

# AGENDA

## CITY OF NEW BERN PLANNING AND ZONING BOARD

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Thursday, April 18, 2024 – 5:30 P.M.  
City Hall Courtroom, 2<sup>nd</sup> Floor  
300 Pollock Street, New Bern, NC 28560



### I. CALL TO ORDER

### II. ROLL CALL

### III. PLEDGE OF ALLEGIANCE

### IV. CHAIRMAN'S REMARKS

### V. COMMENTS

- Public Comment

### VI. ACTION ITEMS

- |   |                               |
|---|-------------------------------|
| <b>A. <u>West New Bern Phase 3 (General Plan)</u></b>                       | <b>(CSP-002816-2023)</b>      |
| <b>Parcel Identification Numbers:</b> 8-209-24008, 8-209-24009, 8-209-28000 | <b>Acreage:</b> 45.33 (Total) |
| <b>Current Zoning:</b> Residential 6 (R-6)                                  | <b>Proposed Lots:</b> 130     |
| <b>Location:</b> Clock Road   |                               |
| <b>Property Owners:</b> Weyerhaeuser Real Estate Development Company        |                               |
| <b>Applicant:</b> Scott Anderson  |                               |
| <br>  |                               |
| <b>B. <u>Belle Oaks Phase VI (Six) (Final Plat)</u></b>                     | <b>(SUBMAJ-002856-2024)</b>   |
| <b>Parcel Identification Numbers:</b> 8-207-090                             | <b>Acreage:</b> 8.215 (Total) |
| <b>Current Zoning:</b> Residential 8 (R-8) & Residential 10S (R-10S)        | <b>Proposed Lots:</b> 26      |
| <b>Location:</b> Fishing Creek Drive  |                               |
| <b>Property Owners/Applicant:</b> Belle Oaks II, LLC                        |                               |
| <br>  |                               |
| <b>C. <u>Chambray at Carolina Colours (Final Plat)</u></b>                  | <b>(SUBMAJ-002857-2024)</b>   |
| <b>Parcel Identification Numbers:</b> 7-104-14008                           | <b>Acreage:</b> 21.09 (Total) |
| <b>Current Zoning:</b> Residential 8 (R-8)                                  | <b>Proposed Lots:</b> 27      |
| <b>Location:</b> Bayberry Park Drive  |                               |
| <b>Property Owners:</b> Overlook Holdings, LLC                              |                               |
| <b>Applicant:</b> Thomas Engineering, PA (John G. Thomas)                   |                               |

### VII. ADJOURNMENT

*Individuals with disabilities requiring special assistance should call 639-7501  
no later than 3:00 p.m. on the day of the meeting.*

**Development Services**  
**SUBDIVISION GENERAL**  
**PLAN REVIEW APPLICATION**

**FEE: \$161.00**



**Bradleigh Sceviour**  
**(252) 639-7582**  
**DRC@newbernnc.gov**  
**Fax: (252) 636-2146**  
**303 First St.**  
**New Bern, NC 28560**

Date Submitted: November 20, 2023 Date of Review: December 1, 2023  
Subdivision Name: West New Bern - Phase 3  
Address: Clock Road, New Bern, NC Phone: 252-565-1015  
Email: scott@arkconsultinggroup.com Fax: \_\_\_\_\_  
Applicant Name (Please Print): Scott Anderson

**REQUIREMENTS**

Submit <sup>3 folded sets & 1 electronic</sup> ~~14 folded sets of complete site plans~~ and one CD containing electronic copies of submittal package in a PDF, TIFF or JPEG to the Office of Department Review Coordinator of the City of New Bern.

**PLEASE NOTE:** Department Review meetings are held on the 2nd and 4th Friday of each month at 9:00 a.m. in the Development Services Department Conference Room, 303 First Street. Applicants must submit applications by 12:00 p.m. on the 1st and 3rd Monday of each month.

The site plan review process must be completed prior to submitting applications for consideration by the Planning and Zoning Board.

Drawing Scale: 1" = 100' or larger

Drawing Sheet Size: 18" x 24" or larger for mylar

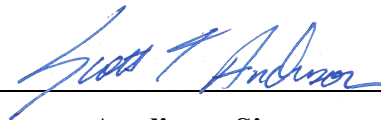
Site plans shall be prepared by a registered professional surveyor, landscape architect, architect or engineer. The plan shall contain the following information:

- X      1. Title, date, north point and graphic scale
- X      2. Name of owner, surveyor, and/or planner. Name of development, **plus all addresses supplied by E-911**, must be shown in order for application to be considered.
- X      3. Sketch vicinity plan including surrounding street system
- X      4. Boundaries of tract to be subdivided showing bearings and distances
- X      5. Zoning classifications of tract to be subdivided and adjoining properties
- X      6. Names of all adjoining property owners
- X      7. Proposed minimum setback lines
- X      8. Existing and platted property lines, streets, buildings, watercourses, sewers, water mains (existing and proposed), transmission lines, bridges, culverts and easements (both public and private)



- X 9. Site plan of existing conditions including wooded areas, marshes, wetlands, etc.
- X 10. Other proposed rights-of-way and easements
- X 11. Proposed lot lines, lot numbers, building envelopes in the case of PUD's, and approximate Dimensions
- X 12. Contour map-one foot intervals based on sea level data
- X 13. Proposed plantings, mini-parks, school sites, public open space, if applicable
- X 14. Provisions for the maintenance of open space and parks including draft of conversation easement, if applicable
- TBD 15. Profiles showing grade of streets, sewers, water lines, etc.
- X 16. Plans for proposed utilities, including water, gas, sanitary sewer, storm drainage, electric, tele phone, cable, etc.
- X 17. Proposed planting plan, including type and details of required screening
- TBD 18. Postal enumeration of each lot in subdivision
- TBD 19. Verification of submission of stormwater management and sedimentation erosion control plans, if applicable
- X 20. Statement by developer that wetlands are not present on site or that appropriate permits are being sought
- X 21. Site data chart containing: a) acreage in tract; b) acreage in open space, parks or schools; c) average lot size; d) total number of lots; and e) linear feet in streets

**Additional information may be required based on the results of staff plan review as set forth in section 15-49 of the New Bern Land Use Ordinance.**



**Applicant Signature**

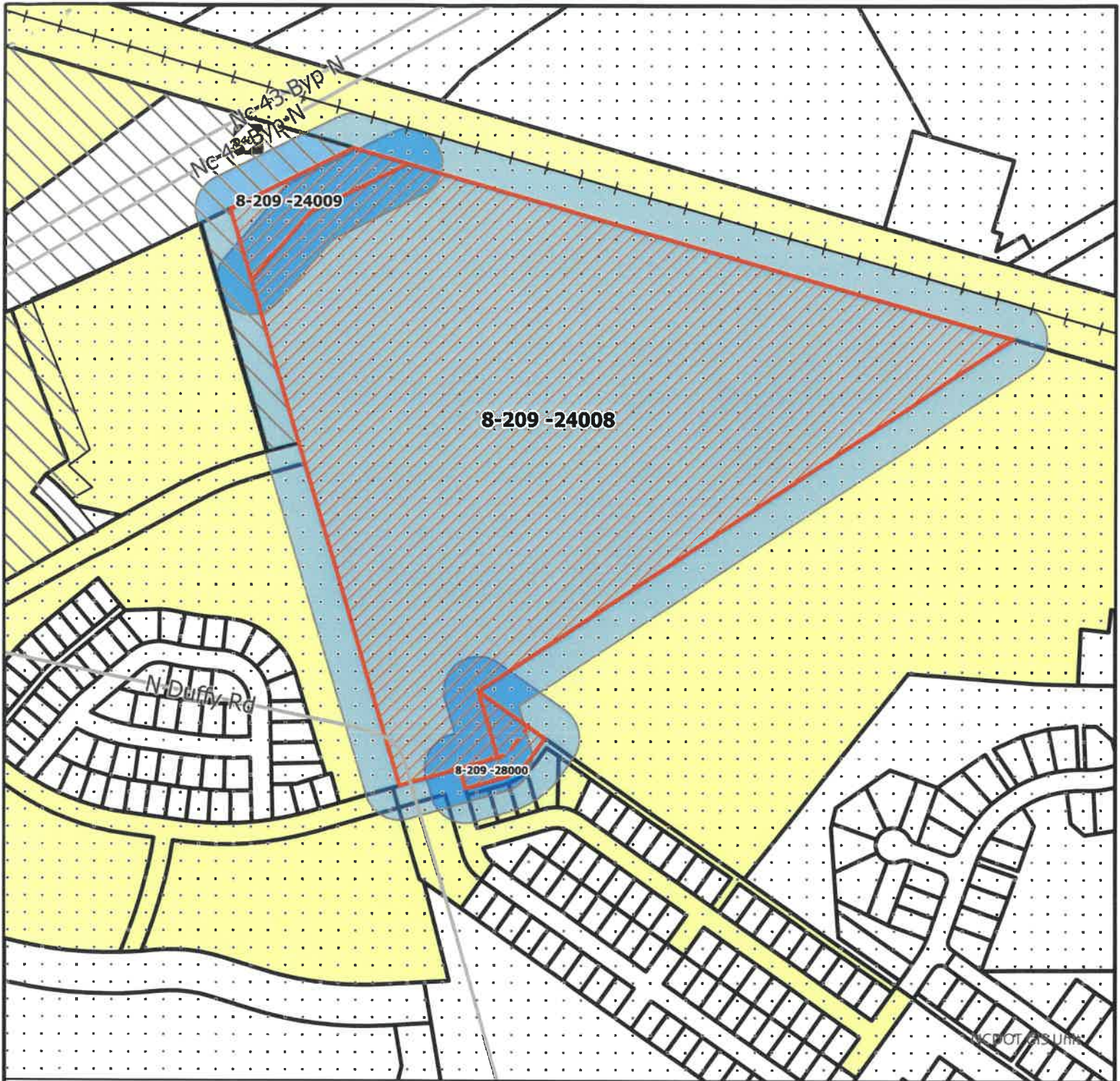
Questions may be directed to: Bradleigh Sceviour at (252) 639-7582 or email: [DRC@newbernnc.gov](mailto:DRC@newbernnc.gov).

Department Review Process Applicant Response should be directed to: [DRC@newbernnc.gov](mailto:DRC@newbernnc.gov).

**FOR LANDSCAPING INFORMATION, PLEASE REFER TO**

<http://www.newbern-nc.org/departments/development/forms-documents/>

**FORMS & DOCUMENTS: Plant plan sample and Plant list & symbols**



- +— Railroad
- Roads
- - - Parcel split lines

- ▬ Parcels
- ▨ Parcels: West New Bern Ph 3
- 100 ft Buffer

- Parcels in 100 ft Buffer
- ▬ City Limits
- ▨ ETJ

**CSP-002816-2023, West New Bern, Phase 3 PUD**  
**Parcel ID: 8-209-24008, 8-209-24009, 8-209-28000**  
**Type of Development: Planned Unit Development (PUD)**  
**Type of Subdivision Plan: General Plan**  
**Proposed Number of Lots: 130**  
**Total Acres: 45.33**  
**Zoning District: R-6**

Imagery Flown: Early 2021. Print Date: 4/4/2024  
 This map is intended for reference only. All dimensions are approximate.  
 As per NCGS 132-10, this map is not to be resold or otherwise used for commercial purposes.



**NEW BERN**

**CITY OF NEW BERN**

**Development Services**



1 inch equals 400 feet

0 300 600 Feet



To: Scott Anderson

From: Kendrick Stanton, CZO, Land and Community Development Administrator

RE: CSP-002816-2023, DRC Comments – West New Bern – Phase 3

Date: 12/22/2023

The following comments were generated from DRC.

**Planning/Zoning**

- List the adjacent property uses (Residential, Commercial, Vacant).
- Contact information for questions: **Ph: 252-639-7582**

**MPO**

- No comment.
- Contact information for questions: **Ph: 252-639-7592**

**Police Department**

- No comment.
- Contact Information for questions: **Ph: 252-672-4293**

**Fire Marshal**

- Indicate fire hydrant location on plans and resubmit for review.
- Cul-de-sac on street B shall be a minimum of 84 feet in diameter without on-street parking to meet FD apparatus turning radius (see attachment). Prefer 96 feet.
- Contact information for questions: **Ph: 252-639-2961**

**Building Inspector**

- No comment.
- Contact information for questions: **Ph: 252-639-2945**



### Department of Public Utilities

- Will need a copy of electrical plans showing the connected load, voltage requirements, and electrical riser diagrams of new construction.
- Area lights can be provided if requested and a light contract is created.
- An easement with the City of New Bern Electric Department will need to be signed for installation of the electric lines and use of the designated easement areas as indicated on the plan (if needed).
- Will need to contact the Electrical Department by email at [engineering@newbernnc.gov](mailto:engineering@newbernnc.gov) or by phone at 252-639-2827 or 252-639-2835 to meet on site once the project is ready to be scheduled.
- Service to the site is subject to material lead times as well as fees based upon the expected construction costs and load being connected.
- A Line Extension Agreement will need to be executed and any associated invoicing paid in full prior to the electric department ordering materials or beginning construction.
- City of New Bern Utilities customer account must be established prior to temporary electric service for construction.
- Contact information for questions: Ph: 252-639-2827

### Craven County Health Department

- No comment.
- Contact information for questions: Ph: 252-636-4936

### Public Works

- Driveway Permits will need submitted for access to each parcel.
  - Due to performance issues, roll up curb will only be allowed in driveway aprons.
  - Sidewalk sections through driveways will need to be 6-inch thick as required by the driveway permit.
- Mail Kiosk and all associated parking shall be outside of the platted public right of way, please detail all kiosk locations on site plan. Provide written approval from area Postmaster regarding proposed kiosk.
- If on-street parking is requested indicate the locations on drawings, thermoplastic pavement marks shall be used on all City owned streets.
- Submit a pavement marking plan and traffic control signage plan with final drawing submittal.
- Any backyard drainage structure will be the responsibility of the Property Owners Association/Developer as part of any permitted City of New Bern Stormwater Permit.
  - Please provide calculations for pre and post impervious areas.
- Contact information for questions: Ph: 252-639-7500

### E911 GIS Technician/Addressing Coordinator

- Street B and Street C are not approved streets for the West New Bern Project. There was a bank of street names approved by me on 12-02-2021 for projects relating to West New Bern. Before I can assign addresses to Phase 3, I need to have correct streets listed on the plans. A listing of the approved street names is attached.

### GIS

- Need addresses and approved road names from Ronnie Compton, the E911 Coordinator.
- Contact Information for questions: Ph: 252-639-7588

### NCDOT

- No comments received. I advise checking with NCDOT directly.
- Contact information for questions: Ph: 252-649-6505

### Water Resources

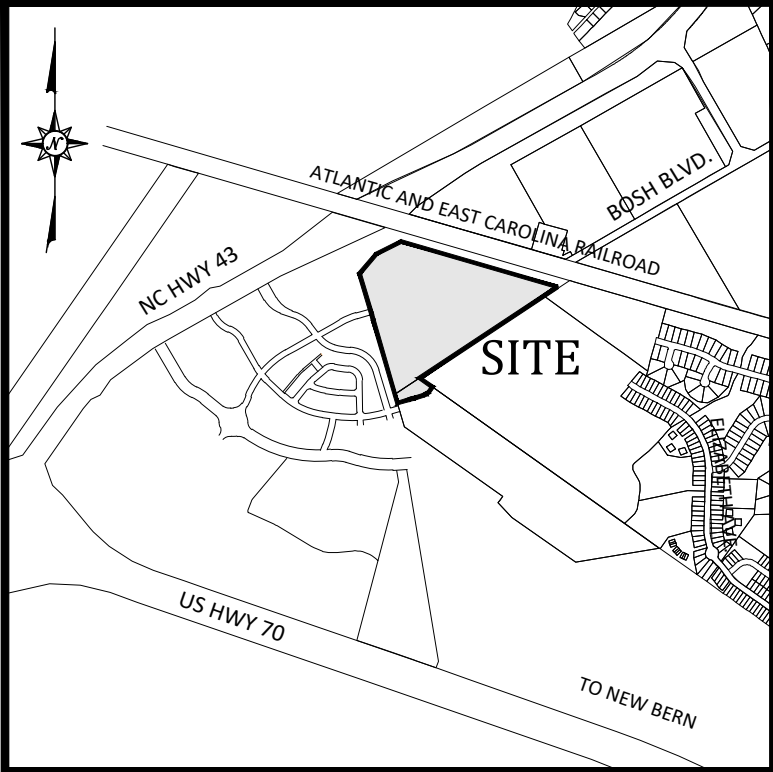
- Water and sewer service for the proposed project will be provided by the City of New Bern.
- Two complete sets of utility construction plans shall be submitted to the Department of Public Utilities (Water Resources Administration) for a complete review of the water & sewer systems.
- This project will involve an extension of the City's water and sanitary sewer systems and each extension will need to be permitted through the appropriate state agencies. Permit applications can be submitted for review along with the plans and specifications.
- Water and Sewer System Development and Connection Fees will be required for the project. All System Development and connection fees shall be paid prior to receiving a building permit for the project and Mrs. Melissa Garris (252) 639-7596 can provide a quote of the applicable system development and connection fees for the proposed project.
- The City's Water Resources Project Coordinator, Mr. David Tennant shall be contacted at (252) 639-7523, at least 24 hours in advance of making any connection to the existing New Bern water and/or sewer systems.
- All water and sewer system construction and connection installation shall be in compliance with the "City of New Bern Water & Sewer Design Standards".
- A City of New Bern Water and Sewer Use Agreement will be required for the project.
- Contact information for questions: Ph: 252-639-7523

### Parks & Recreation

- No comment received.
- Contact information for questions: Ph: 252-639-2902

Please submit an electronic PDF file to my email, [Stanton.Kendrick@NewBernNC.gov](mailto:Stanton.Kendrick@NewBernNC.gov) and one (1) physical plan on 18" X 24" paper of the revised site plan by Friday, March 22, 2024. Failure to submit the revised plans or request an extension by the date indicated will constitute a denial of the plan, and a full resubmission would be required. If you have any questions, you may contact us.





Vicinity Map  
SCALE: 1" = 1000'

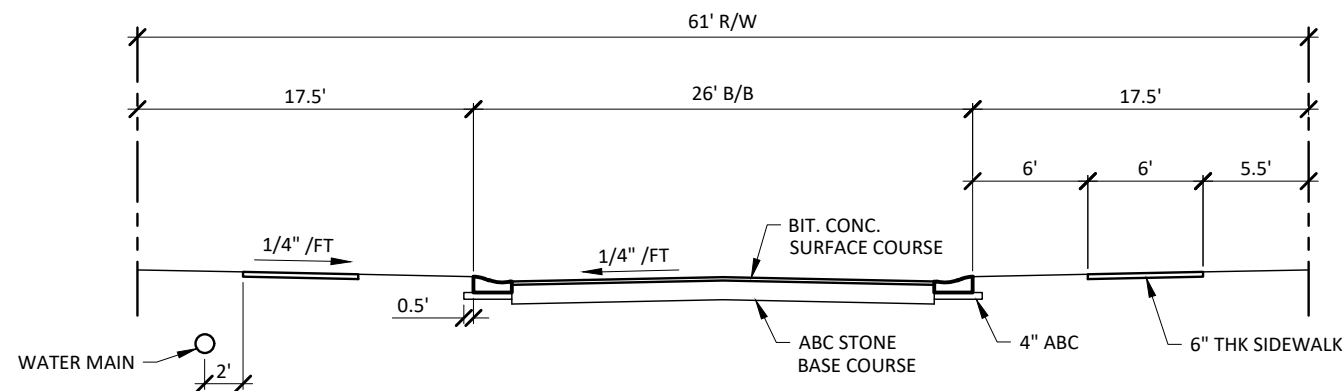
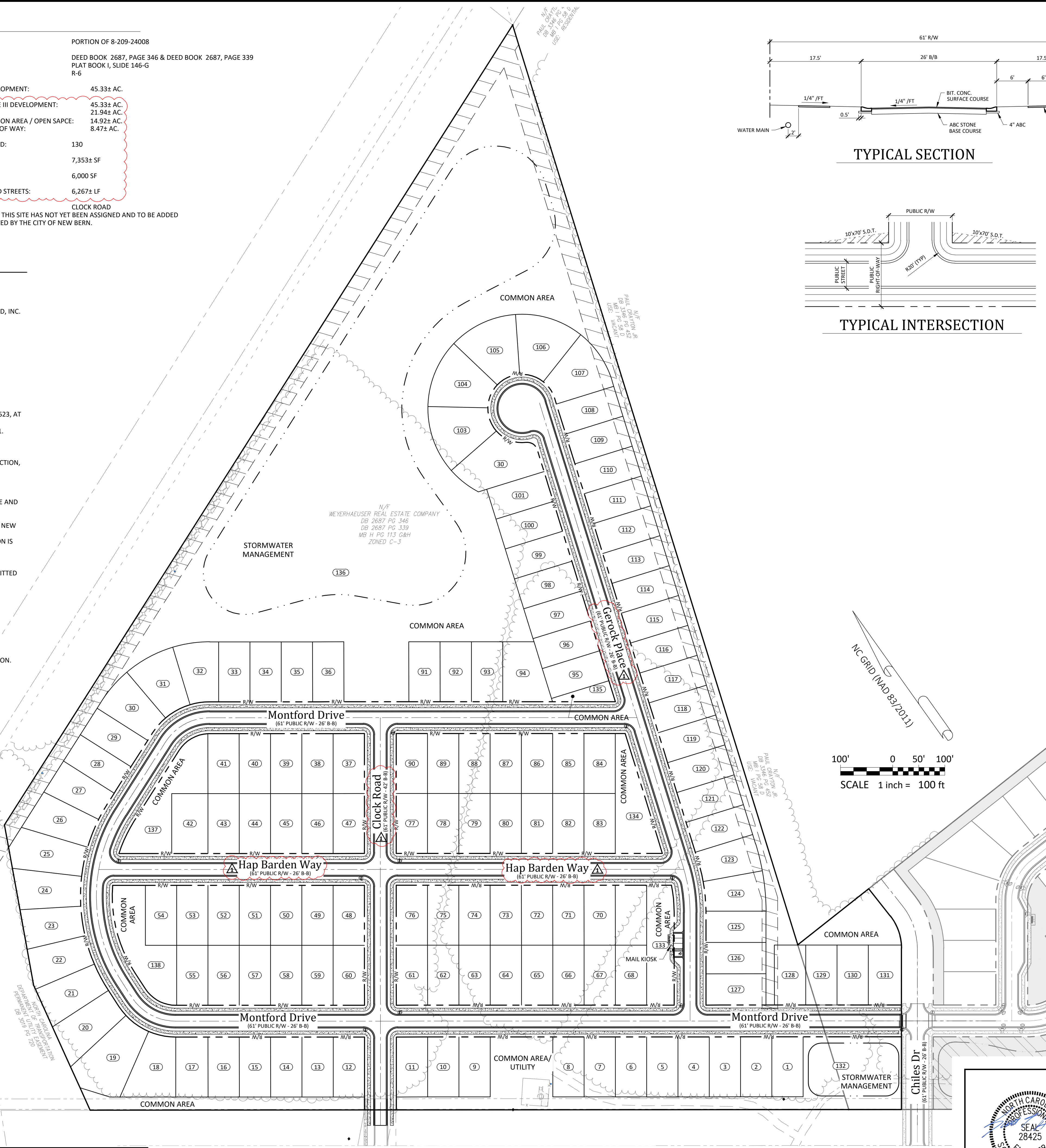
### General Notes:

- THE EXISTING SITE IS CURRENTLY PARTIALLY FORESTED.
- ALL LOGGING SLASH MUST BE REMOVED FROM SITE.
- NO OPEN BURN PERMIT WILL BE ISSUED.
- ALL COMMON AREAS AS SHOWN ARE TO BE DEDICATED TO THE PROPERTY OWNER'S ASSOCIATION.
- BOUNDARY AND TOPOGRAPHIC SURVEY INFORMATION SHOWN HEREON TAKEN FROM SURVEY PERFORMED BY MCKIM AND CREED, INC.
- ELEVATIONS ARE BASED ON NAVD 88.
- EXISTING CONTOUR INTERVALS SHOWN ARE AT ONE FOOT.
- THIS PROJECT SITES WITHIN ZONE "X" AS PER FLOOD INSURANCE RATE MAP 3720556000K, DATED JUNE 19, 2020, AND AS ESTABLISHED BY FEMA.
- THIS PROJECT IS NOT IN AN AREA OF ENVIRONMENTAL CONCERN.
- THIS SITE CONTAINS NO SECTION 404 WETLANDS.
- THIS SITE CONTAINS NO BLUE-LINE STREAMS OR ASSOCIATED RIPARIAN BUFFERS.
- RECEIVING STREAM FOR THIS PROJECT IS AN UNNAMED TRIBUTARY TO THE NEUSE RIVER.
- PROPOSED WATER SERVICE OWNER IS THE CITY OF NEW BERN.
- PROPOSED SEWER SERVICE OWNER IS THE CITY OF NEW BERN.
- PROPOSED WATER & SEWER SERVICE LOCATIONS ARE AS SHOWN.
- WATER AND SEWER SYSTEM DEVELOPMENT CONNECTION FEES MUST BE PAID PRIOR TO RECEIVING BUILDING PERMIT.
- CONTRACTOR TO CONTACT MR. DAVID TENNANT, CITY OF NEW BERN WATER RESOURCE PROJECT COORDINATOR, AT (252) 639-7523, AT LEAST 24-HOURS PRIOR TO MAKING ANY CONNECTIONS TO EXISTING NEW BERN WATER AND/OR SEWER SYSTEMS.
- REFUSE SERVICE TO BE PROVIDED BY THE CITY OF NEW BERN (INDIVIDUAL CONTAINERS), CONTACT PUBLIC WORKS (252) 639-7501.
- ELECTRICAL TO BE DESIGNED AND PROVIDED BY THE CITY OF NEW BERN.
- DEVELOPER TO INSTALL ALL ROAD CROSSINGS AS REQUIRED BY THE CITY OF NEW BERN; CITY WILL PROVIDE CONDUIT AND ROAD CROSSING LOCATIONS.
- FOR ELECTRIC INSTALLATION, GRADE NEEDS TO BE WITHIN 6" OF FINAL, RIGHT-OF-WAY & EASEMENT MUST BE CLEAR OF OBSTRUCTION, AND ALL PROPERTY CORNERS STAKED AND NUMBERED.
- A 10' UTILITY EASEMENT WILL BE PROVIDED TO THE CITY OF NEW BERN TO COVER THE ELECTRIC SYSTEM.
- ALL PROPOSED ELECTRICAL, CABLE, TELEPHONE, AND OTHER COMMUNICATION WIRING SHALL BE INSTALLED UNDERGROUND.
- DESIGN OF ELECTRICAL, CABLE, TELEPHONE, GAS, ETC. UTILITIES SHALL BE BY OTHERS.
- STORM DRAINAGE SHALL BE REINFORCED CONCRETE PIPES AND HIGH PERFORMANCE POLYPROPYLENE. SIZE OF STORM DRAINAGE AND UTILITY PIPING IS TO BE DETERMINED.
- ALL REQUIRED IMPROVEMENTS SHALL CONFORM TO THE CITY OF NEW BERN DESIGN MANUAL.
- NCDEQ ESC PERMIT IS REQUIRED AND ARE TO BE APPLIED FOR ONCE OVERALL LOT CONFIGURATION IS APPROVED BY THE CITY OF NEW BERN.
- CITY OF NEW BERN AND NCDEQ STORMWATER PERMITS ARE REQUIRED WILL BE APPLIED FOR ONCE OVERALL LOT CONFIGURATION IS APPROVED BY THE CITY OF NEW BERN.
- NCDEQ - PUBLIC WATER SUPPLY (PWS) PERMIT IS REQUIRED.
- NCDEQ SANITARY SEWER EXTENSION PERMIT IS REQUIRED.
- UPON APPROVAL OF THE GENERAL PLAN, SUBMISSION OF CONSTRUCTION DRAWINGS AND PERMIT APPLICATIONS WILL BE SUBMITTED TO THE APPROPRIATE AGENCIES FOR REVIEW AND APPROVAL.
- TWO COMPLETE SETS OF UTILITY CONSTRUCTION PLANS WILL BE SUBMITTED TO THE DEPARTMENT OF PUBLIC UTILITIES (WATER RESOURCES ADMINISTRATION) FOR A COMPLETE REVIEW OF THE WATER AND SEWER SYSTEM.
- PROPOSED GRADING AND TOPOGRAPHY TO BE SHOWN ON FULL CONSTRUCTION PLAN AND PROFILE DRAWINGS.
- STREET SIGNS ARE TO BE ADDED TO THE STREETS UPON SITE WORK COMPLETION.
- WATER MAIN SIZES AS SHOWN ARE PRELIMINARY AND ARE SUBJECT TO CHANGE, BASED ON WATER HYDRAULIC MODELING AND CORRESPONDENCE WITH THE CITY OF NEW BERN ENGINEERING DEPARTMENT.
- WATER INSTALLATIONS MUST MEET FIRE HYDRANT AND FLOW REQUIREMENTS OF APPENDIX 'B' AND 'C' OF THE NC FIRE CODE.
- PLOT PLANS FOR ANY GIVEN LOT ARE REQUIRED BY THE CITY OF NEW BERN.
- ALL PROPOSED CORNERS ARE TO BE MARKED WITH IRON PIPES WHERE SHOWN.
- OPEN SPACE SHALL BE MAINTAINED BY THE DEVELOPER UNTIL SUCH TIME AS IT IS DEEDED TO THE PROPERTY OWNERS ASSOCIATION.
- TREES ALONG STREETS SHALL COMPLY WITH SECTION 15-382 OF THE CITY OF NEW BERN LAND USE ORDINANCE.

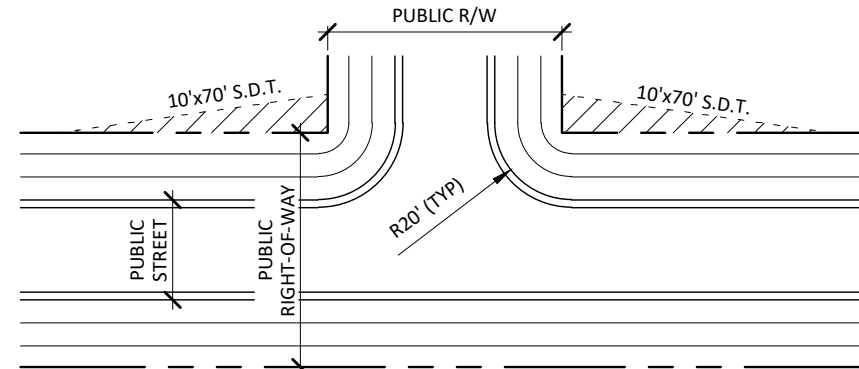
### Site Data

TAX PARCEL ID:	PORTION OF 8-209-24008
DEED REFERENCE:	DEED BOOK 2687, PAGE 346 & DEED BOOK 2687, PAGE 339
MAP REFERENCE:	PLAT BOOK I, SLIDE 146-G
CURRENT ZONING:	R-6
TOTAL ACREAGE IN DEVELOPMENT:	45.33± AC.
TOTAL ACREAGE IN PHASE III DEVELOPMENT:	45.33± AC.
ACREAGE IN LOTS:	21.94± AC.
ACREAGE IN COMMON AREA / OPEN SPACE:	14.92± AC.
ACREAGE IN RIGHT OF WAY:	8.47± AC.
NUMBER OF LOTS CREATED:	130
AVERAGE LOT SIZE:	7,353± SF
MINIMUM LOT SIZE:	6,000 SF
LINEAR FEET IN PROPOSED STREETS:	6,267± LF

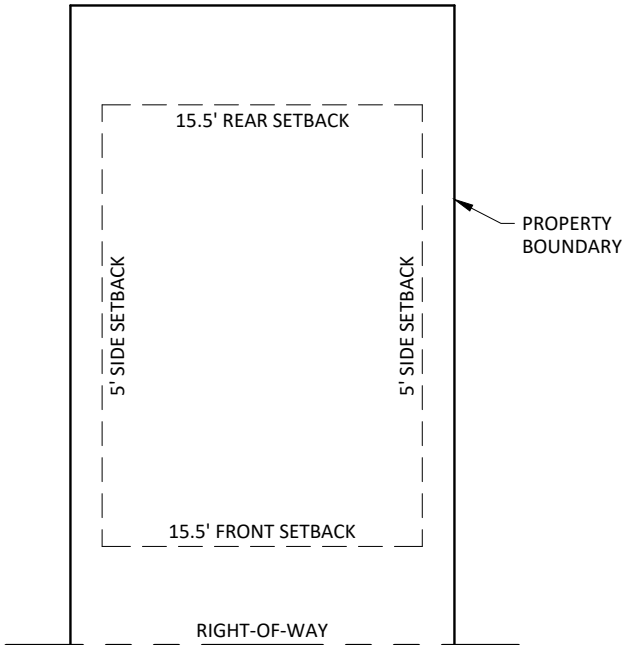
ADDRESS: CLOCK ROAD  
\*PROPERTY ADDRESS FOR THIS SITE HAS NOT YET BEEN ASSIGNED AND TO BE ADDED ONCE PROJECT IS APPROVED BY THE CITY OF NEW BERN.



TYPICAL SECTION



TYPICAL INTERSECTION



TYPICAL LOT

### Sheet Index

#	Title
C1	Cover / Phase 3 Overall General Plan
C2	General Plan
C3	General Plan
REF	Survey - McKim & Creed (3 sheets)

### Engineer

Ark Consulting Group, PLLC  
2755 Charles Blvd - Suite B  
Greenville, NC 27858  
(252) 558-0888

Contact: Scott Anderson, PE  
scott@arkconsultinggroup.com

### Landowner / Developer

Weyerhaeuser Real Estate Development Company  
100 Professional Center Drive  
Brunswick, GA 31525

Contact: Tim Jackson, PE, AICP  
(407) 808-5655  
tim.jackson@weyerhaeuser.com

## PLANNED UNIT DEVELOPMENT

SHEET: 1 of 3 PARCEL ID # 8-209-24008

### GENERAL PLAN - OVERALL LAYOUT West New Bern - Ph. III

City of New Bern, Township 8, Craven County, North Carolina

DEVELOPER: Weyerhaeuser Real Estate Development Company

ADDRESS: 100 Professional Center Drive, Brunswick, GA 31525

PHONE: (407) 808-5655



SURVEY: BY OTHERS (McKim & Creed)	APPROVED: STA
DRAWN: BAB/DLC	DATE: November 20, 2023
CHECKED: JDW	SCALE: 1" = 100'



3/21/2024

ACG Dwg No. D-1157-PP

1	21-MAR-24	REVISED PER REVIEW & OWNER COMMENTS
#	DATE	DESCRIPTION
REVISIONS:		

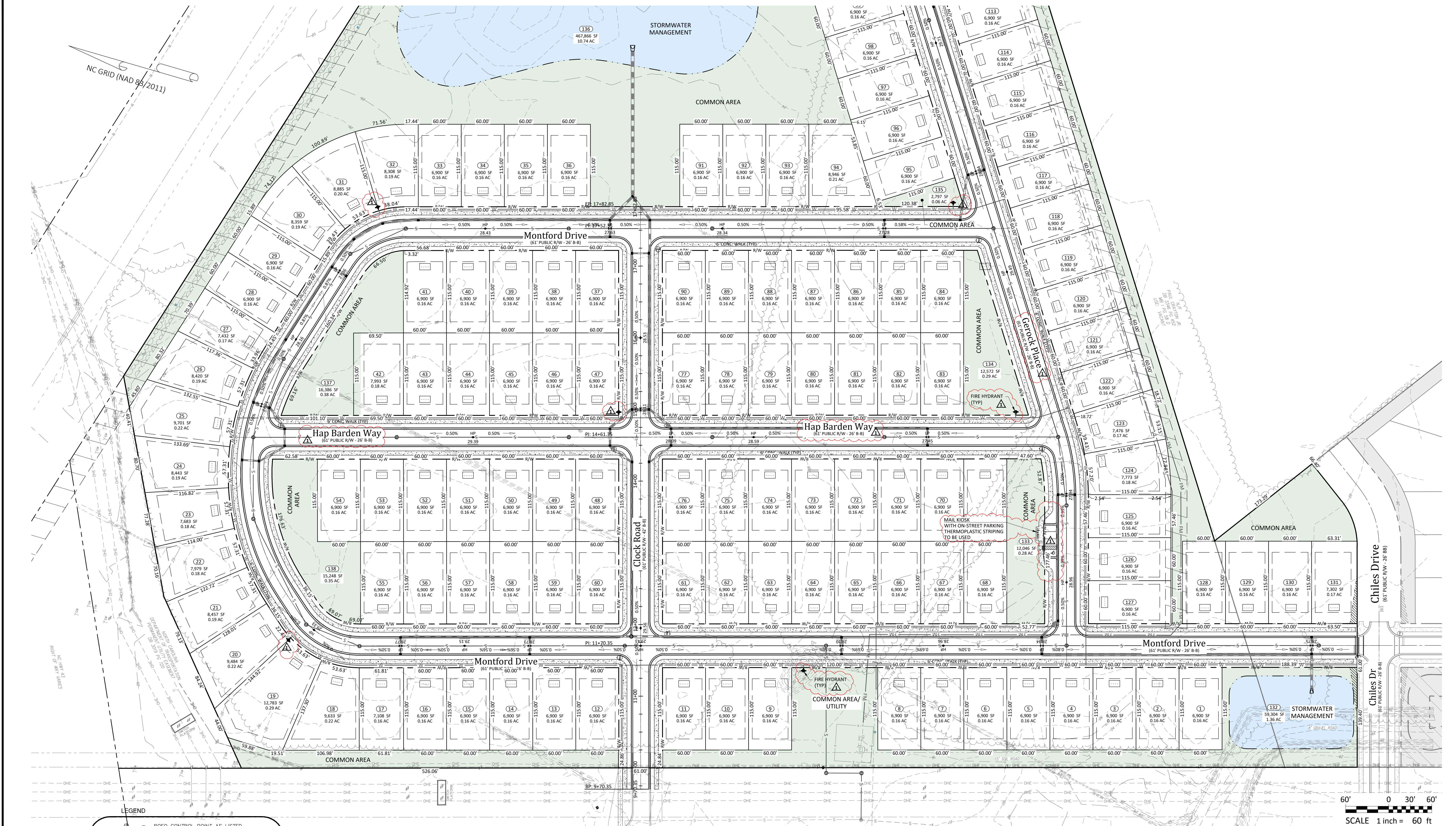
### LEGEND

⊕	=	ROFO CONTROL POINT AS LISTED
HT	=	HUB AND TACK
NS	=	60D NAIL SET
DB	=	DEED BOOK
PG	=	PAGE
N/F	=	NOW/FORMERLY
BC	=	BACK OF CURB
EP	=	EDGE OF PAVEMENT
⊙	=	GROUND SHOT ELEVATION
⊙	=	SANITARY SEWER MANHOLE
⊙	=	WATER VALVE
⊙	=	FIRE HYDRANT
⊙	=	CURB INLET
⊙	=	WOODS LINE
⊙	=	STORM PIPE
⊙	=	SEWER LINE

### Survey Note:

BOUNDARY AND TOPOGRAPHIC INFORMATION SHOWN HEREON WAS PREPARED BY MCKIM & CREED, AS SHOWN ON DRAWING ENTITLED TOPOGRAPHIC AND TREE SURVEY, ROFO SITE, WEST NEW BERN, WEYERHAUSER NR COMPANY, DATED MARCH 6TH, 2020, ATTACHED TO THIS DRAWING SET FOR REFERENCE.





KNOW WHAT'S BELOW  
CALL BEFORE YOU DIG!  
1-800-485-4848  
WWW.811.ORG

LEGEND

- HT = ROFO CONTROL POINT AS LISTED
- NS = HUB AND TACK
- DB = 600 NAIL SET
- PG = DEED BOOK
- N/F = PAGE
- BC = NOW/FORMERLY
- EP = BACK OF CURB
- = EDGE OF PAVEMENT
- = GROUND SHOT ELEVATION
- = SANITARY SEWER MANHOLE
- = WATER VALVE
- = FIRE HYDRANT
- = CURB INLET
- = WOODS LINE
- = STORM PIPE
- = SEWER LINE

1 21-MAR-24 REVISED PER REVIEW & OWNER COMMENTS	
#	DATE
REVISIONS:	

ACG Dwg No. D-1157-PP

3/21/2024

SHEET: 2 of 3

PARCEL ID # 8-209-24008

**GENERAL PLAN - EXPRESS LOTS**

**West New Bern - Ph. III**

City of New Bern, Township 8, Craven County, North Carolina

DEVELOPER: Weyerhaeuser Real Estate Development Company

ADDRESS: 100 Professional Center Drive, Brunswick, GA 31525

PHONE: (407) 808-5655

**ARK CONSULTING GROUP, LLC**

ENGINEERS & PLANNERS

www.arkconsultinggroup.com

2755-B Charles Blvd., Greenville, NC 27858

(252) 558-0888

SURVEY BY OTHERS (McKim & Creed)

APPROVED: STA

DATE: November 20, 2023

CHECKED: JDW

SCALE: 1" = 60'

DATE: 03/21/2024 PROJECT: WEST NEW BERN - FREEDOM DEVELOPMENT - PHASE 3 - FINAL UTILITY PLAN - WEST NEW BERN - FREEDOM DEVELOPMENT - PHASE 3 - FINAL UTILITY PLAN - WEST NEW BERN - FREEDOM DEVELOPMENT - PHASE 3 - FINAL UTILITY PLAN



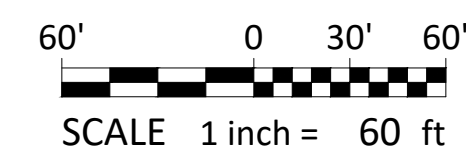


- WOODS LINE  
STORM PIPE  
SEWER LINE

COMMON AREA

STORMWATER  
MANAGEMENT

COMMON AREA



SHEET: 3 of 3

PARCEL ID # 8-209-24008

GENERAL PLAN - EXPRESS LOTS  
**West New Bern - Ph. III**


City of New Bern, Township 8, Craven County, North Carolina

DEVELOPER: Weverhaeuser Real Estate Development Company

ADDRESS: 100 Professional Center Drive, Brunswick, GA 31525

PHONE: (407) 808-5655

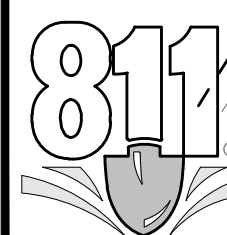


	<b>SURVEY: BY OTHERS</b> (McKim & Creed)	<b>APPROVED:</b> STA
	<b>DRAWN:</b> BAB/DLC	<b>DATE:</b> November 20, 202
	<b>CHECKED:</b> IDW	<b>SCALE:</b> 1" = 6

3/21/2024

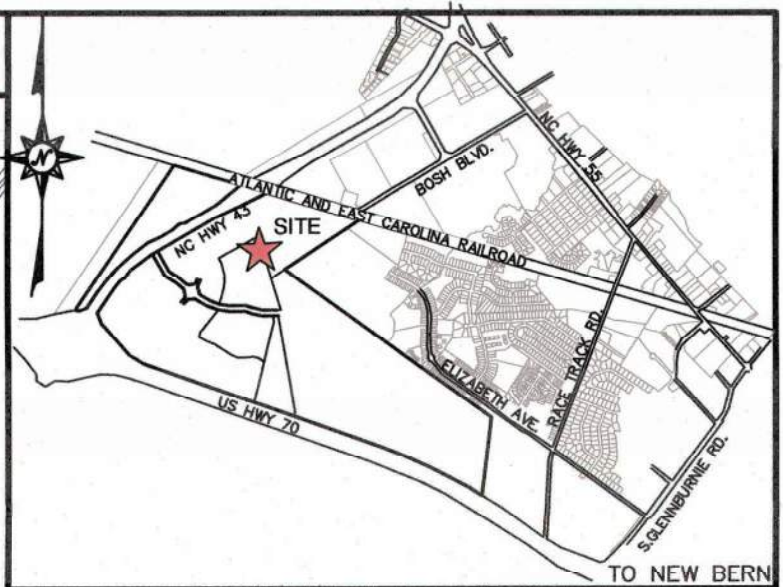
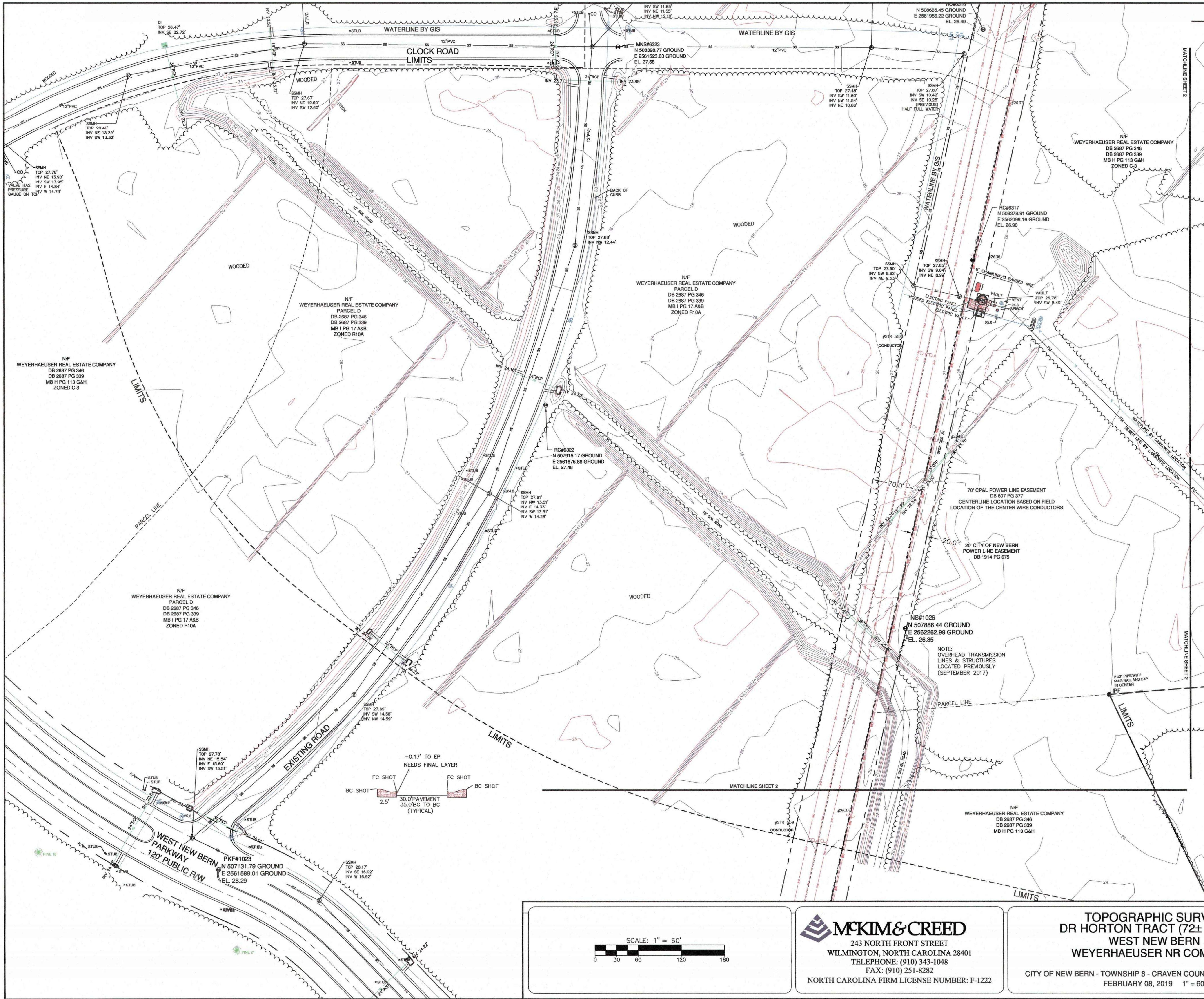
ACG Dwg No. D-1157-PF

1	21-MAR-24	REVISED PER REVIEW & OWNER COMMENTS
#	DATE	DESCRIPTION
REVISIONS:		



KNOW WHAT'S BELOW  
CALL BEFORE YOU DIG  
1-800-632-4949  
WWW.NC811.ORG





I, DAVID L. JONES, JR., PLS. L-3672, CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION FROM NC DOT PLANS; THAT THE BOUNDARY LINES NOT SURVEYED ARE INDICATED WITH DASHED LINES AS DRAWN FROM INFORMATION IN THE SAME PLAN SET; THAT THE RATIO OF PRECISION OR POSITIONAL ACCURACY IS 1:43,876; THAT THIS PLAT MEETS THE REQUIREMENTS OF THE STANDARDS OF PRACTICE FOR LAND SURVEYING IN NORTH CAROLINA (21 NCAC 56.1600).

WITNESS MY ORIGINAL SIGNATURE, LICENSE NUMBER, AND SEAL.

THIS 13<sup>th</sup> DAY OF Feb AD 2019

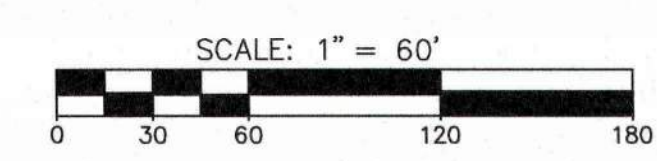
*David L. Jones, Jr.*

DAVID L. JONES, JR.  
PROFESSIONAL LAND SURVEYOR L-3672

**SEAL**  
NORTH CAROLINA  
PROFESSIONAL LAND SURVEYOR  
DAVID L. JONES, JR.  
L-3672

1. ALL DISTANCES ARE HORIZONTAL GROUND IN U.S. SURVEY FEET UNLESS OTHERWISE SHOWN.
2. BEARINGS BASED ON NC GRID NAD 83/2011, VERTICAL NAVD 88.
3. REFERENCES: AS SHOWN
4. SURVEYOR HAS MADE NO INVESTIGATION OR INDEPENDENT SEARCH FOR EASEMENTS OF RECORD, ENCUMBRANCES, RESTRICTIVE COVENANTS, OWNERSHIP, TITLE EVIDENCE, OR ANY OTHER FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE.
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6. SUBSURFACE AND ENVIRONMENTAL CONDITIONS WERE NOT EXAMINED OR CONSIDERED AS A PART OF THIS SURVEY. NO STATEMENT IS MADE CONCERNING THE EXISTENCE OF UNDERGROUND OR OVERHEAD CONTAINERS OR FACILITIES THAT MAY AFFECT THE USE OR DEVELOPMENT OF THIS TRACT.
7. THE EXISTENCE OR NONEXISTENCE OF WETLANDS ON SUBJECT PROPERTY HAS NOT BEEN DETERMINED BY THIS SURVEY.
8. SUBJECT TO ALL EASEMENTS, RIGHT OF WAYS, AND OR ENCUMBRANCES THAT MAY EFFECT THIS PROPERTY.

LEGEND	
	= LEVELLED CONTROL POINT
	= REBAR AND CAP
	= MAG NAIL SET
	= PK NAIL FOUND
	= 600 NAIL SET
	= IRP
	= IRF
	= R/W DISC
	= SANITARY SEWER MANHOLE
	= UNDERGROUND SEWER MARKER
	= WATER VALVE
	= FIRE HYDRANT
	= UNDERGROUND WATER MARKER
	= 3.5" PVC PIPE
	= RIGHT OF WAY DEED BOOK
	= PAGE
	= NOW/FORMERLY CORRUGATED PLASTIC PIPE
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	= DUCTILE IRON PIPE
	= INVERT
	= GROUND SHOT ELEVATION
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	= RIGHT OF WAY
	= STORM PIPE
	= SEWER LINE
	= RIPRAP
	= WOODS LINE

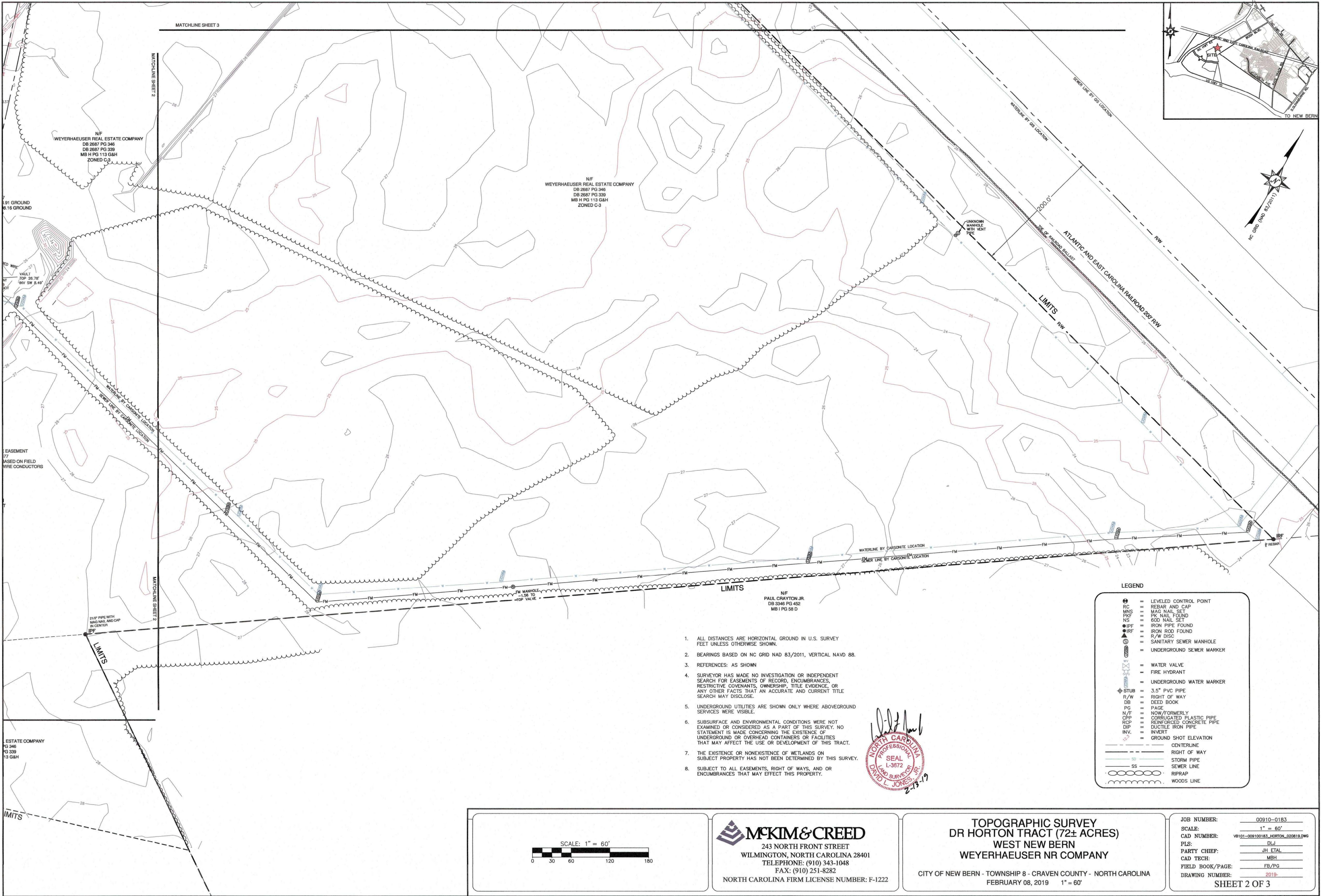


**MCKIM & CREED**  
243 NORTH FRONT STREET  
WILMINGTON, NORTH CAROLINA 28401  
TELEPHONE: (910) 343-1048  
FAX: (910) 251-8282  
NORTH CAROLINA FIRM LICENSE NUMBER: F-1222

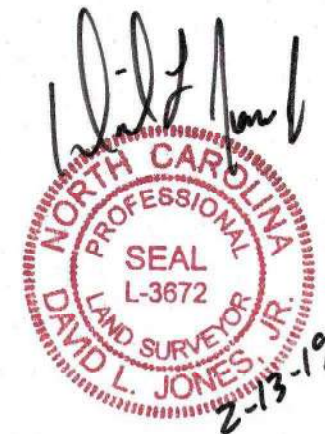
**TOPOGRAPHIC SURVEY**  
**DR HORTON TRACT (72± ACRES)**  
**WEST NEW BERN**  
**WEYERHAEUSER NR COMPANY**  
  
CITY OF NEW BERN - TOWNSHIP 8 - CRAVEN COUNTY - NORTH CAROLINA  
FEBRUARY 08, 2019 1" = 60'

JOB NUMBER: 00910-0183  
SCALE: 1" = 60'  
CAD NUMBER: VB101-009100183\_HORTON\_020819.DWG  
PLS: DLJ  
PARTY CHIEF: JH. ETAL  
CAD TECH: MBH  
FIELD BOOK/PAGE: FB/PG  
DRAWING NUMBER: 2019-  
**SHEET 1 OF 3**

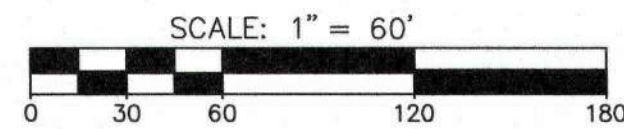




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LEGEND	
●	LEVELED CONTROL POINT
○	REBAR AND CAP
✱	MAG. NAIL SET
✱	PK. NAIL FOUND
✱	60D NAIL SET
●	IRON PIPE FOUND
●	IRON ROD FOUND
●	R/W DISC
○	SANITARY SEWER MANHOLE
○	UNDERGROUND SEWER MARKER
○	WATER VALVE
○	FIRE HYDRANT
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○	CORRUGATED PLASTIC PIPE
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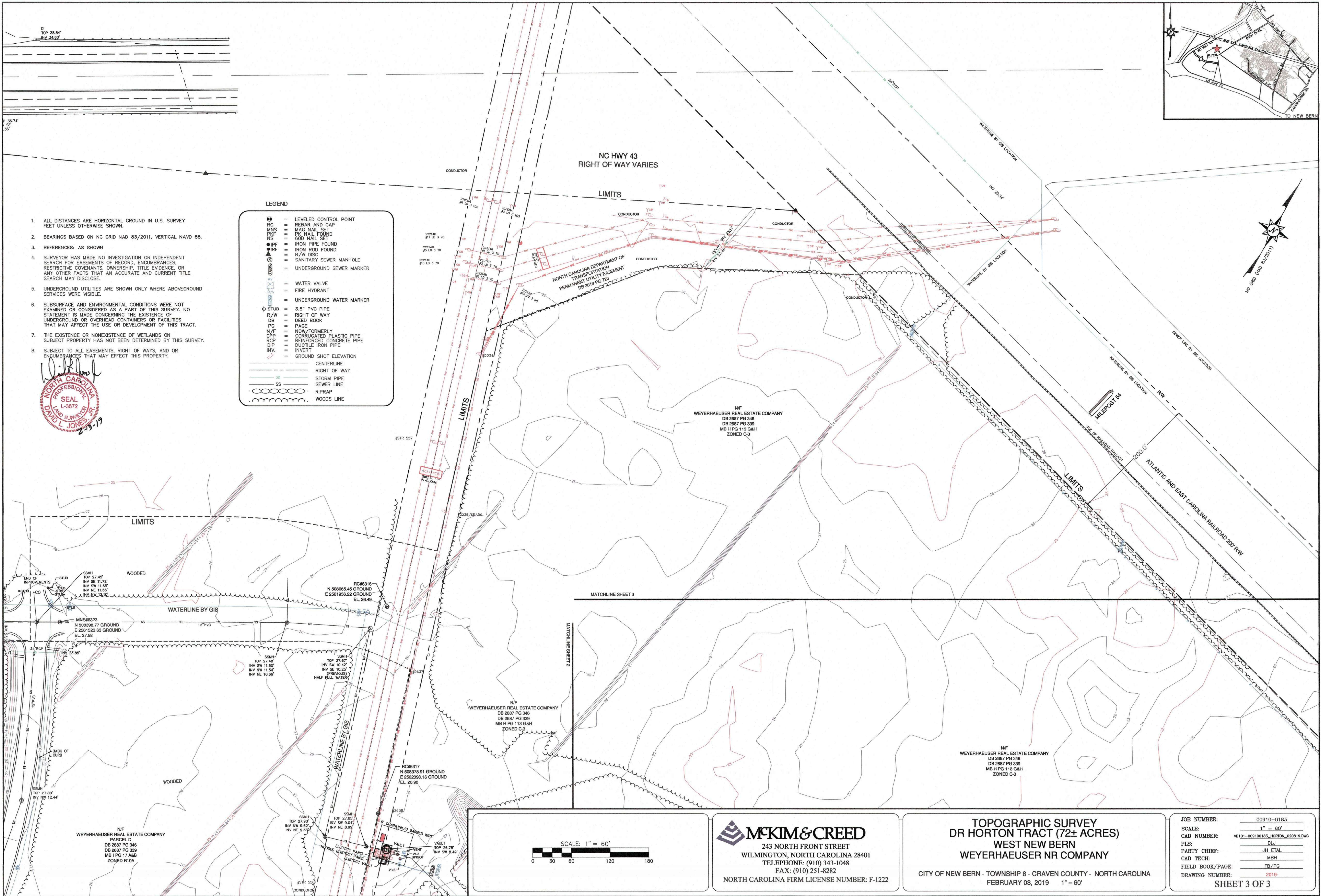


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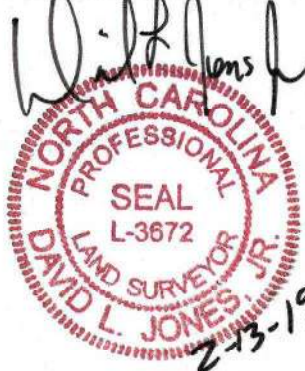
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SHEET 2 OF 3



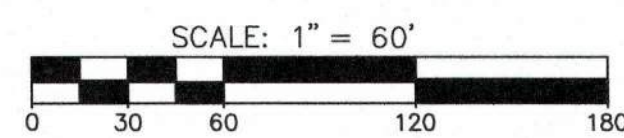


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PLS: DLJ  
PARTY CHIEF: JH ETAL  
CAD TECH: MBH  
FIELD BOOK/PAGE: FB/PG  
DRAWING NUMBER: 2019  
SHEET 3 OF 3



April 8, 2024

Dear Property Owner:

The City of New Bern is notifying all property owners within one hundred 100 feet of parcels 8-209-24008, 8-209-24009, and 8-209-28000, regarding a proposed General Subdivision Plan request with mailed notice (See attached map for reference). The properties are 45.33 + / - acres total and are located at/near Clock Road.

The Planning & Zoning Board of the City of New Bern will hold a public meeting to consider the proposed General Subdivision plan request. The regularly scheduled meeting will be on Thursday, April 18, 2024, in the 2<sup>nd</sup> floor courtroom of the City Hall building, located at 300 Pollock Street, New Bern, NC 28560, at 5:30 pm.

A copy of the application is available for public review during normal business hours in the Development Services office, located at 303 First Street. For further information contact Kendrick Stanton, Land & Community Development Administrator at (252) 639-7582 or [Stanton.Kendrick@newbernnc.gov](mailto:Stanton.Kendrick@newbernnc.gov).

Sincerely,



Kendrick Stanton, CZO  
Land & Community Development Administrator  
Phone: 252-639-7582

cc: File

***Individuals with disabilities requiring special assistance should call (252)639-7501 no later than 3:00 p.m. the date of the meeting.***

April 8, 2024

Weyerhaeuser Real Estate Development Company  
205 Perry Lane Road  
Brunswick, GA 31525

To whom it may concern:

The City of New Bern is notifying all property owners within one hundred (100) feet of your properties, parcels 8-209-24008, 8-209-24009, and 8-209-28000, regarding the General Subdivision plan submittal with mailed notice of the request. The properties are 45.33 + / - acres total and are located at/near Clock Road.

The Planning & Zoning Board of the City of New Bern will hold a public meeting to consider the proposed General Subdivision plan request. The regularly scheduled meeting will be on Thursday, April 18, 2024, in the 2<sup>nd</sup> floor courtroom of the City Hall building, located at 300 Pollock Street, New Bern, NC 28560, at 5:30 pm.

A copy of the application is available for public review during normal business hours in the Development Services office, located at 303 First Street. For further information contact Kendrick Stanton, Land & Community Development Administrator at (252) 639-7582 or [Stanton.Kendrick@newbernnc.gov](mailto:Stanton.Kendrick@newbernnc.gov).

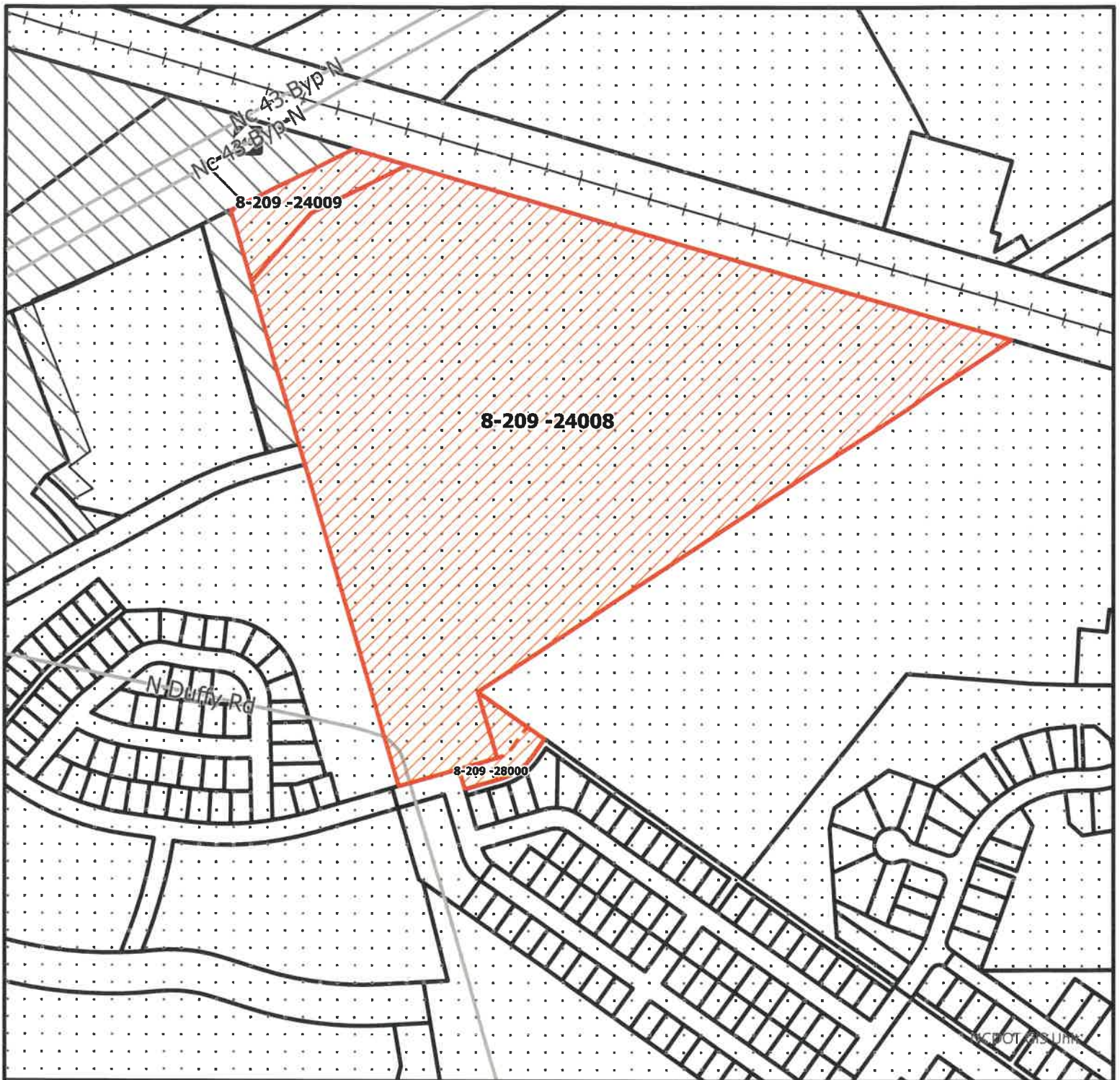
Sincerely,



Kendrick Stanton, CZO  
Land & Community Development Administrator  
Phone: 252-639-7582

cc: File

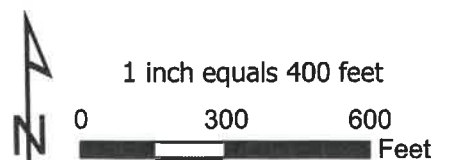
*Individuals with disabilities requiring special assistance should call (252)639-7501 no later than 3:00 p.m. the date of the meeting.*



- |                          |                             |
|--------------------------|-----------------------------|
| —+— Railroad             | Parcels: West New Bern Ph 3 |
| — Roads                  | City Limits                 |
| - - - Parcel split lines | ETJ                         |
| Parcels                  |                             |

**CSP-002816-2023, West New Bern, Phase 3 PUD**  
**Parcel ID: 8-209-24008, 8-209-24009, 8-209-28000**  
**Type of Development: Planned Unit Development (PUD)**  
**Type of Subdivision Plan: General Plan**  
**Proposed Number of Lots: 130**  
**Total Acres: 45.33**  
**Zoning District: R-6**

Imagery Flown: Early 2021. Print Date: 4/4/2024  
 This map is intended for reference only. All dimensions are approximate.  
 As per NCGS 132-10, this map is not to be resold or otherwise used for commercial purposes.





# STAFF REPORT

DEVELOPMENT SERVICES



## CSP-002816-2023, West New Bern Phase 3



### Address/Location(s)

At/near Clock Road, New Bern, NC

### Map Number(s)

8-209-24008, 8-209-24009, 8-209-28000

### Parcel Size

45.33

### Current Use

Vacant

### Current Zoning

Residential 6 (R-6)

### Proposed Lot Count:

130 Single Family Detached Homes (PUD)

## Summary of Proposal

Scott Anderson, on behalf of Weyerhaeuser Real Estate Development Company, has submitted an application for a General Plan Subdivision approval. This is intended to be a Planned Unit Development. The subject properties total 45.33 acres and are located at/near Clock Road. The project proposes 130 Single-family detached lots, and 14.92 acres of open space (excluding wetlands, ponds, and amenities). The project will be served by the City of New Bern water and sewer.

## Synopsis of Site and Surrounding Area

The parcels total 45.33 acres and are located at/near Clock Road, New Bern, NC.

Within a half mile of the site, there are residential constructed homes, and vacant lots.

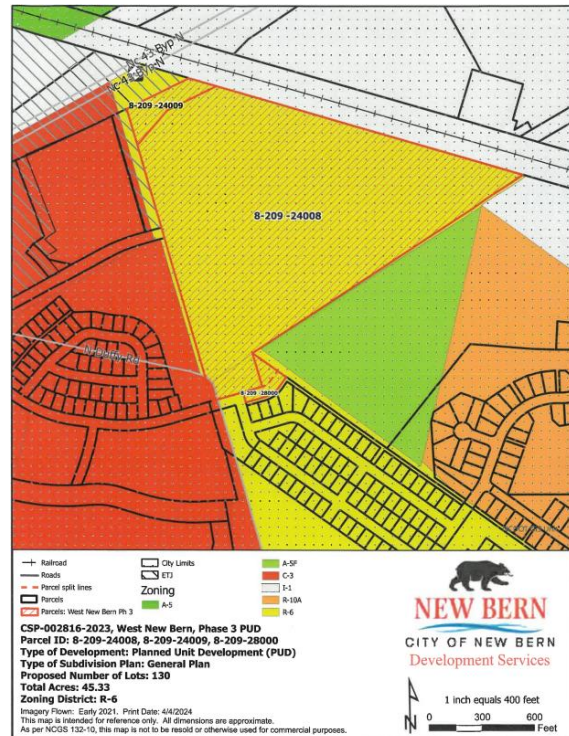
## Zoning District Summary

The R-6 residential district is designed to accommodate single-, two-, and multifamily dwellings with 6,000 square feet minimum lots for one dwelling unit and 2,000 square feet required for each additional unit. For the R-6 residential district, in promoting the general purposes of this ordinance, the specific intent of this district is:

- (a) To encourage continued use of the land for residential purposes and certain compatible nonresidential uses;
- (b) To prohibit commercial and industrial use of the land; to prohibit any other use which would substantially interfere with the development or continuation of residential structures in the district;
- (c) To encourage the discontinuance of existing uses that would not be permitted as new uses in the district; and
- (d) To discourage any use which because of its character or size would generate traffic or require municipal services substantially in excess of traffic and services that would exist if the district were developed solely for residential uses.

## Staff Evaluation

The proposed subdivision meets all requirements set forth in the City of New Bern's Land Use Ordinance. All comments from the Development Review Committee have been addressed.





## Attachment One



April 8, 2024

Belle Oaks II, LLC  
PO Box 15564  
New Bern, NC 28561

To whom it may concern:

The City of New Bern is notifying all property owners within one hundred (100) feet of your property, parcel 8-207-090 regarding the Final Subdivision plan submittal with mailed notice of the request. The property is 8.215 + / - acres and is located at/near Fishing Creek Drive.

The Planning & Zoning Board of the City of New Bern will hold a public meeting to consider the proposed Final Subdivision plan request. The regularly scheduled meeting will be on Thursday, April 18, 2024, in the 2<sup>nd</sup> floor courtroom of the City Hall building, located at 300 Pollock Street, New Bern, NC 28560, at 5:30 pm.

A copy of the application is available for public review during normal business hours in the Development Services office, located at 303 First Street. For further information contact Kendrick Stanton, Land & Community Development Administrator at (252) 639-7582 or [Stanton.Kendrick@newbernnc.gov](mailto:Stanton.Kendrick@newbernnc.gov).

Sincerely,



Kendrick Stanton, CZO  
Land & Community Development Administrator  
Phone: 252-639-7582

cc: File

*Individuals with disabilities requiring special assistance should call (252)639-7501 no later than 3:00 p.m. the date of the meeting.*

April 8, 2024

Dear Property Owner:

The City of New Bern is notifying all property owners within one hundred 100 feet of parcel 8-207-090 of a proposed Final Subdivision Plan request with mailed notice (See attached map for reference). The property is a total of 8.215 + / - acres and is located at/near Fishing Creek Drive.

The Planning & Zoning Board of the City of New Bern will hold a public meeting to consider the proposed Final Subdivision plan request. The regularly scheduled meeting will be on Thursday, April 18, 2024, in the 2<sup>nd</sup> floor courtroom of the City Hall building, located at 300 Pollock Street, New Bern, NC 28560, at 5:30 pm.

A copy of the application is available for public review during normal business hours in the Development Services office, located at 303 First Street. For further information contact Kendrick Stanton, Land & Community Development Administrator at (252) 639-7582 or [Stanton.Kendrick@newbernnc.gov](mailto:Stanton.Kendrick@newbernnc.gov).

Sincerely,



Kendrick Stanton, CZO  
Land & Community Development Administrator  
Phone: 252-639-7582

cc: File

***Individuals with disabilities requiring special assistance should call (252)639-7501 no later than 3:00 p.m. the date of the meeting.***





—+— Railroad

— Roads

ETJ

City Limits

Parcels

Parcel 8-207-090

**SUBMAJ-002856-2024 (Final), Belle Oaks Phase VI (six)**

**Parcel ID: 8-207-090**

**Type of Development: Planned Unit Development (PUD)**

**Type of Subdivision Plan: Final Plat**

**Proposed Number of Lots: 26**

**Total Acres: 8.215**

**Zoning District: R-8/R-10S**

Imagery Flown: Early 2021. Print Date: 4/4/2024

This map is intended for reference only. All dimensions are approximate.

As per NCGS 132-10, this map is not to be resold or otherwise used for commercial purposes.



**NEW BERN**

**CITY OF NEW BERN**

**Development Services**



1 inch equals 250 feet

0 180 360 Feet

# STAFF REPORT

DEVELOPMENT SERVICES



SUBMAJ-002856-2024 (Final), Belle Oaks Phase VI (Six)



## Address/Location(s)

At/near Fishing Creek Drive,  
New Bern, NC

## Map Number(s)

8-207-090

## Parcel Size

8.215 Acres

## Current Use

Vacant

## Current Zoning

Residential 8 (R-8) &  
Residential 10S (R-10S)

## Proposed Lot Count:

26 Single Family Detached  
Homes (PUD)

## Summary of Proposal

Belle Oaks II, LLC, has submitted an application for Final Plat Subdivision approval. This is intended to be a Planned Unit Development. The subject property totals 8.215 acres and is located at/near Fishing Creek Drive. The project proposes 26 Single-family detached lots, and 2.884 acres of open space (excluding wetlands, ponds, and amenities). The project will be served by the City of New Bern water and sewer.



## Synopsis of Site and Surrounding Area

The parcel totals 8.215 acres and is located at/near Fishing Creek Drive, New Bern, NC.

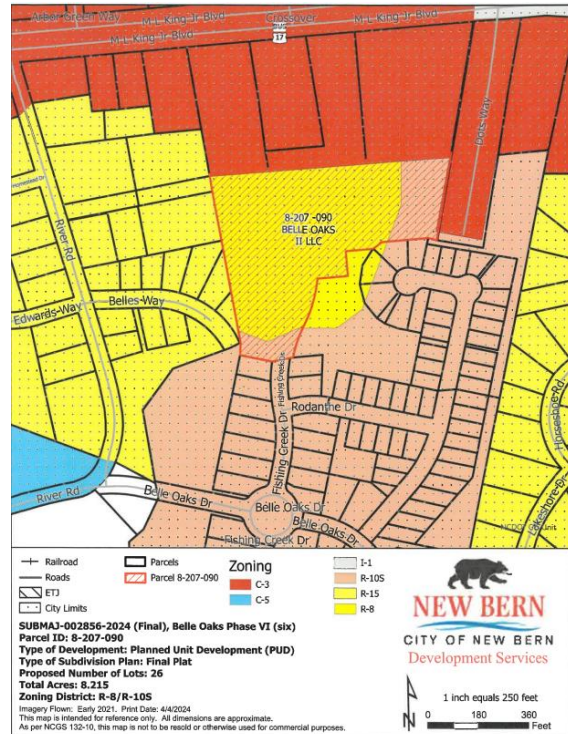
Within a half mile of the site, there are residential constructed homes, and vacant lots.

## Zoning District Summary

The R-8 residential district is designed to accommodate single-, two-, and multifamily dwellings with a minimum 8,000 square feet lot for one unit and 4,000 square feet for each additional unit; multifamily density maximum is approximately 10.6 units per acre (based on a five-acre tract). For the R-8 residential district, in promoting the general purposes of this ordinance, the specific intent of this district is:

- (a) To encourage the continued use of the land for residential purposes;
- (b) To prohibit commercial and industrial use of the land and to prohibit any other use which would substantially interfere with development or continuation of residential uses in the district;
- (c) To encourage the discontinuance of existing uses that would not be permitted as new uses in this district;
- (d) To discourage any use which would generate traffic on minor streets other than normal traffic to serve residences on those streets; and
- (e) To discourage any use which because of its character or size would create requirements and costs for public services such as police and fire protection, water supply and sewerage, substantially in excess of such requirements and costs if the district were developed solely for residential purposes.

The R-10S residential district is established as a district in which the principal use of land is for singlefamily dwellings. Two-family and multifamily dwellings are prohibited. Lot sizes and density are the same as those allowed in the R-10 residential district. In promoting the general purposes of this ordinance, the general intent of this district is the same as the R-10 residential district.



# Staff Evaluation

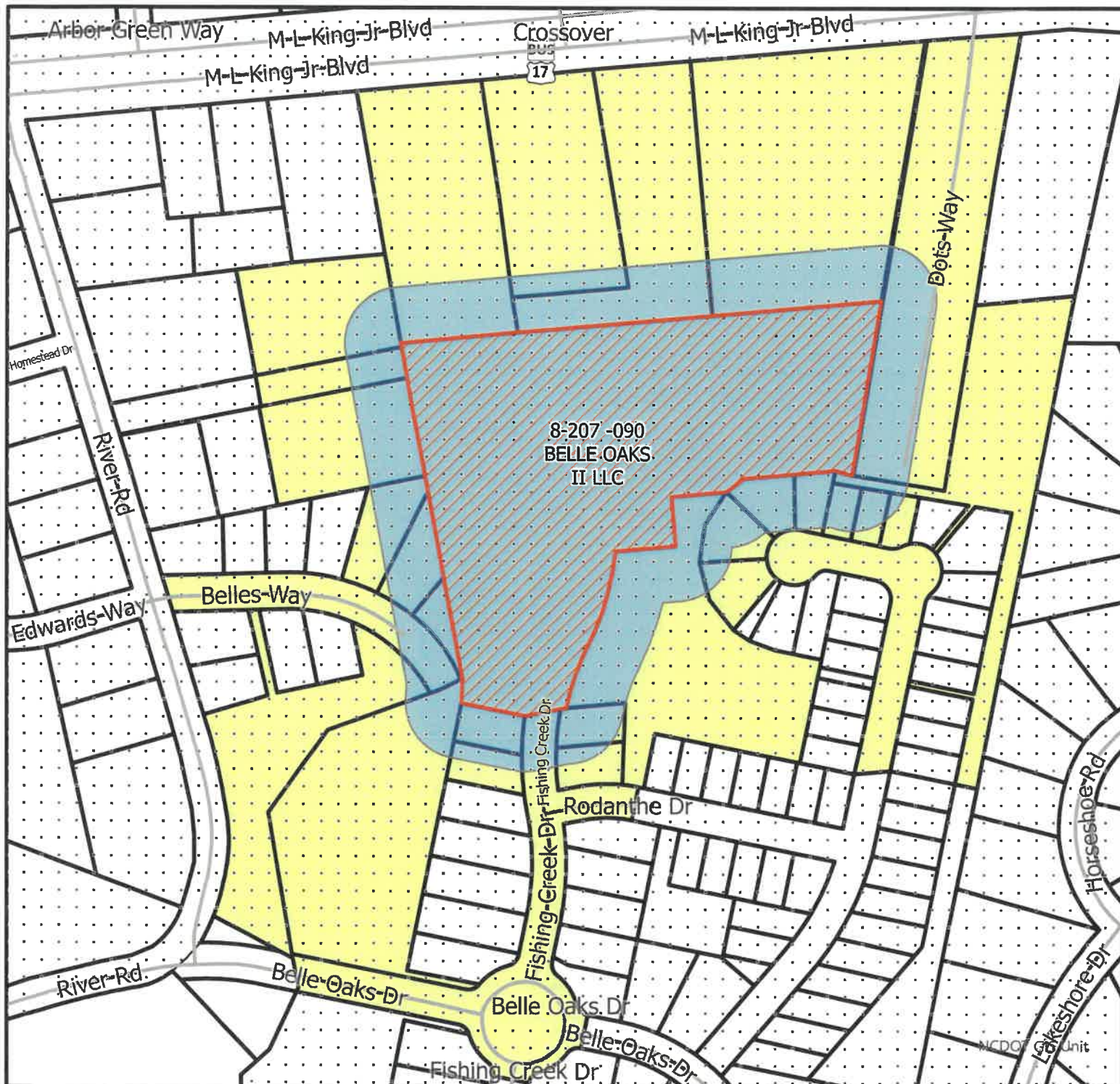
The proposed subdivision meets all requirements set forth in the City of New Bern's Land Use Ordinance. All comments from the Development Review Committee have been addressed.

## Attachment One



SUBMAJ-002856-2024 (Final), Belle Oaks Phase VI (Six)





—+— Railroad

— Roads

▨ ETJ

▭ City Limits

▭ Parcels

▨ Parcel 8-207-090

▭ 100 ft Buffer

▭ Parcels in 100 ft Buffer

**SUBMAJ-002856-2024 (Final), Belle Oaks Phase VI (six)**

**Parcel ID: 8-207-090**

**Type of Development: Planned Unit Development (PUD)**

**Type of Subdivision Plan: Final Plat**

**Proposed Number of Lots: 26**

**Total Acres: 8.215**

**Zoning District: R-8/R-10S**

Imagery Flown: Early 2021. Print Date: 4/4/2024

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**NEW BERN**

**CITY OF NEW BERN**

**Development Services**



1 inch equals 250 feet

0 180 360 Feet



# SUBDIVISION APPLICATION

CITY OF NEW BERN - DEVELOPMENT SERVICES



## PROJECT AND PROPERTY INFORMATION

Date Submitted: March 4, 2024

Proposed Subdivision Name: Belle Oaks, Phase VI

Proposed Phase/Section: Phase VI

Property Address or Location: Fishing Creek Drive

Parcel ID Number(s): 8-207-090

### Type of Development:

- ☐ Single-family
- ☒ Planned Unit Development (PUD)
- ☐ Multi-family (Townhomes, Duplexes)
- ☐ Mixed Use
- ☐ Commercial

### Type of Subdivision Plan:

- ☐ Exempt Subdivision
- ☐ General Plan
- ☒ Final Plat

### Site Data:

Total Acreage: 8.215 Acres

Existing Number of Lots: 0

Proposed Number of Lots: 26

Smallest Lot Size: 0.11 AC, 4,935 SF

Average Lot Size: 6,577 SF

Linear Feet in Streets: 880'

Zoning District: R-8 / R-10S - As Shown on Plat

*Please continue to Page 2 of the City of New Bern Subdivision Application*

## SUBDIVISION CONTACT INFORMATION

**Please list the primary point of contact for the subdivision application as the applicant.**

### APPLICANT INFORMATION

Name: Belle Oaks II, LLC  
Mailing Address: PO Box 15564  
New Bern, NC 28561  
Telephone: 252.633.0068 Alternate Number: 252.671.9333  
Email Address: kevin@avoliseng.com

### PROPERTY OWNER INFORMATION

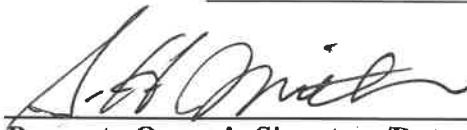
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Email Address: kevin@avoliseng.com

### DEVELOPER INFORMATION

Name: Belle Oaks, II LLC  
Mailing Address: PO Box 15564  
New Bern, NC 28561  
Telephone: 252.633.0068 Alternate Number: 252.671.9333  
Email Address: kevin@avoliseng.com

### SURVEYOR/ENGINEER INFORMATION

Name: Avolis Engineering, PA  
Mailing Address: PO Box 15564  
New Bern, NC 28561  
Telephone: 252.633.0068 Alternate Number: 252.671.9333  
Email Address: kevin@avoliseng.com

  
\_\_\_\_\_  
**Property Owner's Signature/Date**

\_\_\_\_\_  
**Signature of Applicant/Date**

Stewart H. Smith, Member/Manager - Belle Oaks II, LLC

**Printed Name of Property Owner**

Stewart H. Smith, Member/Manager - Belle Oaks II, LLC

**Printed Name of Applicant**

SUBDIVISION APPLICATION

PAGE 2



To: Belle Oaks II, LLC

From: Kendrick Stanton, CZO, Land and Community Development Administrator

RE: SUBMAJ-002856-2024, DRC Comments – (Final) Belle Oaks Phase VI (Six)

Date: 03/21/2024

The following comments were generated from DRC.

**Planning/Zoning**

- Add adjacent zoning and parcel ID numbers.
- Contact information for questions: **Ph: 252-639-7582**

**MPO**

- No comment.
- Contact information for questions: **Ph: 252-639-7592**

**Historic Preservation Administrator**

- No comment.
- Contact information for questions: **Ph: 252-639-7583**

**Police Department**

- No comment provided.
- Contact Information for questions: **Ph: 252-672-4293**

**Fire Marshal**

- Must meet the fire flow and hydrant distribution requirements of NC Fire Code Section 507 and Appendices B & C.
  - Provide a water utility plan which shows hydrant locations and calculated flow rates.
- Contact information for questions: **Ph: 252-639-2961**

**Building Inspector**

- No comment.
- Contact information for questions: **Ph: 252-639-2945**

**Department of Public Utilities**

- No comment provided.
- Contact information for questions: **Ph: 252-639-2827**

**Craven County Health Department**

- No comment provided.
- Contact information for questions: **Ph: 252-636-4936**

### Public Works

- Stormwater
  - Public Works Department has no record of the stormwater design & drawings for this development. Documents for the current stormwater permit, from 2002, on file for this development do not match what has been built. Recent rains have caused a portion of Fishing Creek Drive to overtop with stormwater from a nearby detention pond. There is concern regarding the stormwater design. The owner needs to submit and updated stormwater design and drawings for this development, specifically Belle Oaks Phase V & Phase VI.
  - Contact Avery Smith for updated stormwater submittal @ 252-639-7524
- Contact information for questions: Ph: 252-639-7500

### GIS

- Verify addresses from E911 coordinator.
- Contact Information for questions: Ph: 252-639-7588

### NCDOT

- No comment.
- Contact information for questions: Ph: 252-649-6505

### Water Resources

- No comment provided for this item.
- Contact information for questions: Ph: 252-639-7523

### Parks & Recreation

- No comment provided.
- Contact information for questions: Ph: 252-639-2902

Please submit a response letter to these comments by electronic PDF. Additionally, please submit an electronic PDF file of the revised site plan to my email, [Stanton.Kendrick@NewBernNC.gov](mailto:Stanton.Kendrick@NewBernNC.gov) and one (1) physical plan on 18" X 24" paper of the revised site plan by Monday, April 1, 2024. Failure to submit the revised plans or request an extension by the date indicated will constitute a denial of the plan, and a full resubmission would be required. If you have any questions, you may contact me.



## **AVOLIS ENGINEERING, P.A.**

P.O. Box 15564 · New Bern, NC 28561 · 252.633.0068 · Corp. C-0706

March 28, 2024

Mr. Kendrick Stanton, CZO  
Land and Community Development Administrator  
City of New Bern  
303 First Street  
New Bern, NC 28563

Re: Belle Oaks Phase VI Revised Plat, Review Comments of 3/21/24

Dear Kendrick:

Enclosed please find a revised subdivision plat which now includes the parcel numbers and the zoning for each of the adjoining.

Also is attached is a copy of the subdivision utility plans previously approved by the Water Resources Department along with the water flow calculations. I have also dropped off a copy of these documents to the fire department. As a part of the Phase 6, we installed a 8-inch loop connection out to MLK Boulevard which benefitted our project's water flow as well as that of all of the existing Belle Oaks Subdivision.

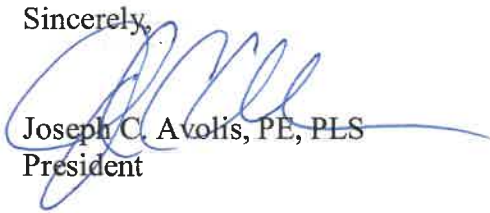
We have met at the site with the Public Works Department and discussed the stormwater system. Attached are current stormwater drawings and calculations. We have also taken a copy of these documents to Mr. Avery Smith. We are adjusting our pond overflow elevation so that it now only meets the minimum required stormwater detention volume as opposed to the excess volume that we were detaining. We are coordinating these changes with Public Works.

Attached is a August 30, 2023 letter from the New Bern Police Department where they assigned all of the 911 addresses which appear on our final plat.

We have also included here an engineer's estimate for remaining improvements as well as a check for \$29,946.00. to cover the costs of incomplete improvements that would be better off constructed during the home building phase.

Should you have any questions regarding this information, please do not hesitate to give me a call.

Sincerely,

  
Joseph C. Avolis, PE, PLS  
President

~ Established 1989 ~



LEGEND

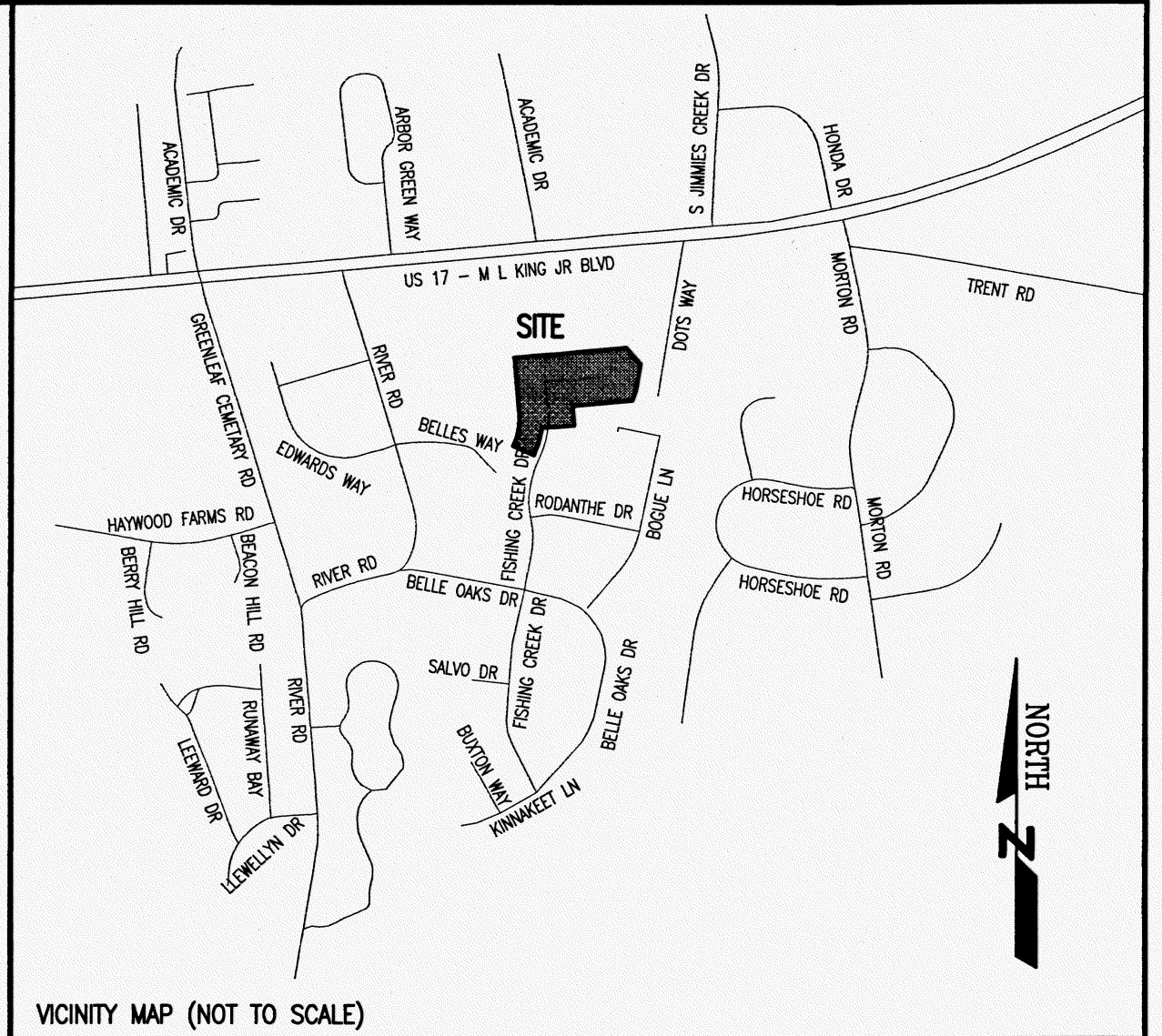
- IPF = IRON PIPE FOUND
- IPS = IRON PIPE SET
- IRF = IRON ROD FOUND
- IRS = IRON ROD SET
- ☒ = CONCRETE MONUMENT/CONTROL CORNER
- = IRON ROD SET FOR SUBDIVISION LOTS

LINE LEGEND

- = PROPERTY/LOT LINE
- - - = ADJOINING PROPERTY/LOT LINE
- · - · - = SURVEY TIE LINE
- · - · - = ZONING BOUNDARY LINE
- · - · - = ROAD RIGHT-OF-WAY
- · - · - = FLOOD HAZARD BOUNDARY
- X - = FENCE (EXISTING)

ABBREVIATIONS

- R/W = RIGHT-OF-WAY
- C/L = CENTERLINE
- CC = CONCRETE MONUMENT/CONTROL CORNER
- CAB. = CABINET
- D.B. = DEED BOOK
- D.U.E. = DRAINAGE AND UTILITY EASEMENT
- EL. = ELEVATION
- EX. = EXISTING
- N.A.E. = NON-AUTO ACCESS EASEMENT
- NTS = NOT TO SCALE
- N/F = NOW OR FORMERLY
- PG. = PAGE
- P.B. = PLAT BOOK
- P.C. = PLAT CABINET
- SUBD. = SUBDIVISION
- SL. = SLIDE
- TOT. = TOTAL



CERTIFICATE OF OWNERSHIP AND DEDICATION

I HEREBY CERTIFY THAT I AM THE OWNER OF THE PROPERTY DESCRIBED HEREON, WHICH PROPERTY IS LOCATED WITHIN THE SUBDIVISION REGULATION JURISDICTION OF THE CITY OF NEW BERN, THAT I HEREBY FREELY ADOPT THIS PLAN OF SUBDIVISION AND DEDICATE TO PUBLIC USE ALL AREAS SHOWN ON THIS PLAT AS STREETS, ALLEYS, WALKS, PARKS, OPEN SPACE, AND EASEMENTS, EXCEPT THOSE SPECIFICALLY INDICATED AS PRIVATE, AND THAT I WILL MAINTAIN ALL SUCH AREAS UNTIL THE OFFER OF DEDICATION IS ACCEPTED BY THE APPROPRIATE AUTHORITY. ALL PROPERTY SHOWN ON THIS PLAT AS DEDICATED FOR A PUBLIC USE SHALL BE DEEMED TO BE DEDICATED FOR ANY OTHER PUBLIC USE AUTHORIZED BY LAW WHEN SUCH OTHER USE IS APPROVED BY THE BOARD OF ALDERMEN IN THE PUBLIC INTEREST.

4-1-24  
DATE

Stewart H. Smith  
MEMBER/MANAGER  
BELLE OAKS II, LLC

CERTIFICATE OF APPROVAL

I HEREBY CERTIFY THAT ALL STREETS SHOWN ON THIS PLAT ARE WITHIN THE CITY OF NEW BERN'S PLANNING JURISDICTION, ALL STREETS AND OTHER IMPROVEMENTS SHOWN ON THIS PLAT HAVE BEEN INSTALLED OR COMPLETED OR THAT THEIR INSTALLATION OR COMPLETION (WITHIN 12 MONTHS AFTER THE DATE BELOW) HAS BEEN ENSURED BY THE POSTING OF A PERFORMANCE BOND OR OTHER SUFFICIENT SURETY, AND THAT THE SUBDIVISION SHOWN ON THIS PLAT IS IN ALL RESPECTS IN COMPLIANCE WITH THE NEW BERN CITY CODE, AND THEREFORE THIS PLAT HAS BEEN APPROVED BY THE NEW BERN BOARD OF ALDERMEN, SUBJECT TO ITS BEING RECORDED IN THE REGISTER OF DEEDS OFFICE OF CRAVEN COUNTY WITHIN ONE YEAR OF THE DATE BELOW.

MAYOR

DATE

CITY CLERK

PROJECT DATA:

OWNER/DEVELOPER: BELLE OAKS II, LLC  
115 MIDDLE STREET  
NEW BERN, NC 28560  
(252) 638-3500

SITE ZONING: R-10S, R-8 AS INDICATED

UTILITIES: SEWER-CITY OF NEW BERN  
WATER-CITY OF NEW BERN  
ELECTRIC-CITY OF NEW BERN  
GAS-PIEDMONT NATURAL GAS COMPANY  
CABLE TELEVISION-OPTIMUM

SITE DATA - BELLE OAKS (PHASE VI DATA)

THE SUBDIVISION IS A PLANNED UNIT DEVELOPMENT  
TOTAL SITE AREA: 357,861 SF, 8.215 ACRES  
TOTAL # RESIDENTIAL LOTS: 26  
TOTAL AREA IN RESIDENTIAL LOTS: 171,019 SF, 3.926 ACRES  
TOTAL COMMON AREA: 125,626 SF, 2.884 ACRES (35.1% OF PHASE VI AREA)  
TOTAL AREA IN RIGHT-OF-WAYS: 61,216 SF, 1.405 ACRES

MINIMUM BUILDING SETBACKS (UNLESS SHOWN OTHERWISE):  
FRONT YARD = 15'  
SIDE YARD NOT ADJACENT TO PUBLIC STREETS = 5'  
SIDE YARDS ADJACENT TO PUBLIC STREETS = 5'  
REAR YARD = 10'

DRAINAGE AND UTILITY EASEMENTS (UNLESS OTHERWISE SHOWN):  
FRONT YARD = 15'  
SIDE YARD NOT ADJACENT TO PUBLIC STREETS = 5'  
SIDE YARDS ADJACENT TO PUBLIC STREETS = 5'  
REAR YARD = 10'

NOTES:

- PORTIONS OF THE PROJECT ARE LOCATED WITHIN A SPECIAL FLOOD HAZARD AREA ACCORDING TO FEMA FLOOD INSURANCE RATE MAP PANEL 3720546900K, EFFECTIVE DATE JUNE 19, 2020. SEE DFIRM FOR ZONE DETAILS AND EXTENTS.
- ALL STRUCTURES BUILT UPON THE PROJECT SITE SHALL COMPLY WITH THE FIRE REQUIREMENTS SPECIFIED IN THE NORTH CAROLINA BUILDING CODE, VOLUME I-GENERAL CONSTRUCTION.
- SECTION 404 WETLANDS ARE PRESENT ON THE PROJECT SITE. NO SECTION 404 WETLANDS ARE TO BE DISTURBED ON ANY INDIVIDUAL LOT.
- NEUSE RIPARIAN BUFFER AREAS REGULATED UNDER 15A NCAC 02B EXIST ON THE PROJECT SITE AS INDICATED ON THE SITE PLAN. NO BUFFER AREAS SHALL BE DISTURBED IN ANY MANNER WITHOUT THE WRITTEN APPROVAL OF THE DIVISION OF WATER QUALITY.
- NO STRUCTURES SHALL BE BUILT OUTSIDE OF THE BUILDING SETBACKS SHOWN WITH THE EXCEPTION OF FENCES, DRIVES, OR WALKWAYS.
- ALL DRAINAGE AND UTILITY EASEMENTS CARRY THE RIGHT-OF-ACCESS BY THE CITY OF NEW BERN FOR THE MAINTENANCE AND REPAIR OF DRAINAGE AND UTILITY STRUCTURES.
- EXISTING TREES SHOULD BE RETAINED ALONG ALL PUBLIC ROADS EVERY 30 FEET ALONG EACH SIDE. THESE TREES SHALL BE LOCATED WITHIN A ZONE 50 FEET PARALLEL TO THE CENTERLINE OF THE PUBLIC STREETS. THE TREES RETAINED SHALL BE AT LEAST 2 INCHES IN CALIPER.
- THE DEVELOPER SHALL RETAIN AT LEAST 123 TREES ON THE ENTIRE TRACT (15 TREES PER ACRE).

STATE OF NORTH CAROLINA  
COUNTY OF CRAVEN

I, \_\_\_\_\_, REVIEW OFFICER OF CRAVEN COUNTY,  
CERTIFY THAT THE MAP OR PLAT TO WHICH THIS CERTIFICATION IS AFFIXED  
MEETS ALL STATUTORY REQUIREMENTS FOR RECORDING.

REVIEW OFFICER \_\_\_\_\_ DATE \_\_\_\_\_

CERTIFICATE OF REGISTRATION BY REGISTER OF DEEDS

STATE OF NORTH CAROLINA  
COUNTY OF CRAVEN

FILED FOR REGISTRATION AT \_\_\_\_\_ AM / PM O'CLOCK  
THIS \_\_\_\_\_ DAY OF \_\_\_\_\_ 20\_\_\_\_.  
PLAT BOOK \_\_\_\_\_ PAGE \_\_\_\_\_

BELLE OAKS, PHASE VI

A PLANNED UNIT DEVELOPMENT

OWNERS: BELLE OAKS II, LLC

CITY OF NEW BERN, NO. 8 TOWNSHIP, CRAVEN COUNTY, NC  
TAX PARCEL ID: 8-207-090  
COVERING DEEDS: D.B. 3581, PG. 564

PLAT REFERENCE: P.B. I, PG. 1-F  
SURVEY DATE: DECEMBER 29, 2023 SCALE: AS NOTED

SHEET 1 of 3 - NOTES AND TABLES

AVOLIS ENGINEERING, P.A.

FIRM LICENSE NO. C-0706

P.O. BOX 15564

NEW BERN, NC 28561

(252) 633-0068

joe@avoliseng.com

JOSEPH C. AVOLIS, PE, PLS L-5308

PROJECT NO. 19067

I, JOSEPH C. AVOLIS, PE, PLS., CERTIFY THAT THIS MAP WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL GPS SURVEY MADE UNDER MY SUPERVISION AND THE FOLLOWING INFORMATION WAS USED TO PERFORM THE SURVEY:

- CLASS OF SURVEY: CLASS A
- POSITIONAL ACCURACY: 1:10,000+
- TYPE OF GPS FIELD PROCEDURE: NC CORS NETWORK VRS
- DATE(S) OF SURVEY: AUGUST 8, 2019
- DATUM/EPOCH: NAD83
- PUBLISHED/FIXED-CONTROL USE: NC CORS VRS
- GEOID MODEL: GEOID 2012B
- COMBINED GRID FACTOR(S): 0.99988133
- UNITS: US SURVEY FEET

NOTE: GPS USED TO ESTABLISH GRID NORTH ROTATION AND TO ESTABLISH GRID TIES FOR CONTROL CORNERS. ALL DISTANCES ARE GROUND.

THAT THE SURVEY CREATES A SUBDIVISION OF LAND WITHIN THE AREA OF A COUNTY OR MUNICIPALITY THAT HAS AN ORDINANCE THAT REGULATES PARCELS OF LAND

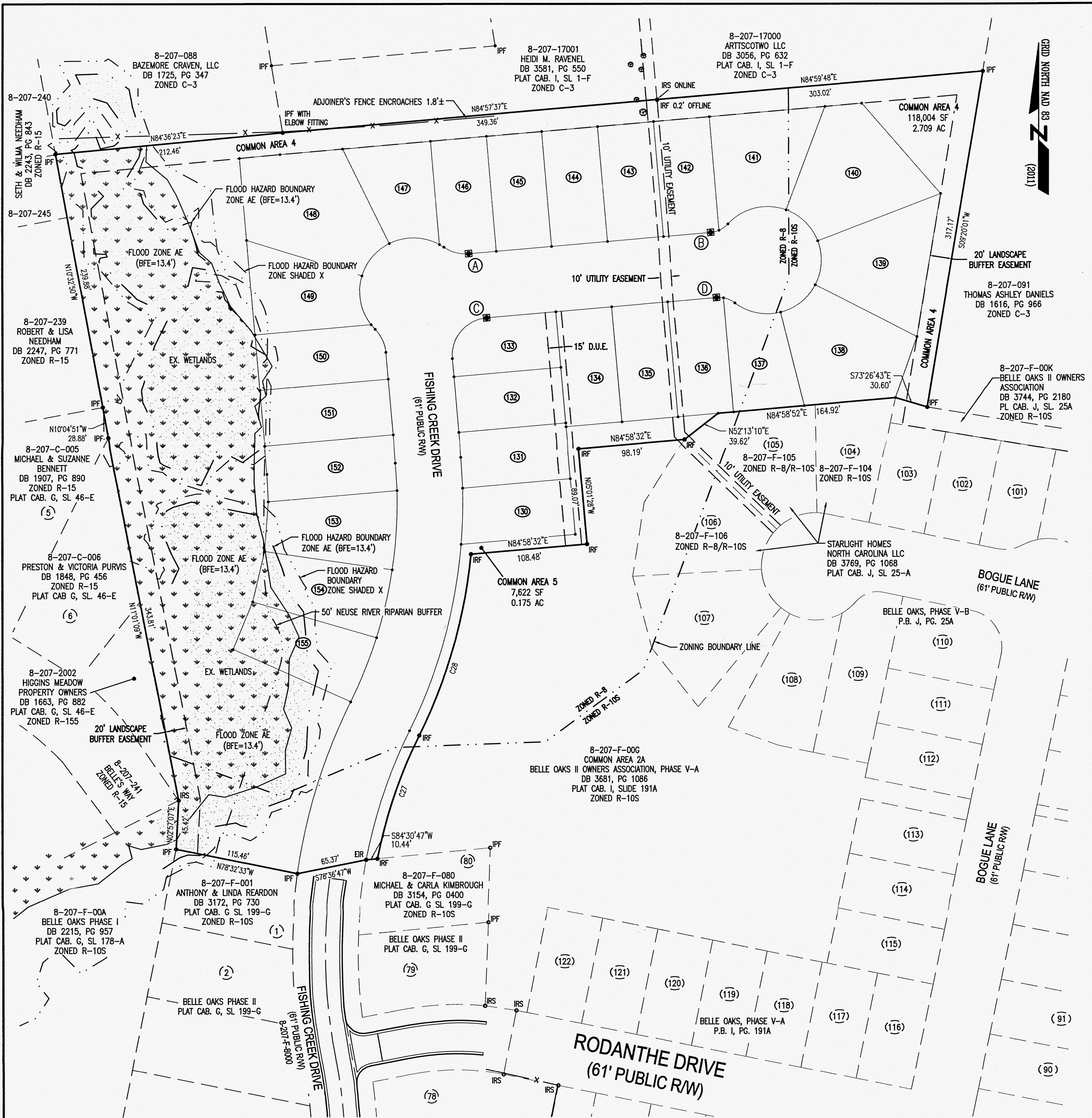
I, JOSEPH C. AVOLIS, CERTIFY THAT THIS PLAT WAS DRAWN UNDER MY SUPERVISION FROM AN ACTUAL SURVEY MADE UNDER MY SUPERVISION; THAT THE BOUNDARIES NOT SURVEYED ARE SHOWN AS BROKEN LINES; THAT THE RATIO OF PRECISION OR POSITIONAL ACCURACY AS CALCULATED IS 1:10,000+; THAT THIS PLAT WAS PREPARED IN ACCORDANCE WITH G.S. 47-30 AS AMENDED; WITNESS MY ORIGINAL SIGNATURE, LICENSE NUMBER AND SEAL THIS 27th DAY OF MARCH, A.D., 2024.

Professional Land Surveyor

L-5308  
LICENSE NUMBER







# **BELLE OAKS, PHASE VI**

A PLANNED UNIT DEVELOPMENT

**OWNERS: BELLE OAKS II, LLC**

CITY OF NEW BERN, NO. 8 TOWNSHIP, CRAVEN COUNTY, NC  
TAX PARCEL ID: 8-207-090  
COVERING DEEDS: D.B. 3581, PG. 564

PLAT REFERENCE: P.B. I, PG. 1-F  
SURVEY DATE: DECEMBER 29, 2023 SCALE: AS NOTED  
REVISED 3/27/24: ADDED ADJOINER PARCEL NUMBERS & ZONING

CONTROL CORNER DATA		
CORNER	NORTHING	EASTING
A	494288.274	2564462.514
B	494308.046	2564687.390
C	494288.508	2564479.137
D	494247.291	2564692.769

SHEET 2 of 3 - OVERALL BOUNDARY PLAT

**AVOLIS ENGINEERING, P.A.**

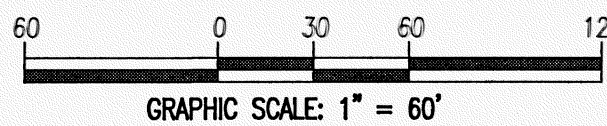
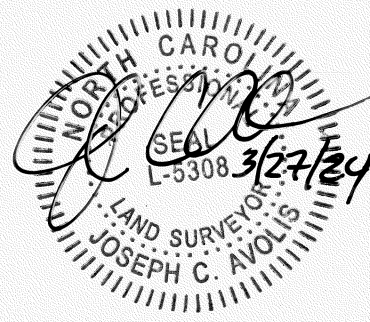
FIRM LICENSE NO. C-0706

P.O. BOX 15564  
NEW BERN, NC 28561  
(252) 633-0068

joe@avoliseng.com

JOSEPH C. AVOLIS, PE, PLS L-5308

PROJECT NO. 19067







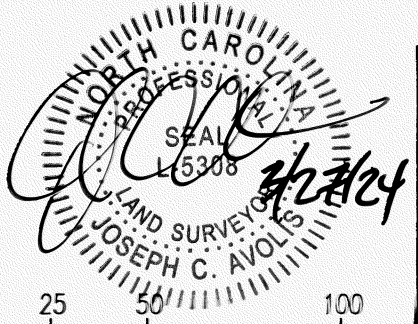
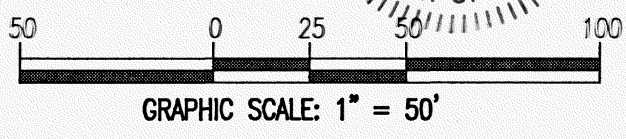
**BELLE OAKS, PHASE VI**  
A PLANNED UNIT DEVELOPMENT

OWNERS: BELLE OAKS II, LLC  
CITY OF NEW BERN, NO. 8 TOWNSHIP, CRAVEN COUNTY, NC  
TAX PARCEL ID: 8-207-090  
COVERING DEEDS: D.B. 3581, PG. 564

PLAT REFERENCE: P.B. I, PG. 1-F  
SURVEY DATE: DECEMBER 29, 2023 SCALE: AS NOTED

POSTAL ENUMERATIONS		
LOT NUMBER	ADDRESS	STREET NAME
130	125	FISHING CREEK DRIVE
131	123	FISHING CREEK DRIVE
132	121	FISHING CREEK DRIVE
133	119	FISHING CREEK DRIVE
134	111	FISHING CREEK DRIVE
135	109	FISHING CREEK DRIVE
136	107	FISHING CREEK DRIVE
137	105	FISHING CREEK DRIVE
138	103	FISHING CREEK DRIVE
139	101	FISHING CREEK DRIVE
140	100	FISHING CREEK DRIVE
141	102	FISHING CREEK DRIVE
142	104	FISHING CREEK DRIVE
143	106	FISHING CREEK DRIVE
144	108	FISHING CREEK DRIVE
145	110	FISHING CREEK DRIVE
146	112	FISHING CREEK DRIVE
147	114	FISHING CREEK DRIVE
148	116	FISHING CREEK DRIVE
149	118	FISHING CREEK DRIVE
150	120	FISHING CREEK DRIVE
151	122	FISHING CREEK DRIVE
152	124	FISHING CREEK DRIVE
153	126	FISHING CREEK DRIVE
154	128	FISHING CREEK DRIVE
155	130	FISHING CREEK DRIVE

CURVE TABLE				
CURVE	CH BEARING	CHORD	LENGTH	RADIUS
C1	S18°29'15"W	126.72'	127.11'	469.50
C2	N15°26'57"E	179.98'	181.05'	480.50
C3	N01°31'57"E	52.34'	52.37'	480.50
C4	N03°18'26"W	28.80'	28.80'	480.50
C5	S0d1°28"W	49.50'	54.98'	35.00
C6	N87°27'58"W	6.58'	6.60'	25.00
C7	N66°20'29"W	11.73'	11.84'	25.00
C8	S78°28'12"E	43.36'	44.85'	50.00
C9	N51°34'27"E	41.09'	42.34'	50.00
C10	N03°03'09"E	41.09'	42.34'	50.00
C11	N45°28'09"W	41.09'	42.34'	50.00
C12	S76°28'44"W	55.62'	58.98'	50.00
C13	N54°27'53"E	10.20'	10.28'	25.00
C14	N75°36'30"E	8.14'	8.17'	25.00
C15	S75°13'40"E	23.71'	24.19'	35.00
C16	N58°13'07"W	4.86'	4.86'	50.00
C17	N88°43'18"W	46.51'	48.37'	50.00
C18	S40°18'07"W	39.49'	40.60'	50.00
C19	S10°31'24"E	46.27'	48.11'	50.00
C20	S41°21'10"E	5.70'	5.70'	50.00
C21	N24°49'16"W	23.71'	24.19'	35.00
C22	N03°16'39"W	25.58'	25.58'	419.50
C23	N03°31'31"E	73.94'	74.04'	419.50
C24	N13°00'53"E	64.85'	64.92'	419.50
C25	N21°50'45"E	64.33'	64.40'	419.50
C26	S17°12'25"W	167.56'	168.25'	536.34
C27	S18°40'09"W	121.14'	121.49'	459.50
C28	N15°56'34"E	175.42'	176.37'	490.50



SHEET 3 of 3 - FINAL PLAT

**AVOLIS ENGINEERING, P.A.**  
FIRM LICENSE NO. C-0706  
P.O. BOX 15564  
NEW BERN, NC 28561  
(252) 633-0068  
joe@avoliseng.com

**JOSEPH C. AVOLIS, PE, PLS L-5308**

PROJECT NO. 19067



April 8, 2024

Overlook Holdings, LLC  
PO Box 3557  
Cary, NC 27519

To whom it may concern:

The City of New Bern is notifying all property owners within one hundred (100) feet of your property, parcel 7-104-14008 regarding the Final Subdivision plan submittal with mailed notice of the request. The property is 21.09 + / - acres and is located at/near Bayberry Park Drive.

The Planning & Zoning Board of the City of New Bern will hold a public meeting to consider the proposed Final Subdivision plan request. The regularly scheduled meeting will be on Thursday, April 18, 2024, in the 2<sup>nd</sup> floor courtroom of the City Hall building, located at 300 Pollock Street, New Bern, NC 28560, at 5:30 pm.

A copy of the application is available for public review during normal business hours in the Development Services office, located at 303 First Street. For further information contact Kendrick Stanton, Land & Community Development Administrator at (252) 639-7582 or [Stanton.Kendrick@newbernnc.gov](mailto:Stanton.Kendrick@newbernnc.gov).

Sincerely,



Kendrick Stanton, CZO  
Land & Community Development Administrator  
Phone: 252-639-7582

cc: File

*Individuals with disabilities requiring special assistance should call (252)639-7501 no later than 3:00 p.m. the date of the meeting.*

April 8, 2024

Dear Property Owner:

The City of New Bern is notifying all property owners within one hundred 100 feet of parcel 7-104-14008 of a proposed Final Subdivision Plan request with mailed notice (See attached map for reference). The property is 21.09 + / - acres and is located at/near Bayberry Park Drive.

The Planning & Zoning Board of the City of New Bern will hold a public meeting to consider the proposed Final Subdivision plan request. The regularly scheduled meeting will be on Thursday, April 18, 2024, in the 2<sup>nd</sup> floor courtroom of the City Hall building, located at 300 Pollock Street, New Bern, NC 28560, at 5:30 pm.

A copy of the application is available for public review during normal business hours in the Development Services office, located at 303 First Street. For further information contact Kendrick Stanton, Land & Community Development Administrator at (252) 639-7582 or [Stanton.Kendrick@newbernnc.gov](mailto:Stanton.Kendrick@newbernnc.gov).

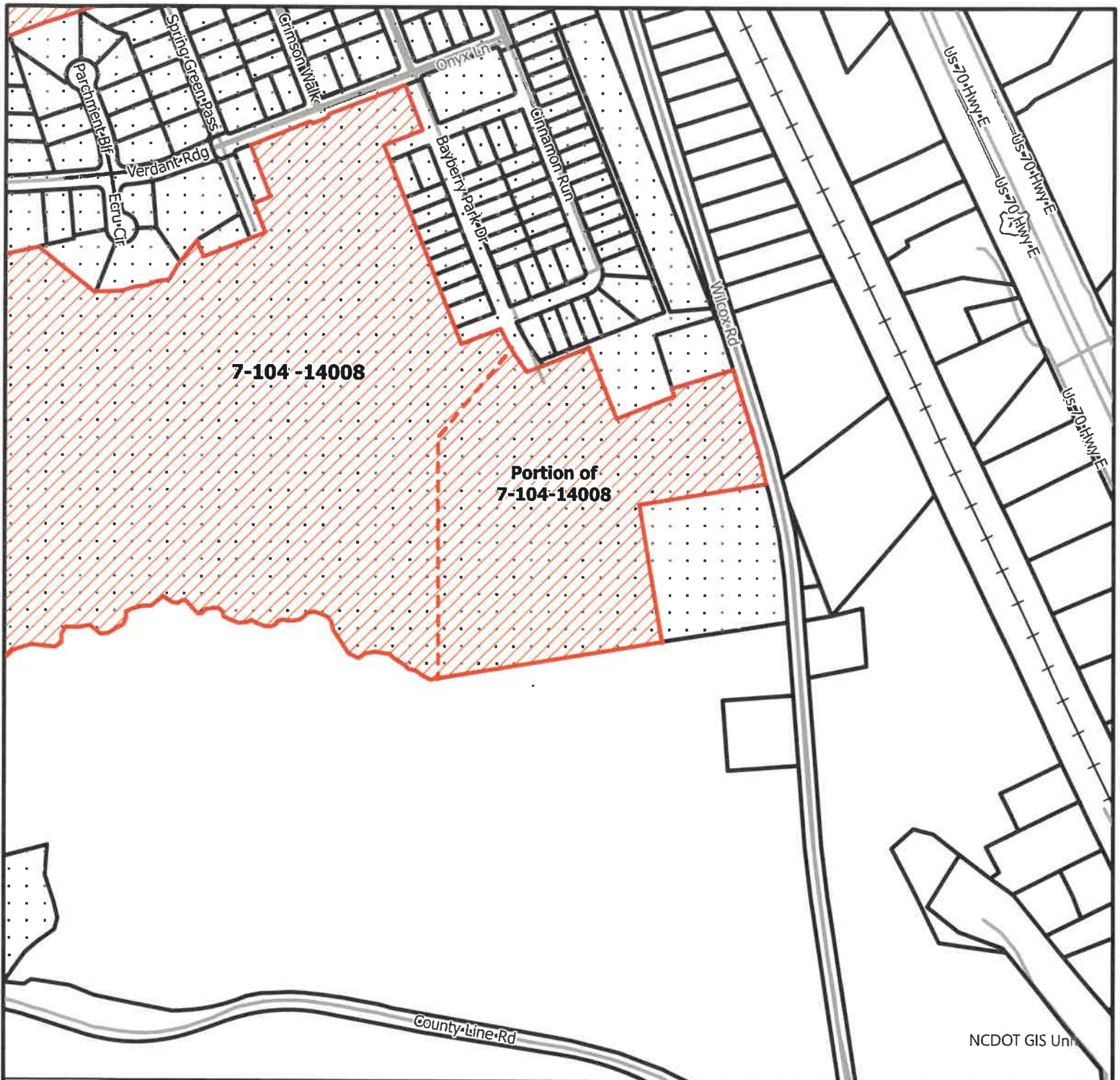
Sincerely,



Kendrick Stanton, CZO  
Land & Community Development Administrator  
Phone: 252-639-7582

cc: File

***Individuals with disabilities requiring special assistance should call (252)639-7501 no later than 3:00 p.m. the date of the meeting.***



—+— Railroad

— Roads

▧ ETJ

□ City Limits

▤ Chambray subdivision boundary

▭ Parcels

▨ Parcel 7-104-14008

**SUBMAJ-002857-2024, Chambray at Carolina Colours**

**Parcel ID: 7-104-14008**

**Type of Development: Single-family**

**Type of Subdivision Plan: Final Plat**

**Proposed Number of Lots: 27**

**Total Acres: 21.09**

**Zoning District: R-8**

Imagery Flown: Early 2021. Print Date: 4/5/2024

This map is intended for reference only. All dimensions are approximate.

As per NCGS 132-10, this map is not to be resold or otherwise used for commercial purposes.



**NEW BERN**

**CITY OF NEW BERN**

**Development Services**



1 inch equals 500 feet

0 375 750 Feet



# STAFF REPORT

DEVELOPMENT SERVICES

SUBMAJ-002857-2024 (Final), Chambray at Carolina Colours



## Address/Location(s)

At/near Bayberry Park Drive,  
New Bern, NC

## Map Number(s)

7-104-14008

## Parcel Size

21.09 Acres

## Current Use

Vacant

## Current Zoning

Residential 8 (R-8)

## Proposed Lot Count:

27 Single Family Detached  
Homes (PUD)

## Summary of Proposal

Thomas Engineering, PA (John G. Thomas), on behalf of Overlook Holdings, LLC, has submitted an application for Final Plat Subdivision approval. The subject property totals 21.09 acres and is located at/near Bayberry Park Drive. The project proposes 27 Single-family detached lots, and 3.22 acres of open space (excluding wetlands, ponds, and amenities). The project will be served by the City of New Bern water and sewer.

## Synopsis of Site and Surrounding Area

The parcel totals 21.09 acres and is located at/near Bayberry Park Drive, New Bern, NC.

Within a half mile of the site, there are residential constructed homes, and vacant lots.

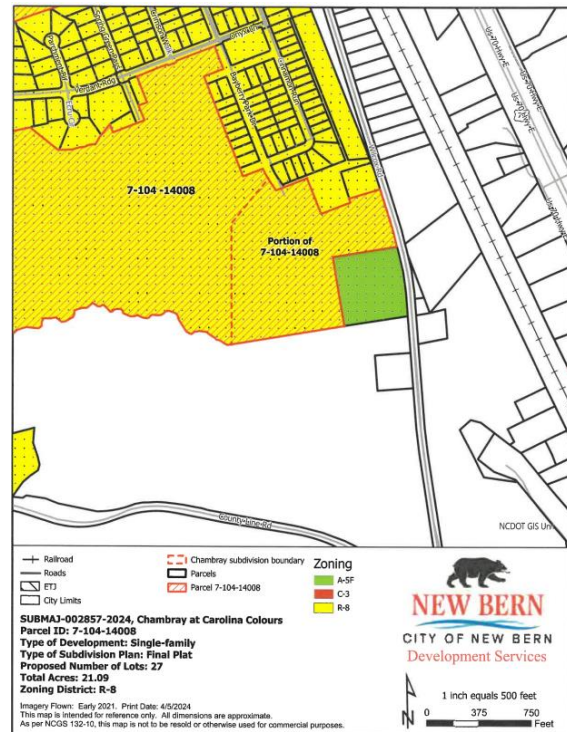
## Zoning District Summary

The R-8 residential district is designed to accommodate single-, two-, and multifamily dwellings with a minimum 8,000 square feet lot for one unit and 4,000 square feet for each additional unit; multifamily density maximum is approximately 10.6 units per acre (based on a five-acre tract). For the R-8 residential district, in promoting the general purposes of this ordinance, the specific intent of this district is:

- (a) To encourage the continued use of the land for residential purposes;
- (b) To prohibit commercial and industrial use of the land and to prohibit any other use which would substantially interfere with development or continuation of residential uses in the district;
- (c) To encourage the discontinuance of existing uses that would not be permitted as new uses in this district;
- (d) To discourage any use which would generate traffic on minor streets other than normal traffic to serve residences on those streets; and
- (e) To discourage any use which because of its character or size would create requirements and costs for public services such as police and fire protection, water supply and sewerage, substantially in excess of such requirements and costs if the district were developed solely for residential purposes.

## Staff Evaluation

The proposed subdivision meets all requirements set forth in the City of New Bern's Land Use Ordinance. All comments from the Development Review Committee have been addressed.





7-104-14008

Portion of 7-104-14008

County Line Rd

US Highway 17

NCDOT GIS Unit

+ Railroad  
 — Roads  
 [Hatched Box] ETJ  
 [Dotted Box] City Limits  
 [Red Dashed Box] Chambray subdivision boundary  
 [Black Outline Box] Parcels  
 [Red Outline Box] Parcel 7-104-14008

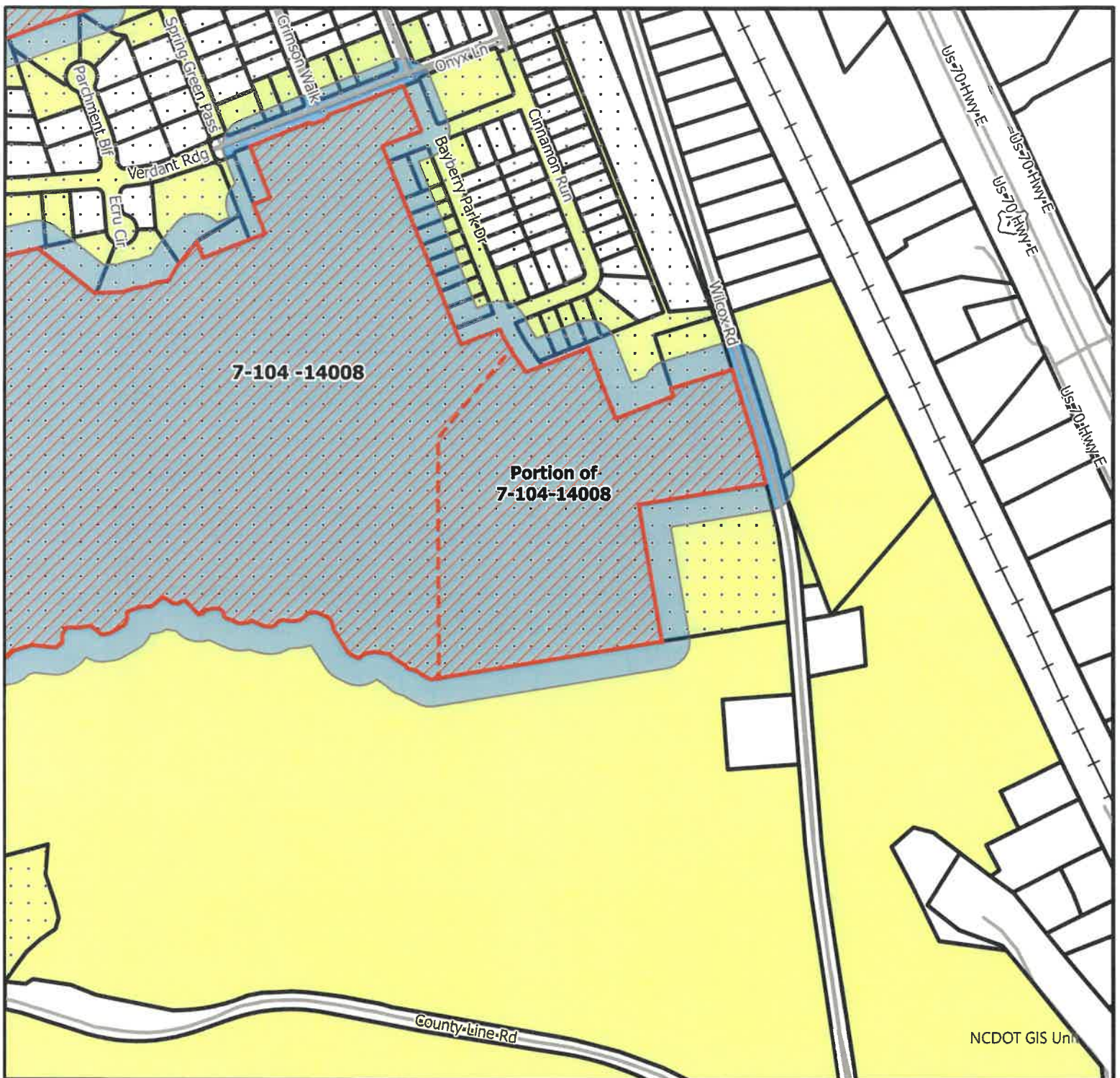
**SUBMAJ-002857-2024, Chambray at Carolina Colours**  
**Parcel ID: 7-104-14008**  
**Type of Development: Single-family**  
**Type of Subdivision Plan: Final Plat**  
**Proposed Number of Lots: 27**  
**Total Acres: 21.09**  
**Zoning District: R-8**

**NEW BERN**  
 CITY OF NEW BERN  
 Development Services

1 inch equals 500 feet  
 0 375 750 Feet

Imagery Flown: Early 2021. Print Date: 4/5/2024  
 This map is intended for reference only. All dimensions are approximate.  
 As per NCGS 132-10, this map is not to be resold or otherwise used for commercial purposes.

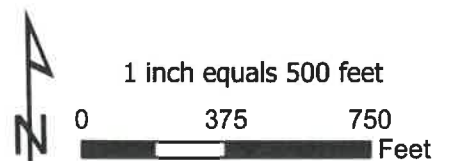




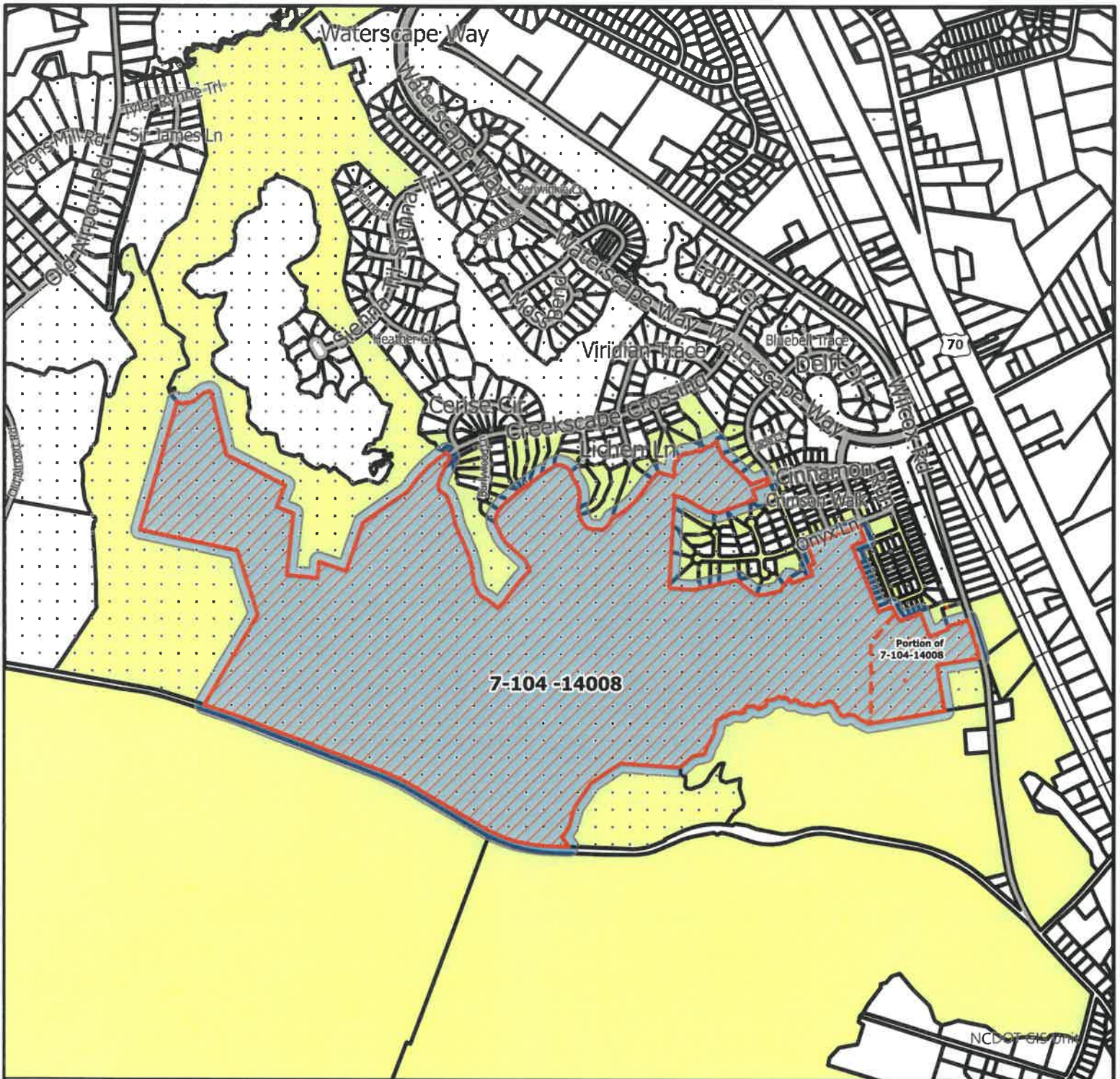
- |   |          |   |                    |     |                               |
|---|----------|---|--------------------|-----|-------------------------------|
| + | Railroad | □ | City Limits        | --- | Chambray subdivision boundary |
| — | Roads    | □ | Parcels            | ■   | 100 ft Buffer                 |
| ▨ | ETJ      | ▨ | Parcel 7-104-14008 | ■   | Parcels in 100 ft Buffer      |

**SUBMAJ-002857-2024, Chambray at Carolina Colours**  
**Parcel ID: 7-104-14008**  
**Type of Development: Single-family**  
**Type of Subdivision Plan: Final Plat**  
**Proposed Number of Lots: 27**  
**Total Acres: 21.09**  
**Zoning District: R-8**

Imagery Flown: Early 2021. Print Date: 4/5/2024  
 This map is intended for reference only. All dimensions are approximate.  
 As per NCGS 132-10, this map is not to be resold or otherwise used for commercial purposes.







+ Railroad  
 — Roads  
 ETJ

City Limits  
 Parcels  
 Parcel 7-104-14008

Chambray subdivision boundary  
 100 ft Buffer  
 Parcels in 100 ft Buffer

**SUBMAJ-002857-2024, Chambray at Carolina Colours**

**Parcel ID: 7-104-14008**

**Type of Development: Single-family**

**Type of Subdivision Plan: Final Plat**

**Proposed Number of Lots: 27**

**Total Acres: 21.09**

**Zoning District: R-8**

Imagery Flown: Early 2021. Print Date: 4/5/2024

This map is intended for reference only. All dimensions are approximate.

As per NCGS 132-10, this map is not to be resold or otherwise used for commercial purposes.



**NEW BERN**

**CITY OF NEW BERN**

**Development Services**



1 inch equals 1,500 feet

0 1,000 2,000 Feet

# SUBDIVISION APPLICATION

CITY OF NEW BERN - DEVELOPMENT SERVICES



## PROJECT AND PROPERTY INFORMATION

Date Submitted: March 1, 2024

Proposed Subdivision Name: Chambray at Carolina Colours

Proposed Phase/Section: \_\_\_\_\_

Property Address or Location: Carolina Colours community off of Bayberry Park Drive

Parcel ID Number(s): 7-104-14008

### Type of Development:

- ☒ Single-family
- ☐ Planned Unit Development (PUD)
- ☐ Multi-family (Townhomes, Duplexes)
- ☐ Mixed Use
- ☐ Commercial

### Type of Subdivision Plan:

- ☐ Exempt Subdivision
- ☐ General Plan
- ☒ Final Plat

### Site Data:

Total Acreage: 21.09

Existing Number of Lots: 0

Proposed Number of Lots: 27

Smallest Lot Size: 10,823 sf

Average Lot Size: 26,155 sf

Linear Feet in Streets: 1,011 lf

Zoning District: R-8

*Please continue to Page 2 of the City of New Bern Subdivision Application*



## SUBDIVISION CONTACT INFORMATION

**Please list the primary point of contact for the subdivision application as the applicant.**

### APPLICANT INFORMATION

Name: Thomas Engineering, PA (John G. Thomas)

Mailing Address: P. O. Box 1309

New Bern, NC 28563

Telephone: 252-637-2727

Alternate Number: 252-671-5855

Email Address: johnthomas@thomasengineeringpa.com

### PROPERTY OWNER INFORMATION

Name: Overlook Holdings, LLC

Mailing Address: P. O. Box 3557

Cary, NC 27519

Telephone: 252-636-3700

Alternate Number: \_\_\_\_\_

Email Address: kperegoy@carolinacolours.com

### DEVELOPER INFORMATION

Name: Overlook Holdings, LLC

Mailing Address: P. O. Box 3557

Cary, NC 27519

Telephone: 252-636-3700

Alternate Number: \_\_\_\_\_

Email Address: \_\_\_\_\_

kperegoy@carolinacolours.com

### SURVEYOR/ENGINEER INFORMATION

Name: Thomas Engineering, PA

Mailing Address: P. O. Box 1309

New Bern, NC 28563

Telephone: 252-637-2727

Alternate Number: 252-671-5855

Email Address: johnthomas@thomasengineeringpa.com

Digitally signed by John G. Thomas, Sr.  
Date: 2024.02.29 15:56:46 -05'00'

\_\_\_\_\_  
**Property Owner's Signature/Date**

\_\_\_\_\_  
**Signature of Applicant/Date**

Overlook Holdings, LLC by Kip Peregoy

**Printed Name of Property Owner**

Thomas Engineering, PA by John C

**Printed Name of Applicant**

SUBDIVISION APPLICATION

PAGE 2



To: Thomas Engineering, PA (John G Thomas)

From: Kendrick Stanton, CZO, Land and Community Development Administrator

RE: SUBMAJ-002857-2024, DRC Comments – (Final) Chambray at Carolina Colours

Date: 03/21/2024

The following comments were generated from DRC.

**Planning/Zoning**

- Add adjacent zoning and parcel ID numbers.
- Contact information for questions: **Ph: 252-639-7582**

**MPO**

- No comment.
- Contact information for questions: **Ph: 252-639-7592**

**Historic Preservation Administrator**

- No comment.
- Contact information for questions: **Ph: 252-639-7583**

**Police Department**

- No comment provided.
- Contact Information for questions: **Ph: 252-672-4293**

**Fire Marshal**

- Must meet the fire flow and hydrant distribution requirements of NC Fire Code Section 507 and Appendices B & C.
  - Provide a water utility plan which shows hydrant locations and calculated flow rates.
- Contact information for questions: **Ph: 252-639-2961**

**Building Inspector**

- No comment.
- Contact information for questions: **Ph: 252-639-2945**

**Department of Public Utilities**

- No comment provided.
- Contact information for questions: **Ph: 252-639-2827**

**Craven County Health Department**

- No comment provided.
- Contact information for questions: **Ph: 252-636-4936**



### Public Works

- Right-of-Way
  - Any proposed mail kiosk needs to be shown on drawings. Mail kiosks cannot be located in public right-of-way, and any parking for kiosk access needs to be painted/marked on the pavement and shown on the drawings.
- Other
  - Public Works will need to perform a site inspection on this development prior to agreeing that a guarantee in lieu of will not be required.
  - Please provide contact information for owner or owner's representative to Daniel Casserly @ 252-639-7519
- Contact information for questions: Ph: 252-639-7500

### GIS

- Verify addresses from E911 coordinator.
- Contact Information for questions: Ph: 252-639-7588

### NCDOT

- No comment.
- Contact information for questions: Ph: 252-649-6505

### Water Resources

- No comment provided for this item.
- Contact information for questions: Ph: 252-639-7523

### Parks & Recreation

- No comment provided.
- Contact information for questions: Ph: 252-639-2902

Please submit a response letter to these comments by electronic PDF. Additionally, please submit an electronic PDF file of the revised site plan to my email, [Stanton.Kendrick@NewBernNC.gov](mailto:Stanton.Kendrick@NewBernNC.gov) and one (1) physical plan on 18" X 24" paper of the revised site plan by Monday, April 1, 2024. Failure to submit the revised plans or request an extension by the date indicated will constitute a denial of the plan, and a full resubmission would be required. If you have any questions, you may contact me.



**Hand Delivered & Emailed**

April 1, 2024

To: City of New Bern  
Department of Development Services  
303 First Street  
New Bern, NC 28560

Attn: Kendrick Stanton  
CZO – Land and Community Development Administrator

Re: Chambray at Carolina Colours  
Final Plat Revision Submittal

Dear Kendrick,

Per your March 21, 2024 comment letter as generated from the March DRC meeting, please find attached one (1) revised copy of the Final Plat for the above referenced project. I will respond to comments received below in **BLUE** text:

**Planning/Zoning**

- Add adjacent zoning and parcel ID numbers.  
**We have added zoning classifications and parcel ID's to adjacent properties, as applicable.**

**Fire Marshal**

- Must meet the fire flow and hydrant distribution requirements of NC Fire Code Section 507 and Appendices B & C. Provide a water utility plan which shows hydrant locations and calculated flow rates.  
**We have emailed the as-built drawings (as completed by others) to your email for disbursement. An additional hard copy is attached for reference. Note that the flow rates would have been calculated previously by McKim & Creed and submitted to the City of New Bern Engineering Department prior to a permit being issued for this project.**

**Public Works**

- **Right-of-Way**  
Any proposed mail kiosk needs to be shown on drawings. Mail kiosks cannot be located in public right-of-way, and any parking for kiosk access needs to be painted/marked on the pavement and shown on the drawings.  
**Per previous discussions with Development Services and Public Works, we have added an approximate 10' x 10' Access Easement to Lot 27, for the purpose of moving the mail kiosk location off right-of-way. Note that the original location was as agreed upon with Public Works. Also, note that moving the kiosk CBU**



**location back will allow adequate room for the developer to install a parking area in front of the kiosk, should it later be required by the USPS Postmaster.**

- **Other**

Public Works will need to perform a site inspection on this development prior to agreeing that a guarantee in lieu of will not be required. Please provide contact information for owner or owner's representative to Daniel Casserly @ 252.639.7519.

**I have spoken with Dan Casserly about this subdivision and he stated that no guarantees would be required for this subdivision.**

**GIS**

- Verify addresses from E911 coordinator.

**Addresses as shown on the plat are as provided by Ronnie Compton, City of New Bern Addressing Coordinator. Attached and for reference is a copy of that letter.**

We have also emailed you an electronic copy of the revised plat and this document.

Please review and let me know if you have any questions, comments, or require additional information.

Thank you,

*Bobby Billingsley*

Bobby Billingsley, PE

BobbyBillingsley@ThomasEngineeringPA.com

Attachments



To: Thomas Engineering, PA (John G Thomas)

From: Kendrick Stanton, CZO, Land and Community Development Administrator

RE: SUBMAJ-002857-2024, DRC Comments – (Final) Chambray at Carolina Colours

Date: 03/21/2024

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- Contact information for questions: **Ph: 252-639-7583**

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- No comment provided.
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**Building Inspector**

- No comment.
- Contact information for questions: **Ph: 252-639-2945**

**Department of Public Utilities**

- No comment provided.
- Contact information for questions: **Ph: 252-639-2827**

**Craven County Health Department**

- No comment provided.
- Contact information for questions: **Ph: 252-636-4936**

### Public Works

- Right-of-Way
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- Other
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- No comment provided for this item.
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### Parks & Recreation

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Please submit a response letter to these comments by electronic PDF. Additionally, please submit an electronic PDF file of the revised site plan to my email, [Stanton.Kendrick@NewBernNC.gov](mailto:Stanton.Kendrick@NewBernNC.gov) and one (1) physical plan on 18" X 24" paper of the revised site plan by Monday, April 1, 2024. Failure to submit the revised plans or request an extension by the date indicated will constitute a denial of the plan, and a full resubmission would be required. If you have any questions, you may contact me.





Founded 1797

# NEW BERN

NEW BERN POLICE DEPARTMENT

P.O. Box 1129, New Bern, NC 28563-1129  
(252) 672-4100

*Police and Community come together here.*



Patrick L. Gallagher  
Chief of Police

Date: February 29, 2024

Dear Sir/Ma'am,

At your request, this letter is provided in order to verify/assign the below addresses which are located in Bayberry Park Phase Three.

LOT	ADDRESS	ROAD NAME
1	7001	Bayberry Park Dr
2	7003	Bayberry Park Dr
3	7005	Bayberry Park Dr
4	7007	Bayberry Park Dr
5	7009	Bayberry Park Dr
6	7011	Bayberry Park Dr
7	7013	Bayberry Park Dr
8	7015	Bayberry Park Dr
9	7017	Bayberry Park Dr
10	7019	Bayberry Park Dr
11	7021	Bayberry Park Dr
12	7023	Bayberry Park Dr
13	7022	Bayberry Park Dr
14	7020	Bayberry Park Dr
15	7018	Bayberry Park Dr
16	7016	Bayberry Park Dr
17	7014	Bayberry Park Dr
18	1001	Tawney Trce
19	1003	Tawney Trce
20	1005	Tawney Trce

21	1007	Tawney Trce
22	1009	Tawney Trce
23	1008	Tawney Trce
24	1006	Tawney Trce
25	1004	Tawney Trce
26	1002	Tawney Trce
27	1000	Tawney Trce

Listed below is a set of guidelines also required by local ordinance to aid in property identification. All property owners and residents are required to display addresses based on the guidelines below:

1. Address numbers affixed to a structure must be a minimum of three (3) inches in height for residents and six (6) for businesses and shall be placed on the front of the building facing the road, or on the end of the building nearest the road so as to be easily seen. Numbers may be displayed on a mailbox which is located directly in front of the structure. **If a building is more than 75 feet from the street on which it fronts, the address number shall be displayed on a sign attached to a fence, gate, lawn, stake, mailbox, or other suitable structure at or near the street right-of-way line so as to be clearly visible from the street.**
2. Numbers for multiple dwelling units and nonresidential buildings shall be at six (6) inches in height and shall be placed on the front of the building facing the road or on the end of the building nearest the road. Individual units will also be required to display at least three (3) inch unit numbers on the front door or immediately adjacent to the door.
3. Address numbers must be set on a background of contrasting color.
4. On a corner lot, the address number should face the street named in the address.
5. Address numbers should be plain block numeric numbers and not in alpha print.

If you have any questions or concerns please contact the undersigned at (252) 672-4107. If we can be of further assistance please feel free to call on us.

Best regards,

*Ronnie Compton*

Ronnie Compton,  
Geographic Information Systems Technician  
City of New Bern Addressing Coordinator  
Technology and Records Section  
New Bern Police Department



# FINAL PLAT OF CHAMBRAY AT CAROLINA COLOURS

## CERTIFICATE OF OWNERSHIP AND DEDICATION

I (WE) HEREBY CERTIFY THAT I AM (WE ARE) THE OWNER(S) OF THE PROPERTY DESCRIBED HEREON, WHICH IS LOCATED IN THE SUBDIVISION REGULATION JURISDICTION OF THE CITY OF NEW BERN, THAT I (WE) HEREBY FREELY ADOPT THIS PLAN OF SUBDIVISION AND DEDICATE TO PUBLIC USE ALL AREAS SHOWN ON THIS PLAT AS STREETS, ALLEYS, WALKS, PARKS, OPEN SPACE, AND EASEMENTS, EXCEPT THOSE SPECIFICALLY INDICATED AS PRIVATE, AND THAT I (WE) WILL MAINTAIN ALL SUCH AREAS UNTIL THE OFFER OF DEDICATION IS ACCEPTED BY THE APPROPRIATE AUTHORITY. ALL PROPERTY SHOWN ON THIS PLAT AS DEDICATED FOR A PUBLIC USE SHALL BE DEEMED TO BE DEDICATED FOR ANY OTHER PUBLIC USE AUTHORIZED BY LAW WHEN SUCH OTHER USE IS APPROVED BY THE BOARD OF ALDERMEN IN THE PUBLIC INTEREST.

OWNER: OVERLOOK HOLDINGS, LLC.

SIGNED \_\_\_\_\_ DATE \_\_\_\_\_

NOTARY CERTIFICATE  
NORTH CAROLINA, \_\_\_\_\_ COUNTY

I, \_\_\_\_\_, A NOTARY PUBLIC OF \_\_\_\_\_  
COUNTY, DO HEREBY CERTIFY THAT \_\_\_\_\_ PERSONALLY APPEARED  
BEFORE ME THIS DAY AND ACKNOWLEDGED THE DUE EXECUTION OF THE FOREGOING CERTIFICATE.  
WITNESS MY HAND AND SEAL THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_\_, A.D.

OWNER: OVERLOOK HOLDINGS, LLC.

SIGNED \_\_\_\_\_

MY COMMISSION EXPIRES \_\_\_\_\_

## CERTIFICATE OF APPROVAL

I HEREBY CERTIFY THAT ALL STREETS SHOWN ON THIS PLAT ARE WITHIN THE CITY OF NEW BERN'S PLANNING JURISDICTION. ALL STREETS AND OTHER IMPROVEMENTS SHOWN ON THIS PLAT HAVE BEEN INSTALLED OR COMPLETED OR THAT THEIR INSTALLATION OR COMPLETION WITHIN 12 MONTHS AFTER THE DATE BELOW) HAS BEEN ENSURED BY THE POSTING OF A PERFORMANCE BOND OR OTHER SUFFICIENT SURETY, AND THAT THE SUBDIVISION SHOWN ON THIS PLAT IS IN ALL RESPECTS IN COMPLIANCE WITH THE NEW BERN CITY CODE, AND THEREFORE THIS PLAT HAS BEEN APPROVED BY THE NEW BERN BOARD OF ALDERMEN, SUBJECT TO ITS BEING RECORDED IN THE REGISTER OF DEEDS OFFICE OF CRAVEN COUNTY WITHIN ONE YEAR OF THE DATE BELOW.

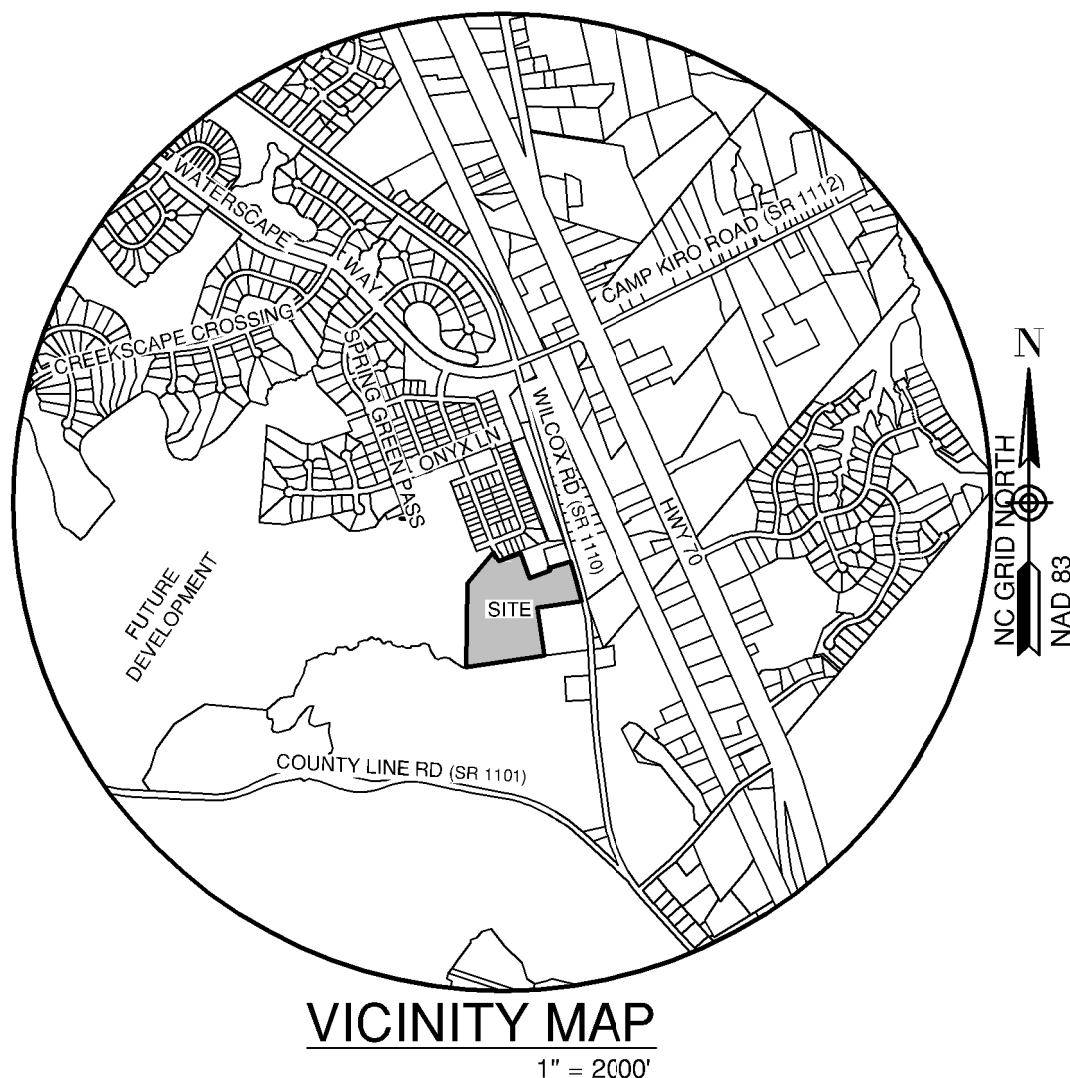
DATE \_\_\_\_\_

MAYOR \_\_\_\_\_ CITY CLERK \_\_\_\_\_

## GENERAL NOTES AND SITE DATA

- ALL DISTANCES ARE HORIZONTAL GROUND MEASUREMENTS, NO GRID FACTORS APPLIED.
- ALL CORNERS ARE TO BE MARKED WITH IRON PIPES, UNLESS OTHERWISE NOTED.
- BOUNDARY INFORMATION IS AS PROVIDED ON THE "CONVEYANCE MAP - A PORTION OF CRAVEN TRACT 32 WEYERHAEUSER REAL ESTATE DEVELOPMENT COMPANY 2006.85 ACRES", AS PREPARED BY DAVID L. JONES, JR., (RL-3672), DATED AUGUST 2, 2004, AND AS RECORDED IN PLAT CABINET H, SLIDES 1-A THROUGH 1-E OF THE OF THE CRAVEN COUNTY REGISTRY.
- DEED REFERENCE: DB 3183, PG 671.
- PARCEL ID# 7-104-14008
- PROPOSED PROPERTY ADDRESSES ARE AS SHOWN AND SET BY THE CITY OF NEW BERN.
- ZONING IS R-8.
- ALL COMMON AREAS AS SHOWN ARE TO BE DEDICATED TO THE PROPERTY OWNER'S ASSOCIATION.
- PORTIONS OF THIS PROJECT SCALES WITHIN ZONE "AE" AND ZONE "X" AS PER FLOOD INSURANCE RATE MAPS 3720640600K, DATED JUNE 19, 2020 AS ESTABLISHED BY FEMA. THIS REPORT IN NO WAY SUPERCEDES THE ABOVE MENTIONED FIRM.
- BASE FLOOD ELEVATION DOWNSTREAM OF THIS SITE IS 13.4'.
- THIS PROJECT IS NOT IN AN AREA OF ENVIRONMENTAL CONCERN.
- THERE ARE NO BLUE-LINE STREAMS AND THEIR ASSOCIATED RIPARIAN BUFFERS PRESENT ON THIS SITE.
- THIS PLAT DOES NOT ADDRESS THE ISSUE OF THE EXISTENCE OR NONEXISTENCE OF WETLANDS WITHIN THE SUBDIVISION. THE ENFORCEMENT OF WETLAND REGULATIONS UNDER THE SECTION 404 OF THE CLEAN WATER ACT OF 1989 IS WITHIN THE JURISDICTION OF THE U.S. ARMY CORPS OF ENGINEERS. INQUIRIES CONCERNING THAT MATTER SHOULD BE ADDRESSED TO THAT AGENCY.
- A. SEWER: PUBLIC SANITARY SEWER SYSTEM (CITY OF NEW BERN).  
B. WATER: PUBLIC WATER SYSTEM (CITY OF NEW BERN).  
C. REFUSE: PUBLIC REFUSE SYSTEM (CITY OF NEW BERN).  
D. ELECTRIC: PUBLIC ELECTRIC SYSTEM (CITY OF NEW BERN).
- DRAINAGE AND UTILITY EASEMENTS ARE AS FOLLOWS, UNLESS OTHERWISE NOTED:  
A. 5 FOOT PRIVATE EASEMENT PARALLEL TO ALL STREETS.  
B. 10 FOOT EASEMENTS CENTERED ALONG ALL SIDE LOT LINES.  
C. OTHER EASEMENTS AS SHOWN.
- TYPICAL MINIMUM BUILDING SETBACKS ARE AS FOLLOWS:  
A. 25 FOOT FRONT SETBACKS.  
B. 8 FOOT SIDE SETBACKS.  
C. 25 FOOT REAR SETBACKS.  
D. OTHER SETBACKS AS SHOWN AND NOTED.
- PLOT PLANS FOR ANY GIVEN LOT ARE REQUIRED BY THE CITY OF NEW BERN.
- ALL ELECTRICAL, CABLE, TELEPHONE AND OTHER COMMUNICATION WIRING SHALL BE INSTALLED UNDERGROUND.
- THE TOTAL NUMBER OF LOTS IN CHAMBRAY AT CAROLINA COLOURS IS: 27.
- THE AVERAGE LOT SIZE IN CHAMBRAY AT CAROLINA COLOURS IS: 26,155 SF.
- THE MINIMUM LOT SIZE IN CHAMBRAY AT CAROLINA COLOURS IS: 10,823 SF.
- THE TOTAL LENGTH OF STREETS IS: 1,011 ± LF.
- THE AVERAGE LOT WIDTH IN CHAMBRAY AT CAROLINA COLOURS IS: 75 LF.
- SITE TABULATION:

LOTS:	16.21 ACRES ±
COMMON AREA/OPEN SPACE:	3.22 ACRES ±
RIGHTS OF WAY:	1.66 ACRES ±
TOTALS	21.09 ACRES ±
- TREES SHALL COMPLY WITH SECTION 15-382, CITY OF NEW BERN LAND USE ORDINANCE.
- COMMON AREAS MAY BE UTILIZED FOR DRAINAGE AND UTILITY PURPOSES AND ARE SUBJECT TO DRAINAGE AND UTILITY EASEMENTS ON ALL COMMON AREA.



OWNER / DEVELOPER  
OVERLOOK HOLDINGS, LLC.  
P.O. BOX 3557  
CARY, NORTH CAROLINA 27519

ENGINEER  
McKIM & CREED, P.A.  
243 NORTH FRONT STREET  
WILMINGTON, NORTH CAROLINA 28401  
910.343.1048 FAX: 910.251.8282

SURVEYOR  
THOMAS ENGINEERING, P.A.  
P.O. BOX 1309 - 1316-B COMMERCE DRIVE  
NEW BERN, NORTH CAROLINA 28563  
OFFICE: 252.637.2727 FAX: 252.636.2448

## STATE OF NORTH CAROLINA CRAVEN COUNTY

I, \_\_\_\_\_, REVIEW OFFICER OF CRAVEN COUNTY,  
CERTIFY THAT THE MAP OR PIAT TO WHICH THIS CERTIFICATION IS AFFIXED MEETS  
ALL STATUTORY REQUIREMENTS FOR RECORDING.

DATE: \_\_\_\_/\_\_\_\_/\_\_\_\_ REVIEW OFFICER \_\_\_\_\_

CERTIFICATION OF REGISTRATION BY REGISTER OF DEEDS  
CRAVEN COUNTY NORTH CAROLINA

FILED FOR REGISTRATION THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_\_,  
A.D. AT \_\_\_\_\_ (AM/PM) AND DULY RECORDED IN PLAT CABINET \_\_\_\_\_,  
SLIDE(S) \_\_\_\_\_, AND BOOK \_\_\_\_\_, PAGE \_\_\_\_\_

REGISTER OF DEEDS MICHELLE L. TOTH  
BY \_\_\_\_\_

## TYPICAL ELEMENT SYMBOLOGY

○ EIP	-	EXISTING IRON PIPE	WM	-	WATER METER
○ EIR	-	EXISTING IRON ROD	WV	-	WATER VALVE
● SIP	-	SET/NEW IRON PIPE	SMH	-	SEWER MANHOLE
△ EMAG	-	EXISTING 'MAG' NAIL	SC	-	SEWER CLEAN-OUT
▲ SMAG	-	SET/NEW 'MAG' NAIL	SV	-	SEWER VALVE
△ EPK	-	EXISTING 'PK' NAIL	AD	-	AREA DRAIN
▲ SPK	-	SET/NEW 'PK' NAIL	CB	-	CATCH BASIN
□ ECM	-	EXISTING CONCRETE MONUMENT	P	-	UTILITY POLE
■ SCM	-	SET/NEW CONCRETE MONUMENT	PED	-	UTILITY PEDESTAL
■ CC	-	CONTROL CORNER	OHU	-	OVERHEAD UTILITIES
★ NMP	-	NON-MONUMENTED POINT	TBR	-	TO BE REMOVED
⊗ WI	-	WITNESS IRON	SQFT	-	SQUARE FEET
(T)	-	TOTAL DISTANCE	AC	-	ACRES
WL	-	WETLANDS	LA	-	LINE TABLE
TIE	-	TIE LINE	C#	-	CURVE TABLE
R/W	-	RIGHT OF WAY	--- R/W	-	RIAPARIAN BUFFER LINE
CL	-	CENTERLINE	--- F	-	FLOOD LINES
PL	-	PROPERTY LINE	--- B	-	BOUNDARY LINES
MBL	-	MINIMUM BUILDING LINE	--- P	-	PARCEL LINE
DUE	-	DRAINAGE & UTILITY EASEMENT	###	-	ADDRESS
ESMT	-	EASEMENT			
CDS	-	CUL-DE-SAC			
HYD	-	FIRE HYDRANT			

## CERTIFICATE OF SURVEY & ACCURACY

I, HERBERT J. NOBLES, JR., CERTIFY THAT THIS PLAT WAS DRAWN BY ME FROM AN ACTUAL SURVEY MADE BY ME FROM DESCRIPTION FOUND IN DEED BOOK 3183 PAGE 671 AND MAP IN PLAT CABINET H, SLIDE 1-A, CRAVEN COUNTY REGISTER OF DEEDS. THAT THE RATIO OF PRECISION AS CALCULATED IS 1:15000. THIS MAP WAS PREPARED IN ACCORDANCE WITH G.S.47-30 AS AMENDED. WITNESS MY ORIGINAL SIGNATURE, REGISTRATION NUMBER AND SEAL, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2024.

PROFESSIONAL LAND SURVEYOR  
LICENSE NUMBER L-2703



THIS SURVEY CREATES A SUBDIVISION OF LAND WITHIN THE AREA OF THE COUNTY OR MUNICIPALITY THAT HAS AN ORDINANCE THAT REGULATES PARCELS OF LAND.

## FINAL PLAT

## CHAMBRAY AT CAROLINA COLOURS

NEW BERN CRAVEN COUNTY NORTH CAROLINA

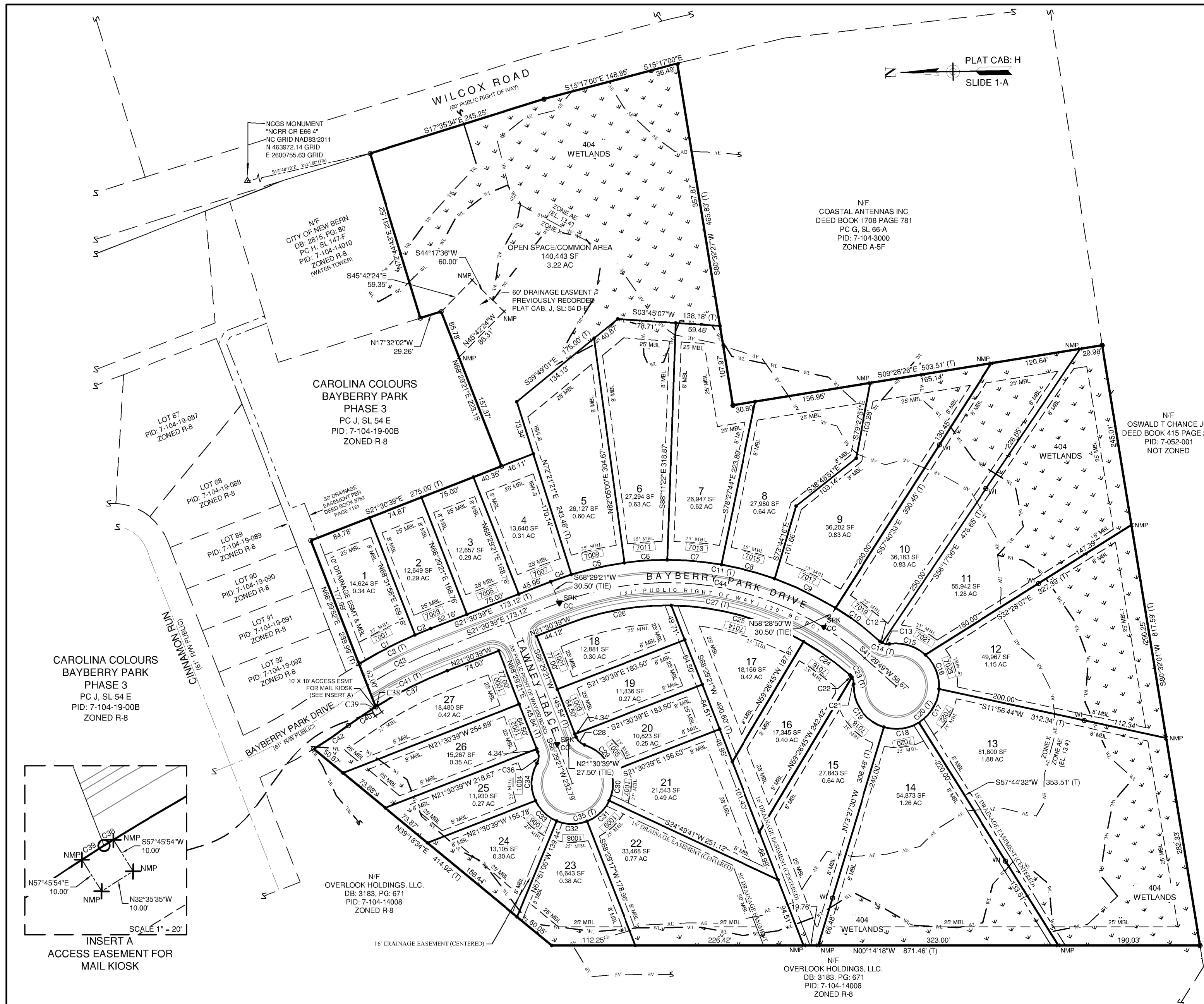
OWNER  
OVERLOOK HOLDINGS, LLC  
P.O. BOX 3557  
CARY, NORTH CAROLINA 27519

SCALE: AS SHOWN DATE: 4/1/2024  
PROJECT #: 2024-003 SHEET: 1 of 2

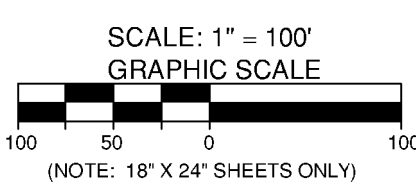
THOMAS ENGINEERING, PA est 1983  
civil engineering • land development • project management

P. O. Box 1309, New Bern, NC 28563  
www.ThomasEngineeringPA.com  
Office: 252.637.2727 Fax: 252.636.2448





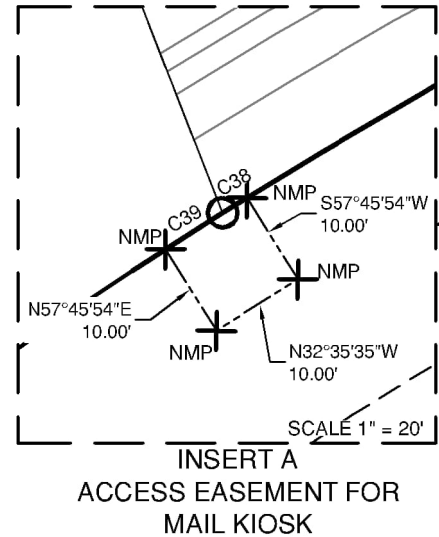
CURVE DATA				
CURVE #	LENGTH	RADIUS	CHORD DIRECTION	CHORD LENGTH
C1	85.18'	630.50'	S27° 27' 26"E	85.11'
C2	22.85'	630.50'	S22° 32' 56"E	22.84'
C3 (T)	108.03'	630.50'	S26° 25' 09"E	107.89'
C4	29.05'	430.50'	S19° 34' 39"E	29.05'
C5	73.09'	430.50'	S12° 46' 50"E	73.00'
C6	58.08'	430.50'	S4° 03' 05"E	58.04'
C7	73.09'	430.50'	S4° 40' 39"W	73.00'
C8	74.33'	430.50'	S14° 29' 15"W	74.24'
C9	90.80'	430.50'	S25° 28' 36"W	90.64'
C10	75.18'	430.50'	S36° 31' 21"W	75.09'
C11 (T)	473.63'	430.50'	S10° 00' 27"W	450.10'
C12	3.49'	15.00'	S34° 51' 21"W	3.48'
C13	9.90'	15.00'	S9° 16' 39"W	9.72'
C14 (T)	13.39'	15.00'	S15° 56' 51"W	12.95'
C15	52.54'	57.50'	S16° 32' 48"W	50.73'
C16	51.10'	57.50'	S68° 11' 02"W	49.44'
C17	54.29'	57.50'	N59° 18' 25"W	52.30'
C18	48.97'	57.50'	N7° 51' 29"W	47.51'
C19	76.35'	57.50'	N54° 34' 59"E	70.87'
C20 (T)	283.26'	57.50'	N48° 30' 11"W	72.17'
C21	9.79'	15.00'	N73° 55' 16"E	9.62'
C22	3.58'	15.00'	N48° 22' 31"E	3.57'
C23 (T)	13.38'	15.00'	N67° 04' 44"E	12.94'
C24	77.03'	369.50'	N35° 33' 39"E	76.89'
C25	186.62'	369.50'	N15° 07' 10"E	184.64'
C26	142.92'	369.50'	N10° 25' 48"W	142.03'
C27 (T)	406.57'	369.50'	N10° 00' 40"E	386.37'
C28	16.06'	18.00'	S42° 55' 31"W	15.53'
C29	52.35'	54.50'	S44° 52' 54"W	50.36'
C30	40.36'	54.50'	N86° 23' 07"W	39.44'
C31	41.53'	54.50'	N43° 20' 31"W	40.53'
C32	41.53'	54.50'	N0° 19' 05"E	40.53'
C33	40.36'	54.50'	N43° 21' 45"E	39.44'
C34	52.35'	54.50'	S87° 54' 11"E	50.36'
C35 (T)	268.48'	54.50'	N21° 30' 39"W	68.41'
C36	16.06'	18.00'	S85° 56' 49"E	15.53'
C37	108.14'	569.50'	N26° 57' 02"W	107.97'
C38	2.98'	569.50'	N32° 14' 24"W	2.98'
C39	7.02'	569.50'	N32° 44' 35"W	7.02'
C40	44.59'	569.50'	N34° 38' 03"W	44.58'
C41 (T)	152.74'	569.50'	N29° 11' 39"W	152.28'
C42	55.88'	630.50'	N34° 20' 18"W	55.87'
C43	108.07'	600.00'	S26° 40' 15"E	107.93'
C44	439.88'	400.00'	S9° 59' 35"W	418.05'



OWNER / DEVELOPER  
OVERLOOK HOLDINGS, LLC.  
P.O. BOX 3557  
CARY, NORTH CAROLINA 27519

ENGINEER  
McKIM & CREED, P.A.  
243 NORTH FRONT STREET  
WILMINGTON, NORTH CAROLINA 28401  
910.343.1048 FAX: 910.251.8282

SURVEYOR  
THOMAS ENGINEERING, P.A.  
P.O. BOX 1309 - 1316-B COMMERCE DRIVE  
NEW BERN, NORTH CAROLINA 28563  
OFFICE: 252.637.2727 FAX: 252.636.2448



CERTIFICATION OF REGISTRATION BY REGISTER OF DEEDS  
Craven County North Carolina

FILED FOR REGISTRATION THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 20\_\_\_\_  
A.D. AT \_\_\_\_\_ (AM/PM) AND DULY RECORDED IN PLAT CABINET \_\_\_\_\_  
SLIDE(S) \_\_\_\_\_, AND BOOK \_\_\_\_\_, PAGE \_\_\_\_\_

REGISTER OF DEEDS - MICHELLE L. TOTH

BY \_\_\_\_\_

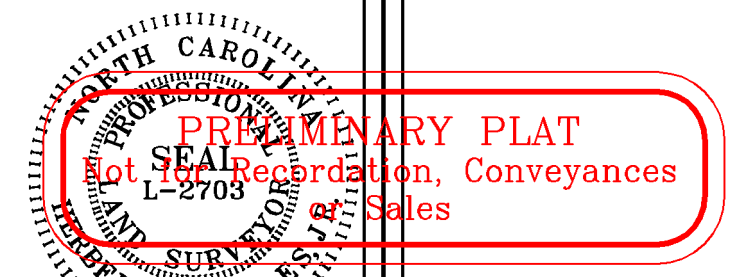
TYPICAL ELEMENT SYMBOLOLOGY			
○ EIP	EXISTING IRON PIPE	WM	WATER METER
○ EIR	EXISTING IRON ROD	WV	WATER VALVE
● SIP	SET/NEW IRON PIPE	SMH	SEWER MANHOLE
△ EMAG	EXISTING MAG' NAIL	SC	SEWER CLEAN-OUT
▲ SMAG	SET/NEW MAG' NAIL	SV	SEWER VALVE
△ EPK	EXISTING PK NAIL	AD	AREA DRAIN
▲ SPK	SET/NEW PK NAIL	CB	CATCH BASIN
□ ECM	EXISTING CONCRETE MONUMENT	P	UTILITY POLE
■ SCM	SET/NEW CONCRETE MONUMENT	PED	UTILITY PEDESTAL
■ CC	CONTROL CORNER	OBU	OVERHEAD UTILITIES
✱ NMP	NON-MONUMENTED POINT	TBR	TO BE REMOVED
⊙ WI	WITNESS IRON	SOFT	SQUARE FEET
(T)	TOTAL DISTANCE	AC	ACRES
WL	WETLANDS	L#	LINE TABLE
TIE	TIE LINE	C#	CURVE TABLE
R/W	RIGHT OF WAY	--- VB ---	RIPARIAN BUFFER LINE
CL	CENTERLINE	--- AC ---	FLOOD LINES
PL	PROPERTY LINE	---	BOUNDARY LINES
MBL	MINIMUM BUILDING LINE	---	PARCEL LINE
DUE	DRAINAGE & UTILITY EASEMENT	---	ADDRESS
ESMT	EASEMENT	---	
CDS	CUL-DE-SAC	---	
HYD	FIRE HYDRANT	---	

CERTIFICATE OF SURVEY & ACCURACY

I, HERBERT J. NOBLES, JR., CERTIFY THAT THIS PLAT WAS DRAWN BY ME FROM AN ACTUAL SURVEY MADE BY ME FROM DESCRIPTION FOUND IN DEED BOOK 3183 PAGE 671 AND MAP IN PLAT CABINET H, SLIDE 1-A, CRAVEN COUNTY REGISTER OF DEEDS. THAT THE RATIO OF PRECISION AS CALCULATED IS 1:15000. THIS MAP WAS PREPARED IN ACCORDANCE WITH G.S. 47-30 AS AMENDED. WITNESS MY ORIGINAL SIGNATURE, REGISTRATION NUMBER AND SEAL, THIS \_\_\_\_\_ DAY OF \_\_\_\_\_, 2024.

PROFESSIONAL LAND SURVEYOR  
LICENSE NUMBER L-2703

THIS SURVEY CREATES A SUBDIVISION OF LAND WITHIN THE AREA OF THE COUNTY OR MUNICIPALITY THAT HAS AN ORDINANCE THAT REGULATES PARCELS OF LAND.



FINAL PLAT

CHAMBRAY AT  
CAROLINA COLOURS

NEW BERN Craven County NORTH CAROLINA

OWNER  
OVERLOOK HOLDINGS, LLC  
P.O. BOX 3557  
CARY, NORTH CAROLINA 27519

SCALE: 1" = 100' DATE: 4/1/2024  
PROJECT #: 2024-003 SHEET: 2 of 2

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THOMAS ENGINEERING, PA est 1983  
civil engineering • land development • project management