

***Commission Members***

Sharon C. Bryant  
Jimmy Dillahunt  
Sarah Proctor  
Leander Morgan  
Steve Strickland  
Julius Parham  
Tabari Wallace



***Chair***  
Beth Walker  
***Co-Chair***  
Kip Peregoy  
***Executive Director***  
Zeb Hough (CONSULTANT)  
***Ex-Officio Members***  
Rick Prill  
Barbara Best  
Hazel Royal

**MEETING AGENDA  
October 11, 2023, 6:00 P.M.  
City Hall Courtroom  
300 Pollock Street**

1. Call to order and Welcome.
2. Roll Call.
3. Approve the Agenda.
4. Approval of Minutes (August)
5. Guiding Principles
6. Public Comments (limit of 4 minutes)
7. Consider a resolution approving the purchase of 1307 Main Street.
8. Housing Working Group Report
  - a. Consider approving Walt Bellamy's project bid
9. Neighborhood Working Group Report
10. Wellness Working Group Report
11. New Business.
  - a. RDC Budget Amendment Proposal
  - b. Insurance Quote
  - c. Discuss a project group for the Rule of Procedures
  - d. Discuss forming a project group to plan the commissioner's planning retreat.
12. Closed Session
13. Adjourn.

INDIVIDUALS WITH DISABILITIES REQUIRING SPECIAL ASSISTANCE SHOULD  
CALL (252) 639-2931 NO LATER THAN 3 P.M. THE DATE OF THE MEETING.

# AGENDA ITEM COVER SHEET

**Agenda Item Title:**

## **Consider Approval of August Minutes**

<b>Date of Meeting:</b> 10/11/2023	<b>Presenter:</b> Beth Walker
<b>Department:</b> Redevelopment Commission	<b>Person Submitting Item:</b>

<b>Explanation of Item:</b>	Per Procedure, the minutes were prepared according to statues and guidelines provided to staff. They were edited based upon feedback received from the commission. .
<b>Actions Needed by Board:</b>	If there are no amendments. The commission needs to consider approving these minutes for the public record. .
<b>Backup Attached:</b>	Minutes Attached
<b>Is item time sensitive?</b> <input checked="" type="checkbox"/> <b>Yes</b> <input type="checkbox"/> <b>No</b>	

**Additional Notes:**

**City of New Bern  
Redevelopment Commission Meeting  
August 9, 2023  
300 Pollock Street- City Hall  
Minutes**

**Members Present:** Beth Walker, Sharon Bryant, Kip Peregoy, Steve Strickland, Julius Parham, Tabari Wallace

**Ex-Officio Members Present:**

**Members Excused (E)/Absent (A):**

Sarah Proctor (E) Tabari Wallace (E)

Leander Morgan Jr. (A)

**Staff Present:**

Marvin Williams, Assistant City Manager

Zeb Hough, Redevelopment Commission Consultant

Jaimee Mosely Bullock, Attorney

**1. Call to order and Welcome.**

Kip Peregoy called the meeting to order and requested staff to call the roll.

**2. Roll Call.**

The staff established a quorum.

**3. Approval of Minutes (June and July)**

The chair presented the minutes. The Motion to accept for June 14<sup>th</sup> minutes was made by Julius Parham and seconded by Sharon Bryant, motioned passed unanimously.

The chair presented the minutes for the June 28<sup>th</sup> meeting. Julius Parham motioned to accept the minutes as presented with the correction that Kip Peregoy was absent. Beth Walker seconded the motion, and it passed unanimously.

The minutes were presented by the chair for the July 12<sup>th</sup> meeting. Julius Parham motioned to accept the minutes as presented with the correction that Kip Peregoy was absent. Sharon Bryant seconded the motion, and it passed unanimously.

**4. Approve the Agenda.**

Vice Chair Peregoy presented the agenda to the commission as disseminated and asked for a motion to accept. Steven Strickland moved to approve the agenda, and Julius Parham seconded the motion. The agenda was accepted as disseminated.

**5. Guiding Principles**

The Commission read the guiding principles.

## 6. Public Comments (limit of 4 minutes)

Agape Adams (108 Rose Garden Court) addressed the commission regarding her interest in the work of the redevelopment commission and her desire to work with the commission.

Assistant City Manager Marvin addressed the commission to share the information on the public meeting for the potential baseball use of Kafer Park.

## 7. Consider a resolution approving the purchase of 209 Bryan and 821 West Street.

Vice-chair Peregoy presented the history regarding this parcel to the commission. Discussed the process that Mr. Diggs had undergone and what the process would look like going forward. As the upset bid process was complete, the commission considered the conveyance. The approval is due to go before the board of Alderman on July 22, and then the commission would move forward with scheduling closing with Mr. Diggs.

Motion to accept Mr. Digg's bid and send the deed to the Board of Aldermen was made by Julius Parham and seconded by Steven Strickland. Staff was asked for a role call, and both resolutions passed unanimously.

## 8. 817 Murray Street Presentation

Mr. Justin Beck presented his plans to build a personal home on a dwelling located on Murray Street in the Redevelopment zone. The commission discussed the plan with Mr. Beck and referred his request to the housing workgroup. The parcel is city/county-owned, so the commission would consider what recommendation to send to the Board of Aldermen.

## 9. Housing Working Group Report

Vice Chair Peregoy presented the housing workgroup's report from their July 27<sup>th</sup> meeting to the commission. The first item was the purchase of 1305 Main Street by Ms. Jackie London. This workgroup recommended that this parcel begin the upset bid process.

Mr. Stewart made the presentation. The housing workgroup recommended that the city be conveyed to the commission so that protective covenants could be attached. Two resolutions were presented to the commission. Julius Parham motioned to adopt "option B" to convey the parcel to the commission. Steven Strickland made a second. Having no further discussion, the staff was asked to call the role. The motion passed unanimously.

The next item addressed by the housing workgroup was the conveyance of the 911 Eubanks parcel to Habitat for Humanity. The commission discussed the other requested parcels.

Julius Parham, a past board member of the Habitat for Humanity organization, offered to recuse himself to avoid conflicts. Steven Strickland Made the motion to recuse Julius Parham. Beth Walker seconded the motion. The Commission voted unanimously to allow Mr. Parham to be recused.

Beth Walker motioned to convey the Redevelopment interest to Habitat for Humanity. Steven Strickland Seconded the motion. The commission discussed the reasons for the resolution. Further, the terms and restrictions were discussed. The roll was called to accept the resolution. The resolution passed unanimously (Commissioner Parham recused).

The commission then considered action concerning the parcels on Eubanks, where Craven County and the city of New Bern own the interests. The motion to adopt the resolution to recommend to the city and the county to convey the requested parcel to Habitat for Humanity was made by Steven Strickland; Beth Walker made a second. The roll was called, and the motion passed unanimously.

The Jone Street project was presented to the commission, and the city is partnering with the commission to assemble a development package to solicit bids. The commission discusses the intention of the methodology of soliciting bids.

The workgroup discussed the rules and processes and had yet to think of how to move forward.

Beth Walker made a motion to reinstate Julius Parham back into the meeting. Steven Strickland seconded the motion, and the vote was called and passed unanimously.

The motion was made to initiate the upset bid for the 1307 Main Street was made by Beth Walker. Julius Parham seconded the motion. No discussion was had. Staff was asked for a roll call, and the motion passed unanimously.

#### **10. Update of the current landscape of the Redevelopment Area**

As Commissioner Morgan was absent, Staff gave his remarks to the commission. He wanted to share a deep gratitude for all the work the city is doing in the neighborhoods in the redevelopment zone. Particular gratitude was expressed for the groundbreaking of the Stanley White Rec Center.

#### **11. New Business.**

Vice Chair Peregoy asked the commission if there was any new business to share. Hearing none, he invited staff to share a consultant's report. Staff reported that the city has accepted the city's transfer of the wellness center. The redevelopment strategic planning retreat is being planned, and the commission will be updated on the progress of that. Further, staff is in the process of submitting insurance applications to the city's insurance policy. The budget is also in the process as well. Staff recommended that the rules and procedures be included on September's agenda. Finally, staff formally welcomed Commissioner Jimmy Dillahunt to the commission.

#### **12. Chair and Vice Chair Ballot Vote**

Vice Chair Kip Peregoy introduced the ballot vote for the chair and vice chair for the following year. The ballot was collected, and staff congratulated Beth Walker as the chairperson and Kip Peregoy as vice chair. This will be the second term for Kip Peregoy.

**13. Closed Session**

None needed.

**14. Adjourn.**

The Vice-Chair called for a motion to adjourn. A motion was made by Julius Parham and seconded by Beth Walker.

Date approved: \_\_\_\_\_

\_\_\_\_\_  
Zeb Hough, Interim Consultant

Attest: \_\_\_\_\_  
D'Aja Fulmore, Recording Secretary

# REDEVELOPMENT COMMISSION OF NEW BERN

## GUIDING PRINCIPLES

1. PAST, PRESENT, FUTURE (EQUAL TIME)
2. RESPECT OTHER'S OPINIONS
3. LISTEN TO BUILD CONSENSUS
4. SHARE ACCURATE INFORMATION, PUBLIC PERCEPTION
5. STAY FOCUSED, BE ACTION-ORIENTED
6. BELIEVE



*Everything Comes Together Here*

# AGENDA ITEM COVER SHEET

**Agenda Item Title: Consider a Resolution approving the Purchase of 1307**

<b>Date of Meeting:</b> 10/11/2023	<b>Presenter:</b> Beth Walker
<b>Department:</b> Redevelopment Commission	<b>Person Submitting Item:</b>

<b>Explanation of Item:</b>	Consider a Resolution to Accept the offer made by Jacki London for the adjacent parcel. Ms. London submitted an offer of \$4,050.00 for the purchase of 1307 Main Street 8- 013-188. The bid was advertised, but no upset bids were received. The property is a vacant .057acre residential lot owned by the Redevelopment Commission. The tax value of the property is \$5,400.00.
<b>Actions Needed by Board:</b>	Discussion and vote to accept this offer. For Board of Alderman review and approval.
<b>Backup Attached:</b>	Resolution, Quit Claim Deed
<b>Is item time sensitive?</b> <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	

**Additional Notes:**



## RESOLUTION

WHEREAS, the Redevelopment Commission of the City of New Bern desires to sell the real property located at 1307 Main Street more particularly identified as Craven County parcel identification number 8-013-188 ("Subject Property"), for use consistent with the Redevelopment Plan; and

WHEREAS, the Redevelopment Commission of the City of New Bern has received an offer to purchase the subject property; and

WHEREAS, the offer to purchase was in the sum of \$4,050.00 by Jacki B. London of 1305 Main Street, New Bern, North Carolina 28560; that no increased bids were received, and the Commission deems it advisable to sell the subject property to the successful bidder for the bid amount of \$4,050.00, and to convey said property by quitclaim deed subject to certain restrictive covenants, conditions and restrictions; and

WHEREAS, Ms. London desires to acquire the subject property in order to expand and enhance the outdoor space of her adjoining property; and

WHEREAS, the Redevelopment Commission deems it advisable and in the public interest to have citizen participation in accomplishing the goals of the Redevelopment Commission. Goal 1 of the Redevelopment Plan is to improve the overall appearance of the redevelopment area community by removing the overgrowth, litter and debris that contribute to visual blight; and

WHEREAS, pursuant to North Carolina General Statute §160A-514, the Board of Aldermen of the City of New Bern must find that the proposed sale is consistent with the Redevelopment Plan and approve the sale before the conveyance can be effectuated.

**NOW, THEREFORE, BE IT RESOLVED BY THE REDEVELOPMENT COMMISSION OF THE CITY OF NEW BERN:**

Section 1. That the sale of said parcel bearing the postal enumeration for the City of New Bern of 1307 Main Street, and being more particularly described herein, to Jacki B. London for the sum of \$4,050.00 be and the same is hereby approved, and the Chairman and Vice Chairman of the Redevelopment Commission of the City of New Bern be and they are hereby authorized to execute any required contracts, deeds, and other instruments and take all steps necessary to effectuate the sale of said property to the purchaser, upon approval of the sale by the Board of Aldermen.

Section 2. That, based on the foregoing findings, the Redevelopment Commission hereby requests the Board of Aldermen approve the sale of the Subject Property.

Section 3. That the Subject Property is more particularly described as follows:

All that certain tract or parcel of land located in the City of New Bern in that part thereof which has been laid off into lots and streets and known as Hendersonville, and being Lot Number 4 in Block E, situated on Main Street according to the map or plan of Hendersonville which is recorded in the Office of the Register of Deeds of Craven County in Book 192, Page 474. The house situated thereon bears the Number 1307 Main Street according to the postal enumeration of houses for the City of New Bern.

SAVE AND EXCEPT FROM Lot Number 4, Block E, 4½ feet for the perpetual right-of-way and easement for ingress, egress and regress over and across and upon the driveway for the use and benefit of Lots 3 and 4 in Block E of Hendersonville.

Being the same property conveyed by Lipman Realty Company, Inc. by deed dated March 11, 1952 to Carrie Fonville, widow. And being the same land conveyed to John B. Hall and wife, Caroline G. Hall, by E. Lamar Sledge by deed recorded in Book 545, Page 439 in the office of the Register of Deeds of Craven County. This being the same property described in that deed dated July 3, 1996 from Lathan T. Nobles and wife to Harry W. Johnson, Jr. and wife and recorded in Book 1522, Page 657, Craven County Registry.

Being also that same property conveyed by Harry W. Johnson, Jr., single, to the City of New Bern by deed dated May 12, 2015 recorded in Book 3368 at Page 658 of the Craven County Registry.

This the 11<sup>th</sup> day of October, 2023.

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Beth Walker, Chairman

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Zeb Hough, Consultant

### **EXHIBIT A**

1. No motor vehicle that is junked, partially wrecked, fails to display a current license plate, fails to display a current North Carolina inspection sticker, or is non-operative, shall be placed or allow to remain on the real property described herein.
2. No stripped, partially wrecked or junked motor vehicle or boats, or parts thereof, shall be permitted to be parked or kept on the real property described herein.
3. No structures shall be erected, placed, or permitted to remain on the real property described herein.

**Prepared by and return to:**

**Jaimee Bullock Mosley  
DAVIS HARTMAN WRIGHT LLP  
209 Pollock Street  
New Bern, NC 28560**

**PARCEL NO. 8-013-188  
REVENUE STAMPS: \$8.10**

**STATE OF NORTH CAROLINA**

**COUNTY OF CRAVEN**

**QUITCLAIM DEED**

THIS QUITCLAIM DEED, made and entered into this \_\_\_\_ day of October, 2023, by and between the REDEVELOPMENT COMMISSION OF THE CITY OF NEW BERN, ("Grantor"); to JACKI B. LONDON, whose mailing address is 1305 Main Street, New Bern, North Carolina 28560, ("Grantee");

**W I T N E S S E T H:**

That for and in consideration of the sum of Ten Dollars (\$10.00) and other good and valuable considerations to Grantor paid by the Grantee, the receipt of which is hereby acknowledged, have remised and release, and by these presents do remise, release and forever quitclaim unto the Grantee, Grantee's heirs and assigns, the following described property, to wit:

SEE EXHIBIT A ATTACHED HERETO AND INCORPORATED HEREIN BY REFERENCE.

*The property herein conveyed does not include the primary residence of a Grantor.*

TO HAVE AND TO HOLD the above described lot or parcel of land and all privileges

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**DAVIS HARTMAN WRIGHT LLP  
Attorneys at Law  
209 Pollock Street  
New Bern, NC 28560**

and appurtenances thereunto belonging to the Grantee, Grantee's heirs and assigns, free and discharged from all right, title, claim or interest of the said Grantors or anyone claiming by, through or under the Grantors.

IN TESTIMONY WHEREOF, the REDEVELOPMENT COMMISSION OF THE CITY OF NEW BERN has caused this instrument to be executed in its corporate name by its Chairman this the day and year first above written.

REDEVELOPMENT COMMISSION OF THE  
CITY OF NEW BERN

By: \_\_\_\_\_ (SEAL)  
Beth Walker, Chairman

Attest:

\_\_\_\_\_  
Kip Peregoy, Vice Chairman

STATE OF NORTH CAROLINA

COUNTY OF CRAVEN

I, \_\_\_\_\_, Notary Public in and for said County and State, do hereby certify that BETH WALKER personally appeared before me this day and acknowledged that she is Chairman of the Redevelopment Commission of the City of New Bern, a body politic and corporate of the State of North Carolina, and that she, as Chairman, being duly authorized to do so, voluntarily executed the foregoing instrument on behalf of said corporation for the purposes stated herein.

WITNESS my hand and official seal this the \_\_\_\_ day of October, 2023.

\_\_\_\_\_  
Notary Public

My Commission Expires:

\_\_\_\_\_

STATE OF NORTH CAROLINA

COUNTY OF CRAVEN

I, \_\_\_\_\_, Notary Public in and for said County and State, do hereby certify that KIP PEREGOY personally appeared before me this day and acknowledged that s/he is Vice Chairman of the Redevelopment Commission of the City of New Bern, a body politic and corporate of the State of North Carolina, and that he, as Vice Chairman, being duly authorized to do so, voluntarily executed the foregoing instrument on behalf of said corporation for the purposes stated herein.

WITNESS my hand and official seal this the \_\_\_\_ day of October, 2023.

\_\_\_\_\_  
Notary Public

My Commission Expires:

\_\_\_\_\_

EXHIBIT A  
PROPERTY DESCRIPTION

All that certain tract of parcel of land in Number Eight (8) Township, Craven County, North Carolina, and being more particularly described as follows:

All that certain tract or parcel of land located in the City of New Bern in that part thereof which has been laid off into lots and streets and known as Hendersonville, and being Lot Number 4 in Block E, situated on Main Street according to the map or plan of Hendersonville which is recorded in the Office of the Register of Deeds of Craven County in Book 192, Page 474. The house situated thereon bears the Number 1307 Main Street according to the postal enumeration of houses for the City of New Bern.

SAVE AND EXCEPT FROM Lot Number 4, Block E, 4½ feet for the perpetual right-of-way and easement for ingress, egress and regress over and across and upon the driveway for the use and benefit of Lots 3 and 4 in Block E of Hendersonville.

Being the same property conveyed by Lipman Realty Company, Inc. by deed dated March 11, 1952 to Carrie Fonville, widow. And being the same land conveyed to John B. Hall and wife, Caroline G. Hall, by E. Lamar Sledge by deed recorded in Book 545, Page 439 in the office of the Register of Deeds of Craven County. This being the same property described in that deed dated July 3, 1996 from Lathan T. Nobles and wife to Harry W. Johnson, Jr. and wife and recorded in Book 1522, Page 657, Craven County Registry.

Being also that same property conveyed by Harry W. Johnson, Jr., single, to the City of New Bern by deed dated May 12, 2015 recorded in Book 3368 at Page 658 of the Craven County Registry.



EXHIBIT B  
Restrictive Covenants

WHEREAS, the real property described in Exhibit A and bearing postal address 1307 Main Street, New Bern, North Carolina ("Property") is located in the redevelopment area of the City of New Bern; and

WHEREAS, Grantor is a redevelopment commission which exists and operates for the public purposes of acquiring and replanning such areas and of holding or disposing of them in such manner that they become available for economically and socially sound redevelopment; and

WHEREAS, Goal 1 of the Grantor's redevelopment plan is to improve the overall appearance of the redevelopment area community by removing the overgrowth, litter, and debris that contribute to visual blight; and

WHEREAS, Grantor and Grantee understand and agree that restrictive covenants contained herein are intended to comply with the goals of Grantor's redevelopment plan and the provisions of Article 22 of Chapter 160A of the General Statutes and shall be binding on Grantee, and all subsequent owners of the Property.

NOW, THEREFORE, the Property shall be and shall permanently remain subject to the following agreement, easements, covenants and restrictions:

Section 1. These covenants shall be administered solely by the Redevelopment Commission of the City of New Bern, its successor in interest or assigns.

Section 2. No motor vehicle that is junked, partially wrecked, fails to display a current license plate, fails to display a current North Carolina inspection sticker, or is non-operative, shall be placed or allow to remain on the real property described herein. A junked motor vehicle means any machine designed or intended to travel over land or water by self-propulsion or while attached to any self-propelled vehicle that:

- a. Is partially dismantled or wrecked; or
- b. Cannot be self-propelled or moved in the manner in which it was originally intended to move; or
- c. Is more than five years old and worth less than \$100.00; or
- d. Does not display a current license plate.

Section 3. In the event that construction has not commenced within twelve (12) No stripped, partially wrecked or junked motor vehicle or boats, or parts thereof, shall be permitted to be parked or kept on the Property.

Section 4. No structures shall be erected, placed, or permitted to remain on the Property.

**NORTH CAROLINA**

**OFFER TO PURCHASE AND CONTRACT**

**CRAVEN COUNTY**

Jacki B. London \_\_\_\_\_, as Buyer, hereby offers to purchase and **REDEVELOPMENT COMMISSION OF THE CITY OF NEW BERN**, as Seller, upon acceptance of said offer, agrees to sell and convey, all of that plot, piece or parcel of land described below (hereafter referred to as the "Property"), upon the following terms and conditions:

**1. REAL PROPERTY:** Located in or near the City of New Bern, Craven County, North Carolina, being known as and more particularly described as:

Street Address: 1307 Main Street

Subdivision Name: \_\_\_\_\_

Tax Parcel ID No.: 8-013-188

Plat Reference: \_\_\_\_\_

Being all of that property more particularly described in Deed Book 3640, Page 1169 in the Craven County Registry.

**2. PURCHASE PRICE:** The purchase price is \$ 4,050.00 and shall be paid as follows:

(a) \$ 260.00, EARNEST MONEY DEPOSIT with this offer by ☒ cash ☐ bank check ☐ certified check to be held by Seller until the sale is closed, at which time it will be credited to Buyer, or until this contract is otherwise properly terminated. In the event this offer is not accepted, then all earnest monies shall be refunded to Buyer. In the event of breach of this contract by Seller, all earnest monies shall be refunded to Buyer upon Buyer's request. In the event of breach of this contract by Buyer, then all earnest monies shall be forfeited to Seller upon Seller's request, but such forfeiture shall not affect any other remedies available to Seller for such breach.

(b) \$ 3,790.00, BALANCE of the purchase price in cash or readily available funds at Closing.

**3. CONDITIONS:**

(a) This contract is not subject to Buyer obtaining financing.

(b) The Property must be in substantially the same or better condition at Closing as on the date of this offer, reasonable wear and tear excepted.

(c) The Property is being sold subject to all liens and encumbrances of record, if any.

(d) Other than as provided herein, the Property is being conveyed "as is".

(e) This contract is subject to the provisions of G.S. §160A-269 and § 160A-514. Buyer acknowledges that this contract is subject to certain notice provisions and the rights in others to submit upset bids in accordance therewith.

(f) Title shall be delivered at Closing by QUITCLAIM DEED

**4. SPECIAL ASSESSMENTS:** Seller makes no warranty or representation as to any pending or confirmed governmental special assessments for sidewalk, paving, water, sewer, or other improvements on or adjoining the Property, or pending or confirmed owners' association special assessments. Buyer shall take title subject to all pending assessments, if any.

**5. PAYMENT OF TAXES:** Any ad valorem taxes to which the Property is subject shall be paid in their entirety by Buyer.

**6. EXPENSES:** Buyer shall be responsible for all costs with respect to any title search, title insurance, recording of the deed and its legal fees. Seller shall pay for preparation of a deed and all other documents necessary to perform Seller's obligations under this agreement, and for any excise tax (revenue stamps) required by law.

**7. EVIDENCE OF TITLE:** Not Applicable.

**8. CLOSING:** Closing shall be defined as the date and time of recording of the deed. All parties agree to execute any and all documents and papers necessary in connection with Closing and transfer of title within thirty (30) days of the granting of final approval of the sale by the City of New Bern's Board of Aldermen pursuant to G.S. §160A-514. The deed is to be made to Jacki B. London \_\_\_\_\_.

**9. POSSESSION:** Unless otherwise provided herein, possession shall be delivered at Closing.

**10. PROPERTY INSPECTION, APPRAISAL, INVESTIGATION:**

(a) This contract is not subject to inspection, appraisal or investigation, as the Property is being bought "as is." Seller makes no representation as to water, sewer, conditions, title, access, or fitness for any intended use.

(b) **CLOSING SHALL CONSTITUTE ACCEPTANCE OF THE PROPERTY IN ITS THEN EXISTING CONDITION.**

**11. RIGHT OF ENTRY, RESTORATION AND INDEMNITY:** Buyer and Buyer's agents and contractors shall not have the right to enter upon the Property for any purpose without advance written permission of the Seller. If such permission is given, Buyer will indemnify and hold Seller harmless from all loss, damage, claims, suits or costs, which shall arise out of any contract, agreement, or injury to any person or property as a result of any activities of Buyer and Buyer's agents and contractors relating to the Property. This indemnity shall survive this contract and any termination hereof.

**12. OTHER PROVISIONS AND CONDITIONS:** (ITEMIZE ALL ADDENDA TO THIS CONTRACT AND ATTACH HERETO.): None.

Buyer Initials JB

Seller Initials \_\_\_\_\_

13. **RISK OF LOSS:** The risk of loss or damage by fire or other casualty prior to Closing shall be upon Seller.

14. **ASSIGNMENTS:** This contract may not be assigned without the written consent of all parties, but if assigned by agreement, then this contract shall be binding on the assignee and the assignee's heirs, successors or assigns (as the case may be).

15. **PARTIES:** This contract shall be binding upon and shall inure to the benefit of the parties, i.e., Buyer and Seller and their heirs, successors and assigns. As used herein, words in the singular include the plural and the masculine includes the feminine and neuter genders, as appropriate.

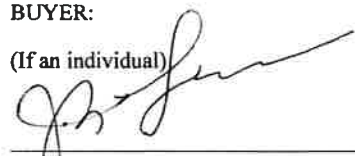
16. **SURVIVAL:** If any provision herein contained which by its nature and effect is required to be observed, kept or performed after the Closing, it shall survive the Closing and remain binding upon and for the benefit of the parties hereto until fully observed, kept or performed.

17. **ENTIRE AGREEMENT:** This contract contains the entire agreement of the parties and there are no representations, inducements or other provisions other than those expressed herein. All changes, additions or deletions hereto must be in writing and signed by all parties.

18. **NOTICE AND EXECUTION:** Any notice or communication to be given to a party herein may be given to the party or to such party's agent. This offer shall become a binding contract (the "Effective Date") when signed by both Buyer and Seller and such signing is communicated to the offering party. This contract is executed under seal in signed multiple originals, all of which together constitute one and the same instrument, with a signed original being retained by each party, and the parties adopt the word "SEAL" beside their signatures below.

BUYER:

(If an individual)

  
\_\_\_\_\_  
(SEAL)  
Name: Jacki B. London  
Date: 08/08/2023  
Address: 1305 Main Street  
New Bern, NC 28560  
Phone: 252-259-7350

SELLER

REDEVELOPMENT COMMISSION  
OF THE CITY OF NEW BERN

By: \_\_\_\_\_ (SEAL)  
Its: \_\_\_\_\_  
Date: \_\_\_\_\_

(If a business entity)

By: \_\_\_\_\_ (SEAL)  
Its: \_\_\_\_\_  
Address: \_\_\_\_\_  
\_\_\_\_\_  
Phone: \_\_\_\_\_

Buyer Initials  Seller Initials \_\_\_\_\_

## Craven County Geographic Information System

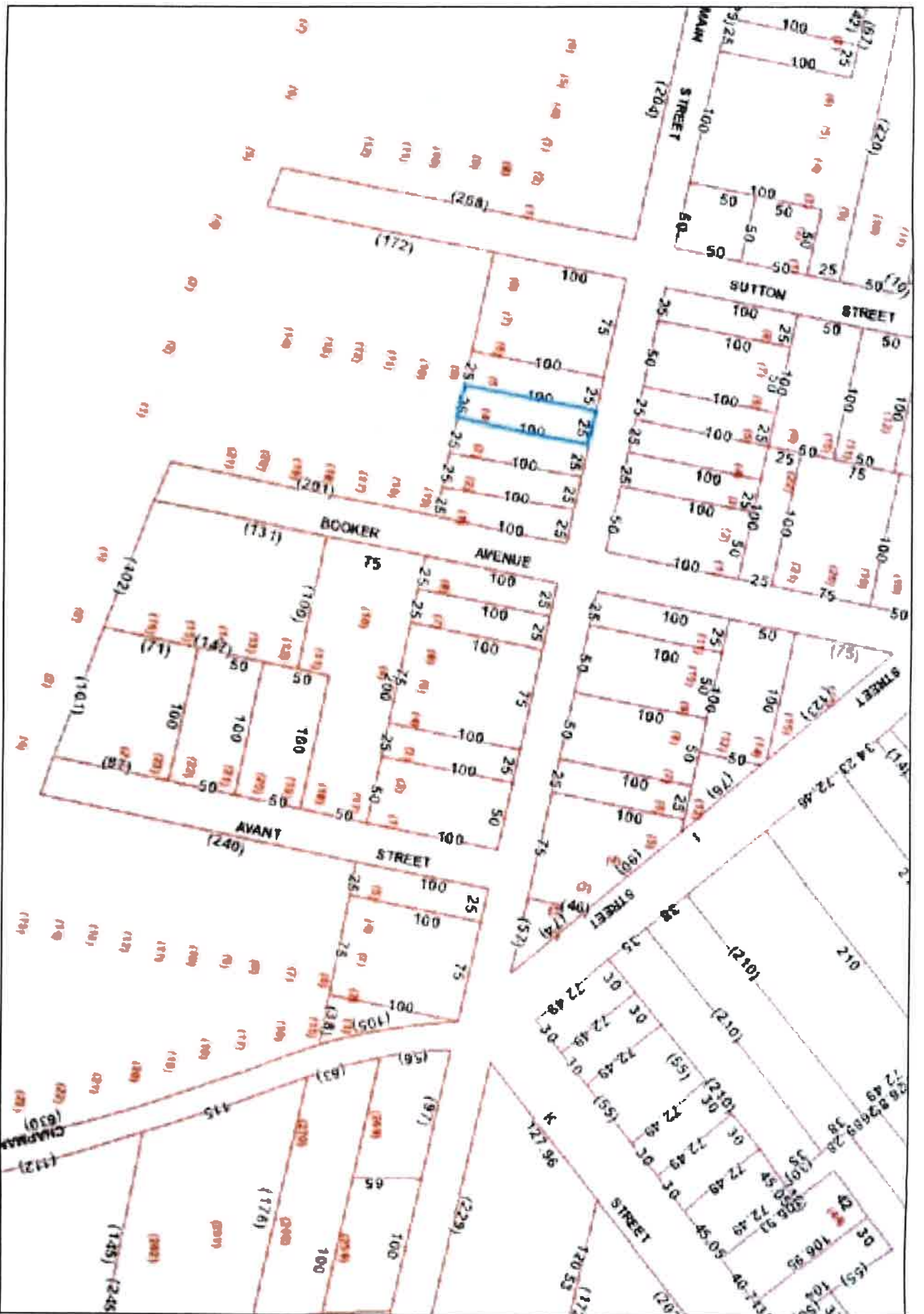


Craven County does NOT warrant the information shown on this page and should be used ONLY for tax assessments purposes. Page generated on 8/8/2023 at 3:16:17 PM  
**PARCEL ID : 8-013 -188**

<b>Owner :</b>	REDEVELOPMENT COMMISSION OF THE		
<b>Mailing Address :</b>	CITY OF NEW BERN		
<b>Address of Property :</b>	PO BOX 1129 NEW BERN, NC 28563		
<b>Subdivision :</b>	1307 MAIN ST		
<b>Property Description :</b>	1307 MAIN ST		
<b>Assessed Acreage :</b>	0.057	<b>Deed Recording Date :</b>	11 17 2020
<b>Deed Book Page :</b>	3640 1169	<b>Recorded Survey :</b>	
<b>Land Value :</b>	\$5,400	<b>Life Estate Deed :</b>	
<b>Total Improvement(s) Value :</b>	\$0	<b>Estate File Year-E-Folder :</b>	
<b>Total Assessed Value :</b>	\$5,400	<b>Tax Exempt :</b>	Yes
<b>Number of Improvements:</b>	0	<b>Fire Tax District :</b>	
<b>City Name :</b>	NEW BERN	<b>Lot Dimension :</b>	
<b>Drainage District :</b>		<b>Land Use :</b>	VACANT - TRACT SUITABLE FOR COMMERCIAL DEVELOPMENT
<b>Special District :</b>			

Recent Sales Information				
Sale Date Deed	Seller Name	Buyer Name	Type of Sale	Sale Price
11/17/2020 3640-1169	NEW BERN-CITY OF	REDEVELOPMENT COMMISSION OF THE	MULTI-PARCEL SALE-2 OR MORE PA	\$0
7/2/2015 3368-0658	JOHNSON, HARRY W JR	NEW BERN-CITY OF	STRAIGHT TRANSFER	\$0
9/4/1998 1649-0371	JOHNSON, HARRY W JR & PATRICIA H	JOHNSON, HARRY W JR	MULTI-PARCEL SALE-2 OR MORE PA	\$0
7/3/1996 1522-0657	JOHNSON, HARRY W JR & PATRICIA H &	JOHNSON, HARRY W JR & PATRICIA H	MULTI-PARCEL SALE-2 OR MORE PA	\$0
7/3/1996 1522-0657	JOHNSON, HARRY W JR & PATRICIA H &	JOHNSON, HARRY W JR & PATRICIA H	MULTI-PARCEL SALE-2 OR MORE PA	\$0
7/15/1992 1327-1079	DUNN, J D	JOHNSON, HARRY W JR & PATRICIA H &	MULTI-PARCEL SALE-2 OR MORE PA	\$56,000

Buildings or Improvements where not found on this parcel.



# Craven County GIS 1307 Main Street PID 8-013-188

Craven County does NOT warrant the information shown on this map and should be used ONLY for tax assessment purposes. Printed on August 8, 2023 at 3:18:07 PM

1 inch = 91 feet





Department Gov Bd

CITY OF NEW BERN, INC.

Receipt No. 101675

\$ 260<sup>00</sup>

DATE RECEIVED 8/8 20 23

Received of Jacki London

Two hundred sixty and 00/100 DOLLARS

In payment for the following: Bid deposit on 1307 Main St.

By Brenda E. Blanco  
City Clerk

White - Customer  
Canary - Finance  
Pink - Department

## Agenda Item Title: Housing Workgroup Report

<b>Date of Meeting:</b> 10/11/2023	<b>Presenter:</b> Kip Peregoy
<b>Department:</b> Redevelopment Commission	<b>Person Submitting Item:</b>

<b>Explanation of Item:</b>	Discuss the last meeting of the housing work group
<b>Actions Needed by Board:</b>	Discussion and vote
<b>Backup Attached:</b>	Housing Workgroup report
<b>Is item time sensitive?</b> <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	

**Additional Notes:**



# Housing Work Group Meeting

August 28, 2023

The Housing work group along with Consultant Zeb Hough met and discussed the following:

- ☐ Reviewed the plans and specs for the 3 Walt Bellamy St. houses provided by the City's designated project coordinator (Jordan Hughes). A follow up meeting with Jordan Hughes was suggested to ensure that the plans and specs could be disseminated to potential contractors ASAP. Consultant Hough had not received any contractor names from Commission members to invite to bid in response to HWG request at our last meeting.
- ☐ We discussed the work of the HPC group in the Dryborough neighborhood and the potential for RDC to partner with them.
- ☐ We reviewed the recent changes to the purchase of City and City/County owned property in the Redevelopment boundary and potential impacts to the Redevelopment area.
- ☐ We reviewed the current mowing cost of RDC lots recently invoiced by the City.
- ☐ We discussed and recommend to the Commission to undertake a review of RDC owned property.
- ☐ We discussed the Justin Beck presentation made to the Commission at our last meeting and decided that based on the new City policy, we have no input into the sale of the property since it is City/County owned.

## Housing Work Group - October 5, 2023

The HWG met on the evening of the 5<sup>th</sup> along with Consultant Zeb Hough and City Engineer Jordan Hughes. The main topic of the meeting was the review of the Walt Bellamy Housing project.

- ☐ Jordan Hughes presented the summary of 4 bids from local contractors to build the 3 homes on Walt Bellamy. He also discussed reference conversations he had with building inspectors and others about the low bidder. Following discussions it was agreed that the HWG is recommending the approval of the 3 bids from IMEC to the Commission.
- ☐ The HWG recommends that we approve budgets for the 3 homes per the submitted bid plus 10% contingency to cover any change orders that may be necessary. This will ensure that each change order will not have to come back to the Commission for approval thus delaying work on the homes. Change orders will be reviewed and approved by Jordan Hughes.
- ☐ Construction management of the homes will be performed by City employees under the direction of Jordan Hughes.
- ☐ The selection of materials, colors, etc. will be coordinated by Beth Walker
- ☐ We need to design a sign promoting the project, as well as a formal “groundbreaking” event.
- ☐ Zeb is to continue conversations with Habitat and the Housing Authority about cooperation and possible joint ventures.

# AGENDA ITEM COVER SHEET

**Agenda Item Title:**

**Consider Accepting Project Bid on the Walt Bellamy Project.**

<b>Date of Meeting:</b> 10/11/2023	<b>Presenter:</b> Kip Peregoy
<b>Department:</b> Redevelopment Commission	<b>Person Submitting Item:</b>

<b>Explanation of Item:</b>	Consider accepting the bid chosen by the housing workgroup to build three homes on Walt Bellamy Street in New Bern. The bid process was overseen by City staff. The IMEC group was the best bid for all three projects. They estimate a start date of early December. They further estimate a 180-day turn around on all three projects.
<b>Actions Needed by Board:</b>	Discussion and vote to accept this bid. For Board of Alderman review and approval.
<b>Backup Attached:</b>	Resolution, bids
<b>Is item time sensitive?</b> <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	

**Additional Notes:**



**NEW BERN**

**NORTH CAROLINA**

Department of Water Resources  
527 Hwy. 55 W, P.O. Box 1129  
New Bern, NC 28563-1129

**1002 Walt Bellamy Drive  
Residential Construction  
BID RESULTS  
September 28, 2023**

<b>Contractor</b>	<b>Bid Price</b>
<i>IMEC Group, LLC</i>	\$155,300.00
<i>Scheper &amp; Associates, Inc.</i>	\$164,220.00
<i>The Third Property Development, LLC</i>	\$176,594.00
<i>ELR Construction Services, Inc.</i>	\$192,400.00
<i>Bruin Builders, LLC</i>	No Bid

I certify that this is a record of all received bids for the Residential Construction at 1002 Walt Bellamy Drive.



Jordan B. Hughes, P.E.  
Director of Water Resources

9/28/23



**NEW BERN**

**NORTH CAROLINA**

Department of Water Resources  
527 Hwy. 55 W, P.O. Box 1129  
New Bern, NC 28563-1129

**1004 Walt Bellamy Drive  
Residential Construction  
BID RESULTS  
September 28, 2023**

<b>Contractor</b>	<b>Bid Price</b>
<i>IMEC Group, LLC</i>	\$134,400.00
<i>Scheper &amp; Associates, Inc.</i>	\$160,000.00
<i>The Third Property Development, LLC</i>	\$170,132.38
<i>ELR Construction Services, Inc.</i>	\$182,800.00
<i>Bruin Builders, LLC</i>	No Bid

I certify that this is a record of all received bids for the Residential Construction at 1004 Walt Bellamy Drive.



Jordan B. Hughes, P.E.  
Director of Water Resources

9/28/23



NORTH CAROLINA  
Department of Water Resources  
527 Hwy. 55 W, P.O. Box 1129  
New Bern, NC 28563-1129

**1006 Walt Bellamy Drive  
Residential Construction  
BID RESULTS**  
September 28, 2023

Contractor	Bid Price
<i>IMEC Group, LLC</i>	\$135,300.00
<i>Scheper &amp; Associates, Inc.</i>	\$156,200.00
<i>The Third Property Development, LLC</i>	\$175,172.14
<i>ELR Construction Services, Inc.</i>	\$182,250.00
<i>Bruin Builders, LLC</i>	No Bid

I certify that this is a record of all received bids for the Residential Construction at 1006 Walt Bellamy Drive:



Jordan B. Hughes, P.E.  
Director of Water Resources

9/28/23

*Everything comes together here.*



September 6, 2023

Mr. George Ward  
IMEC Group, LLC  
1299 D Parkway Drive  
Goldsboro, NC 27534

Re: Residential Construction at 1006 Walt Bellamy Drive – Invitation to Bid

Dear Mr. Ward,

The City of New Bern Redevelopment Commission is proposing to construct an 800-sqft, single family residential home at 1006 Walt Bellamy Drive. Enclosed with this correspondence, please find a set of building plans for the proposed construction, along with a general scope of work for the project.

If you are interested in bidding on the proposed construction, please provide a detailed bid and return the bid to my office no later than noon on Thursday, September 28<sup>th</sup>, 2023. On this date and time, the bids will be reviewed based on the total lump sum price for all proposed work.

If you should have any questions regarding the scope of the proposed work or would like to schedule a time to review the site, please do not hesitate to contact me at (252) 639-7527 or (252) 341-5448.

Sincerely,

Jordan B. Hughes, P.E.  
Director of Water Resources

*Everything comes together here.*

## Residential Construction at 1006 Walt Bellamy Drive

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### **1006 Walt Bellamy Drive**

**Location:** 1006 Walt Bellamy Drive, New Bern, NC  
Craven County Parcel ID#: 8-009-00C

**Owner:** City of New Bern - Redevelopment Commission

### **SCOPE OF WORK:**

Any bid submitted for this project shall be a lump sum price, that includes all materials, equipment, and labor as necessary to construct a residential structure as depicted on the project plans and to the general specifications outlined below. All work not specifically outlined in the specifications but is required for completion of the structure per the North Carolina State Building Code (NCSBC), shall be considered a subsidiary obligation of the contract and all costs for such items shall be included in the lump sum price for the project.

### **SPECIFICATIONS:**

- **General Conditions:**
  - Water and Sewer Connections to the site shall be provided by the Owner.
  - Contractor shall be responsible for obtaining all necessary building permits.
  - Contractor shall be responsible for all temporary facilities (water, electric, toilet, dumpsters, etc.) necessary during construction.
  - Contractor shall maintain workers compensation, builders risk, and general liability insurance as required by Owner (\$500,000 WC; \$1,000,000 BR; \$1,000,000 GL)
- **Demolition & Sitework**
  - Removal and disposal of existing trees, fencing, and concrete as indicated on the project plans.
  - Removal of topsoil and organic material from within the building envelope and driveway area.
  - Installation of silt fence as shown on the plans.
  - Installation of select fill material under building envelope as necessary to obtain FFE shown on the project plans.
  - Regrade site as shown on the project plans, to provide positive drainage away from the proposed structure.
- **Foundation**
  - Form and pour monolithic slab as shown on the project plans.
  - Provide all reinforcing steel and in-slab anchors as shown on the project plans.
  - All concrete in the foundation shall have a minimum design strength of 3,000 psi at 28 days and a design slump not to exceed 4".
  - Provide termite pre-treatment of building slab.
- **Building**
  - All framing shown on the project plans shall utilize 2"x4" studs and engineered wood trusses. At a minimum, all lumber shall be No.2 SYP or better.
  - Insulate exterior walls with R-20 faced insulation.



## Residential Construction at 1006 Walt Bellamy Drive

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- Insulate interior walls with R-13 faced insulation.
- Insulate ceiling with R-38 faced insulation.
- Exterior sheeting on walls and roof shall be 7/16" OSB.
- A vapor barrier with a minimum Perm rating of 12, shall be installed on all exterior walls.
- An ice & water barrier shall be installed to completely cover the roof. Barrier shall be polypropylene or rubberized asphalt, self-adhesive, and designed to be used with asphalt shingles.
- Roofing shall be 20-year architectural shingles. Color selected by Owner, from manufacturers standard color palette.
- Windows shall be white vinyl, grid between glass (6 over 1), standard low-E/Argon.
- Exterior doors shall be 6-panel or nine lite, fiberglass solid core, provided with standard entryway lockset in nickel finish.
- Exterior storm doors shall be full glass, with white aluminum frame.
- Interior doors shall be 6-panel, hollow core, provided with standard passageway lockset in nickel finish.
- Cabinets shall be white, contractor grade, "shaker" style.
- Provide and install white, vinyl coated wire shelving in linen closet and pantry.
- Counter tops shall be pre-formed laminate with integrated backsplash. Color selected by Owner, from manufacturers standard color palette.
- Exterior siding shall be standard Dutch, double-5 vinyl, with minimum thickness of 0.04 inches. Color selected by Owner, from manufacturers standard color palette.
- All fascia board and exterior trim shall be wrapped with white, PVC-coated aluminum trim coil.
- **Finishes**
  - Hang and finish 1/2" drywall on all interior walls and ceilings, level 4 finish.
  - Trim doors and windows with wood casing (paint grade).
  - Baseboard in all rooms shall be paint grade wood, with a minimum height of 3.25".
  - Apply one coat of primer to all drywall and wood trim.
  - Apply two coats of acrylic paint to all drywall and trim. Eggshell finish on the walls flat finish on the ceilings, and semi-gloss finish on the trim. Colors selected by Owner, from manufacturers standard color palette.
  - Floor covering in all rooms shall be luxury vinyl sheet with pressure sensitive adhesive. Vinyl sheet shall be wood plank style with a minimum wear layer thickness of 9.0 Mils. Color selected by Owner, from manufacturers standard color palette.
- **Plumbing**
  - Provide and install 40-gallon electric hot water heater.
  - Provide and install 30"x60" fiberglass shower/tub combo unit.
  - Provide and install standard height water closet with elongated bowl.
  - Provide and install ceramic, drop-in lavatory sink with single lever faucet.
  - Provide and install stainless steel, double bowl, drop-in kitchen sink with single lever faucet.
  - Provide and install 24" wide, ENERGY STAR dishwasher.
  - Provide hot and cold water in-wall connections, along with drain for washing machine.
  - Provide and install (2) frost proof, exterior hose bibs.
  - Provide and install ice maker water connection.
- **Mechanical**
  - Provide and install split heat pump system with a minimum heating and cooling

## Residential Construction at 1006 Walt Bellamy Drive

---

capacity of 24,000 BTU and a Minimum SEER rating of 14.0.

- Supply and return duct work shall be installed in the attic. All duct work shall be sized and insulated as required by the NCSBC.

- **Electrical**

- Provide and install 200-amp service meter base and panel.
- Lights, receptacles, switches, and fans shall be installed as indicated on the project plans.
- All ceiling “can lights” shall be 6” can-less recessed LED downlights with a temperature rating of 3,000K.
- Provide and install 30” single oven, 4-burner electric range.
- Provide and install 30” range hood, with a minimum exhaust capacity of 200-CFM.

- **Misc. Concrete Work**

- Concrete driveway, and walkway shall be installed as shown on the project plans and to a thickness of 4”.
- All concrete utilized in flat work shall have a minimum design strength of 3,000 psi at 28 days and a design slump not to exceed 4”.

- **Landscaping**

- Install sod from curb to back wall of house entire width of lot on prepared soil by power rake or equivalent.
- Back of house to rear lot line should be seeded in prepared soil.
- The front of the house shall have a 4’ wide planting bed in the general location shown on the plans. Planting bed shall be prepared, weed barrier installed, and evergreen shrubs (3-gallon minimum) planted every 4-feet. Bed should be mulched.
- One hardwood tree of at least 2” caliper is to be planted in the general location shown on the plans.



NEW BERN

NORTH CAROLINA

# 1006 WALT BELLAMY DRIVE RESIDENCE

AUGUST 2023



PROJECT LOCATION:  
SCALE: 1"=200'

## GENERAL PLAN NOTES

1. THE EXISTING UTILITIES SHOWN ON THE PLANS WERE GENERATED FROM THE BEST AVAILABLE INFORMATION. THE ENGINEER HAS CONDUCTED A VISUAL SURVEY OF THE PROJECT AREA. THIS INFORMATION IS SOLELY FOR INFORMATIONAL PURPOSES. THE CONTRACTOR IS SOLELY RESPONSIBLE FOR IDENTIFYING ALL EXISTING UNDERGROUND UTILITIES WITHIN THE PROJECT AREA PRIOR TO CONSTRUCTION AND NOTIFY THE ENGINEER OF POTENTIAL CONFLICTS WHEN DISCOVERED.
2. DRAWINGS ARE FOR CONSTRUCTION PURPOSES ONLY. THIS MAP IS NOT A CERTIFIED SURVEY. THE INFORMATION CONTAINED HEREIN IS NOT TO BE USED FOR ANY OTHER PURPOSE. ALL PARCEL LINES SHOWN ON THE PLANS WERE GENERATED FROM CRAVEN COUNTY GIS DATA AND ARE INTENDED FOR GENERAL REFERENCE ONLY.
3. ANY DEVIATIONS FROM THE ACTUAL PLANS THAT ARE NOTED/REQUIRED BY THE CONTRACTOR SHALL BE REPORTED TO THE PROJECT ENGINEER.
4. COORDINATES SHOWN ARE BASED ON THE NAD 83/86 HORIZONTAL DATUM UNLESS OTHERWISE NOTED. ELEVATIONS ARE NAVD88 UNLESS OTHERWISE NOTED.
5. PROJECT CONTACTS:  
JORDAN B. HUGHES, P.E. (PROJECT ENGINEER)  
(252) 639-7527  
P.O. BOX 1129, NEW BERN, NC 28563  
hughesj@newbernnc.gov  
TREY POTTER (PROJECT COORDINATOR)  
(252) 639-7567  
P.O. BOX 1129, NEW BERN, NC 28563  
pottert@newbernnc.gov

## DRAWING INDEX

- T1 PROJECT COVER SHEET
- C1 SITE PLAN
- A1 RESIDENCE FLOOR PLAN & ROOF PLAN
- A2 RESIDENCE ELEVATIONS
- A3 RESIDENCE FOUNDATION PLAN & WALL SECTION
- A4 RESIDENCE FRAMING DETAILS
- E1 RESIDENCE ELECTRICAL PLAN

REV	DATE	BY	EXPLANATION

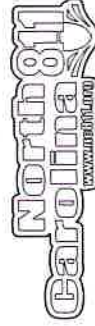
PROJECT  
COVER SHEET  
1006 WALT BELLAMY DRIVE RESIDENCE

NEW BERN  
NORTH CAROLINA

SCALE: AS SHOWN	DRAWN: TWS
DESIGN: TWS	CHECK: JBN

SHEET  
T1

CALL BEFORE YOU DIG!



REV	DATE	BY	EXPLANATION

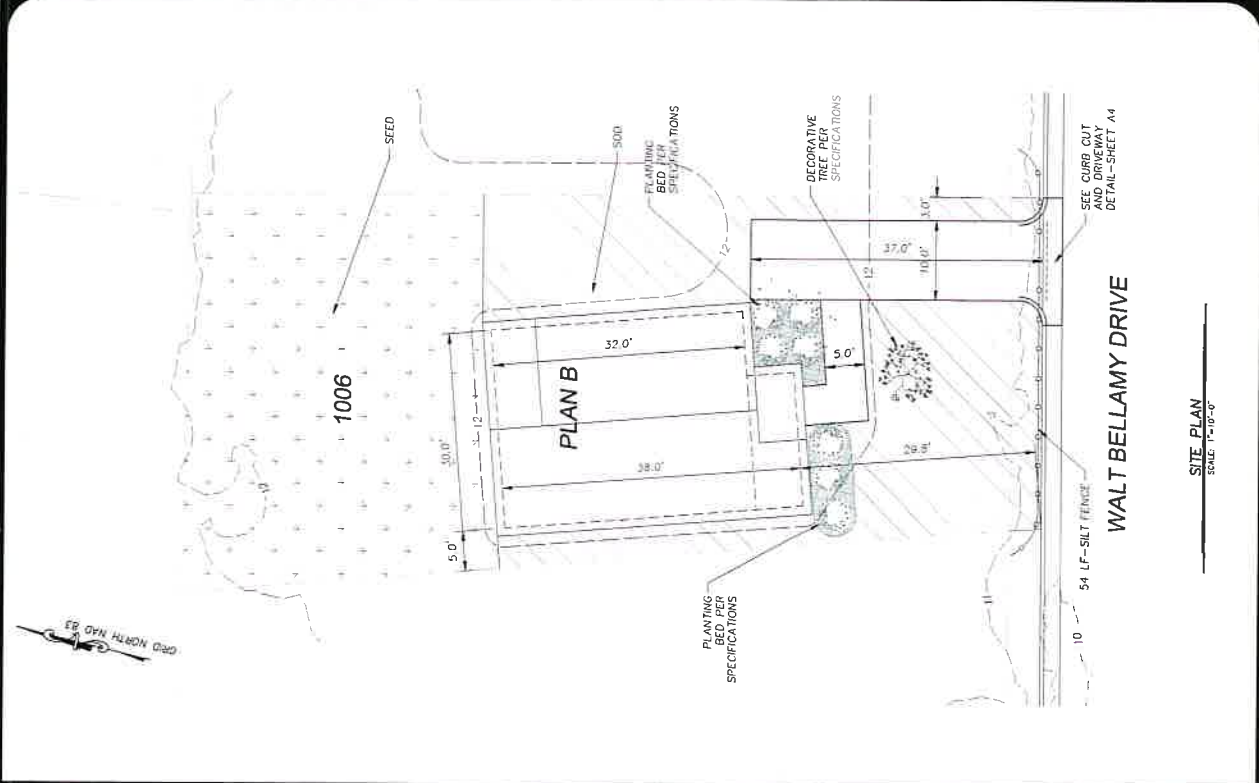
1006 WALT BELLAMY DRIVE RESIDENCE

# SITE PLANS

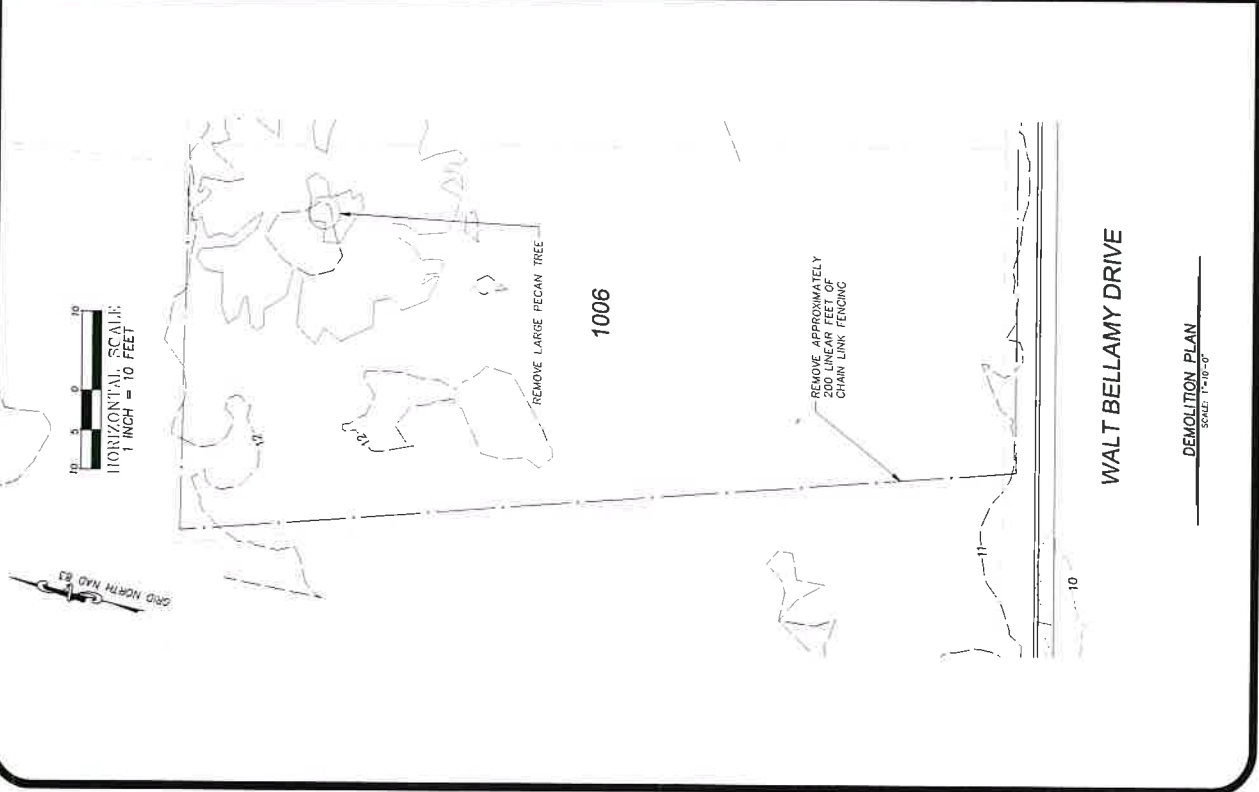
NEW BERN  
NORTH CAROLINA

SCALE	AS SHOWN
SURVEY	DRAFT: TWO
DESIGN	CHECK: JHA

SHEET  
C1



SITE PLAN  
SCALE: 1"=10'-0"



DEMOLITION PLAN  
SCALE: 1"=10'-0"

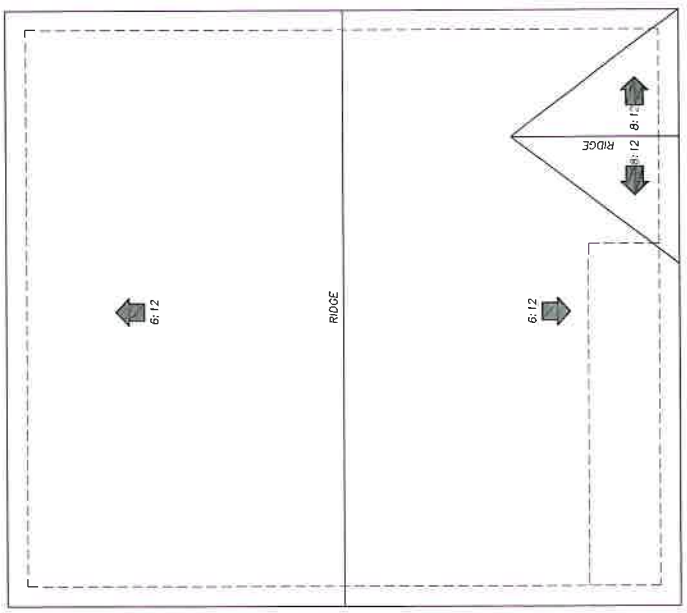
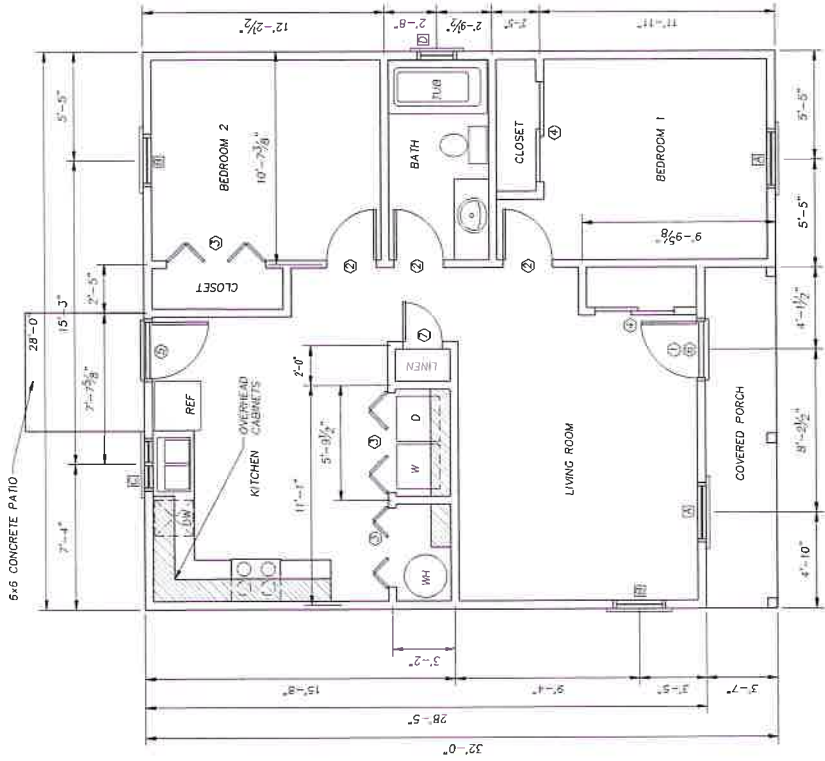
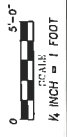
NO.	DATE	BY	REVISIONS:

# RESIDENCE PLAN FLOOR PLAN & ROOF PLAN 1004 WALT BELAMY DRIVE RESIDENCE

NEW BERN  
NORTH CAROLINA

SCALE:	AS SHOWN
DESIGN:	TRC
DRAWN:	TRC
CHECKED:	TRC
DATE:	08/12

SHEET  
A1



ROOF PLAN  
SCALE: 1/4" = 1'-0"

FLOOR PLAN  
SCALE: 1/8" = 1'-0"

DOOR SCHEDULE				WINDOW SCHEDULE			
NUMBER	SIZE	DESCRIPTION	QUANTITY	LETTER	ROUGH OPENING	DESCRIPTION	QUANTITY
1	3'-0" X 6'-8" X 1 3/4"	EXT. FIBERGLASS, SOLID CORE, SIX PANEL	1	A	36" X 62"	SINGLE HUNG, LOW-E, GRD BETWEEN GLASS 6/1	2
2	2'-6" X 6'-8" X 1 3/4"	INTERIOR, HOLLOW CORE, SIX PANEL	3	B	32" X 62"	SINGLE HUNG, LOW-E, GRD BETWEEN GLASS 6/1	2
3	VARIES	BI-FOLD CLOSET DOORS	3	C	32" X 36"	SINGLE HUNG, LOW-E, GRD BETWEEN GLASS 6/1	1
4	6'-0" X 6'-8" X 1 3/4"	SLIDING CLOSET DOORS	2	D	30" X 12"	FIXED, FROSTED, GRD BETWEEN GLASS 3/1	1
5	3'-0" X 6'-8" X 1 3/4"	EXT. FIBERGLASS, SOLID CORE, NINE LITE	1				
6	3'-0" X 6'-8" X 1 3/4"	FULL GLASS, ALUMINUM STORM DOOR	1				
7	2'-0" X 6'-8" X 1 3/4"	INTERIOR, HOLLOW CORE, SIX PANEL	1				

SYMBOL	EXPLANATION	DATE	BY

1004 WALT BELLAMY DRIVE RESIDENCE

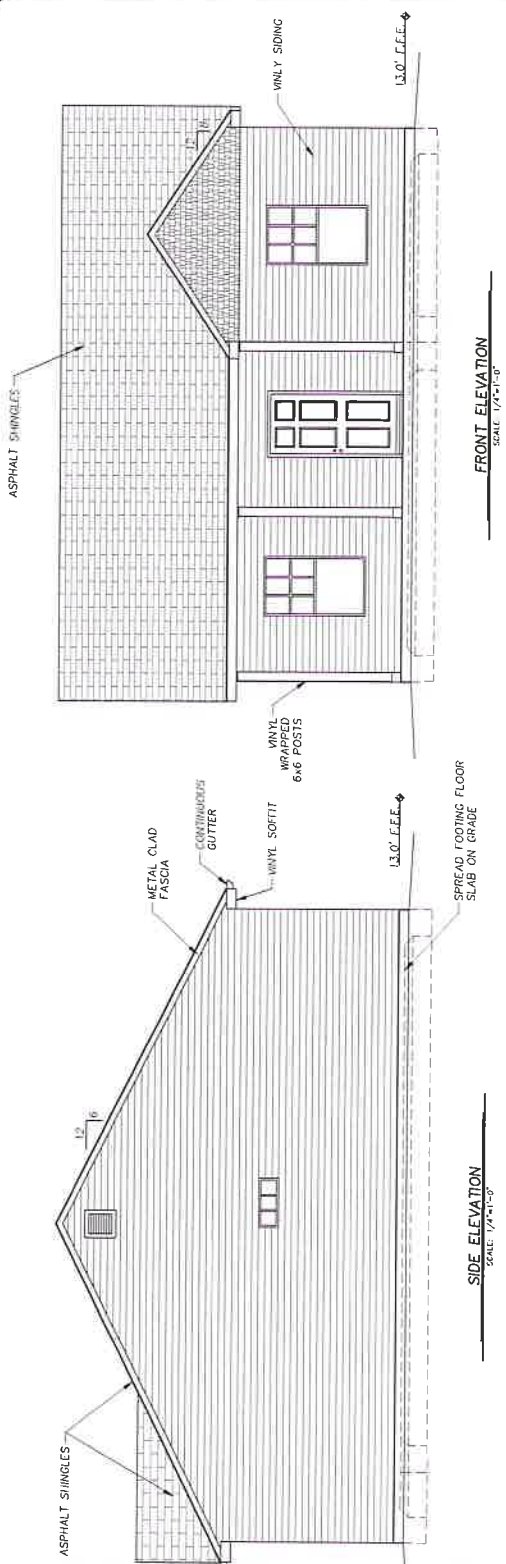
# RESIDENCE PLAN ELEVATIONS

NEW BERN  
NORTH CAROLINA

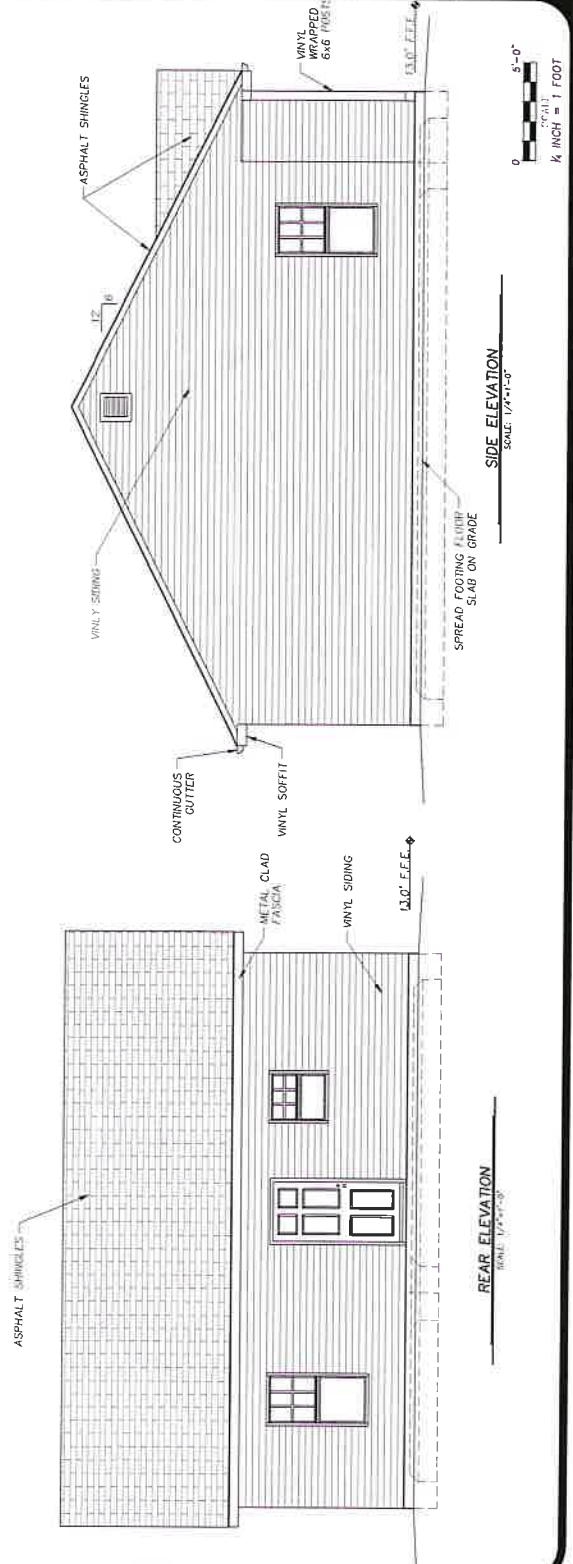
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SUBMIT	DRAFT	DATE
DESIGN	TYPE	CHECK

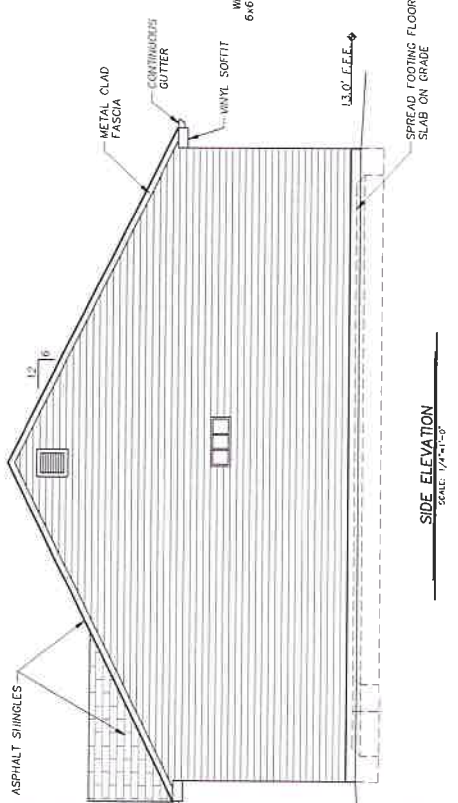
SHEET A2



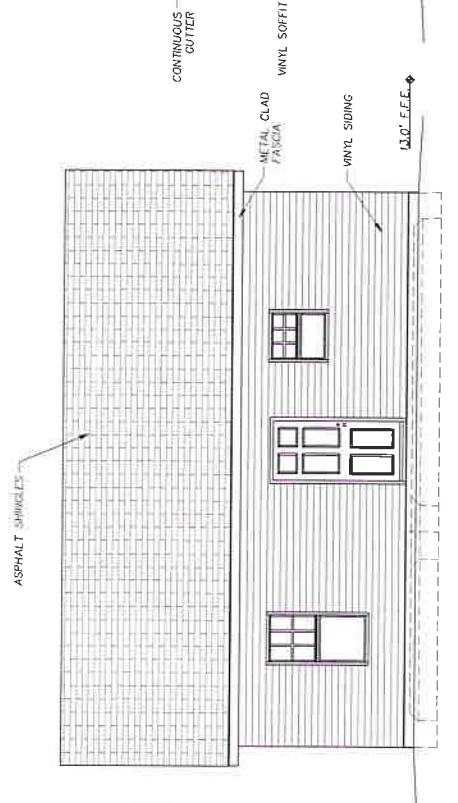
FRONT ELEVATION  
SCALE: 1/4\"/>



SIDE ELEVATION  
SCALE: 1/4\"/>



REAR ELEVATION  
SCALE: 1/4\"/>



SIDE ELEVATION  
SCALE: 1/4\"/>







SHEET  
A3





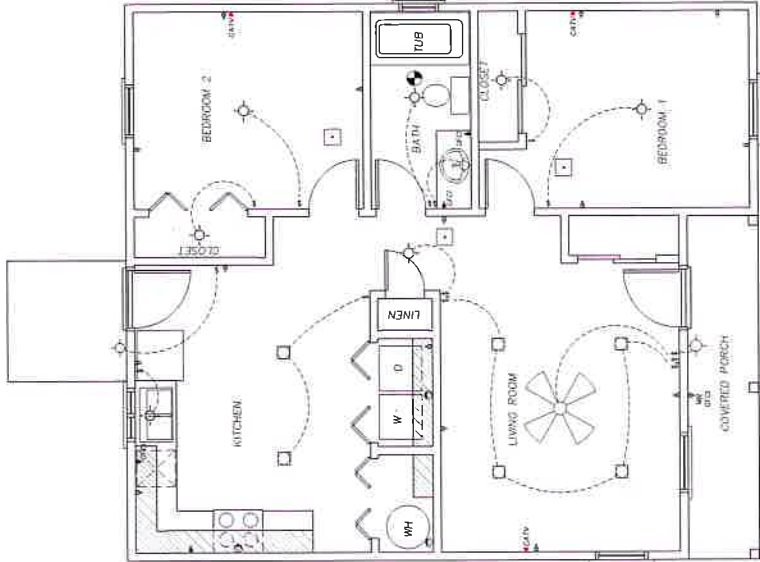
NO.	REVISIONS	DATE	BY
1			
2			
3			
4			
5			
6			
7			
8			
9			
10			

RESIDENCE PLAN  
ELECTRICAL PLAN  
1004 WALT BELLA MY DRIVE RESIDENCE

NEW BERN  
NORTH CAROLINA

SCALE:  
AS SHOWN  
DATE: 7/25  
DESIGN: TPL  
CHECK: JHL

SHEET  
E1



LEGEND

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	DOUBLE OUTLET (GROUNDING TYPE)		CEILING MOUNTED LIGHT FIXTURE
	SINGLE OUTLET LOCATION		WALL MOUNTED LIGHT FIXTURE
	RECESSED OUTLET		RECESSED CEILING LIGHT FIXTURE
	SINGLE POLE WALL SWITCH		CEILING MOUNTED SMART FAN
	3-WAY WALL SWITCH		220 VOLT OUTLET
	EXIT LIGHT FIXTURE		SMOKE DETECTOR



ELECTRICAL FLOOR PLAN  
SCALE: 1/4" = 1'-0"



**NEW BERN**

NORTH CAROLINA

Department of Water Resources  
527 Hwy. 55 W, P.O. Box 1129  
New Bern, NC 28563-1129

September 6, 2023

Mr. George Ward  
IMEC Group, LLC  
1299 D Parkway Drive  
Goldsboro, NC 27534

Re: Residential Construction at 1004 Walt Bellamy Drive – Invitation to Bid

Dear Mr. Ward,

The City of New Bern Redevelopment Commission is proposing to construct an 896-sqft, single family residential home at 1004 Walt Bellamy Drive. Enclosed with this correspondence, please find a set of building plans for the proposed construction, along with a general scope of work for the project.

If you are interested in bidding on the proposed construction, please provide a detailed bid and return the bid to my office no later than noon on Thursday, September 28<sup>th</sup>, 2023. On this date and time, the bids will be reviewed based on the total lump sum price for all proposed work.

If you should have any questions regarding the scope of the proposed work or would like to schedule a time to review the site, please do not hesitate to contact me at (252) 639-7527 or (252) 341-5448.

Sincerely,

Jordan B. Hughes, P.E.  
Director of Water Resources

*Everything comes together here.*

## Residential Construction at 1004 Walt Bellamy Drive

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### **1004 Walt Bellamy Drive**

**Location:** 1004 Walt Bellamy Drive, New Bern, NC  
Craven County Parcel ID#: 8-009-00B

**Owner:** City of New Bern - Redevelopment Commission

### **SCOPE OF WORK:**

Any bid submitted for this project shall be a lump sum price, that includes all materials, equipment, and labor as necessary to construct a residential structure as depicted on the project plans and to the general specifications outlined below. All work not specifically outlined in the specifications but is required for completion of the structure per the North Carolina State Building Code (NCSBC), shall be considered a subsidiary obligation of the contract and all costs for such items shall be included in the lump sum price for the project.

### **SPECIFICATIONS:**

- **General Conditions:**
  - Water and Sewer Connections to the site shall be provided by the Owner.
  - Contractor shall be responsible for obtaining all necessary building permits.
  - Contractor shall be responsible for all temporary facilities (water, electric, toilet, dumpsters, etc.) necessary during construction.
  - Contractor shall maintain workers compensation, builders risk, and general liability insurance as required by Owner (\$500,000 WC; \$1,000,000 BR; \$1,000,000 GL)
- **Demolition & Sitework**
  - Removal and disposal of existing trees, fencing, and concrete as indicated on the project plans.
  - Removal of topsoil and organic material from within the building envelope and driveway area.
  - Installation of silt fence as shown on the plans.
  - Installation of select fill material under building envelope as necessary to obtain FFE shown on the project plans.
  - Regrade site as shown on the project plans, to provide positive drainage away from the proposed structure.
- **Foundation**
  - Form and pour monolithic slab as shown on the project plans.
  - Provide all reinforcing steel and in-slab anchors as shown on the project plans.
  - All concrete in the foundation shall have a minimum design strength of 3,000 psi at 28 days and a design slump not to exceed 4".
  - Provide termite pre-treatment of building slab.
- **Building**
  - All framing shown on the project plans shall utilize 2"x4" studs and engineered wood trusses. At a minimum, all lumber shall be No.2 SYP or better.
  - Insulate exterior walls with R-20 faced insulation.

## Residential Construction at 1004 Walt Bellamy Drive

---

- Insulate interior walls with R-13 faced insulation.
- Insulate ceiling with R-38 faced insulation.
- Exterior sheathing on walls and roof shall be 7/16" OSB.
- A vapor barrier with a minimum Perm rating of 12, shall be installed on all exterior walls.
- An ice & water barrier shall be installed to completely cover the roof. Barrier shall be polypropylene or rubberized asphalt, self-adhesive, and designed to be used with asphalt shingles.
- Roofing shall be 20-year architectural shingles. Color selected by Owner, from manufacturers standard color palette.
- Windows shall be white vinyl, grid between glass (6 over 1), standard low-E/Argon.
- Exterior doors shall be 6-panel or nine lite, fiberglass solid core, provided with standard entryway lockset in nickel finish.
- Exterior storm doors shall be full glass, with white aluminum frame.
- Interior doors shall be 6-panel, hollow core, provided with standard passageway lockset in nickel finish.
- Cabinets shall be white, contractor grade, "shaker" style.
- Provide and install white, vinyl coated wire shelving in linen closet and pantry.
- Counter tops shall be pre-formed laminate with integrated backsplash. Color selected by Owner, from manufacturers standard color palette.
- Exterior siding shall be standard Dutch, double-5 vinyl, with minimum thickness of 0.04 inches. Color selected by Owner, from manufacturers standard color palette.
- All fascia board and exterior trim shall be wrapped with white, PVC-coated aluminum trim coil.
- **Finishes**
  - Hang and finish 1/2" drywall on all interior walls and ceilings, level 4 finish.
  - Trim doors and windows with wood casing (paint grade).
  - Baseboard in all rooms shall be paint grade wood, with a minimum height of 3.25".
  - Apply one coat of primer to all drywall and wood trim.
  - Apply two coats of acrylic paint to all drywall and trim. Eggshell finish on the walls flat finish on the ceilings, and semi-gloss finish on the trim. Colors selected by Owner, from manufacturers standard color palette.
  - Floor covering in all rooms shall be luxury vinyl sheet with pressure sensitive adhesive. Vinyl sheet shall be wood plank style with a minimum wear layer thickness of 9.0 Mills. Color selected by Owner, from manufacturers standard color palette.
- **Plumbing**
  - Provide and install 40-gallon electric hot water heater.
  - Provide and install 30"x60" fiberglass shower/tub combo unit.
  - Provide and install standard height water closet with elongated bowl.
  - Provide and install ceramic, drop-in lavatory sink with single lever faucet.
  - Provide and install stainless steel, double bowl, drop-in kitchen sink with single lever faucet.
  - Provide and install 24" wide, ENERGY STAR dishwasher.
  - Provide hot and cold water in-wall connections, along with drain for washing machine.
  - Provide and install (2) frost proof, exterior hose bibs.
  - Provide and install ice maker water connection.
- **Mechanical**
  - Provide and install split heat pump system with a minimum heating and cooling

## Residential Construction at 1004 Walt Bellamy Drive

---

capacity of 24,000 BTU and a Minimum SEER rating of 14.0.

- Supply and return duct work shall be installed in the attic. All duct work shall be sized and insulated as required by the NCSBC.

- **Electrical**

- Provide and install 200-amp service meter base and panel.
- Lights, receptacles, switches, and fans shall be installed as indicated on the project plans.
- All ceiling “can lights” shall be 6” can-less recessed LED downlights with a temperature rating of 3,000K.
- Provide and install 30” single oven, 4-burner electric range.
- Provide and install 30” range hood, with a minimum exhaust capacity of 200-CFM.

- **Misc. Concrete Work**

- Concrete driveway, and walkway shall be installed as shown on the project plans and to a thickness of 4”.
- All concrete utilized in flat work shall have a minimum design strength of 3,000 psi at 28 days and a design slump not to exceed 4”.

- **Landscaping**

- Install sod from curb to back wall of house entire width of lot on prepared soil by power rake or equivalent.
- Back of house to rear lot line should be seeded in prepared soil.
- The front of the house shall have a 4’ wide planting bed in the general location shown on the plans. Planting bed shall be prepared, weed barrier installed, and evergreen shrubs (3-gallon minimum) planted every 4-feet. Bed should be mulched.
- One hardwood tree of at least 2” caliper is to be planted in the general location shown on the plans.



## AUGUST 2023



PROJECT LOCATION:  
SCALE: 1"=200'

# GENERAL PLAN NOTES

1. THE EXISTING UTILITIES SHOWN ON THE PLANS WERE GENERATED FROM THE BEST AVAILABLE INFORMATION TO THE ENGINEER. THERE IS NO GUARANTEE TO THE ACCURACY OF THIS INFORMATION. THEREFORE, THE CONTRACTOR IS SOLELY RESPONSIBLE FOR IDENTIFYING ALL EXISTING UNDERGROUND UTILITIES WITHIN THE PROJECT AREA PRIOR TO CONSTRUCTION AND NOTIFY THE ENGINEER OF POTENTIAL CONFLICTS WHEN DISCOVERED.
2. DRAWINGS ARE FOR CONSTRUCTION PURPOSES ONLY. THIS MAP IS NOT A CERTIFIED SURVEY. PLANS MUST BE USED IN CONJUNCTION WITH THE FIELD DATA PROVIDED BY THE CONTRACTOR. PLANS WERE GENERATED FROM CRANEN COUNTY GIS DATA AND ARE INTENDED FOR GENERAL REFERENCE ONLY.
3. ANY DEVIATIONS FROM THE ACTUAL PLANS THAT ARE NOTED/REQUIRED BY THE CONTRACTOR SHALL BE REPORTED TO THE PROJECT ENGINEER.
4. COORDINATES SHOWN ARE BASED ON THE NAD 83/86 HORIZONTAL DATUM UNLESS OTHERWISE NOTED. ELEVATIONS ARE NAVD83 UNLESS OTHERWISE NOTED.
5. PROJECT CONTACTS:  
JORDAN B. HUGHES, P.E. (PROJECT ENGINEER)  
7253 639-7527  
jordan.b.hughes@newbern, nc 28563  
hughesjb@newbern.gov  
  
TREY POTTER (PROJECT COORDINATOR)  
7253 639-7527  
trey.potter@newbern, nc 28563  
potter@newbern.gov

## DRAWING INDEX

- |     |  |
|-----|--|
| TT1 | PROJECT COVER SHEET                      |
| C1  | SITE PLAN                                |
| A1  | RESIDENCE FLOOR PLAN & ROOF PLAN         |
| A2  | RESIDENCE ELEVATIONS                     |
| A3  | RESIDENCE FOUNDATION PLAN & WALL SECTION |
| A4  | RESIDENCE FRAMING DETAILS                |
| E1  | RESIDENCE ELECTRICAL PLAN                |

**CALL BEFORE YOU DIG!**

[illegible]

PROJECT  
COVER SHEET  
1004 WALT BELLAMY DRIVE RESIDENCE

NEW BERN  
NORTH CAROLINA

SCALE: AS SHOWN	SURVEY	DRAFT: TWS
	DESIGN: TWS	CHECK: JBH

SHEET  
T1

SYMBOL	EXPLANATION	DATE	BY

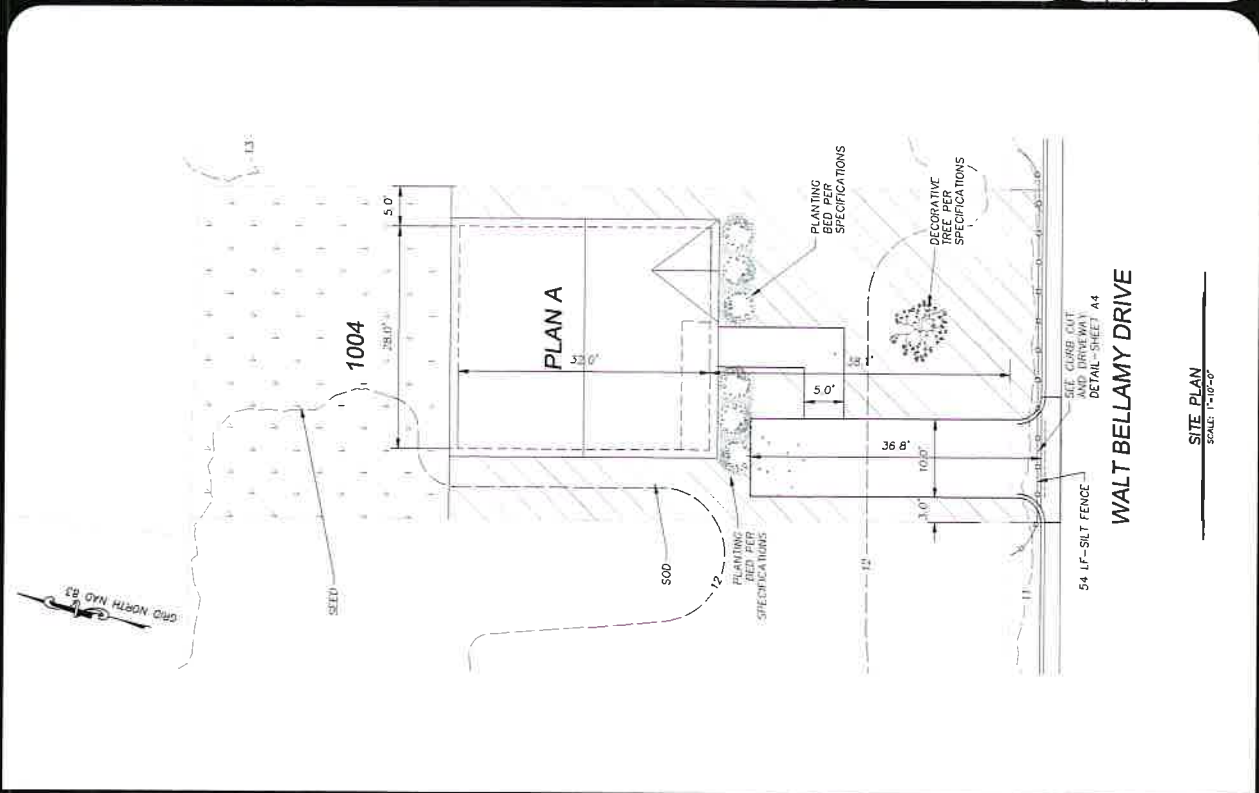
1004 WALT BELLAMY DRIVE RESIDENCE

# SITE PLANS

NEW BERN  
NORTH CAROLINA

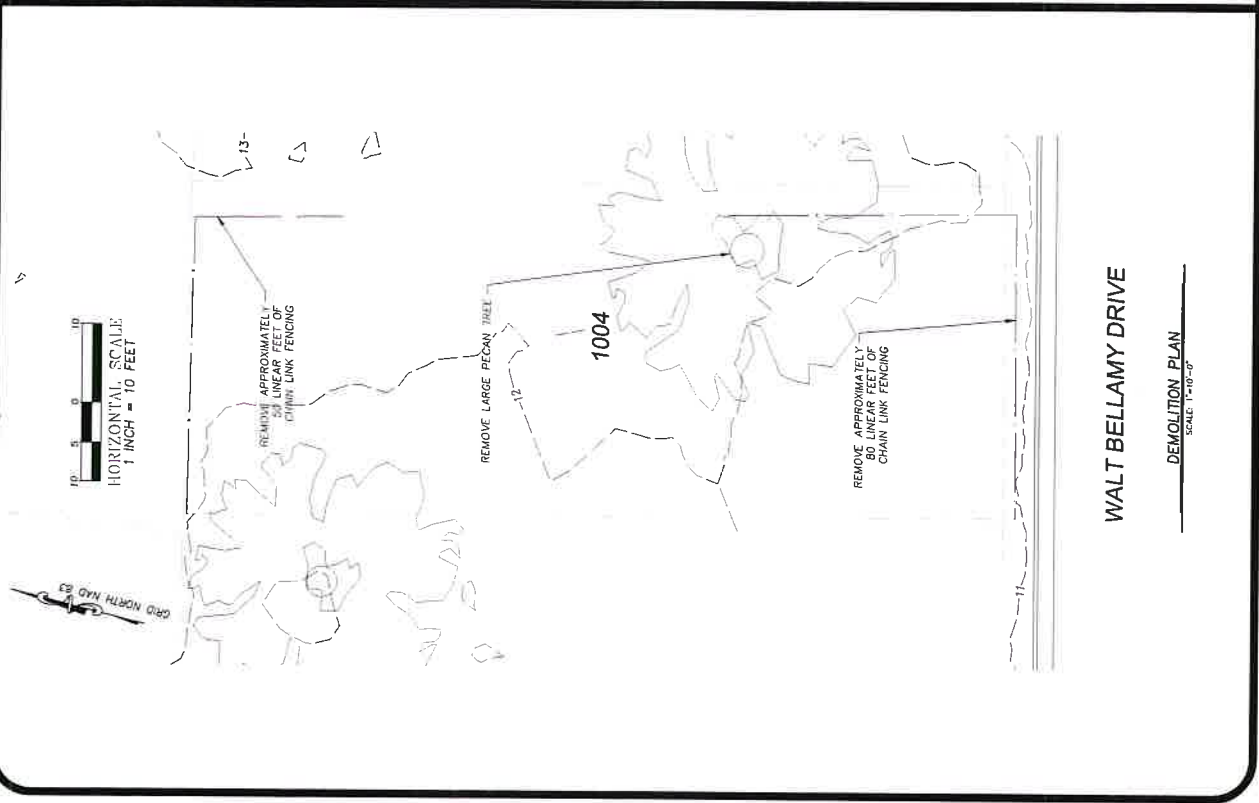
SCALE	AS SHOWN
SURVEY	
DESIGN	
DRAWN	
CHECK	

SHEET  
C1



## WALT BELLAMY DRIVE

SITE PLAN  
SCALE: 1"=10'-0"



## WALT BELLAMY DRIVE

DEMOLITION PLAN  
SCALE: 1"=10'-0"

HORIZONTAL SCALE  
1 INCH = 10 FEET



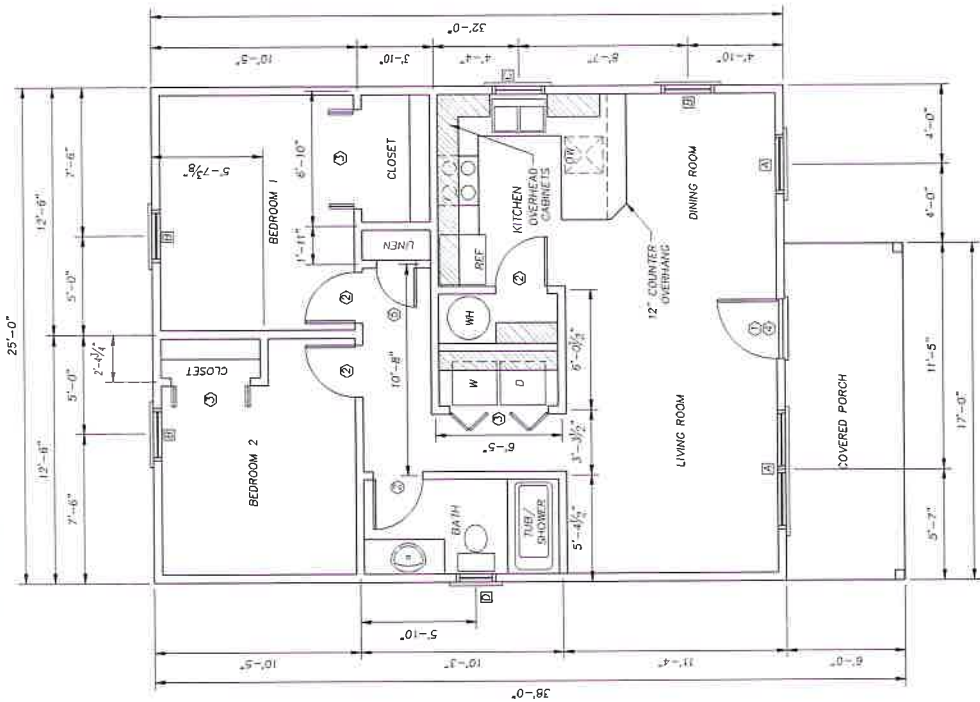
REV	DATE	BY	EXPLANATION

# RESIDENCE PLAN FLOOR PLAN & ROOF PLAN 1006 WALT BELAMY DRIVE RESIDENCE

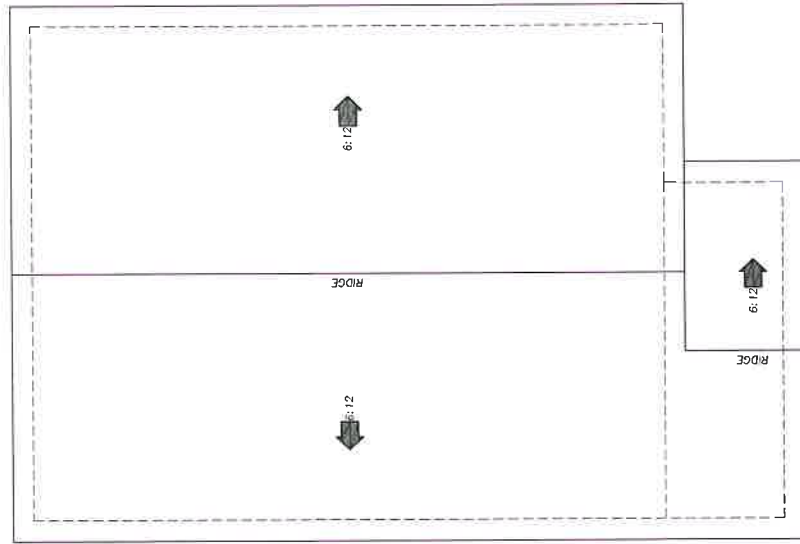
NEW BERN  
NORTH CAROLINA

SCALE	AS SHOWN
SURVEY	DRAFT
DESIGN	CHECK
DATE	

SHEET  
A1



FLOOR PLAN  
SCALE: 1/8" = 1'-0"



ROOF PLAN  
SCALE: 1/8" = 1'-0"

DOOR SCHEDULE				WINDOW SCHEDULE			
NUMBER	SIZE	DESCRIPTION	QUANTITY	LETTER	ROUGH OPENING	DESCRIPTION	QUANTITY
1	3'-0" x 6'-8" x 1 1/2"	EXT. FIBERGLASS, SOLID CORE, SIX PANEL	1	A	36" x 62"	SINGLE HUNG, LOW-E, GRD BETWEEN GLASS 6/1	3
2	2'-6" x 6'-8" x 1 1/2"	INTERIOR, HOLLOW CORE, SIX PANEL	4	B	32" x 62"	SINGLE HUNG, LOW-E, GRD BETWEEN GLASS 6/1	2
3	VARIES	BI-FOLD CLOSET DOORS	3	C	32" x 36"	SINGLE HUNG, LOW-E, GRD BETWEEN GLASS 6/1	2
4	3'-0" x 6'-8" x 1 1/2"	FULL GLASS, ALUMINUM STORM DOOR	1	D	30" x 12"	FIXED, PROTECTED, GRD BETWEEN GLASS 3/1	1
5	2'-0" x 6'-8" x 1 1/2"	INTERIOR, HOLLOW CORE, SIX PANEL	1				



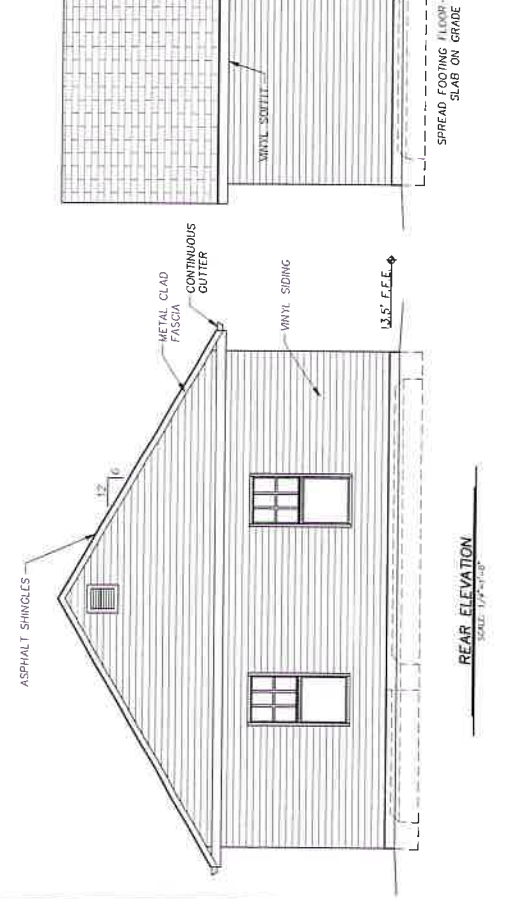
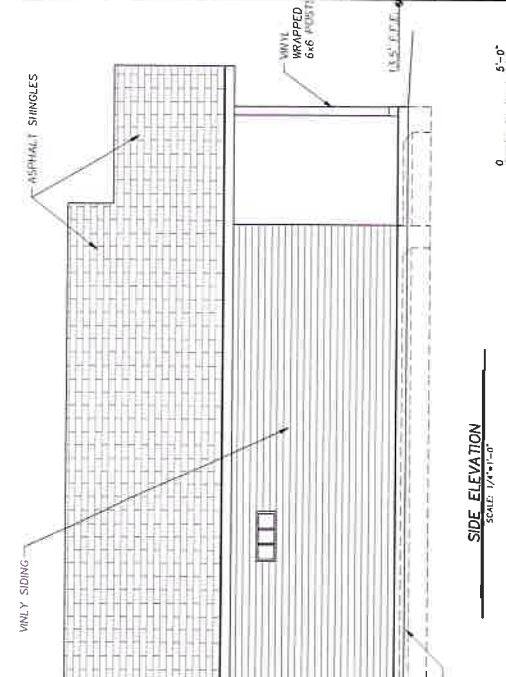
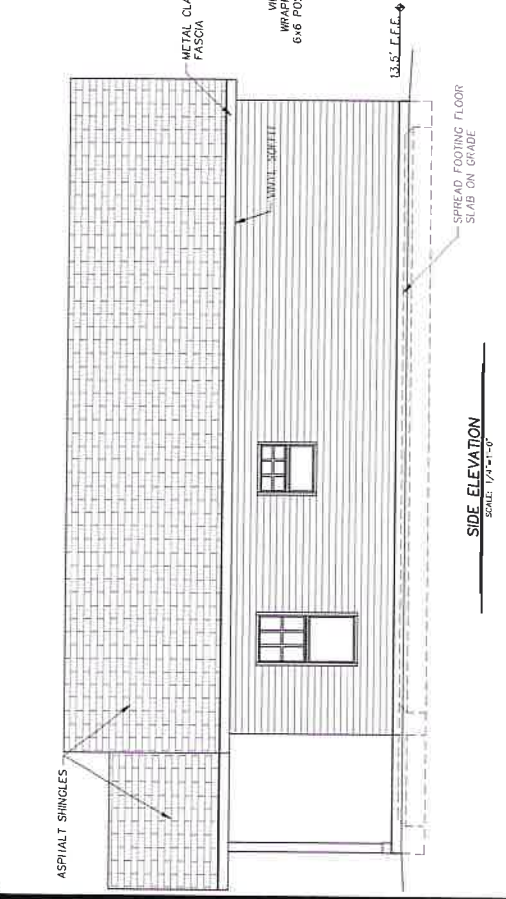
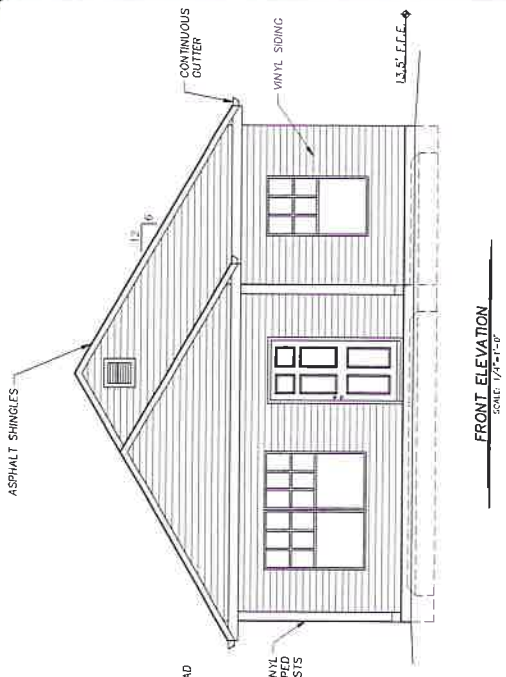
REV.	DATE	BY	EXPLANATION

# RESIDENCE PLAN ELEVATIONS 1006 WALT BELAMY DRIVE RESIDENCE

NEW BERN  
NORTH CAROLINA

SURVEY:	DRAWN:	DATE:
DESIGN:	DATE:	DATE:

SHEET  
A2



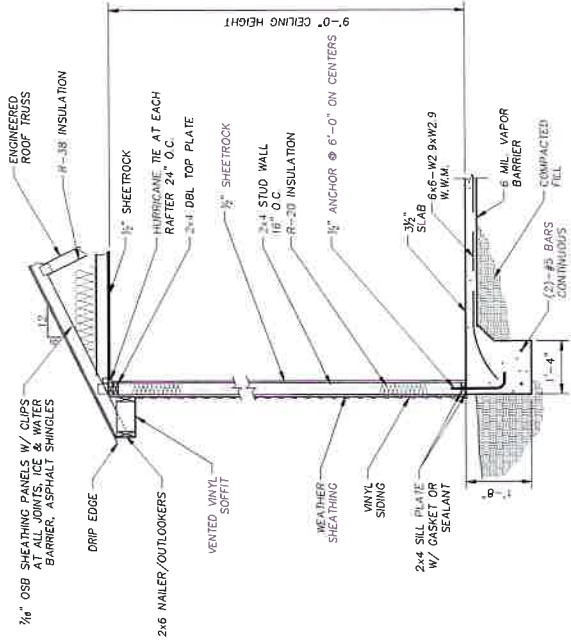
REV	DATE	BY	DESCRIPTION

# RESIDENCE PLAN FOUNDATION PLAN & WALL SECTION 1006 WALT BELLAMY DRIVE RESIDENCE

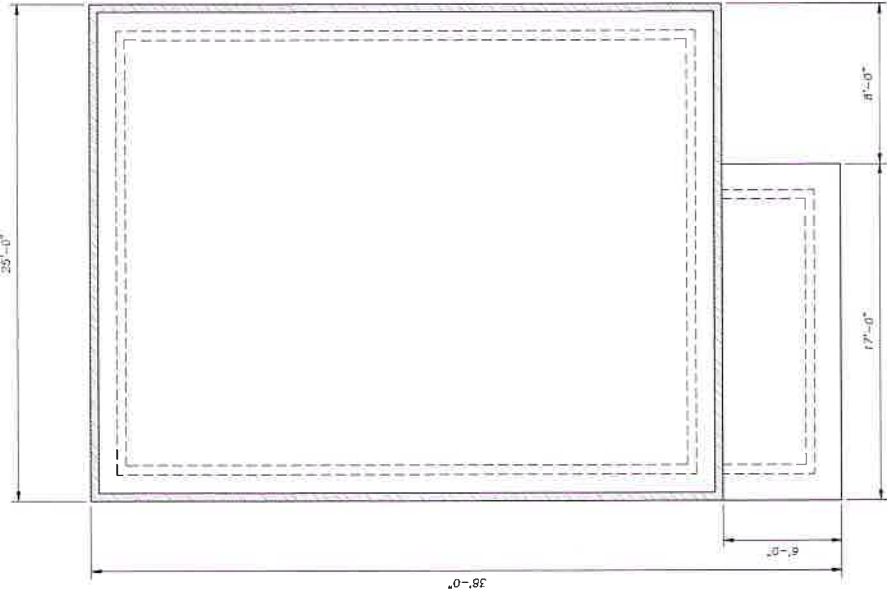
NEW BERN  
NORTH CAROLINA

SCALE:	AS SHOWN
DRAWN:	TMS
CHECK:	JML

SHEET  
A3



TYPICAL WALL/FOOTING SECTION  
SCALE: 1/2"=1'-0"



FOUNDATION PLAN  
SCALE: 1/4"=1'-0"

WHEN EXISTING DRIVEWAY PAVEMENT IS CONCRETE SAW CUT 2" DEEP JOINT AT THE POINT OF TIE-IN. SAW JOINT PERPENDICULAR TO EDGE OF EXISTING DRIVEWAY PAVEMENT.

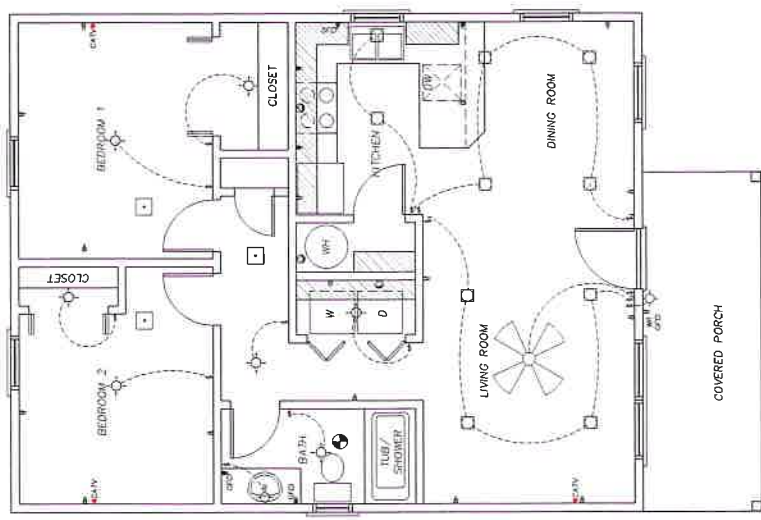
SYL	EXPLANATION	DATE	BY

# RESIDENCE PLAN ELECTRICAL PLAN 1006 WALT BELLAMY DRIVE RESIDENCE

NEW BERN  
NORTH CAROLINA

SCALE	AS SHOWN
SURVEY	DRAFT: TWS
DESIGN	DATE: 10/1/10
CHECK	DATE: 10/1/10

SHEET  
E1



SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	DUPLEX OUTLET (GROUNDING TYPE)		CEILING MOUNTED LIGHT FIXTURE
	SINGLE POLE WALL SWITCH		RECESSED CEILING LIGHT FIXTURE
	3-WAY WALL SWITCH		CEILING MOUNTED EXHAUST FAN
	EXIT FLOOD LIGHTS		220 VOLT OUTLET
			SINK OR TOILET

ELECTRICAL FLOOR PLAN  
SCALE: 1/4"=1'-0"

SCALE  
1/4" = 1' FOOT



September 6, 2023

Mr. George Ward  
IMEC Group, LLC  
1299 D Parkway Drive  
Goldsboro, NC 27534

Re: Residential Construction at 1002 Walt Bellamy Drive – Invitation to Bid

Dear Mr. Ward,

The City of New Bern Redevelopment Commission is proposing to construct a 792-sqft, single family residential home at 1002 Walt Bellamy Drive. Enclosed with this correspondence, please find a set of building plans for the proposed construction, along with a general scope of work for the project.

If you are interested in bidding on the proposed construction, please provide a detailed bid and return the bid to my office no later than noon on Thursday, September 28<sup>th</sup>, 2023. On this date and time, the bids will be reviewed based on the total lump sum price for all proposed work.

If you should have any questions regarding the scope of the proposed work or would like to schedule a time to review the site, please do not hesitate to contact me at (252) 639-7527 or (252) 341-5448.

Sincerely,

Jordan B. Hughes, P.E.  
Director of Water Resources

*Everything comes together here.*

## Residential Construction at 1002 Walt Bellamy Drive

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### **1002 Walt Bellamy Drive**

**Location:** 1002 Walt Bellamy Drive, New Bern, NC  
Craven County Parcel ID#: 8-009-00A

**Owner:** City of New Bern - Redevelopment Commission

### **SCOPE OF WORK:**

Any bid submitted for this project shall be a lump sum price, that includes all materials, equipment, and labor as necessary to construct a residential structure as depicted on the project plans and to the general specifications outlined below. All work not specifically outlined in the specifications but is required for completion of the structure per the North Carolina State Building Code (NCSBC), shall be considered a subsidiary obligation of the contract and all costs for such items shall be included in the lump sum price for the project.

### **SPECIFICATIONS:**

- **General Conditions:**
  - Water and Sewer Connections to the site shall be provided by the Owner.
  - Contractor shall be responsible for obtaining all necessary building permits.
  - Contractor shall be responsible for all temporary facilities (water, electric, toilet, dumpsters, etc.) necessary during construction.
  - Contractor shall maintain workers compensation, builders risk, and general liability insurance as required by Owner (\$500,000 WC; \$1,000,000 BR; \$1,000,000 GL)
- **Demolition & Sitework**
  - Removal and disposal of existing trees, fencing, and concrete as indicated on the project plans.
  - Removal of topsoil and organic material from within the building envelope and driveway area.
  - Installation of silt fence as shown on the plans.
  - Installation of select fill material under building envelope as necessary to obtain FFE shown on the project plans.
  - Regrade site as shown on the project plans, to provide positive drainage away from the proposed structure.
- **Foundation**
  - Form and pour monolithic slab as shown on the project plans.
  - Provide all reinforcing steel and in-slab anchors as shown on the project plans.
  - All concrete in the foundation shall have a minimum design strength of 3,000 psi at 28 days and a design slump not to exceed 4".
  - Provide termite pre-treatment of building slab.
- **Building**
  - All framing shown on the project plans shall utilize 2"x4" studs and engineered wood trusses. At a minimum, all lumber shall be No.2 SYP or better.
  - Insulate exterior walls with R-20 faced insulation.



## Residential Construction at 1002 Walt Bellamy Drive

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- Insulate interior walls with R-13 faced insulation.
- Insulate ceiling with R-38 faced insulation.
- Exterior sheathing on walls and roof shall be 7/16" OSB.
- A vapor barrier with a minimum Perm rating of 12, shall be installed on all exterior walls.
- An ice & water barrier shall be installed to completely cover the roof. Barrier shall be polypropylene or rubberized asphalt, self-adhesive, and designed to be used with asphalt shingles.
- Roofing shall be 20-year architectural shingles. Color selected by Owner, from manufacturers standard color palette.
- Windows shall be white vinyl, grid between glass (6 over 1), standard low-E/Argon.
- Exterior doors shall be 6-panel or nine lite, fiberglass solid core, provided with standard entryway lockset in nickel finish.
- Exterior storm doors shall be full glass, with white aluminum frame.
- Interior doors shall be 6-panel, hollow core, provided with standard passageway lockset in nickel finish.
- Cabinets shall be white, contractor grade, "shaker" style.
- Provide and install white, vinyl coated wire shelving in linen closet and pantry.
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## Residential Construction at 1002 Walt Bellamy Drive

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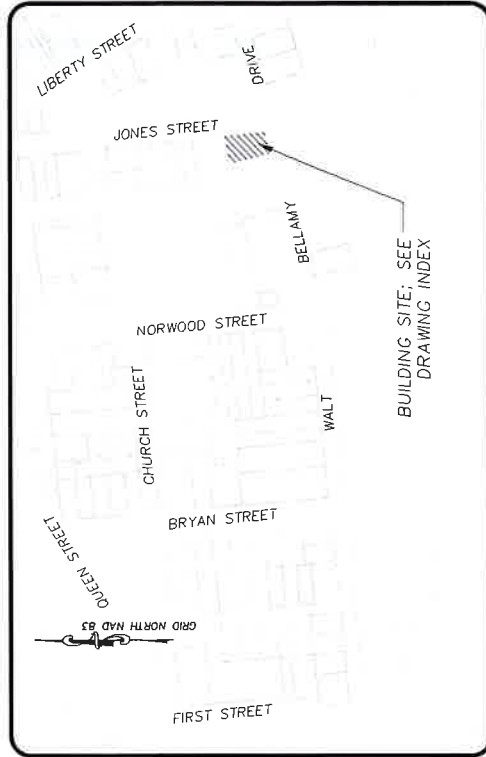


NEW BERN

NORTH CAROLINA

# 1002 WALT BELLAMY DRIVE RESIDENCE

AUGUST 2023



PROJECT LOCATION:  
SCALE: 1"=200'

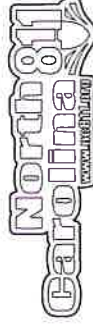
## GENERAL PLAN NOTES

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5. PROJECT CONTACTS:  
JORDAN B. HUGHES, P.E. (PROJECT ENGINEER)  
(252) 639-7527  
P.O. BOX 1129, NEW BERN, NC 28563  
hughesj@newbernnc.gov  
TREV POTTER (PROJECT COORDINATOR)  
(252) 639-7597  
P.O. BOX 1129, NEW BERN, NC 28563  
pottert@newbernnc.gov

## DRAWING INDEX

- T1 PROJECT COVER SHEET
- C1 SITE PLAN
- A1 RESIDENCE FLOOR PLAN & ROOF PLAN
- A2 RESIDENCE ELEVATIONS
- A3 RESIDENCE FOUNDATION PLAN & WALL SECTION
- A4 RESIDENCE FRAMING DETAILS
- E1 RESIDENCE ELECTRICAL PLAN

CALL BEFORE YOU DIG!



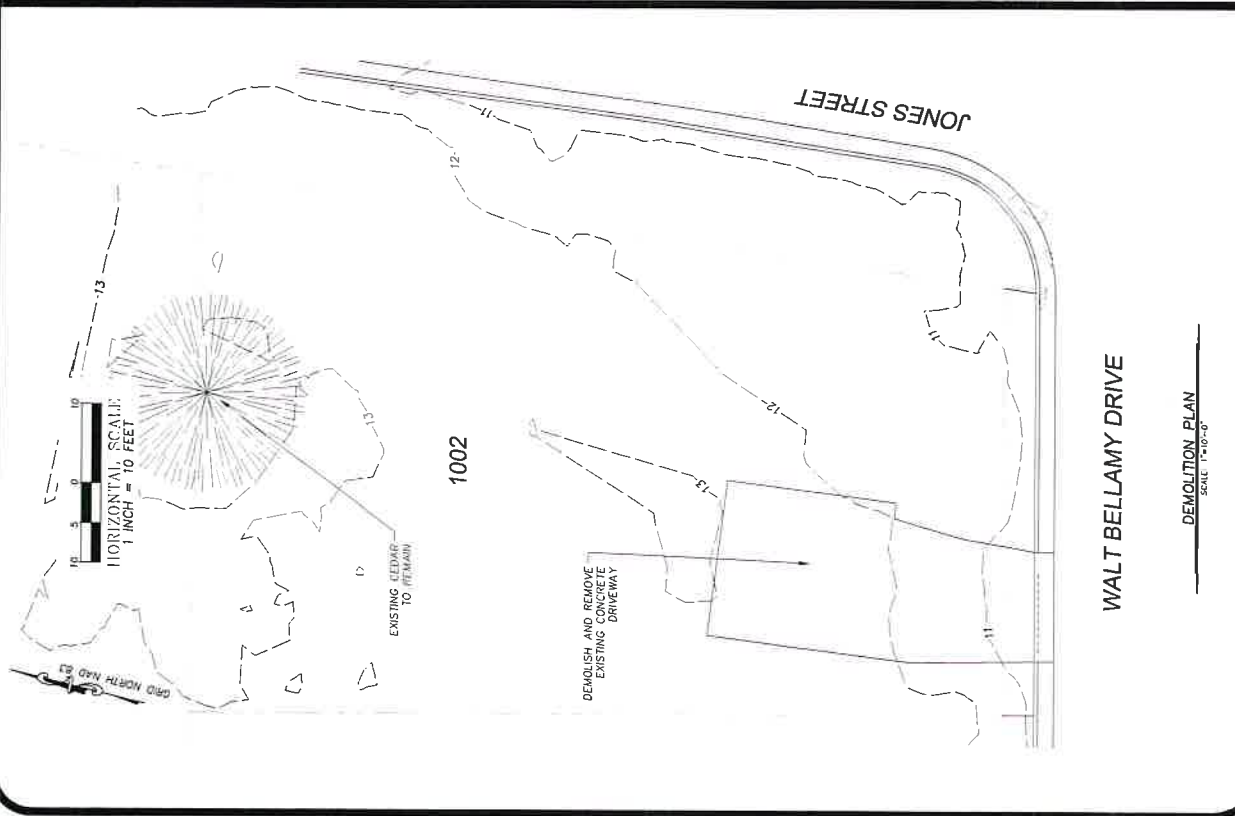
REV	DATE	BY	EXPLANATION

PROJECT  
COVER SHEET  
1002 WALT BELLAMY DRIVE RESIDENCE

NEW BERN  
NORTH CAROLINA

SCALE:	AS SHOWN
SURVEY:	DRAWN: TWS
DESIGN: TWS	CHECK: JBN

SHEET  
T1



0 5'-0"  
SCALE  
1/4" INCH = 1 FOOT

SYMBOL	EXPLANATION	DATE	BY

REVISIONS:

# RESIDENCE PLAN ELEVATIONS 1002 WALT BELAMY DRIVE RESIDENCE

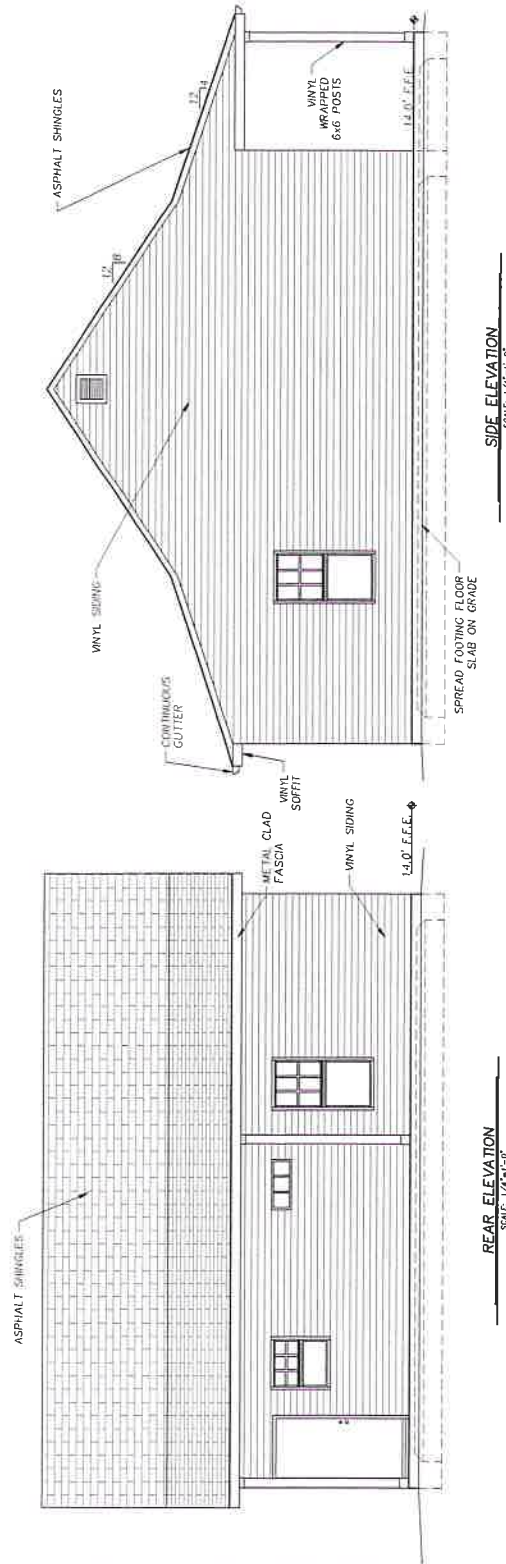
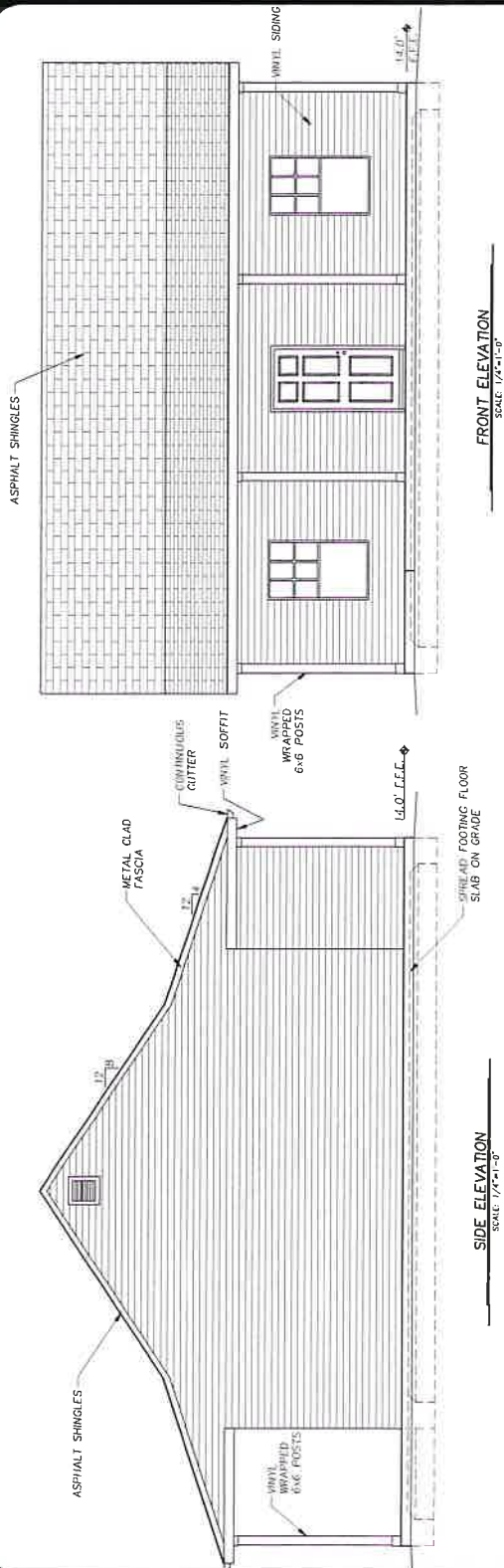
NEW BERN  
NORTH CAROLINA

SCALE:  
AS SHOWN

SURVEY	DRAWN	DATE
DESIGN	CHECK	DATE

SHEET  
A2

0 5'-0"  
1/4" INCH = 1 FOOT



REAR ELEVATION  
SCALE: 1/4\"/>

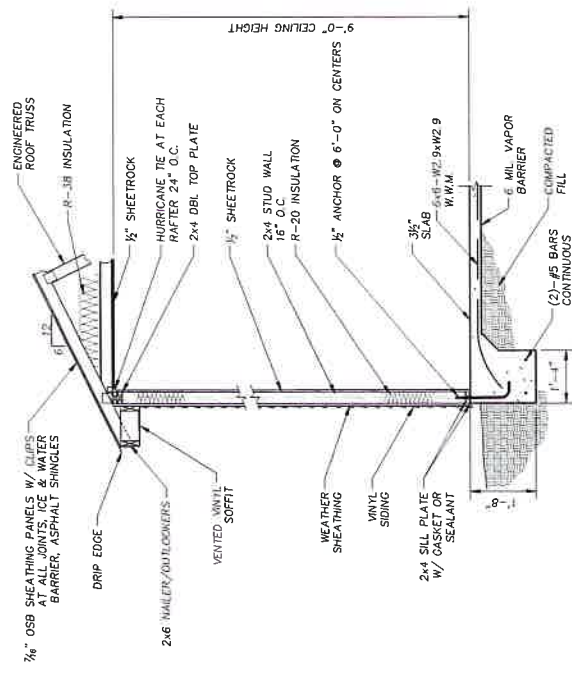
NO.	REVISIONS	DATE	BY
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2	AS SHOWN		
3	AS SHOWN		
4	AS SHOWN		
5	AS SHOWN		
6	AS SHOWN		
7	AS SHOWN		
8	AS SHOWN		
9	AS SHOWN		
10	AS SHOWN		

# RESIDENCE PLAN FOUNDATION PLAN & WALL SECTION 1002 WALT BELLMARY DRIVE RESIDENCE

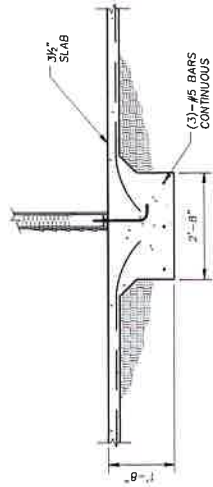
NEW BERN  
NORTH CAROLINA

SCALE	AS SHOWN
SURVEY	DATE
DESIGN	CHECK
DRAWN	DATE

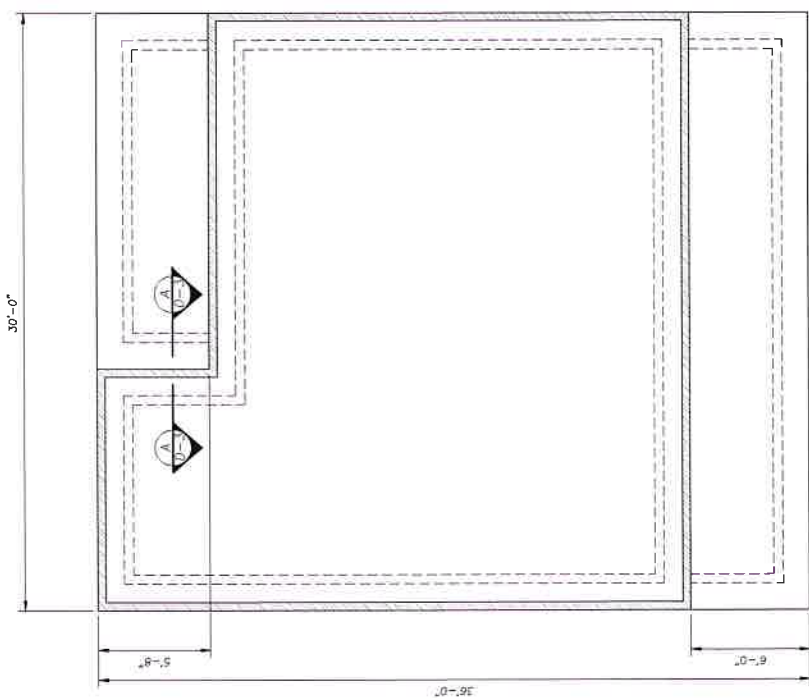
SHEET  
A3



TYPICAL WALL/FOOTING SECTION  
SCALE: 1/2\"/>



A SPREAD FOOTING SECTION  
SCALE: 1/2\"/>



FOUNDATION PLAN  
SCALE: 1/4\"/>



**OUT AND DRIVEWAY**  
**SCALE: NOT TO SCALE**

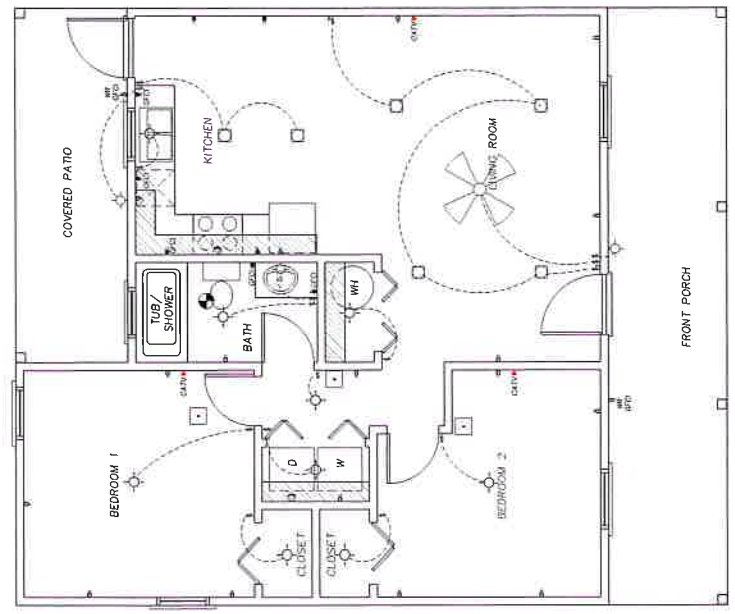
SYMBOL	EXPLANATION	DATE	BY

RESIDENCE PLAN  
ELECTRICAL PLAN  
1002 WALT BELLA MY DRIVE RESIDENCE



SCALE	AS SHOWN
SURVEY	DRAWN: TMS
DESIGN	CHECK: JBN

SHEET  
E1



ELECTRICAL FLOOR PLAN  
SCALE: 1/4" = 1'-0"

SYMBOL	DESCRIPTION	SYMBOL	DESCRIPTION
	DOUBLE OUTLET (UNSWITCHED TYPE)		CEILING MOUNTED LIGHT FIXTURE
	SINGLE OUTLET (UNSWITCHED TYPE)		WALL MOUNTED LIGHT FIXTURE
	WEATHER PROOF OUTLET OUTLET		RECESSED CEILING LIGHT FIXTURE
	SINGLE POLE WALL SWITCH		CEILING MOUNTED EXHAUST FAN
	3-WAY WALL SWITCH		250 VOLT OUTLET
	4-WAY WALL SWITCH		SINGLE SECTION



# AGENDA ITEM COVER SHEET

**Agenda Item Title:**

**Wellness Working Group Report**

<b>Date of Meeting:</b> 10/11/2023	<b>Presenter:</b> Tabari Wallace
<b>Department:</b> Redevelopment Commission	<b>Person Submitting Item:</b>

<b>Explanation of Item:</b>	The wellness working group report will give an update on their activities.
<b>Actions Needed by Board:</b>	Discussion.
<b>Backup Attached:</b>	Click or tap here to enter text.
<b>Is item time sensitive?</b> <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	

**Additional Notes:**



# AGENDA ITEM COVER SHEET

**Agenda Item Title:**

**Neighborhood Workgroup Report**

<b>Date of Meeting:</b> 10/11/2023	<b>Presenter:</b> Leander Morgan
<b>Department:</b> Redevelopment Commission	<b>Person Submitting Item:</b>

<b>Explanation of Item:</b>	The neighborhood working group will give an update on their activities.
<b>Actions Needed by Board:</b>	Discussion.
<b>Backup Attached:</b>	Click or tap here to enter text.
<b>Is item time sensitive?</b> <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	

**Additional Notes:**

## AGENDA ITEM COVER SHEET

**Agenda Item Title:**

### **Consider the Approval of the Redevelopment Commission's Budget Amendment Proposal.**

<b>Date of Meeting:</b> 10/11/2023	<b>Presenter:</b> Beth Walker
<b>Department:</b> Redevelopment Commission	<b>Person Submitting Item:</b>

<b>Explanation of Item:</b>	Consider the adoption of the proposed budget allocation for the redevelopment commission for the board of alderman approval.
<b>Actions Needed by Board:</b>	The commission needs to approve the budget as presented or with amendments for the Board's October 24th meeting.
<b>Backup Attached:</b>	Budget Draft
Is item time sensitive? <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No	

**Additional Notes:**

**CITY OF NEW BERN  
REDEVELOPMENT COMMISSION  
Budget Amendment Request**

Request must be submitted to Finance the Wednesday two weeks prior to the Board of Aldermen meeting

<b>Account #71190 - Other Professional Services</b>				
<b>Item Description</b>	<b>Justification</b>	<b>Current Budget</b>	<b>Increase/ (Decrease)</b>	<b>Revised Budget</b>
1 Planning retreat	Professional Services			15,000
2 Consulting/ strategic planning	School of Government			250
<b>Account #72310 - Utilities</b>				
<b>Item Description</b>	<b>Justification</b>	<b>Current Budget</b>	<b>Increase/ (Decrease)</b>	<b>Revised Budget</b>
1 Eubanks Project	Monthly Billing			1,100
2 Walt Bellamy Project	Monthly Billing			3,000
<b>Account #74910 - Other Supplies &amp; Materials</b>				
<b>Item Description</b>	<b>Justification</b>	<b>Current Budget</b>	<b>Increase/ (Decrease)</b>	<b>Revised Budget</b>
1 Commission Supplies	Meals/Travel/ent.			1,000
2 Insurance	General Liability Premium			700
3 Advertisement	Upset Bid Costs			1,700
<b>Account #75520 - Land &amp; Structures</b>				
<b>Item Description</b>	<b>Justification</b>	<b>Current Budget</b>	<b>Increase/ (Decrease)</b>	<b>Revised Budget</b>
1 OPC CRAVEN COUNTY TAX DEP	Tax			65
2 OPC TAX SERVICE FEE 024	Tax			5
3 Landscaping and upkeep (PW)	Monthly costs of Parcel upkeep			10,000

Form Completed by \_\_\_\_\_

Approved by Commission on: \_\_\_\_\_  
Redevelopment Commission Chair

\_\_\_\_\_  
Initials

\_\_\_\_\_  
Signature

INDIVIDUALS WITH DISABILITIES REQUIRING SPECIAL ASSISTANCE SHOULD CALL (252) 639-2931 NO LATER THAN 3 P.M. THE DATE OF THE MEETING.

## AGENDA ITEM COVER SHEET

**Agenda Item Title:**

### **Consider Accepting Liability Bid from SIA**

<b>Date of Meeting:</b> 10/11/2023	<b>Presenter:</b> Beth Walker
<b>Department:</b> Redevelopment Commission	<b>Person Submitting Item:</b>

<b>Explanation of Item:</b>	Staff worked with Jeff Quinn to secure all Redevelopment-owned interests liability insurance. The attached quote is for liability coverage for those interests.
<b>Actions Needed by Board:</b>	If there are no objections, the commission needs to consider accepting this bid and binding insurance through the SIA group.
<b>Backup Attached:</b>	Quote
<b>Is item time sensitive?</b> <input checked="" type="checkbox"/> <b>Yes</b> <input type="checkbox"/> <b>No</b>	

**Additional Notes:**



# SIA GROUP

protection beyond insurance

## The Risk Navigation System™

Insurance is a powerful and useful tool, but it is not the  
sole solution for all risks!





# Executive Summary

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## Introduction & Background

SIA Group combines years of experience with leading-edge products and services to provide exceptional service and value to our customers. Our product offering includes insurance products and risk management services for commercial property, automobile liability, and physical damage, workers' compensation, excess liability, marine, specialty coverage, surety, and employee benefits, including life, disability and personal lines programs.

With our headquarters in Jacksonville, NC and nine other offices—we think globally but act locally, with personal services designed specifically for each individual client. SIA Group shares information and resources with a national network of brokers to ensure we can meet your every need and find answers to your questions quickly and efficiently.

## Our Value Proposition

Our goal is to achieve long-term relationships focused on bringing value and Protection Beyond Insurance to your risk management and insurance programs. We commit to utilizing our collective talent to support your risk management and insurance goals.

We deliver to you the highest quality property and casualty insurance programs and strategic planning consultation services in a manner that is most suitable to achieving your business goals.

We promise to identify activities that drive claim frequency and severity, and implement an action plan to contain losses. We will identify training needs and provide onsite assistance to actively address loss sources and promote a safe work environment for your employees.

## Situation Analysis

You face various challenges, including safety issues, OSHA compliance burdens, carrier consolidation, rate fluctuations, and increased litigation activity. This challenging environment dictates a change in the way you purchase and manage your insurance programs. In order to compete in your marketplace you must adopt a total cost of risk management philosophy based on data-driven decisions and globally positioned communications.

## Plan Implementation

Securing the best insurance package for your business begins with planning. Analyzing all your risk is critical to successful implementation of your property and casualty insurance programs, while conversations with employees, managers and vendors will uncover areas that need additional attention. SIA Group will partner with you by providing ongoing assistance, consultation and services that will help you control your insurance expenses and promote workplace safety.

## Data Analysis

Data analysis allows you to manage and reduce your claims activity. By analyzing your losses with a sophisticated data analysis tool, we can help you develop loss control plans that will target areas with the highest potential to reduce direct and indirect costs, reduce injuries, reduce administrative time, and reduce the risk of loss of your assets. Our data analysis services will help you better manage your insurance costs, and will exceed your expectations.



# Business Goals & Values

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## Mission Statement

- To provide products and services to improve our clients' financial health by implementing our proprietary Risk Navigation System reducing each business' Total Cost of Risk (TCOR).
- To dedicate an unwavering focus on our clients specific needs earning a status of trusted advisor for mutual success.

## Core Values

- Clients Come First: through every interaction, we remain committed to better serving our clients' needs and understand this is the reason we are in business
- Integrity Matters: ethics will remain a necessary characteristic of each employee and every action they commit to
- Talent Wins the Game: develop and support other professionals to not just work as a team, but as a WINNING team
- Foster Collaboration: innovation is achieved through partnerships
- Optimism Reigns: attitude and outlook impacts results
- Commitment: make an enduring difference

## Company Vision

- SIA Group will continue to grow and succeed through our employees' personal improvement and professional development by increasing industry specific knowledge with abilities to implement the Risk Navigation System.
- SIA Group will provide additional services and products that meet our clients' needs and expectations.
- SIA Group will provide expertise that will meet our clients' needs and differentiate us from our competitors.
- SIA Group will establish and maintain close client relationships and act as consultants and a partner of choice for each individual and business we serve.





# Business Segments

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## COMMERCIAL DIVISION

SIA Group works with almost every industry segment and are specialist for these industries: Agribusiness, Construction, Country Clubs, Health Care, Hospitality, Logging, Manufacturing, Pest Control, Property Management and Social Services.



## CLASSIC BUSINESS UNIT

SIA Group can help address the needs and demands of small business, including business liability, property, workers compensation and help with the plans associated with a disaster.



## EMPLOYEE BENEFITS

SIA Group assists its clients navigate through complex issues of Federal/State Compliance, Healthcare Reform, Human Capital Management and Wellness.



## PERSONAL/PRIVATE DIVISION

SIA Group assists its clients on covering your personal assets adequately so that you are fully compensated when disaster strikes.



## SURETY DIVISION

SIA Group's Surety specialists focus exclusively on bonding issues and are able to deliver the specialized services that the field of sure requires. Our overall goal is to help secure larger jobs and increase bond capacity.



## TOTAL AGRIBIZ

Total Agribiz works to partner with agents across four states in the Southeast to provide access, programs and solutions to agents in order to better serve the unique needs of their agriculture clients.



## SOUTHEASTERN INSURANCE SERVICES

Southeastern Insurance Services (SIS) is a full service insurance agency offering Personal and Commercial insurance in Fayetteville, NC.



## PARTNERSHIP DIVISION

As a Master Agency with SIAA, SIA of NC/VA has the ability to partner with smaller agencies to allow access to large insurance companies, profit sharing and excess compensation opportunities that are traditionally reserved for much large companies.





# Office Locations



## CORPORATE OFFICE

827 Gum Branch Road  
Jacksonville, North Carolina 28540

### ASHEVILLE LOCATION

1200 Ridgefield Boulevard Suite 267  
Asheville, North Carolina 28806

### CLAYTON LOCATION

11437 US 70 West  
Clayton, North Carolina 27520

### FAYETTEVILLE LOCATION

214 Fairway Drive Suite B  
Fayetteville, North Carolina 28305

### KINSTON LOCATION

2506 N. Heritage Street  
Kinston, North Carolina 28501

### LEXINGTON LOCATION

121 N Talbert Blvd.  
Lexington, North Carolina 27292

### NEW BERN LOCATION

202 Craven Street Suite C  
New Bern, North Carolina 28560

### WALLACE LOCATION

5703 South NC 41 Highway  
Wallace, North Carolina 28466

### WILMINGTON LOCATION

6740 Rock Springs Road Unit 2B  
Wilmington, North Carolina 28405



## Our Commitment to You

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SIA Group commercial division is committed to developing long-term partnerships with our clients in an effort to develop and maintain effective loss control and safety programs. To support this goal, we will assign a team of professional that are ready to meet your needs. From initial planning to ongoing implementation, the team provides exceptional service, and will help you manage your claims and loss control exposures.

## Meet the Service Team

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### **Jeff Quinn, AAI, CRIS, PWCA**

Risk Advisor

Phone: 252-671-6111

[jquinn@siagroup.com](mailto:jquinn@siagroup.com)

### **Kim Day, AAI, CRIS**

Account Manager

Phone: 800.682.7741 ext. 3355

[kday@siagroup.com](mailto:kday@siagroup.com)

### **Certificate Administrator**

Phone: 800.682.7741 ext. 3373

[certs@siagroup.com](mailto:certs@siagroup.com)

### **Stefani Butschle, Esq.**

Director of Human Resources and In-House Counsel

Phone: 800.682.7741 ext. 3382

[sbutschle@siagroup.com](mailto:sbutschle@siagroup.com)



## Premium Summary

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	Premium
General Liability	\$686.50
<b>Totals:</b>	<b>\$686.50</b>

\*25% minimum earned

### Pay Plans:

General Liability – Agency Bill – Scottsdale Insurance through CRC –  
Pay in Full



# Commercial General Liability

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<b>First Named Insured</b>	City of New Bern
<b>Insurance Carrier</b>	Scottsdale Insurance Co
<b>Policy Term</b>	August 21, 2023 to August 21, 2024
<b>Coverage</b>	Provides protection against liability claims for bodily injury and property damages arising out of your premises, and includes the operation of your business. Coverage includes the products and any completed operations you provide, as well as any claims brought against you for advertising and personal injury actions.
<b>Limits of Liability</b>	<div><div>\$2,000,000</div><div>General Aggregate</div></div> <div><div>Excluded</div><div>Products/Completed Operations Aggregate</div></div> <div><div>\$1,000,000</div><div>Personal And Advertising Injury</div></div> <div><div>\$1,000,000</div><div>Each Occurrence</div></div> <div><div>\$100,000</div><div>Damage To Premise Rented To You</div></div> <div><div>\$5,000</div><div>Medical Payments To Any One Person</div></div> <div><div>0</div><div>Property Damage Deductible</div></div> <div><div>0</div><div>Bodily Injury Deductible</div></div>
<b>Exclusions of Coverage</b>	Cannabis, Logging and Lumbering Operations, Hydraulic Fracturing, Aircraft, All Hazards in connection with an Electronic Smoking Device, its vapor, component parts, equipment and accessories, War, Asbestos, Lead, Fungi, Silica or silica related dust, Nuclear Energy, Employment related practices, Pollution, Mold, Bacteria, EIFS (Exterior Insulation Finishing System), Employment Practices Liability, Damage to your work, Damage to your product, Employee Dishonesty. This is a partial list of exclusions. Please refer to your policy for full disclosure.

**Disclaimer:** The intent of this insurance proposal is not to be a reproduction of the insurance policy, but to give a summary of possible coverages. Consult the policy for definitions and limitations. Determination of the adequacy of coverages and limits of protection is your responsibility. Please contact SIA Group at 1-800-682-7741.



# Commercial General Liability Hazards

Loc #	Class Code	Classification	Exposure (Basis)
All	49451	Vacant Land – Other Than Not-For-Profit	Each

Address	Acres	Zoning	Land Use	Description
209 LAWSON ST	0.1	R-6	Vacant Land	SINGLE FAMILY RESIDENT
827 CEDAR ST	0.02	C-4	Vacant Land	VACANT RESIDENTIAL LOT
839 PAVIE AVE	0.05	R-6	Vacant Land	1 STORY FRAME HOME IN BAD CONDITION
1010 GRACE ST	0.12	R-6	Vacant Land	1 STORY CONCRETE HOME IN BAD CONDITION
606 WHITE ST	0.05	R-8	Vacant Land	SINGLE FAMILY RESIDENT (2)
1213 MECHANIC ST	0.12	R-6	Vacant Land	SINGLE FAMILY RESIDENT
828 EUBANKS ST	0.11	R-6	Vacant Land	SINGLE FAMILY RESIDENT
1113 RALEIGH ST	0.07	R-6	Vacant Land	SINGLE FAMILY RESIDENT
1307 MAIN ST	0.06	R-10	Vacant Land	VACANT RESIDENTIAL LOT
207 JONES ST	0.155	R-6	Vacant Land	VACANT RESIDENTIAL LOT
203 JONES ST	0.205	R-6	Vacant Land	<Null>
721 FIRST AVE	0.57	R-6	Vacant Land	SINGLE FAMILY RESIDENT (2)
703 FIRST AVE	0.09	R-6	Vacant Land	VACANT RESIDENTIAL LOT
710 W A ST	0.352	R-6	Vacant Land	SINGLE FAMILY RESIDENT
913 GREEN ST	0.116	R-6	Vacant Land	VACANT RESIDENTIAL LOT
1502 ROSE ST	0.08	R-6	Vacant Land	VACANT RESIDENTIAL LOT
WASHINGTON ST	0.11	R-6	Vacant Land	VACANT RESIDENTIAL LOT
808 BERN ST	0.04	R-8	Vacant Land	VACANT RESIDENTIAL LOT
810 BERN ST	0.05	R-8	Vacant Land	VACANT RESIDENTIAL LOT
601 FIRST AVE	0.05	R-6	Vacant Land	VACANT RESIDENTIAL LOT
Garden & Garfield	0.23	R-6	Vacant Land	VACANT RESIDENTIAL LOT
814 BIDDLE ST	0.19	R-6	Vacant Land	VACANT RESIDENTIAL LOT
1104 K ST	0.07	R-6	Vacant Land	VACANT RESIDENTIAL LOT
1135 H ST	0.1	R-6	Vacant Land	VACANT RESIDENTIAL LOT
1129 H ST	0.12	R-6	Vacant Land	VACANT RESIDENTIAL LOT
1110 R I ST	0.21	R-6	Vacant Land	VACANT RESIDENTIAL LOT
1012 K ST	0.12	R-6	Vacant Land	VACANT RESIDENTIAL LOT
1024 K ST	0.09	R-6	Vacant Land	VACANT RESIDENTIAL LOT
1023 MURRAY ST	0.11	R-6	Vacant Land	VACANT RESIDENTIAL LOT
1021 MURRAY ST	0.11	R-6	Vacant Land	VACANT RESIDENTIAL LOT
1019 MURRAY ST	0.11	R-6	Vacant Land	VACANT RESIDENTIAL LOT
1017 MURRAY ST	0.11	R-6	Vacant Land	VACANT RESIDENTIAL LOT
1015 MURRAY ST	0.11	R-6	Vacant Land	VACANT RESIDENTIAL LOT
1013 MURRAY ST	0.11	R-6	Vacant Land	VACANT RESIDENTIAL LOT
1011 MURRAY ST	0.11	R-6	Vacant Land	VACANT RESIDENTIAL LOT

**Disclaimer:** The intent of this insurance proposal is not to be a reproduction of the insurance policy, but to give a summary of possible coverages. Consult the policy for definitions and limitations. Determination of the adequacy of coverages and limits of protection is your responsibility. Please contact SIA Group at





# Commercial General Liability Hazards

1009 MURRAY ST	0.11	R-6	Vacant Land	VACANT RESIDENTIAL LOT
MURRAY ST	0.12	R-6	Vacant Land	VACANT RESIDENTIAL LOT
720 FOWLERS LN	0.61	R-6	Vacant Land	VACANT RESIDENTIAL LOT
700 FOWLERS LN	0.2	R-6	Vacant Land	VACANT RESIDENTIAL LOT
1015 BLOOMFIELD ST	0.08	R-6	Vacant Land	VACANT RESIDENTIAL LOT
1008 SAMPSON ST	0.03	R-6	Vacant Land	VACANT RESIDENTIAL LOT
1035 PAVIE AVE	0.08	R-6	Vacant Land	VACANT RESIDENTIAL LOT
911 EUBANKS ST	0.13	R-6	Vacant Land	VACANT RESIDENTIAL LOT
1023 PAVIE AVE	0.05	R-6	Vacant Land	VACANT RESIDENTIAL LOT
908 BLOOMFIELD ST	0.12	C-4	Vacant Land	COMMUNITY RESOURCE CTR
910 MURRAY ST	0.15	R-6	Vacant Land	VACANT RESIDENTIAL LOT
913 SAMPSON ST	0.08	R-6	Vacant Land	VACANT RESIDENTIAL LOT
833 BLOOMFIELD ST	0.05	R-6	Vacant Land	VACANT RESIDENTIAL LOT
815 GREEN ST	0.06	R-6	Vacant Land	VACANT RESIDENTIAL LOT
1037 MAIN ST	0.05	R-6 & C-4	Vacant Land	VACANT RESIDENTIAL LOT
1225 CEDAR ST	0.05	R-6	Vacant Land	VACANT RESIDENTIAL LOT
722 THIRD AVE	0.06	R-6	Vacant Land	VACANT RESIDENTIAL LOT
718 SECOND AVE	0.07	R-6	Vacant Land	VACANT RESIDENTIAL LOT

## Additional Named Insureds

**Disclaimer:** The intent of this insurance proposal is not to be a reproduction of the insurance policy, but to give a summary of possible coverages. Consult the policy for definitions and limitations. Determination of the adequacy of coverages and limits of protection is your responsibility. Please contact SIA Group at

## AGENDA ITEM COVER SHEET

**Agenda Item Title:**

### **Discussion of Project Working Group for Rule of Procedure**

<b>Date of Meeting:</b> 10/11/2023	<b>Presenter:</b> Beth Walker
<b>Department:</b> Redevelopment Commission	<b>Person Submitting Item:</b>

<b>Explanation of Item:</b>	Consider forming a commissioner working group to edit and present final drafts for rules of procedure for the redevelopment commission.
<b>Actions Needed by Board:</b>	Discussion
<b>Backup Attached:</b>	
Is item time sensitive? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	

**Additional Notes:**



## AGENDA ITEM COVER SHEET

**Agenda Item Title:**

**Discussion of Project Working Group for Commission planning retreat.**

<b>Date of Meeting:</b> 10/11/2023	<b>Presenter:</b> Beth Walker
<b>Department:</b> Redevelopment Commission	<b>Person Submitting Item:</b>

<b>Explanation of Item:</b>	Consider forming a commissioner working group to plan a strategic planning retreat for the commission.
<b>Actions Needed by Board:</b>	Discussion
<b>Backup Attached:</b>	
Is item time sensitive? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No	

**Additional Notes:**