



Development Services Department
303 First St. P.O. Box 1129
New Bern, NC 28563
(252) 639-7581

TO: New Bern Historic Preservation Commission
FROM: Matt Schelly, AICP, City Planner
DATE: November 12, 2020
RE: Regular Meeting, **5:30 PM, Wednesday, November 18, 2020**, in the Courtroom, Second Floor, City Hall, 303 Pollock St.

REGULAR MEETING AGENDA – 5:30 PM

1. Opening of Meeting with Roll Call
2. Approval of Minutes of Previous Meeting(s)
3. Hearings on Certificates of Appropriateness:
 - A. **Hearings: Introduction, Swearing-In, Summary of Process**
 - Introduction of Hearings and Rules of Procedure
 - Swearing-In of Speakers
 - Summary of the Hearing Process
 - Applications:**
 - B. **719 E. Front St.** – to include dimensional and window placement revisions to the approved plans for a new infill house.
 - C. **212 Hancock St.** – to include removal of existing stoop and steps, installation of new wood porch structure with standing seam metal roofing, square posts, wood railing, wood decking, brick foundation piers and brick infill, brick and wooden steps, brick landing and terrace, and boxwood hedges, all in the Primary AVC.
 - D. **614 Craven St.** – to include new brick and metal fencing and gate plus wood porch railing in the Primary AVC, and paving and replacement wood window in the Tertiary AVC.
 - E. **415 S. Front St.** – to include louver configuration and walkway roof revisions to the approved plans for a covered deck in the Tertiary AVC.

**Please note that applications for these projects, including proposed plans, are available for review during normal business hours in the Development Services Department (303 First Street).*
4. Old Business (non-hearing items tabled or continued from a previous meeting): None
5. General Public Comments

Everything comes together here.

6. New Business:
 - A. **Discuss and Decide if the December meetings will be cancelled**
 - B. **Discuss and Decide on the 2021 calendar of meetings**
 - C. **Discuss and decide if an Awards Committee is to be formed**
7. HPC Administrator's Report
 - A. **Report on CoAs Issued since the Day before the Prior Regular Meeting Agenda was posted until the Day before this Agenda Was Posted (10/15/20 - 11/12/20)**
 - MAJORS:
 - 612 New St. – new porch railing, screening the side porch, new wood deck, and a shed.
 - 205 King St. – replacing a wood gate with a decorative metal gate.
 - 830 Queen St. – new wood railing, wood porch ceiling, wood porch lattice skirting, new wood pilasters, and new wood lap siding.
 - 613 Pollock St. - Tryon Palace Garden Cottage – a new accessory structure.
 - 801 E. Front St. – a new design for construction of a new infill house.
 - 811 E. Front St. – construction of a new infill house.
 - 815 E. Front St. – construction of a new infill house.
 - 808 E. Front St. – construction of a new infill house.
 - 219 Middle St. – new rooftop dining area, mechanical enclosure, and metal stairway.
 - MINORS:
 - 728 Queen St. overhead door, awning
 - 831 N Craven St. – fencing
 - 402 Queen St. – foundation infill
 - 610 Metcalf St. ROW – tree removal
 - 616 New St. – tree replacement
 - 610 New St. – porch reroofing
 - 218 Metcalf St. – fencing
 - 201 Johnson St. – generator
 - 511 Metcalf St. – front door
 - 511 New St. – driveway, side steps
 - 203 S Front St. (CCCC) – 18 tree replacements
 - B. **Report on CoA Extensions Issued since the Prior Regular Meeting:**
 - 720 E. Front St. – Extension until November 20, 2021, of the CoA approved November 20, 2019 - a new infill house.
 - C. **SHPO Training – recent HPC group viewing**
 - i. Historic Rehabilitation Tax Credits
 - D. **Other Items and Updates**
 - i.
8. Commissioners' Comments
9. Adjourn

October 15, 2020

Mr. Matt Schelly
City Planner
Development Services
City of New Bern
303 First Street (28560)
PO Box 1129
New Bern, NC 28563

pottsm@newbernnc.org

RE: Corr Residence
719 East Front Street
New Bern, Craven County
MBFA No: 1814

Dear Matt:

Enclosed herewith please find an Application for a Certificate of Appropriateness for a major work.

This package consists of the following:

1. Check No. 15815 in the amount of \$107.00 made payable to the City of New Bern
2. Application for a Certificate of Appropriateness
3. Letter of Representation
4. Drawings HPC-1 through HPC-9, 24 inch by 36 inch format, nine sheets

Predominant materials to be used on the project are as follows:

1. Masonry foundation walls with brick coursework where exposed. Masonry foundation walls with louvered wood panels where exposed on porches
2. Dimensional lumber for floor and roof framing
3. Columns are nominal 8 inch by 8 inch, square synthetic posts
4. Porch decking is treated wood, nominal 6 inch plank by 1.25 inch thickness
5. Stairs are treated wood, nominal 6 inch plank by 1.25 thickness or brick masonry
6. Smooth clapboard siding is painted fiber cement. Smooth Board and batten siding is painted fiber cement
7. Fascia, soffit, skirt and trim are smooth fiber cement; reference attached details
8. Aluminum railings with center aligned balustrade; reference attached details
9. Asphalt shingle roofing; where indicated in attached details, low-sloped roofing is standing seam metal with flat pans and contemporary hip and ridge flashings
10. Windows are cellular PVC
11. Window shutters are synthetic with operable hardware
12. Doors are fiberglass
13. Privacy fence is treated wood; reference attached details
14. Low fence is treated wood; reference attached details
15. Garden wall is brick masonry columns with inset brick coursework; reference attached details

Specific Guidelines in the "Historic District Guidelines" which apply to this project (cont from application):

- 2.1 Development Pattern: The proposed location of the new house follows the Tight Weave pattern. The front set back is 15' from the front property line to allow for a transitional front yard space and large rear yard space. The proposed setback is in keeping with the average setback of the buildings on the same block. The proposed infill construction is a two-story home with a double-story wrap around porch. This configuration occurs along the same block of E. Front Street.
- 2.1.1 "Maintain the established development pattern for placement of infill construction. The relationship of a structure to the property boundaries should be similar to those up the street, down the street and in most cases, across the street."
- 2.3 Utilities: The utility equipment is located in the Secondary AVC, is elevated above the floodplain and is screened from view.
- 2.5 Fences and Garden Walls: Privacy fencing located in the Secondary and Tertiary AVC is treated wood and has a vertical dimension of six feet. Privacy fencing located in the Primary AVC is treated wood and has a vertical dimension of four feet. Brick masonry garden walls are located in the Primary AVC and have a vertical dimension of four feet or less.
- 2.6 Accessory Structures: The proposed garage is situated behind the house and is secondary to the primary structure in regard to mass, scale, form, and texture. The proposed workshop is situated behind the house and is also secondary to the primary structure in regards to mass, scale, form and texture.
- 3.1 Design Principles: Windows, doors and openings are compatible in proportion, shape, location, size, and quantity with typical surrounding residential historic construction. Historic architectural styles have not been applied to the detailing of the structure.
- 3.2.1 "Select materials that are consistent with the structure. Limit the palette to those materials that were available at the time a building was originally constructed."
- 3.4 Infill Construction: Contemporary materials have been used in traditional ways and installed in a traditional manner.
- 3.4.3 "Use of modern materials is acceptable as a means of continuing the evolution of architecture through time. However, the use of aluminum and vinyl siding, faux brick and stone, stamped concrete and similar imitation materials is not appropriate."
- 4.1 Foundations: Solid brick masonry foundation with 1" recessed brick masonry panels has been used on the primary residence to emphasize piers. Solid brick masonry foundation with louvered wood panels has been used on the primary residence porches to emphasize piers.
- 4.2 Walls, Trim and Ornamentation: Clapboard is painted fiber-cement. Board and batten is painted fiber-cement. Trim and Ornamentation are synthetic and simple, contemporary shapes.
- 4.3 Windows, Doors, & Openings: Windows, doors and openings are compatible in proportion, shape, location, size, and quantity with typical surrounding residential historic construction. Window shutters are proportionate and operable with operable hardware.
- 4.4 Entrances: The front porch consists of wood decking, square synthetic columns, synthetic railings, and a low-sloped standing seam metal hip roof.
- 4.5 Roofs: The main roof of the house is a fiberglass asphalt shingled, front gable shape. Minor roofs (over porches) are low-sloped and hipped with standing seam metal roofing.
- 4.5.4 "Standing seam metal roofs shall have a pan width no greater than 24 inches. Pans shall be completely flat without corrugation. Provide double locked seams with flush ridge and hip flashing on contributing structures." The proposed infill construction is non-contributing and therefore meets the guideline by using standing seam metal roofing with smooth pans and contemporary hip and ridge flashings so that it is not mistaken for a contributing structure with metal roofing.

5.5 Contemporary Materials: Proposed materials for the structure match the dimension, shape, and texture of their counterparts commonly found in the historic district and are used in traditional ways.

Please place this item on the agenda for the forthcoming November 21, 2018 meeting.

Sincerely,

A handwritten signature in blue ink, appearing to read 'D. Eure', with a stylized flourish at the end.

Darden J. Eure, III, AIA, NCARB
MBF Architects, P.A.

Cc: eure@mbfarchitects.com
stacontracting@gmail.com, thecorrs@bellsouth.net



317-C Pollock Street | New Bern, NC 28560 | 252.637.6373 | mbfarchitects.com

BB&T
BRANCH BANKING AND TRUST COMPANY
NORTH CAROLINA
66-112/531



10/15/2020


PAY TO THE
ORDER OF City of New Bern

\$ **107.00

One Hundred Seven and 00/100*****

DOLLARS

City of New Bern
300 Pollock Street
New Bern, NC 28560


AUTHORIZED SIGNATURE

MEMO
HPC Certificate of Appropriateness

⑈00015815⑈ ⑆053101121⑆0005296027261⑈

FEE SCHEDULE (office use only)

☐ \$22 Standard Application (minor)
☐ \$107 Standard Application (major)



HPC Administrator
HPCadmin@newbern-nc.org
 Work: (252) 639-7583
 Fax: (252) 636-2146

Application for a Certificate of Appropriateness
(For Alterations to Properties in Locally Designated Historic Districts)

For assistance see "CoA Instructions", as well as "Historic District Guidelines", available online at:
<http://www.newbern-nc.org/departments/development/historic-preservation/historic-preservation-guidelines/>

Type of Project: ☐ Exterior Alteration ☐ Addition ☒ Infill ☐ Site Work ☐ Other

I. Applicant/Owner Information:

Property Address (Include year built, if known):

719 East Front Street, New Bern, NC 28560

Property Owner Name(s):
 Shannon & Corinne Corr

Owner Mailing Address:
 504 Pollock Street,
 New Bern, NC 28560

Phone #'s:
 (252) 514-7217
 (252) 649-5380

Email:
 stacontracting@gmail.com
 thecorrs@bellsouth.net

Applicant Name (if different):
 Tripp Eure

Applicant Mailing Address:
 317-C Pollock Street
 New Bern, NC 28560

Phone #'s:
 (252) 637-6373

Email:
 eure@mbfarchitects.com

II. Project Information: *(See "CoA Instructions" & "Historic Guidelines" for help in completing this section)*

1. Provide a detailed description of work to be conducted on site: (Attach additional sheets if needed)

Infill construction of new residence on existing vacant lot on East Front Street.

Continued on additional sheet or attached brochure ☐

2. Reference the specific Guideline(s) in the "Historic District Guidelines" which you believe apply to this project: (page and guideline number):

See attached cover letter

Continued on additional sheet or attached brochure ☒

3. Provide a detailed description of materials to be used (copies of brochures, texture, etc.):

Reference the specific Guidelines in the Historic District Guidelines for the proposed material(s).

See attached cover letter

Continued on additional sheet or attached brochure ☒

III. Additional Information Provided: (See "CoA Instructions" for more detail)

Plan(s) of Work, with: (please check all of those which are included with this application)

- ☒ Site plan (with annotated notes showing existing site and requested work)
- ☐ Photographs of the building and location where the proposed work will be completed
- ☐ Annotated notes or photos of materials to be used (samples may also be submitted)
- ☒ Floor plan with dimensions (for additions)
- ☒ Elevations with dimensions (for exterior additions or renovations)
- ☐ Supporting materials (brochures, photos of similar New Bern projects, estimates, etc.)
- ☒ Letter from owner acknowledging this application, in the case of submission by an applicant or lessee.

Please see Development Services Staff (Staff) prior to submittal for initial review of the application and advisement if additional information will be required before consideration at a Historic Preservation Commission hearing.

Please read the following statements. Your signature below acknowledges that you have read the statements and attest to their accuracy:

Check one: ☐ I am the owner of the Property, or
☒ I am acting on behalf of the owner of the property and I have attached a letter from the owner(s) indicating their knowledge of this application.

- ◆ I understand that submittal of this application does not constitute approval of proposed alterations.
- ◆ I understand that the approval of this application by City Staff or the New Bern Historic Preservation Commission (HPC) does not constitute approval of other federal, state, or local permit applications.
- ◆ I understand that I (or my representative) will need to attend the Hearing of this Application by HPC. No Applications shall be heard without a representative present and all applicable fees paid in full.
- ◆ I have reviewed the City of New Bern's "Historic District Guidelines" in preparing this Application.
- ◆ I understand that the property referenced by this Certificate of Appropriateness (CoA) application is in one of New Bern's local historic districts and that it represents a part of New Bern's historic fabric. If a CoA is approved by HPC or Staff, I agree to implement all changes as specified in the approved CoA, including any conditions. I understand that I am responsible for contacting Staff if I have any questions regarding the allowed changes specified in the approved CoA.
- ◆ I understand that ANY unapproved alterations are enforceable as a violation of City Ordinance and must be brought into compliance by removal or through the CoA process.
- ◆ I affirm that all the information included in this application is true to the best of my knowledge.
- ◆ I understand that incomplete applications cannot be considered.



Signature of Applicant/Owner

October 15, 2020

Date

APPLICATION SHOULD BE SUBMITTED TO THE DEVELOPMENT SERVICES MAIN OFFICE AT 303 FIRST ST. NO LESS THAN 2 WEEKS PRIOR TO UPCOMING MEETING. FOR FURTHER INFORMATION, CONTACT THE ADMINISTRATOR OF THE HISTORIC PRESERVATION COMMISSION AT (252) 639-7583.



October 15, 2020

Mr. Matt Schelly
City Planner
Development Services
City of New Bern
303 First Street (28560)
PO Box 1129
New Bern, NC 28563

pottsm@newbern-nc.org

RE: Corr Residence
719 East Front Street
New Bern, Craven County
MBFA No: 1814

Dear Morgan:

Please accept this communication authorizing MBF Architects, P.A. to appear and represent the property owner before the Historic Preservation Commission in procuring a Certificate of Appropriateness for the above referenced work.

Sincerely,

A handwritten signature in blue ink, appearing to read "D. Eure", with a stylized flourish at the end.

Darden J. Eure, III, AIA, NCARB
MBF Architects, P.A.

Cc: Owner, stacontracting@gmail.com, thecorrs@bellsouth.net

Authorized by

A handwritten signature in blue ink, appearing to read "Shannon and Corinne Corr", with a large, sweeping flourish at the end.

Shannon and Corinne Corr, Property Owners

A handwritten signature in blue ink, appearing to read "Corinne Corr", in a cursive style.

D

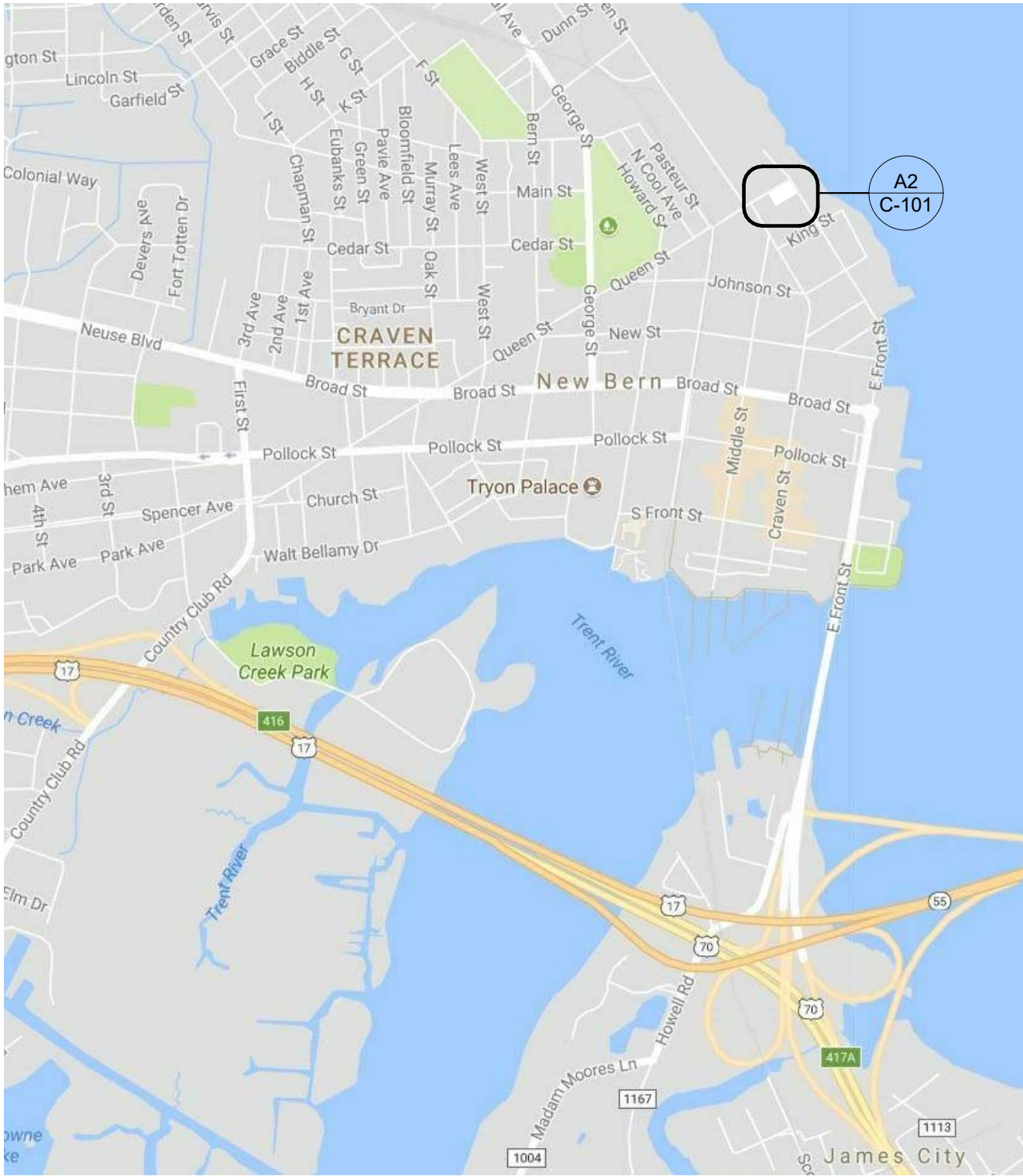
C

B

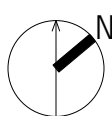
A

CORR RESIDENCE

719 EAST FRONT STREET NEW BERN, CRAVEN COUNTY

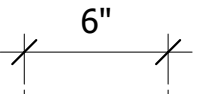
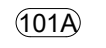
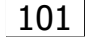
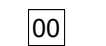


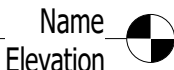
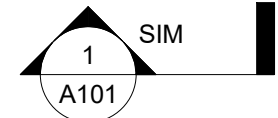

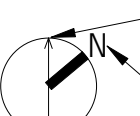
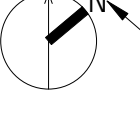


C3 AREA MAP
SCALE: NTS



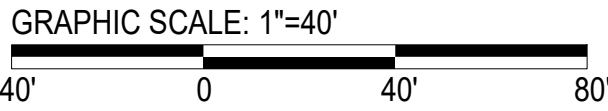
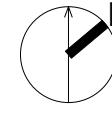
SHEET INDEX		
SHEET NUMBER	PLATE NUMBER	SHEET NAME
1 OF 9	HPC-1	TITLE SHEET
2 OF 9	HPC-2	SITE PLAN
3 OF 9	HPC-3	EXTERIOR ELEVATIONS
4 OF 9	HPC-4	EXTERIOR ELEVATIONS
5 OF 9	HPC-5	EXTERIOR ELEVATIONS
6 OF 9	HPC-6	EXTERIOR ELEVATIONS
7 OF 9	HPC-7	WORKSHOP ELEVATIONS
8 OF 9	HPC-8	GARAGE ELEVATIONS
9 OF 9	HPC-9	SURROUNDING AREA

MBF ARCHITECTS, P.A. HAS BEEN ENGAGED TO PERFORM PARTIAL SCHEMATIC DESIGN SERVICES. THESE SERVICES DELINEATE BASIC CONSTRUCTION REQUIREMENTS NECESSARY FOR PROCURING A CERTIFICATE OF APPROPRIATENESS. FURNISH MATERIALS AS INDICATED IN THE APPROVED APPLICATION. DETAILED CONSTRUCTION DOCUMENTS AND CONSTRUCTION ADMINISTRATION SERVICES ARE BEYOND THE SCOPE OF THIS AGREEMENT AND ARE FURNISHED BY OTHERS.

SYMBOL LEGEND	
 DIMENSIONS SHOWN THUSLY ARE TO THE FACE OF THE ELEMENT BEING DIMENSIONED (WALL, FRAME, ETC.)	
	DOOR DESIGNATION
	ROOM DESIGNATION
	WINDOW DESIGNATION
	WALL TYPE
	COLUMN LINE
	ELEVATION DESIGNATION
	SECTION MARK
	ENLARGED PLAN/DETAIL MARK
	ACTUAL NORTH
	PROJECT NORTH
NOTE: LEGEND APPLIES TO ALL ARCHITECTURAL SHEETS	



A3 VICINITY MAP
SCALE: 1" = 40'-0"



REVISIONS	#	DATE	DESCRIPTION

FOR HPC REVIEW ONLY



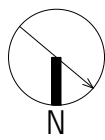
MBFA No: 1814
TITLE SHEET

HPC-1
SHEET 1 OF 9

[illegible]

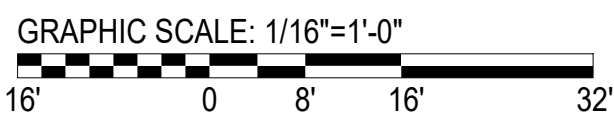
SITE PLAN

SHEET 2 OF 9



SITE PLAN

SCALE: 1/16" = 1'-0"

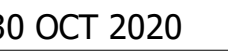


1. SMOOTH CLAPBOARD SIDING IS PAINTED FIBER CEMENT
2. WINDOWS ARE WINDSOR LEGEND - CELLULAR PVC
3. TRIM IS SMOOTH FIBER CEMENT
4. EXTERIOR DOORS ARE FIBERGLASS
5. EXTERIOR HANDRAIL AND RAILINGS ARE ALUMINUM
6. EXTERIOR DECK FLOORING IS STAINED WOOD
7. COLUMNS ARE SQUARE SYNTHETIC

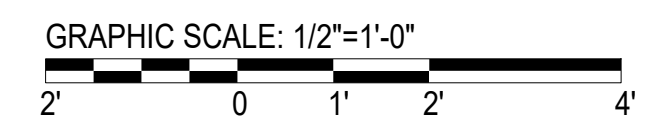
1. STANDING SEAM METAL ROOFING WITH FLAT PANS AND CONTEMPORARY HIP AND RIDGE FLASHINGS
2. BRICK MASONRY FOUNDATION WITH INSET BRICK MASONRY PANELS
3. BRICK MASONRY FOUNDATION WITH LOUVERED WOOD PANELS
4. SCREEN AND STOPS ON THE CENTERLINE OF COLUMNS
5. BRICK MASONRY COLUMNS WITH INSET BRICK MASONRY GARDEN WALL
6. WOOD FENCE
7. BRICK MASONRY STAIRS
8. SMOOTH BOARD AND BATTEN SIDING
9. BRICK ROWLOCK

se drawings (the graphic representation of the
gn) and the Architectural Design(s) indicated herein
ected by MBF Architects, PA. remain the property of
rchitect. They are protected under the 1990
itectural Works Copyright Protection Act.
roduction or reuse of these documents or designs
out written consent of the Architect is prohibited.
right 2017 © MBF Architects, PA.

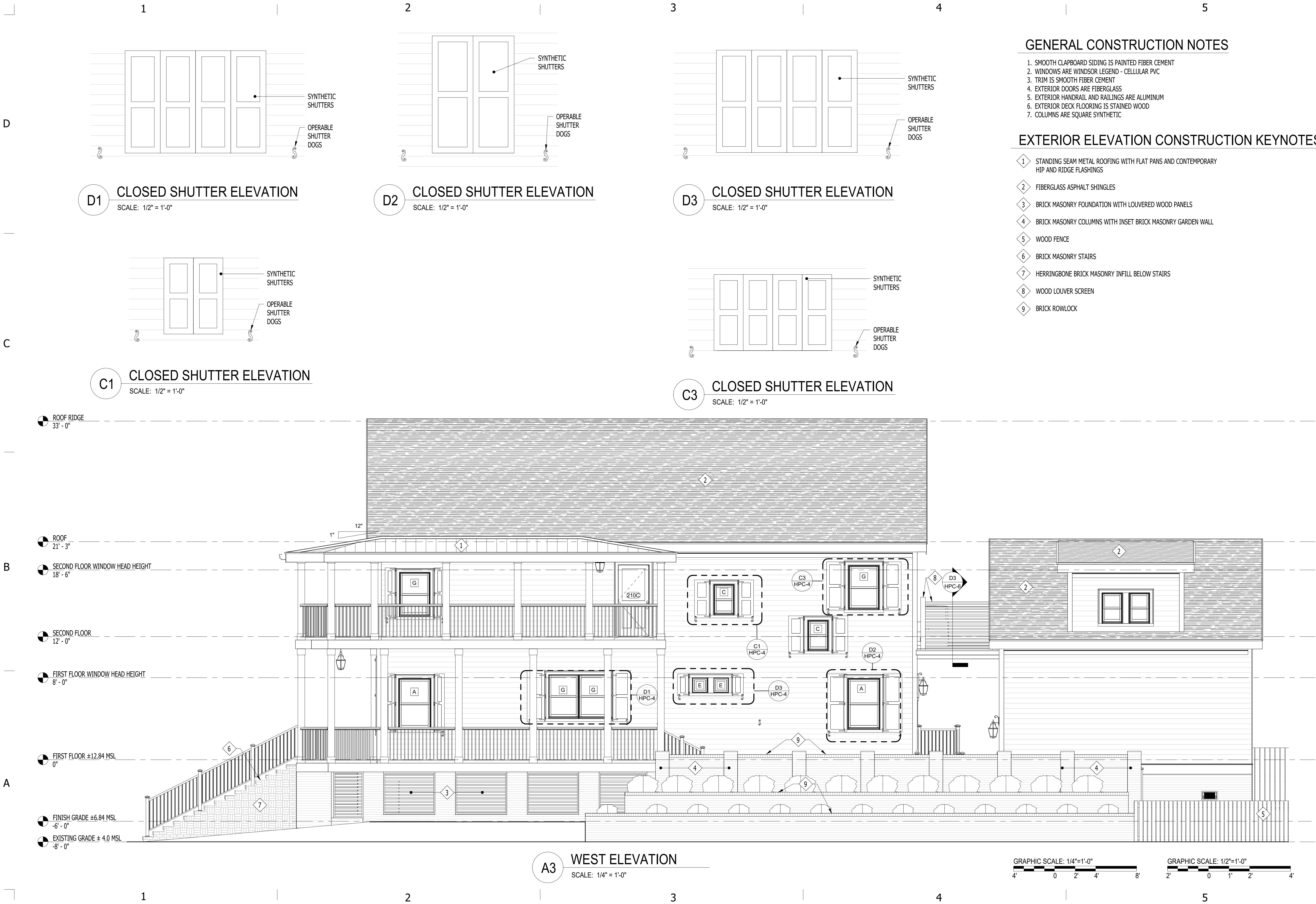
FOR HPC REVIEW ONLY



SHEET 3 OF 9



File Path: S:\projects\2018\1814 Corr Residence\1814 Design\1814 Dwgs\1814 ARCH R2019.rvt
Print Date: 11/4/2020 10:56:50 AM



GENERAL CONSTRUCTION NOTES

1. SMOOTH CLAPBOARD SIDING IS PAINTED FIBER CEMENT
2. WINDOWS ARE WINDSOR LEGEND - CELLULAR PVC
3. TRIM IS SMOOTH FIBER CEMENT
4. EXTERIOR DOORS ARE FIBERGLASS
5. EXTERIOR HANDRAIL AND RAILINGS ARE ALUMINUM
6. EXTERIOR DECK FLOORING IS STAINED WOOD
7. COLUMNS ARE SQUARE SYNTHETIC

EXTERIOR ELEVATION CONSTRUCTION KEYNOTES

1. STANDING SEAM METAL ROOFING WITH FLAT PANS AND CONTEMPORARY HIP AND RIDGE FLASHINGS
2. FIBERGLASS ASPHALT SHINGLES
3. BRICK MASONRY FOUNDATION WITH LOUVERED WOOD PANELS
4. BRICK MASONRY COLUMNS WITH INSET BRICK MASONRY GARDEN WALL
5. WOOD FENCE
6. BRICK MASONRY STAIRS
7. HERRINGBONE BRICK MASONRY INFILL BELOW STAIRS
8. WOOD LOUVER SCREEN
9. BRICK ROWLOCK

REVISIONS	DESCRIPTION	
	DATE	
#		

FOR HPC REVIEW ONLY

PRELIMINARY
NOT FOR
CONSTRUCTION
15 AUG 2020
30 OCT 2020

MBF ARCHITECTS P.A.
REGISTERED ARCHITECTURAL FIRM
CERT. NO. 50679
NEW BERN, NC

MBFA No: 1814
EXTERIOR ELEVATIONS

HPC-4
SHEET 4 OF 9

GENERAL CONSTRUCTION NOTES

1. SMOOTH CLAPBOARD SIDING IS PAINTED FIBER CEMENT
2. WINDOWS ARE WINDSOR LEGEND - CELLULAR PVC
3. TRIM IS SMOOTH FIBER CEMENT
4. EXTERIOR DOORS ARE FIBERGLASS
5. EXTERIOR HANDRAIL AND RAILINGS ARE ALUMINUM
6. EXTERIOR DECK FLOORING IS STAINED WOOD
7. COLUMNS ARE SQUARE SYNTHETIC

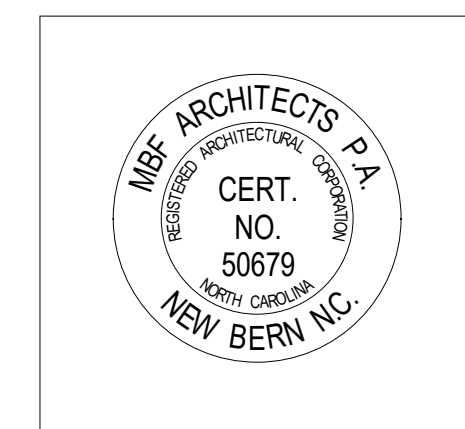
EXTERIOR ELEVATION CONSTRUCTION KEYNOTES

- 1 STANDING SEAM METAL ROOFING WITH FLAT PANS AND CONTEMPORARY HIP AND RIDGE FLASHINGS
- 2 FIBERGLASS ASPHALT SHINGLES
- 3 BRICK MASONRY FOUNDATION WITH LOUVERED WOOD PANELS
- 4 BRICK MASONRY FOUNDATION WITH INSET BRICK MASONRY PANELS
- 5 FLOOD VENT
- 6 BRICK MASONRY STAIRS
- 7 HERRINGBONE BRICK MASONRY INFILL BELOW STAIRS
- 8 STAINED WOOD STAIRS
- 9 WOOD LOUVER SCREEN
- 10 SCREEN AND STOPS ON THE CENTERLINE OF COLUMNS
- 11 SLOPING SIDEWALK

These drawings (the graphic representation of the design) and the Architectural Design(s) indicated herein created by MBF Architects, PA, remain the property of the Architect. They are protected under the 1990 Architectural Works Copyright Protection Act. Reproduction or reuse of these documents or designs without written consent of the Architect is prohibited. Copyright 2017 © MBF Architects, PA.

[illegible]

FOR HPC REVIEW ONLY



MBFA No: 1814

EXTERIOR
ELEVATIONS

HPC-5

SHEET 5 OF 9

RAILING SECTION

SCALE: 3/4" = 1'-0'

WOOD PRIMARY FENCE SECTION

SCALE: 3/4" = 1'-0"

WOOD TERTIARY FENCE SECTION

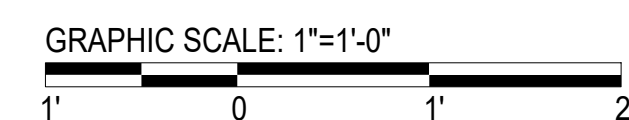
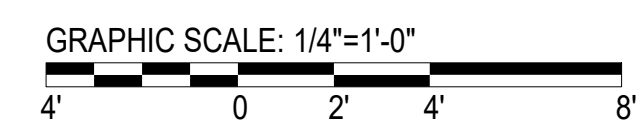
SCALE: 3/4" = 1'-0"

RAILING INFORMATION

SCALE: 6" = 1'-0"

EAST ELEVATION

SCALE: 1/4" = 1'-0"



[illegible]

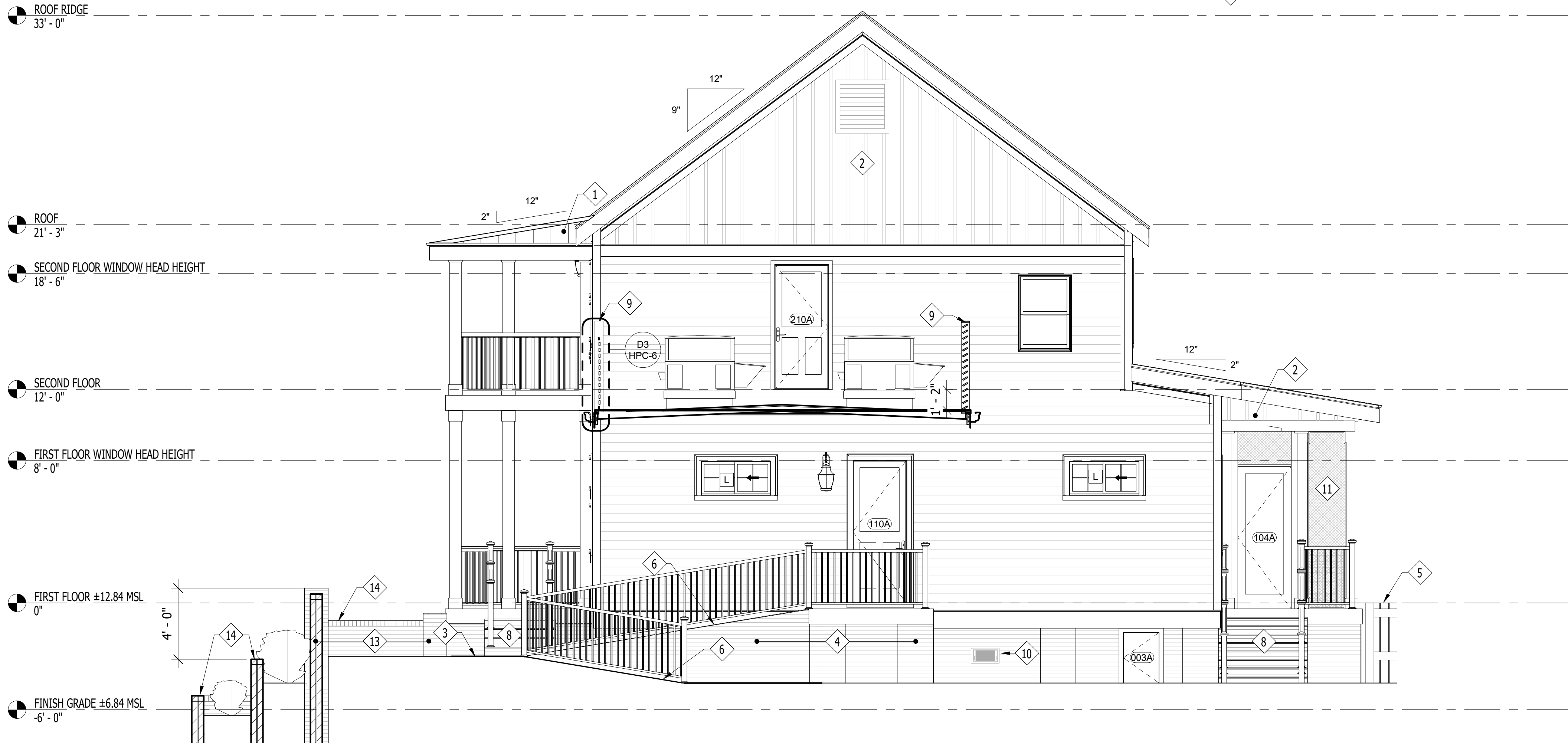
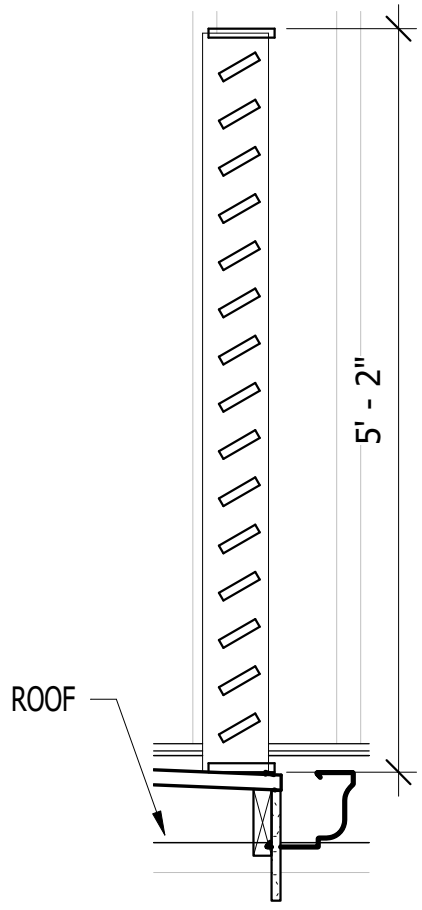
EXTERIOR ELEVATIONS

SHEET 6 OF 9

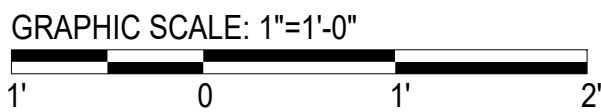
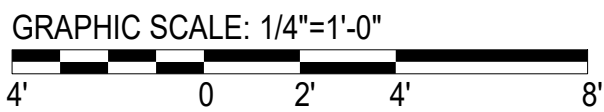
- . SMOOTH CLAPBOARD SIDING IS PAINTED FIBER CEMENT
- . WINDOWS ARE WINDSOR LEGEND - CELLULAR PVC
- . TRIM IS SMOOTH FIBER CEMENT
- . EXTERIOR DOORS ARE FIBERGLASS
- . EXTERIOR HANDRAIL AND RAILINGS ARE ALUMINUM
- . EXTERIOR DECK FLOORING IS STAINED WOOD
- . COLUMNS ARE SQUARE SYNTHETIC

- 1 STANDING SEAM METAL ROOFING WITH FLAT PANS AND CONTEMPORARY HIP AND RIDGE FLASHINGS
- 2 SMOOTH BOARD AND BATTEN SIDING
- 3 CONCRETE WALK
- 4 BRICK MASONRY FOUNDATION WITH INSET BRICK MASONRY PANELS
- 5 WOOD FENCE
- 6 SLOPING SIDEWALK
- 7 NOT USED
- 8 STAINED WOOD STAIRS
- 9 WOOD LOUVER SCREEN
- 0 FLOOD VENT
- 1 SCREEN AND STOPS ON THE CENTERLINE OF COLUMNS
- 2 BRICK MASONRY COLUMNS WITH INSET BRICK MASONRY GARDEN WALL
- 3 BRICK ROWLOCK

SCALE: 3/4" = 1'-0"



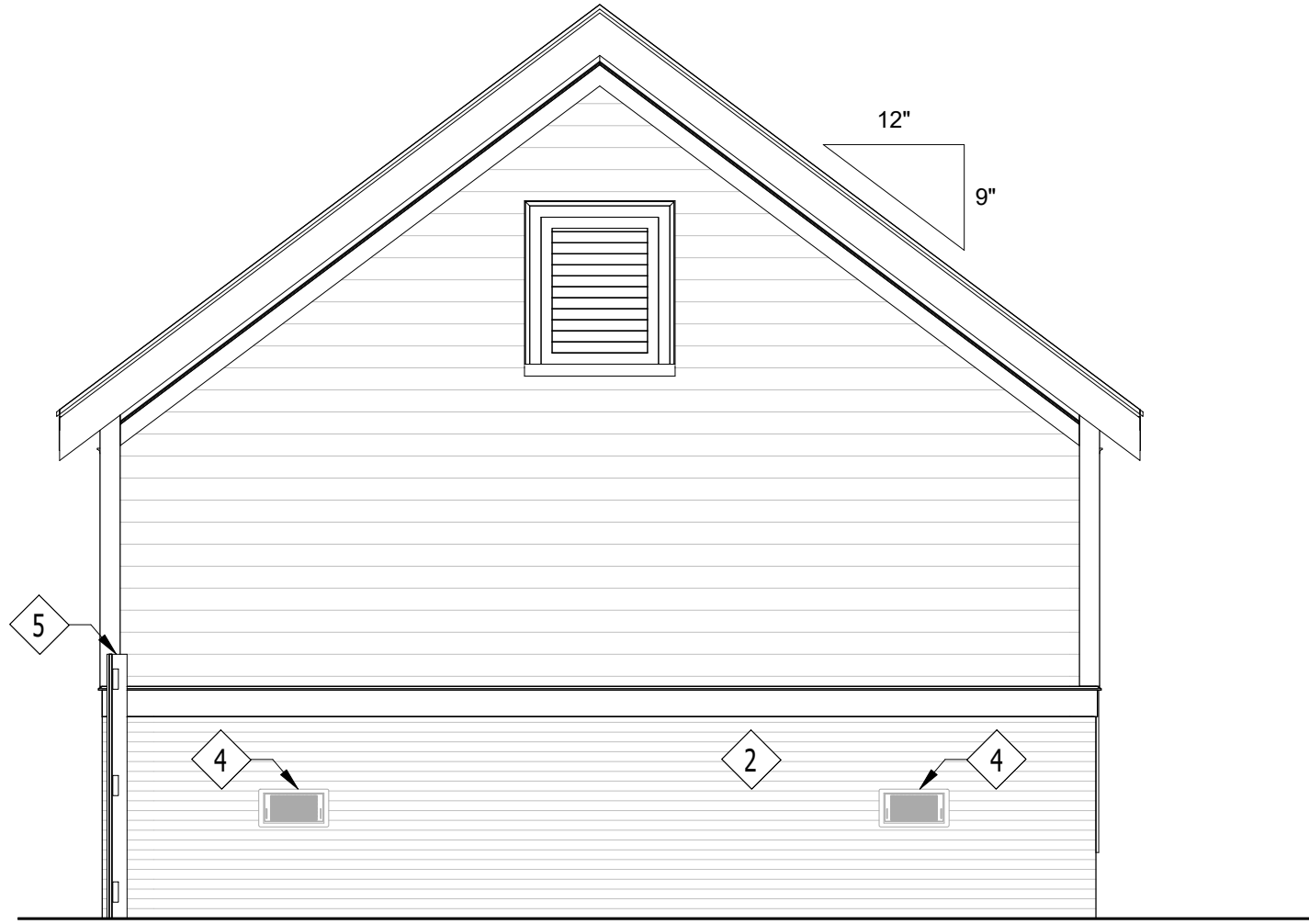
SCALE: 1/4" = 1'-0"



File Path: S:\projects\2018\1814 Corr Residence\1814 Design\1814 Dwgs\1814 ARCH R2019.rvt
Print Date: 11/4/2020 10:57:23 AM

12345

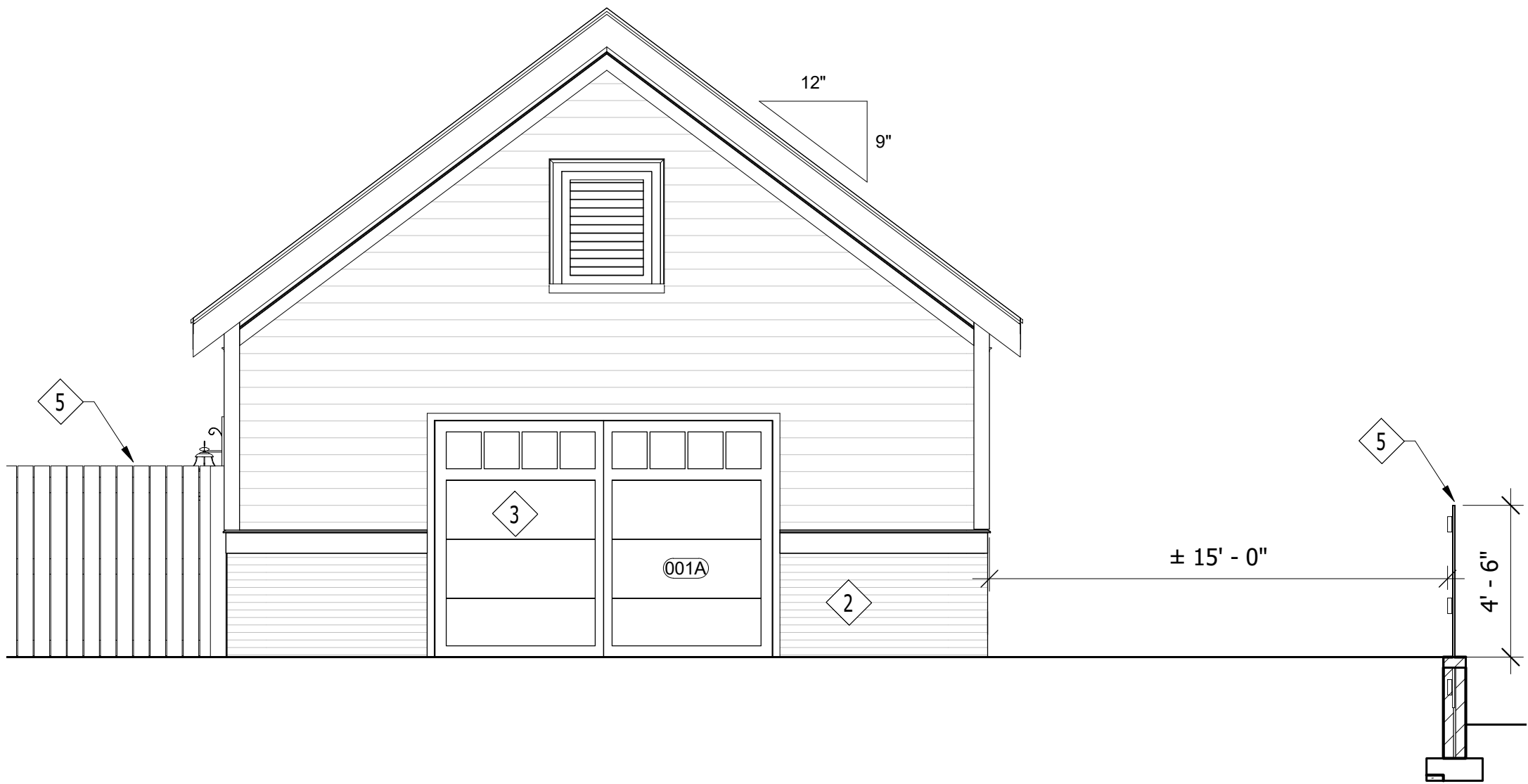
D



D1 WORKSHOP EAST ELEVATION
SCALE: 1/4" = 1'-0"

C

B

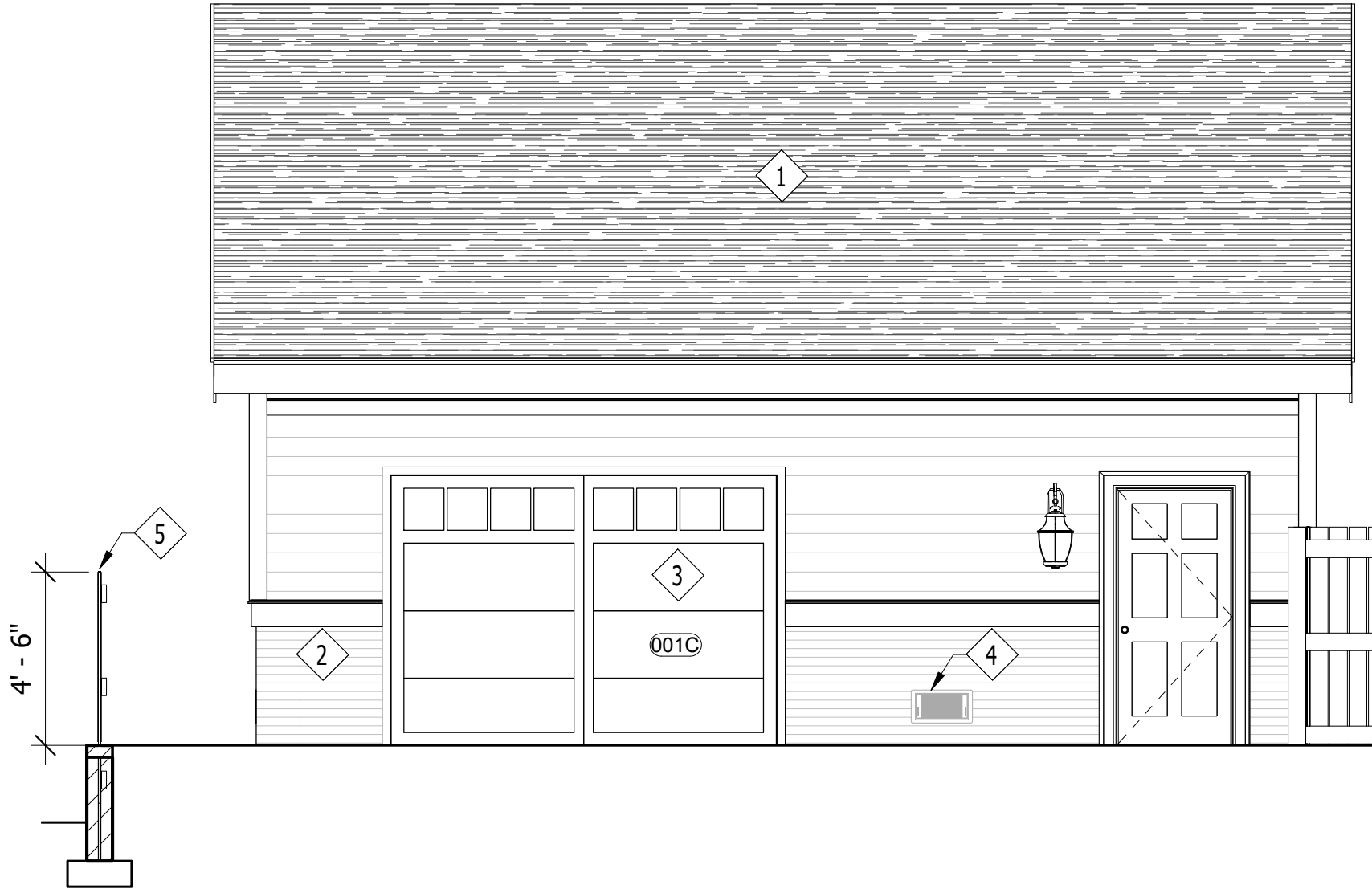


A1 WORKSHOP WEST ELEVATION
SCALE: 1/4" = 1'-0"

A

12

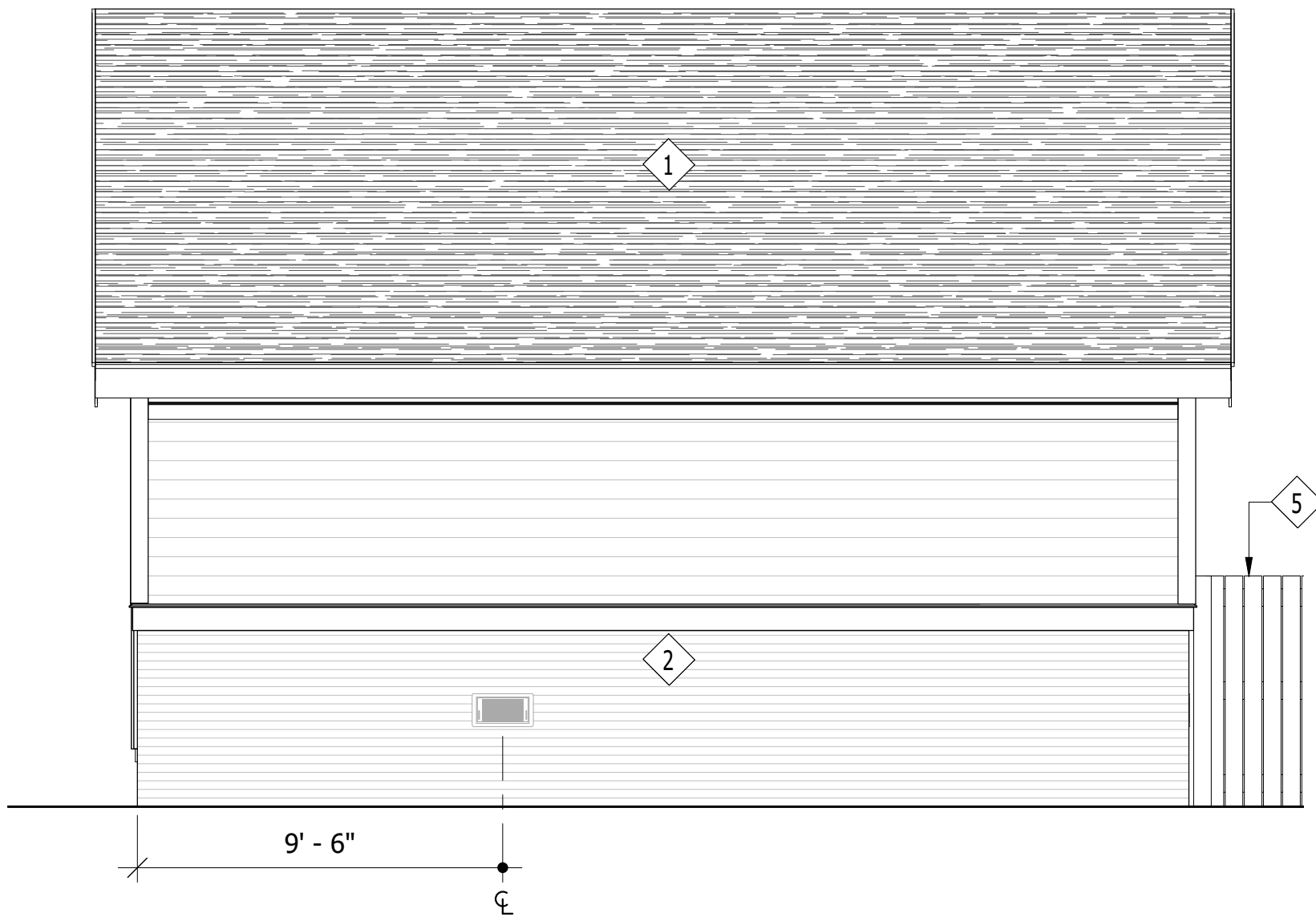
3



D3 WORKSHOP NORTH ELEVATION
SCALE: 1/4" = 1'-0"

3

4



A3 WORKSHOP SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

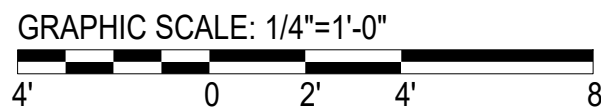
4

GENERAL CONSTRUCTION NOTES

1. SMOOTH CLAPBOARD SIDING IS PAINTED FIBER CEMENT
2. WINDOWS ARE WINDSOR LEGEND - CELLULAR PVC
3. TRIM IS SMOOTH FIBER CEMENT
4. EXTERIOR DOORS ARE FIBERGLASS

EXTERIOR ELEVATION CONSTRUCTION KEYNOTES

- 1 FIBERGLASS ASPHALT SHINGLES
- 2 BRICK MASONRY FOUNDATION
- 3 STEEL GARAGE DOOR
- 4 FLOOD VENT
- 5 FENCE



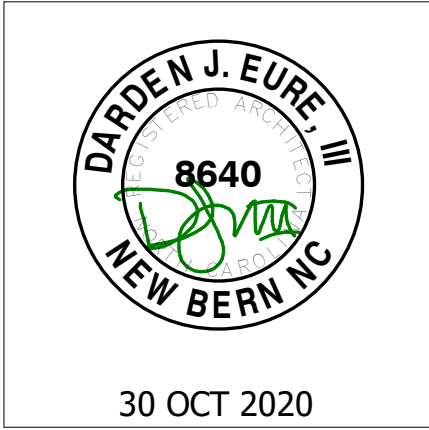
5

CORR RESIDENCE
719 EAST FRONT STREET
NEW BERN, CRAVEN COUNTY
SHANNON & CORINNE CORR

These drawings (the graphic representation of the design) and the Architectural Design(s) indicated herein created by MBF Architects, PA, remain the property of the Architect. They are protected under the 1990 Architectural Works Copyright Protection Act. Reproduction or reuse of these documents or designs without written consent of the Architect is prohibited. Copyright 2017 © MBF Architects, PA.

REVISIONS			
#	DATE	DESCRIPTION	

FOR HPC REVIEW ONLY



MBFA No: 1814
WORKSHOP
ELEVATIONS

HPC-7
SHEET 7 OF 9

File Path: S:\projects\2018\1814 Corr Residence\1814 Design\1814 Dwgs\1814 ARCH R2019.rvt
Print Date: 11/4/2020 10:57:32 AM

D

C

B

A

1

2

3

4

5



C1

GARAGE EAST ELEVATION

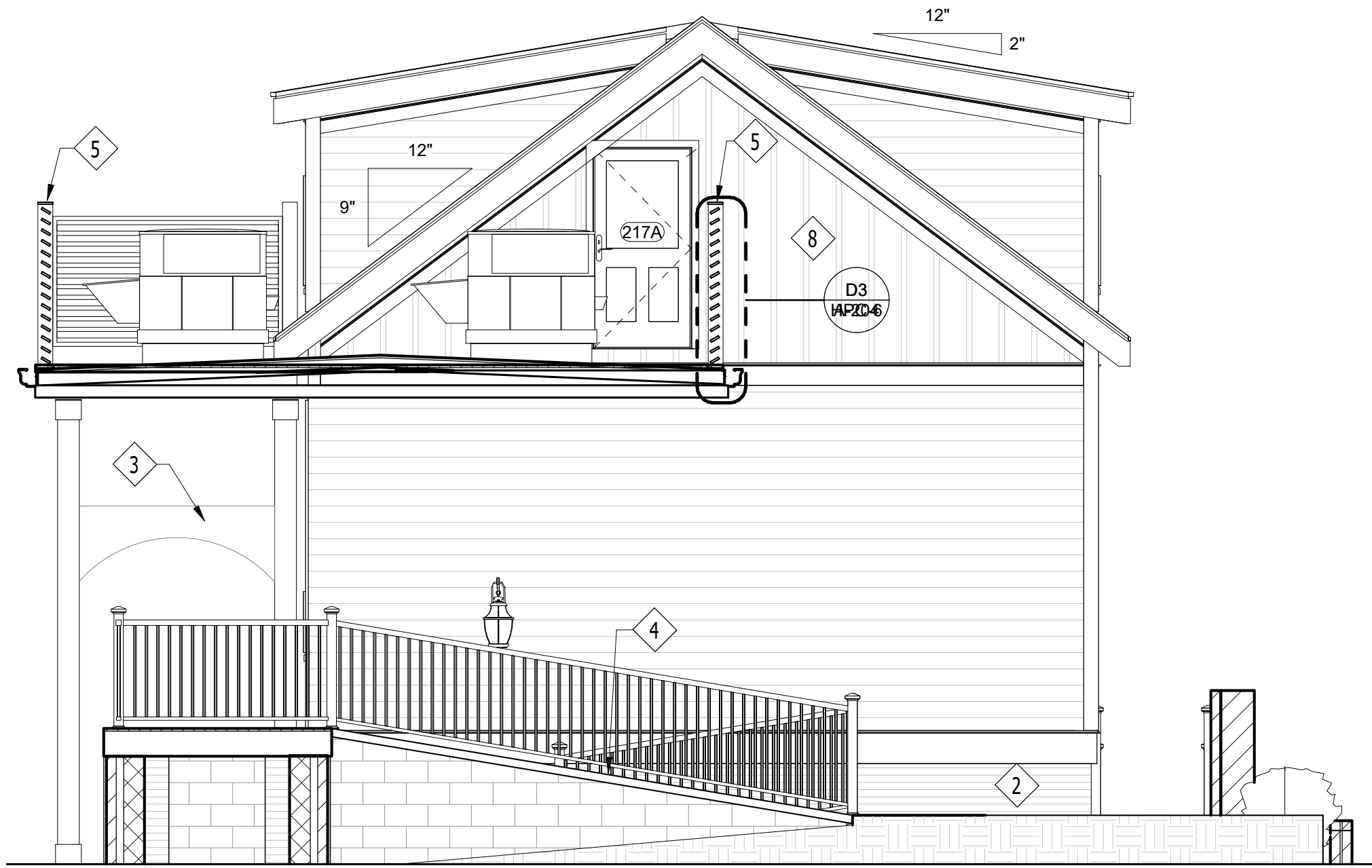
SCALE: 1/4" = 1'-0"



C4

GARAGE WEST ELEVATION

SCALE: 1/4" = 1'-0"



A1

GARAGE NORTH ELEVATION

SCALE: 1/4" = 1'-0"



A4

GARAGE SOUTH ELEVATION

SCALE: 1/4" = 1'-0"

GENERAL CONSTRUCTION NOTES

1. SMOOTH CLAPBOARD SIDING IS PAINTED FIBER CEMENT
2. WINDOWS ARE WINDSOR LEGEND - CELLULAR PVC
3. TRIM IS SMOOTH FIBER CEMENT
4. EXTERIOR DOORS ARE FIBERGLASS
5. EXTERIOR HANDRAIL AND RAILINGS ARE ALUMINUM
6. EXTERIOR DECK FLOORING IS STAINED WOOD
7. COLUMNS ARE SQUARE SYNTHETIC

EXTERIOR ELEVATION CONSTRUCTION KEYNOTES

- 1 FIBERGLASS ASPHALT SHINGLES
- 2 BRICK MASONRY FOUNDATION
- 3 WOOD ARCH
- 4 SLOPING SIDEWALK
- 5 WOOD LOUVER SCREEN
- 6 STEEL GARAGE DOOR
- 7 FLOOD VENT
- 8 SMOOTH BOARD AND BATTEN SIDING

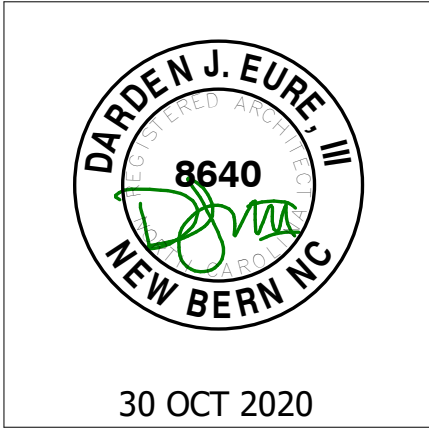


CORR RESIDENCE
719 EAST FRONT STREET
NEW BERN, CRAVEN COUNTY
SHANNON & CORINNE CORR

These drawings (the graphic representation of the design) and the Architectural Design(s) indicated herein created by MBF Architects, PA, remain the property of the Architect. They are protected under the 1990 Architectural Works Copyright Protection Act. Reproduction or reuse of these documents or designs without written consent of the Architect is prohibited. Copyright 2017 © MBF Architects, PA.

REVISIONS	#	DATE	DESCRIPTION

FOR HPC REVIEW ONLY

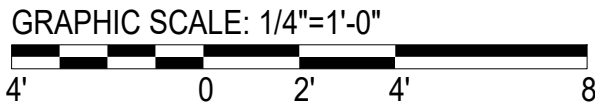


MBFA No: 1814

GARAGE
ELEVATIONS

HPC-8

SHEET 8 OF 9



1

2

3

4

5

File Path: S:\projects\2018\1814 Corr Residence\1814 Design\1814 Dwgs\1814 ARCH R2019.rvt
Print Date: 11/4/2020 10:57:43 AM

1

D

C

B

A

1

2

3

4

5



C4 707 & 705 E FRONT STREET
SCALE: NOT TO SCALE



B4 702 & 704 E FRONT STREET
SCALE: NOT TO SCALE



A4 706 E FRONT ST
SCALE: NOT TO SCALE

1

2

3

4

5

CORR RESIDENCE
719 EAST FRONT STREET
NEW BERN, CRAVEN COUNTY
SHANNON & CORINNE CORR

These drawings (the graphic representation of the design) and the Architectural Design(s) indicated herein created by MBF Architects, PA, remain the property of the Architect. They are protected under the 1990 Architectural Works Copyright Protection Act. Reproduction or reuse of these documents or designs without written consent of the Architect is prohibited. Copyright 2017 © MBF Architects, PA.

REVISIONS			
#	DATE	DESCRIPTION	

FOR HPC REVIEW ONLY



MBFA No: 1814
SURROUNDING
AREA



Zoning and Inspections Review of

Application for Certificate of Appropriateness for Alterations in Historic District

Initial review of applications for certificates of appropriateness by the Zoning Administrator and Chief Building Inspector is intended to provide the applicant and Historic Preservation Commission with information related to compliance with local land use ordinance and building code. It does not represent a formal approval of a permit by any party and does not bind the decisions of Commission.

Application Address and Description: 719 E. Front St. – to include dimensional and window placement revisions to the approved plans for a new infill house.

Zoning Administrator please review the application and fill out all applicable items

Zoning District: R-6

Required Setbacks (primary structure): Front average Side 5 ft Rear 6 ft

Accessory Setbacks: From Nearest Structure 8 ft Side 3 ft Rear 3 ft

Maximum Lot Coverage for proposed use: 60%

Maximum Height of Structure: 50 ft

Required Site Improvements: Landscaping N/A Buffer N/A Parking N/A

Other requirements:

I have reviewed the application for proposed alterations to this property and have determined that it Meets ☒ Does Not Meet ☐ the requirements of the Land Use Ordinance.

Comments:

Zoning Administrator

Chief Building Inspector please review the application and include any comments below

The proposed project Will ☒ Will Not ☐ require a building permit(s).

Comments:

Chief Building Inspector

Certificate of Appropriateness Findings & Recommendations

HPC Meeting November 18, 2020

Applicant: Shannon & Corinne Corr/mbf Architects, PA

Applicant Address: 608A E. Front St., New Bern, NC 28560

Project Address: 719 E. Front St., New Bern, NC 28560

Historic Property Name: N/A

Status: **Contributing:** **Non-contributing:** **Vacant Lot: X**

719 E. Front St. – to include dimensional and window placement revisions to the approved plans for a new infill house. This is a reapplication, with modifications, of a valid CoA.

Staff submits the following Historic District Guidelines as appropriate to this application:

Development Pattern

- 2.1.1 Maintain the established development pattern for placement of infill construction. The relationship of a structure to the property boundaries should be similar to those up the street, down the street and in most cases, across the street.
- 2.1.2 There are areas within the historic districts where the development pattern may have been weakened by vacant lots and nonconforming structures. In such areas, preference shall be given to contributing structures when defining the development pattern for infill construction.
- 2.1.3 The footprint, scale and proportion of infill construction shall be in keeping with neighboring properties. In general, it is not appropriate to construct a three-story structure in an area that is dominated by one-story structures.

Utilities

- 2.3.1 Locate equipment in Secondary and Tertiary AVCs and screen items from public view with vegetation, fencing and similar site constructions.
- 2.3.2 Paint equipment and exposed utilities to compliment mounting surfaces and reduce their visibility.

Landscaping

- 2.4.2 Maintain a planting strip between the curb and sidewalk in the tight weave development pattern. The predominant plantings in this area shall be grass and trees. Walkways connecting the curb and sidewalk shall not exceed a width of six feet. Align walkways with building entrances.
- 2.4.3 Use plant materials that are indigenous to the historic districts. It is not appropriate to use contemporary edging materials such as landscaping timbers or plastic borders.
- 2.4.4 Incorporate trees, shrubbery and other landscape features around the periphery of a lot and within parking areas.
- 2.4.5 Locate accessory structures and similar site improvements to avoid removing healthy, mature trees of desirable species.

Fences and Garden Walls

- 2.5.1 Fences and walls based on historic designs are encouraged. Incorporate materials and configurations that relate to the architecture of the principal structure on the site. Use fences and walls to demarcate property lines and screen private areas.
- 2.5.2 In a Primary AVC, erect low fences and walls with a vertical dimension of four feet or less. Space rectangular wood planks about one inch apart. Space square wood and iron pickets about three inches apart. Orient pickets vertically.

Certificate of Appropriateness Findings & Recommendations

HPC Meeting November 18, 2020

- 2.5.3 In Secondary and Tertiary AVCs, erect tall fences and walls with a vertical dimension of six feet or less. Tall fences that abut a structure shall terminate at an architectural feature. Transition low fencing to taller fencing at an architectural feature.
- 2.5.5 Consider hedgerows as alternatives to fences and walls.

Accessory Structures

- 2.6.1 Locate accessory structures in Secondary or Tertiary AVCs, and behind primary structures when possible. Accessory structures are to be secondary to the primary structure in regard to mass, scale, form and texture.
- 2.6.2 It is appropriate for outbuildings, and similar structures with substantial foundations, to have a similar form and detailing as the primary structure. Reduce these elements in scale to compliment the outbuilding massing, and incorporate less ornate and simpler elements than found on the primary structure.

Parking

- 2.7.2 Use driveways to access off street parking areas located in the Tertiary AVC. Areas for vehicular use shall not exceed more than 50% of the rear yard.
- 2.7.5 Screen parking lots with fences, walls and hedgerows to create edges that separate vehicular space from pedestrian space. Parking screens should have a vertical dimension of four feet or less.

Design Principles

- 3.1.1 Consider the scale, mass and proportion inherent to the surrounding historic development pattern, and design modifications that incorporate these characteristics. Use basic shapes and forms that are common to the historic districts.
- 3.1.2 Windows, doors and openings shall be compatible in proportion, shape, location, size and quantity with those on surrounding historic structures. Avoid large expanses of blank walls. Establish bays, visually subdivide facades and delineate building elevations to create form and rhythm.
- 3.1.4 Use details to articulate facades, and the openings within facades. Appropriately detail the base, body and edges of facades to create texture and visual interest.

Infill Construction

- 3.4.1 Maintain the relationship between building mass and open space that exists on the block or streetscape.
- 3.4.2 The predominant material of an infill building shall visually emulate the palette of materials traditionally found in the historic districts.
- 3.4.3 Use of modern materials is acceptable as a means of continuing the evolution of architecture through time. However, the use of aluminum and vinyl siding, faux brick and stone, stamped concrete and similar imitation materials is not appropriate.
- 3.4.4 Contemporary materials shall be appropriately proportioned, used in traditional ways and installed in a traditional manner.

Foundations

- 4.1.2 When infilling between brick piers, recess brick curtain walls 1 to 2 inches to visually delineate piers.
- 4.1.3 Use traditional materials when constructing foundations. Concrete block should receive a veneer of stucco, brick or other appropriate masonry material.

Certificate of Appropriateness Findings & Recommendations

HPC Meeting November 18, 2020

- 4.1.4 Locate foundation features such as vents and access doors in areas that will not detract from the architectural character of the building. Coordinate with other architectural features when possible, such as aligning vents and access doors with windows above or centering them between piers.

Walls, Trim, and Ornamentation

- 4.2.4 Incorporate wood trims and articulate masonry appropriately for the application. Primary structures are generally more ornate and detailed. Accessory structures are generally subordinate to the primary structure and have minimal ornamentation, if any, and simplified details.

Windows, Doors, and Openings

- 4.3.3 Glazing should have true divided light muntins, or three-dimensional grilles affixed to both the interior and exterior of the glass. Provide shadow bars between insulated glass panes.
- 4.3.4 Relate shutters and blinds proportionately to window openings. Whether operable or fixed, shutters or blinds shall have operable hardware including hinge and holdback hardware.

Entrances

- 4.4.4 Provide entrance doors, porch railings and other ornaments that proportionally relate to the building. Appropriate porch balustrades often convey a heavier visual appearance.
- 4.4.5 Enclose and screen porches in Secondary and Tertiary AVCs in a manner that preserves historic features. Walls and screens should not obscure columns and balustrades.

Roofs

- 4.5.4 Standing seam metal roofs shall have a pan width no greater than 24 inches. Pans shall be completely flat without corrugation. Provide double locked seams with flush ridge and hip flashings on contributing structures.
- 4.5.6 Locate rooftop appurtenances such as ventilators, antennae, satellite dishes, mechanical equipment and similar items in a manner that is not visible from the public right-of-way.

Paint

- 5.4.2 Select paint and sealant coatings that are harmonious with adjoining work. In general, new material shall be a compatible formulation with the substrate of application.
- 5.4.3 Apply primer coatings to front and back wood surfaces prior to cutting and fitting. Prime end cuts before installation. Apply finish paint coatings to exposed primed surfaces.
- 5.4.4 Consider using opaque stain in lieu of paint on porch flooring, deck flooring and similar wood surfaces exposed to foot traffic.
- 5.4.5 Waterfront wood constructions such as docks and piers may be allowed to naturally weather in lieu of receiving paint coatings.
- 5.4.6 It is not appropriate to apply paint, water repellent or sealant coatings to unpainted surfaces such as masonry, stone, copper and bronze.

Contemporary Materials

Certificate of Appropriateness Findings & Recommendations

HPC Meeting November 18, 2020

- 5.5.1 In general, contemporary material shall match the dimension, shape and texture of their counterparts commonly found in the historic districts.
- 5.5.2 Use contemporary and nontraditional materials in traditional ways. Apply materials in a traditional manner that conveys the same visual appearance as historic materials.
- 5.5.3 Contemporary and nontraditional materials should convey appropriate historic material characteristics, and will be evaluated on a case-by-case basis for appearance, dimension, texture, color, sheen, visual weight and similar characteristics.
- 5.5.5 Cement board with a smooth finish is acceptable as the predominant siding material for infill construction and non-historic accessory structures.
- 5.5.6 Contemporary materials such as synthetic slate and fiberglass asphalt shingles are acceptable for sloped roofing regardless of building age. Select fiberglass asphalt shingles from a darker color palette. Contemporary membrane and roll roofing are acceptable for low-sloped roofs with a 1 inch per foot pitch or less regardless of building age.

Statements of Reason, based on the information contained in the application, in Staff's judgment are:

- 1. The project is new infill construction within the Primary, Secondary, and Tertiary AVCs;
- 2. The proposed design, components, and materials meet the requirements of the Guidelines;
- 3. The Zoning Administrator and the Chief Building Official have reviewed this project and commented accordingly;
- 4. The project is not incongruous with the Guidelines.

MOTION

Staff recommends the Commission approve this application to include dimensional and window placement revisions to the approved plans for a new infill house.

FEE SCHEDULE (office use only)

☒ \$22 Standard Application (minor)
☐ \$107 Standard Application (major)



HPC Administrator
 HPCadmin@newbern-nc.org
 Work: (252) 639-7583
 Fax: (252) 636-2146

RECEIVED
 OCT 28 2020
 BY: MS

Application for a Certificate of Appropriateness
(For Alterations to Properties in Locally Designated Historic Districts)

For assistance see "CoA Instructions", as well as "Historic District Guidelines", available online at:
<http://www.newbern-nc.org/departments/development/historic-preservation/historic-preservation-guidelines/>

Type of Project: ☒ Exterior Alteration ☒ Addition ☐ Infill ☒ Site Work ☐ Other

I. Applicant/Owner Information:			
Property Address (Include year built, if known): 212 Hancock Street, New Bern, NC 28560			
Property Owner Name(s): Richard Hoff	Owner Mailing Address: 210 Hancock Street New Bern, NC 28560	Phone #'s: (252) 638-2798	Email: hoffrw@poorcharlies.com
Applicant Name (if different):	Applicant Mailing Address:	Phone #'s:	Email:

II. Project Information: (See "CoA Instructions" & "Historic Guidelines" for help in completing this section)
<p>1. Provide a detailed description of work to be conducted on site: (Attach additional sheets if needed)</p> <p>Existing porch and steps to be demolished (they are in disrepair, are not original and are incongruous).</p> <p>Build new attached front porch with columns / roof, and steps from the street level combined with brick masonry planter walls, to coordinate with an existing brick masonry wall on site. Re-establish transom window over front door based on existing framed opening behind siding.</p> <p style="text-align: right;">Continued on additional sheet or attached brochure <input type="checkbox"/></p>
<p>2. Reference the specific Guideline(s) in the "Historic District Guidelines" which you believe apply to this project: (page and guideline number):</p> <p>Foundations 4.1.2, 4.1.3, 4.1.4; Entrances 4.4.2, 4.4.4; Roofs 4.5.4; Masonry 5.1.2; Wood 5.2.2; Paint 5.4.2, 5.4.3.</p> <p style="text-align: right;">Continued on additional sheet or attached brochure <input type="checkbox"/></p>
<p>3. Provide a detailed description of materials to be used (copies of brochures, texture, etc.):</p> <p>Reference the specific Guidelines in the Historic District Guidelines for the proposed material(s).</p> <p>Brick masonry foundation, with corner piers and brick masonry walls between piers. Wood framed porch with wood decking, square wooden posts supporting a wood framed shallow hipped porch roof of standing seam metal. Steps to be a combination of brick masonry and wooden steps.</p> <p style="text-align: right;">Continued on additional sheet or attached brochure <input type="checkbox"/></p>

III. Additional Information Provided: (See "CoA Instructions" for more detail)

Plan(s) of Work, with: (please check all of those which are included with this application)

- ☒ Site plan (with annotated notes showing existing site and requested work)
- ☒ Photographs of the building and location where the proposed work will be completed
- ☐ Annotated notes or photos of materials to be used (samples may also be submitted)
- ☒ Floor plan with dimensions (for additions)
- ☒ Elevations with dimensions (for exterior additions or renovations)
- ☐ Supporting materials (brochures, photos of similar New Bern projects, estimates, etc.)
- ☐ Letter from owner acknowledging this application, in the case of submission by an applicant or lessee.

Please see Development Services Staff (Staff) prior to submittal for initial review of the application and advisement if additional information will be required before consideration at a Historic Preservation Commission hearing.

Please read the following statements. Your signature below acknowledges that you have read the statements and attest to their accuracy:

Check one:



I am the owner of the Property, or



I am acting on behalf of the owner of the property and have attached the notarized authorization form indicating the owner(s) consent to represent them for this application.

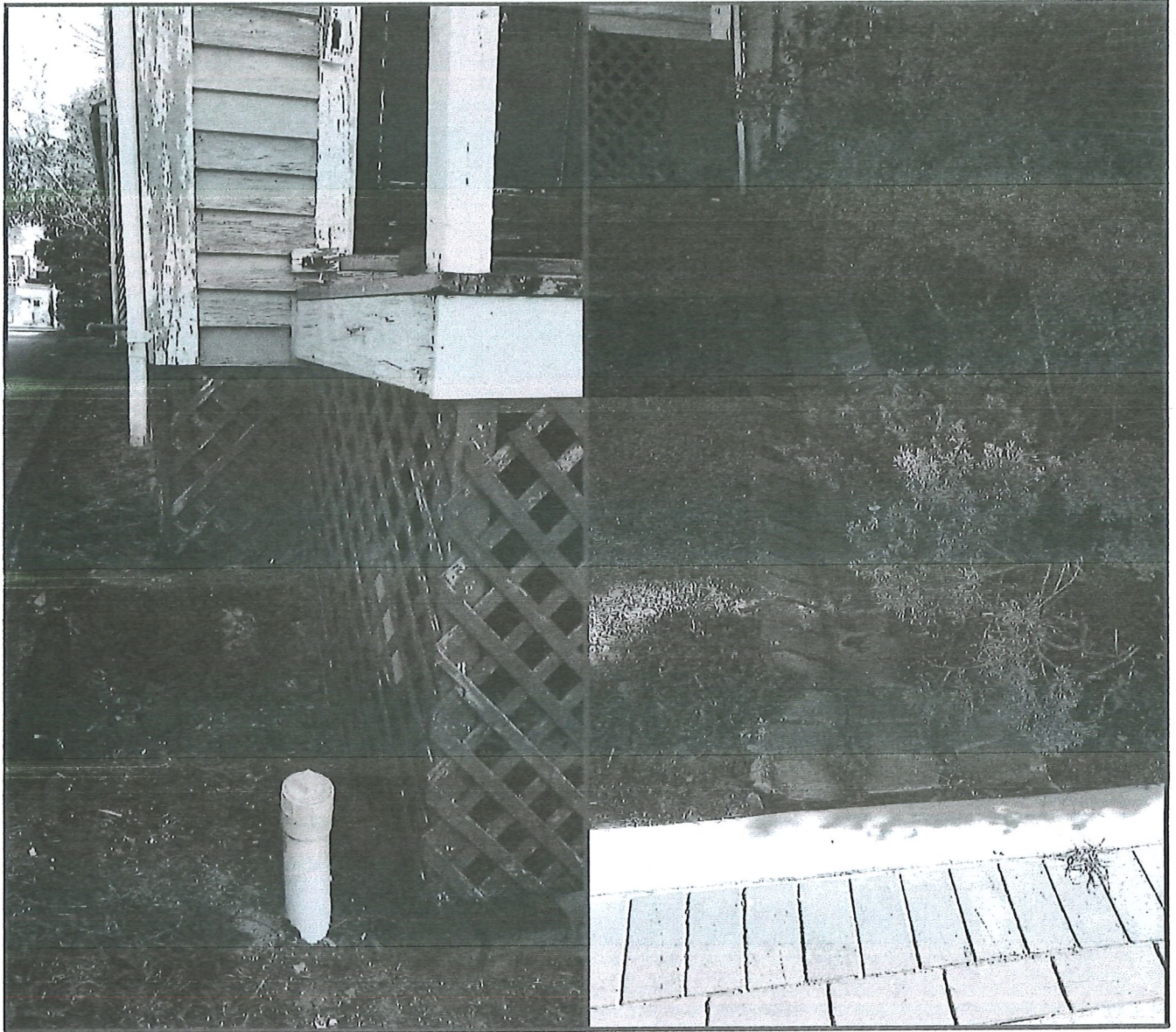
- ◆ I understand that submittal of this application does not constitute approval of proposed alterations.
- ◆ I understand that the approval of this application by City Staff or the New Bern Historic Preservation Commission (HPC) does not constitute approval of other federal, state, or local permit applications.
- ◆ I understand that I (or my representative) will need to attend the Hearing of this Application by HPC. No Applications shall be heard without a representative present and all applicable fees paid in full.
- ◆ I have reviewed the City of New Bern's "Historic District Guidelines" in preparing this Application.
- ◆ I understand that the property referenced by this Certificate of Appropriateness (CoA) application is in one of New Bern's local historic districts and that it represents a part of New Bern's historic fabric. If a CoA is approved by HPC or Staff, I agree to implement all changes as specified in the approved CoA, including any conditions. I understand that I am responsible for contacting Staff if I have any questions regarding the allowed changes specified in the approved CoA.
- ◆ I understand that ANY unapproved alterations are enforceable as a violation of City Ordinance and must be brought into compliance by removal or through the CoA process.
- ◆ I affirm that all the information included in this application is true to the best of my knowledge.
- ◆ I understand that incomplete applications cannot be considered.


Signature of Applicant/Owner

Oct. 28, 2020
Date

APPLICATION SHOULD BE SUBMITTED TO THE DEVELOPMENT SERVICES MAIN OFFICE AT 303 FIRST ST.. FOR A MAJOR PROJECT, SUBMITTAL AND FEE PAYMENT MUST BE NO LESS THAN 2 WEEKS PRIOR TO THE UPCOMING HPC REGULAR MEETING. FOR FURTHER INFORMATION, CONTACT THE HISTORIC PRESERVATION COMMISSION ADMINISTRATOR AT (252) 639-7583.









Undated photograph by Bayard Wooten. Wooten had her primary studio in New Bern NC between 1904 and 1920, at which time she opened a studio in Chapel Hill NC.

See highlighted enlargement next page.





Undated photograph, but later than the Wooten photo (see contemporary automobiles in the background). Shows the side brick retaining wall that currently exists, as well as a full porch with three columns, steps to the left side, concrete cheek walls at the steps, and a brick planter element at the lower right side.

The following 2 photos are of the same time period.

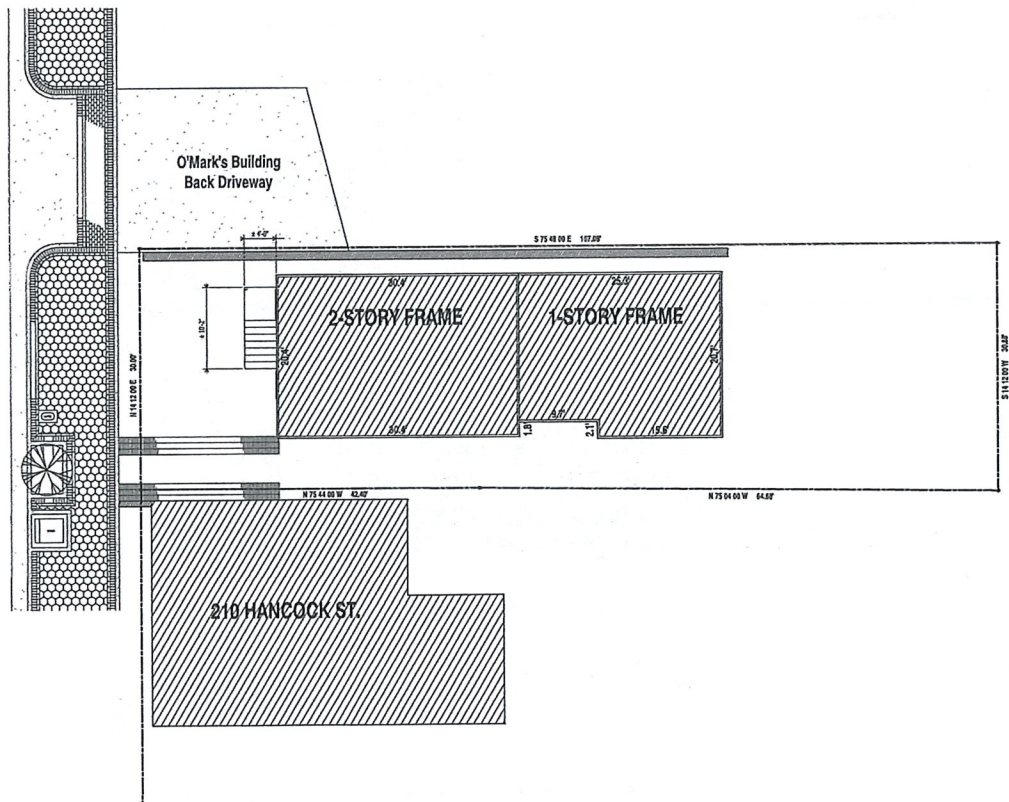




1 | 2 | 3 | 4 | 5

D
C
B
A

HANCOCK STREET 60' R.O.W.



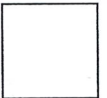
A1 PLOT PLAN: 212 HANCOCK STREET
SCALE: 1/8"=1'-0"

1 | 2 | 3 | 4 | 5



212 Hancock Street Exterior Restoration
212 Hancock Street
New Bern, North Carolina 28550
Richard Hoff
210 Hancock Street, New Bern, NC 28550

REVISION	DATE	DESCRIPTION



NOFA Job#: 1775
SITE PLAN

A-101
SHEET # OF #

1937 SANBORN MAP UNDERLAY SHOWN:

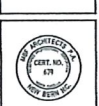
Mike's Bullard
Back Drive

212 Hancock Street Exterior Restoration

New Bern, North Carolina 28560

210 Hancock Street, New Bern, NC 28560

These drawings are the graphic representation of the design and the Architectural Indemnity Indemnified hereby granted by VWP Architects, PA, under the copyright of the Architect. They are presented under the 2003 Architectural Rights Copyright Notice/PA, Ad. Indemnifiable in case of future alterations or designs. Official office address of the Architect is provided. Copyright © 2017 VWP Architects, PA.

[illegible]

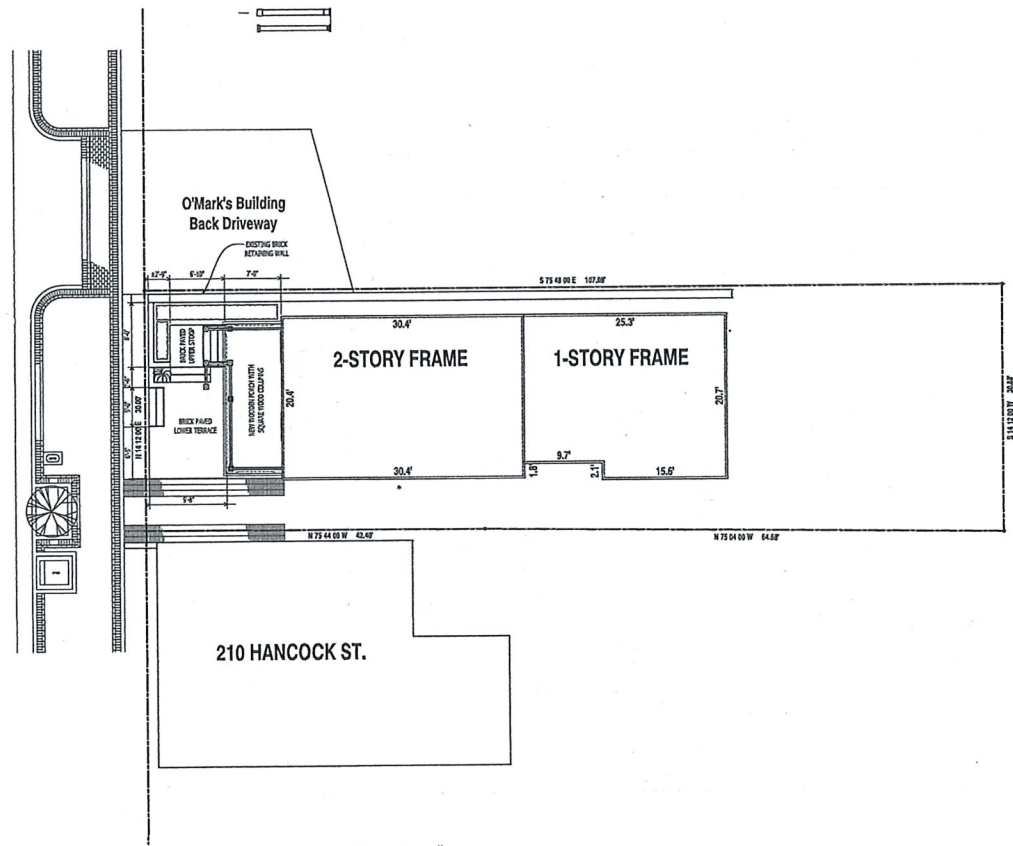
MSFA Job#: 1726
SITE PLAN

A-103

1 | 2 | 3 | 4 | 5

D
—
C
—
B
—
A

HANCOCK STREET 60' R.O.W.



(A1) PLOT PLAN: 212 HANCOCK STREET
SCALE: 3/16"=1'-0"

1 | 2 | 3 | 4 | 5



212 Hancock Street Exterior Restoration
 212 Hancock Street
 New Bern, North Carolina 28550
 Richard Hoff
 210 Hancock Street, New Bern, NC 28550

These drawings are the property of mbf architects pa. They are to be used only for the project and location specified. No part of these drawings may be reproduced or transmitted in any form or by any means electronic or mechanical, including photocopying, recording, or by any information storage and retrieval system, without written permission from mbf architects pa.

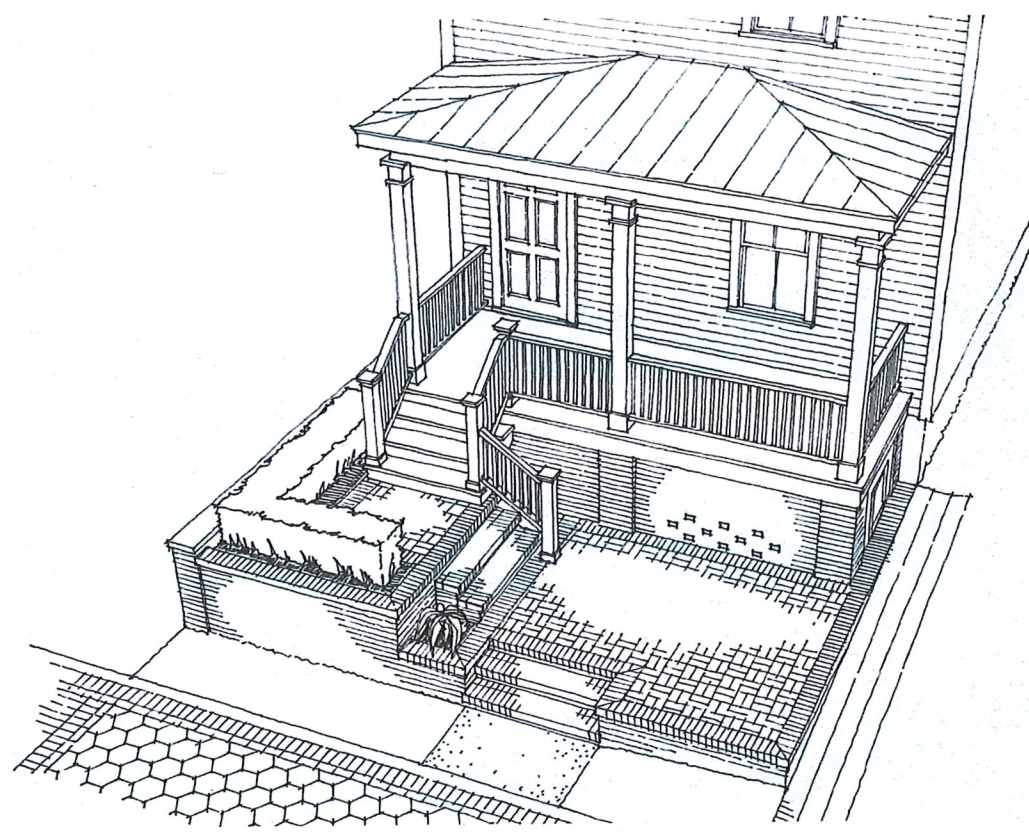
REVISIONS	DATE	DESCRIPTION



NSFA Job#: 1775
 PROPOSED SITE PLAN

1 | 2 | 3 | 4 | 5

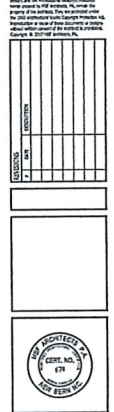
D
—
C
—
B
—
A



1 | 2 | 3 | 4 | 5

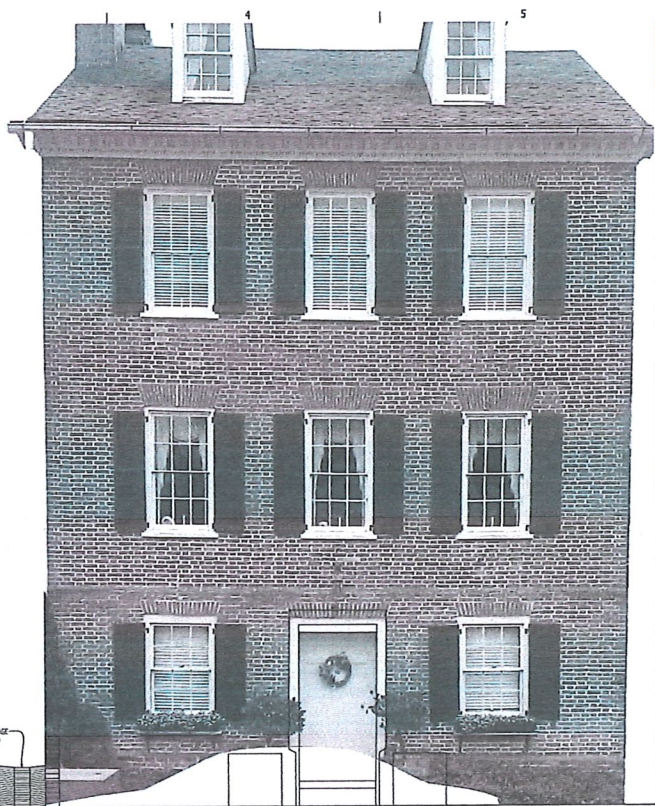


212 Hancock Street Exterior Restoration
712 Hancock Street
New Bern, North Carolina 28550
Richard Hoff
210 Hancock Street, New Bern, NC 28550



NSFA Job #: 1725
SKETCH RENDERING

A-200
SHEET # OF #

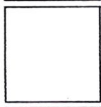


mbf
architects pa
100 E. Madison Street, 11th Floor, Chicago, IL 60602
Tel: 312.467.1000 | www.mbfarchitects.com

212 Hancock Street Exterior Restoration

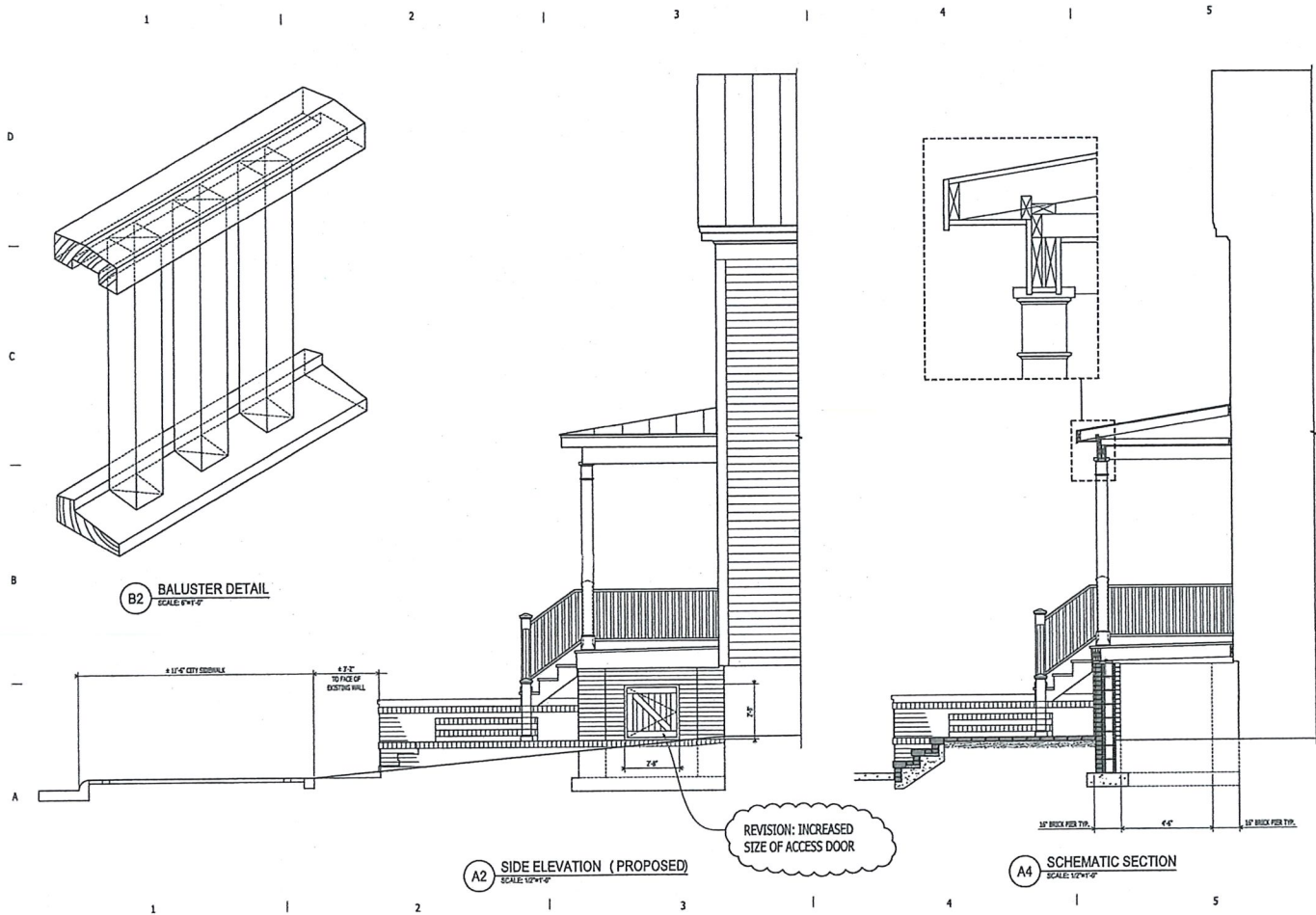
212 Hancock Street
New Bern, North Carolina 28560

Richard Hoff
210 Hancock Street; New Bern, NC 28560

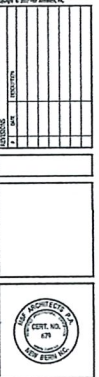


MBFA Job #: 1726
PROPOSED ELEVATION

A-202
SHEET # OF #



212 Hancock Street Exterior Restoration
 212 Hancock Street
 New Bern, North Carolina 28550
 Richard Hoff
 210 Hancock Street, New Bern, NC 28550



MSFA Job #: 17258
 PROPOSED ELEVATION
A-203
 SHEET # OF #



Zoning and Inspections Review of

Application for Certificate of Appropriateness for Alterations in Historic District

Initial review of applications for certificates of appropriateness by the Zoning Administrator and Chief Building Inspector is intended to provide the applicant and Historic Preservation Commission with information related to compliance with local land use ordinance and building code. It does not represent a formal approval of a permit by any party and does not bind the decisions of Commission.

Application Address and Description:

212 Hancock St. – removal of existing stoop and steps, installation of new wood porch structure with standing seam metal roofing, square posts, wood railing, wood decking, brick foundation piers and brick infill, brick and wooden steps, brick landing and terrace, and boxwood hedges, all in the Primary AVC.

Zoning Administrator please review the application and fill out all applicable items

Zoning District:

Required Setbacks (primary structure): Front Side Rear

Accessory Setbacks: From Nearest Structure Side Rear

Maximum Lot Coverage for proposed use:

Maximum Height of Structure:

Required Site Improvements: Landscaping Buffer Parking

Other requirements:

I have reviewed the application for proposed alterations to this property and have determined that it Meets ___ Does Not Meet ___ the requirements of the Land Use Ordinance.

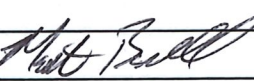
Comments:

Zoning Administrator  11/13/2020

Chief Building Inspector please review the application and include any comments below

The proposed project Will ☒ Will Not ___ require a building permit(s).

Comments:

Chief Building Inspector  11/13/2020

Certificate of Appropriateness Findings & Recommendations

HPC Meeting November 18, 2020

Applicant: Richard Hoff
Applicant Address: 210 Hancock St., New Bern, NC 28560
Project Address: 212 Hancock St., New Bern, NC 28560
Historic Property Name: N/A
Status: Not in Inventory **Contributing:** **Non-contributing:** **Vacant Lot:**

212 Hancock St. – to include removal of existing stoop and steps, installation of new wood porch structure with standing seam metal roofing, square posts, wood railing, wood decking, brick foundation piers and brick infill, brick and wooden steps, brick landing and terrace, and boxwood hedges, all in the Primary AVC.

Staff submits the following Historic District Guidelines as appropriate to this application:

Landscaping

2.4.3 Use plant materials that are indigenous to the historic districts. It is not appropriate to use contemporary edging materials such as landscaping timbers or plastic borders.

Fences and Garden Walls

2.5.1 Fences and walls based on historic designs are encouraged. Incorporate materials and configurations that relate to the architecture of the principal structure on the site. Use fences and walls to demarcate property lines and screen private areas.

2.5.5 Consider hedgerows as alternatives to fences and walls.

Modifications

3.2.1 Select materials that are consistent with the structure. Limit the palette to those materials that were available at the time a building was originally constructed.

3.2.2 Modifications to a structure should not conceal, damage, or remove significant design components or architectural features.

3.2.3 Replace historic design components only if they are damaged beyond repair. Replacement for convenience is not appropriate. Use materials and details that match the original.

3.2.4 Rebuild missing or insensitively altered design components based on documented evidence of the original configuration.

Foundations

4.1.2 When infilling between brick piers, recess brick curtain walls 1 to 2 inches to visually delineate piers.

4.1.3 Use traditional materials when constructing foundations. Concrete block should receive a veneer of stucco, brick or other appropriate masonry material.

4.1.4 Locate foundation features such as vents and access doors in areas that will not detract from the architectural character of the building. Coordinate with other architectural features when possible, such as aligning vents and access doors with windows above or centering them between piers.

Entrances

4.4.2 Reconstruct entrances and porches based on documentary evidence of the original configuration. Add architectural ornamentation when there is historical evidence of such features.

Certificate of Appropriateness Findings & Recommendations

HPC Meeting November 18, 2020

4.4.4 Provide entrance doors, porch railings and other ornaments that proportionally relate to the building. Appropriate porch balustrades often convey a heavier visual appearance.

4.6.4 Construct low profile decks and patios that eliminate requirements for handrails and excessive screening.

Masonry

5.1.2 Match the masonry bond, or pattern, of masonry materials found in adjoining work. In general, new material should be the same size, color, and texture of that existing.

Wood

5.2.2 Construct wood assemblies similar to that found in adjoining work. In general, new material should be the same dimension and shape of that existing.

Roofs

4.5.4 Standing seam metal roofs shall have a pan width no greater than 24 inches. Pans shall be completely flat without corrugation. Provide double locked seams with flush ridge and hip flashings on contributing structures.

Paint

5.4.2 Select paint and sealant coatings that are harmonious with adjoining work. In general, new material shall be a compatible formulation with the substrate of application.

5.4.3 Apply primer coatings to front and back wood surfaces prior to cutting and fitting. Prime end cuts before installation. Apply finish paint coatings to exposed primed surfaces.

5.4.4 Consider using opaque stain in lieu of paint on porch flooring, deck flooring and similar wood surfaces exposed to foot traffic.

Statements of Reason, based on the information contained in the application, in Staff's judgment are:

1. The project, within the Primary AVC, is a replacement of a non-original stoop with a porch that is characteristic of the historic district.
2. The proposed design, components, and materials meet the requirements of the Guidelines;
3. The Zoning Administrator and the Chief Building Official have reviewed this project and commented accordingly;
4. The project is not incongruous with the Guidelines.

MOTION

Staff recommends the Commission approve this application to include removal of existing stoop and steps, installation of new wood porch structure with standing seam metal roofing, square posts, wood railing, wood decking, brick foundation piers and brick infill, brick and wooden steps, brick landing and terrace, and boxwood hedges, all in the Primary AVC.

FEE SCHEDULE (office use only)

☐ \$22 Standard Application (minor)
☒ \$107 Standard Application (major)



HPC Administrator
HPCadmin@newbern-nc.org

Work: (252) 639-7583

Fax: (252) 636-2146

Application for a Certificate of Appropriateness
(For Alterations to Properties in Locally Designated Historic Districts)

For assistance see "CoA Instructions", as well as "Historic District Guidelines", available online at:
<http://www.newbern-nc.org/departments/development/historic-preservation/historic-preservation-guidelines/>

Type of Project: ☒ Exterior Alteration ☐ Addition ☐ Infill ☐ Site Work ☐ Other

I. Applicant/Owner Information:

Property Address (Include year built, if known): 614 Craven Street (Charles S. Hollister House 1912)

Property Owner Name(s): FLPH, LLC Managing Member: Marisa Hormel	Owner Mailing Address: 5340 NE 33 Avenue Fort Lauderdale, FL 33308	Phone #'s: (561) 632-5670	Email: admin@mihtrust.com
Applicant Name (if different): GO Architectural Design, PLLC Sarah Afflerbach, AIA	Applicant Mailing Address: 1202A Pollock Street New Bern, NC 28560	Phone #'s: 252-633-0322	Email: sarah@goarchdesign.com

II. Project Information: *(See "CoA Instructions" & "Historic Guidelines" for help in completing this section)*

1. Provide a detailed description of work to be conducted on site: (Attach additional sheets if needed)

Create new 4' masonry pier and painted ornamental metal fence, pedestrian gate, and driveway gate at the street and continue metal fence down the sides of the property to adjoin existing fencing per the drawings. Re-construct the painted wood front porch posts and railing based on existing posts and railings stored in the attic per the drawings. Railing to be 36" above the porch and 8" posts set 1" from the existing 12" round wood columns. Replace all paving in the rear yard around pool area and pea gravel in the rear landscaping path with tumbled marble paver. Create a new 6' tall painted wood gate at rear yard to enclose backyard. Remove existing window box on the rear of the first floor and replace with a painted wood one over one window and trim to match existing.

Continued on additional sheet or attached brochure ☒

2. Reference the specific Guideline(s) in the "Historic District Guidelines" which you believe apply to this project: (page and guideline number):

Fences 2.5.1-6, Modifications 2.3.1- 5, Windows 4.3.1-3, Patios 4.6.1, Masonry 5.1.1-6, Wood 5.2.1-2, Metal 5.3.1-4, Paint 5.4.1-4

Continued on additional sheet or attached brochure ☐

3. Provide a detailed description of materials to be used (copies of brochures, texture, etc.):

Reference the specific Guidelines in the Historic District Guidelines for the proposed material(s).

See drawings

Continued on additional sheet or attached brochure ☒

III. Additional Information Provided: (See "CoA Instructions" for more detail)

Plan(s) of Work, with: (please check all of those which are included with this application)

- ☒ Site plan (with annotated notes showing existing site and requested work)
- ☒ Photographs of the building and location where the proposed work will be completed
- ☒ Annotated notes or photos of materials to be used (samples may also be submitted)
- ☒ Floor plan with dimensions (for additions)
- ☒ Elevations with dimensions (for exterior additions or renovations)
- ☒ Supporting materials (brochures, photos of similar New Bern projects, estimates, etc.)
- ☒ Letter from owner acknowledging this application, in the case of submission by an applicant or lessee.

Please see Development Services Staff (Staff) prior to submittal for initial review of the application and advisement if additional information will be required before consideration at a Historic Preservation Commission hearing.

Please read the following statements. Your signature below acknowledges that you have read the statements and attest to their accuracy:

Check one:

- ☐ I am the owner of the Property, or
- ☒ I am acting on behalf of the owner of the property and I have attached a letter from the owner(s) indicating their knowledge of this application.

- ◆ I understand that submittal of this application does not constitute approval of proposed alterations.
- ◆ I understand that the approval of this application by City Staff or the New Bern Historic Preservation Commission (HPC) does not constitute approval of other federal, state, or local permit applications.
- ◆ I understand that I (or my representative) will need to attend the Hearing of this Application by HPC. No Applications shall be heard without a representative present and all applicable fees paid in full.
- ◆ I have reviewed the City of New Bern's "Historic District Guidelines" in preparing this Application.
- ◆ I understand that the property referenced by this Certificate of Appropriateness (CoA) application is in one of New Bern's local historic districts and that it represents a part of New Bern's historic fabric. If a CoA is approved by HPC or Staff, I agree to implement all changes as specified in the approved CoA, including any conditions. I understand that I am responsible for contacting Staff if I have any questions regarding the allowed changes specified in the approved CoA.
- ◆ I understand that ANY unapproved alterations are enforceable as a violation of City Ordinance and must be brought into compliance by removal or through the CoA process.
- ◆ I affirm that all the information included in this application is true to the best of my knowledge.
- ◆ I understand that incomplete applications cannot be considered.

Sarah Attleson
Signature of Applicant/Owner

11/2/20
Date

APPLICATION SHOULD BE SUBMITTED TO THE DEVELOPMENT SERVICES MAIN OFFICE AT 303 FIRST ST. NO LESS THAN 2 WEEKS PRIOR TO UPCOMING MEETING. FOR FURTHER INFORMATION, CONTACT THE ADMINISTRATOR OF THE HISTORIC PRESERVATION COMMISSION AT (252) 639-7583.

Aldermen

Sabrina Bengel
Jameesha S. Harris
Robert V. Aster
Johnnie Ray Kinsey
Barbara J. Best
Jeffrey T. Odham



300 Pollock Street, P.O. Box 1129
New Bern, NC 28563-1129
(252) 636-4000

Dana E. Outlaw
Mayor

Mark A. Stephens
City Manager

Petitioners requesting City of New Bern Historic Preservation Commission action on property not owned by them must have this form completed by the owner of the property.

CERTIFICATE OF APPROPRIATENESS OWNERS AUTHORIZATION

Dear Sir or Madame:

I am the owner of the property located at:

614 CRAVEN ST. NEW BERN, NC 28560
(address, city, zip code)

I hereby authorize GO Architectural Design, PLLC to appear with my consent, before the City of New Bern Historic Preservation Commissioner in order to request a Certificate of Appropriateness for the property referenced above.

I authorize you to present this matter on my/our behalf as the owner(s) of the property.

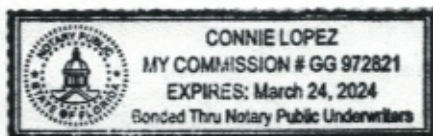
If there are any questions, please contact me at the following address and phone number:

Phone _____
Marisa I. Hormel
Owner's Signature
MARISA I. HORMEL
Print Name
10-30-2020
Date

Sworn to and subscribed before me this 30th day of October, 2020

CCpa
Notary Public: GG 972821

My commission expires: 3/24/2024





Charles O. H. Boyd House

the Bungalow style seen here include the overhanging eaves with bracket supports, grouped windows containing multiple-paned upper sash and single-paned lower sash, and a low gabled dormer with shingled faces.

Charles S. Hollister House

614 Craven Street
1912

In 1912, Charles S. Hollister, a prominent wholesale grocer, commissioned the popular local architect Herbert

Woodley Simpson to remodel his old residence on upper Graves, now Craven, Street. Simpson produced this monumental Colonial Revival design, complete with the then-fashionable Neo-Classical portico, and in the process obscured nearly all traces of Hollister's earlier house. The grandiose scale of the Hollister house is complemented by its siting in the center of a broad lot, giving it a gracious front lawn that contrasts with its more urban neighbors located close to the sidewalk.

As the son of William Hollister and Sarah Slover, Charles Slover Hollister (1860-1936) descended from two families who dominated much of New Bern's trade and commerce during the nineteenth century. By 1890 he was the proprietor of his own wholesale grocery concern on South Front Street. The business prospered under his management, and by 1914 had become C. S. Hollister Co., Inc., Wholesale Grocers, with Hollister as the president and treasurer, Mary B. Hollister, vice-president, and T. W. Brogden, secretary. Hollister continued to reside here until his death in 1936.

In exterior form and detailing, the Charles S. Hollister house follows a format which was nationally popular during this period. Its large rectangular main block has a low slate-covered hipped roof, accented by a central pedimented dormer and hipped side dormers. Its dominant feature, the colossal portico supported by four Corinthian columns, shelters a typical one-story wrap-around porch having Tuscan columns. Other popular Colonial Revival features seen here include the use of broad three-part windows at the first floor level, a Palladian doorway at the second-story balcony, and a prominent broad frieze, here



Charles S. Hollister House



VICINITY MAP
(NOT TO SCALE)

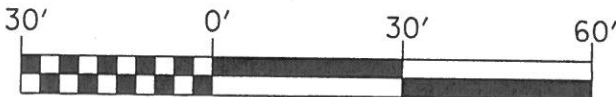
LEGEND:

- EIP = EXISTING IRON PIN
- = WATER METER
- CLF = CHAIN LINK FENCE
- = POWER POLE
- = POINT NOT SET

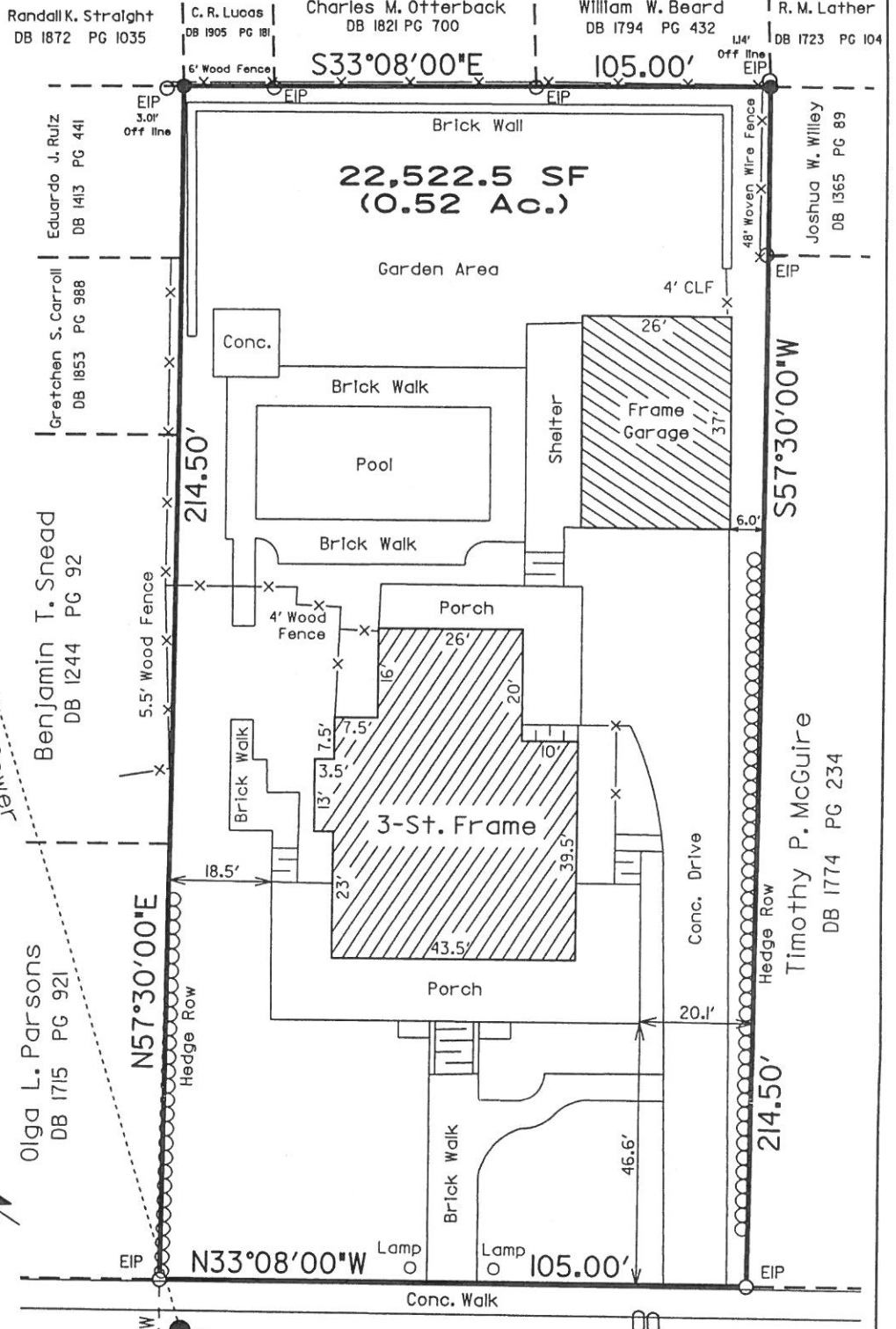
DB 1530 PG 403

Overhead power

N32°43'03"W 140.91' to PK at
centerline intersection
of King St.



SCALE: 1" = 30'



CRAVEN STREET

60' R/W

NOTES:

THIS PROPERTY IS LOCATED IN A
FLOOD HAZARD AREA PER FIRM MAP
370074 0004 E, DATED MAY 4, 1987

THE RATIO OF PERCISION AS
CALCULATED IS 1:10,000.

THE AREA WAS OBTAINED BY DMD.

FOR REFERENCE SEE DB 1530 PG 403,
CRAVEN COUNTY REGISTRY.

TERRY K. WHEELER, PE, PLS
105 WHOOPING CRANE LANE
NEW BERN, NC 28562
(252)636-5233

SURVEY FOR

**JOHN M. CHO
AND WIFE
MARIA A. CHO**

614 CRAVEN ST.
TOWNSHIP NO. 8 CRAVEN CO, NC
July 10, 2002



Terry K. Wheeler
LICENSE NO. L-3733



PHOTO 1

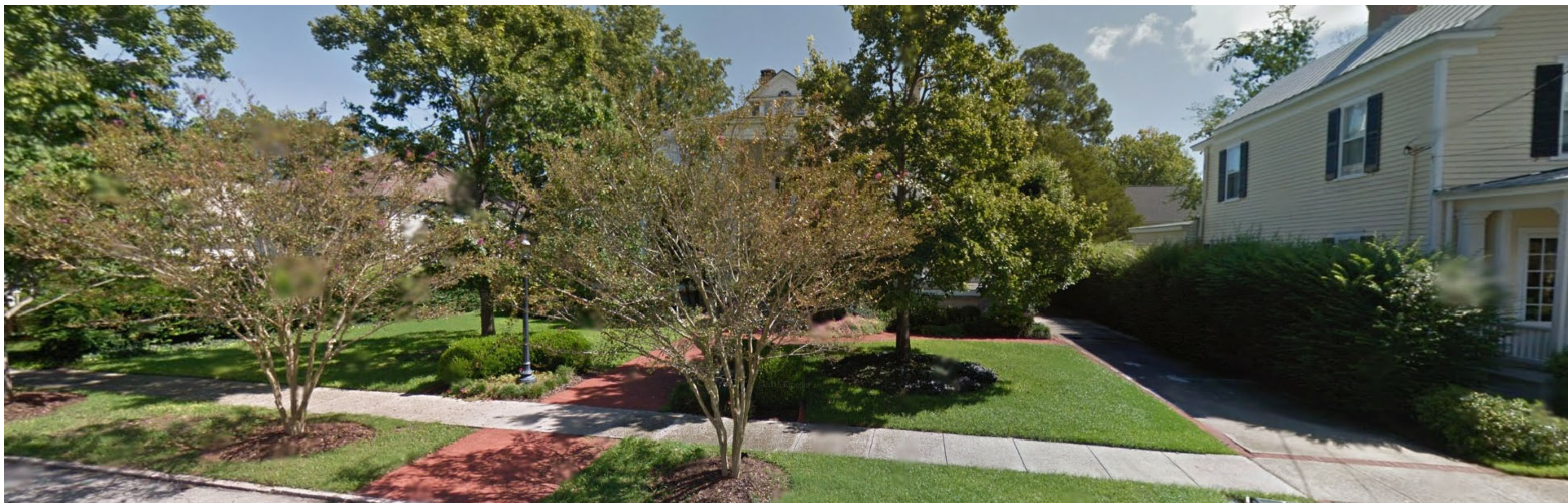


PHOTO 2



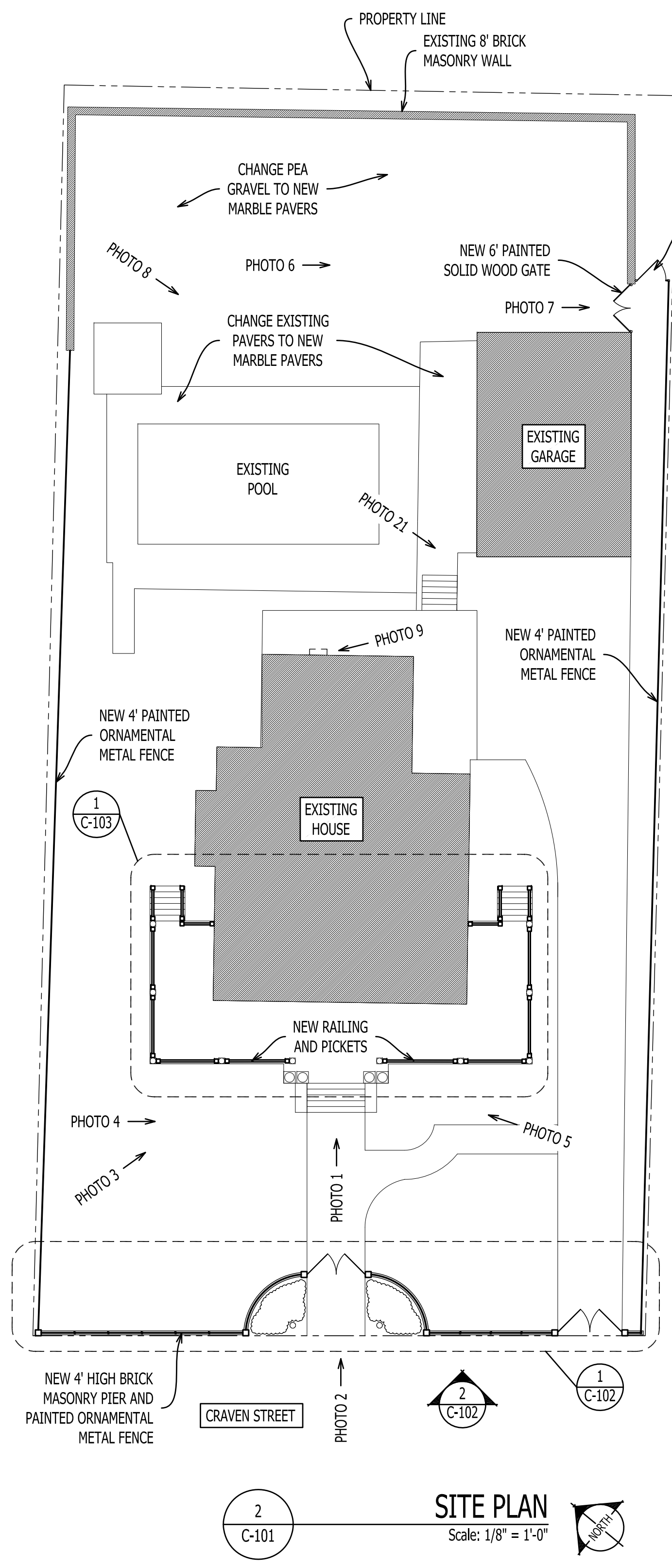
PHOTO 3



PHOTO 4



PHOTO 5



LOT SIZE	22,523 SF
EXISTING HOUSE FOOTPRINT	2,268 SF
EXISTING PAVED AREAS	4,225 SF
NEW PAVED AREAS	1,662 SF
TOTAL COVERED AREAS	8,155 SF
36% COVERED AREAS	



PHOTO 6



PHOTO 7



PHOTO 8



PHOTO 9 - DEMO WINDOW BOX AND
INSTALL NEW 1 OVER 1 WOOD WINDOW



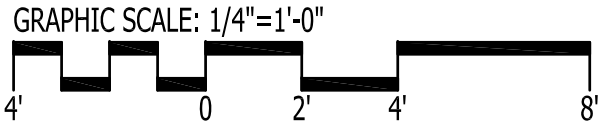
EXISTING 1 OVER 1 WOOD WINDOW



TUMBLER TRAVERTINE PAVERS



EXAMPLE OF WOOD PRIVACY GATE. NEW GATE TO
HAVE (2) 4' X 6' PANELS PAINTED WHITE



IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR BUILDER TO CONFIRM TO ALL STANDARDS, PROVISIONS, REQUIREMENTS, METHODS OF CONSTRUCTION AND USES OF MATERIALS PROVIDED IN BUILDINGS AND/OR STRUCTURES AS REQUIRED BY N.C. UNIFORM BUILDING CODE, LOCAL AGENCIES AND IN ACCORDANCE WITH GOOD ENGINEERING PRACTICE. VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. VERIFY ALL COLOR AND MATERIAL CHOICES WITH OWNER PRIOR TO ORDERING OR INSTALLING.



1202-A Pollock Street
New Bern, NC 28560
252-633-0322
www.goarchdesign.com

COPYRIGHT NOTE:
THESE PLANS ARE THE PROPERTY OF THE ARCHITECT. THESE PLANS CONTAIN PROPRIETARY INFORMATION OF GO ARCHITECTURAL DESIGN PLLC. THEY ARE SUBJECT TO FEDERAL COPYRIGHT AND OTHER APPLICABLE FEDERAL AND STATE PROPERTY, TRADE AND RELATED LAWS. THESE PLANS, INCLUDING THE INFORMATION CONTAINED WITHIN, SHALL NOT BE SHARED, REPRODUCED, DISTRIBUTED OR USED IN ANY WAY WITHOUT WRITTEN CONSENT FROM THE ARCHITECT. ANY FAILURE TO OBTAIN SUCH CONSENT IS A VIOLATION OF LAW, AND MAY BE SUBJECT TO CIVIL AND CRIMINAL PROSECUTION AND PENALTIES.

Date: 11.09.2020
Revisions:

PARKER-HORMEL RENOVATIONS

614 CRAVEN STREET, NEW BERN, NC 28560

C-101

SITE PLAN

12 X 18 SHEETS ARE HALF SIZE



TRYON PALACE



TRYON PALACE



417 E. FRONT STREET



524 E. FRONT STREET



524 E. FRONT STREET



TRYON PALACE COMMISSION HOUSE



TRYON PALACE COMMISSION HOUSE



512 E. FRONT STREET



512 E. FRONT STREET



NEW STREET



NEW STREET



208 NEW STREET



208 NEW STREET



624 EAST FRONT STREET



501 CRAVEN STREET



501 CRAVEN STREET



CENTENARY CHURCH



304 JOHNSON STREET



304 JOHNSON STREET



1202-A Pollock Street
New Bern, NC 28560
252-633-0322
www.goarchdesign.com


COPYRIGHT NOTE:
THESE PLANS ARE THE PROPERTY OF THE ARCHITECT.
THESE PLANS CONTAIN PROPRIETARY INFORMATION OF
GO ARCHITECTURAL DESIGN PLLC. THEY ARE SUBJECT
TO FEDERAL COPYRIGHT AND OTHER APPLICABLE
FEDERAL AND STATE PROPERTY, TRADE AND RELATED
LAWS. THESE PLANS, INCLUDING THE INFORMATION
CONTAINED WITHIN, SHALL NOT BE SHARED,
REPRODUCED, DISTRIBUTED OR USED IN ANY WAY
WITHOUT WRITTEN CONSENT FROM THE ARCHITECT.
ANY FAILURE TO OBTAIN SUCH CONSENT IS A VIOLATION
OF LAW, AND MAY BE SUBJECT TO CIVIL AND CRIMINAL
PROSECUTION AND PENALTIES.

Date: 11.09.2020
Revisions:

PARKER-HORMEL RENOVATIONS
614 CRAVEN STREET, NEW BERN, NC 28560

PHOTO
FENCE EXAMPLES
12 X 18 SHEETS ARE HALF SIZE

GRAPHIC SCALE: 1"=1'-0"



GRAPHIC SCALE: 1/4"=1'-0"

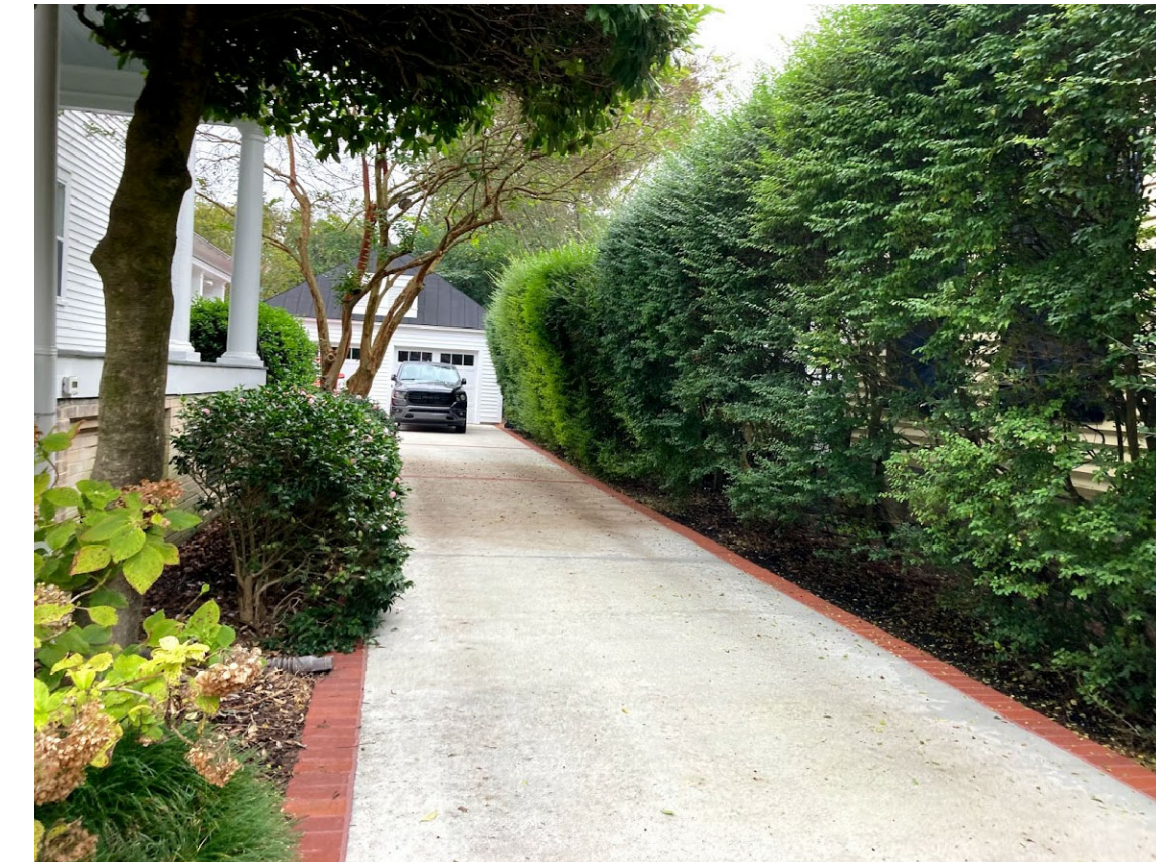

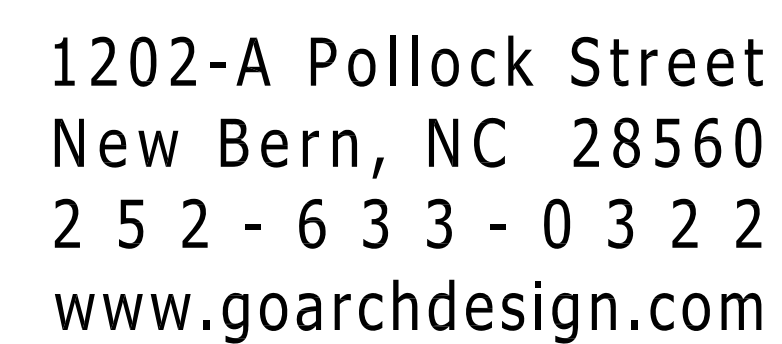


PHOTO 15



THESE PLANS ARE THE PROPERTY OF THE ARCHITECT. THESE PLANS CONTAIN PROPRIETARY INFORMATION OF GO ARCHITECTURAL DESIGN, PLLC. THEY ARE SUBJECT TO FEDERAL COPYRIGHT AND OTHER APPLICABLE FEDERAL AND STATE PROPERTY, TRADE AND RELATED LAWS. THESE PLANS, INCLUDING THE INFORMATION CONTAINED WITHIN, SHALL NOT BE SHARED, REPRODUCED, DISTRIBUTED OR USED IN ANY WAY WITHOUT WRITTEN CONSENT FROM THE ARCHITECT. ANY FAILURE TO OBTAIN SUCH CONSENT IS A VIOLATION OF LAW, AND MAY BE SUBJECT TO CIVIL AND CRIMINAL PROSECUTION AND PENALTIES.

Revisions:

12 X 18 SHEETS ARE HALF SIZE

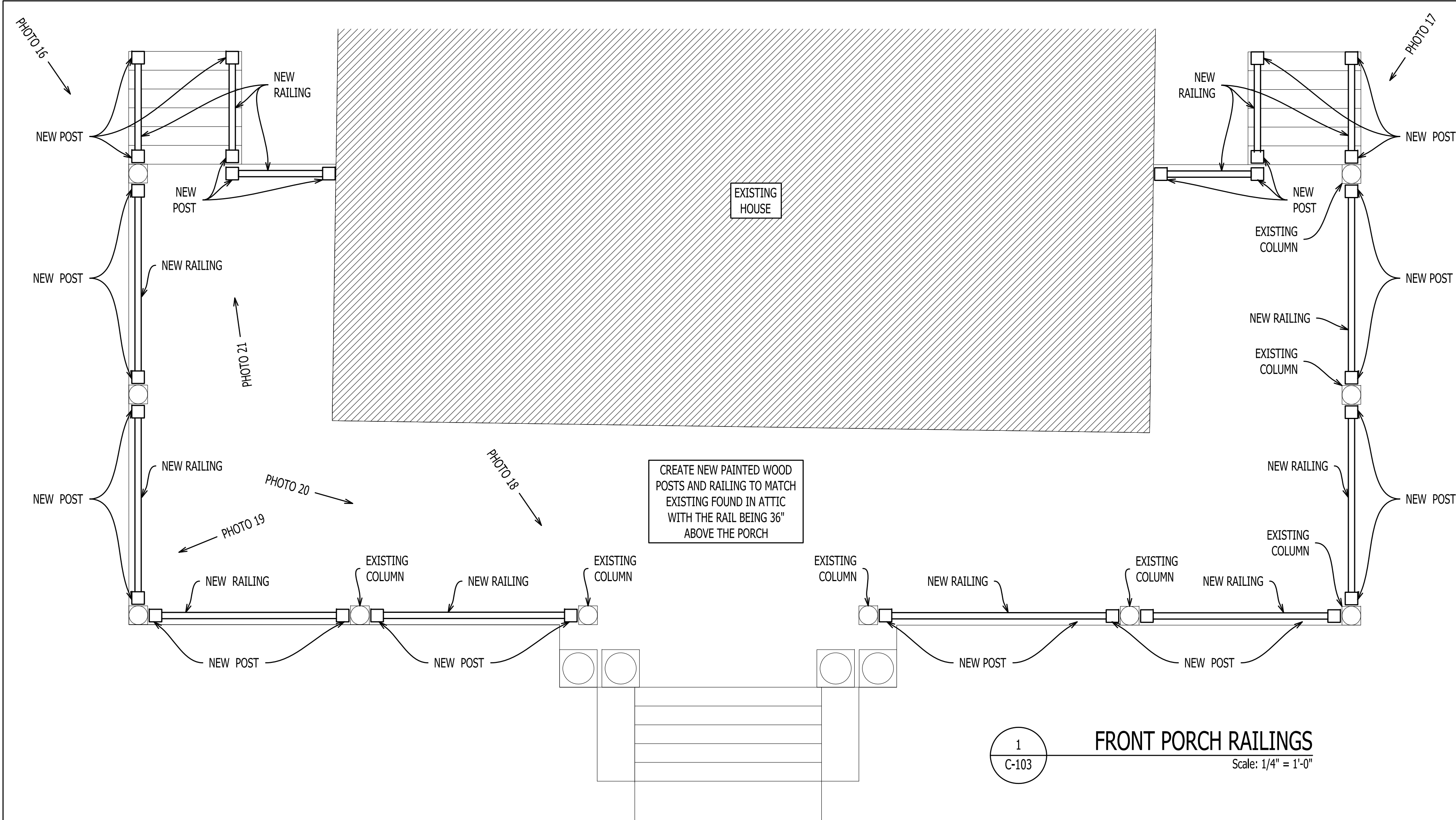


PHOTO 16



PHOTO 17



PHOTO 18



PHOTO 19



PHOTO 20

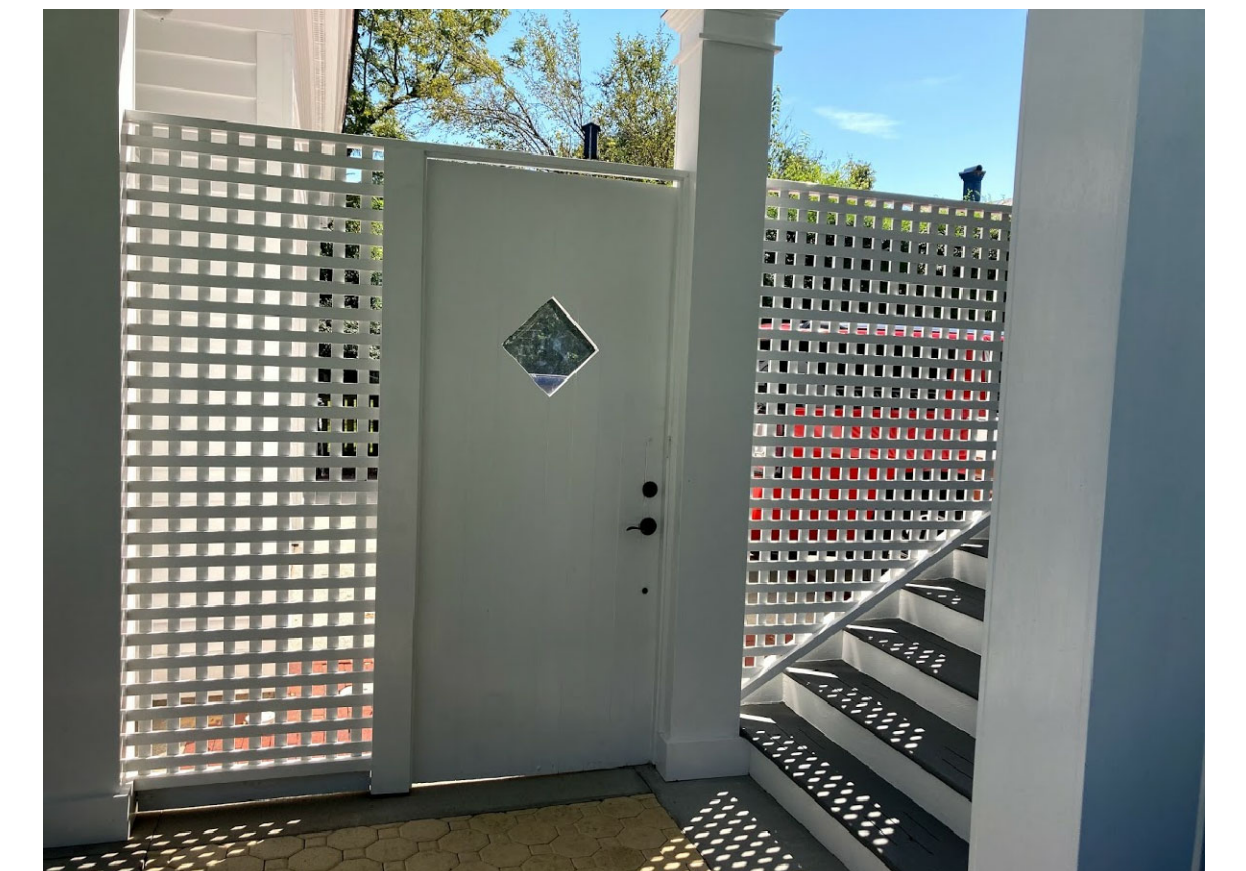


PHOTO 21



EXISTING RAILING STORED IN ATTIC

IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR BUILDER TO CONFIRM TO ALL STANDARDS, PROVISIONS, REQUIREMENTS, METHODS OF CONSTRUCTION AND USES OF MATERIALS PROVIDED IN BUILDINGS AND/OR STRUCTURES AS REQUIRED BY N.C. UNIFORM BUILDING CODE, LOCAL AGENCIES AND IN ACCORDANCE WITH GOOD ENGINEERING PRACTICE. VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. VERIFY ALL COLOR AND MATERIAL CHOICES WITH OWNER PRIOR TO ORDERING OR INSTALLING.



1202-A Pollock Street
New Bern, NC 28560
252-633-0322
www.goarchdesign.com

COPYRIGHT NOTE:
THESE PLANS ARE THE PROPERTY OF THE ARCHITECT. THESE PLANS CONTAIN PROPRIETARY INFORMATION OF GO ARCHITECTURAL DESIGN PLLC. THEY ARE SUBJECT TO FEDERAL COPYRIGHT AND OTHER APPLICABLE FEDERAL AND STATE PROPERTY, TRADE AND RELATED LAWS. THESE PLANS, INCLUDING THE INFORMATION CONTAINED WITHIN, SHALL NOT BE SHARED, REPRODUCED, DISTRIBUTED OR USED IN ANY WAY WITHOUT WRITTEN CONSENT FROM THE ARCHITECT. ANY FAILURE TO OBTAIN SUCH CONSENT IS A VIOLATION OF LAW, AND MAY BE SUBJECT TO CIVIL AND CRIMINAL PROSECUTION AND PENALTIES.

Date: 11.09.2020

Revisions:

PARKER-HORMEL RENOVATIONS
614 CRAVEN STREET, NEW BERN, NC 28560

C-103

PORCH PLAN

12 X 18 SHEETS ARE HALF SIZE



DESERT SAND



IVORY



SILVERADO

Also available in White



TIMELESS
DURABLE
NATURAL



TRAVERTINO

NEW

3-PIECE | 30MM



6 x 6 x 13/16



6 x 12 x 13/16



12 x 12 x 13/16



Zoning and Inspections Review of

Application for Certificate of Appropriateness for Alterations in Historic District

Initial review of applications for certificates of appropriateness by the Zoning Administrator and Chief Building Inspector is intended to provide the applicant and Historic Preservation Commission with information related to compliance with local land use ordinance and building code. It does not represent a formal approval of a permit by any party and does not bind the decisions of Commission.

Application Address and Description: 614 Craven St. – to include new brick and metal fencing and gate plus wood porch railing in the Primary AVC, and paving and replacement wood window in the Tertiary AVC.

Zoning Administrator please review the application and fill out all applicable items

Zoning District: R-10

Required Setbacks (primary structure): Front average Side 5 ft Rear 6 ft

Accessory Setbacks: From Nearest Structure 8 ft Side 3 ft Rear 3 ft

Maximum Lot Coverage for proposed use: 60%

Maximum Height of Structure: 45 ft

Required Site Improvements: Landscaping N/A Buffer N/A Parking N/A

Other requirements:

I have reviewed the application for proposed alterations to this property and have determined that it Meets ☒ Does Not Meet ☐ the requirements of the Land Use Ordinance.

Comments:

Zoning Administrator

Chief Building Inspector please review the application and include any comments below

The proposed project Will ☐ Will Not ☒ require a building permit(s).

Comments:

Chief Building Inspector

Certificate of Appropriateness Findings & Recommendations

HPC Meeting November 18, 2020

Applicant: FLPH, LLC/GO Architectural Group, PLLC
Applicant Address: 5340 NE 33 Avenue, Fort Lauderdale, FL 33308
Project Address: 614 Craven St., New Bern, NC 28560
Historic Property Name: Charles S. Hollister House.
Status: **Contributing:** X **Non-contributing:** **Vacant Lot:**

NR Inventory Description (2003): Built 1912. Neoclassical Revival style; two-and-a-half stories; full-height Corinthian front portico flanked by one-story Tuscan porches; Palladian windows in upper story, front dormer; hip roof.

Sandbeck Description (1988): ... Simpson produced this monumental Colonial Revival design, complete with the then-fashionable Neo-Classical portico, and in the process obscured nearly all traces of Hollister's earlier house. The grandiose scale of the Hollister house is complemented by its siting in the center of a broad lot, giving it a gracious front lawn that contrasts with its more urban neighbors located close to the sidewalk. ... Its dominant feature, the colossal portico supported by four Corinthian columns, shelters a typical one-story wrap-around porch having Tuscan columns. ...

614 Craven St. – to include new brick and metal fencing and gate plus wood porch railing in the Primary AVC, fencing in the Secondary AVC, and paving, fencing, gates, and replacement wood window in the Tertiary AVC.

Staff submits the following Historic District Guidelines as appropriate to this application:

Fences and Garden Walls

- 2.5.1 Fences and walls based on historic designs are encouraged. Incorporate materials and configurations that relate to the architecture of the principal structure on the site. Use fences and walls to demarcate property lines and screen private areas.
- 2.5.2 In a Primary AVC, erect low fences and walls with a vertical dimension of four feet or less. Space rectangular wood planks about one inch apart. Space square wood and iron pickets about three inches apart. Orient pickets vertically.
- 2.5.3 In Secondary and Tertiary AVCs, erect tall fences and walls with a vertical dimension of six feet or less. Tall fences that abut a structure shall terminate at an architectural feature. Transition low fencing to taller fencing at an architectural feature.

Modifications

- 3.2.1 Select materials that are consistent with the structure. Limit the palette to those materials that were available at the time a building was originally constructed.
- 3.2.2 Modifications to a structure should not conceal, damage, or remove significant design components or architectural features.
- 3.2.3 Replace historic design components only if they are damaged beyond repair. Replacement for convenience is not appropriate. Use materials and details that match the original.
- 3.2.4 Rebuild missing or insensitively altered design components based on documented evidence of the original configuration.

Walls, Trim and Ornamentation

- 4.2.1 Adhere to Guidelines for retention of historic fabric when altering wall components.

Certificate of Appropriateness Findings & Recommendations

HPC Meeting November 18, 2020

- 4.2.2 It is not appropriate to introduce trim or ornamentation to a contributing structure without documentary evidence that such elements historically existed.
- 4.2.3 It is not appropriate to cover wood siding, trim and ornamentation with a contemporary material on a contributing structure.
- 4.2.4 Incorporate wood trims and articulate masonry appropriately for the application.

Windows, Doors and Openings

- 4.3.1 Adhere to Guidelines for retention of historic fabric when altering window, door and opening components.
- 4.3.2 Add window and door openings in Secondary or Tertiary AVCs in locations that do not diminish the original design. In general, openings shall have a vertical orientation or be square.
- 4.3.3 Glazing should have true divided light muntins, or three-dimensional grilles affixed to both the interior and exterior of the glass. Provide shadow bars between insulated glass panes.

Entrances

- 4.4.2 Reconstruct entrances and porches based on documentary evidence of the original configuration. Add architectural ornamentation when there is historical evidence of such features.
- 4.4.4 Provide entrance doors, porch railings and other ornaments that proportionally relate to the building. Appropriate porch balustrades often convey a heavier visual appearance. Center balusters between the top and bottom rails and space them about three inches apart.

Decks and Patios

- 4.6.4 Construct low profile decks and patios that eliminate requirements for handrails and excessive screening.

Masonry

- 5.1.2 Match the masonry bond, or pattern, of masonry materials found in adjoining work. In general, new material should be the same size, color, and texture of that existing.

Wood

- 5.2.1 Adhere to Preservation Guidelines for retention of historic fabric when altering wood materials.
- 5.2.2 Construct wood assemblies similar to that found in adjoining work. In general, new material should be the same dimension and shape of that existing.

Metals

- 5.3.3 Use full weld iron and steel fabrication techniques. Welds shall be properly dressed or ground smooth.
- 5.3.4 Provide aluminum fabrications with welded joints or blind, mechanical connections having concealed fasteners.

Paint

- 5.4.1 Adhere to Guidelines for retention of historic fabric when altering painted materials.
- 5.4.2 Select paint and sealant coatings that are harmonious with adjoining work. In general, new material shall be a compatible formulation with the substrate of application.

Certificate of Appropriateness Findings & Recommendations

HPC Meeting November 18, 2020

5.4.3 Apply primer coatings to front and back wood surfaces prior to cutting and fitting. Prime end cuts before installation. Apply finish paint coatings to exposed primed surfaces.

5.4.4 Consider using opaque stain in lieu of paint on porch flooring, deck flooring and similar wood surfaces exposed to foot traffic.

Statements of Reason, based on the information contained in the application, in Staff's judgment are:

1. The project is within the Primary, Secondary, and Tertiary AVCs;
2. The proposed design, components, and materials meet the requirements of the Guidelines;
3. The Zoning Administrator and the Chief Building Official have reviewed this project and commented accordingly;
4. The project is not incongruous with the Guidelines.

MOTION

Staff recommends the Commission approve this application to include new brick and metal fencing and gate plus wood porch railing in the Primary AVC, fencing in the Secondary AVC, and paving, fencing, gates, and replacement wood window in the Tertiary AVC.

FEE SCHEDULE (office use only)

☐ \$22 Standard Application (minor)
☒ \$107 Standard Application (major)



HPC Administrator
 HPCadmin@newbern-nc.org
 Work: (252) 639-7583
 Fax: (252) 636-2146

Application for a Certificate of Appropriateness
(For Alterations to Properties in Locally Designated Historic Districts)

For assistance see "CoA Instructions", as well as "Historic District Guidelines", available online at:
<http://www.newbern-nc.org/departments/development/historic-preservation/historic-preservation-guidelines/>

Type of Project: ☐ Exterior Alteration ☒ Addition ☐ Infill ☐ Site Work ☐ Other

I. Applicant/Owner Information:

Property Address (Include year built, if known): 415-417 S. Front Street (1965)

Property Owner Name(s): 415 S. Front Street, LLC	Owner Mailing Address: 227 E. Front Street New Bern, NC 28560	Phone #'s: 252-638-4215	Email: hubie@uhfdevelopmentgroup.com
Applicant Name (if different): GO Architectural Design, PLLC Sarah Afflerbach, AIA	Applicant Mailing Address: 1202A Pollock Street New Bern, NC 28560	Phone #'s: 252-633-0322	Email: sarah@goarchdesign.com

II. Project Information: *(See "CoA Instructions" & "Historic Guidelines" for help in completing this section)*

1. Provide a detailed description of work to be conducted on site: (Attach additional sheets if needed)

Expand portion of existing rear preservative treated wood deck with a similar wood deck and cover deck area with a flat roof as shown on the attached drawings.

Continued on additional sheet or attached brochure ☒

2. Reference the specific Guideline(s) in the "Historic District Guidelines" which you believe apply to this project: (page and guideline number):

2.6.1
4.6.2-3
4.7.2

Continued on additional sheet or attached brochure ☐

3. Provide a detailed description of materials to be used (copies of brochures, texture, etc.):

Reference the specific Guidelines in the Historic District Guidelines for the proposed material(s).

Preservative treated wood posts and decking with membrane roofing.

Continued on additional sheet or attached brochure ☐

III. Additional Information Provided: (See "CoA Instructions" for more detail)

Plan(s) of Work, with: (please check all of those which are included with this application)

- ☒ Site plan (with annotated notes showing existing site and requested work)
- ☒ Photographs of the building and location where the proposed work will be completed
- ☒ Annotated notes or photos of materials to be used (samples may also be submitted)
- ☒ Floor plan with dimensions (for additions)
- ☒ Elevations with dimensions (for exterior additions or renovations)
- ☐ Supporting materials (brochures, photos of similar New Bern projects, estimates, etc.)
- ☒ Letter from owner acknowledging this application, in the case of submission by an applicant or lessee.

Please see Development Services Staff (Staff) prior to submittal for initial review of the application and advisement if additional information will be required before consideration at a Historic Preservation Commission hearing.

Please read the following statements. Your signature below acknowledges that you have read the statements and attest to their accuracy:

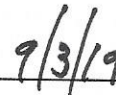
Check one:

- ☐ I am the owner of the Property, or
- ☒ I am acting on behalf of the owner of the property and I have attached a letter from the owner(s) indicating their knowledge of this application.

- ◆ I understand that submittal of this application does not constitute approval of proposed alterations.
- ◆ I understand that the approval of this application by City Staff or the New Bern Historic Preservation Commission (HPC) does not constitute approval of other federal, state, or local permit applications.
- ◆ I understand that I (or my representative) will need to attend the Hearing of this Application by HPC. No Applications shall be heard without a representative present and all applicable fees paid in full.
- ◆ I have reviewed the City of New Bern's "Historic District Guidelines" in preparing this Application.
- ◆ I understand that the property referenced by this Certificate of Appropriateness (CoA) application is in one of New Bern's local historic districts and that it represents a part of New Bern's historic fabric. If a CoA is approved by HPC or Staff, I agree to implement all changes as specified in the approved CoA, including any conditions. I understand that I am responsible for contacting Staff if I have any questions regarding the allowed changes specified in the approved CoA.
- ◆ I understand that ANY unapproved alterations are enforceable as a violation of City Ordinance and must be brought into compliance by removal or through the CoA process.
- ◆ I affirm that all the information included in this application is true to the best of my knowledge.
- ◆ I understand that incomplete applications cannot be considered.



Signature of Applicant/Owner



Date

APPLICATION SHOULD BE SUBMITTED TO THE DEVELOPMENT SERVICES MAIN OFFICE AT 303 FIRST ST. NO LESS THAN 2 WEEKS PRIOR TO UPCOMING MEETING. FOR FURTHER INFORMATION, CONTACT THE ADMINISTRATOR OF THE HISTORIC PRESERVATION COMMISSION AT (252) 639-7583.

Aldermen

Sabrina Bengel
Jameesha S. Harris
Robert V. Aster
Johnnie Ray Kinsey
Barbara J. Best
Jeffrey T. Odham



NEW BERN
CITY OF NEW BERN

300 Pollock Street, P.O. Box 1129
New Bern, NC 28563-1129
(252) 636-4000

Dana E. Outlaw
Mayor

Mark A. Stephens
City Manager

Petitioners requesting City of New Bern Historic Preservation Commission action on property not owned by them must have this form completed by the owner of the property.

CERTIFICATE OF APPROPRIATENESS OWNERS AUTHORIZATION

Dear Sir or Madame:

I am the owner of the property located at:

415-417 S Front St., New Bern, NC 28560
(address, city, zip code)

I hereby authorize GO Architectural Design, PLLC to appear with my consent, before the City of New Bern Historic Preservation Commissioner in order to request a Certificate of Appropriateness for the property referenced above.

I authorize you to present this matter on my/our behalf as the owner(s) of the property.

If there are any questions, please contact me at the following address and phone number:

227 E Front St., New Bern, NC 28560 Phone 252-638-4215


Owner's Signature

Hubert G. Tolson, III
Print Name

8/30/2019
Date

Sworn to and subscribed before me this 30th day of August, 2019


Notary Public:

My commission expires: 9-6-2019





REMOVE EXISTING RAMP TO
ACCOMMODATE NEW DECK EXPANSION

IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR BUILDER TO CONFIRM TO ALL STANDARDS, PROVISIONS, REQUIREMENTS, METHODS OF CONSTRUCTION AND USES OF MATERIALS PROVIDED IN BUILDINGS AND/OR STRUCTURES AS REQUIRED BY N.C. UNIFORM BUILDING CODE, LOCAL AGENCIES AND IN ACCORDANCE WITH GOOD ENGINEERING PRACTICE. VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. VERIFY ALL COLOR AND MATERIAL CHOICES WITH OWNER PRIOR TO ORDERING OR INSTALLING.



1202-A Pollock Street
New Bern, NC 28560
252-633-0322
www.goarchdesign.com

COPYRIGHT NOTE:
THESE PLANS ARE THE PROPERTY OF THE ARCHITECT. THESE PLANS CONTAIN PROPRIETARY INFORMATION OF GO ARCHITECTURAL DESIGN, PLLC. THEY ARE SUBJECT TO FEDERAL COPYRIGHT AND OTHER APPLICABLE FEDERAL AND STATE PROPERTY, TRADE AND RELATED LAWS. THESE PLANS, INCLUDING THE INFORMATION CONTAINED WITHIN, SHALL NOT BE SHARED, REPRODUCED, DISTRIBUTED OR USED IN ANY WAY WITHOUT WRITTEN CONSENT FROM THE ARCHITECT. ANY FAILURE TO OBTAIN SUCH CONSENT IS A VIOLATION OF LAW, AND MAY BE SUBJECT TO CIVIL AND CRIMINAL PROSECUTION AND PENALTIES.

Date: 09.17.2019

Revisions:

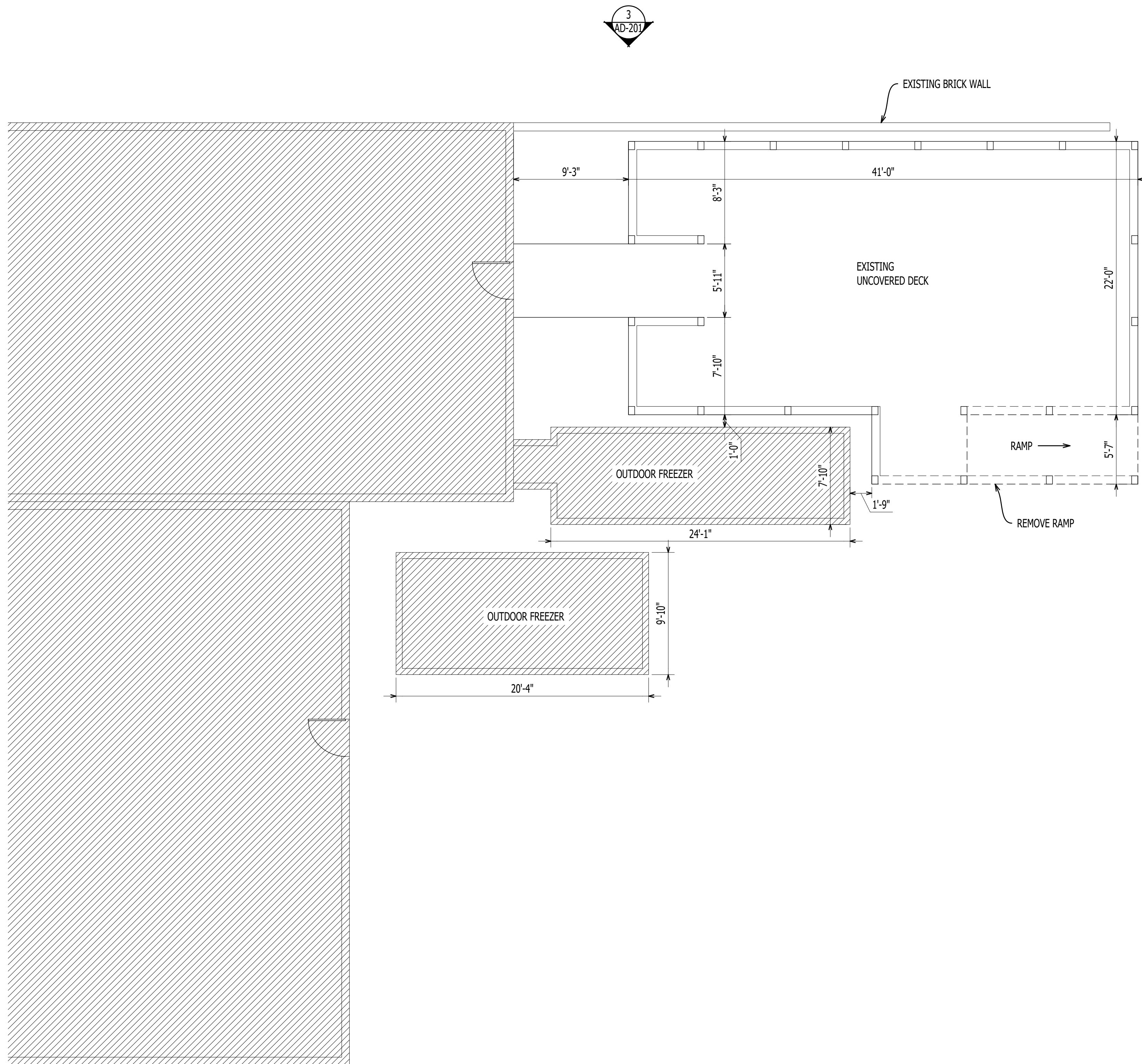
BLACKBEARD'S OUTDOOR DECK

415 & 417 S FRONT STREET, NEW BERN, NC 28560

PHOTOS

DEMO / EXISTING

12 X 18 SHEETS ARE HALF SIZE



1
AD-101

DEMO / EXISTING

Scale: 3/16" = 1'-0"

1
AD-201

IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR BUILDER TO CONFIRM TO ALL STANDARDS, PROVISIONS, REQUIREMENTS, METHODS OF CONSTRUCTION AND USES OF MATERIALS PROVIDED IN BUILDINGS AND/OR STRUCTURES AS REQUIRED BY N.C. UNIFORM BUILDING CODE, LOCAL AGENCIES AND IN ACCORDANCE WITH GOOD ENGINEERING PRACTICE. VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. VERIFY ALL COLOR AND MATERIAL CHOICES WITH OWNER PRIOR TO ORDERING OR INSTALLING.



1202-A Pollock Street
New Bern, NC 28560
252-633-0322
www.goarchdesign.com

COPYRIGHT NOTE:
THESE PLANS ARE THE PROPERTY OF THE ARCHITECT. THESE PLANS CONTAIN PROPRIETARY INFORMATION OF GO ARCHITECTURAL DESIGN, PLLC. THEY ARE SUBJECT TO FEDERAL COPYRIGHT AND OTHER APPLICABLE FEDERAL AND STATE PROPERTY, TRADE AND RELATED LAWS. THESE PLANS, INCLUDING THE INFORMATION CONTAINED WITHIN, SHALL NOT BE SHARED, REPRODUCED, DISTRIBUTED OR USED IN ANY WAY WITHOUT WRITTEN CONSENT FROM THE ARCHITECT. ANY FAILURE TO OBTAIN SUCH CONSENT IS A VIOLATION OF LAW AND MAY BE SUBJECT TO CIVIL AND CRIMINAL PROSECUTION AND PENALTIES.

Date: 09.17.2019

Revisions:

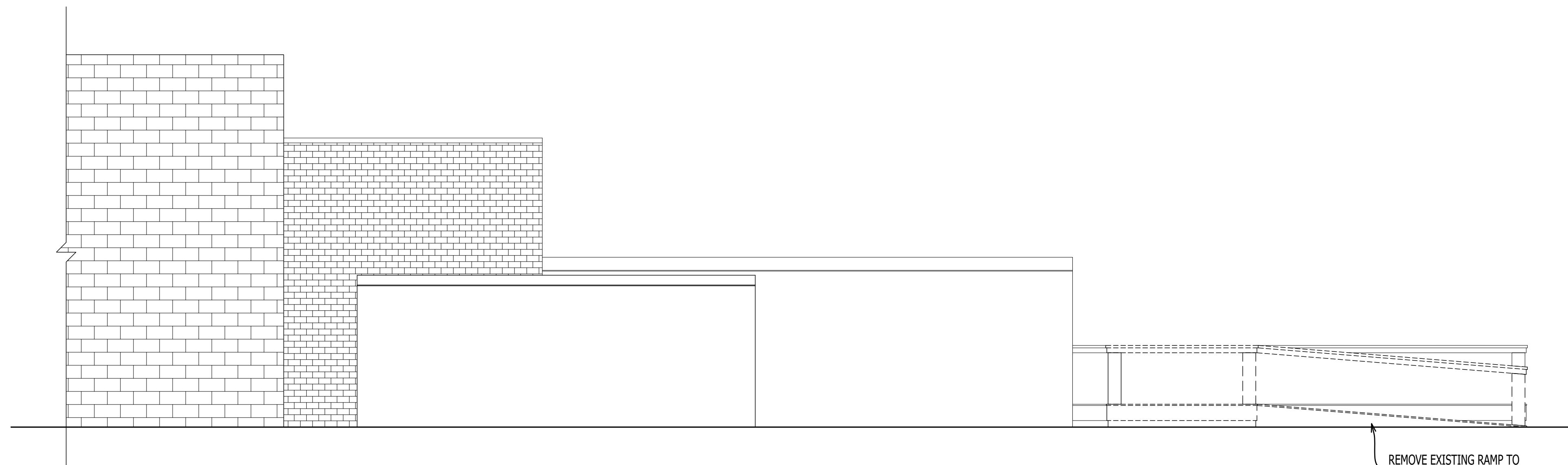
BLACKBEARD'S OUTDOOR DECK

415 & 417 S FRONT STREET, NEW BERN, NC 28560

AD-101

DEMO / EXISTING

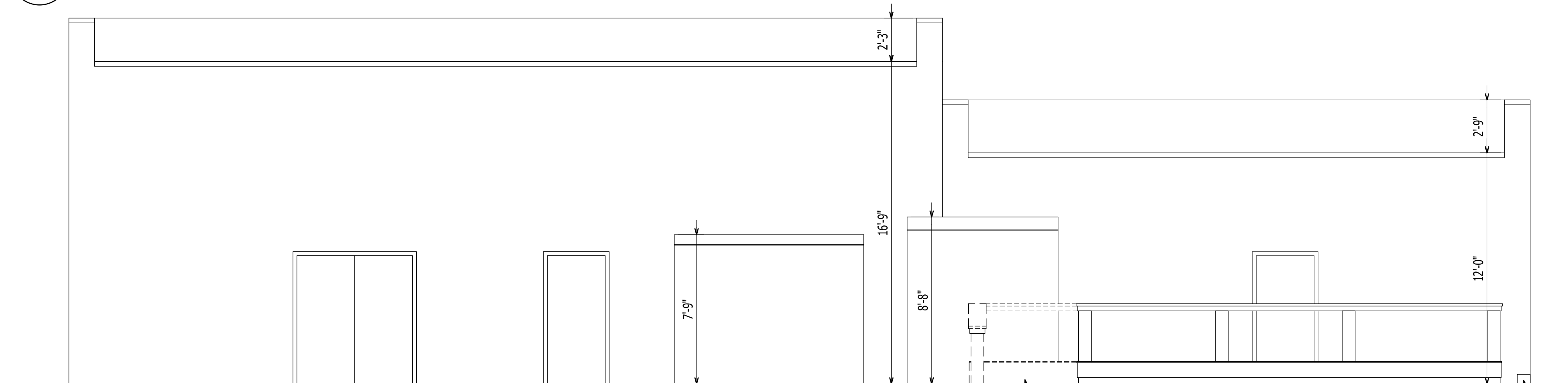
12 X 18 SHEETS ARE HALF SIZE



1
AD-201

DEMO / EXISTING
Scale: 1/4" = 1'-0"

REMOVE EXISTING RAMP TO
ACCOMMODATE DECK EXPANSION

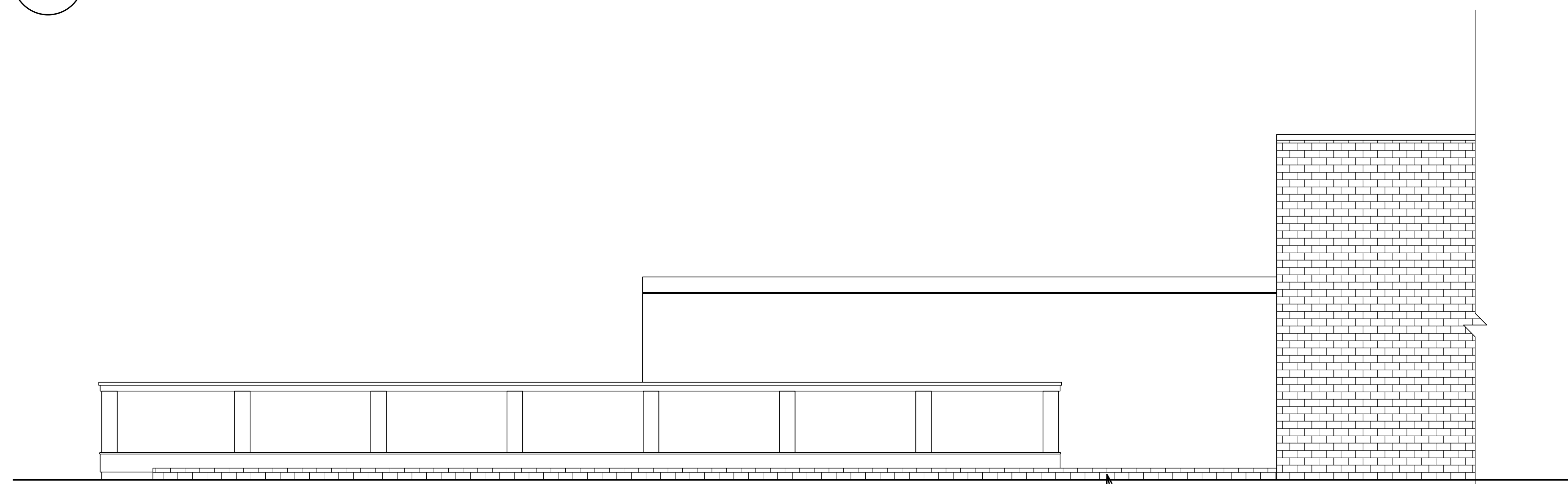


2
AD-201

DEMO / EXISTING
Scale: 1/4" = 1'-0"

REMOVE EXISTING RAMP TO
ACCOMMODATE DECK EXPANSION

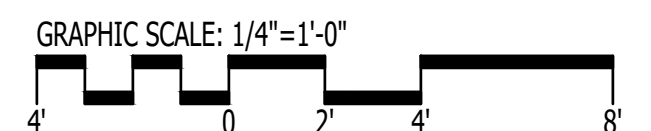
EXISTING BRICK WALL



3
AD-201

DEMO / EXISTING
Scale: 1/4" = 1'-0"

EXISTING BRICK WALL

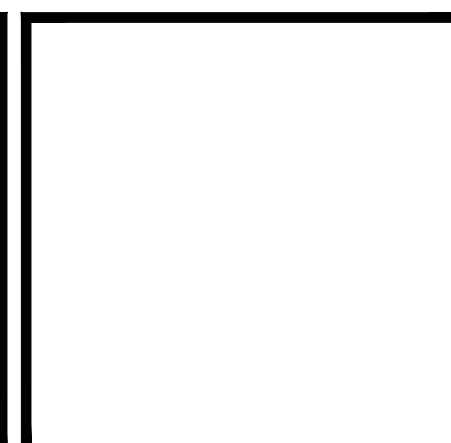


IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR BUILDER TO CONFIRM TO ALL STANDARDS, PROVISIONS, REQUIREMENTS, METHODS OF CONSTRUCTION AND USES OF MATERIALS PROVIDED IN BUILDINGS AND/OR STRUCTURES AS REQUIRED BY N.C. UNIFORM BUILDING CODE, LOCAL AGENCIES AND IN ACCORDANCE WITH GOOD ENGINEERING PRACTICE. VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. VERIFY ALL COLOR AND MATERIAL CHOICES WITH OWNER PRIOR TO ORDERING OR INSTALLING.



1202-A Pollock Street
New Bern, NC 28560
252-633-0322
www.goarchdesign.com

COPYRIGHT NOTE:
THESE PLANS ARE THE PROPERTY OF THE ARCHITECT. THESE PLANS CONTAIN PROPRIETARY INFORMATION OF GO ARCHITECTURAL DESIGN, PLLC. THEY ARE SUBJECT TO FEDERAL COPYRIGHT AND OTHER APPLICABLE FEDERAL AND STATE PROPERTY, TRADE AND RELATED LAWS. THESE PLANS, INCLUDING THE INFORMATION CONTAINED WITHIN, SHALL NOT BE SHARED, REPRODUCED, DISTRIBUTED OR USED IN ANY WAY WITHOUT WRITTEN CONSENT FROM THE ARCHITECT. ANY FAILURE TO OBTAIN SUCH CONSENT IS A VIOLATION OF LAW AND MAY BE SUBJECT TO CIVIL AND CRIMINAL PROSECUTION AND PENALTIES.



Date: 09.17.2019

Revisions:

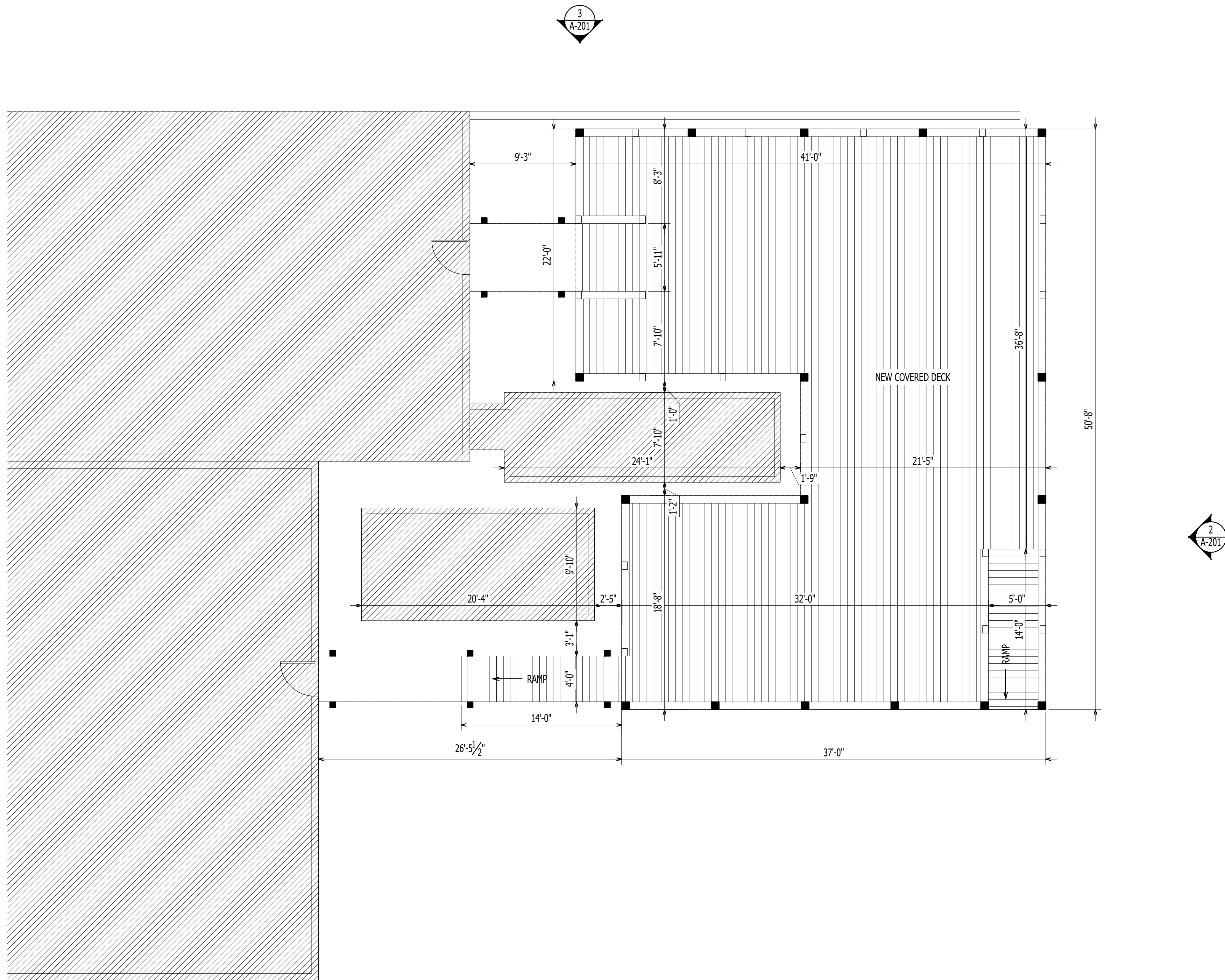
BLACKBEARD'S OUTDOOR DECK

415 & 417 S FRONT STREET, NEW BERN, NC 28560

AD-201

DEMO / EXISTING

12 X 18 SHEETS ARE HALF SIZE



1
A-101
NEW PLAN
Scale: 3/16" = 1'-0"



IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR BUILDER TO CONFIRM TO ALL STANDARDS, PROVISIONS, REQUIREMENTS, METHODS OF CONSTRUCTION AND USES OF MATERIALS PROVIDED IN BUILDINGS AND/OR STRUCTURES AS REQUIRED BY N.C. UNIFORM BUILDING CODE, LOCAL AGENCIES AND IN ACCORDANCE WITH GOOD ENGINEERING PRACTICE. VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. VERIFY ALL COLOR AND MATERIAL CHOICES WITH OWNER PRIOR TO ORDERING OR INSTALLING.



1202-A Pollock Street
New Bern, NC 28560
252-633-0322
www.goarchdesign.com

COPYRIGHT NOTE:
THESE PLANS ARE THE PROPERTY OF THE ARCHITECT. THESE PLANS CONTAIN PROPRIETARY INFORMATION OF GO ARCHITECTURAL DESIGN, PLLC. THEY ARE SUBJECT TO FEDERAL COPYRIGHT AND OTHER APPLICABLE FEDERAL AND STATE PROPERTY, TRADE AND RELATED LAWS. THESE PLANS, INCLUDING THE INFORMATION CONTAINED WITHIN, SHALL NOT BE SHARED, REPRODUCED, DISTRIBUTED OR USED IN ANY WAY WITHOUT WRITTEN CONSENT FROM THE ARCHITECT. ANY FAILURE TO OBTAIN SUCH CONSENT IS A VIOLATION OF LAW, AND MAY BE SUBJECT TO CIVIL AND CRIMINAL PROSECUTION AND PENALTIES.

Date: 09.17.2019

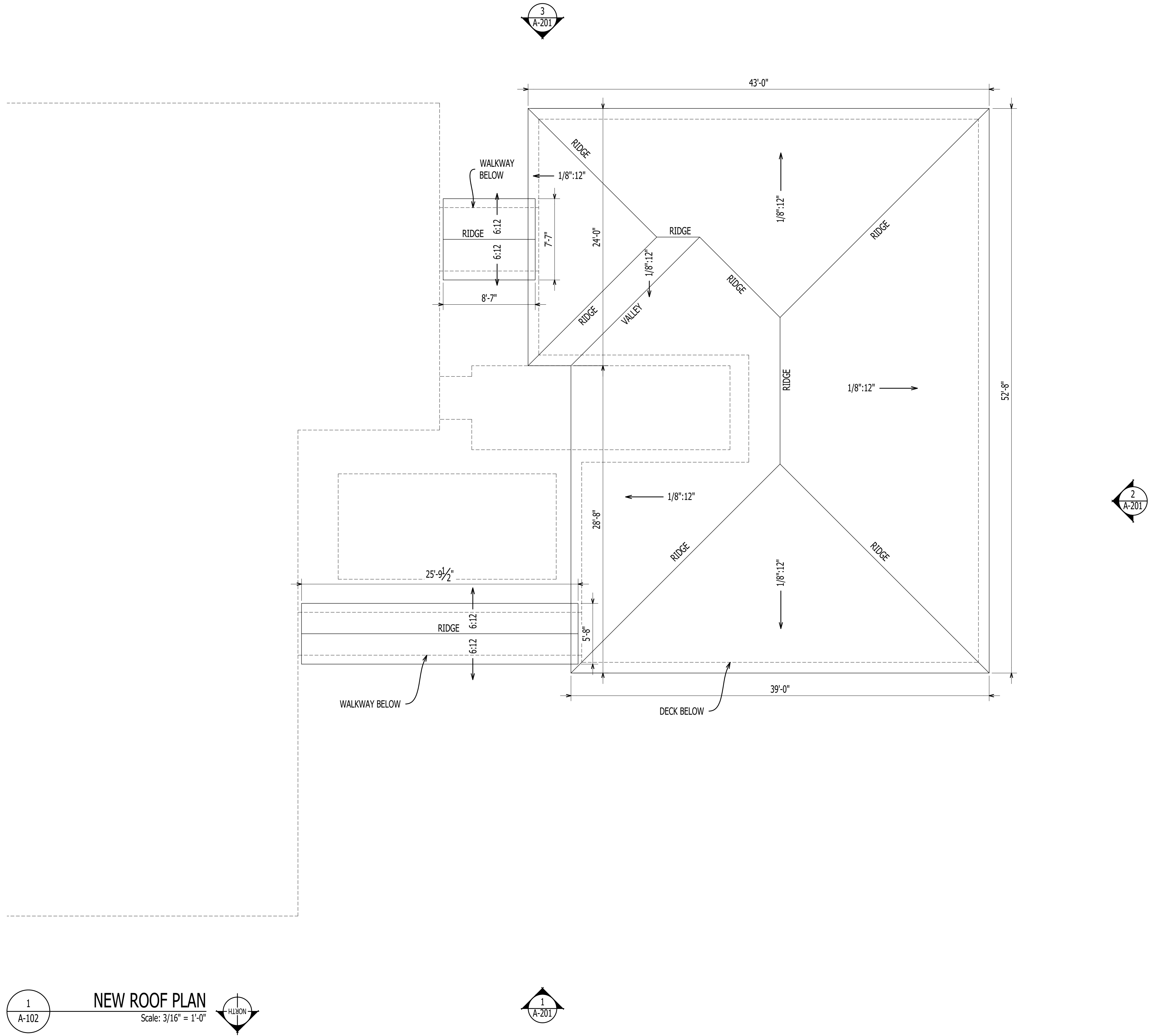
Revisions:

BLACKBEARD'S OUTDOOR DECK 415 & 417 S FRONT STREET, NEW BERN, NC 28560

A-101

NEW PLAN

12 X 18 SHEETS ARE HALF SIZE

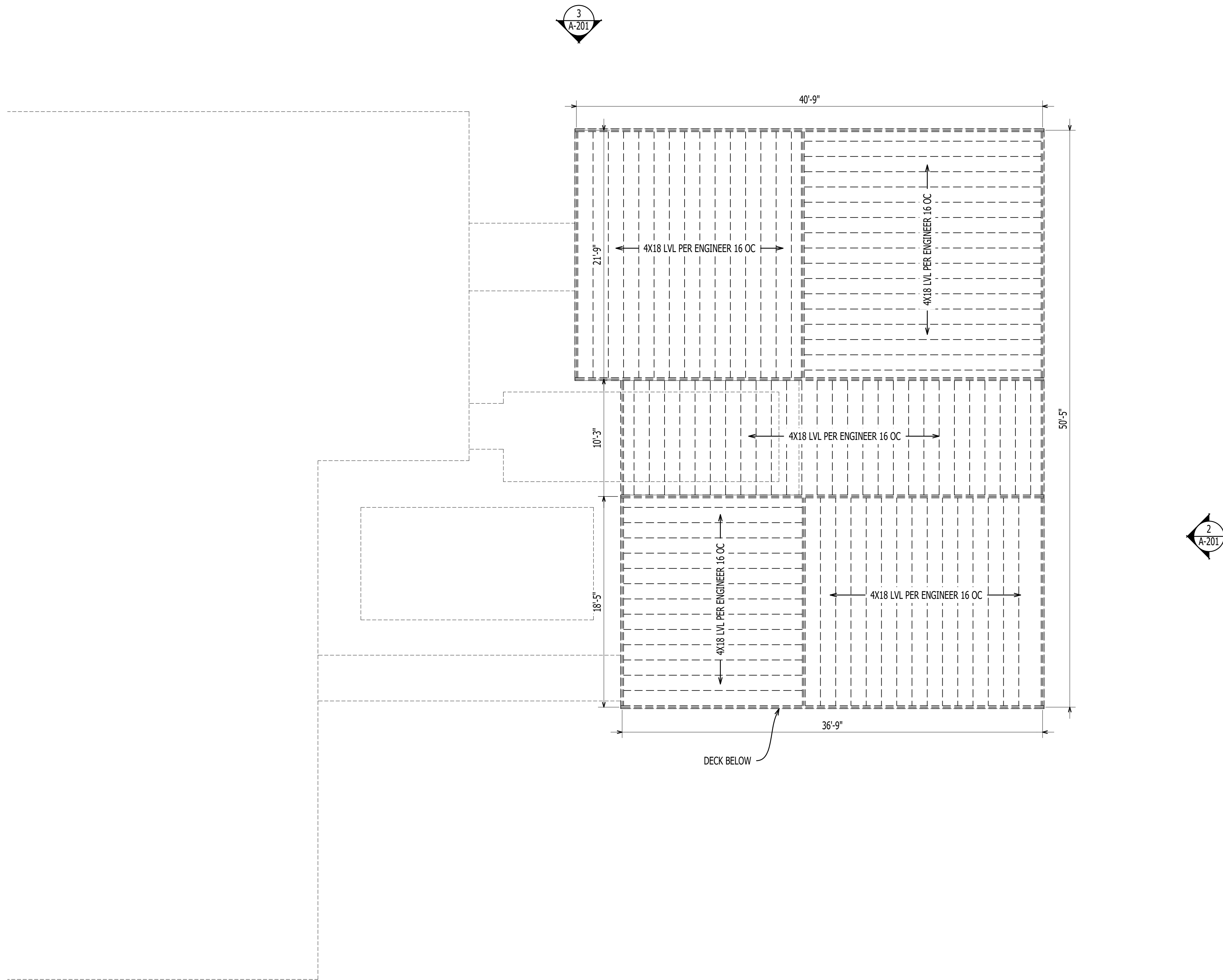


1
A-102

NEW ROOF PLAN
Scale: 3/16" = 1'-0"

1
A-201

IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR BUILDER TO CONFIRM TO ALL STANDARDS, PROVISIONS, REQUIREMENTS, METHODS OF CONSTRUCTION AND USES OF MATERIALS PROVIDED IN BUILDINGS AND/OR STRUCTURES AS REQUIRED BY N.C. UNIFORM BUILDING CODE, LOCAL AGENCIES AND IN ACCORDANCE WITH GOOD ENGINEERING PRACTICE. VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. VERIFY ALL COLOR AND MATERIAL CHOICES WITH OWNER PRIOR TO ORDERING OR INSTALLING.



1
A-103
NEW FRAMING PLAN
Scale: 3/16" = 1'-0"

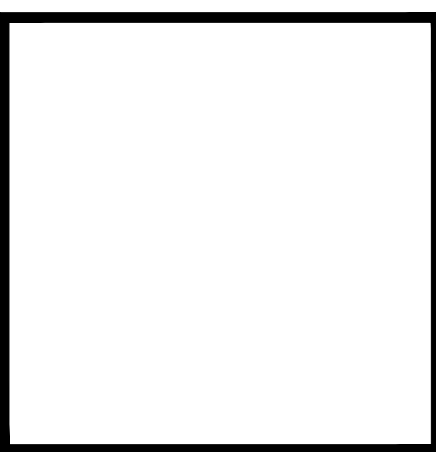


IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR BUILDER TO CONFIRM TO ALL STANDARDS, PROVISIONS, REQUIREMENTS, METHODS OF CONSTRUCTION AND USES OF MATERIALS PROVIDED IN BUILDINGS AND/OR STRUCTURES AS REQUIRED BY N.C. UNIFORM BUILDING CODE, LOCAL AGENCIES AND IN ACCORDANCE WITH GOOD ENGINEERING PRACTICE. VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. VERIFY ALL COLOR AND MATERIAL CHOICES WITH OWNER PRIOR TO ORDERING OR INSTALLING.



1202-A Pollock Street
New Bern, NC 28560
252-633-0322
www.goarchdesign.com

COPYRIGHT NOTE:
THESE PLANS ARE THE PROPERTY OF THE ARCHITECT. THESE PLANS CONTAIN PROPRIETARY INFORMATION OF GO ARCHITECTURAL DESIGN, PLLC. THEY ARE SUBJECT TO FEDERAL COPYRIGHT AND OTHER APPLICABLE FEDERAL AND STATE PROPERTY, TRADE AND RELATED LAWS. THESE PLANS, INCLUDING THE INFORMATION CONTAINED WITHIN, SHALL NOT BE SHARED, REPRODUCED, DISTRIBUTED OR USED IN ANY WAY WITHOUT WRITTEN CONSENT FROM THE ARCHITECT. ANY FAILURE TO OBTAIN SUCH CONSENT IS A VIOLATION OF LAW, AND MAY BE SUBJECT TO CIVIL AND CRIMINAL PROSECUTION AND PENALTIES.



Date: 09.17.2019

Revisions:

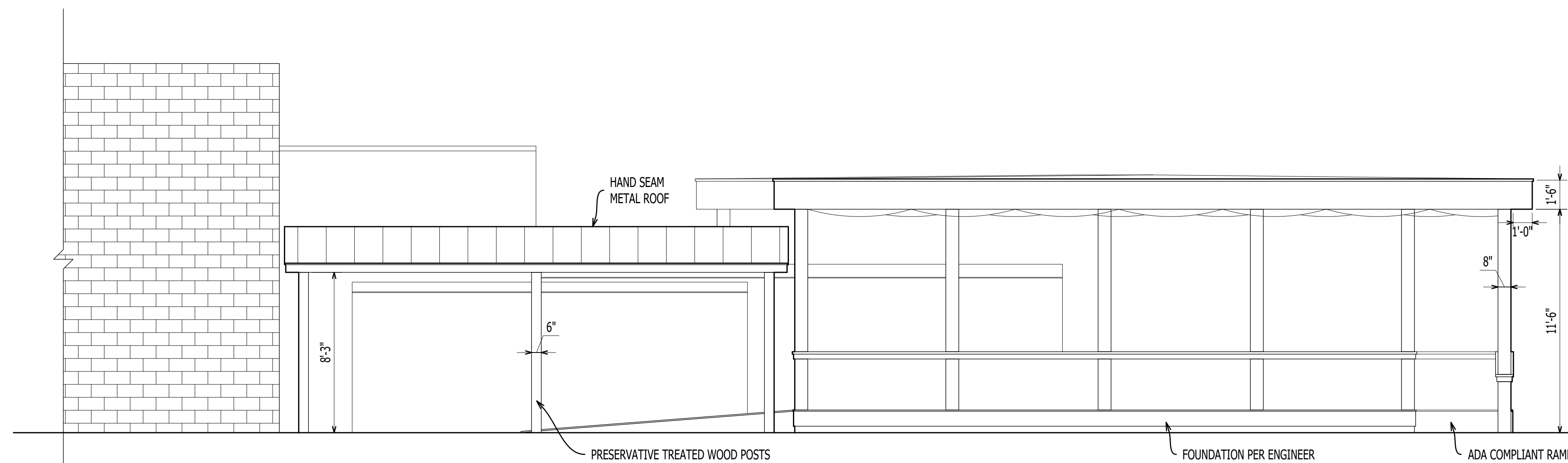
BLACKBEARD'S OUTDOOR DECK

415 & 417 S FRONT STREET, NEW BERN, NC 28560

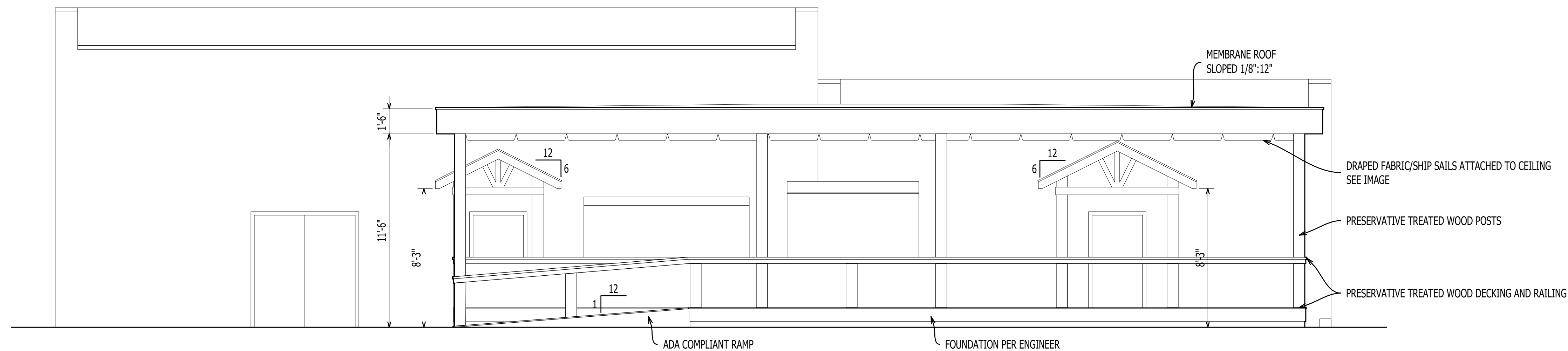
A-103

NEW ROOF PLAN

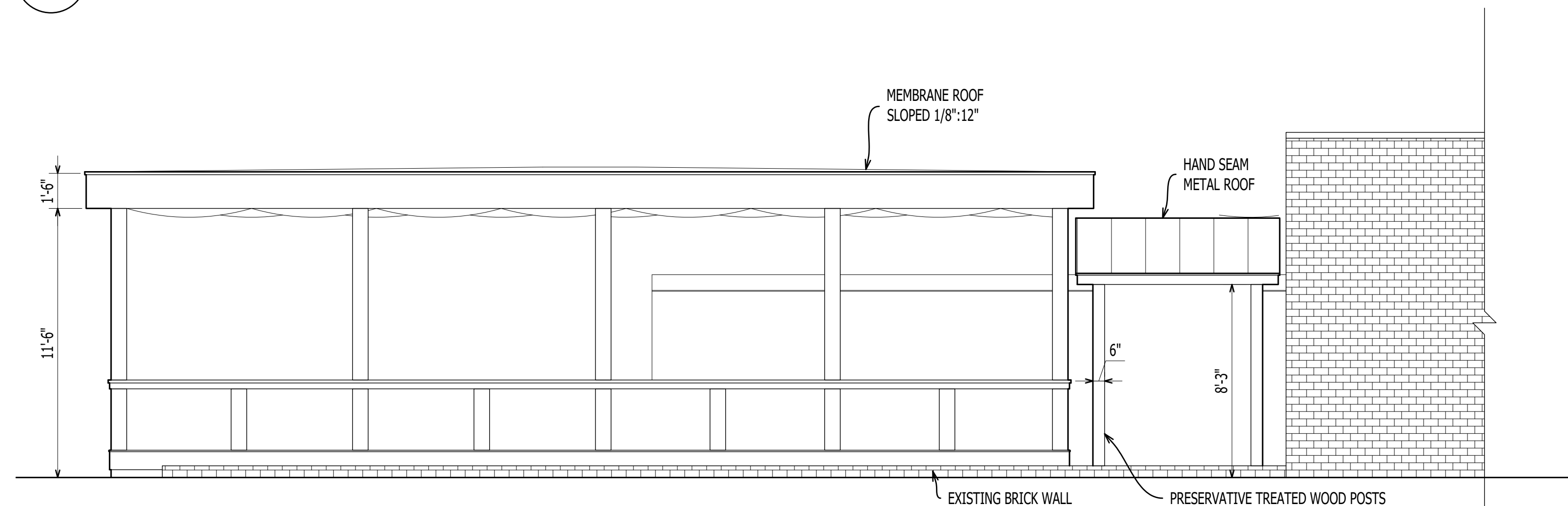
12 X 18 SHEETS ARE HALF SIZE



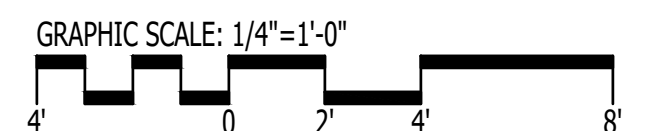
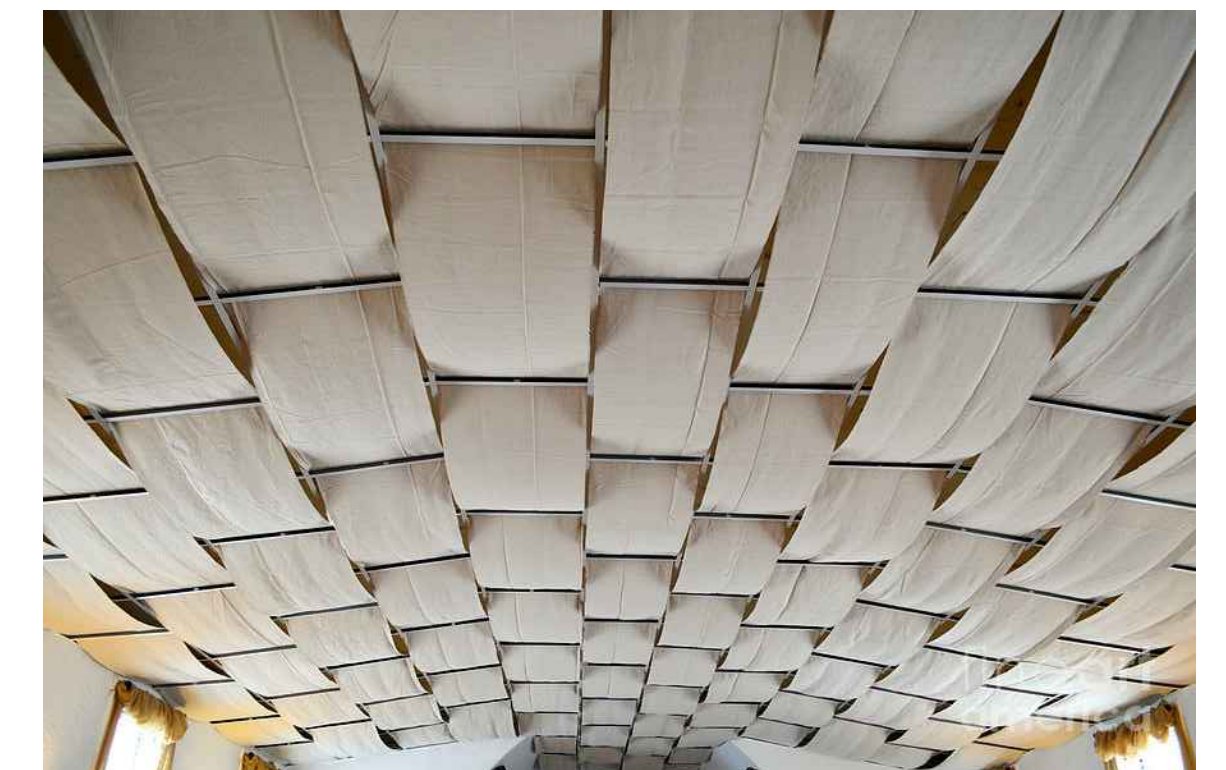
1
A-201
NEW ELEVATION
Scale: 1/4" = 1'-0"



2
A-201
NEW ELEVATION
Scale: 1/4" = 1'-0"



3
A-201
NEW ELEVATION
Scale: 1/4" = 1'-0"

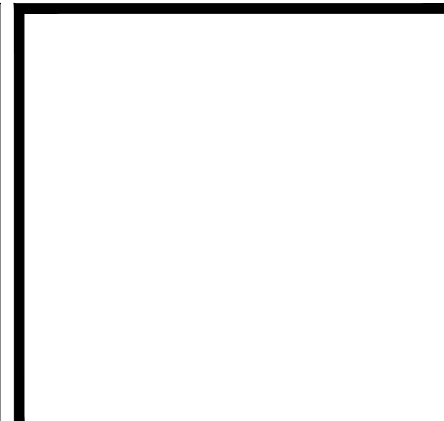


IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR BUILDER TO CONFIRM TO ALL STANDARDS, PROVISIONS, REQUIREMENTS, METHODS OF CONSTRUCTION AND USES OF MATERIALS PROVIDED IN BUILDINGS AND/OR STRUCTURES AS REQUIRED BY N.C. UNIFORM BUILDING CODE, LOCAL AGENCIES AND IN ACCORDANCE WITH GOOD ENGINEERING PRACTICE. VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. VERIFY ALL COLOR AND MATERIAL CHOICES WITH OWNER PRIOR TO ORDERING OR INSTALLING.



1202-A Pollock Street
New Bern, NC 28560
252-633-0322
www.goarchdesign.com

COPYRIGHT NOTE:
THESE PLANS ARE THE PROPERTY OF THE ARCHITECT. THESE PLANS CONTAIN PROPRIETARY INFORMATION OF GO ARCHITECTURAL DESIGN, PLLC. THEY ARE SUBJECT TO FEDERAL COPYRIGHT AND OTHER APPLICABLE FEDERAL AND STATE PROPERTY, TRADE AND RELATED LAWS. THESE PLANS, INCLUDING THE INFORMATION CONTAINED WITHIN, SHALL NOT BE SHARED, REPRODUCED, DISTRIBUTED OR USED IN ANY WAY WITHOUT WRITTEN CONSENT FROM THE ARCHITECT. ANY FAILURE TO OBTAIN SUCH CONSENT IS A VIOLATION OF LAW, AND MAY BE SUBJECT TO CIVIL AND CRIMINAL PROSECUTION AND PENALTIES.



Date: 09.17.2019

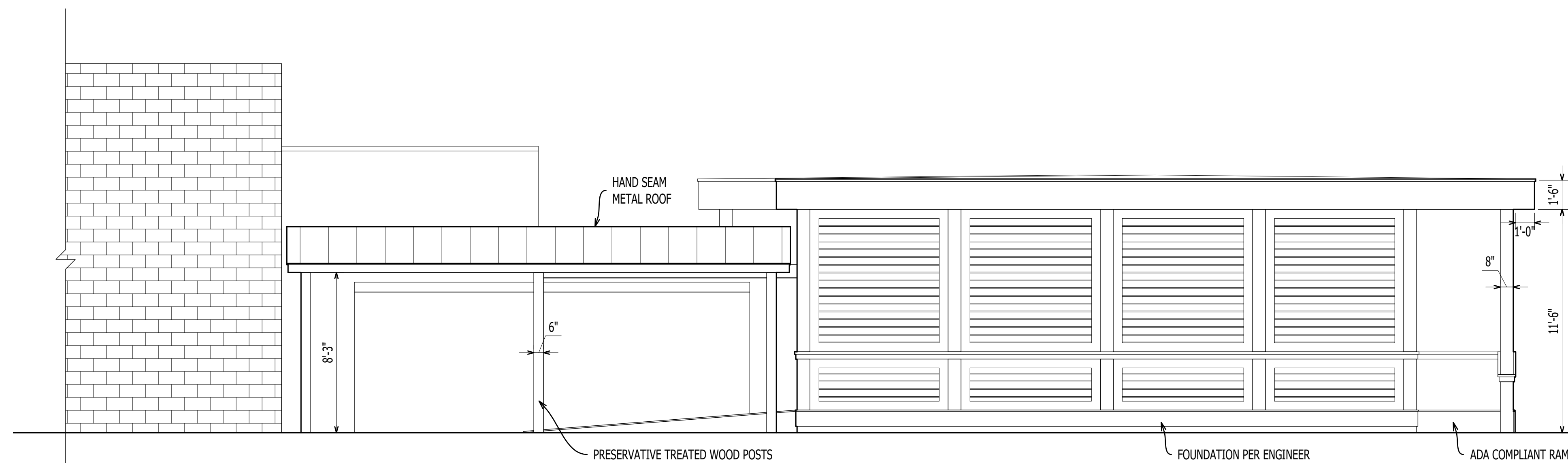
Revisions:

BLACKBEARD'S OUTDOOR DECK
415 & 417 S FRONT STREET, NEW BERN, NC 28560

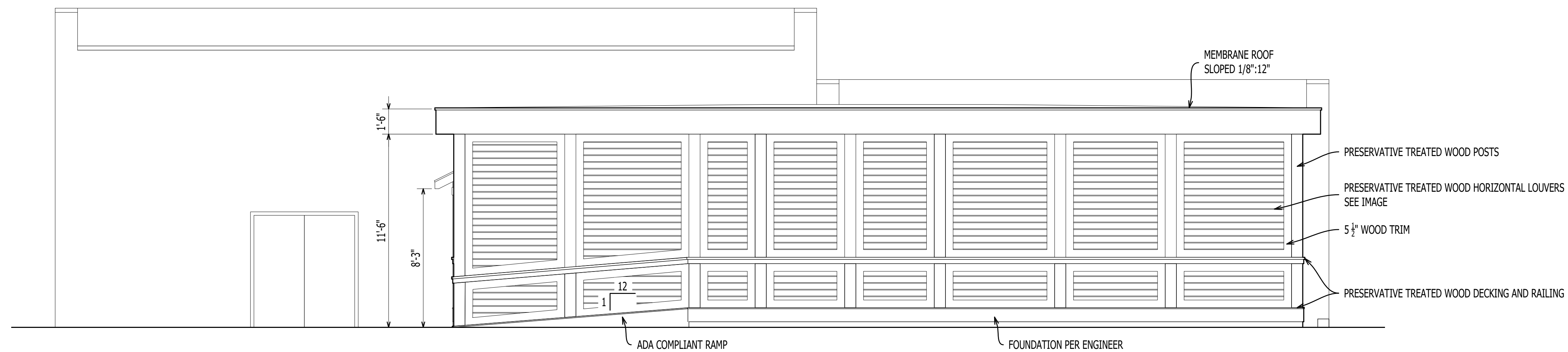
A-201

NEW ELEVATIONS

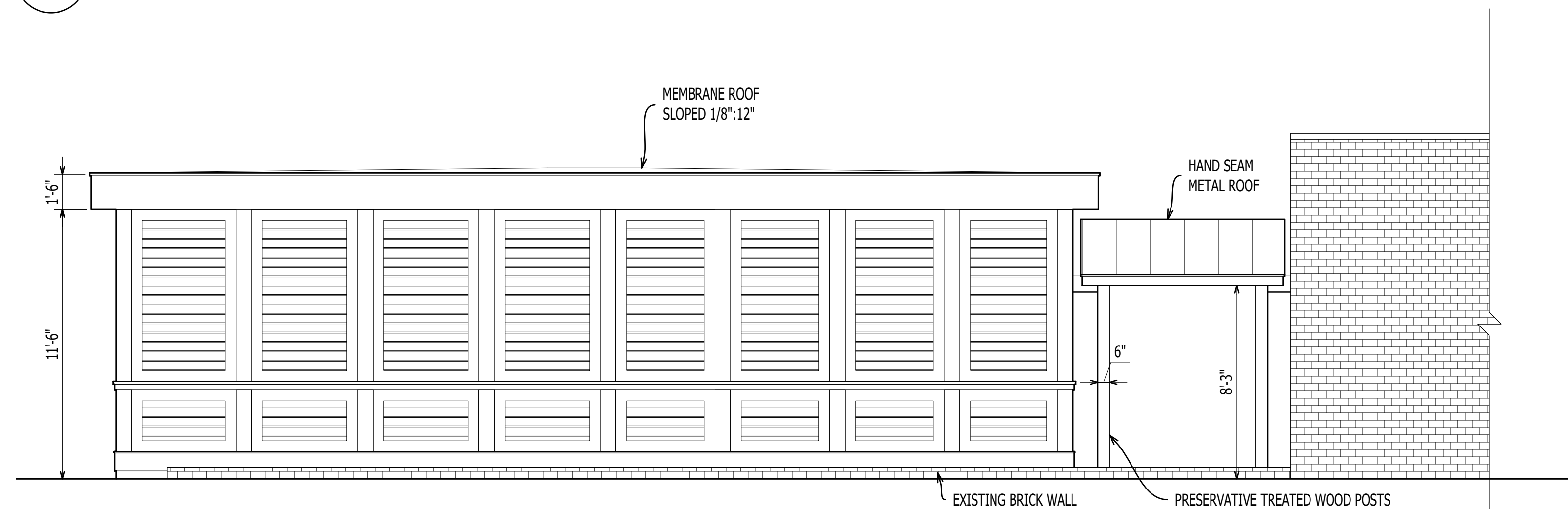
12 X 18 SHEETS ARE HALF SIZE



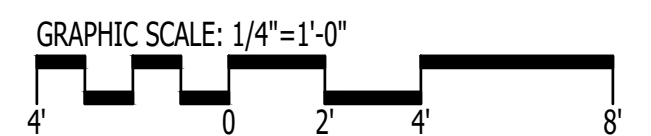
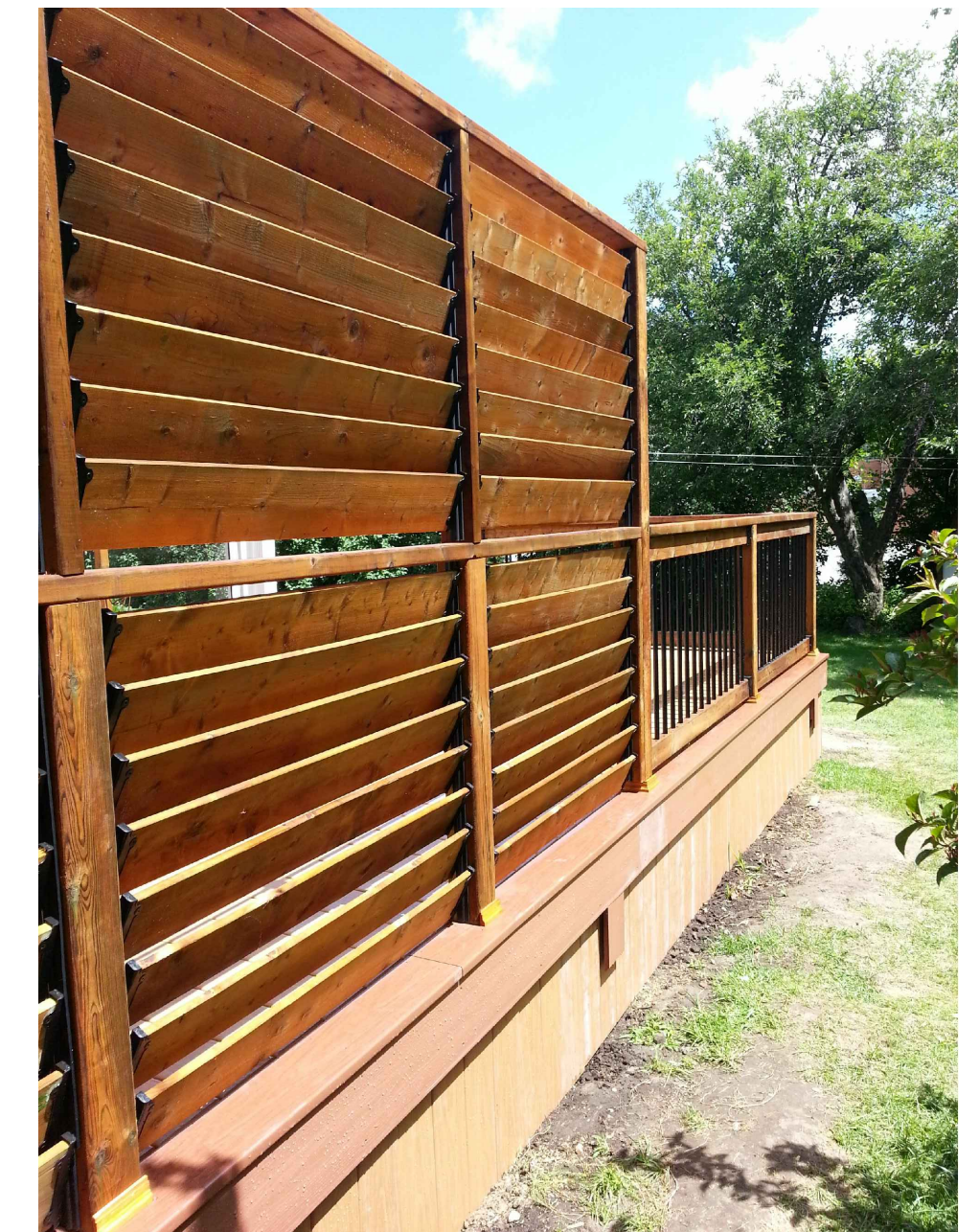
1
A-202
NEW ELEVATION W/ LOUVERS
Scale: 1/4" = 1'-0"



2
A-202
NEW ELEVATION W/ LOUVERS
Scale: 1/4" = 1'-0"



3
A-202
NEW ELEVATION W/ LOUVERS
Scale: 1/4" = 1'-0"



IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR BUILDER TO CONFIRM TO ALL STANDARDS, PROVISIONS, REQUIREMENTS, METHODS OF CONSTRUCTION AND USES OF MATERIALS PROVIDED IN BUILDINGS AND/OR STRUCTURES AS REQUIRED BY N.C. UNIFORM BUILDING CODE, LOCAL AGENCIES AND IN ACCORDANCE WITH GOOD ENGINEERING PRACTICE. VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. VERIFY ALL COLOR AND MATERIAL CHOICES WITH OWNER PRIOR TO ORDERING OR INSTALLING.





Zoning and Inspections Review of

Application for Certificate of Appropriateness for Alterations in Historic District

Initial review of applications for certificates of appropriateness by the Zoning Administrator and Chief Building Inspector is intended to provide the applicant and Historic Preservation Commission with information related to compliance with local land use ordinance and building code. It does not represent a formal approval of a permit by any party and does not bind the decisions of Commission.

Application Address and Description: 415-417 S. Front St. – to include louver configuration and walkway roof revisions to the approved plans for a covered deck in the Tertiary AVC.

Zoning Administrator please review the application and fill out all applicable items

Zoning District: C-1, Commercial Waterfront Overlay

Required Setbacks (primary structure): Front Side Rear

Accessory Setbacks: From Nearest Structure: Side Rear

Maximum Lot Coverage for proposed use:

Maximum Height of Structure:

Required Site Improvements: Landscaping Buffer Parking

Other requirements:

I have reviewed the application for proposed alterations to this property and have determined that it Meets ☒ Does Not Meet ☐ the requirements of the Land Use Ordinance.

Comments:

Zoning Administrator 11/13/2020

Chief Building Inspector please review the application and include any comments below

The proposed project Will ☐ Will Not ☒ require a building permit(s).

Comments:

Chief Building Inspector 11/13/2020

Certificate of Appropriateness Findings & Recommendations

HPC Meeting November 18, 2020

Applicant: 415 S. Front St. LLC/GO Architectural Group, PLLC

Applicant Address: 227 E. Front St, New Bern, NC 28560

Project Address: 415-417 S. Front St., New Bern, NC 28560

Historic Property Name: 415: Interstate Securities, 417: Print Shop of New Bern, both built ca. 1975

Status: **Contributing:** **Non-contributing:** **X** **Vacant Lot:**

415-417 S. Front St. – to include louver configuration and walkway roof revisions to the approved CoA for a covered deck in the Tertiary AVC.

Staff submits the following Historic District Guidelines as appropriate to this application:

Accessory Structures

2.6.1 Locate accessory structures in Secondary or Tertiary AVCs, and behind primary structures when possible. Accessory structures are to be secondary to the primary structure in regard to mass, scale, form, and texture

Decks and Patios

4.6.2 Locate decks in Secondary and Tertiary AVCs, and screen the underside with shrubbery, fencing, lattice, or masonry.

Accessibility and Life Safety

4.7.2 Locate ramps, lifts, fire stairs and fire doors in visually unobtrusive areas. Avoid accommodations within a Primary AVC when possible.

Paint

5.4.2 Select paint and sealant coatings that are harmonious with adjoining work. In general, new material shall be a compatible formulation with the substrate of application.

5.4.4 Consider using opaque stain in lieu of paint on porch flooring, deck flooring and similar wood surfaces exposed to foot traffic.

Statements of Reason, based on the information contained in the application, in Staff's judgment are:

1. The primary structure is not a contributing resource in the district;
2. The project is within the Tertiary AVC, is a replacement of a non-original stoop with a porch that is characteristic of the historic district.
3. The proposed design, components, and materials meet the requirements of the Guidelines;
4. The Zoning Administrator and the Chief Building Official have reviewed this project and commented accordingly;
5. The project is not incongruous with the Guidelines.

MOTION

Staff recommends the Commission approve this application to include louver configuration and walkway roof revisions to the approved CoA for a covered deck in the Tertiary AVC.