



Development Services Department  
303 First St. P.O. Box 1129  
New Bern, NC 28563  
(252) 639-7581

**TO:** New Bern Historic Preservation Commission

**FROM:** Matt Schelly, AICP, City Planner, Historic Preservation Administrator

**DATE:** January 15, 2020

**RE:** Regular Meeting, 5:30 PM, Wednesday, January 22, 2020, in the Courtroom,  
Second Floor, City Hall, 300 Pollock St.

**REGULAR MEETING AGENDA – 5:30 PM**

1. Opening of Meeting with Roll Call
2. Approval of Minutes of Previous Meeting(s)
3. Old Business:
  - A. **711-A E. Front St.** – to include elevating the dwelling and all the changes in the Primary, Secondary, and Tertiary AVCs necessary for this.
  - B. **711-C E. Front St.** – to include elevating the dwelling and all the changes in the Primary, Secondary, and Tertiary AVCs necessary for this. A small addition is also proposed for the accessory dwelling.
4. New Business:
  - C. **(100 E. Front St.) Union Point Park** – to include replacing the previous stationary dock, which was destroyed by Florence, with a new dock with “hog slat” decking.
  - D. **312 Johnson St.** – to include installation of a platform and new backup generator, plus fencing for existing HVAC units. These alterations are, technically, in the Secondary AVC, but the existing HVAC units are currently in full view from the street.
  - E. **421 S. Front St.** (a non-contributing building) – to include for the Farmers Market building the replacement of the existing garage doors with new garage doors in the Primary AVC.

**F. 503 – 505 C St.** (a non-contributing building) – to include the removal of two brick vents, replacing asphalt roofing with new asphalt roofing, replacing wood windows with aluminum windows, refinishing the front doors, painting the wood handrailing, installing new lighting, installing new HVAC units and fencing, and installing new gas meters in the Primary, Secondary, and Tertiary AVCs.

**G. 613 Broad St.** – to include nearly complete removal of existing landscaping and replacement with landscaping according to the submitted plan for the Primary, Secondary, and Tertiary AVCs. The plan includes installation of one or more gas street lights and new wood fencing.

**H. 216 Johnson St.** – to include installation of new metal garage doors in the Primary AVC, an infill section of garage wall with wood door, wood windows, and wood siding in the Tertiary AVC, and new decorative metal fencing and gates in the Secondary and Tertiary AVCs.

***\*Please note that applications for these projects, including proposed plans, are available for review during normal business hours in the Development Services Department (303 First Street).***

5. Consider Request to Apply for CLG grant funding from the State HPO - to develop design guidelines that outline appropriate elevation treatments for properties located in the local historic district
6. Demolition By Neglect Cases  
None
7. General Public Comments
8. Adjourn



**FEE SCHEDULE** (office use only)  
☐ \$22 Standard Application (minor)  
☒ \$107 Standard Application (major)



**HPC Administrator**  
**HPCadmin@newbern-nc.org**  
**Work: (252)639-7583**  
**Fax: (252)636-2146**

**Application for a Certificate of Appropriateness**  
*(For Alterations to Properties in Locally Designated Historic Districts)*

For assistance see "CoA Instructions", as well as "Historic District Guidelines", available online at:  
<http://www.newbern-nc.org/departments/development/historic-preservation/historic-preservation-guidelines/>

**Type of Project:** ☒ Exterior Alteration ☐ Addition ☐ Infill ☐ Site Work ☐ Other

**I. Applicant/Owner Information:**

Property Address (Include year built, if known): 711A E. Front (House - built 1935)

Property Owner Name(s): Roselie & Richard McDevitt	Owner Mailing Address: 101 Queen Street New Bern, NC 28560	Phone #'s: 203-461-5767	Email: roselie@suddenlink.net
Applicant Name (if different): GO Architectural Design, PLLC Sarah Afflerbach, AIA	Applicant Mailing Address: 1202A Pollock Street New Bern, NC 28560	Phone #'s: 252-633-0322	Email: sarah@goarchdesign.com

**II. Project Information:** *(See "CoA Instructions" & "Historic Guidelines" for help in completing this section)*

1. Provide a detailed description of work to be conducted on site: (Attach additional sheets if needed)

Remove existing brick masonry foundation wall and front and rear porches and raise the structure, installing a new brick masonry 3' retaining wall at sidewalk going back to meet the house. Reconstruct the concrete porch floor, brick masonry columns. Show a brick rowlock running the entire perimeter of the new raised foundation indicating the previous foundation height. Construct new painted wood pickets and rails to match existing.

Continued on additional sheet or attached brochure ☐

2. Reference the specific Guideline(s) in the "Historic District Guidelines" which you believe apply to this project: (page and guideline number):

Additions 3.3.1-2 Foundations 4.1.1-4 Windows & Doors 4.3.2-3 Roofs 4.5.1 Decks & Patios 4.6.2-3 Masonry 5.1.1-2  
 Contemporary Materials 5.5.1-6

Continued on additional sheet or attached brochure ☐

3. Provide a detailed description of materials to be used (copies of brochures, texture, etc.):

Reference the specific Guidelines in the Historic District Guidelines for the proposed material(s).

Brick masonry, concrete flooring, 5/4" preservative treated wood decking, 1 1/2" painted or stained pickets and 2x4 painted or stained preservative wood railing.

Continued on additional sheet or attached brochure ☐

**III. Additional Information Provided: (See "CoA Instructions" for more detail)**

Plan(s) of Work, with: (please check all of those which are included with this application)

- ☒ Site plan (with annotated notes showing existing site and requested work)
- ☒ Photographs of the building and location where the proposed work will be completed
- ☒ Annotated notes or photos of materials to be used (samples may also be submitted)
- ☒ Floor plan with dimensions (for additions)
- ☒ Elevations with dimensions (for exterior additions or renovations)
- ☐ Supporting materials (brochures, photos of similar New Bern projects, estimates, etc.)
- ☒ Letter from owner acknowledging this application, in the case of submission by an applicant or lessee.

Please see Development Services Staff (Staff) prior to submittal for initial review of the application and advisement if additional information will be required before consideration at a Historic Preservation Commission hearing.

**Please read the following statements. Your signature below acknowledges that you have read the statements and attest to their accuracy:**

Check one:

- ☐ I am the owner of the Property, or
- ☒ I am acting on behalf of the owner of the property and I have attached a letter from the owner(s) indicating their knowledge of this application.

- ◆ I understand that submittal of this application does not constitute approval of proposed alterations.
- ◆ I understand that the approval of this application by City Staff or the New Bern Historic Preservation Commission (HPC) does not constitute approval of other federal, state, or local permit applications.
- ◆ I understand that I (or my representative) will need to attend the Hearing of this Application by HPC. No Applications shall be heard without a representative present and all applicable fees paid in full.
- ◆ I have reviewed the City of New Bern's "Historic District Guidelines" in preparing this Application.
- ◆ I understand that the property referenced by this Certificate of Appropriateness (CoA) application is in one of New Bern's local historic districts and that it represents a part of New Bern's historic fabric. If a CoA is approved by HPC or Staff, I agree to implement all changes as specified in the approved CoA, including any conditions. I understand that I am responsible for contacting Staff if I have any questions regarding the allowed changes specified in the approved CoA.
- ◆ I understand that ANY unapproved alterations are enforceable as a violation of City Ordinance and must be brought into compliance by removal or through the CoA process.
- ◆ I affirm that all the information included in this application is true to the best of my knowledge.
- ◆ I understand that incomplete applications cannot be considered.

Sam Attleson  
Signature of Applicant/Owner

10/29/19  
Date

**APPLICATION SHOULD BE SUBMITTED TO THE DEVELOPMENT SERVICES MAIN OFFICE AT 303 FIRST ST. NO LESS THAN 2 WEEKS PRIOR TO UPCOMING MEETING. FOR FURTHER INFORMATION, CONTACT THE ADMINISTRATOR OF THE HISTORIC PRESERVATION COMMISSION AT (252) 639-7583.**



Sarah Afflerbach &lt;safflerbach@gmail.com&gt;

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**711 and 711C E. Front Street**

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**Matthew Boswell** <boswellm@newbernnc.gov>  
To: "sarah@goarchdesign.com" <sarah@goarchdesign.com>

Fri, Jan 17, 2020 at 10:41 AM

Sarah,

The new flood maps will become effective June 19<sup>th</sup>, 2020 which will increase the BFE for these properties to 9.0' + the City's 2' freeboard requirement for a regulatory flood protection elevation (RFPE) of 11.0'. As stated below- fiberglass insulation, flexible ductwork, etc. would not be allowed to be installed below 11.0'.

Matt Boswell

Chief Building Inspector- City of New Bern

(252) 639-2945

[Quoted text hidden]

NOTE: Please be advised, City of New Bern email addresses changed to [user@newbernnc.gov](mailto:user@newbernnc.gov) as of October 23rd 2018. Please update your address book accordingly. Thank you for your assistance with this change. -----

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# 711 A E. FRONT - HOME



KEYS & SYMBOLS

DOOR & WINDOW SIZE KEY

2<sup>6</sup> = 2'-6" WIDE (ASSUME STANDARD DOOR HEIGHT OF 6'-8" UNLESS NOTED)

2060 = 2'-0" WIDE X 6'-0" HIGH

DRAWING NUMBER

SHEET NUMBER

ROOM NAME

CEILING HEIGHT AND SQUARE FOOTAGE

1

A-101

FIRST FLOOR PLAN

Scale: 1/4" = 1'-0"

0'-0" GRADE

ELEVATION HEIGHT

SCHEDULE

⌀

RECEPTACLE

⌀<sub>L</sub>

FLOOR RECEPTACLE

⌀<sub>GF</sub>

GFCI RECEPTACLE

⌀<sub>WP</sub>

WATER PROOF RECEPTACLE

\$

SWITCH

\$<sub>3</sub>

3 WAY SWITCH

X

FAN / LIGHT

⬢

SECURITY LIGHT

⊙

CEILING MOUNT

⬢

WALL SCONCE

⊙

CEILING PENDANT

⊙

FAN / LIGHT

○

6" RECESSED CAN

⊕

DIRECTIONAL PIN LIGHT

▭

FLUORESCENT

▬

UNDER-COUNTER

▴

CABLE

▭

GARAGE DOOR OPENER W/ LIGHT

SHEET SCHEDULE

G-101

TITLE SHEET

A-101

EXISTING FLOOR PLAN

NEW FLOOR PLAN

A-201

EXISTING ELEVATION

A-202

NEW ELEVATION

NET SQUARE FOOTAGE

NON HEATED

FRONT PORCH

SF

HEATED / COOLED

FIRST FLOOR PLAN

SF



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New Bern, NC 28560  
252-633-0322  
www.goarchdesign.com

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711 E. FRONT STREET HOME & COTTAGE

711 E. FRONT, NEW BERN, NORTH CAROLINA

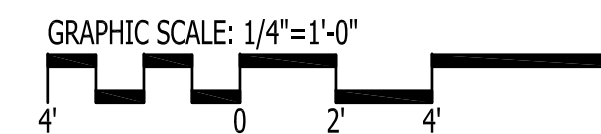
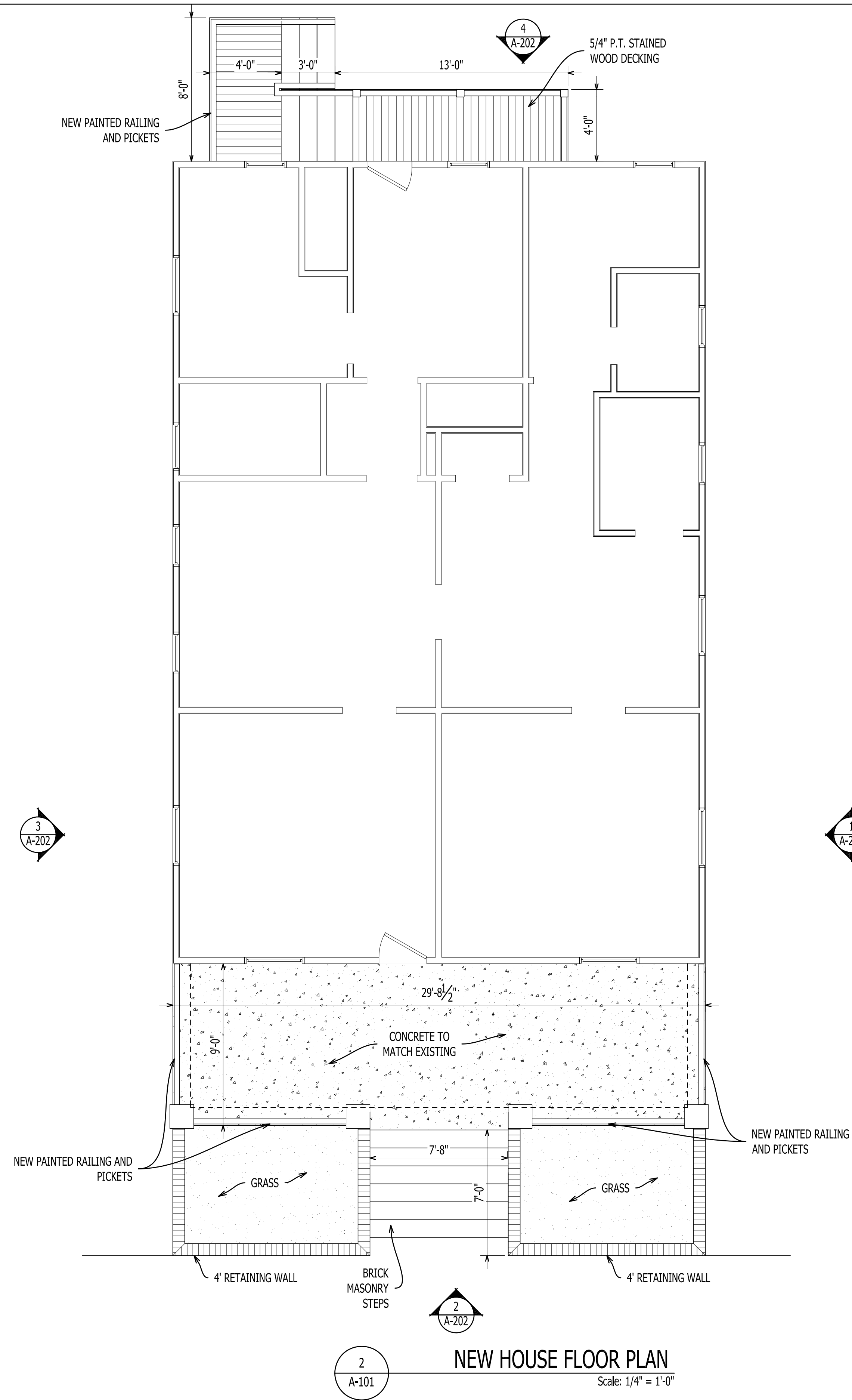
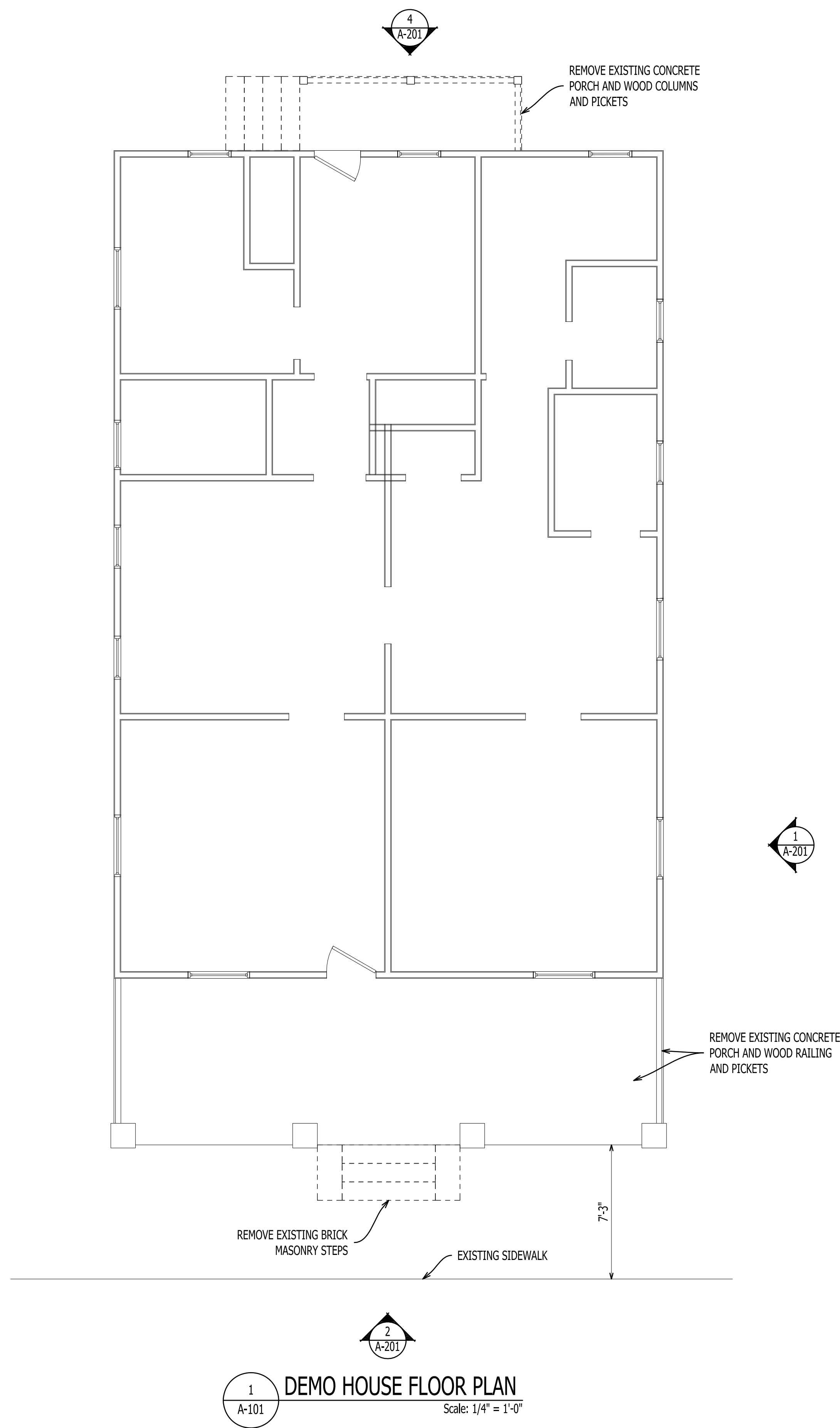
Date: 01.14.2020

Revisions:

G-101

TITLE SHEET

12 X 18 SHEETS ARE HALF SIZE



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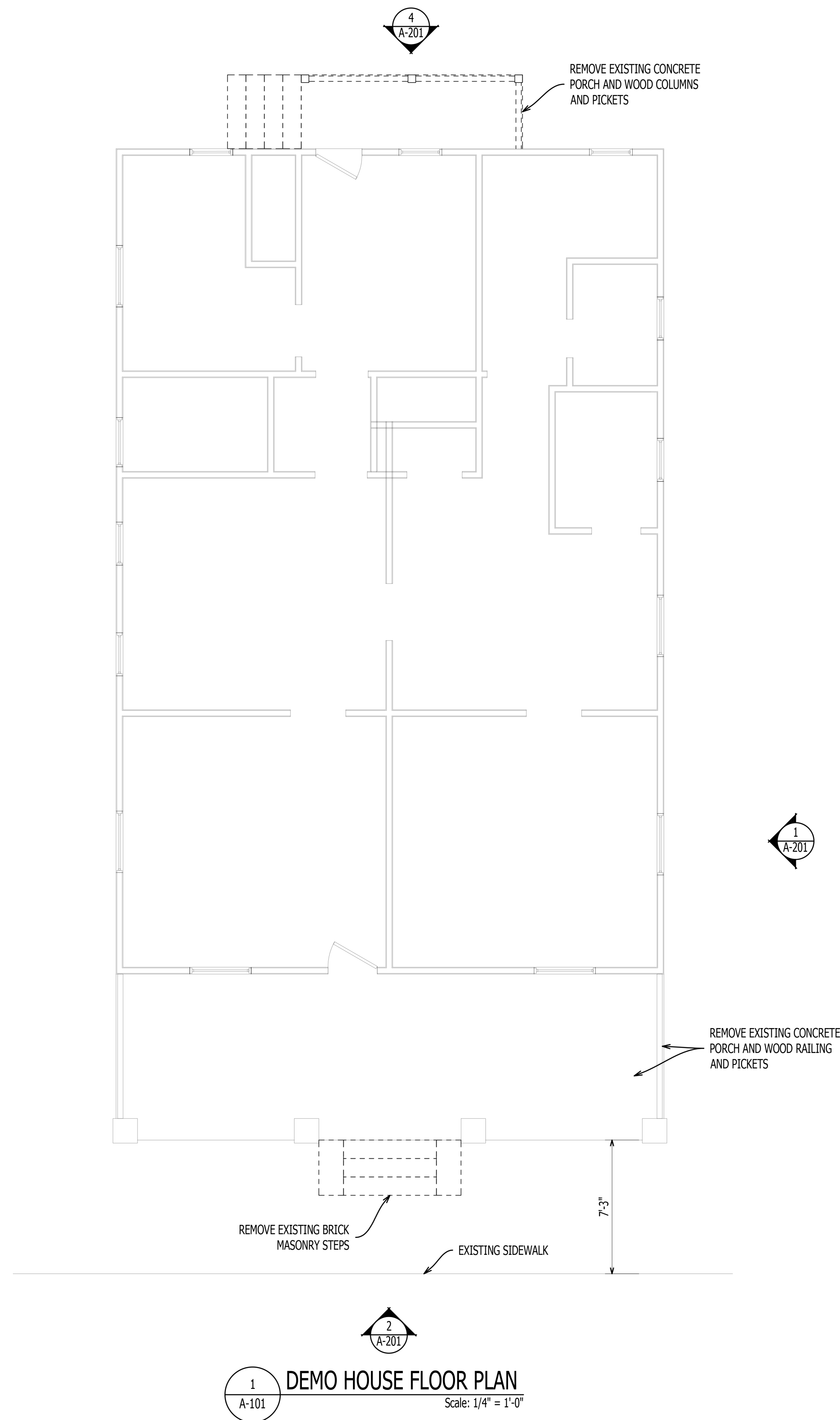
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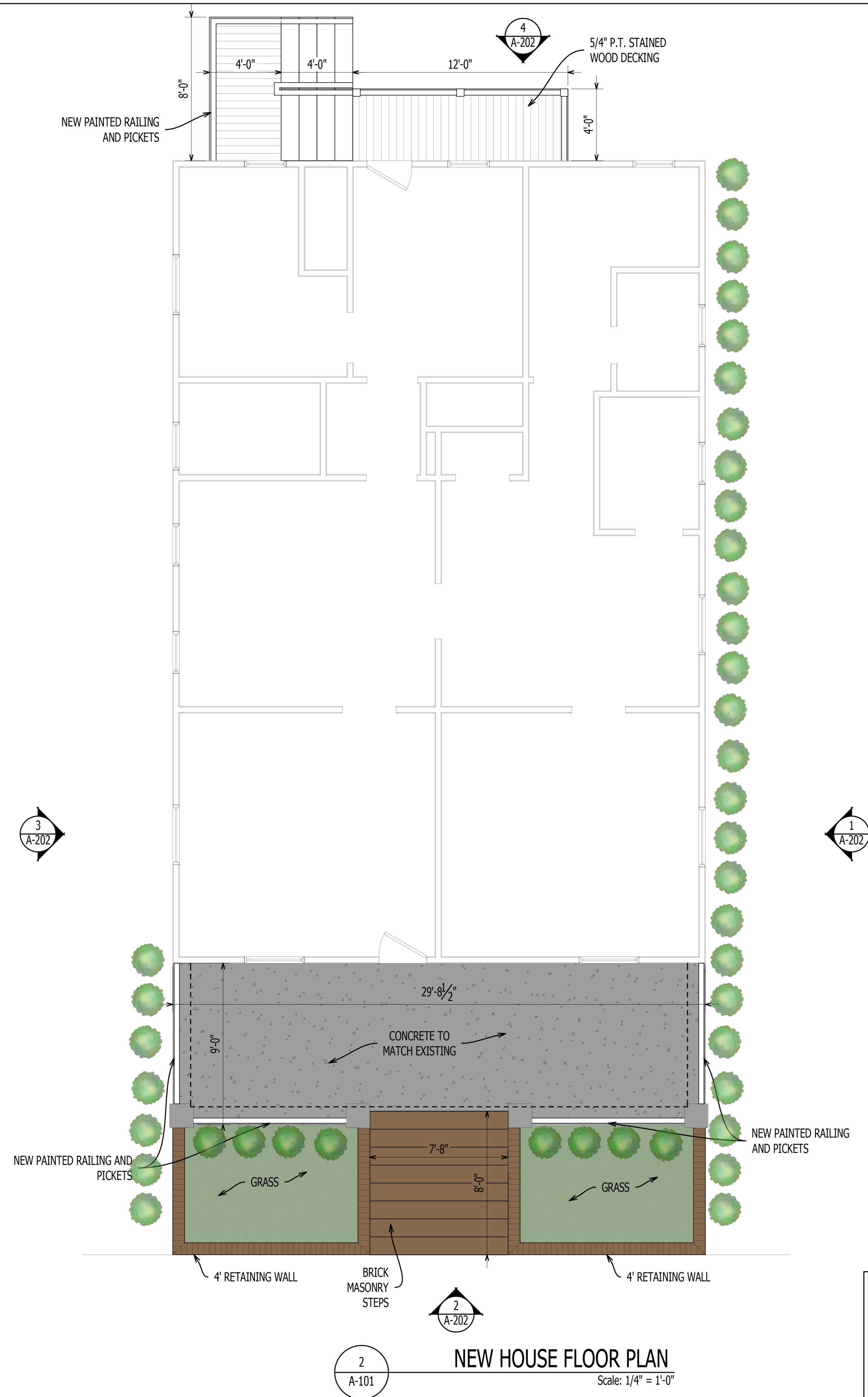
HOUSE FLOOR PLANS

12 X 18 SHEETS ARE HALF SIZE

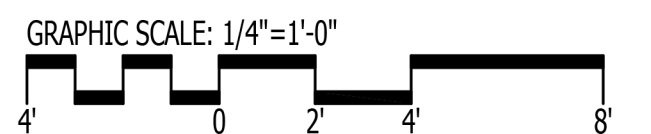




1 DEMO HOUSE FLOOR PLAN  
A-101 Scale: 1/4" = 1'-0"



2 NEW HOUSE FLOOR PLAN  
A-101 Scale: 1/4" = 1'-0"



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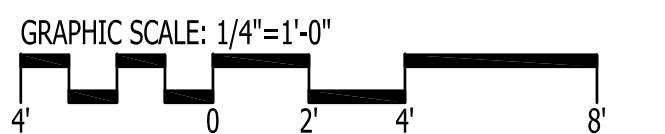
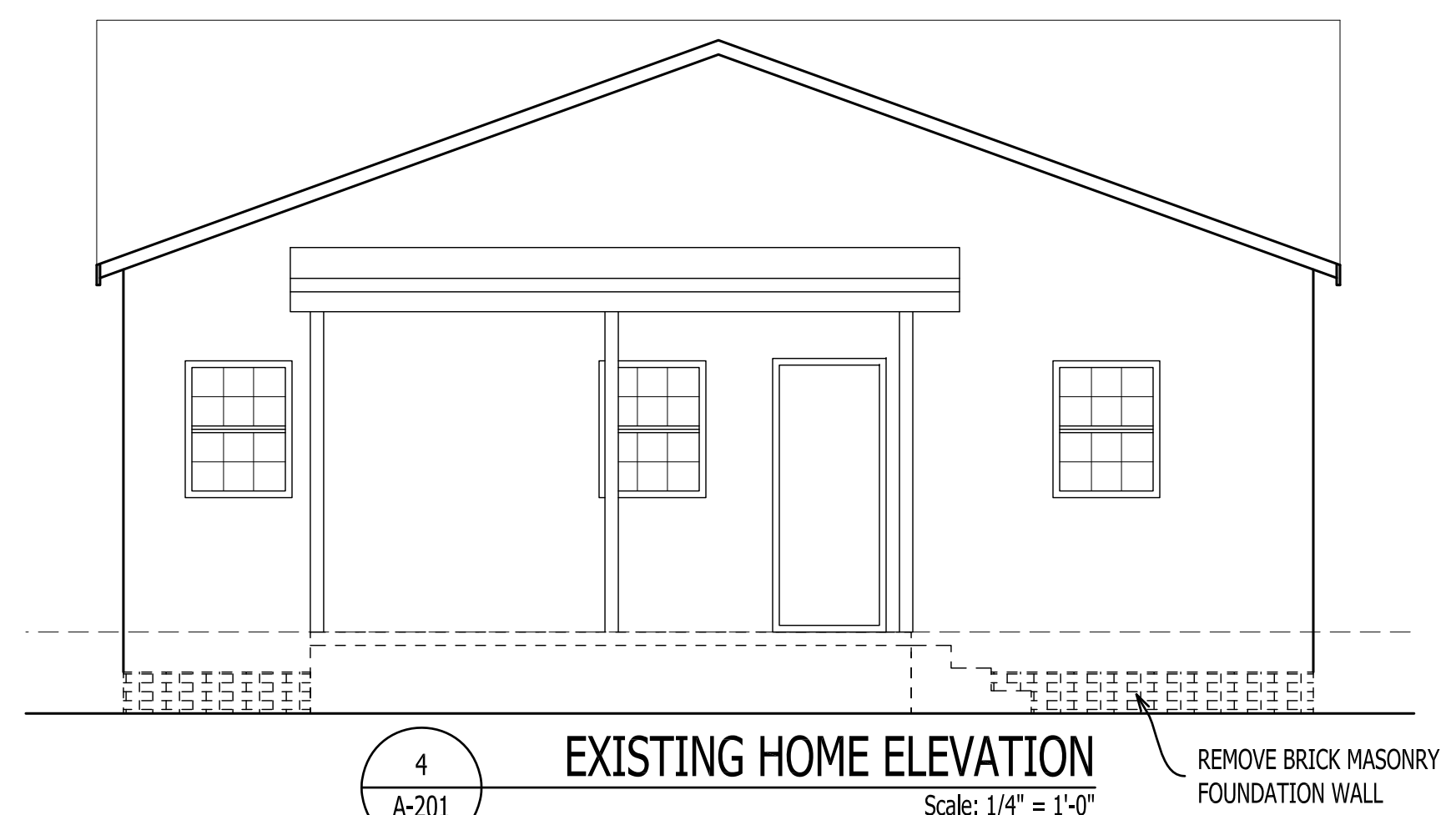
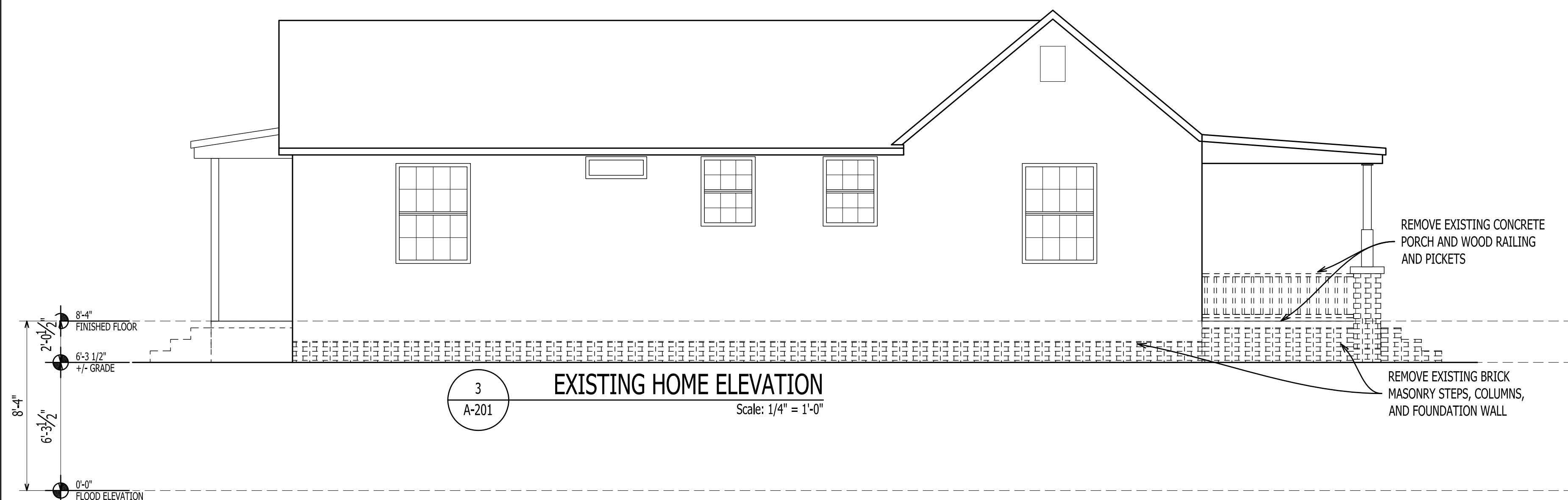
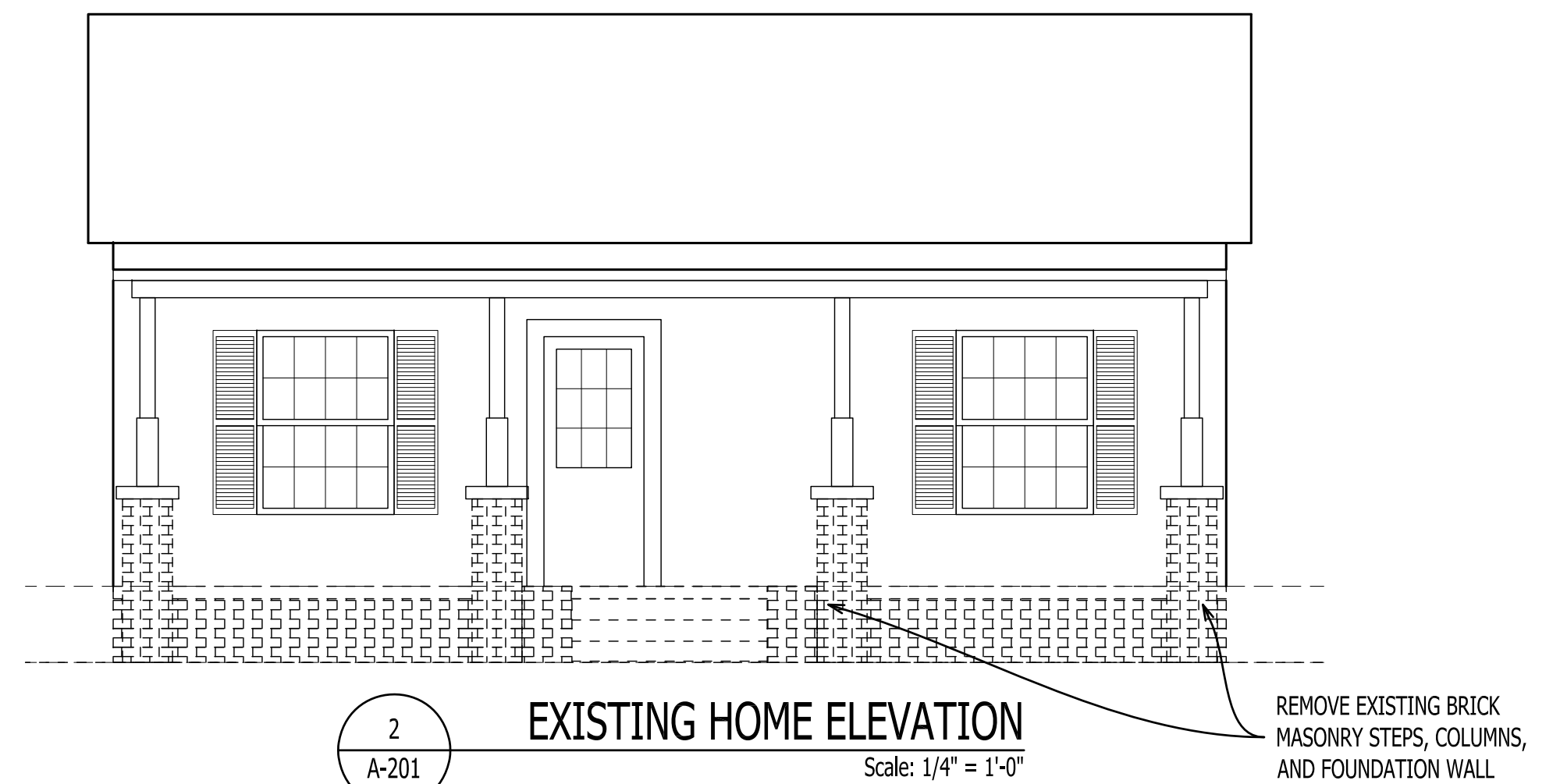
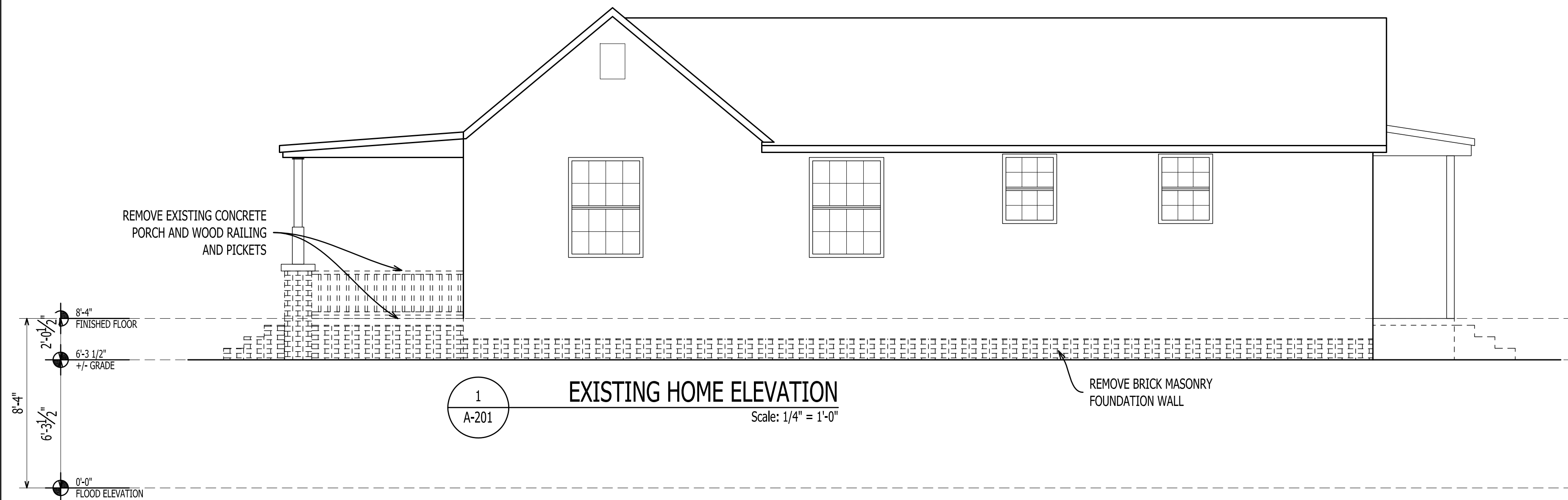
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**A-101**

HOUSE FLOOR PLANS

12 X 18 SHEETS ARE HALF SIZE





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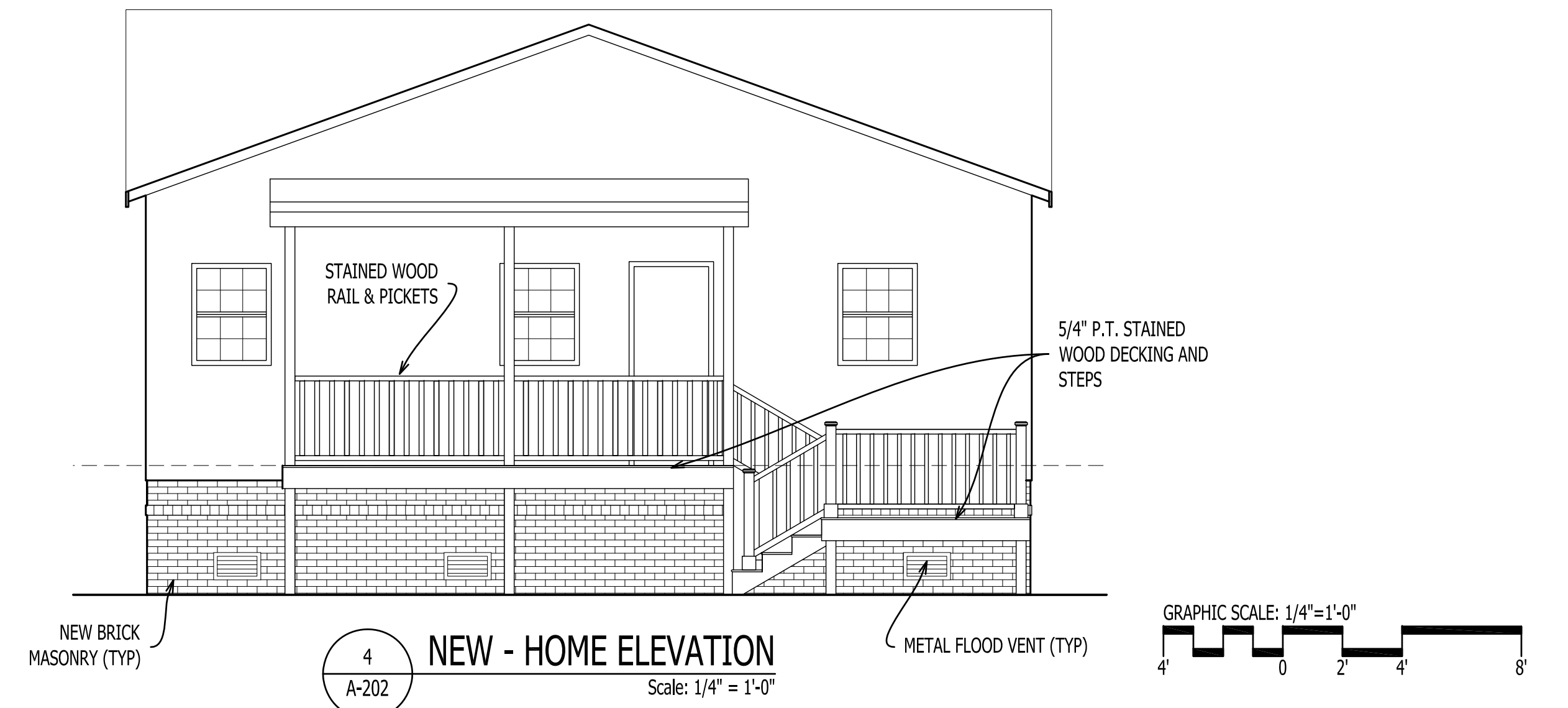
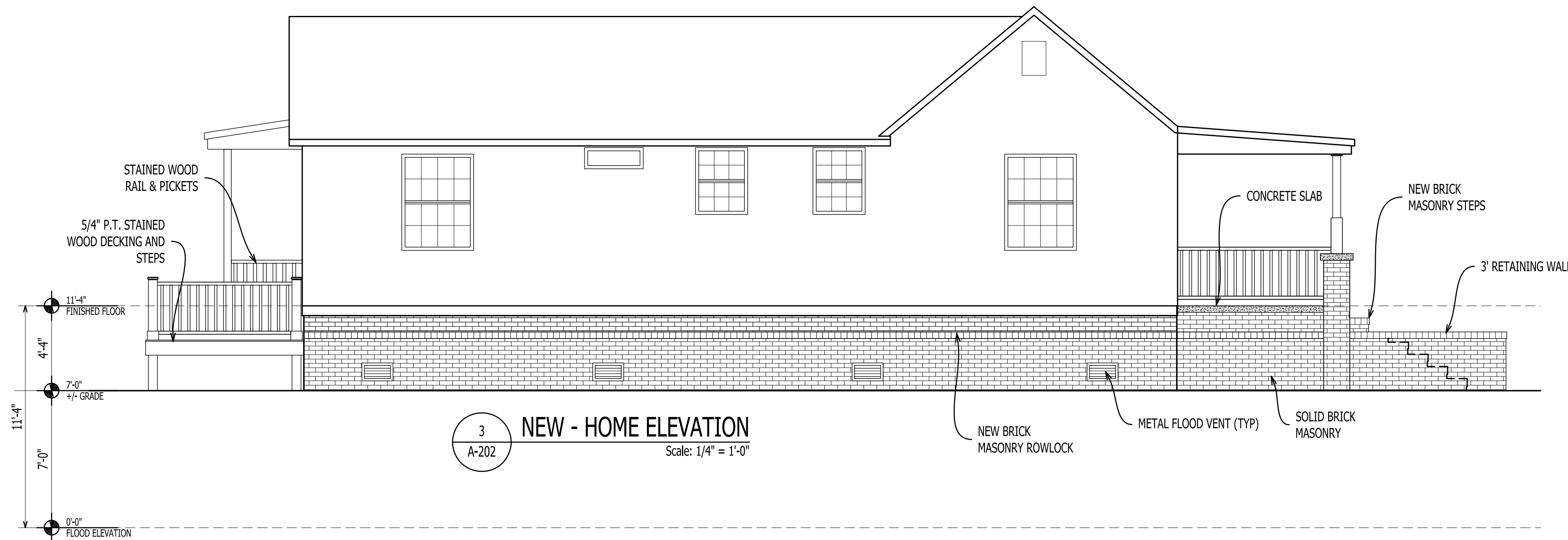
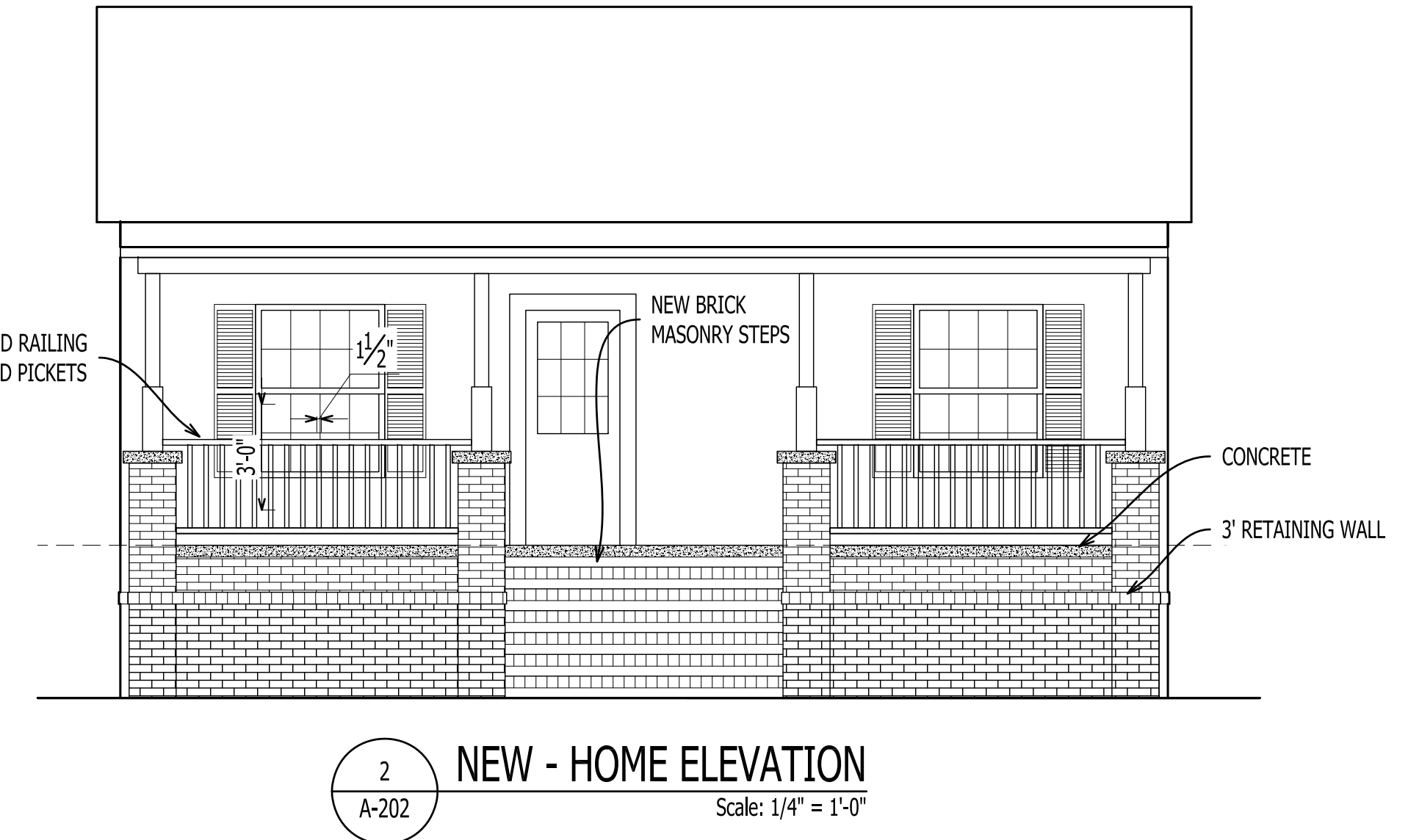
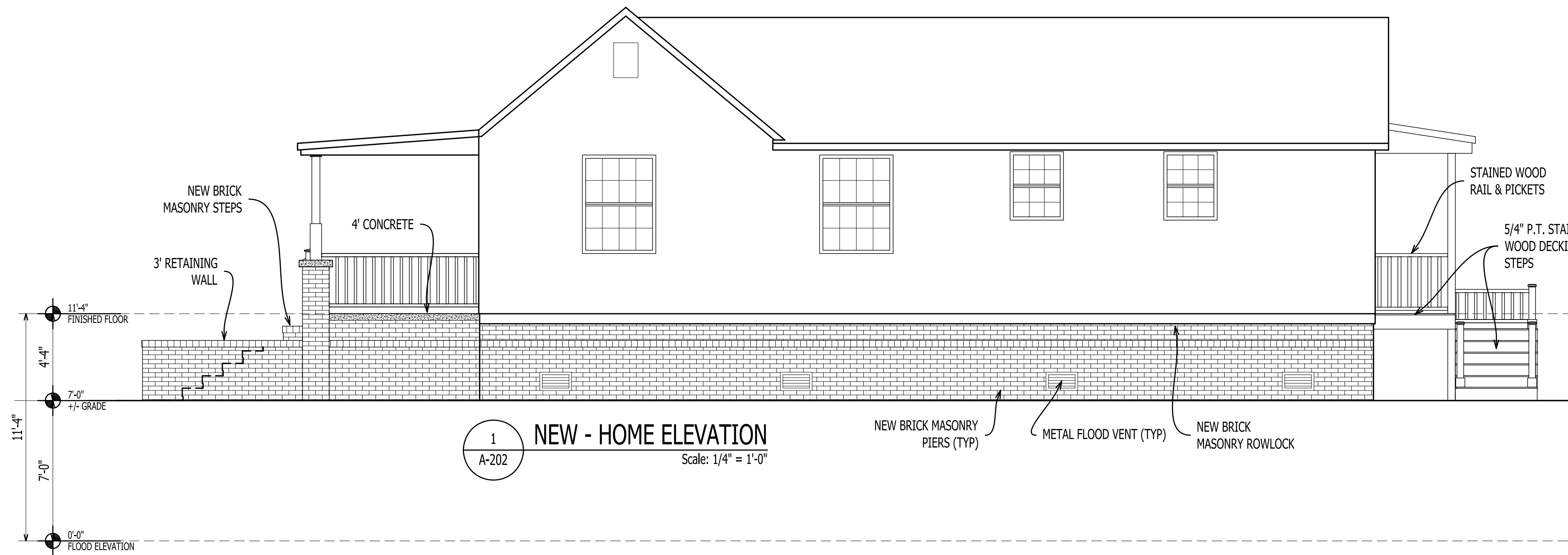
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## A-201

EXISTING HOME ELEVATIONS

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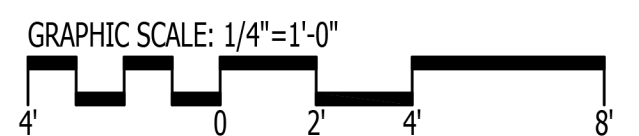
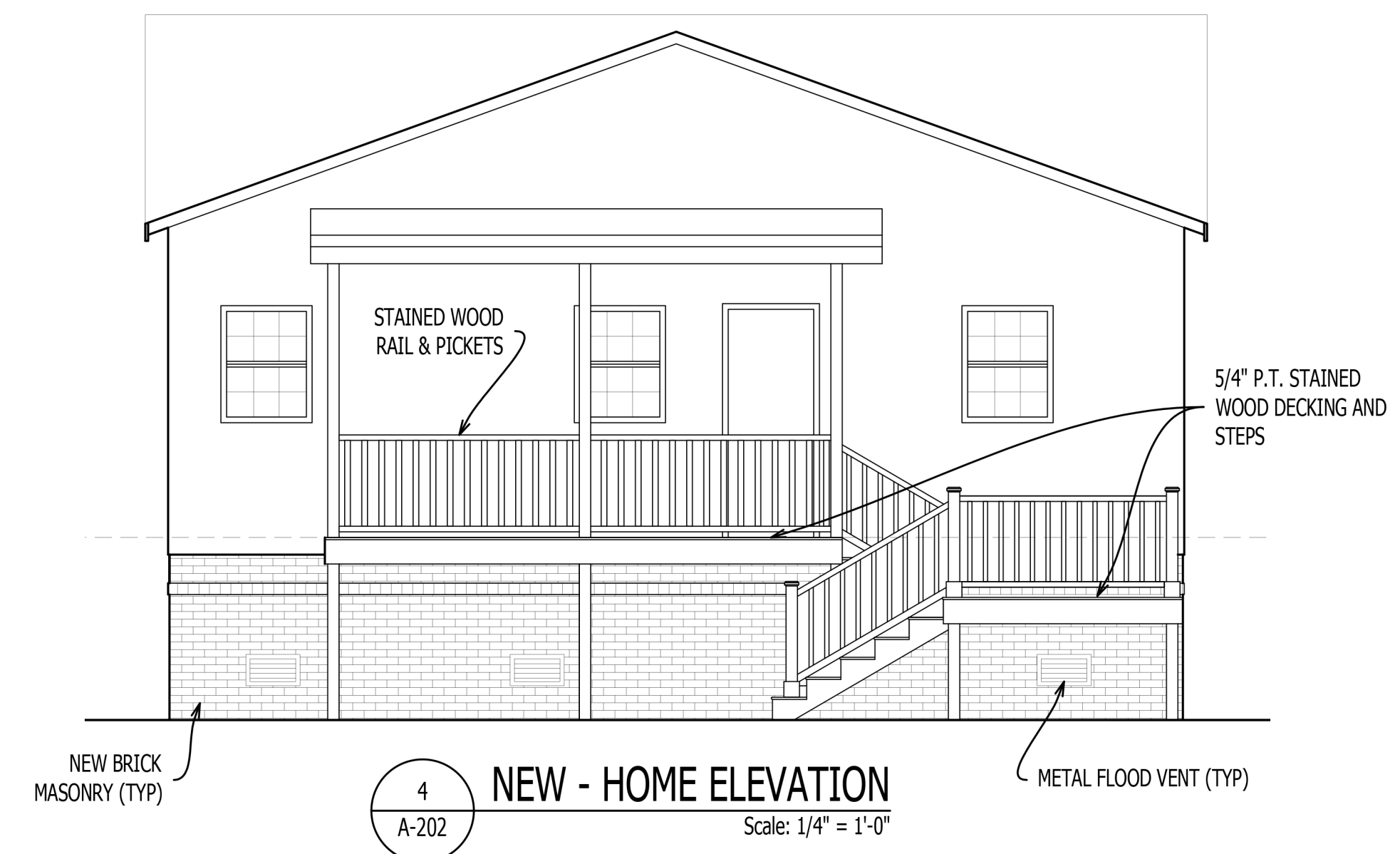
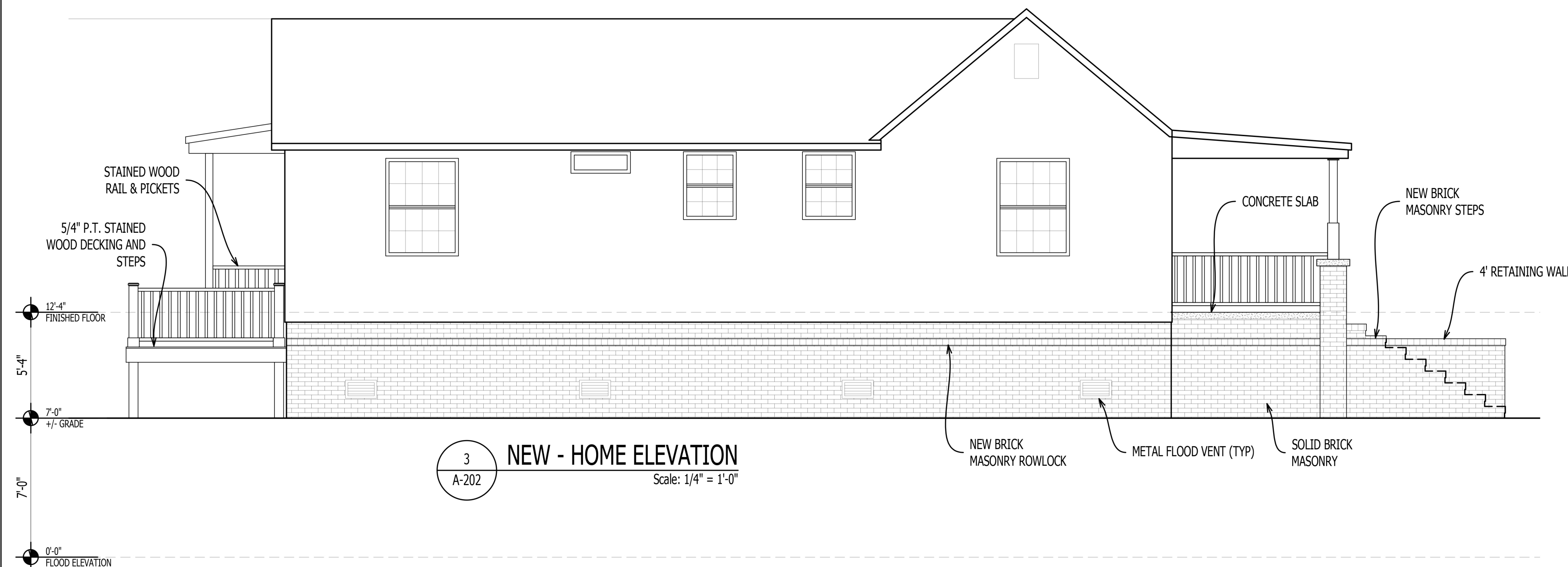
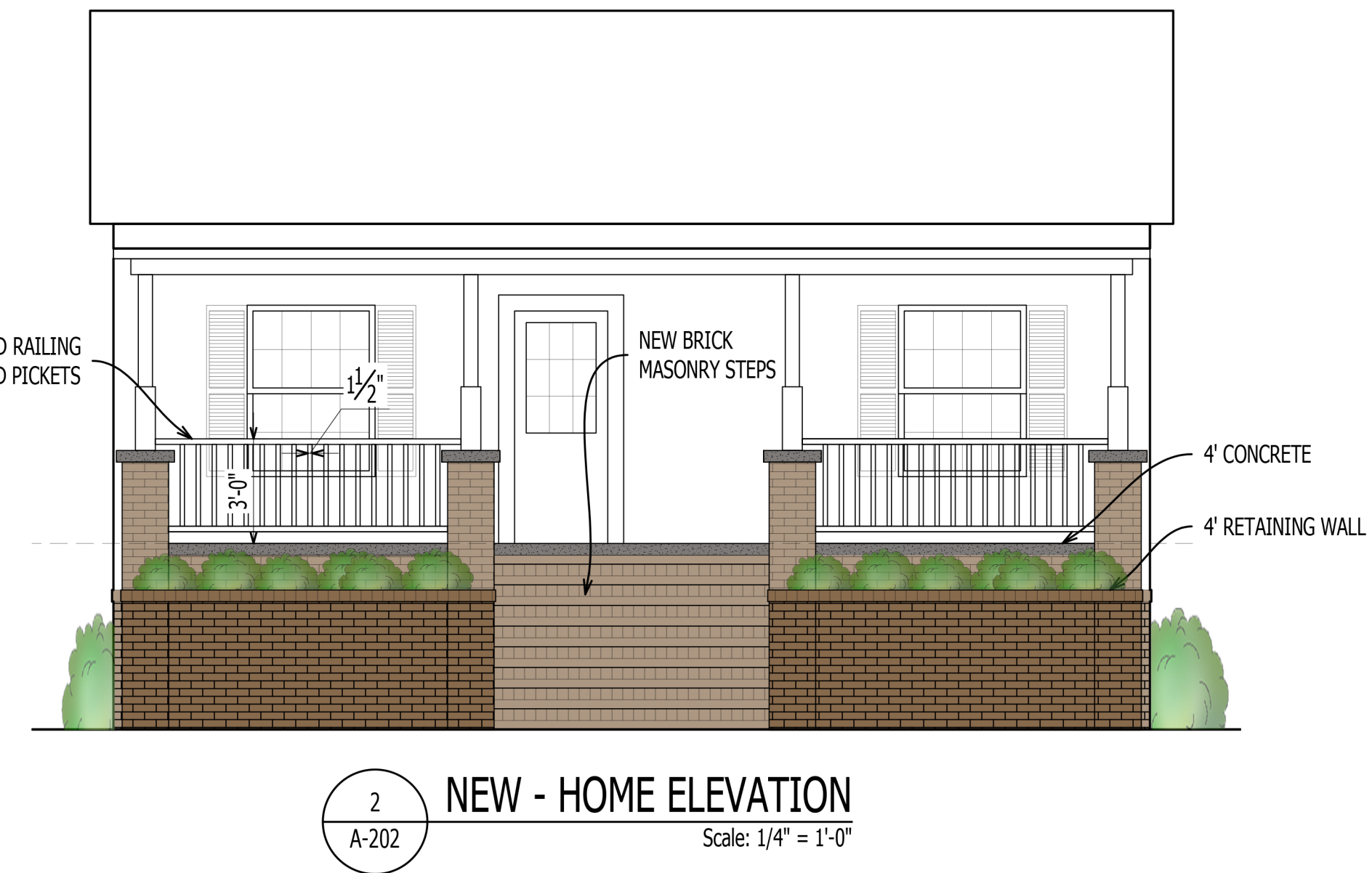
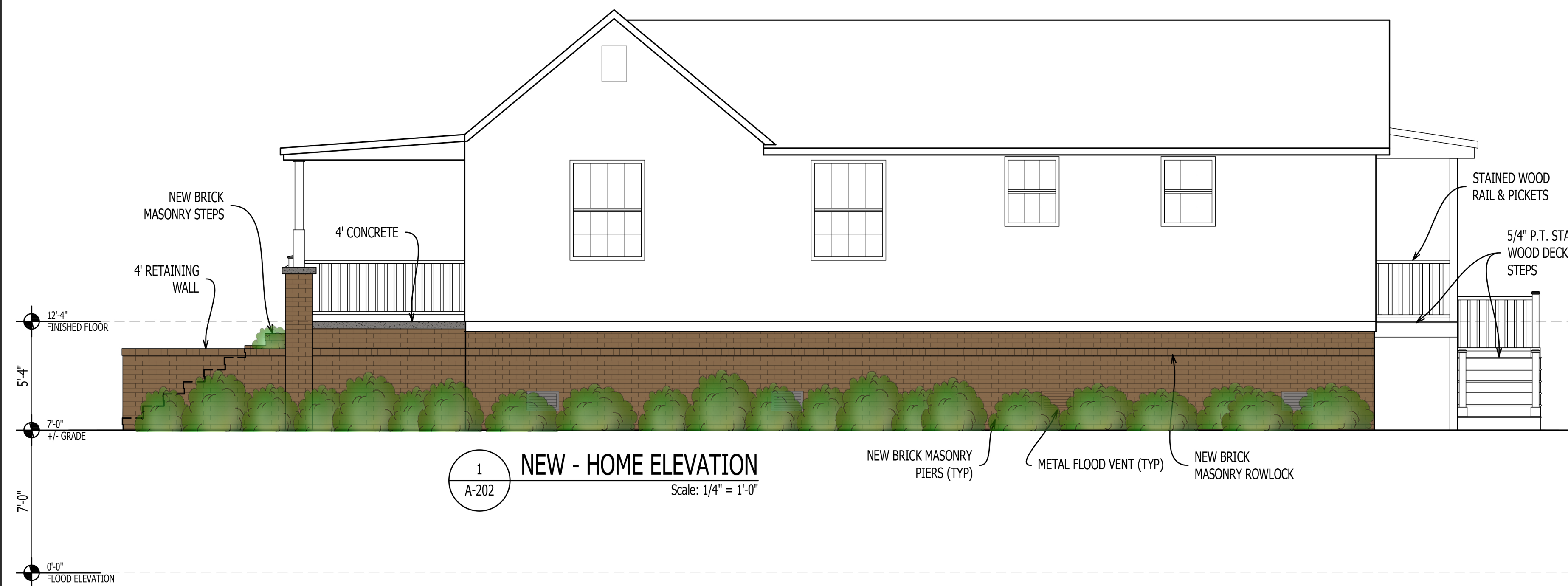
# 711 E. FRONT STREET HOME & COTTAGE

711 E. FRONT, NEW BERN, NORTH CAROLINA

**A-201**  
--HOME--ELEVATIONS

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Petitioners requesting City of New Bern Historic Preservation Commission action on property not owned by them must have this form completed by the owner of the property.

**CERTIFICATE OF APPROPRIATENESS OWNERS AUTHORIZATION**

Dear Sir or Madame:

I am the owner of the property located at:

711 A East Front St. New Bern, N.C. 28560  
(address, city, zip code)

I hereby authorize Sarah Asjerbach to appear with my consent, before the City of New Bern Historic Preservation Commissioner in order to request a Certificate of Appropriateness for the property referenced above.

I authorize you to present this matter on my/our behalf as the owner(s) of the property.

If there are any questions, please contact me at the following address and phone number:

101 Queen St, New Bern, NC 28560 Phone 252-633-6715

Roselie McDevitt

Owner's Signature

Roselie McDevitt

Print Name

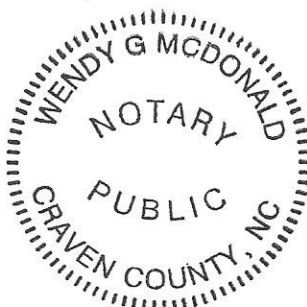
10/20/19

Date

Sworn to and subscribed before me this 20th day of October, 2019.

Wendy G McDonald  
Notary Public:

My commission expires: 01/05/2022





## ELEVATION CERTIFICATE

Important: Follow the instructions on pages 1-9.

Copy all pages of this Elevation Certificate and all attachments for (1) community official, (2) insurance agent/company, and (3) building owner.

SECTION A - PROPERTY INFORMATION					FOR INSURANCE COMPANY USE	
A1. Building Owner's Name ROSELIE & RICHARD MCDEVITT					Policy Number:	
A2. Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 711 EAST FRONT STREET					Company NAIC Number:	
City NEW BERN		State North Carolina		ZIP Code 28560		
A3. Property Description (Lot and Block Numbers, Tax Parcel Number, Legal Description, etc.) CRAVEN TAX PARCEL # 8-003-219						
A4. Building Use (e.g., Residential, Non-Residential, Addition, Accessory, etc.) <u>RESIDENTIAL</u>						
A5. Latitude/Longitude: Lat. <u>35.11292</u> Long. <u>-77.03791</u> Horizontal Datum: <input type="checkbox"/> NAD 1927 <input checked="" type="checkbox"/> NAD 1983						
A6. Attach at least 2 photographs of the building if the Certificate is being used to obtain flood insurance.						
A7. Building Diagram Number <u>8</u>						
A8. For a building with a crawlspace or enclosure(s):						
a) Square footage of crawlspace or enclosure(s) <u>1320</u> sq ft						
b) Number of permanent flood openings in the crawlspace or enclosure(s) within 1.0 foot above adjacent grade <u>7</u>						
c) Total net area of flood openings in A8.b <u>1331</u> sq in						
d) Engineered flood openings? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No						
A9. For a building with an attached garage:						
a) Square footage of attached garage <u>NA</u> sq ft						
b) Number of permanent flood openings in the attached garage within 1.0 foot above adjacent grade <u>NA</u>						
c) Total net area of flood openings in A9.b <u>NA</u> sq in						
d) Engineered flood openings? <input type="checkbox"/> Yes <input type="checkbox"/> No						
SECTION B - FLOOD INSURANCE RATE MAP (FIRM) INFORMATION						
B1. NFIP Community Name & Community Number CITY OF NEW BERN 370074			B2. County Name CRAVEN		B3. State North Carolina	
B4. Map/Panel Number 3720558000/5580	B5. Suffix J	B6. FIRM Index Date 7/2/2004	B7. FIRM Panel Effective/ Revised Date 7/2/2004	B8. Flood Zone(s) AE	B9. Base Flood Elevation(s) (Zone AO, use Base Flood Depth) 8.0'	
B10. Indicate the source of the Base Flood Elevation (BFE) data or base flood depth entered in Item B9: <input type="checkbox"/> FIC Profile <input checked="" type="checkbox"/> FIRM <input type="checkbox"/> Community Determined <input type="checkbox"/> Other/Source: _____						
B11. Indicate elevation datum used for BFE in Item B9: <input type="checkbox"/> NGVD 1929 <input checked="" type="checkbox"/> NAVD 1988 <input type="checkbox"/> Other/Source: _____						
B12. Is the building located in a Coastal Barrier Resources System (CBRS) area or Otherwise Protected Area (OPA)? <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Designation Date: _____ <input type="checkbox"/> CBRS <input type="checkbox"/> OPA						

# ELEVATION CERTIFICATE

OMB No. 1660-0008  
Expiration Date: November 30, 2018

<b>IMPORTANT: In these spaces, copy the corresponding information from Section A.</b>			<b>FOR INSURANCE COMPANY USE</b>	
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 711 EAST FRONT STREET			Policy Number:	
City NEW BERN	State NC	ZIP Code 28560	Company NAIC Number	

**SECTION C – BUILDING ELEVATION INFORMATION (SURVEY REQUIRED)**

C1. Building elevations are based on:    ☐ Construction Drawings\*    ☐ Building Under Construction\*    ☒ Finished Construction  
     \*A new Elevation Certificate will be required when construction of the building is complete.

C2. Elevations – Zones A1–A30, AE, AH, A (with BFE), VE, V1–V30, V (with BFE), AR, AR/A, AR/AE, AR/A1–A30, AR/AH, AR/AO.  
     Complete Items C2.a–h below according to the building diagram specified in Item A7. In Puerto Rico only, enter meters.  
     Benchmark Utilized: Z213                      Vertical Datum: NAVD

Indicate elevation datum used for the elevations in items a) through h) below.  
     ☐ NGVD 1929    ☒ NAVD 1988    ☐ Other/Source: \_\_\_\_\_

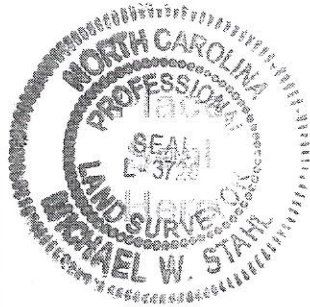
Datum used for building elevations must be the same as that used for the BFE.


		Check the measurement used.		
a) Top of bottom floor (including basement, crawlspace, or enclosure floor)	<u>5.8</u>	<input checked="" type="checkbox"/> feet	<input type="checkbox"/> meters	
b) Top of the next higher floor	<u>8.4</u>	<input checked="" type="checkbox"/> feet	<input type="checkbox"/> meters	
c) Bottom of the lowest horizontal structural member (V Zones only)	<u>NA</u>	<input type="checkbox"/> feet	<input type="checkbox"/> meters	
d) Attached garage (top of slab)	<u>NA</u>	<input type="checkbox"/> feet	<input type="checkbox"/> meters	
e) Lowest elevation of machinery or equipment servicing the building (Describe type of equipment and location in Comments)	<u>7.8</u>	<input checked="" type="checkbox"/> feet	<input type="checkbox"/> meters	
f) Lowest adjacent (finished) grade next to building (LAG)	<u>5.5</u>	<input checked="" type="checkbox"/> feet	<input type="checkbox"/> meters	
g) Highest adjacent (finished) grade next to building (HAG)	<u>6.3</u>	<input checked="" type="checkbox"/> feet	<input type="checkbox"/> meters	
h) Lowest adjacent grade at lowest elevation of deck or stairs, including structural support	<u>6.2</u>	<input checked="" type="checkbox"/> feet	<input type="checkbox"/> meters	

**SECTION D – SURVEYOR, ENGINEER, OR ARCHITECT CERTIFICATION**

This certification is to be signed and sealed by a land surveyor, engineer, or architect authorized by law to certify elevation information.  
*I certify that the information on this Certificate represents my best efforts to interpret the data available. I understand that any false statement may be punishable by fine or imprisonment under 18 U.S. Code, Section 1001.*

Were latitude and longitude in Section A provided by a licensed land surveyor?    ☐ Yes    ☒ No                      ☐ Check here if attachments.

Certifier's Name MICHAEL W STAHL, PLS	License Number 3726	
Title PROFESSIONAL LAND SURVEYOR		
Company Name ROBERT CHILES ENGINEERING		
Address 417A BROAD STREET		
City NEW BERN	State North Carolina	

Signature 	Date 8/31/17	Telephone 252-637-4702	Ext.
--	-----------------	---------------------------	------

Copy all pages of this Elevation Certificate and all attachments for (1) community official, (2) insurance agent/company, and (3) building owner.

Comments (including type of equipment and location, per C2(e), if applicable)

C2e. LOWEST ELEVATION OF MACHINERY OR EQUIPMENT SERVICEING BUILDING = 7.8', WATER HEATER.



# BUILDING PHOTOGRAPHS

See Instructions for Item A6.

OMB No. 1660-0008

Expiration Date: November 30, 2018

## ELEVATION CERTIFICATE

<b>IMPORTANT: In these spaces, copy the corresponding information from Section A.</b>			<b>FOR INSURANCE COMPANY USE</b>
Building Street Address (including Apt., Unit, Suite, and/or Bldg. No.) or P.O. Route and Box No. 711 EAST FRONT STREET			Policy Number:
City NEW BERN	State NC	ZIP Code 28560	Company NAIC Number

If using the Elevation Certificate to obtain NFIP flood insurance, affix at least 2 building photographs below according to the instructions for Item A6. Identify all photographs with date taken; "Front View" and "Rear View"; and, if required, "Right Side View" and "Left Side View." When applicable, photographs must show the foundation with representative examples of the flood openings or vents, as indicated in Section A8. If submitting more photographs than will fit on this page, use the Continuation Page.

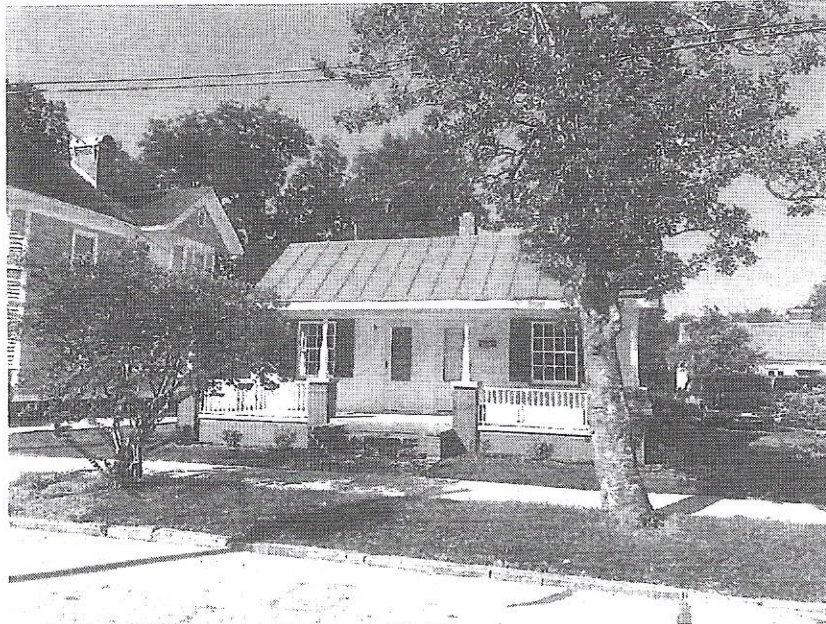


Photo One Caption FRONTVIEW 7/27/17

Clear Photo One

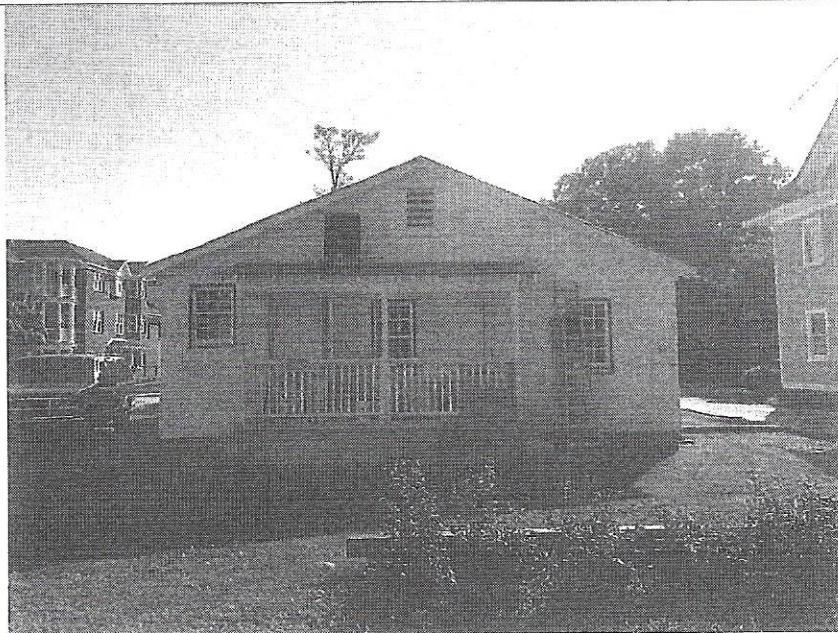


Photo Two

Photo Two Caption REAR VIEW 7/27/17

Clear Photo Two



**North Carolina Department of Natural and Cultural Resources  
State Historic Preservation Office**

Ramona M. Bartos, Administrator

Governor Roy Cooper  
Secretary Susi H. Hamilton

Office of Archives and History  
Deputy Secretary Kevin Cherry

December 19, 2019

Matthew Schelly, AICP  
City Planner  
City of New Bern  
P.O. Box 1129  
New Bern, NC 28560  
Via email: Schellym@newbernnc.gov

RE: Advice sought on the proposed elevation of the Bengel House, 711-A East Front Street, New Bern, Craven County

Dear Mr. Schelly:

Thank you for your recent submittal of the New Bern Historic Preservation Commission's recent request for our advice under NC GS 160A-400.9(d), regarding the proposed elevation of the Bengel House located at 711-A East Front Street in New Bern. Advice provided by the HPO is non-binding and should not be considered an official ruling by our office or a determination regarding how the commission should decide a COA case. Pursuant to the aforementioned statute, we offer the following advice:

The circa 1950 Bengel House is a contributing property in the National Register-listed New Bern Historic District (CV 0028) and the New Bern Local Historic District. When the house was surveyed for the district nomination it consisted of a four bay-wide structure with door openings constituting the two center bays. In reviewing this application, we note that the door in northernmost of the center bays has been removed and the door opening covered with siding to match the rest of the façade. In addition, the porch railing on the front edge of the porch has been removed.

The Bengel House, a one-story, single-family dwelling currently sits on a level lot that is nearly level with the street. St. Cyprian's Rectory, a historic two-story residence that was moved to this site occupies the lot of the south, while a large residential structure of recent construction occupies the lot to the north. The Bengel House rests on a solid masonry perimeter foundation of brick construction approximately eighteen inches in height above existing grade. The façade is dominated by a full-width porch accessed by a central set of three masonry steps running parallel with the street and sidewalk. On the rear elevation a partial-width shed-roof porch is accessed by three concrete steps located on the south end of the porch.

- It is our understanding that the property owner 711-A East Front Street is proposing to elevate their property 5'4" above the existing grade and doing so will satisfy the requirements of the preliminary FIRM map base flood elevation of eight feet as well as the City's required freeboard height of two feet. The proposed new foundation would consist of brick masonry piers with brick masonry skirt walls situated between the piers and set back one inch. Rectangular flood vents will be evenly spaced along the wall and

will fall in the lower portion of alternating skirt wall panels. The foundation for the full-width porch on the front elevation will consist of free-standing brick masonry piers with pairs of painted wooden louvers between each pier. On the front elevation, a substantial brick staircase with two runs of steps and an integral landing will be constructed to access the porch. Given the proximity to the sidewalk, the lower run of steps will be perpendicular to the street. The rear porch will be removed and replaced with a partial-width porch in the same location. Access to the rear porch will be provided by a substantial brick staircase having two runs of steps and an integral landing. The staircase will be constructed on the south end of the porch.

- Given the small scale of the house; its long linear side elevations; and its relationship of being close to grade, the proposed elevation height of 5'4" above the existing grade is a dramatically jarring visual change that will have an adverse effect on the property and will likely impact its status as a contributing element in the National Register-listed New Bern Historic District.
- Although the use of regularly-spaced piers and recessed panels helps to visually break up the large visual mass of the proposed foundation, the original solid perimeter foundation does not consist of visible pier and panels therefore the proposed foundation design introduces design elements that did not exist historically on the building.
- The proposed front and rear masonry staircases with double runs of steps and integral landings; the necessary railings and newels for the stairs; the use of tall wooden louvers; and the change in the historic relationship of the front steps to the street is a dramatic change from the historic design and configuration of the historic steps.
- The cumulative effect of the proposed new height; the design and scale of the proposed foundation; and the design, scale, and elements of the new stairs do not appear to be congruous with the special character of the historic district and do not appear to meet New Bern's Historic District Design Guidelines.

The fundamental charge of the commission in reviewing COAs is set forth in NC GS 160A-400.9(a), which provides "...the commission shall...take no action...except to prevent that which would be incongruous with the special character of the landmark or district." From our knowledge of New Bern and examination of recent street views online, it appears several properties within the local historic district have been elevated over time, including several historic properties located along Front and King Streets, and infill housing has been constructed at a greater height than surrounding historic properties located within the streetscape. Thus, we encourage the commission to refer back to its findings of fact and decisions rendered in previous elevation cases as this information may be useful in determining both the appropriateness of additional elevations in the local historic district and techniques for mitigating the visual impacts of those elevations. At the same time, the commission should assess elevation requests on a property by property basis given the varying size, height, and scale of individual buildings.

As New Bern's current design guidelines do not specifically and explicitly address the elevation of historic properties, we continue to invite the commission to apply for CLG grant funding from the HPO to develop design guidelines that outline appropriate elevation treatments for properties located in the local historic district. Grant applications for FY 2020 will be available in the next few weeks. Please contact HPO Grants Coordinator Michele Patterson-McCabe at [michele.patterson.mccabe@ncdcr.gov](mailto:michele.patterson.mccabe@ncdcr.gov) or at 919-814-6582 to request a grant application.

Last month the National Park Service published Guidelines on Flood Adaptation for Rehabilitating Historic Buildings to aid constituents in elevating historic buildings in keeping with the Secretary of Interior's Standards. We recommend that the New Bern Historic Preservation Commission familiarize themselves



with this resource as it will be helpful in their review of COA applications that address the flood adaptation of historic buildings.

Please do not hesitate to contact me should you or the commission have additional questions. Restoration Specialist John Wood continues to stand ready to consult with property owners for consultations regarding historic tax credit and rehabilitation advice. We appreciate the opportunity to be of assistance to the commission.

Sincerely yours,

A handwritten signature in black ink, appearing to read "Ramona Bartos", with a stylized, flowing script.

Ramona Bartos, Deputy

State Historic Preservation Officer

cc: John Wood, Restoration Specialist, HPO Eastern Office





## Zoning and Inspections Review of

### Application for Certificate of Appropriateness for Alterations in Historic District

Initial review of applications for certificates of appropriateness by the Zoning Administrator and Chief Building Inspector is intended to provide the applicant and Historic Preservation Commission with information related to compliance with local land use ordinance and building code. It does not represent a formal approval of a permit by any party and does not bind the decisions of Commission.

**Application Address and Description:**

711-A E. Front St.

Elevate dwelling, replace front & rear steps, add landings

**Zoning Administrator** please review the application and fill out all applicable items

Zoning District:

Required Setbacks (primary structure): Front  Side  Rear

Accessory Setbacks: From Nearest Structure  Side  Rear

Maximum Lot Coverage for proposed use:

Maximum Height of Structure:

Required Site Improvements: Landscaping  Buffer  Parking

Other requirements:

I have reviewed the application for proposed alterations to this property and have determined that it Meets ☒ Does Not Meet ☐ the requirements of the Land Use Ordinance.

Comments:

Zoning Administrator

11/14/19

**Chief Building Inspector** please review the application and include any comments below

The proposed project Will ☒ Will Not ☐ require a building permit(s).

Comments:

Chief Building Inspector

11/14/19





711 E. Front St. Context Photos, by HPC staff







St. Cyprian's Rectory (moved here in 1991, still listed as Contributing)





705 E. Front St.: new house, built 1999 , finished floor elevation = 10.8 feet NGVD (now = **9.74 NAVD +/- 0.616 ft**)  
= 2.2 feet above lowest adjacent grade





























## Certificate of Appropriateness Findings & Recommendations

HPC Meeting January 22, 2020

**Applicant:** Roselie & Richard McDevitt/GO Architectural Design, PLLC

**Applicant Address:** 101 Queen St., New Bern, NC 28560

**Project Address:** 711-A E. Front St., New Bern, NC 28560

**Historic Property Name:** Bengel House (c. 1950)

**Status:**        **Contributing:** **X**        **Non-contributing:**

**NR Inventory Description:** One story; four bays wide, four bays deep; doors in second, third front bays; cat-slide front porch [roof], turned posts, brick piers; asbestos siding; gable end roof, central interior chimney; rear wing: six-over-six sash, transverse-gable roof, exposed rafter ends.

**711-A E. Front St.** – to include elevating the existing house; replace the brick foundation, which will include flood vents along the sides and back; replace the front brick stairway and brick post piers with new brick; replace concrete porch floor with new, matching, concrete porch floor; remove existing railings on the sides of the porch, and add new railings along front and sides of the porch; existing front porch posts and roof are to remain; replace rear concrete porch, wood columns, steps, and railings with wood porch, railings, and steps; existing rear porch roof is to remain.

**Staff submits the following Historic District Guidelines as appropriate to this application:**

**Modifications**

3.2.1 Select materials that are consistent with the structure. Limit the palette to those materials that were available at the time a building was originally constructed.

3.2.2 Modifications to a structure should not conceal, damage, or remove significant design components or architectural features.

**Foundations**

4.1.2 to 4.1.4

**Windows & Doors**

4.3.2, 4.3.3

**Roofs**

4.5.1

**Decks & Patios**

4.6.2, 4.6.3

**Masonry**

5.1.1, 5.1.2

**Contemporary Materials**

5.5.1 to 5.5.6

**Relocation (if it is deemed to apply)**

6.3.1 to 6.3.3

**Statements of Reason**, based on the information contained in the application, in Staff's judgment are:

1. The project is located within the Primary, Secondary, and Tertiary AVCs;
2. Elevating this Contributing structure helps protect them from future damage and potential destruction or demolition.

## **Certificate of Appropriateness Findings & Recommendations**

HPC Meeting January 22, 2020

3. The proposed modifications do not conceal, damage, or remove significant design components or architectural features
4. The applicant has modified the design to address the comments of the State Historic Preservation Office, dated December 19, 2019, relative to their review of the previous proposal for this property.
5. Under certain conditions, the project is not incongruous with the Guidelines.

### **MOTION**

**Staff recommends the Commission approve this application to include elevating the existing structure and making the proposed appurtenant modifications, citing the aforementioned guidelines, with the following conditions:**

- 1. The finished floor is not to be above 11.0 feet above 0.0 feet (mean sea level) NAVD.**
- 2. The foundation landscaping shall extend the full length of both sides of the house and shall have a mature growth height of at least 4 feet.**



COA MJR-001913-2020

FEE SCHEDULE (office use only)  
 [ ] \$22 Standard Application (minor)  
 [X] \$107 Standard Application (major)  
 no fee City app.



HPC Administrator  
 HPCadmin@newbern-nc.org  
 Work: (252) 639-7583  
 Fax: (252) 636-2146

**Application for a Certificate of Appropriateness**  
 (For Alterations to Properties in Locally Designated Historic Districts)

For assistance see "CoA Instructions", as well as "Historic District Guidelines", available online at:  
<http://www.newbern-nc.org/departments/development/historic-preservation/historic-preservation-guidelines/>

Type of Project: ☐ Exterior Alteration ☐ Addition ☐ Infill ☒ Site Work ☐ Other

<b>I. Applicant/Owner Information:</b>			
Property Address (Include year built, if known): (100 E. Front St.) Union Point Park			
Property Owner Name(s): City of New Bern	Owner Mailing Address:	Phone #'s:	Email:
Applicant Name (if different): Foster Hughes, Director of P & R	Applicant Mailing Address: PO Box 1129	Phone #'s: 252- 639-2915	Email: hughesf@newbern nc.gov

<b>II. Project Information:</b> (See "CoA Instructions" & "Historic Guidelines" for help in completing this section)	
1. Provide a detailed description of work to be conducted on site: (Attach additional sheets if needed)	
Replacing stationary <del>deck</del> <sup>bulkhead</sup> that was destroyed with new one that will have "hog slot" type deck. No railings, no sheds on the dock.	
Continued on additional sheet or attached brochure <input type="checkbox"/>	
2. Reference the specific Guideline(s) in the "Historic District Guidelines" which you believe apply to this project: (page and guideline number):	
2.9.2.	
Continued on additional sheet or attached brochure <input type="checkbox"/>	
3. Provide a detailed description of materials to be used (copies of brochures, texture, etc.):	
Reference the specific Guidelines in the Historic District Guidelines for the proposed material(s).	
wood pilings & framework <del>metal</del> decking concrete	
Continued on additional sheet or attached brochure <input type="checkbox"/>	

12-12-2019-50111-2019

**III. Additional Information Provided:** (See "CoA Instructions" for more detail)

Plan(s) of Work, with: (please check all of those which are included with this application)

- ☐ Site plan (with annotated notes showing existing site and requested work)
- ☒ Photographs of the building and location where the proposed work will be completed
- ☒ Annotated notes or photos of materials to be used (samples may also be submitted)
- ☐ Floor plan with dimensions (for additions)
- ☐ Elevations with dimensions (for exterior additions or renovations)
- ☐ Supporting materials (brochures, photos of similar New Bern projects, estimates, etc.)
- ☐ Letter from owner acknowledging this application, in the case of submission by an applicant or lessee.

Please see Development Services Staff (Staff) prior to submittal for initial review of the application and advisement if additional information will be required before consideration at a Historic Preservation Commission hearing.

Please read the following statements. Your signature below acknowledges that you have read the statements and attest to their accuracy:

Check one:

- ☒ I am the owner of the Property, or
- ☐ I am acting on behalf of the owner of the property and I have attached a letter from the owner(s) indicating their knowledge of this application.

- ◆ I understand that submittal of this application does not constitute approval of proposed alterations.
- ◆ I understand that the approval of this application by City Staff or the New Bern Historic Preservation Commission (HPC) does not constitute approval of other federal, state, or local permit applications.
- ◆ I understand that I (or my representative) will need to attend the Hearing of this Application by HPC. No Applications shall be heard without a representative present and all applicable fees paid in full.
- ◆ I have reviewed the City of New Bern's "Historic District Guidelines" in preparing this Application.
- ◆ I understand that the property referenced by this Certificate of Appropriateness (CoA) application is in one of New Bern's local historic districts and that it represents a part of New Bern's historic fabric. If a CoA is approved by HPC or Staff, I agree to implement all changes as specified in the approved CoA, including any conditions. I understand that I am responsible for contacting Staff if I have any questions regarding the allowed changes specified in the approved CoA.
- ◆ I understand that ANY unapproved alterations are enforceable as a violation of City Ordinance and must be brought into compliance by removal or through the CoA process.
- ◆ I affirm that all the information included in this application is true to the best of my knowledge.
- ◆ I understand that incomplete applications cannot be considered.

Fate Hugel

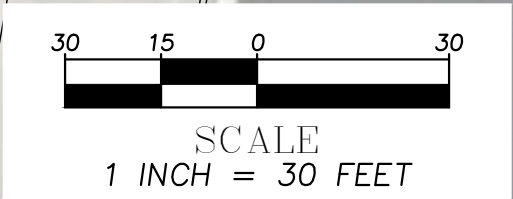
Signature of Applicant/Owner

1-15-2020

Date

APPLICATION SHOULD BE SUBMITTED TO THE DEVELOPMENT SERVICES MAIN OFFICE AT 303 FIRST ST. NO LESS THAN 2 WEEKS PRIOR TO UPCOMING MEETING. FOR FURTHER INFORMATION, CONTACT THE ADMINISTRATOR OF THE HISTORIC PRESERVATION COMMISSION AT (252) 639-7583.





UNION POINT PARK AREA PLAN  
SCALE: 1"=30'-0"

**PRELIMINARY**  
NOT FOR CONSTRUCTION

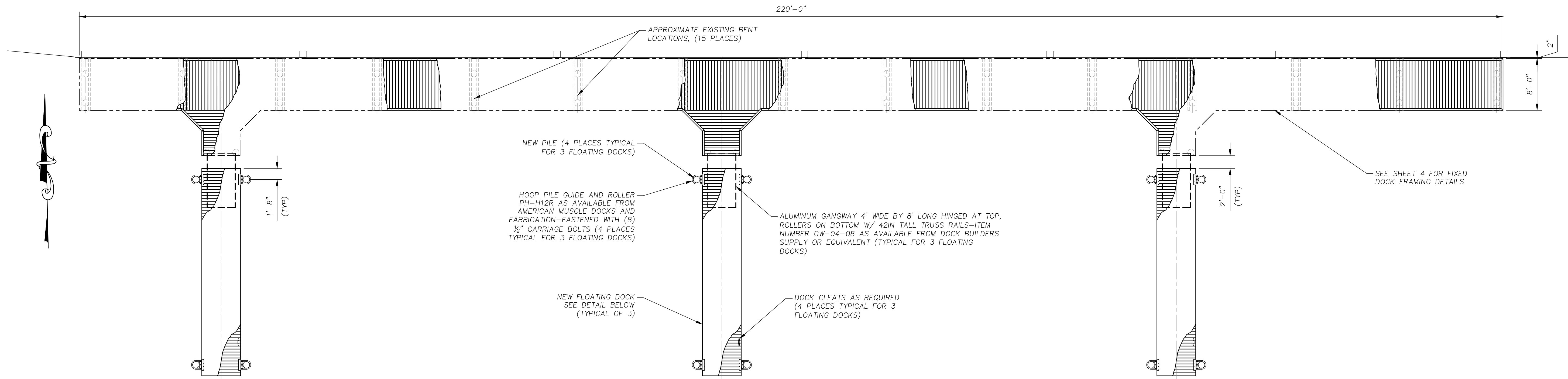
REVISIONS:		
SYM.	EXPLANATION	DATE BY

UNION POINT PARK STAGE  
DAMAGE REPAIR PLANS  
SITE PLAN  
UNION POINT PARK

**NEW BERN**  
NORTH CAROLINA  
Department of Public Utilities  
P.O. Box 1129, New Bern, NC 28563  
252.639.7526 (FAX) 252.636.4103

DATE: _____	
SCALE: AS SHOWN	
SURVEY: PKG	DRAFT: TWS
DESIGN: JBH	CHECK: JBH

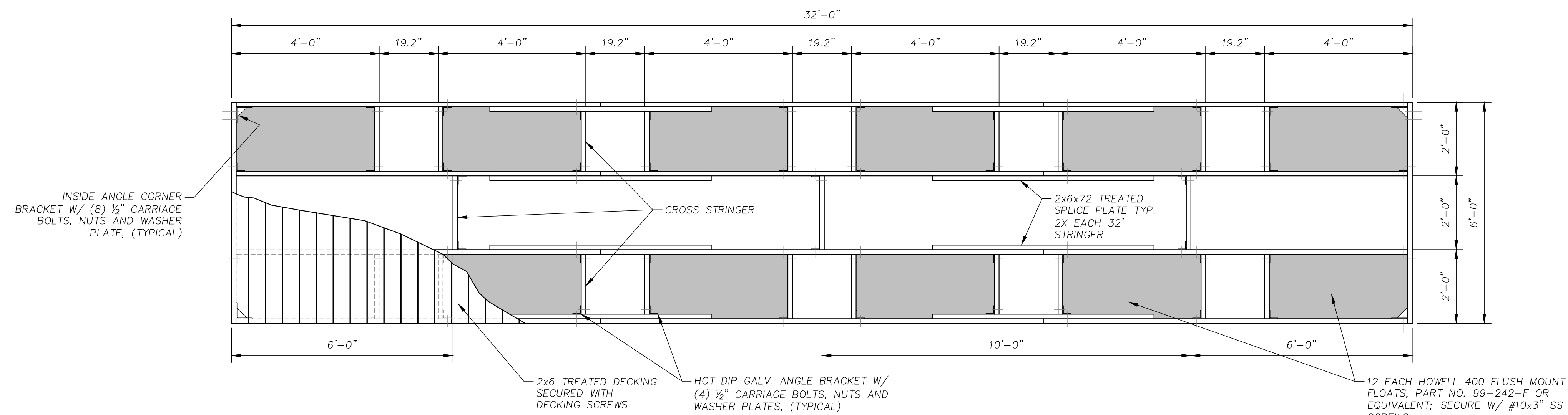




PLAN ARRANGEMENT-DOCKS  
SCALE: 1/8"=1'-0"

GENERAL NOTES:

1. EXISTING PILINGS FOR FLOATING DOCKS TO BE REMOVED AND RESET AS NECESSARY.
2. PROPOSED PILINGS FOR FLOATING DOCKS HEIGHT TO MATCH EXISTING PILE HEIGHT.
3. ALL LUMBER SHALL BE NO.2 SOUTHERN YELLOW PINE PRESSURE TREATED FOR BRACKISH/FRESH WATER ENVIRONMENT.
4. ALL BOLTS, NUTS, WASHERS, PLATE WASHERS, CORNER AND ANGLE BRACKETS SHALL BE HOT DIPPED GALVANIZED OR STAINLESS STEEL.
5. ALL DECK SCREWS SHALL BE #10 x 3" LONG STAINLESS STEEL.
6. SIMPSON HURRICANE TIES SHALL BE INSTALLED WITH FASTENERS RECOMMENDED AS PER MANUFACTURER.



NOTE:  
FLOTATION CAPACITY BASED ON 25  
LB. PER SQ. FT. BUOYANCY.

FLOATING DOCK FRAMING DETAILS  
SCALE: 1/2"=1'-0"

PRELIMINARY  
NOT FOR CONSTRUCTION

SYMBOL	EXPLANATION	DATE	BY

UNION POINT PARK STAGE  
DAMAGE REPAIR PLANS  
FIXED DOCK ARRANGEMENT & FLOATING DOCK DETAILS  
UNION POINT PARK

NEW BERN  
NORTH CAROLINA  
Department of Public Utilities  
P.O. Box 1129, New Bern, NC 28563  
252.639.7526 (FAX) 252.636.4103

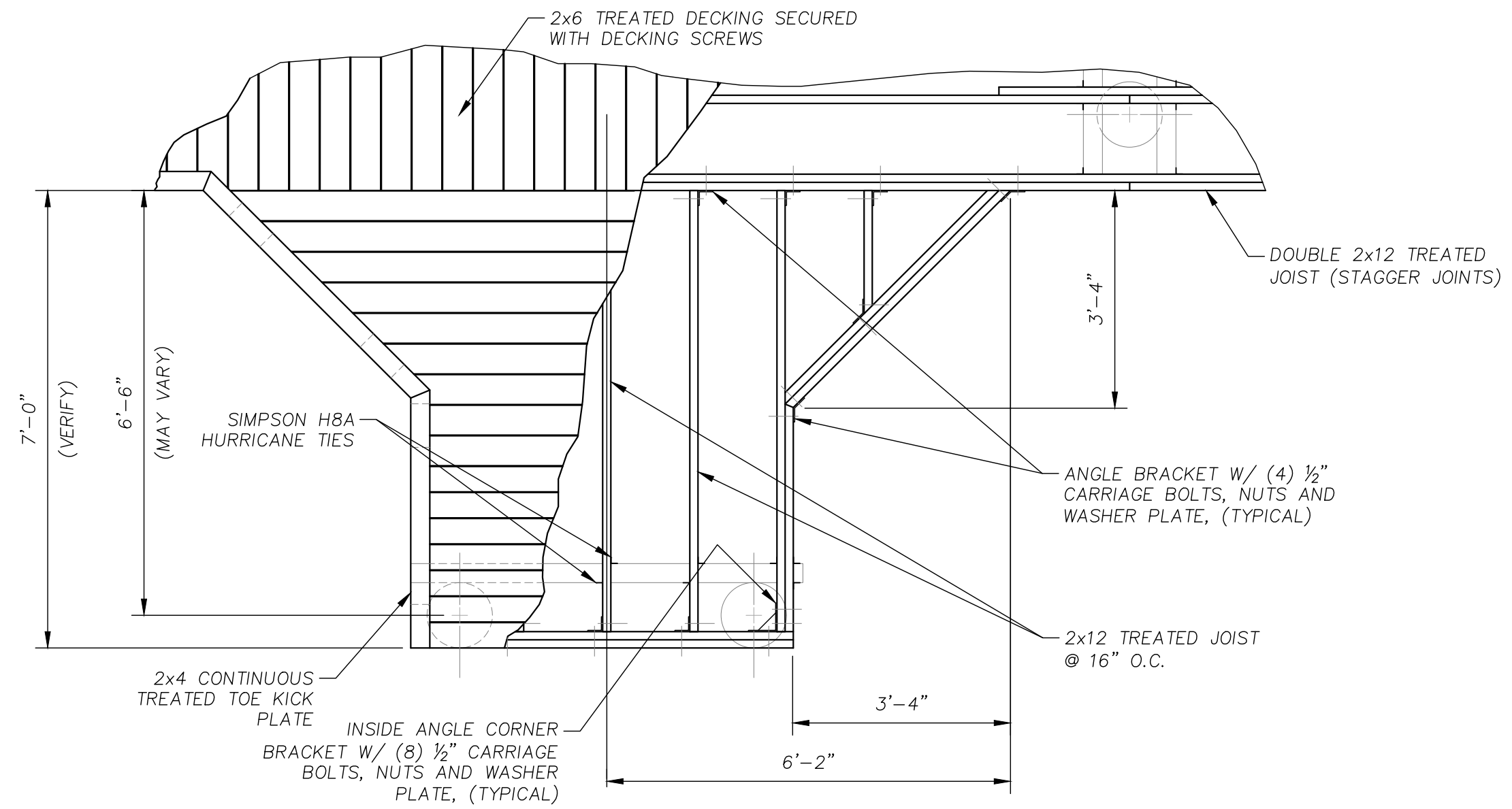
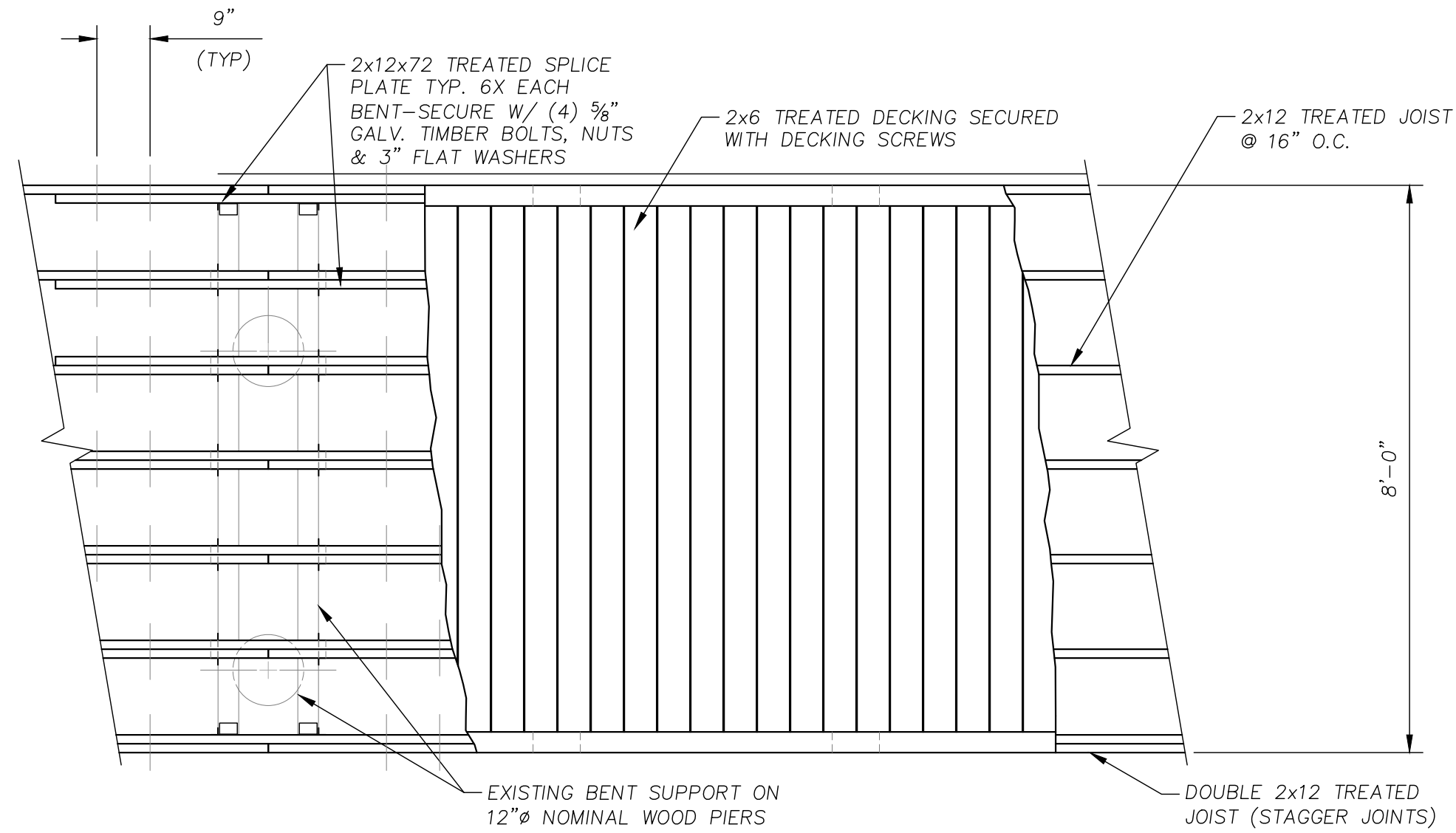
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SURVEY:	PKG DRAFT: TWS
DESIGN:	JBH CHECK: JBH

SHEET  
3 OF 7



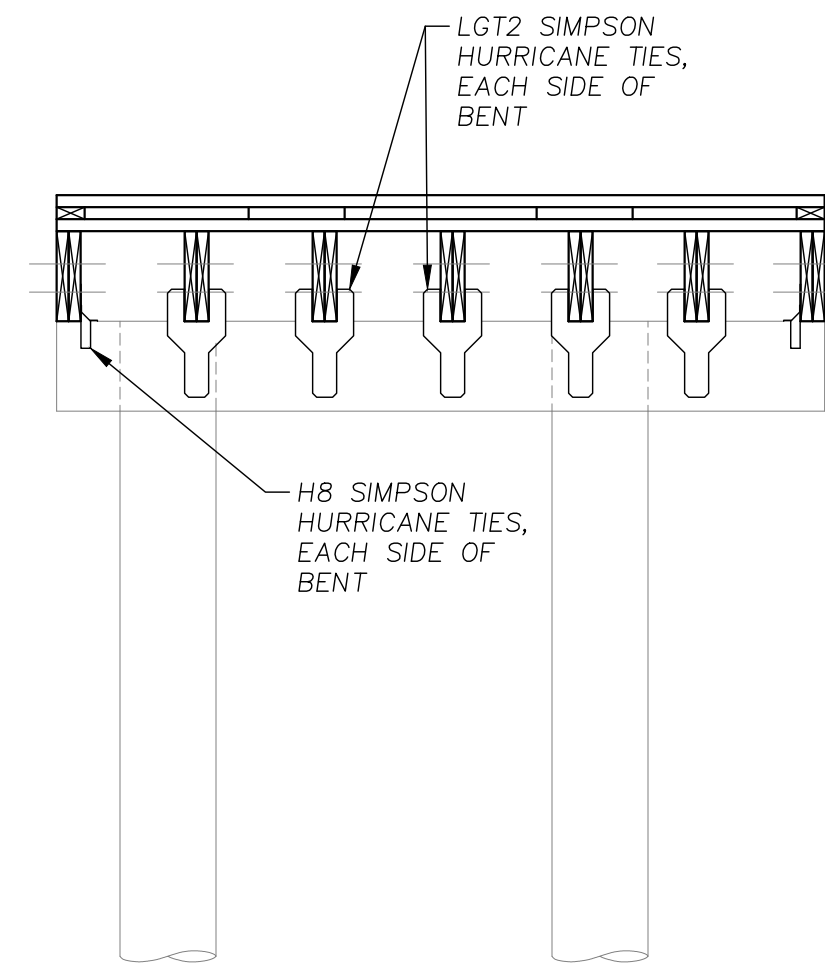
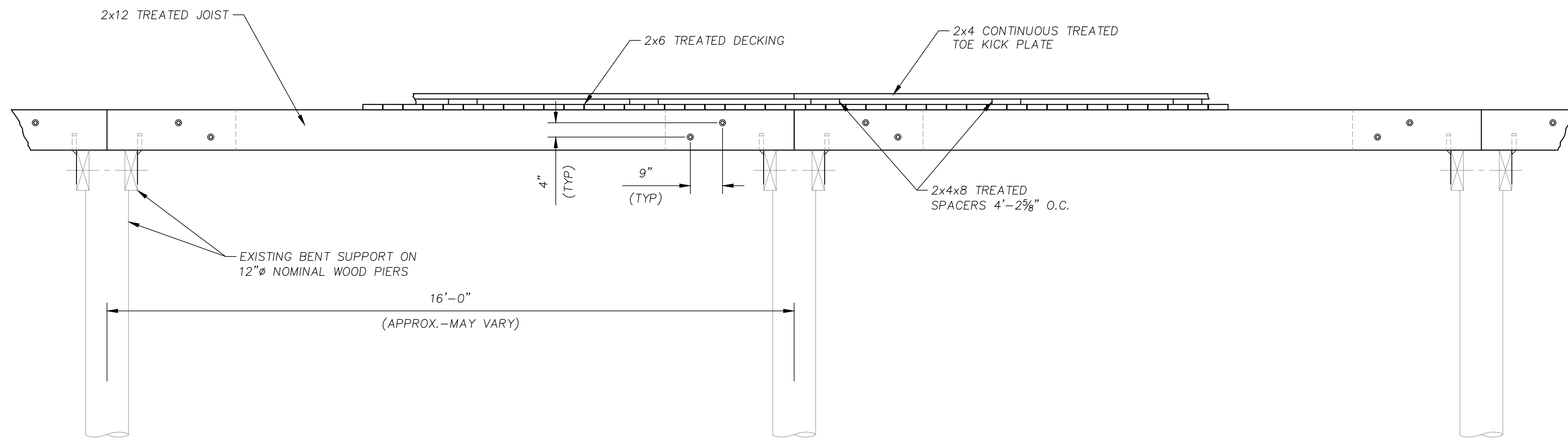
GENERAL NOTES:

1. ALL LUMBER SHALL BE NO.2 SOUTHERN YELLOW PINE PRESSURE TREATED FOR BRACKISH/FRESH WATER ENVIRONMENT.
2. ALL BOLTS, NUTS, WASHERS, PLATE WASHERS, CORNER AND ANGLE BRACKETS SHALL BE HOT DIPPED GALVANIZED OR STAINLESS STEEL.
3. ALL DECK SCREWS SHALL BE #10 x 3" LONG STAINLESS STEEL.
4. SIMPSON HURRICANE TIES SHALL BE INSTALLED WITH FASTENERS RECOMMENDED AS PER MANUFACTURER.



DOCK FRAMING AT GANGWAY

SCALE: 1/4"=1'-0"



FIXED DOCK FRAMING DETAILS

SCALE: 1/2"=1'-0"

**PRELIMINARY**

NOT FOR CONSTRUCTION

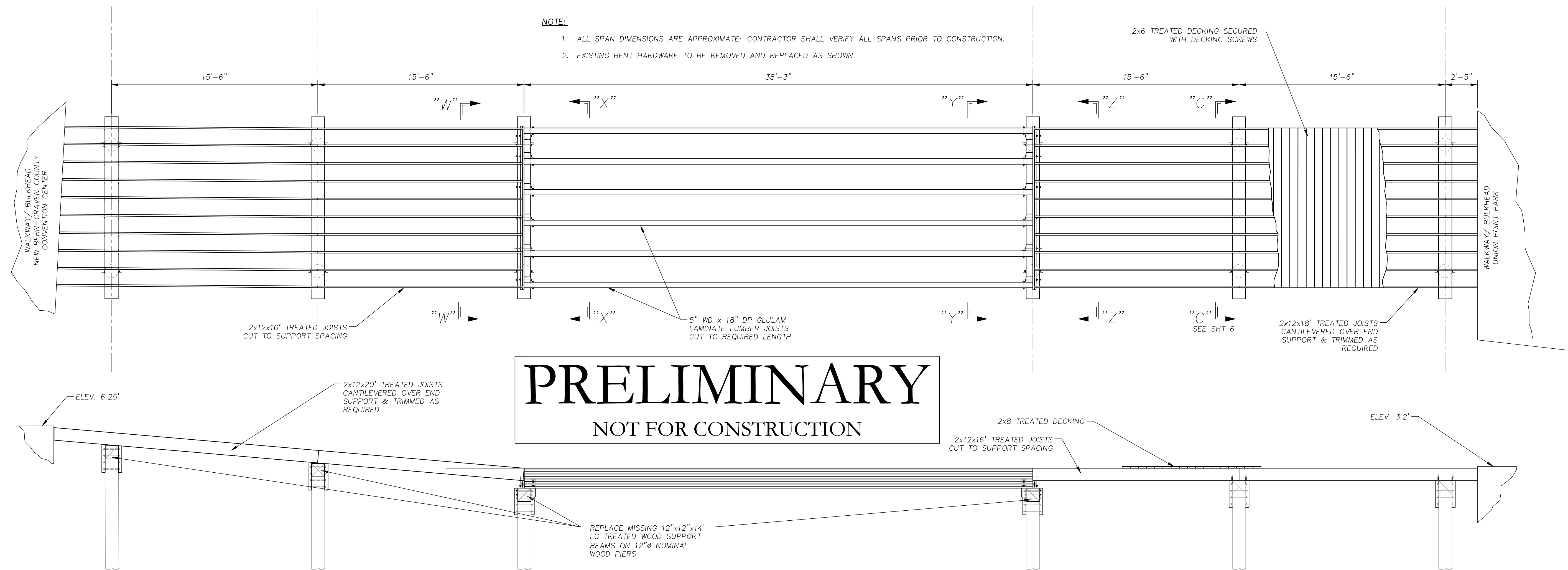
REVISIONS:		DATE	BY
SYM.	EXPLANATION		

UNION POINT PARK STAGE  
DAMAGE REPAIR PLANS  
FIXED DOCK DETAILS  
UNION POINT PARK

**NEW BERN**  
NORTH CAROLINA  
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P.O. Box 1129, New Bern, NC 28563  
252.639.7526 (FAX) 252.636.4103

DATE:	SCALE: AS SHOWN
SURVEY: PKG	DRAFT: TWS
DESIGN: JBH	CHECK: JBH

SHEET  
4 OF 7

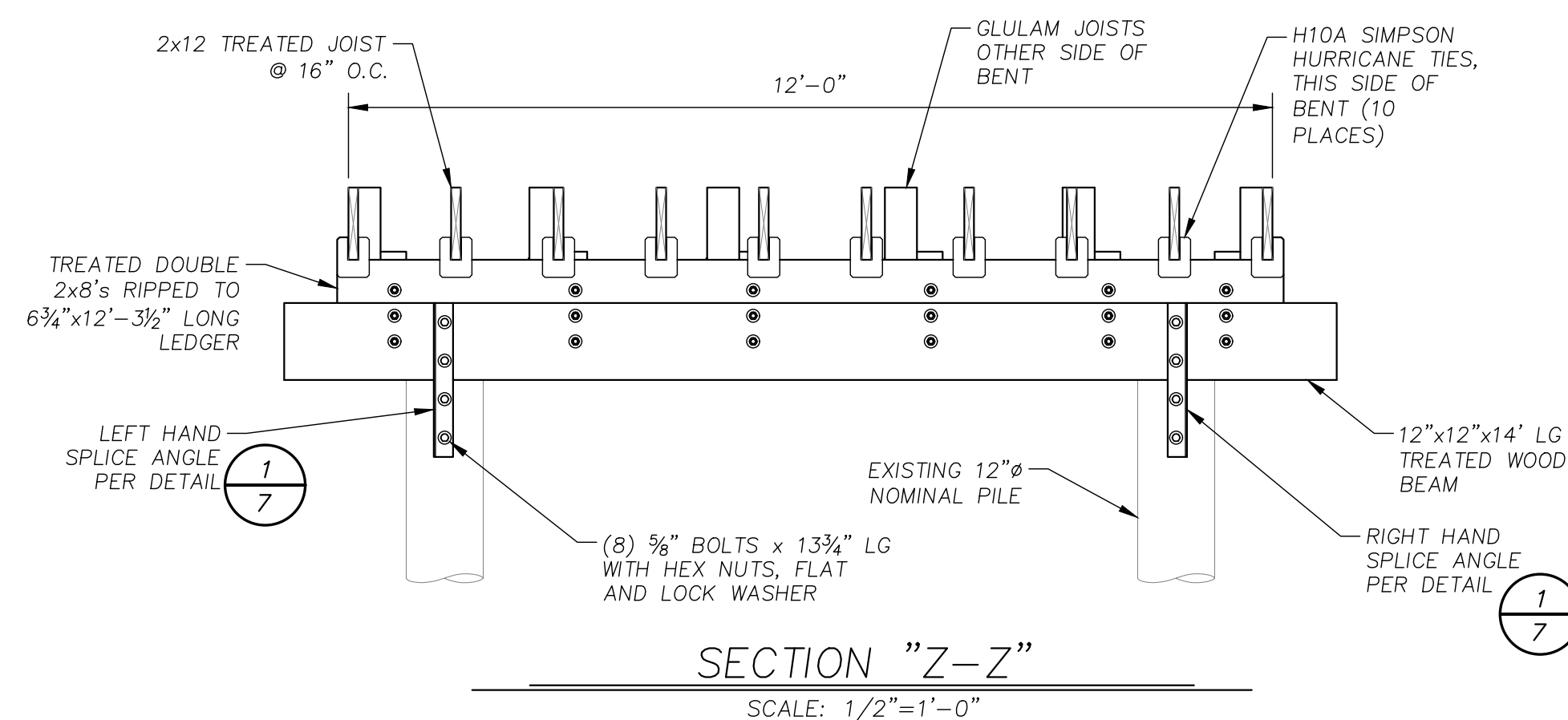
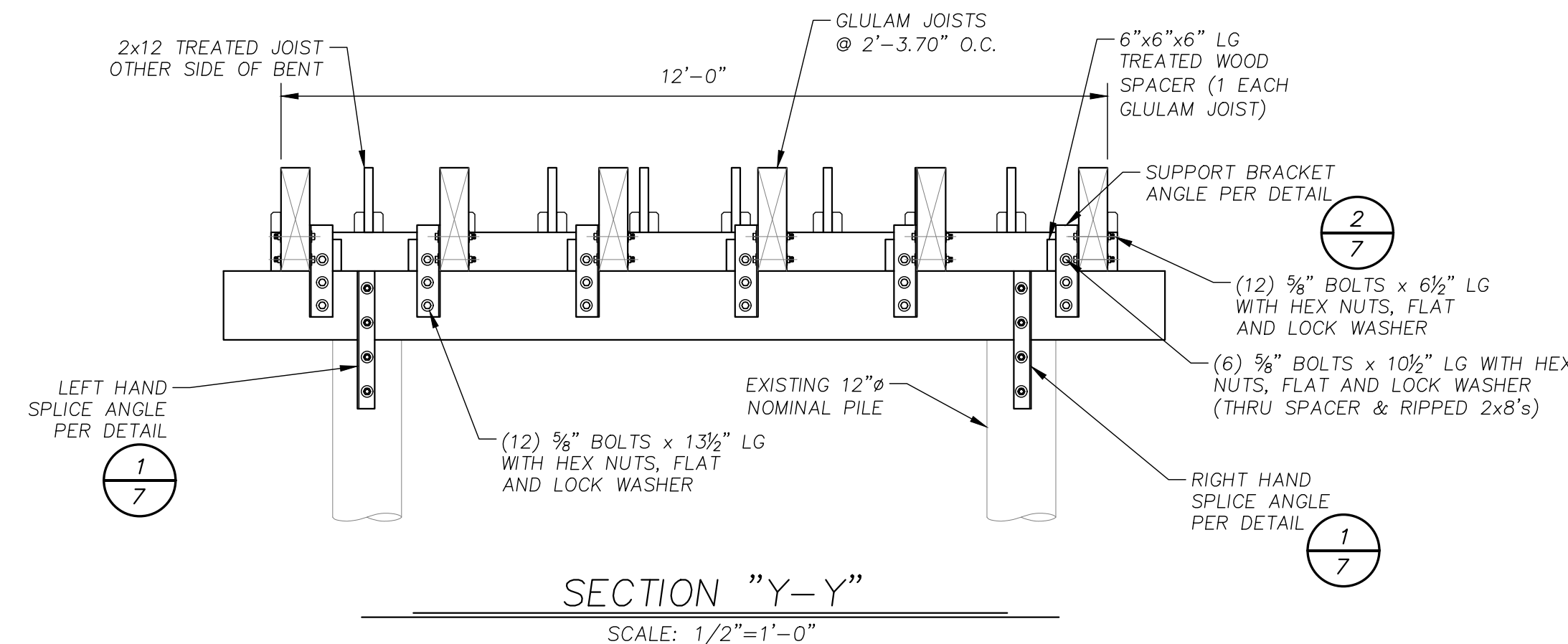
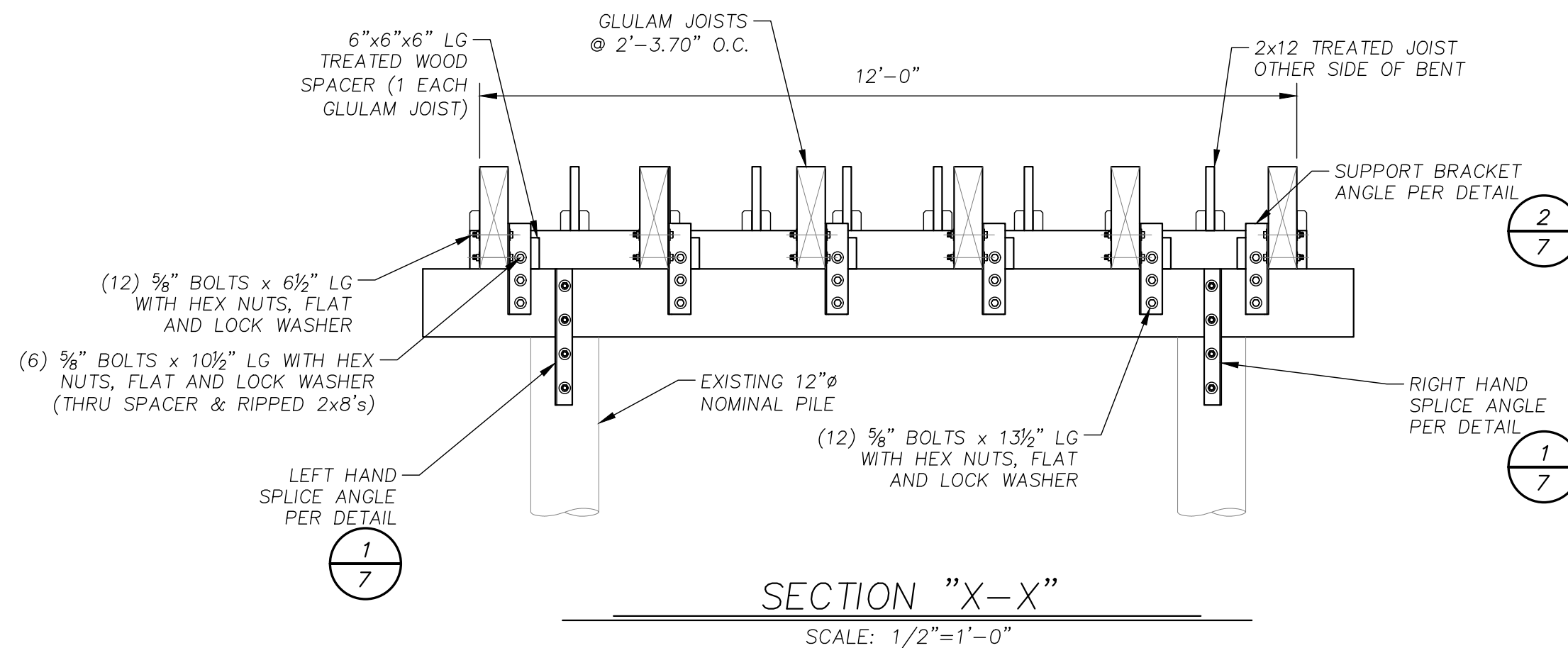
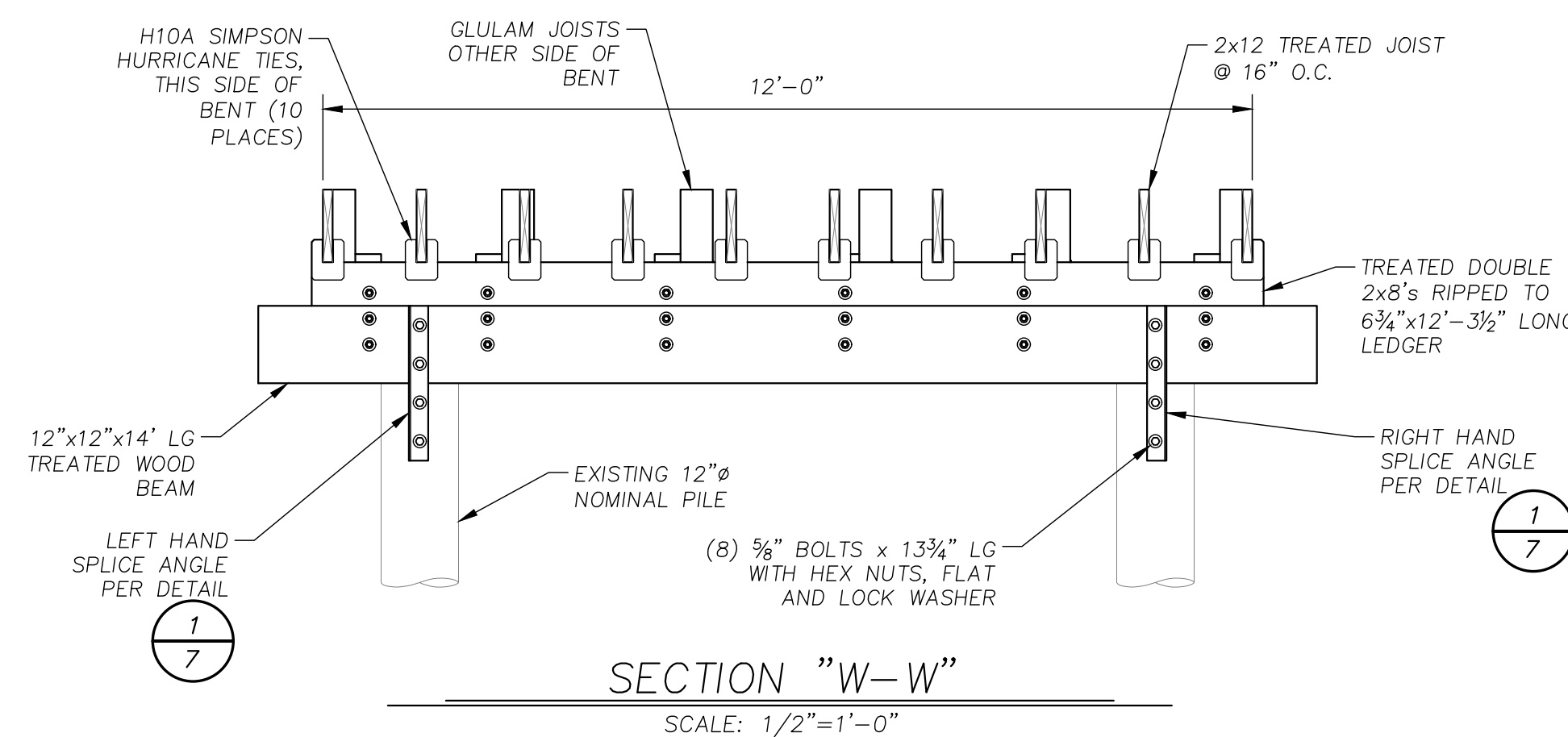


**PRELIMINARY**  
NOT FOR CONSTRUCTION

PLAN ARRANGEMENT - WALKWAY  
SCALE: 1/4"=1'-0"

**GENERAL NOTES:**

1. ALL LUMBER SHALL BE NO.2 SOUTHERN YELLOW PINE PRESSURE TREATED FOR BRACKISH/FRESH WATER ENVIRONMENT.
2. ALL BOLTS, NUTS, WASHERS, PLATE WASHERS, CORNER AND ANGLE BRACKETS SHALL BE HOT DIPPED GALVANIZED OR STAINLESS STEEL.
3. ALL DECK SCREWS SHALL BE #10 x 3" LONG STAINLESS STEEL.
4. SIMPSON HURRICANE TIES SHALL BE INSTALLED WITH FASTENERS RECOMMENDED AS PER MANUFACTURER.



REVISIONS:	BY	DATE
SYMBOL		
EXPLANATION		

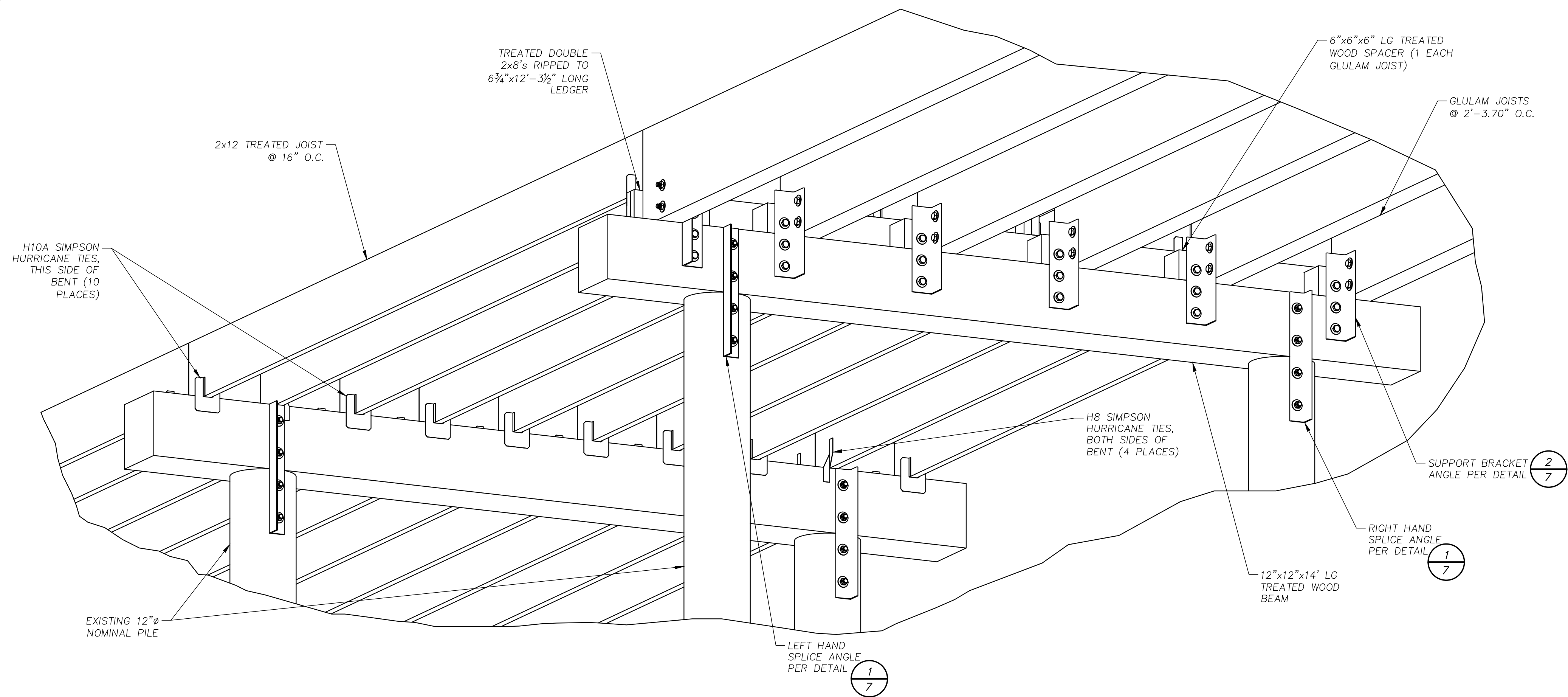
UNION POINT PARK STAGE  
DAMAGE REPAIR PLANS  
ELEVATED WALKWAY PLANS & DETAILS  
UNION POINT PARK

**NEW BERN**  
NORTH CAROLINA  
Department of Public Utilities  
P.O. Box 1129, New Bern, NC 28563  
252.639.7526 (FAX) 252.636.4103

DATE:	
SCALE:	AS SHOWN
SURVEY:	PKG
DRAFT:	TWS
DESIGN:	JBH
CHECK:	JBH

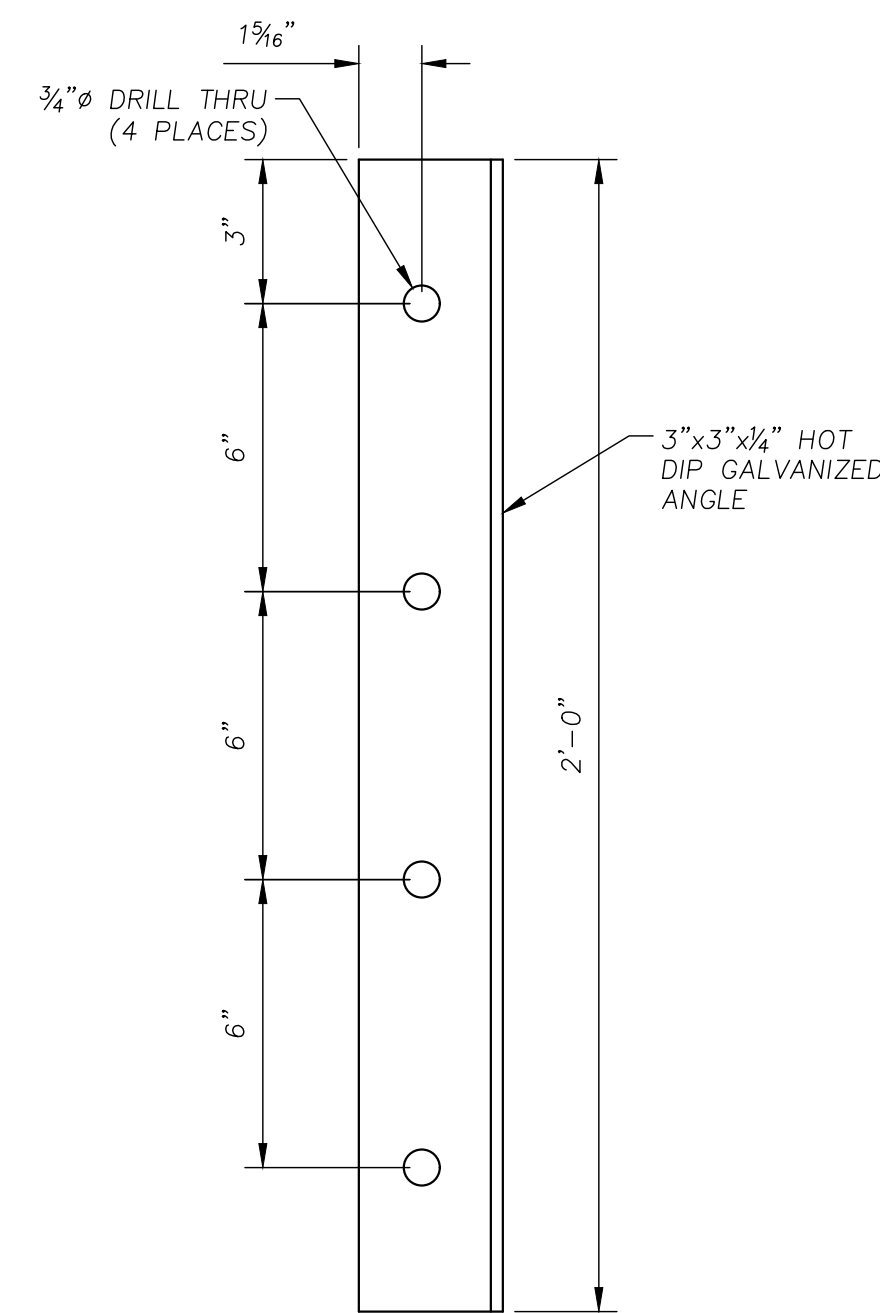
SHEET  
5 OF 7





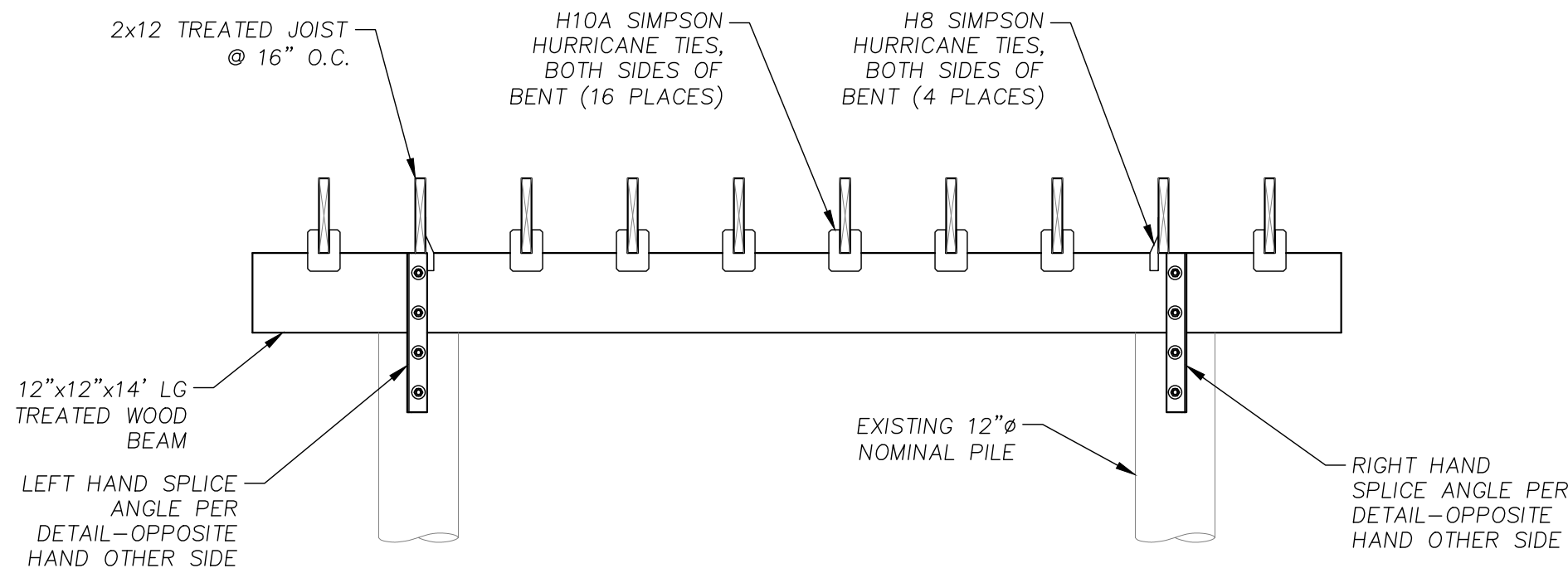
ISOMETRIC LONG SPAN/SHORT SPAN CONNECTION

SCALE: 1/4"=1'-0"



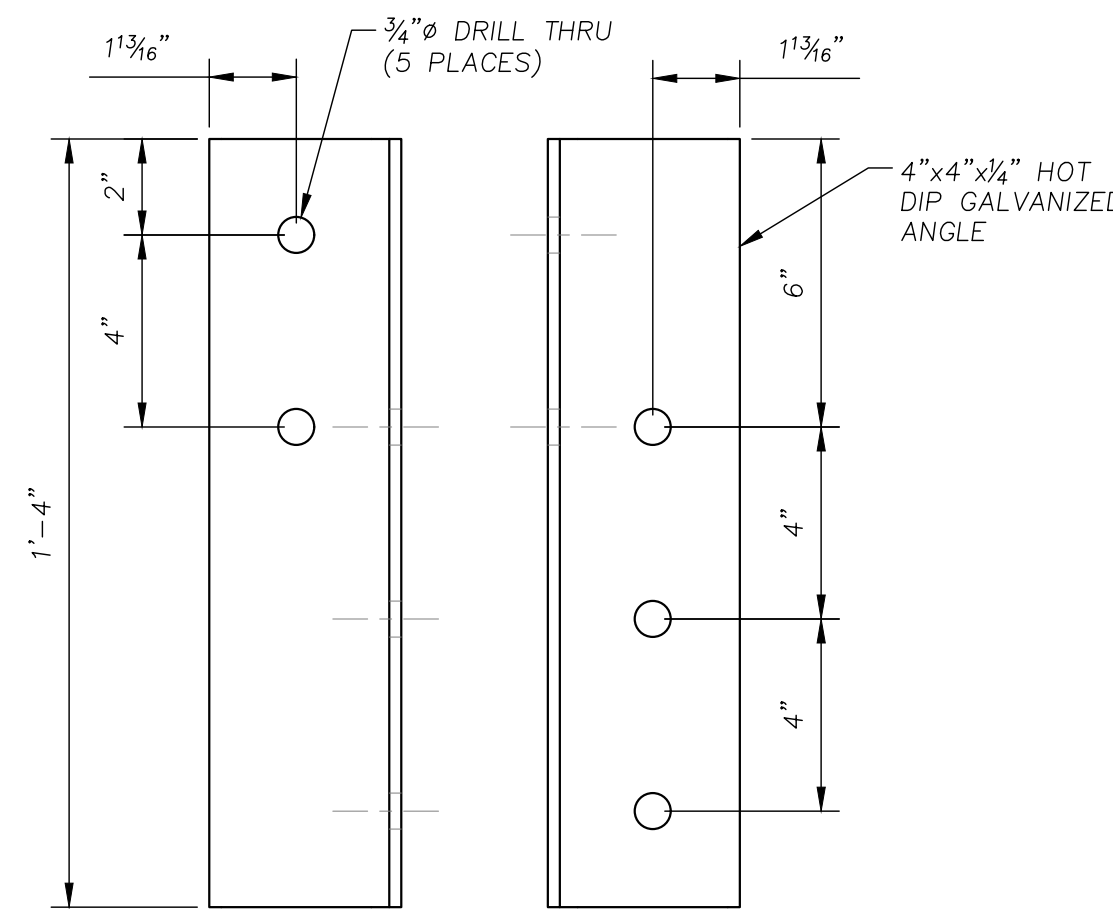
(1/7) SPLICE ANGLE (6) REQ'D, (6) OPP. HAND

SCALE: 3/8"=1'-0"



SECTION "C-C"

SCALE: 1/2"=1'-0"



(2/7) SUPPORT BRACKET (6) REQ'D, (6) OPP. HAND

SCALE: 3/8"=1'-0"

GENERAL NOTES:

- ALL LUMBER SHALL BE NO.2 SOUTHERN YELLOW PINE PRESSURE TREATED FOR BRACKISH/FRESH WATER ENVIRONMENT.
- ALL BOLTS, NUTS, WASHERS, PLATE WASHERS, CORNER AND ANGLE BRACKETS SHALL BE HOT DIPPED GALVANIZED OR STAINLESS STEEL.
- ALL DECK SCREWS SHALL BE #10 x 3" LONG STAINLESS STEEL.
- SIMPSON HURRICANE TIES SHALL BE INSTALLED WITH FASTENERS RECOMMENDED AS PER MANUFACTURER.
- SECTION "C-C" TYPICAL FOR ALL BENTS NOT CONNECTED TO LONG SPAN SECTION.

PRELIMINARY

NOT FOR CONSTRUCTION

SYMBOL	EXPLANATION	DATE	BY

UNION POINT PARK STAGE

DAMAGE REPAIR PLANS

WALKWAY DETAILS

UNION POINT PARK

NEW BERN

NORTH CAROLINA

Department of Public Utilities

P.O. Box 1129, New Bern, NC 28563

252.639.7526 (FAX) 252.636.4103

DATE:

SCALE: AS SHOWN

SURVEY: PKG DRAFT: TWS

DESIGN: JEH CHECK: JEH

SHEET 6 OF 7

During Florence





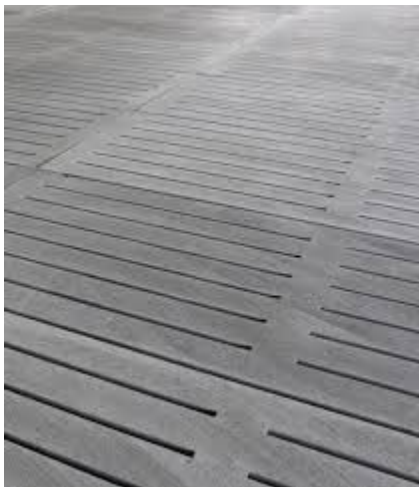
Before Florence



## City of New Bern Union Point Park Stationary Dock Replacement

### **Representative Photos**

“Hog Slat” Decking







## Zoning and Inspections Review of

### Application for Certificate of Appropriateness for Alterations in Historic District

Initial review of applications for certificates of appropriateness by the Zoning Administrator and Chief Building Inspector is intended to provide the applicant and Historic Preservation Commission with information related to compliance with local land use ordinance and building code. It does not represent a formal approval of a permit by any party and does not bind the decisions of Commission.

**Application Address and Description:**

(100 E. Front St.) Union Point Park – replacing the stationary dock with a new dock with “hog slat” decking.

**Zoning Administrator** please review the application and fill out all applicable items

Zoning District:

Required Setbacks (primary structure): Front  Side  Rear

Accessory Setbacks: From Nearest Structure  Side  Rear

Maximum Lot Coverage for proposed use:

Maximum Height of Structure:

Required Site Improvements: Landscaping  Buffer  Parking

Other requirements:

I have reviewed the application for proposed alterations to this property and have determined that it Meets ☒ Does Not Meet ☐ the requirements of the Land Use Ordinance.

Comments:

Zoning Administrator


 1/17/20

**Chief Building Inspector** please review the application and include any comments below

The proposed project Will ☒ Will Not ☐ require a building permit(s).

Comments:

Chief Building Inspector

 1/17/20

## **Certificate of Appropriateness Findings & Recommendations**

HPC Meeting January 22, 2020

**Applicant:** City of New Bern/Foster Hughes, Director of Parks and Recreation

**Applicant Address:** PO box 1129, New Bern, NC 28560

**Project Address:** 100 E. Front St., New Bern, NC 28560

**Historic Property Name:** Union Point Park

**Status:**        **Contributing:**        **Non-contributing:**        **Vacant Lot: X**

**NR Inventory Description:** (200 E. Front Street) Landscaped park at the confluence of the Neuse and Trent Rivers. Site of early settlement of New Bern.

**100 E. Front St.** – to include replacing the previous stationary bulkhead, which was destroyed by Florence, with a new bulkhead with “hog slat” decking.

**Staff submits the following Historic District Guidelines as appropriate to this application:**

**Waterfront Modifications**

2.9.3

**Statements of Reason,** based on the information contained in the application, in Staff’s judgment are:

1. The project is located within the Primary AVCs;
2. The bulkhead will be wood construction with concrete panel decking;
3. The project is not incongruous with the Guidelines.

**MOTION**

**Staff recommends the Commission approve this application to include replacing the previous stationary bulkhead, citing the aforementioned guidelines.**



## FEE SCHEDULE (office use only)

[] \$22 Standard Application (minor)

[X] \$107 Standard Application (major)

\$107 Fee pd Ck# 177 rec# 98157



NEW BERN

NORTH CAROLINA

Everything comes together here

HPC Administrator

HPCadmin@newbern-nc.org

Work: (252) 639-7583

Fax: (252) 636-2146

## Application for a Certificate of Appropriateness

(For Alterations to Properties in Locally Designated Historic Districts)

For assistance see "CoA Instructions", as well as "Historic District Guidelines", available online at:  
<http://www.newbern-nc.org/departments/development/historic-preservation/historic-preservation-guidelines/>

Type of Project: ☒ Exterior Alteration ☐ Addition ☐ Infill ☐ Site Work ☐ Other

### I. Applicant/Owner Information:

Property Address (Include year built, if known): 312 Johnson St.			
Property Owner Name(s): Eric & Mary Ringwalt	Owner Mailing Address: 312 Johnson St New Bern 28560	Phone #'s: 262-9385 9377	Email: mringwalt@yahoo.com
Applicant Name (if different):	Applicant Mailing Address:	Phone #'s:	Email:

### II. Project Information: (See "CoA Instructions" & "Historic Guidelines" for help in completing this section)

1. Provide a detailed description of work to be conducted on site: (Attach additional sheets if needed)

See attached Drawing (and photos)  
 ① extension of white picket fencing to go around existing two air handlers  
 ② construction of simple 40"x40" x 3 ft tall wood platform to hold natural gas generator

Continued on additional sheet or attached brochure ☐

2. Reference the specific Guideline(s) in the "Historic District Guidelines" which you believe apply to this project: (page and guideline number):

2.3.1

Continued on additional sheet or attached brochure ☐

3. Provide a detailed description of materials to be used (copies of brochures, texture, etc.):

Reference the specific Guidelines in the Historic District Guidelines for the proposed material(s).

same white picket fencing materials, as on existing fence, for extension. ① Simple wood platform for generator

Continued on additional sheet or attached brochure ☐

**III. Additional Information Provided:** (See "CoA Instructions" for more detail)

Plan(s) of Work, with: (please check all of those which are included with this application)

- ☒ Site plan (with annotated notes showing existing site and requested work)
- ☒ Photographs of the building and location where the proposed work will be completed
- ☒ Annotated notes or photos of materials to be used (samples may also be submitted)
- ☐ Floor plan with dimensions (for additions)
- ☐ Elevations with dimensions (for exterior additions or renovations)
- ☐ Supporting materials (brochures, photos of similar New Bern projects, estimates, etc.)
- ☐ Letter from owner acknowledging this application, in the case of submission by an applicant or lessee.

2 pages  
handwritten  
⊕ photos

Please see Development Services Staff (Staff) prior to submittal for initial review of the application and advisement if additional information will be required before consideration at a Historic Preservation Commission hearing.

**Please read the following statements. Your signature below acknowledges that you have read the statements and attest to their accuracy:**

Check one:

- ☒ I am the owner of the Property, or
- ☐ I am acting on behalf of the owner of the property and I have attached a letter from the owner(s) indicating their knowledge of this application.

- ◆ I understand that submittal of this application does not constitute approval of proposed alterations.
- ◆ I understand that the approval of this application by City Staff or the New Bern Historic Preservation Commission (HPC) does not constitute approval of other federal, state, or local permit applications.
- ◆ I understand that I (or my representative) will need to attend the Hearing of this Application by HPC. No Applications shall be heard without a representative present and all applicable fees paid in full.
- ◆ I have reviewed the City of New Bern's "Historic District Guidelines" in preparing this Application.
- ◆ I understand that the property referenced by this Certificate of Appropriateness (CoA) application is in one of New Bern's local historic districts and that it represents a part of New Bern's historic fabric. If a CoA is approved by HPC or Staff, I agree to implement all changes as specified in the approved CoA, including any conditions. I understand that I am responsible for contacting Staff if I have any questions regarding the allowed changes specified in the approved CoA.
- ◆ I understand that ANY unapproved alterations are enforceable as a violation of City Ordinance and must be brought into compliance by removal or through the CoA process.
- ◆ I affirm that all the information included in this application is true to the best of my knowledge.
- ◆ I understand that incomplete applications cannot be considered.

Mary V Ringwalt  
Signature of Applicant/Owner

12-16-2019  
Date

**APPLICATION SHOULD BE SUBMITTED TO THE DEVELOPMENT SERVICES MAIN OFFICE AT 303 FIRST ST. NO LESS THAN 2 WEEKS PRIOR TO UPCOMING MEETING. FOR FURTHER INFORMATION, CONTACT THE ADMINISTRATOR OF THE HISTORIC PRESERVATION COMMISSION AT (252) 639-7583.**



Mary Ringwalt  
262 930 1977

Blades  
mansion

brick  
wall  
4'6" high

40" x 40"  
platform  
3 FT tall

Ringwalt  
house

4'3" high  
Fence / Gate

4'3" high  
wooden Fence / Gate

Front  
porch

Air  
Handler

Ringwalt  
house

Air  
Handler

proposed Fence 4'3" high  
will match existing

For 312 Johnson St  
house, fence, and wall  
1 square = 1 Foot

proposed changes  
in green

Front  
yard  
Blades  
Mansion

Front yard

↓  
street

Front yard  
312  
Johnson St.

Front  
porch



Dec 16, 2019

Hello Matt,

I know you are out of the office until the 1st of the year, but we wanted to have this info. ready for the Jan 2020 meetings.

I assume the photos you and I discussed earlier in the fall will be sufficient.

Please let me know ASAP if you need more clarifying info.

We very much want this Application to go on the Jan agenda.

We have an electrician<sup>(and contractor)</sup> hired up to help us, and want to move ahead quickly this winter/spring if possible.

Gratefully,

Mary Ringwatt

262-930-1977



RE: 312 Johnson St

Mary Ringwalt  
262 930 1977

Cummins Quiet Connect Natural  
gas back up generator

length 34" width 36" height 27"

minimal pollution vs. gasoline  
generator

significantly quieter

65 decibels for natural gas

vs

90 decibels for gasoline generator

Matthew Schelly

---

**From:** mary ringwalt <mvringwalt@yahoo.com>  
**Sent:** Tuesday, January 14, 2020 12:13 PM  
**To:** Matthew Schelly  
**Cc:** Eric Ringwalt  
**Subject:** 312 Johnson Street -- for next week's meeting

Hello again Matt,

I am writing this follow-up email to confirm our plans for (1) extending our white picket fencing to go around our existing air return units and (2) for building a small platform behind the existing fence and brick wall (in our left side yard) to hold a gas-powered generator. We continue to rely on the basic information, photographs, and sketch from our discussion at the last planning meeting, but we now propose to build the platform at a lower height of 24 inches (vs. 36 inches) so that with a 27-inch tall generator, the top of the generator once on the platform will not be higher than our existing brick wall (which is 54" high) or our white picket fence (which is currently 51" high). When we extend the white picket fence to go around the two air units, we propose to make that fence the same height as the brick wall (54").

Please let us know at our earliest convenience if there is any detail we have omitted. We look forward to seeing you next Wednesday night at the meeting.

Gratefully,  
Mary and Eric Ringwalt  
312 Johnson St.  
262-930-1977

NOTE: Please be advised, City of New Bern email addresses changed to user@newbernnc.gov as of October 23rd 2018. Please update your address book accordingly. Thank you for your assistance with this change. -----

----- If  
you are not the intended recipient, you must destroy this message and inform the sender immediately. This electronic mail message and any attachments, as well as any electronic mail message(s) sent in response to it may be considered public record and as such subject to request and review by anyone at any time. It also may contain information which is confidential within the meaning of applicable federal and state laws.



Email message, 11/7/19, 1:40 pm:

... First, we hope to extend the existing white picket fence to go around the two AC units.

Second, we hope to build a 3 foot tall, 40" x40" platform on our side of the existing brick wall and place a natural gas backup generator there. We already have talked to the representative at Coastal Diesel Service, who has confirmed there is space in that part of our side yard to properly install this generator. It too will be located well behind the white picket fence. ...









312 Johnson St questions regarding mechanical equipment, by HPC staff

2019-11-06 through 11-12





## Zoning and Inspections Review of

### Application for Certificate of Appropriateness for Alterations in Historic District

Initial review of applications for certificates of appropriateness by the Zoning Administrator and Chief Building Inspector is intended to provide the applicant and Historic Preservation Commission with information related to compliance with local land use ordinance and building code. It does not represent a formal approval of a permit by any party and does not bind the decisions of Commission.

**Application Address and Description:**

312 Johnson St. – installation of a platform and new backup generator, plus fencing for existing HVAC units.

**Zoning Administrator** please review the application and fill out all applicable items

Zoning District:

Required Setbacks (primary structure): Front  Side  Rear

Accessory Setbacks: From Nearest Structure  Side  Rear

Maximum Lot Coverage for proposed use:

Maximum Height of Structure:

Required Site Improvements: Landscaping  Buffer  Parking

Other requirements:

I have reviewed the application for proposed alterations to this property and have determined that it Meets \_\_\_ Does Not Meet ☒ the requirements of the Land Use Ordinance.

Comments:

To meet requirements, generator & platform should be 3 feet from the property line.

Zoning Administrator

*John W. Lee* 1/17/20

**Chief Building Inspector** please review the application and include any comments below

The proposed project Will ☒ Will Not \_\_\_ require a <sup>Electrical</sup> building permit(s).

Comments:

Chief Building Inspector

*[Signature]*

1/17/20



## Certificate of Appropriateness Findings & Recommendations

HPC Meeting January 22, 2020

**Applicant:** Eric & Mary Ringwalt

**Applicant Address:** 312 Johnson St., New Bern, NC 28560

**Project Address:** 312 Johnson St., New Bern, NC 28560

**Historic Property Name:** John B. Ives House (c. 1897-1899)

**Status:**        **Contributing:** X        **Non-contributing:**        **Vacant Lot:**

**NR Inventory Description:** Queen Anne style; two stories; two bays wide; wraparound front porch; upper left oriel bay window and shed-roofed upper right corner porch; gable and hip roofs; interior chimney.

**312 Johnson St.** – to include installation of a platform and new backup generator, plus fencing for existing HVAC units. These alterations are, technically, in the Secondary AVC, but the existing HVAC units are currently in full view from the street.

**Staff submits the following Historic District Guidelines as appropriate to this application:**

**Utilities**

2.3.1

**Modifications**

3.2.2

**Statements of Reason**, based on the information contained in the application, in Staff's judgment are:

1. The project is located within the Secondary AVC;
2. The project does not conceal, damage, or remove significant design components or architectural features;
3. The project includes screening previously unscreened HVAC units and the new generator will also be screened by this new fencing;
4. The project is not incongruous with the Guidelines.

### **MOTION**

**Staff recommends the Commission approve this application to include installation of a platform and new backup generator, plus fencing for existing HVAC units, citing the aforementioned guidelines.**

CUA MJR-001893-2019

FEE SCHEDULE (office use only)  
☐ \$22 Standard Application (minor)  
☒ \$107 Standard Application (major)

\$107 fee pd CUA# 1055

rec# 99794



HPC Administrator  
 HPCadmin@newbern-nc.org  
 Work: (252) 639-7583  
 Fax: (252) 636-2146

**Application for a Certificate of Appropriateness**  
 (For Alterations to Properties in Locally Designated Historic Districts)

For assistance see "CoA Instructions", as well as "Historic District Guidelines", available online at:  
<http://www.newbern-nc.org/departments/development/historic-preservation/historic-preservation-guidelines/>

Type of Project: ☐ Exterior Alteration ☐ Addition ☐ Infill ☐ Site Work ☐ Other

<b>I. Applicant/Owner Information:</b>			
Property Address (Include year built, if known): 421 S. FRONT STREET (FARMERS MARKET)			
Property Owner Name(s): CITY OF NEW BERN	Owner Mailing Address: PO Box 14846 NEW BERN, NC 28561	Phone #'s: 633-2954	Email: nbFm.treas421@gmail.com
Applicant Name (if different): NEW BERN FARMERS MARKET	Applicant Mailing Address:	Phone #'s:	Email:

<b>II. Project Information:</b> (See "CoA Instructions" & "Historic Guidelines" for help in completing this section)
1. Provide a detailed description of work to be conducted on site: (Attach additional sheets if needed) Replace 20 existing, original, overhead garage doors with comparable steel replacements, including all new hardware and tracks. Continued on additional sheet or attached brochure <input type="checkbox"/>
2. Reference the specific Guideline(s) in the "Historic District Guidelines" which you believe apply to this project: (page and guideline number): Section 4.3, Doors pages 4-4, 4-6 Section 5.3, Metals 5.3.2 page 5-2 Continued on additional sheet or attached brochure <input type="checkbox"/>
3. Provide a detailed description of materials to be used (copies of brochures, texture, etc.): Reference the specific Guidelines in the Historic District Guidelines for the proposed material(s). See attached cut sheet H-225P Doors, photos Continued on additional sheet or attached brochure <input type="checkbox"/>



**III. Additional Information Provided:** (See "CoA Instructions" for more detail)

Plan(s) of Work, with: (please check all of those which are included with this application)

- ☐ Site plan (with annotated notes showing existing site and requested work)
- ☒ Photographs of the building and location where the proposed work will be completed
- ☒ Annotated notes or photos of materials to be used (samples may also be submitted) *cut sheet*
- ☐ Floor plan with dimensions (for additions)
- ☐ Elevations with dimensions (for exterior additions or renovations)
- ☒ Supporting materials (brochures, photos of similar New Bern projects, estimates, etc.) *cut sheet*
- ☒ Letter from owner acknowledging this application, in the case of submission by an applicant or lessee.

Please see Development Services Staff (Staff) prior to submittal for initial review of the application and advisement if additional information will be required before consideration at a Historic Preservation Commission hearing.

**Please read the following statements. Your signature below acknowledges that you have read the statements and attest to their accuracy:**

Check one:

- ☐ I am the owner of the Property, or
- ☒ I am acting on behalf of the owner of the property and I have attached a letter from the owner(s) indicating their knowledge of this application.

- ◆ I understand that submittal of this application does not constitute approval of proposed alterations.
- ◆ I understand that the approval of this application by City Staff or the New Bern Historic Preservation Commission (HPC) does not constitute approval of other federal, state, or local permit applications.
- ◆ I understand that I (or my representative) will need to attend the Hearing of this Application by HPC. No Applications shall be heard without a representative present and all applicable fees paid in full.
- ◆ I have reviewed the City of New Bern's "Historic District Guidelines" in preparing this Application.
- ◆ I understand that the property referenced by this Certificate of Appropriateness (CoA) application is in one of New Bern's local historic districts and that it represents a part of New Bern's historic fabric. If a CoA is approved by HPC or Staff, I agree to implement all changes as specified in the approved CoA, including any conditions. I understand that I am responsible for contacting Staff if I have any questions regarding the allowed changes specified in the approved CoA.
- ◆ I understand that ANY unapproved alterations are enforceable as a violation of City Ordinance and must be brought into compliance by removal or through the CoA process.
- ◆ I affirm that all the information included in this application is true to the best of my knowledge.
- ◆ I understand that incomplete applications cannot be considered.

*Handwritten signature: [Signature] / City of New Bern (OWNERS)*

*Handwritten signature: James D. Morrison*

Signature of Applicant/Owner

*James D. MORRISON, TREASURER*

*12-5-19*  
Date

APPLICATION SHOULD BE SUBMITTED TO THE DEVELOPMENT SERVICES MAIN OFFICE AT 303 FIRST ST. NO LESS THAN 2 WEEKS PRIOR TO UPCOMING MEETING. FOR FURTHER INFORMATION, CONTACT THE ADMINISTRATOR OF THE HISTORIC PRESERVATION COMMISSION AT (252) 639-7583.











## Commercial Sectional Steel Doors

**H-225P**  
25 Gauge (.019" min)  
2" Sections

**H-224P**  
24 Gauge (.022" min)  
2" Sections

### Choice and Quality

Hörmann commercial steel doors are available in a wide range of styles, sizes and design options. Sophisticated engineering and state-of-the-art manufacturing provide the basis for durable, reliable and long-lasting quality products.

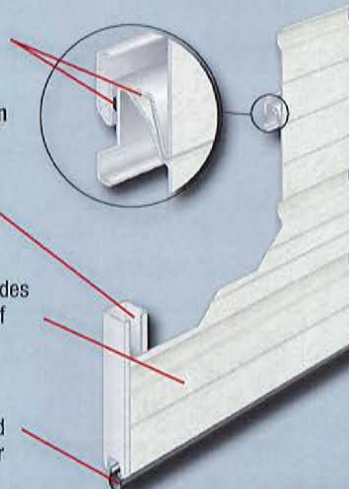
Two thicknesses are available: **25 gauge (.019" min.)** steel for H-225P and **24 gauge (.022" min.)** for H-224P, both are hot-dipped and galvanized. No matter which door suits your needs best, all H-225P and H-224P doors are manufactured to the highest quality standards and come with FingerGuard™ pinch-resistant section joints as standard.

Deep tongue and groove section joint contribute to the door's **excellent strength**. Intermediate seals prevent air infiltration, which enhances the **insulation** properties.

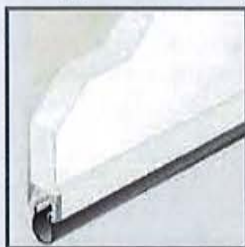
Fully boxed end and center stiles add **additional structural integrity**.

Galvanized finished painted steel provides superior corrosion resistance for years of trouble-free performance.

The heavy duty aluminum retainer and bottom weather seal limits corrosion and keeps out wind, rain, debris and other elements for added energy savings.



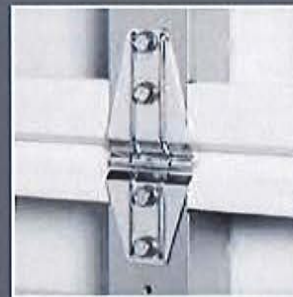
### Energy-efficient vinyl back



The optional full cavity HCFC-free polystyrene insulation with vinyl back cover provides enhanced energy efficiency R value 7.4 and sound-dampening qualities. This improves overall energy savings while contributing to a quiet working environment.

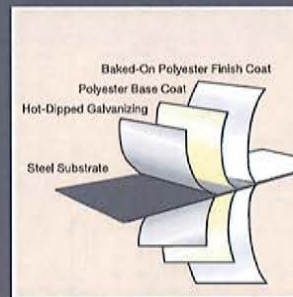
### Engineering Excellence

- Fully boxed end and center stiles provide structural integrity for trouble-free operation
- Unique precision steel hinges with solid pivoting shaft to minimize wear on moving parts to provide long service life
- Deep tongue and groove section profile adds to the door's overall structural integrity and its long term performance



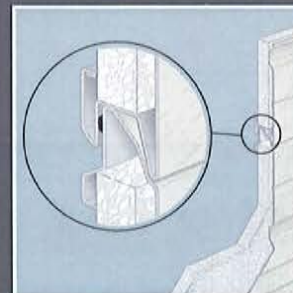
### Durability

H-225P and H-224P door panels are prepared inside and out to offer maximum protection against the adverse effects of the elements to provide you with a long-lasting surface finish and reduced maintenance cost. First, hot-dipped galvanizing is applied to the steel substrate, followed by a baked-on polyester base coat and a durable baked-on polyester finish coat.



### Against Elements

A commercial grade material was carefully selected to maximize protection from outside elements. The between section seal is constructed of a special heavy duty material that acts as a gasket between sections to reduce the air infiltration while further enhancing the insulation properties of a door.



### Safety

The uniquely designed FingerGuard™ pinch-resistant section joints prevent fingers from getting caught between the door sections. This increases the safety of your facility and reduces the risk of injuries which may result in worker's compensation claims.

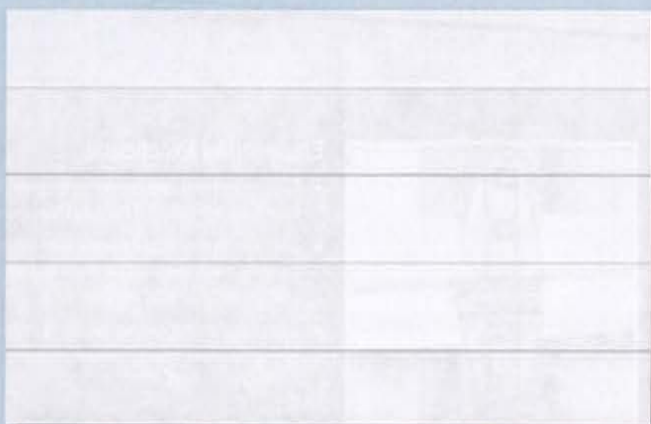




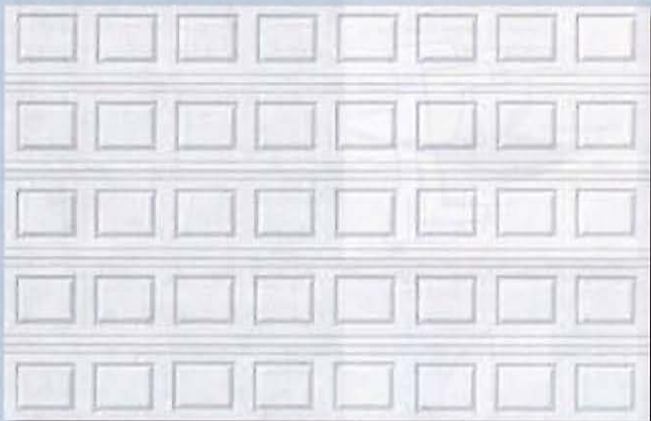
## Panel Designs



**Ribbed design**



**Flush design (H-224P only)**



**Raised panel design**

## Surface Finishes



**Stucco (Ribbed & Flush)**



**Woodgrain (Raised panel)**

Regardless of the color you choose, all of our surface finishes provide a durable baked-on polyester finish coat offering a long-lasting, attractive appeal.

## Colors

**White**

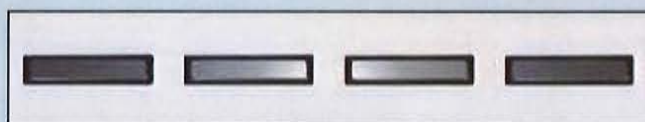
**Sandstone**

**Brown**

**Industrial Grey\***  
(optional)

All colors shown as accurately as printing technology allows. \*Not available for H-224P Series

## Window Options



**Window 24" X 6"**



**Window 24" X 12"**

Single pane is standard for non-insulated doors. Insulated glass is standard for both vinyl back insulated and sandwich doors.

The number of windows available per section depends on the door width. For raised panel designs, see dealer for window options.

### Window Arrangements (24" X 6" & 24" X 12")

Door Width	Maximum No. of Windows
Up to 9' 2"	2
9' 3" to 12' 2"	3
12' 3" to 16' 2"	4
16' 3" to 19' 2"	5
19' 3" to 24' 2"	6



### Opti-View Windows (Not available for raised panel design)

Hörmann Opti-View is the optimum choice for commercial applications where maximum light and visibility is required. The Opti-View window design offers similar features as other full view window designs.

Clear single pane tempered glass is standard for both insulated and non-insulated doors. The number of windows available per section depends on the door width.

### Window Arrangements (Opti-View)

Door Width	Maximum No. of Windows
8', 8'2", 9' & 9'2"	2
10', 10'2", 12' & 12'2"	3
14', 14'2", 16' & 16'2"	4



Series	H-225P	H-224P
Steel Thickness	25 ga.	24 ga.
Section Thickness	2 in.	2 in.
R - Value	Up to 7.4 with Optional Insulation	
Polystyrene Core Insulation	Optional	Optional
<b>Panel Designs</b>		
Ribbed	Standard	Standard
Flush	N/A	Standard
Traditional Raised Panel	Standard	Standard
<b>External Textures</b>		
Ribbed	Stucco	Stucco(Smooth Opt.)
Flush	N/A	Stucco
Raised Panel	Woodgrain	Woodgrain
<b>Available Colors</b>		
White	Standard	Standard
Sandstone	Standard	Standard
Brown	Standard	Standard
Industrial Grey	Optional	N/A
<b>Windows Options</b>		
24" X 6"	Optional	Optional
24" X 12"	Optional	Optional
Opti-View	Optional	Optional
<b>Warranty</b>		
Sections	10 years	
Hardware	1 year	

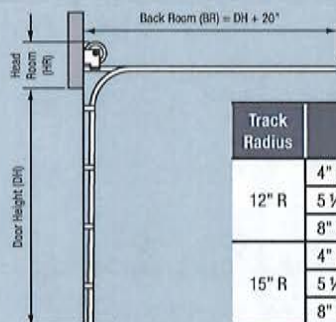
## Section Arrangements

Door Height	No. of Sections
Up to 8'0"	4
8'9" to 10'0"	5
10'6" to 12'0"	6
12'3" to 14'0"	7
14'3" to 16'0"	8
16'3" to 18'0"	9

## Additional Options

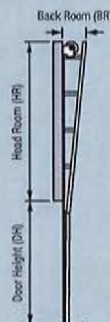
- Various track options
- Full perimeter weatherseal
- Top header seal
- Keyed locks
- Extended cycle springs - 25k, 50k & 100k
- Special windload ratings
- Chain hoist operation
- Full range of electric openers and safety devices

## Head Room and Side Room Dimensions (typical)



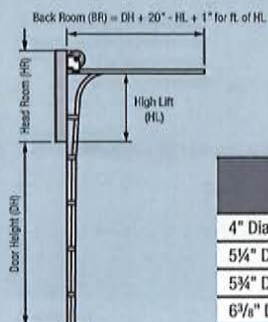
Standard Lift Doors

Track Radius	Drum Type	Head Room	
		2" Track	3" Track
12" R	4" Dia. Standard Lift	11"	—
	5 1/4" Dia. Standard Lift	14 1/2"	—
	8" Dia. Standard Lift	*Special	—
15" R	4" Dia. Standard Lift	14 3/4"	15 3/4"
	5 1/4" Dia. Standard Lift	15 1/2"	17 1/2"
	8" Dia. Standard Lift	18 3/4"	20 1/2"



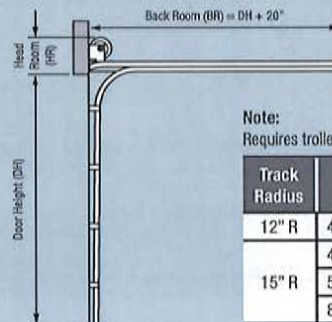
Vertical Lift Doors

Head Room		Back Room	
2" Track	3" Track	2" Track	3" Track
DH + 9"	DH + 9"	16"	16"



High Lift Doors

Drum Type	Head Room	
	2" Track	3" Track
4" Dia. High-Lift Drum 54" of HL	HL + 8 1/4"	HL + 9 1/4"
5 1/4" Dia. High-Lift Drum 54" of HL	HL + 9 1/4"	HL + 10 1/4"
5 3/4" Dia. High-Lift Drum 120" of HL	HL + 12"	HL + 13"
6 1/8" Dia. High-Lift Drum 164" of HL	HL + 12 3/4"	HL + 13 3/4"



Low Head Room Doors

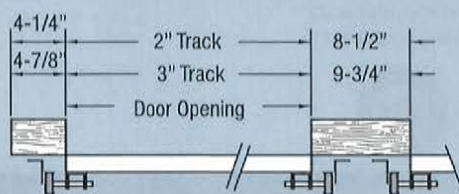
**Note:**  
Requires trolley type Opener with brake for door to clear header.

Track Radius	Drum Type	Head Room	
		2" Track	3" Track
12" R	4" Dia. Standard Lift	10"	—
	5 1/4" Dia. Standard Lift	10"	11 1/2"
15" R	5 1/4" Dia. Standard Lift	11"	12 1/2"
	8" Dia. Standard Lift	14 1/2"	16"

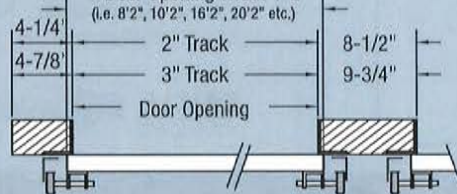
## Side Room Dimensions

Typical Construction Door Width

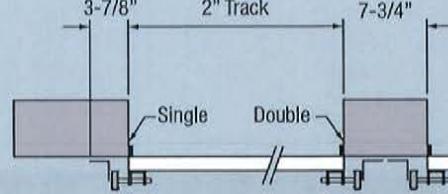
= Door Opening Width + 2  
(i.e. 8'2", 10'2", 16'2", 20'2" etc.)



Continuous Angle Track  
Wood Jambs



Reverse Angle Track  
Steel / Masonry Jambs



Bracket Mounted Track

Please contact us for further details.



## CSI Product Specifications

### SECTION 08360 - SECTIONAL DOORS

#### H-225P (H-224P) Series Steel Sectional Doors

##### PART 1 - GENERAL

###### 1.01 RELATED DOCUMENTS

- A. All of the Contract Documents, including General and Supplementary Conditions, and Division 1 General Requirements, apply to the work of this Section.

###### 1.02 SUMMARY

- A. The work of this Section includes upward-acting sectional doors.
- B. Related Sections: Other specification sections, which directly relate to the work of this section include, but are not limited to, the following:
1. Section 05500 - Miscellaneous Metal; metal framing and supports.
  2. Section 08710 - Finish Hardware; key cylinders for locks.
  3. Section 09900 - Painting; field painting.
  4. Section 16100 - Electrical; wiring.

###### 1.03 SUBMITTALS

- A. Product Data: Submit manufacturer's product data and installation instructions for each type of sectional door. Include both published data and any specific data prepared for this project.
- B. Shop Drawings: Submit shop drawings for approval prior to fabrication. Include detailed plans, elevations, details of framing members, required clearances, anchors, and accessories. Include relationship with adjacent materials.

###### 1.04 QUALITY ASSURANCE

- A. Manufacturer: Sectional doors shall be manufactured by a firm with a minimum of five years experience in the fabrication and installation of sectional doors. Manufacturers proposed for use, which are not named in these specifications, shall submit evidence of ability to meet performance and fabrication requirements specified, and include a list of five projects of similar design and complexity completed within the past five years.
- B. Installer: Installation of sectional doors shall be performed by the authorized representative of the manufacturer.
- C. Single-Source Responsibility: Provide doors, tracks and accessories from one manufacturer for each type of door. Provide secondary components from source acceptable to manufacturer of primary components.
- D. Pre-Installation Conference: Schedule and convene a pre-installation conference just prior to commencement of field operations, to establish procedures to maintain optimum working conditions and to coordinate this work with related and adjacent work.

###### 1.05 DELIVERY, STORAGE, AND HANDLING

- A. Deliver materials and products in labeled protective packages. Store and handle in strict compliance with manufacturer's instructions and recommendations. Protect from damage from weather, excessive temperatures and construction operations.

##### PART 2 - PRODUCTS

###### 2.01 ACCEPTABLE MANUFACTURER

- A. Provide sectional doors by Hörmann LLC, Montgomery, Illinois; Telephone 877-654-6762 or 630-859-3000; Fax 630-859-8122.

###### 2.02 STEEL SECTIONAL DOORS

- A. Trade Reference: H-225P (H-224P) Series Steel Doors by Hörmann LLC.
- B. Sectional Door Assembly: Non-insulated or optional insulated steel door assembly with pinch resistant rabbeted meeting rails to form weather tight joints and provide full-width interlocking structural rigidity. Units shall have the following characteristics:
1. Panel Thickness: 2"
  2. Exterior Surface: Ribbed. (Also available in flush or raised panel)
  3. Section Joint: Sections to form a weather tight tongue and groove pinch resistant fit.
  4. Material: Hot-dipped galvanized steel, complying with ASTM A-929, A-653.
  5. Exterior Steel: Minimum 24 (25) gauge exterior.
  6. Center and End Stiles: 20 gauge galvanized steel.
  7. Standard Springs: 10,000 cycles. (Higher cycles available)
  8. Insulation: Optional HCFC-free Polystyrene, R-value 7.4 with optional Polystyrene with vinyl backcover.
  9. Partial Glazing of Steel Panels: (Insulated or non-insulated double strength glass available.) (Not Required.)
  10. Full Glazing Requiring Aluminum Sash Panels: (Acrylic glazing.) (1/8" double strength glass.) (Insulated double strength glass.) (Not Required.)
- C. Finish and Color: Factory-applied baked-on White (or Brown). (Series 225P also available in Sandstone or Industrial Grey) polyester.
- D. Wind load Design: ANSI/DASMA 108 and 115 standards and as required by code.
- Hardware: 13 Gauge galvanized steel two piece hinge assembly and fixtures. Ball bearing rollers with hardened steel races.
- Lock: Interior mounted slide lock. (Keyed lock.)
- Weatherstripping: Flexible PVC on bottom section. (Header seal and jamb weatherstripping.)
- Track: Provide track as recommended by manufacturer to suit loading required and clearances available. Note: Select type of operation
- E. Manual Operation: Manual pull rope. (Chain hoist.)
- F. Electric Motor Operation: Provide UL listed electric operator, size and type as recommended by manufacturer to move door in either direction at not less than 2/3 foot nor more than 1 foot per second.
1. Entrapment Protection: (Pneumatic sensing edge up to 18' wide) (Electric sensing edge.) (Photoelectric sensors.)
  2. Operator Controls: (Push-button)(Key) (Push-button and key) operated control stations with open, close, and stop buttons for (flush) (surface) mounting, for (interior) (exterior) (both interior and exterior) location. Note: Select from below as applicable
  3. Special Operation: (Pull-rope release automatic opening device, vehicle detector operation, radio control operation, card reader control, photocell operation, door timer operation, commercial light package, explosion and dust ignition proof control wiring.)

##### PART 3 - EXECUTION

###### 3.01 PREPARATION

- A. Take field dimensions and examine conditions of substrates, supports, and other conditions under which this work is to be performed. Do not proceed with work until unsatisfactory conditions are corrected.

###### 3.02 INSTALLATION

- A. Strictly comply with manufacturer's installation instructions and recommendations. Coordinate installation with adjacent work to ensure proper clearances and allow for maintenance.
- B. Instruct Owner's personnel in proper operating procedures and maintenance schedule.

###### 3.03 ADJUSTING AND CLEANING

- A. Test sectional doors for proper operation and adjust as necessary to provide proper operation without binding or distortion.
- B. Touch-up damaged coatings and finishes and repair minor damage. Clean exposed surfaces using non-abrasive materials and methods recommended by manufacturer of material or product being cleaned.

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#### AVAILABLE FROM:



Call us ► 1 877 OK HORMANN (1-877-654-6762)

Hörmann LLC, 5050 Baseline Road, Montgomery, Illinois 60538

Phone: 630-859-3000 Fax: 630-859-8122

Email: info@hormann.us www.hormann.us



Everything you've wanted in a commercial door, and more.

**HÖRMANN**





## Zoning and Inspections Review of

### Application for Certificate of Appropriateness for Alterations in Historic District

Initial review of applications for certificates of appropriateness by the Zoning Administrator and Chief Building Inspector is intended to provide the applicant and Historic Preservation Commission with information related to compliance with local land use ordinance and building code. It does not represent a formal approval of a permit by any party and does not bind the decisions of Commission.

**Application Address and Description:**

421 S. Front St. – replacement of the existing garage doors with new garage doors.

**Zoning Administrator** please review the application and fill out all applicable items

Zoning District:

Required Setbacks (primary structure): Front  Side  Rear

Accessory Setbacks: From Nearest Structure  Side  Rear

Maximum Lot Coverage for proposed use:

Maximum Height of Structure:

Required Site Improvements: Landscaping  Buffer  Parking

Other requirements:

I have reviewed the application for proposed alterations to this property and have determined that it Meets ☒ Does Not Meet ☐ the requirements of the Land Use Ordinance.

Comments:

Zoning Administrator  1/17/20

**Chief Building Inspector** please review the application and include any comments below

The proposed project Will ☐ Will Not ☒ require a building permit(s).

Comments:

Chief Building Inspector  1/17/20



## **Certificate of Appropriateness Findings & Recommendations**

HPC Meeting January 22, 2020

**Applicant:** City of New Bern/Matthew Montanye, Director of Public Works; Jim Morrison,  
Treasurer of Farmers Market

**Applicant Address:** PO box 1129, New Bern, NC 28560; PO Box 14846, New Bern, NC 28561

**Project Address:** 421 S. Front St., New Bern, NC 28560

**Historic Property Name:** Farmers Market

**Status:**        **Contributing:**                      **Non-contributing: X**                      **Vacant Lot:**

**NR Inventory Description:** One story; brick; three bays wide, twelve bays deep; overhead doors in east, west elevations; gable-front roof; properties enclosed by high, metal fence, gates.

**421 S. Front St.** – to include the replacement of the existing garage doors with new garage doors in the Primary and Secondary AVCs.

**Staff submits the following Historic District Guidelines as appropriate to this application:**

**Metals**

5.3.2

**Modifications**

3.2.2

**Statements of Reason**, based on the information contained in the application, in Staff's judgment are:

1. The project is located within the Primary and Secondary AVCs;
2. The project does not conceal, damage, or remove significant design components or architectural features;
3. The project replaces metal doors with doors of the same material and design;
4. The project is not incongruous with the Guidelines.

### **MOTION**

**Staff recommends the Commission approve this application to include the replacement of the existing garage doors with new garage doors in the Primary and Secondary AVCs, citing the aforementioned guidelines.**

**FEE SCHEDULE** (office use only)

[ ] \$22 Standard Application (minor)  
 [ ] \$107 Standard Application (major)



HPC Administrator  
 HPCadmin@newbern-nc.org  
 Work: (252) 639-7583  
 Fax: (252) 636-2146

**Application for a Certificate of Appropriateness**  
*(For Alterations to Properties in Locally Designated Historic Districts)*

For assistance see "CoA Instructions", as well as "Historic District Guidelines", available online at:  
<http://www.newbern-nc.org/departments/development/historic-preservation/historic-preservation-guidelines/>

Type of Project: ☒ Exterior Alteration ☐ Addition ☐ Infill ☐ Site Work ☐ Other

**I. Applicant/Owner Information:**

Property Address (Include year built, if known):

503 + 505 E Street 1950

Property Owner Name(s):

Dan + Sandy Bantillier  
 GJT Properties, LLC

Owner Mailing Address:

5724 Gondolier Dr.

Phone #'s:

546-578  
 2879

Email:

gjtproperties@gmail.com

Applicant Name (if different):

Applicant Mailing Address:

Phone #'s:

Email:

**II. Project Information:** (See "CoA Instructions" & "Historic Guidelines" for help in completing this section)

1. Provide a detailed description of work to be conducted on site: (Attach additional sheets if needed)

Remove two chimneys  
 New Shingles  
 New Windows  
 Add AC + natural gas

Continued on additional sheet or attached brochure ☒

2. Reference the specific Guideline(s) in the "Historic District Guidelines" which you believe apply to this project: (page and guideline number):

- pg. 4-4/4.5

- pg. 4-5/4.3

pg. 2-4/2.3

- pg. 2-4/2.3

Continued on additional sheet or attached brochure ☒

3. Provide a detailed description of materials to be used (copies of brochures, texture, etc.):

Reference the specific Guidelines in the Historic District Guidelines for the proposed material(s).

Continued on additional sheet or attached brochure ☒



**III. Additional Information Provided: (See "CoA Instructions" for more detail)**

Plan(s) of Work, with: (please check all of those which are included with this application)

- ☐ Site plan (with annotated notes showing existing site and requested work)
- ☒ Photographs of the building and location where the proposed work will be completed
- ☒ Annotated notes or photos of materials to be used (samples may also be submitted)
- ☐ Floor plan with dimensions (for additions)
- ☐ Elevations with dimensions (for exterior additions or renovations)
- ☐ Supporting materials (brochures, photos of similar New Bern projects, estimates, etc.)
- ☒ Letter from owner acknowledging this application, in the case of submission by an applicant or lessee.

Please see Development Services Staff (Staff) prior to submittal for initial review of the application and advisement if additional information will be required before consideration at a Historic Preservation Commission hearing.

**Please read the following statements. Your signature below acknowledges that you have read the statements and attest to their accuracy:**

Check one:

- ☒ I am the owner of the Property, or
- ☐ I am acting on behalf of the owner of the property and I have attached a letter from the owner(s) indicating their knowledge of this application.

- ◆ I understand that submittal of this application does not constitute approval of proposed alterations.
- ◆ I understand that the approval of this application by City Staff or the New Bern Historic Preservation Commission (HPC) does not constitute approval of other federal, state, or local permit applications.
- ◆ I understand that I (or my representative) will need to attend the Hearing of this Application by HPC. No Applications shall be heard without a representative present and all applicable fees paid in full.
- ◆ I have reviewed the City of New Bern's "Historic District Guidelines" in preparing this Application.
- ◆ I understand that the property referenced by this Certificate of Appropriateness (CoA) application is in one of New Bern's local historic districts and that it represents a part of New Bern's historic fabric. If a CoA is approved by HPC or Staff, I agree to implement all changes as specified in the approved CoA, including any conditions. I understand that I am responsible for contacting Staff if I have any questions regarding the allowed changes specified in the approved CoA.
- ◆ I understand that ANY unapproved alterations are enforceable as a violation of City Ordinance and must be brought into compliance by removal or through the CoA process.
- ◆ I affirm that all the information included in this application is true to the best of my knowledge.
- ◆ I understand that incomplete applications cannot be considered.



Signature of Applicant/Owner

1/3/2020  
Date

**APPLICATION SHOULD BE SUBMITTED TO THE DEVELOPMENT SERVICES MAIN OFFICE AT 303 FIRST ST. NO LESS THAN 2 WEEKS PRIOR TO UPCOMING MEETING. FOR FURTHER INFORMATION, CONTACT THE ADMINISTRATOR OF THE HISTORIC PRESERVATION COMMISSION AT (252) 639-7583.**

al

Petitioners requesting City of New Bern Historic Preservation Commission action on property not owned by them must have this form completed by the owner of the property.

**CERTIFICATE OF APPROPRIATENESS OWNERS AUTHORIZATION**

Dear Sir or Madame:

I am the owner of the property located at:

503 + 505 C Street New Bern  
(address, city, zip code)

I hereby authorize Al Marino to appear with my consent, before the City of New Bern Historic Preservation Commissioner in order to request a Certificate of Appropriateness for the property referenced above.

I authorize you to present this matter on my/our behalf as the owner(s) of the property.

If there are any questions, please contact me at the following address and phone number:

\_\_\_\_\_  
Phone \_\_\_\_\_

Daniel S. Boutillier

Owner's Signature

Daniel S Boutillier

Print Name

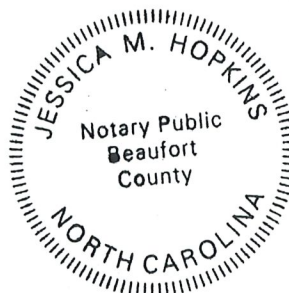
1/3/2020

Date

Sworn to and subscribed before me this 3 day of January, 2020.

Jessica M. Hopkins  
Notary Public:

My commission expires: 12/11/2021





# 503 & 505 C Street New Bern, NC





# Remove Two Chimneys



- To make room in attic for the addition of central AC to remove window units
- To make room for laundry room



# Without chimneys





Page 4-9/4.5 New Shingles – Composition Architectural  
Dark Gray with rain diverter over front doors.





# New windows



Page 4-5/4.3 Carolina Windows and Doors  
Same line of sight vinyl double hung windows and aluminum wrapped trim.  
Go back with same double panel or prefer 6 over 6 panel







## CAROLINA WINDOWS & DOORS, INC.

Providing Quality Service and Products Since 1984

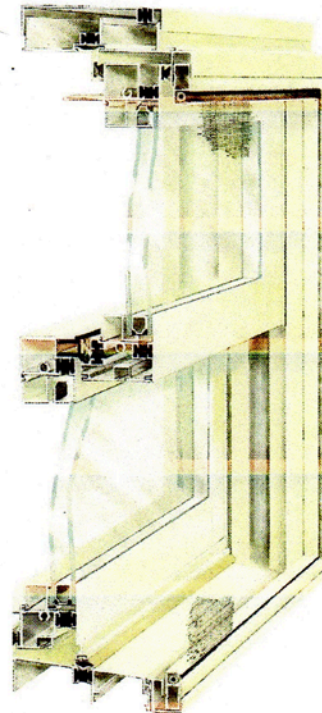
3203 S Memorial Dr, Greenville, NC 27834  
(252) 756-2585 - (800) 545-7172  
Fax- (252) 756-1761

### The Caribbean Window

#### PolyPour Aluminum Thermal Break Windows

Not all "aluminum windows" are the same! Our commercial-grade aluminum windows feature a thermal break that separates the inside metal from the outside metal with very high-density catalyzed polyurethane. Generically, this engineered design is called "pour and de-bridge" in reference to the extrusion process. We just call it PolyPour. These windows set our aluminum lines apart from conventional, old-fashioned typical aluminum windows that have no thermal breaks. Among those that do, be careful to make sure you notice the differences. For example, ours feature wide thermal breaks in the jambs, heads, sills, and all sashes of our windows; and the breaks align for maximum thermal performance and design pressure rating of 50. Lesser windows have thinner breaks, may not align, and may even have no thermal break in their sashes or sills. PolyPour windows fight condensation and have significantly better insulating values than any cheap "builder grade" aluminum window.

**MATERIALS:** Frame and sash main members are made of T6063-T6 anodized aluminum alloy extrusions with a poured in channel urethane thermal barrier, debridged to prevent temperature transfer through the extrusion. Typical extrusion wall thickness is .062 inches.



www.cwdnc.com

**CONSTRUCTION:** Frame corner seams are sealed with a low modulus, non acetic silicone sealant. Frame depth is 3 1/4" with sill sloped to the outside for positive water drainage. Frames are available in new construction as well as replacement configurations. Sash components are joined at the corner using double screw coped corner construction and are fastened with 410 hardness stainless steel screws set in extruded screw bosses.

**GLAZING:** Sashes are channel glazed using a flexible vinyl glazing gasket along the perimeter of a sealed insulating glass unit. Standard INSULATING GLASS UNITS have an overall thickness of 7/8" and consist of two lites of double strength glass and one air space. The air space is created by a Mylar Composit (Edge Tech Super Spacer). The edge seal consists of a uniform layer of hot melt butyl sealant. Insulating glass meets ASTM E773, ASTM E774, & ASTM E546. Insulated Glass Units consist argon filled in combinations with High Performance soft coat low-e.

**SCREENS:** Screen frame is made of T6063-T6 aluminum alloy extrusions and employs corner key construction, fastened at the corner with self locking zinc die cast corner keys. Screen cloth is of fiberglass mesh held firmly in place by a solid vinyl spline. Screen is removable to the outside and attaches securely to the window with a gravity held system handle rail that engage an exterior extruded integral screen track on the frame.

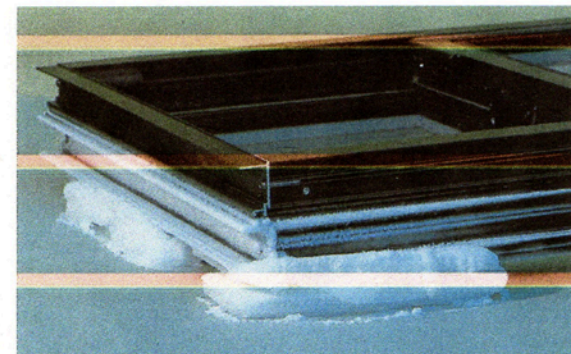
**HARDWARE:** Window is equipped with zinc die cast cam locks and keepers.

**BALANCES** are concealed, enclosed stainless steel, low friction operation. Both sashes tilt in and are removable via a locking tilt shoe located in each jamb track. Two stamped metal pivot bars located on the bottom of each sash couple the sash to the balance mechanism. **TILT LATCHES** allow both sashes to tilt in for cleaning and/or removal.

**WEATHERSEALS:** Two rows of center fin wool pile weather-stripping are used along the stiles of the sashes and along the meeting rail. One row of polypile weather-stripping is used on the bottom of the bottom sash along with one row of vinyl bulb seal at the frame sill.

**FINISHES:** All aluminum extrusions in master frame, sash, and screen are finish painted with an electrostatically applied enamel in a choice of three colors: White, Bronze, and Tan.

**OPERATION:** After installation, window shall operate smoothly with no binding of either sash. Both sashes shall tilt in easily for cleaning and/or removal. Sash locks shall positively engage the lock keepers when in closed and locked position.



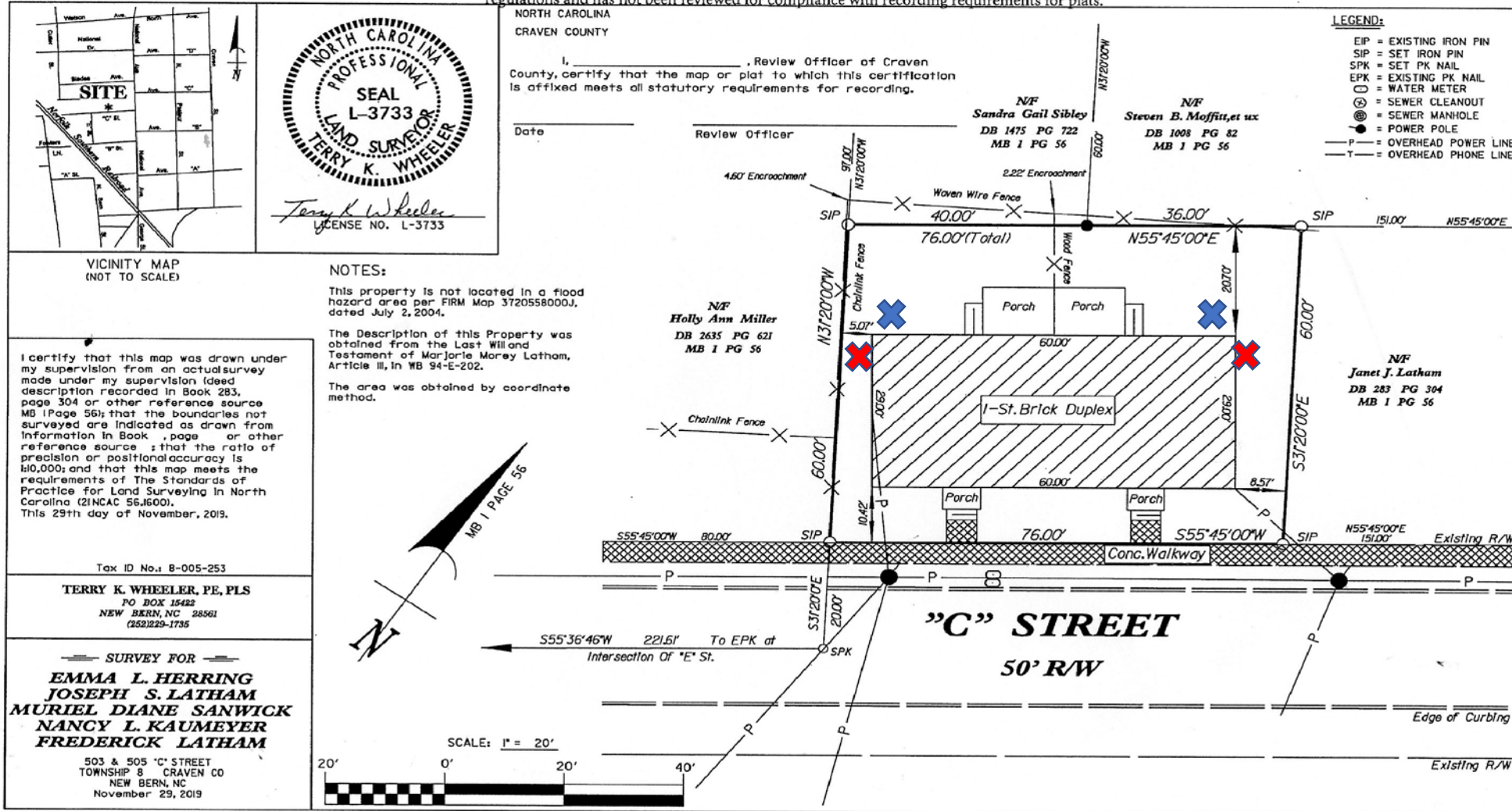
"The dry ice experiment above demonstrates the effectiveness of the thermal break in preventing cold from transferring to the inside of the window."

www.cwdnc.com



Exhibit B

This map may not be a certified survey and has not been reviewed by a local government agency for compliance with any applicable land development regulations and has not been reviewed for compliance with recording requirements for plats.



✕ AC units

✕ Natural gas meter

# Page 2-4/2.3

## Add outside AC units in back corners





Page 2-4/2.3 Add natural gas meter on side rear of house on each unit.



Refinish front doors, take down screen doors and replace outside fixtures.







## Zoning and Inspections Review of

### Application for Certificate of Appropriateness for Alterations in Historic District

Initial review of applications for certificates of appropriateness by the Zoning Administrator and Chief Building Inspector is intended to provide the applicant and Historic Preservation Commission with information related to compliance with local land use ordinance and building code. It does not represent a formal approval of a permit by any party and does not bind the decisions of Commission.

#### Application Address and Description:

503 – 505 C St. – removal of two brick vents, new asphalt roofing, replacing windows, refinishing front doors, painting wood handrails, new lighting, new HVAC units and fencing, and new gas meters.

**Zoning Administrator** please review the application and fill out all applicable items

Zoning District:

Required Setbacks (primary structure): Front  Side  Rear

Accessory Setbacks: From Nearest Structure  Side  Rear

Maximum Lot Coverage for proposed use:

Maximum Height of Structure:

Required Site Improvements: Landscaping  Buffer  Parking

Other requirements:

I have reviewed the application for proposed alterations to this property and have determined that it Meets \_\_\_ Does Not Meet \_\_\_ the requirements of the Land Use Ordinance.

Comments:

\_\_\_\_\_  
Zoning Administrator

**Chief Building Inspector** please review the application and include any comments below

The proposed project Will ☒ Will Not \_\_\_ require a building permit(s).

Comments:

\_\_\_\_\_  
Chief Building Inspector

## Certificate of Appropriateness Findings & Recommendations

HPC Meeting January 22, 2020

**Applicant:** Dan & Sandy Boutillier/Al Marino  
**Applicant Address:** 5724 Gondolier Dr., New Bern, NC 28560  
**Project Address:** 503-505 C St., New Bern, NC 28560  
**Historic Property Name:** N/A  
**Status:** **Contributing:** **Non-contributing:** X **Vacant Lot:**  
**NR Inventory Description:** none.

**503-505 C St.** – to include the removal of two brick vents, replacing asphalt roofing with new asphalt roofing, replacing wood windows with aluminum windows, refinishing the front doors, painting the wood handrailing, installing new lighting, installing new HVAC units and fencing, and installing new gas meters in the Primary, Secondary, and Tertiary AVCs.

**Staff submits the following Historic District Guidelines as appropriate to this application:**

**Utilities**

2.3.1, 2.3.6 (light fixtures)

**Modifications**

3.2.2

**Windows**

4.3.1, 4.3.3

**Entrances**

4.4.1

**Roofs**

4.5.1

**Paint**

5.4.1

**Contemporary Materials**

5.5.1, 5.5.2, 5.5.3

**Paint Maintenance**

6.1.11

**Statements of Reason**, based on the information contained in the application, in Staff's judgment are:

1. The project is located within the Primary, Secondary, and Tertiary AVCs;
2. The project does not conceal, damage, or remove significant design components or architectural features;
3. The project is not incongruous with the Guidelines.

### **MOTION**

**Staff recommends the Commission approve this application to include the removal of two brick vents, replacing asphalt roofing with new asphalt roofing, replacing wood windows with aluminum windows, refinishing the front doors, painting the wood handrailing, installing new lighting, installing new HVAC units and fencing, and installing new gas meters in the Primary, Secondary, and Tertiary AVCs, citing the aforementioned guidelines.**



**FEE SCHEDULE** (office use only)  
 [ ] \$22 Standard Application (minor)  
 [ ] \$107 Standard Application (major)



**HPC Administrator**  
[HPCadmin@newbern-nc.org](mailto:HPCadmin@newbern-nc.org)  
**Work: (252)639-7583**  
**Fax: (252)636-2146**

**Application for a Certificate of Appropriateness**  
*(For Alterations to Properties in Locally Designated Historic Districts)*

For assistance see "CoA Instructions", as well as "Historic District Guidelines", available online at:  
<http://www.newbern-nc.org/departments/development/historic-preservation/historic-preservation-guidelines/>

**Type of Project:** ☒ Exterior Alteration   ☐ Addition   ☐ Infill   ☐ Site Work   ☐ Other

**I. Applicant/Owner Information:**

Property Address (Include year built, if known): 216 Johnson Street (Built 1923)

Property Owner Name(s): Tom and Glenda Decker	Owner Mailing Address: 216 Johnson Street New Bern, NC 28560	Phone #'s: 252-631-3203	Email: trdecker67@gmail.com
Applicant Name (if different): GO Architectural Design, PLLC Sarah Afflerbach, AIA	Applicant Mailing Address: 1202A Pollock Street New Bern, NC 28560	Phone #'s: 252-633-0322	Email: sarah@goarchdesign.com

**II. Project Information:** *(See "CoA Instructions" & "Historic Guidelines" for help in completing this section)*

1. Provide a detailed description of work to be conducted on site: (Attach additional sheets if needed)

Install garage doors on existing openings and in fill existing rear opening with lap siding and solid door and wood windows on either side. Owner wants to secure space. Install 2' painted decorative metal on top of brick masonry wall in rear yard. Install painted decorative metal gates at entry points.

Continued on additional sheet or attached brochure ☐

2. Reference the specific Guideline(s) in the "Historic District Guidelines" which you believe apply to this project: (page and guideline number):

2.5.1, 2.5.3-4

Continued on additional sheet or attached brochure ☐

3. Provide a detailed description of materials to be used (copies of brochures, texture, etc.):

Reference the specific Guidelines in the Historic District Guidelines for the proposed material(s).

Metal garage doors, painted wood lap siding, painted wood door, 2'x3' wood windows, decorative metal fence and gates

Continued on additional sheet or attached brochure ☐

**III. Additional Information Provided: (See "CoA Instructions" for more detail)**

Plan(s) of Work, with: (please check all of those which are included with this application)

- ☐ Site plan (with annotated notes showing existing site and requested work)
- ☒ Photographs of the building and location where the proposed work will be completed
- ☐ Annotated notes or photos of materials to be used (samples may also be submitted)
- ☐ Floor plan with dimensions (for additions)
- ☐ Elevations with dimensions (for exterior additions or renovations)
- ☐ Supporting materials (brochures, photos of similar New Bern projects, estimates, etc.)
- ☒ Letter from owner acknowledging this application, in the case of submission by an applicant or lessee.

Please see Development Services Staff (Staff) prior to submittal for initial review of the application and advisement if additional information will be required before consideration at a Historic Preservation Commission hearing.

**Please read the following statements. Your signature below acknowledges that you have read the statements and attest to their accuracy:**

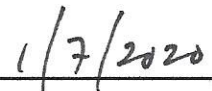
Check one:

- ☐ I am the owner of the Property, or
- ☒ I am acting on behalf of the owner of the property and I have attached a letter from the owner(s) indicating their knowledge of this application.

- ◆ I understand that submittal of this application does not constitute approval of proposed alterations.
- ◆ I understand that the approval of this application by City Staff or the New Bern Historic Preservation Commission (HPC) does not constitute approval of other federal, state, or local permit applications.
- ◆ I understand that I (or my representative) will need to attend the Hearing of this Application by HPC. No Applications shall be heard without a representative present and all applicable fees paid in full.
- ◆ I have reviewed the City of New Bern's "Historic District Guidelines" in preparing this Application.
- ◆ I understand that the property referenced by this Certificate of Appropriateness (CoA) application is in one of New Bern's local historic districts and that it represents a part of New Bern's historic fabric. If a CoA is approved by HPC or Staff, I agree to implement all changes as specified in the approved CoA, including any conditions. I understand that I am responsible for contacting Staff if I have any questions regarding the allowed changes specified in the approved CoA.
- ◆ I understand that ANY unapproved alterations are enforceable as a violation of City Ordinance and must be brought into compliance by removal or through the CoA process.
- ◆ I affirm that all the information included in this application is true to the best of my knowledge.
- ◆ I understand that incomplete applications cannot be considered.



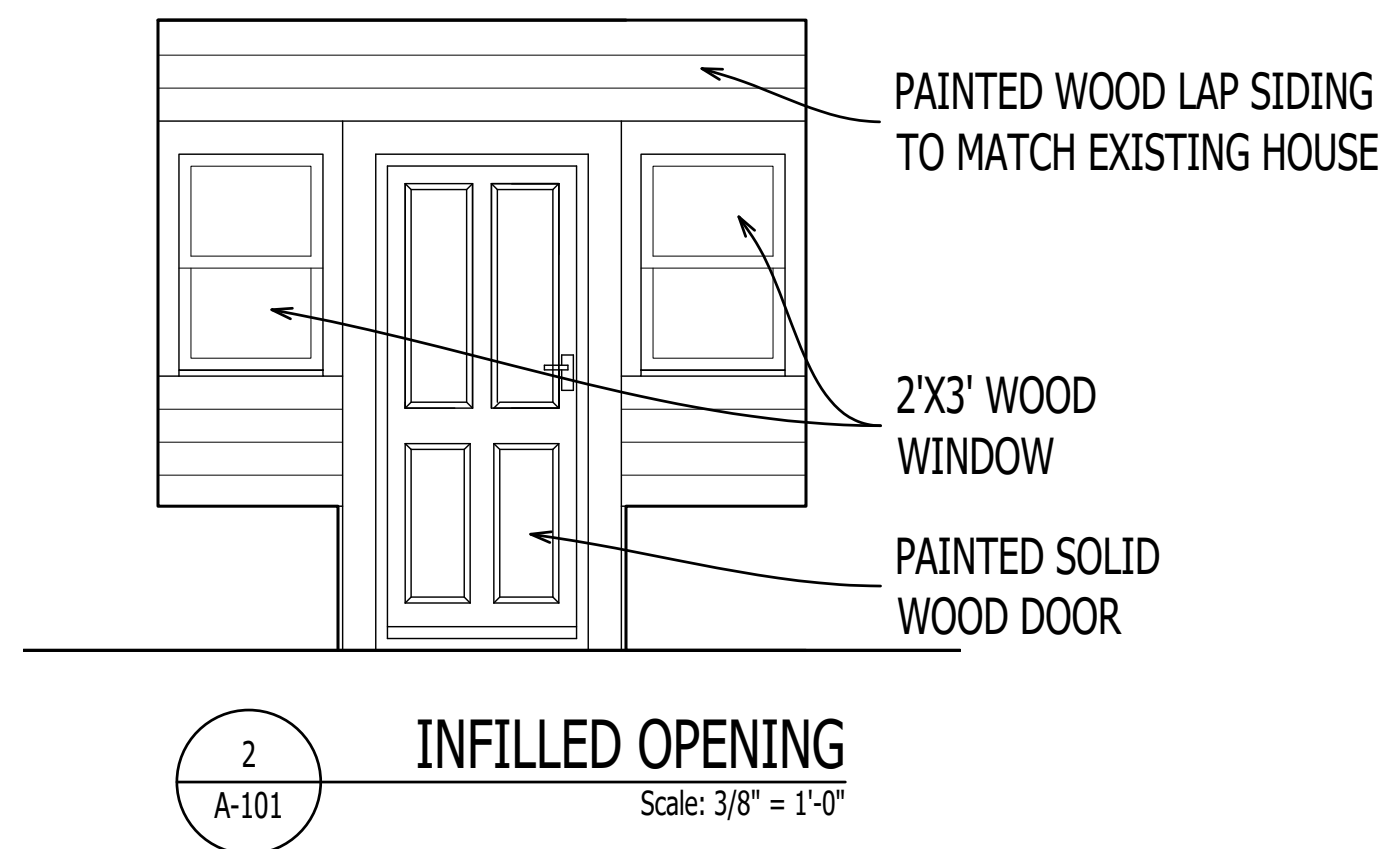
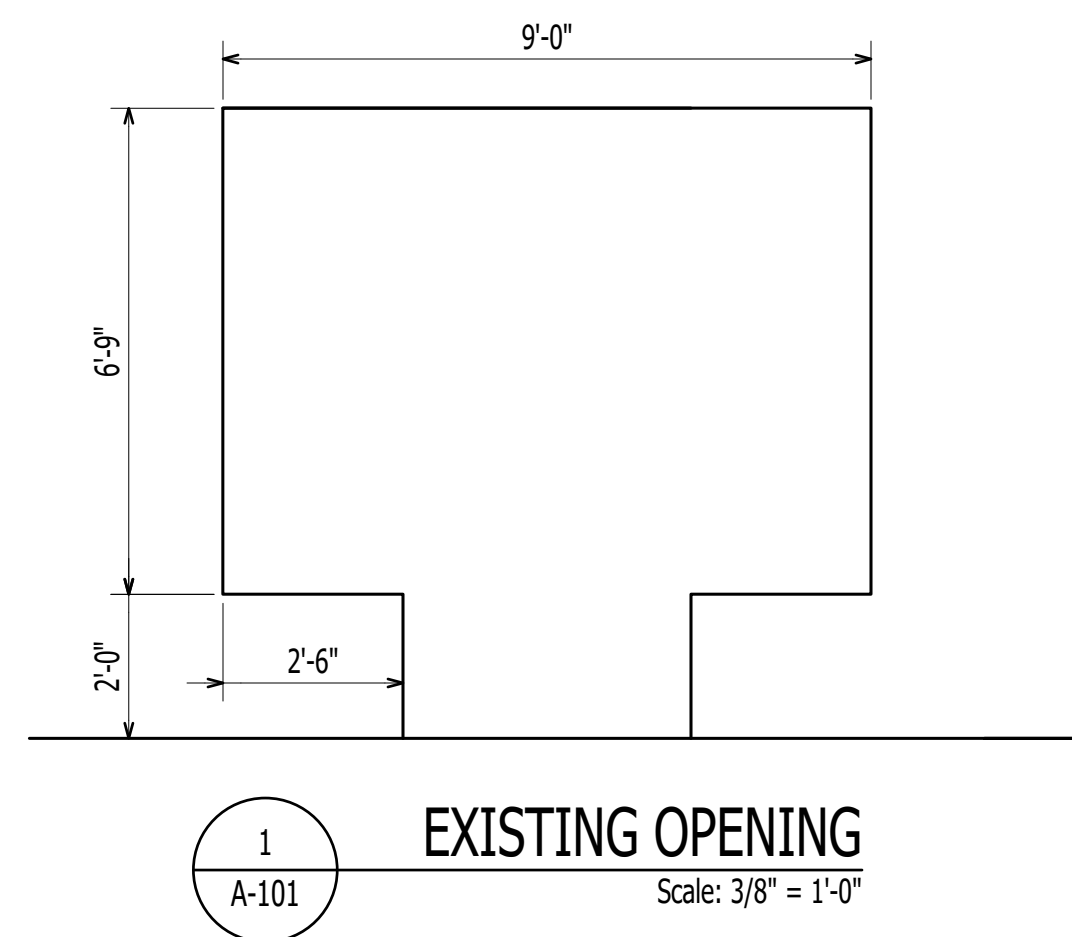
Signature of Applicant/Owner



Date

**APPLICATION SHOULD BE SUBMITTED TO THE DEVELOPMENT SERVICES MAIN OFFICE AT 303 FIRST ST. NO LESS THAN 2 WEEKS PRIOR TO UPCOMING MEETING. FOR FURTHER INFORMATION, CONTACT THE ADMINISTRATOR OF THE HISTORIC PRESERVATION COMMISSION AT (252) 639-7583.**





1202-A Pollock Street  
New Bern, NC 28560  
252-633-0322  
www.goarchdesign.com

**COPYRIGHT NOTE:**  
THESE PLANS ARE THE PROPERTY OF THE ARCHITECT. THESE PLANS CONTAIN PROPRIETARY INFORMATION OF GO ARCHITECTURAL DESIGN, PLLC. THEY ARE SUBJECT TO FEDERAL COPYRIGHT AND OTHER APPLICABLE FEDERAL AND STATE PROPERTY, TRADE AND RELATED LAWS. THESE PLANS, INCLUDING THE INFORMATION CONTAINED WITHIN, SHALL NOT BE SHARED, REPRODUCED, DISTRIBUTED OR USED IN ANY WAY WITHOUT WRITTEN CONSENT FROM THE ARCHITECT. ANY FAILURE TO OBTAIN SUCH CONSENT IS A VIOLATION OF LAW, AND MAY BE SUBJECT TO CIVIL AND CRIMINAL PROSECUTION AND PENALTIES.

Date: 01.07.2020

Revisions:

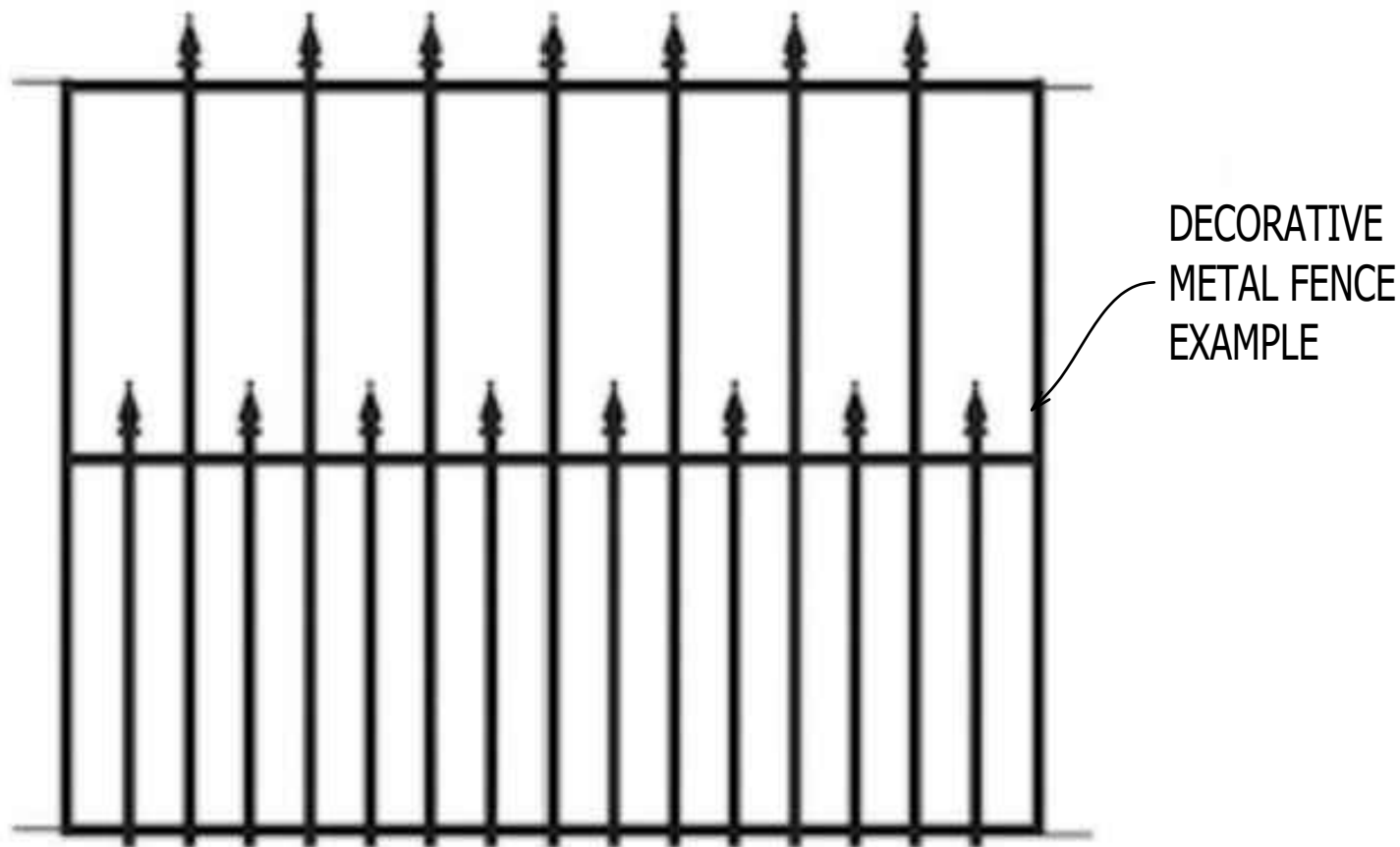
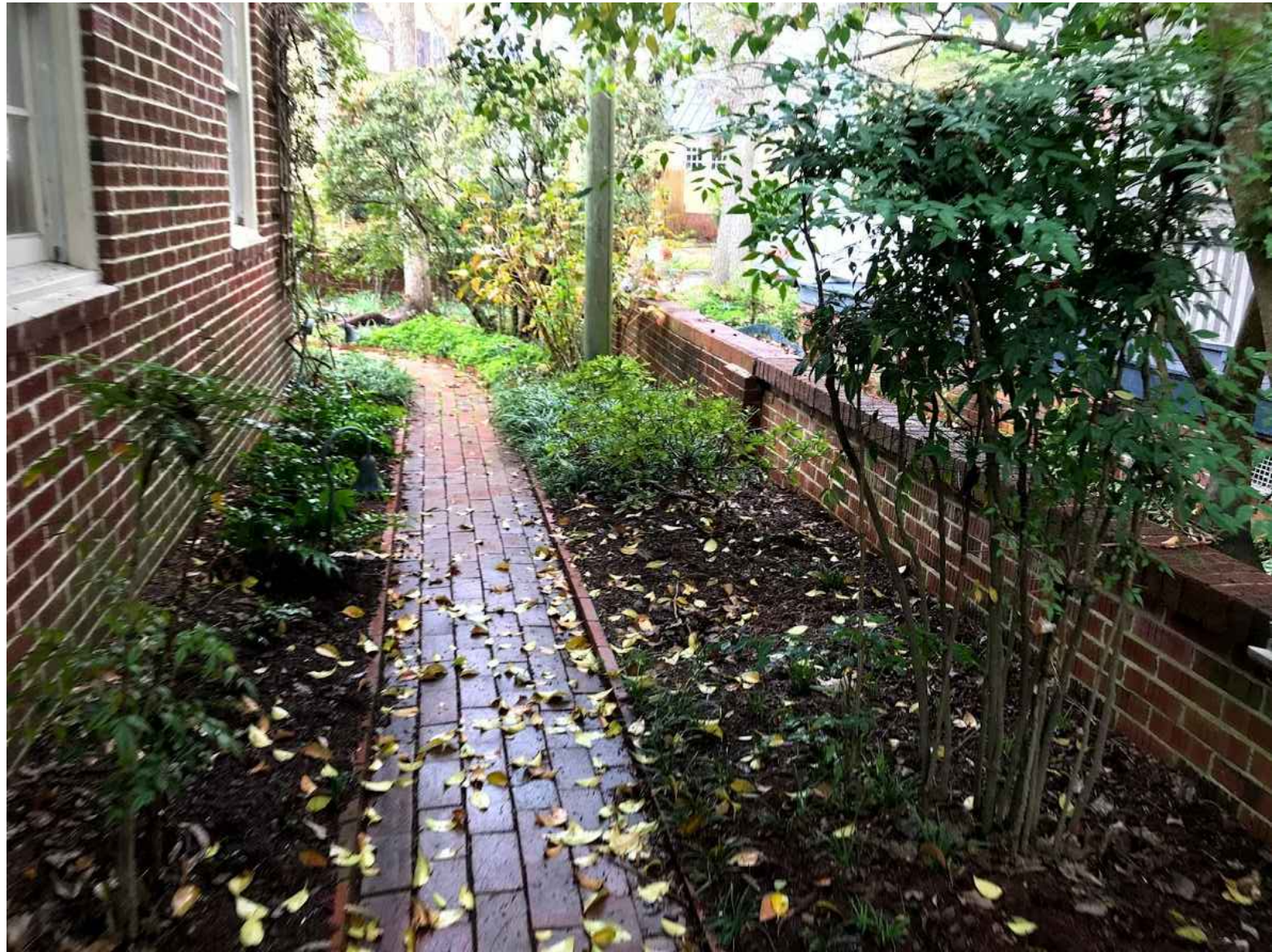
**DECKER RESIDENCE**  
216 JOHNSON STREET, NEW BERN, NC 28562

**A-101**

NEW PLAN

12 X 18 SHEETS ARE HALF SIZE









516 POLLOCK STREET



617 E. FRONT STREET



511 E. FRONT STREET



521 E. FRONT STREET



521 E. FRONT STREET

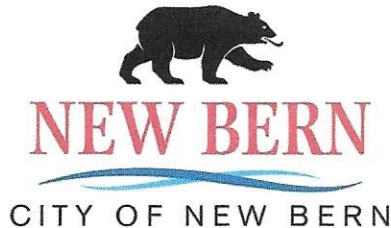


201 JOHNSON STREET



Aldermen

Sabrina Bengel  
Jameesha S. Harris  
Robert V. Aster  
Johnnie Ray Kinsey  
Barbara J. Best  
Jeffrey T. Odham



300 Pollock Street, P.O. Box 1129  
New Bern, NC 28563-1129  
(252) 636-4000

Dana E. Outlaw  
Mayor

Mark A. Stephens  
City Manager

**Petitioners requesting City of New Bern Historic Preservation Commission action on property not owned by them must have this form completed by the owner of the property.**

**CERTIFICATE OF APPROPRIATENESS OWNERS AUTHORIZATION**

Dear Sir or Madame:

I am the owner of the property located at:

216 Johnson St New Bern NC 28560  
(address, city, zip code)

I hereby authorize GO Architectural Design, PLLC to appear with my consent, before the City of New Bern Historic Preservation Commissioner in order to request a Certificate of Appropriateness for the property referenced above.

I authorize you to present this matter on my/our behalf as the owner(s) of the property.

If there are any questions, please contact me at the following address and phone number:

Thomas Decker Phone 703 899 5389  
631 3203

Thomas Decker  
Owner's Signature

THOMAS R DECKER  
Print Name

12/20/2019  
Date



Sworn to and subscribed before me this 20 day of December, 2019.

Eileen Ohannesian  
Notary Public: Eileen Ohannesian

My commission expires: 3/24/2023



## **Certificate of Appropriateness Findings & Recommendations**

HPC Meeting January 22, 2020

**Applicant:** Tom & Glenda Decker/Sarah Afflerbach, GO Architectural Design  
**Applicant Address:** 216 Johnson St., New Bern, NC 28560  
**Project Address:** 216 Johnson St., New Bern, NC 28560  
**Historic Property Name:** (Second) Dr. William L. Hand, Jr. House (1926)  
**Status:** **Contributing:** X **Non-contributing:** **Vacant Lot:**  
**NR Inventory Description:** two stories; brick; four bays wide with recessed porch in left bay; tall Flemish-gable entrance bay; gambrel roof; inset and shed dormers.

**216 Johnson St.** – to include installation of new metal garage doors in the Primary AVC, an infill section of garage wall with wood door, wood windows, and wood siding in the Tertiary AVC, and new decorative metal fencing and gates in the Secondary and Tertiary AVCs.

**Staff submits the following Historic District Guidelines as appropriate to this application:**

**Fences and Garden Walls**

2.5.1, 2.5.3, 2.5.4

**Modifications**

3.2.1, 3.2.2

**Windows, Doors, and Openings**

4.3.3

**Wood**

5.2.2

**Contemporary Materials**

5.5.1, 5.5.2, 5.5.3

**Statements of Reason**, based on the information contained in the application, in Staff's judgment are:

1. The project is located within the Primary, Secondary, and Tertiary AVCs;
2. The project does not conceal, damage, or remove significant design components or architectural features;
3. The project is not incongruous with the Guidelines.

### **MOTION**

**Staff recommends the Commission approve this application to include installation of new metal garage doors in the Primary AVC, an infill section of garage wall with wood door, wood windows, and wood siding in the Tertiary AVC, and new decorative metal fencing and gates in the Secondary and Tertiary AVCs, citing the aforementioned guidelines.**