



**PLANNING COMMISSION  
SPECIAL MEETING  
TUESDAY, OCTOBER 27, 2020  
Electronic Meeting - 6:30 P.M.  
201 West Ash Street, Mason MI**

**AGENDA**

**1. CALL TO ORDER**

**2. ROLL CALL**

**3. PUBLIC COMMENT**

**4. APPROVAL OF MINUTES**

- A. Approve Minutes of Regular Planning Commission Meeting October 13, 2020

**5. UNFINISHED BUSINESS**

- A. City Council Resolution 2020-27 recognizing the Mason Planning Commission's 75<sup>th</sup> Anniversary
- B. Masterplan and CIP update from staff

**6. NEW BUSINESS**

- A. Resolution 2020-07: Scott Bell, AICP, Lapham Associates on behalf of Paul Davis Corporation, has requested an amendment to a previously approved Final Site Plan for new construction of a building to reduce the footprint to 22,000 sq. ft. from the originally proposed 27,000 sq. ft. The building is located at 1155 Temple St., parcel 33-19-10-09-400-012, City of Mason, Ingham Co.
- B. Electronic Meetings – New procedures adopted by City Council October 19, 2020

**7. LIAISON REPORT**

- A. City Manager's Report

**8. ADJOURN**





# PLANNING COMMISSION ELECTRONIC MEETING INFORMATION

**PLEASE TAKE NOTICE** that the meeting of the City of Mason Planning Commission scheduled for **October 27, 2020, starting at 6:30 p.m.**, will be conducted virtually (online and/or by phone) due to health concerns surrounding Coronavirus/COVID-19.

The City of Mason will be using Zoom to host this meeting. A free account is required to use Zoom. Please take the time to download and set-up Zoom prior to the meeting. Zoom may be accessed here: <https://zoom.us/>

## MEETING INFORMATION:

Topic: **Planning Commission Meeting**

Time: **October 27, 2020 at 6:30 p.m.** Eastern Time

**Meeting ID: 895 5206 9050**

**Passcode: MASON2020**

Video Conference Information: **Link to join online:**

<https://us02web.zoom.us/j/89552069050?pwd=NGo0QkpqaGVUbTRjdIRYOVFR0DJXUT09>

- You may also join a meeting without the link by going to [join.zoom.us](https://join.zoom.us) on any browser and entering the Meeting ID identified above.
- Phone Information:  
**Dial (312) 626 6799 (Enter meeting ID when prompted.)**

To comply with the **Americans with Disabilities Act (ADA)**, any citizen requesting accommodation to attend this meeting, and/or to obtain this notice in alternate formats, please contact Michigan Relay at <https://hamiltonrelay.com/michigan/index.html>.

**Resources:** More Questions? Please Contact our Customer Service Desk at 517.676.9155.

### Note on Public Comments:

If you would like to provide comments beforehand, please send those comments in an email by 3:00 pm on the day of the meeting to [marciah@mason.mi.us](mailto:marciah@mason.mi.us). They will be read aloud by Chair.

If you would like to speak during the meeting, you can send your name and address to [marciah@mason.mi.us](mailto:marciah@mason.mi.us) by 3:00 pm on the day of the meeting. You can still speak at the meeting if you do not notify us in advance.





# General Procedures Related to Electronic Meetings

As required under Public Act 228 of 2020, the following procedures outline the accommodation of meetings held, in whole or in part, electronically by City Council or a City Board or City Commission. Additional procedures will be adopted at a later date, by the Council, to accommodate members that are eligible and cannot attend in person for meetings held on or after January 1, 2021.

## Electronic Meeting Procedures for City Council, City Board or City Commission Members

- All attendees including City Council, City Board or City Commission Members will enter the meeting with a muted microphone.
- The meeting Chair's microphone will be unmuted to call the meeting to order.
- During initial roll call, each member will announce the physical location they are participating from by stating the county, city, township, or village and state which they are attending the meeting from.
- The meeting Chair will call for a motion and members will signify making a motion by either voice or the "Raise Hand" feature. The same process will be followed for a second to a motion. The meeting Chair will then acknowledge which member made the motion and which member seconded the motion.
- The meeting Chair will then ask if there is any discussion on the motion. Members will indicate a desire to discuss by either voice or the "Raise Hand" feature. The meeting Chair will then acknowledge the particular member granted the floor for discussion by name.
- Votes shall be taken by roll call.

## Electronic Meeting Procedures for Public

- All public participants entering the meeting will automatically be muted upon entering.
- All public participants should either turn off or leave off their video camera. Only City Council, City Board or City Commission Members will be allowed to have their video cameras on. Your video camera will be turned off for you if you do not turn it off yourself.
- Public rules are displayed in the "Chat" Feature; however, the chat feature will not be turned on to allow for chat comments to be added.
- Public comment:
  - Public only will be allowed to address the members during Public Comments
  - Public is allowed three (3) minutes to speak.
  - Public must state the name and address slowly and clearly before they start to address the Council.
  - Public comments will be addressed in the following order:
    1. Those provided the day of the meeting and sent to the designated person in the meeting instructions by a certain time will be read during the meeting.
    2. Those using the Video Conference Portion (not calling on a telephone) will be asked to use the "Raise Your Hand" Feature in Zoom. The meeting Chair will call on individuals to speak and they will be unmuted at that time.
    3. Participants that are available only by phone, after the meeting Chair requests.
- Inappropriate or disruptive participants will not be allowed or tolerated and will be removed from the meeting.
- Due to the electronic nature of this type of meeting the meeting Chair, at his discretion, may adjourn the meeting with or without notice for any reason. Every attempt will be made to remain connected to the meeting, however two examples of abrupt adjournment may be computer connectivity issues or lack of appropriate participation.



## ADDITIONAL ZOOM INSTRUCTIONS FOR PARTICIPANTS:

### PHONE INSTRUCTIONS - to join the conference by phone

1. On your phone, dial the teleconferencing number provided above.
2. Enter the **Meeting ID number** (provide with agenda) when prompted using your touch- tone (DTMF) keypad.

### VIDEOCONFERENCE INSTRUCTIONS – to watch and speak, but not to be seen

#### **Before a videoconference:**

1. You will need a computer, tablet, or smartphone with speaker or headphones. You will have the opportunity to check your audio immediately upon joining a meeting.
2. Details, phone numbers, and links to videoconference or conference call is provided above. The details include a link to “Join via computer” as well as phone numbers for a conference call option. It will also include the 9- digit Meeting ID.

#### **To join the videoconference:**

1. At the start time of your meeting, enter the link to join via computer. You may be instructed to download the Zoom application.
2. You have an opportunity to test your audio at this point by clicking on “Test Computer Audio.” Once you are satisfied that your audio works, click on “Join audio by computer.”

If you are having trouble hearing the meeting, you can join via telephone while remaining on the video conference:

1. On your phone, dial the teleconferencing number provided above.
2. Enter the **Meeting ID number** when prompted using your touch- tone (DTMF) keypad.
3. If you have already joined the meeting via computer, you will have the option to enter your 2- digit participant ID to be associated with your computer.

#### **Participant controls in the lower left corner of the Zoom screen:**



Using the icons in the lower left corner of the Zoom screen, you can:

- Mute/Unmute your microphone (far left)
- Turn on/off camera (“Start/Stop Video”)
- Invite other participants
- View Participant list – opens a pop-out screen that includes a “**Raise Hand**” icon that you may use to raise a virtual hand during Call to the Public
- Change your screen name that is seen in the participant list and video window

Somewhere (usually upper right corner on your computer screen) on your Zoom screen you will also see a choice to toggle between “speaker” and “gallery” view. “Speaker view” shows the active speaker. “Gallery view” tiles all of the meeting participants.



**CITY OF MASON  
PLANNING COMMISSION MEETING  
MINUTES OF OCTOBER 13, 2020  
DRAFT**

Sabbadin called the meeting to order at 6:30 p.m. in the 1<sup>st</sup> floor Sycamore Room at 201 West Ash Street, Mason, MI.

Present: Barna, Howe, Perrault, Sabbadin, Vercher, Waxman, Wren  
Absent: Droscha (notice given), Shattuck (notice given)  
Also Present: Elizabeth A. Hude, AICP, Community Development Director, Deb Stuart, City Manager

Sabbadin turned the meeting over to Vice-Chair Waxman to lead.

**PUBLIC COMMENT**

None.

**APPROVAL OF MINUTES**

MOTION by Vercher second by Barna, to approve the Planning Commission meeting minutes from September 15, 2020.

Yes (7) Barna, Howe, Perrault, Sabbadin, Vercher, Waxman, Wren  
No (0)  
Absent (2) Droscha, Shattuck

**MOTION PASSED**

**UNFINISHED BUSINESS**

A. October is National Planning month and the Mason Planning Commission's 75<sup>th</sup> Anniversary  
Director Hude was able to retrieve some of the ordinances that mention the 1945 Planning Commission and she is working on a draft Resolution for City Council to recognize the Planning Commission. She also noted that through the upcoming Masterplan process the 75 years of the Planning Commission can be mentioned.

Waxman noted that he contacted State Senator Curtis Hertel and was told to send some language to their office. Waxman said to copy the Resolution provided to City Council over to Senator Hertel's office and he will do a Resolution in the Senate.

**NEW BUSINESS**

A. Resolution 2020-02: Capital Improvement Plan – Recommendation to City Council

Waxman referenced the draft copy of the Capital Improvement Plan in the packet with changes due to COVID.

Director Hude acknowledged City Manager Deb Stuart's presence to answer any questions that may come



up. Hude reiterated the change in the Masterplan budget from phasing in three years to two years. The first two phases would meld together and be \$125,000 and the second year would be the zoning updates and include the Cedar St. and Kipp Rd. corridor studies.

City Manager Stuart stated there was one error that needed to be corrected before it was recommended to Council under Building, Property, and Equipment. Item 2019-B18 IT Connectivity to City Facilities, which is located on page 61 of the packet, was moved to a contract service so it will be removed in the CIP.

MOTION by Vercher second by Howe, to amend the CIP to remove Project 2018-B19

Yes (7) Barna, Howe, Perrault, Sabbadin, Vercher, Waxman, Wren

No (0)

Absent (2) Droscha, Shattuck

**MOTION PASSED**

MOTION by Barna second by Vercher, to approve Resolution 2020-02.

Yes (7) Barna, Howe, Perrault, Sabbadin, Vercher, Waxman, Wren

No (0)

Absent (2) Droscha, Shattuck

**MOTION PASSED**

- B. Special Meeting Request – 1155 Temple Street, Paul Davis, Site Plan Amendment. *Staff to discuss.*

Director Hude reminded the Commissioners that Paul Davis applied for an extension of their Site Plan and Special Use Permit at the last meeting. They were working on an amendment to reduce the size of their building and the Planning Commission needs to review. Hude would like to schedule a special meeting to accommodate their request. Waxman asked if fourteen days to give notice was necessary. Hude said that since the Special Use Permit was extended a Public Hearing would not be required. The Commissioners agreed to a Special Meeting held Tuesday, October 27, at 6:30pm via Zoom.

**LIAISON REPORT**

City Manager Stuart stated that the City is constantly adapting to challenges related to COVID and that creates its own unique situation with regards to staffing levels. They are doing their best to keep sustained Customer Service time and Elizabeth and her team are working tirelessly to keep permits and requests moving as well as putting out fires along the way but City staff is restricted just like others are during this time. Waxman acknowledged the fantastic job in leadership that City Manager Stuart has provided throughout the COVID situation.

**ADJOURN**

The meeting adjourned at approximately 6:43 p.m.



**CITY OF MASON**

**CITY COUNCIL RESOLUTION NO. 2020-27**

**HONORING CITY OF MASON PLANNING COMMISSION  
DURING NATIONAL PLANNING MONTH IN OCTOBER AND THE COMMISSION'S 75<sup>TH</sup> ANNIVERSARY**

**OCTOBER 19, 2020**

**WHEREAS**, in 1945 the Michigan County Planning Act and the Michigan Regional Planning Commission Act was signed into law; and

**WHEREAS**, the City of Mason Planning Commission was first established by Ordinance No. 38, adopted November 5, 1945; and

**WHEREAS**, City of Mason Planning Commission carries out their duties under Part 2, Chapter 50 of the City of Mason Ordinance to plan for and promote the comfort, convenience and welfare of the City of Mason; and

**WHEREAS**, the residents of Mason value the dedicated and hardworking men and women who deliver valuable government service to the City; and

**WHEREAS**, City of Mason Planning Commission deserve our thanks and appreciation throughout the year.

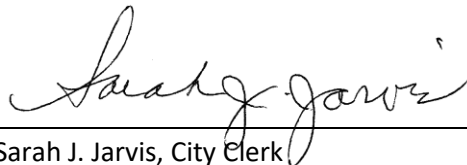
**BE IT HEREBY RESOLVED**, that the Mason City Council, on behalf of the residents of the City of Mason, expresses deep gratitude for the commitment shown by the City of Mason Planning Commission and honors Planning Commissioners as part of National Planning Month in October and for 75 years of service in 2020.

YES: (7) Brown, Droscha, Ferris, Madden, Schaffer, Vogel, Whipple

NO: (0)

ABSENT: (0)

**CLERK'S CERTIFICATION:** I hereby certify that the foregoing is a true and accurate copy of a resolution adopted by the City Council at its regular meeting held Monday, October 19, 2020, the original of which is part of the meeting minutes.



Sarah J. Jarvis, City Clerk  
City of Mason  
Ingham County, Michigan





## City of Mason Planning Commission

*Staff Report*

TO: Planning Commission  
FROM: Elizabeth A. Hude, AICP, Community Development Director  
SUBJECT: Amendment to Final Site Plan – Paul Davis Corporation  
DATE: October 22, 2020

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Scott E. Bell, AICP, Lapham Associates, on behalf of Paul Davis Corporation, has submitted a request for approval of an amendment to a previously approved Special Use Permit and Final Site Plan for new construction of a building to reduce the footprint to 22,000 sq. ft. (-5,000 sq. ft.) from the originally proposed 27,000 sq. ft. The building will contain offices and storage related to their business of home damage restoration services, on five acres of property located at 1155 Temple St, the northeast corner of Temple Street and Kipp Road, parcel 33-19-10-09-400-012, City of Mason, Ingham Co.

This is shown on the following plans and documents:

- Application with letter received September 30, 2020
- Schedule and Cost Letter dated October 13, 2020
- Ingham County Road Department Permit
- Sheets C-1-13, prepared by Paul Davis Corporation, dated September 13, 2019, and last revised September 15, 2020.
- Sheets A-1-2, prepared by Seidell Architects, LLC, dated August 7, 2020.

### **CONSTRUCTION SCHEDULE**

The project was originally expected to begin in the fall of 2019. The revised schedule is to begin now in the fall of 2020, see attached.

### **LAND USE AND ZONING**

The development is proposed on a parcel purchased from the City of Mason and zoned M-1: Light Manufacturing District. Section 94-222 states that any use permitted in this district requires site plan review and Section 94-141(7) states that any use permitted in the district involving one or more structures that occupy, either individually or collectively, more than 15,000 square feet of gross floor area requires a Special Use Permit. Section 94-191(e) states that a preliminary site plan must be submitted with the application for a Special Use Permit.

[Resolution 2019-10](#) for a preliminary site plan was approved with conditions on September 10, 2019, and [Resolution 2019-14](#) for a Special Use Permit and Final Site Plan and was approved with conditions on October 15, 2019. [Resolution 2020-06](#) for a six-month extension of the Special Use Permit and a twelve-month extension of the final site plan was approved on September 15, 2020.

Staff believes the amended Final Site Plan represents a material change and hereby refers the matter to the Planning Commission in accordance with Sec. 94-228(b) which states that an amendment which, in the opinion



of the zoning official, represents a material change shall be referred to the planning commission for review and approval if the planning commission exercised original approval authority, or may be referred to the planning commission at the sole discretion of the zoning official.

If approved, the amended Final Site Plan will become part of the previously approved Special Use Permit per Sec. 94-191(b)(3) ... any subsequent authorized modification to the site plan shall become part of the special use permit and shall be enforceable as such.

The surrounding land uses and zoning are as follows:

	Current Land Use	Zoning	Future Land Use
<b>North</b>	Agriculture	M-1: Light Manufacturing District	Mixed Use
<b>East</b>	Agriculture	M-1: Light Manufacturing District	Mixed Use
<b>South</b>	Commercial	B-2 (Highway Service District)	Mixed Use
<b>West</b>	Agriculture	M-1: Light Manufacturing District	Mixed Use

#### **REVIEW OF SUBMITTAL**

All applications for final site plan review and approval shall comply with the basic required submittal standards of subsection 94-225(d)(1). The additional required submittal standards of subsection 94-226 shall be satisfied by any application for final site plan review and approval.

The proposed amendment to the Final Site Plan offers detailed information to help staff determine if the city's ordinances have been met. The vision for future development in this area is discussed in several sections of the City's Master Plan, including but not limited to, page 2-6 Industrial Development, and page 3-7 item 3-Airport.

During Preliminary Site Plan Review, several concerns were noted. In reviewing the current submittal, it appears that all conditions have been addressed and that the Amended Final Site Plan meets the necessary requirements as noted below.

Dept/Agency	Previous Comment	Resolved?
Police	No concerns	NA
Fire	Move the Fire Department Connection (FDC) to the west side of the building behind the parking bump-out to ensure access is not obstructed by a parked car. Fire hydrant locations are ok.	YES
Building	Building permit required. Per the Michigan Building Code, the Architect is responsible for identifying all required Special Inspections from Chapter 17 and submitting them along with the credentials of the testing agency for the Building Official to approve.	YES - BUILDING PERMIT CURRENTLY IN REVIEW
City Engineer	Sidewalk at curb of Kipp/Temple should face west; no specific action requested, but concern regarding steep grade at southeast corner of parking area and if that will impact soil erosion or snow storage.  Future deferred parking spaces overlap dumpster area; consider revising on future site plan amendment if spaces are to be constructed.  Question – has the applicant considered switching the vestibule (100) with office (121) so that the entrance is closer to the parking spaces on Temple Street? No requirement to do so, observation only.	YES



Water	Supports City Engineer comments.	YES  SEE UPDATE – MEMO DATED OCT 21-20 AND TAP-IN FEE ESTIMATE
Ingham County Drain Commissioner	No new comments received since those sent during Preliminary SPR, letter dated September 9, 2019.	YES - SOIL EROSION PERMIT IN REVIEW
Ingham County Road Commission	E-mail received October 4, 2019, attached.	ROW PERMIT ISSUED

**Table 1: Submittal Standards**

Ordinance	Status	Note
§94-225(d)(1) Basic required submittal standards	M/R	94-225 (d)(1)h9: Signage - See Ch 58 for requirements, separate sign permits will be required.
§94-225(d)(2) Additional required submittal standards	M	A detailed cost estimate has been provided.
§94-225(d)(3) Supplemental analysis and information.	TBD	
M = Meets requirements; I = Information Needed; R = Recommendation		

**§94-227. Standards for site plan review and approval.** In reviewing an application for site plan review and approval the following standards shall apply:

STATUS/NOTE	REQUIREMENT
*M = Meets requirements; I = Information Needed; R = Recommendation	
M	(1) The site shall be developed so that all elements shall be harmoniously and efficiently organized in relation to the size, shape, type and topography of the site and surrounding property.
M	(2) The site shall be developed so as not to impede the normal and orderly development, improvement, and use of surrounding property for uses permitted in this chapter.
M	(3) All buildings or groups of buildings shall be arranged to permit emergency vehicle access by some practical means to all sites.
M – Access on Temple St., a public street.	(4) Every structure or dwelling unit shall have direct access to a public street or indirect access to a public street via an approved dedicated private street.
M	(5) Appropriate measures shall be taken to ensure that the addition or removal of surface waters will not adversely affect neighboring properties, that controls are in place to minimize sedimentation and erosion, and that topographic alterations are minimized to accommodate storm water management.
M	(6) Provisions shall be made for the construction of storm sewer facilities including grading, gutters, piping, on-site storage, and treatment of turf as required to handle stormwater and prevent erosion.
M	(7) Secondary containment for above ground areas where hazardous substances are stored or



	used shall be provided as required by the city fire chief.
M	(8) Exterior lighting shall be designed and located so that the source of illumination is directed away from adjacent properties, the intensity of lighting is the minimum necessary, and the direction of lighting is downward as much as is possible and appropriate for the project.
M	(9) All loading and unloading areas, outside storage areas, and refuse receptacles shall be screened from casual view from the public rights-of-way and adjoining land uses.
M	(10) Site plans shall meet the driveway, traffic safety, and parking standards of the city in such manner as necessary to address the following:
	a. Safe and efficient vehicular and non-vehicular circulation, including parking areas, non-motorized linkages to abutting parcels, uses, sidewalks, and trails.
	b. Shared driveways and service drives.
	c. Adequate and properly located utilities.
M	(11) Provisions shall be made for proposed common areas and public features to be reasonably maintained.
M – See staff comments above and below	(12) The site plan submittal shall demonstrate compliance with all applicable requirements of this chapter, chapters 58 and 74, the building code, and county, state, and federal law.
<b>Comments:</b>  94-225 (d)(1)h9: Signage - See Ch 58 for requirements, separate sign permits will be required.  <b>94-292: Off-Street Parking:</b> 74 spaces are required, three (3) of which are to meet the requirements of the Americans with Disabilities Act (ADA). The applicant is proposing to build 54 spaces now, deferring 20 spaces which are indicated as future deferred on the north of the property. The applicant was previously granted a waiver to reduce parking space size – where more than 40 spaces required, 20% can be 180 sq. ft.; and to defer parking for future. The plan shows 15 of the required 74 spaces at the reduced size, which is 20%.  <b>94-241: Landscaping Standards</b> The landscape plan has been revised and appears to meet the requirements of this section entirely and no waivers have been requested.	

**STAFF RECOMMENDATION:**

Staff finds that the proposed site plan amendments appear to meet the requirements for approval and offers the following motion for consideration:

**MOTION**

Motion to approve Resolution 2020-07.

**Attachments:**

1. Resolution 2020-07
2. Application
3. Plans



Introduced:  
Second:

**CITY OF MASON  
PLANNING COMMISSION  
RESOLUTION No. 2020-07**

**A RESOLUTION GRANTING APPROVAL OF AN AMENDMENT TO A FINAL SITE PLAN FOR NEW CONSTRUCTION OF A 22,000 SQ. FT. BUILDING TO INCLUDE OFFICES AND STORAGE RELATED TO THE BUSINESS OF HOME DAMAGE RESTORATION SERVICES, ON FIVE ACRES OF PROPERTY LOCATED AT 1155 TEMPLE STREET, THE NORTHEAST CORNER OF TEMPLE STREET AND KIPP ROAD, PARCEL 33-19-10-09-400-012.**

**October 27, 2020**

**WHEREAS**, a request has been received from Scott E. Bell, AICP, Lapham Associates, on behalf of Paul Davis Corporation, for approval of an amendment to a previously approved Final Site Plan for new construction of a 22,000 sq. ft. building to include offices and storage related to their business of home damage restoration services; and,

**WHEREAS**, the subject property contains five acres of land located at 1155 Temple Street, the northeast corner of Temple Street and Kipp Road, parcel 33-19-10-09-400-012; and,

**WHEREAS**, the proposal was shown on plans dated August 9, 2019, and last revised September 15, 2020; and

**WHEREAS**, the parcel is zoned M-1: Light Manufacturing District; and

**WHEREAS**, a site plan was previously approved in Resolution 2019-14 on October 15, 2019 and extended in Resolution 2020-06 for twelve-months on September 15, 2020; and

**WHEREAS**, Sec. 94-228(b) states that an amendment to a site plan which, in the opinion of the zoning official, represents a material change shall be referred to the planning commission for review and approval if the planning commission exercised original approval; and

**WHEREAS**, the amended Final Site Plan will become part of the previously approved Special Use Permit per Sec. 94-191(b)(3); and

**WHEREAS**, the Planning Commission has received, reviewed and accepts the staff report dated October 22, 2020 as findings of fact that, with the conditions listed herein, the plans will comply with the Final Site Plan Review Standards listed in Section 94-227; and

**WHEREAS** the Planning Commission further makes the following findings of fact:

- The Planning Commission finds parking in a front yard to be a critical component to the safety of operations on the site and approves parking in the front yard as shown on the plan; and
- The Planning finds that the applicant has demonstrated that the required amount of parking is excessive and waives the parking requirement to allow for a smaller parking area with an area dedicated to future parking spaces as shown on the plan; and



- The Planning Commission finds that the proposed parking meets the minimum requirement for spaces, the minimum requirement is greater than 40 spaces, making the site eligible to allow 20% of the parking spaces to measure 180 s.f. each.

**NOW THEREFORE BE IT RESOLVED**, that the City of Mason Planning Commission does hereby grant approval of an amendment to a previously approved Final Site Plan for new construction of a 22,000 sq. ft. building to include offices and storage related to their business of home damage restoration services on five acres of land located at 1155 Temple Street, the northeast corner of Temple Street and Kipp Road, parcel 33-19-10-09-400-012.

Yes ( )

No (0)

Absent (0)

**CLERK’S CERTIFICATION:** I hereby certify that the foregoing is a true and accurate copy of a resolution adopted by the City of Mason Planning Commission at a Special Meeting held Tuesday, October 27, 2020, the original of which is part of the City of Mason Planning Commission minutes.

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Sarah J. Jarvis, Clerk  
City of Mason  
Ingham County, Michigan



## Memorandum

**To:** Elizabeth Hude, Community Development Director  
**From:** Michael Olson, Assistant City Manager/Director of Public Works  
**Subject:** 1155 Temple – Plan Review  
**Date:** October 21st, 2020

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After reviewing the latest plans for 1155 Temple – Paul Davis, the water and stormwater items identified earlier in the review process have been address and we have no standing issues. The City of Mason Department of Public Works approve the components of the plans that pertain to the department's area of review as is.

Any deviations to the plans that have been approved by this memorandum will require additional review before proceeding.



# CALCULATIONS FOR NEW WATER/SEWER SERVICE

PROPERTY ADDRESS: 1155 Temple

Water

3/4" 1,200.00

3/4 to 1.5" 3 3,600.00

Meter/yoke cost 620.69

Materials 18.00

New account fee 40.00

Meter Install 100.00

Sewer 2,300.00

Addl Reu's 0.00

Total Due 7,878.69





# PERMIT APPLICATION

## ZONING

**Applicant– Please check one of the following:**

<input type="checkbox"/>	Preliminary Site Plan Review
<input type="checkbox"/>	Final Site Plan Review
<input type="checkbox"/>	Special Use Permit*
<input type="checkbox"/>	Administrative Review
* includes Preliminary Site Plan Review	

**DEPARTMENT USE ONLY**

Application Received: \_\_\_\_\_

Tax ID: \_\_\_\_\_

Fee: \_\_\_\_\_

Receipt #: \_\_\_\_\_

**Applicant Information:**

Name: \_\_\_\_\_

Organization: \_\_\_\_\_

Address: \_\_\_\_\_

Telephone Number: \_\_\_\_\_ Facsimile Number: \_\_\_\_\_

Interest in Property (owner, tenant, option, etc.): \_\_\_\_\_

*Note: If applicant is anyone other than owner, request must be accompanied by a signed letter of authorization from the owner.*

**Property Information:**

Owner: \_\_\_\_\_ Telephone Number: \_\_\_\_\_

Property Address: \_\_\_\_\_

Legal Description: If in a subdivision: Subdivision Name: \_\_\_\_\_ Lot Number: \_\_\_\_\_

If Metes and Bounds (can be provided on separate sheet): \_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

**APPLICANT CERTIFICATION**

By execution of this application, the person signing represents that the information provided and the accompanying documentation is, to the best of his/her knowledge, true and accurate. In addition, the person signing represents that he or she is authorized and does hereby grant a right of entry to City officials for the purpose of inspecting the premises and uses thereon to verify compliance with the terms and conditions of any Special Use Permit and/or Site Plan approval issued as a result of this application.

Signature: \_\_\_\_\_ Date: \_\_\_\_\_



**Requested Description:**

**Written Description:** Please use this section to describe the use or uses proposed. Attach additional pages, if necessary.

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**Available Services**Public Water ☐ Yes ☐ NoPaved Road (Asphalt or Concrete) ☐ Yes ☐ NoPublic Sanitary Sewer ☐ Yes ☐ NoPublic Storm Sewer ☐ Yes ☐ No**Estimate the Following**

Traffic Generated \_\_\_\_\_

Total Employees \_\_\_\_\_

Population Increase \_\_\_\_\_

Employees in Peak Shift \_\_\_\_\_

House of Operation \_\_\_\_\_ AM to \_\_\_\_\_ PM

Total Bldg. Area Proposed \_\_\_\_\_

\_\_\_\_\_ Day through \_\_\_\_\_ day

Parking Spaces Provided \_\_\_\_\_

**Project Phasing**This project will be completed in: ☐ One Phase ☐ Multiple Phases – Total No. of Phases: \_\_\_\_\_**Note: The phases of construction for multi-phase projects must be shown on the site plan****Application Materials**

The following are checklists of items that generally must be submitted with applications for Preliminary Site Plan Review, Final Site Plan Review, and Special Use Permits. Applicants should review Articles VI and VII of Chapter 94 of the Mason Code for a complete listing of application requirements. All site plan drawings must comply with the requirements of Section 94-226(d) of the Zoning Ordinance. Incomplete applications will not be processed.

- ☐ Completed application form
- ☐ 2 copies of full scale site plan drawings
- ☐ Plans submitted on CD or PDF (email is acceptable)
- ☐ Legal description
- ☐ Proof of ownership/owner authorization
- ☐ Construction schedule for proposed project
- ☐ Construction calculations for utilities
- ☐ Fee (see below)
- ☐ Any other information deemed necessary

**Application Fee**

All requests must be accompanied by a fee, as established by the City Council. The fee schedule for Preliminary Site Plan Reviews, Final Site Plan Reviews, and Special Use Permits is as follows (As of October 16, 2006):

Administrative Reviews	\$70.00
Preliminary Site Plan Reviews	\$200.00
Final Site Plan Review	\$100.00
Special Use Permits (includes preliminary site plan review)	\$275.00



Engineering Review

\$220.00\*

\*Two—hour minimum fee for projects increasing demand on public utilities. Actual fees incurred are billed to applicant upon completion of review.

## **Application Deadlines**

### **Preliminary Site Plan/Special Use Permit Review**

Applications for Preliminary Site Plan Review may be submitted at any time. Complete applications must be received a minimum four (4) weeks prior to a Planning Commission meeting to be placed on the agenda. Upon receipt of a complete application, a public hearing will be scheduled for the next regularly scheduled meeting (for Special Use Permits only). The Planning Commission has the final authority to approve, approve with conditions or deny an application for Preliminary Site Plan/Special Use Permit Review. The Planning Department staff will issue a letter to the applicant advising of any changes or revisions that may be necessary prior to making application for Final Site Plan Review.

### **Final Site Plan Review**

Complete applications must be received a minimum of four (4) weeks prior to a Planning Commission meeting to be placed on an agenda. The Planning Commission has the final authority to approve, approve with conditions or deny an application for Final Site Plan Review. Planning Commission meetings are held on the second Tuesday after the first Monday of every month, unless the Tuesday is a Township recognized holiday, in which case the meeting is held on the following day (Wednesday).

## **Staff Report**

The Planning Department Staff will prepare a report to the Planning Commission regarding an application for Preliminary Site Plan Review, Final Site Plan Review or Special Use Permit. The report will explain the request and review whether it complies with the zoning standards of the Mason Code. Staff will present the findings of that report during the Planning Commission meeting. An applicant who wishes to obtain one (1) copy of that report, at no cost, prior to the meeting must provide a written request to the Planning Department. The report is generally complete on the Friday before the meeting and can be mailed to the applicant or picked up by the applicant in the Planning Department.

**Resources:** More questions? Please contact our Customer Service Desk at 517.676.9155.

Revised 7.2.2018 (Community Development)



September 28, 2020

City of Mason  
Community Development  
Attn.: Elizabeth Hude, AICP  
201 West Ash Street,  
Mason, MI 48854

RE: Paul Davis Site Plan – Temple Street, Mason, MI

Ms. Hude,

In response to your email in regards to the amendments that we are proposing for the Paul Davis Site Plan that was approved at the city's October 15, 2019 Planning Commission meeting I have summarized the following list of changes:

- The parcel is the same and no changes to the property boundaries or existing conditions have been made from our prior submittal. I do not believe that any zoning changes, use changes or construction has happened on the property or adjacent properties.
- The zoning setbacks remain unchanged except for the dimension on the north side of the building as the building is proposed to be shorter. The density is less as the building is proposed to be smaller. There are no changes to the heights on this amendment.
- There are still two loading areas at the overhead doors in the rear of the building.
- The intended use of the proposed development is unchanged and the building will still house the same functions as before. The building length has been reduced by 50 feet (5,000sft) which has been removed from the open warehouse area.
- Similarly to the reduction of the building size, the parking lot area has been reduced and the required number of parking spaces has also been reduced. The parking space size was kept as previously approved with the 180 sft spaces in front and the rear spaces at 200 sft. Additionally, with only 74 proposed spaces we only are required 2 B.F. spaces which we have left at the front entrance which is where the general public will enter the building.
  - Prior development required 91 Spaces and the plans had included 62 spaces to be constructed and 28 deferred spaces shown.
  - The new development requires 74 Spaces and the plans had included 54 spaces to be constructed and 20 deferred spaces shown.
- The site grading will be similar to the prior development just adjusted for the slightly smaller footprint. The driveway entrance and parking areas has been moved to the south to accommodate the smaller footprint. The site has been lowered about 1 foot as we are having to discharge the stormwater to the manhole in Temple Street rather than the shallow curb inlet originally proposed. This was to accommodate the small basin for pretreatment prior to discharge to the City's system.



- Stormwater Management is changed to accommodate the requirements for pretreatment by the County Drain Commissioner's office. The storm sewer has only slightly changed but mostly in the below ground in the piping and catch basins have been slightly shifted to meet site grading and avoid conflicts with other utilities etc. These plans do include a small pretreatment basin that will infiltrate the first storm surge prior to discharging to the City's storm sewer on Temple Street.
- The proposed watermain has changed to be more direct as the building no longer requires the deflection to go around the north side of the building, but the hydrant in the rear of the building is still proposed. The FDC will be located in the front of the building as directed by the fire marshal's comments. Watermain construction plans and EGLE Act 399 permit have been submitted to the City for sending into the EGLE for approval.
- The landscaping plan will be adjusted for the new building size and development footprint. This is being handled now by the landscape architects and the revised plan will be available shortly.
- The site lighting and photometrics have minimal changes again to accommodate the smaller footprint, but there are no changes that cause for any encroachment of site lighting onto adjacent properties. A revised photometrics plan has been included.
- No significant changes that may impact the special use permit are proposed and therefore other than possibly an extension to the SUP to allow us time to get all the construction permits and award the project to start construction. I presume that the SUP is valid for one year and I suspect that we may still need more time than that to start construction if the site plan amendment is approved. As this project is less of an impact than what the approved SUP I would suspect that the SUP can be carried over for this amendment with Planning Commission's consent.

Sincerely yours,

LAPHAM ASSOCIATES



Scott E. Bell, AICP Project Manager

P:\Engineer\P190259 FED Paul Davis\L 092820 Site Plan Amendment submittal.doc



October 13, 2020

City of Mason  
Community Development  
Attn.: Elizabeth Hude, AICP  
201 West Ash Street,  
Mason, MI 48854

RE: Paul Davis Site Plan – Temple Street, Mason, MI

Ms. Hude,

In response to our teleconference and the site plan application requirements we have compiled the following construction schedule for the project:

10/12/2020	Miss Dig
10/23/2020	Building Layout/site survey
10/26-12/15	Begin stripping topsoil, rough grading establish base for parking areas, water main, sanitary sewer and storm, Prep foundation
11/15-12/1	Concrete footings and foundation
11/23/2020	Underground lighting
12/15/2020	Backfill foundation
12/15-1/1	Underground utilities (power, gas, water, plumbing)
1/4-1/8	Metal building delivery and layout
1/11-3/31	PEMB erection
3/15-3/26	Exterior doors and windows
4/5-4/30	Slab on grade prep
	Concrete Slabs
	Saw cutting
	Lighting concrete bases, curb and gutter/site concrete
5/3-5/21	Polish Concrete Slabs
5/10-5/28	Partition wall framing
5/24-7/12	Rough-Ins: Electrical, Plumbing, HVAC, Gas and fire suppression pipes and risers & fire alarm
6/15-6/30	Finish Grading
7/5-7/17	Paving
7/12-7/14	Insulation installation
7/14-7/21	Inspections
7/21-8/11	Drywall
8/12-8/26	Finishes: door frames, hardware, finish trim, kitchen, tops
8/30-9/17	Painting
9/20-9/29	All electrical switches and devices - all ductwork, diffusers, grills
9/29-10/8	acoustical ceiling
	Sprinkler drops
	Fire alarm
10/18/2021	Landscaping



Additionally, attached is a construction cost estimate for the proposed project for your use. I believe that this gives you the remaining items to complete the site plan application per our discussion from our teleconference on October 7<sup>th</sup>. We have not heard back from the City's engineer on the EGLE watermain construction permit to see if it has been submitted, but all other permits are in process.

Sincerely yours,

LAPHAM ASSOCIATES



Scott E. Bell, AICP Project Manager

P:\Engineer\P190259 FED Paul Davis\2020 Site Plan Amendment\L 101320 Schedule & cost estimate.doc



## Paul Davis Restoration

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Client: PDR of Mid Michgain  
Property: 881 Hull Rd.,  
Mason, MI 48854

Home: (517) 719-5058

Operator: LANS

Estimator: Jerry Rehm  
Position: Project Manager  
Company: Paul Davis of Mid Michigan  
Business: 881 Hull Rd., #100  
Mason, MI 48854

Cellular: (517) 719-5058  
E-mail: jerry.rehm@pauldavis.com

Reference:  
Company: Structure

Type of Estimate:	<NONE>	
Date Entered:	10/1/2020	Date Assigned: 10/1/2020
Date Est. Completed:		Date Job Completed: 10/12/2020

Price List: MILA8X\_NOV19  
Labor Efficiency: Restoration/Service/Remodel  
Estimate: PAULDAVISBUILDING



**PAULDAVISBUILDING****Miscellaneous****Miscellaneous**

DESCRIPTION	QTY	UNIT PRICE	TOTAL
1. METAL STRUCTURES & COMPONENTS	1.00 EA @	400,000.00 =	400,000.00
2. Concrete footings	1.00 EA @	36,789.00 =	36,789.00
3. Overhead door & hardware	1.00 EA @	8,760.00 =	8,760.00
4. Concrete flat work and curbs	1.00 EA @	144,639.00 =	144,639.00
5. Excavation	1.00 EA @	218,361.00 =	218,361.00
6. Landscaping	1.00 EA @	9,880.00 =	9,880.00
7. Windows - Aluminum	1.00 EA @	17,560.00 =	17,560.00
8. Taxes, insurance, permits & fees (Bid Item) includes survey and staking	1.00 EA @	25,600.00 =	25,600.00

**Miscellaneous 2**

DESCRIPTION	QTY	UNIT PRICE	TOTAL
9. Electrical (Bid Item)	1.00 EA @	147,720.00 =	147,720.00
10. Plumbing (Bid Item)	1.00 EA @	36,660.00 =	36,660.00
11. HVAC Technician	1.00 EA @	117,100.00 =	117,100.00
12. fire suppression system	1.00 EA @	27,800.00 =	27,800.00
13. Asphalt paving - 2 1/2 - 3" with 6" base - Commercial	1.00 EA @	47,600.00 =	47,600.00

**Main Level****Kitchen****Height: 8'****Subroom: Room6 (13)****Height: 8'****Subroom: Room7 (12)****Height: 8'**

DESCRIPTION	QTY	UNIT PRICE	TOTAL
14. 5/8" drywall - hung, taped, floated, ready for paint	1,387.62 SF @	1.20 =	1,665.14
15. Seal the walls w/PVA primer - one coat	981.92 SF @	0.46 =	451.68
16. Paint the walls - two coats	981.92 SF @	0.76 =	746.26
17. Door knob - interior - High grade	1.00 EA @	33.00 =	33.00
18. Baseboard - 5 1/4"	122.74 LF @	2.01 =	246.71
19. Paint baseboard - two coats	122.74 LF @	1.12 =	137.47
20. Interior door unit - Premium grade	1.00 EA @	125.90 =	125.90
21. Batt insulation - 6" - R19 - paper faced	490.96 SF @	0.75 =	368.22
22. Cabinetry - lower (base) units	1.00 EA @	2,500.00 =	2,500.00
23. Countertop - solid surface	1.00 SF @	2,500.00 =	2,500.00



**CONTINUED - Kitchen**

DESCRIPTION	QTY	UNIT PRICE	TOTAL
24. Non-slip aluminum oxide finish	405.70 SF @	0.50 =	202.85

**Main** **Height: 8'**

DESCRIPTION	QTY	UNIT PRICE	TOTAL
25. Seal the walls w/PVA primer - one coat	2,376.00 SF @	0.46 =	1,092.96
26. Paint the walls - two coats	2,376.00 SF @	0.76 =	1,805.76
27. Door knob - interior - High grade	6.00 EA @	33.00 =	198.00
28. Baseboard - 5 1/4"	297.00 LF @	2.01 =	596.97
29. Paint baseboard - two coats	297.00 LF @	1.12 =	332.64
30. Interior door unit - Premium grade	6.00 EA @	125.90 =	755.40
31. 5/8" drywall - hung, taped, floated, ready for paint	6,560.78 SF @	1.20 =	7,872.94
32. Batt insulation - 6" - R19 - paper faced	1,188.00 SF @	0.75 =	891.00
33. Non-slip aluminum oxide finish	4,184.79 SF @	0.50 =	2,092.40

**Learning** **Height: 8'**

DESCRIPTION	QTY	UNIT PRICE	TOTAL
34. Suspended ceiling system - Premium grade - 2' x 2'	1,774.77 SF @	3.00 =	5,324.31
35. Seal the walls w/PVA primer - one coat	1,382.43 SF @	0.46 =	635.92
36. Paint the walls - two coats	1,382.43 SF @	0.76 =	1,050.65
37. Door knob - interior - High grade	1.00 EA @	33.00 =	33.00
38. Baseboard - 5 1/4"	172.80 LF @	2.01 =	347.33
39. Paint baseboard - two coats	172.80 LF @	1.12 =	193.54
40. Interior door unit - Premium grade	1.00 EA @	125.90 =	125.90
41. 5/8" drywall - hung, taped, floated, ready for paint	1,382.43 SF @	1.20 =	1,658.92
42. Batt insulation - 6" - R19 - paper faced	691.22 SF @	0.75 =	518.42
43. Non-slip aluminum oxide finish	1,774.77 SF @	0.50 =	887.39

**Womens** **Height: 8'**

DESCRIPTION	QTY	UNIT PRICE	TOTAL
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**CONTINUED - Womens**

DESCRIPTION	QTY	UNIT PRICE	TOTAL
44. Seal the walls w/PVA primer - one coat	349.80 SF @	0.46 =	160.91
45. Paint the walls - two coats	349.80 SF @	0.76 =	265.85
46. Door knob - interior - High grade	1.00 EA @	33.00 =	33.00
47. Baseboard - 5 1/4"	43.73 LF @	2.01 =	87.90
48. Paint baseboard - two coats	43.73 LF @	1.12 =	48.98
49. Interior door unit - Premium grade	1.00 EA @	125.90 =	125.90
50. 5/8" drywall - hung, taped, floated, ready for paint	469.26 SF @	1.20 =	563.11
51. Batt insulation - 6" - R19 - paper faced	174.90 SF @	0.75 =	131.18
52. toilet partition -	1.00 EA @	1,900.00 =	1,900.00
53. Non-slip aluminum oxide finish	119.46 SF @	0.50 =	59.73

<b>Mens</b>				<b>Height: 8'</b>
DESCRIPTION	QTY	UNIT PRICE	TOTAL	
54. Seal the walls w/PVA primer - one coat	424.47 SF @	0.46 =	195.26	
55. Paint the walls - two coats	424.47 SF @	0.76 =	322.60	
56. Door knob - interior - High grade	1.00 EA @	33.00 =	33.00	
57. Baseboard - 5 1/4"	53.06 LF @	2.01 =	106.65	
58. Paint baseboard - two coats	53.06 LF @	1.12 =	59.43	
59. Interior door unit - Premium grade	1.00 EA @	125.90 =	125.90	
60. 5/8" drywall - hung, taped, floated, ready for paint	595.79 SF @	1.20 =	714.95	
61. Batt insulation - 6" - R19 - paper faced	212.23 SF @	0.75 =	159.17	
62. Non-slip aluminum oxide finish	1.00 SF @	0.50 =	0.50	
63. toilet partition -	1.00 EA @	1,900.00 =	1,900.00	
64. Non-slip aluminum oxide finish	171.32 SF @	0.50 =	85.66	

<b>Office 10</b>	<b>Height: 8'</b>
<b>Subroom: Office 4 (5)</b>	<b>Height: 8'</b>
<b>Subroom: Office 11 (11)</b>	<b>Height: 8'</b>
<b>Subroom: Office 7 (8)</b>	<b>Height: 8'</b>
<b>Subroom: Office 6 (7)</b>	<b>Height: 8'</b>
<b>Subroom: Office 5 (6)</b>	<b>Height: 8'</b>



## Paul Davis Restoration

Subroom: Office 3 (4)

Height: 8'

Subroom: Office 2 (3)

Height: 8'

Subroom: Office 1 (2)

Height: 8'

Subroom: Office 9 (10)

Height: 8'

Subroom: Office 8 (9)

Height: 8'

Subroom: Spare (1)

Height: 8'

DESCRIPTION	QTY	UNIT PRICE	TOTAL
65. Seal the walls w/PVA primer - one coat	4,528.46 SF @	0.46 =	2,083.09
66. Paint the walls - two coats	4,528.46 SF @	0.76 =	3,441.63
67. Suspended ceiling system - Premium grade - 2' x 2'	1,655.32 SF @	3.00 =	4,965.96
68. Door knob - interior - High grade	12.00 EA @	33.00 =	396.00
69. Baseboard - 5 1/4"	566.06 LF @	2.01 =	1,137.78
70. Paint baseboard - two coats	566.06 LF @	1.12 =	633.99
71. Interior door unit - Premium grade	12.00 EA @	125.90 =	1,510.80
72. 5/8" drywall - hung, taped, floated, ready for paint	4,528.46 SF @	1.20 =	5,434.15
73. Non-slip aluminum oxide finish	1,655.32 SF @	0.50 =	827.66

jeff

Height: 8'

DESCRIPTION	QTY	UNIT PRICE	TOTAL
74. Seal the walls w/PVA primer - one coat	654.67 SF @	0.46 =	301.15
75. Paint the walls - two coats	654.67 SF @	0.76 =	497.55
76. Door knob - interior - High grade	1.00 EA @	33.00 =	33.00
77. Baseboard - 5 1/4"	81.83 LF @	2.01 =	164.48
78. Paint baseboard - two coats	81.83 LF @	1.12 =	91.65
79. Interior door unit - Premium grade	1.00 EA @	125.90 =	125.90
80. 5/8" drywall - hung, taped, floated, ready for paint	1,053.33 SF @	1.20 =	1,264.00
81. Batt insulation - 6" - R19 - paper faced	327.33 SF @	0.75 =	245.50
82. Non-slip aluminum oxide finish	398.67 SF @	0.50 =	199.34

Deena

Height: 8'

DESCRIPTION	QTY	UNIT PRICE	TOTAL
83. Seal the walls w/PVA primer - one coat	657.21 SF @	0.46 =	302.32
84. Paint the walls - two coats	657.21 SF @	0.76 =	499.48
85. Door knob - interior - High grade	1.00 EA @	33.00 =	33.00
86. Baseboard - 5 1/4"	82.15 LF @	2.01 =	165.12
87. Paint baseboard - two coats	82.15 LF @	1.12 =	92.01
88. Interior door unit - Premium grade	1.00 EA @	125.90 =	125.90



**CONTINUED - Deena**

DESCRIPTION	QTY	UNIT PRICE	TOTAL
89. 5/8" drywall - hung, taped, floated, ready for paint	995.06 SF @	1.20 =	1,194.07
90. Batt insulation - 6" - R19 - paper faced	328.60 SF @	0.75 =	246.45
91. Non-slip aluminum oxide finish	337.85 SF @	0.50 =	168.93

**Foyer/Entry**

**Height: 8'**

DESCRIPTION	QTY	UNIT PRICE	TOTAL
92. Seal the walls w/PVA primer - one coat	366.62 SF @	0.46 =	168.65
93. Paint the walls - two coats	366.62 SF @	0.76 =	278.63
94. Door knob - interior - High grade	1.00 EA @	33.00 =	33.00
95. Baseboard - 5 1/4"	45.83 LF @	2.01 =	92.12
96. Paint baseboard - two coats	45.83 LF @	1.12 =	51.33
97. 5/8" drywall - hung, taped, floated, ready for paint	496.80 SF @	1.20 =	596.16
98. Batt insulation - 6" - R19 - paper faced	183.31 SF @	0.75 =	137.48
99. Non-slip aluminum oxide finish	130.17 SF @	0.50 =	65.09

**Grand Total Areas:**

12,817.80 SF Walls	9,543.14 SF Ceiling	22,360.94 SF Walls and Ceiling
9,543.14 SF Floor	1,060.35 SY Flooring	1,602.22 LF Floor Perimeter
0.00 SF Long Wall	0.00 SF Short Wall	1,602.22 LF Ceil. Perimeter
9,543.14 Floor Area	9,889.45 Total Area	12,817.80 Interior Wall Area
4,151.90 Exterior Wall Area	460.99 Exterior Perimeter of Walls	
0.00 Surface Area	0.00 Number of Squares	0.00 Total Perimeter Length
0.00 Total Ridge Length	0.00 Total Hip Length	



## Paul Davis Restoration

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### Summary

Line Item Total	1,308,542.73
<b>Replacement Cost Value</b>	<b>\$1,308,542.73</b>
<b>Net Claim</b>	<b>\$1,308,542.73</b>

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Jerry Rehm  
Project Manager



Ingham County Road Department  
301 Bush Street  
P.O. Box 38  
Mason, MI 48854-0000  
Phone: 517-676-9722  
Fax: 517-676-5914

APPLICATION AND PERMIT TO CONSTRUCT, OPERATE, USE AND/OR MAINTAIN WITHIN THE RIGHT-OF-WAY; OR TO CLOSE A COUNTY ROAD. If a contractor is to perform the construction entailed in this application and permit, and is supplying the deposit, and bond, he will fill out the information block provided, and thereby assumes responsibility, along with the applicant, for any provisions of this application and permit which apply to him.

Application No. 234998  
Permit No. 2020-000666  
Date 10/13/2020

<b>A P P L I C A N T</b>	Temple Street LLC 881 Hull Rd Mason, MI 48854-0000	<b>C O N T R I B U T O R</b>	
	Phone(s): 517-719-5052 - -		
	Signature _____		Signature _____
	Title _____ Date _____		Title _____ Date _____
<b>R E Q U I R E M E N T</b>		<b>A T T A C H M E N T S</b>	
	Receipt No. To Be Billed Letter/Credit Work Order No.		Insurance Plans Yes Retainer Letter No Attachments No
			Job PAUL DAVIS Bond No. Bond Amt.

**3 WORKING DAYS  
BEFORE YOU DIG - DIAL  
(MISS DIG)  
(TOLL FREE)  
(800-482-7171)**

Applicant and/or Contractor request a Permit for the purpose indicated in the attached plans and specifications at the following location:

City/Township Vevay Project Development, Sidewalk, , ,  
Name of Road Kipp Rd Roadside  
Between and Dexter Trail

For a Period Beginning 10/13/2020 and Ending 10/13/2021  
and Agrees to the terms of this permit.

Permitted activities include installation of 5 foot minimum width sidewalk in the Right of Way along Kipp Road, East of temple Street. Work is permitted according to Lapham Associates plans dated Sept 15, 2020. Maintain Traffic in accordance with the MMUTCD. All traffic control devices shall be removed from the right of way within 48 hours of the completion of the work. Failure to meet these deadlines will result in the ICRD removing the devices at the applicant's expense. Right of way shall be restored in kind.

Recommended For Issuance:

Board of County Road Commissioners  
Ingham County, Michigan

\_\_\_\_\_  
Date 10/13/2020  
(Investigator)

\_\_\_\_\_  
Date 10/13/2020  
(Project/Traffic Engineer)

By \_\_\_\_\_  
County Highway Engineer



**RIGHT-OF-WAY PERMIT RULES AND REGULATIONS**

1. **SPECIFICATIONS:** All work performed under this permit must be in accordance with the approved plans, specifications, maps, and statements filed with the Road Commission. The work must comply with the Road Commission's current requirements and specifications and applicable MDOT specifications.
2. **FEES & COSTS:** The permit applicant shall be responsible for all fees and costs incurred by the Road Commission in connection with this permit and shall deposit estimated fees and costs, as determined by the Road Commission, at the time the permit is issued.
3. **CASH BOND:** The permit applicant shall provide a cash deposit, certified check, cashier's check, money order, or irrevocable letter of credit drawn on a solvent bank for an amount acceptable to the Road Commission at the time the permit is issued.
4. **INSURANCE:** The permit applicant shall furnish proof of liability and property damage insurance in the amount stated below naming the Road Commission as an insured:
 

General liability – each occurrence .....	\$500,000.00
Automobile liability – each accident .....	\$1,000,000.00
Property Damage liability – each accident .....	\$1,000,000.00
Single Limit policy .....	\$1,000,000.00

Said insurance shall be effect for a period not less than the term of this permit and shall provide evidence that it cannot be cancelled without ten (10) days advanced written notice by certified mail with return receipt required to the Road Commission.
5. **INDEMNIFICATION:** The Permit Holder shall hold harmless and indemnify, and keep indemnified, the Road Commission, its officers and employees from all claims, suits, and judgments to which the Road Commission, its officers and employees may be subject. The Permit Holder shall also hold harmless and indemnify, and keep indemnified, the Road Commission, its officers and employees for all costs and actual attorney fees which may be incurred on account of injury to persons or damage to property, including property of the Road Commission, whether due to negligence of the Permit Holder or the joint negligence of the Permit Holder and the Road Commission, arising out of the work under this permit, or in connection with the work not authorized by this permit, or resulting from failure to comply with the terms of this permit, or arising out of the continued existence of the work product which is the subject of this permit.
6. **MISS DIG:** The Permit Holder must comply with the requirements of Act 53 of Public Acts of 1974, as amended. CALL MISS DIG AT (800) 482-7171 AT LEAST TWO (2) FULL WORKING DAYS, BUT NOT MORE THAN TWENTY ONE (21) CALENDAR DAYS BEFORE THE START OF WORK. The Permit Holder assumes all responsibility for damages to or interruption of underground utilities.
7. **NOTIFICATION OF START OF WORK AND COMPLETION OF WORK:** The Permit Holder must notify the Road Commission at least 48 hours before starting work and must notify the Road Commission when work is completed.
8. **TIME RESTRICTIONS:** All permitted work must be performed Mondays through Fridays between 8:00 AM and 5:00 PM unless written approval is obtained from the Road Commission to work outside of those hours. The permitted work shall be performed during the period of time described on the permit unless an extension is granted by the Road Commission. Additional permit fees may be required to consider a time extension.
9. **SAFETY:** The Permit Holder agrees to work under this permit in a safe manner and to keep the road right-of-way affected by this permitted activity in a safe condition until the work is completed and accepted by the Road Commission. All work zone signing and flagging operations shall comply with the Michigan Manual of Uniform Traffic Control Devices and Road Commission standards.
10. **RESTORATION AND REPAIR OF ROAD:** The Permit Holder agrees to restore the road and right-of-way to a condition equal to or better, as determined by the Road Commission, than its condition before the work began. The Permit Holder further agrees to repair any subsequent damage, as determined by the Road Commission, to the road and right-of-way which is caused by the facility, or its maintenance, installed under this permit.
11. **LIMITATION OF PERMIT:** This permit does not relieve the Permit Holder from complying with regulations of other agencies or applicable laws. The Permit Holder is responsible for obtaining additional permits or releases which may be required in connection with this work from governmental agencies, public utilities, corporations, and individuals, including property owners. Permission may be required from adjoining property owners.
12. **VIOLATION AND REVOCATION OF PERMIT:** Permits are automatically invalidated by the violation of any of the conditions specified by the terms of the permit or by false information given on the application. Failure to comply with the conditions of this permit may be just cause for the immediate suspension or revocation of any or all permits and cause for the Road Commission to use bond money to restore the road and right-of-way to its satisfaction. This permit may be suspended or revoked at will. The Road Commission may require the Permit Holder to surrender this permit and alter or relocate its facilities within the right-of-way, or remove its facilities from the road right-of-way, at the permit holder's expense. The Road Commission reserves the right to remove facilities from the road right-of-way and recoup its costs from the Permit Holder.
13. **ASSIGNABILITY:** This permit may not be assigned without the prior written approval of the Road Commission. If approval is granted, the assignor shall remain liable and the assignee shall be bound by all the terms and conditions of the permit.
14. This permit is subject to supplemental specifications, on file with the Road Commission, and Act 200 of Public Acts of 1969, as amended.





Building Development  
Prepared For  
**Paul Davis**  
Section 9, T.2N., R.1W., City of Mason, Ingham County, Michigan  
SITE ADDRESS: 1155 Temple Street, Mason, MI. 48854

Property Description:

Part of the Southeast 1/4 of Section 9, T2N, R1W, City of Mason, Ingham County, Michigan, described as: Beginning at the Southeast Corner of said Section 9; thence N89°58'20"W, along the South Section line, 425.00 feet; thence N00°01'45"W, parallel with the East Section line, 512.47 feet; thence S89°58'20"E, parallel with the South Section line, 425.00 feet; thence S00°01'45"E, along the East Section line, 512.47 feet to the Point of Beginning. Containing 5.0 acres, and being subject to restrictions, reservations, easements, rights-of-way, zoning, governmental regulations and matters visible, if any, upon or affecting said lands.

Sheet Index:

- C-1 Cover Sheet
- C-2 General Notes
- C-3 Existing Topographic Survey
- C-4 Demolition Plan
- C-5 Site Plan
- C-6 Site Details
- C-7 Utility Plan
- C-8 Site Lighting / Photometric Plan
- C-9 Grading Plan
- C-10 Storm Water Management Plan
- C-11 Storm Water Management Plan
- C-12 Water Main Plan & Profile
- C-13 SESC Plan
- C-14 SESC Key
- C-15 Site Specifications
- C-16 Site Specifications
- L-1 Landscape plan (by others)

Submission Table:

Aug. 9, 2019	Submit initial preliminary site plans to City of Mason for their review. <b>These plans are not to be used for construction.</b>
Aug. 15, 2019	Revised plans to include storm water management and grading plans and to address early comments from city planner from email dated Aug. 12th. <b>These plans are not to be used for construction.</b>
Sept. 13, 2019	Revised plans meeting with City staff. <b>These plans are not to be used for construction.</b>
Nov. 26, 2019	Engineering submittal plans to City of Mason.
July 21, 2020	Revised site plan to client's request for smaller building.
Sept. 15, 2020	Submitt plans to Drain Commissioner for Stormwater Management review,



LOCATION SKETCH:



PROJECT NUMBER: P-190259  
ENGINEER: Timothy L. Lapham, P.E., P.S. 27595  
REVISED: Nov. 26, 2019 for Engineering submittal, July 21, 2020 per owner's request  
REVISED: Sept. 15, 2020 Drain Commissioner submittal

DRAWN BY: S.E. Bell  
DATE: September 13, 2019

SCALE: N/A  
SHEET C-1

Cover Sheet

Paul Davis Restoration Mason Development

For

Paul Davis

PAUL DAVIS

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C-1



# NOTE SHEET

**1. EXTENSION OF PUBLIC UTILITIES:** All public sanitary sewer and/or water main **SHALL** be extended to the fullest limits of the property, including corner lots, with the pipe size and material approved by the owning municipality. This is necessary for plan approval. For water service of 1" or less or a building on a corner lot, the requirements to extend the public water main and/or sanitary sewer along both property lines will be reviewed.

**2. SOIL EROSION:** The DEVELOPER shall submit a detailed Soil Erosion and Sedimentation Control plan and obtain an Act 451 Part 91, Soil Erosion and Sedimentation Control permit. This includes the payment of fees and the providing of necessary bonds. **No earth changes or excavation shall be started prior to the issuance of this permit.** The DEVELOPER shall protect all existing and proposed storm sewer facilities on and adjacent to the site during excavation and construction. All sediment shall be contained on site. Any silt in county drains, storm sewer, culverts, etc. as a result of this project, shall be removed by the DEVELOPER at the cost of the DEVELOPER.

**3. FLOOD PLAIN OR WETLAND CONSTRUCTION:** The DEVELOPER shall apply to the Michigan Department of Environment Great Lakes and Energy (EGLE) for a permit for the alteration and/or occupation of a flood plain or floodway, as required under PA 451. Evidence of this permit may be required prior to plan approval.

**4. NPDES STORM WATER DISCHARGE PERMIT:** The owner of the property shall obtain a NPDES Storm Water Discharge permit for construction activities from EGLE as required under Public Act 451. The notice of coverage form shall be submitted with the Soil Erosion Control permit application. All EGLE fees shall accompany the Notice of Coverage.

**5. ROAD COMMISSION PERMIT:** The DEVELOPER shall obtain a permit from the Road Commission to perform work within the county Right-of-Way. All fees for the permit, bonds and insurances are the responsibility of the developer.

**6. MUNICIPALITY SANITARY SEWER AND WATER PERMIT:** Prior to the issuance of a building permit by the local municipality, the developer may be required to obtain a sanitary sewer and/or water tap-in permit from the owning municipality.

**7. STATE CONSTRUCTION PERMITS:** The sanitary sewer and water main construction permits from the Michigan Department of Environment Great Lakes and Energy shall be submitted to the EGLE after approval local municipality. Construction shall not begin until these state permits are issued.

**8. Utility Warning** - Underground locations as shown on the plans were obtained from utility owners, and were not field located. A minimum of three (3) working days prior to beginning construction, the contractor shall notify "MISS DIG" (800-482-7171) and have all underground utilities staked before any work may begin. The contractor shall be responsible for the protection and/or relocation of all utilities that may interfere with construction. Three (3) Working Days Before You DIG - Call MISS DIG (1-800-482-7171).

# OTHER NOTES

- The contractor shall be responsible to review and be familiar with all portions of these plans. Any discrepancies between different portions of the plans shall be brought to the attention of the Engineer and shall be resolved prior to construction.

# NRCS SOILS MAP

Map Unit Symbol	Map Unit Name	Acres in AOI	Percent of AOI
AnA	Aubbeenuubee:Capac sandy loams, 0 to 3 percent slopes	0.4	8.7%
CvraaB	Conover loam, 0 to 4 percent slopes	3.4	68.4%
Gf	Gilford sandy loam, 0 to 2 percent slopes, gravelly subsoil	1.0	19.8%
Hn	Houghton muck, 0 to 1 percent slopes	0.2	3.1%
Totals for Area of Interest		5.0	100.0%



# WETLAND MAP



# BENCHMARKS

## Benchmark #1

South bolt on fire hydrant flange on south side of Kipp Road at southeast of intersection of Temple Street and Kipp Road. Elev. = 910.72

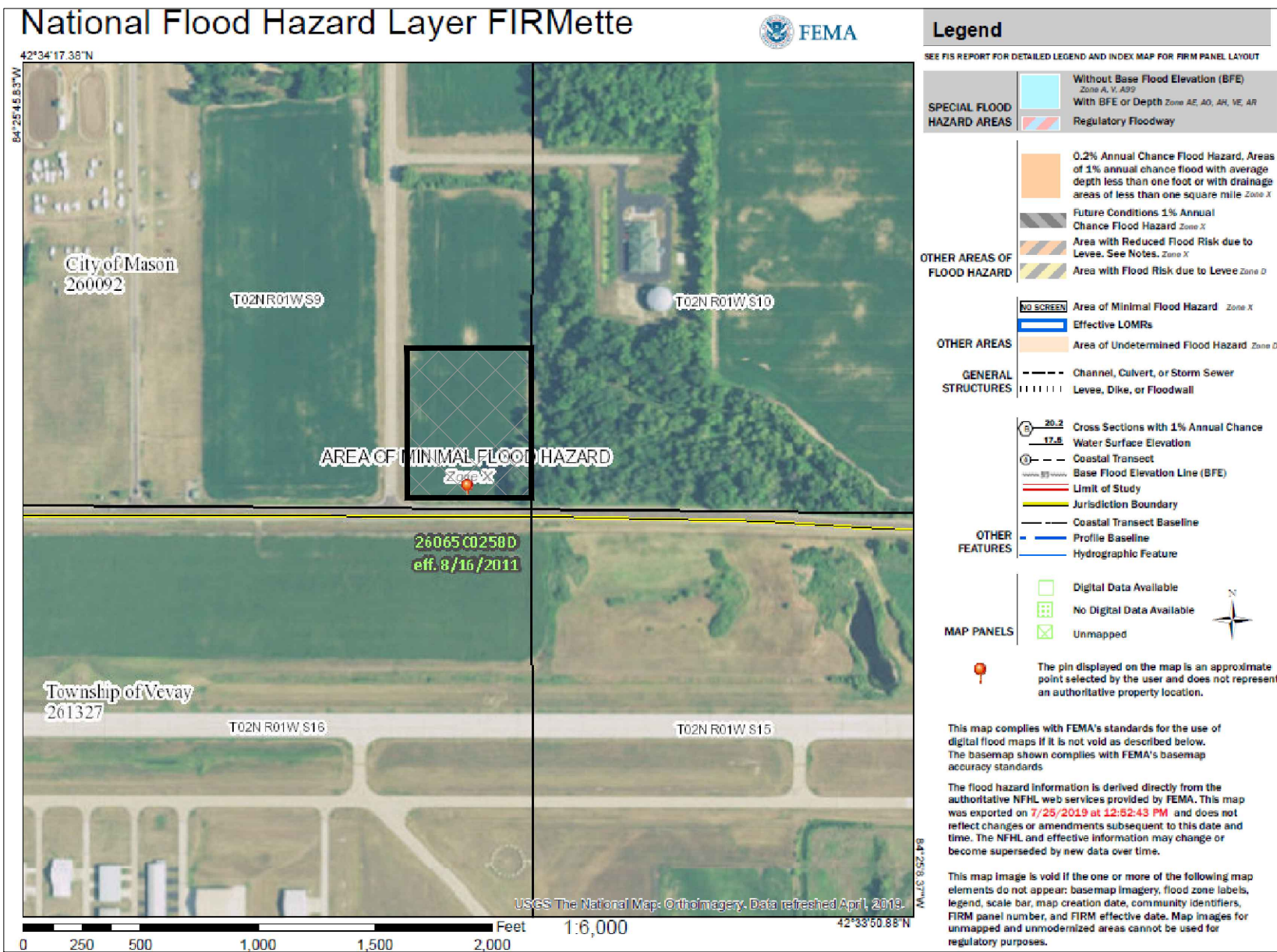
## Benchmark #2

East bolt on fire hydrant flange on east side of Temple Street approximately 340 feet north of centerline of Kipp Road. Elev. = 910.81

# PLAN LEGEND

- O/ELECT— = OVERHEAD ELECTRIC LINE
- GAS—GAS— = BURIED GAS LINE
- SAN—SAN— = SANITARY SEWER
- WATER— = WATER MAIN
- UG TELE— = UNDERGROUND TELEPHONE
- ⊙ = SANITARY MANHOLE
- ⊙ = STORM MANHOLE
- = CATCH BASIN
- ⊙ = CURB INLET
- ⊙ = FIRE HYDRANT
- ⊙ = WATER VALVE
- ⊙ = LIGHT POLE
- ⊙ = STREET SIGN
- ⊙ = FENCE LINE
- ⊙ = UTILITY POLE
- ⊙ = FOUND CAPPED IRON
- = SET CAPPED IRON
- = BITUMINOUS PAVING
- ⊙ = CONCRETE PAVING OR WALKWAY
- ⊙ = PLS SYSTEM CORNER
- R = RECORDED AS IN TITLE DESCRIPTION
- P = PREVIOUSLY DESCRIBED
- M = MEASURED AS
- ⊙ = PROPOSED LIGHT POLE

# FLOODZONE MAP



# ABBREVIATIONS

## LIST OF ABBREVIATIONS

	Definitions
A.C.	Alternating Current
A.F.C.	Adult Foster Care
ASPH.	Asphalt Paving
ASTM	American Society of Testing Materials
AWS	American Welding Society
AWWA	American Waterworks Association
BLDG.	Building
CIP	Compacted in place
CL	Class
CONC.	Concrete
C.Y.d. or CYD	Cubic Yard
DR	Dimension Ratio
°	Degrees
EA	Each
EJ	East Jordan Iron Works
ELEV.	Elevation
EX	Existing
F.F.	Finish Floor
G.P.M.	Gallons Per Minute
I.Q.	Inside Diameter
Inv.	Invert
Lbs.	Pounds
LFT	Lineal Feet
L.S.	Lump Sum
Max.	Maximum
MDOT	Michigan Department of Transportation
M.H.	Manhole
Mil.	Millimeter
Min.	Minimum
MUW	Maximum Unit Weight at optimum moisture content
No.	Number
NSF	National Sanitation Foundation
OSHA	Occupational Safety Health Administration
PSIGP	Pounds per square inch gauge
PVC	Polyvinyl Chloride
R.O.W. or R/W	Right-of-Way
RAD.	Radius
SDR	Standard Dimension Ratio
SYD	Square Yard
T.D.H.	Total Dynamic Head
V.L.F.	Vertical Lineal Feet
'	Minutes of angles or Feet
"	Seconds of angles or Inches
%	Percent
#	Pounds

# ZONING MAP









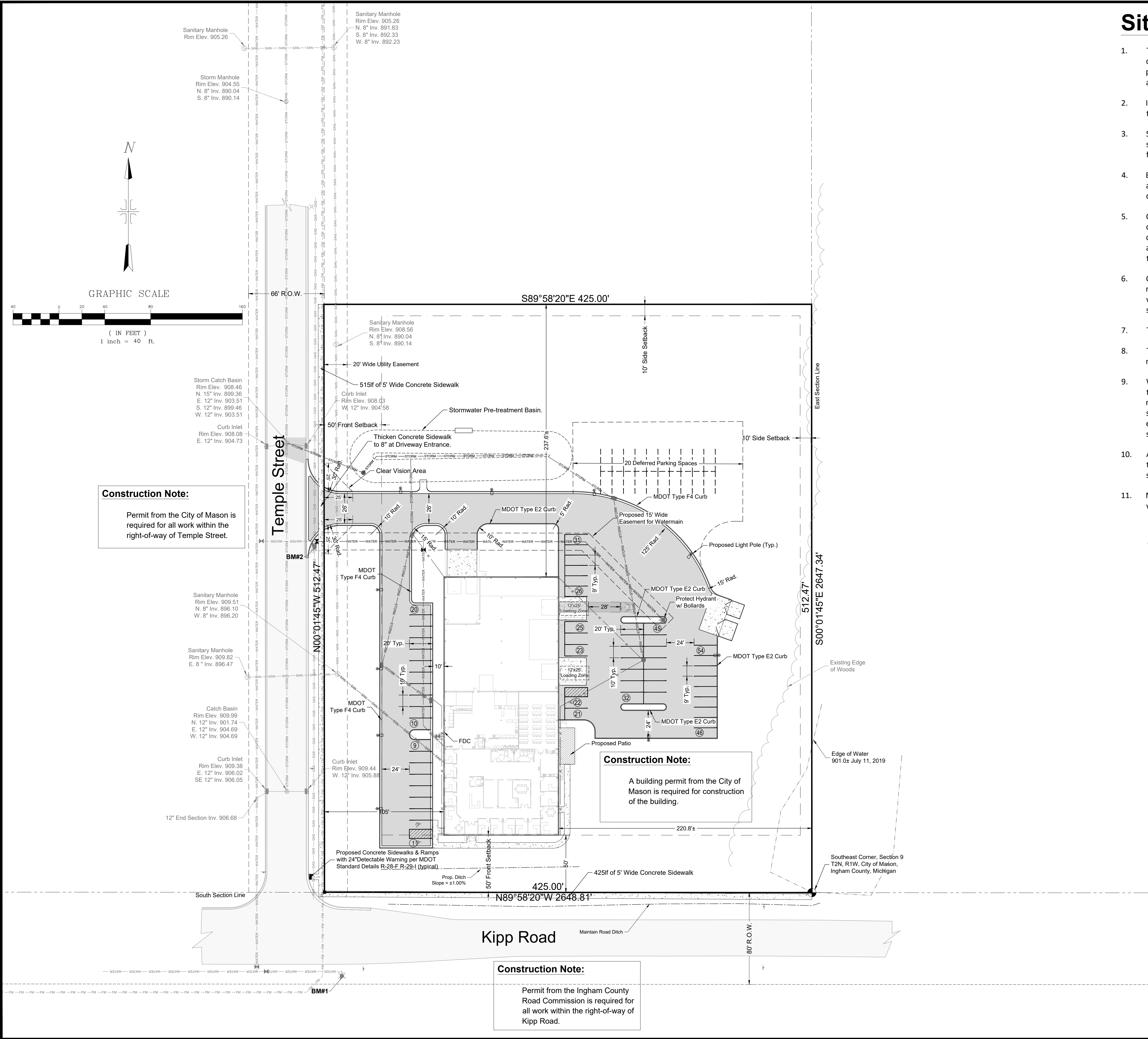


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SURVEYING

**PAUL DAVIS** RECOVER • RECONSTRUCT • RESTORE

PROJECT NUMBER: P-190259	DRAWN BY: S.E. Bell	SCALE: 1" = 40'
ENGINEER: Timothy L. Lapham, P.E., P.S. 27595	DATE: September 13, 2019	SHEET C-4
REVISED: Nov. 26, 2019 for Engineering submittal; July 21, 2020 per owner's request		





Site Plan Notes:

- These plans and specifications are subject to modification during construction when conditions develop that were not apparent during the design and preparation of these plans. All modifications must be approved by local jurisdiction prior to construction and/or implementation.
- In the event of any discrepancy between any drawing and the figures written thereon, the figures shall be taken as correct.
- Should it appear that the work to be done or any matter relative thereto is not sufficiently detailed or explained on these plans, the contractor shall contact the engineer for such further explanations as may be necessary.
- Before commencement of work, the contractor shall review all plans and specifications and the job site. The contractor shall notify the owner and the engineer of any discrepancies that may require modification to these plans or of any field conflicts.
- Contractor agrees that in accordance with generally accepted construction practices, the contractor will be required to assume sole and complete responsibility for job site conditions during the course of construction of the project, including safety of all persons and property. This requirement shall be made to apply continuously and not be limited to normal working hours.
- Contractor shall obtain all necessary permits prior to commencing construction involving right-of-ways, and for the construction, modification, or connection to facilities. All workmanship, equipment and materials shall conform to local jurisdiction standards and specifications.
- Traffic control shall be provided in accordance with local jurisdiction.
- The contractor shall provide all lights, signs, barricades, flag men, or other devices necessary to provide for public safety.
- Where soil or geologic conditions encountered in grading operations are different from those generally anticipated, or where conditions warrant changes to the recommendations contained therein, a report of soil or geologic conditions shall be submitted along with proposed changes for approval and shall be accompanied by an engineer's opinion as to the safety of the site from the possibility of land slippage, settlement and seismic activity.
- A preconstruction meeting shall be scheduled with the developer, services personnel and the developer's contractor. A preconstruction meeting shall take place prior to the starting of any construction on the site.
- Meet all current applicable ADA requirements for parking, signage, ramps, sidewalks, and warning notification on sidewalks approaching drives as required.

Parking Calculations:

**Parking Spaces Required:**  
0.33 Spaces per 100ft<sup>2</sup> per Table 100.5 for Industrial use  
22,500ft<sup>2</sup> x 0.33 / 100ft<sup>2</sup> = 74 Spaces

*Typical Parking Space 10' x 20' (200ft<sup>2</sup>) allowable reduction per Sec.94-292 (j) (3) of up to 20% of the spaces to 180ft<sup>2</sup>. With 74 spaces 20% allows 15 spaces at 180ft<sup>2</sup>. We have provided (9) 180ft<sup>2</sup> spaces on the far easterly end of the parking lot, and (6) 180ft<sup>2</sup> spaces at the northeast corner of the building.*

Zoning Notes:

**Owner:** Paul Davis Restoration  
881 Hull Road  
Mason, MI 48854

**Use:** Warehouse & light manufacturing permitted use by right per Sec. 94-151(b)

**Zoning:** M1 Light Manufacturing

**Setbacks:** Front Setback 50'  
Side Setback 10'  
Rear Setback 20'

**Lot Coverage:** 50% maximum allowed

Zoning Compliance Matrix:

	Required	Existing	Proposed
Lot size	66,000 ft <sup>2</sup>	N/A	217,912 ft <sup>2</sup>
Lot width	200'	N/A	512.47'
Set-backs			
Front	50'	N/A	50'
Side	10'	N/A	151'
Rear	20'	N/A	N/A
Coverage	50%	0%	12.6%
Height			
Principal Structure	40'	N/A	32'
Accessory Structure	40'	N/A	20' Light Poles
Parking			
Industrial use	74 spaces	0 spaces	74 spaces
Dimensions	10' x 20'	N/A	10' x 20' (15 @ 9'x20')
Loading Area	2 loading spaces		2 loading spaces

Site Plan

Paul Davis Restoration Mason Development

For

Paul Davis

ENGINEERING  
PLANNING  
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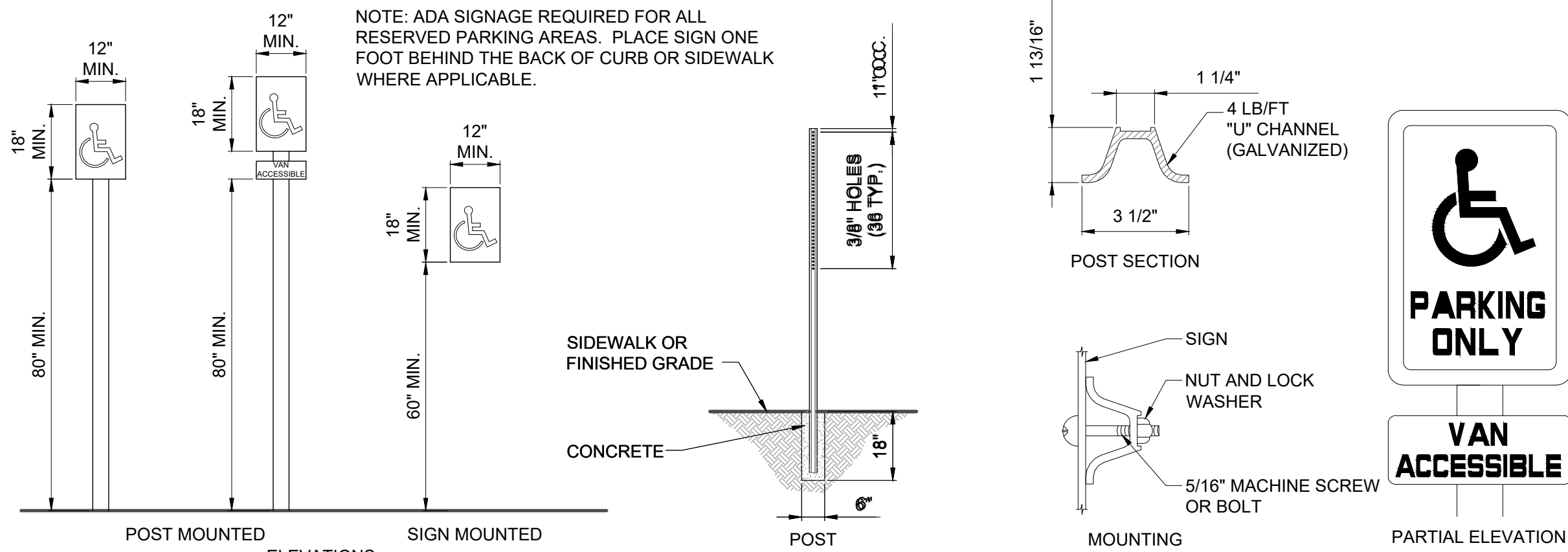
CONSTRUCTION

FINAL RECORD

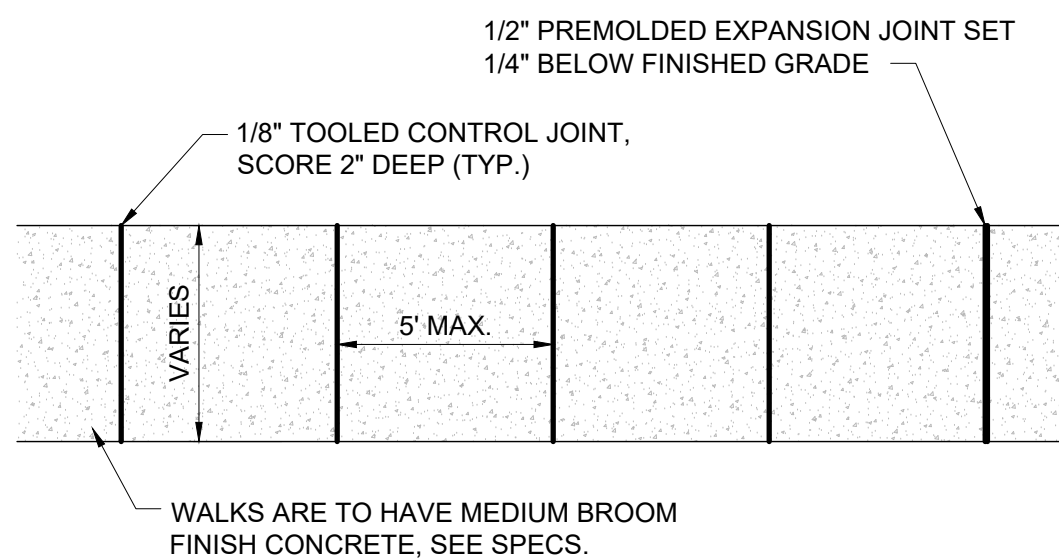
C-5

PC Packet Pg. 36

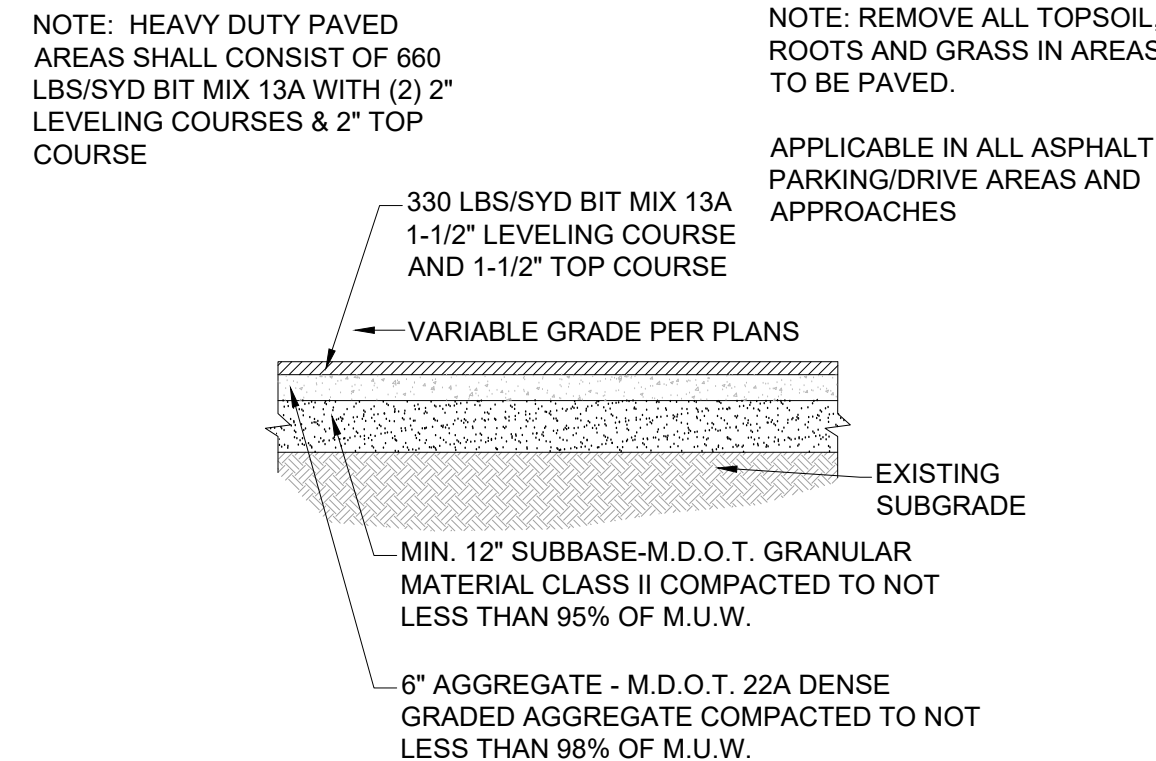




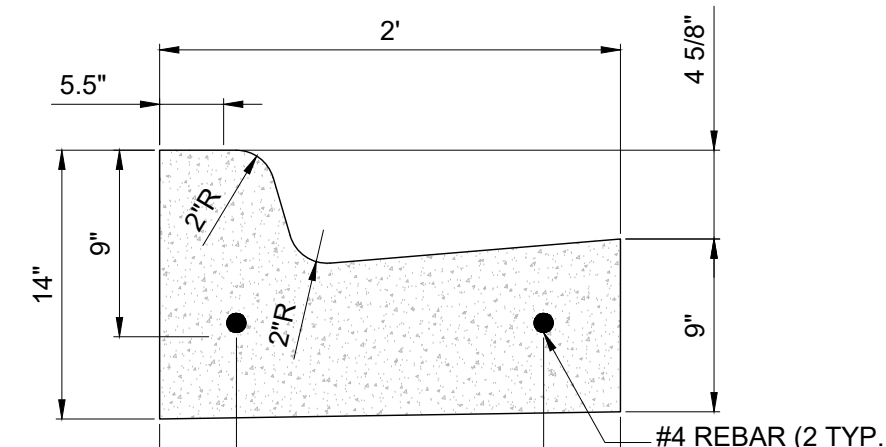
**1 ADA SIGNAGE DETAIL**  
SCALE: NONE



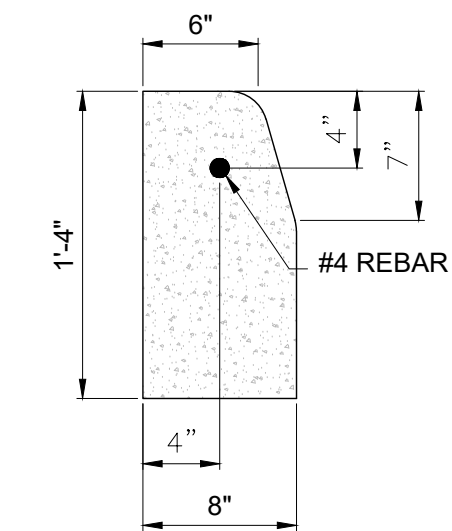
**2 TYPICAL CONCRETE SIDEWALK LAYOUT**  
SCALE: NONE



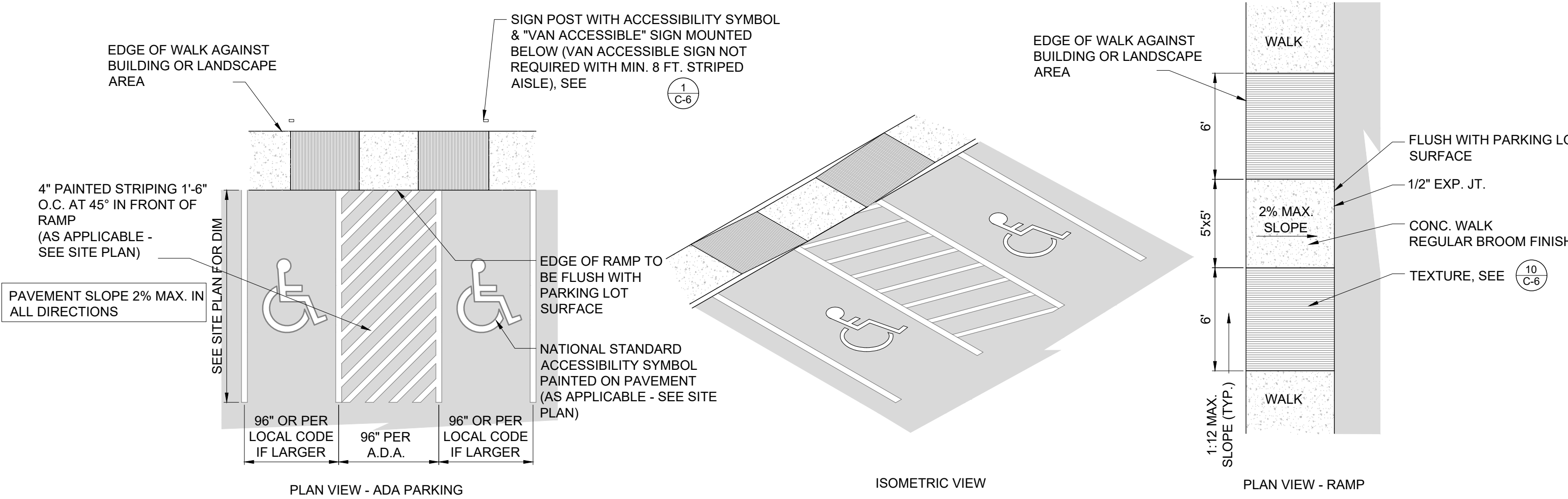
**3 BITUMINOUS PAVEMENT DETAIL**  
SCALE: NONE



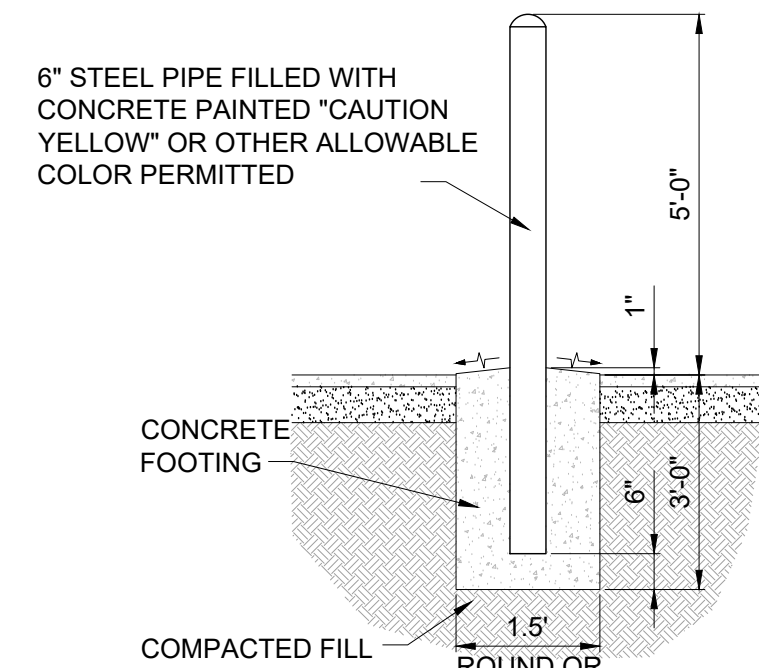
**4 MDOT F4 CURB**  
SCALE: NONE



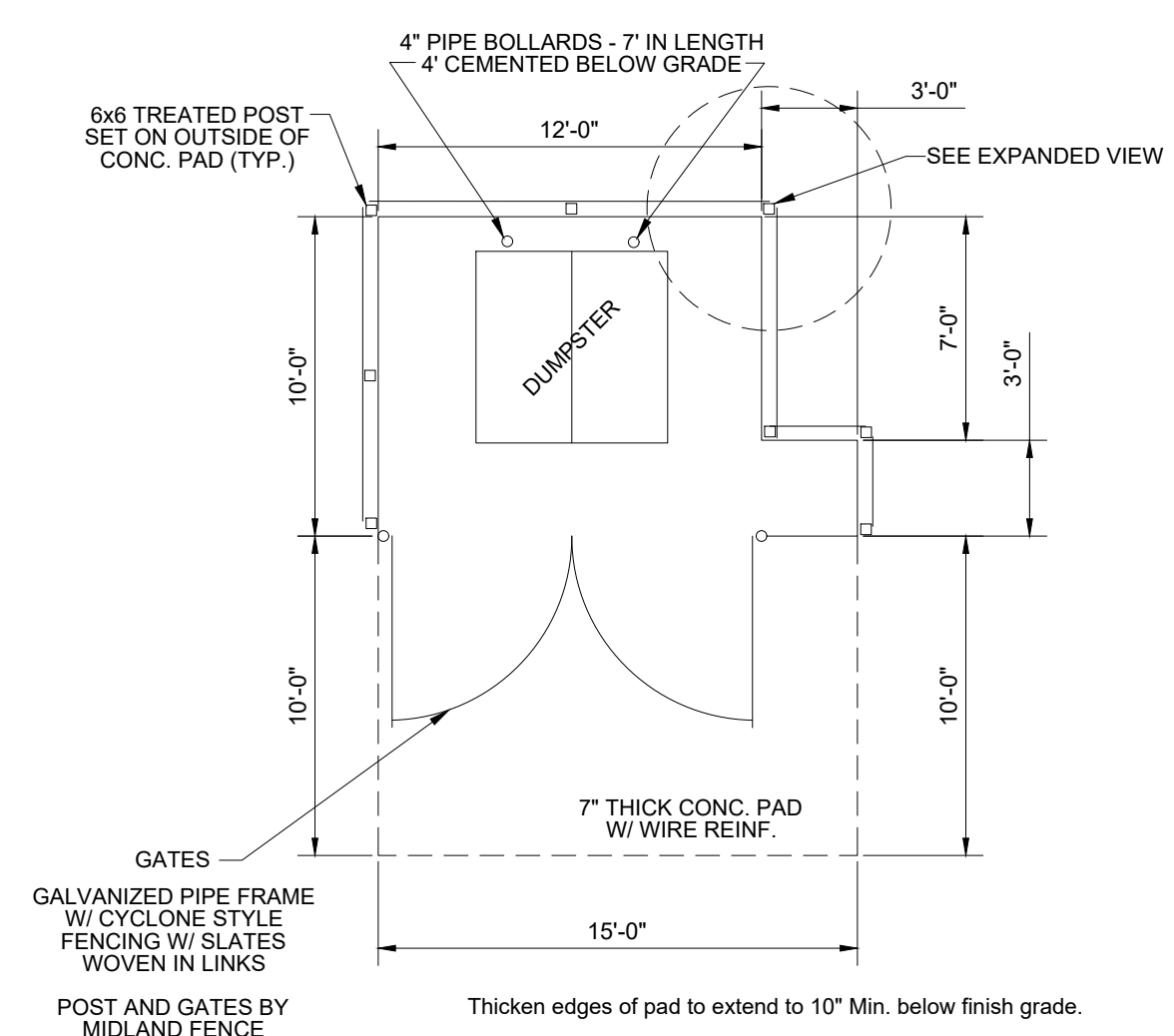
**7 MDOT E2 CURB**  
SCALE: NONE



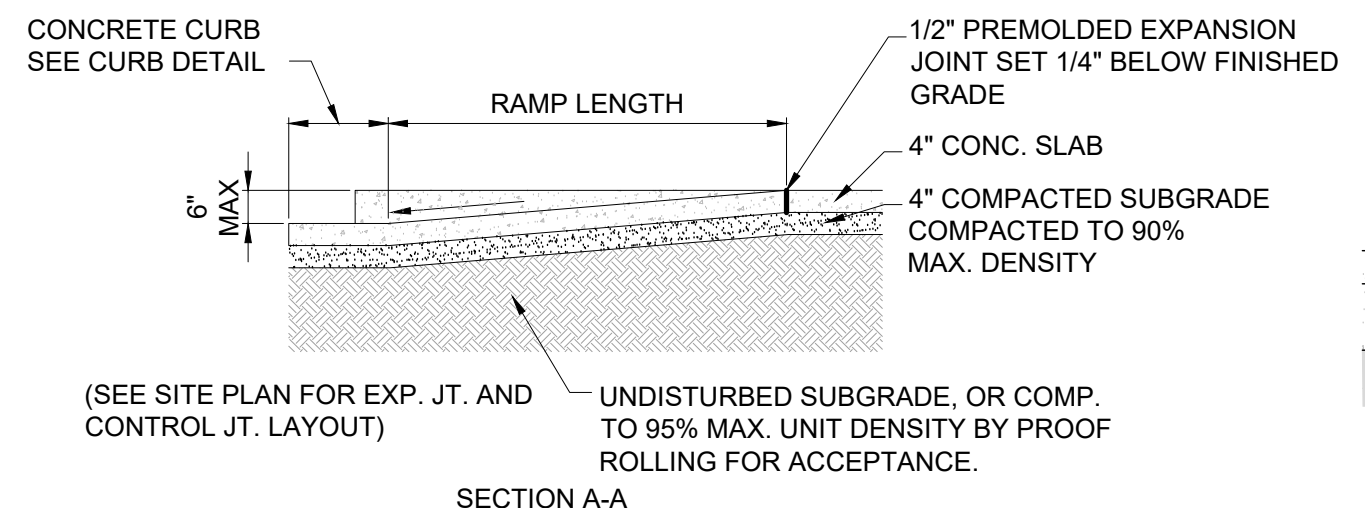
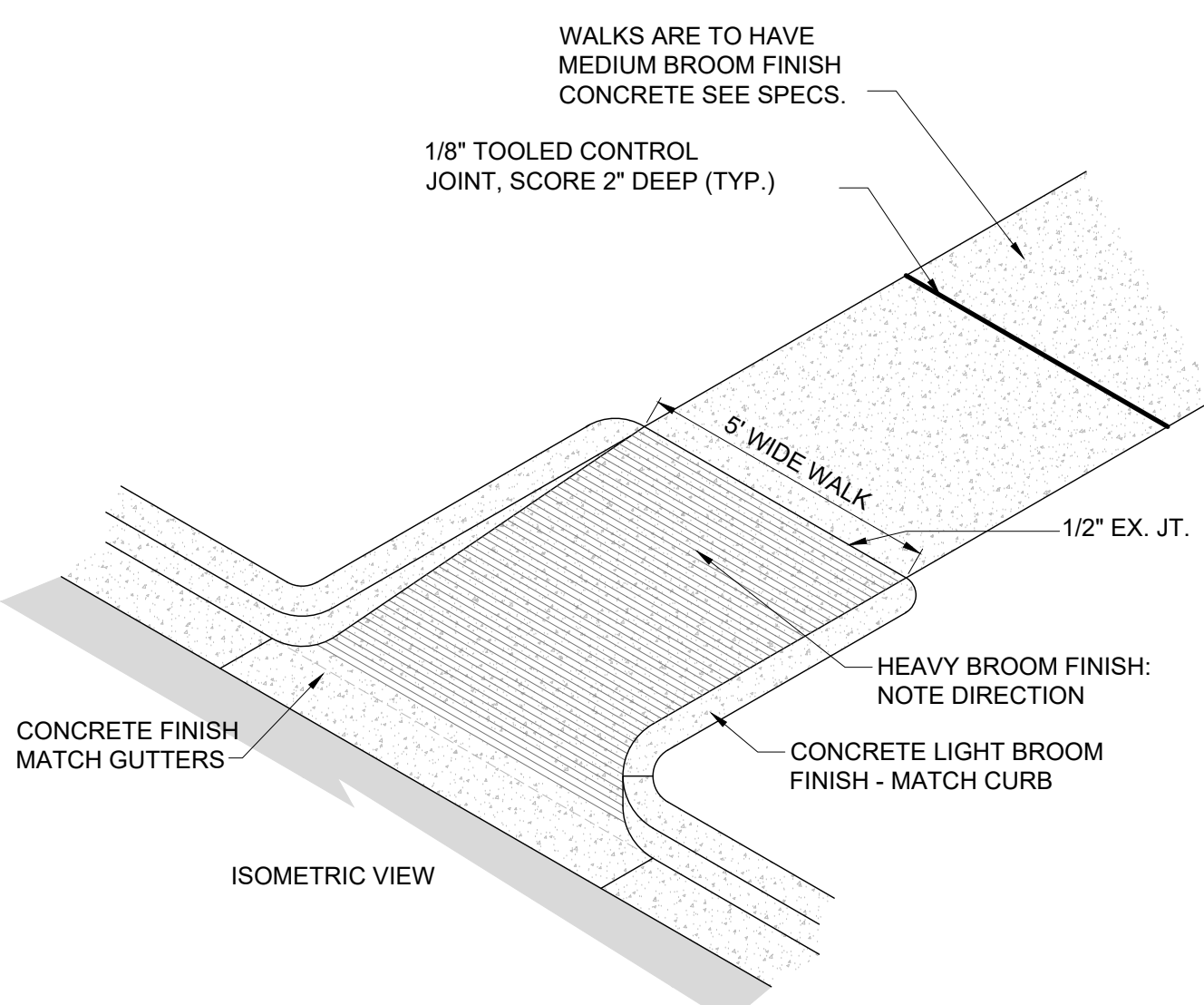
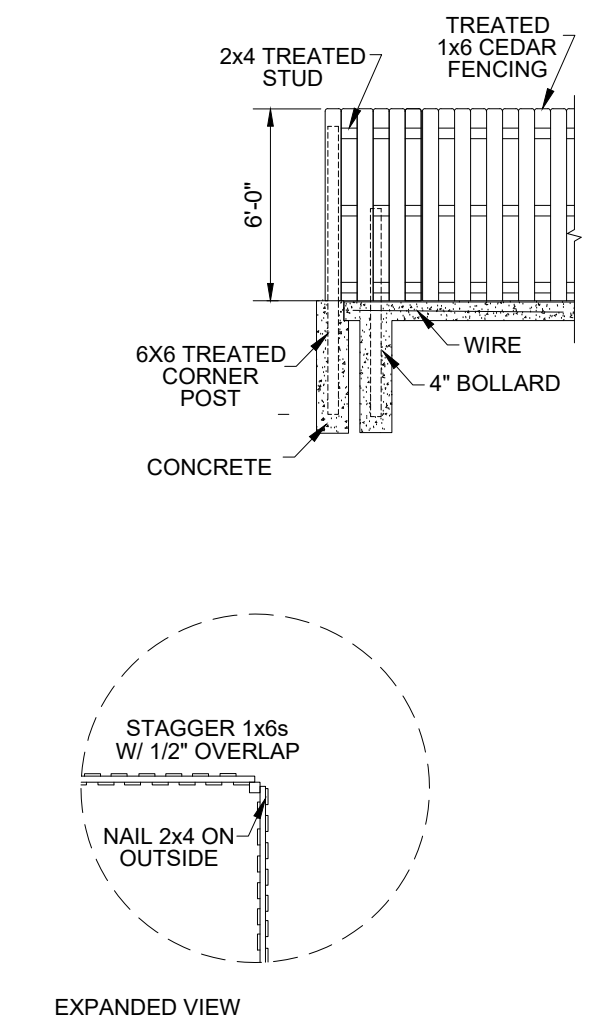
**5 ACCESSIBLE PARKING STALLS**  
SCALE: NONE



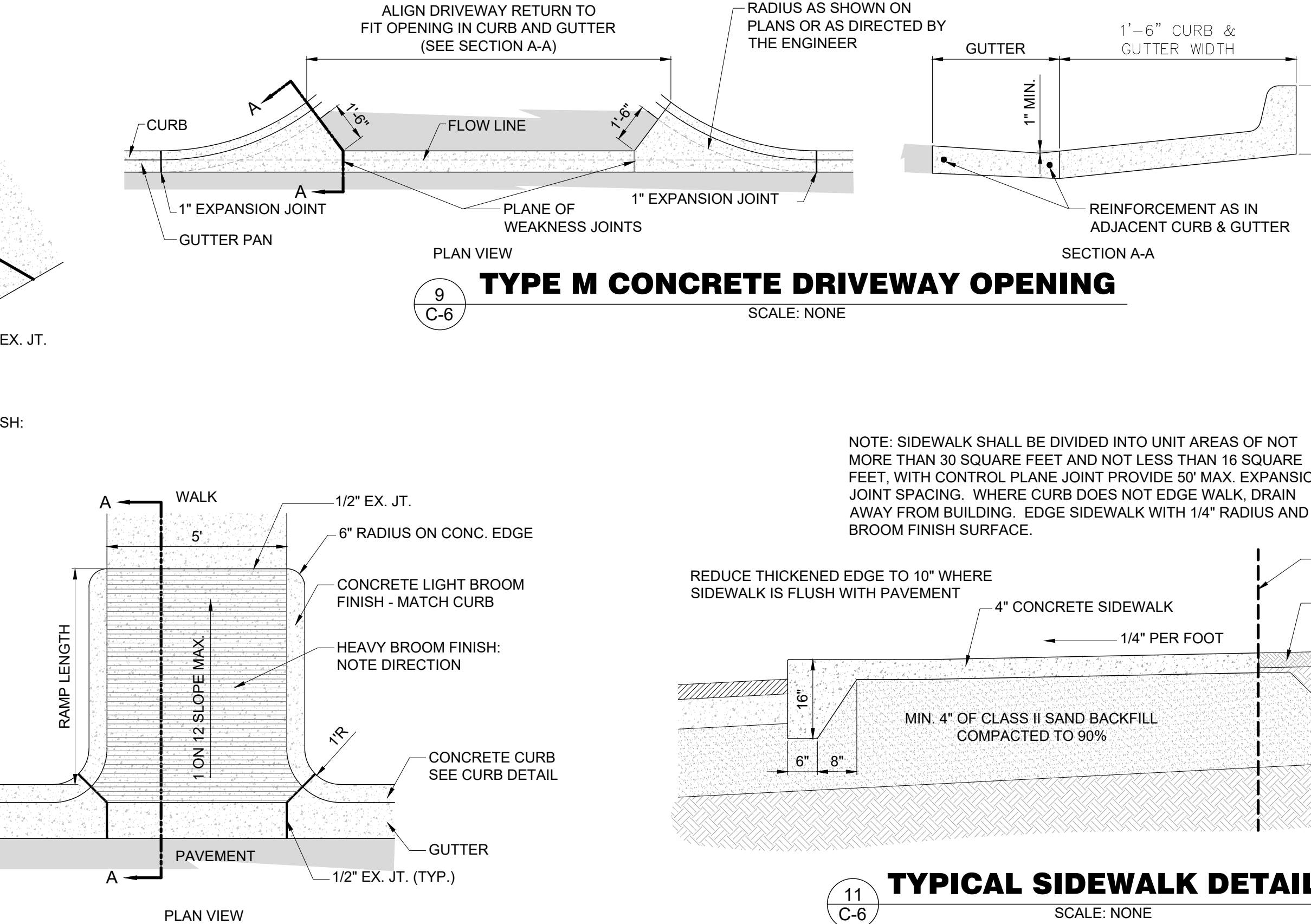
**6 TYPICAL BOLLARD**  
SCALE: NONE



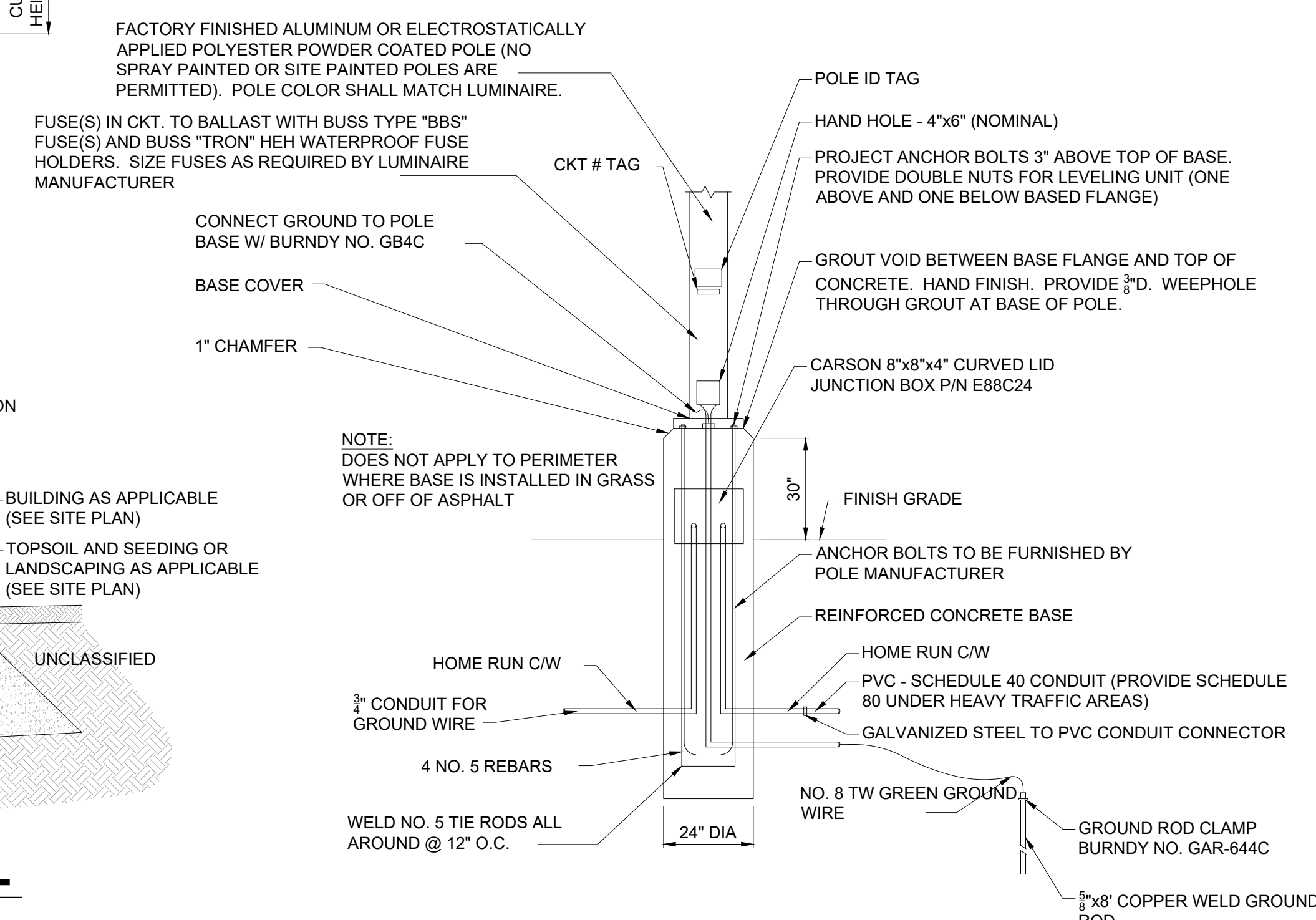
**8 DUMPSTER ENCLOSURE DETAIL**  
SCALE: As Shown



**10 BARRIER FREE RAMP - TYPE I**  
SCALE: NONE



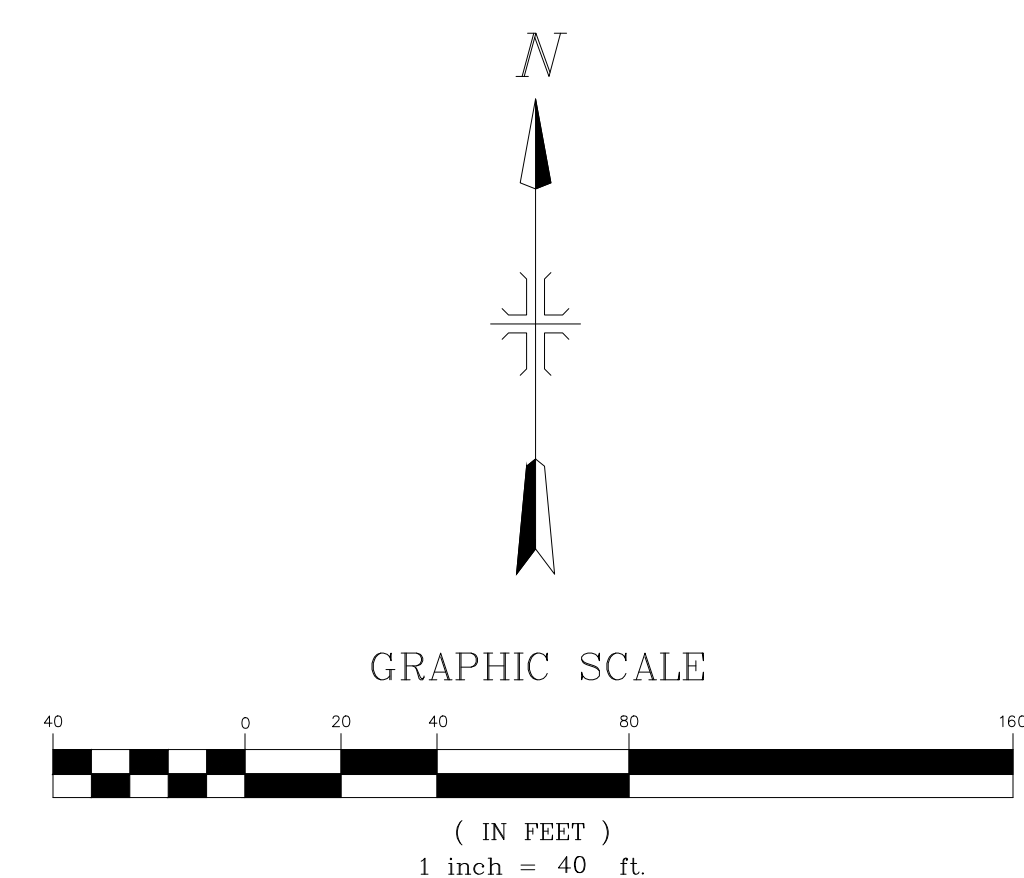
**11 TYPICAL SIDEWALK DETAIL**  
SCALE: NONE



**12 LIGHT POLE BASE**  
SCALE: NONE

PROJECT NUMBER: P-190289		DRAWN BY: S.E. Bell		SCALE: N/A	
ENGINEER: Timothy L. Lapham, P.E., P.S. 27585		DATE: September 13, 2019		SHEET C-6	
REVISOR: Nov. 26, 2019 for Engineering submittal; July 21, 2020 per owner's request					
REVISED: Sept. 15, 2020 Drain Commissioner submittal					
<div style="display: flex; justify-content: space-between;"> <div> <p><b>Site Details</b></p> <p>Paul Davis Restoration Mason Development</p> <p>For</p> <p><b>Paul Davis</b></p> </div> <div> <p><b>PAUL DAVIS</b></p> <p>RECOVER • RECONSTRUCT • RESTORE</p> </div> </div>					
<div style="display: flex; justify-content: space-between;"> <div> <p><b>LAPHAM ASSOCIATES</b></p> <p>ENGINEERING PLANNING ENVIRONMENTAL SURVEYING</p> <p>116 South 3rd Street West Branch, MI 48661</p> <p>P (989) 345-5030 F (989) 345-7302</p> <p>www.laphamassoc.com</p> <p>© 2020 COPYRIGHT, LAPHAM ASSOCIATES UNAUTHORIZED COPYING IS PROHIBITED.</p> </div> <div> <p>APPROVED USE FOR:</p> <ul style="list-style-type: none"> <li>PRELIMINARY</li> <li>PERMIT/BID</li> <li>CONSTRUCTION</li> <li>FINAL RECORD</li> </ul> </div> </div>					

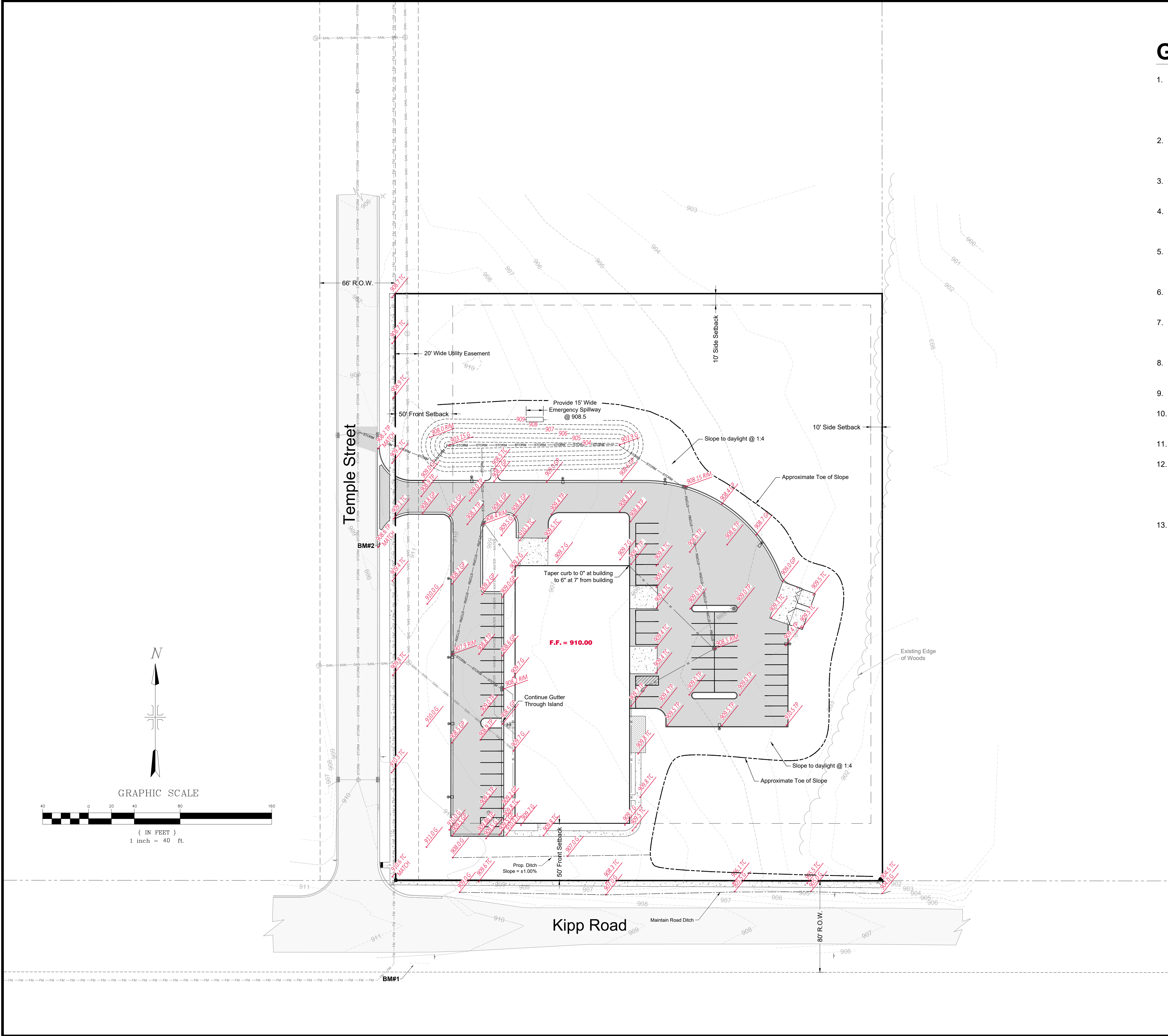














## Grading Notes:

- The forms for concrete sidewalks, curbs, gutters, and driveways that are to be constructed to conform to existing roads shall be installed to the grades shown on these plans. Prior to placing concrete, the forms shall be inspected and approved by local jurisdiction for conformance to existing road improvements. Grades of new improvements are subject to field adjustment to fit conditions.
- The contractor shall be responsible for matching existing facilities to avoid any abrupt or apparent changes in grades or cross slopes, low spots, or hazardous conditions.
- All grading, back filling, excavation, etc., shall be in accordance with the specification or normal practice if not specified.
- Where unstable or unsuitable materials are encountered during subgrade preparation, the area in question shall be over excavated and replaced with engineered backfill material.
- If requested, a representative of the engineer shall be on the site during grading operations and shall observe the construction and identify any conditions that should be corrected and recommend corrective measures to the contractor.
- All grading, erosion, and sediment control and related work undertaken on this site shall be in accordance with local jurisdiction.
- The contractor shall not disturb any permanent survey points without the consent of local jurisdiction. Any points destroyed shall be replaced by a licensed surveyor at the contractor's expense.
- Grading at the boundaries shall be done so as not to obstruct the runoff of storm waters from adjacent properties.
- All disturbed areas shall be topsoiled, seeded, fertilized and mulched.
- Contractor to maintain all soil erosion control measures. Surrounding paved areas shall be power broomed as necessary to remove mud tracking from the site.
- Contractor shall obtain soil erosion permit prior to any construction.
- All structures, sidewalks, curbs and asphalt shall have a minimum of 12" of clean granular material (MDOT Class II) as a sub-base and compacted to 95% maximum unit density. If pumping or yielding is caused by the compactive efforts, the sand layer shall be increased until density can be obtained without pumping water through the subgrade.
- Temporary grading easements from property owners shall be obtained for grading off-site prior to working on adjacent properties.

## Grading & Storm Water Notes:

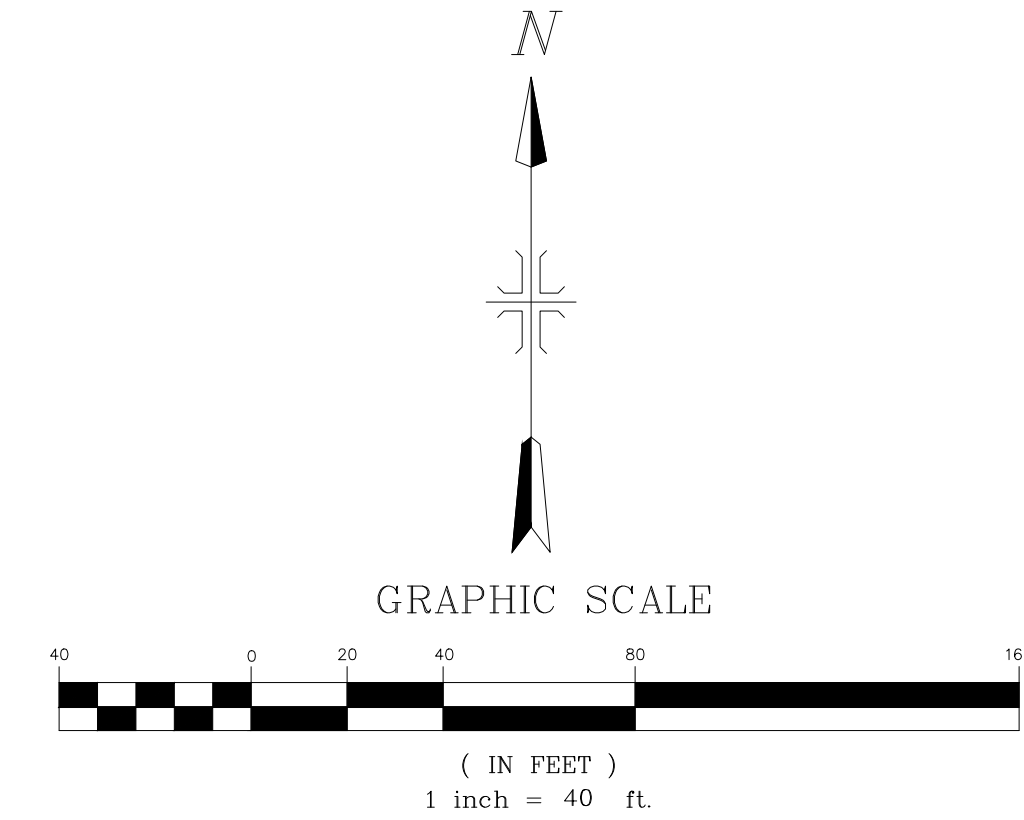
- Roof Drains shall be connected to drain tiles and either discharge to swales or catch basins.
- All Grades subject to field adjustment.

## LEGEND:

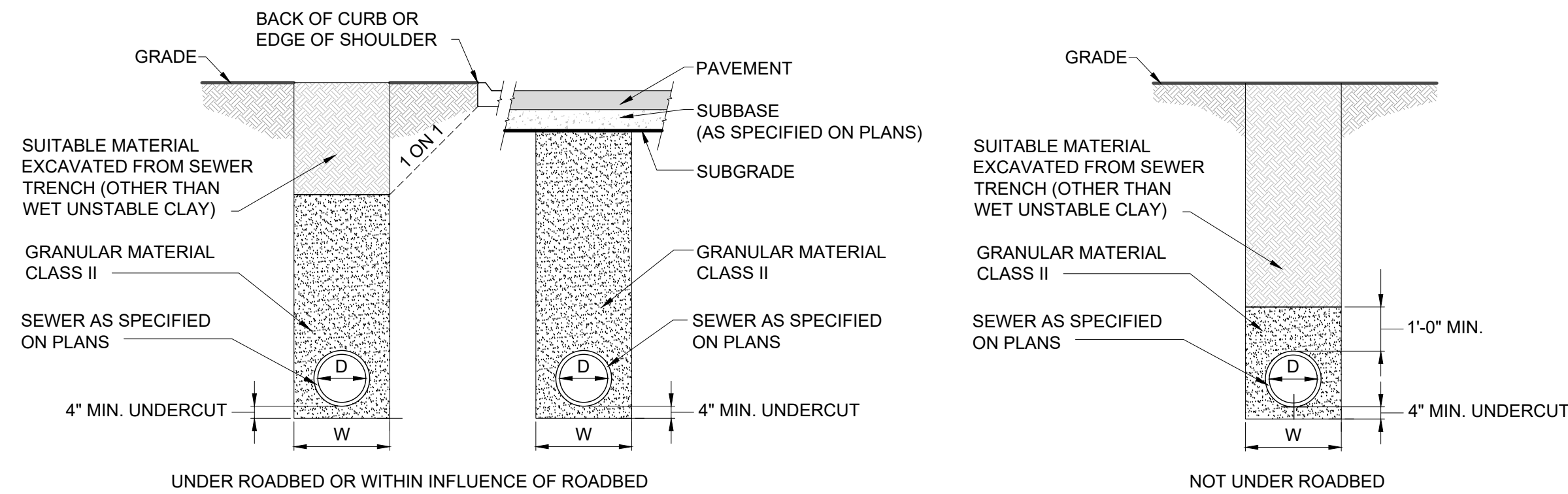
- |   |                             |
|---|-----------------------------|
| TP  | - TOP OF PAVEMENT           |
| TC  | - TOP OF CONCRETE           |
| BC  | - BACK OF CURB              |
| GP  | - GUTTER PAN                |
| FF  | - FINISH FLOOR              |
| G   | - GROUND                    |
| RIM   | - RIM ELEVATION             |
| INV   | - INVERT ELEVATION          |
|  | - ELEVATION AT LOCATION     |
|  | - DIRECTION OF SURFACE FLOW |

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		ENGINEER: Timothy L. Lapham, P.E., P.S. 27595	DATE: September 13, 2019	SHEET C-9
		REVISED: Nov 28, 2019 for Engineering Submittal, July 21, 2020 per owner's request		
		REVISED: Sept 15, 2020 Drain Commissioner submittal		
APPROVED USE FOR: ● PRELIMINARY ● PERMIT/BID ○ CONSTRUCTION ○ FINAL RECORD		<b>C-9</b>		





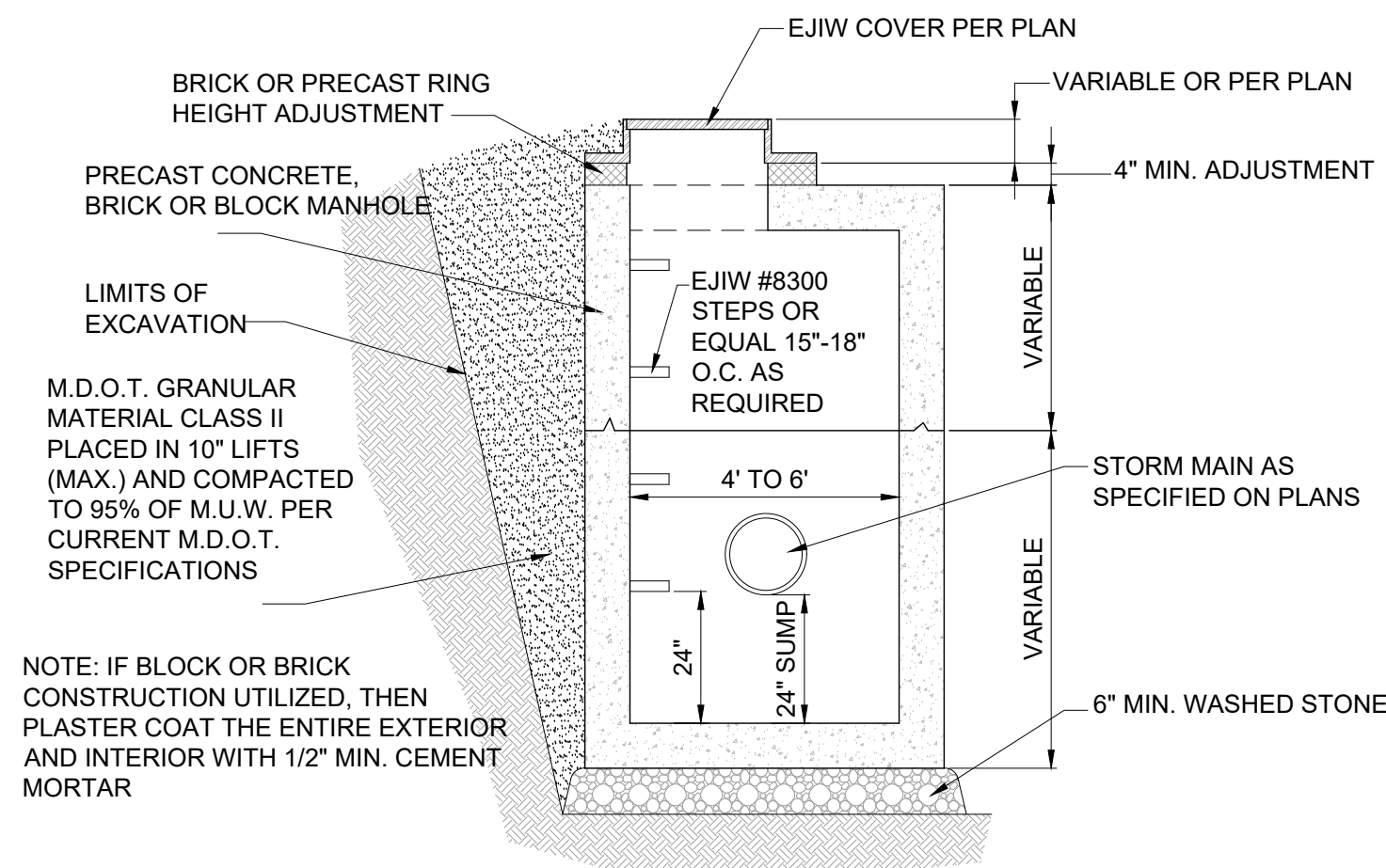
- All sidewalks to have an integral curb with an exposed face of typically 6" above paving unless a ramp at Barrier Free parking spaces.
- Roof drains from the building shall be connected to drain tiles discharge to catch basins.
- All Grades subject to field adjustment.



MINIMUM TRENCH WIDTHS						
I.D. PIPE SIZE (INCHES)	LESS THAN 18		21	24	30	36
"W" TRENCH WIDTH (FEET)	3.0		3.5	4.0	5.0	6.0
I.D. PIPE SIZE (INCHES)	42	48	54	60	66	72
"W" TRENCH WIDTH (FEET)	7.0	8.0	9.5	10.0	10.5	11.0
I.D. PIPE SIZE (INCHES)	78	84	90	96	102	108
"W" TRENCH WIDTH (FEET)	11.5	12.0	12.5	13.0	13.5	14.0

ESTIMATED PAVEMENT REMOVAL WIDTH IS TO BE TRENCH WIDTH "W" PLUS 1'-0" EACH SIDE OF THE TRENCH (6'-0" MINIMUM)

SCALE: NONE



SCALE: NONE



STORAGE CALCULATIONS:

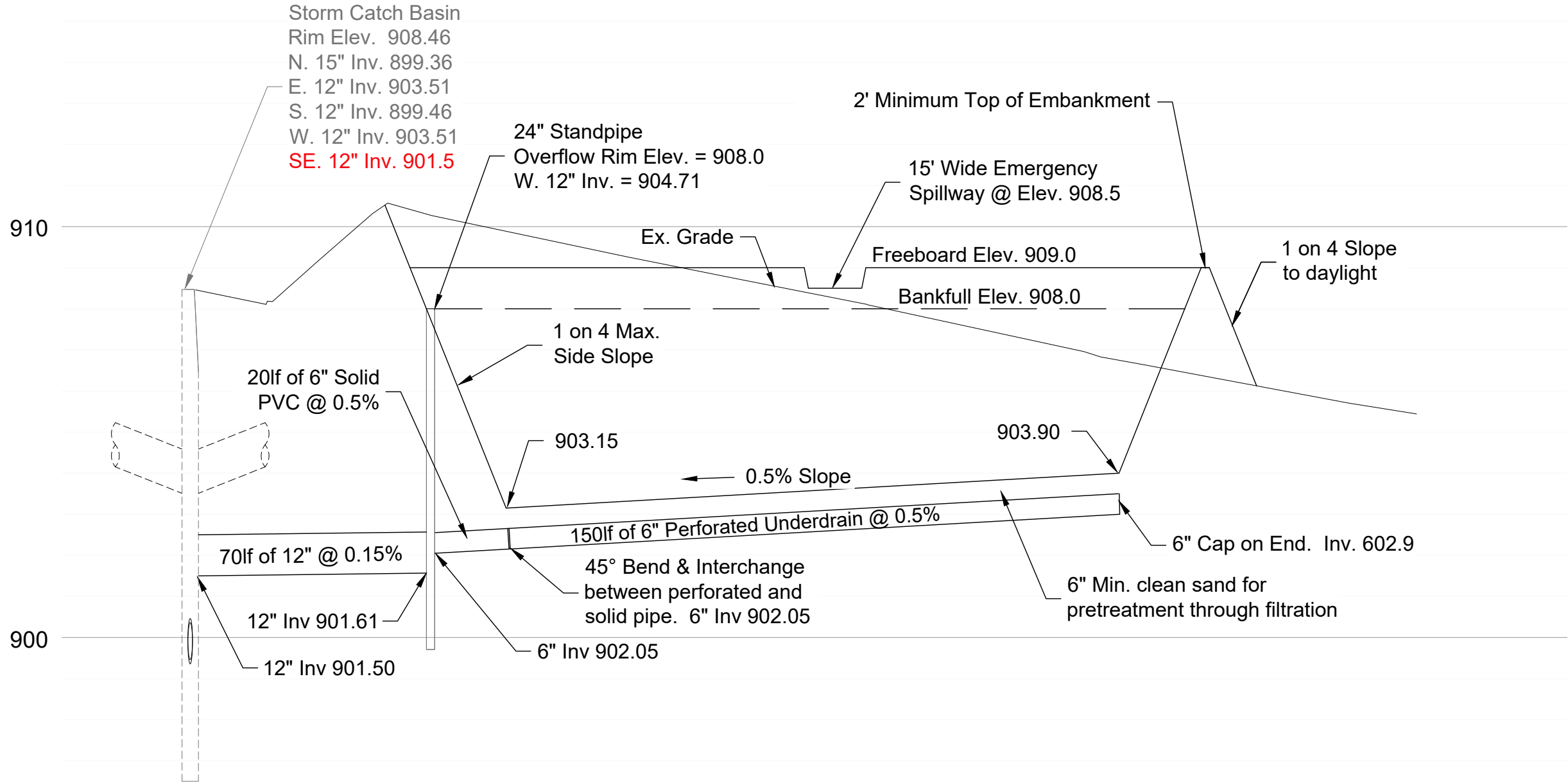
NOTE: The subdivision was designed and built to accommodate detention storage for the entire development when it is fully developed. Therefore pretreatment of the first flush volume is the total storage. This volume will be stored in the sediment bay and filtered through sand to an underdrain. Any volume above the first flush volume will overtop the 24" standpipe and flow through the 12" pipe to the previously developed storm sewer network to the detention pond. First flush volume is the first 1" of runoff.

STORAGE VOLUME:

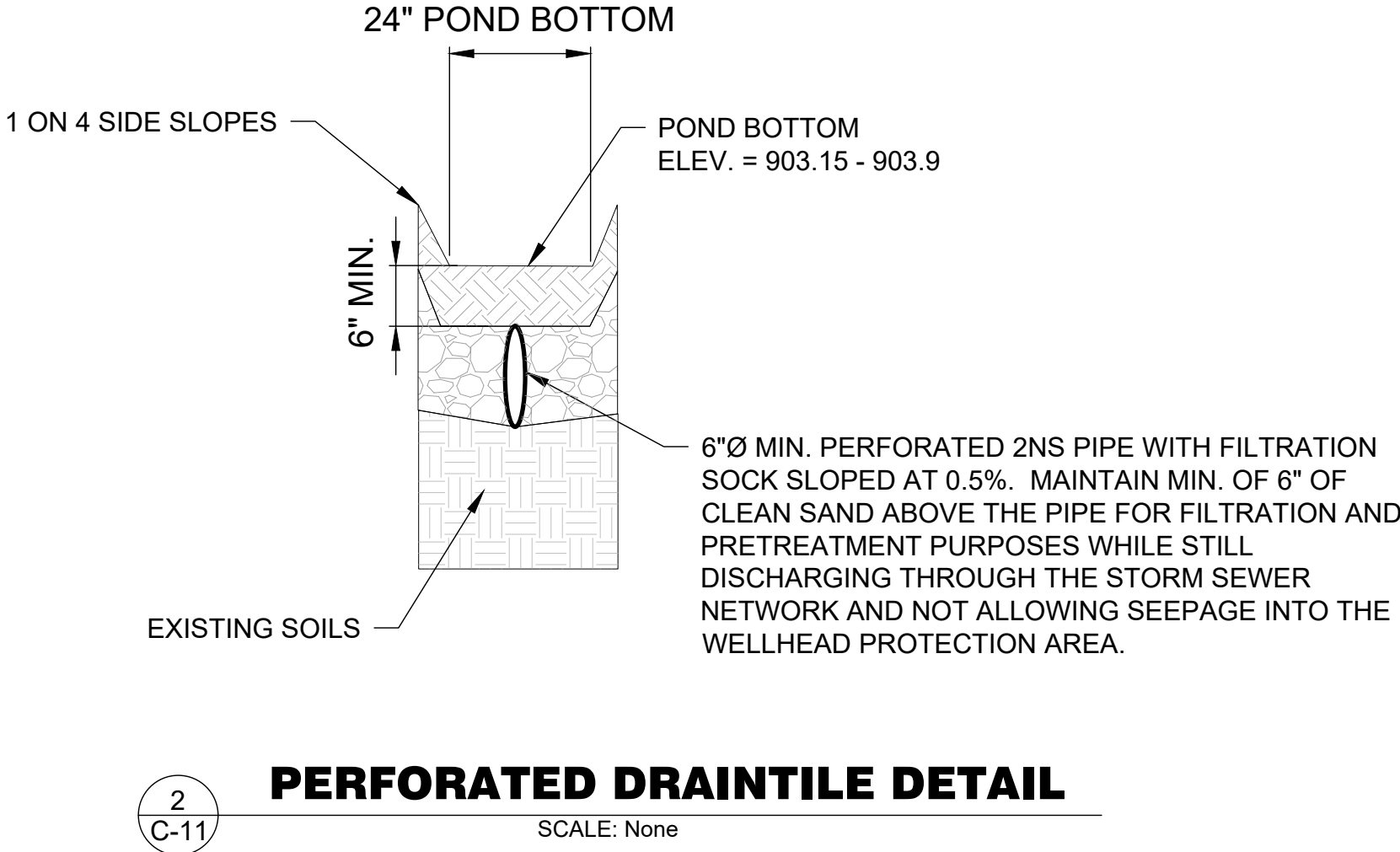
First Flush Volume (First 1" of Runoff):  
Per Ingham County Drain Commission Design Standards, the volume of first flush is calculated as the acreage multiplied by 3,630 (1 inch x 1/12 foot x 43,560 sq. feet/acre)  
Total Disturbed Area (per SESC Plans) = 3.30 Acres

V = 3.30 acres x 3,630 cf/acre = 11,979 cf

BASIN STAGE STORAGE TABLE				
ELEV	AREA (sq. ft.)	DEPT H (ft)	AVG END INC. VOL. (cu. ft.)	AVG END TOTAL VOL. (cu. ft.)
903.75	12.31	N/A	N/A	0.00
904	614	0.25	78	78
905	1913	1	1264	1342
906	3313	1	2613	3955
907	4813	1	4063	8017
908	6413	1	5613	13630



1  
C-11  
**PRETREATMENT POND PROFILE**  
HORIZ. SCALE: 1" = 30' VERT. SCALE: 1" = 3'



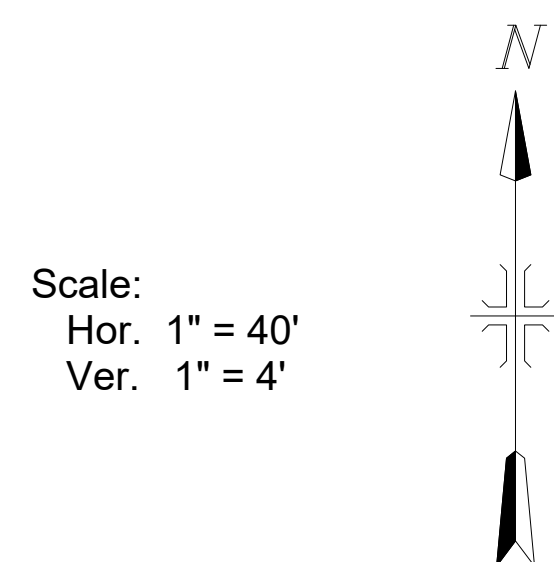
**Storm Water Management Plan**  
Paul Davis Restoration Mason Development  
For  
**Paul Davis**  
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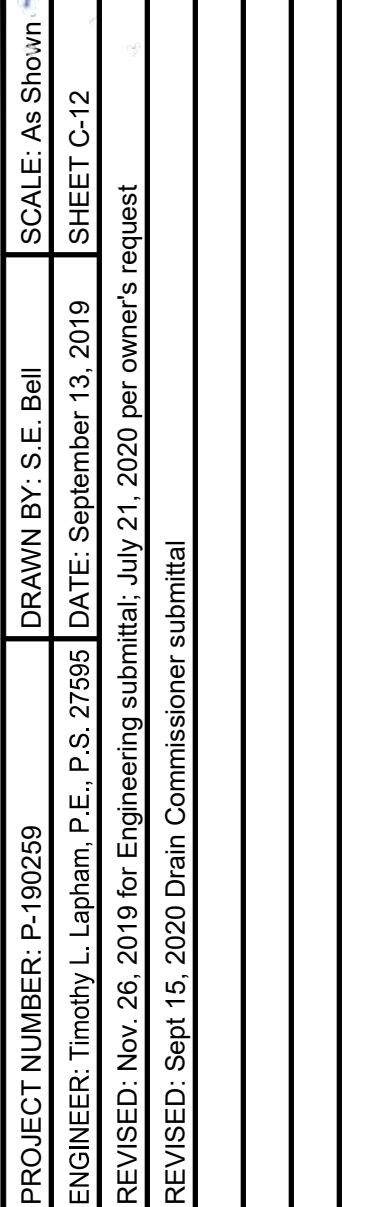
**C-11**





1. All water main work Shall Comply With Current City of Mason's Design Standards and Standard Details & Specifications.
2. Water main shall be placed at a minimum depth of 5.5' and a maximum depth of 7.5' from finish grade and shall include tracer wire.
3. Water main shall be in a 15' wide public easement centered on the main dedicated to City of Mason.
4. All water mains shall be pressure tested prior to disinfecting and bacteriological testing in accordance with the City of Mason's requirements prior to being accepted and placed into service.
5. Check valves must be installed within the building in the mechanical room on both Domestic and Fire service lines.
6. All pipe joints and fittings shall be restrained with mechanical joint restraint systems. Joints shall be all series manufactured by EBAA Iron, Inc., or approved equal. Material specifications shall be submitted to the engineer and be approved by the City prior to installation. All mechanical joints shall complying with the following:

- The restraint shall be manufactured of ductile iron conforming to ASTM A536.
- The restraint devices shall be coated with MEGA-BOND.
- The combination of the restraint(s) and fasteners shall have a pressure rating to the full pressure rating of the pipe.
- The restraint shall have a two to one safety factor.



# PAUL DAVIS

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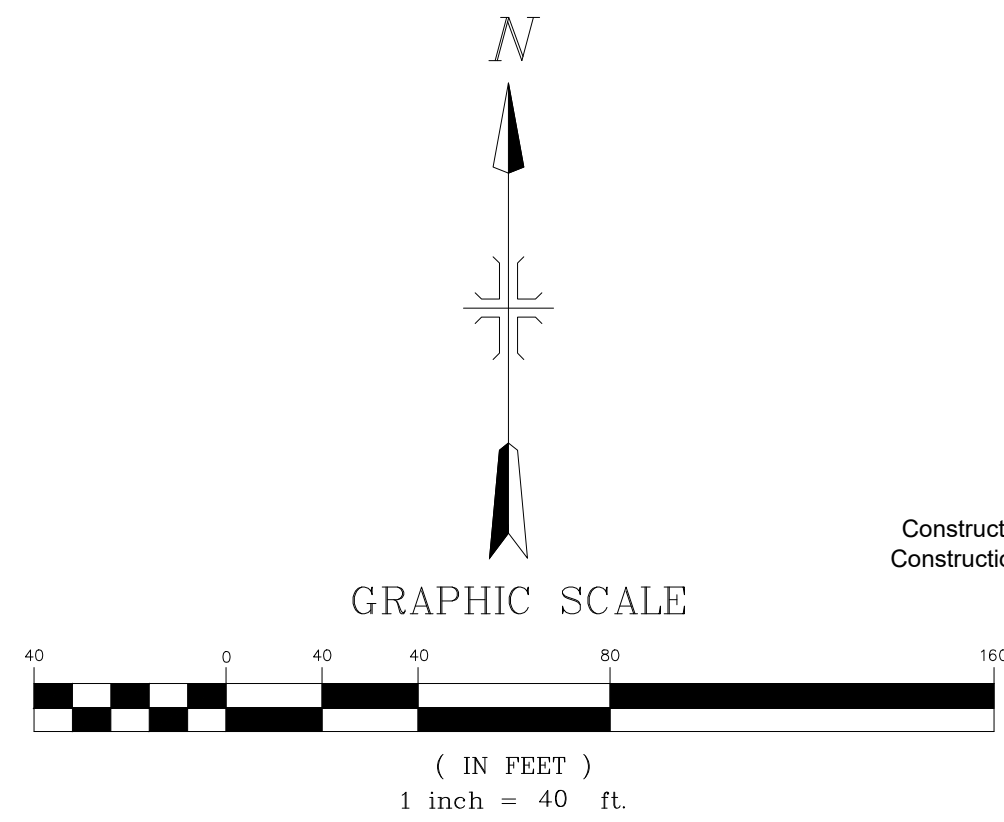
## Water Main Plan & Profile

Paul Davis Restoration Mason Development  
For  
Paul Davis

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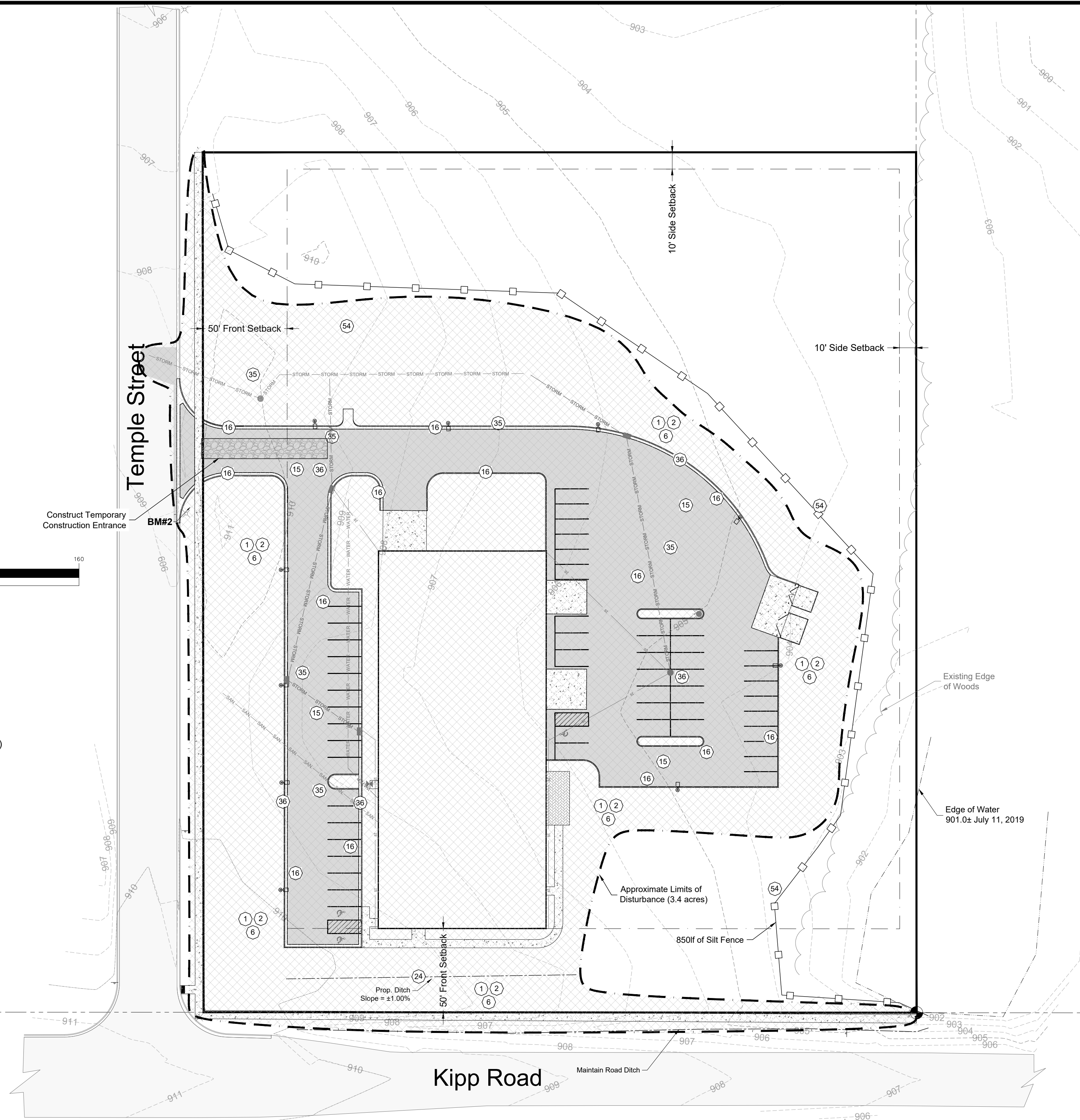
**C-12**





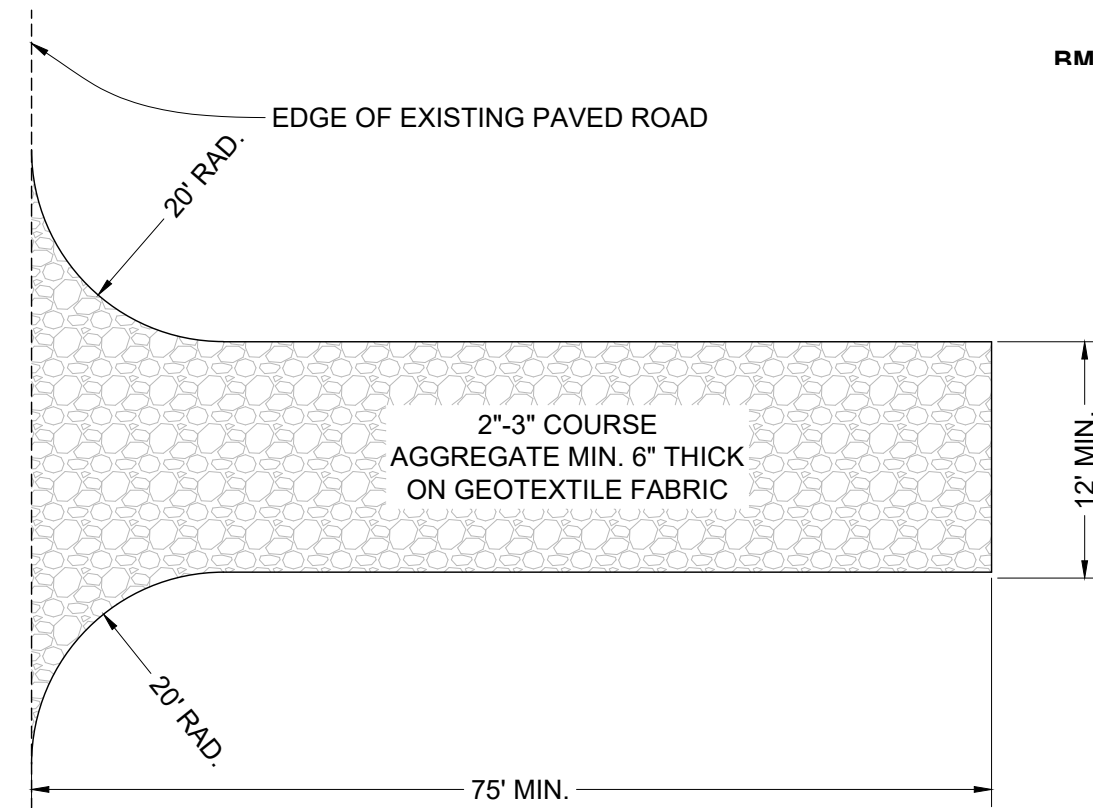
**LEGEND:**

54 SESC Key Number (See Sheet C-14)



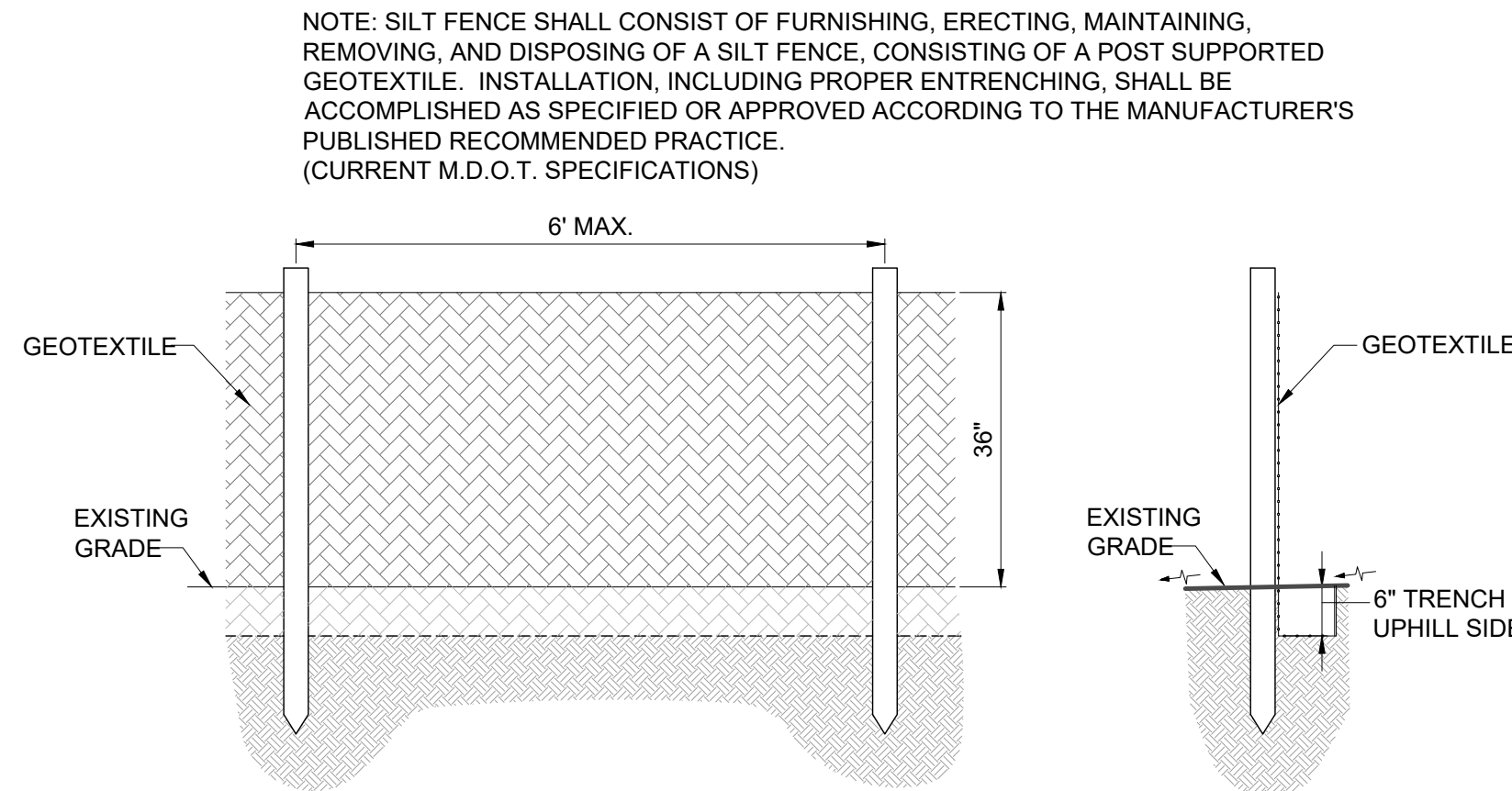
**GRAVEL CONSTRUCTION ENTRANCE**

SCALE: NONE



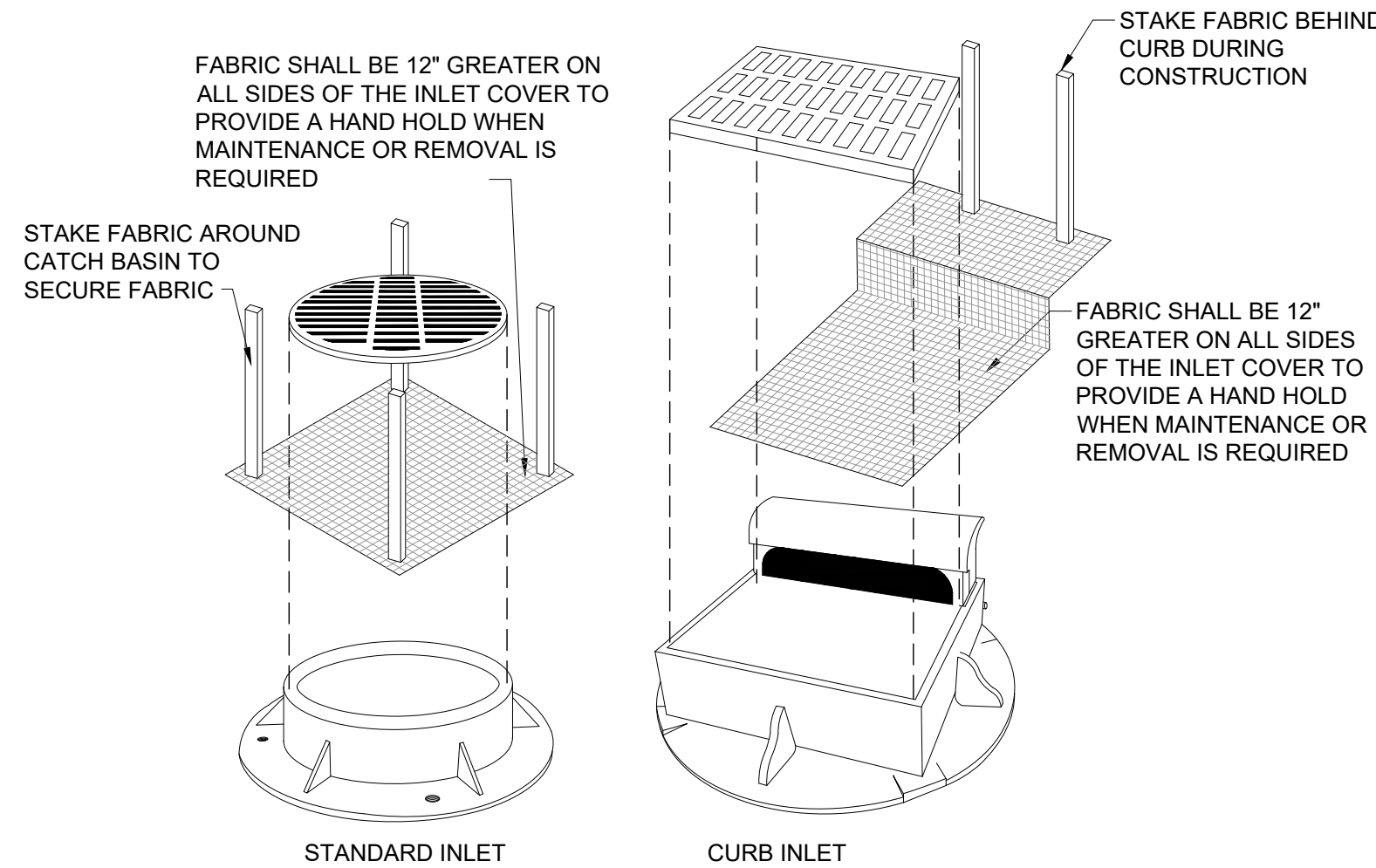
**GEOTEXTILE SILT FENCE**

SCALE: NONE



**CATCH BASIN FABRIC DETAIL**

SCALE: NONE



**SESC Plan Notes:**

- This project shall be constructed in compliance with the local Soil Erosion and Sedimental Control ordinance, authorized under Part 91 of Act 451 of 1994, as amended, the Soil Erosion and Sedimentation Control Act.
- All erosion and sedimentation control work shall conform to the standards and specifications of the local controlling jurisdiction.
- Erosion and any sedimentation from work on this site shall be contained on the site and not allowed to collect on any off site areas or in waterways. Waterways include both natural and man made open ditches, streams, storm drains, lakes and ponds.
- Staging the work will be done by the landowner or landowner's representative as directed in these plans and as required to ensure progressive stabilization of disturbed earth change.
- The landowner or landowner's representative shall be responsible for installation and maintenance of soil erosion and sedimentation control devices.
- The landowner or landowner's representative shall implement and maintain the soil erosion control measures as shown on the plans before and at all times during construction on this project. Any modifications or additions to soil erosion control measures due to construction or changed conditions shall be complied with as required or directed by the local jurisdiction.
- If any of the SESC measures on the site are deemed inadequate or ineffective, the local authority's office has the right to require additional SESC measures at the expense of the landowner.
- Contractor is clean the portions of roads adjacent to the project if dirt, debris or other material is being deposited on the roadway as needed. Adjacent roadway should be inspected at minimum once a day to determine if street sweeping is needed, and may be required multiple times a day, depending on vehicular traffic and debris.
- During dry periods, all disturbed areas shall be watered for dust control.
- Permanent soil erosion control measures for all slopes, channels, ditches, or any disturbed land area shall be completed within 5 calendar days after final grading or the final earth change has been completed. When it is not possible to permanently stabilize a disturbed area after earth change activity ceases, temporary soil erosion control measures shall be implemented immediately. All temporary soil erosion control shall be maintained until permanent soil erosion control measures are implemented. All permanent soil erosion control measures will be implemented and established before a certificate of compliance is issued.
- Final grade, establish vegetation and or landscape all disturbed areas not built or paved upon.
- Dewatering is not anticipated during the life of this project. If dewatering should become necessary, the site will be dewatered into a well established vegetative buffer and in accordance with all other rules and regulations of the local jurisdiction. The contractor shall be responsible for obtaining any necessary permits for dewatering prior to discharge.
- Remove all temporary soil erosion devices after permanent stabilization is established.
- Area of disturbance approximately 3.4 acres.

PROJECT NUMBER: P-190289		DRAWN BY: S.E. Bell	SCALE: As Shown
ENGINEER: Timothy L. Lapham, P.E., P.S. 27595		DATE: September 13, 2019	SHEET C-13
REVISED: Nov. 26, 2019 for Engineering submittal; July 21, 2020 per owner's request			
REVISED: Sept. 15, 2020 Drain Commissioner submittal			
SESC Plan			
Paul Davis Restoration Mason Development			
For Paul Davis			
PAUL DAVIS RECOVER • RECONSTRUCT • RESTORE			
ENGINEERING PLANNING ENVIRONMENTAL SURVEYING ASSOCIATES			
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# MICHIGAN

SOIL EROSION & SEDIMENTATION CONTROL

## GUIDEBOOK

FEBRUARY 1975

FIGURE 2



SEEDING ZONES

### RATE OF APPLICATION (ALL ZONES)

TYPE OF SEED	PER/1000 SF	PER ACRE
SPRING OATS/BARLEY OR DOMESTIC RYEGRASS	2 LBS 1/2 LB	3 BU 20-25 LBS
SUDANGRASS	1 LB	30-40 LBS
RYE OR PERENNIAL RYE	3 LBS 1/2 LB	2-3 BU 20-25 LBS
WHEAT	3 LBS	2-3 BU

### PERMANENT SEEDING GUIDE

	APR	MAY	JUN	JUL	AUG	SEP	OCT	
IRRIGATED AND/OR MULCH								ZONE 1
WITHOUT IRRIGATION OR MULCH								ZONE 2
IRRIGATED AND/OR MULCH								ZONE 3
WITHOUT IRRIGATION OR MULCH								

### TEMPORARY SEEDING GUIDE

ZONE 1									
TYPE OF SEED	APR	MAY	JUN	JUL	AUG	SEP	OCT		
SPRING OATS/BARLEY OR DOMESTIC RYEGRASS									
SUDANGRASS									
RYE OR PERENNIAL RYE									
WHEAT									
ZONE 2									
TYPE OF SEED	APR	MAY	JUN	JUL	AUG	SEP	OCT		
SPRING OATS/BARLEY OR DOMESTIC RYEGRASS									
SUDANGRASS									
RYE OR PERENNIAL RYE									
WHEAT									
ZONE 3									
TYPE OF SEED	APR	MAY	JUN	JUL	AUG	SEP	OCT		
SPRING OATS/BARLEY OR DOMESTIC RYEGRASS									
SUDANGRASS									
RYE OR PERENNIAL RYE									
WHEAT									

# SOIL EROSION & SEDIMENTATION CONTROL PLAN

## SESC GENERAL NOTES: MICHIGAN UNIFIED KEYING SYSTEM

- CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING TEMPORARY AND PERMANENT CONTROL MEASURES UNTIL VEGETATION HAS BEEN ESTABLISHED ON ALL DISTURBED AREAS. MAINTENANCE SHALL INCLUDE: PERIODIC INSPECTIONS, REMOVING ACCUMULATED SEDIMENT AND REPAIRING OR REPLACING DAMAGED CONTROL MEASURES. INSPECTIONS SHALL BE PERFORMED DAILY DURING THE CONSTRUCTION PROCESS. FOLLOWING CONSTRUCTION INSPECTIONS SHALL BE PERFORMED AT LEAST ON A WEEKLY BASIS AND AFTER EVERY SIGNIFICANT RAIN EVENT UNTIL VEGETATION HAS BEEN ESTABLISHED.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR REMOVAL OF TEMPORARY CONTROL MEASURES AFTER ALL DISTURBED AREAS HAVE BEEN RESTORED AND VEGETATION HAS BEEN ESTABLISHED. INSTALL FILTER FABRIC UNDER ALL CATCH BASIN GRATES UNTIL PERMANENT SOIL EROSION MEASURES HAVE TAKEN EFFECT. INSTALL SILT FENCES PRIOR TO ANY SITE WORK.
- THE OWNER SHALL BE RESPONSIBLE FOR MAINTENANCE OF PERMANENT CONTROL MEASURES AFTER THE ESTABLISHMENT OF VEGETATION ON DISTURBED AREAS. THE OWNER SHALL MAKE PERIODIC INSPECTIONS, AND REPLACE OR REPAIR DAMAGED PERMANENT CONTROL MEASURES AS REQUIRED.
- TIMING SEQUENCE AND CONSTRUCTION SCHEDULE:  
PHASE ONE - EARTH GRADE CHANGE, CONSTRUCT DITCHES, UTILITIES, PARKING LOT SUBGRADE, PLACE AND MAINTAIN TEMPORARY CONTROL MEASURES DURING THIS CONSTRUCTION PHASE.  
- COVER CATCH BASINS  
- GEOTEXTILE SILT FENCE AND/OR STRAW BALES.  
PHASE TWO - FINAL RESTORATION AND BITUMINOUS PAVING  
MAINTAIN TEMPORARY AND PERMANENT CONTROL MEASURES  
PLACE PERMANENT CONTROL MEASURES  
- TOPSOIL, SEED, MULCH AND FERTILIZER IN ACCORDANCE WITH CURRENT MDOT STANDARDS AND SPECIFICATIONS. PERMANENT SEEDING REQUIRED BETWEEN MAY 1 THROUGH OCTOBER. DORMANT SEEDING REQUIRED AFTER NOVEMBER 15, BUT NOT ON FROZEN GROUND.
- ANTICIPATED START CONSTRUCTION DATES: To Be Determined - 2020 Construction Start Planned.  
Construct driveway entrance  
Start excavation  
Start foundation  
Start underground utilities  
Start parking lot and retention pond  
Pave parking lot  
Start landscaping  
Contractor to supply dates after selection and prior to commencing construction.
- PERMANENT CONTROL MEASURES SHALL BE COMPLETED WITHIN 15 CALENDAR DAYS AFTER FINAL EARTH CHANGE IS COMPLETED.
- TEMPORARY SEEDING, OR DORMANT SEEDING SHALL BE UTILIZED FOR "WINTER STABILIZATION".

INDICATES APPLICABILITY OF A SPECIFIC CONTROL MEASURE TO ONE OR MORE OF THE SEVEN PROBLEM AREAS

KEY	DETAIL	CHARACTERISTICS	A	B	C	D	E	F	G
1	STRIPPING & STOCKPILING TOPSOIL	TOPSOIL MAY BE STOCKPILED ABOVE BORROW AREAS TO ACT AS A DIVERSION. STOCKPILE SHOULD BE TEMPORARILY SEED.	*				*	*	
2	SELECTIVE GRADING & SHAPING	WATER CAN BE DIVERTED TO MINIMIZE EROSION. FLATTER SLOPES EASE EROSION PROBLEMS.	*				*	*	*
3	GRUBBING OMITTED	SAVES COST OF GRUBBING, PROVIDES NEW SPROUTS, RETAINS EXISTING ROOT MAT SYSTEM, REDUCES WIND FAL AT NEW FOREST EDGE, DISCOURAGES EQUIPMENT ENTRANCE	*				*	*	*
4	VEGETATIVE STABILIZATION	MAY UTILIZE A VARIETY OF PLANT MATERIAL. STABILIZES SOIL. SLOWS RUNOFF VELOCITY. FILTERS SEDIMENT FROM RUNOFF.	*	*	*		*	*	*
5	SEEDING	INEXPENSIVE AND VERY EFFECTIVE. STABILIZES SOIL, THUS MINIMIZING EROSION. PERMITS RUNOFF TO INFILTRATE SOIL, REDUCING RUNOFF VOLUME. SHOULD INCLUDE PREPARED TOPSOIL BED.	*		*		*	*	*
6	SEEDING WITH MULCH AND/OR MATTING	FACILITATES ESTABLISHMENT OF VEGETATIVE COVER. EFFECTIVE FOR GRADIENTS WITH LOW VELOCITY. EARLY PLACED IN SMALL QUANTITIES BY INEXPERIENCED PERSONNEL. SHOULD INCLUDE PREPARED TOPSOIL BED.	*		*		*	*	*
7	HYDRO-SEEDING	EFFECTIVE ON LARGE AREAS. MULCH TRACING AGENT USED TO PROVIDE IMMEDIATE PROTECTION UNTIL GRASS IS ROOTED. SHOULD INCLUDE PREPARED TOPSOIL BED.	*				*	*	*
8	SODDING	PROVIDES IMMEDIATE PROTECTION. CAN BE USED ON STEEP SLOPES WHERE SEED MAY BE DIFFICULT TO ESTABLISH. EASY TO PLACE. MAY BE REPAIRED IF DAMAGED. SHOULD INCLUDE PREPARED TOPSOIL BED.	*		*		*	*	*
9	VEGETATIVE BUFFER STRIP	SLOWS RUNOFF VELOCITY. FILTERS SEDIMENT FROM RUNOFF. REDUCES VOLUME OF RUNOFF ON SLOPES.	*	*					*
10	MULCHING	USED ALONE TO PROTECT EXPOSED AREAS FOR SHORT PERIODS. PROTECTS SOIL FROM WIND OR FALLING RAIN. PRESERVES SOIL MOISTURE AND PROTECTS GERMINATING SEED FROM TEMPERATURE EXTREMES.	*				*	*	
11	ROUGHENED SURFACE	REDUCES VELOCITY AND INCREASES INFILTRATION RATES. COLLECTS SEDIMENT. HOLDS WATER, SEED, AND MULCH BETTER THAN SMOOTH SURFACES.	*				*	*	
12	COMPACTION	HELPS HOLD SOIL IN PLACE, MAKING EXPOSED AREAS LESS VULNERABLE TO EROSION.	*				*	*	
13	RIPRAP, RUBBLE, GABIONS	USED WHERE VEGETATION IS NOT EARLY ESTABLISHED. EFFECTIVE FOR HIGH VELOCITIES OR HIGH CONCENTRATIONS. PERMITS RUNOFF TO INFILTRATE SOIL. DISSIPATES ENERGY FLOW AT SYSTEM OUTLETS.	*	*	*				
14	AGGREGATE COVER	STABILIZES SOIL SURFACE, THUS MINIMIZING EROSION. PERMITS CONSTRUCTION TRAFFIC IN ADVERSE WEATHER. MAY BE USED AS PART OF PERMANENT BASE CONSTRUCTION OF PAVED AREAS.					*	*	
15	PAVING	PROTECTS AREAS WHICH CANNOT OTHERWISE BE PROTECTED, BUT INCREASES RUNOFF VOLUME AND VELOCITY. IRREGULAR SURFACE WILL HELP SLOW VELOCITY.	*				*	*	
16	CURB & GUTTER	KEEPS HIGH VELOCITY RUNOFF ON PAVED AREAS FROM LEAVING PAVED SURFACE. COLLECTS AND CONDUCTS RUNOFF TO ENCLOSED DRAINAGE SYSTEM OR PREPARED DRAINAGEWAY.					*	*	*
17	BENCHES	REDUCES RUNOFF VELOCITY BY REDUCING EFFECTIVE SLOPE LENGTH. COLLECTS SEDIMENT. PROVIDES ACCESS TO SLOPES FOR SEEDING, MULCHING AND MAINTENANCE.	*					*	*
18	DIVERSION BERM	DIVERTS WATER FROM VULNERABLE AREAS. COLLECTS AND DIRECTS WATER TO PREPARED DRAINAGEWAYS. MAY BE PLACED AS PART OF NORMAL CONSTRUCTION OPERATION.	*					*	*

INDICATES APPLICABILITY OF A SPECIFIC CONTROL MEASURE TO ONE OR MORE OF THE SEVEN PROBLEM AREAS

KEY	DETAIL	CHARACTERISTICS	A	B	C	D	E	F	G
19	DIVERSION DITCH	COLLECTS AND DIVERTS WATER TO REDUCE EROSION POTENTIAL. MAY BE INCORPORATED IN PERMANENT PROJECT DRAINAGE SYSTEMS.	*					*	*
20	BERM & DITCH	DIVERTS WATER TO A PREPARED DRAINAGEWAY. MAY BE USED AT INTERVALS ACROSS SLOPE FACE TO REDUCE EFFECTIVE SLOPE LENGTH.	*					*	*
21	FILTER BERM	CONSTRUCTED OF GRASS OR STONE. INTERCEPTS AND DIVERTS RUNOFF TO STABILIZED AREAS OR PREPARED DRAINAGE SYSTEMS. SLOWS RUNOFF AND COLLECTS SEDIMENT.	*	*					*
22	BRUSH FILTER	USES SLASH AND LOGS FROM CLEARING OPERATIONS. CAN BE COVERED AND SEEDED RATHER THAN REMOVED. ELIMINATES NEED FOR BURNING OR REMOVAL OF MATERIAL FROM SITE.							*
23	BARE CHANNEL	LEAST EXPENSIVE FORM OF DRAINAGEWAY. MAY BE USED ONLY WHERE GRADIENT IS VERY LOW AND WITH SOILS OF MINIMAL EROSION POTENTIAL.			*				
24	GRASSSED WATERWAY	MUCH MORE STABLE FORM OF DRAINAGEWAY THAN BARE CHANNEL. GRASS TENDS TO SLOW RUNOFF AND FILTER OUT SEDIMENT. USED WHERE BARE CHANNEL WOULD BE ERODED.			*				
25	SLOPE DRAIN (SURFACE PIPE)	PREVENTS EROSION ON SLOPES WHEN RUNOFF CANNOT BE DIVERTED TO EDGE OF SLOPE AREA. USUALLY PERMANENT. CAN BE CONSTRUCTED OR EXTENDED AS GRADING PROGRESSES.	*						
26	SLOPE DRAIN PIPE CHUTE	PREVENTS EROSION ON SLOPES WHEN RUNOFF CANNOT BE DIVERTED TO EDGE OF SLOPE AREA. USUALLY PERMANENT. CAN BE CONSTRUCTED OR EXTENDED AS GRADING PROGRESSES.	*						
27	SLOPE DRAIN (SUBSURFACE PIPE)	PREVENTS EROSION ON SLOPES WHEN RUNOFF CANNOT BE DIVERTED TO EDGE OF SLOPE AREA. USUALLY PERMANENT. CAN BE CONSTRUCTED OR EXTENDED AS GRADING PROGRESSES.	*						
28	DROP SPILLWAY	SLOWS VELOCITY OF FLOW, REDUCING EROSION CAPACITY.		*	*				
29	PIPE DROP	REDUCES RUNOFF VELOCITY. REMOVES SEDIMENT AND TURBIDITY. CAN BE DESIGNED TO HANDLE LARGE VOLUMES OF FLOW.			*				
30	PIPE SPILLWAY	REMOVES SEDIMENT AND TURBIDITY FROM RUNOFF. MAY BE PART OF PERMANENT EROSION CONTROL PLAN.			*				
31	ENERGY DISSIPATER	SLOWS RUNOFF VELOCITY TO NON-EROSIVE LEVEL. PERMITS SEDIMENT COLLECTION FROM RUNOFF.	*		*	*			
32	LEVEL SPREADER	CONVERTS COLLECTED CHANNEL OR PIPE FLOW BACK TO SHEET FLOW. AVOIDS CHANNEL EASEMENTS AND CONSTRUCTION OF PROJECT SITE. SIMPLE TO CONSTRUCT.			*				
33	SEDIMENTATION TRAP	MAY BE CONSTRUCTED OF A VARIETY OF MATERIALS. TRAPS SEDIMENT AND REDUCES VELOCITY OF FLOW. CAN BE CLEANED AND EXPANDED AS NEEDED.	*	*	*				
34	SEDIMENT BASIN	TRAPS SEDIMENT. RELEASES RUNOFF AT NON-EROSIVE RATES. CONTROLS RUNOFF AT SYSTEM OUTLETS. CAN BE VISUAL AMENITIES.		*	*	*			
35	STORM SEWER	SYSTEM REMOVES COLLECTED RUNOFF FROM SITE, PARTICULARLY FROM PAVED AREAS. CAN ACCEPT LARGE CONCENTRATIONS OF RUNOFF. CONDUCTS RUNOFF TO MUNICIPAL SEWER SYSTEM OR STABILIZED OUTFALL LOCATION. USE CATCH BASINS TO COLLECT SEDIMENT.			*	*	*	*	*
36	CATCH BASIN, DRAIN INLET	COLLECTS HIGH VELOCITY CONCENTRATED RUNOFF. MAY USE FILTER CLOTH OVER INLET.			*	*		*	*

INDICATES APPLICABILITY OF A SPECIFIC CONTROL MEASURE TO ONE OR MORE OF THE SEVEN PROBLEM AREAS

KEY	DETAIL	CHARACTERISTICS	A	B	C	D	E	F	G
37	SOD FILTER	INEXPENSIVE AND EASY TO CONSTRUCT. PROVIDES IMMEDIATE PROTECTION. PROTECTS AREAS AROUND INLETS FROM EROSION.				*			
38	STRAW BALE FILTER	INEXPENSIVE AND EASY TO CONSTRUCT. CAN BE LOCATED AS NECESSARY TO COLLECT SEDIMENT. MAY BE USED IN CONJUNCTION WITH SNOW FENCE FOR ADDED STABILITY.				*			*
39	ROCK FILTER	CAN UTILIZE MATERIAL FOUND ON SITE. EASY TO CONSTRUCT. FILTERS SEDIMENT FROM RUNOFF.				*			*
40	INLET SEDIMENT TRAP	EASY TO SHAPE. COLLECTS SEDIMENT. MAY BE CLEANED AND EXPANDED AS NEEDED.				*			
41	STONE AND ROCK CROSSING	MAY BE ROCK OR CLEAN RUBBLE. MINIMIZES STREAM TURBIDITY. INEXPENSIVE. MAY ALSO SERVE AS DITCH CHECK OR SEDIMENT TRAP.		*					
42	TEMPORARY CULVERT	ELIMINATES STREAM TURBULENCE AND TURBIDITY. PROVIDES UNOBSTRUCTED PASSAGE FOR FISH AND OTHER WATER LIFE. CAPACITY FOR NORMAL FLOW CAN BE PROVIDED WITH STORM WATER FLOWING OVER ROADWAY.							
43	CULVERT SEDIMENT TRAP	EASY TO INSTALL. AT INLET. KEEPS CULVERT CLEAN AND FREE FLOWING. MAY BE CONSTRUCTED OF LUMBER OR LOGS.		*					*
44	CULVERT SEDIMENT TRAP	DEFLECTS CURRENTS AWAY FROM STREAMBANK AREAS.		*					
45	TEMP. STREAM CHANNEL CHANGE	NEW CHANNEL KEEPS NORMAL FLOWS AWAY FROM CONSTRUCTION. REQUIRES STATE PERMIT.		*					
46	SHEET PILING	PROTECTS ERODIBLE BANK AREAS FROM STREAM CURRENTS DURING CONSTRUCTION. MINIMAL DISRUPTION WHEN REMOVED.		*					
47	COFFERDAM	WORK CAN BE CONTINUED DURING MOST ANTICIPATED. PERMITS RETENTION OF EXISTING VEGETATION, KEEPING SOIL STABLE IN CRITICAL AREAS. MINIMIZES MAINTENANCE.		*					
48	CONSTRUCTION DAM	PERMITS WORK TO CONTINUE DURING NORMAL STREAM STAGES. CONTROLLED FLOODING CAN BE ACCOMPLISHED DURING PERIODS OF INACTIVITY.		*					
49	CHECK DAMS	REDUCES FLOW VELOCITY. CATCHES SEDIMENT. CAN BE CONSTRUCTED OF LOGS, STRAW, HAY, ROCK, LUMBER, MASONRY, OR SAND BAGS.		*					
50	WEIR	CONTROLS SEDIMENTATION IN LARGE STREAMS. CAUSES MINIMAL TURBIDITY.		*	*				
51	RETAINING WALL	REDUCES GRADIENT WHERE SLOPES ARE EXTREMELY STEEP. PERMITS RETENTION OF EXISTING VEGETATION, KEEPING SOIL STABLE IN CRITICAL AREAS. MINIMIZES MAINTENANCE.	*						*
52	SEEPAGE CONTROL	PREVENTS PIPING AND SOIL SLIPPAGE ON CUT SLOPES.	*						*
53	WINDBREAK	MINIMIZES WIND EROSION. MAY BE SNOW FENCE.					*	*	
54	SILT FENCE	USES GEOTEXTILE FABRIC AND POSTS OR POLES. EASY TO CONSTRUCT AND LOCATE AS NECESSARY.			*			*	*

SESC Key

Paul Davis Restoration Mason Development

For

Paul Davis

ENGINEERING  
PLANNING  
ENVIRONMENTAL  
SURVEYING

LAPHAM ASSOCIATES

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C-14



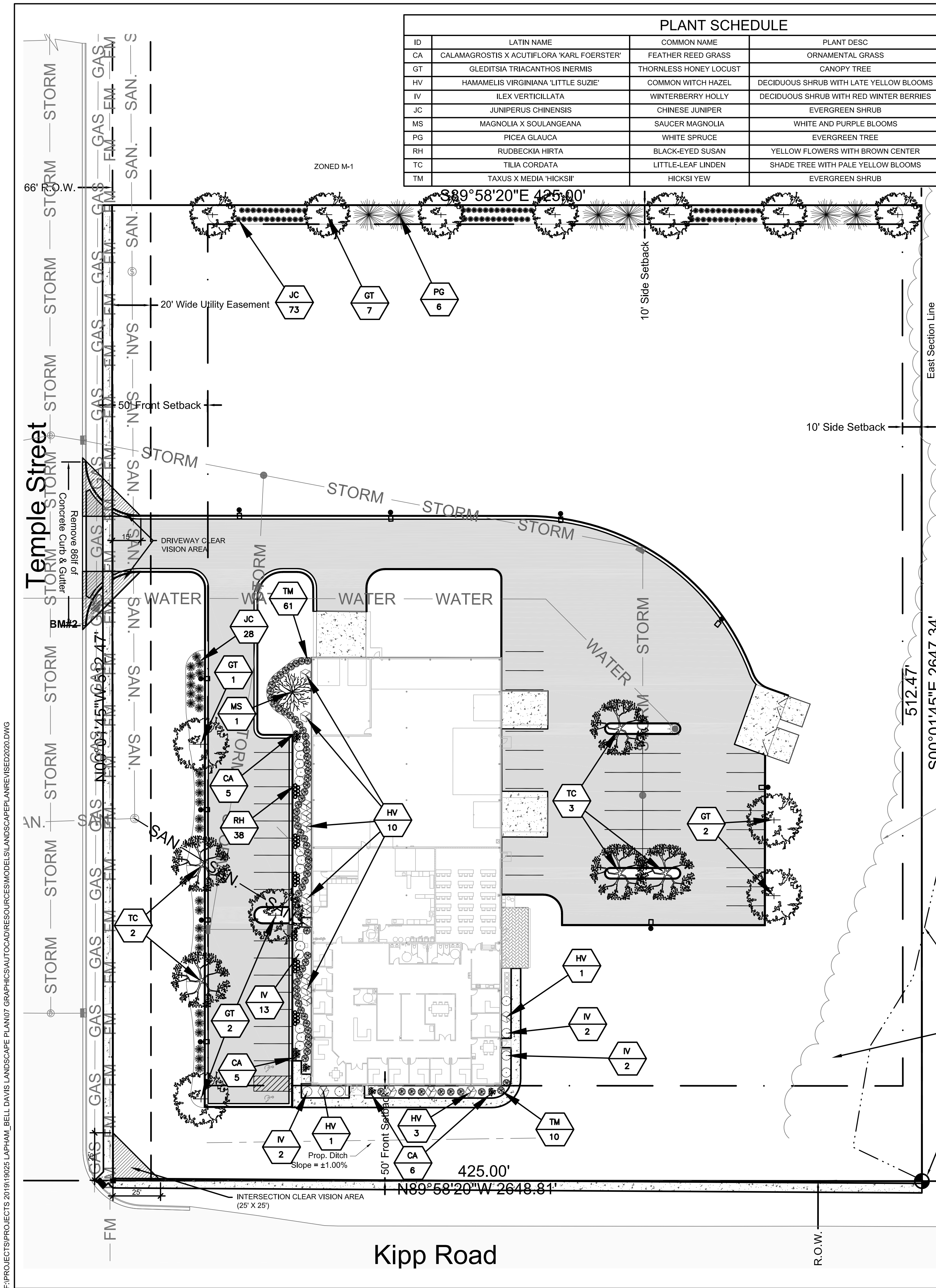
<div>CONCRETE FORMING</div> <div>DIVISION 03 10 00</div> <div>PART 1 GENERAL</div> <div>1.01 Scope:</div> <div>A. Provide, install and remove all concrete formwork and accessories necessary for concrete construction as indicated on the drawings and specified herein.</div> <div>1.02 Related Work Specified Elsewhere:</div> <div>A. Concrete Reinforcement -DIVISION 03 20 00</div> <div>B. Cast-in-place Concrete -DIVISION 03 30 00</div> <div>1.03 Referenced Standards:</div> <div>A. ACI, "ACI Manual of Concrete Practice"</div> <div>B. American Plywood Association, "Plywood for Concrete Forming"</div> <div>C. American Institute of Timber Construction, "Timber Construction Manual"</div> <div>D. National Forest Products Association, "Design of Wood Formwork for Concrete Structures"</div> <div>1.04 Design:</div> <div>A. The Design and Engineering of Concrete Formwork shall be the responsibility of the Contractor.</div> <div>PART 2 PRODUCTS</div> <div>2.01 Form Materials:</div> <div>A. Forms shall be either metal free of irregularities, dents, and/or sags; or plywood made specifically for concrete form use complying with APA "Plywood for Concrete Forming."</div> <div>2.02 Coatings and Release Agents:</div> <div>A. Steel Forms: Colorless mineral oil which will not stain concrete.</div> <div>2.03 Accessories:</div> <div>A. Form ties and spreaders shall be removable or snap-off commercially manufactured metal with cone ends leaving no metal exposed within 1" of finished face of concrete and causing no surface disfiguration greater than 3/4" in diameter.</div> <div>PART 3 EXECUTION</div> <div>3.01 General Requirements:</div> <div>A. Design, install, and remove Concrete Formwork specified herein in strict accordance with the Referenced Standards.</div> <div>3.03 Supplemental Requirements:</div> <div>A. Attach, as required elsewhere in the Construction Documents or as required to properly interface Concrete Work with the Work of other trades, all required accessories, anchor bolts, hangers, sleeves, slots and/or inserts.</div> <div>B. Unless indicated otherwise on the Drawings, provide 3/4" chamfer strips at all outside corners of exposed Cast-in-Place Concrete.</div> <div>C. Earth cuts may be used as forms where concrete is not to be exposed or to receive waterproofing.</div> <div>D. Formwork shall be constructed to the shape, line, and dimension as required by the plans. Do not scale off plans. Construction is to be according to written dimensions.</div> <div>E. Forms shall be sufficiently tight to prevent leakage of concrete and shall be properly braced and tied together to maintain position and shape during concrete placement.</div> <div>END OF SECTION</div> <div>CONCRETE REINFORCEMENT</div> <div>DIVISION 03 20 00</div> <div>PART 1 GENERAL</div> <div>1.01 Scope:</div> <div>A. Provide and install all concrete reinforcement and accessories, complete, as indicated on the drawings and specified herein.</div> <div>1.02 Related Work Specified Elsewhere:</div> <div>A. Concrete Forming -DIVISION 03 10 00</div> <div>B. Cast-in-Place Concrete -DIVISION 03 30 00</div> <div>1.03 Referenced Standards:</div> <div>A. ACE "ACI Manual of Concrete Practice"</div> <div>B. ASTM A185, "Welded Steel Wire Fabric for Concrete Reinforcement"</div> <div>C. ASTM A615, "Specifications for Pre formed and Plain Built-Steel Bars for Concrete Reinforcement"</div> <div>1.04 Storage of Materials:</div> <div>A. Materials shall be stored so as not to deteriorate due to excessive rusting or become contaminated by foreign substances.</div> <div>PART 2 PRODUCTS</div> <div>2.10 Bar Reinforcement:</div> <div>A. Shall comply with ASTM A615, grade 60 billet steel deformed bars, uncoated finish.</div> <div>2.02 Welded Wire Fabric:</div> <div>A. Shall conform to ASTM A185, plain type.</div> <div>2.03 Accessories:</div> <div>A. Tie Wire: Annealed steel, 16-gauge minimum.</div> <div>B. Reinforcement Supports: Galvanized steel bolster, chairs and supports with plastic coating where in contact with formwork.</div>	<div>PART 3 EXECUTION</div> <div>3.01 General Requirements:</div> <div>A. Design, fabricate and place Concrete Reinforcement specified herein in strict accordance with Referenced Standards.</div> <div>3.02 Supplemental Requirements:</div> <div>A. Unless indicated otherwise on the Drawings, maintain a minimum 3" clearance between all reinforcement specified and the outside face of the concrete enclosing the reinforcement through the use of concrete bricks and galvanized reinforcement bars anchored into adjacent earth where earth cut forms are utilized and through the use of prefabricated chairs and spreaders with vinyl coated feet where concrete formwork utilized.</div> <div>END OF SECTION</div> <div>CAST-IN-PLACE CONCRETE</div> <div>DIVISION 03 30 00</div> <div>PART 1 GENERAL</div> <div>1.01 Scope:</div> <div>A. Provide, place, patch, cure and finish all concrete as indicated on the Drawings and specified herein.</div> <div>1.02 Related Work Specified Elsewhere:</div> <div>A. Concrete Forming -DIVISION 03 10 00</div> <div>B. Concrete Reinforcement -DIVISION 03 20 00</div> <div>1.03 Submittals:</div> <div>A. Concrete test results.</div> <div>B. Concrete design mix proposed to comply with Specifications.</div> <div>C. Provide Specification indicating materials to actually be utilized under this Section if choice permitted.</div> <div>D. Concrete Truck batch ticket indicating presence of specified admixture and amount added.</div> <div>1.04 Referenced Standards:</div> <div>A. ACI, "Manual of Concrete Practice"</div> <div>B. ASTM C31, "Practice for Making and Curing Concrete Test Specimens in the field"</div> <div>C. ASTM C33, "Specification for Concrete Aggregates"</div> <div>D. ASTM C39, "Test Method of Compressive Strength of Cylindrical Concrete Specimens"</div> <div>E. ASTM C94, "Specification for Ready-Mixed Concrete"</div> <div>F. ASTM C143, "Test Method for Slump of Hydraulic Cement Concrete"</div> <div>G. ASTM C150, "Specification for Portland Cement"</div> <div>H. ASTM C172, "Method of Sampling Freshly Mixed Concrete"</div> <div>I. ASTM C231, "Test Method of Air Content of Freshly Mixed Concrete By the Pressure Method"</div> <div>J. ASTM C260, "Specification for Air-Entraining Admixtures for Concrete"</div> <div>1.05 Testing:</div> <div>A. Testing of concrete as specified in this section shall be arranged by the Contractor.</div> <div>B. Concrete shall be sampled, handled and tested in strict accordance with the following Referenced Standards for the procedure indicated.</div> <div>1) Sampling fresh Concrete: ASTM C172</div> <div>2) Slump Determination: ASTM C143</div> <div>3) Making, curing, protecting and transporting concrete test specimens: ASTM C31</div> <div>4) Testing Compressive Strength: ASTM C39</div> <div>5) Testing Air Content: ASTM C231</div> <div>C. The following information shall be recorded concerning each sampling by the Testing Technician:</div> <div>1) Name of Technician taking sample.</div> <div>2) Date and time of sampling.</div> <div>3) Air temperature and weather condition at time of sampling.</div> <div>4) Design compressive strength of Concrete being sampled.</div> <div>5) Source of Concrete, Truck Number and Ticket Number if batched offsite.</div> <div>6) List of Admixtures indicated to be present in Concrete on batch ticket.</div> <div>7) List of Admixtures and/or water added to the Concrete mix on site, whether added before or after sampling taken by Testing Technician and quantity of item added.</div> <div>8) Specific location in structure in which the concrete is placed after sampling.</div> <div>D. Tests shall be performed for each Concrete Sampling to determine the following:</div> <div>1) Concrete temperature at time of sampling.</div> <div>2) Concrete Slump.</div> <div>3) Concrete Air Content, if air entrainment specified, at the time of sampling.</div> <div>4) Compressive Strength of Test Cylinders in the following quantities at the following increments from the date of sampling:</div> <div>a) One test at 7 days</div> <div>b) Two tests at 28 days</div> <div>c) One specimen shall be retained in reserve for later testing if required.</div> <div>E. The Testing Laboratory shall prepare a report recording the information required in items C. and D. above and mail the report directly to the Owner, Engineer and Contractor the day of the compressive tests.</div> <div>F. Four cylinders shall be made for each test. Perform a minimum of one test for each 100 cubic yards per class of concrete placed, but in no case shall there be less than one test for each day's concreting per class of concrete.</div> <div>G. Concrete to be tested shall be randomly selected by the Testing Technician without direction from the Contractor or material supplier.</div> <div>PART 2 PRODUCTS</div> <div>2.01 Concrete:</div> <div>A. Concrete shall be composed of Portland Cement in conformance with ASTM C150, aggregates in conformance with ASTM C33 and water in conformance with ASTM C94, proportioned to achieve a compressive strength of 3,500 psi at 28 days unless noted otherwise in the specifications or on the drawings. Unless noted otherwise the maximum allowable slump shall be 4".</div> <div>B. Unless noted otherwise the water-cement ration shall not exceed .5 by weight.</div> <div>C. Air-entraining Admixture, where specified, shall conform with Referenced Standard ASTM C260. Provide air entraining admixture for all concrete exposed to freeze-thaw cycling. Air content shall be 7% +/- 1%.</div> <div>2.02 Additives:</div> <div>A. Admixtures containing thiocyanates or calcium chloride are not permitted.</div> <div>B. Water reducing chemical admixtures shall conform to ASTM C494 - Type A.</div>	<div>C. Unless specified herein, additives or admixtures shall not be used without written approval from the Engineer.</div> <div>2.03 Curing Compound:</div> <div>A. "Ellis Clear Acrylic cure 309" as manufactured by Ellis Construction Accessories, or equal meeting ASTM C309. Curing compound shall be an acrylic formula designed and certified to be compatible with resilient flooring adhesives.</div> <div>2.04 Non-Shrink Grout:</div> <div>A. "Masterflow 713" by Master Building Co.; "SonogROUT" by Sonnebrone Building Products; "Crystex", as manufactured by L&amp;M Construction Chemicals, Inc., or approved equal; with a minimum compressive strength of 5 psi at 28 days.</div> <div>2.05 Vapor Barrier:</div> <div>A. 6 mil. polyethylene film.</div> <div>PART 3 EXECUTION</div> <div>3.01 General Requirements:</div> <div>A. Mix, transport, test, place, finish and cure all Cast-In-Place Concrete and other products specified herein in strict accordance with Referenced Standards and manufacturer's written specifications.</div> <div>B. Notify Testing Laboratory 24 hours prior to placement of all concrete.</div> <div>3.02 Supplemental Requirements:</div> <div>A. Grind smooth surface projections, remove loose concrete and patch with Non-shrink grout, in strict accordance with manufacturer's written specifications, all surface honeycombs, wall tie holes and other vertical wall surface deformations on concrete walls to be exposed or to receive waterproofing assembly.</div> <div>B. Provide light broom finish on sidewalks unless noted otherwise.</div> <div>C. Apply curing Compound to all slab concrete in strict accordance with manufacturer's written specifications. Apply in sufficient quantity and reapply if necessary depending on weather conditions to protect concrete from premature drying. Apply additional coat of Curing Compound to slab concrete immediately after final cleaning of floor.</div> <div>D. Perform Cold Weather Concreting operations in strict accordance with the requirements of ACI 306R.</div> <div>E. Perform Hot Weather Concreting operations in strict accordance with the requirements of ACI 305R.</div> <div>F. Secure and install items to be embedded in Cast-In-Place Concrete in strict accordance with the manufacturer's written specifications, Referenced Standards and/or as indicated in the Drawings and Specifications.</div> <div>3.03 Defective Concrete:</div> <div>A. Modify or replace concrete not conforming to required strength, levels, lines, details, and elevations.</div> <div>B. Repair or replace concrete not properly placed or not of the specified type or finish.</div> <div>END OF SECTION</div> <div>SITE CLEARING</div> <div>SECTION 31 10 00</div> <div>PART 1 - GENERAL</div> <div>1.01 DESCRIPTION OF WORK</div> <div>The extent of site preparation work expected to be minimal. This work includes, but is not limited to furnishing all labor, material, equipment, tools, incidentals, and services necessary for:</div> <div>Temporary silt fencing</div> <div>Protection of existing trees and vegetation</div> <div>Related work as required</div> <div>1.02 SOIL EROSION AND SEDIMENTATION CONTROL</div> <div>A. Purpose - The purpose of this section is to minimize soil erosion and control sedimentation as required by the Soil Erosion and Sedimentation Control Act, Part 91, PA 451 of 1994 of the State of Michigan as amended.</div> <div>B. Permit - It is anticipated that a Soil Erosion and Sedimentation Control Permit will be required for this project. If a permit is required it shall be obtained prior to construction and shall be the responsibility of the contractor.</div> <div>C. Implementation - It shall be the responsibility of the Contractor to implement the Soil Erosion and Sedimentation Control Plan for this project in strict accordance with the permit, if required to be obtained. Unless specified within other sections of the specifications, all work under this section shall be in strict accordance with the construction methods as prescribed by the State of Michigan Department of Natural Resources for the implementation of this legislation. Refer to Michigan Guidebook for Soil Erosion and Sedimentation Control, prepared for and distributed by the Water Resources Commission of the Department of Natural Resources, State of Michigan.</div> <div>1.03 JOB CONDITIONS</div> <div>A. Protection of Existing Improvements - Provide barricades, coverings or other types of protection necessary to prevent damage to existing improvements indicated to remain in place. Protect improvements on adjoining properties and on the Owner's property. Restore any improvements damaged by this work to the original condition as acceptable to the Owner and other parties or authorities having jurisdiction.</div> <div>PART 2 - PRODUCTS</div> <div>2.01 PREASSEMBLED SILT FENCE</div> <div>A. Geotextile fabric - Polypropylene woven fabric, 2.3 oz./sq.yd., UV resistance 80% Propex® 2127, as mfd by Amoco Fabrics and Fibers Company, Austell, GA (770-944-4569), or approved equal.</div> <div>B. Silt Fence posts - As mfd by Amoco Fabrics and Fibers Company, Austell, GA (770-944-4569), or approved equal.</div> <div>PART 3 - EXECUTION</div> <div>3.01 GENERAL</div> <div>Call Miss Dig (1-800-482-7171) 72 hours prior to start of clearing and excavation work. Work shall not begin on site until after the project site has been marked by all utility companies.</div> <div>3.02 PREASSEMBLED SILT FENCE</div> <div>Install silt fencing where shown on drawings and prior to beginning site clearing and grubbing work. Unroll, stretch, and drive fence posts plumb. Posts shall be installed on the downward side of the fencing. The bottom of the fabric shall be placed under 6" of compacted soil to prevent sediment from flowing underneath the fence.</div>	<div>3.03 SITE CLEARING AND GRUBBING</div> <div>Remove vegetation, improvements or obstruction interfering with the installation of new construction. Clear the project site of trees, shrubs and other vegetation - except for those indicated to be left standing. Removal includes new and old stumps of trees and their roots. Carefully and cleanly cut roots and branches of trees indicated to be left standing, where such roots and branches obstruct new construction. Completely remove stumps, roots and other debris protruding through the ground surface. Use only hand methods for grubbing inside the drip line of trees indicated to be left standing. Fill depressions caused by clearing and grubbing operations with satisfactory soil material, unless further excavation or earthwork is indicated. Place fill material in horizontal layers not exceeding 0.5' loose depth, and thoroughly compact to a density equal to adjacent original ground.</div> <div>3.04 DISPOSAL OF WASTE MATERIALS</div> <div>Burning of combustible cleared and grubbed materials is not permitted on the Owner's property. Remove from the Owner's property and legally dispose of all waste materials and unsuitable or excess soils.</div> <div>3.05 TOPSOIL REMOVAL</div> <div>Topsoil is defined as friable clay loam surface soil found in a depth of not less than 0.4' or greater depth as indicated on the drawings. Satisfactory topsoil is reasonably free of subsoil, clay lumps, stones and other objects over 2.0" in diameter, and without weeds, roots and foreign materials. Strip topsoil from within the areas to be occupied by the construction and from other areas within the grading limits to be cut, filled or re-graded. Strip topsoil to whatever depth encountered in a manner to prevent intermingling with the underlying subsoil or objectionable material. Remove heavy growth of grass from areas before stripping. Where trees are indicated to be left standing, stop topsoil stripping at a sufficient distance to prevent damage to the main root system. Stockpile topsoil as indicated and where it will not interfere with construction operations or site work. Locate topsoil storage piles in areas shown or where otherwise directed. Construct storage piles to freely drain surface water and cover if required to prevent windblown dust. If soil or weather conditions are unsuitable, the Contractor shall cease topsoil removal operations and resume only when directed to do so by the owner or engineer. Dispose of excess topsoil the same as waste material, herein specified.</div> <div>3.06 SILT FENCE REMOVAL</div> <div>Upon completion of all work, remove the silt control fence and legally dispose off project site. Rake and smooth soil along location of silt fence, and seed as required.</div> <div>END OF SECTION</div> <div>EARTH MOVING</div> <div>SECTION 31 20 00</div> <div>PART 1 - GENERAL</div> <div>1.01 DESCRIPTION OF WORK</div> <div>The extent of Earthwork required is shown on the drawings. This work includes, but is not limited to furnishing all labor, material, equipment, tools, incidentals, and services necessary for:</div> <div>Site grading</div> <div>Placement of fill materials</div> <div>Related work as required</div> <div>1.02 QUALITY ASSURANCE</div> <div>A. Codes and Standards - Perform excavation work in compliance with applicable requirements of governing authorities having jurisdiction.</div> <div>B. Lines and Grades - The Contractor shall provide all instrumental surveying required to lay out and construct this work in conformance with the drawings.</div> <div>1.03 JOB CONDITIONS</div> <div>A. Site Information - The Contractor shall make his or her own investigation, as he or she deems necessary prior to the bid opening. Data on surface or subsurface conditions is not intended as representations or warranties of accuracy or continuity of actual site conditions. It is expressly understood that the Owner and project consultants employed as representatives of the work will not be responsible for interpretations or conclusions drawn therefrom by the Contractor. Data made available is for the convenience of the Contractor.</div> <div>B. Existing Utilities - Call MISS DIG prior to beginning work on the site. Locate existing underground utilities in the areas of work. If utilities are to remain in place, provide adequate means of protection during earthwork operations. Should uncharted, or incorrectly charted, piping or other utilities be encountered during excavation, consult the utility owner immediately for directions. Cooperate with the Owner and utility companies in keeping respective services and facilities in operation. Repair damaged utilities to the satisfaction of the utility owner. Do not interrupt existing utilities serving facilities occupied and used by the Owner or others, except when permitted in writing by the owner or engineer, and then only after acceptable temporary utility services have been provided.</div> <div>C. Explosives - The use of explosives is not permitted.</div> <div>D. Protection of Persons and Property - Protect structures, utilities, sidewalks, pavements, and other facilities from damage caused by settlement, lateral movement, undermining, washouts and other hazards created by earthwork operations.</div> <div>PART 2 - PRODUCTS</div> <div>2.01 DEFINITIONS</div> <div>A. Standards - Satisfactory soil materials are defined as those complying with American Association of State Highway and Transportation Officials (AASHTO) M145, soil classification Groups A-1, A-2-4, A-2-5 and A-3. Unsatisfactory soil materials are those defined in AASHTO M145 Soil Classification Groups A-2-6, A-2-7, A-4, A-6 and A-7. Also listed as unsatisfactory are peat and other highly organic soils. Cohesion-less soil materials include gravel, sand gravel mixture and gravelly sands. Cohesive soil materials include clay and silty gravel, sand clay mixtures, gravel silt mixtures, clay and silty sands, sand silt mixtures, clays, silts and very fine sands.</div> <div>B. Subbase Material - Subbase material shall be properly graded mixtures of natural or crushed gravel, crushed stone, crushed slag, or natural or processed sand that will readily compact to the required density complying with AASHTO M147, Grade A, unless otherwise indicated or acceptable to the owner or engineer.</div> <div>C. Topsoil - Topsoil shall be fertile, friable organic soil, characteristic of the soils in the project area that will produce heavy growths of vegetation. Topsoil shall be capable of supporting a healthy and vigorous stand of turf (lawn) grass.</div> <div>PART 3 - EXECUTION</div> <div>3.01 EXCAVATION</div> <div>A. Excavation consists of removal and disposal of material encountered when establishing required grade elevations. Earth excavation includes removal and disposal of pavements and other obstructions visible on the ground surface, underground structures and utilities indicated to be demolished and removed, material of any classification indicated in data on subsurface conditions, and other materials encountered that are not classified as rock excavation or unauthorized excavation. Unauthorized excavation consists of removal of materials beyond indicated subgrade elevations or dimensions without specific direction of the owner or engineer. Unauthorized excavation, as well as remedial work directed by the owner or engineer, shall be at the expense of the Contractor.</div>	<div>B. Dewatering - Prevent surface water and subsurface or groundwater from flowing into excavations and from flooding project site and surrounding area. Convey water removed from excavations and rainwater to collecting or runoff areas. Establish and maintain temporary drainage ditches and other diversions outside excavation limits for each structure. Do not use trench excavations as temporary drainage ditches.</div> <div>C. Materials Storage - Stockpile satisfactory excavated materials where directed, until required for fill. Place grade and shape stockpiles for proper drainage. Locate and retain soil materials away from the edge of excavations. Cover stockpile, or provide temporary vegetative cover as may be required to comply with the Soil Erosion and Sedimentation Act. Dispose of excess soil material and waste materials as directed.</div> <div>3.03 COMPACTION</div> <div>Control soil compaction during construction providing minimum percentages of density specified for each area classification. Compact soil to not less than the following percentages of maximum dry density for soils that exhibit a well-defined moisture density relationship determined in accordance with ASTM D 1557.</div> <div>3.04 BACKFILL AND FILL</div> <div>Place acceptable soil material in layers to required subgrade elevations, for each area classification listed below:</div> <div>A. Placement and Compaction - Place fill materials in layers not more than 1.0 foot in loose depth for material compaction by heavy construction equipment and not more than 0.5 foot in loose depth for material compacted by hand operated tampers.</div> <div>B. At Existing Trees to Remain - Remove vegetation within dripline and fill with a single layer of uncompacted topsoil. Hand grade to attain required finish grade.</div> <div>3.05 DISTRIBUTION OF TOPSOIL</div> <div>Prior to topsoil placement, the subgrade shall be prepared to uniform levels and slope between points where elevations are shown. Abrupt changes in slope are to be rounded off. Loosen subgrade to a minimum depth of 0.4 foot. Remove stones over 1.0" in any dimension and sticks roots, rubbish and other extraneous matter. Fine rake by York Rake®, Viking Roller Blade®, or approved equal or by hand to produce a smooth even surface that conforms to the grades established on the drawings. Any irregularities shall be corrected in order to prevent the formation of depressions or water pockets. Topsoil shall be uniformly distributed to a minimum depth of 0.4 foot after firming, unless otherwise indicated. Topsoil in planting bed areas, if applicable, shall be placed to a minimum depth of 1.0 foot. Topsoil shall be spread in such a manner that finish grading, seeding or sodding, and landscape planting operations can proceed with a minimum of additional soil preparation. Place approximately 50% of the total amount of the topsoil required, work into top of loosened subgrade to create a transition layer, and then place remainder of topsoil. Topsoil shall not be placed while in a frozen or muddy condition, when the subgrade is excessively wet or in a condition that may otherwise be detrimental to proper grading. Irregularities in the surface resulting from topsoil spreading or other operations shall be corrected in order to prevent the formation of depressions or water pockets. Provide additional clean topsoil - subject to approval of the owner or engineer - as may be required to complete work. Remove any excess topsoil from the site, or distribute it and grade it as directed by engineer on site if approved by Owner.</div> <div>3.06 MAINTENANCE</div> <div>A. Protection of Graded Areas - Protect newly graded areas from traffic and erosion. Keep free of trash and debris. Repair and reestablish grades in settled, eroded and rutted areas to specified tolerances.</div> <div>B. Reconditioning of Compacted Areas - Where completed compacted areas are disturbed by subsequent construction operation or adverse weather, scarify surface, reshape and compact to required density prior to further construction.</div> <div>3.07 DISPOSAL OF EXCESS AND WASTE MATERIALS</div> <div>Remove excess excavated material, soil, trash, debris and waste materials and legally dispose of such off the property, except as otherwise specifically noted.</div> <div>END OF SECTION</div> <div>BASES, BALLASTS AND PAVING</div> <div>DIVISION 32 10 00</div> <div>PART 1 GENERAL</div> <div>1.01 Scope:</div> <div>A. Provide sub-base, base and bituminous paving for driveways walkway, sidewalk, and concrete pads, as indicated on the drawings, as specified herein, and as needed for a complete and proper installation.</div> <div>1.02 Referenced Standards:</div> <div>A. MDOT Standard Specifications</div> <div>PART 2 PRODUCTS</div> <div>2.01 Materials</div> <div>A. MDOT 22A Aggregate (Base)</div> <div>B. MDOT Class II Granular Material (Subbase)</div> <div>C. MDOT 13A HMA (Pavement)</div> <div>D. Seed, Mulch and Fertilizer (See Seeding Section 32 92 00)</div>	<div>PROJECT NUMBER P-190259</div> <div>ENGINEER: Timothy L. Lapham, P.E., P.S. 27595</div> <div>REVISD: Nov. 26, 2015 for Engineering submittal, July 21, 2020 per owner's request</div> <div>REVISD: Sept 15, 2020 Drain Commissioner submittal</div> <div>DRAWN BY: S.E. Bell</div> <div>SHEET C-15</div> <div>SCALE: N/A</div> <div>Site Specifications</div> <div>Paul Davis Restoration Mason Development</div> <div>For</div> <div>Paul Davis</div> <div>PAUL DAVIS</div> <div>RECOVER • RECONSTRUCT • RESTORE</div> <div>ENGINEERING</div> <div>PLANNING</div> <div>ENVIRONMENTAL</div> <div>SURVEYING</div> <div>ASSOCIATES</div> <div>116 South 3rd Street</div> <div>West Branch, MI 48661</div> <div>P (989) 345-5030</div> <div>F (989) 345-7302</div> <div>www.laphamassoc.com</div> <div>© 2020 COPYRIGHT, LAPHAM ASSOCIATES</div> <div>UNAUTHORIZED COPYING IS PROHIBITED.</div> <div>APPROVED USE FOR:</div> <div><input type="radio"/> PRELIMINARY</div> <div><input checked="" type="radio"/> PERMIT/BID</div> <div><input type="radio"/> CONSTRUCTION</div> <div><input type="radio"/> FINAL RECORD</div> <div>C-15</div>
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F:\PROJECTS\PROJECTS 2019\19025 LAPHAM, BELL DAVIS LANDSCAPE PLAN\07 GRAPHICS\AUTOCAD\RESOURCES\MODELS\LANDSCAPE\REVISED\2020.DWG



PLANT SCHEDULE				
ID	LATIN NAME	COMMON NAME	PLANT DESC	SIZE
CA	CALAMAGROSTIS X ACUTIFLORA 'KARL FOERSTER'	FEATHER REED GRASS	ORNAMENTAL GRASS	1 QUART
GT	GLEDITSIA TRIACANTHOS INERMIS	THORNLESS HONEY LOCUST	CANOPY TREE	2.5" CALIPER
HV	HAMAMELIS VIRGINIANA 'LITTLE SUZIE'	COMMON WITCH HAZEL	DECIDUOUS SHRUB WITH LATE YELLOW BLOOMS	1 GALLON
IV	ILEX VERTICILLATA	WINTERBERRY HOLLY	DECIDUOUS SHRUB WITH RED WINTER BERRIES	1 GALLON
JC	JUNIPERUS CHINENSIS	CHINESE JUNIPER	EVERGREEN SHRUB	1 GALLON
MS	MAGNOLIA X SOULANGEANA	SAUCER MAGNOLIA	WHITE AND PURPLE BLOOMS	2" CALIPER
PG	PICEA GLAUCA	WHITE SPRUCE	EVERGREEN TREE	2" CALIPER
RH	RUDBECKIA HIRTA	BLACK-EYED SUSAN	YELLOW FLOWERS WITH BROWN CENTER	1 QUART
TC	TILIA CORDATA	LITTLE-LEAF LINDEN	SHADE TREE WITH PALE YELLOW BLOOMS	2.5" CALIPER
TM	TAXUS X MEDIA 'HICKSI'	HICKSI YEWE	EVERGREEN SHRUB	1 QUART
				Count
				16
				12
				15
				19
				101
				1
				6
				38
				5
				71

SITE PLAN LEGEND

- ASPHALT
- CONCRETE
- CURB AND GUTTER
- PLANT TYPE
- PLANT QUANTITY

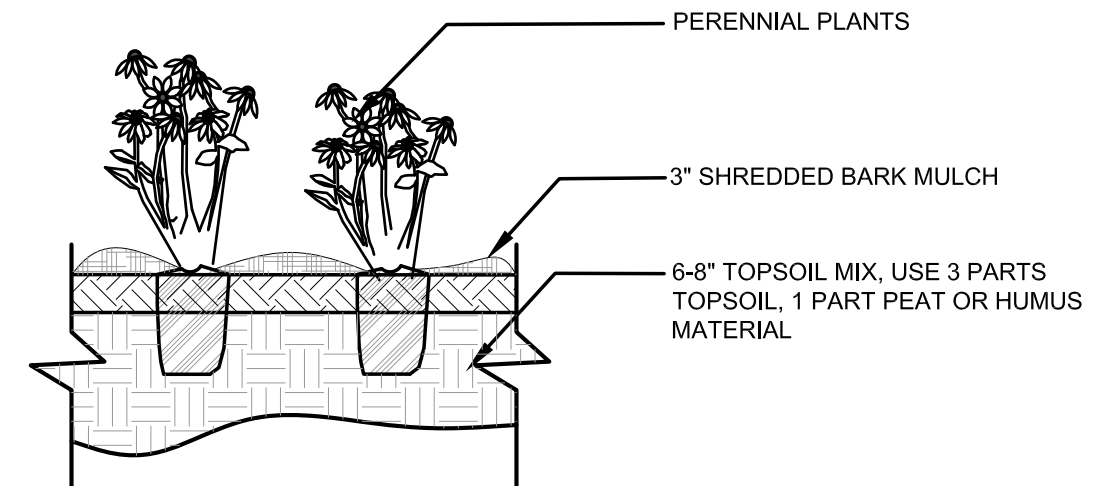
SEEDING NOTES:

- SEED ALL NON NATIVE DISTURBED AREAS UNLESS OTHERWISE NOTED WITH:
  - EARTH CARPET QUICK TO GROW LAWN SEED MIXTURE
  - 25% PERENNIAL RYEGRASS
  - 25% KENTUCKY BLUEGRASS
  - 25% ANNUAL RYEGRASS
  - 25% CREEPING RED FESCUE

APPLY AT THE RATE OF 5-6 POUNDS PER 1,000SF

LANDSCAPE NOTES:

- ALL DISTURBED AREAS SHALL BE SEEDED AND MULCHED.
- INSTALL 3" X 12 GA. EDGING TO SEPARATE LAWN FROM PLANTING BED. (AROUND SHRUBS ONLY)
- INSTALL 3" DEEP SHREDDED BARK MULCH TO ALL PLANTING AREAS / BEDS / WETLAND AREAS.
- CONTRACTOR SHALL VERIFY THE LOCATION OF ALL UNDERGROUND UTILITIES, PIPES AND STRUCTURES, AS WELL AS THE LOCATION OF EXISTING TREES AND VEGETATION. CONTRACTOR SHALL BE RESPONSIBLE FOR ANY COST INCURRED DUE TO DAMAGE/REMOVAL OF SAID ELEMENTS.
- ANY DISCREPANCIES BETWEEN PLANS, NOTES, DETAILS AND EXISTING CONDITIONS SHALL BE IMMEDIATELY REPORTED TO THE OWNER'S AUTHORIZED REPRESENTATIVE FOR REVIEW AND DECISION. CONTRACTOR SHALL ASSUME FULL RESPONSIBILITY FOR ALL REVISIONS DUE TO FAILURE TO GIVE SUCH NOTIFICATION.
- CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO EXISTING MATERIALS/IMPROVEMENTS, DAMAGED DURING CONSTRUCTION.
- SITE BOUNDARY, TOPOGRAPHY, UTILITIES AND OTHER BASE INFORMATION PROVIDED BY OTHERS.
- CONTRACTOR SHALL VERIFY QUANTITIES SHOWN ON PLANT SCHEDULES AND THOSE INDICATED ON PLANS. CONTRACTOR IS RESPONSIBLE FOR INSTALLATION OF QUANTITIES DRAWN.
- CONTRACTOR SHALL MAKE MINOR ADJUSTMENTS TO PLANT MATERIAL LOCATIONS IN FIELD, AS NECESSARY. THE LOCATION OF ALL PLANT MATERIAL SHALL BE SUBJECT TO APPROVAL BY THE OWNER'S AUTHORIZED REPRESENTATIVE.
- ALL PLANT MATERIAL SHALL BE OF THE SIZES CALLED FOR IN THE PLANT SCHEDULES. ANY PLANT MATERIAL NOT MEETING THE SIZED AND/OR QUALITY AS CALLED FOR SHALL BE REMOVED FROM SITE. ALL TREES SHALL BE INSPECTED AND APPROVED BY THE OWNER'S AUTHORIZED REPRESENTATIVE. NO SUBSTITUTIONS OF PLANT MATERIAL SHALL BE MADE WITHOUT APPROVAL FROM THE OWNER'S AUTHORIZED REPRESENTATIVE.
- CONTRACTOR SHALL DETERMINE APPROPRIATE PLANTING BACKFILL MIXES (BASED ON SOILS/SUBSURFACE CONDITIONS) AND REVIEW ALTERNATIVES WITH OWNER'S AUTHORIZED REPRESENTATIVE PRIOR TO INSTALLATION.
- CONTRACTOR TO INCLUDE COST OF ALL MULCH IN THE COST OF THE PLANT MATERIAL.
- CONTRACTOR TO PROVIDE SEED BAGS/TAGS AND FERTILIZER INGREDIENTS TO THE OWNER VERIFYING WHAT WAS USED ON THIS PROJECT.



PERENNIAL PLANTING  
SCALE: NOT TO SCALE

56 EXISTING TREES ON SOUTHEAST CORNER OF PROPERTY, INCLUDING 23 MAPLE, 18 BOX ELDER, 7 OAK, 4 COTTONWOOD, AND 3 BEECH. SIZES VARY FROM 3" TO 34" IN DIAMETER

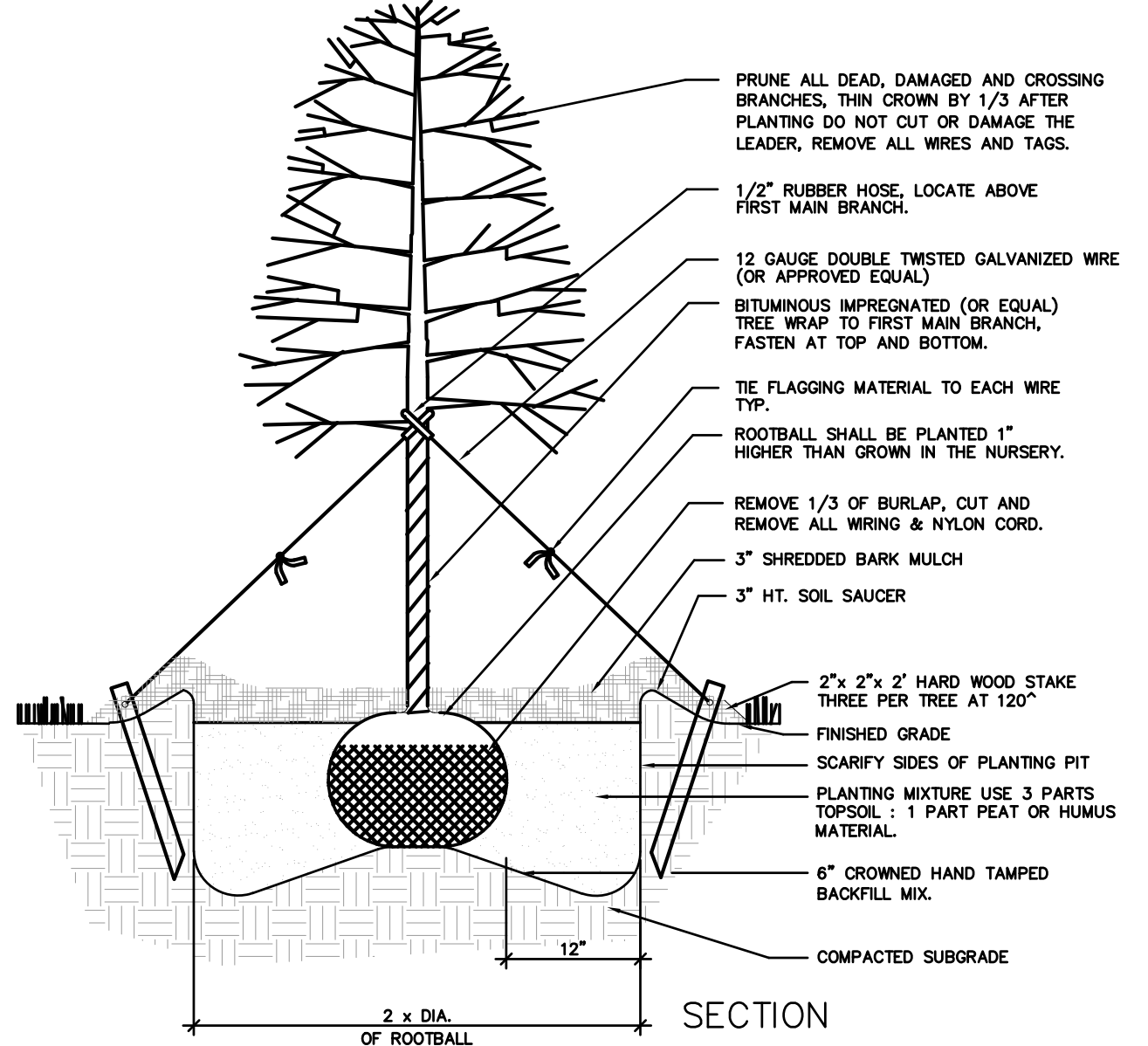
Southeast Corner, Section 9  
T2N, R1W, City of Mason,  
Ingham County, Michigan

ORDINANCE NOTES:

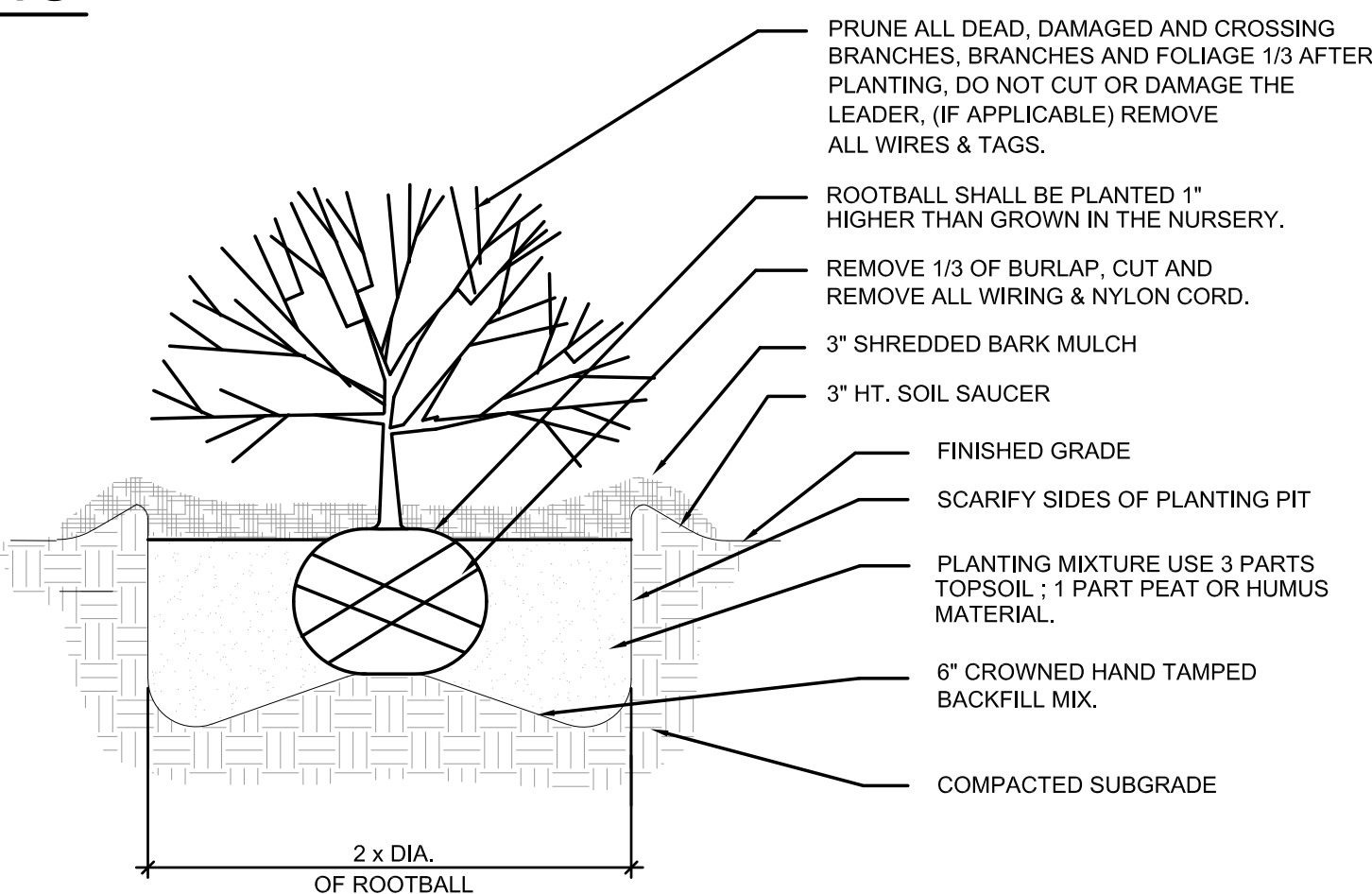
- CITY OF MASON CODE OF ORDINANCES - DIVISION 2 (CODE OF ORDINANCES)  
CHAPTER 94 - ZONING  
DIVISION 2. LANDSCAPE STANDARDS  
§94-241 LANDSCAPE SCREENING AND BUFFER REQUIREMENTS
- 94-241(c)(8): IN ADDITION TO ANY REQUIRED BUFFER AREA OR PARKING LOT LANDSCAPING, AT LEAST TEN PERCENT OF THE SITE AREA SHALL BE LANDSCAPED WITH GRASSES AND OTHER LIVING GROUNDCOVERS, PLANTING BEDS, AND TREES, OR COMBINATIONS THEREOF, AND THE SITE SHALL INCLUDE A MINIMUM OF ONE TREE PER 10,000 SQUARE FEET OF DISTURBED LAND, OR FRACTION THEREOF.  
  
APPROXIMATELY 5 ACRES WILL BE DISTURBED. ALL DISTURBED AREAS TO BE SEEDED WITH LAWN. EXCLUDING REQUIRED BUFFER AREAS AND PARKING LOT LANDSCAPING, 145,044 SQUARE FEET OF GREEN SPACE IS PROPOSED WHICH ACCOUNTS FOR 67.7% OF THE SITE. (GREENSPACE = 145,044 SF/ TOTAL SITE = 217,831 SF = 67.7%)  
21 TREES ARE REQUIRED.  
56 TREES WITH 2.5" OR GREATER DIAMETER EXIST ON SITE, INCLUDING (23) MAPLE, (8) OAK, AND (4) COTTONWOOD, AND THESE WILL BE PROTECTED FROM DISTURBANCE.
  - 94-241(e): BUFFER ZONE REQUIREMENTS - BUFFER ZONE (M-1 TO M-1 NORTH EDGE OF PROPERTY).  
1 TREE FOR EACH 30 LINEAR FEET OF BUFFER ZONE REQUIRED HALF OF WHICH MUST BE CANOPY TREES, MINIMUM OF 4 SHRUBS FOR EACH 20 LINEAR FEET OF BUFFER ZONE REQUIRED, BUFFER ZONE MINIMUM OF 10' WIDE.  
REQUIRED TREES: 13  
PROPOSED TREES: 13  
REQUIRED SHRUBS: 73  
PROPOSED SHRUBS: 73  
BUFFER ZONE (M-1 TO AG EAST EDGE OF PROPERTY).  
1 TREE FOR EACH 20 LINEAR FEET OF BUFFER ZONE REQUIRED HALF OF WHICH MUST BE CANOPY TREES, MINIMUM OF 4 SHRUBS FOR EACH 20 LINEAR FEET OF BUFFER ZONE REQUIRED, BUFFER ZONE MINIMUM 50' WIDE.  
REQUIRED TREES: 23  
EXISTING TREES: 56  
REQUIRED SHRUBS: 91  
EXISTING WOODLAND ON EASTERN BOUNDARY OF SITE IS NOT TO BE DISTURBED AND ACTS AS AN EXISTING BUFFER TO MEET THE REQUIREMENTS.

SHRUB ROW ADDED TO THE WEST SIDE OF PARKING LOT TO CREATE A VISUAL BUFFER BETWEEN PARKING LOT AND TEMPLE ST.

- 94-241(g) AND (h): STANDARDS FOR BERMS, SCREEN WALLS/FENCES.  
  
DETAILS FOR THE DUMPSTER ENCLOSURE CAN BE FOUND ON SHEET C-6
- 94-241(i): PARKING AREA LANDSCAPE STANDARDS - 1 TREE AND 100 S.F. OF LANDSCAPED AREA PER (8) SPACES AT LEAST HALF OF THE REQUIRED TREES SHALL BE INSTALLED IN THE INTERIOR OF THE PARKING AREA.  
  
PROPOSED PARKING SPACES = 54  
REQUIRED NUMBER OF CANOPY TREES = 7  
PROPOSED CANOPY TREES = 10  
REQUIRED NUMBER OF CANOPY TREES WITHIN PARKING AREA: 4  
PROPOSED NUMBER OF CANOPY TREES WITHIN PARKING AREA: 4  
REQUIRED LANDSCAPED AREA = 700 S.F.  
PROPOSED LANDSCAPED AREA = 5246 S.F.
- 94-241(i)(1)e - ALL LANDSCAPED AREAS SHALL BE PROTECTED BY A RAISED STANDARD OR ROLLED CURB.



TREE PLANTING  
SCALE: NOT TO SCALE



SHRUB PLANTING  
SCALE: NOT TO SCALE

811  
Know what's below.  
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**Landscape Architects & Planners, Inc.**

OAKLAND CENTER  
809 CENTER STREET  
SUITE ONE  
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P: (517) 485-5500  
F: (517) 485-5576  
info@lapinc.net

**REVISIONS**

INITIALS	DATE	COMMENTS
REV 1	7/29/2020	S.P.A. COMMENTS

**LAPHAM ASSOCIATES**

116 SOUTH 3RD STREET  
WEST BRANCH, MI 48661  
P: (889) 345-5030 F: (889) 345-7002

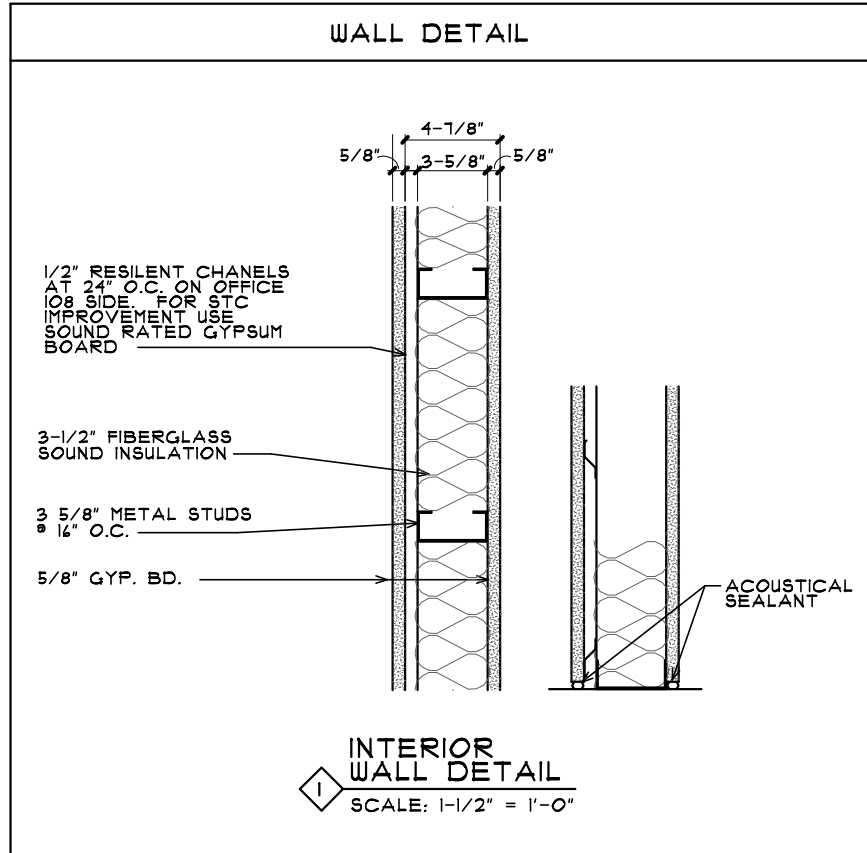
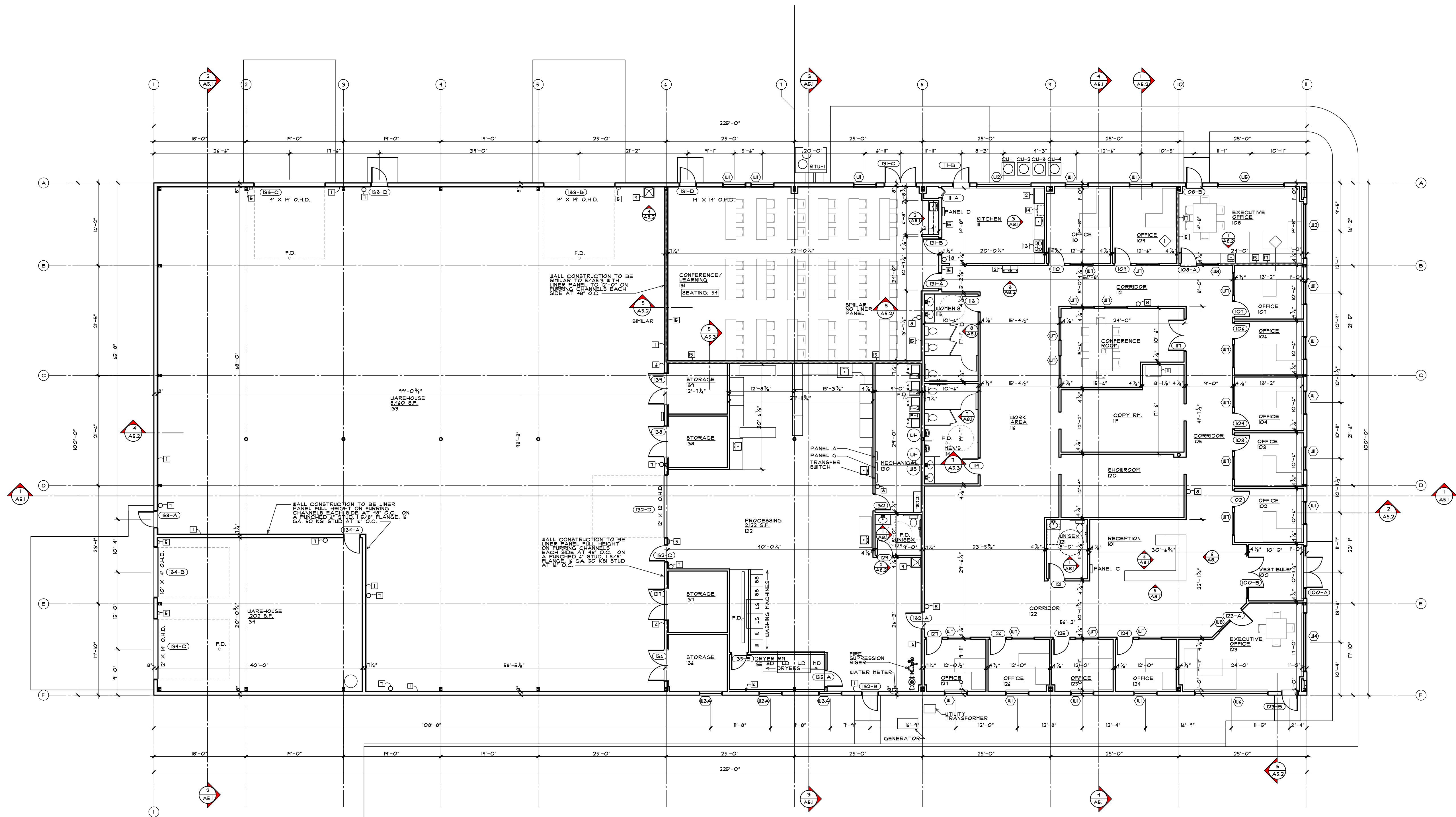
**PAUL DAVIS WAREHOUSE  
LANDSCAPE PLAN**

TEMPLE STREET AND KIPP ROAD, MASON MI

DATE: SEPTEMBER 13, 2019  
DESIGNED BY: JH  
CHECKED BY: RF, NW  
DRAWN BY: JH  
PROJECT NO: 19025  
SCALE: AS SHOWN  
VERT: N/A  
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**SHEET  
L-1**



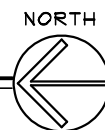


CONSTRUCTION NOTES	
KEY	DESCRIPTION
1	LINEAR PANEL 12' HEIGHT ON THIS WALL. CHOICE OF STANDARD COLOR BY OWNER
2	DUAL HEIGHT DRINKING FOUNTAIN WITH CANE APRON
3	SHELF AND ROD MOUNTED AT 5'-0" ABOVE FINISH FLOOR
4	BUILDING X-BRACING SUPPLIED BY PRE-ENGINEERED METAL BUILDING MANUFACTURER
5	OVERHEAD DOOR OPERATOR
6	LINEAR PANEL FULL HEIGHT ON THIS WALL. CHOICE OF STANDARD COLOR BY OWNER
7	10# ABC FIRE EXTINGUISHER
8	5# ABC FIRE EXTINGUISHER
9	MOP SINK
10	12" DEEP WIRE SHELF W/ SUPPORTS
11	PRINTER/COPIER - PROVIDED BY OWNER
12	REFRIGERATOR - PROVIDED BY OWNER
13	RANGE - PROVIDED BY OWNER
14	MICROWAVE - PROVIDED BY OWNER
15	APPLY ACOUSTICAL SEALANT AT EACH SIDE OF BOTTOM TRACK AT FLOOR
16	DRYER EXHAUST AND MAKEUP AIR WILL NEED TO BE ADDRESSED TO MEET MANUFACTURERS RECOMMENDATIONS AND CURRENT CODE FOR EXHAUST AND MAKEUP AIR REQUIREMENTS UPON FINAL SELECTION OF EQUIPMENT BY OWNER. FINAL LOCATION OF EQUIPMENT WILL BE DETERMINED BASED UPON THE MAXIMUM LENGTH OF EXHAUST DUCT REQUIRED AS PER MANUFACTURER'S INSTRUCTIONS. PROVIDE FINAL PRODUCT TO BE PURCHASED PRIOR TO UNDERGROUND PLUMBING BEING INSTALLED.
17	RESILIENT CHANNEL THIS SIDE OF WALL, REFER TO WALL DETAIL 1

NOTE  
1. REFER TO STRUCTURAL PLAN S1 FOR DETAILS ON STUD SIZES, BRACING, AND CEILING JOIST

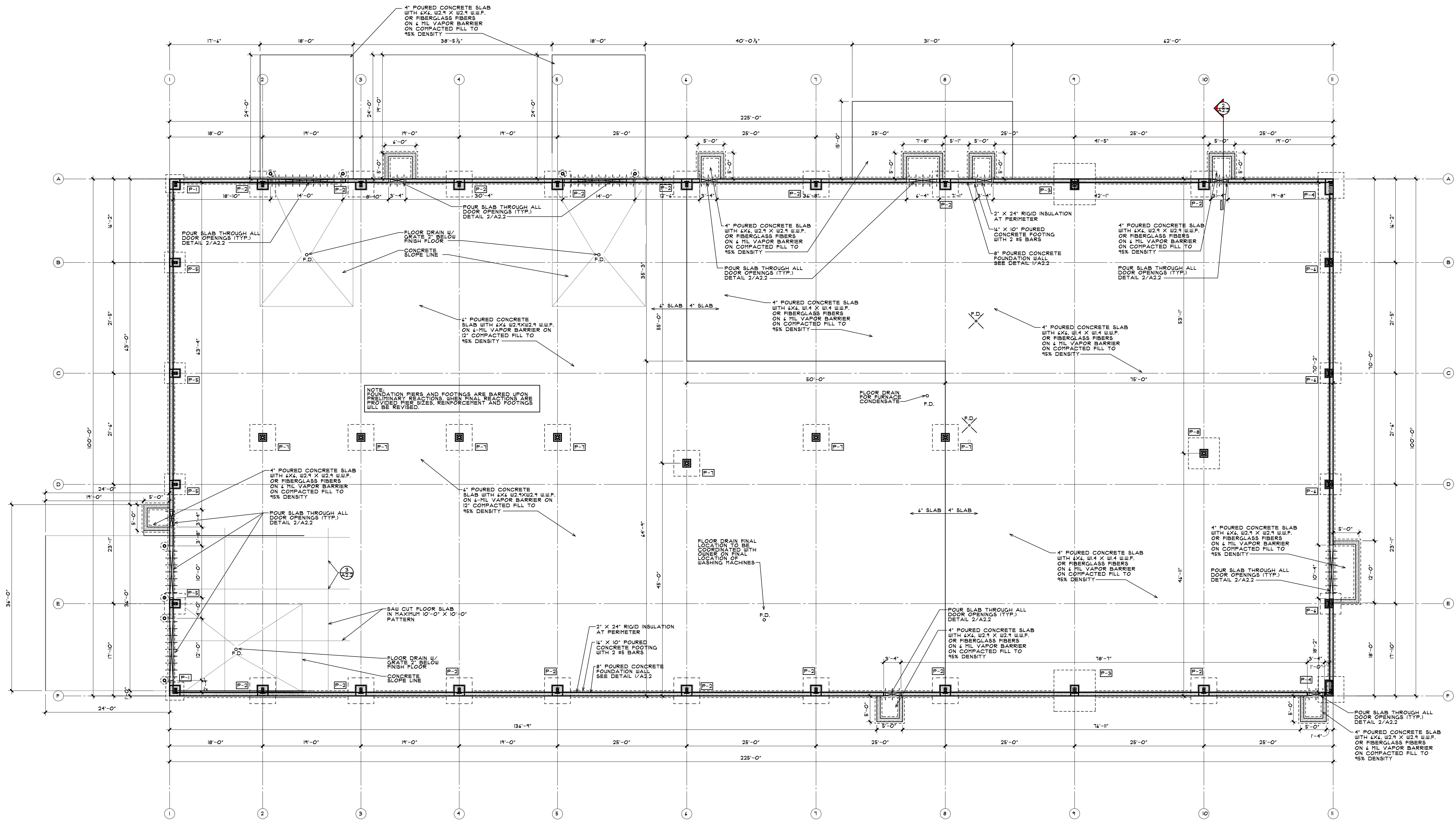
## FLOOR PLAN

SCALE: 3/32" = 1'-0"



PROJECT	PROJECT NO.	SHEET	DATE	ISSUED	DATE	ISSUED	DATE
PAUL DAVIS NEW OFFICE/WAREHOUSE BUILDING LOT #2 - TEMPLE STREET MASON, MICHIGAN 48854	19-021	A1.1	DATE	ISSUED	DATE	ISSUED	DATE
SEIDEL'S ARCHITECTS COMMERCIAL 114 N. COURT AVE., STE. 201 GAYLORD, MICHIGAN 49734 PHONE (888) 731-0372 FAX (888) 731-8932	INDUSTRIAL RESIDENTIAL	DATE	ISSUED	DATE	ISSUED	DATE	ISSUED
T.S.	T.S.	T.S.	T.S.	T.S.	T.S.	T.S.	T.S.
CHECKED BY	APPROVED BY	DATE	ISSUED	DATE	ISSUED	DATE	ISSUED
PLANNING COMMISSION SUBMITTAL	PLANNING COMMISSION SUBMITTAL	PLANNING COMMISSION SUBMITTAL	PLANNING COMMISSION SUBMITTAL	PLANNING COMMISSION SUBMITTAL	PLANNING COMMISSION SUBMITTAL	PLANNING COMMISSION SUBMITTAL	PLANNING COMMISSION SUBMITTAL
8/9/19	8/14/19	9/13/19	8/7/20	8/7/20	8/7/20	8/7/20	8/7/20
PERMIT AND CONSTRUCTION	PERMIT AND CONSTRUCTION	PERMIT AND CONSTRUCTION	PERMIT AND CONSTRUCTION	PERMIT AND CONSTRUCTION	PERMIT AND CONSTRUCTION	PERMIT AND CONSTRUCTION	PERMIT AND CONSTRUCTION





- CONCRETE NOTES:
1. ALL READY MIX CONCRETE SHALL CONFORM TO A.S.T.M. C 34.
  2. MEASURING, MIXING, TRANSPORTING, AND PLACING OF ALL CONCRETE SHALL COMPLY W/ ACI 308R-00.
  3. ALL REINFORCING BARS, DOUELS, ANCHOR BOLTS AND ANY INSERTS SHALL BE SECURED IN POSITION PRIOR TO PLACING OF CONCRETE.
  4. AIR ENTRAINED CONCRETE SHALL BE USED FOR ALL SIDEWALKS, PAVING, PLATFORMS, CURBS, AND ALL CONCRETE ELEMENTS EXPOSED TO THE WEATHER.
  5. ALL CONCRETE SHALL DEVELOP THE FOLLOWING COMPRESSIVE STRENGTHS AT 28 DAYS (U.N.O.):  
INTERIOR CONCRETE SLABS = 4000 PSI  
EXTERIOR CONCRETE SLABS = 4000 PSI  
FOOTINGS AND FOUNDATION WALLS = 3500 PSI
  6. LOCATE ALL SLEEVES, OPENINGS, EMBEDDED ITEMS, ETC. WHICH ARE INDICATED ON ALL DESIGN DRAWINGS AND CHECK WITH ALL TRACES TO VERIFY THAT ALL SLEEVES, OPENINGS, AND EMBEDDED ITEMS ARE IN PLACE AND LOCATED CORRECTLY PRIOR TO PLACING THE ADJACENT CONCRETE.
  7. THE SURFACE OF ALL CONSTRUCTION JOINTS SHALL BE CLEANED TO REMOVE ALL DUST, OILS, OR OTHER FOREIGN MATTER PRIOR TO PLACING THE ADJACENT CONCRETE.
  8. ALL SLABS SHALL BE CURED AND SEALED TO MINIMIZE SHRINKAGE CRACKING.
  9. REFER TO ARCHITECTURAL DRAWINGS FOR MOLDS, GROOVES, ORNAMENTS, OR ACCESSORIES REQUIRED TO BE CAST IN CONCRETE, AND FOR LOCATIONS OF FLOOR FINISHES AND SLAB DEPRESSIONS.
  10. PIPE MAY PASS THROUGH STRUCTURAL CONCRETE IN SLEEVES, BUT SHALL NOT BE EMBEDDED THEREIN. SLEEVES SHALL BE UNBARRED WITH EXPANSION JOINT FILLER MATERIAL TO ALLOW CONCRETE TO CURE WITHOUT RESTRAINT. PIPES OR CONDUITS EXCEEDING ONE THIRD THE SLAB OR WALL THICKNESS SHALL NOT BE IN STRUCTURAL CONCRETE UNLESS SPECIFICALLY DETAILED. SEE MECHANICAL AND/OR ELECTRICAL DRAWINGS FOR LOCATIONS OF SLEEVES, ACCESSORIES, ETC.
  11. SLAB SURFACES SHALL BE SMOOTH AND LEVEL, OR SHALL HAVE SMOOTH EVEN SLOPE. CONCRETE FINISH SHALL BE SMOOTH FOR INTERIOR FLOOR SLABS AND BROOVED FOR EXTERIOR WALKS.
  12. DURING COLD WEATHER MONTHS, ALL CONCRETE SHALL COMPLY W/ ACI COLD WEATHER CONCRETING, ACI 308R-99, PER ACI COLD WEATHER IS DEFINED AS A PERIOD WHEN, FOR MORE THAN 3 DAYS CONSECUTIVE DAYS, THE FOLLOWING CONDITIONS MUST EXIST:  
a. THE AVERAGE DAILY AIR TEMP IS LESS THAN 40 F. AND,  
b. THE AIR TEMP IS NOT GREATER THAN 50 F FOR MORE THAN ONE-HALF OF ANY 24-HR PERIOD.
  13. DURING WARM WEATHER MONTHS, ALL CONCRETE SHALL COMPLY W/ ACI COLD WEATHER CONCRETING, ACI 308R-99.

- GENERAL NOTES:
1. VERIFY ALL ANCHOR BOLT SIZES AND LOCATIONS WITH BUILDING MANUFACTURER'S ANCHOR BOLT PLAN PRIOR TO PLACEMENT. BUILDING MANUFACTURER'S ANCHOR BOLT PLAN IS TO TAKE PRECEDENCE OVER ALL OTHER PLANS.
  2. FASTENERS AND CONNECTORS, INCLUDING NUTS AND WASHERS, IN CONTACT WITH PRESERVATIVE TREATED WOOD SHALL BE OF HOT-DIPPED, ZINC COATED GALVANIZED STEEL.
  3. CONTINUOUS HORIZONTAL REBAR LAP TO BE A MINIMUM OF 24"
- SOIL BEARING CAPACITY: ASSUMED 2000 PSF  
IF MATERIAL OR THIS CAPACITY IS NOT FOUND AT THE ELEVATIONS INDICATED, FOOTINGS SHALL BE ENLARGED OR LOWERED AT THE DIRECTION OF THE ENGINEER
- 1/2" ANCHOR BOLT LENGTH 2'-3" + 3' HOOK  
1" ANCHOR BOLT LENGTH 2'-0" + 3' HOOK  
3/4" ANCHOR BOLT LENGTH 1'-1" + 3' HOOK  
5/8" ANCHOR BOLT LENGTH 1'-0" + 3' HOOK  
1/2" ANCHOR BOLT LENGTH 1'-0" + 3' HOOK

## FOUNDATION PLAN

SCALE: 3/32" = 1'-0"

NOTE:  
FOUNDATION PIERS AND FOOTINGS ARE BARED UPON PRELIMINARY REACTIONS. WHEN FINAL REACTIONS ARE PROVIDED, PIER SIZES, REINFORCEMENT AND FOOTINGS WILL BE REVISED.

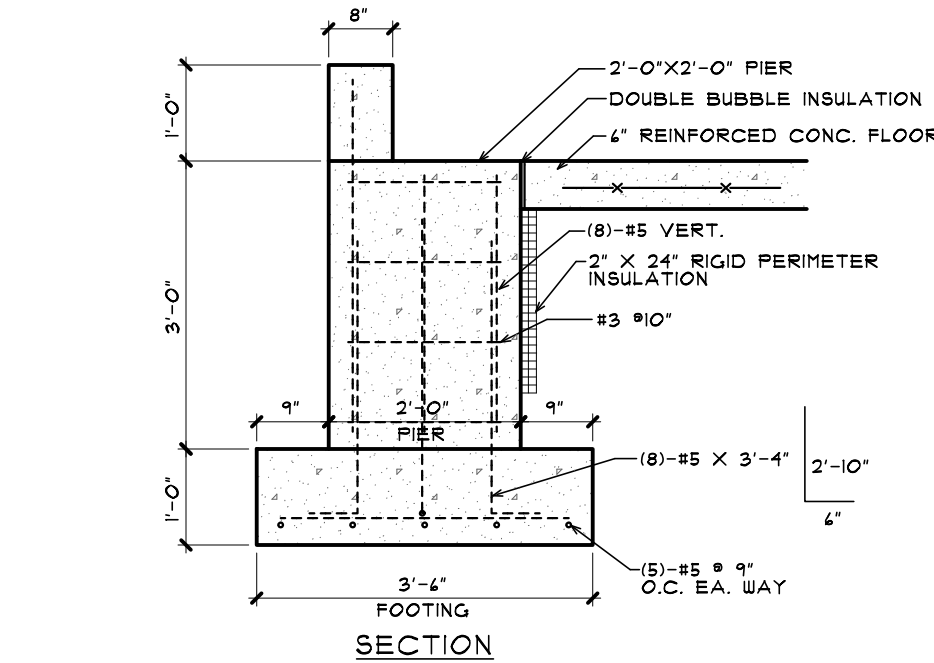
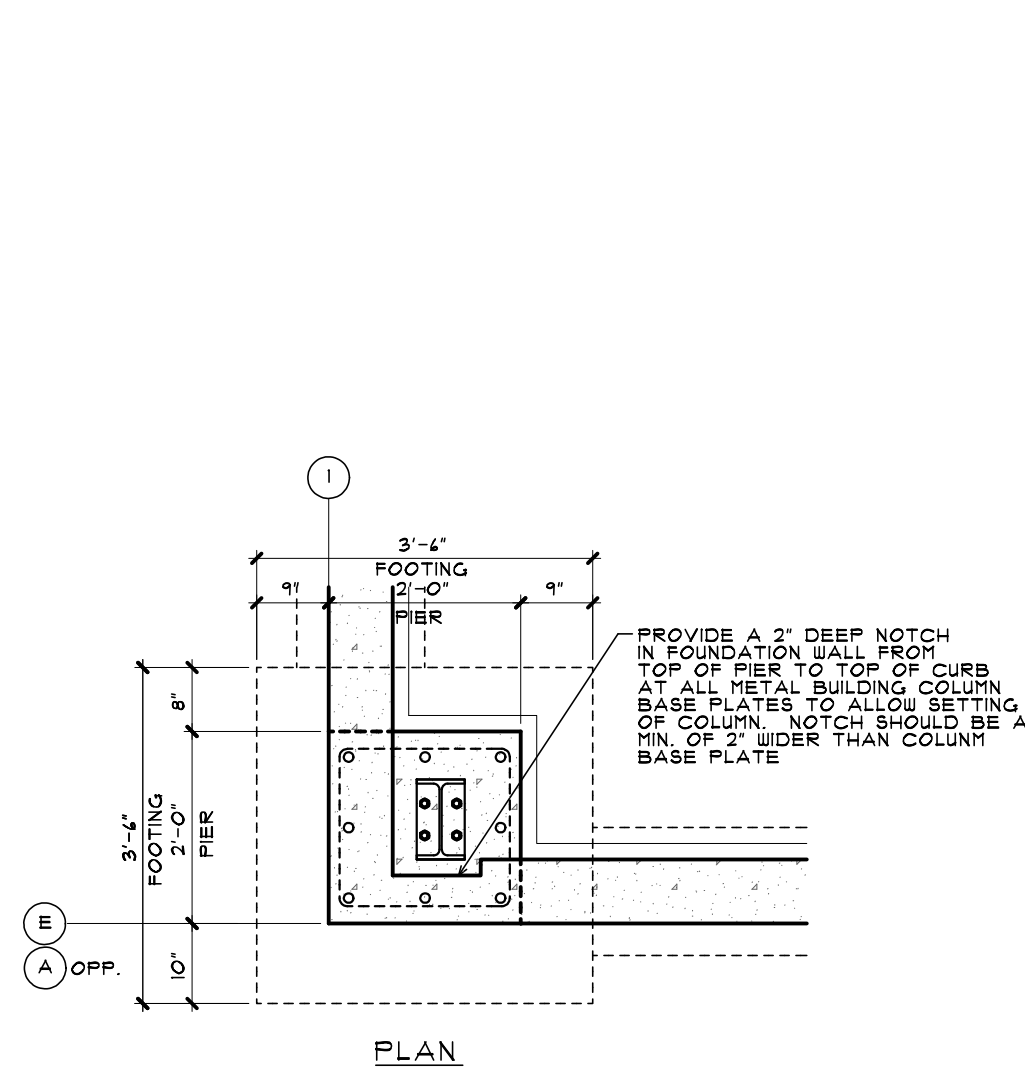
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PAUL DAVIS	8/9/19	PLANNING COMMISSION SUBMITTAL	8/9/19	PLANNING COMMISSION SUBMITTAL	8/9/19
NEW OFFICE/WAREHOUSE BUILDING	8/16/19	PLANNING COMMISSION SUBMITTAL	8/16/19	PLANNING COMMISSION SUBMITTAL	9/13/19
LOT #2 - TEMPLE STREET	8/17/20	PERMIT AND CONSTRUCTION	8/17/20		
PROJECT NO.	19-021				
SHEET	A2.1				

SEIDELLS  
ARCHITECTS

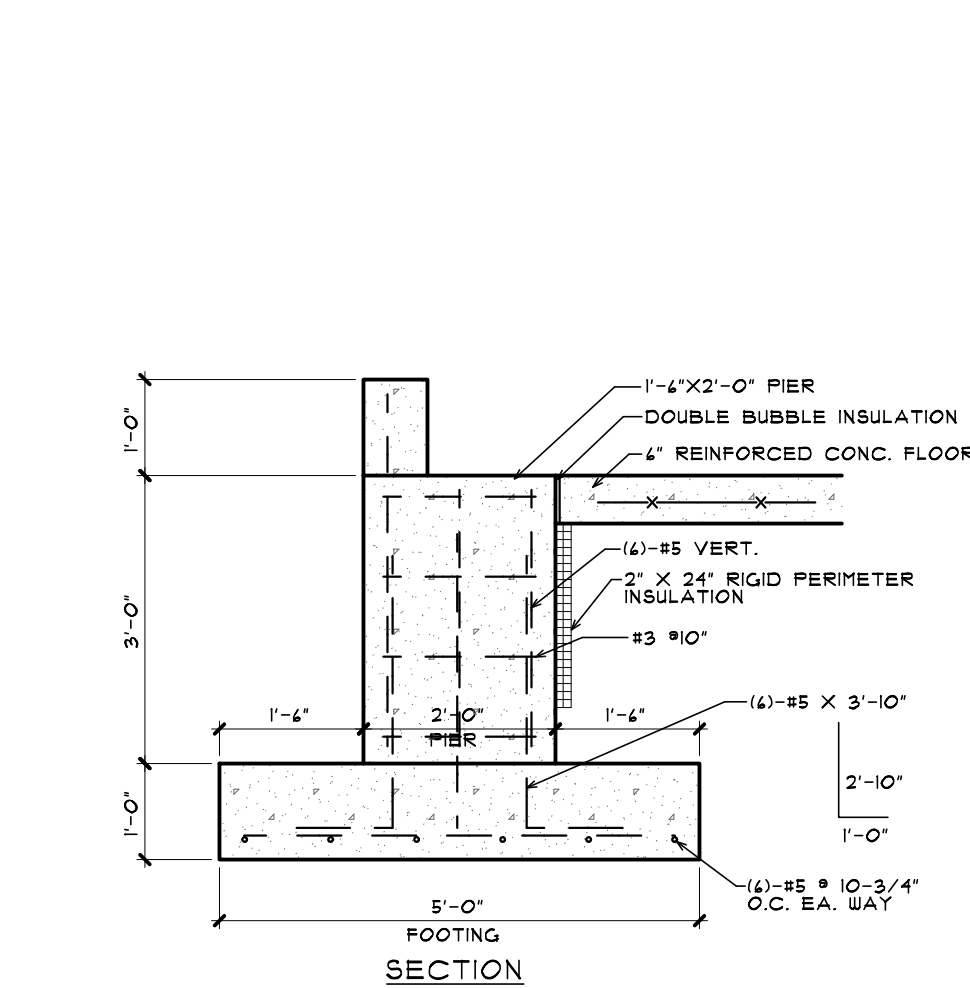
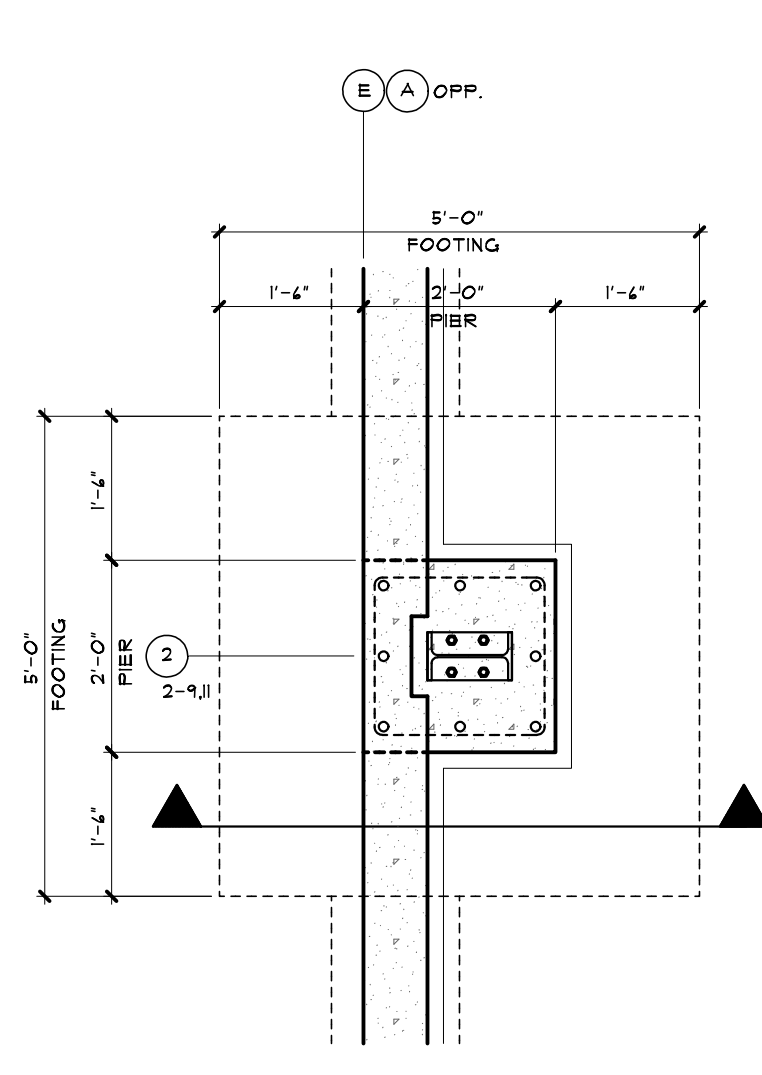
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114 N. COURT AVE., SE., 201  
GAYLORD, MICHIGAN 49734  
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FAX (889) 731-5932

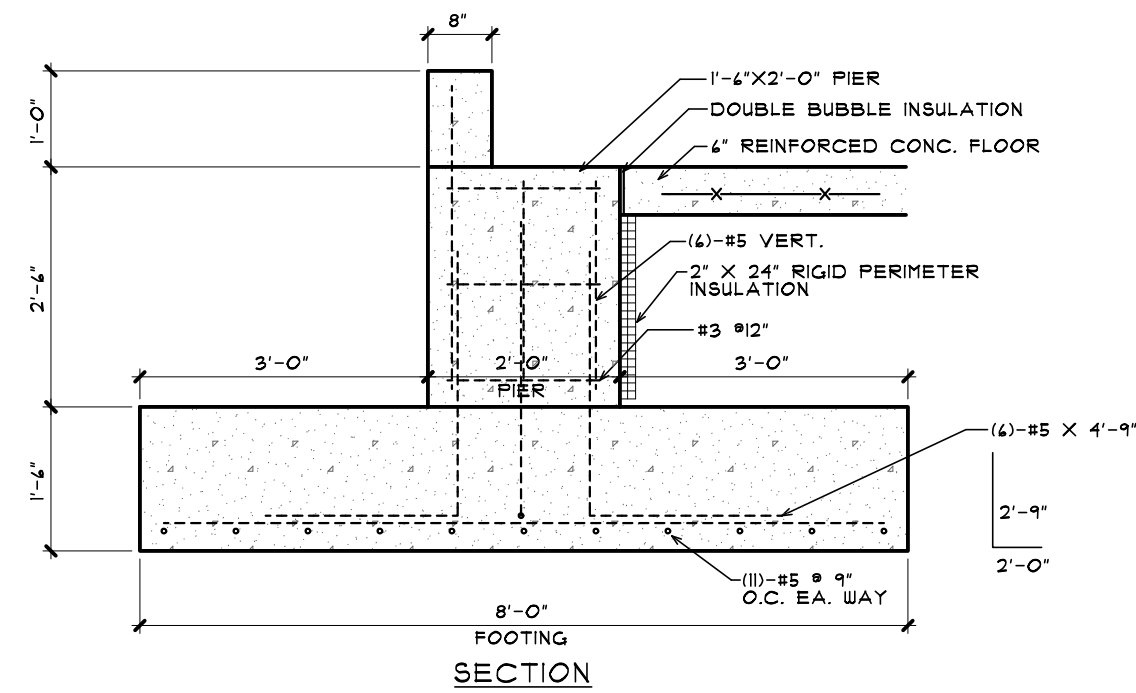
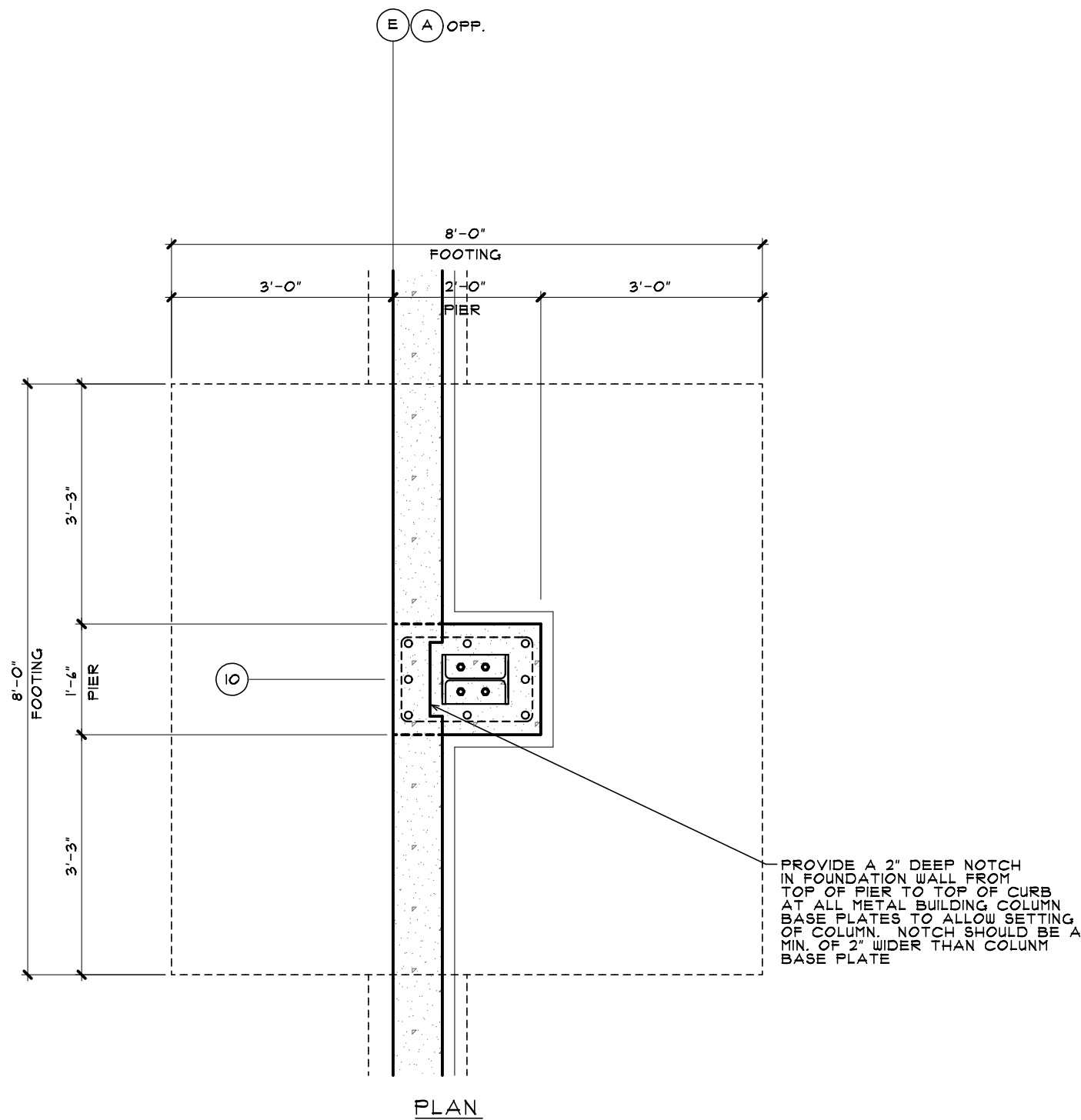




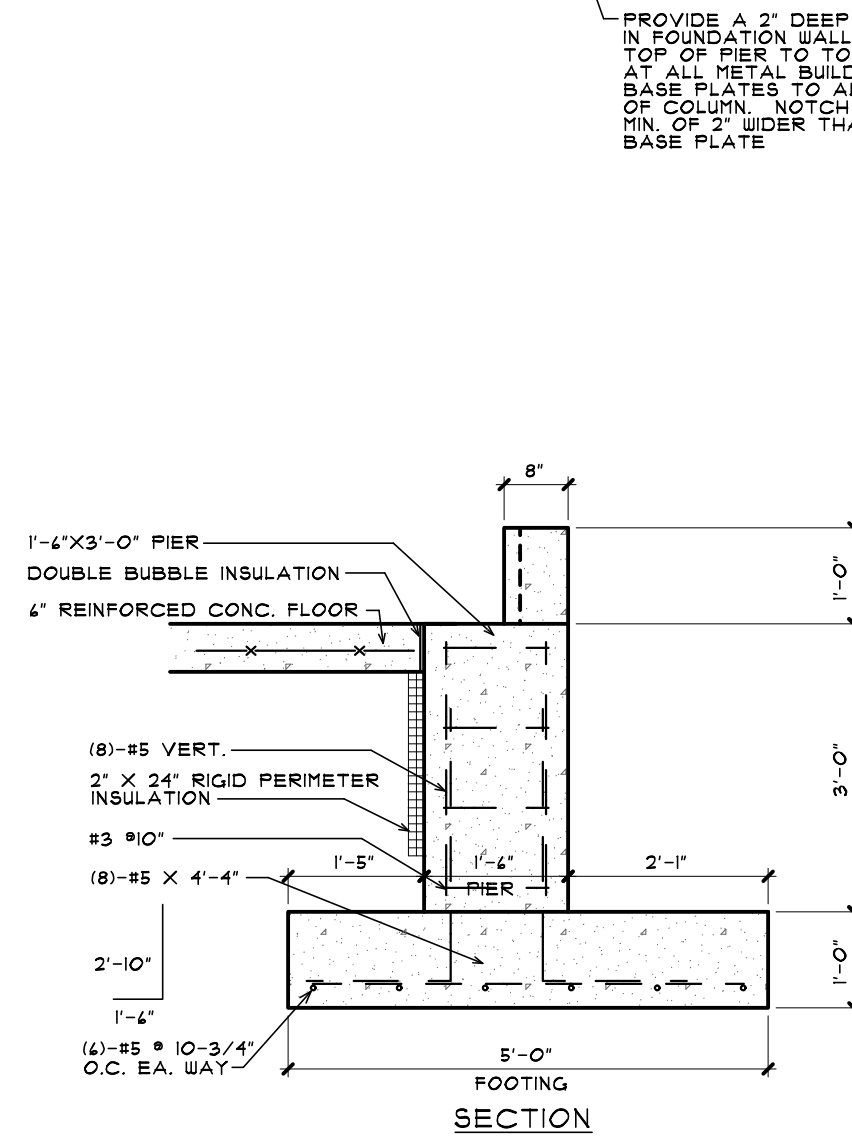
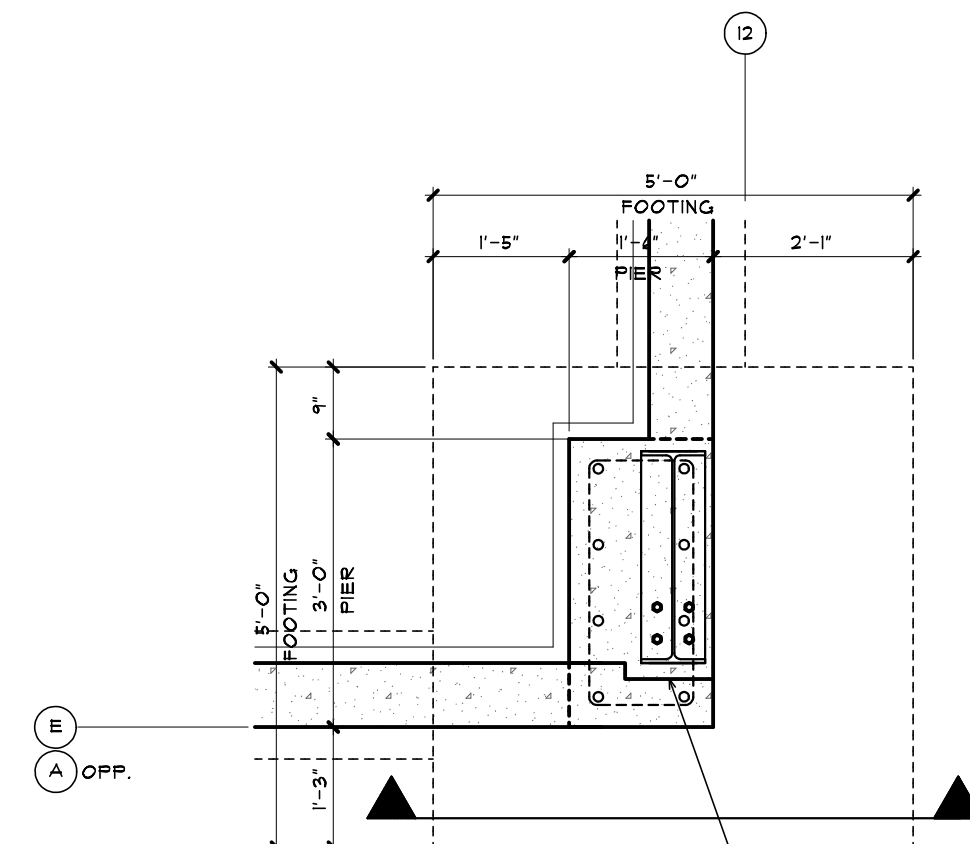
PIER DETAIL P-1  
SCALE: 1/2" = 1'-0"



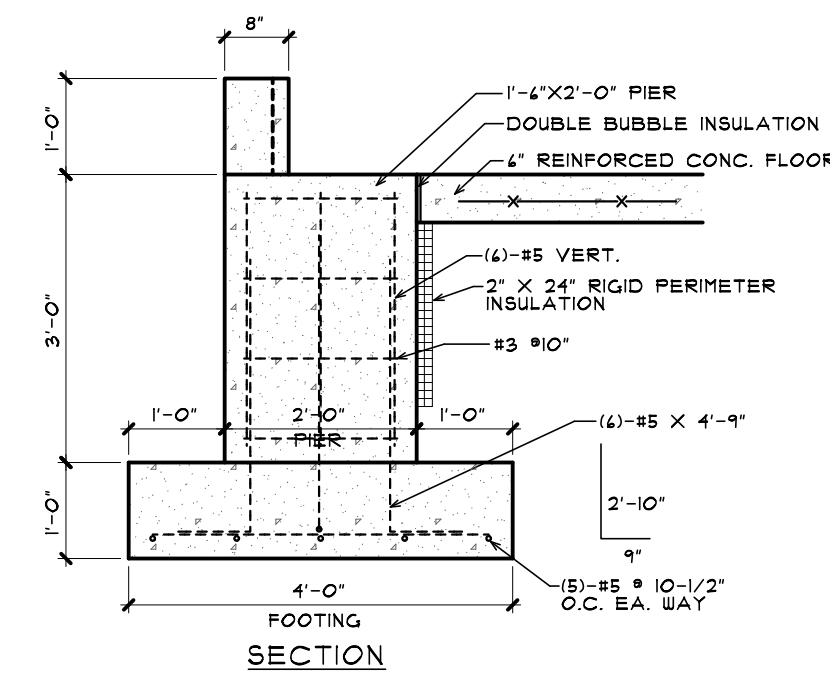
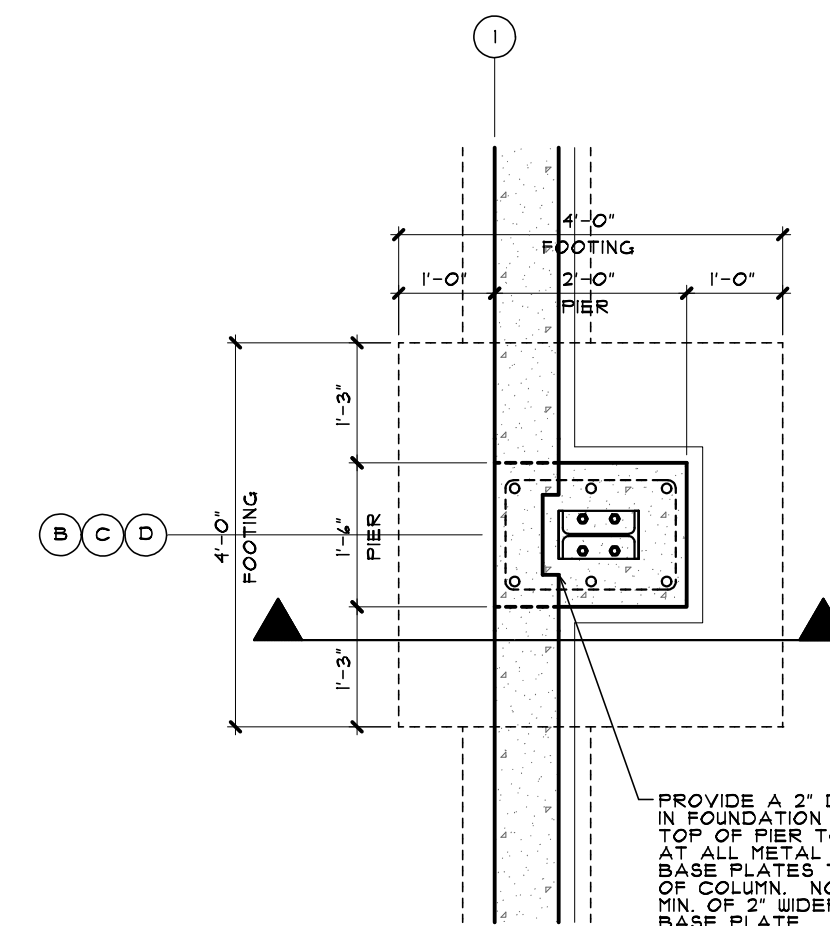
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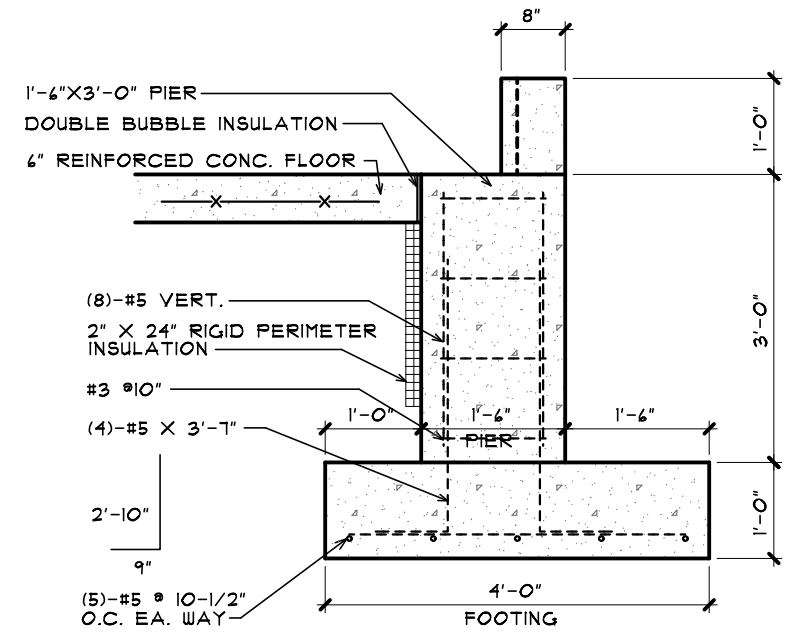
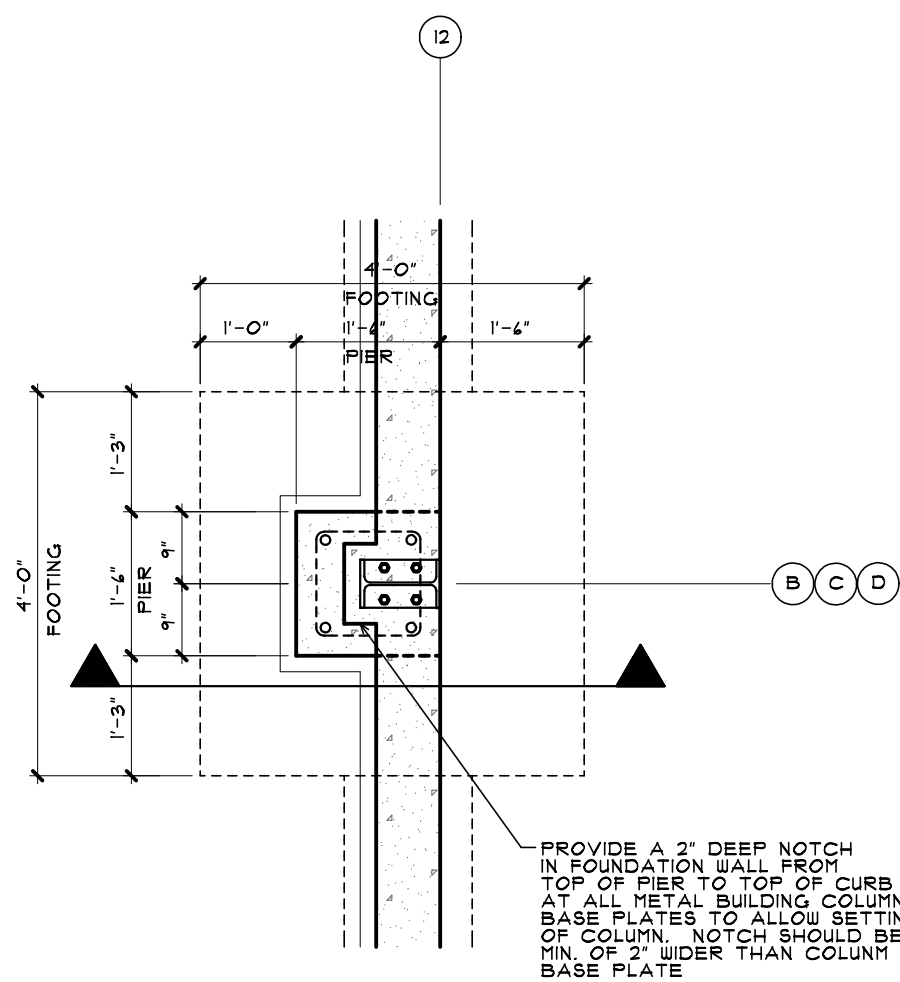
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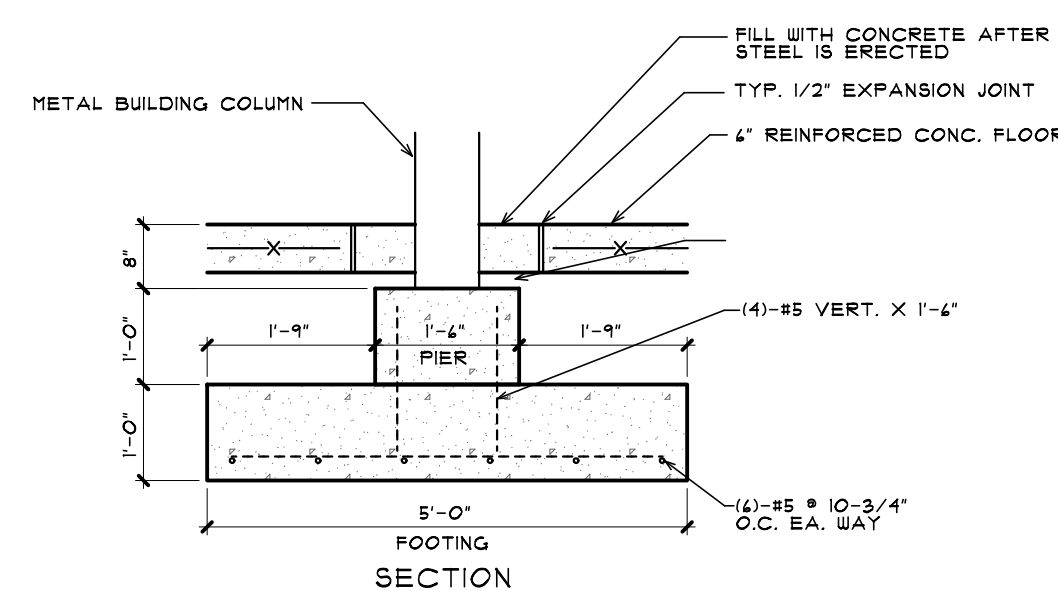
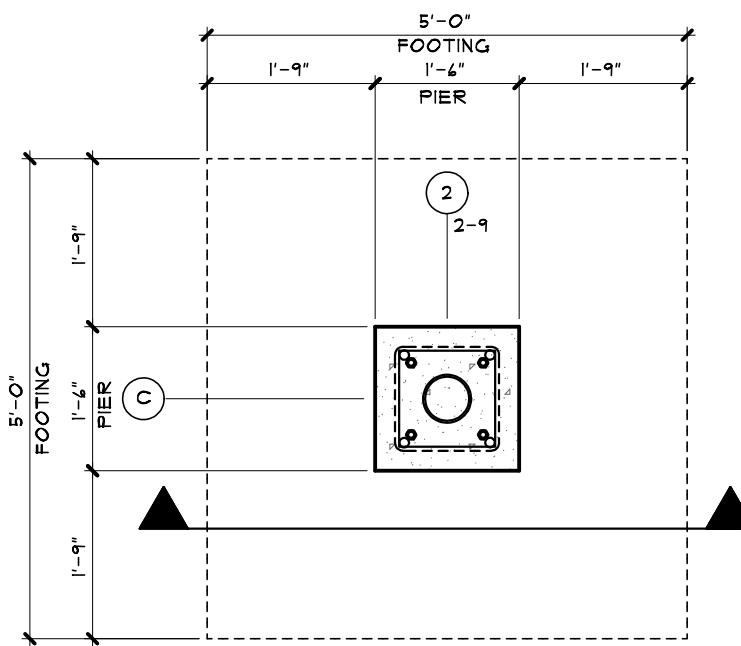
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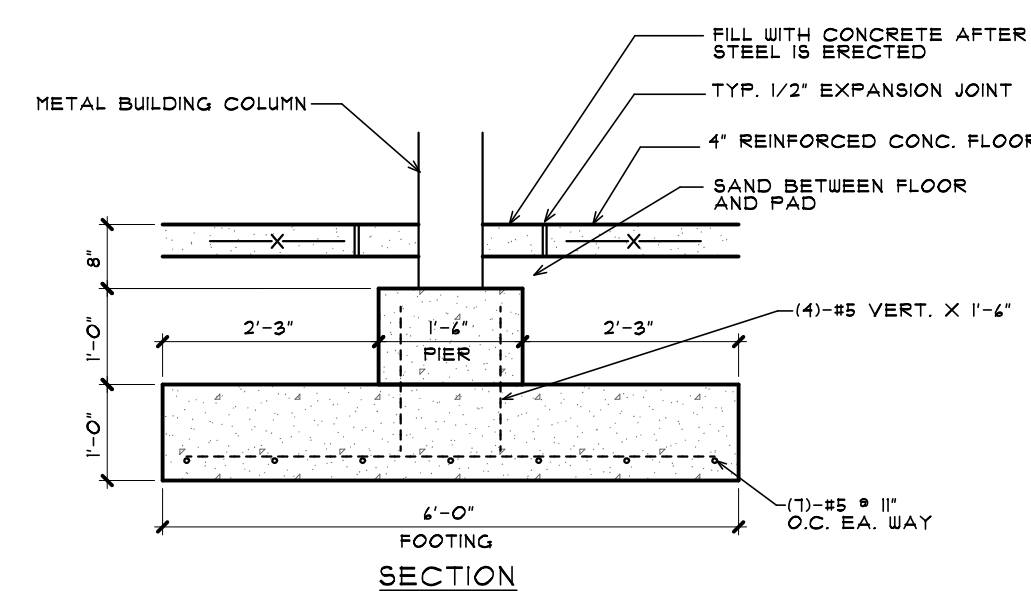
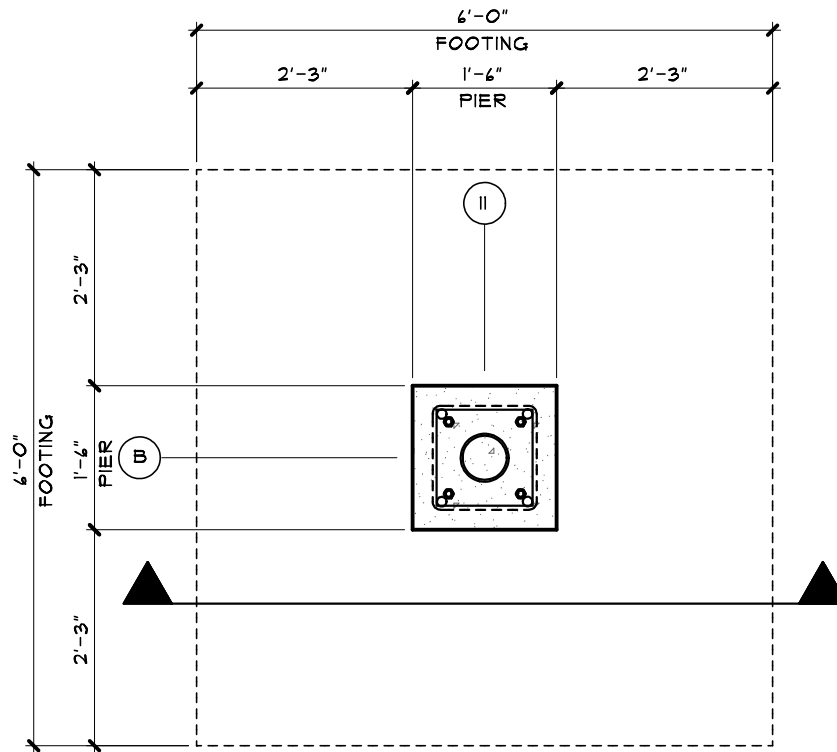
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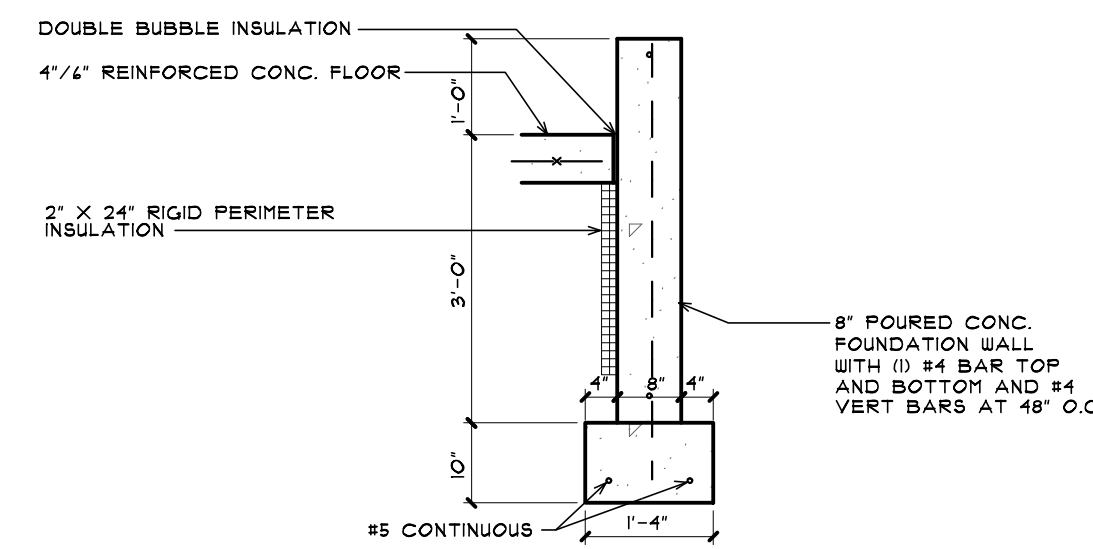
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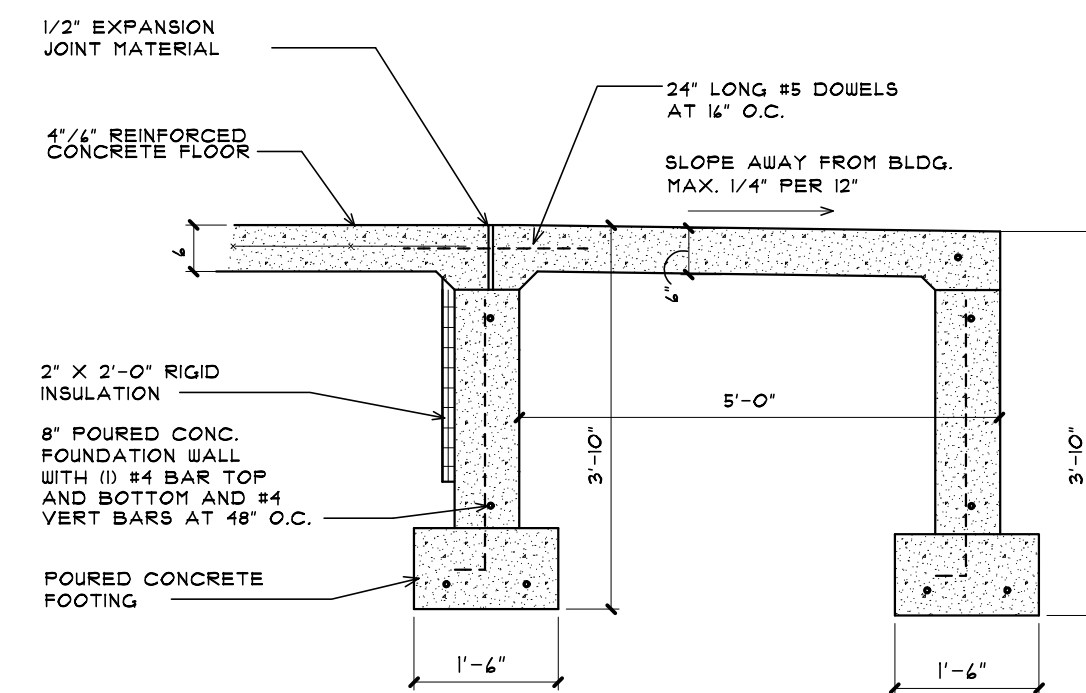
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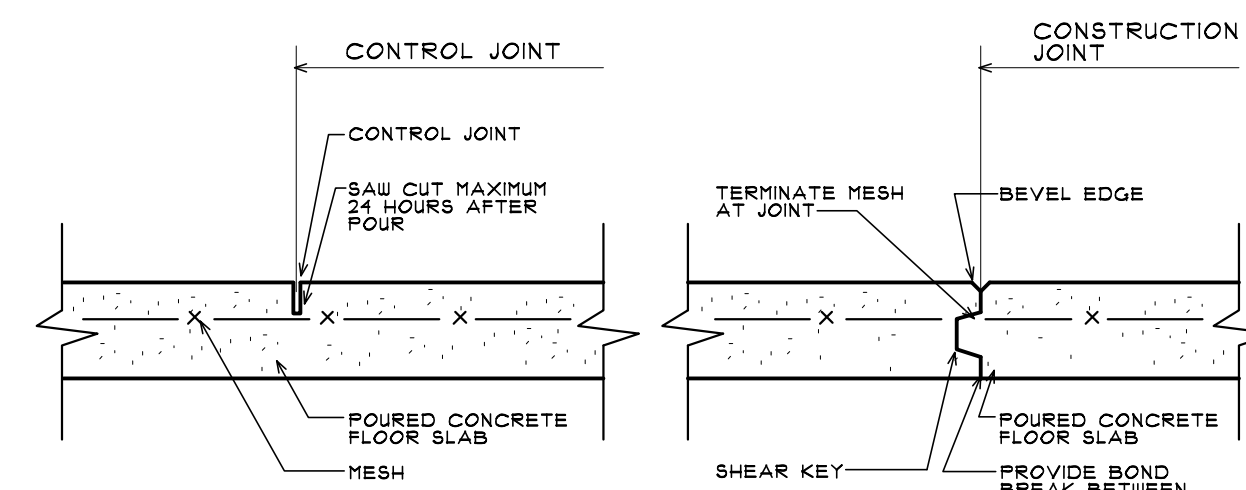
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FOUNDATION WALL A2.2  
SCALE: 1/2" = 1'-0"



CONCRETE DOOR APPROACH A2.2  
SCALE: 1/2" = 1'-0"



SLAB CONTROL JOINT AND CONSTRUCTION JOINT DETAIL A2.2  
SCALE: 1/2" = 1'-0"

A2.2	SHEET	PROJECT NO. 19-021	PROJECT PAUL DAVIS  NEW OFFICE/WAREHOUSE BUILDING  LOT #2 - TEMPLE STREET	 <div>SEIDEL'S ARCHITECTS</div> <div>COMMERCIAL      RESIDENTIAL      INDUSTRIAL</div> <div>114 N. COURT AVE., STE. 201 POST OFFICE BOX 2189 GAYLORD, MICHIGAN 49734</div> <div>PHONE (989) 731-0372 FAX (989) 731-6932</div> <div>MASON, MICHIGAN 48854</div>	DRAWN BY	T.L.S.	ISSUED	DATE
					CHECKED	T.L.S.	PLANNING COMMISSION SUBMITTAL	8/9/19
					APPROVED BY	T.L.S.	PLANNING COMMISSION SUBMITTAL	8/16/19
					DATE	8/17/20	PLANNING COMMISSION SUBMITTAL	9/13/19
					PRINT DATE		PERMIT AND CONSTRUCTION	8/7/20





ROOF PLAN

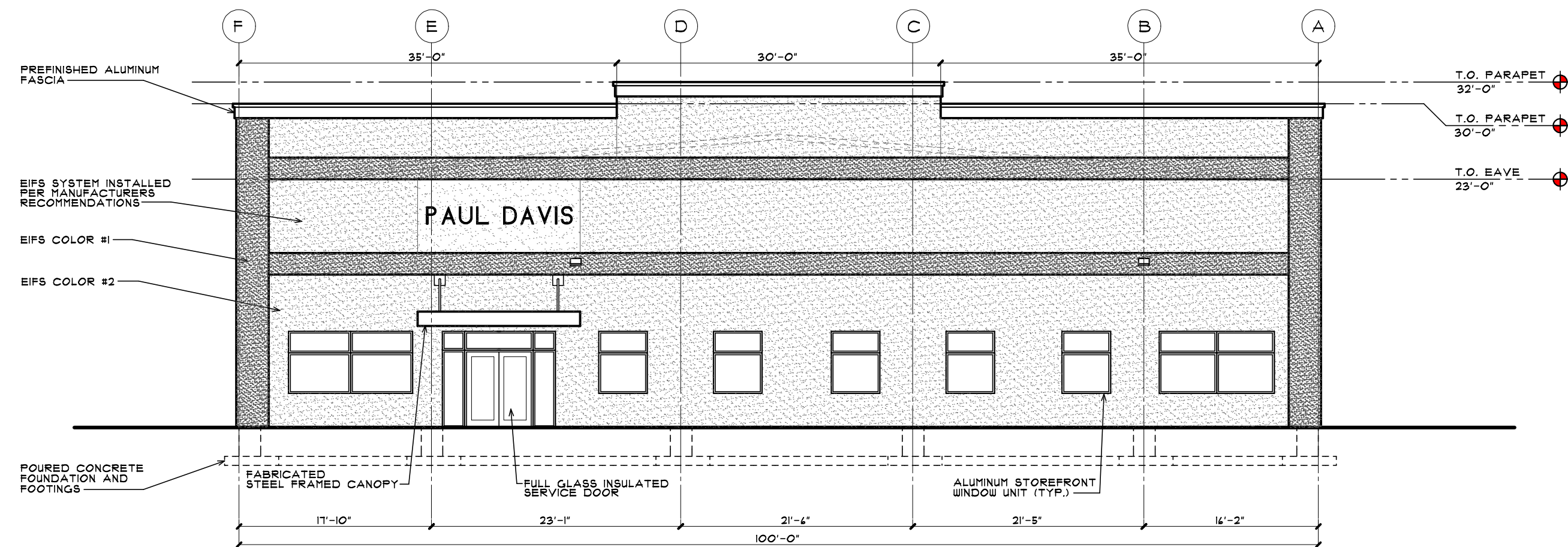
SCALE: 3/32" = 1'-0"



PROJECT NO. 19-021	PROJECT PAUL DAVIS		SEIDEL'S ARCHITECTS		DRAWN BY	ISSUED	DATE	ISSUED	DATE
	NEW OFFICE/WAREHOUSE BUILDING		COMMERCIAL 114 N. COURT AVE., STE. 201 GAYLORD, MICHIGAN 49734		CHECKED	T.L.S.	PLANNING COMMISSION SUBMITTAL	8/9/19	
	LOT #2 - TEMPLE STREET		RESIDENTIAL		APPROVED BY	T.L.S.	PLANNING COMMISSION SUBMITTAL	8/14/19	
	MASON, MICHIGAN 48854		INDUSTRIAL		DATE	8/7/20	PLANNING COMMISSION SUBMITTAL	9/13/19	
			PHONE (989) 731-0372 FAX (989) 731-0322		PRINT DATE		PERMIT AND CONSTRUCTION	8/7/20	

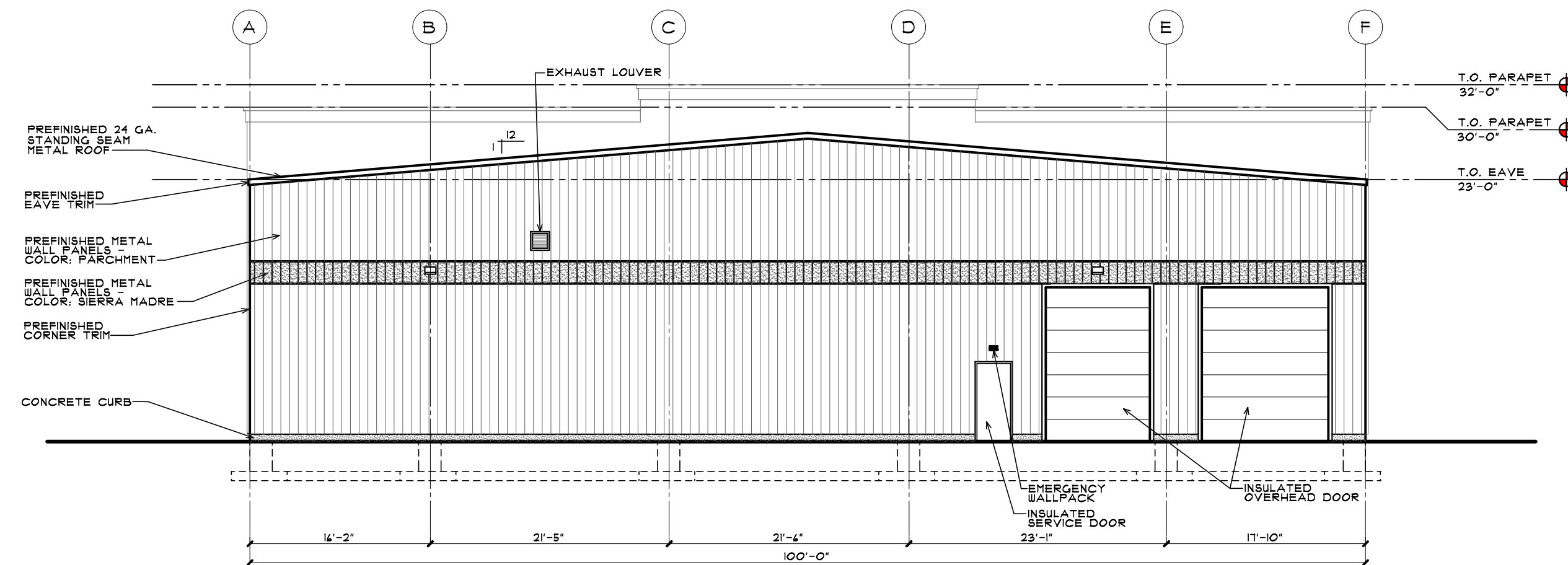
A3





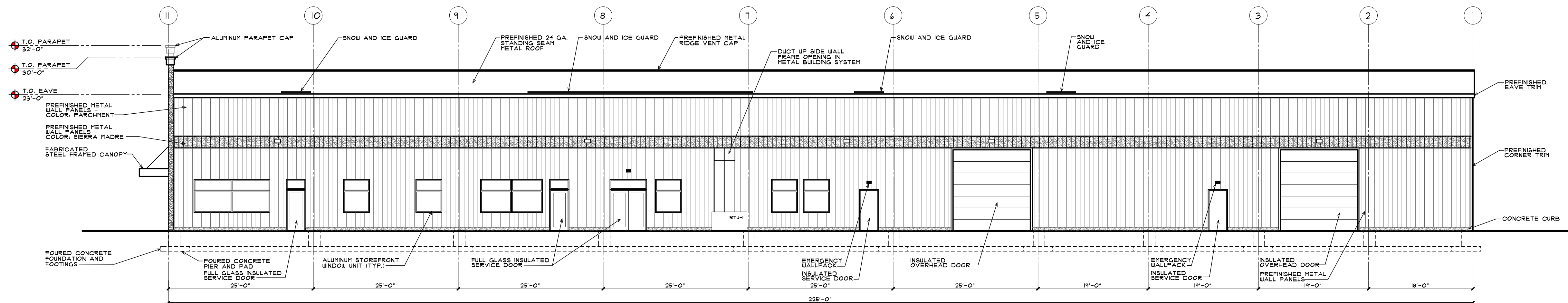
**SOUTH ELEVATION**

SCALE: 3/32" = 1'-0"



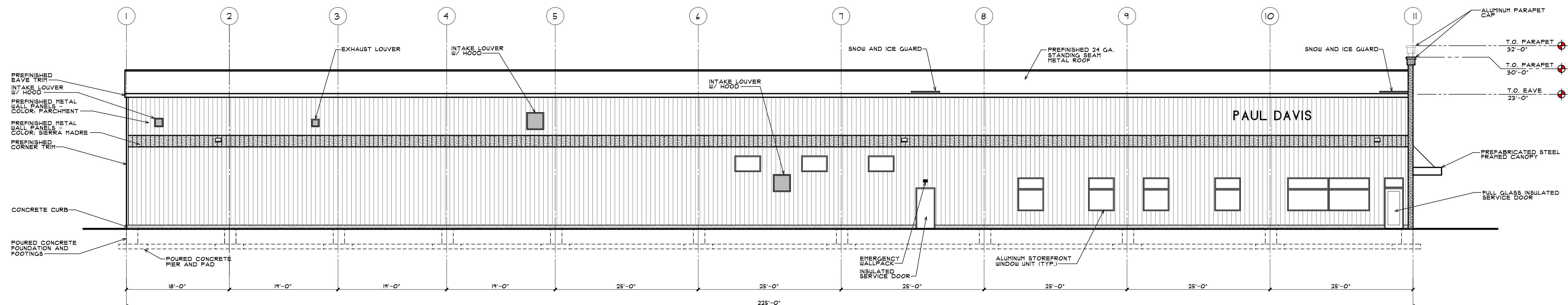
**NORTH ELEVATION**

SCALE: 3/32" = 1'-0"



**EAST ELEVATION**

SCALE: 3/32" = 1'-0"



**WEST ELEVATION**

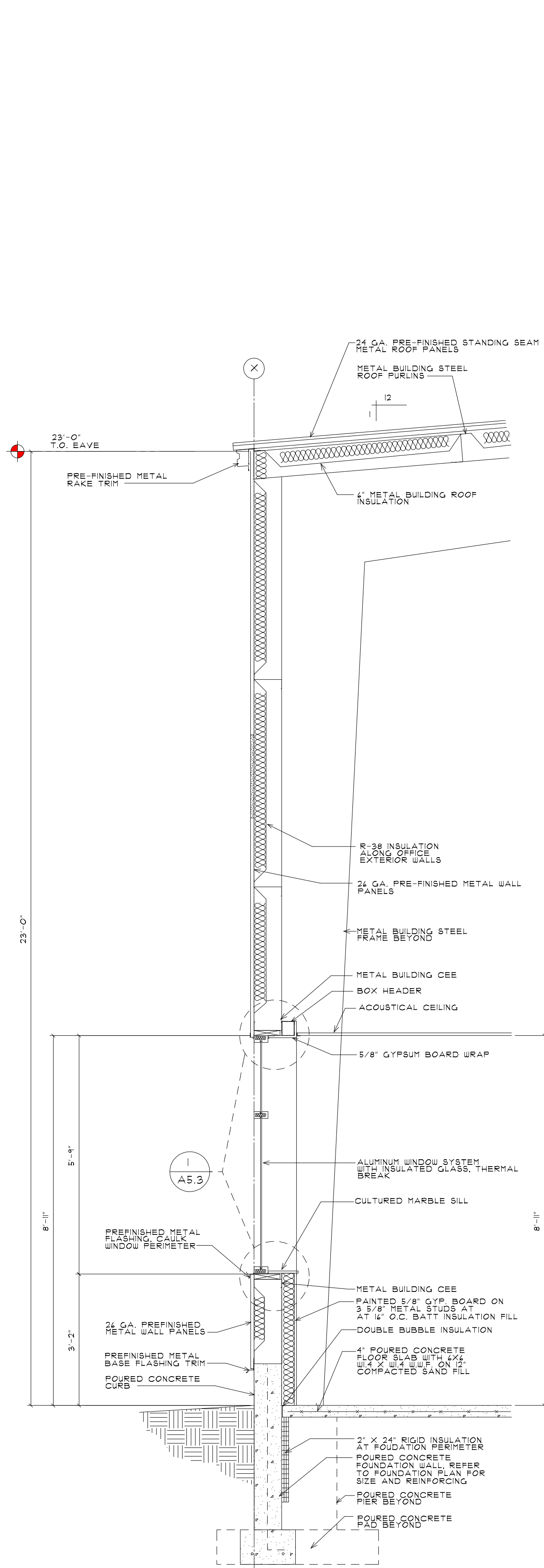
SCALE: 3/32" = 1'-0"

<div>PAUL DAVIS</div> <div>NEW OFFICE/WAREHOUSE BUILDING</div> <div>LOT #2 - TEMPLE STREET</div> <div>MASON, MICHIGAN 48854</div>	<div>PROJECT NO.</div> <div>19-021</div>	<div>SHEET</div> <div>A4</div>	<div>SEIDELLS ARCHITECTS</div> <div>COMMERCIAL RESIDENTIAL INDUSTRIAL</div> <div>114 N. COURT AVE., STE. 201</div> <div>POST OFFICE BOX 2189</div> <div>GAYLORD, MICHIGAN 49734</div> <div>PHONE (989) 731-0372</div> <div>FAX (989) 731-0372</div>		DRAWN BY	T.L.S.	ISSUED	DATE
			CHECKED	T.L.S.	PLANNING COMMISSION SUBMITTAL	8/9/19		
			APPROVED BY	T.L.S.	PLANNING COMMISSION SUBMITTAL	8/16/19		
			DATE	8/17/20	PLANNING COMMISSION SUBMITTAL	9/13/19		
			PRINT DATE		PERMIT AND CONSTRUCTION	8/17/20		





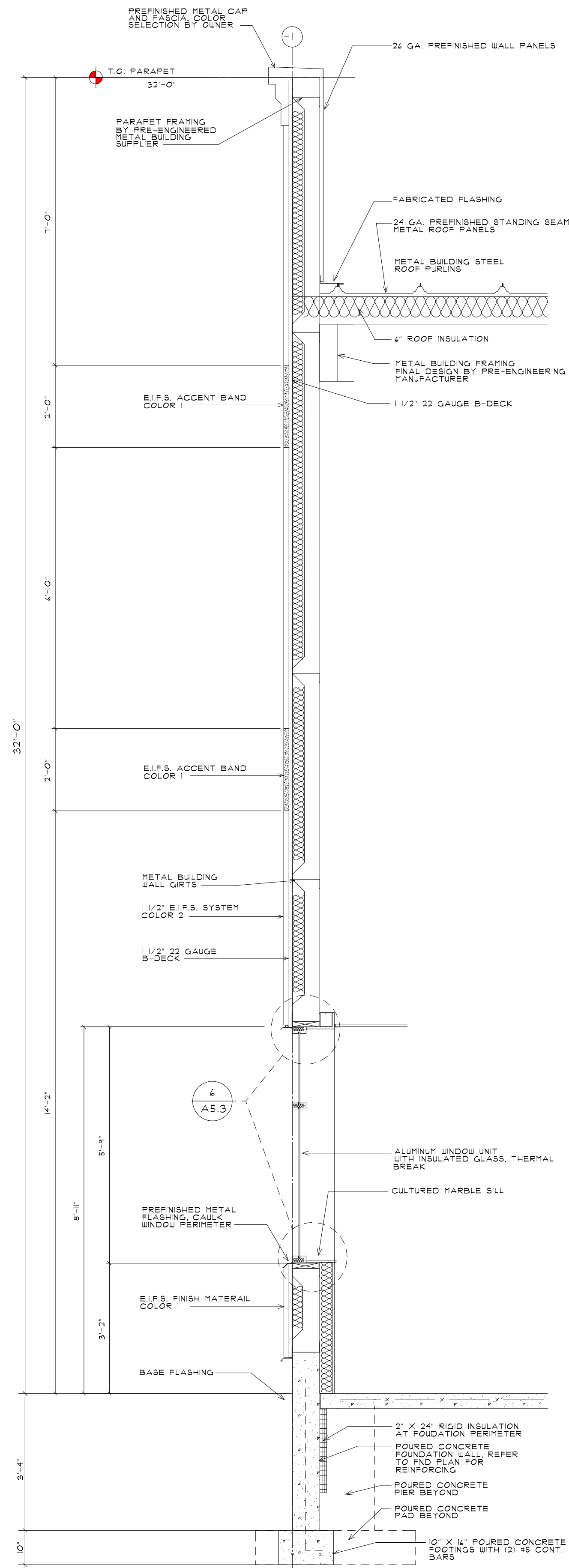




WALL SECTION 1

SCALE: 1/2" = 1'-0"

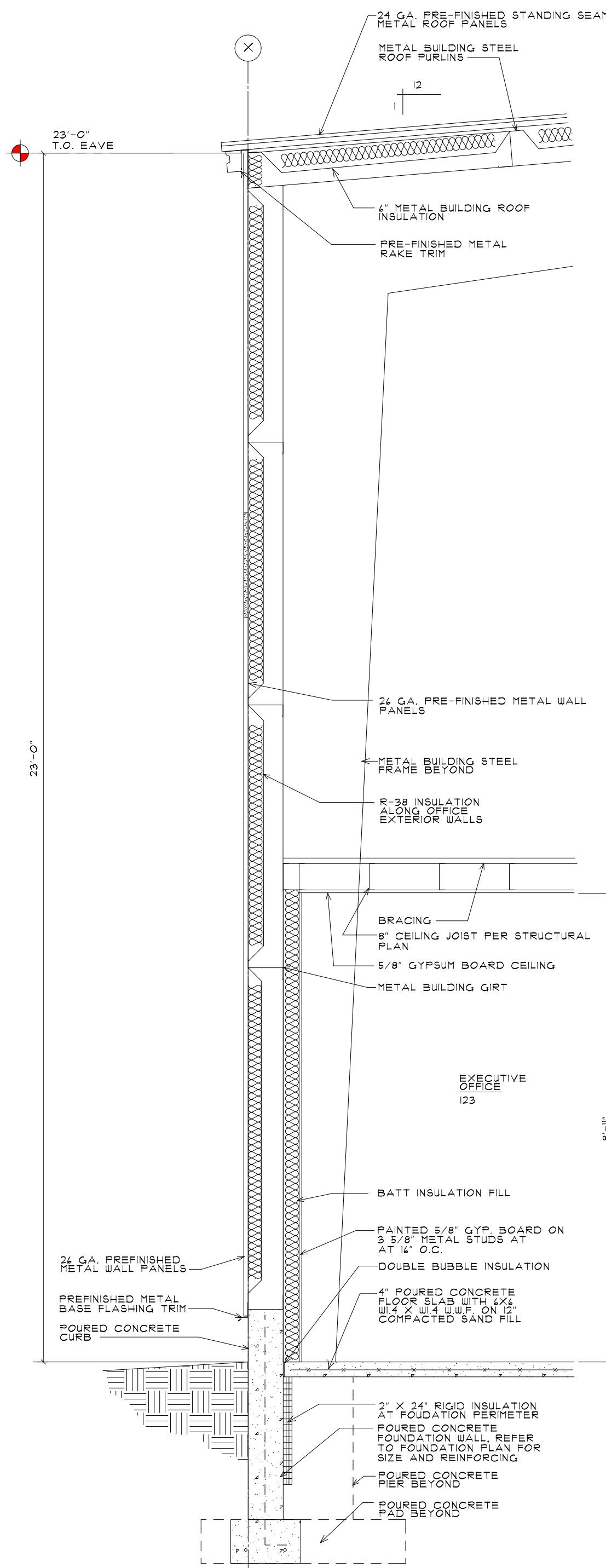
A5.2



WALL SECTION 2

SCALE: 1/2" = 1'-0"

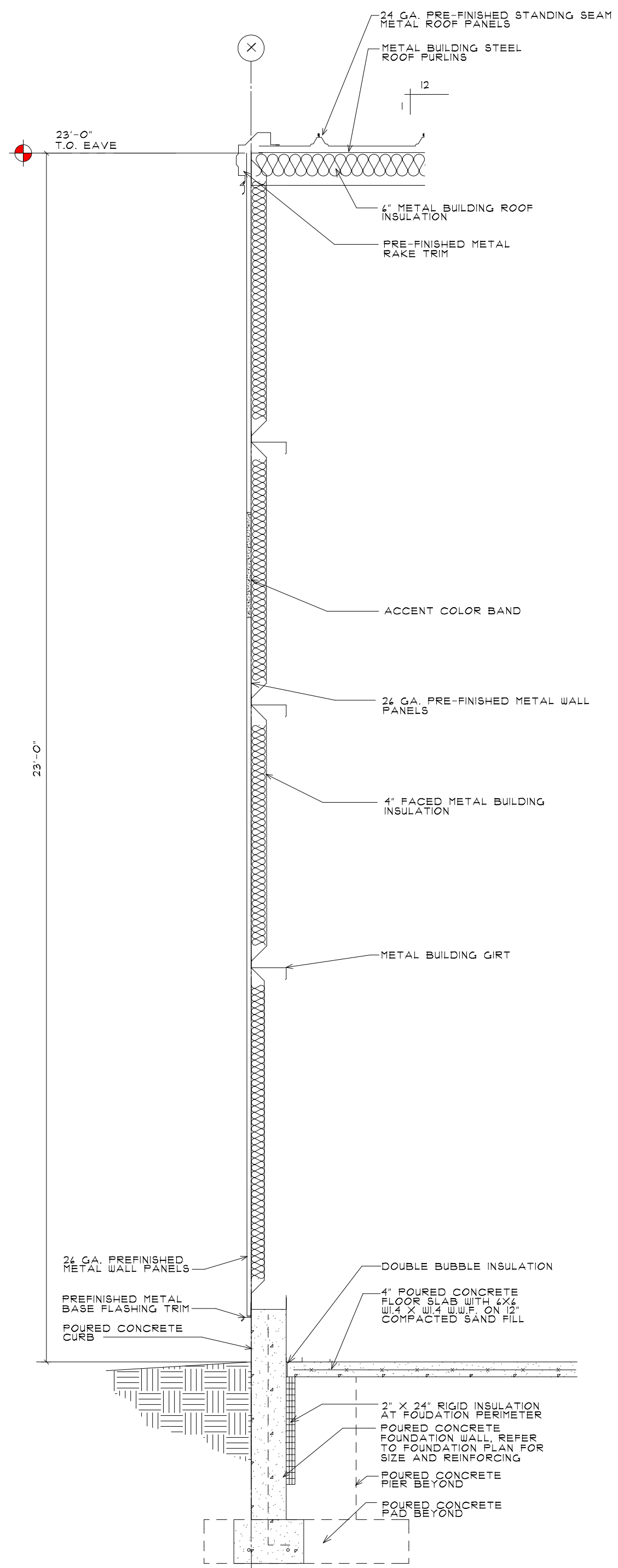
A5.2



WALL SECTION 3

SCALE: 1/2" = 1'-0"


A5.2



WALL SECTION 4

SCALE: 1/2" = 1'-0"

A5.2

PROJECT NO. 19-021	SHEET A5.2	PAUL DAVIS			SEIDELLS ARCHITECTS		INDUSTRIAL		RESIDENTIAL		COMMERCIAL		114 N. COURT AVE., STE. 201 GAYLORD, MICHIGAN 49734		PHONE (989) 731-0372 FAX (989) 731-0332	
		NEW OFFICE/WAREHOUSE BUILDING														
		LOT #2 - TEMPLE STREET														
		MASON, MICHIGAN 48854														
				T.L.S.		T.L.S.		T.L.S.		T.L.S.		T.L.S.				
				CHECKED		APPROVED BY		DATE		PRINT DATE		PERMIT AND CONSTRUCTION				
				8/9/19		8/12/19		9/3/19		8/7/20		8/7/20				
				PLANNING COMMISSION SUBMITTAL		PLANNING COMMISSION SUBMITTAL		PLANNING COMMISSION SUBMITTAL		PLANNING COMMISSION SUBMITTAL		PERMIT AND CONSTRUCTION				





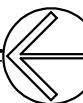





REFLECTED CEILING PLAN

SCALE: 3/32" = 1'-0"

NORTH



REFLECTED CEILING PLAN LEGEND:	
REFER TO ROOF FINISH SCHEDULE FOR CEILING HEIGHT	
	GYPSUM BOARD CEILING ON METAL STUD
	2X2 SUSPENDED ACOUSTIC CEILING
	EXPOSED TO UNDERSIDE OF PLYWOOD DECK AND CEILING JOIST
	SOFFIT AND/OR BULKHEAD FRAMING WITH LIGHT GAUGE METAL STUDS AT 16" O.C. - 1'-0" AT CABINET LOCATIONS U.N.O.
	NO HATCH PATTERN INDICATES UNDERSIDE OF ROOF INSULATION
REFLECTED CEILING PLAN NOTES:	
	METAL SOFFIT FRAMING, FINISH PAINTED GYPSUM BOARD
	SUSPENDED ACOUSTICAL CEILING AT 8'-0", SUSPENDED FROM GYPSUM BOARD CEILING AT 10'-0"

PROJECT NO.		PROJECT		SEIDELL ARCHITECTS		ISSUED		DATE	
19-021		PAUL DAVIS			COMMERCIAL	RESIDENTIAL	INDUSTRIAL	DRAWN BY	T.L.S.
		NEW OFFICE/WAREHOUSE BUILDING						CHECKED	T.L.S.
								APPROVED BY	
		LOT #2 - TEMPLE STREET						DATE	8/17/20
		MASON, MICHIGAN 48854		114 N. COURT AVE., STE. 201 POST OFFICE BOX 2889 GAYLORD, MICHIGAN 49734			PLANNING COMMISSION SUBMITTAL 8/9/19		
				PHONE (989) 731-0372 FAX (989) 731-6932			PLANNING COMMISSION SUBMITTAL 8/16/19		
							PLANNING COMMISSION SUBMITTAL 9/13/19		
							PERMIT AND CONSTRUCTION 8/7/20		
SHEET		A6							



ROOM FINISH SCHEDULE									
ROOM NAME	FLOOR	BASE	WALLS				CEILING	CLG. HGT.	REMARKS
			NORTH	SOUTH	EAST	WEST			
VESTIBULE 100	SEALED CONCRETE	4" VINYL	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	A.C.T.	9'-0"	
RECEPTION 101	CARPET	4" VINYL	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	A.C.T.	10'-0"	
OFFICE 102	CARPET	4" VINYL	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	A.C.T.	9'-0"	
OFFICE 103	CARPET	4" VINYL	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	A.C.T.	9'-0"	
OFFICE 104	CARPET	4" VINYL	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	A.C.T.	9'-0"	
CORRIDOR 105	CARPET	4" VINYL	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	A.C.T.	10'-0"	
OFFICE 106	CARPET	4" VINYL	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	A.C.T.	9'-0"	
OFFICE 107	CARPET	4" VINYL	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	A.C.T.	9'-0"	
EXECUTIVE OFFICE 108	CARPET	4" VINYL	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	9'-0"	
OFFICE 109	CARPET	4" VINYL	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	A.C.T.	9'-0"	
OFFICE 110	CARPET	4" VINYL	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	A.C.T.	9'-0"	
KITCHEN 111	LVT	6" VINYL	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	9'-0"	
CORRIDOR 112	CARPET	4" VINYL	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	A.C.T.	10'-0"	
WOMENS RESTROOM 113	SEALED CONCRETE	4" VINYL	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	9'-0"	
MENS RESTROOM 114	SEALED CONCRETE	4" VINYL	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	9'-0"	
NOT USED 115									
WORK AREA 116	CARPET	4" VINYL	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	A.C.T.	10'-0"	
CONFERENCE ROOM 117	CARPET	4" VINYL	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	9'-0"	
COPY ROOM 118	CARPET	4" VINYL	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	9'-0"	
SHOWROOM 120	CARPET	4" VINYL	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	9'-0"	
UNISEX 121	LVT	6" VINYL	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	9'-0"	
CORRIDOR 122	CARPET	4" VINYL	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	A.C.T.	10'-0"	
EXECUTIVE OFFICE 123	CARPET	4" VINYL	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	9'-0"	
OFFICE 124	CARPET	4" VINYL	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	A.C.T.	9'-0"	
OFFICE 125	CARPET	4" VINYL	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	A.C.T.	9'-0"	
OFFICE 126	CARPET	4" VINYL	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	A.C.T.	9'-0"	
OFFICE 127	CARPET	4" VINYL	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	A.C.T.	9'-0"	
NOT USED 128									
UNISEX RESTROOM 129	SEALED CONCRETE	6" VINYL	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	9'-0"	
MECHANICAL 130	SEALED CONCRETE	----	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	9'-0"	
CONFERENCE/ LEARNING 131	CARPET	4" VINYL	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	A.C.T.	10'-0"	
PROCESSING & STORAGE 132	SEALED CONCRETE	----	LINER PANEL	LINER PANEL	LINER PANEL	LINER PANEL	EXPOSED ROOF INSULATION	VARIES W/ ROOF SLOPE	
WAREHOUSE 133	SEALED CONCRETE	----	LINER PANEL	LINER PANEL	LINER PANEL	LINER PANEL	EXPOSED ROOF INSULATION	VARIES W/ ROOF SLOPE	
WAREHOUSE 134	SEALED CONCRETE	----	LINER PANEL	LINER PANEL	LINER PANEL	LINER PANEL	EXPOSED ROOF INSULATION	VARIES W/ ROOF SLOPE	
DRYER ROOM 135	SEALED CONCRETE	----	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	14'-0"	
STORAGE 136	SEALED CONCRETE	----	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	9'-0"	
STORAGE 137	SEALED CONCRETE	----	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	9'-0"	
STORAGE 138	SEALED CONCRETE	----	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	9'-0"	
STORAGE 139	SEALED CONCRETE	----	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	PAINTED GYPSUM BOARD	9'-0"	

PROJECT

PAUL DAVIS

PROJECT NO.

19-021

SHEET

A7.1

SEIDELL ARCHITECTS

COMMERCIAL

INDUSTRIAL

RESIDENTIAL

114 N. COURT AVE., STE. 201  
PO BOX 289  
SALINA, KANSAS 67401

PHONE (913) 731-6372  
FAX (913) 731-6352

NEW OFFICE/WAREHOUSE BUILDING

LOT #2 - TEMPLE STREET

MASON, MICHIGAN 48854

DESIGN BY

CHECKED

APPROVED BY

DATE

PRINT DATE

T.L.S.

T.L.S.

T.L.S.

8/7/20

ISSUED

DATE

DATE

DATE

DATE

PLANNING COMMISSION SUBMITTAL

PLANNING COMMISSION SUBMITTAL

PLANNING COMMISSION SUBMITTAL

PERMIT AND CONSTRUCTION

8/9/19

8/16/19

9/13/19

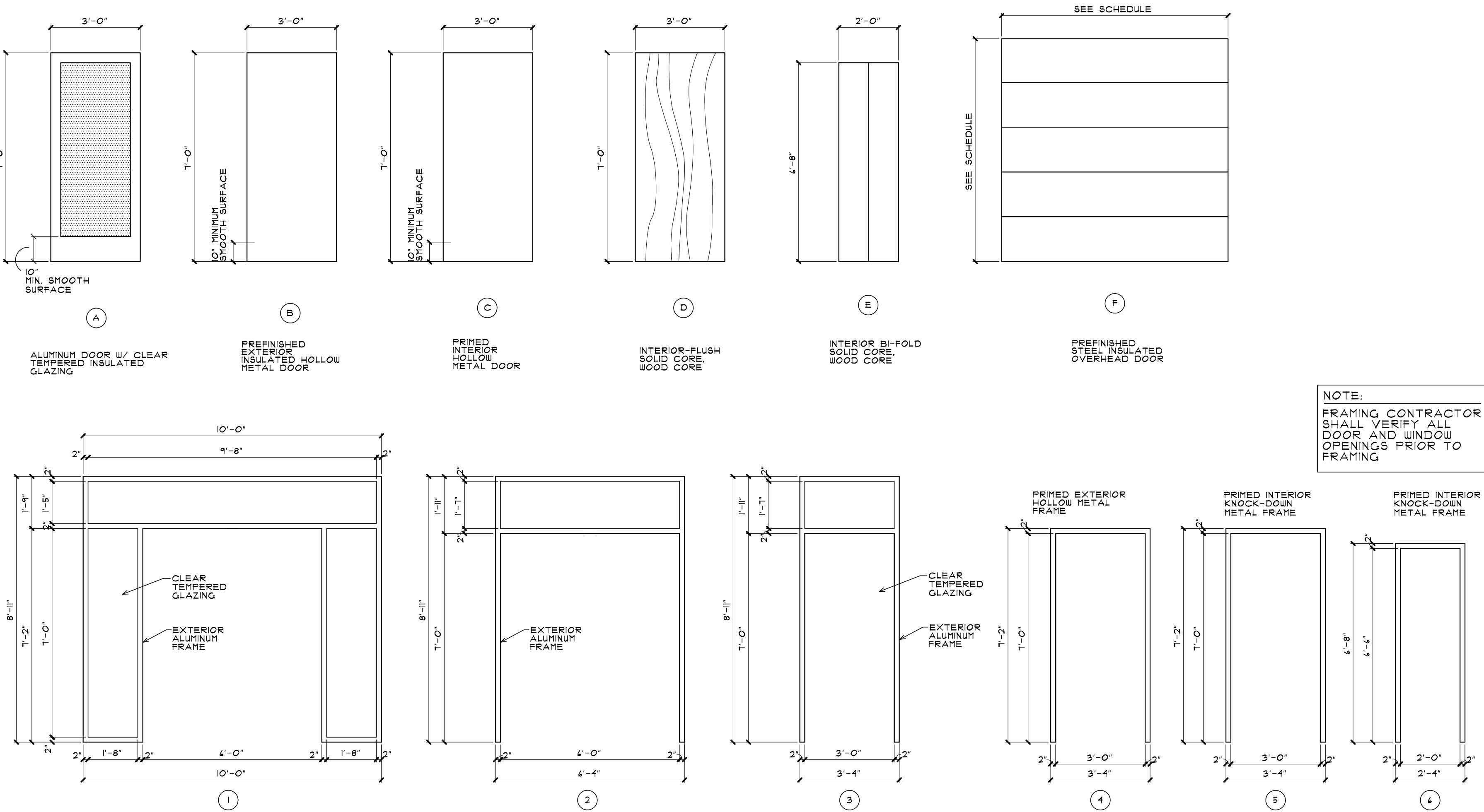
8/7/20



DOOR SCHEDULE					
DOOR NO.	DOOR SIZE	DOOR	FRAME	RATING	HARDWARE
100-A VESTIBULE (EXT.)	(2) 3'-0" X 7'-0"	A	1	NA	PUSH/PULL CLOSER, B.B. HINGES WEATHERSTRIP, THRESHOLD, LOCK SET, PANIC HARDWARE
100-B VESTIBULE	(2) 3'-0" X 7'-0"	A	2	NA	PANIC HARDWARE, CLOSER, HINGES AND DOOR STOP
102 OFFICE	3'-0" X 7'-0"	D	5	NA	LOCK SET, HINGES AND DOOR STOP
103 OFFICE	3'-0" X 7'-0"	D	5	NA	LOCK SET, HINGES AND DOOR STOP
104 OFFICE	3'-0" X 7'-0"	D	5	NA	LOCK SET, HINGES AND DOOR STOP
104 OFFICE	3'-0" X 7'-0"	D	5	NA	LOCK SET, HINGES AND DOOR STOP
107 OFFICE	3'-0" X 7'-0"	D	5	NA	LOCK SET, HINGES AND DOOR STOP
108-A OFFICE	3'-0" X 7'-0"	D	5	NA	LOCK SET, HINGES AND DOOR STOP
108-B OFFICE (EXT.)	3'-0" X 7'-0"	A	3	NA	LOCKSET, CLOSER, WEATHERSTRIPPING, B.B. HINGES AND THRESHOLD
109 OFFICE	3'-0" X 7'-0"	D	5	NA	LOCK SET, HINGES AND DOOR STOP
110 OFFICE	3'-0" X 7'-0"	D	5	NA	LOCK SET, HINGES AND DOOR STOP
111-A KITCHEN CLOSET	BI-FOLD 2'-0" X 4'-8"	E	4	NA	BI-FOLD HARDWARE
111-B KITCHEN (EXT.)	3'-0" X 7'-0"	A	3	NA	LOCKSET, CLOSER, WEATHERSTRIPPING, B.B. HINGES AND THRESHOLD
113 WOMENS RESTROOM	3'-0" X 7'-0"	D	5	NA	PUSH/PULL, SELF CLOSING HINGES, WALL STOP, KICK PLATE
114 MENS RESTROOM	3'-0" X 7'-0"	D	5	NA	PUSH/PULL, SELF CLOSING HINGES, WALL STOP, KICK PLATE
115 NOT USED					
117 CONFERENCE ROOM	(2) 3'-0" X 7'-0"	D	5	NA	PASSAGE SET AND DOOR STOP
121 UNISEX	3'-0" X 7'-0"	D	5	NA	PRIVACY SET, CLOSER, AND DOOR STOP
123-A OFFICE	3'-0" X 7'-0"	D	5	NA	LOCK SET, HINGES AND DOOR STOP
123-B OFFICE (EXT.)	3'-0" X 7'-0"	A	3	NA	LOCKSET, CLOSER, WEATHERSTRIPPING, B.B. HINGES AND THRESHOLD
124 OFFICE	3'-0" X 7'-0"	D	5	NA	LOCK SET, HINGES AND DOOR STOP
125 OFFICE	3'-0" X 7'-0"	D	5	NA	LOCK SET, HINGES AND DOOR STOP
124 OFFICE	3'-0" X 7'-0"	D	5	NA	LOCK SET, HINGES AND DOOR STOP
127 OFFICE	3'-0" X 7'-0"	D	5	NA	LOCK SET, HINGES AND DOOR STOP
128 NOT USED					
129 UNISEX RESTROOM	3'-0" X 7'-0"	D	5	NA	PRIVACY SET, CLOSER, AND DOOR STOP
130 MECHANICAL	3'-0" X 7'-0"	D	5	NA	LOCK SET, CLOSER, AND DOOR STOP
131-A CONF/LEARNING	3'-0" X 7'-0"	D	5	NA	PANIC HARDWARE, CLOSER, AND DOOR STOP
131-B CONF/LEARNING	3'-0" X 7'-0"	D	5	NA	LOCK SET, CLOSER, AND DOOR STOP
131-C CONF/LEARN (EXT.)	(2) 3'-0" X 7'-0"	A	2	NA	PANIC HARDWARE, CLOSER, WEATHERSTRIPPING, B.B. HINGES AND THRESHOLD
131-D CONF/LEARN (EXT.)	3'-0" X 7'-0"	A	3	NA	PANIC HARDWARE, CLOSER, WEATHERSTRIPPING, B.B. HINGES AND THRESHOLD
132-A PROCESSING	3'-0" X 7'-0"	C	4	NA	LOCK SET, CLOSER, AND DOOR STOP
132-B PROCESSING (EXT.)	3'-0" X 7'-0"	B	4	NA	LOCK SET, CLOSER, WEATHERSTRIPPING, B.B. HINGES AND THRESHOLD
132-C PROCESSING	3'-0" X 7'-0"	C	4	NA	PASSAGE SET, CLOSER, AND DOOR STOP
132-D PROCESSING (INT.)	12'-0" X 12'-0"	F	NA	NA	HIGH LIFT TRACK, 3 BUTTON OPENER
133-A WAREHOUSE (EXT.)	3'-0" X 7'-0"	B	4	NA	LOCK SET, CLOSER, WEATHERSTRIPPING, B.B. HINGES AND THRESHOLD
133-B WAREHOUSE (EXT.)	14'-0" X 14'-0"	F	NA	NA	HIGH LIFT TRACK, 3 BUTTON OPENER
133-C WAREHOUSE (EXT.)	14'-0" X 14'-0"	F	NA	NA	HIGH LIFT TRACK, 3 BUTTON OPENER
133-D WAREHOUSE (EXT.)	3'-0" X 7'-0"	B	4	NA	LOCK SET, CLOSER, WEATHERSTRIPPING, B.B. HINGES AND THRESHOLD
134-A WAREHOUSE	3'-0" X 7'-0"	B	5	NA	LOCK SET, CLOSER AND DOOR STOP
134-B WAREHOUSE (EXT.)	10'-0" X 14'-0"	F	NA	NA	HIGH LIFT TRACK, ELECTRIC OPENER
134-C WAREHOUSE (EXT.)	12'-0" X 14'-0"	F	NA	NA	HIGH LIFT TRACK, ELECTRIC OPENER
135-A DRYER ROOM	3'-0" X 7'-0"	C	5	NA	LOCK SET, CLOSER, AND DOOR STOP
135-B DRYER ROOM	3'-0" X 7'-0"	C	5	NA	LOCK SET, CLOSER, AND DOOR STOP
136 STORAGE	(2) 3'-0" X 7'-0"	C		NA	LOCK SET, CLOSER, AND DOOR STOP
137 STORAGE	(2) 3'-0" X 7'-0"	C		NA	LOCK SET, CLOSER, AND DOOR STOP
138 STORAGE	(2) 3'-0" X 7'-0"	C		NA	LOCK SET, CLOSER, AND DOOR STOP
139 STORAGE	(2) 3'-0" X 7'-0"	C		NA	LOCK SET, CLOSER, AND DOOR STOP

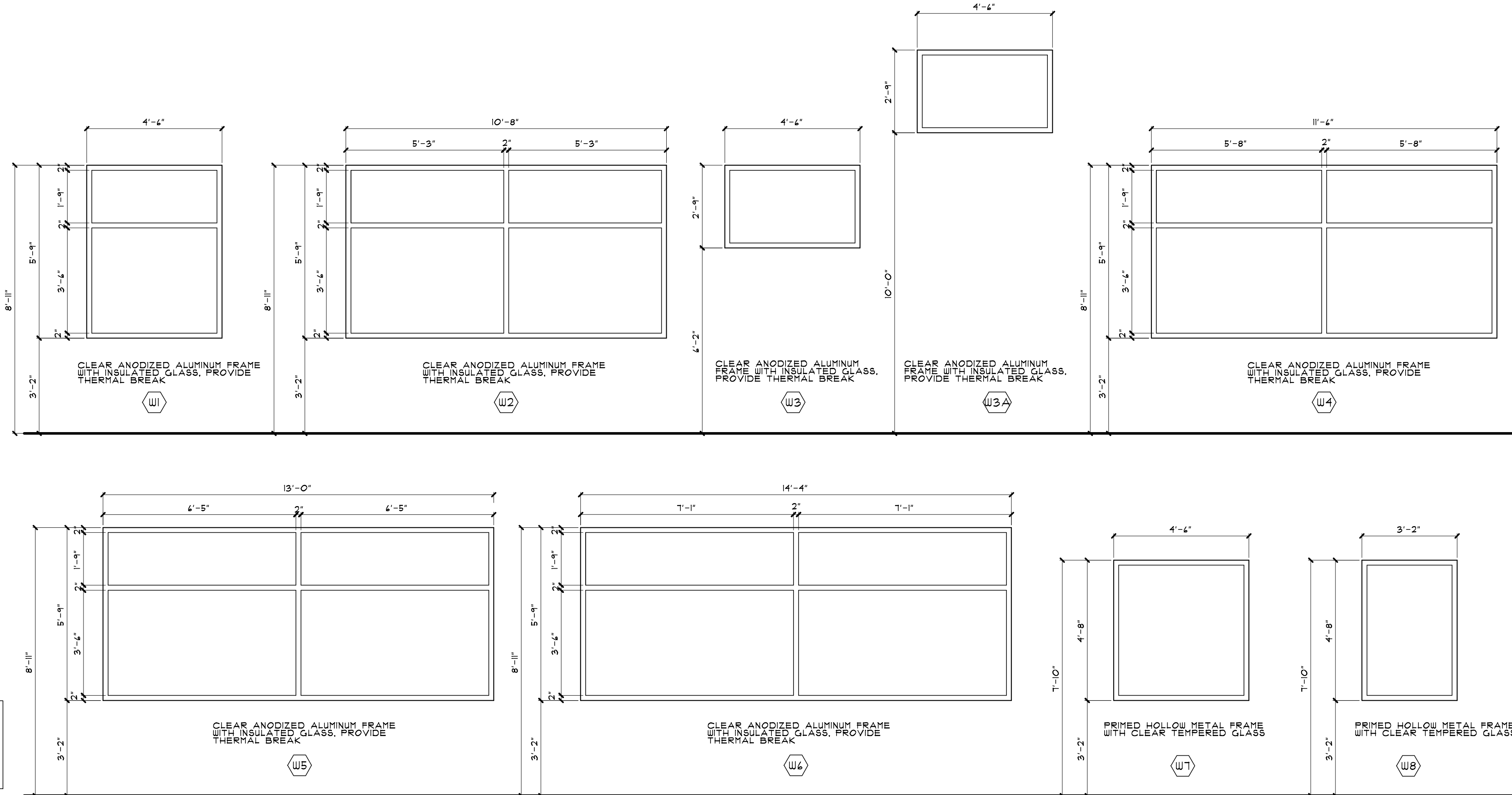
NOTE: ALL DOOR HARDWARE SHALL BE A.D.A. COMPLIANT. THIS INCLUDES ALL LEVER HANDLES, LOCKSETS, CLOSERS AND THRESHOLDS, ETC.  
DOOR HARDWARE GRADE 1 OR EQUAL  
B.B. = BALL BEARING

NOTE:  
FRAMING CONTRACTOR  
SHALL VERIFY ALL  
DOOR AND WINDOW  
OPENINGS PRIOR TO  
FRAMING



## DOOR ELEVATIONS AND FRAMES

SCALE: NONE

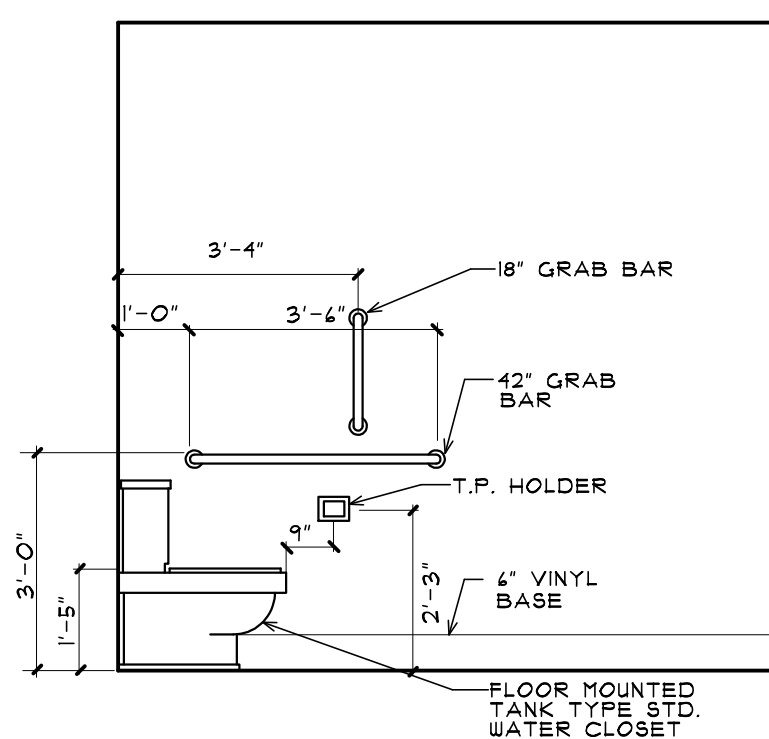


## WINDOW ELEVATIONS

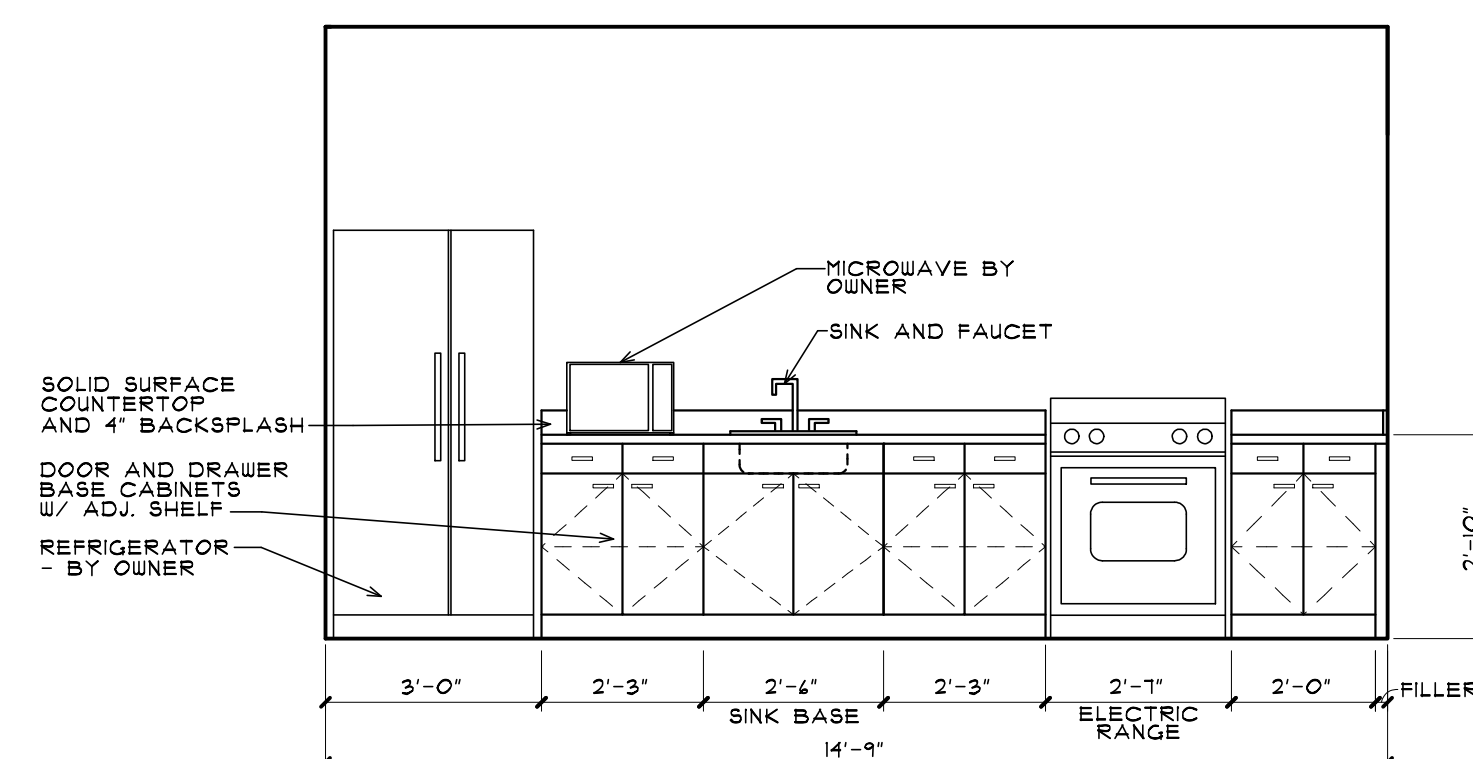
SCALE: NONE

PROJECT	DATE	ISSUED	DATE	ISSUED	DATE
PAUL DAVIS NEW OFFICE/WAREHOUSE BUILDING LOT #2 - TEMPLE STREET	19-021	SHEET	A7.2	DATE	DATE
				ISSUED	ISSUED
				DATE	DATE
				ISSUED	ISSUED
SEIDEL'S ARCHITECTS	INDUSTRIAL COMMERCIAL RESIDENTIAL	114 N. COURT AVE., STE. 201 POST OFFICE BOX 289 GAYLORD, MICHIGAN 49734	PHONE (989) 731-0372 FAX (989) 731-6932	PLANNING COMMISSION SUBMITTAL 8/1/19	PLANNING COMMISSION SUBMITTAL 8/1/19
MASON, MICHIGAN 48854	LOT #2 - TEMPLE STREET	DATE	PRINT DATE	8/1/20	8/1/20

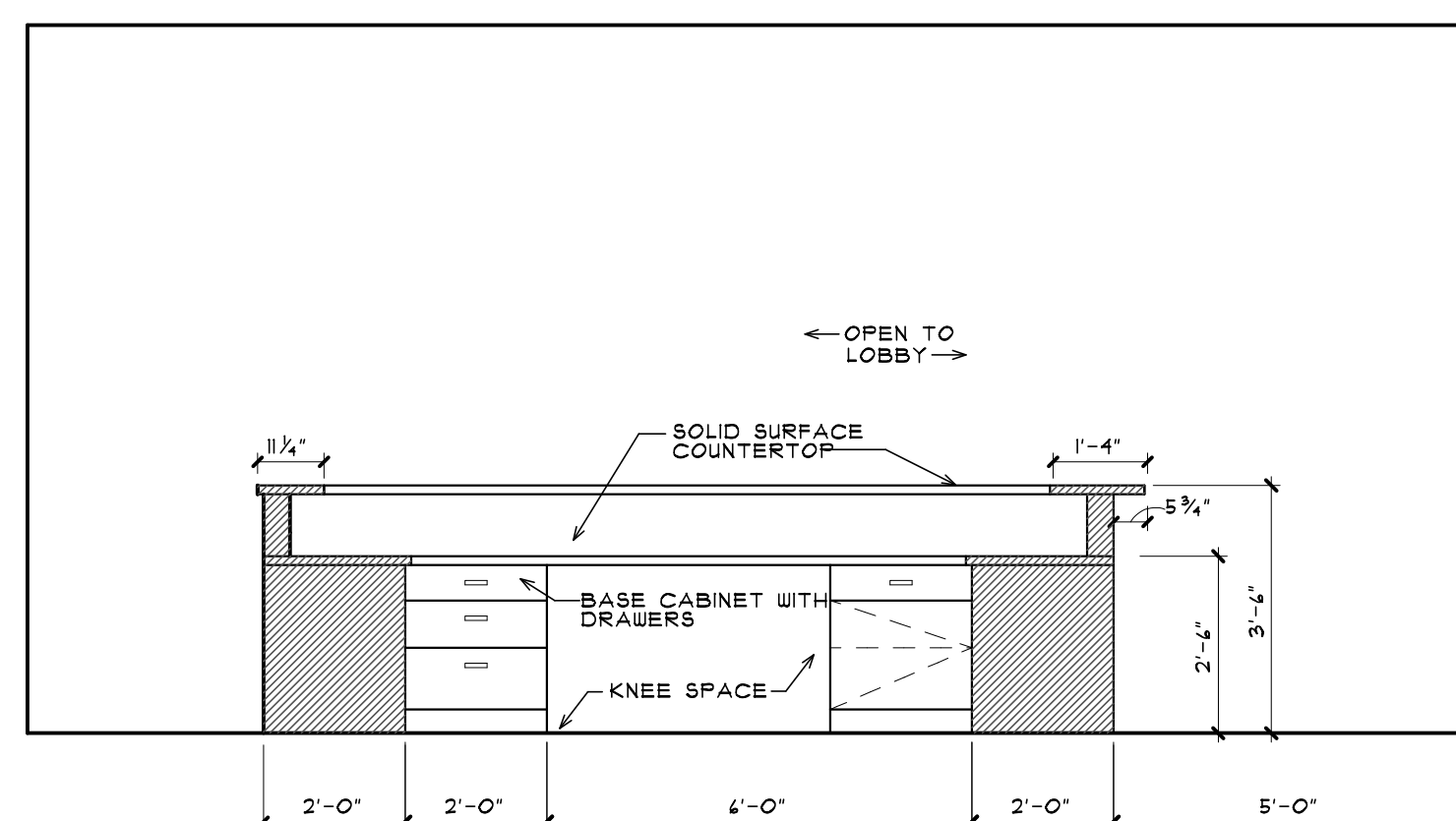




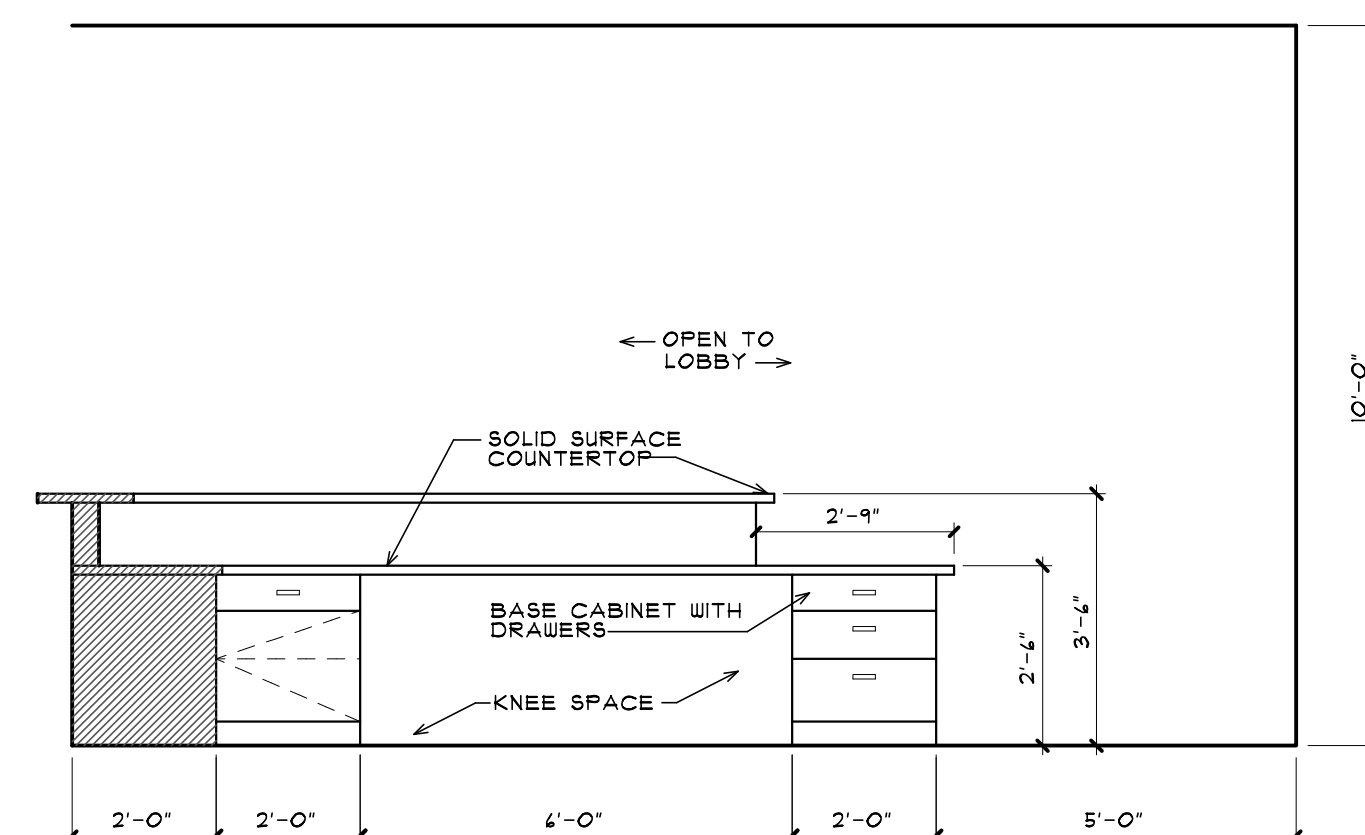
SCALE: 3/8" = 1'-0"



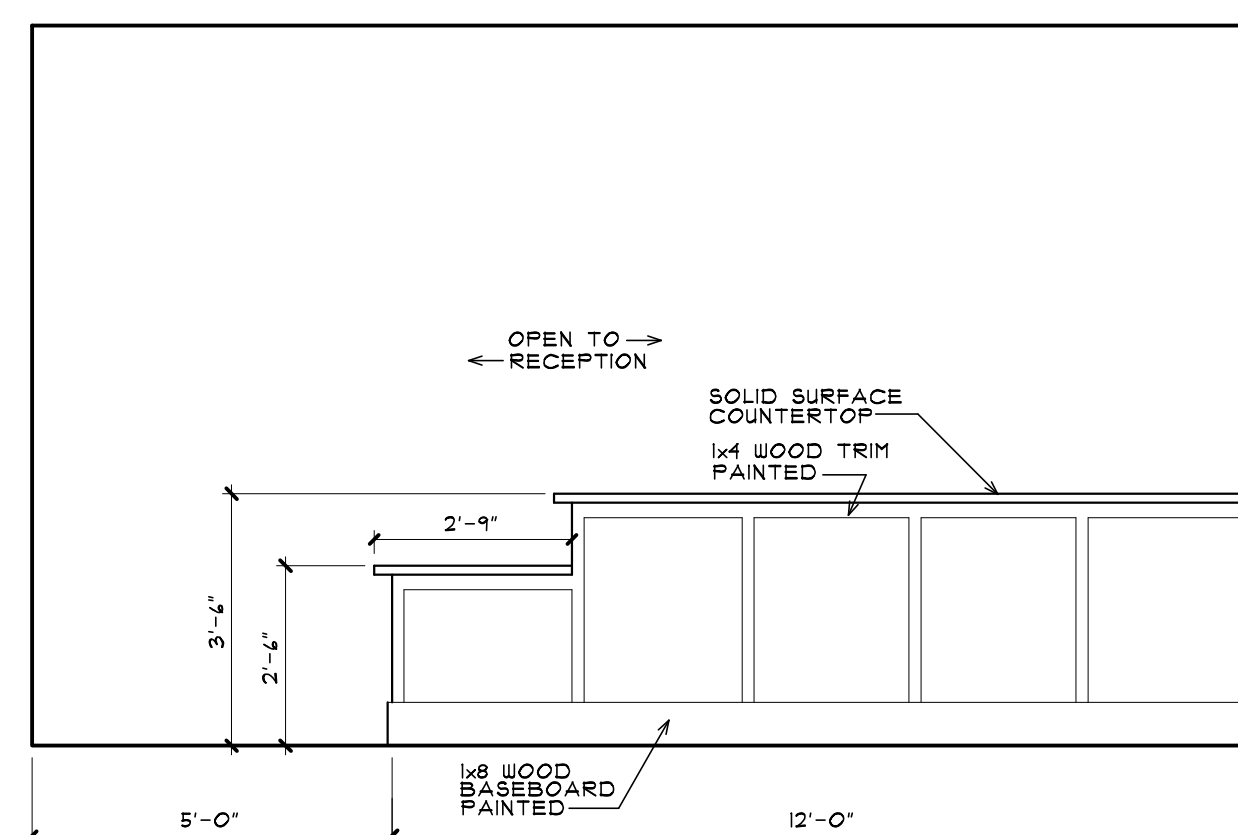
SCALE:  $3/8" = 1'-0"$



SCALE: 3/8" = 1'-0"



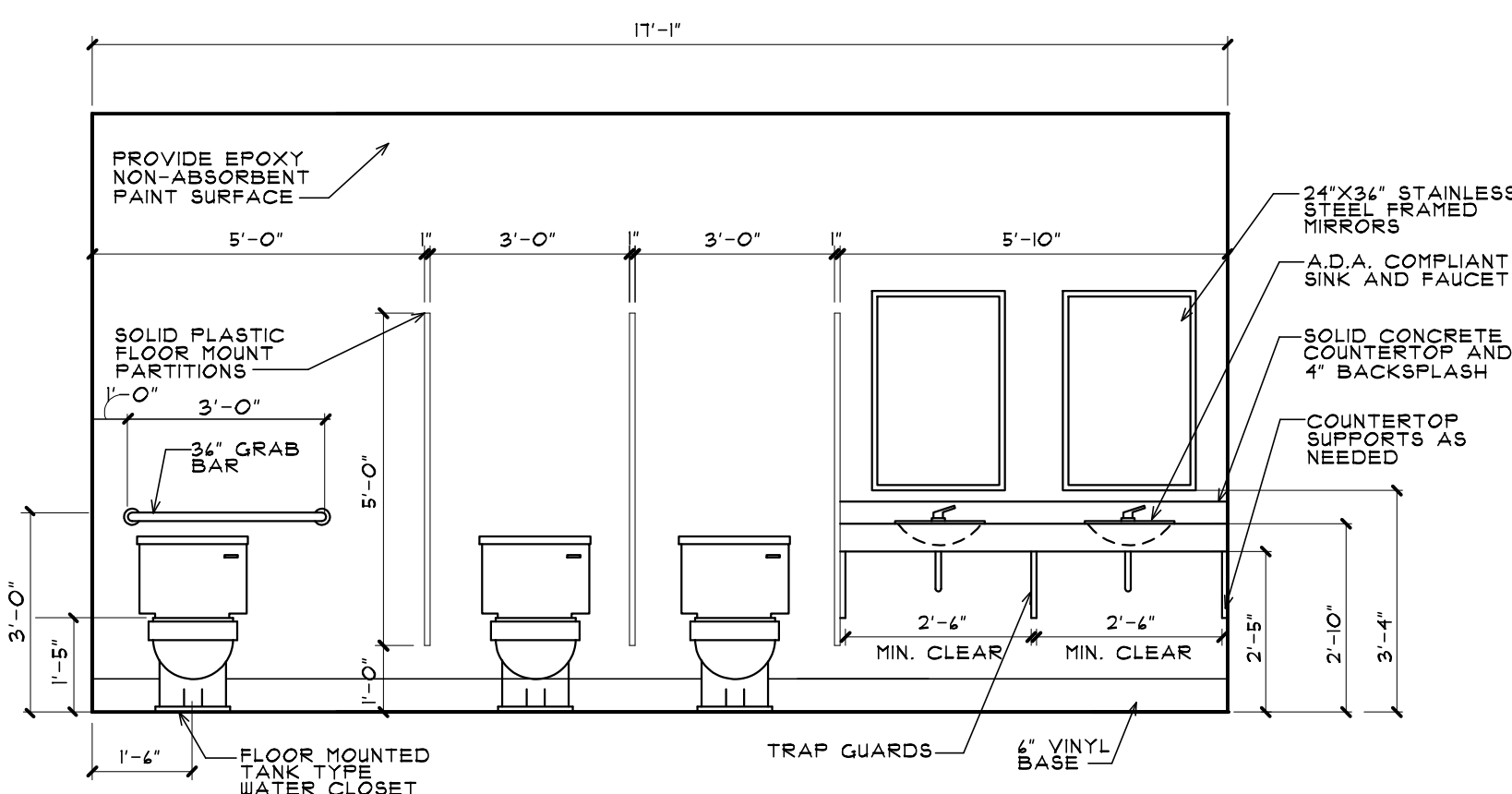
SCALE: 3/8" = 1'-0"



Architectural floor plan of a bathroom stall with the following dimensions and specifications:

- Overall Dimensions:** 14'-1" wide by 5'-0" deep.
- Countertop:** 24"x34" stainless steel framed mirrors, A.D.A. compliant sink and faucet, solid concrete countertop and 1" backsplash. Countertop supports as needed.
- Partitions:** Solid plastic floor mount partitions, 3'-0" wide with 1" O.D. 3/4" grab bar.
- Fixtures:** ADA compliant wall hung urinal, toilet, and floor mounted tank type std. water closet.
- Clearances:** 3'-0" high clearances for mirrors and urinal; 2'-4" high clearances for countertop; 2'-0" high clearances for urinal and toilet; 1'-0" high clearance for water closet.
- Other Details:** Trap guards, 6" vinyl tile, and provide epoxy non-absorbent paint surface.

SCALE:  $3/8" = 1'-0"$



SCALE: 3/8" = 1'-0"

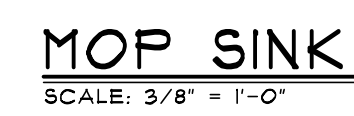
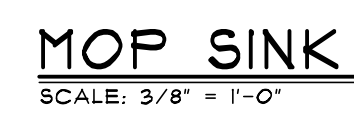
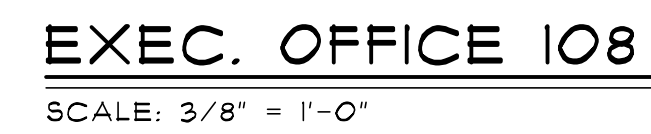


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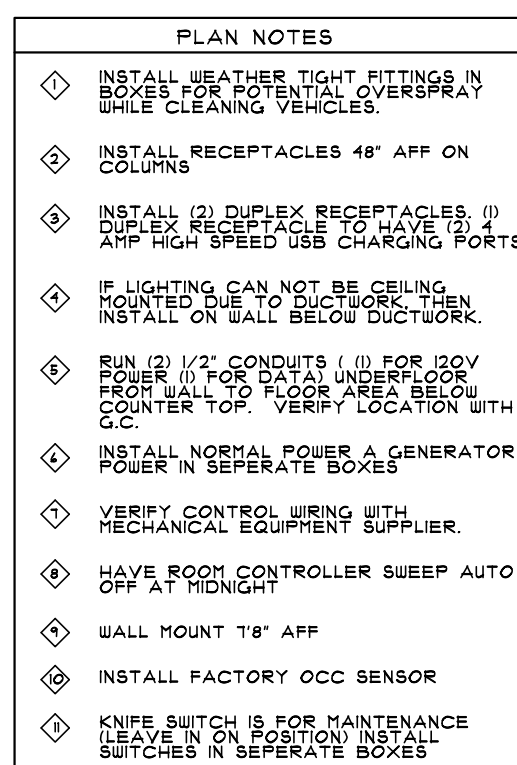
SHEET

A 8.1

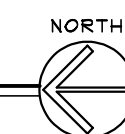


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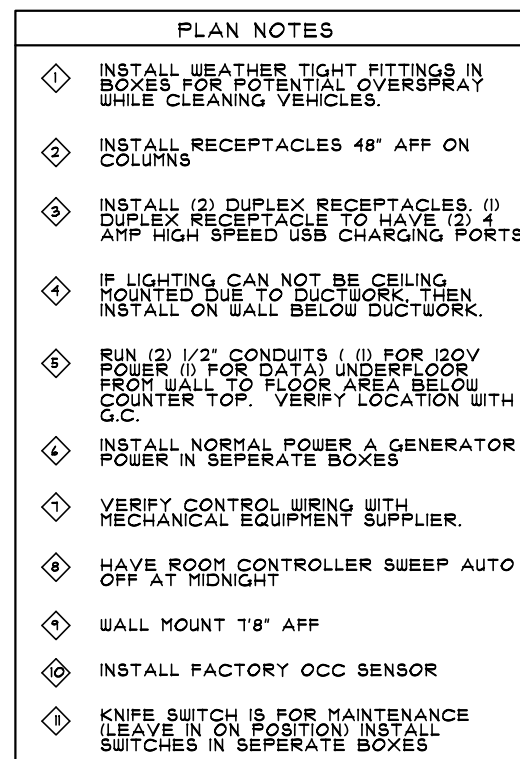





# ELECTRICAL POWER PLAN








SYMBOLS	DESCRIPTION	CATALOG #	MONITORING	NOTES
A	SINGLE RELAY MOTOR CONTROLLER	LEGAND - LIRC 101	J-BOX	A I B
B	DOUBLE RELAY MOTOR CONTROLLER	LEGAND - LIRC 112	J-BOX	A I B
2B	DIPPING DUAL RELAY MOTOR CONTROLLER	LEGAND - LIRC 112	J-BOX	A I B
1	ONE POINT WALL SWITCH	LEGAND - LISC - 101	WALL GANG	A I
2	TWO POINT WALL SWITCH	LEGAND - LISC - 102	WALL GANG	A I
3	FULL SWITCH - 100 AMP	LEGAND - PF - 100	WALL GANG	B I J
4	FULL SWITCH - 200 AMP	LEGAND - PF - 200	WALL GANG	A I
5	FULL SWITCH - 300 AMP	LEGAND - PF - 300	WALL GANG	A I
6	FULL SWITCH - 400 AMP	LEGAND - PF - 400	WALL GANG	A I
7	FULL SWITCH - 500 AMP	LEGAND - PF - 500	WALL GANG	A I
8	FULL SWITCH - 600 AMP	LEGAND - PF - 600	WALL GANG	A I
9	FULL SWITCH - 700 AMP	LEGAND - PF - 700	WALL GANG	A I
10	FULL SWITCH - 800 AMP	LEGAND - PF - 800	WALL GANG	A I
11	FULL SWITCH - 900 AMP	LEGAND - PF - 900	WALL GANG	A I
12	FULL SWITCH - 1000 AMP	LEGAND - PF - 1000	WALL GANG	A I
13	PHASE SEQUENCE RELAY	LEGAND - LISC - 103	WALL GANG	A I
14	PHASE SEQUENCE RELAY	LEGAND - LISC - 104	WALL GANG	A I
15	PHASE SEQUENCE RELAY	LEGAND - LISC - 105	WALL GANG	A I
16	PHASE SEQUENCE RELAY	LEGAND - LISC - 106	WALL GANG	A I
17	PHASE SEQUENCE RELAY	LEGAND - LISC - 107	WALL GANG	A I
18	PHASE SEQUENCE RELAY	LEGAND - LISC - 108	WALL GANG	A I
19	PHASE SEQUENCE RELAY	LEGAND - LISC - 109	WALL GANG	A I
20	PHASE SEQUENCE RELAY	LEGAND - LISC - 110	WALL GANG	A I
21	PHASE SEQUENCE RELAY	LEGAND - LISC - 111	WALL GANG	A I
22	PHASE SEQUENCE RELAY	LEGAND - LISC - 112	WALL GANG	A I
23	PHASE SEQUENCE RELAY	LEGAND - LISC - 113	WALL GANG	A I
24	PHASE SEQUENCE RELAY	LEGAND - LISC - 114	WALL GANG	A I
25	PHASE SEQUENCE RELAY	LEGAND - LISC - 115	WALL GANG	A I
26	PHASE SEQUENCE RELAY	LEGAND - LISC - 116	WALL GANG	A I
27	PHASE SEQUENCE RELAY	LEGAND - LISC - 117	WALL GANG	A I
28	PHASE SEQUENCE RELAY	LEGAND - LISC - 118	WALL GANG	A I
29	PHASE SEQUENCE RELAY	LEGAND - LISC - 119	WALL GANG	A I
30	PHASE SEQUENCE RELAY	LEGAND - LISC - 120	WALL GANG	A I
31	PHASE SEQUENCE RELAY	LEGAND - LISC - 121	WALL GANG	A I
32	PHASE SEQUENCE RELAY	LEGAND - LISC - 122	WALL GANG	A I
33	PHASE SEQUENCE RELAY	LEGAND - LISC - 123	WALL GANG	A I
34	PHASE SEQUENCE RELAY	LEGAND - LISC - 124	WALL GANG	A I
35	PHASE SEQUENCE RELAY	LEGAND - LISC - 125	WALL GANG	A I
36	PHASE SEQUENCE RELAY	LEGAND - LISC - 126	WALL GANG	A I
37	PHASE SEQUENCE RELAY	LEGAND - LISC - 127	WALL GANG	A I
38	PHASE SEQUENCE RELAY	LEGAND - LISC - 128	WALL GANG	A I
39	PHASE SEQUENCE RELAY	LEGAND - LISC - 129	WALL GANG	A I
40	PHASE SEQUENCE RELAY	LEGAND - LISC - 130	WALL GANG	A I
41	PHASE SEQUENCE RELAY	LEGAND - LISC - 131	WALL GANG	A I
42	PHASE SEQUENCE RELAY	LEGAND - LISC - 132	WALL GANG	A I
43	PHASE SEQUENCE RELAY	LEGAND - LISC - 133	WALL GANG	A I
44	PHASE SEQUENCE RELAY	LEGAND - LISC - 134	WALL GANG	A I
45	PHASE SEQUENCE RELAY	LEGAND - LISC - 135	WALL GANG	A I
46	PHASE SEQUENCE RELAY	LEGAND - LISC - 136	WALL GANG	A I
47	PHASE SEQUENCE RELAY	LEGAND - LISC - 137	WALL GANG	A I
48	PHASE SEQUENCE RELAY	LEGAND - LISC - 138	WALL GANG	A I
49	PHASE SEQUENCE RELAY	LEGAND - LISC - 139	WALL GANG	A I
50	PHASE SEQUENCE RELAY	LEGAND - LISC - 140	WALL GANG	A I
51	PHASE SEQUENCE RELAY	LEGAND - LISC - 141	WALL GANG	A I
52	PHASE SEQUENCE RELAY	LEGAND - LISC - 142	WALL GANG	A I
53	PHASE SEQUENCE RELAY	LEGAND - LISC - 143	WALL GANG	A I
54	PHASE SEQUENCE RELAY	LEGAND - LISC - 144	WALL GANG	A I
55	PHASE SEQUENCE RELAY	LEGAND - LISC - 145	WALL GANG	A I
56	PHASE SEQUENCE RELAY	LEGAND - LISC - 146	WALL GANG	A I
57	PHASE SEQUENCE RELAY	LEGAND - LISC - 147	WALL GANG	A I
58	PHASE SEQUENCE RELAY	LEGAND - LISC - 148	WALL GANG	A I
59	PHASE SEQUENCE RELAY	LEGAND - LISC - 149	WALL GANG	A I
60	PHASE SEQUENCE RELAY	LEGAND - LISC - 150	WALL GANG	A I
61	PHASE SEQUENCE RELAY	LEGAND - LISC - 151	WALL GANG	A I
62	PHASE SEQUENCE RELAY	LEGAND - LISC - 152	WALL GANG	A I
63	PHASE SEQUENCE RELAY	LEGAND - LISC - 153	WALL GANG	A I
64	PHASE SEQUENCE RELAY	LEGAND - LISC - 154	WALL GANG	A I
65	PHASE SEQUENCE RELAY	LEGAND - LISC - 155	WALL GANG	A I



SEIDELL  
ARCHITECTS

<div style="text-align: center;">  <p><b>SEIDELLS</b> <b>ARCHITECTS</b></p> </div> <div> <div>COMMERCIAL</div> <div>RESIDENTIAL</div> <div>INDUSTRIAL</div> </div> <div> <p>114 N. COURT AVE. STE. 201              POST OFFICE BOX 2189              GATLORD, MICHIGAN 49734</p> <p>PHONE (989) 731-0372              FAX (989) 731-8932</p> </div>	<div>PROJECT</div> <div>PAUL DAVIS</div>	<div>DRAWN BY</div> <div>T.L.S.</div> <div>DATE</div> <div>8/1/19</div> <div>ISSUED</div>	DATE
	<div>NEW OFFICE/WAREHOUSE BUILDING</div>	<div>CHECKED</div> <div>T.L.S.</div> <div>DATE</div> <div>8/1/19</div> <div>ISSUED</div>	DATE
		<div>APPROVED BY</div> <div>T.L.S.</div> <div>DATE</div> <div>8/1/19</div> <div>ISSUED</div>	DATE
		<div>DATE</div> <div>8/1/20</div> <div>ISSUED</div>	DATE
		<div>PRINT DATE</div> <div>8/1/20</div> <div>ISSUED</div>	DATE
<div>SHEET</div> <div>M2</div>	<div>PROJECT NO.</div> <div>19-021</div>	<div>LOT #2 - TEMPLE STREET</div> <div>MASON, MICHIGAN 48854</div>	



GENERAL ELECTRICAL SPECIFICATIONS FOR COMMERCIAL FACILITIES									
2. ALL WIRING SHALL BE INSTALLED IN ACCORDANCE WITH CURRENT STATE AND LOCAL ELECTRICAL / ENERGY CODES.									
3. ALL WIRING METHODS USED SHALL BE SUITABLE FOR THE INSTALLATION AND USE OF EQUIPMENT IN THE INSTALLED ENVIRONMENT. THE METHODS OF THE FIELD WIRING EQUIPMENT SHALL BE INSTALLED IN ACCORDANCE WITH ANY INSTRUCTIONS INCLUDED IN THE LISTING AND LABELING.									
4. ALL WIRING SHALL BE EXPOSED EXCEPT FOR THRU WALL / ROOF PENETRATIONS. UNLESS OTHERWISE NOTED ON THE PLANS, CONDUIT SHALL BE ENT. CONDUITS SHALL BE RUN IN A WORKMAN LIKE MANNER.									
5. ALL CONDUCTORS SHALL BE COPPER, #1 4 OR LARGER, UNLESS OTHERWISE NOTED ON PLANS.									
6. ALL CONDUCTORS SHALL HAVE TYPE THHN INSULATION. UNLESS OTHERWISE NOTED.									
7. E.C. SHALL COORDINATE THE INSTALLATION OF LIGHTING AND LOCATION OF LIGHTING DEVICES ETC. WITH OTHER TRADES. SUCH RELOCATIONS SHALL NOT CONSTITUTE A CHANGE ORDER.									
8. ALL EXIT LIGHTS SHALL BE SUPPLIED BY THE GENERATOR. EMERGENCY LIGHTING SHALL BE FED FROM THE SOURCE THAT SUPPLIES LIGHTING POWER TO THE AREA.									
9. INSTALL SEPARATE NEUTRALS ON ALL LIGHTING RUNS. VERIFY WALL OCCUPANCY AND VACANCY SENSORS REQUIRE A NEUTRAL CONDUCTOR AT THE DEVICE.									
10. ALL BREAKERS CONTROLLING HEATING EQUIPMENT SHALL BE H.A.C.R.-RATED.									
11. GROUND FAULT CIRCUIT INTERRUPTER IS REQUIRED ON ALL 120 VOLT, 15 AND 20 AMP RECEPTACLES IN REST ROOMS, ROOF TOPS, KITCHENS, GARAGES, WAREHOUSE, PROCESSING AREA AND EXTERIOR, EXCEPT WHERE NOTED ON THE DRAWINGS FOR SPECIFIC USE AND LOCATION.									
12. GENERAL RECEPTACLES AND SWITCHES SHALL BE 20 AMP SPEC GRADE UNLESS OTHERWISE NOTED.									
13. RECEPTACLES AND SWITCHES LOCATED ON THE EXTERIOR OF THE BUILDING SHALL N.E.C. ARTICLES 404.9, 4 04.4 I 312.									
14. E.C. SHALL PROVIDE A GROUNDING RAIL BOX WITH SINGLE GANG PLASTER RING AND 3/4" E.C. CONDUIT TO PROVIDE A GROUNDING RAIL FOR ALL TELEPHONE AND CABLE. 1/2" E.C. CONDUIT CAN BE USED FOR LOW VOLTAGE CONTROL WIRING. LOW VOLTAGE SYSTEMS SHALL BE SUPPLIED AND INSTALLED BY OTHERS.									
15. E.C. SHALL VERIFY ALL CONNECTION POINTS WITH EQUIPMENT MANUFACTURER PRIOR TO TIGHTENING.									
16. ALL PENETRATIONS THROUGH FIRE WALLS SHALL BE SEALED AND FIRE CAULKED.									
17. IT IS THE RESPONSIBILITY OF THE ELECTRICAL CONTRACTOR (E.C.) TO VISIT AND BECOME FAMILIAR WITH THE SITE PRIOR TO BID SUBMITTAL. ALL PRE-EXISTING CONDITIONS ARE INCLUDED IN THE ELECTRICAL BID.									
18. ELECTRICAL CONTRACTOR (E.C.) SHALL PROVIDE ALL PERMITS AND SCHEDULE ALL INSPECTIONS.									
19. DRAWINGS ARE DIAGNATHATIC AND INDICATE GENERAL ARRANGEMENT OF SYSTEMS. DRAINING AND NOT AS WORKING DRAWINGS FOR GENERAL LAYOUT OF EQUIPMENT AND SYSTEMS.									
20. DRAWINGS AND SPECIFICATIONS ARE INTENDED TO SUPPLEMENT EACH OTHER. ALL WORK SPECIFIED OR INDICATED BY DRAWING AND SPECIFICATIONS SHALL BE PROVIDED. SCHEDULES, SPECIFICATIONS, DRAWINGS, NOTES AND SCHEDULES WITH THE SPECIFICATIONS, THE BETTER QUALITY OR GREATER QUANTITY.									
21. DURING CONSTRUCTION, THE E.C. SHALL RETAIN ALL BACKLOG INSTRUCTIONS, INSTALLATION INSTRUCTIONS, AND OPERATING INSTRUCTIONS FOR INCLUSION IN FINAL SUBMITTAL OF THE OPERATING AND MAINTENANCE MANUALS.									
22. E.C. SHALL PROVIDE A TEMPORARY SERVICE NEAR THE PROPOSED WORK (500 AMP 240V) WITH MINIMUM (4) CIRCUITS (2) ADDITIONAL POWER SKEIS WITH A MINIMUM OF (4) 20 AMP CIRCUITS SHALL BE RUN FROM THE SERVICE JACK RUN SHOWN ON THE PLANS. APPROXIMATE 150' THE SERVICE SKEIS LOCATIONS SHALL BE COORDINATED WITH THE GENERAL CONTRACTOR. RESPONSIBILITY FOR LOCATIONS SHALL BE PROVIDED BY THE CONTRACTOR THAT REQUIRES IT.									
23. FIELD CHANGES: THE E.C. SHALL NOT MAKE ANY FIELD CHANGES THAT AFFECT SCHEDULES, CODES OR PERMITS WITHOUT WRITTEN APPROVAL FROM THE ARCHITECT, OR ENGINEER IN THE FORM OF A CHANGE ORDER. FIELD CHANGE ORDER, FOR A SUPPLEMENT TO THE CONTRACT. THE ARCHITECT'S LIABILITY AND COSTS FOR ANY UNAUTHORIZED CHANGE. ANY UNAUTHORIZED CHANGE THAT LESSONS THE VALUE OF THE PROJECT SHALL BE SUBJECT TO ITS ORIGINAL SCOPE OF WORK AND TO EXCEPT THE CHANGE.									
24. PROJECT CLOSE OUT: FINAL ACCEPTANCE AND PAYMENT WILL ONLY BE MADE AFTER FINAL PUNCH LIST COMPLETION AND RECEIPT BY THE ARCHITECT/ENGINEER ALL OF THE FOLLOWING:									
A. PROVIDE ALL TEST REPORTS									
B. PROVIDE (4) SETS OF OPERATING AND MAINTENANCE MANUALS.									
C. PROVIDE (1) SET OF AS-BUILD DRAWINGS (FIELD LINED), PROVIDE CERTIFICATES OF									
D. PROVIDE ALL TEST REPORTS									
25. PROVIDE PANEL LABELS ON ALL NEW EQUIPMENT.									
26. MAXIMUM VOLTAGE DROP SHALL BE 2% ON FEEDERS AND 3% ON BRANCH CIRCUITS.									
27. ALL PANELS SHALL BE LABELED (TYPED).									
28. E.C. SHALL PROVIDE SUBMIT FUTURE CUT SHEETS AND SERVICE GEAR PRIOR TO PURCHASE APPROVAL.									
29. SOME OF THE REQUIREMENTS SPECIFIED MAY EXCEED MINIMUM CODE AND SHALL BE PART OF THE CONTRACT.									
30. ELECTRICAL CONTRACTOR SHALL VERIFY AVAILABLE FAULT CURRENT WITH LOCAL RELATED EQUIPMENT AND BREAKERS. ELECTRICAL CONTRACTOR SHALL VERIFY THE LOADS AND BREAKERS TO BE INSTALLED. ELECTRICAL CONTRACTOR SHALL VERIFY PROVIDING SUBMITTALS OR PURCHASING SERVICE RELATED EQUIPMENT AND BREAKERS.									

SYMBOLS	DESCRIPTION	CATALOG #	MOUNTING	NOTES
1A	SINGLE RELAY ROOM CONTROLLER	LEGAND - LIRC 101	J-BOX	A I B
2A	DIMMING SINGLE RELAY ROOM CONTROLLER	LEGAND - LIRC II	J-BOX	A I B
2B	DIMMING DUAL RELAY ROOM CONTROLLER	LEGAND LIRC II	J-BOX	A I B
1A	ONE BUTTON WALL SWITCH	LEGAND - LSW - 101	WALL I GANG A I I	
1B	TWO BUTTON WALL SWITCH	LEGAND - LSW - 102	WALL I GANG A I I	
1C	PIR WALL SWITCH-OCC/VACANCY SENSOR	LEGAND - PE - 100	WALL I GANG B I I	
1D	PIR WALL SWITCH-OCC/VACANCY SENSOR	LEGAND - PE - 100	WALL I GANG B I I	
1E	SENSOR			
1F	DUAL TECH WALL SWITCH 240 VOLT DIMMABLE - OCC/VACANCY - WSK D		WALL I GANG B I I	
1G	SENSOR WITH INTEGRATED PHOTOCELL AND ADU			
1H	DUAL TECH OCC SENSOR	LEGAND - LDC - 100	CEILING A	
1I	DUAL TECH OCC SENSOR	LEGAND - DT - 300	CEILING A	
1J	PIR OCC SENSOR	LEGAND - LIRC - 100	CEILING A	

NOTES  
A USE CAT SE CABLE (PLUG INTO OTHER COMPONENTS)  
B 120 V WIRING  
I SET TO MANUAL ON / AUTO OFF  
J SET TO AUTO ON / AUTO OFF

GENERAL NOTE: VERIFY DEVICE COLOR WITH GC.

TYPES	DESCRIPTION	MOUNTING	LAMPS	MANUFACTURER - CATALOG #	NOTES	USE/LOCATIONS
A	LED HIGH BAY	SUSPENDED CEILING	LED 1170 LUMENS 154 WATTS	JEBL 18LM HVOLT 50K		WAREHOUSE-PROCESSING
B	2' X 4' LED FLAT PANEL	RECESSED	LED 4900 LUMEN 38.8 WATT 3500K	LITHONIA EPANL 2X4 4800LM 80CRI 35K	I	CORRIDORS-OFFICE-COMMON SPACE
B2	2' X 4' LED FLAT PANEL	RECESSED	LED 4900 LUMEN 38.8 WATT 3500K	LITHONIA EPANL 2X4 4800LM 80CRI 35K/SURFACE MOUNT KIT	I	KITCHEN - COPY ROOM
C	2' X 2' LED FLAT PANEL	RECESSED	LED 3285 LUMEN 31.3 WATT 3500K	LITHONIA EPANL 2X2 34L 80CRI 35K	I	CORRIDORS-OFFICE-COMMON SPACE
C	2X4 INDIRECT/DIRECT	RECESSED	LED 4904 LUMEN 38 WATT 3500K	LITHONIA 2BLT4 4L ADP E2I LP#35	I	CORRIDORS-OFFICE-COMMON SPACE
C1	2X2 INDIRECT/DIRECT	RECESSED	LED 3352 LUMEN 24 WATT 3500K	LITHONIA 2BLT2 33L ADP E2I LP#35	I	OFFICE
C2	2X2 INDIRECT/DIRECT	SURFACE MOUNT	LED 4010 LUMEN 33.1 WATT 3500K	LITHONIA 2BLT2 33L ADP E2I LP#35 / SURFACE MOUNT KIT - SHK22	I	OFFICE
D	4' COMMERCIAL STRIP LIGHT / LENSE	CEILING-WALL	LED 4000 LUMEN 28 WATT 4000K	LITHONIA CLXL48 4000LM SEP FDL HVOLT G2I04K80CRIH		MECH RM, ME22, PROCESS RM OVER SINK
EX	EXIT LIGHT, SINGLE / DOUBLE FACED	CEILING-WALL	LED 78 WATTS	LITHONIA LQSH6R 120/27ELN		EH-EGRESS
EXH	EXIT LIGHT - REMOTE HEADS	CEILING-WALL	LED 3.98 WATTS	LITHONIA LHOMLED-R		EH-EGRESS
EXH2	EXIT LIGHT - REMOTE HEADS	CEILING-WALL	LED 3.98 WATTS	LITHONIA - LHOMLED-R-ELA T QHP L030Y		EH-EGRESS
EM	2 HEAD EH LIGHT/BATTERY BACKUP	CEILING-WALL	LED 140 LUMENS 14 WATTS	LITHONIA ELH4L		EH-EGRESS
EM2	2 HEAD EH LIGHT/BATTERY BACKUP	CEILING-WALL	LED 220 LUMENS 2.4 WATTS	LITHONIA ELH2L		EH-EGRESS
F	4' RECESSED CAN WITH WHITE TRIM	RECESSED IC RATED	LED 858 LUMEN 10 WATTS 3500K	LITHONIA 458RMU LED 35K 90CRI 1% /BTH IC22 HOUSING	I	OFFICE, BATH, CONFERENCE 1 SHOWERROOM
H	LED PENDANT	SUSPENDED CEILING	LED 3303 LUMENS 25 WATTS 3500K	LITHONIA - GRDHP735K800LM920/807INO		CONFERENCE ROOM
J	LED 34" VANITY STRP LIGHT	WALL-SURFACE	LED 1022 LUMENS 825WATTS 3000K	LITHONIA PHVCSL 34IN HVOLT 30K 90CRI BN		BATHROOM VANITY
J2	LED 24" VANITY STRIP LIGHT	WALL-SURFACE	LED 504 LUMENS 18 WATTS 3000K	LITHONIA PHVCSL 24IN HVOLT 30K 90CRI BN		BATHROOM VANITY
K	LED WALL SCONCE-EXTERIOR	WALL-SURFACE	LED 46 LUMENS 8.1 WATTS 4000K	LITHONIA - OLCS 8 DB		EXTERIOR ENTRY
L	EXTERIOR WALL PACK	WALL-SURFACE				EXTERIOR BUILDING PERIMTER
M	SITE LIGHTING	20' POLE MOUNT	LED 1160 LUMENS 102 WATTS	LITHONIA DSX1-LED-F3-50K-T3M-HVOLT SPA 1P#4 DBXVO	I 12	SITE / PARKING LOT LIGHTING

NOTE 1: 0-10 VOLT DIMMING  
NOTE 2: INSTALL WITH HOUSING SHIELDS AS INDICATED  
NOTE: ANY QUESTIONS REGARDING THE FIXTURE SCHEDULE CALL STEVE FERRER (GASSER BUSH) 981-511-0051

PANEL A: 200 AMP - 120/208 V - 42 SPACE -THREE PHASE - FOUR WIRE - MAIN LUG - SURFACE MOUNT - LOAD CENTER PANEL									
BREAKER			BREAKER			BREAKER			
CKT	AMP	P	DESCRIPTION	WATTS	WATTS	DESCRIPTION	P	AMPS	CKT
1	30	2	TD	4348	24%	MEDIUM DRYER	2	20	2
3									4
5	30	2	IONIZED DRYER	4348	45%	LARGE DRYER		20	4
7				545		LARGE DRYER	1	20	8
9	20	2	GEN CART	2162	150	SMALL DRYER	1	20	10
11				2080		LARGE SILVER WASHER	2	20	12
13	20	2	APC	3534					14
15				2080		LARGE SILVER WASHER	2	20	16
17	20	2	APU	3534					18
19				454		SMALL SILVER DRYER	2	5	20
21	5	1	WATER SOFTNER	180					22
23	5	1	WATER HEATERS	230	454	SMALL SILVER DRYER	2	5	24
25	5	2	ERV #1	81					26
27				174		FRONT LOAD WASH MACHINE	1	20	28
29	5	1	ERV #2	3%	174	FRONT LOAD WASH MACHINE	1	20	30
31	5	1	ERV #3	3%	400	GENERAL RECEPTACLES	1	20	32
33	5	1	TH+ INFRARED HEATER	54	120	GENERAL RECEPTACLES	1	20	34
35	20		SPARE	0	400	GENERAL RECEPTACLES	1	20	36
37			SPACE	360		BATHROOM RECEPTACLES	1	20	38
39			SPACE		8%	FIRE SUPPRESSION AIR COMPRESSOR	1	20	40
41			SPACE		171	GENERAL LIGHTING	1	20	42

BASE LOAD 42.15 VA / 1208 X 11321 V - 114 AMPS

PANEL D: 50 AMP - 120/208 V - 30 SPACE -THREE PHASE - FOUR WIRE - MAIN LUG - RECESSED - LOAD CENTER PANEL									
BREAKER			BREAKER			BREAKER			
CKT	AMP	P	DESCRIPTION	WATTS	WATTS	DESCRIPTION	P	AMPS	CKT
1			TRAINING ROOM GENERAL RECEPTACLES	120	5300	RTU - 1	3	40	2
3			TRAINING ROOM GENERAL RECEPTACLES	120					4
5			TRAINING ROOM GENERAL RECEPTACLES	400					6
7			TRAINING ROOM GENERAL RECEPTACLES	540	5405	CU - 1	2	30	8
9			TRAINING ROOM GENERAL RECEPTACLES	1080					10
11			TRAINING ROOM GENERAL RECEPTACLES	1080	388	CU - 2	2	20	12
13			TRAINING ROOM COUNTER RECEPTACLES	180					14
15			TRAINING ROOM COUNTER RECEPTACLES	180	5405	CU - 3	2	30	16
17			KITCHEN COUNTER RECEPTACLES	500					18
19			KITCHEN COUNTER RECEPTACLES	500	463	CU - 4	2	25	20
21	5		KITCHEN RANGE HOOD	250					22
23	50		KITCHEN RANGE	8000	824	GENERAL LIGHTING	1	5	24
25						SPACE			26
27	20		KITCHEN COUNTER RECEPTACLES	340		SPACE			28
29	20		KITCHEN / BATH RECEPTACLES I D.F.	422		SPACE			30

BASE LOAD 42.121 VA / 1208 X 11321 V - 114 AMPS

PANEL B: 50 AMP - 120/208 V - 30 SPACE -SINGLE PHASE - MAIN LUG - SURFACE MOUNT - LOAD CENTER PANEL									
BREAKER			BREAKER			BREAKER			
CKT	AMP	P	DESCRIPTION	WATTS	WATTS	DESCRIPTION	P	AMPS	CKT
1	20	1	GENERAL WAREHOUSE RECEPTACLES	120	828	EF - 1	1	5	2
3	20	1	GENERAL WAREHOUSE RECEPTACLES	120	231	EF - 2	1	5	4
5	20	1	GENERAL WAREHOUSE RECEPTACLES	540	174	UNIT HEATERS	1	20	6
7	20	1	GENERAL WAREHOUSE RECEPTACLES	540	142	UNIT HEATERS	1	20	8
9	20	1	GENERAL WAREHOUSE RECEPTACLES	360	120	STORAGE ROOMS 134, 137, 138, 139	1	20	10
11	20	1	GENERAL WAREHOUSE RECEPTACLES	540	181	OH DOOR 132 D	1	20	12
13	20	1	GENERAL WAREHOUSE RECEPTACLES	360	181	OH DOOR 133B	1	20	14
15	20	1	SITE LIGHTING	122	828	OH DOOR 134B	1	20	16
17	20	1	SITE SIGNAGE	250	828	OH DOOR 134C	1	5	18
19	20	1	WAREHOUSE STORAGE/LIGHTS	184	0	SPARE	1	20	20
21	20	1	SPACE	0	0	SPARE	1	20	22
23			SPACE						24
25			SPACE						26
27			SPACE						28
29			SPACE						30







BASE LOAD 15.741 VA / 208 V - 14 AMPS

PANEL G: 50 AMP - 120/208 V - 30 SPACE -SINGLE PHASE - MAIN LUG - SURFACE MOUNT - LOAD CENTER PANEL									
BREAKER			BREAKER						
CKT	AMP	P	DESCRIPTION	WATTS	WATTS	DESCRIPTION	P	AMP	CKT
1	20	1	OFFICE RECEPTACLES	540	1308	FURNACE #1	1	20	3
3	20	1	OFFICE RECEPTACLES	540	1308	FURNACE #2	1	20	4
5	20	1	OFFICE RECEPTACLES	540	1308	FURNACE #3	1	20	4
7	20	1	OFFICE RECEPTACLES	120	1308	FURNACE #4	1	20	8
9	20	1	OFFICE RECEPTACLES	540	18	FIRE SUPPRESSION CONTROLS	1	5	10
11	20	1	KITCHEN RECEPTACLES	110	103	OFFICE LIGHTING	1	20	12
13	20	1	COPY MACHINE / RECEPTION AREA RECEPTACLES	540	1088	WAREHOUSE / PROCESSING LIGHTING	1	20	14
15	20	1	RECEPTION DESK RECEPTACLES	540	414	WALL PACKS	1	5	14
17	15	1	PHONE BOARD	360		SPACE			18
19	20	1	OH DOOR 133-C	581		SPACE			20
21	20	1	SPARE	0		SPACE			22
23	20	1	SPARE	0		SPACE			24
25	15	1	SPARE	0		SPACE			26
27			SPACE			SPACE			28
29			SPACE			SPACE			30





- ## PLAN NOTES
- MECHANICAL CONTRACTOR SHALL COORDINATE INSTALLATION OF DIFFUSERS AND CEILING LIGHTS WITH SUSPENDED ACOUSTIC CEILING SYSTEMS WITH LIGHTING FIXTURE LOCATION. ALL DIFFUSERS AND GRILLES SHALL BE CENTERED IN CEILING TILES.
  - CONTRACTOR TO VERIFY FINAL CEILING MATERIALS PRIOR TO ORDERING CEILING DIFFUSERS.
  - COMBUSTION AIR INTAKE AND EXHAUST UP THRU SIDE WALLS WHEN POSSIBLE. SIZE PER MANUFACTURER'S WRITTEN RECOMMENDATIONS AND TERMINATE WITH CONCENTRIC VENT FITTING.
  - WASHER AND DRYER EXHAUSTS AND MAKEUP AIR WILL NEED TO BE ADDRESSED TO MEET MECHANICAL CONTRACTOR'S RECOMMENDATIONS AND CURRENT CODES FOR EXHAUST AND MAKEUP AIR REQUIREMENTS UPON FINAL SELECTION OF EQUIPMENT BY OWNER. FINAL LOCATION OF EXHAUSTS WILL BE DETERMINED BY MECHANICAL CONTRACTOR. THE EXHAUST DUCT REQUIRED AS BY MANUFACTURER/OWNER MUST PROVIDE FINAL PRODUCT TO BE PURCHASED PRIOR TO UNDERGOING PIPING BEING INSTALLED.
  - INTERLOCK DRYER END SWITCH WITH ROTATING DAMPER ON OUTDOOR LOUVER.
  - FINAL LOCATION OF OUTDOOR LOUVER FOR MAKEUP AIR TO BE FIELD LOCATED AND TO BE PLACED AT A MINIMUM OF 10'-0" FROM EXHAUST VENTS.

MECHANICAL LEGEND	
	EXHAUST FAN
	SUPPLY AIR DIFFUSER
	RETURN AIR GRILLE
	THERMOSTAT
	CO + NO2 SENSOR
	MANUAL AIR VOLUME DAMPER

EA-EXHAUST AIR TO OUTDOORS
OA-OUTDOOR AIR INTAKE
RA-ROOM AIR TO BE EXHAUSTED
FA-FRESH AIR TO INSIDE



FURNACES									
MARK	MANUF.	MODEL NUMBER	GAS BTU'S	EFFICIENCY	STAGES	EVAPORATOR COIL	VOLTS/ PHASE/ AMPS	MIN. O.A. CFM	S.A. CFM
F-1	HEIL	G4VTN060114	40,000	%	2	END4X42LI1	115/1	144	1390
F-2	HEIL	G4VTN060114	40,000	%	2	END4X36LI1	115/1	111	930
F-3	HEIL	G4VTN060114	40,000	%	2	END4X42LI1	115/1	158	1390
F-4	HEIL	G4VTN060114	40,000	%	2	END4X42LI1	115/1	144	1235

- NOTE: ALL EQUIPMENT MANUFACTURES ARE AS LISTED OR APPROVED EQUAL
- MECHANICAL NOTES:
- FURNACES, EVAPORATOR COILS, AN CONDENSING UNITS BASED ON "HEIL".
  - DUCT SIZES ARE INSIDE DIMENSIONS.
  - SEAL DUCT PER CODE.
  - PROVIDE FOR ALL FURNACES UV LIGHT EQUAL TO SECOND WIND 2018. MOUNT IN SUPPLY AIR PLENUM.
  - PROVIDE ALL FURNACES WITH GENERALAIR FILTER MAX2000.
  - THERMOSTATS TO BE EQUAL TO HONEYWELL 2-STAGE HEAT AND 2-STAGE COL. MODEL TH5220D1029.
  - FURNACE TO BE ON CORK PADS, MINIMUM OF 3' X 3'.

GRILLE AND DIFFUSER SCHEDULE								
MARK	MANUFACTURER	TYPE	SIZE	CONSTRUCTION	MODEL	DAMPER	DEFLECTION	COLOR
SD-1	HART I COOLEY	CEILING DROP IN	24 X 24	STEEL	FPD3	3800	4 WAY	WHITE
SD-2	HART I COOLEY	CEILING	12 X 12	STEEL	SRE	SR-1	4 WAY	WHITE
RG-1	HART I COOLEY	CEILING DROP IN	24 X 24	ALLUMINIUM	RES	NO DAMPER		
RG-2	HART I COOLEY	CEILING	12 X 12	ALLUMINIUM	RES	NO DAMPER		
RG-3	HART I COOLEY	CEILING	14 X 14	ALLUMINIUM	RES	NO DAMPER		

ALL MODEL NUMBERS BASED ON HART AND COOLEY UNLESS OTHERWISE NOTED.

ROOF TOP UNITS										
MARK	MANUF.	MODEL NUMBER	GAS BTU'S	STAGES	COOLING CAPACITY	VOLTAGE/ PHASE	CURB	NOI ECONOMIZER	MCA	S.A. CFM
RTU-1	HEIL	RGV060 DA0AAA	40,000	1	2500	208/230-3-40	GROUND MOUNTED	YES	28	344

AIR CONDITIONING UNITS							
MARK	MANUF.	MODEL NUMBER	COOLING BTU'S	EFFICIENCY	VOLTS/PHASE	REFRIGERANT	MCA/MOCP
CU-1	HEIL	N4A342AK	42,000	13	230/1	410-A	23.5
CU-2	HEIL	N4A330KK	30,000	13	230/1	410-A	14.4
CU-3	HEIL	N4A342AK	42,000	13	230/1	410-A	23.5
CU-4	HEIL	N4A334AK	34,000	13	230/1	410-A	18.1

NOTE: ALL EQUIPMENT MANUFACTURES ARE AS LISTED OR APPROVED EQUAL

WALL HEATERS						
MARK	MANUFACTURER	MODEL	BTU	WATT	VOLT/PH	TYPE
EH-1	BERKO	FRC4020F	4824-13441	1000/2000	208	RECESSED

NOTE: ALL EQUIPMENT MANUFACTURERS ARE AS LISTED OR APPROVED EQUAL

EXHAUST FANS						
TAG	MODEL	MANUF.	CFM	VOLT	VENT SIZE	AMP
EF-1	CBTR-20	S I P	4150/1445	115	20	3.5
EF-2	CBTR-14	S I P	1945/100	115	14	1.0
EF-3	AE80	BROAN	80	120	4	.3
EF-4	L150	BROAN	150	120	4	1.3

- NOTES:
- INSULATE WITH MIN. R-8 IN UNCONDITIONED SPACE
  - USE GALVANIZED PIPE

UNIT HEATERS						
UNIT	MANUF.	MODEL	BTU	EFFICIENCY	STAGES	VENT
UH-1	MODINE	PDP200	200,000	80	1	5"
UH-2	MODINE	HD-15	15,000	80	1	3"

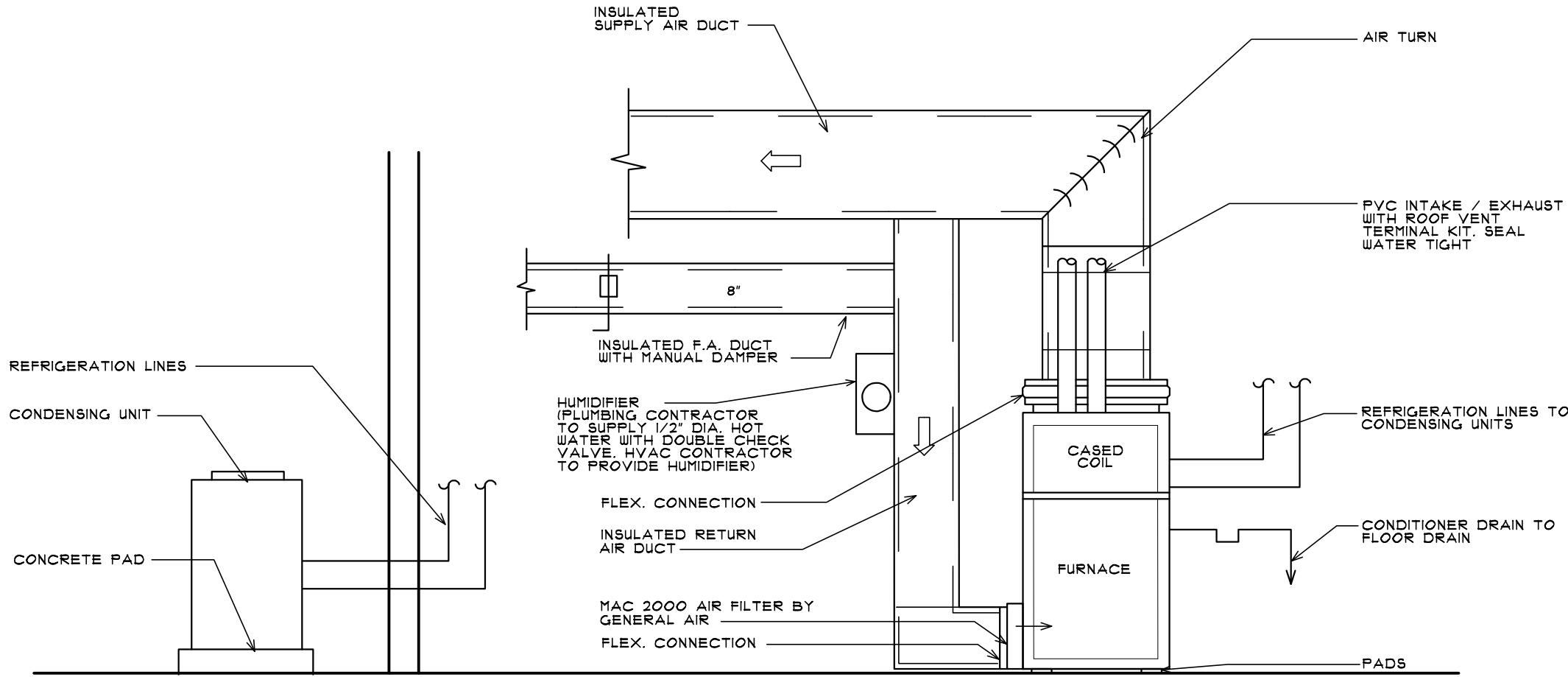
NOTE: ALL EQUIPMENT MANUFACTURES ARE AS LISTED OR APPROVED EQUAL

NOTE: MINIMUM 14'-0" MOUNTING HEIGHT

LOUVER SCHEDULE					
MARK	MANUF.	MODEL	SIZE	VOLT	
L-1	LLOYD	ACC-18	17 1/2" X 17 1/2"	120	
L-2	LLOYD	ACL-34	35" X 35"	120	
L-3	LLOYD	2-SRF	40" X 40"	120	WITH NOTORIZED DAMPER

NOTE: ALL EQUIPMENT MANUFACTURES ARE AS LISTED OR APPROVED EQUAL

INSULATION SCHEDULE							
MARK	ITEM	INSULATION TYPE	VAPOR BARRIER	THICKNESS	MIN. "R" VALUE	SIMILAR TO TAKE AND MODEL NO.	REMARKS
RS	REFRIGERANT SUCTION	CLOSED CELL FOAM	INTEGRAL	1/2"	3.7/R	ARMAFLEX AP, OR EQUAL	
O.A.	OUTDOOR AIR	FIBERGLASS WRAP	FSK	2"	4.0	CERTAINTED STANDARD DUCT WRAP, OR EQUAL.	
S.A.	SUPPLY AIR - 1ST 6'-0" FROM FURNACE	DUCT LINER	N/A	1"	3.4/R	CERTAINTED ULTRAITE, OR EQUAL.	
R.A.	RETURN AIR - 1ST 6'-0" FROM FURNACE	DUCT LINER	N/A	1"	3.4/R	CERTAINTED ULTRAITE, OR EQUAL.	
S.A. (UNCONDITIONED)	SUPPLY AIR	FIBERGLASS WRAP	FSK	2"	4	CERTAINTED STANDARD DUCT WRAP, OR EQUAL.	
S.A. (UNCONDITIONED)	SUPPLY AIR	FIBERGLASS WRAP	FSK	3"	8.0	CERTAINTED STANDARD DUCT WRAP, OR EQUAL.	
R.A. (UNCONDITIONED)	RETURN AIR	FIBERGLASS WRAP	FSK	3"	8.0	CERTAINTED STANDARD DUCT WRAP, OR EQUAL.	
R.A. (UNCONDITIONED)	EXHAUST AIR	FIBERGLASS WRAP	FSK	3"	8.0	CERTAINTED STANDARD DUCT WRAP, OR EQUAL.	



## UNDER 5 TON MECHANICAL EQUIPMENT DETAIL

SCALE: NONE

INFRARED HEATER						
MARK	MANUFACTURER	MODEL	BTU	VOLT/PH	AMPS	REMARKS
TH-1	SUPERIOR RADIANT PRODUCTS	TX12N 50"	120,000	120/1	1	90% USE EXTERIOR HOOD

NOTE: ALL EQUIPMENT MANUFACTURERS ARE AS LISTED OR APPROVED EQUAL

NOTE: GAS SUPPLY, NATURAL, 5" W.C.

ENERGY RECOVERY VENTILATION						
MARK	MANUF.	MODEL NUMBER	VOLTS/PHASE	MOCP	MCA	H.P.
EV-1	RENEWAIRE	EV450	208/230/1	4.1	4.1	.4
EV-2	RENEWAIRE	EV300	120/1	15	3.3	.2
EV-3	RENEWAIRE	EV300	120/1	15	3.3	.2

NOTE: ERV'S BASED UPON RENEWAIRE OR EQUAL

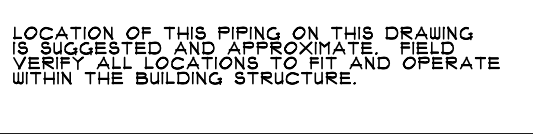
- NOTES
- FRESH AIR TO RETURN DUCT MATCHING FURNACE NUMBER
  - PROVIDE ROUND TRANSITION KIT FROM RENEWAIRE MODEL 45EV10
  - PROVIDE DRAIN PAN IN LOCATIONS REQUIRED PER CODE

EVAPORATOR COILS				
MARK	MANUFACTURER	MODEL NUMBER	TONS	REFRIGERANT
EC-1	HEIL	ENH4X30LI1	2 1/2	410A
EC-2	HEIL	ENH4X34LI1	3	410A

NOTE: ALL EQUIPMENT MANUFACTURES ARE AS LISTED OR APPROVED EQUAL

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**SANITARY PLUMBING NOTES**

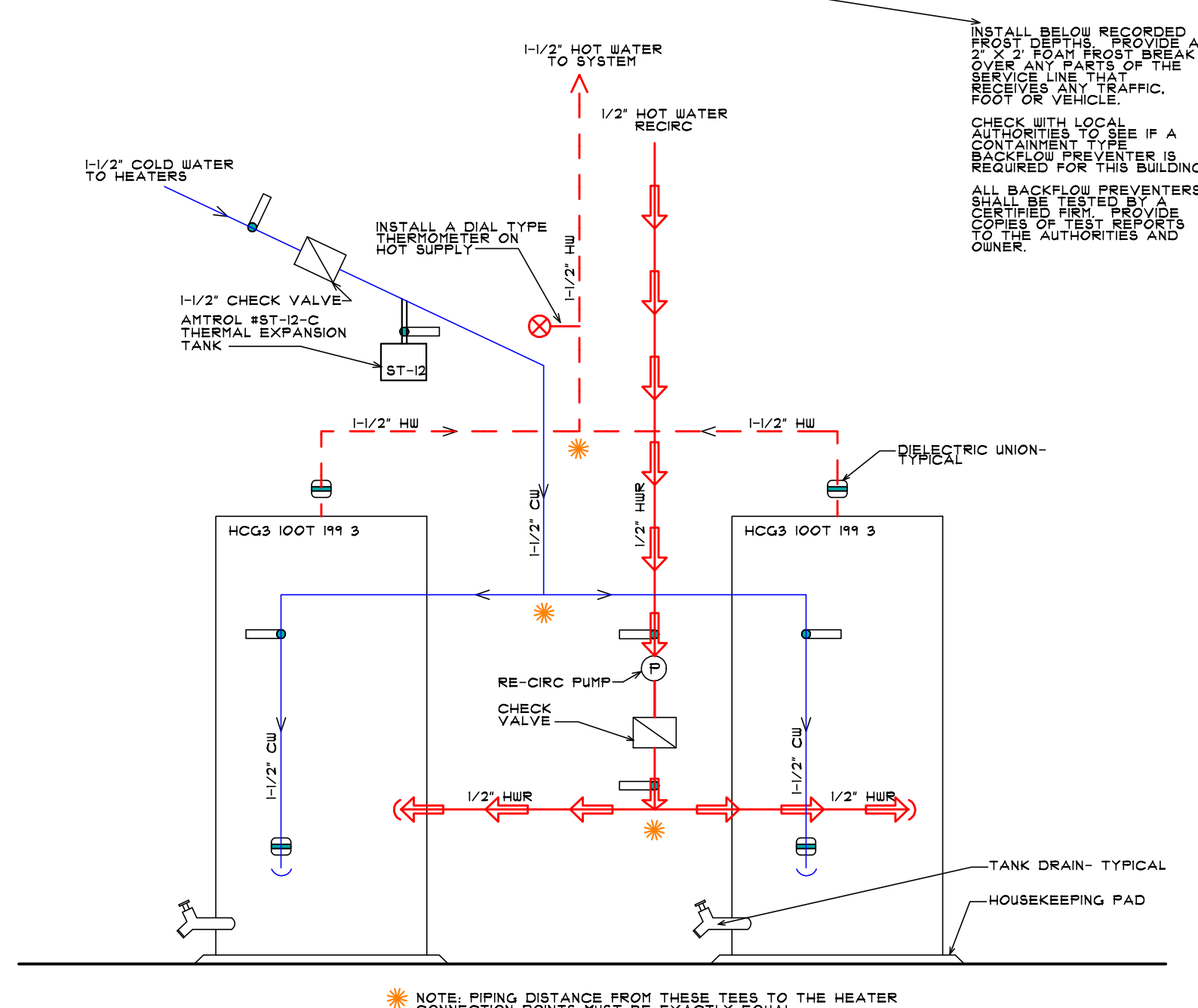
- 1) BELOW GRADE SANITARY PIPING TO BE SCHEDULE 40 PVC (ALL SIZES)
- 2) ABOVE GRADE 1/2" & 3/4" SANITARY PIPING TO BE SCHEDULE 40 PVC
- 3) ABOVE GRADE 3" SANITARY MAY BE PERFORMANCE RATED SCHEDULE 40 PIPERS NEED NOT BE
- 4) SLEEVE ALL PENETRATIONS THROUGH FOOTINGS OR FOUNDATION WALLS.
- 5) ALL FLOOR DRAINS NOT RECEIVING DISCHARGE YEAR AROUND FROM A SOURCE OF CONTAMINATION SHALL BE STOPPED AND/OR BE RESEAL AREAS.
- 6) PRIOR OR OTHER CODE APPROVED MEANS OF MAINTAINING TRAP SEAL
- 7) EXPOSED SOIL OR WASTE PIPING SHALL NOT BE INSTALLED ABOVE ANY STORAGE OR STORAGE AREA
- 8) THE KITCHEN SINK THAT IS TO BE USED FOR THE WASHING OR RINSING OF DISHES SHALL BE PROVIDED WITH AN APPROVED INDIRECT RECEIPTAGE
- 9) THE 3" BRANCH DRAIN HANDLING THE KITCHEN FIXTURES SHALL BE PROVIDED WITH A 1/2" SIZED GREASE TRAP BEFORE ENTERING THE 4" BUILDING DRAIN.
- 10) CONSOLIDATION OF PLUMBING VENTS IN ATTIC WILL BE ALLOWED TO MINIMIZE ROOF PENETRATIONS. CONSOLIDATION OF VENT PIPING MUST BE PER 2018 MICHIGAN PLUMBING CODE.
- 11) ALL ASSEMBLY AND INSTALLATION OF THE SANITARY PIPING SYSTEM TO COMPLY TO THE 2018 MICHIGAN PLUMBING CODE.
- 12) ALL PENETRATIONS THROUGH FIRE RATED WALLS, BARRIERS, OR PARTITIONS SHALL BE FIRE STOPPED AND/OR BE RESEAL AREAS DEPENDING ON THE REQUIRED APPLICATION. FIELD VERIFY APPLICATION.

SCALE:  $3/32" = 1'-0"$








P





## LEGEND

	= HOT WATER
	= HOT WATER RETURN
	= COLD WATER
	= SANITARY
	= BALL VALVE

NOTES:

CONTINUATION OF ALL HOT AND COLD WATER PIPING IN THESE AREA'S SHALL BE 9/4" RATES WITH 1/2" BRANCHES TO ALL FIXTURES WITH 5/4" BEING SUPPLIED UP TO THE LAST 1/2" BRANCH.

1. REFER TO FIRE RATING PLAN FOR ALL FIRE WALLS, BARRIERS, AND PARTITIONS
2. HOT WATER RECIRCULATING PUMPS ARE LOCATED IN THE SAME ROOM AS WATER HEATERS.

## DOMESTIC WATER PIPING NOTES

1. PROVIDE 1/2" SINGLE UNIT TRAP PRIMERS WITH ISOLATION VALVE FROM MECHANICAL ROOM FLOOR DRAINS
2. INSULATION FOR THE HOT WATER RETURN RECIRC LINE MUST BE A MINIMUM OF 1" WALL THICKNESS

## PLUMBING FIXTURES

<b>WH-1</b>	GAS HOT WATER HEATER - AMERICAN WATER HEATER MODEL NO. HCG500T-144-3 - QUANTITY (2) RECOMMENDED INR = 1/2" CIRC. PUMP = TACO 800P-B4 3/4" O.D. CONNECTIONS. B.V. 20 H.C. IN. 12 SHPS. 1/40 H.P. 3250 RPMIS
<b>WH-2</b>	ELECTRIC HOT WATER HEATER - AMERICAN WATER HEATER MODEL NO. E4N-SOLB-48 - 50 GALLON ELECTRIC 4600 W. 240 VAC

\*S: WATER SOFTENER TO BE SIZED BY INSTALLING CONTRACTOR.

**NOTE:** ALL WATER HEATERS TO BE SEALED COMBUSTION UNITS. VENTING IS REQUIRED TO BE PROVIDED BY THE INSTALLER.

**NOTE:** CONTROL AND CIRC. PUMPS SHALL BE REQUIRED

**NOTE:** WATER HEATERS TO BE 95% THERMAL EFFICIENCY.

<b>PLUMBING FIXTURES CONT.</b>	
<b>WC-1</b>	WATER CLOSET KANSFIELD TANK TYPE (B.F. IT) #31-140 ELONGATED, 14 GPF. VIT. CHINA SIFON W/ET. WITH CEN70CQ #500CC. WHITE SEAT WITH COYER, C/P. SUPPLY AND STOP
<b>LAV-1</b>	LAVATORY CULTURED MARBLE TOP WITH INTEGRAL BOWL (CENTERED OR OFFSET IN TOP-- SEE FLOOR PLANS) BY GENERAL CONTRACTOR. DELTA MODEL 5010F #4 CENTERSET. WITH LEVER HANDLE FAUCET WITH GRID DRAIN. PROVIDE WITH 8" TRAP, 3/8" C/P, SUPPLIES AND STOPS. TRUBRO #102 R-TRAP, ANGLE VALVE AND COYERS
<b>S-1</b>	SINGLE BASIN SINK ELKAY SINGLE COMP-3-HOLE HLRADIN# S.S. WITH LK-2432 FAUCET WITH STOP STRAINER AND BASKET. C/P SUPPLIES AND STOPS. PROVIDE WITH 1 1/2" VERTICAL STANDPIPE, OPEN AT TOP. CONNECTED TO 1 1/2" TRAP. A.D.A. COMPLIANT
<b>S-2</b>	SINGLE BASIN SINK ELKAY SINGLE COMP-3-HOLE HLRADIN# S.S. WITH LK-2432 FAUCET WITH STOP STRAINER AND BASKET. C/P SUPPLIES AND STOPS. PROVIDE WITH 1 1/2" VERTICAL STANDPIPE, OPEN AT TOP. CONNECTED TO 1 1/2" TRAP. A.D.A. COMPLIANT
<b>S-3</b>	OWNER PROVIDED SINK
<b>S-4</b>	OWNER PROVIDED SINK
<b>HS-1</b>	TOP SINK MUSTEE #43P 24" X 24" X 10" WITH DELTA #2872283 SERVICE FAUCET
<b>ESC</b>	ELECTRIC WATER COOLER H-100 DELTA MODEL #7575SC, BARRIER FREE ACCESS, STAINLESS STEEL NO LEAD DRINKING FOUNTAIN, WITH GRAY VINYL CLAD CABINET
<b>NOTE:</b>	AT ALL ACCESSIBLE (ADA) SINKS AND LAVS, WHERE PIPING IS EXPOSED, INSULATED EXPOSED PIPING WITH A.D.A. COMPLIANT WRAP, SUCH AS HAND-LAY
<b>FD-1</b>	FLOOR DRAIN EQUAL TO SIOUX CHIEF MODEL #860-3P-S WITH SAND BUCKET AND 3" TRAP
<b>FD-2</b>	FLOOR DRAIN EQUAL TO SIOUX CHIEF MODEL #832-35PNR
<b>FD-3</b>	FLOOR DRAIN EQUAL TO SIOUX CHIEF MODEL #861-3P
<b>FD-4</b>	FLOOR DRAIN EQUAL TO SIOUX CHIEF MODEL #861-2P WITH MODEL #861-OP3 OPTIONAL GRATE
<b>HB-1</b>	EXTERIOR HOSE BIBB EQUATE TO WOODPORT MODEL AS ANTI-SIPHON, AUTOMATIC DRAINING, WHEELLESS STYLE, CHOPF FINISH, FURNISH WITH LOOSE KEY. INSTALL ACCESSIBLE SHUT OFF VALVE IN MECHANICAL SPACE (IF POSSIBLE) AT EACH HOSE BIBB
<b>NOTE:</b>	FIXTURES SUBSTITUTED MUST BE EQUAL AND APPROVED BY OWNER

# WATER HEATER PIPING DIAGRAM (WH-1)

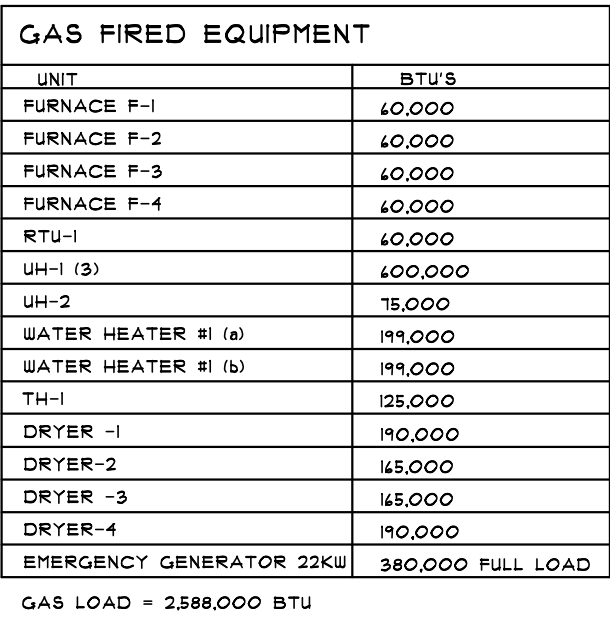
DOMESTIC WATER PLAN

SCALE: 3/32" = 1'-0"

NORTH

A circular north arrow with the word "NORTH" above it and a horizontal line with an arrowhead pointing to the left inside the circle.





## NATURAL GAS PIPING NOTES

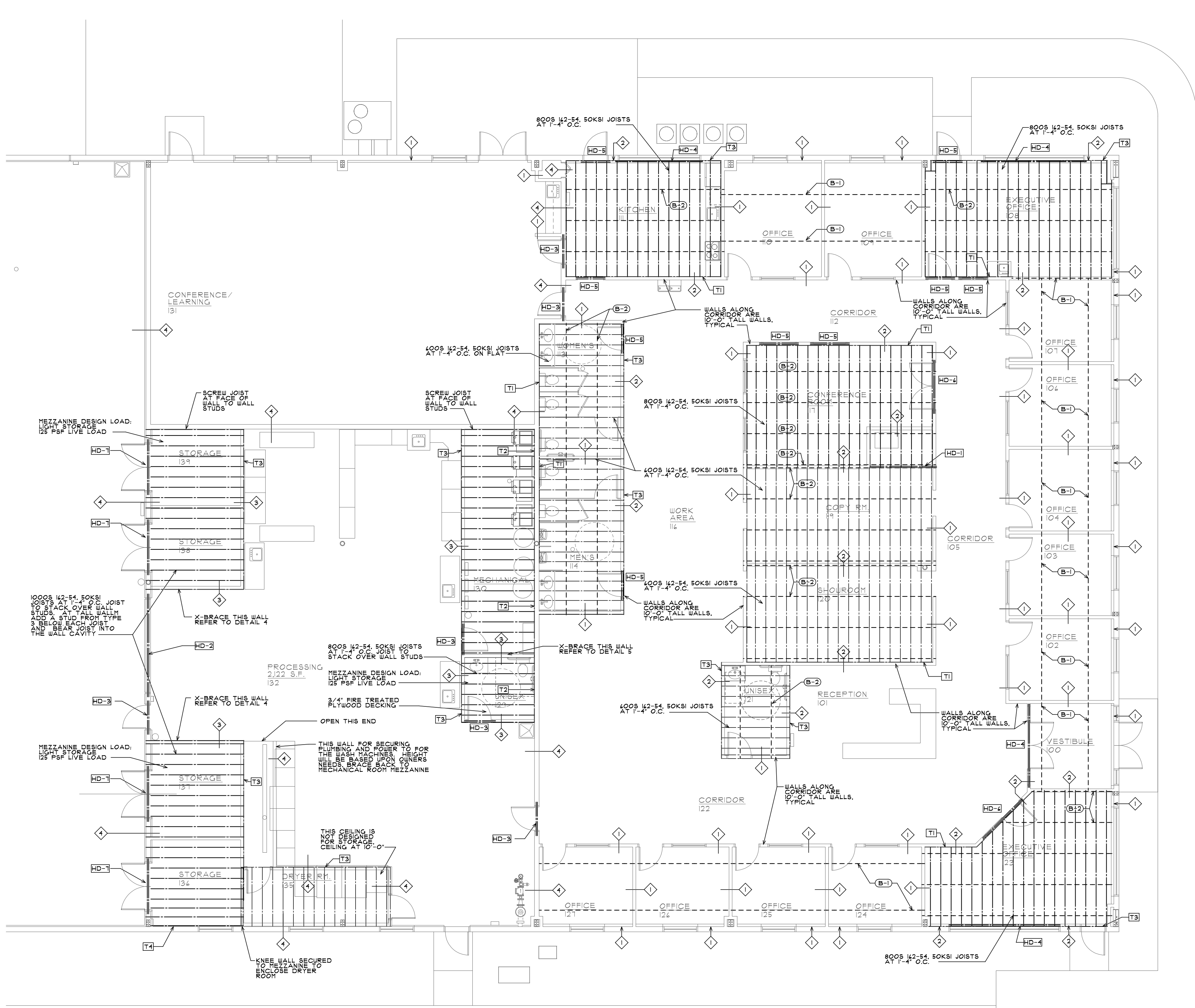
1. TOTAL GAS LOAD FOR THE BUILDING: 2243,000 BTUS
2. PIPING IS BASED ON THE USE OF SCHEDULE 40 BLACK STEEL PIPE.
3. 2" PIPE AND UNDER TO BE STANDARD THREADED JOINTS.
4. 3" 1/2" AND ABOVE TO BE FLANGE JOINTS USED.
5. THREAD-O-LETS WILL BE ALLOWED FOR BRANCHES
6. PROVIDE A MAIN SHUTOFF VALVE AT THE ENTRANCE TO THE BUILDING (BALL OR PLUG TYPE ONLY).
7. PROVIDE A BALL TYPE GAS SHUTOFF VALVE AGA APPROVED AT EVERY APPLIANCE
8. PROVIDE A UNION AND DIRT LEG AT EVERY APPLIANCE BETWEEN SHUTOFF VALVE
9. NATURAL GAS PIPING TO BE SUPPORTED WITH A MINIMUM OF 3/8" THREADED ROD WITH CLEVIS OR GALVANIZED TIE DROP HANGERS.
10. ALL GAS PIPING SHALL BE TESTED BY A CODE APPROVED MEANS PRIOR TO ACCEPTANCE. PROVIDE TEST REPORT TO INSPECTING AGENCY.
11. SLEEVE AND FIRE PROTECT ALL WALL PENETRATIONS PER CODE.
12. PROPERLY SUPPORT VERTICAL RODS TO APPLIANCES, DO NOT ALLOW THE WEIGHT THE GAS PIPING TO BE A LOAD ON THE APPLIANCE CONTROL VALVE.
13. LABEL ALL NATURAL GAS PIPING FOR EASY IDENTIFICATION - MARK ANY CEILING TIE WHERE VALVES MAY BE LOCATED.
14. COORDINATE ANY NECESSARY GAS SHUT DOWNS WITH BUILDING SUPERVISORS AND THE GAS COMPANY.
15. ALL PENETRATIONS THROUGH FIRE RATED WALLS, BARRIERS OR PARTITIONS SHALL BE PROTECTED TO BE CAULKED DEPENDING ON THE REQUIRED APPLICATION. FIELD VERIFY APPLICATION.

SCALE: 3/32" = 1'-0"



DRAIN BY		ISSUED	DATE	ISSUED	DATE
CHECKED	T.L.S.	PLANNING	COMMISSION SUBMITTAL	8/9/19	
APPROVED BY	T.L.S.	PLANNING	COMMISSION SUBMITTAL	8/12/19	
DATE	8/7/20	PLANNING	COMMISSION SUBMITTAL	9/13/19	
PRINT DATE		PERMIT	AND CONSTRUCTION	8/7/20	



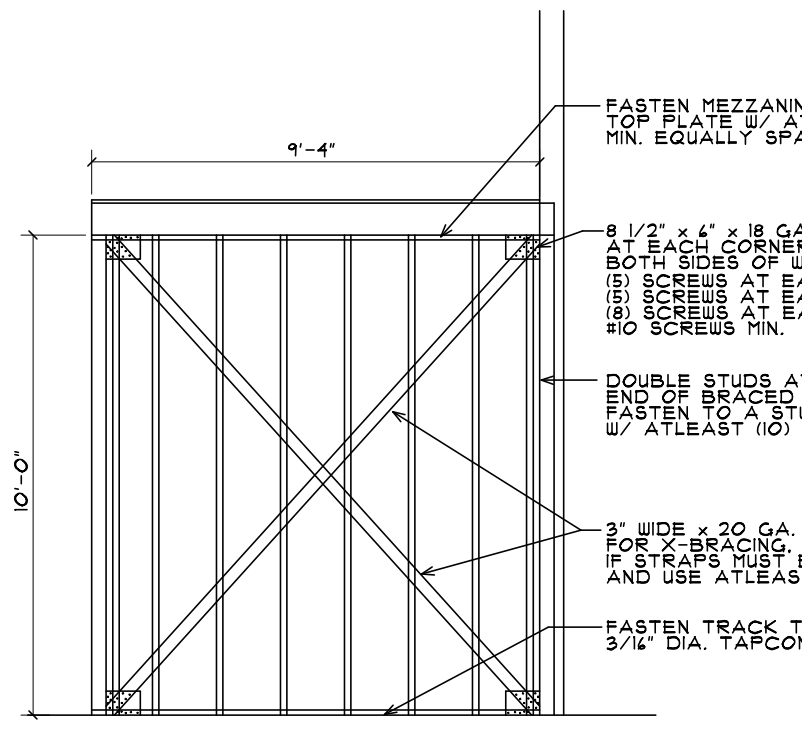


WALL BRACING & FRAMING PLAN NORTH  
SCALE: 1/8" = 1'-0"

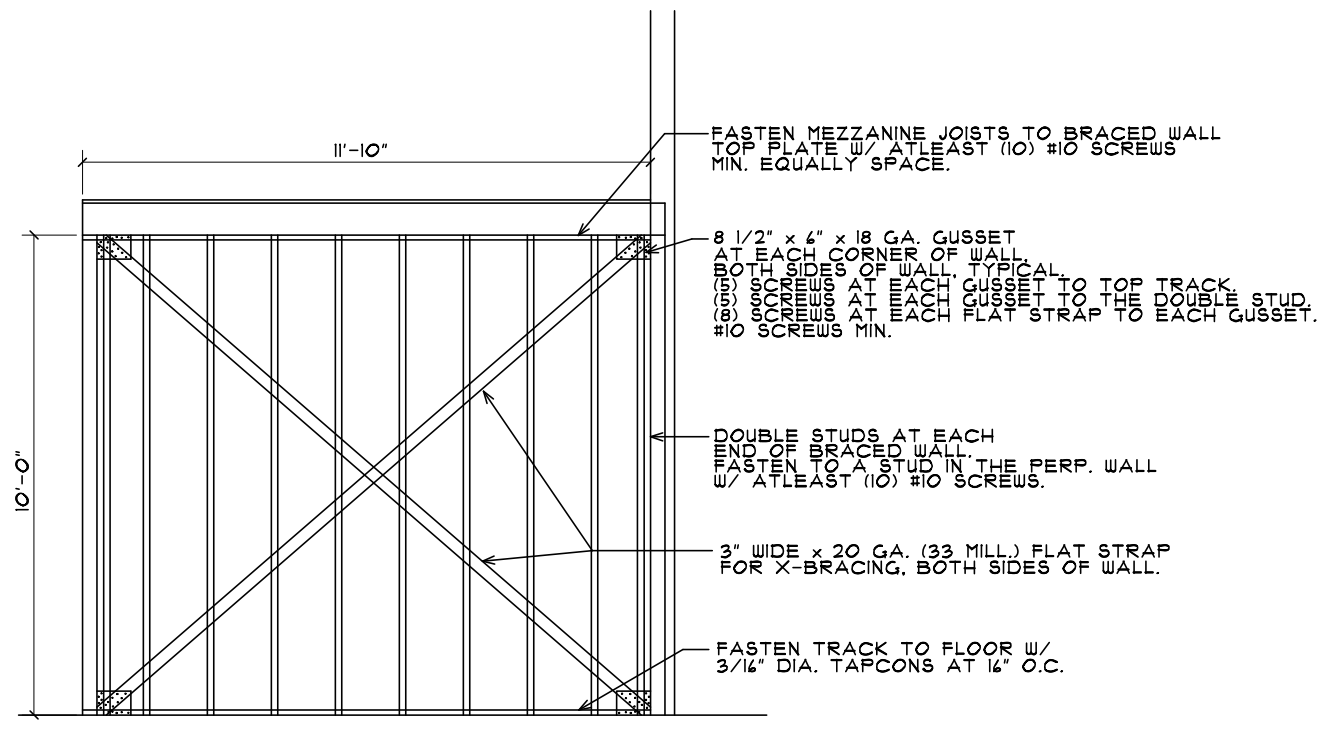
WALL FRAMING SCHEDULE	
1	3 5/8" DRYWALL METAL STUDS, 20 GAUGE, AT 14" O.C. STUDS ARE 10" O" GAUGE ALONG CORRIDORS AND OFFICE STAIRS. FASTEN THE CLIP STRAP TO TRACK WITH 1/2" DIA. TAPCONS AT 12" O.C. LATERAL BRACING ON PLAT SPANNING FROM WALL TO WALL.
2	3 5/8" DRYWALL METAL STUDS TO GAUGE AT 14" O.C. STUDS NEED TO BE ABLE TO SUPPORT A 125 PSF LATERAL LOAD.
3	342842-33 METAL STUDS AT 14" O.C. FOR 10'-0" STACK OVER STUDS AT MEZZANINE, JOIST TO STACK OVER STUDS.
4	WALL TO UNDERSIDE OF DECK, REFER TO SLIP TRACK DETAILS AT RIGHT. METAL STUDS EQUAL TO CLARK-DIETRICH, 20 GA. USE 100S 142-54, 50 KSI JOISTS AT 1'-4" O.C. THIS IS A PUNCHED, 1/2" STUD, 1 5/8" FLANGE, 1/4" GAUGE. NOTE: WHERE LINER PANEL ON WALL, HAT CHANNELS AT 1'-4" O.C. TO BE BRACED PROPER WALL BRACING. IF THE LINER PANEL IS NOT USED THEN WALLS NEED BRACED AT 16" O.C.
NOTE: METAL STUDS EQUAL TO CLARK-DIETRICH, EQUAL ACCEPTABLE	

BRACING SCHEDULE	
B-1	BRACE TOP OF WALLS AT 4'-0" O.C. MAX. WITH A CONTINUOUS METAL STUD ON FLAT. USE 100S 142-54, 50 KSI JOISTS AT 1'-4" O.C. FASTEN THE CLIP STRAP TO TRACK WITH 1/2" DIA. TAPCONS AT 12" O.C. LATERAL BRACING ON PLAT SPANNING FROM WALL TO WALL.
B-2	BRACE TOP FLANGE AT 4'-0" O.C. MAX. WITH A CONTINUOUS METAL STUD ON FLAT. (1) SCREW AT EACH JOIST, USE 100S 142-54, 50 KSI JOISTS.
NOTE: TOP OF WALL BRACING IS NOT INTENDED FOR SUPPORT OF SUPERIOR CEILING. SUPERIOR CEILING MUST BE HUNG FROM THE PRE-ENGINEERED METAL BUILDING FRAME.	
METAL STUDS EQUAL TO CLARK-DIETRICH, EQUAL ACCEPTABLE	
NOTES	
T1	1/4" GAUGE TRACK AT JOIST TO TALL WALL, (2) SCREWS MIN. AT TRACK TO WALL, LOCATE AS FAR FROM CORNER AS POSSIBLE. AT 10'-0" TO TRACK USE 1/4" CLIP WITH AT LEAST 1/2" SCREWS AT EACH LAP. (1) SCREW AT EACH JOIST, LOCATE TOP OF JOIST TO TRACK, (2) SCREWS AT EACH JOIST, LOCATE TOP OF JOIST TO TRACK, (2) SCREWS AT EACH JOIST, LOCATE TOP OF JOIST TO TRACK, (2) SCREWS AT EACH JOIST, LOCATE TOP OF JOIST TO TRACK.
T2	1/4" GAUGE TRACK AT JOIST TO TALL WALL, (4) SCREWS AT TRACK TO EACH WALL STUD, AT JOIST TO TRACK USE 1/4" CLIP WITH AT LEAST 1/2" SCREWS AT EACH LAP. (1) SCREW AT EACH JOIST, LOCATE TOP OF JOIST TO TRACK, (2) SCREWS AT EACH JOIST, LOCATE TOP OF JOIST TO TRACK, (2) SCREWS AT EACH JOIST, LOCATE TOP OF JOIST TO TRACK.
T3	PROVIDE CONTINUOUS TRACK AT ENDS OF JOIST
T4	FLOOR FRAMING TO BE CONNECTED INTO PRE-ENGINEERED METAL BUILDING WALL FRAMING TO BRACE THIS END OF FLOOR

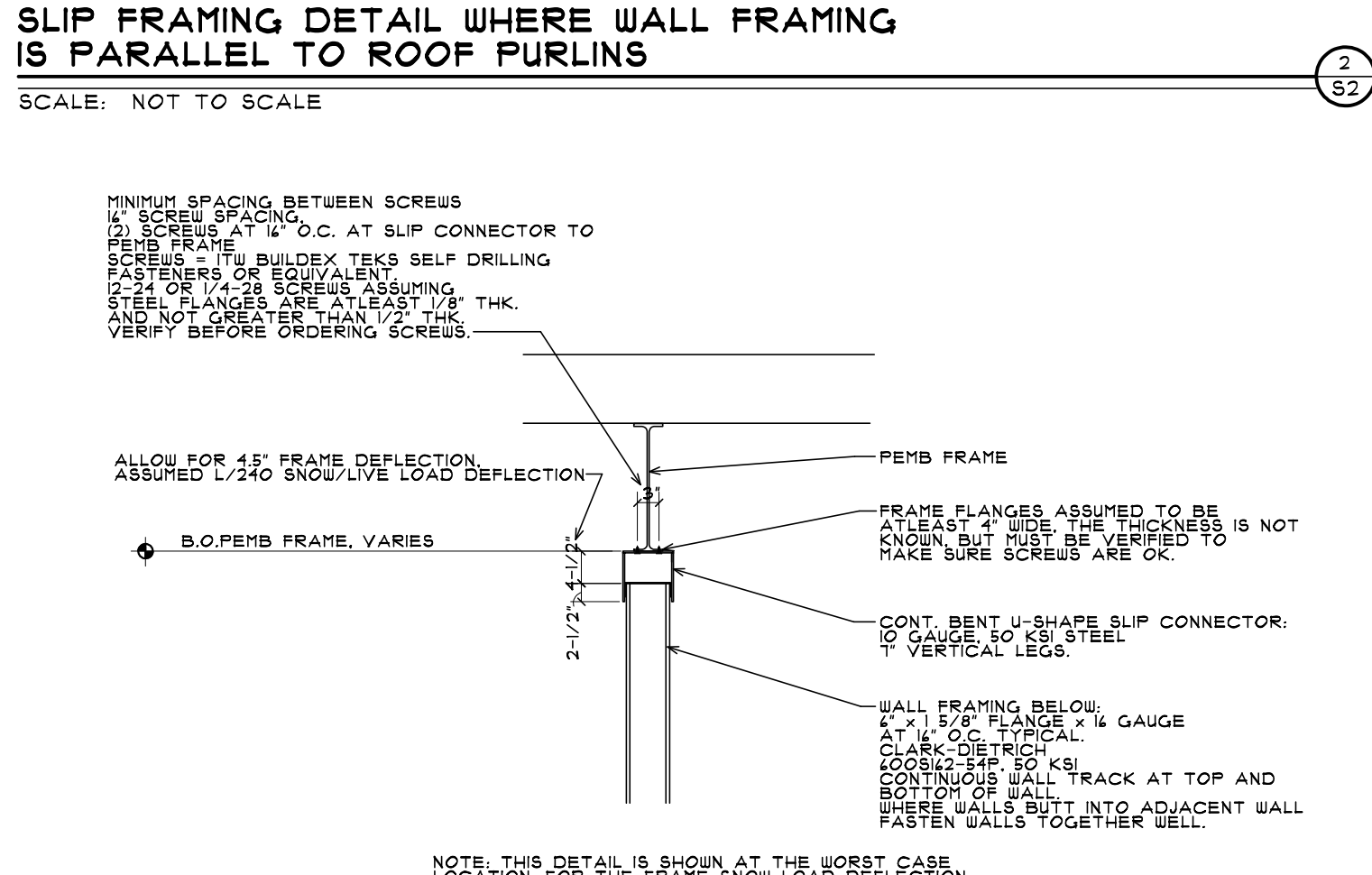
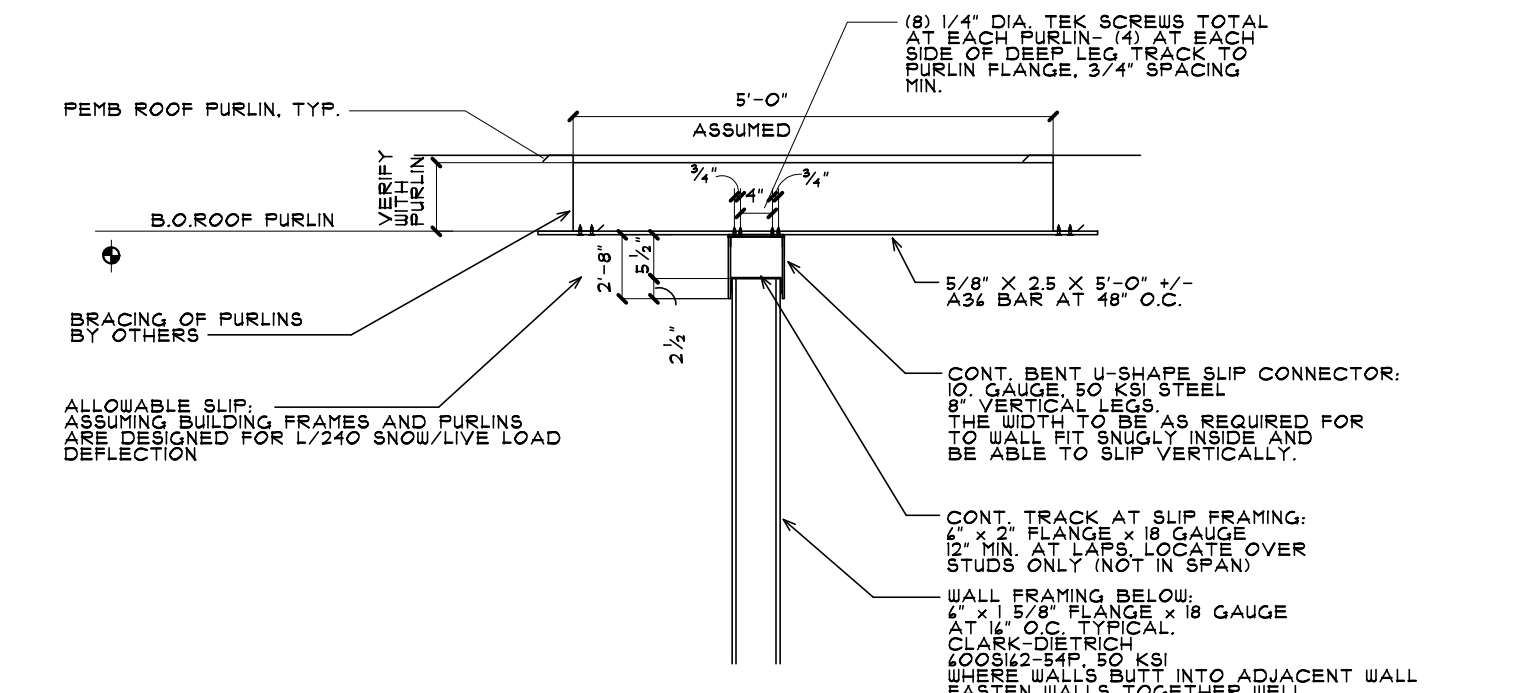
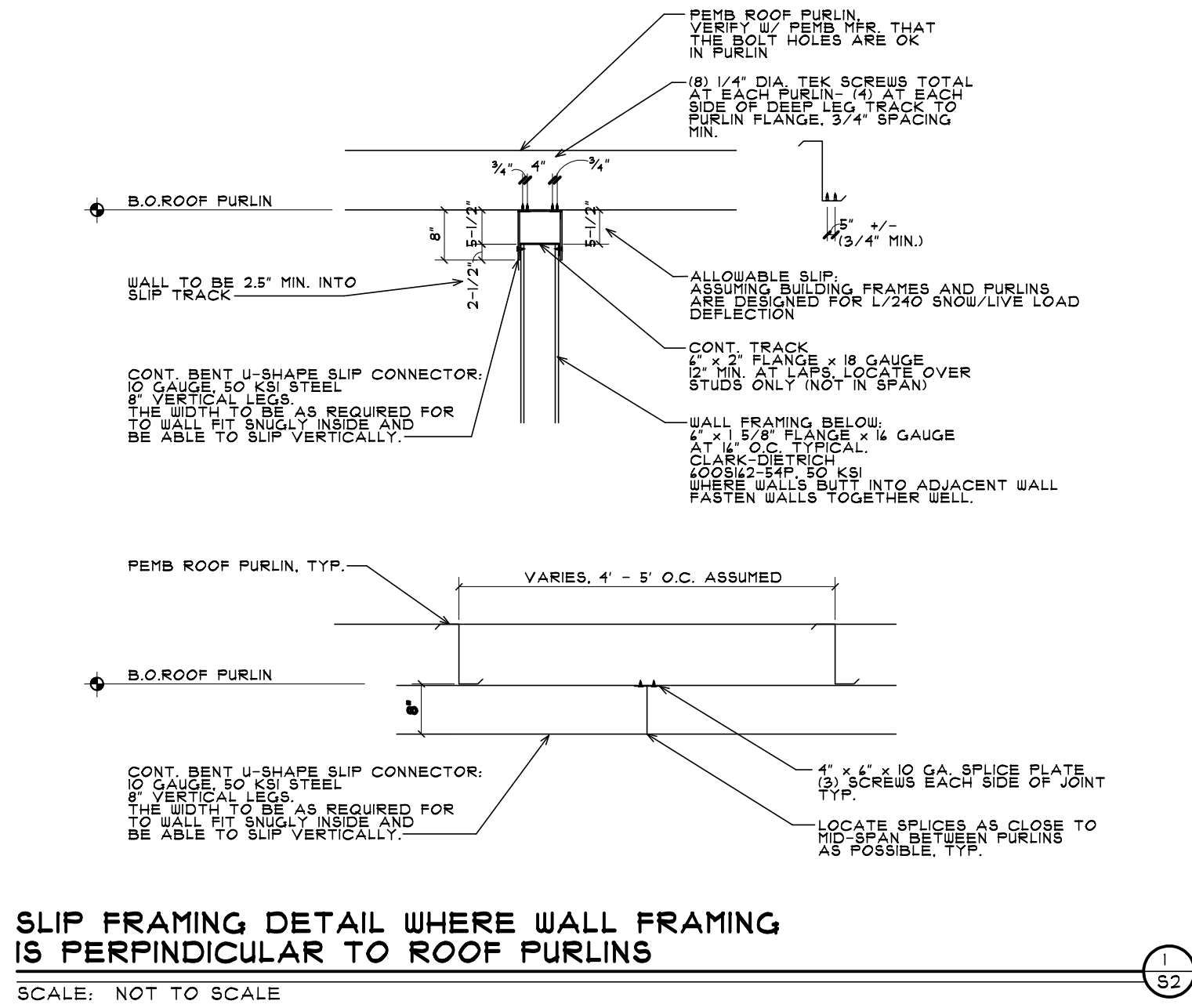
HEADER SCHEDULE	
HD-1	FLUSH HEADER IN CEILING, CONSTRUCT BOX HEADER WITH (2) 800S 142-54, 50 KSI JOISTS AT 1'-4" O.C. FASTEN INCOMING CEILING TRACKS WITH 1/2" DIA. TAPCONS AT 12" O.C. LATERAL BRACING ON PLAT SPANNING FROM WALL TO WALL.
HD-2	BOX HEADER (2) 1000S 200-54, 50 KSI JOISTS WITH 4" WALL TRACKS TOP AND BOTTOM, FASTEN AT 12" O.C. MAX. HEADER IS FOR BRACING ONLY. IF TOP OR BOTTOM TRACK IS SWITCHED TO A ROLL UP DOOR AND PLANNED TO BE SUPPORTED BY THE HEADER, HEADER WILL NEED RESIZED.
HD-3	BOX HEADER (2) 800S 142-54
HD-4	BOX HEADER WITH (2) 1000S 142-54, 50 KSI STUDS
HD-5	BOX HEADER WITH (2) 342842-33 STUDS
HD-6	BOX HEADER WITH (2) 800S 142-54 STUDS
HD-7	BOX HEADER WITH (3) 1000S 200-54, 50 KSI 4" WALL TRACKS TOP AND BOTTOM, FASTEN AT 12" O.C. BEAR ON TOP OF (2) 4" WALL STUDS EACH END
NOTE: METAL STUDS EQUAL TO CLARK-DIETRICH, EQUAL ACCEPTABLE	



MEZZANINE WALL BRACING  
SCALE: NOT TO SCALE



MEZZANINE WALL BRACING  
SCALE: NOT TO SCALE



SLIP FRAMING DETAIL WHERE WALL FRAMING IS BELOW THE BUILDING FRAME  
SCALE: NOT TO SCALE

PROJECT		ISSUED		DATE	
PAUL DAVIS		PLANNING COMMISSION SUBMITTAL		8/9/19	
NEW OFFICE/WAREHOUSE BUILDING		PLANNING COMMISSION SUBMITTAL		8/12/19	
LOT #2 - TEMPLE STREET		PLANNING COMMISSION SUBMITTAL		9/13/19	
PROJECT NO. 19-021		PERMIT AND CONSTRUCTION		8/1/20	
SHEET		T.L.S.		T.L.S.	
SEIDELS ARCHITECTS		T.L.S.		T.L.S.	
INDUSTRIAL		T.L.S.		T.L.S.	
RESIDENTIAL		T.L.S.		T.L.S.	
COMMERCIAL		T.L.S.		T.L.S.	
114 N. COURT AVE. STE. 201 GAYLORD, MICHIGAN 49734		DATE		PRINT DATE	
PHONE (889) 731-0372 FAX (889) 731-6932		8/1/20		8/1/20	
MASON, MICHIGAN 48854					





# General Procedures

## Related to Electronic Meetings

As required under Public Act 228 of 2020, the following procedures outline the accommodation of meetings held, in whole or in part, electronically by City Council or a City Board or City Commission. Additional procedures will be adopted at a later date, by the Council, to accommodate members that are eligible and cannot attend in person for meetings held on or after January 1, 2021.

### Electronic Meeting Procedures for City Council, City Board or City Commission Members

- All attendees including City Council, City Board or City Commission Members will enter the meeting with a muted microphone.
- The meeting Chair's microphone will be unmuted to call the meeting to order.
- During initial roll call, each member will announce the physical location they are participating from by stating the county, city, township, or village and state which they are attending the meeting from.
- The meeting Chair will call for a motion and members will signify making a motion by either voice or the "Raise Hand" feature. The same process will be followed for a second to a motion. The meeting Chair will then acknowledge which member made the motion and which member seconded the motion.
- The meeting Chair will then ask if there is any discussion on the motion. Members will indicate a desire to discuss by either voice or the "Raise Hand" feature. The meeting Chair will then acknowledge the particular member granted the floor for discussion by name.
- Votes shall be taken by roll call.

### Electronic Meeting Procedures for Public

- All public participants entering the meeting will automatically be muted upon entering.
- All public participants should either turn off or leave off their video camera. Only City Council, City Board or City Commission Members will be allowed to have their video cameras on. Your video camera will be turned off for you if you do not turn it off yourself.
- Public rules are displayed in the "Chat" Feature; however, the chat feature will not be turned on to allow for chat comments to be added.
- Public comment:
  - Public only will be allowed to address the members during Public Comments
  - Public is allowed three (3) minutes to speak.
  - Public must state the name and address slowly and clearly before they start to address the Council.
  - Public comments will be addressed in the following order:
    1. Those provided the day of the meeting and sent to the designated person in the meeting instructions by a certain time will be read during the meeting.
    2. Those using the Video Conference Portion (not calling on a telephone) will be asked to use the "Raise Your Hand" Feature in Zoom. The meeting Chair will call on individuals to speak and they will be unmuted at that time.
    3. Participants that are available only by phone, after the meeting Chair requests.
- Inappropriate or disruptive participants will not be allowed or tolerated and will be removed from the meeting.
- Due to the electronic nature of this type of meeting the meeting Chair, at his discretion, may adjourn the meeting with or without notice for any reason. Every attempt will be made to remain connected to the meeting, however two examples of abrupt adjournment may be computer connectivity issues or lack of appropriate participation.



## ADDITIONAL ZOOM INSTRUCTIONS FOR PARTICIPANTS:

### PHONE INSTRUCTIONS - to join the conference by phone

1. On your phone, dial the teleconferencing number provided above.
2. Enter the **Meeting ID number** (provide with agenda) when prompted using your touch- tone (DTMF) keypad.

### VIDEOCONFERENCE INSTRUCTIONS – to watch and speak, but not to be seen

#### **Before a videoconference:**

1. You will need a computer, tablet, or smartphone with speaker or headphones. You will have the opportunity to check your audio immediately upon joining a meeting.
2. Details, phone numbers, and links to videoconference or conference call is provided above. The details include a link to “Join via computer” as well as phone numbers for a conference call option. It will also include the 9- digit Meeting ID.

#### **To join the videoconference:**

1. At the start time of your meeting, enter the link to join via computer. You may be instructed to download the Zoom application.
2. You have an opportunity to test your audio at this point by clicking on “Test Computer Audio.” Once you are satisfied that your audio works, click on “Join audio by computer.”

If you are having trouble hearing the meeting, you can join via telephone while remaining on the video conference:

1. On your phone, dial the teleconferencing number provided above.
2. Enter the **Meeting ID number** when prompted using your touch- tone (DTMF) keypad.
3. If you have already joined the meeting via computer, you will have the option to enter your 2- digit participant ID to be associated with your computer.

#### **Participant controls in the lower left corner of the Zoom screen:**



Using the icons in the lower left corner of the Zoom screen, you can:

- Mute/Unmute your microphone (far left)
- Turn on/off camera (“Start/Stop Video”)
- Invite other participants
- View Participant list – opens a pop-out screen that includes a “**Raise Hand**” icon that you may use to raise a virtual hand during Call to the Public
- Change your screen name that is seen in the participant list and video window

Somewhere (usually upper right corner on your computer screen) on your Zoom screen you will also see a choice to toggle between “speaker” and “gallery” view. “Speaker view” shows the active speaker. “Gallery view” tiles all of the meeting participants.





## City Manager's Report: October 15, 2020

### COVID-19 UPDATES:

- City Hall is open to the public Monday- Thursday 9 a.m. - 3 p.m. Residents are encouraged to make contactless payments, for all payments, including tax payments, by mail, online, or placing in our drive up drop-box in the City Hall parking lot. We are asking residents to limit the use of cash and prepare checks before you enter City Hall. If a receipt is requested, please provide an email address or enclose a self-addressed, stamped envelope.
- Please see the Continuity of Operations document, as of October 15, 2020, available on the City's website: [here](#).
- Please see the COVID-19 Preparedness and Response Plan, as of October 15, 2020 available on the City's website: [here](#).
- Majority of the Emergency Ordinances passed by the City Council due to the pandemic will expire in the next month due to the Governor's Executive Orders no longer being in place. Staff will provide a summary at the next City Council meeting for City Council to consider whether they would like to continue any emergency ordinances.

### ACTIVE PROJECTS STATUS UPDATES (PROJECTS NOT COORDINATED BY THE CITY)

Project Name	Status
<b>BUILDING PERMITS – COMMERCIAL PROJECTS UNDER CITY REVIEW</b>	
118 W. Oak St. – Arcade/Nail Salon <b>PENDING</b>	Two permits pending. 1. Change of Occupancy permit has been filed for Nail Tech in small office space. 2. Change of Occupancy permit has been filed to proceed with opening of the Arcade on the first floor only.
205 S. Cedar - DSN <b>PENDING</b>	Two building permits pending for this address. Both filed after code enforcement violations were noted. 1. Sign permit. 2. Installing door on front of building.
440 S. Jefferson – Bad Brewing <b>PENDING</b>	Building permit is in review to set up two tents over current patio.
600 Buhl – Ingham Animal Control <b>PENDING</b>	Building permit is in review to construct a 14' x 24' pre-fabricated mini-barn.
110 W. Oak – Mason Energy Group <b>ACTIVE</b>	Building permit active for siding, fascia, and soffit work.
117 & 119 E. Maple – Fiedler <b>ACTIVE</b>	Building permit is active for replacement storm doors, replacement windows, exterior painting, and brick exterior re-pointing.
124-136 W. Ash St. <b>ACTIVE</b>	Building permit active for 2 <sup>nd</sup> story interior renovations and replacement of all 2 <sup>nd</sup> story windows.
125 E. Kipp Rd – Dollar Tree <b>ACTIVE</b>	Building permit is active for a 5,460 sq. ft. addition to accommodate up to four new retailers.
213 N. East St. – ServiceMaster <b>ACTIVE</b>	Building permit active to add overhead door, open doorways to meet ADA code and build necessary ramps.
230 Temple St. – Sparrow <b>ACTIVE</b>	Building permit is active for tear off and re-roof of building.
301 Bush – Ingham County <b>ACTIVE</b>	Building permit active for tear off and re-roof of building.
610 N. Cedar – Rite Aid <b>ACTIVE</b>	Building permit is active for removal and installation of new signs on business walls.
700 Buhl – Ingham County Justice Complex <b>ACTIVE</b>	Building permit is active for interior remodeling of existing storage facility to accommodate relocation of vehicle maintenance function. Includes new interior mechanical, plumbing, and electrical work. This work is part of a phased construction project for the new Ingham County Justice Complex.



700 Buhl – Ingham 911 <b>ACTIVE</b>	<b>Building permit is active for installation of antennas, microwave dishes and associated mounts on existing tower. Install unmanned equipment shelter.</b>
801 N. Cedar St.- City Limits <b>ACTIVE</b>	Final building inspection approved for a 4,828 sq. ft. addition along with additional parking. Certificate of Occupancy will be issued pending zoning approval for final site inspection.
1133 S. Cedar – MSU Federal CU <b>ACTIVE</b>	Building permit is active for interior renovations.
1154 S. Jefferson – (former Hart Well Drilling) <b>ACTIVE</b>	Building permit is active for demolition of building, removal of debris, and restoration of disturbed areas. The property owner does not have plans for the site at this time.
525 N. Cedar- Timeless Treasures <b>TEMPORARY OCCUPANCY PERMIT</b>	Remaining work includes the installation of landscaping, repairs to parking lot lighting, and a site plan revision if they intend to include the outdoor flea market.
549 W. Ash- Dog Groomer <b>TEMPORARY OCCUPANCY PERMIT</b>	Staff is working with owner on a revised parking plan to address safety requirements and pre-existing, non-conforming layout. <i>Parking updates have been delayed until spring.</i>
132 S. Cedar– Peak Performance <b>COMPLETED</b>	Ste. 500- Final inspection approved and Certificate of Occupancy issued.
352 W. Columbia St. – Michigan Barn Wood and Salvage <b>COMPLETED</b>	Final inspection approved for application of spray foam over 2 sections of roof.
<b>BUILDING PERMITS – DANGEROUS BUILDINGS/FIRE RESTORATION</b>	
665 Hull Rd. – Cleanlites Recycling <b>PENDING</b>	Building permit is pending after fire.
Private Residence – Park St. <b>PENDING</b>	Building permit is pending after fire.
111 Mason St. – Mason Depot <b>ACTIVE</b>	Building permit is active for reconstruction after fire.
Private Residence – Center St. <b>COMPLETED</b>	Final inspection approved for demolition of garage.
<b>OTHER</b>	
840 E. Columbia St. – Masonic Lodge <b>PENDING</b>	Administrative Site Plan Application is being reviewed for changes to the parking lot for one-way traffic, and the addition of a new driveway to accommodate drop-off at the entrance to building where a new elevator is to be installed for ADA access.
1155 Temple St. – Paul Davis Restoration <b>PENDING</b>	Application to amend previously approved Site Plan to reduce building square footage, modify parking and driveway. The application is scheduled for review at a Special Meeting of the Planning Commission to be held Tuesday, October 27.

## OPERATIONS

- As of October 12, 2020, we have issued 2,816 Absentee Ballots for the November 3, 2020 Election and received 1,368 back. You may request an absentee ballot to be sent by mail up to Friday, October 30, 2020 by 5:00 p.m. or in person up to 4:00 p.m. on Monday, November 2, 2020. However, any ballot requested in person on Monday, November 2, 2020 must be voted at City Hall and cannot be taken with the voter.
- Council Members and many staff participated in the Michigan Municipal League's (MML) annual conference virtually on September 28 through October 2, 2020.
- Elizabeth Hude, Community Development Director and Steering Committee Member of the Arts Council of Greater Lansing, participated in the annual Creative Placemaking Summit 6 on October 14, 2020.
- Administrative approval has been given to the Mason Area Chamber of Commerce for a Hocus Pole-Cus Contest, October 15 through November 2, 2020. This event allows businesses to adopt and decorate a light pole to help celebrate the fall season.
- Administrative approval has been given to the Capital Area District Library – Mason Branch for a Holiday Reindeer Event, December 10, 2020. This event will be a drive-through Rayner Park to view live reindeer.
- A grant funded through a partnership between Michigan State Police and Evenflo has allowed the City of Mason to obtain fourteen child car seats to give away to those in need. This is possible, due to Officer Flores' formal training and credentials as a Car Seat Technician.



- Leaf collection program is to start Monday October 19. Detailed information is attached and also available on the website: [here](#).

#### Staffing Updates:

- Open Positions – Seasonal Crossing Guard position posted with applications due by Friday, October 23, 2020.
- Additional part-time positions will be posted soon. There is still a hiring freeze on any full-time positions.

#### LARGE CITY PROJECTS

FY 2019-2020			
Project	Project Name/Description	Status	Completed
<b>STREETS, SIDEWALKS, BRIDGES (S)</b>			
<b>2017-S11/ 2017-U19/ 2018-P3</b>	Kerns Road- Cedar Street to Howell Rd./ Hayhoe Riverwalk Trail Extension	Final Restoration completed. Pond restoration work is in progress.	
<b>UTILITIES: SANITARY SEWER, STORM WATER, AND WATER DISTRIBUTION (U)</b>			
<b>2017-U11</b>	Turbine Aeration Blower at POTW	Blower is in the manufacturing phase with an estimated time of arrival of April 2021.	
<b>2017-U24</b>	Study of Sewer Flow on Mason St.	Staff working with Wolverine Engineering to move monitoring equipment to a new area. Staff waiting for next weather event to televise Devon Hills area to identify cause of inflow and infiltration.	

FY 2020-2021			
Project	Project Name/Description	Status	Completed
<b>STREETS, SIDEWALKS, BRIDGES (S)</b>			
<b>2017-S17</b>	Center Street- Walnut Street to N. Bush Street	Final asphalt layer was laid on October 13, 2020.	October
<b>2017-S18</b>	Brookdale Street- W. South St to Willow Street	Completed	August
<b>2017-S19</b>	Cherry- McRoberts Street to Henderson Street	Final asphalt layer was laid on October 13, 2020.	October
<b>2017-S21</b>	Eaton Drive- All	Completed	June
<b>2017-S22</b>	W. Elm Street- McRoberts Street to Lansing Street	Final asphalt layer was laid on October 13, 2020.	October
<b>2019-S9a</b>	E. Maple– S. Jefferson to S. Barnes	Completed	June
<b>2019-S9b</b>	Signal at E. Maple & S. Jefferson	Delayed traffic study due to COVID-19.	
<b>2019-S5a</b>	Henderson Street– Entire length	Final asphalt layer was laid on October 13, 2020.	October
<b>2019-S5b</b>	Alley- W. Columbia Street to W. Sycamore Street	Final asphalt layer was laid on October 8, 2020.	October
<b>BUILDING, PROPERTY, EQUIPMENT (B)</b>			
<b>2019-B16b</b>	Clerk: Election Tabulator Machines	Tabulator has been received. The City received State funding for half of the tabulator (not including the shipping). Total came to \$3405.80 and the Council had originally approved \$5675.00 so \$2269.20 less than we planned.	October

NOTE: After Capital Improvement Program Plan is adopted, the table will be updated to include all projects.





# LEAF COLLECTION PROGRAM

## LEAF COLLECTION:

The Leaf Collection Program is a limited service designed to supplement yard waste collection provided by Granger. Removing the fallen leaves helps to prevent ponding, flooding, and road icing as a result of blocked drainage paths and catch basins. As a service to our residents, City staff collect leaves in the right of way during this specific time.

You can help the City clear the autumn leaves by raking leaves that have accumulated in your front yard out to the right of way, no more than a few days before your street's collection day; see the Zone Map below. Please do not rake leaves onto sidewalks, roadways, on top of catch basins, or obstruct water flow in any way. Improperly placed leaves may cause them to be missed during the pick-up day and can create dangerous conditions for pedestrians, cyclists, motorists, and may create flooding conditions. All other leaves (like those from side and back yards) should be placed in either disposable paper bags or in trash cans, 30-gallon or smaller, and placed at the curb on Fridays. Granger will accept up to 5 bags or cans weekly from each residence **until November 20, 2020**, as part of their service with the City.

## LEAF COLLECTION SCHEDULE AND ZONE MAP: Collections will be mid to late October through November 20, 2020.

Pick-up days are coordinated by the Zone in which you live. If you see City staff in your area a few days earlier or later than scheduled, they are just getting an early start or making a final collection pass in your area. Please understand that snow accumulation and other weather-related events may impact the City's ability to run the program.

### Zone 1 - Mondays

South of W. Ash, West of S. Jefferson

### Zone 2- Tuesdays

North of W. Ash, West of N. Jefferson

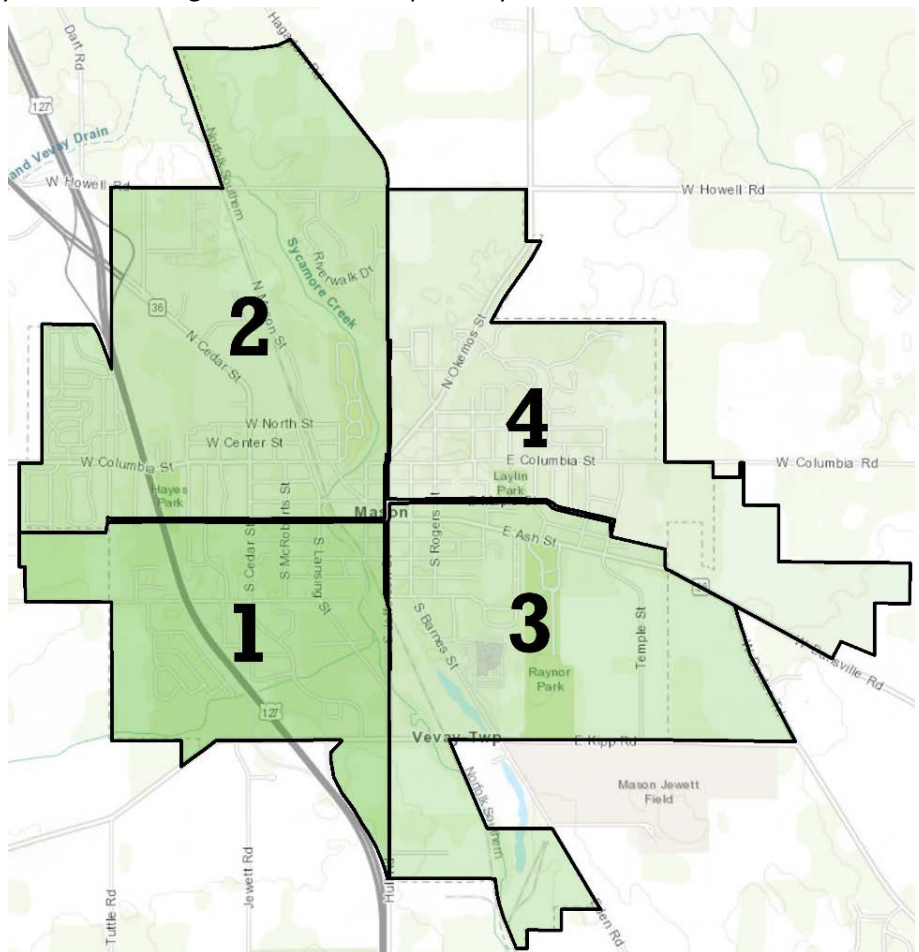
### Zone 3- Wednesdays

South of E. Maple, East of S. Jefferson

### Zone 4- Thursdays

North of E. Maple, East of N. Jefferson

**\* Fridays are catch-up days (as needed)**



## COMPOST CENTER:

The Compost Center is available for anyone who would like to pick-up compost or drop off leaves; brush and limbs are not accepted. It is located at 862 Mason St. and will be open **Saturday, October 24, 2020** through **Saturday, November 21, 2020**; Monday – Friday 8:00 a.m. to 3:00 p.m. and Saturday 8:00 a.m. to 12:00 p.m.; closed on Holidays.

## RESOURCES:

More Questions? Please contact our Customer Service Desk at 517.676.9155