



Development Services Department  
303 First St. P.O. Box 1129  
New Bern, NC 28563  
(252) 639-7581

**TO:** New Bern Historic Preservation Commission  
**FROM:** Matt Schelly, AICP, City Planner  
**DATE:** April 13, 2022  
**RE:** Regular Meeting, **5:30 PM, Wednesday, April 20, 2022, in the Courtroom, Second Floor, City Hall, 303 Pollock St.**

INDIVIDUALS WITH DISABILITIES REQUIRING SPECIAL ASSISTANCE SHOULD CALL  
639-7501 NO LATER THAN 3 P.M. THE DATE OF THE MEETING

**REGULAR MEETING AGENDA – 5:30 PM**

1. Opening of Meeting with Roll Call
2. Approval of Minutes of Previous Meeting(s)
3. Hearings on Certificates of Appropriateness:
  - A. Hearings: Introduction, Swearing-In, Summary of Process
    - Introduction of Hearings and Rules of Procedure
    - Swearing-In of Speakers
    - Summary of the Hearing Process

Applications:

- B. **207 Pollock St.** – to include removal of an existing wood exterior stairway and existing second floor exterior doorway, replacing wood siding on second story rear side wall to cover the doorway opening, and extension of the wood fencing from along the side of the driveway; all this in the Secondary and Tertiary AVCs.
- C. **216 Johnson St.** – to include adding to the top of the existing retaining wall a decorative metal fence and gates in all AVCs.
- D. **823 Pollock St.** – to include installation of a new, 6-foot-high, wood gate for the driveway in the Primary AVC.
- E. **411 Broad St.** – to include removing the existing rear doorway and one window opening, filling them with brick, the enlargement of another window opening for use as a doorway, installation of a concrete patio, exterior lighting, and fencing, all in the Tertiary AVC.
- F. **509 Queen St.** – to include the construction of a two-story infill house.

***\*Please note that applications for these projects, including proposed plans, are available for review during normal business hours in the Development Services Department (303 First St.).***

4. Old Business (non-hearing items tabled or continued from a previous meeting): none
5. General Public Comments
6. New Business: none
7. HPC Administrator's Report:
  - A. Report on CoAs Issued 03/09/2022 – 04/12/2022  
MAJORS, including AMENDMENTS:
    1. 212 Change St. – rear porch extension, extended roof overhang, pergola, landscaping, gateway, closet
    2. 404 Avenue C – AMENDMENT – porches, garage gable
    3. 521 E. Front St. – garage roof and garage doorsMINORS:
    1. 312 Metcalf St. – driveway, walkway, deck, free-standing fence
    2. 511 New St. – pool
    3. 760 E. Front St., Slip D – boat lift, 4 pilings
    4. 813 N. Cool St. – gate
  - B. Report on CoA Extensions Issued since the Prior Regular Meeting: None
  - C. Other Items and Updates
8. Commissioners' Comments
9. Adjourn



**FEE SCHEDULE** (office use only)  
 [ ] \$22 Standard Application (minor)  
 [ ] \$107 Standard Application (major)



HPC Administrator  
 HPCAdmin@newbernnc.gov  
 Work: (252)639-7583  
 Fax: (252)636-2146

**Application for a Certificate of Appropriateness**  
*(For Alterations to Properties in Locally Designated Historic Districts)*

For assistance, see "CoA Instructions," as well as "Historic District Guidelines," available online at:

<https://www.newbernnc.gov> Go to: Departments, Development Services, then:

- For the CoA Instructions: Document Center, Alphabetical Listing, Certificate of Appropriateness – Instructions for COA application
- For the Historic District Guidelines: Historic Preservation, HPC Guidelines, Historic District Guidelines

Type of Project: ☒ Exterior Alteration ☐ Addition ☐ Infill ☐ Site Work ☐ Other

<b>I. Applicant/Owner Information:</b>			
Property Address (Include year built, if known): 207 POLLOCK STREET NEW BERN, NC 28560 circa 1887			
Property Owner Name(s):  MIKE & ALANA HUBER	Owner Mailing Address:  207 POLLOCK STREET NEW BERN, NC 28537	Phone #s:  252-622-8554	Email:  hubermr@yahoo.com
Applicant Name (if different):  SAME	Applicant Mailing Address:	Phone #s:	Email:

<b>II. Project Information:</b> (See "CoA Instructions" & "Historic Guidelines" for help in completing this section)
1. Provide a detailed description of work to be conducted on site: (Attach additional sheets if needed)  -Removal of exterior staircase to second floor -Removal of door at the top of the staircase and replace with siding consistent with the historical aesthetic of the house -Continuation of picket fence in front of the house along the side of the house. <div align="right">Continued on additional sheet or attached brochure <input type="checkbox"/></div>
2. Reference the specific Guideline(s) in the "Historic District Guidelines" which you believe apply to this project: (only need the guideline numbers): 6.4.1 6.4.4 <div align="right">Continued on additional sheet or attached brochure <input type="checkbox"/></div>
3. Provide a detailed description of materials to be used (copies of brochures, texture, etc.): Reference the specific Guidelines in the Historic District Guidelines for the proposed material(s). See addendum <div align="right">Continued on additional sheet or attached brochure <input type="checkbox"/></div>

**III. Additional Information Provided:** (See "CoA Instructions" for more detail)

Plan(s) of Work, with: (please check all of those which are included with this application)

- ☒ Site plan (with annotated notes showing existing site and requested work)
- ☐ Photographs of the building and location where the proposed work will be completed
- ☐ Annotated notes or photos of materials to be used (samples may also be submitted)
- ☐ Floor plan with dimensions (for additions)
- ☐ Elevations with dimensions (for exterior additions or renovations)
- ☐ Supporting materials (brochures, photos of similar New Bern projects, estimates, etc.)
- ☐ Letter from owner acknowledging this application, in the case of submission by an applicant or lessee.

Please see Development Services Staff (Staff) prior to submittal for initial review of the application and advisement if additional information will be required before consideration at a Historic Preservation Commission hearing.

**Please read the following statements. Your signature below acknowledges that you have read the statements and attest to their accuracy:**

Check one:

- ☒ I am the owner of the Property, or
- ☐ I am acting on behalf of the owner of the property and have attached the notarized authorization form indicating the owner(s) consent to represent them for this application.

- ◆ I understand that submittal of this application does not constitute approval of proposed alterations.
- ◆ I understand that the approval of this application by City Staff or the New Bern Historic Preservation Commission (HPC) does not constitute approval of other federal, state, or local permit applications.
- ◆ I understand that I (or my representative) will need to attend the Hearing of this Application by HPC. No Applications shall be heard without a representative present and all applicable fees paid in full.
- ◆ I have reviewed the City of New Bern's "Historic District Guidelines" in preparing this Application.
- ◆ I understand that the property referenced by this Certificate of Appropriateness (CoA) application is in one of New Bern's local historic districts and that it represents a part of New Bern's historic fabric. If a CoA is approved by HPC or Staff, I agree to implement all changes as specified in the approved CoA, including any conditions. I understand that I am responsible for contacting Staff if I have any questions regarding the allowed changes specified in the approved CoA.
- ◆ I understand that ANY unapproved alterations are enforceable as a violation of City Ordinance and must be brought into compliance by removal or through the CoA process.
- ◆ I affirm that all the information included in this application is true to the best of my knowledge.
- ◆ I understand that incomplete applications cannot be considered.

  
\_\_\_\_\_  
Signature of Applicant/Owner

31 March 2022

Date

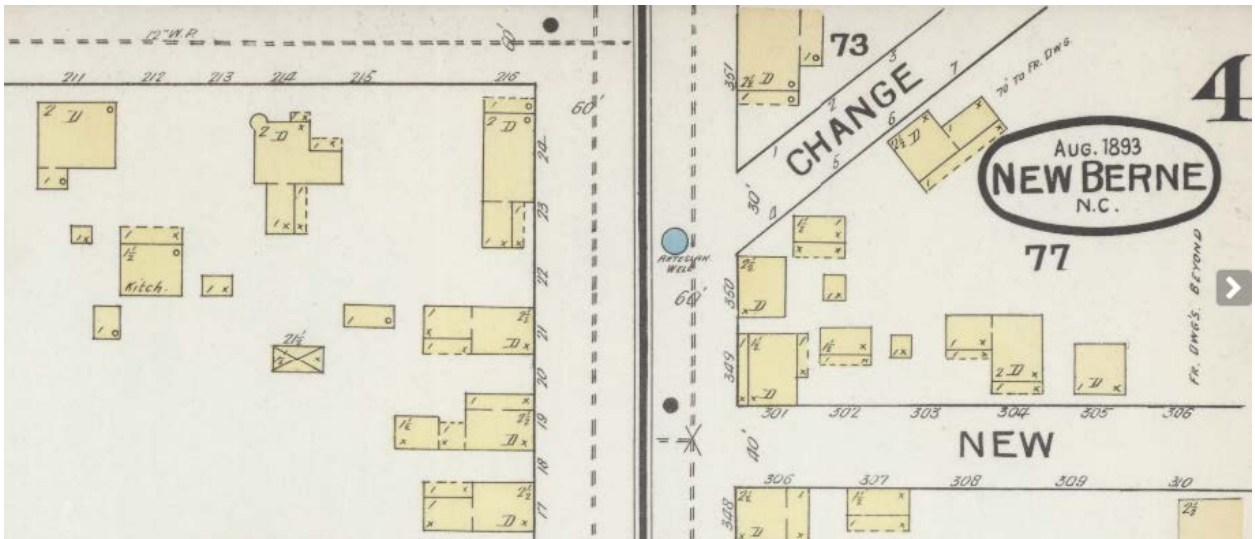
APPLICATION SHOULD BE SUBMITTED TO THE DEVELOPMENT SERVICES MAIN OFFICE AT 303 FIRST ST.. FOR A MAJOR PROJECT, SUBMITTAL AND FEE PAYMENT MUST BE NO LESS THAN 2 WEEKS PRIOR TO THE UPCOMING HPC REGULAR MEETING. FOR FURTHER INFORMATION, CONTACT THE HISTORIC PRESERVATION COMMISSION ADMINISTRATOR AT (252) 639-7583.



207 Pollock St. – Stair removal - Discussion Item – 2022-03-02 HPC Mtg









**207 Pollock St. – photos, drawing from contractor**

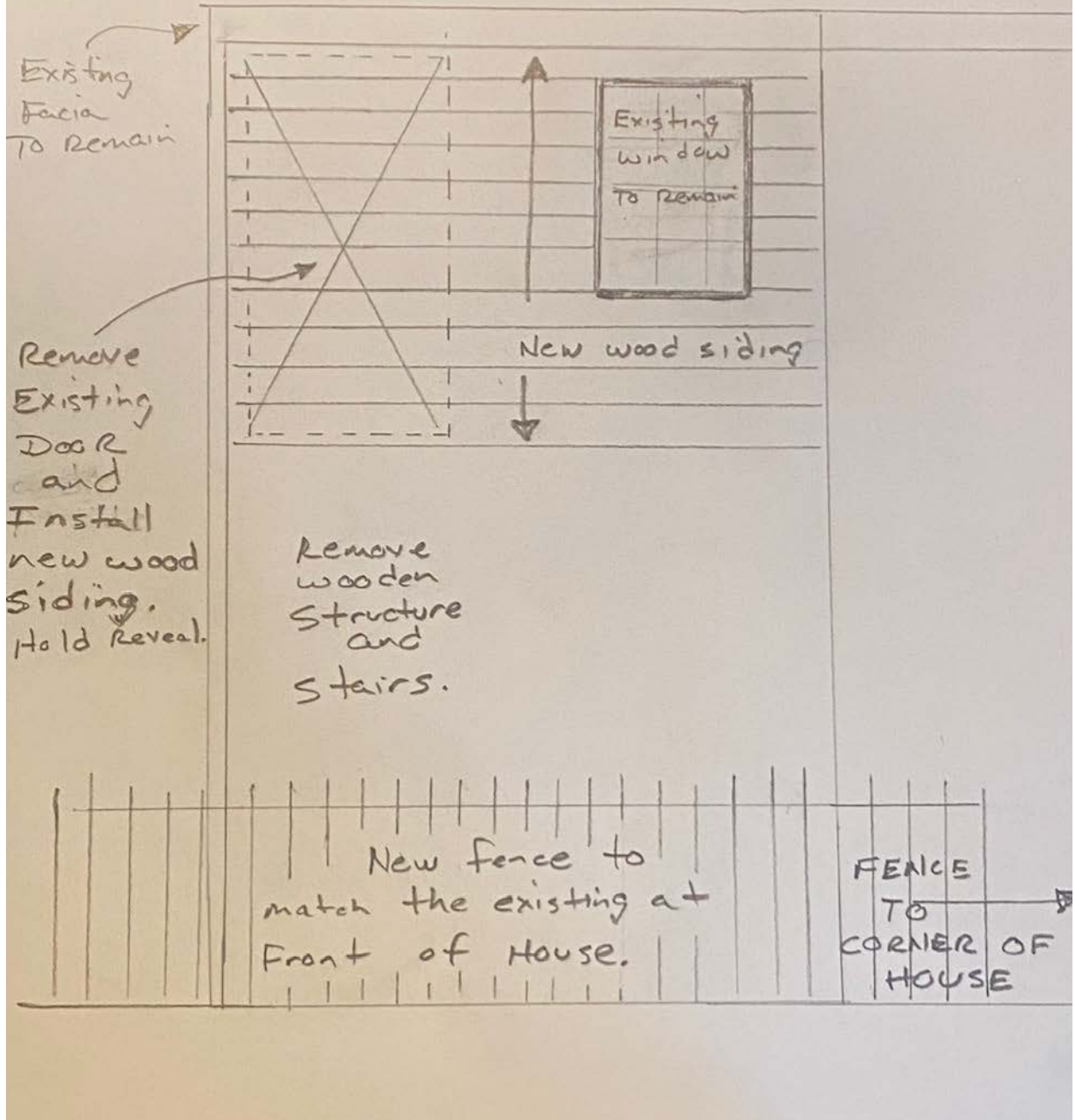














207 Pollock St – Fencing images, sketches 2022-04-18

## 207 Pollock St.

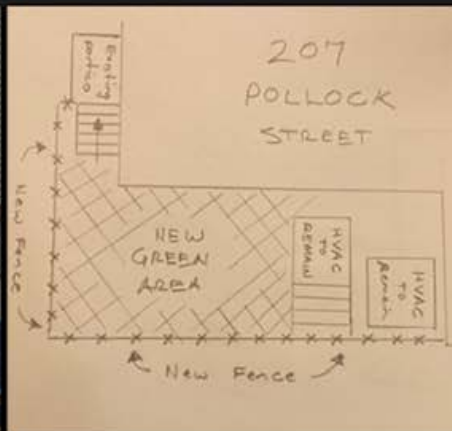
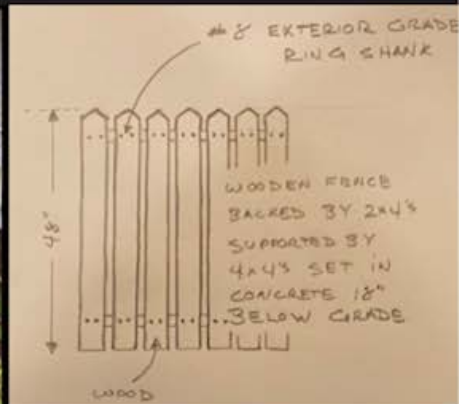
Hey Matt,

Here's some more detail of the proposed fence at 207 Pollock.

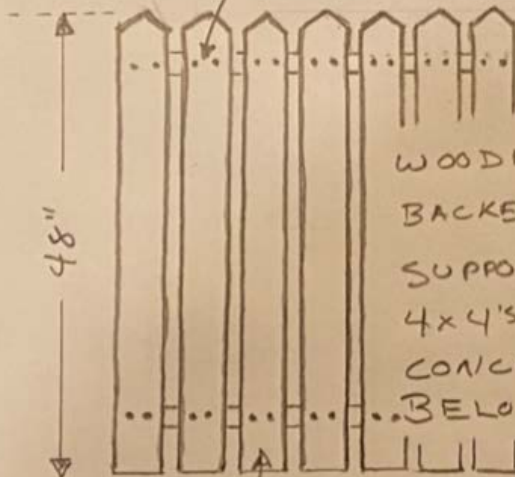
If you need anything else please let me know.

Brian

[571-299-8865](tel:571-299-8865)



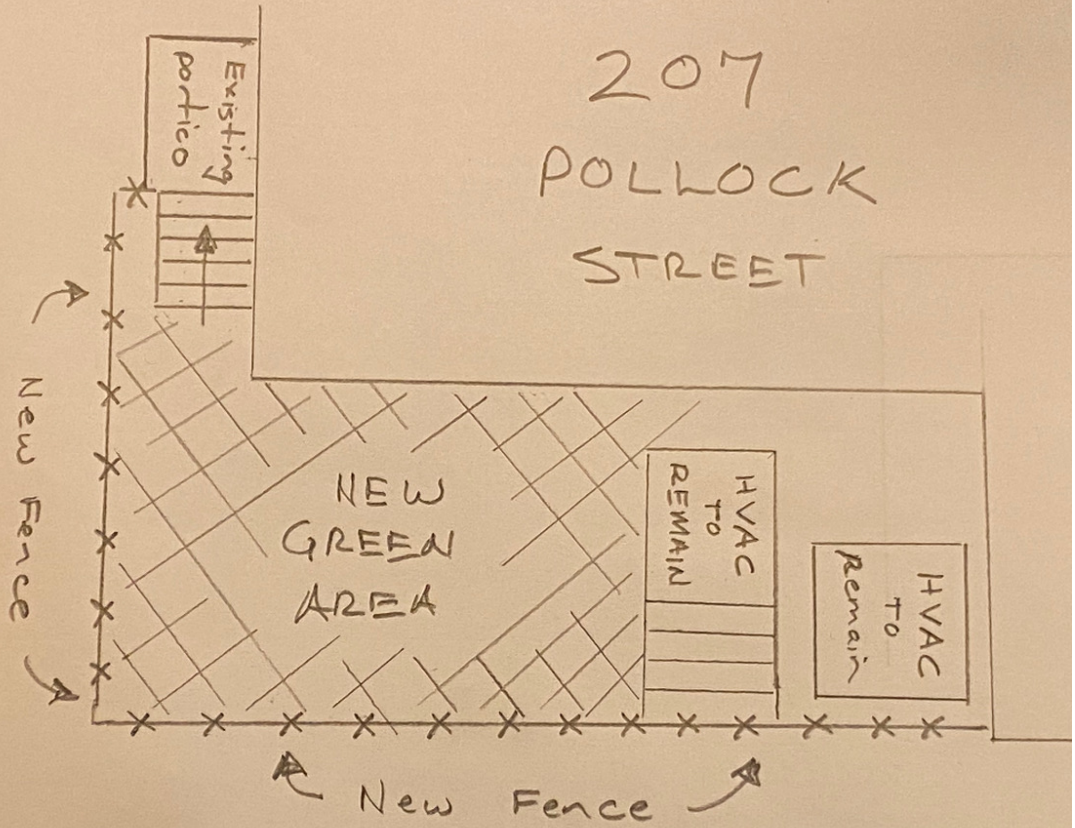
#8 EXTERIOR GRADE  
RING SHANK



WOODEN FENCE  
BACKED BY 2x4's  
SUPPORTED BY  
4x4's SET IN  
CONCRETE 18"  
BELOW GRADE

WOOD  
1x4's

207  
POLLOCK  
STREET



DRIVEWAY



## Zoning and Inspections Review of

### Application for Certificate of Appropriateness for Alterations in Historic District

*Initial review of applications for certificates of appropriateness by the Zoning Administrator and Chief Building Inspector is intended to provide the applicant and Historic Preservation Commission with information related to compliance with local land use ordinance and building code. It is does not represent a formal approval of a permit by any party and does not bind the decisions of Commission.*

**Application Address and Description:** **207 Pollock St.** – to include removal of an existing wood exterior stairway and existing second floor exterior doorway, replacing wood siding on second story rear side wall to cover the doorway opening, and extension of the wood fencing along the side of the driveway; all this in the Secondary and Tertiary AVCs.

**Zoning Administrator** please review the application and fill out all applicable items

Zoning District:

Required Setbacks (primary structure): Front  Side  Rear

Accessory Setbacks: From Nearest Structure  Side  Rear

Maximum Lot Coverage for proposed use:

Maximum Height of Structure:

Required Site Improvements: Landscaping  Buffer  Parking

Other requirements:

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I have reviewed the application for proposed alterations to this property and have determined that it Meets\_\_\_\_ Does Not Meet\_\_\_\_ the requirements of the Land Use Ordinance.

Comments:

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\_\_\_\_\_  
Zoning Administrator

**Chief Building Inspector** please review the application and include any comments below

The proposed project Will\_\_\_\_ Will Not \_\_\_\_ require a building permit(s).

Comments:

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\_\_\_\_\_  
Chief Building Inspector

## **Certificate of Appropriateness Findings and Recommendations**

HPC Regular Meeting – April 20, 2022

**Applicant:** Mike & Alana Huber  
**Applicant Address:** 207 Pollock St., New Bern, NC  
**Project Address:** 207 Pollock St., New Bern, NC

**Historic Property Name:** James M. Howard House

**Status:**        **Contributing:** X                    **Non-contributing:**                    **Vacant:**

**NR Inventory Description (2003):** built ca. 1890; Two stories; L-plan; five bays wide; octagonal tower with pyramidal roof; wraparound porch; bracketed cornices; gabled roofs contain patterned shingles; interior chimneys.

**Sandbeck Description (1988):** TBD

**207 Pollock St.** - to include removal of an existing wood exterior stairway and existing second floor exterior doorway, replacing wood siding on second story rear side wall to cover the doorway opening, and extension of the wood fencing from along the side of the driveway; all this in the Secondary and Tertiary AVCs.

**Staff submits the following Historic District Guidelines are appropriate to this application:**

### **Fences and Garden Walls**

- 2.5.1 Fences and walls based on historic designs are encouraged. Incorporate materials and configurations that relate to the architecture of the principal structure on the site. Use fences and walls to demarcate property lines and screen private areas.
- 2.5.3 In Secondary and Tertiary AVCs, erect tall fences and walls with a vertical dimension of six feet or less. Tall fences that abut a structure shall terminate at an architectural feature. Transition low fencing to taller fencing at an architectural feature.

### **Modifications**

- 3.2.1 Select materials that are consistent with the structure. Limit the palette to those materials that were available at the time a building was originally constructed.
- 3.2.4 Rebuild missing or insensitively altered design components based on documented evidence of the original configuration.

### **Walls, Trim and Ornamentation**

- 4.2.1 Adhere to Guidelines for retention of historic fabric when altering wall components.

### **Windows, Doors and Openings**

- 4.3.1 Adhere to Guidelines for retention of historic fabric when altering window, door and opening components.

### **Wood**

- 5.2.1 Adhere to Preservation Guidelines for retention of historic fabric when altering wood materials.
- 5.2.2 Construct wood assemblies similar to that found in adjoining work. In general, new material should be the same dimension and shape of that existing.

### **Paint**

- 5.4.2 Select paint and sealant coatings that are harmonious with adjoining work. In general, new material shall be a compatible formulation with the substrate of application.

## **Certificate of Appropriateness Findings and Recommendations**

HPC Regular Meeting – April 20, 2022

- 5.4.3 Apply primer coatings to front and back of wood surfaces prior to cutting and fitting. Prime end cuts before installation. Apply finish paint coatings to exposed primed surfaces.
- 5.4.4 Consider using opaque stain in lieu of paint on flooring, fencing, and similar wood surfaces exposed to foot traffic or weather.

**Statements of Reason**, based on the information contained in the application, in Staff's judgment are:

- 1. The project is located in the *Tight Weave* development pattern, in all AVCs;
- 2. The proposal is a modification and fencing project;
- 3. The proposed design, components, and materials meet the requirements of the Guidelines;
- 4. The Zoning Administrator and the Chief Building Official have reviewed this project and commented accordingly;
- 5. The application is not incongruous with the Guidelines.

### **MOTION**

**Staff recommends the Commission approve this application to include removal of an existing wood exterior stairway and existing second floor exterior doorway, replacing wood siding on second story rear side wall to cover the doorway opening, and extension of the wood fencing from along the side of the driveway; all this in the Secondary and Tertiary AVCs.**



COAMJR-002449-2022

## FEE SCHEDULE (office use only)

- ☐ \$22 Standard Application (minor)  
☒ \$107 Standard Application (major)

fee paid



HPC Administrator  
 HPCadmin@newbernnc.gov

Work: (252) 639-7583

Fax: (252) 636-2146



**Application for a Certificate of Appropriateness**  
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- For the Historic District Guidelines: Historic Preservation, HPC Guidelines, Historic District Guidelines

Type of Project: ☒ Exterior Alteration ☐ Addition ☐ Infill ☐ Site Work ☐ Other

<b>I. Applicant/Owner Information:</b>			
Property Address (Include year built, if known): 216 Johnson St 1922			
Property Owner Name(s): Tom Decker	Owner Mailing Address: 216 Johnson St	Phone #s: 703-899-5389	Email: T.Decker1943@gmail.com
Applicant Name (if different): Curtis Krumel	Applicant Mailing Address: 307 E. Kingston Ave Charlotte, NC 28203	Phone #s: 704 965-0394	Email: Lkrumel@hotmail.com

<b>II. Project Information:</b> (See "CoA Instructions" & "Historic Guidelines" for help in completing this section)	
1. Provide a detailed description of work to be conducted on site: (Attach additional sheets if needed) Iron fencing addition to existing brick wall. See PDF Doc	
Continued on additional sheet or attached brochure <input checked="" type="checkbox"/>	
2. Reference the specific Guideline(s) in the "Historic District Guidelines" which you believe apply to this project: (only need the guideline numbers): See application PDF Doc.	
Continued on additional sheet or attached brochure <input checked="" type="checkbox"/>	
3. Provide a detailed description of materials to be used (copies of brochures, texture, etc.): Reference the specific Guidelines in the Historic District Guidelines for the proposed material(s). See application PDF Doc	
Continued on additional sheet or attached brochure <input checked="" type="checkbox"/>	

**III. Additional Information Provided: (See "CoA Instructions" for more detail)**

Plan(s) of Work, with: (please check all of those which are included with this application)

- ☒ Site plan (with annotated notes showing existing site and requested work)
- ☒ Photographs of the building and location where the proposed work will be completed
- ☒ Annotated notes or photos of materials to be used (samples may also be submitted)
- ☐ Floor plan with dimensions (for additions)
- ☐ Elevations with dimensions (for exterior additions or renovations)
- ☒ Supporting materials (brochures, photos of similar New Bern projects, estimates, etc.)
- ☐ Letter from owner acknowledging this application, in the case of submission by an applicant or lessee.

Please see Development Services Staff (Staff) prior to submittal for initial review of the application and advisement if additional information will be required before consideration at a Historic Preservation Commission hearing.

**Please read the following statements. Your signature below acknowledges that you have read the statements and attest to their accuracy:**

Check one:

☐

I am the owner of the Property, or

☒

I am acting on behalf of the owner of the property and have attached the notarized authorization form indicating the owner(s) consent to represent them for this application.

- ◆ I understand that submittal of this application does not constitute approval of proposed alterations.
- ◆ I understand that the approval of this application by City Staff or the New Bern Historic Preservation Commission (HPC) does not constitute approval of other federal, state, or local permit applications.
- ◆ I understand that I (or my representative) will need to attend the Hearing of this Application by HPC. No Applications shall be heard without a representative present and all applicable fees paid in full.
- ◆ I have reviewed the City of New Bern's "Historic District Guidelines" in preparing this Application.
- ◆ I understand that the property referenced by this Certificate of Appropriateness (CoA) application is in one of New Bern's local historic districts and that it represents a part of New Bern's historic fabric. If a CoA is approved by HPC or Staff, I agree to implement all changes as specified in the approved CoA, including any conditions. I understand that I am responsible for contacting Staff if I have any questions regarding the allowed changes specified in the approved CoA.
- ◆ I understand that ANY unapproved alterations are enforceable as a violation of City Ordinance and must be brought into compliance by removal or through the CoA process.
- ◆ I affirm that all the information included in this application is true to the best of my knowledge.
- ◆ I understand that incomplete applications cannot be considered.



Signature of Applicant/Owner

3/30/2022  
Date

APPLICATION SHOULD BE SUBMITTED TO THE DEVELOPMENT SERVICES MAIN OFFICE AT 303 FIRST ST.. FOR A MAJOR PROJECT, SUBMITTAL AND FEE PAYMENT MUST BE NO LESS THAN 2 WEEKS PRIOR TO THE UPCOMING HPC REGULAR MEETING. FOR FURTHER INFORMATION, CONTACT THE HISTORIC PRESERVATION COMMISSION ADMINISTRATOR AT (252) 639-7583.



Petitioners requesting City of New Bern Historic Preservation Commission action on property not owned by them must have this form completed by the owner of the property.

### CERTIFICATE OF APPROPRIATENESS OWNERS AUTHORIZATION

Dear Sir or Madame:

I am the <sup>future</sup> owner of the property located at:

216 Johnson Street, New Bern 28560  
(address, city, zip code)

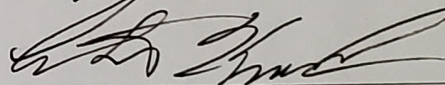
I hereby authorize Dottie Corning to appear with my consent, before the City of New Bern Historic Preservation Commissioner in order to request a Certificate of Appropriateness for the property referenced above.

I authorize you to present this matter on my/our behalf as the <sup>future</sup> owner(s) of the property.

If there are any questions, please contact me at the following address and phone number:

Curtis Krumel, 307 East Kingston Ave, Charlotte, NC Phone 704-965-0394

Current Owners' consent supplied to city on 3/30/2022 - CWK



Owner's Signature

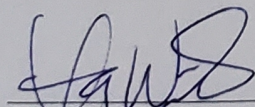
Curtis Krumel

Print Name

4/1/2022

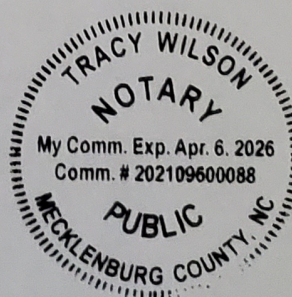
Date

Sworn to and subscribed before me this 1 day of April, 2022



Notary Public: Tracy Wilson

My commission expires: April 6, 2026





# Application for CoA for Fencing at 216 Johnson St.

Major Work Request

Curtis and Tracey Krumel

[CKrumel@hotmail.com](mailto:CKrumel@hotmail.com)

704-965-0394

4-18-2022

## Summary

This is a part of the application for a Certificate of Appropriateness for a project to add iron fencing atop the existing brick retaining wall at 216 Johnson Street in New Bern's Downtown Historic District. Of critical importance to the applicants is their ability to allow their dogs to use the yard and not to be able to escape. The current wall is not high enough to ensure the dogs' safety.

The applicants believe this proposed project meets all applicable HPC and national safety guidelines. This includes 3 inches or less between slats. All fencing is to be fabricated locally from top quality materials and workmanship.

The applicants, Curtis and Tracey Krumel, have lived in a North Carolina historic district with nearly identical guidelines and controls as the New Bern Historic Districts for over 24 years. They are big proponents of the system and the protections to the historic character of the neighborhood.

## Conformance to Guidelines

This proposal conforms to the Guidelines for Metals, and Fences and Garden Walls:

5.3.3 Use full weld iron and steel fabrication techniques. Welds shall be properly dressed, or ground smooth. – MEETS FULLY

2.5.1 Fences and walls based on historic designs are encouraged. Incorporate materials and configurations that relate to the architecture of the principal structure on the site. Use fences and walls to demarcate property lines and screen private areas. – MEETS FULLY

2.5.2 In a Primary AVC, erect low fences and walls with a vertical dimension of four feet or less. Space rectangular wood planks about one inch apart. Space square wood and iron pickets about three inches apart. Orient pickets vertically. – MEETS FULLY

2.5.3 In Secondary and Tertiary AVCs, erect tall fences and walls with a vertical dimension of six feet or less. Tall fences that abut a structure shall terminate at an architectural feature. Transition low fencing to taller fencing at an architectural feature. – MEETS FULLY

2.5.4 It is not appropriate to use utilitarian fences in a Primary AVC. In addition, it is not appropriate to use chain link fencing in the historic districts. – MEETS FULLY

2.5.5 Consider hedgerows as alternatives to fences and walls. – Not Applicable

2.5.6 Screen existing chain link fences with vegetation such as ivy, climbing vines or evergreen shrubbery. – Not Applicable

## Description of Proposal

The pictures and information below illustrate the proposed fencing addition. The applicants seek to place a 48" tall gate at the end of their brick walkway and install iron-style fencing atop the existing brick walls that match the gate in style and height. Pickets are no more than 3" apart to meet all safety standards. No new fencing will be outside of existing walls, so no encroachment to neighboring properties will be created.

The style of the ironwork in the pictures below matches the style of fencing to be installed. Fencing pictured is not presented to be exactly to scale but is very close. The intention is to give as accurate a visual representation as possible for HPC consideration.





*Figure 1 Unedited front elevation of property c.2022*



*Figure 2 Front elevation of property with proposed iron gate and fencing added with graphic software.*

The two pictures above show the property from the front (Johnson St) as it is currently and how it would look with the proposed fence. Fencing was selected be **minimally intrusive to views of the house** and to **incorporate the historic style and styles of fencing on properties already in the district** (example below). It needs to fit in!



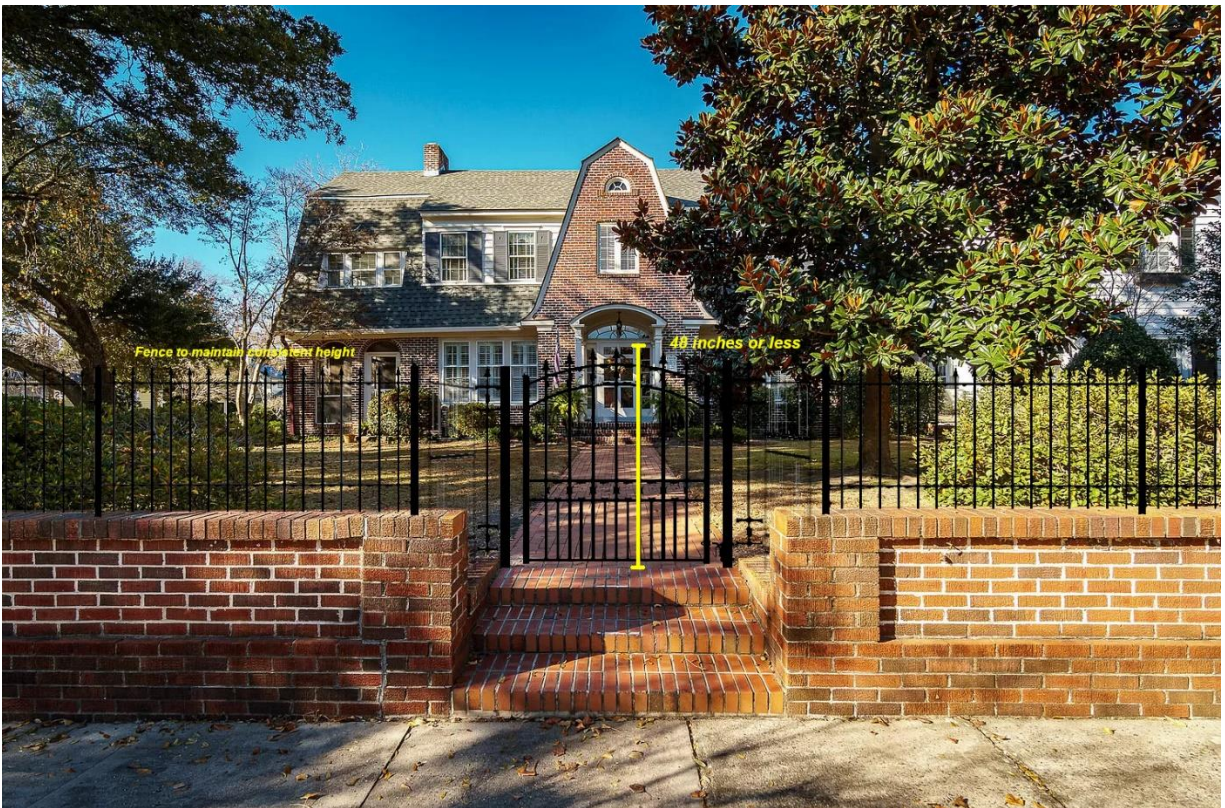


*Figure 3 Nearby example of a similar gate and fence. 624 E Front Street*



*Figure 4 Example of work by American Fabricators of New Bern showing appropriate welds and gate hardware.*





Figures 5 and 7 Front aerial view of property with proposed iron gate and fencing

As shown above, the gate is set back 12-18" from the lip of the top step. Height of the gate is to be 46-48" tall and the width of the brick walkway (40-48"). The yard is very flat. The height of the brick retaining wall is 15-22 inches tall on the yard side with the exception being near the driveway where it drops 10". The height of the fence is to maintain the height at the gate and will step down 10" at a point 8-10 feet from the driveway to match the drop of the yard to



maintain the height conforming to the HPC guidelines. This step-down and fence heights are noted in the photos above and below.



*Figure 6 Side view of property (Craven St) with fencing added*

American Fabricators of New Bern will fabricate and install the fence. They were chosen because of their quality of materials and workmanship as well as their familiarity with the neighborhood and having worked with the HPC Guidelines many times. All connections will be welded, properly dressed, and grown smooth per guidelines. All metalwork is to be powder-coated black for appropriate look and durability.



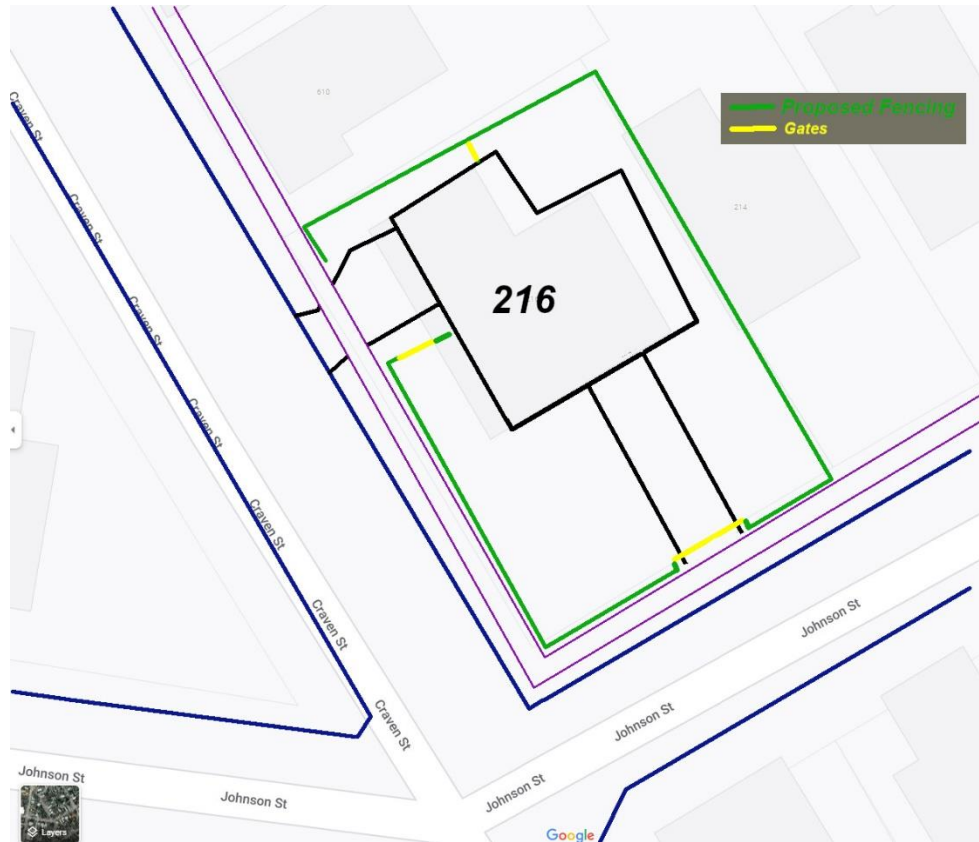


Figure 7 Overhead plot showing house, major features, and the proposed fencing.

Total length of fencing is to be 436 feet and will include 2 single gates, front and back, and one double gate beside the driveway. The front gate on Johnson Street is to be five feet wide. The gate on the north side of the property is to be 32". The double gate beside the driveway is to be a total of 8 feet wide and 48 inches from the ground at the highest point.

## Conclusion

The applicants appreciate the time and effort of the commission. They look forward to contributing to the historic character of the area. Thank you.







## Zoning and Inspections Review of

### Application for Certificate of Appropriateness for Alterations in Historic District

*Initial review of applications for certificates of appropriateness by the Zoning Administrator and Chief Building Inspector is intended to provide the applicant and Historic Preservation Commission with information related to compliance with local land use ordinance and building code. It is does not represent a formal approval of a permit by any party and does not bind the decisions of Commission.*

**Application Address and Description:**

**216 Johnson St.** – to include adding to the top of the existing retaining wall and garden wall a decorative metal fence and gates in all AVCs.

**Zoning Administrator** please review the application and fill out all applicable items

Zoning District:

Required Setbacks (primary structure): Front  Side  Rear

Accessory Setbacks: From Nearest Structure  Side  Rear

Maximum Lot Coverage for proposed use:

Maximum Height of Structure:

Required Site Improvements: Landscaping  Buffer  Parking

Other requirements:

---

---

I have reviewed the application for proposed alterations to this property and have determined that it Meets\_\_\_\_ Does Not Meet\_\_\_\_ the requirements of the Land Use Ordinance.

Comments:

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\_\_\_\_\_  
Zoning Administrator

**Chief Building Inspector** please review the application and include any comments below

The proposed project Will\_\_\_\_ Will Not \_\_\_\_ require a building permit(s).

Comments:

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\_\_\_\_\_  
Chief Building Inspector

## Certificate of Appropriateness Findings and Recommendations

HPC Regular Meeting – April 20, 2022

**Applicant:** Curtis Krumel  
**Applicant Address:** 307 E. Kingston Ave., Charlotte, NC, 28203  
**Project Address:** 216 Johnson St., New Bern, NC

**Historic Property Name:** (Second) Dr. William L. Hand, Jr. House

**Status:**            **Contributing:** X            **Non-contributing:**            **Vacant:**

**NR Inventory Description** (2003): built 1926; Two stories; brick; four bays wide with recessed porch in left bay; tall Flemish-gable entrance bay; gambrel roof; inset and shed dormers.

**Sandbeck Description** (1988): nothing relevant to the garden wall.

**216 Johnson St.** - to include adding to the top of the existing retaining wall and garden wall a decorative metal fence and gates in all AVCs.

**Staff submits the following Historic District Guidelines are appropriate to this application:**

### **Fences and Garden Walls**

- 2.5.1 Fences and walls based on historic designs are encouraged. Incorporate materials and configurations that relate to the architecture of the principal structure on the site. Use fences and walls to demarcate property lines and screen private areas.
- 2.5.2 In a Primary AVC, erect low fences and walls with a vertical dimension of four feet or less. Space rectangular wood planks about one inch apart. Space square wood and iron pickets about three inches apart. Orient pickets vertically.
- 2.5.3 In Secondary and Tertiary AVCs, erect tall fences and walls with a vertical dimension of six feet or less. Tall fences that abut a structure shall terminate at an architectural feature. Transition low fencing to taller fencing at an architectural feature.

### **Masonry**

- 5.1.1 Adhere to Guidelines for retention of historic fabric when altering masonry materials.

### **Metal**

- 5.3.2 Use metal fabrications found in adjoining work. In general, new material should be the same dimension, shape, and alloy of that existing.
- 5.3.3 Use full weld iron and steel fabrication techniques. Welds shall be properly dressed, or ground smooth.
- 5.3.4 Provide aluminum fabrications with welded joints or blind, mechanical connections having concealed fasteners.

**Statements of Reason**, based on the information contained in the application, in Staff's judgment are:

1. The project is located in the *Tight Weave* development pattern;
2. The proposal is a garden wall modification and fencing project;
3. The proposed design, components, and materials meet the requirements of the Guidelines;
4. The Zoning Administrator and the Chief Building Official have reviewed this project and commented accordingly;
5. The application is not incongruous with the Guidelines.

### **MOTION**

**Staff recommends the Commission approve this application to include adding to the top of the existing retaining wall and garden wall a decorative metal fence and gates in all AVCs.**

**FEE SCHEDULE** (office use only)

- [ ] \$22 Standard Application (minor)  
 [ ] \$107 Standard Application (major)



HPC Administrator  
[HPCAdmin@newbernnc.gov](mailto:HPCAdmin@newbernnc.gov)

Work: (252) 639-7583

Fax: (252) 636-2146

## Application for a Certificate of Appropriateness

(For Alterations to Properties in Locally Designated Historic Districts)

For assistance, see "CoA Instructions," as well as "Historic District Guidelines," available online at:

<https://www.newbernnc.gov> Go to: Departments, Development Services, then:

- For the CoA Instructions: Document Center, Alphabetical Listing, Certificate of Appropriateness – Instructions for COA application
- For the Historic District Guidelines: Historic Preservation, HPC Guidelines, Historic District Guidelines

Type of Project: ☒ Exterior Alteration ☐ Addition ☐ Infill ☐ Site Work ☐ Other

### I. Applicant/Owner Information:

Property Address (Include year built, if known):  
 823 Pollock Street

Property Owner Name(s): Jon and Tonyia Behrendt	Owner Mailing Address: 291 Tennessee Circle Mooresville NC 28117	Phone #s: 970-412-5182	Email: tfbehrendt@hotmail.com
Applicant Name (if different):	Applicant Mailing Address:	Phone #s:	Email:

### II. Project Information: (See "CoA Instructions" & "Historic Guidelines" for help in completing this section)

1. Provide a detailed description of work to be conducted on site: (Attach additional sheets if needed)  
 Replace a swing driveway gate with a slide gate. The installed swing gate is positioned in the mid section of the properties driveway and does not allow for a vehicle to be properly parked within the designed space of the drive way. Relocating the gate to the entrance of the drive way will allow for proper parking of a vehicle and will be more inline with the perimeter wall for greater safety and access without impacting surrounding neighbors or public infrastructure.

Continued on additional sheet or attached brochure ☐

2. Reference the specific Guideline(s) in the "Historic District Guidelines" which you believe apply to this project: (only need the guideline numbers):

2. 5. 1 Fences and walls based on historic designs are encouraged. Incorporate materials and configurations that relate to the architecture of the principal structure on the site. Use for

Continued on additional sheet or attached brochure ☐

3. Provide a detailed description of materials to be used (copies of brochures, texture, etc.):  
 Reference the specific Guidelines in the Historic District Guidelines for the proposed material(s).

Gate and posts have are black powder-coat metal with an environmentally friendly rust preventing zinc under-coat. The face of the gate is all wood with all sustainable hardwood vertically attached to match existing on-site fencing.

Continued on additional sheet or attached brochure ☐

**III. Additional Information Provided: (See "CoA Instructions" for more detail)**

Plan(s) of Work, with: (please check all of those which are included with this application)

- ☐ Site plan (with annotated notes showing existing site and requested work)
- ☒ Photographs of the building and location where the proposed work will be completed
- ☐ Annotated notes or photos of materials to be used (samples may also be submitted)
- ☐ Floor plan with dimensions (for additions)
- ☐ Elevations with dimensions (for exterior additions or renovations)
- ☐ Supporting materials (brochures, photos of similar New Bern projects, estimates, etc.)
- ☐ Letter from owner acknowledging this application, in the case of submission by an applicant or lessee.

Please see Development Services Staff (Staff) prior to submittal for initial review of the application and advisement if additional information will be required before consideration at a Historic Preservation Commission hearing.

**Please read the following statements. Your signature below acknowledges that you have read the statements and attest to their accuracy:**

Check one:



I am the owner of the Property, or



I am acting on behalf of the owner of the property and have attached the notarized authorization form indicating the owner(s) consent to represent them for this application.

- ◆ I understand that submittal of this application does not constitute approval of proposed alterations.
- ◆ I understand that the approval of this application by City Staff or the New Bern Historic Preservation Commission (HPC) does not constitute approval of other federal, state, or local permit applications.
- ◆ I understand that I (or my representative) will need to attend the Hearing of this Application by HPC. No Applications shall be heard without a representative present and all applicable fees paid in full.
- ◆ I have reviewed the City of New Bern's "Historic District Guidelines" in preparing this Application.
- ◆ I understand that the property referenced by this Certificate of Appropriateness (CoA) application is in one of New Bern's local historic districts and that it represents a part of New Bern's historic fabric. If a CoA is approved by HPC or Staff, I agree to implement all changes as specified in the approved CoA, including any conditions. I understand that I am responsible for contacting Staff if I have any questions regarding the allowed changes specified in the approved CoA.
- ◆ I understand that ANY unapproved alterations are enforceable as a violation of City Ordinance and must be brought into compliance by removal or through the CoA process.
- ◆ I affirm that all the information included in this application is true to the best of my knowledge.
- ◆ I understand that incomplete applications cannot be considered.



Signature of Applicant/Owner

4/4/2022

Date

APPLICATION SHOULD BE SUBMITTED TO THE DEVELOPMENT SERVICES MAIN OFFICE AT 303 FIRST ST.. FOR A MAJOR PROJECT, SUBMITTAL AND FEE PAYMENT MUST BE NO LESS THAN 2 WEEKS PRIOR TO THE UPCOMING HPC REGULAR MEETING. FOR FURTHER INFORMATION, CONTACT THE HISTORIC PRESERVATION COMMISSION ADMINISTRATOR AT (252) 639-7583.



FRONT OF GATE



BACK OF GATE















## Certificate of Appropriateness Findings and Recommendations

HPC Regular Meeting – April 20, 2022

**Applicant:** Jon & Tonyia Behrendt  
**Applicant Address:** 291 Tennessee, NC, 28117  
**Project Address:** 823 Pollock St., New Bern, NC

**Historic Property Name:** Alston-Charlotte House

**Status:**        **Contributing:** X        **Non-contributing:**        **Vacant:**

**NR Inventory Description (2003):** built mid-18<sup>th</sup> century; Georgian style; one-and-a-half stories; three bays wide, two bays deep; raised entrance stoop; exterior end chimney; steep gambrel roof; three shed dormers.

**Sandbeck Description (1988):** nothing relevant to the wall and gate opening.

**823 Pollock St.** - to include installation of a new, 6-foot-high, wood gate for the driveway in the Primary AVC.

**Staff submits the following Historic District Guidelines are appropriate to this application:**

### **Fences and Garden Walls**

- 2.5.1 Fences and walls based on historic designs are encouraged. Incorporate materials and configurations that relate to the architecture of the principal structure on the site. Use fences and walls to demarcate property lines and screen private areas.
- 2.5.2 In a Primary AVC, erect low fences and walls with a vertical dimension of four feet or less. Space rectangular wood planks about one inch apart. Space square wood and iron pickets about three inches apart. Orient pickets vertically.

### **Signs**

- 2.8.2 Drive fasteners for signs in mortar joints to prevent damage to the masonry units.

### **Masonry**

- 5.1.1 Adhere to Guidelines for retention of historic fabric when altering masonry materials.

### **Metal**

- 5.3.3 Use full weld iron and steel fabrication techniques. Welds shall be properly dressed, or ground smooth.
- 5.3.4 Provide aluminum fabrications with welded joints or blind, mechanical connections having concealed fasteners.

### **Paint**

- 5.4.2 Select paint and sealant coatings that are harmonious with adjoining work. In general, new material shall be a compatible formulation with the substrate of application.
- 5.4.3 Apply primer coatings to front and back of wood surfaces prior to cutting and fitting. Prime end cuts before installation. Apply finish paint coatings to exposed primed surfaces.
- 5.4.4 Consider using opaque stain in lieu of paint on flooring, fencing, and similar wood surfaces exposed to foot traffic or weather.

**Statements of Reason**, based on the information contained in the application, in Staff's judgment are:

1. The project is located in the *Tight Weave* development pattern;
2. The proposal is a garden wall modification and gate project;

## **Certificate of Appropriateness Findings and Recommendations**

HPC Regular Meeting – April 20, 2022

3. The proposed design, components, and materials meet the requirements of the Guidelines;
4. The Zoning Administrator and the Chief Building Official have reviewed this project and commented accordingly;
5. The application is not incongruous with the Guidelines.

### **MOTION**

**Staff recommends the Commission approve this application to include installation of a new, 6-foot-high, wood gate for the driveway in the Primary AVC with the following condition:**

- **Any fastening for the gate structure to the existing brick and stone wall shall only be embedded into the mortar joints, not into the bricks or stones.**

**FEE SCHEDULE** (office use only)

- [ ] \$22 Standard Application (minor)  
 [ ] \$107 Standard Application (major)



HPC Administrator  
[HPCadmin@newbernnc.gov](mailto:HPCadmin@newbernnc.gov)  
 Work: (252) 639-7583  
 Fax: (252) 636-2146

**Application for a Certificate of Appropriateness**  
 (For Alterations to Properties in Locally Designated Historic Districts)

For assistance, see "CoA Instructions," as well as "Historic District Guidelines," available online at:

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- For the CoA Instructions: Document Center, Alphabetical Listing, Certificate of Appropriateness – Instructions for COA application
- For the Historic District Guidelines: Historic Preservation, HPC Guidelines, Historic District Guidelines

Type of Project: ☒ Exterior Alteration ☐ Addition ☐ Infill ☐ Site Work ☐ Other

**I. Applicant/Owner Information:**

Property Address (Include year built, if known):

411 Broad street

Property Owner Name(s):

George Anna Smith

Owner Mailing Address:

New Bern 28562  
 4402 Country Club Rd

Phone #s:

252  
 671-6631

Email:

georgeanna24@gmail.com

Applicant Name (if different):

Chris Hoveland

Applicant Mailing Address:

335 Middlest New  
 28560 Bern

Phone #s:

252  
 671 6638

Email:

CJ Hoveland@gmail.com

**II. Project Information:** (See "CoA Instructions" & "Historic Guidelines" for help in completing this section)

1. Provide a detailed description of work to be conducted on site: (Attach additional sheets if needed)

Brick up window - Brick up door - open window and make into the new door - pour concrete patio - enclose patio with Fence Black.

Continued on additional sheet or attached brochure ☐

2. Reference the specific Guideline(s) in the "Historic District Guidelines" which you believe apply to this project: (only need the guideline numbers):

Continued on additional sheet or attached brochure ☐

3. Provide a detailed description of materials to be used (copies of brochures, texture, etc.):

Reference the specific Guidelines in the Historic District Guidelines for the proposed material(s).

3500 Cement light broom finish.

Continued on additional sheet or attached brochure ☐

**III. Additional Information Provided: (See "CoA Instructions" for more detail)**

Plan(s) of Work, with: (please check all of those which are included with this application)

- ☒ Site plan (with annotated notes showing existing site and requested work)
- ☐ Photographs of the building and location where the proposed work will be completed
- ☐ Annotated notes or photos of materials to be used (samples may also be submitted)
- ☐ Floor plan with dimensions (for additions)
- ☐ Elevations with dimensions (for exterior additions or renovations)
- ☐ Supporting materials (brochures, photos of similar New Bern projects, estimates, etc.)
- ☐ Letter from owner acknowledging this application, in the case of submission by an applicant or lessee.

Please see Development Services Staff (Staff) prior to submittal for initial review of the application and advisement if additional information will be required before consideration at a Historic Preservation Commission hearing.

**Please read the following statements. Your signature below acknowledges that you have read the statements and attest to their accuracy:**

Check one:


☐

I am the owner of the Property, or

☒

I am acting on behalf of the owner of the property and have attached the notarized authorization form indicating the owner(s) consent to represent them for this application.

- ◆ I understand that submittal of this application does not constitute approval of proposed alterations.
- ◆ I understand that the approval of this application by City Staff or the New Bern Historic Preservation Commission (HPC) does not constitute approval of other federal, state, or local permit applications.
- ◆ I understand that I (or my representative) will need to attend the Hearing of this Application by HPC. No Applications shall be heard without a representative present and all applicable fees paid in full.
- ◆ I have reviewed the City of New Bern's "Historic District Guidelines" in preparing this Application.
- ◆ I understand that the property referenced by this Certificate of Appropriateness (CoA) application is in one of New Bern's local historic districts and that it represents a part of New Bern's historic fabric. If a CoA is approved by HPC or Staff, I agree to implement all changes as specified in the approved CoA, including any conditions. I understand that I am responsible for contacting Staff if I have any questions regarding the allowed changes specified in the approved CoA.
- ◆ I understand that ANY unapproved alterations are enforceable as a violation of City Ordinance and must be brought into compliance by removal or through the CoA process.
- ◆ I affirm that all the information included in this application is true to the best of my knowledge.
- ◆ I understand that incomplete applications cannot be considered.



Signature of Applicant/Owner



Date

APPLICATION SHOULD BE SUBMITTED TO THE DEVELOPMENT SERVICES MAIN OFFICE AT 303 FIRST ST.. FOR A MAJOR PROJECT, SUBMITTAL AND FEE PAYMENT MUST BE NO LESS THAN 2 WEEKS PRIOR TO THE UPCOMING HPC REGULAR MEETING. FOR FURTHER INFORMATION, CONTACT THE HISTORIC PRESERVATION COMMISSION ADMINISTRATOR AT (252) 639-7583.

Petitioners requesting City of New Bern Historic Preservation Commission action on property not owned by them must have this form completed by the owner of the property.

**CERTIFICATE OF APPROPRIATENESS OWNERS AUTHORIZATION**

Dear Sir or Madame:

I am the owner of the property located at:

411 BROAD ST NEW BERN NC 28560

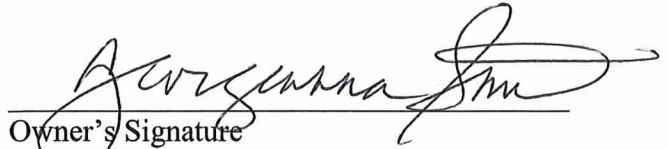
(address, city, zip code)

I hereby authorize CHRIS HOVELAND to appear with my consent, before the City of New Bern Historic Preservation Commissioner in order to request a Certificate of Appropriateness for the property referenced above.

I authorize you to present this matter on my/our behalf as the owner(s) of the property.

If there are any questions, please contact me at the following address and phone number:

4402 Country Club Rd Phone 252 671 6631  
TRENT WOODS NC



Owner's Signature

Georgeanna Smith

Print Name

04/13/2022

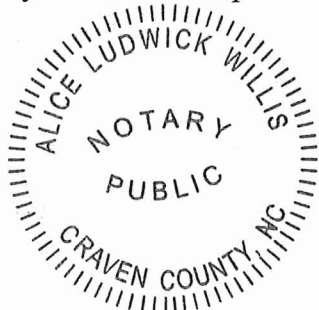
Date

Sworn to and subscribed before me this 13<sup>th</sup> day of April, 2022

Alice Ludwick Willis  
Notary Public:

My commission expires:

My Commission Expires 2-4-2023

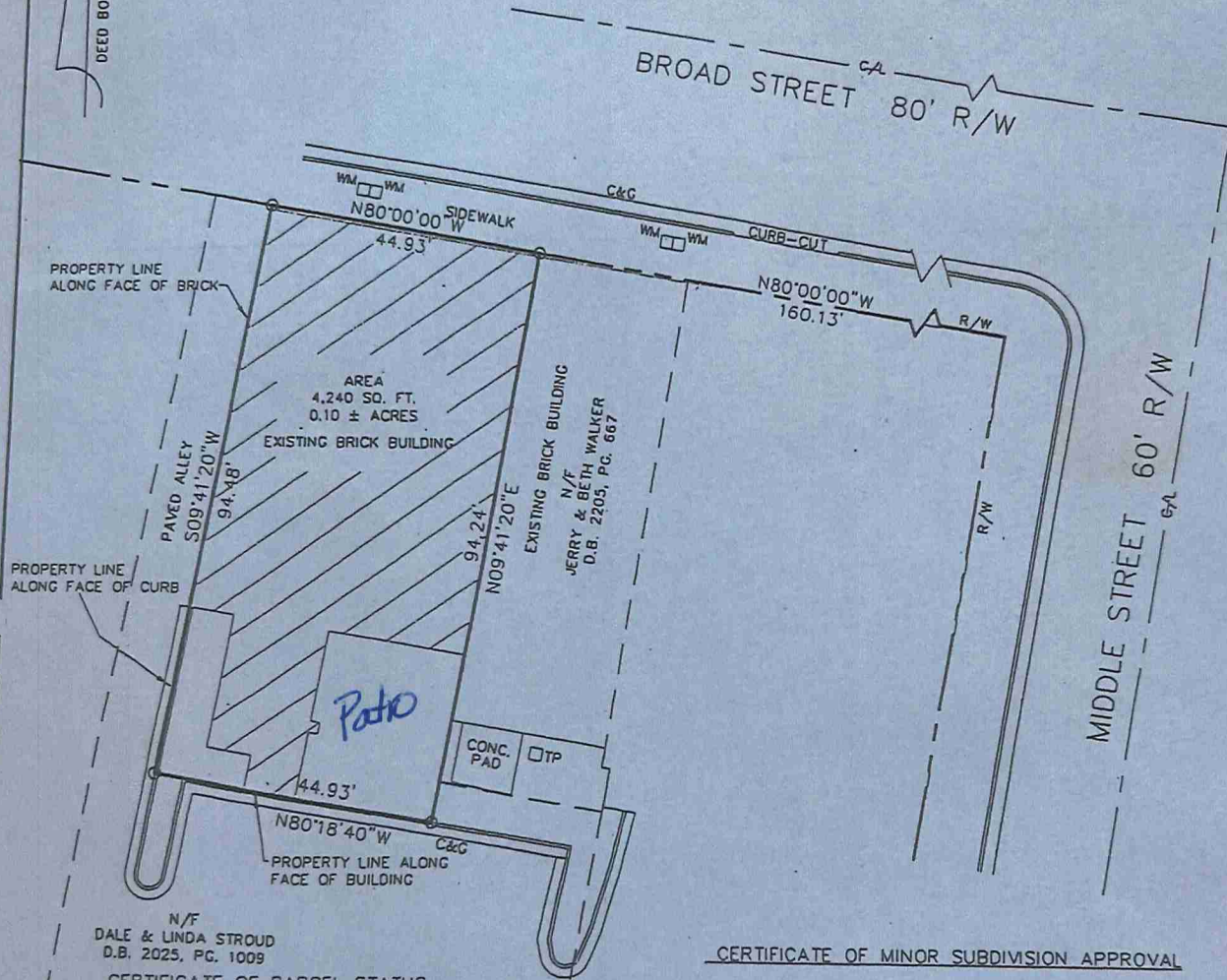




411 Broad St

DEED BOOK 2205 PAGE

N/F = NOW OR FORMERLY



N/F  
DALE & LINDA STROUD  
D.B. 2025, P.C. 1009

CERTIFICATE OF PARCEL STATUS

THIS SURVEY CREATES A SUBDIVISION OF LAND WITHIN THE AREA OF A COUNTY OR MUNICIPALITY THAT HAS AN ORDINANCE THAT REGULATES PARCELS OF LAND. WITNESS MY ORIGINAL SIGNATURE, REGISTRATION NUMBER AND SEAL.

THIS 28 DAY OF JUNE 2024  
NORTH CAROLINA  
PROFESSIONAL LAND SURVEYOR  
SEAL  
L-1573  
ROBERT M. CHILES

CERTIFICATE OF MINOR SUBDIVISION APPROVAL

I, HEREBY CERTIFY THAT THE MINOR SUBDIVISION, SHOWN ON THIS PLAT, DOES NOT INVOLVE THE CREATION OF NEW PUBLIC STREETS OR CHANGE IN EXISTING PUBLIC STREETS, OR RIGHT-OF-WAY DEDICATION, NO ACCESS EASEMENTS, NO UTILITY EXTENSION; AND THE SUBDIVISION SHOWN IS IN ALL RESPECTS IN COMPLIANCE WITH THE CITY CODE, AND THAT THEREFOR THIS PLAT HAS BEEN APPROVED BY THE NEW BERN DIRECTOR OF PLANNING AND INSPECTIONS.

DATE \_\_\_\_\_ DIRECTOR OF PLANNING AND INSPECTIONS

Exempt from City of New Bern  
Subdivision Ord. in compliance  
with Section 15-15(1)(b)  
Donna Deane 7A

GRAPHIC SCALE

LRW2004128 6-25-04



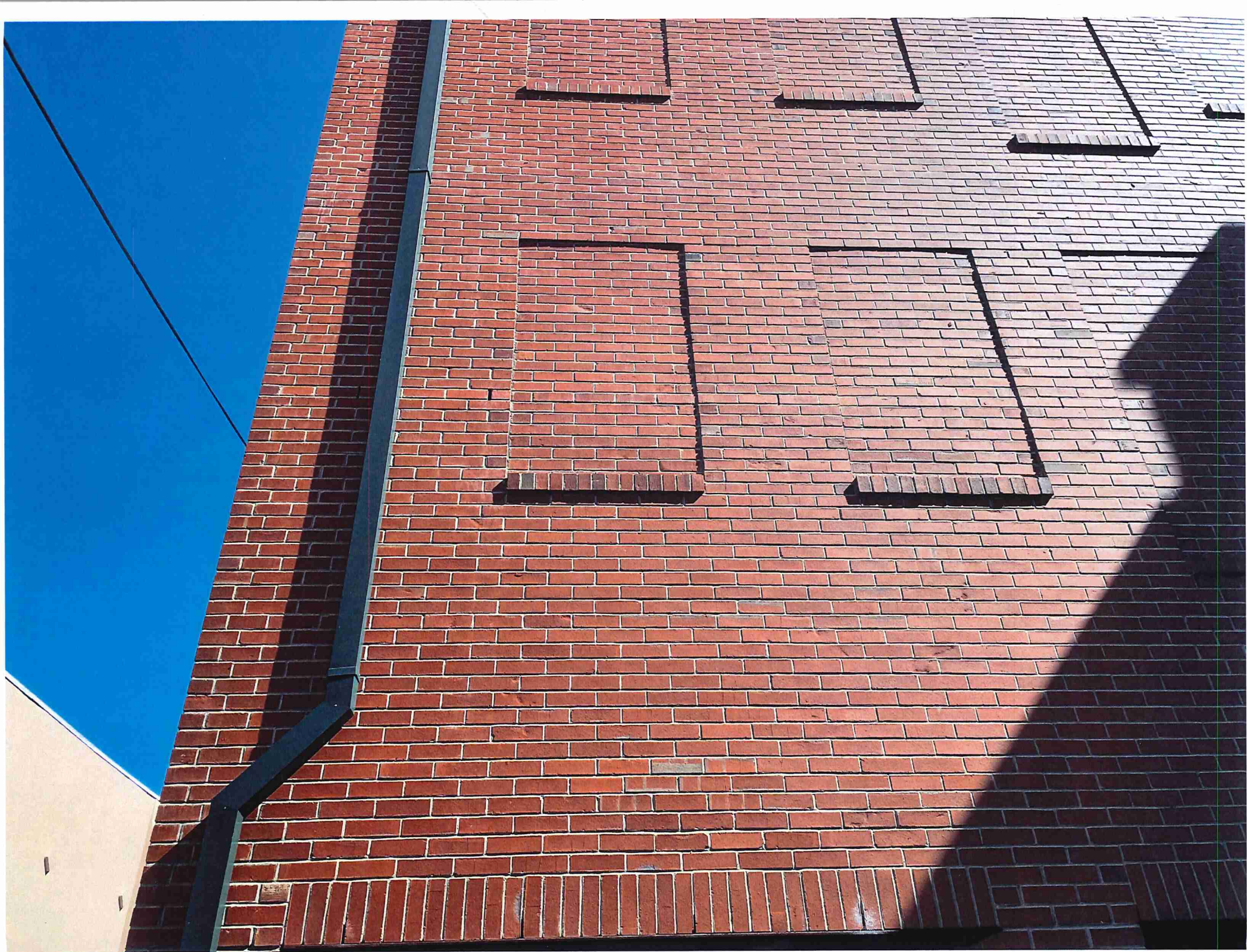
411- Broad Street  
April 13, 2022

When I have the door and window  
Sealed back up with brick. I will have  
them recessed to look like the back  
of the chelsea Restaurant.

Thank you  
Chris Hoveland













COASTAL  
ELEMENTS™  
collection



## FORGE

MEDIUM WALL MOUNT LANTERN

**12070BK**

Inspired by a lighting industry staple barn light, Forge features a practical outdoor lighting solution to withstand the elements. Whether it is enduring harsh sunrays, extreme cold or continuous salt air, Forge is built to last with an industrial chic flair. Forge is available in a Black and Antique Brushed Aluminum finish resistant to rust and corrosion with a 5-year warranty.

**FINISH:** Black

**WIDTH:** 16"

**HEIGHT:** 16.5"

**LIGHT SOURCE:** Socket

**WATTAGE:** 1-100w Med.

# HINKLEY

HINKLEY  
33000 Pin Oak Parkway  
Avon Lake, OH 44012

PHONE: (440) 653-5500  
Toll Free: 1 (800) 446-5539

[hinkley.com](http://hinkley.com)



([https://www.diggerspecialties.com/products/fencing/cable-fencing/two-rail-](https://www.diggerspecialties.com/products/fencing/cable-fencing/two-rail-cable-fence/)

[cable-fence/](https://www.diggerspecialties.com/products/fencing/cable-fencing/two-rail-cable-fence/))

TWO RAIL



[fence/](https://www.diggerspecialties.com/products/fencing/cable-fencing/cable-fence/))

THREE RAIL

1st choice

([https://www.diggerspecialties.com/products/fencing/cable-fencing/cable-](https://www.diggerspecialties.com/products/fencing/cable-fencing/cable-fence/)





([https://www.diggerspecialties.com/products/fencing/cable-fencing/cable-](https://www.diggerspecialties.com/products/fencing/cable-fencing/cable-fence-gates/)

[fence-gates/](https://www.diggerspecialties.com/products/fencing/cable-fencing/cable-fence-gates/))

## GATES

### **OUR COMPANY ([HTTPS://WWW.DIGGERSPECIALTIES.COM/OUR-COMPANY/](https://www.diggerspecialties.com/our-company/))**

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Plant Locations (<https://www.diggerspecialties.com/our-company/plant-locations/>)

Careers (<https://www.diggerspecialties.com/our-company/careers/>)

Events (<https://www.diggerspecialties.com/events>)

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### **WHY DSI ([HTTPS://WWW.DIGGERSPECIALTIES.COM/WHY-DSI/](https://www.diggerspecialties.com/why-dsi/))**

Powder Coating (<https://www.diggerspecialties.com/why-dsi/powder-coating/>)

Warranties (<https://www.diggerspecialties.com/product-owners/warranties/>)

Frequently Asked Questions (<https://www.diggerspecialties.com/why-dsi/faq/>)

Technical Services (<https://www.diggerspecialties.com/why-dsi/technical-services/>)

Care & Cleaning (<https://www.diggerspecialties.com/product-owners/care-maintenance-repair/>)

Pickets:	5/8" Round
Cables:	1/8" Stainless Steel (316 Grade)
Picket and Cable Spacing:	3" Center to Center
Warranty:	Covered by the DSI Aluminum Lifetime Limited Warranty

## WORKS WELL WITH

([HTTPS://WWW.DIGGERSPECIALTIES.COM/PRODUCTS/OUTDOOR-LIGHTING/](https://www.diggerspecialties.com/products/outdoor-lighting/))

MAGENA STAR ORNAMENTAL LIGHTING ([HTTPS://WWW.DIGGERSPECIALTIES.COM/PRODUCTS/OUTDOOR-LIGHTING/](https://www.diggerspecialties.com/products/outdoor-lighting/))

### **OUR COMPANY ([HTTPS://WWW.DIGGERSPECIALTIES.COM/OUR-COMPANY/](https://www.diggerspecialties.com/our-company/))**

About DSI (<https://www.diggerspecialties.com/our-company/about-dsi/>)

Meet Our People (<https://www.diggerspecialties.com/our-company/meet-our-people/>)

Plant Locations (<https://www.diggerspecialties.com/our-company/plant-locations/>)

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### **WHY DSI ([HTTPS://WWW.DIGGERSPECIALTIES.COM/WHY-DSI/](https://www.diggerspecialties.com/why-dsi/))**

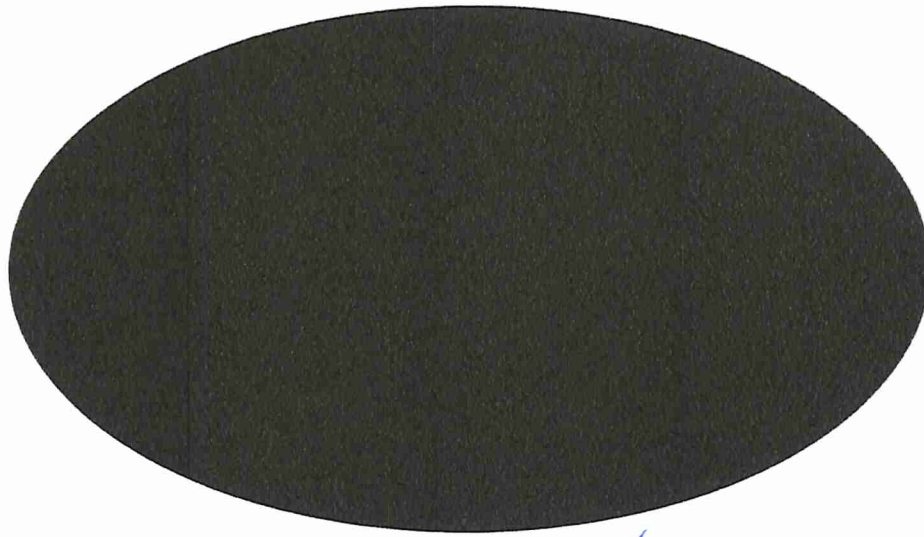
Powder Coating (<https://www.diggerspecialties.com/why-dsi/powder-coating/>)

Warranties (<https://www.diggerspecialties.com/product-owners/warranties/>)

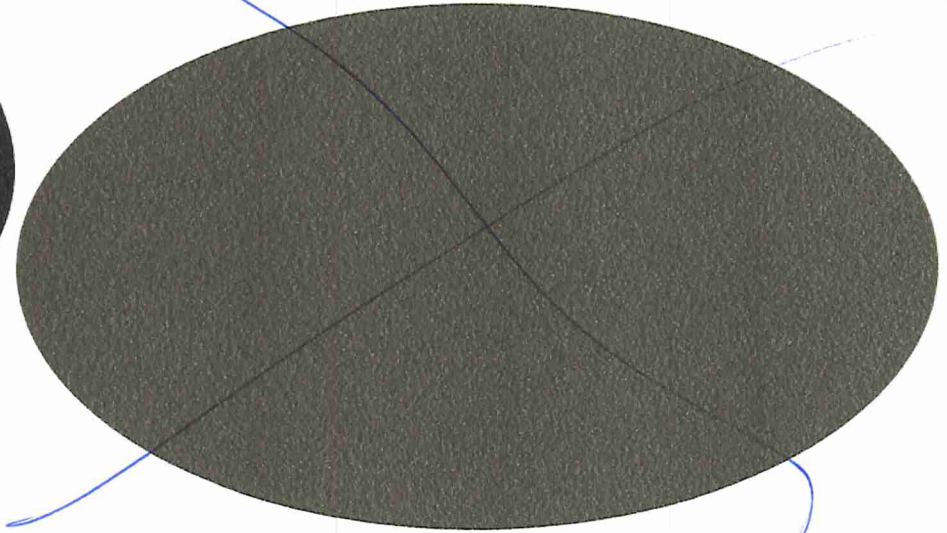
Frequently Asked Questions (<https://www.diggerspecialties.com/why-dsi/faq/>)

Technical Services (<https://www.diggerspecialties.com/why-dsi/technical-services/>)





Black Fine Texture

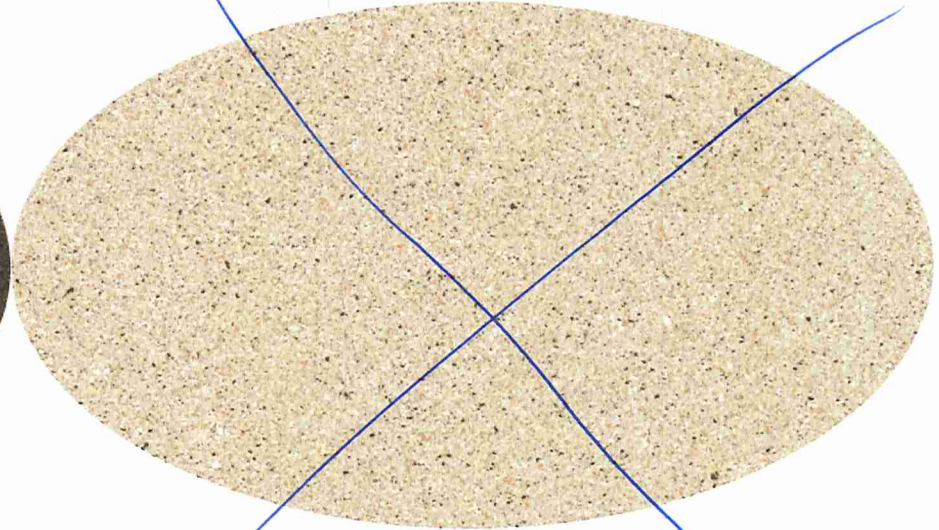


Ninety Bronze

Bronze Fine Texture



Speckled Walnut



Sandy Shore

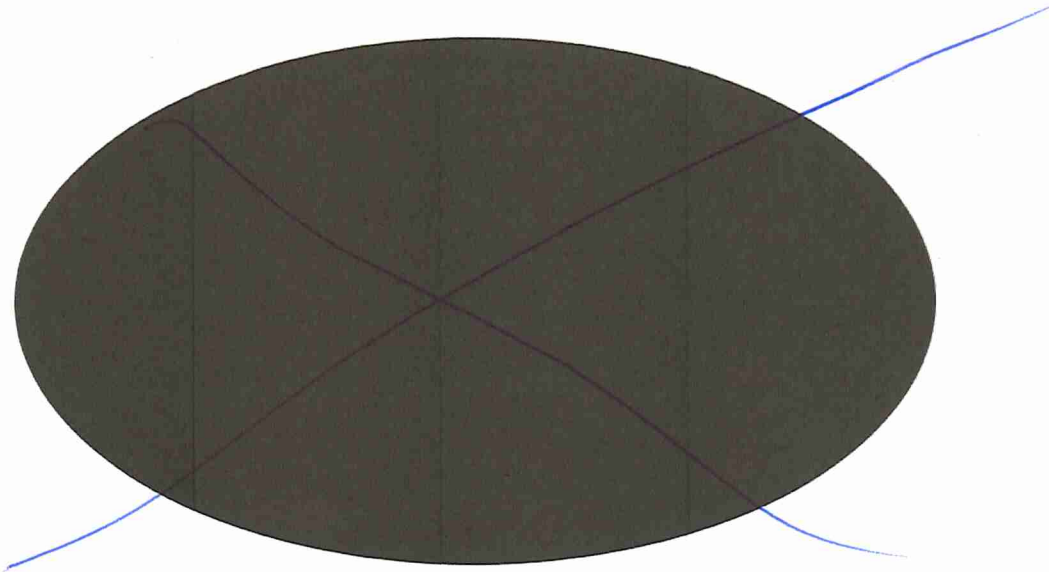
White Fine Texture

Gloss Beige

Gloss White

Brown Fine Texture

Grey Fine Texture



Chocolate

Resources (<https://www.diggerspecialties.com/product-resources/cable-fence-three-rail-resources/>)

DSI Cable Fence is designed to provide the security of a fence while allowing you to enjoy your view. Our vertical pickets and stainless steel cables provide an architectural style without obstructing your view. All DSI Cable Fence sections are delivered to you assembled, tensioned, and ready to install.

Heights:	48" & 54"
Section Lengths:	72" Centers
Standard Posts:	2 1/2" x 2 1/2" Line and End Posts 3" x 3" Corner & Three - Way Posts
Rails:	1 3/4" w x 1 3/8" t (Top Rail) 1 3/4" w x 1 1/4" t (Mid and Bottom Rails)



## Posts

## Drink Rail Brackets

## Adapters for Aluminum Railing

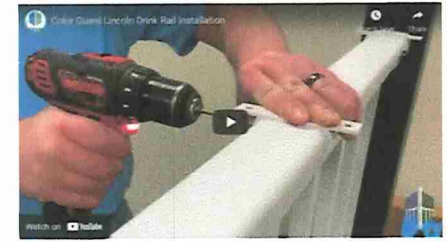
### Tips & FAQs:

- + [Can I cut a rail?](#)
- + [How do you clean/polish railing?](#)
- + [What material are drink rails made from?](#)
- + [Do you sell the Lincoln Color Guard rail connectors separately?](#)
- + [Is there a mount for attaching railing to columns that are off center?](#)
- + [What products are certified for installation applications?](#)
- + [How far should Lincoln drink rail brackets be spaced?](#)
- + [Is railing true to length?](#)

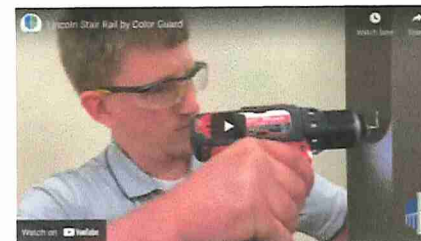
### Related Product Videos:



Lincoln Gate



Lincoln Drink Rail  
Installation

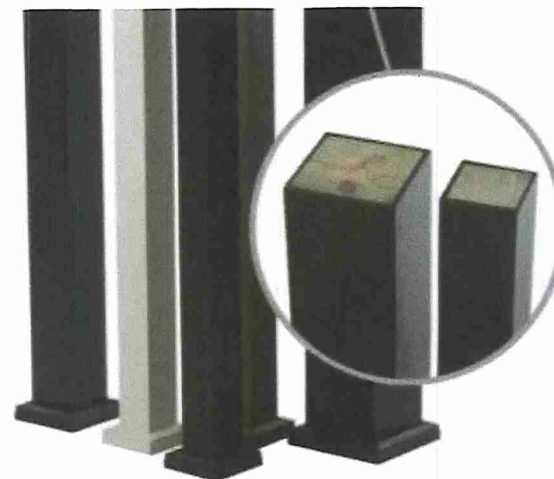


Lincoln Stair Rail



Lincoln Aluminum

- [Lincoln Gate Installation Video](#)
- [Lincoln Drink Rail Installation Video](#)
- [Lincoln Stair Rail Installation Video](#)
- [Lincoln Aluminum Railing Installation Video](#)



Works with **Lincoln 3×3 post kits** or aluminum post sleeves.

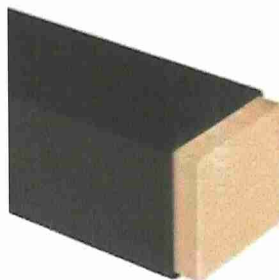
## Related Products



**Sentinel Porch**



**Aluminum**



**4×4/6×6 Sleeves**



**Lincoln Gates**



**Brackets &**



- Available 36" Stair lengths: 4', 5', 6', 7', 8'  
(White with Black Balusters in 6', 8' only)
- 42" Stair Guardrail now available in 6' and 8'  
length in Black/White/Bronze

### Kit Includes:

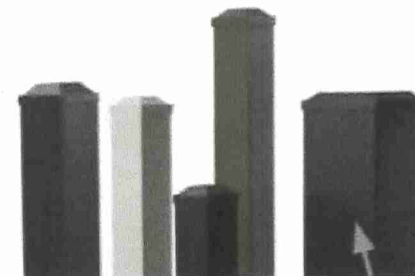
- 1 – Aluminum Top Rail
- 1 – Aluminum Bottom Rail
- Aluminum 3/4" Square Balusters
- Rail Support Block(s)
- 4 – Mounting Brackets with stainless steel hardware

### Product Resources:

- [Lincoln Aluminum Railing Sell Sheet](#)
- [Lincoln Aluminum Straight Rail Installation Instructions](#)
- [Lincoln Aluminum Fixed Stair Installation Instructions](#)
- [Lincoln Aluminum Adjustable Stair Rail Installation Instructions](#)
- [Lincoln Aluminum Gate Installation Instructions](#)



*Over the post brackets available for 3x3 posts.*



# Professional-Grade Aluminum Railing

Our **Lincoln Aluminum Railing** is engineered for durability and designed to add style to your outdoor living space. Lincoln is a fully-kitted deck railing solution that is easy to source and install.

Lincoln's non-glossy textured, powder-coated finish enhances any deck or porch project with its extruded 6-63-T5 aluminum and rust-resistant construction. Color Guard provides easy-to-maintain railing for decks and porches that will retain their beauty.

Our premium aluminum railing exceeds IRC codes.

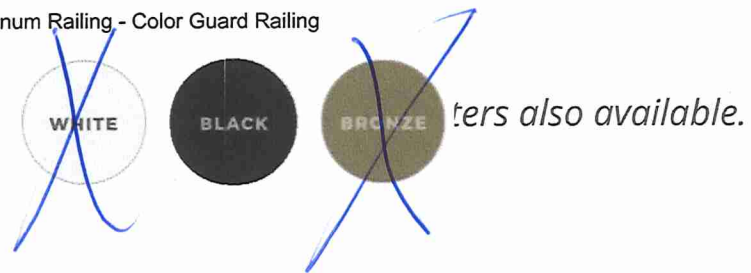
## Sizes:

- Available heights: 36", 42"
- Available Straight lengths: 4', 5', 6', 7', 8', 10'  
(White with Black Balusters in 4', 6', 8', 10' only)



*Fully-kitted railing solution*





## Ready to Get Started?

Use our Railing Configurator to build a project list or find a location to buy now.

 BUILD PROJECT LIST

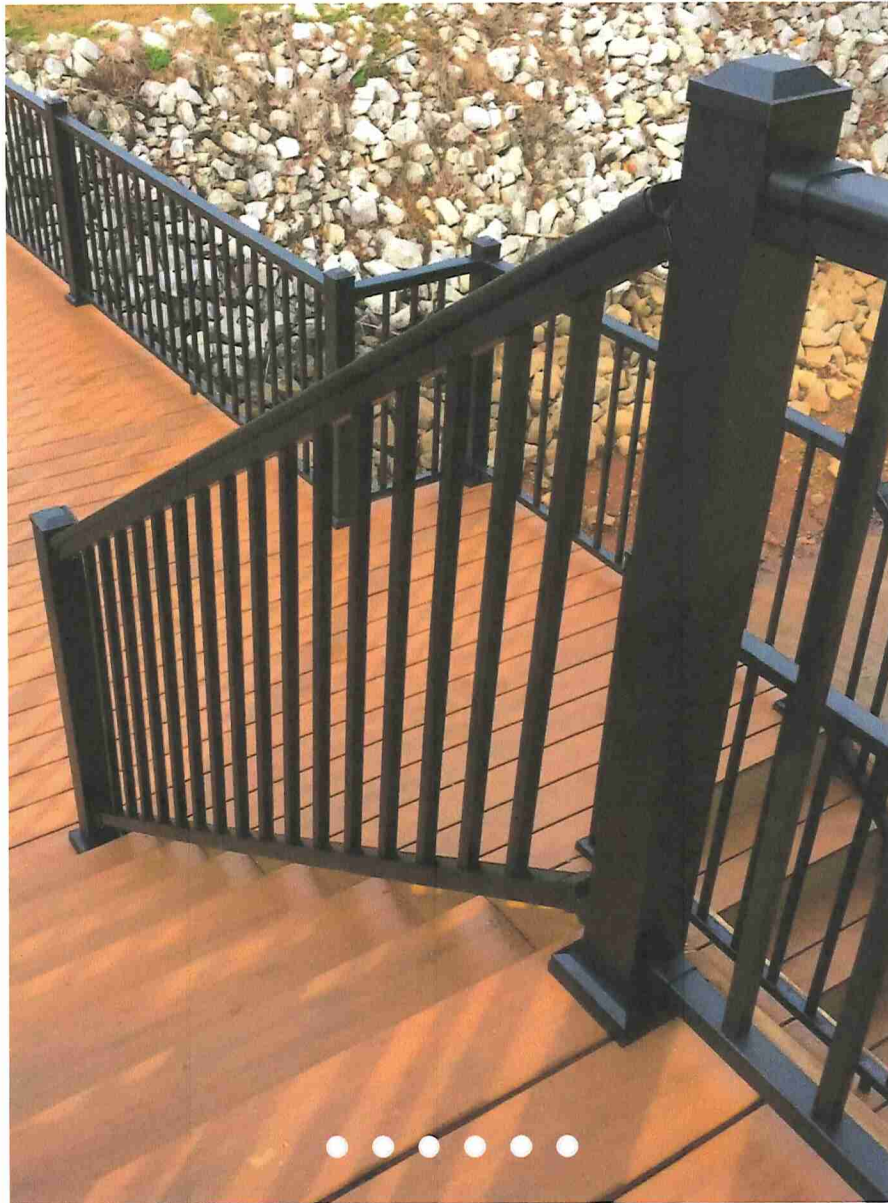
 HOW TO BUY

## Ready to Get Started?

Use our Railing Configurator to build a project list or find a location to buy now.

 BUILD PROJECT LIST

 HOW TO BUY



## Lincoln Aluminum Railing

Flawless, rugged, and easy to install, the Lincoln Aluminum Railing System by Color Guard is best way to enhance the beauty, quality and value of your deck. Designed to meet and exceed all IRC codes, these customizable deck rails are perfect for your next home improvement project.

- ✓ Textured, powder-coated aluminum, with PVC filler in top & bottom rails
- ✓ Contoured top rail, complements both composite and wood decks
- ✓ Features 3/4" square balusters
- ✓ Proudly manufactured in the USA

### Colors Available:









# TECHNICAL DATA

FROM

## Anemostat

### Door Products

4958 Stout Dr. #119, San Antonio, TX 78219

PH: 210.662.6300 • FAX: 210.662.2828

e-mail: door@anemostat.com • website: www.anemostat.com

## LoPro™

LO-PROFILE  
METAL VISION FRAME



FIRE  
RATINGS



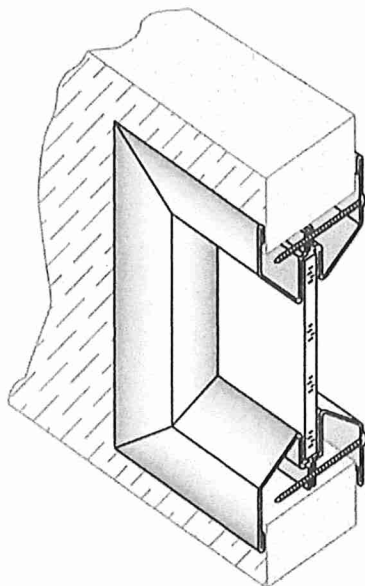
UNDERWRITERS'  
LABORATORIES

Intertek  
WARNOCK  
HERSEY

EN-1634  
European Standard

B.S.-476.22  
British Standard

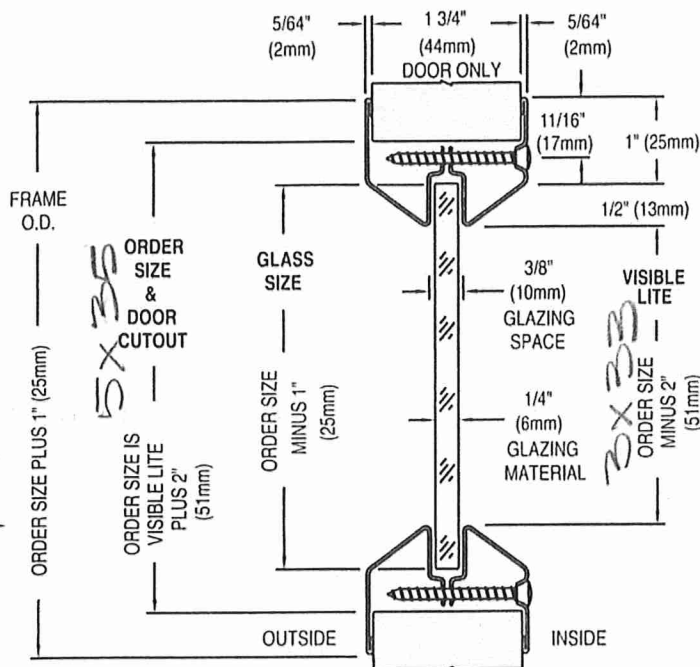
### DETAIL DRAWING



**PLEASE NOTE:** On visible lite sizes larger than 1296 sq. in. (0.836 m<sup>2</sup>) on 20/45 min. and 100 sq. in. (0.065 m<sup>2</sup>) on 60/90/180 min., please consult with your Door / Frame Manufacturer's procedures, for their maximum glass size tested.

**NEW**  
Sound Ratings  
See LoPro-STC  
Page 4

Anemostat manufacturing dimensions ±1/32 (1mm)  
Actual dimensions are nominal and may vary  
based on component manufacturers tolerances.



### STANDARD PRODUCT FEATURES

- MATERIAL:** 20 GA. (1mm) Cold Rolled Steel.
- FINISH:** Grey Primer, Beige or Bronze Baked Enamel.
- INSTALLATION:** Our most popular product is easy to install and provides a low profile, flush to the door look. Uses 1 3/4" (44mm) sheet metal screws that pass through the door cutout, and fastens to the opposite side of the vision frame, thus eliminating the need to drill the door for thru bolts and saving installation time and labor. It also leaves the corridor side of the frame free of fasteners for added security and a cleaner, more aesthetic appearance.
- DOOR THICKNESS:** For 1 3/4" (44mm) Wood or Metal Doors.
- GLAZING:** Should be 1/4" (6mm), 3/16" (5mm) or 5/16" (8mm) fire and/or safety rated with U.L. and/or W.H.I. classification markings. Nominal glazing space of 3/8" (10mm) allows for glazing tape to be used on both sides of the glass.
- AESTHETICS:** Tight mitered corners, beveled glass stop and low profile, provide a clean tapered look.
- IMPORTANT:** Interpretation of building and fire codes may vary. Consult with the local authority having jurisdiction in your area, to determine appropriate standards.
- NOTE:** For Exterior use, High Humidity or Salt Air application, product must be Galvanized or Stainless Steel.

### OPTIONAL FEATURES

- MATERIAL:** #304 or #316 Stainless Steel, #4 Finish(Satin), Galvanized(Coil, Hot Dipped, or Zinc Plated) Mill Finish Aluminum-(Not Fire Rated).
- FINISH:** Custom Baked Enamel Colors (as per sample chip supplied). Plated Finishes to match the lock, hinges and closer.
- FASTENERS:** Special Security Screw Fasteners, See Page 36, this section.
- SPECIALS:** Fractional Sizes, Lead Lined for X-ray applications. For Special Glass or Door thickness (see FGS-IS or LoPro™-IS ). For mullions see (LoPro™-G, FGS-75-G or BFL-123-G.)
- HM CLIP:** Replaces the need for reinforcing channel see page 37 this section.

### FIRE RATINGS (w/ U.L. & W.H.I. classification markings) Positive Pressure

- 20 MINUTE:**\* Approved listing at 3204 sq.in. (2.067 m<sup>2</sup>) visible lite max. width 36" (914mm), max. height 89" (2261mm).
  - 45/60 MINUTE:**\* Approved listing at 2772 sq.in. (1.788 m<sup>2</sup>) visible lite max. width 36" (914mm), max. height 77" (1956mm).
  - 90 MINUTE:**\* Approved listing at 1296 sq.in. (0.836 m<sup>2</sup>) visible lite max. width 36" (914mm), max. height 54" (1372mm).
  - 3 Hour:**\* Approved listing at 100 sq.in. (0.065 m<sup>2</sup>) visible lite max. width 12" (305mm), max. height 33" (838mm)
- \* Must be used with FIRELITE Plus or NT and Fire listed glazing tape or another manufacturer's equivalent product. Glazing combination must be used in appropriately tested door assembly.

**BS 476.22** Timber Doors - 30 min. and 1 hour.  
British Standard Steel Doors - 2 hours (4 hours actual).

**EN-1634** 30/60 min. integrity and insulation - Indicative Testing  
European Std.

Job Name & Location	Submitted by

For Most Current Info, Consult Factory or check our website, [www.anemostat.com](http://www.anemostat.com)

MARCH 2012  
METAL VISION FRAMES PAGE 1





# TECHNICAL DATA

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### LoPro™

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UNDERWRITERS'  
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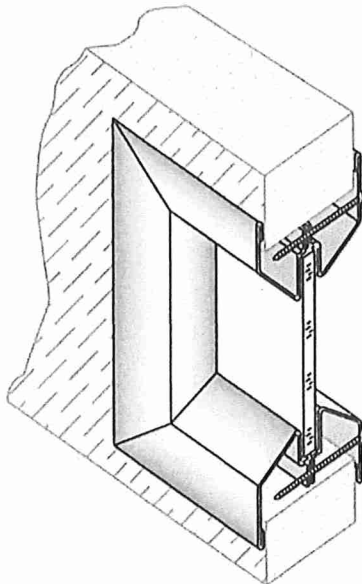
EN-1634

European Standard

B.S.-476.22

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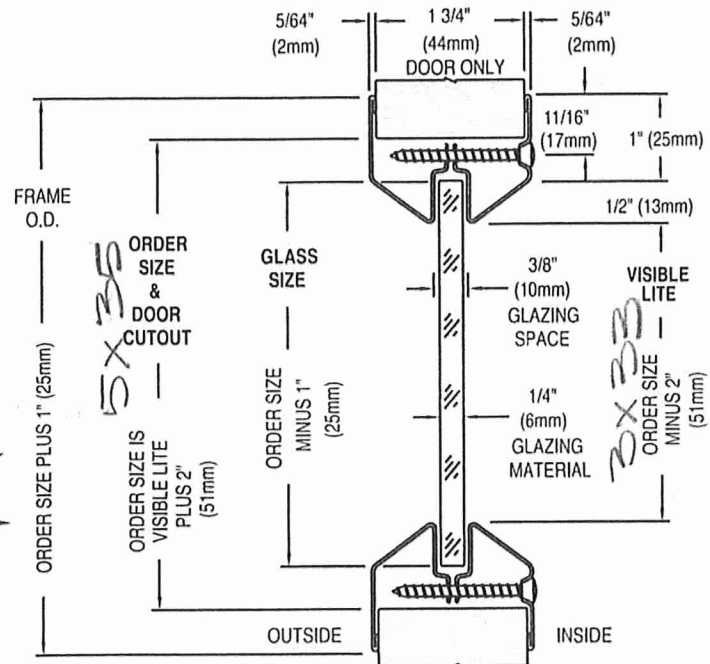
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**NEW**  
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Page 4

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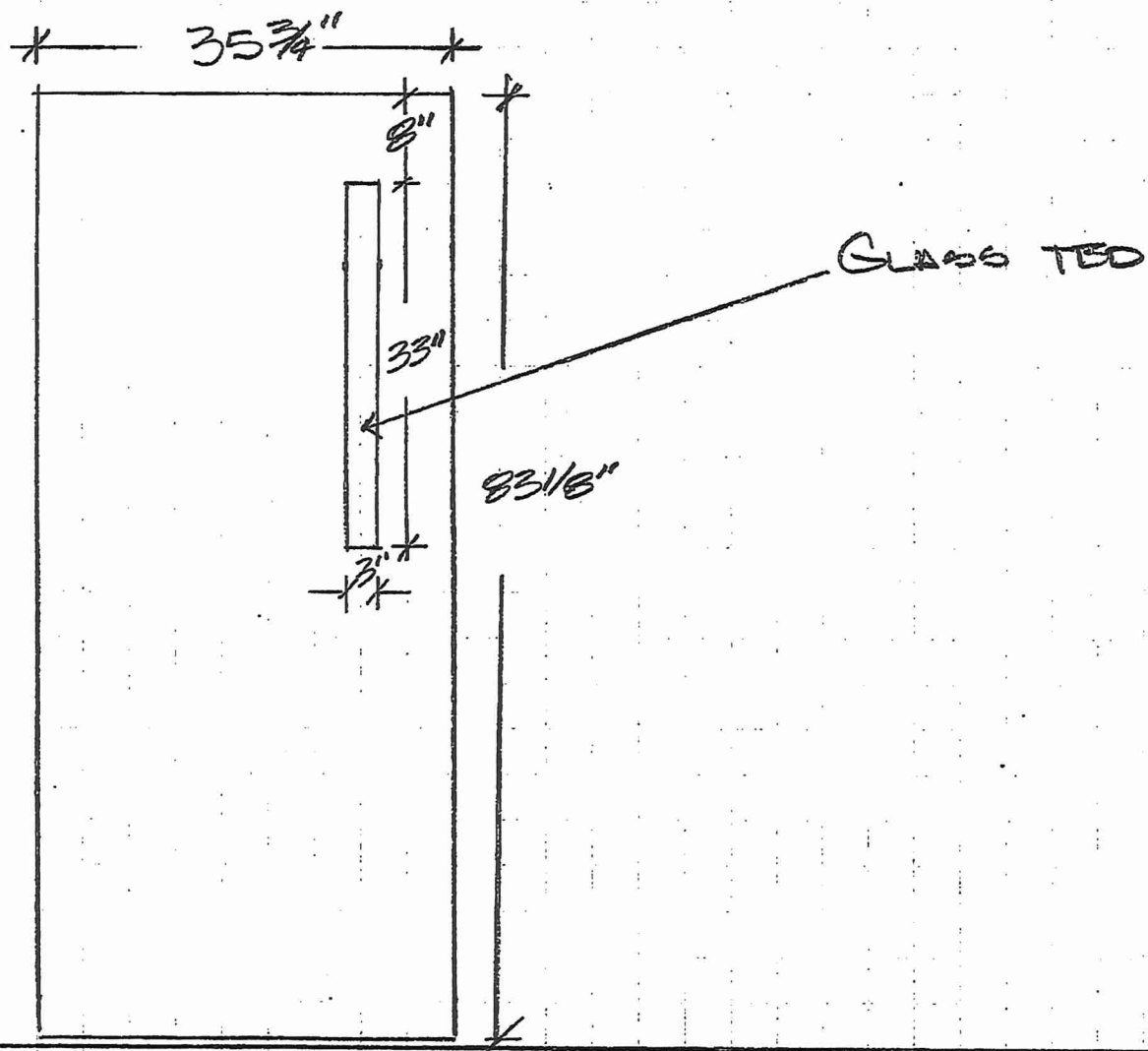
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MARCH 2012  
METAL VISION FRAMES PAGE 1

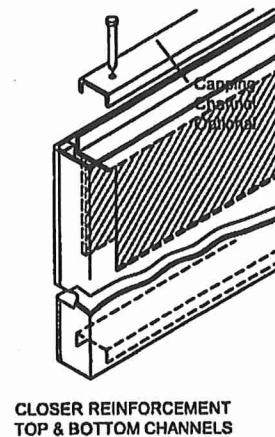
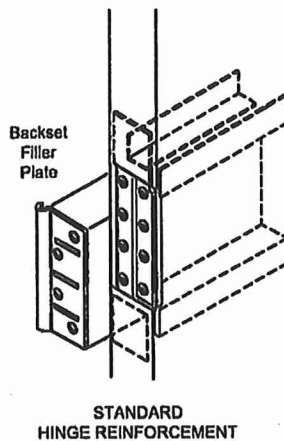
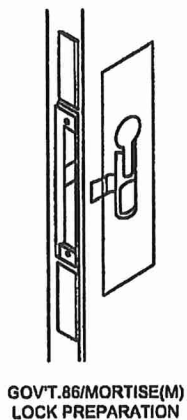
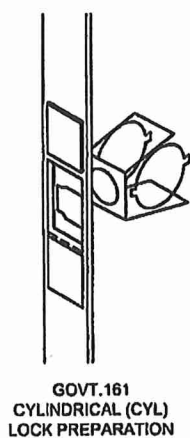
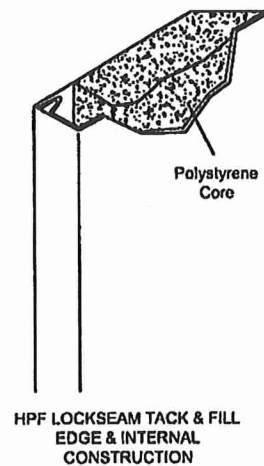
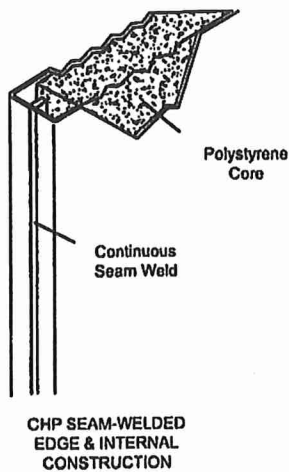
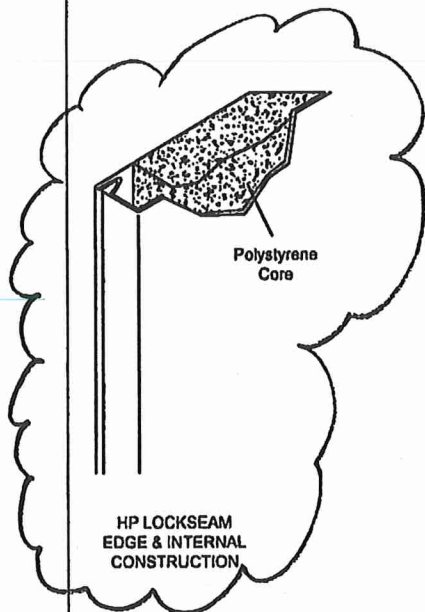
DOOR ELEVATION 1  
JOB: BROWN PELICAN



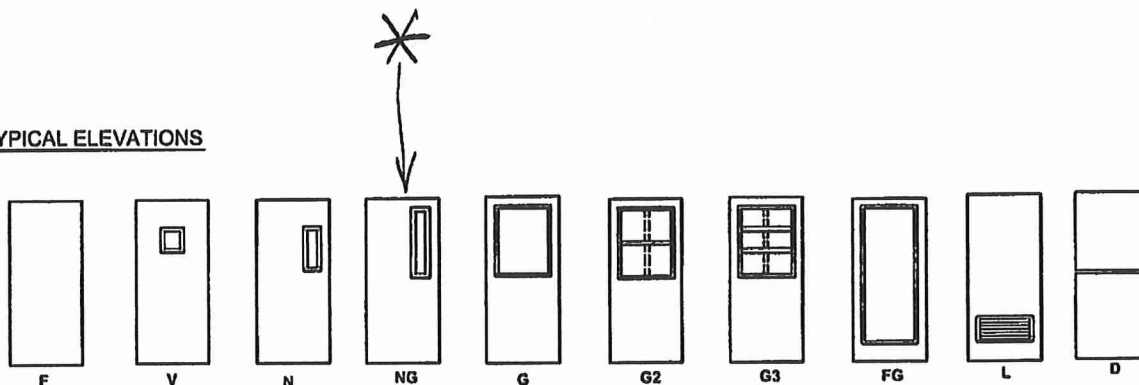


**PIONEER**  
**ASSA ABLOY**

**SERIES HP, CHP AND HPF  
POLYSTYRENE CORE DOORS  
1 3/4" THICK**



**TYPICAL ELEVATIONS**



## DOOR SPECIFICATION

STANDARD Doors: Shall be fabricated from 18 or 16 Gage Cold Rolled Steel ( ASTM A 1008, ASTM A 568 and ASTM A 569) or A60 Galvannealed Steel (ASTM A 924 and A 653). Doors shall be 1 3/8" or 1 1/4" thick. All Doors shall be internally reinforced for Surface Applied Closers and standard quantity of 3 or 4 Butt Hinges Size 4-1/2" depending on the height. Doors shall be handed or Reversible. Reversible Doors shall be supplied with a spacer to facilitate handing.

H18, HP 18, HT 18, HR18, EH 18, EP 18 and LW 18 shall be either Roll Form construction or Lock Seam Construction with a visible seam on the edges. Edges of Lock Seam construction doors may be tack welded every 12" and ground smooth.

H16, HP 16, HT 16, HR 16, LW 16 Doors shall be Lock seam construction and the edges may be tack welded and ground smooth.

HF, HPF, HTF, HRF, LWF EPF and EHF Doors (18 and 16 Gages) shall be tack welded every 12" on the edge and filled for a seamless appearance.

C, CH, CHP, CHT and CHR Doors (18, 16 and 14 Gages) shall be continuously seam welded on the edges, ground smooth and filled. There shall be no visible seams along the edges.

SR and HW doors shall be manufactured per specific procedures to provide the required Labeling and properties of the Door and Frame assemblies.

Pair Doors: Inactive Doors of a pair of doors shall be 1/8" wider than the nominal size.

Astragals for Pair Doors: Flat bar Astragals and Z Astragals shall be provided loose when Labeling Agency's Procedures requires them. Astragals shall not be installed on Doors with Vertical Rod Devices on both doors.

Hardware Preparations: Doors shall be mortised, reinforced, drilled and tapped to receive specified mortised hardware and reinforced only for specified surface mounted hardware. Surface Hardware preps shall be done in the field. Inactive Doors shall be prepped for 2 Flush Bolts and a No Lip ASA Strike Prep on Reversible Doors. All Hardware preparations shall comply with ANSI A250.4; A250.8 and A250.6.

Hardware locations: Location of Hinges, Closer reinforcing and Roller Latches shall conform to the recommendations of DHI and ANSI/BHMA A156.115

Labeled Doors shall be marked with UL (Underwriter's Laboratories or WHI (Warnock Hersey) Fire Rating Marks as required. Pioneer's Procedure and hardware application requirements of the certifying authority shall take precedence over project details or specifications.

Prime painted Doors: Doors shall be cleaned and a coat of Bake on Water based Gray Primer shall be applied by Electrostatic Methods.

Storage; Doors shall be stored in an upright position under cover in a manner that will prevent rust and damage.





## Zoning and Inspections Review of

### Application for Certificate of Appropriateness for Alterations in Historic District

*Initial review of applications for certificates of appropriateness by the Zoning Administrator and Chief Building Inspector is intended to provide the applicant and Historic Preservation Commission with information related to compliance with local land use ordinance and building code. It is does not represent a formal approval of a permit by any party and does not bind the decisions of Commission.*

**Application Address and Description:** **411 Broad St.** – to include removing the existing rear doorway and one window opening, filling them with brick, the enlargement of another window opening for use as a doorway, installation of a concrete patio, exterior lighting, and fencing, all in the Tertiary AVC.

**Zoning Administrator** please review the application and fill out all applicable items

Zoning District:

Required Setbacks (primary structure): Front  Side  Rear

Accessory Setbacks: From Nearest Structure  Side  Rear

Maximum Lot Coverage for proposed use:

Maximum Height of Structure:

Required Site Improvements: Landscaping  Buffer  Parking

Other requirements:

---

---

I have reviewed the application for proposed alterations to this property and have determined that it Meets\_\_\_\_ Does Not Meet\_\_\_\_ the requirements of the Land Use Ordinance.

Comments:

---

\_\_\_\_\_  
Zoning Administrator

**Chief Building Inspector** please review the application and include any comments below

The proposed project Will\_\_\_\_ Will Not\_\_\_\_ require a building permit(s).

Comments:

---

---

\_\_\_\_\_  
Chief Building Inspector

## Certificate of Appropriateness Findings and Recommendations

HPC Regular Meeting – April 20, 2022

**Applicant:** Chris Hoveland

**Applicant Address:** 335 Middle St., New Bern, NC 28560

**Project Address:** 411 Broad St., New Bern, NC

**Historic Property Name:** 411-413 Broad St.; Stores.

**Status:**        **Contributing:** X        **Non-contributing:**        **Vacant:**

**NR Inventory Description (2003):** built c. 1925; One story; brick; twin stores with diamond-pattern designs above storefronts, stepped parapets; flat roof.

**Sandbeck Description (1988):** nothing relevant to the rear wall or patio space.

**411 Broad St.** - to include removing the existing rear doorway and one window opening, filling them with brick, the enlargement of another window opening for use as a doorway, installation of a concrete patio, exterior lighting, and fencing, all in the Tertiary AVC.

**Staff submits the following Historic District Guidelines are appropriate to this application:**

### Utilities

2.3.6 Install light fixtures in locations that complement the character of historic structures and sites. It is not appropriate to replace original light fixtures. Lighting shall emit a white light. Illumination shall provide visibility and security without overemphasizing a structure, parking area or site.

### Fences and Garden Walls

2.5.1 Fences and walls based on historic designs are encouraged. Incorporate materials and configurations that relate to the architecture of the principal structure on the site. Use fences and walls to demarcate property lines and screen private areas.

2.5.3 In Secondary and Tertiary AVCs, erect tall fences and walls with a vertical dimension of six feet or less. Tall fences that abut a structure shall terminate at an architectural feature. Transition low fencing to taller fencing at an architectural feature.

### Modifications

3.2.1 Select materials that are consistent with the structure. Limit the palette to those materials that were available at the time a building was originally constructed.

3.2.2 Modifications to a structure should not conceal, damage or remove significant design components or architectural features.

### Foundations

4.1.2 When infilling between brick piers, recess brick curtain walls 1 to 2 inches to visually delineate piers.

### Walls, Trim and Ornamentation

4.2.1 Adhere to Guidelines for retention of historic fabric when altering wall components.

### Windows, Doors and Openings

4.3.1 Adhere to Guidelines for retention of historic fabric when altering window, door and opening components.

4.3.2 Add window and door openings in Secondary or Tertiary AVCs in locations that do not diminish the original design. In general, openings shall have a vertical orientation or be square.



## Certificate of Appropriateness Findings and Recommendations

HPC Regular Meeting – April 20, 2022

### **Masonry**

- 5.1.1 Adhere to Guidelines for retention of historic fabric when altering masonry materials.
- 5.1.2 Match the masonry bond, or pattern, of masonry materials found in adjoining work. In general, new material should be the same size, color, and texture of that existing.

### **Metal**

- 5.3.3 Use full weld iron and steel fabrication techniques. Welds shall be properly dressed, or ground smooth.
- 5.3.4 Provide aluminum fabrications with welded joints or blind, mechanical connections having concealed fasteners.

### **Paint**

- 5.4.2 Select paint and sealant coatings that are harmonious with adjoining work. In general, new material shall be a compatible formulation with the substrate of application.
- 5.4.3 Apply primer coatings to front and back of wood surfaces prior to cutting and fitting. Prime end cuts before installation. Apply finish paint coatings to exposed primed surfaces.
- 5.4.4 Consider using opaque stain in lieu of paint on flooring, fencing, and similar wood surfaces exposed to foot traffic or weather.

**Statements of Reason**, based on the information contained in the application, in Staff's judgment are:

- 1. The project is located in the *Dense Fabric* development pattern;
- 2. The proposal is a rear wall modification, patio, and fence project;
- 3. Reference to the Foundation guidelines is to include the guideline for recessing the infill areas for the existing door and window openings;
- 4. The proposed design, components, and materials meet the requirements of the Guidelines;
- 5. The Zoning Administrator and the Chief Building Official have reviewed this project and commented accordingly;
- 6. The application is not incongruous with the Guidelines.

### **MOTION**

**Staff recommends the Commission approve this application to include removing the existing rear doorway and one window opening, filling them with brick, the enlargement of another window opening for use as a doorway, installation of a concrete patio, exterior lighting, and fencing, all in the Tertiary AVC.**

**FEE SCHEDULE** (office use only)  
☐ \$22 Standard Application (minor)  
☒ \$107 Standard Application (major)



HPC Administrator  
[HPAdmin@newbern-nc.org](mailto:HPAdmin@newbern-nc.org)  
 Work: (252) 639-7583  
 Fax: (252) 636-2146

**Application for a Certificate of Appropriateness**  
*(For Alterations to Properties in Locally Designated Historic Districts)*

For assistance see "CoA Instructions", as well as "Historic District Guidelines", available online at:  
<http://www.newbern-nc.org/departments/development/historic-preservation/historic-preservation-guidelines/>

Type of Project: ☐ Exterior Alteration ☐ Addition ☒ Infill ☐ Site Work ☐ Other

**I. Applicant/Owner Information:**

Property Address (Include year built, if known): 509 Queen Street (vacant lot)

Property Owner Name(s): Thomas & Susan Via Aaron	Owner Mailing Address: 509 Queen Street New Bern, NC 28560	Phone #'s: 202-966-4162	Email: tatersvia@gmail.com
Applicant Name (if different): GO Architectural Design, PLLC Sarah Afflerbach, AIA	Applicant Mailing Address: 1202A Pollock Street New Bern, NC 28560	Phone #'s: 252-633-0322	Email: sarah@goarchdesign.com

**II. Project Information:** *(See "CoA Instructions" & "Historic Guidelines" for help in completing this section)*

1. Provide a detailed description of work to be conducted on site: (Attach additional sheets if needed)

Remove existing asphalt covering entire lot. Construct a new story and a half single family home on this vacant lot with driving strips from street to a covered port-cochere with planted garden along length of existing brick fence line (planting plan submitted at a later date). See plans and elevations for details and material choices.

Continued on additional sheet or attached brochure ☐

2. Reference the specific Guideline(s) in the "Historic District Guidelines" which you believe apply to this project: (page and guideline number):

2.1.1, 2.1.2, 2.1.3, 4.1.1, 4.1.2, 4.1.3, 4.1.4, 4.2.1, 4.2.2, 4.2.3, 4.2.4, 4.3.1-4.3.7, 4.4.1-4.4.5,  
 4.5.1-4.5.6, 4.6.1-4.6.3

Continued on additional sheet or attached brochure ☐

3. Provide a detailed description of materials to be used (copies of brochures, texture, etc.):

Reference the specific Guidelines in the Historic District Guidelines for the proposed material(s).

Hardie Board siding (smooth faced lap siding and shakes), Azek trim and railing and painted ornamental railing, brick masonry foundation, vinyl windows with 3D grilles inside and out, asphalt shingles and hand seamed metal roofing, concrete walk and driveway strips.

Continued on additional sheet or attached brochure ☐



**III. Additional Information Provided: (See "CoA Instructions" for more detail)**

Plan(s) of Work, with: (please check all of those which are included with this application)

- ☒ Site plan (with annotated notes showing existing site and requested work)
- ☒ Photographs of the building and location where the proposed work will be completed
- ☒ Annotated notes or photos of materials to be used (samples may also be submitted)
- ☒ Floor plan with dimensions (for additions)
- ☒ Elevations with dimensions (for exterior additions or renovations)
- ☒ Supporting materials (brochures, photos of similar New Bern projects, estimates, etc.)
- ☒ Letter from owner acknowledging this application, in the case of submission by an applicant or lessee.

Please see Development Services Staff (Staff) prior to submittal for initial review of the application and advisement if additional information will be required before consideration at a Historic Preservation Commission hearing.

**Please read the following statements. Your signature below acknowledges that you have read the statements and attest to their accuracy:**

Check one:

- ☐ I am the owner of the Property, or
- ☒ I am acting on behalf of the owner of the property and I have attached a letter from the owner(s) indicating their knowledge of this application.

- ◆ I understand that submittal of this application does not constitute approval of proposed alterations.
- ◆ I understand that the approval of this application by City Staff or the New Bern Historic Preservation Commission (HPC) does not constitute approval of other federal, state, or local permit applications.
- ◆ I understand that I (or my representative) will need to attend the Hearing of this Application by HPC. No Applications shall be heard without a representative present and all applicable fees paid in full.
- ◆ I have reviewed the City of New Bern's "Historic District Guidelines" in preparing this Application.
- ◆ I understand that the property referenced by this Certificate of Appropriateness (CoA) application is in one of New Bern's local historic districts and that it represents a part of New Bern's historic fabric. If a CoA is approved by HPC or Staff, I agree to implement all changes as specified in the approved CoA, including any conditions. I understand that I am responsible for contacting Staff if I have any questions regarding the allowed changes specified in the approved CoA.
- ◆ I understand that ANY unapproved alterations are enforceable as a violation of City Ordinance and must be brought into compliance by removal or through the CoA process.
- ◆ I affirm that all the information included in this application is true to the best of my knowledge.
- ◆ I understand that incomplete applications cannot be considered.

Sarah Afflerbach

Signature of Applicant/Owner

3.18.22

Date

**APPLICATION SHOULD BE SUBMITTED TO THE DEVELOPMENT SERVICES MAIN OFFICE AT 303 FIRST ST. NO LESS THAN 2 WEEKS PRIOR TO UPCOMING MEETING. FOR FURTHER INFORMATION, CONTACT THE ADMINISTRATOR OF THE HISTORIC PRESERVATION COMMISSION AT (252) 639-7583.**

Aldermen

Sabrina Bengel  
Jameesha S. Harris  
Robert V. Aster  
Johnnie Ray Kinsey  
Barbara J. Best  
Jeffrey T. Odham



300 Pollock Street, P.O. Box 1129  
New Bern, NC 28563-1129  
(252) 636-4000

Dana E. Outlaw  
Mayor

Mark A. Stephens  
City Manager

**Petitioners requesting City of New Bern Historic Preservation Commission action on property not owned by them must have this form completed by the owner of the property.**

**CERTIFICATE OF APPROPRIATENESS OWNERS AUTHORIZATION**

Dear Sir or Madame:

I am the owner of the property located at:

509 QUEEN STREET

(address, city, zip code)

I hereby authorize GO Architectural Design, PLLC to appear with my consent, before the City of New Bern Historic Preservation Commissioner in order to request a Certificate of Appropriateness for the property referenced above.

I authorize you to present this matter on my/our behalf as the owner(s) of the property.

If there are any questions, please contact me at the following address and phone number:

405 SOUTH SAMUEL ST  
CHARLES TOWN, WV 25414

Phone 202-966-4162

[Signature]  
Owner's Signature

SUSAN M. VIA AARON

Print Name

3/15/2022

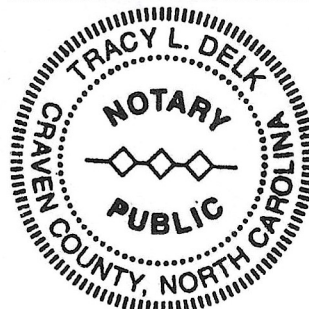
Date

THOMAS J.  
AARON

Sworn to and subscribed before me this 15<sup>th</sup> day of March, 2022

[Signature]  
Notary Public

My commission expires: 5-17-2023





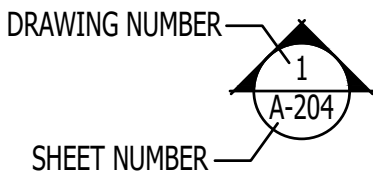
# VIA AARON RESIDENCE



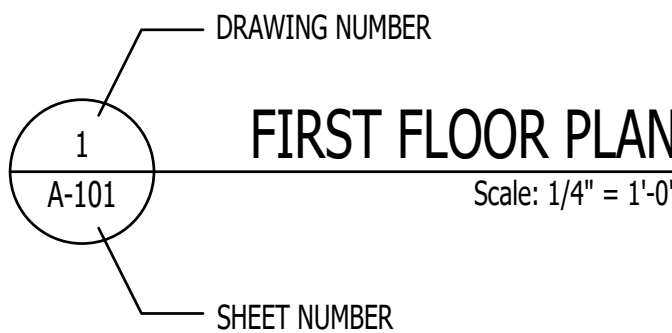
## KEYS & SYMBOLS

DOOR & WINDOW SIZE KEY  
2<sup>6</sup> = 2'-6" WIDE (ASSUME STANDARD DOOR  
HEIGHT OF 6'-8" UNLESS NOTED)

2060 = 2'-0" WIDE X 6'-0" HIGH



ROOM NAME  
BEDROOM  
10" CLG WOOD  
CEILING HEIGHT AND  
SQUARE FOOTAGE  
FLOOR FINISH



## ELECTRICAL LEGEND

RECEPTACLE

FLOOR RECEPTACLE

GFCI RECEPTACLE

WATER PROOF RECEPTACLE

SWITCH

3 WAY SWITCH

FAN / LIGHT

SECURITY LIGHT

CEILING MOUNT

WALL SCONCE

CEILING PENDANT

FAN / LIGHT

6" RECESSED CAN

DIRECTIONAL PIN LIGHT

FLUORESCENT

UNDER-COUNTER

CABLE

GARAGE DOOR OPENER W/ LIGHT

## SHEET SCHEDULE

G-101	TITLE SHEET
C-101	SITE PLAN
A-101	FIRST FLOOR PLAN
A-102	SECOND FLOOR PLAN
A-201	ELEVATIONS
A-202	ELEVATIONS

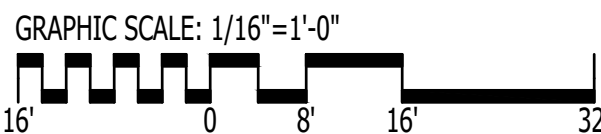
## SQUARE FOOTAGE

NON HEATED	
COVERED PORCH 1	63 SF
COVERED PORCH 2	168 SF
<b>TOTAL</b>	<b>231 SF</b>

HEATED / COOLED	
FIRST FLOOR	1,846 SF
SECOND FLOOR	663 SF
<b>TOTAL</b>	<b>2,509 SF</b>

## FLOOD VENTS REQUIRED

X SQUARE INCHES



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VIA AARON RESIDENCE  
509 QUEEN STREET, NEW BERN NC 28560

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**G-101**

TITLE SHEET

04.12.2022  
509 QUEEN STREET





509 QUEEN STREET



509 QUEEN STREET



509 QUEEN STREET



VIEW DOWN QUEEN STREET



515 QUEEN STREET



610 METCALF STREET



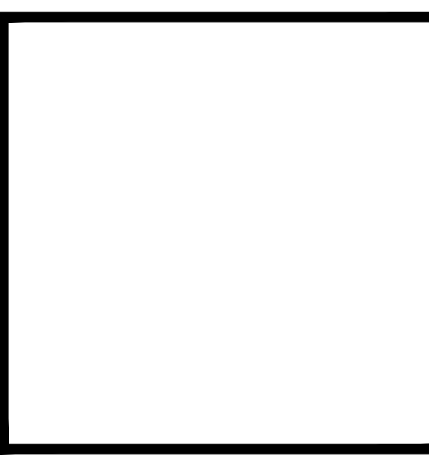
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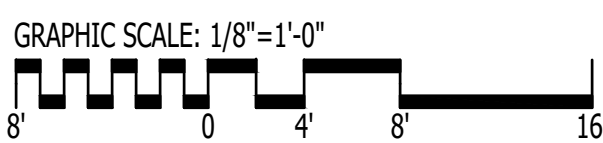
**PHOTO**  
04.12.2022  
509 QUEEN STREET





1  
C-101

SITE PLAN  
Scale: 1/16" = 1'-0"



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**C-101**

SITE PLAN

04.12.2022  
509 QUEEN STREET





514 CRAVEN STREET



514 CRAVEN STREET



1  
C-102

SITE PLAN  
Scale: 1/16" = 1'-0"



GRAPHIC SCALE: 1/8" = 1'-0"  
8' 0' 4' 8' 16'



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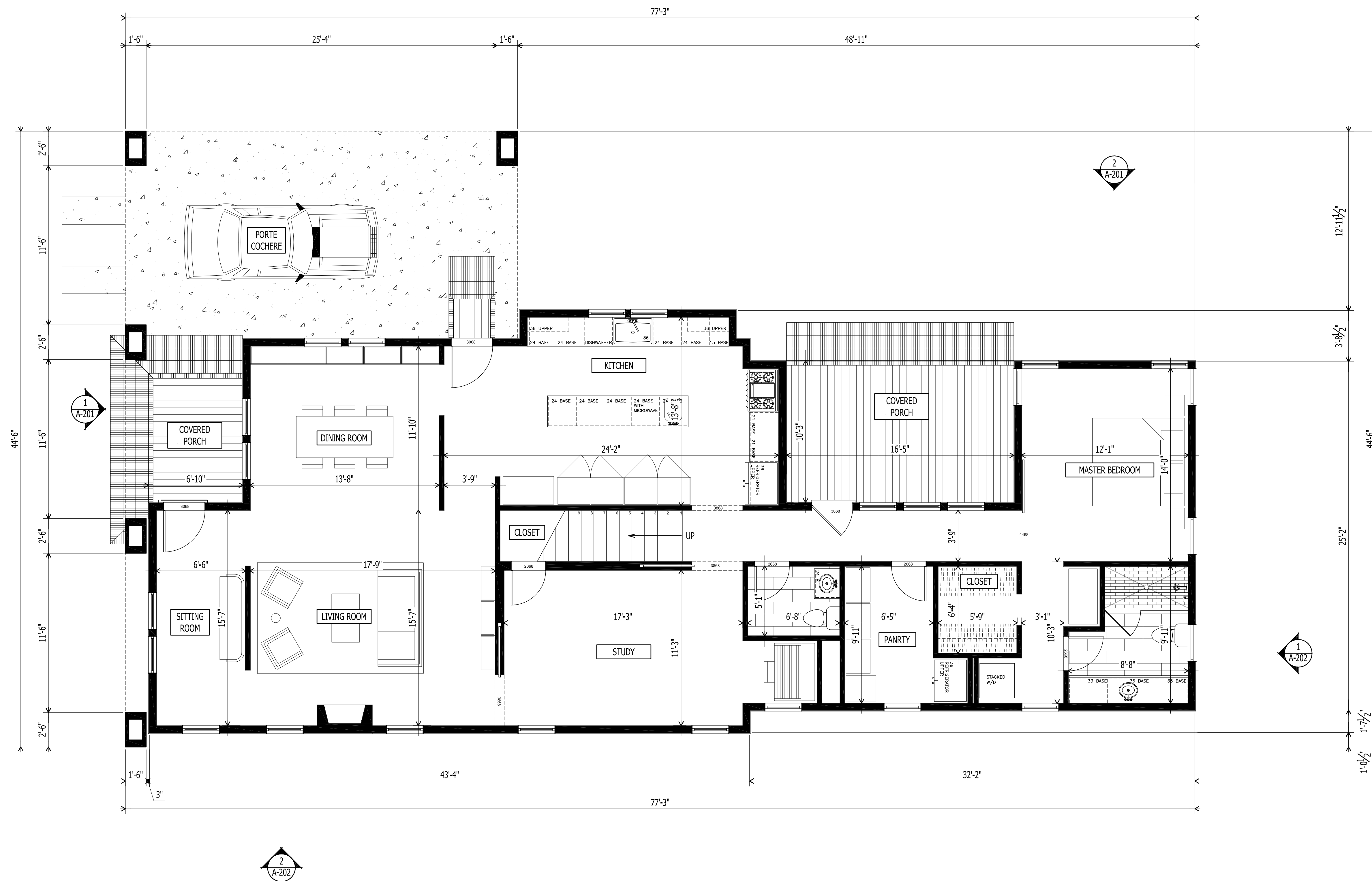
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C-102

SITE PLAN

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509 QUEEN STREET

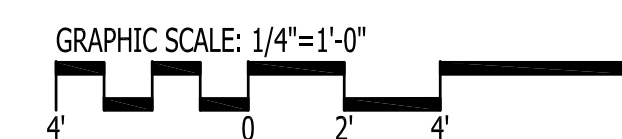




1  
A-101

FIRST FLOOR PLAN

Scale: 1/4" = 1'-0"



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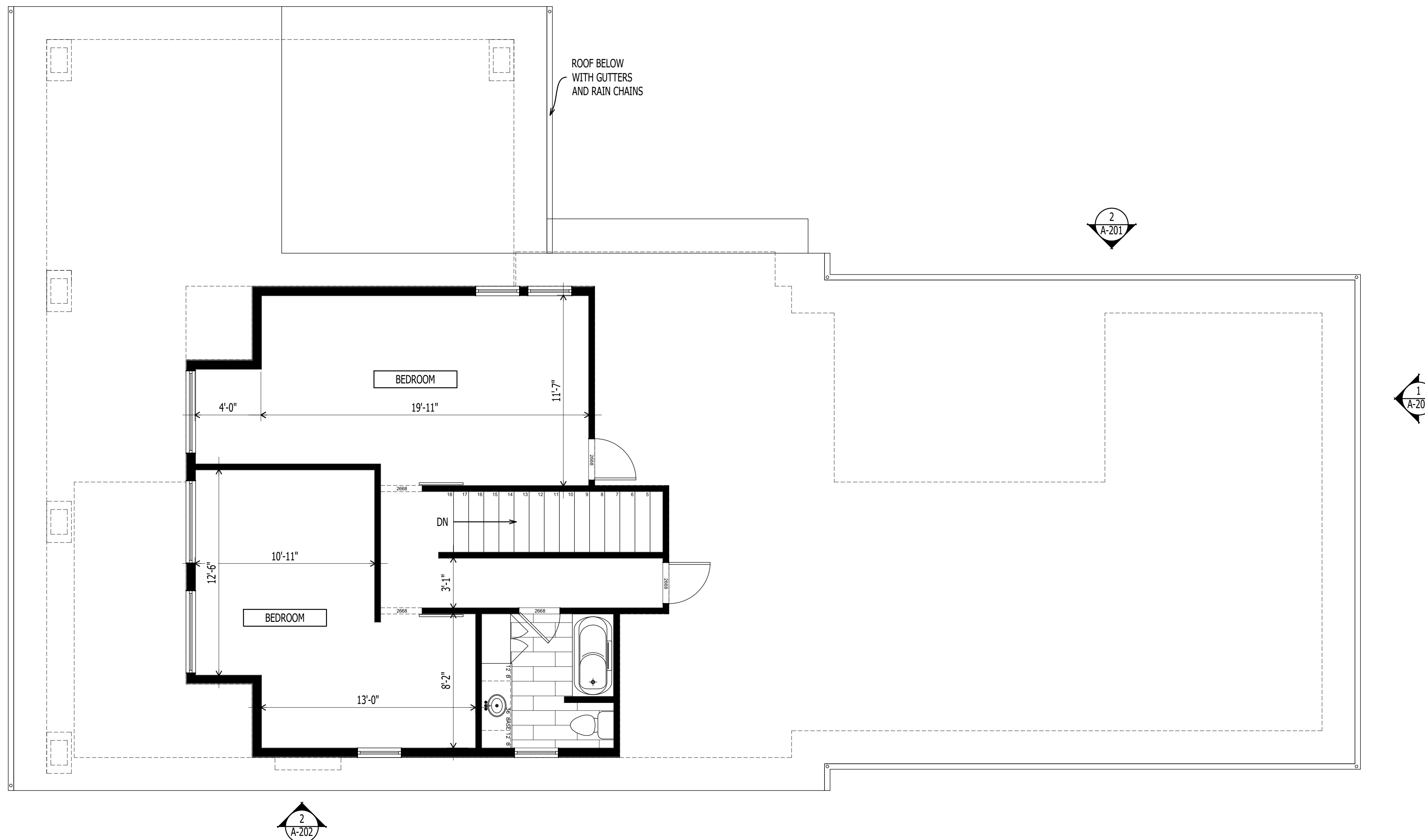
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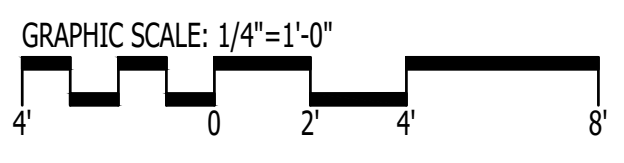
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**A-101**  
FIRST FLOOR PLAN  
04.12.2022  
509 QUEEN STREET



1  
A-102  
SECOND FLOOR PLAN  
Scale: 1/4" = 1'-0"

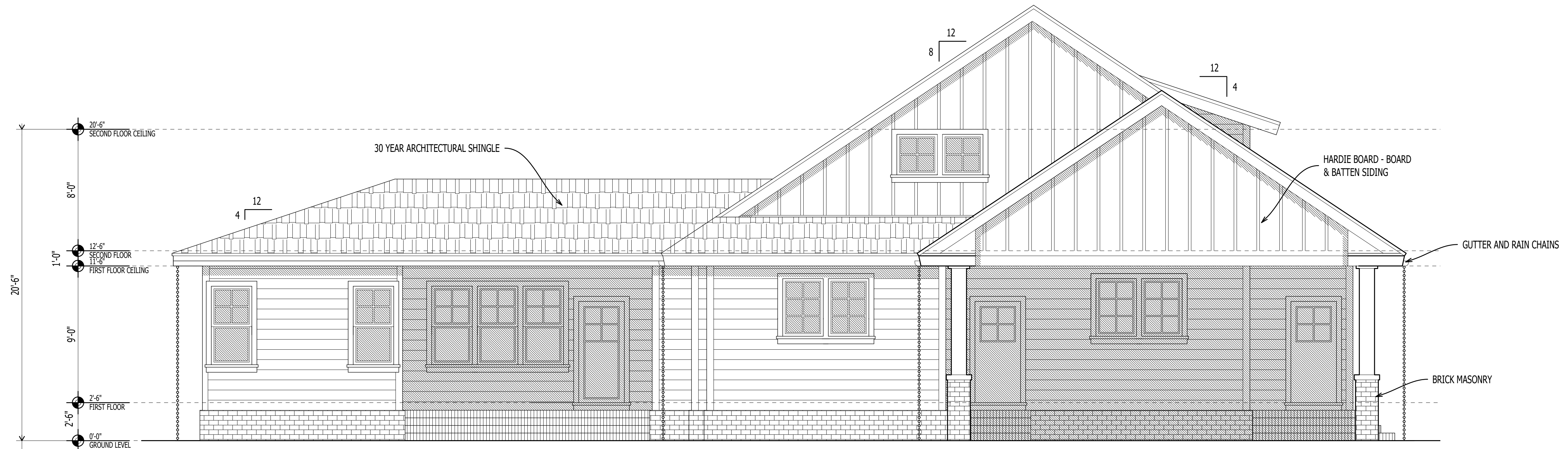






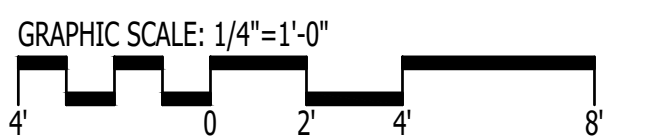
1  
A-201

ELEVATION  
Scale: 1/4" = 1'-0"



2  
A-201

ELEVATION  
Scale: 1/4" = 1'-0"



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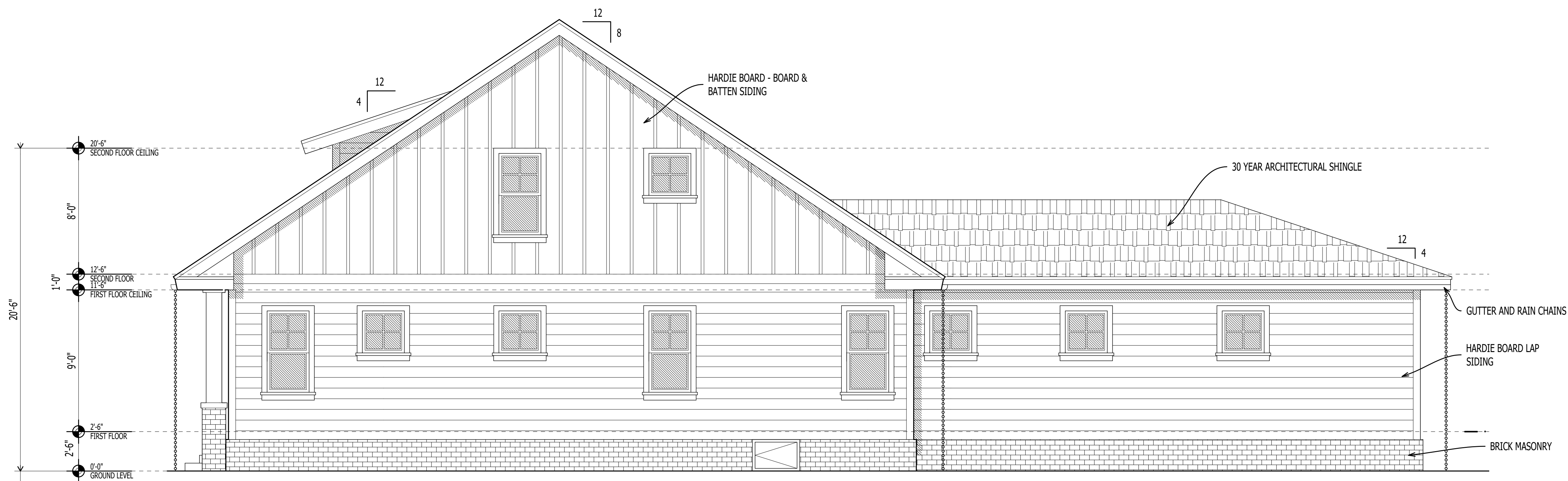
A-201

ELEVATIONS

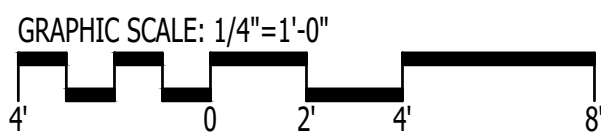
04.12.2022  
509 QUEEN STREET



1  
A-202  
ELEVATION  
Scale: 1/4" = 1'-0"



2  
A-202  
ELEVATION  
Scale: 1/4" = 1'-0"



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# VIA AARON RESIDENCE

509 QUEEN STREET, NEW BERN NC 28560

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A-202

ELEVATIONS

04.12.2022  
509 QUEEN STREET





## Zoning and Inspections Review of

### Application for Certificate of Appropriateness for Alterations in Historic District

*Initial review of applications for certificates of appropriateness by the Zoning Administrator and Chief Building Inspector is intended to provide the applicant and Historic Preservation Commission with information related to compliance with local land use ordinance and building code. It does not represent a formal approval of a permit by any party and does not bind the decisions of Commission.*

**Application Address and Description:**

**509 Queen St.** – to include construction of a one-and-a-half-story infill house on a vacant parcel.

**Zoning Administrator** please review the application and fill out all applicable items

Zoning District:

Required Setbacks (primary structure): Front  Side  Rear

Accessory Setbacks: From Nearest Structure  Side  Rear

Maximum Lot Coverage for proposed use:

Maximum Height of Structure:

Required Site Improvements: Landscaping  Buffer  Parking

Other requirements:

---

---

I have reviewed the application for proposed alterations to this property and have determined that it Meets\_\_\_\_ Does Not Meet\_\_\_\_ the requirements of the Land Use Ordinance.

Comments:

---

\_\_\_\_\_  
Zoning Administrator

**Chief Building Inspector** please review the application and include any comments below

The proposed project Will\_\_\_\_ Will Not\_\_\_\_ require a building permit(s).

Comments:

---

---

---

\_\_\_\_\_  
Chief Building Inspector

## Certificate of Appropriateness Findings and Recommendations

HPC Regular Meeting – April 20, 2022

**Applicant:** Thomas & Susan Via Aaron/GO Architectural Design, PLLC

**Applicant Address:** 509 Queen St., New Bern, NC 28560

**Project Address:** 509 Queen St., New Bern, NC

**Historic Property Name:** N/A

**Status:**        **Contributing:**                      **Non-contributing:**                      **Vacant:** X

**NR Inventory Description (2003):** N/A.

**Sandbeck Description (1988):** N/A

**509 Queen St.** - to include construction of a one-and-a-half-story infill house on a vacant parcel.

**Staff submits the following Historic District Guidelines are appropriate to this application:**

### **Development Pattern**

- 2.1.1 Maintain the established development pattern for placement of infill construction. The relationship of a structure to the property boundaries should be similar to those up the street, down the street and in most cases, across the street.
- 2.1.2 There are areas within the historic districts where the development pattern may have been weakened by vacant lots and nonconforming structures. In such areas, preference shall be given to contributing structures when defining the development pattern for infill construction.
- 2.1.3 The footprint, scale and proportion of infill construction shall be in keeping with neighboring properties. In general, it is not appropriate to construct a three-story structure in an area that is dominated by one-story structures.

### **Utilities**

- 2.3.1 Locate equipment in Secondary and Tertiary AVCs and screen items from public view with vegetation, fencing and similar site constructions. It is recommended that utilities be consolidated in common locations.
- 2.3.2 Paint equipment and exposed utilities to compliment mounting surfaces and reduce their visibility.
- 2.3.3 Install utilities underground when possible to minimize visual clutter. Use mechanical methods to bore beneath landscaping, sidewalks, drives and fences.
- 2.3.6 Install light fixtures in locations that complement the character of historic structures and sites. It is not appropriate to replace original light fixtures. Lighting shall emit a white light. Illumination shall provide visibility and security without overemphasizing a structure, parking area or site.

### **Landscaping**

- 2.4.3 Use plant materials that are indigenous to the historic districts. It is not appropriate to use contemporary edging materials such as landscaping timbers or plastic borders.
- 2.4.4 Incorporate trees, shrubbery, and other landscape features around the periphery of a lot and within parking areas.
- 2.4.7 Create focal points that highlight public art, statuary, fountains, and structures such as pergolas and gazebos. Place these elements in areas that do not obscure historic buildings or their architectural features.



## **Certificate of Appropriateness Findings and Recommendations**

HPC Regular Meeting – April 20, 2022

### **Parking**

- 2.7.4 Contain loose paving materials within masonry, concrete, steel, or similar types of fixed edging. It is not appropriate to use contemporary drive and parking edging materials such as landscape timbers or plastic borders.

### **Design Principles**

- 3.1.1 Consider the scale, mass and proportion inherent to the surrounding historic development pattern, and design modifications that incorporate these characteristics. Use basic shapes and forms that are common to the historic districts.
- 3.1.2 Windows, doors and openings shall be compatible in proportion, shape, location, size, and quantity with those on surrounding historic structures. Avoid large expanses of blank walls. Establish bays, visually subdivide facades, and delineate building elevations to create form and rhythm.
- 3.1.3 Discretely use rooftop appurtenances such as spires, cupolas, and towers to articulate rooflines. Compliment the scale, form and proportion of the structure, and use rooftop appurtenances to identify a building entry or similar massing focal point.
- 3.1.4 Use details to articulate facades, and the openings within facades. Appropriately detail the base, body, and edges of facades to create texture and visual interest.
- 3.1.5 Avoid creating a false sense of historical development. It is not appropriate to apply historic architectural styles to infill construction. Creative interpretation of traditional detailing and ornamentation is encouraged.

### **Infill Construction**

- 3.4.1 Maintain the relationship between building mass and open space that exists on the block or streetscape.
- 3.4.2 The predominant material of an infill building shall visually emulate the palette of materials traditionally found in the historic districts.
- 3.4.3 Use of modern materials is acceptable as a means of continuing the evolution of architecture through time. However, the use of aluminum and vinyl siding, faux brick and stone, stamped concrete and similar imitation materials is not appropriate.
- 3.4.4 Contemporary materials shall be appropriately proportioned, used in traditional ways and installed in a traditional manner.

### **Foundations**

- 4.1.3 Use traditional materials when constructing foundations. Concrete block should receive a veneer of stucco, brick, or other appropriate masonry material.
- 4.1.4 Locate foundation features such as vents and access doors in areas that will not detract from the architectural character of the building. Coordinate with other architectural features when possible, such as aligning vents and access doors with windows above or centering them between piers.

### **Walls, Trim and Ornamentation**

- 4.2.4 Incorporate wood trims and articulate masonry appropriately for the application.

### **Windows, Doors and Openings**

- 4.3.2 Add window and door openings in Secondary or Tertiary AVCs in locations that do not diminish the original design. In general, openings shall have a vertical orientation or be square.

## **Certificate of Appropriateness Findings and Recommendations**

HPC Regular Meeting – April 20, 2022

- 4.3.3 Glazing should have true divided light muntins, or three-dimensional grilles affixed to both the interior and exterior of the glass. Provide shadow bars between insulated glass panes.

### **Entrances**

- 4.4.4 Provide porches, entrance doors, railings, and other ornaments that proportionally relate to the building. Appropriate balustrades often convey a heavier visual appearance. Center balusters between the top and bottom rails and space them about three inches apart.

### **Roofs**

- 4.5.6 Locate rooftop appurtenances such as ventilators, antennae, satellite dishes, mechanical equipment and similar items in a manner that is not visible from the public right of way.

### **Masonry**

- 5.1.3 The size, color, texture and bond, or pattern, of masonry and mortar creates the intended finished appearance. It is not appropriate to paint masonry that has not been previously painted.
- 5.1.5 Provide a veneer of brick, stucco, or other appropriate material over concrete masonry units. Architectural concrete masonry units such as rusticated, split face or similar types may be substituted for stone masonry construction.
- 5.1.6 It is not appropriate to use water repellants or sealers on masonry because these treatments often trap moisture and accelerate spalling.

### **Metals**

- 5.3.3 Use full weld iron and steel fabrication techniques. Welds shall be properly dressed, or ground smooth.
- 5.3.4 Provide aluminum fabrications with welded joints or blind, mechanical connections having concealed fasteners.

### **Paint**

- 5.4.2 Select paint and sealant coatings that are harmonious with adjoining work. In general, new material shall be a compatible formulation with the substrate of application.
- 5.4.3 Apply primer coatings to front and back of wood surfaces prior to cutting and fitting. Prime end cuts before installation. Apply finish paint coatings to exposed primed surfaces.
- 5.4.4 Consider using opaque stain in lieu of paint on flooring, fencing, and similar wood surfaces exposed to foot traffic or weather.
- 5.4.6 It is not appropriate to apply paint, water repellent or sealant coatings to unpainted surfaces such as masonry, stone, copper, and bronze.

### **Contemporary Materials**

- 5.5.1 In general, contemporary material shall match the dimension, shape and texture of their counterparts commonly found in the historic districts.
- 5.5.2 Use contemporary and nontraditional materials in traditional ways. Apply materials in a traditional manner that conveys the same visual appearance as historic materials.
- 5.5.3 Contemporary and nontraditional materials should convey appropriate historic material characteristics, and will be evaluated on a case-by-case basis for appearance, dimension, texture, color, sheen, visual weight and similar characteristics.



## **Certificate of Appropriateness Findings and Recommendations**

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- 5.5.5 Cement board with a smooth finish is acceptable as the predominant siding material for infill construction and non-historic accessory structures.
- 5.5.6 Contemporary materials such as synthetic slate and fiberglass asphalt shingles are acceptable for sloped roofing regardless of building age. Select fiberglass asphalt shingles from a darker color palette. Contemporary membrane and roll roofing are acceptable for low-sloped roofs with a 1 inch per foot pitch or less regardless of building age.

**Statements of Reason**, based on the information contained in the application, in Staff's judgment are:

1. The project is located in the *Tight Weave* development pattern;
2. The proposal is an infill project;
3. The proposed design, components, and materials meet the requirements of the Guidelines;
4. The Zoning Administrator and the Chief Building Official have reviewed this project and commented accordingly;
5. The project is not incongruous with the Guidelines.

### **MOTION**

**Staff recommends the Commission approve this application to include construction of a one-and-a-half-story infill house on a vacant parcel, with the following condition:**

- **This CoA is not valid and construction may not begin until the applicant provides to the HPA the drawings, details, and description of the utilities, exterior lighting, and landscaping for this project and the HPA has reviewed the information and approves, by issuing an amended CoA, the installation of said utilities, lighting, and landscaping.**

4. Old Business (non-hearing items tabled or continued from a previous meeting): none
5. General Public Comments
6. New Business: none
7. HPC Administrator's Report:
  - A. Report on CoAs Issued 03/09/2022 – 04/12/2022  
MAJORS, including AMENDMENTS:
    1. 212 Change St. – rear porch extension, extended roof overhang, pergola, landscaping, gateway, closet
    2. 404 Avenue C – AMENDMENT – porches, garage gable
    3. 521 E. Front St. – garage roof and garage doorsMINORS:
    1. 312 Metcalf St. – driveway, walkway, deck, free-standing fence
    2. 511 New St. – pool
    3. 760 E. Front St., Slip D – boat lift, 4 pilings
    4. 813 N. Cool St. – gate
  - B. Report on CoA Extensions Issued since the Prior Regular Meeting: None
  - C. Other Items and Updates
8. Commissioners' Comments
9. Adjourn