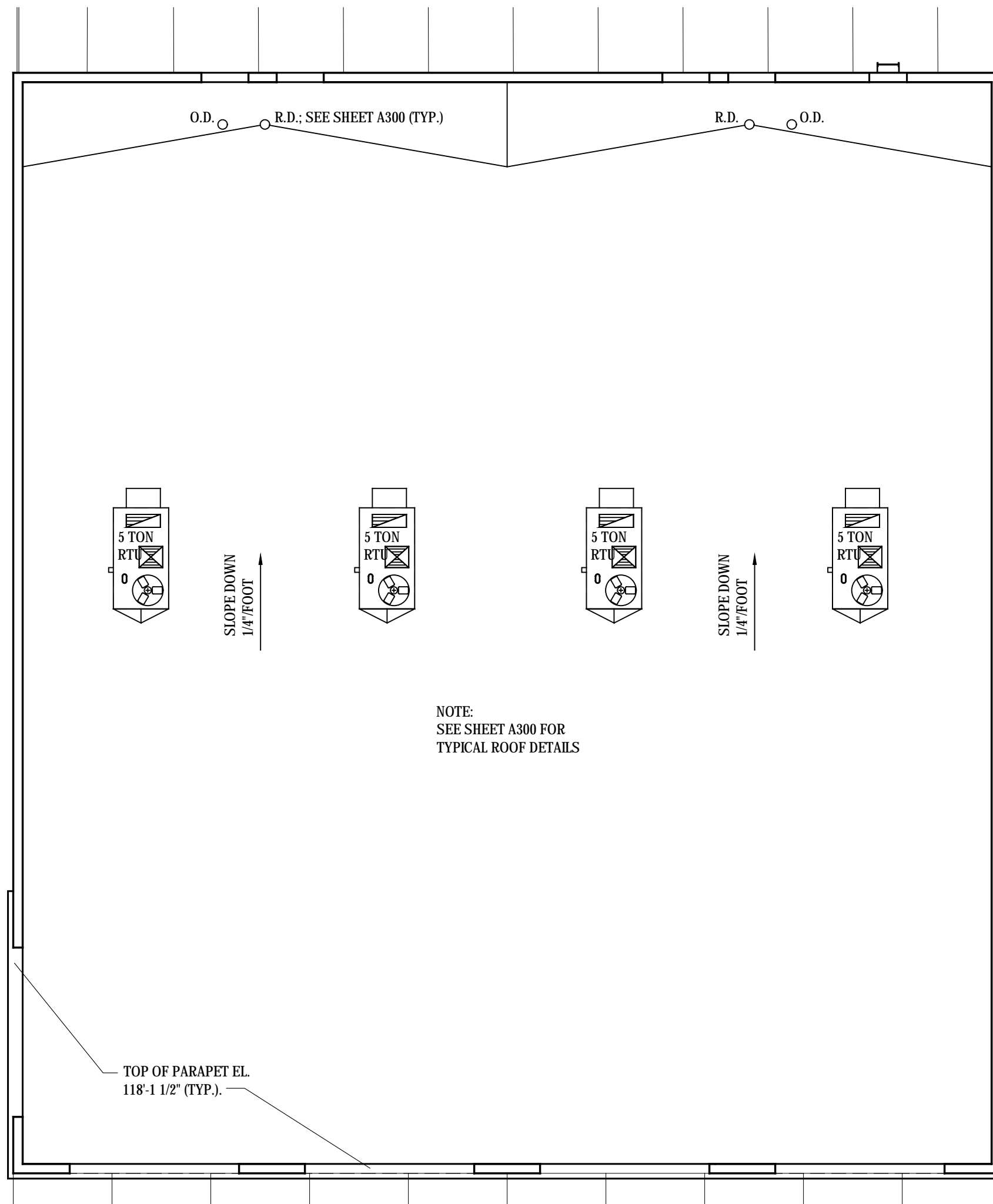
1. The Resubmitted Site Plan calls for a reduced footprint (14,985 square feet), therefore does not require a previously approved, but expired SUP/SP. The Proposed Mason Retail Building depth has been reduced from 100 feet to 78.0 feet. The width and parking remains unchanged.

Because the Resubmitted Site Plan is effectively identical to the previously Approved Site Plan, but for the reduction of Mason Retail Building depth from 100.0 feet to 78.0 feet, totaling 14,985 square feet bringing it under the threshold required for a SUP/SP. We request that you add Pacifica Companies application for Site Plan Approval and final site plan review to the agenda for the next Planning Commission meeting on Tuesday July, 9<sup>th</sup> 2019. Thank you for your consideration. If you have any questions, please contact my office.

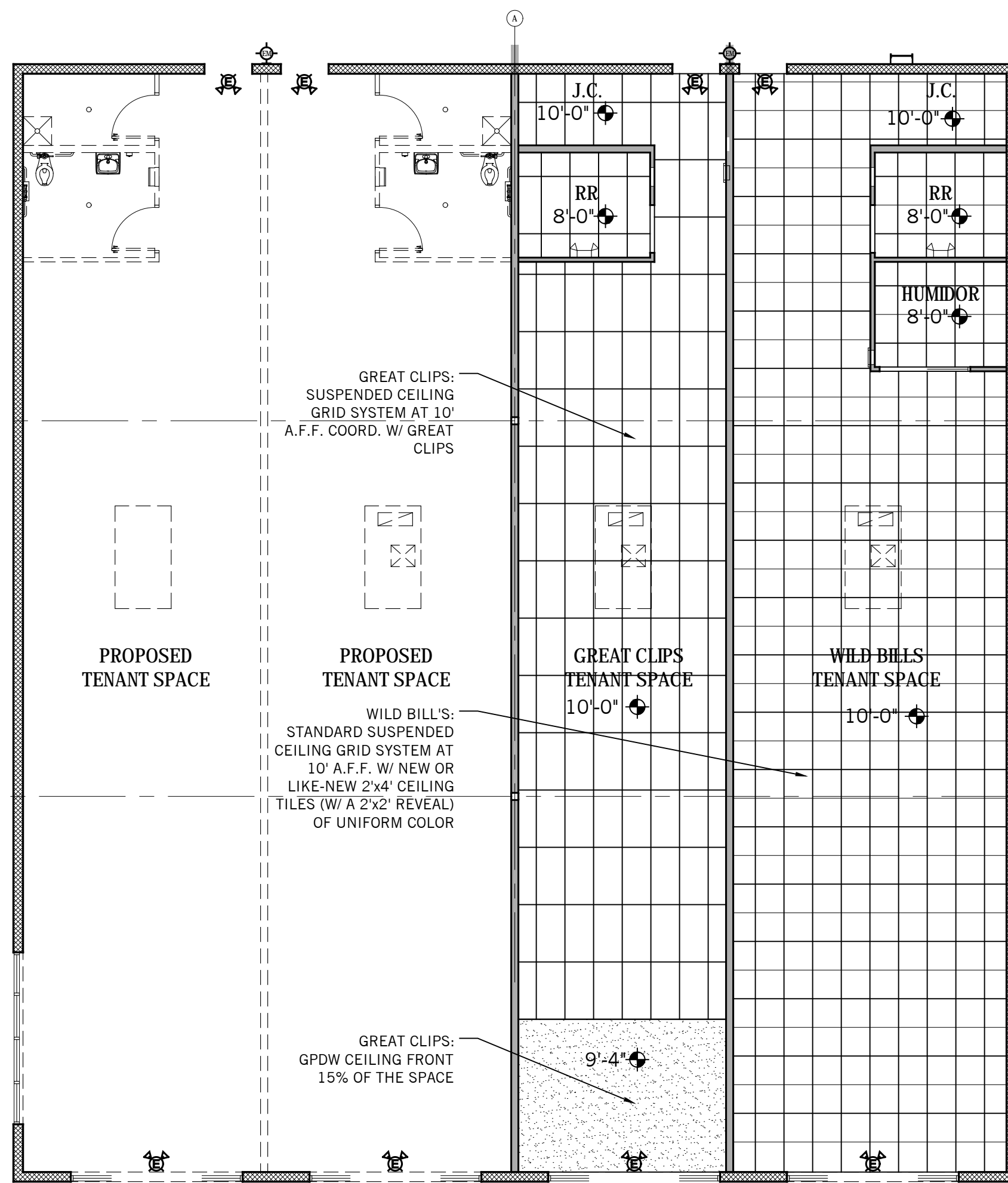
Sincerely,

Matthew Pinder

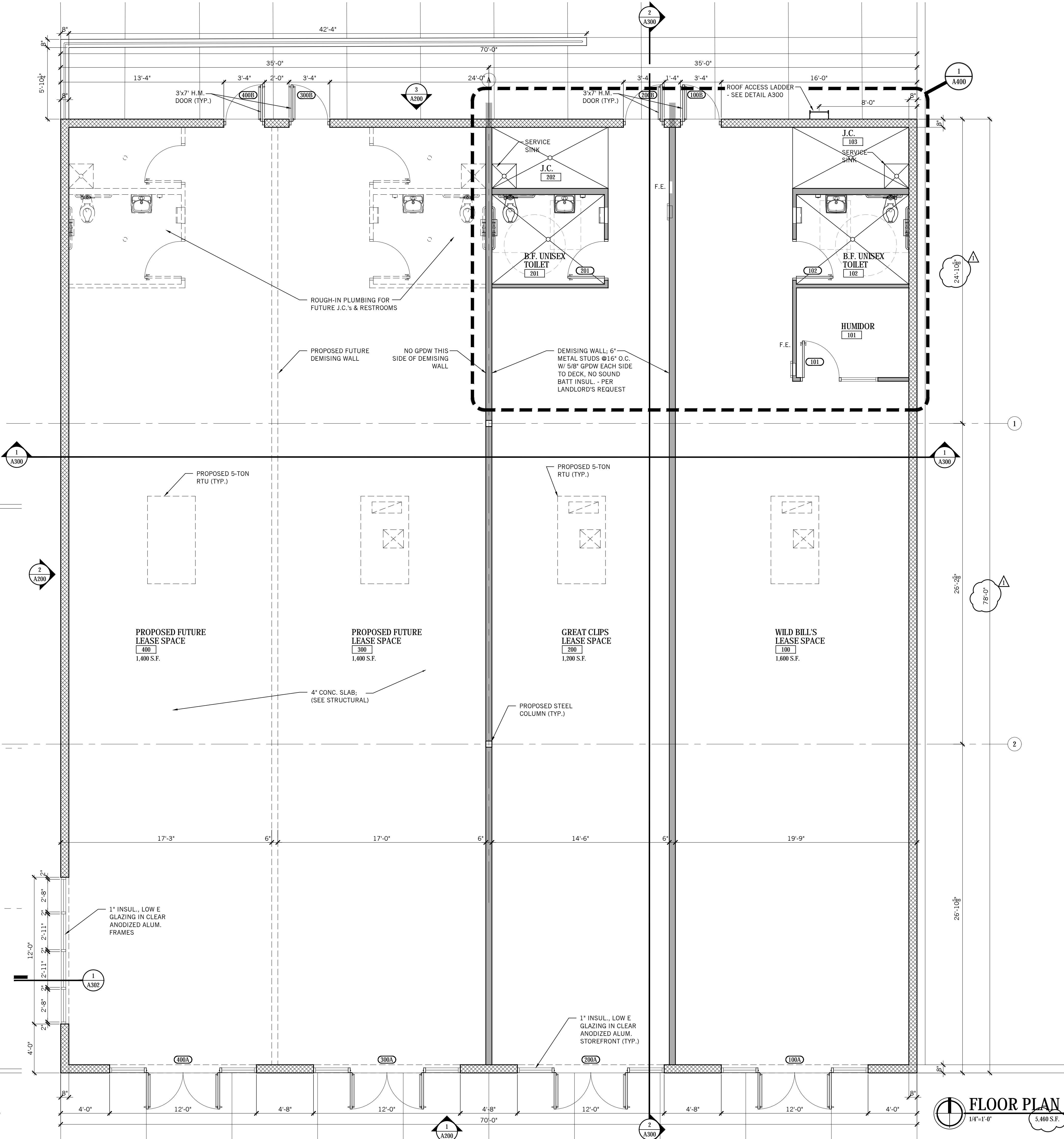
A handwritten signature in black ink, appearing to read "M. Pinder", is written over the printed name.



ROOF PLAN  
1/8"=1'-0"

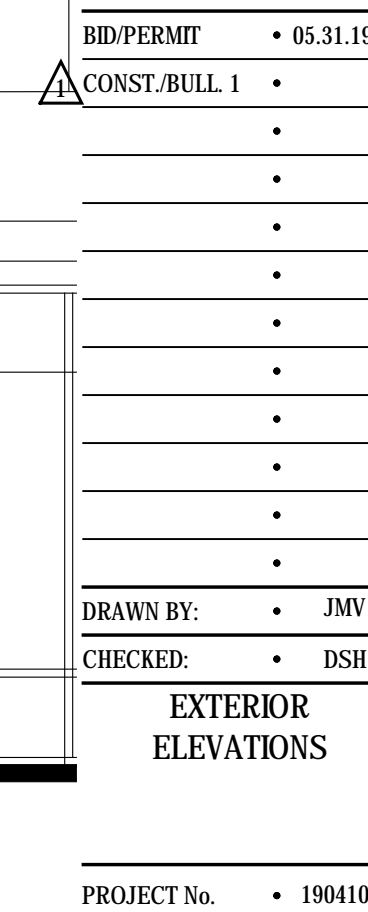
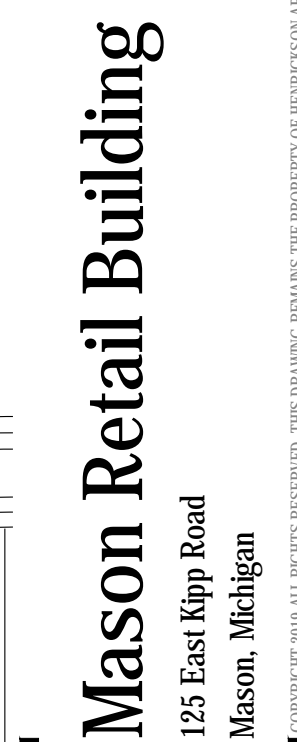
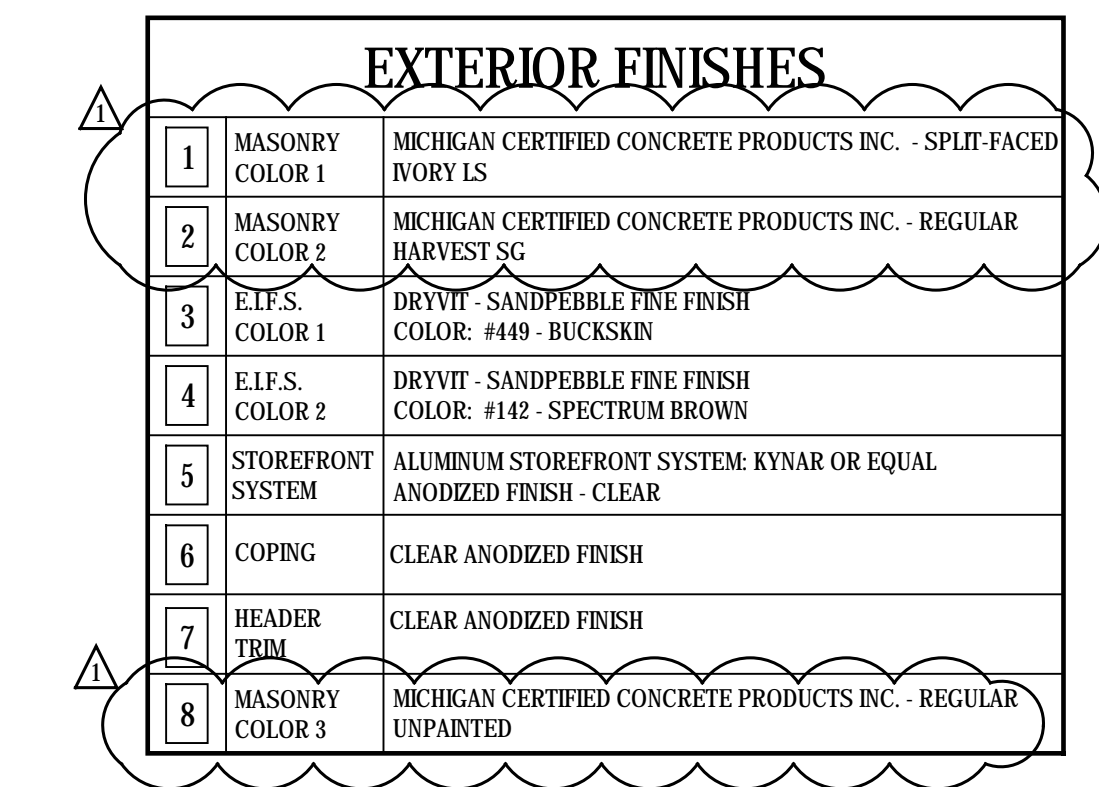


REFLECTED CEILING PLAN  
1/8"=1'-0"

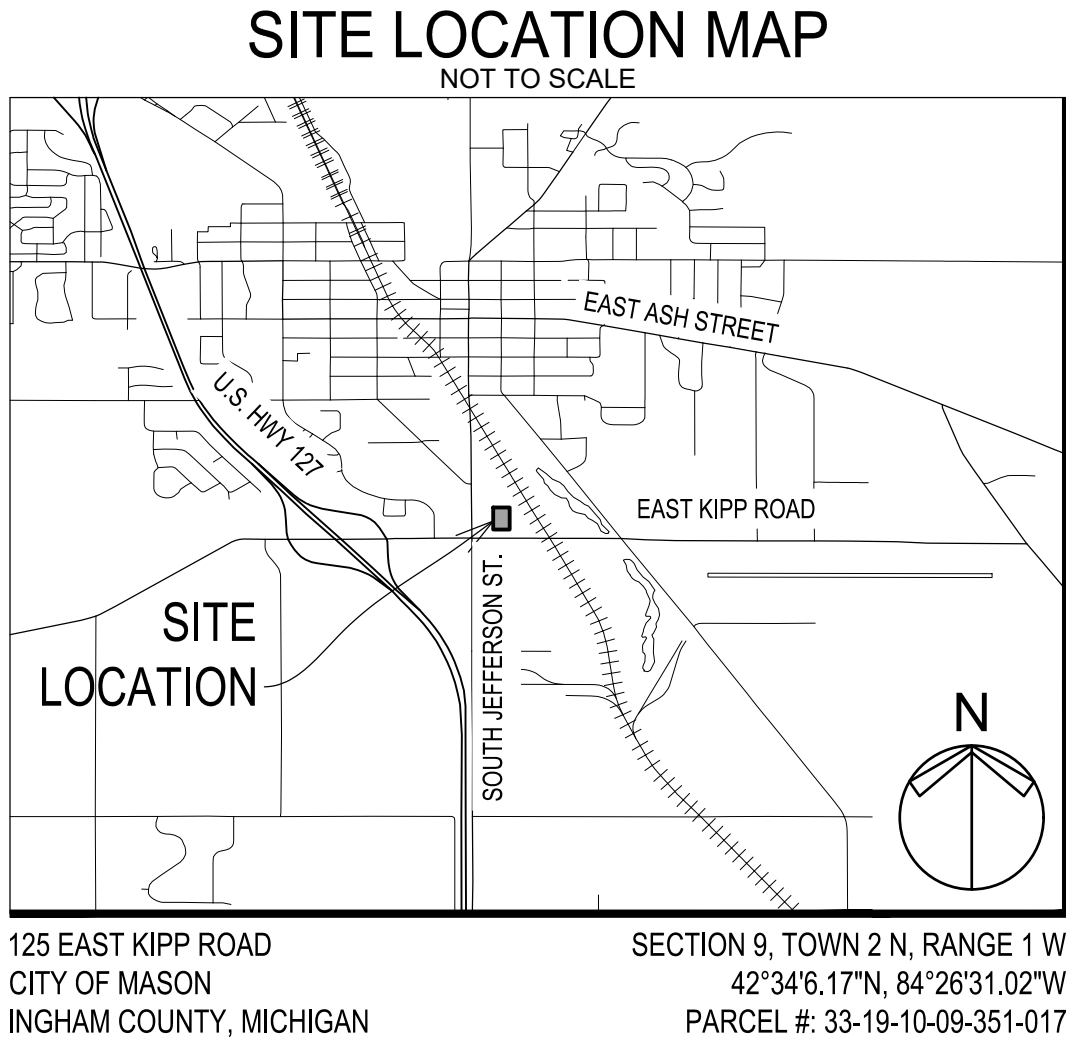
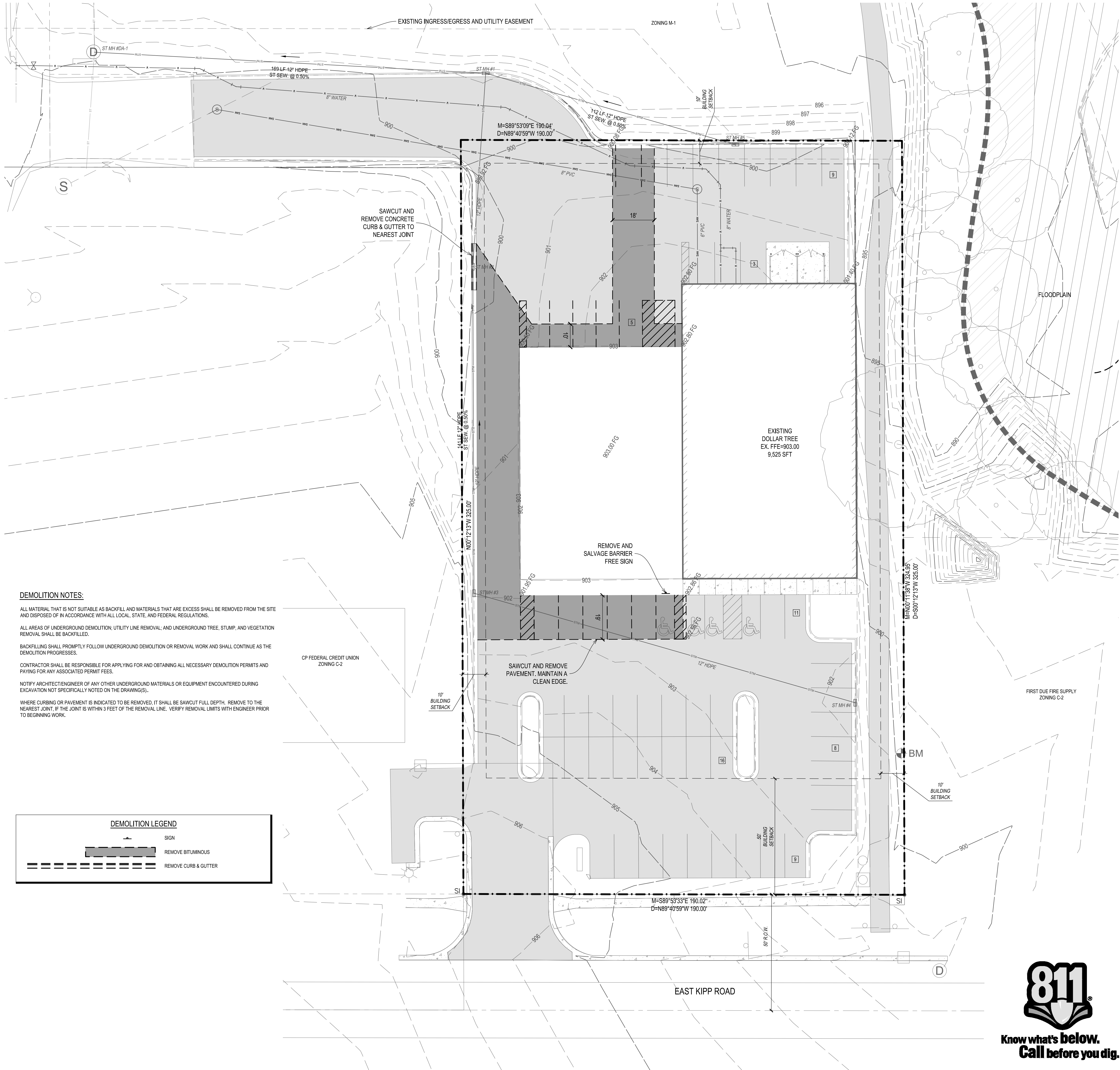


FLOOR PLAN  
1/4"=1'-0"









**SITE LOCATION MAP**  
NOT TO SCALE

125 EAST KIPP ROAD  
CITY OF MASON  
INGHAM COUNTY, MICHIGAN

SECTION 9, TOWN 2 N, RANGE 1 W  
42°34'6.17"N, 84°28'31.02"W  
PARCEL #: 33-19-10-09-351-017

**LEGAL DESCRIPTION:**  
(MIDSTATE TITLE AGENCY LLC, FILE NO. 33-18469529-0W0)

A PARCEL OF LAND IN THE SOUTHWEST 1/4 OF SECTION 9, T2N, R1W, CITY OF MASON, INGHAM COUNTY, MICHIGAN, DESCRIBED AS BEGINNING AT A POINT WHICH IS SOUTH 89°40'59" EAST (PREVIOUSLY DESCRIBED AS SOUTH 89°39'31" EAST) 210.00 FEET ALONG THE SOUTH SECTION LINE AND NORTH 00°12'13" WEST 50.00 FEET FROM THE SOUTHWEST CORNER OF SECTION 9 FOR THE POINT OF BEGINNING; THENCE NORTH 00°12'13" WEST 325.00 FEET PARALLEL WITH THE WEST SECTION LINE; THENCE SOUTH 89°40'59" EAST (PREVIOUSLY DESCRIBED AS SOUTH 89°39'31" EAST) 190.00 FEET; THENCE SOUTH 00°12'13" EAST 325.00 FEET; THENCE NORTH 89°40'59" WEST 190.00 FEET TO THE POINT OF BEGINNING.

CONTAINS 1.42 ACRES.

**SURVEY PROVIDED BY:**  
BOUNDARY & TOPOGRAPHIC SURVEY PROVIDED BY WOLVERINE ENGINEERS & SURVEYORS ON A DRAWING TITLED PACIFICA RETAIL, LLC., DATED 7/18/2016.

**BENCHMARKS:**  
NONE PROVIDED.

**FLOODPLAIN DATA:**  
THE ENTIRE SITE IS DESIGNATED 'ZONE X, AREAS TO BE DETERMINED TO BE OUTSIDE OF THE 0.2% CHANCE FLOODPLAIN' ACCORDING TO FEMA FLOOD INSURANCE RATE MAP 'COMMUNITY PANEL NUMBER 26065C0254D, EFFECTIVE DATE: 08/16/2011.

**WETLAND DATA:**  
THERE ARE NO WETLANDS ON THE SUBJECT PROPERTY BASED ON MAPPING PUBLISHED BY THE U.S. FISH & WILDLIFE SERVICE NATIONAL WETLANDS INVENTORY MAPS.

**EXISTING STRUCTURES:**

ST MH #DA-1 (4" DIA) RM=899.58 INV IN:895.12 S 12" INV IN:893.87 E 12" INV OUT:893.17 N 15"	ST MH #2 (4" DIA) RM=899.54 INV IN:894.33 S 12" INV OUT:894.53 N 12"	ST MH #4 (4" DIA) RM=901.77 INV OUT:896.47 W 12"
ST MH #1 (4" DIA) RM=898.87 INV IN:894.51 E 12" INV IN:894.51 S 12" INV OUT:894.51 W 12"	ST MH #3 (4" DIA) RM=901.95 INV IN:895.63 E 12" INV OUT:895.63 N 12"	ST MH #5 (4" DIA) RM=899.62 INV OUT:895.07 W 12"

**CIVIL SHEET INDEX:**

C-101	CIVIL EXISTING CONDITIONS AND DEMOLITION PLAN
C-102	CIVIL LAYOUT & UTILITY PLAN
C-103	CIVIL GRADING AND SWPP PLAN
C-501	CIVIL DETAILS

<div>PROPERTY IRON</div> <div>WATER</div> <div>VALVE</div> <div>HYDRANT</div> <div>MANHOLE</div>	<div>SIGN</div> <div>SANITARY SEWER</div> <div>MANHOLE</div> <div>CURB CATCH BASIN</div>	<div>TREE</div> <div>ELECTRICAL</div> <div>LIGHT POLE</div>
--	--	---

**EXISTING LEGEND**

<div>PROPERTY IRON</div>	<div>SIGN</div>	<div>TREE</div>
<div>WATER</div>	<div>SANITARY SEWER</div>	<div>ELECTRICAL</div>
<div>VALVE</div>	<div>MANHOLE</div>	<div>LIGHT POLE</div>
<div>HYDRANT</div>	<div>CURB CATCH BASIN</div>	
<div>MANHOLE</div>	<div>CONCRETE</div>	
	<div>BITUMINOUS</div>	
	<div>CURB &amp; GUTTER</div>	
	<div>PROPERTY LINE</div>	
	<div>CONTOUR LINE</div>	
<div>905</div>	<div>904</div>	
<div>WATER</div>	<div>WATER</div>	
<div>SAN</div>	<div>SAN</div>	
<div>STW</div>	<div>STW</div>	
	<div>WATER MAIN</div>	
	<div>SANITARY SEWER</div>	
	<div>STORM SEWER</div>	

NOTE: ALL UTILITIES SHOWN ARE APPROXIMATE LOCATIONS FROM FIELD DATA AND AVAILABLE INFORMATION. THEY SHOULD NOT BE INTERPRETED AS EXACT LOCATIONS NOR SHOULD THEY BE ASSUMED TO BE THE ONLY UTILITIES IN THE AREA.

0 20' 40'

811

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**STATE OF MICHIGAN**  
BRIAN T. SINNOTT  
ENGINEER  
No. 52169  
6-28-19

**PROJECT**

**MASON RETAIL**

125 EAST KIPP ROAD  
MASON, MI 48854

**CLIENT**

**RELEASE DATE**

**DATE** **DESCRIPTION**

05/31/19 PERMITS  
6/28/19 SITE PLAN APPROVAL

**PROJECT**

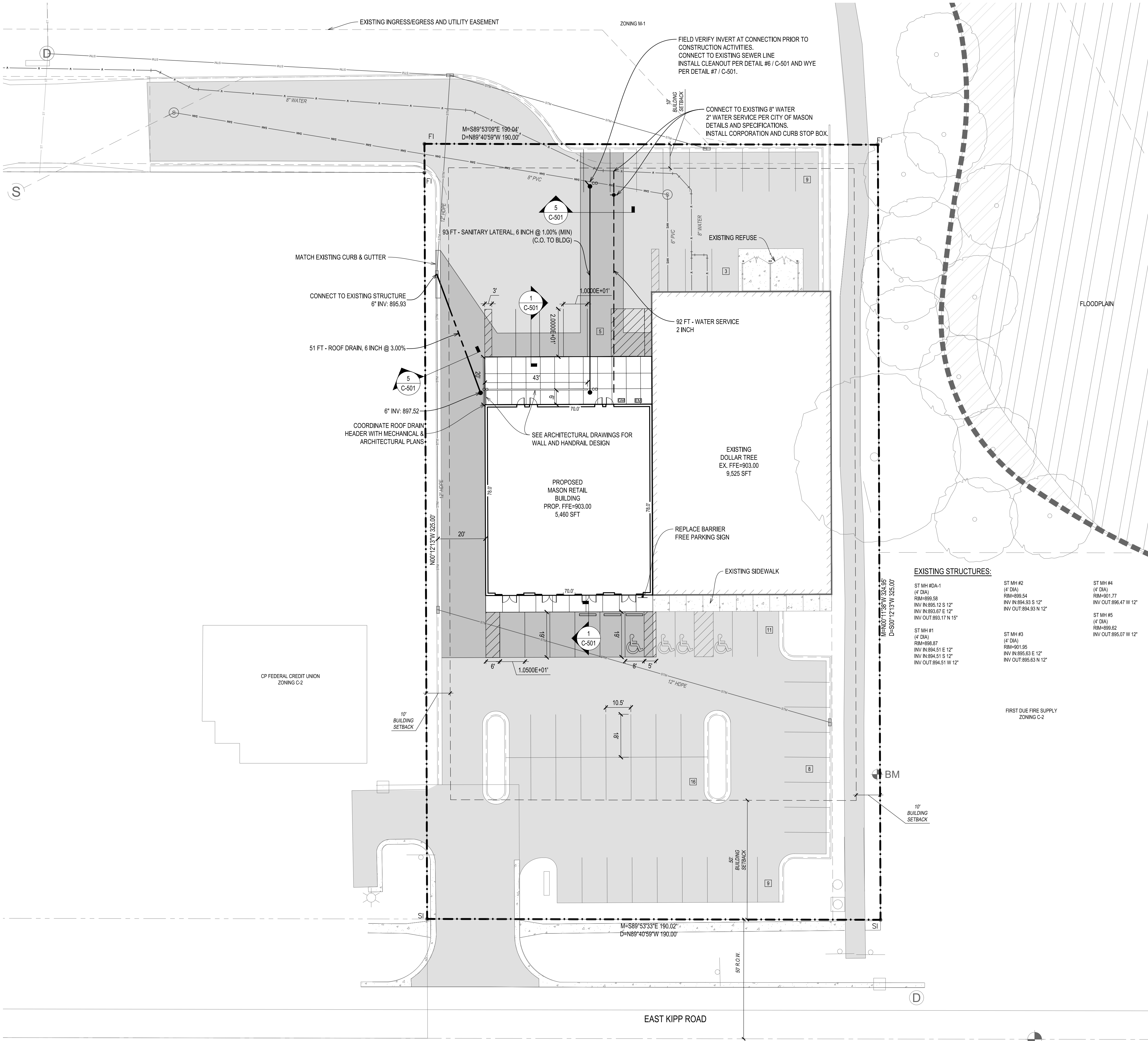
1904063GR

**SHEET**

CIVIL EXISTING  
CONDITIONS AND  
DEMOLITION PLAN

**C-101**





**GENERAL NOTES:**

REFER TO ARCHITECTURAL PLANS FOR DETAILS OF CONCRETE SIDEWALKS, WALLS, AND RAILINGS AROUND BUILDING. REFER TO FOUNDATION PLAN FOR DETAILING OF BUILDING AND EXACT BUILDING DIMENSIONS.

CONTRACTOR IS RESPONSIBLE TO OBTAIN ALL SITE RELATED PERMITS NOT BEING OBTAINED BY THE OWNER. CONTRACTOR IS REQUIRED TO COMPLETE THE APPLICATION, AND SUBMIT NECESSARY DRAWINGS, FEES, ETC. TO THE APPROPRIATE JURISDICTION. CONTRACTOR SHALL PAY ALL FEES RELATED TO PERMIT(S) AND SECURE PERMIT(S) IN HIS NAME.

CONTRACTOR IS RESPONSIBLE TO COORDINATE ALL SITE UTILITY CONNECTIONS AND INSPECTIONS WITH THE PROPER JURISDICTION AND PAY ALL ASSOCIATED FEES.

THE CONTRACTOR SHALL FIELD VERIFY LOCATION AND ELEVATION OF EXISTING WATER, SANITARY SEWER, AND STORM SEWER CROSSINGS AND CONNECTION POINTS PRIOR TO CONSTRUCTION. CONTACT ENGINEER WITH ANY DISCREPANCIES.

ALL DIMENSIONS SHOWN TO CONCRETE CURB AND GUTTER ARE TO BACK OF CURB UNLESS OTHERWISE NOTED.

ALL PAVEMENT MARKINGS SHALL BE 4" WIDE. STANDARD PARKING SPACES SHALL BE MARKED IN YELLOW AND BARRIER FREE SPACES IN BLUE. EACH BARRIER FREE SPACE SHALL BE PROVIDED WITH A PAINTED PAVEMENT SYMBOL, A PRECAST CONCRETE BUMPER BLOCK, AND A SIGN PER THE MANUAL OF UNIFORM TRAFFIC CONTROLS.

REFERENCE SOILS REPORT IN PROJECT MANUAL FOR BORING LOGS AND PREPARATION AND CONSTRUCTION PROCEDURES FOR SUBBASE AND DESIGN SECTION OF ALL PAVED AREAS.

ALL MDOT REFERENCES ARE TO THE 2012 EDITION.

**DEVELOPMENT REFERENCE:**

OWNER: WOLVERINE BUILDING GROUP  
DEVELOPER: 4045 BARDEN ST SE  
APPLICANT: GRAND RAPIDS, MI 49512  
(616) 949-3360

CIVIL ENGINEER: PARADIGM DESIGN  
550 3 MILE ROAD N.W., SUITE B  
GRAND RAPIDS, MI 49544  
(616) 785-5656

ARCHITECT: HENRICKSON ARCHITECTURE  
100 GRANDVILLE, SUITE 030  
GRAND RAPIDS, MI 49503  
616-458-5554

<b>SITE DATA:</b>	1.42 ACRES
LOT AREA:	
ZONING:	SITE = C-2, GENERAL COMMERCIAL NORTH = M-1, LIGHT MANUFACTURING EAST = C-2, GENERAL COMMERCIAL WEST = C-2, GENERAL COMMERCIAL SOUTH = M-2, GENERAL MANUFACTURING
LAND USE:	PARTIALLY DEVELOPED - PAD READY (EXISTING) COMMERCIAL (PROPOSED)
MAXIMUM BUILDING HEIGHT:	45'
FRONT BUILDING SETBACK:	50'
SIDE BUILDING SETBACK:	10'
REAR BUILDING SETBACK:	10'
<b>PARKING DATA:</b>	
REQUIRED PARKING:	1 SPACE PER 150 SFT UFA
DOLLAR TREE (6,945 SFT UFA)	46 SPACES
PROPOSED RETAIL (2,250 SFT UFA)	15 SPACES
PROPOSED PARKING COUNT:	61 TOTAL REQUIRED SPACES

**GENERAL PRIVATE UTILITY NOTES:**

PROPOSED PRIVATE UTILITY SERVICE AS SHOWN IS SCHEMATIC ONLY. ACTUAL LOCATION TO BE COORDINATED WITH INDIVIDUAL UTILITY COMPANY AND APPROVED BY OWNER.

CONTRACTOR SHALL COORDINATE LOCATION OF ALL PRIVATE UTILITIES (GAS, ELECTRIC, PHONE, CABLE, ETC.) WITH THE LOCAL UTILITY COMPANIES AND THE MECHANICAL DRAWINGS. COORDINATE ALL PRIVATE UTILITY LOCATIONS WITH ALL SUB-SURFACE SITE UTILITIES SHOWN ON THIS PLAN.

**GENERAL SANITARY SEWER NOTES:**

SITE CONTRACTOR TO END SANITARY LATERAL 5' FROM BUILDING WITH A CLEAN-OUT AND TEMPORARY CAP. COORDINATE CONNECTION WITH BUILDING PLUMBING CONTRACTOR.

SANITARY SEWER LATERALS AND FITTINGS SHALL BE PVC PER ASTM D3034, SDR 35. JOINTS TO BE ELASTOMERIC SEALS IN ACCORDANCE WITH ASTM F477.

MATERIALS, INSTALLATION, AND TESTING OF SANITARY SEWER SHALL CONFORM TO CITY OF MASON STANDARDS.

**GENERAL STORM SEWER NOTES:**

SITE CONTRACTOR TO END STORM CONNECTION 5' FROM BUILDING WITH A TEMPORARY CAP. COORDINATE CONNECTION WITH BUILDING PLUMBING CONTRACTOR.

ROOF DRAIN PIPE OR PIPE INDICATED TO BE PVC SHALL MEET THE REQUIREMENTS OF ASTM D3034, SDR 35. JOINTS TO BE ELASTOMERIC SEALS IN ACCORDANCE WITH ASTM F477.

MATERIALS, INSTALLATION, AND TESTING OF THE STORM SEWER SYSTEM SHALL CONFORM TO CITY OF MASON STANDARDS.

**GENERAL WATER SERVICE NOTES:**

SITE CONTRACTOR TO END WATER SERVICE(S) AT 5' FROM BUILDING WITH A TEMPORARY CAP. COORDINATE CONNECTION WITH BUILDING PLUMBING CONTRACTOR.

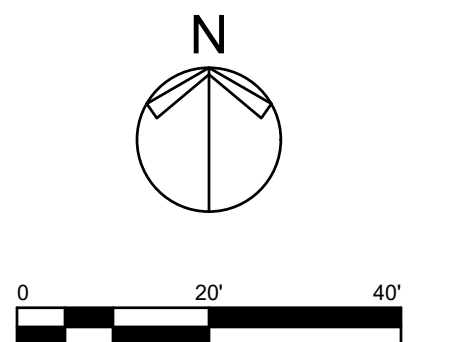
DOMESTIC SERVICE SHALL BE COPPER, TYPE K, ANNEALED AND SOFT TEMPER PER ASTM B-88. FITTINGS SHALL CONFORM TO ASTM B-88.

MINIMUM DEPTH OF BURY SHALL BE 5 FEET.

MATERIALS, INSTALLATION, AND TESTING OF WATER SERVICE LINES SHALL CONFORM TO CITY OF MASON STANDARDS AND THE STATE PLUMBING CODE.

PROPOSED LEGEND	
	GAS METER
	CLEAN OUT (DETAIL #6 / C-501)
	SIGN
	ELECTRIC METER
	BUMPER BLOCK (DETAIL #2 / C-501)
	CONCRETE SIDEWALK (DETAIL #3 / C-501)
	STANDARD DUTY BITUMINOUS
	STANDARD CURB & GUTTER
	STORM SEWER
	WATER SERVICE
	SANITARY SEWER

NOTE: ALL UTILITIES SHOWN ARE APPROXIMATE LOCATIONS FROM FIELD DATA AND AVAILABLE INFORMATION. THEY SHOULD NOT BE INTERPRETED AS EXACT LOCATIONS NOR SHOULD THEY BE ASSUMED TO BE THE ONLY UTILITIES IN THE AREA.



**PARADIGM DESIGN**  
ARCHITECTS | ENGINEERS

550 3 Mile NW, Suite B  
Grand Rapids, MI 49544  
(616) 785-5656

Grand Rapids | Phoenix | Traverse City  
www.paradigm-mi.com

**STATE OF MICHIGAN**  
BRIAN T. SINNOTT  
ENGINEER  
No. 52169  
6-28-19

BRIAN T. SINNOTT  
MI - REGISTRATION #6201052169  
EXP. DATE 10/31/2019

**PROJECT**  
**MASON RETAIL**

125 EAST KIPP ROAD  
MASON, MI 48854

**CLIENT**



**RELEASE DATE**

DATE	DESCRIPTION
05/31/19	PERMITS
6/28/19	SITE PLAN APPROVAL

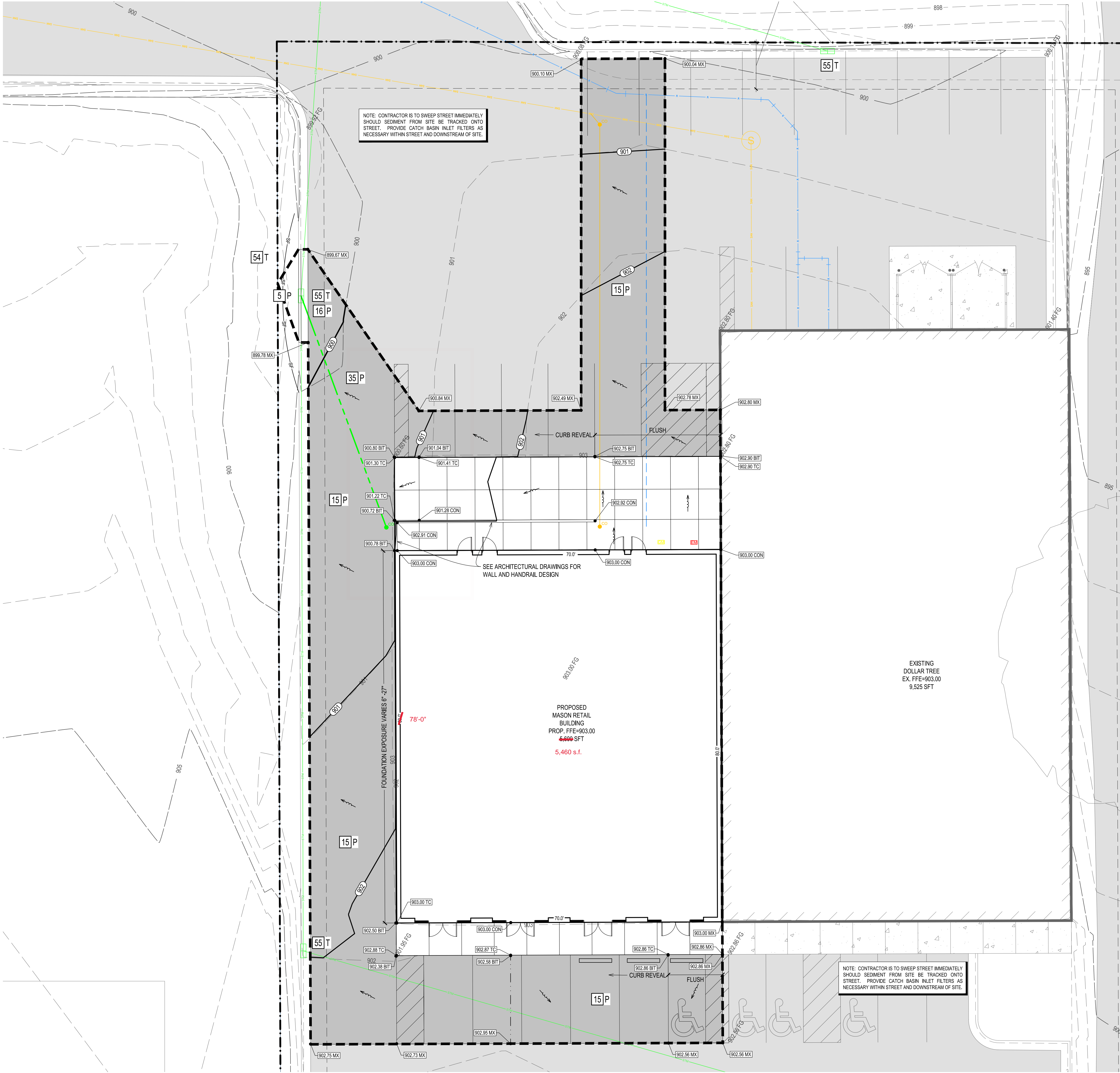
**PROJECT**

1904063GR

**SHEET**

CIVIL LAYOUT & UTILITY  
PLAN  
**C-102**





GENERAL SOIL EROSION AND SEDIMENTATION CONTROL NOTES:

IT IS THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN THE SOIL EROSION PERMIT FROM THE PROPER GOVERNING AUTHORITY.

A CONTRACTOR / INSPECTOR SHALL INSPECT THE SOIL EROSION/SEDIMENT CONTROL DEVICES ONCE EACH WEEK AND/OR WITHIN 24 HOURS OF A PRECIPITATION EVENT WHICH RESULTS IN A STORM DISCHARGE FROM THE SITE.

ALL DISTURBED NON-PAVEMENT AREAS MUST BE RESTORED WITH TOPSOIL, SEED, FERTILIZER, AND MULCH UNLESS SODDED.

SEEDING SHOULD BE PREPARED ACCORDING TO THE MANUFACTURER'S RECOMMENDATIONS. THE CONTRACTOR / INSPECTOR SHALL INSPECT THE AREA AFTER SEEDING IS COMPLETED. AREAS THAT ARE BARE OR NOT MULCHED PROPERLY WILL NEED TO BE SPOT SEEDDED AND/OR RE-MULCHED.

SILT FENCE SHOULD BE TRENCHED IN, BACKFILLED, AND STAPLED OR STAKED ACCORDING TO THE MANUFACTURER'S SPECIFICATIONS. MAINTENANCE INCLUDES THE REMOVAL OF BUILT-UP SEDIMENT WHEN THE SEDIMENT ACCUMULATES TO 1/3 TO 1/2 THE HEIGHT OF THE FENCE. CONTRACTOR SHALL REMOVE, REPLACE, RETRENCH, OR REBACKFILL THE FENCE IF IT FAILS. CONTRACTOR SHALL REINSTALL IF ANY PORTION OF THE FENCING IS DAMAGED BY CONSTRUCTION MACHINERY.

INLET FILTERS SHALL BE SILT SACKS, DANDY BAGS, OR APPROVED EQUAL. INLET FILTERS SHALL BE INSPECTED FOR BUILDUP OF SILT AND OTHER DEBRIS. THIS IS EVIDENT IF STRUCTURE IS CAUSING FLOODING. MAINTENANCE SHALL CONSIST OF REMOVING OF SEDIMENTS OR REPLACING FILTER AS NECESSARY.

SOIL EROSION CONTROL METHODS SHOWN ARE A GUIDELINE AND DO NOT RELIEVE THE CONTRACTOR FROM ADDITIONAL METHODS THAT MAY BE REQUIRED BY THE SOIL EROSION CONTROL PERMIT.

THE CONTRACTOR WILL ENGAGE A CERTIFIED STORM WATER OPERATOR IN ACCORDANCE WITH EPA PHASE II RULES TO MEET REQUIREMENTS OF THE PERMIT. THIS OPERATOR WILL INSPECT THE JOB SITE AS REQUIRED BY RULE, NOTIFY JOB SITE SUPERINTENDENT OF ANY DEFICIENCIES, AND ENTER FINDINGS IN THE JOB SITE INSPECTION JOB BOOK.

SITE SOILS CONSIST OF BRADY SANDY LOAM PER USDA NRCS MAPS.

TOTAL DISTURBED AREA = 0.31 ACRES.

CONSTRUCTION SEQUENCE

	YEAR: 2019					YEAR: 2020				
	JUNE	JULY	AUG.	SEP.	OCT.	NOV.	DEC.	JAN.	FEB.	MAY
STRIPPING & STOCKPILING TOPSOIL										
ROUGH GRADING SEDIMENT CONTROL										
TEMPORARY CONTROL MEASURES										
STORM UTILITIES										
TEMPORARY CONSTRUCTION ROADS										
PERMANENT CONTROL MEASURES										
FOUNDATION / BUILDING CONSTRUCTION										
SITE CONSTRUCTION										
FINISH GRADING										
LANDSCAPING										

GENERAL CONTRACTOR SHALL COMPLETE CONSTRUCTION SEQUENCE SCHEDULE WHEN MAKING APPLICATION FOR SOIL EROSION CONTROL PERMIT.

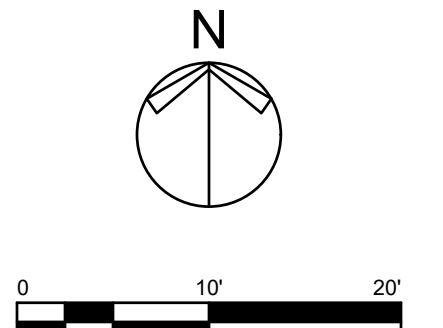
UNIFIED KEYING SYSTEM  
SOIL EROSION AND SEDIMENTATION CONTROL MEASURES

5	SEEDING	35	STORM SEWER CB CB
15	PAVING	54	GEOTEXTILE SILT FENCE
16	CURB & GUTTER	55	GEOTEXTILE INLET FILTER

PROPOSED LEGEND			
	GAS METER		CLEAN OUT
	SIGN		ELECTRIC METER
	BUMPER BLOCK		CURB STOP
	CONCRETE SIDEWALK		
	CONCRETE WALK		
	STANDARD DUTY BITUMINOUS		
	STANDARD CURB & GUTTER		
	PROPERTY LINE		
	CONTOUR LINE		
	GRADE BREAK		
	WATER SERVICE		
	SANITARY SEWER		
	STORM SEWER		
	GRADING LIMITS		
	SILT FENCE		
	TEMPORARY SOIL EROSION & SEDIMENTATION CONTROL MEASURE		PERMANENT SOIL EROSION & SEDIMENTATION CONTROL MEASURE
	SURFACE FLOW ARROW		PROPOSED SPOT GRADE
	MX MATCH EXISTING ELEVATION		TC TOP OF CURB GRADE
	CON CONCRETE GRADE		BIT BITUMINOUS GRADE

NOTE: EXISTING CONTOURS & GRADES SHOWN ARE BASED ON DESIGN GRADES. NO ADDITIONAL SURVEY HAS BEEN PERFORMED. CONTRACTOR IS RESPONSIBLE TO VERIFY ACCURACY OF ALL INFORMATION PRIOR TO CONSTRUCTION.

NOTE: ALL UTILITIES SHOWN ARE APPROXIMATE LOCATIONS FROM FIELD DATA AND AVAILABLE INFORMATION. THEY SHOULD NOT BE INTERPRETED AS EXACT LOCATIONS NOR SHOULD THEY BE ASSUMED TO BE THE ONLY UTILITIES IN THE AREA.



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PROJECT

MASON RETAIL

125 EAST KIPP ROAD  
MASON, MI 48854

CLIENT



RELEASE DATE

DATE	DESCRIPTION
05/31/19	PERMITS

PROJECT

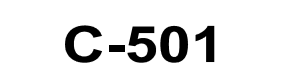
1904063GR

SHEET

CIVIL GRADING AND  
SWPP PLAN

C-103









# City of Mason


201 W. Ash St.  
P.O. Box 370  
Mason, MI 48854-0370  
www.mason.mi.us



City Hall 517 676-9155  
Police 517 676-2458  
Fax 517 676-1330  
TDD 1-800-649-3777

## MEMORANDUM

TO: Planning Commission

FROM: David E. Haywood, Zoning & Development Director 

SUBJECT: Preliminary & Final Site Plan Review & Special Use Permit – 125 E. Kipp Rd.  
(Dollar Tree/O'Reilly's)

DATE: November 11, 2016

---

The applicant is requesting preliminary site plan approval to construct a 16,525 square feet new commercial building on property located at 125 East Kipp Road. The parcel is zoned C-2 General Commercial. Section 94-142(d)(14) permits commercial buildings over 15,000 square feet by special use permit.

### LAND USE AND ZONING:

The surrounding land uses and zoning are as follows:

	Current Land Use	Zoning	Future Land Use
North	Undeveloped	M-1 (Light Manufacturing)	Mixed Use
East	Commercial	C-2 (General Commercial)	Mixed Use
South	Industrial	M-2 (General Manufacturing)	Industrial
West	Commercial	C-2 (General Commercial)	Mixed Use

### SITE PLAN REVIEW:

#### Plan Details:

A retaining wall is shown at the northeast corner of the site that separates the rear parking area from the Hayhoe Riverwalk Trail. The wall is shown encroaching the trail easement area.



Private improvements are not permitted inside a public easement. Staff recommends approval with the condition that a revised site plan be provided that relocates the retaining wall outside of the trail easement prior to final approval.

The plan shows two easements, one non-exclusive utility easement along the north edge of the site and a temporary grading easement at the northeast corner of the site. The plan should call out the recordation of the utility easement. With regard to the temporary easement, staff encourages the applicant to notify and receive approval for off-site grading from the adjacent property owner. The owner is the same party as the seller of the subject property. Approval is recommended with the condition that the applicant provide a revised site plan that calls out the recordation of the utility easement.

The plan shows that the portion of the Hayhoe Riverwalk Trail adjacent to the proposed development will be reconstructed to accommodate the proposed development. Although this is not objectionable to the City, it will require coordination with the Department of Public Works prior to the start of work for compliance with public construction standards.

There appears to be a segment of sidewalk between the east edge of the Riverwalk trail and the east property line that was not constructed. Approval is recommended with the condition that a revised site plan is submitted showing this segment of sidewalk.

The luminary schedule makes reference to light poles in excess of 20 feet. Table 100-2 limits accessory structures to 15 feet or less. Staff recommends that the luminary schedule and all references to light poles be reduced to 15 or less as a condition of approval.

**Height, Bulk, Density, and Area Requirements:**

The proposal meets the height, bulk, density and area requirements of the Code.

**Off-Street Parking & Circulation:**

The proposed parking plan does not meet the basic standards listed in Article IX of the Mason zoning ordinance. Only five of the 63 proposed parking spaces meet the minimum size requirement listed in Section 94-241(j). Many of the spaces provided do not meet the minimum width, depth, and overall area required. Approval is recommended with the condition that the applicant provide a revised parking plan that meets the basic standards listed in Article IX or is granted a variance by the Zoning Board of Appeals prior to the issuance of a building permit.

The Mason Fire Chief has provided a comment indicating that the access drive along the west side of the building should have a minimum width of 20 feet, per NFPA 1 2006 18.2.3.4.1.1. The City Engineer provided a similar comment that the drive will likely be used as a two way access drive and should be widened to accommodate two-way traffic. Staff concurs. Approval is recommended with the condition that the access drive be widened to 20 feet.

**Landscaping:**

The landscape plan and parking lot landscaping meet the requirements of the Section 94-241 of the Mason zoning ordinance. However, there appears to be a discrepancy between the parking plan shown on the site plan and the landscaping plan. The landscaping plan shows two oak trees

in the front parking area, but the site plan does not show a landscape island equally. Approval is recommended with the condition that a revised parking plan and site plan showing agreement with regard to landscape islands.

**Construction Schedule:**

The applicant has provided a construction schedule indicating that the project will start upon the receipt of all necessary permits. However, no completion date was provided.

**PUBLIC SERVICES AND FACILITIES:**

**Streets, Traffic, and Site Access:**

East Kipp Road is a four-lane street and is under the jurisdiction of the Ingham County Road Department. No changes are proposed to Kipp Road.

**Water, Sanitary Sewer and Storm Water Management:**

The City Engineer has provided comments in his letter dated November 2, 2016. His comments include concurrence from the Public Works Director and Public Works Supervisor. The following is a summary of the City Engineer's comments and include but are not limited to the following:

- Manholes functioning as catch basins shall have sumps
- Catch basins should be fitted with a trap and hood
- Storm water management plan shall be provided
- Fire suppression line should be split from domestic water prior to entering the building
- Soil erosion permit will be required by the Ingham County Drain Commissioner
- Retaining wall detail shall be provided
- Cross section of the trail to be re-constructed shall be provided

Approval is recommended that the applicant provide a revised site plan addressing the comments listed in the City Engineer's letter prior to final approval.

Pursuant to City Council Resolution No. 2005-49, the City requires a written drainage facility maintenance agreement between the City and the property owner insuring that they will properly maintain their private storm water drainage system, bearing all expenses. This agreement is recommended as a condition of approval.

**Additional Agency Comments:**

Comments from the remaining agencies are attached. No additional concerns have been received regarding this site plan review at this time.

**NOTIFICATION:**

Fifty-four letters were sent out notifying the public of this request. As of the writing of this report one response has been received opposing the request, which is included in your packet.

**ANALYSIS:**

It appears that the site and proposed use will comply with the site plan review standards listed in Sections 94-227 of the Code, provided the previously noted conditions are met.

In addition to these standards, Section 94-191(f) of the Mason Code provides the Basis of Determination for Special Use Permits. These standards must be met before a Special Use Permit can be approved. The standards and staff commentary regarding compliance follow:

- (1) *Be designed, constructed, operated, and maintained so as to be harmonious and appropriate in appearance with the existing or intended character of the general vicinity and that such a use will not change the essential character of adjacent property or the zoning district in which it is proposed.*

The location is currently zoned for commercial use. The use appears to be harmonious with the general surroundings and character of the immediate vicinity.

- (2) *Not be hazardous or disturbing to uses in the same general vicinity and will be a substantial improvement to property in the immediate vicinity and to the community as a whole.*

Provided the mitigating improvements listed in this staff report and accompanying resolution, staff is not aware of any additional conflicts of a hazardous or disturbing nature associated with the proposed use.

- (3) *Be served adequately by essential facilities and services, such as highways, streets, police and fire protection, drainage structures, refuse disposal, water and sewage facilities, and schools.*

The use is proposed in an area currently served by public water, sanitary sewer and other necessary facilities.

- (4) *Not create additional requirements at public cost for public facilities and services.*

It does not appear that the proposed use will create additional public costs.

- (5) *Not involve uses, activities, processes, materials, and equipment or conditions of operation that will be detrimental to any person, property, or the general welfare by noise, fumes, glare, or odors.*

Staff is not aware of any conflicts of this nature.

- (6) *Not be located such that it will directly or indirectly have a substantial adverse impact on the natural resources of this city.*

Staff is not aware of any conflicts of this nature.



- (7) *Be in compliance with other applicable local, county, state, or federal rules and regulations.*

It appears that the proposed use is in compliance, provided the specified conditions of approval are met.

**RECOMMENDATION:**

**The Planning Commission approve Resolution.**

**Attachments:**

1. Resolution
2. Application
3. Agency Comments
  - a. City of Mason Fire Chief
  - b. Ingham County Drain Commissioner
  - c. City Engineer
  - d. Ingham County Health Department
  - e. City of Mason POTW Supervisor
4. Letter from Jim & Shelly Duthie
5. Site Plan

Introduced:  
Seconded:

**CITY OF MASON  
PLANNING COMMISSION RESOLUTION**

**A RESOLUTION APPROVING A PRELIMINARY AND FINAL SITE PLAN AND  
SPECIAL USE PERMIT TO CONSTRUCT A NEW 16,525 SQUARE FOOT  
COMMERCIAL BUILDING LOCATED AT 125 EAST KIPP ROAD**

**November 15, 2016**

**WHEREAS**, a request has been received from Pacifica Companies LLC, for preliminary and final site plan and special use permit approval to be allowed to construct a new commercial building at 125 East Kipp Road; and

**WHEREAS**, the subject property is further described as:

A parcel of land in the Southwest ¼ of Section 9, T2N, R1W, City of Mason, Ingham County, Michigan, described as beginning at a point which is South 89d40'59" East (previously described as South 89d39'31" East) 210.00 feet along the South Section line and North 00d12'13" West 50.00 feet from the Southwest corner of Section 9 for the point of beginning; thence North 00d12'13" West 325.00 feet parallel with the West Section line; thence South 89d40'59" East (previously described as South 89d39'31" East) 190.00 feet; thence South 00d12'13" East 325.00 feet; thence North 89d40'59" West 190.00 feet to the point of beginning; and

**WHEREAS**, upon compliance with the conditions listed herein, the plans will comply with the site plan review standards listed in Section 94-227 of the Mason Code; and

**WHEREAS**, upon compliance with the conditions listed herein, the plans will comply with the special use permit basis of determination standards listed in Section 94-191(f) of the Mason Code; and

**WHEREAS**, approval is granted with the condition that the applicant shall submit a revised site plan with the following changes prior to final site plan approval:

- 1) The retaining wall shall be relocated outside of the trail easement area, and
- 2) The applicant provide authorization from the adjacent land owner for the temporary grading easement, and
- 3) The segment of sidewalk be shown between the east side of the Hayhoe Riverwalk Trail and the east property line, and
- 4) That the parking plan be revised to conform with Article IX of the Mason Zoning Ordinance with regard to parking space standards, or the applicant be granted a variance for the proposed plan, and
- 5) The access drive along the west property line be widened to 20 feet and permitted for two-way traffic, and

- 6) That the plans address the concerns expressed by the City Engineer in his letter of November 2, 2016, are adequately addressed to the satisfaction of the City Engineer, and
- 7) A revised landscape plan be provided that shows agreement with the site plan relative to landscape islands; and

**WHEREAS**, approval is granted with condition that the applicant provide an executed Drainage Facilities Maintenance Agreement prior to the issuance of an occupancy permit; and

**NOW THEREFORE BE IT RESOLVED**, that the Mason Planning Commission does hereby approve a Preliminary and Final Site Plan and Special Use Permit to construct a new 16, 525 square foot commercial building located at 125 East Kipp Road based on the site plan dated October 14, 2016.

Yes ( )

No ( )



## APPLICATION – SITE PLAN REVIEW/SPECIAL USE PERMIT

### **City of Mason**

Planning Department • 201 W. Ash Street • Mason, MI 48854

Phone: 517/676-9155 • Fax: 517/676-1330

www.mason.mi.us

#### **Applicant– Please check one of the following:**

	Preliminary Site Plan Review
X	Final Site Plan Review
X	Special Use Permit*
	Administrative Review
* includes Preliminary Site Plan Review	

#### **PLANNING DEPARTMENT USE ONLY**

Application Received: 10/14/16

Tax ID: 09-351-017

Fee: \$375.-

Receipt #: 100199320

100199792

#### **I. APPLICANT INFORMATION**

Name PANKAJ MAHAJAN

Organization PACIFICA COMPANIES

Address 1775 HANCOCK ST, SUITE 200 SAN DIEGO, CA 92110

Telephone Number (619) 296-9000

Facsimile Number \_\_\_\_\_

Interest in Property (owner, tenant, option, etc.) OWNER

**Note:** If applicant is anyone other than owner, request must be accompanied by a signed letter of authorization from the owner.

#### **II. PROPERTY INFORMATION**

Owner RGH INVESTMENT COMPANY, LLC

Telephone Number \_\_\_\_\_

Property Address 125 E KIPP RD MASON, MI 48854

Legal Description: If in a Subdivision: Subdivision Name \_\_\_\_\_ Lot Number \_\_\_\_\_

If Metes and Bounds (can be provided on separate sheet): SEE ATTACHED

#### **APPLICANT CERTIFICATION**

By execution of this application, the person signing represents that the information provided and the accompanying documentation is, to the best of his/her knowledge, true and accurate. In addition, the person signing represents that he or she is authorized and does hereby grant a right of entry to City officials for the purpose of inspecting the premises and uses thereon to verify compliance with the terms and conditions of any Special Use Permit and/or Site Plan approval issued as a result of this application.

Signature [Signature]

Date 10/14/16

### III. REQUEST DESCRIPTION

- A. Written Description – Please use this section to describe the use or uses proposed. Attach additional pages, if necessary.

COMMERCIAL

#### B. Available Services

Public Water ☒ YES ☐ NO  
Public Sanitary Sewer ☒ YES ☐ NO

Paved Road (Asphalt or Concrete) ☒ YES ☐ NO  
Public Storm Sewer ☒ YES ☐ NO

#### C. Estimate the Following

Traffic Generated <1000 TBD & <100 PTPD

Total Employees 10 Shifts 2

Population Increase N/A

Employees in Peak Shift 5

Hours of Operation TBD AM to TBD PM  
SUN day through SUN day

Total Bldg. Area Proposed 16,525

Parking Spaces Provided 66

#### D. Project Phasing

This project will be completed in: ☒ One Phase ☐ Multiple Phases – Total No. of Phases: \_\_\_\_\_

**Note: The phases of construction for multi-phase projects must be shown on the site plan**

### IV. APPLICATION MATERIALS

The following are checklists of items that generally must be submitted with applications for Preliminary Site Plan Review, Final Site Plan Review, and Special Use Permits. Applicants should review Articles VI and VII of Chapter 94 of the Mason Code for a complete listing of application requirements. All site plan drawings must comply with the requirements of Section 94-226(d) of the Zoning Ordinance. Incomplete applications will not be processed.

- ☐ Completed application form
- ☐ 20 copies of site plan drawings is larger than 11" x 17" (**30 copies for Special Use Permits**)
- ☐ 1 – 11" x 17" copy of the site plan
- ☐ Plans submitted on CD (Commercial only)
- ☐ Legal description
- ☐ Proof of ownership/owner authorization
- ☐ Construction schedule for proposed project
- ☐ Construction calculations for utilities
- ☐ Fee (see below)
- ☐ Any other information deemed necessary

**Application Fee** – all requests must be accompanied by a fee, as established by the City Council. The fee schedule for Preliminary Site Plan Reviews, Final Site Plan Reviews, and Special Use Permits is as follows (As of October 16, 2006):

<u>Administrative Reviews</u>	\$70.00
<u>Preliminary Site Plan Reviews</u>	\$200.00
<u>Final Site Plan Review</u>	\$100.00
<u>Special Use Permits</u> (includes preliminary site plan review)	\$275.00
<u>Engineering Review</u>	\$220.00*

\*Two-hour minimum fee for projects increasing demand on public utilities. Actual fees incurred are billed to applicant upon completion of review.



V. **APPLICATION DEADLINES**

**Preliminary Site Plan/Special Use Permit Review** – Applications for Preliminary Site Plan Review may be submitted at any time. Complete applications must be received a minimum four (4) weeks prior to a Planning Commission meeting to be placed on the agenda. Upon receipt of a complete application, a public hearing will be scheduled for the next regularly scheduled meeting (for Special Use Permits only). The Planning Commission has the final authority to approve, approve with conditions or deny an application for Preliminary Site Plan/Special Use Permit Review. The Planning Department staff will issue a letter to the applicant advising of any changes or revisions that may be necessary prior to making application for Final Site Plan Review.

**Final Site Plan Review** – Complete applications must be received a minimum of four (4) weeks prior to a Planning Commission meeting to be placed on an agenda. The Planning Commission has the final authority to approve, approve with conditions or deny an application for Final Site Plan Review. Planning Commission meetings are held on the second Tuesday after the first Monday of every month, unless the Tuesday is a Township recognized holiday, in which case the meeting is held on the following day (Wednesday).

VI. **STAFF REPORT**

The Planning Department Staff will prepare a report to the Planning Commission regarding an application for Preliminary Site Plan Review, Final Site Plan Review or Special Use Permit. The report will explain the request and review whether it complies with the zoning standards of the Mason Code. Staff will present the findings of that report during the Planning Commission meeting. An applicant who wishes to obtain one (1) copy of that report, at no cost, prior to the meeting must provide a written request to the Planning Department. The report is generally complete on the Friday before the meeting and can be mailed to the applicant or picked up by the applicant in the Planning Department.

our **people** and our **passion** in every **project**



October 14, 2016

Mr. David Haywood  
Zoning & Development Director  
City of Mason  
201 W. Ash Street  
Mason, MI 48854  
517-978-0206

RE: Final Site Plan and Special Use Review for Dollar Tree

Dear Mr. Haywood:

Pacifica Companies is proposing to construct an approximately 16,525 square foot commercial building on parcel 33-19-10-09-351-017. The proposed structure will require a special use permit for an additional 1,525 square feet over the allowed 15,000 square feet. As it relates to this request, please find enclosed the following information for your consideration:

- The completed Special Use Application and package;
- Thirty (30) full-size copy of the proposed plans;
- One (1) 11x17 size copy of the proposed plans;
- A response letter to the administrative review comments;
- One (1) check for the amount of \$220 for engineering review;
- One (1) check in the amount of \$100 for final site plan review;
- One (1) check in the amount of \$275 for Special Use;
- Stormwater detention calculations;
- Purchase agreement for the property;

Pacifica Company is looking to begin construction as soon as the project is completely permitted. Electronic copies of the information listed above (along with this cover letter) will be e-mailed to you for your records.

In the meantime, should you have any questions about the enclosed material or if you require any additional information, feel free to contact me by phone at (517) 827-8670 or e-mail at [rblasey@bergmannpc.com](mailto:rblasey@bergmannpc.com).

Sincerely,

**BERGMANN ASSOCIATES**

Richard Blasey, PE

Enclosures



our people and our passion in every project



#### LEGAL DESCRIPTION

A parcel of land in the Southwest 1/4 of Section 9, T2N, R1W, City of Mason, Ingham County, Michigan, described as beginning at a point which is South 89°40'59" East (previously described as South 89°39'31" East) 210.00 feet along the South Section line and North 00°12'13" West 50.00 feet from the Southwest corner of Section 9 for the point of beginning; thence North 00°12'13" West 325.00 feet parallel with the West Section line; thence South 89°40'59" East (previously described as South 89°39'31" East) 190.00 feet; thence South 00°12'13" East 325.00 feet; thence North 89°40'59" West 190.00 feet to the point of beginning.





## City Manager's Report: June 28, 2019

### ACTIVE PROJECTS STATUS UPDATES (PROJECTS NOT COORDINATED BY THE CITY)

Project Name	Status
322 S. Jefferson Commercial Bank – Mural	Staff has received an application for a Sign and Certificate of Appropriateness from the Historic District Commission (HDC) to paint a mural and the installation of 5 display boxes on the south façade of Commercial Bank facing Ingham Court. The HDC will review the request at their regular meeting on July 15.
700 Eden Road Michigan Packaging	A request has been received from Michigan Packaging for final site plan approval to construct a 160 sq. ft. addition to serve as a truck driver entrance on the south side of the existing office facility. Staff is working to coordinate a meeting for the joint Vevay and Mason Planning Commission to review the request in July as the site is located in a 425 District.
125 E. Kipp Rd Dollar Tree	Pacifica companies is seeking approval of a final site plan amending a previously approved site plan to build an addition that will accommodate up to four new retailers. The Planning Commission is expected to consider the request at their regular meeting on July 9.
213 East Street	A request has been received from Service Master, Inc. for joint preliminary and final site plan approval related to a change of use and construction of an 11-space parking lot. The Planning Commission will review the request at their regular meeting on July 9.
202 & 206 Mason Street, 332 Center Street	Staff is currently waiting for information to complete the land combination application; a building permit application is expected in the near future.
318 W. Kipp - Klavon's 228 W. Kipp - Klavon's	A Certificate of Occupancy is being evaluated. Staff has met with and continues to work with property owners toward a Special Use/Site Plan Application for the development of the overflow parking lot at 228 W. Kipp.
322 S. Jefferson Commercial Bank	Building permits are active for interior renovation of offices on the second floor.
402 S. Jefferson (former Baja Grill)	The building permit is active for interior and exterior renovations.
201 W. Ash City Hall	Anticipate installation of T-Mobile equipment to begin when time permits for company.
154 W. Maple (former shoe store)	Building permit has been issued. A Letter of Intent is being issued for support of the project at a lower amount than requested. Developer is evaluating the feasibility of the project.
600 Buhl St. Ingham Animal Shelter	Certificate of Occupancy has been issued. Demolition of old structure in progress.
652 Hull Rd Goodwill	Building permit application is under review.
400 S. Cedar St Harvey Education Center	State building permit active for construction of new addition as part of the Phase 1 Bond Project. More information available at: <a href="http://bondprojects.masonk12.net/">http://bondprojects.masonk12.net/</a> .
801 N. Cedar St. (City Limits)	Building permit application is under review to construct a 4,828 sq ft addition along with additional parking.
525 N. Cedar	Building permit is active for Timeless Treasures, for the renovation of an existing building to be used as an antique mall with vendor spaces.
<b>SUBDIVISIONS</b>	<i>Subdivisions require three stages of approval before site plan approval and building permits can be issued: (1) Tentative Preliminary Plat, (2) Final Preliminary Plat, (3) Final Plat.</i>
Enclave at Rayner Ponds Subdivision (19 lots, 1 park)	The City has approved a Tentative Preliminary Plat (Stage 1) and is waiting to receive an application for Final Preliminary Plat (Stage 2).
Rayner Ponds – Phase 4 Subdivision (16 lots)	The City approved a Tentative Preliminary Plat in January of 2018 (Stage 1). City Council approved the Final Preliminary Plat (Stage 2) on January 21, 2019. The applicant will submit a Final Plat for approval (Stage 3) next.

## OPERATIONS AND COMMUNITY RELATIONS

- Clarification to the amended budget SAR from June 17, 2019 – The ending 18/19 fiscal year budgeted unassigned general fund balance is estimated at 33.42%. The projected ending unassigned general fund balance for 19/20 fiscal year is 20.2%. Cash being used in 19/20 equates to \$849,250.
- Officer Bradley and Officer Demo attended Standard Field Sobriety Testing (SFST) training from OSHP which is utilized in driving under the influence investigations, report writing and court testimony.
- Officer Flores and Officer Croley attended a personal and professional development seminar called “Bullet Proof Mind” taught by U.S. Army Lt. Col. Dave Grossman (Ret.) who is a nationally known expert, author, speaker and former professor about causes of mass violence and violence by our youth.
- The Central Michigan Amateur Radio Club (CMARC) who were set-up over the weekend in Rayner Park for their Field Day.
- The Ingham County Drain Commissioner will be attending the July 15, 2019 City Council meeting to discuss the proposed Rayner Drain project impacting Rayner Park.
- The Mayor and Mayor Pro Tem have requested an MML facilitated discussion on how the Council can operate even more effectively. The MML has provided the following dates. September 28, October 5, October 19 and October 26. There will be an action item on the next agenda to finalize a date and anything Councilmembers would like added to the agenda.
- The City received notice that Gestamp Mason LLC filed a Property Tax Petition to the Michigan Tax Tribunal for Parcel #33-19-10-16-100-024 for 2019. The amount of assessed value in contention is \$5,395,780.

### Staffing Updates:

- New Hires/Promotions: None
- Open Positions: Part-time Administrative Assistant- Community Development – has been posted and closes July 12. Full-time Police Officer – 2<sup>nd</sup> Interviews have been conducted.

## LARGE CITY PROJECTS

Fiscal Year 2019-2020 projects will appear on the next City Manager’s Report.

FY 2018-2019			
Project	Project Name/Description	Status	Completed
<b>STREETS, SIDEWALKS, BRIDGES (S)</b>			
2017-S6	South St - Northbrook to City Limits	Complete	Sep
2017-S7	Avon Street - All	Complete	Sep
2017-S8	Northbrook - South to Carom Circle	Complete	Sep
2017-S9	S. Jefferson - Oak Street to Kipp Road	Work is in progress. Underground work in first two blocks is complete.	
2017-S10	Sidewalk Program – Downtown and Summerwood	Work downtown completed. Working in Summerwood.	
2018-S1	MDOT- Temple Street Safety Grant	Awaiting SHPO approval.	
2018-S32	Columbia - Cedar to US 127	Complete	Sep
<b>UTILITIES: SANITARY SEWER, STORM WATER, AND WATER DISTRIBUTION (U)</b>			
2018-U1	Utilities for Properties on Kipp Road	Complete	Sep
2017-U3.2	Waste Water Treatment Plant Upgrades Study	Complete	Oct
2017-U3.3	Design of the New DPW Facility	Delayed until future FY (2019-2020)	N/A
2017-U6	Abandon Wells by Airport	Delayed until future FY (2021-2022)	N/A
2017-U9	Northbrook - South to Carom Circle	Complete	Sep
2017-U10	S. Jefferson - Oak St to Kipp Road	See 2017-S9 above	
2017-U12	300,000 G Storage Tank Top Sealing	Removed, included with WWTP Upgrade Project	N/A
2017-U13	Well No. 7 Rebuild	Complete	May
2017-U15	Replace Two Fire Hydrants Behind Mason Plaza	Delayed until future FY (2019-2020)	N/A
2017-U16	Cathodic Protection for Ground Storage Tank	Delayed until future FY (2020-2021)	N/A
2017-U17	High Service Pump No. 1 Rebuild	Complete	Mar
2017-U18	Replace Chlorine Analyzer	Complete	Aug



<b>2018-U35</b>	BS&A Work Order Application	Awarded May 20, 2019; Installation anticipated first quarter of FY 2019-2020	May
<b>2018-U36</b>	Sewer Push Camera Replacement	Complete	Nov
<b>2018-U37</b>	Log Jam Removal Sycamore Creek	Complete	Nov
<b>PARKS/ CEMETERY/ FORESTRY/ NONMOTORIZED (P)</b>			
<b>2017-P8</b>	Laylin Park Improvements	Staff finishing up improvement, rain has caused delays	
<b>2018-P1</b>	Howell Road - (Dart Trailhead)	Complete	Nov
<b>2018-P2</b>	Howell Road - Hayhoe Riverwalk	Complete	Nov
<b>2018-P3</b>	Planning: 5-year Parks/Recreation Plan; Bond Park Improvements	Technical work is underway and will continue, along with public engagement, through the summer.	
<b>2018-P5</b>	City Tree Evaluation	Evaluation is completed and reports delivered.	Jun
<b>MOTOR VEHICLE POOL (MVP)</b>			
<b>2017-MVP6</b>	1/2 Ton 2x4 Pickup Truck	Complete	Sep
<b>2017-MVP7</b>	Mower	Complete	Jul
<b>2017-MVP8</b>	Police Cars	Complete	Jan
<b>2017-MVP9</b>	Large Items (Leaf Vacuum)	Complete	Nov
<b>2017-MVP10</b>	5-yard Dump/Plow Truck	Complete (Build Out with Equipment Next Year)	May
<b>2017-MVP18</b>	Command Vehicle	Complete	Oct
<b>2017-MVP30</b>	Front End Material Loader	Complete	Nov
<b>BUILDING, PROPERTY, EQUIPMENT (B)</b>			
<b>2017-B1</b>	Library- Facility Evaluation	The evaluation has concluded.	Jun
<b>2017-B3.1</b>	Police: Portable Radios	Complete	Oct
<b>2017-B4</b>	City Hall Landscaping and Lighting	Phase 1 completed. Phase 2/3 progressing, upper LED lights on front of City Hall and perimeter wall pack lights have been replaced. Parking lot pole lights are ready to be installed.	
<b>2017-B6</b>	Fire: Fire Engine 809/Tower 808	Truck is on order; completion anticipated 2020	Jun
<b>2018-B4</b>	IT: BS&A Timesheet Program	Delayed until future FY (2020-2021)	N/A
<b>2018-B4</b>	IT: BS&A Cemetery and HR Upgrade	Complete	Nov
<b>2018-B6</b>	IT: AV Room Technology Patch	Installation complete, testing and training in process.	Jul
<b>2018-B7</b>	Planning: Cedar/127 Corridor (Transportation and Land Use)	Moved to 2019-2021 – integrate with master plan	N/A
<b>2018-B24</b>	City Hall Rental Space Furniture Replacement	Completed	June