



PLANNING COMMISSION MEETING AGENDA – October 10, 2023

Mason City Hall, 201 W. Ash Street, Mason, MI
Sycamore Room 1st Floor, 6:30 p.m.

1. CALL TO ORDER
2. CONFIRMATION OF MEMBER ATTENDANCE
3. PUBLIC COMMENT
4. APPROVAL OF MINUTES
 - A. Approval of Minutes from the Planning Commission Meeting on September 12, 2023
5. UNFINISHED BUSINESS
6. NEW BUSINESS
 - A. Resolution 2023-15: Request from Hubbell, Roth, & Clark, on Behalf of the City of Mason, for Concurrent Approval of a Preliminary and Final Site Plan for the Construction of New Facilities and Buildings, Demolition of Existing Facilities, and Other Site Improvements to the Waste Water Treatment Plant, on property located at 345 N. Jefferson St., Mason MI (Parcel Numbers 33-19-10-05-427-005, 33-19-10-05-427-003, and 33-19-10-05-427-004)
7. LIAISON REPORT ([10.02.23](#))
8. ADJOURNMENT

**CITY OF MASON
PLANNING COMMISSION MEETING
MINUTES OF SEPTEMBER 12, 2023
DRAFT**

CALL TO ORDER

Sabbadin called the meeting to order at 6:30 p.m. in the Council Chambers at 201 W. Ash Street, Mason, Michigan.

CONFIRMATION OF MEMBER ATTENDANCE

		Present	Absent
Commissioner	Bliesener	X	
Council Liaison	Clark	X	
Commissioner	Kirkby	X	
Commissioner	Malczewski	X	
Commissioner	Perrault	X	
Chair	Sabbadin	X	
Vice Chair	Waxman	X	
Commissioner	Wood	X	
Secretary	Wren	X	

Also present: Elizabeth Hude, AICP, Community Development Director

PUBLIC COMMENT

None.

APPROVAL OF MINUTES

MOTION by Waxman, second by Wren,
to approve the Planning Commission Meeting minutes from August 15, 2023.

Council Liaison Clark proposed to amend the minutes in regard to Commissioner Wren's request to abstain from the vote on Resolution 2023-07, to include "Council member Clark noted that in consultation with the mayor and city attorney, and based on the nature of the business before the commission, no conflict existed for Commissioner Wren".

Vice Chair Waxman proposed to add "MOTION by Waxman second by Clark" to New Business, Resolution 2023-08. Council Liaison Clark proposed a correction to "Merindorf's Meats to Mert's Meats in the New Business, B., Informal Discussion: Larry Judge, 240 N. Okemos, Okemos MI.

MOTION by Waxman, second by Clark,
to approve the amended the Planning Commission Meeting minutes from August 15, 2023.

MOTION APPROVED UNANIMOUSLY

MAIN MOTION APPROVED UNANIMOUSLY

PUBLIC HEARING

- A. Resolution 2023-10 Request from Meijer, Inc. for concurrent approval of a Special Use Permit, Preliminary and Final Site Plan for the 544 sq. ft. expansion of the Gas Station and Convenience Store to expand the number of bathrooms on property located at 550 Hull Rd., Mason MI, parcel number 33-19-10-17-200-027.

Presentation by applicant: Craig Armstrong of Elevatus Architecture, 111 E Wayne St, Suite 555, Fort Wayne IN, 46802. "About a year ago we asked for a similar motion for the Pharmacy and Store renovation and as part of the conditional approval there was a need to add additional sidewalks to the public ways. Meijer would like to renovate the Gas Station and Convenience Store to expand the quantity of bathrooms that are currently available. This project will include all of the sidewalks that were part of the conditional permit on the site plan".

Chair Sabbadin opened the Public Hearing at 6:38 p.m. No comments were received.

Chair Sabbadin closed the Public Hearing at 6:39 p.m.

MOTION by Waxman second by Clark,
to approve Resolution 2023-10.

Council Liaison Clark inquired if a SUP is required today for them to do business. Director Hude explained that this is an amendment to the current SUP. Council Liaison Clark asked if the Planning Commission would have to review the addition of any light poles. Director Hude explained that under the Site Plan Review, if there are changes to the site plan, the ordinance is written to allow staff to administratively approve minor adjustments.

Council Liaison Clark asked if the parking waiver for the remodel of the Pharmacy and Store was only for the remodel. Hude explained that the parking plan was approved when Meijer first opened. Meijer inadvertently made a change and removed an entire section of the parking lot. At the last Site Plan Review, we leaned on the Section of Ordinance that allowed them a waiver to hold area in reserve and show on site plan as a reserve area.

MOTION APPROVED UNANIMOUSLY

- B. Resolution 2023-11 Planning Commission adoption of the City of Mason 20-Year Master Plan September 2023 with a recommendation for final adoption by City Council.

Chair Sabbadin opened the Public Hearing at 6:50 p.m. No comments were received.

Chair Sabbadin closed the Public Hearing at 6:51 p.m.

MOTION by Waxman, second by Clark,
to approve Resolution 2023-11.

Vice Chair Waxman commended city staff, consultants, and city council, for their hard work on the Master Plan. He noted that the Master Plan has a lack of language regarding Diversity, Equity, and Inclusion which would fall in line with the resolution passed in 2020 reaffirming the commitment. Chair Sabbadin commented that there was ample opportunity for input over the last two years. Waxman responded that he provided input through the appropriate channels and was reviewed but

was decided to not be important.

MOTION APPROVED UNANIMOUSLY

UNFINISHED BUSINESS

None.

NEW BUSINESS

- A. Resolution 2023-12: Request from CorrChoice for concurrent approval of a Preliminary and Final Site Plan for the 4,500 sq. ft. expansion of manufacturing facility to include a rail spur cover on property located on 700 Eden Rd., Mason MI, parcel number 33-19-10-16-400-026.

MOTION by Waxman, second by Clark,
to approve Resolution 2023-12.

MOTION APPROVED UNANIMOUSLY

- B. Resolution 2023-13: Concurrent approval of a preliminary and final site plan for public improvements on property owned by the City of Mason at 213 N. Jefferson St. to include ADA compliant restrooms, drinking fountain, and nine parking spaces.

MOTION by Waxman, second by Clark,
to approve Resolution 2023-13.

Commissioner Kirkby inquired if Resolution 2023-13 included a dog fountain. Director Hude confirmed that it does include a dog fountain.

MOTION APPROVED UNANIMOUSLY

- C. Resolution 2023-14: Amendment to the 2023-2029 Capital Improvement Plan adopted by City Council.

MOTION by Waxman, second by Malczewski,
to approve Resolution 2023-14.

MOTION APPROVED UNANIMOUSLY

- D. Receipt of Rules of Order revised by City Council August 7, 2023.

LIAISON REPORT

Council Liaison Clark provided a summary of business from the Council meeting on September 5, 2023. The City Council authorized contracts for repairs on Hayhoe Riverwalk, sidewalk over US-127, Hayhoe Riverwalk trailhead restroom, and approved election equipment required due to early voting laws. There was also a resolution authorizing a grant amendment request.

Sabbadin thanked Commissioner Clark for putting on a great event for 9/11 ceremony at the fire station. It was well attended and very well done.

ADJOURN

The meeting adjourned at approximately 7:10 p.m.

Megan Wren, Secretary



Staff Agenda Report: October 10, 2023 Planning Commission

AGENDA ITEM:	Resolution 2023-15: Request from Hubbell, Roth, & Clark, on Behalf of the City of Mason, for Concurrent Approval of a Preliminary and Final Site Plan for the Construction of New Facilities and Buildings, Demolition of Existing Facilities, and Other Site Improvements to the Waste Water Treatment Plant, on property located at 345 N. Jefferson St., Mason MI (Parcel Numbers 33-19-10-05-427-005, 33-19-10-05-427-003, and 33-19-10-05-427-004)
RECOMMENDED ACTION:	Motion to approve Resolution 2023-15 for concurrent approval of a Preliminary and Final Site Plan
PROJECT ADDRESS:	345 N. Jefferson Street
APPLICANT:	City of Mason
OWNER:	City of Mason

Authority

- [Section 50-38\(a\)](#): a street; square, park, playground, public way, ground, or other open space; or public building or other structure shall not be constructed or authorized for construction in an area covered by the municipal master plan unless the location, character, and extent of the street, public way, open space, structure, or utility have been submitted to the planning commission by the city council or other body having jurisdiction over the authorization or financing of the project and has been approved by the planning commission. The planning commission shall submit its reasons for approval or disapproval to the body having jurisdiction. If the planning commission disapproves, the body having jurisdiction may overrule the planning commission by a vote of not less than two-thirds of its entire membership.
- [Section 94-225\(a\)](#) All uses of land and structures which are subject to the requirements of this article shall receive preliminary site plan review and approval prior to the submission of a final site plan unless the zoning official determines that concurrent preliminary and final site plan review and approval will promote the general welfare of the city.
- [Sections 94-222\(1\) and \(7\)](#) as well as [94-225\(c\)\(4\) and \(5\)](#) require preliminary and final site plan review for public and government facilities and for uses in an M-2 zoning district.
- [Section 94-226 \(e\)](#): The planning commission shall have the authority to approve, approve with conditions, or deny an application for final site plan review and approval. Final site plan review shall follow the procedures for preliminary site plan review in subsection [94-225](#) and shall be reviewed in accordance with the standards in section [94-227](#).

Public Notice: The agenda containing the matter was posted on Friday, October 6, 2023, in accordance with the Open Meetings Act.

Relation to Other Actions: The proposed project and improvements are consistent with the adopted Capital Improvement Program (CIP Project Number 2019-U3a).

Submittal Criteria: The application appears to satisfy the submittal requirements of [Sec. 94-226\(c\)](#). As this is a project being proposed by the City as a Capital Improvement, staff believes the fee for review is not applicable.

Review Criteria: The applicant has submitted a Site Plan that appears to meet the requirements for concurrent approval of a Preliminary and Final Site Plan.

ATTACHMENTS:

- Resolution 2023-15
- Application and supporting materials received September 15, 2023
- Site Plan dated July 2023, last revised July 24, 2023

PROJECT ANALYSIS**Description of Current and Planned Use of Property:**

The property is currently the site for the City of Mason's Waste Water Treatment Plant (WWTP) and Department of Public Works (DPW) Facilities. The current WWTP will remain and portions of the DPW Facilities will be demolished. New facilities and buildings will be added as labeled on the site plan sheet C-201:

- Existing: Administration building, headworks, storage (northeast corner), biosolids storage
- New: Settling tanks, pump station, UV/Tertiary Filter Building, Digesters, Dewatering building

This site has had this use for over 50 years and will continue to operate the City's Waste Water Treatment Plant. Staff finds the use to be similar to and consistent with uses permitted by right in Sec. 94-152(12)g. Agricultural products and h. Biological products.

Property/Building Size: The proposal encompasses three lots that will be combined into a single 8.39 acre/365,468 sq. ft. lot.

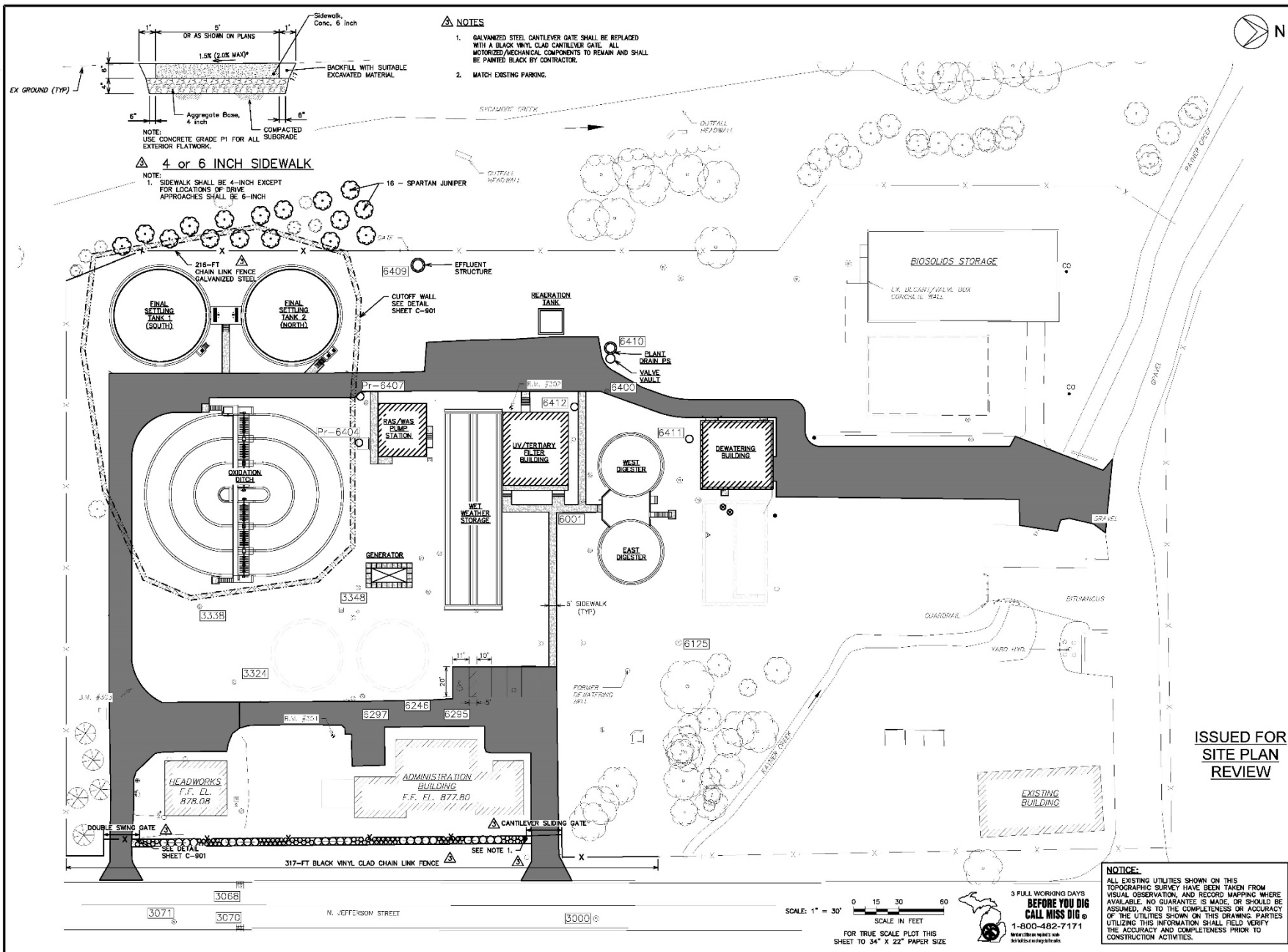
Current Zoning District: The parcel is located in the [M-2 General Manufacturing District](#).

Master Plan: The request addresses the following objectives and goals:


SAFE: Providing forward-thinking delivery of City services; Maintain and improve city facilities and services to be safe and efficient.

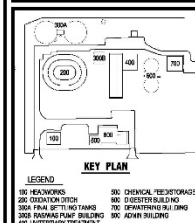
Surrounding Zoning and Land Uses: The site is located and fronts Jefferson Street.

	Current Land Use	Zoning	Future Land Use (2023)
North	Government - manufacturing	AG Single Family Agricultural	Employment
East	Residential	RS-3 Single Family Residential	Suburban Neighborhood
South	Residential	M-2 General Manufacturing District	Mixed-Use
West	Government - cemetery	AG Single Family Agricultural	Suburban Neighborhood



HRC
HUBBELL, ROTH & CLARK, INC.
CONSULTING ENGINEERS SINCE 1911
2101 ADRIAN RD
MOLLY, MI 48846
SUITE 400
PHONE: (517) 964-7760
WEB SITE: <http://www.hrcenr.com>

07-24-23	ISSUED FOR CONSTRUCTION
06-15-23	ADDENDUM NO. 3 
05-12-23	ISSUED FOR BID
03-20-23	EGLE FINAL SUBMITTAL
01-23-23	DRAFT EGLE SUBMITTAL
12-02-22	ISSUED FOR 30% OWNER REVIEW
DATE	ADDITIONS AND/OR REVISIONS
DESIGNED	BRC
DRAWN	BRC
CHECKED	DRU
APPROVED	TJS



CITY OF MASON
WASTEWATER
TREATMENT PLAN
IMPROVEMENTS

PROPOSED SITE PLAN

HRG JOB NO. 20210973	SCALE AS NOTED
DATE JULY 2023	SHEET NO. C-201

ORIGINAL PAGE SIZE: 485 FULL REPRODUCTION: 134.00 X 22.00 INCHES

© 2022 Intel, Nath & Clark, Inc. All Rights Reserved

REVIEW CRITERIA:

Per [Sec. 94-224](#), the planning commission may approve, approve with conditions, or deny any site plan when referred and reviewed in accordance with the standards for site plan review and approval as listed in [Sec. 94-227](#) of the Zoning Ordinance. Based upon staff's review, the application appears to meet the standards for approval as noted below.

STATUS/NOTE	REQUIREMENT
MEETS	(1) The site shall be developed so that all elements shall be harmoniously and efficiently organized in relation to the size, shape, type and topography of the site and surrounding property.
The site meets this requirement and has been developed with extensive input from agencies with jurisdiction over the project at County, State and Federal levels.	
MEETS	(2) The site shall be developed so as not to impede the normal and orderly development, improvement, and use of surrounding property for uses permitted in this chapter.
Surrounding properties will not be affected in a manner described in this requirement.	
MEETS	(3) All buildings or groups of buildings shall be arranged to permit emergency vehicle access by some practical means to all sites.
Emergency vehicles have access to the site now and the improvements will not restrict emergency vehicle access.	
MEETS	(4) Every structure or dwelling unit shall have direct access to a public street or indirect access to a public street via an approved dedicated private street.
Structures are accessible from Jefferson Street, a public street.	
MEETS	(5) Appropriate measures shall be taken to ensure that the addition or removal of surface waters will not adversely affect neighboring properties, that controls are in place to minimize sedimentation and erosion, and that topographic alterations are minimized to accommodate storm water management.
The proposed improvements include the required stormwater management infrastructure and will not adversely affect neighboring properties.	
MEETS	(6) Provisions shall be made for the construction of storm sewer facilities including grading, gutters, piping, on-site storage, and treatment of turf as required to handle stormwater and prevent erosion.
The site is already served by storm sewer facilities and changes are proposed that meet the City's requirements.	
MEETS	(7) Secondary containment for above ground areas where hazardous substances are stored or used shall be provided as required by the city fire chief.
Staff is not aware of any hazardous substances that require secondary containment as required by this section or Ch. 26 Fire Prevention and Protection .	
MEETS	(8) Exterior lighting shall be designed and located so that the source of illumination is directed away from adjacent properties, the intensity of lighting is the minimum necessary, and the direction of lighting is downward as much as is possible and appropriate for the project.
New lighting on the site will be shielded and directed downwards therefore meeting this requirement. Lighting details are shown on plan sheet E-914.	
MEETS	(9) All loading and unloading areas, outside storage areas, and refuse receptacles shall be screened from casual view from the public rights-of-way and adjoining land uses.
Dumpsters will be stored inside the new sludge dewatering building on the north side of the digesters and not visible.	
MEETS	(10) Site plans shall meet the driveway, traffic safety, and parking standards of the city in such manner as necessary to address the following:
	a. Safe and efficient vehicular and non-vehicular circulation, including parking areas, non-motorized linkages to abutting parcels, uses, sidewalks, and trails.
	b. Shared driveways and service drives.
	c. Adequate and properly located utilities.
The proposed improvements generally meet these requirements as the existing driveways and parking spaces will remain.	
MEETS	(11) Provisions shall be made for proposed common areas and public features to be reasonably maintained.
The property is owned and maintained by the City but will not be open to the public.	
MEETS	(12) The site plan submittal shall demonstrate compliance with all applicable requirements of this chapter, chapters 58 and 74, the building code, and county, state, and federal law.
Due to the specific technical knowledge and extensive level of review required, the building permit will be obtained through the State.	

MEETS WITH CONDITION	Chapter 94 – Zoning and Chapter 100 – Dimensional Requirements
<p>The plan appears to meet the building height, setbacks and lot coverage site development standards listed in Section 94-121(c) and Tables 100-1 and 100-2 as noted on the plan sheets.</p> <p>Condition: The three parcels numbered 33-19-10-05-427-005, 33-19-10-05-427-003, and 33-19-10-05-427-004 will be combined into a single lot.</p>	
MEETS WITH WAIVER	Sec. 94-241 Landscape, screening and buffer requirements
<p>Landscaping, screening and buffer requirements for this site do not appear to meet all the requirements of Sec. 94-241. However, the Planning Commission can waive requirements that meet the criteria under Sec. 94-241 (6).</p> <p>“Any of the requirements of this section <u>94-241</u> may be waived or otherwise modified through site plan review and approval provided the approving body determines that specific characteristics of the site or site vicinity make such requirements unnecessary, inappropriate, or ineffective, or that such requirements would cause impaired vision at a driveway or street intersection. In addition, any of the requirements of this section <u>94-241</u> may be increased or otherwise modified through site plan review and approval provided the approving body determines that specific characteristics of the site or site vicinity justify additional measures to mitigate the impacts of a proposed use.”</p> <p>North- Buffer D Required: The adjacent property is owned and used by the City. Adding the requirements of Buffer D here does not offer any benefit and would increase the cost of the project.</p> <p>Waiver: Staff recommends completely waiving the requirement for Buffer D for north facing portion of site.</p> <p>South- Buffer B Required: The adjacent property is zoned M-2 but currently used as residential. There is a pre-existing berm and trees that appears to be consistent with the requirements for Buffer B.</p> <p>Waiver: Staff recommends waiving the additional landscaping requirement for Buffer B for south facing portion of site.</p> <p>East- Street Buffer: The adjacent property is separated by the street. Per Sec. 94-241(e)(4), “If two zoning districts requiring a buffer zone are separated by a street, the design of the buffer zone shall be determined by the designated site plan approval body.”</p> <p>Waiver: Staff recommends waiving the full requirement for Buffer D on the east facing portion of site and instead allow minimal landscaping with low maintenance plantings to include low shrubs and perennials approximately 216+/- linear feet in front of the new fence facing the street between the two drives into the property, as shown on plan sheet C-202. The purpose is to avoid tall plantings that interfere with visibility into the property for safety and security yet soften the fence and improve aesthetic appearance for residents living across the street and those entering/exiting Mason via Jefferson.</p> <p>West- Buffer D Required: The adjacent property is the cemetery which includes the Hayhoe Riverwalk Trail and is separated by Sycamore Creek. This edge of the property has an existing natural buffer of mostly canopy trees including Maples and Cottonwoods. The canopy trees in the southwest section of the buffer will be removed and Junipers will be planted to screen the tanks from view. Removal of the canopy trees is necessary to prevent leaves and seedlings from dropping into the tanks which negatively impacts their operation and maintenance.</p> <p>Waiver: Staff recommends waiving the full requirement for Buffer D for west facing portion of site and instead allow for the removal of 10-15 canopy trees on the southwest corner, and to add 15 Junipers as screening for the tanks.</p> <p>Staff recommends approval with the above waivers as allowed per Sec. 94-241(6).</p>	
MEETS	Chapter 58 - Signs
<p>No new or expanded freestanding sign is proposed. Any proposed signage may require a separate building permit subject to the requirements of Chapter 58 of the Zoning Ordinance, including Division 2 of said chapter.</p>	

COMMENTS FROM AGENCIES

As this is a City project, comments from departments and agencies with jurisdiction over the project were incorporated during the design phase.

**PLANNING COMMISSION
RESOLUTION No. 2023-15**

**PLANNING COMMISSION CONCURRENT APPROVAL OF A PRELIMINARY AND FINAL SITE PLAN FOR THE
CONSTRUCTION OF NEW FACILITIES AND BUILDINGS, DEMOLITION OF EXISTING FACILITIES, AND OTHER SITE
IMPROVEMENTS TO THE WASTE WATER TREATMENT PLANT, ON PROPERTY LOCATED AT 345 N. JEFFERSON ST.,
MASON MI, PARCEL NUMBERS 33-19-10-05-427-005, 33-19-10-05-427-003, AND 33-19-10-05-427-004.**

October 10, 2023

WHEREAS, a request has been received from the City of Mason requesting concurrent approval of both a preliminary and final site plan for the construction of new facilities and buildings, demolition of existing facilities, and other site improvements to the Waste Water Treatment Plan; and,

WHEREAS, the subject property is located at 345 N. Jefferson Street, Mason MI, parcel numbers 33-19-10-05-427-005, 33-19-10-05-427-003, and 33-19-10-05-427-004; and,

WHEREAS, the proposal is described on the site plan dated July 2023, revised July 24, 2023; and,

WHEREAS, the Planning Commission approval of the plans is required by the City of Mason Ordinance Chapter 50, Section 50-38(a); and,

WHEREAS, the parcel is zoned M-2 General Manufacturing District; and,

WHEREAS, Sections 94-222(1) and (7) as well as 94-225(c)(4) and (5) require preliminary and final site plan review for public and government facilities and for uses in an M-2 zoning district; and,

WHEREAS, per Section 94-225, the zoning official has determined joint preliminary and final site plan review will promote the general welfare of the city; and,

WHEREAS, the Planning Commission has prepared and the City Council adopted a Capital Improvement Program in accordance with City of Mason Ordinance Chapter 50 that includes the improvements planned at 345 N. Jefferson Street (CIP 2019-U3a); and,

WHEREAS, the Planning Commission has received, reviewed, and accepts the Staff Agenda Report with project analysis dated October 10, 2023 as findings of fact that with the condition and waivers stated, the proposal will comply with the Preliminary and Final Site Plan Review Standards listed in Section 94-227 and Section 50-38(a); and,

NOW THEREFORE BE IT RESOLVED, that the Planning Commission concurrently approves a preliminary and final site plan for the construction of new facilities and buildings, demolition of existing facilities, and other site improvements to the Waste Water Treatment Plant, on property located at 345 N. Jefferson St., Mason MI, parcel numbers 33-19-10-05-427-005, 33-19-10-05-427-003, and 33-19-10-05-427-004 with the following condition and waivers:

- The three parcels numbered 33-19-10-05-427-005, 33-19-10-05-427-003, and 33-19-10-05-427-004 will be combined into a single lot.
- Landscape requirements because specific characteristics of the site or site vicinity make such requirements unnecessary, inappropriate, or ineffective are waived such that:
 - For the north and south buffer, no additional landscaping is required, and
 - For the east buffer, minimal landscaping with low maintenance plantings to include low shrubs and perennials will be planted for 216+/- linear feet in front of the new fence facing the street between the two drives into the property, and

- For the west buffer, 10-15 canopy trees on the southwest corner will be removed, and Junipers will be planted as screening for the tanks.

The foregoing Resolution was moved for adoption by Planning Commissioner _____ and seconded by Planning Commissioner _____ and declared adopted by the following vote:

Yes (0)

No (0)

Absent (0)

RESOLUTION DECLARED _____

STATE OF MICHIGAN)

:ss.

COUNTY OF INGHAM)

I, the undersigned, the duly qualified and acting Clerk of the City of Mason, County of Ingham, State of Michigan, do hereby certify that the foregoing is a true and complete copy of a resolutions adopted by the Planning Commission of the City of Mason at a regular meeting held on Tuesday, October 10, 2023, pursuant to the Michigan Open Meetings Act, the original of which is on is file in my office as part of the minutes.

IN WITNESS WHEREOF, I have hereunto set my official signature, this ____ day of _____ 2023.

Sarah J. Jarvis, City Clerk
City of Mason, Ingham County, Michigan



2101 Aurelius Road, Suite 2A
Holt, MI 48842

517-694-7760

www.hrcengr.com



September 14, 2023

City of Mason Planning Department
201 West Ash Street
Mason, MI 48854

RECEIVED

SEP 15 2023

CITY OF MASON
PLANNING DEPT.

Attn: Elizabeth Hude, Community Development Director *submitted electronically*

Re: Mason WWTP Improvements
Zoning Permit Preliminary and Final Plan Review

HRC Job No. 20210973

Dear Ms. Hude:

This letter serves as the transmittal for the zoning permit preliminary and final site plan review of the City of Mason's Wastewater Treatment Plant (WWTP) Improvements. The WWTP is owned and operated by the City of Mason. This facility treats the City's wastewater and maintains compliance with the City's discharge permit that is regulated by the State of Michigan Department of Environment Great Lakes and Energy (EGLE). This project includes improvements to the facility that addresses requirements of the Administrative Consent Order (ACO).

The scope of work for this project includes construction of new treatment facilities and buildings, demolition of existing facilities, and other site improvements.

Location

The work will take place on what are currently three parcels (33-19-10-05-427-005, 33-19-10-05-427-003, and 33-19-10-05-427-004) at the address 345 N Jefferson Street, Mason Michigan. It is our understanding these parcels will be combined into a single parcel later.

Fencing

The recommended Ten State Standards for Wastewater that are incorporated into the EGLE Part 41 Wastewater Construction permit for the WWTP Improvements states that the facility include:

1. Enclosure of the plant site with a fence and signs designed to discourage the entrance of unauthorized persons and animals.
2. The requirement serves for the protection from hazards on the site that include high voltage electricity, mechanical equipment, open tanks and structures, chemical storage, and other equipment.

Lighting and Parking

All lighting will be contained on site and not outward facing, and parking will remain unchanged from the existing parking.

If you have any questions or require any additional information, please contact the undersigned.



Ms. Elizabeth Hude
September 14, 2023
HRC Job Number 20211973
Page 2 of 2

Very truly yours,

HUBBELL, ROTH & CLARK, INC.

A handwritten signature in black ink, appearing to read 'Doug Urquhart'.

Doug Urquhart, P.E.
Manager

A handwritten signature in black ink, appearing to read 'Josh Cole'.

Josh Cole, E.I.T
Graduate Engineer



DIU/jdc

Attachment

pc: City of Mason; D. Stuart, J. Rewerts
HRC; T. Sneathen, File



PERMIT APPLICATION

ZONING

Applicant– Please check one of the following:

<input checked="" type="checkbox"/>	Preliminary Site Plan Review
<input checked="" type="checkbox"/>	Final Site Plan Review
<input type="checkbox"/>	Special Use Permit*
<input type="checkbox"/>	Administrative Review
* includes Preliminary Site Plan Review	

DEPARTMENT USE ONLY

Application Received: _____

Tax ID: _____

Fee: _____

Receipt #: _____

Applicant Information:

Name: Doug Urquhat

Organization: Hubbell Roth & Clark

Address: 2101 Aurelius Road, Holt, MI 48842

Telephone Number: (517) 694-7760

Facsimile Number: _____

Interest in Property (owner, tenant, option, etc.): Consultant

RECEIVED

SEP 15 2023

**CITY OF MASON
PLANNING DEPT.**

Note: If applicant is anyone other than owner, request must be accompanied by a signed letter of authorization from the owner.

Property Information:

Owner: City of Mason Telephone Number: (517) 676 - 1166

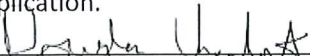
Property Address: 345 N Jefferson St, Mason, MI 48854

Legal Description: If in a subdivision: Subdivision Name: _____ Lot Number: _____

If Metes and Bounds (can be provided on separate sheet): _____

APPLICANT CERTIFICATION

By execution of this application, the person signing represents that the information provided and the accompanying documentation is, to the best of his/her knowledge, true and accurate. In addition, the person signing represents that he or she is authorized and does hereby grant a right of entry to City officials for the purpose of inspecting the premises and uses thereon to verify compliance with the terms and conditions of any Special Use Permit and/or Site Plan approval issued as a result of this application.

Signature:  Date: 9/14/23

Requested Description:

Written Description: Please use this section to describe the use or uses proposed. Attach additional pages, if necessary.

Upgrades to the existing wastewater treatment process within existing footprint and replacement of existing chain-link fence on the east side of the plant along the street. Please note the "Phasing" referenced in schedule is for sequence of construction/demolition within the project only.

Available Services

Public Water ☒ Yes ☐ No

Paved Road (Asphalt or Concrete) ☒ Yes ☐ No

Public Sanitary Sewer ☒ Yes ☐ No

Public Storm Sewer ☒ Yes ☐ No

Estimate the Following

Traffic Generated N/A

Total Employees 10

Population Increase N/A

Employees in Peak Shift 4

House of Operation 12:00 AM to 11:59 PM
Sun Day through Saturday

Total Bldg. Area Proposed N/A

Parking Spaces Provided 10

Project Phasing

This project will be completed in: ☒ One Phase ☐ Multiple Phases – Total No. of Phases: _____

Note: The phases of construction for multi-phase projects must be shown on the site plan

Application Materials

The following are checklists of items that generally must be submitted with applications for Preliminary Site Plan Review, Final Site Plan Review, and Special Use Permits. Applicants should review Articles VI and VII of Chapter 94 of the Mason Code for a complete listing of application requirements. All site plan drawings must comply with the requirements of Section 94-226(d) of the Zoning Ordinance. Incomplete applications will not be processed.

- ☐ Completed application form **Attachment 02**
- ☐ 2 copies of full scale site plan drawings **Attachment 03**
- ☐ Plans submitted on CD or PDF (email is acceptable) **Attachment 03**
- ☐ Legal description **Attachment 04**
- ☐ Proof of ownership/owner authorization **Coordinate with City**
- ☐ Construction schedule for proposed project **Attachment 05**
- ☐ Construction calculations for utilities **Not applicable**
- ☐ Fee (see below) **Not applicable**
- ☐ Any other information deemed necessary **Not applicable**

RECEIVED

SEP 15 2023

**CITY OF MASON
PLANNING DEPT.**

Application Fee

All requests must be accompanied by a fee, as established by the City Council. The fee schedule for Preliminary Site Plan Reviews, Final Site Plan Reviews, and Special Use Permits is as follows (As of October 16, 2006):

Administrative Reviews	\$70.00
Preliminary Site Plan Reviews	\$200.00
Final Site Plan Review	\$100.00
Special Use Permits (includes preliminary site plan review)	\$275.00

Engineering Review

\$220.00*

*Two—hour minimum fee for projects increasing demand on public utilities. Actual fees incurred are billed to applicant upon completion of review.

Application Deadlines**Preliminary Site Plan/Special Use Permit Review**

Applications for Preliminary Site Plan Review may be submitted at any time. Complete applications must be received a minimum four (4) weeks prior to a Planning Commission meeting to be placed on the agenda. Upon receipt of a complete application, a public hearing will be scheduled for the next regularly scheduled meeting (for Special Use Permits only). The Planning Commission has the final authority to approve, approve with conditions or deny an application for Preliminary Site Plan/Special Use Permit Review. The Planning Department staff will issue a letter to the applicant advising of any changes or revisions that may be necessary prior to making application for Final Site Plan Review.

Final Site Plan Review

Complete applications must be received a minimum of four (4) weeks prior to a Planning Commission meeting to be placed on an agenda. The Planning Commission has the final authority to approve, approve with conditions or deny an application for Final Site Plan Review. Planning Commission meetings are held on the second Tuesday after the first Monday of every month, unless the Tuesday is a Township recognized holiday, in which case the meeting is held on the following day (Wednesday).

Staff Report

The Planning Department Staff will prepare a report to the Planning Commission regarding an application for Preliminary Site Plan Review, Final Site Plan Review or Special Use Permit. The report will explain the request and review whether it complies with the zoning standards of the Mason Code. Staff will present the findings of that report during the Planning Commission meeting. An applicant who wishes to obtain one (1) copy of that report, at no cost, prior to the meeting must provide a written request to the Planning Department. The report is generally complete on the Friday before the meeting and can be mailed to the applicant or picked up by the applicant in the Planning Department.

Resources: More questions? Please contact our Customer Service Desk at 517.676.9155.

Revised 7.2.2018 (Community Development)






Property Owner Authorization

This form must be filled out if you are a contractor doing work for a property owner.

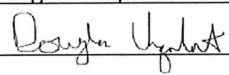
I, **Jeff Rewerts**, authorize the below named contractor **Hubbell, Roth & Clark, Inc** to act on my behalf to secure permits and inspections for work to be done at **345 N Jefferson St** in Mason, Michigan.

I understand that I remain responsible to ensure that the work described in the building permit shall be installed in accordance with the local code and shall not be enclosed, covered up, or put into operation until it has been inspected and approved by the inspector.

Signature:  Date: September 13, 2023
 Address: 345 N Jefferson St, Mason, MI 48854
 Phone: (517) 290-5681 Email: jeffr@mason.mi.us

Agent/Contractor's Affidavit and Signature

I hereby certify that the proposed work is authorized by the owner of record and I have been authorized by the owner to make this application as his authorized agent and understand work described in the building permit shall be installed in accordance and complies with the local code and shall not be enclosed, covered up, or put into operation until it has been inspected and approved by the inspector. I will cooperate with the Inspector and assume the responsibility to arrange for necessary and timely inspections.

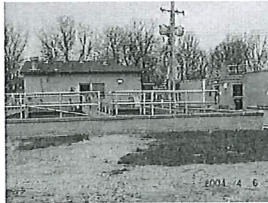
Print Name: Douglas Urquhart Date: 9/12/23
 Signature: 
 Company Name: Hubbell, Roth & Clark Inc
 Address: 2101 N Aurelius Rd, Holt, MI 48842
 Phone: (616) 481-1472 Email: durquhart@hrcengr.com

Due to increasing costs, as well as sustaining the investment required to continue product improvements & expanding database coverage, the cost for record lookups has increased to \$6 per search as of September 5th, 2023. Please note, property owners will continue to be able to access their own property information **for free** by creating a BS&A Online account [here](#).

AccessMyGov.com is now bsaonline.com. Please change your bookmarks and website links.

435 N JEFFERSON MASON, MI 48854 (Property Address)

Parcel Number: 33-19-10-05-427-003



Item 1 of 2 2 Images / 0 Sketches

Property Owner: CITY OF MASON - DPW/WWTP**Summary Information**

- > Residential Building Summary
 - Year Built: 2017
 - Full Baths: 1
 - Sq. Feet: N/A
 - Bedrooms: 0
 - Half Baths: 0
 - Acres: 2.750
- > Assessed Value: \$0 | Taxable Value: \$0
- > Property Tax information found

Access additional record information for a small convenience fee. *

> Additional areas of information include: *Delinquent Tax Information*

[Show Purchase Options](#)

* Additional record information is free for all homeowners, click the 'Show Purchase Options' button for more information.

Important Message

The information presented on this site is as of the close of the 2022 March Board of Review and the 2022 Assessment and Specific Tax Rolls.

If you require current ownership and mailing address information click on the Municipalities drop-down box above. You may enter the local Township or City name in the search box and click on the Search tab. This will redirect you to the local unit. Once the local unit window opens you can search by name, address, or parcel code number. If you require additional services, it is recommended that you contact the local unit Assessor's Office.

Local unit email and telephone numbers are available at: <https://docs.ingham.org/Department/Equalization/Twp-City%20Directory%20List22.pdf>

Owner and Taxpayer Information**Owner**

CITY OF MASON - DPW/WWTP Taxpayer
PO BOX 370
MASON, MI 48854

[SEE OWNER INFORMATION](#)**RECEIVED****SEP 15 2023****CITY OF MASON
PLANNING DEPT.****General Information for Tax Year 2023**

Property Class	201 COMMERCIAL-IMPROVED	Unit	33-19 CITY OF MASON
School District	MASON PUBLIC SCHOOLS	Assessed Value	\$0
MAP #	10-5H	Taxable Value	\$0
USER NUM IDX	0	State Equalized Value	\$0
USER ALPHA 1	Not Available	Date of Last Name Change	08/29/2006
USER ALPHA 3	Not Available	Notes	Not Available
Historical District	Not Available	Census Block Group	Not Available
USER ALPHA 2	Not Available	Exemption	No Data to Display

Principal Residence Exemption Information**Homestead Date**

No Data to Display

Principal Residence Exemption	June 1st	Final
2022	0.0000 %	0.0000 %

Previous Year Information

Year	MBOR Assessed	Final SEV	Final Taxable
2022	\$0	\$0	\$0
2021	\$0	\$0	\$0
----	\$0	\$0	\$0

By continuing to use this website you agree to the [BS&A Online Terms of Use](#). X

[Privacy - Terms](#)

Land Information

Zoning Code	M2	Total Acres	2.750
Land Value	\$407,286	Land Improvements	\$0
Renaissance Zone	No	Renaissance Zone Expiration Date	No Data to Display
ECF Neighborhood	225 COMMERCIAL DOWNTOWN	Mortgage Code	No Data to Display
Lot Dimensions/Comments	No Data to Display	Neighborhood Enterprise Zone	No

RECEIVED

SEP 15 2023

CITY OF MASON
PLANNING DEPT.

Lot(s)	Frontage	Depth
No lots found.		
Total Frontage: 0.00 ft		Average Depth: 0.00 ft

Legal Description

BEG 396 FT S OF E 1/4 POST, S 00-25-00 E 16 FT, S 89-40-00 W 165 FT, S 00-25-00 E 314 FT, S 89-40-00 W 360 FT M/L TO C/L SYCAMORE CREEK, NLY ALG C/L CREEK 332 FT M/L TO A PT S 89-40-00 W 564 FT OF POB, N 89-40-00 E 564 FT TO POB SEC 5 T2N R1W, CITY OF MASON. 2.75 AC

Land Division Act Information

Date of Last Split/Combine	No Data to Display	Number of Splits Left	0
Date Form Filled	No Data to Display	Unallocated Div.s of Parent	0
Date Created	01/01/0001	Unallocated Div.s Transferred	0
Acreage of Parent	0.00	Rights Were Transferred	Not Available
Split Number	0	Courtesy Split	Not Available
Parent Parcel	No Data to Display		

Sale History

Sale Date	Sale Price	Instrument	Grantor	Grantee	Terms of Sale	Liber/Page
No sales history found.						

Building Information - 7104 sq ft Warehouses - Storage (Commercial)

Floor Area	7,104 sq ft	Estimated TCV	\$83,333
Occupancy	Warehouses - Storage	Class	S
Stories Above Ground	1	Average Story Height	14 ft
Basement Wall Height	0 ft	Identical Units	Not Available
Year Built	No Data to Display	Year Remodeled	No Data to Display
Percent Complete	0%	Heat	Space Heaters, Gas with Fan
Physical Percent Good	35%	Functional Percent Good	100%
Economic Percent Good	100%	Effective Age	46 yrs

Building Information - 0 sq ft 1 STORY (Residential)

General

Floor Area	0 sq ft	Estimated TCV	\$8,918
Garage Area	520 sq ft	Basement Area	0 sq ft
Foundation Size	0 sq ft	Year Remodeled	No Data to Display
Year Built	2017	Class	C
Occupancy	Single Family	Tri-Level	No
Effective Age	5 yrs	Heat	Forced Heat & Cool
Percent Complete	100%	Wood Stove Add-on	No
AC w/Separate Ducts	No	Water	No Data to Display
Basement Rooms	0	Sewer	No Data to Display
1st Floor Rooms	0	Style	1 STORY
2nd Floor Rooms	0		
Bedrooms	0		

Basement Finish

Recreation	0 sq ft	Recreation % Good	0%
Living Area	0 sq ft	Living Area % Good	0%
Walk Out Doors	0	No Concrete Floor Area	0 sq ft

Plumbing Information

By continuing to use this website you agree to the [BS&A Online Terms of Use](#). X

Garage Information

Area	520 sq ft	Exterior	Siding
Foundation	42 Inch	Common Wall	Detached
Year Built	No Data to Display	Finished	Yes
Auto Doors	0	Mech Doors	0



Building Information - 2176 sq ft Farm Utility Buildings (Agricultural)

Type	Farm Utility Buildings	Class	D,Pole
Floor Area	2,176 sq ft	Estimated TCV	\$8,950
Perimeter	200 ft	Height	8 ft
Year Built	Not Available	Quality	Average
Percent Complete	100%	Heat	No Heating/Cooling
Physical Percent Good	30%	Functional Percent Good	100%
Economic Percent Good	100%	Effective Age	50 yrs

****Disclaimer:** BS&A Software provides BS&A Online as a way for municipalities to display information online and is not responsible for the content or accuracy of the data herein. This data is provided for reference only and WITHOUT WARRANTY of any kind, expressed or inferred. Please contact your local municipality if you believe there are errors in the data.

Copyright © 2023 BS&A Software, Inc.



Due to increasing costs, as well as sustaining the investment required to continue product improvements & expanding database coverage, the cost for record lookups has increased to \$6 per search as of September 5th, 2023. Please note, property owners will continue to be able to access their own property information **for free** by creating a BS&A Online account [here](#).

AccessMyGov.com is now bsaonline.com. Please change your bookmarks and website links.

N JEFFERSON MASON, MI 48854 (Property Address)

Parcel Number: 33-19-10-05-427-004



Item 1 of 2 2 Images / 0 Sketches

Property Owner: CITY OF MASON - DPW**Summary Information**

> Assessed Value: \$0 | Taxable Value: \$0

> Property Tax information found

Access additional record information for a small convenience fee. *

> Additional areas of information include: *Delinquent Tax Information*[Show Purchase Options](#)

* Additional record information is free for all homeowners, click the "Show Purchase Options" button for more information.

Important Message

The information presented on this site is as of the close of the 2022 March Board of Review and the 2022 Assessment and Specific Tax Rolls.

If you require current ownership and mailing address information click on the Municipalities drop-down box above. You may enter the local Township or City name in the search box and click on the Search tab. This will redirect you to the local unit. Once the local unit window opens you can search by name, address, or parcel code number. If you require additional services, it is recommended that you contact the local unit Assessor's Office.

Local unit email and telephone numbers are available at: <https://docs.ingham.org/Department/Equalization/Twp-City%20Directory%20List22.pdf>

Owner and Taxpayer Information**Owner**CITY OF MASON - DPW
PO BOX 370
MASON, MI 48854**Taxpayer**

SEE OWNER INFORMATION

General Information for Tax Year 2023

Property Class	201 COMMERCIAL-IMPROVED	Unit	33-19 CITY OF MASON
School District	MASON PUBLIC SCHOOLS	Assessed Value	\$0
MAP #	10-5H	Taxable Value	\$0
USER NUM IDX	0	State Equalized Value	\$0
USER ALPHA 1	Not Available	Date of Last Name Change	08/29/2006
USER ALPHA 3	Not Available	Notes	Not Available
Historical District	Not Available	Census Block Group	Not Available
USER ALPHA 2	Not Available	Exemption	No Data to Display

RECEIVED**SEP 15 2023****CITY OF MASON
PLANNING DEPT.****Principal Residence Exemption Information****Homestead Date**

No Data to Display

Principal Residence Exemption	June 1st	Final
2022	0.0000 %	0.0000 %

Previous Year Information

Year	MBOR Assessed	Final SEV	Final Taxable
2022	\$0	\$0	\$0
2021	\$0	\$0	\$0
----	\$0	\$0	\$0

By continuing to use this website you agree to the [BS&A Online Terms of Use](#). ✕

[Privacy - Terms](#)

Land Information

Zoning Code	M2	Total Acres	1.250
Land Value	\$185,130	Land Improvements	\$0
Renaissance Zone	No	Renaissance Zone Expiration Date	No Data to Display
ECF Neighborhood	225 COMMERCIAL DOWNTOWN	Mortgage Code	No Data to Display
Lot Dimensions/Comments	No Data to Display	Neighborhood Enterprise Zone	No

RECEIVED

SEP 15 2023

CITY OF MASON
PLANNING DEPT.

Lot(s)	Frontage	Depth
No lots found.		
Total Frontage: 0.00 ft		Average Depth: 0.00 ft

Legal Description

BEG 412 FT S OF E 1/4 POST SEC 5, W 165 FT, S 314 FT, E 165 FT, N 314 FT TO POB SEC 5 T2N R1W, CITY OF MASON. 1.25 AC

Land Division Act Information

Date of Last Split/Combine	No Data to Display	Number of Splits Left	0
Date Form Filed	No Data to Display	Unallocated Div.s of Parent	0
Date Created	01/01/0001	Unallocated Div.s Transferred	0
Acreage of Parent	0.00	Rights Were Transferred	Not Available
Split Number	0	Courtesy Split	Not Available
Parent Parcel	No Data to Display		

Sale History

Sale Date	Sale Price	Instrument	Grantor	Grantee	Terms of Sale	Liber/Page
No sales history found.						

Building Information - 3200 sq ft Farm Utility Buildings (Agricultural)

Type	Farm Utility Buildings	Class	D,Pole
Floor Area	3,200 sq ft	Estimated TCV	\$29,280
Perimeter	240 ft	Height	16 ft
Year Built	Not Available	Quality	Average
Percent Complete	100%	Heat	No Heating/Cooling
Physical Percent Good	60%	Functional Percent Good	100%
Economic Percent Good	100%	Effective Age	20 yrs

****Disclaimer:** BS&A Software provides BS&A Online as a way for municipalities to display information online and is not responsible for the content or accuracy of the data herein. This data is provided for reference only and WITHOUT WARRANTY of any kind, expressed or inferred. Please contact your local municipality if you believe there are errors in the data.

Copyright © 2023 BS&A Software, Inc.

Due to increasing costs, as well as sustaining the investment required to continue product improvements & expanding database coverage, the cost for record lookups has increased to \$6 per search as of September 5th, 2023. Please note, property owners will continue to be able to access their own property information **for free** by creating a BS&A Online account [here](#).

AccessMyGov.com is now bsaonline.com. Please change your bookmarks and website links.

345 N JEFFERSON MASON, MI 48854 (Property Address)

Parcel Number: 33-19-10-05-427-005



Item 1 of 2 2 Images / 0 Sketches

Property Owner: CITY OF MASON - WWTP**Summary Information**

- > Commercial/Industrial Building Summary
 - Yr Built: N/A
 - # of Buildings: 1
 - Total Sq.Ft.: 3,000
- > Property Tax information found
- > Assessed Value: \$0 | Taxable Value: \$0

Access additional record information for a small convenience fee. *

> Additional areas of information include: *Delinquent Tax Information*

[Show Purchase Options](#)

* Additional record information is free for all homeowners, click the 'Show Purchase Options' button for more information.

Important Message

The information presented on this site is as of the close of the 2022 March Board of Review and the 2022 Assessment and Specific Tax Rolls.

If you require current ownership and mailing address information click on the Municipalities drop-down box above. You may enter the local Township or City name in the search box and click on the Search tab. This will redirect you to the local unit. Once the local unit window opens you can search by name, address, or parcel code number. If you require additional services, it is recommended that you contact the local unit Assessor's Office.

Local unit email and telephone numbers are available at: <https://docs.ingham.org/Department/Equalization/Twp-City%20Directory%20List22.pdf>

Owner and Taxpayer Information

Owner	CITY OF MASON - WWTP PO BOX 370 MASON, MI 48854	Taxpayer	SEE OWNER INFORMATION
--------------	---	-----------------	-----------------------

General Information for Tax Year 2023

Property Class	201 COMMERCIAL-IMPROVED	Unit	33-19 CITY OF MASON
School District	MASON PUBLIC SCHOOLS	Assessed Value	\$0
MAP #	10-5H	Taxable Value	\$0
USER NUM IDX	0	State Equalized Value	\$0
USER ALPHA 1	Not Available	Date of Last Name Change	08/29/2006
USER ALPHA 3	Not Available	Notes	Not Available
Historical District	Not Available	Census Block Group	Not Available
USER ALPHA 2	Not Available	Exemption	No Data to Display

RECEIVED

SEP 15 2023

CITY OF MASON
PLANNING DEPT.**Principal Residence Exemption Information****Homestead Date** No Data to Display

Principal Residence Exemption	June 1st	Final
2022	0.0000 %	0.0000 %

Previous Year Information

Year	MBOR Assessed	Final SEV	Final Taxable
2022	\$0	\$0	\$0
2021	\$0	\$0	\$0
----	\$0	\$0	\$0

By continuing to use this website you agree to the [BS&A Online Terms of Use](#). X

[Privacy - Terms](#)

Land Information

Zoning Code	M2	Total Acres	4.390
Land Value	\$267,720	Land Improvements	\$0
Renaissance Zone	No	Renaissance Zone Expiration Date	No Data to Display
ECF Neighborhood	230 COMMERCIAL	Mortgage Code	No Data to Display
Lot Dimensions/Comments	No Data to Display	Neighborhood Enterprise Zone	No

RECEIVED

SEP 15 2023

CITY OF MASON
PLANNING DEPT.

Lot(s)	Frontage	Depth
No lots found.		
Total Frontage: 0.00 ft		Average Depth: 0.00 ft

Legal Description

BEG 726 FT S OF E 1/4 POST SEC 5, S 400 FT, W TO C/L SYCAMORE CREEK, NLY ALG C/L CREEK TO A PT 528 FT W OF POB, E 528 FT TO POB SE 1/4 SEC 5 T2N R1W, CITY OF MASON. 4.39 AC

Land Division Act Information

Date of Last Split/Combine	No Data to Display	Number of Splits Left	0
Date Form Filed	No Data to Display	Unallocated Div.s of Parent	0
Date Created	01/01/0001	Unallocated Div.s Transferred	0
Acreage of Parent	0.00	Rights Were Transferred	Not Available
Split Number	0	Courtesy Split	Not Available
Parent Parcel	No Data to Display		

Sale History

Sale Date	Sale Price	Instrument	Grantor	Grantee	Terms of Sale	Liber/Page
No sales history found.						

Building Information - 3000 sq ft Office Buildings (Commercial)

Floor Area	3,000 sq ft	Estimated TCV	\$2,342,276
Occupancy	Office Buildings	Class	C
Stories Above Ground	1	Average Story Height	12 ft
Basement Wall Height	0 ft	Identical Units	Not Available
Year Built	No Data to Display	Year Remodeled	No Data to Display
Percent Complete	0%	Heat	Package Heating & Cooling
Physical Percent Good	45%	Functional Percent Good	100%
Economic Percent Good	100%	Effective Age	39 yrs

****Disclaimer:** BS&A Software provides BS&A Online as a way for municipalities to display information online and is not responsible for the content or accuracy of the data herein. This data is provided for reference only and WITHOUT WARRANTY of any kind, expressed or inferred. Please contact your local municipality if you believe there are errors in the data.

Copyright © 2023 BS&A Software, Inc.

RECEIVED

PC PACKET PAGE 26

SEP 15 2023

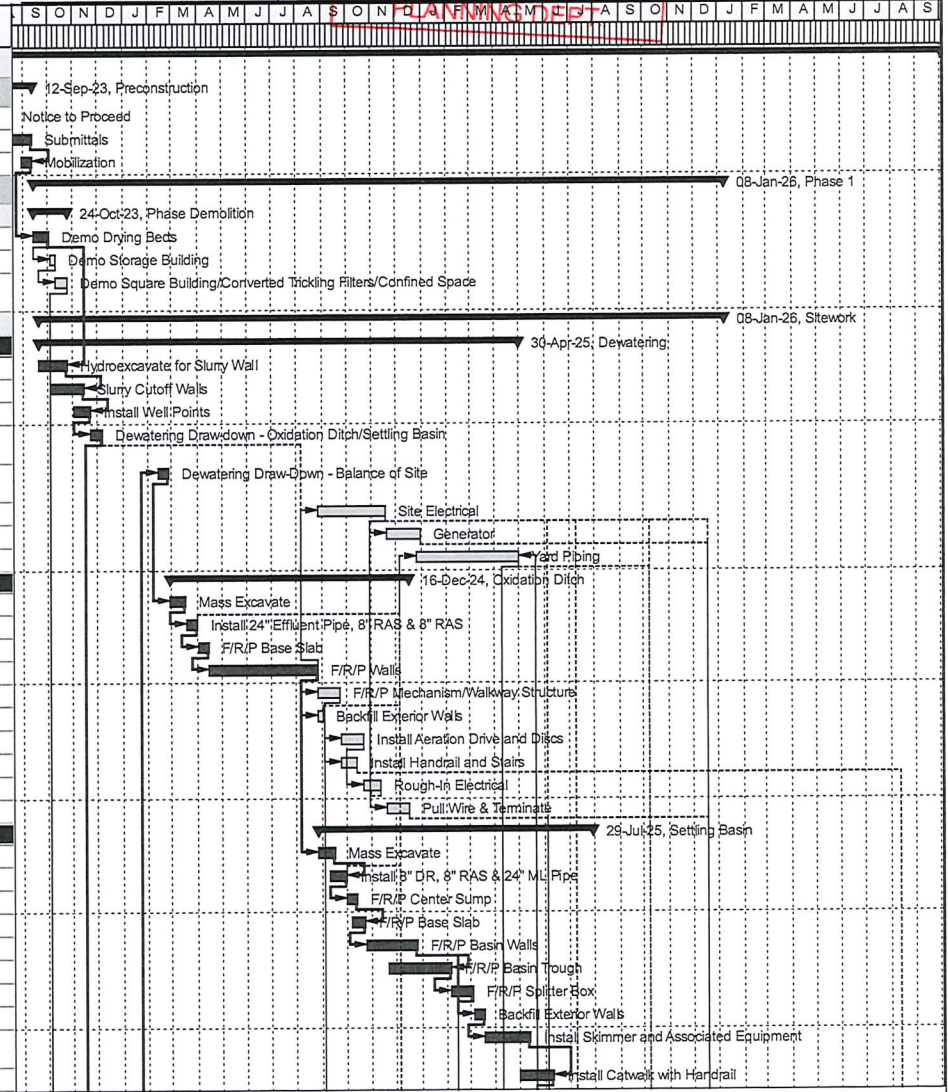
CITY OF MASON

18-Aug-23 13:15

Christman WWTP Mason

Christman MSP Transfer

Activity ID	Activity Name	Original Duration	Start	Finish	Total Float	Comment
Christman WWTP Mason		819	15-Aug-23	02-Oct-26	0	
Preconstruction		21	15-Aug-23	12-Sep-23	0	
A1000	Notice to Proceed	1	15-Aug-23*	15-Aug-23	0	
A1005	Submittals	20	16-Aug-23	12-Sep-23	0	
A1010	Mobilization	10	30-Aug-23	12-Sep-23	0	
Phase 1		607	13-Sep-23	08-Jan-26	168	
Phase Demolition		30	13-Sep-23	24-Oct-23	276	
A1015	Demo Drying Beds	15	13-Sep-23	03-Oct-23	0	
A1020	Demo Storage Building	5	04-Oct-23	10-Oct-23	276	
A1025	Demo Square Building/Converted Trickling Filters/Confined Space	10	11-Oct-23	24-Oct-23	276	
Sitework		602	20-Sep-23	08-Jan-26	168	
Dewatering		421	20-Sep-23	30-Apr-25	181	
A1030	Hydroexcavate for Slurry Wall	26	20-Sep-23	25-Oct-23	0	
A1035	Slurry Cutoff Walls	30	05-Oct-23	15-Nov-23	0	
A1040	Install Well Points	15	02-Nov-23	22-Nov-23	0	
A1045-16	Dewatering Draw-down - Oxidation Ditch/Settling Basin	10	23-Nov-23	06-Dec-23	0	
A1050	Dewatering Draw-Down - Balance of Site	10	13-Feb-24	26-Feb-24	0	FROM 119?
A1055-18	Site Electrical	60	27-Aug-24	18-Nov-24	136	
A1060-19	Generator	30	19-Nov-24	30-Dec-24	268	no successor ; to Sub Completion
A1065-20	Yard Piping	90	26-Dec-24	30-Apr-25	129	
Oxidation Ditch		210	27-Feb-24	16-Dec-24	446	
A1070	Mass Excavate	15	27-Feb-24	18-Mar-24	0	
A1075	Install 24" Effluent Pipe, 8" RAS & 8" R/L	10	19-Mar-24	01-Apr-24	0	
A1080	F/R/P Base Slab	10	02-Apr-24	15-Apr-24	0	
A1085	F/R/P Walls	95	16-Apr-24	26-Aug-24	0	
A1090	F/R/P Mechanism/Walkway Structure	20	27-Aug-24	23-Sep-24	90	
A1095	Backfill Exterior Walls	5	27-Aug-24	02-Sep-24	211	
A1100	Install Aeration Drive and Discs	20	24-Sep-24	21-Oct-24	141	
A1105	Install Handrail and Stairs	15	24-Sep-24	14-Oct-24	491	no successor ; to Sub Completion
A1110	Rough-In Electrical	15	22-Oct-24	11-Nov-24	141	
A1115	Pull Wire & Terminate	20	19-Nov-24	16-Dec-24	136	
Settling Basin		241	27-Aug-24	29-Jul-25	0	
A1120	Mass Excavate	15	27-Aug-24	16-Sep-24	0	
A1125	Install 8" DR, 8" RAS & 24" ML Pipe	15	10-Sep-24	30-Sep-24	0	
A1130	F/R/P Center Sump	10	01-Oct-24	14-Oct-24	0	
A1135	F/R/P Base Slab	12	08-Oct-24	23-Oct-24	0	
A1140	F/R/P Basin Walls	45	24-Oct-24	25-Dec-24	0	
A1145	F/R/P Basin Trough	54	21-Nov-24	04-Feb-25	0	
A1150-39	F/R/P Splitter Box	20	05-Feb-25	04-Mar-25	0	
A1155	Backfill Exterior Walls	10	05-Mar-25	18-Mar-25	0	
A1160	Install Skimmer and Associated Equipment	40	19-Mar-25	13-May-25	0	
A1165	Install Catwalk with Handrail	30	30-Apr-25	10-Jun-25	0	



Actual Work Critical Remaining Work Summary
 Remaining Work Milestone

Page 1 of 4

TASK filter: All Activities

© Oracle Corporation

RECEIVED

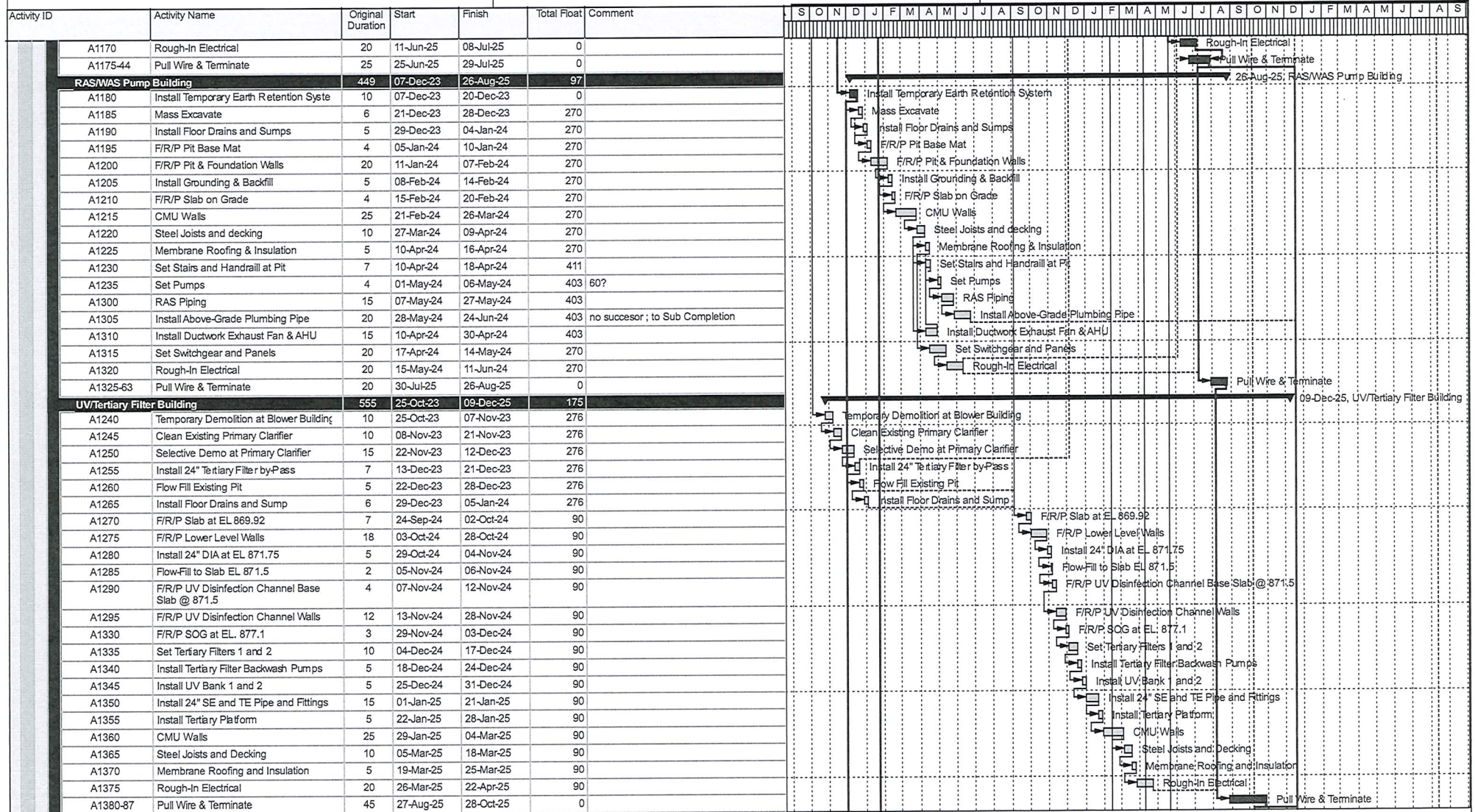
SEP 15 2023

CITY OF MASON
PLANNING DEPT.

Christman WWTP Mason

Christman MSP Transfer

18-Aug-23 13:15



Actual Work Critical Remaining Work Summary
 Remaining Work Milestone

RECEIVED

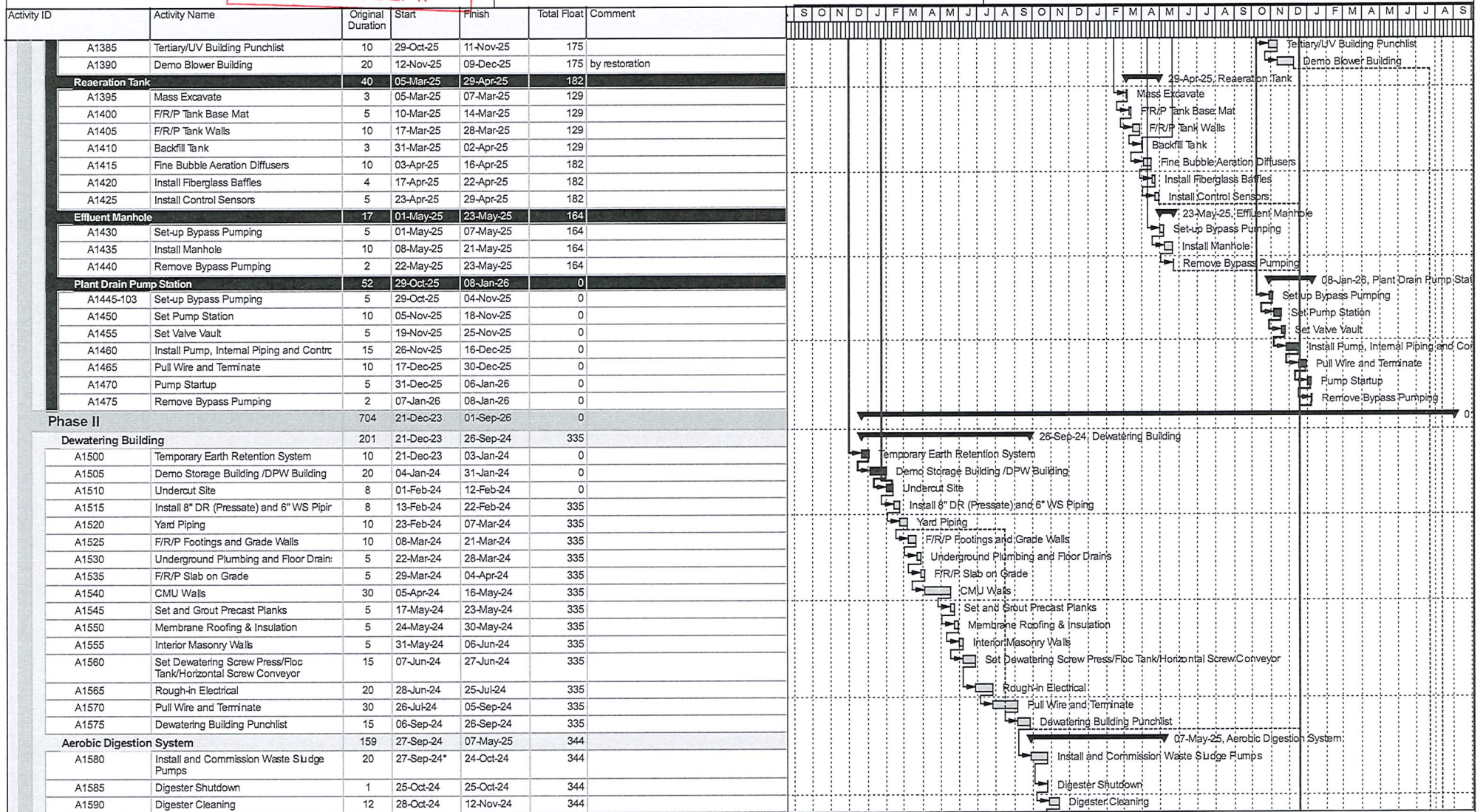
SEP 15 2023

Christman WWTP Mason

CITY OF MASON
PLANNING DEPT.

Christman MSP Transfer

18-Aug-23 13:15



Actual Work Critical Remaining Work Summary
 Remaining Work Milestone

RECEIVED

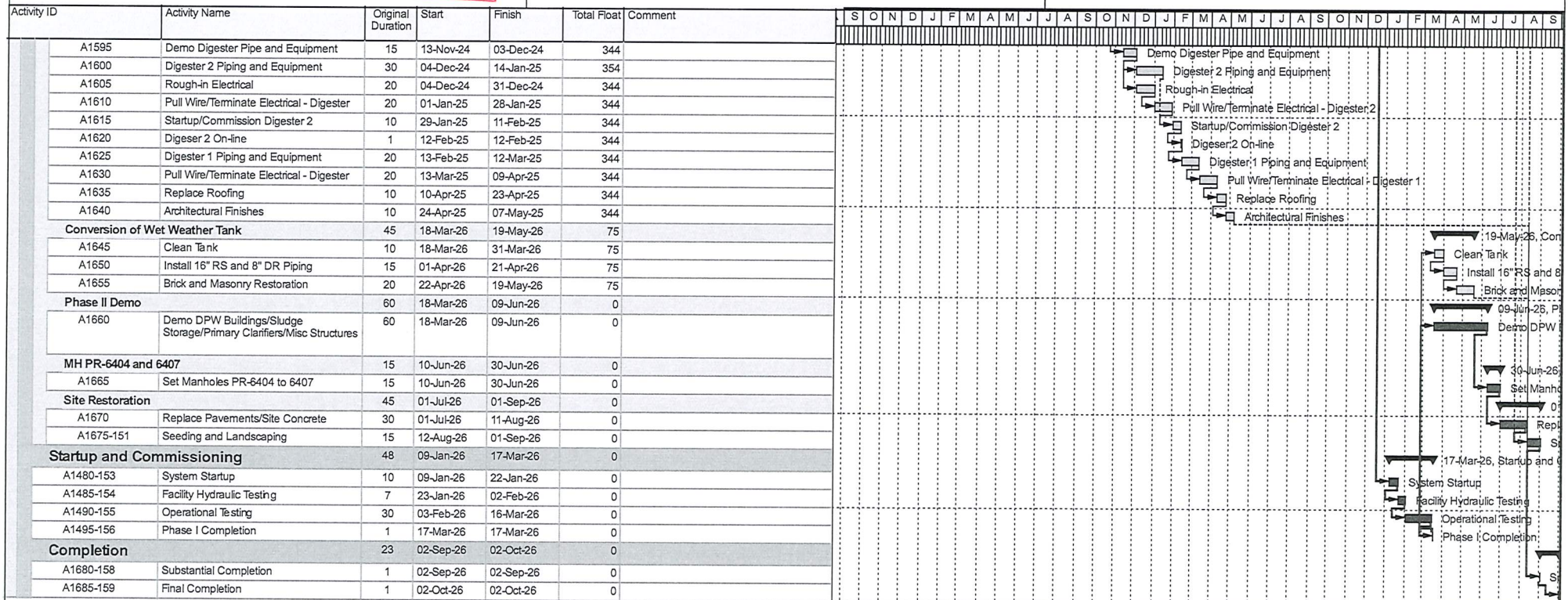
SEP 15 2023

CITY OF MASON
PLANNING DEPT.

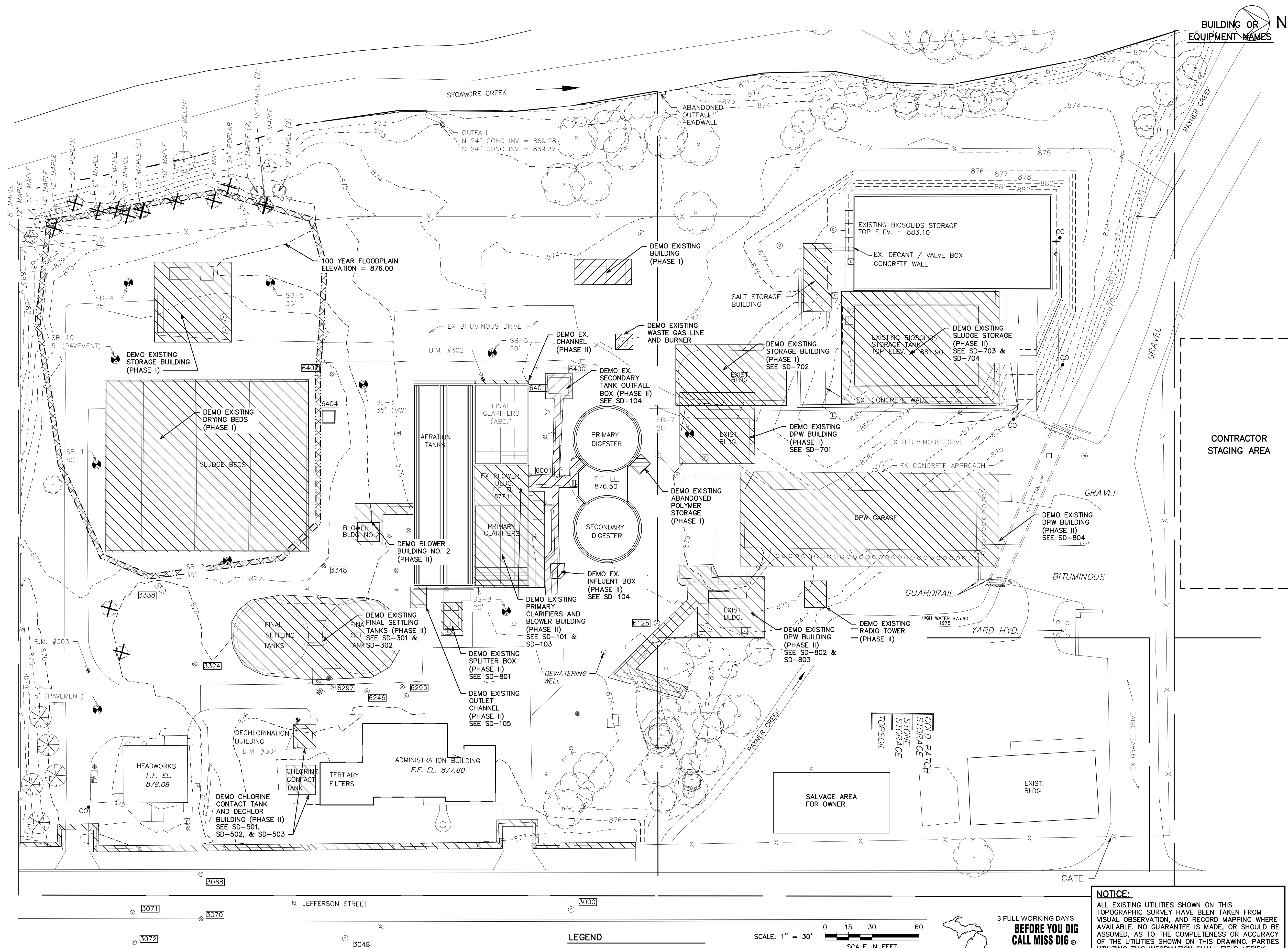
Christman WWTP Mason

Christman MSP Transfer

18-Aug-23 13:15



Actual Work Critical Remaining Work Summary
 Remaining Work Milestone

BUILDING OR
EQUIPMENT NAMES

N



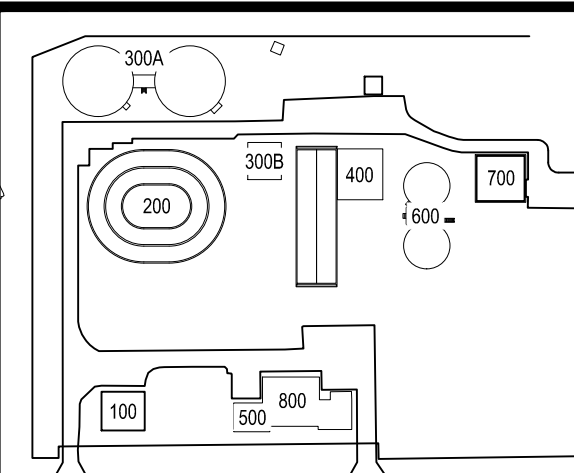
HRC
HUBBELL, ROTH & CLARK, INC
CONSULTING ENGINEERS SINCE 1915
2101 AURELIUS RD SUITE 2
ROLT, MI 48842

PHONE: (517) 694-7760

WEB SITE: [http:// www.hrcengr.com](http://www.hrcengr.com)CONTRACTOR
STAGING AREA

07-24-23	ISSUED FOR CONSTRUCTION
05-12-23	ISSUED FOR BID
03-20-23	EGLE FINAL SUBMITTAL
01-23-23	DRAFT EGLE SUBMITTAL
12-02-22	ISSUED FOR 30% OWNER REVIEW

DATE	ADDITIONS AND/OR REVISIONS
DESIGNED	BRC
DRAWN	BRC
CHECKED	DIU
APPROVED	TJS



LEGEND

100 HEADWORKS	500 CHEMICAL FEED/STORAGE
200 OXIDATION DITCH	600 DIGESTER BUILDING
300A FINAL SETTLING TANKS	700 DEWATERING BUILDING
300B RAS/WAS PUMP BUILDING	800 ADMIN BUILDING
400 UNTERIARY TREATMENT	


CITY OF MASON
**WASTEWATER
TREATMENT PLANT
IMPROVEMENTS**

EXISTING SITE PLAN

HRC JOB NO. 20210973	SCALE AS NOTED
DATE JULY 2023	SHEET NO. C-101

© 2022 Hubbell, Roth & Clark, Inc. All Rights Reserved



 **HRC**


HUBBELL, ROTH & CLARK, INC
CONSULTING ENGINEERS SINCE 1915


2101 AURELIUS RD
HOLT, MI

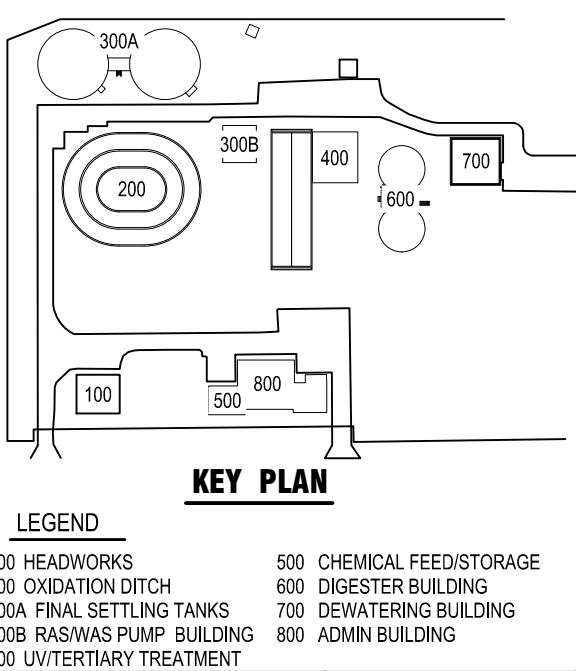
SUITE 2
48842

PHONE: (517) 694-7760

WEB SITE: [http:// www.hrcengr.com](http://www.hrcengr.com)



07-24-23	ISSUED FOR CONSTRUCTION
06-15-23	ADDENDUM NO. 3 
05-12-23	ISSUED FOR BID
03-20-23	EGLE FINAL SUBMITTAL
01-23-23	DRAFT EGLE SUBMITTAL
12-02-22	ISSUED FOR 30% OWNER REVIEW
DATE	ADDITIONS AND/OR REVISIONS
DESIGNED	BRC
DRAWN	BRC
CHECKED	DIU
APPROVED	TJS



ISSUED FOR
SITE PLAN
REVIEW

CITY OF MASON

**WASTEWATER
TREATMENT PLANT
IMPROVEMENTS**

PROPOSED SITE PLAN


SRC JOB NO. 20210973	SCALE AS NOTED
DATE JULY 2023	SHEET NO. C-201

© 2022 Hubbell, Roth & Clark, Inc. All Rights Reserved

NOTICE:
ALL EXISTING UTILITIES SHOWN ON THIS TOPOGRAPHIC SURVEY HAVE BEEN TAKEN FROM VISUAL OBSERVATION, AND RECORD MAPPING WHERE AVAILABLE. NO GUARANTEE IS MADE, OR SHOULD BE ASSUMED, AS TO THE COMPLETENESS OR ACCURACY OF THE UTILITIES SHOWN ON THIS DRAWING. PARTIES UTILIZING THIS INFORMATION SHALL FIELD VERIFY THE ACCURACY AND COMPLETENESS PRIOR TO CONSTRUCTION ACTIVITIES.

 3 FULL WORKING DAYS
BEFORE YOU DIG
CALL MISS DIG®
1-800-482-7171
Member utilities are required to locate their facilities at no charge to the caller.

SCALE: 1" = 30'



SCALE IN FEET

FOR TRUE SCALE PLOT THIS SHEET TO 34" X 22" PAPER SIZE

PLANT LIST				
KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE
JT	10	JUNIPORUS CH PFITZERCOMPACTA	COMPACT PFITZER JUNIPER	5 GAL
JS	10	JUNIPERUS CH SEA GREEN	SEA GREEN JUNIPER	5 GAL
DR	12	ROSA 'DRIFT' RED	RED GROUNDCOVER ROSE	3 GAL
DG	11	LEGMUS ARENARIUS	BLUE LYME GRASS	1 GAL
LM	15	LIPRIOPE MUS 'SILVER SUNPROOF'	SILVER SUNPROOF LIPRIOPE	1 GAL
RH	21	RUDBECKIA H. 'CHERRY BRANDY'	CHERRY BRANDY BLACKEYED SUSAN	1 GAL
SB	18	SPIRAEA J. 'LITTLE PRINCESS'	LITTLE PRINCESS SPRIAEA	5 GAL

ISSUED FOR
SITE PLAN
REVIEW

LANDSCAPE NOTES:

1. VERIFY ALL CONDITIONS ON SITE PRIOR TO COMMENCING CONSTRUCTION AND REPORT ANY DISCREPANCIES IMMEDIATELY TO THE ENGINEER OR OWNER.

2. VERIFY THE LOCATION OF ALL UNDERGROUND AND OVERHEAD UTILITIES AND SERVICES PRIOR TO COMMENCING WORK. CONTRACTOR IS RESPONSIBLE FOR ANY COST INCURRED DUE TO DAMAGED UTILITIES.

3. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES REFLECTED ON THE PLANT LIST. IF A DISCREPANCY EXISTS BETWEEN THE LIST AND THE PLAN, THE PLAN SHALL BE HELD VALID.

4. INSTALLATION AND SIZE OF ALL PLANT MATERIAL SHALL BE IN ACCORDANCE WITH THE STANDARDS SET FORTH BY THE 'AMERICAN NURSERY AND LANDSCAPE ASSOCIATION'.

5. THE LANDSCAPE CONTRACTOR SHALL CONTACT THE ENGINEER OR THE OWNERS REPRESENTATIVE PRIOR TO BEGINNING CONSTRUCTION. DISCREPANCIES BETWEEN THE PLANS AND ACTUAL SITE CONDITIONS SHALL BE RESOLVED AT THIS TIME.

6. THE LOCATION OF ALL PLANTS SHALL BE STAKED IN THE FIELD OR SCALED FROM THE DRAWINGS.

7. IF ROUGH GRADE IS DONE BY OTHERS, THE CONTRACTOR SHOULD REVIEW THAT GRADE AND ADDRESS ANY PROBLEMS WITH THE OWNER. THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR FINAL GRADING AND SITE SURFACE DRAINAGE, DRAINAGE TO PAVING, CATCH BASINS ETC. NO LOW SPOTS THAT HOLD STANDING WATER WILL BE ACCEPTED.

8. ANY RAISED EARTH BERMS SHOWN ON THE PLANS SHALL BE MADE ENTIRELY OF LIGHT ORGANIC SOILS AND SHALL BLEND SMOOTHLY INTO THE EXISTING TOPOGRAPHY.

9. WATER IN ALL PLANT MATERIAL IMMEDIATELY AFTER INSTALLATION.
10. ALL PLANTING BEDS SHALL HAVE A PRE-EMERGENT HERBICIDE, 'RONSTAR' (OR APPROVED EQUAL) APPLIED PER MANUFACTURER'S INSTRUCTIONS. SUBMIT LABELS TO THE PROJECT ENGINEER FOR APPROVAL.

11. MULCH CIRCLES FOR ALL TREES SHALL COVER THE ENTIRE PLANTING PIT. IF SOIL HAS HEAVY CLAY CONTENT, PLANTING THE TREE 6 INCHES HIGHER IS ACCEPTABLE. ADVISE THE ENGINEER PRIOR TO PLANTING.

12. SUBMIT SAMPLES OF MULCH, TOPSOIL, STONE, ETC. AS REQUIRED BY THE PROJECT ENGINEER.

13. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR SUPPLY AND PLACEMENT OF TOPSOIL PER SPECIFICATIONS.

14. ALL TREES SHALL HAVE CLAY LOAM ROOT BALLS. NO SAND BALLS WILL BE ACCEPTED.

15. DIG SHRUB PIT A MINIMUM OF 1 FOOT LARGER THAN SHRUB ROOT BALLS AND TREE PITS 2 FEET LARGER THAN ROOT BALLS. BACKFILL WITH TWO PARTS TOP SOIL, TWO PARTS SOIL FROM EXCAVATED PLANTING HOLE AND ONE PART PEAT. PLANT TREES AND SHRUBS AT THE SAME GRADE LEVEL AT WHICH THEY WERE PLANTED AT THE NURSERY. IF WET CLAY SOILS ARE EVIDENT, PLANT TREES AND SHRUBS HIGHER.

16. REMOVE ALL TWINE, WIRE AND BURLAP FROM THE TOP 1/3 OF TREE AND SHRUB EARTH BALLS AND FROM TREE TRUNKS. REMOVE ALL NON-BIODEGRADABLE MATERIAL SUCH AS PLASTIC OR NYLON COMPLETELY.

17. LAWN TREES ARE TO BE MULCHED WITH A MINIMUM OF 4 FEET WIDE BY 6 INCH DEEP SHREDDED BARK RINGS OR APPROVED DESIGN FOR TRUNK PROTECTION. ONLY NATURAL COLORED, SHREDDED HARDWOOD BARK MULCH WILL BE ACCEPTED.
18. SHRUB BEDS ARE TO BE MULCHED WITH SHREDDED BARK MULCH TO A MINIMUM DEPTH OF 4 INCHES. ONLY NATURAL COLORED, SHREDDED HARDWOOD BARK MULCH WILL BE ACCEPTED.

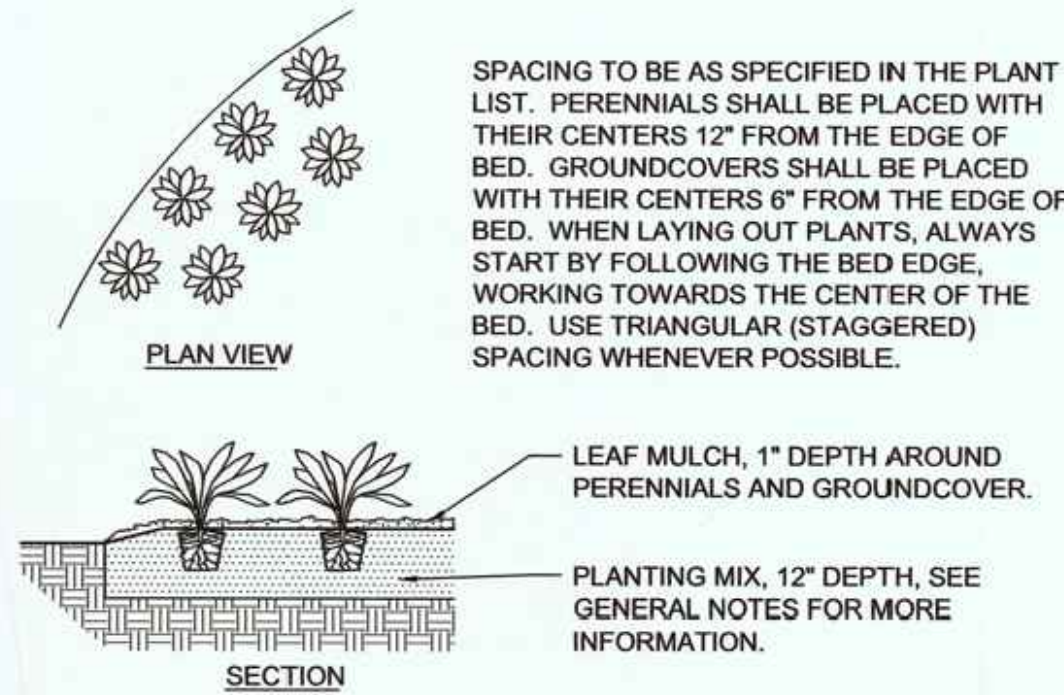
19. UPON COMPLETION, ALL PLANT MATERIALS MUST BE PRUNED AND INJURIES REPAIRED. THE AMOUNT OF PRUNING SHALL BE LIMITED TO THE MINIMUM NECESSARY TO REMOVE DEAD OR INJURED TWIGS AND BRANCHES AND TO COMPENSATE FOR THE LOSS OF ROOTS FROM TRANSPLANTING. ALL CUTS SHALL BE MADE FLUSH, LEAVING NO STUBS.

20. EXISTING LAWN THAT THE OWNER INTENDS TO SAVE AND AREAS THAT ARE DAMAGED DURING CONSTRUCTION MUST BE INSPECTED BY THE OWNER TO DETERMINE VIABILITY. IF THE EXISTING LAWN IS FOUND TO BE LEVEL, HEALTHY, DENSE AND FREE FROM WEEDS, THE LAWN MAY NOT REQUIRE REPLACEMENT OR RENOVATION. IF RENOVATION IS REQUIRED OR IS PART OF THE APPROVED PLAN, THEN THE FOLLOWING REQUIREMENTS WILL APPLY:

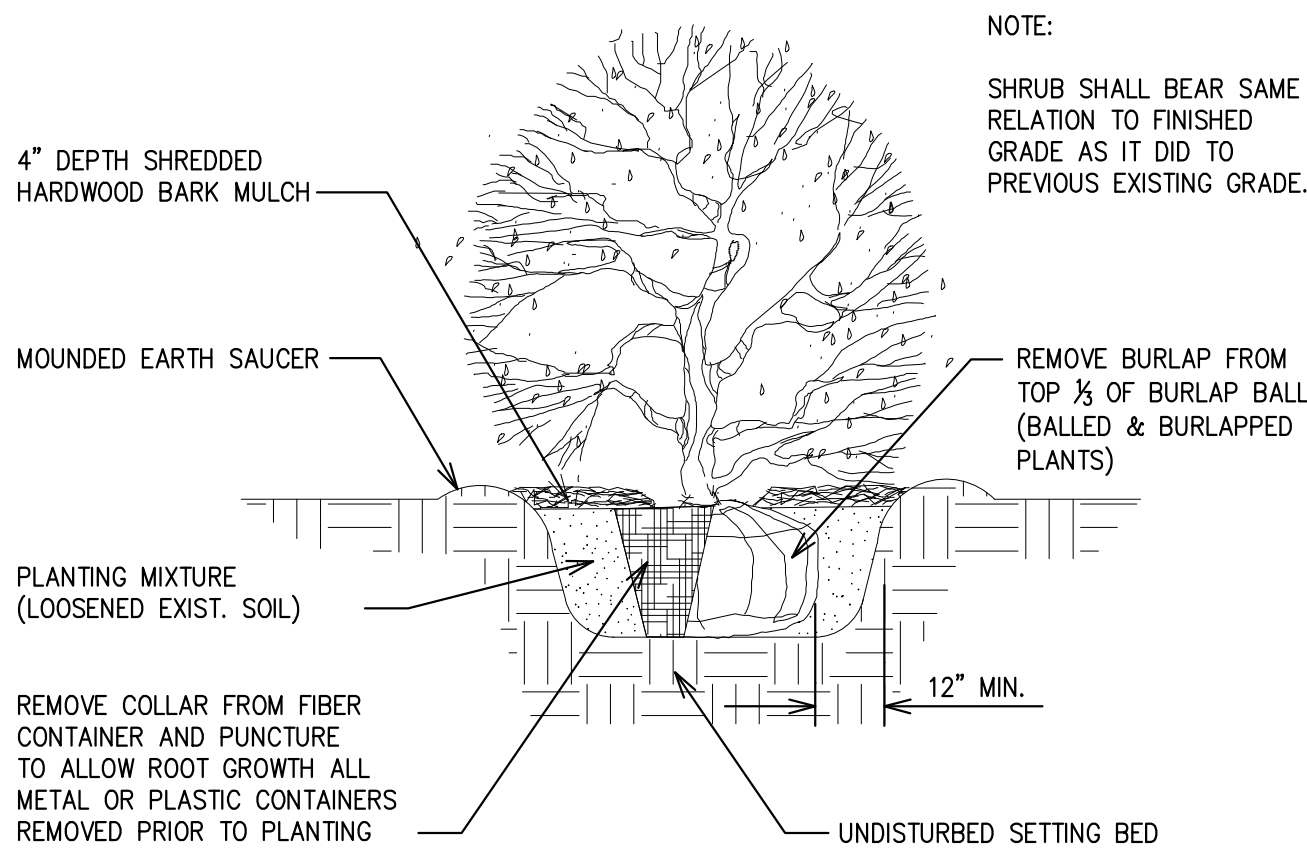
EXISTING LAWN FOUND TO BE IN POOR CONDITION MUST FIRST BE SPRAYED WITH 'ROUNDUP' (OR EQUAL) TO KILL THE EXISTING LAWN AND WEED AREAS. WAIT FOR A MINIMUM PERIOD OF SEVEN (7) DAYS FOR THE HERBICIDE TO TAKE EFFECT, THEN REMOVE ALL DEAD SOD AND WEEDS TO A MINIMUM OF FOUR (4) TO SIX (6) INCHES. NEW TOPSOIL TO ALL LAWN AREAS TO BE REPLACED. BACKFILL AND COMPACT TOPSOIL TO THE TOP OF ALL CURBS AND WALKS PRIOR TO SODDING/SEEDING. REGRADE TO ELIMINATE ALL BUMPS AND DEPRESSIONS AND RESOD ALL AREAS.

21. EXISTING LAWN FOUND TO BE IN GENERALLY GOOD CONDITION BUT WITH BARE, SPARSE OR WEEDY AREAS MUST BE RENOVATED BY FILLING IN LOW AREAS, RAKING, OVERSEEDING AND TOP DRESSING ALL SPARSE AND BARE SPOTS AND BY INITIATING A 'WEED AND FEED' PROGRAM.

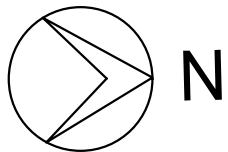
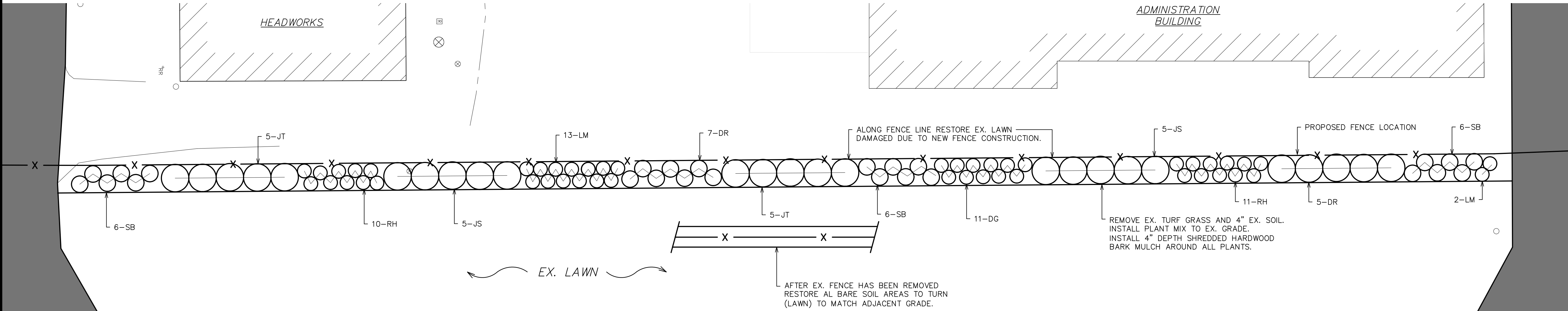
LOCATE ALL UNDERGROUND UTILITIES PRIOR TO DIGGING. EXCAVATE ENTIRE PERENNIAL / GROUNDCOVER BED, AND BACKFILL WITH PLANTING MIX AS SPECIFIED. BED HEIGHT IS TO BE 2" ABOVE FINISH GRADE AND WELL DRAINED. MULCH LIMITS FOR PERENNIAL BEDS TO EXTEND TO ALL EDGES OF THE BEDS, SEE PLANS FOR BED LAYOUTS. SEE PLANT LIST FOR PLANT SPACING, GAPS BETWEEN PLANTS SHALL BE NO GREATER THAN THE SPECIFIED SPACING FOR THAT PARTICULAR PLANT.



4 PERENNIAL AND GROUNDCOVER PLANTING DETAIL
NOT TO SCALE



SHRUB PLANTING
NO SCALE



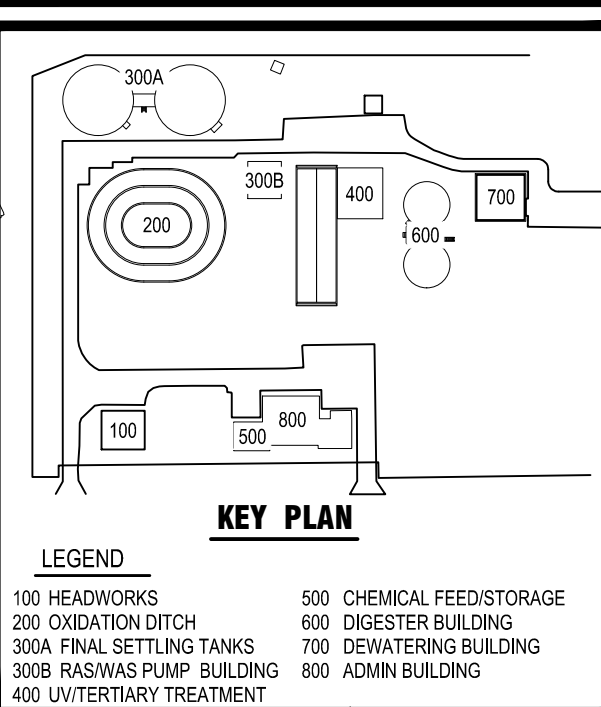
HRC

HUBBELL, ROTH & CLARK, INC
CONSULTING ENGINEERS SINCE 1915
2101 AURELIUS RD
ROLT, MI
PHONE: (517) 694-7760
WEB SITE: [http:// www.hrcengr.com](http://www.hrcengr.com)

SUITE 2
48842

DATE	ADDITIONS AND/OR REVISIONS
DESIGNED	BRC
DRAWN	BRC
CHECKED	DIU
APPROVED	TJS

DESIGNED	BRC
DRAWN	BRC
CHECKED	DIU
APPROVED	TJS



CITY OF MASON
WASTEWATER
TREATMENT PLANT
IMPROVEMENTS

JEFFERSON ST
LANDSCAPING PLAN

HRC JOB NO. 20210973	SCALE AS NOTED
DATE OCTOBER 2023	SHEET NO. C-202

NOTICE:
ALL EXISTING UTILITIES SHOWN ON THIS TOPOGRAPHIC SURVEY HAVE BEEN TAKEN FROM VISUAL OBSERVATION, AND RECORD MAPPING WHERE AVAILABLE. NO GUARANTEE IS MADE, OR SHOULD BE ASSUMED, AS TO THE COMPLETENESS OR ACCURACY OF THE UTILITIES SHOWN ON THIS DRAWING. PARTIES UTILIZING THIS INFORMATION SHALL FIELD VERIFY THE ACCURACY AND COMPLETENESS PRIOR TO CONSTRUCTION ACTIVITIES.

0 5 10 20
SCALE: 1" = 10'
SCALE IN FEET
FOR TRUE SCALE PLOT THIS
SHEET TO 34" X 22" PAPER SIZE



3 FULL WORKING DAYS
BEFORE YOU DIG
CALL MISS DIG
1-800-482-7171
Member utilities are required to locate their facilities at no charge to the caller.

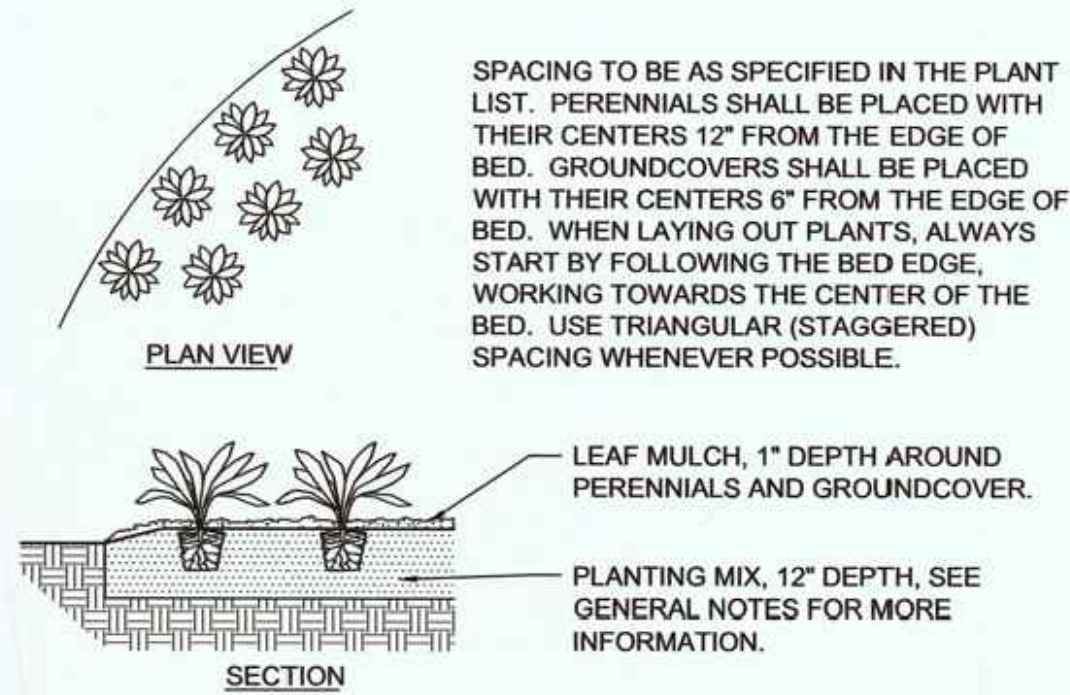
PLANT LIST				
KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE
JT	10	JUNIPORUS CH PFITZERCOMPACTA	COMPACT PFITZER JUNIPER	5 GAL
JS	10	JUNIPERUS CH SEA GREEN	SEA GREEN JUNIPER	5 GAL
DR	12	ROSA 'DRIFT' RED	RED GROUNDCOVER ROSE	3 GAL
DG	11	LEGMUS ARENARIUS	BLUE LYME GRASS	1 GAL
LM	15	LIPRIOPE MUS 'SILVER SUNPROOF'	SILVER SUNPROOF LIPRIOPE	1 GAL
RH	21	RUDBECKIA H. 'CHERRY BRANDY'	CHERRY BRANDY BLACKEYED SUSAN	1 GAL
SB	18	SPIRAEA J. 'LITTLE PRINCESS'	LITTLE PRINCESS SPRIAEA	5 GAL

ISSUED FOR
SITE PLAN
REVIEW

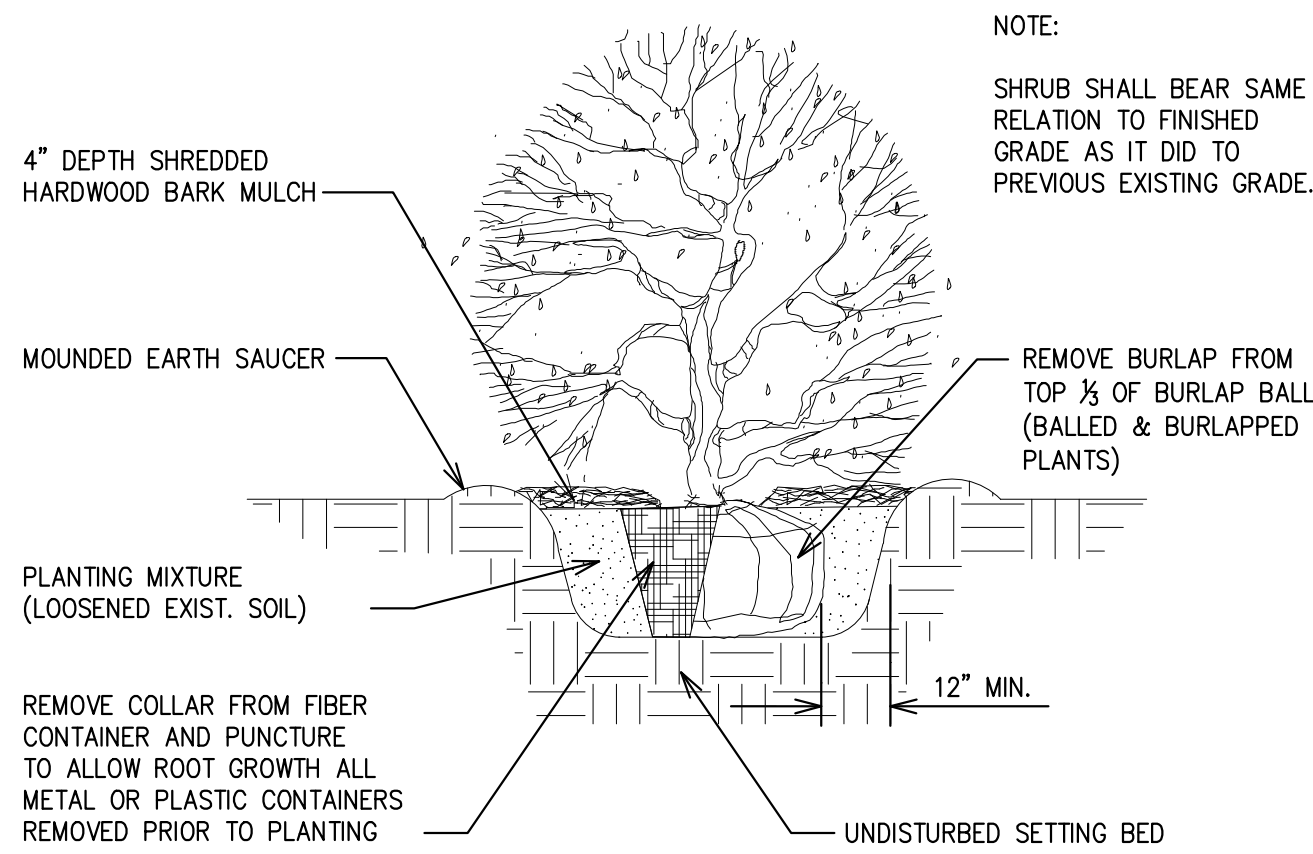
LANDSCAPE NOTES:

1. VERIFY ALL CONDITIONS ON SITE PRIOR TO COMMENCING CONSTRUCTION AND REPORT ANY DISCREPANCIES IMMEDIATELY TO THE ENGINEER OR OWNER.
2. VERIFY THE LOCATION OF ALL UNDERGROUND AND OVERHEAD UTILITIES AND SERVICES PRIOR TO COMMENCING WORK. CONTRACTOR IS RESPONSIBLE FOR ANY COST INCURRED DUE TO DAMAGED UTILITIES.
3. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES REFLECTED ON THE PLANT LIST. IF A DISCREPANCY EXISTS BETWEEN THE LIST AND THE PLAN, THE PLAN SHALL BE HELD VALID.
4. INSTALLATION AND SIZE OF ALL PLANT MATERIAL SHALL BE IN ACCORDANCE WITH THE STANDARDS SET FORTH BY THE 'AMERICAN NURSERY AND LANDSCAPE ASSOCIATION'.
5. THE LANDSCAPE CONTRACTOR SHALL CONTACT THE ENGINEER OR THE OWNERS REPRESENTATIVE PRIOR TO BEGINNING CONSTRUCTION. DISCREPANCIES BETWEEN THE PLANS AND ACTUAL SITE CONDITIONS SHALL BE RESOLVED AT THIS TIME.
6. THE LOCATION OF ALL PLANTS SHALL BE STAKED IN THE FIELD OR SCALED FROM THE DRAWINGS.
7. IF EXISTING GRADE IS RAISED BY OTHERS, THE CONTRACTOR SHOULD REVIEW MS WITH THE OWNER, THE LANDSCAPE OR FINAL GRADING AND SITE SURFACE BASINS ETC. NO LOW SPOTS THAT ED.
8. HE PLANS SHAI ND SMOOTHLY TELY AFTER IN:
9. ALL PLANTING BEDS SHALL HAVE A PRE-EMERGENT HERBICIDE, 'RONSTAR' (OR APPROVED EQUAL) APPLIED PER MANUFACTURER'S INSTRUCTIONS. SUBMIT LABELS TO THE PROJECT ENGINEER FOR APPROVAL.
10. MULCH CIRCLES FOR ALL TREES SHALL COVER THE ENTIRE PLANTING PIT. IF SOIL HAS HEAVY CLAY CONTENT, PLANTING THE TREE 6 INCHES HIGHER IS ACCEPTABLE. ADVISE THE ENGINEER PRIOR TO PLANTING.
11. SUBMIT SAMPLES OF MULCH, TOPSOIL, STONE, ETC. AS REQUIRED BY THE PROJECT ENGINEER.
12. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR SUPPLY AND PLACEMENT OF TOPSOIL PER SPECIFICATIONS.
13. ALL TREES SHALL HAVE CLAY LOAM ROOT BALLS. NO SAND BALLS WILL BE ACCEPTED.
14. DIG SHRUB PIT A MINIMUM OF 1 FOOT LARGER THAN SHRUB ROOT BALLS AND TREE PITS 2 FEET LARGER THAN ROOT BALLS. BACKFILL WITH TWO PARTS TOP SOIL, TWO PARTS SOIL FROM EXCAVATED PLANTING HOLE AND ONE PART PEAT. PLANT TREES AND SHRUBS AT THE SAME GRADE LEVEL AT WHICH THEY WERE PLANTED AT THE NURSERY. IF WET CLAY SOILS ARE EVIDENT, PLANT TREES AND SHRUBS HIGHER.
15. REMOVE ALL TWINE, WIRE AND BURLAP FROM THE TOP 1/3 OF TREE AND S EARTH BALLS AND FROM TREE TRUNKS. REMOVE ALL NON-BIODEGRADABLE ALKS PRIOR TO E ALL BUMPS AND
16. EXISTING LAWN FOUND TO BE IN POOR CONDITION MUST FIRST BE SPRAYED WITH 'ROUNDUP' (OR EQUAL) TO KILL THE EXISTING LAWN AND WEED AREAS. WAIT FOR A MINIMUM PERIOD OF SEVEN (7) DAYS FOR THE HERBICIDE TO TAKE EFFECT, THEN REMOVE ALL DEAD SOO AND WEEDS TO A MINIMUM OF FOUR (4) TO SIX (6) INCHES. NEW TOPSOIL TO ALL LAWN AREAS TO BE REPLACED. BACKFILL AND COMPACT
17. SHRUB BEDS ARE TO BE MULCHED WITH SHREDDED BARK MULCH TO A MINIMUM DEPTH OF 4 INCHES. ONLY NATURAL COLORED, SHREDDED HARDWOOD BARK MULCH WILL BE ACCEPTED.
18. UPON COMPLETION, ALL PLANT MATERIALS MUST BE PRUNED AND INJURIES REPAIRED. THE AMOUNT OF PRUNING SHALL BE LIMITED TO THE MINIMUM NECESSARY TO REMOVE DEAD OR INJURED TWIGS AND BRANCHES AND TO COMPENSATE FOR THE LOSS OF ROOTS FROM TRANSPLANTING. ALL CUTS SHALL BE MADE FLUSH, LEAVING NO STUBS.
19. EXISTING LAWN THAT THE OWNER INTENDS TO SAVE AND AREAS THAT ARE DAMAGED DURING CONSTRUCTION MUST BE INSPECTED BY THE OWNER TO DETERMINE VIABILITY. IF THE EXISTING LAWN IS FOUND TO BE LEVEL, HEALTHY, DENSE AND FREE FROM WEEDS, THE LAWN MAY NOT REQUIRE REPLACEMENT OR RENOVATION. IF RENOVATION IS REQUIRED OR IS PART OF THE APPROVED PLAN, THEN THE FOLLOWING REQUIREMENTS WILL APPLY:

LOCATE ALL UNDERGROUND UTILITIES PRIOR TO DIGGING. EXCAVATE ENTIRE PERENNIAL / GROUNDCOVER BED, AND BACKFILL WITH PLANTING MIX AS SPECIFIED. BED HEIGHT IS TO BE 2" ABOVE FINISH GRADE AND WELL DRAINED. MULCH LIMITS FOR PERENNIAL BEDS TO EXTEND TO ALL EDGES OF THE BEDS, SEE PLANS FOR BED LAYOUTS. SEE PLANT LIST FOR PLANT SPACING. GAPS BETWEEN PLANTS SHALL BE NO GREATER THAN THE SPECIFIED SPACING FOR THAT PARTICULAR PLANT.

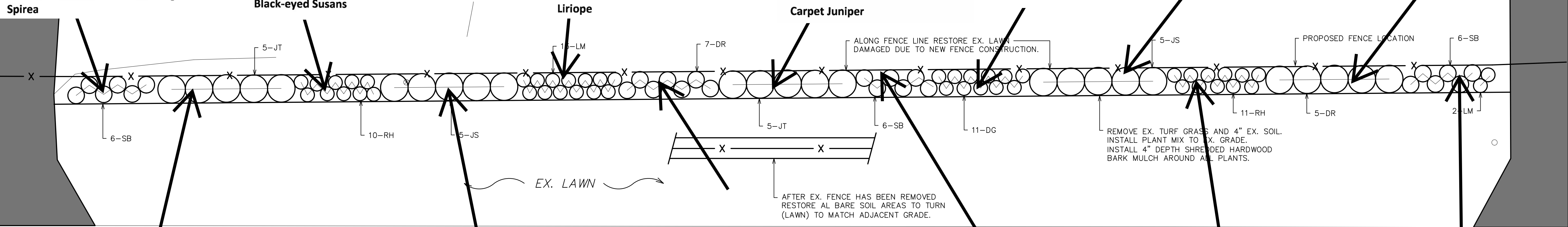


4 PERENNIAL AND GROUNDCOVER PLANTING DETAIL
NOT TO SCALE



SHRUB PLANTING
NO SCALE

22. BACKFILL DIRECTLY BEHIND CURBS AND ALONG SIDEWALKS AND COMPACT TO THE TOP OF CURB OR WALK TO SUPPORT VEHICLE AND PEDESTRIAN WEIGHT WITHOUT SETTLING.
23. THE CONTRACTOR AGREES TO WARRANTY ALL PLANTS FOR TWO (2) YEARS FROM THE TIME OF PLANTING AND FINAL INSPECTION BY THE OWNER'S REPRESENTATIVE.



Carpet Juniper

Spreading Juniper

Drift Rose

Spirea

Black-eyed Susans

Spirea

10
FEET

FOR THE SCALE PLOT THIS
SHEET TO 34" X 22" PAPER SIZE



CALL MISS DIU @
1-800-482-7171
Member utilities are required to locate
their facilities at no charge to the caller.

UTILIZ
THE ACCURACY AND COMPLETENESS PRIOR TO
CONSTRUCTION ACTIVITIES.



HRC
HUBBELL, ROTH & CLARK, INC
CONSULTING ENGINEERS SINCE 1915
2101 AURELIUS RD SUITE 2
ROLT, MI 48842
PHONE: (517) 694-7760
WEB SITE: [http:// www.hrcengr.com](http://www.hrcengr.com)



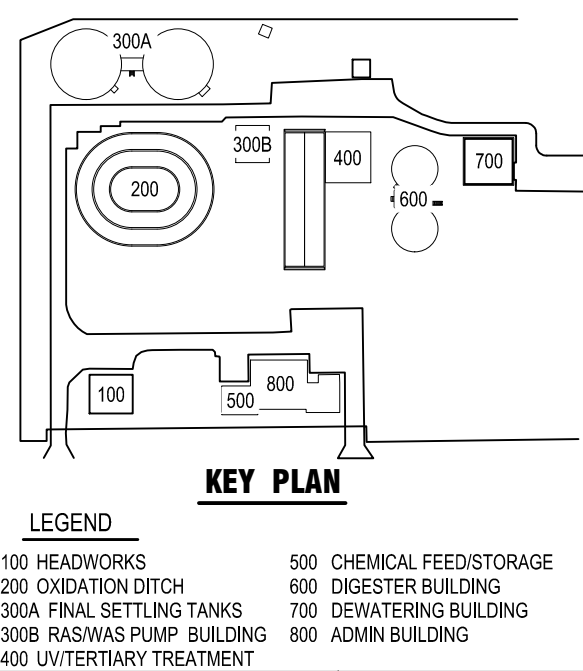
ADDITIONS AND/OR REVISIONS

BRC

BRC

DIU

APPROVED TJS



CITY OF MASON

WASTEWATER
TREATMENT PLANT
IMPROVEMENTS

JEFFERSON ST
LANDSCAPING PLAN

HRC JOB NO.

20210973

SCALE

AS NOTED

DATE

OCTOBER 2023

SHEET

C-202

PIPE RESTRAINT SCHEDULE

GROUND BURIED PRESSURE PIPE – POLYETHYLENE ENCASED DUCTILE IRON PIPE

PIPE DIAMETER	TEES, 90° BENDS	45° BENDS	22-1/2° BENDS	11-1/4° BENDS	DEAD ENDS	REDUCERS (ONE SIZE REDUCTION)*	REDUCERS (TWO SIZE REDUCTION)*
4	13	5	3	1	40	---	---
6	19	8	4	2	58	31	---
8	24	10	5	2	75	30	70
12	34	14	7	3	107	57	116
16	43	18	9	4	139	59	137
20	52	22	10	5	169	59	134
24	61	25	12	6	199	60	132
30	73	30	15	7	242	85	168
36	84	35	17	8	281	84	188

LENGTHS OF PIPE RESTRAINT ARE GIVEN IN FEET.

IF REQUIRED PIPE DIAMETER IS NOT LISTED IN THIS TABLE, THE NEXT LARGEST PIPE DIAMETER SHALL BE USED.

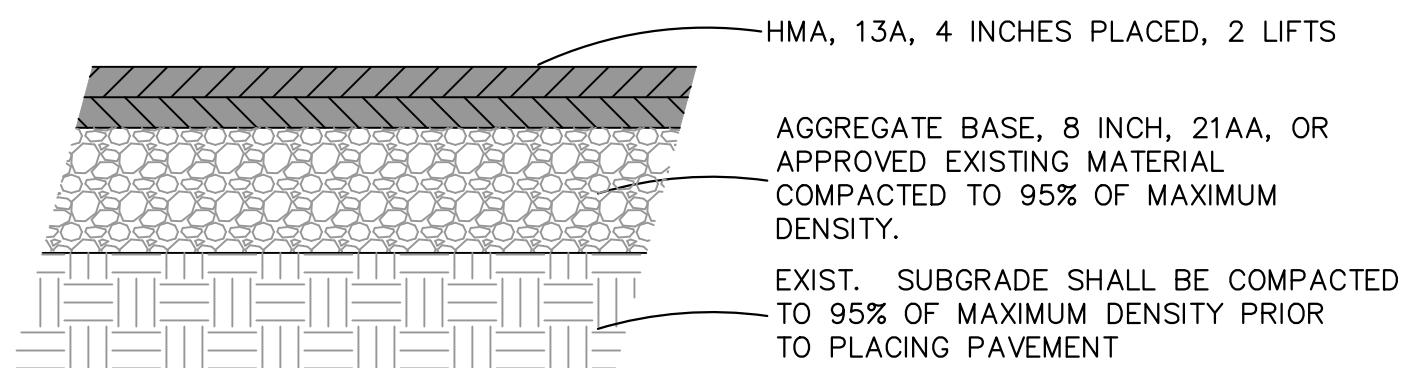
THIS TABLE IS BASED ON A TEST PRESSURE OF 180 PSI (OPERATING PRESSURE PLUS WATER HAMMER. FOR OTHER TEST PRESSURES, ALL VALUES TO BE INCREASED OR DECREASED PROPORTIONALLY.

THE VALUES PROVIDED OF RESTRAINT LENGTH ARE IN EACH DIRECTION FROM THE POINT OF DEFLECTION OR TERMINATION EXCEPT FOR TEES, AT WHICH ONLY THE BRANCH IN THE DIRECTION OF THE STEM.

* SIZE REDUCTION IS BASED UPON THE PIPE DIAMETER SHOWN IN THIS TABLE.

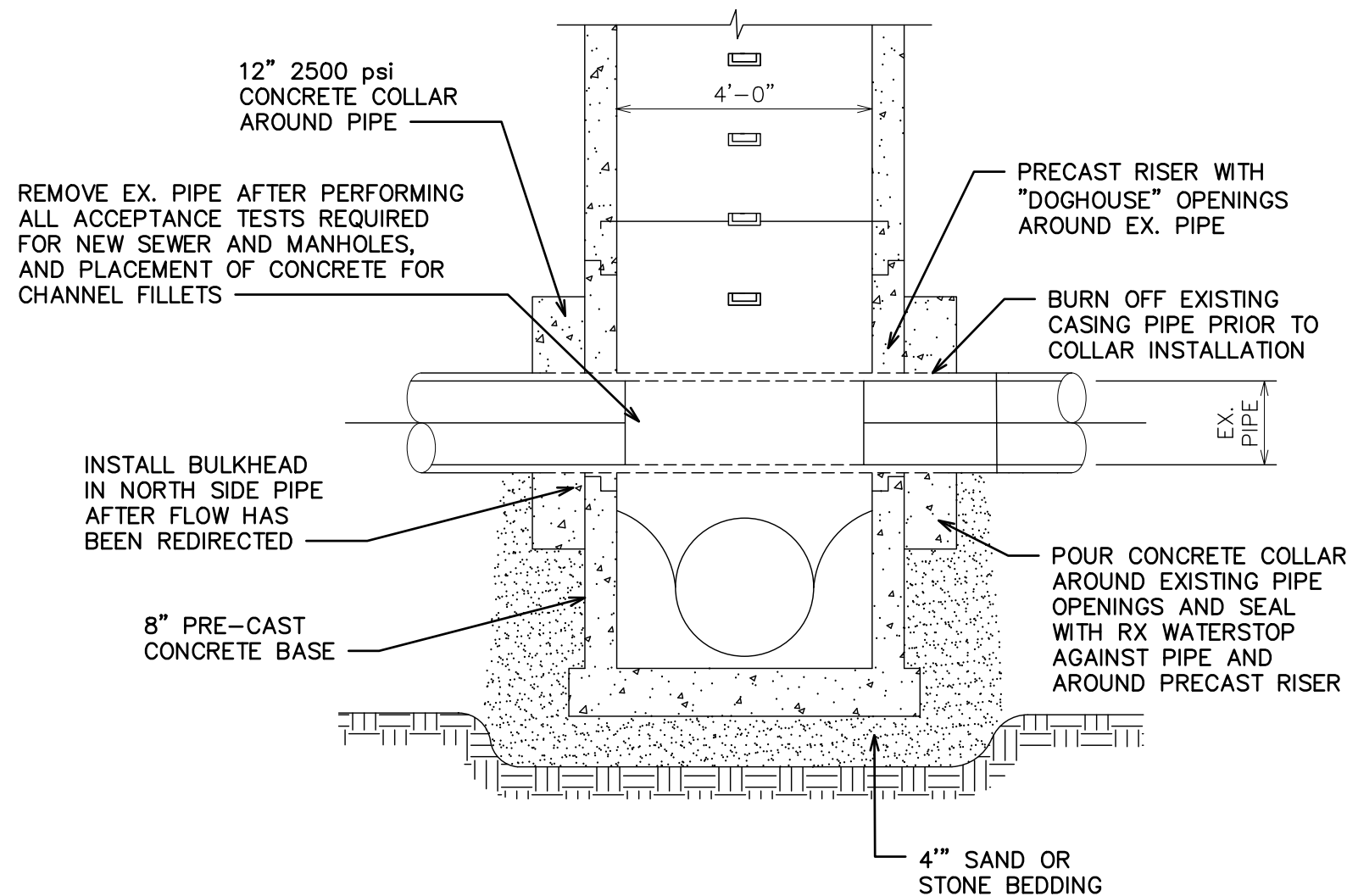
BASED UPON:

INTERNAL PRESSURE:	180
PIPE DEPTH:	5
BEDDING CLASS:	TYPE 4
SOIL TYPE:	GOOD SAND
SAFETY FACTOR:	2



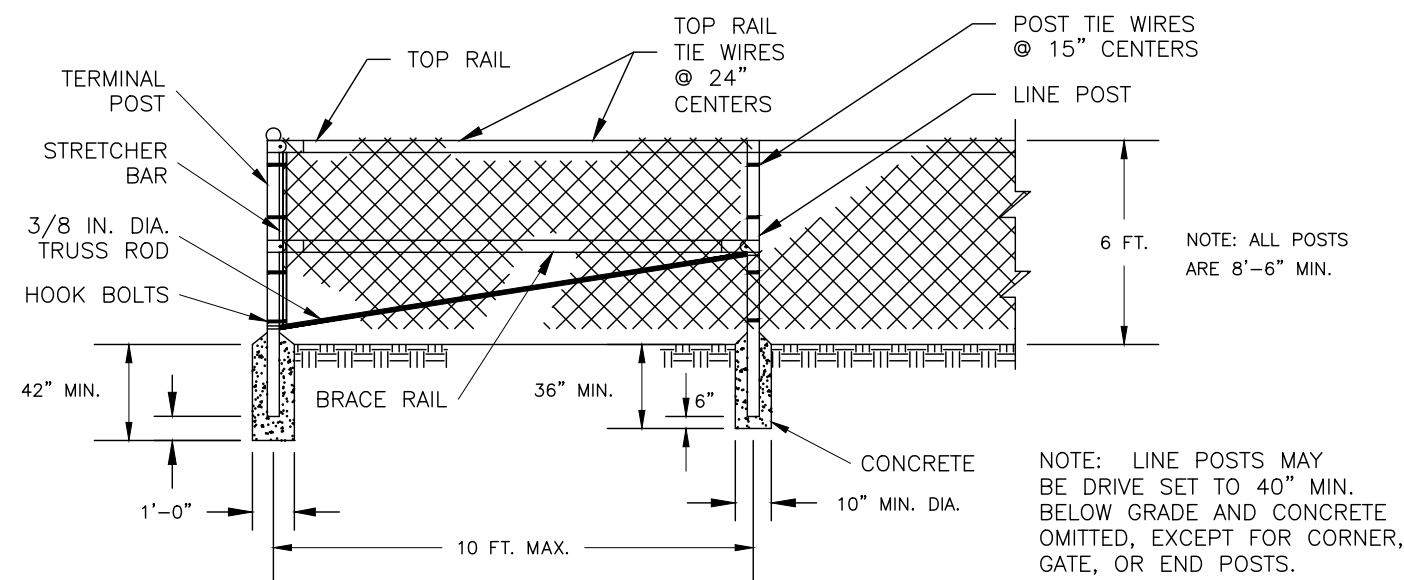
△ TYPICAL PROPOSED HMA SECTION

ITEM	RATE LBS PER SYD	PERFORMANCE GRADE	REMARKS
HMA, 13A	440	58-28	1.5" TOP COURSE 2.5" BASE COURSE
HAND PATCHING	275 MAX	58-28	
*BOND COAT	0.05-0.15 GAL	*ON GRAVEL AND BETWEEN LIFTS (IF WEARING COURSE IS NOT PAVED WITHIN 4 HOURS OF LEVELING COURSE)	



SPECIAL DOGHOUSE MANHOLE DETAIL

NOT TO SCALE

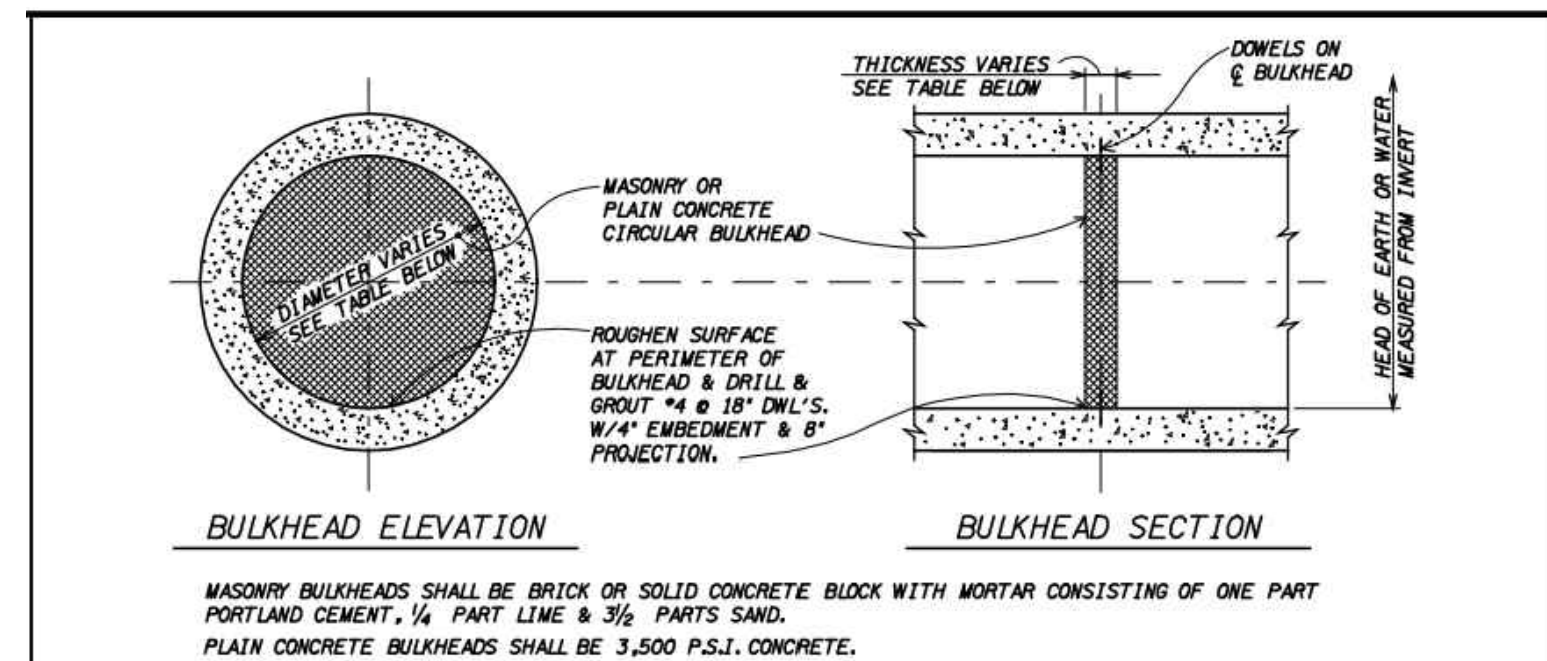


CHAIN LINK FENCE DETAIL

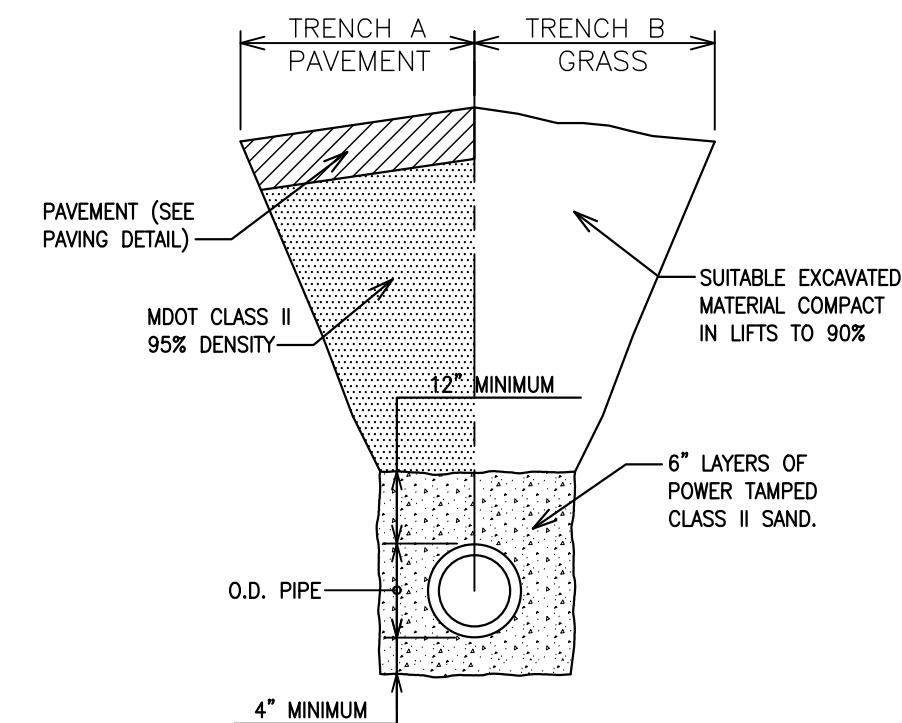
NO SCALE

CONSTRUCTION NOTES

1. MATERIALS AND WORKMANSHIP NOT SHOWN ON THIS DRAWING SHALL CONFORM TO THE MANUFACTURER'S SPECIFICATIONS.
2. ALL POSTS SHALL BE INSTALLED VERTICALLY. WHERE POSTS ARE INSTALLED ON AN INCLINED SURFACE, THE ANGLE OF THE POST SHALL BE ADJUSTED SO THAT THE POST WILL BE VERTICAL.
3. THE FENCING SHALL BE #9 GAGE FENCE FABRIC, STANDARD 2-INCH CHAIN LINK DIAMOND MESH.

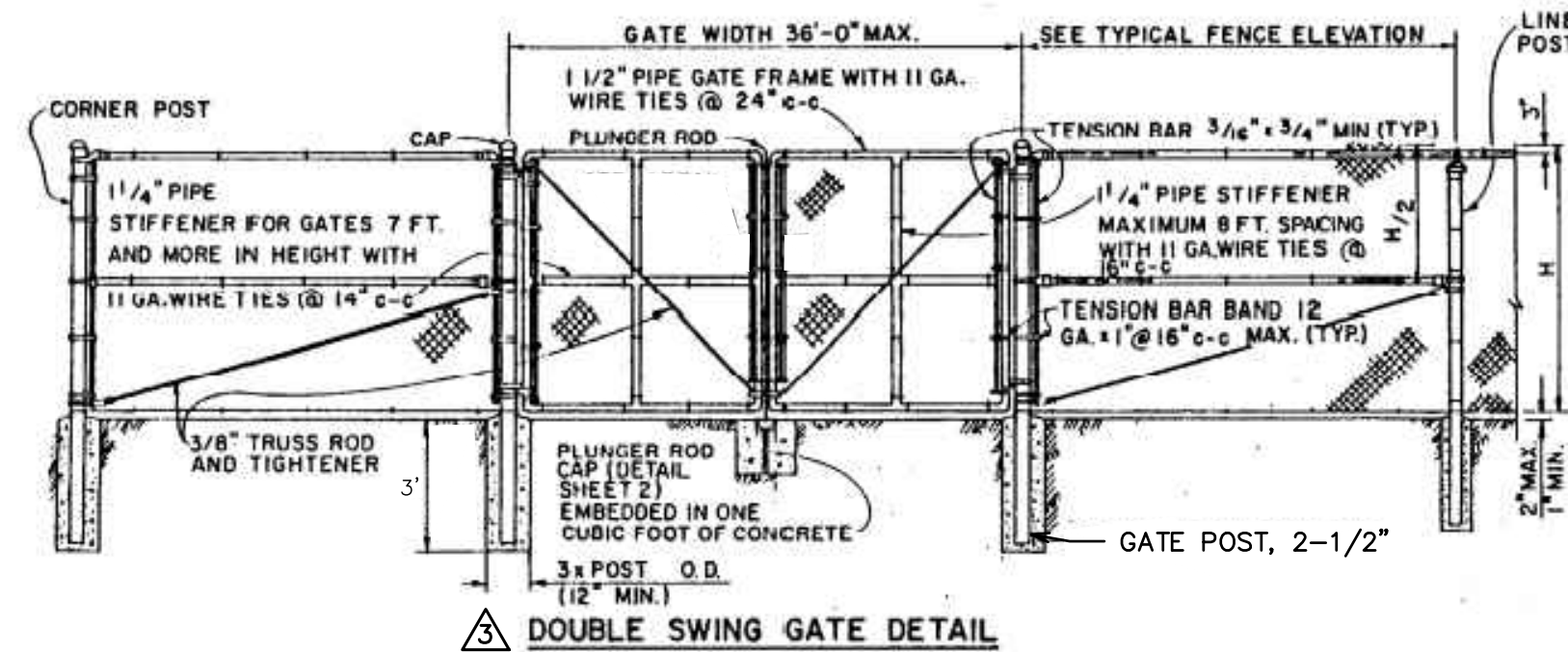


CIRCULAR SECTION DIAMETER (INCHES)	ALLOWABLE HEAD OF WATER ABOVE INVERT * (FEET)															
	MASONRY BULKHEAD THICKNESS (INCHES)								PLAIN CONCRETE BULKHEAD THICKNESS (INCHES)							
	8"	12"	16"	20"	24"	4"	6"	8"	10"	12"	14"	16"	18"	20"	22"	24"
36" & SMALLER	16	35	61	95	---	10	22	38	58	83	113	---	---	---	---	---

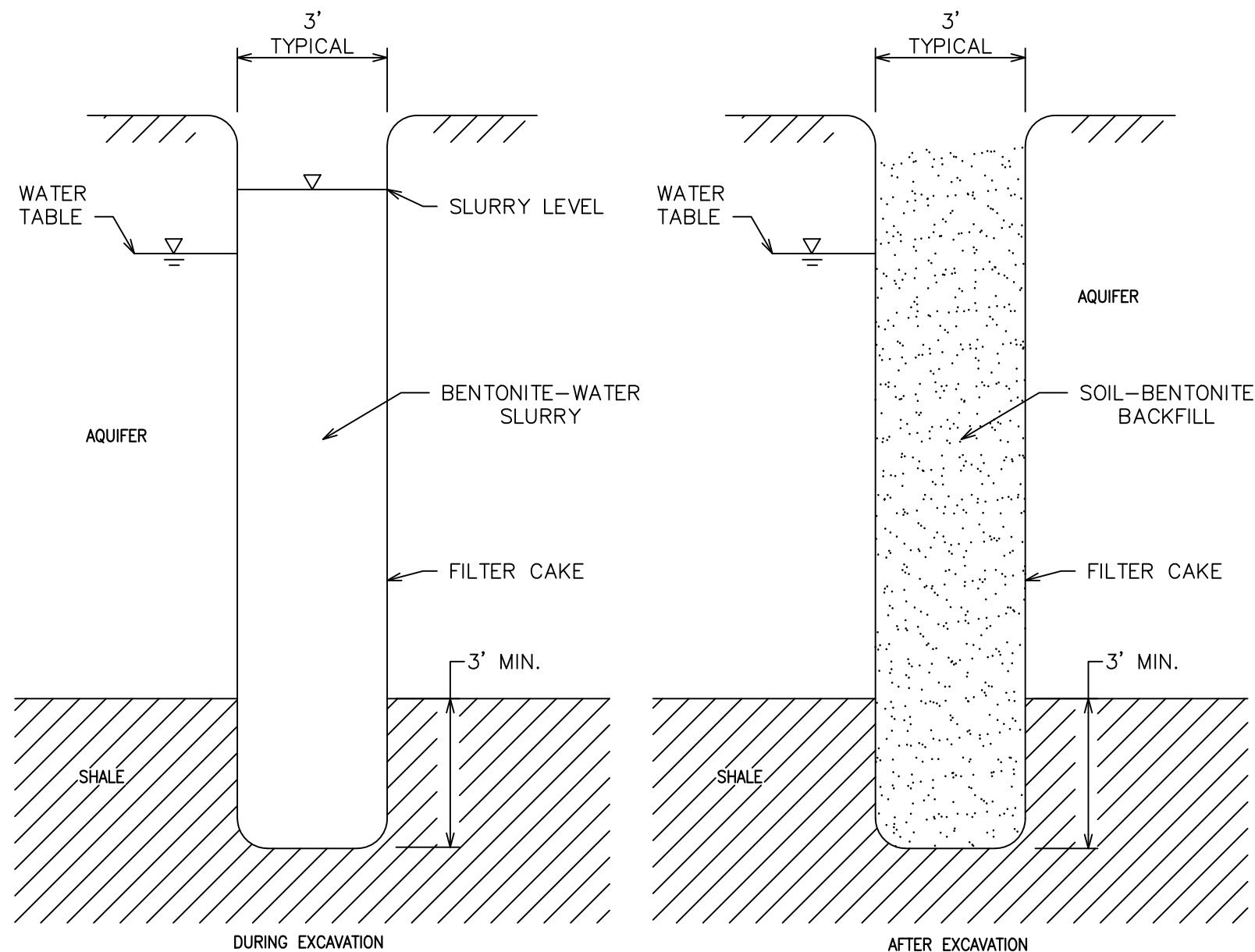


STANDARD PIPE BEDDING & TRENCH DETAIL

NOT TO SCALE

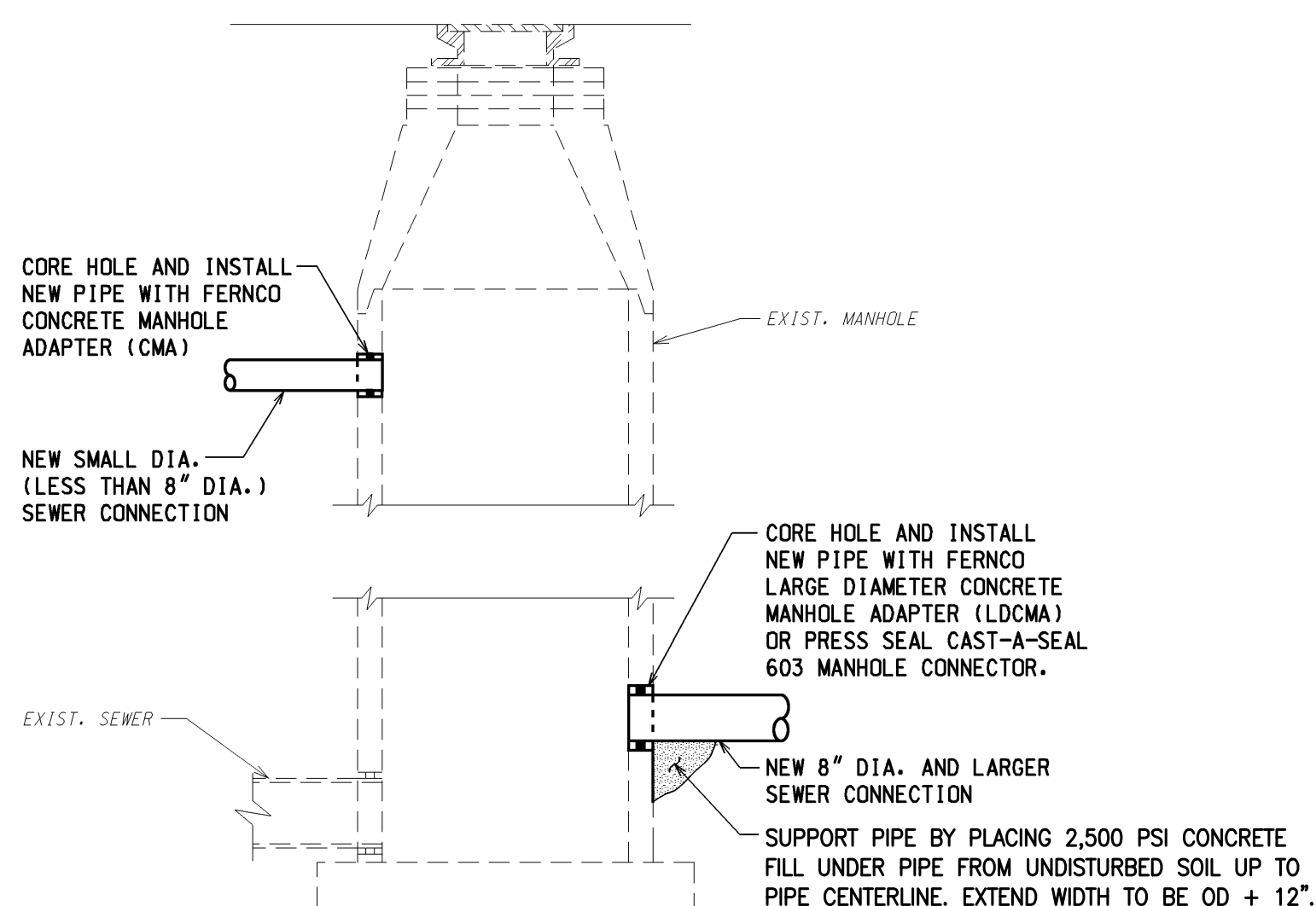


△ DOUBLE SWING GATE DETAIL



CUTOFF WALL DETAIL

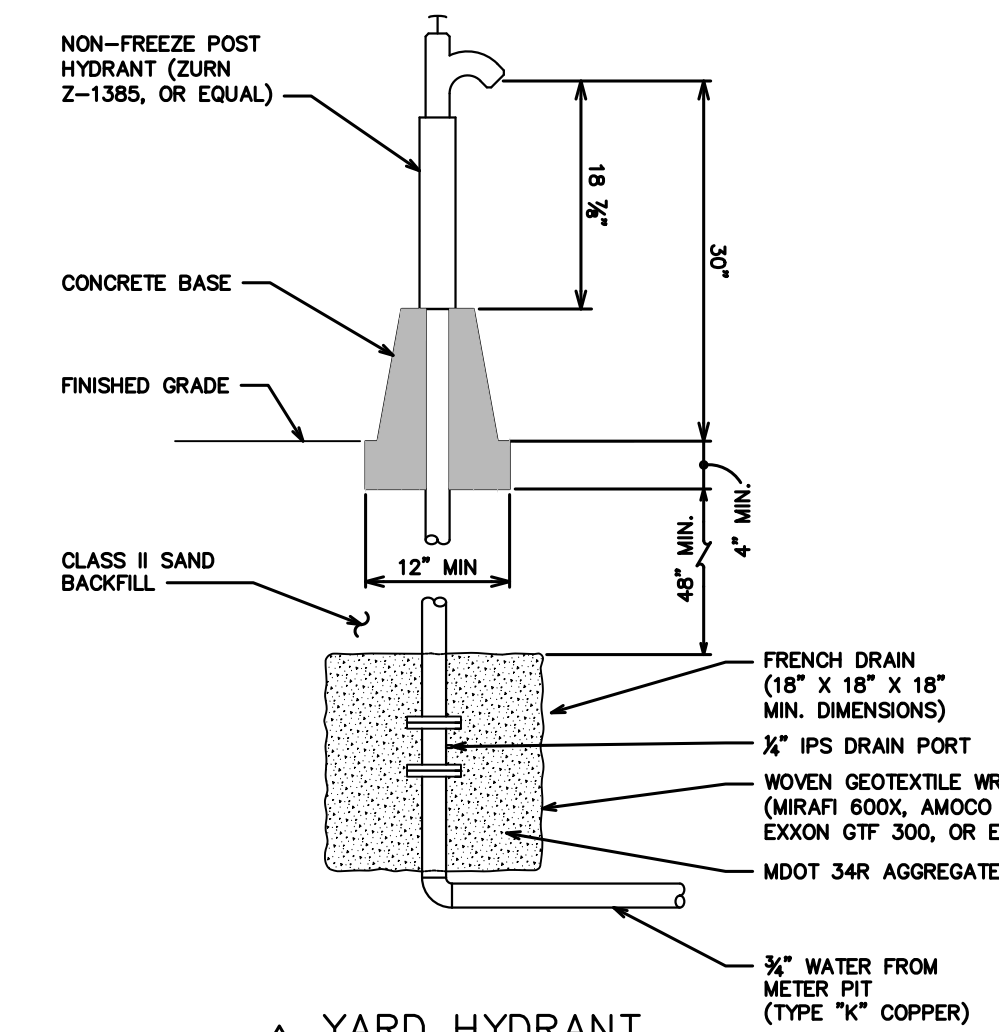
NOT TO SCALE



EXISTING MANHOLE CONNECTION DETAIL

NO SCALE

NOTE:
NEW PIPE OPENING MUST BE CORED. NO "BREAK-IN" OR "HAMMER" CONNECTIONS ALLOWED.



△ YARD HYDRANT

NO SCALE



HRC
HUBBELL, ROTH & CLARK, INC
CONSULTING ENGINEERS SINCE 1915
2101 AURELIUS RD SUITE 2
ROLT, MI 48842

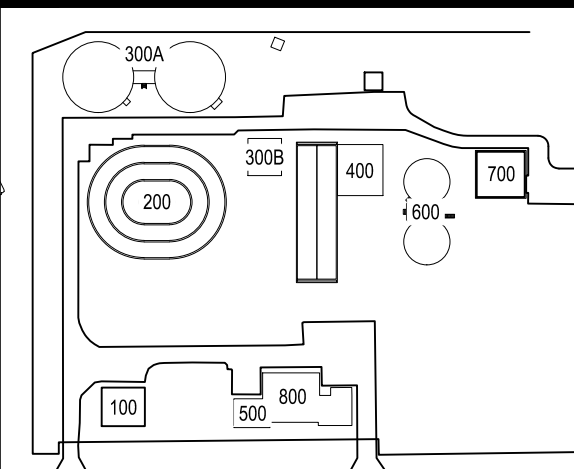
PHONE: (517) 694-7760



WEB SITE: [http:// www.hrcngr.com](http://www.hrcngr.com)

07-24-23	ISSUED FOR CONSTRUCTION
06-15-23	ADDENDUM NO. 3 △
05-12-23	ISSUED FOR BID
03-20-23	EGLE FINAL SUBMITTAL
01-23-23	DRAFT EGLE SUBMITTAL
12-02-22	ISSUED FOR 30% OWNER REVIEW

DATE	ADDITIONS AND/OR REVISIONS
DESIGNED	BRC
DRAWN	BRC
CHECKED	DIU
APPROVED	TJS



KEY PLAN

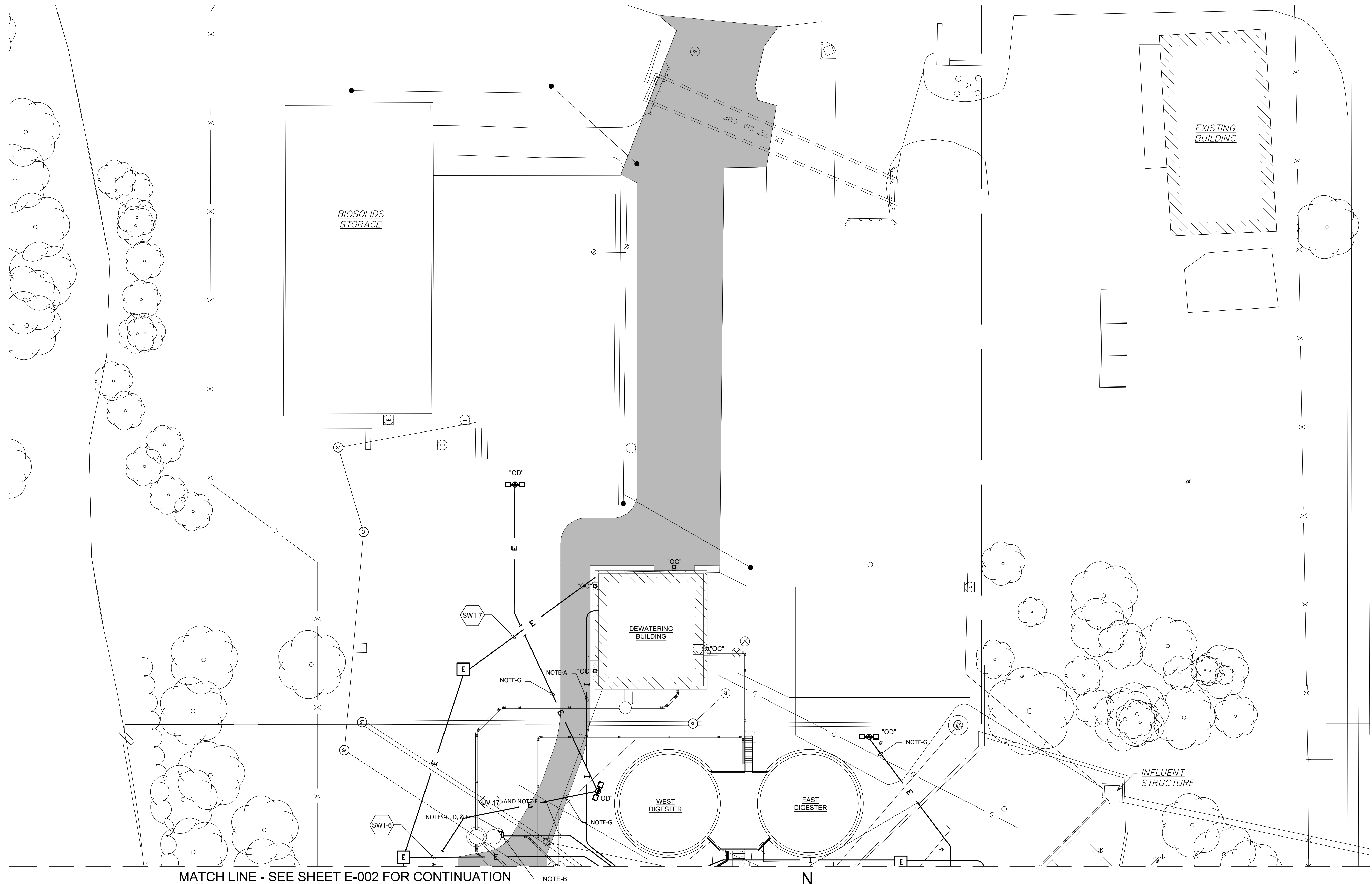
LEGEND

100 HEADWORKS	500 CHEMICAL FEED/STORAGE
200 OXIDATION DITCH	600 DIGESTER BUILDING
300A FINAL SETTLING TANKS	700 DENITRIFICATION BUILDING
300B RASWAS PUMP BUILDING	800 ADMIN BUILDING
400 UNIVERTARY TREATMENT	

CITY OF MASON WASTEWATER TREATMENT PLANT IMPROVEMENTS

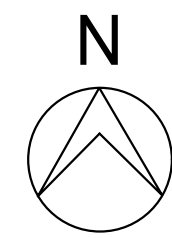
CIVIL DETAILS

HRC JOB NO. 20210973	SCALE AS NOTED
DATE JULY 2023	SHEET NO. C-901



MATCH LINE - SEE SHEET E-002 FOR CONTINUATION

ENLARGED NORTH ELECTRICAL
SITE PLAN
SCALE: 1" = 20'-0"



NOTES:

- A. 6-STRAND FIBER OPTIC CABLE, 1" C. G. 2-#8 + 1-#8 GRD., 1 1/4" C.
- B. PLANT DRAIN PUMP STATION CONTROL PANEL.
- C. 2 - 1 1/2" C. WITH 1-PUMP CABLE IN EACH, TO PLANT DRAIN WELL.
- D. FLOAT SWITCH CABLES, 1 1/2" C. TO WET WELL.
- E. LEVEL SENSOR CABLE, 1" C. TO WET WELL.
- F. 22-#14, 1" C. TO UV/TERTIARY SCADA CONTROL PANEL.

THIS ENTIRE SHEET IS REVISED AND
RE-ISSUED AS PART OF ADDENDUM
NO. 1



1" = 20'-0" 0 5 10 20 40

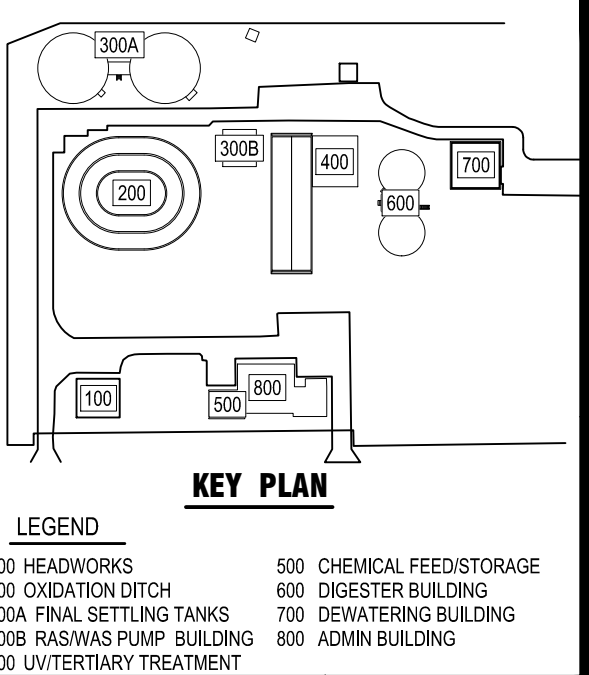
ORIGINAL PLOT SIZE: ANSI FULL BLEED D (34.00 X 22.00 INCHES)



HRC
HUBBELL, ROTH & CLARK, INC
CONSULTING ENGINEERS SINCE 1915
2101 AURELIUS RD SUITE 2
HOLT, MI 48842
PHONE: (517) 694-7760
WEB SITE: [http:// www.hrcengr.com](http://www.hrcengr.com)



07-24-23	ISSUED FOR CONSTRUCTION
05-23-23	ADDENDUM NO. 1
05-12-23	ISSUED FOR BID
DATE	ADDITIONS AND/OR REVISIONS
DESIGNED	RHW
DRAWN	ESM/RHW
CHECKED	DIU
APPROVED	TJS



CITY OF MASON
**WASTEWATER
TREATMENT PLANT
IMPROVEMENTS**

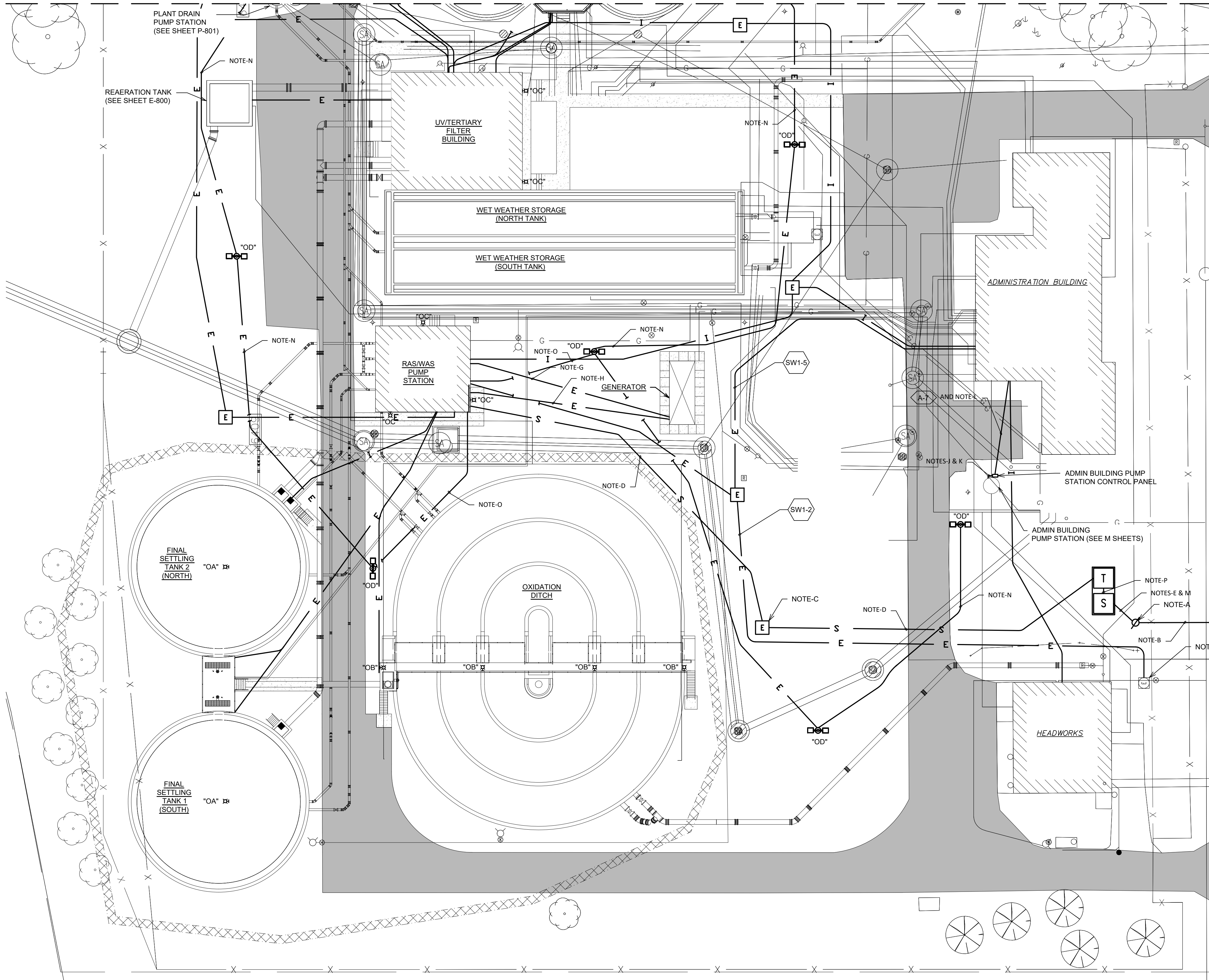
ENLARGED NORTH
ELECTRICAL SITE PLAN

HRC JOB NO. 20210973	SCALE AS NOTED
DATE JULY 2023	SHEET NO. E-003

MATCH LINE - SEE SHEET E-003 FOR CONTINUATION

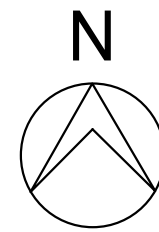
NOTES:

- A. NEW CONSUMER'S ENERGY UTILITY POLE.
- B. NEW OVERHEAD UTILITY WIRE.
- C. NEW MANHOLE. INSTALL ONE SLACK LOOP OF WIRE MINIMUM INSIDE MANHOLE.
- D. 3-4"C. WITH 3-600 KCMIL + 1-#2/0 GRD., IN EACH + 1-4"C. SPARE, EMPTY WITH PULL ROPE.
- E. 4-#1/0, (15KV CABLE) 4"C + 1-4"C. SPARE, EMPTY WITH PULL ROPE.
- F. 4-#12 + GRD., 1 1/2"C.
- G. 10-#10 + 5-#10 GRD., 1"C. TO LP-R + 8-#14, 1"C. TO RAS/WAS BUILDING SCADA CONTROL PANEL AND 20-#14, 1"C. TO GENERATOR REMOTE ANNUNCIATOR PANEL.
- H. 3-3"C. WITH 3-400KCMIL + 1-#2/0 GRD., IN EACH + 1-3"C. SPARE, EMPTY WITH PULL ROPE + 10-#12, 1"C. TO A.T.S. SWITCH.
- I. RE-USE CONDUIT FROM MANHOLE TO MANUAL TRANSFER SWITCH LOCATED IN THE HEADWORKS BUILDING. SEE SHEET E-101.
- J. 2 - 1 1/2" C. WITH 1-PUMP CABLE IN EACH, TO PLANT DRAIN WELL WELL.
- K. FLOAT SWITCH CABLES, 1 1/2"C. TO WET WELL.
- L. 2-#14, 1"C. TO CHEMICAL BUILDING SCADA CONTROL PANEL.
- M. ROUTE NEW 15KV WIRE UP TO CONNECTION POINT ON UTILITY POLE.
- N. 2-#8 + 1-#8 GRD., 1 1/4"C.
- O. 2-#8 + 1-#8 GRD., 1 1/4"C. TO LIGHTING CONTACTOR IN RAS/WAS PUMP BUILDING.
- P. 3-#1/0 + 1-#6 GRD., (15KV CABLE), 4"C. + 1-4"C. SPARE, EMPTY WITH PULL ROPE.



ENLARGED SOUTH ELECTRICAL
SITE PLAN
SCALE: 1" = 20'-0"

THIS ENTIRE SHEET IS REVISED AND
RE-ISSUED AS PART OF ADDENDUM
NO. 1



1" = 20'-0" 0 5 10 20 40



HRC
HUBBELL, ROTH & CLARK, INC
CONSULTING ENGINEERS SINCE 1915
2101 AURELIUS RD SUITE 2
HOLT, MI 48842
PHONE: (517) 694-7760
WEB SITE: [http:// www.hrcengr.com](http://www.hrcengr.com)

07-24-23	ISSUED FOR CONSTRUCTION
05-23-23	ADDENDUM NO. 1
05-12-23	ISSUED FOR BID
DATE	ADDITIONS AND/OR REVISIONS
DESIGNED	R.H.W.
DRAWN	E.S.M./R.H.W.
CHECKED	D.I.U.
APPROVED	T.J.S.

KEY PLAN

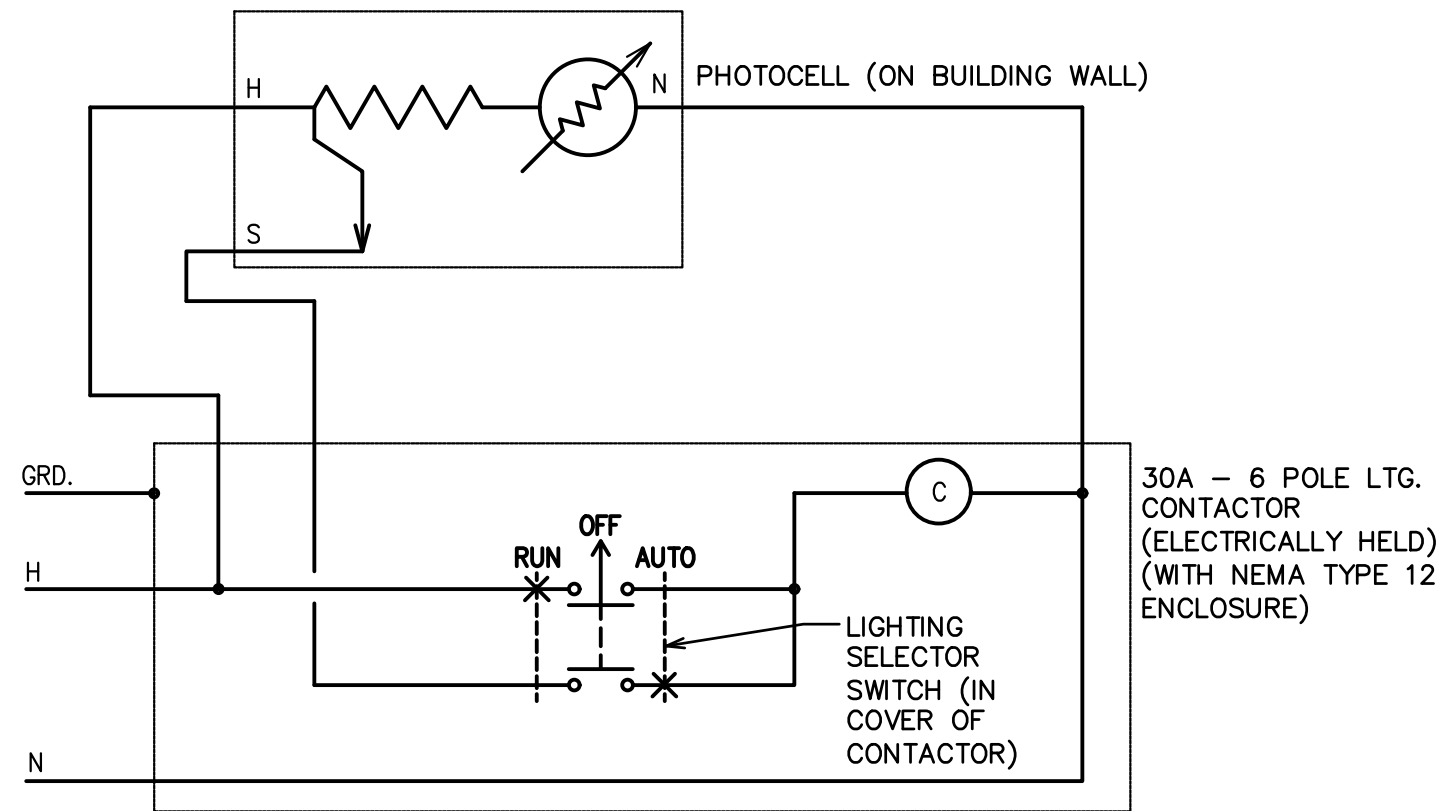
LEGEND

100 HEADWORKS	500 CHEMICAL FEED/STORAGE
200 OXIDATION DITCH	600 DIGESTER BUILDING
300A FINAL SETTLING TANKS	700 DETERGENT BUILDING
300B RAS/WAS PUMP BUILDING	800 ADMIN BUILDING
400 UV/TERTIARY TREATMENT	

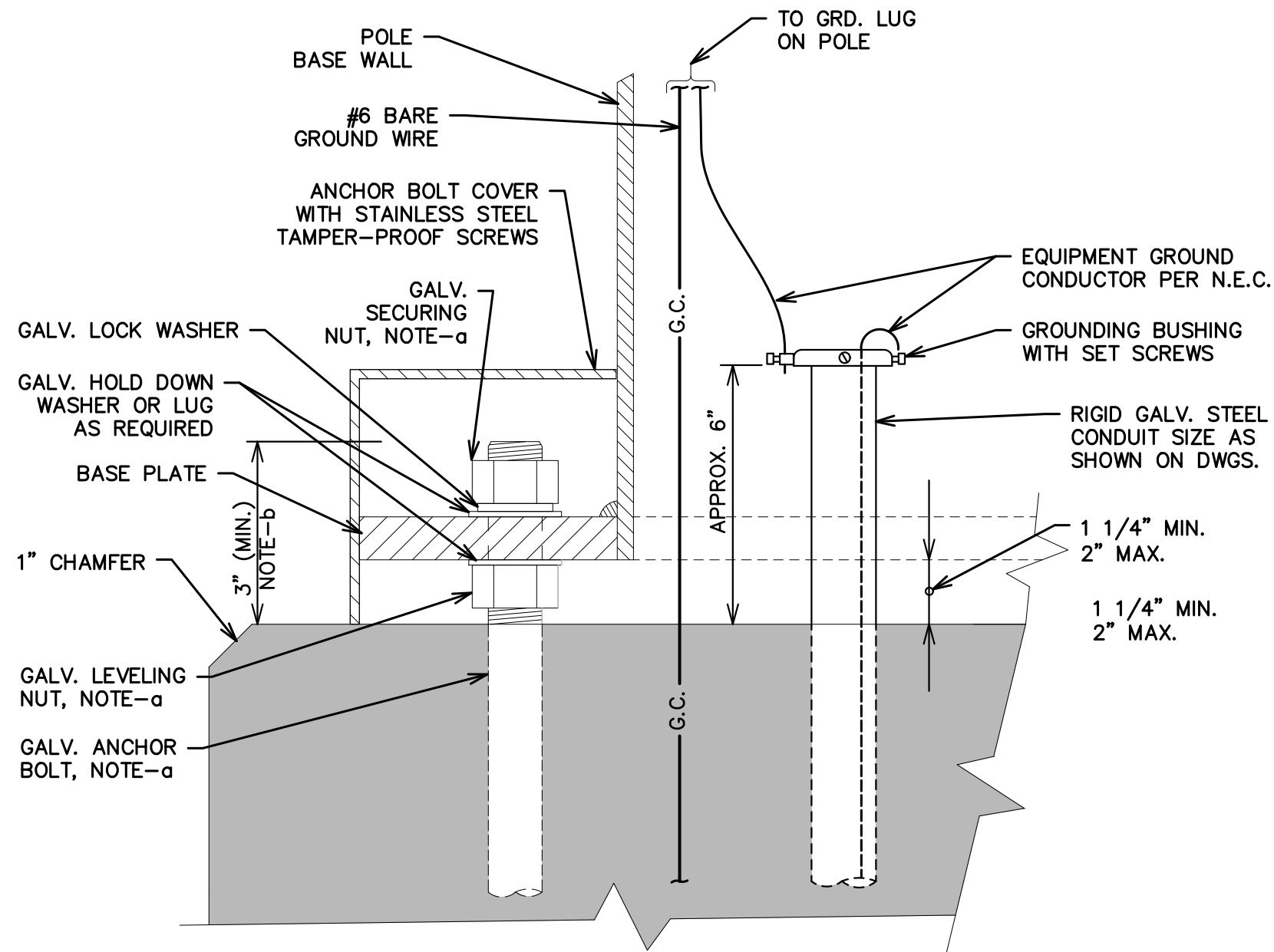
CITY OF MASON
**WASTEWATER
TREATMENT PLANT
IMPROVEMENTS**

ENLARGED SOUTH
ELECTRICAL SITE PLAN

HRC JOB NO. 20210973	SCALE AS NOTED
DATE JULY 2023	SHEET NO. E-004



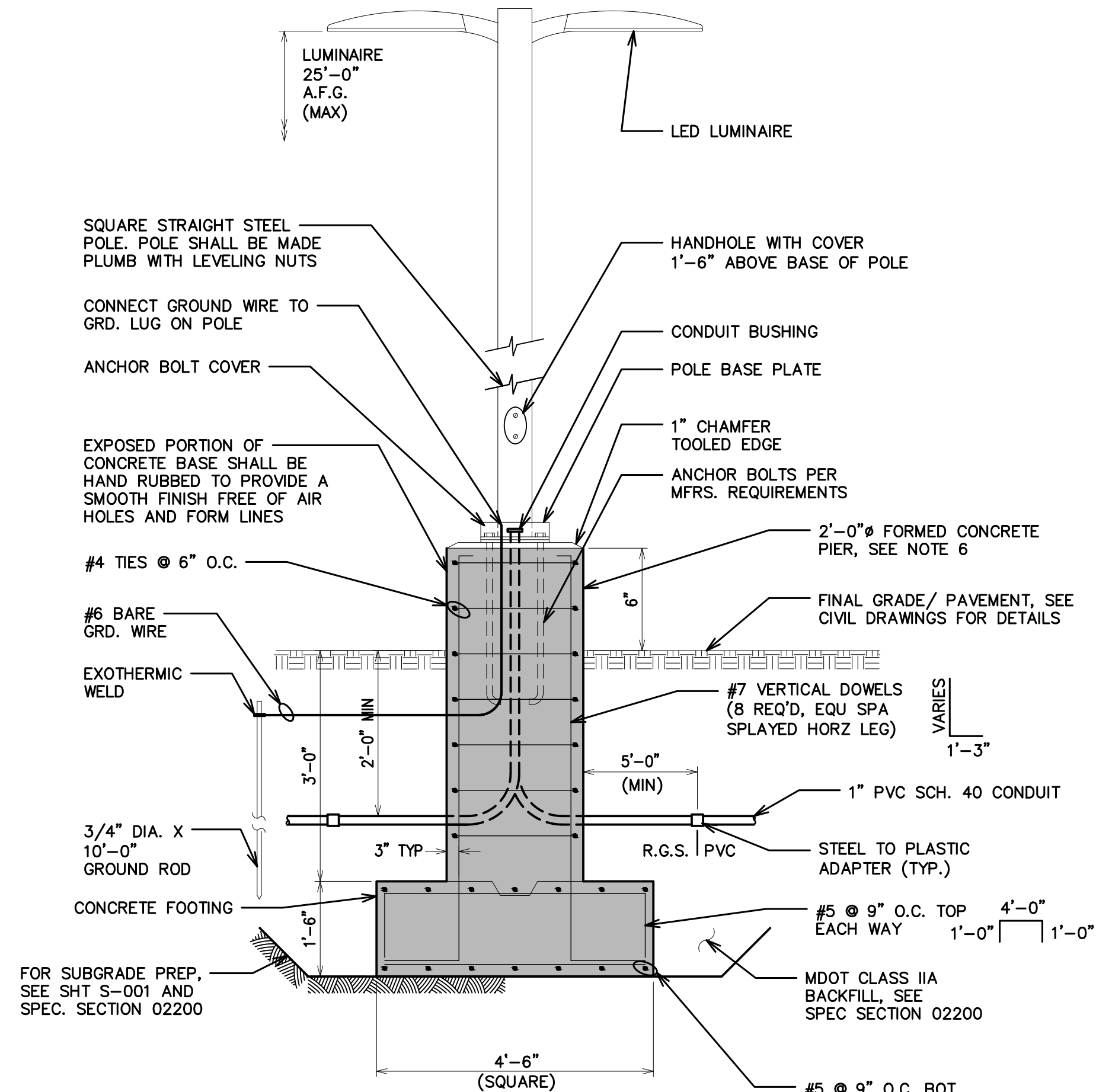
SITE LIGHTING
CONTROL DIAGRAM



POLE BASE CONNECTION DETAIL

N.T.S.

- PROVIDE ANTI-SEIZE COMPOUND ON ALL THREADS PRIOR TO POLE & TRANSFORMER BASE INSTALLATION.
- PROVIDE TEMPLATE & ANCHOR BOLT PROJECTION.

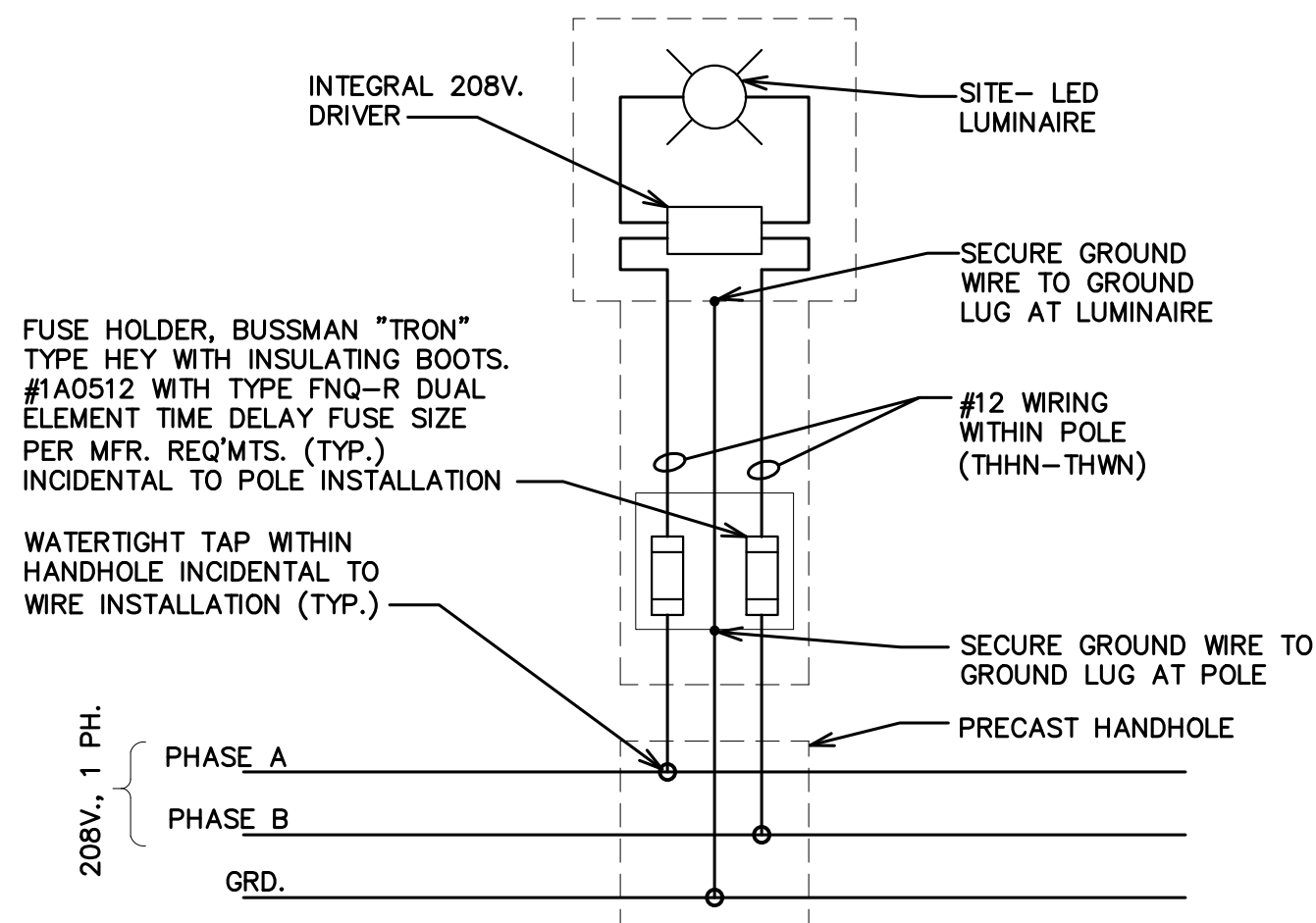


TYPE "OD" LIGHT STANDARD
FOUNDATION DETAIL

N.T.S.

LIGHT STANDARD FOUNDATION NOTES:

- MDOT STANDARD SPEC TABLE 1004-1 FOR CONCRETE GRADE 4000. SEE REINFORCED CONCRETE NOTES ON SHT S-001.
- CONCRETE SLUMP SHALL BE BETWEEN 5 AND 7 INCHES.
- FOUNDATION SHALL BE CONSTRUCTED WITH SPREAD FOOTINGS. DRILLED PIER FOUNDATIONS ARE NOT PERMITTED.
- FOR SUBGRADE PREPARATION AND BEARING CAPACITY TESTING, SEE SHT S-001,
- ALL PORTIONS OF FOUNDATION SHALL BE FORMED. POURING DIRECTLY AGAINST EARTH IS NOT PERMITTED.
- THE USE OF A SONOTUBE FORM IS PERMITTED FOR THE FORMING OF THE CONCRETE PIER PORTION OF THE FOUNDATION ABOVE THE SPREAD FOOTING. THE SONOTUBE FORM IS TO BE STRIPPED FROM THE PIERS AFTER CURE.
- CAST-IN-PLACE ANCHOR BOLT LOCATIONS SHALL BE DRY-FIT WITH LIGHT STANDARD BASE PLATE PRIOR TO PLACING FOUNDATION CONCRETE. BASE PLATE CANNOT BE MODIFIED IN THE FIELD TO FIT ANCHOR BOLT LOCATION. POST INSTALLED EPOXY ANCHORS ARE NOT PERMITTED.
- VERTICAL PORTION OF CONCRETE FOUNDATION SHALL BE PLACED IN ONE CONTINUOUS POUR.
- CONCRETE SHALL BE PLACED USING THE THE FREE-FALL METHOD. DIRECT CONCRETE FLOW TO AVOID HITTING THE SIDES OF EXCAVATION AND REINFORCEMENT CAGE.
- CONCRETE SHALL BE THOROUGHLY VIBRATED WITH MECHANICAL VIBRATOR IN ACCORDANCE WITH MDOT STANDARD SPEC. SECTION 706.03.H.1.
- REINFORCING CAGE SHALL BE TIED, WELDING OF REINFORCING CAGE SHALL NOT BE PERMITTED. SUBMIT DETAILED STEEL REINFORCEMENT SHOP DRAWINGS FOR ENGINEERS APPROVAL PRIOR TO FABRICATION.
- DO NOT STRIP FORMS OR BACKFILL UNTIL CONCRETE HAS ATTAINED AT LEAST 75% OF THE SPECIFIED 28 DAY COMPRESSIVE STRENGTH, AS DETERMINED BY FIELD CURED CYLINDERS.
- DO NOT INSTALL POLE AND LUMINAIRE UNTIL CONCRETE HAS ATTAINED THE FULL SPECIFIED 28 DAY COMPRESSIVE STRENGTH, AS DETERMINED BY FIELD CURED CYLINDERS.
- FOR FOUNDATION LOCATIONS, SEE SHT E-002.



TYPICAL POLE WIRING DIAGRAM

240V., 1 PHASE

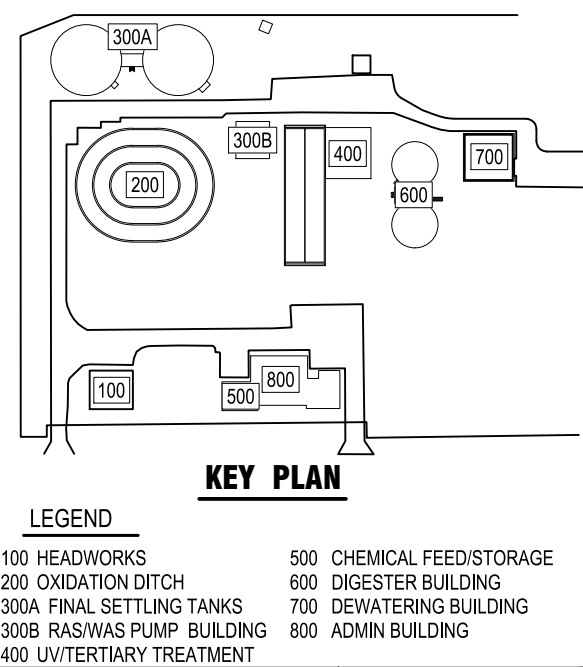
NO SCALE

THIS ENTIRE
SHEET IS NEW
AS PART OF
ADDENDUM
NO. 1



HRC
HUBBELL, ROTH & CLARK, INC
CONSULTING ENGINEERS SINCE 1915
2101 AURELIUS RD SUITE 2
ROLT, MI 48842
PHONE: (517) 694-7760
WEB SITE: [http:// www.hrcengr.com](http://www.hrcengr.com)

07-24-23	ISSUED FOR CONSTRUCTION
05-23-23	ADDENDUM NO. 1
DATE	ADDITIONS AND/OR REVISIONS
DESIGNED RHW	
DRAWN RHW	
CHECKED DIU	
APPROVED TJS	



CITY OF MASON
**WASTEWATER
TREATMENT PLANT
IMPROVEMENTS**

MISCELLANEOUS
MOUNTING DETAILS

HRC JOB NO. 20210973	SCALE NO SCALE
DATE JULY 2023	SHEET NO. E-914



City Manager's Report: September 29, 2023

IMPORTANT DATES

- October 7, 2023: **City of Mason Open House**, 10 am - 2 pm at City Hall Parking Lot and James M. Pelton Memorial Fire Station

OPERATIONS

- **Storm Recovery:** City clean up continues. Update below:
 - Debris Clean-up at Properties ROW: Complete.
 - Private property damage assessments: Completed with FEMA staff.
 - Removal of loose limbs/ trees that are in the City ROW: In Process. We have already identified over 40 trees that need to be removed and this will be a long process.
 - Clean-up of Riverwalk Trail, Parks, and Cemetery: In Process. Staff is working on clean-up as time allows.
- **Large Donations for Library Project** (Council approved fundraising project):
 - A \$10,000 donation was received from Debbie Zielinski
 - A \$2,500 donation was received from the Mason Optimist Club
- **Trainings:**
 - Finance Director/Treasurer Pietsch and Accountant Powless attended the Michigan Municipal Treasurer's Fall Conference September 25-27.
 - School Resource Officer (SRO) Demo attended National Association of School Resource Officers (NASRO) Basic SRO Course September 18-22. He officially started his assignment at the Mason Public Schools on September 25.
 - Chief Wriggelsworth and Officer Thompson attended a presentation on Active Assailant Debriefs on September 22. The MSU Chief of Police gave a 2-hour presentation on the MSU shootings and lessons learned.
 - Officer Wildfong, Officer Chick, Officer Bradley, and Officer Collier attended CRICS (Capital Region Integrated Critical Skills) on September 26.
- **Staffing Updates:** Current Open Positions (2)
 - A Swearing In Ceremony took place on September 26 for Officer Collier. A Mason resident that brings over five years of policing experience to the position.

OPEN POSITIONS:

- Full-Time Police Officer (1) – Offer has been made and accepted and pre-employment screenings are currently being conducted.
- Utility Supervisor (1) – Internal Foreman posting being prepared.
- Seasonal Part-time Crossing Guard (1) - Open until filled.

CAPITAL IMPROVEMENT PROGRAM PROJECTS*Removed after one notice of complete.*

FY 2023-2024			
Project	Project Name/Description	Status	Completed
STREETS, BRIDGES, SIGNALS(S)			
2017-S14/ 2017-U27	E Cherry St: S Rogers St to End	In process, anticipate completion early October	
2017-S16	Maple Street Bridge: Replacement	3Q project (rebiting)	
2023-S1	E Cherry St South Alley: S Jefferson St to S Rogers St	In process, anticipate completion early October	
UTILITIES: SANITARY SEWER, STORM WATER, AND WATER DISTRIBUTION (U)			
2019-U3b	WWTP Plant Construction	Site plan has been submitted for consideration. Parcels need to be combined to meet site plan requirements. Contractor trailers are on site with demolition anticipated to start in mid-October. Staff are in the process of relocating items to storage containers to allow for the required demolition.	
2022-U1	WWTP Headworks Huber Screen	3Q Project	
2023-U2	Water Service Line Replacement	13 properties have been identified and staff is working to finalize required paperwork with individual property owners to start work.	
2023-U3	Hunting Meadows/ Stag Thicket Valve	In progress, paving at same time as E. Cherry.	
2023-U4	South Water Tower Chlorine Analyzer	On order, anticipate 4–6-month lead time.	
PARKS/ CEMETERY/ FORESTRY/ NONMOTORIZED (P)			
2020-P1	Columbia Bridge: Non-Motorized Connect	Pre-Construction held; work planned to occur 10/2-10/20. Property owners notified (attached). Grant amendment request has been submitted to Ingham County.	
2020-P3	Hayhoe Riverwalk Trail – Eval. & Repair	Notice of Award completed, scheduling pre-construction meeting, planned to be completed this calendar year.	
2020-P4	Hayhoe Riverwalk Trail: Trail Wayfinding Signage	3Q Project	
2020- P6/ 8/12/13/1 4	Plan/ Design-Rayner, Lee Austin, Bond, Hayes Parks	Updating plans per Council direction.	
2020-P9	DDA: Downtown Wayfinding Signage	3Q Project	
2020-P11	Rayner Park- Phase 1 Construction	Site plan and play equipment options are available for review - here . DNR meeting to discuss project and requirements of bid document. Documents are being prepared for winter bidding.	
2020-P15	Jefferson Trailhead/ Comm Garden	PC approved site design on Sept 12th. Notice of Award completed, scheduling pre-construction meeting, planned to be completed this calendar year. Grant amendment request has been submitted to Ingham County.	
2020-P21	Hayes Park: Capital Improvements	3Q Project, will be requesting action by Council on prioritization.	
2022-P1	Maple Grove Cemetery: Columbarium	Delivered, waiting for benches anticipated mid-Oct.	
2022-P2	Maple Grove Cemetery: Trash Receptacles/ Section Signs	2Q Project, in coordination with cemetery board, selecting signs for trash receptacles.	

2023-P3	DDA: Tree Replacement	DDA awarded bid for replacement. While originally planned for this fall, after speaking with contractor it was decided to replace trees in Spring, to allow for full lighting over the holidays and all species to be available.	
MOTOR VEHICLE POOL (MVP)			
2017-MVP18	Vehicle No. 24	Dump/Plow Truck	Ordered, receipt anticipated in 2024
2018-MVP3	Vehicle No. 84	Police Patrol	Anticipate being able to order by November
2019-MVP6	Vehicle No. 802	Fire Expedition	Ordered
2022-MVP5	Equip. No. 37	Public Works Gator	Ordered; anticipated arrival in November
2023-MVP1	Vehicle No. 88	New Police Patrol	Anticipate being able to order by November
BUILDING, PROPERTY, EQUIPMENT (B)			
2017-B5b	Building: Library Phase 1, Part 1	Work and grant for Zone A (new bathrooms and replacement ramp) is being closed out. The remaining interior work expected to be finished by Dec. Updated estimates were received, and exterior work has a funding gap that is currently over \$200,000. CADL/City are continuing to apply for a grant to fill the gap and plan to launch a local fundraising campaign in Oct/Nov.	
2018-B23	Planning: Master Plan/Zoning Update	Master Plan is adopted and can be found here, communication will be sent to residents on results in next few weeks. Zoning updates are in progress, staff will start coordinating meeting schedules with the committee.	
2018-B23a	Cedar/127 Corridor Sub-area Plan	Staff is finalizing the scope. Bids expected to be released by October.	
2019-B2b	City Hall Renovations: Phase 1 /Carpet	3Q Project	
2019-B8	Police: Car Port (7-Car Unit)	3Q Project	
2020-B4	DPW: Facility Design Build	Preparing bid package, staff anticipates bidding in Oct/ Nov.	
2022-B1	Ordinance Update: Planning, Subdivision, Signs, STR	3Q Project	
2023-B1	City Hall: HVAC Controls Replacement	In Progress	
2023-B3	Police: Taser Replacement	Council approved September 18 and ordered	
2023-B4	Planning: Public Participation Plan & Communication Strategy	3Q Project	

ACTIVE PROJECTS STATUS UPDATES (PROJECTS NOT COORDINATED BY THE CITY)

Project Name	Status
345 N. Jefferson St. Wastewater Treatment Plant Pending	The Planning Commission will consider a request from Hubbell, Roth, & Clark, on behalf of the City of Mason, for concurrent approval of a Preliminary and Final Site Plan for the construction of new facilities and buildings, demolition of existing facilities, and other site improvements at their regular meeting on October 10, 2023, at 6:30 p.m.