

**CITY OF NEW BERN
BOARD OF ALDERMEN MEETING
NOVEMBER 10, 2020 – 6:00 P.M.
CITY HALL COURTROOM
300 POLLOCK STREET**

1. Meeting opened by Mayor Dana E. Outlaw. Prayer Coordinated by Mayor Outlaw. Pledge of Allegiance.
2. Roll Call.
3. Request and Petition of Citizens.

Consent Agenda

4. Consider Adopting a Resolution Approving Street Closures for the Annual Christmas Parade on December 5, 2020, Pending the Governor's Executive Orders.
5. Consider Adopting a Resolution Authorizing the City Manager to Sign a Contract with MBF Architects, PA for Architectural Services for the City Hall Elevator Project.
6. Consider Adopting a Resolution Authorizing the City Manager to Execute a Contract with Jymco Construction Company for the Trent Road / Red Robin Lane Category D FEMA Ditch Project.
7. Consider Adopting a Resolution Authorizing the City Manager to Execute a Contract with Pintail Oil Services, LLC for the Waters Street Hurricane Florence CAT D Drainage Repairs.
8. Consider Adopting a Resolution in Support of Traffic Light at Racetrack Road and Neuse Boulevard.
9. Approve Minutes.

10. Presentation of K-9 Vests.
11. Presentation on Rebuild NC Program.
12. Presentation by Habitat for Humanity of Craven County.
13. Presentation by Neuse Riverkeeper.
14. Presentation on Parks and Recreation's Reaccreditation.
15. Conduct a Public Hearing and Consider Adopting a Resolution to Amend the Historic District Guidelines.

16. Conduct a Public Hearing on the Rezoning of 3205 County Club Road from R-15 to R-10;
 - a) Consider Adopting a Statement of Zoning Consistency or Inconsistency; and
 - b) Consider Adopting an Ordinance Rezoning 3205 County Club Road.
17. Consider Adopting a Resolution to Transfer Properties to the Redevelopment Commission.
18. Consider Adopting a Resolution Approving Additional Streetlights on Old Airport Road.
19. Consider Adopting an Ordinance for the Demolition of 561 NC Hwy 55 West.
20. Consider Adopting an Ordinance for the Demolition of 563 NC Hwy 55 West.
21. Consider Adopting an Ordinance for the Demolition of 565 NC Hwy 55 West.
22. Consider Adopting an Ordinance Amending the Fee Schedule.
23. Consider Adopting a Budget Ordinance Amendment for the FY20-21 Operating Budget.
24. Discussion of Streets Division Capital Purchase of a 12" Brush Chipper.
25. Appointment(s).
26. Attorney's Report.
27. City Manager's Report.
28. New Business.
29. Closed Session.
30. Adjourn.

INDIVIDUALS WITH DISABILITIES REQUIRING SPECIAL ASSISTANCE SHOULD CALL
639-7501 NO LATER THAN 3 P.M. THE DATE OF THE MEETING

Aldermen

Sabrina Bengel
Jameesha Harris
Robert V. Aster
Johnnie Ray Kinsey
Barbara J. Best
Jeffrey T. Odham



300 Pollock Street, P.O. Box 1129
New Bern, NC 28563-1129
(252) 636-4000

Dana E. Outlaw
Mayor
Mark A. Stephens
City Manager
Brenda E. Blanco
City Clerk
Mary M. Hogan
Director of Finance

Memo to: Mayor and Board of Aldermen

From: Mark A. Stephens, City Manager *Mark A. Stephens* 11/4/20

Date: November 4, 2020

Re: November 10, 2020 Agenda Explanations

1. **Meeting opened by Mayor Dana E. Outlaw. Prayer Coordinated by Mayor Outlaw. Pledge of Allegiance.**
2. **Roll Call.**
3. **Request and Petition of Citizens.**

This section of the Agenda is titled Requests and Petitions of Citizens. This is an opportunity for public comment, and we thank you for coming to the Board of Aldermen meeting tonight to share your views. We value all citizen input.

Speaker comments are limited to a maximum of 4 minutes during the public comment period. At the conclusion of 4 minutes, each speaker shall leave the podium. Comments will be directed to the full board, not to an individual board member or staff member. Although the board is interested in hearing your comments, speakers should not expect any comments, action, or deliberation from the board on any issue raised during the public comment period.

In the board's discretion, it may refer issues to the appropriate city officials or staff for further investigation. If an organized group is present to speak on a common issue, please designate one person to present the group's comment, which shall be limited to a maximum of 4 minutes.

Consent Agenda

- 4. Consider Adopting a Resolution Approving Street Closures for the Annual Christmas Parade on December 5, 2020, Pending the Governor's Executive Orders.**

(Ward 1) The Craven County Jaycees have requested street closures for the annual Christmas parade on December 5, 2020. The streets to be closed from 1 p.m. to 6 p.m. are the 300-800 blocks of George Street, 300-600 blocks of Broad Street, and the 200-300 blocks of Middle Street. It is also requested that the south side (eastbound) lane of Broad Street be closed to parking from 12 a.m. until the parade concludes. While approval of the street closures may be granted, the request is pending the NC Governor's Executive Order and the NC Department of Health and Human Services' guidelines at the time of the event. A memo from Foster Hughes, Director of Parks and Recreation, is attached.

- 5. Consider Adopting a Resolution Authorizing the City Manager to Sign a Contract with MBF Architects, PA for Architectural Services for the City Hall Elevator Project.**

(Ward 1) A Request for Qualifications ("RFQ") was issued for the design and construction administration associated with the proposed City Hall Elevator and Annex. After reviewing the responses, MBF Architects, PA ("MBF") was selected as the most qualified firm. On October 6, 2020, the Board directed staff to move forward with the design plans for an elevator and restrooms, not the annex. The cost will be \$253,050 for the design phase and \$93,449 for construction administration, for a total of \$346,500. The resolution authorizes the City Manager to execute a contract with MBF for these services. A memo from Matt Montanye, Director of Public Works, is attached.

- 6. Consider Adopting a Resolution Authorizing the City Manager to Execute a Contract with Jymco Construction Company for the Trent Road / Red Robin Lane Category D FEMA Ditch Project.**

(Ward 2) Since Hurricane Florence, the City has been working with FEMA to make repairs within the City's drainage system. The proposed contract is for repairs of the drainage ditch at the intersection of Trent Road and Red Robin Lane. The lowest responsive bidder was Jymco Construction Company at a price of \$181,855. While the CAT D projects have not yet been obligated by FEMA, staff is confident that the obligations are forthcoming based on a meeting between FEMA and the City's consultants, Disaster Recovery Services. A memo from Mr. Montanye is attached.

- 7. Consider Adopting a Resolution Authorizing the City Manager to Execute a Contract with Pintail Oil Services, LLC for the Waters Street Hurricane Florence CAT D Drainage Repairs.**

(Ward 5) Similar to the previous item, the City has been working with FEMA since Hurricane Florence to make repairs within the City's drainage system. The

proposed contract is for repairs of the drainage ditch off Waters Street. The lowest responsive bidder was Pintail Oil Services at a price of \$293,113. Again, it is worth noting that while the CAT D projects have not yet been obligated by FEMA, staff is confident that the obligations are forthcoming based on a meeting between FEMA and the City's consultants, Disaster Recovery Services. A memo from Mr. Montanye is attached.

8. Consider Adopting a Resolution in Support of Traffic Light at Racetrack Road and Neuse Boulevard.

(Ward 4) As requested at the Board's October 27, 2020 meeting, a resolution has been prepared encouraging the NC Department of Transportation to install a traffic signal at the junction of Racetrack Road and Neuse Boulevard. This is a heavily traveled area, and a signal will enhance public safety.

9. Approve Minutes.

Minutes from the October 27, 2020 regular meeting are provided for review and approval.

10. Presentation of K-9 Vests.

County Commissioner ET Mitchell and husband, Champ Mitchell, have purchased four K9 vests for donation to the Police Department. They will be in attendance to present the vests to the canines.

11. Presentation on Rebuild NC Program.

Nimasheena Burns, External Relations Liaison with the NC Office of Recovery and Resilience, will make a virtual presentation on the Rebuild NC homeowner recovery program. The program provides assistance to repair, reconstruct, replace or elevate homes or reimburse homeowners for completed repairs related to damages sustained in Hurricane Florence or Matthew.

12. Presentation by Habitat for Humanity of Craven County.

Mike Williams, Executive Director of Habitat for Humanity of Craven County, will make a presentation to highlight the homes constructed on the lots donated by the City and to share other news from Habitat.

13. Presentation by Neuse Riverkeeper.

At the request of the Board, Lower Neuse Riverkeeper, Katy Hunt, will discuss the fish kills in the Neuse River. The presentation includes an explanation of the cause of the fish kill, what is known about the algae species, and what can be done to prevent this problem.

14. Presentation on Parks and Recreation's Reaccreditation.

The New Bern Parks and Recreation Department was nationally accredited by the Commission for Accreditation of Park and Recreation Agencies in 2015. Agencies are accredited for five years and must apply for reaccreditation, if desired. The Department was just notified of its reaccreditation and was recognized as one of the "Best of the Best". Currently, there are 186 accredited agencies nationwide, only 13 of which are located in North Carolina. A memo from Mr. Hughes announcing the reaccreditation is attached.

15. Conduct a Public Hearing and Consider Adopting a Resolution to Amend the Historic District Guidelines.

(Ward 1) The Historic Preservation Commission approved changes to the Historic District Guideline, and the Planning and Zoning Board recommends approval. The guidelines were recently amended on July 14, 2020, but the new revisions address unique issues that have arisen due to a modern subdivision with 17 vacant lots on the edge of a residential area in the Downtown Historic District. After conducting the public hearing, the Board is requested to consider a resolution approving the changes in the guidelines. A memo from Matt Schelly, City Planner, is attached.

16. Conduct a Public Hearing on the Rezoning of 3205 County Club Road from R-15 to R-10;

- a) **Consider Adopting a Statement of Zoning Consistency or Inconsistency; and**
- b) **Consider Adopting an Ordinance Rezoning 3205 County Club Road.**

(Ward 3) Samantha and Wendell Wright requested to rezone 3205 Country Club Road from R-15 residential district to R-10 residential district. The property is a vacant 0.45-acre parcel. The Planning and Zoning Board unanimously approved this request at their October 6, 2020 meeting. After conducting the public hearing, the Board is to consider adopting a statement of zoning consistency or inconsistency prior to considering the ordinance to rezone. A memo from Jeff Ruggieri, Director of Development Services, is attached.

17. Consider Adopting a Resolution to Transfer Properties to the Redevelopment Commission.

(Wards 1, 2 & 5) This item was on the Board's previous agenda and was tabled until this date after a question arose about the maintenance of the properties. At the Redevelopment Commission's ("Commission") meeting on October 28, 2020, a motion passed unanimously to seek a partnership with the City of New Bern Public Works Department for it to continue maintaining the parcels that are to be transferred to the Commission. The motion also included a desire for Public Works to continue to assist with community cleanups. The Commission also voted unanimously to recommend that the Board of Aldermen petition the US Marshal to amend or remove the restriction placed on the "McCotter House" property at 908 Bloomfield Street. The Commission would like to utilize the property to provide community health and wellness services, housing support services, and

educational resources. The Board is asked to provide staff with direction about contacting the US Marshal regarding the deed restriction and to consider adopting the resolution for the transfer of properties with the understanding that the City would continue to provide upkeep on the properties. A memo from Mr. Ruggieri is attached.

18. Consider Adopting a Resolution Approving Additional Streetlights on Old Airport Road.

(Ward 3) The section of Old Airport Road between Taberna and Evans Mills subdivisions was acquired by the City in 2018. The Public Works Department requested additional street lighting in this area. The Department of Public Utilities evaluated the area and determined the current lighting does not meet the City's light standard and recommended the addition of 31 lights. The installation of the lights will cost \$23,491.12, and the monthly utility charge for service will be \$261.64 (\$8.44 for each light). A memo from Charles Bauschard, Director of Public Utilities, is attached along with other supporting documentation.

19. Consider Adopting an Ordinance for the Demolition of 561 NC Hwy 55 West.

(Ward 5) Staff is seeking to demolish the structure located at 561 NC Hwy. 55 West. The home is in a dilapidated state, and a letter was mailed to the owner on January 7, 2020 advising as to the minimum housing code violations. No response was received. A follow-up letter was mailed on May 19, 2020, and again no response was received. A hearing was held before the Building Inspector on July 14, 2020, which the owner did not attend. An order was issued at that time giving the owner 60 days to repair the home and comply with minimum housing standards. To date, no permits have been applied for, and the structure remains noncompliant and unsafe. Of note, this property and the properties in the next two items are owned by the same person. A memo from Mr. Ruggieri is attached along with photos of the subject property and a list of chronological events.

20. Consider Adopting an Ordinance for the Demolition of 563 NC Hwy 55 West.

(Ward 5) Staff is seeking to demolish the mobile home located at 563 NC Hwy. 55 West. The mobile home is in a dilapidated state, and a letter was mailed to the owner on January 7, 2020 advising as to the minimum housing code violations. No response was received. A follow-up letter was mailed on May 19, 2020, and again no response was received. A hearing was held before the Building Inspector on July 14, 2020, which the owner did not attend. An order was issued at that time giving the owner 60 days to repair the home and comply with minimum housing standards. To date, no permits have been applied for, and the structure remains noncompliant and unsafe. A memo from Mr. Ruggieri is attached along with photos of the subject property and a list of chronological events.

21. Consider Adopting an Ordinance for the Demolition of 565 NC Hwy 55 West.

(Ward 5) Staff is seeking to demolish the structure located at 565 NC Hwy. 55 West. The home is in a dilapidated state, and a letter was mailed to the owner on January 7, 2020 advising as to the minimum housing code violations. No response was received. A follow-up letter was mailed on May 19, 2020, and again no response was received. A hearing was held before the Building Inspector on July 14, 2020, which the owner did not attend. An order was issued at that time giving the owner 60 days to repair the home and comply with minimum housing standards. To date, no permits have been applied for, and the structure remains noncompliant and unsafe. A memo from Mr. Ruggieri is attached along with photos of the subject property and a list of chronological events.

22. Consider Adopting an Ordinance Amending the Fee Schedule.

The fee schedule amendment was last adopted on August 25, 2020. The schedule is being revised to add overnight parking fees under Section 4 to provide for afterhours parking from 5:30 p.m. to 7 a.m. and to add additional fees under Section 6 related to certificates of occupancy. Additionally, it reestablishes Section 8 of the fee schedule pertaining to public assembly for parades and festivals, which was inadvertently omitted from the schedule adopted in August. A memo from Mary Hogan, Director of Finance, is attached.

23. Consider Adopting a Budget Ordinance Amendment for the FY20-21 Operating Budget.

This budget ordinance amends the General Fund by appropriating \$25,000 for the design of the Racetrack Road project and establishes a \$1,503,895 budget for the city-wide radio project. It also amends the Grants Fund by recognizing \$6,783 from the Department of Justice's 2020 Bulletproof Vest Partnership grant, which requires matching funds that were provided for in the budget. Additionally, it recognizes a \$25,000 grant from the 2021 Governor's Highway Safety Program and \$10,754 from the Department of Justice's 2020 Edward Byrne Memorial Justice Assistant grant. A memo from Mrs. Hogan is attached.

24. Discussion of Streets Division Capital Purchase of a 12" Brush Chipper.

Public Works' approved budget for FY2021 included the purchase of a flatbed pickup truck that was flooded during Hurricane Florence. Staff has since learned that insurance would cover the replacement of the vehicle. Since that vehicle has now been replaced, it is requested that the \$58,000 budgeted for the truck be utilized to purchase a woodchipper that was scheduled for replacement in FY2022. This change will not have a negative impact on the existing budget. Once all approved capital items have been purchased, there will be a total savings of \$35,567. A memo from Mr. Montanye is attached.

25. Appointment(s).

On June 11, 2019, Mayor Outlaw appointed Martha "Molly" Ingram to the Appearance Commission. Ms. Ingram recently resigned from her seat, as she will be relocating to another state in November. Mayor Outlaw is asked to make a new appointment to serve the remainder of Ms. Ingram's term.

26. Attorney's Report.

27. City Manager's Report.

28. New Business.

29. Closed Session.

30. Adjourn.

AGENDA ITEM COVER SHEET

Agenda Item Title:

Consider Adopting a Resolution to close streets for Craven County Jaycees Christmas Parade.

Date of Meeting: 11/10/2020	Ward # if applicable: Ward 1
Department: Parks & Recreation	Person Submitting Item: Foster Hughes, CPRE
Call for Public Hearing: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Date of Public Hearing:

Explanation of Item:	Craven County Jaycees has made a request to close the following streets to vehicle traffic from 1:00 pm until 6:00 pm on Saturday, December 5, 2020: 300-800 blocks of George Street, 300-600 blocks of Broad Street, 200-300 blocks of Middle Street, along with the south side (east bound) of Broad Street closed to parking from 12:00 am until the conclusion of the parade. The request for street closure is pending the NC Governor's Executive Order and NCDHHS guidelines at the time of the event.
Actions Needed by Board:	Adopt the Resolution
Backup Attached:	Resolution – Memo – Application – Map

Is item time sensitive? ☐Yes ☒No

Will there be advocates/opponents at the meeting? ☐Yes ☒No

Cost of Agenda Item:

If this requires an expenditure, has it been budgeted and are funds available and certified by the Finance Director? ☐Yes ☐No

Additional Notes:

Aldermen

Sabrina Bengel
Jameesha Harris
Bobby Aster
Johnnie Ray Kinsey
Barbara J. Best
Jeffrey T. Odham



Foster Hughes, CPRE
Director of Parks & Recreation

Dana E. Outlaw
Mayor

Mark A. Stephens
City Manager



Memo To: Mayor and Board of Aldermen

From: Foster Hughes, CPRE
Director of Parks and Recreation

Re: Adopt the Resolution to close the 300-800 blocks of George Street, 300-600 blocks of Broad Street, 200-300 blocks of Middle Street to vehicle traffic for the Craven County Jaycees Christmas Parade from 1:00 p.m. until 6:00 p.m., along with the south side (east bound lane) of Broad Street closed to parking from 12:00 a.m. until the conclusion of the parade on Saturday, December 5, 2020.

Background Information:

David Ricks, Event Coordinator has requested to close the 300-800 blocks of George Street, 300-600 blocks of Broad Street, 200-300 blocks of Middle Street to vehicle traffic for Craven County Jaycees Christmas Parade from 1:00 p.m. until 6:00 p.m., along with the south side (east bound lane) of Broad Street closed to parking from 12:00 a.m. until the conclusion of the parade on Saturday, December 5, 2020. The request for street closure is pending the NC Governor's Executive Order and NCDHHS guidelines at the time of the event

Recommendation:

The Director of Parks and Recreation recommends approval and request the Board adopt a Resolution approving the request.

If you have any questions concerning this matter, please call.

1307 Country Club Rd
New Bern, NC 28562
Office 252 639-2901
Fax 252 636-4138

RESOLUTION

THAT WHEREAS, Craven County Jaycees has scheduled their Annual Christmas Parade and has requested that specific streets be closed to vehicular traffic from 1:00 p.m. to 6:00 p.m. on Saturday, December 5, 2020, for line-up of the parade. Those streets are the 300-800 blocks of George Street, 300-600 blocks of Broad Street, 200-300 blocks of Middle Street, along with the south side (eastbound lane) of Broad Street closed to parking from 12:00 a.m. until the conclusion of the parade; and

WHEREAS, the Director of Parks and Recreation of the City of New Bern recommends the streets be closed as requested.

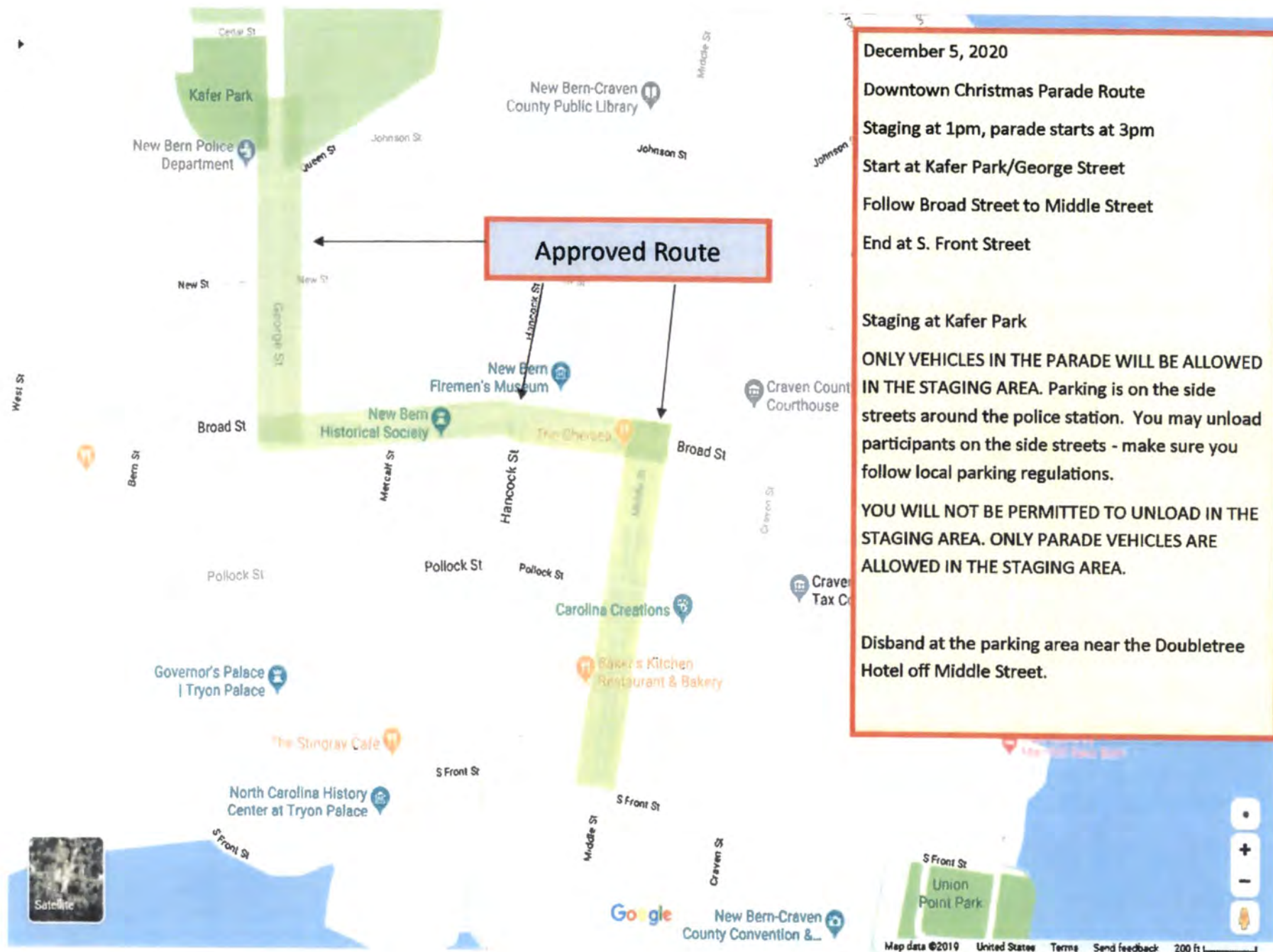
NOW, THEREFORE, BE IT RESOLVED BY THE BOARD OF ALDERMEN OF THE CITY OF NEW BERN:

That the 300-800 blocks of George Street, 300-600 blocks of Broad Street, and 200-300 blocks of Middle Street be closed to vehicular traffic from 1:00 p.m. until 6:00 p.m., on December 5, 2020, and that the south side (eastbound lane) of Broad Street closed to parking from 12:00 a.m. on December 5, 2020 until the conclusion of the Craven County Jaycees Christmas Parade.

ADOPTED THIS 10th DAY OF NOVEMBER 2020.

DANA E. OUTLAW, MAYOR

BRENDA E. BLANCO, CITY CLERK



December 5, 2020

Downtown Christmas Parade Route

Staging at 1pm, parade starts at 3pm

Start at Kafer Park/George Street

Follow Broad Street to Middle Street

End at S. Front Street

Staging at Kafer Park

ONLY VEHICLES IN THE PARADE WILL BE ALLOWED IN THE STAGING AREA. Parking is on the side streets around the police station. You may unload participants on the side streets - make sure you follow local parking regulations.

YOU WILL NOT BE PERMITTED TO UNLOAD IN THE STAGING AREA. ONLY PARADE VEHICLES ARE ALLOWED IN THE STAGING AREA.

Disband at the parking area near the Doubletree Hotel off Middle Street.

AGENDA ITEM COVER SHEET

Agenda Item Title:

Adopt a resolution authorizing the City Manager to execute on behalf of the City of New Bern, a contract with MBF Architects P.A., for architectural services for the City Hall Elevator.

Date of Meeting: November 10, 2020	Ward # if applicable: 1
Department: Public Works	Person Submitting Item: Matt Montanye, Director of Public Works
Call for Public Hearing: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Date of Public Hearing: N/A

Explanation of Item:	The City has received submittals for an RFQ for Architectural Services associated with the design and construction administration associated with the proposed City Hall Elevator and MBF Architects, PA of New Bern NC was selected to be the most qualified firm and has submitted a proposal for architectural services for both the design and construction phases.
Actions Needed by Board:	Adopt a resolution
Backup Attached:	Memo, Resolution, MBF Proposal, Project Estimate, Plans, RFQ Scoring Sheet, RFQ

Is item time sensitive? ☒Yes ☐No

Will there be advocates/opponents at the meeting? ☐Yes ☒No

Cost of Agenda Item: Design Phase: \$ 253,050 Construction Phase: \$ 93,449

If this requires an expenditure, has it been budgeted and are funds available and certified by the Finance Director? ☐Yes ☒No

Additional Notes:



Public Works Department
P.O. Box 1129, 1004 S. Glenburnie Road
New Bern, N.C. 28563-1129
Phone: (252) 639-7501
Fax: (252) 636-1848

October 29, 2020

Memo to: Mayor and Board of Aldermen

From: Matt Montanye, Director of Public Works

Re: **Adopt a resolution authorizing the City Manager to execute, on behalf of the City of New Bern, a contract with MBF Architects PA, for architectural services associated with the proposed City Hall Annex Building.**

Background Information:

As part of the February 7, 2020 Board of Aldermen Retreat, the Board viewed a presentation associated with a proposed elevator and/or annex building adjoining City Hall. A proposal was brought before the Board of Aldermen on April 28, 2020 and this item was tabled until October 6, 2020 work session where staff was given direction to move forward with the design plans for just an elevator and restrooms and not the complete annex building.

On March 13, 2020, request for qualification was advertised for architectural services related to the design and construction administration of the proposed annex building. After receiving five submittals from across the state, MBF Architects of New Bern North Carolina was selected as the best qualified firm to meet the needs of the City of New Bern during both the design and construction phase of this project.

Staff has since met with MBF Architects and discussed cost associated with both the design and construction phases of this project as well as a timeline.

MBF Architects has submitted the following:

Fee Schedule Design Phase:

○ Schematic Design	\$ 58,975	(17.0%)
○ Design Development	\$ 74,550	(21.5%)
○ Construction Documents	\$103,950	(30.0%)
○ Bidding and Negotiation	\$ 15,575	(4.5%)
Design Phase Total:	\$253,050	(73.0%)

Fee Schedule Construction Phase:

o Construction Administration	\$ 77,875	(22.5%)
o Contract Closeout	\$ 15,574	(4.5%)
Construction Phase Total:	\$ 93,449	(27%)

Total Architectural Fees: \$346,500 (100%)

In addition, MBF Architects has also provided the City of New Bern with an estimated cost of construction of \$3,500,000.

Timeline:

Completion of Contracts	December	2020
Schematic Design	February	2020
HPC Design Review	March	2021
Design Development	June	2021
HPC – Certificate of Appropriateness	July	2021
Construction Documents	December	2021
Estimated Bid Opening	January	2022
Completion Construction Contracts	February	2022
Start Commencement	February	2022
Substantial Completion	February	2023

Recommendations:

The Public Works Department has reviewed the proposal for architectural services as well as the estimate for construction and recommends that the Board of Aldermen consider approving this proposal and authorizing the City Manager to execute, on behalf of the City of New Bern, a contract with MBF Architects PA for architectural services associated with the proposed City Hall Annex Building.

RESOLUTION

THAT WHEREAS, a Request for Qualifications ("RFQ") for Engineering Services was publicly advertised on March 13, 2020 and submittals were received on March 23, 2020; and

WHEREAS, the following five submittals were received and scored:

MBF Architects, PA	666
C.R. Frances Architecture	637
LS3P	582
CPL	552
Creech and Associates	493

WHEREAS, the Director of Public Works of the City of New Bern has since negotiated pricing for architectural services and recommends acceptance of the proposal from MBF Architects, PA, for professional architectural services based on the attached agreement.

NOW, THEREFORE, BE IT RESOLVED BY THE BOARD OF ALDERMEN OF THE CITY OF NEW BERN:

That the agreement for architectural services between the City of New Bern and MBF Architects, PA, a copy of which is attached hereto and incorporated herein by reference, is hereby accepted, and the City Manager is authorized to execute the agreement for design services and construction administration associated with the City Hall Annex Building.

ADOPTED THIS 10th DAY OF NOVEMBER 2020.

DANA E. OUTLAW, MAYOR

BRENDA E. BLANCO, CITY CLERK

AIA® Document B101® – 2017

Standard Form of Agreement Between Owner and Architect

AGREEMENT made as of the First (1st) day of November in the year Two Thousand Twenty (2020)

(In words, indicate day, month and year.)

BETWEEN the Architect's client identified as the Owner:

(Name, legal status, address and other information)

City of New Bern
300 Pollock Street (28560)
P O Box 1129
New Bern, NC 28560

and the Architect:

(Name, legal status, address and other information)

MBF Architects, P.A.
317-C Pollock Street
New Bern, NC 28560

for the following Project:

(Name, location and detailed description)

City Hall Elevator Annex
New Bern, Craven County
MBFA No. 2009

The Owner and Architect agree as follows.

ADDITIONS AND DELETIONS:

The author of this document has added information needed for its completion. The author may also have revised the text of the original AIA standard form. An *Additions and Deletions Report* that notes added information as well as revisions to the standard form text is available from the author and should be reviewed. A vertical line in the left margin of this document indicates where the author has added necessary information and where the author has added to or deleted from the original AIA text.

This document has important legal consequences. Consultation with an attorney is encouraged with respect to its completion or modification.

Int.

AIA Document B101® – 2017. Copyright © 1974, 1978, 1987, 1997, 2007 and 2017 by The American Institute of Architects. All rights reserved. The "American Institute of Architects," "AIA," the AIA Logo, and "AIA Contract Documents" are registered trademarks and may not be used without permission. This document was produced by AIA software at 11:12:18 ET on 10/28/2020 under Order No.0216986973 which expires on 03/26/2021, is not for resale, is licensed for one-time use only, and may only be used in accordance with the AIA Contract Documents® Terms of Service. To report copyright violations, e-mail copyright@aia.org.

User Notes:

(2037068152)

TABLE OF ARTICLES

1	INITIAL INFORMATION
2	ARCHITECT'S RESPONSIBILITIES
3	SCOPE OF ARCHITECT'S BASIC SERVICES
4	SUPPLEMENTAL AND ADDITIONAL SERVICES
5	OWNER'S RESPONSIBILITIES
6	COST OF THE WORK
7	COPYRIGHTS AND LICENSES
8	CLAIMS AND DISPUTES
9	TERMINATION OR SUSPENSION
10	MISCELLANEOUS PROVISIONS
11	COMPENSATION
12	SPECIAL TERMS AND CONDITIONS
13	SCOPE OF THE AGREEMENT

ARTICLE 1 INITIAL INFORMATION

§ 1.1 This Agreement is based on the Initial Information set forth in this Section 1.1.

(For each item in this section, insert the information or a statement such as "not applicable" or "unknown at time of execution.")

§ 1.1.1 The Owner's program for the Project:

(Insert the Owner's program, identify documentation that establishes the Owner's program, or state the manner in which the program will be developed.)

Approximate sizes are indicated in Exhibit C, Preliminary Floor Planning, attached, and these parameters will be reviewed and revised as mutually agreed.

§ 1.1.2 The Project's physical characteristics:

(Identify or describe pertinent information about the Project's physical characteristics, such as size; location, dimensions; geotechnical reports; site boundaries; topographic surveys; traffic and utility studies; availability of public and private utilities and services; legal description of the site, etc.)

The property has been purchased by the Owner and is identified as 300 Pollock Street, New Bern, Craven County.

§ 1.1.3 The Owner's budget for the Cost of the Work, as defined in Section 6.1:

(Provide total and, if known, a line item breakdown.)

Project Budget: \$3,500,000

Budget less Fees: \$3,153,500 (\$3,500,000 minus the Architect's fee as stated in 11.1)

§ 1.1.4 The Owner's anticipated design and construction milestone dates:

Init.

- .1 Design phase milestone dates, if any:

Design Milestone Dates: Reference Exhibit D, MBF Architects, P. A. correspondence

- .2 Construction commencement date:

by February 2022

- .3 Substantial Completion date or dates:

by February 2023

- .4 Other milestone dates:

Not applicable

§ 1.1.5 The Owner intends the following procurement and delivery method for the Project:
(Identify method such as competitive bid or negotiated contract, as well as any requirements for accelerated or fast-track design and construction, multiple bid packages, or phased construction.)

Competitive Bids

§ 1.1.6 The Owner's anticipated Sustainable Objective for the Project:
(Identify and describe the Owner's Sustainable Objective for the Project, if any.)

Not applicable

§ 1.1.6.1 If the Owner identifies a Sustainable Objective, the Owner and Architect shall complete and incorporate AIA Document E204™-2017, Sustainable Projects Exhibit, into this Agreement to define the terms, conditions and services related to the Owner's Sustainable Objective. If E204-2017 is incorporated into this agreement, the Owner and Architect shall incorporate the completed E204-2017 into the agreements with the consultants and contractors performing services or Work in any way associated with the Sustainable Objective.

§ 1.1.7 The Owner identifies the following representative in accordance with Section 5.3:
(List name, address, and other contact information.)

As indicated in Exhibit A, Initial Information

§ 1.1.8 The persons or entities, in addition to the Owner's representative, who are required to review the Architect's submittals to the Owner are as follows:
(List name, address, and other contact information.)

Not applicable

§ 1.1.9 The Owner shall retain the following consultants and contractors:
(List name, legal status, address, and other contact information.)

- .1 Geotechnical Engineer:

Payment for these services originates from the project contingency budget. Reference Exhibit B, Supplemental Services

- .2 Civil Engineer:

Init.

Compensation for these services is included within the Architectural fee. Reference Exhibit B, Supplemental Services

- .3 Other, if any:
(List any other consultants and contractors retained by the Owner.)

Reference Exhibit B, Supplemental Services

§ 1.1.10 The Architect identifies the following representative in accordance with Section 2.3:
(List name, address, and other contact information.)

As indicated in Exhibit A, Initial Information

§ 1.1.11 The Architect shall retain the consultants identified in Sections 1.1.11.1 and 1.1.11.2:
(List name, legal status, address, and other contact information.)

§ 1.1.11.1 Consultants retained under Basic Services:

- .1 Structural Engineer:

Kaydos-Daniels Engineers, PLLC. Compensation for these services is included within the Architectural fee

- .2 Mechanical Engineer:

En-Tech Engineering, P.A. Compensation for these services is included within the Architectural fee

- .3 Electrical Engineer:

En-Tech Engineering, P.A. Compensation for these services is included within the Architectural fee

§ 1.1.11.2 Consultants retained under Supplemental Services:

Acoustical Consultant, Thorburn Associates, Incorporated; Fire Protection Contractor to be determined; Historic Preservation Consultant, Paul F. Stephens, AIA; and Civil Engineer, Avolis Engineering, P.A. Compensation for these services is included within the Architectural fee

§ 1.1.12 Other Initial Information on which the Agreement is based:

Reference Exhibit A, Initial Information attached

§ 1.2 The Owner and Architect may rely on the Initial Information. Both parties, however, recognize that the Initial Information may materially change and, in that event, the Owner and the Architect shall appropriately adjust the Architect's services, schedule for the Architect's services, and the Architect's compensation. The Owner shall adjust the Owner's budget for the Cost of the Work and the Owner's anticipated design and construction milestones, as necessary, to accommodate material changes in the Initial Information.

§ 1.3 The parties shall agree upon protocols governing the transmission and use of Instruments of Service or any other information or documentation in digital form.

(Paragraph deleted)

ARTICLE 2 ARCHITECT'S RESPONSIBILITIES

§ 2.1 The Architect shall provide professional services as set forth in this Agreement. The Architect represents that it is properly licensed in the jurisdiction where the Project is located to provide the services required by this Agreement, or shall cause such services to be performed by appropriately licensed design professionals.

Init.

§ 2.2 The Architect shall perform its services consistent with the professional skill and care ordinarily provided by architects practicing in the same or similar locality under the same or similar circumstances. The Architect shall perform its services as expeditiously as is consistent with such professional skill and care and the orderly progress of the Project.

§ 2.3 The Architect shall identify a representative authorized to act on behalf of the Architect with respect to the Project.

§ 2.4 Except with the Owner's knowledge and consent, the Architect shall not engage in any activity, or accept any employment, interest or contribution that would reasonably appear to compromise the Architect's professional judgment with respect to this Project.

§ 2.5 The Architect shall maintain the following insurance until termination of this Agreement. If any of the requirements set forth below are in addition to the types and limits the Architect normally maintains, the Owner shall pay the Architect as set forth in Section 11.9.

§ 2.5.1 Commercial General Liability with policy limits of not less than One Million (\$ 1,000,000) for each occurrence and One Million (\$ 1,000,000) in the aggregate for bodily injury and property damage.

§ 2.5.2 Automobile Liability covering vehicles owned, and non-owned vehicles used, by the Architect with policy limits of not less than the statutory minimum policy limit per accident for bodily injury, death of any person, and property damage arising out of the ownership, maintenance and use of those motor vehicles, along with any other statutorily required automobile coverage.

§ 2.5.3 The Architect may achieve the required limits and coverage for Commercial General Liability and Automobile Liability through a combination of primary and excess or umbrella liability insurance, provided such primary and excess or umbrella liability insurance policies result in the same or greater coverage as the coverages required under Sections 2.5.1 and 2.5.2, and in no event shall any excess or umbrella liability insurance provide narrower coverage than the primary policy. The excess policy shall not require the exhaustion of the underlying limits only through the actual payment by the underlying insurers.

§ 2.5.4 Workers' Compensation at statutory limits.

§ 2.5.5 Employers' Liability with policy limits not less than \$100,000 policy limit.

§ 2.5.6 Professional Liability covering negligent acts, errors and omissions in the performance of professional services with policy limits of not less than Two Million (\$ 2,000,000) per claim and Two Million (\$ 2,000,000) in the aggregate.

§ 2.5.7 **Additional Insured Obligations.** To the fullest extent permitted by law, the Architect shall cause the primary and excess or umbrella policies for Commercial General Liability and Automobile Liability to include the Owner as an additional insured for claims caused in whole or in part by the Architect's negligent acts or omissions. The additional insured coverage shall be primary and non-contributory to any of the Owner's insurance policies and shall apply to both ongoing and completed operations.

§ 2.5.8 The Architect shall provide certificates of insurance to the Owner that evidence compliance with the requirements in this Section 2.5.

ARTICLE 3 SCOPE OF ARCHITECT'S BASIC SERVICES

§ 3.1 The Architect's Basic Services consist of those described in this Article 3 and include usual and customary structural, mechanical, and electrical engineering services. Services not set forth in this Article 3 are Supplemental or Additional Services.

§ 3.1.1 The Architect shall manage the Architect's services, research applicable design criteria, attend Project meetings, communicate with members of the Project team, and report progress to the Owner.

Init.

§ 3.1.2 The Architect shall coordinate its services with those services provided by the Owner and the Owner's consultants. The Architect shall be entitled to rely on, and shall not be responsible for, the accuracy, completeness, and timeliness of, services and information furnished by the Owner and the Owner's consultants. The Architect shall provide prompt written notice to the Owner if the Architect becomes aware of any error, omission, or inconsistency in such services or information.

§ 3.1.3 As soon as practicable after the date of this Agreement, the Architect shall submit for the Owner's approval a schedule for the performance of the Architect's services. The schedule initially shall include anticipated dates for the commencement of construction and for Substantial Completion of the Work as set forth in the Initial Information. The schedule shall include allowances for periods of time required for the Owner's review, for the performance of the Owner's consultants, and for approval of submissions by authorities having jurisdiction over the Project. Once approved by the Owner, time limits established by the schedule shall not, except for reasonable cause, be exceeded by the Architect or Owner. With the Owner's approval, the Architect shall adjust the schedule, if necessary, as the Project proceeds until the commencement of construction.

§ 3.1.4 The Architect shall not be responsible for an Owner's directive or substitution, or for the Owner's acceptance of non-conforming Work, made or given without the Architect's written approval.

§ 3.1.5 The Architect shall contact governmental authorities required to approve the Construction Documents and entities providing utility services to the Project. The Architect shall respond to applicable design requirements imposed by those authorities and entities.

§ 3.1.6 The Architect shall assist the Owner in connection with the Owner's responsibility for filing documents required for the approval of governmental authorities having jurisdiction over the Project.

§ 3.2 Schematic Design Phase Services

§ 3.2.1 The Architect shall review the program and other information furnished by the Owner, and shall review laws, codes, and regulations applicable to the Architect's services.

§ 3.2.2 The Architect shall prepare a preliminary evaluation of the Owner's program, schedule, budget for the Cost of the Work, Project site, the proposed procurement and delivery method, and other Initial Information, each in terms of the other, to ascertain the requirements of the Project. The Architect shall notify the Owner of (1) any inconsistencies discovered in the information, and (2) other information or consulting services that may be reasonably needed for the Project.

§ 3.2.3 The Architect shall present its preliminary evaluation to the Owner and shall discuss with the Owner alternative approaches to design and construction of the Project. The Architect shall reach an understanding with the Owner regarding the requirements of the Project.

§ 3.2.4 Based on the Project requirements agreed upon with the Owner, the Architect shall prepare and present, for the Owner's approval, a preliminary design illustrating the scale and relationship of the Project components.

§ 3.2.5 Based on the Owner's approval of the preliminary design, the Architect shall prepare Schematic Design Documents for the Owner's approval. The Schematic Design Documents shall consist of drawings and other documents including a site plan, if appropriate, and preliminary building plans, sections and elevations; and may include some combination of study models, perspective sketches, or digital representations. Preliminary selections of major building systems and construction materials shall be noted on the drawings or described in writing.

§ 3.2.5.1 The Architect shall consider sustainable design alternatives, such as material choices and building orientation, together with other considerations based on program and aesthetics, in developing a design that is consistent with the Owner's program, schedule and budget for the Cost of the Work. The Owner may obtain more advanced sustainable design services as a Supplemental Service under Section 4.1.1.

§ 3.2.5.2 The Architect shall consider the value of alternative materials, building systems and equipment, together with other considerations based on program and aesthetics, in developing a design for the Project that is consistent with the Owner's program, schedule, and budget for the Cost of the Work.

§ 3.2.6 The Architect shall submit to the Owner an estimate of the Cost of the Work prepared in accordance with Section 6.3.

§ 3.2.7 The Architect shall submit the Schematic Design Documents to the Owner, and request the Owner's approval.

§ 3.3 Design Development Phase Services

§ 3.3.1 Based on the Owner's approval of the Schematic Design Documents, and on the Owner's authorization of any adjustments in the Project requirements and the budget for the Cost of the Work, the Architect shall prepare Design Development Documents for the Owner's approval. The Design Development Documents shall illustrate and describe the development of the approved Schematic Design Documents and shall consist of drawings and other documents including plans, sections, elevations, typical construction details, and diagrammatic layouts of building systems to fix and describe the size and character of the Project as to architectural, structural, mechanical and electrical systems, and other appropriate elements. The Design Development Documents shall also include outline specifications that identify major materials and systems and establish, in general, their quality levels.

§ 3.3.2 The Architect shall update the estimate of the Cost of the Work prepared in accordance with Section 6.3.

§ 3.3.3 The Architect shall submit the Design Development Documents to the Owner, advise the Owner of any adjustments to the estimate of the Cost of the Work, and request the Owner's approval.

§ 3.4 Construction Documents Phase Services

§ 3.4.1 Based on the Owner's approval of the Design Development Documents, and on the Owner's authorization of any adjustments in the Project requirements and the budget for the Cost of the Work, the Architect shall prepare Construction Documents for the Owner's approval. The Construction Documents shall illustrate and describe the further development of the approved Design Development Documents and shall consist of Drawings and Specifications setting forth in detail the quality levels and performance criteria of materials and systems and other requirements for the construction of the Work. The Owner and Architect acknowledge that, in order to perform the Work, the Contractor will provide additional information, including Shop Drawings, Product Data, Samples and other similar submittals, which the Architect shall review in accordance with Section 3.6.4.

§ 3.4.2 The Architect shall incorporate the design requirements of governmental authorities having jurisdiction over the Project into the Construction Documents.

§ 3.4.3 During the development of the Construction Documents, the Architect shall assist the Owner in the development and preparation of (1) procurement information that describes the time, place, and conditions of bidding, including bidding or proposal forms; (2) the form of agreement between the Owner and Contractor; and (3) the Conditions of the Contract for Construction (General, Supplementary and other Conditions). The Architect shall also compile a project manual that includes the Conditions of the Contract for Construction and Specifications, and may include bidding requirements and sample forms.

§ 3.4.4 The Architect shall update the estimate for the Cost of the Work prepared in accordance with Section 6.3.

§ 3.4.5 The Architect shall submit the Construction Documents to the Owner, advise the Owner of any adjustments to the estimate of the Cost of the Work, take any action required under Section 6.5, and request the Owner's approval.

§ 3.5 Procurement Phase Services

§ 3.5.1 General

The Architect shall assist the Owner in establishing a list of prospective contractors. Following the Owner's approval of the Construction Documents, the Architect shall assist the Owner in (1) obtaining competitive bids; (2) confirming responsiveness of bids or proposals; (3) determining the successful bid or proposal, if any; and, (4) awarding and preparing contracts for construction.

§ 3.5.2 Competitive Bidding

§ 3.5.2.1 Bidding Documents shall consist of bidding requirements and proposed Contract Documents.

Init.

§ 3.5.2.2 The Architect shall assist the Owner in bidding the Project by:

- .1 facilitating the distribution of Bidding Documents to prospective bidders;
- .2 organizing and conducting a pre-bid conference for prospective bidders;
- .3 preparing responses to questions from prospective bidders and providing clarifications and interpretations of the Bidding Documents to the prospective bidders in the form of addenda; and,
- .4 organizing and conducting the opening of the bids, and subsequently documenting and distributing the bidding results, as directed by the Owner.

(Paragraphs deleted)

§ 3.6 Construction Phase Services

§ 3.6.1 General

§ 3.6.1.1 The Architect shall provide administration of the Contract between the Owner and the Contractor as set forth below and in AIA Document A201™-2017, General Conditions of the Contract for Construction. If the Owner and Contractor modify AIA Document A201-2017, those modifications shall not affect the Architect's services under this Agreement unless the Owner and the Architect amend this Agreement.

§ 3.6.1.2 The Architect shall advise and consult with the Owner during the Construction Phase Services. The Architect shall have authority to act on behalf of the Owner only to the extent provided in this Agreement. The Architect shall not have control over, charge of, or responsibility for the construction means, methods, techniques, sequences or procedures, or for safety precautions and programs in connection with the Work, nor shall the Architect be responsible for the Contractor's failure to perform the Work in accordance with the requirements of the Contract Documents. The Architect shall be responsible for the Architect's negligent acts or omissions, but shall not have control over or charge of, and shall not be responsible for, acts or omissions of the Contractor or of any other persons or entities performing portions of the Work.

§ 3.6.1.3 Subject to Section 4.2 and except as provided in Section 3.6.6.5, the Architect's responsibility to provide Construction Phase Services commences with the award of the Contract for Construction and terminates on the date the Architect issues the final Certificate for Payment.

§ 3.6.2 Evaluations of the Work

§ 3.6.2.1 The Architect shall visit the site at intervals appropriate to the stage of construction, or as otherwise required in Section 4.2.3, to become generally familiar with the progress and quality of the portion of the Work completed, and to determine, in general, if the Work observed is being performed in a manner indicating that the Work, when fully completed, will be in accordance with the Contract Documents. However, the Architect shall not be required to make exhaustive or continuous on-site inspections to check the quality or quantity of the Work. On the basis of the site visits, the Architect shall keep the Owner reasonably informed about the progress and quality of the portion of the Work completed, and promptly report to the Owner (1) known deviations from the Contract Documents, (2) known deviations from the most recent construction schedule submitted by the Contractor, and (3) defects and deficiencies observed in the Work.

§ 3.6.2.2 The Architect has the authority to reject Work that does not conform to the Contract Documents. Whenever the Architect considers it necessary or advisable, the Architect shall have the authority to require inspection or testing of the Work in accordance with the provisions of the Contract Documents, whether or not the Work is fabricated, installed or completed. However, neither this authority of the Architect nor a decision made in good faith either to exercise or not to exercise such authority shall give rise to a duty or responsibility of the Architect to the Contractor, Subcontractors, suppliers, their agents or employees, or other persons or entities performing portions of the Work.

§ 3.6.2.3 The Architect shall interpret and decide matters concerning performance under, and requirements of, the Contract Documents on written request of either the Owner or Contractor. The Architect's response to such requests shall be made in writing within any time limits agreed upon or otherwise with reasonable promptness.

§ 3.6.2.4 Interpretations and decisions of the Architect shall be consistent with the intent of, and reasonably inferable from, the Contract Documents and shall be in writing or in the form of drawings. When making such interpretations and decisions, the Architect shall endeavor to secure faithful performance by both Owner and Contractor, shall not show partiality to either, and shall not be liable for results of interpretations or decisions rendered in good faith. The

Init.

Architect's decisions on matters relating to aesthetic effect shall be final if consistent with the intent expressed in the Contract Documents.

§ 3.6.2.5 Unless the Owner and Contractor designate another person to serve as an Initial Decision Maker, as that term is defined in AIA Document A201-2017, the Architect shall render initial decisions on Claims between the Owner and Contractor as provided in the Contract Documents.

§ 3.6.3 Certificates for Payment to Contractor

§ 3.6.3.1 The Architect shall review and certify the amounts due the Contractor and shall issue certificates in such amounts. The Architect's certification for payment shall constitute a representation to the Owner, based on the Architect's evaluation of the Work as provided in Section 3.6.2 and on the data comprising the Contractor's Application for Payment, that, to the best of the Architect's knowledge, information and belief, the Work has progressed to the point indicated, the quality of the Work is in accordance with the Contract Documents, and that the Contractor is entitled to payment in the amount certified. The foregoing representations are subject to (1) an evaluation of the Work for conformance with the Contract Documents upon Substantial Completion, (2) results of subsequent tests and inspections, (3) correction of minor deviations from the Contract Documents prior to completion, and (4) specific qualifications expressed by the Architect.

§ 3.6.3.2 The issuance of a Certificate for Payment shall not be a representation that the Architect has (1) made exhaustive or continuous on-site inspections to check the quality or quantity of the Work, (2) reviewed construction means, methods, techniques, sequences or procedures, (3) reviewed copies of requisitions received from Subcontractors and suppliers and other data requested by the Owner to substantiate the Contractor's right to payment, or (4) ascertained how or for what purpose the Contractor has used money previously paid on account of the Contract Sum.

§ 3.6.3.3 The Architect shall maintain a record of the Applications and Certificates for Payment.

§ 3.6.4 Submittals

§ 3.6.4.1 The Architect shall review the Contractor's submittal schedule and shall not unreasonably delay or withhold approval of the schedule. The Architect's action in reviewing submittals shall be taken in accordance with the approved submittal schedule or, in the absence of an approved submittal schedule, with reasonable promptness while allowing sufficient time, in the Architect's professional judgment, to permit adequate review.

§ 3.6.4.2 The Architect shall review and approve, or take other appropriate action upon, the Contractor's submittals such as Shop Drawings, Product Data and Samples, but only for the limited purpose of checking for conformance with information given and the design concept expressed in the Contract Documents. Review of such submittals is not for the purpose of determining the accuracy and completeness of other information such as dimensions, quantities, and installation or performance of equipment or systems, which are the Contractor's responsibility. The Architect's review shall not constitute approval of safety precautions or construction means, methods, techniques, sequences or procedures. The Architect's approval of a specific item shall not indicate approval of an assembly of which the item is a component.

§ 3.6.4.3 If the Contract Documents specifically require the Contractor to provide professional design services or certifications by a design professional related to systems, materials, or equipment, the Architect shall specify the appropriate performance and design criteria that such services must satisfy. The Architect shall review and take appropriate action on Shop Drawings and other submittals related to the Work designed or certified by the Contractor's design professional, provided the submittals bear such professional's seal and signature when submitted to the Architect. The Architect's review shall be for the limited purpose of checking for conformance with information given and the design concept expressed in the Contract Documents. The Architect shall be entitled to rely upon, and shall not be responsible for, the adequacy and accuracy of the services, certifications, and approvals performed or provided by such design professionals.

§ 3.6.4.4 Subject to Section 4.2, the Architect shall review and respond to requests for information about the Contract Documents. The Architect shall set forth, in the Contract Documents, the requirements for requests for information. Requests for information shall include, at a minimum, a detailed written statement that indicates the specific Drawings or Specifications in need of clarification and the nature of the clarification requested. The Architect's response to such

Init.

requests shall be made in writing within any time limits agreed upon, or otherwise with reasonable promptness. If appropriate, the Architect shall prepare and issue supplemental Drawings and Specifications in response to the requests for information.

§ 3.6.4.5 The Architect shall maintain a record of submittals and copies of submittals supplied by the Contractor in accordance with the requirements of the Contract Documents.

§ 3.6.5 Changes in the Work

§ 3.6.5.1 The Architect may order minor changes in the Work that are consistent with the intent of the Contract Documents and do not involve an adjustment in the Contract Sum or an extension of the Contract Time. Subject to Section 4.2, the Architect shall prepare Change Orders and Construction Change Directives for the Owner's approval and execution in accordance with the Contract Documents.

§ 3.6.5.2 The Architect shall maintain records relative to changes in the Work.

§ 3.6.6 Project Completion

§ 3.6.6.1 The Architect shall:

- .1 conduct inspections to determine the date or dates of Substantial Completion and the date of final completion;
- .2 issue Certificates of Substantial Completion;
- .3 forward to the Owner, for the Owner's review and records, written warranties and related documents required by the Contract Documents and received from the Contractor; and,
- .4 issue a final Certificate for Payment based upon a final inspection indicating that, to the best of the Architect's knowledge, information, and belief, the Work complies with the requirements of the Contract Documents.

§ 3.6.6.2 The Architect's inspections shall be conducted with the Owner to check conformance of the Work with the requirements of the Contract Documents and to verify the accuracy and completeness of the list submitted by the Contractor of Work to be completed or corrected.

§ 3.6.6.3 When Substantial Completion has been achieved, the Architect shall inform the Owner about the balance of the Contract Sum remaining to be paid the Contractor, including the amount to be retained from the Contract Sum, if any, for final completion or correction of the Work.

§ 3.6.6.4 The Architect shall forward to the Owner the following information received from the Contractor: (1) consent of surety or sureties, if any, to reduction in or partial release of retainage or the making of final payment; (2) affidavits, receipts, releases and waivers of liens, or bonds indemnifying the Owner against liens; and (3) any other documentation required of the Contractor under the Contract Documents.

§ 3.6.6.5 Upon request of the Owner, and prior to the expiration of one year from the date of Substantial Completion, the Architect shall, without additional compensation, conduct a meeting with the Owner to review the facility operations and performance.

ARTICLE 4 SUPPLEMENTAL AND ADDITIONAL SERVICES

§ 4.1 Supplemental Services

§ 4.1.1 The services listed below are not included in Basic Services but may be required for the Project. The Architect shall provide the listed Supplemental Services only if specifically designated in the table below as the Architect's responsibility, and the Owner shall compensate the Architect as provided in Section 11.2. Unless otherwise specifically addressed in this Agreement, if neither the Owner nor the Architect is designated, the parties agree that the listed Supplemental Service is not being provided for the Project.

(Designate the Architect's Supplemental Services and the Owner's Supplemental Services required for the Project by indicating whether the Architect or Owner shall be responsible for providing the identified Supplemental Service. Insert a description of the Supplemental Services in Section 4.1.2 below or attach the description of services as an exhibit to this Agreement.)

Init.

Supplemental Services	Responsibility (Architect, Owner, or not provided)
§ 4.1.1.1 Programming	Architect, Exhibit B
§ 4.1.1.2 Multiple preliminary designs	Not Provided - N/A
§ 4.1.1.3 Measured drawings	Architect, Exhibit B
§ 4.1.1.4 Existing facilities surveys	Owner, Exhibit B
§ 4.1.1.5 Site evaluation and planning	Not Provided - N/A
§ 4.1.1.6 Building Information Model management responsibilities	Architect, Exhibit B
§ 4.1.1.7 Development of Building Information Models for post construction use	Not Provided - N/A
§ 4.1.1.8 Civil engineering	Architect, Exhibit B
§ 4.1.1.9 Landscape design	Not Provided - N/A
§ 4.1.1.10 Architectural interior design	Not Provided - N/A
§ 4.1.1.11 Value analysis	Not Provided - N/A
§ 4.1.1.12 Detailed cost estimating beyond that required in Section 6.3	Architect, Exhibit B
§ 4.1.1.13 On-site project representation	Not Provided - N/A
§ 4.1.1.14 Conformed documents for construction	Architect, Exhibit B
§ 4.1.1.15 As-designed record drawings	Architect, Exhibit B
§ 4.1.1.16 As-constructed record drawings	Architect, Exhibit B
§ 4.1.1.17 Post-occupancy evaluation	Not Provided - N/A
§ 4.1.1.18 Facility support services	Not Provided - N/A
§ 4.1.1.19 Tenant-related services	Not Provided - N/A
§ 4.1.1.20 Architect's coordination of the Owner's consultants	Architect, Exhibit B
§ 4.1.1.21 Telecommunications/data design	Owner, Exhibit B
§ 4.1.1.22 Security evaluation and planning	Not Provided - N/A
§ 4.1.1.23 Commissioning	Owner, Exhibit B
§ 4.1.1.24 Sustainable Project Services pursuant to Section 4.1.3	Not Provided - N/A
§ 4.1.1.25 Fast-track design services	Not Provided - N/A
§ 4.1.1.26 Multiple bid packages	Not Provided - N/A
§ 4.1.1.27 Historic preservation	Architect, Exhibit B
§ 4.1.1.28 Furniture, furnishings, and equipment design	Not Provided - N/A
§ 4.1.1.29 Other services provided by specialty Consultants	Architect, Exhibit B
§ 4.1.1.30 Other Supplemental Services	Not Provided - N/A
4.1.1.31 Land Survey Services	Owner, Exhibit B
4.1.1.32 Geotechnical Services	Owner, Exhibit B
4.1.1.33 Environmental Studies and Reports	Owner, Exhibit B
4.1.1.34 Materials Testing	Owner, Exhibit B
4.1.1.35 Models and Renderings	Owner, Exhibit B
4.1.1.36 Fees Payable to AHJ	Owner, Exhibit B

§ 4.1.2 Description of Supplemental Services

§ 4.1.2.1 A description of each Supplemental Service identified in Section 4.1.1 as the Architect's responsibility is provided below.

Init.

(Describe in detail the Architect's Supplemental Services identified in Section 4.1.1 or, if set forth in an exhibit, identify the exhibit. The AIA publishes a number of Standard Form of Architect's Services documents that can be included as an exhibit to describe the Architect's Supplemental Services.)

Reference Exhibit B, Supplemental Services

§ 4.1.2.2 A description of each Supplemental Service identified in Section 4.1.1 as the Owner's responsibility is provided below.

(Describe in detail the Owner's Supplemental Services identified in Section 4.1.1 or, if set forth in an exhibit, identify the exhibit.)

Reference Exhibit B, Supplemental Services

§ 4.1.3 If the Owner identified a Sustainable Objective in Article 1, the Architect shall provide, as a Supplemental Service, the Sustainability Services required in AIA Document E204™-2017, Sustainable Projects Exhibit, attached to this Agreement. The Owner shall compensate the Architect as provided in Section 11.2.

§ 4.2 Architect's Additional Services

The Architect may provide Additional Services after execution of this Agreement without invalidating the Agreement. Except for services required due to the fault of the Architect, any Additional Services provided in accordance with this Section 4.2 shall entitle the Architect to compensation pursuant to Section 11.3 and an appropriate adjustment in the Architect's schedule.

§ 4.2.1 Upon recognizing the need to perform the following Additional Services, the Architect shall notify the Owner with reasonable promptness and explain the facts and circumstances giving rise to the need. The Architect shall not proceed to provide the following Additional Services until the Architect receives the Owner's written authorization:

- .1 Services necessitated by a change in the Initial Information, previous instructions or approvals given by the Owner, or a material change in the Project including size, quality, complexity, the Owner's schedule or budget for Cost of the Work, or procurement or delivery method;
- .2 Services necessitated by the enactment or revision of codes, laws, or regulations, including changing or editing previously prepared Instruments of Service;
- .3 Changing or editing previously prepared Instruments of Service necessitated by official interpretations of applicable codes, laws or regulations that are either (a) contrary to specific interpretations by the applicable authorities having jurisdiction made prior to the issuance of the building permit, or (b) contrary to requirements of the Instruments of Service when those Instruments of Service were prepared in accordance with the applicable standard of care;
- .4 Services necessitated by decisions of the Owner not rendered in a timely manner or any other failure of performance on the part of the Owner or the Owner's consultants or contractors;
- .5 Preparing digital models or other design documentation for transmission to the Owner's consultants and contractors, or to other Owner-authorized recipients;
- .6 Preparation of design and documentation for alternate bid or proposal requests proposed by the Owner;
- .7 Preparation for, and attendance at, a public presentation, meeting or hearing;
- .8 Preparation for, and attendance at, a dispute resolution proceeding or legal proceeding, except where the Architect is party thereto;
- .9 Evaluation of the qualifications of entities providing bids or proposals;
- .10 Consultation concerning replacement of Work resulting from fire or other cause during construction; or,
- .11 Assistance to the Initial Decision Maker, if other than the Architect.

§ 4.2.2 To avoid delay in the Construction Phase, the Architect shall provide the following Additional Services, notify the Owner with reasonable promptness, and explain the facts and circumstances giving rise to the need. If, upon receipt of the Architect's notice, the Owner determines that all or parts of the services are not required, the Owner shall give prompt written notice to the Architect of the Owner's determination. The Owner shall compensate the Architect for the services provided prior to the Architect's receipt of the Owner's notice.

- .1 Reviewing a Contractor's submittal out of sequence from the submittal schedule approved by the Architect;

Init.

- .2 Responding to the Contractor's requests for information that are not prepared in accordance with the Contract Documents or where such information is available to the Contractor from a careful study and comparison of the Contract Documents, field conditions, other Owner-provided information, Contractor-prepared coordination drawings, or prior Project correspondence or documentation;
- .3 Preparing Change Orders and Construction Change Directives that require evaluation of Contractor's proposals and supporting data, or the preparation or revision of Instruments of Service;
- .4 Evaluating an extensive number of Claims as the Initial Decision Maker; or,
- .5 Evaluating substitutions proposed by the Owner or Contractor and making subsequent revisions to Instruments of Service resulting therefrom.

§ 4.2.3 The Architect shall provide Construction Phase Services exceeding the limits set forth below as Additional Services. When the limits below are reached, the Architect shall notify the Owner:

- .1 Two (2) reviews of each Shop Drawing, Product Data item, sample and similar submittals of the Contractor
- .2 Fifty-two (52) visits to the site by the Architect during construction
(12 Mo / 12 Mo per Yr x 52 Wk per Yr)
- .3 Two (2) inspections for any portion of the Work to determine whether such portion of the Work is substantially complete in accordance with the requirements of the Contract Documents
- .4 Two (2) inspections for any portion of the Work to determine final completion.

§ 4.2.4 Except for services required under Section 3.6.6.5 and those services that do not exceed the limits set forth in Section 4.2.3, Construction Phase Services provided more than 60 days after (1) the date of Substantial Completion of the Work or (2) the initial date of Substantial Completion identified in the agreement between the Owner and Contractor, whichever is earlier, shall be compensated as Additional Services to the extent the Architect incurs additional cost in providing those Construction Phase Services.

§ 4.2.5 If the services covered by this Agreement have not been completed within Twenty-eight (28) months of the date of this Agreement, through no fault of the Architect, extension of the Architect's services beyond that time shall be compensated as Additional Services. Reference Exhibit A, Initial Information.

ARTICLE 5 OWNER'S RESPONSIBILITIES

§ 5.1 Unless otherwise provided for under this Agreement, the Owner shall provide information in a timely manner regarding requirements for and limitations on the Project, including a written program, which shall set forth the Owner's objectives; schedule; constraints and criteria, including space requirements and relationships; flexibility; expandability; special equipment; systems; and site requirements.

§ 5.2 The Owner shall establish the Owner's budget for the Project, including (1) the budget for the Cost of the Work as defined in Section 6.1; (2) the Owner's other costs; and, (3) reasonable contingencies related to all of these costs. The Owner shall update the Owner's budget for the Project as necessary throughout the duration of the Project until final completion. If the Owner significantly increases or decreases the Owner's budget for the Cost of the Work, the Owner shall notify the Architect. The Owner and the Architect shall thereafter agree to a corresponding change in the Project's scope and quality.

§ 5.3 The Owner shall identify a representative authorized to act on the Owner's behalf with respect to the Project. The Owner shall render decisions and approve the Architect's submittals in a timely manner in order to avoid unreasonable delay in the orderly and sequential progress of the Architect's services.

§ 5.4 The Owner shall furnish surveys to describe physical characteristics, legal limitations and utility locations for the site of the Project, and a written legal description of the site. The surveys and legal information shall include, as applicable, grades and lines of streets, alleys, pavements and adjoining property and structures; designated wetlands; adjacent drainage; rights-of-way, restrictions, easements, encroachments, zoning, deed restrictions, boundaries and contours of the site; locations, dimensions, and other necessary data with respect to existing buildings, other improvements and trees; and information concerning available utility services and lines, both public and private, above and below grade, including inverts and depths. All the information on the survey shall be referenced to a Project benchmark.

Int.

§ 5.5 The Owner shall furnish services of geotechnical engineers, which may include test borings, test pits, determinations of soil bearing values, percolation tests, evaluations of hazardous materials, seismic evaluation, ground corrosion tests and resistivity tests, including necessary operations for anticipating subsoil conditions, with written reports and appropriate recommendations.

§ 5.6 The Owner shall provide the Supplemental Services designated as the Owner's responsibility in Section 4.1.1.

(Paragraph deleted)

§ 5.8 The Owner shall coordinate the services of its own consultants with those services provided by the Architect. Upon the Architect's request, the Owner shall furnish copies of the scope of services in the contracts between the Owner and the Owner's consultants. The Owner shall furnish the services of consultants other than those designated as the responsibility of the Architect in this Agreement, or authorize the Architect to furnish them as an Additional Service, when the Architect requests such services and demonstrates that they are reasonably required by the scope of the Project. The Owner shall require that its consultants and contractors maintain insurance, including professional liability insurance, as appropriate to the services or work provided.

§ 5.9 The Owner shall furnish tests, inspections and reports required by law or the Contract Documents, such as structural, mechanical, and chemical tests, tests for air and water pollution, and tests for hazardous materials.

§ 5.10 The Owner shall furnish all legal, insurance and accounting services, including auditing services, that may be reasonably necessary at any time for the Project to meet the Owner's needs and interests.

§ 5.11 The Owner shall provide prompt written notice to the Architect if the Owner becomes aware of any fault or defect in the Project, including errors, omissions or inconsistencies in the Architect's Instruments of Service.

§ 5.12 The Owner shall include the Architect in all communications with the Contractor that relate to or affect the Architect's services or professional responsibilities. The Owner shall promptly notify the Architect of the substance of any direct communications between the Owner and the Contractor otherwise relating to the Project. Communications by and with the Architect's consultants shall be through the Architect.

§ 5.13 Before executing the Contract for Construction, the Owner shall coordinate the Architect's duties and responsibilities set forth in the Contract for Construction with the Architect's services set forth in this Agreement. The Owner shall provide the Architect a copy of the executed agreement between the Owner and Contractor, including the General Conditions of the Contract for Construction.

§ 5.14 The Owner shall provide the Architect access to the Project site prior to commencement of the Work and shall obligate the Contractor to provide the Architect access to the Work wherever it is in preparation or progress.

§ 5.15 Within 15 days after receipt of a written request from the Architect, the Owner shall furnish the requested information as necessary and relevant for the Architect to evaluate, give notice of, or enforce lien rights.

ARTICLE 6 COST OF THE WORK

§ 6.1 For purposes of this Agreement, the Cost of the Work shall be the total cost to the Owner to construct all elements of the Project designed or specified by the Architect and shall include contractors' general conditions costs, overhead and profit. The Cost of the Work also includes the reasonable value of labor, materials, and equipment, donated to, or otherwise furnished by, the Owner. The Cost of the Work does not include the compensation of the Architect; the costs of the land, rights-of-way, financing, or contingencies for changes in the Work; or other costs that are the responsibility of the Owner.

§ 6.2 The Owner's budget for the Cost of the Work is provided in Initial Information, and shall be adjusted throughout the Project as required under Sections 5.2, 6.4 and 6.5. Evaluations of the Owner's budget for the Cost of the Work, and the preliminary estimate of the Cost of the Work and updated estimates of the Cost of the Work, prepared by the Architect, represent the Architect's judgment as a design professional. It is recognized, however, that neither the Architect nor the Owner has control over the cost of labor, materials, or equipment; the Contractor's methods of determining bid prices; or competitive bidding, market, or negotiating conditions. Accordingly, the Architect cannot

Init.

and does not warrant or represent that bids or negotiated prices will not vary from the Owner's budget for the Cost of the Work, or from any estimate of the Cost of the Work, or evaluation, prepared or agreed to by the Architect.

§ 6.3 In preparing estimates of the Cost of Work, the Architect shall be permitted to include contingencies for design, bidding, and price escalation; to determine what materials, equipment, component systems, and types of construction are to be included in the Contract Documents; to recommend reasonable adjustments in the program and scope of the Project; and to include design alternates as may be necessary to adjust the estimated Cost of the Work to meet the Owner's budget. The Architect's estimate of the Cost of the Work shall be based on current area, volume or similar conceptual estimating techniques. If the Owner requires a detailed estimate of the Cost of the Work, the Architect shall provide such an estimate, if identified as the Architect's responsibility in Section 4.1.1, as a Supplemental Service.

§ 6.4 If, through no fault of the Architect, the Procurement Phase has not commenced within 90 days after the Architect submits the Construction Documents to the Owner, the Owner's budget for the Cost of the Work shall be adjusted to reflect changes in the general level of prices in the applicable construction market.

§ 6.5 If at any time the Architect's estimate of the Cost of the Work exceeds the Owner's budget for the Cost of the Work, the Architect shall make appropriate recommendations to the Owner to adjust the Project's size, quality, or budget for the Cost of the Work, and the Owner shall cooperate with the Architect in making such adjustments.

§ 6.6 If the Owner's budget for the Cost of the Work at the conclusion of the Construction Documents Phase Services is exceeded by the lowest bona fide bid or negotiated proposal, the Owner shall

- .1 give written approval of an increase in the budget for the Cost of the Work;
- .2 authorize rebidding or renegotiating of the Project within a reasonable time;
- .3 terminate in accordance with Section 9.5;
- .4 in consultation with the Architect, revise the Project program, scope, or quality as required to reduce the Cost of the Work; or,
- .5 implement any other mutually acceptable alternative.

§ 6.7 If the Owner chooses to proceed under Section 6.6.4, the Architect shall modify the Construction Documents as necessary to comply with the Owner's budget for the Cost of the Work at the conclusion of the Construction Documents Phase Services, or the budget as adjusted under Section 6.6.1. If the Owner requires the Architect to modify the Construction Documents because the lowest bona fide bid or negotiated proposal exceeds the Owner's budget for the Cost of the Work due to market conditions the Architect could not reasonably anticipate, the Owner shall compensate the Architect for the modifications as an Additional Service pursuant to Section 11.3; otherwise the Architect's services for modifying the Construction Documents shall be without additional compensation. In any event, the Architect's modification of the Construction Documents shall be the limit of the Architect's responsibility under this Article 6.

ARTICLE 7 COPYRIGHTS AND LICENSES

§ 7.1 The Architect and the Owner warrant that in transmitting Instruments of Service, or any other information, the transmitting party is the copyright owner of such information or has permission from the copyright owner to transmit such information for its use on the Project.

§ 7.2 The Architect and the Architect's consultants shall be deemed the authors and owners of their respective Instruments of Service, including the Drawings and Specifications, and shall retain all common law, statutory and other reserved rights, including copyrights. Submission or distribution of Instruments of Service to meet official regulatory requirements or for similar purposes in connection with the Project is not to be construed as publication in derogation of the reserved rights of the Architect and the Architect's consultants.

§ 7.3 The Architect grants to the Owner a nonexclusive license to use the Architect's Instruments of Service solely and exclusively for purposes of constructing, using, maintaining, altering and adding to the Project, provided that the Owner substantially performs its obligations under this Agreement, including prompt payment of all sums due pursuant to Article 9 and Article 11. The Architect shall obtain similar nonexclusive licenses from the Architect's consultants consistent with this Agreement. The license granted under this section permits the Owner to authorize the Contractor, Subcontractors, Sub-subcontractors, and suppliers, as well as the Owner's consultants and separate contractors, to reproduce applicable portions of the Instruments of Service, subject to any protocols established

init.

pursuant to Section 1.3, solely and exclusively for use in performing services or construction for the Project. If the Architect rightfully terminates this Agreement for cause as provided in Section 9.4, the license granted in this Section 7.3 shall terminate.

§ 7.3.1 In the event the Owner uses the Instruments of Service without retaining the authors of the Instruments of Service, the Owner releases the Architect and Architect's consultant(s) from all claims and causes of action arising from such uses. The Owner, to the extent permitted by law, further agrees to indemnify and hold harmless the Architect and its consultants from all costs and expenses, including the cost of defense, related to claims and causes of action asserted by any third person or entity to the extent such costs and expenses arise from the Owner's use of the Instruments of Service under this Section 7.3.1. The terms of this Section 7.3.1 shall not apply if the Owner rightfully terminates this Agreement for cause under Section 9.4.

§ 7.4 Except for the licenses granted in this Article 7, no other license or right shall be deemed granted or implied under this Agreement. The Owner shall not assign, delegate, sublicense, pledge or otherwise transfer any license granted herein to another party without the prior written agreement of the Architect. Any unauthorized use of the Instruments of Service shall be at the Owner's sole risk and without liability to the Architect and the Architect's consultants.

§ 7.5 Except as otherwise stated in Section 7.3, the provisions of this Article 7 shall survive the termination of this Agreement.

ARTICLE 8 CLAIMS AND DISPUTES

§ 8.1 General

§ 8.1.1 The Owner and Architect shall commence all claims and causes of action against the other and arising out of or related to this Agreement, whether in contract, tort, or otherwise, in accordance with the requirements of the binding dispute resolution method selected in this Agreement and within the period specified by applicable law, but in any case not more than 10 years after the date of Substantial Completion of the Work. The Owner and Architect waive all claims and causes of action not commenced in accordance with this Section 8.1.1.

§ 8.1.2 To the extent damages are covered by property insurance, the Owner and Architect waive all rights against each other and against the contractors, consultants, agents, and employees of the other for damages, except such rights as they may have to the proceeds of such insurance as set forth in AIA Document A201-2017, General Conditions of the Contract for Construction. The Owner or the Architect, as appropriate, shall require of the contractors, consultants, agents, and employees of any of them, similar waivers in favor of the other parties enumerated herein.

§ 8.1.3 The Architect and Owner waive consequential damages for claims, disputes, or other matters in question, arising out of or relating to this Agreement. This mutual waiver is applicable, without limitation, to all consequential damages due to either party's termination of this Agreement, except as specifically provided in Section 9.7.

§ 8.2 Mediation

§ 8.2.1 Any claim, dispute or other matter in question arising out of or related to this Agreement shall be subject to mediation as a condition precedent to binding dispute resolution. If such matter relates to or is the subject of a lien arising out of the Architect's services, the Architect may proceed in accordance with applicable law to comply with the lien notice or filing deadlines prior to resolution of the matter by mediation or by binding dispute resolution.

§ 8.2.2 The Owner and Architect shall endeavor to resolve claims, disputes and other matters in question between them by mediation, which, unless the parties mutually agree otherwise, shall be administered by the American Arbitration Association in accordance with its Construction Industry Mediation Procedures in effect on the date of this Agreement. A request for mediation shall be made in writing, delivered to the other party to this Agreement, and filed with the person or entity administering the mediation. The request may be made concurrently with the filing of a complaint or other appropriate demand for binding dispute resolution but, in such event, mediation shall proceed in advance of binding dispute resolution proceedings, which shall be stayed pending mediation for a period of 60 days from the date of filing, unless stayed for a longer period by agreement of the parties or court order. If an arbitration proceeding is stayed pursuant to this section, the parties may nonetheless proceed to the selection of the arbitrator(s) and agree upon a schedule for later proceedings.

Init.

§ 8.2.3 The parties shall share the mediator's fee and any filing fees equally. The mediation shall be held in the place where the Project is located, unless another location is mutually agreed upon. Agreements reached in mediation shall be enforceable as settlement agreements in any court having jurisdiction thereof.

§ 8.2.4 If the parties do not resolve a dispute through mediation pursuant to this Section 8.2, the method of binding dispute resolution shall be the following:

(Check the appropriate box.)

☐ Arbitration pursuant to Section 8.3 of this Agreement

☒ Litigation in a court of competent jurisdiction

☐ Other: (Specify)

If the Owner and Architect do not select a method of binding dispute resolution, or do not subsequently agree in writing to a binding dispute resolution method other than litigation, the dispute will be resolved in a court of competent jurisdiction.

(Paragraphs deleted)

§ 8.4 The provisions of this Article 8 shall survive the termination of this Agreement.

ARTICLE 9 TERMINATION OR SUSPENSION

§ 9.1 If the Owner fails to make payments to the Architect in accordance with this Agreement, such failure shall be considered substantial nonperformance and cause for termination or, at the Architect's option, cause for suspension of performance of services under this Agreement. If the Architect elects to suspend services, the Architect shall give seven days' written notice to the Owner before suspending services. In the event of a suspension of services, the Architect shall have no liability to the Owner for delay or damage caused the Owner because of such suspension of services. Before resuming services, the Owner shall pay the Architect all sums due prior to suspension and any expenses incurred in the interruption and resumption of the Architect's services. The Architect's fees for the remaining services and the time schedules shall be equitably adjusted.

§ 9.2 If the Owner suspends the Project, the Architect shall be compensated for services performed prior to notice of such suspension. When the Project is resumed, the Architect shall be compensated for expenses incurred in the interruption and resumption of the Architect's services. The Architect's fees for the remaining services and the time schedules shall be equitably adjusted.

§ 9.3 If the Owner suspends the Project for more than 90 cumulative days for reasons other than the fault of the Architect, the Architect may terminate this Agreement by giving not less than seven days' written notice.

§ 9.4 Either party may terminate this Agreement upon not less than seven days' written notice should the other party fail substantially to perform in accordance with the terms of this Agreement through no fault of the party initiating the termination.

§ 9.5 The Owner may terminate this Agreement upon not less than seven days' written notice to the Architect for the Owner's convenience and without cause.

§ 9.6 If the Owner terminates this Agreement for its convenience pursuant to Section 9.5, or the Architect terminates this Agreement pursuant to Section 9.3, the Owner shall compensate the Architect for services performed prior to termination, Reimbursable Expenses incurred, and costs attributable to termination, including the costs attributable to the Architect's termination of consultant agreements.

§ 9.7 In addition to any amounts paid under Section 9.6, if the Owner terminates this Agreement for its convenience pursuant to Section 9.5, or the Architect terminates this Agreement pursuant to Section 9.3, the Owner shall pay to the Architect the following fees:

Init.

(Set forth below the amount of any termination or licensing fee, or the method for determining any termination or licensing fee.)

.1 Termination Fee:

The Termination Fee is equivalent to 5% of the Architect's fee as stipulated in Section 11.1.

.2 Licensing Fee if the Owner intends to continue using the Architect's Instruments of Service:

Zero (\$0.00) Dollars

§ 9.8 Except as otherwise expressly provided herein, this Agreement shall terminate one year from the date of Substantial Completion.

§ 9.9 The Owner's rights to use the Architect's Instruments of Service in the event of a termination of this Agreement are set forth in Article 7 and Section 9.7.

ARTICLE 10 MISCELLANEOUS PROVISIONS

§ 10.1 This Agreement shall be governed by the law of the place where the Project is located, excluding that jurisdiction's choice of law rules.

§ 10.2 Terms in this Agreement shall have the same meaning as those in AIA Document A201-2017, General Conditions of the Contract for Construction.

§ 10.3 The Owner and Architect, respectively, bind themselves, their agents, successors, assigns, and legal representatives to this Agreement. Neither the Owner nor the Architect shall assign this Agreement without the written consent of the other.

§ 10.4 If the Owner requests the Architect to execute certificates, the proposed language of such certificates shall be submitted to the Architect for review at least 14 days prior to the requested dates of execution. If the Owner requests the Architect to execute consents reasonably required to facilitate assignment to a lender, the Architect shall execute all such consents that are consistent with this Agreement, provided the proposed consent is submitted to the Architect for review at least 14 days prior to execution. The Architect shall not be required to execute certificates or consents that would require knowledge, services, or responsibilities beyond the scope of this Agreement.

§ 10.5 Nothing contained in this Agreement shall create a contractual relationship with, or a cause of action in favor of, a third party against either the Owner or Architect.

§ 10.6 Unless otherwise required in this Agreement, the Architect shall have no responsibility for the discovery, presence, handling, removal or disposal of, or exposure of persons to, hazardous materials or toxic substances in any form at the Project site.

§ 10.7 The Architect shall have the right to include photographic or artistic representations of the design of the Project among the Architect's promotional and professional materials. The Architect shall be given reasonable access to the completed Project to make such representations. However, the Architect's materials shall not include the Owner's confidential or proprietary information if the Owner has previously advised the Architect in writing of the specific information considered by the Owner to be confidential or proprietary. The Owner shall provide professional credit for the Architect in the Owner's promotional materials for the Project. This Section 10.7 shall survive the termination of this Agreement unless the Owner terminates this Agreement for cause pursuant to Section 9.4.

§ 10.8 If the Architect or Owner receives information specifically designated as "confidential" or "business proprietary," the receiving party shall keep such information strictly confidential and shall not disclose it to any other person except as set forth in Section 10.8.1. This Section 10.8 shall survive the termination of this Agreement.

§ 10.8.1 The receiving party may disclose "confidential" or "business proprietary" information after 7 days' notice to the other party, when required by law, arbitrator's order, or court order, including a subpoena or other form of compulsory legal process issued by a court or governmental entity, or to the extent such information is reasonably

necessary for the receiving party to defend itself in any dispute. The receiving party may also disclose such information to its employees, consultants, or contractors in order to perform services or work solely and exclusively for the Project, provided those employees, consultants and contractors are subject to the restrictions on the disclosure and use of such information as set forth in this Section 10.8.

§ 10.9 The invalidity of any provision of the Agreement shall not invalidate the Agreement or its remaining provisions. If it is determined that any provision of the Agreement violates any law, or is otherwise invalid or unenforceable, then that provision shall be revised to the extent necessary to make that provision legal and enforceable. In such case the Agreement shall be construed, to the fullest extent permitted by law, to give effect to the parties' intentions and purposes in executing the Agreement.

ARTICLE 11 COMPENSATION

§ 11.1 For the Architect's Basic Services described under Article 3, the Owner shall compensate the Architect as follows:

.1 Stipulated Sum

(Paragraphs deleted) Compensation is \$346,500. The equivalent percentage fee for applicable change orders and changes in the scope of work is 9.90% (\$346,500 / \$3,500,000).

§ 11.2 For the Architect's Supplemental Services designated in Section 4.1.1 the Owner shall compensate the Architect as follows:

(Insert amount of, or basis for, compensation. If necessary, list specific services to which particular methods of compensation apply.)

Compensation is included in Section 11.1. Compensation for adding additional services is at the hourly billing rates stated in Section 11.7 plus expenses incurred.

§ 11.3 For Additional Services that may arise during the course of the Project, including those under Section 4.2, the Owner shall compensate the Architect as follows:

(Insert amount of, or basis for, compensation.)

Compensation for changes stated in Section 4.2.1.1 and 4.2.1.6, which include increasing project financial parameters and adding Owner requested alternates, is calculated by applying the equivalent percentage fee as indicated in Section 11.1. Compensation for the remaining additional services stated in Section 4.2 is at the hourly billing rates stated in Section 11.7 plus expenses incurred.

§ 11.4 Compensation for Additional Services of the Architect's consultants when not included in Section 11.2 or 11.3, shall be the amount invoiced to the Architect plus the Architect's time in accordance with Section 11.7.

(Insert amount of, or basis for computing, Architect's consultants' compensation for Supplemental or Additional Services.)

§ 11.5 When compensation for Basic Services is based on a stipulated sum or a percentage basis, the proportion of compensation for each phase of services shall be as follows:

Reference Exhibit D

Schematic Design Phase (SD)	\$58,975
Design Development Phase (DD)	\$74,550
Construction Documents Phase (CD)	\$103,950
Bidding & Negotiation Phase (BN)	\$ 15,575
<i>(Row deleted)</i>	
Construction Administration Phase (CA)	\$77,875
Contract Closeout Phase (CC)	\$ 15,575
Design Fee	\$346,500

Init.

(Row deleted)

(Paragraphs deleted)

§ 11.7 The hourly billing rates for services of the Architect and the Architect's consultants are set forth below. The rates shall be adjusted in accordance with the Architect's and Architect's consultants' normal review practices. (If applicable, attach an exhibit of hourly billing rates or insert them below.)

Employee or Category	Rate (\$0.00)
Principal	\$175 per Hour
Project Manager	\$120 per Hour
Clerical and Technical Staff	\$70 per Hour

§ 11.8 Compensation for Reimbursable Expenses

§ 11.8.1 Reimbursable Expenses are in addition to compensation for Basic, Supplemental, and Additional Services and include expenses incurred by the Architect and the Architect's consultants directly related to the Project, as follows:

(Paragraphs deleted)

- .3 Permitting and other fees required by authorities having jurisdiction over the Project;
- .7 Renderings, physical models, mock-ups, professional photography, and presentation materials requested by the Owner or required for the Project;
- .9 All taxes levied on professional services and on reimbursable expenses;

(Paragraphs deleted)

§ 11.8.2 For Reimbursable Expenses the compensation shall be the expenses incurred by the Architect and the Architect's consultants plus the Architect's time in accordance with Section 11.7. Reimbursable expenses are authorized by the Owner in advance of procurement.

(Paragraphs deleted)

§ 11.10 Payments to the Architect

§ 11.10.1 Initial Payments

§ 11.10.1.1 An initial payment of Zero (\$ 0) shall be made upon execution of this Agreement. It shall be credited to the Owner's account in the final invoice.

(Paragraph deleted)

§ 11.10.2 Progress Payments

§ 11.10.2.1 Unless otherwise agreed, payments for services shall be made monthly in proportion to services performed. Payments are due and payable upon presentation of the Architect's invoice. Amounts unpaid Thirty (30) days after the invoice date shall bear interest at the rate entered below, or in the absence thereof at the legal rate prevailing from time to time at the principal place of business of the Architect.

(Insert rate of monthly or annual interest agreed upon.)

Unpaid amounts bear an interest rate of Prime + 3% and incur an administrative late fee of 1% per month on the outstanding balance until the account is current.

§ 11.10.2.2 The Owner shall not withhold amounts from the Architect's compensation to impose a penalty or liquidated damages on the Architect, or to offset sums requested by or paid to contractors for the cost of changes in the Work, unless the Architect agrees or has been found liable for the amounts in a binding dispute resolution proceeding.

§ 11.10.2.3 Records of Reimbursable Expenses, expenses pertaining to Supplemental and Additional Services, and services performed on the basis of hourly rates shall be available to the Owner at mutually convenient times.

(Paragraphs deleted)

Init.

ARTICLE 13 SCOPE OF THE AGREEMENT

§ 13.1 This Agreement represents the entire and integrated agreement between the Owner and the Architect and supersedes all prior negotiations, representations or agreements, either written or oral. This Agreement may be amended only by written instrument signed by both the Owner and Architect.

§ 13.2 This Agreement is comprised of the following documents identified below:

- .1 AIA Document B101™-2017, Standard Form Agreement Between Owner and Architect

(Paragraphs deleted)

- .3 Exhibits:

(Check the appropriate box for any exhibits incorporated into this Agreement.)

- [X] Other Exhibits incorporated into this Agreement:

(Clearly identify any other exhibits incorporated into this Agreement, including any exhibits and scopes of services identified as exhibits in Section 4.1.2.)

Exhibit A, Initial Information dated November 1, 2020

Exhibit B, Supplemental Services dated November 1, 2020

Exhibit C, Preliminary Floor Planning dated March 1, 2020

Exhibit D, MBF Architects, P. A. correspondence dated November 1, 2020

Exhibit E, Project Budget 2 dated November 1, 2020

Exhibit F, Construction Cost Estimate 2 dated November 1, 2020

Exhibit G, Alteration & Renovation Cost Estimate 1 dated November 1, 2020

- .4 Other documents:

(List other documents, if any, forming part of the Agreement.)

Not applicable

This Agreement entered into as of the day and year first written above.

On behalf of:

City of New Bern

(Signature)

Mark Stephens

City Manager

(Printed name and title)

Date of Execution

On behalf of:

MBF Architects, P.A.

(Signature)

Darden J. Eure, III, AIA, NCARB

Vice President

(Printed name, title, and license number, if required)

Electronic Counterpart

Init.





November 1, 2020
Exhibit D

Mr. Mark Stephens, PE
City Manager
City of New Bern
300 Pollock Street (28560)
PO Box 1129
New Bern, NC 28563

stephensm@newbern-nc.org

RE: City Hall Elevator Annex
City of New Bern
New Bern, Craven County
MBFA No: 2009

Dear Mark:

I have reviewed our file and submit Project Budget 2 summarizing the various line item expenses associated with this project. You may have other expenses or funding of which we are not aware, and I will be happy to include those at your request. Also included is Construction Cost Estimate 2 pertaining to the elevator annex and Alteration & Renovation Cost Estimate 1 pertaining to adjoining work to make connection to historic City Hall.

Based on a Project Budget of \$3,500,000, we request compensation in the amount of \$346,500 for furnishing basic architectural and specialty consultant professional services. The project scope requires construction of approximately 5,268 square feet for a three story business building of conventional construction, approximately 756 square feet of adjoining alterations and associated site improvements. Our office billing rate is \$175 per hour should additional services beyond this scope be required.

Work effort for basic architectural services, refining building annex concept plans, historic preservation commission Certificate of Appropriateness, specialty consultants and historic preservation construction detailing included within the fee above is as follows:

		Basic Services	Concept, HPC	Sp Consult	Preservation
Schematic design	15%	\$ 39,375	\$ 5,250	\$ 7,350	\$ 7,000
Design development	20%	\$ 52,500	\$ 5,250	\$ 9,800	\$ 7,000
Construction documents	30%	\$ 78,750	\$ 10,500	\$ 14,700	
Bidding & negotiation	5%	\$ 13,125		\$ 2,450	
Construction administration	25%	\$ 65,625		\$ 12,250	
Contract closeout	5%	\$ 13,125		\$ 2,450	
	100%	\$ 262,500	\$ 21,000	\$ 49,000	\$ 14,000

We are engaging consultants within the fee above as follows:

Kaydos-Daniels Engineers, PLLC, Structural Engineering Consultant, 400-201 West Morgan Street, Raleigh, NC 27603
 En-Tech Engineering, P.A., Plumbing, Mechanical and Electrical Engineering Consultant, PO Box 11527, Goldsboro, NC 27532
 Thorburn Associates, Acoustical Consultant, Suite 800, 2500 Gateway Centre Boulevard, Morrisville, NC 27560
 Fire Protection Contractor to be determined
 Paul F. Stephens, RA, Historic Preservation Consultant, 2116 East Kings Highway, Coatesville, PA 19320
 Avolis Engineering, P.A., Civil Engineering Consultant, PO Box 15564, New Bern, NC 28561

We recommend that 5% of the Project Budget be maintained in a contingency. These funds pay for preconstruction site assessment reporting and mapping, development permit application fees, legal advertisements, unit price compensation, concealed condition modifications and construction materials testing.

Preliminary review of the scope indicates that 12 months be allowed for architectural design production, 2 months for soliciting bids and executing contracts, and 12 months for implementing construction. Of the 12 months for preparing Instruments of Service, 4 months are allowed for receiving an HPC Certificate of Appropriateness. This proposed timeframe is conservative based on the information available to us at this time. Every effort will be made, however, to expedite design progress and to seize opportunities to accelerate scheduling.

Pending discovery of new information, our submission schedule is as follows:

Owner proposal		1-Nov-20
Completion of contract execution	1 month	1-Dec-20
Schematic design	2 month	1-Feb-21
HPC design reviews, community engagement, 15-Mar-21		
Design development	4 months	1-Jun-21
HPC Certificate of Appropriateness, 15-Jul-21		
Construction documents	6 months	1-Dec-21
Estimated bid opening	1 month	1-Jan-22
Completion of construction contracts	1 month	1-Feb-22
Vacate affected staff and furniture, 1-Feb-22		
Contract work completion	12 months	1-Feb-23

Should you find these terms to be in order, please execute the Standard Form of Agreement Between Owner and Architect for services as stated in AIA Document B101-2017 with recommended project parameters.

We look forward to working with you again, and please do not hesitate to call me if you have any questions.

Sincerely,

A handwritten signature in black ink, appearing to read 'Darden J. Eure, III', with a stylized flourish at the end.

Darden J. Eure, III, AIA, NCARB

eure@mbfarchitects.com

MBF Architects, P.A.

Accepted by.

Mark Stephens, City Manager

Project Budget 2
Annex Addition

November 1, 2020

Funds Available:

Loan Monies:

Grant Monies:

Owner Funding/Cash Contribution:

\$3,500,000

\$3,500,000

Loan Closing and Interim Interest:

\$0

\$3,500,000

Land Acquisition

\$0

0.49 Acres at \$0 per AC

\$3,500,000

Cost Escalation* at:

0.0%

\$0

Contingency** at:

5.0%

\$175,000

Subtotal:

\$175,000

\$3,325,000

Architectural Fee

\$345,500

(Equivalent to Fee 0.90%)

\$2,978,500

Furniture

\$0

Special Equipment:

\$0

Landscaping

\$0

Subtotal:

\$0

Target Contract Awards

\$2,978,500

Land Acquisition Previously Completed by Owner

Cost escalation factors are used to approximate the increase in cost to be anticipated should the funding or design of a project be prolonged beyond one year. In general, most projects can be funded and designed in this amount of time. Otherwise, historical construction data suggests that costs increase at the rate of 4% per year.

Lump Sum

**Contingency funds are used to pay for development permit application fees, site survey assessments and mapping, soil testing, capacity testing for foundation design, legal advertisements, special project installations such as furniture, equipment or landscaping, unit price compensation, unforeseen and concealed conditions, changes following construction contract awards and materials testing during construction to demonstrate contract compliance.

Cost Escalation Calculation

(Nov '20 Origin / Jan '22 Bid Opening)

0.003333 per Month for 0 Months

OR 4% per Year

November

November

January

2020

2021

2022

Date of Estimate, Estimates Valid for One Year

Origin, Cost Escalation Begins

Target Bid Opening Date

Cost Escalation Schedule

	Date of Estimate		Adjusted Value for Deferred Funding				
	Construction Funds	November 2021	Year 1 2022	Year 2 2023	Year 3 2024	Year 4 2025	Year 5 2026
Estimated Value	\$3,500,000	\$3,500,000	\$3,640,000	\$3,785,600	\$3,937,024	\$4,094,505	\$4,258,285

City Hall Elevator Annex
City of New Bern
New Bern, Craven County

MBF Architects, P.A.
MBFA No. 2009
Exhibit F

Construction Cost Estimate 2
Construction

November 1, 2020

Gross Area, Total	5,268	SF	AC	Acres		
Area of Basement	0	SF	AL	Allowance		
Area of First Floor	2,551	SF	CF	Cubic Feet		
Area of Second Floor	2,093	SF	CY	Cubic Yards		
Area of Third Floor	624	SF	EA	Each		
Footprint Perimeter	218	LF	FL	Flight of Stairs		
Lug Footer	27	LF	FX	Fixture		
Strip Footer	191	LF	LF	Linear Feet		
Partition Strip Footer	109	LF	LS	Lump Sum		
Foundation Wall	191	LF	MH	Manhour		
Foundation Wall Ht to FF	7	LF	MO	Month		
Basement Wall FI to FI Ht	0	LF	SF	Square Feet		
Column Spread Footers	18	EA	ST	Stall		
Exterior Walls	645	LF	SY	Square Yard		
Exterior Stud Wall	0	LF	TN	Ton		
Exterior Masonry Wall	645	LF				
Interior Walls	561	LF				
Interior Stud Partition	0	LF				
1 Hour Stud Partition	0	LF				
2 Hour Stud Partition	0	LF				
Interior Masonry Partition	0	LF				
Interior Masonry to Deck	561	LF				
Eave Height	47	LF				
Parapet Height	3	LF				
Typ Floor to Floor Height	15	LF				
Interior Partition Height	15	LF				
Floor to Floor Height, Basement	0	LF				
Gross Roof Area	3,132	SF				
Roof Overhang & Soffit	138	LF				
Parapet Coping	111	LF				
Gross Window Area	475	SF				
Doors	29	EA				
Parking Stalls	0	EA				
Construction Limits	0.10	AC				
Property Acreage	0.49	AC				
			Duration of Construction	12	Months	
			Target Contract Awards	\$2,855,000		

Schematic Design
(AP, SD, DD, CD or BN)

Potential Tenant: Elevator, Toilets and Courtroom Egress

Development Concept: Achieve accessibility to administrative areas at floors one through three and the second floor courtroom by caressing historic City Hall with a service core annex having a Pollock Street main entrance

Section	Description	Qty	Unit	Cost per Unit	Extension	Ck'd
GC	General Conditions (Gross Area, Total)	5,268	SF	\$2.75	\$14,487	
GC	Complex Job Factor \$10,000 per \$100,000	1	AL	\$285,500.00	\$285,500	
GC	Bond at 2.3%	1	AL	\$65,665.00	\$65,665	
GC	Insurance at 0.6%	1	AL	\$17,130.00	\$17,130	
GC	Building Permits at \$6 per \$1,000	1	AL	\$17,130.00	\$17,130	
GC	Surveying (Gross Area, Total)	5,268	SF	\$0.34	\$1,791	
GC	Temporary Utilities at \$400 per \$100,000	1	AL	\$11,420.00	\$11,420	
GC	Job Sign	1	EA	\$1,000.00	\$1,000	
GC	Job Trailer	12	MO	\$350.00	\$4,200	
GC	Multi Story Equip Rent at \$2,800 per \$100,000	1	AL	\$79,940.00	\$79,940	
GC	Toilet Facilities (Construction Duration)	12	MO	\$100.00	\$1,200	
GC	Mobilization at \$584 per \$100,000	1	AL	\$16,673.20	\$16,673	
GC	Demobilization at \$584 per \$100,000	1	AL	\$16,673.20	\$16,673	
GC	Trash Removal at \$1,349 per \$100,000	1	AL	\$38,513.95	\$38,514	
GC	Temporary Plastic Dust Protection	15	LF	\$20.00	\$300	
GC	Final Cleaning (Gross Area, Total)	5,268	SF	\$0.41	\$2,160	
GC	Contract Closeout at \$100 per \$100,000	1	AL	\$2,855.00	\$2,855	
GC	Superintendent (Construction Duration)	12	MO	\$5,300.00	\$63,600	
01 76 00	Temp Chainlink Fence, Install & Remove	60	LF	\$5.63	\$338	
01 76 00	Temp Pedestrian Protection, Install & Remove	15	SF	\$0.81	\$12	
01 76 00	Temp Covered Walkway Pedestrian Protection, Install & Remove	400	SF	\$3.55	\$1,420	
03 30 00	Concrete Accessories (Gross Area, Total)	5,268	SF	\$0.30	\$1,580	
03 30 10	Fiber Reinforced Vapor Barrier (First Floor Area)	2,551	SF	\$0.50	\$1,276	
03 30 10	Expansion Joint Filler, 0.5 inch by 4 inch	77	LF	\$0.35	\$27	
03 30 10	Sawcut Concrete Control Joints	226	LF	\$3.00	\$678	
03 30 20	Concrete Formwork (Lug Footer)	27	LF	\$25.06	\$677	
03 30 30	Concrete Reinforcement (Footprint Perim + Part Strip Footer)	327	LF	\$24.15	\$7,897	
03 30 40	CIP, Lug Footings, 1.7 SF X-Sec (Lug Footer)	27	LF	\$136.00	\$3,672	
03 30 40	CIP, Concrete Footings, 2'-2" Wide (Strip Foot Perim + Part)	300	LF	\$61.00	\$18,300	
03 30 40	CIP, Spread Footings (Column Spread Footers)	18	EA	\$600.00	\$10,800	
03 30 40	CIP, Elevator Pit	1	EA	\$7,000.00	\$7,000	
03 30 40	CIP, Interior Steps	36	SF	\$24.24	\$873	
03 30 40	CIP, Slab on Grade, 4 Inch (First Floor)	2,551	SF	\$7.32	\$18,673	
03 30 40	CIP, Elevated Slab, 4 Inch (Sum of 2nd Floor and Up)	2,717	SF	\$4.23	\$11,493	
03 31 00	Concrete Testing	1	LS	\$500.00	\$500	
04 20 10	Mortar, Type S	5,268	SF	\$1.06	\$5,584	
04 20 10	Masonry Sand	5,268	SF	\$0.67	\$3,530	
04 20 10	Brick Ties	5,268	SF	\$1.04	\$5,479	
04 20 10	Grout Column Bases (Column Spread Footers)	18	EA	\$45.00	\$810	
04 20 10	Mortar & Masonry Access, Fill Block Core w/ Grout	1,337	SF	\$11.19	\$14,961	
04 20 20	Concrete Masonry Units (LF Found Wall x Typ Found Ht)	1,337	SF	\$14.51	\$19,400	
04 20 20	Concrete Masonry Units (LF Ext Mas Wall x Typ FI to FI Ht)	9,675	SF	\$14.51	\$140,384	
04 20 20	Concrete Mason to Deck (LF Int Mas Deck x Typ FI to FI Ht)	8,415	SF	\$14.51	\$122,102	
04 20 20	Concrete Masonry Units (LF Footprint Perimeter x Typ Parapet Ht)	654	SF	\$14.51	\$9,490	
04 20 20	Concrete Mason (Brick Gable Ends and Clearstory Walls)	192	SF	\$14.51	\$2,786	
04 20 20	Cut Masonry Control Joints (Perimeter/25)*Eave Ht	410	LF	\$8.45	\$3,463	
04 20 30	Brick Units (LF Ext Wall x Typ FI to FI Ht)	9,675	SF	\$15.49	\$149,866	
04 20 30	Brick Units (LF Footprint Perimeter x Typ Parapet Ht)	654	SF	\$15.49	\$10,130	
04 20 30	Brick Units, Gable Ends and Clearstory Walls	192	SF	\$15.49	\$2,974	
04 50 00	Masonry Cleaning (LF Footprint Perimeter x Foundation Ht)	1,526	SF	\$0.40	\$610	
04 50 00	Masonry Cleaning (LF Ext Wall x Typ FI to FI)	9,675	SF	\$0.40	\$3,870	
04 50 00	Masonry Cleaning (LF Footprint Perimeter x Parapet Height)	654	SF	\$0.40	\$262	
04 50 00	Masonry Cleaning (Brick Gable Ends and Clearstory Walls)	192	SF	\$0.40	\$77	
04 72 00	Cast Stone, Window Surrounds	62	CF	\$210.00	\$13,020	
04 72 00	Cast Stone, 1'-0" Banding	510	LF	\$36.00	\$18,360	

04 72 00	Cast Stone, Ashlar Wainscot	441	CF	\$72.00	\$31,752
05 00 00	Miscellaneous Metal (Gross Area, Total)	5,268	SF	\$0.48	\$2,529
05 00 00	Hot Dipped Galvanized Steel Lintels	29	LF	\$25.00	\$725
05 10 00	Anchor Bolts, per Column (4 x Column Spread Footer)	72	EA	\$20.00	\$1,440
05 10 10	Structural Steel (First Floor)	2,551	SF	\$17.15	\$43,750
05 10 10	Truss Structure	460	SF	\$33.60	\$15,456
05 10 10	Structural Steel, Multiple Stories (Sum of 2nd Floor and Up)	2,717	SF	\$6.50	\$17,661
05 10 20	Open Web Steel Joists (Gross Roof Area)	3,132	SF	\$5.25	\$16,443
05 10 30	Steel Decking (Gross Roof Area)	3,132	SF	\$3.50	\$10,962
05 10 30	Steel Decking (Second Floor and Up)	2,717	SF	\$3.50	\$9,510
05 10 40	Steel Testing	1	LS	\$500.00	\$500
05 40 10	Non Struct, CF Mtl Furring Corridor Walls & Office Spaces	5,810	SF	\$3.50	\$20,335
05 40 10	Non Structural CF Metal Framing, Soffits and Bulkheads	1,318	SF	\$3.50	\$4,613
05 40 10	Non Structural CF Mtl Framing (LF Footprint Perimeter x Parapet Ht)	654	SF	\$3.50	\$2,289
05 40 20	Structural CF Metal Framing (Clearstories & Gravel Stop)	288	SF	\$10.15	\$2,923
05 40 30	CF Metal Framing, LG Metal Truss Engineering	1	LS	\$2,000.00	\$2,000
05 40 30	CF Metal Framing, LG Metal Trusses (Tower & Pitched Roofs)	1,382	SF	\$14.28	\$19,735
05 40 30	CF Metal Framing, LG Metal Truss Equipment	1	LS	\$2,800.00	\$2,800
05 50 00	Miscellaneous Metal Fabrications (Gross Area, Total)	5,268	LS	\$0.08	\$421
05 50 00	Metal Fabrications, Hand Rails	216	LF	\$95.00	\$20,520
05 50 00	Metal Fabrications, Rail Balustrades	48	LF	\$190.00	\$9,120
05 50 00	Metal Fabrications, Stair Flights	7	EA	\$13,265.00	\$92,855
05 73 00	Structural Glass Balustrade, 3' Tall	81	LF	\$275.00	\$22,275
06 10 20	Plywood, 0.75" Clearstories & Gravel Stop	288	SF	\$4.45	\$1,282
06 10 20	Roof Sheathing, 0.625" (Tower & Pitched Roofs)	1,382	SF	\$4.45	\$6,150
06 10 20	Eave Blocking (Roof Overhang)	138	LF	\$40.57	\$5,599
06 10 20	Parapet Blocking (Coping)	111	LF	\$16.36	\$1,816
06 10 20	Wood Roof Nailers (Gross Roof Area)	3,132	SF	\$0.80	\$2,506
06 20 10	Arch Trimwork, Wood Base (Corridor Walls & Offices Walls)	581	LF	\$3.50	\$2,034
06 20 10	Arch Trimwork, Crown Mould (Corridor Walls & Offices Walls)	581	LF	\$5.50	\$3,196
06 20 10	Arch Trimwork, Sills and Casing (Gross Window Area)	475	SF	\$12.20	\$5,795
06 20 10	Arch Trimwork, Door Frames and Casing (Doors)	29	EA	\$275.00	\$7,975
06 20 10	Arch Trimwork, Wainscot, 3' (1st & 2nd Corridors)	227	LF	\$61.50	\$13,961
06 20 20	Millwork, Countertop Support, Closet Shelf, Closet Rod	24	LF	\$24.54	\$589
07 11 00	Through Wall Flashing (LF Exterior Wall x 5)	3,225	LF	\$4.17	\$13,448
07 13 00	Sheet Membrane Waterproofing	30	SF	\$7.02	\$211
07 15 00	Insulation, Slab, Rigid (Footprint Perimeter)	218	LF	\$4.00	\$872
07 15 00	Insulation, Found Wall, Rigid, (Footprint Perimeter x Found Ht)	1,526	SF	\$6.25	\$9,538
07 15 00	Insulation, Rigid (LF Ext Wall x Typ Fl to Fl Ht)	9,675	SF	\$6.25	\$60,469
07 15 00	Insulation, Rigid (Brick Gable Ends)	192	SF	\$6.25	\$1,200
07 16 00	Spray Foam Insul, Wall/Roof Juncture, 2' Width (Footprint Perim x 2')	436	SF	\$9.03	\$3,937
07 22 00	Insulation, Rigid (Gross Roof Area)	3,132	SF	\$11.85	\$37,114
07 22 00	Insulation Fasteners & Plates (Gross Roof Area)	3,132	SF	\$0.25	\$783
07 25 00	Air & Moisture Barrier Underlay (LF Ext Wall x Typ Fl to Fl Ht)	9,675	SF	\$1.64	\$15,867
07 25 00	Air & Moisture Barrier Underlayment (Gross Roof Area)	3,132	SF	\$1.64	\$5,136
07 26 00	Roof Accessories, Vent Stacks	1	EA	\$25.00	\$25
07 26 00	Roof Accessories, Drains & Overflows	2	EA	\$539.00	\$1,078
07 26 00	Roof Accessories, Pitch Pockets	4	EA	\$50.00	\$200
07 26 00	Roof Accessories, Pre Fab Rails, 2 per Location	4	EA	\$815.00	\$3,260
07 26 10	Roof Accessories, Roof Hatch, 2.5' x 3'	1	EA	\$1,055.00	\$1,055
07 26 20	Roof Accessories, Harness Anchor Post	3	EA	\$966.67	\$2,900
07 26 20	Roof Accessories, Harness, Lanyard & Lifeline Set	2	EA	\$2,000.00	\$4,000
07 26 30	Copper Drip Edge and Counterflashing	368	LF	\$3.69	\$1,358
07 31 00	Fiberglass Shingles, 50 Year (Tower & Pitched Roofs)	1,382	SF	\$5.64	\$7,794
07 42 10	Flush Wall Panels (Clearstories & Gravel Stop)	288	SF	\$5.64	\$1,624
07 51 00	Low Slope Roof Warranty	1,354	SF	\$0.24	\$325
07 51 40	Modified Cap Sheet	1,354	SF	\$7.35	\$9,952
07 61 00	Sheet Metal Roofing	716	SF	\$10.17	\$7,282
07 61 00	Sheet Metal Roofing, Warranty	716	SF	\$0.39	\$279
07 62 10	Flash & Sht Mtl, 14" Coping, 0.050 Gauge (Parapet Coping)	111	LF	\$95.64	\$10,616
07 62 20	Flash & Sht Mtl, Gutter and Downspouts (Roof Overhang & Soffit)	138	LF	\$10.42	\$1,438
07 62 40	Flash & Sht Mtl, Counterflashing	183	LF	\$76.43	\$13,987
07 62 40	Flash & Sht Mtl, Scuppers	4	EA	\$166.83	\$667
07 62 40	Flash & Sht Mtl, Internal Gutter, 22 Gauge, Stainless Steel	256	SF	\$15.12	\$3,871

07 92 00	Caulking & Sealants (Gross Area, Total)	5,268	SF	\$0.65	\$3,424
07 92 10	Caulking & Sealants, CJ/EJ (Cul Masonry Control Joints)	410	LF	\$5.19	\$2,127
07 92 10	Caulk & Seal, Store & Curtain Wall (Wind + CW)	855	SF	\$0.91	\$778
08 11 00	Hollow Metal Frames (Doors)	21	EA	\$326.87	\$6,864
08 11 00	Hollow Metal Doors	1	EA	\$225.00	\$225
08 14 10	Flush Wood Doors (Doors-(HM & Frameless Entrance))	20	EA	\$226.28	\$4,526
08 41 00	Frameless Entrance Doors	8	EA	\$1,764.50	\$14,116
08 41 20	Aluminum Windows (Windows)	475	SF	\$51.57	\$24,496
08 41 30	Aluminum Curtain Wall System	380	SF	\$50.31	\$19,118
08 41 50	Translucent Fiberglass Roof Framing & Panels	232	SF	\$42.32	\$9,818
08 41 50	Translucent Fiberglass Panel Adhesive & Framing Fasteners	232	SF	\$0.62	\$144
08 41 50	Translucent Fiberglass EPDM Isolation Pads	232	SF	\$1.43	\$332
08 41 50	Translucent Fiberglass Roof Eave Structural Steel	58	LF	\$97.32	\$5,645
08 41 50	Translucent Fiberglass Roof Aluminum Break Metal	151	LF	\$18.46	\$2,787
08 71 00	Finish Hardware (Doors)	29	EA	\$383.00	\$11,107
08 71 10	Frameless Entrance Hardware	8	EA	\$2,050.00	\$16,400
08 71 40	Key Box	1	EA	\$288.00	\$288
08 80 10	Glass & Glazing (Doors)	29	EA	\$56.33	\$1,634
08 80 10	Insulated Glass & Glazing (Aluminum Windows)	475	SF	\$23.25	\$11,044
08 80 10	Insulated Glass & Glazing (Aluminum Curtain Wall)	380	SF	\$23.25	\$8,835
09 02 00	Pressure Washing (Historic Facade)	3,465	SF	\$0.21	\$728
09 25 00	Veneer Plaster System	180	SF	\$4.25	\$765
09 26 00	Acrylic Coating (Veneer Plaster System)	180	SF	\$6.33	\$1,139
09 29 10	Gypsum Bd, CF Int Wall Furr (Section 05 40 10 Mason Part)	5,810	SF	\$3.42	\$19,870
09 29 10	Gypsum Bd, CF Soffits and Bulkheads (Section 05 40 10)	1,318	SF	\$3.42	\$4,508
09 29 10	Gypsum Bd (Corridor Roofs)	854	SF	\$3.42	\$2,921
09 30 20	Ceramic Tile Flooring	664	SF	\$15.62	\$10,372
09 30 20	Ceramic Tile Wainscoat	2,200	SF	\$15.62	\$34,364
09 30 50	Natural Stone Tile, Marble	0	SF	\$51.44	\$0
09 51 00	Acoustical Tile Ceilings	3,392	SF	\$2.62	\$8,887
09 61 00	Finish Flooring Allowance	3,656	SF	\$7.50	\$27,420
09 61 20	Rubber Wall Base (LF Ext Wall + (LF Int Wall * 2))	1,767	LF	\$1.25	\$2,209
09 66 00	Terrazzo Flooring	948	SF	\$34.60	\$32,801
09 80 00	Acoustical Panels for Sound Absorption	1,200	SF	\$22.00	\$26,400
09 91 00	Int Paint ((LF Ext Wall + (2 x LF Int Wall)) * Int Part Wall Ht)	26,505	SF	\$1.55	\$41,083
09 91 00	Interior Painting, CF Soffits & Bulkheads (Section 05 40 10)	1,318	SF	\$1.55	\$2,043
09 91 00	Interior Painting (Corridor Roofs)	854	SF	\$1.55	\$1,324
09 91 00	Exterior Painting, Trim, Doors (Hollow Metal Doors)	1	EA	\$50.00	\$50
10 14 00	Signage, Interior (Doors)	29	EA	\$142.58	\$4,135
10 15 00	Cast Bronze Plaque	1	EA	\$2,000.00	\$2,000
10 21 00	Toilet Partitions, per Stall	8	ST	\$1,170.00	\$9,360
10 28 00	Toilet & Bath Accessories	19	FX	\$204.48	\$3,885
10 44 00	Fire Extinguisher Cabinets	4	EA	\$542.50	\$2,170
12 21 00	Window Treatment, Blinds (Windows)	475	SF	\$3.64	\$1,729
12 37 00	Solid Surface Countertops	72	LF	\$22.50	\$1,620
12 38 00	Stone Countertop-Natural Quartz	0	LF	\$148.84	\$0
12 38 00	Stone Countertop-Granite	0	LF	\$110.29	\$0
12 38 00	Stone Countertop-Marble	0	LF	\$247.60	\$0
14 24 00	Elevator, Engineering	1	LS	\$3,787.00	\$3,787
14 24 00	Elevator, Traction per Floor	4	EA	\$20,000.00	\$80,000
22 20 10	Commercial Plumbing, per Fixture	19	FX	\$4,988.63	\$94,784
26 10 00	Electric Utilities	200	LF	\$28.00	\$5,600
26 10 10	Main Distribution Panel, Connect Exist & Addition Services	1	EA	\$3,500.00	\$3,500
26 10 10	Commercial Standby Generator w/ Auto Trans Switch, 80 KW	1	EA	\$51,100.00	\$51,100
27 05 00	Underground Ductbank, 4" Diameter, 2 x 3 Config, Embed in Conc	200	LF	\$52.43	\$10,486
27 20 00	1" Center Hung Cable Tray and Accessories	96	LF	\$9.00	\$864
27 20 00	Voice & Data Cabling, Jacks & Phone System	795	AL	\$1.89	\$1,503
27 51 00	Rescue Communications System, per Station	4	EA	\$900.00	\$3,600
31 11 00	Clearing & Grubbing (Construction Limits)	0.10	AC	\$7,650.00	\$765
31 22 00	Building Pad & Parking Improv Staking (Construction Limits)	0.10	AC	\$740.38	\$74
31 22 00	Site Prep, Stripping ((AC x 43560 SF x 0.5 FT Depth)/27 CF)	81	CY	\$7.06	\$570
31 22 00	Site Prep, Compact Subgrade (First Floor Area / 9 SF)	283	SY	\$3.82	\$1,083
31 22 00	Site Prep, Replacement Backfill to Original Grade (Stripping)	81	CY	\$34.36	\$2,772
31 22 00	Site Prep, Building Pad, (First Flr Area x 2 FT Depth)/27 CF	189	CY	\$14.00	\$2,645

31 22 00	Site Prep, First Floor Fill	473	CY	\$14.00	\$6,622
31 22 00	Site Prep, Dress Grading (Acers*4840)-(First Fl Area/9)	201	SY	\$2.70	\$542
31 23 00	Excavating & Detail Grading (Footprint Perim + Partition Footer)	327	LF	\$5.40	\$1,766
31 23 00	Excavating & Detail Grading (Column Spread Footers)	18	EA	\$100.00	\$1,800
31 23 00	Underslab Drainage Stone, No 67 NCDOT, 4 Inches (1st Flr)	2,551	SF	\$0.50	\$1,276
31 23 00	Column Footing Undercut & Backfill w/ Stone, Allow 20%	14	CY	\$65.00	\$936
31 25 00	Soils Testing	1	LS	\$500.00	\$500
31 31 00	Termite Treatment (First Floor Area)	2,551	SF	\$0.75	\$1,913
31 62 00	Driven Wood Piles, 10" Tapered, 35' Long	1,540	LF	\$14.81	\$22,807
31 62 00	Driven Wood Piles, Unit Price	320	LF	\$10.00	\$3,200
31 62 00	Driven Wood Piles, Restrike Unit Price	10	EA	\$102.21	\$1,022
31 62 00	Driven Wood Piles, Chasing Unit Price	10	EA	\$114.99	\$1,150
32 12 30	Site Walks & Improvements	328	SF	\$6.06	\$1,988
32 15 00	Masonry Pavers	112	SF	\$9.20	\$1,030
33 05 00	Water Test and Chlornale	1	LS	\$1,500.00	\$1,500
33 05 00	Sewer Test	1	LS	\$600.00	\$600
33 10 00	Sewer 4" Cleanout w/ 2' x 2' x 6" Conc Pad, 100 FT Intervals	1	EA	\$250.00	\$250
33 10 00	Cast Iron Downspout Boots	4	EA	\$228.75	\$915
33 10 00	Elevator Oil Interceptor, 300 Gallons	1	EA	\$1,275.00	\$1,275
33 30 00	Concrete Water Meter Vault	1	EA	\$10,093.00	\$10,093
33 30 00	Water Main Tap and Saddle, 6"	1	EA	\$2,850.00	\$2,850
33 30 00	Backflow Preventer, 2"	1	EA	\$3,000.00	\$3,000
33 30 00	Water Utilities, 6" PVC	200	LF	\$15.00	\$3,000
33 30 00	Water Utilities, 2" PVC	200	LF	\$28.60	\$5,720
33 30 00	Water Utilities, 6" Valve	1	EA	\$750.00	\$750
33 30 00	Water Utilities, 2" Valve	3	EA	\$225.00	\$675
33 30 00	Sewer Utilities, 6" PVC Including Fittings	200	LF	\$31.35	\$6,270
			SF	\$494.78	\$2,606,477
23 00 00	Mechanical	5,268	SF	\$21.03	\$110,786
26 00 00	Electrical	5,268	SF	\$21.30	\$112,208
28 31 00	Fire Alarm System	5,268	SF	\$4.32	\$22,758
			SF	\$46.65	\$245,752

Estimated Cost	\$2,852,229
Probable Deviation Amount 5%	\$142,611

Anticipated Base Bid Range-Low	\$2,709,618	to
Anticipated Base Bid Range-High	\$2,994,841	

Alteration & Renovation Cost Estimate 1
Historic City Hall

November 1, 2020

Gross Area, Total	756	SF	AC	Acres
Area of Basement, Exist	0	SF	AL	Allowance
Area of First Floor, Exist	196	SF	CF	Cubic Feet
Area of First Floor, New	0	SF	CY	Cubic Yards
Area of Second Floor, Ex	280	SF	EA	Each
Area of Second Flr, New	0	SF	FL	Flight of Stairs
Area of Third Floor, Exist	280	SF	FX	Fixture
Area of Third Floor, New	0	SF	LF	Linear Feet
New Footprint Perimeter	0	LF	LS	Lump Sum
Lug Footer	0	LF	MH	Manhour
Strip Footer	0	LF	MO	Month
New Partition Strip Footer	0	LF	SF	Square Feet
New Foundation Wall	0	LF	ST	Stall
Foundation Wall Ht to FF	0	LF	SY	Square Yard
Basement Wall FI to FI Ht	0	LF	TN	Ton
New Column Spread Footers	0	EA		
Existing Footprint Perimeter	0	LF		
Foundation Wall Ht to FF	0	LF		
Existing Exterior Walls to Remain	182	LF		
Exterior Stud Wall	0	LF		
Exterior Masonry Wall	182	LF		
Exterior Wall Demolition	12	LF		
Existing Interior Walls to Remain	0	LF		
Interior Stud Wall	0	LF		
Interior Masonry Wall	0	LF		
Interior Wall Demolition	0	LF		
New Exterior Walls	12	LF		
Exterior Stud Wall	0	LF		
Exterior Masonry Wall	12	LF		
New Interior Walls	0	LF		
Interior Stud Partition	0	LF		
1 Hour Stud Partition	0	LF		
2 Hour Stud Partllion	0	LF		
Interior Masonry Partition	0	LF		
Interior Masonry to Deck	0	LF		
Eave Height	0	LF		
Parapet Height	0	LF		
Typ Floor to Floor Height	15	LF		
Interior Partllion Height	10	LF		
Floor to Floor Height, Basement	0	LF		
Existing Roof Area to Remain	0	SF		
New Roof Area	0	SF		
Existing Overhang & Soffit to Remain	0	LF		
New Overhang & Soffit	0	LF		
Existing Parapet Coping to Remain	0	LF		
New Parapet Coping	0	LF		
Exist Gross Window Area to Remain	571	SF		
New Gross Window Area	0	SF		
Existing Doors to Remain	0	EA		
New Doors	0	EA		
Parking Stalls	0	EA		
Construction Limits	0.10	AC		
Property Acreage	0.49	AC		

Duration of Construction 12 Months
Target Contract Awards \$125,000

Schematic Design
(AP, SD, DD, CD or BN)

Potential Tenant: Elevator, Toilets and Courtroom Egress


Development Concept: Achieve accessibility to administrative areas at floors one through three and the second floor courtroom by caressing historic City Hall with a service core annex having a Pollock Street main entrance

Section	Description	Qty	Unit	Cost per Unit	Extension	Ck'd
GC	General Conditions (Gross Area, Total)	756	SF	\$2 75	\$2,079	
GC	Complex Job Factor \$10,000 per \$100,000	1	AL	\$12,500.00	\$12,500	
GC	Bond at 2.5%	1	AL	\$3,150 00	\$3,150	
GC	Insurance at 0.6%	1	AL	\$750 00	\$750	
GC	Building Permits at \$6 per \$1,000	1	AL	\$750.00	\$750	
GC	Equip Rental & Tools at \$1,150 per \$100,000	1	AL	\$1,437 50	\$1,438	
GC	Mobilization at \$584 per \$100,000	1	AL	\$730 00	\$730	
GC	Demobilization at \$584 per \$100,000	1	AL	\$730.00	\$730	
GC	Ren/Alt Trash Remove at \$2,810 per \$100,000	1	AL	\$3,512.50	\$3,513	
GC	Final Cleaning (Gross Area, Total)	756	SF	\$0 41	\$310	
GC	Contract Closeout at \$100 per \$100,000	1	AL	\$125 00	\$125	
02 40 00	Interior Demolition, ATC (1st Floor and Up Exist)	756	SF	\$0 50	\$378	
02 40 00	Interior Demolition, Floor Finishes & Underlayment (1st Fl + Up Exist)	756	SF	\$6 88	\$5,201	
02 40 00	Interior Demolition, Plumbing Fixtures & Appurtenant Piping	4	FX	\$250.00	\$1,000	
02 40 00	Exterior Demolition, Brick Veneer (Ext Wall Demolition x Fl to Fl Ht)	180	SF	\$1 00	\$180	
02 40 00	Exterior Demolition, Stud or Block (Ext Wall Demolition x Fl to Fl Ht)	180	SF	\$8 00	\$1,440	
02 40 00	Remove & Relocate, Heating & Air Equip	7	EA	\$1,000 00	\$7,000	
02 40 00	Remove & Relocate, Standby Generator Equip	1	EA	\$4,000.00	\$4,000	
02 40 00	Remove & Relocate, Load Shedding Control Wiring	1	EA	\$2,000.00	\$2,000	
02 40 00	Remove & Relocate, Transformer	1	EA	\$4,000 00	\$4,000	
02 40 00	Remove & Relocate, Step Transformer	1	EA	\$2,000 00	\$2,000	
02 40 00	Remove & Relocate, Telephone Pedestals	2	EA	\$1,000.00	\$2,000	
02 40 00	Remove & Relocate, 3 Flag Staffs & 2 Monuments	5	EA	\$500.00	\$2,500	
02 82 10	Asbestos Abatement (1st Floor and Up Exist)	756	SF	\$4 94	\$3,735	
02 82 10	Asbestos Flooring Abatement (1st Floor and Up Exist)	756	SF	\$5 96	\$4,506	
04 20 00	Mortar & Masonry Access (Gross Area, Total)	756	SF	\$1 00	\$756	
04 20 20	Concrete Masonry Units, New (LF Ext Mas Wall x Typ Fl to Fl Ht)	180	SF	\$14 51	\$2,612	
04 20 30	Brick Units, New (LF Ext Wall x Typ Fl to Fl Ht)	180	SF	\$15.49	\$2,788	
04 50 00	Masonry Cleaning, New (LF Ext Mas Wall x Typ Fl to Fl)	180	SF	\$0.40	\$72	
05 00 00	Miscellaneous Metal (Gross Area, Total)	756	SF	\$0 48	\$363	
05 50 00	Miscellaneous Metal Fabrications (Gross Area, Total)	756	LS	\$0 08	\$60	
06 01 00	Wood Windows Repair Materials (Exist Windows)	16	EA	\$220.00	\$3,520	
06 01 00	Remove & Reinstall Windows, 4 Hr, 2 Men, \$40/Hr (Ex Wind)	16	EA	\$320 00	\$5,120	
06 01 00	Restore & Reglaze, 6 Hr, 1 Man, \$40/Hr, 2 Sashes (Ex Wind)	16	EA	\$480 00	\$7,680	
06 01 00	Sand & Prepare, 4 Hr, 1 Man, \$40/Hr, 2 Sashes (Ex Wind)	16	EA	\$320 00	\$5,120	
06 01 00	Restore Exterior Mold & Sills, 2 Hr, 2 Men, \$40/Hr (Ex Wind)	16	EA	\$160 00	\$2,560	
06 01 00	Sand & Prep Molding & Sills, 4 Hr, 1 Man, \$40/Hr (Ex Wind)	16	EA	\$160 00	\$2,560	
06 01 00	Paint, 3 Coats, 1 Man, 1 Hr, \$20/Hr, 2 Sash (Ex Wind)	16	EA	\$60 00	\$960	
06 01 00	Paint Mold & Sill, 3 Coats, 1 Man, 1 Hr, \$20/Hr (Ex Wind)	16	EA	\$60 00	\$960	
06 20 10	Arch Trim, Wd Base, New (LF Ext Wall + (LF Int Wall*2))	12	LF	\$3 50	\$42	
06 20 10	Arch Trimwork, Door Frames and Casing	3	EA	\$275 00	\$825	
07 92 00	Caulking & Sealants (Gross Area, Total)	756	SF	\$0 65	\$491	
09 24 10	Patch Plaster Walls, Exist ((Int Wall + Ext Wall) x Typ Part Ht) 10%	273	SF	\$9 00	\$2,457	
09 24 10	Patch Plaster Ceilings (1st Floor and Up Exist) 10%	504	SF	\$9 00	\$4,536	
09 51 00	Acoustical Tile Ceilings (Gross Floor Area)	756	SF	\$2.62	\$1,981	
09 61 00	Finish Flooring Allowance (1st Floor and Up Exist)	756	SF	\$7.50	\$5,670	
09 91 00	Int Paint, Exist ((LF Ext Wall + (2 x LF Int Wall)) * Int Part Wall Ht)	1,820	SF	\$1.55	\$2,821	
09 91 00	Int Paint, New ((LF Ext Wall + (2 x LF Int Wall)) * Int Part Wall Ht)	120	SF	\$1.55	\$186	
09 92 00	Repaint Prep, Exist ((LF Ext Wall + (2 x LF Int Wall)) * Int Pt Wall Ht)	1,820	SF	\$0.60	\$1,092	
32 12 30	Flag Staff and Monument Hardscape	200	SF	\$6 06	\$1,212	
32 12 30	Flag Staff Concrete Foundations	3	EA	\$600 00	\$1,800	
			SF	\$160 38	\$121,246	

22 00 00	Plumbing Alts, Rens & Replacements (1st Floor and Up Exist)	756	SF	\$5.00	\$3,780	
26 00 00	Flag Staff Light Fixtures	3	EA	\$750.00	<u>\$2,250</u>	
			SF	\$755.00	\$3,780	
				Estimated Cost	\$125,026	
				Probable Deviation Amount	5% <u>\$6,251</u>	
				Anticipated Base Bid Range-High	\$131,277	to
				Anticipated Base Bid Range-Low	\$118,775	



**Architectural Services - City Hall Annex Building
RFQ Evaluation Rankings**

	RFQ - REVIEWERS				TOTAL SCORE
	Matt Montanye Director of Public Works	Mark Stephens City Manager	Jeff Ruggerri Dir. of Development Services	George Chiles Staff Engineer	
MBF Architects, PA	168	168	165	165	666
C.R. Frances Architecture	164	147	162	164	637
LS3P	150	148	160	124	582
CPL	147	134	161	110	552
Cheech and Associates	115	122	150	106	493

AGENDA ITEM COVER SHEET

Agenda Item Title:

Consider adopting a resolution authorizing the City Manager to execute on behalf of the City of New Bern all contract documents and change orders within the contract amount for the Trent Road and Red Robin Lane Project for Hurricane Florence CAT D Drainage Repairs.

Date of Meeting: 11/10/2020	Ward # if applicable: Ward 2
Department: Public Works	Person Submitting Item: Matt Montanye, Director of Public Works
Call for Public Hearing: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Date of Public Hearing: N/A

Explanation of Item:	Over the past two years the City has been working with FEMA on a project to make repairs within the City's drainage system. This project is for repairs at the drainage ditch at the intersection of Trent Road and Red Robin Lane.
Actions Needed by Board:	Adopt attached resolution
Backup Attached:	Memo, Resolution, Bid Tabulation, Advertisement for Bids, Project Plan

Is item time sensitive? ☐ Yes ☒ No

Will there be advocates/opponents at the meeting? ☐ Yes ☒ No

Cost of Agenda Item: \$181,855.00

If this requires an expenditure, has it been budgeted and are funds available and certified by the Finance Director? ☒ Yes ☐ No

Additional Notes:



Public Works Department
P.O. Box 1129, 1004 S. Glenburnie Road
New Bern, N.C. 28563-1129
Phone: (252) 639-7501
Fax: (252) 636-1848

October 27, 2020

Memo to: Mayor and Board of Aldermen

From: Matt Montanye, Director of Public Works

Re: Consider adopting a resolution authorizing the City Manager to execute all contract documents and change orders within the contract amount for the Trent Road and Red Robin Lane project for Hurricane Florence Category D Drainage Repairs.

Background Information:

In late 2018, following Hurricane Florence, the City of New Bern began working with FEMA on a project to make repairs to the City's drainage system. The City has been working with Draper Aden and Associates to identify damages, develop construction plans and to obtain state and federal permits for work throughout the City. On August 26, 2020, repairs to the drainage ditch at the intersection of Trent Road and Red Robin Lane were advertised for bids. On September 17, 2020, three bids were received for this project with Jymco Construction Company, Inc. being the lowest responsive bidder with a bid price of \$181,855. This project consists of repairing the side slopes of the drainage ditch, adding reinforcement around the sewer lift station, repairing the area behind the head wall, and making a minor repair to the pipe under Trent Road. In addition, this project also includes and add alternate for replacing an existing 48" RCP pipe.

It should be noted that the CAT D Projects have not yet been obligated by FEMA. However, meetings were held this week between FEMA and our consultants at Disaster Recovery Services and we are confident that these obligations are forthcoming.

Recommendation:

The Public Works Department is recommending and request the Board consider adopting a resolution authorizing the City Manager to execute on behalf of the City of New Bern, all contract documents and any change orders for the Trent Road and Red Robin Lane project for Hurricane Florence Category D Drainage Repairs within the contract amount.

If you have any questions concerning this matter, please feel free to contact me directly.

cc: George Chiles, Staff Engineer

RESOLUTION

THAT WHEREAS, the Trent Road and Red Robin Lane Project for Hurricane Florence Category D Drainage Repairs were publicly advertised on August 26, 2020, and a pre-bid meeting was held on September 10, 2020; and

WHEREAS, the following three qualified bids were received on September 17, 2020:

Jymco Construction Company, Inc.	\$181,855.00
Pintail Oilfield Services	\$193,259.00
Trader Construction Company	\$226,660.00

WHEREAS, the Director of Public Works of the City of New Bern recommends the City Manager be authorized to execute contract documents with the lowest bidder, Jymco Construction Company Inc., in the amount of \$181,855.00 for the Trent Road and Red Robin Lane Project for Hurricane Florence Category D Drainage Repairs and any change orders within the budgeted amount.

NOW, THEREFORE, BE IT RESOLVED BY THE BOARD OF ALDERMEN OF THE CITY OF NEW BERN:

That the City Manager is hereby authorized to execute on behalf of the City of New Bern all contract documents with Jymco Construction Company Inc., in the amount of \$181,855.00, for the Trent Road and Red Robin Lane Project for Hurricane Florence Category D Drainage Repairs and any change orders within the budgeted amount.

ADOPTED THIS 10th DAY OF NOVEMBER 2020.

DANA E. OUTLAW, MAYOR

BRENDA E. BLANCO, CITY CLERK

ADVERTISEMENT FOR BIDS

City of New Bern

New Bern, North Carolina

Trent Road – Red Robin Lane Hurricane Florence Damage Repairs

General Notice

The City of New Bern (Owner) is requesting Bids for the construction of the following Project:

Trent Road – Red Robin Lane Hurricane Florence Damage Repairs

DAA PN: 19080319-050302

Bids for the construction of the Project will be received at the City of New Bern Public Works Department located at 1004 S. Glenburnie Road, until September 17, 2020 at 2:00 PM local time. At that time the Bids received will be publicly opened and read.

In response to the current State of Emergency and "Stay at Home" order pursuant of Executive Order 121, dated March 27, 2020, the public bid opening shall be made available through online video conference. Access to the online video conference shall be made available to all plan holders at least 24 hours prior to opening of bids.

The Project includes the following Work:

This project generally involves the repair of previously identified damages within an open-air stormwater conveyance ditch. Work is generally described as the removal of existing geotextile underlayment and riprap, regrading of existing ditch slopes, backfill of eroded areas, installation of riprap slope protection, grouted riprap slope protection, and concrete slope protection, and mechanical repair of an aluminum box culvert. Work includes removing and replacing a business center sign, necessary traffic control, erosion and sediment control, temporary flow diversion, sanitary sewer encasement, and site seeding. Alternate work is generally described as the demolition and replacement of a 60" RCP culvert, installation of two cast-in-place concrete headwalls, and asphalt repairs.

Bids are requested for the following Contract: **Trent Road – Red Robin Lane Hurricane Florence Damage Repairs**

Obtaining the Bidding Documents

Information and Bidding Documents for the Project can be found at the following designated website:

www.daa.com

Bidding Documents may be downloaded from the designated website. Prospective Bidders are urged to register with the designated website as a plan holder, even if Bidding Documents are obtained from a plan room or source other than the designated website in either electronic or paper format. The designated website will be updated periodically with addenda, lists of registered plan holders, reports, and other information relevant to submitting a Bid for the Project. All official notifications, addenda, and other Bidding Documents will be offered only through the designated website. Neither Owner nor Engineer will be responsible for Bidding Documents, including addenda, if any, obtained from sources other than the designated website.

The Issuing Office for the Bidding Documents is:

Draper Aden Associates

114 Edinburgh South Drive, Suite 200, Cary, NC 27511

EJCDC® C-111, Advertisement for Bids for Construction Contract.

Copyright© 2018 National Society of Professional Engineers, American Council of Engineering Companies, and American Society of Civil Engineers. All rights reserved.

Due to the ongoing COVID-19 pandemic, bidders are strongly encouraged to register as a plan holder from the aforementioned website. Physical documents will not be available from the Issuing Office. Neither Owner nor Engineer will be responsible for full or partial sets of Bidding Documents, including addenda, if any, obtained from sources other than the Issuing Office.

The Owner is an Equal Opportunity Employer and encourages bidding by small, minority and female contractors and does not discriminate on the basis of handicapped status. Bids from qualified historically underutilized businesses (HUB's) are encouraged. Bidder must provide 10% of total contract cost to HUB's or demonstrate good faith effort. The Work will be subject to the prevailing wage rates and to the Equal Employment Opportunity requirements established by the U.S. Department of Labor. The project will be funded in whole/part using FEMA funds provided by the U.S. Department of Homeland Security. All Federal laws and regulations will apply to use of FEMA funds.

Digital copies of the Bidding Documents are available free of charge from the designated website. Physical copies of the Bidding Documents may be purchased from the Issuing Office. Cost does not include shipping charges. Upon Issuing Office's receipt of payment, printed Bidding Documents will be sent via the prospective Bidder's delivery service. The shipping charge amount will depend on the shipping method chosen. Bidding Documents are available for purchase in the following formats:

Format	Cost
Physical Bidding Documents (including Full-Size Drawings)	\$100

Pre-bid Conference

Pre-bid conference attendance is not required. A virtual pre-bid conference is scheduled, through Microsoft Teams, on September 10, 2020 at 2:30 PM. In response to the current State of Emergency and "Stay at Home" order pursuant of Executive Order 121, dated March 27, 2020, the pre-bid meeting shall be made available through online video conference. Access to the online video conference shall be made available to all interested parties at least 24 hours prior to the scheduled meeting. Interested parties are required to contact Kim Phillips by email at kphillips@daa.com to request the conference link.

Instructions to Bidders.

For all further requirements regarding bid submittal, qualifications, procedures, and contract award, refer to the Instructions to Bidders that are included in the Bidding Documents.

This Advertisement is issued by:

Owner: City of New Bern
By: Matthew L. Montanye
Title: Director of Public Works
Date: August 26, 2020

CERTIFIED BID TABULATION



PROJECT: Trent Road – Red Robin Lane Hurricane Florence Damage Repairs

PROJECT #: 19080319-05

BID DATE: September 17, 2020

BID TIME: 2:00 PM

LOCATION: City of New Bern Public Works Department / Microsoft Teams

	Jymco Construction Company, Inc.	Pintail Oilfield Services, LLC	Trader Construction Company		
Bid Bond	✓	✓	✓		
Contractor's License Information	#76371	#83386	#2942		
Bidder Qualification Statement	✓	✓	✓		
City's General Provisions and Byrd Anti Lobbying Certification	✓	✓	✓		
Anti-Collusion Affidavit	✓	✓	✓		
MBE / HUB Documentation	✓	✓	✓		
Bid Signed	✓	✓	✓		
Receipt of Addenda	✓	✓	✓		
Base Bid Total	\$147,795.00	\$149,775.00	\$185,110.00		
Add Alternate Total	\$34,060.00	\$43,504.00	\$41,550.00		

This is to certify that the bids tabulated herein were publicly opened and read aloud at 2:00 PM on the Seventeenth day of September, 2020, at the City of New Bern Public Works Department in New Bern, North Carolina



DETAILED BID TABULATION

PROJECT: Trent Road – Red Robin Lane Hurricane Florence Damage Repairs
 PROJECT #: 19080319-05
 BID DATE: September 17, 2020
 BID TIME: 2:00 PM
 LOCATION: City of New Bern Public Works Department / Microsoft Teams



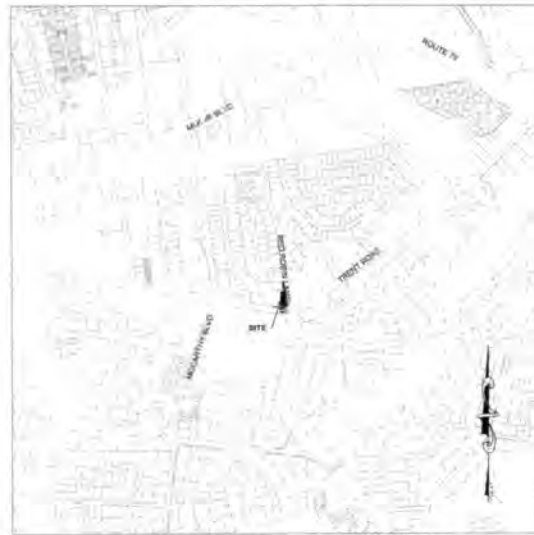
				Jymco Construction Company, Inc.		Pintail Oilfield Services, LLC		Trader Construction Company					
Item	Description	Quantity	Units	Unit Cost	Extended Cost	Unit Cost	Extended Cost	Unit Cost	Extended Cost	Unit Cost	Extended Cost	Unit Cost	Extended Cost
Base Bid													
1	Mobilization (3% Maximum)	1	EA	\$ 4,000.00	\$ 4,000.00	\$ 2,000.00	\$ 2,000.00	\$ 5,500.00	\$ 5,500.00		\$ -		\$ -
2	Sediment and Erosion Control, Dewatering	1	EA	\$ 25,000.00	\$ 25,000.00	\$ 5,000.00	\$ 5,000.00	\$ 32,000.00	\$ 32,000.00		\$ -		\$ -
3	Remove and Replace Business Sign	1	EA	\$ 5,000.00	\$ 5,000.00	\$ 1,000.00	\$ 1,000.00	\$ 300.00	\$ 300.00		\$ -		\$ -
4	Timbering	1	EA	\$ 2,000.00	\$ 2,000.00	\$ 1,000.00	\$ 1,000.00	\$ 7,500.00	\$ 7,500.00		\$ -		\$ -
5	Traffic Control	1	EA	\$ 20,000.00	\$ 20,000.00	\$ 1,250.00	\$ 1,250.00	\$ 8,000.00	\$ 8,000.00		\$ -		\$ -
6	Remove Existing Riprap	50	Tons	\$ 30.00	\$ 1,500.00	\$ 65.00	\$ 3,250.00	\$ 135.00	\$ 6,750.00		\$ -		\$ -
7	Regrade Slopes	535	SY	\$ 39.00	\$ 20,865.00	\$ 65.00	\$ 34,775.00	\$ 20.00	\$ 10,700.00		\$ -		\$ -
8	Backfill Erosion with Borrow Material	115	Tons	\$ 20.00	\$ 2,300.00	\$ 100.00	\$ 11,500.00	\$ 94.00	\$ 10,810.00		\$ -		\$ -
9	Sediment Removal and Disposal	20	CY	\$ 40.00	\$ 800.00	\$ 100.00	\$ 2,000.00	\$ 180.00	\$ 3,600.00		\$ -		\$ -
10	Mechanical Culvert Repair	1	EA	\$ 2,000.00	\$ 2,000.00	\$ 500.00	\$ 500.00	\$ 5,000.00	\$ 5,000.00		\$ -		\$ -
11	Concrete Encase Sanitary Sewer	1	EA	\$ 10,000.00	\$ 10,000.00	\$ 2,500.00	\$ 2,500.00	\$ 8,000.00	\$ 8,000.00		\$ -		\$ -
12	Concrete Slope Protection	40	SY	\$ 165.00	\$ 6,600.00	\$ 160.00	\$ 6,400.00	\$ 178.00	\$ 7,120.00		\$ -		\$ -
13	NCDOT Class "B" Riprap	450	Tons	\$ 65.00	\$ 29,250.00	\$ 56.00	\$ 25,200.00	\$ 120.00	\$ 54,000.00		\$ -		\$ -
14	Grout for Riprap Slope Protection	315	SY	\$ 42.00	\$ 13,230.00	\$ 160.00	\$ 50,400.00	\$ 57.00	\$ 17,955.00		\$ -		\$ -
15	Permanent Seeding/Sod	1,500	SY	\$ 3.50	\$ 5,250.00	\$ 2.00	\$ 3,000.00	\$ 5.25	\$ 7,875.00		\$ -		\$ -
					\$ 147,795.00		\$ 149,775.00		\$ 185,110.00		\$ -		\$ -
Cost Included on Bid Form					\$ 147,795.00		\$ 149,775.00		\$ 185,110.00		\$ -		\$ -
CONTRACT AMOUNT BASED ON UNIT BID ITEMS					\$ 147,795.00		\$ 149,775.00		\$ 185,110.00		\$ -		\$ -

				Jymco Construction Company, Inc.		Pintail Oilfield Services, LLC		Trader Construction Company					
Item	Description	Quantity	Units	Unit Cost	Extended Cost	Unit Cost	Extended Cost	Unit Cost	Extended Cost	Unit Cost	Extended Cost	Unit Cost	Extended Cost
Add Alternate Bid													
1	Demolish Existing 60" RCP and Wooden Headwalls	32	LF	\$ 120.00	\$ 3,840.00	\$ 108.75	\$ 3,480.00	\$ 265.00	\$ 8,480.00		\$ -		\$ -
2	Install 60" RCP	32	LF	\$ 210.00	\$ 6,720.00	\$ 282.00	\$ 9,024.00	\$ 485.00	\$ 15,520.00		\$ -		\$ -
3	Cast-in-Place Concrete Headwall	2	EA	\$ 9,000.00	\$ 18,000.00	\$ 10,000.00	\$ 20,000.00	\$ 6,950.00	\$ 13,900.00		\$ -		\$ -
4	Asphalt Pavement Repair	50	SY	\$ 110.00	\$ 5,500.00	\$ 220.00	\$ 11,000.00	\$ 73.00	\$ 3,650.00		\$ -		\$ -
					\$ 34,060.00		\$ 43,504.00		\$ 41,550.00		\$ -		\$ -
				Cost Included on Bid Form \$ 34,060.00		\$ 43,504.00		\$ 41,550.00		\$ -		\$ -	
				CONTRACT AMOUNT BASED ON UNIT BID ITEMS \$ 34,060.00		\$ 43,504.00		\$ 41,550.00		\$ -		\$ -	

JULY 29, 2020
RELEASED FOR BIDDING-NOT CONSTRUCTION

RELEASED FOR BIDDING-NOT CONSTRUCTION

NAME OF PROJECT:	TRENT ROAD - RED BORN LINE HURRICANE FLORENCE DAMAGE REPAIRS
ENGINEER:	C. YRIS CLAYTON JR P.E. CLAYTON@BGA.COM GRANDER ASSOC ASSOCIATES 114 EDENBURGH SOUTH DRIVE CARY, NC 27511
PG:	8-115-G, 8-115-F
DEED REFERENCE:	8/ 1087 PG 0468, 8/ 3601 PG 0664
FLOODPLAIN:	ZONE X, FEMA 37205479300K, DT 06/19/2020
WATERSHED CLASSIFICATION:	NEUGE RIVER DRAINAGE BASIN
SITE AREA:	0.17 ACRES



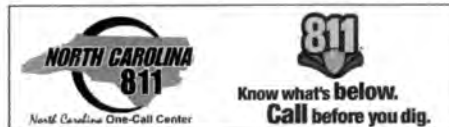
VICINITY MAP - NO SCALE

Sheet List Table	
Sheet Number	Sheet Title
C1.0	COVER
C2.0	NOTES
C3.0	EXISTING CONDITIONS
C4.0	DEMO & ESC PLAN
C5.0	SITE LAYOUT & GRADING PLAN
C6.0	ESC DETAILS
C8.1	SITE DETAILS

DRAPER ADEN ASSOCIATES REVIEW

THESE PLANS HAVE BEEN SUBJECTED TO TECHNICAL AND QUALITY REVIEWS BY

NAME: LAURA AYDIE, P.E.	1/29/20
PROJECT DESIGNER	SIGNATURE DATE
NAME: MATTHEW C. BURNETT, PG, CFM	1/29/20
PROJECT MANAGER	SIGNATURE DATE
NAME: C. TYRUS CLAYTON JR., P.E.	1/29/20
QUALITY REVIEWER	SIGNATURE DATE



Draper Aden Associates



• Hampton Roads, VA
 • Fayetteville, NC
 • Blacksburg, VA
 • Northern Virginia
 • Virginia Beach, VA
 • Richmond, VA
 • Charlottesville, VA

1-800-455-1000 Fax: 410-475-1004
 www.fox.com
 10 Pine Lanes #1-629

COVER

TRENT ROAD - RED ROBIN LANE HURRICANE FLORENCE DAMAGE REPAIRS
NEW BERN, NORTH CAROLINA

REVISIONS

© 2000 Blackwell Science Ltd
Journal of Internal Medicine 247: 391–397

EXCHANGED BY:	LAA
CONVISED BY:	LAA
EXCHANGED BY:	CTC
SCALE:	NOT TO SCALE
DATE:	JULY 26, 2005
PROJECT NUMBER:	19080319-050302

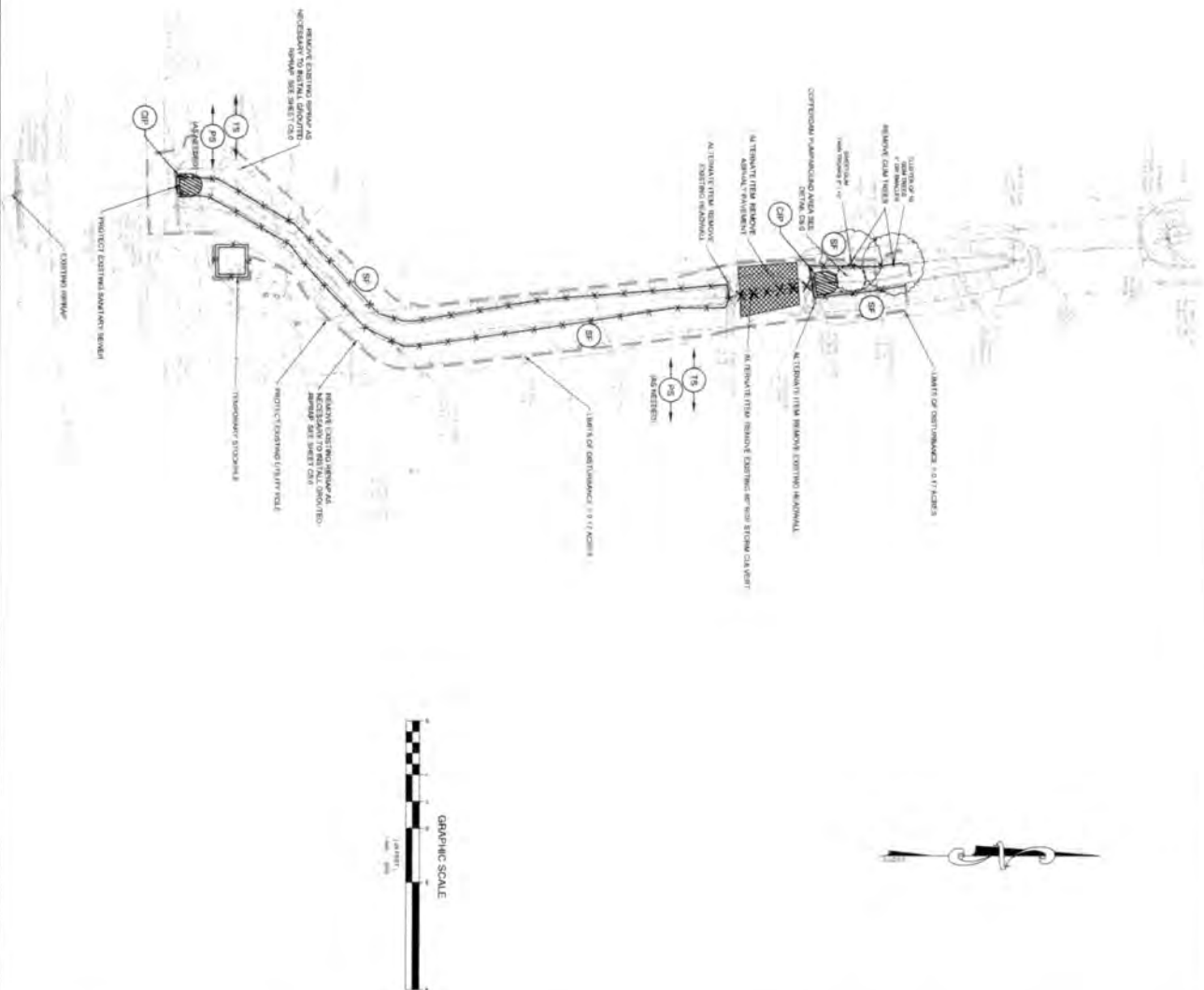
C1.0



<p>DATE: 10/19/2019</p> <p>PROJECT: TRENT ROAD RED ROBIN LANE HURRICANE FLORENCE DAMAGE REPAIRS</p> <p>LOCATION: NEW BERN, NORTH CAROLINA</p> <p>SCALE: 1" = 20'</p> <p>DATE: 10/19/2019</p> <p>PROJECT: TRENT ROAD RED ROBIN LANE HURRICANE FLORENCE DAMAGE REPAIRS</p> <p>LOCATION: NEW BERN, NORTH CAROLINA</p> <p>SCALE: 1" = 20'</p> <p>DATE: 10/19/2019</p> <p>PROJECT: TRENT ROAD RED ROBIN LANE HURRICANE FLORENCE DAMAGE REPAIRS</p> <p>LOCATION: NEW BERN, NORTH CAROLINA</p> <p>SCALE: 1" = 20'</p>	<p>EXISTING CONDITIONS</p> <p>TRENT ROAD RED ROBIN LANE HURRICANE FLORENCE DAMAGE REPAIRS</p> <p>NEW BERN, NORTH CAROLINA</p>	<p>Draper Aden Associates</p> <p>Engineering • Surveying • Environmental Services</p> <p>114 Edinborough South Drive, Suite 201 Cary, NC 27513 919-873-1010 Fax: 919-873-1014 www.daa.com NC State License #1-1420</p> <p>• Richmond, VA • Blacksburg, VA • Charlottesville, VA</p> <p>• Hampton Roads, VA • Fayetteville, NC • Northern Virginia • Virginia Beach, VA</p>	
--	--	--	--

TITLE	KEY	SYMBOL
SILT FENCE	5F	—X—X—X—
TEMPORARY SEEDING	TS	—H—H—H—
PERMANENT SEEDING	PS	—P—P—P—
OUTLET SILT PROTECTION	OS	—S—S—S—
SEE MAP	RM	—R—R—R—
LIMITS OF CONSTRUCTION		—L—L—L—

EROSION & SEDIMENT CONTROL LEGEND



DEMO & ESC PLAN

TRENT ROAD RED ROBIN LANE HURRICANE FLORENCE DAMAGE REPAIRS
NEW BERN, NORTH CAROLINA



Draper Aden Associates
Engineering • Surveying • Environmental Services

114 Kalmbeurg South Drive, Suite 200
Cary, NC 27513
919-871-0000 Fax 919-871-0014
www.daa.com
NC State License # 1-1-100

• Richmond, VA
• Blacksburg, VA
• Charlottesville, VA
• Virginia Beach, VA
• Hampton Roads, VA
• Fayetteville, NC
• Northern Virginia



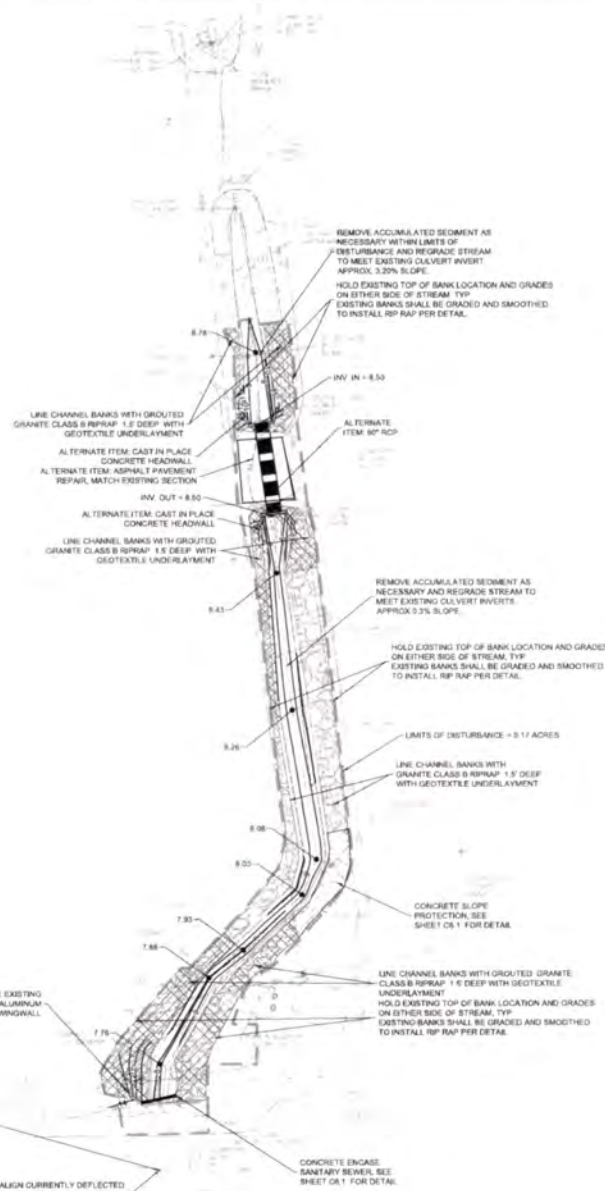
C4.0

DESIGNED BY	L.A.
DRAWN BY	L.A.
CHECKED BY	L.A.
DATE	1-27-20
PROJECT NUMBER	19060319-050302



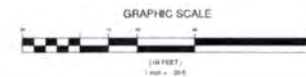
JOINT REPAIR INSIDE 36"X72" ALUMINUM BOX CULVERT

MECHANICALLY REALIGN CURRENTLY DEFLECTED JOINT AND FASTEN TOGETHER WITH TAPPING SCREWS. LOCATION APPROXIMATE.



LEGEND

- GRANITE CLASS B RIPRAP
- GRouted GRANITE CLASS B RIPRAP (ON SLOPES STEEPER THAN 1.5:1 AND STREAM BENDS AS SHOWN ON THIS SHEET)
- CONCRETE



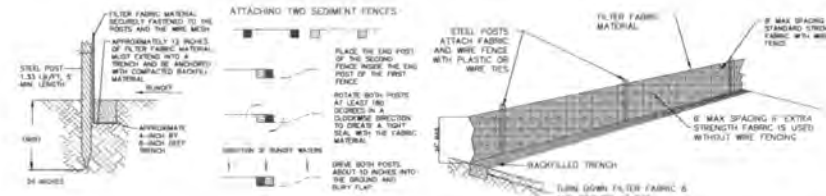
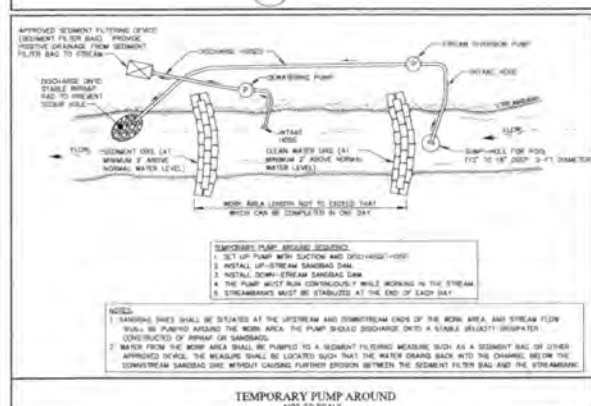
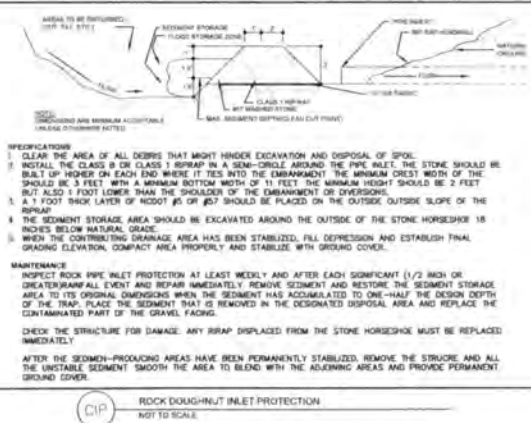
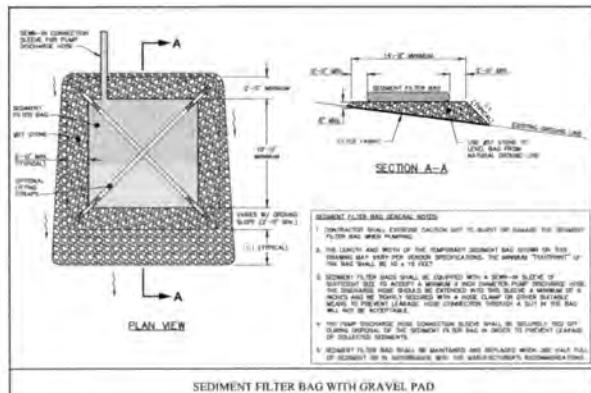
Draper Aden Associates
 Engineering • Surveying • Environmental Services
 1145 Glenwood Road, Suite 200
 Raleigh, NC 27605
 Phone: 919.481.1000
 Fax: 919.481.1001
 Email: info@draperaden.com
 Website: www.draperaden.com
 Offices:
 • Raleigh, NC
 • Blacksburg, VA
 • Charlottesville, VA
 • Virginia Beach, VA

SITE LAYOUT & GRADING PLAN

TRENT ROAD - RED ROBIN LANE HURRICANE FLORENCE DAMAGE REPAIRS
 NEW BERN, NORTH CAROLINA

REVISIONS	
170905	Revised for 05.1 sheet, 05.1 and 05.2
DESIGNED BY	LAA
DRAWN BY	LAA
CHECKED BY	CTC
SCALE	1" = 20'
DATE	JULY 26, 2022
PROJECT NUMBER	19080319-050302

C5.0





Draper Aden Associates
 Engineering • Surveying • Environmental Services
 13400 Lee Road, Suite 200 • Alexandria, VA 22304
 13400 Lee Road, Suite 200 • Blacksburg, VA 24060
 13400 Lee Road, Suite 200 • Charlottesville, VA 22901

ESC DETAILS

TRENT ROAD - RED ROBIN LANE HURRICANE FLORENCE DAMAGE REPAIRS

NEW BERN, NORTH CAROLINA

REVISIONS	
NO.	DESCRIPTION
1	AS SHOWN

DESIGNED BY	LAA
CHECKED BY	LAA
DATE	07/26/2009
PROJECT NUMBER	10080319-050302
C6.0	

AGENDA ITEM COVER SHEET

Agenda Item Title:

Consider adopting a resolution authorizing the City Manager to execute on behalf of the City of New Bern all contract documents and change orders within the contract amount for the Waters Street, Hurricane Florence CAT D Drainage Repairs.

Date of Meeting: 11/10/2020	Ward # if applicable: Ward 5
Department: Public Works	Person Submitting Item: Matt Montanye, Director of Public Works
Call for Public Hearing: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Date of Public Hearing: N/A

Explanation of Item:	Over the past two years the City has been working with FEMA on a project to make repairs within the City's drainage system. This project is for repairs at the drainage ditch off Waters Street.
Actions Needed by Board:	Adopt attached resolution
Backup Attached:	Memo, Resolution, Bid Tabulation, Advertisement for Bids, Project Plan

Is item time sensitive? ☐Yes ☒No

Will there be advocates/opponents at the meeting? ☐Yes ☒No

Cost of Agenda Item: \$293,113.00

If this requires an expenditure, has it been budgeted and are funds available and certified by the Finance Director? ☒Yes ☐No

Additional Notes:



Public Works Department
P.O. Box 1129, 1004 S. Glenburnie Road
New Bern, N.C. 28563-1129
Phone: (252) 639-7501
Fax: (252) 636-1848

October 27, 2020

Memo to: Mayor and Board of Aldermen

From: Matt Montanye, Director of Public Works

Re: Consider adopting a resolution authorizing the City Manager to execute all contract documents and change orders within the contract amount for the Waters Street project for Hurricane Florence Category D Drainage Repairs.

Background Information:

In late 2018, following Hurricane Florence, the City of New Bern began working with FEMA on a project to make repairs to the City's drainage system. The City has been working with Draper Aden and Associates to identify damages, develop construction plans and to obtain state and federal permits for work throughout the City. On September 2, 2020, repairs to the drainage ditch off Waters Street was advertised for bids. On October 13, 2020, four bids were received for this project with Pintail Oil Services, LLC, being the lowest responsive bidder with a bid price of \$293,113.00. This project consists of replacing approximately 100-feet of 48" RCP as well as constructing an 80-Foot retaining wall on both sides of the existing drainage ditch.

It should be noted that the CAT D Projects have not yet been obligated by FEMA. However, meetings were held between FEMA and our consultants at Disaster Recovery Services and we are confident that these obligations are forthcoming.

Recommendation:

The Public Works Department is recommending and request the Board consider adopting a resolution authorizing the City Manager to execute on behalf of the City of New Bern, all contract documents and any change orders for the Waters Street Project for Hurricane Florence Category D Drainage Repairs within the contract amount.

If you have any questions concerning this matter, please feel free to contact me directly.

cc: George Chiles, Staff Engineer

RESOLUTION

THAT WHEREAS, the Waters Street project for Hurricane Florence Category D Drainage Repairs were publicly advertised on September 2, 2020, and a pre-bid meeting was held on September 21, 2020; and

WHEREAS, the following four qualified bids were received on October 13, 2020:

Pintail Oil Services, LLC	\$ 293,113.00
Trader Construction Company	\$ 429,822.00
T.A. Loving Company	\$ 591,125.20
Atlantic Civil, LLC	\$ 610,298.00

WHEREAS, the Director of Public Works of the City of New Bern recommends the City Manager be authorized to execute contract documents with the lowest bidder, Pintail Oil Services, LLC, in the amount of \$293,113.00 for the Waters Project for Hurricane Florence Category D Drainage Repairs and any change orders within the budgeted amount.

NOW, THEREFORE, BE IT RESOLVED BY THE BOARD OF ALDERMEN OF THE CITY OF NEW BERN:

That the City Manager is hereby authorized to execute on behalf of the City of New Bern all contract documents with Pintail Oil Services, LLC, in the amount of \$293,113.00, for the Waters Street Project for Hurricane Florence Category D Drainage Repairs and any change orders within the budgeted amount.

ADOPTED THIS 10th DAY OF NOVEMBER 2020.

DANA E. OUTLAW, MAYOR

BRENDA E. BLANCO, CITY CLERK

ADVERTISEMENT FOR BIDS
City of New Bern
New Bern, North Carolina
Waters Street Hurricane Florence Damage Repairs

General Notice

The City of New Bern (Owner) is requesting Bids for the construction of the following Project:

Waters Street Hurricane Florence Damage Repairs
DAA PN: 19080319-060302

Bids for the construction of the Project will be received at the City of New Bern Public Works Department located at 1004 S. Glenburnie Road, until September 28, 2020 at 1:30 PM local time. At that time the Bids received will be publicly opened and read.

In response to the current State of Emergency and "Stay at Home" order pursuant of Executive Order 121, dated March 27, 2020, the public bid opening shall be made available through online video conference. Access to the online video conference shall be made available to all plan holders at least 24 hours prior to opening of bids.

The Project includes the following Work:

This project generally involves the repair of previously identified damages within an open-air stormwater conveyance channel and 48" RCP culvert. Work is generally described as the selective demolition of a 48" RCP culvert, drop inlet, curb inlet, masonry headwall, and failed cinderblock and stacked stone retaining walls and the installation of a new 48" RCP culvert, 12" RCP culvert, segmental block retaining walls, precast headwall, precast junction box, and curb inlet. Work includes timbering, clearing, necessary erosion control, dewatering, curb and gutter repairs, asphalt paving repairs, and site seeding.

Bids are requested for the following Contract: **Waters Street Hurricane Florence Damage Repairs**

Obtaining the Bidding Documents

Information and Bidding Documents for the Project can be found at the following designated website:

www.daa.com

Bidding Documents may be downloaded from the designated website. Prospective Bidders are urged to register with the designated website as a plan holder, even if Bidding Documents are obtained from a plan room or source other than the designated website in either electronic or paper format. The designated website will be updated periodically with addenda, lists of registered plan holders, reports, and other information relevant to submitting a Bid for the Project. All official notifications, addenda, and other Bidding Documents will be offered only through the designated website. Neither Owner nor Engineer will be responsible for Bidding Documents, including addenda, if any, obtained from sources other than the designated website.

The Issuing Office for the Bidding Documents is:

Draper Aden Associates
114 Edinburgh South Drive, Suite 200, Cary, NC 27511

Due to the ongoing COVID-19 pandemic, bidders are strongly encouraged to register as a plan holder from the aforementioned website. Physical documents will not be available from the Issuing Office. Neither Owner nor Engineer will be responsible for full or partial sets of Bidding Documents, including addenda, if any, obtained from sources other than the Issuing Office.

The Owner is an Equal Opportunity Employer and encourages bidding by small, minority and female contractors and does not discriminate on the basis of handicapped status. Bids from qualified historically underutilized businesses (HUB's) are encouraged. Bidder must provide 10% of total contract cost to HUB's or demonstrate good faith effort. The Work will be subject to the prevailing wage rates and to the Equal Employment Opportunity requirements established by the U.S. Department of Labor. The project will be funded in whole/part using FEMA funds provided by the U.S. Department of Homeland Security. All Federal laws and regulations will apply to use of FEMA funds.

Digital copies of the Bidding Documents are available free of charge from the designated website. Physical copies of the Bidding Documents may be purchased from the Issuing Office. Cost does not include shipping charges. Upon Issuing Office's receipt of payment, printed Bidding Documents will be sent via the prospective Bidder's delivery service. The shipping charge amount will depend on the shipping method chosen. Bidding Documents are available for purchase in the following formats:

Format	Cost
Physical Bidding Documents (including Full-Size Drawings)	\$100

Pre-bid Conference

Pre-bid conference attendance is not required. A virtual pre-bid conference is scheduled, through Microsoft Teams, on September 21, 2020 at 1:30 PM. In response to the current State of Emergency and "Stay at Home" order pursuant of Executive Order 121, dated March 27, 2020, the pre-bid meeting shall be made available through online video conference. Access to the online video conference shall be made available to all interested parties at least 24 hours prior to the scheduled meeting. Interested parties are required to contact Kim Phillips by email at kphillips@daa.com to request the conference link.

Instructions to Bidders.

For all further requirements regarding bid submittal, qualifications, procedures, and contract award, refer to the Instructions to Bidders that are included in the Bidding Documents.

This Advertisement is issued by:

Owner: City of New Bern
By: Matthew L. Montanye
Title: Director of Public Works
Date: September 2, 2020

CERTIFIED BID TABULATION



Draper Aden Associates

Engineering • Surveying • Environmental Services

PROJECT: Waters Street Hurricane Florence Damage Repairs
PROJECT #: 19080319-06
BID DATE: October 13, 2020
BID TIME: 2:00 PM
LOCATION: City of New Bern Public Works Department / Microsoft Teams

	Pintail Oilfield Services, LLC	Trader Construction Company	T.A. Loving Company	Atlantic Civil, LLC	
Bid Bond	✓	✓	✓	✓	
Contractor's License Information	#83386	#2942	#325	#81387	
Bidder Qualification Statement	✓	✓	✓	✓	
City's General Provisions and Byrd Anti Lobbying Certification	✓	✓	✓	✓	
Anti-Collusion Affidavit	✓	✓	✓	✓	
MBE / HUB Documentation	✓	✓	✓	✓	
Bid Signed	✓	✓	✓	✓	
Receipt of Addenda	✓	✓	✓	✓	
Base Bid Total	\$293,113.00	\$429,822.00	\$591,125.20	\$610,298.00	

This is to certify that the bids tabulated herein were publicly opened and read aloud at 2:00 PM on the Thirteenth day of October, 2020, at the City of New Bern Public Works Department in New Bern, North Carolina

NOTE: Values indicated in RED above have been corrected



DETAILED BID TABULATION

PROJECT: Waters Street Hurricane Florence Damage Repairs
 PROJECT #: 19080319-06
 BID DATE: October 13, 2020
 BID TIME: 2:00 PM
 LOCATION: City of New Bern Public Works Department / Microsoft Teams



				Pintail Oilfield Services, LLC		Trader Construction Company		T.A. Loving Company		Atlantic Civil, LLC			
Item	Description	Quantity	Units	Unit Cost	Extended Cost	Unit Cost	Extended Cost	Unit Cost	Extended Cost	Unit Cost	Extended Cost	Unit Cost	Extended Cost
Base Bid													
1	Mobilization (3% Maximum)	1	EA	\$ 5,000.00	\$ 5,000.00	\$ 12,890.00	\$ 12,890.00	\$ 18,000.00	\$ 18,000.00	\$ 18,152.06	\$ 18,152.06		
2	Traffic Control	1	EA	\$ 2,000.00	\$ 2,000.00	\$ 58,750.00	\$ 58,750.00	\$ 10,000.00	\$ 10,000.00	\$ 18,600.00	\$ 18,600.00		
3	Sediment and Erosion Control, Dewatering	1	EA	\$ 12,000.00	\$ 12,000.00	\$ 45,650.00	\$ 45,650.00	\$ 50,000.00	\$ 50,000.00	\$ 83,536.63	\$ 83,536.63		
4	Timbering	1	EA	\$ 60,000.00	\$ 60,000.00	\$ 35,000.00	\$ 35,000.00	\$ 40,000.00	\$ 40,000.00	\$ 42,298.56	\$ 42,298.56		
5	Strip and Replace Topsoil	1	EA	\$ 7,000.00	\$ 7,000.00	\$ 4,500.00	\$ 4,500.00	\$ 15,000.00	\$ 15,000.00	\$ 22,387.16	\$ 22,387.16		
6	Remove Existing Cham-Link Fence/Gate	230	LF	\$ 6.00	\$ 1,380.00	\$ 4.00	\$ 920.00	\$ 21.74	\$ 5,000.20	\$ 9.89	\$ 2,274.70		
7	Remove Clothesline	1	EA	\$ 200.00	\$ 200.00	\$ 1,500.00	\$ 1,500.00	\$ 2,000.00	\$ 2,000.00	\$ 2,275.76	\$ 2,275.76		
8	Demolish Cinderblock Wall (18" Tall)	20	LF	\$ 120.00	\$ 2,400.00	\$ 75.00	\$ 1,500.00	\$ 750.00	\$ 15,000.00	\$ 255.83	\$ 5,115.60		
9	Demolish Stacked Stone Wall (6" Tall)	50	LF	\$ 100.00	\$ 5,000.00	\$ 40.00	\$ 2,000.00	\$ 75.00	\$ 3,750.00	\$ 119.01	\$ 5,950.50		
10	Demolish 48" RCP Culvert	100	LF	\$ 100.00	\$ 10,000.00	\$ 150.00	\$ 15,000.00	\$ 200.00	\$ 20,000.00	\$ 243.91	\$ 24,391.00		
11	Investigate and Demolish 15" RCP Culvert	4	LF	\$ 300.00	\$ 1,200.00	\$ 350.00	\$ 1,400.00	\$ 150.00	\$ 600.00	\$ 1,302.72	\$ 5,210.88		
12	Demolish Concrete Curb & Gutter	25	LF	\$ 55.00	\$ 1,375.00	\$ 25.00	\$ 625.00	\$ 100.00	\$ 2,500.00	\$ 369.07	\$ 9,226.75		
13	Demolish Existing Junction Box	1	EA	\$ 1,500.00	\$ 1,500.00	\$ 3,750.00	\$ 3,750.00	\$ 10,000.00	\$ 10,000.00	\$ 10,454.92	\$ 10,454.92		
14	Demolish Existing Curb Inlet	1	EA	\$ 1,500.00	\$ 1,500.00	\$ 3,300.00	\$ 3,300.00	\$ 5,000.00	\$ 5,000.00	\$ 4,820.74	\$ 4,820.74		
15	Temporary Sheetting	1	EA	\$ 35,000.00	\$ 35,000.00	\$ 35,000.00	\$ 35,000.00	\$ 11,000.00	\$ 11,000.00	\$ 20,586.68	\$ 20,586.68		
16	Install Segmental Block Retaining Wall	162	LF	\$ 414.00	\$ 67,068.00	\$ 476.00	\$ 77,112.00	\$ 1,200.00	\$ 194,400.00	\$ 605.93	\$ 98,160.66		
17	Excess Soil Removal	200	CY	\$ 65.00	\$ 13,000.00	\$ 10.00	\$ 2,000.00	\$ 25.00	\$ 5,000.00	\$ 78.59	\$ 15,718.00		
18	NCDOT Class B Riprap	60	Tons	\$ 95.00	\$ 5,700.00	\$ 115.00	\$ 6,900.00	\$ 175.00	\$ 10,500.00	\$ 320.62	\$ 19,237.20		
19	Install New 48" RCP Culvert	100	LF	\$ 165.00	\$ 16,500.00	\$ 550.00	\$ 55,000.00	\$ 515.00	\$ 51,500.00	\$ 371.81	\$ 37,181.00		
20	Install New Precast Headwall	1	EA	\$ 2,500.00	\$ 2,500.00	\$ 25,000.00	\$ 25,000.00	\$ 20,000.00	\$ 20,000.00	\$ 19,626.18	\$ 19,626.18		
21	Install New 12" RCP Culvert	15	LF	\$ 35.00	\$ 525.00	\$ 170.00	\$ 2,550.00	\$ 400.00	\$ 6,000.00	\$ 641.06	\$ 9,615.90		
22	Install New Precast Junction Box	1	EA	\$ 1,500.00	\$ 1,500.00	\$ 11,250.00	\$ 11,250.00	\$ 20,000.00	\$ 20,000.00	\$ 16,196.18	\$ 16,196.18		
23	Install Curb Inlet	1	EA	\$ 1,500.00	\$ 1,500.00	\$ 4,500.00	\$ 4,500.00	\$ 5,500.00	\$ 5,500.00	\$ 15,102.04	\$ 15,102.04		
24	Site Grading	1	EA	\$ 15,000.00	\$ 15,000.00	\$ 3,500.00	\$ 3,500.00	\$ 40,000.00	\$ 40,000.00	\$ 32,653.13	\$ 32,653.13		
25	Offsite Topsoil Allowance	50	CY	\$ 75.00	\$ 3,750.00	\$ 5.00	\$ 250.00	\$ 75.00	\$ 3,750.00	\$ 252.34	\$ 12,617.00		
26	Install Concrete Curb & Gutter	25	LF	\$ 65.00	\$ 1,625.00	\$ 100.00	\$ 2,500.00	\$ 20.00	\$ 500.00	\$ 712.56	\$ 17,814.00		
27	Install Cham-Link Fence (4')	70	LF	\$ 6.00	\$ 420.00	\$ 30.00	\$ 2,100.00	\$ 25.00	\$ 1,750.00	\$ 18.60	\$ 1,302.00		
28	Install Cham-Link Fence (8')	195	LF	\$ 6.00	\$ 1,170.00	\$ 35.00	\$ 6,825.00	\$ 50.00	\$ 9,750.00	\$ 31.07	\$ 6,058.65		
29	Asphalt Pavement Repair	35	SY	\$ 300.00	\$ 10,500.00	\$ 50.00	\$ 1,750.00	\$ 175.00	\$ 6,125.00	\$ 430.44	\$ 15,065.40		
30	Permanent Seeding/Sod	850	SY	\$ 8.00	\$ 6,800.00	\$ 8.00	\$ 6,800.00	\$ 10.00	\$ 8,500.00	\$ 21.96	\$ 18,666.00		
					\$ 293,113.00		\$ 429,822.00		\$ 591,125.20		\$ 610,296.28		
Cost Included on Bid Form					\$ 293,113.00		\$ 429,822.00		\$ 591,125.00		\$ 610,298.00		
CONTRACT AMOUNT BASED ON UNIT BID ITEMS					\$ 293,113.00		\$ 429,822.00		\$ 591,125.20		\$ 610,296.28		

NOTE: Values indicated in RED above have been corrected

WATERS STREET HURRICANE FLORENCE DAMAGE REPAIRS

AUGUST 14, 2020

NAME OF PROJECT: WATERS STREET HURRICANE FLORENCE DAMAGE REPAIRS
 DESIGNER: C. THOMAS CLAYTON JR. P.E.
 TOLAYTON@GMAIL.COM
 DRAPER ADEN ASSOCIATES
 114 EDMUNDSON SOUTH DRIVE
 CARY, NC 27511
 PD: B-021-001-P B-021-001-Q B-028-009 B-021-001-Q
 DATED HEREON: DE 3604 PG 0140 DB 1301 PG 0731 DE 0344 PG 0318 DB 0672 PG 0140
 FLOODPLAIN: ZONE AE AREA 1730657000L DTF 06/16/2020
 WATERSHED CLASSIFICATION: NEUSE RIVER DRAINAGE BASIN
 SITE AREA: 0.24 ACRES



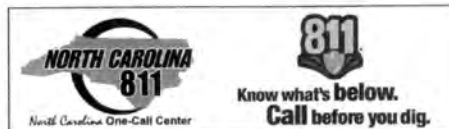
VICINITY MAP - NOT TO SCALE

Sheet List Table	
Sheet Number	Sheet Title
C1.0	COVER
C2.0	NOTES
C3.0	EXISTING CONDITIONS
C4.0	DESIGN & EROSION PLAN
C5.0	SITE LAYOUT & GRADING PLAN
C6.1	STORM PROFILE
C6.2	PROPOSED RETAINING WALLS PLAN VIEW
C6.3	PROPOSED RETAINING WALLS PROFILES
C6.4	PROPOSED RETAINING WALLS SECTIONS & DETAILS
C7.0	ERIC DETAILS
C7.1	SITE DETAILS
C7.2	SITE DETAILS

DRAPER ADEN ASSOCIATES REVIEW

THESE PLANS HAVE BEEN SUBJECTED TO TECHNICAL AND QUALITY REVIEWS BY:

NAME: LAURA ADEN, P.E. PROJECT DESIGNER	SIGNATURE: _____	DATE: 8/14/20
NAME: AUTUMN C. BURKETT, P.C. OF PROJECT MANAGER	SIGNATURE: _____	DATE: 8/14/20
NAME: C. THOMAS CLAYTON JR. P.E. QUALITY REVIEWER	SIGNATURE: _____	DATE: 8/14/20



Draper Aden Associates
 Engineering • Surveying • Environmental Services



114 Edmundson South Drive, Suite 200
 Cary, NC 27511
 Phone: 919.274.1141
 Fax: 919.274.1142
 Email: info@draperaden.com
 Website: www.draperaden.com

COVER
 WATERS STREET HURRICANE FLORENCE DAMAGE REPAIRS
 NEW BERN, NORTH CAROLINA

REVISIONS
 8/11/2020
 RELEASED FOR BIDDING
 NOT RELEASED FOR
 CONSTRUCTION

DESIGNED BY:	LAA
CHECKED BY:	LAA
DATE:	8/14/20
NOTED BY:	CTC
DATE:	8/14/20
PROJECT NUMBER:	19080319-060302

C1.0

EROSION CONTROL NOTES

1. THE CONTRACTOR SHALL INSTALL ALL EROSION AND SEDIMENT CONTROL DEVICES AS REQUIRED DURING CONSTRUCTION IN ACCORDANCE WITH THE CURRENT EDITION OF THE NORTH CAROLINA EROSION AND SEDIMENT CONTROL MANUAL. ALL DEVICES REFERRED TO IN THESE PLANS CAN BE FOUND IN THE NORTH CAROLINA EROSION AND SEDIMENT CONTROL MANUAL.
2. ALL DISTURBED AREAS SHALL BE PERMANENTLY SEEDING AND MULCHED FOR THE NODD SCHEDULE AFTER REACHING FINAL GRADE. AREAS WHICH HAVE BEEN DISTURBED AND HAVE NOT REACHED FINAL GRADE, BUT WHICH ARE TO REMAIN UNDISTURBED FOR LONGER THAN 14 DAYS ARE TO BE TEMPORARILY SEEDING AND MULCHED FOR THE NODD SCHEDULE. AS UPSTREAM AREAS ARE STABILIZED WITH PERMANENT GROUND COVER, DOWNSTREAM TEMPORARY DEVICES ARE TO BE REMOVED. CONTRACTOR SHALL FOLLOW THE STABILIZATION TIME TABLE INCLUDED IN THIS SET OF DRAWINGS.
3. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PERIODICALLY INSPECT ALL SEDIMENT AND EROSION CONTROL DEVICES AND ENSURE THAT THEY ARE IN GOOD WORKING ORDER. AT A MINIMUM, ALL DEVICES MUST BE INSPECTED DAILY AND AFTER MAJOR RAINFALL EVENTS. ANY DEVICE NEEDING REPAIRS SHALL BE REPAIRED WITHIN 24 HOURS.
4. THE CONTRACTOR SHALL INSTALL ADDITIONAL EROSION AND SEDIMENT CONTROL DEVICES IF DURING THE COURSE OF CONSTRUCTION THE ENGINEER OR NODD INSPECTOR DETERMINES THAT THEY ARE REQUIRED.
5. SILT SHALL BE REMOVED FROM SILT FENCES WHEN THE SILT REACHES APPROXIMATELY ONE-THIRD (1/3) THE HEIGHT OF THE BARRIER.
6. THE CONTRACTOR SHALL PERIODICALLY TOP DRESS THE CONSTRUCTION ENTRANCE WITH CLEAN STONE IF THE CONSTRUCTION ENTRANCE FALLS TO REMOVE DIRT FROM THE TIRES OF VEHICLES ENTERING A PUBLIC RIGHT-OF-WAY. A WASH RACK SHALL BE INSTALLED AND THE TIRES WASHED. THE CONTRACTOR SHALL BE REQUIRED TO PROVIDE ANY REQUIRED WATER FOR THE WASHING OF TIRES. DIRT TRACKED ONTO THE PUBLIC RIGHT-OF-WAY SHALL BE REMOVED IMMEDIATELY BY THE CONTRACTOR.
7. ALL EROSION AND SEDIMENT MEASURES ARE TO BE PLACED PRIOR TO OR AS THE FIRST STEP IN GRADING.
8. ALL STORM AND UTILITY LINES NOT IN STREETS ARE TO BE MULCHED AND SEEDS FOR THE NODD SCHEDULE AFTER BACKFILL. NO MORE THAN FIVE HUNDRED FEET OF TRENCH IS TO BE OPEN AT ONE TIME.
9. ALL TEMPORARY EARTH BERM, DIVERSIONS, AND SILT DAMS ARE TO BE MULCHED AND SEEDS FOR VEGETATIVE COVER IMMEDIATELY AFTER GRADING. STRAW OR HAY MULCH IS REQUIRED. ADDITIONAL SOIL DIVERSION SHALL BE PROTECTED AGAINST HIGH VELOCITY WITH EROSION CONTROL MEASURES AS SHOWN ON THESE PLANS. THE SAME APPLIES TO STOCKPILES OF SOIL, AS WELL AS SOIL (INTENTIONALLY) TRANSPORTED FROM THE PROJECT SITE.
10. ANY DISTURBED AREA NOT PAVED, SODDED, OR BUILT UPON IS TO BE SEEDS FOR THE TEMPORARY AND PERMANENT SEEDING SCHEDULE INCLUDED IN THESE DRAWINGS. MULCH IS APPLICABLE, DEPENDING ON PROPOSED TIME OF CONSTRUCTION.
11. CONTRACTOR STAGING AREAS SHALL BE RETURNED TO BETTER THAN ORIGINAL CONDITIONS AT THE COMPLETION OF THE WORK.
12. ALL DISTURBED AREAS ARE TO BE SHOWN TO APPROVED SEDIMENT CONTROL MEASURES AT ALL TIMES DURING LAND DISTURBING ACTIVITIES AND DURING SITE DEVELOPMENT UNTIL FINAL STABILIZATION IS ACHIEVED.
13. A PRE-CONSTRUCTION MEETING IS REQUIRED PRIOR TO ISSUANCE OF A LAND DISTURBANCE PERMIT. THE CONTRACTOR SHALL SCHEDULE THE MEETING WITH THE NODD INSPECTOR ASSIGNED TO THE PROJECT.
14. ALL VEGETATIVE AND STRUCTURAL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CONSTRUCTED AND MAINTAINED ACCORDING TO MINIMUM STANDARDS AND SPECIFICATIONS OF NODD SCHEDULE FOR EROSION AND SEDIMENT CONTROL, MANUAL AND THE NORTH CAROLINA SEDIMENTATION POLLUTION CONTROL ACT OF 1973.
15. AS A CONDITION OF NODD PERMIT NO. NC010000, PERMANENT GROUND COVER SHOULD BE PROVIDED FOR ALL DISTURBED AREAS WITHIN 15 WORKING CALENDAR DAYS (WHICHEVER IS SHORTER) FOLLOWING THE COMPLETION OF CONSTRUCTION OR DEVELOPMENT.

EROSION CONTROL NARRATIVE

PROJECT DESCRIPTION:
THE PROJECT CONSISTS OF REPAIRS BASED ON THE CITY OF NEW BERN FEMA CATEGORY 0 DAMAGE ASSESSMENT REPORTS FOR FEATURES 0004-0005 AND 0015. THESE REPAIRS INCLUDE REPLACING A 48" STORM CULVERT, REPLACING A BRICK HEADWALL AND REPLACING WITH A CONCRETE HEADWALL, REPLACING A CLUM INLET AND DROP-INLET AND REPLACING TWO RETAINING WALLS ALONG THE STREAM BANK, AS WELL AS REGRADING AS NECESSARY TO INSTALL THESE IMPROVEMENTS.

EXISTING CONDITIONS:
THE EXISTING SITE CONSISTS OF A STREAM THAT RUNS SOUTHWEST TO NORTHEAST TO A 48" CULVERT THAT CONTINUES DOWNSTREAM NORTHEAST. THE EXISTING SITE ALSO HAS TWO RETAINING WALLS ON EITHER SIDE OF THE STREAM BANK. THERE IS FENCING ON EITHER SIDE OF THE STREAM FOR EACH RESIDENTIAL PROPERTY. THE EXISTING SITE IS OVERGROWN WITH VEGETATION.

DEVELOPMENT IMPACTS:
THE DEVELOPMENT IMPACTS TO THE TOPOGRAPHY, SOILS, HYDROLOGY, AND GEOLOGY WILL BE MINOR.

SOILS:
THE SITE IS APPROPRIATE FINE SANDY LOAM, 0 TO 2 PERCENT SLOPES. HYDROLOGIC SOIL GROUP: B/D.

CRITICAL EROSION AREAS:
1. CARE MUST BE TAKEN TO PREVENT SEDIMENT FROM BEING TRACKED ONTO ADJACENT ROADWAYS.
2. CARE MUST BE TAKEN TO PREVENT SEDIMENT FROM ENTERING THE PROJECT SITE AREA.
3. CARE MUST BE TAKEN TO PREVENT SEDIMENT FROM ENTERING ANY WATER WAY OR DRAINAGE WAYS.

STOCKPILES:
TOPSOIL STOCKPILING IS ANTICIPATED ON-SITE.

STRUCTURAL FEATURES:
SILT FENCE
SILT FENCE OUTLET
CULVERT INLET PROTECTION

VEGETATIVE PRACTICES:
TOPSOIL
TEMPORARY SEEDING
PERMANENT SEEDING
MULCHING

MANAGEMENT STRATEGIES:
1. THE SILT FENCE BARRIER WILL BE CHECKED REGULARLY FOR UNDERMINING OR DETERIORATION OF THE FABRIC. SEDIMENT SHALL BE REMOVED WHEN THE LEVEL OF SEDIMENT DEPOSITION REACHES ONE-THIRD (1/3) THE HEIGHT OF THE BARRIER.
2. CONSTRUCTION WILL BE SEQUENCED SO THAT GRADING OPERATIONS CAN BEGIN AND END AS QUICKLY AS POSSIBLE.
3. SEDIMENT TRAPPING MEASURES WILL BE INSTALLED AS A FIRST STEP IN GRADING.
4. THE JOB SUPERINTENDENT SHALL BE RESPONSIBLE FOR THE INSTALLATION AND MAINTENANCE OF ALL EROSION AND SEDIMENT CONTROL PRACTICES.
5. AFTER ACHIEVING ADEQUATE STABILIZATION AND UPON APPROVAL OF THE NODD INSPECTOR, THE TEMPORARY EAS CONTROLS WILL BE CLEARED UP AND REMOVED.

PERMANENT STABILIZATION:
THE DISTURBED AREA WILL BE PERMANENTLY STABILIZED THROUGH THE USE OF PERMANENT SEEDING AND MULCH.

GENERAL UTILITY NOTES

1. THE ENGINEER MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPRISE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE ENGINEER FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES ARE IN THE EXACT LOCATION AS INDICATED. ALTHOUGH THE ENGINEER CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE.
2. THE CONTRACTOR SHALL VISIT THE SITE PRIOR TO CONSTRUCTION SO THAT CONTRACTOR IS FAMILIAR AND UNDERSTANDS EXISTING CONDITIONS.
3. FIELD CHANGES MAY BE NECESSARY DUE TO EXISTING UTILITY LOCATIONS. THE ENGINEER SHALL BE CONTACTED BEFORE MAKING THESE CHANGES.

CONSTRUCTION SEQUENCE

1. SET UP PRE-CONSTRUCTION MEETING.
2. INSTALL SILT FENCE AND OTHER PERIMETER CONTROLS.
3. INSTALL CULVERT INLET PROTECTION AND TEMPORARY PUMP ARISING.
4. PERFORM CALCULATIONS AS INDICATED.
5. PROVIDE TEMPORARY SHEET PILING.
6. INSTALL CULVERT INLET PROTECTION, CATCH BASIN, SEGMENTAL BLOCK WALL, AND HEADWALL, AND PERFORM GRADING.
7. BACKFILL DISTURBED AREAS AT ANY GIVEN TIME TO THOSE AREAS THAT ARE BEING ACTIVELY EXCAVATED PROMPTLY.
8. INSPECT AND ADJUST AS NECESSARY ALL EROSION CONTROL DEVICES IN ORDER TO MAINTAIN PROPER FUNCTION.
9. STABILIZE SITE DURING AND AT THE CONCLUSION OF CONSTRUCTION IN ACCORDANCE WITH THE NOTES AND DETAILS IN THESE PLANS AND AS INSPECTOR HAS INSTRUCTED.
10. ONCE ALL AREAS HAVE BEEN STABILIZED, AND ONLY WITH THE APPROVAL OF THE EROSION CONTROL INSPECTOR, REMOVE ALL REMAINING EROSION CONTROL DEVICES.

GENERAL NOTES

1. THIS PROJECT AS CURRENTLY DESIGNED, MAY NOT INCLUDE ALL COMPONENTS ADDRESSED IN THE VARIOUS GENERAL NOTES, REVEAL PLANS FOR APPLICABILITY.
2. THE CONTRACTOR SHALL SECURE ALL NECESSARY PERMITS FOR THIS PROJECT FROM THE LOCAL AND STATE AGENCIES.
3. ANY PERMITS WHICH MUST BE OBTAINED SHALL BE THE CONTRACTOR'S RESPONSIBILITY AND AT HIS EXPENSE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ABIDING BY ALL CONDITIONS AND REQUIREMENTS OF THE PERMITS.
4. ALL PAVING MATERIALS AND DRAINAGE STRUCTURES SHALL BE BUILT AND INSTALLED IN ACCORDANCE WITH NORTH CAROLINA DEPARTMENT OF TRANSPORTATION STANDARDS AND SPECIFICATIONS.
5. THE LOCATION OF EXISTING SEWER, WATER OR TELEPHONE LINES, CONDUITS OR OTHER STRUCTURES ACROSS, UNDERNEATH, OR OTHERWISE ALONG THE LINE OF PROPOSED WORK ARE NOT NECESSARILY SHOWN ON THE PLANS. AND IF SHOWN ARE ONLY APPROXIMATE. CONTRACTOR SHALL VERIFY LOCATION AND ELEVATION OF ALL UNDERGROUND UTILITIES SHOWN ON THE PLANS IN AREAS OF CONSTRUCTION PRIOR TO STARTING WORK. CONTACT ENGINEER IMMEDIATELY IF LOCATION OR ELEVATION IS DIFFERENT FROM THAT SHOWN ON THE PLANS. IF THERE APPEARS TO BE A CONFLICT, OR UPON DISCOVERY OF ANY UTILITY NOT SHOWN ON THE PLANS, FOR ASSISTANCE IN LOCATING EXISTING UTILITIES CALL "NO ONE CALL", DIAL 811.
6. WHERE PAVEMENT IS REQUIRED, CONTRACTOR SHALL REMOVE ADEQUATE BASE MATERIAL TO SUB-GRADE.
7. DAMAGE TO UTILITIES (INCLUDING UNDERGROUND) OR PROPERTY OF OTHERS BY CONTRACTOR DURING CONSTRUCTION SHALL BE REPAIRED TO PRE-CONSTRUCTION CONDITIONS BY CONTRACTOR AT NO COST TO OWNER.
8. EXISTING PAVEMENT OTHER SURFACES DISTURBED BY CONTRACTOR (WHICH ARE NOT TO BE REMOVED) SHALL BE REPAIRED TO LIKE-NEW CONDITION.
9. THE CONTRACTOR IS REQUIRED TO MAINTAIN ALL DITCHES, PIPES, AND OTHER DRAINAGE STRUCTURES FREE FROM OBSTRUCTION UNTIL WORK IS ACCEPTED BY THE OWNER. THE CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGES CAUSED BY FAILURE TO MAINTAIN DRAINAGE STRUCTURES IN OPERABLE CONDITION.
10. THE CONTRACTOR SHALL MAINTAIN A SET OF APPROVED PLANS AVAILABLE AT THE SITE AT ALL TIMES WHEN WORK IS BEING PERFORMED. A DESIGNATED RESPONSIBLE EMPLOYEE SHALL BE AVAILABLE FOR CONTACT BY INSPECTORS.
11. THE CONTRACTOR SHALL NOTIFY ALL APPLICABLE REGULATORY AGENCIES AND THE ENGINEER AT LEAST 24 HOURS PRIOR TO STARTING WORK ON THIS PROJECT.
12. UNLESS OTHERWISE NOTED, ALL CONCRETE PIPE SHALL BE REINFORCED CONCRETE PIPE, CLASS III.
13. ALL EXCAVATION FOR UNDERGROUND PIPE INSTALLATION MUST COMPLY WITH OSHA STANDARDS FOR THE CONSTRUCTION INDUSTRY (29 CFR PART 1926).
14. VERIFY THE PROPOSED LAYOUT WITH ITS RELATIONSHIP TO THE EXISTING SITE SURVEY. ALSO VERIFY ALL DIMENSIONS, SITE CONDITIONS, AND MATERIAL SPECIFICATIONS AND NOTIFY THE OWNER AND ENGINEER OF ANY ERRORS, OMISSIONS, OR DISCREPANCIES BEFORE COMMENCING OR PROCEEDING WITH WORK.
15. DEVIATIONS FROM OR CHANGES TO THESE PLANS WILL NOT BE ALLOWED.
16. MAKE EXPLORATORY EXCAVATIONS AND LOCATE EXISTING UTILITIES SUFFICIENTLY AHEAD OF CONSTRUCTION TO PERMIT REVISIONS TO THE PLANS IF NECESSARY. THE EXISTENCE AND/or LOCATION OF UTILITIES SHOWN ON THESE PLANS MAY BE ONLY APPROXIMATELY CORRECT. TAKE PRECAUTIONARY MEASURES TO PROTECT THE UTILITIES SHOWN HEREON AND ANY OTHER EXISTING UTILITIES NOT OF RECORD OR NOT SHOWN ON THESE PLANS. REPAIR AT YOUR OWN EXPENSE ANY EXISTING UTILITIES DAMAGED DURING CONSTRUCTION IF A UTILITY IS DAMAGED DURING CONSTRUCTION STOP WORK IMMEDIATELY AND NOTIFY THE ENGINEER AND TOWN.
17. PROPERLY SECURE THE CONSTRUCTION AREA AT ALL TIMES AGAINST UNAUTHORIZED ENTRY AND ADEQUATELY PROTECT EQUIPMENT, MATERIALS, AND COMPLETED WORK FROM THEFT AND VANDALISM. THE OWNER IS NOT RESPONSIBLE FOR THE LOSS OF ANY MATERIAL STORED AT THE SITE.

GENERAL CONSTRUCTION AND GEOTECHNICAL NOTES

ENGINEERING FILL

1. ALL CONTROLLED FILL ZONES AND BACKFILL ARE TO BE MONITORED BY A FULL TIME GEOTECHNICAL ENGINEERING SERVICES FIRM.
2. FILLS AND BACKFILL SHALL BE PROPERLY PLACED ACCORDING TO THE RECOMMENDATIONS OF THE GEOTECHNICAL ENGINEER.
3. ALL ZONARY REPORTS, IF AVAILABLE FROM THE GEOTECHNICAL ENGINEER REPRESENTING THE PROJECT, MUST STATE HIS PROFESSIONAL OPINION ON THE SATISFACTORILY COMPLETED PHASES OF CONSTRUCTION SUCH AS: SUB-DRY, SUB-DRAINAGE SYSTEMS, PREPARATION OF SUBGRADES AND COMPACTION OF FILLS AND BACKFILL.
4. THE GEOTECHNICAL ENGINEERING SERVICE FIRM MUST SUBMIT A DETAILED ANALYSIS, ITEMIZING THE FIELD DENSITY TEST RESULTS. THIS REPORT SHALL BE ACCOMPANIED WITH A COPY OF THE SITE PLAN SHEET AND INDICATE THE TEST LOCATIONS AND ELEVATIONS REFERENCING PROJECT BASELINE. THE GEOTECHNICAL ENGINEERING SERVICE FIRM MUST PROVIDE ENOUGH DESIGNATED TESTING IN ALL FILL AND BACKFILL ZONES TO ADEQUATELY EXAMINE AND CERTIFY THE INTEGRITY OF THE FILL.
5. THESE GEOTECHNICAL NOTES SHALL IN NO WAY LESSEN THE REQUIREMENTS OF THE SPECIFICATIONS.

ROAD SUBGRADE

1. INSPECTION AND APPROVAL OF THE SUBGRADE WILL BE REQUIRED PRIOR TO THE PLACEMENT OF THE APPROVED PAVEMENT SECTION MATERIAL.
2. ANY CLAY DEPOSITS IN THE TOP TWO FEET OF THE SUBGRADE MUST BE REMOVED OR ADDRESSSED AS RECOMMENDED BY THE GEOTECHNICAL ENGINEER.
3. SUBGRADE APPROVAL SHALL BE ACCOMPANIED BY THE SUPERIOR DOCUMENTATION, INCLUDING DENSITY TEST RESULTS OF USE OR GREATER.
4. THE ENTIRE SUBGRADE WILL HAVE BEEN PROOF-ROLLED IN THE PRESENCE OF THE SITE INSPECTOR AND GEOTECHNICAL REPRESENTATIVE. PROOF-ROLLING SHALL BE A RUBBER TIRE VEHICLE SUCH AS A LOADED TEN (10) TON TRUCK OF APPROVED COMPACTION EQUIPMENT.
5. THE FINAL SUBGRADE SHALL BE APPROVED BY THE GEOTECHNICAL ENGINEER AND SITE INSPECTOR BEFORE PLACEMENT OF PAVEMENT SECTION MATERIALS.

TEMPORARY SEEDING SCHEDULE FOR LATE WINTER AND EARLY SPRING
DATE: JAN 1 - MAY 1
SPECIES: RYE (GRAIN)
RATE (LB/ACRE): 120
NODD REFERENCE: NC010000

SOIL AMENDMENTS
FOLLOW RECOMMENDATIONS OF SOIL TESTS OR APPLY 2,000 LB/ACRE ORGANIC AGRI-CULTURAL LIMESTONE AND 750 LB/ACRE 10-10-10 FERTILIZER.
APPLY 4,000 LB/ACRE SHALL GRASS STRAW AND TACK WITH ASPHALT.
REPAIR AND REPERFUTE AND RESEED DAMAGED AREAS IMMEDIATELY.
REPERFUTE IF GROWTH IS NOT FULLY ADEQUATE. RESEED, REPERFUTE AND MULCH IMMEDIATELY FOLLOWING EROSION OR OTHER DAMAGE.

TEMPORARY SEEDING SCHEDULE FOR FALL
DATE: AUG 15 - DEC 31
SPECIES: RYE (GRAIN)
RATE (LB/ACRE): 120

SOIL AMENDMENTS
FOLLOW RECOMMENDATIONS OF SOIL TESTS OR APPLY 2,000 LB/ACRE ORGANIC AGRI-CULTURAL LIMESTONE AND 1,000 LB/ACRE 10-10-10 FERTILIZER.
APPLY 4,000 LB/ACRE SHALL GRASS STRAW AND TACK WITH ASPHALT.
REPAIR AND REPERFUTE AND RESEED DAMAGED AREAS IMMEDIATELY.
REPERFUTE WITH 50 LB/ACRE OF FERTILIZER IN MARCH IF IT IS NECESSARY TO EXCEED TEMPORARY COVER BOUND (ARE 4) UNLESS WITH 50 LB/ACRE NODD REFERENCE: NC010000

PERMANENT SEEDING SCHEDULE FOR GRASS AND CHANNELS
DATE: AUG 15 - OCT 31
SPECIES: TALL FESCUE
RATE (LB/ACRE): 200
NODD REFERENCE: NC010000

SOIL AMENDMENTS
FOLLOW RECOMMENDATIONS OF SOIL TESTS OR APPLY 4,000 LB/ACRE ORGANIC AGRI-CULTURAL LIMESTONE AND 1,000 LB/ACRE 10-10-10 FERTILIZER.
APPLY 4,000 LB/ACRE SHALL GRASS STRAW AND TACK WITH ASPHALT.
REPAIR AND REPERFUTE AND RESEED DAMAGED AREAS IMMEDIATELY.
REPERFUTE IF GROWTH IS NOT FULLY ADEQUATE. RESEED, REPERFUTE AND MULCH IMMEDIATELY FOLLOWING EROSION OR OTHER DAMAGE.

TEMPORARY SEEDING SCHEDULE FOR SUMMER
DATE: MAY 1 - APR 15
SPECIES: GRASS
RATE (LB/ACRE): 40

SOIL AMENDMENTS
FOLLOW RECOMMENDATIONS OF SOIL TESTS OR APPLY 2,000 LB/ACRE ORGANIC AGRI-CULTURAL LIMESTONE AND 750 LB/ACRE 10-10-10 FERTILIZER.
APPLY 4,000 LB/ACRE SHALL GRASS STRAW AND TACK WITH ASPHALT.
REPAIR AND REPERFUTE AND RESEED DAMAGED AREAS IMMEDIATELY.
REPERFUTE IF GROWTH IS NOT FULLY ADEQUATE. RESEED, REPERFUTE AND MULCH IMMEDIATELY FOLLOWING EROSION OR OTHER DAMAGE.

(P200) (continued) (Designation: North Carolina, (N200))

(C200) (Revision of: North Carolina)

NEW STABILIZATION TIMETABLES (Effective Aug 1, 2011)		
SOIL AREA DESCRIPTION	SEEDING	TIMETABLE EXCEPTION
 Perimeter fence, erosion, ditches, slopes	7 days	None
 High Quality Mulch (HQM) Zones	7 days	None
 Slopes steeper than 1:1	7 days	If slopes are 10' or less in height and are not adjacent to a road, 14 days is allowed.
 Slopes 3:1 or flatter	14 days	7 days for slopes steeper than 10' in height.
 All other areas with slopes flatter than 4:1	14 days	None, except for perimeter and HQM Zones.



Draper Aden Associates
Engineering • Surveying • Environmental Services

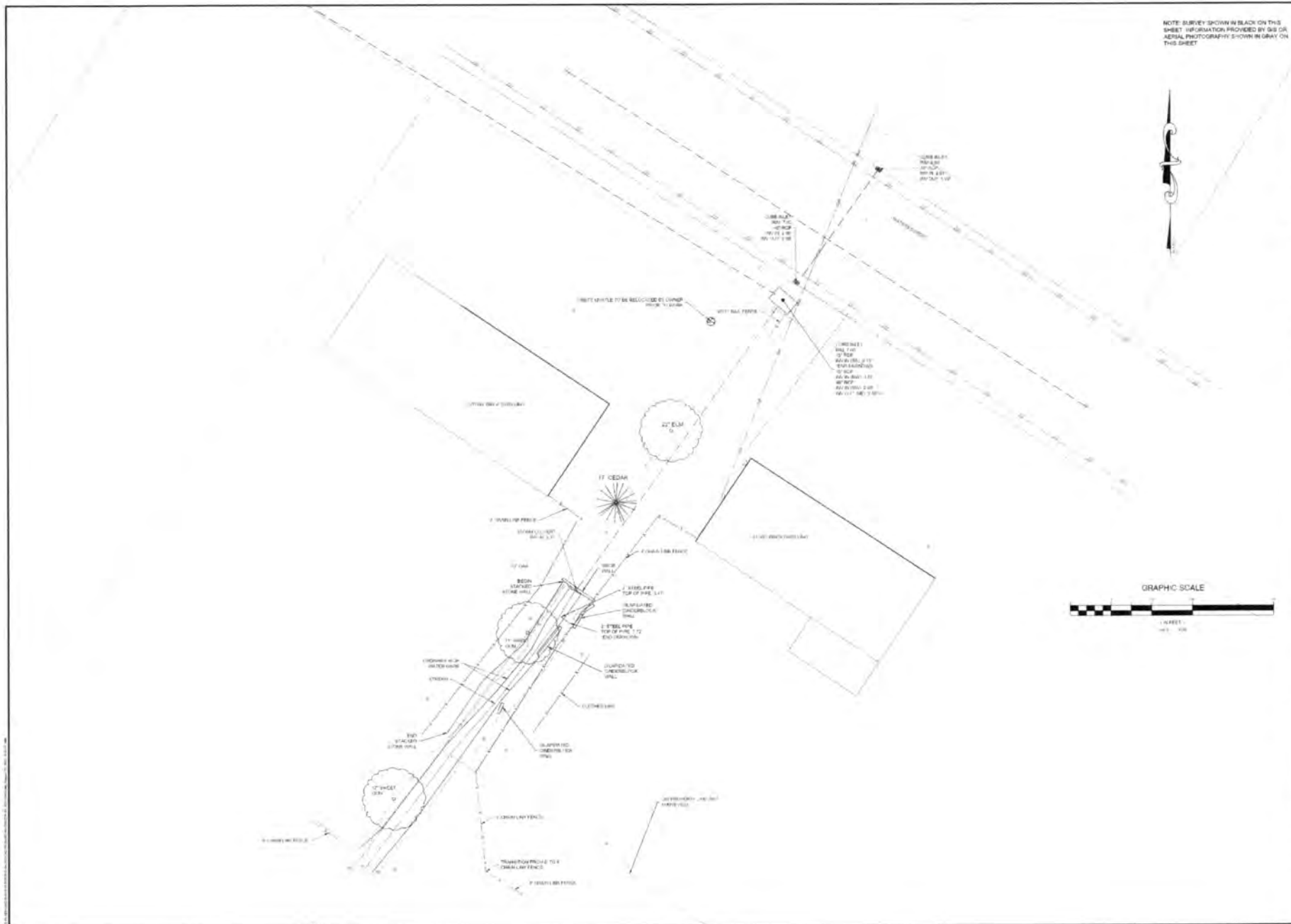


NOTES
WATERS STREET HURRICANE FLORENCE DAMAGE REPAIRS
NEW BERN NORTH CAROLINA

REVISIONS
1. TO BE RELEASED FOR BID
2. NOT RELEASED FOR CONSTRUCTION

DESIGNED BY: JAM
CHECKED BY: JAM
DRAWN BY: C. BROWN
SCALE: NOT TO SCALE
DATE: AUGUST 14, 2011
PROJECT NO.: 19090319-060302

C2.0



Draper Aden Associates

Pittsburgh South Office Suite 200
 Comp. Inc. 37811
 407-346-0001 Fax: 407-479-4314
 www.dcs.com
 From Houston 813-623-

- Richmond, VA
- Blacksburg, VA
- Charlottesville, VA
- Hampton Roads, VA
- Fayetteville, NC
- New York Virginia
- Ocean Springs, VA



EXISTING CONDITIONS

WATERS STREET HURRICANE FLORENCE DAMAGE REPAIRS
NEW BERN, NORTH CAROLINA

REVISIONS
8-14-2020
RELEASED FOR INFO
NOT RELEASED FOR
CONSTRUCTION

1.45

CHARGE BY

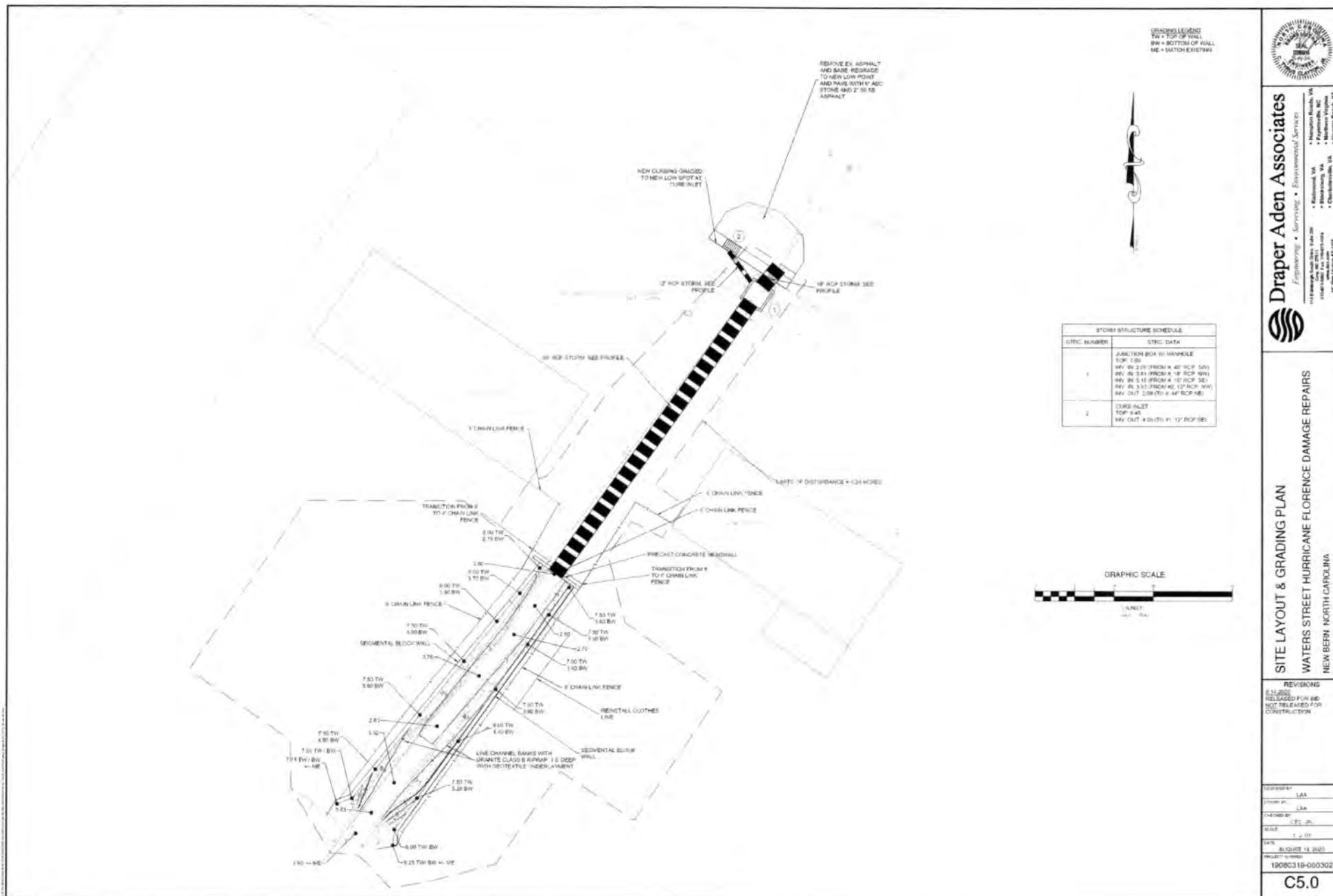
checked by _____
CTO, A

SCALE	1 = 10'
-------	---------

ALBERT A. ZUCKERMAN

19080319-0603

C3.0



Draper Aden Associates
 Engineering • Surveying • Environmental Services
 11111 Lee Highway, Suite 200
 Fairfax, Virginia 22031
 Phone: (703) 261-1111
 Fax: (703) 261-1112
 Email: info@draperaden.com
 Website: www.draperaden.com

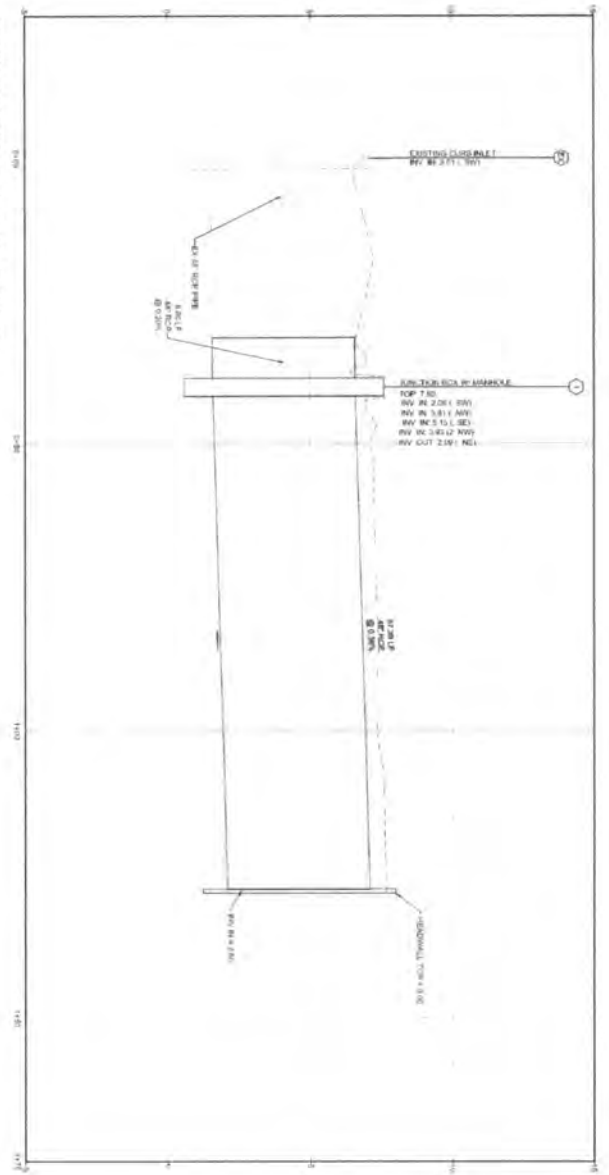


SITE LAYOUT & GRADING PLAN
WATERS STREET HURRICANE FLORENCE DAMAGE REPAIRS
 NEW BERN NORTH CAROLINA

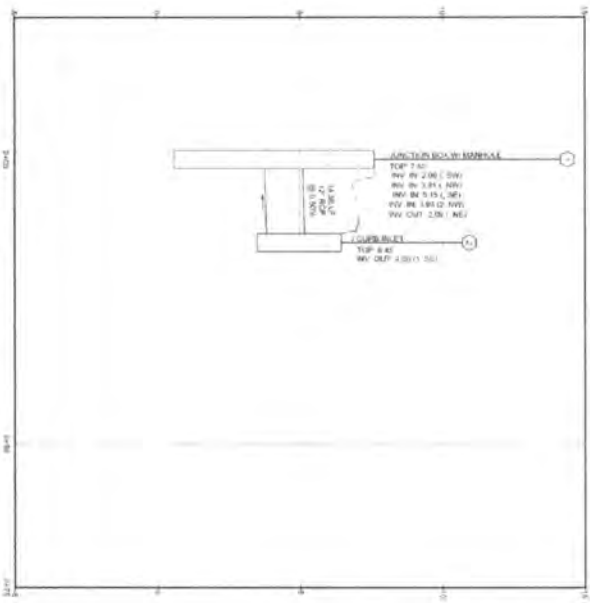
REVISIONS
 1. 11.20.20
 2. 11.20.20
 3. 11.20.20
 4. 11.20.20
 5. 11.20.20
 6. 11.20.20
 7. 11.20.20
 8. 11.20.20
 9. 11.20.20
 10. 11.20.20
 11. 11.20.20
 12. 11.20.20
 13. 11.20.20
 14. 11.20.20
 15. 11.20.20
 16. 11.20.20
 17. 11.20.20
 18. 11.20.20
 19. 11.20.20
 20. 11.20.20
 21. 11.20.20
 22. 11.20.20
 23. 11.20.20
 24. 11.20.20
 25. 11.20.20
 26. 11.20.20
 27. 11.20.20
 28. 11.20.20
 29. 11.20.20
 30. 11.20.20
 31. 11.20.20
 32. 11.20.20
 33. 11.20.20
 34. 11.20.20
 35. 11.20.20
 36. 11.20.20
 37. 11.20.20
 38. 11.20.20
 39. 11.20.20
 40. 11.20.20
 41. 11.20.20
 42. 11.20.20
 43. 11.20.20
 44. 11.20.20
 45. 11.20.20
 46. 11.20.20
 47. 11.20.20
 48. 11.20.20
 49. 11.20.20
 50. 11.20.20
 51. 11.20.20
 52. 11.20.20
 53. 11.20.20
 54. 11.20.20
 55. 11.20.20
 56. 11.20.20
 57. 11.20.20
 58. 11.20.20
 59. 11.20.20
 60. 11.20.20
 61. 11.20.20
 62. 11.20.20
 63. 11.20.20
 64. 11.20.20
 65. 11.20.20
 66. 11.20.20
 67. 11.20.20
 68. 11.20.20
 69. 11.20.20
 70. 11.20.20
 71. 11.20.20
 72. 11.20.20
 73. 11.20.20
 74. 11.20.20
 75. 11.20.20
 76. 11.20.20
 77. 11.20.20
 78. 11.20.20
 79. 11.20.20
 80. 11.20.20
 81. 11.20.20
 82. 11.20.20
 83. 11.20.20
 84. 11.20.20
 85. 11.20.20
 86. 11.20.20
 87. 11.20.20
 88. 11.20.20
 89. 11.20.20
 90. 11.20.20
 91. 11.20.20
 92. 11.20.20
 93. 11.20.20
 94. 11.20.20
 95. 11.20.20
 96. 11.20.20
 97. 11.20.20
 98. 11.20.20
 99. 11.20.20
 100. 11.20.20

DESIGNED BY: LAA
 CHECKED BY: LAA
 DATE: 11.20.20
 PROJECT NO.: 18080318-000302

C5.0



STORM CULVERT - Scale H 1"=10', V 5.00' 1



STORM 1-2 - Scale H 1"=10', V 5.00' 1

GRAPHIC SCALE

HORIZONTAL GRAPHIC SCALE

STORM PROFILE
WATERS STREET HURRICANE FLORENCE DAMAGE REPAIRS
NEW BERN NORTH CAROLINA



Draper Aden Associates
Engineering • Surveying • Environmental Services

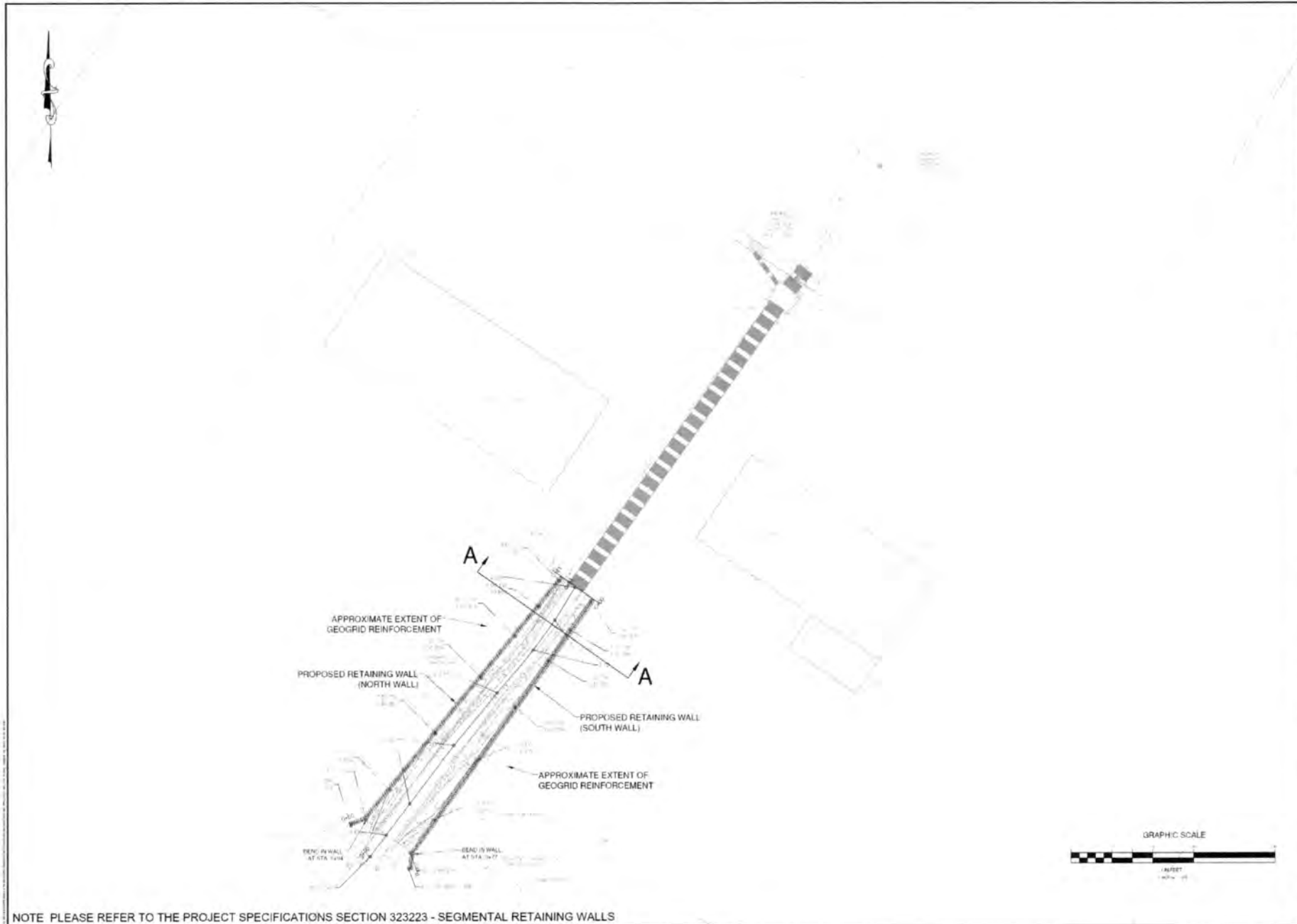
114 Rindgeville Road, Suite 101
Cary, NC 27513
919.486.1111 • Fax 919.486.1112
www.daa.com
NC State License #1-4010

• Richmond, VA
• Blacksburg, VA
• Charlottesville, VA

• Hampton Roads, VA
• Fayetteville, NC
• Martinsville, VA
• Virginia Beach, VA



C5.1



NOTE PLEASE REFER TO THE PROJECT SPECIFICATIONS SECTION 323223 - SEGMENTAL RETAINING WALLS

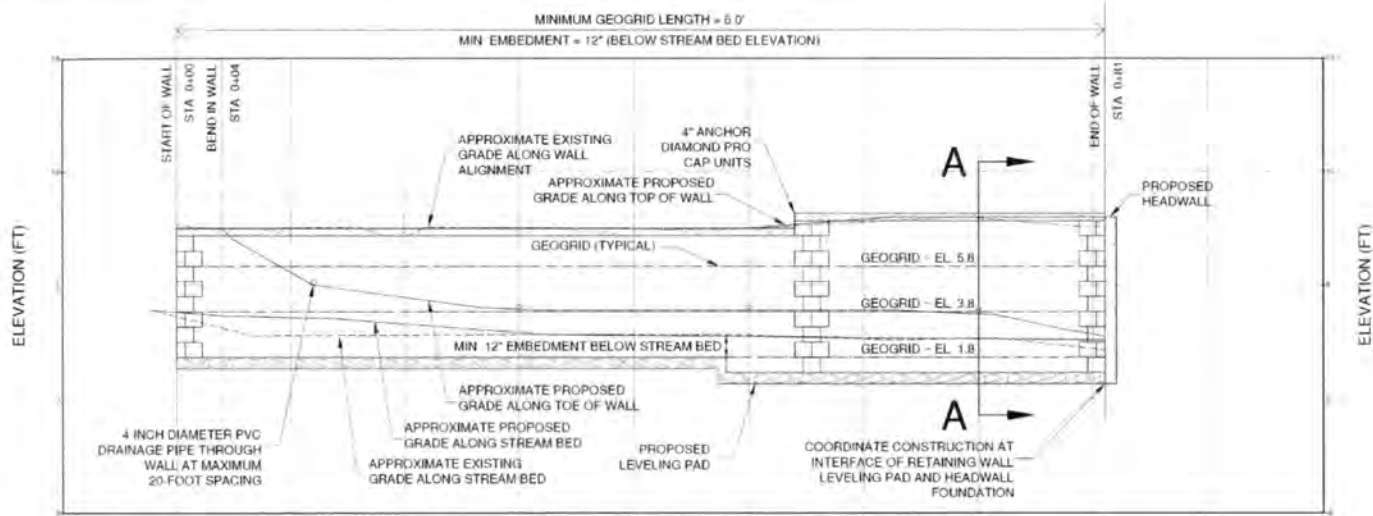


Draper Aden Associates
 Engineering • Surveying • Environmental Services
 11480 Mountain View Drive, Suite 200
 Blacksburg, VA 24060-1008
 Tel: (540) 526-1000
 Fax: (540) 526-1001
 Web: www.dra-aden.com

PROPOSED RETAINING WALLS - PLAN VIEW
 WATERS STREET HURRICANE FLORENCE DAMAGE REPAIRS
 NEW BERN, NORTH CAROLINA

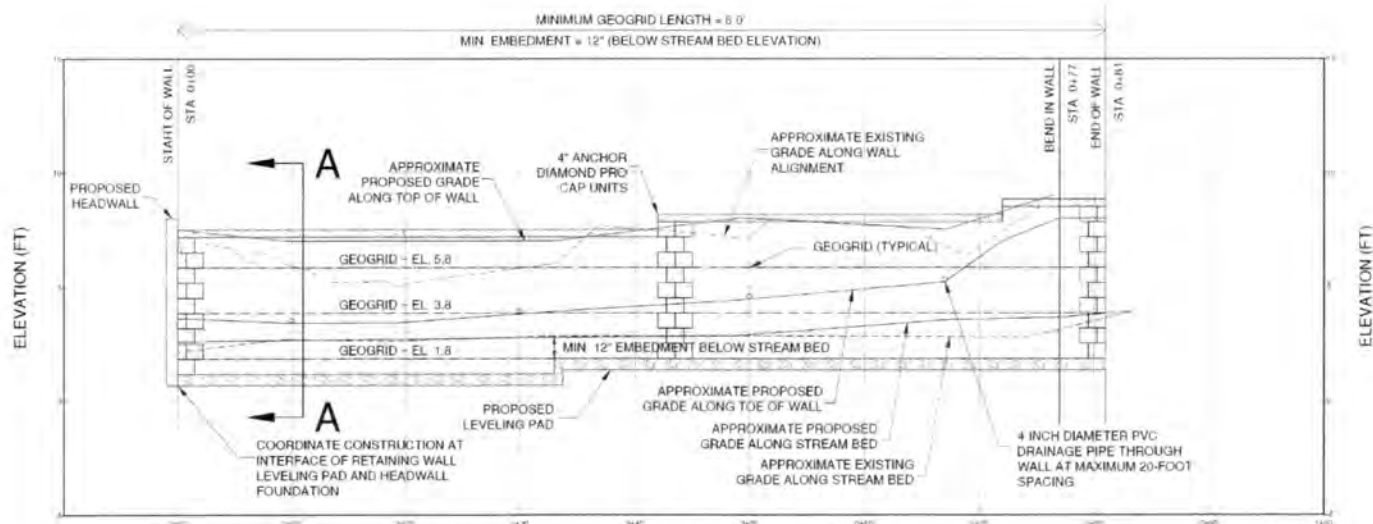
REVISIONS
 1. (14 JUL 2020)
 RELEASED FOR BID
 2. (14 JUL 2020)
 RELEASED FOR
 CONSTRUCTION

DESIGNED BY	FOR
DRAWN BY	FOR
CHECKED BY	FOR
IN CHARGE	FOR
SEE SHEET	
DATE	AUGUST 14, 2020
PROJECT NUMBER	19080319-060302
C6.0	



NORTH RETAINING WALL - PROFILE

VERTICAL SCALE: 1" = 10'
HORIZONTAL SCALE: 1" = 5'



SOUTH RETAINING WALL - PROFILE

VERTICAL SCALE: 1" = 10'
HORIZONTAL SCALE: 1" = 5'

NOTE: PLEASE REFER TO THE PROJECT SPECIFICATIONS SECTION 323223 - SEGMENTAL RETAINING WALLS



Draper Aden Associates
Engineers, Inc. • Surveyors • Environmental Services



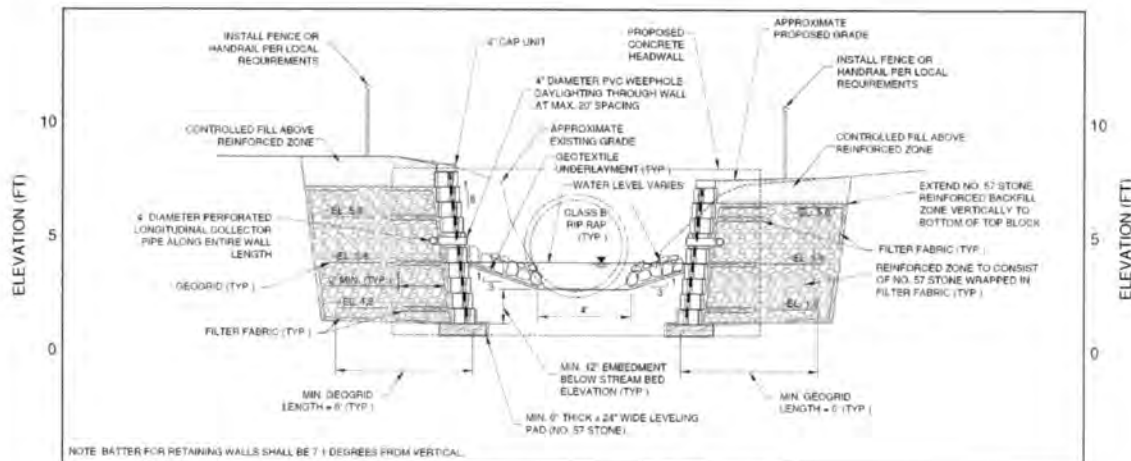
1144 George Mason Drive, Suite 202
Falls Church, VA 22044
Tel: 703.291.1000
Fax: 703.291.1001
www.daden.com

PROPOSED RETAINING WALLS - PROFILES
WATERS STREET HURRICANE FLORENCE DAMAGE REPAIRS
NEW BERN NORTH CAROLINA

REVISIONS
REVISION
RELEASED FOR BIDDING
NOT RELEASED FOR
CONSTRUCTION

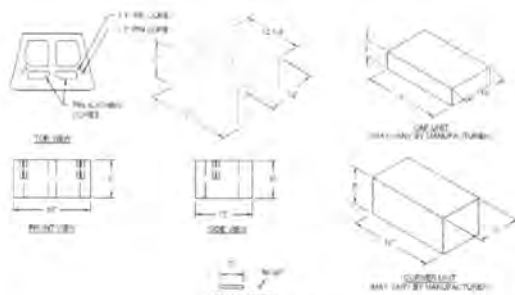
Prepared by:	TEB
Checked by:	TEB
Reviewed by:	TEB
Scale:	AS SHOWN
Date:	AUGUST 14, 2020
Project Number:	19080315-050302

C6.1

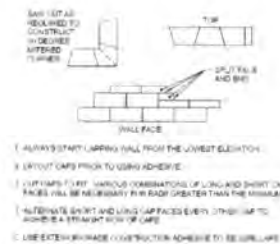


NORTH AND SOUTH RETAINING WALLS - SECTION A-A

VERTICAL SCALE 1" = 2' 0"
HORIZONTAL SCALE 1" = 2' 0"



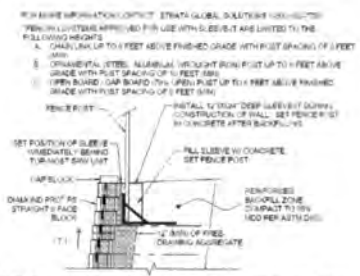
INDIVIDUAL BLOCK DETAILS
NOT TO SCALE



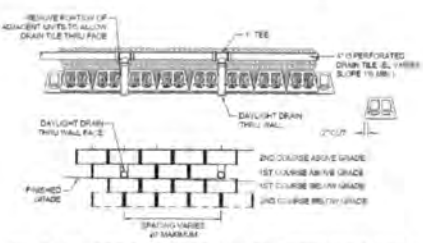
CAPPING DETAILS
NOT TO SCALE



REINFORCEMENT CONNECTION DETAIL
NOT TO SCALE



TYPICAL FENCE/RAILING DETAIL WITH SLEEVE-IT
NOT TO SCALE



TYPICAL DETAIL FOR DRAIN PIPE THROUGH WALL FACE
NOT TO SCALE

NOTE PLEASE REFER TO THE PROJECT SPECIFICATIONS SECTION 323223 - SEGMENTAL RETAINING WALLS



Draper Aden Associates
Engineering • Surveying • Environmental Services
1011 Lenoir Street, Suite 200
Durham, NC 27601
Tel: 919.286.1000
Fax: 919.286.1001
www.draperaden.com



PROPOSED RETAINING WALLS - SECTIONS & DETAILS
WATERS STREET HURRICANE FLORENCE DAMAGE REPAIRS
NEW BERN, NORTH CAROLINA

REVISIONS:
1. 11/11/2020
2. 11/11/2020
3. 11/11/2020
4. 11/11/2020
5. 11/11/2020
6. 11/11/2020
7. 11/11/2020
8. 11/11/2020
9. 11/11/2020
10. 11/11/2020

Drawn by:	ADP
Checked by:	ADP
Calculated by:	ADP
Scale:	SEE SHEET
Date:	11/11/2020
Project No.:	19080318-000302

C6.2

ROADWAY STANDARD DRAWING FOR CONCRETE CATCH BASIN
12" THRU 34" PIPE

STATE OF NORTH CAROLINA
DEPT. OF TRANSPORTATION
DIVISION OF HIGHWAYS
RALEIGH, N. C.

ROADWAY STANDARD DRAWING FOR FRAME, GRATES, AND HOOD
FOR USE ON STANDARD CATCH BASIN

STATE OF NORTH CAROLINA
DEPT. OF TRANSPORTATION
DIVISION OF HIGHWAYS
RALEIGH, N. C.

ROADWAY STANDARD DRAWING FOR CONCRETE JUNCTION BOX
(WITH OPTIONAL MANHOLE)
12" THRU 36" PIPE

STATE OF NORTH CAROLINA
DEPT. OF TRANSPORTATION
DIVISION OF HIGHWAYS
RALEIGH, N. C.

ROADWAY STANDARD DRAWING FOR CONCRETE CATCH BASIN
12" THRU 34" PIPE

STATE OF NORTH CAROLINA
DEPT. OF TRANSPORTATION
DIVISION OF HIGHWAYS
RALEIGH, N. C.

ROADWAY STANDARD DRAWING FOR FRAME, GRATES, AND HOOD
FOR USE ON STANDARD CATCH BASIN

STATE OF NORTH CAROLINA
DEPT. OF TRANSPORTATION
DIVISION OF HIGHWAYS
RALEIGH, N. C.

ROADWAY STANDARD DRAWING FOR MANHOLE FRAME AND COVER

STATE OF NORTH CAROLINA
DEPT. OF TRANSPORTATION
DIVISION OF HIGHWAYS
RALEIGH, N. C.



Draper Aden Associates

Engineering • Surveying • Environmental Services

1110 Middleburg Street, Suite 200
Charlotte, NC 28204
704.375.1234
www.drapeeraden.com

• Richmond, VA

• Blacksburg, VA

• Charlottesville, VA

• Farmington Woods, VA

• Fayetteville, NC

• Norfolk, Virginia

• Virginia Beach, VA

SITE DETAILS

WATERS STREET HURRICANE FLORENCE DAMAGE REPAIRS

NEW BERN, NORTH CAROLINA

REVISIONS	
1	ISSUED FOR PERMITS
2	REVISED FOR PERMITS
3	REVISED FOR PERMITS
4	REVISED FOR PERMITS
5	REVISED FOR PERMITS
6	REVISED FOR PERMITS
7	REVISED FOR PERMITS
8	REVISED FOR PERMITS
9	REVISED FOR PERMITS
10	REVISED FOR PERMITS

C7.1

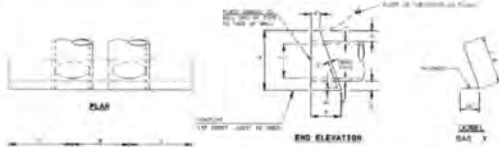


TABLE 1: SINGLE TO DOUBLE WITH REINFORCED CONCRETE PIPE

PIPE SIZE	15" DIA	18" DIA	24" DIA	30" DIA	36" DIA	42" DIA	48" DIA	54" DIA	60" DIA	72" DIA	84" DIA	96" DIA	108" DIA	120" DIA	144" DIA	168" DIA	192" DIA	216" DIA	240" DIA
15" DIA	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0
18" DIA	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0
24" DIA	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0
30" DIA	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0
36" DIA	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0
42" DIA	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0
48" DIA	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0
54" DIA	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0
60" DIA	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0
72" DIA	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0
84" DIA	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0
96" DIA	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0
108" DIA	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0
120" DIA	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0
144" DIA	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0
168" DIA	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0
192" DIA	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0
216" DIA	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0
240" DIA	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0	1.0

GENERAL NOTES:

CHAMFER ALL CORNERS 1" OR HAVE R RADIUS OF 1"

PLACE 2 #4 "Y" BARS IN THE TOP OF ALL ENDWALL FOR PIPE CULVERTS 48" AND OVER WITH A MINIMUM OF 3" COVER AND A LENGTH OF 6" LESS THAN ENDWALL LENGTH

CONSTRUCT BOTTOM SLAB WITH FORMS

DO NOT INTERPRET WALL THICKNESS (T) SHOWN FOR THE THICKNESS ACCEPTABLE, BUT IS USED IN COMPUTING ENDWALL QUANTITIES

WHEN THE CONTRACTOR ELECTS TO USE A CONSTRUCTION JOINT AT THE BOTTOM OF THE PIPE, PLACE BAR "Y" CORRELS IN THE BASE AS SHOWN ON PLANS. SPACE BARS APPROXIMATELY ON 12" CENTERS UNLESS OTHERWISE DIRECTED BY THE ENGINEER

WHEN THE CONTRACTOR ELECTS TO USE A CONSTRUCTION JOINT AT THE BOTTOM OF THE PIPE AND POUR THE BASE SEPARATELY LEAVE THE POUR BOUND

USE CLASS "B" CONCRETE

SECTION 1: STORMWATER MANAGEMENT

CONCRETE STORMWATER CULVERTS FOR SINGLE AND DOUBLE PIPE CULVERTS

15" THRU 48" PIPE 90° SLOPE

838.01

SECTION 2: STORMWATER MANAGEMENT

CONCRETE STORMWATER CULVERTS FOR SINGLE AND DOUBLE PIPE CULVERTS

15" THRU 48" PIPE 90° SLOPE

838.01

Draper Aden Associates

Engineering • Surveying • Environmental Services

1114 Knapwood Lane, Suite 100
Fayetteville, NC 28404
Phone: 919.484.1111
Fax: 919.484.1112
www.draperaden.com

• Raleigh, NC
• Durham, NC
• Charlotte, NC
• Greensboro, NC
• Winston-Salem, NC
• Norfolk, VA
• Richmond, VA
• Alexandria, VA
• Washington, DC

SITE DETAILS

WATERS STREET HURRICANE FLORENCE DAMAGE REPAIRS

NEW BERN NORTH CAROLINA

REVISIONS:

1. RELEASED FOR BIDDING

2. RELEASED FOR CONSTRUCTION

DESIGNED BY: JMA

DRAWN BY: JMA

CHECKED BY: JMA

SCALE: NOT TO SCALE

DATE: 08/08/2018

PROJECT NUMBER: 180803 HB-080302

C7.2

REVISIONS:

1. RELEASED FOR BIDDING

2. RELEASED FOR CONSTRUCTION

AGENDA ITEM COVER SHEET

Agenda Item Title:

Consider Adopting a Resolution in Support of Installation of a Traffic Signal at Racetrack Road and Neuse Boulevard

Date of Meeting: 11/10/2020	Ward # if applicable: Ward 4
Department: Administration	Person Submitting Item: Mark Stephens
Call for Public Hearing: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Date of Public Hearing:

Explanation of Item:	Resolution indicating support of signal light installation at Racetrack Road and Neuse Boulevard
Actions Needed by Board:	Consider adopting resolution
Backup Attached:	Memo and resolution

Is item time sensitive? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Will there be advocates/opponents at the meeting? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

Cost of Agenda Item: N/A
If this requires an expenditure, has it be budgeted and are funds available and certified by the Finance Director? <input type="checkbox"/> Yes <input type="checkbox"/> No

Additional Notes:

Aldermen

Sabrina Bengel
Jameesha Harris
Robert V. Aster
Johnnie Ray Kinsey
Barbara J. Best
Jeffrey T. Odham



Dana E. Outlaw
Mayor
Mark A. Stephens
City Manager
Brenda E. Blanco
City Clerk
Mary M. Hogan
Director of Finance

Memorandum

TO: Mayor and Governing Board

FROM: Mark Stephens, City Manager

DATE: October 30, 2020

SUBJECT: Traffic Signal at Racetrack Road and Neuse Boulevard

As mentioned at the last meeting, citizens have expressed concern about the difficulty with turning onto Neuse Boulevard from Racetrack Road. This area has a high volume of traffic, and the wait to turn onto the Neuse Boulevard is not only extensive, but also very treacherous. A resolution of support to encourage NCDOT to install a traffic light is proposed. If approved, the resolution will be forwarded to NCDOT for their consideration.

/beb

**RESOLUTION SUPPORTING AND ENCOURAGING THE INSTALLATION OF A
TRAFFIC LIGHT AT RACETRACK ROAD AND NEUSE BOULEVARD**

THAT WHEREAS, the City of New Bern Board of Aldermen is a local governing body with jurisdiction that includes Racetrack Road and Neuse Boulevard; and

WHEREAS, the area of Racetrack Road and Neuse Boulevard is highly traveled, and it is difficult for motorists turning off of Racetrack Road onto Neuse Boulevard to experience a break in traffic to allow a safe turn onto the boulevard; and

WHEREAS, adding a traffic light at the junction of Racetrack Road and Neuse Boulevard will regulate traffic and enhance the safety of motorists, thus protecting the citizens of New Bern and the general public.

NOW, THEREFORE, BE IT RESOLVED BY THE BOARD OF ALDERMEN OF THE CITY OF NEW BERN THAT:

1. Support and encouragement are expressed for the NC Department of Transportation to install a traffic signal at the junction of Racetrack Road and Neuse Boulevard to create safer traffic movement; and
2. A copy of this resolution shall be forwarded to the Division Office of the NC Department of Transportation.

ADOPTED THIS 10TH DAY OF NOVEMBER, 2020.

DANA E. OUTLAW, MAYOR

BRENDA E. BLANCO, CITY CLERK

AGENDA ITEM COVER SHEET

Agenda Item Title:

Presentation of Donated K9 Vests.

Date of Meeting: 11/10/2020	Ward # if applicable:
Department: Police	Person Submitting Item: Chief Toussaint E. Summers, Jr.
Call for Public Hearing: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Date of Public Hearing:

Explanation of Item:	County Commissioner ET Mitchell and husband, Champ Mitchell, to present PD with four K9 vests.
Actions Needed by Board:	NA
Backup Attached:	NA

Is item time sensitive? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Will there be advocates/opponents at the meeting? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

Cost of Agenda Item: \$0.00
If this requires an expenditure, has it been budgeted and are funds available and certified by the Finance Director? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

Additional Notes:

AGENDA ITEM COVER SHEET

Agenda Item Title:

Presentation on Rebuild NC Program


Date of Meeting: 11/10/2020	Ward # if applicable: N/A
Department: City Clerk	Person Submitting Item: Brenda Blanco
Call for Public Hearing: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Date of Public Hearing:

Explanation of Item:	At the request of Alderman Best, Nimasheena Burns, External Relations Liaison with the NC Office of Recovery and Resilience, will make a virtual presentation on the Rebuild NC homeowner recovery program.
Actions Needed by Board:	None; informational only
Backup Attached:	PowerPoint presentation

Is item time sensitive? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Will there be advocates/opponents at the meeting? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

Cost of Agenda Item:
If this requires an expenditure, has it been budgeted and are funds available and certified by the Finance Director? <input type="checkbox"/> Yes <input type="checkbox"/> No


Additional Notes:



NORTH CAROLINA OFFICE OF RECOVERY AND RESILIENCY

AN OVERVIEW OF NCORR PROGRAMS AND HOW THEY CAN HELP YOUR COMMUNITY

HALEY PFEIFFER HAYNES | CHIEF OF EXTERNAL AFFAIRS



ReBUILD NC Repay Repair Replace Reconstruct

10/19/2020

1

PROGRAM

- INTRODUCTIONS
- OVERVIEW OF NCORR
- HOMEOWNER RECOVERY PROGRAM
- STRATEGIC BUYOUT PROGRAM
- COMING SOON...
- QUESTIONS
- CONCLUSION

ReBUILD NC

2

2



NORTH CAROLINA OFFICE OF RECOVERY AND RESILIENCY

- In the wake of Hurricane Florence, Governor Roy Cooper established the North Carolina Office of Recovery and Resiliency (NCORR) to lead the state's efforts in rebuilding smarter and stronger.
- NCORR manages U.S. Department of Housing and Urban Development (HUD) funding in two grant types: Community Development Block Grant for Disaster Recovery (CDBG-DR) funds, and Community Development Block Grant for Mitigation (CDBG-MIT), both focused on helping folks that have low to moderate income.
- NCORR also manages the Grants and Loans program for local and tribal governments; details can be found at <https://www.rebuild.nc.gov/local-and-tribal-governments/grants-and-loans>.
- **Resiliency Mission**
 - North Carolina is one of the few in the nation to have a State Chief Resiliency Officer, Dr. Jessica Whitehead.
 - The Resiliency team leads the **State Disaster Recovery Task Force** with 12 Recovery Support Function grouped as follows: Emergency Management, Communications and Intergovernmental Relations, Nonprofit and Volunteerism, Health and Human Services, Transportation and Infrastructure, Business and Workforce Development, Environmental Preservation, Housing, Agriculture, Cultural Resources, Education, and Long-Term Community Planning, Capacity Building and Resiliency.
 - Recently published [Natural Hazards Resilience. A Quick Start Guide for North Carolina Communities](#)

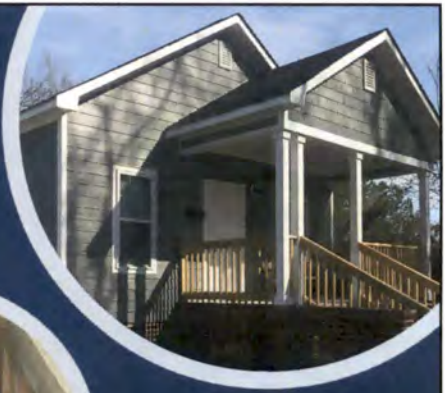
ReBUILD NC

3

3

What is the Homeowner Recovery Program?

The Homeowner Recovery Program provides assistance to repair, reconstruct or elevate homes that were damaged by Hurricane Florence or Matthew, or both.



Repay. Repair. Replace. Reconstruct.

4

Who is eligible for the program?

Eligibility



Repay Repair Replace Reconstruct

- Own a home that was damaged by Hurricane Florence or Matthew, or both.
- Have occupied the home as their primary residence at the time of the storm and continue to own it through project completion.
- Be lawfully present in the United States, have legal authority to enter into a funding award and be willing to give program staff, inspectors and contractors access to the damaged property.

5

Eligibility continued....



- Have a household income that is less than 150% of the area median income (AMI). Homeowners may be ineligible if their household income is greater than 150% of the AMI. For example, a family of four in Craven County with an annual household income of \$95,310 would earn 150% of the AMI.
 - **However, ReBuild NC encourages any applicants to apply who believe they may be eligible.**
- Those who have already applied to ReBuild NC do not need to reapply.

6

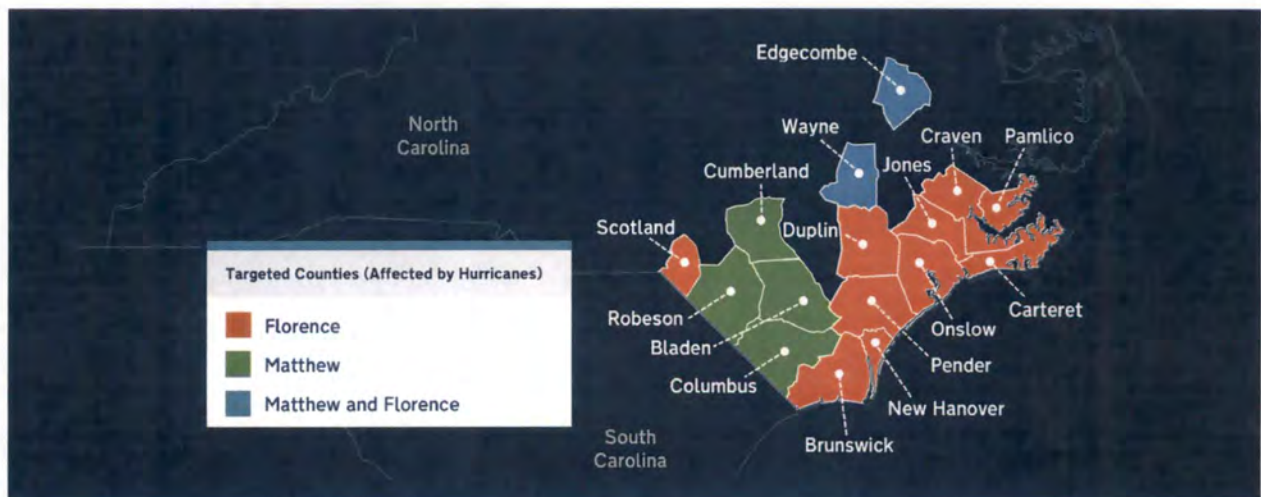
Can homeowners apply for the program if they have received funding from a different grant program?



Yes. Homeowners can participate if they have received funds from other sources, but must include that information in their application.

7

MOST IMPACTED & DISTRESSED COUNTIES (MID)

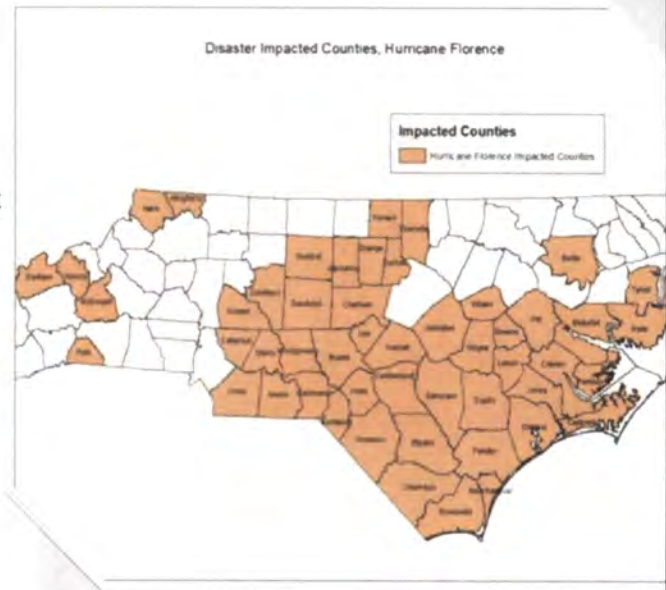


ReBUILD NC

8

FLORENCE IMPACTED COUNTIES

- Since New Bern is within Craven County, it is part of a Florence Most-Impacted and Distressed (MID) county.
- New Bern by the numbers:
 - 13 Phase I applicants being served with **\$633k committed**
 - New flexibility sought and granted by HUD will allow tie back to either storm, relieving the escrow problems for many applicants
 - Residents applying for HRP since June 15:
 - **85 Households**



ReBUILD NC

9

NEW BERN REBUILD NC CENTER

417D Broad St.
New Bern, NC 28560
Monday–Friday, 8 a.m. – 5 p.m.

- Curbside drop off and pick up of documents are available **by appointment only**.
- Call 833-ASK-RBNC (833-275-7262) for an appointment
- Center staff will come out to the applicant's vehicle to get documents, take them inside for scanning and then return them to the applicant waiting in their car.
- Center will be staffed at reduced levels to adhere to COVID-19 guidelines to protect public health.
- All staff will wear masks and applicants will be required to wear masks and practice social distancing during the appointment.



10



HOW DO HOMEOWNERS APPLY?

Homeowners should visit www.rebuild.nc.gov/HRP to learn more about the program and apply.

- Apply Online
- Print Application with required forms, mail to
N.C. Office of Recovery & Resiliency
P.O. Box 110465
Durham, NC 27709
- Call **833-ASK-RBNC** for a virtual appointment until Service Centers open.

11

Strategic Buyout Program

- Provides eligible property owners located in areas that are prone to repeated flooding the opportunity to relocate to safer land.



12

Strategic Buyout Program: How It Works

For Local Governments

- The Strategic Buyout Program works with local governments to identify areas with the greatest risk of damage from future hurricanes and floods.
- ReBuild SBP staff presently working with Economic and Community Development Manager Amanda Ohlensehlen to identify appropriate zones

For Residents

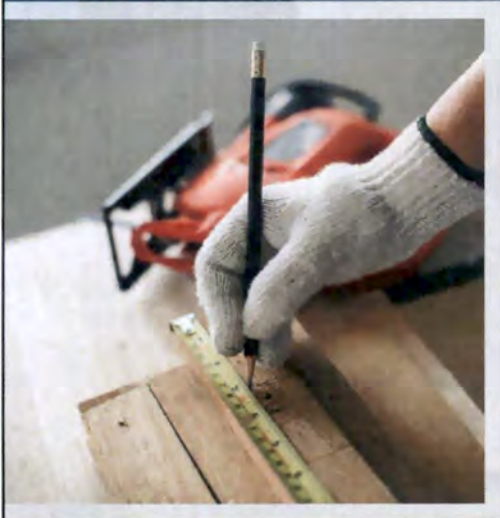
- Homeowners living in the buyout zone are offered a voluntary buyout award to allow them to move to a safer place that is at low risk of flooding.
- All structures are removed from the land.
- Restrictive covenant on deed assures the homeowner that their property will not be redeveloped.



13

Coming Soon: Small Rental Repair Program

- If you own a year-round rental property that was damaged by Hurricane Matthew or Florence, you may be eligible to receive financial assistance from the ReBuild NC Small Rental Repair Program. The program applies to full-time rental structures, including single-family rental units and properties with up to four units.
- To qualify, **you must have remaining repairs needed on the property estimated at \$5,000 or more** to make the property ready for renters and protect against future storms.



14

HOPE

The Housing Opportunities and Prevention of Evictions (HOPE) Program is a new statewide initiative that may provide rent and utility assistance to eligible low- and moderate-income renters experiencing financial hardship due to the economic effects of COVID-19. The new program will help prevent evictions and utility disconnections in order to promote housing stability during the ongoing pandemic.

- Rent Assistance
 - Up to 6 months of funding available for rent made payable to landlords
- Utility Assistance
 - Up to 6 months of funding available for past due essential utilities made payable to utility provider



15

HOPE AND CRAVEN COUNTY

- 338 applications received as of November 3
 - 41% requesting both rent and utility assistance
 - 30% requesting rent assistance only
 - 29% requesting utility assistance only
 - Average award = \$2,639
- Some assistance has already been paid

16

We're committed to recovery.

The Rebuild NC
Homeowner Recovery
Program helps North
Carolinians rebuild
smarter and stronger.



APPLY TODAY



QUESTIONS?

17



THANK YOU

Haley Pfeiffer Haynes | Chief of External Affairs
haley.pfeifferhaynes@ncdps.gov

Cell (919)817-0382



18

AGENDA ITEM COVER SHEET

Agenda Item Title:

Presentation by Habitat for Humanity of Craven County

Date of Meeting: 11/10/2020	Ward # if applicable: N/A
Department: City Clerk	Person Submitting Item: Brenda Blanco
Call for Public Hearing: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Date of Public Hearing:

Explanation of Item:	Mike Williams, Executive Director of Habitat for Humanity of Craven County, NC will make a presentation to highlight the work completed on the lots donated by the City.
Actions Needed by Board:	None; informational only
Backup Attached:	PowerPoint presentation

Is item time sensitive? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Will there be advocates/opponents at the meeting? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

Cost of Agenda Item:
If this requires an expenditure, has it been budgeted and are funds available and certified by the Finance Director? <input type="checkbox"/> Yes <input type="checkbox"/> No

Additional Notes:



1



2

City of New Bern contribution

In March 2016, the city of New Bern conveyed 9 city-owned lots in the Greater Duffyfield Area to Habitat for Humanity of Craven County

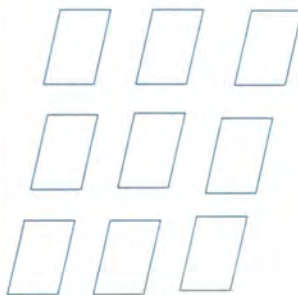
- Third Avenue (2)
- West Street (3)
- North Bern Street
- Howard Street
- Church St
- Bern Street



We build strength, stability and self-reliance through shelter.

3

Results



The 9 lots
produced
7 homes



We build strength, stability and self-reliance through shelter.

4

community investment



- \$541,788 invested to build 7 homes in the Redevelopment Commission Focus Area
- For ever \$1 spent we are generating between \$5 and \$8 in economic impact to our local economy or between \$2.7M and \$4.3M
- 7 homes represent \$755,000 in property value added to the Greater Duffyfield community



We build strength, stability and self-reliance through shelter.

5

community investment



- These homes generate \$3,630 in annual County tax revenue and \$3,030 in City of New Bern tax revenue
- Continuing to redevelop the Greater Duffyfield area will continue to add to city/county tax revenue



We build strength, stability and self-reliance through shelter.

6

community partnerships

Home Construction Sponsorship

- SECU
- Wells Fargo
- B/S/H/
- CAHEC
- City of New Bern CBDG
- International Paper
- Moen

Homebuyer Education Sponsor

- PNC Foundation
- First Flight Federal Credit Union
- Craven Community College
- Navy Federal Credit Union
- BB&T/Truist



We build strength, stability and self-reliance through shelter.

7

community partnerships

Faith Community

- First Presbyterian
- Centenary United Methodist Church
- Christ Episcopal Church
- First Baptist Church

Other Financial Supporters

- North Carolina Housing Finance Agency
- Civic/Service/Greek Organizations
- Individual Donors



We build strength, stability and self-reliance through shelter.

8

people impact

- 11 adults and 12 children are impacted by these 7 homes we were able to build through your donation of real property
- These 12 kids are now attending school at J.T. Barber Elementary and H.J. McDonald Middle School



We build strength, stability and self-reliance through shelter.

9

employer impact



Resort Facilities
Services



B/S/H/



We build strength, stability and self-reliance through shelter.

10

continuing
impact

Greater Duffyfield will continue to be a focus area

- neighborhood revitalization services which include:
critical home repairs, aging in place home
modifications, weatherization (focused on energy
efficiency improvements)
- free homebuyer education (credit, money
management, home maintenance, a will, etc.)

Surrounding Communities

- Pembroke, Havelock, Vanceboro,



We build strength, stability and self-reliance through shelter.

11

continuing
impact

Looking forward to our continued partnership . . .



We build strength, stability and self-reliance through shelter.

12



*Thank
you*



We build strength, stability and self-reliance through shelter.

AGENDA ITEM COVER SHEET

Agenda Item Title:

Presentation by Neuse Riverkeeper

Date of Meeting: 11/10/2020	Ward # if applicable: N/A
Department: City Clerk	Person Submitting Item: Brenda Blanco
Call for Public Hearing: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Date of Public Hearing:

Explanation of Item:	Katy Hunt, Lower Neuse Riverkeeper, will make a presentation to discuss nutrient pollution and fish kills in the Neuse River.
Actions Needed by Board:	None; informational only
Backup Attached:	PowerPoint presentation

Is item time sensitive? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Will there be advocates/opponents at the meeting? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

Cost of Agenda Item:
If this requires an expenditure, has it been budgeted and are funds available and certified by the Finance Director? <input type="checkbox"/> Yes <input type="checkbox"/> No

Additional Notes:

Nutrient Pollution and Fish Kills

How too many nutrients are
endangering the health of our rivers.

Katy Langley Hunt
LOWER NEUSE RIVERKEEPER
November 10, 2020



© 2016 Sound Rivers. All rights reserved.



1

Fish Kill Reports

- Reports began 9/29 - Atlantic menhaden
- Carolina Pines, Slocum Creek, Kennels Beach, Goose Creek downstream of Fairfield Harbor
- DEQ collected samples on 10/2 (Kennels Beach) and 10/22 (Carolina Pines)
- Algal bloom species not known to be toxic
- MODMON provided information on 10/15 stating areas of hypoxia and an algal bloom
- Last reports of fish on 10/30

SOUND RIVERS

2



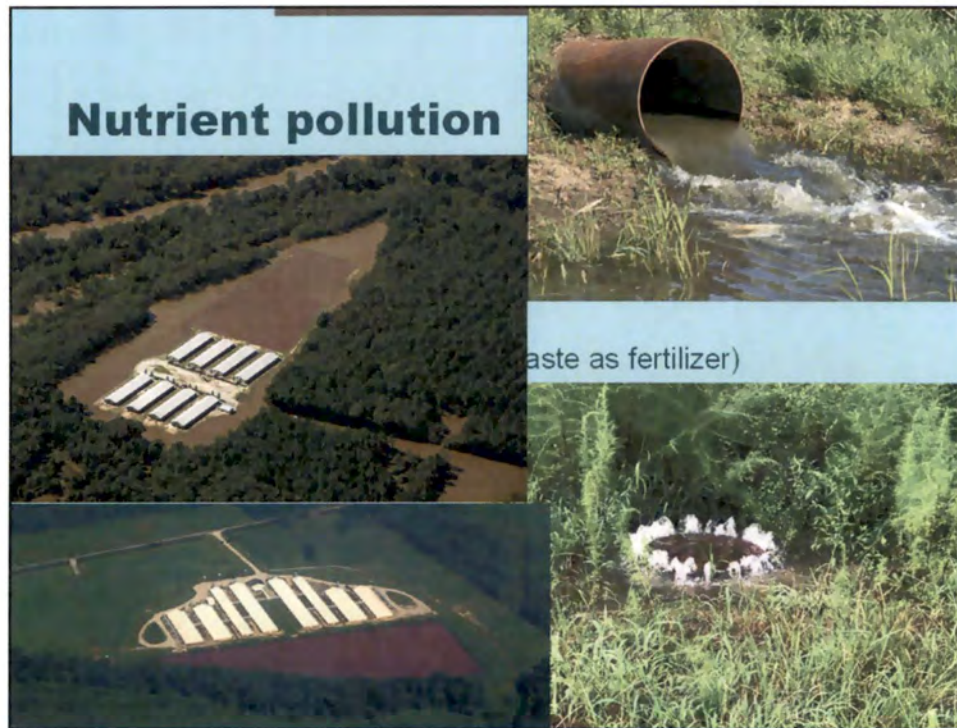
3

Unprecedented

- Environmental Disaster
- Have not seen a fish kill of this magnitude or duration since the 90's
- Atlantic menhaden integral cog in our ecosystem
 - eat algae, prey for larger fish, commercial uses
- Neuse River could become a "dead river"
- Twice named in American Rivers' "Top 10 Most Endangered Rivers" list
 - 2007, 2017

SOUND RIVERS

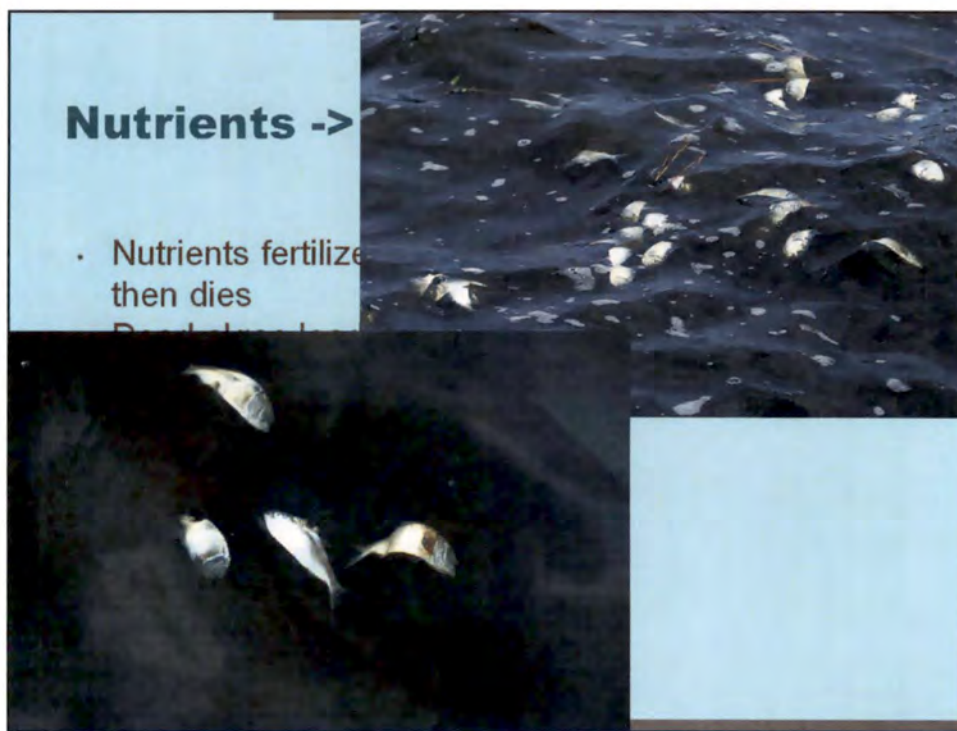
4



Nutrient pollution

(waste as fertilizer)

5



Nutrients ->

- Nutrients fertilize
- then dies

6

Solutions

- Necessary maintenance and upgrades to sewer and stormwater systems
 - Keep an eye to the future
- Better regulations to prevent pollution
- Better enforcement of polluters
- Wetland and buffer restoration/protection
- Action Alert

SOUND RIVERS

AGENDA ITEM COVER SHEET

Agenda Item Title:

Parks and Recreation National Re-Accreditation presentation

Date of Meeting: 10/30/2020	Ward # if applicable:
Department: Parks & Recreation	Person Submitting Item: Foster Hughes, CPRE
Call for Public Hearing: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Date of Public Hearing:

Explanation of Item:	In 2015, New Bern Parks and Recreation was nationally accredited by the Commission for Accreditation of Park and Recreation Agencies. On October 28, the National Recreation and Park Association presented the "Best of the Best Awards Ceremony" during the Virtual National Conference. New Bern Parks and Recreation was recognized and re-accredited during this ceremony. Currently there are 186 agencies nationwide that are accredited. In North Carolina, there are 13.
Actions Needed by Board:	
Backup Attached:	Memo - Powerpoint

Is item time sensitive? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Will there be advocates/opponents at the meeting? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

Cost of Agenda Item:
If this requires an expenditure, has it been budgeted and are funds available and certified by the Finance Director? <input type="checkbox"/> Yes <input type="checkbox"/> No

Additional Notes:

Aldermen

Sabrina Bengel
Jameesha Harris
Robert V. Aster
Johnnie Ray Kinsey
Barbara J. Best
Jeffrey T. Odham



Foster Hughes, CPRE
Director of Parks & Recreation

Dana E. Outlaw
Mayor

Mark A. Stephens
City Manager



Memo To: Mayor and Board of Aldermen
From: Foster Hughes, CPRE
Director of Parks and Recreation
Re: Parks & Recreation CAPRA Re-accreditation
Date: October 30, 2020

Background Information:

In 2015, New Bern Parks and Recreation was nationally accredited by the Commission for Accreditation of Park and Recreation Agencies. On October 28, the National Recreation and Park Association presented the "Best of the Best Awards Ceremony" during the Virtual National Conference. New Bern Parks and Recreation was recognized and re-accredited during this ceremony. Currently there are 186 agencies nationwide that are accredited. In North Carolina, there are 13.

Recommendation:

Receive the information.

1307 Country Club Rd
New Bern, NC 28562
Office 252 639-2901
Fax 252 636-4138



NEW BERN PARKS & RECREATION

1



- In 2015, the Department was nationally accredited by the Commission for Accreditation of Park and Recreation Agencies.

2

Accreditation Process

- Accreditation is based on our compliance with the **154 standards** for national accreditation. To achieve accreditation, an agency must comply with all **36 Fundamental Standards**, and **112 of the 118 Non-Fundamental Standards** upon reaccreditation.



NEW BERN
NORTH CAROLINA

3

On October 28th, the National Recreation and Park Association presented the “Best of the Best Awards Ceremony” during the Virtual National Conference.


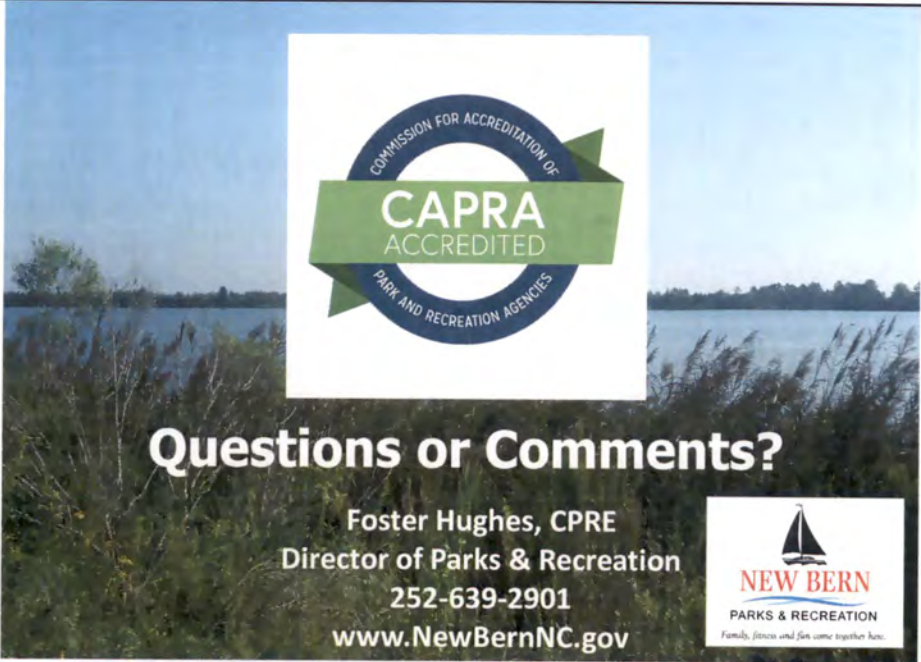
- **New Bern Parks and Recreation was recognized and re-accredited during this ceremony.**

Currently, there are 186 agencies nationwide that are accredited. In North Carolina, there are 13.




NEW BERN
NORTH CAROLINA

4



Questions or Comments?

Foster Hughes, CPRE
Director of Parks & Recreation
252-639-2901
www.NewBernNC.gov



NEW BERN
PARKS & RECREATION
Family, fitness and fun come together here.

NEW BERN
NORTH CAROLINA

AGENDA ITEM COVER SHEET

Agenda Item Title:

Conduct a Public Hearing and Consider Adopting a Resolution to Amend the Historic District Guidelines

Date of Meeting: 11/10/2020	Ward # if applicable: Ward 1
Department: Development Services	Person Submitting Item: Matt Schelly, City Planner
Call for Public Hearing: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Date of Public Hearing: 11/10/2020

Explanation of Item:	Consider Adopting a Resolution to Amend the Historic District Guidelines.
Actions Needed by Board:	Adopt Resolution
Backup Attached:	Memo, Resolution, Summary of Changes, Redline of Historic District Guidelines, Updated Historic District Guidelines

Is item time sensitive? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Will there be advocates/opponents at the meeting? <input type="checkbox"/> Yes <input type="checkbox"/> No

Cost of Agenda Item:
If this requires an expenditure, has it been budgeted and are funds available and certified by the Finance Director? <input type="checkbox"/> Yes <input type="checkbox"/> No

Additional Notes:



MEMORANDUM

TO: Mayor Dana Outlaw, City of New Bern Board of Aldermen

FROM: Matt Schelly, AICP, CZO, City Planner / Historic Preservation Administrator

DATE: October 29, 2020

SUBJECT: Conduct a Public Hearing and Consider Adopting a Resolution to Amend the Historic District Guidelines.

The Board is requested to Conduct a Public Hearing and Consider Adopting a Resolution to Amend the New Bern Historic District Guidelines.

The City of New Bern Historic Preservation Commission (HPC) unanimously approved a set of revisions to the New Bern Historic District Guidelines at their September 23, 2020 meeting. These revisions are included in the backup information. The Guidelines were recently updated and approved by the Board of Alderman July 14, 2020, but the new revisions address unique issues that have arisen due to a modern subdivision with 17 vacant lots on the edge of the residential area in the Downtown Historic District.

The Historic District Guideline revisions adopted by the HPC were also unanimously approved by The Planning & Zoning Board at their October 6 meeting.

The Guidelines are part of the City's Land Use Ordinance (Section 15-420(b)) which requires a text amendment. Therefore, the revisions to the Guidelines will only be effective if the text amendment is approved by the Board of Aldermen.

Please contact Matt Schelly at 639-7583 or schellym@newbernnc.gov or Jeff Ruggieri at 639-7587 should you have questions or need additional information.

RESOLUTION TO ADOPT HISTORIC DISTRICT GUIDELINES

THAT WHEREAS, pursuant to Section 15-420(b) of the Code of Ordinances of the City of New Bern, the New Bern Historic Preservation Commission has prepared and approved certain principles and guidelines not inconsistent with Part 3C of Article 19 of Chapter 160A of the North Carolina General Statutes for the construction, alterations, additions, moving, and demolition of structures located within the City's historic districts entitled "Historic District Guidelines," a copy of which is attached hereto; and

WHEREAS, the New Bern Historic Preservation Commission recommends that the Board of Aldermen approve and adopt the Historic District Guidelines as required by Section 15-420(b) of the Code of Ordinances of the City of New Bern; and

WHEREAS, the Board of Aldermen of the City of New Bern has determined that it is in the best interest of the City to approve and adopt the Historic District Guidelines attached hereto.

NOW, THEREFORE, BE IT RESOLVED BY THE BOARD OF ALDERMEN OF THE CITY OF NEW BERN:

Section 1. That the Historic District Guidelines, a copy of which is attached hereto and incorporated herein by reference, be and the same is hereby approved and adopted.

Section 2. That an official copy of the Historic District Guidelines shall be kept and maintained in the City's development services office, and available on the City's official website.

Section 3. That this resolution shall be effective from and after the date of its adoption.

ADOPTED THIS 10th DAY OF NOVEMBER, 2020.

DANA E. OUTLAW, MAYOR

BRENDA E. BLANCO, CITY CLERK



Historic District Guidelines



City of New Bern Historic District Guidelines

Mayor: Dana E. Outlaw

Board of Aldermen: Ward 1: Sabrina Bengel
Ward 2: Jameesha "Jamee" Harris
Ward 3: Robert "Bobby" Aster
Ward 4: Johnnie Ray Kinsey
Ward 5: Barbara J. Best
Ward 6: Jeffrey T. Odham

City Attorney: Michael Scott Davis

City Manager: Mark A. Stephens

***Director of
Development Services:*** Jeffrey Ruggieri, AICP

***City Planner and
HPC Administrators:*** Matthew Schelly, AICP, CZO, Reg. Arch.

***New Bern Historic
Preservation Commission:*** Dr. Ruth Cox, Darden J. Eure, III, AIA, NCARB, James Bisbee,
George Brake, Peggy Broadway, Christian Evans, Dr. Joseph
Klotz, Ellen Sheridan, James O. Woods, Jr.

Advisors: Ramona Bartos, John Wood, Laurie Mitchell – State Historic
Preservation Office

Illustrations: David Griffith

Guidelines Adopted by HPC: January 18, 2017

Guidelines Adopted by the Board of Alderman: March 28, 2017

Guidelines Revisions Adopted by the HPC: June 17, 2020

Guidelines Revisions Adopted by the Board of Aldermen: July 14, 2020

Guidelines Revisions Adopted by the HPC: September 23, 2020

Guidelines Revisions Adopted by the Board of Aldermen: November 10, 2020

Table of Contents

1. Overview and Concepts	1-1
1.1 Purpose and Intent of Historic Guidelines	1-1
1.2 Your Responsibility as a Property Owner	1-1
1.3 New Bern's Historic Districts	1-1
Downtown Historic District	1-2
Riverside Historic District	1-4
1.4 Historic Preservation Commission	1-7
Meetings	1-7
1.5 Key Concepts	1-7
Contributing and Noncontributing Structures	1-8
Determining if Change is Not Incongruous	1-8
Areas of Visual Concern	1-8
Scope of Changes	1-9
Determining Contributing Structures	1-9
1.6 Obtaining a Certificate of Appropriateness	1-10
Review Process for Minor Works	1-12
Review Process for Major Works	1-12
1.7 Archeology	1-14
1.8 Additional Support	1-15
State Historic Preservation Office	1-15
Certified Local Government (CLG) Program	1-15
National Park Service Technical Briefs	1-15
1.9 Worksheet for COA Evaluation	1-16
2. Site and Setting	2-1
2.1 Development Pattern	2-1
Project Planning Considerations	2-1
Guidelines for Development Pattern	2-3
2.2 Public and Open Spaces	2-4
Project Planning Considerations	2-4
Guidelines for Public and Open Spaces	2-4
2.3 Utilities	2-4
Project Planning Considerations	2-4
Guidelines for Utilities	2-5
2.4 Landscaping	2-5
Project Planning Considerations	2-5
Guidelines for Landscaping	2-6
2.5 Fences and Garden Walls	2-6
Project Planning Considerations	2-6
Guidelines for Fences and Garden Walls	2-7
2.6 Accessory Structures	2-7
Project Planning Considerations	2-7
Guidelines for Accessory Structures	2-8

2.7	Parking	2-8
	Project Planning Considerations	2-8
	Guidelines for Parking.	2-9
2.8	Signage	2-9
	Project Planning Considerations	2-9
	Guidelines for Signage	2-9
2.9	Waterfront Modifications	2-10
	Project Planning Considerations	2-10
	Guidelines for Waterfront Modifications ..	2-10
3.	Design Attributes.....	3-1
3.1	Design Principles	3-1
	Scale, Mass and Proportion ..	3-1
	Form and Rhythm.....	3-2
	Texture ..	3-3
	Details	3-3
	Guidelines for Design Principles ..	3-4
3.2	Modifications	3-5
	Project Planning Considerations ..	3-5
	Guidelines for Modifications	3-5
3.3	Additions.....	3-5
	Project Planning Considerations.....	3-5
	Guidelines for Additions	3-5
3.4	Infill Construction.....	3-6
	Project Planning Considerations	3-6
	Guidelines for Infill Construction	3-6
4.	Design Components.....	4-1
4.1	Foundations	4-1
	Project Planning Considerations	4-1
	Guidelines for Foundations ..	4-2
4.2	Walls, Trim and Ornamentation.....	4-2
	Project Planning Considerations	4-2
	Guidelines for Walls, Trim and Ornamentation	4-4
4.3	Windows, Doors and Openings.....	4-4
	Project Planning Considerations	4-4
	Guidelines for Windows, Doors and Openings	4-6
4.4	Entrances	4-6
	Project Planning Considerations	4-6
	Guidelines for Entrances.....	4-8
4.5	Roofs	4-8
	Project Planning Considerations ..	4-8
	Guidelines for Roofs.....	4-11
4.6	Decks and Patios	4-11
	Project Planning Considerations ..	4-11
	Guidelines for Decks and Patios	4-11
4.7	Accessibility and Life Safety	4-12

Project Planning Considerations	4-12
Guidelines for Accessibility and Life Safety	4-12
5. Materials	5-1
5.1 Masonry	5-1
Project Planning Considerations	5-1
Guidelines for Masonry	5-1
5.2 Wood	5-1
Project Planning Considerations	5-1
Guidelines for Wood	5-2
5.3 Metals	5-2
Project Planning Considerations	5-2
Guidelines for Metals	5-2
5.4 Paint	5-2
Project Planning Considerations	5-2
Guidelines for Paint	5-3
5.5 Contemporary Materials	5-3
Project Planning Considerations	5-3
Guidelines for Contemporary Materials	5-4
6. Preservation	6-1
6.1 Maintenance of Materials	6-1
Guidelines for Masonry Maintenance	6-1
Guidelines for Wood Maintenance	6-2
Guidelines for Metal Maintenance	6-2
Guidelines for Paint Maintenance	6-2
6.2 Prevention of Demolition by Neglect	6-2
Guidelines for Prevention of Demolition by Neglect	6-3
6.3 Relocation	6-3
Guidelines for Relocation	6-4
6.4 Demolition	6-4
Guidelines for Demolition	6-4
Considerations for Evaluation	6-5
7. Definitions and Architectural Terms	7-1
7.1 Definitions	7-1
7.2 Architectural Terms	7-4
8. Appendices	8-1
8.1 Downtown Historic District Map	8-1
8.2 Riverside Historic District Map	8-2
8.3 Department of Interior Standards for the Treatment of Historic Properties	8-3
Standards for Preservation	8-3
Standards for Rehabilitation	8-4
Standards for Restoration	8-5

Standards for Reconstruction	8-6
8.4 Links to Other Resources	8-7
New Bern Land Use Ordinance	8-7
New Bern Ordinance on Preservation	8-7
New Bern Ordinance on Waterfront Overlay Districts	8-7
New Bern Ordinance on Neighborhood Conservation Overlay Districts	8-7
New Bern Urban Design Plan	8-7
New Bern Historic Preservation Commission Web Site	8-7
New Bern Historic Guidelines	8-7
Historic Preservation Commission Policies and Procedures	8-7

1. Overview and Concepts

1.1 Purpose and Intent of Historic Guidelines

The purpose of the New Bern Historic District Guidelines is to help preserve the historic character and architectural fabric of New Bern. Historic landmarks and districts provide a link to New Bern's history, people, events and architecture that defines the character of New Bern and shapes its present identity. The intent is not to prevent physical change or impose particular architectural styles, but to moderate changes while protecting architectural gems and reducing dislocation caused by random change. The goal is to maintain our community's individual character and "sense of place."

This document serves as a guide to the New Bern Historic Preservation Commission and to property owners in the historic districts for maintenance, modifications, and additions to property. It summarizes procedures for review of proposed exterior changes and contains commentary and guidelines for a variety of activities that affect historic resources and the districts as a whole.

1.2 Your Responsibility as a Property Owner

Historic New Bern belongs to everyone. As an owner of a property within one of New Bern's local historic districts, you share a privilege as well as a responsibility. You benefit from protection of uncontrolled change, technical assistance for making changes that are sensitive to surrounding historic properties, and a pride of ownership of New Bern's historic fabric. However, you are not just a property owner; you are a steward to a part of New Bern's and North Carolina's history. As a steward of that heritage, you have a responsibility to preserve and maintain the distinctive characteristics of your property for the future. Any exterior change you make to a property, whether a structure or significant landscaping, requires you to contact Development Services to determine if a *Certificate of Appropriateness* is required. Failure to do so is a violation of New Bern's Land Use ordinance and is subject to fines.

1.3 New Bern's Historic Districts

German Palatine and Swiss colonists under Baron Christoph von Graffenried settled the City of New Bern in 1710 at the confluence of the Trent and Neuse Rivers. It possesses a rich historic and architectural heritage that is reflected in its historic districts.

The Downtown and Riverside historic districts contain a diversified collection of 18th, 19th and early 20th century residential and commercial buildings. Collectively these structures and their respective evolved landscapes stand as a testimony to New Bern's past and help to define the community's unique "sense of place."

1. Overview and Concepts

The New Bern Historic Preservation Commission (HPC) was established to aid property owners in preserving New Bern's historic and architectural resources. Created on April 22, 1980, this body has the primary mission to advise owners regarding preservation options. The HPC is vested with the mandate "to promote, enhance, and preserve the character of the districts and to encourage preservation activities throughout the city." This is accomplished by designating historic districts and landmarks, controlling demolition, and reviewing proposed exterior changes and infill construction.

Downtown Historic District

The architecture of New Bern reflects the history of the town, and its sustained prosperity that historically has been subject and receptive to major architectural trends. Although Federal architecture was New Bern's special forte, a variety of other styles are represented. The minor streets are quiet, punctuated by buildings set on large well landscaped lots shaded by stately trees dotted with clumps of mistletoe. Adding serenity to the town are the Neuse and Trent Rivers, which provide a magnificent backdrop. This atmosphere prevailed throughout New Bern until the early 1950s when Broad Street became a major east-west artery, cleaving the city in two.

*See Appendix for a map of the
Downtown historic district.*

The city was established in 1710, and at the request of Baron von Graffenried, John Lawson devised and laid out the plan, which, with some additions, remains intact. He explains:

Since in America they do not like to live crowded, in order to enjoy a purer air, I accordingly ordered the streets to be very broad and the houses well separated one from the other. I marked three acres of land for each family, for house, barn, garden, orchard, hemp field, poultry yard and other purposes. I divided the village like a cross and in the middle I intended a church. One of the principal streets extended from the bank of the River Neuse straight on into the forest [Broad or Pollock Street] and the other principal street crossed it, running from the Trent River clear to the Neuse River (Middle or Craven Street). After that we planted stakes to mark the houses and to make the principal streets along and on the banks of the two rivers [East Front Street and South Front Street].

Not only did the street scheme survive, but the idea of not liking to "live crowded" is still in evidence. With the exception of construction accomplished since the mid-20th century and four mid-19th century row houses, all residences are separate freestanding buildings each with a generous yard.

Historically New Bern has been dependent for its livelihood on its rivers and governmental sponsorship. The city's role as occasional host of the itinerant colonial assembly, the colony's first permanent capital, and the seat of Craven County helped foster her emergence as a port, and therefore as a mercantile center.

Because of New Bern's externally oriented economy, the city was exposed to national stylistic trends, which quite obviously had a great effect on architecture. The vast majority of structures express a high degree of academicism successfully rendered by skilled and sensitive craftsmen.

Nothing remains of the earliest buildings. A comparison of New Bern today with what C. J. Sauthier recorded on his 1769 map of the town finds only four buildings that tentatively are identified as surviving from that time.

Within the district, fourteen buildings with Georgian stylistic origins have been identified. The majority of them are simple, modest dwellings and most were updated during a later stylistic era. This is a scant number considering that more than thirty house carpenters and joiners are known to have been working in the county between 1748 and 1790. With the exception of a few houses attributed either to John Hawks or James Coor, the architect-builders of most buildings cannot be identified. It can be assumed that natural attrition combined with disasters like the hurricane of September 1769, and the fires in the fall of 1791 and 1794, and that of February 1798, which burned the Governor's Palace, eradicated much of the evidence of the early town.

Within the last two decades of the 18th century, the population of New Bern more than doubled, and the physical area of the town accordingly expanded north and west. Judging from remaining evidence, growth of the population and area continued in the first decades of the 19th century. Obviously, the town was enjoying a new high level of prosperity, a prosperity fueled by commercial and mercantile endeavors that enabled affluent merchants like John Harvey, Eli Smallwood and Isaac Taylor to build ambitious town houses. It was during this same era of prosperity that the town produced civic and cultural symbols of urbanity, most notably the New Bern Academy, the Masonic Temple and Theater, and the First Presbyterian Church.

The New Bern version of Federal architecture is Adamesque; it is restrained and elegant and, above all, sophisticated. A typical Federal domestic structure has the following elements: two and one half stories; a side hall plan, two rooms deep, three bays wide and four bays deep; a gable roof; gable dormers; exposed face interior end chimneys; a one-bay pedimented porch; an entrance composed of a six-panel door, with four flat above two flush panels, and geometrically ornamented transom above. Although interior treatments vary considerably, three-part mantels are universal.

While the side hall plan was certainly the most prevalent Federal form, center hall and asymmetrical versions were built as well. A concentration of those forms exists on Pollock Street in the area west of Tryon Palace, but others are scattered throughout the town. Usually they are two or two-and-one-half story frame structures, three of which are constructed of brick, and with gable roofs, although three have gambrel roofs, and Federal interior woodwork.

In the Federal era the authorship of several buildings can be attributed with varying degrees of certainty to Martin Stevenson, John Dewey, Robert Hay and Uriah Sandy, four of some forty architect-builders established in the county between 1790 and 1835. As in the Georgian era, this leaves the majority of structures unlinked to a specific designer.

The Federal style persisted in New Bern well into the 1840s, long after it had been superseded by the Greek Revival style in other towns. This was by no means a result of cultural lag; rather it would seem more likely to be a product of

1. Overview and Concepts

conservative mercantile interests, a proposition set forth by Talbot Hamlin in *Greek Revival Architecture in America*.

The importance of such mercantile interests in New Bern, combined with the habits of the craftsmen, provide a cogent explanation for the longevity of the Federal style in the city.

The town clung so tenaciously to Federal architecture, in fact, that it scarcely acknowledged the existence of other styles. Concessions to the Greek Revival style usually appear on the interiors of buildings and take the form of symmetrically molded architraves with corner blocks. In only a very few cases are classical Greek motifs employed externally.

By the time New Bern rejoined the mainstream of architectural trends, the Greek Revival style was waning, and mid-19th century eclecticism was flourishing. The town began to experiment with new styles in the 1840s. The incidence of buildings constructed in the pre-Civil War eclectic era is lower than that of earlier eras. This is probably due in part to the suspended growth of both the population and wealth of New Bern.

While participating in the national architectural mainstream, New Bern retained a degree of independence of design and materials as evidenced in the coquina wall and arched gateway of Cedar Grove Cemetery constructed by the town in 1854.

The post-Civil War era saw New Bern fully integrated into the prevailing national stylistic modes of Second Empire, late Italianate Revival, Romanesque Revival, Queen Anne, Stick Style, Eastlake, and Shingle. A substantial portion of the late 19th century domestic structures, especially the more massive ones, have met with destruction, but a few of them, plus a number of smaller, more manageable houses survive.

In the early 20th century, New Bern experienced a building boom, which in volume came close to rivaling the Federal boom. The economic revitalization of the town was largely a result of the lumber industry, which produced magnates desirous of living in and capable of paying for the most impressive houses their money could buy. Obliging these clients was local architect Herbert Woodley Simpson, who is credited with the design of every important structure built in New Bern in the first two decades of the 20th century. A versatile designer, Simpson excelled in the Queen Anne and Neo-Classic Revival styles, and often combined the two. While practicality and "progress" have taken their toll on many of his impressive Neo-Classic Revival structures, a few have survived. They testify to the prosperity and taste of early 20th century New Bernians.

Riverside Historic District

The Riverside Historic District is composed of approximately 15 blocks of largely residential development along the banks of the Neuse River in northeast New Bern. Laid out in a grid pattern aligned with National Avenue, a preexisting street leading to the National Cemetery, subdivisions in 1894 and 1912 created New Bern's first suburb out of farmland. Within the Riverside District are modest, but representative one- and two-story examples of Classical Revival,

See Appendix for a map of the Riverside historic district.

Late Queen Anne, Craftsman and Colonial Revival styles in a variety of house forms, principally with the traditional New Bern side hall plan. Also, within the district are the Italian Renaissance Revival style Riverside School and the Gothic Revival influenced Riverside Methodist Church, as well as several small industrial and commercial buildings. There are 178 contributing and 35 noncontributing buildings within district boundaries. While many of the buildings have received some alteration, individually and as a group, they retain their integrity of design, setting, materials, workmanship and feeling.

National Avenue is the main street running through the district from the southeast to the northwest. To the east and parallel with it are North Pasteur and North Craven streets, the other principal roads. North Craven's east side provides one boundary of the district. The adjacent river property was originally platted as house lots but was developed as industrial property and has gone through a series of uses. Running along the western side of the district is the line of the Atlantic and North Carolina Railroad, which predates Riverside and precluded the development of north-south roads to the west of National Avenue. The western boundary of the district follows the line of pre 1935 development in the side streets west of National Avenue.

Perpendicular to the main avenues are evenly spaced side streets, beginning with Guion Street at the south and reaching to North Avenue, whose south side forms the northern end of the district and defines the furthest extent of pre-World War II development.

The former farmland on which Riverside was platted is flat. Large oaks line National Avenue on both sides, and the remainder of the district is characterized by the presence of a considerable number of mature trees of a variety of species located in no particular pattern.

The two subdivisions which made up Riverside each had a different system of laying out lots, neither of which was completely uniform. Lots were also recombined before building, creating further variety in lot size. In the 1894 plat, larger lots were laid out along the west side of National Avenue, but the largest and most pretentious houses in the district are found equally along both sides of National Avenue. The east side of National Avenue and the remainders of the blocks were laid out with long, narrow lots, some with only 41-foot frontages. The relative uniformity of appearance in Riverside owes much to New Bern traditions of building close to the street, thus creating consistent setbacks, and of placing houses close together.

There is no formal open space within the district. The largest open space is a half block on Dunn Street between North Pasteur and North Craven streets, formerly the site of a tobacco factory. Another set of undeveloped lots is located at the southeast corner of North Pasteur Street and Avenue D, adjacent to the Maola Company and individual undeveloped lots are scattered throughout the district. The interiors of the alley-less blocks contain trees, gardens, garages, and other outbuildings.

With only a handful of exceptions, buildings in the Riverside district are relatively modest, owner or contractor designed, with simple or no

1. Overview and Concepts

ornamentation. All are one or two stories and although there is a scattering of brick houses throughout the district, the greater number are frame, sheathed with clapboards or wood shingles. Standing seam metal roofs predominate.

Many of the residences in the district have garages, some contemporaneous with the house or constructed before the 1930s, and almost always located at the rear of the property. Most are relatively small, of frame construction, and with gable roofs. Exceptions include the hipped roofed, brick garage of the William Dunn House and the garage apartment of the Turnbull House.

Domestic building in the Riverside district is almost entirely in four styles: late Queen Anne, Classical Revival, Craftsman and Colonial Revival. These styles are applied to a variety of house forms. The most common house form in the district, and one that was popular in other areas of New Bern in the early 20th century, is the narrow and deep, two or three bay gable end two story house. These frame houses have side hall plans, often with rear ells, and generally either a small portico or a full width porch at the front. One variant of this house type has a gable roofed, two-story bay at one corner of the front elevation, like 1112 and 1114 National Avenue. Another variant of the form has a hipped instead of gable roof, with or without a front dormer. Both Guion and Dunn Streets have rows of these simple dwellings constructed as rental housing. More sophisticated versions of the same house have pedimented gables, classically detailed porches and wings or bays, like the William T. Hill House at 1202 National Avenue or the Smith-Hawkins House at 1214 North Pasteur.

Another well represented house type in the district is the foursquare; two or three bays wide, with a hipped roof and a full width porch across the front. Unlike foursquares elsewhere, however, these houses for the most part employ the side hall plan. A number of good frame examples of this form are located on both sides of the 1200 and 1300 blocks of National Avenue. Also located on National Avenue are several large, Classical Revival styled foursquares with L-shaped front porches, including the J. O. Baxter House and the O. A. Kafer House. A variety of bungalows may be found in the district, mostly in the Craftsman or Classical Revival styles, and predominantly of frame construction. Most typical are cross gable forms like the D. M. Parker House at 1408 National Avenue. Bungalows with jerkin headed front gables or hipped roofs are also common. At the northeast corner of the district are a row of three, one story frame bungalows whose gabled front porches have a distinctive exposed trusswork. Perhaps the most unusual bungalow in the district is the one at 1412 National Avenue, which has three oversized, hipped wall dormers protruding through its hipped roof.

The oldest house in the district, the mansard roofed William R. Guion House at 1203 National Avenue, is its only Second Empire influenced residence.

Two buildings in the district attributed to architect Herbert Woodley Simpson have noteworthy designs outside the vernacular tradition. The Prairie Style William Dunn House at 1404 National Avenue has a high, pressed brick first floor with a broad arch at the front that supports the shingled upper floor. Its complex slate roof with deep eaves has multiple hipped dormers. Behind the house is a hipped roofed, brick garage with tin shingled dormers on each elevation. Across the street from the Dunn House is the Robert Turnbull House,

a Colonial/Classical Revival style residence sheathed in wide cypress boards that presents an asymmetrically arranged broad front to the street, dominated by an off center, Tuscan-columned front porch.

Riverside Graded School and Riverside United Methodist Church, the two institutional buildings in the district, are distinctive in design. The Riverside Graded School of 1922 is a well composed, two story Italian Renaissance design in red brick with glazed terra cotta trim and barrel tiled cornices. Riverside Methodist Church, constructed 1919-1920, is an unusual adaptation of the Late Gothic Revival style to an essentially square church, with an octagonal central sanctuary that rises above the rest of the building.

1.4 Historic Preservation Commission

The New Bern Historic Preservation Commission (HPC) is a public board in the City of New Bern responsible for preserving the City's historic and cultural resources. Enabling North Carolina statutes and New Bern city ordinances related to preservation are provided in a separate document on the City of New Bern website. The HPC's guidelines, policies and procedures can also be found on the City of New Bern website or by contacting the HPC administrator in the Department of Development Services.

The HPC is composed of nine members appointed by the Board of Aldermen to serve a three-year term, and not more than two consecutive terms. Members must reside within the City's corporate limits or within its designated Extraterritorial Planning Jurisdiction, and have a demonstrated special interest, experience or education in architecture, history, historic preservation or related field.

Meetings

The HPC meets on the first and third Wednesday of each month. The first Wednesday of each month is the HPC's work session. Property owners may consult the HPC about a specific project, but there is no public comment on a proposal. The third Wednesday of the month is the HPC's regular business meeting where public hearings are held for *Certificate of Appropriateness* (COA) applications. The applicant, or representative of the applicant, must be present to approve a COA. The HPC also considers other matters at this meeting that require formal action. The location, meeting times and agendas are published on the City of New Bern website. Work sessions and regular business meetings are open to the public.

1.5 Key Concepts

The HPC's jurisdiction extends over exterior attributes of an entire property. Changes are evaluated in terms of impact on the property and the surrounding area. Key factors considered by the HPC in evaluating exterior changes or infill construction are described more fully.

1. Overview and Concepts

Contributing and Noncontributing Structures

A *contributing structure* is at least 50 years old and is listed in the Department of Interior's historic district inventory of structures. The inventory is created as part of the process for designating the historic districts. As buildings reach 50 years in age, they may also be considered contributing structures.

A *noncontributing structure* is usually less than 50 years in age or is considered not to have significant historic, architectural or cultural value. Changes to noncontributing structures require a COA to ensure compatibility with the surrounding historic fabric of contributing structures.

Determining if Change is Not Incongruous

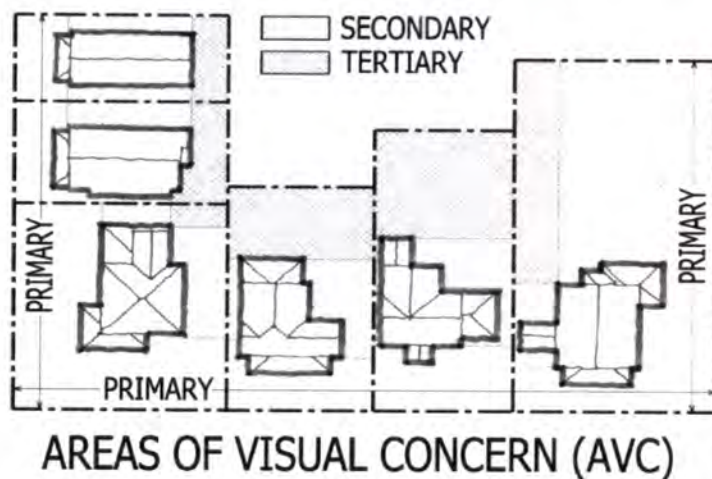
The HPC is tasked with using the historic guidelines to determine whether changes to a structure, both contributing and noncontributing, are *not incongruous*, or complimentary to the special character of the historic districts. A number of factors are considered including:

- relationship to other structures on adjacent properties, the street and the historic districts
- mass, proportion, scale, style, details and materials proposed for use

The applicant must prove that their proposed changes are not incongruous. The HPC can deny an application only if it determines that the proposed changes are incongruous.

Areas of Visual Concern

Each portion of a property is divided into *Areas of Visual Concern (AVC)*.



The **Primary AVC** is the most important area because it is generally located directly adjacent to the street, and therefore, is the most visible. Inappropriate changes in Primary AVC severely alter the character of a building or site and compromise the integrity of the streetscape. Thus, great care is taken to ensure appropriate changes in this area.

The **Secondary AVC** includes areas that are not directly adjacent to the street but are visible from the street. A secondary area plays an important role in defining the character of the site because of the transitional space between the public street and private rear yard.

The **Tertiary AVC** includes areas generally not visible from the street. Areas concealed from street view afford the greatest flexibility to accommodate changes within the context of the guidelines.

Scope of Changes

New Bern's historic guidelines cover only exterior changes to properties in the historic districts. Exterior changes are divided into four categories.

Normal maintenance and repair constitutes work that does not involve a change in material or design of a structure's exterior architectural features, or landscaping that does not significantly change a property's appearance from the street.

Replacement-in-kind means repairing an existing feature or replacing a feature ***using the exact same material, size, scale, and detail***. Only replace architectural features that have deteriorated beyond a state where they can be repaired. Do not remove or replace original architectural features, such as doors or windows, out of convenience. ***Property owners shall contact the Department of Development Services before proceeding with replacement-in-kind work.***

Minor work constitutes alterations to a structure or site that do not significantly impact a property and are consistent with the New Bern Historic District Guidelines. A listing of minor works is found on the City of New Bern website. The HPC administrator may issue a COA for minor work items. The HPC administrator may at any time forward minor work items to the HPC for formal review. ***Property owners shall contact the Department of Development Services before proceeding with minor work.***

Major work constitutes alterations to a structure or site not classified as a minor work, including infill construction or demolition, and those changes located within in a Primary AVC. Major works must be approved by the HPC and receive a COA. A summary of the COA process is described in the guidelines and is detailed in the *HPC Policies and Procedures*. Refer to the New Bern Historic District Guidelines for allowable exterior changes and contact the HPC administrator for technical assistance.

Determining Contributing Structures

In-depth surveys of contributing structures within New Bern's historic districts are infrequently conducted, overlooking potentially important structures that

1. Overview and Concepts

have come of age and now meet the Department of Interior and the State Historic Preservation Office (SHPO) criteria for contributing structures. In certain cases, records from past surveys may be incomplete, conflicting or disputed by the owner.

When a COA application involves a structure not listed in the inventory, the first step is to determine whether it is a contributing structure.

- Any unlisted building 50 years of age or greater will be evaluated for contributing structure status. An unlisted building determined to be more than 50 years of age does not have to be treated as a contributing structure if the HPC determines that it has no architectural, cultural, or historical significance. Any structure less than 50 years of age will be considered noncontributing unless the HPC finds that it clearly possesses exceptional architectural, cultural, or historical merit.
- The age of a structure will be based on relevant information including tax assessor data, deeds, historical surveys, maps and pictures of verifiable sources and dates. The HPC will also consult with the SHPO and ask for a documented evaluation. In the event that the HPC and SHPO cannot make a reasonable determination of the age, the applicant shall have the privilege of stipulating the age.
- Findings and relevant information leading to contributing status will be documented.
- If the determination of a structure is based solely upon age, the property owner may request a detailed SHPO review to confirm its status. Following SHPO review, the HPC will consider the evaluation in making a final determination.

The HPC will update the inventory list to include newly designated contributing structures.

1.6 Obtaining a Certificate of Appropriateness

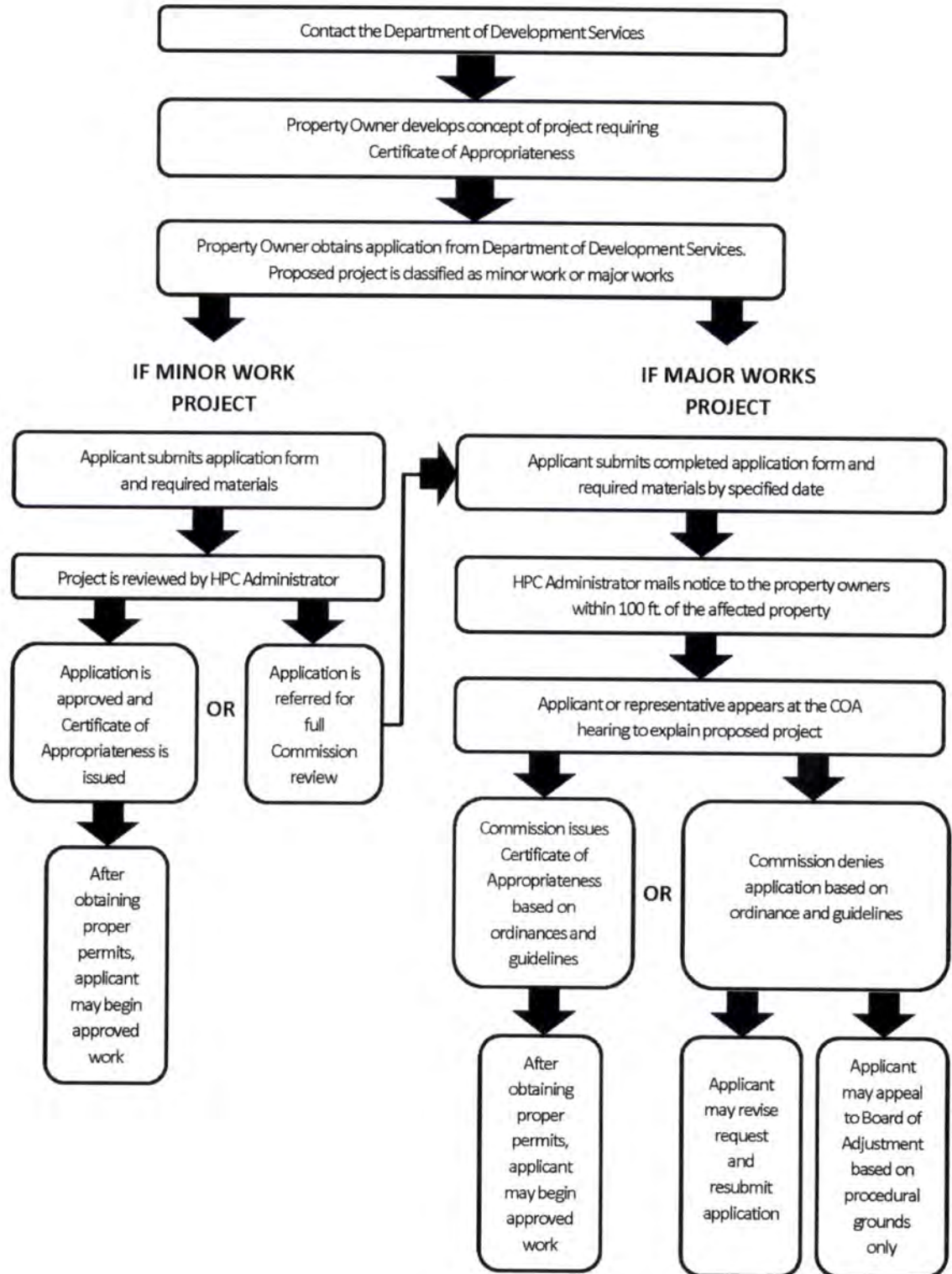
A **Certificate of Appropriateness (COA)** is required before making changes to the exterior of a property in the historic districts. Changes are categorized as *minor works*, which are alterations that do not significantly impact a property, and *major works*, which are significant alterations that affect the appearance or architectural fabric of a property.

A COA application must be submitted to the Department of Development Services and may require a COA hearing and approval by the HPC. COA applications are obtained from the City of New Bern website or from the City of New Bern's Department of Development Services.

Property owners considering projects in the historic districts are encouraged to take advantage of free technical advice and design assistance offered by the HPC and Department of Development Services staff prior to submission of a COA application. Staff is available to answer questions and guide applicants through the COA process.

Additional permits, such as building permits, may be required for a project. A COA does not supersede land use and zoning requirements and does not replace requirements for other permits.

Certificate of Appropriateness Process



1. Overview and Concepts

Review Process for Minor Works

Minor works are changes that do not significantly impact a property and are consistent with the New Bern Historic District Guidelines. A COA for a minor work typically does not require a formal public hearing. The HPC administrator will advise the property owner to ensure compliance with historic guidelines. The HPC administrator may submit a minor work application to the HPC for formal approval depending on the nature of the proposed changes. The HPC administrator can issue a COA for minor work items after a completed application is reviewed with the applicant.

A list of minor works that can be approved by the HPC Administrator is maintained and updated by the HPC. The complete list is available on the City of New Bern website. The HPC, during a design review work session, can direct the HPC Administrator to process applications of limited scope as a minor work.

Review Process for Major Works

Major works are significant exterior alterations to a structure or site, including additions, infill construction and demolition. Major works must be approved by the HPC and receive a COA.

Design Review

A **Design review** of a COA application can lead to faster approval and is strongly recommended for any **major works**.

The purpose of the design review is to:

- Familiarize an applicant with historic guidelines
- Familiarize the HPC with an application
- Provide project feedback
- Address application questions or issues

A design review can take place before formal submission of an application. Large, complex projects often require multiple design reviews.

The HPC administrator will help determine if a design review by the HPC is needed. Design reviews are typically held during the HPC's work sessions on the first Wednesday of the month.

Application Submission and Formal Review Process

A complete COA application **including supporting materials** must be submitted to the Department of Development Services at least fourteen calendar days prior to the HPC's next regular meeting in order for a COA hearing to be placed on the agenda. COA applications are available for public review in the Department of Development Services.

The HPC administrator is responsible for ensuring that a COA application is complete and complies with applicable city ordinances and codes. Application issues are communicated to the applicant. Ultimately, the HPC will determine the completeness of an application, and additional information may be required.

Hearings

The HPC is required by state statutes and city ordinances to conduct a hearing on proposed major changes to a property in the local historic districts. A hearing is conducted as a quasi-judicial hearing, where a decision is based on the evidence and testimony presented by the applicant and those who have standing. Allowable testimony and evidence must directly relate to relevant guidelines. The applicant has the burden of proving that proposed changes are not incongruous with New Bern Historic District Guidelines. The HPC cannot deny changes unless they are determined to be incongruous.

A **COA hearing** is the typical type of hearing for an application. Property owners within 100 feet of the project are assumed to have standing to provide testimony at a COA hearing.

A **public hearing** may be called by the HPC for a large project that may materially affect property owners beyond 100 feet. The HPC may elevate a COA application to a **public hearing**. In such an event, property owners beyond 100 feet are assumed to have standing to provide testimony.

Hearings normally occur at the HPC's regular meetings on the third Wednesday of each month. The property owner or their designated representative must attend the public hearing, present the application, and address application questions and concerns.

The HPC may approve, approve with conditions, or deny a COA application. Action on an application must be taken within 180 days of submission. Action on most applications is decided at the hearing. Work may not proceed until the owner has an approved COA in hand.

Preconstruction Conference

If a COA has been issued by the HPC, a preconstruction conference may be required prior to the issuance of building permits. This meeting is arranged by the applicant with the Department of Development Services to discuss the COA and to ensure that the project is executed as specified. Meeting attendees must include the following:

- Property owner or designated representative
- Contractor
- Chief building inspector
- HPC administrator

1.7 Archeology

The historic districts of New Bern are more than a collection of buildings and their associated landscapes. Historic resources are very likely to include artifacts that are below ground and within the rivers. Archaeological artifacts can provide important clues regarding the location and configuration of long removed outbuildings, additions, porches, and landscape features such as walkways and plantings. Remnants such as foundations, wells, postholes, trash pits, shipwrecks and submerged pilings may also show the evolution of building development and human activities associated with a site. This knowledge conveys an understanding of our interactions with the environment throughout history.

1. Overview and Concepts

The geographic location of the City at the confluence of the Neuse and Trent Rivers has made this area an ideal settlement extending back to prehistoric times. Several archaeological sites have been located and studied within the historic districts; however, it is very likely that unknown archaeological resources will be identified through the natural course of ground disturbing activities. Given this probability, efforts must be made to protect valuable resources in their natural, undisturbed setting upon discovery.

1.8 Additional Support

Public and private organizations involved in local preservation efforts can be found in Section 8. *Appendices*.

State Historic Preservation Office

The *State Historic Preservation Office (SHPO)* assists citizens, organizations, local governments and state and federal agencies in identifying and protecting places significant in North Carolina history. The SHPO frequently provides information and technical assistance related to COA applications to property owners and the HPC.

The main SHPO office is in Raleigh, with regional offices in Asheville and Greenville. SHPO prepares nominations submitted to the National Register; oversees the statewide architectural survey; administers the Certified Local Government program, Rehabilitation Tax Credit program and Environmental Review; and provides public awareness and training programs.

Certified Local Government (CLG) Program

The *Certified Local Government (CLG) Program* is a federal program administered by the SHPO that allows local governments to participate in the national historic preservation program. A benefit of CLG status is eligibility to compete for CLG historic preservation grant funds. In North Carolina, the following is required for local government certification:

- Have an active and legally adequate historic preservation commission, with a designated paid staff person, that enforces appropriate state and local legislation for the designation and protection of historic properties.
- Maintain a system for surveying and inventorying historic properties that is compatible with the statewide survey.
- Provide adequate public participation in the local historic preservation program, including the process of recommending properties for the National Register of Historic Places.
- Satisfactorily perform responsibilities delegated under the 1966 National Historic Preservation Act.

National Park Service Technical Briefs

The National Park Service provides *Preservation Briefs* for guidance on preserving, rehabilitating, and restoring historic buildings. These publications

recognize and resolve commonly encountered problems and recommend methods and approaches for rehabilitating historic buildings. The HPC may use preservation briefs for guidance when evaluating a COA application. Refer to <http://www.nps.gov/tps/how-to-preserve/briefs.htm>.

1.9 Worksheet for COA Evaluation

A worksheet is available to aid in the navigation of the Historic District Guidelines and to help evaluate proposed changes in a COA application. (See the next page.) Rows in the worksheet correspond to the sections in the Guidelines. Columns correspond to types of changes. Boxes shaded in green under a column heading are most likely to apply to a type of change and should be considered first. Unshaded boxes may also apply to a COA application depending on the nature of proposed changes.

This worksheet can be downloaded from the HPC website or it can be obtained from the HPC administrator. The green shading identifies guideline sections that are likely applicable to the type of proposed changes.

COA Evaluation Worksheet				
Type of Proposed Changes →	Modifications	Additions	Infill Construction	Replacement in Kind
Guideline Sections to Consider ↓				
Overview and Concepts (Part 1) <ul style="list-style-type: none"> Property Owner Responsibilities Minor vs Major Work Obtaining a COA Contributing vs Noncontributing Archeology 				
Site and Setting (Part 2) <ul style="list-style-type: none"> Development Pattern Placement of Primary Structures Public and Open Spaces Utilities Landscaping Fences and Garden Walls Accessory Structures Parking Signage Waterfront Modifications 				
Design Attributes (Part 3) <ul style="list-style-type: none"> Scale, Mass and Proportion Form and Rhythm Texture Details 				
Design Components (Part 4) <ul style="list-style-type: none"> Foundations Walls, Trim and Ornamentation Windows, Doors, and Openings Entrances Roofs Decks and Patios Accessibility and Life Safety 				
Materials (Part 5) <ul style="list-style-type: none"> Masonry Wood Metals Paint Contemporary Materials 				
Preservation (Part 6) <ul style="list-style-type: none"> Maintenance of Materials Prevention of Demolition by Neglect Relocation Demolition 				

Version 20170317

1. Overview and Concepts

2. Site and Setting

2.1 Development Pattern

Project Planning Considerations

Development patterns have been in existence far longer than zoning, and existing buildings establish an understandable rhythm along the streetscape without historical regard for land use. The historic districts of New Bern have three types of development patterns, each of which is a record of a particular era in urban development and evolution.

Dense Fabric

A pattern of *dense fabric* features minimal yards, if any, most often reduced to small planting beds or planters. A dense fabric is created by structures that typically abut the front property line and share a common wall with neighboring structures. The streetscape is a defined facade, with periodic openings accommodating narrow walkways that generally lead to an alley or interior of the block. An example is the downtown commercial district.



Example of dense fabric development pattern.

Institutional uses, particularly churches, are often emphasized within a dense fabric pattern by slightly setting back from the right of way and side property lines and breaking the continuous building line to create a focal point within the development pattern.

Tight Weave

A *tight weave* pattern is the most common, representing a consistent rhythm of facade to landscape. Structures that create a tight weave pattern have a front yard, and generally sit forward on a lot and front the street. Side yards tend to be narrow, ranging in widths that only accommodate pedestrians to widths sufficient for vehicle passage. The rear yard tends to be larger and is buffered from the street by a primary structure, creating privacy and garden areas. An example is the typical residential street in Riverside or Downtown.



Example of tight weave development pattern.

Buildings within the *tight weave* development pattern have variable setbacks from the right of way but occur within a narrow range that parallels the streetscape. Although there are exceptions, the majority of structures front the street ten to twenty-five feet from the right of way. This placement creates a front yard transitional space where the structure bridges between the public streetscape and the private rear yard. The rhythm of structures is spaced closely enough to create a defined edge, but this edge is softened with penetrating side yards.

Waterfront Development

Waterfront development is a pattern that typically features an isolated structure on an oversized parcel. These properties front the Trent and Neuse Rivers and are surrounded by expanses of landscaping or parking. The footprint, scale and proportion of structures tend to be oversized as compared to more historic development. Wharves historically lined the waterfront of New Bern, driving its early economy and creating the financial resources that spawned the *dense fabric* and *tight weave* development patterns. Following transformation by urban

2. Site and Setting

renewal, property values and economies of scale have given birth to the modern *waterfront development* pattern.

Placement of structures within the *waterfront development* pattern is a response to a more modern, larger scale where building functions are influenced by the automobile. Building scale is significantly larger than nearby historic structures, and views of the river largely play into building organization and use. Waterfront development typically fronts the public walkway along the rivers, and placement tends to be toward the center of the land parcel leaving relatively large expanses within front and side setbacks, much of which is used to support parking or storm water management. Consistent placement and complimentary design elements unify the streetscape and visually buffer more than two hundred years of architecture from the rivers.



Example of waterfront development pattern.

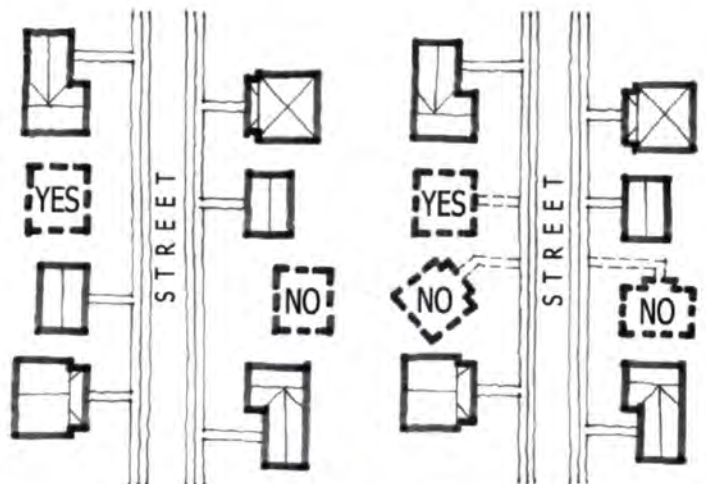
Narrow Stitch

Narrow stitch is a historic development pattern unique to the City of New Bern. It was introduced to the Downtown Historic District in 2007 as a planned unit development influenced by Neo Traditional and New Urbanism planning philosophies. Lots are organized in long, narrow rows that front the street. The spacing between structures is minimal, creating public façades with porches and steps at the sidewalk and private rear façades. A service alley is located at the rear yard, removing utility distribution, garbage collection, curb cuts and driveways from the Primary AVC. Rear yards are minimal, if not completely absent when the rear façade fronts the alley.

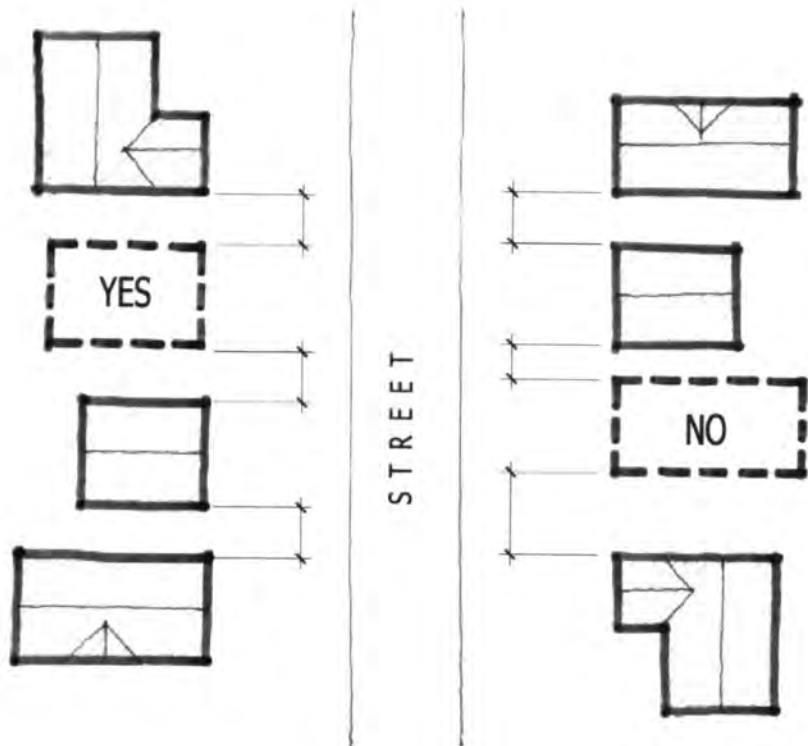
Buildings within the *narrow stitch* development pattern have a very tight rhythm that is often vertically emphasized by the presence of multiple stories. Building massing and roofs typically consist of simple forms, and side yard facades are largely void of fenestration except for the occasional balcony. These lot proportions, coupled with the absence of sizable yard space, often lead to double porch and rooftop decks that create private outdoor spaces and capture surrounding views.

Placement of Structures

The relationship between open space, building mass and scale in the historic districts is essential to preserving the character of the streetscape and the historic districts as a whole. Separations between buildings provide areas for plantings and gardens. The repetition of these elements establishes a streetscape rhythm that enhances the pedestrian experience. Parcels are subdivided and lots are developed over time, creating variations in the ratio of open space to building mass from block to block. Preserve the established open space to building mass relationship created by historic structures on a given block.



PLACEMENT OF STRUCTURES



SPACING OF STRUCTURES

One of the most important character defining features of the historic districts is the presence of view sheds, or view corridors, that highlight particular buildings or capture pockets of open space. Views to and from the Trent and Neuse Rivers, the patterns and rhythms established by buildings within the streetscape, and profiles of landmarks on the skyline communicate the totality of New Bern's historic districts.

Guidelines for Development Pattern

- 2.1.1 Maintain the established development pattern for placement of infill construction. The relationship of a structure to the property boundaries should be similar to those up the street, down the street and in most cases, across the street.
- 2.1.2 There are areas within the historic districts where the development pattern may have been weakened by vacant lots and nonconforming structures. In such areas, preference shall be given to contributing structures when defining the development pattern for infill construction.
- 2.1.3 The footprint, scale and proportion of infill construction shall be in keeping with neighboring properties. In general, it is not appropriate to construct a three-story structure in an area that is dominated by one-story structures.

2. Site and Setting

2.2 Public and Open Spaces

Project Planning Considerations

New Bern is fortunate to incorporate parks and public spaces within its historic districts. These open spaces contribute to New Bern's scenic beauty and quality of life. Small alley parks, large waterfront parks, neighborhood playgrounds and sculpture gardens promote a pedestrian friendly atmosphere. When planning parks and public spaces, it is important to consider their location, views, impact on adjacent properties and potential public uses. For example, space for a pavilion or bandstand can be created in a waterfront park by encircling a large lawn with a waterfront promenade. This creates an ideal location for gatherings and events.

Guidelines for Public and Open Spaces

- 2.2.1 Introduce public art, statuary, artifacts, memorials, and fountains as focal points in spaces that do not obscure historic buildings or their architectural features. Consider the scale and historic context of art features when determining the setting and location.
- 2.2.2 Incorporate streetscape furniture and pavement treatments recommended in the New Bern Urban Design Plan when improving sidewalks and streets within the right of way. Furniture, trash receptacles, mailboxes, newspaper racks and similar elements shall be of a scale that does not detract from historic properties.
- 2.2.3 Locate playgrounds and play equipment in Secondary and Tertiary AVCs. Do not obscure historic buildings or their architectural features.

The Urban Design Plan can be found on the City of New Bern's website.

2.3 Utilities

Project Planning Considerations

Integrating utilities into historic district landscapes is one of the greatest challenges. Multiple installations of disorganized utilities often result in visual clutter. Locate utilities and equipment in a manner that preserves landscape features and historic building fabric. Frequently, utility equipment must be elevated above the floodplain. Locate equipment in Secondary and Tertiary AVCs, and screen items from public view with vegetation, fencing and similar site constructions. Install underground utilities when possible.

Work within the right of way requires a COA. Improvements proposed by private property owners and public utility providers, regardless of ownership or source of funding, are subject to evaluation for compatibility with historic district streetscapes.

Illumination of the streetscape within historic districts provides visibility and security, and is encouraged. Exterior lighting can be effectively used to highlight and reinforce a building's architectural character or to establish a landscape theme. Do not implement lighting that creates distraction by overemphasizing a structure or site. Lamping shall emit a warm spectrum, or white, light.



Place satellite dishes in a Secondary AVC or in areas that are not visible from the public right of way.

Guidelines for Utilities



Utilities shielded from view with hedges.

- 2.3.1 Locate equipment in Secondary and Tertiary AVCs and screen items from public view with vegetation, fencing and similar site constructions. It is recommended that utilities be consolidated in common locations.
- 2.3.2 Paint equipment and exposed utilities to compliment mounting surfaces and reduce their visibility.
- 2.3.3 Install utilities underground when possible to minimize visual clutter. Use mechanical methods to bore beneath landscaping, sidewalks, drives and fences.
- 2.3.4 Evaluate utilities and equipment installed in the public right of way, such as utility poles, street lights, railroad crossing signals, signal boxes and similar items, for their visual impact on the streetscape. Install multiple utilities on common poles.
- 2.3.5 Consider a selection of tree species that will not interfere with overhead utility distribution. Where conflict occurs, replace canopy trees with smaller scale, understory trees and shrubs.
- 2.3.6 Install light fixtures in locations that complement the character of historic structures and sites. It is not appropriate to replace original light fixtures. Lamping shall emit a white light. Illumination shall provide visibility and security without overemphasizing a structure, parking area or site.
- 2.3.7 Incorporate street and pedestrian light fixtures referenced in the New Bern Urban Design Plan when improving sidewalks and streets within the right of way.

2.4 Landscaping

Project Planning Considerations

Landscape elements play an important role in defining the “cultural environment” of New Bern’s historic districts. Mature trees, hedgerows, foundation plantings, gardens, grassy lawns, patios, fences, and walls contribute to the character of streetscapes and structures. Improvements within the right of way, such as curbing, sidewalks, planting strips and trees, also enhance the landscape. These landscape features are typical to a *tight weave development pattern* and enhance the pedestrian experience.



This house in the Riverside Historic district has a traditional landscape of mature street trees, a hedgerow, mature shrubs, and seasonal plantings near the porch.

Private lawn and garden areas also characterize the historic districts. Gardens are generally located in rear yards, or in the side yards of larger lots. These lush landscapes, both formal and informal in presentation, are characterized by a variety of plantings ranging from mature canopy trees to flowering shrubs to perennial bulbs. Preserve and propagate plant species that are indigenous to New Bern.

Many gardens are surrounded by fences, walls or hedgerows that delineate property lines and demarcate boundaries between private lots and public rights of way. Preserve historic fences, walls, and plant rows. Introduce new elements to the landscape that are compatible with the site and with the styles of fencing found throughout the districts.

2. Site and Setting

The *dense fabric development pattern* is landscaped within the public right of way. The New Bern Urban Design Plan recommends streetscape improvements that unify blocks of tightly abutting structures. Enrich the pedestrian experience by selectively placing sidewalk pavement, lighting, street trees, public art and street furniture between curbing and the building frontage.

Guidelines for Landscaping

- 2.4.1 Maintain mature canopy trees. Mature tree removal and its replacement species must be recommended by a certified arborist. Replace removed trees with a similar canopy species at or near the location of the removed tree. Locate canopy trees to define the street edge at maturity.
- 2.4.2 Maintain a planting strip between the curb and sidewalk in the *tight weave development pattern*. The predominant plantings in this area shall be grass and trees. Walkways connecting the curb and sidewalk shall not exceed a width of six feet. Align walkways with building entrances.
- 2.4.3 Use plant materials that are indigenous to the historic districts. It is not appropriate to use contemporary edging materials such as landscaping timbers or plastic borders.
- 2.4.4 Incorporate trees, shrubbery, and other landscape features around the periphery of a lot and within parking areas.
- 2.4.5 Locate accessory structures and similar site improvements to avoid removing healthy, mature trees of desirable species.
- 2.4.6 Eliminate lichen, ivy, and other forms of vegetation from structures to prevent damage and to allow for adequate surface ventilation and drainage.
- 2.4.7 Create focal points that highlight public art, statuary, fountains, and structures such as pergolas and gazebos. Place these elements in areas that do not obscure historic buildings or their architectural features.
- 2.4.8 Use street trees and landscaping elements to reinforce right of way view corridors that extend to the rivers. Locate focal points at street terminations; however, the scale of landscaping elements shall not obstruct water views.



The Mary Kistler Stoney Garden is a reconstruction representative of 19th century New Bern and is part of the Tryon Palace complex.

2.5 Fences and Garden Walls

Project Planning Considerations

Fences and garden walls have traditionally been used to delineate property lines and demarcate boundaries between private lots and the public right of way. A variety of fencing types and materials are found within New Bern's historic districts. Fence styles in wood, brick, masonry, marl, cast iron, wrought iron and natural plant materials have been popular for more than two hundred years. Fences and walls often architecturally relate to a principal structure. Repetition of fences and walls provides definition and continuity to the streetscape.

A variety of materials and patterns combined with brick piers are commonly found in the historic districts. The predominant fencing material is wood, although a number of fences are fabricated from iron or constructed of marl. Use



Articulated brick walls and picket fences are used throughout the historic districts.

low fences in a Primary AVC to enable clear views of the building and its entrance. Use tall fences in a Tertiary AVC to enclose yards for privacy. Planted hedges of boxwood and ligustrum are often used to define property lines and decorate yards.

Guidelines for Fences and Garden Walls

- 2.5.1 Fences and walls based on historic designs are encouraged. Incorporate materials and configurations that relate to the architecture of the principal structure on the site. Use fences and walls to demarcate property lines and screen private areas.
- 2.5.2 In a Primary AVC, erect low fences and walls with a vertical dimension of four feet or less. Space rectangular wood planks about one inch apart. Space square wood and iron pickets about three inches apart. Orient pickets vertically.
- 2.5.3 In Secondary and Tertiary AVCs, erect tall fences and walls with a vertical dimension of six feet or less. Tall fences that abut a structure shall terminate at an architectural feature. Transition low fencing to taller fencing at an architectural feature.
- 2.5.4 It is not appropriate to use utilitarian fences in a Primary AVC. In addition, it is not appropriate to use chain link fencing in the historic districts.
- 2.5.5 Consider hedgerows as alternatives to fences and walls.
- 2.5.6 Screen existing chain link fences with vegetation such as ivy, climbing vines or evergreen shrubbery.

2.6 Accessory Structures

Project Planning Considerations

Outbuildings and accessory buildings have always been a part of New Bern's historic districts and its development history. Privies, barns, carriage houses, kitchens and sheds were once found on lots of all sizes. Today, few of these original accessory buildings survive. By the turn of the twentieth century and into the mid twentieth century, the need for new types of accessory buildings emerged. Today, outbuildings and accessory buildings include garages, storage sheds, greenhouses, and playhouses. Attached garages are not appropriate in the *tight weave* development pattern.



Historic outbuildings and accessory structures like this garage add to the character and diversity of the historic districts.

2. Site and Setting

Illustration of appropriate placement of garages:



ACCESSORY STRUCTURES

Guidelines for Accessory Structures

- 2.6.1 Locate accessory structures in Secondary or Tertiary AVCs, and behind primary structures when possible. Accessory structures are to be secondary to the primary structure in regard to mass, scale, form, and texture.
- 2.6.2 It is appropriate for outbuildings, and similar structures with substantial foundations, to have a similar form and detailing as the primary structure. Reduce these elements in scale to compliment the outbuilding massing, and incorporate less ornate and simpler elements than found on the primary structure.
- 2.6.3 Accessory structures such as sheds, gazebos, pergolas, arbors, trellises, and similar types of site improvements with minimal foundations are to serve as focal points within rear yard landscapes. These forms and detailing have little relationship to historic fabric and can be easily removed without creating permanent damage.

2.7 Parking

Project Planning Considerations

The widespread reliance on the automobile, and the desirable character of the historic districts, results in pressure to accommodate increasingly more vehicles. The historic districts were largely developed prior to the introduction of automobiles, and many properties do not include driveways or off-street parking. Street parking is limited, and most driveways are narrow compared to today's standards. Driveways and parking frequently supplement the parking capacity available. Configure access to off street parking in a manner that avoids important landscape features and maintains the integrity of development patterns.



A low brick wall, street trees and plantings effectively screen this large surface parking lot.

Guidelines for Parking

- 2.7.1 Confine driveways on narrow lots to the Secondary AVC.
- 2.7.2 Use driveways to access off street parking areas located in the Tertiary AVC. Areas for vehicular use shall not exceed more than 50% of the rear yard in the *tight weave development pattern*.
- 2.7.3 It is not appropriate to incorporate off street parking in the Primary AVC within the *dense fabric development pattern*. In addition, it is not appropriate to locate parking lots on corners within the historic districts.
- 2.7.4 Contain loose paving materials within masonry, concrete, steel, or similar types of fixed edging. It is not appropriate to use contemporary drive and parking edging materials such as landscape timbers or plastic borders.
- 2.7.5 Screen parking lots with fences, walls and hedgerows to create edges that separate vehicular space from pedestrian space. Parking screens should have a vertical dimension of four feet or less.

2.8 Signage

Project Planning Considerations

Signs contribute to the unique character and visual quality of the historic districts, and when treated with sensitivity, benefit the community. Appropriately place signage on building facades and within rights of way to enhance the streetscape environment. Inappropriately placed signs obstruct architectural features, create visual clutter, and disrupt the harmony of the streetscape.

Conventional vehicle, directional and informational signs within the right of way often erode the integrity of the streetscape and disrupt the pedestrian experience. Transportation authorities have jurisdiction over their placement, quantity, and standardized format. Consolidate public signs whenever possible on uniform poles to reduce visual clutter.

Architectural signage identifies businesses, franchises and the goods and services offered. Successful signage relies on graphic simplicity that is designed to complement the texture and detail of the surrounding architectural facade. Consider scale, shape, location, materials, font, and illumination when evaluating signage contexts.

Guidelines for Signage

- 2.8.1 Signage shall incorporate proportions and dimensional details of the surrounding architectural facade. Locate wall signs on lintels or within the sign frieze area. Where multiple storefronts are within a common architectural facade, provide unifying elements such as coordinated lighting, height, border, font, and material treatments.
- 2.8.2 Drive fasteners for signs in mortar joints to prevent damage to the masonry units.



Customized business signs add character to the historic districts and should be preserved and maintained.

2. Site and Setting

- 2.8.3 Locate freestanding signs in areas that do not obscure architectural elements or important features. Soften the presence of signposts with landscaping and edging.
- 2.8.4 Use back lighting and front lighting fixture types. Internally illuminated signs are not appropriate for structures built prior to 1920. Electric signs shall not flash, blink or have illuminated revolving content.

2.9 Waterfront Modifications

Project Planning Considerations

The confluence of the Trent and Neuse Rivers has shaped the history of New Bern and provided a means for trade and economic development. Historically, the New Bern waterfront consisted of wharves, docks, lumber mills, and rail yards. Wharves and docks have been largely replaced by a waterfront park, hotels, condominiums, and similar types of modern development. It is desirable to maintain public access to the historic riverfront for citizens and tourists alike. Piers and bulkheads are part of every waterfront community. Carefully plan these to incorporate the waterfront promenade and the special character offered by the rivers.

Simultaneously consult with the Coastal Area Management Agency (CAMA), the City of New Bern and the HPC administrator prior to submitting an application for a COA for waterfront modifications. Coordinated input between regulatory bodies results in the most harmonious balance of regulatory and design requirements.

Guidelines for Waterfront Modifications

- 2.9.1 Construct piers with wood decking or concrete panels. Piers shall have a narrow width that generally extends perpendicular and parallel to the shoreline.
- 2.9.2 It is not appropriate to incorporate pavilions, platforms, gazebos, screened rooms, roofed structures, boat sheds and similar constructions on piers.
- 2.9.3 Finish bulkheads with a wood or concrete cap. Reserve space for future waterfront promenade extensions between the bulkhead and other site constructions as described by the New Bern Urban Design Plan.
- 2.9.4 Provide unobtrusive, soft lighting that follows the flow of walkways. Use functional, utilitarian light fixtures, and avoid highly ornate ones.



The piers and bulkheads at the waterfront park are consistent with the design guidelines. They are built of wood and concrete, and do not diminish scenic views.

3. Design Attributes

Aesthetics and design influence the character of the historic districts. Building use and form evolves as infill and adaptive reuse projects take place. Modifications, additions and infill construction shall compliment the scale, pattern, materials, proportion and mass of surrounding historic architectural resources. Well designed additions and infill structures enhance the quality of the historic districts by contributing context and style reflective of growth while also creating a record of the technological evolution of modern construction materials and methods.

3.1 Design Principles

The following design principles typically apply to additions and infill construction, but may also apply to site and setting, design components and modifications.

Scale, Mass and Proportion

The *scale* of a building is its relative size. *Human scale* refers to how we perceive the size of a structure and its components in relationship to the human body. The relationship, or scale, of an architectural detail becomes quite evident when one is standing very close. *Overall scale* compares building form to that of nearby buildings, structures and open spaces. Construction that ignores scale disrupts the harmony of the streetscape.

Mass describes the shape, size and visual weight of a structure. Scale is typically an analysis of attributes in predominantly two dimensions with a set proportion. Mass describes a volume, and evaluates a structure in three dimensions.

Proportion refers to the interrelationship of vertical to horizontal. This can be applied to the overall building mass, an opening for a window or door, or the characteristics of a column. Proportion has been used in architecture for thousands of years to create a sense of natural order. Buildings and spaces composed of harmonious proportions inherently relate to the human form, and create a pleasing environment.

Architectural details organize the perceived mass and scale of buildings. Façade features such as rooflines, pilasters, friezes, columns, piers and patterns subdivide building planes into smaller, articulated panels that create visual texture.

Buildings in any given development pattern are generally similar in scale and mass, and façade proportions have a strong vertical orientation. Infill construction should respect these characteristics. Façade articulation, windows and doors should also reinforce the vertical orientation of the composition.

Rooftop expression is a combination of architectural elements that occurs above the cornice line. New Bern's *dense fabric development* pattern is dominated by two story buildings with a range of scales and low sloped roofs. This mix of multi-storied buildings incorporates a variety of decorative and styled cornices,



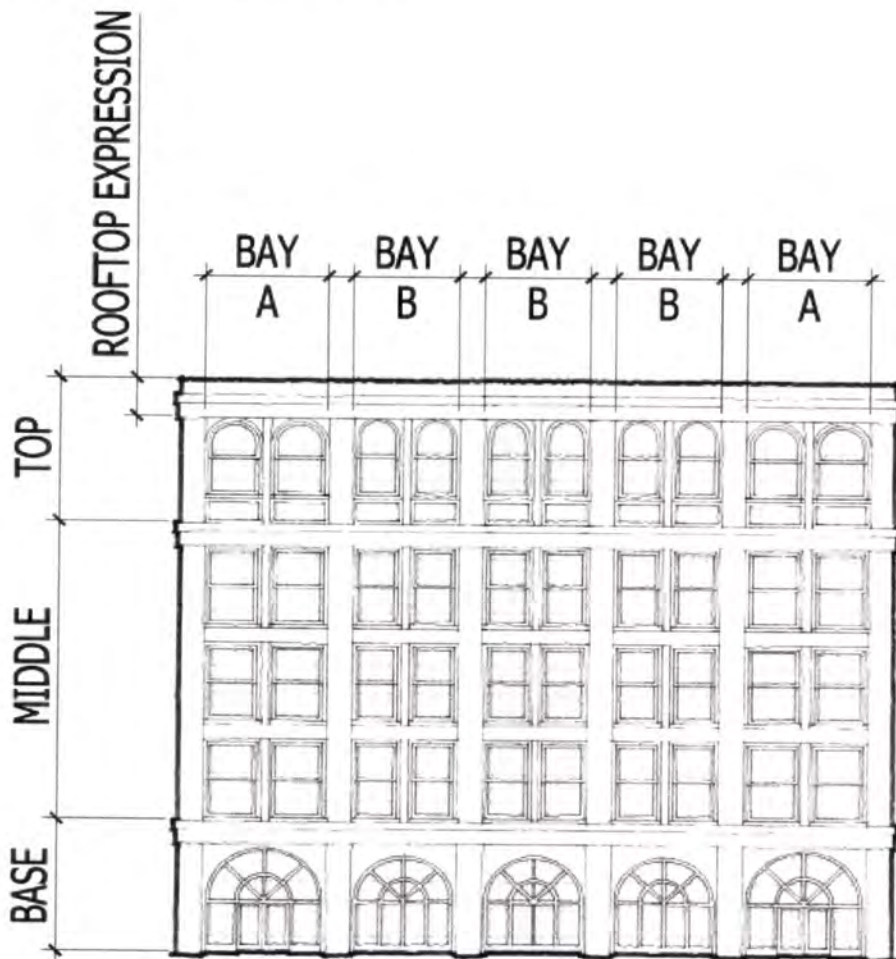
The wide cornice, overhang, and brackets add character to this building.



This block of buildings shares the same scale.

3. Design Attributes

parapets, towers, cupolas and other rooftop appurtenances that uniquely identifies each. Facades can typically be broken into three basic components: a base, middle and top. These elements relate to architecture as the feet, torso and head relate to the human body. The feet provide stability, the torso provides height and bulk, and the head provides identity.



FORM & RHYTHM

Within the *tight weave development pattern*, buildings are traditionally two stories in height with sloped roofs. Facades are typically organized in a series of bays, deriving their character from articulated front porches, entry doors and window configurations.

Form and Rhythm

Form and *rhythm* refer to the regular or harmonious recurrence of lines, shapes, forms and details in a building. All buildings contain design components that are repetitive. Roof form and pitch, the ratio of solids to voids in a wall plane, and the placement of windows, doors, cornices and parapets establish a pattern that



These buildings illustrate variety in scale



These buildings illustrate a variety of parapets, dimensions and forms.



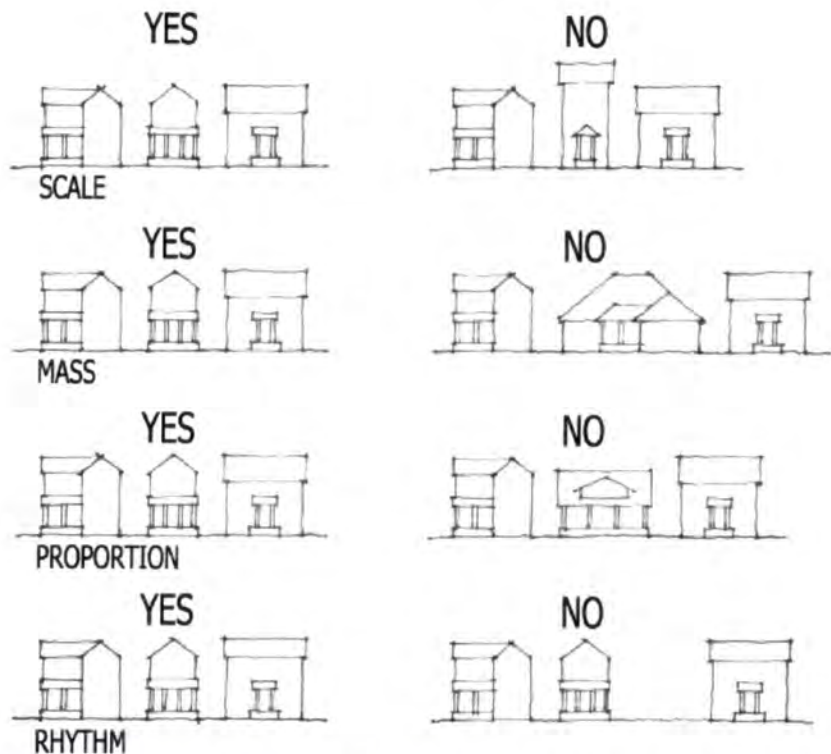
Baxter's unique curved coping creates visual interest when compared to the parapets and cornice lines of surrounding buildings.

characterizes a building, streetscape or district. Considered together, these elements create a visual rhythm and unify the facade of the structure.

The *narrow stitch* development pattern creates a strong rhythm of repeated, narrow front facades that creates a hard edge at the streetscape. Steps from each structure extend to the sidewalk in series, beginning at an upper landing above design flood elevation and descending to meet the shape of the terrain below. Full width porches that compensate for the lack of yard space accentuate facades and animate otherwise planar building forms.



These upper story windows represent an excellent example of rhythm across multiple facades



SCALE, MASS, PROPORTION & RHYTHM

Texture

Texture refers to the use and interaction of a variety of materials and details in a building. Roofs, porches, bays, chimneys, decorative exterior trim, siding and windows articulate building facades and create visual interest. Articulate the top, middle and base of a building to create texture. Additions and infill construction should provide a degree of texture similar to surrounding buildings.

Details

Details are the elements that describe architectural building styles, features and ornament. New Bern's three hundred year evolution has produced a rich and varied palette of details that creates a visually delightful setting for pedestrians, students and admirers of architecture. Additions and infill construction should allow architectural styles to evolve while incorporating established details that



A pediment parapet highlights the classical facade of this building.

3. Design Attributes

characterize New Bern's historic districts. Contemporary and compatible design is encouraged. However, it is recommended that additions and infill construction reflect and reinterpret traditional building detailing.



FENESTRATION

Guidelines for Design Principles

- 3.1.1 Consider the scale, mass and proportion inherent to the surrounding historic development pattern, and design modifications that incorporate these characteristics. Use basic shapes and forms that are common to the historic districts.
- 3.1.2 Windows, doors and openings shall be compatible in proportion, shape, location, size and quantity with those on surrounding historic structures. Avoid large expanses of blank walls. Establish bays, visually subdivide facades and delineate building elevations to create form and rhythm.
- 3.1.3 Discretely use rooftop appurtenances such as spires, cupolas and towers to articulate rooflines. Compliment the scale, form and proportion of the structure, and use rooftop appurtenances to identify a building entry or similar massing focal point.
- 3.1.4 Use details to articulate facades, and the openings within facades. Appropriately detail the base, body and edges of facades to create texture and visual interest.
- 3.1.5 Avoid creating a false sense of historical development. It is not appropriate to apply historic architectural styles to infill construction. Creative interpretation of traditional detailing and ornamentation is encouraged.

3.2 Modifications

Project Planning Considerations

Modifications encompass changes, replacements and potential improvements to historic design components and architectural features. The intent of New Bern Historic District Guidelines is to allow modifications to occur within a framework that preserves the character and fabric of the historic districts.

Guidelines for Modifications

- 3.2.1 Select materials that are consistent with the structure. Limit the palette to those materials that were available at the time a building was originally constructed.
- 3.2.2 Modifications to a structure should not conceal, damage or remove significant design components or architectural features.
- 3.2.3 Replace historic design components only if they are damaged beyond repair. Replacement for convenience is not appropriate. Use materials and details that match the original.
- 3.2.4 Rebuild missing or insensitively altered design components based on documented evidence of the original configuration.
- 3.2.5 It is not appropriate to introduce features and details that will create a false sense of historic development.

3.3 Additions

Project Planning Considerations

Additions to historic buildings should never compromise the integrity of the structure or its site. Additions that are not incongruous respect the mass, scale and proportion of the primary structure, and do not obscure or destroy distinguishing, character defining architectural features, forms and materials.

Consider site features and view corridors when designing additions. Minimize disturbance to mature vegetation. Limit the footprint of additions to maintain private open spaces, particularly in Tertiary AVCs. Contemporary interpretation of historic style and details is encouraged to differentiate additions from the original building. However, replication of historic style and details is often appropriate for work confined to a limited area.

Guidelines for Additions

- 3.3.1 Locate additions in a Secondary or Tertiary AVC to minimize the impact on primary, character defining elevations. Limit the footprint of additions to maintain private open spaces.
- 3.3.2 Use roof forms and pitches that are similar to those found on the primary structure. Delineate the addition from the plane of the primary structure by creating slight offsets and corners.

3. Design Attributes

- 3.3.3 Incorporate materials and details derived from the primary structure. Extend the architectural hierarchy of the primary structure to the addition. Architectural embellishments and detailing are often simplified on less visible Secondary and Tertiary AVC elevations.

3.4 Infill Construction

Project Planning Considerations

Infill construction is the process of constructing a building on an empty parcel. Infill construction eliminates vacant lots and gaps in the urban fabric, and contributes to the architectural evolution of the streetscape.

An infill structure should reflect its time of design. The intent of New Bern Historic District Guidelines is not to impose particular architectural styles, but to guide change that protects and contributes to the character of the historic districts. Evaluate the context and sensitivity of the immediate area, and shape infill construction to positively impact the overall district.

Contemporary materials may be used on infill construction. They are to be appropriately proportioned, used in traditional ways and installed in a traditional manner. Contemporary materials not meeting these requirements should not be extensively used on infill construction.

Guidelines for Infill Construction

- 3.4.1 Maintain the relationship between building mass and open space that exists on the block or streetscape.
- 3.4.2 The predominant material of an infill building shall visually emulate the palette of materials traditionally found in the historic districts.
- 3.4.3 Use of modern materials is acceptable as a means of continuing the evolution of architecture through time. However, the use of aluminum and vinyl siding, faux brick and stone, stamped concrete and similar imitation materials is not appropriate.
- 3.4.4 Contemporary materials shall be appropriately proportioned, used in traditional ways and installed in a traditional manner.



Contemporary and traditional materials used on this new house maintain the character of the historic districts.



This building is located in the transitional edge between dense fabric and tight weave development patterns. The use of a modern blonde brick and patterned masonry is appropriate for this infill construction.

4. Design Components

4.1 Foundations

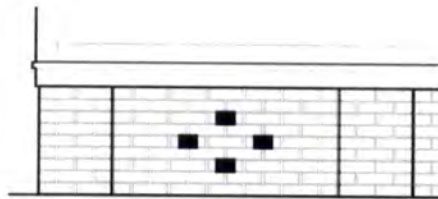
Project Planning Considerations

A foundation not only maintains the structural integrity of a building, but the materials, dimensions, features and details also contribute to its character. Foundations for some of New Bern's earliest buildings were constructed of marl or "shell rock," often in combination with brick. Framed buildings in New Bern were typically constructed on wood sills elevated by brick piers. Areas between piers were either left open or enclosed with wooden lattice. Brick panels were also commonly added between piers. These masonry infilled sections were generally recessed behind the face of the brick pier, visually delineating structural members from nonstructural members.

Decorative metal vents or pierced brick lattice were frequently built into foundation walls to provide crawl space ventilation. Masonry and stone foundation walls generally were not painted, although some received a partering of stucco that was painted.

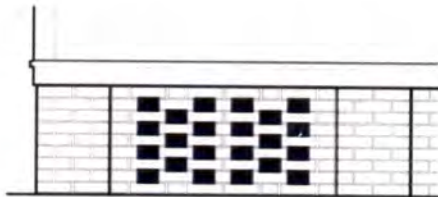


An example of a marl and brick foundation.

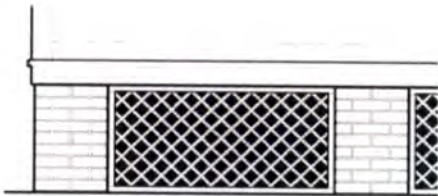


SOLID MASONRY

(DECORATIVE VENT HOLES, OR MANUFACTURED VENT ACCEPTABLE)



BRICK LATTICE



WOOD LATTICE

INFILL BETWEEN FNDN. PIERS



An example of brick lattice

4. Design Components

Brick foundations are often delineated with a rowlock water table course or contrasting brick bond. Various historic foundation treatments were constructed between piers, including solid masonry with vent holes, brick lattice or pierced brick, and brick pier with wood lattice infill.

Guidelines for Foundations

- 4.1.1 Adhere to Guidelines for retention of historic fabric when altering foundation components.
- 4.1.2 When infilling between brick piers, recess brick curtain walls 1 to 2 inches to visually delineate piers.
- 4.1.3 Use traditional materials when constructing foundations. Concrete block should receive a veneer of stucco, brick or other appropriate masonry material.
- 4.1.4 Locate foundation features such as vents and access doors in areas that will not detract from the architectural character of the building. Coordinate with other architectural features when possible, such as aligning vents and access doors with windows above or centering them between piers.

4.2 Walls, Trim and Ornamentation

Project Planning Considerations

Buildings in New Bern's historic districts exhibit a variety of exterior sheathing and masonry materials, trims and ornamentation that chronicle the evolution of architectural styles in the City. Most buildings in the historic districts are of wood frame construction. Masonry construction is more common in the dense fabric development pattern where noncombustible material is used to prevent the spread of fire to adjacent buildings.

Historic structures display a variety of decorative elements that contribute to the visual richness of the architecture. Columns, cornices, doors, windows, sawn work, shingles, balustrades, clapboards, floors and bracketing are elements that collectively define the architectural style.

Trims are the ornamental details that terminate the edges of roof overhangs, the edges of openings, and walls sheathed with wood. Typical trims are window and door casings, and skirt, frieze and corner boards. Trims can incorporate embellishments that convey an architectural style such as cornices with modillion blocks, dentil work, turned porch posts with sawn work brackets and classical columns with turned baluster railing.

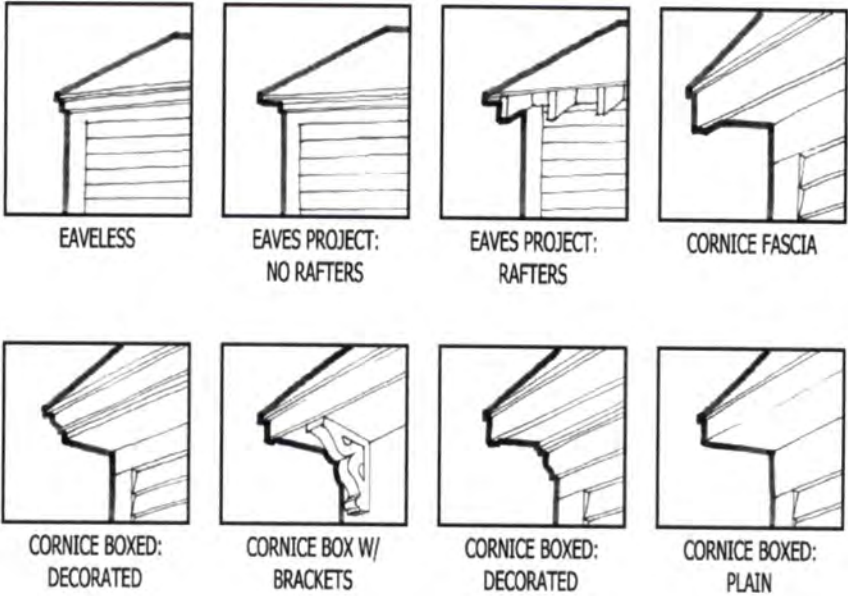
In similar ways, masonry is often enhanced by carefully articulating and detailing brick walls. Inset panels with contrasting bond, corbelling, cornices, parapets, sill and head articulation, and banding are a few of the many ways that masonry materials are placed in ornamental ways. It is not uncommon to combine wood trim cornices, pediments, columns and balustrades with masonry walls to replicate architectural features more commonly associated with wood siding constructions.



This house displays clapboard, decorative shingles and an abundance of decorative wooden elements that contribute to the character of its fenestration.



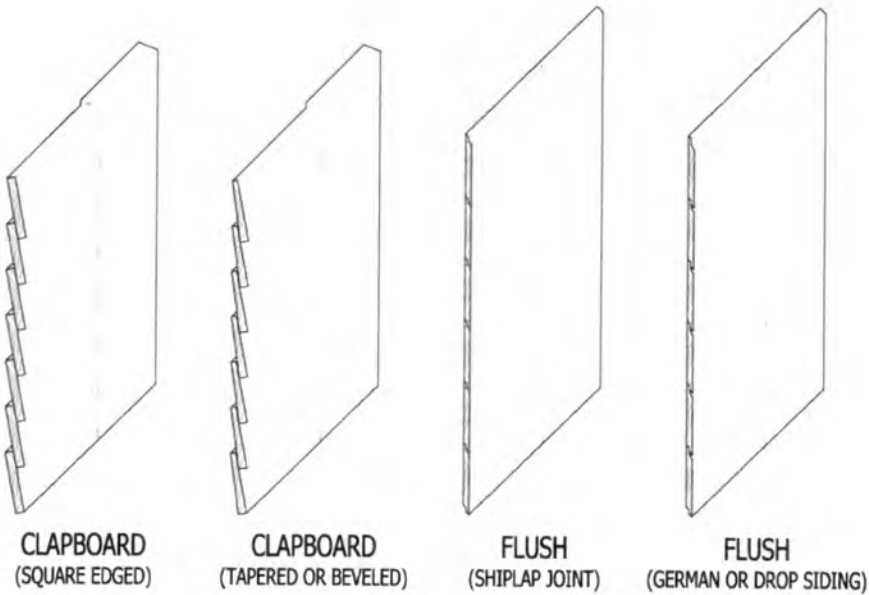
A bracketed cornice, paneled friezes, ornate window surrounds, and embellished porch are some of the wood elements evident on this house.



CORNICE TYPES

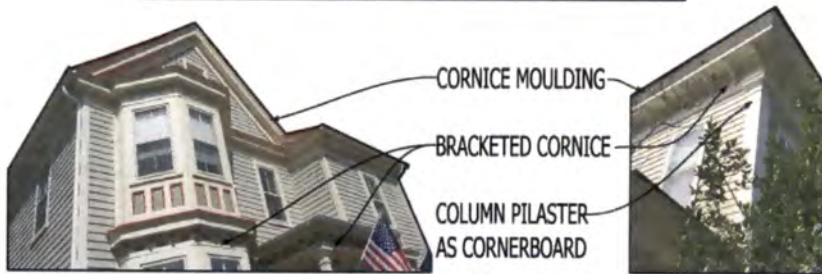
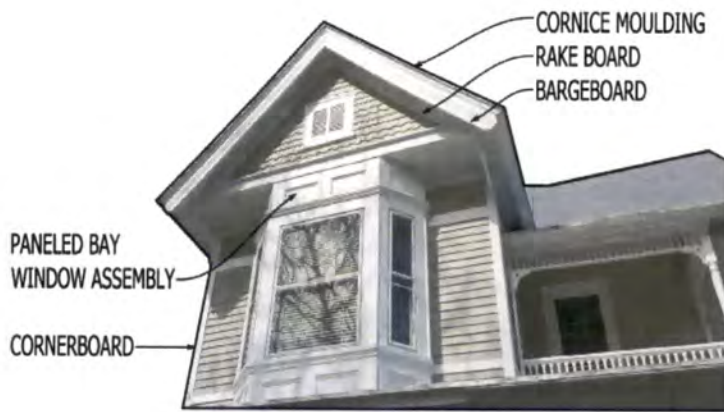


This house in the Riverside Historic District has a brick masonry veneer at the first floor and wood shingle siding at the second floor.



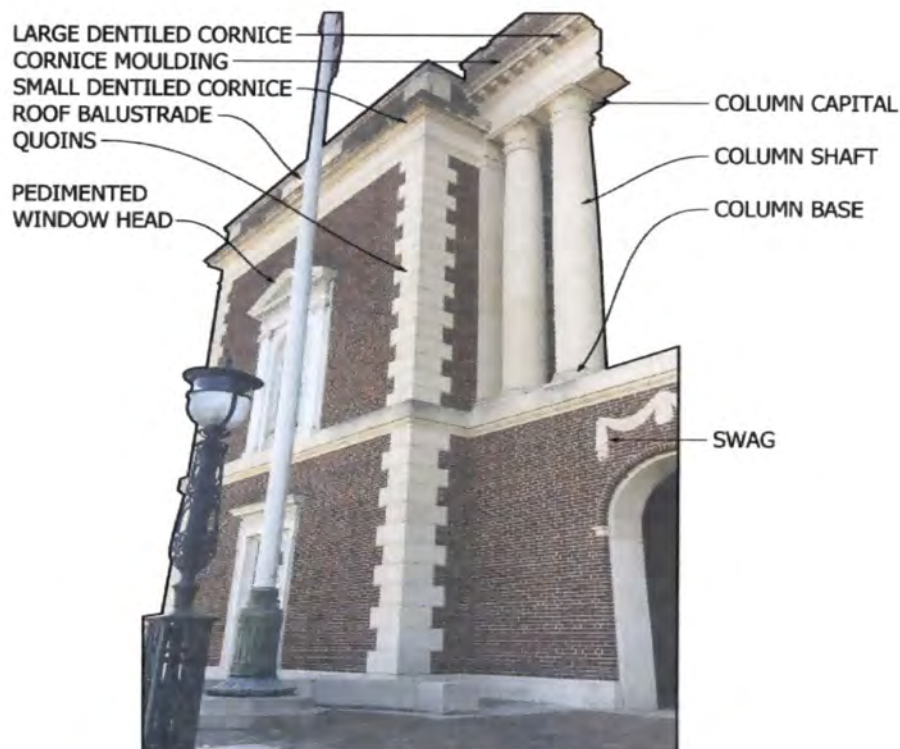
TYPES OF WOOD SIDING

4. Design Components



TRIM & ORNAMENTATION

RESIDENTIAL



TRIM & ORNAMENTATION

NEO-CLASSICAL / COMMERCIAL

The majority of New Bern's architectural resources were "modernized" in the late 19th century by updating walls, trim and ornamentation to conform to the prevailing architectural taste of the time.

Guidelines for Walls, Trim and Ornamentation

- 4.2.1 Adhere to Guidelines for retention of historic fabric when altering wall components.
- 4.2.2 It is not appropriate to introduce trim or ornamentation to a contributing structure without documentary evidence that such elements historically existed.
- 4.2.3 It is not appropriate to cover wood siding, trim and ornamentation with a contemporary material on a contributing structure.
- 4.2.4 Incorporate wood trims and articulate masonry appropriately for the application.
- 4.2.5 Primary structures are generally more ornate and detailed. Accessory structures are generally subordinate to the primary structure and have minimal ornamentation, if any, and simplified details.

4.3 Windows, Doors and Openings

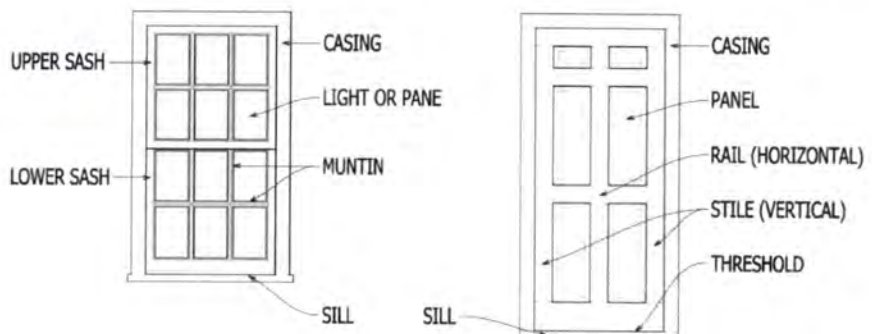
Project Planning Considerations

Windows and doors influence architectural character through their location, pattern or fenestration, shape, size, proportion and style. They are also functional elements that provide natural light, ventilation and a visual connection between the building interior and the outside world.

Exterior doors in the historic districts exhibit a remarkable amount of diversity. Solid paneled doors and doors with fixed glass upper panels are typical. Detail variations reinforce each building's architectural character through applied ornamentation. For example, there are various raised and flat panel configurations, decorative false wood graining and varnish treatments, ornamental leaded, beveled, etched and opaque glass, any combination of which uniquely identifies a structure.



An example of a historic wood door that has been appropriately repaired instead of replaced.

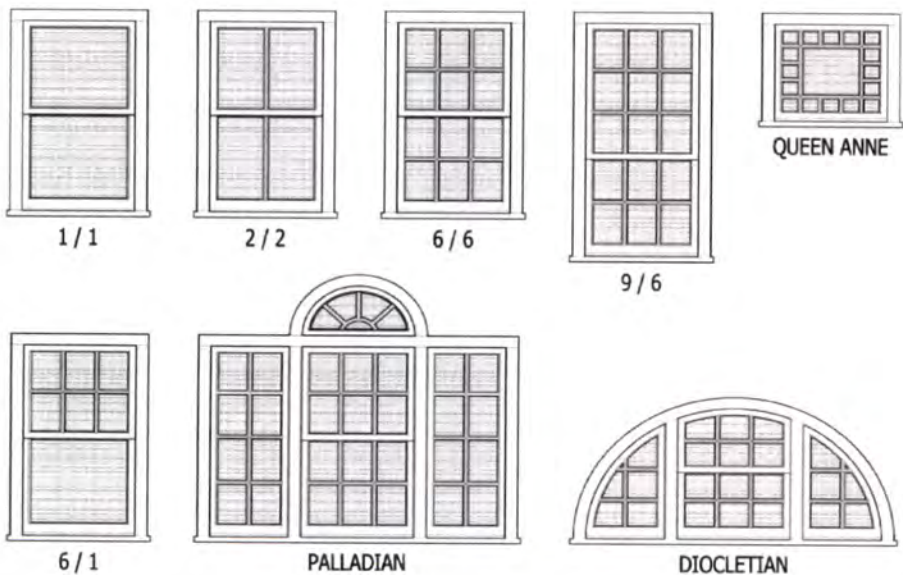


WINDOW TERMS

DOOR TERMS

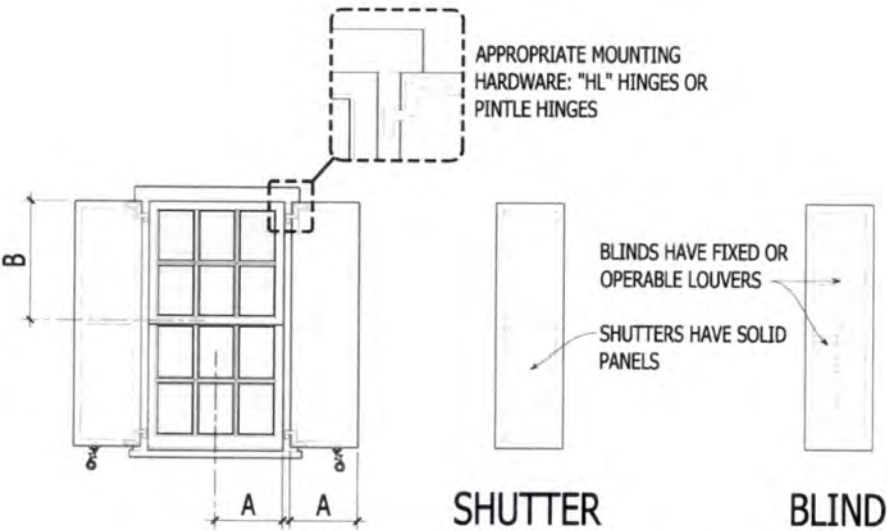
4. Design Components

Window styles reflect changes in technology through time and are important indicators of a building’s architectural style and age. Most windows in the historic districts are wood with double hung sash. In general, earlier windows are smaller and have more numerous panes of glass in the sash. They were made by hand and often constructed with pegs. By the late 19th century, windows were mass-produced and technological advances in glass production allowed larger glass panes to be manufactured. Ornamental leaded and stained-glass windows also became popular by the century’s end.



An example of a historic wood window with appropriate functional blinds.

WINDOW TYPES



APPROPRIATE PROPORTIONS AND MOUNTING OF SHUTTERS / BLINDS

Retain original doors and windows to protect the integrity of historic resources. It is not appropriate to use false window muntins or snap in grills. Glazing should have true divided light muntins, or three-dimensional grilles affixed to both the interior and exterior of the glass. Provide shadow bars between insulated glass panes. It is not appropriate to add window and door openings to contributing structures in the Primary AVC. Openings in Secondary and Tertiary AVCs should not diminish the original design or damage the historic features. Window and door openings shall have a vertical orientation or be square. Shutters and blinds should relate proportionately to window openings. It is not appropriate to install shutters or blinds directly to the wall substrate. Whether operable or fixed, shutters or blinds shall have operable hinge and holdback hardware.

Guidelines for Windows, Doors and Openings

- | | |
|-------|---|
| 4.3.1 | Adhere to Guidelines for retention of historic fabric when altering window, door and opening components. |
| 4.3.2 | Add window and door openings in Secondary or Tertiary AVCs in locations that do not diminish the original design. In general, openings shall have a vertical orientation or be square. |
| 4.3.3 | Glazing should have true divided light muntins, or three-dimensional grilles affixed to both the interior and exterior of the glass. Provide shadow bars between insulated glass panes. |
| 4.3.4 | Relate shutters and blinds proportionately to window openings. Whether operable or fixed, shutters or blinds shall have operable hardware including hinge and holdback hardware. |
| 4.3.5 | Tinted, opaque, and reflective glazing is not appropriate in historic windows. |
| 4.3.6 | Install storm windows and storm doors that do not obscure architectural detailing and trim. Proportion storm window sashes to align with window sashes. Proportion storm door stiles and rails to align with door stiles and rails. |
| 4.3.7 | Install fabric awnings that do not conceal architectural features or damage historic building fabric. It is not appropriate to use metal awnings. |

4.4 Entrances

Project Planning Considerations

Exterior entrances and porches are defining features of historic character. Prominent entrances were typically embellished with rich architectural ornamentation and were often “updated” to reflect current architectural tastes. Doors, windows, trims, columns, turned posts, railings and balusters, cornices and steps were frequently detailed in a coordinated way to convey the “style” of a structure. Variations in form and detail create diversity among an otherwise identical grouping of entrances and porches.

Porches are found on most wood framed structures in New Bern’s historic districts, and consist of a roof cover, columns, and floor on a masonry foundation.



The brick piers and tapered posts are characteristic of the Craftsman Bungalow style of architecture.

4. Design Components

Usually located on the street façade, porches often wrap around two or more corners. Back porches, side porches and sleeping porches are typically found in the historic districts. More rare are balconies, which are constructed at upper floors, and do not have columns or a means of support extended to foundations. Most porches are one story in height, but two story variations can be found on structures constructed between the 1790s and the 1840s. Many of the city's early to mid-19th century wood framed buildings have small entrance porches or porticos embellished with classically inspired detailing. During the Victorian period, entrance porticos were often replaced with larger porches. Significant porch and entry changes chronicle the evolution of the structure over time.

Traditional porch framing carries wood floorboards that are butted together or milled with a tongue and groove joint. Floorboard ends are laid perpendicular to the house and projected approximately 1 to 2 inches beyond the skirt board. The projected ends are sometimes rounded or bull nosed to minimize water penetration into the open wood grain. Framing spans are supported by brick piers or a continuous brick foundation, and sloped for drainage.

A variety of column types supported roof structures. Square chamfered posts were used throughout the 18th and 19th centuries, spanning between the Georgian and Italianate styles. Classical columns and colonettes, most commonly of Doric and Tuscan design, were incorporated into entrance porticos and porches of the Federal, Greek Revival and Colonial Revival periods. Square posts, often with heavy caps and applied or inset panels and trims, were also favored during the Greek Revival and Colonial Revival periods. Turned posts gained widespread use during the Queen Anne period of the late 19th and early 20th centuries.

Ceilings of porches exhibited a variety of finishes. Many of New Bern's earliest examples had exposed framing without ceilings. Main structural supports were often beaded on the lower edges. Porch ceilings of the early to mid-19th century often were finished with plaster, particularly beneath the second floor of double-tiered porches where exposure to rain was limited. Otherwise, individual boards with beaded edges were typically butted together or evenly spaced to create a decorative effect. Later in the century, tongue and groove beaded board became popular and remained so throughout the early 20th century.

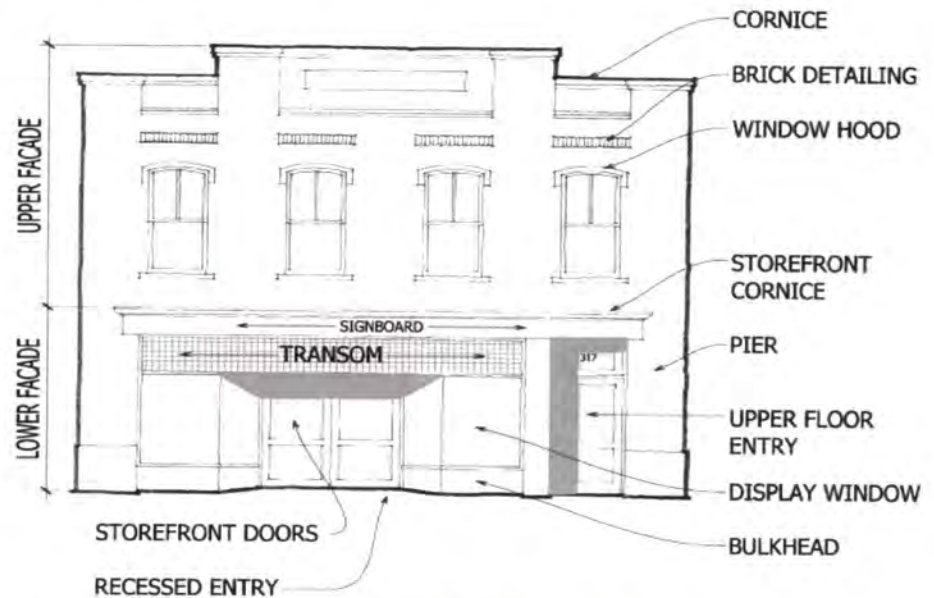
Use documentary evidence of original configurations to reconstruct entrances and porches that have been insensitively altered or removed. Add architectural ornamentation when there is historical evidence of such features. Where documentary evidence is not available, furnish appropriate design elements that are consistent with the character of the building or its style.

It is not appropriate to enclose or screen porches, entrances or balconies in Primary AVCs. Enclose and screen porches in Secondary and Tertiary AVCs in a manner that preserves historic features. It is inappropriate to use stock entrance doors, porch railings and other ornaments that do not proportionally relate to the building. Modern porch balusters convey a different visual appearance because they are generally taller and thinner. Center balusters between the rails, and space them about 3 inches apart to increase the visual weight. It is not appropriate to replace wooden stairs and flooring with concrete or brick. In addition, it is not appropriate to replace wooden porch supports and railing with



The door, transom, molded surround, corner blocks, pilasters, columns, entablature, flat roof, and stair combine to compose this fine entrance.

iron supports and railing.



ELEMENTS OF A STOREFRONT FACADE

Guidelines for Entrances

- 4.4.1 Adhere to Guidelines for retention of historic fabric when altering entrance components.
- 4.4.2 Reconstruct entrances and porches based on documentary evidence of the original configuration. Add architectural ornamentation when there is historical evidence of such features.
- 4.4.3 Recess entrances within the *dense fabric development pattern* where the facade aligns with the front property line. Incorporate traditional facade elements such as storefront cornices, transoms, display windows and bulkheads.
- 4.4.4 Provide porches, entrance doors, railings, and other ornaments that proportionally relate to the building. Appropriate balustrades often convey a heavier visual appearance. Center balusters between the top and bottom rails and space them about three inches apart.
- 4.4.5 Enclose and screen porches in Secondary and Tertiary AVCs in a manner that preserves historic features. Walls and screens should not obscure columns and balustrades.

4.5 Roofs

Project Planning Considerations

New Bern's historic districts reflect a variety of roof forms and features that have evolved over the past three hundred years. Roof form plays a dominant role in defining building character. Massing, pattern, scale, texture, and material

4. Design Components

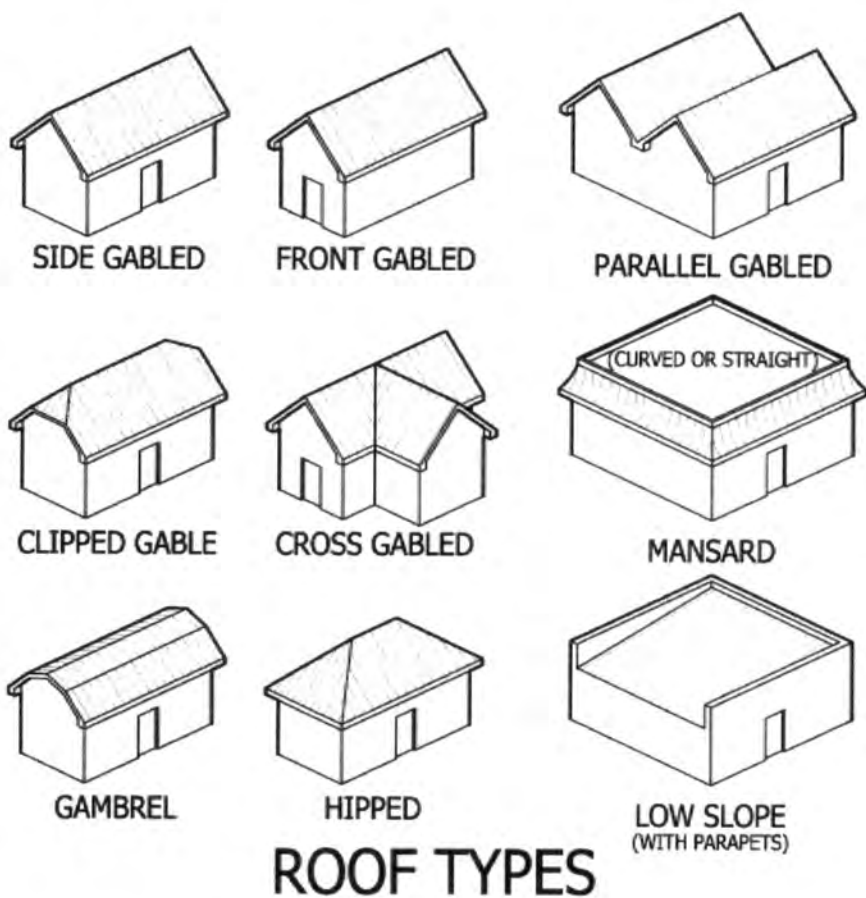
selections further enhance character. Changes in pitch, overhang, and roof line chronicle additions to historic buildings over time.

Wood shingles were the predominant roofing material in New Bern during the 18th and 19th centuries. In 1922, following the Great Fire in New Bern, standing seam metal became the principal roofing material. This post fire character survives largely intact today.

The gable roof is most common in New Bern's historic districts. Side and front gable examples are abundant, along with more complex cross and multi gable roof varieties. Hipped roofs also appear with frequency in the historic districts, and many are articulated by dormers and lower cross gables. Gambrel roofs, flat roofs, shed roofs, and to a lesser extent, mansard roofs further diversify the types found in New Bern's historic districts.



Standing seam metal is a common roof material in the historic districts resulting from reduced insurance rates following the Great Fire of 1922.



FORMATION OF STANDING SEAM IN TRADITIONAL METAL ROOFING (DOUBLE LOCK SEAM)

Guidelines for Roofs

- 4.5.1 Adhere to Guidelines for retention of historic fabric when altering roof components.
- 4.5.2 Alterations to roof forms such as changes in roof pitch, the introduction of dormers, skylights or rooftop ornamentation shall not be undertaken in a Primary AVC.
- 4.5.3 Retain rooftop architectural features such as chimneys, dormers, towers, cupolas, cresting, finials, parapet walls and decorative roof patterns and colors.
- 4.5.4 Standing seam metal roofs shall have a pan width no greater than 24 inches. Pans shall be completely flat without corrugation. Provide double locked seams with flush ridge and hip flashings on contributing structures.
- 4.5.5 It is not appropriate to replace concealed, built in gutter systems with fascia-mounted gutters.
- 4.5.6 Locate rooftop appurtenances such as ventilators, antennae, satellite dishes, mechanical equipment and similar items in a manner that is not visible from the public right of way.
- 4.5.7 In the *narrow stitch* development pattern, provide pitched roofs free of observation platforms above the highest living floor of structures.

4.6 Decks and Patios

Project Planning Considerations

Functioning as an outdoor living area in a similar fashion as the traditional porch, decks have become popular gathering areas for a variety of outdoor activities. As with other changes, careful attention must be given to placement in order to avoid compromising historic building integrity and character. Decks, patios, plazas, and pavers are generally constructed at grade, and should be structurally separated from the building to allow removal without damaging historic resources.

Locate decks in Secondary and Tertiary AVCs, and screen the underside with shrubbery, fencing, lattice, or masonry. Deck railings, skirt boards, posts, piers, and screen infill should architecturally relate to the house in a manner similar to a porch. Whenever possible, decks should be close to the ground with minimal presence. Lowering the profile eliminates requirements for handrails and extensive screening.

Guidelines for Decks and Patios

- 4.6.1 Adhere to Guidelines for retention of historic fabric when altering deck components.
- 4.6.2 Locate decks in Secondary and Tertiary AVCs, and screen the underside with shrubbery, fencing, lattice, or masonry.
- 4.6.3 Structurally separate decks to allow removal without damaging the historic structure.
- 4.6.4 Construct low profile decks and patios that eliminate requirements for handrails and excessive screening.



The deck on this house is located in a Secondary AVC screened by shrubbery, and it has a foundation similar to the main structure.

4. Design Components

4.7 Accessibility and Life Safety

Project Planning Considerations

Meeting contemporary accessibility and life safety standards is one of the greatest design challenges facing historic properties. Balance the preservation of significant features with providing appropriate levels of life safety and accessibility accommodation.

Adaptive reuse of a historic property often requires life safety and accessibility modifications. Building code officials recognize that it is difficult to translate conventional requirements to historic buildings, and apply alternative codes specifically intended for non-conforming buildings. These provisions make historic building adaptive reuse more practical and preserve architectural features.

Design accessibility and life safety solutions that have the least impact on historic resources and character. Locate ramps, lifts, fire stairs, fire doors and similar accommodations in visually unobtrusive areas. Construct modifications to allow removal without causing permanent damage to the historic resource.

Guidelines for Accessibility and Life Safety

- | | |
|-------|--|
| 4.7.1 | Adhere to Guidelines for retention of historic fabric when altering accessibility and life safety components. |
| 4.7.2 | Locate ramps, lifts, fire stairs and fire doors in visually unobtrusive areas. Avoid accommodations within a Primary AVC when possible. |
| 4.7.3 | Make accommodations compatible with the character of the building by replicating balustrade and door opening detailing. Use landscaping to soften the presence of accommodations in a Primary AVC. |



The metal stair railing was added to this porch stair as a safety feature. The use of a simple metal design does not detract from the historic porch and identifies it as a later addition



This wheelchair ramp is a good example of subtly incorporating accessibility at the front of a building when necessary.

5. Materials

5.1 Masonry

Project Planning Considerations

Because of its extreme durability and beauty, some of New Bern's most important buildings are constructed of masonry.

There is a difference between modern bricks and historic bricks. Historic bricks are softer, and more likely to chip and crack when laid with modern mortar. Use softer, lime-based mortar with historic brick.

Masonry materials found in the historic districts include brick, stucco, stone, concrete masonry units, architectural concrete masonry units, slate and terracotta tile.

Guidelines for Masonry

- | | |
|-------|---|
| 5.1.1 | Adhere to Guidelines for retention of historic fabric when altering masonry materials. |
| 5.1.2 | Match the masonry bond, or pattern, of masonry materials found in adjoining work. In general, new material should be the same size, color, and texture of that existing. |
| 5.1.3 | The size, color, texture and bond, or pattern, of masonry and mortar creates the intended finished appearance. It is not appropriate to paint masonry that has not been previously painted. |
| 5.1.4 | Select mortar with appropriate strength properties for masonry units involved. A commonly used mix for softer, historic masonry is one-part portland cement, two parts hydrated lime and nine parts sand. |
| 5.1.5 | Provide a veneer of brick, stucco, or other appropriate material over concrete masonry units. Architectural concrete masonry units such as rusticated, split face or similar types may be substituted for stone masonry construction. |
| 5.1.6 | It is not appropriate to use water repellants or sealers on masonry because these treatments often trap moisture and accelerate spalling. |

5.2 Wood

Project Planning Considerations

Craftsmen have preferred wood because it is easily shaped by carving, sawing, splitting, planing, and turning. Handcrafted architectural features are present on many of the City's earliest buildings. However, technological changes in the mid to late 19th century allowed most wooden building components to be mass produced.

5. Materials

Pressure treated wood has a tendency to warp and split during the drying process, particularly if not kiln dried. Slow kiln dried, pressure treated wood is less likely to warp and split, and should be used when possible. Slow kiln dried wood products are specially ordered.

Wood is often the medium selected to communicate architectural styles. Eaves, rakes, porches, entrances, siding, trim and ornamentation details are found in the historic districts.

Guidelines for Wood

- | | |
|-------|--|
| 5.2.1 | Adhere to Preservation Guidelines for retention of historic fabric when altering wood materials. |
| 5.2.2 | Construct wood assemblies similar to that found in adjoining work. In general, new material should be the same dimension and shape of that existing. |

5.3 Metals

Project Planning Considerations

New Bern's historic districts contain a variety of elements that are fabricated from architectural metals. Fences, gates, roofs, rooftop appurtenances such as cresting and finials, gutters, downspouts, hardware, railings and cornices are but a few of the elements that are casted, wrought, pressed or rolled using iron, copper, tin, aluminum, steel or bronze. These traditional building materials add a visual and textural richness to the historic districts.

Guidelines for Metals

- | | |
|-------|---|
| 5.3.1 | Adhere to Guidelines for retention of historic fabric when altering metal materials. |
| 5.3.2 | Use metal fabrications found in adjoining work. In general, new material should be the same dimension, shape, and alloy of that existing. |
| 5.3.3 | Use full weld iron and steel fabrication techniques. Welds shall be properly dressed, or ground smooth. |
| 5.3.4 | Provide aluminum fabrications with welded joints or blind, mechanical connections having concealed fasteners. |



An ornamental iron gate and balustrade adds character to the streetscape while identifying the path to the building entrance.



The metal cornice and columns on this storefront are unique features that should be preserved

5.4 Paint

Project Planning Considerations

Preservation of most historic wood and metal surfaces requires a sound paint film to protect against the elements. Water, wind, and ultraviolet light severely weaken wood fibers over time, and contribute to the corrosion of certain metals. In addition to its protective role, coordinated paint colors highlight architectural features and emphasize architectural style.

Employ paint analysis techniques, such as microscopic investigation, to determine historic paint schemes and finish techniques. Select harmonious paint colors that accentuate detailing and architectural style. Paint is applied to bare wood in multiple coats, and generally consists of a primer base coating followed by two coats of finish paint.



The palette of exterior colors accentuates the architectural style of this Italianate house.

Guidelines for Paint

- 5.4.1 Adhere to Guidelines for retention of historic fabric when altering painted materials.
- 5.4.2 Select paint and sealant coatings that are harmonious with adjoining work. In general, new material shall be a compatible formulation with the substrate of application.
- 5.4.3 Apply primer coatings to front and back wood surfaces prior to cutting and fitting. Prime end cuts before installation. Apply finish paint coatings to exposed primed surfaces.
- 5.4.4 Consider using opaque stain in lieu of paint on flooring, fencing, and similar wood surfaces exposed to foot traffic or weather.
- 5.4.5 Waterfront wood constructions such as docks and piers may be allowed to naturally weather in lieu of receiving paint coatings.
- 5.4.6 It is not appropriate to apply paint, water repellent or sealant coatings to unpainted surfaces such as masonry, stone, copper, and bronze.
- 5.4.7 Masonry painting may be permitted where severe damage, patching and surface repair has diminished the aesthetic integrity. When warranted, latex paint is a durable and adherent masonry coating to be considered.
- 5.4.8 Remove paint from masonry with a chemical paint remover specifically formulated for this purpose. Test in an inconspicuous location and discontinue use if damage or discoloration occurs.
- 5.4.9 It is not appropriate to paint exterior doors that were historically false grained, stained or varnished. It is not appropriate to leave surfaces such as porch flooring, deck flooring or railings unpainted.

5.5 Contemporary Materials

Project Planning Considerations

A careful balance of material consistency versus material variety helps define a sense of place in the historic districts. While variations in historic materials do exist, they ultimately fall within a palette available to New Bern builders during the previous two centuries. These limitations created a thread of continuity from one cycle of building styles to the next. Today, many materials are available from beyond our region, and manufacturing processes enable the creation of contemporary materials that threaten to break the thread of continuity that unifies the historic districts.

Contemporary materials shall be similar to their counterparts traditionally found on historic structures. Use of contemporary and nontraditional materials for infill

5. Materials

construction is an acceptable means of continuing the evolution of architecture through time, provided they convey appropriate historic characteristics.

Guidelines for Contemporary Materials

- 5.5.1 In general, contemporary material shall match the dimension, shape and texture of their counterparts commonly found in the historic districts.
- 5.5.2 Use contemporary and nontraditional materials in traditional ways. Apply materials in a traditional manner that conveys the same visual appearance as historic materials.
- 5.5.3 Contemporary and nontraditional materials should convey appropriate historic material characteristics, and will be evaluated on a case-by-case basis for appearance, dimension, texture, color, sheen, visual weight and similar characteristics.
- 5.5.4 Aluminum siding, vinyl siding, masonite siding, artificial brick sheathing, thin set stone veneer, stamped concrete and similar types of contemporary materials that imitate historic materials are not appropriate in the historic districts.
- 5.5.5 Cement board with a smooth finish is acceptable as the predominant siding material for infill construction and non-historic accessory structures.
- 5.5.6 Contemporary materials such as synthetic slate and fiberglass asphalt shingles are acceptable for sloped roofing regardless of building age. Select fiberglass asphalt shingles from a darker color palette. Contemporary membrane and roll roofing are acceptable for low-sloped roofs with a 1 inch per foot pitch or less regardless of building age.
- 5.5.7 Contemporary signage materials such as foam and vinyl lettering are acceptable regardless of building age. Confine these materials within the signage border.

6. Preservation

6.1 Maintenance of Materials

Preserve and retain historic material. Retain chimneys, dormers, towers, cupolas, cresting, finials, stone parapet copings, decorative roofing patterns and similar rooftop appurtenances. Retain entrances, porches, balconies, decorative fenestration, ornamentation and similar design components. Retain lintels, sills, trim, shutters, decorative molding and similar design components. Retain doors, windows and balustrades, and maintain their locations in Primary AVCs. It is not appropriate to replicate or replace historic windows and doors for the sole purpose of improved thermal performance.

When maintenance and repair are warranted, preserve and retain character defining architectural elements and historic detailing. Preference shall be given to repairing historic material versus replacing historic material. Repair historic design components by using patching, consolidating, reinforcing and splicing methods that incorporate matching, salvaged historic materials when available.

Use surviving components and elements as templates for reconstructing and replicating missing design components and elements. Where no such elements exist, rely on research documentation for reconstruction of lost design components and elements. Custom fabricate replicas and reconstructions with the spacing, proportion, dimension, cross section and profile of the template, or in accordance with relevant documentation. Replace individual members in a design component, when required, with custom fabricated, replica members. Replicate design components that are too deteriorated to repair.

Guidelines for Masonry Maintenance

- | | |
|-------|---|
| 6.1.1 | Retain and preserve the original form, pattern, color and texture of masonry. Maintain masonry features such as decorative vents, grilles, latticework, water tables and banding. |
| 6.1.2 | Clean masonry surfaces with low pressure water washing, and use a mild detergent if residue is stubborn. |
| 6.1.3 | Avoid using power tools such as saws and routers to remove deteriorated mortar joints. Machine removal often results in brick damage and joint enlargement. |
| 6.1.4 | Duplicate the profile and tooling of original mortar joints when repointing. |

6. Preservation

Guidelines for Wood Maintenance

- 6.1.5 Retain and preserve siding, fenestration, trim and ornamentation. Maintain wood features such as beaded and shaped edges, lathe turned profiles and decorative surfaces that have been milled, joined and routed.
- 6.1.6 Remove paint and other loose material with scrapers, sandpaper and similar moderately abrasive hand tools. Remove mold and mildew with low pressure water washing and a mild detergent.
- 6.1.7 Use epoxy to reinforce and rebuild deteriorated wood. When original wood is too damaged to repair, only cut and replace damaged sections.

Guidelines for Metal Maintenance

- 6.1.8 Retain and preserve metal fabrications, ornamentation and hardware. Maintain metal features such as wrought iron fencing, decorative medallions and hardware for doors, windows and shutters.
- 6.1.9 Clean metal surfaces with wire brushes, sandpaper and similar moderately abrasive hand tools to remove rust, paint and other loosely adhered material. Use chemical solvent cleaners only if hand preparation methods prove ineffective.
- 6.1.10 Maintain paint, lacquer and other coatings that protect metals from corrosion and deterioration.

Guidelines for Paint Maintenance

- 6.1.11 Maintain paint coatings that seal and weatherproof materials exposed to the elements. Routinely reapply paint coatings on steps, porch flooring, siding and roofs.
- 6.1.12 Prepare surfaces to receive coatings by using methods that do not damage or deteriorate the substrate.
- 6.1.13 Consider using flexible coating systems to prolong the life of metal roofing.

6.2 Prevention of Demolition by Neglect

Property owners are responsible for maintaining and repairing their property. Regular maintenance and repair protects the structural integrity of a building and keeps it in a safe and usable condition. Unabated deterioration over prolonged periods causes irreversible damage. Allowing a building to deteriorate and fall into disrepair through deferred maintenance is effectively causing demolition by neglect.

The historic districts embody a uniqueness that conveys identity and contributes to sense of place. Preserve buildings by undertaking a program of routine inspections, maintenance and repairs of masonry, metal, wood, paint and similar materials.

Focus routine inspections on the condition of materials. Maintain architectural features. Ensure that roofs are weathertight and free of water infiltration. Periodically examine foundations for firm, solid and stable support, without evidence of active insect infestations. Slope grades to convey water away from foundations. Accessible spaces beneath buildings are to be free of excessive moisture. Keep perimeter walls in good repair, with exterior surfaces serving as an effective barrier against moisture intrusion. Protect interiors from the elements by maintaining the structural integrity of windows, doors and openings.

Guidelines for Prevention of Demolition by Neglect

- | | |
|-------|--|
| 6.2.1 | Perform routine inspections to evaluate the conditions of materials. |
| 6.2.2 | Preserve historic design components and materials by implementing repairs appropriate for the substrates encountered. |
| 6.2.3 | Repair historic design components by using patching, consolidating, reinforcing and splicing methods that incorporate matching, salvaged historic materials. |
| 6.2.4 | Replicate missing and deteriorated design components with custom fabricated members that match the spacing, proportion, dimension, cross section and profile of material being replaced. |
| 6.2.5 | Materials are to be replaced in kind when maintenance and repairs are warranted. Maintenance and repair of incongruent material is permitted; however, wholesale replacement of incongruent material with the same or another incongruent material is not appropriate. |
| 6.2.6 | Boarded windows and doors are not an acceptable maintenance and repair practice. Temporary approval may be given to board windows and doors temporarily until permanent repairs and replacements are implemented; however, boarding shall be painted or sheathed with prefinished sheet metal. |

6.3 Relocation

Moving a historic structure is considered the alternative of last resort for preventing demolition. It invariably results in a substantial loss of building context and original material. Relocation also distorts the architectural development pattern of the city. If warranted, every effort should be made to move the building intact as a single unit. If this is not possible, move by partial disassembly. If either of these methods is deemed infeasible, complete disassembly and reassembly may be an option. Undertake careful planning to properly support, transport and reassemble relocated buildings.

Moving a contributing structure without prior approval from the State Historic Preservation Office and the National Park Service will result in automatic delisting of the structure from the National Register of Historic Places.

6. Preservation

Guidelines for Relocation

- 6.3.1 Preference shall be given to relocating a structure within a historic district.
- 6.3.2 Prepare drawings and photographically document the original site prior to relocating historic resources.
- 6.3.3 Minimize the loss of historic fabric in executing the relocation. Protect against damage caused by shifting load bearing points, vibration and lateral drifting.

6.4 Demolition

The success of preservation depends on adaptive reuse of historic resources to meet current needs. If adaptive reuse in a sensible manner is not feasible, owners should consider seeking an alternative property for their purposes. Demolition is an irreversible action resulting in a permanent loss of the integrity and character of historic resources. Preparation of a demolition COA application should include a detailed report on the history of the structure and property from the SHPO.

Demolition cannot be denied for a noncontributing structure. Demolition of a contributing structure requires a two-part COA where demolition is first considered, and if allowed, followed by consideration of the redevelopment plan. Demolition shall not proceed unless both parts of the COA are approved.

If demolition is denied, the property owner is required to maintain the property and its structures to prevent demolition by neglect.

The HPC may deny the demolition of a structure or site if it is currently listed in the National Register of Historic Places.

Guidelines for Demolition

- 6.4.1 Demolition of a noncontributing structure shall not be denied by the HPC.
- 6.4.2 It is not appropriate to demolish a viable contributing structure in order to create an infill construction opportunity.
- 6.4.3 The HPC reserves the right to postpone demolition until development and building permits are approved for redevelopment plans.
- 6.4.4 Prepare drawings and photographically document the site prior to demolition. Include photographs of interiors, exteriors, architectural elements and context within the streetscape.
- 6.4.5 Notify preservation organizations, and allow for the salvage of design components, architectural features and building materials for reuse.

In rendering a decision on a demolition COA, the HPC should address the following considerations:

Considerations for Evaluation

Consideration 1: Address the historical, cultural and architectural significance of the structure.

- Is it a contributing structure?
- Is it significant because of its historic use, an event, a person, a builder or an architect?
- Is it the last or the oldest example of a certain building type?

Consideration 2: Address the integrity of the structure.

- What are the conditions of foundations, floors, walls, windows, doors and roofs?
- Is it a hazard to public health, safety and welfare?

Consideration 3: Address attempted preservation efforts.

- Have options for rehabilitation been explored with preservation organizations?
- Has the applicant been unsuccessful in seeking alternatives to demolition?
- Have alternatives for structure relocation and sale of the property been pursued?

6. Preservation

7. Definitions and Architectural Terms

Key definitions and architectural terms are provided to facilitate discussions between the HPC and applicants.

7.1 Definitions

Adaptive Reuse – Converting a building from the use for which it was designed to another use. For example, changing a house to accommodate an office.

Aggrieved Party – Someone, or some entity, that 1) owns an interest in the property affected by the decision and 2) the property involved is specially affected by the decision to an extent different from other property owners in the community. Aggrieved parties may include the applicant for a COA, an owner of a neighboring property that is nearby the property for which the COA is sought, or the city through its staff. (Definition from the University of North Carolina Institute of Government)

Applicant – An individual who submits a COA application. This can be a property owner or their designated representative. For example, a contractor could represent the property owner.

Area of Visual Concern (AVC) – See Section 1.5.

Articulation – The manner or method of jointing parts such that each part is clear and distinct in relation to the others.

Benchmark – An established point from which all vertical dimensions are measured.

Certificate of Appropriateness (COA) - A document awarded by a preservation commission or architectural review board allowing an applicant to proceed with proposed alteration, demolition or construction in a designated historic area or site, following a determination of the proposal's suitability according to applicable criteria.

COA Hearing – See Section 1.6.

Certified Historic Structure – For the purpose of the federal preservation tax incentives, any structure subject to depreciation as defined by the Internal Revenue Service Code that is listed individually on the National Register of Historic Places or located in a registered historic district and certified by the Secretary of the Interior as being of historic significance to the district.

Certified Rehabilitation – Any rehabilitation of a certified historic structure that the Secretary of the Interior has determined is consistent with the historical character of the property or the district in which the property is located.

7. Definitions and Architectural Terms

Certified Local Government Program – In 1980, Congress amended the National Historic Preservation Act of 1966 to require each state to establish a procedure by which local governments may be certified to participate in the national framework of historic preservation programs. This requirement has become the "Certified Local Government (CLG) Program" in which many North Carolina counties and cities participate.

Context – Those elements of the man-made and natural landscape that collectively define the character of a building, site or district.

Contributing Structure – See Section 1.5.

Cultural Resource – A building, structure, district, site, object or document that is of significance in American history, architecture, archeology or culture.

Demolition by Neglect – The destruction of a building through abandonment or lack of maintenance.

Design Guidelines – Criteria developed by preservation commissions and architectural review boards to identify design concerns and to help property owners undertake rehabilitation and construction that respects the character of designated buildings or districts.

Design Review – The process of ascertaining whether modifications to historic and other structures, settings and districts meets standards of appropriateness established by a governing or advisory review board.

Details – See Section 3.1.

Fabric – The physical material of a building, structure or city connoting an interweaving of component parts.

Form – See Section 3.1.

Infill – See Section 3.4.

Harmony – Pleasing agreement of parts in color, size, scale, texture and material.

Hearing – See Section 1.6.

Historic district – A geographically definable area with a significant concentration of buildings, structures, sites, spaces or objects unified by past events, physical development, design, setting, materials, workmanship, sense of cohesiveness or related historic and aesthetic associations. The significance of a district may be recognized through listing on a local, state or national landmarks register and may be protected legally through enactment of a local historic district ordinance administered by a historic district board or commission.

Historic Preservation Commission (HPC) – See Section 1.4.

Human Scale – A combination of qualities in architecture or the landscape that

provides an appropriate relationship to human size, enhancing rather than diminishing the importance of people.

Landmarks Register – A listing of buildings, districts and objects designated for historical, architectural or other special significance that may carry protection for listed properties.

Major Works – See Section 1.6.

Mass – See Section 3.1.

Minor Works – See Section 1.6.

Not incongruous – See Section 1.5.

Preservation – Generally, the process of saving old and historic buildings, sites, structures and objects from destruction or deterioration, and providing for their continued use by means of restoration, rehabilitation or adaptive reuse and continued maintenance. The Secretary of Interior's Standards for Rehabilitation define it as "the act or process of applying measures to sustain the existing form, integrity and materials of a historic property. It may include stabilization work, where necessary, as well as ongoing maintenance of the historic building materials."

Public Hearing – See Section 1.6.

Proportion – See Section 3.1.

Quasi-judicial Hearing – See Section 1.6.

Rehabilitation – "The act or process of returning a property to a state of utility through repair or alteration which makes possible an efficient contemporary use while preserving those portions or features of the property which are significant to its historical, architectural and cultural values" as defined by the Secretary of Interior's Standards for Rehabilitation.

Renovation – Modernization of an old or historic building that may produce inappropriate alteration or eliminate important features and details.

Restoration – "The act or process of accurately recovering the form and details of a property and its setting as it appeared at a particular period of time by means of removal of latter work or by the replacement of missing earlier work" as defined in the Secretary of the Interior's Standards for Rehabilitation.

Rhythm – See Section 3.1.

Scale – See Section 3.1.

Section 106 – The provision of the National Historic Preservation Act of 1966 that requires the head of a federal agency financing or licensing a project to make a determination of the effect of the project or property on or eligible for the

7. Definitions and Architectural Terms

National Register of Historic Places. This is the only protection the National Register provides for listed properties.

State Historic Preservation Office (SHPO) – See Section 1.8.

Stabilization – “The act or process of applying measures designed to establish a weather resistant enclosure and the structural stability of unsafe or deteriorated property while maintaining the essential form as it exists at present,” according to the Secretary of Interior’s Standards for Rehabilitation.

Standing – Legal justification to participate in a hearing related to a COA application. This generally includes 1) the property owner or their representative for a COA, and 2) an owner of a neighboring property that may be materially affected by the COA. An association may have standing if 1) they have an existence not solely for the purpose of the COA, 2) their interests are germane to the association’s purpose, and 3) an individual with standing is a member of the association and has asked the association for assistance. Definition from the UNC Institute of Government.

Tax Incentive – A tax reduction designed to encourage private investment in historic preservation and rehabilitation projects.

Texture – See Section 3.1.

7.2 Architectural Terms

Alkyd Resin Paint – A common modern paint incorporating alkyd, which is one group of thermoplastic synthetic resins used as a vehicle for the pigment. Alkyd resin paint is often confused with oil paint.

Aluminum Siding – Sheets of exterior architectural covering, usually with a colored finish, fabricated of aluminum to approximate the appearance of wooden siding. Aluminum siding was developed in the early 1940s and became increasingly common in the 1950s and the 1960s.

Amenity – A building, object, area or landscape feature that makes an aesthetic contribution to the environment rather than one that is purely utilitarian.

Arbor – A small structure with vines or other plants trained over latticework on a frame that provides a shady place. A true arbor by definition also includes a bench sheltered underneath for seating. Another structure often referred to as an arbor is a trellis covered gateway, often built above a gate within a larger fence or garden wall.

Arcade – A series of arches supported on piers or columns attached to or detached from a wall.

Arch – A structure formed of wedge shaped stones, bricks or other objects laid to maintain one another firmly in position. A rounded arch generally represents classical or Romanesque influence whereas a pointed arch denotes Gothic

influences.

Architrave – The lowest part of an entablature, sometimes used by itself as a casing for a window or door.

Art Deco – A style of decorative arts and architecture popular in the 1920s and 1930s characterized by use of geometric, angular forms; also referred to as Moderne or Art Moderne.

Asbestos Siding – Dense, rigid board containing a high proportion of asbestos fibers bonded with portland cement; resistant to fire, flame, or weathering and having a low resistance to heat flow. It is usually applied as large overlapping shingles. Asbestos siding was readily available in the 1950s.

Ashlar – A style of stonework consisting of individual stones that are shaped and tooled to have even faces and square edges.

Asphalt Shingle – A shingle manufactured from saturated construction fiberglass felts coated with asphalt and finished with mineral granules on the side exposed to the weather.

Asphalt Siding – Siding manufactured from saturated construction felts coated with asphalt and finished with mineral granules on the side exposed to the weather. It sometimes displays designs seeking to imitate brick or stone. Asphalt siding was applied to many buildings in the 1950s.

Attic Ventilator – A screened or louvered opening, sometimes in decorative shapes, located in gables or soffits. Victorian styles sometimes feature sheet soffits or metal ventilators mounted on the roof ridge above the attic.

Awning – A roof like covering of canvas, often adjustable, over a window, a door, etcetera, to provide protection against the sun, rain and wind. Aluminum awnings were developed in the 1950s.

Balustrade – A low barrier formed of balusters, or uprights, supporting a railing.

Band or Band Course, Bandmold, Belt – Flat wall trim running horizontally that denotes a division in the wall plane or a change in level.

Bargeboard or Vergeboard – A wooden member, usually decorative, suspended from and following the slope of a gable roof. Bargeboards are used on buildings inspired by Gothic forms.

Bay – An opening or division along the face of a structure. For example, a wall with a door and two windows is three bays wide. A bay can also be a projection of a room or facade having windows.

Beltcourse – A projecting course of bricks or other material forming a narrow horizontal strip across the wall of a building, usually to delineate the line between stories, and also referred to as a string course.

7. Definitions and Architectural Terms

Beveled Glass – Glass panes whose edges are ground and polished at a slight angle so that patterns are created when panes are set adjacent to one another.

Board and Batten – A method of covering exterior walls using vertical boards, with narrow strips of wood or battens used to cover the joints between boards.

Bond – The pattern in which bricks are laid.

Bracket – A divide, either ornamental, structural, or both, set under a projecting element, such as the eaves of a house.

Bulkhead – The panels below the display windows on a commercial storefront.

Bungalow Style – An early 20th century architectural style that grew out of the Arts and Crafts movement of the 19th century. Its basic characteristics are long, low profiles; overhanging, bracketed eaves; wide engaged porches with square, squat brick piers supporting wood posts; and informal interior arrangements.

Buttress – A vertical mass of masonry projecting from or built against a wall to give additional strength at the point of maximum stress. Sometimes wooden buttresses are added to frame Gothic Revival style buildings as decorative, but not supporting features.

Capital – The topmost member, usually decorated or molded, of a column or pilaster.

Cararra Glass – Pigmented structural glass developed and popularized in the early 20th century for facing Art Deco and Art Modern-style commercial buildings.

Casing – The exposed trim molding, framing or lining around a door or a window. Casings may be either flat or molded.

Cast Iron – Iron that has been shaped by being melted and cast in a mold.

Caulking – A resilient mastic compound, often having a silicone, bituminous or rubber base; used to seal cracks, fill joints, prevent leakage and provide waterproofing.

Cementitious Board – A material composed of cement, sand and cellulose fiber. It was first introduced in the early twentieth century as a substitute for slate. Today cementitious board has a variety of uses including exterior siding and roofing.

Center-Hall Plan – A plan in which the hall or passage extends through the center of a house and is flanked by two or more rooms.

Chalking – The formation of a powder surface condition from the disintegration of a binder or an elastomer in a paint coating caused by weathering or an otherwise destructive environment.

Chamfer – A beveled edge or corner.

Chamfered Post – A square post with the edges of its corners cut away or beveled.

Checking – Small cracks in a film of paint or varnish that do not completely penetrate to the previous coat. Crack patterns are roughly similar to a checkerboard.

Clapboard or Weatherboard – Horizontal wooden boards that are tapered toward the upper edge and laid to cover a portion of a similar board underneath and to be covered by a similar one above. The exposed face of clapboard is usually less than 6 inches wide. This was common outer facing in the nineteenth and early twentieth century buildings.

Classical – Embodying or based on the principles and forms of Greek and Roman architecture.

Clerestory – Windows located relatively high in a wall that often form a continuous band. This was a feature of many Gothic cathedrals and was later adapted to many Revival styles.

Clipped Gable – The peak of a gable which is truncated for decorative effect; often the roof overhangs the missing peak.

Colonial Revival Style – Late 19th and early 20th century style that combines features of Classical and Colonial architecture.

Colonnette – A small-scale column, generally employed as a decorative element on mantels, overmantels and porticoes.

Column – A vertical shaft or pillar that supports or appears to support a load.

Common Bond – A method of laying brick where one course of headers is laid for every three, five or seven courses of stretchers.

Composition Board – A building board, usually intended to resemble clapboard, fabricated from wood or paper fabric under pressure and at an elevated temperature, usually with a binder.

Composite Lumber – A material composed of a mixture of wood fiber, plastic and a bonding agent. Ingredients are proportioned to form a material that is denser, stronger and heavier than wood lumber.

Coping – The cap or the top course of a masonry wall.

Corbel – A projection, or building out, from a masonry wall, sometimes to support a load and sometimes for decorative effect.

Corner Block – A square piece, either plain or decorated that forms a corner of a window or door surround.

7. Definitions and Architectural Terms

Corner Boards – Vertical boards nailed on the external corners of frame buildings to provide a method of finishing and joining the ends of the weatherboards.

Cornice – Any predominant molded and projecting horizontal member that crowns an architectural composition, such as a storefront or a parapet wall.

Craftsman Style – Prevalent in the first few decades of the 20th century, this style is usually characterized by a nonsymmetrical façade and front porch with porte cochere to one side. Architectural components typically include exposed roof beams, triangular knee braces at gables and low to moderately sloped roofs. Common exterior finish materials include wood shingles, clapboard and stucco.

Crenulation – Alternating indentations and raised sections of a parapet, creating a toothlike profile sometimes known as a battlement. Crenulation is a detail found most commonly in the Gothic Revival style.

Cresting – Ornamental ironwork, often highly decorative, used to embellish the ridge of a gable roof or the curb or upper cornice of a mansard roof.

Crossette – A lateral projection of the head of the molded architrave or surround of a door, window, mantel or paneled overmantel; also known as an “ear” or “dog-ear”.

Crown Molding – The upper molding of a cornice, often serving to cap or crown the vertical facing or fascia of a boxed cornice. Also, the term is frequently given to the molding used to decorate the joints between walls and a ceiling.

Cupola – A small structure, usually polygonal, built on top of a roof or tower, mostly for ornamental purposes.

Deck – An uncovered porch supported on posts, usually at the rear of a building; popular in modern residential design.

Dentil – Small, closely spaced blocks, often toothlike, used as an ornamental element of a classical cornice.

Dogtrot Plan – A plan in which two pens with their own chimneys separated by an open center passage.

Dormer – A structure containing a window, or windows that project through a pitched roof.

Doric Order – A classical order characterized by simple unadorned capitals supporting a frieze of vertically grooved tablets or triglyphs set at intervals.

Dormer Window – An upright window, set in a sloping roof, with vertical sides and front, usually with a gable, shed or hiproof.

Double-Hung Window – A window with two sashes that open and close by

sliding up and down in a cased frame.

Double-Pile House – A center-hall plan house that is two rooms deep on each side of the hall.

Double-Shoulder Chimney – An exterior chimney the sides of which angle inward to form shoulders twice as it ascends from the base to the cap.

Downspout – A vertical pipe, often of sheet metal, used to conduct water from a roof drain or gutter to the ground or cistern.

Dressed – Descriptive of stone, brick or lumber that has been prepared, shaped or finished by cutting, planing, rubbing or sanding one or more of its faces.

Eave – The part of a sloping roof that projects beyond the wall.

Eclectic or Eclecticism – A method of design in architecture in which elements from a variety of stylistic sources are selected and combined in new and original ways.

Elevation – A drawing showing the vertical elements of a building, either exterior or interior, as a direct projection to a vertical plane.

Ell – A secondary wing or extension of a building, often a rear addition, positioned at right angles to the principal mass.

Eminent Domain – The power of a government to acquire private property for public benefit after payment of just compensation to the owner.

Enabling Legislation – Federal or state laws that authorize governing bodies within their jurisdictions to enact particular measures or delegate powers such as enactment of local landmarks and historic district ordinances, zoning and taxation.

Engaged Porch – A porch, the roof of which is continuous structurally with that of the main building roof.

English Bond – A method of laying brick wherein one course is laid with stretchers and the next with headers, thus bonding the double thickness of brick together and forming a high strength bond of alternating courses of stretchers and headers.

Entablature – The horizontal part of a Classical order of architecture, usually positioned above columns or the frieze; the uppermost element is the cornice.

Escutcheon – A protective plate, sometimes decorated, surrounding, the keyhole of a door, a light switch or similar device.

Etched Glass – Glass whose surface has been cut away with a strong acid or by abrasive action into a decorative pattern.

Extended Use – Any process that increases the useful life of an old building, e.g.

7. Definitions and Architectural Terms

adaptive use or continued use.

Exterior End Chimney – A chimney located outside the walls of a house, usually against the gable end of a building.

Facade – The face or front of a building.

Fanlight – A semicircular window, usually above a door or window, with radiating muntins suggesting a fan.

Fascia – A flat board with a vertical face that forms the trim along the edge of a flat roof, or along the horizontal, or eave side of a pitched roof. The rain gutter is often mounted on it.

Fluting – Shallow, concave grooves running vertically on the shaft of a column, pilaster or other surface.

Federal Style – The style of architecture popular in America from the Revolution through the early 19th century, and from about 1800-1840 in North Carolina. The style is characterized by the use of delicate Classical ornament.

Fenestration – The arrangement and design of windows on a building.

Finial – an ornament, usually turned on a lathe, placed on the apex of an architectural feature such as a gable, turret or pediment.

Flashing – A thin impervious material placed in construction to prevent water penetration, to provide water drainage, or both, especially between a roof and a wall.

Flemish Bond – A method of laying brick where headers and stretchers alternate in each course and, vertically, headers are placed over stretchers to form a bond and give a distinctive cross pattern.

Flush Siding – An exterior wall treatment consisting of closely fitted horizontal boards with joints that are carefully formed to be hidden and flush, giving a very uniform, flat siding appearance.

Foundation – The supporting portion of a structure below the first floor construction, or below grade, including footings.

French Window – A long window reaching to the floor level and opening in two leaves like a pair of doors.

Fretwork – A geometrically meandering strap pattern; a type of ornament consisting of narrow fillet or band that is folded, crossed and interlaced.

Frieze – The middle portion of a Classical entablature, located above the architrave and below the cornice. The term is usually used to describe the flat, horizontal board located above the weatherboards of most houses.

Gable – The triangular portion of a wall formed or defined by the two sides of a double sloping roof; often referred to as an “A” roof.

Galvanize – To coat steel or iron by immersing it in a bath of molten zinc.

Gambrel Roof – A gambrel or gambrel roof is a usually symmetrical two-sided roof with two slopes on each side. The upper slope is positioned at a shallow angle, while the lower slope is steep.

Gazebo – A small structure or garden pavilion usually sited to capture a particular view. Gazebos can be freestanding or attached to a garden wall, and they are characterized by a roof and partially open sides. The most popular shape is octagonal or round.

Georgian Style – The prevailing style of the eighteenth century in Great Britain and the North American Colonies, so named after George I, George II and George III. It is derived from Classical, Renaissance and Baroque forms.

German Siding – Wooden siding with a concave upper edge that fits into a corresponding rabbet in the siding above.

Gingerbread – Thin, curvilinear ornamentation produced with machine powered saws.

Glazed Header – A brick having a glossy, dark coating ranging in color from gray green to almost black, formed on the outer surface through direct exposure to flame and intense heat during the firing process. In Flemish bond brickwork, this glazed surface is often used for decorative effect by laying the brick so that the glazed ends or headers are exposed to form a pattern in the wall.

Glue-Chip Glass – A patterned glass with a surface resembling frost crystals common in turn of the century houses and bungalows.

Gothic Arch – A pointed arch commonly used in Gothic Revival architecture especially churches.

Gothic Revival Style – The nineteenth-century revival of the forms and ornament of medieval Gothic European architecture, characterized by the use of the pointed arch, buttresses, pinnacles and other Gothic details in a decorative fashion. The style was popular for church architecture in North Carolina well into the 20th Century.

Greek Revival Style – The mid-19th century revival of the forms and ornamentation of the architecture of ancient Greece.

Gutter – A shallow channel of metal or wood set immediately below or built in along the eaves of a building to catch and carry off rainwater.

Hall Parlor Plan – A traditional vernacular plan consisting of two principal rooms: a larger “hall,” often nearly square, and an adjoining smaller “parlor.” In most instances, the hall was entered directly from the outside and had a fireplace

7. Definitions and Architectural Terms

centered on the end wall; it was the room where most domestic activities took place. The smaller parlor tended to be used for sleeping.

Header – The end of a brick, sometimes glazed.

Hipped Roof – A roof that slopes back equally from each side of a building. A hip roof can have a pyramidal form or have a slight ridge.

House Museum – A museum whose structure itself is of historical or architectural significance and whose interpretation relates primarily to the building's architecture, furnishings and history.

Interior End Chimney – A chimney positioned on the interior side of the gable end of a house.

Italianate Style – A revival of elements of Italian Renaissance architecture popular during the mid and late 19th century, characterized by the presence of broad projecting or overhanging cornices supported by ornate sawn brackets. Other features include the use of arched windows and heavy hoodmolds.

Jamb – The vertical sides of an opening, usually for a door or a window.

Jerkin Head Roof – A roof whose end has been formed into a shape midway between a gable and a hip, resulting in a truncated or “clipped” appearance; sometimes called clipped gable.

Joist – One of a series of parallel timbers or beams, usually set on edge, that span a room from wall to wall to support a floor or ceiling; a beam to which floorboards, ceiling boards or plaster laths are nailed.

Keystone – The central wedge-shaped stone at the crown of an arch or in the center of a lintel.

Landscape – The totality of the built or human influenced habitat experienced at any one place. Dominant features are topography, plant cover, buildings or other structures and their patterns.

Latex Paint – A paint having a latex binder, which is an emulsion of finely dispersed particles of natural or synthetic rubber or plastic materials in water.

Lattice – A network, often diagonal, of interlocking lath or other thin strips used as screening, especially in the base of a porch.

Light – A pane of glass.

Lintel – A beam of wood or stone that spans an opening; in masonry construction it frequently supports the masonry above the opening.

Lunette – A semicircular opening.

Mansard Roof – A four sided double pitch roof characteristic of the Second

Empire Style.

Mixed Use – A variety of authorized activities in an area or a building as distinguished from the isolated uses and planned separatism prescribed by many zoning ordinances.

Mildew – A fungus that grows and feeds on paint, cotton and linen fabrics, etcetera, that are exposed to moisture; causes discoloration and decomposition of the surface.

Modillion – A horizontal bracket, often in the form of a plain block, ornamenting, or sometimes supporting, the underside of the cornice.

Molding – A decorative band having a constant profile or having a pattern in low relief, generally used in cornices or as trim around openings.

Mortar – A mixture of portland cement, lime, putty and sand in various proportions used for laying bricks or stones. Until the use of hard portland cement became prevalent, the softer lime clay or lime sand mortars and masonry cement were common.

Mortise and Tenon – A joint made by one member having its end cut as a projecting tongue, or tenon, that fits exactly into a groove or hole, or mortise, in the other member. Once joined in this fashion, the two pieces are often secured by a peg.

Mullion – A vertical member dividing a window area and forming part of the window frame.

Muntin – A molding forming part of the frame of a window sash and holding one edge of a pane.

Newel Post – The principal post used to terminate the railing or balustrade of a flight of stairs.

Neoclassical Style – A style of architecture popular during the first half of the twentieth century. Elements draw heavily from Greek Revival and early Classical revival.

Ogee – A double curve formed by the combination of a convex and concave line, similar to an s-shape.

Oil Paint – A paint in which a drying oil, usually linseed oil, is the vehicle for the pigment; rarely used as a house paint since the mid twentieth century when it was commonly replaced by alkyd resin paints.

Ornamentation – In architecture, applied embellishment in various styles that is a distinguishing characteristic of buildings, furniture, and household items. Ornamentation often occurs on entablatures, columns, and the tops of buildings and around entryways and windows, especially in the form of moldings.

7. Definitions and Architectural Terms

Palladian Window – A window design featuring a central arched opening flanked by lower square headed openings separated from them by columns, pilasters, piers or narrow vertical panels.

Panel – A portion of a flat surface set off by molding or some other decorative device.

Parapet – A low wall along a roof or terrace, used as decoration or protection.

Patio – An open, outdoor living space adjacent to a building, usually surfaced with stone, tile or concrete and at ground level.

Pediment – A crowning element of porticoes, pavilions, doorways and other architectural features, usually of low triangular form with a cornice extending across its base and carried up the raking sides; sometimes broken in the center as if to accommodate an ornament; sometimes of segmental, elliptical or serpentine form.

Pen – A one room structure, the term is typically used when referring to log buildings. Many dwellings erected by the first settlers of the North Carolina piedmont were single pen structures. Many of these dwellings were expanded into two pen houses following the double pen, saddlebag or dogtrot plans.

Pergola – A long and narrow, linear structure with pillars to support flat crossbeams and an open latticework that is often covered in vines to shade a walkway. Although sometimes called an arbor, a pergola is a trellis structure over a walkway and may extend from a building, connect buildings or protect an open terrace. Pergolas can also extend from a door to a garden feature, such as a pool.

Pilaster – A shallow pier or rectangular column projecting only slightly from or engaged to a wall. Pilasters are usually decorated like columns with a base, shaft and capital.

Porte Cochere – A projecting porch that provides protection for vehicles and people entering a building; a common feature of the early 20th century Colonial Revival and Bungalow styles.

Portico – A roofed space, open or partly enclosed, often with columns and a pediment that forms the entrance and centerpiece of the facade of a building.

Portland Cement – A very hard and strong hydraulic cement made by heating a slurry of clay and limestone in a kiln. Water is the catalyst that activates hardening.

Primer – A paint applied as a first coat that serves the function of sealing and filling on wood, plaster and masonry.

Queen Anne Style – A popular late 19th century revival of early 18th century English architecture, characterized by irregularity of plan and massing with a variety of textures.

Quoin – Ornamental blocks of wood, stone, brick or stucco placed at the corners of a building and projecting slightly from the front of the facade.

Rafters – Structural timbers rising from the plate at the top of a wall to the ridge of the roof and supporting the roof covering.

Raised panels – A portion of a flat surface, as in the panel of a door or wainscoting that is distinctly set off from the surrounding area by a molding or other device and is raised above the surrounding area.

Rake – Trim members that run parallel to a roof slope and form the finish between the wall and a gable roof extension.

Repointing – Raking out deteriorated mortar and filling with surface mortar to repair the joint.

Returns – Horizontal portions of a cornice that extend part of the way across the gable end of a structure at eave level.

Roofing Tile – A tile for roofing, usually of burnt clay; available in many configurations and types, such as plain tiles, single lap tiles and interlocking tiles.

Rusticated Stone – Masonry or wood in which each principal face is rough or highly patterned with a tooled margin.

Saddlebag Plan – A plan in which two single pen rooms are joined together, separated by a single interior chimney.

Sandblasting – An extremely abrasive method of cleaning brick, masonry or wood that involves directing high powered jets of sand against a surface.

Sanding – Flattening down, rubbing and smoothing a surface with abrasive paper cloth either by hand or by machine.

Sash – The frame, usually of wood, that holds the panes of glass in a window; may be movable or fixed; may slide in a vertical plane or may be pivotal.

Sawnwork – Ornamentation in cutout planking, formed with a bandsaw. Popular in the 1880s and the 1890s, this decorative detailing is flat.

Second Empire Style – An eclectic style derived from the grand architecture of the French Second Empire of Napoleon III from 1852-1870, popularly used in America from the 1860s to the 1880s, especially for public buildings, and characterized by heavy ornament and high mansard roofs with dormers.

Segmental Arch – An arch formed on a segment of a circle or an ellipse.

Sense of Place – The sum of the attributes of a locality, neighborhood or property that give it a unique and distinctive character.

7. Definitions and Architectural Terms

Shed Room – A one story appendage to a larger structure, covered by a simple shed or sloping roof that “leans” against the principal building mass.

Sheet Metal – A flat, rolled metal product, rectangular in cross section and form; when used as roofing material, usually terne or zinc-plated.

Shingle – A roofing unit of wood, asphalt, slate, tile or other material cut to stock lengths, widths and thicknesses; used as an exterior covering on roofs and applied in an overlapping fashion.

Shoulder – The sloping shelf or ledge created on the side of a masonry chimney where the width of the chimney changes.

Shutters and blinds – Small solid panels hinged on the exterior of windows, and sometimes doors, to be operable. Blinds are similar, but with wooden louvers.

Sidelight – A framed area of fixed glass of one or more panes positioned to either side of a door or window opening.

Sill – A heavy horizontal timber positioned at the bottom of a wood framed structure that rests on top of the foundation; also, the horizontal bottom member of a door or window frame.

Soffit – The exposed undersurface of any overhead component of a building, such as an arch, balcony, beam, cornice, lintel or vault.

Spindle Frieze – A row of lathe turned spindles included as the uppermost decorative feature of a gallery or porch below the cornice; also known as an openwork frieze.

Street Furniture – Municipal equipment placed along streets including light fixtures, fire hydrants, police and fire call boxes, signs, benches and kiosks.

Streetscape – The distinguishing character of a particular street is created by its width, degree of curvature, paving materials, street furniture, forms of surrounding buildings and the presence of vegetation, especially trees, along the curb or sidewalk.

Stretcher – The long face of a brick when laid horizontally.

String Course – A projecting course of bricks or other material forming a narrow horizontal strip across the wall of a building, usually to delineate the line between stories, also referred to as a belt course.

Stucco – An exterior finish, usually textured, composed of portland cement, lime and sand mixed with water. Older type stucco may be mixed from softer masonry cement rather than portland cement.

Style – A type of architecture distinguished by special characteristics of structure and ornament and often related in time; also, a general quality of distinctive character.

Surround – The border or casing of a window or door opening, sometimes molded.

Terneplate – Sheet metal coated with terne metal, which is an alloy of lead containing up to 20 percent tin.

Terra Cotta – A ceramic material, molded decoratively and often glazed, used for facing buildings or as inset ornament.

Textured Siding – Wood cut in various flat patterns, such as half rounds or scallops, and applied to portions of facades to create a picturesque or romantic look. This treatment was generally used in Queen Anne style buildings. Surface textures are often found in diamond, scallop, staggered butt or composite patterns.

Tongue and Groove – A joinery system in which boards are milled with a tongue on one side and a groove on the other so that they can be tightly joined with a flush surface alignment.

Townscape – The relationship of buildings, shapes, spaces and textures that give a town or area its distinctive visual character or image.

Trabeated – A method of construction employing posts and lintels; hence, a term used to describe a standard Greek Revival entrance door having a transom and sidelights.

Tracery – An ornamental division of an opening, especially a large window, usually made with wood. Tracery is found in buildings of Gothic influence.

Transom – A narrow horizontal window unit above a door.

Turned – Fashioned on a lathe, as in a baluster, newel or porch post.

Turret – A small tower, usually corbelled from a corner.

Viewshed – A geographical area that is visible from a location, including surrounding points that are in the line of sight with that location, and excluding points that are beyond the horizon or obstructed by terrain, buildings, trees and similar features.

Vernacular – In architecture, as in language, the nonacademic local expressions of a particular region. For example, a vernacular Greek Revival structure may exhibit forms and details that are derived from the principles of formal Classical architecture but are executed by local builders in an individual way that reflects both local or regional needs, tastes, climatic conditions, technology and craftsmanship.

Victorian – The general term used to describe the wide variety of eclectic revival styles that were introduced in British and American architecture during the reign of Queen Victoria from 1837-1901.

7. Definitions and Architectural Terms

Vinyl Siding – Sheets of thermal plastic compound made from chloride or vinyl acetates, as well as some plastics made from styrene and other chemicals, usually fabricated to resemble clapboard.

Visual Pollution – Anything that, because of its placement or intrinsic nature, is offensive to the sense of sight, e.g., garbage dumps.

Vitrolite – Pigmented structural glass developed and popularized in the early 20th century for facing Art Deco and Art Modern style commercial buildings.

Water Blasting – A cleaning method similar to sandblasting except that water is used as the abrasive. As in sandblasting, high-pressure water jets can damage wood and masonry surfaces.

Water Table – A belt course differentiating the foundation of a masonry building from its exterior walls.

Weatherboard – Wood siding consisting of overlapping horizontal boards usually thicker at one edge than the other.

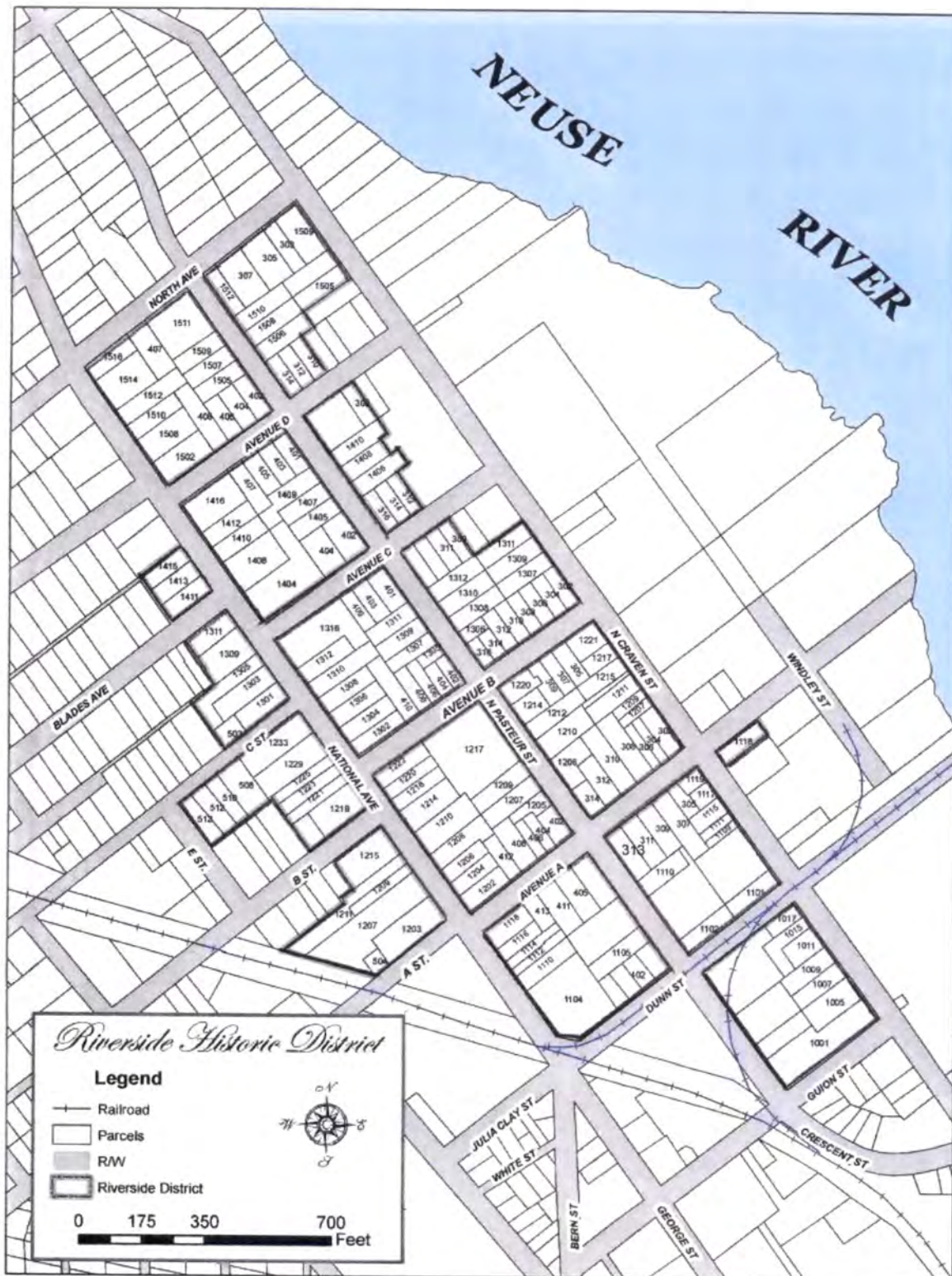
Wrought Iron – Iron that is rolled or hammered into shape, never melted. In general, wrought iron is not commercially available and ornamental iron is used in its place.

8. Appendices

8.1 Downtown Historic District Map



8.2 Riverside Historic District Map



8.3 Department of Interior Standards for the Treatment of Historic Properties

These standards promote consistent and responsible historic preservation practices for the protection of the country's cultural resources. There are four treatment standards in hierarchical order: Preservation, Rehabilitation, Restoration, and Reconstruction. Contact SHPO or visit their website for additional information on the treatment standards.

Standards for Preservation

The Standards for Preservation place a high premium on the retention of historic fabric through conservation, maintenance and repair. It reflects a building's continuum over time, through successive occupancies, and the respectful changes and alterations that are made.

1. A property will be used as it was historically, or be given a new use that maximizes the retention of distinctive materials, features, spaces, and spatial relationships. Where a treatment and use have not been identified, a property will be protected and, if necessary, stabilized until additional work may be undertaken.
2. The historic character of a property will be retained and preserved. The replacement of intact or repairable historic materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.
3. Each property will be recognized as a physical record of its time, place, and use. Work needed to stabilize, consolidate, and conserve existing historic materials and features will be physically and visually compatible, identifiable upon close inspection, and properly documented for future research.
4. Changes to a property that have acquired historic significance in their own right will be retained and preserved.
5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.
6. The existing condition of historic features will be evaluated to determine the appropriate level of intervention needed. Where the severity of deterioration requires repair or limited replacement of a distinctive feature, the new material will match the old in composition, design, color, and texture.
7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.
8. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.

8. Appendices

Standards for Rehabilitation

The Standards for Rehabilitation emphasize the retention and repair of historic materials, but more latitude is provided for replacement because it is assumed the property is more deteriorated prior to work. These standards form the foundation of the Commission's design review criteria and the basis for New Bern's historic district guidelines.

1. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.
2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.
3. Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.
4. Changes to a property that have acquired historic significance in their own right will be retained and preserved.
5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.
6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new features will match the old in design, color, texture, and where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.
7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.
8. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.
9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Standards for Restoration

The Standards for Restoration are focused on the retention of materials from a particular time in a property's history, while permitting the removal of materials from other periods.

1. A property will be used as it was historically or be given a new use which reflects the property's restoration period.
2. Materials and features from the restoration period will be retained and preserved. The removal of materials or alteration of features, spaces, and spatial relationships that characterize the period will not be undertaken.
3. Each property will be recognized as a physical record of its time, place, and use. Work needed to stabilize, consolidate and conserve materials and features from the restoration period will be physically and visually compatible, identifiable upon close inspection, and properly documented for future research.
4. Materials, features, spaces, and finishes that characterize other historical periods will be documented prior to their alteration or removal.
5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize the restoration period will be preserved.
6. Deteriorated features from the restoration period will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials.
7. Replacement of missing features from the restoration period will be substantiated by documentary and physical evidence. A false sense of history will not be created by adding conjectural features, features from other properties, or by combining features that never existed together historically.
8. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.
9. Archeological resources affected by a project will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.
10. Designs that were never executed historically will not be constructed.

8. Appendices

Standards for Reconstruction

The Standards for Reconstruction establish limited opportunities to recreate a non-surviving site, landscape, building, structure, or object in all new materials.

1. Reconstruction will be used to depict vanished or non-surviving portions of a property when documentary and physical evidence is available to permit accurate reconstruction with minimal conjecture, and such reconstruction is essential to the public understanding of the property.
2. Reconstruction of a landscape, building, structure, or object in its historic location will be preceded by a thorough archeological investigation to identify and evaluate those features and artifacts which are essential to an accurate reconstruction. If such resources must be disturbed, mitigation measures will be undertaken.
3. Reconstruction will include measures to preserve any remaining historic materials, features, and spatial relationships.
4. Reconstruction will be based on the accurate duplication of historic features and elements substantiated by documentary or physical evidence rather than on conjectural designs or the availability of different features from other historic properties. A reconstructed property will re-create the appearance of the non-surviving historic property in materials, design, color, and texture.
5. A reconstruction will be clearly identified as a contemporary re-creation.
6. Designs that were never executed historically will not be constructed.

8.4 Links to Other Resources

New Bern Land Use Ordinance

http://library.municode.com/HTML/11332/level2/PTIICOOR_APXALAU.html

New Bern Ordinance on Preservation

https://www.municode.com/library/nc/new_bern/codes/code_of_ordinances?nodeId=PTIICOOR_APXALAU_ARTXXINEBEHIDI

New Bern Ordinance on Waterfront Overlay Districts

https://library.municode.com/HTML/11332/level3/PTIICOOR_APXALAU_ARTXXIINEBEWAOV.html

New Bern Ordinance on Neighborhood Conservation Overlay Districts

https://library.municode.com/HTML/11332/level3/PTIICOOR_APXALAU_ARTXXVNECOOV.html

New Bern Urban Design Plan

<http://www.newbern-nc.org/departments/development/ed/plans-projects/>

New Bern Historic Preservation Commission Web Site

<http://www.newbern-nc.org/departments/development/historic-preservation/historic-preservation-commission/>

New Bern Historic District Guidelines

<http://www.newbern-nc.org/departments/development/historic-preservation/historic-preservation-guidelines/>

Historic Preservation Commission Policies and Procedures

<http://www.newbern-nc.org/departments/development/historic-preservation/historic-preservation-procedure/>

New Bern Preservation Plan

<http://www.newbern-nc.org/departments/development/ed/plans-projects/>

National Park Service Preservation Briefs

<http://www.nps.gov/tps/how-to-preserve/briefs.htm>

8. Appendices

Aldermen
Sabrina Bengel
Jameesha Harris
Robert V. Aster
Johnnie Ray Kinsey
Barbara J. Best
Jeffrey T. Odham



300 Pollock Street, P.O. Box 1129
New Bern, NC 28563-1129
(252) 636-4000

Dana E. Outlaw
Mayor
Mark A. Stephens
City Manager
Brenda E. Blanco
City Clerk
Mary M. Hogan
Director of Finance

HISTORIC PRESERVATION COMMISSION PROPOSAL

Approved by HPC: September 23, 2020
Approved I by Planning and Zoning Board: October 6, 2020

SUMMARY OF CHANGES TO THE HISTORIC DISTRICT GUIDELINES

The changes are limited to changes in Sections 2.1, 2.6, 3.1 and 4.5 of the Historic District Guidelines, as specified below.

New text is underlined; text to be removed is in ~~strikethrough~~. Text to remain is in regular or bold as it currently is in the document. Text in brackets is instructions about the location of the changes that will not be in the Guidelines.

2.1 Development Pattern

[Beginning on page 2-2, after the section on Waterfront Development and before the section on Placement of Structures, add the following section.]

Narrow Stitch

Narrow stitch is a historic development pattern unique to the City of New Bern. It was introduced to the Downtown Historic District in 2007 as a planned unit development influenced by Neo Traditional and New Urbanism planning philosophies. Lots are organized in long, narrow rows that front the street. The spacing between structures is minimal, creating public façades with porches and steps at the sidewalk and private rear façades. A service alley is located at the rear yard, removing utility distribution, garbage collection, curb cuts and driveways from the Primary AVC. Rear yards are minimal, if not completely absent when the rear façade fronts the alley.

Buildings within the narrow stitch development pattern have a very tight rhythm that is often vertically emphasized by the presence of multiple stories. Building massing and roofs typically consist of simple forms, and side yard facades are largely void of fenestration except for the occasional balcony. These lot proportions, coupled with the

absence of sizable yard space, often lead to double porch and rooftop decks that create private outdoor spaces and capture surrounding views.

2.6 Accessory Structures

[On page 2-7, change the last sentence under Project Planning Considerations as follows:]

Attached garages are not appropriate in the ~~historic districts~~ tight weave development pattern.

3.1 Design Principles

[On page 3-3, after the last paragraph of the section **Form and Rhythm**, which ends at the top of the page, above the illustration, add a new paragraph as follows:]

The *narrow stitch* development pattern creates a strong rhythm of repeated, narrow front facades that creates a hard edge at the streetscape. Steps from each structure extend to the sidewalk in series, beginning at an upper landing above design flood elevation and descending to meet the shape of the terrain below. Full width porches that compensate for the lack of yard space accentuate facades and animate otherwise planar building forms.

4.5 Guidelines for Roofs

[On page 4-11, add the following new guideline:]

4.5.7 In the *narrow stitch* development pattern, provide pitched roofs free of observation platforms above the highest living floor of structures.



Historic District Guidelines



City of New Bern Historic District Guidelines

Mayor: Dana E. Outlaw

Board of Aldermen: Ward 1: Sabrina Bengel
Ward 2: Jameesha "Jamee" Harris
Ward 3: Robert "Bobby" Aster
Ward 4: Johnnie Ray Kinsey
Ward 5: Barbara J. Best
Ward 6: Jeffrey T. Odham

City Attorney: Michael Scott Davis

City Manager: Mark A. Stephens

***Director of
Development Services:*** Jeffrey Ruggieri, AICP

***City Planner and
HPC Administrators:*** Matthew Schelly, AICP, CZO, Reg. Arch.

***New Bern Historic
Preservation Commission:*** Dr. Ruth Cox, Darden J. Eure, III, AIA, NCARB, James Bisbee,
George Brake, Peggy Broadway, Christian Evans, Dr. Joseph
Klotz, Ellen Sheridan, James O. Woods, Jr.

Advisors: Ramona Bartos, John Wood, Laurie Mitchell – State Historic
Preservation Office

Illustrations: David Griffith

Guidelines Adopted by HPC: January 18, 2017

Guidelines Adopted by the Board of Alderman: March 28, 2017

Guidelines Revisions Adopted by the HPC: June 17, 2020

Guidelines Revisions Adopted by the Board of Aldermen: July 14, 2020

Guidelines Revisions Adopted by the HPC: September 23, 2020

Table of Contents

1. Overview and Concepts	1-1
1.1 Purpose and Intent of Historic Guidelines	1-1
1.2 Your Responsibility as a Property Owner	1-1
1.3 New Bern's Historic Districts	1-1
Downtown Historic District	1-2
Riverside Historic District	1-4
1.4 Historic Preservation Commission	1-7
Meetings	1-7
1.5 Key Concepts	1-7
Contributing and Noncontributing Structures	1-8
Determining if Change is Not Incongruous	1-8
Areas of Visual Concern	1-8
Scope of Changes	1-9
Determining Contributing Structures	1-9
1.6 Obtaining a Certificate of Appropriateness	1-10
Review Process for Minor Works	1-12
Review Process for Major Works	1-12
1.7 Archeology	1-14
1.8 Additional Support	1-15
State Historic Preservation Office	1-15
Certified Local Government (CLG) Program	1-15
National Park Service Technical Briefs	1-15
1.9 Worksheet for COA Evaluation	1-16
2. Site and Setting	2-1
2.1 Development Pattern	2-1
Project Planning Considerations	2-1
Guidelines for Development Pattern	2-3
2.2 Public and Open Spaces	2-4
Project Planning Considerations	2-4
Guidelines for Public and Open Spaces	2-4
2.3 Utilities	2-4
Project Planning Considerations	2-4
Guidelines for Utilities	2-5
2.4 Landscaping	2-5
Project Planning Considerations	2-5
Guidelines for Landscaping	2-6
2.5 Fences and Garden Walls	2-6
Project Planning Considerations	2-6
Guidelines for Fences and Garden Walls	2-7
2.6 Accessory Structures	2-7
Project Planning Considerations	2-7
Guidelines for Accessory Structures	2-8

2.7	Parking	2-8
	Project Planning Considerations	2-8
	Guidelines for Parking.....	2-9
2.8	Signage	2-9
	Project Planning Considerations	2-9
	Guidelines for Signage.....	2-9
2.9	Waterfront Modifications	2-10
	Project Planning Considerations	2-10
	Guidelines for Waterfront Modifications	2-10
3.	Design Attributes.....	3-1
3.1	Design Principles	3-1
	Scale, Mass and Proportion	3-1
	Form and Rhythm.....	3-2
	Texture	3-3
	Details ..	3-3
	Guidelines for Design Principles	3-4
3.2	Modifications	3-5
	Project Planning Considerations	3-5
	Guidelines for Modifications	3-5
3.3	Additions	3-5
	Project Planning Considerations	3-5
	Guidelines for Additions	3-5
3.4	Infill Construction.....	3-6
	Project Planning Considerations	3-6
	Guidelines for Infill Construction	3-6
4.	Design Components.....	4-1
4.1	Foundations	4-1
	Project Planning Considerations	4-1
	Guidelines for Foundations	4-2
4.2	Walls, Trim and Ornamentation.....	4-2
	Project Planning Considerations	4-2
	Guidelines for Walls, Trim and Ornamentation	4-4
4.3	Windows, Doors and Openings.....	4-4
	Project Planning Considerations	4-4
	Guidelines for Windows, Doors and Openings	4-6
4.4	Entrances	4-6
	Project Planning Considerations	4-6
	Guidelines for Entrances.....	4-8
4.5	Roofs	4-8
	Project Planning Considerations	4-8
	Guidelines for Roofs.....	4-11
4.6	Decks and Patios	4-11
	Project Planning Considerations	4-11
	Guidelines for Decks and Patios.....	4-11
4.7	Accessibility and Life Safety	4-12

Project Planning Considerations	4-12
Guidelines for Accessibility and Life Safety	4-12
5. Materials	5-1
5.1 Masonry	5-1
Project Planning Considerations	5-1
Guidelines for Masonry	5-1
5.2 Wood	5-1
Project Planning Considerations	5-1
Guidelines for Wood	5-2
5.3 Metals	5-2
Project Planning Considerations	5-2
Guidelines for Metals	5-2
5.4 Paint	5-2
Project Planning Considerations	5-2
Guidelines for Paint	5-3
5.5 Contemporary Materials	5-3
Project Planning Considerations	5-3
Guidelines for Contemporary Materials	5-4
6. Preservation	6-1
6.1 Maintenance of Materials	6-1
Guidelines for Masonry Maintenance	6-1
Guidelines for Wood Maintenance	6-2
Guidelines for Metal Maintenance	6-2
Guidelines for Paint Maintenance	6-2
6.2 Prevention of Demolition by Neglect	6-2
Guidelines for Prevention of Demolition by Neglect	6-3
6.3 Relocation	6-3
Guidelines for Relocation	6-4
6.4 Demolition	6-4
Guidelines for Demolition	6-4
Considerations for Evaluation	6-5
7. Definitions and Architectural Terms	7-1
7.1 Definitions	7-1
7.2 Architectural Terms	7-4
8. Appendices	8-1
8.1 Downtown Historic District Map	8-1
8.2 Riverside Historic District Map	8-2
8.3 Department of Interior Standards for the Treatment of Historic Properties	8-3
Standards for Preservation	8-3
Standards for Rehabilitation	8-4
Standards for Restoration	8-5

Standards for Reconstruction	8-6
8.4 Links to Other Resources	8-7
New Bern Land Use Ordinance	8-7
New Bern Ordinance on Preservation	8-7
New Bern Ordinance on Waterfront Overlay Districts	8-7
New Bern Ordinance on Neighborhood Conservation Overlay Districts	8-7
New Bern Urban Design Plan	8-7
New Bern Historic Preservation Commission Web Site	8-7
New Bern Historic Guidelines	8-7
Historic Preservation Commission Policies and Procedures	8-7

1. Overview and Concepts

1.1 Purpose and Intent of Historic Guidelines

The purpose of the New Bern Historic District Guidelines is to help preserve the historic character and architectural fabric of New Bern. Historic landmarks and districts provide a link to New Bern's history, people, events and architecture that defines the character of New Bern and shapes its present identity. The intent is not to prevent physical change or impose particular architectural styles, but to moderate changes while protecting architectural gems and reducing dislocation caused by random change. The goal is to maintain our community's individual character and "sense of place."

This document serves as a guide to the New Bern Historic Preservation Commission and to property owners in the historic districts for maintenance, modifications, and additions to property. It summarizes procedures for review of proposed exterior changes and contains commentary and guidelines for a variety of activities that affect historic resources and the districts as a whole.

1.2 Your Responsibility as a Property Owner

Historic New Bern belongs to everyone. As an owner of a property within one of New Bern's local historic districts, you share a privilege as well as a responsibility. You benefit from protection of uncontrolled change, technical assistance for making changes that are sensitive to surrounding historic properties, and a pride of ownership of New Bern's historic fabric. However, you are not just a property owner; you are a steward to a part of New Bern's and North Carolina's history. As a steward of that heritage, you have a responsibility to preserve and maintain the distinctive characteristics of your property for the future. Any exterior change you make to a property, whether a structure or significant landscaping, requires you to contact Development Services to determine if a *Certificate of Appropriateness* is required. Failure to do so is a violation of New Bern's Land Use ordinance and is subject to fines.

1.3 New Bern's Historic Districts

German Palatine and Swiss colonists under Baron Christoph von Graffenried settled the City of New Bern in 1710 at the confluence of the Trent and Neuse Rivers. It possesses a rich historic and architectural heritage that is reflected in its historic districts.

The Downtown and Riverside historic districts contain a diversified collection of 18th, 19th and early 20th century residential and commercial buildings. Collectively these structures and their respective evolved landscapes stand as a testimony to New Bern's past and help to define the community's unique "sense of place."

1. Overview and Concepts

The New Bern Historic Preservation Commission (HPC) was established to aid property owners in preserving New Bern's historic and architectural resources. Created on April 22, 1980, this body has the primary mission to advise owners regarding preservation options. The HPC is vested with the mandate "to promote, enhance, and preserve the character of the districts and to encourage preservation activities throughout the city." This is accomplished by designating historic districts and landmarks, controlling demolition, and reviewing proposed exterior changes and infill construction.

Downtown Historic District

The architecture of New Bern reflects the history of the town, and its sustained prosperity that historically has been subject and receptive to major architectural trends. Although Federal architecture was New Bern's special forte, a variety of other styles are represented. The minor streets are quiet, punctuated by buildings set on large well landscaped lots shaded by stately trees dotted with clumps of mistletoe. Adding serenity to the town are the Neuse and Trent Rivers, which provide a magnificent backdrop. This atmosphere prevailed throughout New Bern until the early 1950s when Broad Street became a major east-west artery, cleaving the city in two.

*See Appendix for a map of the
Downtown historic district.*

The city was established in 1710, and at the request of Baron von Graffenried, John Lawson devised and laid out the plan, which, with some additions, remains intact. He explains:

Since in America they do not like to live crowded, in order to enjoy a purer air, I accordingly ordered the streets to be very broad and the houses well separated one from the other. I marked three acres of land for each family, for house, barn, garden, orchard, hemp field, poultry yard and other purposes. I divided the village like a cross and in the middle I intended a church. One of the principal streets extended from the bank of the River Neuse straight on into the forest [Broad or Pollock Street] and the other principal street crossed it, running from the Trent River clear to the Neuse River (Middle or Craven Street). After that we planted stakes to mark the houses and to make the principal streets along and on the banks of the two rivers [East Front Street and South Front Street].

Not only did the street scheme survive, but the idea of not liking to "live crowded" is still in evidence. With the exception of construction accomplished since the mid-20th century and four mid-19th century row houses, all residences are separate freestanding buildings each with a generous yard.

Historically New Bern has been dependent for its livelihood on its rivers and governmental sponsorship. The city's role as occasional host of the itinerant colonial assembly, the colony's first permanent capital, and the seat of Craven County helped foster her emergence as a port, and therefore as a mercantile center.

Because of New Bern's externally oriented economy, the city was exposed to national stylistic trends, which quite obviously had a great effect on architecture. The vast majority of structures express a high degree of academicism successfully rendered by skilled and sensitive craftsmen.

Nothing remains of the earliest buildings. A comparison of New Bern today with what C. J. Sauthier recorded on his 1769 map of the town finds only four buildings that tentatively are identified as surviving from that time.

Within the district, fourteen buildings with Georgian stylistic origins have been identified. The majority of them are simple, modest dwellings and most were updated during a later stylistic era. This is a scant number considering that more than thirty house carpenters and joiners are known to have been working in the county between 1748 and 1790. With the exception of a few houses attributed either to John Hawks or James Coor, the architect-builders of most buildings cannot be identified. It can be assumed that natural attrition combined with disasters like the hurricane of September 1769, and the fires in the fall of 1791 and 1794, and that of February 1798, which burned the Governor's Palace, eradicated much of the evidence of the early town.

Within the last two decades of the 18th century, the population of New Bern more than doubled, and the physical area of the town accordingly expanded north and west. Judging from remaining evidence, growth of the population and area continued in the first decades of the 19th century. Obviously, the town was enjoying a new high level of prosperity, a prosperity fueled by commercial and mercantile endeavors that enabled affluent merchants like John Harvey, Eli Smallwood and Isaac Taylor to build ambitious town houses. It was during this same era of prosperity that the town produced civic and cultural symbols of urbanity, most notably the New Bern Academy, the Masonic Temple and Theater, and the First Presbyterian Church.

The New Bern version of Federal architecture is Adamesque; it is restrained and elegant and, above all, sophisticated. A typical Federal domestic structure has the following elements: two and one half stories; a side hall plan, two rooms deep, three bays wide and four bays deep; a gable roof; gable dormers; exposed face interior end chimneys; a one-bay pedimented porch; an entrance composed of a six-panel door, with four flat above two flush panels, and geometrically ornamented transom above. Although interior treatments vary considerably, three-part mantels are universal.

While the side hall plan was certainly the most prevalent Federal form, center hall and asymmetrical versions were built as well. A concentration of those forms exists on Pollock Street in the area west of Tryon Palace, but others are scattered throughout the town. Usually they are two or two-and-one-half story frame structures, three of which are constructed of brick, and with gable roofs, although three have gambrel roofs, and Federal interior woodwork.

In the Federal era the authorship of several buildings can be attributed with varying degrees of certainty to Martin Stevenson, John Dewey, Robert Hay and Uriah Sandy, four of some forty architect-builders established in the county between 1790 and 1835. As in the Georgian era, this leaves the majority of structures unlinked to a specific designer.

The Federal style persisted in New Bern well into the 1840s, long after it had been superseded by the Greek Revival style in other towns. This was by no means a result of cultural lag; rather it would seem more likely to be a product of

1. Overview and Concepts

conservative mercantile interests, a proposition set forth by Talbot Hamlin in *Greek Revival Architecture in America*.

The importance of such mercantile interests in New Bern, combined with the habits of the craftsmen, provide a cogent explanation for the longevity of the Federal style in the city.

The town clung so tenaciously to Federal architecture, in fact, that it scarcely acknowledged the existence of other styles. Concessions to the Greek Revival style usually appear on the interiors of buildings and take the form of symmetrically molded architraves with corner blocks. In only a very few cases are classical Greek motifs employed externally.

By the time New Bern rejoined the mainstream of architectural trends, the Greek Revival style was waning, and mid-19th century eclecticism was flourishing. The town began to experiment with new styles in the 1840s. The incidence of buildings constructed in the pre-Civil War eclectic era is lower than that of earlier eras. This is probably due in part to the suspended growth of both the population and wealth of New Bern.

While participating in the national architectural mainstream, New Bern retained a degree of independence of design and materials as evidenced in the coquina wall and arched gateway of Cedar Grove Cemetery constructed by the town in 1854.

The post-Civil War era saw New Bern fully integrated into the prevailing national stylistic modes of Second Empire, late Italianate Revival, Romanesque Revival, Queen Anne, Stick Style, Eastlake, and Shingle. A substantial portion of the late 19th century domestic structures, especially the more massive ones, have met with destruction, but a few of them, plus a number of smaller, more manageable houses survive.

In the early 20th century, New Bern experienced a building boom, which in volume came close to rivaling the Federal boom. The economic revitalization of the town was largely a result of the lumber industry, which produced magnates desirous of living in and capable of paying for the most impressive houses their money could buy. Obliging these clients was local architect Herbert Woodley Simpson, who is credited with the design of every important structure built in New Bern in the first two decades of the 20th century. A versatile designer, Simpson excelled in the Queen Anne and Neo-Classic Revival styles, and often combined the two. While practicality and "progress" have taken their toll on many of his impressive Neo-Classic Revival structures, a few have survived. They testify to the prosperity and taste of early 20th century New Bernians.

Riverside Historic District

The Riverside Historic District is composed of approximately 15 blocks of largely residential development along the banks of the Neuse River in northeast New Bern. Laid out in a grid pattern aligned with National Avenue, a preexisting street leading to the National Cemetery, subdivisions in 1894 and 1912 created New Bern's first suburb out of farmland. Within the Riverside District are modest, but representative one- and two-story examples of Classical Revival,

See Appendix for a map of the Riverside historic district.

Late Queen Anne, Craftsman and Colonial Revival styles in a variety of house forms, principally with the traditional New Bern side hall plan. Also within the district are the Italian Renaissance Revival style Riverside School and the Gothic Revival influenced Riverside Methodist Church, as well as several small industrial and commercial buildings. There are 178 contributing and 35 noncontributing buildings within district boundaries. While many of the buildings have received some alteration, individually and as a group, they retain their integrity of design, setting, materials, workmanship and feeling.

National Avenue is the main street running through the district from the southeast to the northwest. To the east and parallel with it are North Pasteur and North Craven streets, the other principal roads. North Craven's east side provides one boundary of the district. The adjacent river property was originally platted as house lots, but was developed as industrial property and has gone through a series of uses. Running along the western side of the district is the line of the Atlantic and North Carolina Railroad, which predates Riverside and precluded the development of north-south roads to the west of National Avenue. The western boundary of the district follows the line of pre 1935 development in the side streets west of National Avenue.

Perpendicular to the main avenues are evenly spaced side streets, beginning with Guion Street at the south and reaching to North Avenue, whose south side forms the northern end of the district and defines the furthest extent of pre-World War II development.

The former farmland on which Riverside was platted is flat. Large oaks line National Avenue on both sides, and the remainder of the district is characterized by the presence of a considerable number of mature trees of a variety of species located in no particular pattern.

The two subdivisions which made up Riverside each had a different system of laying out lots, neither of which was completely uniform. Lots were also recombined before building, creating further variety in lot size. In the 1894 plat, larger lots were laid out along the west side of National Avenue, but the largest and most pretentious houses in the district are found equally along both sides of National Avenue. The east side of National Avenue and the remainders of the blocks were laid out with long, narrow lots, some with only 41-foot frontages. The relative uniformity of appearance in Riverside owes much to New Bern traditions of building close to the street, thus creating consistent setbacks, and of placing houses close together.

There is no formal open space within the district. The largest open space is a half block on Dunn Street between North Pasteur and North Craven streets, formerly the site of a tobacco factory. Another set of undeveloped lots is located at the southeast corner of North Pasteur Street and Avenue D, adjacent to the Maola Company and individual undeveloped lots are scattered throughout the district. The interiors of the alley-less blocks contain trees, gardens, garages, and other outbuildings.

With only a handful of exceptions, buildings in the Riverside district are relatively modest, owner or contractor designed, with simple or no

1. Overview and Concepts

ornamentation. All are one or two stories and although there is a scattering of brick houses throughout the district, the greater number are frame, sheathed with clapboards or wood shingles. Standing seam metal roofs predominate.

Many of the residences in the district have garages, some contemporaneous with the house or constructed before the 1930s, and almost always located at the rear of the property. Most are relatively small, of frame construction, and with gable roofs. Exceptions include the hipped roofed, brick garage of the William Dunn House and the garage apartment of the Turnbull House.

Domestic building in the Riverside district is almost entirely in four styles: late Queen Anne, Classical Revival, Craftsman and Colonial Revival. These styles are applied to a variety of house forms. The most common house form in the district, and one that was popular in other areas of New Bern in the early 20th century, is the narrow and deep, two or three bay gable end two story house. These frame houses have side hall plans, often with rear ells, and generally either a small portico or a full width porch at the front. One variant of this house type has a gable roofed, two-story bay at one corner of the front elevation, like 1112 and 1114 National Avenue. Another variant of the form has a hipped instead of gable roof, with or without a front dormer. Both Guion and Dunn Streets have rows of these simple dwellings constructed as rental housing. More sophisticated versions of the same house have pedimented gables, classically detailed porches and wings or bays, like the William T. Hill House at 1202 National Avenue or the Smith-Hawkins House at 1214 North Pasteur.

Another well represented house type in the district is the foursquare; two or three bays wide, with a hipped roof and a full width porch across the front. Unlike foursquares elsewhere, however, these houses for the most part employ the side hall plan. A number of good frame examples of this form are located on both sides of the 1200 and 1300 blocks of National Avenue. Also located on National Avenue are several large, Classical Revival styled foursquares with L-shaped front porches, including the J. O. Baxter House and the O. A. Kafer House. A variety of bungalows may be found in the district, mostly in the Craftsman or Classical Revival styles, and predominantly of frame construction. Most typical are cross gable forms like the D. M. Parker House at 1408 National Avenue. Bungalows with jerkin headed front gables or hipped roofs are also common. At the northeast corner of the district are a row of three, one story frame bungalows whose gabled front porches have a distinctive exposed trusswork. Perhaps the most unusual bungalow in the district is the one at 1412 National Avenue, which has three oversized, hipped wall dormers protruding through its hipped roof.

The oldest house in the district, the mansard roofed William R. Guion House at 1203 National Avenue, is its only Second Empire influenced residence.

Two buildings in the district attributed to architect Herbert Woodley Simpson have noteworthy designs outside the vernacular tradition. The Prairie Style William Dunn House at 1404 National Avenue has a high, pressed brick first floor with a broad arch at the front that supports the shingled upper floor. Its complex slate roof with deep eaves has multiple hipped dormers. Behind the house is a hipped roofed, brick garage with tin shingled dormers on each elevation. Across the street from the Dunn House is the Robert Turnbull House,

a Colonial/Classical Revival style residence sheathed in wide cypress boards that presents an asymmetrically arranged broad front to the street, dominated by an off center, Tuscan-columned front porch.

Riverside Graded School and Riverside United Methodist Church, the two institutional buildings in the district, are distinctive in design. The Riverside Graded School of 1922 is a well composed, two story Italian Renaissance design in red brick with glazed terra cotta trim and barrel tiled cornices. Riverside Methodist Church, constructed 1919-1920, is an unusual adaptation of the Late Gothic Revival style to an essentially square church, with an octagonal central sanctuary that rises above the rest of the building.

1.4 Historic Preservation Commission

The New Bern Historic Preservation Commission (HPC) is a public board in the City of New Bern responsible for preserving the City's historic and cultural resources. Enabling North Carolina statutes and New Bern city ordinances related to preservation are provided in a separate document on the City of New Bern website. The HPC's guidelines, policies and procedures can also be found on the City of New Bern website or by contacting the HPC administrator in the Department of Development Services.

The HPC is composed of nine members appointed by the Board of Aldermen to serve a three-year term, and not more than two consecutive terms. Members must reside within the City's corporate limits or within its designated Extraterritorial Planning Jurisdiction, and have a demonstrated special interest, experience or education in architecture, history, historic preservation or related field.

Meetings

The HPC meets on the first and third Wednesday of each month. The first Wednesday of each month is the HPC's work session. Property owners may consult the HPC about a specific project, but there is no public comment on a proposal. The third Wednesday of the month is the HPC's regular business meeting where public hearings are held for *Certificate of Appropriateness* (COA) applications. The applicant, or representative of the applicant, must be present to approve a COA. The HPC also considers other matters at this meeting that require formal action. The location, meeting times and agendas are published on the City of New Bern website. Work sessions and regular business meetings are open to the public.

1.5 Key Concepts

The HPC's jurisdiction extends over exterior attributes of an entire property. Changes are evaluated in terms of impact on the property and the surrounding area. Key factors considered by the HPC in evaluating exterior changes or infill construction are described more fully.

1. Overview and Concepts

Contributing and Noncontributing Structures

A *contributing structure* is at least 50 years old and is listed in the Department of Interior's historic district inventory of structures. The inventory is created as part of the process for designating the historic districts. As buildings reach 50 years in age, they may also be considered contributing structures.

A *noncontributing structure* is usually less than 50 years in age or is considered not to have significant historic, architectural or cultural value. Changes to noncontributing structures require a COA to ensure compatibility with the surrounding historic fabric of contributing structures.

Determining if Change is Not Incongruous

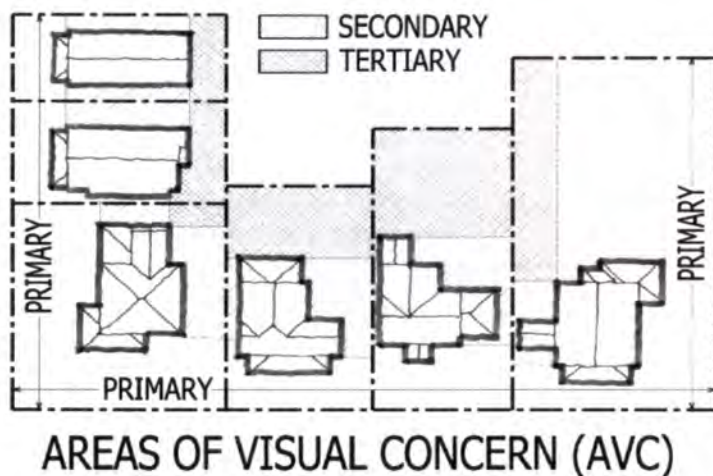
The HPC is tasked with using the historic guidelines to determine whether changes to a structure, both contributing and noncontributing, are *not incongruous*, or complimentary to the special character of the historic districts. A number of factors are considered including:

- relationship to other structures on adjacent properties, the street and the historic districts
- mass, proportion, scale, style, details and materials proposed for use

The applicant must prove that their proposed changes are not incongruous. The HPC can deny an application only if it determines that the proposed changes are incongruous.

Areas of Visual Concern

Each portion of a property is divided into *Areas of Visual Concern (AVC)*.



The **Primary AVC** is the most important area because it is generally located directly adjacent to the street, and therefore, is the most visible. Inappropriate changes in Primary AVC severely alter the character of a building or site and compromise the integrity of the streetscape. Thus, great care is taken to ensure appropriate changes in this area.

The **Secondary AVC** includes areas that are not directly adjacent to the street but are visible from the street. A secondary area plays an important role in defining the character of the site because of the transitional space between the public street and private rear yard.

The **Tertiary AVC** includes areas generally not visible from the street. Areas concealed from street view afford the greatest flexibility to accommodate changes within the context of the guidelines.

Scope of Changes

New Bern's historic guidelines cover only exterior changes to properties in the historic districts. Exterior changes are divided into four categories.

Normal maintenance and repair constitutes work that does not involve a change in material or design of a structure's exterior architectural features, or landscaping that does not significantly change a property's appearance from the street.

Replacement-in-kind means repairing an existing feature or replacing a feature **using the exact same material, size, scale, and detail**. Only replace architectural features that have deteriorated beyond a state where they can be repaired. Do not remove or replace original architectural features, such as doors or windows, out of convenience. **Property owners shall contact the Department of Development Services before proceeding with replacement-in-kind work.**

Minor work constitutes alterations to a structure or site that do not significantly impact a property and are consistent with the New Bern Historic District Guidelines. A listing of minor works is found on the City of New Bern website. The HPC administrator may issue a COA for minor work items. The HPC administrator may at any time forward minor work items to the HPC for formal review. **Property owners shall contact the Department of Development Services before proceeding with minor work.**

Major work constitutes alterations to a structure or site not classified as a minor work, including infill construction or demolition, and those changes located within in a Primary AVC. Major works must be approved by the HPC and receive a COA. A summary of the COA process is described in the guidelines and is detailed in the *HPC Policies and Procedures*. Refer to the New Bern Historic District Guidelines for allowable exterior changes, and contact the HPC administrator for technical assistance.

Determining Contributing Structures

In-depth surveys of contributing structures within New Bern's historic districts are infrequently conducted, overlooking potentially important structures that

1. Overview and Concepts

have come of age and now meet the Department of Interior and the State Historic Preservation Office (SHPO) criteria for contributing structures. In certain cases, records from past surveys may be incomplete, conflicting or disputed by the owner.

When a COA application involves a structure not listed in the inventory, the first step is to determine whether it is a contributing structure.

- Any unlisted building 50 years of age or greater will be evaluated for contributing structure status. An unlisted building determined to be more than 50 years of age does not have to be treated as a contributing structure if the HPC determines that it has no architectural, cultural, or historical significance. Any structure less than 50 years of age will be considered noncontributing unless the HPC finds that it clearly possesses exceptional architectural, cultural, or historical merit.
- The age of a structure will be based on relevant information including tax assessor data, deeds, historical surveys, maps and pictures of verifiable sources and dates. The HPC will also consult with the SHPO and ask for a documented evaluation. In the event that the HPC and SHPO cannot make a reasonable determination of the age, the applicant shall have the privilege of stipulating the age.
- Findings and relevant information leading to contributing status will be documented.
- If the determination of a structure is based solely upon age, the property owner may request a detailed SHPO review to confirm its status. Following SHPO review, the HPC will consider the evaluation in making a final determination.

The HPC will update the inventory list to include newly designated contributing structures.

1.6 Obtaining a Certificate of Appropriateness

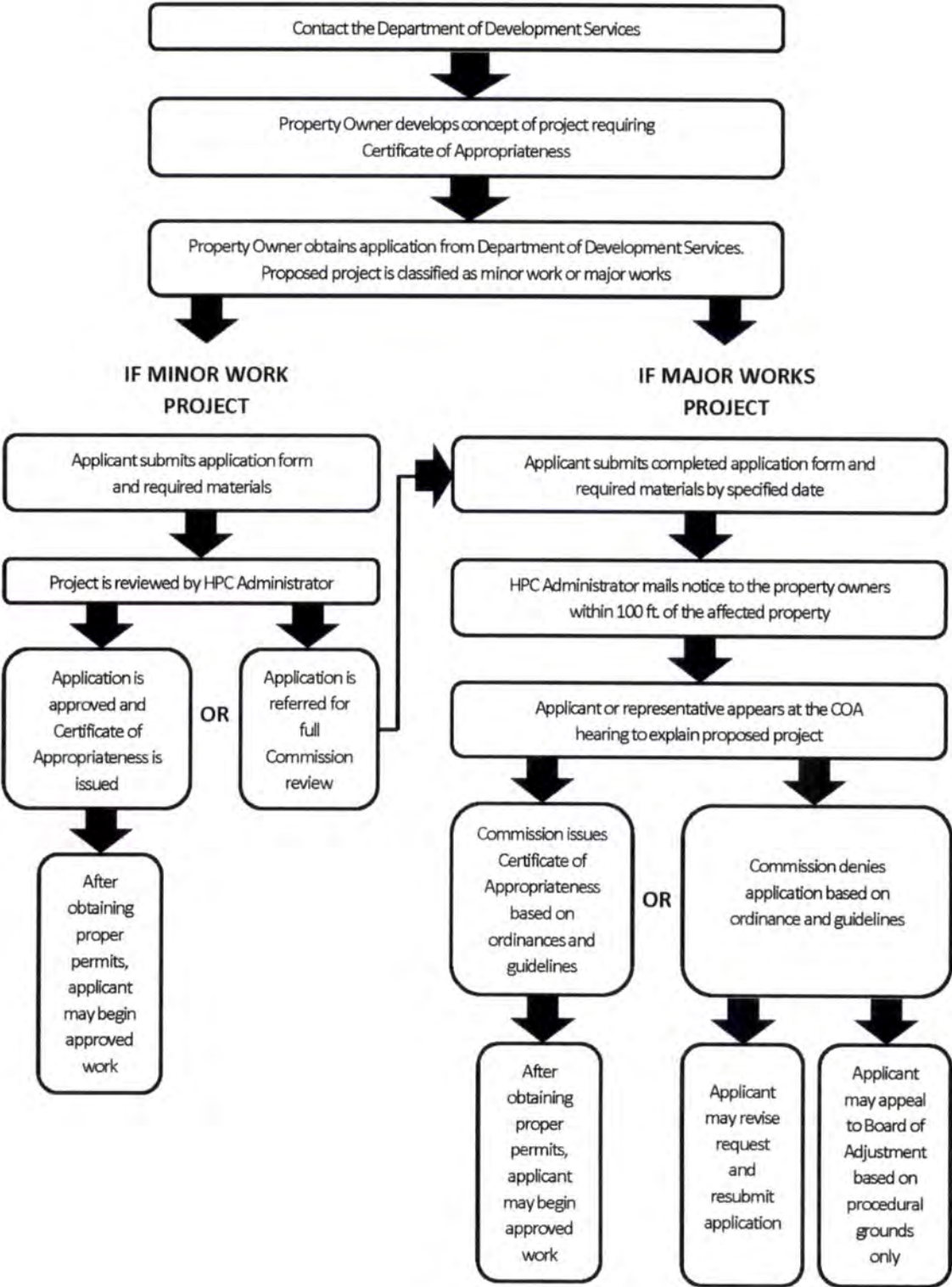
A **Certificate of Appropriateness (COA)** is required before making changes to the exterior of a property in the historic districts. Changes are categorized as *minor works*, which are alterations that do not significantly impact a property, and *major works*, which are significant alterations that affect the appearance or architectural fabric of a property.

A COA application must be submitted to the Department of Development Services, and may require a COA hearing and approval by the HPC. COA applications are obtained from the City of New Bern website or from the City of New Bern's Department of Development Services.

Property owners considering projects in the historic districts are encouraged to take advantage of free technical advice and design assistance offered by the HPC and Department of Development Services staff prior to submission of a COA application. Staff is available to answer questions and guide applicants through the COA process.

Additional permits, such as building permits, may be required for a project. A COA does not supersede land use and zoning requirements and does not replace requirements for other permits.

Certificate of Appropriateness Process



1. Overview and Concepts

Review Process for Minor Works

Minor works are changes that do not significantly impact a property and are consistent with the New Bern Historic District Guidelines. A COA for a minor work typically does not require a formal public hearing. The HPC administrator will advise the property owner to ensure compliance with historic guidelines. The HPC administrator may submit a minor work application to the HPC for formal approval depending on the nature of the proposed changes. The HPC administrator can issue a COA for minor work items after a completed application is reviewed with the applicant.

A list of minor works that can be approved by the HPC Administrator is maintained and updated by the HPC. The complete list is available on the City of New Bern website. The HPC, during a design review work session, can direct the HPC Administrator to process applications of limited scope as a minor work.

Review Process for Major Works

Major works are significant exterior alterations to a structure or site, including additions, infill construction and demolition. Major works must be approved by the HPC and receive a COA.

Design Review

A **Design review** of a COA application can lead to faster approval and is strongly recommended for any **major works**.

The purpose of the design review is to:

- Familiarize an applicant with historic guidelines
- Familiarize the HPC with an application
- Provide project feedback
- Address application questions or issues

A design review can take place before formal submission of an application. Large, complex projects often require multiple design reviews.

The HPC administrator will help determine if a design review by the HPC is needed. Design reviews are typically held during the HPC's work sessions on the first Wednesday of the month.

Application Submission and Formal Review Process

A complete COA application **including supporting materials** must be submitted to the Department of Development Services at least fourteen calendar days prior to the HPC's next regular meeting in order for a COA hearing to be placed on the agenda. COA applications are available for public review in the Department of Development Services.

The HPC administrator is responsible for ensuring that a COA application is complete and complies with applicable city ordinances and codes. Application issues are communicated to the applicant. Ultimately, the HPC will determine the completeness of an application, and additional information may be required.

Hearings

The HPC is required by state statutes and city ordinances to conduct a hearing on proposed major changes to a property in the local historic districts. A hearing is conducted as a quasi-judicial hearing, where a decision is based on the evidence and testimony presented by the applicant and those who have standing. Allowable testimony and evidence must directly relate to relevant guidelines. The applicant has the burden of proving that proposed changes are not incongruous with New Bern Historic District Guidelines. The HPC cannot deny changes unless they are determined to be incongruous.

A **COA hearing** is the typical type of hearing for an application. Property owners within 100 feet of the project are assumed to have standing to provide testimony at a COA hearing.

A **public hearing** may be called by the HPC for a large project that may materially affect property owners beyond 100 feet. The HPC may elevate a COA application to a **public hearing**. In such an event, property owners beyond 100 feet are assumed to have standing to provide testimony.

Hearings normally occur at the HPC's regular meetings on the third Wednesday of each month. The property owner or their designated representative must attend the public hearing, present the application, and address application questions and concerns.

The HPC may approve, approve with conditions, or deny a COA application. Action on an application must be taken within 180 days of submission. Action on most applications is decided at the hearing. Work may not proceed until the owner has an approved COA in hand.

Preconstruction Conference

If a COA has been issued by the HPC, a preconstruction conference may be required prior to the issuance of building permits. This meeting is arranged by the applicant with the Department of Development Services to discuss the COA and to ensure that the project is executed as specified. Meeting attendees must include the following:

- Property owner or designated representative
- Contractor
- Chief building inspector
- HPC administrator

1.7 Archeology

The historic districts of New Bern are more than a collection of buildings and their associated landscapes. Historic resources are very likely to include artifacts that are below ground and within the rivers. Archaeological artifacts can provide important clues regarding the location and configuration of long removed outbuildings, additions, porches, and landscape features such as walkways and plantings. Remnants such as foundations, wells, postholes, trash pits, shipwrecks and submerged pilings may also show the evolution of building development and human activities associated with a site. This knowledge conveys an understanding of our interactions with the environment throughout history.

1. Overview and Concepts

The geographic location of the City at the confluence of the Neuse and Trent Rivers has made this area an ideal settlement extending back to prehistoric times. Several archaeological sites have been located and studied within the historic districts; however, it is very likely that unknown archaeological resources will be identified through the natural course of ground disturbing activities. Given this probability, efforts must be made to protect valuable resources in their natural, undisturbed setting upon discovery.

1.8 Additional Support

Public and private organizations involved in local preservation efforts can be found in Section 8. *Appendices*.

State Historic Preservation Office

The *State Historic Preservation Office (SHPO)* assists citizens, organizations, local governments and state and federal agencies in identifying and protecting places significant in North Carolina history. The SHPO frequently provides information and technical assistance related to COA applications to property owners and the HPC.

The main SHPO office is in Raleigh, with regional offices in Asheville and Greenville. SHPO prepares nominations submitted to the National Register; oversees the statewide architectural survey; administers the Certified Local Government program, Rehabilitation Tax Credit program and Environmental Review; and provides public awareness and training programs.

Certified Local Government (CLG) Program

The *Certified Local Government (CLG) Program* is a federal program administered by the SHPO that allows local governments to participate in the national historic preservation program. A benefit of CLG status is eligibility to compete for CLG historic preservation grant funds. In North Carolina, the following is required for local government certification:

- Have an active and legally adequate historic preservation commission, with a designated paid staff person, that enforces appropriate state and local legislation for the designation and protection of historic properties.
- Maintain a system for surveying and inventorying historic properties that is compatible with the statewide survey.
- Provide adequate public participation in the local historic preservation program, including the process of recommending properties for the National Register of Historic Places.
- Satisfactorily perform responsibilities delegated under the 1966 National Historic Preservation Act.

National Park Service Technical Briefs

The National Park Service provides *Preservation Briefs* for guidance on preserving, rehabilitating, and restoring historic buildings. These publications

recognize and resolve commonly encountered problems, and recommend methods and approaches for rehabilitating historic buildings. The HPC may use preservation briefs for guidance when evaluating a COA application. Refer to <http://www.nps.gov/tps/how-to-preserve/briefs.htm>.

1.9 Worksheet for COA Evaluation

A worksheet is available to aid in the navigation of the Historic District Guidelines and to help evaluate proposed changes in a COA application. (See the next page.) Rows in the worksheet correspond to the sections in the Guidelines. Columns correspond to types of changes. Boxes shaded in green under a column heading are most likely to apply to a type of change and should be considered first. Unshaded boxes may also apply to a COA application depending on the nature of proposed changes.

This worksheet can be downloaded from the HPC website or it can be obtained from the HPC administrator. The green shading identifies guideline sections that are likely applicable to the type of proposed changes.

COA Evaluation Worksheet				
Type of Proposed Changes →	Modifications	Additions	Infill Construction	Replacement in Kind
Guideline Sections to Consider ↓				
Overview and Concepts (Part 1) <ul style="list-style-type: none"> Property Owner Responsibilities Minor vs Major Work Obtaining a COA Contributing vs Noncontributing Archeology 				
Site and Setting (Part 2) <ul style="list-style-type: none"> Development Pattern Placement of Primary Structures Public and Open Spaces Utilities Landscaping Fences and Garden Walls Accessory Structures Parking Signage Waterfront Modifications 				
Design Attributes (Part 3) <ul style="list-style-type: none"> Scale, Mass and Proportion Form and Rhythm Texture Details 				
Design Components (Part 4) <ul style="list-style-type: none"> Foundations Walls, Trim and Ornamentation Windows, Doors, and Openings Entrances Roofs Decks and Patios Accessibility and Life Safety 				
Materials (Part 5) <ul style="list-style-type: none"> Masonry Wood Metals Paint Contemporary Materials 				
Preservation (Part 6) <ul style="list-style-type: none"> Maintenance of Materials Prevention of Demolition by Neglect Relocation Demolition 				

Version 20170317

1. Overview and Concepts

2. Site and Setting

2.1 Development Pattern

Project Planning Considerations

Development patterns have been in existence far longer than zoning, and existing buildings establish an understandable rhythm along the streetscape without historical regard for land use. The historic districts of New Bern have three types of development patterns, each of which is a record of a particular era in urban development and evolution.

Dense Fabric

A pattern of *dense fabric* features minimal yards, if any, most often reduced to small planting beds or planters. A dense fabric is created by structures that typically abut the front property line and share a common wall with neighboring structures. The streetscape is a defined facade, with periodic openings accommodating narrow walkways that generally lead to an alley or interior of the block. An example is the downtown commercial district.



Example of dense fabric development pattern.

Institutional uses, particularly churches, are often emphasized within a dense fabric pattern by slightly setting back from the right of way and side property lines and breaking the continuous building line to create a focal point within the development pattern.

Tight Weave

A *tight weave* pattern is the most common, representing a consistent rhythm of facade to landscape. Structures that create a tight weave pattern have a front yard, and generally sit forward on a lot and front the street. Side yards tend to be narrow, ranging in widths that only accommodate pedestrians to widths sufficient for vehicle passage. The rear yard tends to be larger and is buffered from the street by a primary structure, creating privacy and garden areas. An example is the typical residential street in Riverside or Downtown.



Example of tight weave development pattern.

Buildings within the *tight weave* development pattern have variable setbacks from the right of way but occur within a narrow range that parallels the streetscape. Although there are exceptions, the majority of structures front the street ten to twenty-five feet from the right of way. This placement creates a front yard transitional space where the structure bridges between the public streetscape and the private rear yard. The rhythm of structures is spaced closely enough to create a defined edge, but this edge is softened with penetrating side yards.

Waterfront Development

Waterfront development is a pattern that typically features an isolated structure on an oversized parcel. These properties front the Trent and Neuse Rivers and are surrounded by expanses of landscaping or parking. The footprint, scale and proportion of structures tend to be oversized as compared to more historic development. Wharves historically lined the waterfront of New Bern, driving its early economy and creating the financial resources that spawned the *dense fabric* and *tight weave* development patterns. Following transformation by urban

2. Site and Setting

renewal, property values and economies of scale have given birth to the modern *waterfront development* pattern.

Placement of structures within the *waterfront development* pattern is a response to a more modern, larger scale where building functions are influenced by the automobile. Building scale is significantly larger than nearby historic structures, and views of the river largely play into building organization and use. Waterfront development typically fronts the public walkway along the rivers, and placement tends to be toward the center of the land parcel leaving relatively large expanses within front and side setbacks, much of which is used to support parking or storm water management. Consistent placement and complimentary design elements unify the streetscape and visually buffer more than two hundred years of architecture from the rivers.



Example of waterfront development pattern.

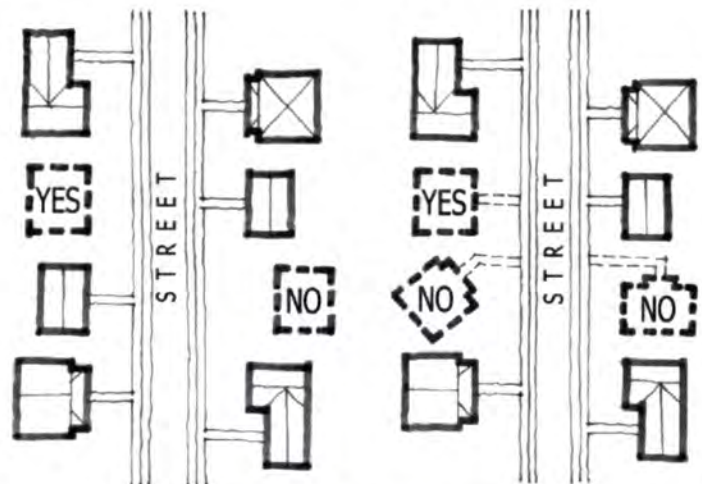
Narrow Stitch

Narrow stitch is a historic development pattern unique to the City of New Bern. It was introduced to the Downtown Historic District in 2007 as a planned unit development influenced by Neo Traditional and New Urbanism planning philosophies. Lots are organized in long, narrow rows that front the street. The spacing between structures is minimal, creating public façades with porches and steps at the sidewalk and private rear façades. A service alley is located at the rear yard, removing utility distribution, garbage collection, curb cuts and driveways from the Primary AVC. Rear yards are minimal, if not completely absent when the rear façade fronts the alley.

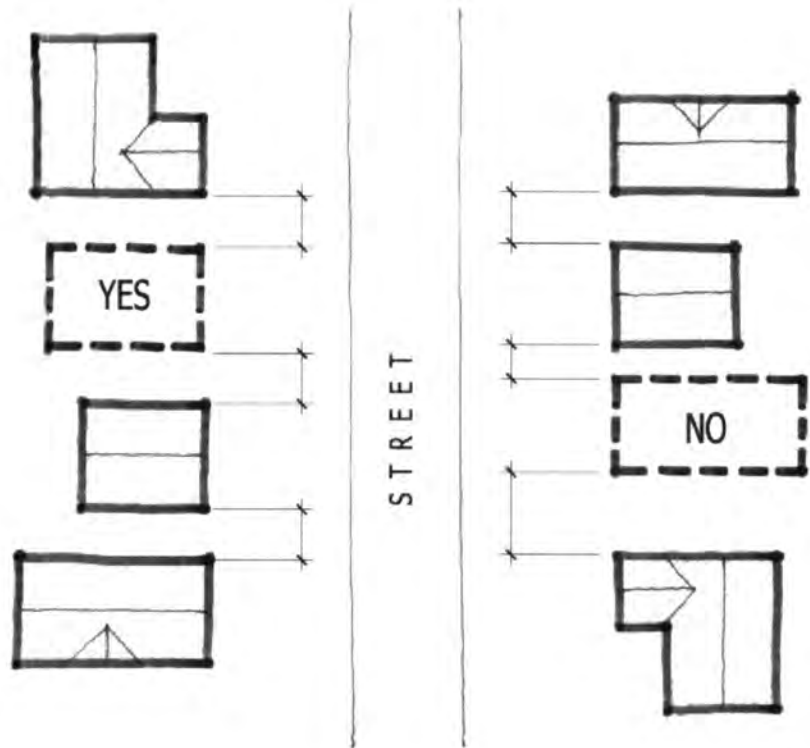
Buildings within the narrow stitch development pattern have a very tight rhythm that is often vertically emphasized by the presence of multiple stories. Building massing and roofs typically consist of simple forms, and side yard facades are largely void of fenestration except for the occasional balcony. These lot proportions, coupled with the absence of sizable yard space, often lead to double porch and rooftop decks that create private outdoor spaces and capture surrounding views.

Placement of Structures

The relationship between open space, building mass and scale in the historic districts is essential to preserving the character of the streetscape and the historic districts as a whole. Separations between buildings provide areas for plantings and gardens. The repetition of these elements establishes a streetscape rhythm that enhances the pedestrian experience. Parcels are subdivided and lots are developed over time, creating variations in the ratio of open space to building mass from block to block. Preserve the established open space to building mass relationship created by historic structures on a given block.



PLACEMENT OF STRUCTURES



SPACING OF STRUCTURES

One of the most important character defining features of the historic districts is the presence of view sheds, or view corridors, that highlight particular buildings or capture pockets of open space. Views to and from the Trent and Neuse Rivers, the patterns and rhythms established by buildings within the streetscape, and profiles of landmarks on the skyline communicate the totality of New Bern's historic districts.

Guidelines for Development Pattern

- 2.1.1 Maintain the established development pattern for placement of infill construction. The relationship of a structure to the property boundaries should be similar to those up the street, down the street and in most cases, across the street.
- 2.1.2 There are areas within the historic districts where the development pattern may have been weakened by vacant lots and nonconforming structures. In such areas, preference shall be given to contributing structures when defining the development pattern for infill construction.
- 2.1.3 The footprint, scale and proportion of infill construction shall be in keeping with neighboring properties. In general, it is not appropriate to construct a three-story structure in an area that is dominated by one-story structures.

2. Site and Setting

2.2 Public and Open Spaces

Project Planning Considerations

New Bern is fortunate to incorporate parks and public spaces within its historic districts. These open spaces contribute to New Bern's scenic beauty and quality of life. Small alley parks, large waterfront parks, neighborhood playgrounds and sculpture gardens promote a pedestrian friendly atmosphere. When planning parks and public spaces, it is important to consider their location, views, impact on adjacent properties and potential public uses. For example, space for a pavilion or bandstand can be created in a waterfront park by encircling a large lawn with a waterfront promenade. This creates an ideal location for gatherings and events.

Guidelines for Public and Open Spaces

- 2.2.1 Introduce public art, statuary, artifacts, memorials, and fountains as focal points in spaces that do not obscure historic buildings or their architectural features. Consider the scale and historic context of art features when determining the setting and location.
- 2.2.2 Incorporate streetscape furniture and pavement treatments recommended in the New Bern Urban Design Plan when improving sidewalks and streets within the right of way. Furniture, trash receptacles, mailboxes, newspaper racks and similar elements shall be of a scale that does not detract from historic properties.
- 2.2.3 Locate playgrounds and play equipment in Secondary and Tertiary AVCs. Do not obscure historic buildings or their architectural features.

The Urban Design Plan can be found on the City of New Bern's website

2.3 Utilities

Project Planning Considerations

Integrating utilities into historic district landscapes is one of the greatest challenges. Multiple installations of disorganized utilities often result in visual clutter. Locate utilities and equipment in a manner that preserves landscape features and historic building fabric. Frequently, utility equipment must be elevated above the floodplain. Locate equipment in Secondary and Tertiary AVCs, and screen items from public view with vegetation, fencing and similar site constructions. Install underground utilities when possible.

Work within the right of way requires a COA. Improvements proposed by private property owners and public utility providers, regardless of ownership or source of funding, are subject to evaluation for compatibility with historic district streetscapes.

Illumination of the streetscape within historic districts provides visibility and security, and is encouraged. Exterior lighting can be effectively used to highlight and reinforce a building's architectural character or to establish a landscape theme. Do not implement lighting that creates distraction by overemphasizing a structure or site. Lamping shall emit a warm spectrum, or white, light.



Place satellite dishes in a Secondary AVC or in areas that are not visible from the public right of way.

Guidelines for Utilities



Utilities shielded from view with hedges.

- 2.3.1 Locate equipment in Secondary and Tertiary AVCs and screen items from public view with vegetation, fencing and similar site constructions. It is recommended that utilities be consolidated in common locations.
- 2.3.2 Paint equipment and exposed utilities to compliment mounting surfaces and reduce their visibility.
- 2.3.3 Install utilities underground when possible to minimize visual clutter. Use mechanical methods to bore beneath landscaping, sidewalks, drives and fences.
- 2.3.4 Evaluate utilities and equipment installed in the public right of way, such as utility poles, street lights, railroad crossing signals, signal boxes and similar items, for their visual impact on the streetscape. Install multiple utilities on common poles.
- 2.3.5 Consider a selection of tree species that will not interfere with overhead utility distribution. Where conflict occurs, replace canopy trees with smaller scale, understory trees and shrubs.
- 2.3.6 Install light fixtures in locations that complement the character of historic structures and sites. It is not appropriate to replace original light fixtures. Lamping shall emit a white light. Illumination shall provide visibility and security without overemphasizing a structure, parking area or site.
- 2.3.7 Incorporate street and pedestrian light fixtures referenced in the New Bern Urban Design Plan when improving sidewalks and streets within the right of way.

2.4 Landscaping

Project Planning Considerations

Landscape elements play an important role in defining the “cultural environment” of New Bern’s historic districts. Mature trees, hedgerows, foundation plantings, gardens, grassy lawns, patios, fences, and walls contribute to the character of streetscapes and structures. Improvements within the right of way, such as curbing, sidewalks, planting strips and trees, also enhance the landscape. These landscape features are typical to a *tight weave development pattern* and enhance the pedestrian experience.

Private lawn and garden areas also characterize the historic districts. Gardens are generally located in rear yards, or in the side yards of larger lots. These lush landscapes, both formal and informal in presentation, are characterized by a variety of plantings ranging from mature canopy trees to flowering shrubs to perennial bulbs. Preserve and propagate plant species that are indigenous to New Bern.

Many gardens are surrounded by fences, walls or hedgerows that delineate property lines and demarcate boundaries between private lots and public rights of way. Preserve historic fences, walls, and plant rows. Introduce new elements to the landscape that are compatible with the site and with the styles of fencing found throughout the districts.



This house in the Riverside Historic district has a traditional landscape of mature street trees, a hedgerow, mature shrubs, and seasonal plantings near the porch

2. Site and Setting

The *dense fabric development pattern* is landscaped within the public right of way. The New Bern Urban Design Plan recommends streetscape improvements that unify blocks of tightly abutting structures. Enrich the pedestrian experience by selectively placing sidewalk pavement, lighting, street trees, public art and street furniture between curbing and the building frontage.

Guidelines for Landscaping

- 2.4.1 Maintain mature canopy trees. Mature tree removal and its replacement species must be recommended by a certified arborist. Replace removed trees with a similar canopy species at or near the location of the removed tree. Locate canopy trees to define the street edge at maturity.
- 2.4.2 Maintain a planting strip between the curb and sidewalk in the *tight weave development pattern*. The predominant plantings in this area shall be grass and trees. Walkways connecting the curb and sidewalk shall not exceed a width of six feet. Align walkways with building entrances.
- 2.4.3 Use plant materials that are indigenous to the historic districts. It is not appropriate to use contemporary edging materials such as landscaping timbers or plastic borders.
- 2.4.4 Incorporate trees, shrubbery, and other landscape features around the periphery of a lot and within parking areas.
- 2.4.5 Locate accessory structures and similar site improvements to avoid removing healthy, mature trees of desirable species.
- 2.4.6 Eliminate lichen, ivy, and other forms of vegetation from structures to prevent damage and to allow for adequate surface ventilation and drainage.
- 2.4.7 Create focal points that highlight public art, statuary, fountains, and structures such as pergolas and gazebos. Place these elements in areas that do not obscure historic buildings or their architectural features.
- 2.4.8 Use street trees and landscaping elements to reinforce right of way view corridors that extend to the rivers. Locate focal points at street terminations; however, the scale of landscaping elements shall not obstruct water views.



The Mary Kistler Stoney Garden is a reconstruction representative of 19th century New Bern and is part of the Tryon Palace complex.

2.5 Fences and Garden Walls

Project Planning Considerations

Fences and garden walls have traditionally been used to delineate property lines and demarcate boundaries between private lots and the public right of way. A variety of fencing types and materials are found within New Bern's historic districts. Fence styles in wood, brick, masonry, marl, cast iron, wrought iron and natural plant materials have been popular for more than two hundred years. Fences and walls often architecturally relate to a principal structure. Repetition of fences and walls provides definition and continuity to the streetscape.

A variety of materials and patterns combined with brick piers are commonly found in the historic districts. The predominant fencing material is wood, although a number of fences are fabricated from iron or constructed of marl. Use



Articulated brick walls and picket fences are used throughout the historic districts.

low fences in a Primary AVC to enable clear views of the building and its entrance. Use tall fences in a Tertiary AVC to enclose yards for privacy. Planted hedges of boxwood and ligustrum are often used to define property lines and decorate yards.

Guidelines for Fences and Garden Walls

- 2.5.1 Fences and walls based on historic designs are encouraged. Incorporate materials and configurations that relate to the architecture of the principal structure on the site. Use fences and walls to demarcate property lines and screen private areas.
- 2.5.2 In a Primary AVC, erect low fences and walls with a vertical dimension of four feet or less. Space rectangular wood planks about one inch apart. Space square wood and iron pickets about three inches apart. Orient pickets vertically.
- 2.5.3 In Secondary and Tertiary AVCs, erect tall fences and walls with a vertical dimension of six feet or less. Tall fences that abut a structure shall terminate at an architectural feature. Transition low fencing to taller fencing at an architectural feature.
- 2.5.4 It is not appropriate to use utilitarian fences in a Primary AVC. In addition, it is not appropriate to use chain link fencing in the historic districts.
- 2.5.5 Consider hedgerows as alternatives to fences and walls.
- 2.5.6 Screen existing chain link fences with vegetation such as ivy, climbing vines or evergreen shrubbery.

2.6 Accessory Structures

Project Planning Considerations

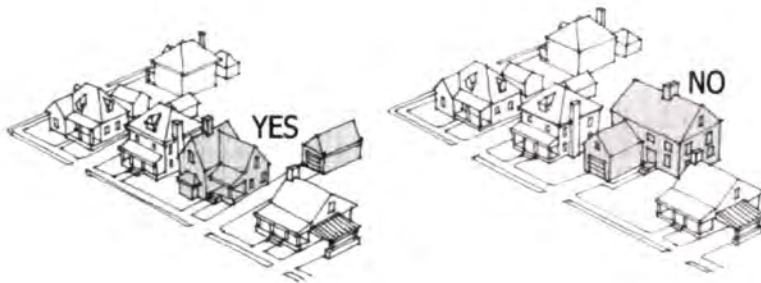
Outbuildings and accessory buildings have always been a part of New Bern's historic districts and its development history. Privies, barns, carriage houses, kitchens and sheds were once found on lots of all sizes. Today, few of these original accessory buildings survive. By the turn of the twentieth century and into the mid twentieth century, the need for new types of accessory buildings emerged. Today, outbuildings and accessory buildings include garages, storage sheds, greenhouses, and playhouses. Attached garages are not appropriate in the ~~historic districts~~ tight weave development pattern.



Historic outbuildings and accessory structures like this garage add to the character and diversity of the historic districts.

2. Site and Setting

Illustration of appropriate placement of garages:



ACCESSORY STRUCTURES

Guidelines for Accessory Structures

- 2.6.1 Locate accessory structures in Secondary or Tertiary AVCs, and behind primary structures when possible. Accessory structures are to be secondary to the primary structure in regard to mass, scale, form, and texture.
- 2.6.2 It is appropriate for outbuildings, and similar structures with substantial foundations, to have a similar form and detailing as the primary structure. Reduce these elements in scale to compliment the outbuilding massing, and incorporate less ornate and simpler elements than found on the primary structure.
- 2.6.3 Accessory structures such as sheds, gazebos, pergolas, arbors, trellises, and similar types of site improvements with minimal foundations are to serve as focal points within rear yard landscapes. These forms and detailing have little relationship to historic fabric and can be easily removed without creating permanent damage.

2.7 Parking

Project Planning Considerations

The widespread reliance on the automobile, and the desirable character of the historic districts, results in pressure to accommodate increasingly more vehicles. The historic districts were largely developed prior to the introduction of automobiles, and many properties do not include driveways or off-street parking. Street parking is limited, and most driveways are narrow compared to today's standards. Driveways and parking frequently supplement the parking capacity available. Configure access to off street parking in a manner that avoids important landscape features and maintains the integrity of development patterns.



A low brick wall, street trees and plantings effectively screen this large surface parking lot.

Guidelines for Parking

- 2.7.1 Confine driveways on narrow lots to the Secondary AVC.
- 2.7.2 Use driveways to access off street parking areas located in the Tertiary AVC. Areas for vehicular use shall not exceed more than 50% of the rear yard in the *tight weave development pattern*.
- 2.7.3 It is not appropriate to incorporate off street parking in the Primary AVC within the *dense fabric development pattern*. In addition, it is not appropriate to locate parking lots on corners within the historic districts.
- 2.7.4 Contain loose paving materials within masonry, concrete, steel, or similar types of fixed edging. It is not appropriate to use contemporary drive and parking edging materials such as landscape timbers or plastic borders.
- 2.7.5 Screen parking lots with fences, walls and hedgerows to create edges that separate vehicular space from pedestrian space. Parking screens should have a vertical dimension of four feet or less.

2.8 Signage

Project Planning Considerations

Signs contribute to the unique character and visual quality of the historic districts, and when treated with sensitivity, benefit the community. Appropriately place signage on building facades and within rights of way to enhance the streetscape environment. Inappropriately placed signs obstruct architectural features, create visual clutter, and disrupt the harmony of the streetscape.

Conventional vehicle, directional and informational signs within the right of way often erode the integrity of the streetscape and disrupt the pedestrian experience. Transportation authorities have jurisdiction over their placement, quantity, and standardized format. Consolidate public signs whenever possible on uniform poles to reduce visual clutter.

Architectural signage identifies businesses, franchises and the goods and services offered. Successful signage relies on graphic simplicity that is designed to complement the texture and detail of the surrounding architectural facade. Consider scale, shape, location, materials, font, and illumination when evaluating signage contexts.

Guidelines for Signage

- 2.8.1 Signage shall incorporate proportions and dimensional details of the surrounding architectural facade. Locate wall signs on lintels or within the sign frieze area. Where multiple storefronts are within a common architectural facade, provide unifying elements such as coordinated lighting, height, border, font, and material treatments.
- 2.8.2 Drive fasteners for signs in mortar joints to prevent damage to the masonry units.



Customized business signs add character to the historic districts and should be preserved and maintained.

2. Site and Setting

- 2.8.3 Locate freestanding signs in areas that do not obscure architectural elements or important features. Soften the presence of signposts with landscaping and edging.
- 2.8.4 Use back lighting and front lighting fixture types. Internally illuminated signs are not appropriate for structures built prior to 1920. Electric signs shall not flash, blink or have illuminated revolving content.

2.9 Waterfront Modifications

Project Planning Considerations

The confluence of the Trent and Neuse Rivers has shaped the history of New Bern and provided a means for trade and economic development. Historically, the New Bern waterfront consisted of wharves, docks, lumber mills, and rail yards. Wharves and docks have been largely replaced by a waterfront park, hotels, condominiums, and similar types of modern development. It is desirable to maintain public access to the historic riverfront for citizens and tourists alike. Piers and bulkheads are part of every waterfront community. Carefully plan these to incorporate the waterfront promenade and the special character offered by the rivers.

Simultaneously consult with the Coastal Area Management Agency (CAMA), the City of New Bern and the HPC administrator prior to submitting an application for a COA for waterfront modifications. Coordinated input between regulatory bodies results in the most harmonious balance of regulatory and design requirements.

Guidelines for Waterfront Modifications

- 2.9.1 Construct piers with wood decking or concrete panels. Piers shall have a narrow width that generally extends perpendicular and parallel to the shoreline.
- 2.9.2 It is not appropriate to incorporate pavilions, platforms, gazebos, screened rooms, roofed structures, boat sheds and similar constructions on piers.
- 2.9.3 Finish bulkheads with a wood or concrete cap. Reserve space for future waterfront promenade extensions between the bulkhead and other site constructions as described by the New Bern Urban Design Plan.
- 2.9.4 Provide unobtrusive, soft lighting that follows the flow of walkways. Use functional, utilitarian light fixtures, and avoid highly ornate ones.



The piers and bulkheads at the waterfront park are consistent with the design guidelines. They are built of wood and concrete, and do not diminish scenic views.

3. Design Attributes

Aesthetics and design influence the character of the historic districts. Building use and form evolves as infill and adaptive reuse projects take place. Modifications, additions and infill construction shall compliment the scale, pattern, materials, proportion and mass of surrounding historic architectural resources. Well designed additions and infill structures enhance the quality of the historic districts by contributing context and style reflective of growth while also creating a record of the technological evolution of modern construction materials and methods.

3.1 Design Principles

The following design principles typically apply to additions and infill construction, but may also apply to site and setting, design components and modifications.

Scale, Mass and Proportion

The *scale* of a building is its relative size. *Human scale* refers to how we perceive the size of a structure and its components in relationship to the human body. The relationship, or scale, of an architectural detail becomes quite evident when one is standing very close. *Overall scale* compares building form to that of nearby buildings, structures and open spaces. Construction that ignores scale disrupts the harmony of the streetscape.

Mass describes the shape, size and visual weight of a structure. Scale is typically an analysis of attributes in predominantly two dimensions with a set proportion. Mass describes a volume, and evaluates a structure in three dimensions.

Proportion refers to the interrelationship of vertical to horizontal. This can be applied to the overall building mass, an opening for a window or door, or the characteristics of a column. Proportion has been used in architecture for thousands of years to create a sense of natural order. Buildings and spaces composed of harmonious proportions inherently relate to the human form, and create a pleasing environment.

Architectural details organize the perceived mass and scale of buildings. Façade features such as rooflines, pilasters, friezes, columns, piers and patterns subdivide building planes into smaller, articulated panels that create visual texture.

Buildings in any given development pattern are generally similar in scale and mass, and façade proportions have a strong vertical orientation. Infill construction should respect these characteristics. Facade articulation, windows and doors should also reinforce the vertical orientation of the composition.

Rooftop expression is a combination of architectural elements that occurs above the cornice line. New Bern's *dense fabric development* pattern is dominated by two story buildings with a range of scales and low sloped roofs. This mix of multi-storied buildings incorporates a variety of decorative and styled cornices,



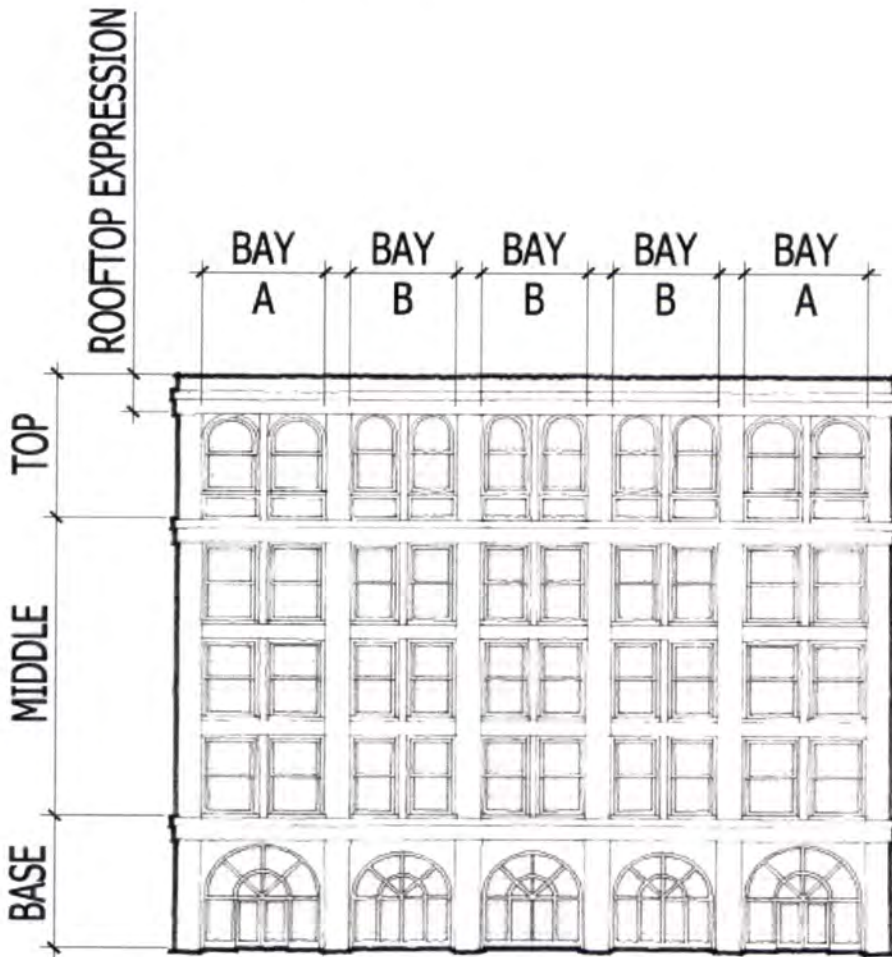
The wide cornice, overhang, and brackets add character to this building.



This block of buildings shares the same scale.

3. Design Attributes

parapets, towers, cupolas and other rooftop appurtenances that uniquely identifies each. Facades can typically be broken into three basic components: a base, middle and top. These elements relate to architecture as the feet, torso and head relate to the human body. The feet provide stability, the torso provides height and bulk, and the head provides identity.



FORM & RHYTHM

Within the *tight weave development pattern*, buildings are traditionally two stories in height with sloped roofs. Facades are typically organized in a series of bays, deriving their character from articulated front porches, entry doors and window configurations.

Form and Rhythm

Form and *rhythm* refer to the regular or harmonious recurrence of lines, shapes, forms and details in a building. All buildings contain design components that are repetitive. Roof form and pitch, the ratio of solids to voids in a wall plane, and the placement of windows, doors, cornices and parapets establish a pattern that



These buildings illustrate variety in scale.



These buildings illustrate a variety of parapets, dimensions and forms.



Baxter's unique curved coping creates visual interest when compared to the parapets and cornice lines of surrounding buildings.

characterizes a building, streetscape or district. Considered together, these elements create a visual rhythm and unify the facade of the structure.

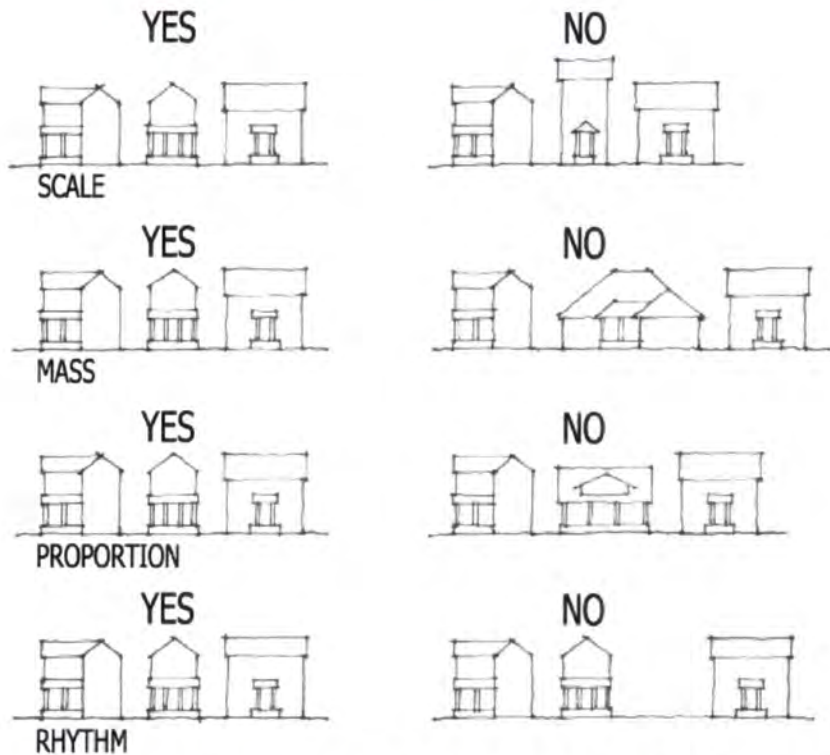
The narrow stitch development pattern creates a strong rhythm of repeated, narrow front facades that creates a hard edge at the streetscape. Steps from each structure extend to the sidewalk in series, beginning at an upper landing above design flood elevation and descending to meet the shape of the terrain below. Full width porches that compensate for the lack of yard space accentuate facades and animate otherwise planar building forms.



These upper story windows represent an excellent example of rhythm across multiple facades.



A pediment parapet highlights the classical facade of this building.



SCALE, MASS, PROPORTION & RHYTHM

Texture

Texture refers to the use and interaction of a variety of materials and details in a building. Roofs, porches, bays, chimneys, decorative exterior trim, siding and windows articulate building facades and create visual interest. Articulate the top, middle and base of a building to create texture. Additions and infill construction should provide a degree of texture similar to surrounding buildings.

Details

Details are the elements that describe architectural building styles, features and ornament. New Bern's three hundred year evolution has produced a rich and varied palette of details that creates a visually delightful setting for pedestrians, students and admirers of architecture. Additions and infill construction should allow architectural styles to evolve while incorporating established details that

3. Design Attributes

characterize New Bern's historic districts. Contemporary and compatible design is encouraged. However, it is recommended that additions and infill construction reflect and reinterpret traditional building detailing.



FENESTRATION

Guidelines for Design Principles

- 3.1.1 Consider the scale, mass and proportion inherent to the surrounding historic development pattern, and design modifications that incorporate these characteristics. Use basic shapes and forms that are common to the historic districts.
- 3.1.2 Windows, doors and openings shall be compatible in proportion, shape, location, size and quantity with those on surrounding historic structures. Avoid large expanses of blank walls. Establish bays, visually subdivide facades and delineate building elevations to create form and rhythm.
- 3.1.3 Discretely use rooftop appurtenances such as spires, cupolas and towers to articulate rooflines. Compliment the scale, form and proportion of the structure, and use rooftop appurtenances to identify a building entry or similar massing focal point.
- 3.1.4 Use details to articulate facades, and the openings within facades. Appropriately detail the base, body and edges of facades to create texture and visual interest.
- 3.1.5 Avoid creating a false sense of historical development. It is not appropriate to apply historic architectural styles to infill construction. Creative interpretation of traditional detailing and ornamentation is encouraged.

3.2 Modifications

Project Planning Considerations

Modifications encompass changes, replacements and potential improvements to historic design components and architectural features. The intent of New Bern Historic District Guidelines is to allow modifications to occur within a framework that preserves the character and fabric of the historic districts.

Guidelines for Modifications

- 3.2.1 Select materials that are consistent with the structure. Limit the palette to those materials that were available at the time a building was originally constructed.
- 3.2.2 Modifications to a structure should not conceal, damage or remove significant design components or architectural features.
- 3.2.3 Replace historic design components only if they are damaged beyond repair. Replacement for convenience is not appropriate. Use materials and details that match the original.
- 3.2.4 Rebuild missing or insensitively altered design components based on documented evidence of the original configuration.
- 3.2.5 It is not appropriate to introduce features and details that will create a false sense of historic development.

3.3 Additions

Project Planning Considerations

Additions to historic buildings should never compromise the integrity of the structure or its site. Additions that are not incongruous respect the mass, scale and proportion of the primary structure, and do not obscure or destroy distinguishing, character defining architectural features, forms and materials.

Consider site features and view corridors when designing additions. Minimize disturbance to mature vegetation. Limit the footprint of additions to maintain private open spaces, particularly in Tertiary AVCs. Contemporary interpretation of historic style and details is encouraged to differentiate additions from the original building. However, replication of historic style and details is often appropriate for work confined to a limited area.

Guidelines for Additions

- 3.3.1 Locate additions in a Secondary or Tertiary AVC to minimize the impact on primary, character defining elevations. Limit the footprint of additions to maintain private open spaces.
- 3.3.2 Use roof forms and pitches that are similar to those found on the primary structure. Delineate the addition from the plane of the primary structure by creating slight offsets and corners.

3. Design Attributes

- 3.3.3 Incorporate materials and details derived from the primary structure. Extend the architectural hierarchy of the primary structure to the addition. Architectural embellishments and detailing are often simplified on less visible Secondary and Tertiary AVC elevations.

3.4 Infill Construction

Project Planning Considerations

Infill construction is the process of constructing a building on an empty parcel. Infill construction eliminates vacant lots and gaps in the urban fabric, and contributes to the architectural evolution of the streetscape.

An infill structure should reflect its time of design. The intent of New Bern Historic District Guidelines is not to impose particular architectural styles, but to guide change that protects and contributes to the character of the historic districts. Evaluate the context and sensitivity of the immediate area, and shape infill construction to positively impact the overall district.

Contemporary materials may be used on infill construction. They are to be appropriately proportioned, used in traditional ways and installed in a traditional manner. Contemporary materials not meeting these requirements should not be extensively used on infill construction.

Guidelines for Infill Construction

- 3.4.1 Maintain the relationship between building mass and open space that exists on the block or streetscape.
- 3.4.2 The predominant material of an infill building shall visually emulate the palette of materials traditionally found in the historic districts.
- 3.4.3 Use of modern materials is acceptable as a means of continuing the evolution of architecture through time. However, the use of aluminum and vinyl siding, faux brick and stone, stamped concrete and similar imitation materials is not appropriate.
- 3.4.4 Contemporary materials shall be appropriately proportioned, used in traditional ways and installed in a traditional manner.



Contemporary and traditional materials used on this new house maintain the character of the historic districts



This building is located in the transitional edge between dense fabric and tight weave development patterns. The use of a modern blonde brick and patterned masonry is appropriate for this infill construction.

4. Design Components

4.1 Foundations

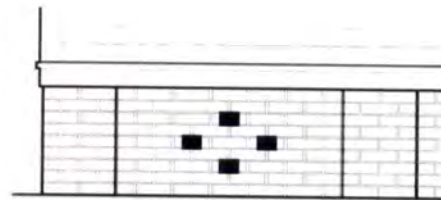
Project Planning Considerations

A foundation not only maintains the structural integrity of a building, but the materials, dimensions, features and details also contribute to its character. Foundations for some of New Bern's earliest buildings were constructed of marl or "shell rock," often in combination with brick. Framed buildings in New Bern were typically constructed on wood sills elevated by brick piers. Areas between piers were either left open or enclosed with wooden lattice. Brick panels were also commonly added between piers. These masonry infilled sections were generally recessed behind the face of the brick pier, visually delineating structural members from nonstructural members.

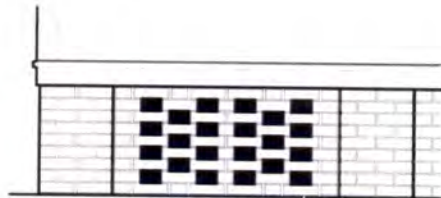
Decorative metal vents or pierced brick lattice were frequently built into foundation walls to provide crawl space ventilation. Masonry and stone foundation walls generally were not painted, although some received a pargecoat of stucco that was painted.



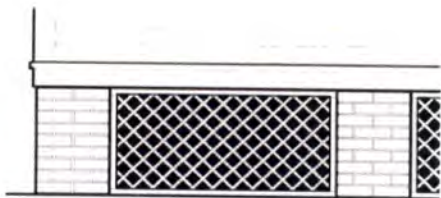
An example of a marl and brick foundation.



SOLID MASONRY
(DECORATIVE VENT HOLES, OR MANUFACTURED VENT ACCEPTABLE)



BRICK LATTICE



WOOD LATTICE

INFILL BETWEEN FNDN. PIERS



An example of brick lattice.

4. Design Components

Brick foundations are often delineated with a rowlock water table course or contrasting brick bond. Various historic foundation treatments were constructed between piers, including solid masonry with vent holes, brick lattice or pierced brick, and brick pier with wood lattice infill.

Guidelines for Foundations

- | | |
|-------|--|
| 4.1.1 | Adhere to Guidelines for retention of historic fabric when altering foundation components. |
| 4.1.2 | When infilling between brick piers, recess brick curtain walls 1 to 2 inches to visually delineate piers. |
| 4.1.3 | Use traditional materials when constructing foundations. Concrete block should receive a veneer of stucco, brick or other appropriate masonry material. |
| 4.1.4 | Locate foundation features such as vents and access doors in areas that will not detract from the architectural character of the building. Coordinate with other architectural features when possible, such as aligning vents and access doors with windows above or centering them between piers. |

4.2 Walls, Trim and Ornamentation

Project Planning Considerations

Buildings in New Bern's historic districts exhibit a variety of exterior sheathing and masonry materials, trims and ornamentation that chronicle the evolution of architectural styles in the City. Most buildings in the historic districts are of wood frame construction. Masonry construction is more common in the dense fabric development pattern where noncombustible material is used to prevent the spread of fire to adjacent buildings.

Historic structures display a variety of decorative elements that contribute to the visual richness of the architecture. Columns, cornices, doors, windows, sawn work, shingles, balustrades, clapboards, floors and bracketing are elements that collectively define the architectural style.

Trims are the ornamental details that terminate the edges of roof overhangs, the edges of openings, and walls sheathed with wood. Typical trims are window and door casings, and skirt, frieze and corner boards. Trims can incorporate embellishments that convey an architectural style such as cornices with modillion blocks, dentil work, turned porch posts with sawn work brackets and classical columns with turned baluster railing.

In similar ways, masonry is often enhanced by carefully articulating and detailing brick walls. Inset panels with contrasting bond, corbelling, cornices, parapets, sill and head articulation, and banding are a few of the many ways that masonry materials are placed in ornamental ways. It is not uncommon to combine wood trim cornices, pediments, columns and balustrades with masonry walls to replicate architectural features more commonly associated with wood siding constructions.



This house displays clapboard, decorative shingles and an abundance of decorative wooden elements that contribute to the character of its fenestration.



A bracketed cornice, paneled friezes, ornate window surrounds, and embellished porch are some of the wood elements evident on this house.



EAVELESS



EAVES PROJECT:
NO RAFTERS



EAVES PROJECT:
RAFTERS



CORNICE FASCIA



CORNICE BOXED:
DECORATED



CORNICE BOX W/
BRACKETS



CORNICE BOXED:
DECORATED

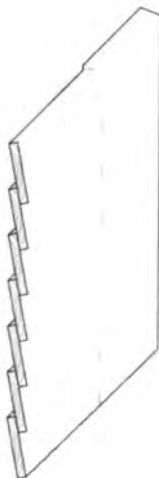


CORNICE BOXED:
PLAIN

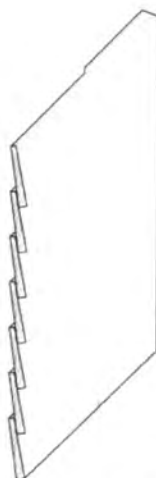
CORNICE TYPES



This house in the Riverside Historic District has a brick masonry veneer at the first floor and wood shingle siding at the second floor.



CLAPBOARD
(SQUARE EDGED)



CLAPBOARD
(TAPERED OR BEVELED)



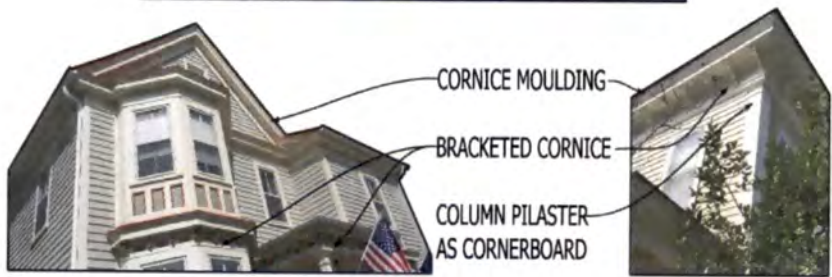
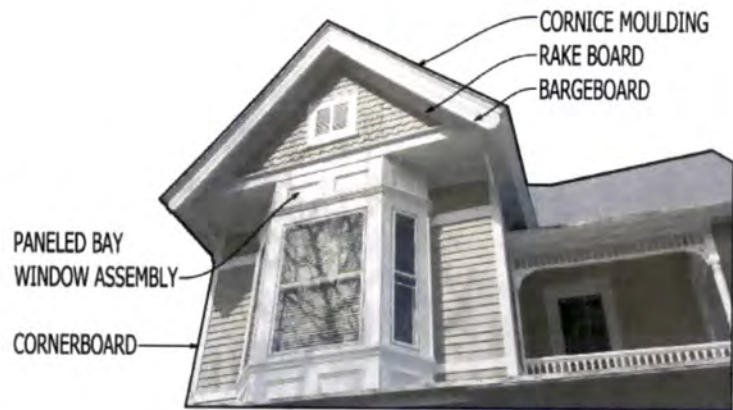
FLUSH
(SHIPLAP JOINT)



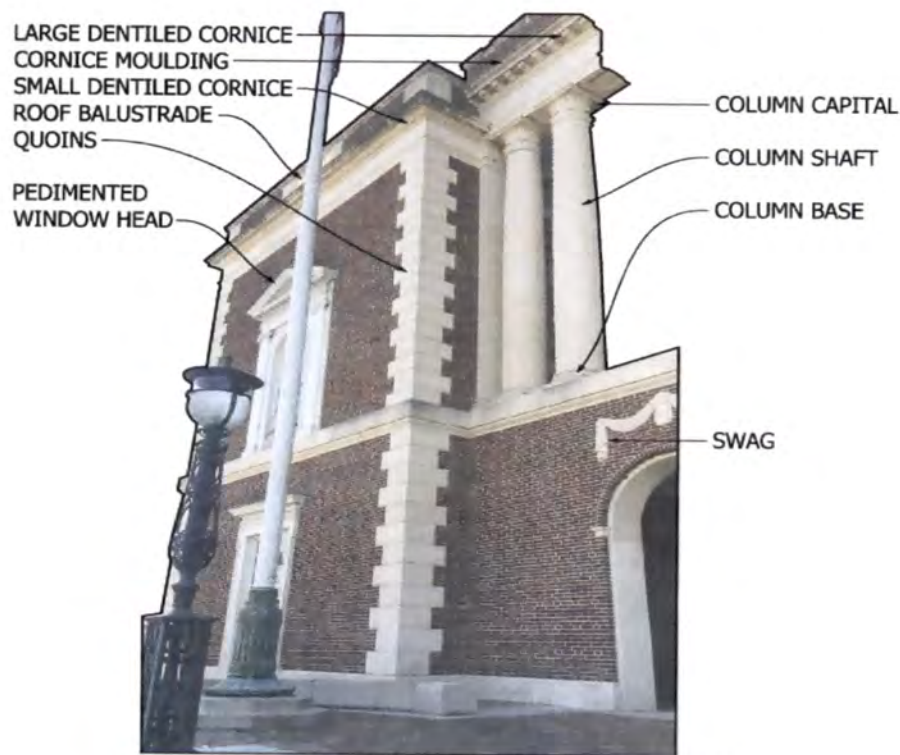
FLUSH
(GERMAN OR DROP SIDING)

TYPES OF WOOD SIDING

4. Design Components



TRIM & ORNAMENTATION
RESIDENTIAL



TRIM & ORNAMENTATION
NEO-CLASSICAL / COMMERCIAL

The majority of New Bern's architectural resources were "modernized" in the late 19th century by updating walls, trim and ornamentation to conform to the prevailing architectural taste of the time.

Guidelines for Walls, Trim and Ornamentation

- 4.2.1 Adhere to Guidelines for retention of historic fabric when altering wall components.
- 4.2.2 It is not appropriate to introduce trim or ornamentation to a contributing structure without documentary evidence that such elements historically existed.
- 4.2.3 It is not appropriate to cover wood siding, trim and ornamentation with a contemporary material on a contributing structure.
- 4.2.4 Incorporate wood trims and articulate masonry appropriately for the application.
- 4.2.5 Primary structures are generally more ornate and detailed. Accessory structures are generally subordinate to the primary structure and have minimal ornamentation, if any, and simplified details.

4.3 Windows, Doors and Openings

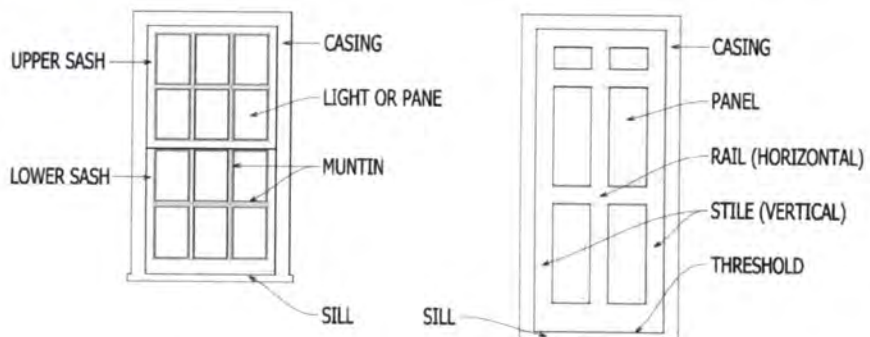
Project Planning Considerations

Windows and doors influence architectural character through their location, pattern or fenestration, shape, size, proportion and style. They are also functional elements that provide natural light, ventilation and a visual connection between the building interior and the outside world.

Exterior doors in the historic districts exhibit a remarkable amount of diversity. Solid paneled doors and doors with fixed glass upper panels are typical. Detail variations reinforce each building's architectural character through applied ornamentation. For example, there are various raised and flat panel configurations, decorative false wood graining and varnish treatments, ornamental leaded, beveled, etched and opaque glass, any combination of which uniquely identifies a structure.



An example of a historic wood door that has been appropriately repaired instead of replaced.

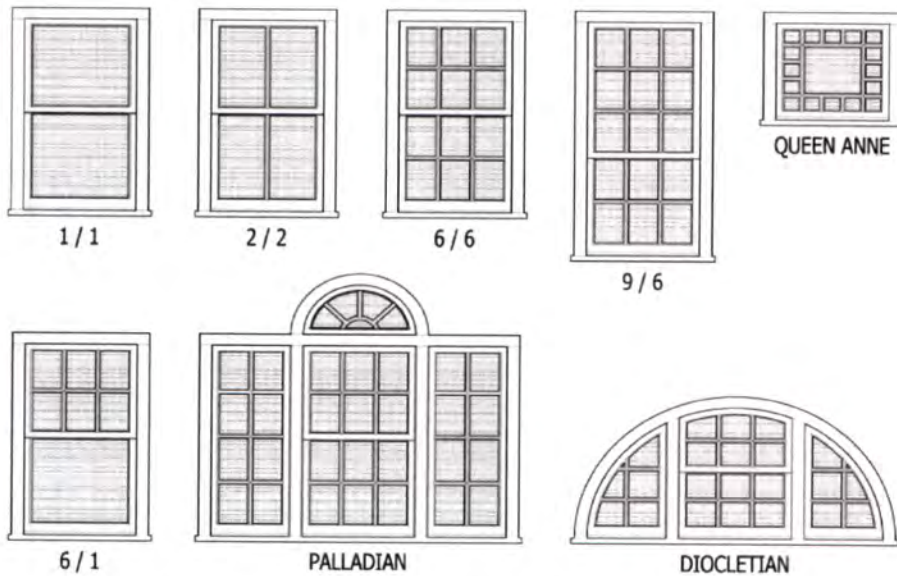


WINDOW TERMS

DOOR TERMS

4. Design Components

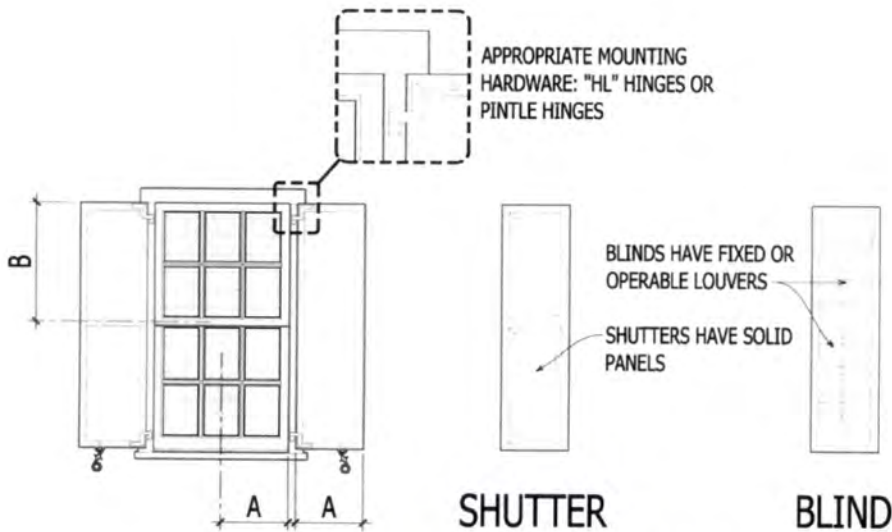
Window styles reflect changes in technology through time and are important indicators of a building's architectural style and age. Most windows in the historic districts are wood with double hung sash. In general, earlier windows are smaller and have more numerous panes of glass in the sash. They were made by hand and often constructed with pegs. By the late 19th century, windows were mass-produced and technological advances in glass production allowed larger glass panes to be manufactured. Ornamental leaded and stained-glass windows also became popular by the century's end.



WINDOW TYPES



An example of a historic wood window with appropriate functional blinds



APPROPRIATE PROPORTIONS AND MOUNTING OF SHUTTERS / BLINDS

Retain original doors and windows to protect the integrity of historic resources. It is not appropriate to use false window muntins or snap in grills. Glazing should have true divided light muntins, or three-dimensional grilles affixed to both the interior and exterior of the glass. Provide shadow bars between insulated glass panes. It is not appropriate to add window and door openings to contributing structures in the Primary AVC. Openings in Secondary and Tertiary AVCs should not diminish the original design or damage the historic features. Window and door openings shall have a vertical orientation or be square. Shutters and blinds should relate proportionately to window openings. It is not appropriate to install shutters or blinds directly to the wall substrate. Whether operable or fixed, shutters or blinds shall have operable hinge and holdback hardware.

Guidelines for Windows, Doors and Openings

- 4.3.1 Adhere to Guidelines for retention of historic fabric when altering window, door and opening components.
- 4.3.2 Add window and door openings in Secondary or Tertiary AVCs in locations that do not diminish the original design. In general, openings shall have a vertical orientation or be square.
- 4.3.3 Glazing should have true divided light muntins, or three-dimensional grilles affixed to both the interior and exterior of the glass. Provide shadow bars between insulated glass panes.
- 4.3.4 Relate shutters and blinds proportionately to window openings. Whether operable or fixed, shutters or blinds shall have operable hardware including hinge and holdback hardware.
- 4.3.5 Tinted, opaque, and reflective glazing is not appropriate in historic windows.
- 4.3.6 Install storm windows and storm doors that do not obscure architectural detailing and trim. Proportion storm window sashes to align with window sashes. Proportion storm door stiles and rails to align with door stiles and rails.
- 4.3.7 Install fabric awnings that do not conceal architectural features or damage historic building fabric. It is not appropriate to use metal awnings.

4.4 Entrances

Project Planning Considerations

Exterior entrances and porches are defining features of historic character. Prominent entrances were typically embellished with rich architectural ornamentation and were often “updated” to reflect current architectural tastes. Doors, windows, trims, columns, turned posts, railings and balusters, cornices and steps were frequently detailed in a coordinated way to convey the “style” of a structure. Variations in form and detail create diversity among an otherwise identical grouping of entrances and porches.

Porches are found on most wood framed structures in New Bern’s historic districts, and consist of a roof cover, columns, and floor on a masonry foundation.



The brick piers and tapered posts are characteristic of the Craftsman Bungalow style of architecture.

4. Design Components

Usually located on the street façade, porches often wrap around two or more corners. Back porches, side porches and sleeping porches are typically found in the historic districts. More rare are balconies, which are constructed at upper floors, and do not have columns or a means of support extended to foundations. Most porches are one story in height, but two story variations can be found on structures constructed between the 1790s and the 1840s. Many of the city's early to mid-19th century wood framed buildings have small entrance porches or porticos embellished with classically inspired detailing. During the Victorian period, entrance porticos were often replaced with larger porches. Significant porch and entry changes chronicle the evolution of the structure over time.

Traditional porch framing carries wood floorboards that are butted together or milled with a tongue and groove joint. Floorboard ends are laid perpendicular to the house and projected approximately 1 to 2 inches beyond the skirt board. The projected ends are sometimes rounded or bull nosed to minimize water penetration into the open wood grain. Framing spans are supported by brick piers or a continuous brick foundation, and sloped for drainage.

A variety of column types supported roof structures. Square chamfered posts were used throughout the 18th and 19th centuries, spanning between the Georgian and Italianate styles. Classical columns and colonettes, most commonly of Doric and Tuscan design, were incorporated into entrance porticos and porches of the Federal, Greek Revival and Colonial Revival periods. Square posts, often with heavy caps and applied or inset panels and trims, were also favored during the Greek Revival and Colonial Revival periods. Turned posts gained widespread use during the Queen Anne period of the late 19th and early 20th centuries.

Ceilings of porches exhibited a variety of finishes. Many of New Bern's earliest examples had exposed framing without ceilings. Main structural supports were often beaded on the lower edges. Porch ceilings of the early to mid-19th century often were finished with plaster, particularly beneath the second floor of double-tiered porches where exposure to rain was limited. Otherwise, individual boards with beaded edges were typically butted together or evenly spaced to create a decorative effect. Later in the century, tongue and groove beaded board became popular and remained so throughout the early 20th century.

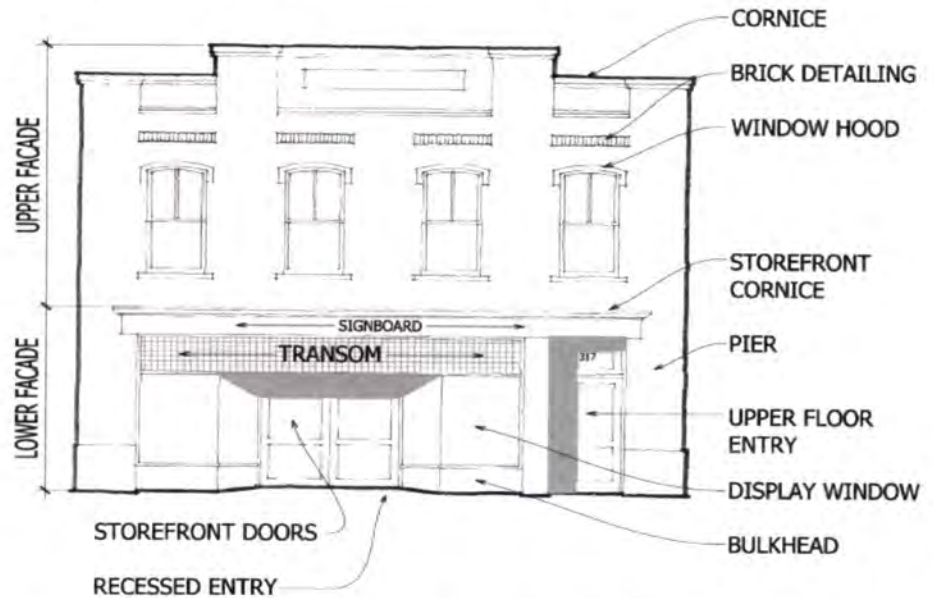
Use documentary evidence of original configurations to reconstruct entrances and porches that have been insensitively altered or removed. Add architectural ornamentation when there is historical evidence of such features. Where documentary evidence is not available, furnish appropriate design elements that are consistent with the character of the building or its style.

It is not appropriate to enclose or screen porches, entrances or balconies in Primary AVCs. Enclose and screen porches in Secondary and Tertiary AVCs in a manner that preserves historic features. It is inappropriate to use stock entrance doors, porch railings and other ornaments that do not proportionally relate to the building. Modern porch balusters convey a different visual appearance because they are generally taller and thinner. Center balusters between the rails, and space them about 3 inches apart to increase the visual weight. It is not appropriate to replace wooden stairs and flooring with concrete or brick. In addition, it is not appropriate to replace wooden porch supports and railing with



The door, transom, molded surround, corner blocks, pilasters, columns, entablature, flat roof, and stair combine to compose this fine entrance.

iron supports and railing.



ELEMENTS OF A STOREFRONT FACADE

Guidelines for Entrances

- 4.4.1 Adhere to Guidelines for retention of historic fabric when altering entrance components.
- 4.4.2 Reconstruct entrances and porches based on documentary evidence of the original configuration. Add architectural ornamentation when there is historical evidence of such features.
- 4.4.3 Recess entrances within the *dense fabric development pattern* where the facade aligns with the front property line. Incorporate traditional facade elements such as storefront cornices, transoms, display windows and bulkheads.
- 4.4.4 Provide porches, entrance doors, railings, and other ornaments that proportionally relate to the building. Appropriate balustrades often convey a heavier visual appearance. Center balusters between the top and bottom rails and space them about three inches apart.
- 4.4.5 Enclose and screen porches in Secondary and Tertiary AVCs in a manner that preserves historic features. Walls and screens should not obscure columns and balustrades.

4.5 Roofs

Project Planning Considerations

New Bern's historic districts reflect a variety of roof forms and features that have evolved over the past three hundred years. Roof form plays a dominant role in defining building character. Massing, pattern, scale, texture, and material

4. Design Components

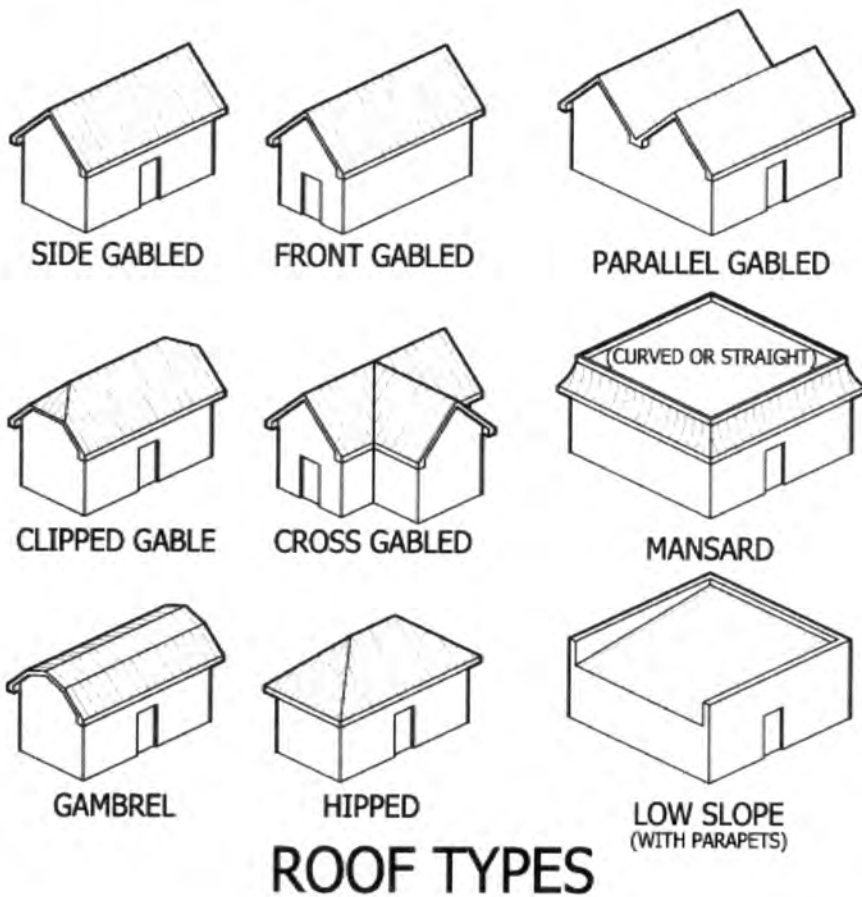
selections further enhance character. Changes in pitch, overhang, and roof line chronicle additions to historic buildings over time.

Wood shingles were the predominant roofing material in New Bern during the 18th and 19th centuries. In 1922, following the Great Fire in New Bern, standing seam metal became the principal roofing material. This post fire character survives largely intact today.

The gable roof is most common in New Bern's historic districts. Side and front gable examples are abundant, along with more complex cross and multi gable roof varieties. Hipped roofs also appear with frequency in the historic districts, and many are articulated by dormers and lower cross gables. Gambrel roofs, flat roofs, shed roofs, and to a lesser extent, mansard roofs further diversify the types found in New Bern's historic districts.



Standing seam metal is a common roof material in the historic districts resulting from reduced insurance rates following the Great Fire of 1922



Guidelines for Roofs

- 4.5.1 Adhere to Guidelines for retention of historic fabric when altering roof components.
- 4.5.2 Alterations to roof forms such as changes in roof pitch, the introduction of dormers, skylights or rooftop ornamentation shall not be undertaken in a Primary AVC.
- 4.5.3 Retain rooftop architectural features such as chimneys, dormers, towers, cupolas, cresting, finials, parapet walls and decorative roof patterns and colors.
- 4.5.4 Standing seam metal roofs shall have a pan width no greater than 24 inches. Pans shall be completely flat without corrugation. Provide double locked seams with flush ridge and hip flashings on contributing structures.
- 4.5.5 It is not appropriate to replace concealed, built in gutter systems with fascia-mounted gutters.
- 4.5.6 Locate rooftop appurtenances such as ventilators, antennae, satellite dishes, mechanical equipment and similar items in a manner that is not visible from the public right of way.
- 4.5.7 In the narrow stitch development pattern, provide pitched roofs free of observation platforms above the highest living floor of structures.

4.6 Decks and Patios

Project Planning Considerations

Functioning as an outdoor living area in a similar fashion as the traditional porch, decks have become popular gathering areas for a variety of outdoor activities. As with other changes, careful attention must be given to placement in order to avoid compromising historic building integrity and character. Decks, patios, plazas, and pavers are generally constructed at grade, and should be structurally separated from the building to allow removal without damaging historic resources.

Locate decks in Secondary and Tertiary AVCs, and screen the underside with shrubbery, fencing, lattice, or masonry. Deck railings, skirt boards, posts, piers, and screen infill should architecturally relate to the house in a manner similar to a porch. Whenever possible, decks should be close to the ground with minimal presence. Lowering the profile eliminates requirements for handrails and extensive screening.

Guidelines for Decks and Patios

- 4.6.1 Adhere to Guidelines for retention of historic fabric when altering deck components.
- 4.6.2 Locate decks in Secondary and Tertiary AVCs, and screen the underside with shrubbery, fencing, lattice, or masonry.
- 4.6.3 Structurally separate decks to allow removal without damaging the historic structure.
- 4.6.4 Construct low profile decks and patios that eliminate requirements for handrails and excessive screening.



The deck on this house is located in a Secondary AVC screened by shrubbery, and it has a foundation similar to the main structure

4. Design Components

4.7 Accessibility and Life Safety

Project Planning Considerations

Meeting contemporary accessibility and life safety standards is one of the greatest design challenges facing historic properties. Balance the preservation of significant features with providing appropriate levels of life safety and accessibility accommodation.

Adaptive reuse of a historic property often requires life safety and accessibility modifications. Building code officials recognize that it is difficult to translate conventional requirements to historic buildings, and apply alternative codes specifically intended for non-conforming buildings. These provisions make historic building adaptive reuse more practical and preserve architectural features.

Design accessibility and life safety solutions that have the least impact on historic resources and character. Locate ramps, lifts, fire stairs, fire doors and similar accommodations in visually unobtrusive areas. Construct modifications to allow removal without causing permanent damage to the historic resource.

Guidelines for Accessibility and Life Safety

- | | |
|-------|--|
| 4.7.1 | Adhere to Guidelines for retention of historic fabric when altering accessibility and life safety components. |
| 4.7.2 | Locate ramps, lifts, fire stairs and fire doors in visually unobtrusive areas. Avoid accommodations within a Primary AVC when possible. |
| 4.7.3 | Make accommodations compatible with the character of the building by replicating balustrade and door opening detailing. Use landscaping to soften the presence of accommodations in a Primary AVC. |



The metal stair railing was added to this porch stair as a safety feature. The use of a simple metal design does not detract from the historic porch and identifies it as a later addition.



This wheelchair ramp is a good example of subtly incorporating accessibility at the front of a building when necessary.

5. Materials

5.1 Masonry

Project Planning Considerations

Because of its extreme durability and beauty, some of New Bern's most important buildings are constructed of masonry.

There is a difference between modern bricks and historic bricks. Historic bricks are softer, and more likely to chip and crack when laid with modern mortar. Use softer, lime-based mortar with historic brick.

Masonry materials found in the historic districts include brick, stucco, stone, concrete masonry units, architectural concrete masonry units, slate and terracotta tile.

Guidelines for Masonry

- | | |
|-------|---|
| 5.1.1 | Adhere to Guidelines for retention of historic fabric when altering masonry materials. |
| 5.1.2 | Match the masonry bond, or pattern, of masonry materials found in adjoining work. In general, new material should be the same size, color, and texture of that existing. |
| 5.1.3 | The size, color, texture and bond, or pattern, of masonry and mortar creates the intended finished appearance. It is not appropriate to paint masonry that has not been previously painted. |
| 5.1.4 | Select mortar with appropriate strength properties for masonry units involved. A commonly used mix for softer, historic masonry is one-part portland cement, two parts hydrated lime and nine parts sand. |
| 5.1.5 | Provide a veneer of brick, stucco, or other appropriate material over concrete masonry units. Architectural concrete masonry units such as rusticated, split face or similar types may be substituted for stone masonry construction. |
| 5.1.6 | It is not appropriate to use water repellants or sealers on masonry because these treatments often trap moisture and accelerate spalling. |

5.2 Wood

Project Planning Considerations

Craftsmen have preferred wood because it is easily shaped by carving, sawing, splitting, planing, and turning. Handcrafted architectural features are present on many of the City's earliest buildings. However, technological changes in the mid to late 19th century allowed most wooden building components to be mass produced.

5. Materials

Pressure treated wood has a tendency to warp and split during the drying process, particularly if not kiln dried. Slow kiln dried, pressure treated wood is less likely to warp and split, and should be used when possible. Slow kiln dried wood products are specially ordered.

Wood is often the medium selected to communicate architectural styles. Eaves, rakes, porches, entrances, siding, trim and ornamentation details are found in the historic districts.

Guidelines for Wood

- | | |
|-------|--|
| 5.2.1 | Adhere to Preservation Guidelines for retention of historic fabric when altering wood materials. |
| 5.2.2 | Construct wood assemblies similar to that found in adjoining work. In general, new material should be the same dimension and shape of that existing. |

5.3 Metals

Project Planning Considerations

New Bern's historic districts contain a variety of elements that are fabricated from architectural metals. Fences, gates, roofs, rooftop appurtenances such as cresting and finials, gutters, downspouts, hardware, railings and cornices are but a few of the elements that are casted, wrought, pressed or rolled using iron, copper, tin, aluminum, steel or bronze. These traditional building materials add a visual and textural richness to the historic districts.

Guidelines for Metals

- | | |
|-------|---|
| 5.3.1 | Adhere to Guidelines for retention of historic fabric when altering metal materials. |
| 5.3.2 | Use metal fabrications found in adjoining work. In general, new material should be the same dimension, shape, and alloy of that existing. |
| 5.3.3 | Use full weld iron and steel fabrication techniques. Welds shall be properly dressed, or ground smooth. |
| 5.3.4 | Provide aluminum fabrications with welded joints or blind, mechanical connections having concealed fasteners. |



An ornamental iron gate and balustrade adds character to the streetscape while identifying the path to the building entrance.



The metal cornice and columns on this storefront are unique features that should be preserved.

5.4 Paint

Project Planning Considerations

Preservation of most historic wood and metal surfaces requires a sound paint film to protect against the elements. Water, wind, and ultraviolet light severely weaken wood fibers over time, and contribute to the corrosion of certain metals. In addition to its protective role, coordinated paint colors highlight architectural features and emphasize architectural style.

Employ paint analysis techniques, such as microscopic investigation, to determine historic paint schemes and finish techniques. Select harmonious paint colors that accentuate detailing and architectural style. Paint is applied to bare wood in multiple coats, and generally consists of a primer base coating followed by two coats of finish paint.



The palette of exterior colors accentuates the architectural style of this Italianate house.

Guidelines for Paint

- 5.4.1 Adhere to Guidelines for retention of historic fabric when altering painted materials.
- 5.4.2 Select paint and sealant coatings that are harmonious with adjoining work. In general, new material shall be a compatible formulation with the substrate of application.
- 5.4.3 Apply primer coatings to front and back wood surfaces prior to cutting and fitting. Prime end cuts before installation. Apply finish paint coatings to exposed primed surfaces.
- 5.4.4 Consider using opaque stain in lieu of paint on flooring, fencing, and similar wood surfaces exposed to foot traffic or weather.
- 5.4.5 Waterfront wood constructions such as docks and piers may be allowed to naturally weather in lieu of receiving paint coatings.
- 5.4.6 It is not appropriate to apply paint, water repellent or sealant coatings to unpainted surfaces such as masonry, stone, copper, and bronze.
- 5.4.7 Masonry painting may be permitted where severe damage, patching and surface repair has diminished the aesthetic integrity. When warranted, latex paint is a durable and adherent masonry coating to be considered.
- 5.4.8 Remove paint from masonry with a chemical paint remover specifically formulated for this purpose. Test in an inconspicuous location and discontinue use if damage or discoloration occurs.
- 5.4.9 It is not appropriate to paint exterior doors that were historically false grained, stained or varnished. It is not appropriate to leave surfaces such as porch flooring, deck flooring or railings unpainted.

5.5 Contemporary Materials

Project Planning Considerations

A careful balance of material consistency versus material variety helps define a sense of place in the historic districts. While variations in historic materials do exist, they ultimately fall within a palette available to New Bern builders during the previous two centuries. These limitations created a thread of continuity from one cycle of building styles to the next. Today, many materials are available from beyond our region, and manufacturing processes enable the creation of contemporary materials that threaten to break the thread of continuity that unifies the historic districts.

Contemporary materials shall be similar to their counterparts traditionally found on historic structures. Use of contemporary and nontraditional materials for infill

5. Materials

construction is an acceptable means of continuing the evolution of architecture through time, provided they convey appropriate historic characteristics.

Guidelines for Contemporary Materials

- 5.5.1 In general, contemporary material shall match the dimension, shape and texture of their counterparts commonly found in the historic districts.
- 5.5.2 Use contemporary and nontraditional materials in traditional ways. Apply materials in a traditional manner that conveys the same visual appearance as historic materials.
- 5.5.3 Contemporary and nontraditional materials should convey appropriate historic material characteristics, and will be evaluated on a case-by-case basis for appearance, dimension, texture, color, sheen, visual weight and similar characteristics.
- 5.5.4 Aluminum siding, vinyl siding, masonite siding, artificial brick sheathing, thin set stone veneer, stamped concrete and similar types of contemporary materials that imitate historic materials are not appropriate in the historic districts.
- 5.5.5 Cement board with a smooth finish is acceptable as the predominant siding material for infill construction and non-historic accessory structures.
- 5.5.6 Contemporary materials such as synthetic slate and fiberglass asphalt shingles are acceptable for sloped roofing regardless of building age. Select fiberglass asphalt shingles from a darker color palette. Contemporary membrane and roll roofing are acceptable for low-sloped roofs with a 1 inch per foot pitch or less regardless of building age.
- 5.5.7 Contemporary signage materials such as foam and vinyl lettering are acceptable regardless of building age. Confine these materials within the signage border.

6. Preservation

6.1 Maintenance of Materials

Preserve and retain historic material. Retain chimneys, dormers, towers, cupolas, cresting, finials, stone parapet copings, decorative roofing patterns and similar rooftop appurtenances. Retain entrances, porches, balconies, decorative fenestration, ornamentation and similar design components. Retain lintels, sills, trim, shutters, decorative molding and similar design components. Retain doors, windows and balustrades, and maintain their locations in Primary AVCs. It is not appropriate to replicate or replace historic windows and doors for the sole purpose of improved thermal performance.

When maintenance and repair are warranted, preserve and retain character defining architectural elements and historic detailing. Preference shall be given to repairing historic material versus replacing historic material. Repair historic design components by using patching, consolidating, reinforcing and splicing methods that incorporate matching, salvaged historic materials when available.

Use surviving components and elements as templates for reconstructing and replicating missing design components and elements. Where no such elements exist, rely on research documentation for reconstruction of lost design components and elements. Custom fabricate replicas and reconstructions with the spacing, proportion, dimension, cross section and profile of the template, or in accordance with relevant documentation. Replace individual members in a design component, when required, with custom fabricated, replica members. Replicate design components that are too deteriorated to repair.

Guidelines for Masonry Maintenance

- | | |
|-------|---|
| 6.1.1 | Retain and preserve the original form, pattern, color and texture of masonry. Maintain masonry features such as decorative vents, grilles, latticework, water tables and banding. |
| 6.1.2 | Clean masonry surfaces with low pressure water washing, and use a mild detergent if residue is stubborn. |
| 6.1.3 | Avoid using power tools such as saws and routers to remove deteriorated mortar joints. Machine removal often results in brick damage and joint enlargement. |
| 6.1.4 | Duplicate the profile and tooling of original mortar joints when repointing. |

6. Preservation

Guidelines for Wood Maintenance

- 6.1.5 Retain and preserve siding, fenestration, trim and ornamentation. Maintain wood features such as beaded and shaped edges, lathe turned profiles and decorative surfaces that have been milled, joined and routed.
- 6.1.6 Remove paint and other loose material with scrapers, sand paper and similar moderately abrasive hand tools. Remove mold and mildew with low pressure water washing and a mild detergent.
- 6.1.7 Use epoxy to reinforce and rebuild deteriorated wood. When original wood is too damaged to repair, only cut and replace damaged sections.

Guidelines for Metal Maintenance

- 6.1.8 Retain and preserve metal fabrications, ornamentation and hardware. Maintain metal features such as wrought iron fencing, decorative medallions and hardware for doors, windows and shutters.
- 6.1.9 Clean metal surfaces with wire brushes, sand paper and similar moderately abrasive hand tools to remove rust, paint and other loosely adhered material. Use chemical solvent cleaners only if hand preparation methods prove ineffective.
- 6.1.10 Maintain paint, lacquer and other coatings that protect metals from corrosion and deterioration.

Guidelines for Paint Maintenance

- 6.1.11 Maintain paint coatings that seal and weatherproof materials exposed to the elements. Routinely reapply paint coatings on steps, porch flooring, siding and roofs.
- 6.1.12 Prepare surfaces to receive coatings by using methods that do not damage or deteriorate the substrate.
- 6.1.13 Consider using flexible coating systems to prolong the life of metal roofing.

6.2 Prevention of Demolition by Neglect

Property owners are responsible for maintaining and repairing their property. Regular maintenance and repair protects the structural integrity of a building and keeps it in a safe and usable condition. Unabated deterioration over prolonged periods causes irreversible damage. Allowing a building to deteriorate and fall into disrepair through deferred maintenance is effectively causing demolition by neglect.

The historic districts embody a uniqueness that conveys identity and contributes to sense of place. Preserve buildings by undertaking a program of routine inspections, maintenance and repairs of masonry, metal, wood, paint and similar materials.

Focus routine inspections on the condition of materials. Maintain architectural features. Ensure that roofs are weathertight and free of water infiltration. Periodically examine foundations for firm, solid and stable support, without evidence of active insect infestations. Slope grades to convey water away from foundations. Accessible spaces beneath buildings are to be free of excessive moisture. Keep perimeter walls in good repair, with exterior surfaces serving as an effective barrier against moisture intrusion. Protect interiors from the elements by maintaining the structural integrity of windows, doors and openings.

Guidelines for Prevention of Demolition by Neglect

- | | |
|-------|--|
| 6.2.1 | Perform routine inspections to evaluate the conditions of materials. |
| 6.2.2 | Preserve historic design components and materials by implementing repairs appropriate for the substrates encountered. |
| 6.2.3 | Repair historic design components by using patching, consolidating, reinforcing and splicing methods that incorporate matching, salvaged historic materials. |
| 6.2.4 | Replicate missing and deteriorated design components with custom fabricated members that match the spacing, proportion, dimension, cross section and profile of material being replaced. |
| 6.2.5 | Materials are to be replaced in kind when maintenance and repairs are warranted. Maintenance and repair of incongruent material is permitted; however, wholesale replacement of incongruent material with the same or another incongruent material is not appropriate. |
| 6.2.6 | Boarded windows and doors are not an acceptable maintenance and repair practice. Temporary approval may be given to board windows and doors temporarily until permanent repairs and replacements are implemented; however, boarding shall be painted or sheathed with prefinished sheet metal. |

6.3 Relocation

Moving a historic structure is considered the alternative of last resort for preventing demolition. It invariably results in a substantial loss of building context and original material. Relocation also distorts the architectural development pattern of the city. If warranted, every effort should be made to move the building intact as a single unit. If this is not possible, move by partial disassembly. If either of these methods is deemed infeasible, complete disassembly and reassembly may be an option. Undertake careful planning to properly support, transport and reassemble relocated buildings.

Moving a contributing structure without prior approval from the State Historic Preservation Office and the National Park Service will result in automatic delisting of the structure from the National Register of Historic Places.

6. Preservation

Guidelines for Relocation

- | | |
|-------|--|
| 6.3.1 | Preference shall be given to relocating a structure within a historic district. |
| 6.3.2 | Prepare drawings and photographically document the original site prior to relocating historic resources. |
| 6.3.3 | Minimize the loss of historic fabric in executing the relocation. Protect against damage caused by shifting load bearing points, vibration and lateral drifting. |

6.4 Demolition

The success of preservation depends on adaptive reuse of historic resources to meet current needs. If adaptive reuse in a sensible manner is not feasible, owners should consider seeking an alternative property for their purposes. Demolition is an irreversible action resulting in a permanent loss of the integrity and character of historic resources. Preparation of a demolition COA application should include a detailed report on the history of the structure and property from the SHPO.

Demolition cannot be denied for a noncontributing structure. Demolition of a contributing structure requires a two-part COA where demolition is first considered, and if allowed, followed by consideration of the redevelopment plan. Demolition shall not proceed unless both parts of the COA are approved.

If demolition is denied, the property owner is required to maintain the property and its structures to prevent demolition by neglect.

The HPC may deny the demolition of a structure or site if it is currently listed in the National Register of Historic Places.

Guidelines for Demolition

- | | |
|-------|--|
| 6.4.1 | Demolition of a noncontributing structure shall not be denied by the HPC. |
| 6.4.2 | It is not appropriate to demolish a viable contributing structure in order to create an infill construction opportunity. |
| 6.4.3 | The HPC reserves the right to postpone demolition until development and building permits are approved for redevelopment plans. |
| 6.4.4 | Prepare drawings and photographically document the site prior to demolition. Include photographs of interiors, exteriors, architectural elements and context within the streetscape. |
| 6.4.5 | Notify preservation organizations, and allow for the salvage of design components, architectural features and building materials for reuse. |

In rendering a decision on a demolition COA, the HPC should address the following considerations:

Considerations for Evaluation

Consideration 1: Address the historical, cultural and architectural significance of the structure.

- Is it a contributing structure?
- Is it significant because of its historic use, an event, a person, a builder or an architect?
- Is it the last or the oldest example of a certain building type?

Consideration 2: Address the integrity of the structure.

- What are the conditions of foundations, floors, walls, windows, doors and roofs?
- Is it a hazard to public health, safety and welfare?

Consideration 3: Address attempted preservation efforts.

- Have options for rehabilitation been explored with preservation organizations?
- Has the applicant been unsuccessful in seeking alternatives to demolition?
- Have alternatives for structure relocation and sale of the property been pursued?

6. Preservation

7. Definitions and Architectural Terms

Key definitions and architectural terms are provided to facilitate discussions between the HPC and applicants.

7.1 Definitions

Adaptive Reuse – Converting a building from the use for which it was designed to another use. For example, changing a house to accommodate an office.

Aggrieved Party – Someone, or some entity, that 1) owns an interest in the property affected by the decision and 2) the property involved is specially affected by the decision to an extent different from other property owners in the community. Aggrieved parties may include the applicant for a COA, an owner of a neighboring property that is nearby the property for which the COA is sought, or the city through its staff. (Definition from the University of North Carolina Institute of Government)

Applicant – An individual who submits a COA application. This can be a property owner or their designated representative. For example, a contractor could represent the property owner.

Area of Visual Concern (AVC) – See Section 1.5.

Articulation – The manner or method of jointing parts such that each part is clear and distinct in relation to the others.

Benchmark – An established point from which all vertical dimensions are measured.

Certificate of Appropriateness (COA) - A document awarded by a preservation commission or architectural review board allowing an applicant to proceed with proposed alteration, demolition or construction in a designated historic area or site, following a determination of the proposal's suitability according to applicable criteria.

COA Hearing – See Section 1.6.

Certified Historic Structure – For the purpose of the federal preservation tax incentives, any structure subject to depreciation as defined by the Internal Revenue Service Code that is listed individually on the National Register of Historic Places or located in a registered historic district and certified by the Secretary of the Interior as being of historic significance to the district.

Certified Rehabilitation – Any rehabilitation of a certified historic structure that the Secretary of the Interior has determined is consistent with the historical character of the property or the district in which the property is located.

7. Definitions and Architectural Terms

Certified Local Government Program – In 1980, Congress amended the National Historic Preservation Act of 1966 to require each state to establish a procedure by which local governments may be certified to participate in the national framework of historic preservation programs. This requirement has become the "Certified Local Government (CLG) Program" in which many North Carolina counties and cities participate.

Context – Those elements of the man-made and natural landscape that collectively define the character of a building, site or district.

Contributing Structure – See Section 1.5.

Cultural Resource – A building, structure, district, site, object or document that is of significance in American history, architecture, archeology or culture.

Demolition by Neglect – The destruction of a building through abandonment or lack of maintenance.

Design Guidelines – Criteria developed by preservation commissions and architectural review boards to identify design concerns and to help property owners undertake rehabilitation and construction that respects the character of designated buildings or districts.

Design Review – The process of ascertaining whether modifications to historic and other structures, settings and districts meets standards of appropriateness established by a governing or advisory review board.

Details – See Section 3.1.

Fabric – The physical material of a building, structure or city connoting an interweaving of component parts.

Form – See Section 3.1.

Infill – See Section 3.4.

Harmony – Pleasing agreement of parts in color, size, scale, texture and material.

Hearing – See Section 1.6.

Historic district – A geographically definable area with a significant concentration of buildings, structures, sites, spaces or objects unified by past events, physical development, design, setting, materials, workmanship, sense of cohesiveness or related historic and aesthetic associations. The significance of a district may be recognized through listing on a local, state or national landmarks register and may be protected legally through enactment of a local historic district ordinance administered by a historic district board or commission.

Historic Preservation Commission (HPC) – See Section 1.4.

Human Scale – A combination of qualities in architecture or the landscape that

provides an appropriate relationship to human size, enhancing rather than diminishing the importance of people.

Landmarks Register – A listing of buildings, districts and objects designated for historical, architectural or other special significance that may carry protection for listed properties.

Major Works – See Section 1.6.

Mass – See Section 3.1.

Minor Works – See Section 1.6.

Not incongruous – See Section 1.5.

Preservation – Generally, the process of saving old and historic buildings, sites, structures and objects from destruction or deterioration, and providing for their continued use by means of restoration, rehabilitation or adaptive reuse and continued maintenance. The Secretary of Interior's Standards for Rehabilitation define it as "the act or process of applying measures to sustain the existing form, integrity and materials of a historic property. It may include stabilization work, where necessary, as well as ongoing maintenance of the historic building materials."

Public Hearing – See Section 1.6.

Proportion – See Section 3.1.

Quasi-judicial Hearing – See Section 1.6.

Rehabilitation – "The act or process of returning a property to a state of utility through repair or alteration which makes possible an efficient contemporary use while preserving those portions or features of the property which are significant to its historical, architectural and cultural values" as defined by the Secretary of Interior's Standards for Rehabilitation.

Renovation – Modernization of an old or historic building that may produce inappropriate alteration or eliminate important features and details.

Restoration – "The act or process of accurately recovering the form and details of a property and its setting as it appeared at a particular period of time by means of removal of latter work or by the replacement of missing earlier work" as defined in the Secretary of the Interior's Standards for Rehabilitation.

Rhythm – See Section 3.1.

Scale – See Section 3.1.

Section 106 – The provision of the National Historic Preservation Act of 1966 that requires the head of a federal agency financing or licensing a project to make a determination of the effect of the project or property on or eligible for the

7. Definitions and Architectural Terms

National Register of Historic Places. This is the only protection the National Register provides for listed properties.

State Historic Preservation Office (SHPO) – See Section 1.8.

Stabilization – “The act or process of applying measures designed to establish a weather resistant enclosure and the structural stability of unsafe or deteriorated property while maintaining the essential form as it exists at present,” according to the Secretary of Interior’s Standards for Rehabilitation.

Standing – Legal justification to participate in a hearing related to a COA application. This generally includes 1) the property owner or their representative for a COA, and 2) an owner of a neighboring property that may be materially affected by the COA. An association may have standing if 1) they have an existence not solely for the purpose of the COA, 2) their interests are germane to the association’s purpose, and 3) an individual with standing is a member of the association and has asked the association for assistance. Definition from the UNC Institute of Government.

Tax Incentive – A tax reduction designed to encourage private investment in historic preservation and rehabilitation projects.

Texture – See Section 3.1.

7.2 Architectural Terms

Alkyd Resin Paint – A common modern paint incorporating alkyd, which is one group of thermoplastic synthetic resins used as a vehicle for the pigment. Alkyd resin paint is often confused with oil paint.

Aluminum Siding – Sheets of exterior architectural covering, usually with a colored finish, fabricated of aluminum to approximate the appearance of wooden siding. Aluminum siding was developed in the early 1940s and became increasingly common in the 1950s and the 1960s.

Amenity – A building, object, area or landscape feature that makes an aesthetic contribution to the environment rather than one that is purely utilitarian.

Arbor – A small structure with vines or other plants trained over latticework on a frame that provides a shady place. A true arbor by definition also includes a bench sheltered underneath for seating. Another structure often referred to as an arbor is a trellis covered gateway, often built above a gate within a larger fence or garden wall.

Arcade – A series of arches supported on piers or columns attached to or detached from a wall.

Arch – A structure formed of wedge shaped stones, bricks or other objects laid to maintain one another firmly in position. A rounded arch generally represents classical or Romanesque influence whereas a pointed arch denotes Gothic

influences.

Architrave – The lowest part of an entablature, sometimes used by itself as a casing for a window or door.

Art Deco – A style of decorative arts and architecture popular in the 1920s and 1930s characterized by use of geometric, angular forms; also referred to as Moderne or Art Moderne.

Asbestos Siding – Dense, rigid board containing a high proportion of asbestos fibers bonded with portland cement; resistant to fire, flame, or weathering and having a low resistance to heat flow. It is usually applied as large overlapping shingles. Asbestos siding was readily available in the 1950s.

Ashlar – A style of stonework consisting of individual stones that are shaped and tooled to have even faces and square edges.

Asphalt Shingle – A shingle manufactured from saturated construction fiberglass felts coated with asphalt and finished with mineral granules on the side exposed to the weather.

Asphalt Siding – Siding manufactured from saturated construction felts coated with asphalt and finished with mineral granules on the side exposed to the weather. It sometimes displays designs seeking to imitate brick or stone. Asphalt siding was applied to many buildings in the 1950s.

Attic Ventilator – A screened or louvered opening, sometimes in decorative shapes, located in gables or soffits. Victorian styles sometimes feature sheet soffits or metal ventilators mounted on the roof ridge above the attic.

Awning – A roof like covering of canvas, often adjustable, over a window, a door, etcetera, to provide protection against the sun, rain and wind. Aluminum awnings were developed in the 1950s.

Balustrade – A low barrier formed of balusters, or uprights, supporting a railing.

Band or Band Course, Bandmold, Belt – Flat wall trim running horizontally that denotes a division in the wall plane or a change in level.

Bargeboard or Vergeboard – A wooden member, usually decorative, suspended from and following the slope of a gable roof. Bargeboards are used on buildings inspired by Gothic forms.

Bay – An opening or division along the face of a structure. For example, a wall with a door and two windows is three bays wide. A bay can also be a projection of a room or facade having windows.

Beltcourse – A projecting course of bricks or other material forming a narrow horizontal strip across the wall of a building, usually to delineate the line between stories, and also referred to as a string course.

7. Definitions and Architectural Terms

Beveled Glass – Glass panes whose edges are ground and polished at a slight angle so that patterns are created when panes are set adjacent to one another.

Board and Batten – A method of covering exterior walls using vertical boards, with narrow strips of wood or battens used to cover the joints between boards.

Bond – The pattern in which bricks are laid.

Bracket – A divide, either ornamental, structural, or both, set under a projecting element, such as the eaves of a house.

Bulkhead – The panels below the display windows on a commercial storefront.

Bungalow Style – An early 20th century architectural style that grew out of the Arts and Crafts movement of the 19th century. Its basic characteristics are long, low profiles; overhanging, bracketed eaves; wide engaged porches with square, squat brick piers supporting wood posts; and informal interior arrangements.

Buttress – A vertical mass of masonry projecting from or built against a wall to give additional strength at the point of maximum stress. Sometimes wooden buttresses are added to frame Gothic Revival style buildings as decorative, but not supporting features.

Capital – The topmost member, usually decorated or molded, of a column or pilaster.

Cararra Glass – Pigmented structural glass developed and popularized in the early 20th century for facing Art Deco and Art Modern-style commercial buildings.

Casing – The exposed trim molding, framing or lining around a door or a window. Casings may be either flat or molded.

Cast Iron – Iron that has been shaped by being melted and cast in a mold.

Caulking – A resilient mastic compound, often having a silicone, bituminous or rubber base; used to seal cracks, fill joints, prevent leakage and provide waterproofing.

Cementitious Board – A material composed of cement, sand and cellulose fiber. It was first introduced in the early twentieth century as a substitute for slate. Today cementitious board has a variety of uses including exterior siding and roofing.

Center-Hall Plan – A plan in which the hall or passage extends through the center of a house and is flanked by two or more rooms.

Chalking – The formation of a powder surface condition from the disintegration of a binder or an elastomer in a paint coating caused by weathering or an otherwise destructive environment.

Chamfer – A beveled edge or corner.

Chamfered Post – A square post with the edges of its corners cut away or beveled.

Checking – Small cracks in a film of paint or varnish that do not completely penetrate to the previous coat. Crack patterns are roughly similar to a checkerboard.

Clapboard or Weatherboard – Horizontal wooden boards that are tapered toward the upper edge and laid to cover a portion of a similar board underneath and to be covered by a similar one above. The exposed face of clapboard is usually less than 6 inches wide. This was common outer facing in the nineteenth and early twentieth century buildings.

Classical – Embodying or based on the principles and forms of Greek and Roman architecture.

Clerestory – Windows located relatively high in a wall that often form a continuous band. This was a feature of many Gothic cathedrals and was later adapted to many Revival styles.

Clipped Gable – The peak of a gable which is truncated for decorative effect; often the roof overhangs the missing peak.

Colonial Revival Style – Late 19th and early 20th century style that combines features of Classical and Colonial architecture.

Colonnade – A small-scale column, generally employed as a decorative element on mantels, overmantels and porticoes.

Column – A vertical shaft or pillar that supports or appears to support a load.

Common Bond – A method of laying brick where one course of headers is laid for every three, five or seven courses of stretchers.

Composition Board – A building board, usually intended to resemble clapboard, fabricated from wood or paper fabric under pressure and at an elevated temperature, usually with a binder.

Composite Lumber – A material composed of a mixture of wood fiber, plastic and a bonding agent. Ingredients are proportioned to form a material that is denser, stronger and heavier than wood lumber.

Coping – The cap or the top course of a masonry wall.

Corbel – A projection, or building out, from a masonry wall, sometimes to support a load and sometimes for decorative effect.

Corner Block – A square piece, either plain or decorated that forms a corner of a window or door surround.

7. Definitions and Architectural Terms

Corner Boards – Vertical boards nailed on the external corners of frame buildings to provide a method of finishing and joining the ends of the weatherboards.

Cornice – Any predominant molded and projecting horizontal member that crowns an architectural composition, such as a storefront or a parapet wall.

Craftsman Style – Prevalent in the first few decades of the 20th century, this style is usually characterized by a nonsymmetrical façade and front porch with porte cochere to one side. Architectural components typically include exposed roof beams, triangular knee braces at gables and low to moderately sloped roofs. Common exterior finish materials include wood shingles, clapboard and stucco.

Crenulation – Alternating indentations and raised sections of a parapet, creating a toothlike profile sometimes known as a battlement. Crenulation is a detail found most commonly in the Gothic Revival style.

Cresting – Ornamental ironwork, often highly decorative, used to embellish the ridge of a gable roof or the curb or upper cornice of a mansard roof.

Crossette – A lateral projection of the head of the molded architrave or surround of a door, window, mantel or paneled overmantel; also known as an “ear” or “dog-ear”.

Crown Molding – The upper molding of a cornice, often serving to cap or crown the vertical facing or fascia of a boxed cornice. Also, the term is frequently given to the molding used to decorate the joints between walls and a ceiling.

Cupola – A small structure, usually polygonal, built on top of a roof or tower, mostly for ornamental purposes.

Deck – An uncovered porch supported on posts, usually at the rear of a building; popular in modern residential design.

Dentil – Small, closely spaced blocks, often toothlike, used as an ornamental element of a classical cornice.

Dogtrot Plan – A plan in which two pens with their own chimneys separated by an open center passage.

Dormer – A structure containing a window, or windows that project through a pitched roof.

Doric Order – A classical order characterized by simple unadorned capitals supporting a frieze of vertically grooved tablets or triglyphs set at intervals.

Dormer Window – An upright window, set in a sloping roof, with vertical sides and front, usually with a gable, shed or hip roof.

Double-Hung Window – A window with two sashes that open and close by

sliding up and down in a cased frame.

Double-Pile House – A center-hall plan house that is two rooms deep on each side of the hall.

Double-Shoulder Chimney – An exterior chimney the sides of which angle inward to form shoulders twice as it ascends from the base to the cap.

Downspout – A vertical pipe, often of sheet metal, used to conduct water from a roof drain or gutter to the ground or cistern.

Dressed – Descriptive of stone, brick or lumber that has been prepared, shaped or finished by cutting, planing, rubbing or sanding one or more of its faces.

Eave – The part of a sloping roof that projects beyond the wall.

Eclectic or Eclecticism – A method of design in architecture in which elements from a variety of stylistic sources are selected and combined in new and original ways.

Elevation – A drawing showing the vertical elements of a building, either exterior or interior, as a direct projection to a vertical plane.

Ell – A secondary wing or extension of a building, often a rear addition, positioned at right angles to the principal mass.

Eminent Domain – The power of a government to acquire private property for public benefit after payment of just compensation to the owner.

Enabling Legislation – Federal or state laws that authorize governing bodies within their jurisdictions to enact particular measures or delegate powers such as enactment of local landmarks and historic district ordinances, zoning and taxation.

Engaged Porch – A porch, the roof of which is continuous structurally with that of the main building roof.

English Bond – A method of laying brick wherein one course is laid with stretchers and the next with headers, thus bonding the double thickness of brick together and forming a high strength bond of alternating courses of stretchers and headers.

Entablature – The horizontal part of a Classical order of architecture, usually positioned above columns or the frieze; the uppermost element is the cornice.

Escutcheon – A protective plate, sometimes decorated, surrounding, the keyhole of a door, a light switch or similar device.

Etched Glass – Glass whose surface has been cut away with a strong acid or by abrasive action into a decorative pattern.

Extended Use – Any process that increases the useful life of an old building, e.g.

7. Definitions and Architectural Terms

adaptive use or continued use.

Exterior End Chimney – A chimney located outside the walls of a house, usually against the gable end of a building.

Facade – The face or front of a building.

Fanlight – A semicircular window, usually above a door or window, with radiating muntins suggesting a fan.

Fascia – A flat board with a vertical face that forms the trim along the edge of a flat roof, or along the horizontal, or eave side of a pitched roof. The rain gutter is often mounted on it.

Fluting – Shallow, concave grooves running vertically on the shaft of a column, pilaster or other surface.

Federal Style – The style of architecture popular in America from the Revolution through the early 19th century, and from about 1800-1840 in North Carolina. The style is characterized by the use of delicate Classical ornament.

Fenestration – The arrangement and design of windows on a building.

Finial – an ornament, usually turned on a lathe, placed on the apex of an architectural feature such as a gable, turret or pediment.

Flashing – A thin impervious material placed in construction to prevent water penetration, to provide water drainage, or both, especially between a roof and a wall.

Flemish Bond – A method of laying brick where headers and stretchers alternate in each course and, vertically, headers are placed over stretchers to form a bond and give a distinctive cross pattern.

Flush Siding – An exterior wall treatment consisting of closely fitted horizontal boards with joints that are carefully formed to be hidden and flush, giving a very uniform, flat siding appearance.

Foundation – The supporting portion of a structure below the first floor construction, or below grade, including footings.

French Window – A long window reaching to the floor level and opening in two leaves like a pair of doors.

Fretwork – A geometrically meandering strap pattern; a type of ornament consisting of narrow fillet or band that is folded, crossed and interlaced.

Frieze – The middle portion of a Classical entablature, located above the architrave and below the cornice. The term is usually used to describe the flat, horizontal board located above the weatherboards of most houses.

Gable – The triangular portion of a wall formed or defined by the two sides of a double sloping roof; often referred to as an “A” roof.

Galvanize – To coat steel or iron by immersing it in a bath of molten zinc.

Gambrel Roof – A gambrel or gambrel roof is a usually symmetrical two-sided roof with two slopes on each side. The upper slope is positioned at a shallow angle, while the lower slope is steep.

Gazebo – A small structure or garden pavilion usually sited to capture a particular view. Gazebos can be freestanding or attached to a garden wall, and they are characterized by a roof and partially open sides. The most popular shape is octagonal or round.

Georgian Style – The prevailing style of the eighteenth century in Great Britain and the North American Colonies, so named after George I, George II and George III. It is derived from Classical, Renaissance and Baroque forms.

German Siding – Wooden siding with a concave upper edge that fits into a corresponding rabbet in the siding above.

Gingerbread – Thin, curvilinear ornamentation produced with machine powered saws.

Glazed Header – A brick having a glossy, dark coating ranging in color from gray green to almost black, formed on the outer surface through direct exposure to flame and intense heat during the firing process. In Flemish bond brickwork, this glazed surface is often used for decorative effect by laying the brick so that the glazed ends or headers are exposed to form a pattern in the wall.

Glue-Chip Glass – A patterned glass with a surface resembling frost crystals common in turn of the century houses and bungalows.

Gothic Arch – A pointed arch commonly used in Gothic Revival architecture especially churches.

Gothic Revival Style – The nineteenth-century revival of the forms and ornament of medieval Gothic European architecture, characterized by the use of the pointed arch, buttresses, pinnacles and other Gothic details in a decorative fashion. The style was popular for church architecture in North Carolina well into the 20th Century.

Greek Revival Style – The mid-19th century revival of the forms and ornamentation of the architecture of ancient Greece.

Gutter – A shallow channel of metal or wood set immediately below or built in along the eaves of a building to catch and carry off rainwater.

Hall Parlor Plan – A traditional vernacular plan consisting of two principal rooms: a larger “hall,” often nearly square, and an adjoining smaller “parlor.” In most instances, the hall was entered directly from the outside and had a fireplace

7. Definitions and Architectural Terms

centered on the end wall; it was the room where most domestic activities took place. The smaller parlor tended to be used for sleeping.

Header – The end of a brick, sometimes glazed.

Hipped Roof – A roof that slopes back equally from each side of a building. A hip roof can have a pyramidal form or have a slight ridge.

House Museum – A museum whose structure itself is of historical or architectural significance and whose interpretation relates primarily to the building's architecture, furnishings and history.

Interior End Chimney – A chimney positioned on the interior side of the gable end of a house.

Italianate Style – A revival of elements of Italian Renaissance architecture popular during the mid and late 19th century, characterized by the presence of broad projecting or overhanging cornices supported by ornate sawn brackets. Other features include the use of arched windows and heavy hoodmolds.

Jamb – The vertical sides of an opening, usually for a door or a window.

Jerkin Head Roof – A roof whose end has been formed into a shape midway between a gable and a hip, resulting in a truncated or “clipped” appearance; sometimes called clipped gable.

Joist – One of a series of parallel timbers or beams, usually set on edge, that span a room from wall to wall to support a floor or ceiling; a beam to which floorboards, ceiling boards or plaster laths are nailed.

Keystone – The central wedge-shaped stone at the crown of an arch or in the center of a lintel.

Landscape – The totality of the built or human influenced habitat experienced at any one place. Dominant features are topography, plant cover, buildings or other structures and their patterns.

Latex Paint – A paint having a latex binder, which is an emulsion of finely dispersed particles of natural or synthetic rubber or plastic materials in water.

Lattice – A network, often diagonal, of interlocking lath or other thin strips used as screening, especially in the base of a porch.

Light – A pane of glass.

Lintel – A beam of wood or stone that spans an opening; in masonry construction it frequently supports the masonry above the opening.

Lunette – A semicircular opening.

Mansard Roof – A four sided double pitch roof characteristic of the Second

Empire Style.

Mixed Use – A variety of authorized activities in an area or a building as distinguished from the isolated uses and planned separatism prescribed by many zoning ordinances.

Mildew – A fungus that grows and feeds on paint, cotton and linen fabrics, etcetera, that are exposed to moisture; causes discoloration and decomposition of the surface.

Modillion – A horizontal bracket, often in the form of a plain block, ornamenting, or sometimes supporting, the underside of the cornice.

Molding – A decorative band having a constant profile or having a pattern in low relief, generally used in cornices or as trim around openings.

Mortar – A mixture of portland cement, lime, putty and sand in various proportions used for laying bricks or stones. Until the use of hard portland cement became prevalent, the softer lime clay or lime sand mortars and masonry cement were common.

Mortise and Tenon – A joint made by one member having its end cut as a projecting tongue, or tenon, that fits exactly into a groove or hole, or mortise, in the other member. Once joined in this fashion, the two pieces are often secured by a peg.

Mullion – A vertical member dividing a window area and forming part of the window frame.

Muntin – A molding forming part of the frame of a window sash and holding one edge of a pane.

Newel Post – The principal post used to terminate the railing or balustrade of a flight of stairs.

Neoclassical Style – A style of architecture popular during the first half of the twentieth century. Elements draw heavily from Greek Revival and early Classical revival.

Ogee – A double curve formed by the combination of a convex and concave line, similar to an s-shape.

Oil Paint – A paint in which a drying oil, usually linseed oil, is the vehicle for the pigment; rarely used as a house paint since the mid twentieth century when it was commonly replaced by alkyd resin paints.

Ornamentation – In architecture, applied embellishment in various styles that is a distinguishing characteristic of buildings, furniture, and household items. Ornamentation often occurs on entablatures, columns, and the tops of buildings and around entryways and windows, especially in the form of moldings.

7. Definitions and Architectural Terms

Palladian Window – A window design featuring a central arched opening flanked by lower square headed openings separated from them by columns, pilasters, piers or narrow vertical panels.

Panel – A portion of a flat surface set off by molding or some other decorative device.

Parapet – A low wall along a roof or terrace, used as decoration or protection.

Patio – An open, outdoor living space adjacent to a building, usually surfaced with stone, tile or concrete and at ground level.

Pediment – A crowning element of porticoes, pavilions, doorways and other architectural features, usually of low triangular form with a cornice extending across its base and carried up the raking sides; sometimes broken in the center as if to accommodate an ornament; sometimes of segmental, elliptical or serpentine form.

Pen – A one room structure, the term is typically used when referring to log buildings. Many dwellings erected by the first settlers of the North Carolina piedmont were single pen structures. Many of these dwellings were expanded into two pen houses following the double pen, saddlebag or dogtrot plans.

Pergola – A long and narrow, linear structure with pillars to support flat crossbeams and an open latticework that is often covered in vines to shade a walkway. Although sometimes called an arbor, a pergola is a trellis structure over a walkway and may extend from a building, connect buildings or protect an open terrace. Pergolas can also extend from a door to a garden feature, such as a pool.

Pilaster – A shallow pier or rectangular column projecting only slightly from or engaged to a wall. Pilasters are usually decorated like columns with a base, shaft and capital.

Porte Cochere – A projecting porch that provides protection for vehicles and people entering a building; a common feature of the early 20th century Colonial Revival and Bungalow styles.

Portico – A roofed space, open or partly enclosed, often with columns and a pediment that forms the entrance and centerpiece of the facade of a building.

Portland Cement – A very hard and strong hydraulic cement made by heating a slurry of clay and limestone in a kiln. Water is the catalyst that activates hardening.

Primer – A paint applied as a first coat that serves the function of sealing and filling on wood, plaster and masonry.

Queen Anne Style – A popular late 19th century revival of early 18th century English architecture, characterized by irregularity of plan and massing with a variety of textures.

Quoin – Ornamental blocks of wood, stone, brick or stucco placed at the corners of a building and projecting slightly from the front of the facade.

Rafters – Structural timbers rising from the plate at the top of a wall to the ridge of the roof and supporting the roof covering.

Raised panels – A portion of a flat surface, as in the panel of a door or wainscoting that is distinctly set off from the surrounding area by a molding or other device and is raised above the surrounding area.

Rake – Trim members that run parallel to a roof slope and form the finish between the wall and a gable roof extension.

Repointing – Raking out deteriorated mortar and filling with surface mortar to repair the joint.

Returns – Horizontal portions of a cornice that extend part of the way across the gable end of a structure at eave level.

Roofing Tile – A tile for roofing, usually of burnt clay; available in many configurations and types, such as plain tiles, single lap tiles and interlocking tiles.

Rusticated Stone – Masonry or wood in which each principal face is rough or highly patterned with a tooled margin.

Saddlebag Plan – A plan in which two single pen rooms are joined together, separated by a single interior chimney.

Sandblasting – An extremely abrasive method of cleaning brick, masonry or wood that involves directing high powered jets of sand against a surface.

Sanding – Flattening down, rubbing and smoothing a surface with abrasive paper cloth either by hand or by machine.

Sash – The frame, usually of wood, that holds the panes of glass in a window; may be movable or fixed; may slide in a vertical plane or may be pivotal.

Sawnwork – Ornamentation in cutout planking, formed with a bandsaw. Popular in the 1880s and the 1890s, this decorative detailing is flat.

Second Empire Style – An eclectic style derived from the grand architecture of the French Second Empire of Napoleon III from 1852-1870, popularly used in America from the 1860s to the 1880s, especially for public buildings, and characterized by heavy ornament and high mansard roofs with dormers.

Segmental Arch – An arch formed on a segment of a circle or an ellipse.

Sense of Place – The sum of the attributes of a locality, neighborhood or property that give it a unique and distinctive character.

7. Definitions and Architectural Terms

Shed Room – A one story appendage to a larger structure, covered by a simple shed or sloping roof that “leans” against the principal building mass.

Sheet Metal – A flat, rolled metal product, rectangular in cross section and form; when used as roofing material, usually terne or zinc-plated.

Shingle – A roofing unit of wood, asphalt, slate, tile or other material cut to stock lengths, widths and thicknesses; used as an exterior covering on roofs and applied in an overlapping fashion.

Shoulder – The sloping shelf or ledge created on the side of a masonry chimney where the width of the chimney changes.

Shutters and blinds – Small solid panels hinged on the exterior of windows, and sometimes doors, to be operable. Blinds are similar, but with wooden louvers.

Sidelight – A framed area of fixed glass of one or more panes positioned to either side of a door or window opening.

Sill – A heavy horizontal timber positioned at the bottom of a wood framed structure that rests on top of the foundation; also, the horizontal bottom member of a door or window frame.

Soffit – The exposed undersurface of any overhead component of a building, such as an arch, balcony, beam, cornice, lintel or vault.

Spindle Frieze – A row of lathe turned spindles included as the uppermost decorative feature of a gallery or porch below the cornice; also known as an openwork frieze.

Street Furniture – Municipal equipment placed along streets including light fixtures, fire hydrants, police and fire call boxes, signs, benches and kiosks.

Streetscape – The distinguishing character of a particular street is created by its width, degree of curvature, paving materials, street furniture, forms of surrounding buildings and the presence of vegetation, especially trees, along the curb or sidewalk.

Stretcher – The long face of a brick when laid horizontally.

String Course – A projecting course of bricks or other material forming a narrow horizontal strip across the wall of a building, usually to delineate the line between stories, also referred to as a belt course.

Stucco – An exterior finish, usually textured, composed of portland cement, lime and sand mixed with water. Older type stucco may be mixed from softer masonry cement rather than portland cement.

Style – A type of architecture distinguished by special characteristics of structure and ornament and often related in time; also, a general quality of distinctive character.

Surround – The border or casing of a window or door opening, sometimes molded.

Terneplate – Sheet metal coated with terne metal, which is an alloy of lead containing up to 20 percent tin.

Terra Cotta – A ceramic material, molded decoratively and often glazed, used for facing buildings or as inset ornament.

Textured Siding – Wood cut in various flat patterns, such as half rounds or scallops, and applied to portions of facades to create a picturesque or romantic look. This treatment was generally used in Queen Anne style buildings. Surface textures are often found in diamond, scallop, staggered butt or composite patterns.

Tongue and Groove – A joinery system in which boards are milled with a tongue on one side and a groove on the other so that they can be tightly joined with a flush surface alignment.

Townscape – The relationship of buildings, shapes, spaces and textures that give a town or area its distinctive visual character or image.

Trabeated – A method of construction employing posts and lintels; hence, a term used to describe a standard Greek Revival entrance door having a transom and sidelights.

Tracery – An ornamental division of an opening, especially a large window, usually made with wood. Tracery is found in buildings of Gothic influence.

Transom – A narrow horizontal window unit above a door.

Turned – Fashioned on a lathe, as in a baluster, newel or porch post.

Turret – A small tower, usually corbelled from a corner.

Viewshed – A geographical area that is visible from a location, including surrounding points that are in the line of sight with that location, and excluding points that are beyond the horizon or obstructed by terrain, buildings, trees and similar features.

Vernacular – In architecture, as in language, the nonacademic local expressions of a particular region. For example, a vernacular Greek Revival structure may exhibit forms and details that are derived from the principles of formal Classical architecture but are executed by local builders in an individual way that reflects both local or regional needs, tastes, climatic conditions, technology and craftsmanship.

Victorian – The general term used to describe the wide variety of eclectic revival styles that were introduced in British and American architecture during the reign of Queen Victoria from 1837-1901.

7. Definitions and Architectural Terms

Vinyl Siding – Sheets of thermal plastic compound made from chloride or vinyl acetates, as well as some plastics made from styrene and other chemicals, usually fabricated to resemble clapboard.

Visual Pollution – Anything that, because of its placement or intrinsic nature, is offensive to the sense of sight, e.g., garbage dumps.

Vitrolite – Pigmented structural glass developed and popularized in the early 20th century for facing Art Deco and Art Modern style commercial buildings.

Water Blasting – A cleaning method similar to sandblasting except that water is used as the abrasive. As in sandblasting, high-pressure water jets can damage wood and masonry surfaces.

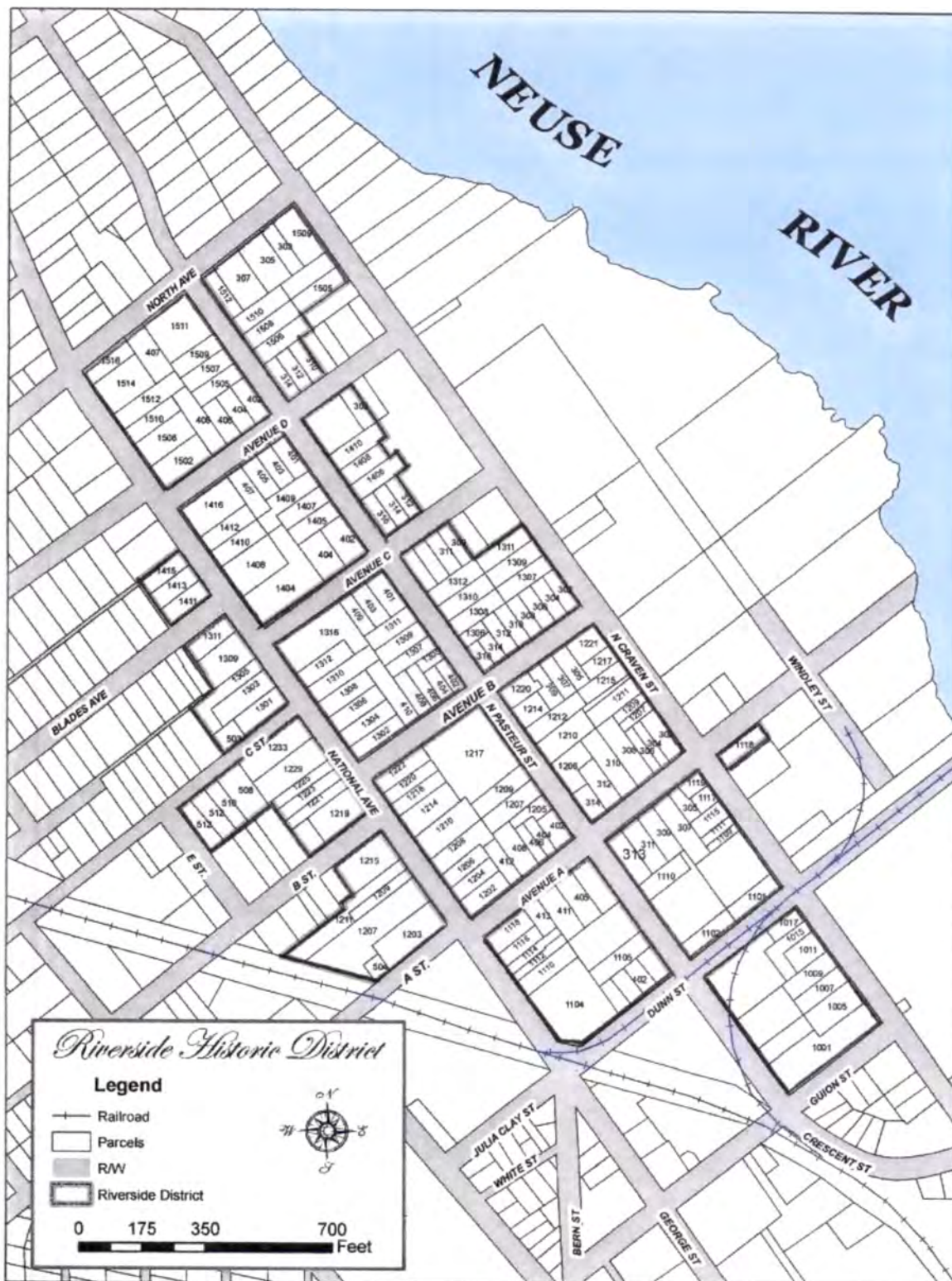
Water Table – A belt course differentiating the foundation of a masonry building from its exterior walls.

Weatherboard – Wood siding consisting of overlapping horizontal boards usually thicker at one edge than the other.

Wrought Iron – Iron that is rolled or hammered into shape, never melted. In general, wrought iron is not commercially available and ornamental iron is used in its place.

[illegible]

8.2 Riverside Historic District Map



8.3 Department of Interior Standards for the Treatment of Historic Properties

These standards promote consistent and responsible historic preservation practices for the protection of the country's cultural resources. There are four treatment standards in hierarchical order: Preservation, Rehabilitation, Restoration, and Reconstruction. Contact SHPO or visit their website for additional information on the treatment standards.

Standards for Preservation

The Standards for Preservation place a high premium on the retention of historic fabric through conservation, maintenance and repair. It reflects a building's continuum over time, through successive occupancies, and the respectful changes and alterations that are made.

1. A property will be used as it was historically, or be given a new use that maximizes the retention of distinctive materials, features, spaces, and spatial relationships. Where a treatment and use have not been identified, a property will be protected and, if necessary, stabilized until additional work may be undertaken.
2. The historic character of a property will be retained and preserved. The replacement of intact or repairable historic materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.
3. Each property will be recognized as a physical record of its time, place, and use. Work needed to stabilize, consolidate, and conserve existing historic materials and features will be physically and visually compatible, identifiable upon close inspection, and properly documented for future research.
4. Changes to a property that have acquired historic significance in their own right will be retained and preserved.
5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.
6. The existing condition of historic features will be evaluated to determine the appropriate level of intervention needed. Where the severity of deterioration requires repair or limited replacement of a distinctive feature, the new material will match the old in composition, design, color, and texture.
7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.
8. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.

8. Appendices

Standards for Rehabilitation

The Standards for Rehabilitation emphasize the retention and repair of historic materials, but more latitude is provided for replacement because it is assumed the property is more deteriorated prior to work. These standards form the foundation of the Commission's design review criteria and the basis for New Bern's historic district guidelines.

1. A property will be used as it was historically or be given a new use that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.
2. The historic character of a property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces, and spatial relationships that characterize a property will be avoided.
3. Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.
4. Changes to a property that have acquired historic significance in their own right will be retained and preserved.
5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.
6. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new features will match the old in design, color, texture, and where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.
7. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.
8. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.
9. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials features, size, scale and proportion, and massing to protect the integrity of the property and its environment.
10. New additions and adjacent or related new construction will be undertaken in such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Standards for Restoration

The Standards for Restoration are focused on the retention of materials from a particular time in a property's history, while permitting the removal of materials from other periods.

1. A property will be used as it was historically or be given a new use which reflects the property's restoration period.
2. Materials and features from the restoration period will be retained and preserved. The removal of materials or alteration of features, spaces, and spatial relationships that characterize the period will not be undertaken.
3. Each property will be recognized as a physical record of its time, place, and use. Work needed to stabilize, consolidate and conserve materials and features from the restoration period will be physically and visually compatible, identifiable upon close inspection, and properly documented for future research.
4. Materials, features, spaces, and finishes that characterize other historical periods will be documented prior to their alteration or removal.
5. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize the restoration period will be preserved.
6. Deteriorated features from the restoration period will be repaired rather than replaced. Where the severity of deterioration requires replacement of a distinctive feature, the new feature will match the old in design, color, texture, and, where possible, materials.
7. Replacement of missing features from the restoration period will be substantiated by documentary and physical evidence. A false sense of history will not be created by adding conjectural features, features from other properties, or by combining features that never existed together historically.
8. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.
9. Archeological resources affected by a project will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.
10. Designs that were never executed historically will not be constructed.

8. Appendices

Standards for Reconstruction

The Standards for Reconstruction establish limited opportunities to recreate a non-surviving site, landscape, building, structure, or object in all new materials.

1. Reconstruction will be used to depict vanished or non-surviving portions of a property when documentary and physical evidence is available to permit accurate reconstruction with minimal conjecture, and such reconstruction is essential to the public understanding of the property.
2. Reconstruction of a landscape, building, structure, or object in its historic location will be preceded by a thorough archeological investigation to identify and evaluate those features and artifacts which are essential to an accurate reconstruction. If such resources must be disturbed, mitigation measures will be undertaken.
3. Reconstruction will include measures to preserve any remaining historic materials, features, and spatial relationships.
4. Reconstruction will be based on the accurate duplication of historic features and elements substantiated by documentary or physical evidence rather than on conjectural designs or the availability of different features from other historic properties. A reconstructed property will re-create the appearance of the non-surviving historic property in materials, design, color, and texture.
5. A reconstruction will be clearly identified as a contemporary re-creation.
6. Designs that were never executed historically will not be constructed.

8.4 Links to Other Resources

New Bern Land Use Ordinance

http://library.municode.com/HTML/11332/level2/PTIICOOR_APXALOUS.html

New Bern Ordinance on Preservation

https://www.municode.com/library/nc/new_bern/codes/code_of_ordinances?nodeId=PTIICOOR_APXALOUS_ARTXXINEBEHIDI

New Bern Ordinance on Waterfront Overlay Districts

https://library.municode.com/HTML/11332/level3/PTIICOOR_APXALOUS_ARTXXIINEBEWAOVDI.html

New Bern Ordinance on Neighborhood Conservation Overlay Districts

https://library.municode.com/HTML/11332/level3/PTIICOOR_APXALOUS_ARTXXVNECOOVDI.html

New Bern Urban Design Plan

<http://www.newbern-nc.org/departments/development/ed/plans-projects/>

New Bern Historic Preservation Commission Web Site

<http://www.newbern-nc.org/departments/development/historic-preservation/historic-preservation-commission/>

New Bern Historic District Guidelines

<http://www.newbern-nc.org/departments/development/historic-preservation/historic-preservation-guidlines/>

Historic Preservation Commission Policies and Procedures

<http://www.newbern-nc.org/departments/development/historic-preservation/historic-preservation-procedure/>

New Bern Preservation Plan

<http://www.newbern-nc.org/departments/development/ed/plans-projects/>

National Park Service Preservation Briefs

<http://www.nps.gov/tps/how-to-preserve/briefs.htm>

8. Appendices

AGENDA ITEM COVER SHEET

Agenda Item Title:

Conduct a Public Hearing and Consider Adopting an Ordinance on the Rezoning of 3205 Country Club Road from R-15 to R-10.

Date of Meeting: 11/10/2020	Ward # if applicable: Ward 3
Department: Development Services	Person Submitting Item: Jeff Ruggieri, Director of Development Services
Call for Public Hearing: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Date of Public Hearing: 11/10/2020

Explanation of Item:	Property owners Samantha and Wendell Wright have requested consideration to rezone one parcel, totaling 0.45 +/- acres from R-15 Residential District to R-10 Residential District.
Actions Needed by Board:	Conduct a Public Hearing, Adopt Ordinance
Backup Attached:	Memo, Ordinance, Consistency or Inconsistency Statement, Map

Is item time sensitive? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Will there be advocates/opponents at the meeting? <input type="checkbox"/> Yes <input type="checkbox"/> No

Cost of Agenda Item: N/A
If this requires an expenditure, has it been budgeted and are funds available and certified by the Finance Director? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

Additional Notes:



MEMORANDUM

TO: Mayor Dana Outlaw, City of New Bern Board of Aldermen

FROM: Jeff Ruggieri, Director Development Services

DATE: October 29, 2020

SUBJECT: Conduct a Public Hearing and Consider Adopting an Ordinance on the Rezoning of 3205 Country Club Road from R-15 to R-10.

Property owners Samantha and Wendell Wright have requested consideration of an application to rezone 0.45 +/- acres from R-15 Residential district to R-10 Residential district. The parcel is located at 3205 Country Club Road and is further identified as Craven County Parcel ID # 8-056-001(Ward 3).

The Planning and Zoning Board unanimously approved this request at their October 6, 2020 meeting.

Please contact Jeff Ruggieri at 639-7587 should you have questions or need additional information.

Craven County Parcel ID # 8-056-001

STATEMENT OF ZONING CONSISTENCY WITH ADOPTED PLANS

The Board of Aldermen of the City of New Bern finds the action to rezone Craven County Parcel ID # 8-056-001 to R-10 Residential District is reasonable and in the public interest, and consistent with the City Land Use Plans and nearby land uses. In that:

1. The R-10 Residential District is deemed to be compatible with the "Developed" designation indicated in the Future Land Use Map found in the 2010 CAMA Regional Land Use Plan.
2. The proposed R-10 Residential District is deemed to be compatible with adjacent zoning classifications.
3. The proposed R-10 Residential District is deemed to be compatible with existing uses.

This certifies the above statement of zoning consistency was adopted by the Board of Aldermen on November 10, 2020.

Brenda E. Blanco, City Clerk

Craven County Parcel ID # 8-056-001

STATEMENT OF ZONING INCONSISTENCY WITH ADOPTED PLANS

The Board of Aldermen of the City of New Bern finds the action to rezone Craven County Parcel ID # 8-056-001 to R-10 Residential District is not reasonable and is not in the public interest, and finds it to be inconsistent with the Regional Land Use Plan and nearby land uses in the proposed R-10 Residential District is incompatible with the uses permitted on nearby properties, and other properties in the vicinity. And that:

The proposed R-10 Residential District would be incompatible with adjacent use and the Future Land Use Map found in the 2010 CAMA Regional Land Use Plan.

This certifies the above statement of zoning consistency was adopted by the Board of Aldermen on November 10, 2020.

Brenda E. Blanco, City Clerk

AN ORDINANCE TO AMEND THE ZONING MAP OF THE CITY OF NEW BERN SO AS TO CHANGE THE ZONING CLASSIFICATION OF PROPERTY OWNED BY WENDELL WRIGHT AND SAMANTHA WRIGHT CONSISTING OF APPROXIMATELY 0.454 ACRES LOCATED AT 3205 COUNTRY CLUB ROAD FROM THE ZONING CLASSIFICATION OF R-15 RESIDENTIAL DISTRICT TO R-10 RESIDENTIAL DISTRICT

THAT WHEREAS, Wendell Wright and Samantha Wright own real property located at 3205 Country Club Road in the City of New Bern, consisting of approximately 0.454 acres, more or less, and an application has been made to change the zoning classification of the subject property from R-15 Residential District to R-10 Residential District consistent with the attached plat entitled "REZONING CASE: 3205 Country Club Rd. – Approx. 0.454+- Acres: PID: 8-056-001" prepared by the Development Services Department of the City of New Bern; and

WHEREAS, the Planning and Zoning Board unanimously recommended that said request be approved; and

WHEREAS, the Board of Aldermen of the City of New Bern conducted a duly advertised public hearing with respect to the proposed amendment on November 10, 2020, at which time all interested parties were given an opportunity to be heard; and

WHEREAS, the Board of Aldermen of the City of New Bern deems it advisable and in the public interest to effect said change, as the requested R-10 Residential District classification is consistent with the City Land Use Plans and nearby land uses.

NOW, THEREFORE, BE IT ORDAINED BY THE BOARD OF ALDERMEN OF THE CITY OF NEW BERN:

Section 1. That the zoning map of the City of New Bern be and the same is hereby amended by changing the zoning classification of the subject property owned by Wendell Wright and Samantha Wright located at 3205 Country Club Road in the City of New Bern, consisting of 0.454 acres, more or less, from R-15 Residential District to R-10 Residential District as more specifically shown on the plat entitled "REZONING CASE: 3205 Country Club Rd. – Approx. 0.454+- Acres: PID: 8-056-001" prepared by the Development Services Department of the City of New Bern, a copy of which is attached hereto and incorporated herein by reference.

Section 2. That the Board deems it in the public interest to rezone the subject property consistent with the attached plat as the requested R-10 Residential District classification is consistent with the City Land Use Plans and nearby land uses.

Section 3. That this ordinance shall be in full force and effect from and after its adoption and publication as required by law.

ADOPTED THIS 10th DAY OF NOVEMBER, 2020.

DANA E. OUTLAW, MAYOR

BRENDA E. BLANCO, CITY CLERK



REZONING CASE: 3205 Country Club Rd. - Approx. 0.454+-- Acres: PID: 8-056 -001

LOCATION: East side of Country Club Rd, between Farrior Cir and Trent Shores Dr.



Existing Zone: R-15
Proposed Zone: R-10

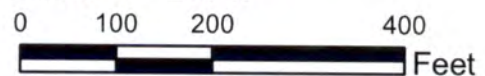


Zoning Boundaries

Imagery Early 2016

N CITY of NEW BERN
Development
Services

Scale: 1 = 200 ft





City of New Bern Board of Aldermen

November 10, 2020

1

Consideration of a request to rezone
3205 Country Club Road from R-15 to
R-10.

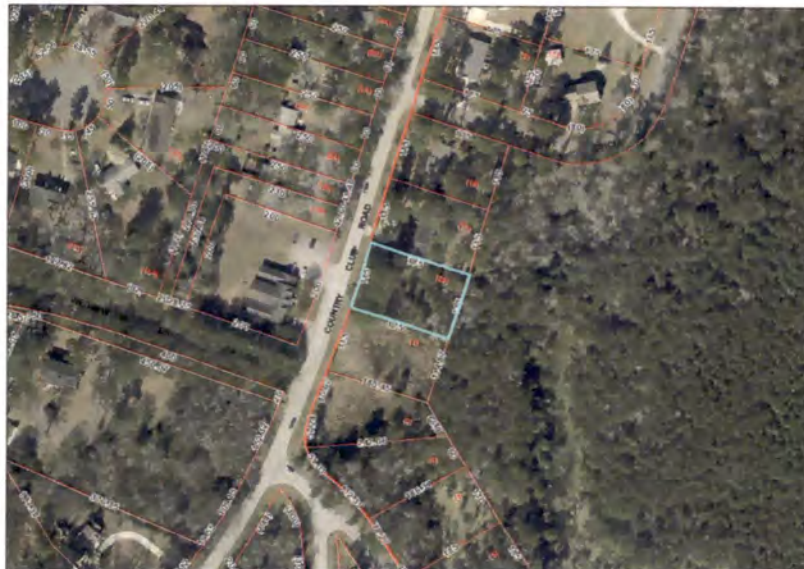
2

Rezoning Request Analysis

- Applicant: Wright, Samantha & Wendell / Brian McCracken
- Location: 3205 Country Club Road (Craven County PID# 8-056-001)
- Existing Zoning: R-15 Residential District
- Proposed Zoning: R-10 Residential District
- Size: 0.45 +/- acres
- Present Land Use: Vacant

NEW BERN
NORTH CAROLINA

3



Craven County GIS 3205 Country Club Road

Craven County does not warrant the information shown on this map and is not responsible for any errors. Printed on October 6, 2017 at 1:28:10 PM.

1 inch = 130 feet

NEW BERN
NORTH CAROLINA

4



NEW BERN
NORTH CAROLINA

5

Existing Zoning



R-15: The R-15 residential district is designed to accommodate low-density single-family dwellings with 15,000 square feet minimum lots.

NEW BERN
NORTH CAROLINA

6

Proposed Zoning



R-10: The R-10 residential district is designed to accommodate single- and two-family homes with 10,000 square feet lots required for one-family dwellings and an additional 5,000 square feet required for each additional unit.

NEW BERN
NORTH CAROLINA

7

General Survey of Allowed Uses in R-10

- Single Family Detached Residential
- Single Family Attached Residential
- Duplex

NEW BERN
NORTH CAROLINA

8

Surrounding Zoning

- North: Residential (R-15 Residential District)
- South: Residential (R-15 Residential District)
- East: Residential (R-15 Residential Districts)
- West: N/A (Trent Woods)

Utilities

- All city provided utilities and services are available to the general area.

2010 CAMA Regional Land Use Plan

- The area is classified as "Developed", a mix of land uses are included in this designation. Residential densities range from a maximum of one to five dwelling units per acre. Higher densities are permitted within multi-family residential and planned unit developments and within some zoning overlay districts within commercial areas of New Bern. The intensity permitted varies depending on the zoning district and overlay standards specified in the Land Use Ordinance. Generally the area is characterized by urban and higher intensity uses that require urban municipal or public services. Incompatible uses within this land classification are industrial and agricultural land uses.

NEW BERN
NORTH CAROLINA

11

Environment

- According to the Regional Land Use Plan, the subject property has medium suitability for development.
- According to the North Carolina Floodplain Mapping Program the property is located within the 100 year floodplain, and is considered zone "AE" on the Flood Risk Information System.

NEW BERN
NORTH CAROLINA

12

Recommendation

The proposal to rezone the subject parcel to R-10 Residential District is consistent with the character of the adjacent land uses and zoning classifications. City staff has found the proposed rezoning to be in the public interest and consistent with City Land Use and Transportation Plans, due to the close proximity to other residentially zoned parcels. The City of New Bern Planning and Zoning Board recommends approval of the requested rezoning.

AGENDA ITEM COVER SHEET

Agenda Item Title:

Consider Adopting a Resolution to Transfer Properties to the Redevelopment Commission.

Date of Meeting: 11/10/2020	Ward # if applicable: Wards: 1, 2 & 5
Department: Development Services	Person Submitting Item: Jeff Ruggieri, Director of Development Services
Call for Public Hearing: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Date of Public Hearing: N/A

Explanation of Item:	Resolution to approve the conveyance of City owned property to The New Bern Redevelopment Commission as part of the approved Redevelopment Plan.
Actions Needed by Board:	Adopt Resolution
Backup Attached:	Memo, Resolution, Quit Claim Deed, Map

Is item time sensitive? <input type="checkbox"/> Yes <input type="checkbox"/> No
Will there be advocates/opponents at the meeting? <input type="checkbox"/> Yes <input type="checkbox"/> No

Cost of Agenda Item:
If this requires an expenditure, has it been budgeted and are funds available and certified by the Finance Director? <input type="checkbox"/> Yes <input type="checkbox"/> No

Additional Notes:



MEMORANDUM

TO: Mayor Dana Outlaw, City of New Bern Board of Aldermen

FROM: Jeff Ruggieri, Director Development Services

DATE: October 29, 2020

SUBJECT: Consider Adopting a Resolution to Transfer Properties to the Redevelopment Commission.

The City of New Bern Redevelopment Commission Redevelopment Plan was approved and adopted February 11, 2020 by the Board of Alderman. The Redevelopment plan facilitates rebuilding and rehabilitation in the Redevelopment Commission boundary which encompasses a total of 1,899 parcels located within 474 acres of land. The Redevelopment Plan is designed to reverse the overall decline of neighborhood character and create a functional transportation network that supports economic growth and public welfare.

Staff recommends The Board Consider Adopting a Resolution to Transfer City owned Properties to the Redevelopment Commission as part of the approved Redevelopment Plan.

Please contact Jeff Ruggieri at 639-7587 should you have questions or need additional information.

RESOLUTION

BE IT RESOLVED BY THE BOARD OF ALDERMEN OF THE CITY OF NEW BERN:

That the Quitclaim Deed dated November 10, 2020 by and between the City of New Bern and the Redevelopment Commission of the City of New Bern, a copy of which is attached hereto and incorporated herein by reference, be and the same is hereby approved, and the Mayor and City Clerk are hereby authorized and directed to execute the same for and on behalf of the City.

ADOPTED THIS 10th DAY OF NOVEMBER, 2020.

DANA E. OUTLAW, MAYOR

BRENDA E. BLANCO, CITY CLERK

Prepared by and return to:

Michael Scott Davis
DAVIS HARTMAN WRIGHT PLLC
209 Pollock Street
New Bern, NC 28560

PARCEL NOS. 8-006-003, 8-006-005, 8-006-026, 8-006-041, 8-006-046, 8-006-094, 8-006-095, 8-006-164, 8-006-179, 8-006-180, 8-006-181, 8-006-182, 8-006-183, 8-006-184, 8-006-185, 8-006-186, 8-006-207, 8-006-213, 8-006-222, 8-006-225, 8-006-253, 8-006-334, 8-006-394, 8-007-056, 8-007-071, 8-007-327, 8-007-328, 8-012-164, 8-012-196, 8-012-315, 8-013-146, 8-014-266, 8-014-313-B, 8-020-134, 8-006-016, 8-006-126, 8-007-089, 8-014-065, 8-014-217, 8-013-188, 8-012-183, 8-014-313, 8-007-126, 8-007-363, 8-011-162, 8-007-096 and 8-014-289

REVENUE STAMPS: \$0.00

STATE OF NORTH CAROLINA

COUNTY OF CRAVEN

THIS QUITCLAIM DEED, made and entered into this 10th day of November, 2020, by and between the **CITY OF NEW BERN**, a municipal corporation of the State of North Carolina, ("Grantor"), and the **REDEVELOPMENT COMMISSION OF THE CITY OF NEW BERN**, with a mailing address of Post Office Box 1129, New Bern, North Carolina 28563, ("Grantee");

W I T N E S S E T H:

That for and in consideration of the sum of Ten Dollars (\$10.00) and other good and valuable considerations to it in hand paid by the Grantee, the receipt of which is hereby acknowledged, the Grantor has remised and released, and by these presents does remise, release and forever quitclaim unto the Grantee, its successors and assigns, all right, title and interest of the said Grantor in and to those certain lots or parcels of land located in Number Eight (8) Township, Craven County, North Carolina, and being more particularly described as follows:

DAVIS HARTMAN WRIGHT PLLC
Attorneys at Law
209 Pollock Street
New Bern, NC 28560

SEE EXHIBIT A ATTACHED HERETO AND INCORPORATED HEREIN BY REFERENCE.

The property herein conveyed does not include the primary residence of a Grantor.

TO HAVE AND TO HOLD the aforesaid tracts or parcels of land and all privileges and appurtenances thereunto belonging to the said Grantee, its successors and assigns, free and discharged from all right, title, claim or interest of the said Grantor, or anyone claiming by, through or under it.

IN TESTIMONY WHEREOF, the **CITY OF NEW BERN** has caused this instrument to be executed as its act and deed by its Mayor, attested by its City Clerk, and its seal to be hereunto affixed, all by the authority of its Board of Aldermen, as of the day and year first above written.

CITY OF NEW BERN

(SEAL)

By: _____
Dana E. Outlaw, Mayor

ATTEST:

Brenda E. Blanco, City Clerk

STATE OF NORTH CAROLINA

COUNTY OF CRAVEN

I, _____, Notary Public in and for said County and State, do hereby certify that on the _____ day of November, 2020, before me personally appeared DANA E. OUTLAW, with whom I am personally acquainted, who, being by me duly sworn, says that he is the Mayor and that BRENDA E. BLANCO is the City Clerk for the City of New Bern, the municipal corporation described in and which executed the foregoing instrument; that he knows the common seal of said municipal corporation; that the seal affixed to the foregoing instrument is said common seal; that the name of the municipal corporation was subscribed thereto by the said Mayor; that the said common seal was affixed, all by order of the Board of Aldermen of said municipal corporation; and that the said instrument is the act and deed of said municipal corporation.

WITNESS my hand and official seal this the _____ day of November, 2020.

Notary Public

My Commission Expires:

EXHIBIT A

All those certain tracts or parcels of land in Number Eight (8) Township, Craven County, North Carolina, and being more particularly described as follows:

Tract No. 1 (Parcel No. 8-006-003)

Located in the City of New Bern, bearing the postal enumeration of 1135 H Street, and identified as Parcel Number 8-006-003, and being the same tract of land transferred to Eva Mack under the Will of Julia H. Dillahunty, said Will being on file in the Office of the Clerk of Superior Court of Craven County in File No. 75-E-44, reference to which is hereby made for a more perfect description.

This property was later transferred by Will from Eva Mack to Bertha White Brown, said Will being on file in the Office of the Clerk of Superior Court of Craven County in File No. 88-E-360; and was thereafter transferred by Will from Bertha White Brown to Christopher Sean Brown and Eva Gloria Brown, now Eva Brown Mitchell, said Will being on file in the Office of the Clerk of Superior Court of Craven County in File No. 01-E-56.

Being that same property conveyed by Christopher Sean Brown et al. to the City of New Bern by deed dated February 2, 2004, recorded in Book 2169 at Page 484 of the Craven County Registry.

Tract No. 2 (Parcel No. 8-006-005)

Commencing at an existing iron pipe located at the intersection of the southern right-of-way line of H Street and the eastern right-of-way line of Biddle Street, and running thence along and with the southern right-of-way line of H Street South 38° 30' East 85 feet to a set iron rod, being the POINT OF BEGINNING. Thence from said point of beginning South 38° 30' East 24 feet to a set iron rod; thence South 52° 00' West 220.00 feet to a set iron rod; thence North 38° 30' West 24 feet to a set iron rod; thence North 52° 00' East 220.00 feet to the point of beginning, as appears on the attached map entitled "Plan of Existing Lots H Street" dated September 12, 2006, prepared by Arthur E. Munro, PLS, for the City of New Bern.

Being that certain house and lot referred to as "1129 H Street" as the same is known according to the present postal enumeration for the City of New Bern, North Carolina.

Being the same property devised to Odessa Dillahunty Tyler by Article VI of the Last Will and Testament of Julia Dillahunty, duly recorded in File No. 75-E-44 in the office of the Clerk of Superior Court of Craven County, North Carolina.

Being that same property conveyed by Jimmy E. Dillahunty, as Executor and Trustee under the Will of Odessa D. Tyler, to the City of New Bern by deed dated November 6, 2006 recorded in Book 2530 at Page 193 of the Craven County Registry.

Tract No. 3 (Parcel No. 8-006-026)

All that certain lot or parcel of land situate, lying and being in the City of New Bern, Craven County, North Carolina, and being Lot No. 52 of the subdivision known as Jerkinstown (a/k/a Jenkinstown), a plat of which appears in Book 64, at Page 94 in the Office of the Register of Deeds of Craven County, North Carolina; saving and excepting from the terms of this conveyance that part of said Lot No. 52, Jerkinstown, which was conveyed to Odell Mack and wife, Eva Mack, by deed bearing date February 1, 1956, which appears of record in Book 533 at Page 297 in the Office of the Register of Deeds of Craven County, North Carolina.

The part of said lot which is excepted from this conveyance is depicted on a plat of record in Map Book 6 at Page 31 in the Office of the Register of Deeds of Craven County.

Being Parcel Three in the deed from Elizabeth Warren Dunn and husband, Frank H. Dunn, to the City of New Bern dated November 15, 1988, recorded in Book 1207 at Page 241 of the Craven County Registry.

Tract No. 4 (Parcel No. 8-006-041)

Lying and being situate in Craven County, Number Eight (8) Township, in that suburb of New Bern known as Jerkins Town on K Street, beginning on K Street 280 feet East from H Street, then running parallel with K Street 35 feet to a corner; then North parallel with G Street 108 feet and two inches to corner; then 35 feet West to corner of Lot No. 8; thence South 108 feet and two inches to the beginning, being Lot No. 9 plotted by C. E. Potter and recorded in the Register of Deeds Office of Craven County.

The property hereinabove conveyed is known and identified by the postal enumeration for the City of New Bern as 1012 K Street.

Being that same property conveyed by Melissa Evelyn Vailes et al. to Donald D. Pollock and wife, M. R. Pollock, by deed dated September 29, 1981, appearing of record in Book 989 at Page 379, Craven County Registry. The said M. R. Pollock is now deceased.

Being also that same property conveyed by Donald D. Pollock, widower, to the City of New Bern by deed dated July 8, 2004, recorded in Book 2205 at Page 820 of the Craven County Registry.

Tract No. 5 (Parcel No. 8-006-046)

Beginning at the North corner of K and H Streets in subdivision known as Mechanicsville, running with H Street 36 feet 2 inches to corner. Thence East with J. E. Barber's line 105 feet to corner. Thence South 36 feet 2 inches to K Street. Thence West with North line of K Street to the beginning.

This being the same property as conveyed to Kattie L. Herran by J. S. Miller and his wife, Mattie

S. Miller, by deed dated January 3, 1924, and registered in Book 253, Page 296, Office of the Register of Deeds of Craven County.

Being also that same property conveyed to the City of New Bern by Commissioner's Deed dated August 31, 2001, recorded in Book 1847 at Page 297 of the Craven County Registry.

Tract No. 6 (Parcel No. 8-006-094)

All that certain lot or parcel of land lying and being situate in the City of New Bern, said state and county, on the north side of "B" Street and east side of "F" Street, as appears upon a certain plot or plan made by H. T. Guion, Surveyor for A. T. Jerkins, recorded in the public records in the Office of the Register of Deeds of Craven County in Book 64, Folio 14, and bearing the number Eighteen (18) upon said plot or plan. It being a portion of the same land conveyed by Isaac H. Smith and wife to Luvinnia Kelly by deed bearing date of February 1, 1910, and recorded in Book 179, Folio 398 of said public records, to which reference is hereby made.

Being that same property conveyed by Paul Chapman, widower, to the City of New Bern by deed dated December 20, 2000, recorded in Book 1876 at Page 484 of the Craven County Registry.

Tract No. 7 (Parcel No. 8-006-095)

Lying in Number Eight Township, Craven County, North Carolina and being more particularly described as follows: Lying on the north side of B Street and on the west side of the Atlantic and North Carolina Railroad Tract and being the eastern one-half of Lot No. 17 in the subdivision known as Jerkinstown, a plat of which is recorded in Book 64, Page 94, in the Office of the Register of Deeds of Craven County, reference to said plat being hereby made for a more perfect description of said lot. Said lot is more specifically described by metes and bounds as follows: Beginning at a point in the southern right-of-way line of the Atlantic and North Carolina Railroad which point marks the intersection of said right-of-way with the western line of B Street. Thence from this point of beginning so located, South 51° 45' West 108.8 feet along the western line of B Street to an iron; thence North 38° 15' West 157.7 feet to a point in the southern right-of-way line of the Atlantic & North Carolina Railroad right-of-way; thence along and with the southern line of said right-of-way South 72° 51' East 191.6 feet to the point of beginning.

Being that same property conveyed by James McCotter Investment Company to the City of New Bern by deed dated June 20, 1980, recorded in Book 961 at Page 723 of the Craven County Registry.

Tract No. 8 (Parcel No. 8-006-164)

All of Lot 39 as said lot is shown on a map of Pavie Town, as said subdivision is shown on a map or plat recorded in Book 106, Page 385, Craven County Registry, which map or plat is incorporated herein for a more perfect description of the said Lot No. 39. Said lot being known as Number 39 Murray Street and being 52 feet on Murray Street and 102 feet deep. Said property bears postal enumeration 1006 Murray Street, New Bern, North Carolina.

Being that same property conveyed by Warren G. Keyes and wife, Ethel M. Keyes, to the City of New Bern by deed dated December 22, 2000, recorded in Book 1791 at Page 966 of the Craven County Registry.

Tract No. 9 (Parcel Nos. 8-006-179, 8-006-180, 8-006-181, 8-006-182, 8-006-183, 8-006-184, 8-006-185 and 8-006-186)

All those certain lots or parcels of land lying and being situate in the City of New Bern, Craven County, North Carolina, in that certain subdivision known as PAVIETOWN, a map or plat of which is of record in Map Book 2 at Page 139 in the Office of the Register of Deeds of Craven County, and being Lots Numbers 49, 50, 282, 283, 284, 302, 303 and 304 in said subdivision.

Being a portion of that property conveyed by C. C. Franks and wife, Ida Franks, to William Franks by deed dated October 2, 1987, appearing of record in Book 1168 at Page 1003 in the Office of the Register of Deeds of Craven County.

Being also those same properties conveyed by William Franks and wife, Melinda Franks, to the City of New Bern by deed recorded January 3, 2003 in Book 1986 at Page 881 of the Craven County Registry.

Tract No. 10 (Parcel No. 8-006-207)

All that certain lot of land in the City of New Bern, Number Eight Township, North Carolina, on the west side of Bloomfield Street between North and K Streets, and bounded as follows: Beginning in the western line of Bloomfield Street at a point 208 feet northwardly from North Street, and running thence westwardly along the southern line of Lot 278, 102 feet; thence northwardly 40 feet along the back line of Lot 278; thence eastwardly 102 feet to the western line of Bloomfield Street; thence southwardly along Bloomfield Street 40 feet to the point of beginning. Being the southern 40 feet of Lot Number 278 as shown on the map of the R. A. Nunn Property as recorded in Map Book 2, Page 139, in the Office of the Register of Deeds, Craven County, North Carolina.

Said property bearing the postal enumeration of 1015 Bloomfield Street, for the City of New Bern, North Carolina.

Being that same property conveyed to Jacqueline Pearsall by deed recorded in Book 1647, at Page 311, Craven County Registry. Being also that same property conveyed by Jacqueline Pearsall to Zaytoun-Raines Real Estate, Inc. by deed dated April 20, 2001, said deed appearing of record in Book 1817 at Page 36, Craven County Registry.

Being also that same property conveyed by Zaytoun-Raines Real Estate, Inc. to the City of New Bern by deed dated September 12, 2005, recorded in Book 2355 at Page 705 of the Craven County Registry.

Tract No. 11 (Parcel No. 8-006-213)

Beginning 76 ½ feet West from the northwest corner of North and Bloomfield Streets and running thence in northward direction and parallel with Bloomfield Street 52 feet more or less; thence westwardly and parallel with North Street 25 ½ feet more or less; thence southward and parallel with Bloomfield Street 52 feet more or less; thence eastward with the North line of North Street 25 ½ feet to the beginning. Being No. 1008 North Street according to postal enumeration of the City of New Bern on date of November 19, 1946.

Being the same property described in that certain deed recorded in Book 667 at Page 235 of the Craven County Registry.

Being also that same property conveyed by Relative Investment Associates to the City of New Bern by deed dated April 21, 1998 recorded in Book 1628 at Page 478 of the Craven County Registry.

Tract No. 12 (Parcel No. 8-006-222)

All of that lot or parcel of land in Craven County, North Carolina in the southernmost corner of the intersection of "K" Street and Pavie Avenue known and designated as Lot 1 of the Russell subdivision of lots 273 and 275 Pavie Town according to a plat or map of said subdivision recorded in the Office of the Register of Deeds of Craven County in Map Book 3 at Page 22 reference to which is hereby made.

Being that same property conveyed by Hamilton Edward Russell et al. to the City of New Bern by deed dated June 8, 1993 recorded in Book 1373 at Page 263 of the Craven County Registry.

Tract No. 13 (Parcel No. 8-006-225)

Being all of Lot No. 3 in the Russell Subdivision of Lots Nos. 273 and 275 of Pavietown, a map of which is recorded in the Office of the Craven County Register of Deeds in Map Book 3 at Page 22, said map being incorporated herein by reference for a more particular description of the aforesaid lot.

Being that same property conveyed by Alvin Earl Bell, widower, et al. to Miriam Bell Williams and Noraletta Elizabeth Williams by deed dated August 16, 1994, said deed appearing of record in Book 1430 at Page 844 of the Craven County Registry.

Being also that same property conveyed by Miriam Bell Williams et al. to the City of New Bern by deed dated December 31, 2004 recorded in Book 2263 at Page 381 of the Craven County Registry.

Tract No. 14 (Parcel No. 8-006-253)

BEGINNING at a point in the western line of Eubank Street 104 feet northwardly from the northwest corner of Main and Eubank Streets; running thence westwardly and parallel with the northern line of Main Street 102 feet; thence northwardly and parallel with Eubank Street 52 feet; thence eastwardly and parallel with the northern line of Main Street 102 feet to the western line of Eubank Street; thence southwardly with the western line of Eubank Street 52 feet to the beginning, according to a survey and map made by Darrel D. Daniels, C.E., in January 1951.

Being that same property conveyed to Craven County and the City of New Bern by Commissioner's Deed appearing of record in Book 3186 at Page 395 in the Office of the Register of Deeds of Craven County. Craven County thereafter conveyed its interest in the said property to the City of New Bern by deed dated August 19, 2013 recorded in Book 3225 at Page 354 of the Craven County Registry.

Tract No. 15 (Parcel No. 8-006-334)

Beginning at the northwestern corner of Lot No. 33 on Murray Street according to the Plan of Pavietown duly recorded in the Craven County Register of Deeds in Book 106, Page 385, said beginning can also be located S. 6 35 W. 156 feet along the eastern line of Murray Street from the southeastern intersection of North and Murray Streets; thence S. 70 50 E. 102 feet along the northern line of Lot 33, thence S. 6 35 W. 49 feet along the eastern line of Lot 33, thence N. 78 55 W. 99.3 feet to the eastern line of Murray Street ; thence N. 6 35 E. 66.3 feet along the eastern line of Murray Street to the place of beginning.

Being that same property conveyed by Brian J. Gatchel, Administrator CTA of the Estate of Bessie J. Newkirk, to the City of New Bern by deed dated July 19, 2005 recorded in Book 2341 at Page 773 of the Craven County Registry.

Tract No. 16 (Parcel No. 8-006-394)

All that certain lot of land situate at the southwestern intersection of West and North Streets in the City of New Bern, North Carolina, and in that part of the said City commonly known as Farmville or Pavietown and being Lot Number Six (6) in the plan of the said Farmville, which said plan is recorded in Book No. 106 Page 385 in the Office of the Register of Deeds of Craven County, which said lot is bounded on the West by Lot No. 16, on the North by North Street, on the East by

West Street and on the South by Lot No. 5 according to the plan of the said Farmville as above mentioned.

It being the same lot and property formerly owned and occupied by Violet A. Wallace prior to her death.

Also Lot #16 according to the plan of Farmville which is fully described in that certain deed from Alice Kinsey to Violet Ann Wallace dated July 15, 1890 and recorded in Book 103, Page 445 in the Office of the Register of Deeds of Craven County. Save and excepting so much of the eastern portion of said Lot #16 as conveyed to C. T. Watson by Violet A. Wallace by deed dated July 26, 1892 and recorded in Book 109, Page 120 in the Office of the Register of Deeds of Craven County.

Both of these said lots or parcels of land being the same described in a deed from R. W. Williamson, Trustee, to E. C. Rea dated the 19th day of June, 1925, and which is recorded in Book 266, Page 168 in the records of Craven County. This further being the same parcels of land as described in that deed dated June 29, 1925 from E. C. Rea to John S. Johnson and his wife, Jennie H. Johnson and recorded in Book 312, Page 260, Craven County Registry.

Being also that same property conveyed by Harry W. Johnson, Jr., single, to the City of New Bern by deed dated March 7, 2005 recorded in Book 2283 at Page 182 of the Craven County Registry.

Tract No. 17 (Parcel No. 8-007-056)

Situate, lying and being in the City of New Bern, Craven County, North Carolina, and in that portion of the said City commonly known and designated as "Pavietown" as plotted and recorded in the public records in the Office of the Register of Deeds for said Craven County, in Book 106, Folio 385, and BEGINNING at the western intersection of Green and Boom Avenue, and runs southwardly along Green Street 30 feet; thence westwardly and parallel with Boom Avenue 90 feet; thence northwardly parallel to Green Street 30 feet to Boom Avenue; thence eastwardly along Boom Avenue to the place of beginning. For further reference see deed recorded in Book 299, Page 97 in the Office of the Register of Deeds for Craven County.

Being that same property conveyed by Ralph Eugene Cummings et al. to the City of New Bern by deed dated December 12, 2005 recorded in Book 2394 at Page 628 of the Craven County Registry.

Tract No. 18 (Parcel No. 8-007-071)

All that certain Lot No. 3 as shown on that certain map entitled "Property of the Lipman Realty Company, Inc." made by Albert Bell, C.E. on the 24th day of October, 1949 and being recorded in Map Book 3, Page 92 to which reference is hereby made for a complete and accurate description of said lot, together with the building situate thereon bearing No. 1037 Main Street according to the postal enumeration of houses for the City of New Bern, together with the right of egress and ingress in and to, over and upon the common driveway which is 55 feet in depth. It being fully set out and described on said map recorded in Map Book 3 at Page 92, and for the use and benefit of

both Lots 3 and 4 to all of which reference is hereby made.

Being part of the property conveyed by Joe Lipman to Lipman Realty Company, Inc. by deed dated December 28, 1948 and recorded in Book 425, Page 238, Office of the Register of Deeds of Craven County, to all of which reference is hereby made.

Being the same property conveyed by Lipman Realty Company, Inc. by deed dated the 1st day of May, 1952 and recorded in Book 470, Page 466 in the Office of the Register of Deeds to which reference is hereby made. Also being the same property conveyed to George Otis Barnwell by deed bearing date January 1, 1997, which appears of record in Book 1547 at Page 715 in the Office of the Register of Deeds of Craven County.

Being also that same property conveyed by George Otis Barnwell and wife to the City of New Bern by deed dated December 27, 2001 recorded in Book 1879 at Page 991 of the Craven County Registry.

Tract No. 19 (Parcel No. 8-007-327)

All that certain lot or parcel of land situate in the City of New Bern, Craven County, North Carolina, on the east side of Bern Street, bounded on the north by the Marshall lot, on the east by the Mary Dixon lot, on the south by the Asa Bynum or Mrs. Asa Bynum lot and on the west by Bern Street, 30 feet more or less front by 60 feet more or less depth, and being the lot on which the building No. 129 was situate before it was burned, and being the lot deeded to Bettie Coleman by her aunt, Minerva Jones.

Being also that same property conveyed by Bettie Coleman to her daughter, Clara E. Bell, by deed dated August 10, 1929, appearing of record in Book 285 at Page 469 in the Office of the Register of Deeds of Craven County.

Being also that same property conveyed by Gwendella Ward Johnson, unmarried, to the City of New Bern by deed dated May 4, 2009 recorded in Book 2819 at Page 358 of the Craven County Registry.

Tract No. 20 (Parcel No. 8-007-328)

Beginning at an iron rod located North 03° 20' East 106.11 feet from an iron rod which is set at the intersection of the eastern boundary of Bern Street and the northern boundary of Cedar Street. Running thence from said point and place of beginning the following courses and distances:

North 03° 20' East 21.45 feet; South 87° 17' East 107.41 feet; South 03° 20' West 22.32 feet; North 86° 49' West 107.41 feet to the point and place of beginning, as the same is shown on that survey for Constance E. Bronner and George O. Barnwell by Roy R. Smith, R.L.S., dated June 17, 1998, and recorded in Plat Cabinet G, Slide 58-E, Craven County Registry.

Being that same property conveyed by Joe L. Winbush and wife to the City of New Bern by deed dated August 6, 2009 recorded in Book 2848 at Page 518 of the Craven County Registry.

Tract No. 21 (Parcel No. 8-012-164)

All that certain lot or parcel of land located in Number Eight (8) Township, Craven County, North Carolina, in the City of New Bern, and being more particularly described as all that certain lot located on the South side of Cedar Street and being Lot No. Three (3) in that certain subdivision known and designated as the Plan of M.D. Taylor Subdivision of Lots Nos. 127 and 128 West End, New Bern, N.C., said map or plat being made by Albert R. Bell, C.E., November 6, 1947, and recorded in Map Book 3, Page 23 in the Office of the Register of Deeds of Craven County.

Being that same property conveyed to Craven County and the City of New Bern by Commissioner's Deed appearing of record in Book 3186 at Page 393 in the Office of the Register of Deeds of Craven County. Craven County later conveyed its interest in the said property to the City of New Bern by deed dated August 19, 2013 recorded in Book 3225 at Page 358 of the Craven County Registry.

Tract No. 22 (Parcel No. 8-012-196)

Beginning at a point in the eastern side of Second Avenue which is North 10 degrees 15 minutes East 180 feet from the northeast intersection of Second Avenue and Elm Street, which point is the northwest corner of the Maggie Patrick lot and runs from thence with the eastern line of Second Avenue North 10 degrees 15 minutes East 70 feet to the southwest corner of the lot of Mrs. M. D. Taylor; thence with the Taylor line parallel with Elm Street South 79 degrees 45 minutes East 87.5 feet to the Issiac [sic] Smith property; thence with the Smith line and parallel with Second Avenue South 10 degrees 15 minutes West 70 feet to the northeast corner of the Maggie Patrick lot; thence with the Patrick line and parallel with Elm Street North 79 degrees 45 minutes West 87.5 feet to the beginning in the line of Second Avenue, it being the Maggie Patrick northwest corner, and being Lots 110-111 of the subdivision known as West End. Being the same property described in that certain deed from T. C. Abernethy, Substituted Trustee, to Home Owners' Loan Corporation dated August 26, 1936, and of record in Book 321, Page 430, Craven County Registry.

Being the same property conveyed to Kenneth A. Allen and wife, Mary F. Allen, by deed bearing date October 1, 1998, which appears of record in Book 1654 at Page 447 in the Office of the Register of Deeds of Craven County. Being known as 718 Second Avenue according to the postal enumeration of the City of New Bern.

Being also that same property conveyed by Kenneth A. Allen and wife to the City of New Bern by deed dated January 23, 2001 recorded in Book 1801 at Page 431 of the Craven County Registry.

Tract No. 23 (Parcel No. 8-012-315)

Being a portion of that certain lot numbered 46, situated in Craven County, North Carolina, carved

out of the certain tract of land adjoining the western limits of the City of New Bern on Neuse Road, and known as the Miller Tract of land, as described in deed from W. F. Crockett and wife to T. A. Uzzell and J. W. Stewart dated March 18, 1911, and duly recorded in the Office of the Register of Deeds of Craven County in Book 187, Page 1, the same having been divided into lots and streets and duly plotted and laid down upon the certain plot duly recorded in the Office of the Register of Deeds in Book 187, Page 3, to which reference is made for description of said lands herein conveyed, and being more particularly described as follows: BEGINNING at a stake located in the intersection of the northern right-of-way line of Bay Street and the western right-of-way line of First Avenue and running thence from this point of beginning North 79° 45' West along and with the northern right-of-way line of Bay Street 87.5 feet to a stake; thence North 10° 15' East 23.9 feet to a stake; thence South 79° 45' East and parallel with the northern right-of-way line of Bay Street 87.5 feet to a stake in the western right-of-way line of First Avenue; thence South 10° 15' West along and with the western right-of-way line of First Avenue 23.9 feet to a stake, the point of beginning.

Reference is hereby made to that survey entitled "Survey for William Floyd Gaskins and wife, Nell Wooten Gaskins" by Floyd L. Suitt, Jr., R.L.S., dated August 16, 1976, which appears of record in Book 873, Page 122 in the Office of the Register of Deeds of Craven County.

Being that same property conveyed by Nell Wooten Gaskins to Stanley John Humienny, Jr. by deed dated August 20, 1976, appearing of record in Book 873, Page 119 in the Office of the Register of Deeds of Craven County.

Being also that same property conveyed by Stanley John Humienny, Jr. and wife, Brenda S. Humienny, to Neuse River Community Development Corporation, Inc. by deed dated December 19, 2003, said deed appearing of record in Book 2132, Page 57 in the Office of the Register of Deeds of Craven County.

Being also that same property conveyed by Neuse River Community Development Corporation, Inc. to the City of New Bern by deed dated July 29, 2004 recorded in Book 2215 at Page 474 of the Craven County Registry.

Tract No. 24 (Parcel No. 8-013-146)

All those certain lots or parcels of land situate, lying and being in the City of New Bern, Craven County, North Carolina, and being Lots No. 326 and 327 in that subdivision known as Mechanicsville, a plat of which is recorded in the Office of the Register of Deeds of Craven County in Book 116 at Page 530, to which reference is made for a more perfect description.

Being Parcel One in that certain deed from Elizabeth Warren Dunn and husband to the City of New Bern dated November 15, 1988 recorded in Book 1207 at Page 241 of the Craven County Registry.

Tract No. 25 (Parcel No. 8-014-266)

All that certain lot, tract or parcel of land lying and being situate on Rose Street in the City of New Bern, and being known as Lot 68 as shown and designated on that certain map or plat of the subdivision known as Duffytown, which is recorded in Book 105 at Page 207 in the Office of the Register of Deeds of Craven County, to which reference is hereby made for a more particular description.

Being that same property conveyed by Margaret H. Stallings, widow, to the City of New Bern by deed dated June 3, 1999 recorded in Book 1701 at Page 286 of the Craven County Registry.

Tract No. 26 (Parcel No. 8-014-313-B)

All that certain lot or parcel of land situate, lying and being in the City of New Bern, Number Eight (8) Township, Craven County, North Carolina, on the north side of Biddle Street, and being more particularly described as follows:

BEGINNING at the intersection of the northern line of Biddle Street with the westernmost right-of-way line of the Atlantic and North Carolina Railroad at the corner of Biddle and F Streets in the City of New Bern; thence running from this beginning point along and with the right-of-way line of the said railroad in a northwestwardly direction 181 feet, more or less, to an iron stake in said right-of-way near a cypress tree (being the third corner called for in a deed from Cornelius W. Green and wife, Nora Green, to J. S. Miller and W. H. Henderson dated November 10, 1915, recorded in the Office of the Register of Deeds of Craven County in Book 207 at Page 231, said corner being Cornelius W. Green's easternmost corner); thence in a westwardly direction along said Cornelius W. Green's line 20 feet, more or less, to W. F. Ward, Jr.'s easternmost rear corner; thence in a southeastwardly direction and parallel with Descrow's eastern line (see deed dated December 5, 1961 from A. D. Ward and others to Kennedy W. Ward), said line being also parallel with the eastern line of the old Sam Brock tract (see Book 242 at Page 22 in the Office of the Register of Deeds of Craven County), to a corner located in the northern line of Biddle Street; thence northeastwardly along and with the northern line of Biddle Street 115 feet, more or less, to the point of beginning, a corner located at the intersection of the northern line of Biddle Street and the westernmost right-of-way line of the Atlantic and North Carolina Railroad.

Being part of that same property conveyed by William F. Ward and wife, Carrie Duffy Ward, to A. D. Ward, William F. Ward, Jr. and Kennedy W. Ward by deed dated August 27, 1956, as appears of record in Book 540 at Page 134 in the Office of the Register of Deeds of Craven County.

Being also that same property conveyed by A. D. Ward and wife to the City of New Bern by deed dated January 17, 1986 recorded in Book 1106 at Page 1098 of the Craven County Registry.

Tract No. 27 (Parcel No. 8-020-134)

Being Lot Number 118 in Larksville, New Bern, North Carolina. For better description and reference see plat recorded in the Office of the Register of Deeds of Craven County, N.C. in Book

153, Page 300, said lot being part of Lot Number 1 as shown in Report of Commissioners recorded in the Office of the Register of Deeds of Craven County in Book 137, Page 555.

Being the same lot conveyed by Mark S. Dunn, Trustee, to Georgia Gibbs Jones by deed dated May 14, 1962. The dwelling upon said lot being known as 1424 Washington Street according to the postal enumeration of the City of New Bern.

For a more particular description, see deed from Lee Jones and wife, Georgia Gibbs Jones, to George Green and wife, Martha Green, recorded in Book 630, Page 397 in the Office of the Register of Deeds of Craven County.

Being that same property conveyed to the City of New Bern by Sheriff's Deed dated March 21, 2002 recorded in Book 1907 at Page 787 of the Craven County Registry.

Tract No. 28 (Parcel No. 8-006-016)

BEGINNING at an iron stake in the northern line of K Street which stands South 52 degrees 137 feet and 6 inches from the northwestern intersection of said K and H Streets and runs thence with the northern line of K Street South 52 degrees West 30 feet to an iron stake, R. B. Warrington's corner of his Cogdell lot; thence with his eastern line of said lot North 38 degrees 30 minutes West 104 feet to the northeast corner, an iron stake; thence parallel with K Street North 52 degrees East 30 feet to an iron stake; thence parallel with H Street South 38 degrees 30 minutes East 104 feet to an iron stake, the point of beginning.

Being that same property conveyed to Craven County and the City of New Bern by Commissioner's Deed appearing of record in Book 3203 at Page 243 in the Office of the Register of Deeds of Craven County. Craven County thereafter conveyed its interest in the said property to the City of New Bern by deed dated August 19, 2013 recorded in Book 3225 at Page 362 of the Craven County Registry.

Tract No. 29 (Parcel No. 8-006-126)

All of that certain property more particularly described, as below in Deed Book 2179, at Page 723 in the Craven County Registry.

Beginning at a point on the north side of White Street one hundred (100) feet west of the northwestern corner of the intersection of White and George Streets, it being the southeastern corner of lot formerly owned by Ezekial Johnson, and now owned by A. T. Dill, and running eastwardly along the northern line of said street fifty (50) feet more or less to a stake; thence northwardly parallel with George Street fifty (50) feet, more or less to the southern line of the lot now owned by J. T. Barber; thence westwardly along said Barber's southern line fifty (50) feet more or less to the eastern line of said Dill's lot; thence southwardly along said Dill's eastern line fifty (50) feet, more or less to the point of beginning on White Street. It being a portion of the land described in Item "Third" of the Last Will and Testament of Samuel Chadwick deed as therein

devised to Alfred C. Chadwick, which said Will is duly probated and recorded in the office of the Clerk of Superior Court for Craven County, in Book of Wills H, Folio 340, to which reference is hereby made.

Grantor Latham having inherited a one-half (1/2) interest in this property from her father, J. T. Barber, and Grantor Duell having inherited a one-half (1/2) interest from Mayme B. Lewis in Craven County File Number 92-E-63.

Being that same property conveyed to Craven County and the City of New Bern by Commissioner's Deed dated March 2, 2017 recorded in Book 3493 at Page 2197 of the Craven County Registry. Craven County thereafter conveyed its interest in the said property to the City of New Bern by deed dated September 5, 2017 recorded in Book 3513 at Page 1068 of the Craven County Registry.

Tract No. 30 (Parcel No. 8-007-089)

That certain lot or parcel of land situate on the east side of Eubanks Street, known and designated as Lot 226 of the Subdivision known as Pavie Town or Farmville, a plat or plan of which is recorded in the Office of the Register of Deeds of Craven County in Book 106, Page 385, and incorporated herein by reference, more particularly described as follows:

Beginning at a point in the east line of Eubanks Street, which point is located southwardly 1560 feet measured along the east line of Eubanks Street from the south line of Main Street as shown on the subdivision of Pavie Town or Farmville, and from this point of beginning running thence in a southwardly direction along the east line of Eubanks Street 52 feet; thence eastwardly and parallel with Main Street 102 feet; thence northwardly and parallel with Eubanks Street 52 feet; thence westwardly and parallel with Main Street 102 feet to the point of beginning.

Said lot being 828 Eubanks Street according to the present postal enumeration of dwellings and buildings in the City of New Bern, N.C.

This property is also commonly referred to by its tax parcel identification number which is 8-007-089.

Being one of the properties conveyed to Craven County and the City of New Bern by Commissioner's Deed of Correction recorded December 11, 2017 in Book 3521 at Page 1762 of the Craven County Registry. Craven County thereafter conveyed its interest in said property to the City of New Bern by deed dated January 9, 2018 recorded in Book 3524 at Page 708 of the Craven County Registry.

Tract No. 31 (Parcel No. 8-014-065)

All that certain lot or parcel of land adjoining the City of New Bern and bearing the number One Hundred Eight Three upon the plan of Duffy Town or Mechanicsville as plotted and recorded in

the Public Records in the Office of the Register of Deeds for said County in Book 116, Folio 530, to which reference is hereby made. It being the same land conveyed by E. B. Duffy and Frances Duffy, Trustee, to said J. L. Hahn by deed bearing date of November 14, 1904 and recorded in said public records.

Being that same property conveyed to Craven County and the City of New Bern by Commissioner's Deed recorded October 30, 2017 in Book 3517 at Page 2116 of the Craven County Registry, as amended by Affidavit of Correction of Typographic or Other Minor Error recorded December 14, 2017 in Book 3522 at Page 360 of the Craven County Registry. Craven County thereafter conveyed its interest in said property to the City of New Bern by deed dated January 9, 2018 recorded in Book 3524 at Page 708 of the Craven County Registry.

Tract No. 32 (Parcel No. 8-014-217)

A portion of Lot Number 128 in the subdivision known as Mechanicsville, plot recorded in Book 116, Page 530. Being that same portion of Lot Number 128 currently bearing New Bern postal enumeration of 1113 Raleigh Street.

Also being that same property described in that certain deed of record in Book 1782, Page 474 of the Craven County Registry.

This property is also commonly referred to by its tax parcel identification number which is 8-014-217.

Being that same property conveyed to Craven County and the City of New Bern by Commissioner's Deed recorded on October 11, 2017, in Book 3516, Page 695 of the Craven County Registry. Craven County thereafter conveyed its interest in the said property by deed dated December 21, 2017 recorded in Book 3523 at Page 1136 of the Craven County Registry.

Tract No. 33 (Parcel No. 8-013-188)

All that certain tract or parcel of land located in the City of New Bern and in that part thereof which has been laid off into lots and streets and known as Hendersonville, and being Lot Number 4 in Block E, situated on Main Street according to a map or plan of Hendersonville which is recorded in the Office of the Register of Deeds of Craven County in Book 192, Page 474. The house situated thereon bears the Number 1307 Main Street according to the postal enumeration of houses for the City of New Bern.

SAVE AND EXCEPT FROM Lot Number 4, Block E, 4½ feet for the perpetual right-of-way and easement for ingress, egress and regress over and across and upon the driveway for the use and benefit of Lots 3 and 4 in Block E of Hendersonville.

Being the same property conveyed by Lipman Realty Company, Inc by deed dated March 11, 1952 to Carrie Fonville, widow. And being the same land conveyed to John B. Hall and wife, Caroline G. Hall, by E. Lamar Sledge by deed recorded in Book 545, Page 439 in the Office of the Register of Deeds of Craven County. This being the same property described in that deed dated July 3, 1996 from Lathan T. Nobles and wife to Harry W. Johnson, Jr. and wife and recorded in Book 1522, Page 657, Craven County Registry.

Being also that same property conveyed by Harry W. Johnson, Jr., single, to the City of New Bern by deed dated May 12, 2015 recorded in Book 3368 at Page 658 of the Craven County Registry.

Tract No. 34 (Parcel No. 8-012-183)

All that certain lot or parcel of land situate in the City of New Bern, Craven County, North Carolina, on the eastern side of Third Avenue, and more particularly described as follows:

BEGINNING at a point in the eastern line of Third Avenue 74 feet, more or less, southwardly from the southeast corner of Cedar Street and Third Avenue, running thence eastwardly and parallel with Cedar Street 100 feet; thence southwardly and parallel with Third Avenue 37 feet; thence westwardly and parallel with Cedar Street 100 feet to the eastern line of Third Avenue; thence northwardly with the eastern line of Third Avenue 37 feet to the place of beginning; together with the dwelling situate thereon, and being No. 722 Third Avenue according to the present postal numbers of dwellings and buildings in the City of New Bern.

Being Tract Two described in and conveyed by deed dated March 1, 2000 from Ben Fulton and wife, Ada M. Fulton, to Matthew G. Jackson, appearing of record in Book 1742 at Page 482 in the Office of the Register of Deeds of Craven County.

Being that same property conveyed by Matthew G. Jackson and wife to the City of New Bern by deed dated April 23, 2009 recorded in Book 2817 at Page 916 of the Craven County Registry.

Tract No. 35 (Parcel No. 8-014-313)

All that certain lot, tract or parcel of land conveyed to William F. Ward, Jr. by A. D. Ward and others by deed dated December 5, 1961, said deed appearing in Book 626 at Page 386 in the Office of the Register of Deeds of Craven County, and said deed is incorporated herein by reference as fully as if set out for a more perfect description of the real property conveyed by this deed.

Said lot or tract being also that same property as shown and described as "W. F. Ward, Jr." on the map entitled "Survey for Terry D. Smith and wife, Judy K. Smith" prepared by Robert M. Chiles, P.E., on August 19, 1987, said map being appearing of record in Book 1165 at Page 289 in the Office of the Register of Deeds of Craven County, to which reference is hereby made for a more perfect description, and the same is incorporated herein by reference.

Being that same property conveyed by William F. Ward, Jr. and wife to the City of New Bern by deed dated May 12, 1988 recorded in Book 1191 at Page 611 of the Craven County Registry.

Tract No. 36 (Parcel No. 8-007-126)

All that certain lot or parcel of land situate on the west side of Bloomfield Street, south of Main Street, and north of Cedar Street, and being the northern half of Lot No. 182 in the Plan of Pavietown as plotted on map, or plot of same as recorded in the Office of the Register of Deeds of Craven County in Book No. 106, Page No. 385; said lot beginning at the northeast corner of Lot No. 182 and run thence in a southerly direction along the western line of Bloomfield Street, twenty-six (26) feet to the center of the eastern line of said lot on said street; thence in a westerly direction one hundred two (102) feet to the center of the western line of said Lot No. 182; thence in a northerly direction to the northwest corner of Lot No. 182; thence in an easterly direction one hundred two (102) feet, along and with the northern line of said Lot No. 182 to the western line of Bloomfield Street, the point of beginning, being a part of the Caroline Franks property, and being the same lot or parcel of land conveyed in a certain deed dated July 18, 1940 from Annie Franks Edwards, widow, to Gertrude Chapman, and recorded in the Office of the Register of Deeds of Craven County in Book No. 347, Page 247, to which further reference is hereby made. For a more particular description, see deed from Gertrude Chapman and husband, John Chapman, to Nancy L. Keys recorded in Book 506, Page 44, in the Office of the Register of Deeds of Craven County.

Being that same property conveyed to the City of New Bern by Sheriff's Deed dated March 21, 2002 recorded in Book 1907 at Page 796 of the Craven County Registry.

Tract No. 37 (Parcel No. 8-007-363)

Lying and being situate in New Bern, Craven County, North Carolina, and on the south side of Cedar Street, and being a part of the Second Tract as appears of record in Book 930 at Page 140, Craven County Registry, and more particularly described as follows: Beginning at an iron pipe in the southern right-of-way line of Cedar Street, said point of beginning being South 61 degrees 00 minutes East 34.28 feet from the junction of the eastern right-of-way line of West Street with the southern right-of-way line of Cedar Street, and thence from said point of beginning and with the southern right-of-way line of Cedar Street South 61 degrees 00 minutes East 17.57 feet to an iron

pipe; thence south 29 degrees 57 minutes West 40.15 feet to an iron pipe; thence North 61 degrees 00 minutes West 17.57 feet to an iron pipe; thence North 29 degrees 57 minutes East 40.15 feet to the point of beginning in the southern right-of-way line of Cedar Street. Commonly known as 827 Cedar Street, New Bern, NC 28560.

Being that same property conveyed by Federal Home Loan Mortgage Corporation to the City of New Bern by deed dated August 6, 2019 recorded in Book 3579 at Page 1899 of the Craven County Registry.

Tract No. 38 (Parcel No. 8-011-162)

Adjoining the lands of Eliza Allen and Evaline Shepard et al., bounded as follows: beginning at a point in the west side of Lawson Street as laid out in the plot of land surveyed by H. A. Brown, surveyor, which plot of land is registered in the Office of the Register of Deeds of Craven County, North Carolina in Book 126, Page 501, to which reference is made, being Lot #16 according to said plot or plan. This property is also commonly referred to by its tax parcel identification number which is 8-011-162.

Being also that same property conveyed to Craven County and the City of New Bern by Commissioner's Deed dated January 28, 2019 recorded in Book 3561 at Page 104 of the Craven County Registry. Craven County thereafter conveyed its interest in the said property by deed dated June 1, 2020 recorded in Book 3615 at Page 1019 of the Craven County Registry.

Tract No. 39 (Parcel No. 8-007-096)

FIRST: Situate in that portion of the City known as Pavietown and being more particularly described as follows: Beginning at a point in the western line of Pavie Avenue one hundred twenty nine (129) feet south of the southwest intersection of Pavie Avenue and Main Street, running thence southwardly along Pavie Avenue twenty-five (25) feet; thence westwardly parallel to Main Street one hundred two (102) feet; thence northwardly parallel to Pavie Avenue twenty-five (25) feet; thence eastwardly parallel to Main Street one hundred two (102) feet to the place of beginning. It being a part of Lot 197 in said plot or plan of Pavietown as plotted and recorded in the public records in the office of the Register of Deeds of Craven County in Book 106, Page 385, reference to which is hereby made for better description. Together with the dwelling and improvements situate thereon, and being No. 839 Pavie Avenue according to the present postal enumerations of dwellings and building in the City of New Bern. Being the same lot or parcel of land conveyed and described in the deed from Shade Alexander and his wife, Mariah H. Alexander to A.J. Johnson and his wife, Clara Mae Johnson, dated January 23, 1953, and recorded in the office of the Register of Deeds of Craven County in Book 481, Page 83, reference to which is hereby made. Saving and excepting a strip of land from A.J. Johnson and his wife, Clara Mae Johnson to S.H. Fowler and his wife, Alice T. Fowler, dated April 23, 1953.

SECOND: Also a certain parcel or strip of land in Craven County, North Carolina, in the City of New Bern, and more particularly described as follows: Beginning at a point on the western side of Pavie Avenue 156 feet southwardly from the southwest corner of the intersection of Main Street and Pavie Avenue, it being northeast corner of Lot No. 198, Paviatown, and running thence westwardly with the northeast line of Lot 198, 102 feet to the southeast corner of Lot No. 206; thence northwardly with the eastern line of Lot No. 206, 2 feet; thence westwardly and parallel with the line of Lot No. 198, 102 feet to the western line of Pavie Avenue, thence southwardly with the western line of Pavie Avenue, 2 feet to the place of beginning. It being the southern 2 feet of Lot No. 197 Paviatown according to a plat or plan recorded in the office of the Register of Deeds of Craven County in Book 106, Page 385, reference to which is hereby made for better description. Together with the improvements situate thereon. Being the same parcel or strip of land conveyed and described in the deed from S.H. Fowler, et us, et al to A.J. Johnson and wife, Clara Mae Johnson, dated January 23, 1953, and recorded in the office of the Register of Deeds of Craven County in Book 481, Page 81, reference to which is hereby made.

Being that same property conveyed to Craven County and the City of New Bern by Commissioner's Deed dated January 15, 2019 and recorded in Book 3560 at Page 886 of the Craven County Registry. Craven County thereafter conveyed its interest to the City of New Bern by deed dated April 6, 2020 recorded in Book 3608 at Page 672 of the Craven County Registry.

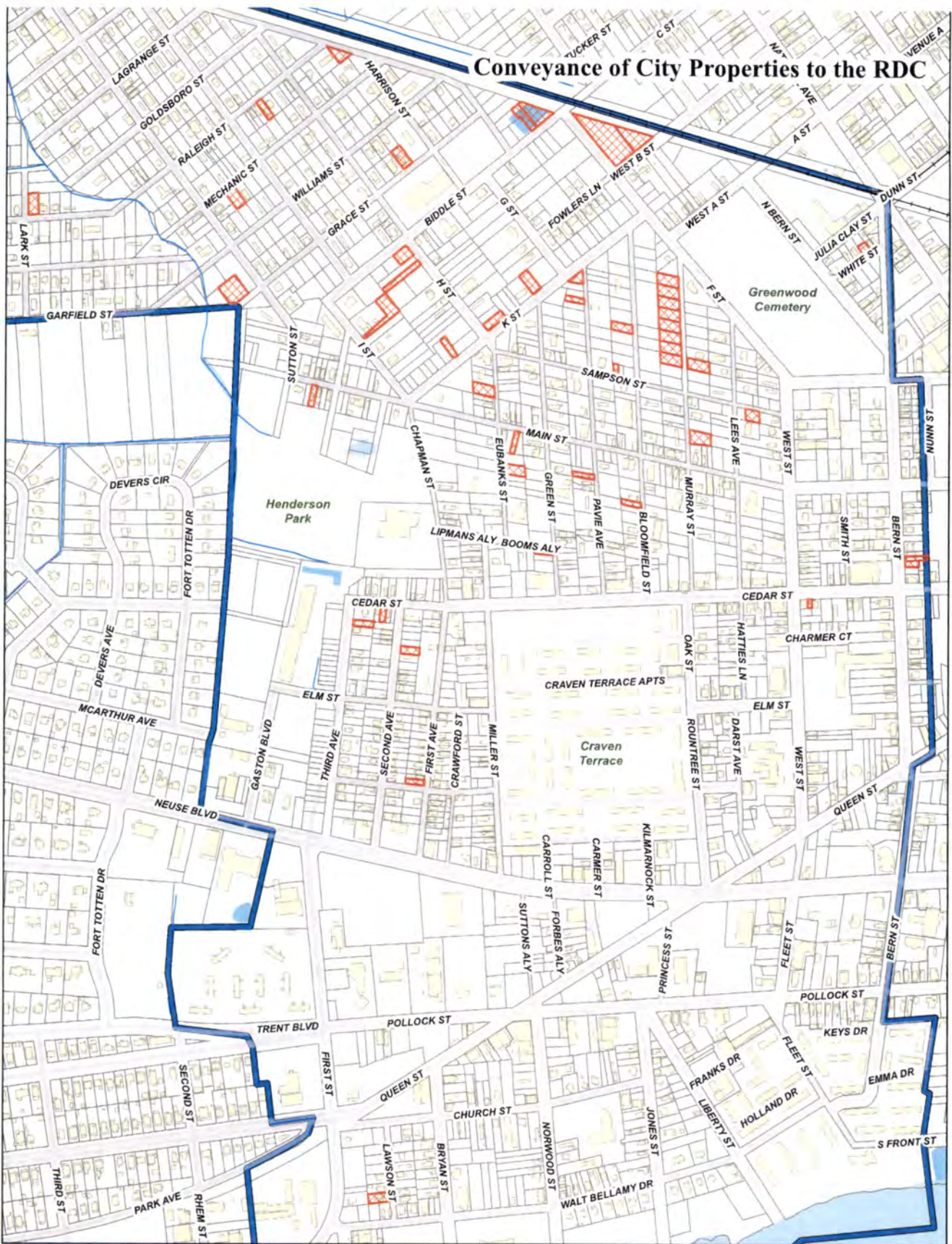
Tract No. 40 (Parcel No. 8-014-289)

All of Lot No. Twenty Six (26) as designated on a plat known as Duffytown (a subdivision in the City of New Bern, North Carolina), which plat is recorded in Book 105, Page 207 in the Office of the Register of Deeds of Craven County, reference to which is hereby made for a more complete description.

Being that same property conveyed to Craven County and the City of New Bern by Commissioner's Deed dated January 15, 2019 and recorded in Book 3560 at Page 884 of the Craven County Registry. Craven County thereafter conveyed its interest to the City of New Bern by deed dated April 6, 2020 recorded in Book 3608 at Page 672 of the Craven County Registry.

THE CONVEYANCE OF EACH OF THE ABOVE REFERENCED TRACTS IS MADE EXPRESSLY SUBJECT TO ANY RESTRICTIVE COVENANTS, EASEMENTS OR RIGHTS-OF-WAY OF RECORD.

Conveyance of City Properties to the RDC



PID	Address	Size (AC.)	PID	Address	Size (AC.)	PID	Address	Size (AC.)
8-006 -003	1135 H ST	0.1	8-006 -185	1011 MURRAY ST	0.11	8-007 -363	827 CEDAR ST	0.02
8-006 -005	1129 H ST	0.12	8-006 -186	1009 MURRAY ST	0.11	8-011 -162	209 LAWSON ST	0.1
8-006 -016	1104 K ST	0.07	8-006 -207	1015 BLOOMFIELD ST	0.08	8-012 -164	1225 CEDAR ST	0.05
8-006 -026	1110 I ST (REAR)	0.21	8-006 -213	1008 SAMPSON ST	0.03	8-012 -183	722 THIRD AVE	0.06
8-006 -041	1012 K ST	0.12	8-006 -222	1035 PAVIE AVE	0.08	8-012 -196	718 SECOND AVE	0.07
8-006 -046	1024 K ST	0.09	8-006 -225	1023 PAVIE AVE	0.05	8-012 -315	601 FIRST AVE	0.05
8-006 -094	720 FOWLERS LN	0.61	8-006 -253	911 EUBANKS ST	0.13	8-013 -146	GRACE ST	0.23
8-006 -095	700 FOWLERS LN	0.2	8-006 -334	910 MURRAY ST	0.15	8-013 -188	1307 MAIN ST	0.06
8-006 -126	606 WHITE ST	0.05	8-006 -394	913 SAMPSON ST	0.08	8-014 -065	1213 MECHANIC ST	0.12
8-006 -164	MURRAY ST	0.12	8-007 -056	815 GREEN ST	0.06	8-014 -217	1113 RALEIGH ST	0.07
8-006 -179	1023 MURRAY ST	0.11	8-007 -071	1037 MAIN ST	0.05	8-014 -266	1502 ROSE ST	0.08
8-006 -180	1021 MURRAY ST	0.11	8-007 -089	828 EUBANKS ST	0.11	8-014 -289	1010 GRACE ST	0.12
8-006 -181	1019 MURRAY ST	0.11	8-007 -096	839 PAVIE AVE	0.05	8-014 -313	816 BIDDLE ST	0.11
8-006 -182	1017 MURRAY ST	0.11	8-007 -126	833 BLOOMFIELD ST	0.05	8-014 -313-B	814 BIDDLE ST	0.19
8-006 -183	1015 MURRAY ST	0.11	8-007 -327	808 BERN ST	0.04	8-020 -134	WASHINGTON ST	0.11
8-006 -184	1013 MURRAY ST	0.11	8-007 -328	810 BERN ST	0.05			

Legend

- Railroad
- City Property to RDC
- RDC Boundary
- Bldg Footprints
- Parcels

15,000

0 200 400 800 Feet

N

AGENDA ITEM COVER SHEET

Agenda Item Title:

Consider Adopting a Resolution for Street Lighting Request for Old Airport Road

Date of Meeting: 11/10/2020	Ward # if applicable: 3
Department: Public Utilities	Person Submitting Item: Charles Bauschard
Call for Public Hearing: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Date of Public Hearing: N/A

Explanation of Item:	This section of Old Airport Road was recently taken over by City of New Bern. Request to install 31-72W LED streetlights.
Actions Needed by Board:	Approval of Request
Backup Attached:	Memo, Resolution, Street Lighting Request Form, Cost Analysis and location map

Is item time sensitive? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Will there be advocates/opponents at the meeting? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

Cost of Agenda Item: Electric \$23,491.12 Public Works \$8.44/mo per light or \$261.64/mo
If this requires an expenditure, has it been budgeted and are funds available and certified by the Finance Director? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No

Additional Notes:

Aldermen

Sabrina Bengel
Jameesha Harris
Robert V. Aster
Johnnie Ray Kinsey
Barbara J. Best
Jeffrey T. Odham



300 Pollock Street, P.O. Box 1129
New Bern, NC 28563-1129
(252) 636-4000

Dana E. Outlaw
Mayor
Mark A. Stephens
City Manager
Brenda E. Blanco
City Clerk
Mary Hogan
Director of Finance

TO: Mark Stephens, City Manager
FROM: Charles Bauschard, Director of Public Utilities
DATE: October 29, 2020
SUBJECT: Request for Additional Street Lighting

Background Information:

In August of 2010, the Board of Aldermen adopted a procedure for addressing requests for additional street lighting from residents. This procedure requires Electric Utilities to evaluate the area of the request. The existing lighting must also comply with or be brought up to the American National Standard Practice for Roadway Lighting.

The Department of Public Utilities has received a request from City of New Bern-Public Works for additional street lighting infrastructure in the area of Old Airport Road, between Taberna and Evans Mill. It should be noted that this area was recently taken over by the City of New Bern. This area was evaluated, and it was determined that it does not meet the City's light standard. The recommendation and cost estimate is included.

Recommendation:

Upon completion of the staff's evaluation, I recommend the Board of Aldermen approve the resolution for the addition of a streetlights in the area of Old Airport Road.

RESOLUTION

THAT WHEREAS, the City of New Bern has adopted the American National Standard Practice for Roadway Lighting as the design standard for new street lighting installations within the City of New Bern; and

WHEREAS, the standard outlines the level of lighting necessary for the safe interaction of pedestrians and vehicles along municipal roadways.

THEREFORE, BE IT RESOLVED BY THE BOARD OF ALDERMEN OF THE CITY OF NEW BERN:

That the Mayor and the City Clerk be and they are hereby authorized and directed to accept the installation and costs to the Department of Public Utilities and Public Works for additional street lighting infrastructure along the section of Old Airport Road between Taberna and Evans Mill in order to comply with the adopted standard.

ADOPTED THIS 10TH DAY OF NOVEMBER, 2020.

DANA E. OUTLAW, MAYOR

BRENDA E. BLANCO, CITY CLERK

Street Lighting Request Form

REQ #: 108

Customer Name: City of New Bern – Public Works

Customer Address: 1004 S Glenburnie Rd, New Bern NC

Phone Number of Requestor: 252-639-7501

Area of Request:

Section of Old Airport Rd between Taberna and Evans Mills.

(Street address, intersection, general description, etc)

Pole # (if known):

Sent to Police Department Date:

Police Recommendations:

All items below this must be filled out by an Electric Department Engineer

Electric Department Engineer: Dustin Cayton

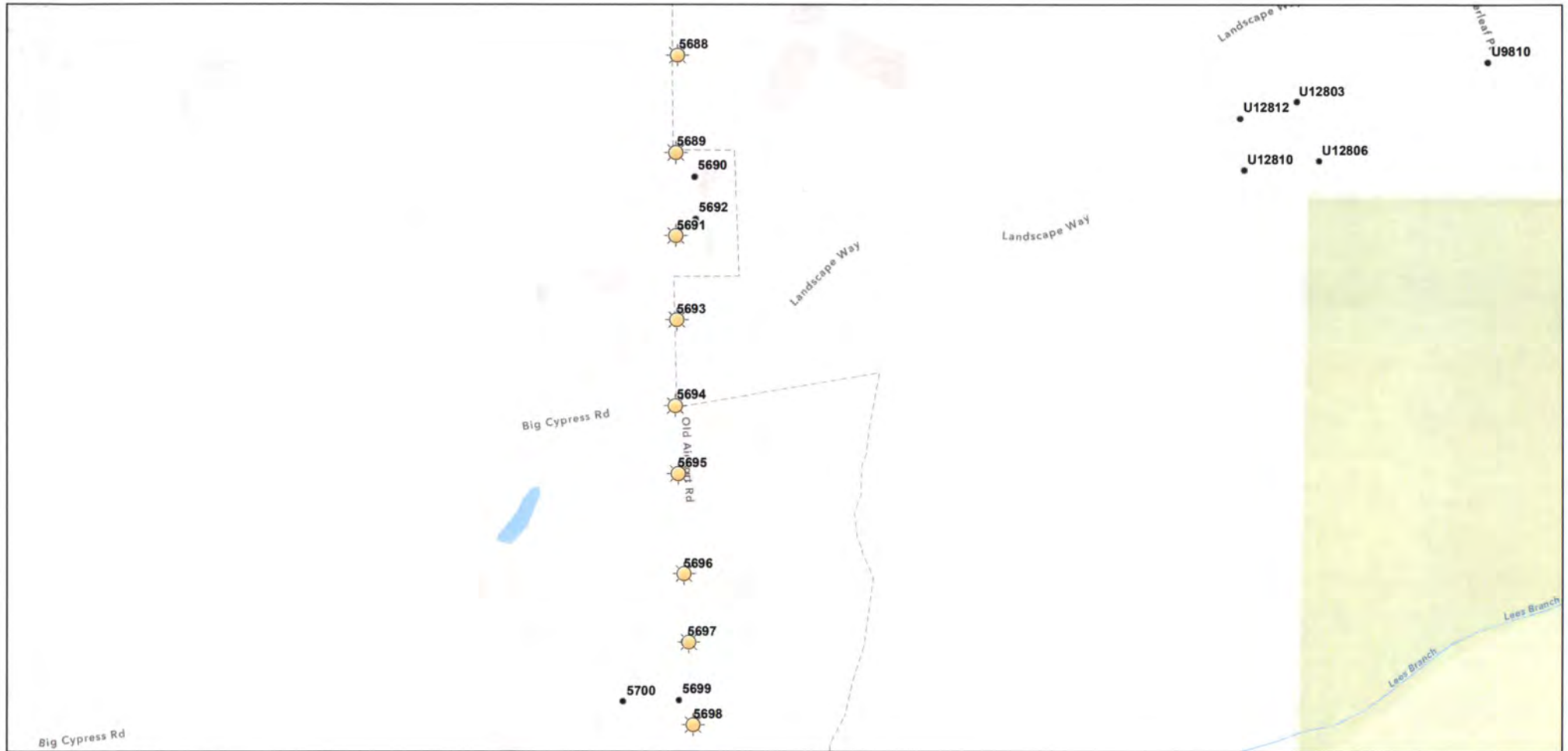
Evaluations Results/Recommendation:

This section of Old Airport Rd was recently taken over by the City of New Bern. Currently there are no streetlights on this section. I recommend installing 31-72W LED Street Lights on 8' arms on existing poles.

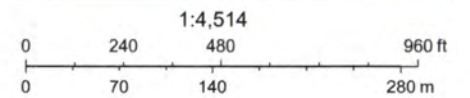
Estimated Cost to Electric Department: \$23,491.12

Estimated Cost to Public Works: \$8.44/month per light or \$261.64/month

Old Airport Rd

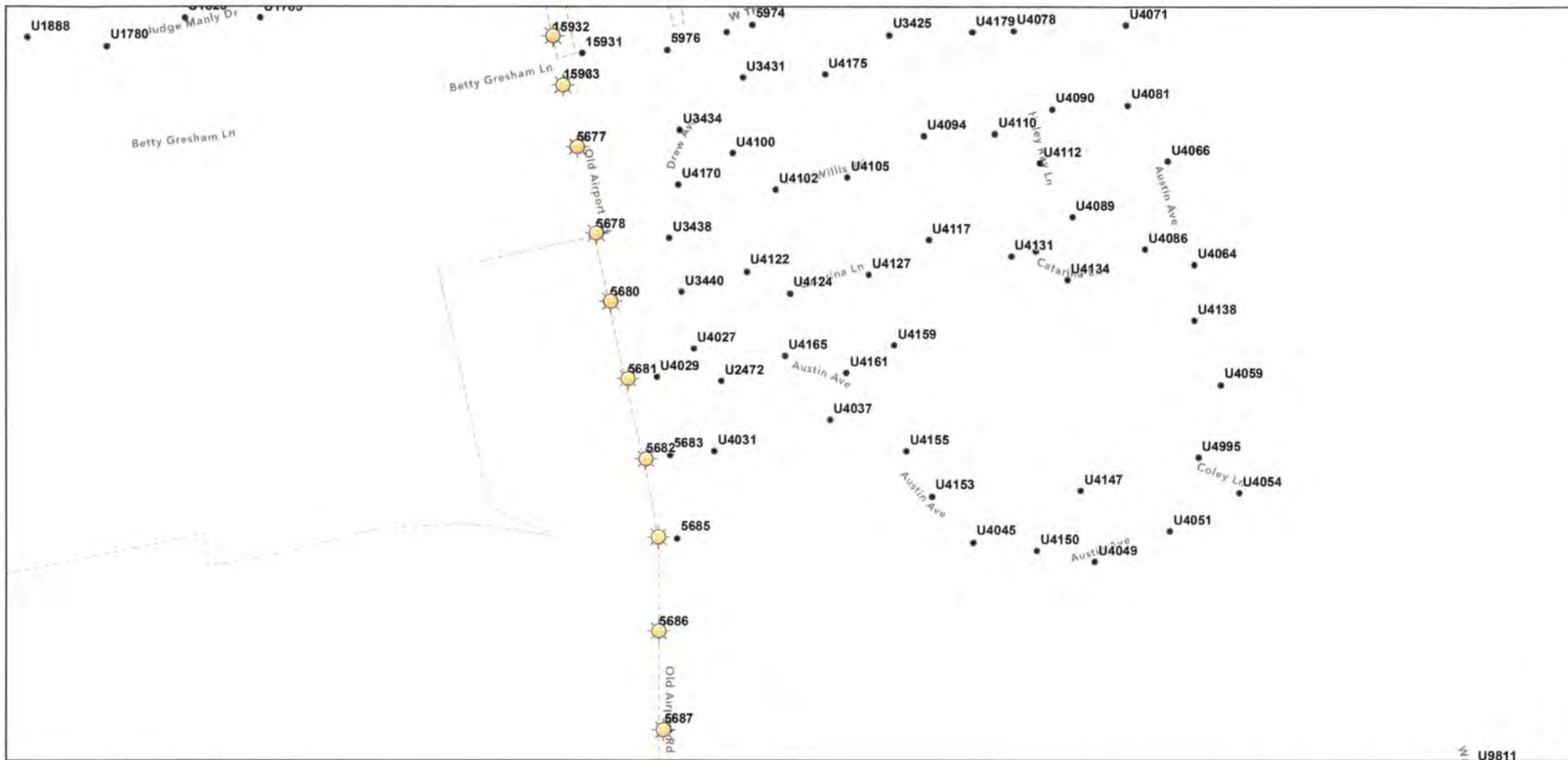


10/13/2020, 4.10 41 PM

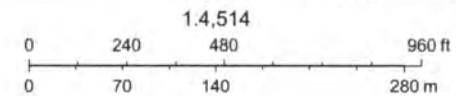


Sources Esri, HERE, Garmin, FAO, NOAA, USGS, © OpenStreetMap contributors, and the GIS User Community

Old Airport Rd 1

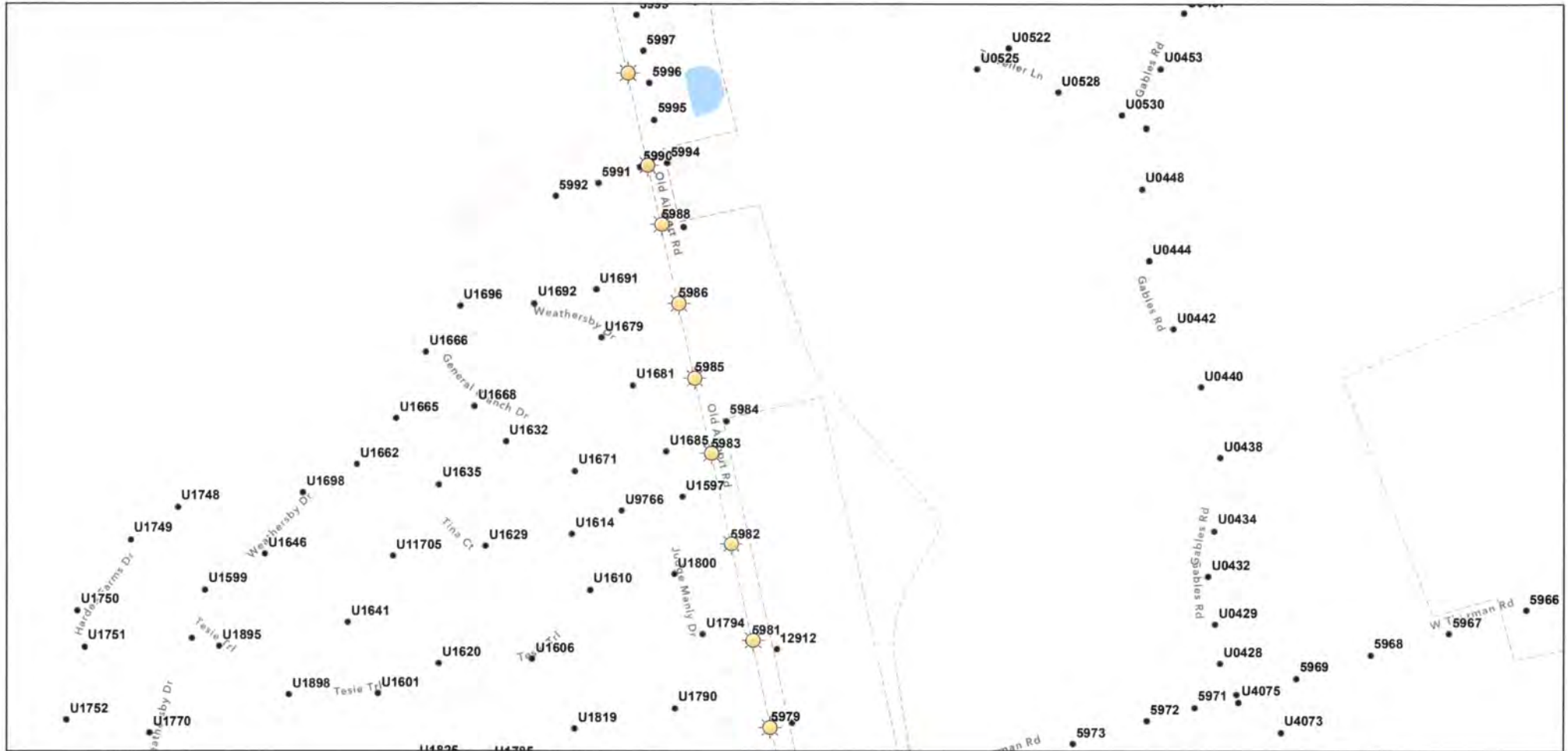


10/13/2020, 4 12 23 PM

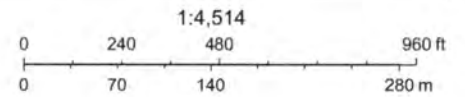


Sources: Esri, HERE, Garmin, FAO, NOAA, USGS, © OpenStreetMap contributors, and the GIS User Community

Old Airport Rd 2



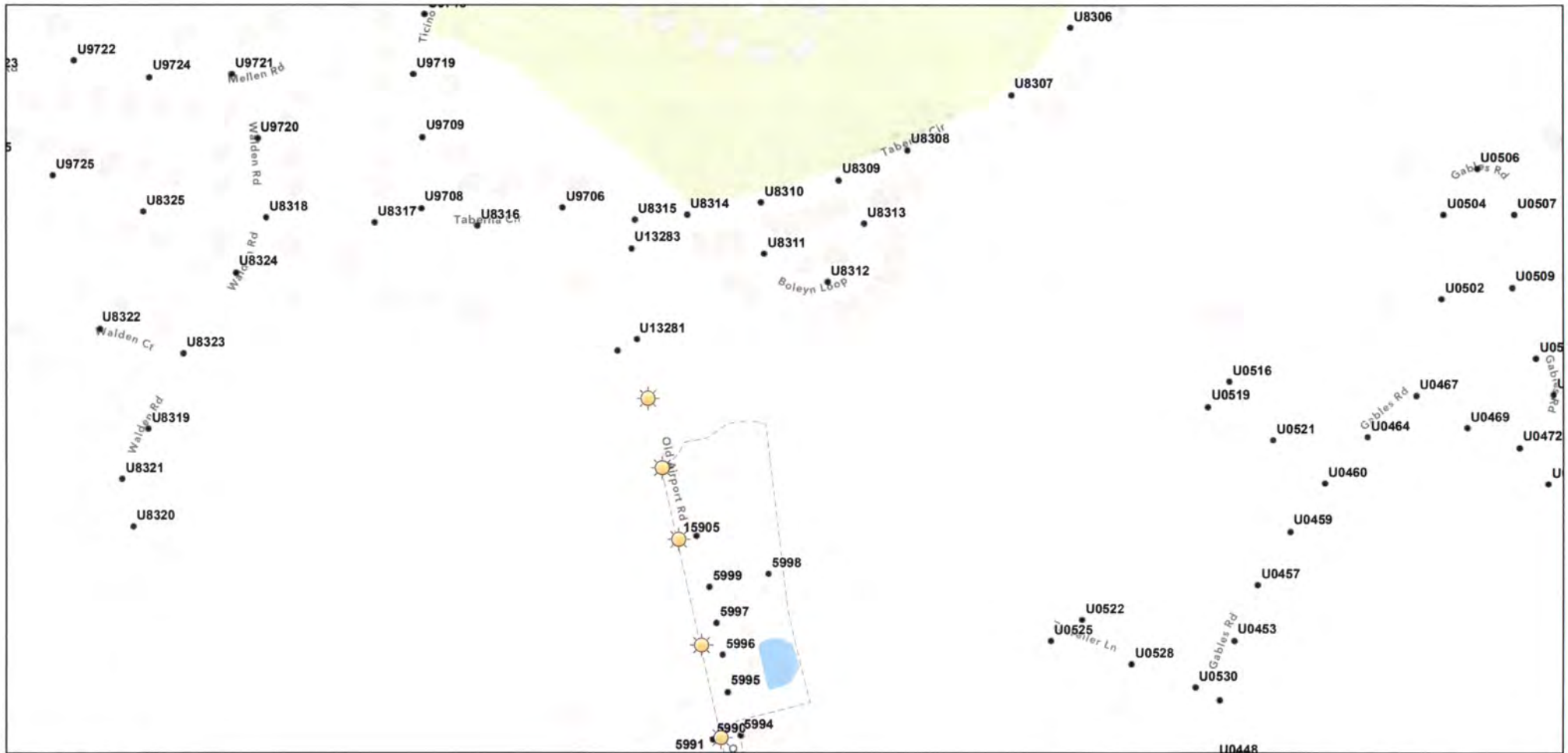
10/13/2020, 4:13:49 PM



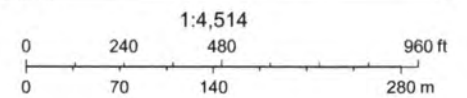
Sources: Esri, HERE, Garmin, FAO, NOAA, USGS, © OpenStreetMap contributors, and the GIS User Community

Esri Community Maps Contributors, Carteret County, State of North Carolina DOT, BuildingFootprintUSA, Esri, HERE, Garmin, SafeGraph, INCREMENT P, METI/NASA, USGS, EPA, NPS, US Census Bureau, USDA |

Old Airport Rd 3



10/13/2020, 4 14:32 PM



Sources Esri, HERE, Garmin, FAO NOAA, USGS, © OpenStreetMap contributors, and the GIS User Community

NEW BERN ELECTRIC

DATE:10/13/20

Street Light REQ 108

CUSTOMER:Public Works

LOCATION: Old Airport Rd

LABOR	QUANTITY	REG. HRS	OT HRS	RATE*	TOTALS
Crew Leader	1	62	0	\$ 52.00	\$ 3,224.00
2nd Class	1	62	0	\$ 40.74	\$ 2,525.88
TOTAL					\$ 5,749.88

EQUIPMENT	QUANTITY	HOURS	RATE*	TOTALS
Bucket Truck/Service Truck 55'	1	62	\$ 74.72	\$ 4,632.64
Material Truck	1	62	\$ 21.10	\$ 1,308.20
TOTAL				\$ 5,940.84

MATERIAL	QUANTITY	PRICE	TOTAL
8' Arms	31	\$119.32	\$ 3,698.92
72W LED Street Light	31	\$166.43	\$ 5,159.33
Photocontrol	31	\$8.69	\$ 269.39
#6 ACSR TPX	4000	\$0.40	\$ 1,600.00
TOTAL			\$ 10,727.64

SUB TOTAL \$ 22,418.36

10%TAX \$ 1,072.76

TOTAL JOB \$ 23,491.12

*Labor Rates are based on hourly rates + benefits.

*Equipment rates are based on FEMA's 2019 Schedule of Equipment Rates

AGENDA ITEM COVER SHEET

Agenda Item Title:

Consider Adopting an Ordinance for the Demolition of 561 NC Highway 55 West.

Date of Meeting: 11/10/2020	Ward # if applicable: Ward 5
Department: Development Services	Person Submitting Item: Jeff Ruggieri, Director of Development Services
Call for Public Hearing: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Date of Public Hearing: N/A

Explanation of Item:	Staff is seeking approval of an Ordinance to demolish the structure located at 561 NC Highway 55 West.
Actions Needed by Board:	Adopt Ordinance
Backup Attached:	Memo, Ordinance, Chronological Order of Events

Is item time sensitive? <input type="checkbox"/> Yes <input type="checkbox"/> No
Will there be advocates/opponents at the meeting? <input type="checkbox"/> Yes <input type="checkbox"/> No

Cost of Agenda Item:
If this requires an expenditure, has it been budgeted and are funds available and certified by the Finance Director? <input type="checkbox"/> Yes <input type="checkbox"/> No

Additional Notes:



MEMORANDUM

TO: Mayor Dana Outlaw, City of New Bern Board of Aldermen

FROM: Jeff Ruggieri, Director Development Services

DATE: October 29, 2020

SUBJECT: Consider Adopting an Ordinance for the Demolition of 561 NC Highway 55 West.

Staff is seeking approval of an ordinance to demolish the structure located at 561 NC Highway 55 West.

On January 7, 2020 pictures were taken of the dilapidated home located at 561 NC Highway 55 West and a Minimum Housing Violation letter was mailed to the owner of record. After no contact from the owner a Minimum Housing Violation follow up letter was mailed on May 19, 2020.

On June 26, 2020 a notice of hearing was mailed to the owner of record with no response. A hearing before the building inspector was conducted on July 14, 2020, the owner was properly notified of the hearing but was not present. The order granted the owner 60 days to repair the home and comply with minimum housing standards.

To date no permits have been applied for and the structure remains non-compliant.

A complete list of chronological events related to the property as well as pictures are attached.

Prepared by and return to:

**Michael Scott Davis
DAVIS HARTMAN WRIGHT PLLC
209 Pollock Street
New Bern, NC 28560**

AN ORDINANCE TO ORDER THE DEMOLITION OF A DWELLING UNFIT FOR HUMAN HABITATION LOCATED AT 561 WEST NC HIGHWAY 55 IN THE CITY OF NEW BERN, NORTH CAROLINA

THAT WHEREAS, the City of New Bern properly served A. Carl Bell and Spouse, if any ("Owners"), on June 29, 2020, pursuant to Section 38-30 of the Code of Ordinances for the City of New Bern, complaining and alleging that the dwelling owned by Owners located at 561 West NC Highway 55 in the City of New Bern, North Carolina (Craven County parcel identification number 8-218-029) is unfit for human habitation; and

WHEREAS, the Owners of the certain dwelling located at 561 West NC Highway 55 in the City of New Bern, North Carolina ("Subject Property") were ordered to remove or demolish the dwelling located on the Subject Property and clear the debris therefrom, or to repair, alter, or improve said dwelling to comply with the minimum standards established by Chapter 38 of the Code of the City of New Bern by September 14, 2020; and

WHEREAS, the Owners have been given a reasonable opportunity to comply with the aforementioned Order of the Building Inspector; and

WHEREAS, the Owners have failed to remove or demolish the dwelling and clear the debris therefrom, or to repair, alter or improve said dwelling to comply with the minimum standards established by Chapter 38 of the Code of the City of New Bern, as directed in said Order,

NOW, THEREFORE, BE IT ORDAINED BY THE BOARD OF ALDERMEN OF THE CITY OF NEW BERN:

Section 1. That the Building Inspector of the City of New Bern is ordered to remove or demolish the dwelling located on the Subject Property at 561 West NC Highway 55 in the City of New Bern, North Carolina, more particularly described as follows:

SEE EXHIBIT A ATTACHED HERETO.

Section 2. That the Building Inspector of the City of New Bern is ordered to sell the materials of the dwelling that are salvageable and shall credit the proceeds of the sale against the cost of the removal or demolition, and any balance remaining shall be deposited with the Clerk of Superior Court of Craven County, shall be secured in a manner directed by the court, and shall be disbursed by the court to the persons found to be entitled thereto by final order or decree of the court.

Section 3. That this ordinance shall be in full force and effect from and after its adoption.

ADOPTED THIS 10th DAY OF NOVEMBER, 2020.

DANA E. OUTLAW, MAYOR

BRENDA E. BLANCO, CITY CLERK

EXHIBIT A

All that certain tract or parcel of land lying and being situate in Number Eight (8) Township, Craven County, North Carolina, being more particularly described as follows:

BEGINNING at a point in the southern right-of-way line of N.C. Highway 55 (formerly U.S. Highway 70), said point being an iron pipe lying at the common corner of Lots 4 and 5, as shown on that certain plat entitled "Plot of Frank Humphrey's Lot to Hahn Land" as prepared by C. H. Gochnauer dated November 1948, said plat being of record in Map Book 3, Page 57 of the Craven County Registry. Thence from said point of beginning South 29° 32' 50" West 153.39 feet to an iron rod; thence North 57° 12' 21" West 10.00 feet to an iron rod located in the dividing line of Lots 4 and 5 of the aforementioned subdivision; thence continuing along the southern line of Lot 5 North 57° 12' 21" West 68.86 feet to an iron pipe; thence North 33° 13' 47" East 152.33 feet to the southern right-of-way line of N.C. Highway 55 (formerly U.S. Highway 70); thence South along and with the southern right-of-way line of said N.C. Highway 55 South 57° 53' 10" East 69.02 feet to the aforementioned point of beginning.

Being a portion of Lot 4 and a portion of Lot 5 "Survey for Frank Humphrey, Division of Lot No. 2 Hahn Land" Map Book 3, Page 57, Craven County Registry, to which reference is made.

This description is taken from that certain survey entitled "Survey for A. Carl Bell and wife, Deborah H. Bell" by Roy R. Smith, Jr., P.L.S, dated May 20, 2003, a copy of which is attached to the deed to A. Carl Bell recorded in Book 2111 at Page 653 of the Craven County Registry.

CHRONOLOGICAL ORDER OF EVENTS

561 NC Hwy 55 W

10/22/2020

[illegible]

NARRATIVES:

CASE: 561 NC Hwy 55W

Inspector: Patrick

DATE: 5-14-2020

Owner: Carl Bell

Zone: R-20

Intent:

Fluorone: X

W-5

- contact # 910 638 5000? owes taxes Co: 4146.45 Ci: 6038.75

Ald Best 637 7419

Boarded up by Owner 31 Jan 2019

5-19-2020 Follow up Letter sent

6-4-2020 Owes Taxes, Draft Comp saved

6-24-2020 TO Received

6-25-2020 Site visit to verify pics prior to Comp.

7-14-2020 OBI, discredited, 14 Sept 2020 Comp

7-15-2020 OBI mailed

7-23-2020 US Att OFF Lauren Golden 919 634 4508

lauren.golden @ usdoj.gov

150 Fayetteville St, Raleigh NC 27601

8-3-2020 BI calls CB, no answer, unable to leave message

8-17-2020 BI calls CB, no answer, unable to leave message

9-8-2020 BI calls CB, No answer, Unable to leave message

9-28-2020 Amended COS for Comp + OBI done.

9-29-2020 Ord to Demo Recv.

Craven County Geographic Information System

Craven County does NOT warrant the information shown on this page and should be used ONLY for tax assessment purposes.

This report was created by Craven County GIS reporting services on 1/7/2020 10:08:04 AM

same 6-14-2020

Parcel ID : 8-218 -029
Owner : BELL, A CARL
Mailing Address : 866 OKELLY CHAPEL RD DURHAM NC 27713
Property Address : 561 W NC 55 HWY
Description : NEUSE RD
Lot Description :



Assessed Acreage : 0.260 Calculated Acreage : 0.270
Deed Reference : 2111-0653 Recorded Date : 10 31 2003
Recorded Survey :
Estate Number :
Land Value : \$13,500 Tax Exempt : No
Real Improvement Value : \$48,420 # of Improvements : 1
Total Value : \$61,920
City Name : NEW BERN Fire tax District :
Drainage District : Special District :
Land use : RESIDENTIAL - ONE FAMILY UNIT

30,000 -
75,000

Recent Sales Information

SALE DATE	Sellers Name	Buyers Name	Sale Type	Sale Price
10/31/2003	GARRETT, NORMAN EDWARD & MORRIS,	BELL, A CARL	STRAIGHT TRANSFER	\$45,000
1/1/1949	HUMPHREY, RUBY	GARRETT, NORMAN EDWARD & MORRIS,	MULTI-PARCEL- SALE	\$0

List of Improvements to Site

Type of Structure	Year Built	Base Area 1st Floor	Value
RESIDENTIAL CONSTRUCTION	1973	1521	\$48,420

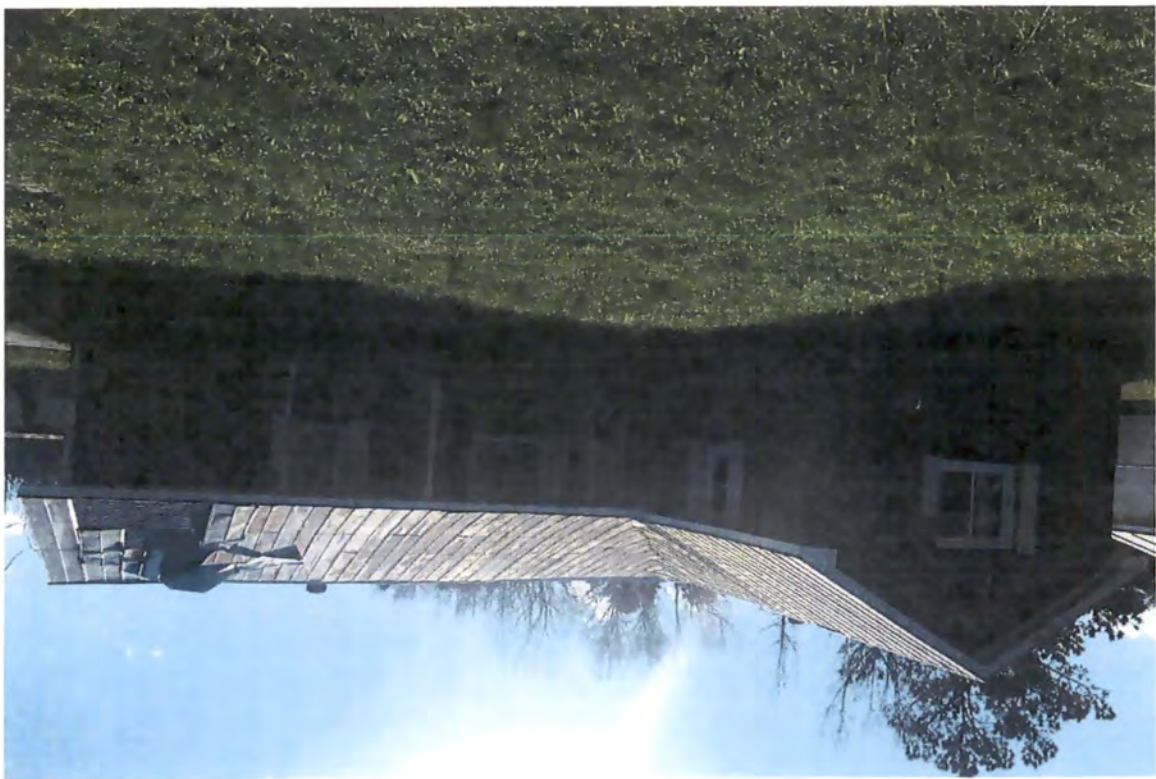
561 NC Hwy 55 W 5-14-2020



561 NC Hwy 55 W 5-14-2020

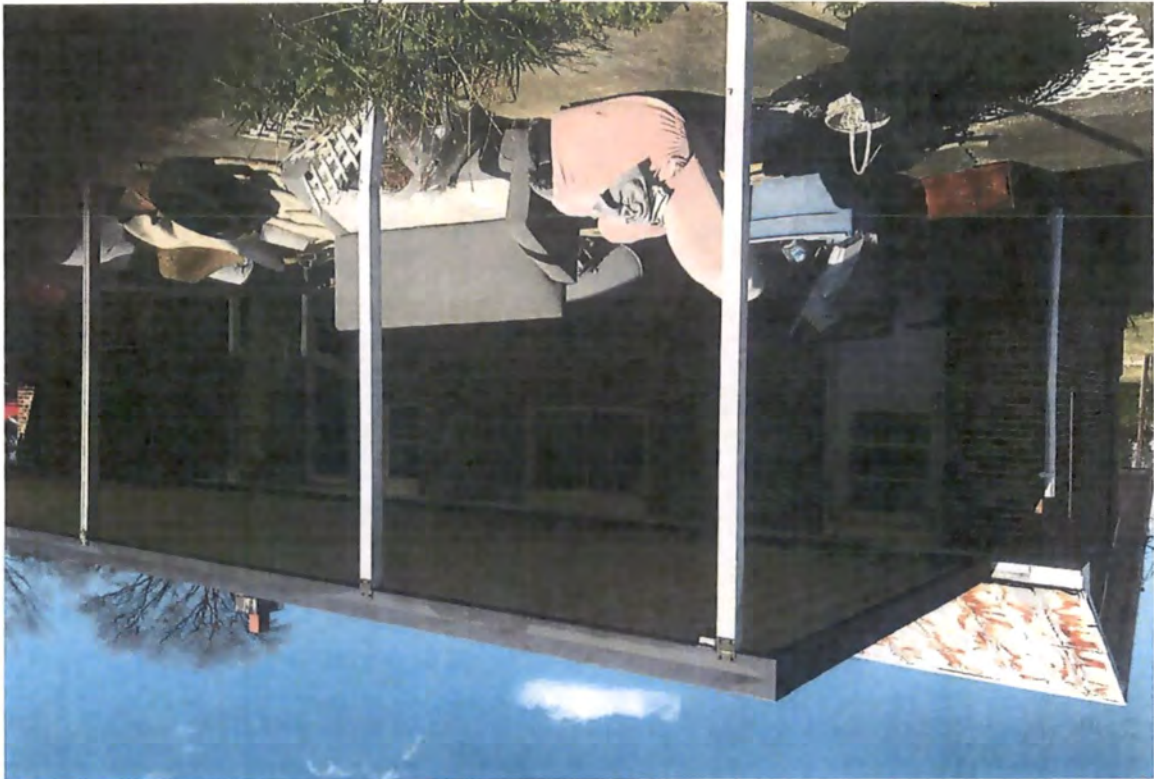


561
NC Hwy 55 W 5-147000

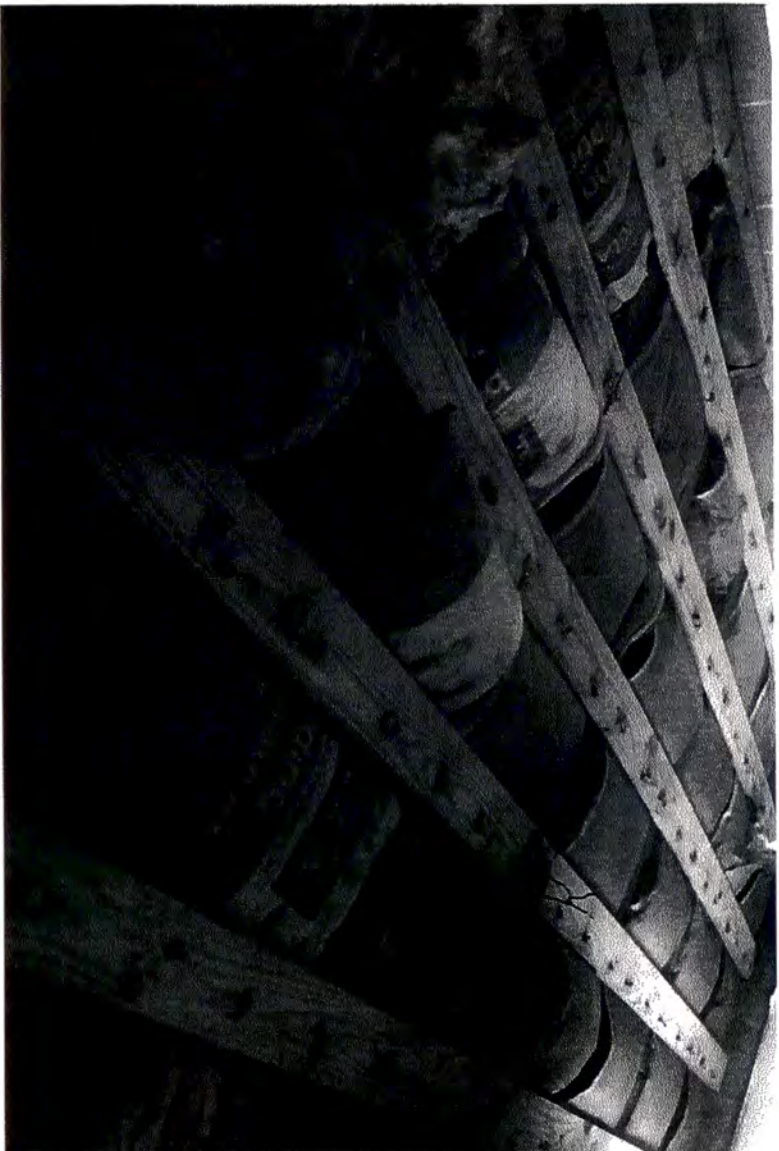


561 NC Hwy 55W

0208, 41-5



2002-11-5 1935 hr on 1025



561 NL Hunt 55W 5-14-2020



561 NW 14th St 1913



DAVIS HARTMAN WRIGHT, PLLC
Attorney's Report on Title

RE: 561 West NC Highway 55 (Tax Parcel # 8-218-029)

TITLE VESTED IN A. CARL BELL AND SPOUSE, IF ANY

BY THE FOLLOWING INSTRUMENT:

Type:	Executor's Warranty Deed
Dated:	October 31, 2003
Recorded:	October 31, 2003
Book: 2111	Page: 653
Registry:	Craven County

LEGAL DESCRIPTION OF PROPERTY:

All that certain lot or parcel of land lying and being in Number Eight Township, Craven County, North Carolina, and being more particularly described as follows:

BEGINNING at a point in the southern right-of-way line of N.C. Highway 55 (formerly U.S. Highway 70), said point being an iron pipe lying at the common corner of Lots 4 and 5, as shown on that certain plat entitled "Plot of Frank Humphrey's Lot to Hahn Land" as prepared by C. H. Gochmayer dated November 1948, said plat being of record in Map Book 3, Page 57 of the Craven County Registry. Thence from said point of beginning South 29° 32' 50" West 153.39 feet to an iron rod; thence North 57° 12' 21" West 10.00 feet to an iron rod located in the dividing line of Lots 4 and 5 of the aforementioned subdivision; thence continuing along the southern line of Lot 5 North 57° 12' 21" West 68.86 feet to an iron pipe; thence North 33° 13' 47" East 152.33 feet to the southern right-of-way line of N.C. Highway 55 (formerly U.S. Highway 70); thence South along and with the southern right-of-way line of said N.C. Highway 55 South 57° 53' 10" East 69.02 feet to the aforementioned point of beginning.

Being a portion of Lot 4 and a portion of Lot 5 "Survey for Frank Humphrey, Division of Lot No. 2 Hahn Land" Map Book 3, Page 57, Craven County Registry, to which reference is made.

This description is taken from that certain survey entitled "Survey for A. Carl Bell and wife, Deborah H. Bell" by Roy R. Smith, Jr., P.L.S, dated May 20, 2003, a copy of which is attached to the deed to A. Carl Bell recorded in Book 2111 at Page 653 of the Craven County Registry.

TAXES LISTED IN THE NAME OF: A. Carl Bell, 866 Okelly Chapel Road, Durham, NC 27713

Township: Eight
Municipality: New Bern

2020 Real Valuation: \$61,920.00

ABOVE PROPERTY IS SUBJECT TO:

- (a) Taxes and assessments: Taxes due Craven County and City of New Bern 2011-2019 ✓
- (b) Mortgages, deeds of trust, vendors, liens: NONE.
- (c) Judgments: Internal Revenue Service federal tax lien ✓
- (d) Mechanics' and materialmen's liens, known or recorded: NONE.
- (e) Liens in favor of state or federal government: NONE.
- (f) Lis pendens: NONE.
- (g) Leases, known or recorded: NONE.
- (h) Easements, restrictions, exceptions, reservations, limitations, conditions: NONE.
- (i) Other objections and defects: Any matters that an accurate survey might show.
- (j) Period of title search: From October 31, 2003 through June 24, 2020 at 11:30 a.m.

THIS 24th DAY OF JUNE, 2020.

Respectfully submitted,

DAVIS HARTMAN WRIGHT, PLLC

By: _____

Michael Scott Davis

EXHIBIT A

All that certain lot or parcel of land lying and being in Number Eight Township, Craven County, North Carolina, and being more particularly described as follows:

BEGINNING at a point in the southern right-of-way line of N.C. Highway 55 (formerly U.S. Highway 70), said point being an iron pipe lying at the common corner of Lots 4 and 5, as shown on that certain plat entitled "Plot of Frank Humphrey's Lot to Hahn Land" as prepared by C. H. Gochnauer dated November 1948, said plat being of record in Map Book 3, Page 57 of the Craven County Registry. Thence from said point of beginning South $29^{\circ} 32' 50''$ West 153.39 feet to an iron rod; thence North $57^{\circ} 12' 21''$ West 10.00 feet to an iron rod located in the dividing line of Lots 4 and 5 of the aforementioned subdivision; thence continuing along the southern line of Lot 5 North $57^{\circ} 12' 21''$ West 68.86 feet to an iron pipe; thence North $33^{\circ} 13' 47''$ East 152.33 feet to the southern right-of-way line of N.C. Highway 55 (formerly U.S. Highway 70); thence South along and with the southern right-of-way line of said N.C. Highway 55 South $57^{\circ} 53' 10''$ East 69.02 feet to the aforementioned point of beginning.

Being a portion of Lot 4 and a portion of Lot 5 "Survey for Frank Humphrey, Division of Lot No. 2 Hahn Land" Map Book 3, Page 57, Craven County Registry, to which reference is made.

This description is taken from that certain survey entitled "Survey for A. Carl Bell and wife, Deborah H. Bell" by Roy R. Smith, Jr., P.L.S, dated May 20, 2003, a copy of which is attached to the deed to A. Carl Bell recorded in Book 2111 at Page 653 of the Craven County Registry.

STATE OF NORTH CAROLINA

COUNTY OF CRAVEN

CITY OF NEW BERN,

BEFORE THE BUILDING INSPECTOR

OF THE CITY OF NEW BERN

FILE NO. 20M210

2020 JUN 25 AM 9:11

Plaintiff

v.

MD

COMPLAINT

(Residential Building or Structure)
(Dwelling Unfit for Human Habitation)

CARL A BELL AND SPOUSE, if any,
Defendants-Owners

CRAVEN COUNTY, CITY OF NEW
BERN and INTERNAL REVENUE
SERVICE,

Lienholders

AND
NOTICE OF HEARING/
NOTICE OF LIS PENDENS

THE CITY OF NEW BERN ALLEGES AND SAYS THAT:

1. In accordance with North Carolina General Statutes Section 160A, Article 19, Part 6, and Chapter 38-29 of the Code of the City of New Bern ("Chapter 38"), the undersigned Building Inspector for the City of New Bern has done a preliminary investigation to determine if the dwelling identified herein has been properly maintained so that the safety and health of its occupants are not jeopardized for failure of the property to meet the minimum standards established by Chapter 38 and to determine if the dwelling identified is unfit for human habitation.

2. The preliminary investigation has disclosed that there is a basis for believing that the residential building or structure located at 561 North Carolina Highway 55 West, New Bern, North Carolina, which bears Craven County parcel identification number 8-218-029, is in violation of the minimum standards established by Chapter 38 and is unfit for human habitation as evidenced by the following:

a. The roof has not been properly maintained and portions of the roof are peeling off the dwelling, allowing the entrance of moisture.

b. The exterior of the dwelling has not been properly maintained resulting in holes in the exterior walls.

c. The interior of the dwelling has not been properly maintained resulting in damage to sub-floor, floor joist, holes in the floor, water damage to floor system, water damage to walls, water damage to ceiling, and holes in the interior walls and floor.

d. The dwelling has broken and missing windows and doors.

e. The electrical system has not been properly maintained resulting in hanging and exposed meter bases, missing and rusty circuit breakers, exposed panel box, and signs of water damage to various electrical sockets.

- e. The dwelling does not have water and sewer.
- f. The dwelling does not have smoke detectors.
- g. Piles of house and construction debris outside the home.

3. A hearing will be held on the **14th Day of July, 2020, at 2:00 p.m.** in the office of the City Building Inspector located at 303 First Street, New Bern, North Carolina.

4. You have the right to file an answer to this Complaint by writing to the Building Inspector of the City of New Bern, P.O. Box 1129, New Bern, NC 28563-1129.

5. You have the right to appear at the above-scheduled hearing, in person or otherwise, and give testimony.

6. The rules of evidence prevailing in courts of law or equity shall not be controlling in hearings before the City Building Inspector.

7. Following the hearing, the undersigned Building Inspector may issue an order to repair, alter, improve, vacate and close, or remove or demolish the structures and clear the debris therefrom, as appears appropriate. Failure to comply with an order of the Building Inspector will result in the assessment of the following civil penalties as required by Code Section 38-5 of the Code of Ordinances of the City of New Bern:

- The sum of \$500.00 for failure to comply with said order within thirty-one (31) days of its expiration;
- An additional sum of \$1,000.00 (for a total sum of \$1,500.00) for failure to comply with said order within sixty-one (61) days of its expiration;
- An additional sum of \$1,500.00 (for a total sum of \$3,000.00) for failure to comply with said order within ninety-one (91) days of its expiration;
- An additional sum of \$2,000.00 (for a total sum of \$5,000.00) for failure to comply with said order within one hundred twenty-one (121) days of its expiration; and
- An additional sum of \$2,000.00 (\$5,000.00 plus \$2,000.00 per month) for each additional thirty (30) days, or fraction thereof, for failure to comply with said order after one hundred twenty-one (121) days of its expiration.

This 26th Day of June, 2020.

Patrick J Ezel

Patrick J Ezel
Building Inspector
Minimum Housing Officer
City of New Bern
(252) 639-2943

29th
CERTIFICATE OF SERVICE

I hereby certify that on the 26th Day of June, 2020, I served a copy of the foregoing Complaint (Residential Building Or Structure) and Notice of Hearing/Notice of Lis Pendens upon the following persons by depositing a true and correct copy thereof in an envelope with proper postage affixed thereto for mailing by certified mail, return receipt requested, and also by placing a true and correct copy thereof in another envelope with proper postage affixed thereto for mailing by regular first class mail, and depositing said envelopes in a regular depository for the United States mail at New Bern, North Carolina, addressed as follows:

Carl A Bell
866 Okelly Chapel Rd
Durham, NC 27713

Spouse of Carl A Bell, if any
866 Okelly Chapel Rd
Durham, NC 27713

United States of America
Dept. of Treasury, Internal Revenue Service
c/o U.S. Attorney
Office of the United States Attorney
310 New Bern Avenue, Suite 800
Raleigh, NC 27601-1461

Craven County
c/o Arey W. Grady, Esq.
Sumrell Sugg
Post Office Drawer 889
New Bern, NC 28563

United States of America
Dept. of Treasury, Internal Revenue Service
c/o U.S. Attorney General
United States Department of Justice
950 Pennsylvania Avenue
Washington, DC 20530

I further certify that on the 26th Day of June, 2020, I personally delivered a copy of the foregoing Complaint (Residential Building Or Structure) and Notice of Hearing/Notice of Lis Pendens to the following persons at the addresses indicated:

Mark Stephens, City Manager
City of New Bern
300 Pollock Street
New Bern, NC 28560

Patrick J Ezel

Patrick J Ezel
Building Inspector
Minimum Housing Officer
City of New Bern
(252) 639-2943

7020 0090 0002 2022 0444

U.S. Postal Service™
CERTIFIED MAIL® RECEIPT
 Domestic Mail Only

For delivery information, visit our website at www.usps.com

OFFICIAL USE

Certified Mail Fee

\$

Extra Services & Fees (check box, add fee as appropriate)

- ☐ Return Receipt (hardcopy)
☐ Return Receipt (electronic)
☐ Certified Mail Restricted Delivery
☐ Adult Signature Required
☐ Adult Signature Restricted Delivery

Postage

Spouse of Carl A Bell, if any
 866 Okelly Chapel Rd
 Durham, NC 27713
 MH ltr 561 NC Hwy 55 W



PS Form 3800, April 2015 PSN 7530-02-000-9047

See Reverse for Instructions

7020 0090 0002 2022 0437

U.S. Postal Service™
CERTIFIED MAIL® RECEIPT
 Domestic Mail Only

For delivery information, visit our website at www.usps.com

OFFICIAL USE

Certified Mail Fee

\$

Extra Services & Fees (check box, add fee as appropriate)

- ☐ Return Receipt (hardcopy)
☐ Return Receipt (electronic)
☐ Certified Mail Restricted Delivery
☐ Adult Signature Required
☐ Adult Signature Restricted Delivery

Postage

Carl A Bell
 866 Okelly Chapel Rd/SPS
 Durham, NC 27713
 MH ltr 561 NC Hwy 55 W



PS Form 3800, April 2015 PSN 7530-02-000-9047

See Reverse for Instructions

7020 0090 0002 2022 0468

U.S. Postal Service™
CERTIFIED MAIL® RECEIPT
 Domestic Mail Only

For delivery information, visit our website at www.usps.com

OFFICIAL USE

Certified Mail Fee

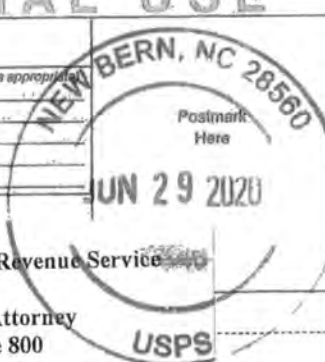
\$

Extra Services & Fees (check box, add fee as appropriate)

- ☐ Return Receipt (hardcopy)
☐ Return Receipt (electronic)
☐ Certified Mail Restricted Delivery
☐ Adult Signature Required
☐ Adult Signature Restricted Delivery

Postage

United States of America
 Dept. of Treasury, Internal Revenue Service
 c/o U.S. Attorney
 Office of the United States Attorney
 310 New Bern Avenue, Suite 800
 Raleigh, NC 27601-1461
 MH ltr 561 NC Hwy 55 W



PS Form 3800, April 2015 PSN 7530-02-000-9047

See Reverse for Instructions

7020 0090 0002 2022 0451

U.S. Postal Service™
CERTIFIED MAIL® RECEIPT
 Domestic Mail Only

For delivery information, visit our website at www.usps.com

OFFICIAL USE

Certified Mail Fee

\$

Extra Services & Fees (check box, add fee as appropriate)

- ☐ Return Receipt (hardcopy)
☐ Return Receipt (electronic)
☐ Certified Mail Restricted Delivery
☐ Adult Signature Required
☐ Adult Signature Restricted Delivery

Postage

Craven County
 c/o Arey W. Grady, Esq.
 Sumrell Sugg
 Post Office Drawer 889
 New Bern, NC 28563
 MH ltr 561 NC Hwy 55 W



PS Form 3800, April 2015 PSN 7530-02-000-9047

See Reverse for Instructions

7020 0090 0002 2022 0475

U.S. Postal Service™
CERTIFIED MAIL® RECEIPT
 Domestic Mail Only

For delivery information, visit our website at www.usps.com

OFFICIAL USE

Certified Mail Fee

\$

Extra Services & Fees (check box, add fee as appropriate)

- ☐ Return Receipt (hardcopy)
☐ Return Receipt (electronic)
☐ Certified Mail Restricted Delivery
☐ Adult Signature Required
☐ Adult Signature Restricted Delivery

Postage

United States of America
 Dept. of Treasury, Internal Revenue Service
 c/o U.S. Attorney General
 United States Department of Justice
 950 Pennsylvania Avenue
 Washington, DC 20530
 MH ltr 561 NC Hwy 55 W



PS Form 3800, April 2015 PSN 7530-02-000-9047

See Reverse for Instructions

CERTIFICATE OF SERVICE

I hereby certify that on the 26th Day of June, 2020, I served a copy of the foregoing Complaint (Residential Building Or Structure) and Notice of Hearing/Notice of Lis Pendens upon the following persons by depositing a true and correct copy thereof in an envelope with proper postage affixed thereto for mailing by certified mail, return receipt requested, and also by placing a true and correct copy thereof in another envelope with proper postage affixed thereto for mailing by regular first class mail, and depositing said envelopes in a regular depository for the United States mail at New Bern, North Carolina, addressed as follows:

Carl A Bell *cert-Delv*
866 Okelly Chapel Rd *Reg-*
Durham, NC 27713
7020 0090 0002 2022 0437
United States of America
Dept. of Treasury, Internal Revenue Service
c/o U.S. Attorney *Reg-*
Office of the United States Attorney *cert-Delv*
310 New Bern Avenue, Suite 800
Raleigh, NC 27601-1461
7020 0090 0002 2022 0468

United States of America
Dept. of Treasury, Internal Revenue Service
c/o U.S. Attorney General *Reg-*
United States Department of Justice *cert-Delv*
950 Pennsylvania Avenue
Washington, DC 20530
7020 0090 0002 2022 0475

Spouse of Carl A Bell, if any *cert-Delv*
866 Okelly Chapel Rd *Reg-*
Durham, NC 27713
7020 0090 0002 2022 0444
Craven County
c/o Arey W. Grady, Esq. *cert-Delv*
Sumrell Sugg *Reg-*
Post Office Drawer 889
New Bern, NC 28563
7020 0090 0002 2022 0451

I further certify that on the 26th Day of June, 2020, I personally delivered a copy of the foregoing Complaint (Residential Building Or Structure) and Notice of Hearing/Notice of Lis Pendens to the following persons at the addresses indicated:

Mark Stephens, City Manager
City of New Bern
300 Pollock Street
New Bern, NC 28560

Patrick J Ezel

Patrick J Ezel
Building Inspector
Minimum Housing Officer
City of New Bern
(252) 639-2943

DATE: 7-14-2020

ADDRESS: 561 NC Hwy 55 W (Parcel ID # 8-218-029)

ATTENDEES: Patrick Greel (City of New Bern)

OBSERVERS:

NOTIFIED BUT NOT PRESENT: Carl Bell & spouse (See Comp & OBI)

VIOLATIONS: Roof, exterior, interior, electrical, plumbing, HVAC
Smoke/Gas detector, weeds & debris

OWNERS: INTENTIONS: Unknown

NOTES: All mail notification delivered

STATUS OF DWELLING:

Dilapidated FINDINGS:

ORDER WILL READ: 60 days Compliance

North Carolina
City of New Bern

Before the Building
Inspector of the City of New Bern

1000 8015 2 9:27

File# 20 M 210
Order of the Building
Inspector of the
City of New Bern

The City of New Bern,
Plaintiff
-VS-

CARL A BELL AND SPOUSE, if any,
Defendants-Owners

CRAVEN COUNTY, CITY OF NEW BERN and
INTERNAL REVENUE SERVICE,
Lienholders

This matter came on to be heard and was heard before the undersigned Building Inspector of the City of New Bern, at a hearing in the office of the Building Inspector of the City of New Bern on the 14th Day of July, 2020; and

Upon Hearing evidence and testimony in this matter, the Building Inspector of the City of New Bern found the following facts:

1. Patrick J Ezel, Building Inspector appeared on behalf of the City of New Bern. No other person (s) where present.
2. The following were properly notified but not present; Carl A Bell and Spouse if any, Craven County and or Arey W. Grady, Esq, Sumrell Sugg, United States of America, Department of Treasury, Internal Revenue Services, Attorney General, and or Department of Justice.
3. Carl Bell, is the owner of the real property located at 561 North Carolina Highway 55 West, New Bern, North Carolina, and further identified by Craven County Tax Identification number 8-218-029.
4. The dwelling located at 561 North Carolina Highway 55 West, New Bern, North Carolina does not meet the Minimum housing standard set forth in Chapter 38 of the City of New Bern's Ordinance due to deterioration and defects, increasing the hazard of fire, accidents, or other calamities.
5. The dwelling is presently vacant.

6. It is the opinion of the Inspections Department of the City of New Bern that the dwelling cannot be repaired, altered, or improved to comply with the minimum standards established by Chapter 38 of the Code of the City of New Bern at a cost more than seventy-five (75%) percent of the value, and, therefore, it is a **dilapidated** dwelling as defined by Chapter 38 of the Code of the City of New Bern. As a result, thereof, no one shall reside in or occupy said dwelling.

7. The aforesaid dwelling must remain vacated, closed, secured and must be repaired, altered, improved **or** demolished/removed to comply with the minimum standards established by Chapter 38 of the Code of the City of New Bern.

8. The Subject dwelling requires work to be performed by subcontractors to bring it into compliance with the minimum standards established by Chapter 38 of the Code of the City of New Bern. All work such as electrical, plumbing, gas, heating and air conditioning must be performed by persons licensed by the State of North Carolina to perform such work and shall be inspected as required by law. Electrical service will only be provided with a temporary service pole or a generator with city noise restrictions applying.

9. After finding the aforementioned facts, the Building Inspector ordered that the Owners shall:

a. Repair, alter, improve, or remove/demolish said dwelling to comply with the minimum standards, established by Chapter 38 of the Code of the City of New Bern no later than **September 14, 2020**.

b. Ensure all permits are obtained prior to work beginning.

c. Ensure that all mechanical work be performed by persons licensed by the State of North Carolina to perform such work, and that all such work is inspected as required by law.

d. Ensure that lead paint, if any, on the exterior of said dwelling is abated in compliance with the regulations enforced by the Craven County Health Department.

e. Property and structure (s) to be brought into compliance with Article XVI of the Appendix A of the Land Use Ordinance of the City of New Bern, which is commonalty, called the Flood Plain Ordinance, Flood Plain Damage Prevention.

f. Shall be assessed a civil penalty as required by the City Code Section 38-5 as follows:

- The sum of \$500.00 for failure to comply with said order within thirty-one (31) days of its expiration;

- An additional sum of \$1,000.00 (for a total sum of \$1,500.00) for failure to comply with said order within sixty-one (61) days of its expiration;
- An additional sum of \$1,500.00 (for a total sum of \$3,000.00) for failure comply with said order within ninety-one (91) days of its expiration;
- An additional sum of \$2,000.00 (for a total sum of \$5,000.00) for failure to comply with said order within one hundred twenty-one (121) days of its expiration; and
- An additional sum of \$2,000.00 (\$5,000.00 plus \$2,000.00 per month) for each additional 30-days or fraction thereof for failure to comply with said order after one hundred twenty-one (121) days of its expiration.

This 14th Day of July 2020

Patrick J Ezel

Patrick J Ezel
Building Inspector
Minimum Housing Officer
City of New Bern
252-639-2943

Certificate of Service

Re: 561 NN Hwy 55 W, New Bern, NC 28514

I hereby certify that on the 14th Day of July 2020, I served a copy of the foregoing **Order of the Building Inspector** upon the following persons by depositing a true and correct copy thereof in an envelope with proper postage affixed thereto for mailing by certified mail, return receipt requested, and also by placing a true and correct copy thereof in another envelope with proper postage affixed thereto for mailing by regular first class mail, and depositing said envelopes in a regular depository for the United States mail at New Bern, North Carolina, addressed as follows:

Carl A Bell
866 Okelly Chapel Rd
Durham, NC 27713
United States of America
Dept. of Treasury, Internal Revenue Service
c/o U.S. Attorney
Office of the United States Attorney
310 New Bern Avenue, Suite 800
Raleigh, NC 27601-1461
United States of America
Dept. of Treasury, Internal Revenue Service
c/o U.S. Attorney General
United States Department of Justice
950 Pennsylvania Avenue
Washington, DC 20530

Spouse of Carl A Bell, if any
866 Okelly Chapel Rd
Durham, NC 27713
Craven County
c/o Arey W. Grady, Esq.
Sumrell Sugg
Post Office Drawer 889
New Bern, NC 28563

I further certify that on the 14th Day of July, 2020, I personally delivered a copy of the foregoing Order of the Building Inspector (Residential Building Or Structure) to the following person (s) at the address (s) indicated:

Mark Stephens, City Manager
City of New Bern
300 Pollock Street
New Bern, NC 28560

Patrick J Ezel

Patrick J Ezel
Building Inspector
Minimum Housing Officer
City of New Bern
252-639-2943

7020 0090 0002 2022 0611

U.S. Postal Service™
CERTIFIED MAIL® RECEIPT
Domestic Mail Only

For delivery information, visit our website at www.usps.com®.

OFFICIAL USE

Certified Mail Fee
 \$

Extra Services & Fees (check box, add fee as appropriate)

<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$

Postage

United States of America
 Dept of Treasury IRS c/o US A
 310 New Bern Ave Suite 800
 Raleigh, NC 27601
 MH ltr 561 NC Hwy 55 W

Postmark Here

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7020 0090 0002 2022 0635

U.S. Postal Service™
CERTIFIED MAIL® RECEIPT
Domestic Mail Only

For delivery information, visit our website at www.usps.com®.

OFFICIAL USE

Certified Mail Fee
 \$

Extra Services & Fees (check box, add fee as appropriate)

<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$

Postage

Craven County
 c/o Arey W Grady, Esq
 Sumrell Sugg
 PO Drawer 889
 New Bern, NC 28563
 MH 561 NC Hwy 55 W

Postmark Here

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7020 0090 0002 2022 0650

U.S. Postal Service™
CERTIFIED MAIL® RECEIPT
Domestic Mail Only

For delivery information, visit our website at www.usps.com®.

OFFICIAL USE

Certified Mail Fee
 \$

Extra Services & Fees (check box, add fee as appropriate)

<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$

Postage

Carl A Bell
 866 Okelly Chapel Rd
 Durham, NC 27713
 MH ltr 561 NC Hwy 55 W

Postmark Here

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7020 0090 0002 2022 0604

U.S. Postal Service™
CERTIFIED MAIL® RECEIPT
Domestic Mail Only

For delivery information, visit our website at www.usps.com®.

OFFICIAL USE

Certified Mail Fee
 \$

Extra Services & Fees (check box, add fee as appropriate)

<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$

Postage

Spouse of Carl A Bell, if any
 866 Okelly Chapel Rd
 Durham, NC 27713
 MH ltr 561 NC Hwy 55 W

Postmark Here

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7020 0090 0002 2022 0620

U.S. Postal Service™
CERTIFIED MAIL® RECEIPT
Domestic Mail Only

For delivery information, visit our website at www.usps.com®.

OFFICIAL USE

Certified Mail Fee
 \$

Extra Services & Fees (check box, add fee as appropriate)

<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$

Postage

United States of America
 Dept of Treasury IRS c/o USAGDOJ
 950 Pennsylvania Ave
 Washington DC, 20530
 MH ltr 561 NC Hwy 55 W

Postmark Here

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

Certificate of Service

Re: 561 NN Hwy 55 W, New Bern, NC

I hereby certify that on the 14th Day of July 2020, I served a copy of the foregoing **Order of the Building Inspector** upon the following persons by depositing a true and correct copy thereof in an envelope with proper postage affixed thereto for mailing by certified mail, return receipt requested, and also by placing a true and correct copy thereof in another envelope with proper postage affixed thereto for mailing by regular first class mail, and depositing said envelopes in a regular depository for the United States mail at New Bern, North Carolina, addressed as follows:

7020 0090 0002 2022 0598

Carl A Bell *cert-Deliv*
866 Okelly Chapel Rd *Reg*
Durham, NC 27713

7020 0090 0002 2022 0604

Spouse of Carl A Bell, if any *cert-Deliv*
866 Okelly Chapel Rd *Reg*
Durham, NC 27713

0611
cert-Deliv
Reg
United States of America
Dept. of Treasury, Internal Revenue Service
c/o U.S. Attorney
Office of the United States Attorney
310 New Bern Avenue, Suite 800
Raleigh, NC 27601-1461

Craven County
c/o Arey W. Grady, Esq. *cert-Deliv*
Sumrell Sugg *Reg*
Post Office Drawer 889
New Bern, NC 28563

7020 0090 0002 2022 0635

United States of America
Dept. of Treasury, Internal Revenue Service
c/o U.S. Attorney General
United States Department of Justice *cert-Deliv*
950 Pennsylvania Avenue *Reg*
Washington, DC 20530

7020 0090 0002 2022 0628

I further certify that on the 14th Day of July, 2020, I personally delivered a copy of the foregoing Order of the Building Inspector (Residential Building Or Structure) to the following person (s) at the address (s) indicated:

Mark Stephens, City Manager
City of New Bern
300 Pollock Street
New Bern, NC 28560

Patrick J Ezel

Patrick J Ezel
Building Inspector
Minimum Housing Officer
City of New Bern
252-639-2943

Aldermen

Sabrina Bengel
Jameesha Harris
Robert V. Aster
Johnnie Ray Kinsey
Barbara J. Best
Jeffrey T. Odham



300 Pollock Street, P.O. Box 1129
New Bern, NC 28563-1129
(252) 636-4000

Dana E. Outlaw
Mayor
Mark A. Stephens
City Manager
Brenda E. Blanco
City Clerk
Mary M. Hogan
Director of Finance

Certificate of Service
Amended
Complaint
(Residential Building or Structure)
Dwelling Unfit for Human Habitation)
and
Notice of Hearing/Notice of Lis Pendens

File No. 20M210

FILED
JUN 29 4 02
CLERK
CITY OF NEW BERN

Re: 561 Nc Hwy 55 W, New Bern, NC

I further certify that on the 29th day of June 2020, I served a copy of the foregoing Complaint (Residential Building Or Structure) and Notice of Hearing/Notice of Lis Pendens upon the following persons by depositing a true and correct copy thereof in an envelope with proper postage affixed thereto for mailing by certified mail, return receipt requested, and also by placing a true and correct copy thereof in another envelope with proper postage affixed thereto for mailing by regular first class mail, and depositing said envelopes in a regular depository for the United States mail at New Bern, North Carolina, addressed as follows:

Carl A Bell
866 Okelly Chapel Rd
Durham, NC 27713
United States of America
Dept. of Treasury, Internal Revenue Service
c/o U.S. Attorney
Office of the United States Attorney
310 New Bern Avenue, Suite 800
Raleigh, NC 27601-1461
United States of America
Dept. of Treasury, Internal Revenue Service
c/o U.S. Attorney General
United States Department of Justice
950 Pennsylvania Avenue
Washington, DC 20530

Spouse of Carl A Bell, if any
866 Okelly Chapel Rd
Durham, NC 27713
Craven County
c/o Arey W. Grady, Esq.
Sumrell Sugg
Post Office Drawer 889
New Bern, NC 28563

Certificate of Service
Amended
Complaint
(Residential Building or Structure)
Dwelling Unfit for Human Habitation)
and
Notice of Hearing/Notice of Lis Pendens

File No. 20M210

Re: 561 Nc Hwy 55 W, New Bern, NC

Patrick J Ezel

Patrick Ezel
Building Inspector
Minimum Housing Officer
City of New Bern
252-639-2943

Aldermen

Sabrina Bengel
Jameesha Harris
Robert V. Aster
Johnnie Ray Kinsey
Barbara J. Best
Jeffrey T. Odham



300 Pollock Street, P.O. Box 1129
New Bern, NC 28563-1129
(252) 636-4000

Certificate of Service

Amended

Order of the Building

Inspector of the

City of New Bern

File No. 20M210

Dana E. Outlaw
Mayor
Mark A. Stephens
City Manager
Brenda E. Blanco
City Clerk
Mary M. Hogan
Director of Finance

FILED
2020 SEP 29 A 9:01
CLERK OF SUPERIOR COURT
NEW BERN, NC

Re: 561 Nc Hwy 55 W, New Bern, NC

I further certify that on the 17th day of July 2020, I served a copy of the foregoing **Order of the Building Inspector** upon the following persons by depositing a true and correct copy thereof in an envelope with proper postage affixed thereto for mailing by certified mail, return receipt requested, and also by placing a true and correct copy thereof in another envelope with proper postage affixed thereto for mailing by regular first class mail, and depositing said envelopes in a regular depository for the United States mail at New Bern, North Carolina, addressed as follows:

Carl A Bell
866 Okelly Chapel Rd
Durham, NC 27713
United States of America
Dept. of Treasury, Internal Revenue Service
c/o U.S. Attorney
Office of the United States Attorney
310 New Bern Avenue, Suite 800
Raleigh, NC 27601-1461
United States of America
Dept. of Treasury, Internal Revenue Service
c/o U.S. Attorney General
United States Department of Justice
950 Pennsylvania Avenue
Washington, DC 20530

Spouse of Carl A Bell, if any
866 Okelly Chapel Rd
Durham, NC 27713
Craven County
c/o Arey W. Grady, Esq.
Sumrell Sugg
Post Office Drawer 889
New Bern, NC 28563

Certificate of Service
Amended
Order of the Building
Inspector of the
City of New Bern

File No. 20M210

Re: 561 Nc Hwy 55 W, New Bern, NC

Patrick J Ezel

Patrick Ezel
Building Inspector
Minimum Housing Officer
City of New Bern
252-639-2943

7020 0090 0002 2022 1175

U.S. Postal Service™
CERTIFIED MAIL® RECEIPT
 Domestic Mail Only

For delivery information, visit our website at www.usps.com

OFFICIAL USE

Certified Mail Fee

\$

Extra Services & Fees (check box, add fee as appropriate)

☐ Return Receipt (hardcopy) \$

☐ Return Receipt (electronic) \$

☐ Certified Mail Restricted Delivery \$

☐ Adult Signature Required \$

☐ Adult Signature Restricted Delivery \$

Postage

\$

Spouse of Carl A Bell, if any
 866 Okelly Chapel Rd
 Durham, NC 27713
 MH ltr 561 Nc Hwy 55 W

Postmark
Here

USPS

For Instructions

7020 0090 0002 2022 1151

U.S. Postal Service™
CERTIFIED MAIL® RECEIPT
 Domestic Mail Only

For delivery information, visit our website at www.usps.com

OFFICIAL USE

Certified Mail Fee

\$

Extra Services & Fees (check box, add fee as appropriate)

☐ Return Receipt (hardcopy) \$

☐ Return Receipt (electronic) \$

☐ Certified Mail Restricted Delivery \$

☐ Adult Signature Required \$

☐ Adult Signature Restricted Delivery \$

Postage

\$

Carl A Bell
 866 Okelly Chapel Rd
 Durham, NC 27713
 MH ltr 561 Nc Hwy 55 W

Postmark
Here

USPS

PS Form 3800, April 2015 PSN 7530-02-000-9047

See Reverse for Instructions

7020 0090 0002 2022 1162

U.S. Postal Service™
CERTIFIED MAIL® RECEIPT
 Domestic Mail Only

For delivery information, visit our website at www.usps.com

OFFICIAL USE

Certified Mail Fee

\$

Extra Services & Fees (check box, add fee as appropriate)

☐ Return Receipt (hardcopy) \$

☐ Return Receipt (electronic) \$

☐ Certified Mail Restricted Delivery \$

☐ Adult Signature Required \$

☐ Adult Signature Restricted Delivery \$

Postage

\$

United States of America
 Dept. of Treasury, Internal Revenue Service
 c/o U.S. Attorney General
 United States Department of Justice
 950 Pennsylvania Avenue
 Washington, DC 20530
 MH ltr 561 Nc Hwy 55 W

Postmark
Here

For Instructions

7020 0090 0002 2022 1161

U.S. Postal Service™
CERTIFIED MAIL® RECEIPT
 Domestic Mail Only

For delivery information, visit our website at www.usps.com

OFFICIAL USE

Certified Mail Fee

\$

Extra Services & Fees (check box, add fee as appropriate)

☐ Return Receipt (hardcopy) \$

☐ Return Receipt (electronic) \$

☐ Certified Mail Restricted Delivery \$

☐ Adult Signature Required \$

☐ Adult Signature Restricted Delivery \$

Postage

\$

United States of America
 Dept of Treasury, Internal Revenue Service
 c/o U.S. Attorney
 Office of the United States Attorney
 310 New Bern Avenue, Suite 800
 Raleigh, NC 27601-1461
 MH ltr 561 Nc Hwy 55 W

Postmark
Here

USPS

PS Form 3800, April 2015 PSN 7530-02-000-9047

See Reverse for Instructions

7020 0090 0002 2022 1169

U.S. Postal Service™
CERTIFIED MAIL® RECEIPT
 Domestic Mail Only

For delivery information, visit our website at www.usps.com

OFFICIAL USE

Certified Mail Fee

\$

Extra Services & Fees (check box, add fee as appropriate)

☐ Return Receipt (hardcopy) \$

☐ Return Receipt (electronic) \$

☐ Certified Mail Restricted Delivery \$

☐ Adult Signature Required \$

☐ Adult Signature Restricted Delivery \$

Postage

\$

Craven County
 c/o Arey W. Grady, Esq.
 Sumrell Sugg
 Post Office Drawer 889
 New Bern, NC 28563
 MH ltr 561 Nc Hwy 55 W

Postmark
Here

USPS

PS Form 3800, April 2015 PSN 7530-02-000-9047

See Reverse for Instructions



NEW BERN

CITY OF NEW BERN

Aldermen

Sabrina Bengel
Jameesha Harris
Robert V. Aster
Johnnie Ray Kinsey
Barbara J. Best
Jeffrey T. Odham

300 Pollock Street, P.O. Box 1129
New Bern, NC 28563-1129
(252) 636-4000

Dana E. Outlaw
Mayor
Mark A. Stephens
City Manager
Brenda E. Blanco
City Clerk
Mary M. Hogan
Director of Finance

Certificate of Service
Amended
Complaint
(Residential Building or Structure)
Dwelling Unfit for Human Habitation)
and
Notice of Hearing/Notice of Lis Pendens

File No. 20M210

FILED
2020 SEP 29 10:02
CRAVEN COUNTY, N.C.
BY MD

Re: 561 Nc Hwy 55 W, New Bern, NC

I further certify that on the 29th day of June 2020, I served a copy of the foregoing Complaint (Residential Building Or Structure) and Notice of Hearing/Notice of Lis Pendens upon the following persons by depositing a true and correct copy thereof in an envelope with proper postage affixed thereto for mailing by certified mail, return receipt requested, and also by placing a true and correct copy thereof in another envelope with proper postage affixed thereto for mailing by regular first class mail, and depositing said envelopes in a regular depository for the United States mail at New Bern, North Carolina, addressed as follows:

cert - delv

7020 0090 0002 2022 1151v

Carl A Bell
866 Okelly Chapel Rd
Durham, NC 27713

7020 0090 0002 2022 1175v
Spouse of Carl A Bell, if any
866 Okelly Chapel Rd
Durham, NC 27713
cert - 10/2/2020
del

1020 0090
0002 2022
1168 ✓

United States of America
Dept. of Treasury, Internal Revenue Service
c/o U.S. Attorney
Office of the United States Attorney
310 New Bern Avenue, Suite 800
Raleigh, NC 27601-1461

Craven County
c/o Arey W. Grady, Esq.
Sumrell Sugg
Post Office Drawer 889
New Bern, NC 28563

7020 0090 0002
2022 1199v
cert - del

cert 10/2/2020
del

7020 0090
0002 2022
1182 ✓

United States of America
Dept. of Treasury, Internal Revenue Service
c/o U.S. Attorney General
United States Department of Justice
950 Pennsylvania Avenue
Washington, DC 20530

Patrick Ezel

From: Daryl Nelson
Sent: Thursday, October 1, 2020 10:34 AM
To: Patrick Ezel
Subject: RE: Demo Estimates

Patrick,

✓ Demo 561 Hwy 55 west - \$7,460.00

Demo 563 Hwy 55 west - \$2,315.00

565 Hwy 55 west - \$5,360.00 and has asbestos siding that will need to be removed first (not by us)

Daryl Nelson

Street Superintendent

City of New Bern

Public Works Department
1004 South Glenburnie Road
New Bern NC 28560

252-639-7519

From: Patrick Ezel <ezelp@newbernnc.gov>
Sent: Wednesday, September 30, 2020 4:40 PM
To: Daryl Nelson <nelsondr@newbernnc.gov>
Cc: Toby Hare <haret@newbernnc.gov>
Subject: Demo Estimates

Daryl,

I missed this one. We are trying to get all 3 of these ready for the 13 Oct Board meeting, but I forgot the demo estimates from you all. Any way that I could get these by 1200 tomorrow (1 Oct 2020).

561 NC Hwy 55 W

563 NC Hwy 55 W

565 NC Hwy 55 W

Thank you again and sorry about last minute stuff.

Patrick J. Ezel
Building Inspector 1
Minimum Housing Officer
Cell – 252-671-1781
Office – 252-639-2943
303 First Street
New Bern, NC
28560

Quote

SEND TO: City of New Bern

ATTN: Mr. Patrick Ezel

FROM: Josh Lane (EAE, Inc.)

JOB DESCRIPTION: Asbestos Abatement

SITE: Various Houses – City of New Bern

DATE: October 12, 2020



1. Asbestos Abatement (Parcel # 8-218-028) 565 NC 55 West, New Bern, NC	\$ 4,820.00
A. Asbestos Abatement of 1,650 SF of exterior siding.	
B. Asbestos Abatement of window and door caulking.	
C. Asbestos Abatement of Surfacing texture in the kitchen ceiling.	
2. Asbestos Abatement (Parcel # 8-218-029) 561 NC 55 West, New Bern, NC	\$ 2,970.00
A. Asbestos Abatement of window and door caulking.	
B. Asbestos Abatement of approx. 460 SF of floor tile.	
C. Asbestos Abatement of approx. 60 LF of sealant.	
3. Asbestos Abatement (Parcel # 8-218-3003) 563 NC 55 West, New Bern, NC	\$ 2,245.00
A. Asbestos Abatement of approx. 750 SF of asbestos cool seal roofing.	
B. Asbestos Abatement of window and door caulking.	
• Houses must be done at same time for pricing.	
• State permitting will be required on 565 NC 55 West	
Price Good For 180 Days	
TOTAL	\$ Itemized per parcel

450 Executive Parkway – New Bern, NC 28526

Office: (252)527-3052 Fax: (252)527-3055

450 Executive Parkway
New Bern, NC 28562 US
(252)527-3052
www.eae-inc.com



City of New Bern
300 Pollock Street
New Bern, NC 28560 US

7683 10/09/2020 \$250.00 10/09/2020 Due on receipt

ACTIVITY	QTY	RATE	AMOUNT
	1	250.00	250.00

561 NC 55 West, New Bern NC 28560

Parcel #8-218-029

Full Asbestos Inspection

Please Remit Payment To:

BALANCE DUE

Enviro Assessments East, Inc.
450 Executive Parkway,
New Bern, NC 28562

Federal Tax ID # 22-3864208

For Billing Questions:

Contact Josh Lane

(o) 252-527-3052

Josh@eae-inc.com

Late Charge of 1.5% After 30 Days or 18% Annual

Patrick Ezel

From: Dentico, Kay <Kay.Dentico@duke-energy.com>
Sent: Wednesday, October 14, 2020 1:45 PM
To: Patrick Ezel
Subject: RE: [EXTERNAL] FW: Utility Service Termination Request 561, 563, and 565 NC Hwy 55 W

Hey Patrick,

*Elec - Duke Power
Comp 10-19-2020*

Dustin Clayton completed the order I made this morning. He said they were all cut loose at pole and meter bases.

Please let me know if you need anything else.

WR NBR: 951AK
COMPL BY: RCLAY DATE: 10/14/20 TIME: 07:25
WORKED BY: CLAYTON, DUSTIN DATE: 10/14/20 TIME: 07:24

561, 563, 565 ARE ALL CUT LOOSE AT POLE AND CUT AT METER BASE

From: Patrick Ezel <ezelp@newbernnc.gov>
Sent: Tuesday, October 13, 2020 2:31 PM
To: Electrical Inspection Reports <ElectricalInspectionReports@duke-energy.com>
Cc: Dentico, Kay <Kay.Dentico@duke-energy.com>
Subject: [EXTERNAL] FW: Utility Service Termination Request 561, 563, and 565 NC Hwy 55 W

***** CAUTION! EXTERNAL SENDER *** STOP & THINK!** Do you know and trust this sender? Were you expecting this email? Are grammar and spelling correct? Does the content make sense? If suspicious, then do not click links, open attachments or enter your ID or password.

All,

Just checking in to see if there has been an update on these requests. Thank you again.

Patrick J. Ezel
Building Inspector 1
Minimum Housing Officer
Cell – 252-671-1781
Office – 252-639-2943
303 First Street
New Bern, NC
28560

From: Patrick Ezel
Sent: Thursday, October 1, 2020 9:34 AM
To: INSPECTIONS@PGNMAIL.COM; Dentico, Kay <Kay.Dentico@duke-energy.com>

PNG *comp 10-19-2020*

SERVICE TERMINATION

401 Executive Parkway, New Bern, NC 28562/ Fax: 252-638-4718

After completion of this section, Inspections Department will fax the request.

DEMOLITION LOCATION: 561 NC Hwy 55 W, New Bern, NC Date: 10-01-2020

SERVICE ADDRESS: 561 NC Hwy 55 W (Parcel ID # 8-218-029)

TOWN/CITY: NEW BERN, NC

CONTRACTOR: City of New Bern

NAME:

ADDRESS: FAX

INSPECTIONS: Patrick Ezel *Patrick J Ezel*

INSPECTION DEPARTMENT PO BOX 1129 NEW BERN NC 28563

TELEPHONE: 252-639-2943 FAX 252-635-4973

RETURN RELEASE BY FAX A.S.A.P. Or email to: ezelp@newbernnc.gov

Comments:

SIGNED: *Logan T Peede* TITLE Ops Tech

DATE: 10/14/2020

CAM USE

PREMISE NUMBER: METER NUMBER: UTILITY CONTACT
NUMBER: OPS CENTER:

Please call N.C. ONE CALL at 1-800-632-4949 prior to any demolition or excavation work, so gas facilities can be located within private easements and public right-of-ways.

FOR DEMOLITION

Trudy.Tyras@duke-energy.com

NOTICE TO TERMINATE UTILITY SERVICE

WORK ORDER

To: Dalton Gaskins Water Sewage Department,
Robert Bailey, Water Sewage Department
Vanessa Ellison, Water Sewage Department
Melissa Garris, Water Sewage Department
Andy Bronokowski, Water Sewage Department
From: Patrick Ezel, Building Inspector

Reference: TERMINATION OF UTILITY SERVICES

Date: 10-01-2020

Address: 561 NC Why 55 W (Parcel ID # 8-218-029)

5/0 1308395-3

WORK TO BE PERFORMED

_____ please terminate the water service ASAP due to the hazards found which effect the health, welfare, and safety to the general public.

☒ please remove the water meter for Demolition purposes.

☒ please cap off the sewage line due to scheduled demolition.

Patrick J Ezel

Patrick J Ezel

Building Inspector

252-6392943

OUT Reading 1400 → MTR # 82221

Please complete this request form after the work has been done and return it via email to ezelp@newbernnc.gov or fax it to 252-635-4973

10-4-20 Date work request was completed.

Kimberly Durr #169 Signature of employee that completed the work.

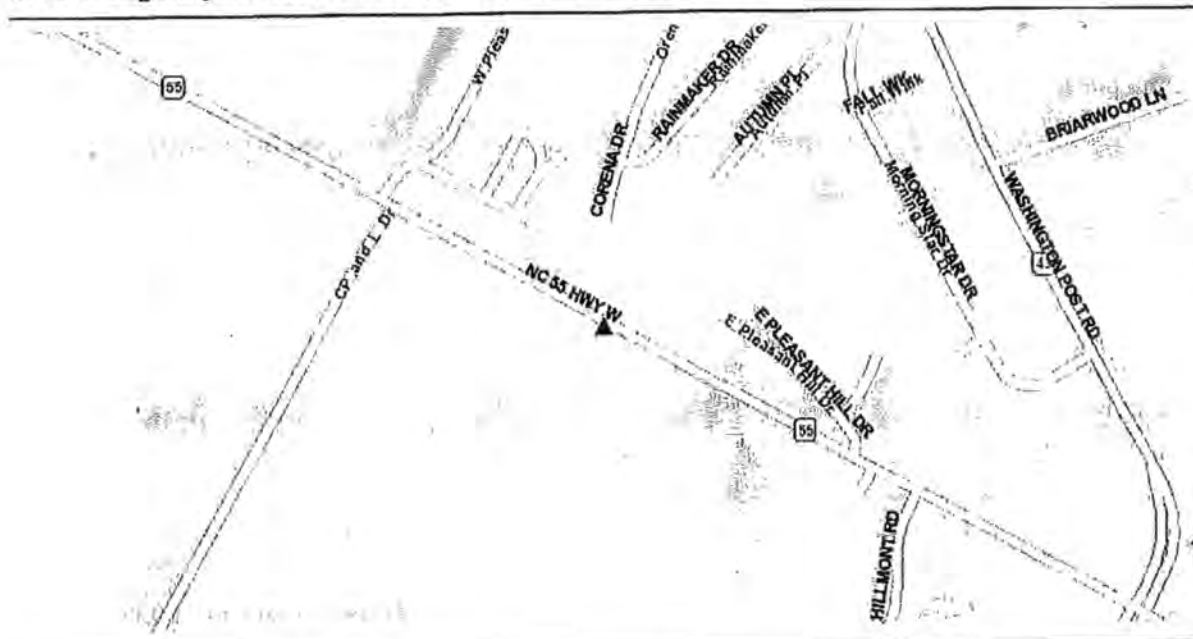
FOR DEMOLITION

billing@newbernnc.gov

Work Item Report

Water System | Water Meter Removal | 13083953

561 NC Highway 55 W, New Bern, North Carolina 28562



Collected By ellisonv

Collected Date 10/1/2020 2:42:23 PM

Modified By ellisonv

Modified Date 10/1/2020 2:42:23 PM

Status New Request

Priority 5

Asset Id _____

Layer Name _____

Description #169 - Remove Water Meter for demolition purposes per P. Ezel in Inspections Dept.
(Water Meter# 82221)

Comments _____

Customer Information

Customer Name _____

Customer Phone
Number _____

Meter Information

Old Meter
Number _____

Out Reading _____

New Meter
Number _____

In Reading _____

Is AMI Active? Yes

Service Type Residential

Meter Size .75 in

If Other, Meter
Size _____

Installed By _____

Itron Meters

ERT Number _____

NOTICE TO TERMINATE UTILITY SERVICE

WORK ORDER

To: Dalton Gaskins Water Sewage Department,
Robert Bailey, Water Sewage Department
Vanessa Ellison, Water Sewage Department
Melissa Garris, Water Sewage Department
Andy Bronokowski, Water Sewage Department
From: Patrick Ezel, Building Inspector

AB

Reference: TERMINATION OF UTILITY SERVICES

sewer
work
10-19-2020

Date: 10-01-2020

Address: 561 NC Hwy 55 W (Parcel ID # 8-218-029)

WORK TO BE PERFORMED

_____ please terminate the water service ASAP due to the hazards found which effect the health, welfare, and safety to the general public.

X _____ please remove the water meter for Demolition purposes.

X _____ please cap off the sewage line due to scheduled demolition.

TIED INTO SAME LINE AS 563 NC HWY 55 W

Patrick J Ezel

Patrick J Ezel

Building Inspector

252-6392943

Please complete this request form after the work has been done and return it via email to ezelp@newbernnc.gov or fax it to 252-635-4973

10/8/2020 Date work request was completed.



Signature of employee that completed the work.

FOR DEMOLITION

billing@newbernnc.gov

AGENDA ITEM COVER SHEET

Agenda Item Title:

Consider Adopting an Ordinance for the Demolition of 563 NC Highway 55 West.

Date of Meeting: 11/10/2020	Ward # if applicable: Ward 5
Department: Development Services	Person Submitting Item: Jeff Ruggieri, Director of Development Services
Call for Public Hearing: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Date of Public Hearing: N/A

Explanation of Item:	Staff is seeking approval of an Ordinance to demolish the structure located at 563 NC Highway 55 West.
Actions Needed by Board:	Adopt Ordinance
Backup Attached:	Memo, Ordinance, Chronological Order of Events

Is item time sensitive? <input type="checkbox"/> Yes <input type="checkbox"/> No
Will there be advocates/opponents at the meeting? <input type="checkbox"/> Yes <input type="checkbox"/> No

Cost of Agenda Item:
If this requires an expenditure, has it been budgeted and are funds available and certified by the Finance Director? <input type="checkbox"/> Yes <input type="checkbox"/> No

Additional Notes:



MEMORANDUM

TO: Mayor Dana Outlaw, City of New Bern Board of Aldermen

FROM: Jeff Ruggieri, Director Development Services

DATE: October 29, 2020

SUBJECT: Consider Adopting an Ordinance for the Demolition of 563 NC Highway 55 West.

Staff is seeking approval of an ordinance to demolish the structure located at 563 NC Highway 55 West.

On January 7, 2020 pictures were taken of the dilapidated home located at 563 NC Highway 55 West and a Minimum Housing Violation letter was mailed to the owner of record. After no contact from the owner a Minimum Housing Violation follow up letter was mailed on May 19, 2020.

On June 26, 2020 a notice of hearing was mailed to the owner of record with no response. A hearing before the building inspector was conducted on July 14, 2020, the owner was properly notified of the hearing but was not present. The order granted the owner 60 days to repair the home and comply with minimum housing standards.

To date no permits have been applied for and the structure remains non-compliant.

A complete list of chronological events related to the property as well as pictures are attached.

Prepared by and return to:

Michael Scott Davis
DAVIS HARTMAN WRIGHT PLLC
209 Pollock Street
New Bern, NC 28560

AN ORDINANCE TO ORDER THE DEMOLITION OF A DWELLING UNFIT FOR HUMAN HABITATION LOCATED AT 563 WEST NC HIGHWAY 55 IN THE CITY OF NEW BERN, NORTH CAROLINA

THAT WHEREAS, the City of New Bern properly served A. Carl Bell and Spouse, if any ("Owners"), on June 29, 2020, pursuant to Section 38-30 of the Code of Ordinances for the City of New Bern, complaining and alleging that the dwelling owned by Owners located at 563 West NC Highway 55 in the City of New Bern, North Carolina (Craven County parcel identification number 8-218-3003) is unfit for human habitation; and

WHEREAS, the Owners of the certain dwelling located at 563 West NC Highway 55 in the City of New Bern, North Carolina ("Subject Property") were ordered to remove or demolish the dwelling located on the Subject Property and clear the debris therefrom, or to repair, alter, or improve said dwelling to comply with the minimum standards established by Chapter 38 of the Code of the City of New Bern by September 14, 2020; and

WHEREAS, the Owners have been given a reasonable opportunity to comply with the aforementioned Order of the Building Inspector; and

WHEREAS, the Owners have failed to remove or demolish the dwelling and clear the debris therefrom, or to repair, alter or improve said dwelling to comply with the minimum standards established by Chapter 38 of the Code of the City of New Bern, as directed in said Order.

**NOW, THEREFORE, BE IT ORDAINED BY THE BOARD OF ALDERMEN OF
THE CITY OF NEW BERN:**

Section 1. That the Building Inspector of the City of New Bern is ordered to remove or demolish the dwelling located on the Subject Property at 563 West NC Highway 55 in the City of New Bern, North Carolina, more particularly described as follows:

SEE EXHIBIT A ATTACHED HERETO.

Section 2. That the Building Inspector of the City of New Bern is ordered to sell the materials of the dwelling that are salvageable and shall credit the proceeds of the sale against the cost of the removal or demolition, and any balance remaining shall be deposited with the Clerk of Superior Court of Craven County, shall be secured in a manner directed by the court, and shall be disbursed by the court to the persons found to be entitled thereto by final order or decree of the court.

Section 3. That this ordinance shall be in full force and effect from and after its adoption.

ADOPTED THIS 10th DAY OF NOVEMBER, 2020.

DANA E. OUTLAW, MAYOR

BRENDA E. BLANCO, CITY CLERK

EXHIBIT A

All that certain tract or parcel of land lying and being situate in Number Eight (8) Township, Craven County, North Carolina, being more particularly described as follows:

BEGINNING at a point which point lies the following courses and distances from the centerline intersection of Pleasant Hill Road and NC Hwy. 55; South $55^{\circ} 04' 59''$ East 933.53 feet to a point in the southern right-of-way line of NC Hwy. 55; thence South $57^{\circ} 00' 00''$ East 60.00 feet to a point; thence South $33^{\circ} 00' 02''$ West 153.34 feet to an iron pipe, the aforementioned point of beginning. Thence from said point of beginning South $56^{\circ} 30' 00''$ East 69.00 feet to an iron pipe; thence South $33^{\circ} 01' 49''$ West 55.00 feet to an iron pipe; thence North $56^{\circ} 30' 00''$ West 129.00 feet to an iron pipe; thence North $33^{\circ} 01' 49''$ East 55.00 feet to an iron pipe; thence south $56^{\circ} 30' 00''$ East 60.00 feet to the aforementioned point of beginning.

This description is taken from that certain plat of survey by Jerry R. Ryan, PLS, which plat is entitled "ReSurvey of Lot 6 & Portion Lot 5 The Hahn Land & 7.095 Sq Ft Parcel" which plat is dated June 6, 2002, a copy of which is attached to the deed to A. Carl Bell recorded in Book 2111 at Page 632 of the Craven County Registry.

CHRONOLOGICAL ORDER OF EVENTS

563 NC Hwy 55 W

10/22/2020

[illegible]

NARRATIVES:

CASE: 563 NC Hwy 55w

Inspector: Park

DATE: 5-14-2020

Owner: Carl Bell 9106385000

Zone: R-20

Intent:

Flow Zone: X

W-5

Owes taxes: G: - 86.75 C: - 72.30

Ald Best 637 2419

-Blocked up by Owner 31 Jan 2019

5-19-18 Follow up letter sent

-6-4-2020 Draft Comp saved

6-24-2020 Received TO

6-25-2020 Site Visit to verify pics prop to Comp

7-14-2020 OBI, dilapidated, 14 Sept 2020 Comp

7-15-2020 OBI mailed

8-3-2020 BI calls CB, no answer, unable to leave message

8-17-2020 BI calls CB, no answer, unable to leave message

~~9-8~~ 9-8-2020 BI calls CB, no answer, unable to leave message

9-28-2020 Amended CB for Comp + OBI Done.

9-29-2020 Ord to Demo Recv.

Craven County Geographic Information System

Craven County does NOT warrant the information shown on this page and should be used ONLY for tax assessment purposes.

This report was created by Craven County GIS reporting services on 1/7/2020 10:09:08 AM

same
3-30-2020
5-14-2020

Parcel ID : 8-218 -3003
Owner : BELL, A CARL
Mailing Address : 866 OKELLY CHAPEL RD DURHAM NC 27713
Property Address : 563 W NC 55 HWY
Description : NEUSE RD
Lot Description : 55 X 129



Assessed Acreage : 0.163 Calculated Acreage : 0.150
Deed Reference : 2111-0632 Recorded Date : 10 31 2003
Recorded Survey :
Estate Number :

Land Value : \$12,150 Tax Exempt : No
Real Improvement Value : \$2,130 # of Improvements : 1
Total Value : \$14,280

Q-1000

City Name : NEW BERN Fire tax District :
Drainage District : Special District :
Land use : RES - PERSONAL PROP MFG HOME

Recent Sales Information

SALE DATE	Sellers Name	Buyers Name	Sale Type	Sale Price
10/31/2003	BOWDEN, ANNIE R	BELL, A CARL	STRAIGHT TRANSFER	\$3,500
8/14/2002	HUMPHREY, RUBY	BOWDEN, ANNIE R	STRAIGHT TRANSFER	\$0
8/4/1983	CHEATHAM, CAROL HUMPHREY	HUMPHREY, RUBY	STRAIGHT TRANSFER	\$0

List of Improvements to Site

Type of Structure	Year Built	Base Area 1st Floor	Value
STORAGE BUILDING-DETACHED-RES	1970	256	\$2,130



563 NC Hwy 55W 5-14-2020

563 NC Hwy 55 W
1-7-2020



DAVIS HARTMAN WRIGHT, PLLC
Attorney's Report on Title

RE: 563 West NC Highway 55 (Tax Parcel # 8-218-3003)

TITLE VESTED IN A. CARL BELL AND SPOUSE, IF ANY

BY THE FOLLOWING INSTRUMENT:

Type:	Warranty Deed
Dated:	October 31, 2003
Recorded:	October 31, 2003
Book: 2111	Page: 632
Registry:	Craven County

LEGAL DESCRIPTION OF PROPERTY:

All that certain lot or parcel of land lying and being in Number Eight Township, Craven County, North Carolina, and being more particularly described as follows:

BEGINNING at a point which point lies the following courses and distances from the centerline intersection of Pleasant Hill Road and NC Hwy. 55; South 55° 04' 59" East 933.53 feet to a point in the southern right-of-way line of NC Hwy. 55; thence South 57° 00' 00" East 60.00 feet to a point; thence South 33° 00' 02" West 153.34 feet to an iron pipe, the aforementioned point of beginning. Thence from said point of beginning South 56° 30' 00" East 69.00 feet to an iron pipe; thence South 33° 01' 49" West 55.00 feet to an iron pipe; thence North 56° 30' 00" West 129.00 feet to an iron pipe; thence North 33° 01' 49" East 55.00 feet to an iron pipe; thence south 56° 30' 00" East 60.00 feet to the aforementioned point of beginning.

Also conveyed herein is an easement for ingress, egress, regress, and installation of utilities which is sixteen (16) feet in width and the western line of said easement is more particularly described as follows:

Beginning at a point in the southern right-of-way line of NC Hwy. 55 which point lies the following courses and distances from the centerline intersection of Pleasant Hill Road and NC Hwy. 55; South 55° 04' 59" East 933.53 feet to a point in the southern right-of-way line of NC Hwy. 55; thence South 57° 00' 00" East 60.00 feet to a point, the aforementioned point of beginning for the western line of the easement tract; thence from said point of beginning, South 33° 00' 02" West 153.34 feet to an iron pipe in the northern line of the above described parcel of land. This conveyance is that the easement have sixteen (16) feet of road frontage on NC Hwy. 55 and have sixteen (16) feet of frontage along the north line of the property to be served.

This description is taken from that certain plat of survey by Jerry R. Ryan, PLS, which plat is entitled "ReSurvey of Lot 6 & Portion Lot 5 The Hahn Land & 7.095 Sq Ft Parcel" which plat is dated June 6, 2002, a copy of which is attached to the deed to A. Carl Bell recorded in Book 2111 at Page 632 of the Craven County Registry.

TAXES LISTED IN THE NAME OF: A. Carl Bell, 866 Okelly Chapel Road, Durham, NC 27713

Township: Eight
Municipality: New Bern

2020 Real Valuation: \$14,280.00

ABOVE PROPERTY IS SUBJECT TO:

- (a) Taxes and assessments: Taxes due Craven County and City of New Bern 2011-2019
- (b) Mortgages, deeds of trust, vendors, liens: NONE.
- (c) Judgments: Internal Revenue Service federal tax lien
- (d) Mechanics' and materialmen's liens, known or recorded: NONE.
- (e) Liens in favor of state or federal government: NONE.
- (f) Lis pendens: NONE.
- (g) Leases, known or recorded: NONE.
- (h) Easements, restrictions, exceptions, reservations, limitations, conditions: NONE.
- (i) Other objections and defects: Any matters that an accurate survey might show.
- (j) Period of title search: From October 31, 2003 through June 24, 2020 at 11:30 a.m.

THIS 24th DAY OF JUNE, 2020.

Respectfully submitted,

DAVIS HARTMAN WRIGHT, PLLC

By:



Michael Scott Davis

EXHIBIT A

All that certain lot or parcel of land lying and being in Number Eight Township, Craven County, North Carolina, and being more particularly described as follows:

BEGINNING at a point which point lies the following courses and distances from the centerline intersection of Pleasant Hill Road and NC Hwy. 55; South $55^{\circ} 04' 59''$ East 933.53 feet to a point in the southern right-of-way line of NC Hwy. 55; thence South $57^{\circ} 00' 00''$ East 60.00 feet to a point; thence South $33^{\circ} 00' 02''$ West 153.34 feet to an iron pipe, the aforementioned point of beginning. Thence from said point of beginning South $56^{\circ} 30' 00''$ East 69.00 feet to an iron pipe; thence South $33^{\circ} 01' 49''$ West 55.00 feet to an iron pipe; thence North $56^{\circ} 30' 00''$ West 129.00 feet to an iron pipe; thence North $33^{\circ} 01' 49''$ East 55.00 feet to an iron pipe; thence south $56^{\circ} 30' 00''$ East 60.00 feet to the aforementioned point of beginning.

Also conveyed herein is an easement for ingress, egress, regress, and installation of utilities which is sixteen (16) feet in width and the western line of said easement is more particularly described as follows:

Beginning at a point in the southern right-of-way line of NC Hwy. 55 which point lies the following courses and distances from the centerline intersection of Pleasant Hill Road and NC Hwy. 55; South $55^{\circ} 04' 59''$ East 933.53 feet to a point in the southern right-of-way line of NC Hwy. 55; thence South $57^{\circ} 00' 00''$ East 60.00 feet to a point, the aforementioned point of beginning for the western line of the easement tract; thence from said point of beginning, South $33^{\circ} 00' 02''$ West 153.34 feet to an iron pipe in the northern line of the above described parcel of land. This conveyance is that the easement have sixteen (16) feet of road frontage on NC Hwy. 55 and have sixteen (16) feet of frontage along the north line of the property to be served.

This description is taken from that certain plat of survey by Jerry R. Ryan, PLS, which plat is entitled "ReSurvey of Lot 6 & Portion Lot 5 The Hahn Land & 7.095 Sq Ft Parcel" which plat is dated June 6, 2002, a copy of which is attached to the deed to A. Carl Bell recorded in Book 2111 at Page 632 of the Craven County Registry.

STATE OF NORTH CAROLINA

COUNTY OF CRAVEN

CITY OF NEW BERN,

FILED

2020 JUN 26 A 9:11

CRAVEN COUNTY, C.S.C.

Plaintiff

BY

v.

CARL A BELL AND SPOUSE, if any,
Defendants-Owners

CRAVEN COUNTY, CITY OF NEW
BERN and INTERNAL REVENUE
SERVICE,

Lienholders

BEFORE THE BUILDING INSPECTOR
OF THE CITY OF NEW BERN
FILE NO. 20 m 209

COMPLAINT

(Residential Building or Structure)
(Dwelling Unfit for Human Habitation)

AND

NOTICE OF HEARING/
NOTICE OF LIS PENDENS

THE CITY OF NEW BERN ALLEGES AND SAYS THAT:

1. In accordance with North Carolina General Statutes Section 160A, Article 19, Part 6, and Chapter 38-29 of the Code of the City of New Bern ("Chapter 38"), the undersigned Building Inspector for the City of New Bern has done a preliminary investigation to determine if the dwelling identified herein has been properly maintained so that the safety and health of its occupants are not jeopardized for failure of the property to meet the minimum standards established by Chapter 38 and to determine if the dwelling identified is unfit for human habitation.

2. The preliminary investigation has disclosed that there is a basis for believing that the residential building or structure located at 563 North Carolina Highway 55 West, New Bern, North Carolina, which bears Craven County parcel identification number 8-218-3003, is in violation of the minimum standards established by Chapter 38 and is unfit for human habitation as evidenced by the following:

a. The roof has not been properly maintained allowing the entrance of moisture.

b. The exterior of the dwelling has not been properly maintained resulting in holes in the exterior walls.

c. The interior of the dwelling has not been properly maintained resulting in damage to sub-floor, floor joist, holes in the floor, water damage to floor system, water damage to walls, water damage to ceiling, and holes in the interior walls and floor.

d. The dwelling has broken and missing windows and doors.

e. The electrical system has not been properly maintained resulting in hanging and exposed meter bases, missing and rusty circuit breakers, exposed panel box, and signs of water damage to various electrical sockets.

e. The dwelling does not have water and sewer.

f. The dwelling does not have smoke detectors.

3. A hearing will be held on the **14th Day of July, 2020, at 2:00 p.m.** in the office of the City Building Inspector located at 303 First Street, New Bern, North Carolina.

4. You have the right to file an answer to this Complaint by writing to the Building Inspector of the City of New Bern, P.O. Box 1129, New Bern, NC 28563-1129.

5. You have the right to appear at the above-scheduled hearing, in person or otherwise, and give testimony.

6. The rules of evidence prevailing in courts of law or equity shall not be controlling in hearings before the City Building Inspector.

7. Following the hearing, the undersigned Building Inspector may issue an order to repair, alter, improve, vacate and close, or remove or demolish the structures and clear the debris therefrom, as appears appropriate. Failure to comply with an order of the Building Inspector will result in the assessment of the following civil penalties as required by Code Section 38-5 of the Code of Ordinances of the City of New Bern:

- The sum of \$500.00 for failure to comply with said order within thirty-one (31) days of its expiration;

- An additional sum of \$1,000.00 (for a total sum of \$1,500.00) for failure to comply with said order within sixty-one (61) days of its expiration;

- An additional sum of \$1,500.00 (for a total sum of \$3,000.00) for failure to comply with said order within ninety-one (91) days of its expiration;

- An additional sum of \$2,000.00 (for a total sum of \$5,000.00) for failure to comply with said order within one hundred twenty-one (121) days of its expiration; and

- An additional sum of \$2,000.00 (\$5,000.00 plus \$2,000.00 per month) for each additional thirty (30) days, or fraction thereof, for failure to comply with said order after one hundred twenty-one (121) days of its expiration.

This 26th Day of June, 2020.

Patrick J Ezel

Patrick J Ezel

Building Inspector

Minimum Housing Officer

City of New Bern

(252) 639-2943

29th
CERTIFICATE OF SERVICE

I hereby certify that on the 26th Day of June, 2020, I served a copy of the foregoing Complaint (Residential Building Or Structure) and Notice of Hearing/Notice of Lis Pendens upon the following persons by depositing a true and correct copy thereof in an envelope with proper postage affixed thereto for mailing by certified mail, return receipt requested, and also by placing a true and correct copy thereof in another envelope with proper postage affixed thereto for mailing by regular first class mail, and depositing said envelopes in a regular depository for the United States mail at New Bern, North Carolina, addressed as follows:

Carl A Bell
866 Okelly Chapel Rd
Durham, NC 27713

Spouse of Carl A Bell, if any
866 Okelly Chapel Rd
Durham, NC 27713

United States of America
Dept. of Treasury, Internal Revenue Service
c/o U.S. Attorney
Office of the United States Attorney
310 New Bern Avenue, Suite 800
Raleigh, NC 27601-1461

Craven County
c/o Arey W. Grady, Esq.
Sumrell Sugg
Post Office Drawer 889
New Bern, NC 28563

United States of America
Dept. of Treasury, Internal Revenue Service
c/o U.S. Attorney General
United States Department of Justice
950 Pennsylvania Avenue
Washington, DC 20530

I further certify that on the 26th Day of June, 2020, I personally delivered a copy of the foregoing Complaint (Residential Building Or Structure) and Notice of Hearing/Notice of Lis Pendens to the following persons at the addresses indicated:

Mark Stephens, City Manager
City of New Bern
300 Pollock Street
New Bern, NC 28560

Patrick J Ezel

Patrick J Ezel
Building Inspector
Minimum Housing Officer
City of New Bern
(252) 639-2943

7020 0090 0002 2022 0390

U.S. Postal Service™
CERTIFIED MAIL® RECEIPT
 Domestic Mail Only

For delivery information, visit our website at www.usps.com™.

OFFICIAL USE

Certified Mail Fee

\$

Extra Services & Fees (check box, add fee as appropriate)

☐ Return Receipt (hardcopy) \$

☐ Return Receipt (electronic) \$

☐ Certified Mail Restricted Delivery \$

☐ Adult Signature Required \$

☐ Adult Signature Restricted Delivery \$

Postage

Spouse of Carl A Bell, if any
 866 Okelly Chapel Rd
 Durham, NC 27713
 MH ltr 563 NC Hwy 55 W

PS Form 3800, April 2015 PSN 7530-02-000-9047

See Reverse for Instructions



7020 0090 0002 2022 0383

U.S. Postal Service™
CERTIFIED MAIL® RECEIPT
 Domestic Mail Only

For delivery information, visit our website at www.usps.com™.

OFFICIAL USE

Certified Mail Fee

\$

Extra Services & Fees (check box, add fee as appropriate)

☐ Return Receipt (hardcopy) \$

☐ Return Receipt (electronic) \$

☐ Certified Mail Restricted Delivery \$

☐ Adult Signature Required \$

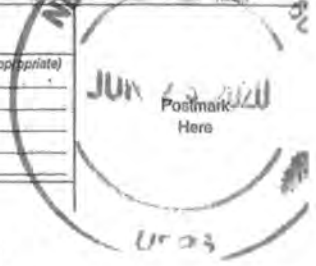
☐ Adult Signature Restricted Delivery \$

Postage

Carl A Bell
 866 Okelly Chapel Rd
 Durham, NC 27713
 MH ltr 563 NC Hwy 55 W

PS Form 3800, April 2015 PSN 7530-02-000-9047

See Reverse for Instructions



7020 0090 0002 2022 0413

U.S. Postal Service™
CERTIFIED MAIL® RECEIPT
 Domestic Mail Only

For delivery information, visit our website at www.usps.com™.

OFFICIAL USE

Certified Mail Fee

\$

Extra Services & Fees (check box, add fee as appropriate)

☐ Return Receipt (hardcopy) \$

☐ Return Receipt (electronic) \$

☐ Certified Mail Restricted Delivery \$

☐ Adult Signature Required \$

☐ Adult Signature Restricted Delivery \$

Postage

United States of America
 Dept. of Treasury, Internal Revenue Service
 c/o U.S. Attorney
 Office of the United States Attorney
 310 New Bern Avenue, Suite 800
 Raleigh, NC 27601-1461
 MH ltr 563 NC Hwy 55 W

PS Form 3800, April 2015 PSN 7530-02-000-9047

See Reverse for Instructions



7020 0090 0002 2022 0406

U.S. Postal Service™
CERTIFIED MAIL® RECEIPT
 Domestic Mail Only

For delivery information, visit our website at www.usps.com™.

OFFICIAL USE

Certified Mail Fee

\$

Extra Services & Fees (check box, add fee as appropriate)

☐ Return Receipt (hardcopy) \$

☐ Return Receipt (electronic) \$

☐ Certified Mail Restricted Delivery \$

☐ Adult Signature Required \$

☐ Adult Signature Restricted Delivery \$

Postage

Craven County
 c/o Arey W. Grady, Esq.
 Sumrell Sugg
 Post Office Drawer 889
 New Bern, NC 28563
 MH ltr 563 NC Hwy 55 W

PS Form 3800, April 2015 PSN 7530-02-000-9047

See Reverse for Instructions



7020 0090 0002 2022 0420

U.S. Postal Service™
CERTIFIED MAIL® RECEIPT
 Domestic Mail Only

For delivery information, visit our website at www.usps.com™.

OFFICIAL USE

Certified Mail Fee

\$

Extra Services & Fees (check box, add fee as appropriate)

☐ Return Receipt (hardcopy) \$

☐ Return Receipt (electronic) \$

☐ Certified Mail Restricted Delivery \$

☐ Adult Signature Required \$

☐ Adult Signature Restricted Delivery \$

Postage

United States of America
 Dept. of Treasury, Internal Revenue Service
 c/o U.S. Attorney General
 United States Department of Justice
 950 Pennsylvania Avenue
 Washington, DC 20530
 MH ltr 563 NC Hwy 55 W

PS Form 3800, April 2015 PSN 7530-02-000-9047

See Reverse for Instructions



CERTIFICATE OF SERVICE

I hereby certify that on the 26th Day of June, 2020, I served a copy of the foregoing Complaint (Residential Building Or Structure) and Notice of Hearing/Notice of Lis Pendens upon the following persons by depositing a true and correct copy thereof in an envelope with proper postage affixed thereto for mailing by certified mail, return receipt requested, and also by placing a true and correct copy thereof in another envelope with proper postage affixed thereto for mailing by regular first class mail, and depositing said envelopes in a regular depository for the United States mail at New Bern, North Carolina, addressed as follows:

Carl A Bell *Reg-
Cert-Deliv*
866 Okelly Chapel Rd
Durham, NC 27713
7020 0090 0002 2022 0383

Spouse of Carl A Bell, if any *Reg-
Cert-*
866 Okelly Chapel Rd
Durham, NC 27713
7020 0090 0002 2022 0390

United States of America
Dept. of Treasury, Internal Revenue Service
c/o U.S. Attorney *Reg-*
Office of the United States Attorney *Cert-Deliv*
310 New Bern Avenue, Suite 800
Raleigh, NC 27601-1461
7020 0090 0002 2022 0413

Craven County
c/o Arey W. Grady, Esq. *Cert-Deliv*
Sumrell Sugg *Reg-*
Post Office Drawer 889
New Bern, NC 28563
7020 0090 0002 2022 0406

United States of America
Dept. of Treasury, Internal Revenue Service
c/o U.S. Attorney General *Reg-*
United States Department of Justice *Cert-Deliv*
950 Pennsylvania Avenue
Washington, DC 20530
7020 0090 0002 2022 0420

I further certify that on the 26th Day of June, 2020, I personally delivered a copy of the foregoing Complaint (Residential Building Or Structure) and Notice of Hearing/Notice of Lis Pendens to the following persons at the addresses indicated:

Mark Stephens, City Manager
City of New Bern
300 Pollock Street
New Bern, NC 28560

Patrick J Ezel

Patrick J Ezel
Building Inspector
Minimum Housing Officer
City of New Bern
(252) 639-2943

COPY

DATE: 7-14-2020

ADDRESS: 563 NC Hwy 55W (Parcel ID # 8-218-3003)

ATTENDEES: Patrick Brel (City of New Bern)

OBSERVERS

NOTIFIED BUT NOT PRESENT: Roof, exterior, interior, electrical, plumbing, HVAC, Smoke/CO detector, weeds & debris

VIOLATIONS: Carl Bell and spouse if any (see Comp & OBI)

OWNERS: INTENTIONS:

NOTES: All mail notification delayed on

STATUS OF DWELLING: Dilapidated FINDINGS:

ORDER WILL READ: 60 day Compliance

North Carolina
City of New Bern

2020 JUL 15 A 9:27

Before the Building
Inspector of the City of New Bern

File# 20 M 209

Order of the Building

Inspector of the

City of New Bern

The City of New Bern,
Plaintiff
-VS-

CARL A BELL AND SPOUSE, if any,
Defendants-Owners

CRAVEN COUNTY, CITY OF NEW BERN and
INTERNAL REVENUE SERVICE,
Lienholders

This matter came on to be heard and was heard before the undersigned Building Inspector of the City of New Bern, at a hearing in the office of the Building Inspector of the City of New Bern on the 14th Day of July, 2020; and

Upon Hearing evidence and testimony in this matter, the Building Inspector of the City of New Bern found the following facts:

1. Patrick J Ezel, Building Inspector appeared on behalf of the City of New Bern. No other person (s) where present.
2. The following were properly notified but not present; Carl A Bell and Spouse if any, Craven County and or Arey W. Grady, Esq, Sumrell Sugg, United States of America, Department of Treasury, Internal Revenue Services, Attorney General, and or Department of Justice.
3. Carl Bell, is the owner of the real property located at 563 North Carolina Highway 55 West, New Bern, North Carolina, and further identified by Craven County Tax Identification number 8-218-3003.
4. The dwelling located at 563 North Carolina Highway 55 West, New Bern, North Carolina does not meet the Minimum housing standard set forth in Chapter 38 of the City of New Bern's Ordinance due to deterioration and defects, increasing the hazard of fire, accidents, or other calamities.
5. The dwelling is presently vacant.

6. It is the opinion of the Inspections Department of the City of New Bern that the dwelling cannot be repaired, altered, or improved to comply with the minimum standards established by Chapter 38 of the Code of the City of New Bern at a cost less than seventy-five (75%) percent of the value, and, therefore, it is a **dilapidated** dwelling as defined by Chapter 38 of the Code of the City of New Bern. As a result, thereof, no one shall reside in or occupy said dwelling.

7. The aforesaid dwelling must remain vacated, closed, secured and must be repaired, altered, improved **or** demolished/removed to comply with the minimum standards established by Chapter 38 of the Code of the City of New Bern.

8. The Subject dwelling requires work to be performed by subcontractors to bring it into compliance with the minimum standards established by Chapter 38 of the Code of the City of New Bern. All work such as electrical, plumbing, gas, heating and air conditioning must be performed by persons licensed by the State of North Carolina to perform such work and shall be inspected as required by law. Electrical service will only be provided with a temporary service pole or a generator with city noise restrictions applying.

9. After finding the aforementioned facts, the Building Inspector ordered that the Owners shall:

a. Repair, alter, improve, or remove/demolish said dwelling to comply with the minimum standards, established by Chapter 38 of the Code of the City of New Bern no later than **September 14,**

2020.

b. Ensure all permits are obtained prior to work beginning.

c. Ensure that all mechanical work be performed by persons licensed by the State of North Carolina to perform such work, and that all such work is inspected as required by law.

d. Ensure that lead paint, if any, on the exterior of said dwelling is abated in compliance with the regulations enforced by the Craven County Health Department.

e. Property and structure (s) to be brought into compliance with Article XVI of the Appendix A of the Land Use Ordinance of the City of New Bern, which is commonalty, called the Flood Plain Ordinance, Flood Plain Damage Prevention.

f. Shall be assessed a civil penalty as required by the City Code Section 38-5 as follows:

- The sum of \$500.00 for failure to comply with said order within thirty-one (31) days of its expiration;

- An additional sum of \$1,000.00 (for a total sum of \$1,500.00) for failure to comply with said order within sixty-one (61) days of its expiration;
- An additional sum of \$1,500.00 (for a total sum of \$3,000.00) for failure comply with said order within ninety-one (91) days of its expiration;
- An additional sum of \$2,000.00 (for a total sum of \$5,000.00) for failure to comply with said order within one hundred twenty-one (121) days of its expiration; and
- An additional sum of \$2,000.00 (\$5,000.00 plus \$2,000.00 per month) for each additional 30-days or fraction thereof for failure to comply with said order after one hundred twenty-one (121) days of its expiration.

This 14th Day of July 2020

Patrick J Ezel

Patrick J Ezel
Building Inspector
Minimum Housing Officer
City of New Bern
252-639-2943

Certificate of Service

Re: 563 ^{NC} ~~NN~~ Hwy 55 W, New Bern, NC ^{7th}

I hereby certify that on the 14th Day of July 2020, I served a copy of the foregoing **Order of the Building Inspector** upon the following persons by depositing a true and correct copy thereof in an envelope with proper postage affixed thereto for mailing by certified mail, return receipt requested, and also by placing a true and correct copy thereof in another envelope with proper postage affixed thereto for mailing by regular first class mail, and depositing said envelopes in a regular depository for the United States mail at New Bern, North Carolina, addressed as follows:

Carl A Bell
866 Okelly Chapel Rd
Durham, NC 27713
United States of America
Dept. of Treasury, Internal Revenue Service
c/o U.S. Attorney
Office of the United States Attorney
310 New Bern Avenue, Suite 800
Raleigh, NC 27601-1461
United States of America
Dept. of Treasury, Internal Revenue Service
c/o U.S. Attorney General
United States Department of Justice
950 Pennsylvania Avenue
Washington, DC 20530

Spouse of Carl A Bell, if any
866 Okelly Chapel Rd
Durham, NC 27713
Craven County
c/o Arey W. Grady, Esq.
Sumrell Sugg
Post Office Drawer 889
New Bern, NC 28563

I further certify that on the 14th Day of July, 2020, I personally delivered a copy of the foregoing Order of the Building Inspector (Residential Building Or Structure) to the following person (s) at the address (s) indicated:

Mark Stephens, City Manager
City of New Bern
300 Pollock Street
New Bern, NC 28560

Patrick J Ezel

Patrick J Ezel
Building Inspector
Minimum Housing Officer
City of New Bern
252-639-2943

7020 0090 0002 2022 0673

U.S. Postal Service™
CERTIFIED MAIL® RECEIPT
 Domestic Mail Only

For delivery information, visit our website at www.usps.com®.

OFFICIAL USE

Certified Mail Fee

\$

Extra Services & Fees (check box, add fee as appropriate)

- ☐ Return Receipt (hardcopy) \$
☐ Return Receipt (electronic) \$
☐ Certified Mail Restricted Delivery \$
☐ Adult Signature Required \$
☐ Adult Signature Restricted Delivery \$

Postage

United States of America
 Dept of Treasury IRS c/o USAGDOJ
 950 Pennsylvania Ave
 Washington DC, 20530
 MH ltr 563 NC Hwy 55 W

PS Form 3800, April 2015 PSN 7530-02-000-9047

See Reverse for Instructions



7020 0090 0002 2022 0680

U.S. Postal Service™
CERTIFIED MAIL® RECEIPT
 Domestic Mail Only

For delivery information, visit our website at www.usps.com®.

OFFICIAL USE

Certified Mail Fee

\$

Extra Services & Fees (check box, add fee as appropriate)

- ☐ Return Receipt (hardcopy) \$
☐ Return Receipt (electronic) \$
☐ Certified Mail Restricted Delivery \$
☐ Adult Signature Required \$
☐ Adult Signature Restricted Delivery \$

Postage

Craven County
 c/o Arey W Grady, Esq
 Sumrell Sugg
 PO Drawer 889
 New Bern, NC 28563
 MH 563 NC Hwy 55 W

PS Form 3800, April 2015 PSN 7530-02-000-9047

See Reverse for Instructions



7020 0090 0002 2022 0642

U.S. Postal Service™
CERTIFIED MAIL® RECEIPT
 Domestic Mail Only

For delivery information, visit our website at www.usps.com®.

OFFICIAL USE

Certified Mail Fee

\$

Extra Services & Fees (check box, add fee as appropriate)

- ☐ Return Receipt (hardcopy) \$
☐ Return Receipt (electronic) \$
☐ Certified Mail Restricted Delivery \$
☐ Adult Signature Required \$
☐ Adult Signature Restricted Delivery \$

Postage

Carl A Bell
 866 Okelly Chapel Rd
 Durham, NC 27713
 MH ltr 563 NC Hwy 55 W

PS Form 3800, April 2015 PSN 7530-02-000-9047

See Reverse for Instructions



7020 0090 0002 2022 0659

U.S. Postal Service™
CERTIFIED MAIL® RECEIPT
 Domestic Mail Only

For delivery information, visit our website at www.usps.com®.

OFFICIAL USE

Certified Mail Fee

\$

Extra Services & Fees (check box, add fee as appropriate)

- ☐ Return Receipt (hardcopy) \$
☐ Return Receipt (electronic) \$
☐ Certified Mail Restricted Delivery \$
☐ Adult Signature Required \$
☐ Adult Signature Restricted Delivery \$

Postage

Spouse of Carl A Bell, if any
 866 Okelly Chapel Rd
 Durham, NC 27713
 MH ltr 563 NC Hwy 55 W

PS Form 3800, April 2015 PSN 7530-02-000-9047

See Reverse for Instructions



7020 0090 0002 2022 0666

U.S. Postal Service™
CERTIFIED MAIL® RECEIPT
 Domestic Mail Only

For delivery information, visit our website at www.usps.com®.

OFFICIAL USE

Certified Mail Fee

\$

Extra Services & Fees (check box, add fee as appropriate)

- ☐ Return Receipt (hardcopy) \$
☐ Return Receipt (electronic) \$
☐ Certified Mail Restricted Delivery \$
☐ Adult Signature Required \$
☐ Adult Signature Restricted Delivery \$

Postage

United States of America
 Dept of Treasury IRS c/o US A
 310 New Bern Ave Suite 800
 Raleigh, NC 27601
 MH ltr 563 NC Hwy 55 W

PS Form 3800, April 2015 PSN 7530-02-000-9047

See Reverse for Instructions



Certificate of Service

Re: 563 NN Hwy 55 W, New Bern, NC

I hereby certify that on the 14th Day of July 2020, I served a copy of the foregoing **Order of the Building Inspector** upon the following persons by depositing a true and correct copy thereof in an envelope with proper postage affixed thereto for mailing by certified mail, return receipt requested, and also by placing a true and correct copy thereof in another envelope with proper postage affixed thereto for mailing by regular first class mail, and depositing said envelopes in a regular depository for the United States mail at New Bern, North Carolina, addressed as follows:

7020 0090 0002 2022 0659
Carl A Bell *cert - Delv*
866 Okelly Chapel Rd *Reg*
Durham, NC 27713

7020 0090 0002 2022 0659
Spouse of Carl A Bell, if any *cert - Delv*
866 Okelly Chapel Rd *Reg*
Durham, NC 27713

0666 *Delv*
cert
Reg
United States of America
Dept. of Treasury, Internal Revenue Service
c/o U.S. Attorney
Office of the United States Attorney
310 New Bern Avenue, Suite 800
Raleigh, NC 27601-1461

Craven County
c/o Arey W. Grady, Esq. *cert - Delv*
Sumrell Sugg *Reg*
Post Office Drawer 889
New Bern, NC 28563

7020 0090 0002 2022 0680
United States of America
Dept. of Treasury, Internal Revenue Service
c/o U.S. Attorney General *cert - delv*
United States Department of Justice *Reg*
950 Pennsylvania Avenue
Washington, DC 20530

7020 0090 0002 2022 0673

I further certify that on the 14th Day of July, 2020, I personally delivered a copy of the foregoing Order of the Building Inspector (Residential Building Or Structure) to the following person (s) at the address (s) indicated:

Mark Stephens, City Manager
City of New Bern
300 Pollock Street
New Bern, NC 28560

Patrick J Ezel

Patrick J Ezel
Building Inspector
Minimum Housing Officer
City of New Bern
252-639-2943

Aldermen

Sabrina Bengel
Jameesha Harris
Robert V. Aster
Johnnie Ray Kinsey
Barbara J. Best
Jeffrey T. Odham



300 Pollock Street, P.O. Box 1129
New Bern, NC 28563-1129
(252) 636-4000

Certificate of Service
Amended
Complaint
(Residential Building or Structure)
Dwelling Unfit for Human Habitation)
and
Notice of Hearing/Notice of Lis Pendens

File No. 20M209

Re: 563 Nc Hwy 55 W, New Bern, NC

I further certify that on the 29th day of June 2020, I served a copy of the foregoing Complaint (Residential Building Or Structure) and Notice of Hearing/Notice of Lis Pendens upon the following persons by depositing a true and correct copy thereof in an envelope with proper postage affixed thereto for mailing by certified mail, return receipt requested, and also by placing a true and correct copy thereof in another envelope with proper postage affixed thereto for mailing by regular first class mail, and depositing said envelopes in a regular depository for the United States mail at New Bern, North Carolina, addressed as follows:

Carl A Bell
866 Okelly Chapel Rd
Durham, NC 27713
United States of America
Dept. of Treasury, Internal Revenue Service
c/o U.S. Attorney
Office of the United States Attorney
310 New Bern Avenue, Suite 800
Raleigh, NC 27601-1461
United States of America
Dept. of Treasury, Internal Revenue Service
c/o U.S. Attorney General
United States Department of Justice
950 Pennsylvania Avenue
Washington, DC 20530

Spouse of Carl A Bell, if any
866 Okelly Chapel Rd
Durham, NC 27713
Craven County
c/o Arey W. Grady, Esq.
Sumrell Sugg
Post Office Drawer 889
New Bern, NC 28563

Dana E. Outlaw
Mayor
Mark A. Stephens
City Manager
Brenda E. Blanco
City Clerk
Mary M. Hogan
Director of Finance

FILED
2020 SEP 29 A 9:02
NEW BERN, NC
CLERK OF SUPERIOR COURT
MD

Certificate of Service
Amended
Complaint
(Residential Building or Structure)
Dwelling Unfit for Human Habitation)
and
Notice of Hearing/Notice of Lis Pendens

File No. 20M209

Re: 563 Nc Hwy 55 W, New Bern, NC

Patrick J Ezel

Patrick Ezel
Building Inspector
Minimum Housing Officer
City of New Bern
252-639-2943

Aldermen

Sabrina Bengel
Jameesha Harris
Robert V. Aster
Johnnie Ray Kinsey
Barbara J. Best
Jeffrey T. Odham



300 Pollock Street, P.O. Box 1129
New Bern, NC 28563-1129
(252) 636-4000

Dana E. Outlaw
Mayor
Mark A. Stephens
City Manager
Brenda E. Blanco
City Clerk
Mary M. Hogan
Director of Finance

Certificate of Service
Amended
Order of the Building
Inspector of the
City of New Bern

File No. 20M209

FILED
2020 SEP 29 A 9:01
CLERK
BY

Re: 563 Nc Hwy 55 W, New Bern, NC

I further certify that on the 17th day of July 2020, I served a copy of the foregoing **Order of the Building Inspector** upon the following persons by depositing a true and correct copy thereof in an envelope with proper postage affixed thereto for mailing by certified mail, return receipt requested, and also by placing a true and correct copy thereof in another envelope with proper postage affixed thereto for mailing by regular first class mail, and depositing said envelopes in a regular depository for the United States mail at New Bern, North Carolina, addressed as follows:

Carl A Bell
866 Okelly Chapel Rd
Durham, NC 27713
United States of America
Dept. of Treasury, Internal Revenue Service
c/o U.S. Attorney
Office of the United States Attorney
310 New Bern Avenue, Suite 800
Raleigh, NC 27601-1461
United States of America
Dept. of Treasury, Internal Revenue Service
c/o U.S. Attorney General
United States Department of Justice
950 Pennsylvania Avenue
Washington, DC 20530

Spouse of Carl A Bell, if any
866 Okelly Chapel Rd
Durham, NC 27713
Craven County
c/o Arey W. Grady, Esq.
Sumrell Sugg
Post Office Drawer 889
New Bern, NC 28563

Certificate of Service
Amended
Order of the Building
Inspector of the
City of New Bern

File No. 20M209

Re: 563 Nc Hwy 55 W, New Bern, NC

Patrick J Ezel

Patrick Ezel
Building Inspector
Minimum Housing Officer
City of New Bern
252-639-2943

7020 0090 0002 2022 1212

U.S. Postal Service™
CERTIFIED MAIL® RECEIPT
 Domestic Mail Only

For delivery information, visit our website at www.usps.com

OFFICIAL USE

Certified Mail Fee
 \$

Extra Services & Fees (check box, add fee as appropriate)

<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$

Postage
 \$

Spouse of Carl A Bell, if any
 866 Okelly Chapel Rd
 Durham, NC 27713
 MH ltr 563 Nc Hwy 55 W

PS Form 3800, April 2015 PSN 7530-02-000-9042 See Reverse for Instructions

7020 0090 0002 2022 1205

U.S. Postal Service™
CERTIFIED MAIL® RECEIPT
 Domestic Mail Only

For delivery information, visit our website at www.usps.com

OFFICIAL USE

Certified Mail Fee
 \$

Extra Services & Fees (check box, add fee as appropriate)

<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$

Postage
 \$

Carl A Bell
 866 Okelly Chapel Rd
 Durham, NC 27713
 MH ltr 563 Nc Hwy 55 W

PS Form 3800, April 2015 PSN 7530-02-000-9042 See Reverse for Instructions

7020 0090 0002 2022 1236

U.S. Postal Service™
CERTIFIED MAIL® RECEIPT
 Domestic Mail Only

For delivery information, visit our website at www.usps.com

OFFICIAL USE

Certified Mail Fee
 \$

Extra Services & Fees (check box, add fee as appropriate)

<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$

Postage
 \$

United States of America
 Dept. of Treasury, Internal Revenue Service
 c/o U.S. Attorney General
 United States Department of Justice
 950 Pennsylvania Avenue
 Washington, DC 20530
 MH ltr 563 Nc Hwy 55 W

PS Form 3800, April 2015 PSN 7530-02-000-9042 See Reverse for Instructions

7020 0090 0002 2022 1229

U.S. Postal Service™
CERTIFIED MAIL® RECEIPT
 Domestic Mail Only

For delivery information, visit our website at www.usps.com

OFFICIAL USE

Certified Mail Fee
 \$

Extra Services & Fees (check box, add fee as appropriate)

<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$

Postage
 \$

United States of America
 Dept. of Treasury, Internal Revenue Service
 c/o U.S. Attorney
 Office of the United States Attorney
 310 New Bern Avenue, Suite 800
 Raleigh, NC 27601-1461
 MH ltr 563 Nc Hwy 55 W

PS Form 3800, April 2015 PSN 7530-02-000-9042 See Reverse for Instructions

7020 0090 0002 2022 1243

U.S. Postal Service™
CERTIFIED MAIL® RECEIPT
 Domestic Mail Only

For delivery information, visit our website at www.usps.com

OFFICIAL USE

Certified Mail Fee
 \$

Extra Services & Fees (check box, add fee as appropriate)

<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$

Postage
 \$

Craven County
 c/o Arey W. Grady, Esq.
 Sumrell Sugg
 Post Office Drawer 889
 New Bern, NC 28563
 MH ltr 563 Nc Hwy 55 W

PS Form 3800, April 2015 PSN 7530-02-000-9042 See Reverse for Instructions



NEW BERN

CITY OF NEW BERN

300 Pollock Street, P.O. Box 1129
New Bern, NC 28563-1129
(252) 636-4000

Aldermen

Sabrina Bengel
Jameesha Harris
Robert V. Aster
Johnnie Ray Kinsey
Barbara J. Best
Jeffrey T. Odham

Dana E. Outlaw
Mayor
Mark A. Stephens
City Manager
Brenda E. Blanco
City Clerk
Mary M. Hogan
Director of Finance

FILED
2020 SEP 29 11 A 9:02
CRAVEN COUNTY, C.S.C.
BY MD

Certificate of Service
Amended
Complaint
(Residential Building or Structure)
Dwelling Unfit for Human Habitation)
and
Notice of Hearing/Notice of Lis Pendens

File No. 20M209

Re: 563 Nc Hwy 55 W, New Bern, NC

I further certify that on the 29th day of June 2020, I served a copy of the foregoing Complaint (Residential Building Or Structure) and Notice of Hearing/Notice of Lis Pendens upon the following persons by depositing a true and correct copy thereof in an envelope with proper postage affixed thereto for mailing by certified mail, return receipt requested, and also by placing a true and correct copy thereof in another envelope with proper postage affixed thereto for mailing by regular first class mail, and depositing said envelopes in a regular depository for the United States mail at New Bern, North Carolina, addressed as follows:

7020 0090 0002 2022 1205 ✓ Cert - Delv	Carl A Bell 866 Okelly Chapel Rd Durham, NC 27713	7020 0090 0002 2022 1212 ✓ Cert - Delv	Spouse of Carl A Bell, if any 866 Okelly Chapel Rd Durham, NC 27713
7020 0090 0002 2022 1229 ✓ Cert - Delv	United States of America Dept. of Treasury, Internal Revenue Service c/o U.S. Attorney Office of the United States Attorney 310 New Bern Avenue, Suite 800 Raleigh, NC 27601-1461	7020 0090 0002 2022 1243 ✓ Cert - Delv	Craven County c/o Arey W. Grady, Esq. Sumrell Sugg Post Office Drawer 889 New Bern, NC 28563
	United States of America Dept. of Treasury, Internal Revenue Service c/o U.S. Attorney General United States Department of Justice 950 Pennsylvania Avenue Washington, DC 20530 7020 0090 0002 2022 1236 ✓ Cert - Delv		

Patrick Ezel

From: Daryl Nelson
Sent: Thursday, October 1, 2020 10:34 AM
To: Patrick Ezel
Subject: RE: Demo Estimates

Patrick,

Demo 561 Hwy 55 west - \$7,460.00

✓ Demo 563 Hwy 55 west - \$2,315.00

565 Hwy 55 west - \$5,360.00 and has asbestos siding that will need to be removed first (not by us)

Daryl Nelson

Street Superintendent

City of New Bern

Public Works Department
1004 South Glenburnie Road
New Bern NC 28560

252-639-7519

From: Patrick Ezel <ezelp@newbernnc.gov>
Sent: Wednesday, September 30, 2020 4:40 PM
To: Daryl Nelson <nelsondr@newbernnc.gov>
Cc: Toby Hare <haret@newbernnc.gov>
Subject: Demo Estimates

Daryl,

I missed this one. We are trying to get all 3 of these ready for the 13 Oct Board meeting, but I forgot the demo estimates from you all. Any way that I could get these by 1200 tomorrow (1 Oct 2020).

561 NC Hwy 55 W

563 NC Hwy 55 W

565 NC Hwy 55 W

Thank you again and sorry about last minute stuff.

Patrick J. Ezel
Building Inspector 1
Minimum Housing Officer
Cell – 252-671-1781
Office – 252-639-2943
303 First Street
New Bern, NC
28560

Quote

SEND TO: City of New Bern

ATTN: Mr. Patrick Ezel

FROM: Josh Lane (EAE, Inc.)

JOB DESCRIPTION: Asbestos Abatement

SITE: Various Houses – City of New Bern

DATE: October 12, 2020



1. Asbestos Abatement (Parcel # 8-218-028) 565 NC 55 West, New Bern, NC	\$ 4,820.00
A. Asbestos Abatement of 1,650 SF of exterior siding.	
B. Asbestos Abatement of window and door caulking.	
C. Asbestos Abatement of Surfacing texture in the kitchen ceiling.	
2. Asbestos Abatement (Parcel # 8-218-029) 561 NC 55 West, New Bern, NC	\$ 2,970.00
A. Asbestos Abatement of window and door caulking.	
B. Asbestos Abatement of approx. 460 SF of floor tile.	
C. Asbestos Abatement of approx. 60 LF of sealant.	
3. Asbestos Abatement (Parcel # 8-218-3003) 563 NC 55 West, New Bern, NC	\$ 2,245.00
A. Asbestos Abatement of approx. 750 SF of asbestos cool seal roofing.	
B. Asbestos Abatement of window and door caulking.	
▪ Houses must be done at same time for pricing.	
▪ State permitting will be required on 565 NC 55 West	
Price Good For 180 Days	
TOTAL	\$ Itemized per parcel

450 Executive Parkway – New Bern, NC 28526

Office: (252)527-3052 Fax: (252)527-3055

450 Executive Parkway
New Bern, NC 28562 US
(252)527-3052
www.eae-inc.com



City of New Bern
300 Pollock Street
New Bern, NC 28560 US

7684	10/09/2020	\$250.00	10/09/2020	Due on receipt
------	------------	----------	------------	----------------

ACTIVITY	QTY	RATE	AMOUNT
	1	250.00	250.00

563 NC 55 West, New Bern, NC 28560

Parcel #8-218-3003

Full Asbestos Inspection

Please Remit Payment To:

Enviro Assessments East, Inc.

450 Executive Parkway,

New Bern, NC 28562

BALANCE DUE

Federal Tax ID # 22-3864208

For Billing Questions:

Contact Josh Lane

(o) 252-527-3052

Josh@eae-inc.com

Late Charge of 1.5% After 30 Days or 18% Annual

Patrick Ezel

From: Dentico, Kay <Kay.Dentico@duke-energy.com>
Sent: Wednesday, October 14, 2020 1:45 PM
To: Patrick Ezel
Subject: RE: [EXTERNAL] FW: Utility Service Termination Request 561, 563, and 565 NC Hwy 55 W

Hey Patrick,

*Comp Duke Power Gloc
10-15-2020*

Dustin Clayton completed the order I made this morning. He said they were all cut loose at pole and meter bases.

Please let me know if you need anything else.

WR NBR: 951AK
COMPL BY: RCLAY DATE: 10/14/20 TIME: 07:25
WORKED BY: CLAYTON, DUSTIN DATE: 10/14/20 TIME: 07:24

561, 563, 565 ARE ALL CUT LOOSE AT POLE AND CUT AT METER BASE

From: Patrick Ezel <ezelp@newbernnc.gov>
Sent: Tuesday, October 13, 2020 2:31 PM
To: Electrical Inspection Reports <ElectricalInspectionReports@duke-energy.com>
Cc: Dentico, Kay <Kay.Dentico@duke-energy.com>
Subject: [EXTERNAL] FW: Utility Service Termination Request 561, 563, and 565 NC Hwy 55 W

***** CAUTION! EXTERNAL SENDER *** STOP & THINK!** Do you know and trust this sender? Were you expecting this email? Are grammar and spelling correct? Does the content make sense? If suspicious, then do not click links, open attachments or enter your ID or password.

All,

Just checking in to see if there has been an update on these requests. Thank you again.

Patrick J. Ezel
Building Inspector 1
Minimum Housing Officer
Cell – 252-671-1781
Office – 252-639-2943
303 First Street
New Bern, NC
28560

From: Patrick Ezel
Sent: Thursday, October 1, 2020 9:34 AM
To: INSPECTIONS@PGNMAIL.COM; Dentico, Kay <Kay.Dentico@duke-energy.com>

Cc: Matthew Boswell <boswellm@newbernnc.gov>

Subject: Utility Service Termination Request 561, 563, and 565 NC Hwy 55 W

All,

Attached is a service termination request for three (3) properties on Hwy 55 W. If there is anything else that is needed or if there are any other questions, please let us know. Thank you again.

Patrick J. Ezel
Building Inspector 1
Minimum Housing Officer
Cell – 252-671-1781
Office – 252-639-2943
303 First Street
New Bern, NC
28560

NOTE: Please be advised, City of New Bern email addresses changed to user@newbernnc.gov as of October 23rd 2018. Please update your address book accordingly. Thank you for your assistance with this change. -----

----- If
you are not the intended recipient, you must destroy this message and inform the sender immediately. This electronic mail message and any attachments, as well as any electronic mail message(s) sent in response to it may be considered public record and as such subject to request and review by anyone at any time. It also may contain information which is confidential within the meaning of applicable federal and state laws.

NOTE: Please be advised, City of New Bern email addresses changed to user@newbernnc.gov as of October 23rd 2018. Please update your address book accordingly. Thank you for your assistance with this change. -----

----- If
you are not the intended recipient, you must destroy this message and inform the sender immediately. This electronic mail message and any attachments, as well as any electronic mail message(s) sent in response to it may be considered public record and as such subject to request and review by anyone at any time. It also may contain information which is confidential within the meaning of applicable federal and state laws.

PNG *comp* 10.19.2020

SERVICE TERMINATION

401 Executive Parkway, New Bern, NC 28562/ Fax: 252-638-4718

After completion of this section, Inspections Department will fax the request.

DEMOLITION LOCATION: 563 NC Hwy 55 W, New Bern, NC Date: 10-01-2020
SERVICE ADDRESS: 563 NC Hwy 55 W (Parcel ID # 8-218-3003)
TOWN/CITY: NEW BERN, NC
CONTRACTOR: City of New Bern
NAME:
ADDRESS: FAX:

INSPECTIONS: Patrick Ezel *Patrick J Ezel*
INSPECTION DEPARTMENT PO BOX 1129 NEW BERN NC 28563
TELEPHONE: 252-639-2943 FAX 252-635-4973
RETURN RELEASE BY FAX A.S.A.P. Or email to: ezelp@newbernnc.gov

Comments:

SIGNED: *Logan T Pesde* TITLE Ops Tech
DATE: 10/14/2020

CAM USE

PREMISE NUMBER: METER NUMBER: UTILITY CONTACT
NUMBER: OPS CENTER:

Please call N.C. ONE CALL at 1-800-632-4949 prior to any demolition or excavation work, so gas facilities can be located within private easements and public right-of-ways.

FOR DEMOLITION

Trudy.Tyras@duke-energy.com

NOTICE TO TERMINATE UTILITY SERVICE

WORK ORDER

To: Dalton Gaskins Water Sewage Department,
Robert Bailey, Water Sewage Department
Vanessa Ellison, Water Sewage Department
Melissa Garlis, Water Sewage Department
Andy Bronokowski, Water Sewage Department
From: Patrick Ezel, Building Inspector

Reference: TERMINATION OF UTILITY SERVICES

*water
comp 10.15.2020*

Date: 10-01-2020

Address: 563 NC Why 55 W (Parcel ID # 8-218-3003)

s/o 13083975

WORK TO BE PERFORMED

_____ please terminate the water service ASAP due to the hazards found which effect the health, welfare, and safety to the general public.

☒ please remove the water meter for Demolition purposes.

☒ please cap off the sewage line due to scheduled demolition.

Patrick J Ezel

Patrick J Ezel

Building Inspector

252-6392943

*W+S
out Reading 469 → Mtk # 41035861*

Please complete this request form after the work has been done and return it via email to ezelp@newbernnc.gov or fax it to 252-635-4973

10-4-20 Date work request was completed.

King Danner #169 Signature of employee that completed the work.

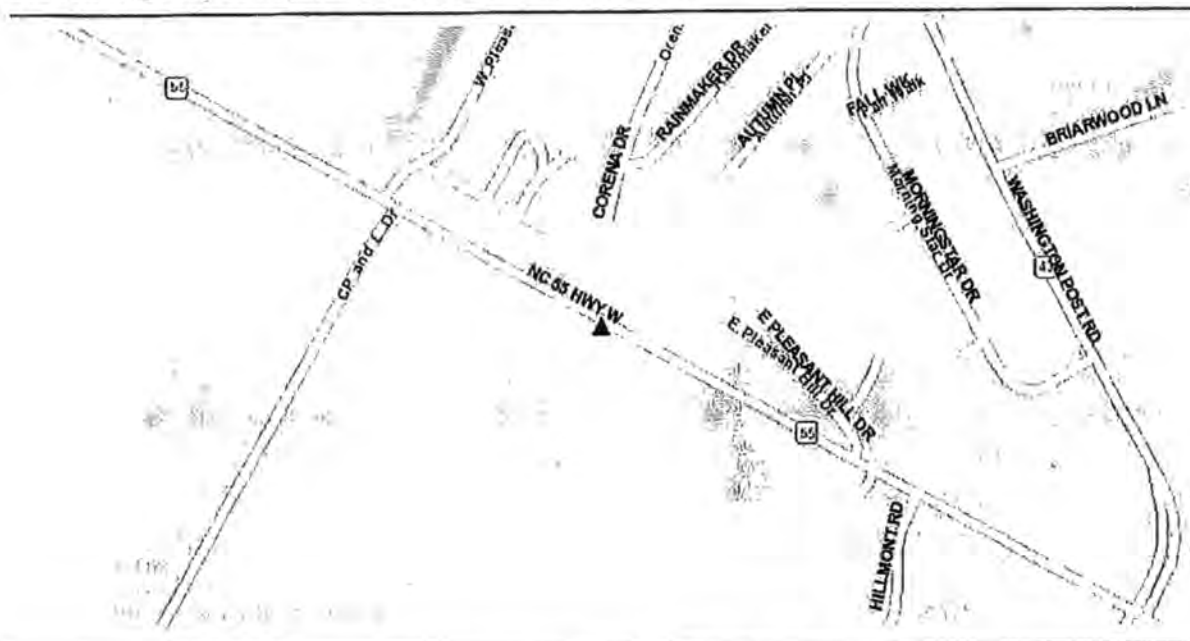
FOR DEMOLITION

bjlling@newbernnc.gov

Work Item Report

Water System | Water Meter Removal | 13083975

563 NC Highway 55 W, New Bern, North Carolina 28562



Collected By ellisonv

Collected Date 10/1/2020 2:45:41 PM

Modified By ellisonv

Modified Date 10/1/2020 2:45:41 PM

Status New Request

Priority 5

Asset Id _____

Layer Name _____

Description #169 - Remove Water Meter for demolition purposes per P. Ezel in the Inspections Dept.
(Water Meter# 41035861)

Comments _____

Customer Information

Customer Name _____

Customer Phone
Number _____

Meter Information

Old Meter
Number _____

Out Reading _____

New Meter
Number _____

In Reading _____

Is AMI Active? Yes

Service Type Residential

Meter Size .75 in

If Other, Meter
Size _____

Installed By _____

Itron Meters

ERT Number _____

NOTICE TO TERMINATE UTILITY SERVICE

WORK ORDER

To: Dalton Gaskins Water Sewage Department,
Robert Bailey, Water Sewage Department
Vanessa Ellison, Water Sewage Department
Melissa Garis, Water Sewage Department
Andy Bronokowski, Water Sewage Department
From: Patrick Ezel, Building Inspector

Reference: TERMINATION OF UTILITY SERVICES

Date: 10-01-2020

Address: 563 NC Hwy 55 W (Parcel ID # 8-218-3003)

WORK TO BE PERFORMED

_____ please terminate the water service ASAP due to the hazards found which effect the health, welfare, and safety to the general public.

☒ please remove the water meter for Demolition purposes.

☒ please cap off the sewage line due to scheduled demolition.

TIED INTO SAME LINE AS 561 NC Hwy 55 W

Patrick J Ezel

Patrick J Ezel

Building Inspector

252-6392943

Please complete this request form after the work has been done and return it via email to ezelp@newbernnc.gov or fax it to 252-635-4973

10/8/2020 Date work request was completed.



Signature of employee that completed the work.

FOR DEMOLITION

billing@newbernnc.gov

AGENDA ITEM COVER SHEET

Agenda Item Title:

Consider Adopting an Ordinance for the Demolition of 565 NC Highway 55 West.

Date of Meeting: 11/10/2020	Ward # if applicable: Ward 5
Department: Development Services	Person Submitting Item: Jeff Ruggieri, Director of Development Services
Call for Public Hearing: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Date of Public Hearing: N/A

Explanation of Item:	Staff is seeking approval of an Ordinance to demolish the structure located at 565 NC Highway 55 West.
Actions Needed by Board:	Adopt Ordinance
Backup Attached:	Memo, Ordinance, Chronological Order of Events

Is item time sensitive? <input type="checkbox"/> Yes <input type="checkbox"/> No
Will there be advocates/opponents at the meeting? <input type="checkbox"/> Yes <input type="checkbox"/> No

Cost of Agenda Item:
If this requires an expenditure, has it been budgeted and are funds available and certified by the Finance Director? <input type="checkbox"/> Yes <input type="checkbox"/> No

Additional Notes:



MEMORANDUM

TO: Mayor Dana Outlaw, City of New Bern Board of Aldermen

FROM: Jeff Ruggieri, Director Development Services

DATE: October 29, 2020

SUBJECT: Consider Adopting an Ordinance for the Demolition of 565 NC Highway 55 West.

Staff is seeking approval of an ordinance to demolish the structure located at 565 NC Highway 55 West.

On January 7, 2020 pictures were taken of the dilapidated home located at 565 NC Highway 55 West and a Minimum Housing Violation letter was mailed to the owner of record. After no contact from the owner a Minimum Housing Violation follow up letter was mailed on May 19, 2020.

On June 26, 2020 a notice of hearing was mailed to the owner of record with no response. A hearing before the building inspector was conducted on July 14, 2020, the owner was properly notified of the hearing but was not present. The order granted the owner 60 days to repair the home and comply with minimum housing standards.

To date no permits have been applied for and the structure remains non-compliant.

A complete list of chronological events related to the property as well as pictures are attached.

Prepared by and return to:

Michael Scott Davis
DAVIS HARTMAN WRIGHT PLLC
209 Pollock Street
New Bern, NC 28560

AN ORDINANCE TO ORDER THE DEMOLITION OF A DWELLING UNFIT FOR HUMAN HABITATION LOCATED AT 565 WEST NC HIGHWAY 55 IN THE CITY OF NEW BERN, NORTH CAROLINA

THAT WHEREAS, the City of New Bern properly served A. Carl Bell and Spouse, if any ("Owners"), on June 29, 2020, pursuant to Section 38-30 of the Code of Ordinances for the City of New Bern, complaining and alleging that the dwelling owned by Owners located at 565 West NC Highway 55 in the City of New Bern, North Carolina (Craven County parcel identification number 8-218-028) is unfit for human habitation; and

WHEREAS, the Owners of the certain dwelling located at 565 West NC Highway 55 in the City of New Bern, North Carolina ("Subject Property") were ordered to remove or demolish the dwelling located on the Subject Property and clear the debris therefrom, or to repair, alter, or improve said dwelling to comply with the minimum standards established by Chapter 38 of the Code of the City of New Bern by September 14, 2020; and

WHEREAS, the Owners have been given a reasonable opportunity to comply with the aforementioned Order of the Building Inspector; and

WHEREAS, the Owners have failed to remove or demolish the dwelling and clear the debris therefrom, or to repair, alter or improve said dwelling to comply with the minimum standards established by Chapter 38 of the Code of the City of New Bern, as directed in said Order.

**NOW, THEREFORE, BE IT ORDAINED BY THE BOARD OF ALDERMEN OF
THE CITY OF NEW BERN:**

Section 1. That the Building Inspector of the City of New Bern is ordered to remove or demolish the dwelling located on the Subject Property at 565 West NC Highway 55 in the City of New Bern, North Carolina, more particularly described as follows:

SEE EXHIBIT A ATTACHED HERETO.

Section 2. That the Building Inspector of the City of New Bern is ordered to sell the materials of the dwelling that are salvageable and shall credit the proceeds of the sale against the cost of the removal or demolition, and any balance remaining shall be deposited with the Clerk of Superior Court of Craven County, shall be secured in a manner directed by the court, and shall be disbursed by the court to the persons found to be entitled thereto by final order or decree of the court.

Section 3. That this ordinance shall be in full force and effect from and after its adoption.

ADOPTED THIS 10th DAY OF NOVEMBER, 2020.

DANA E. OUTLAW, MAYOR

BRENDA E. BLANCO, CITY CLERK

EXHIBIT A

All that certain tract or parcel of land lying and being situate in Number Eight (8) Township, Craven County, North Carolina, being more particularly described as follows:

BEGINNING at a point in the southern right-of-way line of NC Hwy. 55 in the Pleasant Hill Community which point lies the following courses and distances from the centerline intersection of Pleasant Hill Road and NC Hwy. 55: South $54^{\circ} 04' 59''$ East 933.53 feet to the aforementioned point of beginning. Thence from said point of beginning along and with the southern right-of-way line of NC Hwy. 55 South $57^{\circ} 00' 00''$ East 60.00 feet to a point in the property line of Ruby Humphrey as the same is shown in Deed Book 1592, Page 682 of the Craven County Registry; thence along and with said property line South $33^{\circ} 00' 02''$ West 153.34 feet to a point; thence North $56^{\circ} 30' 00''$ West 60.00 feet to an iron pipe; thence North $33^{\circ} 00' 00''$ East 152.82 feet to the aforementioned point of beginning. This was taken from that certain plat of survey entitled "ReSurvey of Lot 6 & Portion Lot 5 The Hahn Land and 7.095 Sq Ft Parcel for A. Carl and Deborah H. Bell" by Jerry R. Ryan, PLS, dated June 6, 2002, reference to which is made for a more accurate description.

CHRONOLOGICAL ORDER OF EVENTS

565 NC Hwy 55 W

10/22/2020

[illegible]

CASE: 56⁵ NC Hwy 55W

NARRATIVES:

Inspector: Petrok

DATE: 5-14-2020

Owner: Carl Bell 910 638 5000?

Zone: R-20

Intent:

Planned: X

W-5

Owes Taxes: Co: -310.76 Ci: 213.61

Ald Best 637 7419

- Boarded up by Owner 31 Jan 2019

5-19-2020 Follow up letter sent

6-4-2020 Comp Saved

6-24-2020 TOR received

6-26-2020 Site visit to Verify pics prior to Comp.

7-14-2020 OBI, dilapidated, 14 Sept 2020 Comp.

7-15-2020 OBI marked

8-3-2020 BI calls CB no answer, unable to leave message

8-17-2020 BI call CB, no answer, unable to leave message

9-8-2020 BI call CB, no answer, unable to leave message

9-18-2020 BI call CB, no answer, unable to leave message.

9-28-2020 Amended COS for Comp + OBI done.

Craven County Geographic Information System

Craven County does NOT warrant the information shown on this page and should be used ONLY for tax assessment purposes.

This report was created by Craven County GIS reporting services on 1/7/2020 10:07:06 AM

same as 5-147020

Parcel ID : 8-218 -028
Owner : BELL, A CARL
Mailing Address : 866 OKELLY CHAPEL RD DURHAM NC 27713
Property Address : 565 W NC 55 HWY
Description : NEUSE RD
Lot Description : 60 X 153



Assessed Acreage : 0.223 Calculated Acreage : 0.220
Deed Reference : 2111-0638 Recorded Date : 10 31 2003
Recorded Survey :
Estate Number : *25,000 - 30,000*
Land Value : \$13,500 Tax Exempt : No
Real Improvement Value : \$28,690 # of Improvements : 2
Total Value : \$42,190
City Name : NEW BERN Fire tax District :
Drainage District : Special District :
Land use : RESIDENTIAL - ONE FAMILY UNIT

Recent Sales Information

SALE DATE	Sellers Name	Buyers Name	Sale Type	Sale Price
10/31/2003	CITIFINANCIAL SERVICES INC	BELL, A CARL	MULTI-PARCEL-SALE	\$0
2/2/2000	WALLACE, AUDREY H J	CITIFINANCIAL SERVICES INC	STRAIGHT TRANSFER	\$35,000
10/17/1997	HUMPHREY, RUBY	WALLACE, AUDREY H J	STRAIGHT TRANSFER	\$0

List of Improvements to Site

Type of Structure	Year Built	Base Area 1st Floor	Value
RESIDENTIAL CONSTRUCTION	1960	1066	\$24,860
STORAGE BUILDING-DETACHED-RES	1960	640	\$3,830

565 NC Hwy 55 W

1-7-2020



DAVIS HARTMAN WRIGHT, PLLC
Attorney's Report on Title

RE: 565 West NC Highway 55 (Tax Parcel # 8-218-028)

TITLE VESTED IN A. CARL BELL AND SPOUSE, IF ANY

BY THE FOLLOWING INSTRUMENT:

Type: Limited Warranty Deed
Dated: October 31, 2003
Recorded: October 31, 2003
Book: 2111 Page: 638
Registry: Craven County

LEGAL DESCRIPTION OF PROPERTY:

All that certain lot or parcel of land lying and being in Number Eight Township, Craven County, North Carolina, and being more particularly described as follows:

BEGINNING at a point in the southern right-of-way line of NC Hwy. 55 in the Pleasant Hill Community which point lies the following courses and distances from the centerline intersection of Pleasant Hill Road and NC Hwy. 55: South 54° 04' 59" East 933.53 feet to the aforementioned point of beginning. Thence from said point of beginning along and with the southern right-of-way line of NC Hwy. 55 South 57° 00' 00" East 60.00 feet to a point in the property line of Ruby Humphrey as the same is shown in Deed Book 1592, Page 682 of the Craven County Registry; thence along and with said property line South 33° 00' 02" West 153.34 feet to a point; thence North 56° 30' 00" West 60.00 feet to an iron pipe; thence North 33° 00' 00" East 152.82 feet to the aforementioned point of beginning. This was taken from that certain plat of survey entitled "ReSurvey of Lot 6 & Portion Lot 5 The Hahn Land and 7.095 Sq Ft Parcel for A. Carl and Deborah H. Bell" by Jerry R. Ryan, PLS, dated June 6, 2002, reference to which is made for a more accurate description.

TAXES LISTED IN THE NAME OF: A. Carl Bell, 866 Okelly Chapel Road, Durham, NC 27713

Township: Eight 2020 Real Valuation: \$42,190.00
Municipality: New Bern

ABOVE PROPERTY IS SUBJECT TO:

- (a) Taxes and assessments: Taxes due Craven County and City of New Bern 2011-2019
- (b) Mortgages, deeds of trust, vendors, liens: NONE.
- (c) Judgments: Internal Revenue Service federal tax lien
- (d) Mechanics' and materialmen's liens, known or recorded: NONE.
- (e) Liens in favor of state or federal government: NONE.
- (f) Lis pendens. NONE.

- (g) Leases, known or recorded: NONE.
- (h) Easements, restrictions, exceptions, reservations, limitations, conditions: NONE.
- (i) Other objections and defects: Any matters that an accurate survey might show.
- (j) Period of title search: From October 31, 2003 through June 24, 2020 at 11:30 a.m.

THIS 24th DAY OF JUNE, 2020.

Respectfully submitted,

DAVIS HARTMAN WRIGHT, PLLC

By: _____

A handwritten signature in black ink, appearing to read 'Michael Scott Davis', written over a horizontal line.

Michael Scott Davis

EXHIBIT A

All that certain lot or parcel of land lying and being in Number Eight Township, Craven County, North Carolina, and being more particularly described as follows:

BEGINNING at a point in the southern right-of-way line of NC Hwy. 55 in the Pleasant Hill Community which point lies the following courses and distances from the centerline intersection of Pleasant Hill Road and NC Hwy. 55: South 54° 04' 59" East 933.53 feet to the aforementioned point of beginning. Thence from said point of beginning along and with the southern right-of-way line of NC Hwy. 55 South 57° 00' 00" East 60.00 feet to a point in the property line of Ruby Humphrey as the same is shown in Deed Book 1592, Page 682 of the Craven County Registry; thence along and with said property line South 33° 00' 02" West 153.34 feet to a point; thence North 56° 30' 00" West 60.00 feet to an iron pipe; thence North 33° 00' 00" East 152.82 feet to the aforementioned point of beginning. This was taken from that certain plat of survey entitled "ReSurvey of Lot 6 & Portion Lot 5 The Hahn Land and 7.095 Sq Ft Parcel for A. Carl and Deborah H. Bell" by Jerry R. Ryan, PLS, dated June 6, 2002, reference to which is made for a more accurate description.

STATE OF NORTH CAROLINA

COUNTY OF CRAVEN

CITY OF NEW BERN,

BEFORE THE BUILDING INSPECTOR

OF THE CITY OF NEW BERN

FILE NO. 20M208

2020 JUN 26 A 9:11
Plaintiff

BY

v.

CARL A BELL AND SPOUSE, if any,
Defendants-Owners

CRAVEN COUNTY, CITY OF NEW
BERN and INTERNAL REVENUE
SERVICE,

Lienholders

COMPLAINT

(Residential Building or Structure)
(Dwelling Unfit for Human Habitation)

AND
NOTICE OF HEARING/
NOTICE OF LIS PENDENS

THE CITY OF NEW BERN ALLEGES AND SAYS THAT:

1. In accordance with North Carolina General Statutes Section 160A, Article 19, Part 6, and Chapter 38-29 of the Code of the City of New Bern ("Chapter 38"), the undersigned Building Inspector for the City of New Bern has done a preliminary investigation to determine if the dwelling identified herein has been properly maintained so that the safety and health of its occupants are not jeopardized for failure of the property to meet the minimum standards established by Chapter 38 and to determine if the dwelling identified is unfit for human habitation.

2. The preliminary investigation has disclosed that there is a basis for believing that the residential building or structure located at 565 North Carolina Highway 55 West, New Bern, North Carolina, which bears Craven County parcel identification number 8-218-028, is in violation of the minimum standards established by Chapter 38 and is unfit for human habitation as evidenced by the following:

a. The roof has not been properly maintained allowing the entrance of moisture.

b. The exterior of the dwelling has not been properly maintained resulting in holes in the exterior walls.

c. The interior of the dwelling has not been properly maintained resulting in damage to sub-floor, floor joist, holes in the floor, water damage to floor system, water damage to walls, water damage to ceiling, and holes in the interior walls and floor.

- d. The dwelling has broken and missing windows and doors.
 - e. The electrical system has not been properly maintained resulting in hanging and exposed meter bases, missing and rusty circuit breakers, exposed panel box, and signs of water damage to various electrical sockets.
 - e. The dwelling does not have water and sewer.
 - f. The dwelling does not have smoke detectors.
3. A hearing will be held on the **14th Day of July, 2020, at 2:00 p.m.** in the office of the City Building Inspector located at 303 First Street, New Bern, North Carolina.
4. You have the right to file an answer to this Complaint by writing to the Building Inspector of the City of New Bern, P.O. Box 1129, New Bern, NC 28563-1129.
5. You have the right to appear at the above-scheduled hearing, in person or otherwise, and give testimony.
6. The rules of evidence prevailing in courts of law or equity shall not be controlling in hearings before the City Building Inspector.
7. Following the hearing, the undersigned Building Inspector may issue an order to repair, alter, improve, vacate and close, or remove or demolish the structures and clear the debris therefrom, as appears appropriate. Failure to comply with an order of the Building Inspector will result in the assessment of the following civil penalties as required by Code Section 38-5 of the Code of Ordinances of the City of New Bern:
- The sum of \$500.00 for failure to comply with said order within thirty-one (31) days of its expiration;
 - An additional sum of \$1,000.00 (for a total sum of \$1,500.00) for failure to comply with said order within sixty-one (61) days of its expiration;
 - An additional sum of \$1,500.00 (for a total sum of \$3,000.00) for failure to comply with said order within ninety-one (91) days of its expiration;
 - An additional sum of \$2,000.00 (for a total sum of \$5,000.00) for failure to comply with said order within one hundred twenty-one (121) days of its expiration; and
 - An additional sum of \$2,000.00 (\$5,000.00 plus \$2,000.00 per month) for each additional thirty (30) days, or fraction thereof, for failure to comply with said order after one hundred twenty-one (121) days of its expiration.

This 26th Day of June, 2020.

Patrick J Ezel

Patrick J Ezel
Building Inspector
Minimum Housing Officer
City of New Bern
(252) 639-2943

79TH
CERTIFICATE OF SERVICE

I hereby certify that on the 26th Day of June, 2020, I served a copy of the foregoing Complaint (Residential Building Or Structure) and Notice of Hearing/Notice of Lis Pendens upon the following persons by depositing a true and correct copy thereof in an envelope with proper postage affixed thereto for mailing by certified mail, return receipt requested, and also by placing a true and correct copy thereof in another envelope with proper postage affixed thereto for mailing by regular first class mail, and depositing said envelopes in a regular depository for the United States mail at New Bern, North Carolina, addressed as follows:

Carl A Bell
866 Okelly Chapel Rd
Durham, NC 27713

Spouse of Carl A Bell, if any
866 Okelly Chapel Rd
Durham, NC 27713

United States of America
Dept. of Treasury, Internal Revenue Service
c/o U.S. Attorney
Office of the United States Attorney
310 New Bern Avenue, Suite 800
Raleigh, NC 27601-1461

Craven County
c/o Arey W. Grady, Esq.
Sumrell Sugg
Post Office Drawer 889
New Bern, NC 28563

United States of America
Dept. of Treasury, Internal Revenue Service
c/o U.S. Attorney General
United States Department of Justice
950 Pennsylvania Avenue
Washington, DC 20530

I further certify that on the 26th Day of June, 2020, I personally delivered a copy of the foregoing Complaint (Residential Building Or Structure) and Notice of Hearing/Notice of Lis Pendens to the following persons at the addresses indicated:

Mark Stephens, City Manager
City of New Bern
300 Pollock Street
New Bern, NC 28560

Patrick J Ezel

Patrick J Ezel
Building Inspector
Minimum Housing Officer
City of New Bern
(252) 639-2943

7020 0090 0002 2022 0345

U.S. Postal Service™
CERTIFIED MAIL® RECEIPT
 Domestic Mail Only

For delivery information, visit our website at www.usps.com™.

OFFICIAL USE

Certified Mail Fee

\$

Extra Services & Fees (check box, add fee as appropriate)

- ☐ Return Receipt (hardcopy) \$
☐ Return Receipt (electronic) \$
☐ Certified Mail Restricted Delivery \$
☐ Adult Signature Required \$
☐ Adult Signature Restricted Delivery \$

Postage

Spouse of Carl A Bell, if any
 866 Okelly Chapel Rd
 Durham, NC 27713
 MH ltr 565 NC Hwy 55 W

PS Form 3800, April 2015 PSN 7530-02-000-9047

See Reverse for Instructions

7020 0090 0002 2022 0338

U.S. Postal Service™
CERTIFIED MAIL® RECEIPT
 Domestic Mail Only

For delivery information, visit our website at www.usps.com™.

OFFICIAL USE

Certified Mail Fee

\$

Extra Services & Fees (check box, add fee as appropriate)

- ☐ Return Receipt (hardcopy) \$
☐ Return Receipt (electronic) \$
☐ Certified Mail Restricted Delivery \$
☐ Adult Signature Required \$
☐ Adult Signature Restricted Delivery \$

Postage

Carl A Bell
 866 Okelly Chapel Rd
 Durham, NC 27713
 MH ltr 565 NC Hwy 55 W

PS Form 3800, April 2015 PSN 7530-02-000-9047

See Reverse for Instructions

7020 0090 0002 2022 0369

U.S. Postal Service™
CERTIFIED MAIL® RECEIPT
 Domestic Mail Only

For delivery information, visit our website at www.usps.com™.

OFFICIAL USE

Certified Mail Fee

\$

Extra Services & Fees (check box, add fee as appropriate)

- ☐ Return Receipt (hardcopy) \$
☐ Return Receipt (electronic) \$
☐ Certified Mail Restricted Delivery \$
☐ Adult Signature Required \$
☐ Adult Signature Restricted Delivery \$

Postage

United States of America
 Dept. of Treasury, Internal Revenue Service
 c/o U.S. Attorney
 Office of the United States Attorney
 310 New Bern Avenue, Suite 800
 Raleigh, NC 27601-1461
 MH ltr 565 NC Hwy 55 W

PS Form 3800, April 2015 PSN 7530-02-000-9047

See Reverse for Instructions

7020 0090 0002 2022 0352

U.S. Postal Service™
CERTIFIED MAIL® RECEIPT
 Domestic Mail Only

For delivery information, visit our website at www.usps.com™.

OFFICIAL USE

Certified Mail Fee

\$

Extra Services & Fees (check box, add fee as appropriate)

- ☐ Return Receipt (hardcopy) \$
☐ Return Receipt (electronic) \$
☐ Certified Mail Restricted Delivery \$
☐ Adult Signature Required \$
☐ Adult Signature Restricted Delivery \$

Postage

Craven County
 c/o Arey W. Grady, Esq.
 Sumrell Sugg
 Post Office Drawer 889
 New Bern, NC 28563
 MH ltr 565 NC Hwy 55 W

PS Form 3800, April 2015 PSN 7530-02-000-9047

See Reverse for Instructions

7020 0090 0002 2022 0376

U.S. Postal Service™
CERTIFIED MAIL® RECEIPT
 Domestic Mail Only

For delivery information, visit our website at www.usps.com™.

OFFICIAL USE

Certified Mail Fee

\$

Extra Services & Fees (check box, add fee as appropriate)

- ☐ Return Receipt (hardcopy) \$
☐ Return Receipt (electronic) \$
☐ Certified Mail Restricted Delivery \$
☐ Adult Signature Required \$
☐ Adult Signature Restricted Delivery \$

Postage

United States of America
 Dept. of Treasury, Internal Revenue Service
 c/o U.S. Attorney General
 United States Department of Justice
 950 Pennsylvania Avenue
 Washington, DC 20530
 MH ltr 565 NC Hwy 55 W

PS Form 3800, April 2015 PSN 7530-02-000-9047

See Reverse for Instructions

CERTIFICATE OF SERVICE

I hereby certify that on the 26th Day of June, 2020, I served a copy of the foregoing Complaint (Residential Building Or Structure) and Notice of Hearing/Notice of Lis Pendens upon the following persons by depositing a true and correct copy thereof in an envelope with proper postage affixed thereto for mailing by certified mail, return receipt requested, and also by placing a true and correct copy thereof in another envelope with proper postage affixed thereto for mailing by regular first class mail, and depositing said envelopes in a regular depository for the United States mail at New Bern, North Carolina, addressed as follows:

Carl A Bell *Reg -*
866 Okelly Chapel Rd *cert - Delv*
Durham, NC 27713
7020 0090 0002 2022 0338

United States of America
Dept. of Treasury, Internal Revenue Service
c/o U.S. Attorney *Reg -*
Office of the United States Attorney *cert - Delv*
310 New Bern Avenue, Suite 800
Raleigh, NC 27601-1461
7020 0090 0002 2022 0369

United States of America
Dept. of Treasury, Internal Revenue Service
c/o U.S. Attorney General *Reg -*
United States Department of Justice *cert - Delv*
950 Pennsylvania Avenue
Washington, DC 20530
7020 0090 0002 2022 0376

Spouse of Carl A Bell, if any *Reg -*
866 Okelly Chapel Rd *cert - Delv*
Durham, NC 27713
7020 0090 0002 2022 0345
Craven County
c/o Arey W. Grady, Esq. *Reg - Delv*
Sumrell Sugg *cert -*
Post Office Drawer 889
New Bern, NC 28563
7020 0090 0002 2022 0352

I further certify that on the 26th Day of June, 2020, I personally delivered a copy of the foregoing Complaint (Residential Building Or Structure) and Notice of Hearing/Notice of Lis Pendens to the following persons at the addresses indicated:

Mark Stephens, City Manager
City of New Bern
300 Pollock Street
New Bern, NC 28560

Patrick J Ezel

Patrick J Ezel
Building Inspector
Minimum Housing Officer
City of New Bern
(252) 639-2943

DATE: 7-14-2020 ADDRESS: 565 NC Hwy 55 W 1 Parcel ID#

ATTENDEES: Patrick Greel (City of New Bern)

OBSERVERS

NOTIFIED BUT NOT PRESENT: Carl Bell + spouse if any. (see comp + OBI)

VIOLATIONS: Roof, exterior, interior, electrical, plumbing, HVAC
Smoke/CO detect., weeds + debris

OWNERS: INTENTIONS: Unknown

NOTES: All mail notification deliv w/con

STATUS OF DWELLING: Dilapidated FINDINGS:

ORDER WILL READ: 60 days compliance

North Carolina
City of New Bern

2020 JUL 15 A 9:27

Before the Building
Inspector of the City of New Bern

File# **20 M 208**

Order of the Building

Inspector of the

City of New Bern

The City of New Bern,
Plaintiff
-VS-

CARL A BELL AND SPOUSE, if any,
Defendants-Owners

CRAVEN COUNTY, CITY OF NEW BERN and
INTERNAL REVENUE SERVICE,
Lienholders

This matter came on to be heard and was heard before the undersigned Building Inspector of the City of New Bern, at a hearing in the office of the Building Inspector of the City of New Bern on the 14th Day of July, 2020; and

Upon Hearing evidence and testimony in this matter, the Building Inspector of the City of New Bern found the following facts:

1. Patrick J Ezel, Building Inspector appeared on behalf of the City of New Bern. No other person (s) where present.
2. The following were properly notified but not present; Carl A Bell and Spouse if any, Craven County and or Arey W. Grady, Esq, Sumrell Sugg, United States of America, Department of Treasury, Internal Revenue Services, Attorney General, and or Department of Justice.
3. Carl Bell, is the owner of the real property located at 565 North Carolina Highway 55 West, New Bern, North Carolina, and further identified by Craven County Tax Identification number 8-218-028.
4. The dwelling located at 565 North Carolina Highway 55 West, New Bern, North Carolina does not meet the Minimum housing standard set forth in Chapter 38 of the City of New Bern's Ordinance due to deterioration and defects, increasing the hazard of fire, accidents, or other calamities.
5. The dwelling is presently vacant.

6. It is the opinion of the Inspections Department of the City of New Bern that the dwelling cannot be repaired, altered, or improved to comply with the minimum standards established by Chapter 38 of the Code of the City of New Bern at a cost less than seventy-five (75%) percent of the value, and, therefore, it is a **dilapidated** dwelling as defined by Chapter 38 of the Code of the City of New Bern. As a result, thereof, no one shall reside in or occupy said dwelling.

7. The aforesaid dwelling must remain vacated, closed, secured and must be repaired, altered, improved **or** demolished/removed to comply with the minimum standards established by Chapter 38 of the Code of the City of New Bern.

8. The Subject dwelling requires work to be performed by subcontractors to bring it into compliance with the minimum standards established by Chapter 38 of the Code of the City of New Bern. All work such as electrical, plumbing, gas, heating and air conditioning must be performed by persons licensed by the State of North Carolina to perform such work and shall be inspected as required by law. Electrical service will only be provided with a temporary service pole or a generator with city noise restrictions applying.

9. After finding the aforementioned facts, the Building Inspector ordered that the Owners shall:

a. Repair, alter, improve, or remove/demolish said dwelling to comply with the minimum standards, established by Chapter 38 of the Code of the City of New Bern no later than **September 14, 2020**.

b. Ensure all permits are obtained prior to work beginning.

c. Ensure that all mechanical work be performed by persons licensed by the State of North Carolina to perform such work, and that all such work is inspected as required by law.

d. Ensure that lead paint, if any, on the exterior of said dwelling is abated in compliance with the regulations enforced by the Craven County Health Department.

e. Property and structure (s) to be brought into compliance with Article XVI of the Appendix A of the Land Use Ordinance of the City of New Bern, which is commonalty, called the Flood Plain Ordinance, Flood Plain Damage Prevention.

f. Shall be assessed a civil penalty as required by the City Code Section 38-5 as follows:

- The sum of \$500.00 for failure to comply with said order within thirty-one (31) days of its expiration;

- An additional sum of \$1,000.00 (for a total sum of \$1,500.00) for failure to comply with said order within sixty-one (61) days of its expiration;
- An additional sum of \$1,500.00 (for a total sum of \$3,000.00) for failure to comply with said order within ninety-one (91) days of its expiration;
- An additional sum of \$2,000.00 (for a total sum of \$5,000.00) for failure to comply with said order within one hundred twenty-one (121) days of its expiration; and
- An additional sum of \$2,000.00 (\$5,000.00 plus \$2,000.00 per month) for each additional 30-days or fraction thereof for failure to comply with said order after one hundred twenty-one (121) days of its expiration.

This 14th Day of July 2020

Patrick J Ezel

Patrick J Ezel
Building Inspector
Minimum Housing Officer
City of New Bern
252-639-2943

Certificate of Service

Re: 565 ^{NC} ~~NN~~ Hwy 55 W, New Bern, NC ^{17th}

I hereby certify that on the 14th Day of July 2020, I served a copy of the foregoing **Order of the Building Inspector** upon the following persons by depositing a true and correct copy thereof in an envelope with proper postage affixed thereto for mailing by certified mail, return receipt requested, and also by placing a true and correct copy thereof in another envelope with proper postage affixed thereto for mailing by regular first class mail, and depositing said envelopes in a regular depository for the United States mail at New Bern, North Carolina, addressed as follows:

Carl A Bell
866 Okelly Chapel Rd
Durham, NC 27713
United States of America
Dept. of Treasury, Internal Revenue Service
c/o U.S. Attorney
Office of the United States Attorney
310 New Bern Avenue, Suite 800
Raleigh, NC 27601-1461
United States of America
Dept. of Treasury, Internal Revenue Service
c/o U.S. Attorney General
United States Department of Justice
950 Pennsylvania Avenue
Washington, DC 20530

Spouse of Carl A Bell, if any
866 Okelly Chapel Rd
Durham, NC 27713
Craven County
c/o Arey W. Grady, Esq.
Sumrell Sugg
Post Office Drawer 889
New Bern, NC 28563

I further certify that on the 14th Day of July, 2020, I personally delivered a copy of the foregoing Order of the Building Inspector (Residential Building Or Structure) to the following person (s) at the address (s) indicated:

Mark Stephens, City Manager
City of New Bern
300 Pollock Street
New Bern, NC 28560

Patrick J Ezel

Patrick J Ezel
Building Inspector
Minimum Housing Officer
City of New Bern
252-639-2943

7020 0090 0002 2022 0734

U.S. Postal Service™
CERTIFIED MAIL® RECEIPT
 Domestic Mail Only

For delivery information, visit our website at www.usps.com

OFFICIAL USE

Certified Mail Fee
 \$

Extra Services & Fees (check box, add fee as appropriate)

<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$

Postage

Craven County
 c/o Arey W Grady, Esq
 Sumrell Sugg
 PO Drawer 889
 New Bern, NC 28563
 MH 565 NC Hwy 55 W

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7020 0090 0002 2022 0697

U.S. Postal Service™
CERTIFIED MAIL® RECEIPT
 Domestic Mail Only

For delivery information, visit our website at www.usps.com

OFFICIAL USE

Certified Mail Fee
 \$

Extra Services & Fees (check box, add fee as appropriate)

<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$

Postage

Carl A Bell
 866 Okelly Chapel Rd
 Durham, NC 27713
 MH ltr 565 NC Hwy 55 W

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7020 0090 0002 2022 0710

U.S. Postal Service™
CERTIFIED MAIL® RECEIPT
 Domestic Mail Only

For delivery information, visit our website at www.usps.com

OFFICIAL USE

Certified Mail Fee
 \$

Extra Services & Fees (check box, add fee as appropriate)

<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$

Postage

United States of America
 Dept of Treasury IRS c/o US A
 310 New Bern Ave Suite 800
 Raleigh, NC 27601
 MH ltr 565 NC Hwy 55 W

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7020 0090 0002 2022 0727

U.S. Postal Service™
CERTIFIED MAIL® RECEIPT
 Domestic Mail Only

For delivery information, visit our website at www.usps.com

OFFICIAL USE

Certified Mail Fee
 \$

Extra Services & Fees (check box, add fee as appropriate)

<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$

Postage

United States of America
 Dept of Treasury IRS c/o USAGDOJ
 950 Pennsylvania Ave
 Washington DC, 20530
 MH ltr 565 NC Hwy 55 W

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

7020 0090 0002 2022 0703

U.S. Postal Service™
CERTIFIED MAIL® RECEIPT
 Domestic Mail Only

For delivery information, visit our website at www.usps.com

OFFICIAL USE

Certified Mail Fee
 \$

Extra Services & Fees (check box, add fee as appropriate)

<input type="checkbox"/> Return Receipt (hardcopy)	\$
<input type="checkbox"/> Return Receipt (electronic)	\$
<input type="checkbox"/> Certified Mail Restricted Delivery	\$
<input type="checkbox"/> Adult Signature Required	\$
<input type="checkbox"/> Adult Signature Restricted Delivery	\$

Postage

Spouse of Carl A Bell, if any
 866 Okelly Chapel Rd
 Durham, NC 27713
 MH ltr 565 NC Hwy 55 W

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

Certificate of Service

Re: 565 NN Hwy 55 W, New Bern, NC

I hereby certify that on the 14th Day of July 2020, I served a copy of the foregoing **Order of the Building Inspector** upon the following persons by depositing a true and correct copy thereof in an envelope with proper postage affixed thereto for mailing by certified mail, return receipt requested, and also by placing a true and correct copy thereof in another envelope with proper postage affixed thereto for mailing by regular first class mail, and depositing said envelopes in a regular depository for the United States mail at New Bern, North Carolina, addressed as follows:

7020 0090 0002 2022 0697

Carl A Bell
866 Okelly Chapel Rd
Durham, NC 27713

*Cert Delv
Reg*

United States of America
Dept. of Treasury, Internal Revenue Service
c/o U.S. Attorney
Office of the United States Attorney
310 New Bern Avenue, Suite 800
Raleigh, NC 27601-1461

United States of America
Dept. of Treasury, Internal Revenue Service
c/o U.S. Attorney General
United States Department of Justice
950 Pennsylvania Avenue
Washington, DC 20530

*Cert
Reg*

7020 0090 0002 2022 0727

7020 0090 0002 2022 0723

Spouse of Carl A Bell, if any
866 Okelly Chapel Rd
Durham, NC 27713

*Cert - Delv
Reg*

Craven County
c/o Arey W. Grady, Esq.
Sumrell Sugg
Post Office Drawer 889
New Bern, NC 28563

*Cert - Delv
Reg*

7020 0090 0002 2022 0734

I further certify that on the 14th Day of July, 2020, I personally delivered a copy of the foregoing Order of the Building Inspector (Residential Building Or Structure) to the following person (s) at the address (s) indicated:

Mark Stephens, City Manager
City of New Bern
300 Pollock Street
New Bern, NC 28560

Patrick J Ezel

Patrick J Ezel
Building Inspector
Minimum Housing Officer
City of New Bern
252-639-2943



NEW BERN

CITY OF NEW BERN

300 Pollock Street, P.O. Box 1129
New Bern, NC 28563-1129
(252) 636-4000

Aldermen

Sabrina Bengel
Jameesha Harris
Robert V. Aster
Johnnie Ray Kinsey
Barbara J. Best
Jeffrey T. Odham

Dana E. Outlaw
Mayor
Mark A. Stephens
City Manager
Brenda E. Blanco
City Clerk
Mary M. Hogan
Director of Finance

Certificate of Service
Amended
Complaint
(Residential Building or Structure)
Dwelling Unfit for Human Habitation)
and
Notice of Hearing/Notice of Lis Pendens

File No. 20M208

Re: 565 Nc Hwy 55 W, New Bern, NC

I further certify that on the 29th day of June 2020, I served a copy of the foregoing Complaint (Residential Building Or Structure) and Notice of Hearing/Notice of Lis Pendens upon the following persons by depositing a true and correct copy thereof in an envelope with proper postage affixed thereto for mailing by certified mail, return receipt requested, and also by placing a true and correct copy thereof in another envelope with proper postage affixed thereto for mailing by regular first class mail, and depositing said envelopes in a regular depository for the United States mail at New Bern, North Carolina, addressed as follows:

Carl A Bell
866 Okelly Chapel Rd
Durham, NC 27713
United States of America
Dept. of Treasury, Internal Revenue Service
c/o U.S. Attorney
Office of the United States Attorney
310 New Bern Avenue, Suite 800
Raleigh, NC 27601-1461
United States of America
Dept. of Treasury, Internal Revenue Service
c/o U.S. Attorney General
United States Department of Justice
950 Pennsylvania Avenue
Washington, DC 20530

Spouse of Carl A Bell, if any
866 Okelly Chapel Rd
Durham, NC 27713
Craven County
c/o Arey W. Grady, Esq.
Sumrell Sugg
Post Office Drawer 889
New Bern, NC 28563

Certificate of Service
Amended
Complaint
(Residential Building or Structure)
Dwelling Unfit for Human Habitation)
and
Notice of Hearing/Notice of Lis Pendens

File No. 20M208

Re: 565 Nc Hwy 55 W, New Bern, NC

Patrick J Ezel

Patrick Ezel
Building Inspector
Minimum Housing Officer
City of New Bern
252-639-2943

Aldermen

Sabrina Bengel
Jameesha Harris
Robert V. Aster
Johnnie Ray Kinsey
Barbara J. Best
Jeffrey T. Odham



NEW BERN
CITY OF NEW BERN

300 Pollock Street, P.O. Box 1129
New Bern, NC 28563-1129
(252) 636-4000

Certificate of Service
Amended
Order of the Building
Inspector of the
City of New Bern

File No. 20M208

Dana E. Outlaw
Mayor
Mark A. Stephens
City Manager
Brenda E. Blanco
City Clerk
Mary M. Hogan
Director of Finance

FILED
2020 SEP 29 10:02
SMD

Re: 565 Nc Hwy 55 W, New Bern, NC

I further certify that on the 17th day of July 2020, I served a copy of the foregoing **Order of the Building Inspector** upon the following persons by depositing a true and correct copy thereof in an envelope with proper postage affixed thereto for mailing by certified mail, return receipt requested, and also by placing a true and correct copy thereof in another envelope with proper postage affixed thereto for mailing by regular first class mail, and depositing said envelopes in a regular depository for the United States mail at New Bern, North Carolina, addressed as follows:

Carl A Bell
866 Okelly Chapel Rd
Durham, NC 27713
United States of America
Dept. of Treasury, Internal Revenue Service
c/o U.S. Attorney
Office of the United States Attorney
310 New Bern Avenue, Suite 800
Raleigh, NC 27601-1461
United States of America
Dept. of Treasury, Internal Revenue Service
c/o U.S. Attorney General
United States Department of Justice
950 Pennsylvania Avenue
Washington, DC 20530

Spouse of Carl A Bell, if any
866 Okelly Chapel Rd
Durham, NC 27713
Craven County
c/o Arey W. Grady, Esq.
Sumrell Sugg
Post Office Drawer 889
New Bern, NC 28563

Certificate of Service
Amended
Order of the Building
Inspector of the
City of New Bern

File No. 20M208

Re: 565 Nc Hwy 55 W, New Bern, NC

Patrick J Ezel

Patrick Ezel
Building Inspector
Minimum Housing Officer
City of New Bern
252-639-2943

7020 0090 0002 2022 1267

U.S. Postal Service™
CERTIFIED MAIL® RECEIPT
 Domestic Mail Only

For delivery information, visit our website at www.usps.com

OFFICIAL USE

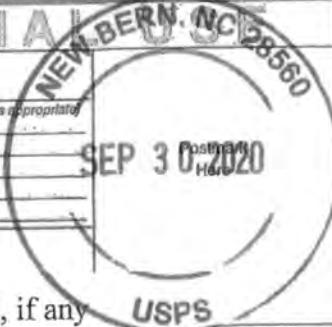
Certified Mail Fee

Extra Services & Fees (check box, add fee as appropriate)

- ☐ Return Receipt (hardcopy) \$
☐ Return Receipt (electronic) \$
☐ Certified Mail Restricted Delivery \$
☐ Adult Signature Required \$
☐ Adult Signature Restricted Delivery \$

Postage

Spouse of Carl A Bell, if any
 866 Okelly Chapel Rd
 Durham, NC 27713
 MH ltr 565 Nc Hwy 55 W



7020 0090 0002 2022 1250

U.S. Postal Service™
CERTIFIED MAIL® RECEIPT
 Domestic Mail Only

For delivery information, visit our website at www.usps.com

OFFICIAL USE

Certified Mail Fee

Extra Services & Fees (check box, add fee as appropriate)

- ☐ Return Receipt (hardcopy) \$
☐ Return Receipt (electronic) \$
☐ Certified Mail Restricted Delivery \$
☐ Adult Signature Required \$
☐ Adult Signature Restricted Delivery \$

Postage

Carl A Bell
 866 Okelly Chapel Rd
 Durham, NC 27713
 MH ltr 565 Nc Hwy 55 W



7020 0090 0002 2022 1274

U.S. Postal Service™
CERTIFIED MAIL® RECEIPT
 Domestic Mail Only

For delivery information, visit our website at www.usps.com

OFFICIAL USE

Certified Mail Fee

Extra Services & Fees (check box, add fee as appropriate)

- ☐ Return Receipt (hardcopy) \$
☐ Return Receipt (electronic) \$
☐ Certified Mail Restricted Delivery \$
☐ Adult Signature Required \$
☐ Adult Signature Restricted Delivery \$

Postage

United States of America
 Dept. of Treasury, Internal Revenue Service
 c/o U.S. Attorney
 Office of the United States Attorney
 310 New Bern Avenue, Suite 800
 Raleigh, NC 27601-1461
 MH ltr 565 Nc Hwy 55 W



7020 0090 0002 2022 1281

U.S. Postal Service™
CERTIFIED MAIL® RECEIPT
 Domestic Mail Only

For delivery information, visit our website at www.usps.com

OFFICIAL USE

Certified Mail Fee

Extra Services & Fees (check box, add fee as appropriate)

- ☐ Return Receipt (hardcopy) \$
☐ Return Receipt (electronic) \$
☐ Certified Mail Restricted Delivery \$
☐ Adult Signature Required \$
☐ Adult Signature Restricted Delivery \$

Postage

United States of America
 Dept. of Treasury, Internal Revenue Service
 c/o U.S. Attorney General
 United States Department of Justice
 950 Pennsylvania Avenue
 Washington, DC 20530
 MH ltr 565 Nc Hwy 55 W



7020 0090 0002 2022 1298

U.S. Postal Service™
CERTIFIED MAIL® RECEIPT
 Domestic Mail Only

For delivery information, visit our website at www.usps.com

OFFICIAL USE

Certified Mail Fee

Extra Services & Fees (check box, add fee as appropriate)

- ☐ Return Receipt (hardcopy) \$
☐ Return Receipt (electronic) \$
☐ Certified Mail Restricted Delivery \$
☐ Adult Signature Required \$
☐ Adult Signature Restricted Delivery \$

Postage

Craven County
 c/o Arey W. Grady, Esq.
 Sumrell Sugg
 Post Office Drawer 889
 New Bern, NC 28563
 MH ltr 565 Nc Hwy 55 W





NEW BERN

CITY OF NEW BERN

300 Pollock Street, P.O. Box 1129
New Bern, NC 28563-1129
(252) 636-4000

Aldermen

Sabrina Bengel
Jameesha Harris
Robert V. Aster
Johnnie Ray Kinsey
Barbara J. Best
Jeffrey T. Odham

Dana E. Outlaw
Mayor
Mark A. Stephens
City Manager
Brenda E. Blanco
City Clerk
Mary M. Hogan
Director of Finance

Certificate of Service
Amended
Complaint
(Residential Building or Structure)
Dwelling Unfit for Human Habitation)
and
Notice of Hearing/Notice of Lis Pendens

File No. 20M208

FILED
2020 SEP 29 A 9:02
CLERK OF SUPERIOR COURT
CRAVEN COUNTY, N.C.
MD

Re: 565 Nc Hwy 55 W, New Bern, NC

I further certify that on the 29th day of June 2020, I served a copy of the foregoing Complaint (Residential Building Or Structure) and Notice of Hearing/Notice of Lis Pendens upon the following persons by depositing a true and correct copy thereof in an envelope with proper postage affixed thereto for mailing by certified mail, return receipt requested, and also by placing a true and correct copy thereof in another envelope with proper postage affixed thereto for mailing by regular first class mail, and depositing said envelopes in a regular depository for the United States mail at New Bern, North Carolina, addressed as follows:

<p>7020 0090 0002 2022 1250 ✓ cert delv</p> <p>Carl A Bell 866 Okelly Chapel Rd Durham, NC 27713</p> <hr/> <p>1020 0099 0002 2022 1274 ✓ cert delv</p> <p>United States of America Dept. of Treasury, Internal Revenue Service c/o U.S. Attorney Office of the United States Attorney 310 New Bern Avenue, Suite 800 Raleigh, NC 27601-1461</p> <hr/> <p>United States of America Dept. of Treasury, Internal Revenue Service c/o U.S. Attorney General United States Department of Justice 950 Pennsylvania Avenue Washington, DC 20530</p> <p>7020 0090 0002 2022 1251 ✓ cert delv</p>	<p>7020 0090 0002 2022 1267 ✓ cert delv</p> <p>Spouse of Carl A Bell, if any 866 Okelly Chapel Rd Durham, NC 27713</p> <hr/> <p>Craven County 7020 0090 0002 2022 c/o Arey W. Grady, Esq. 1298 ✓ Sumrell Sugg Post Office Drawer 889 New Bern, NC 28563</p> <p>cert delv</p>
--	--

Patrick Ezel

From: Daryl Nelson
Sent: Thursday, October 1, 2020 10:34 AM
To: Patrick Ezel
Subject: RE: Demo Estimates

Patrick,
Demo 561 Hwy 55 west - \$7,460.00
Demo 563 Hwy 55 west - \$2,315.00
✓ Demo 565 Hwy 55 west - \$5,360.00 and has asbestos siding that will need to be removed first (not by us)

Daryl Nelson
Street Superintendent

City of New Bern
Public Works Department
1004 South Glenburnie Road
New Bern NC 28560

252-639-7519

From: Patrick Ezel <ezelp@newbernnc.gov>
Sent: Wednesday, September 30, 2020 4:40 PM
To: Daryl Nelson <nelsondr@newbernnc.gov>
Cc: Toby Hare <haret@newbernnc.gov>
Subject: Demo Estimates

Daryl,

I missed this one. We are trying to get all 3 of these ready for the 13 Oct Board meeting, but I forgot the demo estimates from you all. Any way that I could get these by 1200 tomorrow (1 Oct 2020).

561 NC Hwy 55 W

563 NC Hwy 55 W

565 NC Hwy 55 W

Thank you again and sorry about last minute stuff.

Patrick J. Ezel
Building Inspector 1
Minimum Housing Officer
Cell – 252-671-1781
Office – 252-639-2943
303 First Street
New Bern, NC
28560

Quote

SEND TO: City of New Bern

ATTN: Mr. Patrick Ezel

FROM: Josh Lane (EAE, Inc.)

JOB DESCRIPTION: Asbestos Abatement

SITE: Various Houses – City of New Bern

DATE: October 12, 2020



1. Asbestos Abatement (Parcel # 8-218-028) 565 NC 55 West, New Bern, NC	\$ 4,820.00
A. Asbestos Abatement of 1,650 SF of exterior siding.	
B. Asbestos Abatement of window and door caulking.	
C. Asbestos Abatement of Surfacing texture in the kitchen ceiling.	
2. Asbestos Abatement (Parcel # 8-218-029) 561 NC 55 West, New Bern, NC	\$ 2,970.00
A. Asbestos Abatement of window and door caulking.	
B. Asbestos Abatement of approx. 460 SF of floor tile.	
C. Asbestos Abatement of approx. 60 LF of sealant.	
3. Asbestos Abatement (Parcel # 8-218-3003) 563 NC 55 West, New Bern, NC	\$ 2,245.00
A. Asbestos Abatement of approx. 750 SF of asbestos cool seal roofing.	
B. Asbestos Abatement of window and door caulking.	
▪ Houses must be done at same time for pricing.	
▪ State permitting will be required on 565 NC 55 West	
Price Good For 180 Days	
TOTAL	\$ Itemized per parcel

450 Executive Parkway – New Bern, NC 28526

Office: (252)527-3052 Fax: (252)527-3055

450 Executive Parkway
New Bern, NC 28562 US
(252)527-3052
www.eae-inc.com



City of New Bern
300 Pollock Street
New Bern, NC 28560 US

7685 * 10/09/2020 \$250.00 10/09/2020 Due on receipt

ACTIVITY	QTY	RATE	AMOUNT
	1	250.00	250.00

565 NC 55 West, New Bern, NC 28560

Parcel #8-218-028

Full Asbestos Inspection

Please Remit Payment To:

Enviro Assessments East, Inc.

450 Executive Parkway,

New Bern, NC 28562

BALANCE DUE

Federal Tax ID # 22-3864208

For Billing Questions:

Contact Josh Lane

(o) 252-527-3052

Josh@eae-inc.com

Late Charge of 1.5% After 30 Days or 18% Annual

Patrick Ezel

From: Dentico, Kay <Kay.Dentico@duke-energy.com>
Sent: Wednesday, October 14, 2020 1:45 PM
To: Patrick Ezel
Subject: RE: [EXTERNAL] FW: Utility Service Termination Request 561, 563, and 565 NC Hwy 55 W

*Elec
comp Duke Power 10.14.2020*

Hey Patrick,

Dustin Clayton completed the order I made this morning. He said they were all cut loose at pole and meter bases.

Please let me know if you need anything else.

WR NBR: 951AK
COMPL BY: RCLAY DATE: 10/14/20 TIME: 07:25
WORKED BY: CLAYTON, DUSTIN DATE: 10/14/20 TIME: 07:24

561, 563, 565 ARE ALL CUT LOOSE AT POLE AND CUT AT METER BASE

From: Patrick Ezel <ezelp@newbernnc.gov>
Sent: Tuesday, October 13, 2020 2:31 PM
To: Electrical Inspection Reports <ElectricalInspectionReports@duke-energy.com>
Cc: Dentico, Kay <Kay.Dentico@duke-energy.com>
Subject: [EXTERNAL] FW: Utility Service Termination Request 561, 563, and 565 NC Hwy 55 W

***** CAUTION! EXTERNAL SENDER *** STOP & THINK!** Do you know and trust this sender? Were you expecting this email? Are grammar and spelling correct? Does the content make sense? If suspicious, then do not click links, open attachments or enter your ID or password.

All,

Just checking in to see if there has been an update on these requests. Thank you again.

Patrick J. Ezel
Building Inspector 1
Minimum Housing Officer
Cell – 252-671-1781
Office – 252-639-2943
303 First Street
New Bern, NC
28560

From: Patrick Ezel
Sent: Thursday, October 1, 2020 9:34 AM
To: INSPECTIONS@PGNMAIL.COM; Dentico, Kay <Kay.Dentico@duke-energy.com>

Cc: Matthew Boswell <boswellm@newbernnc.gov>

Subject: Utility Service Termination Request 561, 563, and 565 NC Hwy 55 W

All,

Attached is a service termination request for three (3) properties on Hwy 55 W. If there is anything else that is needed or if there are any other questions, please let us know. Thank you again.

Patrick J. Ezel
Building Inspector 1
Minimum Housing Officer
Cell – 252-671-1781
Office – 252-639-2943
303 First Street
New Bern, NC
28560

NOTE: Please be advised, City of New Bern email addresses changed to user@newbernnc.gov as of October 23rd 2018. Please update your address book accordingly. Thank you for your assistance with this change. -----

----- If
you are not the intended recipient, you must destroy this message and inform the sender immediately. This electronic mail message and any attachments, as well as any electronic mail message(s) sent in response to it may be considered public record and as such subject to request and review by anyone at any time. It also may contain information which is confidential within the meaning of applicable federal and state laws.

NOTE: Please be advised, City of New Bern email addresses changed to user@newbernnc.gov as of October 23rd 2018. Please update your address book accordingly. Thank you for your assistance with this change. -----

----- If
you are not the intended recipient, you must destroy this message and inform the sender immediately. This electronic mail message and any attachments, as well as any electronic mail message(s) sent in response to it may be considered public record and as such subject to request and review by anyone at any time. It also may contain information which is confidential within the meaning of applicable federal and state laws.

PNG *and 10-19-2020*

SERVICE TERMINATION

401 Executive Parkway, New Bern, NC 28562/ Fax: 252-638-4718

After completion of this section, Inspections Department will fax the request.

DEMOLITION LOCATION: 565 NC Hwy 55 W, New Bern, NC Date: 10-01-2020
SERVICE ADDRESS: 565 NC Hwy 55 W (Parcel ID # 8-218-028)
TOWN/CITY: NEW BERN, NC
CONTRACTOR: City of New Bern
NAME:
ADDRESS: FAX

INSPECTIONS: Patrick Ezel *Patrick J Ezel*
INSPECTION DEPARTMENT PO BOX 1129 NEW BERN NC 28563
TELEPHONE: 252-639-2943 FAX 252-635-4973
RETURN RELEASE BY FAX A.S.A.P. Or email to: ezelp@newbernnc.gov

Comments:

SIGNED: *Logan T Peede* TITLE Ops Tech
DATE: 10/14/2020

CAM USE

PREMISE NUMBER: METER NUMBER: UTILITY CONTACT
NUMBER: OPS CENTER:

Please call N.C. ONE CALL at 1-800-632-4949 prior to any demolition or excavation work, so gas facilities can be located within private easements and public right-of-ways.

FOR DEMOLITION

Trudy.Tyras@duke-energy.com

NOTICE TO TERMINATE UTILITY SERVICE

WORK ORDER

To: Dalton Gaskins Water Sewage Department,
Robert Bailey, Water Sewage Department
Vanessa Ellison, Water Sewage Department
Melissa Garis, Water Sewage Department
Andy Bronokowski, Water Sewage Department
From: Patrick Ezel, Building Inspector

Reference: TERMINATION OF UTILITY SERVICES *water
comp 10.1.2020*

Date: 10-01-2020

Address: 565 NC Hwy 55 W (Parcel ID # 8-218-028)

5/0 13083992

WORK TO BE PERFORMED

_____ please terminate the water service ASAP due to the hazards found which effect the health, welfare, and safety to the general public.

X _____ please remove the water meter for Demolition purposes.

X _____ please cap off the sewage line due to scheduled demolition.

Patrick J Ezel

Patrick J Ezel

Building Inspector

252-6392943

out Reading 343 → MTR # 78224740

Please complete this request form after the work has been done and return it via email to ezelp@newbernnc.gov or fax it to 252-635-4973

10-4-20 Date work request was completed.

Kimberly Dunn #169 Signature of employee that completed the work.

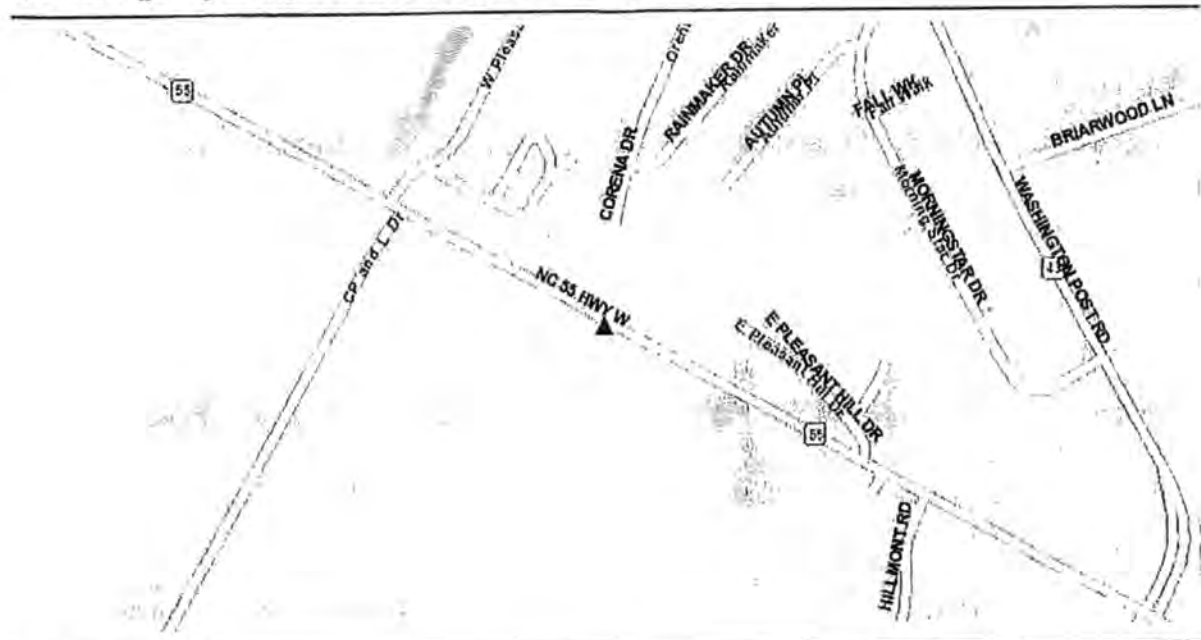
FOR DEMOLITION

billing@newbernnc.gov

Work Item Report

Water System | Water Meter Removal | 13083992

565 NC Highway 55 W, New Bern, North Carolina 28562



Collected By ellisonv

Collected Date 10/1/2020 2:49:57 PM

Modified By ellisonv

Modified Date 10/1/2020 2:49:57 PM

Status New Request

Priority 5

Asset Id _____

Layer Name _____

Description #169 - Remove Water Meter for demolition purposes per P, Ezel in Inspections Dept.
(Water Meter# 78224740)

Comments _____

Customer Information

Customer Name _____

Customer Phone
Number _____

Meter Information

Old Meter
Number _____

Out Reading _____

New Meter
Number _____

In Reading _____

Is AMI Active? Yes

Service Type Residential

Meter Size .75 in

If Other, Meter
Size _____

Installed By _____

Iron Meters

ERT Number _____

NOTICE TO TERMINATE UTILITY SERVICE

WORK ORDER

To: Dalton Gaskins Water Sewage Department,
Robert Bailey, Water Sewage Department
Vanessa Ellison, Water Sewage Department
Melissa Garris, Water Sewage Department
Andy Bronokowski, Water Sewage Department
From: Patrick Ezel, Building Inspector

AP

Reference: TERMINATION OF UTILITY SERVICES *Sewer Comp 10-19-2020*

Date: 10-01-2020

Address: 565 NC Why 55 W (Parcel ID # 8-218-028)

WORK TO BE PERFORMED

_____ please terminate the water service ASAP due to the hazards found which effect the health, welfare, and safety to the general public.

Sewer
☒ please remove the water meter for Demolition purposes.

☒ please cap off the sewage line due to scheduled demolition.

Patrick J Ezel

Patrick J Ezel

Building Inspector

252-6392943

.....
Please complete this request form after the work has been done and return it via email to ezelp@newbernnc.gov or fax it to 252-635-4973

10/8/2020 Date work request was completed.

[Signature]

Signature of employee that completed the work.

FOR DEMOLITION

billing@newbernnc.gov

AGENDA ITEM COVER SHEET

Agenda Item Title:

Consider Adopting Ordinance Amending the 'Schedule of Fees and Charges'

Date of Meeting: 11/10/2020	Ward # if applicable:
Department: Finance	Person Submitting Item: Mary M. Hogan, Director of Finance
Call for Public Hearing: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Date of Public Hearing:

Explanation of Item:	The current fee schedule was adopted on 08/25/2020. Fee changes to add overnight parking are noted in red on the attached updated fee schedule.
Actions Needed by Board:	Adopt ordinance amending the 'Schedule of Fees and Charges'
Backup Attached:	Memo, Ordinance, Proposed Fee Schedule – Redline, Proposed Fee Schedule

Is item time sensitive? ☐ Yes ☐ No

Will there be advocates/opponents at the meeting? ☐ Yes ☐ No

Cost of Agenda Item:

If this requires an expenditure, has it been budgeted and are funds available and certified by the Finance Director? ☐ Yes ☐ No

Additional Notes:

Aldermen

Sabrina Bengel
Jameesha Harris
Robert V. Aster
Johnnie Ray Kinsey
Barbara J. Best
Jeffrey T. Odham



300 Pollock Street, P.O. Box 1129
New Bern, NC 28563-1129
(252) 636-4000

Dana E. Outlaw
Mayor
Mark A. Stephens
City Manager
Brenda E. Blanco
City Clerk
Mary M. Hogan
Director of Finance

TO: City Manager, Honorable Mayor and Members of the Board of Aldermen
FROM: Mary M. Hogan - Director of Finance
DATE: October 30, 2020
RE: Amendment to Schedule of Fees and Charges

Background

The "City of New Bern Schedule of Fees and Charges," adopted on August 25, 2020, should be amended to reflect the addition of overnight parking fees.

Current

These changes are identified in red on the redline version of attached proposed "City of New Bern Schedule of Fees and Charges". Please note fee amendments in the following sections:

- Section 4 – Parking (Limited Parking 5:30PM-7AM)
- Section 8 – Development Services (Certificates of Occupancy)

Requested Action

The Board consider adopting the attached revised "City of New Bern Schedule of Fees and Charges" at its November 10, 2020 meeting.

**AN ORDINANCE TO AMEND
THE CITY OF NEW BERN SCHEDULE OF FEES AND CHARGES**

THAT WHEREAS, pursuant to the Code of Ordinances of the City of New Bern and upon recommendation from the City Manager, the Board of Aldermen of the City of New Bern desires to amend the City of New Bern "Schedule of Fees and Charges" adopted on August 25, 2020 by deleting the same in its entirety and adopting in its stead the attached "Schedule of Fees and Charges",

NOW, THEREFORE, BE IT ORDAINED BY THE BOARD OF ALDERMEN OF THE CITY OF NEW BERN:

SECTION 1. That the City of New Bern "Schedule of Fees and Charges" adopted by the Board of Aldermen on August 25, 2020 is hereby amended by deleting the same in its entirety and adopting in its stead the attached "Schedule of Fees and Charges" all effective as of the date of its adoption.

ADOPTED THIS 10th DAY OF NOVEMBER 10, 2020.

DANA E. OUTLAW, MAYOR

BRENDA E. BLANCO, CITY CLERK

SCHEDULE OF FEES AND CHARGES*

CITY OF NEW BERN

EFFECTIVE JULY 1, 2020

1. ADMINISTRATIVE		FEES
CD or DVD		\$5
Copies - Other info not specifically listed		Minimum \$2 00 (1 - 10 copies) plus 20¢ each additional copy over 10
GIS Base Maps (8.5"x11")		B&W \$2; color \$3
GIS Base Maps (11"x17")		B&W \$3; color \$5
GIS Base Maps (24"x36")		B&W \$10; color \$15
GIS Base Maps (36"x48")		B&W \$15; color \$30
Plans/Plats (copies of) ariel view - letter size		\$5
Plans/Plats (copies of) ariel view - tabloid size		\$7.50
Plans/Plats (copies of) ariel view - large size		\$12.50
Maps - Other large formats		\$10.00
Maps - Street index map		\$15 00
Maps - Zoning		\$10 large, \$5 small
Maps - GIS staff time for non-existent maps or data:		
Analysis/Coordinator		\$50/hr
Technician		\$25/hr
Administration		\$20/hr
Motor vehicle fee		\$5
Publications:		
CAMA Land Use Plan		\$11
Historic Preservation Guidelines		\$11
Land Use Ordinance		\$12
Urban Design Plan		\$11
Street Atlas Book		\$25
Convenience fee for online payment		\$5
Returned payment fee		\$25
2. CEMETERIES: (Code Sections 18-26 and 18-32)		FEES
Opening/Closing:		
Weekdays before 4pm, adult		\$500 resident/\$700 nonresident
Weekdays before 4pm, infant/cremations/mausoleum		\$250 resident/\$400 nonresident
Weekdays after 4pm and weekends, adult		\$575 resident/\$900 nonresident
Weekdays after 4pm and weekends, infant/cremations/mausoleum		\$300 resident/\$450 nonresident
Holidays, adult		\$650 resident/\$950 nonresident
Holidays, infant/cremations/mausoleum		\$425 resident/\$525 nonresident
Wait time per hour (for noncompliance for "before 4pm" services that extend beyond 4pm)		\$150 resident/\$250 nonresident
Grave/Lot Sales - New Bern Memorial Cemetery		
Plot - Single grave, resident		\$600
Plot - Single grave, nonresident		\$900
Plot - 4-Grave lot, resident		\$1,850
Plot - 4-Grave lot, nonresident		\$2,750
Plot - Infant grave, resident		\$100
Plot - Infant grave, nonresident		\$275
Plot - Mausoleum, resident		\$3,500
Plot - Mausoleum, nonresident		\$5,250
Plot - Cremations, resident		\$200
Plot - Cremations, nonresident		\$350
Transfer or resale of Cemetery license		\$25
*This schedule of Fees and Charges establishes most of the fees and charges for services offered by the City of New Bern. It does not contain or establish all fines and penalties for violations of city code provisions, nor does it contain rates and charges for the provision of city utility services. In many instances, it will be necessary to refer to specific city code provisions, or to a specific utility rate-setting ordinance in order to determine when a fee, charge, rate or fine is to be imposed. For ease of reference, citations to applicable city code provisions are provided.		
3. FIRE: (Code Section 30-33)		FEES
Working without a permit		Cost of permit plus \$50
Fire Hydrant Flow Test (service provided by contractor and coordinated with fire inspector)		\$50
Plan Review (Construction)		\$50
New Business Inspection		\$50
ABC/ALE Inspection		\$50
Special Requested Inspections		\$50
Care Homes (foster, respite, therapeutic)		\$50
2nd Reinspection (noncompliance when Codes ARE NOT met)		\$75
3rd Reinspection (noncompliance when Codes ARE NOT met)		\$150
Standby personnel-minimum 4-men engine company		FEMA equipment rate plus labor
After hours fire inspection		\$150

SCHEDULE OF FEES AND CHARGES*

CITY OF NEW BERN

EFFECTIVE JULY 1, 2020

Occupying building without a C/O or C/C	\$150
Failure to obtain final inspection	\$100
Operational Permits	
Amusement buildings	\$75
Carnivals and Fairs	\$75
Combustible dust-producing operations	\$75
Covered and open mall buildings	\$75
Exhibits and trade shows	\$75
Explosives	\$125
Flammable and combustible liquids (only mandated by NC Fire Prevention Code)	\$75
Fumigation and thermal insecticidal fogging	\$75
Liquid or gas vehicles or equipment in assembly buildings	\$75
Private fire hydrants	\$75
Pyrotechnic special effects material	\$125
Spraying or dipping	\$75
Temporary membrane structures and tents	\$75
Open burning - land clearing	\$50/acre cleared
Open burning - hazard reduction	No Fee
Open burning - camp fire	\$75
Construction Permits:	
Automatic fire extinguishing systems	\$100 +\$2 per head
Battery systems	\$75
Compressed gas	\$75
Cyrogenic fluids	\$75
Emergency responder radio coverage systems	\$75
Fire alarm and detection systems and related equipment	\$100
Fire pump and related equipment	\$100
Flammable and combustible liquids (only mandated by NC Fire Prevention Code) (per tank if applicable)	\$75
Gates and barricades across fire apparatus access roads	\$75 per gate or barricade
Hazardous materials	\$75
Industrial ovens	\$75
Private fire hydrants	\$75 per hydrant
Smoke control or smoke exhaust systems	\$75
Solar photovoltaic power systems	\$75
Spraying or dipping	\$75
Standpipe systems	\$100
Storage Tank - AST/UST/Installation/Removal/Repiping/Abandonment	\$125
Temporary membrane structures and tents	\$75
4. PARKING: (Code Section 70-272) FEES	
Parking Spaces Monthly Fee:	\$20 Limited/\$30 Residential
Limited: 7:00am - 5:30pm - Monday to Friday	\$20
Limited: 5:30pm - 7 00am - 7 days a week	\$10/month
Residential: 24 hours	\$30
Dumpster: 24 hours	\$40
Sign Installation Fee - one-time fee for monthly spaces	\$10
Late Penalty - Parking leases billed and managed by CIS (payment received after due date)	5% of monthly bill
Delinquent Fee - Parking leases billed and managed by CIS (payment received 10+ days after due date)	\$30
Parking Penalties (Code Section 70-274)	\$25, see code for further details
Leased Space Parking Hangers	2 Free, \$3 each additional
5. PARKS AND RECREATION: (Code Section 50-2) FEES	
Athletics and Field Rentals:	
Admission fees for various activities (basketball, tournaments,outdoor concerts, etc) - Daily	not to exceed \$5
Admission fees for various activities (basketball, tournaments,outdoor concerts, etc) - Weekend	not to exceed \$13
Adult sports leagues - Men's basketball (per team)	\$350 resident/\$450 nonresident
Adult sports leagues - Adult 3 on 3 basketball (per team)	\$200 resident/\$275 non resident
Adult sports leagues - Women's basketball (per team)	\$350 resident/\$450 nonresident
Adult sports leagues - Men's flag football (per team)	\$250 resident/\$325 nonresident
Adult sports leagues - Kickball/Dodgeball/Wiffleball (per team)	\$200 resident/\$275 nonresident
Adult sports leagues - co-ed softball (per team)	\$400 resident/nonresident
Adult sports leagues - 5K events per participant	\$30 resident/\$45 nonresident
Adult sports leagues - Individual participation for all leagues	\$20 resident/\$30 nonresident
Adult sports leagues - Co-ed volleyball	\$35 resident/\$45 nonresident

SCHEDULE OF FEES AND CHARGES*
CITY OF NEW BERN
EFFECTIVE JULY 1, 2020

Summer basketball program (Youth)	\$10 resident/\$15 nonresident
Summer basketball program (Adult)	\$15 resident/\$20 nonresident
Aquatic Center General Admission.	
Up to age 2	\$2 50 resident, \$3.25 nonresident
Parent and one child up to age 2 package	\$5.50 resident; \$6.75 nonresident
(\$1 00 for each additional child up to age 2. Limit of 3)	
Age 3-17	\$4.00 resident; \$5.00 nonresident
Age 18-54	\$4.50 resident, \$5 50 nonresident
Age 55 and up (seniors)	\$3.50 resident; \$4.50 nonresident
Aquatic Center Family Night:	
Up to age 2	\$1.00 resident; \$1.50 nonresident
Age 3-17	\$2.00 resident; \$2.50 nonresident
Age 18-54	\$2 50 resident; \$3 00 nonresident
Age 55 and up (seniors)	\$1.50 resident; \$2.00 nonresident
Aquatic Center season pass	\$60 resident; \$75 nonresident
Aquatic Center Pool Party:	
2 Hours - Up to 30 participants	\$150 resident; \$200 nonresident
31 or greater participants (per person)	\$5
Deposit - Refundable	\$50
Athletic Field - Ballfield Preparation (per field)	
Baseball/Softball	\$25
Football/Soccer/Lacrosse	\$100
Athletic field - Day use minimum 2 hours maximum 8 hours (additional after 8 hours)	
Civic organizations/private groups - city sponsored	N/C
Schools during school hours and/or athletic season	N/C
Recreation teams *	\$15/hr
Civic organizations/private groups not charging admission/donations*	\$20/hr resident; \$30/hr nonresident
<i>*No charge if no field prep is done</i>	
Civic organizations/private groups charging admission/donations	\$25/hr resident; \$50/hr nonresident
Athletic field - Night use minimum 2 hours maximum 4 lighted hours	
Non-city recreation teams	\$30/hr
Civic organization/private groups - not charging admission/donations	\$25/hr resident, \$50/hr nonresident
Civic organizations/private groups charging admission/donations	\$40/hr resident; \$60/hr nonresident
Athletic field (full tournament not to exceed 3 days/2 nights)	\$350 + \$25/hr attendant fee
Athletic field (practice - night use - minimum 2 hours of light; not to exceed 4 hours)	\$20/hr resident;\$30/hr nonresident
EXCEPTION: Tournaments and other types of "special" events by non-profit "charitable" organizations for the purpose of fundraising for others are negotiated with and determined by the Parks and Recreation Department.	
Batting cages, parties only (2 hours). Available offseason only.	\$30
Bleacher rentals (daily rental fees)	\$100 (small); \$150 (medium), \$300 (large) (1-4 sets)
<i>Deposit of 1/2 rental fee required per bleacher, refundable only upon evaluation (returned as rented)</i>	
Recreation Programs:	
Childcare after-school recreation program (resident)	\$35/wk
Childcare after-school recreation program (non-resident)	\$50/wk
Classes - Adult recreation & fitness (annual) indoor	\$30 resident/\$35 nonresident
Classes - Adult recreation & fitness outdoor (20 city/80 split with instructor)	\$6 per class
Classes - Art (resident) includes instructor fee & some materials (20 city /80 split with instructor)	\$20-\$150
Classes - Art (nonresident) includes instructor fee & some materials	\$40-\$200
Classes - Ceramics (resident)	\$30; seniors \$25
Classes - Ceramics (nonresident)	\$40; seniors \$30
Dog Park:	
Yearly 1 dog	\$25 resident/\$50 nonresident
Each additional dog	\$20 resident/\$35 nonresident
One day pass	\$5 resident/\$15 nonresident
Weekend pass	\$15 resident/\$25 nonresident
Monthly pass	\$20 resident/\$25 nonresident
Honor/Memory Programs.	
Honor tree program	\$300 tree resident, \$350 nonresident
Tree purchase program	\$150 - \$250 depending on the species
Memory bench program - new	\$750/bench (includes placard)
Memory bench program - existing	\$600/bench (includes placard)
Brick Pavers	\$75
Kidsville Pickets	\$50

SCHEDULE OF FEES AND CHARGES*
CITY OF NEW BERN
EFFECTIVE JULY 1, 2020

Kidsville Tiles	\$25
Recreation Center Facility Rates.	
Multi-purpose room rental (2 hours minimum)	
Resident	\$30/hr
Nonresident	\$45/hr
Gym rental (2 hours minimum):	
Resident	\$40/hr
Nonresident	\$55/hr
Meeting room rental (2 hours minimum):	
Resident	\$25
Nonresident	\$35
Gym - walk-in (1 day)	\$1
Gym - contracted lessons (Parks & Recreation receives 20% of fee)	80/20% split
Kitchen rental:	
Resident	\$25/hr
Nonresident	\$35/hr
Facility rental deposit	\$50
Admission Rate	\$25/hr
(If admission is charged, this additional hourly rate applies to each room rented)	
After hours rentals (per room) shall incur an additional rental rate and staff supervisor fee	\$15/hr room rental + \$20/hr staff
Park Fees:	
Gazebo rental (Union Point Park)	\$40/hr resident; \$70/hr nonresident
Union Point Park Green space - per side (adjacent to gazebo)	\$50/hr resident; \$80/hr nonresident
Park Green Space - Small	\$40/hr resident; \$70/hr nonresident
Park Green Space - Medium	\$50/hr resident; \$80/hr nonresident
Park Green Space - Large	\$60/hr resident; \$90/hr nonresident
Shelter Reservation	
Resident (half day - up to 4 hours)	\$20 - \$30 based on location
Nonresident (half day - up to 4 hours)	\$30 - \$40 based on location
Resident (full day - up to 8 hours)	\$30 - \$45 based on location
Nonresident (full day - up to 8 hours)	\$40 - \$55 based on location
Company inside city (half day - up to 4 hours)	\$25 - \$45 based on location
Company outside city (half day - up to 4 hours)	\$40 - \$60 based on location
Company inside city (full day - up to 8 hours)	\$30 - \$60 based on location
Company outside city (full day - up to 8 hours)	\$40 - \$70 based on location
Sprayground (Daily admission before noon for group reservations)	\$1 resident/\$3 nonresident
Summer camps:	
Bear Bunch Camp (per session)	\$75 resident/\$95 nonresident
Cooking Camp	\$105 resident/\$125 nonresident
Sports Camp	\$75 resident/\$95 nonresident
Teen Camp	\$75 resident/\$95 nonresident
Y.E.S. camp	\$25 for 1st/\$20 each additional resident
Y.E.S. camp	\$35 for 1st/\$30 each additional nonresident
Adventure Camp	\$100 resident/\$125 nonresident
Swim lesson sessions - 8 classes per session	\$40 resident/\$70 nonresident
(Reduced rate of \$10 per session available for City residents who qualify (application available))	
Youth Sports:	
Youth football and cheerleading	\$50 resident/\$80 nonresident
Youth basketball	\$40 resident/\$70 nonresident
Youth baseball	\$20-\$40 resident/\$30-\$50 nonresident
Youth soccer	\$40 resident/\$70 nonresident
Youth lacrosse	\$40 resident/\$70 nonresident
Youth road races (per participant)	\$30 resident/\$45 nonresident
Fishing Tournament Attendant (opening/closing)	\$25/hr
Community Garden (per space)	\$25
NOTE: Indoor facility rentals are limited to 10 hours per day, and outdoor facility rentals are limited to 12 hours per day. Rentals exceeding these hours will require director's approval.	
6. Development Services:	
FEES	
Certificate of zoning compliance letter	\$27
Conditional use permit	\$375
Historic Preservation - Minor works	\$22
Historic Preservation - Major works requiring design review	\$107
Historic preservation - Major works not requiring design review	\$27

SCHEDULE OF FEES AND CHARGES*
CITY OF NEW BERN
EFFECTIVE JULY 1, 2020

Homeowners recovery fee (single family dwelling only)	\$10
Site Plan review	\$214
Special use permit	\$321
Subdivision plan review	\$161
P&Z General Subdivision Plan Review Application	\$161 or \$11/lot whichever is greater
Subdivision application - final review	\$214 or \$27/lot whichever is greater
Subdivision application - minor plats & recombination	\$107
Telecommunication - New wireless support structure	\$1,500 per section 15-170 of Other Land Use Ordinance
Telecommunication - other	\$500
Zoning compliance	\$22
Zoning compliance - Residential flood plain	\$54
Zoning compliance - Commercial flood plain	\$107
Zoning permit	\$38
Administrative Fees:	
Weed and debris clearance	\$71
Removing abandoned vehicles	\$71
Boarding up buildings (MHC)	\$84
Starting work without a permit	1st-\$107 + permit; 2nd-\$161 + permit; 3rd-\$214 + permit; 4th-\$268 + permit
Convenience fee for online payment	\$5 00
Building permit (+ \$17 compliance fee)	
Residential Single family/townhouse/duplex - per unit for multicomplex	Heated \$0.21/sf; Unheated \$0.16/sf
Minimum charge \$38	
Commercial: minimum charge \$38	\$0.18/sf
Building permit - Demolition (+ \$17 compliance fee)	Residential \$161; Commercial \$321
Building permit - Manufactured mobile home, singlewide/construction trailer; doublewide; triplewide	\$107, \$161; \$214
Building permit-Renovations to existing bldg (+ \$17 compliance fee)	\$0.16/sf, Minimum \$38
(per unit for multicomplex)	
Certificate of occupancy	\$27/unit
Temporary Certificate of Occupancy	\$50, 30 days
First Extension of Temporary Certificate of Occupancy	\$300, 30 days
All Extension of Temporary Certificate of Occupancy thereafter	\$500, every 30 days
Inspections:	Incl. in building permit fee
Inspections - Building compliance	\$107 residential; \$161 commercial \$75 group homes
Inspections - Minimum housing as notified by Customer Service cutoffs	\$38
Inspections - Reinspection (building, electrical, plumbing, HVAC, insulation)	\$75/each
Inspections - Plan review, residential up to 1,500 sf	\$54
Inspections - Plan review, residential over 1,500 sf	\$81
Inspections - Plan review, commercial up to 20,000 sf	\$214
Inspections - Plan review, commercial 20,001-40,000 sf	\$268
Inspections - Plan review, commercial 40,001 or greater	\$428
Permit - Electrical (signs & billboards)	\$43
Permit - Electrical (temporary buildings)	\$100
Permit - Electrical	60 -150 amp - \$54; 200 amp - \$65 400 amp - \$75; 401 - 600 amp - \$86 601 - 800 amp - \$97 801 - 1000 amp - \$107 1001 - 1600 amp - \$118 over 1600 amp - \$120 + \$11 for each additional 100 amp
Permit - Electrical heating & cooling	\$17/each
Permit - Electrical outlets & wall switches	\$33 for 1 - 5; \$43 for 6 - 50; \$65 for 51-100; \$81 for 101-200 \$2 each over 200
Permit - Electrical light fixtures	\$3
Permit - Electrical (whirlpool, window AC, thru-the-wall heat pump, etc)	\$17/each
Permit - Electrical equipment (motors, hoists, xrays, etc)	\$17
Permit - Electrical disconnects & subpanels	\$13/each
Permit - Gas piping & distribution system (residential)	\$22
Permit - Gas appliances	\$17
Permit - Gas refrigeration - coolers/freezers (each unit)	\$27
Permit - Gas boilers/water heaters (each unit)	\$22
Permit - Home Occupation	\$27
Permit - House Moving	\$214

SCHEDULE OF FEES AND CHARGES*
CITY OF NEW BERN
EFFECTIVE JULY 1, 2020

Permit - Insulation (+ \$17 compliance fee):	
Residential (minimum charge \$38)	\$54 per unit + \$27/each additional unit
Commercial (minimum charge \$38)	\$65 per unit + \$33/each additional unit
Permit - Mechanical Residential (HVAC)	\$107 + \$54/each additional unit
Permit - Mechanical Commercial (HVAC) - Roof or ground level units	\$43 + \$7/ton
Permit - Plumbing each fixture	\$11
Permit - Plumbing, backflow preventer (in system)	\$22
Permit - Plumbing, floor drain & grease traps	\$11
Permit - Plumbing, heat pump connections	\$22/each
Permit - Plumbing, lawn sprinkler	\$33
Permit - Plumbing, water distribution system	\$17
Permit - Plumbing, replace or alter existing system	\$17
Permit - Plumbing, sewer distribution system	\$17
Permit - Signs (building permit - based on sign value)	\$1 - \$500 = \$65;
	\$501-\$1,000 = \$75
	\$1,001-\$5,000 = \$86
	\$5,001-\$10,000 = \$97
	over \$10,000 = \$107
Permit - Signs (shopping center master)	\$214
Permit - Signs (temporary, permanent) (additional fees may apply)	\$33
Permit - Tree removal	\$22
7. POLICE: (Code Section 42-32)	
	FEES
Accident report	No charge
Citizens Academy fee	\$25
False Alarm	\$50 on and after 3rd offense
Alarm Registration Fee	\$25
Alarm Reinstatement Fee	\$50
Non-Permitted Alarm System	\$250
Alarm Appeal Fee	\$25
Illegal Use of Automatic Voice Dialer	\$100
Fingerprinting	\$10
Funeral escorts	\$50 per escort with 48 hours notice, \$100 per escort without 48 hours notice
Off-duty fee	\$27/hr (5am to 11pm; \$35/hr (11pm to 5am), 3 hours minimum paid to officer
Off-duty fee for Federal/City Holiday	\$35/hr (5am to 11pm); \$40/hr (11pm to 5am), 3 hours minimum paid to officer
Pawnbroker - initial license application fee	\$50
Pawnbroker - renewal license fee	\$25
Permit - Alarm Registration (first permit/annual renewal)	\$25
Permit - Alarm failure to register	No charge
Permit - Outdoor amplified sound	No charge
Precious Metal Permits:	
Dealer permits (annual)	\$180
Special occasion permit	\$180
Employee certificate of compliance	\$10
Employee certificate of compliance (annual renewal fee)	\$10
Fingerprints (processed for dealer permits - SBI fee)	\$38
Wrecker - (includes inspection)	\$250 to be on rotation list
Parking Penalties (Code Section 70-235)	\$25, see code for further details
8. PUBLIC ASSEMBLY (PARADES AND FESTIVALS): (Code Section 66-86)	
	FEES
City Sponsored Event Fees:	
Vendor Permit Fee	\$25
Food Vendor Service Fee	\$35
NonCity Sponsored Event Fees:	
Vendor Permit Fee	\$35
Food Vendor Service Fee	\$45
Barricade	\$5 each
City Labor: (Hourly Rates)	
Fire - Lieutenant/Inspector	\$29
Fire - Specialist	\$23
Police - Officers (On Duty Rate)	\$35
Police - Officers (Off Duty Rate)	\$27

SCHEDULE OF FEES AND CHARGES*
CITY OF NEW BERN
EFFECTIVE JULY 1, 2020

Public Works - Supervisor	\$35
Public Works - Equipment Operator	\$26
Public Works - Maintenance Worker	\$22
Recreation - Supervisor (per person)	\$35
Recreation - Park Staff (per person)	\$22
9. PUBLIC WORKS: (Code Sections 66-12)	
FEES	
Repair Fees:	
Labor	Hourly rate with benefits*
Material	Actual cost
Equipment trucks	Hourly rate per FEMA schedule*
*See explanation at the end of this Fee Schedule	
Permit - Sidewalk Café	\$150
Permit - Nonprofit street banners	\$75
Public nuisance	Hourly equip rate per FEMA schedule
	schedule + Labor
Safety cones (use)	\$2
Safety cones (replacement)	\$25
Signs - regulatory/right-of-way	Material cost + labor
Signs - Community watch	Material cost + labor
Signs - Handicapped	Material cost + labor
Signs - Hardware (1 set)	Material cost + labor
Signs - Maximum penalty	Material cost + labor
Signs - No parking-fire lane	Material cost + labor
Signs - Van accessible	Material cost + labor
Street closings (right-of-way abandonments)	\$500 plus cost of advertising
10. REFUSE: (Code Section 62-37)	
FEES	
Commercial refuse (65-gal cart / 1x week service)	\$14.75/month + \$14.75 each additional
Dumpster services - 2 yd (1x week service)	\$29.49/month
Dumpster services - 4 yd (1x week service)	\$58.98/month
Dumpster services - 6 yd (1x week service)	\$88.47/month
Dumpster services - 8 yd (1x week service)	\$117.96/month
Refuse container	1 at no charge
Residential service (65-gal cart / 1x week service)	\$14.75
Seniors Exemption Credit	50% of residential service
11. UTILITIES - ELECTRIC: (Code Section 74-46)	
FEES	
Electric rates	See rate ordinance adopted 7/1/17
Additional fee if service needs to be disconnected by	
City personnel at pole due to meter-service tampering	\$160
City personnel at pole due to delinquency	\$160
Changed payment arrangement fee	\$30
Connection/Transfer Fee	\$30
Connection/Transfer Fee - holidays, weekends and after 11am weekdays	\$75
Delinquent Fee (for bills unpaid after 10th day following due date)	\$30
Deposit - Residential (exempt with excellent credit score)	2x highest bills in last 24 months
(refunded after 18 months with good payment history)	Not to exceed \$500
Deposit - Commercial/Industrial (refunded after 60 months with good payment history)	2x highest bills in last 24 months
Fee if payment is not made in night drop as agreed	\$100
Late penalty (payments received after due date)	5% of monthly bill
Meter change out fee	\$155
Meter Diversion Fee (Meter Tampering Investigation)	\$400
Meter test for meters less than 5 years old payable in advance (refunded if meter fails test)	\$75
Payment Arrangement Fee	No charge
Reconnection Fee weekdays 8am-5pm	No charge
Reconnection Fee weekdays 5am-11pm	\$75
Reconnection Fee weekends 8am-11pm	\$75
Temporary electric service and/or utility pole (utility determines location)	
Load management switch recovery fee	Cost of switch from latest bid
Extra facilities charge	% installed costs minimum 5 years, \$75/month
Additional pole	\$350
OH extension beyond two pole spans	\$1.05/ft.
UG line extension beyond 300 ft	\$7.70/ft.
OH to UG conversion of service	\$735
UG Crossings including streets, sidewalks, driveways and other obstacles	Time, material and equipment. See repair fee below

SCHEDULE OF FEES AND CHARGES*
CITY OF NEW BERN
EFFECTIVE JULY 1, 2020

Underground service length	\$7.70
Cost per linear foot	\$6.43
Second trip to site	\$310
Service drop after normal working hours (24-hour notice required)	\$100/hr 2 hours minimum; if service is required to be reconnected, a minimum charge of 4 hours applies
Repair Fees:	
Labor	Hourly Employee Rate w/Benefits
Material	Actual Warehouse cost + 10%
Equipment Trucks	Hourly Rate per FEMA schedule
12. UTILITIES - WATER AND SEWER: (Code Sections 74-97 and 74-121)	
FEES	
Water and sewer system development fees and connection fees	See ordinance adopted 6/12/18
Water and sewer rates	See ordinance adopted 6/23/15
13. UTILITIES - SEWER PRETREATMENT: (Code Sections 74-196)	
FEES	
Pretreatment Programs Fees for SIU's:	
Pretreatment - Permit Application	\$500
Pretreatment - Permit Modification	\$250
Pretreatment - Permit renewal	\$500
Pretreatment - Annual administrative fee	\$300
Pretreatment - Annual inspection	\$100
Pretreatment - Permit fine	\$250
Pretreatment - Administrative fee for monthly review	\$100/month
Pretreatment - Unscheduled sampling	\$500 + analyses charges
Pretreatment - Permit limit violation	\$100
Pretreatment - Technical review criteria	\$250
Pretreatment - Significant noncompliance	\$500
Pretreatment - BOD:	
Surcharge ceiling conc. (mg/L)	\$350
Surcharge cost per pound	\$0.15
Charge for analysis	contract labor cost
Pretreatment - TSS	
Surcharge ceiling conc. (mg/L)	\$250
Surcharge cost per pound	\$0.27
Charge for analysis	Contract labor cost

FEMA - Rates denoted as "FEMA" shall be the rates in effect at the time services are performed as provided by the United States Department of Homeland Security Federal Emergency Management Agency's Public Assistance Program and Policy Guide, FP 104-009-2. Equipment rates may be found at <https://www.fema.gov/assistance/public/schedule-equipment-rates>. Specific equipment not listed shall have a rate based on the rate of the nearest larger piece of equipment.

Labor - Labor charges shall be an employee's hourly rate of pay in effect at the time the service is being performed (standard hourly rate, overtime, etc.) plus all taxes and benefits, including but not limited to social security, medicare, retirement, workers compensation and health insurance.

SCHEDULE OF FEES AND CHARGES*

CITY OF NEW BERN

EFFECTIVE JULY 1, 2020

1. ADMINISTRATIVE		FEES
CD or DVD		\$5
Copies - Other info not specifically listed		Minimum \$2.00 (1 - 10 copies) plus 20¢ each additional copy over 10
GIS Base Maps (8.5"x11")		B&W \$2; color \$3
GIS Base Maps (11"x17")		B&W \$3; color \$5
GIS Base Maps (24"x36")		B&W \$10; color \$15
GIS Base Maps (36"x48")		B&W \$15; color \$30
Plans/Plats (copies of) ariel view - letter size		\$5
Plans/Plats (copies of) ariel view - tabloid size		\$7.50
Plans/Plats (copies of) ariel view - large size		\$12.50
Maps - Other large formats		\$10.00
Maps - Street index map		\$15.00
Maps - Zoning		\$10 large; \$5 small
Maps - GIS staff time for non-existent maps or data:		
Analysis/Coordinator		\$50/hr
Technician		\$25/hr
Administration		\$20/hr
Motor vehicle fee		\$5
Publications:		
CAMA Land Use Plan		\$11
Historic Preservation Guidelines		\$11
Land Use Ordinance		\$12
Urban Design Plan		\$11
Street Atlas Book		\$25
Convenience fee for online payment		\$5
Returned payment fee		\$25
2. CEMETERIES: (Code Sections 18-26 and 18-32)		FEES
Opening/Closing:		
Weekdays before 4pm, adult		\$500 resident/\$700 nonresident
Weekdays before 4pm, infant/cremations/mausoleum		\$250 resident/\$400 nonresident
Weekdays after 4pm and weekends, adult		\$575 resident/\$900 nonresident
Weekdays after 4pm and weekends, infant/cremations/mausoleum		\$300 resident/\$450 nonresident
Holidays, adult		\$650 resident/\$950 nonresident
Holidays, infant/cremations/mausoleum		\$425 resident/\$525 nonresident
Wait time per hour (for noncompliance for "before 4pm" services that extend beyond 4pm)		\$150 resident/\$250 nonresident
Grave/Lot Sales - New Bern Memorial Cemetery:		
Plot - Single grave, resident		\$600
Plot - Single grave, nonresident		\$900
Plot - 4-Grave lot, resident		\$1,850
Plot - 4-Grave lot, nonresident		\$2,750
Plot - Infant grave, resident		\$100
Plot - Infant grave, nonresident		\$275
Plot - Mausoleum, resident		\$3,500
Plot - Mausoleum, nonresident		\$5,250
Plot - Cremations, resident		\$200
Plot - Cremations, nonresident		\$350
Transfer or resale of Cemetery license		\$25
*This schedule of Fees and Charges establishes most of the fees and charges for services offered by the City of New Bern. It does not contain or establish all fines and penalties for violations of city code provisions, nor does it contain rates and charges for the provision of city utility services. In many instances, it will be necessary to refer to specific city code provisions, or to a specific utility rate-setting ordinance in order to determine when a fee, charge, rate or fine is to be imposed. For ease of reference, citations to applicable city code provisions are provided.		
3. FIRE: (Code Section 30-33)		FEES
Working without a permit		Cost of permit plus \$50
Fire Hydrant Flow Test (service provided by contractor and coordinated with fire inspector)		\$50
Plan Review (Construction)		\$50
New Business Inspection		\$50
ABC/ALE Inspection		\$50
Special Requested Inspections		\$50
Care Homes (foster, respite, therapeutic)		\$50
2nd Reinspection (noncompliance when Codes ARE NOT met)		\$75
3rd Reinspection (noncompliance when Codes ARE NOT met)		\$150
Standby personnel-minimum 4-men engine company		FEMA equipment rate plus labor
After hours fire inspection		\$150

SCHEDULE OF FEES AND CHARGES*

CITY OF NEW BERN

EFFECTIVE JULY 1, 2020

Occupying building without a C/O or C/C	\$150
Failure to obtain final inspection	\$100
Operational Permits:	
Amusement buildings	\$75
Carnivals and Fairs	\$75
Combustible dust-producing operations	\$75
Covered and open mall buildings	\$75
Exhibits and trade shows	\$75
Explosives	\$125
Flammable and combustible liquids (only mandated by NC Fire Prevention Code)	\$75
Fumigation and thermal insecticidal fogging	\$75
Liquid or gas vehicles or equipment in assembly buildings	\$75
Private fire hydrants	\$75
Pyrotechnic special effects material	\$125
Spraying or dipping	\$75
Temporary membrane structures and tents	\$75
Open burning - land clearing	\$50/acre cleared
Open burning - hazard reduction	No Fee
Open burning - camp fire	\$75
Construction Permits:	
Automatic fire extinguishing systems	\$100 +\$2 per head
Battery systems	\$75
Compressed gas	\$75
Cryogenic fluids	\$75
Emergency responder radio coverage systems	\$75
Fire alarm and detection systems and related equipment	\$100
Fire pump and related equipment	\$100
Flammable and combustible liquids (only mandated by NC Fire Prevention Code) (per tank if applicable)	\$75
Gates and barricades across fire apparatus access roads	\$75 per gate or barricade
Hazardous materials	\$75
Industrial ovens	\$75
Private fire hydrants	\$75 per hydrant
Smoke control or smoke exhaust systems	\$75
Solar photovoltaic power systems	\$75
Spraying or dipping	\$75
Standpipe systems	\$100
Storage Tank - AST/UST/Installation/Removal/Repiping/Abandonment	\$125
Temporary membrane structures and tents	\$75
4. PARKING: (Code Section 70-272) FEES	
Parking Spaces Monthly Fee:	\$20 Limited/\$30 Residential
Limited: 7:00am - 5:30pm - Monday to Friday	\$20
Limited 5 30pm - 7 00am - 7 days a week	\$10/month
Residential: 24 hours	\$30
Dumpster: 24 hours	\$40
Sign Installation Fee - one-time fee for monthly spaces	\$10
Late Penalty - Parking leases billed and managed by CIS (payment received after due date)	5% of monthly bill
Delinquent Fee - Parking leases billed and managed by CIS (payment received 10+ days after due date)	\$30
Parking Penalties (Code Section 70-274)	\$25, see code for further details
Leased Space Parking Hangers	2 Free, \$3 each additional
5. PARKS AND RECREATION: (Code Section 50-2) FEES	
Athletics and Field Rentals:	
Admission fees for various activities (basketball, tournaments,outdoor concerts, etc) - Daily	not to exceed \$5
Admission fees for various activities (basketball, tournaments,outdoor concerts, etc) - Weekend	not to exceed \$13
Adult sports leagues - Men's basketball (per team)	\$350 resident/\$450 nonresident
Adult sports leagues - Adult 3 on 3 basketball (per team)	\$200 resident/\$275 non resident
Adult sports leagues - Women's basketball (per team)	\$350 resident/\$450 nonresident
Adult sports leagues - Men's flag football (per team)	\$250 resident/\$325 nonresident
Adult sports leagues - Kickball/Dodgeball/Wiffleball (per team)	\$200 resident/\$275 nonresident
Adult sports leagues - co-ed softball (per team)	\$400 resident/nonresident
Adult sports leagues - 5K events per participant	\$30 resident/\$45 nonresident
Adult sports leagues - Individual participation for all leagues	\$20 resident/\$30 nonresident
Adult sports leagues - Co-ed volleyball	\$35 resident/\$45 nonresident

SCHEDULE OF FEES AND CHARGES*

CITY OF NEW BERN

EFFECTIVE JULY 1, 2020

Summer basketball program (Youth)	\$10 resident/\$15 nonresident
Summer basketball program (Adult)	\$15 resident/\$20 nonresident
Aquatic Center General Admission:	
Up to age 2	\$2.50 resident; \$3.25 nonresident
Parent and one child up to age 2 package	\$5.50 resident; \$6.75 nonresident
(\$1.00 for each additional child up to age 2 Limit of 3)	
Age 3-17	\$4.00 resident; \$5.00 nonresident
Age 18-54	\$4.50 resident; \$5.50 nonresident
Age 55 and up (seniors)	\$3.50 resident; \$4.50 nonresident
Aquatic Center Family Night:	
Up to age 2	\$1.00 resident; \$1.50 nonresident
Age 3-17	\$2.00 resident; \$2.50 nonresident
Age 18-54	\$2.50 resident; \$3.00 nonresident
Age 55 and up (seniors)	\$1.50 resident, \$2.00 nonresident
Aquatic Center season pass	\$60 resident; \$75 nonresident
Aquatic Center Pool Party:	
2 Hours - Up to 30 participants	\$150 resident; \$200 nonresident
31 or greater participants (per person)	\$5
Deposit - Refundable	\$50
Athletic Field - Ballfield Preparation (per field)	
Baseball/Softball	\$25
Football/Soccer/Lacrosse	\$100
Athletic field - Day use minimum 2 hours maximum 8 hours (additional after 8 hours):	
Civic organizations/private groups - city sponsored	N/C
Schools during school hours and/or athletic season	N/C
Recreation teams *	\$15/hr
Civic organizations/private groups not charging admission/donations*	\$20/hr resident, \$30/hr nonresident
*No charge if no field prep is done	
Civic organizations/private groups charging admission/donations	\$25/hr resident; \$50/hr nonresident
Athletic field - Night use minimum 2 hours maximum 4 lighted hours:	
Non-city recreation teams	\$30/hr
Civic organization/private groups - not charging admission/donations	\$25/hr resident; \$50/hr nonresident
Civic organizations/private groups charging admission/donations	\$40/hr resident, \$60/hr nonresident
Athletic field (full tournament not to exceed 3 days/2 nights)	\$350 + \$25/hr attendant fee
Athletic field (practice - night use - minimum 2 hours of light; not to exceed 4 hours)	\$20/hr resident, \$30/hr nonresident
EXCEPTION: Tournaments and other types of "special" events by non-profit "charitable" organizations for the purpose of fundraising for others are negotiated with and determined by the Parks and Recreation Department.	
Batting cages, parties only (2 hours). Available offseason only.	\$30
Bleacher rentals (daily rental fees)	\$100 (small); \$150 (medium); \$300 (large) (1-4 sets)
<i>Deposit of 1/2 rental fee required per bleacher, refundable only upon evaluation (returned as rented)</i>	
Recreation Programs:	
Childcare after-school recreation program (resident)	\$35/wk
Childcare after-school recreation program (non-resident)	\$50/wk
Classes - Adult recreation & fitness (annual) indoor	\$30 resident/\$35 nonresident
Classes - Adult recreation & fitness outdoor (20 city/80 split with instructor)	\$6 per class
Classes - Art (resident) includes instructor fee & some materials (20 city /80 split with instructor)	\$20-\$150
Classes - Art (nonresident) includes instructor fee & some materials	\$40-\$200
Classes - Ceramics (resident)	\$30; seniors \$25
Classes - Ceramics (nonresident)	\$40, seniors \$30
Dog Park.	
Yearly 1 dog	\$25 resident/\$50 nonresident
Each additional dog	\$20 resident/\$35 nonresident
One day pass	\$5 resident/\$15 nonresident
Weekend pass	\$15 resident/\$25 nonresident
Monthly pass	\$20 resident/\$25 nonresident
Honor/Memory Programs:	
Honor tree program	\$300 tree resident; \$350 nonresident
Tree purchase program	\$150 - \$250 depending on the species
Memory bench program - new	\$750/bench (includes placard)
Memory bench program - existing	\$600/bench (includes placard)
Brick Pavers	\$75
Kidsville Pickets	\$50

SCHEDULE OF FEES AND CHARGES*

CITY OF NEW BERN

EFFECTIVE JULY 1, 2020

Kidsville Tiles	\$25
Recreation Center Facility Rates	
Multi-purpose room rental (2 hours minimum):	
Resident	\$30/hr
Nonresident	\$45/hr
Gym rental (2 hours minimum):	
Resident	\$40/hr
Nonresident	\$55/hr
Meeting room rental (2 hours minimum):	
Resident	\$25
Nonresident	\$35
Gym - walk-in (1 day)	\$1
Gym - contracted lessons (Parks & Recreation receives 20% of fee)	80/20% split
Kitchen rental:	
Resident	\$25/hr
Nonresident	\$35/hr
Facility rental deposit	\$50
Admission Rate	\$25/hr
(If admission is charged, this additional hourly rate applies to each room rented)	
After hours rentals (per room) shall incur an additional rental rate and staff supervisor fee	\$15/hr room rental + \$20/hr staff
Park Fees:	
Gazebo rental (Union Point Park)	\$40/hr resident; \$70/hr nonresident
Union Point Park Green space - per side (adjacent to gazebo)	\$50/hr resident; \$80/hr nonresident
Park Green Space - Small	\$40/hr resident; \$70/hr nonresident
Park Green Space - Medium	\$50/hr resident; \$80/hr nonresident
Park Green Space - Large	\$60/hr resident; \$90/hr nonresident
Shelter Reservation:	
Resident (half day - up to 4 hours)	\$20 - \$30 based on location
Nonresident (half day - up to 4 hours)	\$30 - \$40 based on location
Resident (full day - up to 8 hours)	\$30 - \$45 based on location
Nonresident (full day - up to 8 hours)	\$40 - \$55 based on location
Company inside city (half day - up to 4 hours)	\$25 - \$45 based on location
Company outside city (half day - up to 4 hours)	\$40 - \$60 based on location
Company inside city (full day - up to 8 hours)	\$30 - \$60 based on location
Company outside city (full day - up to 8 hours)	\$40 - \$70 based on location
Sprayground (Daily admission before noon for group reservations)	\$1 resident/\$3 nonresident
Summer camps:	
Bear Bunch Camp (per session)	\$75 resident/\$95 nonresident
Cooking Camp	\$105 resident/\$125 nonresident
Sports Camp	\$75 resident/\$95 nonresident
Teen Camp	\$75 resident/\$95 nonresident
Y.E.S. camp	\$25 for 1st/\$20 each additional resident
Y.E.S. camp	\$35 for 1st/\$30 each additional nonresident
Adventure Camp	\$100 resident/\$125 nonresident
Swim lesson sessions - 8 classes per session	\$40 resident/\$70 nonresident
(Reduced rate of \$10 per session available for City residents who qualify (application available))	
Youth Sports:	
Youth football and cheerleading	\$50 resident/\$80 nonresident
Youth basketball	\$40 resident/\$70 nonresident
Youth baseball	\$20-\$40 resident/\$30-\$50 nonresident
Youth soccer	\$40 resident/\$70 nonresident
Youth lacrosse	\$40 resident/\$70 nonresident
Youth road races (per participant)	\$30 resident/\$45 nonresident
Fishing Tournament Attendant (opening/closing)	\$25/hr
Community Garden (per space)	\$25
NOTE: Indoor facility rentals are limited to 10 hours per day, and outdoor facility rentals are limited to 12 hours per day. Rentals exceeding these hours will require director's approval.	
6. Development Services:	
FEES	
Certificate of zoning compliance letter	\$27
Conditional use permit	\$375
Historic Preservation - Minor works	\$22
Historic Preservation - Major works requiring design review	\$107
Historic preservation - Major works not requiring design review	\$27

SCHEDULE OF FEES AND CHARGES*

CITY OF NEW BERN

EFFECTIVE JULY 1, 2020

Homeowners recovery fee (single family dwelling only)	\$10
Site Plan review	\$214
Special use permit	\$321
Subdivision plan review	\$161
P&Z General Subdivision Plan Review Application	\$161 or \$11/lot whichever is greater
Subdivision application - final review	\$214 or \$27/lot whichever is greater
Subdivision application - minor plats & recombination	\$107
Telecommunication - New wireless support structure	\$1,500 per section 15-170 of Other Land Use Ordinance
Telecommunication - other	\$500
Zoning compliance	\$22
Zoning compliance - Residential flood plain	\$54
Zoning compliance - Commercial flood plain	\$107
Zoning permit	\$38
Administrative Fees:	
Weed and debris clearance	\$71
Removing abandoned vehicles	\$71
Boarding up buildings (MHC)	\$84
Starting work without a permit	1st-\$107 + permit; 2nd-\$161 + permit; 3rd-\$214 + permit; 4th-\$268 + permit
Convenience fee for online payment	\$5.00
Building permit (+ \$17 compliance fee):	
Residential Single family/townhouse/duplex - per unit for multicomplex	Heated \$0.21/sf; Unheated \$0.16/sf
Minimum charge \$38	
Commercial: minimum charge \$38	\$0.18/sf
Building permit - Demolition (+ \$17 compliance fee)	Residential \$161, Commercial \$321
Building permit - Manufactured mobile home: singlewide/construction trailer; doublewide; triplewide	\$107; \$161; \$214
Building permit-Renovations to existing bldg (+ \$17 compliance fee)	\$0.16/sf; Minimum \$38
(per unit for multicomplex)	
Certificate of occupancy	\$27/unit
Temporary Certificate of Occupancy	\$50, 30 days
First Extension of Temporary Certificate of Occupancy	\$300, 30 days
All Extension of Temporary Certificate of Occupancy thereafter	\$500, every 30 days
Inspections:	Incl. in building permit fee
Inspections - Building compliance	\$107 residential; \$161 commercial \$75 group homes
Inspections - Minimum housing as notified by Customer Service cutoffs	\$38
Inspections - Reinspection (building, electrical, plumbing, HVAC, insulation)	\$75/each
Inspections - Plan review, residential up to 1,500 sf	\$54
Inspections - Plan review, residential over 1,500 sf	\$81
Inspections - Plan review, commercial up to 20,000 sf	\$214
Inspections - Plan review, commercial 20,001-40,000 sf	\$268
Inspections - Plan review, commercial 40,001 or greater	\$428
Permit - Electrical (signs & billboards)	\$43
Permit - Electrical (temporary buildings)	\$100
Permit - Electrical	60 -150 amp - \$54, 200 amp - \$65 400 amp - \$75; 401 - 600 amp - \$86 601 - 800 amp - \$97 801 - 1000 amp - \$107 1001 - 1600 amp - \$118 over 1600 amp - \$120 + \$11 for each additional 100 amp
Permit - Electrical heating & cooling	\$17/each
Permit - Electrical outlets & wall switches	\$33 for 1 - 5, \$43 for 6 - 50; \$65 for 51-100; \$81 for 101-200 \$2 each over 200
Permit - Electrical light fixtures	\$3
Permit - Electrical (whirlpool, window AC, thru-the-wall heat pump, etc.)	\$17/each
Permit - Electrical equipment (motors, hoists, xrays, etc.)	\$17
Permit - Electrical disconnects & subpanels	\$13/each
Permit - Gas piping & distribution system (residential)	\$22
Permit - Gas appliances	\$17
Permit - Gas refrigeration - coolers/freezers (each unit)	\$27
Permit - Gas boilers/water heaters (each unit)	\$22
Permit - Home Occupation	\$27
Permit - House Moving	\$214

SCHEDULE OF FEES AND CHARGES*

CITY OF NEW BERN
EFFECTIVE JULY 1, 2020

Permit - Insulation (+ \$17 compliance fee):	
Residential (minimum charge \$38)	\$54 per unit + \$27/each additional unit
Commercial (minimum charge \$38)	\$65 per unit + \$33/each additional unit
Permit - Mechanical Residential (HVAC)	\$107 + \$54/each additional unit
Permit - Mechanical Commercial (HVAC) - Roof or ground level units	\$43 + \$7/ton
Permit - Plumbing each fixture	\$11
Permit - Plumbing, backflow preventer (in system)	\$22
Permit - Plumbing, floor drain & grease traps	\$11
Permit - Plumbing, heat pump connections	\$22/each
Permit - Plumbing, lawn sprinkler	\$33
Permit - Plumbing, water distribution system	\$17
Permit - Plumbing, replace or alter existing system	\$17
Permit - Plumbing, sewer distribution system	\$17
Permit - Signs (building permit - based on sign value)	\$1 - \$500 = \$65;
	\$501-\$1,000 = \$75
	\$1,001-\$5,000 = \$86
	\$5,001-\$10,000 = \$97
	over \$10,000 = \$107
Permit - Signs (shopping center master)	\$214
Permit - Signs (temporary, permanent) (additional fees may apply)	\$33
Permit - Tree removal	\$22
7. POLICE: (Code Section 42-32)	FEES
Accident report	No charge
Citizens Academy fee	\$25
False Alarm	\$50 on and after 3rd offense
Alarm Registration Fee	\$25
Alarm Reinstatement Fee	\$50
Non-Permitted Alarm System	\$250
Alarm Appeal Fee	\$25
Illegal Use of Automatic Voice Dialer	\$100
Fingerprinting	\$10
Funeral escorts	\$50 per escort with 48 hours notice; \$100 per escort without 48 hours notice
Off-duty fee	\$27/hr (5am to 11pm, \$35/hr (11pm to 5am), 3 hours minimum paid to officer
Off-duty fee for Federal/City Holiday	\$35/hr (5am to 11pm); \$40/hr (11pm to 5am), 3 hours minimum paid to officer
Pawnbroker - initial license application fee	\$50
Pawnbroker - renewal license fee	\$25
Permit - Alarm Registration (first permit/annual renewal)	\$25
Permit - Alarm failure to register	No charge
Permit - Outdoor amplified sound	No charge
Precious Metal Permits	
Dealer permits (annual)	\$180
Special occasion permit	\$180
Employee certificate of compliance	\$10
Employee certificate of compliance (annual renewal fee)	\$10
Fingerprints (processed for dealer permits - SBI fee)	\$38
Wrecker - (includes inspection)	\$250 to be on rotation list
Parking Penalties (Code Section 70-235)	\$25, see code for further details
8. PUBLIC ASSEMBLY (PARADES AND FESTIVALS): (Code Section 66-86)	FEES
City Sponsored Event Fees:	
Vendor Permit Fee	\$25
Food Vendor Service Fee	\$35
NonCity Sponsored Event Fees:	
Vendor Permit Fee	\$35
Food Vendor Service Fee	\$45
Barricade	\$5 each
City Labor: (Hourly Rates)	
Fire - Lieutenant/Inspector	\$29
Fire - Specialist	\$23
Police - Officers (On Duty Rate)	\$35
Police - Officers (Off Duty Rate)	\$27

SCHEDULE OF FEES AND CHARGES*

CITY OF NEW BERN

EFFECTIVE JULY 1, 2020

Public Works - Supervisor	\$35
Public Works - Equipment Operator	\$26
Public Works - Maintenance Worker	\$22
Recreation - Supervisor (per person)	\$35
Recreation - Park Staff (per person)	\$22
9. PUBLIC WORKS: (Code Sections 66-12)	FEES
Repair Fees:	
Labor	Hourly rate with benefits*
Material	Actual cost
Equipment trucks	Hourly rate per FEMA schedule*
*See explanation at the end of this Fee Schedule	
Permit - Sidewalk Café	\$150
Permit - Nonprofit street banners	\$75
Public nuisance	Hourly equip rate per FEMA schedule
	schedule + Labor
Safety cones (use)	\$2
Safety cones (replacement)	\$25
Signs - regulatory/right-of-way	Material cost + labor
Signs - Community watch	Material cost + labor
Signs - Handicapped	Material cost + labor
Signs - Hardware (1 set)	Material cost + labor
Signs - Maximum penalty	Material cost + labor
Signs - No parking-fire lane	Material cost + labor
Signs - Van accessible	Material cost + labor
Street closings (right-of-way abandonments)	\$500 plus cost of advertising
10. REFUSE: (Code Section 62-37)	FEES
Commercial refuse (65-gal cart / 1x week service)	\$14.75/month + \$14.75 each additional
Dumpster services - 2 yd (1x week service)	\$29.49/month
Dumpster services - 4 yd (1x week service)	\$58.98/month
Dumpster services - 6 yd (1x week service)	\$88.47/month
Dumpster services - 8 yd (1x week service)	\$117.96/month
Refuse container	1 at no charge
Residential service (65-gal cart / 1x week service)	\$14.75
Seniors Exemption Credit	50% of residential service
11. UTILITIES - ELECTRIC: (Code Section 74-46)	FEES
Electric rates	See rate ordinance adopted 7/1/17
Additional fee if service needs to be disconnected by	
City personnel at pole due to meter-service tampering	\$160
City personnel at pole due to delinquency	\$160
Changed payment arrangement fee	\$30
Connection/Transfer Fee	\$30
Connection/Transfer Fee - holidays, weekends and after 11am weekdays	\$75
Delinquent Fee (for bills unpaid after 10th day following due date)	\$30
Deposit - Residential (exempt with excellent credit score)	2x highest bills in last 24 months
(refunded after 18 months with good payment history)	Not to exceed \$500
Deposit - Commercial/Industrial (refunded after 60 months with good payment history)	2x highest bills in last 24 months
Fee if payment is not made in night drop as agreed	\$100
Late penalty (payments received after due date)	5% of monthly bill
Meter change out fee	\$155
Meter Diversion Fee (Meter Tampering Investigation)	\$400
Meter test for meters less than 5 years old payable in advance (refunded if meter fails test)	\$75
Payment Arrangement Fee	No charge
Reconnection Fee weekdays 8am-5pm	No charge
Reconnection Fee weekdays 5am-11pm	\$75
Reconnection Fee weekends 8am-11pm	\$75
Temporary electric service and/or utility pole (utility determines location)	
Load management switch recovery fee	Cost of switch from latest bid
Extra facilities charge	% installed costs minimum 5 years, \$75/month
Additional pole	\$350
OH extension beyond two pole spans	\$1.05/ft.
UG line extension beyond 300 ft.	\$7.70/ft.
OH to UG conversion of service	\$735
UG Crossings including streets, sidewalks, driveways and other obstacles	Time, material and equipment. See repair fee below

SCHEDULE OF FEES AND CHARGES*

CITY OF NEW BERN

EFFECTIVE JULY 1, 2020

Underground service length	\$7 70
Cost per linear foot	\$6.43
Second trip to site	\$310
Service drop after normal working hours (24-hour notice required)	\$100/hr 2 hours minimum; if service is required to be reconnected, a minimum charge of 4 hours applies
Repair Fees.	
Labor	Hourly Employee Rate w/Benefits
Material	Actual Warehouse cost + 10%
Equipment Trucks	Hourly Rate per FEMA schedule
12. UTILITIES - WATER AND SEWER: (Code Sections 74-97 and 74-121)	
FEES	
Water and sewer system development fees and connection fees	See ordinance adopted 6/12/18
Water and sewer rates	See ordinance adopted 6/23/15
13. UTILITIES - SEWER PRETREATMENT: (Code Sections 74-196)	
FEES	
Pretreatment Programs Fees for SIU's:	
Pretreatment - Permit Application	\$500
Pretreatment - Permit Modification	\$250
Pretreatment - Permit renewal	\$500
Pretreatment - Annual administrative fee	\$300
Pretreatment - Annual inspection	\$100
Pretreatment - Permit fine	\$250
Pretreatment - Administrative fee for monthly review	\$100/month
Pretreatment - Unscheduled sampling	\$500 + analyses charges
Pretreatment - Permit limit violation	\$100
Pretreatment - Technical review criteria	\$250
Pretreatment - Significant noncompliance	\$500
Pretreatment - BOD:	
Surcharge ceiling conc. (mg/L)	\$350
Surcharge cost per pound	\$0 15
Charge for analysis	contract labor cost
Pretreatment - TSS:	
Surcharge ceiling conc. (mg/L)	\$250
Surcharge cost per pound	\$0 27
Charge for analysis	Contract labor cost

FEMA - Rates denoted as "FEMA" shall be the rates in effect at the time services are performed as provided by the United States Department of Homeland Security Federal Emergency Management Agency's Public Assistance Program and Policy Guide, FP 104-009-2. Equipment rates may be found at <https://www.fema.gov/assistance/public/schedule-equipment-rates>. Specific equipment not listed shall have a rate based on the rate of the nearest larger piece of equipment

Labor - Labor charges shall be an employee's hourly rate of pay in effect at the time the service is being performed (standard hourly rate, overtime, etc) plus all taxes and benefits, including but not limited to social security, medicare, retirement, workers compensation and health insurance

AGENDA ITEM COVER SHEET

Agenda Item Title:

Consider adopting an amendment to the FY 2020-21 annual adopted budget.

Date of Meeting: 11/10/2020	Ward # if applicable:
Department: Finance	Person Submitting Item: Mary M. Hogan, Director of Finance
Call for Public Hearing: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Date of Public Hearing:

Explanation of Item:	Consider adopting an amendment to the FY 2020-21 annual adopted budget.
Actions Needed by Board:	Adopt ordinance amendment.
Backup Attached:	Memo, Ordinance Amendment

Is item time sensitive? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No
Will there be advocates/opponents at the meeting? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

Cost of Agenda Item:
If this requires an expenditure, has it been budgeted and are funds available and certified by the Finance Director? <input type="checkbox"/> Yes <input type="checkbox"/> No

Additional Notes:



TO: City Manager, Honorable Mayor and Members of the Board of Aldermen
FROM: Mary M. Hogan - Director of Finance
DATE: 10/30/2020
RE: Amendment to the FY 2020-21 Operating Budget

The following are amendments to the Fiscal Year 2020-21 Operating Budget:

General Fund

- a) Appropriate \$25,000 for the design and bidding of the Racetrack Road project. Fund balance will be the funding source for this initial cost.
- b) Establish the \$1,503,895 budget for the City-wide radio project, which was approved at the 9/8/2020 Board of Aldermen meeting. This project will be funded with installment financing proceeds.

Grants Fund

- a) Recognize a \$6,783 Department of Justice, Bureau of Justice Assistance 2020 Bulletproof Vest Partnership Grant. This grant requires a city match of \$6,783, which is included in the General Fund FY20-21 operating budget.
- b) Recognize a \$25,000 NC Dept. of Transportation, 2021 Governors Highway Safety Program grant (GHSP). There is no city match required. The funds will be used to purchase pole mounted speed display signs, training, travel costs to allow participation in various GHSP initiatives, campaigns and events.
- c) Recognize \$10,754 Department of Justice, Bureau of Justice Assistance 2020 Edward Byrne Memorial Justice Assistance Grant. There is no city match required. The funds will be used to acquire a police K9 and for the initial training, equipment and certification of the K9 and its new handler.

Requested Action

The Board considers adopting the enclosed budget ordinance amendment at its meeting on November 10, 2020.

Everything comes together here.

CITY OF NEW BERN, NORTH CAROLINA
REQUESTED AMENDMENT TO
Fiscal Year 2020-2021

FROM: Mary M. Hogan, Director of Finance

Meeting Date: November 10, 2020

EXPLANATION:

The General Fund is amended to allocate fund balance for the design and bidding of the Racetrack Road project and establish the city-wide radio project budget which will be funded with installment financing proceeds. The Grants Fund is amended to acknowledge the following grants: a) \$6,783 Department of Justice, Bureau of Justice Assistance 2020 Bulletvest Partnership Grant. This grant requires a city match of \$6,786, which is included in the General Fund FY20-21 operating budget. b) \$25,000 NC Dept. of Transportation, 2021 Governors Highway Safety Program grant. There is no city match required. c) \$10,754 Department of Justice, Bureau of Justice Assistance 2020 Edward Byrne Memorial Justice Assistance Grant. There is no city match required.

BE IT ORDAINED BY THE BOARD OF ALDERMEN OF THE CITY OF NEW BERN
THAT THE 2020-2021 Annual Budget ORDINANCE IS AMENDED AS FOLLOWS:

Section 1 - Appropriations

Schedule A - GENERAL FUND

Increase: Police	\$ 1,503,895.00
Public Works	
Streets	25,000
	<u>\$ 1,528,895</u>

Schedule K - GRANTS FUND

Increase: Police - SRF	<u>\$ 49,320</u>
------------------------	------------------

Section 2 - Estimated Revenues

Schedule A - GENERAL FUND

Increase: Proceeds of Debt	\$ 1,503,895
Fund Balance Appropriated	25,000
	<u>\$ 1,528,895</u>

Schedule K - GRANTS FUND

Increase: Police - SRF	\$ 42,537
Interfund Transfers	6,783
	<u>\$ 49,320</u>

NATURE OF TRANSACTION:

 X ADDITIONAL REVENUE AVAILABLE FOR APPROPRIATION
 TRANSFER WITHIN ACCOUNTS OF SAME FUND
 OTHER : _____

APPROVED BY THE BOARD OF ALDERMEN AND
ENTERED ON MINUTES DATED NOVEMBER 10, 2020
AGENDA ITEM NUMBER _____

BRENDA E. BLANCO, CITY CLERK

AGENDA ITEM COVER SHEET

Agenda Item Title:

Authorize the Public Works to purchase of a Vermeer 12" Brush Chipper as part of the FY 21 budget verses a flatbed pickup truck.

Date of Meeting: 11/10/2020	Ward # if applicable: N/A
Department: Public Works	Person Submitting Item: Matt Montanye, Director of Public Works
Call for Public Hearing: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	Date of Public Hearing: N/A

Explanation of Item:	The Public Works Department is request that the Board of Aldermen authorize the purchase of a 12" Vermeer Brush Chipper as part of the FY 21 budget verses a flatbed pickup truck that was previously approved.
Actions Needed by Board:	Adopt attached resolution
Backup Attached:	Memo, Resolution, Bid Tabulation, Advertisement for Bids, Project Plan

Is item time sensitive? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Will there be advocates/opponents at the meeting? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No

Cost of Agenda Item: No net increase to the FY 21 Budget
If this requires an expenditure, has it been budgeted and are funds available and certified by the Finance Director? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No

Additional Notes:



NEW BERN
NORTH CAROLINA

Public Works Department
P.O. Box 1129, 1004 S. Glenburnie Road
New Bern, N.C. 28563-1129
Phone: (252) 639-7501
Fax: (252) 636-1848

October 27, 2020

Memo to: Mayor and Board of Aldermen

From: Matt Montanye, Director of Public Works

Re: Authorize the Public Works Department to purchase a Vermeer 12" Brush Chipper as part of the FY 21 budget verses a flatbed pickup truck.

Background Information:

As part of the FY 21 budget the Public Works Department requested four capital items. One of these items was a flatbed pickup truck that was flooded during Hurricane Florence. Due to the uncertainty of if or when insurance would replace and for what amount this replacement was included in the FY21 budge. Following the budget approval in June, we learned that the replacement of the flooded vehicle was approved through insurance and has since been received.

The Public Works Department is requesting that since the flatbed truck has already been replaced that we be authorized to purchase a Vermeer 12" Brush Chipper, instead of a replacement flatbed truck. The proposed woodchipper being requested is scheduled for replacement in FY 22 as part of the Public Works five-year Capital plan.

This change will have no negative impact on the existing budget and once all the approved capital items have been purchased there will be a total savings of \$35,567. Below is a list of the items that were approved as part of the FY-21 budget as well as the actual cost including this request:

Capital Item:	Budgeted:	Actual	Cost:
Kauffman Low Boy Trailer	\$ 60,000.00	\$ 48,243.00	<i>Already Purchased</i>
John Deer Mower with bush hog	\$ 52,000.00	\$ 37,515.00	<i>Already Purchased</i>
F-250 Work Body Truck	\$ 40,000.00	\$ 38,367.00	<i>Already Purchased</i>
Flatbed Pickup Woodchipper	\$ 58,000.00	\$ 50,308.00	
TOTAL	\$210,000.00	\$174,433.00	

Should you need any additional information or have any questions, please feel free to give me a call.

cc: Daryl Nelson, Streets Superintendent

BC1200XL GAS BRUSH CHIPPER



BC1200XL



DUAL HORIZONTAL OFFSET FEED ROLLERS.

Improve performance by aggressively grabbing and feeding material to the drum. The offset helps the upper feed roller climb over big logs or material with lots of branches and forks.

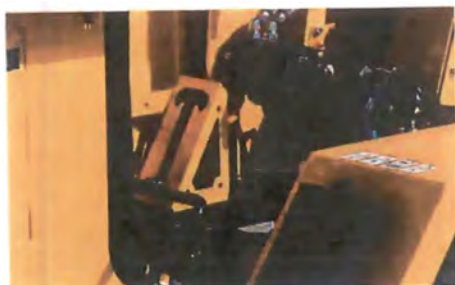


EASILY LIFTS HEAVY MATERIAL. An optional winch allows operators to move large logs effortlessly. The 150' (45.7 m) winch line can handle logs up to 2000 lb (907.2 kg) and can be used to lift the log onto the feed table.



ELECTRONIC FUEL INJECTION ENGINE.

With improved fuel economy, the 135 horsepower (101 kW) Power Solutions International (PSI) engine allows for more efficient working conditions and boosts engine response under load.



A CLUTCHLESS PTO SYSTEM. Avoids premature wear to the belt-drive system by preventing high-speed engagement of the cutter drum. The throttle is integrated with the belt drive to help ensure the PTO can be engaged only while the engine is at low speed.



EXTENDED WARRANTY. The 3-year/3000-hour extended limited warranty on drum housing, cutter drum, shaft and ring-fetter hubs offers you peace of mind, in addition to the 1-year/1000-hour Vermeer equipment limited warranty.

ECOIDLE™

ECOIDLE™ ENGINE CONTROL SYSTEM.

When the EcoIdle function is selected by the operator, the engine speed automatically lowers to a preset rpm after 1 minute or 5 minutes of inactivity to help reduce fuel consumption when not chipping material. Due to this idling, noise and greenhouse emissions are also reduced.



VERMEER.COM

Vermeer



EQUIPPED TO
DO MORE.

BC1200XL GAS BRUSH CHIPPER

GENERAL

Length: 168" (426.7 cm)

Width: 79" (200.7 cm)

Height: 103" (261.6 cm)

Weight (with winch): 5980 lb (2712.49 kg)

Weight: 5680 lb (2576.4 kg)

ENGINE

Make/Model: PSI 4.XL Electronic Fuel Injection

Horsepower: 135 hp (101 kW)

Max torque: 258 ft-lb (349.8 Nm) @1400 rpm

Fuel type: Gasoline

Number of cylinders: 6

Cooling medium: Liquid

FEED SYSTEM

Chipping capacity (max): 13.3" (33.8 cm)

Infeed opening height: 32" (81.3 cm)

Infeed opening width: 52" (132.1 cm)

Feed roller orientation: Dual horizontal offset

Feed table height: 32" (81.3 cm)

Feed speed (max): 110 fpm

Feed roller dimensions (upper roller): 15" (38.1 cm) diameter x 17" (43.2 cm)

Feed roller dimensions (lower roller): 11.1" (28.2 cm) diameter x 17" (43.2 cm)

CUTTING SYSTEM

Drum dimensions: 20" diameter x 20" wide (50.8 cm x 50.8 cm)

Drum speed: 2000 rpm

Knives: Two A8 chipper steel

Bedknife: Four usable edges

CAPACITIES/ELECTRICAL

Fuel tank: 25 gal (94.6 L)

Hydraulic tank: 12 gal (45.4 L)

System voltage: 12 V

Lights: LED brake, turn, tail, license, side indicators

CHASSIS/BRAKES

Frame: 7" x .25" (17.8 cm x .6 cm) Z-channel

Tires (option 1): ST235/80/R16 Load Range E

Tires (option 2): ST285/75/R16 Load Range E

Axle/Suspension: 7000 lb (3175.2 kg) rubber torsion

Electrical brakes with breakaway switch

OPTIONS

Extended warranty

Special paint

Planned maintenance

Vermeer Confidence Plus® asset protection program

NOTES:

Vermeer Corporation reserves the right to make changes in engineering, design and specifications; add improvements; or discontinue manufacturing at any time without notice or obligation. Equipment shown is for illustrative purposes only and may display optional accessories or components. Please contact your local Vermeer dealer for more information on machine specifications. Vermeer, the Vermeer logo, EcoDile, Equipped to Do More and Vermeer Confidence Plus are trademarks of Vermeer Manufacturing Company in the U.S. and/or other countries. PSI is a trademark of Power Solutions International Inc. © 2020 Vermeer Corporation. All Rights Reserved. Printed in the U.S.A. Please recycle.

Vermeer



EQUIPPED TO
DO MORE.

2020 Vermeer Corporate Account Pricing

Sourcewell Grounds Maintenance Contract # 062117-VRM

☐ QUOTE☐ ORDER**BC1200XL - 12" Brush Chipper with Gas Engine****Basic Unit**

BC1200XL Brush Chipper (12" capacity drum style) w/ 135 hp PSI 4X gas engine, rubber engine isolators, high coolant temperature, low oil pressure automatic shutdown (006), isolated cutter housing, 13" x 17" feed opening, live hydraulics, dual offset horizontal feed rollers, SmartFeed, 25 gallon fuel tank, steel engine enclosure, rear infeed cover, infeed table w/ lower feed stop bar, ECO Idle, SmartFeed and MFD display(013), trailer 2/ 7,000 lb capacity torsion axle, electric brakes, telescoping tongue, pintle hitch, break-away switch, fender assembly, domestic LED trailer lighting (089), 235/75R17.5 H/J Tires (077), right side controls (048), chute rotate - manual (fixed handle rotation) (015), basic discharge deflector (017), Telematics (AM002)

For additional options, see "Optional Features" section below.

Basic Unit Price: **\$44,003.00****Optional Features:**

Add to Basic Unit Price:

- | | | |
|-------------------------------------|---|-------------------|
| <input type="checkbox"/> | Chute Rotate - Deluxe (chain drive w/ crank handle rotation) (016) | |
| <input type="checkbox"/> | Discharge Deflector - Deluxe (quick ground adjustment) (018) | |
| <input type="checkbox"/> | Tree Commander Kit - Remote Control Feature (compatible w/ BC1200XL T4I and Gas serial # 1457 and up) (IK013054 - Order thru Parts Ctr) | |
| <input checked="" type="checkbox"/> | BC1200XL 135HP gas winch right side controls (IK033251) | \$4,590.00 |
| <input type="checkbox"/> | Miscellaneous Features: sale code ____ | \$ ____ |

Extended Warranty

- | | | |
|--------------------------|---|--|
| <input type="checkbox"/> | 2 Year Parts & Labor Warranty (PL2) | |
| <input type="checkbox"/> | Confidence Plus 2 Yrs (CP2)- Premium Cov w/Mnt- Includes 2 Yr Parts & Labor Warranty initial 4 services | |
| <input type="checkbox"/> | 3 year Parts & Labor Warranty (PL3) | |
| <input type="checkbox"/> | Confidence Plus 3 Yrs (CP3)- Premium Cov w/Mnt- Includes 3 Yr Parts & Labor Warranty initial 4 services | |
| <input type="checkbox"/> | Planned Maintenance Package- 4 Intervals (PM) | |

Must Enter Qty: **0**

Date:	8/21/2020
For:	
Sourcewell Member #:	
Provided By:	
Contact Name	city new bern
Mobile #:	

Subtotal:	\$48,593.00
Dealer Freight & Prep:	1,715.00
Quantity	1

Total:	\$50,308.00
Sales Tax:	

Grand Total \$50,308.00

Pricing effective 06/28/20

NOTE: All pricing in USD \$

NOTE Include applicable sales tax

Quotes valid for 30 days

ACCEPTED:

Vermeer

BY _____

DATE: _____

Customer

BY _____

DATE: _____

Any applicable sales tax is not included. Prices subject to change without notice. These prices are exclusive of any and all duties, import fees, taxes, or other similar charges. These prices may not be available in any transaction involving a trade or rental transaction. This sheet may not include all possible specifications available for this model. For complete product specifications, please contact your local authorized Vermeer dealer. Unless otherwise noted, dealer freight & prep to be determined.



City of New Bern Capital Summary Form: Budget Years 2021 - 2026

Department Name: **Public Works**

DESCRIPTION	Department	FUNDING SOURCE INPUT	FY 21	FY 22	FY 23	FY 24	FY 25	FY 26	TOTAL BUDGET IMPACT
Equipment:									
1 Diagnostic Maching	City Garage	1111-8030	\$ 20,000.00						\$ -
2 Lift Upgrade-Alignments	City Garage	1111-8030			\$ 40,000.00				\$ 40,000.00
3 Vehicle Lift- Replacement	City Garage	1111-8030				\$ 15,000.00			\$ 15,000.00
4 Mower Tractor	Streets	1111-8050	\$ 62,000.00						\$ -
5 Lowboy	Streets	1111-8050	\$ 60,000.00						\$ -
6 Flatbed Truck	Streets	1111-8050	\$ 60,000.00						\$ -
7 Chipper	Streets	1111-8050		\$ 52,000.00					\$ 52,000.00
8 Tandum Dump Truck	Streets	1111-8050		\$ 100,000.00					\$ 100,000.00
9 Small Paving Machine	Streets	1111-8050		\$ 150,000.00					\$ 150,000.00
10 Tractor Trailer	Streets	1111-8050			\$ 75,000.00				\$ 75,000.00
11 Flatbet Truck	Streets	1111-8050				\$ 70,000.00			\$ 70,000.00
12 Traffic Conctol Boxes	Streets	1111-8050		\$ 45,000.00		\$ 45,000.00		\$ 45,000.00	\$ 135,000.00
13 Sideboy Mower	Streets	1111-5050			\$ 140,000.00				\$ 140,000.00
14 Leaf Vacuum Truck	Streets	1111-8050					\$ 400,000.00		\$ 400,000.00
15 Loaded	Streets	1111-8050						\$ 275,000.00	\$ 250,000.00
16 Backhoe	Stormwater	1111-8090		\$ 85,000.00					\$ 85,000.00
17 Route Truck	Solid Waste	5411-9302		\$ 180,000.00					\$ 180,000.00
18 Route Truck	Solid Waste	5411-9302				\$ 180,000.00			\$ 180,000.00
19 Route Truck	Solid Waste	5411-9302						\$ 180,000.00	\$ 180,000.00
20 Excavator	Solid Waste	5411-9302			\$ 250,000.00				\$ 250,000.00
21 Chip Trailer	Solid Waste	5411-9302			\$ 50,000.00				\$ 50,000.00
22									
23									
24									
TOTAL EQUIPMENT			\$ 192,000.00	\$ 612,000.00	\$ 555,000.00	\$ 310,000.00	\$ 400,000.00	\$ 500,000.00	\$ 2,352,000.00
Vehicles:									
1 Service Vehicle	Administration	1111-8010		\$ 40,000.00					\$ 40,000.00
2 Service Vehicle	City Garage	1111-8030			\$ 40,000.00				\$ 40,000.00
3 Service Vehicle	Public Buildings	1111-8040	\$ 45,000.00						\$ -
4 Service Vehicle	Public Buildings	1111-8040			\$ 45,000.00				\$ 45,000.00
5 Service Vehicle	Public Buildings	1111-8040				\$ 45,000.00			\$ 45,000.00
6 Service Vehicle	Streets	1111-8050	\$ 40,000.00						\$ -
7 Service Vehicle	Streets	1111-8050		\$ 40,000.00					\$ 40,000.00
8 Service Vehicle	Streets	1111-8050			\$ 40,000.00				\$ 40,000.00
9 Service Vehicle	Streets	1111-8050				\$ 40,000.00			\$ 40,000.00
10 Service Vehicle	Streets	1111-8050					\$ 40,000.00		\$ 40,000.00
11 Service Vehicle	Streets	1111-8050						\$ 40,000.00	\$ 40,000.00
12 Service Vehicle	Stormwater	1111-8090	\$ 40,000.00						\$ -
13 Service Vehicle	Stormwater	1111-8090			\$ 40,000.00				\$ 40,000.00
14 Service Vehicle	Stormwater	1111-8090					\$ 40,000.00		\$ -
15 Service Vehicle	Solid Waste	5411-9302			\$ 40,000.00				\$ 40,000.00
TOTAL VEHICLES			\$ 125,000.00	\$ 80,000.00	\$ 205,000.00	\$ 85,000.00	\$ 80,000.00	\$ 40,000.00	\$ 450,000.00
Other Capital Projects:									
1 Sidewalk Improvements	Streets	1111-8050		\$ 250,000.00					\$ 250,000.00
2									\$ -
3									\$ -
4									\$ -
5									\$ -
TOTAL PROJECTS			\$ -	\$ 250,000.00	\$ -	\$ -		\$ -	\$ 250,000.00
TOTAL CAPITAL			\$ 317,000.00	\$ 942,000.00	\$ 760,000.00	\$ 395,000.00	\$ 480,000.00	\$ 540,000.00	\$ 3,052,000.00

Aldermen

Sabrina Bengel
Jameesha Harris
Robert V. Aster
Johnnie Ray Kinsey
Barbara J. Best
Jeffrey T. Odham



Dana E. Outlaw
Mayor
Mark A. Stephens
City Manager
Brenda E. Blanco
City Clerk
Mary M. Hogan
Director of Finance

Memorandum

TO: Mayor Dana Outlaw
FROM: Brenda Blanco, City Clerk *BB*
DATE: October 22, 2020
SUBJECT: Appointment to Appearance Commission

On June 11, 2019, you appointed Martha "Molly" Ingram to the Appearance Commission. Ms. Ingram recently resigned from her seat, as she will be relocating to another state in November. You are asked to make a new appointment to serve the remainder of Ms. Ingram's term.

When possible, appointees to this Commission should have special training or experience in a design field, such as architecture, landscape design, horticulture, city planning, or a closely-related field.

/beb