



PLANNING COMMISSION MEETING AGENDA – November 15, 2022

**Mason City Hall, 201 W. Ash Street, Mason, MI
Sycamore Room 1st Floor, 6:30 p.m.**

1. CALL TO ORDER
2. CONFIRMATION OF MEMBER ATTENDANCE
3. PUBLIC COMMENT
4. APPROVAL OF MINUTES
 - A. Approval of Minutes from the Planning Commission Meeting on October 25, 2022
6. PUBLIC HEARINGS
 - A. Resolution 2022-12 Nate Palmer of Meijer, Inc. has requested concurrent approval of an amendment to a Special Use Permit, Preliminary and Final Site Plan for the renovation of the existing Meijer Pharmacy Drop-off Lane and Garden Center. The front drive-thru lane is being relocated to be within the front portion of the existing Garden Center. The Garden center is being reduced in size. Outdoor storage will also be located within the center portion of the new Pharmacy Drive-Up area for the property located at 550 Hull Rd., Mason MI parcel number 33-19-10-17-200-027.
7. UNFINISHED BUSINESS
8. NEW BUSINESS
9. LIAISON REPORT ([11.04.22](#))
10. ADJOURNMENT

**CITY OF MASON
PLANNING COMMISSION SPECIAL MEETING
MINUTES OF October 25, 2022
DRAFT**

Sabbadin called the meeting to order at 6:31 p.m. in person at Mason City Hall.

CONFIRMATION OF MEMBER ATTENDANCE

		Present	Absent	Notes
Commissioner	Barna	X		
Commissioner	Bliesener	X		
Council Liaison	Clark	X		
Commissioner	Kirkby	X		
Commissioner	Malczewski	X		
Commissioner	Perrault	X		
Chair	Sabbadin	X		
Vice Chair	Waxman	X		
Secretary	Wren	X		

Also present: Elizabeth A. Hude, AICP, Community Development Director

PUBLIC COMMENT

None.

APPROVAL OF MINUTES

MOTION by Waxman second by Clark, to approve the Planning Commission Meeting minutes from September 13, 2022.

VOTE

Yes (9) Barna, Bliesener, Clark, Kirkby, Malczewski, Perrault, Sabbadin, Waxman, Wren

No (0)

Absent (0)

MOTION PASSED

PUBLIC HEARING

Resolution 2022-10: Recommend City Council Adopt Ordinance to Reinstate an amendment of Ch 1, Sec. 1-2; Ch 94 Section 94-141(D); and Ch 94, Section 192 allowing Short-term Rentals in the C1 Central Business District with a Sunset of December 31, 2024.

Chair Sabbadin opened and closed the public hearing at 6:32 p.m. No one from the public was present and no comments were made.

MOTION by Waxman second by Clark, to approve Resolution 2022-11.

Discussion took place regarding typos in the way the Resolution references sections of the proposed

ordinance, the goals suggested in the resolution item 4 and whether they had been met, and capacity limits stated in the ordinance. City Council may wish to look at this further in the future based upon staff capacity. The extended sunset allows the City more time to prepare a new ordinance and review options for expanding short-term rentals in other zoning districts.

SECOND MOTION by Waxman second by Barna, to approve Resolution 2022-11 amended to correct the typos in the resolution and align with the proposed ordinance.

VOTE

Yes (9) Barna, Bliesener, Clark, Kirkby, Malczewski, Perrault, Sabbadin, Waxman, Wren

No (0)

Absent (0)

MOTION PASSED

UNFINISHED BUSINESS

None.

NEW BUSINESS

Resolution 2022-11: Mallory Building Contractors, LLC, on behalf of CorrChoice, has requested concurrent approval of a preliminary and final site plan for the addition of an 800 s.f. air compressor room on property located at 700 Eden Rd, parcel 33-19-10-16-400-026.

MOTION by Waxman second by Wren, to approve Resolution 2022-11.

Discussion took place regarding the contents of the application and if it met the requirements of Section 94-227. Staff explained that they believed the site plan provided the necessary information sufficient to determine if the proposal met the zoning requirements as stated in the staff report.

VOTE

Yes (8) Barna, Bliesener, Kirkby, Malczewski, Perrault, Sabbadin, Waxman, Wren

No (1) Clark

Absent (0)

MOTION PASSED

LIAISON REPORT

Council Liaison Clark gave an update on the October 17 City Council meeting.

ADJOURN

The meeting adjourned at approximately 7:02 p.m.

Megan Wren, Secretary



Staff Agenda Report: November 15, 2022 Planning Commission

AGENDA ITEM 5A:

Resolution 2022-12 Nate Palmer of Meijer, Inc. has requested concurrent approval of an amendment to a Special Use Permit, Preliminary and Final Site Plan for the renovation of the existing Meijer Pharmacy Drop-off Lane and Garden Center. The front drive-thru lane is being relocated to be within the front portion of the existing Garden Center. The Garden center is being reduced in size. Outdoor storage will also be located within the center portion of the new Pharmacy Drive-Up area for the property located at 550 Hull Rd., Mason MI parcel number 33-19-10-17-200-027.

RECOMMENDED ACTION: Motion to approve Resolution 2022-12

PROJECT ADDRESS: 550 Hull Road

APPLICANT: Craig Armstrong of Elevatus Architecture

OWNER: Meijer, Inc (Nate Palmer)

Authority

- [Section 94-222\(4\)](#) states that any use permitted by a Special Use Permit requires site plan review.
- [Section 94-142\(d\)\(14\)](#) states that a Special Use Permit is required for any use permitted in the C-2 district involving one or more structures that occupy, either individually or collectively, more than 15,000 square feet of gross floor area.
- [Section 94-225\(a\)](#) All uses of land and structures which are subject to the requirements of this article shall receive preliminary site plan review and approval prior to the submission of a final site plan unless the zoning official determines that concurrent preliminary and final site plan review and approval will promote the general welfare of the city.
- [Section 94-226 \(e\)](#): The planning commission shall have the authority to approve, approve with conditions, or deny an application for final site plan review and approval. Final site plan review shall follow the procedures for preliminary site plan review in subsection [94-225](#) and shall be reviewed in accordance with the standards in section [94-227](#).

Public Notice: Notice of a public hearing was given as required in [Sec. 94-191\(7\)\(c\)](#) and [Sec. 94-101](#) which requires notices to be published. The public hearing notice was published in the Lansing State Journal on Sunday, October 13, 2022; notices were mailed to residents on October 27, 2022. In accordance with Sec. [94-225\(f\)](#) and [94-394\(d\)](#), agencies were notified and provided comments listed in the Project Analysis.

Relation to Other Actions: None.

Submittal Criteria: The applicant paid a fee of \$375, and together with the documents listed above, the application appears to satisfy the submittal requirements of Sec. [94-225\(d\)](#) and [Sec. 94-226\(c\)](#).

Review Criteria: The applicant has submitted an application that appears to meet the review criteria for approval of a Special Use Permit and concurrent Preliminary and Final Site Plan Review. Recommended conditions and waivers have been noted.

ATTACHMENTS:

- Project Analysis with Review Criteria
- Resolution 2022-12
- Permit Application, received October 7, 2022
- Plan set prepared by Elevatus Architecture, dated October 6, 2022; sheet C-100 was revised November 9, 2022

PROJECT ANALYSIS

Description of Current and Planned Use of Property:

The property is currently developed and active with Meijer, Inc. retail store, outdoor garden center and a gas station. The property also contains a designated MDOT park and ride area and a CATA bus shelter. Changes to the property include the relocation of the pharmacy and reduction of the size of the garden center.

Construction Schedule: The renovation of the Pharmacy and Garden Center is expected to begin in January of 2023 and be completed by May of 2023. The sidewalk will be installed as weather permits late spring of 2023.

Master Plan: The request addresses the following goals and objectives:

Provide opportunities for new commercial development in a manner that recognizes the overall small-town character of the community and existing dominant land use patterns, strengthens the economic stability of the City, and addresses the consumer needs of both local and regional populations; Limit commercial growth primarily to existing commercial centers until such time that new, planned-centers may be determined to be beneficial.

Current Zoning District: The parcel is located in the [C-2 General Commercial District](#). *It is the primary purpose of this district to provide opportunities for business establishments that address the retail and service needs of both local and regional populations, including the highway traveler and uses that draw from a regional market or which uniquely benefit from close proximity to the US-127 interchanges.*

Surrounding Zoning and Land Uses: The site is located on Kipp and Hull roads, both are a local public roadway.

	Current Land Use	Zoning	Future Land Use
Project site	Commercial	C-2 General Commercial District	Commercial
North	Commercial	C-2 General Commercial District	Commercial
East	Manufacturing	M-2 General Manufacturing District	Industrial
South	Commercial	C-2 General Commercial District	Commercial
West	US 127/Vevay Township	NA	NA

COMMENTS FROM AGENCIES	
BUILDING	A building permit will be required for the roof, fascia, column work, as well as sign permits for the new signage.
FIRE	
POLICE	
CITY ENGINEER/DPW	
INGHAM COUNTY ROAD DEPARTMENT	See letter dated October 31, 2022. Sidewalk along Kipp Rd to the southwest corner of Kipp/Hull roads is required.
INGHAM COUNTY DRAIN COMMISSION	Meijer has submitted an application for a Soil Erosion waiver.
MDOT	Staff has spoken to MDOT representatives who are currently verifying approval of the reduced number of park and ride spaces.
CATA	See email and diagram received November 1, 2022 requesting the CATA shelter be relocated within proximity of the sidewalk for improved non-motorized access and transit service.

REVIEW CRITERIA:

Staff recommends approval of the Special Use Permit and concurrent approval of both the Preliminary and Final Site Plan with conditions and waivers as described below. Concurrent approval reduces costs to both the City and the applicant for review and expedites the use of the property.

Special Use Permit Requirements

Per Section 94-191(f), before approving a special use permit, the planning commission shall find by clear and convincing proof that the applicable standards set forth by this chapter shall be satisfied by the completion and operation of the proposed development. The planning commission shall review the circumstances and facts of each proposed use in terms of these standards and shall make written findings showing that such use shall:

STATUS/NOTE	REQUIREMENT
MEETS	(1) Be designed, constructed, operated, and maintained so as to be harmonious and appropriate in appearance with the existing or intended character of the general vicinity and that such a use will not change the essential character of adjacent property or the zoning district in which it is proposed.
The proposed layout generally meets this requirement as the new location of the pharmacy and outdoor retail area/garden center will improve the façade of the store and not change the essential character on the site or of adjacent properties.	
MEETS	(2) Not be hazardous or disturbing to uses in the same general vicinity and will be a substantial improvement to property in the immediate vicinity and to the community as a whole.
The proposed improvements will not be hazardous or disturbing to surrounding uses and will improve customer safety and the appearance of the site as a whole.	
MEETS	(3) Be served adequately by essential facilities and services, such as highways, streets, police and fire protection, drainage structures, refuse disposal, water and sewage facilities, and schools.
The site is currently adequately served by essential facilities and services.	
MEETS	(4) Not create additional requirements at public cost for public facilities and services.
Staff is not aware of any additional requirements of this nature.	
MEETS	(5) Not involve uses, activities, processes, materials, and equipment or conditions of operation that will be detrimental to any person, property, or the general welfare by noise, fumes, glare, or odors.
It does not appear that the proposed improvements will cause a detriment of this nature.	
MEETS	(6) Not be located such that it will directly or indirectly have a substantial adverse impact on the natural resources of this city.
Staff is not aware of any conditions associated with this project that would create any substantial adverse impact.	
MEETS	(7) Be in compliance with other applicable local, county, state, or federal rules and regulations.
The applicant is responsible for pursuing the necessary county, state, or federal approvals and permits.	

Site Plan Approval Requirements

Per [Sec. 94-224](#), the planning commission may approve, approve with conditions, or deny any site plan when referred and reviewed in accordance with the standards for site plan review and approval as listed in [Sec. 94-227](#) of the Zoning Ordinance. Based upon staff's review, the application appears to meet the standards for approval as noted below.

STATUS/NOTE	REQUIREMENT
MEETS	(1) The site shall be developed so that all elements shall be harmoniously and efficiently organized in relation to the size, shape, type and topography of the site and surrounding property.
The proposed improvements generally meet this requirement. The relocation of the pharmacy drive-thru lanes are anticipated to more efficiently organize traffic, and improve vehicle and pedestrian traffic. CATA has requested a relocation of their shelter to be within proximity of the new proposed sidewalk as well as the designated parking spaces for the MDOT park and ride. This will further improve coordination of the non-motorized elements on the site.	
MEETS	(2) The site shall be developed so as not to impede the normal and orderly development, improvement, and use of surrounding property for uses permitted in this chapter.
The proposed improvements will not impact use of surrounding properties.	
MEETS	(3) All buildings or groups of buildings shall be arranged to permit emergency vehicle access by some practical means to all sites.
Emergency vehicles have access into the building and garden center at multiple locations and the fire lane in front of the store.	
MEETS	(4) Every structure or dwelling unit shall have direct access to a public street or indirect access to a public street via an approved dedicated private street.
The site has direct access from Kipp Road to the north and Hull Road to the east.	
MEETS	(5) Appropriate measures shall be taken to ensure that the addition or removal of surface waters will not adversely affect neighboring properties, that controls are in place to minimize sedimentation and erosion, and that topographic alterations are minimized to accommodate storm water management.
No significant changes to surface waters is anticipated.	
MEETS	(6) Provisions shall be made for the construction of storm sewer facilities including grading, gutters, piping, on-site storage, and treatment of turf as required to handle stormwater and prevent erosion.
The site is currently served adequately by public water, sewer, and storm sewer utilities.	
MEETS	(7) Secondary containment for above ground areas where hazardous substances are stored or used shall be provided as required by the city fire chief.
Staff is not aware of any hazardous substances that require secondary containment as required by this section or Ch. 26 Fire Prevention and Protection .	
MEETS	(8) Exterior lighting shall be designed and located so that the source of illumination is directed away from adjacent properties, the intensity of lighting is the minimum necessary, and the direction of lighting is downward as much as is possible and appropriate for the project.
No additional lighting is proposed at this time. Any lighting that is to be added in the future must demonstrate compliance with Section 94-177(e) . The maximum height for light poles is 15 feet per Table 100-2 (Accessory Structures).	
MEETS	(9) All loading and unloading areas, outside storage areas, and refuse receptacles shall be screened from casual view from the public rights-of-way and adjoining land uses.
The proposed improvements will not impact the existing loading and unloading areas, outside storage areas or dumpsters.	
MEETS WITH CONDITION	(10) Site plans shall meet the driveway, traffic safety, and parking standards of the city in such manner as necessary to address the following:
	a. Safe and efficient vehicular and non-vehicular circulation, including parking areas, non-motorized linkages to abutting parcels, uses, sidewalks, and trails.
	b. Shared driveways and service drives.
	c. Adequate and properly located utilities.
The proposed sidewalk into the site from Kipp Road will improve safety by providing a safe non-motorized linkage to Kipp Road. Sidewalk along Hull Road is currently not being proposed but should be considered as a future improvement.	
CONDITION: The sidewalk from the driveway entrance east along the north property line to the Kipp/Hull Road intersection will be installed per the ICRD letter dated October 31, 2022.	
MEETS WITH CONDITION	(11) Provisions shall be made for proposed common areas and public features to be reasonably maintained.
During the recent repaving of the lot, 140 parking spaces were eliminated without site plan approval. A portion of those spaces were dedicated as part of the MDOT Park and Ride. CATA is interested in relocating their bus shelter so that it is closer to the sidewalk and MDO Park and Ride (see email and site layout dated November 1, 2022). Staff recommends approval with a condition	

CONDITION: Meijer will work with MDOT on the designation of Park and Ride spaces, and with CATA on the relocation of the bus shelter and that a revised site plan be submitted.

SEE BELOW

(12) The site plan submittal shall demonstrate compliance with all applicable requirements of this chapter, chapters 58 and 74, the building code, and county, state, and federal law.

The applicant will be responsible for obtaining any necessary permits from other agencies.

MEETS WITH
WAIVER

[Sec. 94-292](#) and [Table 100-5](#) Parking

Based upon the Usable Floor Area calculation of 143,650 s.f. 958 parking spaces are required. There are currently only 783 spaces available, 175 parking spaces short of the requirement. However, staff has made several observations that the parking lot is rarely full and that the required number of spaces appears to be excessive. During a recent re-paving project, 140 parking spaces were removed on the north end of the lot which were designated as part of the MDOT park and ride. Those are now reflected on the site plan as a future designated parking should they be necessary. Again, staff has not observed an issue with availability of parking. As the Planning Commission and City Council are in the process of updating the City's Master Plan and Zoning Ordinance, it is anticipated that parking requirements will either be significantly reduced or eliminated. Therefore, staff suggests a waiver for the 175 spaces be granted in accordance with Sec. 94-292(g) which allows the applicant to designate a reserve area to accommodate the required parking spaces to be built at a future date if the City determines they are necessary.

WAIVER: [Per Sec. 94-292\(g\)](#) The construction of 175 parking spaces is waived and will be reflected on the site plan as a future reserve area.

MEETS

Sec. 94-241 Landscape, screening and buffer requirements

[Section 94-241e\(6\)](#) provides the Planning Commission with the ability to waive or modify the landscaping requirements based upon the specific characteristics of the site. The applicant is not proposing any changes to landscaping at this time and appears to meet the requirements as previously approved.

**CITY OF MASON
PLANNING COMMISSION
RESOLUTION NO. 2022-12**

A RESOLUTION GRANTING APPROVAL OF AN AMENDMENT TO A SPECIAL USE PERMIT AND CONCURRENT APPROVAL OF A PRELIMINARY AND FINAL SITE PLAN TO NATE PALMER OF MEIJER, INC. FOR THE RENOVATION OF THE EXISTING MEIJER PHARMACY DROP-OFF LANE AND GARDEN CENTER ON PROPERTY LOCATED AT 550 HULL RD., MASON MI, PARCEL NUMBER 33-19-10-17-200-027. THE PARCEL IS ZONED C-2 GENERAL COMMERCIAL DISTRICT.

November 15, 2022

WHEREAS, a request has been received from Nate Palmer of Meijer, Inc. for an amendment to a Special Use Permit and concurrent Preliminary and Final site plan approval for the renovation of the existing Meijer Pharmacy Drop-off Lane and Garden Center; and,

WHEREAS, the subject property is located at 550 Hull Rd., Mason MI, parcel number 33-19-10-17-200-027; and,

WHEREAS, the proposal is described on application materials provided on October 7, 2022 with a revised site plan dated November 9, 2022; and,

WHEREAS, the parcel is zoned C-2 General Commercial District; and

WHEREAS, Section 94-152(d)(4) states that a Special Use Permit is required for any use permitted in the C-2 district involving one or more structures that occupy, either individually or collectively, more than 15,000 square feet of gross floor area; and,

WHEREAS, Section 94-222(4) states that any use permitted by a Special Use Permit requires site plan review; and

WHEREAS, a public hearing on the request was noticed and held at the Planning Commission's regular meeting on November 15, 2022 with testimony given and public comment solicited in accordance with Section 94-101 of the Mason Code; and

WHEREAS, per Section 94-225, the zoning official has determined concurrent Preliminary and Final Site Plan review and approval will promote the general welfare of the city; and

WHEREAS, the Planning Commission has received, reviewed and accepts the Staff Agenda Report with project analysis dated November 15, 2022, as findings of fact that, with the conditions and waiver listed herein, the proposed use will comply with the Preliminary and Final Site Plan Review Standards listed in Section 94-227.

NOW THEREFORE BE IT RESOLVED, that the City of Mason Planning Commission does hereby grant approval of an amendment to a Special Use Permit and concurrent Preliminary and Final Site Plan approval for the renovation of the existing Meijer Pharmacy Drop-off Lane and Garden Center with the following conditions and waiver:

1. The construction of 175 parking spaces is waived and the site plan will be revised showing future a parking reserve area for the remaining 35 spaces.
2. The sidewalk from the driveway entrance east along the north property line to the Kipp/Hull Road intersection will be installed per the ICRD letter dated October 31, 2022.
3. Meijer will work with MDOT on the designation of Park and Ride spaces, and with CATA on the relocation of the bus shelter.

The foregoing Resolution was moved for adoption by Planning Commissioner ____ and seconded by Planning Commissioner ____

___ and declared adopted by the following vote:

Yes (0)

No (0)

Absent (0)

RESOLUTION DECLARED _____

STATE OF MICHIGAN)

:ss.

COUNTY OF INGHAM)

I, the undersigned, the duly qualified and acting Clerk of the City of Mason, County of Ingham, State of Michigan, do hereby certify that the foregoing is a true and complete copy of a resolutions adopted by the Planning Commission of the City of Mason at a regularly scheduled meeting held on Tuesday, November 15, 2022, pursuant to the Michigan Open Meetings Act, the original of which is on is file in my office as part of the minutes.

IN WITNESS WHEREOF, I have hereunto set my official signature, this ____ day of _____ 2022.

Sarah J. Jarvis, City Clerk
City of Mason, Ingham County, Michigan



INGHAM COUNTY ROAD DEPARTMENT
AUSTIN E. CAVANAUGH ADMINISTRATION BUILDING
301 Bush Street, P.O. Box 38, Mason, MI 48854-0038



Kelly R. Jones, PE
Managing Director

October 31, 2022

Ms. Elizabeth Hude
Community Development Director
City of Mason
201 W. Ash St.
Mason, MI 48854

Via Email

RE: Meijer Pharmacy & Garden Center- 550 Hull Rd.

Dear Ms. Hude:

The Ingham County Road Department (ICRD) is providing comments to the proposed Meijer Pharmacy & Garden Center redesign at 550 Hull Road based upon the following information provided for our review:

- Plans prepared by Engineering Resources, Inc., dated 9/9/2022

Comments:

1. Since sidewalk is being proposed on the west side of the drive entrance from Kipp Road, as a condition of the development, it should also be required to continue east to the southwest corner of Kipp Road and Hull Road. Sidewalk ramps are already in place on both sides of the drive entrance as well as at the southwest corner of Kipp Road and Hull Road.
2. A right-of-way permit will be required from the Ingham County Road Department for any work within the Kipp Road right-of-way. The current fee for this permit is \$150.

Should you have questions or need clarification on the above information, please contact me via email at ngalehouse@ingham.org.

Sincerely,

Neal Galehouse, P.E.
Director of Engineering
INGHAM COUNTY ROAD DEPARTMENT

cc: M. Swanson, K. Knauff- Ingham County Road Department
File



PERMIT APPLICATION

ZONING

RECEIVED
OCT 07 2022

CITY OF MASON
CUSTOMER SERVICE

Applicant- Please check one of the following:

- | | |
|-------------------------------------|------------------------------|
| <input checked="" type="checkbox"/> | Preliminary Site Plan Review |
| <input checked="" type="checkbox"/> | Final Site Plan Review |
| <input checked="" type="checkbox"/> | Special Use Permit* |
| <input type="checkbox"/> | Administrative Review |
- * includes Preliminary Site Plan Review

DEPARTMENT USE ONLY

Application Received: _____
Tax ID: _____
Fee: _____
Receipt #: _____

RECEIVED

OCT 07 2022

CITY OF MASON
PLANNING DEPT.

Applicant Information:

Name: Craig Armstrong

Organization: Elevatus Architecture

Address: 111 E. Wayne Street, Suite 555; Fort Wayne, IN 46802

Telephone Number: (260) 241-2648 Facsimile Number: _____

Interest in Property (owner, tenant, option, etc.): Architect of Record

Note: If applicant is anyone other than owner, request must be accompanied by a signed letter of authorization from the owner.

Property Information:

Owner: Meijer, Inc. (Nate Palmer) Telephone Number: 616-735-7601

Property Address: 550 Hull Road Mason, MI 48854

Legal Description: If in a subdivision: Subdivision Name: _____ Lot Number: _____

If Metes and Bounds (can be provided on separate sheet): Please see attached

APPLICANT CERTIFICATION

By execution of this application, the person signing represents that the information provided and the accompanying documentation is, to the best of his/her knowledge, true and accurate. In addition, the person signing represents that he or she is authorized and does hereby grant a right of entry to City officials for the purpose of inspecting the premises and uses thereon to verify compliance with the terms and conditions of any Special Use Permit and/or Site Plan approval issued as a result of this application.

Signature:  Date: 10/6/2022

Requested Description:

Written Description: Please use this section to describe the use or uses proposed. Attach additional pages, if necessary.

Renovation to the location of the existing Meijer Pharmacy Drop-off Lane. The Front Drive-Thru lane is being relocated to be within the front portion of the existing Garden Center. The Garden Center is being reduced in size. Outdoor storage will also be located in the center portion of the new Pharmacy Drive-up area.

Available Services

Public Water ☒ Yes ☐ No

Paved Road (Asphalt or Concrete) ☒ Yes ☐ No

Public Sanitary Sewer ☒ Yes ☐ No

Public Storm Sewer ☒ Yes ☐ No

Estimate the Following

Traffic Generated Traffic will not increase with this change

Total Employees _____

Population Increase 0

Employees in Peak Shift _____

House of Operation _____ AM to _____ PM

Total Bldg. Area Proposed N/A

Sun Day through Satur day

Parking Spaces Provided 785

Project Phasing

This project will be completed in: ☒ One Phase ☐ Multiple Phases – Total No. of Phases: _____

Note: The phases of construction for multi-phase projects must be shown on the site plan

Application Materials

The following are checklists of items that generally must be submitted with applications for Preliminary Site Plan Review, Final Site Plan Review, and Special Use Permits. Applicants should review Articles VI and VII of Chapter 94 of the Mason Code for a complete listing of application requirements. All site plan drawings must comply with the requirements of Section 94-226(d) of the Zoning Ordinance. Incomplete applications will not be processed.

- ☒ Completed application form
- ☒ 2 copies of full scale site plan drawings
- ☒ Plans submitted on CD or PDF (email is acceptable)
- ☒ Legal description
- ☒ Proof of ownership/owner authorization
- ☒ Construction schedule for proposed project
- ☐ Construction calculations for utilities
- ☒ Fee (see below)
- ☐ Any other information deemed necessary

**Application Fee**

All requests must be accompanied by a fee, as established by the City Council. The fee schedule for Preliminary Site Plan Reviews, Final Site Plan Reviews, and Special Use Permits is as follows (As of October 16, 2006):

Administrative Reviews	\$70.00
Preliminary Site Plan Reviews	\$200.00
Final Site Plan Review	\$100.00
Special Use Permits (includes preliminary site plan review)	\$275.00

Engineering Review

\$220.00*

*Two—hour minimum fee for projects increasing demand on public utilities. Actual fees incurred are billed to applicant upon completion of review.

Application Deadlines

Preliminary Site Plan/Special Use Permit Review

Applications for Preliminary Site Plan Review may be submitted at any time. Complete applications must be received a minimum four (4) weeks prior to a Planning Commission meeting to be placed on the agenda. Upon receipt of a complete application, a public hearing will be scheduled for the next regularly scheduled meeting (for Special Use Permits only). The Planning Commission has the final authority to approve, approve with conditions or deny an application for Preliminary Site Plan/Special Use Permit Review. The Planning Department staff will issue a letter to the applicant advising of any changes or revisions that may be necessary prior to making application for Final Site Plan Review.

Final Site Plan Review

Complete applications must be received a minimum of four (4) weeks prior to a Planning Commission meeting to be placed on an agenda. The Planning Commission has the final authority to approve, approve with conditions or deny an application for Final Site Plan Review. Planning Commission meetings are held on the second Tuesday after the first Monday of every month, unless the Tuesday is a Township recognized holiday, in which case the meeting is held on the following day (Wednesday).

Staff Report

The Planning Department Staff will prepare a report to the Planning Commission regarding an application for Preliminary Site Plan Review, Final Site Plan Review or Special Use Permit. The report will explain the request and review whether it complies with the zoning standards of the Mason Code. Staff will present the findings of that report during the Planning Commission meeting. An applicant who wishes to obtain one (1) copy of that report, at no cost, prior to the meeting must provide a written request to the Planning Department. The report is generally complete on the Friday before the meeting and can be mailed to the applicant or picked up by the applicant in the Planning Department.

Resources: More questions? Please contact our Customer Service Desk at 517.676.9155.

Revised 7.2.2018 (Community Development)





October 5th, 2022


City of Mason – Community Development
Elizabeth Hude, AICP
201 W. Ash St.
Mason, MI 48854

Subject: 3rd party authorization for Meijer, Inc.

Ms. (Mrs.) Hude,

We hereby authorize Craig M. Armstrong, Elevatus Architecture, to represent Meijer, Inc. for all aspects of this project, which include all planning and permitting dealings.

Thank you,

DocuSigned by:

2191C42C1AE444D...

10/6/2022

Nate Palmer
Meijer Project Manager
2350 3 Mile Rd., NW
Grand Rapids, MI 49544





ELEVATUS
ARCHITECTURE

TRANSMITTAL / FAX

Project No.: 2201801-R

Project: Meijer 174
550 Hull Rd.
Mason, MI 48854

Date: October 6, 2022

To: City of Mason
201 W. Ash St.
Mason, MI 48854-0370

Attention: Planning Department

Phone No.: (517) 676-9155

Fax No.:

From: Craig M. Armstrong, AIA

- ☐ Fax, No. of Pages _ of _
☒ Transmittal
☐ Pick-Up
☐ Courier
☐ US Mail
☒ Overnight - Priority

Remarks:

- ☐ For Your Use / Record
☒ As Required
☐ Review / Comment

Please find the following:

- (1) Copy of the Zoning Permit Application
- (1) Copy of the Authorization Letter
- (1) Check in the amount of \$375.00
- (2) Copies of the Legal Description
- (2) Copies of the Exterior Elevation Renderings
- (2) Copies of the pertinent Full Size Drawings

Submitted By: Craig M. Armstrong, AIA

cc: ☐ File: Document1
☒ Owner: Meijer Inc., Nate Palmer
☒ Contractor: Siwek Construction, Tom Siwek
☐ Consultant:
☐ Consultant:



Meijer Store #174 – Vevay Township, Ingham Co., MI (Entire Site Legal)

Owners: Good Will Co., Inc. (as to 24.439 ac)
Meijer Realty Company (as to 1.868 ac.)
Meijer, Inc. (as to 0.615 ac.)

Located in the Northeast 1/4 of the Northeast 1/4 of Section 17, Town 2 North, Range 1 West, Vevay Township, Ingham County, Michigan, and being a tract of land more particularly described as follows:

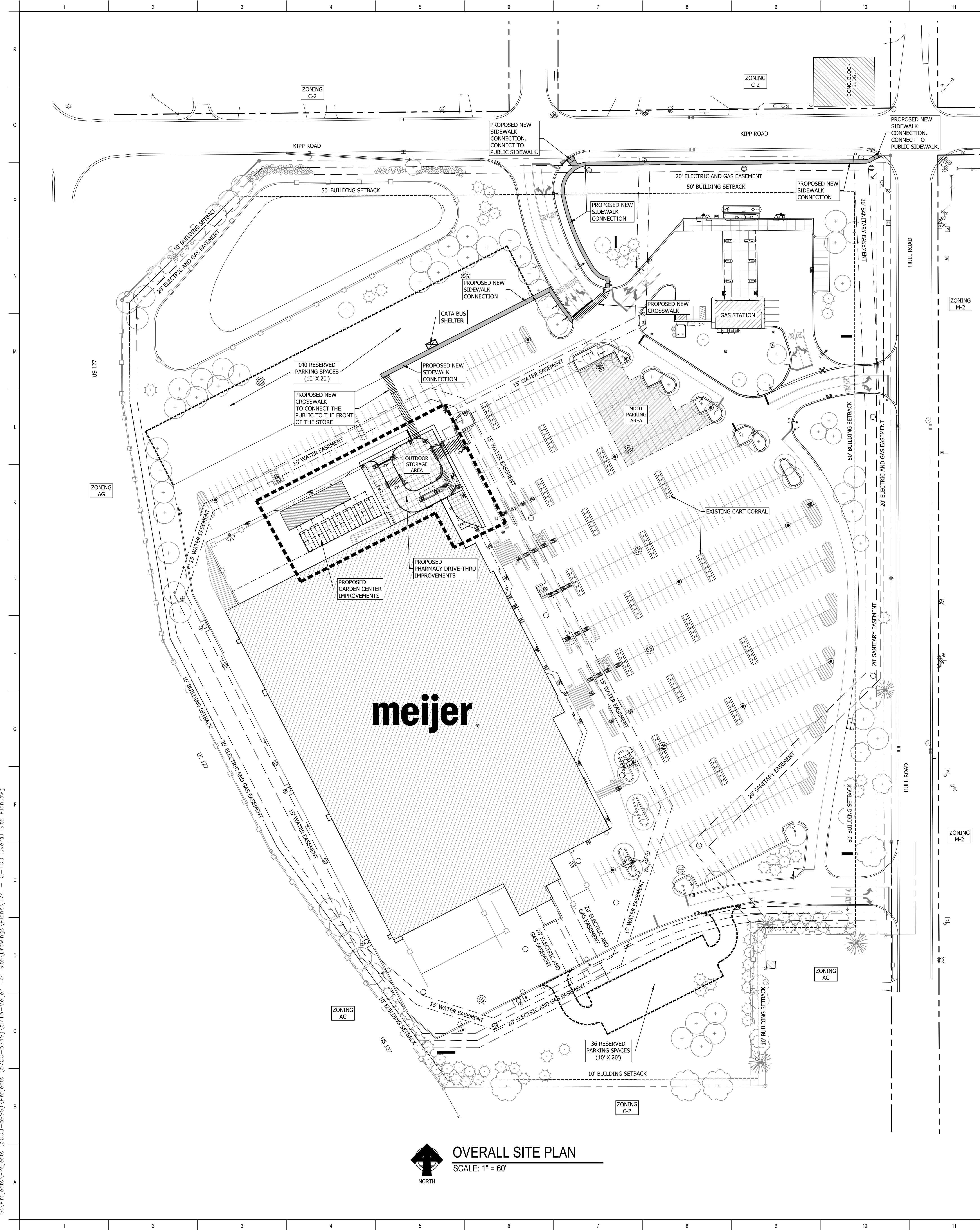
Commencing at a monument found in a water valve box at the northeast corner of said Section 17; thence along the north line of said section, South 89°31'23" West, for 910.95 feet; thence South 00°28'37" East, for 33.00 feet to a 1/2" iron pin set at the intersection of the easterly right-of-way line of U.S. 127 (as conveyed to the State of Michigan in Liber 892, Page 234) and the south right-of-way line of Kipp Road, said intersection also being the Point of Beginning of the tract of land described herein; thence along said south right-of-way line of Kipp Road, North 89°31'23" East, for 877.72 feet to an iron pin set at the intersection of said south right-of-way line and the west right-of-way line of Hull Road; thence along said west right-of-way line, parallel with and 33.00 feet west of the east line of said Section 17, South 00°04'38" East, for 954.55 feet to a 1/2" iron set at the intersection of said west right-of-way line and the south line of land conveyed to Phillip E. and Marlene K. Ballard by deed recorded in Liber 899, Page 544 and the north line of land conveyed to James M. and Elfriede S. Cairns by deed recorded in Liber 1885, Page 1043; thence along said north line, North 89°55'22" East, for 33.00 feet to the east line of said Section 17; thence along said east line, South 00°04'38" East, for 128.00 feet to the south line of said Cairns land; thence along said south line, South 89°43'55" West, for 208.71 feet to the east line of land conveyed to Jon C. and Beverly Davis and Gary and Julie Caltrider by deed recorded in Liber 1319, Page 10 (witness a 1/2" iron pipe found lying South 06°47'07" East 2.04' from corner); thence along said east line, South 00°04'38" East, for 210.87 feet to the south line of said Northeast 1/4 of the Northeast 1/4 of Section 17; thence along said south line, South 89°43'55" West, for 447.09 feet to a 1/2" iron pin and cap found at the intersection of said south line and said easterly right-of-way line of U.S. 127; thence along said right-of-way line, North 36°09'11" West, for 406.77 feet (recorded as N36°09'00"W, for 406.70 feet) to a 1/2" iron pin and cap found; thence North 27°09'02" West, for 328.57 feet (recorded as N27°09'00"W for 328.36 feet) to a 1/2" iron pin and cap found; thence North 09°39'43" West, for 335.97 feet (recorded as N09°39'00"W for 335.90 feet) to a 1/2" iron pin and cap found; thence North 00°19'43" West, for 142.66 feet (recorded as N00°27'00"W for 142.73 feet) to a 1/2" iron pin and cap found; thence North 44°31'23" East, for 271.63 feet (recorded as N44°33'00"E for 271.53 feet) to the Point of Beginning. Containing 26.922 total acres, more or less.

Tax Parcel Nos: 3319-10-17-200-024, 3319-10-17-200-021, 3319-10-17-200-013; 3319-10-17-200-014

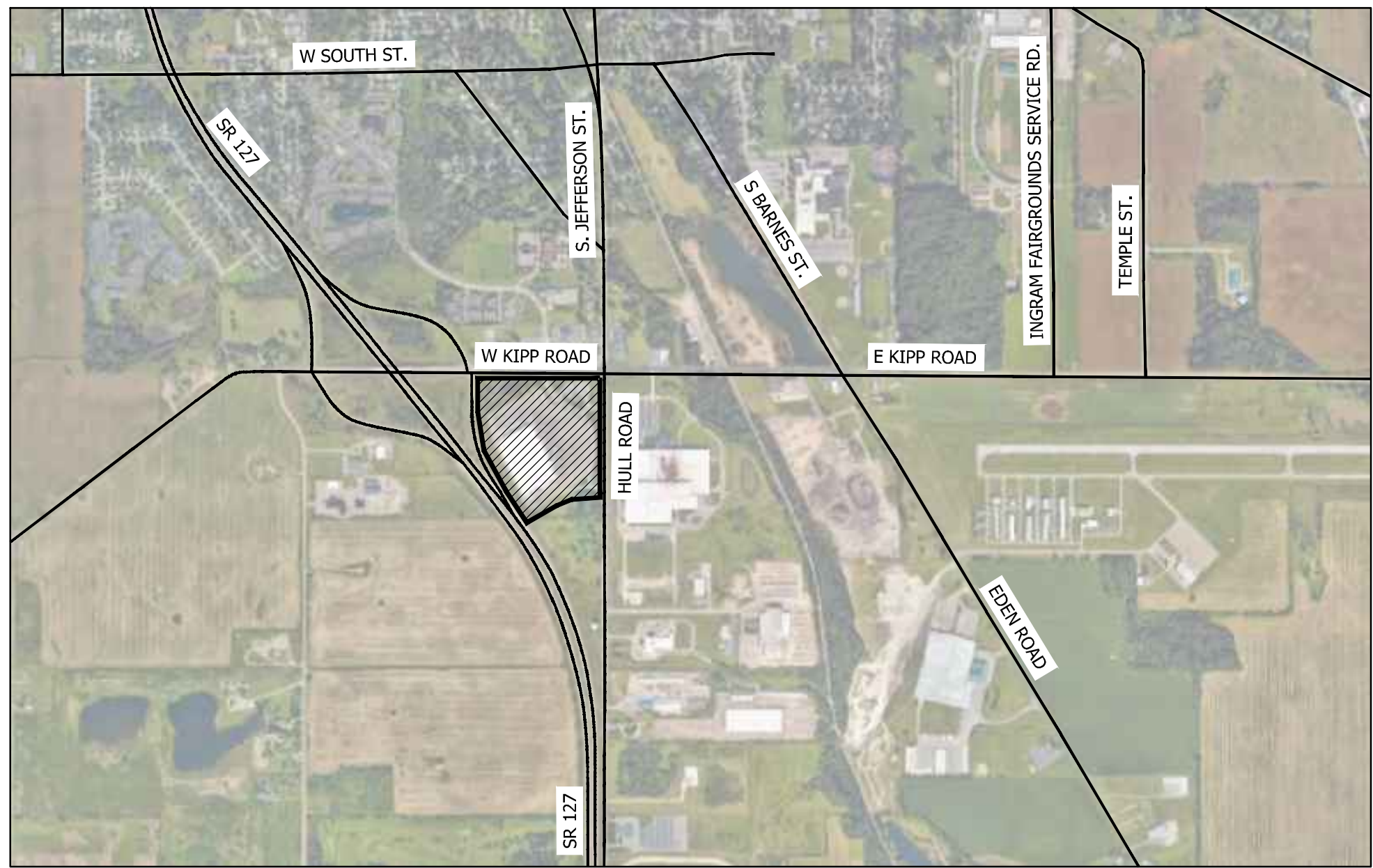
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reviewed 1/7/11 (AMM)



November 9, 2022 3:43 PM
S:\Projects\Projects (5000-5999)\Projects (5700-5749)\5715-Meijer 174 Site Drawings\Plan\174 - C-100 Overall Site Plan.dwg



OVERALL SITE PLAN
SCALE: 1" = 60'



SITE LOCATION MAP
SCALE: N.T.S.

PROJECT DESCRIPTION:

THIS PROJECT ENTAILS RELOCATING THE EXISTING PHARMACY DRIVE-THRU LANE FROM THE FRONT OF THE STORE TO THE SIDE OF THE STORE. THE GARDEN CENTER WILL BE REDUCED IN SIZE TO ACCOMMODATE A NEW DOUBLE LANE DRIVE-THRU.

OWNER INFORMATION:

MEIJER, INC. (GOOD WILL, INC.)
NATE PALMER, PROJECT MANAGER
2350 THREE MILE ROAD
GRAND RAPIDS, MI 49544
(616) 735-7601 PHONE

LOT INFORMATION:

PARCEL #:	33-19-10-17-200-027
PROPERTY ZONING:	C-2 GENERAL COMMERCIAL DISTRICT
COUNTY:	INGHAM COUNTY
TOWNSHIP:	VEVAY
ACRES:	26.922 ACRES
DISTURBED AREA:	15,426± SQUARE FEET
NEW IMPERVIOUS AREA:	1,651± SQUARE FEET
LAND USE:	GROCERY AND GENERAL MERCHANDISE STORE
LOT COVERAGE FOR ALL STRUCTURES ON SITE:	18% LOT COVERAGE
LANDSCAPE:	ALL EXISTING LANDSCAPING TO REMAIN.

SURVEY NOTE:

EXISTING TOPOGRAPHY IS BASED ON TOPOGRAPHIC SURVEY PROVIDED BY WOLVERINE PROJECT #088538.00 DATED JULY 13, 2022. ADDITIONAL SITE INFORMATION WAS MERGED WITH THIS SURVEY. THE ADDITIONAL DESIGN DOCUMENTS WERE SUPPLIED TO ELEVATUS ARCHITECTURE FROM MEIJER, INC.

SITE BENCHMARK PROVIDED FROM TOPOGRAPHIC SURVEY BY SME.

BUILDING SQUARE FOOTAGE:

EXISTING GROSS FLOOR AREA:	186,286 SF
PROPOSED GROSS FLOOR AREA:	186,326 SF
PROPOSED USABLE FLOOR AREA:	143,650 SF
EXISTING GARDEN CENTER AREA:	26,169 SF
PROPOSED GARDEN CENTER AREA:	21,258 SF

EXISTING PARKING (STORE):

STORE PARKING LOT:
758 STANDARD SPACES
27 HANDICAP ACCESSIBLE SPACES
785 TOTAL SPACES

REQUIRED NUMBER OF PARKING SPACES PER CODE: 1 SPACE PER 150 SF OF USABLE FLOOR AREA. 143,650 SF / 150 = 958 SPACES REQUIRED.
18 CART CORRELS PROVIDED

PROPOSED PARKING (STORE):

STORE PARKING LOT:
756 STANDARD SPACES
27 HANDICAP ACCESSIBLE SPACES
783 TOTAL SPACES
176 RESERVED SPACES
959 FUTURE TOTAL SPACES

REQUIRED NUMBER OF PARKING SPACES PER CODE: 1 SPACE PER 150 SF OF USABLE FLOOR AREA. 143,650 SF / 150 = 958 SPACES REQUIRED.
18 CART CORRELS PROVIDED

LEGAL DESCRIPTION:

MEIJER STORE #174 - VEVAY TOWNSHIP, INGHAM CO., MI (ENTIRE SITE LEGAL)
OWNERS: GOOD WILL CO., INC. (AS TO 24.439 AC.)
MEIJER REALTY COMPANY (AS TO 1.868 AC.)
MEIJER, INC. (AS TO 0.615 AC.)

LOCATED IN THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 17, TOWN 2 NORTH, RANGE 1 WEST, VEVAY TOWNSHIP, INGHAM COUNTY, MICHIGAN, AND BEING A TRACT OF LAND MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT A MONUMENT FOUND IN A WATER VALVE BOX AT THE NORTHEAST CORNER OF SAID SECTION 17; THENCE ALONG THE NORTH LINE OF SAID SECTION, SOUTH 89°31'23" WEST, FOR 910.95 FEET; THENCE SOUTH 00°28'37" EAST, FOR 33.00 FEET TO A 1/2" IRON PIN SET AT THE INTERSECTION OF THE EASTERLY RIGHT-OF-WAY LINE OF U.S. 127 (AS CONVEYED TO THE STATE OF MICHIGAN IN LIBER 892, PAGE 234) AND THE SOUTH RIGHT-OF-WAY LINE OF KIPP ROAD, SAID INTERSECTION ALSO BEING THE POINT OF BEGINNING OF THE TRACT OF LAND DESCRIBED HEREIN; THENCE ALONG SAID SOUTH RIGHT-OF-WAY LINE OF KIPP ROAD, NORTH 89°31'23" EAST, FOR 877.72 FEET TO AN IRON PIN SET AT THE INTERSECTION OF SAID SOUTH RIGHT-OF-WAY LINE AND THE WEST RIGHT-OF-WAY LINE OF HULL ROAD; THENCE ALONG SAID WEST RIGHT-OF-WAY LINE, PARALLEL WITH AND 33.00 FEET WEST OF THE EAST LINE OF SAID SECTION 17, SOUTH 00°04'38" EAST, FOR 954.55 FEET TO A 1/2" IRON SET AT THE INTERSECTION OF SAID WEST RIGHT-OF-WAY LINE AND THE SOUTH LINE OF LAND CONVEYED TO PHILLIP E. AND MARLENE K. BALLARD BY DEED RECORDED IN LIBER 899, PAGE 544 AND THE NORTH LINE OF LAND CONVEYED TO JAMES H. AND ELMERIDE S. CARNS BY DEED RECORDED IN LIBER 1085, PAGE 1043; THENCE ALONG SAID NORTH LINE, NORTH 89°55'22" EAST, FOR 33.00 FEET TO THE EAST LINE OF SAID SECTION 17; THENCE ALONG SAID EAST LINE, SOUTH 00°04'38" EAST, FOR 128.00 FEET TO THE SOUTH LINE OF SAID CAIRNS LAND; THENCE ALONG SAID SOUTH LINE, SOUTH 89°43'55" WEST, FOR 208.71 FEET TO THE EAST LINE OF LAND CONVEYED TO JON C. AND BEVERLY DAVIS AND GARY AND JULIE CALTRIDER BY DEED RECORDED IN LIBER 1319, PAGE 10 (WITNESS A 1/2" IRON PIPE FOUND LING SOUTH 06°47'07" EAST 2.04' FROM CORNER); THENCE ALONG SAID EAST LINE, SOUTH 00°04'38" EAST, FOR 210.87 FEET TO THE SOUTH LINE OF SAID NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 17; THENCE ALONG SAID SOUTH LINE, SOUTH 89°43'55" WEST, FOR 447.09 FEET TO A 1/2" IRON PIN AND CAP FOUND AT THE INTERSECTION OF SAID SOUTH LINE AND SAID EASTERLY RIGHT-OF-WAY LINE OF U.S. 127; THENCE ALONG SAID RIGHT-OF-WAY LINE, NORTH 36°09'11" WEST, FOR 406.77 FEET (RECORDED AS N36°09'00"W, FOR 406.70 FEET) TO A 1/2" IRON PIN AND CAP FOUND; THENCE NORTH 27°09'02" WEST, FOR 328.57 FEET (RECORDED AS N27°09'00"W FOR 328.36 FEET) TO A 1/2" IRON PIN AND CAP FOUND; THENCE NORTH 09°39'43" WEST, FOR 335.97 FEET (RECORDED AS N09°39'00"W FOR 335.90 FEET) TO A 1/2" IRON PIN AND CAP FOUND; THENCE NORTH 00°19'43" WEST, FOR 142.66 FEET (RECORDED AS N00°27'00"W FOR 142.73 FEET) TO A 1/2" IRON PIN AND CAP FOUND; THENCE NORTH 44°31'23" EAST, FOR 271.63 FEET (RECORDED AS N44°33'00"E FOR 271.53 FEET) TO THE POINT OF BEGINNING. CONTAINING 26.922 TOTAL ACRES, MORE OR LESS.

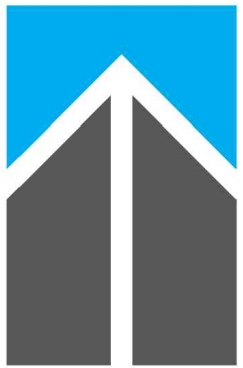
TAX PARCEL NOS: 3319-10-17-200-024, 3319-10-17-200-021, 3319-10-17-200-013; 3319-10-17-200-014

SITE PLAN NOTES:

- OWNER INFORMATION:
MEIJER, INC. (GOOD WILL, INC.)
2350 THREE MILE ROAD
GRAND RAPIDS, MI 49544
- STORM DRAINAGE PATTERNS AND STORM WATER MANAGEMENT SHALL REMAIN AS EXISTING. THERE WILL BE A SLIGHT INCREASE IN IMPERVIOUS AREA WHICH WILL ALSO INCREASE STORMWATER QUALITY.
- PROPOSED CONSTRUCTION IS NOT LOCATED IN A DESIGNATED FLOODPLAIN OR WETLAND AREA.
- EXISTING UTILITIES SHALL REMAIN. EXISTING BUILDING POLE-MOUNTED SITE LIGHTING FIXTURES SHALL REMAIN UNLESS SHOWN TO BE RELOCATED. ANY NEW PROPOSED LIGHT FIXTURES SHALL BE SHIELDED AS REQUIRED BY ZONING ORDINANCE LIGHTING REQUIREMENTS.
- EXISTING LANDSCAPING SHALL REMAIN.
- CONSTRUCTION DRAWINGS WILL INCLUDE REQUIRED SOIL EROSION CONTROL MEASURES INCLUDING INLET PROTECTION AT ALL AFFECTED STORMWATER INLETS.
- SEE ARCHITECTURAL DRAWINGS FOR CHANGES TO EXTERIOR SIGNAGE.

FIRE DEPARTMENT NOTES:

- THE EXISTING BUILDING ADDRESS(S) SHALL REMAIN UNCHANGED.
- EXISTING FIRE LANES AND FIRE DEPARTMENT ACCESS ROAD WIDTHS SHALL REMAIN.
- ALL FIRE HYDRANTS SHALL REMAIN.



ELEVATUS
ARCHITECTURE

111 E. Wayne St., Suite 555, Fort Wayne, Indiana 46802
300-424-8880

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BY ARCHITECTS, L.L.C. AND ELEVATUS ARCHITECTURE

IN ACCORDANCE WITH THE COMPACT ACT 11 U.S.C. 402, ELEVATUS ARCHITECTURE, ARCHITECTS, L.L.C. AND ELEVATUS ARCHITECTURE, ARCHITECTS, L.L.C. HEREBY CERTIFY THAT THE DESIGN AND CONSTRUCTION OF THE PROJECT IS THE SOLE PROPERTY OF ELEVATUS ARCHITECTURE, ARCHITECTS, L.L.C. AND ELEVATUS ARCHITECTURE, ARCHITECTS, L.L.C. AND NO PART OF THE PROJECT SHALL BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF ELEVATUS ARCHITECTURE, ARCHITECTS, L.L.C. AND ELEVATUS ARCHITECTURE, ARCHITECTS, L.L.C.

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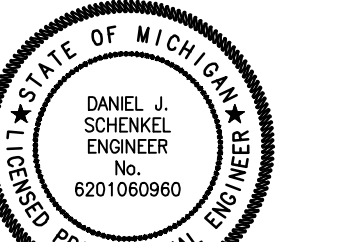
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CONSULTANT



4175 New Vision Drive, Fort Wayne, IN 46845
PH: (260) 490-1225 Fax: (260) 490-1226
www.engineeringresourcesinc.com

Seal 09-09-2022



OWNERS CONSTRUCTION MANAGER



50500 Pilgrim Road • Flint, MI 48907
810.736.7943 • Fax: 810.736.7977
www.siwekconstruction.com



Store #174 Renovation

MEIJER PROJECT #:
CP-23-00174

550 Hull Road
Mason, MI 48854

2023 STORE REFRESH

Revisions		
No.	Description	Date
1	Submittal #1	2022-10-21

Project No.	Issue Date
2201801	09/09/2022
Submittal	
Issue for Bids, Permits and Construction	

Overall Site Plan

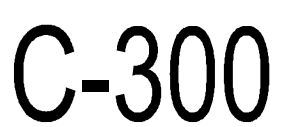
C-100

NOTE: ELEVATIONS ARE TOP OF PAVEMENT
UNLESS NOTED OTHERWISE.

1. DE-WATER THE CONSTRUCTION SITE WHEN NEEDED.
2. BEGIN DEMOLITION OF ITEMS TO BE REMOVED FOR THE PROPOSED CONSTRUCTION.
3. INSTALL CONCRETE WASHOUT AREA(S) TO BE USED DURING CONSTRUCTION OF ROADS, PARKING LOTS, SIDEWALKS, AND BUILDINGS. CONTRACTOR TO USE PREFABRICATED PORTABLE CONCRETE WASHOUT SYSTEMS / CONTAINERS WITH A MINIMUM SUMP CAPACITY OF 2 CU YDS.
4. INSTALL EROSION PROTECTIVE DEVICES AT ALL SITES SPECIFIED ON THE SITE GRADING PLAN.
5. CONSTRUCT UTILITIES, PARKING LOTS, SIDEWALKS AND BUILDING(S).
6. REMOVE TEMPORARY EROSION CONTROL DEVICES AND MEASURES ONCE THE CONTRIBUTING DRAINAGE AREA IS STABILIZED.



SCALE: 1" = 10'



	ALL ITEMS AND RELATED WORK NOTED BELOW TO BE SUPPLIED BY THE CONTRACTOR AT HIS/HER EXPENSE PER THE CONTRACT DOCUMENTS.
1	REMOVE EXISTING DOUBLE SIDED "STOP" SIGN, POST, AND BASE. SALVAGE SIGNS FOR REUSE. INSTALL REUSED SINGLE SIDED "STOP" SIGN ON NEW POST AND CONCRETE BASE PER DETAIL C1/C-700.
2	REMOVE EXISTING SINGLE SIDED "STOP" SIGN, POST, AND BASE. SALVAGE SIGN FOR REUSE. INSTALL REUSED SINGLE SIDED "STOP" SIGN ON NEW POST AND CONCRETE BASE PER DETAIL C1/C-700.
3	REMOVE EXISTING SINGLE SIDED "STOP" SIGN AND "RIGHT TURN ONLY" SIGN. EXISTING POST SHALL REMAIN. INSTALL NEW SINGLE SIDED "STOP" SIGN AND "RIGHT TURN ONLY" SIGN ON EXISTING POST PER DETAIL C1/C-700.
4	REMOVE EXISTING SINGLE SIDED "STOP" SIGN, POST, AND BASE. SALVAGE SIGN FOR REUSE. INSTALL REUSED SINGLE SIDED "STOP" SIGN ON NEW POST (LAWN INSTALLATION) PER DETAIL C1/C-700.
5	EXISTING POST AND CONCRETE BASE SHALL REMAIN. INSTALL NEW SINGLE SIDED "FIRE LANE" SIGN ON EXISTING POST AND CONCRETE BASE PER DETAIL C1/C-700.
6	EXISTING POST SHALL REMAIN. INSTALL NEW SINGLE SIDED "FIRE LANE" SIGN ON EXISTING POST PER DETAIL C1/C-700.
7	REMOVE EXISTING SINGLE SIDED "FIRE LANE" SIGN FROM POST. EXISTING POST SHALL REMAIN. INSTALL NEW SINGLE SIDED "FIRE LANE" SIGN ON EXISTING POST PER DETAIL C1/C-700.
8	REMOVE EXISTING SINGLE SIDED "FIRE LANE" SIGN AND POST. INSTALL NEW SINGLE SIDED "FIRE LANE" SIGN ON NEW POST (LAWN INSTALLATION) PER DETAIL C1/C-700.
9	REMOVE EXISTING SINGLE SIDED "FIRE LANE" SIGN FROM FENCE. INSTALL NEW SINGLE SIDED "FIRE LANE" SIGN ON NEW POST AND CONCRETE BASE PER DETAIL C1/C-700.
10	REMOVE EXISTING DOUBLE SIDED "PICK-UP ORDERS" SIGNS, POST, AND BASE. SALVAGE EXISTING SIGNS FOR REUSE. SEE TAG #29 FOR NEW "PICK-UP ORDERS" SIGN LOCATIONS.
11	REMOVE EXISTING SINGLE SIDED "PICK-UP ORDERS" DIRECTIONAL SIGN, POST, AND BASE. SALVAGE FOR REUSE.
12	RELOCATE EXISTING SINGLE SIDED "PICK-UP ORDERS" SIGN, POST, AND CONCRETE BASE. SEE TAG #13 FOR RELOCATION.
13	RELOCATED SINGLE SIDED "PICK-UP ORDERS" SIGN, POST, AND CONCRETE BASE.
14	REMOVE EXISTING DOUBLE SIDED ADA SIGN, POST, AND CONCRETE BASE. SALVAGE SIGNS FOR REUSE. INSTALL REUSED DOUBLE SIDED ADA SIGNS ON NEW POST AND CONCRETE BASE PER DETAIL C1/C-700.
15	REMOVE EXISTING DOUBLE SIDED ADA SIGN, POST, AND CONCRETE BASE. SALVAGE SIGNS FOR REUSE. INSTALL REUSED DOUBLE SIDED ADA SIGNS, AND NEW SINGLE SIDED VAN ACCESSIBLE SIGN, ON NEW POST AND CONCRETE BASE PER DETAIL C1/C-700.
16	INSTALL NEW SINGLE SIDED ADA SIGN AND REUSED SINGLE SIDED "QUICK TRIP" SIGNS ON NEW POSTS AND CONCRETE BASES PER DETAIL C1/C-700. ADA SIGNS SHALL BE ON THE SIDE OF THE POST FACING THE ADA STRIPING.
17	REMOVE EXISTING DOUBLE SIDED "QUICK TRIP" SIGNS, POSTS, AND CONCRETE BASES. SALVAGE SIGNS FOR REUSE. SEE TAGS #16 AND #28 FOR NEW "QUICK TRIP" SIGN LOCATIONS.
18	REMOVE EXISTING SINGLE SIDED "RIGHT TURN ONLY" SIGN, POST, AND CONCRETE BASE. INSTALL NEW "RIGHT TURN ONLY" SIGN ON NEW POST (LAWN INSTALLATION) PER DETAIL C1/C-700.
19	REMOVE EXISTING SINGLE SIDED "NO OVERNIGHT PARKING" SIGN AND POST. INSTALL NEW SINGLE SIDED "NO OVER NIGHT PARKING" SIGN ON NEW POST (LAWN INSTALLATION) PER DETAIL C1/C-700.
20	REMOVE EXISTING DOUBLE SIDED "STOP" SIGN, POST, AND BASE. SALVAGE SIGNS FOR REUSE. INSTALL REUSED DOUBLE SIDED "STOP" SIGNS ON NEW POSTS AND CONCRETE BASES PER DETAIL C1/C-700.
21	REMOVE EXISTING SINGLE SIDED "NO LEFT TURN" SIGN, POST, AND BASE.
22	INSTALL NEW SINGLE SIDED "STOP" SIGN ON NEW POST AND CONCRETE BASE PER DETAIL C1/C-700.
23	INSTALL NEW DOUBLE SIDED "STOP" SIGN AND "DO NOT ENTER" SIGN ON NEW POST AND CONCRETE BASE PER DETAIL C1/C-700.
24	INSTALL NEW SINGLE SIDED "PHARMACY DRIVE-UP" SIGN ON NEW POST AND CONCRETE BASE PER DETAIL C1/C-700.
25	REMOVE EXISTING SINGLE SIDED "FIRE LANE" SIGN, POST, AND CONCRETE BASE. SALVAGE SIGN, POST, AND BASE FOR REINSTALL. REINSTALL SINGLE SIDED "FIRE LANE" SIGN, POST, AND CONCRETE BASE PER DETAIL C1/C-700.
26	REMOVE EXISTING SINGLE SIDED "WRONG WAY" SIGN, POST, AND CONCRETE BASE.
27	INSTALL NEW SINGLE SIDED "FIRE LANE" SIGN ON NEW POST AND CONCRETE BASE PER DETAIL C1/C-700.
28	INSTALL REUSED SINGLE SIDED "QUICK TRIP" SIGN ON BACK OF EXISTING ADA SIGN POST.
29	INSTALL REUSED DOUBLE SIDED "PICK-UP ORDERS" SIGNS ON NEW POSTS AND CONCRETE BASES PER DETAIL C1/C-700.
30	4" SINGLE SOLID LINE, COLOR YELLOW.
31	4" SINGLE SOLID LINE, COLOR WHITE.
32	PEDESTRIAN CROSSWALK PER DETAIL A6/C-700.
33	3'-0" TALL SOLID PAINTED "STOP" LETTERS, YELLOW, PER DETAIL A6/C-700.
34	PAVEMENT MARKING DIRECTIONAL ARROW PER DETAIL A5/C-700.
35	2'-0" WIDE STOP BAR, COLOR WHITE.
36	REMOVE EXISTING SINGLE SIDED "PICK-UP ORDERS" DIRECTIONAL SIGN, POST, AND CONCRETE BASE. SALVAGE FOR REUSE. INSTALL REUSED "PICK-UP ORDERS" DIRECTIONAL SIGN AND ENSURE THAT THE ARROW IS POINTING LEFT.
37	REMOVE EXISTING SINGLE SIDED "PICK-UP ORDERS" DIRECTIONAL SIGN, POST, AND CONCRETE BASE. SALVAGE FOR REUSE. INSTALL REUSED "PICK-UP ORDERS" DIRECTIONAL SIGN AND ENSURE THAT THE ARROW IS POINTING UP.
38	INSTALL REUSED SINGLE SIDED "PICK-UP ORDERS" DIRECTIONAL SIGN AND ENSURE THAT THE ARROW IS POINTING RIGHT PER DETAIL A5/C-700.
39	INSTALL SINGLE SIDED "PICK-UP ORDER" DIRECTIONAL SIGN AND POST (LAWN INSTALLATION). ARROW TO BE POINTING RIGHT PER DETAIL A5/C-700.
40	INSTALL SINGLE SIDED "PICK-UP ORDER" DIRECTIONAL SIGN AND POST (LAWN INSTALLATION). ARROW TO BE POINTING STRAIGHT UP PER DETAIL A5/C-700.
41	INSTALL A SINGLE SIDED "PICK-UP ORDER" DIRECTIONAL SIGN ON RELOCATED PICK-UP ORDER SIGN. ARROW TO BE POINTING LEFT PER DETAIL A5/C-700.
42	INSTALL SINGLE SIDED "PICK-UP ORDER" DIRECTIONAL SIGN AND POST (LAWN INSTALLATION). ARROW TO BE POINTING LEFT PER DETAIL A5/C-700.
43	INSTALL A SINGLE SIDED "PICK-UP ORDER" DIRECTIONAL SIGN ON RELOCATED PICK-UP ORDER SIGN. ARROW TO BE POINTING RIGHT PER DETAIL A5/C-700.
44	INSTALL SINGLE SIDED "STOP" SIGN AND POST (LAWN INSTALLATION) PER DETAIL A5/C-700.
45	REMOVE EXISTING SINGLE SIDED ADA SIGN AND POST. INSTALL NEW SINGLE SIDED ADA SIGN ON NEW POST (LAWN INSTALLATION) PER DETAIL A1/CG500.
46	REMOVE EXISTING SINGLE SIDED "NO PARKING" SIGN, POST, AND BASE.
47	INSTALL "NO LEFT TURN" SIGN ON BACK OF "PICK-UP ORDER" DIRECTIONAL SIGN AND POST PER DETAIL A5/C-700.
	NOTE: NOT ALL KEYNOTES ARE USED ON THIS SHEET.

1. REFER TO SHEET C-700 FOR SIGNAGE/STRIPING DETAILS
2. ALL PAVEMENT MARKING SHALL BE YELLOW IN COLOR UNLESS NOTED OTHERWISE.

1. ALL SIGNS ALONG FRONT OF THE STORE TO BE ON MOVABLE CONCRETE BASES UNLESS SPECIFIED OTHERWISE.

The logo for 811, featuring the numbers "811" in a bold, white, sans-serif font. The numbers are set against a black background that forms a shield-like shape with a pointed bottom. A small registered trademark symbol (®) is located to the right of the numbers.

Know what's below.
Call before you dig.



SCALE: 1" = 10'

ALL ITEMS AND RELATED WORK NOTED BELOW TO BE SUPPLIED BY THE CONTRACTOR AT HIS/HER EXPENSE PER THE CONTRACT DOCUMENTS.

- 1 REMOVE EXISTING DOUBLE SIDED "STOP" SIGN, POST, AND BASE. SALVAGE SIGNS FOR REUSE. INSTALL REUSED SINGLE SIDED "STOP" SIGN ON NEW POST AND CONCRETE BASE PER DETAIL C1/C-700.
- 2 REMOVE EXISTING SINGLE SIDED "STOP" SIGN, POST, AND BASE. SALVAGE SIGN FOR REUSE. INSTALL REUSED SINGLE SIDED "STOP" SIGN ON NEW POST AND CONCRETE BASE PER DETAIL C1/C-700.
- 3 REMOVE EXISTING SINGLE SIDED "STOP" SIGN AND "RIGHT TURN ONLY" SIGN. EXISTING POST SHALL REMAIN. INSTALL NEW SINGLE SIDED "STOP" SIGN AND "RIGHT TURN ONLY" SIGN ON EXISTING POST PER DETAIL C1/C-700.
- 4 REMOVE EXISTING SINGLE SIDED "STOP" SIGN, POST, AND BASE. SALVAGE SIGN FOR REUSE. INSTALL REUSED SINGLE SIDED "STOP" SIGN ON NEW POST (LAWN INSTALLATION) PER DETAIL C1/C-700.
- 5 EXISTING POST AND CONCRETE BASE SHALL REMAIN. INSTALL NEW SINGLE SIDED "FIRE LANE" SIGN ON EXISTING POST AND CONCRETE BASE PER DETAIL C1/C-700.
- 6 EXISTING POST SHALL REMAIN. INSTALL NEW SINGLE SIDED "FIRE LANE" SIGN ON EXISTING POST PER DETAIL C1/C-700.
- 7 REMOVE EXISTING SINGLE SIDED "FIRE LANE" SIGN FROM POST. EXISTING POST SHALL REMAIN. INSTALL NEW SINGLE SIDED FIRE LANE SIGN ON EXISTING POST PER DETAIL C1/C-700.
- 8 REMOVE EXISTING SINGLE SIDED "FIRE LANE" SIGN AND POST. INSTALL NEW SINGLE SIDED "FIRE LANE" SIGN ON NEW POST (LAWN INSTALLATION) PER DETAIL C1/C-700.
- 9 REMOVE EXISTING SINGLE SIDED "FIRE LANE" SIGN FROM FENCE. INSTALL NEW SINGLE SIDED "FIRE LANE" SIGN ON NEW POST AND CONCRETE BASE PER DETAIL C1/C-700.
- 10 REMOVE EXISTING DOUBLE SIDED "PICK-UP ORDERS" SIGNS, POST, AND BASE. SALVAGE EXISTING SIGNS FOR REUSE. SEE TAG #29 FOR NEW "PICK-UP ORDERS" SIGN LOCATIONS.
- 11 REMOVE EXISTING SINGLE SIDED "PICK-UP ORDERS" DIRECTIONAL SIGN, POST, AND BASE. SALVAGE FOR REUSE.
- 12 RELOCATE EXISTING SINGLE SIDED "PICK-UP ORDERS" SIGN, POST, AND CONCRETE BASE. SEE TAG #13 FOR RELOCATION.
- 13 RELOCATED SINGLE SIDED "PICK-UP ORDERS" SIGN, POST, AND CONCRETE BASE.
- 14 REMOVE EXISTING DOUBLE SIDED ADA SIGN, POST, AND CONCRETE BASE. SALVAGE SIGNS FOR REUSE. INSTALL REUSED DOUBLE SIDED ADA SIGNS ON NEW POST AND CONCRETE BASE PER DETAIL C1/C-700.
- 15 REMOVE EXISTING DOUBLE SIDED ADA SIGN, POST, AND CONCRETE BASE. SALVAGE SIGNS FOR REUSE. INSTALL REUSED DOUBLE SIDED ADA SIGNS, AND NEW SINGLE SIDED VAN ACCESSIBLE SIGN, ON NEW POST AND CONCRETE BASE PER DETAIL C1/C-700.
- 16 INSTALL NEW SINGLE SIDED ADA SIGN AND REUSED SINGLE SIDED "QUICK TRIP" SIGNS ON NEW POSTS AND CONCRETE BASES PER DETAIL C1/C-700. ADA SIGNS SHALL BE ON THE SIDE OF THE POST FACING THE ADA STRIPPING.
- 17 REMOVE EXISTING DOUBLE SIDED "QUICK TRIP" SIGNS, POSTS, AND CONCRETE BASES. SALVAGE SIGNS FOR REUSE. SEE TAGS #16 AND #28 FOR NEW "QUICK TRIP" SIGN LOCATIONS.
- 18 REMOVE EXISTING SINGLE SIDED "RIGHT TURN ONLY" SIGN, POST, AND CONCRETE BASE. INSTALL NEW "RIGHT TURN ONLY" SIGN ON NEW POST (LAWN INSTALLATION) PER DETAIL C1/C-700.
- 19 REMOVE EXISTING SINGLE SIDED "NO OVERNIGHT PARKING" SIGN AND POST. INSTALL NEW SINGLE SIDED "NO OVER NIGHT PARKING" SIGN ON NEW POST (LAWN INSTALLATION) PER DETAIL C1/C-700.
- 20 REMOVE EXISTING DOUBLE SIDED "STOP" SIGN, POST, AND BASE. SALVAGE SIGNS FOR REUSE. INSTALL REUSED DOUBLE SIDED "STOP" SIGNS ON NEW POSTS AND CONCRETE BASES PER DETAIL C1/C-700.
- 21 REMOVE EXISTING SINGLE SIDED "NO LEFT TURN" SIGN, POST, AND BASE.
- 22 INSTALL NEW SINGLE SIDED "STOP" SIGN ON NEW POST AND CONCRETE BASE PER DETAIL C1/C-700.
- 23 INSTALL NEW DOUBLE SIDED "STOP" SIGN AND "DO NOT ENTER" SIGN ON NEW POST AND CONCRETE BASE PER DETAIL C1/C-700.
- 24 INSTALL NEW SINGLE SIDED "PHARMACY DRIVE-UP" SIGN ON NEW POST AND CONCRETE BASE PER DETAIL C1/C-700.
- 25 REMOVE EXISTING SINGLE SIDED "FIRE LANE" SIGN, POST, AND CONCRETE BASE. SALVAGE SIGN, POST, AND BASE FOR REINSTALL. REINSTALL SINGLE SIDED "FIRE LANE" SIGN, POST, AND CONCRETE BASE PER DETAIL C1/C-700.
- 26 REMOVE EXISTING SINGLE SIDED "WRONG WAY" SIGN, POST, AND CONCRETE BASE.
- 27 INSTALL NEW SINGLE SIDED "FIRE LANE" SIGN ON NEW POST AND CONCRETE BASE PER DETAIL C1/C-700.
- 28 INSTALL REUSED SINGLE SIDED "QUICK TRIP" SIGN ON BACK OF EXISTING ADA SIGN POST.
- 29 INSTALL REUSED DOUBLE SIDED "PICK-UP ORDERS" SIGNS ON NEW POSTS AND CONCRETE BASES PER DETAIL C1/C-700.
- 30 4" SINGLE SOLID LINE, COLOR YELLOW.
- 31 4" SINGLE SOLID LINE, COLOR WHITE.
- 32 PEDESTRIAN CROSSWALK PER DETAIL A6/C-700.
- 33 3'-0" TALL SOLID PAINTED "STOP" LETTERS, YELLOW, PER DETAIL A6/C-700.
- 34 PAVEMENT MARKING DIRECTIONAL ARROW PER DETAIL A5/C-700.
- 35 2'-0" WIDE STOP BAR, COLOR WHITE.
- 36 REMOVE EXISTING SINGLE SIDED "PICK-UP ORDERS" DIRECTIONAL SIGN, POST, AND CONCRETE BASE. SALVAGE FOR REUSE. INSTALL REUSED "PICK-UP ORDERS" DIRECTIONAL SIGN AND ENSURE THAT THE ARROW IS POINTING LEFT.
- 37 REMOVE EXISTING SINGLE SIDED "PICK-UP ORDERS" DIRECTIONAL SIGN, POST, AND CONCRETE BASE. SALVAGE FOR REUSE. INSTALL REUSED "PICK-UP ORDERS" DIRECTIONAL SIGN AND ENSURE THAT THE ARROW IS POINTING UP.
- 38 INSTALL REUSED SINGLE SIDED "PICK-UP ORDERS" DIRECTIONAL SIGN AND ENSURE THAT THE ARROW IS POINTING RIGHT PER DETAIL A5/C-700.
- 39 INSTALL SINGLE SIDED "PICK-UP ORDER" DIRECTIONAL SIGN AND POST (LAWN INSTALLATION). ARROW TO BE POINTING RIGHT PER DETAIL A5/C-700.
- 40 INSTALL SINGLE SIDED "PICK-UP ORDER" DIRECTIONAL SIGN AND POST (LAWN INSTALLATION). ARROW TO BE POINTING STRAIGHT UP PER DETAIL A5/C-700.
- 41 INSTALL A SINGLE SIDED "PICK-UP ORDER" DIRECTIONAL SIGN ON RELOCATED PICK-UP ORDER SIGN. ARROW TO BE POINTING LEFT PER DETAIL A5/C-700.
- 42 INSTALL SINGLE SIDED "PICK-UP ORDER" DIRECTIONAL SIGN AND POST (LAWN INSTALLATION). ARROW TO BE POINTING LEFT PER DETAIL A5/C-700.
- 43 INSTALL A SINGLE SIDED "PICK-UP ORDER" DIRECTIONAL SIGN ON RELOCATED PICK-UP ORDER SIGN. ARROW TO BE POINTING RIGHT PER DETAIL A5/C-700.
- 44 INSTALL SINGLE SIDED "STOP" SIGN AND POST (LAWN INSTALLATION) PER DETAIL A5/C-700.
- 45 REMOVE EXISTING SINGLE SIDED ADA SIGN AND POST. INSTALL NEW SINGLE SIDED ADA SIGN ON NEW POST (LAWN INSTALLATION) PER DETAIL A1/CG500.
- 46 REMOVE EXISTING SINGLE SIDED "NO PARKING" SIGN, POST, AND BASE.
- 47 INSTALL "NO LEFT TURN" SIGN ON BACK OF "PICK-UP ORDER" DIRECTIONAL SIGN AND POST PER DETAIL A5/C-700.

1. REFER TO SHEET C-700 FOR SIGNAGE/STRIPING DETAILS
2. ALL PAVEMENT MARKING SHALL BE YELLOW IN COLOR UNLESS NOTED OTHERWISE.

1. ALL SIGNS ALONG FRONT OF THE STORE TO BE ON MOVABLE CONCRETE BASES UNLESS SPECIFIED OTHERWISE.

Know what's below.
Call before you dig.

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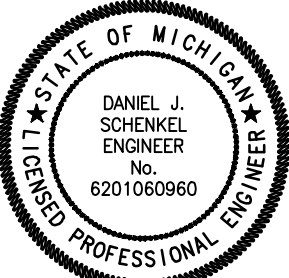


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D. 175



meijer

Store #174 Renovation

MEIJER PROJECT #:
CP-23-00174

550 Hull Road
Mason, MI 48854

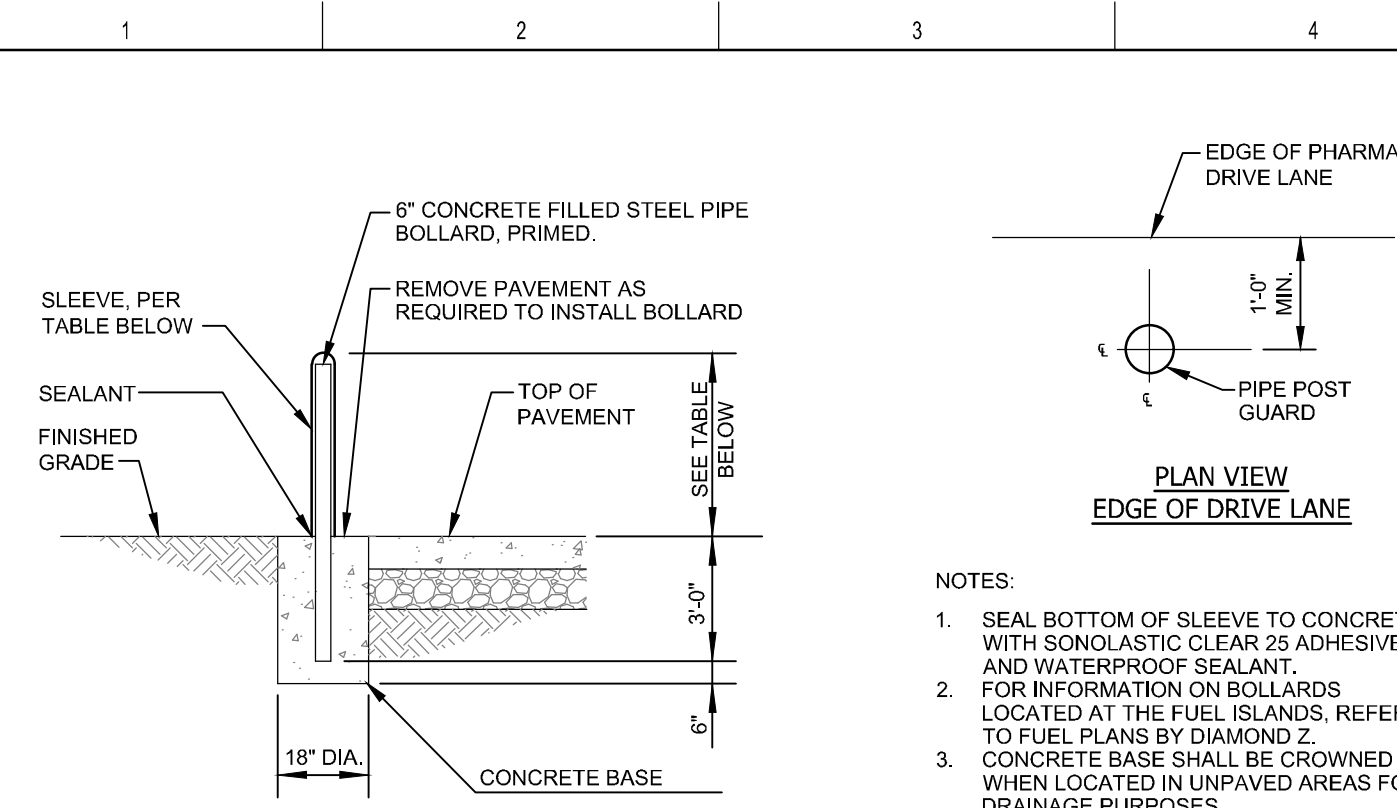
2023 STORE REFRESH

Revisions		
No.	Description	Date

Project No.	Issue Date
001801	09/09/202
Submittal	
Issue for Bids, Permits and Construction	

Site Signage and Striping Plan

C-501



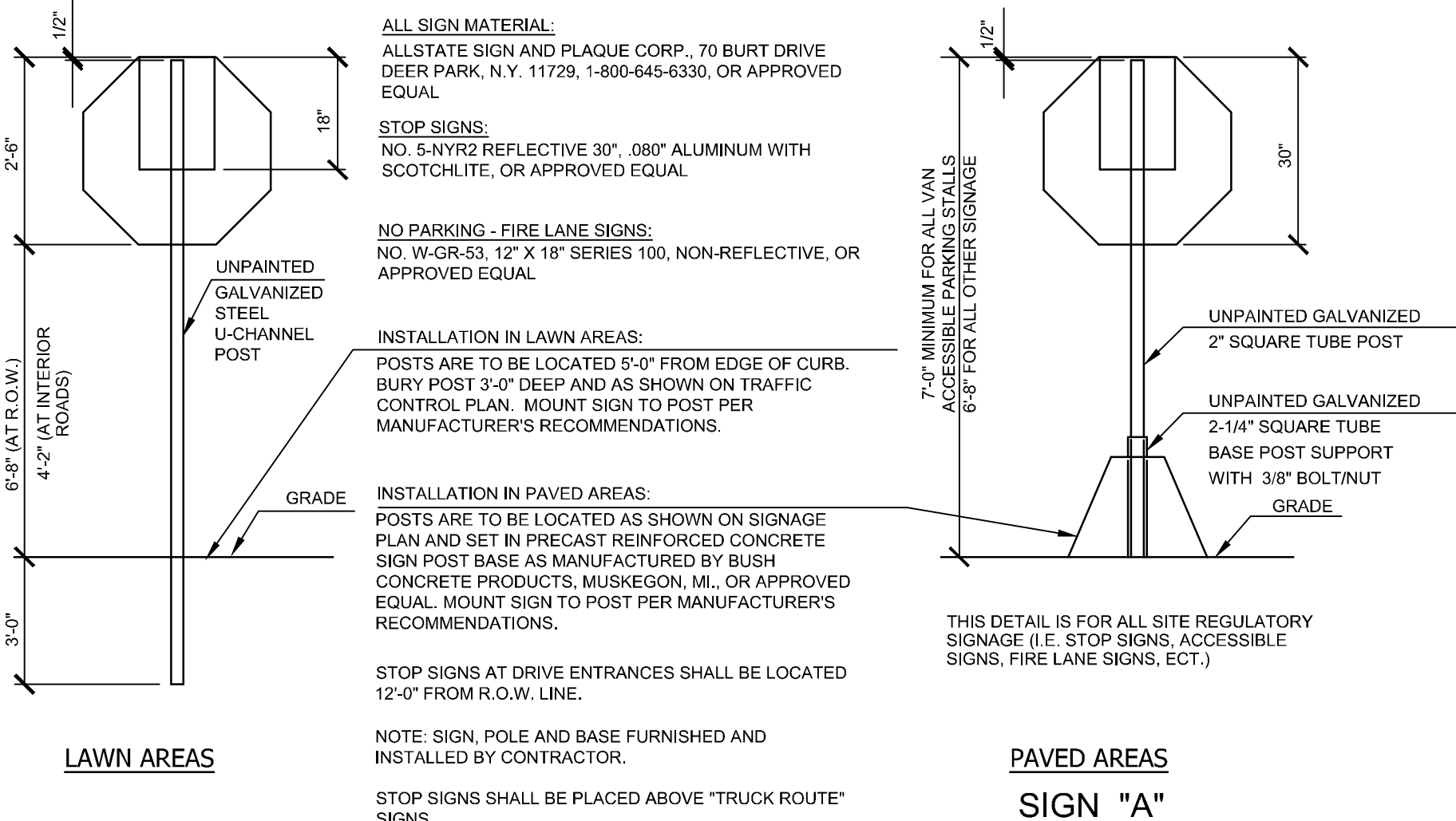
- NOTES:
1. SEAL BOTTOM OF SLEEVE TO CONCRETE WITH SONOLASTIC CLEAR 25 ADHESIVE AND WATERPROOF SEALANT.
 2. FOR INFORMATION ON BOLLARDS LOCATED AT THE FUEL ISLANDS, REFER TO FUEL PLANS BY DIAMOND Z.
 3. CONCRETE BASE SHALL BE CROWNED WHEN LOCATED IN UNPAVED AREAS FOR DRAINAGE PURPOSES.

BOLLARD TYPE*	SLEEVE HEIGHT	SLEEVE SIZE	SLEEVE TYPE	MODEL NO.
GUARD POST	42"	6"	IDEAL SHIELD 1 1/4" DOME TOP, YELLOW APPROVED ALT. MCCUE POST COVER, YELLOW 307	SPD-VL-6-42-S
DECORATIVE	48"	10"	IDEAL SHIELD 10" DECORATIVE RIBBED, GRAY	RBB-GY-10-48-S

* - BOLLARD TYPE AS NOTED ON PLANS

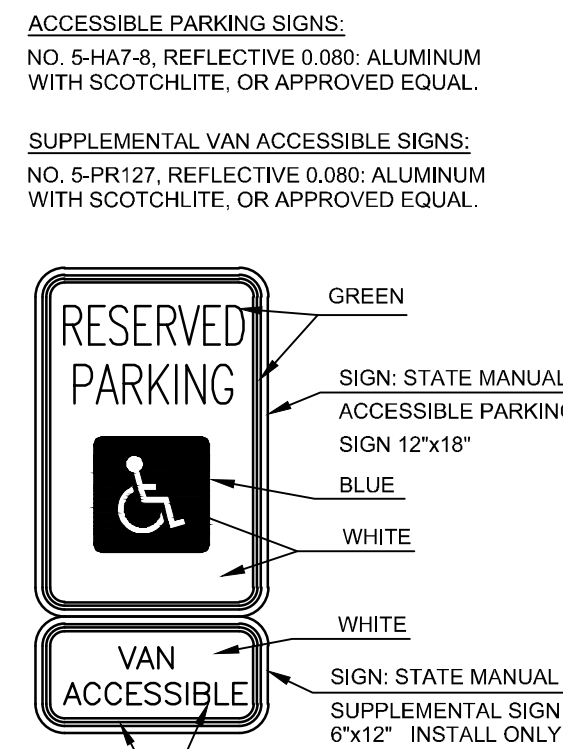
D1 DECORATIVE BOLLARD DETAIL

1/2" = 1'-0"



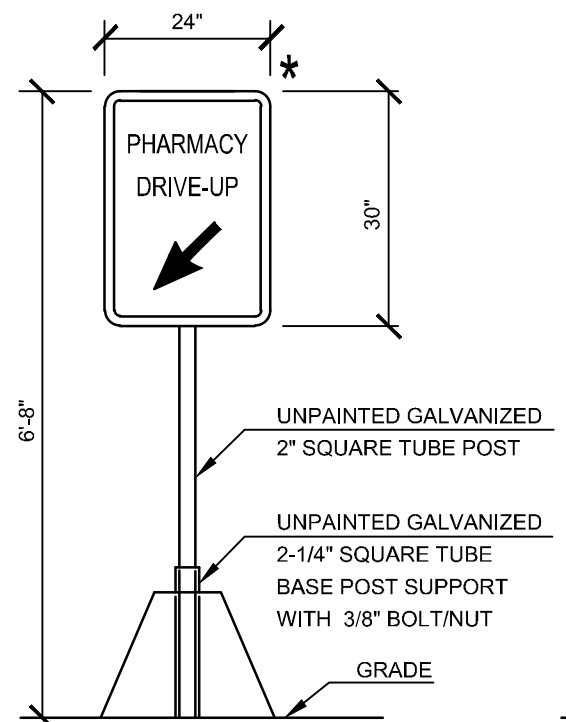
SIGN "A"

(QUANTITY = 10 NEW SIGNS ON 9 NEW POSTS FOR PAVEMENT AREAS AND 5 NEW POSTS FOR LAWN AREAS)



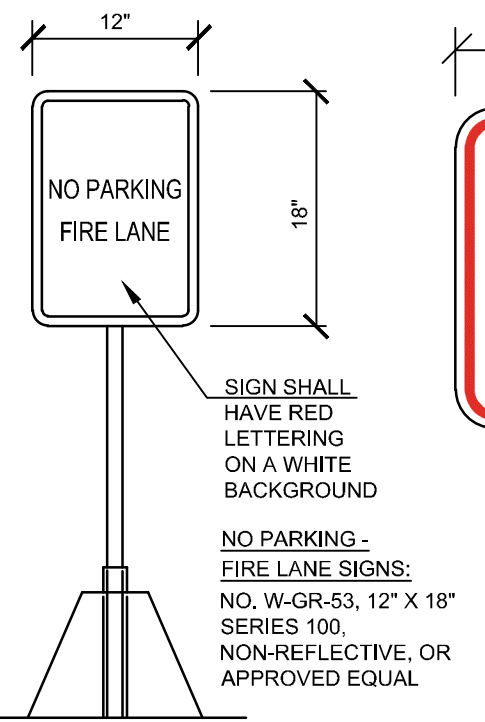
SIGN "B"

(QUANTITY = REUSED EXISTING SIGNS, 3 NEW ADA SIGNS, AND 2 NEW VAN ACCESSIBLE SIGNS ON 11 NEW POSTS FOR PAVEMENT AREAS)



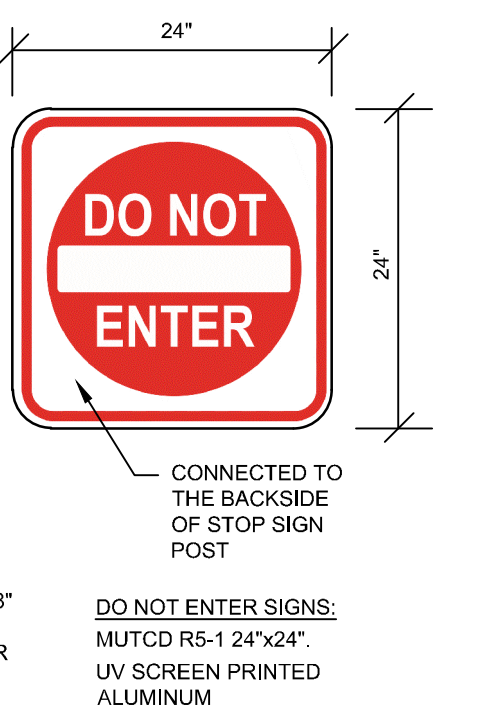
SIGN "C"

(QUANTITY = 1 NEW SIGN ON 1 NEW POST FOR PAVEMENT AREA)



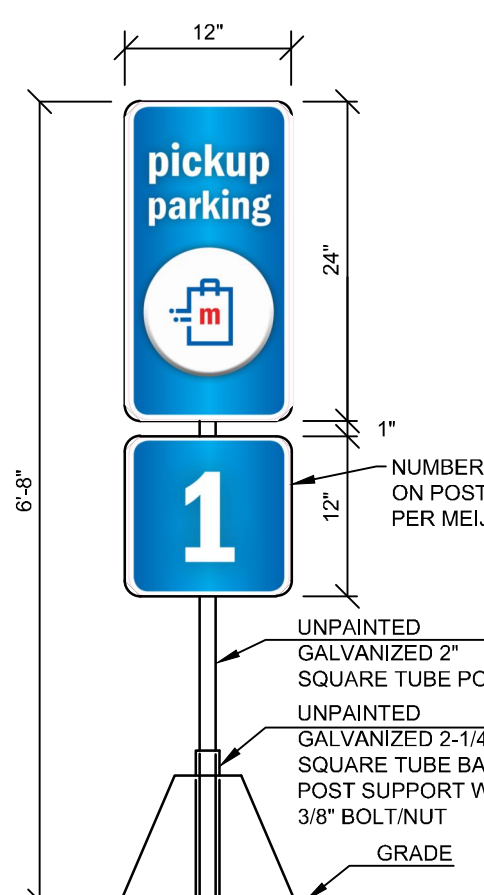
SIGN "D"

(QUANTITY = 16 NEW SIGNS ON 10 NEW POSTS FOR PAVEMENT AREAS 1 NEW POST FOR LAWN AREAS)



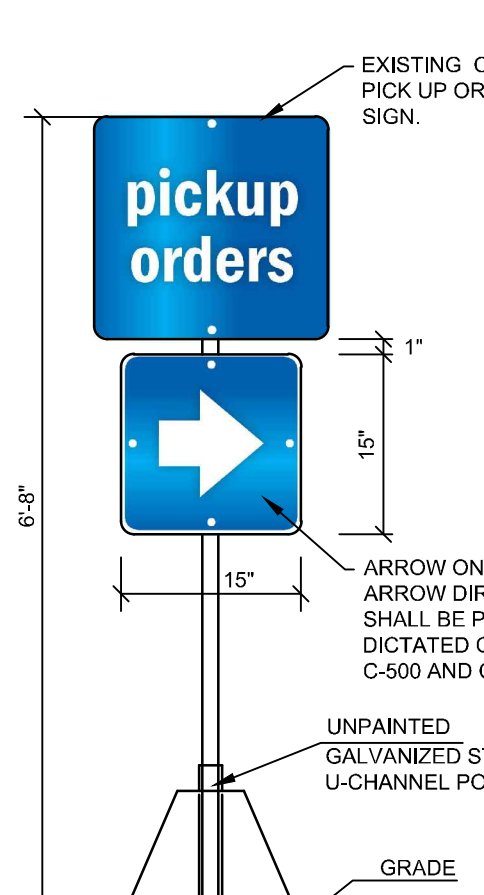
SIGN "E"

(QUANTITY = 2 NEW SIGNS)



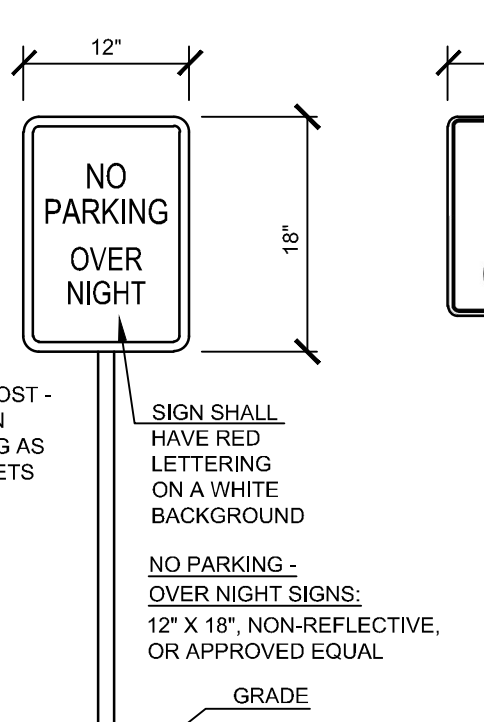
SIGN "F"

(QUANTITY = REUSE EXISTING SIGNS ON 4 NEW POSTS FOR PAVEMENT AREAS)



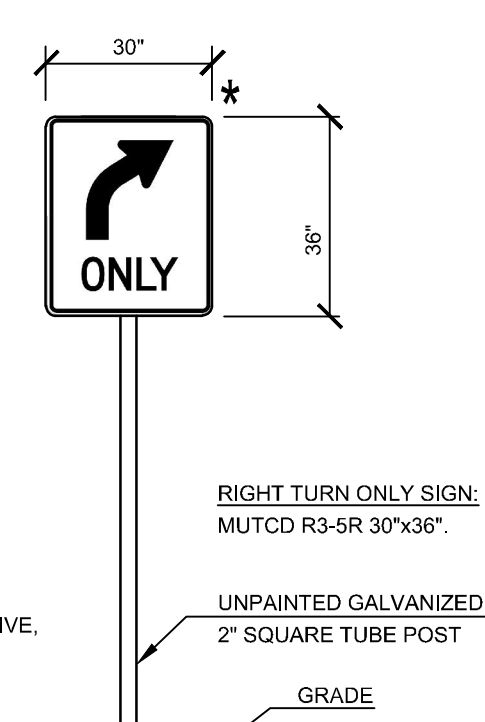
SIGN "G"

(QUANTITY = 5 NEW ARROW SIGNS AND 4 NEW PICKUP ORDER SIGNS ON EXISTING POSTS IN PAVEMENT AREAS AND 4 NEW POSTS FOR LAWN AREAS)



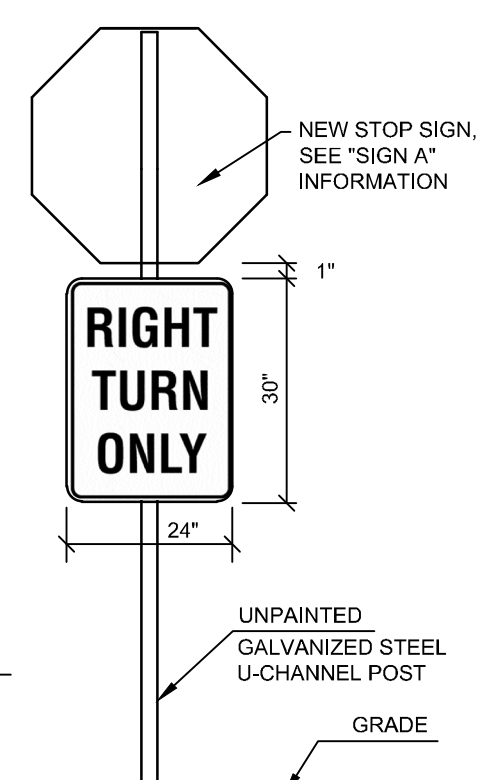
SIGN "H"

(QUANTITY = 2 NEW SIGNS ON 2 NEW POSTS FOR LAWN AREAS)



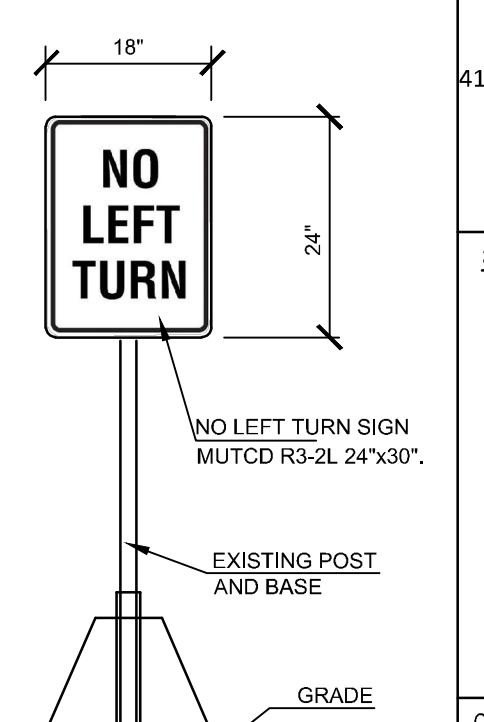
SIGN "I"

(QUANTITY = 1 NEW SIGN ON 1 NEW POST FOR LAWN AREA)



SIGN "J"

(QUANTITY = 1 NEW SIGN ON EXISTING POST FOR LAWN AREA)

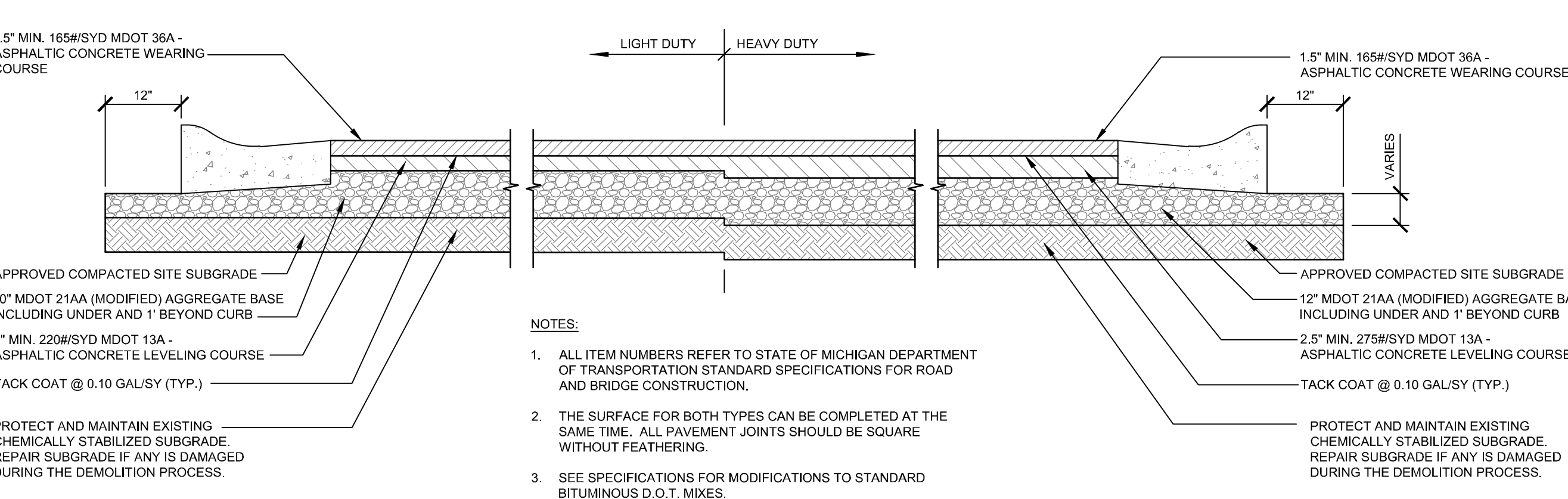


SIGN "K"

(QUANTITY = 1 NEW SIGN ON AN EXISTING POST AND BASE)

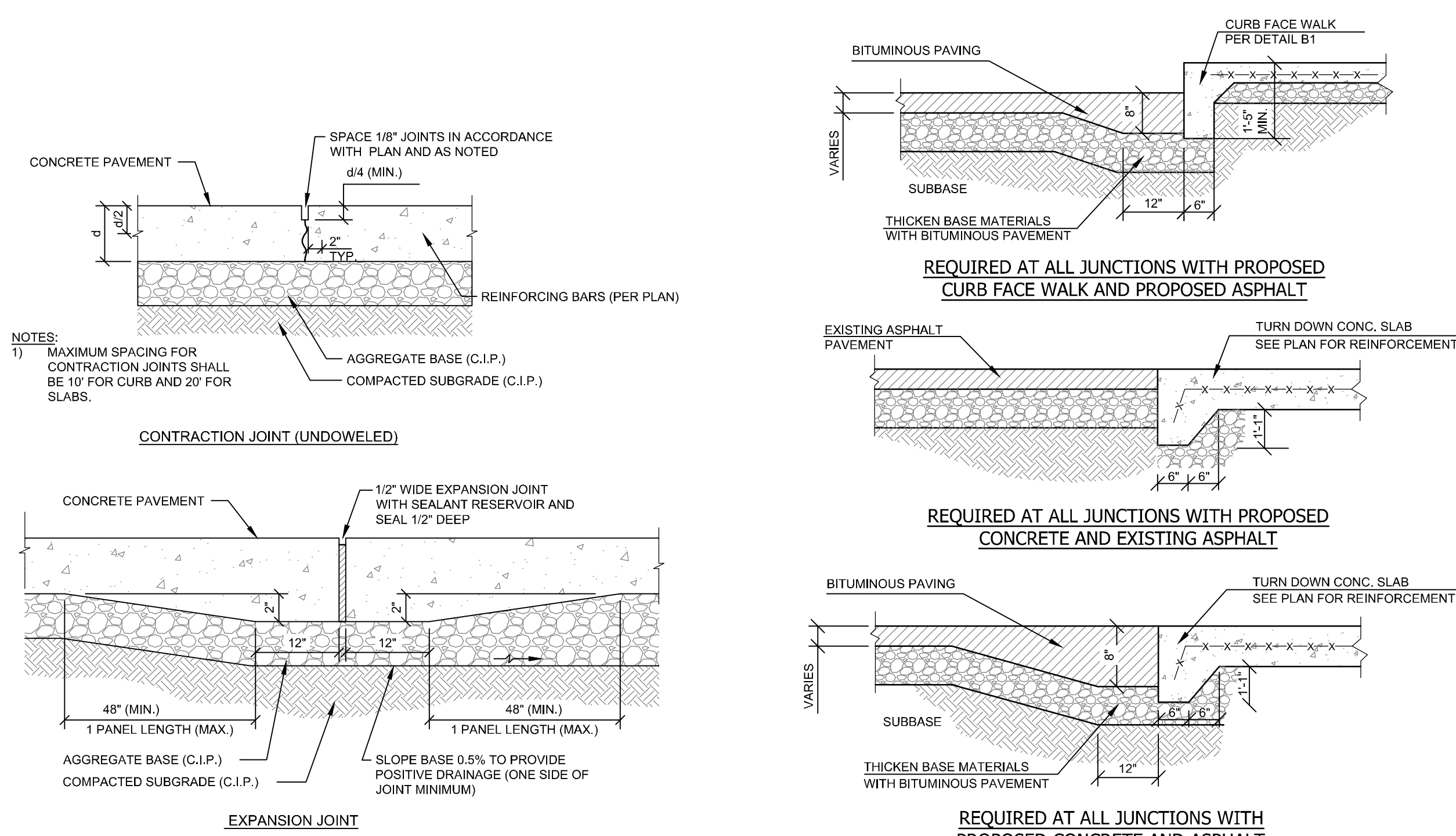
C1 TRAFFIC CONTROL SIGNAGE

NTS



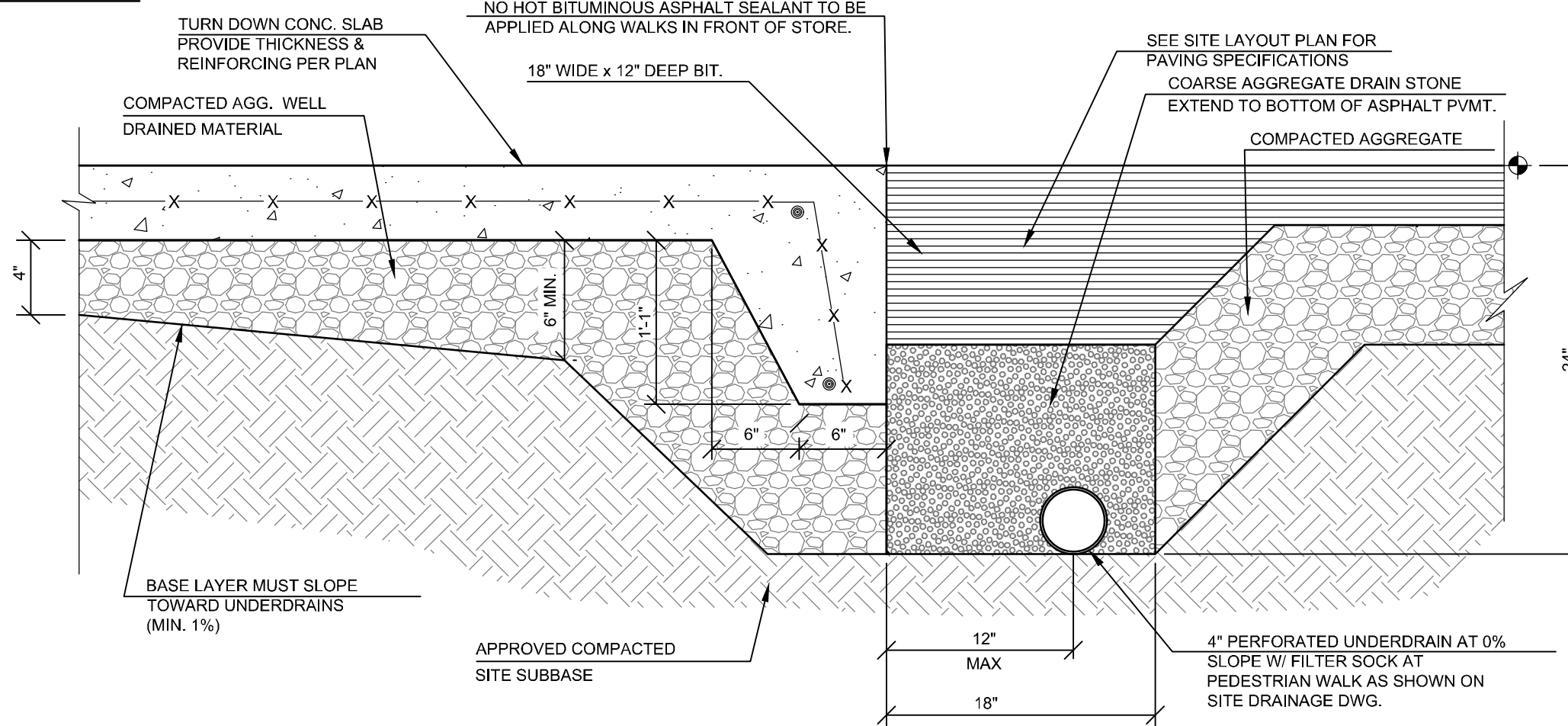
B1 LIGHT DUTY/HEAVY DUTY PAVEMENT SECTION

NTS



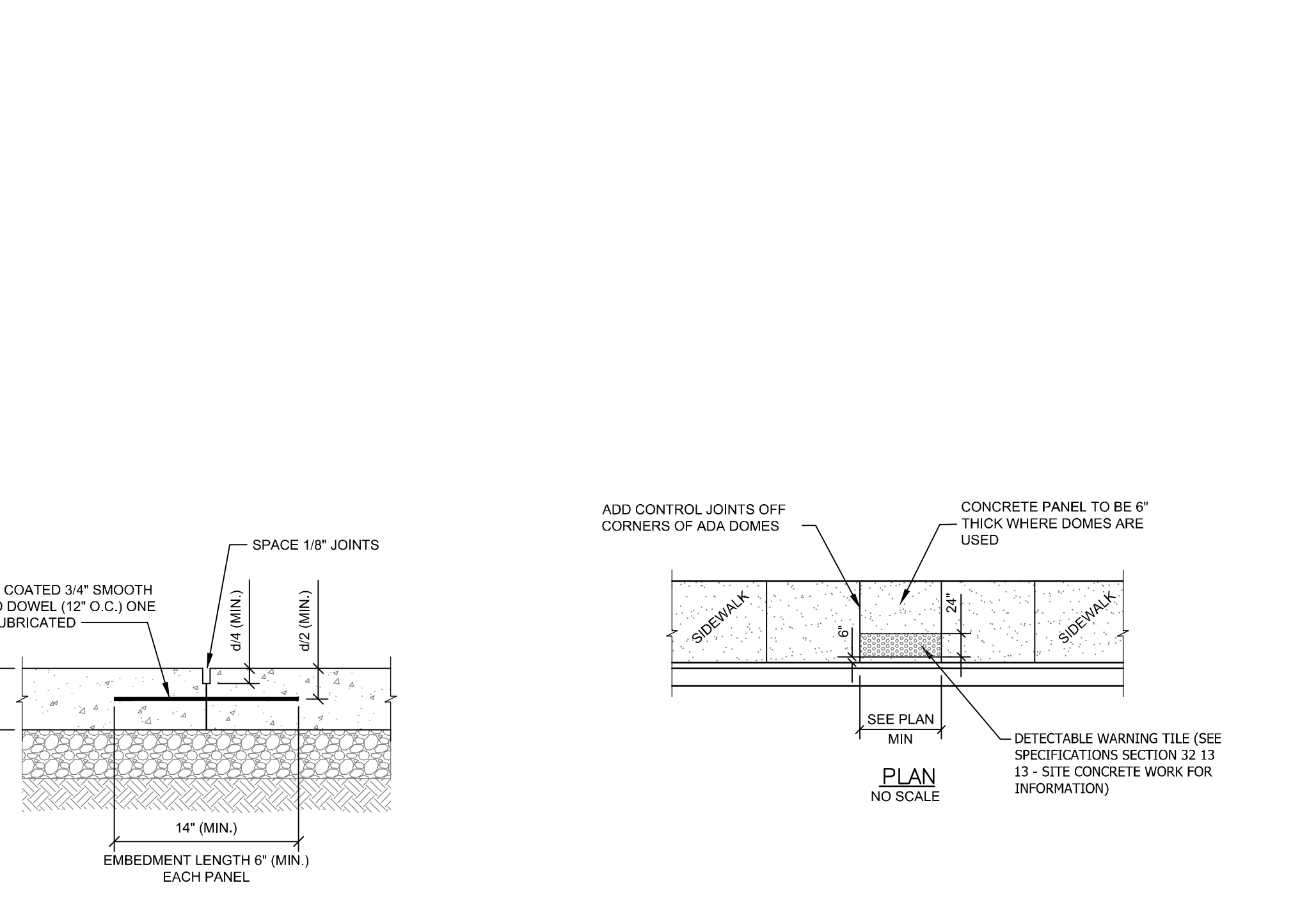
A1 CONCRETE JOINT DETAILS

NTS



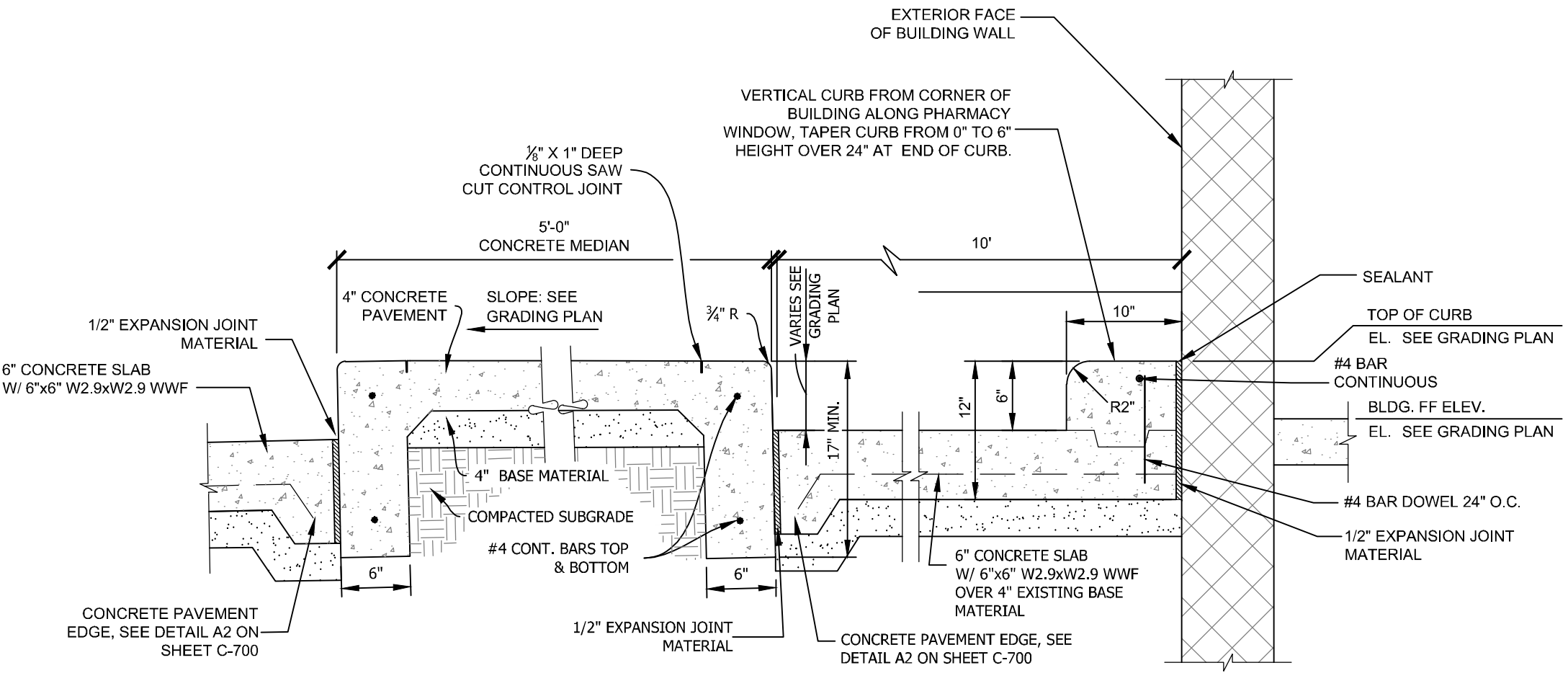
B2 BITUMINOUS PAVEMENT EDGE WITH UNDERDRAIN

NTS



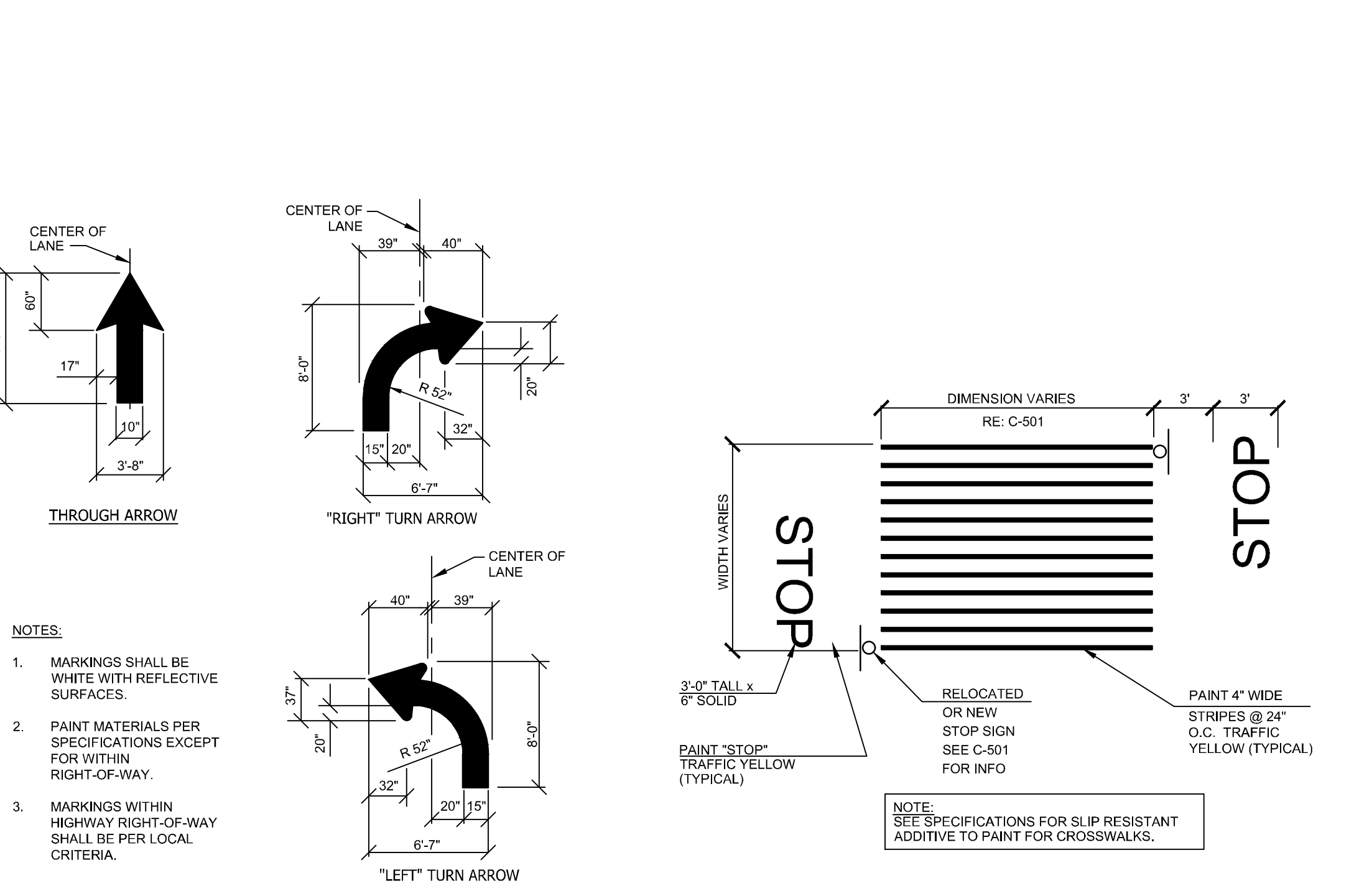
A3 DOWELED BUTT JOINT DETAIL

NTS



B3 PHARMACY DRIVE-UP MEDIAN

NTS

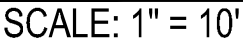


A5 DIRECTIONAL ARROWS

NTS

A6 CROSSWALK STRIPING PLAN

NTS

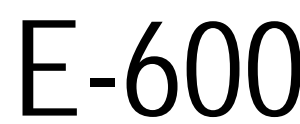


- A. FIXTURE SHALL BE JOB-PACKED AND FULLY ASSEMBLED.
- B. CABLE MOUNTING SYSTEM PROVIDED WITH FIXTURES. EACH 8'-0" SECTION SHOULD HAVE APPROXIMATELY (1) MOUNTING POINT. FIELD VERIFY EXACT REQUIREMENTS.
- C. SPECIFICATION NUMBERS ARE MANUFACTURERS' SERIES NUMBERS ONLY. IT IS THE RESPONSIBILITY OF THE CONTRACTOR TO OBTAIN SUPPLIER TO PROVIDE CATALOG NUMBERS TO MATCH THE FIXTURE DESCRIPTION, COMPLIANCE WITH SPECIFICATIONS AND INSTALLATION REQUIREMENTS.
- D. PROVIDE ALL MOUNTING HARDWARE, BRACKETS, AND FLANGES AS NECESSARY; COORDINATE WITH CEILING TYPES.
- E. ALL FIXTURES SHALL BE DLO OR ENERGY STAR TESTED AND LABELED.

1. NOT USED.
2. PROVIDE TRACK LENGTHS AS INDICATED ON PLANS WITH ALL ACCESSORIES NECESSARY FOR A COMPLETE INSTALLATION. TRACK SHALL BE MOUNTED WITH 3/8" THREADED ROD ATTACHED TO ROOF DECK WITH ERICO CADDY DECK HANGER DOWN TO UNISTRUT WITH THE TRACK MOUNTED TO THE UNISTRUT.
3. POLES AND LED FIXTURE WILL BE FURNISHED BY OWNER AND DELIVERED TO SITE. CONTRACTOR SHALL RECEIVE, UNLOAD, STORE, PROTECT, AND INSTALL.
4. LUMINAIRE BACKLIGHT, UPLIGHT, GLARE (BUG) RATINGS AVAILABLE FROM MANUFACTURER. LUMENS ARE INITIAL DELIVERED LUMENS.



MARK	QTY.	DESCRIPTION	ARIBA PART #	MANUF. / CATALOG NO.	LAMPS	VOLTAGE	REMARKS
Cv1	36	1" COVE LED LINEAR STRIP	VC1	INSIGHT #PCM-7-40K-SM-12"-ACV-DIM-MG	LED, 623 LUMENS, 7W/FT, 4000°K, 82 CRI	277 V	-
Cv2	53	4" COVE LED LINEAR STRIP	VC	INSIGHT #PCM-7-40K-SM-48"-ACV-DIM-MG	LED, 2,496 LUMENS, 7W/FT, 4000°K, 82 CRI	277 V	-
Cv3	2	18" BLACK LEADER (POWER) CABLE. (INCLUDES END OF LINE TERMINATOR)	VCVC1	INSIGHT #POML-100-10V		277 V	FOR USE WITH "CV1" AND/OR "CV2"
Cv4	1	5' BLACK JUMPER CABLE	VCVC1.1	INSIGHT #PCMJ-50-10V		277 V	FOR USE WITH "CV1" AND/OR "CV2"
Cv5	3	1' BLACK JUMPER CABLE	VCVC1.2	INSIGHT #PCMJ-1.0-10V		277 V	FOR USE WITH "CV1" AND/OR "CV2"
D	9	1x4" SURFACE MOUNTED, LED, CURVED SMOOTH LENS	N/A	LITHONIA #BLTX4-40L-ADSM-GZ1-LP840	LED, 4,000 LUMENS, 29W, 4000°K, 82 CRI	120 V	-
D1A	4	4'-0" LINEAR SURFACE MOUNTED FIXTURE	N/A	BROWNLEE #5006+H32LED-40K	LED, 4,119 LUMENS, 32W, 4000°K, 80 CRI	120 V	MOUNT ABOVE MIRROR. LIGHT FIXTURE IS THE SAME TYPE AS 'D1'. BOTH ARE TO BE PROVIDED WITH MULTI-VOLT DRIVERS.
D2	18	1x4" RECESSED MOUNTED, LED, CURVED SMOOTH LENS WITH DRYWALL GRID ADAPTER	N/A	LITHONIA #BLT4-40L-ADSM-GZ1-LP840 W/ DGA14	LED, 4,000 LUMENS, 29W, 4000°K, 82 CRI	277 V	FIXTURE IS REQUIRED TO BE PROVIDED WITH DRYWALL GRID ADAPTER FOR FLUSH MOUNTING
DL2	4	6" RECESSED LED DOWNLIGHT	DL2	CREE #LR6X-24L-40K/R06-27V	LED, 2,400 LUMENS, 28W, 4000°K, 90 CRI	277 V	-
DL2A	5	6" RECESSED LED DOWNLIGHT	DL2	CREE #LR6X-24L-40K/R06-120V	LED, 2,400 LUMENS, 28W, 4000°K, 90 CRI	120 V	LIGHT FIXTURE IS THE SAME TYPE AS 'DL2' EXCEPT PROVIDED WITH 120V DRIVERS.
DL4	4	6" RECESSED LED DOWNLIGHT	DL4	CREE #LR6X-10L-40K/R06-27V	LED, 1,050 LUMENS, 12W, 4000°K, 90 CRI	277 V	-
EX1	1	EXTERIOR WET LOCATION BACK MOUNTED CAST ALUMINUM LED EXIT SIGN	X5	CROUSE-HINDS #UX61BK	N/A	0 V	MOUNT 6" ABOVE DOOR OR WALL OPENING, UNO
EX3	1	CEILING-MOUNTED DOUBLE SIDED POLYCARBONATE PHOTOLUMINESCENT EXIT SIGN, 100 VIEWABLE DISTANCE	X7	JESSUP GLO-BRITE 7092-B	N/A	0 V	-
EX4	2	BACK-MOUNTED SINGLE SIDED POLYCARBONATE PHOTOLUMINESCENT EXIT SIGN, 50 VIEWABLE DISTANCE	X9	JESSUP GLO-BRITE 7090-B	N/A	0 V	MOUNT AT 7'-6" AFF, UNO
EX5	2	CEILING-MOUNTED SINGLE SIDED POLYCARBONATE PHOTOLUMINESCENT EXIT SIGN, 100 VIEWABLE DISTANCE	X10	JESSUP GLO-BRITE 7090-B	N/A	0 V	MOUNT 6" ABOVE DOOR OR WALL OPENING, UNO
SC	1	ARM MOUNT TYPE V DISTRIBUTION LED FIXTURE AND POLE	SC	FIXTURE: LITHONIA #RSX3LED-P4-40K-RE4VOLT-RPA-DW4XHO (ARM/ADAPTER AS REQUIRED) POLE: ALLIANCE COMPOSITE A330VSDS1	LED, 37,797 LUMENS, 370W, 70 CRI	480 V	SEE POLE BASE DETAIL, 30'-0" FIBER GLASS POLE; SEE NOTES 3 & 4
SG1	9	STRING LIGHT LED, 24" LONG SECTIONS	SG2	TUBE LIGHTING PRODUCTS #BPS-30T12"-LEDWW-SK-GL-3D-24"	LED, 15 LUMENS, 10W, 2000°K, 80 CRI	120 V	E.C. TO PROVIDE AIRCRAFT SUPPORT CABLE PER MANUFACTURER INSTALLATION REQUIREMENTS, REFER TO ARCHITECTURAL DRAWINGS FOR MOUNTING HEIGHTS
SG1-TX	2	LOW VOLTAGE LIGHTING TRANSFORMER, 100W, 120/24V, STEEL POWDER COATED NEMA 3R CASE, WITH INTEGRAL CIRCUIT BREAKER	SG2-TX	T-1022-24-1-100W-24V-1-BRRK		120 V	-
SM1	5	LED CANOPY LIGHT, RUGGED CAST ALUMINUM, SILVER FINISH, SURFACE MOUNTED	K7.1	CREE #CPY250-B-DM-F-A-UL-SV-57K-DIM	LED, 7,600 LUMENS, 60W, 5700°K, 80 CRI	277 V	-
SM1-ALT.	20	LED CANOPY LIGHT, RUGGED CAST ALUMINUM, SILVER FINISH, SURFACE MOUNTED	K7.1	CREE #CPY250-B-DM-F-A-UL-SV-57K-DIM	LED, 7,600 LUMENS, 60W, 5700°K, 80 CRI	277 V	-
SM2-ALT.	13	LED CANOPY LIGHT, RUGGED CAST ALUMINUM, SILVER FINISH, SURFACE MOUNTED	K8.1	CREE #CPY250-B-DM-F-B-UL-SV-57K-DIM	LED, 13,000 LUMENS, 140W, 5700°K, 80 CRI	277 V	-
ST1	35	4'-0" LINEAR SUSPENDED FIXTURE, 7% UPLIGHT	C4	GE #93040707 LISC4B052D9P40VOC5WHTAEA	LED, 5,200 LUMENS, 58W, 4000°K, 83 CRI	277 V	MOUNT AT 15' A.F.F. FIXTURE SHALL INCLUDE HANGING KITS & STARTER KIT
ST2	1019	8'-0" LINEAR SUSPENDED FIXTURE, 7% UPLIGHT	C8	GE #93040708 LISC8B0A0D9P40VOC5WHTAEA	LED, 10,400 LUMENS, 84W, 4000°K, 83 CRI	277 V	MOUNT AT 15' A.F.F. FIXTURE SHALL INCLUDE HANGING KITS & STARTER KIT
ST3	7	FOR "ST1" & "ST2" FIXTURES STARTER KITS - SETS OF 10	93081245	GE #93081245 RK-LIS-A-SK-XX-10-BLCK-XX		0 V	STARTER KITS INCLUDE END CAPS
ST5	9	8'-0" LINEAR SUSPENDED FIXTURE	D8	GE #93109381 LUS18A0A2V1840VOC5BLCK	LED, 12,500 LUMENS, 84W, 4000°K, 83 CRI	277 V	MOUNT AT 15' A.F.F. FIXTURE SHALL INCLUDE HANGING KITS & STARTER KIT
ST6	500	SUSPENDED HANGER KITS FOR LINEAR LIGHTS	C7	GE #9303285		0 V	-
ST7	5	COOLER/FREEZER LIGHT	2V73	METALUX #2V73-LD5-3-W-UNV-L840-CD-1-U	LED, 3,000 LUMENS, 25W, 4000°K, 80 CRI	277 V	SURFACE MOUNTED
ST8	1	COOLER/FREEZER LIGHT WITH MOTION SENSOR	2V73.2	METALUX #2V73-LD5-3-W-UNV-L840-CD-1-MSWL20-U	LED, 3,000 LUMENS, 25W, 4000°K, 80 CRI	277 V	SURFACE MOUNTED
ST8.1	1	MOTION SENSOR	2V73-SENSOR	METALUX #MSWL20-U		0 V	-
TK1	438	TRACK MOUNTED MEDIUM FLOOD ACCENT LIGHTS, WHITE WITH JUNO 120V TRACK ADAPTER	G1.2 WHITE	GE #93041630 LHSID41-23-NF-930-PQ-J1-WHITE	LED, 2,300 LUMENS, 31W, 3000°K, 90 CRI	120 V	MOUNT TRACK AT HEIGHT INDICATED ON PLANS; NOTE 2
TK4	17	4'-0" TRACK, WHITE (J30 END CAP PROVIDED WITH TRACK), J38 END FEEDS AND J22 MINI CONNECTORS	93051621	GE: 93051621 (J1 JUNO 1-CIRCUIT 4FT TRACK SECTION)	N/A	120 V	NOTE 2
TK5	135	8'-0" TRACK, WHITE (J30 END CAP PROVIDED WITH TRACK), J38 END FEEDS AND J22 MINI CONNECTORS	93051739	GE: 93051739 (J1 JUNO 1-CIRCUIT 8FT TRACK SECTION)	N/A	120 V	NOTE 2
TK6	119	WHITE MINI 1 CONNECTOR, LOW PROFILE	93051747	JUNO #93051747 (J22 MINI 1 CONNECTOR)		0 V	FOR USE WITH 4" OR 8" TRACK
TK7	35	WHITE END POWER FEED	93051800				





PAINT: SW 7018
DOVETAIL

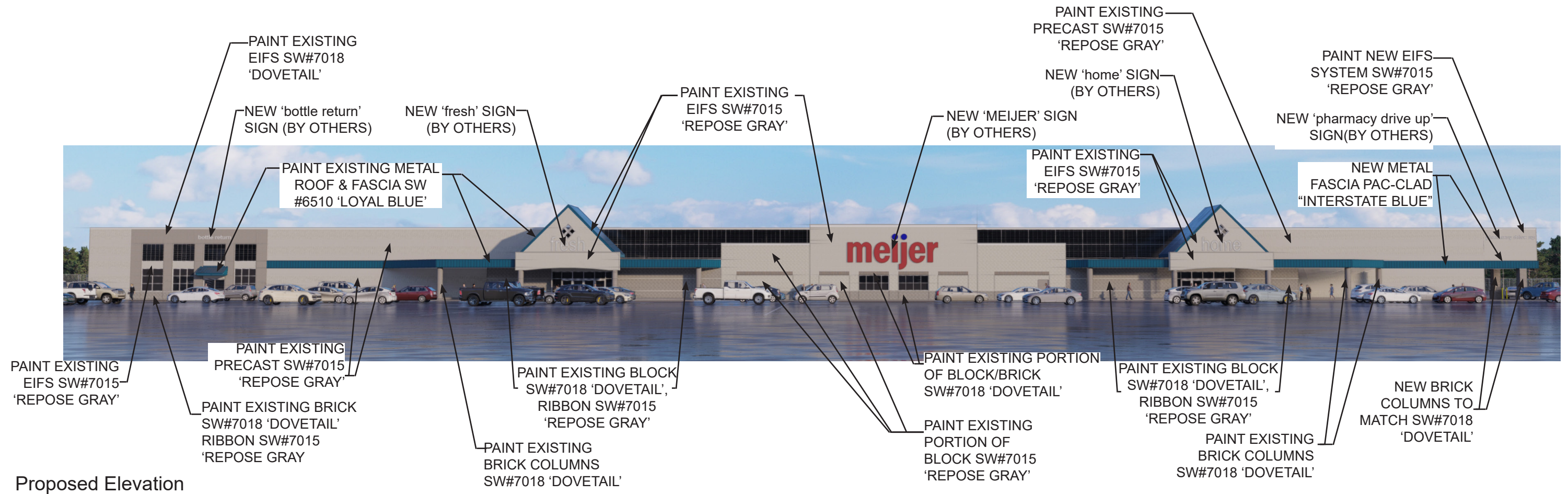


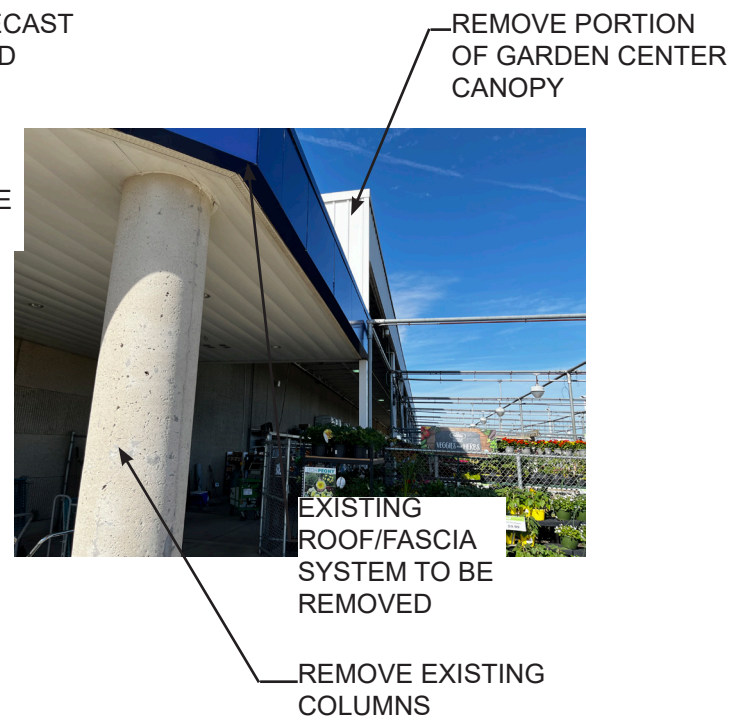
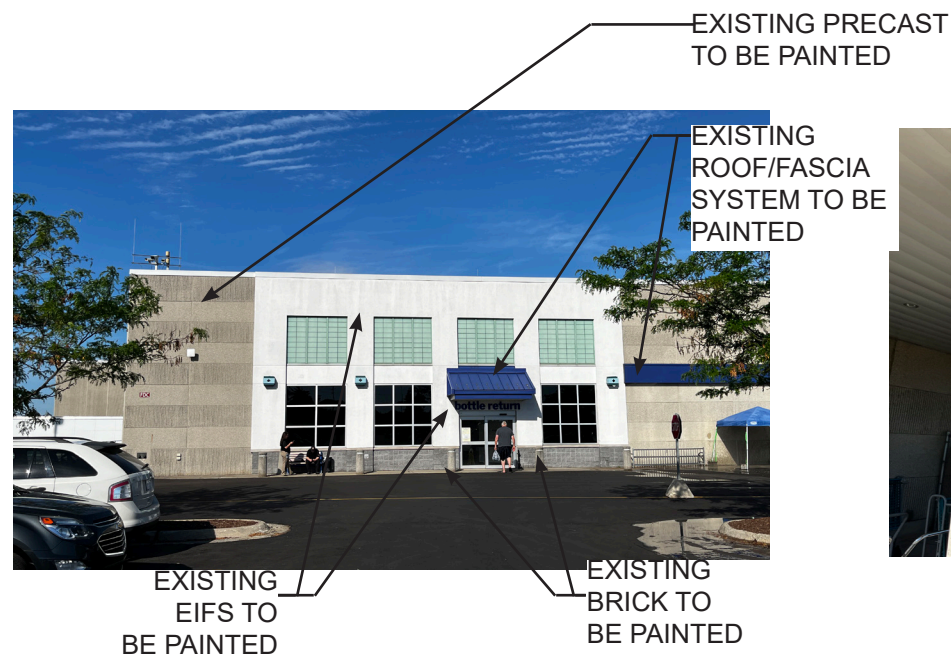
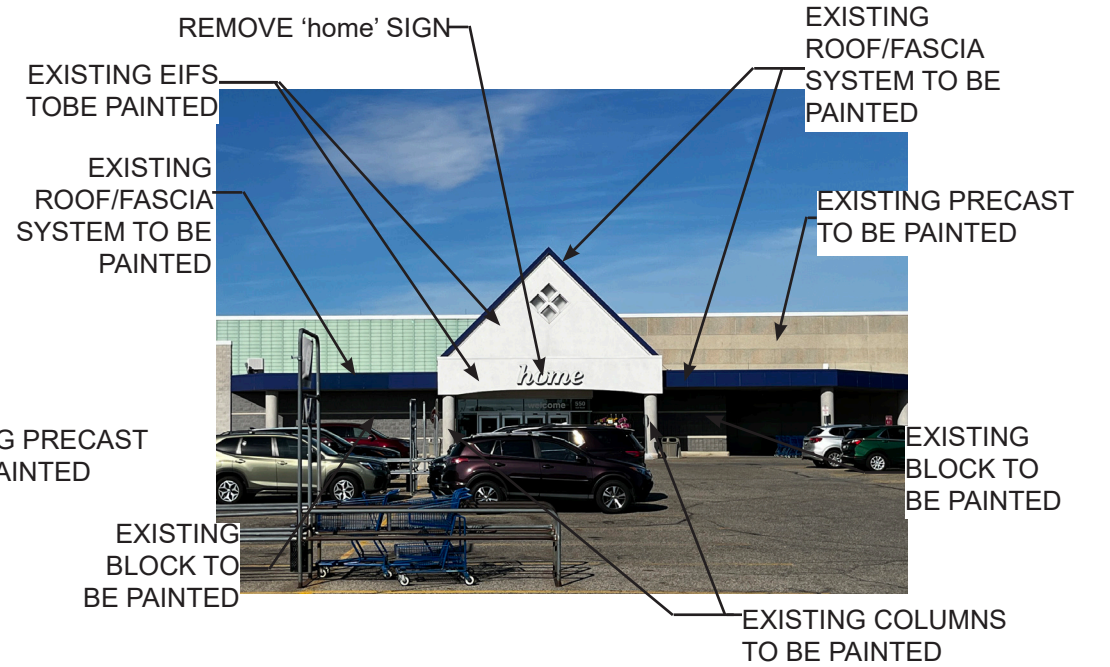
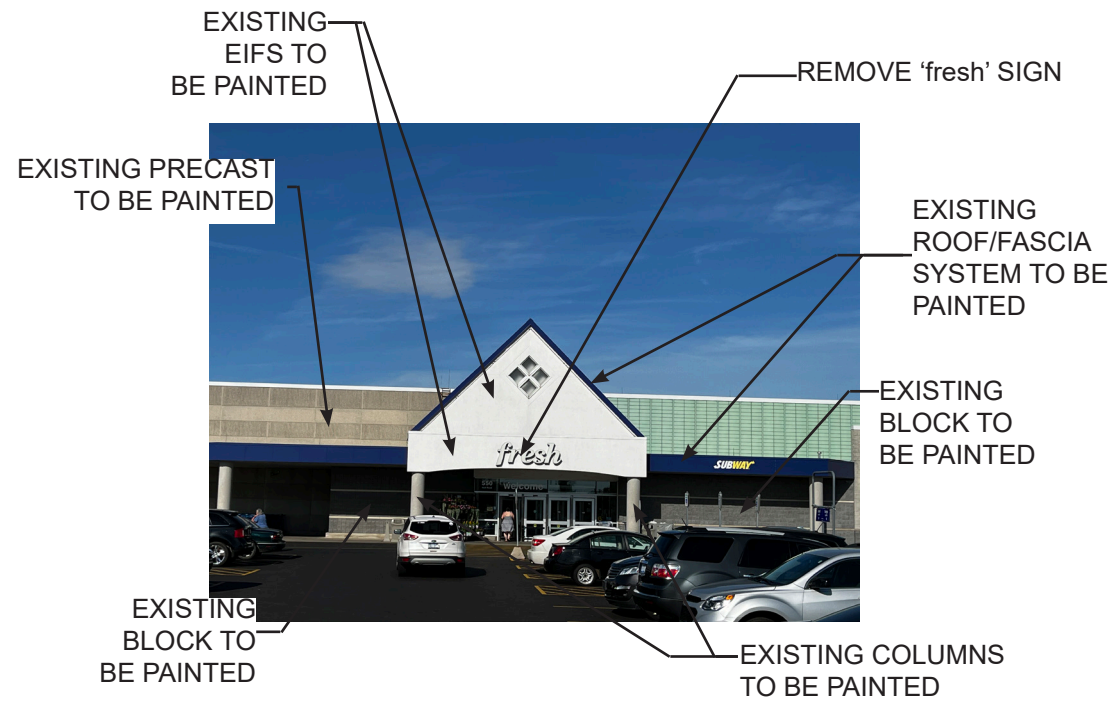
PAINT: SW 7015
REPOSE GRAY



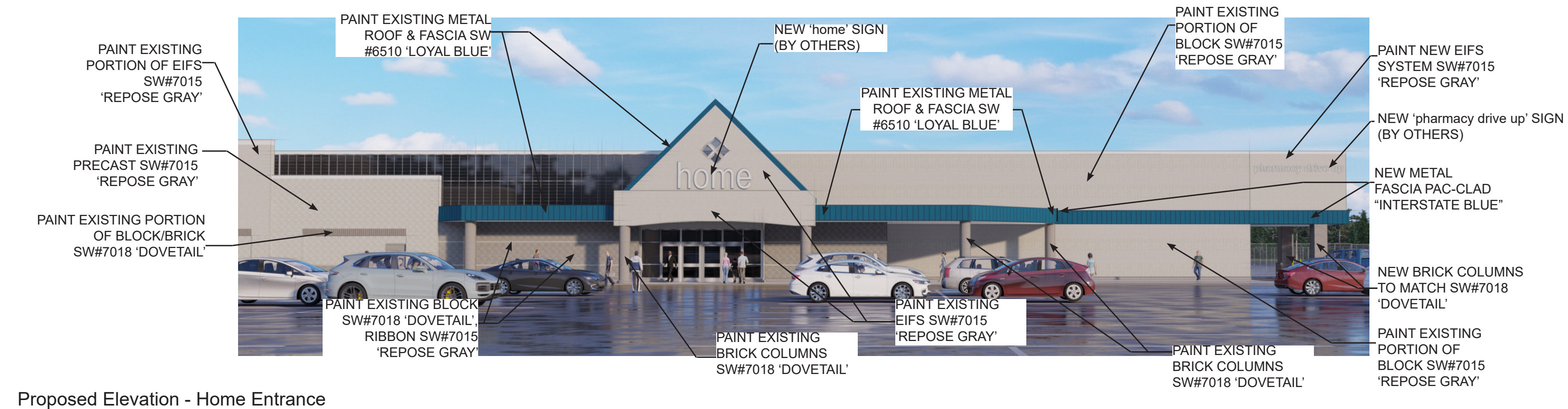
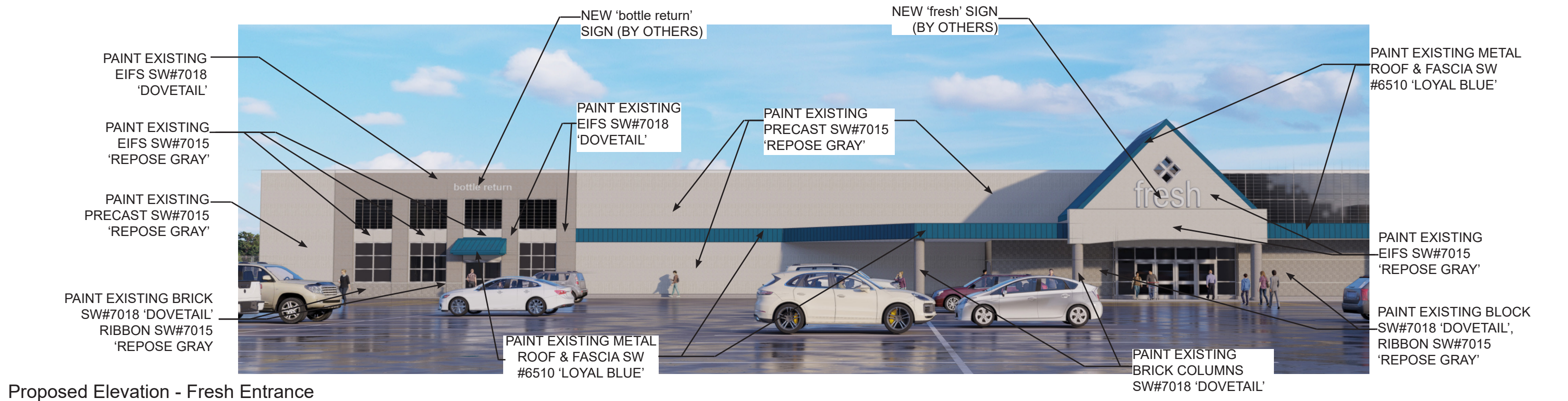
FASCIA PANEL: PACCLAD
INTERSTATE BLUE.
PAINT COLOR MATCH:
SW#6510 LOYAL BLUE

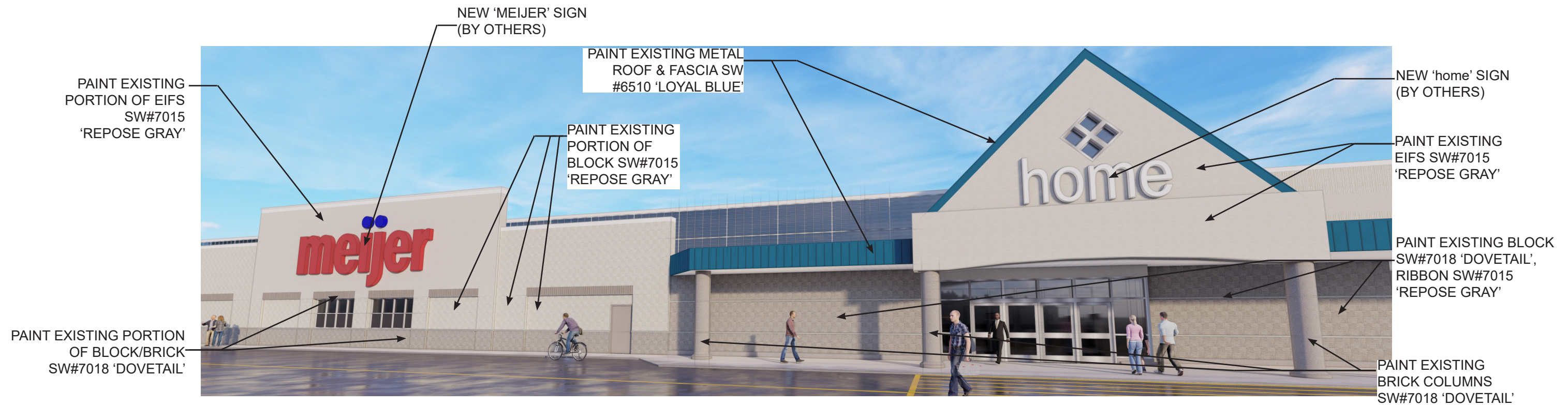
New Exterior Color Palette



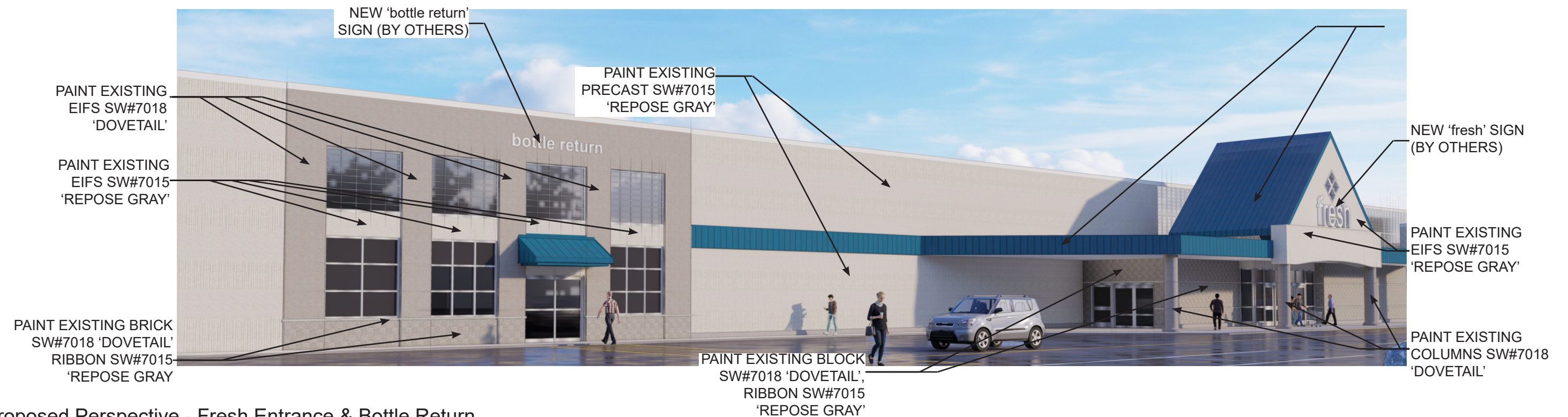


Existing Conditions Images

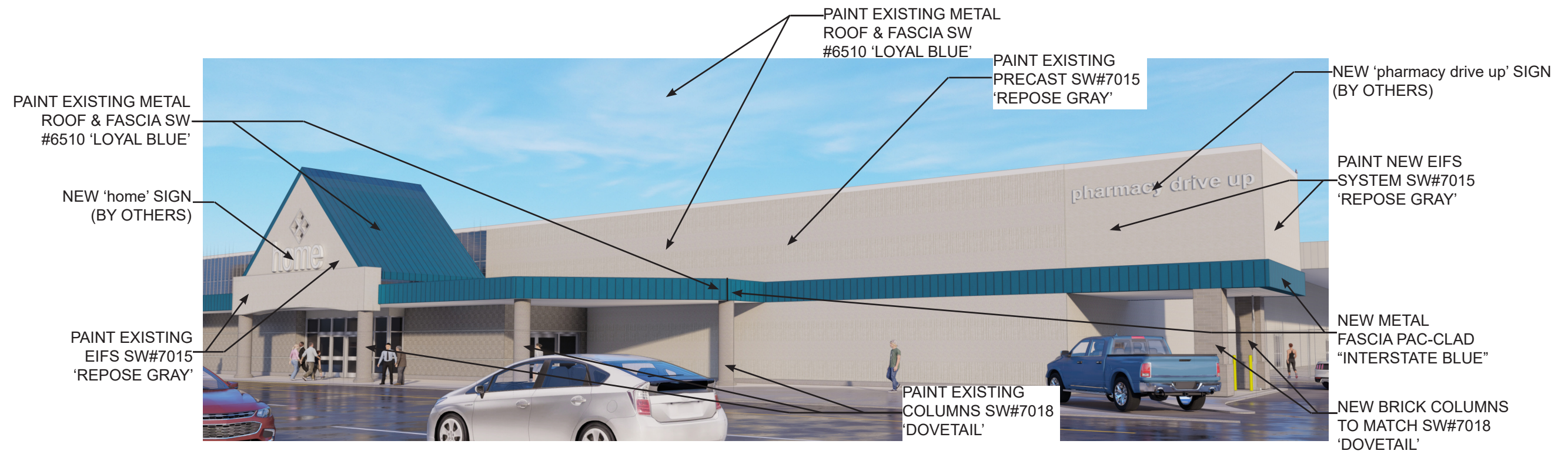




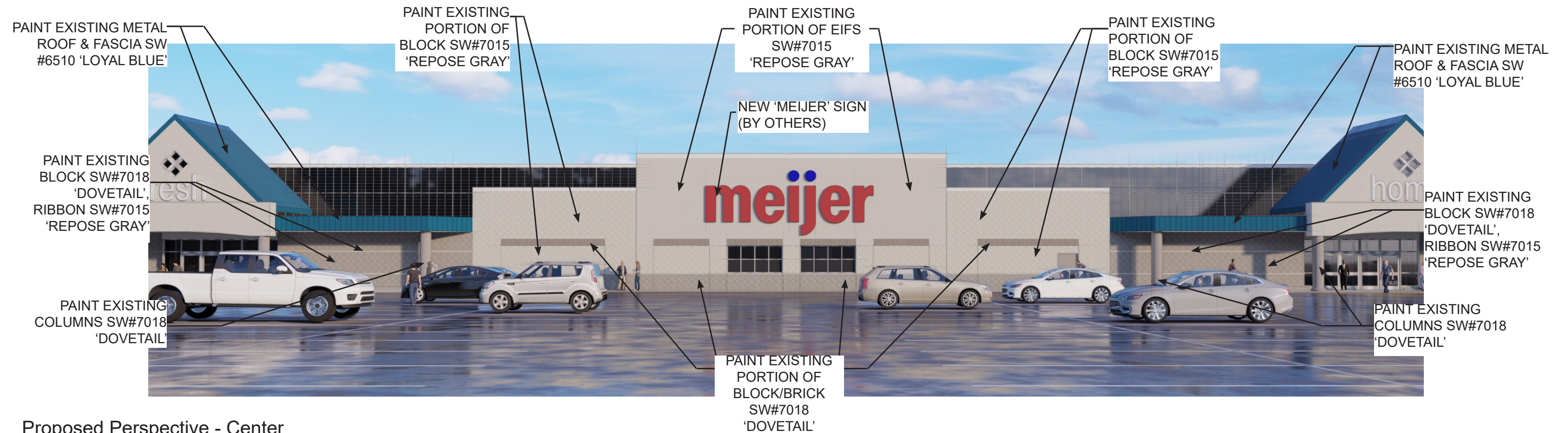
Proposed Perspective - Home Entrance and Center



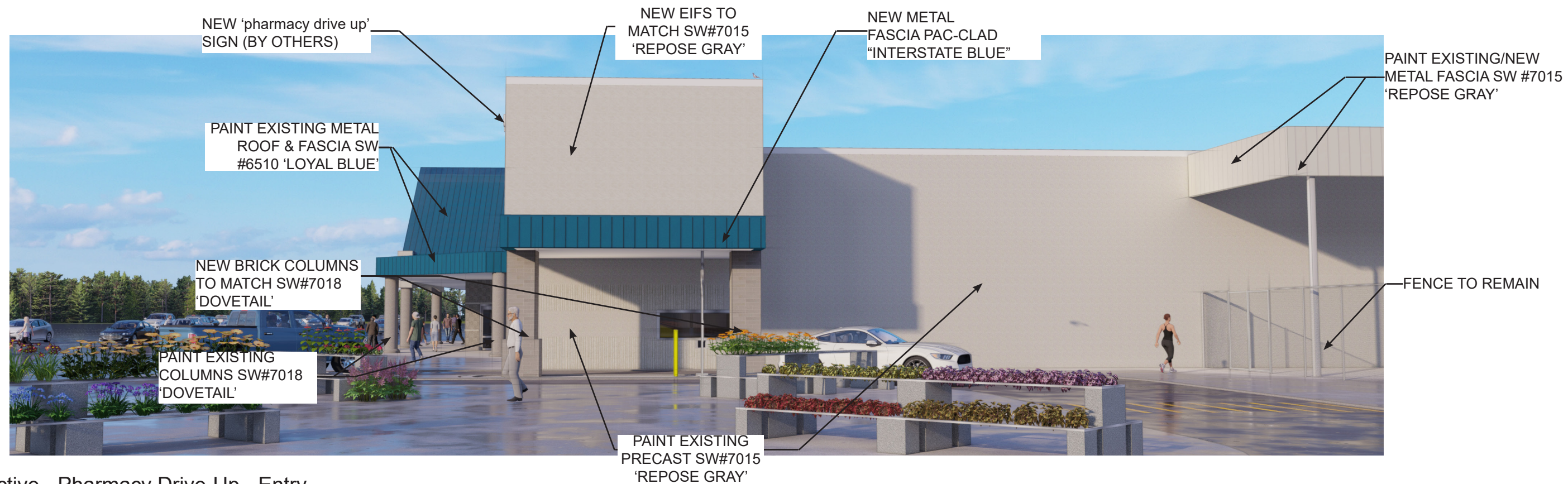
Proposed Perspective - Fresh Entrance & Bottle Return



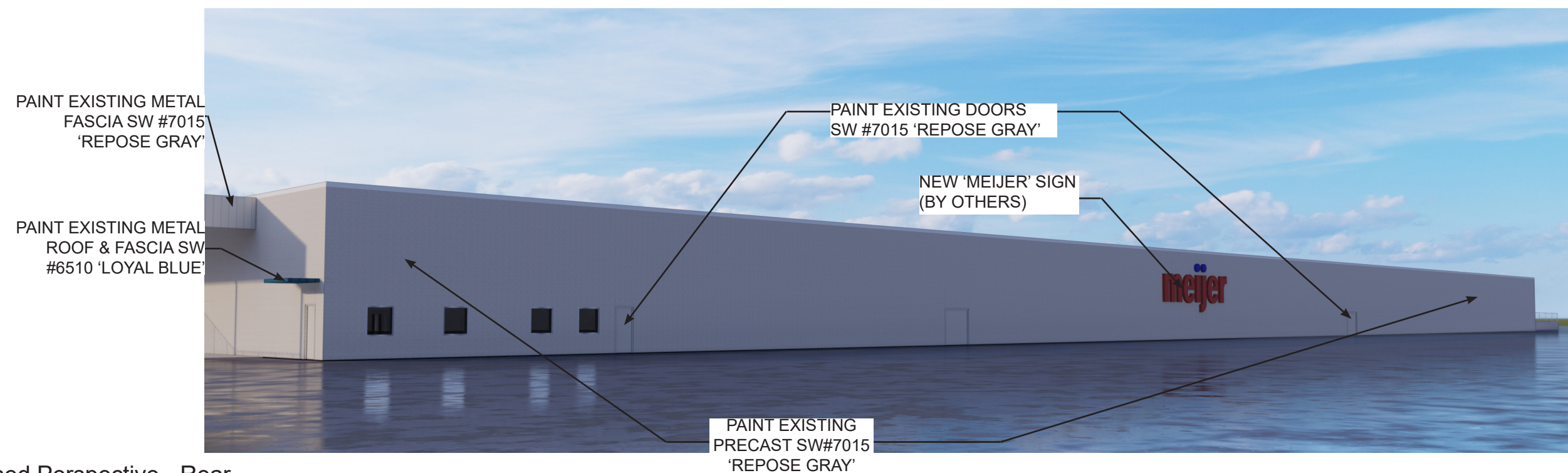
Proposed Perspective - Home Entrance & Pharmacy Drive-Up



Proposed Perspective - Center



Proposed Perspective - Pharmacy Drive-Up - Entry



Proposed Perspective - Rear



City Manager's Report: November 4, 2022

IMPORTANT DATES:

- **Tuesday, November 15, 2022, 6:30 p.m.** Planning Commission Public Hearing - as part of the request from Meijer who is seeking an amendment to their Special Use Permit with concurrent Preliminary and Final Site Plan Approval to renovate and relocate the existing Meijer Pharmacy drop-off lane to the front portion of the existing garden center. The garden center will be reduced in size and outdoor storage will be in the center portion of the new pharmacy drive-up area.
- **Tuesday, November 15, 2022, 7:30 pm** City Council and Planning Commission Joint Master Plan Meeting.

OPERATIONS

- **Water Main Break:** October 23, 2022 a 12" water main broke at the intersection of Stag Thicket Lane and Hunting Meadows Drive. The water main had a hole approximately 2 ½" in diameter and was allowing massive amounts water to escape into the ground and onto the roadway. Several water distribution system valves had to be isolated to reduce the water pressure in the broken water main.
 - **Impacted Areas:** Hunting Meadows Subdivision, the Summerwood Subdivision, the Coventry Subdivision, Sycamore Village, and West South Street from Northbrook Street.
 - **Impacted Use:** Staff issued a boil water notice to impacted residents due to the loss of water pressure. The city posted updates throughout the night on social media and the website. Staff also hand delivered the notice to all impacted residents after 7am. In the following days, two sets of 3 coliform samples were taken 24 hours apart and submitted to the EGLE drinking water laboratory. All six samples were reported as "Not Detected for Coliform". On the afternoon of October 26, the boil water notice was lifted.
 - **One- City Recognition:** Multiple staff worked through the night in difficult conditions to repair and contain the watermain break. Special thanks to Kirk Crawford, Levi Rice, and their respective teams for repairing the issue and limiting impact; Sam Bibler and his team for monitoring water levels; Chief Wrigglesworth and his team for assisting in delivering boil water notices, so other staff could be relieved.
- **Training:**
 - Active Violence Incident (AVI) training at Sparrow Hospital St. Lawrence Campus: Officers Croley, Demo
 - Scenario-based training (SIMS) at the Wilson Talent Center training house: All police staff
 - Disney Institute, Customer Service Training: Jacqui Johnson, Kortney Miller, Jennifer Rapson
 - MISS DIGG Training: Mike Parisian, Matt Johnson, Shawn O'Berry, Dillion Allen
- **Community Engagement:** No Shave November Fundraiser- Police Staff have taken the initiative and requested to raise funds for the Mason Food Bank during the Holiday Season, 11/1-12/31/2022.
- **Equipment Changes:** Officer Adam Croley is the first officer to be outfitted with his own outer carrier vest that allows for equipment to be taken off the gun belt. This helps decrease injuries associated with long-term wearing of gun belts and inner vests.
- **Staffing Updates:** Current Open Positions (4)
 - NEW HIRES: Jordan Cook was hired as a Full-Time Laborer effective November 1, 2022
 - APPLICANTS: Full-Time Laborer (2) – Offers made, accepted; pre-employment screenings are taking place.
 - OPEN, EXTERNALLY:
 - Full-Time Police Officer (1) – Closes on November 17, 2022
 - Seasonal Part-time Crossing Guard (1) - Open until filled.
 - The TPOAM Union Contract has been fully executed. All employees with the union are aware of their current level and the steps to achieve the next level with have been evaluated with the following results:
 - 5- Qualified Candidates
 - 7- Level 2
 - 8- Level 1
 - 0- Level 3

LARGE CITY PROJECTS

FY 2021-2022			
Project	Project Name/Description	Status	Completed
UTILITIES: SANITARY SEWER, STORM WATER, AND WATER DISTRIBUTION (U)			
2019-U3a	Wastewater Treatment Plant – Design	In Process, anticipated completion 2023.	
	<p>HRC has been conducting flow monitoring per EGLEs request as part of the project and have narrowed down an issue to allow us to find an open manhole in the flood plain that we believe was damaged for unknown reasons. We are working EGLE to determine if this will reduce the size of the equalization tank needed. Staff met with the EPA this week regarding the requirements for the federal appropriation. HRC is currently within their contract amount, but these additional requirements and flow monitoring may ultimately require a change order to the contract depending on how the remainder of the project progresses.</p> <p>Staff anticipates presenting to Council in December an update with current finding, status of design, and funding requirements with the consultant.</p> <p>Staff met last week with the rate consultants and anticipate presenting to Council in January a recommendation related to rate increases for July 2023.</p>		
2021-U1	WTP- High-Pressure Pump VFD	Supply Chain Issues: anticipated January 2023	
PARKS/ CEMETERY/ FORESTRY/ NONMOTORIZED (P)			
2017-P8	Laylin Park - Phase II	Consumers have notified us that due to supply chain issues, they will not complete the work until after the first of the year.	
2020-P6, P8, P12, P13, P14	Plan/ Design-Rayner Park, Lee Austin Park, Bond Park, Griffin Park, Hayes Park	In progress, staff is doing final design review and making updates based on internal feedback. Anticipate recommendation to Council in January.	
BUILDING, PROPERTY, EQUIPMENT (B)			
2018-B23	Planning: Master Plan/Zoning Update	Staff will present the draft Master Plan to City Council and Planning Commission at a joint meeting on November 15, 2022 at 7:30 pm.	

FY 2022-2023			
Project	Project Name/Description	Status	Completed
STREETS, SIDEWALKS, SIGNALS(S)			
2017-S15/ 2017-U28	S. Barnes Street – Ash to Kipp	Complete except for final signage and final walk through.	
2019-S1	Walnut Ct. – Columbia to Ash	Moved to Next FY by Council Action	MOVED
UTILITIES: SANITARY SEWER, STORM WATER, AND WATER DISTRIBUTION (U)			
2018-U39	Well No. 9 (Temple St.) Rebuild	Well No. 8 has become a higher priority, staff evaluating a change in well rebuild.	
2022-U1	Headworks Huber Screen	Anticipated 2 nd quarter of FY 22-23	
PARKS/ CEMETERY/ FORESTRY/ NONMOTORIZED (P)			
2020-P3	Hayhoe Riverwalk Trail – Eval. & Repair	Anticipate Bidding 3 rd quarter of FY 22-23	
2020-P11	Rayner Park- Phase 1 Construction	Anticipate Bidding 3 rd quarter of FY 22-23	
2020-P1	Columbia Bridge: Non-Motorized Connect	Anticipate Bidding 3 rd quarter of FY 22-23	
2020-P15	Jefferson Trailhead/ CommGarden	Anticipate Bidding 3 rd quarter of FY 22-23	
2020-P17	Non-motorized Program: Southeast Quadrant of the City	Anticipate Bidding 3 rd quarter of FY 22-23	
2020-P1	Maple Grove Cemetery: Columbarium (3)	Anticipate Bidding 3 rd quarter of FY 22-23	

MOTOR VEHICLE POOL (MVP)				
2017-MVP22	Vehicle No. 83	Police	On order; anticipated arrival late spring	
2017-MVP18a	Vehicle No. 24	Dump/Plow Truck	Council approved; ordering in process	
2022-MVP1		Concrete Grinder	Completed	September
2022-MVP2	Trailer No. 53	Public Works	Completed	October
2022-MVP3	Trailer No. 55	Public Works	Completed	September
2022-MVP4	Mower Attach No. 39	Public Works	Completed	September
BUILDING, PROPERTY, EQUIPMENT (B)				
2018-B14	Fire: Rehab 815 Replacement		Anticipate 2 nd quarter of FY 22-23	
2020-B4a	DPW: Facility Design		Anticipate Bidding 3 rd quarter of FY 22-23	
2017-B5b	Building: Library Phase 1, Part 1		Staff met with CADL, proposing adjusting plans to reduce project, plan to meet with architect and contractor to get updated costs and recommendation to Council.	
2017-B10	Fire: Furnace/AC, Office & Training Area		Anticipate 3 rd quarter of FY 22-23	
2018-B15	Fire: Sprinkler System in Truck Bay		Anticipate 3 rd quarter of FY 22-23	
2018-B20	Fire: Carpet Replacement for Station 1		Anticipate 3 rd quarter of FY 22-23	
2018-B25	Police: In-Car Digital Recording System		Anticipate 3 rd quarter of FY 22-23	
2018-B23a	Cedar/127 Corridor Sub-area Plan		Anticipate 4 th quarter of FY 22-23	
2018-B23b	Kipp Road/Temple Street Sub-Area Plan		In progress	
2019-B2b	City Hall Renovations: Phase 1 /Carpet		Anticipate Bidding 3 rd quarter of FY 22-23	
2020-B4b	Public Works: Facility Construction		Anticipate Bidding 3 rd quarter of FY 22-23	
2022-B1	Ordinance Update: Planning, Subdivision, Signs, STR		Anticipate 3 rd quarter of FY 22-23	

ACTIVE PROJECTS STATUS UPDATES (PROJECTS NOT COORDINATED BY THE CITY)

No permits approved during report time-period.