



PLANNING COMMISSION
WEDNESDAY, AUGUST 25, 2021
Sycamore Room – 1st Floor
201 West Ash Street Mason, MI
6:30 P.M.

AGENDA

1. CALL TO ORDER

2. ROLL CALL

3. PUBLIC COMMENT

4. APPROVAL OF MINUTES

- A. Approval of Minutes from Regular Planning Commission Meeting on August 10, 2021.

5. UNFINISHED BUSINESS

- A. Resolutions 2021-04 and 2021-05: Alan Boyer, LSG Engineers & Surveyors, on behalf of Gestamp Mason, LLC, has requested approval of a Special Use Permit and Final Site Plan for construction of a new 49,200 sq. ft. addition on an existing 624,780 sq. ft. building to be used as a Finish Goods Product Storage (Low Bay) and to perform other related site improvements on property located at 200 E. Kipp Rd, parcel 33-19-10-16-100-024. The parcel is zoned M-2 General Manufacturing District.

6. NEW BUSINESS

7. LIAISON REPORT

- A. City Council Report
- B. [City Manager Report](#)

8. ADJOURN

**CITY OF MASON
PLANNING COMMISSION MEETING
MINUTES OF AUGUST 10, 2021
DRAFT**

Sabbadin called the meeting to order at 6:30 p.m. in person at Mason City Hall.

MOTION by Waxman, second by Barna, to amend the agenda to include Oath of Office as item 2, and to add the text 'Special Use Permit' to Gestamp's request in item 5.A.

OATH OF OFFICE

City Clerk Sara Jarvis administered the Oath of Office to Kyle Elizabeth Kirkby, Planning Commissioner recently appointed by City Council at their August 2 meeting. Chair Sabbadin welcomed Commissioner Kirkby.

ROLL CALL

Roll Call		Present	Absent	Notes
Commissioner	Barna	X		
Council Liaison	Clark	X		
Vice-Chair	Howe		X	Without notice
Commissioner	Husby		X	With notice
Commissioner	Kirkby	X		
Commissioner	Perrault	X		
Chair	Sabbadin	X		
Commissioner	Waxman	X		
Secretary	Wren	X		Arrived at 6:49 p.m.

Also present: Elizabeth A. Hude, AICP, Community Development Director

PUBLIC COMMENT

None.

APPROVAL OF MINUTES

MOTION by Waxman, second by Barna, to approve the Planning Commission meeting minutes from June 15, 2021.

Yes (7) Barna, Clark, Kirkby, Perrault, Sabbadin, Waxman, Wren

No (0)

Absent (2) Howe, Husby

MOTION PASSED

PUBLIC HEARING

A. Alan Boyer, LSG Engineers & Surveyors, on behalf of Gestamp Mason, LLC, has requested approval of a Final Site Plan and Special Use Permit for construction of a new 49,200 sq. ft. addition on an existing 624,780 sq. ft. building to be used as a Finish Goods Product Storage (Low Bay) and to perform other related site improvements on property located at 200 E. Kipp Rd, parcel 33-19-10-16-100-024. The parcel is zoned M-2 General Manufacturing District.

OPEN: 6:36 p.m.

CLOSED: 6:42 p.m.

PUBLIC COMMENTS: NONE

DISCUSSION: Alan Boyer, LSG Engineers & Surveyors, on behalf of Gestamp Mason, LLC presented a summary of the project as described in the agenda packet. Director Hude provided an overview of the staff report and that additional information had been requested in several areas – parking, lighting, landscaping, sidewalks and traffic/truck routes. Mr. Boyer pointed out their statement in the packet that they are working with staff to address the items and take no exception to the items in the report. He noted additional Gestamp representatives in the audience – Jeff Bowling, Christopher Trevisan, and Damian Starr.

Discussion between the applicant and Commissioners took place. Key points discussed included encouraging the applicant to utilize the provision in the ordinance to defer construction of unnecessary new required parking to minimize impervious surface, the history and need for sidewalk connections on the site, and the need for a traffic study. The applicant reported that an additional 40 trucks per day would visit the site, all routed through an existing high-traffic area from the Kipp Rd exit on US-127 east to turn right and travel south on Hull Rd, then turn left to enter on Trillium Dr. They do not intend to utilize the Barnes Rd exit at this time. They would like to arrange for the traffic study to be completed and made available at a later date as the lead time is about 4 months out for completion. Gestamp would like to begin construction at the end of the month, August 31. They will have the revised plans and additional information ready to meet the deadline for a special meeting of the PC the week of August 23. The Commissioners determined that Wednesday, August 25, at 6:30 p.m. would be best for attendance.

MOTION by Waxman, second by Clark, to table the discussion to Wednesday, August 25, 2021 at 6:30 p.m.

Yes (7) Barna, Clark, Kirkby, Perrault, Sabbadin, Waxman, Wren

No (0)

Absent (2) Howe, Husby

MOTION PASSED

UNFINISHED BUSINESS

A. Master Plan Update

Director Hude encouraged everyone to sign up for the email updates and to anticipate a request for future joint PC/CC kick-off meeting in the future, possibly late September or October.

NEW BUSINESS

A. Discussion: Ordinance text amendments regarding attached garages and front yard parking
Director Hude provided an overview of her request for guidance on a future text amendment to the ordinance that clarifies the community's expectations on projecting garages. There have been different interpretations over the years and staff is seeking PC input on amendments to clarify existing language, and accommodate modern housing styles. Commissioners asked questions and discussion took place regarding the need for an ordinance amendment – some felt no changes were necessary; if the amendment should limit projecting garages at all or only in certain areas such as older neighborhoods with established patterns (infill) vs. newer subdivisions; and if it was necessary to regulate architectural details like windows in a garage door. Some expressed support for addressing the issue noting examples of housing that appeared to be a wall of garages and the need to consider the character of Mason. Staff was advised to revise the proposal and bring to the next meeting in September, removing some of the detail on restrictions, and to focus the amendments toward clarifying and strengthening subjective language.

A. Discussion: Youth Advisor Role

Youth Advisor, Thomas De LaFuente was unable to attend the meeting. Commissioners agreed to take up the discussion further at the September meeting when he was present.

LIAISON REPORT

A. Council Liaison Report

Council Liaison Clark provided an update regarding actions taken at the last City Council meeting on August 2.

B. City Manager Report

Director Hude stated that they were still working to fix the link in the packet, and that printed copies were made available this evening.

Meeting was adjourned at 8:25 p.m.

Megan Wren, Secretary



City of Mason
Planning Commission
Staff Report

TO: Planning Commission
FROM: Elizabeth A. Hude, AICP, Community Development Director
SUBJECT: 200 E. Kipp - Gestamp
DATE: August 19, 2021 for August 25, 2021 mtg - FINAL

Alan Boyer, LSG Engineers & Surveyors, on behalf of Gestamp Mason, LLC has submitted a request for approval of a Special Use Permit and Final Site Plan for construction of a new 49,200 sq. ft. addition on an existing 624,780 sq. ft. building to be used as a Finish Goods Product Storage (Low Bay) and to perform other related site improvements on property located at 200 E. Kipp Rd, parcel 33-19-10-16-100-024. The parcel is zoned M-2 General Manufacturing District.

The applicant has submitted revised drawings to address comments and requests for additional information as noted in the August 10, 2021 Planning Commission packet. The revised documents were received Monday, August 16, 2021 and include:

- Plans for Construction of Gestamp Expansion, prepared by LSG Engineers & Surveyors, dated May 24, 2021, last revised August 13, 2021:
 - Cover, Sheet C
 - As Built Site Survey – Existing Conditions, Sheet C1.0
 - Topographic Survey, Sheet C1.1
 - Overall Site Plan, Sheet C2.0
 - Overall Site Plan – Traffic Plan, Sheet C2.01 (New)
 - Overall Site Plan – Construction Phasing, Sheet C2.02 (New)
 - Detailed Demolition Plan, Sheet C2.1
 - Detailed Site Plan, Sheet C3.0
 - Detailed Sidewalk Plans, Sheet C3.1 (New)
 - Detailed Grading Plan, Sheet C4.0
 - Detailed Utility Plan, Sheet C5.0
 - Fire Main Plan and Profile, Sheet C5.1
 - Storm Drainage Plan and Profile, Sheet C5.2
 - Miscellaneous Details, Sheet C6.0
 - Fire Main Details, Sheet C6.1
 - Storm Drainage Details, Sheet C6.2
 - Soil Erosion Control Plan, Sheet C7.0
 - Soil Erosion Control Details, Sheet C7.1
 - Soil Erosion Control Notes, Sheet C7.2
 - Landscape Plan, Sheet L1.0

- Site Photometric Plan, Sheet E2.0 (New)
- Parking detail for the proposed future parking bank (New)

Click here to access the packet of materials from the August 10, 2021 Planning Commission Meeting and Public Hearing – [MEETING PACKET LINK](#).

The applicant paid a fee of \$375, and together with the plans and documents listed above, the application appears to satisfy the submittal requirements of Sec. 94-225(b) and 94-226(a).

PUBLIC NOTICE

Notice was given as required in Sec. 94-101 which requires notices to be published in a newspaper of general circulation, and to be mailed to owners and occupants within 300 feet of the boundary of the subject property. The public hearing notice was posted at City Hall and published in the Ingham County Community News Legal Section on Sunday, July 25, 2021; notices were mailed to owners and occupants on July 22, 2021.

CONSTRUCTION SCHEDULE

In the submission letter dated July 2, 2021, it states Gestamp Mason, LLC, plans to begin construction immediately upon approval and permitting. Building occupancy is desired in Spring of 2022 or sooner. The construction will happen in two phases. Phase 1 will be the road installation and Phase 2 will be the construction of the new 49,200 sq. ft. building addition.

SITE HISTORY

The facility was first constructed in 1997 beginning at 241,444 sq. ft. Expansions occurred in 2007, 2011, 2016 resulting in the current total square footage of 624,780 sq. ft. With the proposed expansion, the facility will reach 673,980 total sq. ft.

LAND USE/ZONING/MASTER PLAN

The site is bordered by Kipp Road to the north, Hull Road to the west, and Trillium Drive to the south. The Jackson & Lansing Railroad borders the property to the east. Approximately 850 feet of the Sycamore Creek crosses the northeast corner of the property. A portion of the 100-year floodplain is located in northeast corner of the site. Kipp and Hull rights of way are under the jurisdiction of the Ingham County Road Department. The parcel is zoned M-2 General Manufacturing District.

This is a material change to a previously approved site plan and therefore subject to Planning Commission review per Sec. 94-228. A Special Use Permit is required only in accordance with Sec. 94-152(d)(1) Above ground storage of flammable liquids or combustible materials. There are above ground propane storage tanks being relocated on the site. The current and proposed uses are allowed by right under Sec. 94-152(b)(12)f. Industrial manufacturing, processing, or assembling of transportation equipment, such as motor vehicles and non-motorized vehicles and parts. A prior draft of the staff report suggested a SUP may not be required and has since been confirmed as stated here.

The surrounding land uses and zoning are as follows:

	Current Land Use	Zoning	Future Land Use
North	Commercial and Undeveloped	C-2 (General Commercial) M-1 (Light Manufacturing)	Mixed Use
East	Jackson and Lansing Railroad Vevay Township	Vevay Township	Vevay Township
South	Industrial and Undeveloped	M-2 (Light Manufacturing)	Industrial
West	Commercial, Residential and Vacant Residential	C-2 (General Commercial) AG (Single Family Agricultural)	Commercial

The Master Plan Goal and Objectives that are most relevant include:

Community Character, Historic Preservation and the Environment [*on p. 2-3:*](#)

GOAL: Preserve the quiet, historical, and small-town character of Mason along with the integrity of its environmental resources. Objectives 1) Encourage land development designed in scale with existing developed areas and the dominant character of the City, through reasonable standards addressing density, building size, height, architectural design, setbacks, signage, opens space, and other development features. (cont.) 9) Maintain and beautify established and new parking areas through appropriate landscaping and screening. 10) Encourage landscaping and screening programs, in association with new commercial and industrial development, to minimize negative impacts on community character. 11) Encourage the preservation of open spaces and natural resources (such as woodlands, wetlands, and stream corridors) as part of the land development process, including the use of clustered housing design.

Industrial Development are stated [*on p. 2-6:*](#)

GOAL: Provide opportunities for the reasonable expansion of industrial development in a manner that is sensitive to the predominant small-town character of the community, minimizes new public service costs, and protects the viability and desirability of residential and commercial areas.

Objectives: 1) Recognize the significance of key corridors such as U.S. 127 and the Jackson and Lansing Railroad as potential opportunities for the location of new industrial development. 2) Emphasize industrial development that is in character and scale with surrounding land uses and the City as a whole, considering such features as building size and height, architectural design, setbacks, signage, lighting, landscaping, and open spaces. 3) Encourage industrial development to be located in targeted areas rather than indiscriminately encroach into residential and commercial areas. 4) Emphasize industrial uses that have comparatively low public services and infrastructure needs. 5) Emphasize industrial uses that minimize negative impacts upon adjacent land uses, taking into consideration such factors as noise, traffic, lighting, fumes and shadow patterns. 6) Encourage industrial uses to locate within well-designed industrial parks, characterized by ample landscaping buffering and interior street systems. 7) Through site plan review proceedings, work to ensure that new industrial uses reflect a visual character that is complementary to the City as a whole. 8) Encourage the redevelopment and upgrading of deteriorating and unsightly industrial properties.

COMMENTS – DEPARTMENTS AND AGENCIES

A public hearing was held on August 10, 2021 where no public comments were received. Click here to access the packet of materials from the August 10, 2021 Planning Commission Meeting and Public Hearing – [MEETING PACKET LINK](#).

Staff circulated the application and plans to city staff and agencies with jurisdiction over the project. The following comments were received.

Engineer	See email in August 10 packet. <i>Comments have been addressed.</i>
Fire	[City Engineer email] captures my concerns about access roads and the hydrant connections. Additionally, will there be any hazardous chemicals or products stored in the addition and are they up to date with the Ingham County P-2 reporting? <i>Applicant has confirmed IC P-2 reporting is up to date, the new canopy will store empty steel shipping racks and steel baskets.</i>
Police	Add sufficient lighting for safety and security – all entrances and travel/parking areas. <i>Lighting plan addresses concerns.</i>
Public Works	See City Engineer comments above.
Building	A preliminary review of the applicable code references including area, occupant load, egress requirements, use and occupancy classification, etc all seem to be correct.
Ingham County Drain Commission	SESC Permit application has been submitted and is in review.
Ingham County Road Department	(New) See letter received August 10, 2021. Copy of Traffic Study requested.
Michigan Department of Transportation (MDOT)	None
Michigan Department of Environment, Great Lakes, and Energy (EGLE)	EGLE PERMIT NO. WRP030048 V1.0 was issued on 8/3/2021
Federal Aviation Administration (FAA)	Review is pending.

STAFF REVIEW

Staff finds that the Site Plan appears to meet the standards for Final Site Plan Approval. This is based upon a review of the revised materials submitted. Staff has revised the sections below based upon the revised materials received.

Section 94-191(f) of the Mason Code provides the Basis of Determination for Special Use Permits.

Before approving a special use permit, the planning commission shall find by clear and convincing proof that the applicable standards set forth by this chapter shall be satisfied by the completion and operation of the proposed development. The planning commission shall review the particular circumstances and facts of each proposed use in terms of these standards and shall make written findings showing that such use shall:

STATUS/NOTE	REQUIREMENT
M = Appears to meet requirement; D = Does not appear to meet requirement; I = Information Needed; R = Recommendation; W = Waiver Requested; <i>Italics = Staff comments</i>	
M	(1) Be designed, constructed, operated, and maintained so as to be harmonious and appropriate in appearance with the existing or intended character of the general vicinity and that such a use will not change the essential character of adjacent property or the zoning district in which it is proposed.
<i>The location is currently zoned M-2 General Manufacturing District. The zoning and future land use of the surrounding properties ranges from manufacturing and commercial to residential as indicated in the zoning table on page 3 of this report. It appears that these criteria will be met related to the proposed placement of the above ground propane storage tanks. Tanks on the east side of the building are not generally visible from the road; tanks on the southwest corner of the property are screened by a berm/landscaping from the road.</i>	
M	(2) Not be hazardous or disturbing to uses in the same general vicinity and will be a substantial improvement to property in the immediate vicinity and to the community as a whole.
<i>The proposed above ground propane storage tanks will be placed away from the building across the travel lane and protected by bollards and fence. This is an improvement in safety to the property</i>	
M	(3) Be served adequately by essential facilities and services, such as highways, streets, police and fire protection, drainage structures, refuse disposal, water and sewage facilities, and schools.
<i>The site is currently adequately served by essential facilities and services.</i>	
M	(4) Not create additional requirements at public cost for public facilities and services.
<i>Staff is not aware of any additional requirements related to the above ground propane storage tanks.</i>	
M	(5) Not involve uses, activities, processes, materials, and equipment or conditions of operation that will be detrimental to any person, property, or the general welfare by noise, fumes, glare, or odors.
<i>It does not appear that the proposed location and continued use of the above ground propane storage tanks will cause a detriment of this nature.</i>	
M	(6) Not be located such that it will directly or indirectly have a substantial adverse impact on the natural resources of this city.
<i>Staff is not aware of any conditions associated with this project that would create any substantial adverse impact.</i>	
M	(7) Be in compliance with other applicable local, county, state, or federal rules and regulations.
<i>The applicant is responsible for pursuing the necessary county, state, or federal approvals and permits related to the installation of the above ground propane storage tanks in addition to this local SUP.</i>	

§94-227. Standards for site plan review and approval. In reviewing an application for site plan review and approval the following standards shall apply:

STATUS/NOTE	REQUIREMENT
M = Appears to meet requirement; D = Does not appear to meet requirement; I = Information Needed; R = Recommendation; W = Waiver Requested; <i>Italics = Staff comments</i>	
M	(1) The site shall be developed so that all elements shall be harmoniously and efficiently organized in relation to the size, shape, type and topography of the site and surrounding property.
	<i>The site appears to be harmonious and efficiently organized. The new building addition is appropriately scaled with the remainder of the building and along with the new service lane will improve traffic circulation throughout the site. The changes are integrated with the topography and appear to be harmonious with surrounding properties. See parking and sidewalk discussion below.</i>
M	(2) The site shall be developed so as not to impede the normal and orderly development, improvement, and use of surrounding property for uses permitted in this chapter.
	<i>The new addition and service drive does not appear to impact the uses of surrounding property.</i>
M	(3) All buildings or groups of buildings shall be arranged to permit emergency vehicle access by some practical means to all sites.
	<i>The service drive extension will improve emergency vehicle access to the building. Sheet C2.02 satisfies the City Engineer's previous email requesting information regarding the staging plan for maintaining emergency vehicle access during construction.</i>
M	(4) Every structure or dwelling unit shall have direct access to a public street or indirect access to a public street via an approved dedicated private street.
	<i>The site has access on a public street to the north (Kipp) and a private street to the south (Trillium) and meets this criterion.</i>
M	(5) Appropriate measures shall be taken to ensure that the addition or removal of surface waters will not adversely affect neighboring properties, that controls are in place to minimize sedimentation and erosion, and that topographic alterations are minimized to accommodate storm water management.
	<i>The site will be subject to requirements of the Ingham County Drain Commission. A revised Storm Water Maintenance Agreement with the City will be required and storm drains must be sealed inside the building as stated per the City Engineer's previous email and indicated on Sheet C5.2 Note #6.</i>
M	(6) Provisions shall be made for the construction of storm sewer facilities including grading, gutters, piping, on-site storage, and treatment of turf as required to handle stormwater and prevent erosion.
	<i>Same as previous.</i>
M	(7) Secondary containment for above ground areas where hazardous substances are stored or used shall be provided as required by the city fire chief.
	<i>Above ground propane storage tanks are being relocated and are subject to a Special Use Permit. The plans appear to satisfy this requirement.</i>
M	(8) Exterior lighting shall be designed and located so that the source of illumination is directed away from adjacent properties, the intensity of lighting is the minimum necessary, and the direction of lighting is downward as much as is possible and appropriate for the project.
	<i>A photometric plan demonstrating that site lighting be consistent with the lighting requirements listed in Section 94-177(e) of the zoning ordinance has been provided on Sheet E2.0 and appears to meet this requirement.</i>

M	(9) All loading and unloading areas, outside storage areas, and refuse receptacles shall be screened from casual view from the public rights-of-way and adjoining land uses.
<i>The revised plans appear to satisfy the requirements of Sec. 94-293 and 94-173(b).</i>	
M	(10) Site plans shall meet the driveway, traffic safety, and parking standards of the city in such manner as necessary to address the following:
	a. Safe and efficient vehicular and non-vehicular circulation, including parking areas, non-motorized linkages to abutting parcels, uses, sidewalks, and trails.
	b. Shared driveways and service drives.
	c. Adequate and properly located utilities.
<p><i>PARKING – Parking is based upon USABLE FLOOR AREA (UFA) which is defined in Sec. 1-2. The plan has been revised to accurately reflect calculations based upon UFA. Pursuant to Section 94-292(g)(2) the Planning Commission may defer parking space requirements only where the applicant has demonstrated that the required parking standards is excessive. Given the employee traffic data supplied on sheet C2.01 and that no increase in employees is anticipated, staff recommends granting the waiver and allowing the deferment. Revised Sheet C2.0 shows a designated future parking bank with detail provided on a separate sheet for 91 spaces, 20% measuring 9x20 as allowed. For 423 parking spaces, the Americans with Disabilities Act (ADA) requires a total of nine (9) handicap parking spaces, 2 of which must meet the standards for a van. Staff will add a condition for approval that existing spaces be converted to handicap parking as required prior to obtaining Certificate of Occupancy.</i></p> <p><i>SIDEWALKS - The City is holding \$4,500 which was received from Gestamp after the 2012 expansion (PC Resolution 2011-03) as security for the completion of the sidewalk. As discussed in the Memo dated Sept. 26, 2011 and the City Engineer's email, due to a shallow gas line at the corner, an alternative sidewalk connection is necessary. Per Sheets C2.0 and C3.1, the site plan has been amended to accommodate the remaining sidewalk, to be installed by Gestamp. Upon completion, Gestamp will grant a sidewalk easement to the City for the purpose of future maintenance, and the City will refund the money being held.</i></p> <p><i>TRAFFICE, DRIVEWAYS AND SERVICE DRIVES – Sheet C2.01 provides revised traffic counts and a circulation plan. The plan proposes a second access point along Trillium Drive. There appears to be no record of a Traffic Study done previously per Sec. 94-176(g) which is required for both a second drive and for 100 trips generated during a peak hour. The County Road Department has also requested a copy of the traffic study. The requirement for completion of a traffic study will be added as a condition for approval to be completed prior to obtaining a Certificate of Occupancy.</i></p> <p><i>UTILITIES – The plan appears to meet the requirements for utilities and has satisfied the concerns in the City Engineer's previous email contained in the August 10, 2021 packet.</i></p>	
M	(11) Provisions shall be made for proposed common areas and public features to be reasonably maintained.
<i>The revised plan indicates that a sidewalk easement will be granted to the City of Mason for the connection in the northwest corner of the property at the corner of Kipp and Hull roads.</i>	
See below	(12) The site plan submittal shall demonstrate compliance with all applicable requirements of this chapter, chapters 58 and 74, the building code, and county, state, and federal law.
M	Chapter 94 – Zoning and Chapter 100 – Dimensional Requirements
<i>The plan appears to meet the building height, setbacks and lot coverage site development standards listed in Section 94-121(c) and Tables 100-1 and 100-2 as noted on the plan sheets.</i>	
M	Sec. 94-172(3) Vision clearance across corner lot.
<i>The proposed plan appears to meet the requirements for vision clearance where the drives intersect with the roads. There appear to be no obstructions caused by landscaping or signage.</i>	

D/R	Sec. 94-241 Landscape, screening and buffer requirements
<i>The applicant has requested waivers from the landscaping requirements as shown on Sheet L1.0. The Planning Commission may choose to waive the requirements as requested so long as the intent to provide landscaping within parking areas, and to enhance aesthetic and ecological qualities, character, privacy, and land value is met. The Planning Commission has the option to accept the proposed plan and waive the requirements for the landscaping pursuant to Section 94-241 (e)(6), or require the plan to be revised with the required vegetation. Due to the significant natural buffer to the east, the berm on the west, and the proposed addition of trees around the pre-existing parking area where no changes to parking are proposed, staff recommends granting the waivers.</i>	
M	Chapter 58 - Signs
<i>No new or expanded freestanding sign is proposed. Any proposed signage will require a separate building permit subject to the requirements of Chapter 58 of the Zoning Ordinance, including Division 2 of said chapter.</i>	

The applicant has submitted a Final Site Plan that, with the requested waivers and conditions, appears to meet the requirements for approval of a Special Use Permit with joint Preliminary/Final Site Plan approval for the above ground propane storage tanks, and for approval of a Final Site Plan for the proposed 49,200 sq. ft. building addition.

Therefore, the following motions are offered for consideration:

MOTION 1 – SPECIAL USE PERMIT FOR ABOVE GROUND PROPANE STORAGE TANKS

Motion to approve Resolution 2021-04.

MOTION 2 – FINAL SITE PLAN FOR 49,200 S.F. BUILDING ADDITION

Motion to approve Resolution 2021-05.

Attachments:

1. Letter from Ingham County Road Department dated
2. Revised Site Plan set
3. Parking detail for proposed designated parking bank.
4. [Click here to access the full August 10, 2021 Planning Commission packet](#)

Introduced:
Second:

**CITY OF MASON
PLANNING COMMISSION
RESOLUTION No. 2021-04**

**A RESOLUTION GRANTING A SPECIAL USE PERMIT AND JOINT PRELIMINARY/FINAL SITE PLAN
APPROVAL FOR ABOVE GROUND PROPANE STORAGE TANKS ON PROPERTY LOCATED AT 200 E. KIPP
RD, PARCEL 33-19-10-16-100-024.**

August 25, 2021

WHEREAS, a request has been received from Alan Boyer, LSG Engineers & Surveyors, on behalf of Gestamp Mason, LLC, for approval of a Special Use Permit and joint Preliminary and Final Site Plan Approval for above ground propane storage tanks and,

WHEREAS, the subject property is located at 200 E. Kipp Rd, parcel 33-19-10-16-100-024; and,

WHEREAS, the proposal was shown on application materials originally provided on July 6, 2021 and revisions submitted on August 16, 2021; and,

WHEREAS, the parcel is zoned M-2 General Manufacturing District; and

WHEREAS, Section 94-152(d)(1) states that a Special Use Permit is required for Above ground storage of flammable liquids or combustible materials in an M-2 General Manufacturing District; and,

WHEREAS, Section 94-222(4) states that any use permitted by a Special Use Permit requires site plan review; and

WHEREAS, a public hearing on the request was noticed and held at the Planning Commission's regular meeting on August 10, 2021 with testimony given and public comment solicited in accordance with Section 94-101 of the Mason Code; and

WHEREAS, the Planning Commission has received, reviewed and accepts the staff report dated August 19, 2021, as findings of fact that the use will comply with the Special Use Permit Review Standards listed in Section 94-191(f) of the Mason Code, and Site Plan Review Standards listed in Section 94-227.

NOW THEREFORE BE IT RESOLVED, that the City of Mason Planning Commission does hereby grant a Special Use Permit and joint Preliminary/Final site plan approval with no further conditions.

Yes (0)
No (0)
Absent (0)

CLERK'S CERTIFICATION: I hereby certify that the foregoing is a true and accurate copy of a resolution adopted by the City of Mason Planning Commission at its special meeting held Wednesday, August 25, 2021, the original of which is part of the City of Mason Planning Commission minutes.

Sarah J. Jarvis, Clerk
City of Mason
Ingham County, Michigan

Introduced:
Second:

**CITY OF MASON
PLANNING COMMISSION
RESOLUTION No. 2021-05**

A RESOLUTION GRANTING APPROVAL OF A FINAL SITE PLAN FOR CONSTRUCTION OF A NEW 49,200 SQ. FT. ADDITION ON AN EXISTING 624,780 SQ. FT. BUILDING TO BE USED AS A FINISH GOODS PRODUCT STORAGE (LOW BAY) AND TO PERFORM OTHER RELATED SITE IMPROVEMENTS ON PROPERTY LOCATED AT 200 E. KIPP RD, PARCEL 33-19-10-16-100-024.

August 25, 2021

WHEREAS, a request has been received from Alan Boyer, LSG Engineers & Surveyors, on behalf of Gestamp Mason, LLC, for approval of an amendment to a previously approved Final Site Plan for the construction of a new 49,200 sq. ft. addition on an existing 624,780 sq. ft. building to be used as a Finish Goods Product Storage (Low Bay) and to perform other related site improvements; and,

WHEREAS, the subject property is located at 200 E. Kipp Rd., parcel 33-19-10-16-100-024; and,

WHEREAS, the proposal was shown on application materials originally provided on July 6, 2021 and revisions submitted on August 16, 2021; and,

WHEREAS, the parcel is zoned M-2: Manufacturing District; and

WHEREAS, Sec. 94-228(b) states that an amendment to a site plan which, in the opinion of the zoning official, represents a material change shall be referred to the planning commission for review and approval if the planning commission exercised original approval; and

WHEREAS, the Planning Commission has received, reviewed and accepts the staff report dated August 19, 2021 as findings of fact that, with the waivers and conditions listed herein, the plans will comply with the Final Site Plan Review Standards listed in Section 94-227; and

WHEREAS the Planning Commission further makes the following findings of fact:

- The applicant has demonstrated that the required amount of parking is excessive and qualifies for a waiver of the parking requirement to allow the deferment of the expansion of parking to the area indicated as Designated Parking Bank as shown on the plan; and
- The Planning Commission finds that the proposed future parking bank meets the minimum requirement for spaces, the minimum requirement is greater than 40 spaces, making the new area eligible to allow 20% of the parking spaces to measure 180 s.f. each.
- The proposed landscaping plan will meet the intent to provide landscaping within parking areas, and to enhance aesthetic and ecological qualities, character, privacy, and land value as demonstrated by the significant natural buffer to the east, the berm on the west, and the proposed addition of trees around the pre-existing parking area.

NOW THEREFORE BE IT RESOLVED, that the City of Mason Planning Commission does hereby grant of an amendment to a previously approved Final Site Plan for the construction of a new 49,200 sq. ft. addition on an existing 624,780 sq. ft. building to be used as a Finish Goods Product Storage (Low Bay) and to

Sarah J. Jarvis, Clerk
City of Mason
Ingham County, Michigan

perform other related site improvements for property located at 200 E. Kipp Rd., parcel 33-19-10-16-100-024 with the following conditions and waivers:

1. The applicant will provide the necessary easements to the City of Mason for the future installation and maintenance of sidewalks and shall be 10' in width.
2. The applicant will provide a drainage facilities maintenance agreement to the City of Mason prior to the issuance of a certificate of occupancy.
3. The applicant will provide a record drawing for the site documenting conformance with the approved site plan and ADA parking standards prior to the issuance of a certificate of occupancy.
4. The applicant will provide a Traffic Study that meets the requirements of Sec. 94-176(g) of the City of Mason Ordinance prior to the issuance of a certificate of occupancy.
5. The applicant has demonstrated that the required amount of parking is excessive and may defer expansion of parking in the area indicated as Designated Parking Bank with 20% of the proposed spaces measuring 180 s.f.
6. The proposed landscaping plan will meet the intent to provide landscaping within parking areas, and to enhance aesthetic and ecological qualities, character, privacy, and land value as demonstrated by the significant natural buffer to the east, the berm on the west, and the proposed addition of trees around the pre-existing parking area; therefore, the remaining requirements of Sec. 94-241 are waived.

Yes (0)

No (0)

Absent (0)

CLERK'S CERTIFICATION: I hereby certify that the foregoing is a true and accurate copy of a resolution adopted by the City of Mason Planning Commission at a Special Meeting held Wednesday, August 25, 2021, the original of which is part of the City of Mason Planning Commission minutes.

Sarah J. Jarvis, Clerk
City of Mason
Ingham County, Michigan

INGHAM COUNTY ROAD DEPARTMENT
AUSTIN E. CAVANAUGH ADMINISTRATION BUILDING
301 Bush Street, P.O. Box 38, Mason, MI 48854-0038



William M. Conklin, PE
Managing Director

August 10, 2021

Ms. Elizabeth Hude
Community Development Director
City of Mason
201 W. Ash Street
Mason, MI 48854

Via Email

RE: Gestamp Expansion

Dear Ms. Hude:

The Ingham County Road Department (ICRD) is providing the following comments on the proposed Gestamp Expansion located at the corner of Kipp Road and Hull Road based on the following information provided for our review:

- Plans prepared by LSG Engineers & Surveyors dated May 24, 2021

Comments:

The following comments reference requirements set forth in the Ingham County Road Department (ICRD) Rules, Standards and Procedures for Driveways, Banners and Parades:

1. Has a traffic impact study been prepared for this site? Please provide a copy to the Road Department as soon as possible for review. The study should incorporate the intersections of Kipp Rd/Hull Rd, Kipp Rd/Cedar St and Hull Rd/Trillium Dr in addition to analyzing the traffic impacts at the driveway access points on Kipp Road and Trillium Drive.
2. The only work that appears to be occurring within the road right of way is the connection of the internal site sidewalk to the public sidewalk along Hull Road, which will require a permit from the Road Department as described below.
3. Any work proposed within the public road right-of-way will require approval by the County Highway Engineer and the issuance of the applicable ICRD permit. The right-of-way permit application is available online at roads.ingham.org on the "Permits" section of the website. Please submit a ROW permit application, \$500 site plan review fee, a \$150 right-of-way permit fee, updated plans (if applicable) and traffic control plans (if applicable). The contractor insurance should be submitted once the contractor has been selected. Please note, no work may be performed within the road ROW until a permit has been issued by the ICRD.

The above consists of preliminary comments based on limited information. The ICRD reserves the right to comment further when a complete permit application is submitted. Should you have questions or need clarification on the above information, please contact me via email at kjones2@ingham.org.

Sincerely,

A handwritten signature in black ink, appearing to read "Kelly R. Jones". The signature is fluid and cursive, with the first name "Kelly" being more prominent than the last name "Jones".

Kelly R. Jones, PE
Director of Engineering & County Highway Engineer
INGHAM COUNTY ROAD DEPARTMENT

cc: Swanson, Knauff – Ingham County Road Department
File

8/13/21	REVISED PER REVIEW COMMENTS	AJI
7/2/21	FOR SITE PLAN REVIEW AND PERMITS	SEP
06/16/21	60% SET	AJI
DATE	DESCRIPTION	BY
REVISIONS/SUBMITTALS		

PLANS FOR CONSTRUCTION OF GESTAMP 2021 EXPANSION

200 EAST KIPP ROAD
MASON, MICHIGAN 48854

NOTES

GENERAL

1. BENCHMARKS

- #1. Northwest flange bolt on fire hydrant, 204'± North and 93'± West of the Northeast corner of building.
Elevation: 908.84 (NAVD 88)
- #2. Northwest flange bolt on fire hydrant, 81'± West and 66'± South of the Northeast corner of building.
Elevation: 915.75 (NAVD 88)
- #3. Northwest flange bolt on fire hydrant, 88'± West and 494'± South of the Northeast corner of building.
Elevation: 912.53 (NAVD 88)

2. The contractor shall call "MISS DIG" at 1-800-482-7171 at least 3 working days (excluding weekends and holidays) prior to construction.

3. All work shall be done in accordance with the applicable codes, ordinances, design standards and standard specifications of the following agencies which have the responsibility of reviewing plans and specifications for construction of all items included in these plans:

- a. City of Mason
b. Ingham County
c. State of Michigan

4. The contractor shall apply for and obtain all necessary permits as required for construction of this project prior to the beginning of work from the previously mentioned agencies.

5. The contractor shall notify the City of Mason a minimum of 24 hours prior to any construction in the road right-of-way of Kipp Road and Hull Road.

6. The contractor agrees that in accordance with generally accepted construction practices, the contractor will be required to assume sole responsibility for job site conditions during the course of construction of the project, including the safety of all persons and property. This requirement shall be made to apply continuously and not be limited to normal working hours.
7. The locations and dimensions shown on the plans for existing facilities are in accordance with all available information. The engineer does not guarantee the accuracy of this information or that all existing underground facilities are shown.

8. When any existing utility requires adjustment or relocation, the contractor shall notify the proper utility company and coordinate the work accordingly. There shall be no claim made by the contractor for any costs caused by delays in construction due to the adjustment or relocation of utilities.

9. The contractor is to verify that the plans and specifications that he/she is building from are the very latest plans and specifications that have been approved by all applicable permit-issuing agencies and the owner. All items constructed by the contractor prior to receiving the final approval and permits having to be adjusted or re-done, shall be done at the contractor's expense.

10. Should the contractor encounter conflict between these plans and specifications, either among themselves or with the requirements of any and all reviewing and permit-issuing agencies, he/she shall seek clarification in writing from this engineer before commencement of construction. Failure to do so shall be at the sole expense to the contractor.

11. Unless otherwise noted the contractor shall furnish as-built drawings indicating all changes and deviations from approved drawings.

12. All signs and traffic control measures during construction and maintenance activities shall be constructed and installed per the latest edition of the Michigan Manual of Uniform Traffic Control Devices (M.M.U.T.C.D.).

13. LSG Engineers & Surveyors will not be responsible for field design changes made by the contractor or the contractor's surveyor where LSG Engineers & Surveyors has not approved these design changes.

GRADING AND SITE WORK

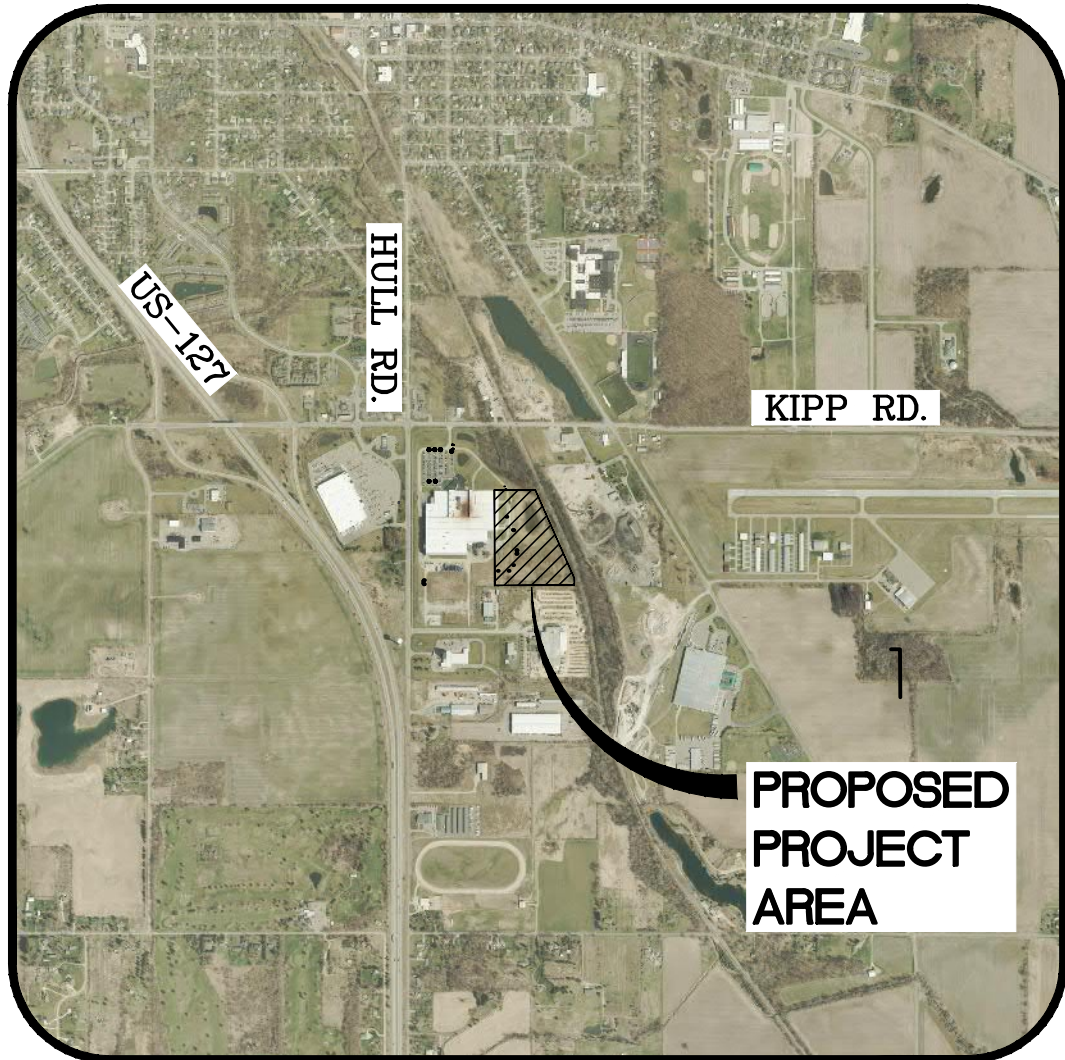
1. Prior to grading, cutting and filling the contractor shall remove all topsoil, debris, vegetation, etc. from the site. Acceptable material excavated from the cut areas shall be used for fill. Fill shall be placed in layers not exceeding depths of 12 inches and shall be compacted to 95% of its maximum unit weight.
2. The contractor shall proof-roll the existing subgrade to determine its suitability. If, in the opinion of the engineer, the subgrade is unsuitable that portion of the subgrade shall be excavated and replaced with a minimum of 12" M.D.O.T. Class II granular material.
3. All site grading must be performed to insure positive drainage across the entire site, throughout the period of construction and after project completion.
4. All sedimentation and soil erosion control measures shall be constructed prior to the commencement of site grading and must conform to Part 91 of Act 451 of the Public Acts of 1994 as amended. All applicable permits shall be obtained before implementing these measures. The contractor shall be responsible for maintaining the sedimentation and soil erosion control measures throughout construction.

STORM DRAINAGE SYSTEM

1. Unless otherwise noted all storm drain pipe shall be ASTM C-76 Class III or better, with premium joints. All storm drain with less than 3 feet of cover below paved areas shall be ASTM C-76 Class IV, with premium joints.
2. All storm drain service leads shall be 4" minimum Schedule 40 or SDR-35 unless otherwise noted on these plans.
3. All storm drain manholes and catch basins shall conform to the City of Mason Standard Details or the details included in these plans.
4. All storm drain below paved areas shall be backfilled with 100% granular material (or approved other) and compacted to 95% of its maximum unit weight (see typical trench details included in these plans).
5. All frames and covers on drainage structures shall be non-rocking, made of heavy duty cast iron and shall conform to the casting schedule on sheet C6.2.
6. All rim elevations in outlawn areas are approximate only and shall be adjusted by the contractor after final grades are established.
7. See storm drain details on sheet C6.2.

WATER (FIRE) MAIN SYSTEM

1. All water (fire) main shall be DI CL52 unless otherwise noted on these plans.
2. All construction of the water main service system shall conform to the water main construction plans and specifications approved by the City of Mason.
3. All water main shall be installed with a minimum of 5.5 feet of cover from finished grades.
4. A full length of water main pipe shall be centered from the point of crossings of all sewers with a minimum vertical clearance of 1.5 feet. In the event a clearance of less than 1.5 feet is constructed, the intersection shall be encased in concrete.
5. All elevations in outlawn areas are approximate only and shall be adjusted by the contractor after finish grades are established.
6. All water main within a 45' zone of influence of paved areas shall be backfilled with 100% granular material (or approved other) and compacted to 95% of its maximum unit weight (see typical trench details included in these plans).
7. All water main shall have a minimum 10' horizontal separation from any storm or sanitary sewer.
8. All ductile iron water main pipe, fittings, and valves are to be encased within 8-mil thick polyethylene wrap.
9. Water main and fittings shall be installed with restrained joints.
10. See water main details on sheet C6.1.

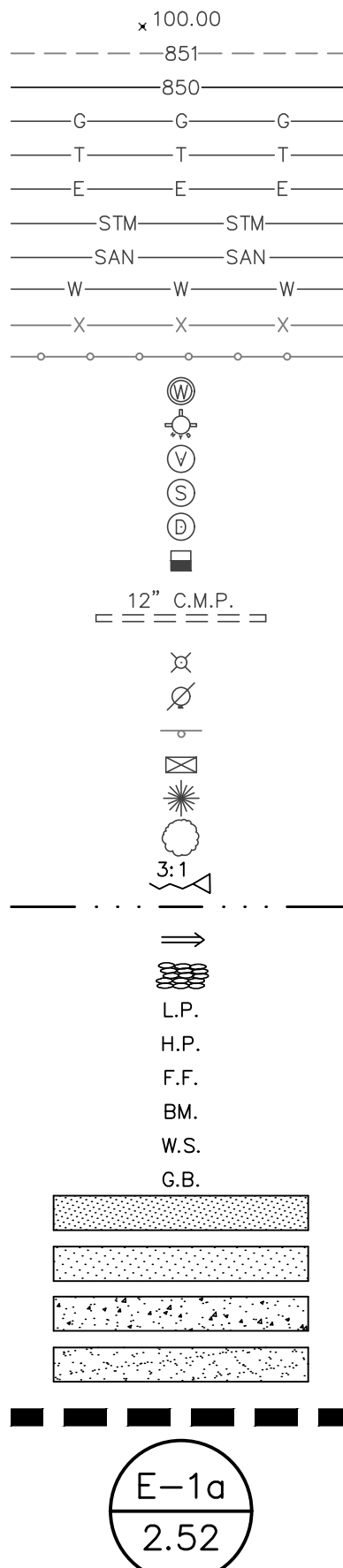


LOCATION MAP

SCALE: 1"=2000'

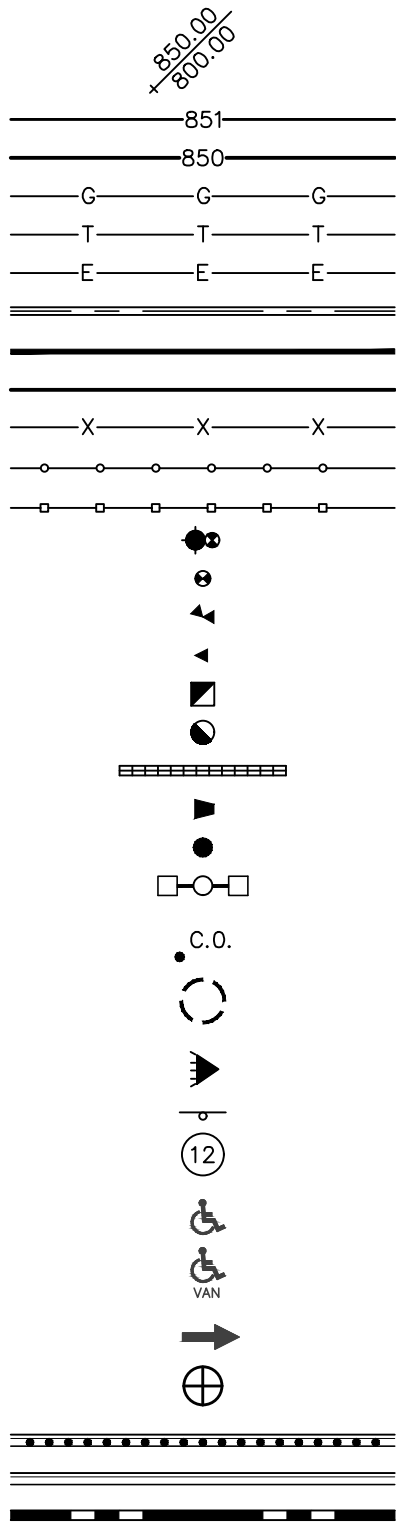
LEGEND

- (E) SPOT ELEVATION
(E) 1' CONTOURS
(E) 5' CONTOURS
(E) GAS LINE
(E) TELEPHONE LINE
(E) ELECTRIC LINE
(E) STORM DRAIN
(E) SANITARY SEWER
(E) WATER MAIN
(E) CHAIN LINK FENCE
(E) WOOD FENCE
(E) WATER WELL
(E) FIRE HYDRANT
(E) WATER VALVE
(E) SANITARY MANHOLE
(E) STORM MANHOLE
(E) CATCHBASIN
(E) CULVERT
(E) LIGHT POLE
(E) UTILITY POLE
(E) SIGN
(E) MAILBOX
(E) CONIFEROUS TREE
(E) DECIDUOUS TREE
(P) SIDE SLOPE
(P) DRAINAGE SWALE
(P) DRAINAGE FLOW ARROW
(P) RIP RAP
LOW POINT
HIGH POINT
FINISH FLOOR
BENCHMARK
WATER SURFACE
GRADE BREAK
(P) HEAVY DUTY ASPHALT AREA
(P) LIGHT DUTY ASPHALT AREA
(P) CONCRETE SURFACE
(P) AGGREGATE SURFACE
(P) DRAINAGE BASIN BOUNDARY
(P) BASIN DESIGNATION
(P) BASIN AREA IN ACRES



- (P) SPOT ELEVATION
(P) 1' CONTOUR
(P) 5' CONTOUR
(P) GAS LINE
(P) TELEPHONE LINE
(P) ELECTRIC LINE
(P) STORM DRAIN
(P) SANITARY SEWER
(P) WATER MAIN
(P) CHAIN LINK FENCE
(P) WOOD FENCE
(P) GUARD RAIL
(P) FIRE HYDRANT ASSEMBLY
(P) WATER MAIN VALVE
(P) WATER MAIN BEND
(P) WATER MAIN REDUCER
(P) CURB INLET
(P) CATCH BASIN
(P) TRENCH DRAIN
(P) FLARED END SECTION
(P) MANHOLE
(P) LIGHT POLE
(P) SANITARY SEWER CLEANOUT
(P) UTILITY CROSSING
(P) BUILDING WALLPACK
(P) SIGN
(P) PARKING COUNT
(P) HANDICAP PARKING
(P) HANDICAP VAN ACCESSIBLE
(P) TRAFFIC FLOW
SOIL BORING
(P) MODIFIED CURB & GUTTER
(P) REGULAR CURB & GUTTER
(P) SCREEN WALL OR RETAINING WALL

NOTE:
(E) - INDICATES EXISTING
(P) - INDICATES PROPOSED



INDEX

- ☐ C COVER
- ☐ C1.0 AS BUILT SITE SURVEY - EXISTING CONDITIONS
- ☐ C1.1 TOPOGRAPHIC SURVEY
- ☐ C2.0 OVERALL SITE PLAN
- ☐ C2.01 OVERALL SITE PLAN - TRAFFIC PLAN
- ☐ C2.02 OVERALL SITE PLAN - CONSTRUCTION PHASING
- ☐ C2.1 DETAILED DEMOLITION PLAN
- ☐ C3.0 DETAILED SITE PLAN
- ☐ C3.1 DETAILED SIDEWALK PLANS
- ☐ C4.0 DETAILED GRADING PLAN
- ☐ C5.0 DETAILED UTILITY PLAN
- ☐ C5.1 FIRE MAIN PLAN AND PROFILE
- ☐ C5.2 STORM DRAINAGE PLAN AND PROFILE
- ☐ C6.0 MISCELLANEOUS DETAILS
- ☐ C6.1 FIRE MAIN DETAILS
- ☐ C6.2 STORM DRAINAGE DETAILS
- ☐ C7.0 SOIL EROSION CONTROL PLAN
- ☐ C7.1 SOIL EROSION CONTROL DETAILS
- ☐ C7.2 SOIL EROSION CONTROL NOTES
- ☐ L1.0 LANDSCAPE PLAN
- ☐ E2.0 SITE PHOTOMETRIC PLAN

PREPARED FOR:

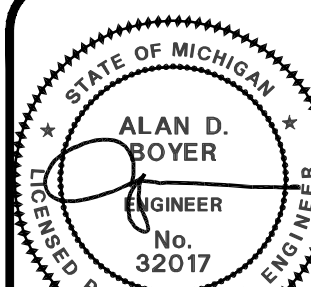
Gestamp
200 EAST KIPP ROAD
MASON, MICHIGAN 48854
PHONE: (517) 244-8800

PREPARED FOR:

WEILAND
4162 ENGLISH OAK DRIVE
LANSING, MICHIGAN 48911
PHONE: (517) 372-8650

LSG
Engineers
& Surveyors

3135 PINE TREE ROAD
SUITE D
LANSING, MI 48911
PH. (517) 393-2902
FAX (517) 393-2608
www.lsg-es.com



DATE MAY 24, 2021
PROJECT NO. 2679
SHEET NO. C

LEGAL DESCRIPTION:

PART OF THE NW 1/4 OF SECTION 16, T2N, R1W, VEVAY TOWNSHIP, INGHAM COUNTY, MICHIGAN, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHWEST CORNER OF SAID SECTION 16; ALONG THE NORTH SECTION LINE IN KIPP ROAD (100 FEET ROW), THENCE S89°45'58"E 1033.64 FEET TO THE WESTERLY LINE OF THE CONRAIL RAILROAD R.O.W., THENCE S24°17'28"E, 1459.66 FEET TO A POINT OF CURVATURE; THENCE CONTINUING SOUTHEASTERLY ALONG THE ARC OF A CURVE TO THE RIGHT 408.57 FEET (RADIUS=2861.25 FEET, DELTA=8°10'53", CHORD BEARING S20°12'01"E, 408.22 FEET) THENCE N89°43'34"W, 820.40 FEET; THENCE S00°06'19"W, 31.32 FEET, THENCE N89°43'34"W, 197.00 FEET; THENCE S00°06'19"W, 386.00 FEET; THENCE ALONG THE NORTH RIGHT OF WAY LINE OF TRILLIUM COURT (66 FEET R.O.W.) N89°53'41"W, 754.03 FEET TO THE WEST SECTION LINE IN HULL ROAD, (100 FEET R.O.W.) THENCE ALONG SAID SECTION LINE N00°34'38"W, 2128.84 FEET TO THE NW SECTION CORNER AND THE P.O.B.

PARCEL B
PART OF NW 1/4 OF SECTION 16, T2N, R1W, VEVAY TOWNSHIP, INGHAM COUNTY, MICHIGAN, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHWEST CORNER OF SAID SECTION 16; ALONG THE NORTH SECTION LINE IN KIPP ROAD (100 FEET ROW), THENCE S89°45'58"E, 1033.64 FEET TO THE WESTERLY LINE OF THE CONRAIL RAILROAD ROW, THENCE S24°17'28"E, 1459.66 FEET TO A POINT OF CURVATURE; THENCE CONTINUING SOUTHEASTERLY ALONG THE ARC OF A CURVE TO THE RIGHT 408.57 FEET (RADIUS = 2861.25 FEET, DELTA = 8°10'53", CHORD BEARING S20°12'01"E, 408.22 FEET) TO THE P.O.B., THENCE CONTINUING ALONG THE WESTERLY LINE OF THE CONRAIL ROW ALONG THE ARC OF A CURVE TO THE RIGHT 281.39 FEET (RADIUS = 2861.25 FEET, DELTA = 5°38'05", CHORD BEARING S13°17'32"E, 281.28 FEET); THENCE ALONG A CURVE TO THE LEFT 468.82 FEET (RADIUS = 429.28 FEET, DELTA = 62°34'21", CHORD BEARING N51°54'02"W, 445.86 FEET); THENCE S89°43'34"E 286.20 FEET TO THE P.O.B.

SITE AREAS:

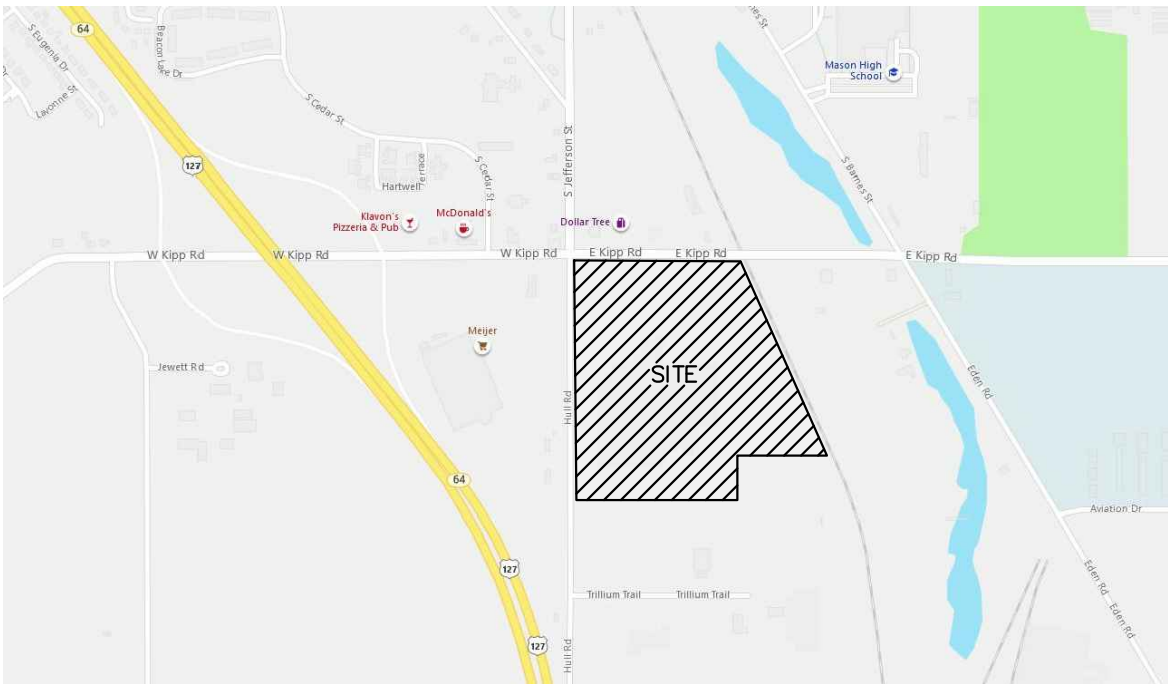
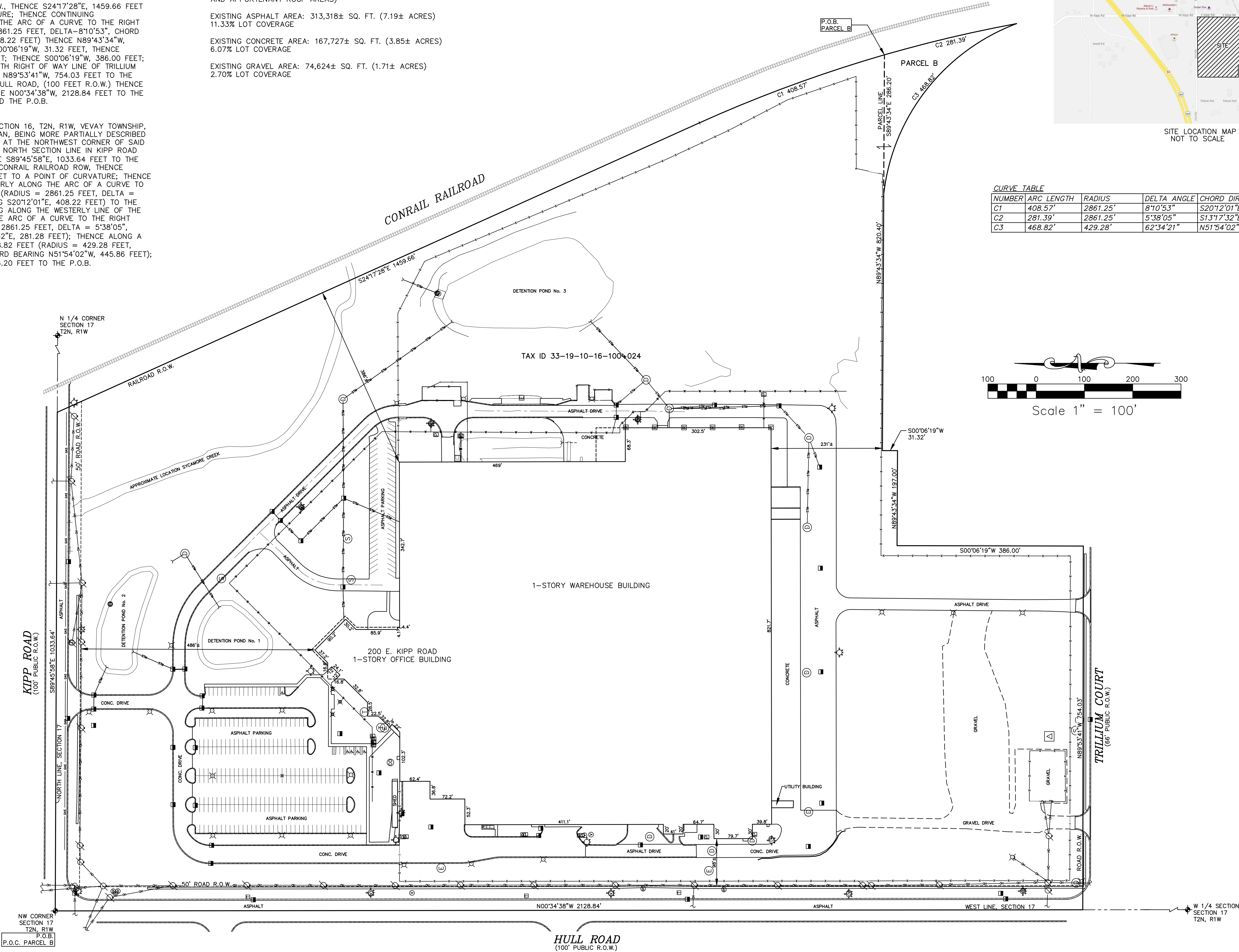
OVERALL PROPERTY AREA: 2,765,216± SQ. FT. (63.48± ACRES)
(INCLUDES ROAD R.O.W.)

EXISTING STRUCTURE AREA: 617,980± SQ. FT. (14.19± ACRES)
22.35% LOT COVERAGE (624,780 SQ. FT. INCLUDING CANOPIES AND APPURTENANT ROOF AREAS)

EXISTING ASPHALT AREA: 313,318± SQ. FT. (7.19± ACRES)
11.33% LOT COVERAGE

EXISTING CONCRETE AREA: 167,727± SQ. FT. (3.85± ACRES)
6.07% LOT COVERAGE

EXISTING GRAVEL AREA: 74,624± SQ. FT. (1.71± ACRES)
2.70% LOT COVERAGE



NUMBER	ARC LENGTH	RADIUS	DELTA ANGLE	CHORD DIRECTION	CHORD LENGTH
C1	408.57'	2861.25'	8°10'53"	S20°12'01"E	408.22'
C2	281.39'	2861.25'	5°38'05"	S13°17'32"E	281.28'
C3	468.82'	429.28'	62°34'21"	N51°54'02"W	445.86'

LEGEND:

- STORM MANHOLE
- CATCH-BASIN
- STORM LINE
- SANITARY MANHOLE
- SANITARY CLEAOUT
- SANITARY LINE
- ELECTRIC MANHOLE
- UTILITY POLE
- GUY WIRE
- OVERHEAD UTILITY LINE
- UNDERGROUND UTILITY LINE
- TRANSFORMER
- AC-UNIT
- TELEPHONE MANHOLE
- ROOF DRAIN
- TELEPHONE PEDESTAL
- ELECTRIC PEDESTAL
- ELECTRIC METER
- LIGHT POLE
- SIGN
- MONUMENT SIGN
- WATER MANHOLE
- WELL
- WATER LINE
- WATER VALVE
- FIRE HYDRANT
- MONITORING WELL
- GAS METER
- GAS VALVE
- GAS LINE
- FENCE LINE
- DECIDUOUS TREE
- CONIFEROUS TREE
- CURB AND GUTTER
- TREE LINE
- SET IRON & CAP #47989
- FOUND IRON AS NOTED
- SECTION CORNER
- DISTANCE NOT TO SCALE
- YARDBASIN
- POST INDICATOR VALVE
- WALL HYDRANT
- MAIL BOX
- ASPHALT
- CONCRETE
- GRAVEL
- RECORDED
- MEASURED

LEGAL DESCRIPTION:

PART OF THE NW 1/4 OF SECTION 16, T2N, R1W, VEVAY TOWNSHIP, INGHAM COUNTY, MICHIGAN, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHWEST CORNER OF SAID SECTION 16; ALONG THE NORTH SECTION LINE IN KIPP ROAD (100 FEET ROW), THENCE S89°45'58"E 1033.64 FEET TO THE WESTERLY LINE OF THE CONRAIL RAILROAD R.O.W., THENCE S24°17'28"E, 1459.66 FEET TO A POINT OF CURVATURE; THENCE CONTINUING SOUTHEASTERLY ALONG THE ARC OF A CURVE TO THE RIGHT 408.57 FEET (RADIUS=2861.25 FEET, DELTA=8°10'53", CHORD BEARING S20°12'01"E, 408.22 FEET) THENCE N89°43'34"W, 820.40 FEET; THENCE S00°06'19"W, 31.32 FEET, THENCE N89°43'34"W, 197.00 FEET; THENCE S00°06'19"W, 386.00 FEET; THENCE ALONG THE NORTH RIGHT OF WAY LINE OF TRILLIUM COURT (66 FEET R.O.W.) N89°53'41"W, 754.03 FEET TO THE WEST SECTION LINE IN HULL ROAD, (100 FEET R.O.W.) THENCE ALONG SAID SECTION LINE N00°34'36"W, 2128.84 FEET TO THE NW SECTION CORNER AND THE P.O.B.

PARCEL B

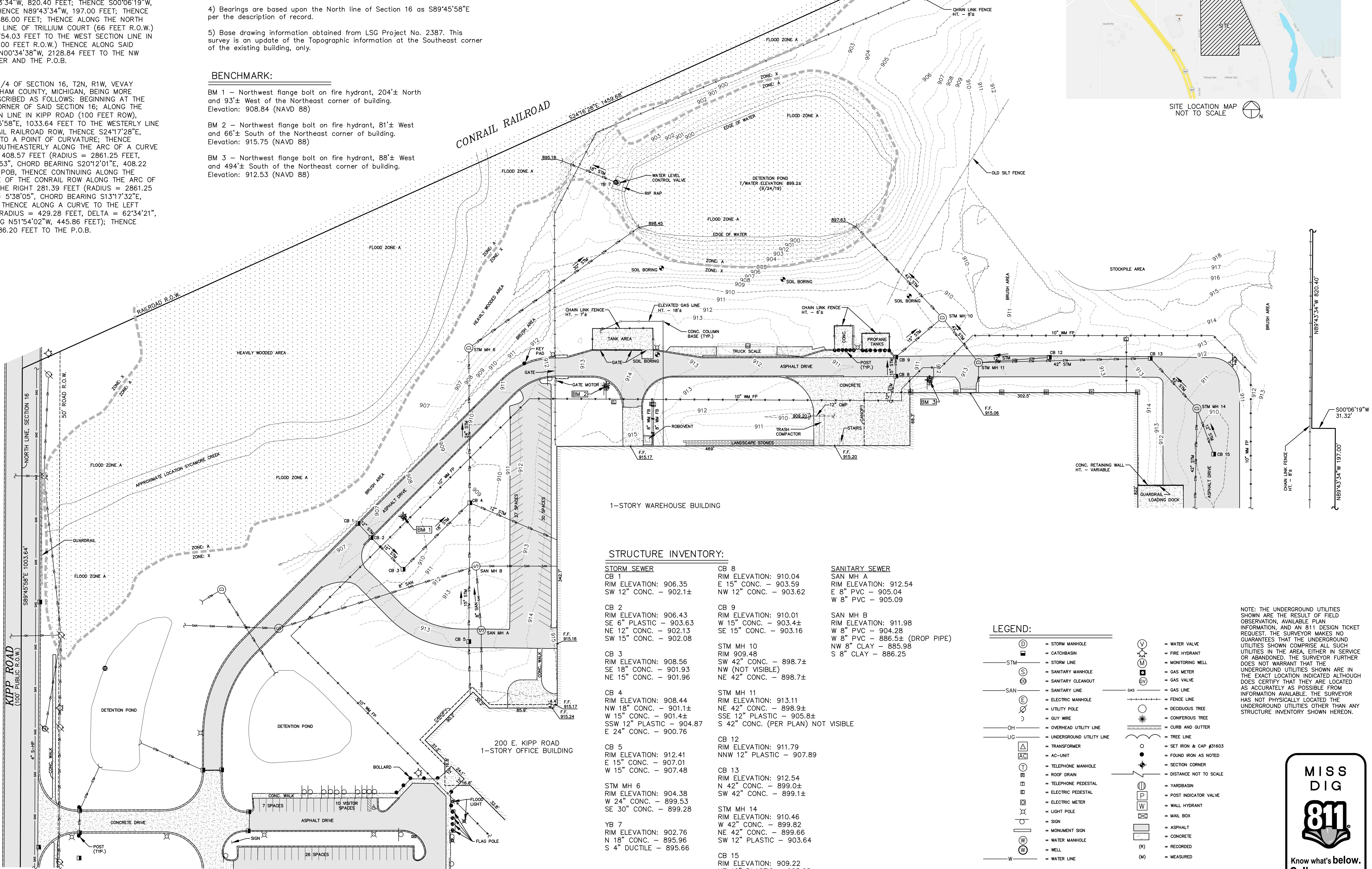
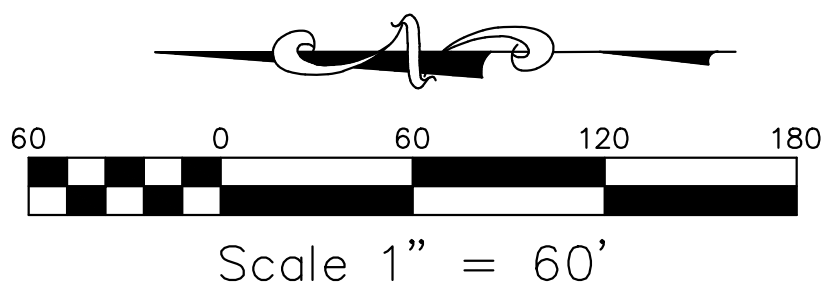
PART OF NW 1/4 OF SECTION 16, T2N, R1W, VEVAY TOWNSHIP, INGHAM COUNTY, MICHIGAN, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTHWEST CORNER OF SAID SECTION 16; ALONG THE NORTH SECTION LINE IN KIPP ROAD (100 FEET ROW), THENCE S89°45'58"E, 1033.64 FEET TO THE WESTERLY LINE OF THE CONRAIL RAILROAD ROW, THENCE S24°17'28"E, 1459.66 FEET TO A POINT OF CURVATURE; THENCE CONTINUING SOUTHEASTERLY ALONG THE ARC OF A CURVE TO THE RIGHT 408.57 FEET (RADIUS = 2861.25 FEET, DELTA = 8°10'53", CHORD BEARING S20°12'01"E, 408.22 FEET) TO THE POB, THENCE CONTINUING ALONG THE WESTERLY LINE OF THE CONRAIL ROW ALONG THE ARC OF A CURVE TO THE RIGHT 281.39 FEET (RADIUS = 2861.25 FEET, DELTA = 5°38'05", CHORD BEARING S13°17'32"E, 281.28 FEET); THENCE ALONG A CURVE TO THE LEFT 468.82 FEET (RADIUS = 429.28 FEET, DELTA = 62°34'21", CHORD BEARING N51°54'02"W, 445.86 FEET); THENCE S89°43'34"E 286.20 FEET TO THE P.O.B.

GENERAL NOTES:

- 1) A current Title Commitment and Schedule B Section II Supportive Documentation has not been furnished. The affect of easements upon this parcel, other than indicated, are unknown.
- 2) By graphic plotting only, this property is in Zone(s) **X & AE** of the Flood Insurance Rate Map, Community Panel No. **26065C0254D**, which bears an effective date of **8/16/2011** and is partially located in a Special Flood Hazard Area.
- 3) A certified boundary survey has not been performed by this office. The relationship of features to the parcel boundaries are approximate.
- 4) Bearings are based upon the North line of Section 16 as S89°45'58"E per the description of record.
- 5) Base drawing information obtained from LSG Project No. 2387. This survey is an update of the Topographic information at the Southeast corner of the existing building, only.

BENCHMARK:

- BM 1 – Northwest flange bolt on fire hydrant, 204'± North and 93'± West of the Northeast corner of building.
Elevation: 908.84 (NAVD 88)
- BM 2 – Northwest flange bolt on fire hydrant, 81'± West and 66'± South of the Northeast corner of building.
Elevation: 915.75 (NAVD 88)
- BM 3 – Northwest flange bolt on fire hydrant, 88'± West and 494'± South of the Northeast corner of building.
Elevation: 912.53 (NAVD 88)



STRUCTURE INVENTORY:

STORM SEWER

CB 1
RIM ELEVATION: 906.35
SW 12" CONC. – 902.1±

CB 2
RIM ELEVATION: 906.43
SE 6" PLASTIC – 903.63
NE 12" CONC. – 902.13
SW 15" CONC. – 902.08

CB 3
RIM ELEVATION: 908.56
SE 18" CONC. – 901.93
NE 15" CONC. – 901.96

CB 4
RIM ELEVATION: 908.44
NW 18" CONC. – 901.1±
W 15" CONC. – 901.4±
SSW 12" PLASTIC – 904.87
E 24" CONC. – 900.76

CB 5
RIM ELEVATION: 912.41
E 15" CONC. – 907.01
W 15" CONC. – 907.48

STM MH 6
RIM ELEVATION: 904.38
W 24" CONC. – 899.53
SE 30" CONC. – 899.28

YB 7
RIM ELEVATION: 902.76
N 18" CONC. – 895.96
S 4" DUCTILE – 895.66

CB 8
RIM ELEVATION: 910.04
E 15" CONC. – 903.59
NW 12" CONC. – 903.62

CB 9
RIM ELEVATION: 910.01
W 15" CONC. – 903.4±
SE 15" CONC. – 903.16

STM MH 10
RIM 909.48
SW 42" CONC. – 898.7±
NW (NOT VISIBLE)
NE 42" CONC. – 898.7±

STM MH 11
RIM ELEVATION: 913.11
NE 42" CONC. – 898.9±
SSE 12" PLASTIC – 905.8±
SW 42" CONC. (PER PLAN) NOT VISIBLE

CB 12
RIM ELEVATION: 911.79
NNW 12" PLASTIC – 907.89

CB 13
RIM ELEVATION: 912.54
N 42" CONC. – 899.0±
SW 42" CONC. – 899.1±

STM MH 14
RIM ELEVATION: 910.46
W 42" CONC. – 899.82
NE 42" CONC. – 899.66
SW 12" PLASTIC – 903.64

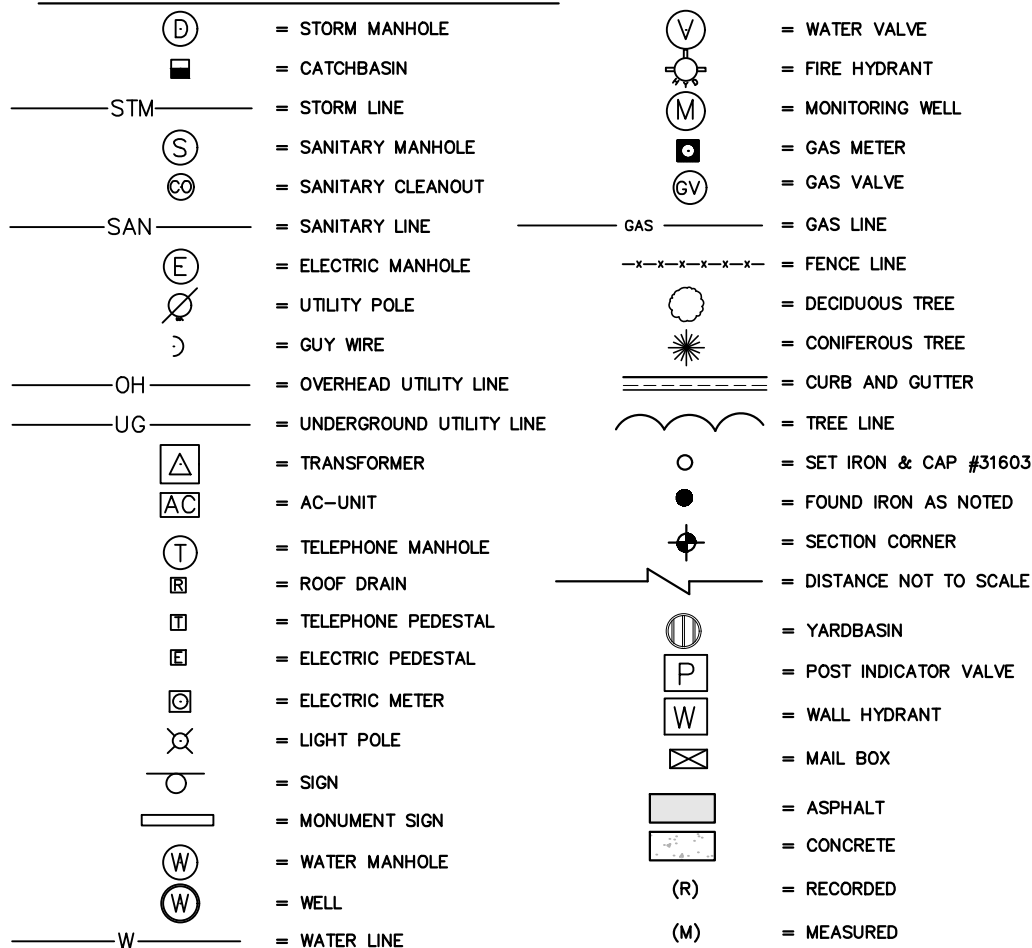
CB 15
RIM ELEVATION: 909.22
NE 12" PLASTIC – 905.08

SANITARY SEWER

SAN MH A
RIM ELEVATION: 912.54
E 8" PVC – 905.04
W 8" PVC – 905.09

SAN MH B
RIM ELEVATION: 911.98
W 8" PVC – 904.28
W 8" PVC – 886.5± (DROP PIPE)
NW 8" CLAY – 885.98
S 8" CLAY – 886.25

LEGEND:



NOTE: THE UNDERGROUND UTILITIES SHOWN ARE THE RESULT OF FIELD OBSERVATION, AVAILABLE PLAN INFORMATION, AND AN 811 DESIGN TICKET REQUEST. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION AVAILABLE. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES OTHER THAN ANY STRUCTURE INVENTORY SHOWN HEREON.

MISS DIG



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REVISED PER REVIEW COMMENTS	DATE	BY
08/13/21	08/13/21	AK
08/19/21	08/19/21	AK
REVISIONS/SUBMITTALS		

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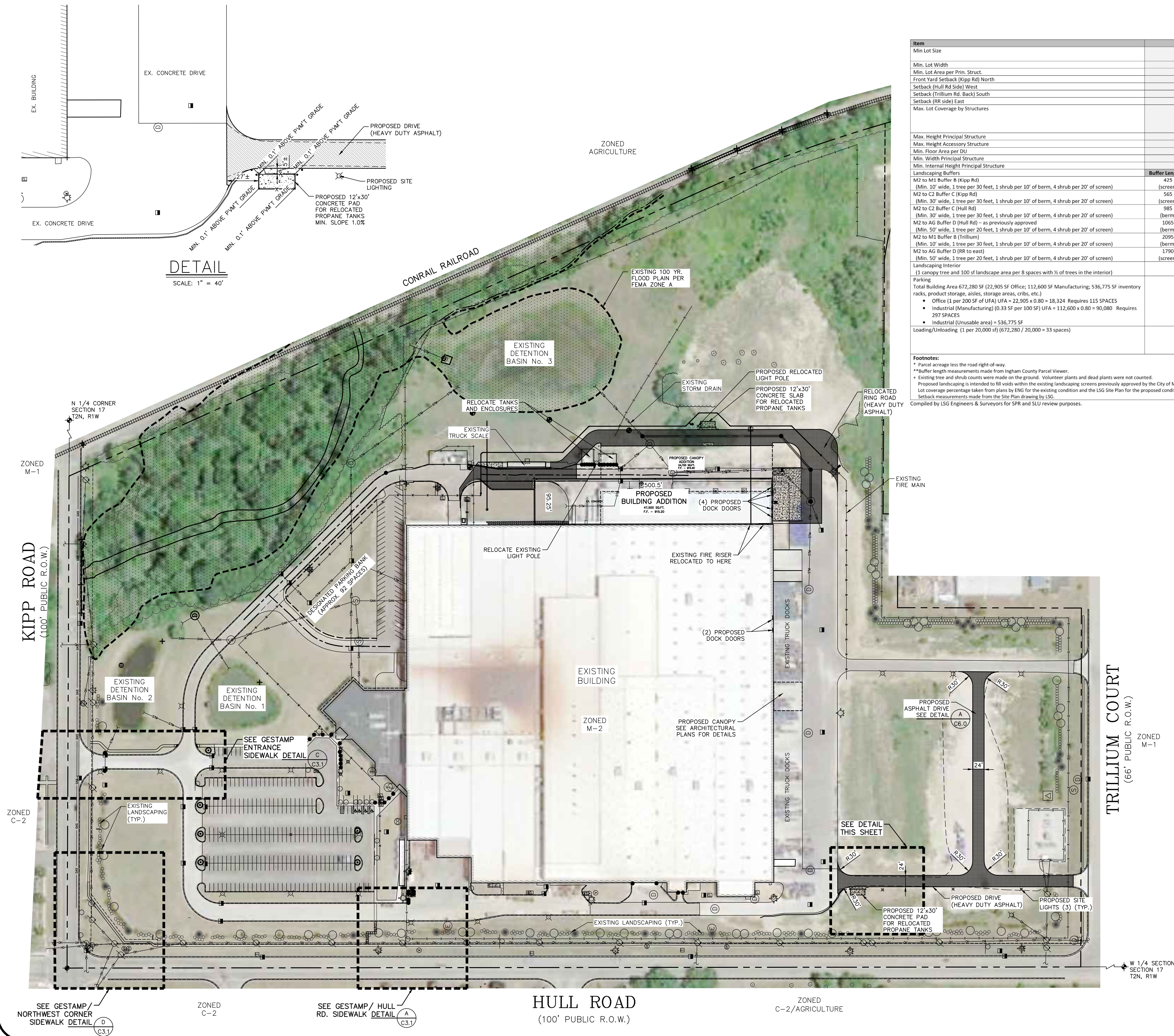
PREPARED FOR:
Gestamp
200 EAST KIPP ROAD
MASON, MICHIGAN 48854
PHONE # (517) 244-8800

WIELAND
4162 ENGLISH OAK DRIVE
LANSING, MICHIGAN 48911
PHONE # (517) 372-8650

TOPOGRAPHIC SURVEY
FOR
GESTAMP 2021 EXPANSION
200 EAST KIPP ROAD
MASON, MI 48854

FILE	C1-1.dwg
FIELD WORK	JZ
DRAWN BY	JML
CHECKED BY	DKR
DATE OF SURVEY	6/8/2021
SCALE	1" = 60'
HOR.	N/A
VERT.	N/A
PROJECT NO.	2679
SHEET NO.	C1.1

FILE: L:\2679 (WB GESTAMP MASON 2021)\C6 PLANS\C2-0.DWG - PLOT DATE: 8/16/2021 11:09 AM BY: Andrew Irwin SCALE: 1:1



Item	Required	Existing	Proposed
Min Lot Size	60,000 sf	59.40 Ac* (2,587,450± sf)	59.40 Ac* (2,587,450± sf)
Min. Lot Width	200	1,033±	1,033±
Min. Lot Area per Prin. Struct.	N/A	N/A	N/A
Front Yard Setback (Kipp Rd) North	60	486	486
Setback (Hull Rd Side) West	20	98	98
Setback (Trillium Rd. Back) South	20	262	231
Setback (RR side) East	20	385	385
Max. Lot Coverage by Structures	50%	24.1% (Bldg 624,780 sf) (includes existing 24,720 sf storage canopy which is proposed to be removed)	35.0% (Bldg 672,280 sf) (includes 47,500 sf proposed building addition and proposed 24,720 sf storage canopy)
Max. Height Principal Structure	45	42	42
Max. Height Accessory Structure	45	N/A	N/A
Min. Floor Area per DU	-	N/A	N/A
Min. Width Principal Structure	-	N/A	N/A
Min. Internal Height Principal Structure	-	N/A	N/A
Landscaping Buffers	Buffer Length**		
M2 to M1 Buffer B (Kipp Rd)	425 (screen)	15 trees 43 shrubs	Natural buffer across the floodplain of Sycamore Creek
M2 to C2 Buffer C (Kipp Rd)	565 (screen)	19 trees 113 shrubs	8 trees+ 92 shrubs+
M2 to C2 Buffer C (Hull Rd)	985 (screen)	33 trees 99 shrubs	16 trees+ 134 shrubs+
M2 to AG Buffer D (RR to east)	1790 (screen)	54 trees 107 shrubs	15 trees+ 106 shrubs+
M2 to M1 Buffer B (Trillium)	2095 (screen)	70 trees 210 shrubs	40 trees+ 226 shrubs+
M2 to AG Buffer D (RR to east)	1790 (screen)	358 shrubs	Natural buffer of undeveloped land, the railroad and Sycamore Creek between the land uses
Landscaping Interior (1 canopy tree and 100 sf landscape area per 8 spaces with 1/3 of trees in the interior)	41 trees 4137 sf	5 trees+ 15,140 sf	5 trees+ 15,140 sf
Parking Total Building Area 672,280 SF (22,905 SF Office; 112,600 SF Manufacturing; 536,775 SF inventory racks, product storage, aisles, storage areas, cribs, etc.) • Office (1 per 200 SF of UFA) UFA = 22,905 x 0.80 = 18,324 Requires 115 SPACES • Industrial (Manufacturing) (0.33 SF per 100 SF) UFA = 112,600 x 0.80 = 90,080 Requires 297 SPACES • Industrial (Unusable area) = 536,775 SF	115 + 297 = 412 spaces	331 spaces	331 + 92 banked = 423 spaces
Loading/Unloading (1 per 20,000 sf) [672,280 / 20,000 = 33 spaces]	33 spaces	20 loading doors/docks + 8 additional loading areas in and along the south and east sides of the building Total Existing 28	20 loading doors/docks + 8 additional loading areas (2 of the 8 additional will be replaced with 2 new docks on the existing building) + 4 new docks and 1 new loading door Total Proposed 33

Footnotes:
* Parcel acreage less the road right-of-way.
** Buffer length measurements made from Ingham County Parcel Viewer.
• Existing tree and shrub counts were made on the ground. Volunteer plants and dead plants were not counted.
• Proposed landscaping is intended to fill voids within the existing landscaping screens previously approved by the City of Mason.
• Lot coverage percentage taken from plans by ENG for the existing condition and the LSG Site Plan for the proposed condition.
• Setback measurements made from the Site Plan drawing by LSG.
Compiled by LSG Engineers & Surveyors for SPR and SLU review purposes.

SITE PLAN AND SPECIAL LAND USE NOTES:

Traffic Impact:

- Public street access has been provided for in earlier development of this project. This access is still viable and no changes are proposed.
- Emergency vehicle access has been accommodated via site layout and design.
- Driveway, traffic safety, and parking standards have been addressed and are adequate for this proposed expansion. No increase in employee is anticipated. The increase in truck traffic is intended to be handled by directing most of the truck traffic to Trillium Court through the reconfigured in/out entrances.
- A proposal for a traffic study is pending with the intent that the study will be authorized and completed prior to the issuance of the Certificate of Occupancy.

Site Lighting:

- Existing exterior lighting has been provided as part of previous developments and, where applicable, is shown on the plans. Existing site lighting in the area of the proposed building expansion will be relocated along the relocated ring road.
- Proposed lighting for the building addition is noted on the architectural drawings.
- The existing parking lot lighting at the site has been replaced with LED lamps.
- The existing wall lighting on the west building wall has been replaced with LED lamps.
- A site lighting photometric plan is included in the plan set.

Environmental Impact:

- Natural features of the subject property and surrounding properties will not be negatively impacted. Specifically, the floodplain along Sycamore Creek in the northeast corner of the property will not be disturbed and will remain as a screen buffer.
- Existing and proposed landscape information is indicated in the plans. See Sheet L1.0. The existing landscape screening (as previously approved) is mature and screens the facility. Supplemental landscaping is shown to replace dead or missing plantings and/or enhance the existing screen and parking lot area.

Pedestrian Access:

- Employees currently access surrounding businesses (Meijer Thrifty Acres, etc.) by walking up the embankment to Hull Road. The City has indicated the need for a pedestrian approach to Hull Road that will connect to the existing sidewalk and possible future midblock crosswalk. This plan proposes a series of stair-plantings across the embankment to provide the pedestrian access. This access will also provide a connection to the CATA bus stop on the Meijer property.
- New pedestrian access is provided from employee parking lot to Kipp Road by a new sidewalk. This access will also afford a future connection to the Hayhoe River Walk.
- A sidewalk easement is proposed at the northwest corner of the site to allow the Kipp Road sidewalk to be connected to the Hull Road sidewalk outside the road right-of-ways.

CATA:

- CATA provides service to the facility in two ways. There is an existing bus stop at the Meijer property across Hull Road. This stop is on Route 46-Mason LTD.
- CATA also services the facility directly with its Spec-Trans Small Bus service for persons with disabilities.

Construction Phasing:

- Construction phases are proposed. The initial phase is the construction of the ring road relocation and utilities to move on-site truck traffic away from the proposed building construction area. The second phase includes the building erection and construction. This is reflected on the Overall Site Plan - Construction Phasing sheet.

3135 PINE TREE ROAD
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PHONE # (517) 244-8800



WIELAND
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LANSING, MICHIGAN 48911
PHONE # (517) 372-8650

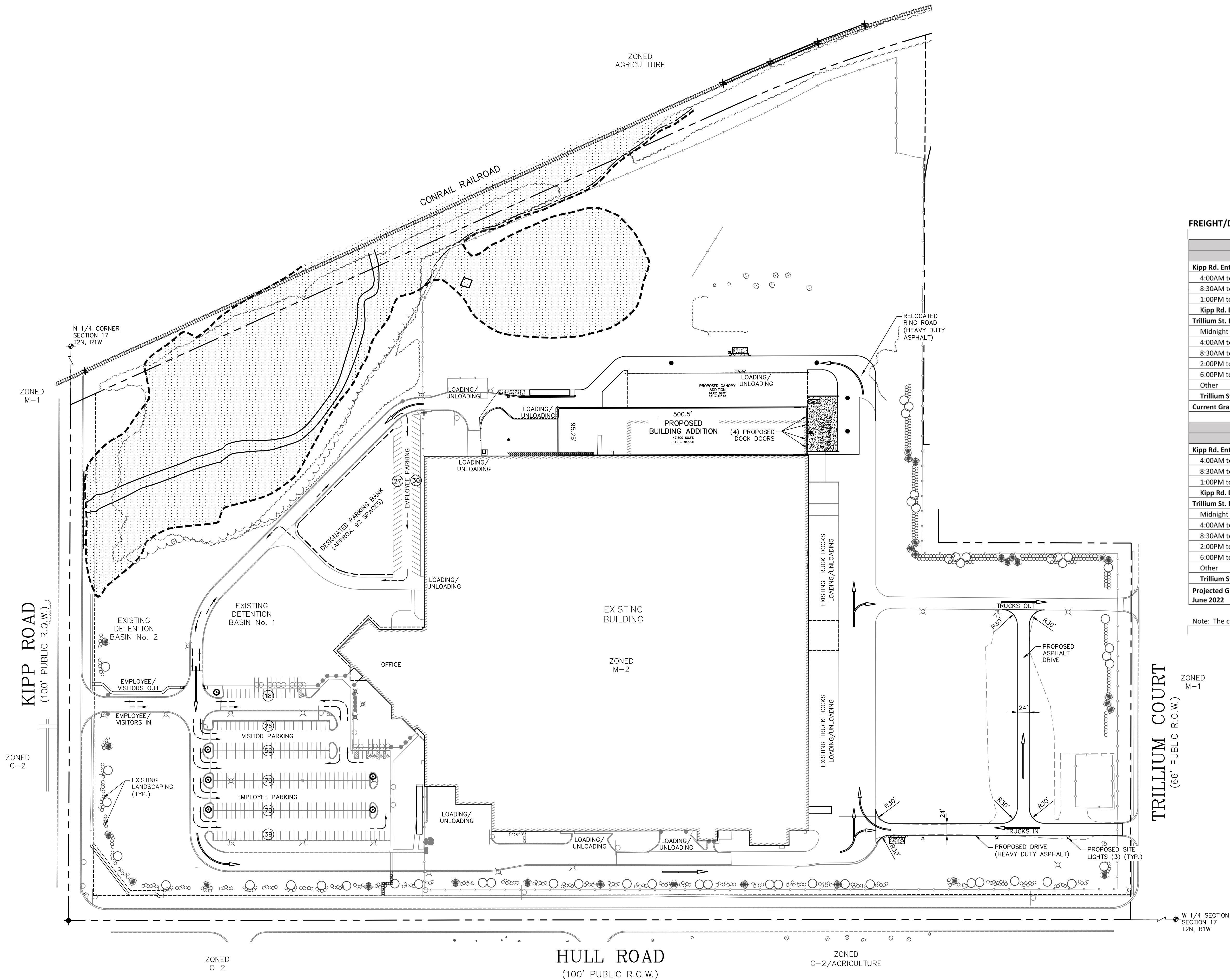
OVERALL SITE PLAN
FOR
GESTAMP 2021 EXPANSION
200 EAST KIPP ROAD
MASON, MI 48854



Know what's below.
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FILE: C2-0.DWG
DESIGNED BY: ADB
DRAWN BY: A.J.
CHECKED BY: ADB
DATE: MAY 24, 2021
SCALE:
HOR: 1"=100'
VERT: N/A
PROJECT NO.: 2679
SHEET NO.: C2.0

FILE: L:\2679 (WB GESTAMP MASON 2021)\C\6 PLANS\C2-01.DWG - PLOT DATE: 8/16/2021 11:09 AM BY: Andrew Irwin SCALE: 1:1



EMPLOYEE TRAFFIC - AUTOS

Description	Time Frame	Arrivals	Departures	Comments
Shift change 3 rd /1 st	5:00 am – 6:00 am	138	80	218 trips
Arrival of salaried staff	6:00 am – 8:00 am	80	0	80 trips (average 40 per hour)
Shift change 1 st /2 nd	1:30 pm – 2:30 pm	116	128	244 trips (324 cars in parking lot at max occupancy)
	2:30 pm – 2:45 pm	0	10	10 trips (average 40 per hour)
Departure of salaried staff	4:00 pm – 6:00 pm	0	80	80 trips (average 40 per hour)
Shift change 2 nd /3 rd	9:30 pm – 10:30 pm	80	80	160 trips

Date Data Collected: Wednesday June 2, 2021

FREIGHT/DELIVERY TRAFFIC - TRUCKS

CURRENT DAILY COUNTS						
	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
Kipp Rd. Entrance						
4:00AM to 8:30AM	2	2	2	2	2	1
8:30AM to 1:00PM	2	2	2	2	2	2
1:00PM to 6:00PM	3	3	3	3	3	1
Kipp Rd. Daily Totals	7	7	7	7	7	2
Trillium St. Entrance						
Midnight to 4:00AM	18	18	18	16	18	16
4:00AM to 8:30AM	32	32	32	29	31	24
8:30AM to 1:00PM	37	38	38	38	37	24
2:00PM to 6:00PM	25	25	32	25	32	17
6:00PM to Midnight	17	17	18	16	17	16
Other					2	
Trillium St. Daily Totals	129	130	138	124	137	97
Current Grand Total	136	137	145	131	144	99
PROJECTED DAILY COUNTS						
	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
Kipp Rd. Entrance						
4:00AM to 8:30AM	2	2	2	2	2	1
8:30AM to 1:00PM	2	2	2	2	2	2
1:00PM to 6:00PM	3	3	3	3	3	1
Kipp Rd. Daily Totals	7	7	7	7	7	2
Trillium St. Entrance						
Midnight to 4:00AM	24	25	25	22	26	22
4:00AM to 8:30AM	42	41	42	40	41	35
8:30AM to 1:00PM	48	49	49	49	47	35
2:00PM to 6:00PM	33	34	40	33	39	25
6:00PM to Midnight	22	21	22	20	22	20
Other					2	
Trillium St. Daily Totals	169	170	178	164	177	137
Projected Grand Total June 2022	176	177	185	171	184	139

Note: The counts shown are round trips. Each count includes one in and one out.

LEGEND

TRUCK TRAFFIC
EMPLOYEE/VISITORS CAR TRAFFIC

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DATE	DESCRIPTION	BY
08/15/21	REVISED FOR REVIEW COMMENTS	AJ

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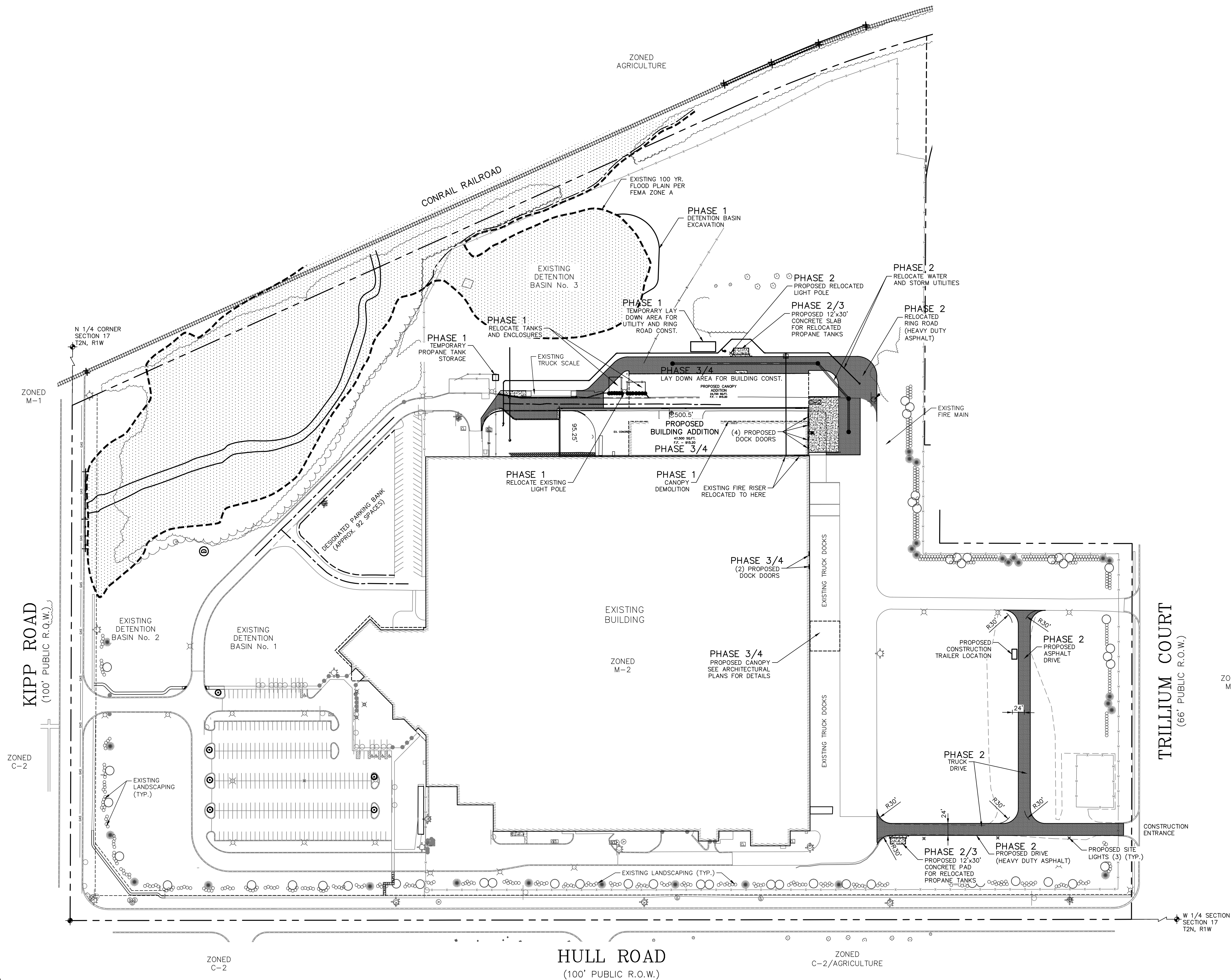
PREPARED FOR:
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PHONE # (517) 244-8800

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PHONE # (517) 372-8650

OVERALL SITE PLAN - TRAFFIC PLAN
FOR
GESTAMP 2021 EXPANSION
200 EAST KIPP ROAD
MASON, MI 48854

FILE	C2-01.DWG
DESIGNED BY	ADB
DRAWN BY	AJ
CHECKED BY	ADB
DATE	AUG. 12, 2021
SCALE	
HOR.	1"=100'
VERT.	N/A
PROJECT NO.	2679
SHEET NO.	C2.01

FILE: L:\2679 (WB GESTAMP MASON 2021)\C\6 PLANS\C2-02.DWG - PLOT DATE: 8/16/2021 11:09 AM BY: Andrew Irwin SCALE: 1:1



NOTES

CONSTRUCTION PHASING

PHASE 1:

- CONSTRUCT TEMPORARY PROPANE TANK STORAGE
- CLEARING AND EXCAVATION FOR RING ROAD RELOCATION
- EXCAVATE DETENTION BASIN
- RELOCATION OF WATER AND STORM UTILITIES, TESTING, OPERATION
- DEMOLITION OF EXISTING CANOPY
- PROPANE TANK ENCLOSURE.

PHASE 2:

- CONSTRUCTION OF NEW PROPANE TANK STORAGE AREAS
- CONSTRUCTION OF RELOCATED RING RD. (CURB, GUTTER, & PAVING).
- PAVING OF TRUCK DRIVES, RING ROAD
- SITE CONCRETE PLACEMENT AND INSTALLATION

PHASE 3:

- RELOCATION OF PROPANE STORAGE TO NEW PERMANENT LOCATION
- CONSTRUCTION OF BUILDING FOUNDATIONS & RETAINING WALLS
- CONSTRUCTION OF BUILDING PADS AND FLOOR SLABS

NOTE: SLAB FOR CANOPY ADDITION TO BE LAY DOWN AREA FOR BUILDING STEEL.

PHASE 4:

- ERECTION OF BUILDING ADDITION (FRAME, ROOFING, & SIDING)
- ERECTION OF CANOPY ADDITION (FRAME, ROOFING, & SIDE PANELS).
- FINAL PAVING TRUCK WELL/DOCKS. CONSTRUCTION OF SIDE WALLS.
- INSTALLATION OF LANDSCAPING
- FINAL SITE GRADING AND SEEDING

NOTE: ALL CONSTRUCTION TRAFFIC SHALL ENTER THE SITE FROM TRILLIUM COURT.

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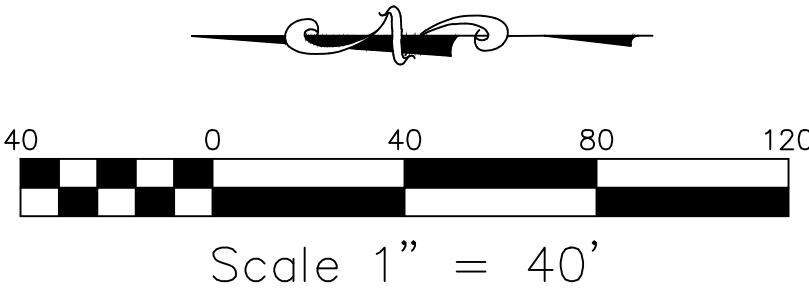
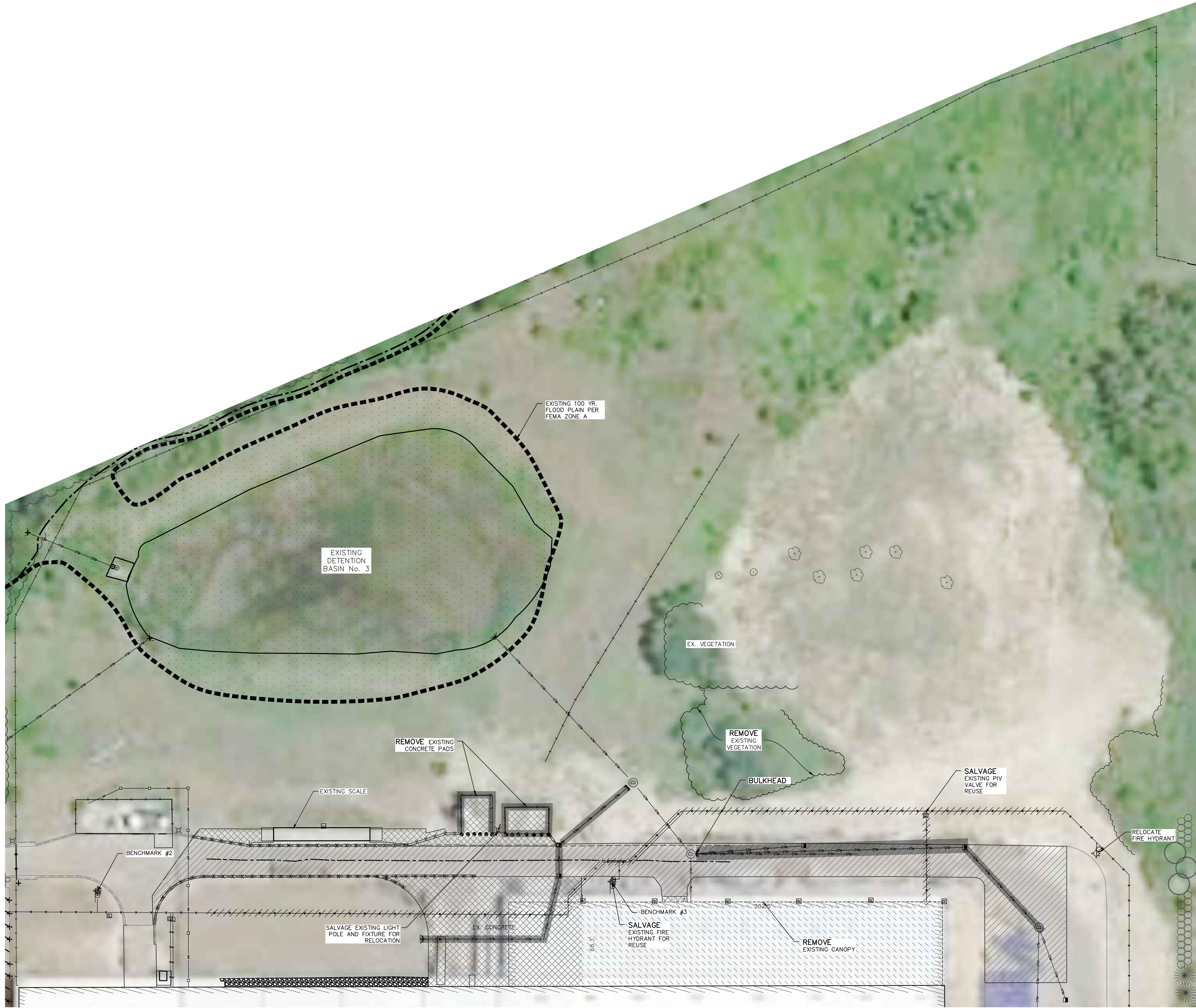
OVERALL SITE PLAN - CONSTRUCTION PHASING
FOR
GESTAMP 2021 EXPANSION
200 EAST KIPP ROAD
MASON, MI 48854

MISS
DIG
811

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FILE: C2-02.DWG
DESIGNED BY: ADB
DRAWN BY: A.J.
CHECKED BY: ADB
DATE: AUG. 12, 2021
SCALE:
HOR: 1"=100'
VERT: N/A
PROJECT NO.: 2679
SHEET NO.: C2.02

FILE: L:\2679 (WB GESTAMP MASON 2021)\C\6 PLANS\C2-1.DWG — PLOT DATE: 8/16/2021 11:10 AM BY: Andrew Irwin SCALE: 1:1



NOTES

- BENCHMARKS
#1. NORTHWEST FLANGE BOLT ON FIRE HYDRANT, 204'± NORTH AND 93'± WEST OF THE NORTHEAST CORNER OF BUILDING.
ELEVATION: 908.84 (NAVD 88)
#2. NORTHWEST FLANGE BOLT ON FIRE HYDRANT, 81'± WEST AND 66'± SOUTH OF THE NORTHEAST CORNER OF BUILDING.
ELEVATION: 915.75 (NAVD 88)
#3. NORTHWEST FLANGE BOLT ON FIRE HYDRANT, 88'± WEST AND 494'± SOUTH OF THE NORTHEAST CORNER OF BUILDING.
ELEVATION: 912.53 (NAVD 88)
- THE CONTRACTOR SHALL CALL "MISS DIG" AT 811 OR 1-800-482-7171 AT LEAST THREE (3) WORKING DAYS (EXCLUDING WEEKENDS AND HOLIDAYS) PRIOR TO CONSTRUCTION.
- LSG ENGINEERS & SURVEYORS WILL NOT BE RESPONSIBLE FOR FIELD DESIGN CHANGES MADE BY THE CONTRACTOR OR THE CONTRACTOR'S SURVEYOR WHERE THESE DESIGN CHANGES HAVE NOT BEEN APPROVED BY LSG ENGINEERS & SURVEYORS.
- UNLESS OTHERWISE NOTED, ALL DIMENSIONS ARE TO THE FACE OF CURB AND ALL BUILDING AND PAVEMENT LINES ARE PARALLEL AND/OR PERPENDICULAR TO THE EAST WALL OF THE BUILDING.
- SEE SHEET 2.02 FOR CONSTRUCTION PHASING.

DEMOLITION LEGEND

CONCRETE REMOVAL	
ASPHALT REMOVAL	
BUILDING DEMOLITION (SEE ARCH. PLANS)	
EXISTING UTILITIES TO BE REMOVED	
FENCING REMOVAL	
LIGHT POLE & BASE REMOVAL	
SIGN POLE & BASE REMOVAL	
EXISTING UTILITY (ABANDON)	
CURB & GUTTER REMOVAL	
TREES TO BE REMOVED	

DATE	DESCRIPTION	BY
08/15/21	REVISED PER REVIEW COMMENTS	AJJ
7/7/21	FOR SITE PLAN REVIEW AND PERMITS	SEP
08/16/21	60% SET	AJJ

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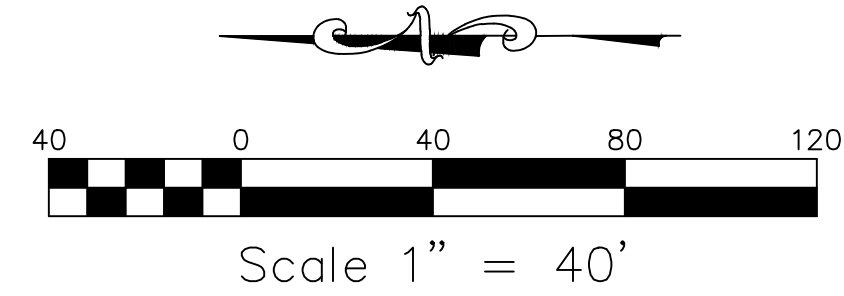
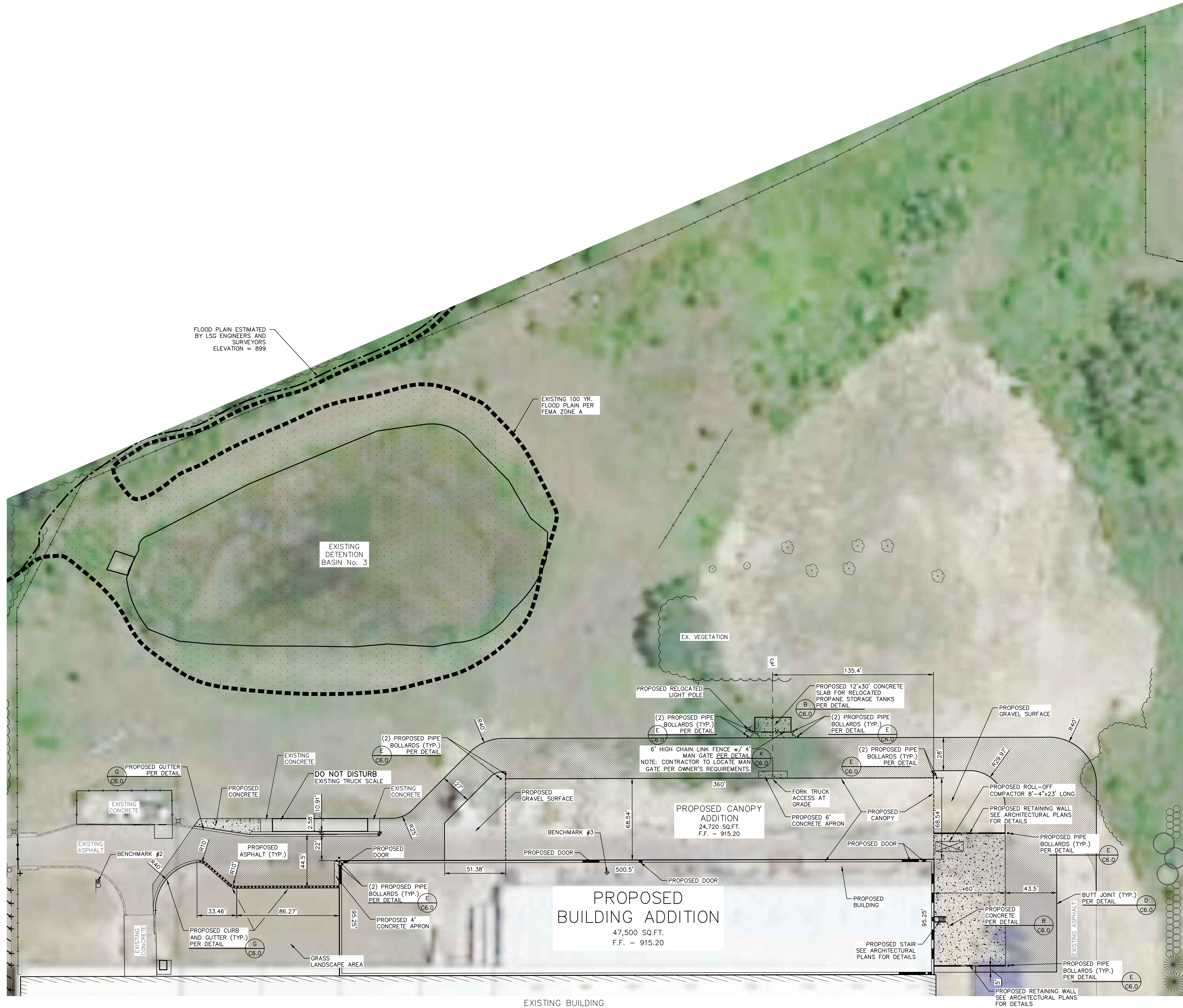
DETAILED DEMOLITION PLAN
FOR
GESTAMP 2021 EXPANSION
200 EAST KIPP ROAD
MASON, MI 48854

MISS DIG

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FILE	C2-1.DWG
DESIGNED BY	ADB
DRAWN BY	AJJ
CHECKED BY	ADB
DATE	MAY 24, 2021
SCALE	
HOR.	1"=40'
VERT.	N/A
PROJECT NO.	2679
SHEET NO.	C2.1

FILE: L:\2679 (WB GESTAMP MASON 2021)\C6 PLANS\C6-CDWG - PLOT DATE: 8/16/2021 11:10 AM BY: Andrew Irwin SCALE: 1:1



NOTES

- BENCHMARKS**
#1. NORTHWEST FLANGE BOLT ON FIRE HYDRANT, 204'± NORTH AND 93'± WEST OF THE NORTHEAST CORNER OF BUILDING.
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REVISIONS/SUBMITTALS	DATE	DESCRIPTION	BY
1	08/15/21	REVISED PER REVIEW COMMENTS	AJJ
2	07/17/21	FOR SITE PLAN REVIEW AND PERMITS	SEP
3	08/16/21	60% SET	AJJ

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PHONE # (517) 244-8800

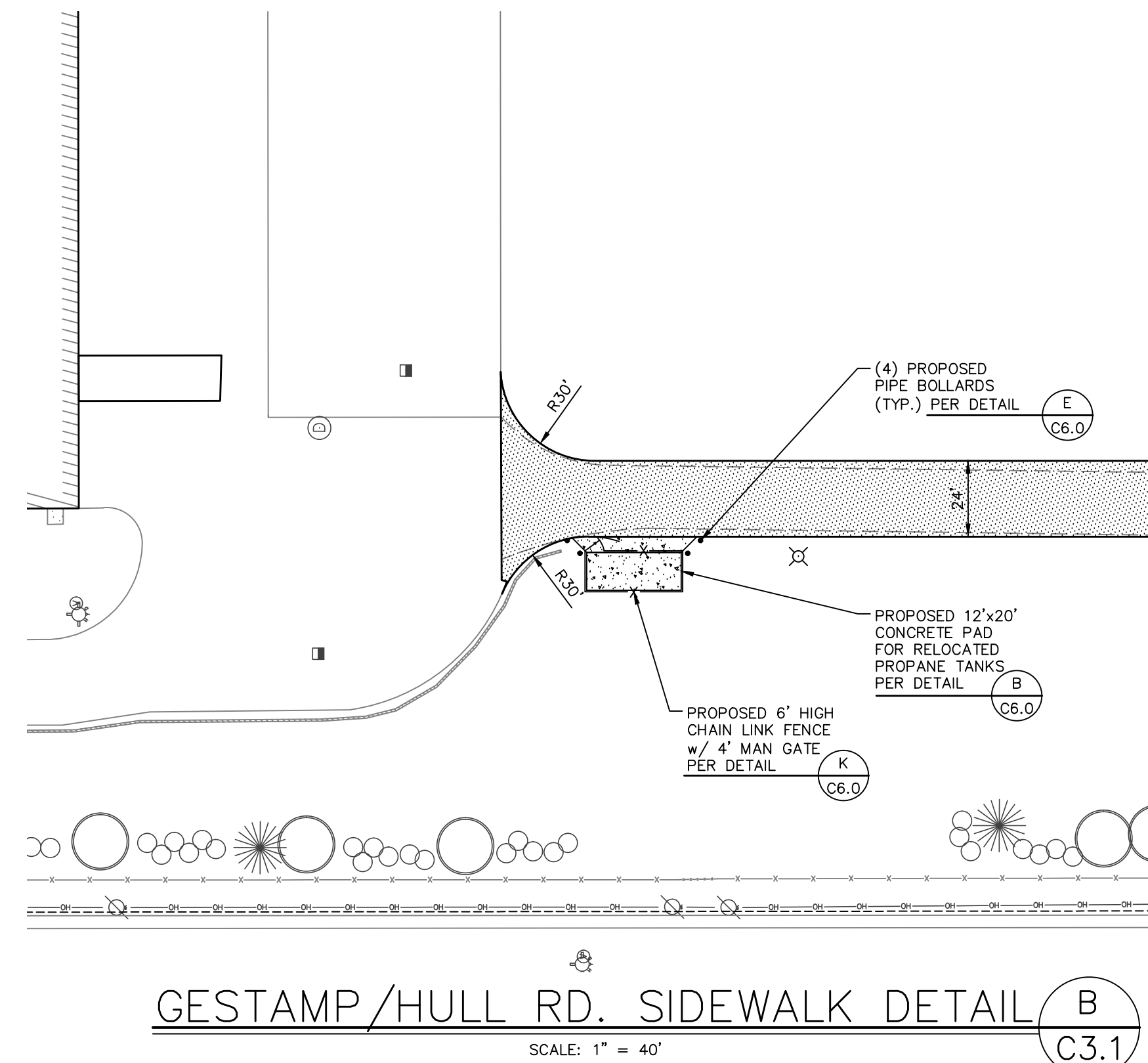
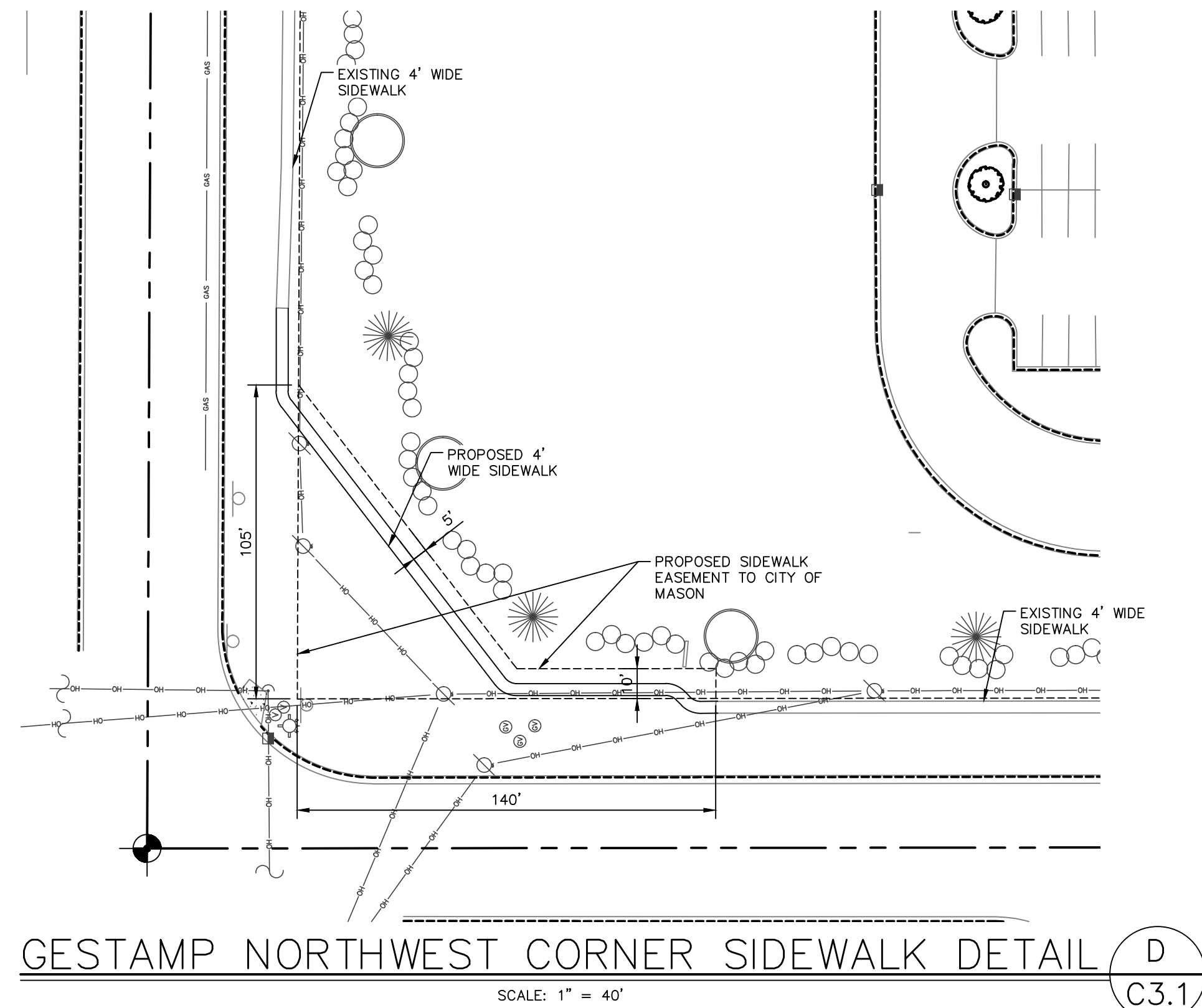
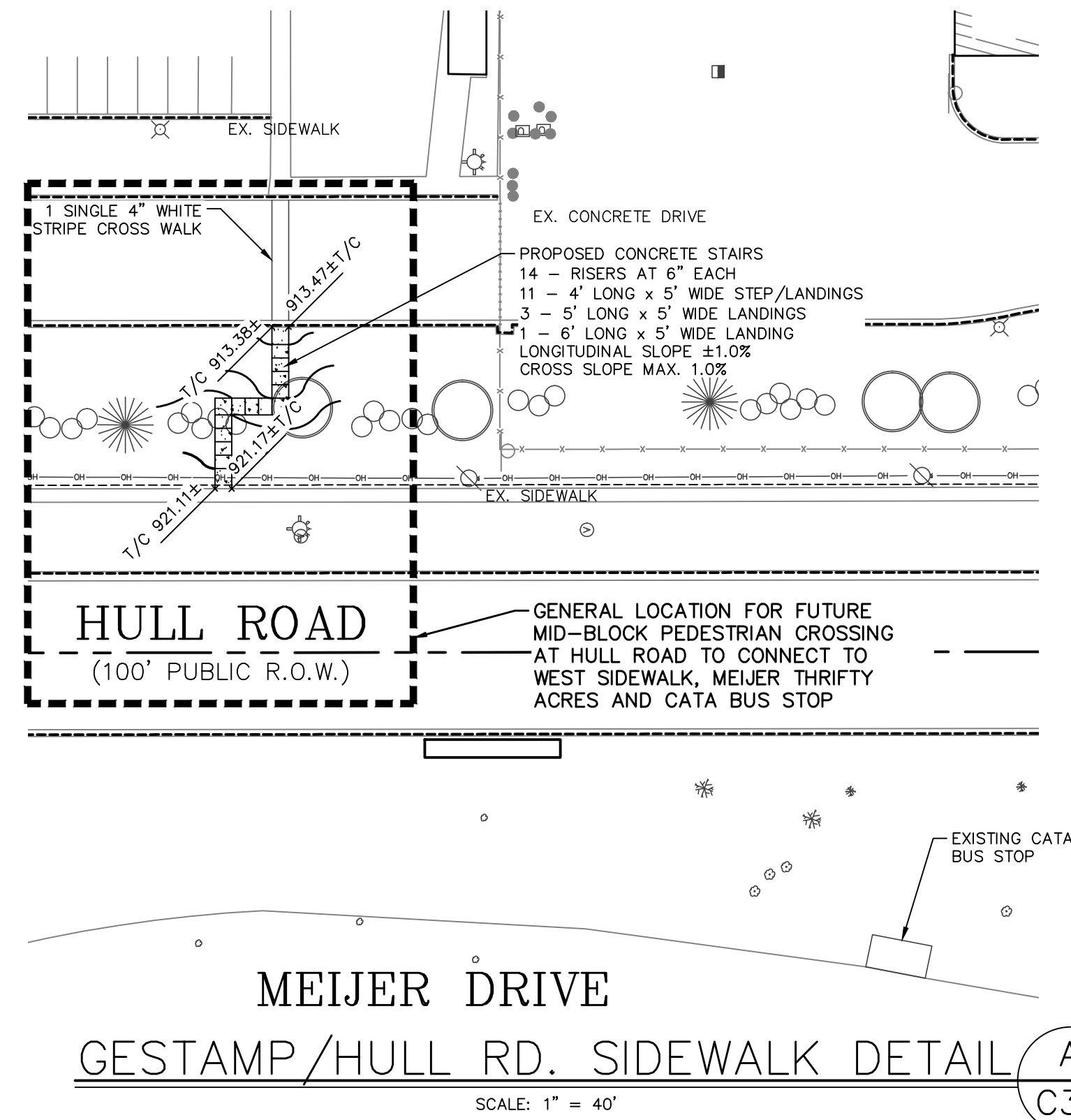
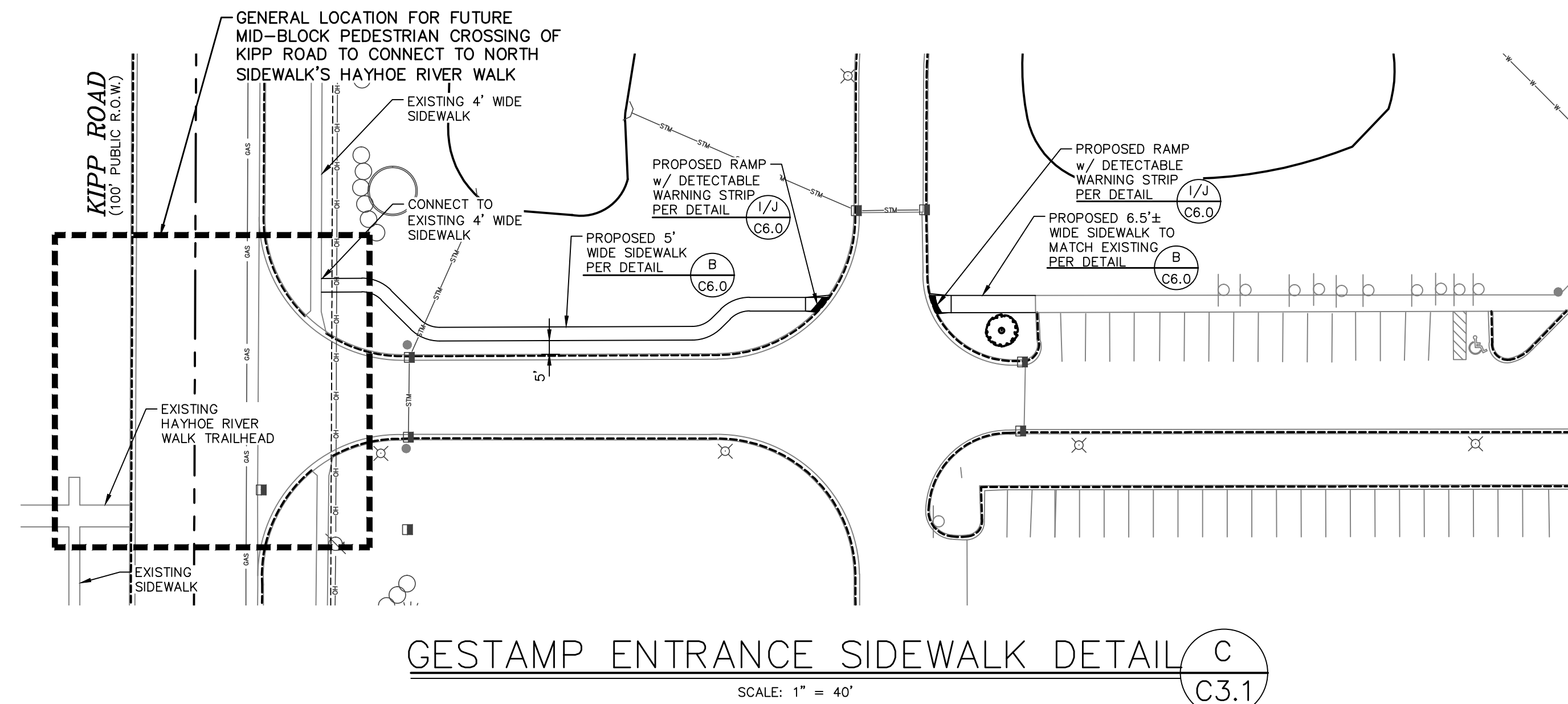
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LANSING, MICHIGAN 48911
PHONE # (517) 372-8650

DETAILED SITE PLAN
FOR
GESTAMP 2021 EXPANSION
200 EAST KIPP ROAD
MASON, MI 48854

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FILE C3-0.DWG
DESIGNED BY ADB
DRAWN BY AJJ
CHECKED BY ADB
DATE MAY 24, 2021
SCALE
HOR. 1"=40'
VERT. N/A
PROJECT NO. 2679
SHEET NO. C3.0

FILE: L:\2679 (WB GESTAMP MASON 2021)\C3-1 PLANS\C3-1.DWG - PLOT DATE: 8/16/2021 11:10 AM BY: Andrew Irwin SCALE: 1:1



REVISIONS/SUBMITTALS		
DATE	DESCRIPTION	BY
08/13/21	REVISED PER REVIEW COMMENTS	AJ

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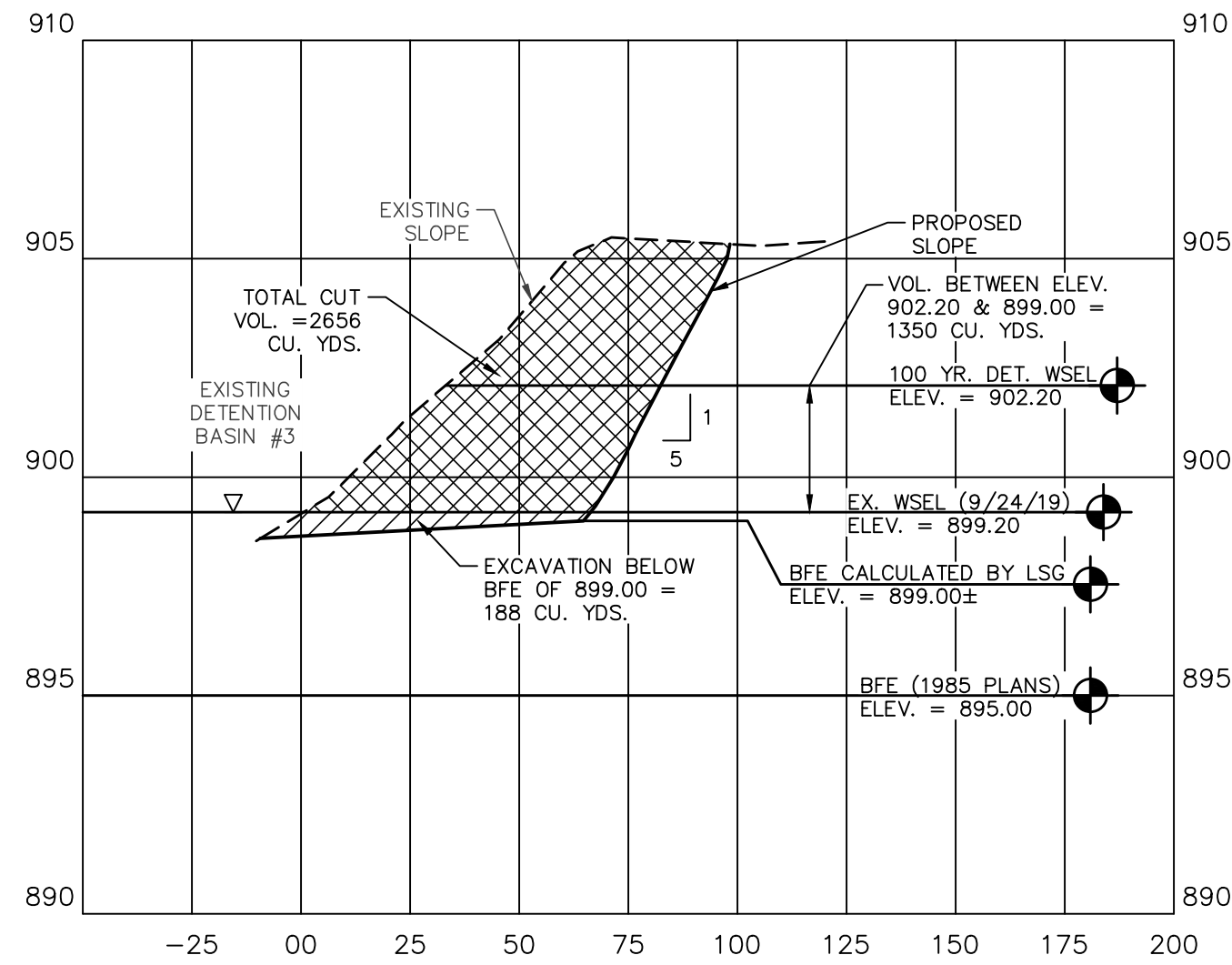
DETAILED SIDEWALK PLANS
FOR
GESTAMP 2021 EXPANSION
200 EAST KIPP ROAD
MASON, MI 48854

MISS DIG
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Know what's below.
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FILE: C3-1.DWG
DESIGNED BY: ADB
DRAWN BY: AJI
CHECKED BY: ADB
DATE: AUG. 08, 2021
SCALE:
HOR.: 1"=40'
VERT.: N/A
PROJECT NO.: 2679
SHEET NO.: C3.1

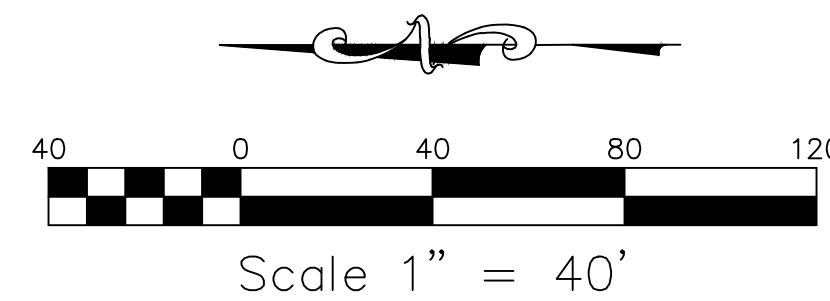
FILE: L:\2679 (WB GESTAMP MASON 2021)\C6 PLANS(C4-CDWG) - PLOT DATE: 8/16/2021 11:11 AM BY: Andrew Irwin SCALE: 1:1

DETENTION BASIN #3 SLOPE SECTION



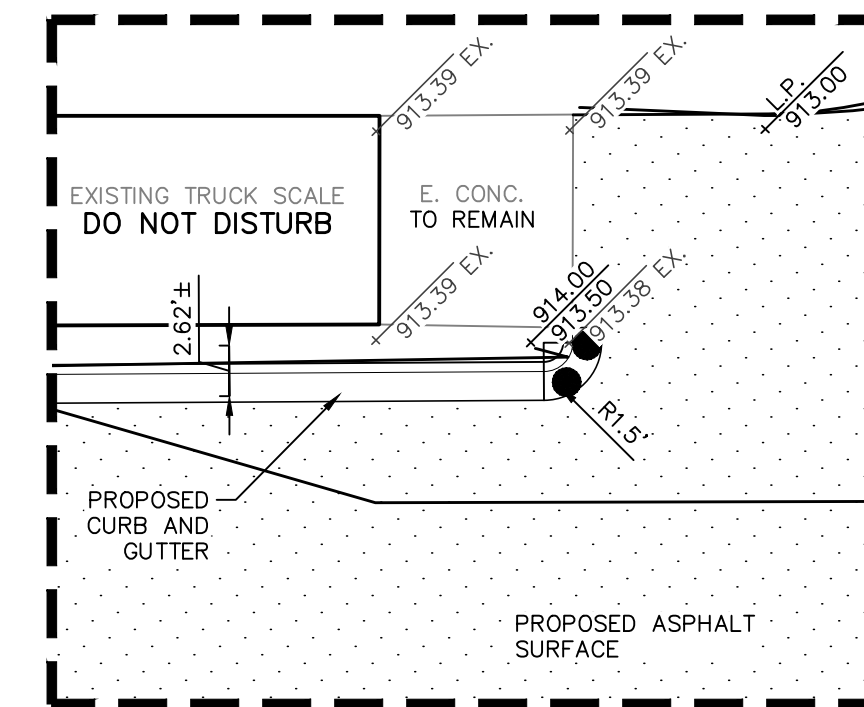
DETAIL B
C4.0
SCALE: HOR. 1"=40'
VERT. 1"=4'

EXCAVATION OF DETENTION BASIN
PER EGLE PERMIT WRP 030048V.1



NOTES

- BENCHMARKS
 - NORTHWEST FLANGE BOLT ON FIRE HYDRANT, 204'± NORTH AND 93'± WEST OF THE NORTHEAST CORNER OF BUILDING.
ELEVATION: 908.84 (NAVD 88)
 - NORTHWEST FLANGE BOLT ON FIRE HYDRANT, 81'± WEST AND 66'± SOUTH OF THE NORTHEAST CORNER OF BUILDING.
ELEVATION: 915.75 (NAVD 88)
 - NORTHWEST FLANGE BOLT ON FIRE HYDRANT, 88'± WEST AND 494'± SOUTH OF THE NORTHEAST CORNER OF BUILDING.
ELEVATION: 912.53 (NAVD 88)
- THE CONTRACTOR SHALL CALL "MISS DIG" AT 811 OR 1-800-482-7171 AT LEAST THREE (3) WORKING DAYS (EXCLUDING WEEKENDS AND HOLIDAYS) PRIOR TO CONSTRUCTION
- LSG ENGINEERS & SURVEYORS WILL NOT BE RESPONSIBLE FOR FIELD DESIGN CHANGES MADE BY THE CONTRACTOR OR THE CONTRACTOR'S SURVEYOR WHERE THESE DESIGN CHANGES HAVE NOT BEEN APPROVED BY LSG ENGINEERS & SURVEYORS.
- UNLESS OTHERWISE NOTED, ALL DIMENSIONS ARE TO THE FACE OF CURB AND ALL BUILDING AND PAVEMENT LINES ARE PARALLEL AND/OR PERPENDICULAR TO THE EAST WALL OF THE BUILDING.
- SEE SHEET C7.0 FOR SOIL EROSION AND SEDIMENTATION CONTROL PLAN.



DETAIL A
C4.0

PROPOSED
BUILDING ADDITION
47,500 SQ.FT.
F.F. = 915.20

BENCHMARK #3

SEE DETAIL A

EX. F.F.
ELEV. = 915.20

EXISTING BUILDING

REVISIONS/SUBMITTALS	DATE	DESCRIPTION	BY
1	08/15/21	REVISED PER REVIEW COMMENTS	A.J.
2	08/16/21	FOR SITE PLAN REVIEW AND PERMITS	A.J.
3	08/16/21	60% SET	A.J.

LSG
Engineers
& Surveyors

3135 PINE TREE ROAD
SUITE D
LANSING, MI 48911
PH. (517) 393-2902
FAX (517) 393-2608
www.lsg-es.com

PREPARED FOR:
Gestamp
200 EAST KIPP ROAD
MASON, MICHIGAN 48854
PHONE # (517) 244-8800

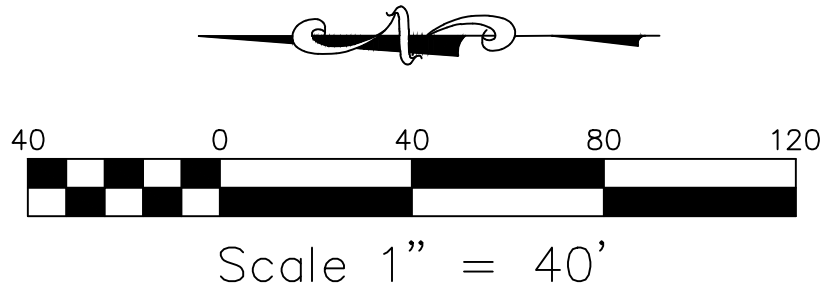
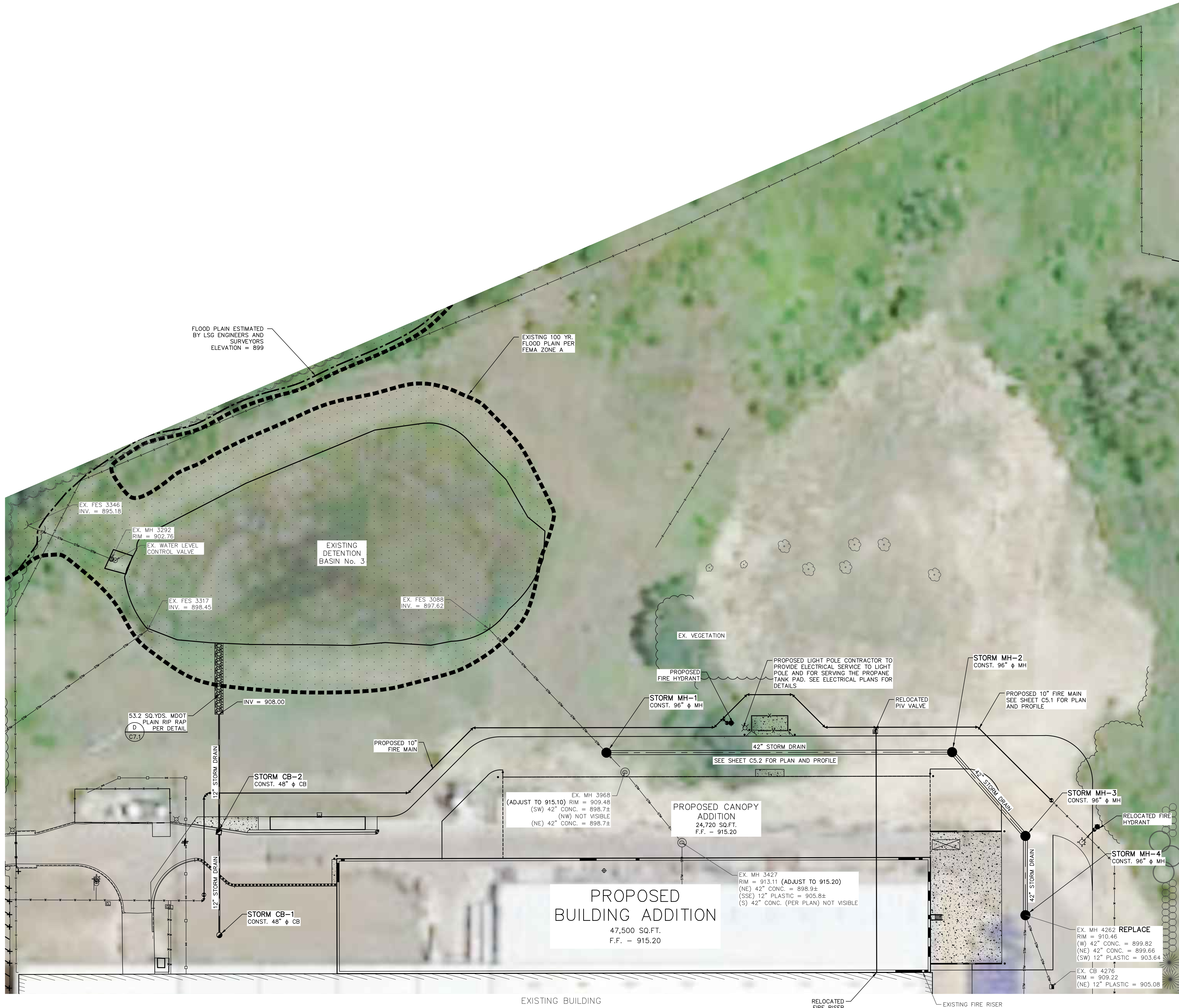
WIELAND
4162 ENGLISH OAK DRIVE
LANSING, MICHIGAN 48911
PHONE # (517) 372-8650

DETAILED GRADING PLAN
FOR
GESTAMP 2021 EXPANSION
200 EAST KIPP ROAD
MASON, MI 48854

MISS
DIG
811
Know what's below.
Call before you dig.

FILE: C4-0.DWG
DESIGNED BY: ADB
DRAWN BY: A.J.
CHECKED BY: ADB
DATE: MAY 24, 2021
SCALE:
HOR. 1"=40'
VERT. N/A
PROJECT NO. 2679
SHEET NO. C4.0

FILE: L:\2679 (WB GESTAMP MASON 2021)\C6 PLANS\CB-0.DWG - PLOT DATE: 8/16/2021 11:11 AM BY: Andrew Irwin SCALE: 1:1



NOTES

- BENCHMARKS
#1. NORTHWEST FLANGE BOLT ON FIRE HYDRANT, 204'± NORTH AND 93'± WEST OF THE NORTHEAST CORNER OF BUILDING.
ELEVATION: 908.84 (NAVD 88)
#2. NORTHWEST FLANGE BOLT ON FIRE HYDRANT, 81'± WEST AND 66'± SOUTH OF THE NORTHEAST CORNER OF BUILDING.
ELEVATION: 915.75 (NAVD 88)
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- THE CONTRACTOR SHALL CALL "MISS DIG" AT 811 OR 1-800-482-7171 AT LEAST THREE (3) WORKING DAYS (EXCLUDING WEEKENDS AND HOLIDAYS) PRIOR TO CONSTRUCTION.
- LSG ENGINEERS & SURVEYORS WILL NOT BE RESPONSIBLE FOR FIELD DESIGN CHANGES MADE BY THE CONTRACTOR OR THE CONTRACTOR'S SURVEYOR WHERE THESE DESIGN CHANGES HAVE NOT BEEN APPROVED BY LSG ENGINEERS & SURVEYORS.
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- SEE SHEET C7.0 FOR SOIL EROSION AND SEDIMENTATION CONTROL PLAN.

REVISIONS/SUBMITTALS	DATE	DESCRIPTION	BY
	08/15/21	REVISED PER REVIEW COMMENTS	AJJ
	07/17/21	FOR SITE PLAN REVIEW AND PERMITS	SEP
	06/16/21	60% SET	AJJ

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Engineers
& Surveyors

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SUITE D
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FAX (517) 393-2608
www.lsg-es.com

PREPARED FOR:
Gestamp
200 EAST KIPP ROAD
MASON, MICHIGAN 48854
PHONE # (517) 244-8800

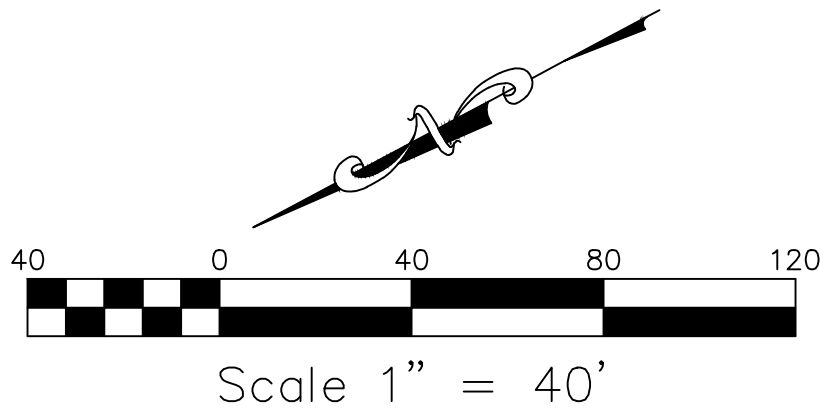
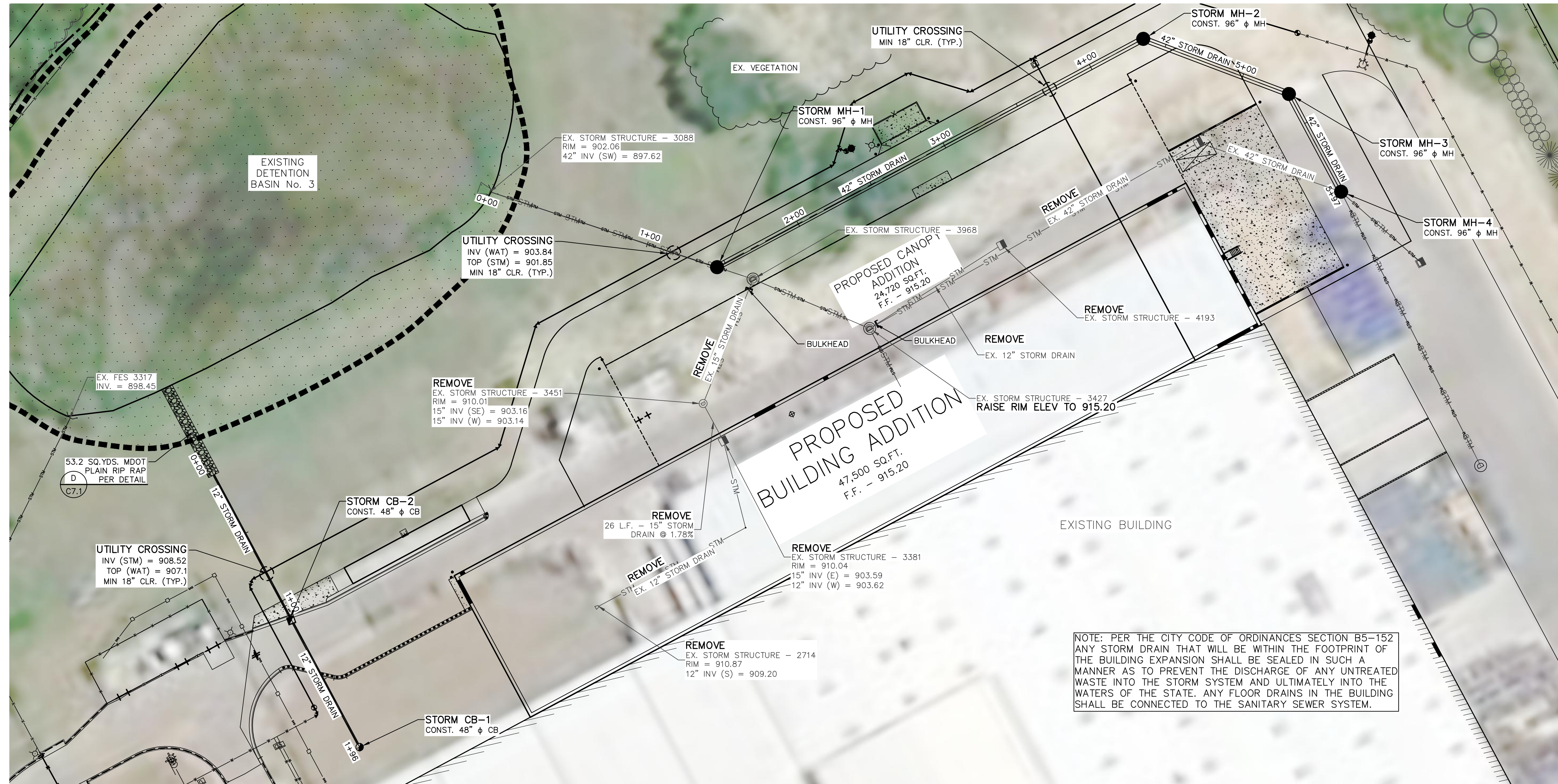
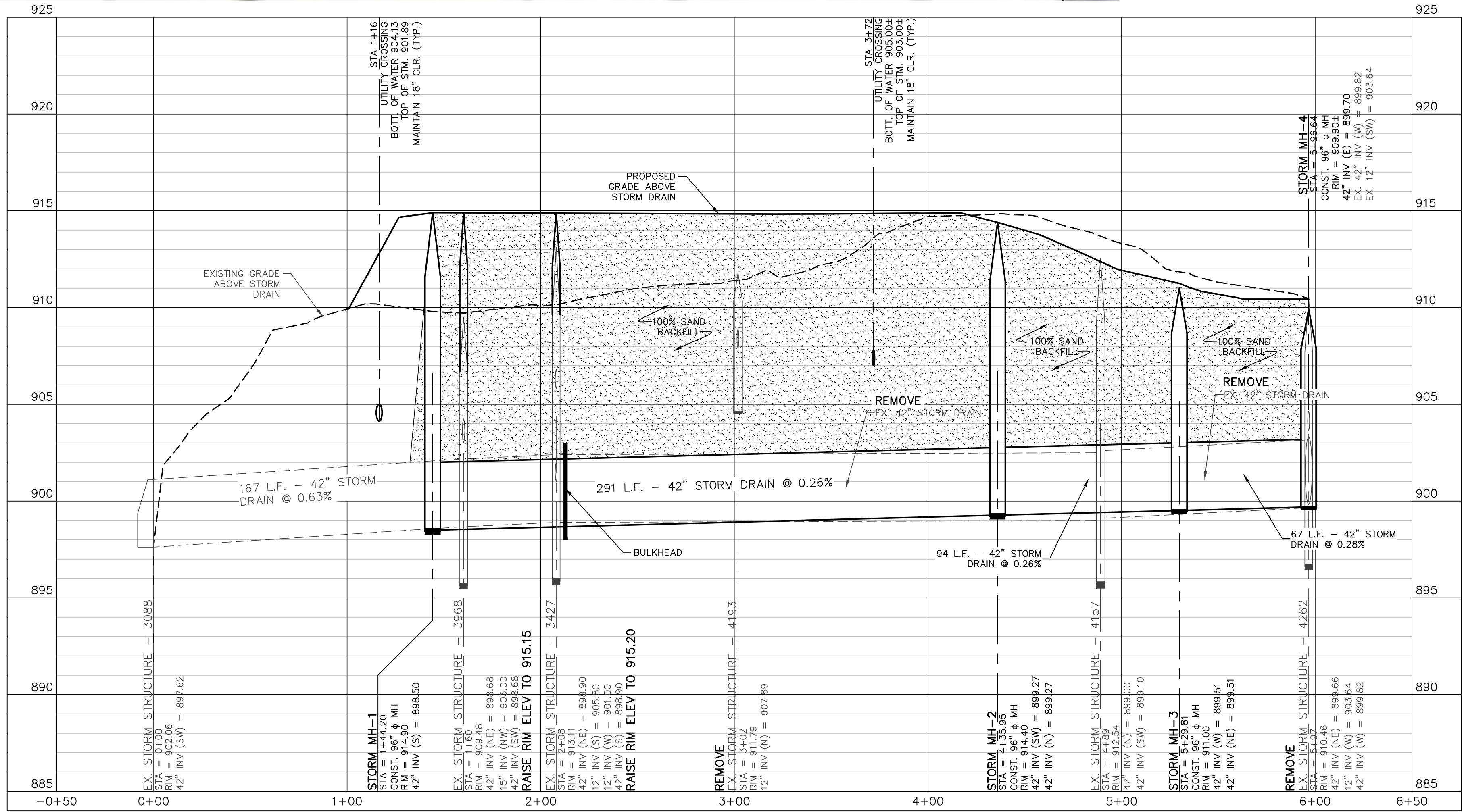
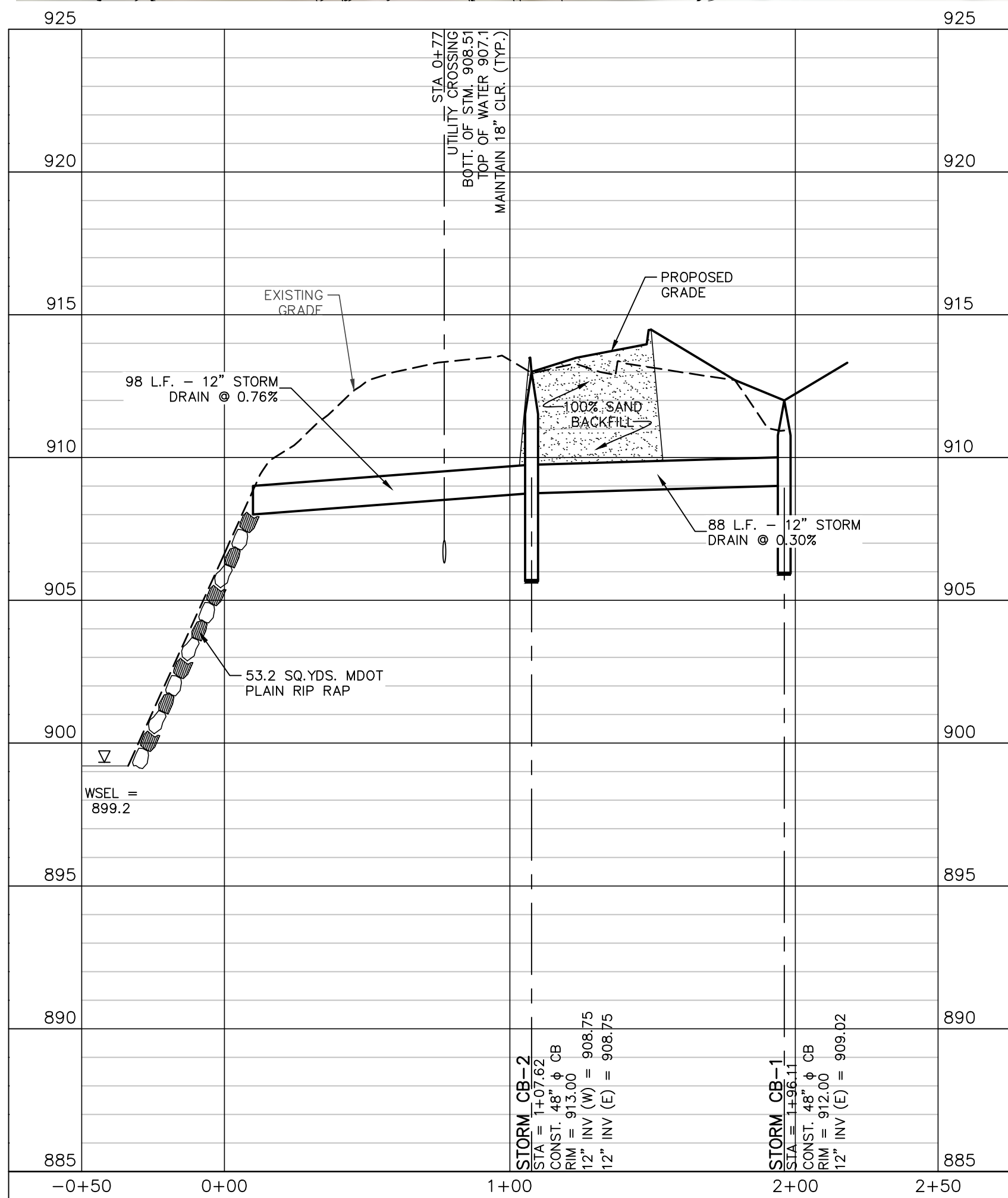
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LANSING, MICHIGAN 48911
PHONE # (517) 372-8650

DETAILED UTILITY PLAN
FOR
GESTAMP 2021 EXPANSION
200 EAST KIPP ROAD
MASON, MI 48854

MISS
DIG
811
Know what's below.
Call before you dig.

FILE	C5-0.DWG
DESIGNED BY	ADB
DRAWN BY	AJJ
CHECKED BY	ADB
DATE	MAY 24, 2021
SCALE	
HOR.	1"=40'
VERT.	N/A
PROJECT NO.	2679
SHEET NO.	C5.0

FILE: L:\2679 (WB GESTAMP MASON 2021)\C6 PLANS(C6-2.DWG) - PLOT DATE: 8/16/2021 11:12 AM BY: Andrew Irwin SCALE: 1:1



NOTES

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- SEE SHEET C7.0 FOR SOIL EROSION AND SEDIMENTATION CONTROL PLAN.
- PER THE CITY CODE OF ORDINANCES SECTION B5-152 ANY STORM DRAIN THAT WILL BE WITHIN THE FOOTPRINT OF THE BUILDING EXPANSION SHALL BE SEALED IN SUCH A MANNER AS TO PREVENT THE DISCHARGE OF ANY UNTREATED WASTE INTO THE STORM SYSTEM AND ULTIMATELY INTO THE WATERS OF THE STATE. ANY FLOOR DRAINS IN THE BUILDING SHALL BE CONNECTED TO THE SANITARY SEWER SYSTEM.

REVISED FOR REVIEW COMMENTS	DATE	DESCRIPTION	BY
9/15/21	9/15/21	FOR SITE PLAN REVIEW AND PERMITS	AJI
9/16/21	9/16/21	60% SET	AJI

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200 EAST KIPP ROAD
MASON, MICHIGAN 48854
PHONE # (517) 244-8800

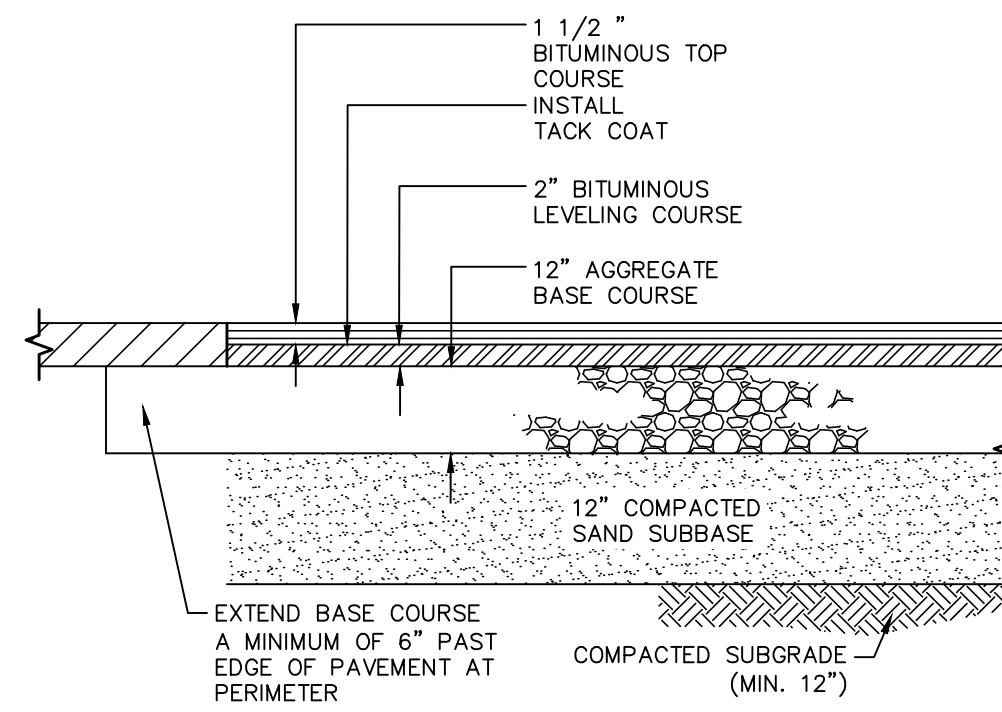
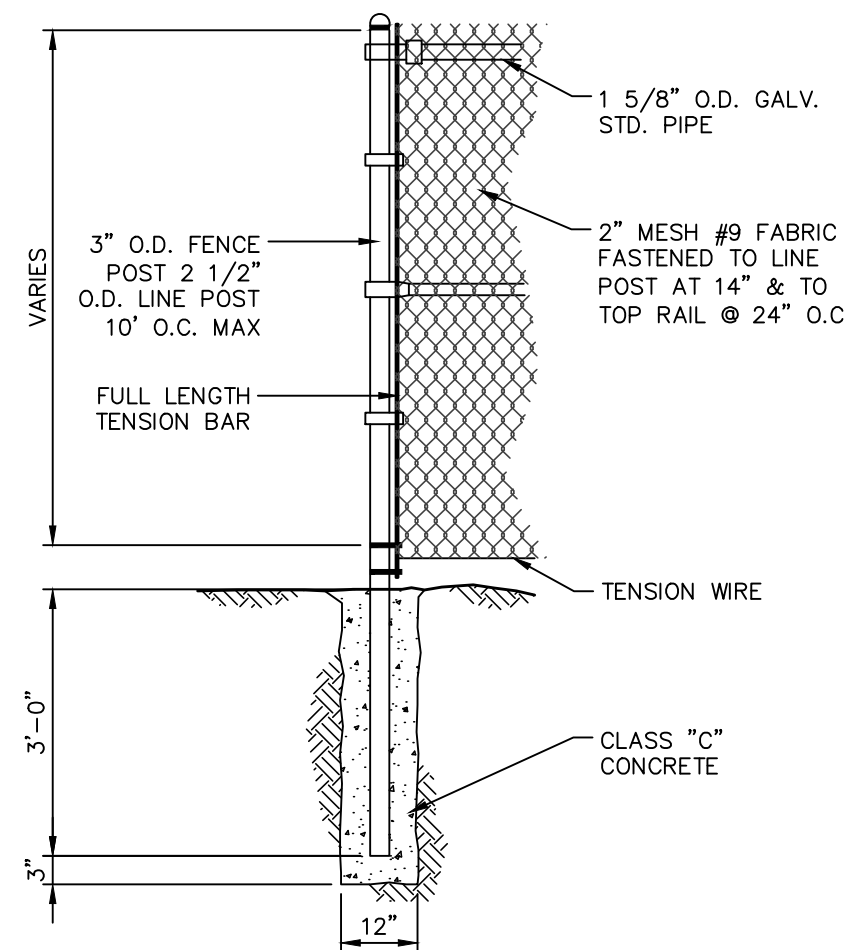
WIELAND
4162 ENGLISH OAK DRIVE
LANSING, MICHIGAN 48911
PHONE # (517) 372-8650

STORM DRAINAGE PLAN AND PROFILE
FOR
GESTAMP 2021 EXPANSION
200 EAST KIPP ROAD
MASON, MI 48854

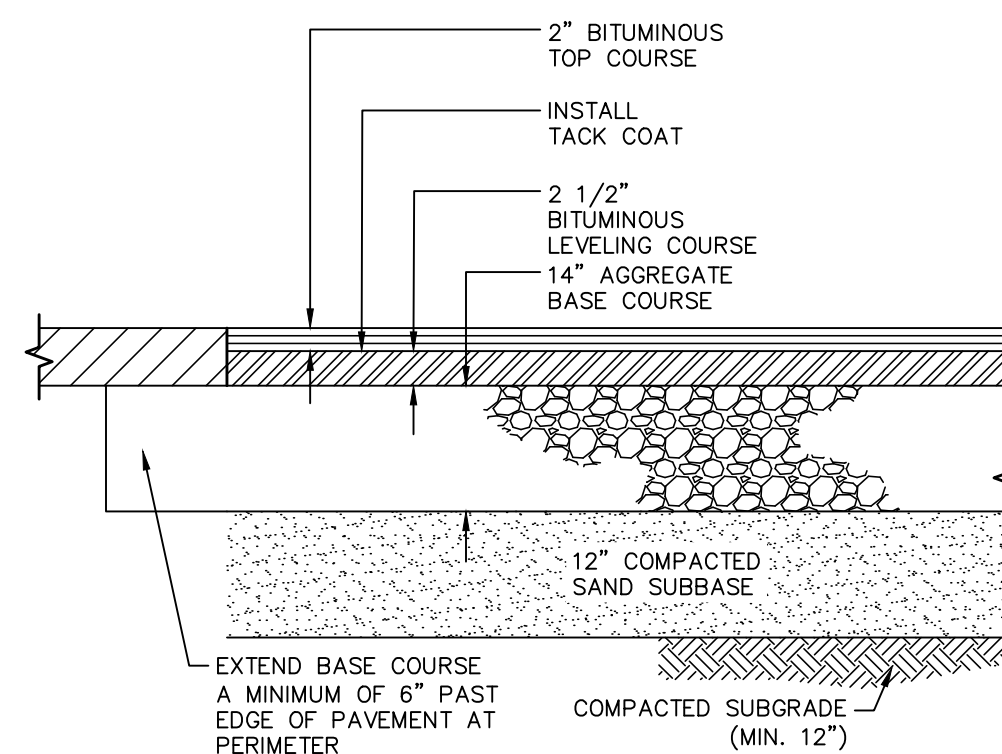
MISS
DIG
Know what's below.
Call before you dig.

FILE: C5-2.DWG
DESIGNED BY: ADB
DRAWN BY: AJI
CHECKED BY: ADB
DATE: MAY 24, 2021
SCALE:
HOR: 1"=40'
VERT: 1"=4'
PROJECT NO.: 2679
SHEET NO.: C5.2

1. HEIGHT SHALL BE AS REQUIRED BY STANDARD 6"0" WIRE FABRIC.
2. FABRIC SHALL BE #9 GUAGE, CHAIN LINK OPEN HEARTH STEEL WIRE, HOT-DIP GALVANIZED AFTER LEAVING WITH MINIMUM COATING OF 2.0 OUNCES OF ZINC PER SQUARE FOOT OR ALUMINUM COATING WITH 4.0 OUNCES PER SQUARE FOOT, WOVEN IN 2" DIAMOND MESH.
3. CORNER, TERMINAL, GATE AND PULL POSTS SHALL BE 3.5"x3.5" ROLL FORMED STEEL SECTION, WEIGHT 4.8 LBS. PER FOOT.
4. INTERMEDIATE POSTS SHALL BE 2.25"x1.70" ROLL FORMED STEEL "C" SECTION, WEIGHT 2.64 LBS. PER FOOT.
5. TOP, INTERMEDIATE AND BOTTOM RAILS SHALL BE 1.625"x1.25" ROLL FORMED STEEL "C" SECTION, WEIGHT 1.37 LBS. PER FOOT.
6. CONCRETE FOR SETTING POSTS SHALL BE PORTLAND CEMENT COMPLYING WITH ASTM C-150, AGGREGATES COMPLYING WITH ASTM C-33, AND CLEAN WATER. MIX MATERIAL TO OBTAIN CONCRETE WITH A MINIMUM 28-DAY COMPRESSIVE STRENGTH OF 2500 PSI.
7. STRETCHER BAR BANDS, TIE WIRES, HOG RINGS, COUPLINGS, NUTS, STRETCHER BARS, BOLTS AND MISCELLANEOUS FASTENING DEVICES SHALL BE MANUFACTURER'S STANDARD FOR HEAVY CONSTRUCTION FENCE.
8. SWING GATES SHALL CONSIST OF THE FOLLOWING COMPONENTS:
 - A. 2" O.D. STEEL PIPE 2.72 LBS. PER FOOT, HOT-DIP GALVANIZED, ATTACHED FRAME TO BE EQUIPPED WITH 3/8" DIAMETER ADJUSTABLE TRUSS RODS.
 - B. HINGES SHALL BE HOT-DIP GALVANIZED PRESSED STEEL ON MILD STEEL IRON TO FIT THE SIZE, NON-LIFT-OFF TYPE. HINGES SHALL BE OFFSET TO PERMIT 180 DEGREE OPERATION. PROVIDE ONE (1) PAIR OF HINGES PER LEAF.
 - C. LATCH SHALL BE FORKED TYPE TO PERMIT OPERATION FROM EITHER SIDE WITH PROVISIONS TO LOCK BOTH LEAVES WITH PADLOCK.



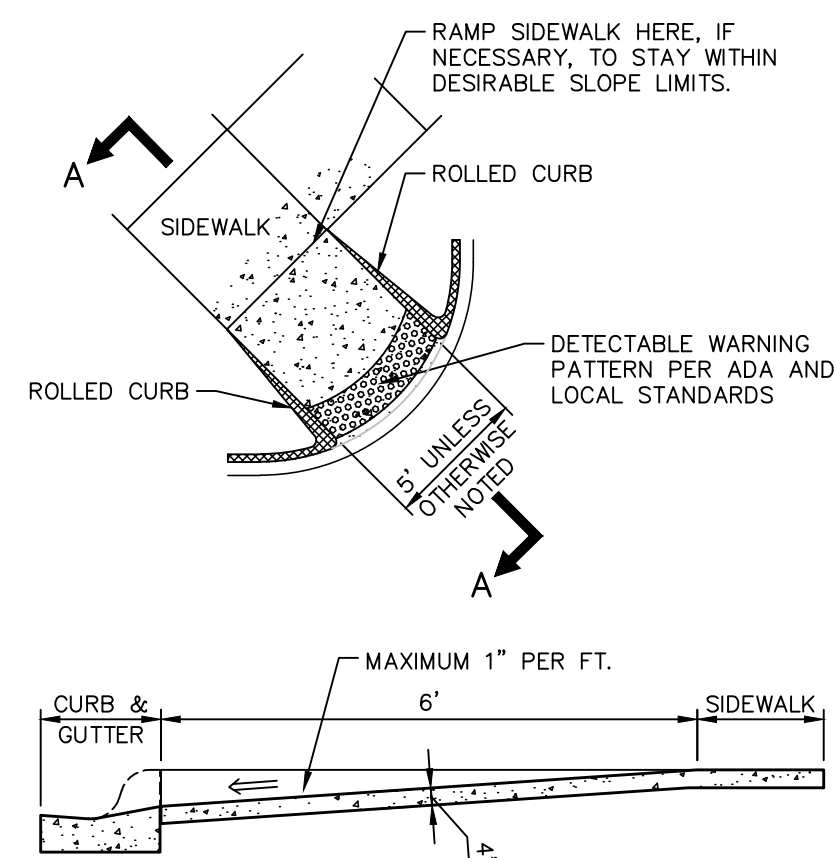
LIGHT DUTY PAVEMENT SECTION



HEAVY DUTY PAVEMENT SECTION

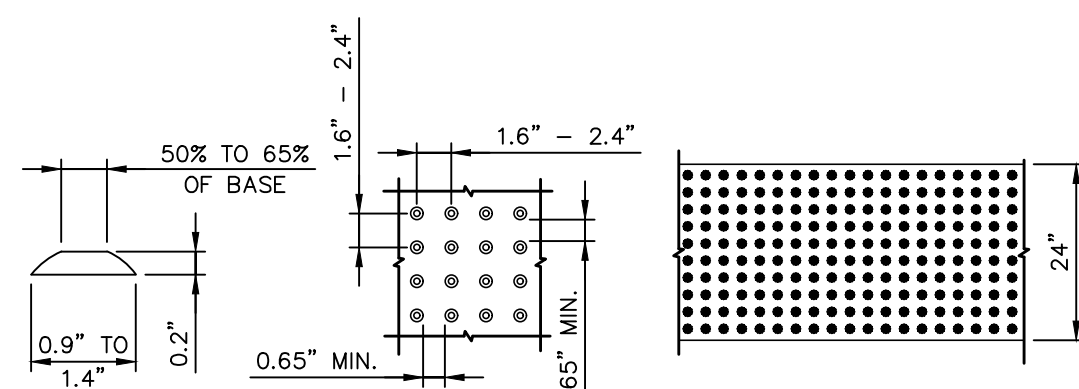
MATERIAL TYPES
BIT. TOP COURSE NO. 36A TOP
BIT. LEVELING COURSE NO. 13A LEVELING
AGG. BASE COURSE 21AA
ALL MATERIAL DESIGNATIONS REFER TO
M.D.O.T. STANDARD SPECIFICATIONS FOR
CONSTRUCTION, CURRENT EDITION

SITE PAVEMENT SECTIONS A



SECTION A-A
(TYP. ALL RAMP DETAILS)

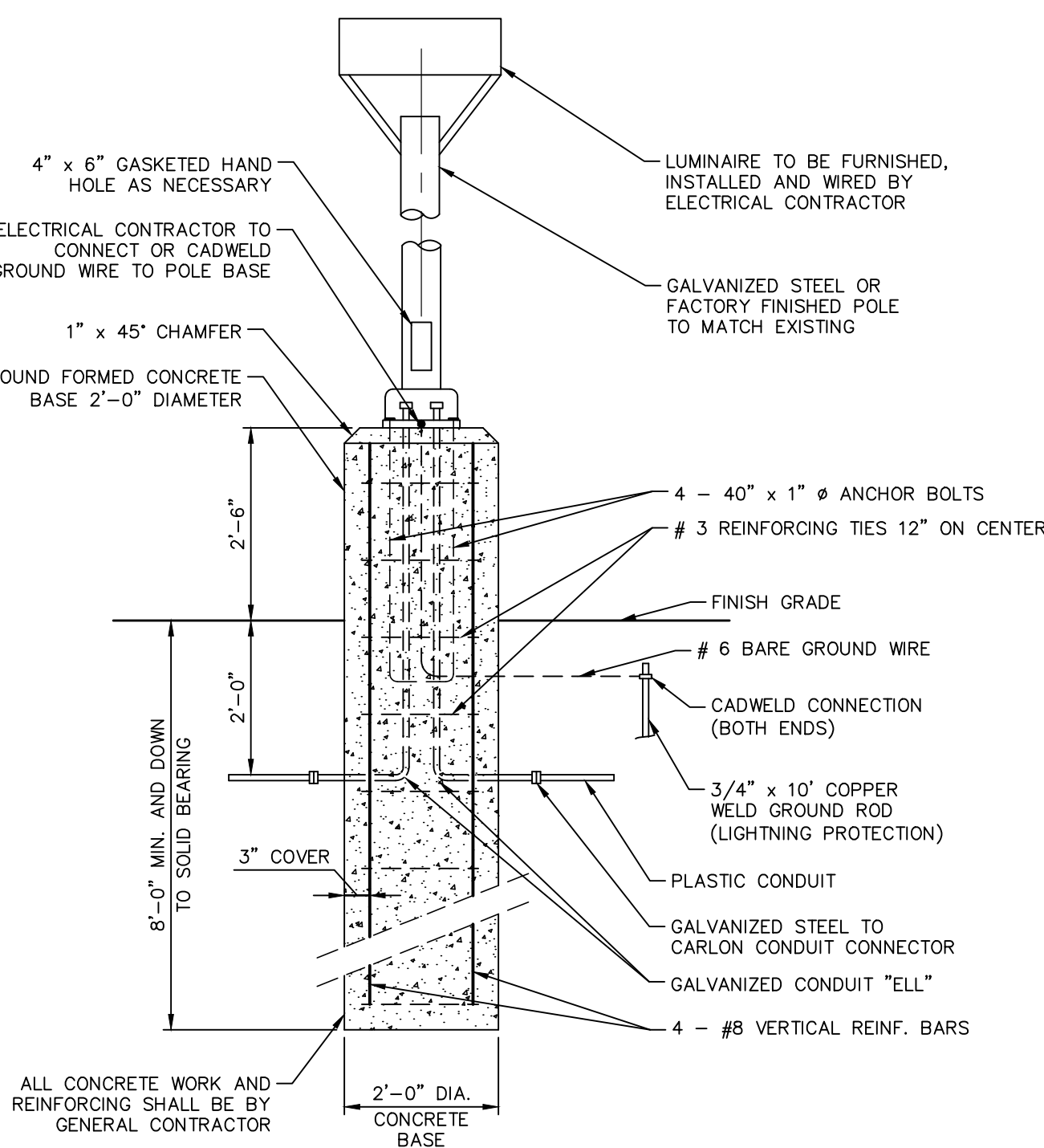
SIDEWALK RAMP (NOT TO SCALE)



DOME ALIGNMENT

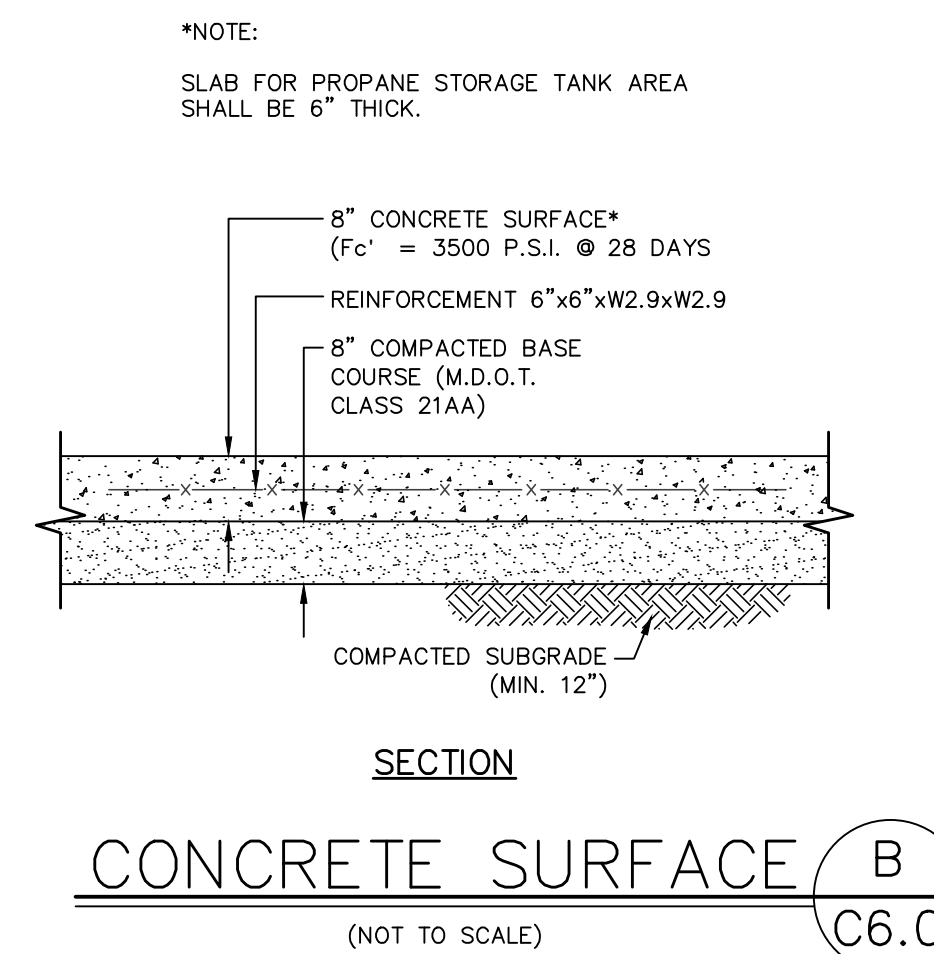
DETECTABLE WARNINGS SHALL EXTEND THE FULL WIDTH OF THE CURB RAMP. THEY SHALL BE LOCATED SO THAT THE EDGE NEAREST THE CURB LINE IS 6" TO 8" FROM THE CURB LINE.

DETECTABLE WARNING DETAIL



1. LIGHTING POLE TO MATCH EXISTING.

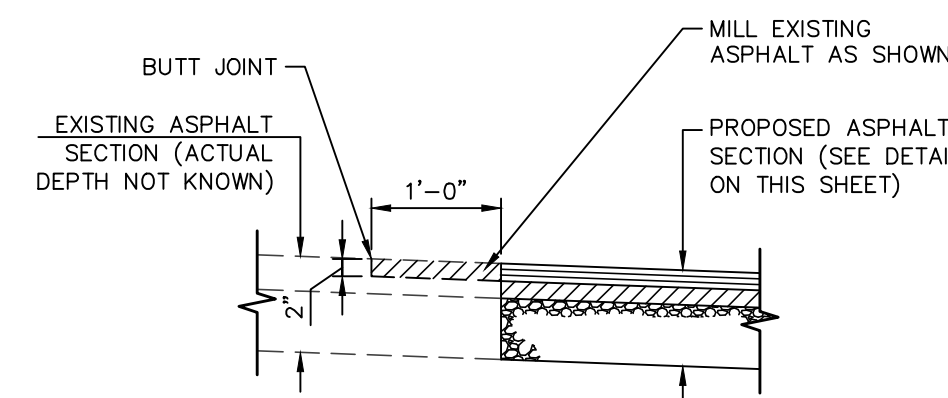
PARKING LOT LIGHTING
W/ CONCRETE BASE/



SLAB FOR PROPANE STORAGE TANK AREA
SHALL BE 6" THICK.

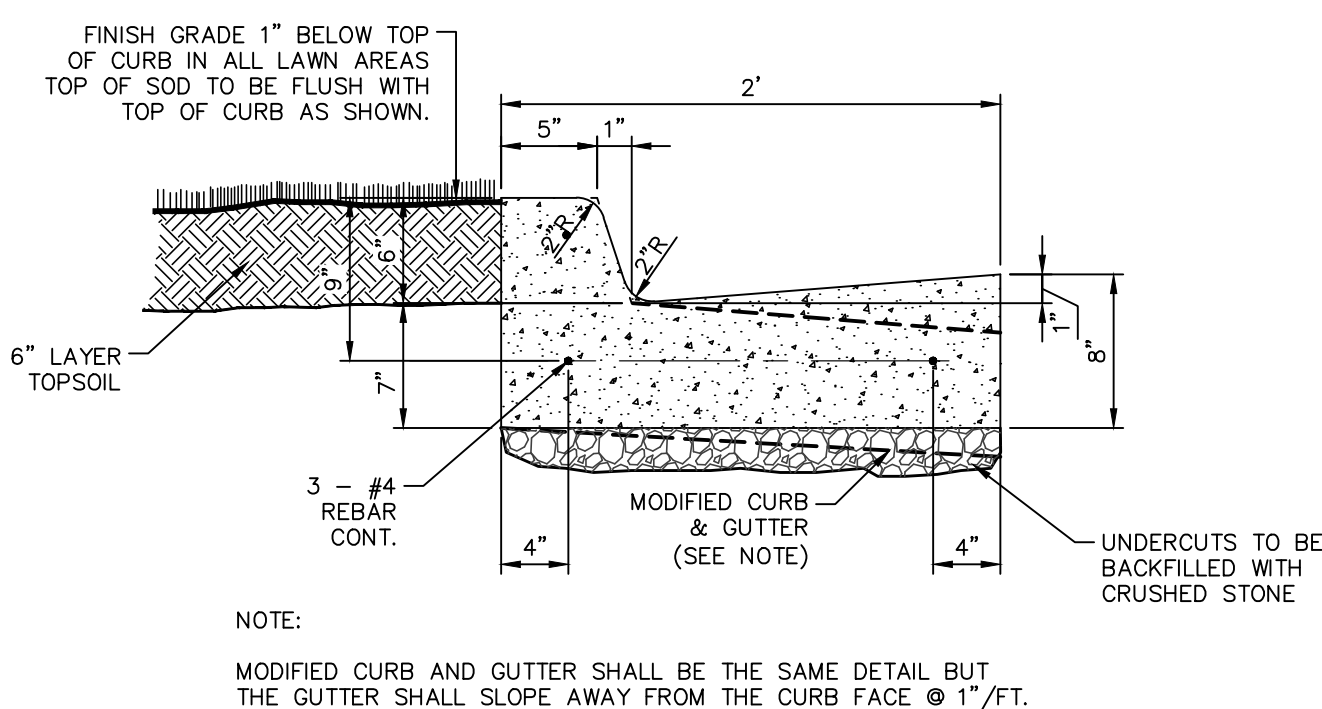
SECTION

CONCRETE SURFACE (NOT TO SCALE)



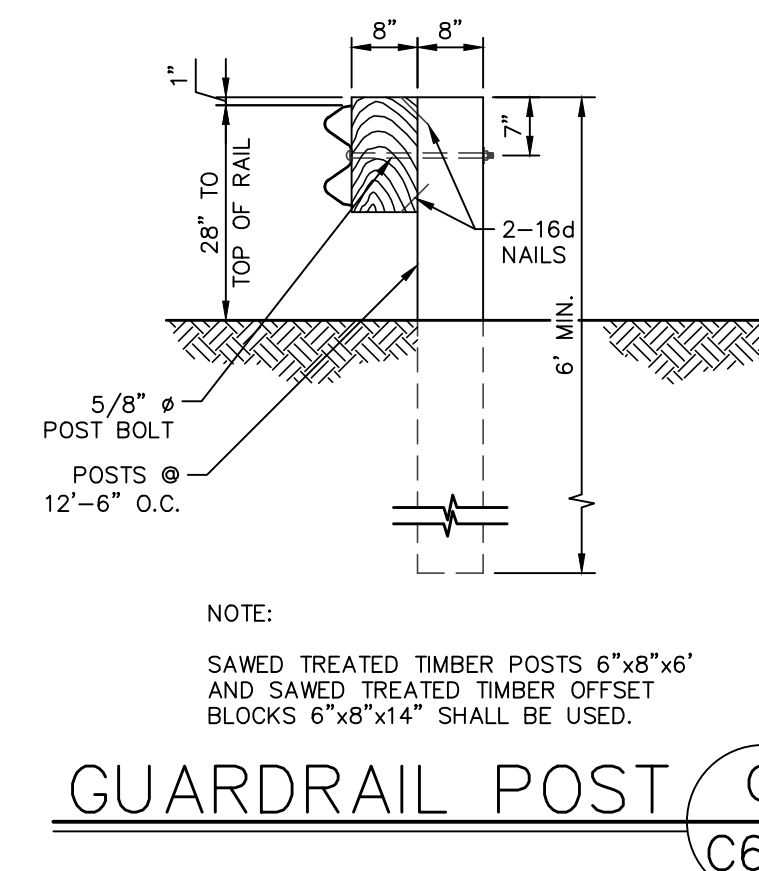
BUTT JOINT DETAIL D
C6.0

1. PLACE 1" FIBER JOINT FILLER AT 40' MAXIMUM INTERVALS.
2. PLACE 1" FIBER JOINT FILLER AT SPRING POINTS OF CURB RETURNS. (AND INTERSECTING STREETS)
3. PLACE 1" FIBER JOINT FILLER IN ADJACENT CONTRACTION JOINTS EACH SIDE OF CATCH BASINS.
4. PLACE CONTRACTION JOINTS AT 40' MAXIMUM INTERVALS. (NO SAW CUT JOINTS ALLOWED)



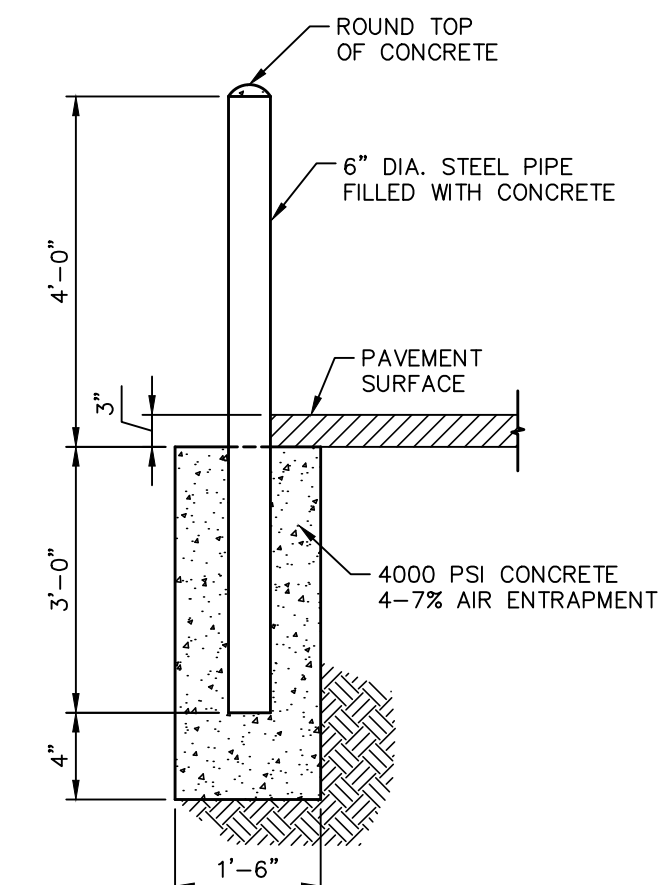
MODIFIED CURB AND GUTTER SHALL BE THE SAME DETAIL BUT
THE GUTTER SHALL SLOPE AWAY FROM THE CURB FACE @ 1"/FT.

STANDARD
CURB & GUTTER DETAIL

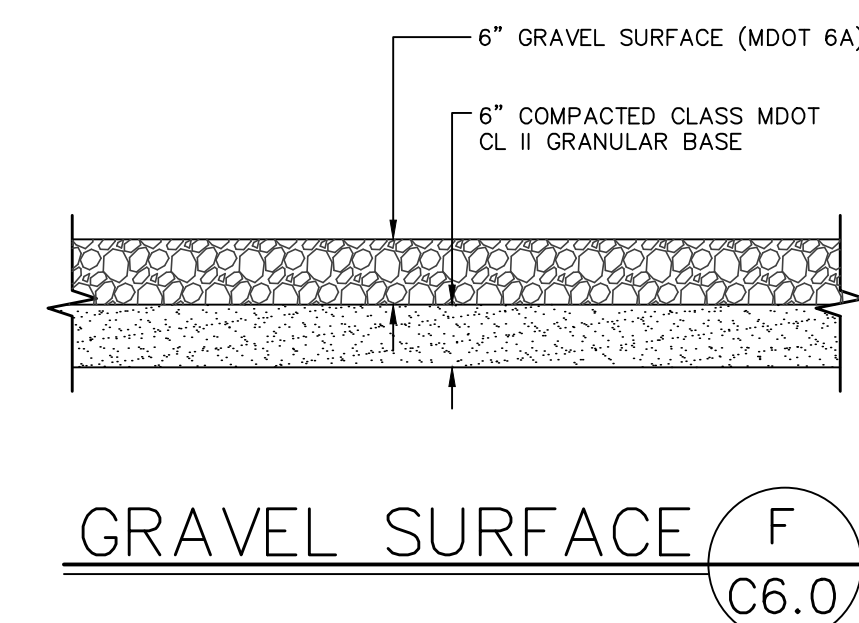


SAWED TREATED TIMBER POSTS 6"x8"x6'
AND SAWED TREATED TIMBER OFFSET
BLOCKS 6"x8"x14" SHALL BE USED.

GUARDRAIL POST C
C6.0



PIPE BOLLARD DETAIL



GRAVEL SURFACE

REVISED PER REVIEW COMMENTS		DATE	DESCRIPTION	BY
		08/13/21		A.J
		7/2/21	FOR SITE PLAN REVIEW AND PERMITS	SEP
		06/16/21	60% SET	A.J

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MASON, MICHIGAN 48854
PHONE # (517) 244-8800



WIELAND

4162 ENGLISH OAK DRIVE
LANSING, MICHIGAN 48911
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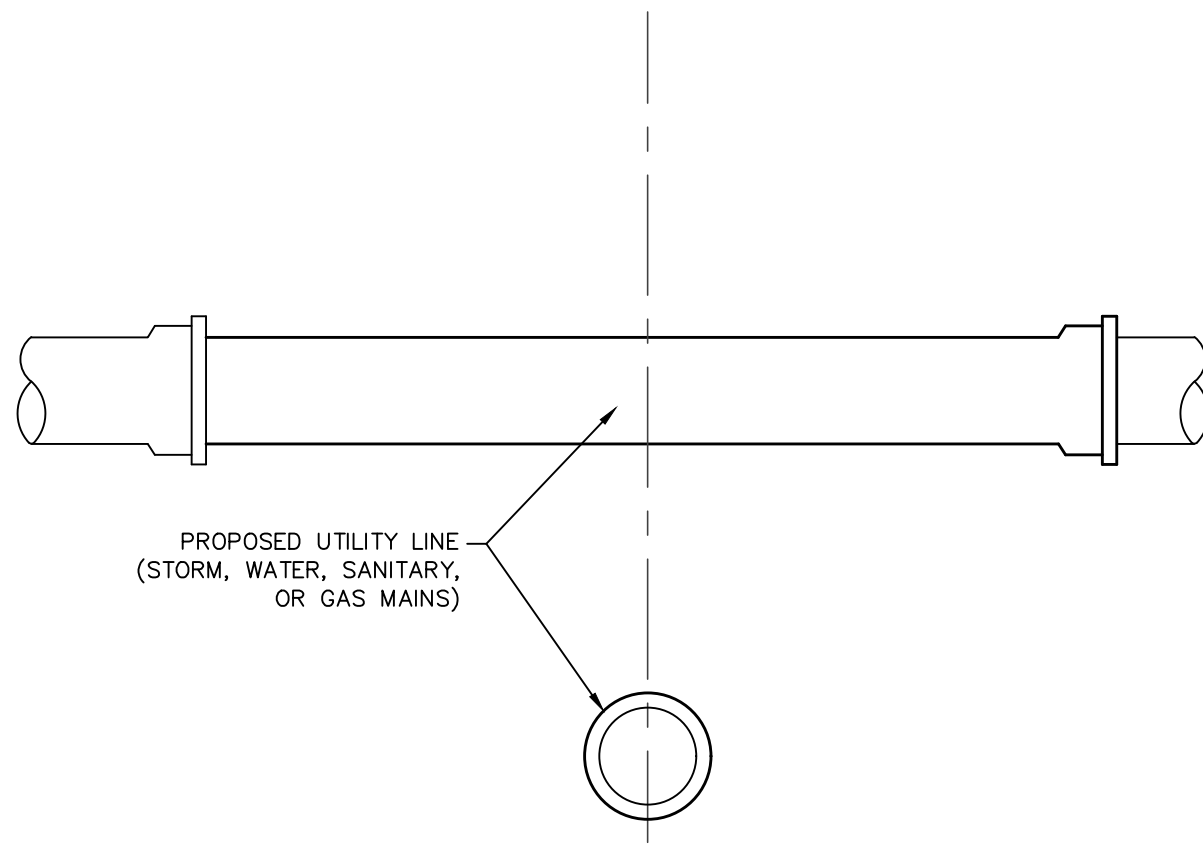
MISCELLANEOUS DETAILS
FOR
GESTAMP 2021 EXPANSION
200 EAST KIPP ROAD
MASON, MI 48854

FILE	C6-0.DWG
DESIGNED BY	ADB
DRAWN BY	AJI
CHECKED BY	ADB
DATE	MAY 24, 2021
SCALE	
HOR.	N/A
VERT.	N/A
PROJECT NO.	
2679	
SHEET NO.	
C6.0	

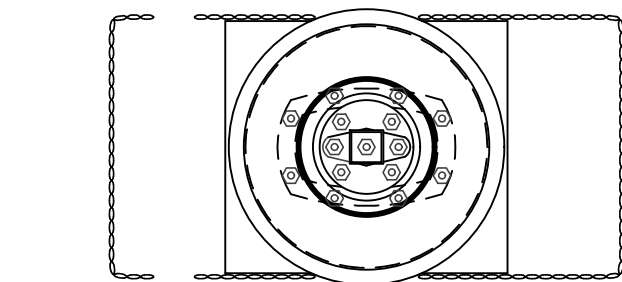
MISS
DIG
811[®]

Know what's **below**.
Call before you dig.

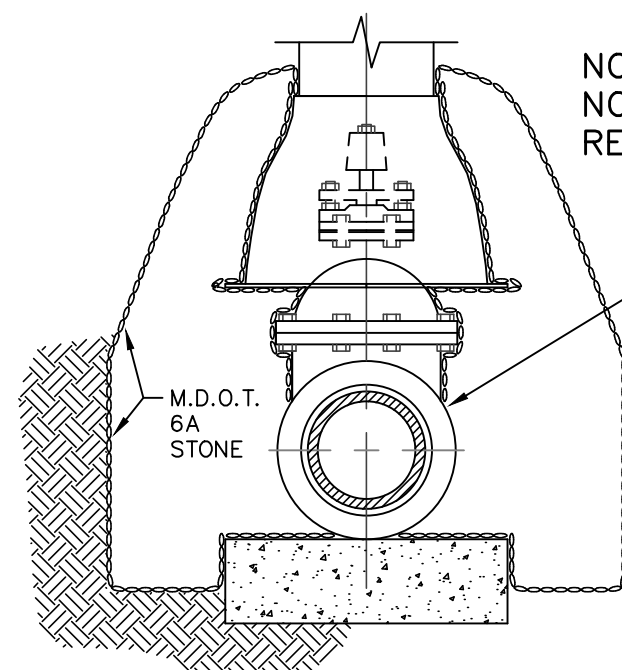
FILE: L:\2679 (WB GESTAMP MASON 2021)\C6 PLANS\C6-1.DWG - PLOT DATE: 8/16/2021 11:12 AM BY: Andrew Irwin SCALE: 1:1



UTILITY CROSSING DETAIL A
(NOT TO SCALE) C6.1



PLAN



SECTION

NOTE: SEE SHEET C5.1
NOTE NO. 7 FOR VALVE
REQUIREMENTS

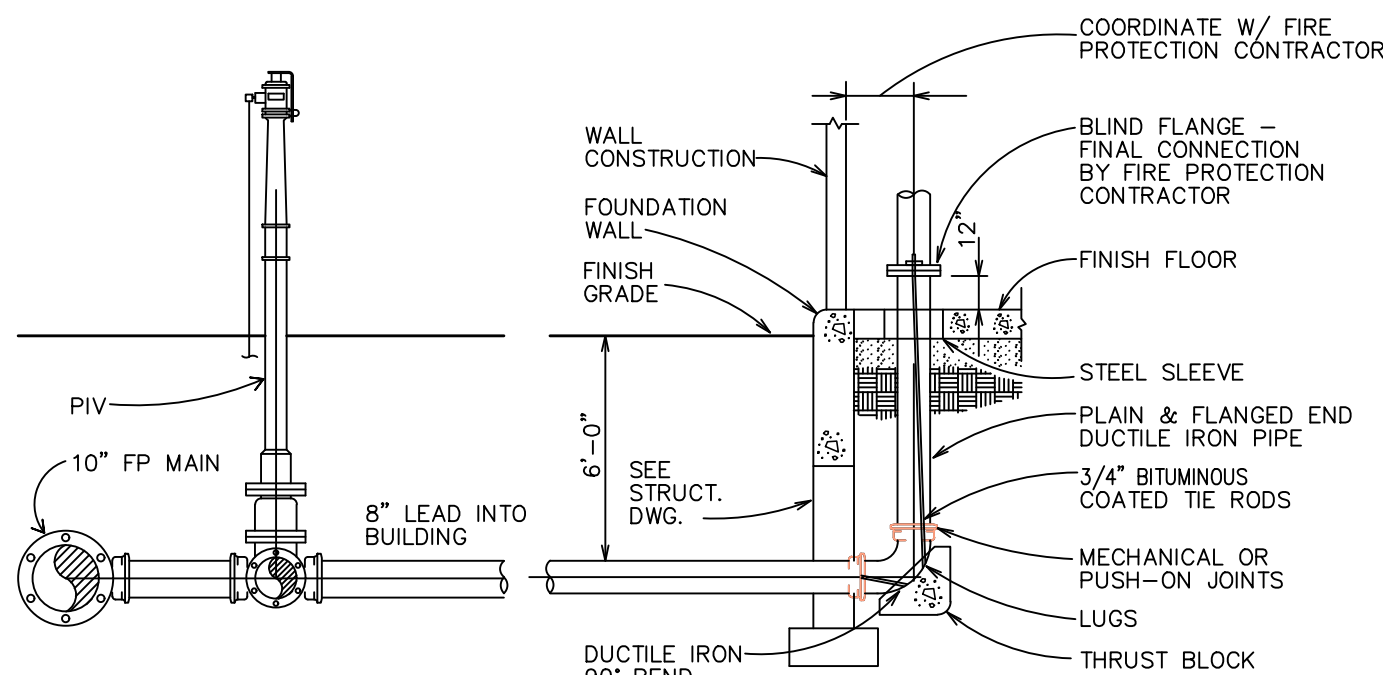
SUPPORT VALVE BOX ON
COMPACTED STONE
BACKFILL WITH M.D.O.T. 6A

EXTEND M.D.O.T.
6A STONE TO
UNDISTURBED
EARTH

DETAIL OF SETTING
OF VALVE BOXES B

(NOT TO SCALE)

C6.1



AUTOMATIC SPRINKLER RISER CONNECTION C
(NOT TO SCALE) C6.1

PIPE DIAMETER	TEE, 90° BENDS	45° BENDS	22 1/2° BENDS	11 1/4° BENDS	DEAD ENDS	REDUCERS (ONE SIZE REDUCTION)*	REDUCERS (TWO SIZE REDUCTION)*
4	11	5	2	1	28	--	--
6	16	7	3	2	41	21	--
8	21	9	4	2	52	21	49
12	30	12	6	3	75	40	81
16	38	16	8	4	97	41	96
20	46	19	9	5	118	42	94
24	54	22	11	5	139	42	92
30	65	27	13	6	169	59	117
36	75	31	15	7	197	59	132

IF REQUIRED PIPE DIAMETER IS NOT LISTED IN THIS TABLE, THE NEXT LARGEST PIPE DIAMETER SHALL BE USED.

THIS TABLE IS BASED ON A TEST PRESSURE OF 180 PSI (OPERATING PRESSURE PLUS WATER HAMMER). FOR OTHER TEST PRESSURES, ALL VALUES TO BE INCREASED OR DECREASED PROPORTIONALLY.

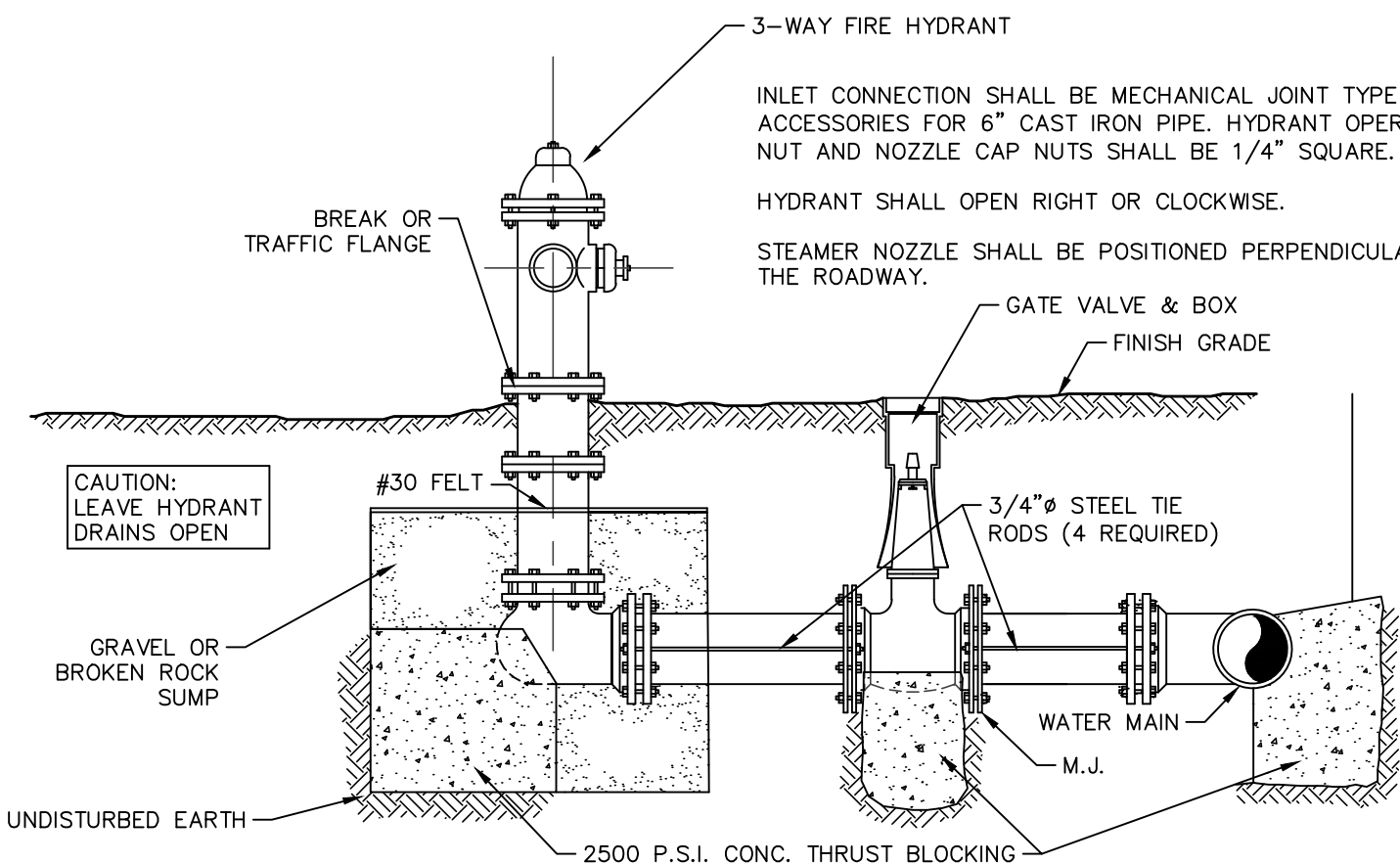
THE VALUES PROVIDED OF RESTRAINT LENGTH ARE IN EACH DIRECTION FROM THE POINT OF DEFLECTION OR TERMINATION EXCEPT FOR TEES, AT WHICH ONLY THE BRANCH IN THE DIRECTION OF THE STEM.

IF TIE RODS ARE USED, USE FOUR MINIMUM AND ADD 1/8 INCH TO BAR DIAMETER AS CORROSION ALLOWANCE.

* SIZE REDUCTION IS BASED UPON PIPE DIAMETER SHOWN IN THIS TABLE:

BASED UPON:	INTERNAL PRESSURE:	180
	PIPE DEPTH:	5'
	BEDDING CLASS:	TYPE 4
	SOIL TYPE:	GOOD SAND
	SAFETY FACTOR:	2

PIPE RESTRAINT SCHEDULE D
GROUND BURIED PRESSURE PIPE - DUCTILE IRON AND PVC PIPE C6.1



NOTE: SEE SHEET C5.1
NOTE NO. 6 FOR FIRE
HYDRANT REQUIREMENTS

TYPICAL FIRE HYDRANT ASSEMBLY DETAIL E
(NOT TO SCALE) C6.1

REVISIONS/SUBMITTALS	DATE	DESCRIPTION	BY
1	08/15/21	REVISED PER REVIEW COMMENTS	AJI
2	07/17/21	FOR SITE PLAN REVIEW AND PERMITS	SEP
3	08/16/21	60% SET	AJI

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PREPARED FOR:

Gestamp

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MASON, MICHIGAN 48854
PHONE # (517) 244-8800



4162 ENGLISH OAK DRIVE
LANSING, MICHIGAN 48911
PHONE # (517) 372-8650

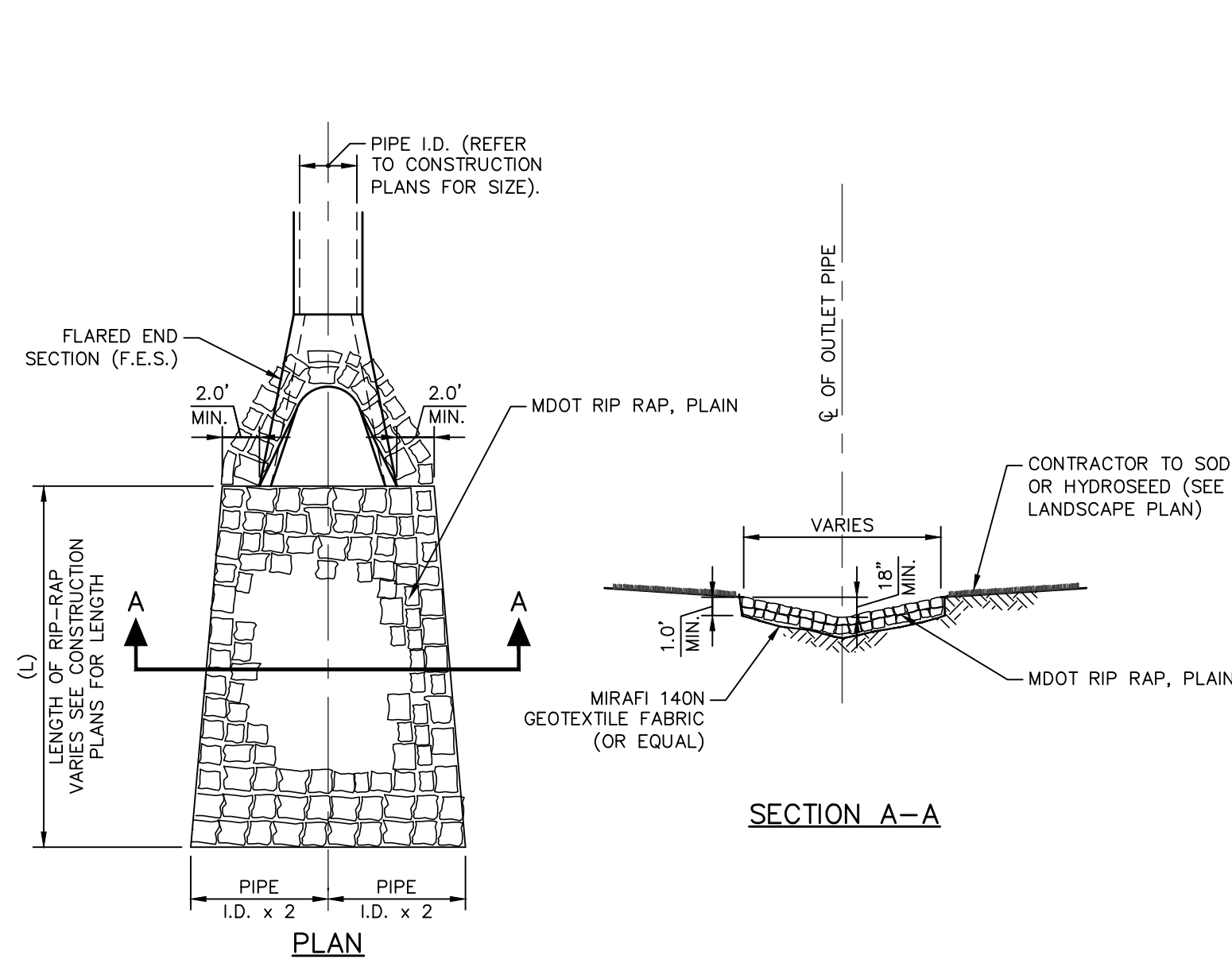
FIRE MAIN DETAILS
FOR
GESTAMP 2021 EXPANSION
200 EAST KIPP ROAD
MASON, MI 48854

MISS
DIG

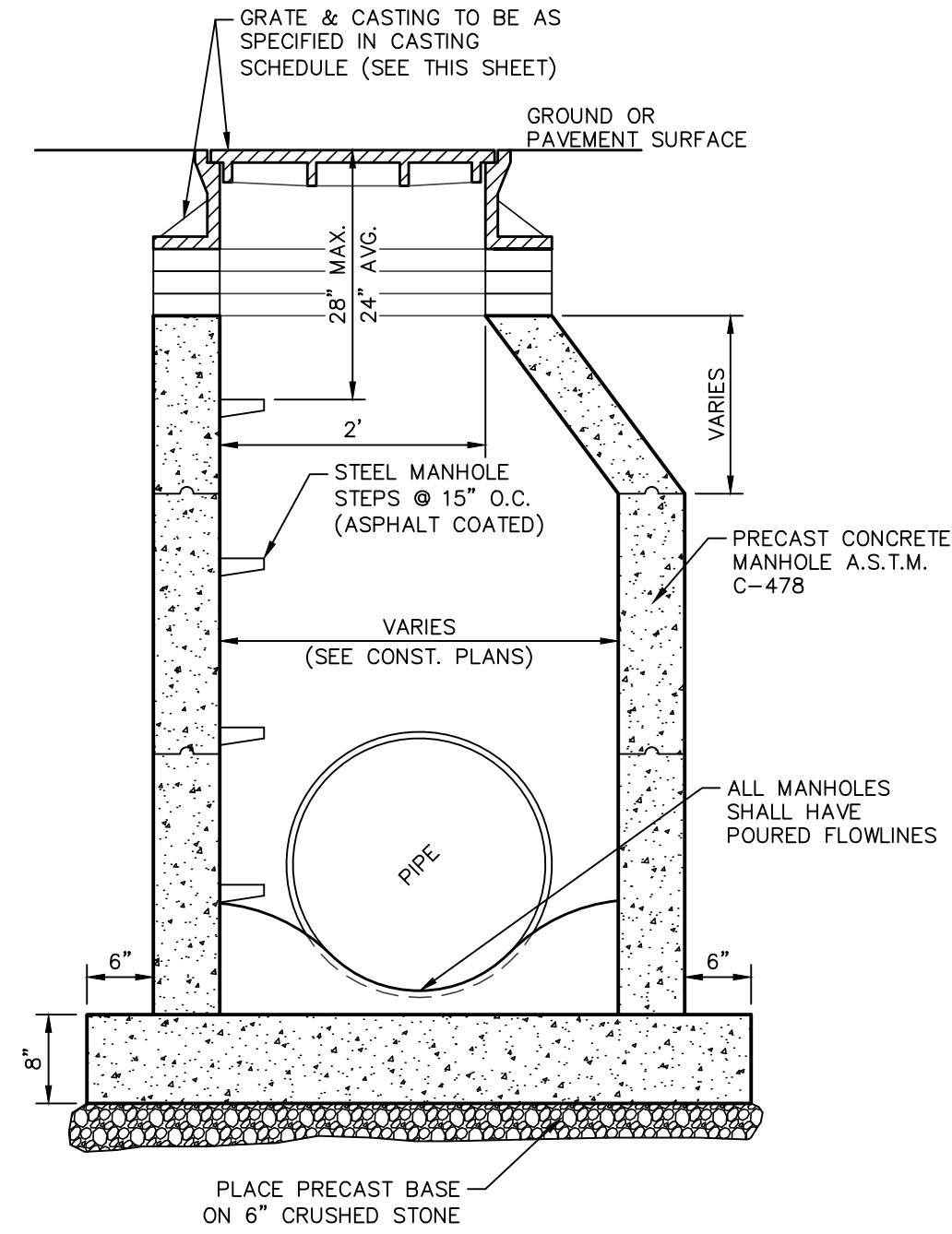


Know what's below.
Call before you dig.

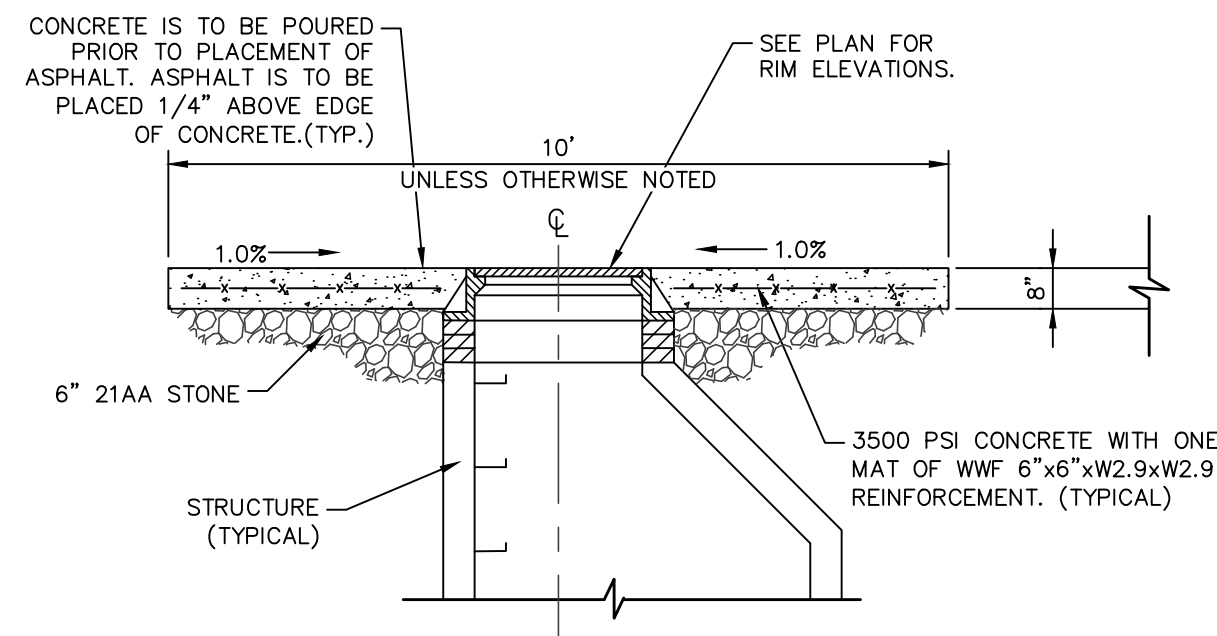
FILE	C6-1.DWG
DESIGNED BY	ADB
DRAWN BY	AJI
CHECKED BY	ADB
DATE	MAY 24, 2021
SCALE	
HOR.	N/A
VERT.	N/A
PROJECT NO.	2679
SHEET NO.	C6.1



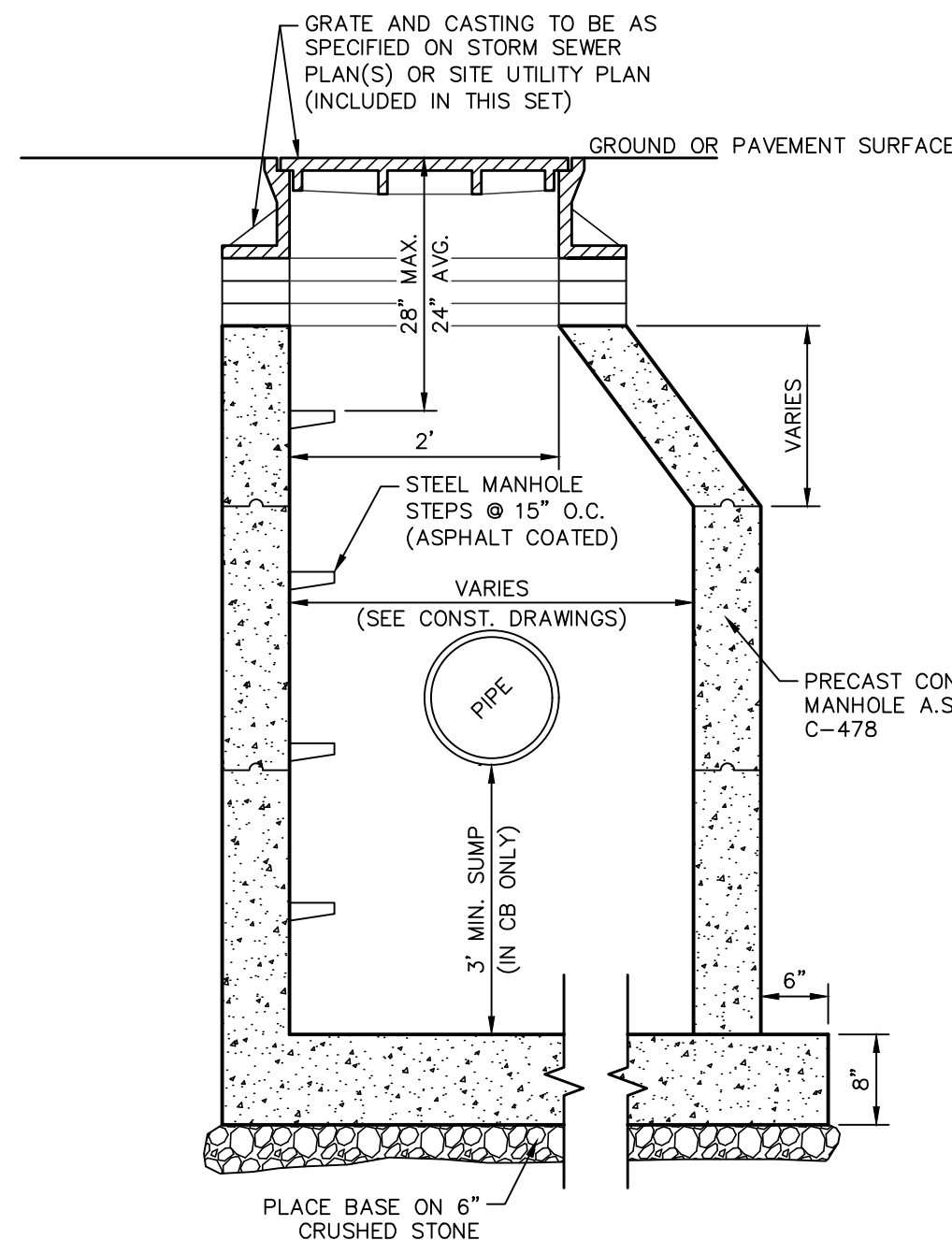
RIP-RAP DETAIL F C6.2 (NOT TO SCALE)



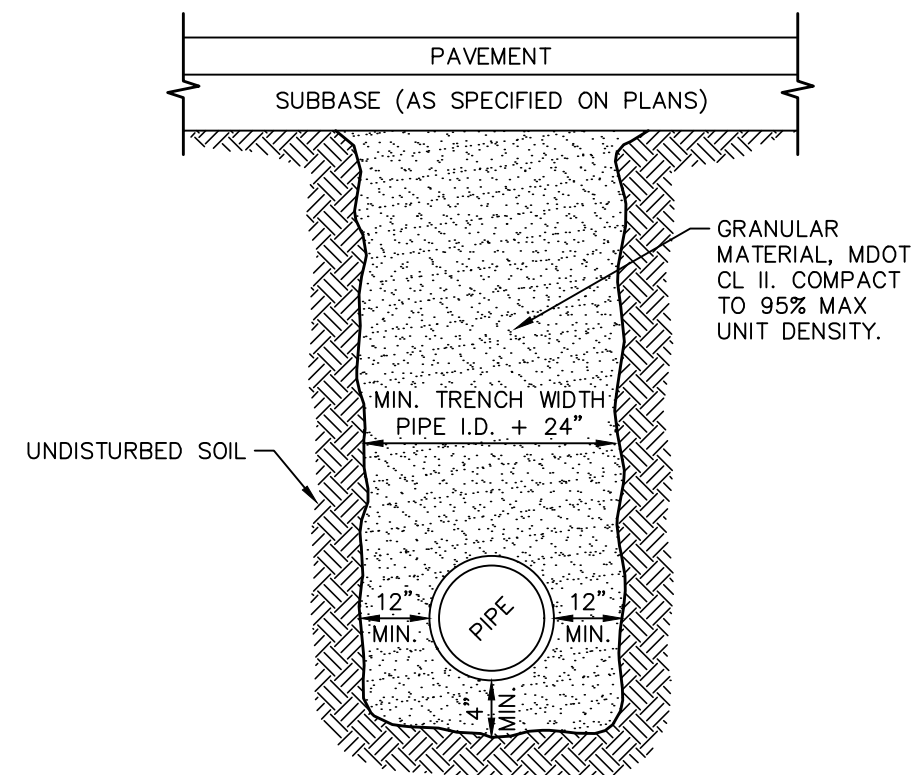
MANHOLE DETAIL A C6.2 (NOT TO SCALE)



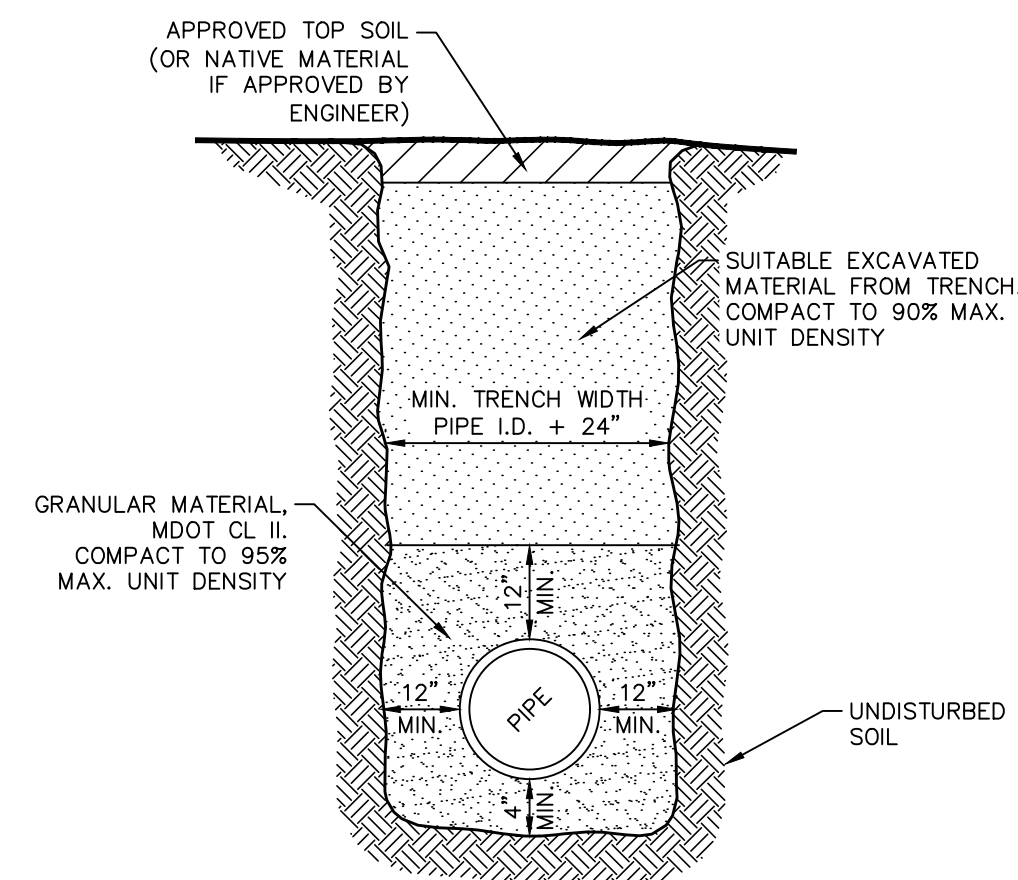
STRUCTURE COLLAR B C6.2 (NOT TO SCALE)
TO BE USED AT OWNERS REQUEST



CATCH BASIN/MANHOLE C C6.2 (NOT TO SCALE)



TYPICAL TRENCH DETAIL D C6.2
UNDER ROADBED OR WITHIN INFLUENCE OF ROADBED



TYPICAL TRENCH DETAIL E C6.2
NOT UNDER ROADBED OR WITHIN INFLUENCE OF ROADBED

MANHOLE/CATCH BASIN CASTING SCHEDULE			
DESIGNATION	E.J.I.W. #1040 W/ TYPE A COVER (OR EQUAL)	E.J.I.W. #7010 W/ TYPE M4 GRATE (OR EQUAL)	E.J.I.W. #7000 W/ TYPE M3 GRATE (OR EQUAL) M-2 BACK; T1 GRATE
CB 1			
CB 2			
MH 1			
3968			
3427			
MH 2			
MH 3			
MH 4			

REVISIONS/SUBMITTALS	DATE	DESCRIPTION	BY
	08/15/21	REVISED FOR REVIEW COMMENTS	A.J.
	07/17/21	FOR SITE PLAN REVIEW AND PERMITS	SEP
	06/16/21	60% SET	A.J.

LSG
Engineers & Surveyors

3135 PINE TREE ROAD
SUITE D
LANSING, MI 48911
PH. (517) 393-2902
FAX (517) 393-2608
www.lsg-es.com

PREPARED FOR:
Gestamp
200 EAST KIPP ROAD
MASON, MICHIGAN 48854
PHONE # (517) 244-8800

WIELAND
4162 ENGLISH OAK DRIVE
LANSING, MICHIGAN 48911
PHONE # (517) 372-8650

STORM DRAINAGE DETAILS
FOR
GESTAMP 2021 EXPANSION
200 EAST KIPP ROAD
MASON, MI 48854

MISS DIG
811
Know what's below.
Call before you dig.

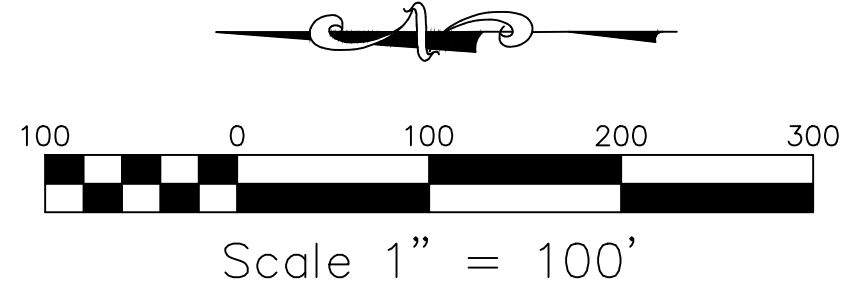
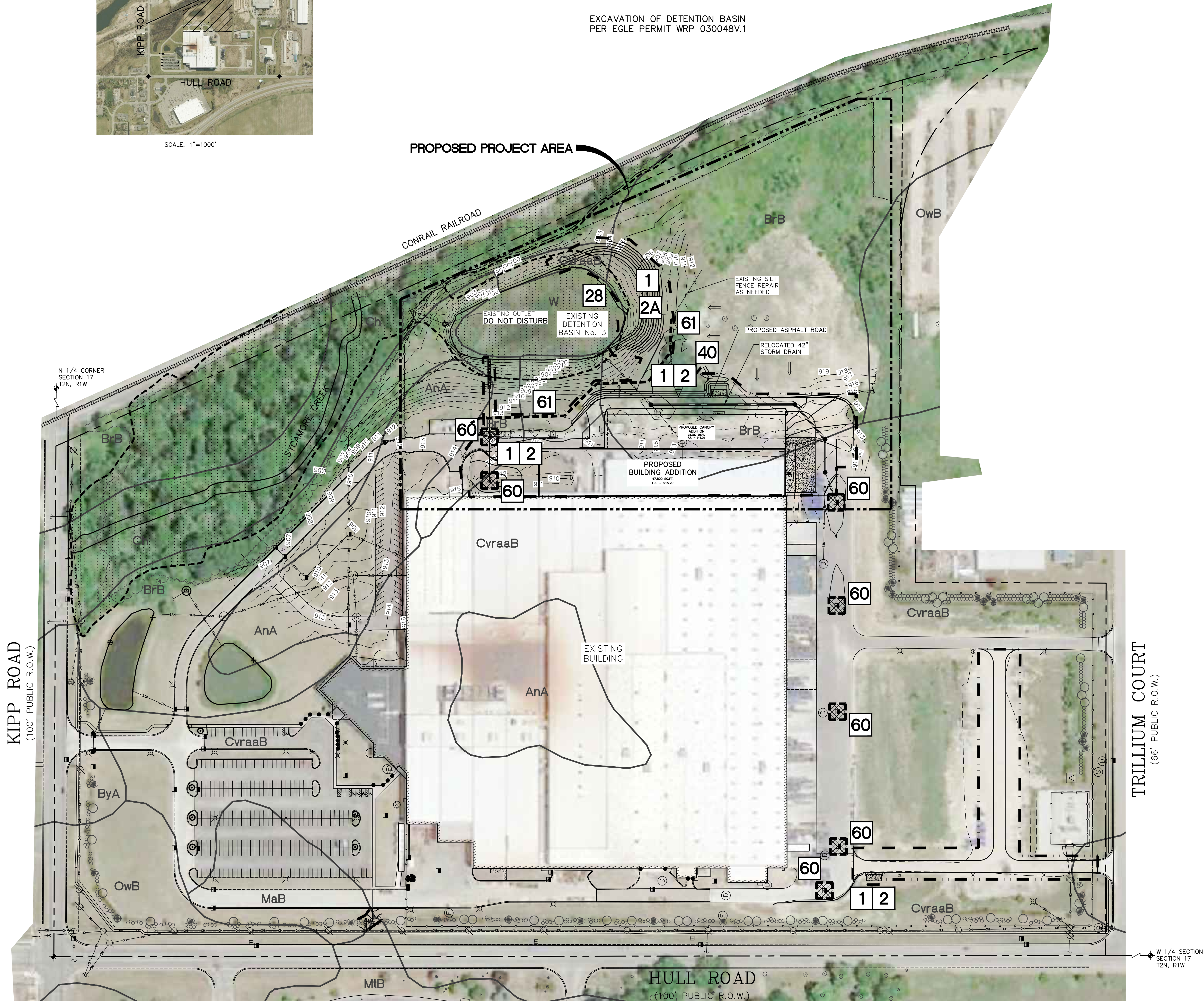
FILE C6-2.DWG
DESIGNED BY ADB
DRAWN BY A.J.
CHECKED BY ADB
DATE MAY 24, 2021
SCALE
HOR. N/A
VERT. N/A
PROJECT NO. 2679
SHEET NO. C6.2



SCALE: 1"=1000'

EXCAVATION OF DETENTION BASIN
PER EGLE PERMIT WRP 030048V.1

PROPOSED PROJECT AREA



NOTES

- BENCHMARKS
 - NORTHWEST FLANGE BOLT ON FIRE HYDRANT, 204'± NORTH AND 93'± WEST OF THE NORTHEAST CORNER OF BUILDING. ELEVATION: 908.84 (NAVD 88)
 - NORTHWEST FLANGE BOLT ON FIRE HYDRANT, 81'± WEST AND 66'± SOUTH OF THE NORTHEAST CORNER OF BUILDING. ELEVATION: 915.75 (NAVD 88)
 - NORTHWEST FLANGE BOLT ON FIRE HYDRANT, 88'± WEST AND 494'± SOUTH OF THE NORTHEAST CORNER OF BUILDING. ELEVATION: 912.53 (NAVD 88)
- THE CONTRACTOR SHALL CALL "MISS DIG" AT 811 OR 1-800-482-7171 AT LEAST THREE (3) WORKING DAYS (EXCLUDING WEEKENDS AND HOLIDAYS) PRIOR TO CONSTRUCTION.
- LSG ENGINEERS & SURVEYORS WILL NOT BE RESPONSIBLE FOR FIELD DESIGN CHANGES MADE BY THE CONTRACTOR OR THE CONTRACTOR'S SURVEYOR WHERE THESE DESIGN CHANGES HAVE NOT BEEN APPROVED BY LSG ENGINEERS & SURVEYORS.
- UNLESS OTHERWISE NOTED, ALL DIMENSIONS ARE TO THE FACE OF CURB AND ALL BUILDING AND PAVEMENT LINES ARE PARALLEL AND/OR PERPENDICULAR TO THE EAST WALL OF THE BUILDING.

LEGEND

- INLET PROTECTION AT CB
- REFERS TO THE APPROPRIATE S.E.S.C. KEYING SYSTEM DETAIL (SEE SHEET C7.1)
- SILT FENCE AND LIMITS OF EARTH DISTURBANCE
- NRCS SOIL BOUNDARY
- LIMITS OF EARTH DISTURBANCE (NO SILT FENCE) 6.1 ACRES

SCS SOIL TYPES

- AnA AUBREENAUBREE-CAPAC SANDY LOAMS (0 TO 3 PERCENT SLOPES)
- BrB BOYER SANDY LOAM (0 TO 6 PERCENT SLOPES)
- Ch COHOCTAH SILT LOAM
- CvraaB CONOVER LOAM (0 TO 4 PERCENT SLOPES)
- OwB OWOSSO-MARLETTE SANDY LOAMS (2 TO 6 PERCENT SLOPES)
- W WATER

MANUAL KEYING SYSTEM

3. EROSION CONTROL MEASURES	
KEY	SESC MEASURE
1	Seeding
2	Mulch
2A	Mulch Blankets
6	Soil Binding Polymers
28	Wattles
4. EROSION AND SEDIMENT CONTROL MEASURES	
40	Check Dam
46	Stone Filter Berm
5. SEDIMENT CONTROL MEASURES	
60	Storm Drain Inlet Protection
61	Silt Fence
66	Stabilized Construction Area

MISS DIG
811
Know what's below.
Call before you dig.

REVISIONS/SUBMITTALS	DATE	DESCRIPTION	BY
1	06/15/21	REVISED PER REVIEW COMMENTS	AJ
2	07/17/21	FOR SITE PLAN REVIEW AND PERMITS	SEP
3	08/16/21	60% SET	AJ

LSG
Engineers
& Surveyors

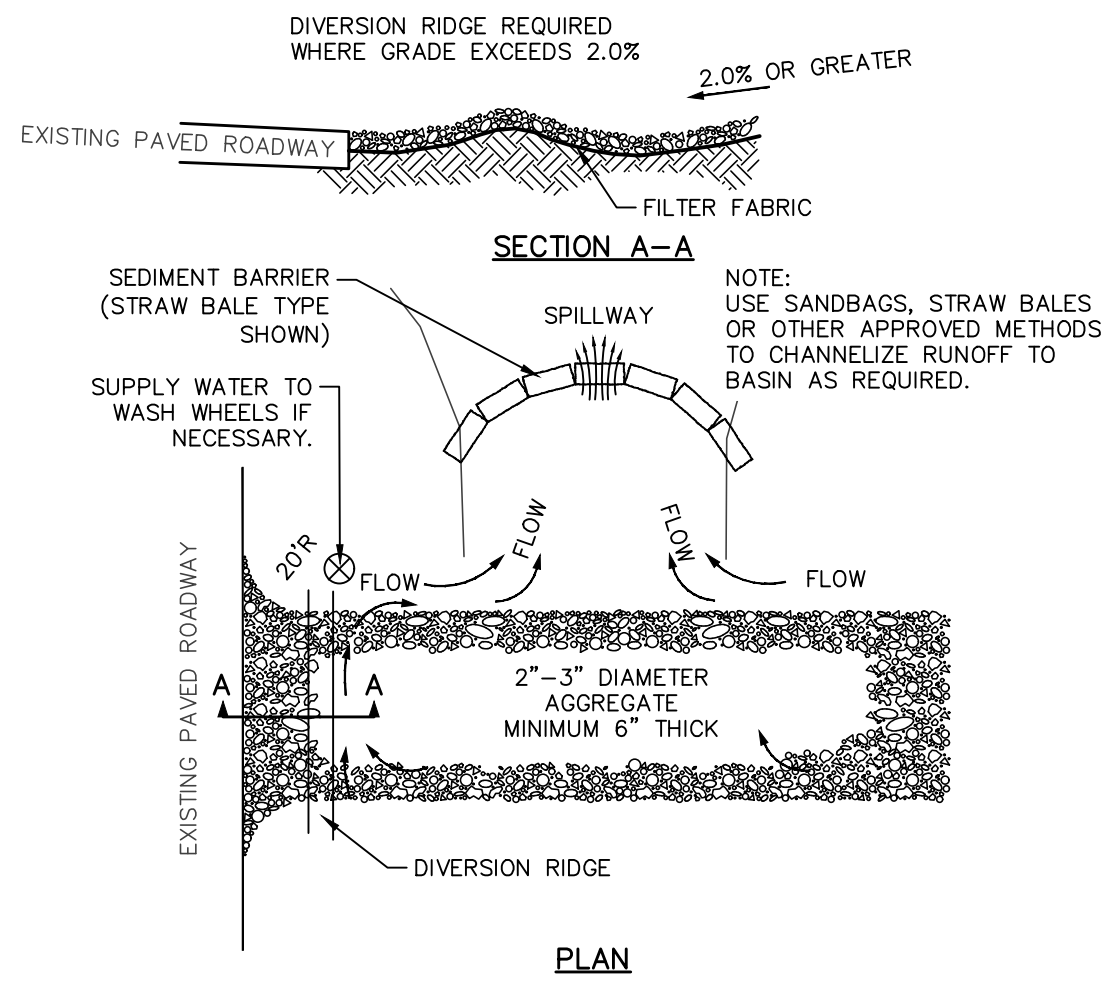
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PREPARED FOR:
Gestamp
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PHONE # (517) 244-8800

WIELAND
4162 ENGLISH OAK DRIVE
LANSING, MICHIGAN 48911
PHONE # (517) 372-8650

SOIL EROSION AND SEDIMENTATION CONTROL PLAN
FOR
GESTAMP 2021 EXPANSION
200 EAST KIPP ROAD
MASON, MI 48854

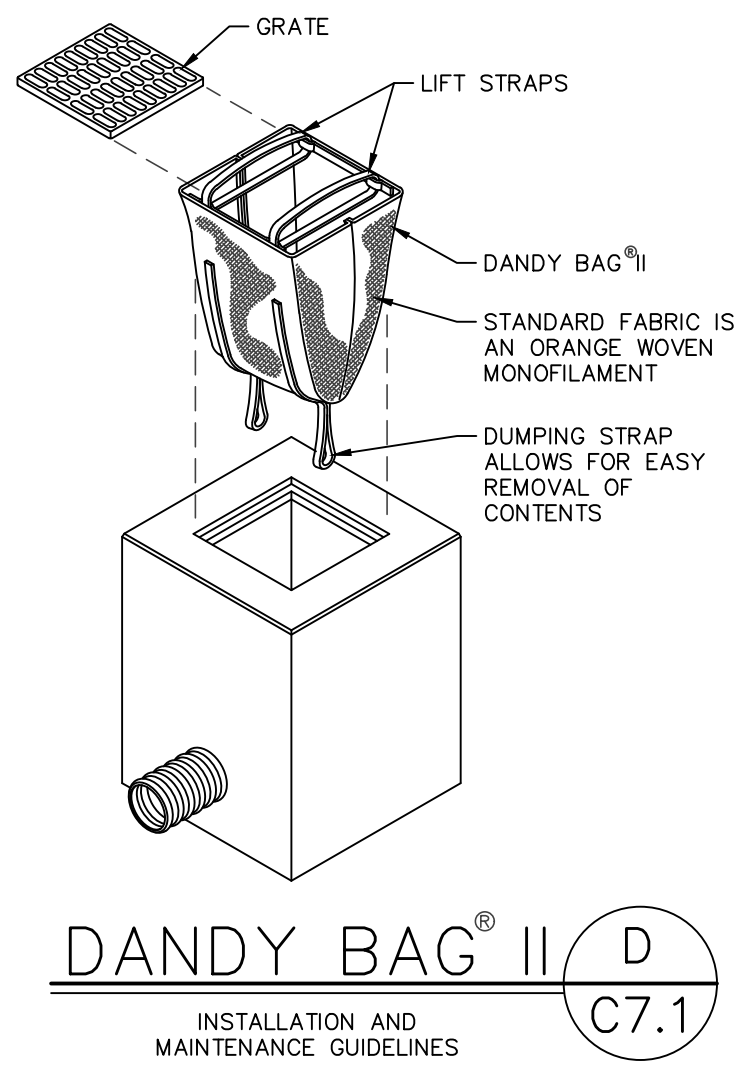
FILE: C7-0.DWG
DESIGNED BY: ADB
DRAWN BY: AJ
CHECKED BY: ADB
DATE: MAY 24, 2021
SCALE:
HOR: 1"=100'
VERT: N/A
PROJECT NO.: 2679
SHEET NO.: C7.0



- NOTES:
1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
 2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
 3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.

TEMPORARY GRAVEL CONSTRUCTION ENTRANCE/EXIT

A
C7.1

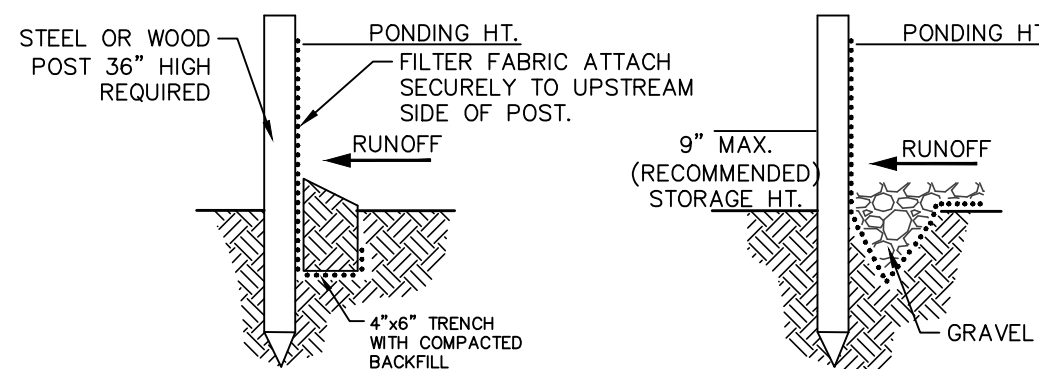
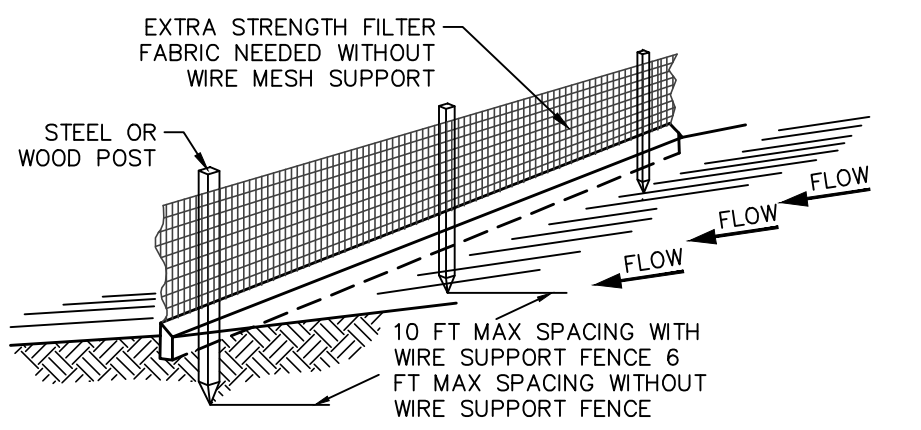


DANDY BAG® II

D
C7.1

INSTALLATION AND MAINTENANCE GUIDELINES

61. SILT FENCE MAINTENANCE
- INSPECT THE SILT FENCE ROUTINELY TO ASSURE IT HAS NOT BEEN KNOCKED DOWN AND FOLLOWING A PRECIPITATION EVENT THAT RESULTS IN RUNOFF. REMOVE ALL SEDIMENT WHEN IT REACHES 50 PERCENT OF ITS CAPACITY AND MAKE REPAIRS PROMPTLY.
 - MAINTAIN THE SILT FENCE UNTIL THE DISTURBED AREA IS COMPLETELY STABILIZED WITH AN EFFECTIVE VEGETATIVE COVER.
 - REMOVE ACCUMULATED SEDIMENT AND SILT FENCE AND VEGETATE THE DISTURBED AREAS.
 - SILT FENCE MAY BE REUSED.



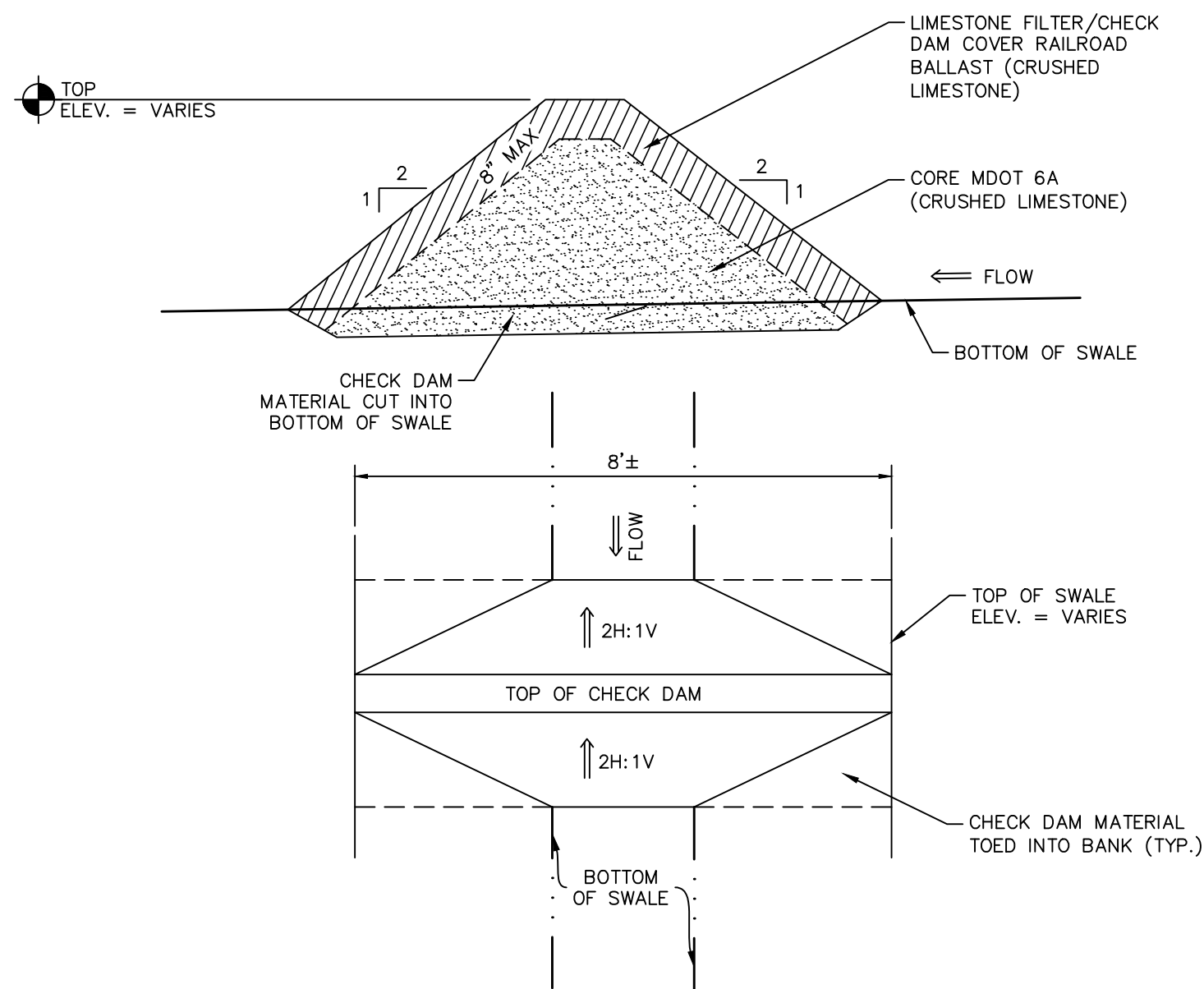
STANDARD DETAIL ALTERNATE DETAIL

TRENCH WITH NATIVE BACKFILL TRENCH WITH GRAVEL

- NOTES:
1. INSPECT AND REPAIR FENCE AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHEN NECESSARY.
 2. REMOVED SEDIMENT SHALL BE DEPOSITED TO AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT OFF-SITE AND CAN BE PERMANENTLY STABILIZED.
 3. SILT FENCE SHALL BE PLACED ON SLOPE CONTOURS TO MAXIMIZE PONDING EFFICIENCY.

SILT FENCE

B
C7.1



LIMESTONE FILTER/CHECK DAM

C
C7.1



Know what's below.
Call before you dig.

REVISIONS/SUBMITTALS	DATE	DESCRIPTION	BY
1	08/15/21	REVISED PER REVIEW COMMENTS	AJI
2	07/17/21	FOR SITE PLAN REVIEW AND PERMITS	AJI
3	08/16/21	60% SET	AJI

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PHONE # (517) 372-8650

SOIL EROSION AND SEDIMENTATION CONTROL
DETAILS
FOR
GESTAMP 2021 EXPANSION
200 EAST KIPP ROAD
MASON, MI 48854

FILE	C7-1.DWG
DESIGNED BY	ADB
DRAWN BY	AJI
CHECKED BY	ADB
DATE	MAY 24, 2021
SCALE	
HOR.	N/A
VERT.	N/A
PROJECT NO.	2679
SHEET NO.	C7.1

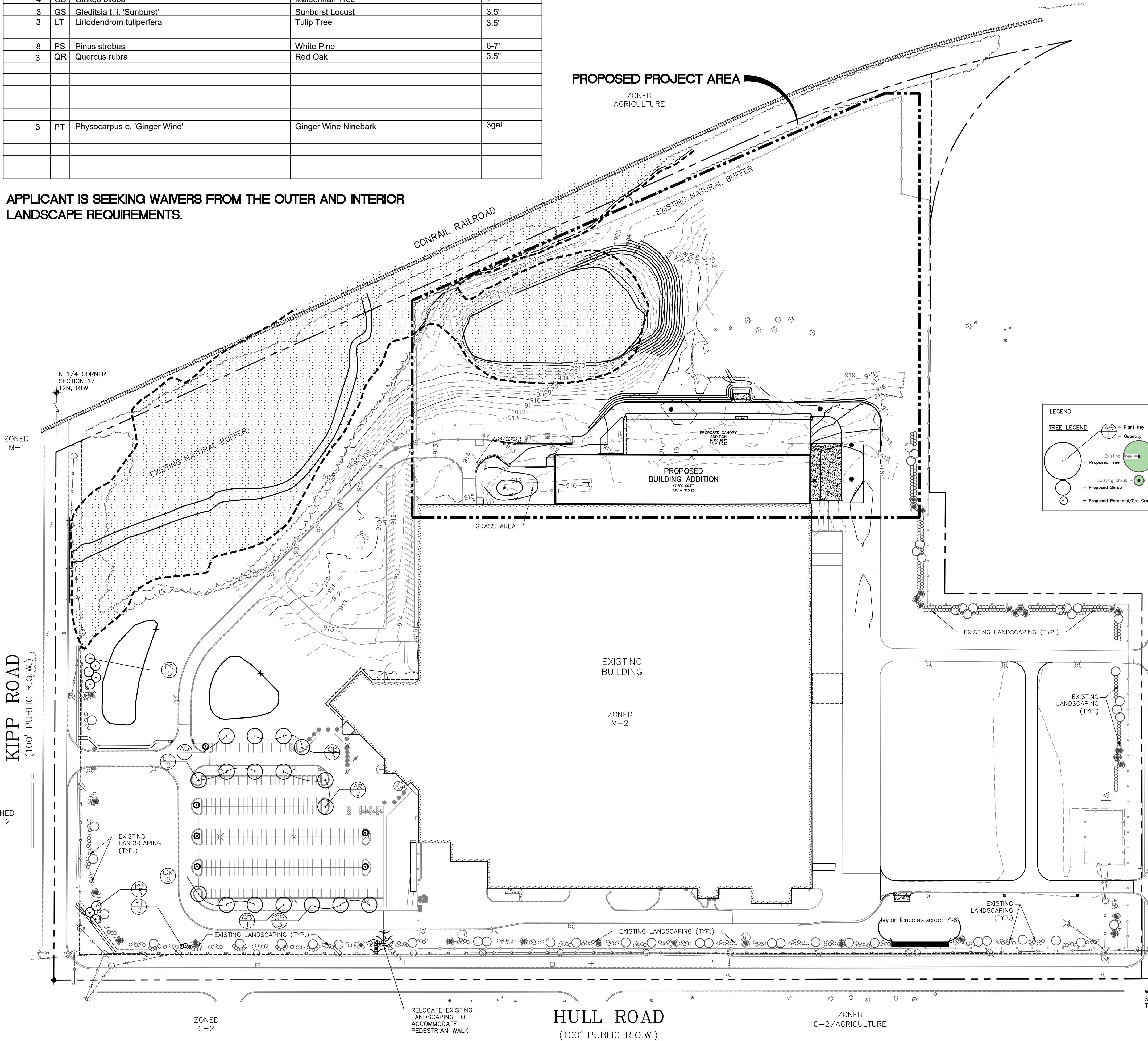
Plant List

Quantity	Key	Botanical	Common	Size
3	AR	Acer rubrum 'October Glory'	October Glory Red Maple	3.5"
1	AS	Acer saccharum 'Green Mountain'	Green Mountain Sugar Maple	3.5"
4	GB	Ginkgo biloba	Maidenhair Tree	6-7'
3	GS	Gleditsia t. i. 'Sunburst'	Sunburst Locust	3.5"
3	LT	Liriodendrom tuliperfera	Tulip Tree	3.5"
8	PS	Pinus strobus	White Pine	6-7'
3	QR	Quercus rubra	Red Oak	3.5"
3	PT	Physocarpus o. 'Ginger Wine'	Ginger Wine Ninebark	3gal

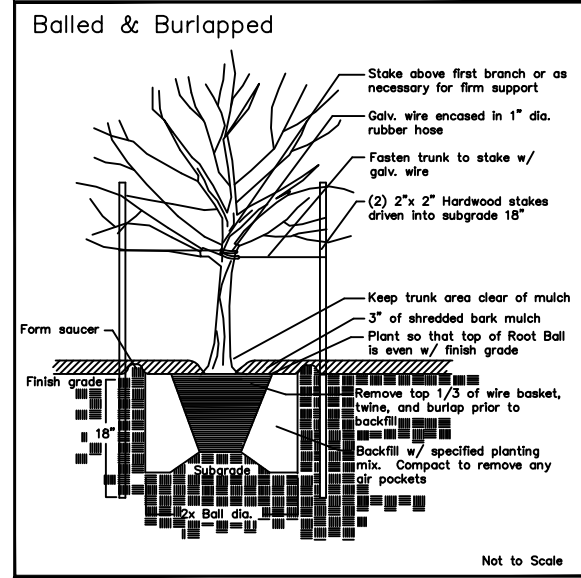
APPLICANT IS SEEKING WAIVERS FROM THE OUTER AND INTERIOR LANDSCAPE REQUIREMENTS.

PROPOSED PROJECT AREA

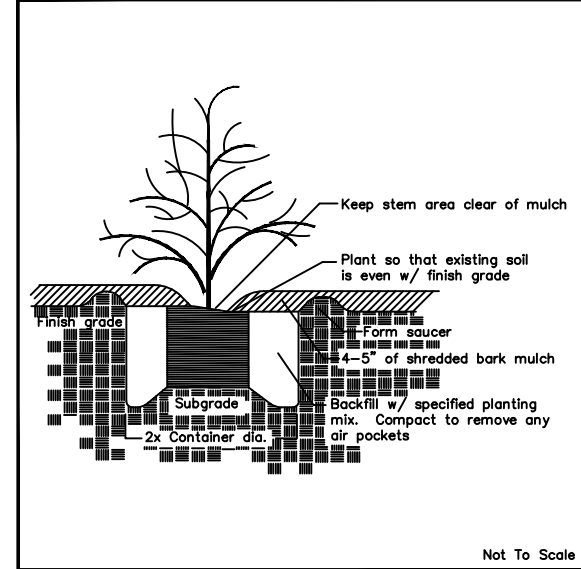
ZONED AGRICULTURE



Tree Planting Detail

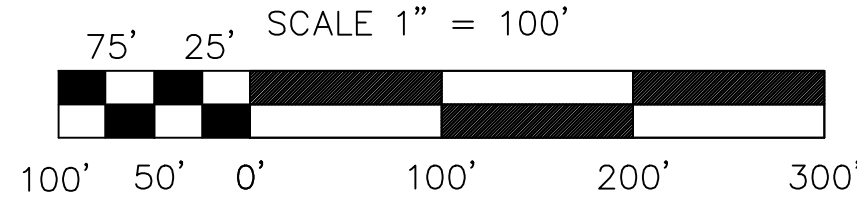


Shrub Planting Detail



VICINITY MAP

NO SCALE

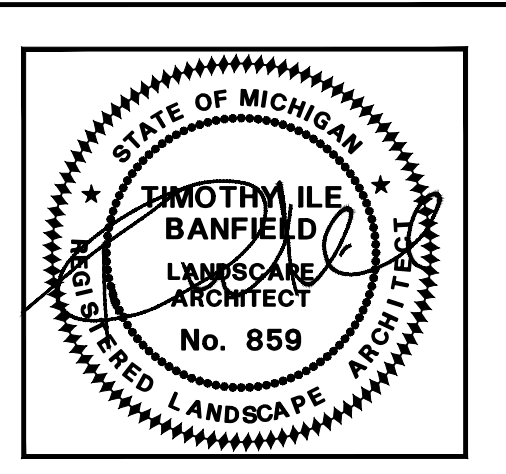


Landscape Notes

- Contractor shall verify the location of all underground utilities, pipes and structures, as well as the location of existing trees and vegetation. Contractor shall be responsible for any cost incurred due to damage/removal of said elements.
- Any discrepancies between plans, notes, details and existing conditions shall be immediately reported to the owner's authorized representative for review and decision. Contractor shall assume full responsibility for all revisions due to failure to give such notification.
- Contractor is responsible for any damage to existing materials/improvements damaged during construction.
- Site boundary, topography, utilities and other base information provided by others.
- Contractor shall verify quantities shown on plant schedules and those indicated on plans. Contractor is responsible for installation of quantities drawn.
- Contractor shall make minor adjustments to plant material locations in field as necessary. The location of all plant material shall be subject to approval by the owners authorized representative.
- All plant material shall be of the sizes called for in the plant schedules. Any plant material not meeting the size and/or quality as called for shall be removed from site. All trees shall be inspected and approved by the owner's authorized representative. No substitutions of plant material shall be made without approval from the owner's authorized representative.
- All planting beds to be treated with pre-emergent herbicide. Contractor shall insure that proposed plant material is resistant to the herbicide properties and that herbicide application follows the manufacturer's specifications and is applied in accordance with sound horticultural practices.
- Contractor shall determine appropriate planting mixes (based on soils/subsurface conditions) and review alternatives with owner's representative prior to installation.
- All plant beds and maintenance edges around structure will be mulched with washed Michigan Stone (2" dia) over commercial weed barrier. All plants will have a small ring of shredded hardwood bark mulch 3'-4" deep over the root system as specified.
- If lawn is to be sodded, use a locally grown Kentucky Bluegrass variety that is free of weeds.
- Seed lawn areas with the following mixture:
 - 25% Sybsport Kentucky Bluegrass
 - 25% Nassam Kentucky Bluegrass
 - 25% Sybsport Kentucky Bluegrass
 - 10% Perennial Rye GrassApply seed at the rate of 7-8lbs/1000sqft
- Commercial Grade Plastic Edge will be Edg-King from Oly-Ola, Inc. (or better)
- Plant material installed for a perimeter landscape screen shall be placed in a planting bed at least 8'-wide, shall be at least 2'-high at the initial planting, be expected to grow to a height of at least 3' in the front yard, 5' in the side yard and 8' in the rear yard, within two (2) years of planting.

	Required	Existing	Proposed
Min Lot Size	60,000 sf	59,400 sq ft (2,587,400 sq ft)	59,400 sq ft (2,587,400 sq ft)
Lot Area	1,071 sq ft	N/A	N/A
Min. Lot Area per Prin. Struct.	N/A	N/A	N/A
Front Yard Setback (Ft) Min	60	486	486
Setback (Ft) for Side Yard	20	20	20
Setback (Ft) from Rd. Back	20	20	20
Setback (Ft) from Rd. Front	20	20	20
Max. Lot Coverage by Structures	50%	24.1%	26.0%
		(Bldg 424,780 sq ft)	(Bldg 472,810 sq ft)
Max. Height Principal Structure	45	42	42
Min. Height Accessory Structures	N/A	N/A	N/A
Min. Floor Area per CU	N/A	N/A	N/A
Min. Width Principal Structure	N/A	N/A	N/A
Min. Internal Height Principal Structure	N/A	N/A	N/A
Landscaping Buffers	Buffer Length: 425	15 trees	Natural buffer across the footprints of Sycamore Creek
1st to 1st Buffer 8 (Edge Rd)	425	15 trees	Natural buffer across the footprints of Sycamore Creek
1st to 2nd Buffer 8 (Edge Rd)	425	15 trees	Natural buffer across the footprints of Sycamore Creek
2nd to 3rd Buffer 8 (Edge Rd)	425	15 trees	Natural buffer across the footprints of Sycamore Creek
3rd to 4th Buffer 8 (Edge Rd)	425	15 trees	Natural buffer across the footprints of Sycamore Creek
4th to 5th Buffer 8 (Edge Rd)	425	15 trees	Natural buffer across the footprints of Sycamore Creek
5th to 6th Buffer 8 (Edge Rd)	425	15 trees	Natural buffer across the footprints of Sycamore Creek
6th to 7th Buffer 8 (Edge Rd)	425	15 trees	Natural buffer across the footprints of Sycamore Creek
7th to 8th Buffer 8 (Edge Rd)	425	15 trees	Natural buffer across the footprints of Sycamore Creek
8th to 9th Buffer 8 (Edge Rd)	425	15 trees	Natural buffer across the footprints of Sycamore Creek
9th to 10th Buffer 8 (Edge Rd)	425	15 trees	Natural buffer across the footprints of Sycamore Creek
10th to 11th Buffer 8 (Edge Rd)	425	15 trees	Natural buffer across the footprints of Sycamore Creek
11th to 12th Buffer 8 (Edge Rd)	425	15 trees	Natural buffer across the footprints of Sycamore Creek
12th to 13th Buffer 8 (Edge Rd)	425	15 trees	Natural buffer across the footprints of Sycamore Creek
13th to 14th Buffer 8 (Edge Rd)	425	15 trees	Natural buffer across the footprints of Sycamore Creek
14th to 15th Buffer 8 (Edge Rd)	425	15 trees	Natural buffer across the footprints of Sycamore Creek
15th to 16th Buffer 8 (Edge Rd)	425	15 trees	Natural buffer across the footprints of Sycamore Creek
16th to 17th Buffer 8 (Edge Rd)	425	15 trees	Natural buffer across the footprints of Sycamore Creek
17th to 18th Buffer 8 (Edge Rd)	425	15 trees	Natural buffer across the footprints of Sycamore Creek
18th to 19th Buffer 8 (Edge Rd)	425	15 trees	Natural buffer across the footprints of Sycamore Creek
19th to 20th Buffer 8 (Edge Rd)	425	15 trees	Natural buffer across the footprints of Sycamore Creek
20th to 21st Buffer 8 (Edge Rd)	425	15 trees	Natural buffer across the footprints of Sycamore Creek
21st to 22nd Buffer 8 (Edge Rd)	425	15 trees	Natural buffer across the footprints of Sycamore Creek
22nd to 23rd Buffer 8 (Edge Rd)	425	15 trees	Natural buffer across the footprints of Sycamore Creek
23rd to 24th Buffer 8 (Edge Rd)	425	15 trees	Natural buffer across the footprints of Sycamore Creek
24th to 25th Buffer 8 (Edge Rd)	425	15 trees	Natural buffer across the footprints of Sycamore Creek
25th to 26th Buffer 8 (Edge Rd)	425	15 trees	Natural buffer across the footprints of Sycamore Creek
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27th to 28th Buffer 8 (Edge Rd)	425	15 trees	Natural buffer across the footprints of Sycamore Creek
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29th to 30th Buffer 8 (Edge Rd)	425	15 trees	Natural buffer across the footprints of Sycamore Creek
30th to 31st Buffer 8 (Edge Rd)	425	15 trees	Natural buffer across the footprints of Sycamore Creek
31st to 32nd Buffer 8 (Edge Rd)	425	15 trees	Natural buffer across the footprints of Sycamore Creek
32nd to 33rd Buffer 8 (Edge Rd)	425	15 trees	Natural buffer across the footprints of Sycamore Creek
33rd to 34th Buffer 8 (Edge Rd)	425	15 trees	Natural buffer across the footprints of Sycamore Creek
34th to 35th Buffer 8 (Edge Rd)	425	15 trees	Natural buffer across the footprints of Sycamore Creek
35th to 36th Buffer 8 (Edge Rd)	425	15 trees	Natural buffer across the footprints of Sycamore Creek
36th to 37th Buffer 8 (Edge Rd)	425	15 trees	Natural buffer across the footprints of Sycamore Creek
37th to 38th Buffer 8 (Edge Rd)	425	15 trees	Natural buffer across the footprints of Sycamore Creek
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39th to 40th Buffer 8 (Edge Rd)	425	15 trees	Natural buffer across the footprints of Sycamore Creek
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41st to 42nd Buffer 8 (Edge Rd)	425	15 trees	Natural buffer across the footprints of Sycamore Creek
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67th to 68th Buffer 8 (Edge Rd)	425	15 trees	Natural buffer across the footprints of Sycamore Creek
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74th to 75th Buffer 8 (Edge Rd)	425	15 trees	Natural buffer across the footprints of Sycamore Creek
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82nd to 83rd Buffer 8 (Edge Rd)	425	15 trees	Natural buffer across the footprints of Sycamore Creek
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84th to 85th Buffer 8 (Edge Rd)	425	15 trees	Natural buffer across the footprints of Sycamore Creek
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86th to 87th Buffer 8 (Edge Rd)	425	15 trees	Natural buffer across the footprints of Sycamore Creek
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98th to 99th Buffer 8 (Edge Rd)	425	15 trees	Natural buffer across the footprints of Sycamore Creek
99th to 100th Buffer 8 (Edge Rd)	425	15 trees	Natural buffer across the footprints of Sycamore Creek

APPLICANT IS SEEKING WAIVERS FROM THE OUTER AND INTERIOR LANDSCAPE REQUIREMENTS.



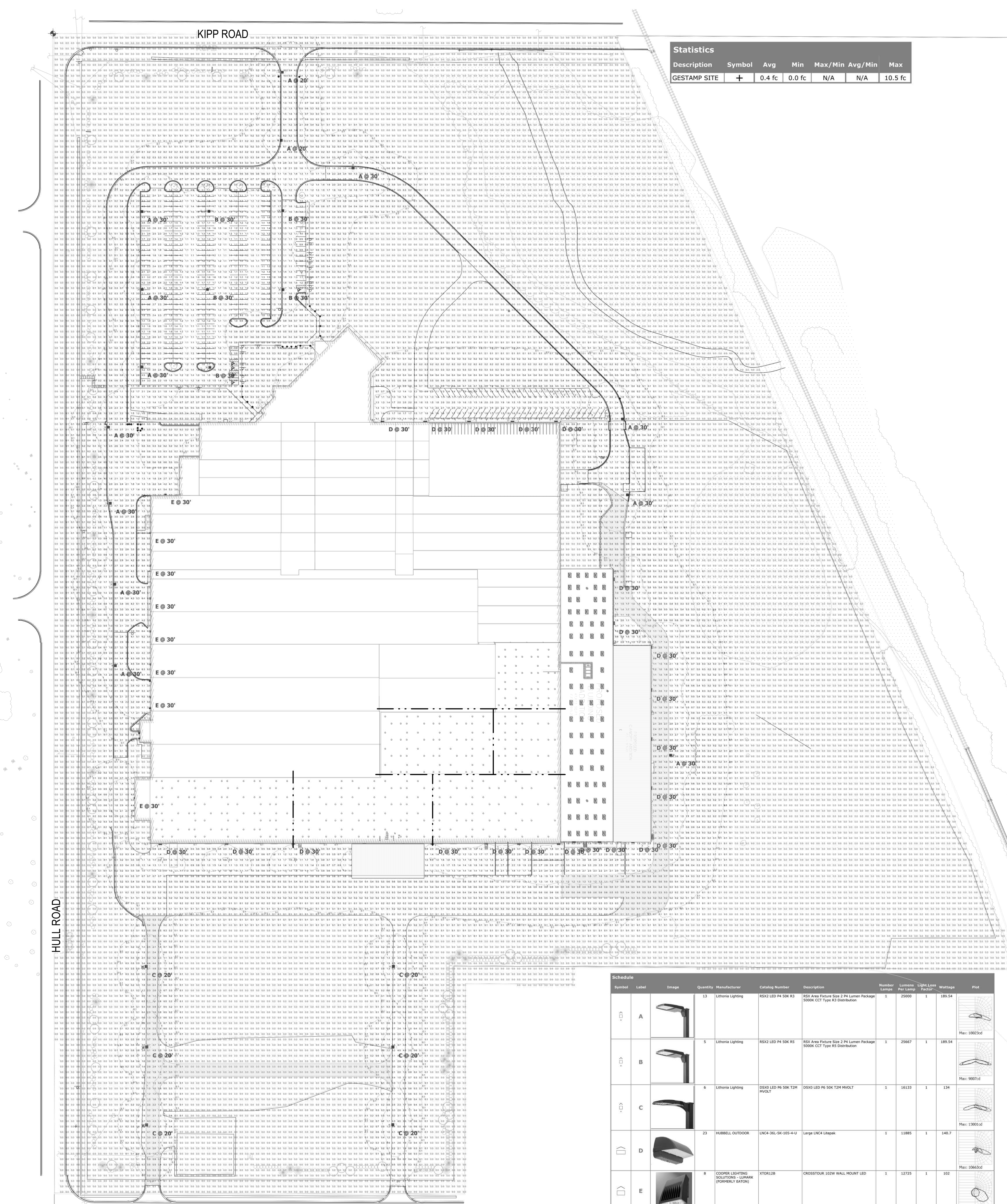
FILE	L1-C.DWG
DESIGNED BY	ADB
DRAWN BY	AJJ
CHECKED BY	ADB
DATE	MAY 24, 2021
SCALE	HOR. 1"=100'
VERT. 1"=100'	
PROJECT NO.	2679
SHEET NO.	L1.0

3135 PINE TREE ROAD
SUITE D
LANSING, MI 48911
PH. (517) 393-2902
FAX (517) 393-2608
www.lsg-es.com

PREPARED FOR:
Gestamp
200 EAST KIPP ROAD
MASON, MICHIGAN 48854
PHONE # (517) 244-8800

WIELAND
4162 ENGLISH OAK DRIVE
LANSING, MICHIGAN 48911
PHONE # (517) 372-8650

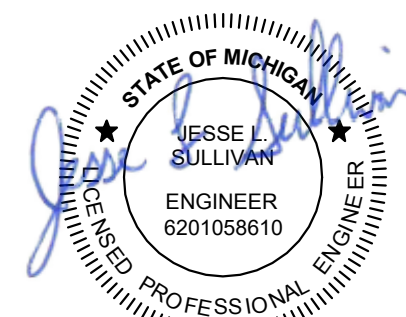
LANDSCAPE PLAN
FOR
GESTAMP 2021 EXPANSION
200 EAST KIPP ROAD
MASON, MI 48854



Statistics					
Description	Symbol	Avg	Min	Max/Min	Avg/Min
GESTAMP SITE	+	0.4 fc	0.0 fc	N/A	N/A
					10.5 fc

Symbol	Label	Image	Quantity	Manufacturer	Catalog Number	Description	Number Lamps	Lumen Per Lamp	Light Loss Factor	Wattage	Plot
A	13		13	LED Luminaire	RSK2 LED P4 50K R3	RSK Area Fixture Size 2.4 Lum Package 5000K CCT Type R3 Distribution	1	2500	1	189.54	
B	5		5	LED Luminaire	RSK2 LED P4 50K R5	RSK Area Fixture Size 2.4 Lum Package 5000K CCT Type R5 Distribution	1	2567	1	189.54	
C	6		6	LED Luminaire	OSLO LED P6 50K T2H	OSLO LED P6 50K T2H	1	1613	1	134	
D	23		23	HUBBELL OUTDOOR	UNCL-SL-96-105-4-U	Large UNCL Lumen	1	11885	1	146.7	
E	8		8	COVER LIGHTING SOLUTIONS - LUMARK (POWERCATION)	HYDRILUX	CROSSFOUR 102W WALL MOUNT LED	1	12725	1	102	

SITE PHOTOMETRIC PLAN
SCALE: 1" = 80'-0"



WIELAND
FINISH GOODS PRODUCT STORAGE (LOW BAY)

Gestamp

USM
VALUATION & ACCOUNTING
ENGINEERS / ARCHITECTS / SURVEYORS

GESTAMP
GHU_2021_EXPANSION
FINISH GOODS PRODUCT STORAGE (LOW BAY)
MASON, MI 48854

SITE PHOTOMETRIC PLAN

CHECKED BY:
C. MILLER
DESIGNED BY:
R. LUTZ
DRAWN BY:
S. FISHER
SCALE: AS SHOWN
PROJ # : 211697049
DATE: 08/13/21

NO. 1
DATE: 08/13/21
BY: S. FISHER

STATE OF MICHIGAN
PROFESSIONAL ENGINEER
LICENSE NO. 68854
EXPIRATION DATE: 08/13/21

SHEET
E2.0

PRINTED: 8/16/2021 9:08:19 AM

