



Development Services Department
303 First St. P.O. Box 1129
New Bern, NC 28563
(252) 639-7581

TO: New Bern Historic Preservation Commission
FROM: Matt Schelly, AICP, City Planner
DATE: August 6, 2020
RE: Regular Meeting, **5:30 PM, Wednesday, August 19, 2020**, in the Courtroom,
Second Floor, City Hall, 303 Pollock St.

REGULAR MEETING AGENDA – 5:30 PM

1. Opening of Meeting with Roll Call
2. Approval of Minutes of Previous Meeting(s)
3. Hearings on Certificates of Appropriateness:
 - A. Hearings: Introduction, Swearing-In, Summary of Process**
 - Introduction of Hearings and Rules of Procedure
 - Swearing-In of Speakers
 - Summary of the Hearing Process

Applications:

- B. 419 Metcalf St.** – to include installation and screening of a mechanical unit in the Primary AVC. – Motion to continue this item to September 16, 5:30, City Hall.
- C. 220 – 226 Craven St.** – to include removal of a non-contributing concrete block addition, site grading, installation of gravel parking area, replacement of interior doors with metal exterior doors, and removal of an overhead door, closing the opening with concrete block, and painting the block to match, all in the Tertiary AVC.
- D. 315A Pollock St.** – to include installation of new aluminum clad windows and doors in the balcony area on the second floor of the Tertiary AVC.
- E. 1223 National Ave.** – to include removing a deck, moving an hvac unit, constructing a new addition, a new screened-in porch, and new wood deck, railing, and steps in the Tertiary AVC.

Note: the applicants will be attending via remote access.

- F. 501 Craven St.** – to include a new addition to the existing garage in the Tertiary AVC, add a covered side porch to the house in the Secondary AVC, and create a new driveway entry with a new gate in the existing brick wall in the Primary AVC.
- G. 304 Queen St.** – to include construction of a new infill house.
- H. 801 E. Front St.** – to include construction of a new infill house.
- I. 417 Broad St.** – to include construction of a new accessory building in the Secondary AVC.
- J. 508 Middle St.** – to include construction of a new accessory building in the Tertiary AVC and replacement windows in the Primary and Tertiary AVCs.

**Please note that applications for these projects, including proposed plans, are available for review during normal business hours in the Development Services Department (303 First Street).*

4. General Public Comments

5. Guidelines Update Committee

A. Proposal by Committee – change Minor Works list

6. Old Business: None

7. New Business

A. SHPO Training – HPC group viewing recent and future

- i. Historic Architectural Styles of NC
- ii. NC African American Heritage Commission

8. HPC Administrator's Report

A. Report on COAs Issued Since Prior Regular Meeting (7/15/20 - 8/6/20)

MAJORS:

218 Metcalf St.
226 New St.
312 Metcalf St.
514 Metcalf St.
609 New St.
532 Queen St.
710 Howard St. (King Solomon Lodge)
902 Pollock St.

MINORS:

309 Johnson St.: tree replacement
401 Avenue D: tree replacement
817 Pollock St. – new generator
808 George St ROW – tree replacement

B. Other Items and Updates

- i. Resiliency Plan – report on kickoff video call with Historic Preservation consultant

9. Commissioners' Comments

10. Adjourn

FEE SCHEDULE (office use only)

- [] \$22 Standard Application (minor)
 [] \$107 Standard Application (major)



HPC Administrator
 HPCadmin@newbernnc.gov
 Work: (252) 639-7583
 Fax: (252) 636-2146

Application for a Certificate of Appropriateness

(For Alterations to Properties in Locally Designated Historic Districts)

For assistance, see "CoA Instructions," as well as "Historic District Guidelines," available online at:

<https://www.newbernnc.gov> Go to: Departments, Development Services, then:

- For the CoA Instructions: Document Center, Alphabetical Listing, Certificate of Appropriateness – Instructions for COA application
- For the Historic District Guidelines: Historic Preservation, HPC Guidelines, Historic District Guidelines

Type of Project: ☒ Exterior Alteration ☐ Addition ☐ Infill ☐ Site Work ☐ Other

I. Applicant/Owner Information:

Property Address (Include year built, if known):

419 Metcalf Street Built in 1770

Property Owner Name(s):	Owner Mailing Address:	Phone #s:	Email:
Chris Mcgrath Cher Durham	419 Metcalf Street	919-614-7121	cpmgrath803@gmail.com
Applicant Name (if different):	Applicant Mailing Address:	Phone #s:	Email:

II. Project Information: (See "CoA Instructions" & "Historic Guidelines" for help in completing this section)

1. Provide a detailed description of work to be conducted on site: (Attach additional sheets if needed)
 Mini split installation and covering of line sets on the exterior of the house. The mini splits will efficiently cool and heat the house with minimal disruption to the exterior appearance. The condenser units are screened from street visibility. The contractor required the unit be located at the street side due to the room location.

Continued on additional sheet or attached brochure ☐

2. Reference the specific Guideline(s) in the "Historic District Guidelines" which you believe apply to this project: (only need the guideline numbers): 2.3.1, 2.3.2

Continued on additional sheet or attached brochure ☐

3. Provide a detailed description of materials to be used (copies of brochures, texture, etc.):

Reference the specific Guidelines in the Historic District Guidelines for the proposed material(s).

Vinyl, line set covers
 Please see attached. Plants
 to screen the condenser unit.

Continued on additional sheet or attached brochure ☒

III. Additional Information Provided: (See "CoA Instructions" for more detail)

Plan(s) of Work, with: (please check all of those which are included with this application)

- ☐ Site plan (with annotated notes showing existing site and requested work)
- ☒ Photographs of the building and location where the proposed work will be completed
- ☒ Annotated notes or photos of materials to be used (samples may also be submitted)
- ☐ Floor plan with dimensions (for additions)
- ☐ Elevations with dimensions (for exterior additions or renovations)
- ☐ Supporting materials (brochures, photos of similar New Bern projects, estimates, etc.)
- ☐ Letter from owner acknowledging this application, in the case of submission by an applicant or lessee.

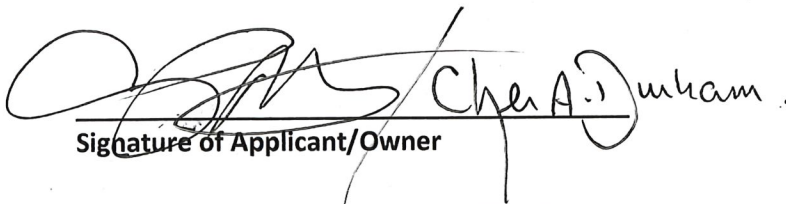
Please see Development Services Staff (Staff) prior to submittal for initial review of the application and advisement if additional information will be required before consideration at a Historic Preservation Commission hearing.

Please read the following statements. Your signature below acknowledges that you have read the statements and attest to their accuracy:

Check one:

- ☒ I am the owner of the Property, or
- ☐ I am acting on behalf of the owner of the property and have attached the notarized authorization form indicating the owner(s) consent to represent them for this application.

- ◆ I understand that submittal of this application does not constitute approval of proposed alterations.
- ◆ I understand that the approval of this application by City Staff or the New Bern Historic Preservation Commission (HPC) does not constitute approval of other federal, state, or local permit applications.
- ◆ I understand that I (or my representative) will need to attend the Hearing of this Application by HPC. No Applications shall be heard without a representative present and all applicable fees paid in full.
- ◆ I have reviewed the City of New Bern's "Historic District Guidelines" in preparing this Application.
- ◆ I understand that the property referenced by this Certificate of Appropriateness (CoA) application is in one of New Bern's local historic districts and that it represents a part of New Bern's historic fabric. If a CoA is approved by HPC or Staff, I agree to implement all changes as specified in the approved CoA, including any conditions. I understand that I am responsible for contacting Staff if I have any questions regarding the allowed changes specified in the approved CoA.
- ◆ I understand that ANY unapproved alterations are enforceable as a violation of City Ordinance and must be brought into compliance by removal or through the CoA process.
- ◆ I affirm that all the information included in this application is true to the best of my knowledge.
- ◆ I understand that incomplete applications cannot be considered.


Signature of Applicant/Owner

5/26/2020

Date

APPLICATION SHOULD BE SUBMITTED TO THE DEVELOPMENT SERVICES MAIN OFFICE AT 303 FIRST ST.. FOR A MAJOR PROJECT, SUBMITTAL AND FEE PAYMENT MUST BE NO LESS THAN 2 WEEKS PRIOR TO THE UPCOMING HPC REGULAR MEETING. FOR FURTHER INFORMATION, CONTACT THE HISTORIC PRESERVATION COMMISSION ADMINISTRATOR AT (252) 639-7583.

To Whom It May Concern:

The mini-split HVAC systems installed at 419 Metcalf street, New Bern have the following line set limitations set by the manufacturer.

The 9,000 BTU capacity units cooling and heating the upstairs and downstairs bedrooms have a minimum copper line length guideline of 10 feet. The maximum line set length is 50 feet. The length from side of the house to the other condenser unit on the back of the house is 65 feet.

The length from the front of the house to the side condenser unit is 70 feet.

The structural layout of the rooms dictated the placement of the indoor units and therefore the line sets that extend out of the interior.

This necessitated the placement of the condenser unit on the front of the house behind the bushes.

The placement of this unit within the limitations of the manufacturer guidelines was also made due to the ability to completely screen it from view with the strategic placement of natural bushes that are evergreen.

Thank you,



Daniel J. Cushine

HVAC Contractor

910-545-3983



Chris McGrath

Homeowner

919-614-7121









The
Clark House
circa 1870
Private Residence

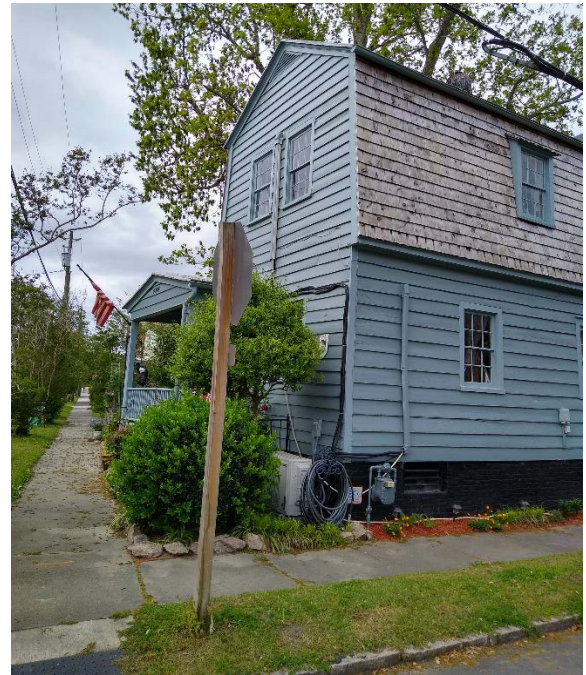
419





419 Metcalf

Staff photos taken 2020-04-27: HVAC Unit Situation Investigation



Matthew Schelly

From: chris mcgrath <cpmcgrath803@gmail.com>
Sent: Monday, August 3, 2020 4:03 PM
To: Matthew Schelly
Subject: Fwd: Chris McGrath 419 Metcalf St New Bern, NC 28560

Matt,

Here is the letter from my HVAC guy for Weds meeting. Please forward to the HPC group.

Chris Mcgrath

Begin forwarded message:

From: Capital Comfort <capitalcomfort@ymail.com>
Subject: Chris McGrath 419 Metcalf St New Bern, NC 28560
Date: August 3, 2020 at 2:33:47 PM EDT
To: "cpmcgrath803@gmail.com" <cpmcgrath803@gmail.com>

My name is D. Thomas Crain, a mechanical contractor in the triangle area. I have had my license for almost 25 years and I own a company by the name of Capital Comfort.

I met Mr. McGrath when he lived in Cary, NC.

I have viewed the line-set for the mini split system and offer the following thoughts.

Removing the hand hewn, very old siding and attempting to get the line-set behind the siding would potentially damage the siding.

Another option would be to go within the wall from inside the home. This option could expose formidable obstacles due to the extreme age.

To go through the interior wall you would need to go through the floor support in order to get into the room below and again to get into the basement/crawlspace area. This could damage the structural integrity. I am not comfortable doing so. It is my recommendation to leave the line-set as is giving the extreme age of the home and wanting to preserve as much of it as possible.

Sincerely,
D. Thomas Crain
owner
Capital Comfort LLC

Capital Comfort, LLC "Your heating and cooling specialist" Office: (919) 779-5950

NOTE: Please be advised, City of New Bern email addresses changed to user@newbernnc.gov as of October 23rd 2018. Please update your address book accordingly. Thank you for your assistance with this change. -----

----- If you are not the intended recipient, you must destroy this message and inform the sender immediately. This electronic mail message and any attachments, as well as any electronic mail message(s) sent in response to it may be considered public record and as such subject to request and review by anyone at any time. It also may contain information which is confidential within the meaning of applicable federal and state laws.



Zoning and Inspections Review of

Application for Certificate of Appropriateness for Alterations in Historic District

Initial review of applications for certificates of appropriateness by the Zoning Administrator and Chief Building Inspector is intended to provide the applicant and Historic Preservation Commission with information related to compliance with local land use ordinance and building code. It does not represent a formal approval of a permit by any party and does not bind the decisions of Commission.

Application Address and Description:

419 Matcalf St. - installation & screening of a mechanical unit in the front yard.

Zoning Administrator please review the application and fill out all applicable items

Zoning District: R-8

Required Setbacks (primary structure): ^{2x} Front 51m. Side 5' Rear 6'

Accessory Setbacks: From Nearest Structure 8' Side 3' Rear 3'

Maximum Lot Coverage for proposed use: 60%

Maximum Height of Structure: 50'

Required Site Improvements: Landscaping — Buffer — Parking —

Other requirements:

I have reviewed the application for proposed alterations to this property and have determined that it Meets X Does Not Meet _____ the requirements of the Land Use Ordinance.

Comments:

_____ Zoning Administrator [Signature] 6/12/2020

Chief Building Inspector please review the application and include any comments below

The proposed project Will X Will Not _____ require a ^{Mechanical} ~~building~~ permit(s).

Comments:

_____ Chief Building Inspector [Signature] 6/12/2020

Certificate of Appropriateness Findings & Recommendations

HPC Regular Meeting - June 2020

Applicant: Chris McGrath & Cher Durham

Applicant Address: 419 Metcalf St., New Bern, NC 28560

Project Address: 419 Metcalf St., New Bern, NC 28560

Historic Property Name: Clark-Welsh House

Status: **Contributing:** X **Non-contributing:** **Vacant:**

NR Inventory Description (2003): (c. 1800) Two stories with steep gambrel roof; two bays wide, three bays deep; entrance in left front bay; one-story, gable-end wing on north side of main block abuts exterior end chimney.

Sandbeck Description (1988): The Clark House, 419 Metcalf St., ca. 1800.

The Clark house is distinguished from New Bern's other surviving vernacular gambrel-roofed dwellings by its uncommon plan, diminutive scale, and extremely vertical roofline.

The charming original configuration of the house is still discernable beneath the twentieth-century additions of a small room on the south slope of the gambrel, and a front portico. The single-pile structure, covered with both beaded and plain weatherboards, has six-over-six Sash, and at the west end a large exterior chimney, the latter recently rebuilt. Most of the windows and dormers are [a]symmetrically positioned, reflecting the irregular plan within. Extending to the west is a one-story gable-roofed addition dating from the second half of the nineteenth century. The one-story shed-roofed passage along the south side is enigmatic; it is most likely either an original porch which was later enclosed, or an original enclosed area intended to provide the necessary covered circulation between the first floor rooms and the stair which rises from a doorway opening onto the passage. The location of the one-story rear wing and the presence of a fireplace for that room in the main chimney suggest that this wing may have replaced an original one-story shed kitchen in that location, much like the arrangement seen at the Osgood Cottage.

419 Metcalf St. – to include installation and screening of a mechanical unit in the Primary AVC. This is an after-the-fact application.

Staff submits the following Historic District Guidelines as appropriate to this application:

Utilities

- 2.3.1 Locate equipment in Secondary and Tertiary AVCs and screen items from public view with vegetation, fencing and similar site constructions.
- 2.3.2 Paint equipment and exposed utilities to compliment mounting surfaces and reduce their visibility.

Modifications

- 3.2.1 Select materials that are consistent with the structure. Limit the palette to those materials that were available at the time a building was originally constructed.
- 3.2.2 Modifications to a structure should not conceal, damage or remove significant design components or architectural features.

Statements of Reason, based on the information contained in the application, in Staff's judgment are:

1. The project is site work within the Primary AVC;

Certificate of Appropriateness Findings & Recommendations

HPC Regular Meeting - June 2020

2. The proposed design, components, and materials do not meet the requirements of the Guidelines;
3. The Zoning Administrator and the Chief Building Official have reviewed this project and commented accordingly;
4. The project, as it exists, is incongruous with the Guidelines.

MOTION

Staff recommends the Commission approve, with conditions, this application to include: installation and screening of a mechanical unit in the Primary AVC, citing the aforementioned guidelines. The conditions for approval that we recommend are:

- 1) ensure current and subsequent owners will maintain full screening of the HVAC unit, and submit such documentation to the HPC Administrator,**
- 2) relocate the line sets to minimize visual impact on the structure, and**
- 3) both of the aforementioned recommendations are to be achieved within 6 months of this meeting.**

If the applicants are not agreeable to these conditions, we recommend denial of the application and the applicant will need to obtain an appropriate CoA by moving the HVAC unit to a compliant location and locating the line sets as approved by the HPC at that time.

FILE COPY

FEE SCHEDULE (office use only)
 [] \$22 Standard Application (minor)
 [] \$27 Standard Application (major)
 [X] \$107 Project Requiring Design Review*
 *projects exceeding a cost of \$10,000 or new construction projects over 1,000 square feet.



Kevin Robinson, HPC Administrator
 robinsonk@newbern-nc.org
 Work: (252) 639-7583
 Fax: (252) 636-2146

Application for a Certificate of Appropriateness
 (For Alterations to Properties in Locally Designated Historic Districts)

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<http://www.newbern-nc.org/departments/development/historic-preservation/historic-preservation-guidelines/>

Type of Project: ☒ Exterior Alteration ☐ Addition ☐ Infill ☐ Site Work ☒ Other

I. Applicant/Owner Information:			
Property Address (Include year built, if known): 224 Craven St., New Bern, (Rear unheated CMU block storage building Circa 1950)			
Property Owner Name(s): JKB Associates Limited Partnership	Owner Mailing Address: P.O. Box 1169 New Bern, NC 28563	Phone #'s: 252-638-8300	Email: haroldsonproperties@embarqmail.com
Applicant Name (if different): Lucien Vaughn Tarheel Associates, Inc.	Applicant Mailing Address: P.O. Box 12666 New Bern, NC 28561	Phone #'s: 252-633-6452	Email: Lucien@tarheelassociates.com

II. Project Information: (See "CoA Instructions" & "Historic Guidelines" for help in completing this section)
<p>1. Provide a detailed description of work to be conducted on site: (Attach additional sheets if needed)</p> <p>Demolish existing one-story unheated CMU block storage building in Tertiary AVC. Non-contributing.</p> <p>Grade site under demolished building with gravel for generalized parking.</p> <p>Remove overhead door in adjacent building. Infill door opening with CMU masonry. Paint wall.</p> <p>Replace in-kind one (1) 6070 metal door and frame in adjacent building.</p> <p style="text-align: right;">Continued on additional sheet or attached brochure <input type="checkbox"/></p>
<p>2. Reference the specific Guideline(s) in the "Historic District Guidelines" which you believe apply to this project: (page and guideline number): <u>Guidelines for Evaluating Demolition</u></p> <p>6.4.1 It is not appropriate to demolish a viable contributing structure for the sole purpose of creating an infill opportunity.</p> <p>6.4.2 Consider the historical, cultural, and architectural significance of the structure: * Is there documentation that it is 50 years of age or older? Continued on additional sheet or attached brochure <input type="checkbox"/></p>
<p>3. Provide a detailed description of materials to be used (copies of brochures, texture, etc.):</p> <p>Reference the specific Guidelines in the Historic District Guidelines for the proposed material(s).</p> <p style="text-align: center;">N/A</p> <p style="text-align: right;">Continued on additional sheet or attached brochure <input type="checkbox"/></p>

III. Additional Information Provided: (See "CoA Instructions" for more detail)

Plan(s) of Work, with: (please check all of those which are included with this application)

- ☒ Site plan (with annotated notes showing existing site and requested work)
- ☒ Photographs of the building and location where the proposed work will be completed
- ☐ Annotated notes or photos of materials to be used (samples may also be submitted)
- ☒ Floor plan with dimensions (for additions)
- ☐ Elevations with dimensions (for exterior additions or renovations)
- ☐ Supporting materials (brochures, photos of similar New Bern projects, estimates, etc.)
- ☒ Letter from owner acknowledging this application, in the case of submission by an applicant or lessee.

Please see Development Services Staff (Staff) prior to submittal for initial review of the application and advisement if additional information will be required before consideration at a Historic Preservation Commission hearing.

Please read the following statements. Your signature below acknowledges that you have read the statements and attest to their accuracy:

Check one:

- ☐ I am the owner of the Property, or
- ☒ I am acting on behalf of the owner of the property and I have attached a letter from the owner(s) indicating their knowledge of this application.

- ◆ I understand that submittal of this application does not constitute approval of proposed alterations.
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- ◆ I have reviewed the City of New Bern's "Historic District Guidelines" in preparing this Application.
- ◆ I understand that the property referenced by this Certificate of Appropriateness (CoA) application is in one of New Bern's local historic districts and that it represents a part of New Bern's historic fabric. If a CoA is approved by HPC or Staff, I agree to implement all changes as specified in the approved CoA, including any conditions. I understand that I am responsible for contacting Staff if I have any questions regarding the allowed changes specified in the approved CoA.
- ◆ I understand that ANY unapproved alterations are enforceable as a violation of City Ordinance and must be brought into compliance by removal or through the CoA process.
- ◆ I affirm that all the information included in this application is true to the best of my knowledge.
- ◆ I understand that incomplete applications cannot be considered.


Signature of Applicant/Owner

February 18, 2019

Date

APPLICATION SHOULD BE SUBMITTED TO THE DEVELOPMENT SERVICES MAIN OFFICE AT 303 FIRST ST. NO LESS THAN 2 WEEKS PRIOR TO UPCOMING MEETING. FOR FURTHER INFORMATION, CONTACT THE ADMINISTRATOR OF THE HISTORIC PRESERVATION COMMISSION AT (252) 639-7583.

Petitioners requesting City of New Bern Historic Preservation Commission action on property not owned by them must have this form completed by the owner of the property.

CERTIFICATE OF APPROPRIATENESS OWNERS AUTHORIZATION

Dear Sir or Madame:

I am the owner of the property located at:

224 Craven St., New Bern, NC 28560

(address, city, zip code)

I hereby authorize Lucien Vaughn w/Tarheel Associates, Inc. to appear with my consent, before the City of New Bern Historic Preservation Commissioner in order to request a Certificate of Appropriateness for the property referenced above.

I authorize you to present this matter on my/our behalf as the owner(s) of the property.

If there are any questions, please contact me at the following address and phone number:

224 Craven St., New Bern, NC 28560

Phone 252-514-7392


Owner's Signature

JKB Associates LTD Limited Partnership
Print Name

Date

8/3/20


Sworn to and subscribed before me this

3rd

day of

August

, 20 20

Sandra K Datta
Notary Public:

My commission expires:

6-22-2024



Craven County GIS 8-001-B-184

Craven County does NOT warrant the information shown on this map and should be used ONLY for tax assessment purposes. Printed on February 4, 2019 at 12:50:43 PM



1 inch = 98 feet



1/8"=1'-0"

DATE: 2-6-19

DRAWN BY: T.E. CREEDLE

SCALE:

1/8"=1'-0"

DATE: 2-6-19

DRAWN BY: T.E. CREEDLE

OLD CITY HALL

NEW BERN, N.C.

DRAWING NUMBER

FAHHEEL ASSOCIATES

BUILDING CONTRACTORS

FAHHEEL ASSOCIATES

BUILDING CONTRACTORS

FAHHEEL ASSOCIATES

BUILDING CONTRACTORS

Architectural drawing of the First Floor Plan of Old City Hall, New Bern, N.C. The drawing shows the layout of the building, including rooms, corridors, and structural elements. The plan is oriented with North at the top, East on the right, and West on the left. The building is divided into several sections, with dimensions and construction details provided for each section.

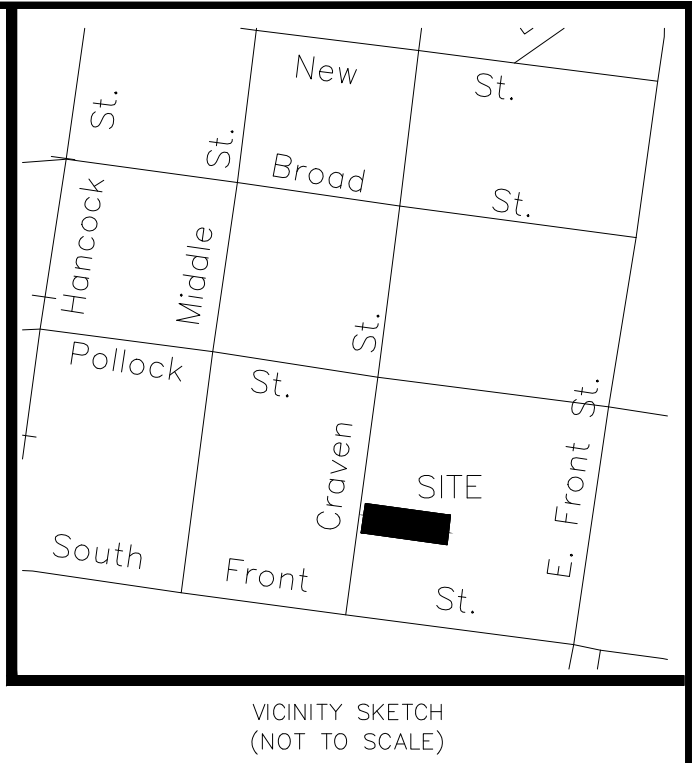
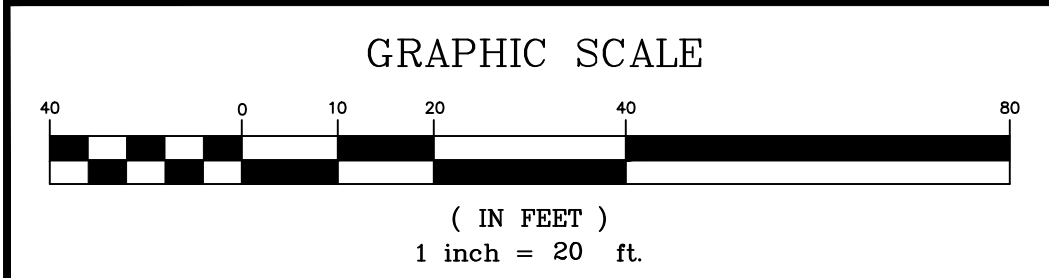
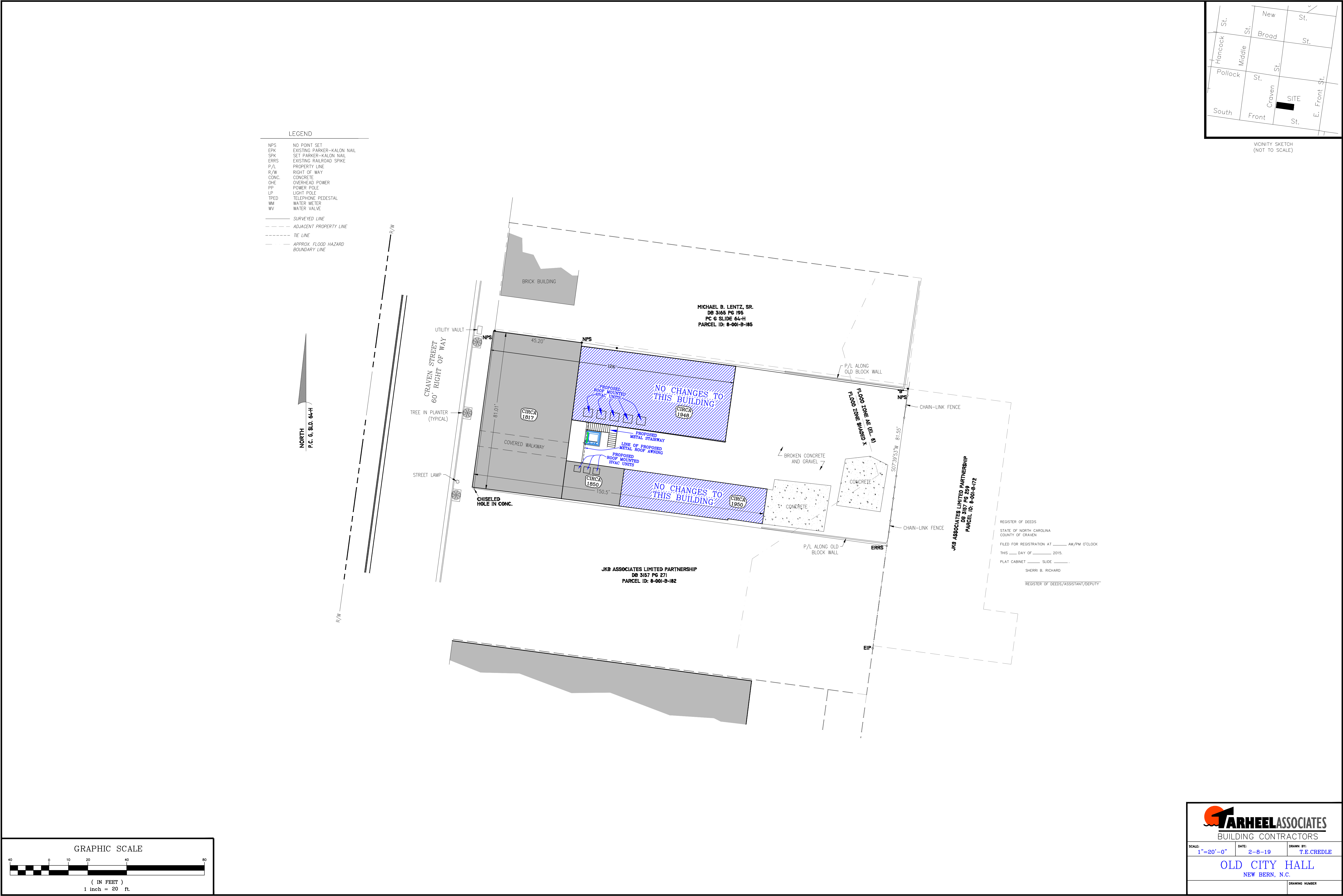
First Floor Plan Details:

- Overall Dimensions:** The building is approximately 100 feet wide and 150 feet deep.
- Rooms and Spaces:** The plan includes a large central hall, several smaller rooms, and a staircase. A large room on the right side is labeled "1,028 SQ. FT." and is noted as "BUILDING TO BE DEMOLISHED".
- Construction Details:** The drawing indicates the construction of different parts of the building, such as "1-STORY BUILT CIRCA 1960" and "3-STORY BUILT CIRCA 1917".
- Annotations:** Specific notes include "REPLACE EXISTING METAL DOOR WITH HM DOOR & FRAME", "REMOVE EXISTING OVERHEAD DOOR. IN-FILL WITH IN-KIND CMU. PAINT NEW CMU ON INTERIOR AND EXTERIOR.", and "TWICE-AS-NICE" in several areas.






Google



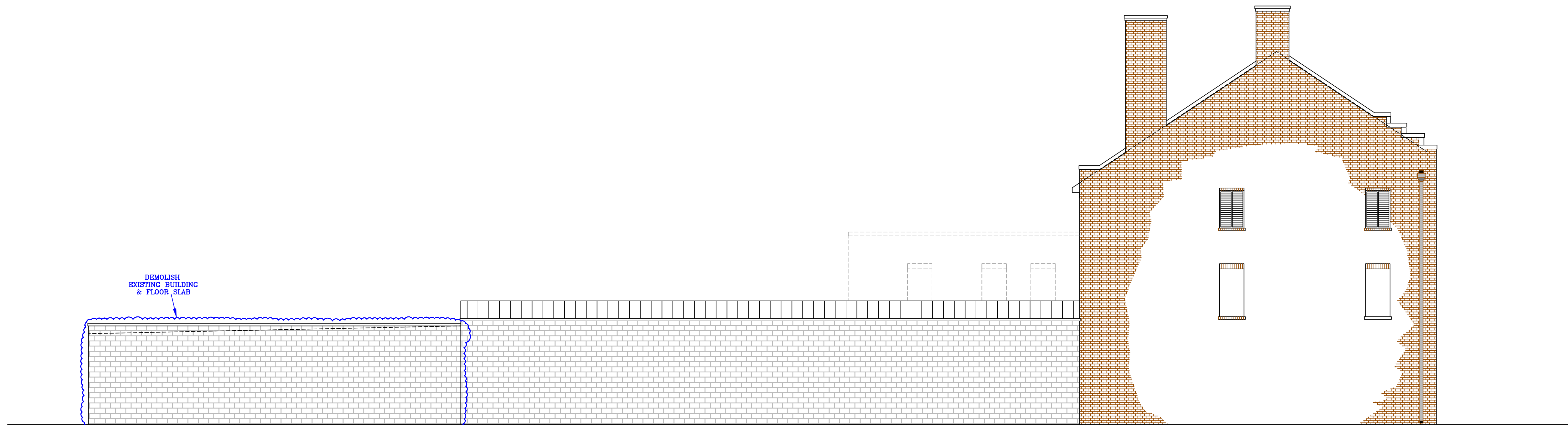
LEGEND

NPS	NO POINT SET
EPK	EXISTING PARKER-KALON NAIL
SPK	SET PARKER-KALON NAIL
ERRS	EXISTING RAILROAD SPIKE
P/L	PROPERTY LINE
R/W	RIGHT OF WAY
CONC.	CONCRETE
OHE	OVERHEAD POWER
PP	POWER POLE
LP	LIGHT POLE
TPED	TELEPHONE PEDESTAL
WM	WATER METER
WV	WATER VALVE
---	SURVEYED LINE
---	ADJACENT PROPERTY LINE
---	TIE LINE
---	APPROX. FLOOD HAZARD BOUNDARY LINE

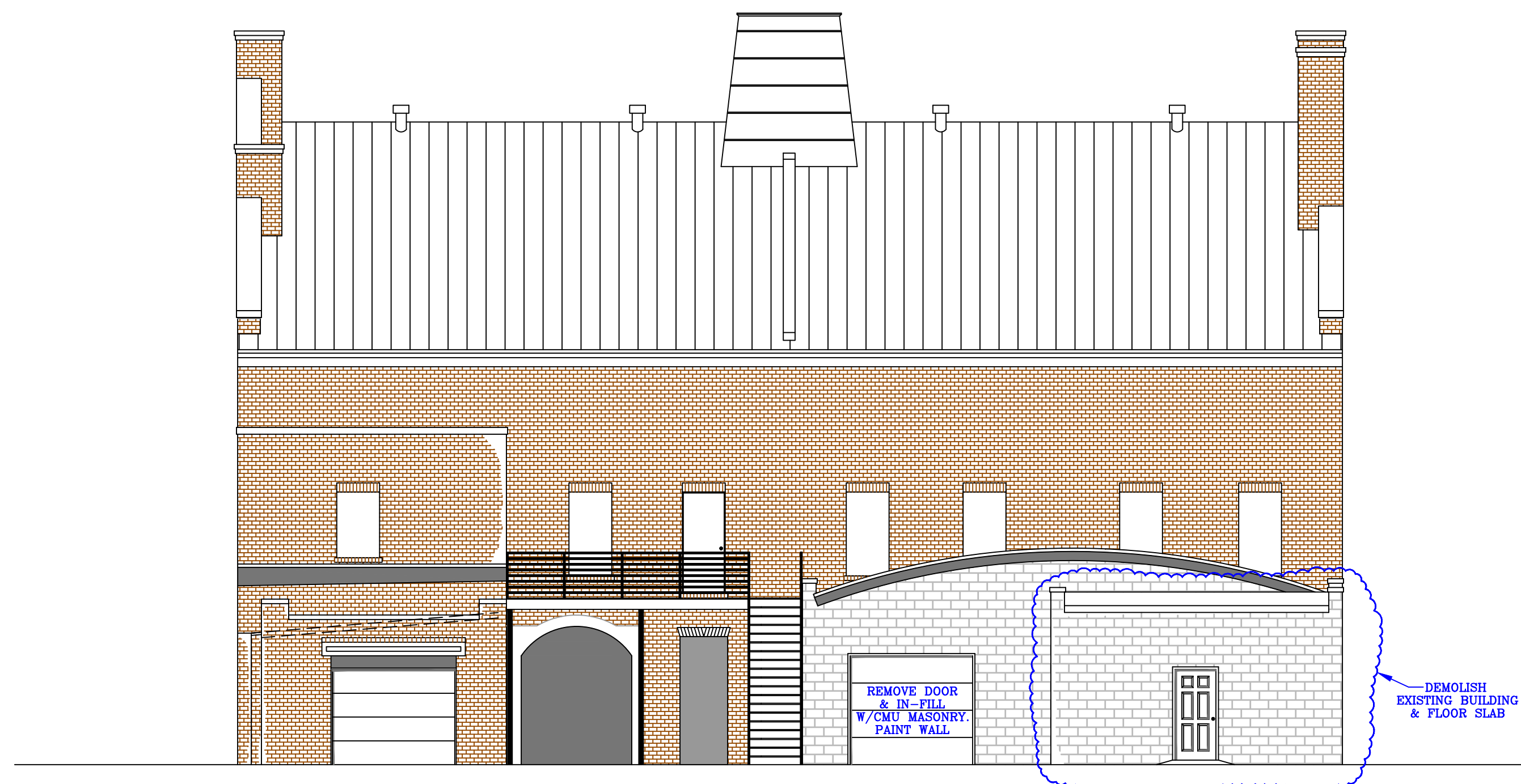
REGISTER OF DEEDS
STATE OF NORTH CAROLINA
COUNTY OF CRAVEN
FILED FOR REGISTRATION AT ____ AM/PM O'CLOCK
THIS ____ DAY OF ____ 2015.
PLAT CABINET ____ SLIDE ____
SHERRI B. RICHARD
REGISTER OF DEEDS/ASSISTANT/DEPUTY

**TARHEELASSOCIATES**
BUILDING CONTRACTORS

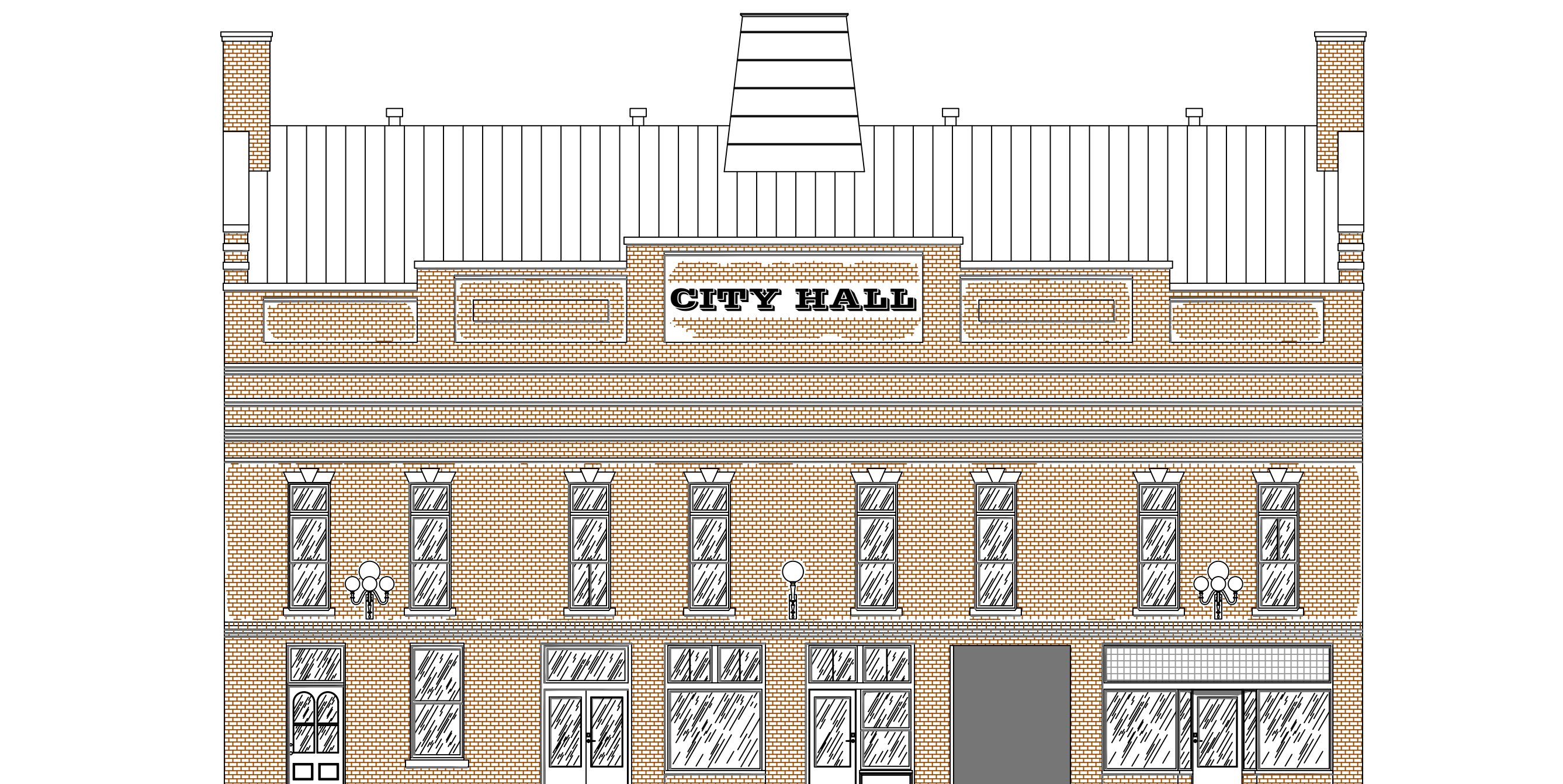
SCALE: 1"=20'-0"	DATE: 2-8-19	DRAWN BY: T.E.CREDLE
OLD CITY HALL NEW BERN, N.C.		
		DRAWING NUMBER



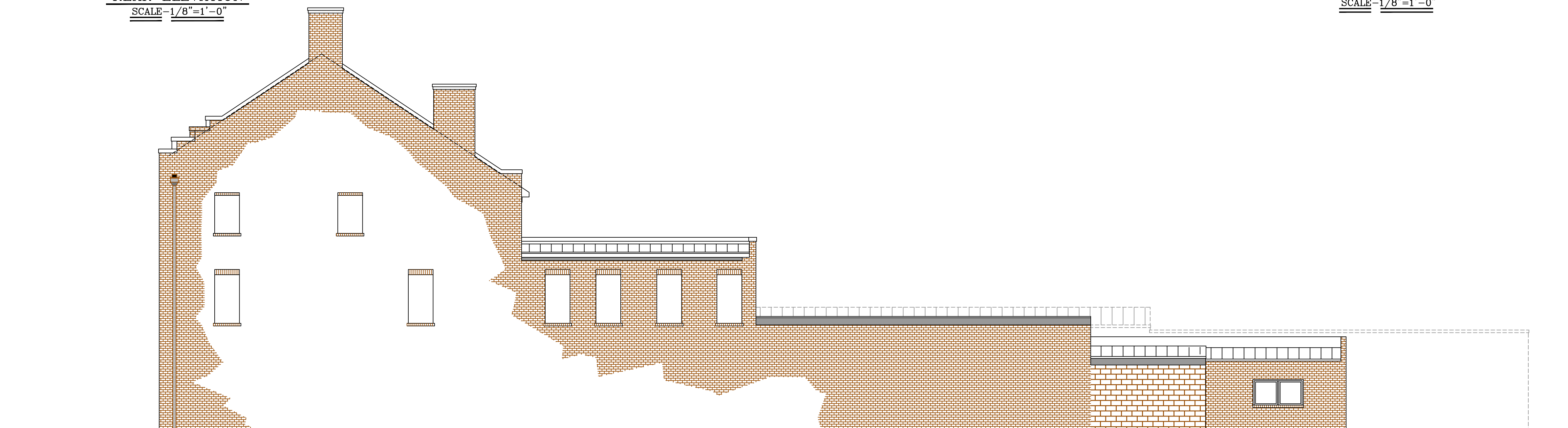
LEFT ELEVATION
SCALE-1/8"=1'-0"



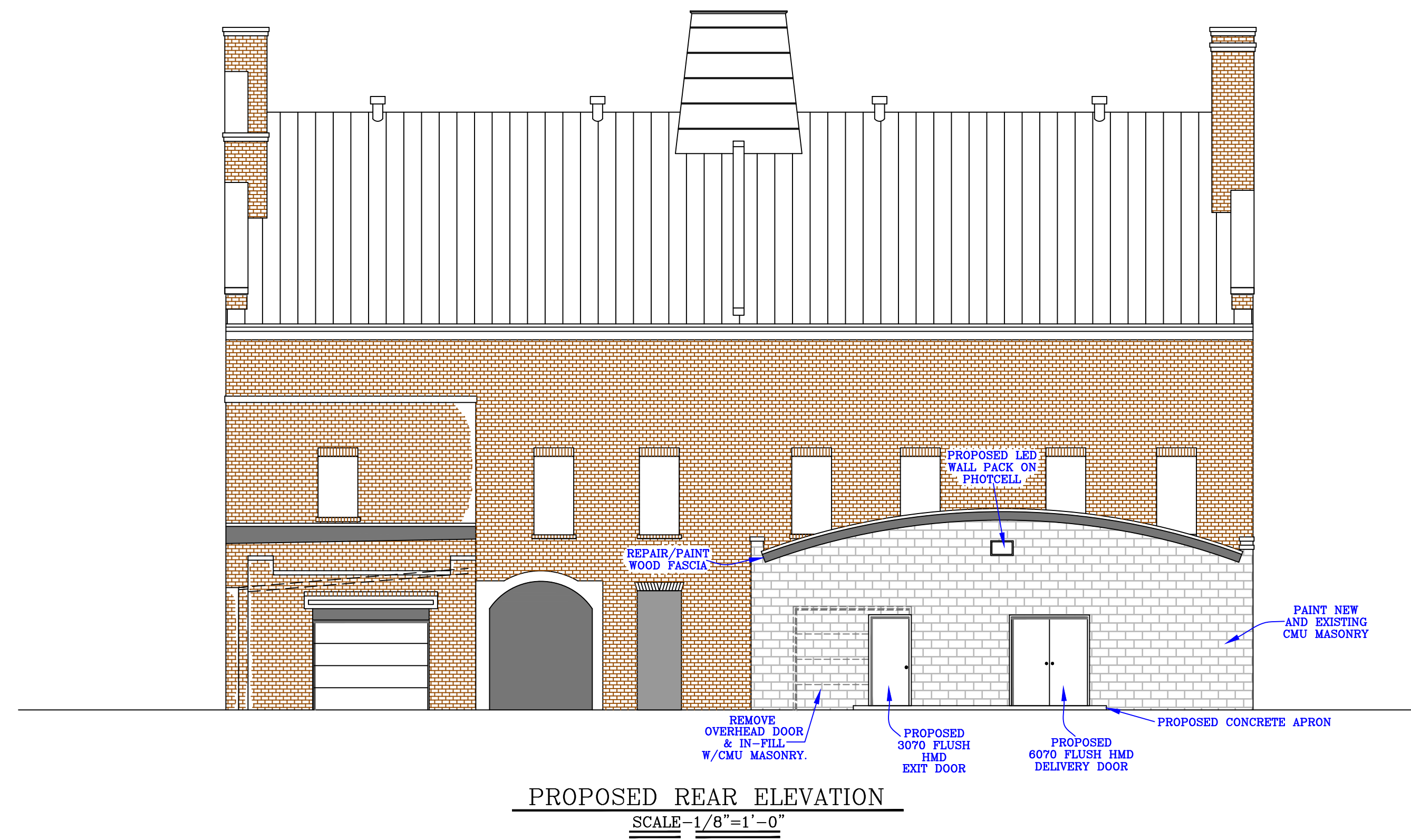
REAR ELEVATION
SCALE-1/8"=1'-0"



FRONT ELEVATION
SCALE-1/8"=1'-0"



RIGHT ELEVATION
SCALE-1/8"=1'-0"



224 CRAVEN STREET, NEW BERN, N.C.

TWICE AS NICE

DRAWING NUMBER

DATE: 9-11-19

SCALE: 1/8"=1'-0"

DRAWN BY: T.E.CREDDLE

THE

ASSOCIATES

BUILDING

CONTRACTORS

East

West

North

PROPOSED FLOOR PLAN

SCALE: 1/8"=1'-0"

1-STORY BUILT CIRCA 1950

3-STORY BUILT CIRCA 1917

TWICE-AS-NICE

TWICE-AS-NICE

TWICE-AS-NICE

REMOVE EXISTING OVERHEAD DOOR. IN-FILL WITH IN-KIND CMU. PAINT NEW CMU ON INTERIOR AND EXTERIOR.

PROPOSED APRON CONCRETE

2'-0"

5'-0"

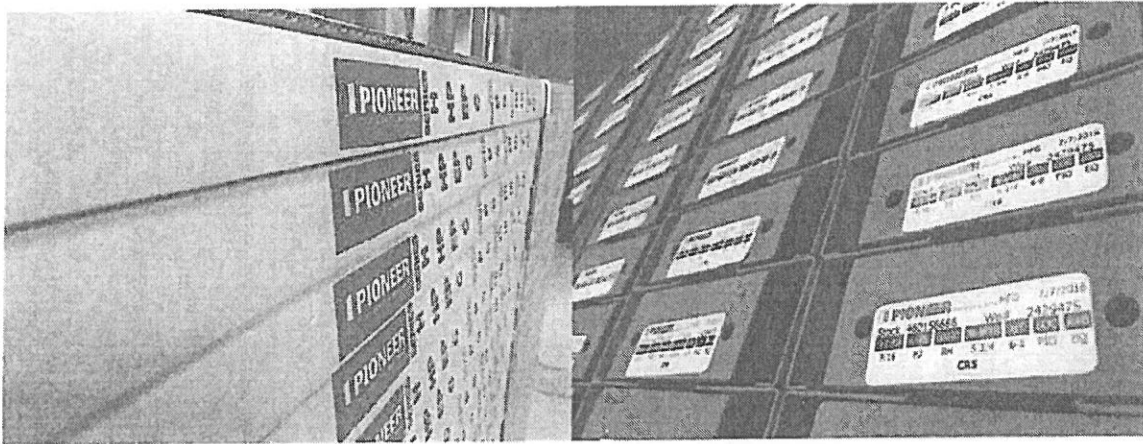
INSTALL NEW 3070 HM DOOR & FRAME

REPLACE EXISTING HM DOOR & FRAME WITH METAL DOOR WITH HM DOOR & FRAME

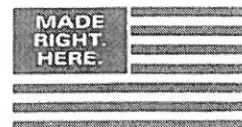
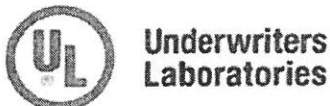


224 Craven Street

85 **PIONEER**
YEARS STEEL DOORS AND FRAMES



OUR DOOR IS ALWAYS OPEN



Pioneer is SDI Certified!



Quality is everything when it comes to Steel Doors and Frames. They are one of the components that people are constantly in contact with—and often provide the first impression of your building. Manufacturers with this certification are regularly audited to ensure they meet the rigorous quality and performance of the Steel Door Institute. Architectural, Engineering and Design Professionals can simply specify SDI Certified and know for certain the manufacturer of their doors and frames will meet the highest standards in the Industry.

PART 2 PRODUCTS

2.01 MANUFACTURERS

C. Provide steel doors and frames from an SDI Certified manufacturer.

Certification Requirements - SDI Certified manufacturers maintain compliance with the following standards:

ANSI/SDI A250.10

Test Procedure and Acceptance Criteria for Prime Painted Steel Surfaces for Steel Doors and Frames

ANSI/SDI A250.4

Test Procedure and Acceptance Criteria for —Physical Endurance for Steel Doors, Frames and Frame Anchors

ASTM A1008

Standard Specification - Cold Rolled Steel Sheet

ASTM A653

Standard Specification Galvanized / Galvannealed Steel Sheet

ANSI UL 10C

Positive Pressure Fire Test

UL 1784

Standard for Air/Smoke Leakage Tests

ANSI/SDI A250.6

Recommended Practice for Hardware Reinforcing on Standard Steel Doors and Frames

ANSI/SDI A250.3

Procedure and Acceptance Criteria for Factory Applied Finish Coatings for Steel Doors and Frames

SDI 117

Manufacturing Tolerances for Standard Steel Doors and Frames

ANSI (A250.8-2014) Specification Classifications for Steel Doors and Frames (SDI-100)

Heavy Duty Doors (Level 2 – 18 gage)

Physical Performance B – 500,000 cycle minimum; 18 gage, Commercial Quality (CQ) carbon steel (ASTM A1008)
Model 1 – Full Flush; Model 2 – Seamless

Extra Heavy Duty Doors (Level 3 – 16 gage)

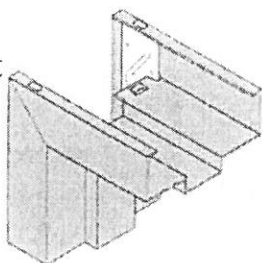
Physical Performance A – 1,000,000 cycle minimum; 16 gage, Commercial Quality (CQ) carbon steel (ASTM 1008)
Model 1 – Full Flush; Model 2 – Seamless

Maximum Duty Doors (Level 3 – 14 gage)

Physical Performance A – 1,000,000 cycle minimum; 14 gage, Commercial Quality (CQ) carbon steel (ASTM 1008)
Model 1 – Full Flush; Model 2 – Seamless

FAST FACT: All Pioneer's Hollow Metal Frames are produced on brake presses and never roll-formed. This commitment to manufacturing precision ensures sharp bends, tight tolerances, and accurate corner connections for superior fit up in the field. They can be prepared and reinforced for almost any hardware, in almost any size. Pioneer Frames are manufactured standard as Equal Rabbet, but can be produced in many other profiles, for Architectural Doors ranging from 1-3/8 up to 2-1/2 inches thick.

224 Craven Street



HOLLOW METAL FRAMES

Universal (F-SERIES) Frames

Pioneer's 16 gage Universal Frames are tested in accordance with ANSI A250.4 (Extended Life Cycle) exceeding 3,000,000 cycles.

Universal Frames are primarily designed to be installed prior to the erection of the finished partition, although retro-fit anchoring is an option for some existing openings.

Universal frames are available **Knocked-down** with interlocking frame joints for field assembly, **Face Welded** or **Continuously Welded** for additional strength.

Jamb Depths: Minimum Depth: 4";
Maximum Depth: 18"

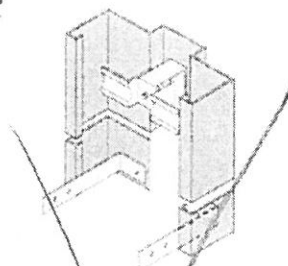
Available Door Thickness: 1-3/8 to 2-1/2"

Available Materials: Cold-Rolled (A1008) and Galvannealed (ASTM A653) Steel

Available Gages: 12, 14, 16 and 18 gages

Available Profiles: Equal Rabbet, Unequal Rabbet, Single Rabbet, Cased Open, Single Return, Double Returns. Consult factory for other profile options.

Available Anchors: Wood Stud, Steel Stud, Masonry, Punch and Dimple. Consult Factory for additional anchoring options.



Drywall (DW-SERIES) Frames

Pioneer's Drywall Frames are constructed in strict compliance with ANSI A250.8 (SDI-100) and are designed for installation after the erection of the finished wall.

Pioneer's Drywall (DW) Frames are furnished with integral pressure fit (compression type) anchors and welded in base straps as standard.

Pioneer's Drywall (DW) Frames are formed on press brakes creating superior bending angles and stress-free field fit up.

Pioneer's Drywall (DW) Series frames are only available **knocked down** with interlocking frame joints for field assembly.

Jamb Depths: Minimum Depth: 4"; Maximum Depth: 14"

Available Door Thickness: 1-3/8 to 1-3/4"

Available Materials: Cold-Rolled (A1008) and Galvannealed (ASTM A653) Steel

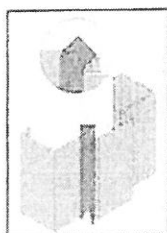
Available Gages: 14, 16 and 18 gages

Available Profiles: Equal Rabbet, Unequal Rabbet, Single Rabbet, Cased Open. Consult factory for other profile options.

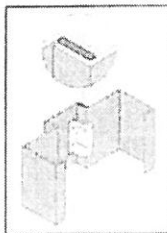
Available returns: Double

Available Anchors: Integral Compression

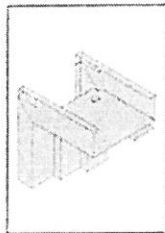
OPTIONS



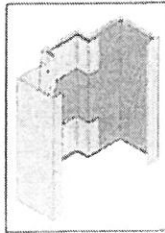
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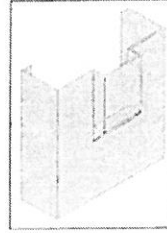
Thermal Break



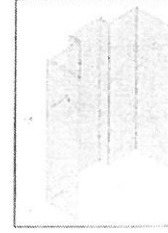
Double Egress



Lead-Lined



Hospital Stops



Nail-On

Please consult Factory for specific Series options.

FAST FACT: For better Sound Properties, specify and supply Honeycomb cores for **Interior Openings**. Panels have been tested up to 32 STC (ASTM E90, ASTM E4134) and can be fire rated up to 3 hours in accordance with testing procedures. For Lock-seam (Full Flush), specify H Series and CH Series for a Seamless edge. See Page 6 for our complete STC offering.

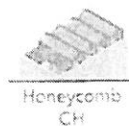
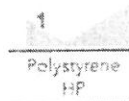
224 Craven Street

HOLLOW METAL DOORS

Pioneer Doors combine the strength and dimensional stability of Commercial Quality (CQ) Steel with a variety of door cores and door edges that are application specific and operationally superior. Pioneer Doors can be prepared and reinforced for almost every hardware product available. Most importantly, Pioneer Doors meet or exceed ANSI A250.8 (SDI-100) and can be manufactured as Heavy Duty, Extra-Heavy Duty and Maximum Duty per SDI-100 (Page 2).

Full Flush (Lockseam Edge) Doors:

- Cores: Honeycomb (H Series); Polystyrene (HP Series); Polyurethane (HT Series); Temperature Rise (HR Series).
- Steel-Stiffened (LW Series). Typically filled with sound deadening fiberglass or mineral wool. Other combination of cores may be available.
- Embossed Doors available in 1, 2, 4, 6 and 8 Panel in Honeycomb (EH) or Polystyrene (EP) Cores
- All lockseam doors available in Tack and Fill (-F) edge for extra strength and no seam appearance. Thickness - 1-3/8 and 1-3/4. LW Series up to 2-1/4" thick.
- Elevations - See Page 7
- Gages: 14, 16, 18
- Materials: Cold-Rolled Steel (A1008) and Galvannealed (A653) Steel
- Standard and Custom Sizes available up to 8'0" x 8'0" pairs.
- Doors can be fire rated up to 3 hours consistent with procedures established by the testing authority and include parameters for glass size and type, as well as reinforcement and preparation for approved fire rated hardware.



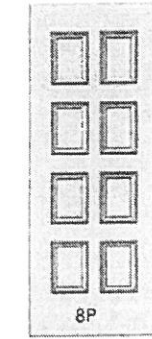
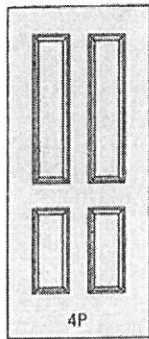
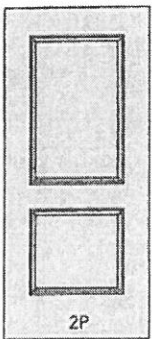
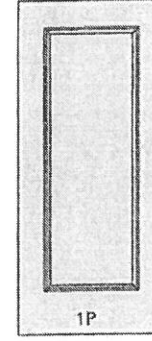
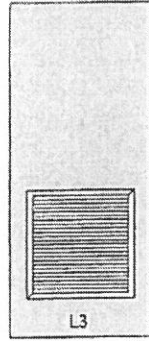
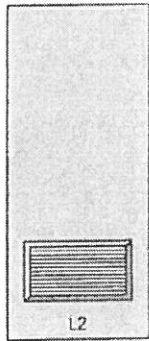
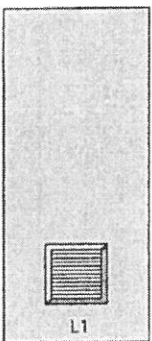
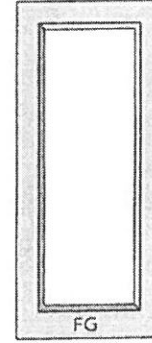
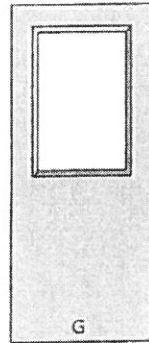
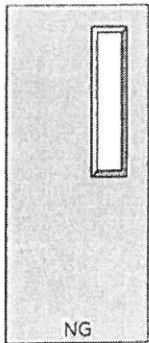
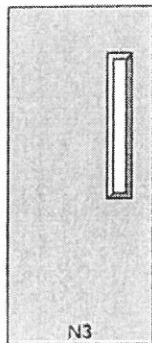
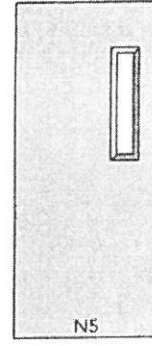
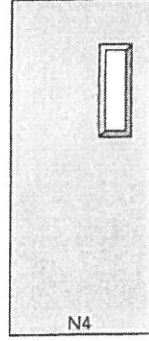
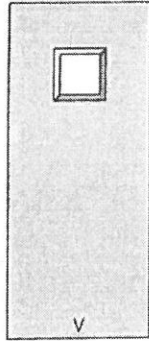
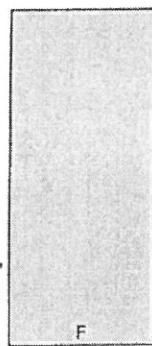
Seamless (Continuously Welded Edge) Doors:

- Honeycomb (CH Series); Polystyrene (CHP Series); Polyurethane (CHT Series); Temperature Rise (CHR Series).
- Steel-Stiffened (C Series). Typically filled with sound deadening fiberglass or mineral wool. Other combination of cores may be available.
- Thickness - 1-3/4 up to 2-1/4 (C Series only)
- Elevations - See Page 7
- Gages: 12, 14, 16, 18
- Materials: Cold-Rolled Steel (A1008) and Galvannealed (A653) Steel
- Standard and Custom Sizes available up to 10'-0" x 12'-0" pairs. Other larger sizes available.
- Doors can be fire rated up to 3 hours consistent with procedures established by the testing authority and include parameters for glass size and type, as well as reinforcement and preparation for approved fire rated hardware.

FAST FACT: For better Insulating Properties, specify and supply Polystyrene or Polyurethane cores for **Exterior Openings**. Polystyrene (U-37, R2.70) and Polyurethane (U-34, R2.72) cores tested in accordance with SDI-113-01, ASTM C1263-05 and should be ordered Galvannealed (A60) with top caps sealed against weather. For Lock-seam (Full Flush), specify HP (Polystyrene) or HT (Polyurethane) and CHP or CHT for a Seamless edge.

TYPICAL DOOR ELEVATIONS

224 Craven Street





Zoning and Inspections Review of

Application for Certificate of Appropriateness for Alterations in Historic District

Initial review of applications for certificates of appropriateness by the Zoning Administrator and Chief Building Inspector is intended to provide the applicant and Historic Preservation Commission with information related to compliance with local land use ordinance and building code. It does not represent a formal approval of a permit by any party and does not bind the decisions of Commission.

Application Address and Description: 220 - 226 Craven St. - removal of a non-contributing concrete block addition, site grading, installation of gravel parking area, replacement of interior doors with metal exterior doors, and removal of an overhead door, closing the opening with concrete block, and painting the block to match.

Zoning Administrator please review the application and fill out all applicable items

Zoning District: C-2

Required Setbacks (primary structure): Front Sim. Side 0' Rear 6'

Accessory Setbacks: From Nearest Structure N/A Side --- Rear ---

Maximum Lot Coverage for proposed use: N/A

Maximum Height of Structure: 60'

Required Site Improvements: Landscaping MA Buffer MA Parking ---

Other requirements:

I have reviewed the application for proposed alterations to this property and have determined that it Meets ☒ Does Not Meet ☐ the requirements of the Land Use Ordinance.

Comments:

Zoning Administrator [Signature] 8/14/20

Chief Building Inspector please review the application and include any comments below

The proposed project Will ☒ Will Not ☐ require a building permit(s).

Comments:

Demo Permit already issued

Chief Building Inspector [Signature] 8/14/20

Certificate of Appropriateness Findings and Recommendations

HPC Regular Meeting - August 2020

Applicant: JKB Associates LP/Tarheel Associates, Inc.

Applicant Address: PO Box 1169, New Bern, NC 28563

Project Address: 220-226 Craven St., New Bern, NC 28560

Historic Property Name: Stephens' Brick Block

Status: **Contributing:** X **Non-contributing:**

NR Inventory Description (2003): c. 1817/1905; Two-and-a-half stories; brick; eight bays wide; corbelled, paneled cornice.

Sandbeck Description (1988): (Old City Hall) ca. 1817, remodeled ca. 1905; [lengthy history, ending with] ... Several post-1900 one-story brick and concrete block additions have been constructed to the rear of this ca. 1850 portion.

220-226 Craven St. - to include removal of a non-contributing concrete block addition, site grading, installation of gravel parking area, replacement of interior doors with metal exterior doors, and removal of an overhead door, closing the opening with concrete block, and painting the block to match, all in the Tertiary AVC.

Staff submits the following Historic District Guidelines are appropriate to this application:

Parking

2.7.4 Contain loose paving materials within masonry, concrete, steel, or similar types of fixed edging. It is not appropriate to use contemporary drive and parking edging materials such as landscape timbers or plastic borders.

Paint

5.4.2 Select paint and sealant coatings that are harmonious with adjoining work. In general, new material shall be a compatible formulation with the substrate of application.

Demolition

6.4.1 Demolition of a noncontributing structure shall not be denied by the HPC.

Statements of Reason, based on the information contained in the application, in Staff's judgment are:

1. The project is a non-contributing addition;
2. The project is located within the Tertiary AVC;
3. The proposed modifications do not conceal, damage, or remove historically significant design components or architectural features;
4. The Zoning Administrator and the Chief Building Official have reviewed this project and commented accordingly;
5. The project is not incongruous with the Guidelines.

MOTION

Staff recommends the Commission approve this application for removal of a non-contributing concrete block addition, site grading, installation of gravel parking area, replacement of interior doors with metal exterior doors, and removal of an overhead door, closing the opening with concrete block, and painting the block to match, all in the Tertiary AVC.

FEE SCHEDULE (office use only)

- ☒ \$22 Standard Application (minor)
☐ \$107 Standard Application (major)



HPC Administrator
HPAdmin@newbern-nc.org
Work: (252) 639-7583
Fax: (252) 636-2146

Application for a Certificate of Appropriateness
(For Alterations to Properties in Locally Designated Historic Districts)

For assistance see "CoA Instructions", as well as "Historic District Guidelines", available online at:
<http://www.newbern-nc.org/departments/development/historic-preservation/historic-preservation-guidlines/>

Type of Project: ☒ Exterior Alteration ☐ Addition ☐ Infill ☐ Site Work ☐ Other

I. Applicant/Owner Information:

Property Address (Include year built, if known): 315A Pollock St., New Bern
 Building circa 1920 / Congleton condo circa 2012

Property Owner Name(s): Dr. James B. Congleton III	Owner Mailing Address: 315A Pollock St. New Bern, NC 28560	Phone #'s: 252-670-2025	Email:
Applicant Name (if different): Lucien Vaughn Tarheel Associates, Inc.	Applicant Mailing Address: P.O. Box 12666 New Bern, NC 28561	Phone #'s: 252-633-6452	Email: lucien@tarheelassociates.com

II. Project Information: *(See "CoA Instructions" & "Historic Guidelines" for help in completing this section)*

1. Provide a detailed description of work to be conducted on site: (Attach additional sheets if needed)

Add new aluminum-clad windows and doors to enclose an existing covered 2nd floor porch in tertiary AVC.

Continued on additional sheet or attached brochure ☐

2. Reference the specific Guideline(s) in the "Historic District Guidelines" which you believe apply to this project: (page and guideline number):

Please see attached sheet.

Continued on additional sheet or attached brochure ☒

3. Provide a detailed description of materials to be used (copies of brochures, texture, etc.):

Reference the specific Guidelines in the Historic District Guidelines for the proposed material(s).

- * Aluminum-clad windows and doors by Marvin to match the existing.
- * Painted wood casing/trim around windows and doors to match the existing.

Continued on additional sheet or attached brochure ☐

III. Additional Information Provided: (See "CoA Instructions" for more detail)

Plan(s) of Work, with: (please check all of those which are included with this application)

- ☐ Site plan (with annotated notes showing existing site and requested work)
- ☒ Photographs of the building and location where the proposed work will be completed
- ☐ Annotated notes or photos of materials to be used (samples may also be submitted)
- ☒ Floor plan with dimensions (for additions)
- ☒ Elevations with dimensions (for exterior additions or renovations)
- ☐ Supporting materials (brochures, photos of similar New Bern projects, estimates, etc.)
- ☒ Letter from owner acknowledging this application, in the case of submission by an applicant or lessee.

Please see Development Services Staff (Staff) prior to submittal for initial review of the application and advisement if additional information will be required before consideration at a Historic Preservation Commission hearing.

Please read the following statements. Your signature below acknowledges that you have read the statements and attest to their accuracy:

Check one:

- ☐ I am the owner of the Property, or
- ☒ I am acting on behalf of the owner of the property and I have attached a letter from the owner(s) indicating their knowledge of this application.

- ◆ I understand that submittal of this application does not constitute approval of proposed alterations.
- ◆ I understand that the approval of this application by City Staff or the New Bern Historic Preservation Commission (HPC) does not constitute approval of other federal, state, or local permit applications.
- ◆ I understand that I (or my representative) will need to attend the Hearing of this Application by HPC. No Applications shall be heard without a representative present and all applicable fees paid in full.
- ◆ I have reviewed the City of New Bern's "Historic District Guidelines" in preparing this Application.
- ◆ I understand that the property referenced by this Certificate of Appropriateness (CoA) application is in one of New Bern's local historic districts and that it represents a part of New Bern's historic fabric. If a CoA is approved by HPC or Staff, I agree to implement all changes as specified in the approved CoA, including any conditions. I understand that I am responsible for contacting Staff if I have any questions regarding the allowed changes specified in the approved CoA.
- ◆ I understand that ANY unapproved alterations are enforceable as a violation of City Ordinance and must be brought into compliance by removal or through the CoA process.
- ◆ I affirm that all the information included in this application is true to the best of my knowledge.
- ◆ I understand that incomplete applications cannot be considered.


Signature of Applicant/Owner

7/22/20
Date

APPLICATION SHOULD BE SUBMITTED TO THE DEVELOPMENT SERVICES MAIN OFFICE AT 303 FIRST ST. NO LESS THAN 2 WEEKS PRIOR TO UPCOMING MEETING. FOR FURTHER INFORMATION, CONTACT THE ADMINISTRATOR OF THE HISTORIC PRESERVATION COMMISSION AT (252) 639-7583.

Application for Certificate of Appropriateness
315A Pollock St.

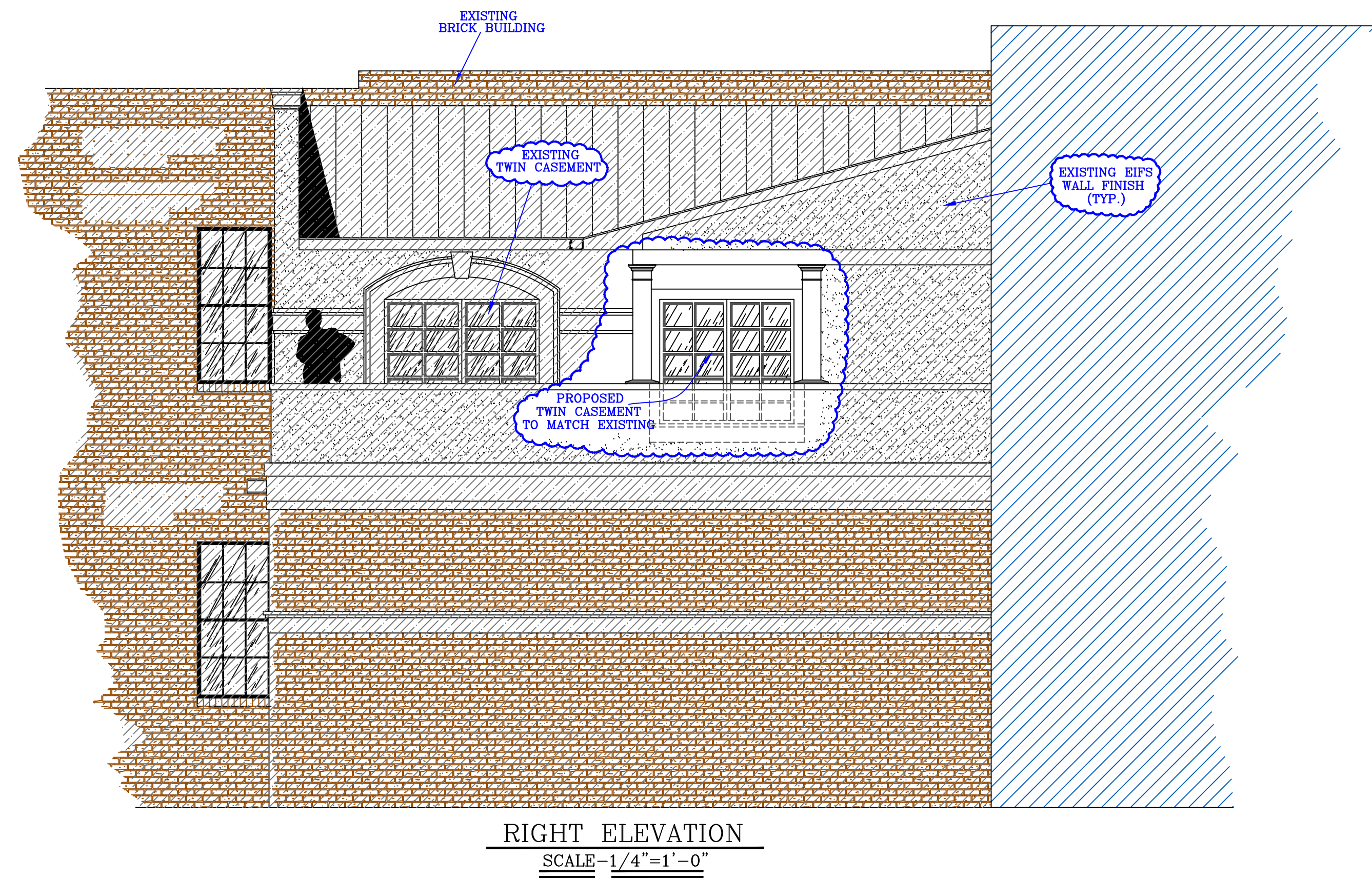
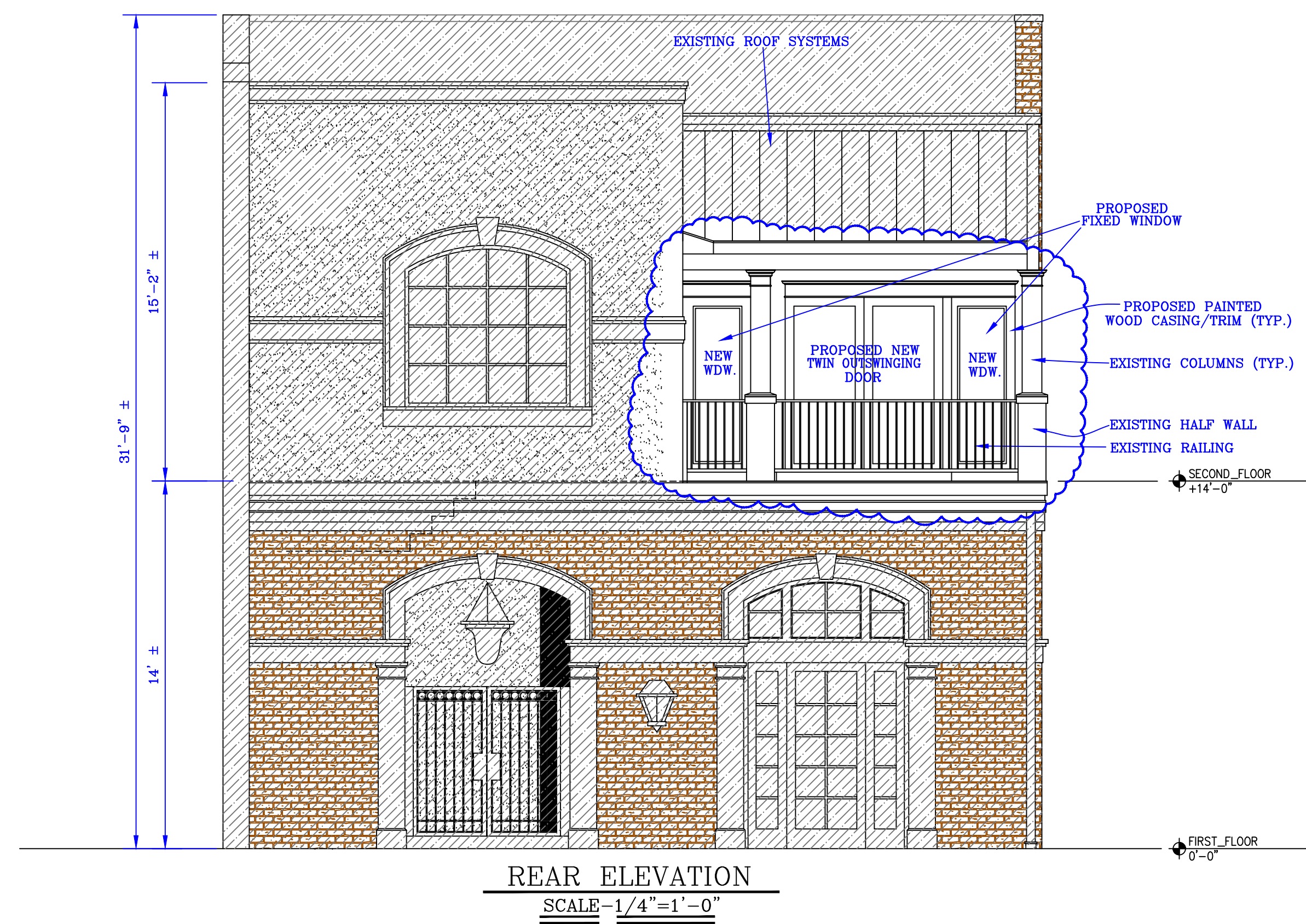
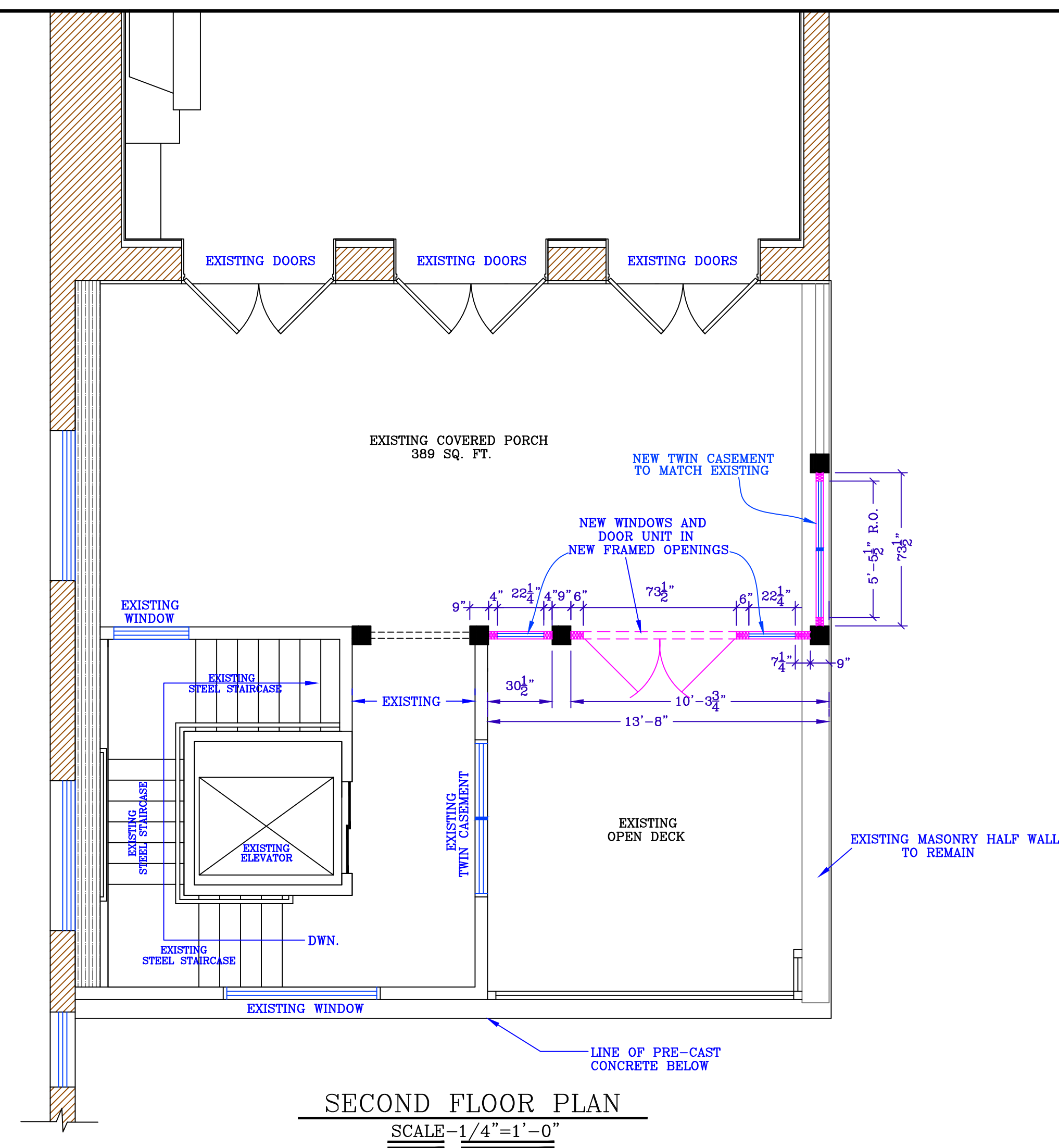
11. Project Information

Minor Work items Page 1-12

Doors, door frames and associated door trim in tertiary areas which are compatible with original sizes, designs, configurations and materials.

Historic District Guidelines Page 4-7

4.3.2	Add windows and door openings in Secondary or Tertiary AVCs in locations that do not diminish the original design. In general, openings shall have a vertical orientation or be square.
4.3.3	Glazing should have true divided light muntins, or three-dimensional grilles affixed to both the interior and exterior of the glass. Provide shadow bars between insulated glass panes.













Zoning and Inspections Review of

Application for Certificate of Appropriateness for Alterations in Historic District

Initial review of applications for certificates of appropriateness by the Zoning Administrator and Chief Building Inspector is intended to provide the applicant and Historic Preservation Commission with information related to compliance with local land use ordinance and building code. It does not represent a formal approval of a permit by any party and does not bind the decisions of Commission.

Application Address and Description: 315A Pollock St. – to include installation of new aluminum clad windows and doors in the balcony area on the second floor.

Zoning Administrator please review the application and fill out all applicable items

Zoning District: C-1

Required Setbacks (primary structure): Front Sim. Side N/A Rear 6'

Accessory Setbacks: From Nearest Structure N/A Side _____ Rear _____

Maximum Lot Coverage for proposed use: N/A

Maximum Height of Structure: 60'

Required Site Improvements: Landscaping N/A Buffer _____ Parking _____

Other requirements:

I have reviewed the application for proposed alterations to this property and have determined that it Meets ☒ Does Not Meet ☐ the requirements of the Land Use Ordinance.

Comments:

Zoning Administrator [Signature] 8/14/20

Chief Building Inspector please review the application and include any comments below

The proposed project Will ☒ Will Not ☐ require a building permit(s).

Comments:

Chief Building Inspector [Signature] 8/14/20

Certificate of Appropriateness Findings and Recommendations

HPC Regular Meeting - August 2020

Applicant: Dr. James B. Congleton III/Tarheel Associates, Inc.

Applicant Address: 315A Pollock St., New Bern, NC 28560

Project Address: 315 Pollock St., New Bern, NC 28560

Historic Property Name: Rountree Building

Status: **Contributing:** X **Non-contributing:**

NR Inventory Description (2003): c. 1875/1910; Two stories; brick; four bays wide; original cast-iron column divides storefronts; segmentally-arched upper windows set in recessed panels; vigorously embellished frieze.

Sandbeck Description (1988): ca. 1875, present façade added ca. 1910; ... During the 1890s, ... with “club rooms” located on the second floor. During the early twentieth century, the second floor was known as “Rountree Hall.”

315 Pollock St. - to include installation of new aluminum clad windows and doors in the balcony area on the second floor of the Tertiary AVC.

Staff submits the following Historic District Guidelines are appropriate to this application:

Modifications

3.2.2 Modifications to a structure should not conceal, damage, or remove significant design components or architectural features.

Windows, Doors and Openings

4.3.2 Add window and door openings in Secondary or Tertiary AVCs in locations that do not diminish the original design. In general, openings shall have a vertical orientation or be square.

4.3.3 Glazing should have true divided light muntins, or three-dimensional grilles affixed to both the interior and exterior of the glass. Provide shadow bars between insulated glass panes.

Contemporary Materials

5.5.3 Contemporary and nontraditional materials should convey appropriate historic material characteristics, and will be evaluated on a case-by-case basis for appearance, dimension, texture, color, sheen, visual weight, and similar characteristics.

Statements of Reason, based on the information contained in the application, in Staff’s judgment are:

1. The project is located within the Tertiary AVC;
2. The proposed modifications do not conceal, damage, or remove historically significant design components or architectural features;
3. The Zoning Administrator and the Chief Building Official have reviewed this project and commented accordingly;
4. The project is not incongruous with the Guidelines.

MOTION

Staff recommends the Commission approve this application for installation of new aluminum clad windows and doors in the balcony area on the second floor of the Tertiary AVC.

FEE SCHEDULE (office use only)

- [] \$22 Standard Application (minor)
 [] \$107 Standard Application (major)



HPC Administrator
HPCadmin@newbernnc.gov

Work: (252) 639-7583

Fax: (252) 636-2146

Application for a Certificate of Appropriateness
(For Alterations to Properties in Locally Designated Historic Districts)

For assistance, see "CoA Instructions," as well as "Historic District Guidelines," available online at:

<https://www.newbernnc.gov> Go to: Departments, Development Services, then:

- For the CoA Instructions: Document Center, Alphabetical Listing, Certificate of Appropriateness – Instructions for COA application
- For the Historic District Guidelines: Historic Preservation, HPC Guidelines, Historic District Guidelines

Type of Project: ☐ Exterior Alteration ☒ Addition ☐ Infill ☐ Site Work ☐ Other

I. Applicant/Owner Information: Bruce and Jean Wright			
Property Address (Include year built, if known): 1223 National Ave., New Bern, NC (Year Built: 1912)			
Property Owner Name(s): Bruce Wright Jean Wright	Owner Mailing Address: 18224 Green Blvd King George, VA 22485	Phone #s: 540-379-3203 240-299-9744	Email: bigheart63@gmail.com medic4bigheart@gmail.com
Applicant Name (if different):	Applicant Mailing Address:	Phone #s:	Email:

II. Project Information: <i>(See "CoA Instructions" & "Historic Guidelines" for help in completing this section)</i>
<p>1. Provide a detailed description of work to be conducted on site: (Attach additional sheets if needed)</p> <p>The planned addition is located in the Tertiary AVC and is not visible from the road. The addition replaces the current deck and adds space to the existing kitchen, a screen porch, and deck. The 11.5'x12' kitchen addition adds approximately 144 sq. ft. to the house. The deck with screen porch totals approximately 400 sq. ft. Total expansion into the back yard is 24'. All work will adhere to code. Relocate existing outside HVAC units to below the new deck.</p> <p align="right">Continued on additional sheet or attached brochure <input type="checkbox"/></p>
<p>2. Reference the specific Guideline(s) in the "Historic District Guidelines" which you believe apply to this project: (only need the guideline numbers):</p> <p>3.3.1, 3.3.2, 3.3.3</p> <p align="right">Continued on additional sheet or attached brochure <input type="checkbox"/></p>
<p>3. Provide a detailed description of materials to be used (copies of brochures, texture, etc.):</p> <p>Reference the specific Guidelines in the Historic District Guidelines for the proposed material(s).</p> <p>Pine siding (match existing), brick foundation (match existing as close as possible), relocate existing window to rear of addition, add similar window inside screened porch, galvanized tin roof (match existing), pressure-treated wood decking and porch (sizes vary based upon usage), screen.</p> <p align="right">Continued on additional sheet or attached brochure <input type="checkbox"/></p>

III. Additional Information Provided: (See "CoA Instructions" for more detail)

Plan(s) of Work, with: (please check all of those which are included with this application)

- ☒ Site plan (with annotated notes showing existing site and requested work)
- ☒ Photographs of the building and location where the proposed work will be completed
- ☒ Annotated notes or photos of materials to be used (samples may also be submitted)
- ☒ Floor plan with dimensions (for additions)
- ☒ Elevations with dimensions (for exterior additions or renovations)
- ☒ Supporting materials (brochures, photos of similar New Bern projects, estimates, etc.)
- ☐ Letter from owner acknowledging this application, in the case of submission by an applicant or lessee.

Please see Development Services Staff (Staff) prior to submittal for initial review of the application and advisement if additional information will be required before consideration at a Historic Preservation Commission hearing.

Please read the following statements. Your signature below acknowledges that you have read the statements and attest to their accuracy:

Check one:

- ☒ I am the owner of the Property, or
- ☐ I am acting on behalf of the owner of the property and have attached the notarized authorization form indicating the owner(s) consent to represent them for this application.

- ◆ I understand that submittal of this application does not constitute approval of proposed alterations.
- ◆ I understand that the approval of this application by City Staff or the New Bern Historic Preservation Commission (HPC) does not constitute approval of other federal, state, or local permit applications.
- ◆ I understand that I (or my representative) will need to attend the Hearing of this Application by HPC. No Applications shall be heard without a representative present and all applicable fees paid in full.
- ◆ I have reviewed the City of New Bern's "Historic District Guidelines" in preparing this Application.
- ◆ I understand that the property referenced by this Certificate of Appropriateness (CoA) application is in one of New Bern's local historic districts and that it represents a part of New Bern's historic fabric. If a CoA is approved by HPC or Staff, I agree to implement all changes as specified in the approved CoA, including any conditions. I understand that I am responsible for contacting Staff if I have any questions regarding the allowed changes specified in the approved CoA.
- ◆ I understand that ANY unapproved alterations are enforceable as a violation of City Ordinance and must be brought into compliance by removal or through the CoA process.
- ◆ I affirm that all the information included in this application is true to the best of my knowledge.
- ◆ I understand that incomplete applications cannot be considered.


Jean Wright
Digitally signed by Jean Wright
Date: 2020.07.25 13:31:20
-04'00'

Signature of Applicant/Owner

Date

APPLICATION SHOULD BE SUBMITTED TO THE DEVELOPMENT SERVICES MAIN OFFICE AT 303 FIRST ST.. FOR A MAJOR PROJECT, SUBMITTAL AND FEE PAYMENT MUST BE NO LESS THAN 2 WEEKS PRIOR TO THE UPCOMING HPC REGULAR MEETING. FOR FURTHER INFORMATION, CONTACT THE HISTORIC PRESERVATION COMMISSION ADMINISTRATOR AT (252) 639-7583.

1223 National Avenue - CoA App Wright Addendum – 2020-08-09

Material List

- Pine siding (match existing)
- Brick foundation (match existing as close as possible) – Current brick is painted red. New brick will not be painted.
- Relocate existing window to rear of addition
- Add similar window inside screened porch
- Standing seam metal roof (match existing)
- Pressure-treated wood decking and porch (sizes vary based upon usage)
- Screen for porch

Additional Files with Photos and Plans

- Aerial View
- Floor Plan
- Rear Elevation
- Side View

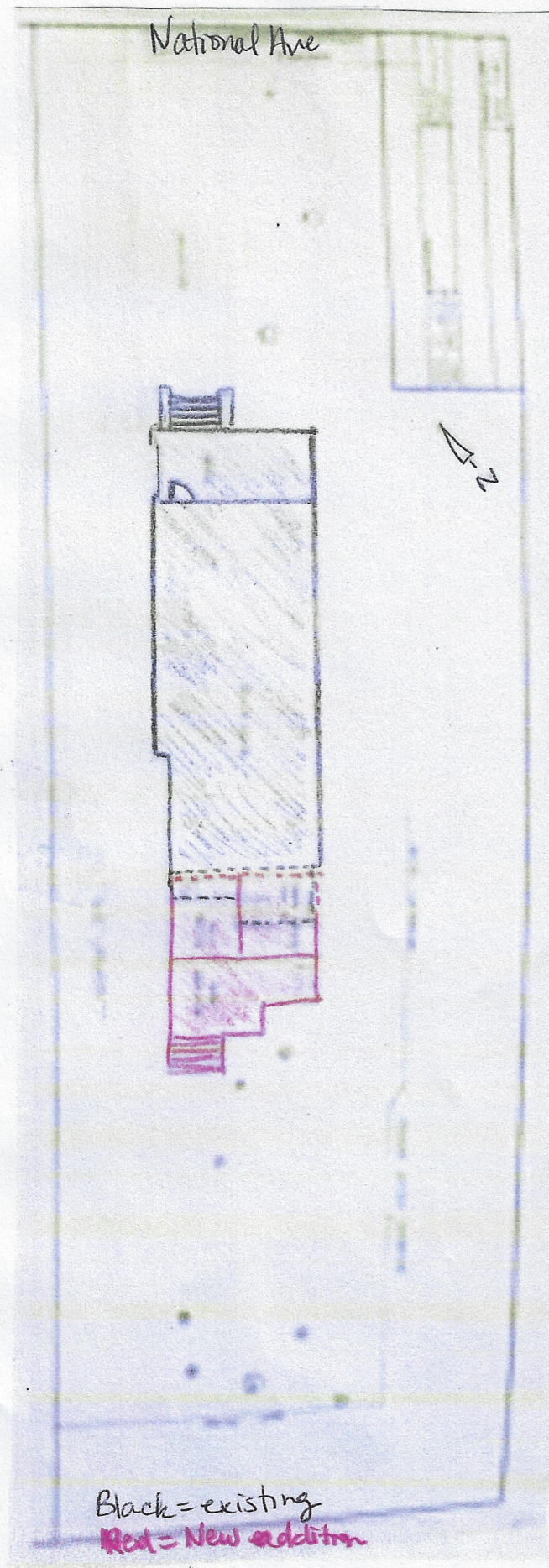
1223 National Ave.

Streetview from 2012:





Imagery ©2020 U.S. Geological Survey, Map data ©2020 20 ft



1223 National Ave - Side View

Existing

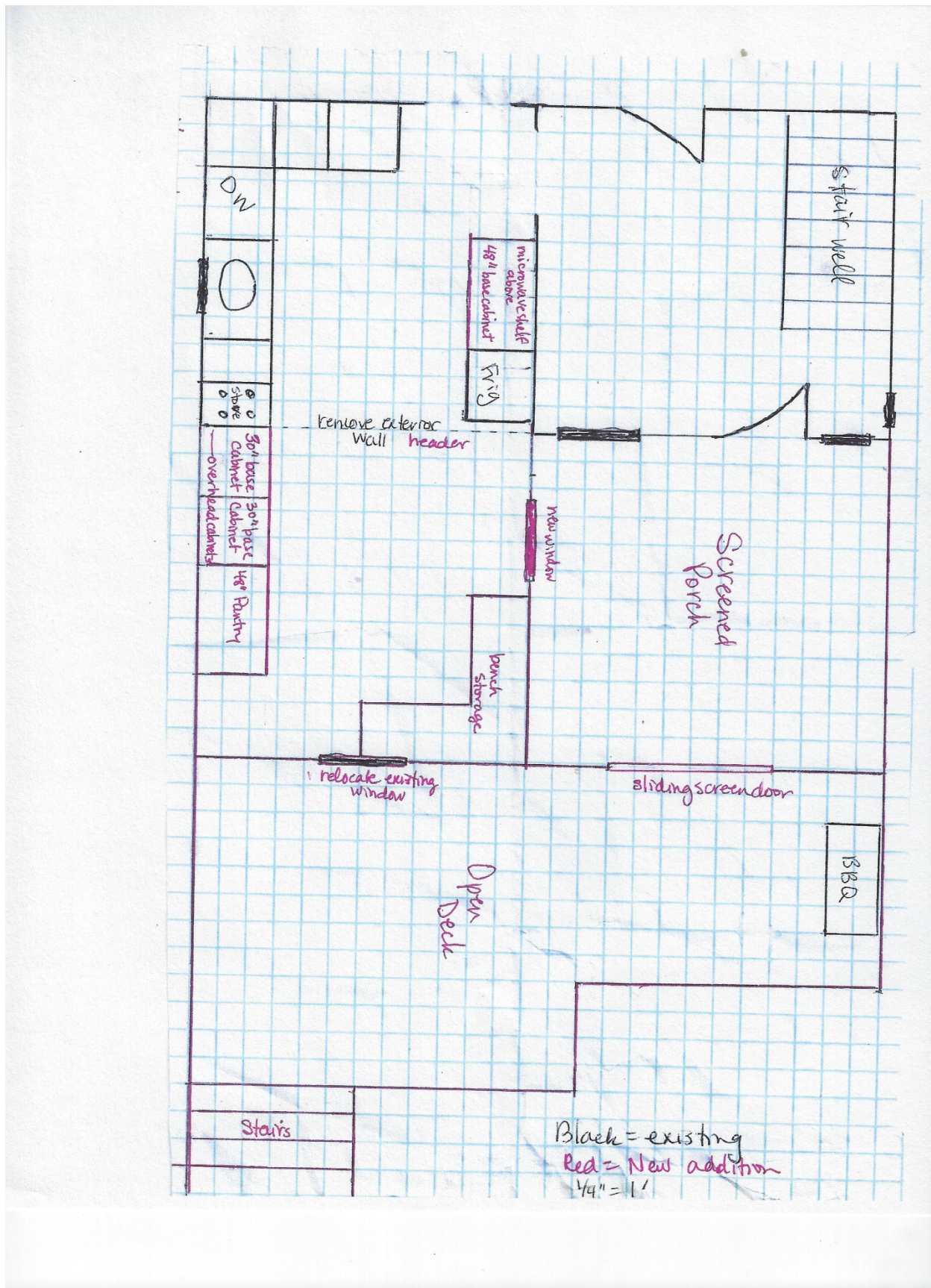


1223 National Ave - Rear Photos

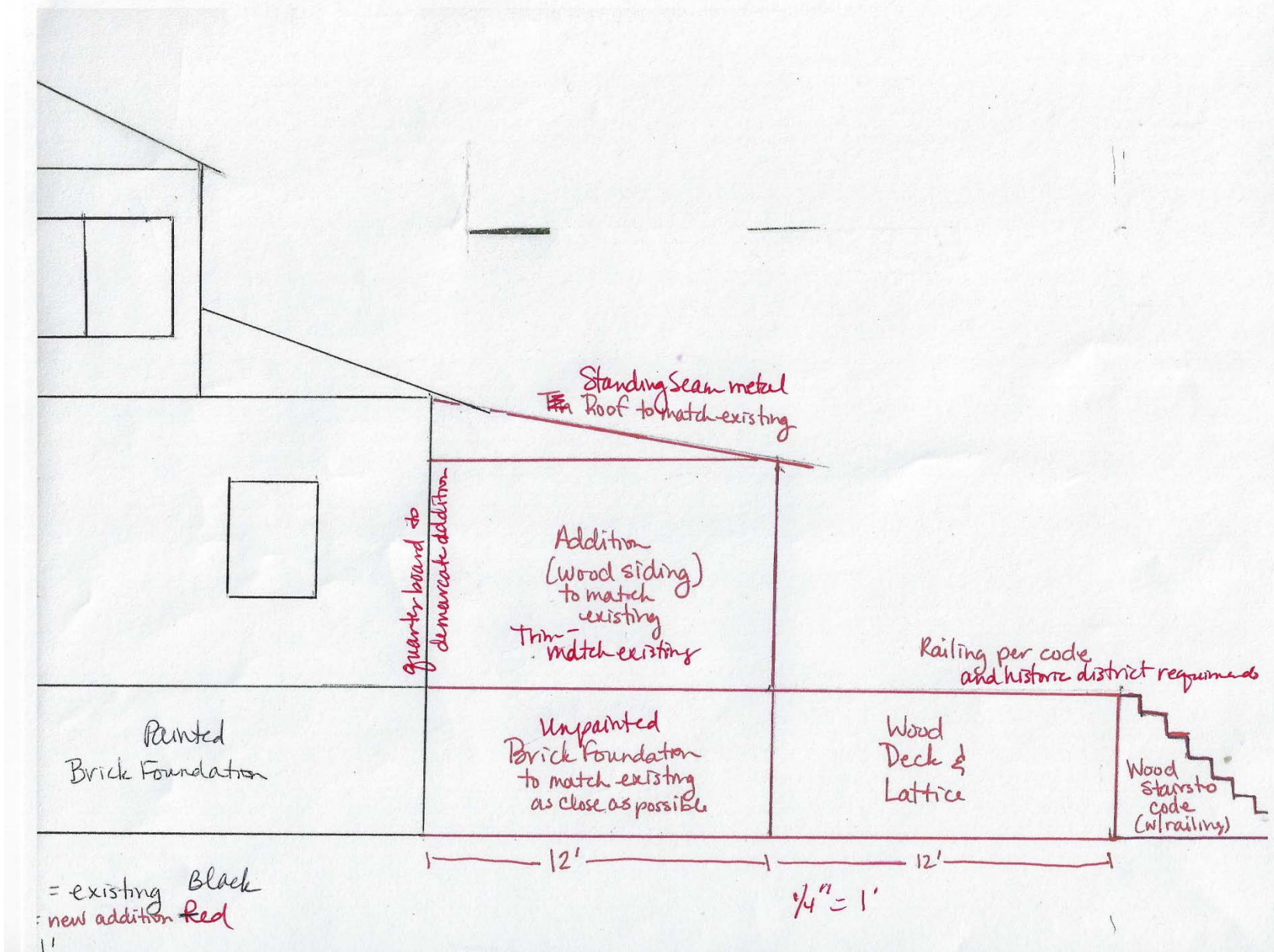
Existing

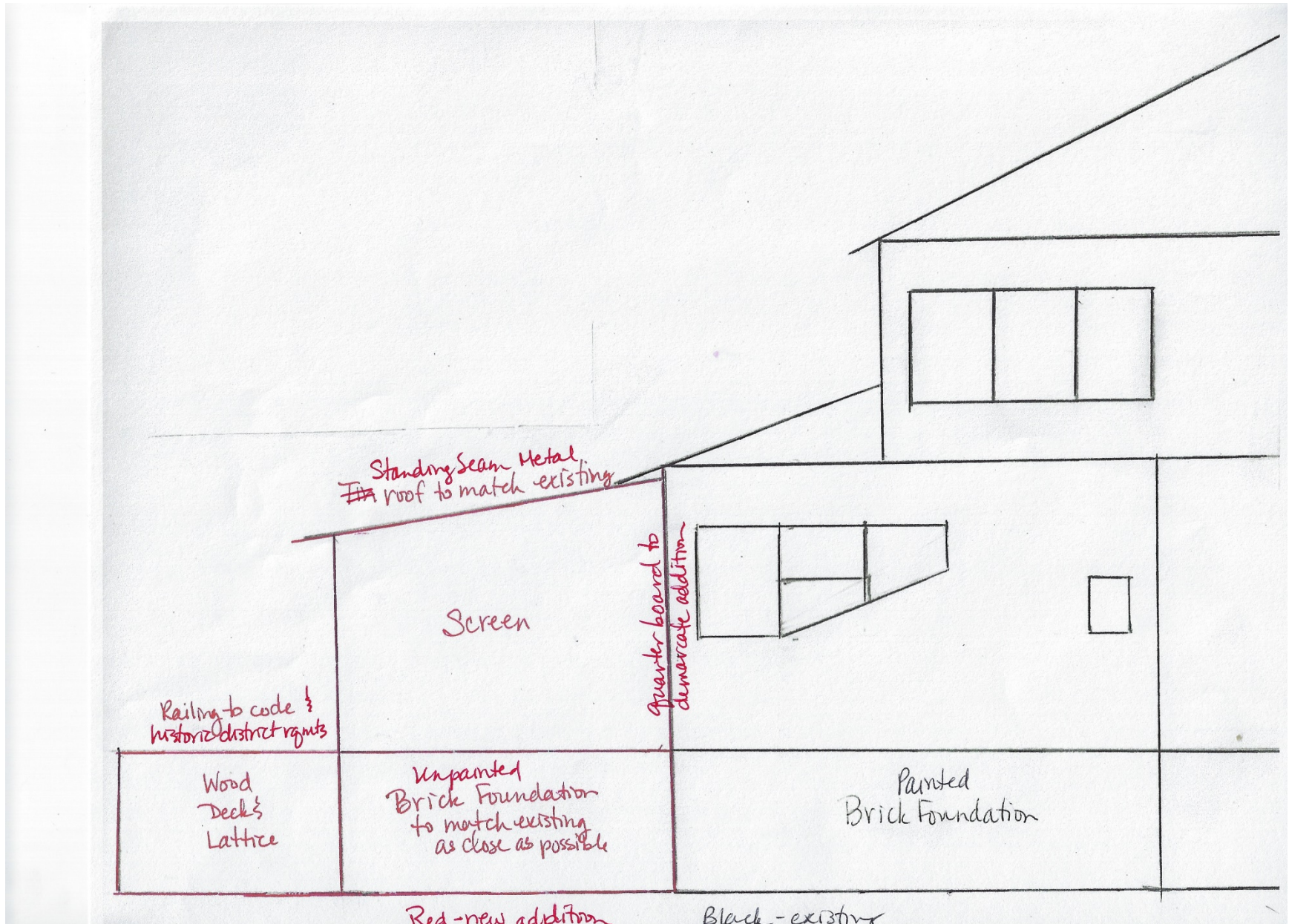


1223 National Ave - Floor Plan

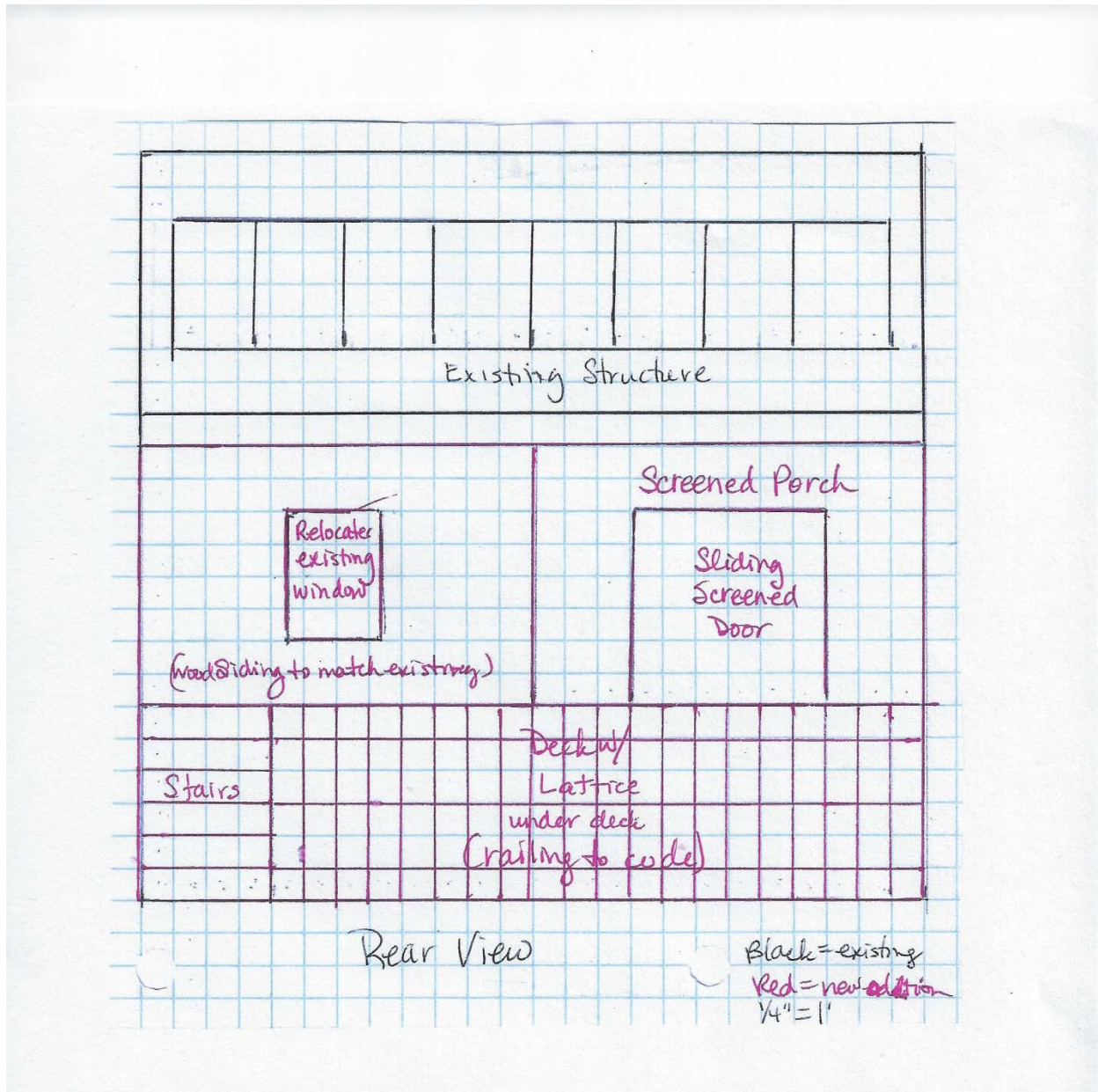


Proposed



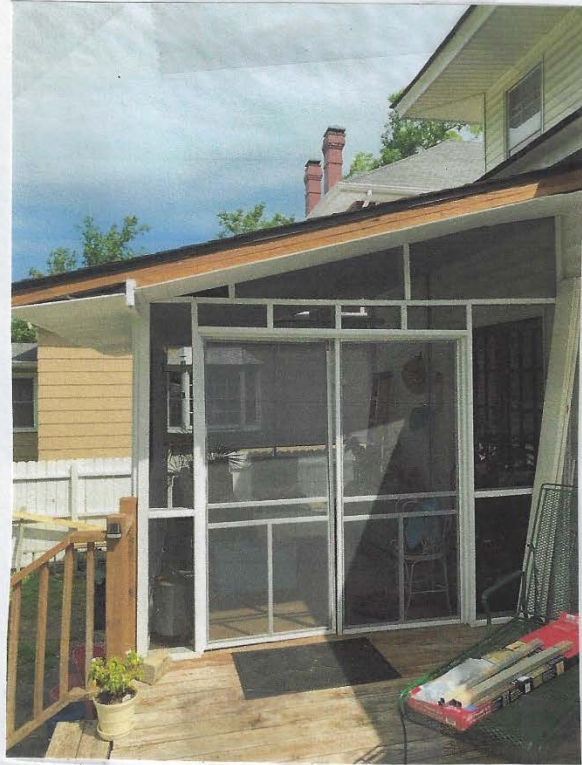


Proposed Elevation



1223 National Ave - Rear Photos

Screened porch will be similar style to porch located at 1229 National Avenue.





Zoning and Inspections Review of

Application for Certificate of Appropriateness for Alterations in Historic District

Initial review of applications for certificates of appropriateness by the Zoning Administrator and Chief Building Inspector is intended to provide the applicant and Historic Preservation Commission with information related to compliance with local land use ordinance and building code. It does not represent a formal approval of a permit by any party and does not bind the decisions of Commission.

Application Address and Description: 1223 National Ave. – to include removing a deck, moving an hvac unit, constructing a new addition, a new screened-in porch, and new wood deck, railing, and steps.

Zoning Administrator please review the application and fill out all applicable items

Zoning District: R-10S

Required Setbacks (primary structure): Front Sim. Side 5' Rear 6'

Accessory Setbacks: From Nearest Structure N/A Side Rear

Maximum Lot Coverage for proposed use: 60%

Maximum Height of Structure: 45'

Required Site Improvements: Landscaping N/A Buffer Parking

Other requirements:

I have reviewed the application for proposed alterations to this property and have determined that it Meets X Does Not Meet the requirements of the Land Use Ordinance.

Comments:

Zoning Administrator [Signature] 8/14/2020

Chief Building Inspector please review the application and include any comments below

The proposed project Will X Will Not require a building permit(s).

Comments:

Chief Building Inspector [Signature] 8/14/20

Certificate of Appropriateness Findings and Recommendations

HPC Regular Meeting - August 2020

Applicant: Bruce & Jean Wright

Applicant Address: 18224 Green Blvd., King George, VA 22485

Project Address: 1223 National Ave., New Bern, NC 28560

Historic Property Name: Street-Lloyd-Kennedy House

Status: **Contributing:** **X** **Non-contributing:**

NR Inventory Description (1988): c. 1912; Probably the second of the three houses built on the lots acquired in 1897 by James F. Taylor, this two-story, hip-roofed, frame side-hall plan house Distinguishing features include the wide overhang of the standing seam tin roof, the grouped square-in-section porch posts on wide brick piers, and the attenuated pilasters of the classical entrance surround. The house is two rooms deep with a one-story ell extending to the rear. Windows on the side elevations and the first floor of the two-bay facade are two over two sash, while those on the facade's second floor are one over one sash. A hipped dormer is centered on the front slope of the roof, while an interior chimney with corbeled cap rises beside the roof ridge.

Sandbeck Description (1988): N/A

1223 National Ave. - to include removing a deck, moving an hvac unit, constructing a new addition, a new screened-in porch, and new wood deck, railing, and steps in the Tertiary AVC.

Staff submits the following Historic District Guidelines are appropriate to this application:

Utilities

- 2.3.1 Locate equipment in Secondary and Tertiary AVCs and screen items from public view with vegetation, fencing and similar site constructions. It is recommended that utilities be consolidated in common locations.
- 2.3.2 Paint equipment and exposed utilities to compliment mounting surfaces and reduce their visibility.

Landscaping

- 2.4.3 Use plant materials that are indigenous to the historic districts. It is not appropriate to use contemporary edging materials such as landscaping timbers or plastic borders

Design Principles

- 3.1.1 Consider the scale, mass, and proportion inherent to the surrounding historic development pattern, and design modifications that incorporate these characteristics. Use basic shapes and forms that are common to the historic districts.
- 3.1.2 Windows, doors and openings shall be compatible in proportion, shape, location, size, and quantity with those on surrounding historic structures. Avoid large expanses of blank walls. Establish bays, visually subdivide facades, and delineate building elevations to create form and rhythm

Modifications

- 3.2.1 Select materials that are consistent with the structure. Limit the palette to those materials that were available at the time a building was originally constructed.
- 3.2.2 Modifications to a structure should not conceal, damage, or remove significant design components or architectural features.
- 3.2.5 It is not appropriate to introduce features and details that will create a false sense of historic development.

Certificate of Appropriateness Findings and Recommendations

HPC Regular Meeting - August 2020

Additions

- 3.3.1 Locate additions in a Secondary or Tertiary AVC to minimize the impact on primary, character defining elevations. Limit the footprint of additions to maintain private open spaces.
- 3.3.2 Use roof forms and pitches that are similar to those found on the primary structure. Delineate the addition from the plane of the primary structure by creating slight offsets and corners.
- 3.3.3 Incorporate materials and details derived from the primary structure. Extend the architectural hierarchy of the primary structure to the addition. Architectural embellishments and detailing are often simplified on less visible Secondary and Tertiary AVC elevations.

Foundations

- 4.1.1 Adhere to Guidelines for retention of historic fabric when altering foundation components.
- 4.1.3 Use traditional materials when constructing foundations. Concrete block should receive a veneer of stucco, brick, or other appropriate masonry material.
- 4.1.4 Locate foundation features such as vents and access doors in areas that will not detract from the architectural character of the building. Coordinate with other architectural features when possible, such as aligning vents and access doors with windows above or centering them between piers.

Walls, Trim and Ornamentation

- 4.2.1 Adhere to Guidelines for retention of historic fabric when altering wall components.
- 4.2.2 It is not appropriate to introduce trim or ornamentation to a contributing structure without documentary evidence that such elements historically existed.
- 4.2.3 It is not appropriate to cover wood siding, trim, and ornamentation with a contemporary material on a contributing structure.
- 4.2.4 Incorporate wood trims and articulate masonry appropriately for the application.

Windows, Doors and Openings

- 4.3.1 Adhere to Guidelines for retention of historic fabric when altering window, door, and opening components.
- 4.3.2 Add window and door openings in Secondary or Tertiary AVCs in locations that do not diminish the original design. In general, openings shall have a vertical orientation or be square.
- 4.3.3 Glazing should have true divided light muntins, or three-dimensional grilles affixed to both the interior and exterior of the glass. Provide shadow bars between insulated glass panes.

Entrances

- 4.4.1 Adhere to Guidelines for retention of historic fabric when altering entrance components.
- 4.4.4 Provide porches, entrance doors, railings, and other ornaments that proportionally relate to the building. Appropriate balustrades often convey a heavier visual appearance. Center balusters between the top and bottom rails and space them about three inches apart.
- 4.4.5 Enclose and screen porches in Secondary and Tertiary AVCs in a manner that preserves historic features. Walls and screens should not obscure columns and balustrades.

Certificate of Appropriateness Findings and Recommendations

HPC Regular Meeting - August 2020

Roofs

- 4.5.1 Adhere to Guidelines for retention of historic fabric when altering roof components.
- 4.5.4 Standing seam metal roofs shall have a pan width no greater than 24 inches. Pans shall be completely flat without corrugation. Provide double locked seams with flush ridge and hip flashings on contributing structures.

Decks and Patios

- 4.6.1 Adhere to Guidelines for retention of historic fabric when altering deck components.
- 4.6.2 Locate decks in Secondary and Tertiary AVCs, and screen the underside with shrubbery, fencing, lattice, or masonry.
- 4.6.3 Structurally separate decks to allow removal without damaging the historic structure.

Masonry

- 5.1.1 Adhere to Guidelines for retention of historic fabric when altering masonry materials.
- 5.1.2 Match the masonry bond, or pattern, of masonry materials found in adjoining work. In general, new material should be the same size, color, and texture of that existing.
- 5.1.3 The size, color, texture and bond, or pattern, of masonry and mortar creates the intended finished appearance. It is not appropriate to paint masonry that has not been previously painted.
- 5.1.5 Provide a veneer of brick, stucco, or other appropriate material over concrete masonry units. Architectural concrete masonry units such as rusticated, split face or similar types may be substituted for stone masonry construction.
- 5.1.6 It is not appropriate to use water repellants or sealers on masonry because these treatments often trap moisture and accelerate spalling.

Wood

- 5.2.1 Adhere to Preservation Guidelines for retention of historic fabric when altering wood materials.
- 5.2.2 Construct wood assemblies similar to that found in adjoining work. In general, new material should be the same dimension and shape of that existing.

Metals

- 5.3.1 Adhere to Guidelines for retention of historic fabric when altering metal materials.
- 5.3.2 Use metal fabrications found in adjoining work. In general, new material should be the same dimension, shape, and alloy of that existing.

Paint

- 5.4.1 Adhere to Guidelines for retention of historic fabric when altering painted materials.
- 5.4.2 Select paint and sealant coatings that are harmonious with adjoining work. In general, new material shall be a compatible formulation with the substrate of application.
- 5.4.3 Apply primer coatings to front and back wood surfaces prior to cutting and fitting. Prime end cuts before installation. Apply finish paint coatings to exposed primed surfaces.
- 5.4.4 Consider using opaque stain in lieu of paint on flooring, fencing, and similar wood surfaces exposed to foot traffic or weather.
- 5.4.6 It is not appropriate to apply paint, water repellent or sealant coatings to unpainted surfaces such as masonry, stone, copper, and bronze.

Certificate of Appropriateness Findings and Recommendations

HPC Regular Meeting - August 2020

Statements of Reason, based on the information contained in the application, in Staff's judgment are:

1. The project is located within the Tertiary AVC;
2. The proposed modifications do not conceal, damage, or remove historically significant design components or architectural features;
3. The Zoning Administrator and the Chief Building Official have reviewed this project and commented accordingly;
4. The project is not incongruous with the Guidelines.

MOTION

Staff recommends the Commission approve this application for removing a deck, moving an hvac unit, constructing a new addition, a new screened-in porch, and new wood deck, railing, and steps in the Tertiary AVC.

FEE SCHEDULE (office use only)

☐ \$22 Standard Application (minor)
☐ \$107 Standard Application (major)



HPC Administrator
 HPCadmin@newbern-nc.org
 Work: (252) 639-7583
 Fax: (252) 636-2146

Application for a Certificate of Appropriateness

(For Alterations to Properties in Locally Designated Historic Districts)

For assistance see "CoA Instructions", as well as "Historic District Guidelines", available online at:
<http://www.newbern-nc.org/departments/development/historic-preservation/historic-preservation-guidelines/>

Type of Project: ☐ Exterior Alteration ☐ Addition ☐ Infill ☐ Site Work ☐ Other

I. Applicant/Owner Information:

Property Address (Include year built, if known): 501 Craven Street (Dr. Edward Smallwood House 1841-1845)

Property Owner Name(s): Brian & Jennifer Caskey	Owner Mailing Address: 501 Craven Street New Bern, NC 28560	Phone #'s: 252-670-8276	Email: btcaskey@gmail.com
Applicant Name (if different): GO Architectural Design, PLLC Sarah Afflerbach, AIA	Applicant Mailing Address: 1202A Pollock Street New Bern, NC 28560	Phone #'s: 252-633-0322	Email: sarah@goarchdesign.com

II. Project Information: (See "CoA Instructions" & "Historic Guidelines" for help in completing this section)

1. Provide a detailed description of work to be conducted on site: (Attach additional sheets if needed)

Construct a new garage attached to the existing masonry garage and create a covered side porch attached to the main house.

Continued on additional sheet or attached brochure ☒

2. Reference the specific Guideline(s) in the "Historic District Guidelines" which you believe apply to this project: (page and guideline number):

Accessory Structures 2.6.1-3 Foundations 4.1.1-4 Walls, Trim & Ornamentation 4.2.1-4 Windows 4.3.1-3 Roofs 4.5.1
 Decks & Patios 4.6.1-4 Masonry 5.1.1-6 Wood 5.2.1-5.2.2 Paint 5.4.1-9

Continued on additional sheet or attached brochure ☐

3. Provide a detailed description of materials to be used (copies of brochures, texture, etc.):

Reference the specific Guidelines in the Historic District Guidelines for the proposed material(s).

Painted wood siding, trim, and columns, wood window with 3D grilles inside and out, brick masonry foundation, hand seamed metal roof.

Continued on additional sheet or attached brochure ☐

III. Additional Information Provided: (See "CoA Instructions" for more detail)

Plan(s) of Work, with: (please check all of those which are included with this application)

- ☒ Site plan (with annotated notes showing existing site and requested work)
- ☒ Photographs of the building and location where the proposed work will be completed
- ☒ Annotated notes or photos of materials to be used (samples may also be submitted)
- ☒ Floor plan with dimensions (for additions)
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- ☒ Letter from owner acknowledging this application, in the case of submission by an applicant or lessee.

Please see Development Services Staff (Staff) prior to submittal for initial review of the application and advisement if additional information will be required before consideration at a Historic Preservation Commission hearing.

Please read the following statements. Your signature below acknowledges that you have read the statements and attest to their accuracy:

Check one:

- ☐ I am the owner of the Property, or
- ☒ I am acting on behalf of the owner of the property and I have attached a letter from the owner(s) indicating their knowledge of this application.

- ◆ I understand that submittal of this application does not constitute approval of proposed alterations.
- ◆ I understand that the approval of this application by City Staff or the New Bern Historic Preservation Commission (HPC) does not constitute approval of other federal, state, or local permit applications.
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- ◆ I understand that ANY unapproved alterations are enforceable as a violation of City Ordinance and must be brought into compliance by removal or through the CoA process.
- ◆ I affirm that all the information included in this application is true to the best of my knowledge.
- ◆ I understand that incomplete applications cannot be considered.


Signature of Applicant/Owner

7/29/20
Date

APPLICATION SHOULD BE SUBMITTED TO THE DEVELOPMENT SERVICES MAIN OFFICE AT 303 FIRST ST. NO LESS THAN 2 WEEKS PRIOR TO UPCOMING MEETING. FOR FURTHER INFORMATION, CONTACT THE ADMINISTRATOR OF THE HISTORIC PRESERVATION COMMISSION AT (252) 639-7583.



1202-A Pollock Street
New Bern, NC 28560
252-633-0322
www.goarchdesign.com

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OF LAW, AND MAY BE SUBJECT TO CIVIL AND CRIMINAL
PROSECUTION AND PENALTIES.

Date: 07.31.2020
Revisions:

CASKEY ADDITION
501 CRAVEN ST, NEW BERN, NC 28560

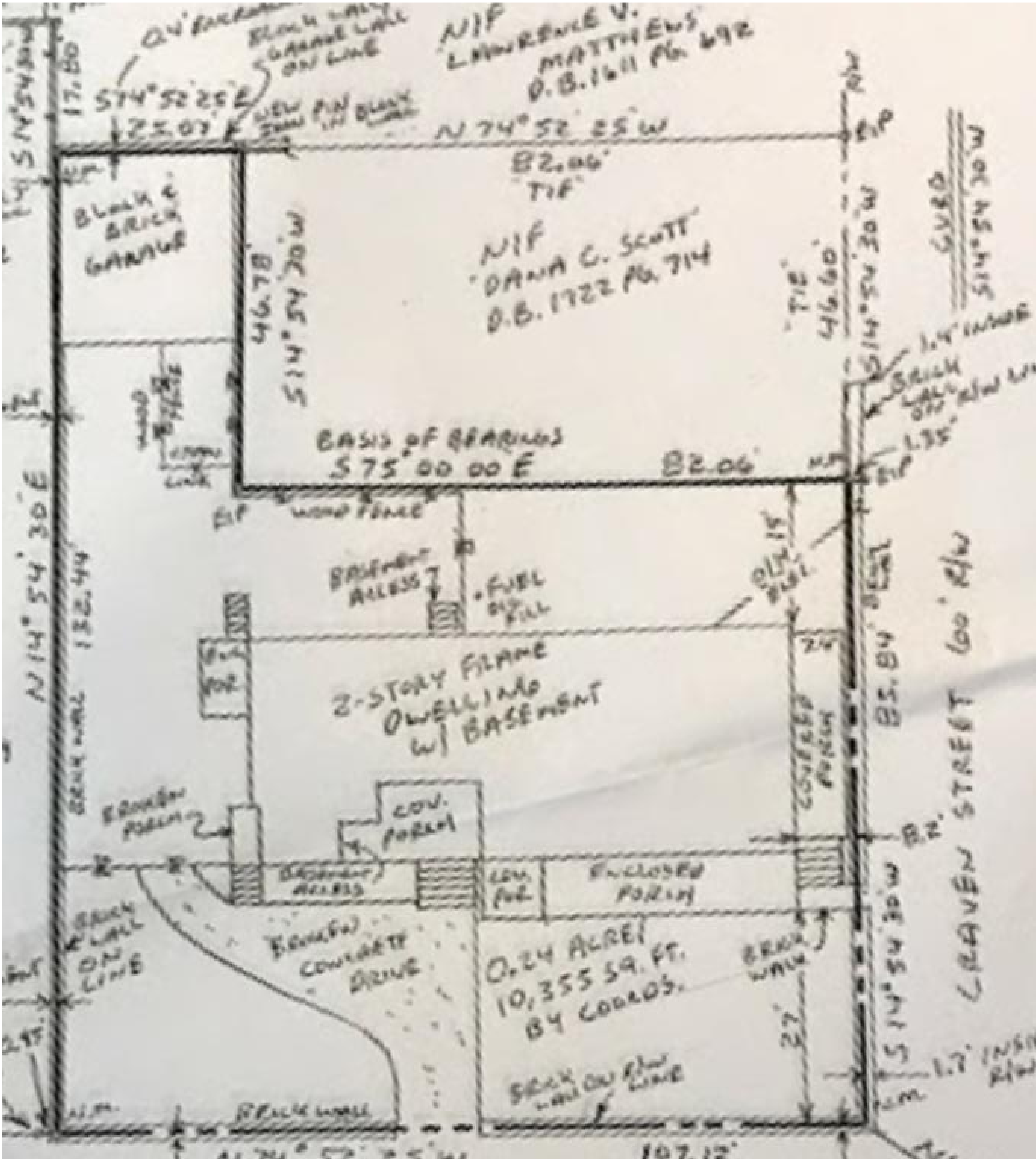
PHOTO
12 X 18 SHEETS ARE HALF SIZE



Google

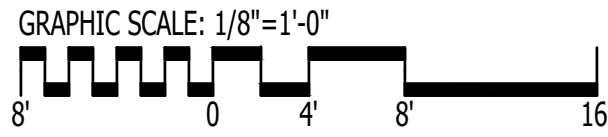


Google



1
C-101

SITE PLAN
Scale: 1/8" = 1'-0"



IT IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND/OR BUILDER TO CONFIRM TO ALL STANDARDS, PROVISIONS, REQUIREMENTS, METHODS OF CONSTRUCTION AND USES OF MATERIALS PROVIDED IN BUILDINGS AND/OR STRUCTURES AS REQUIRED BY N.C. UNIFORM BUILDING CODE, LOCAL AGENCIES AND IN ACCORDANCE WITH GOOD ENGINEERING PRACTICE. VERIFY ALL DIMENSIONS PRIOR TO CONSTRUCTION. VERIFY ALL COLOR AND MATERIAL CHOICES WITH OWNER PRIOR TO ORDERING OR INSTALLING.



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Date: 07.31.2020

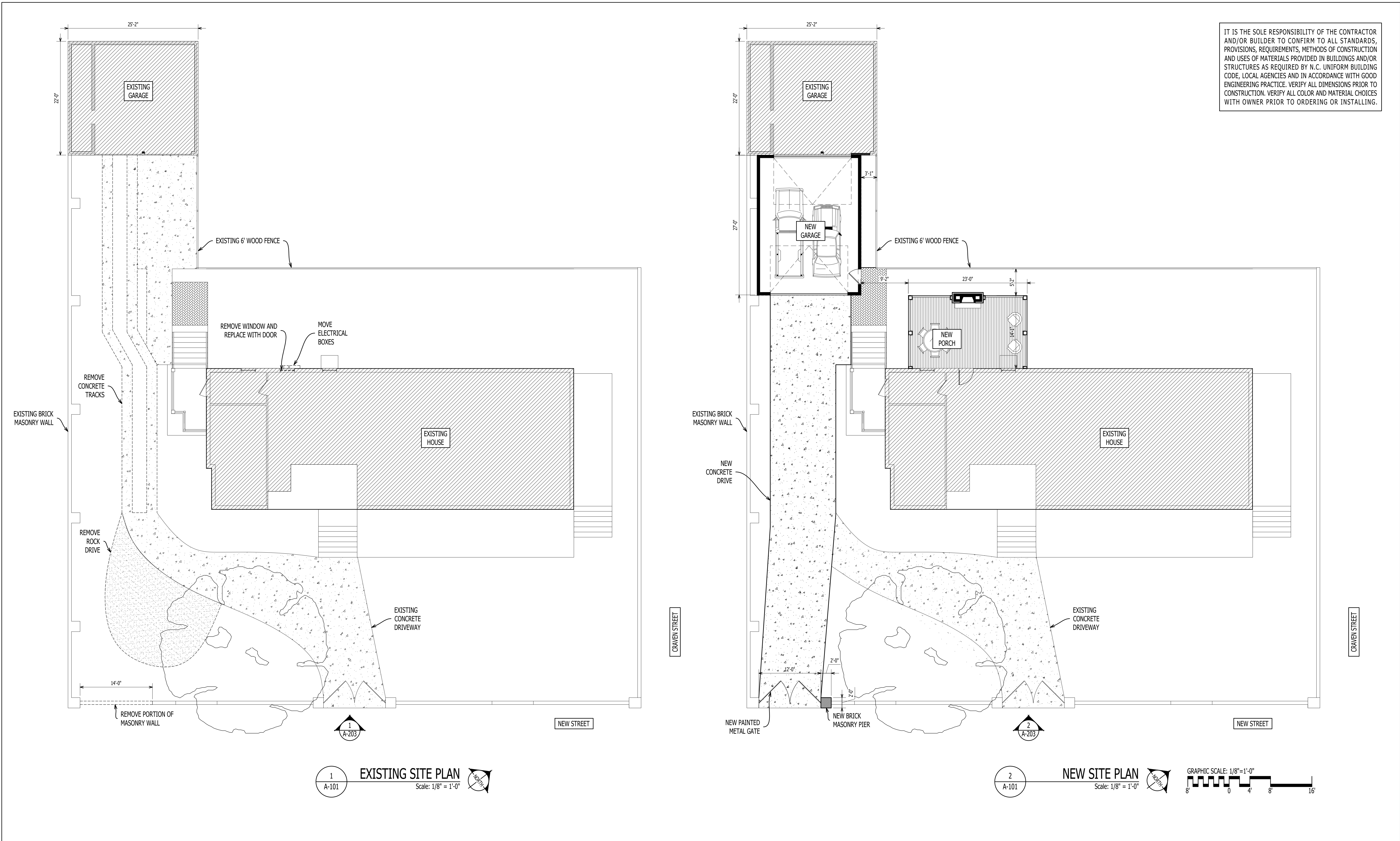
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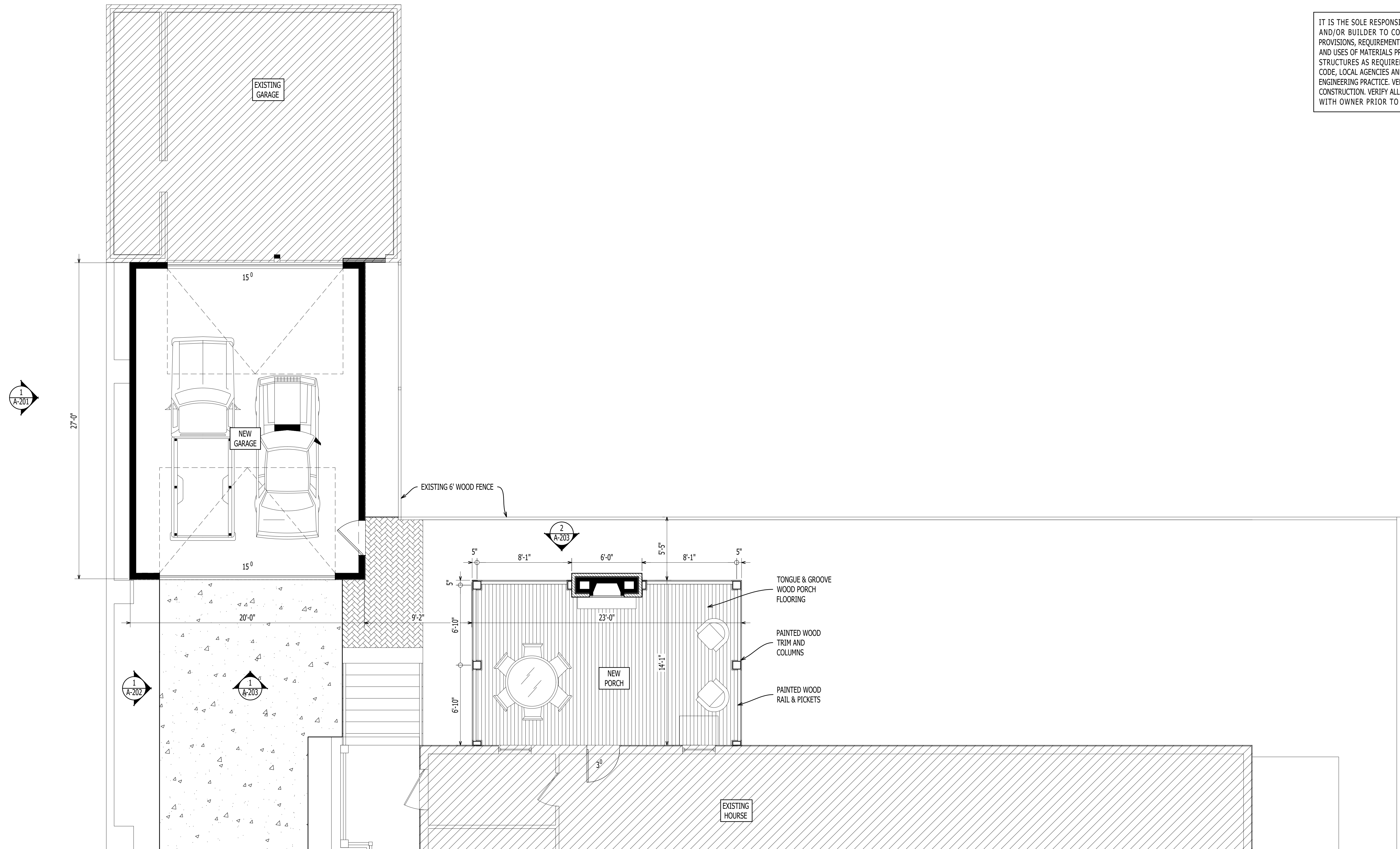
C-101

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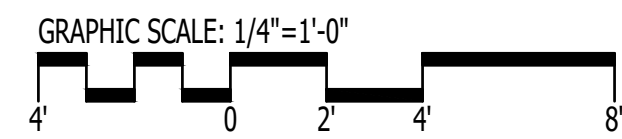
12 X 18 SHEETS ARE HALF SIZE

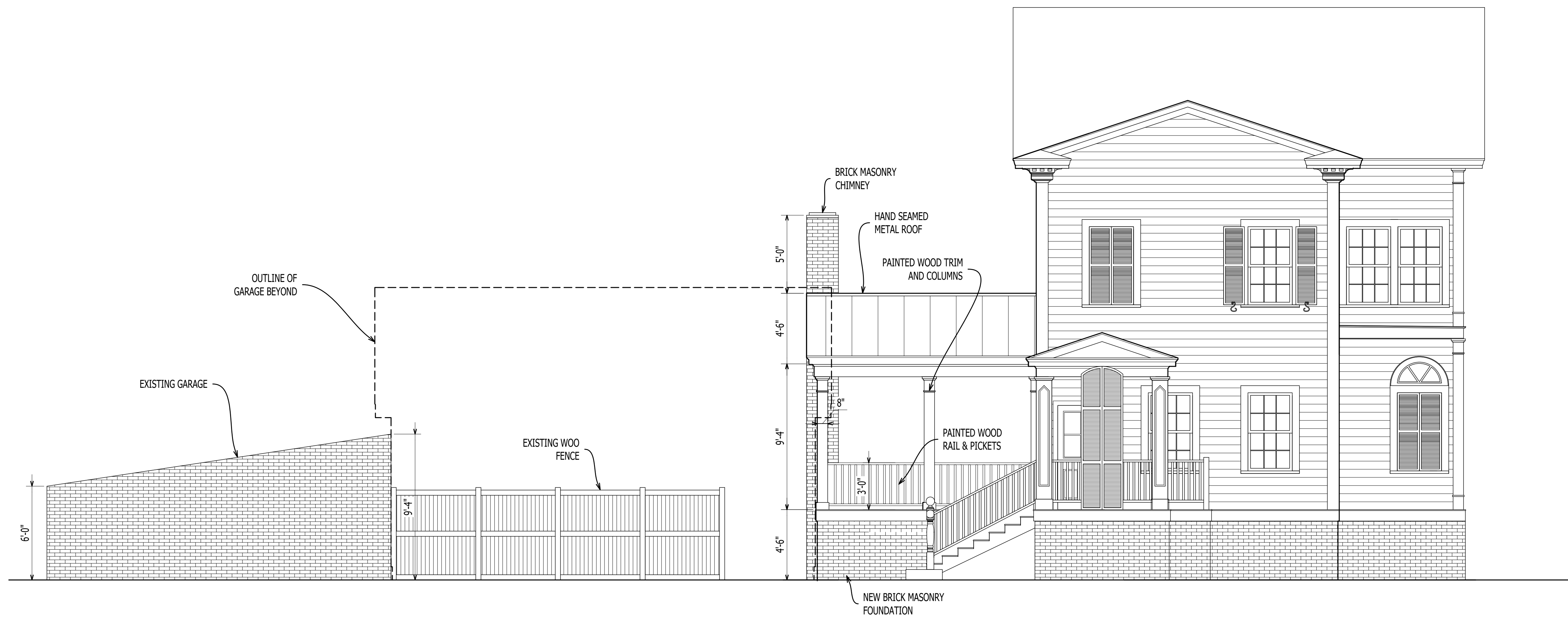


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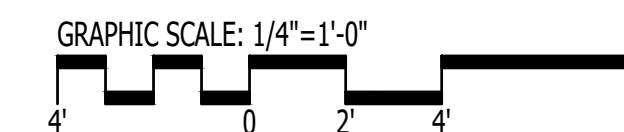
1
A-102
NEW FLOOR PLAN
Scale: 1/4" = 1'-0"





1
A-201

NEW ELEVATION
Scale: 1/4" = 1'-0"



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Date: 07.31.2020

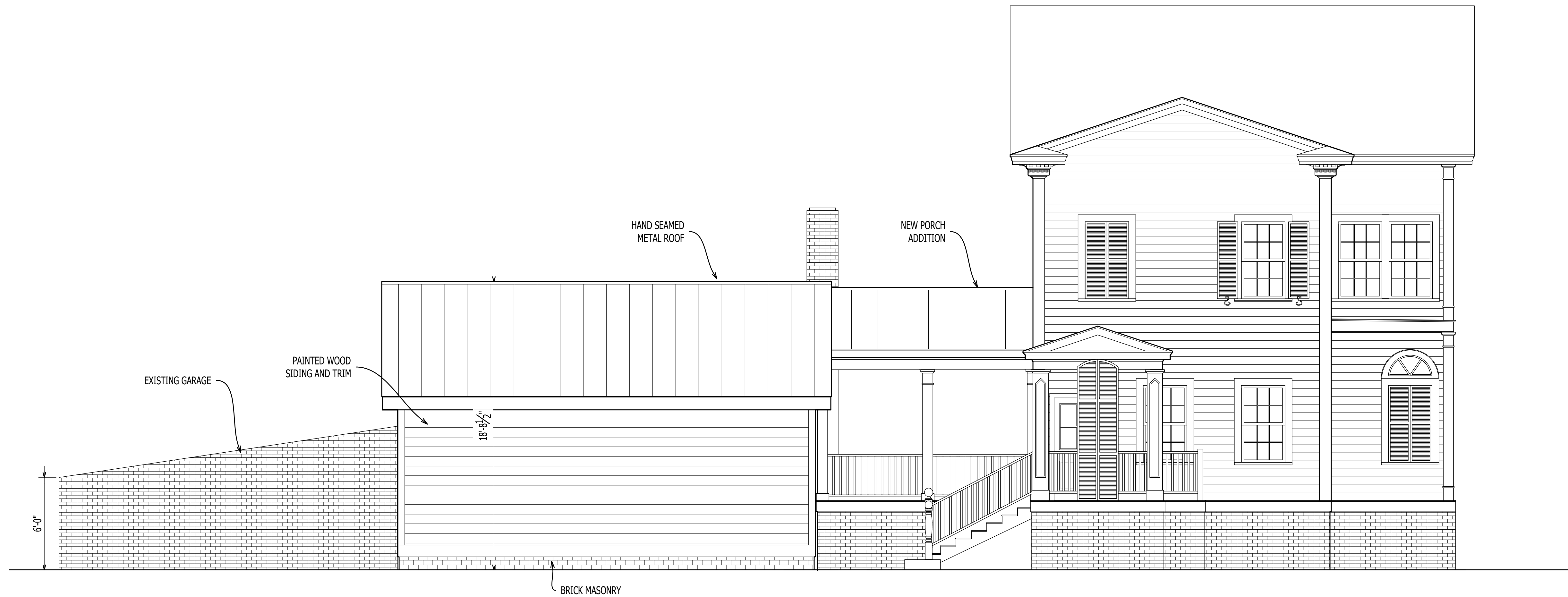
Revisions:

CASKEY ADDITION
501 CRAVEN ST, NEW BERN, NC 28560

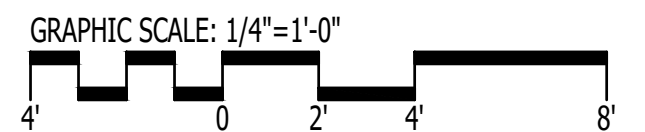
A-201

NEW ELEVATION

12 X 18 SHEETS ARE HALF SIZE



1
A-202
NEW ELEVATION
Scale: 1/4" = 1'-0"

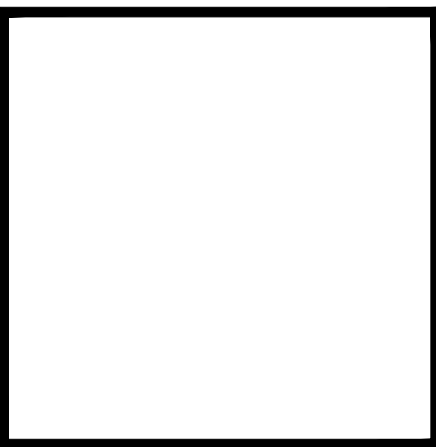


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Date: 07.31.2020

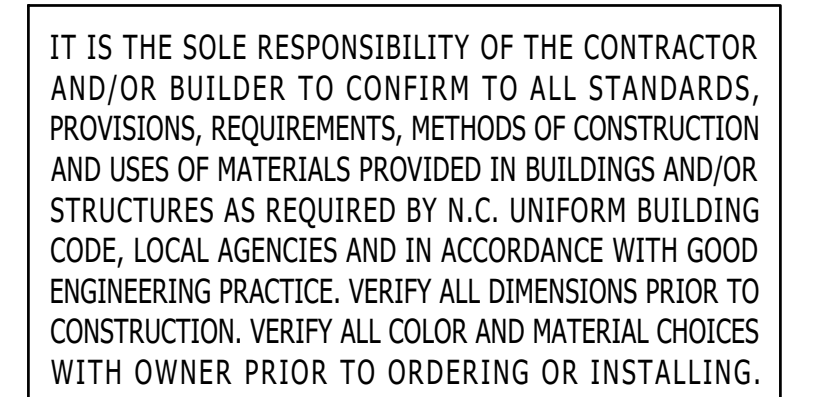
Revisions:

CASKEY ADDITION
501 CRAVEN ST, NEW BERN, NC 28560

A-202

NEW ELEVATION

12 X 18 SHEETS ARE HALF SIZE



Matthew Schelly

From: Sarah Afflerbach <sarah@goarchdesign.com>
Sent: Friday, August 14, 2020 1:16 PM
To: Matthew Schelly
Subject: Re: 501 Craven - questions

Matt,

Good points! In looking at our measurements the pilasters should clear the shutters but it's tight. The idea is to come on the very outside of both shutters to the left and right and that's where the porch will be located. The shutters will NOT be modified in any way. The existing foundation on the house is flat without piers and painted black brick. They have asked for a solid wall and I have not delineated piers. The side entry porch is a sold brick painted black as well. I don't suppose we can ask to paint our brick as well. I will need to add in a access door to below and it seems that the wall parallel with the house would hide it from the street and the entry way. I'll add that and bring to the meeting. Also the columns are as detailed. The front and side entry porch have the same column with the inset detail and the other side porch has round columns. I was under the impression they wanted to use a square column and just trim it as I've shown but I can check to see if they want to replicate either of the existing columns on the house. The new door is a full light painted wood door.

Sarah

On Fri, Aug 14, 2020 at 10:53 AM Matthew Schelly <SchellyM@newbernnc.gov> wrote:

Also, does the foundation wall for the house indicate the piers or is it a flat wall? If piers, the porch may need to be the same.

Thanks,

Matt



Matthew Schelly, AICP, Reg. Arch. (CA), CZO, CFM

City Planner, Historic Preservation Administrator

City of New Bern, Development Services Department

303 First Street

New Bern, NC 28560

Aldermen

Sabrina Bengel
Jameesha S. Harris
Robert V. Aster
Johnnie Ray Kinsey
Barbara J. Best
Jeffrey T. Odham



300 Pollock Street, P.O. Box 1129
New Bern, NC 28563-1129
(252) 636-4000

Dana E. Outlaw
Mayor

Mark A. Stephens
City Manager

Petitioners requesting City of New Bern Historic Preservation Commission action on property not owned by them must have this form completed by the owner of the property.

CERTIFICATE OF APPROPRIATENESS OWNERS AUTHORIZATION

Dear Sir or Madame:

I am the owner of the property located at:

501 Craven St, New Bern NC. 28560
(address, city, zip code)

I hereby authorize GO Architectural Design, PLLC to appear with my consent, before the City of New Bern Historic Preservation Commissioner in order to request a Certificate of Appropriateness for the property referenced above.

I authorize you to present this matter on my/our behalf as the owner(s) of the property.

If there are any questions, please contact me at the following address and phone number:

501 Craven St, New Bern Phone 252.670.8276

Brian Caskey
Owner's Signature

Brian Caskey
Print Name

3 Jun 2020
Date

Sworn to and subscribed before me this 3 day of June, 2020.

Anthony Baggs
Notary Public: Anthony Baggs

My commission expires: N/A LtCol USMC



Zoning and Inspections Review of

Application for Certificate of Appropriateness for Alterations in Historic District

Initial review of applications for certificates of appropriateness by the Zoning Administrator and Chief Building Inspector is intended to provide the applicant and Historic Preservation Commission with information related to compliance with local land use ordinance and building code. It does not represent a formal approval of a permit by any party and does not bind the decisions of Commission.

Application Address and Description: 501 Craven St. – to include a new addition to the existing garage in the rear, add a covered side porch to the house, and create a new driveway entry with a new gate in the existing brick wall.

Zoning Administrator please review the application and fill out all applicable items

Zoning District: R-10

Required Setbacks (primary structure): Front Sim. Side 5' Rear 6'

Accessory Setbacks: From ^{Primary} Nearest Structure 8' Side 3' Rear 3'

Maximum Lot Coverage for proposed use: 60%

Maximum Height of Structure: 45'

Required Site Improvements: Landscaping NA Buffer NA Parking NA

Other requirements:

I have reviewed the application for proposed alterations to this property and have determined that it Meets X Does Not Meet _____ the requirements of the Land Use Ordinance.

Comments:

Zoning Administrator [Signature] 8/14/2020
[Signature]

Chief Building Inspector please review the application and include any comments below

The proposed project Will X Will Not _____ require a building permit(s).

Comments:

Chief Building Inspector [Signature] 8/14/2020

Certificate of Appropriateness Findings and Recommendations

HPC Regular Meeting - August 2020

Applicant: Brian & Jennifer Caskey/GO Architectural Design PLLC

Applicant Address: 501 Craven St., New Bern, NC 28560

Project Address: 501 Craven St., New Bern, NC 28560

Historic Property Name: Dr. Edward F. Smallwood House

Status: **Contributing:** X **Non-contributing:**

NR Inventory Description (2003): c. 1841-1845; Two-and-a-half stories; three bays wide; interior end chimneys; gable-end roof.

Sandbeck Description (1988): ca. 1841-1845; ... It shares with the others [the Hollister and Dixon-Stevenson houses] the undercut modillion and dentil cornice, and the use of corner pilasters....

501 Craven St. - to include a new addition to the existing garage in the Tertiary AVC, add a covered side porch to the house in the Secondary AVC, and create a new driveway entry with a new gate in the existing brick wall in the Primary AVC.

Staff submits the following Historic District Guidelines are appropriate to this application:

Accessory Structures

- 2.6.1 Locate accessory structures in Secondary or Tertiary AVCs, and behind primary structures when possible. Accessory structures are to be secondary to the primary structure in regard to mass, scale, form, and texture.
- 2.6.2 It is appropriate for outbuildings, and similar structures with substantial foundations, to have a similar form and detailing as the primary structure. Reduce these elements in scale to compliment the outbuilding massing, and incorporate less ornate and simpler elements than found on the primary structure.

Modifications

- 3.2.1 Select materials that are consistent with the structure. Limit the palette to those materials that were available at the time a building was originally constructed.
- 3.2.2 Modifications to a structure should not conceal, damage, or remove significant design components or architectural features.

Foundations

- 4.1.1 Adhere to Guidelines for retention of historic fabric when altering foundation components.
- 4.1.2 When infilling between brick piers, recess brick curtain walls 1 to 2 inches to visually delineate piers.
- 4.1.3 Use traditional materials when constructing foundations. Concrete block should receive a veneer of stucco, brick or other appropriate masonry material.
- 4.1.4 Locate foundation features such as vents and access doors in areas that will not detract from the architectural character of the building. Coordinate with other architectural features when possible, such as aligning vents and access doors with windows above or centering them between piers.

Walls, Trim and Ornamentation

- 4.2.1 Adhere to Guidelines for retention of historic fabric when altering wall components.
- 4.2.2 It is not appropriate to introduce trim or ornamentation to a contributing structure without documentary evidence that such elements historically existed.

Certificate of Appropriateness Findings and Recommendations

HPC Regular Meeting - August 2020

- 4.2.4 Incorporate wood trims and articulate masonry appropriately for the application.
- 4.2.5 Primary structures are generally more ornate and detailed. Accessory structures are generally subordinate to the primary structure and have minimal ornamentation, if any, and simplified details.

Windows, Doors and Openings

- 4.3.1 Adhere to Guidelines for retention of historic fabric when altering window, door, and opening components.
- 4.3.2 Add window and door openings in Secondary or Tertiary AVCs in locations that do not diminish the original design. In general, openings shall have a vertical orientation or be square.
- 4.3.3 Glazing should have true divided light muntins, or three-dimensional grilles affixed to both the interior and exterior of the glass. Provide shadow bars between insulated glass panes.

Entrances

- 4.4.4 Provide porches, entrance doors, railings, and other ornaments that proportionally relate to the building. Appropriate balustrades often convey a heavier visual appearance. Center balusters between the top and bottom rails and space them about three inches apart.

Roofs

- 4.5.4 Standing seam metal roofs shall have a pan width no greater than 24 inches. Pans shall be completely flat without corrugation. Provide double locked seams with flush ridge and hip flashings on contributing structures.

Decks and Patios

- 4.6.1 Adhere to Guidelines for retention of historic fabric when altering deck components.
- 4.6.2 Locate decks in Secondary and Tertiary AVCs, and screen the underside with shrubbery, fencing, lattice, or masonry.
- 4.6.3 Structurally separate decks to allow removal without damaging the historic structure.

Masonry

- 5.1.2 Match the masonry bond, or pattern, of masonry materials found in adjoining work. In general, new material should be the same size, color, and texture of that existing.
- 5.1.3 The size, color, texture and bond, or pattern, of masonry and mortar creates the intended finished appearance. It is not appropriate to paint masonry that has not been previously painted.
- 5.1.5 Provide a veneer of brick, stucco, or other appropriate material over concrete masonry units. Architectural concrete masonry units such as rusticated, split face or similar types may be substituted for stone masonry construction.
- 5.1.6 It is not appropriate to use water repellants or sealers on masonry because these treatments often trap moisture and accelerate spalling.

Wood

- 5.2.1 Adhere to Preservation Guidelines for retention of historic fabric when altering wood materials.
- 5.2.2 Construct wood assemblies similar to that found in adjoining work. In general, new material should be the same dimension and shape of that existing.

Certificate of Appropriateness Findings and Recommendations

HPC Regular Meeting - August 2020

Metals

- 5.3.2 Use metal fabrications found in adjoining work. In general, new material should be the same dimension, shape, and alloy of that existing.
- 5.3.3 Use full weld iron and steel fabrication techniques. Welds shall be properly dressed, or ground smooth.
- 5.3.4 Provide aluminum fabrications with welded joints or blind, mechanical connections having concealed fasteners.

Paint

- 5.4.1 Adhere to Guidelines for retention of historic fabric when altering painted materials.
- 5.4.2 Select paint and sealant coatings that are harmonious with adjoining work. In general, new material shall be a compatible formulation with the substrate of application.
- 5.4.3 Apply primer coatings to front and back wood surfaces prior to cutting and fitting. Prime end cuts before installation. Apply finish paint coatings to exposed primed surfaces.
- 5.4.4 Consider using opaque stain in lieu of paint on flooring, fencing, and similar wood surfaces exposed to foot traffic or weather.
- 5.4.6 It is not appropriate to apply paint, water repellant or sealant coatings to unpainted surfaces such as masonry, stone, copper, and bronze.
- 5.4.9 It is not appropriate to paint exterior doors that were historically false grained, stained or varnished. It is not appropriate to leave surfaces such as porch flooring, deck flooring or railings unpainted.

Statements of Reason, based on the information contained in the application, in Staff's judgment are:

1. The project is located within the Primary, Secondary, and Tertiary AVCs;
2. The proposed modifications do not conceal, damage, or remove historically significant design components or architectural features;
3. The Zoning Administrator and the Chief Building Official have reviewed this project and commented accordingly;
4. The project is not incongruous with the Guidelines.

MOTION

Staff recommends the Commission approve this application for a new addition to the existing garage in the Tertiary AVC, add a covered side porch to the house in the Secondary AVC, and create a new driveway entry with a new gate in the existing brick wall in the Primary AVC.

FEE SCHEDULE (office use only)
☐ \$22 Standard Application (minor)
☒ \$107 Standard Application (major)



HPC Administrator
 HPCadmin@newbern-nc.org
 Work:(252)639-7583
 Fax: (252)636-2146

Application for a Certificate of Appropriateness
(For Alterations to Properties in Locally Designated Historic Districts)

For assistance see "CoA Instructions", as well as "Historic District Guidelines", available online at:
<http://www.newbern-nc.org/departments/development/historic-preservation/historic-preservation-guidelines/>

Type of Project: ☐ Exterior Alteration ☐ Addition ☒ Infill ☐ Site Work ☐ Other

I. Applicant/Owner Information:

Property Address (Include year built, if known): 304 Queen Street (new build)

Property Owner Name(s): River Station Development Corp Hubie Tolson	Owner Mailing Address: 227 E. Front Street New Bern, NC 28560	Phone #'s: 252-638-4215	Email: hubie@uhfdevelopmentgroup.com
Applicant Name (if different): GO Architectural Design, PLLC Sarah Afflerbach, AIA	Applicant Mailing Address: 1202A Pollock Street New Bern, NC 28560	Phone #'s: 252-633-0322	Email: sarah@goarchdesign.com

II. Project Information: *(See "CoA Instructions" & "Historic Guidelines" for help in completing this section)*

1. Provide a detailed description of work to be conducted on site: (Attach additional sheets if needed)
 Construct a new story and a half single family home on an empty lot. See plans and elevations for details and material choices.

Continued on additional sheet or attached brochure ☒

2. Reference the specific Guideline(s) in the "Historic District Guidelines" which you believe apply to this project: (page and guideline number):

2.1.1, 2.1.2, 2.1.3, 4.1.1, 4.1.2, 4.1.3, 4.1.4, 4.2.1, 4.2.2, 4.2.3, 4.2.4, 4.3.1-4.3.7, 4.4.1-4.4.5,
 4.5.1-4.5.6, 4.6.1-4.6.3

Continued on additional sheet or attached brochure ☐

3. Provide a detailed description of materials to be used (copies of brochures, texture, etc.):

Reference the specific Guidelines in the Historic District Guidelines for the proposed material(s).

Hardie Board siding (smooth faced lap siding and shakes), Azek trim and railing and painted ornamental railing, brick masonry piers, painted preservative treaded louvers, vinyl windows with 3D grilles inside and out, asphalt shingles and hand seamed metal roofing, concrete walk and driveway.

Continued on additional sheet or attached brochure ☒

III. Additional Information Provided: (See "CoA Instructions" for more detail)

Plan(s) of Work, with: (please check all of those which are included with this application)

- ☒ Site plan (with annotated notes showing existing site and requested work)
- ☒ Photographs of the building and location where the proposed work will be completed
- ☒ Annotated notes or photos of materials to be used (samples may also be submitted)
- ☒ Floor plan with dimensions (for additions)
- ☒ Elevations with dimensions (for exterior additions or renovations)
- ☒ Supporting materials (brochures, photos of similar New Bern projects, estimates, etc.)
- ☒ Letter from owner acknowledging this application, in the case of submission by an applicant or lessee.

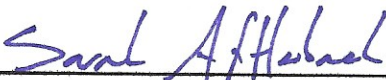
Please see Development Services Staff (Staff) prior to submittal for initial review of the application and advisement if additional information will be required before consideration at a Historic Preservation Commission hearing.

Please read the following statements. Your signature below acknowledges that you have read the statements and attest to their accuracy:

Check one:

- ☐ I am the owner of the Property, or
- ☒ I am acting on behalf of the owner of the property and I have attached a letter from the owner(s) indicating their knowledge of this application.

- ◆ I understand that submittal of this application does not constitute approval of proposed alterations.
- ◆ I understand that the approval of this application by City Staff or the New Bern Historic Preservation Commission (HPC) does not constitute approval of other federal, state, or local permit applications.
- ◆ I understand that I (or my representative) will need to attend the Hearing of this Application by HPC. No Applications shall be heard without a representative present and all applicable fees paid in full.
- ◆ I have reviewed the City of New Bern's "Historic District Guidelines" in preparing this Application.
- ◆ I understand that the property referenced by this Certificate of Appropriateness (CoA) application is in one of New Bern's local historic districts and that it represents a part of New Bern's historic fabric. If a CoA is approved by HPC or Staff, I agree to implement all changes as specified in the approved CoA, including any conditions. I understand that I am responsible for contacting Staff if I have any questions regarding the allowed changes specified in the approved CoA.
- ◆ I understand that ANY unapproved alterations are enforceable as a violation of City Ordinance and must be brought into compliance by removal or through the CoA process.
- ◆ I affirm that all the information included in this application is true to the best of my knowledge.
- ◆ I understand that incomplete applications cannot be considered.



Signature of Applicant/Owner



Date

APPLICATION SHOULD BE SUBMITTED TO THE DEVELOPMENT SERVICES MAIN OFFICE AT 303 FIRST ST. NO LESS THAN 2 WEEKS PRIOR TO UPCOMING MEETING. FOR FURTHER INFORMATION, CONTACT THE ADMINISTRATOR OF THE HISTORIC PRESERVATION COMMISSION AT (252) 639-7583.

LOT 17 - RIVERSTATION CUSTOM HOME



KEYS & SYMBOLS

DOOR & WINDOW SIZE KEY
2'6" = 2'-6" WIDE (ASSUME STANDARD DOOR HEIGHT OF 6'-8" UNLESS NOTED)
2060 = 2'-0" WIDE X 6'-0" HIGH

DRAWING NUMBER
SHEET NUMBER

ROOM NAME
BEDROOM
10' CLG WOOD

CEILING HEIGHT AND SQUARE FOOTAGE
FLOOR FINISH

DRAWING NUMBER
1
A-101
SHEET NUMBER

FIRST FLOOR PLAN
Scale: 1/4" = 1'-0"

0'-0" GRADE
ELEVATION HEIGHT

VENTILATION

GARAGE	904 SQ IN (8) 8" X 16" VENTS
ROOF	1421 SQ IN

ELECTRICAL ELEGEND

SCHEDULE

RECEPTACLE

OH OVERHEAD RECEPTACLE

GFCI GFCI RECEPTACLE

WP WATER PROOF RECEPTACLE

\$ SWITCH

\$3 3 WAY SWITCH

FAN / LIGHT

SECURITY LIGHT

CEILING MOUNT

WALL SCONCE

CEILING PENDANT

FAN / LIGHT

6" RECESSED CAN

FLUORESCENT

UNDER-COUNTER

CABLE

TELEPHONE

SHEET SCHEDULE

G-101	TITLE SHEET
C-101	SITE PLAN
A-101	FIRST FLOOR PLAN
A-102	SECOND FLOOR PLAN
A-103	ROOF PLAN
A-104	FRAMING PLANS
A-201	ELEVATIONS
A-202	KITCHEN ELEVATIONS
A-301	SECTION
E-101	ELECTRICAL PLANS

GROSS SQUARE FOOTAGE

HEATED / COOLED	
FIRST FLOOR PLAN	1,016 SF
SECOND FLOOR PLAN	687 SF
TOTAL H/C	1,703 SF
NON HEATED	
FRONT PORCH	27 SF
BACK PORCH	74 SF
CARPORT	206 SF
TOTAL NON H/C	307 SF

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Date: 08.03.2020
Revisions:

LOT 17 - RIVER STATION
304 QUEEN STREET , NEW BERN, NC 28560

G-101
SITE PLAN

12 X 18 SHEETS ARE HALF SIZE



SITE PHOTO



SITE PHOTO



SITE PHOTO



SITE PHOTO



POLLOCK STREET - VIEW ACROSS THE STREET



QUEEN STREET - SIMILAR RAILING



E. FRONT STREET - SIMILAR RAILING



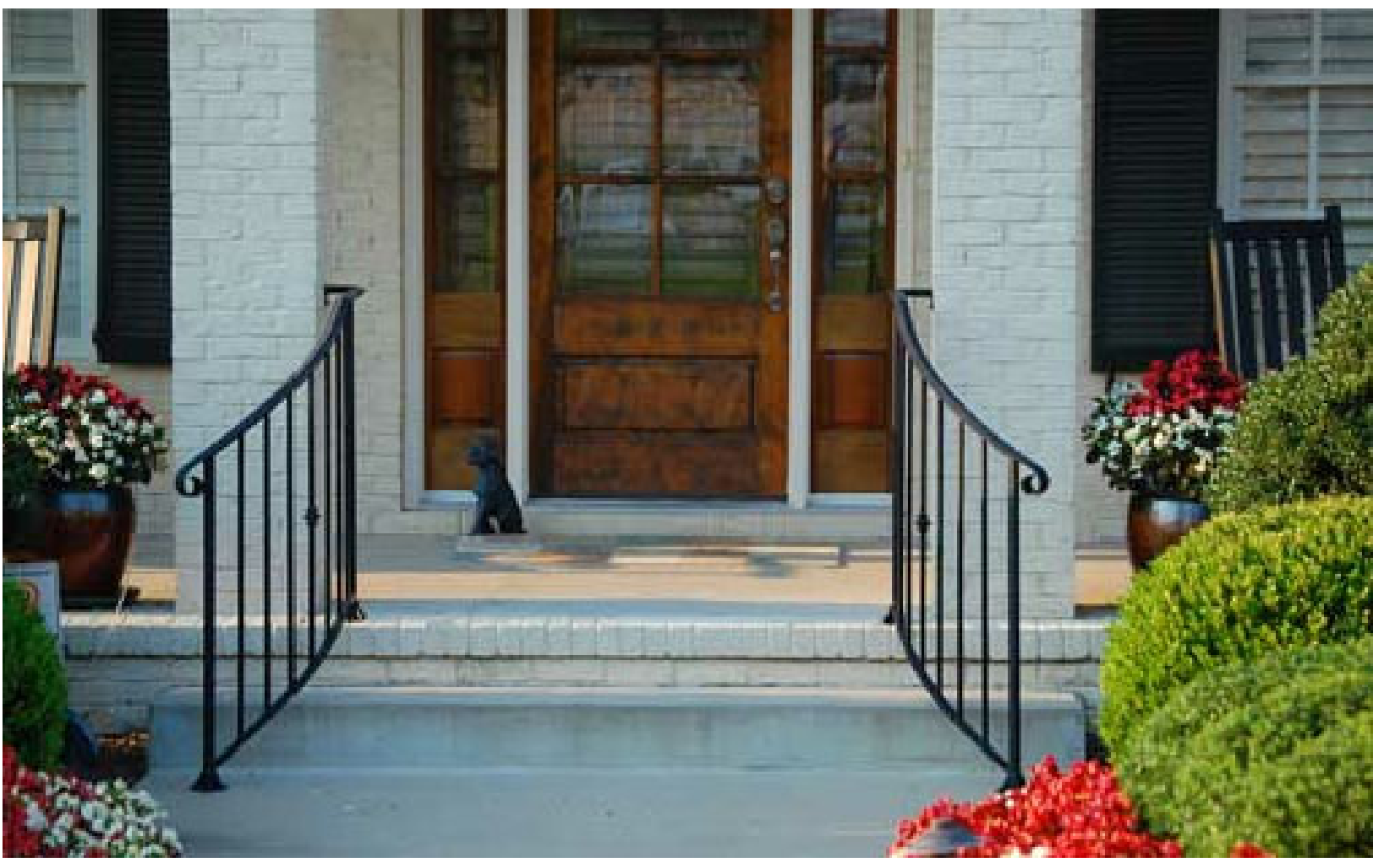
HARDIE BOARD SHINGLES AND LAP SIDING EXAMPLE



HARDIE BOARD SHINGLES AND LAP SIDING EXAMPLE



ROOF AND TRIM DETAIL EXAMPLE



QUEEN STREET - SIMILAR RAILING



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Date: 08.03.2020

Revisions:

LOT 17 - RIVER STATION
304 QUEEN STREET , NEW BERN, NC 28560

PHOTOS

12 X 18 SHEETS ARE HALF SIZE

3/2/07
 DATE
 REVIEW OFFICER
 REVIEW OFFICER
 REVIEW OFFICER

CERTIFICATE OF REGISTRATION BY REGISTER OF DEEDS
 NORTH CAROLINA, CRAVEN COUNTY

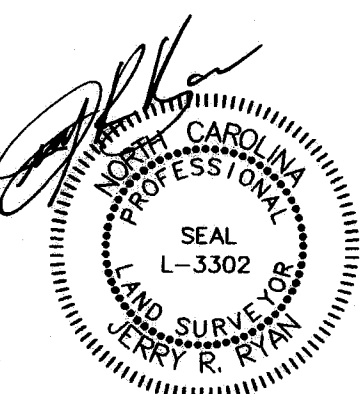
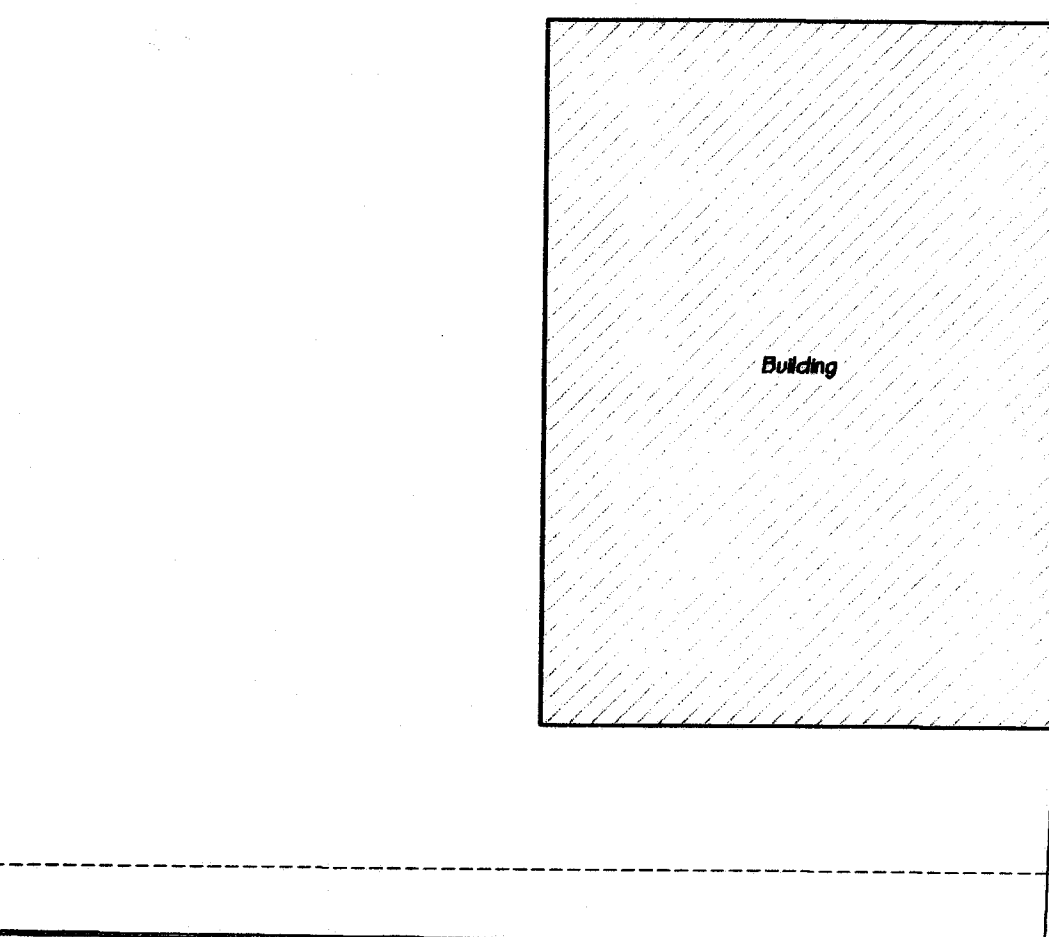
FILED FOR REGISTRATION ON 7 DAY OF March
 2007, AT 9:57 AM/PM AND FULLY RECORDED
 IN PLAT CABINET H SLIDE(s) 80-F

LEGEND

- IPF - IRON PIN FOUND
 IPS - IRON PIN SET
 CMF - CONCRETE MONUMENT FOUND
 MBS - MINIMUM BUILDING SETBACK
 DUE - DRAINAGE AND UTILITY EASEMENT
 P.O. - POWER POLE w/ OVERHEAD UTILITIES
 [801] - ADDRESS
 Δ - CONTROL DISK

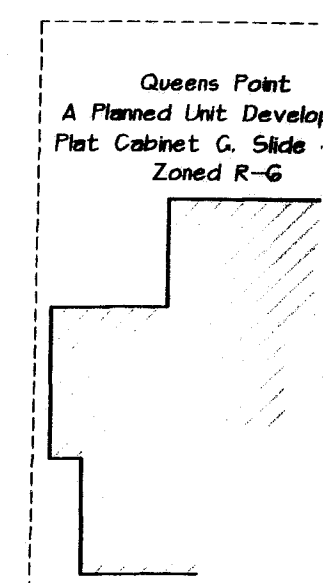
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 Page 2 of 2

BK 2573 PG 107



PLANNING + DESIGN BY
AVOLIS ENGINEERING, P.A.
 Civil and Environmental Engineering
 PO BOX 15564, NEW BERN, NC 28561
 (252)633-0068, FAX (252)633-6507

East Front Street
 60' paved/public R/W



Final

Subdivision of
River Station
 A Planned Unit Development
 East Front St. (Ext.) - City of New Bern

TOWNSHIP No. 8 GRAVEN COUNTY NORTH CAROLINA

DATE: Jan. 8, 2007

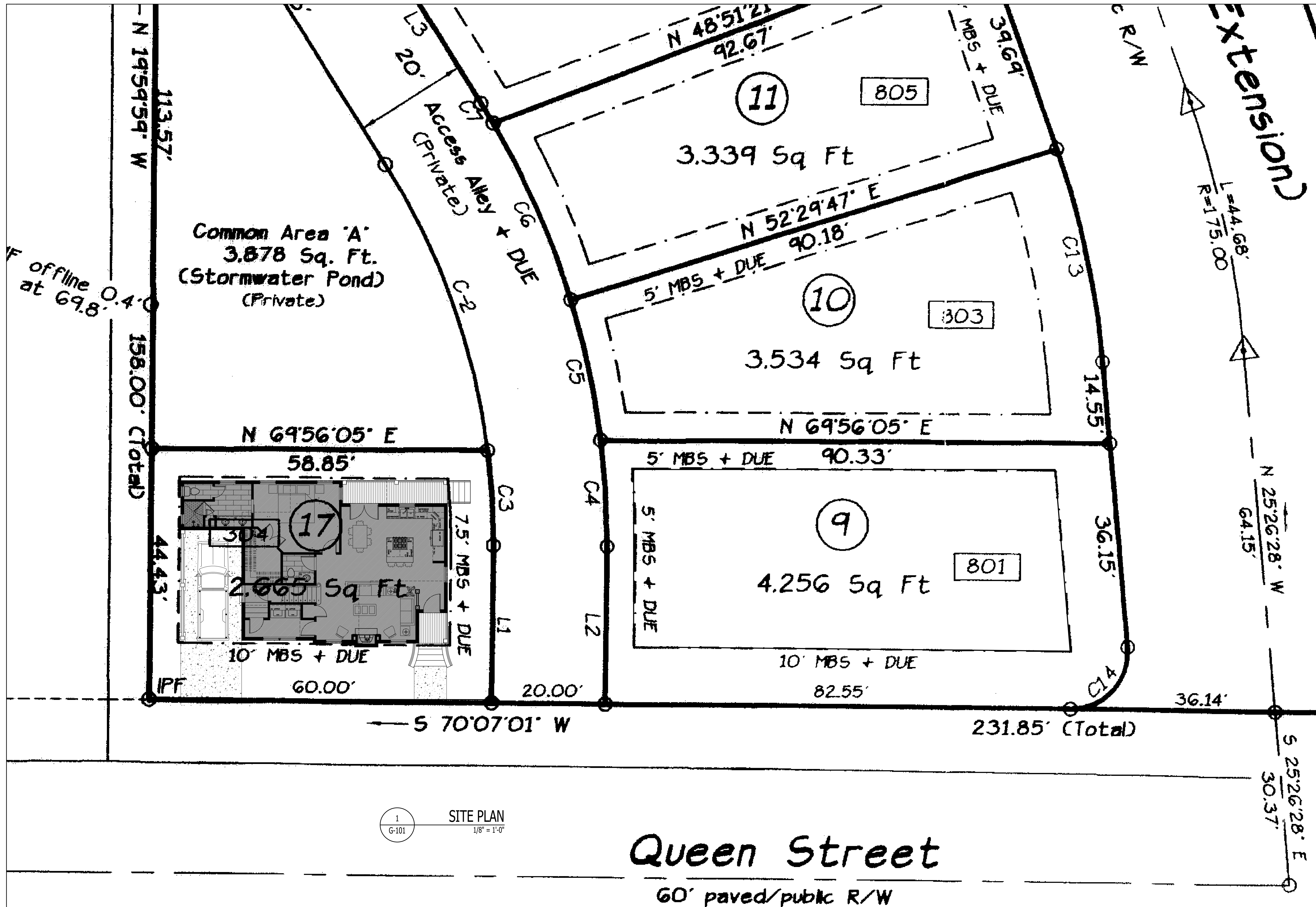
JOB No: 26022

SCALE: 1" = 30'

1305 Country Club Road
 New Bern, North Carolina
 (252) 633-6649

©

F-28-H



SHEET LIST

- G-101 TITLE SHEET
- A-101 FIRST FLOOR PLAN
- A-102 SECOND FLOOR PLAN
- A-103 ROOF PLAN
- A-104 FRAMING PLANS
- A-201 ELEVATIONS
- A-202 KITCHEN ELEVATIONS
- A-301 SECTION
- E-101 ELECTRICAL PLANS

NOTES:

REVIEW THE CERTIFICATE OF APPROPRIATENESS PRIOR TO CONSTRUCTION.

PLANT 2 APPROVED FLOWERING TREES IN THE RIGHT OF WAY ON QUEEN STREET

GRAPHIC SCALE: 1/8"=1'-0"



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1 SITE PLAN
G-101 1/8" = 1'-0"

Queen Street

60' paved/public R/W



1202-A Pollock Street
New Bern, NC 28560
252-633-0322
www.goarchdesign.com

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Date: 08.03.2020

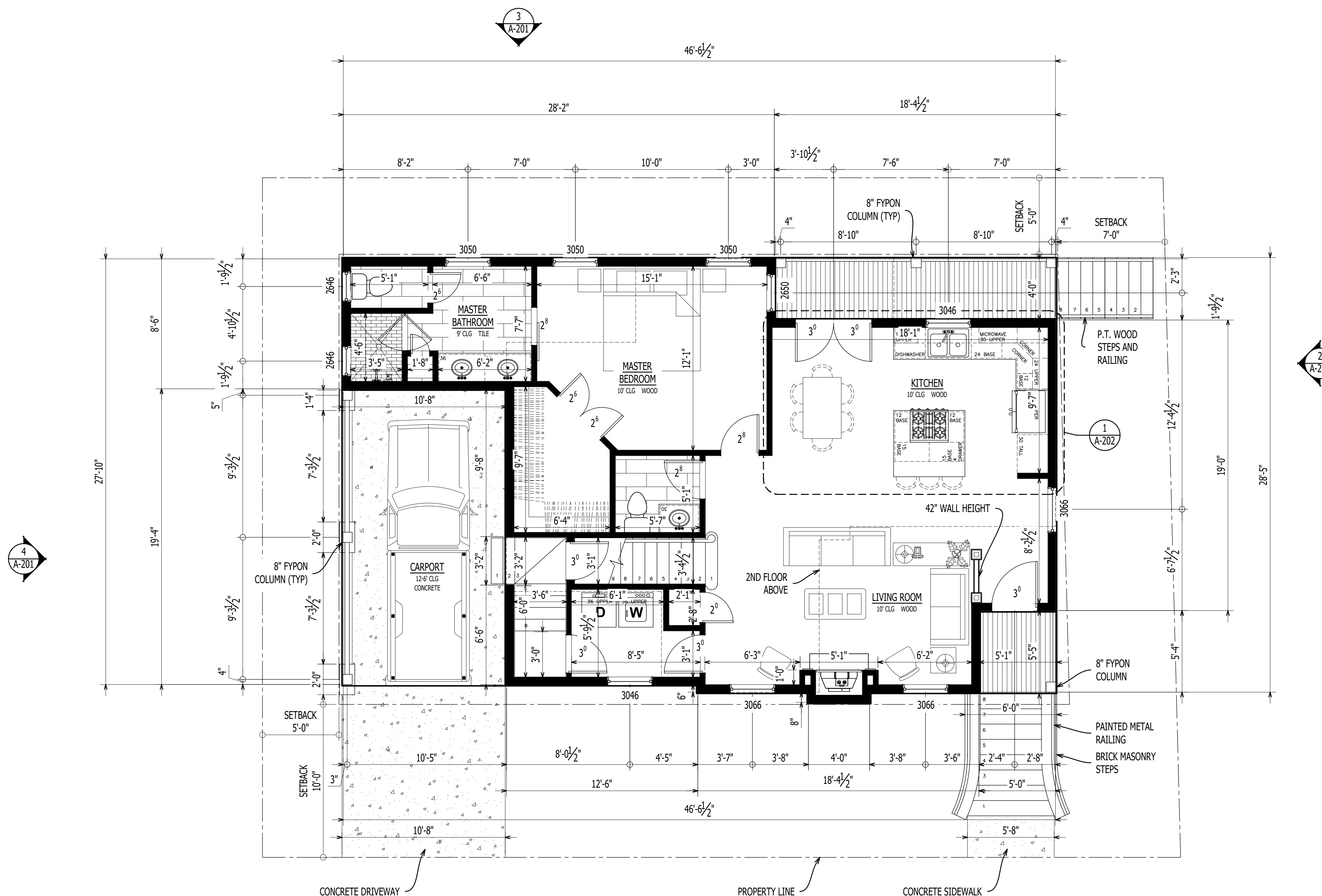
Revisions:

LOT 17 - RIVER STATION
304 QUEEN STREET , NEW BERN, NC 28560

G-101

SITE PLAN

12 X 18 SHEETS ARE HALF SIZE

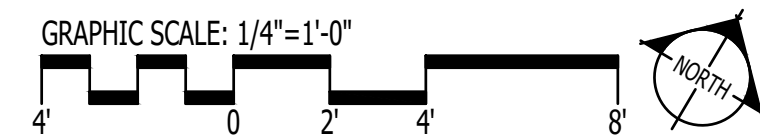


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A-101

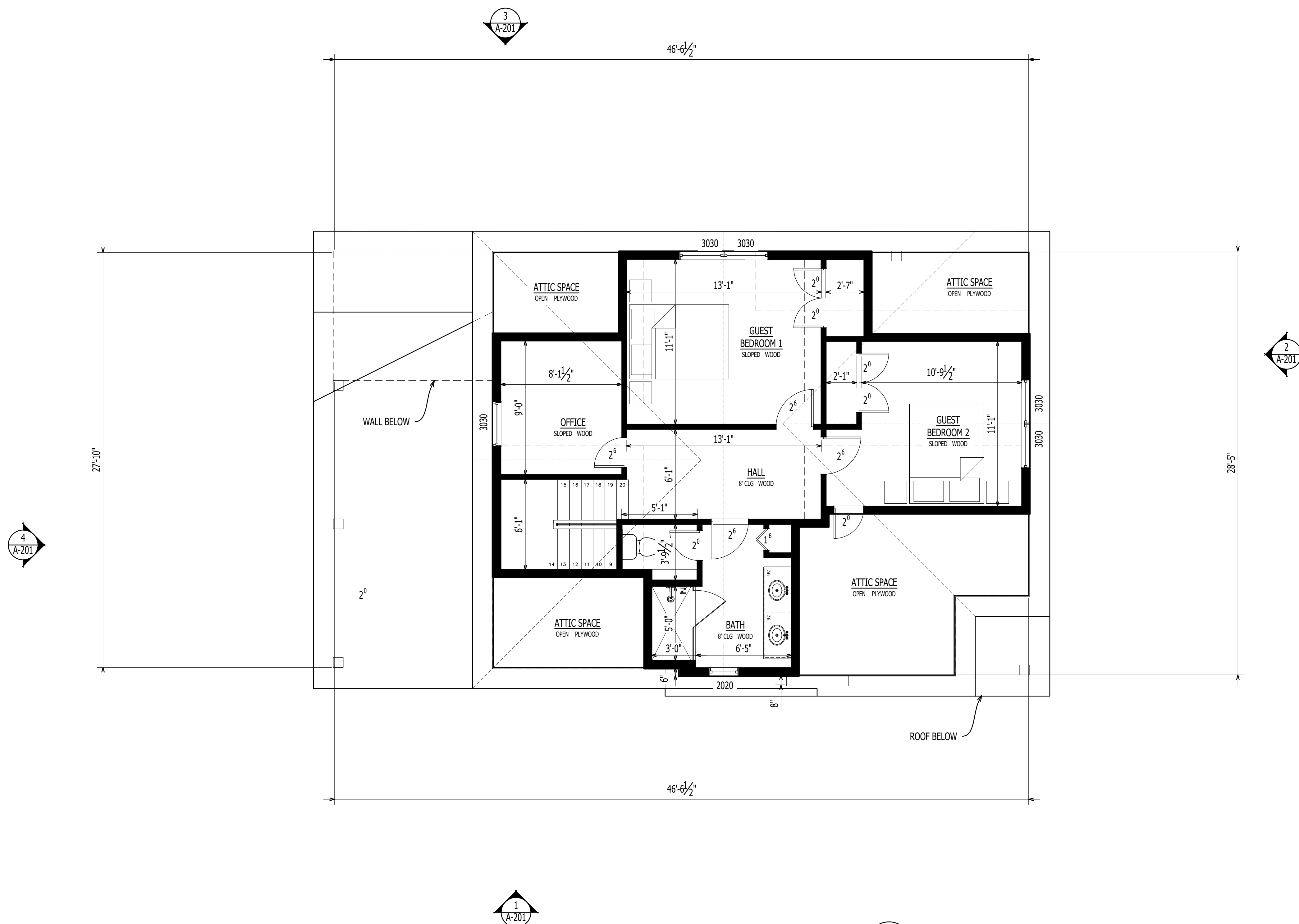
FIRST FLOOR PLAN
Scale: 1/4" = 1'-0"

1ST FLOOR: 835 SQUARE FEET
2ND FLOOR: 580 SQUARE FEET
TOTAL NET SQUARE FEET: 1,415 SQUARE FEET

- GENERAL NOTE:**
1. ALL WINDOWS WITH SILL AT OR BELOW 18" WILL BE TEMPERED
 2. ALL DIMENSIONS ARE TO WOOD STUD UNLESS OTHERWISE NOTED



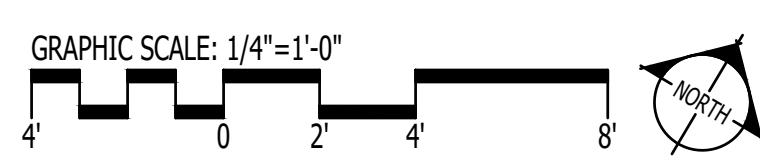
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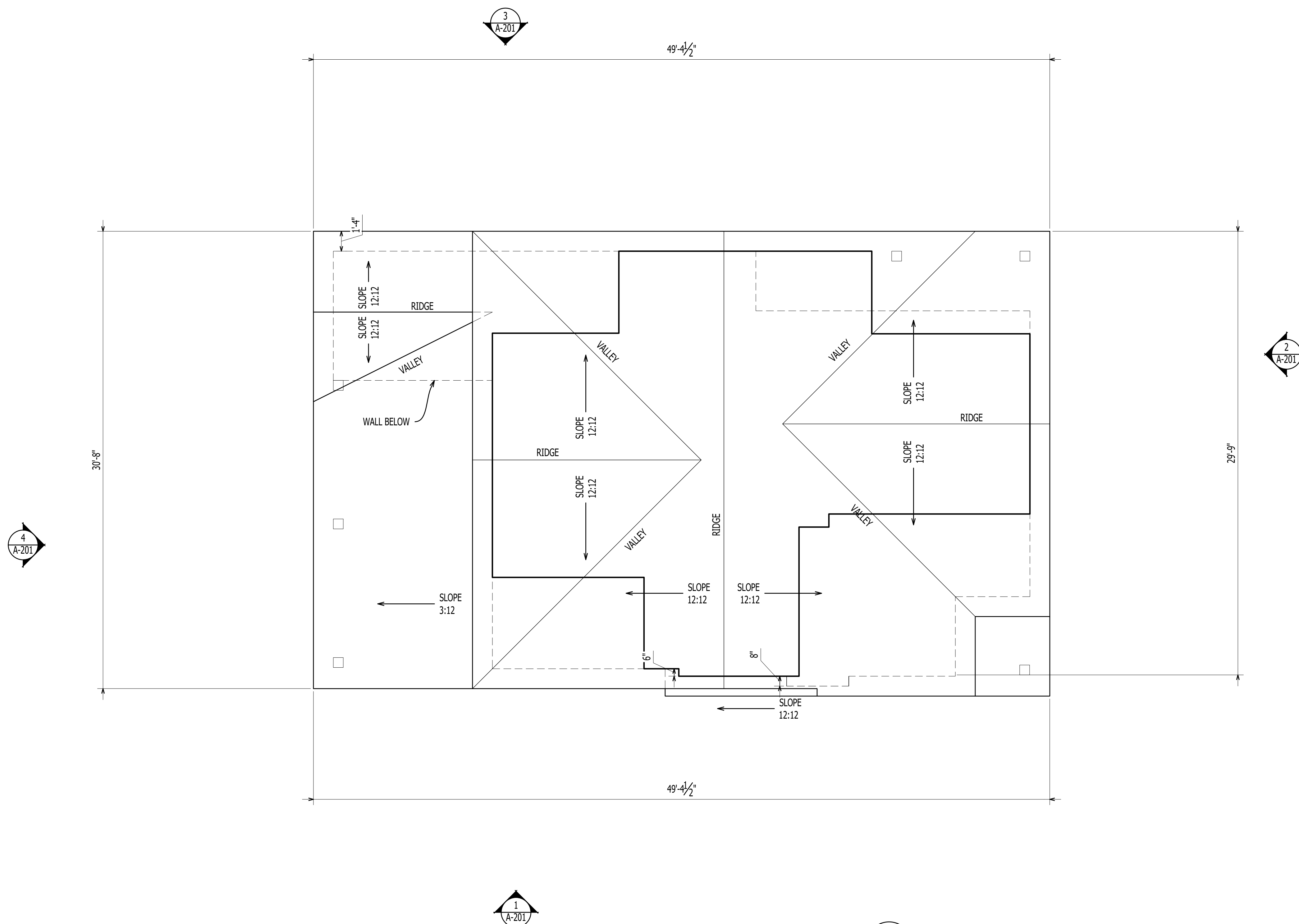
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A-101
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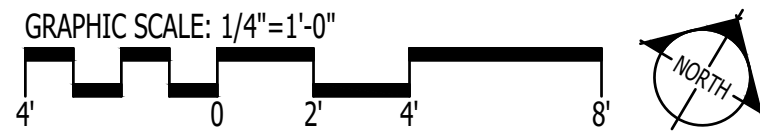


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1
A-103

ROOF PLAN
Scale: 1/4" = 1'-0"

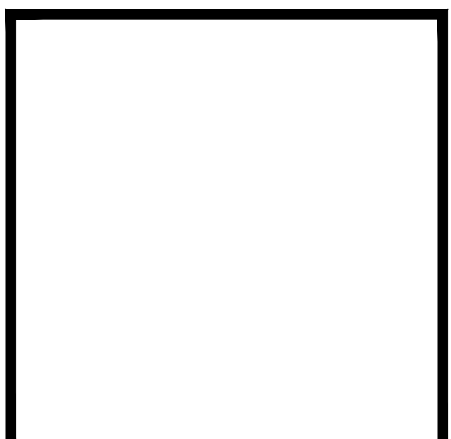


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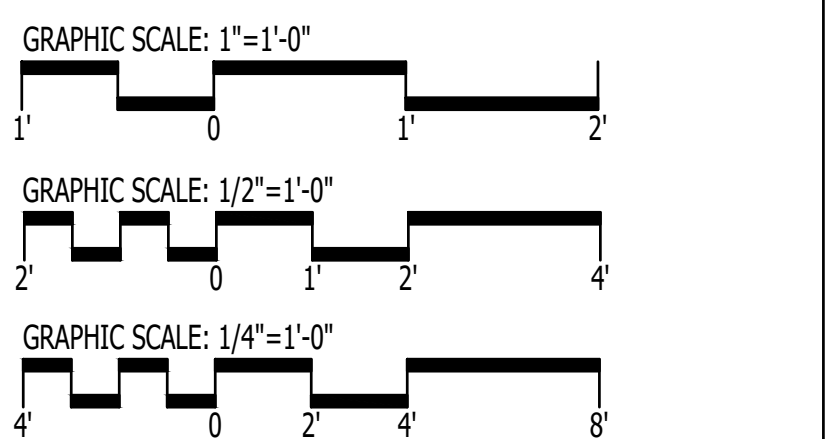
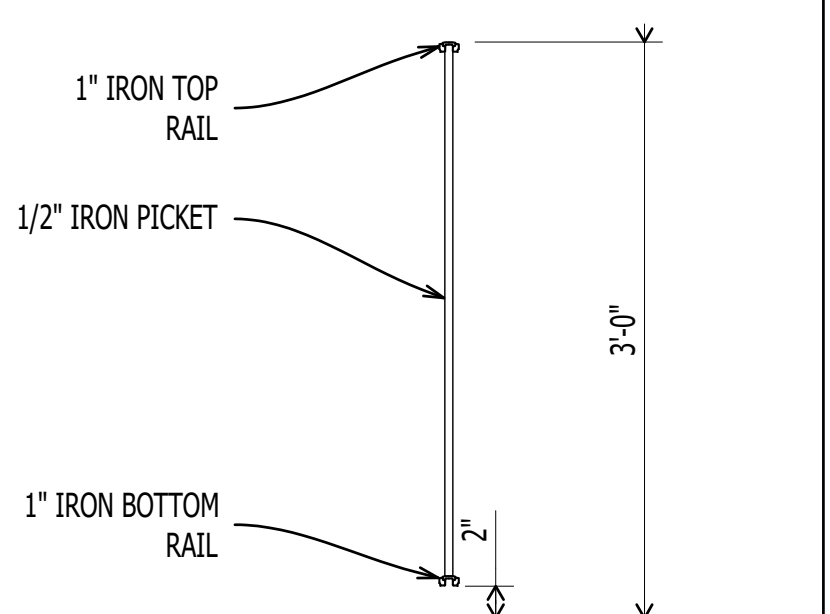
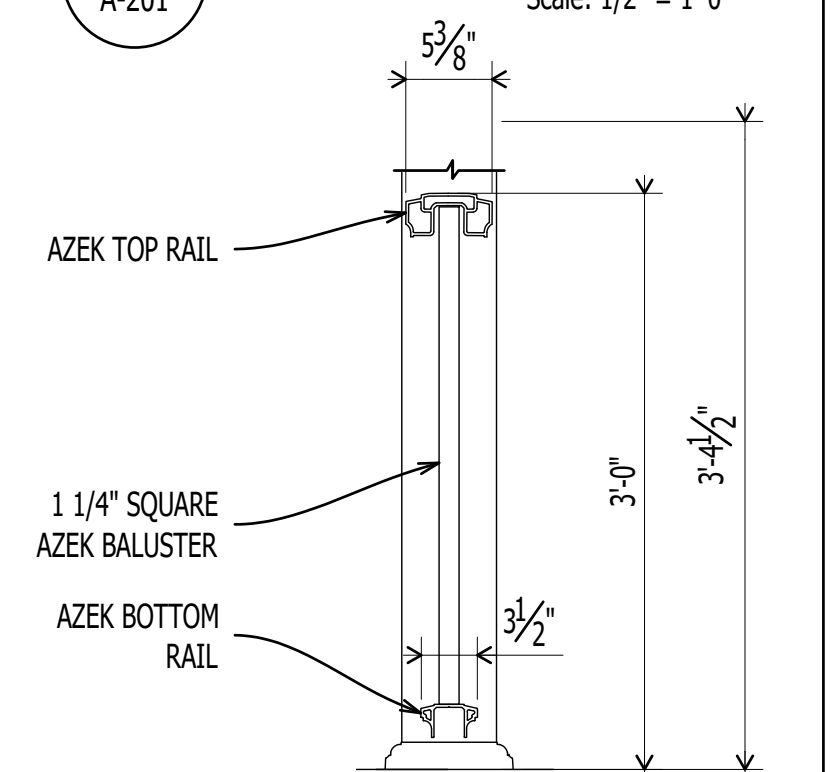
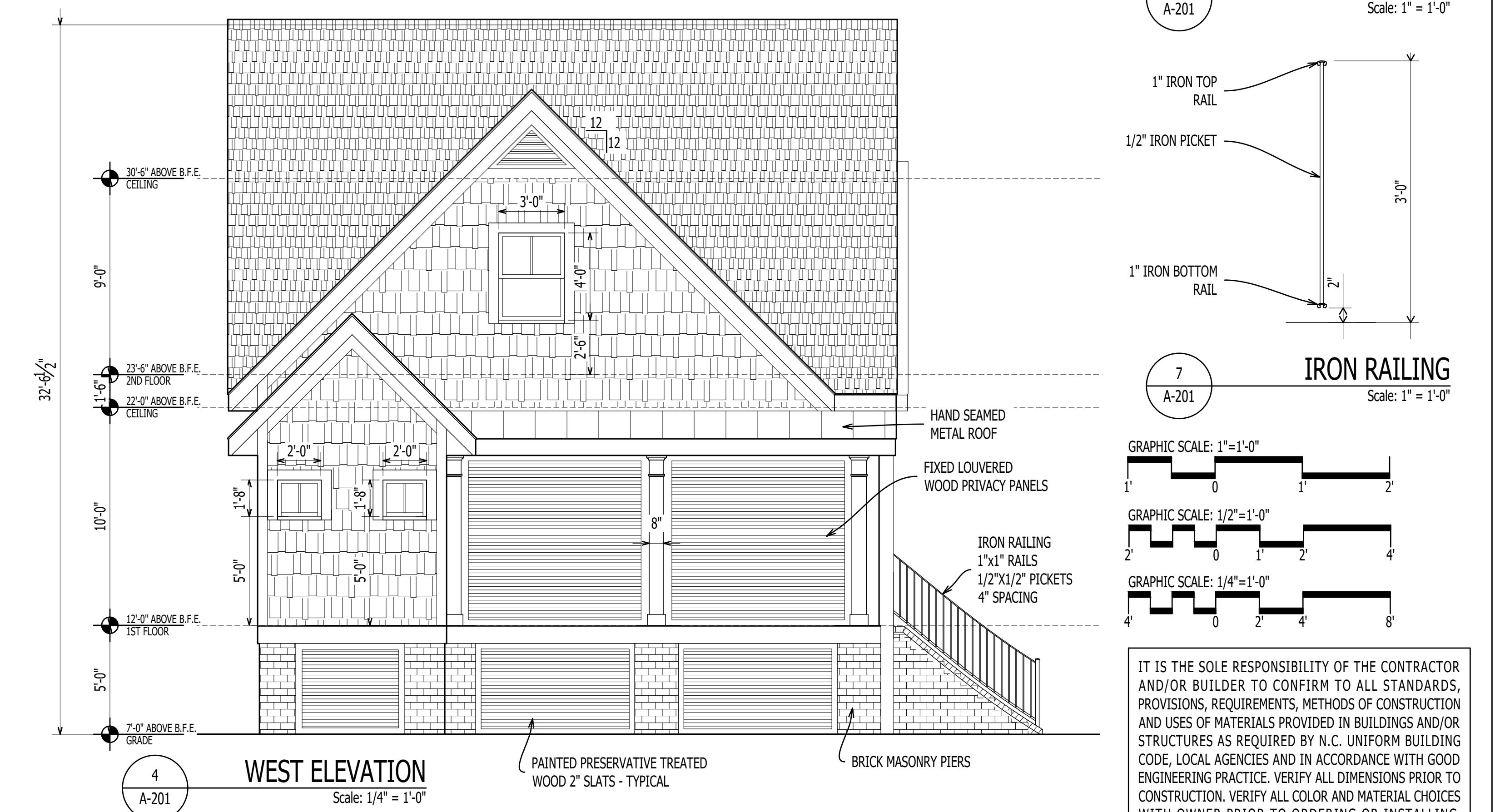
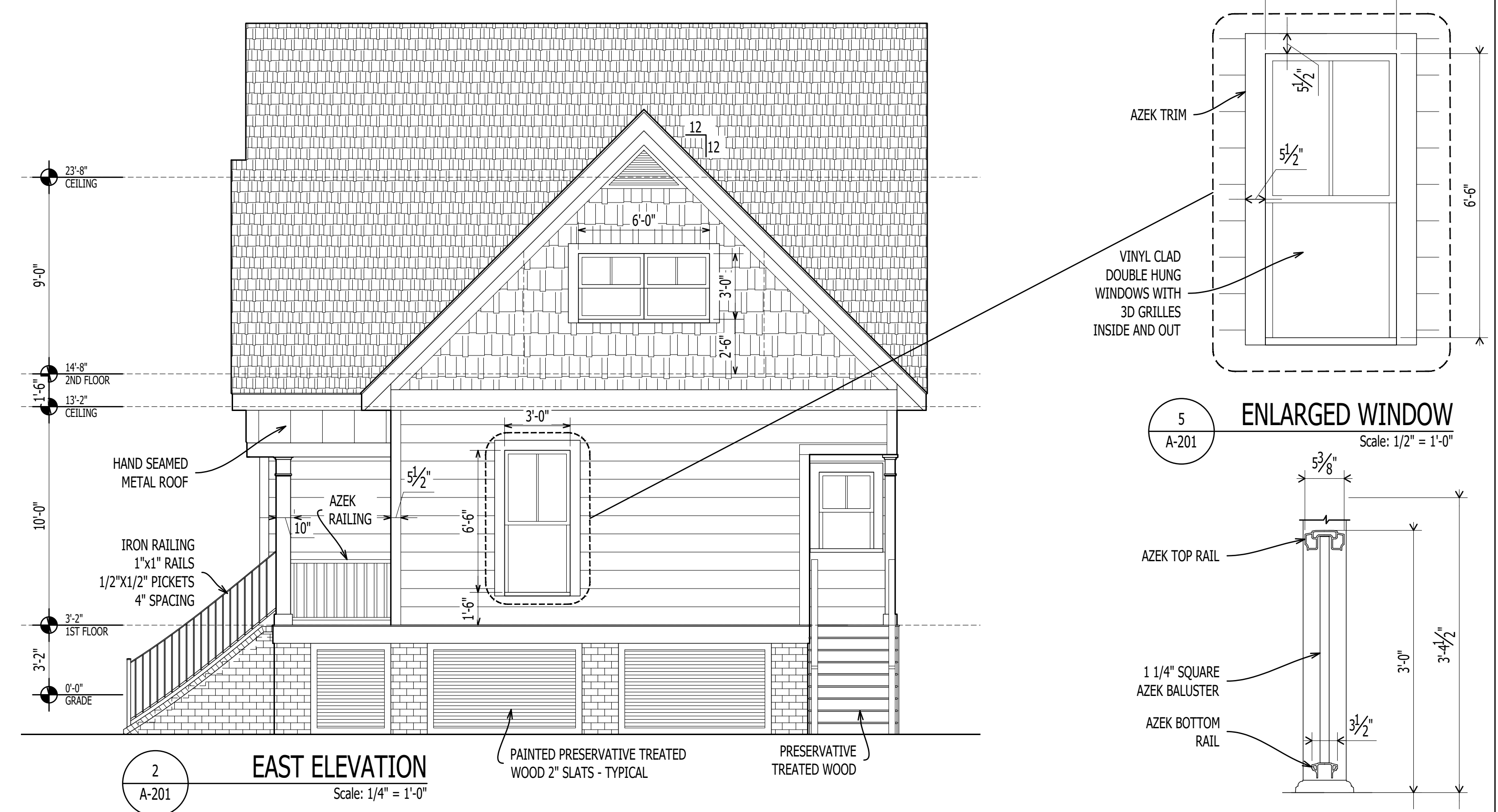
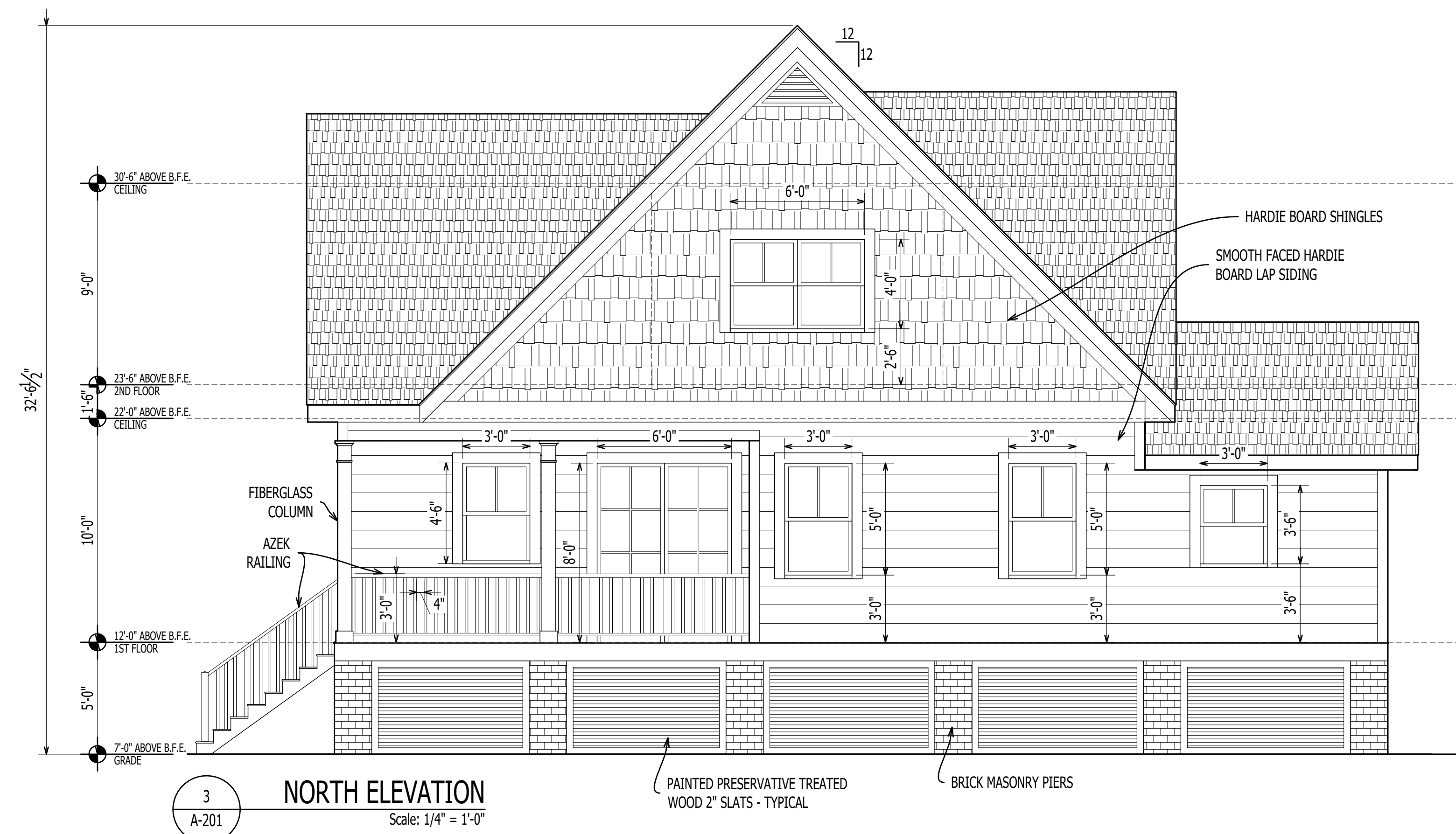
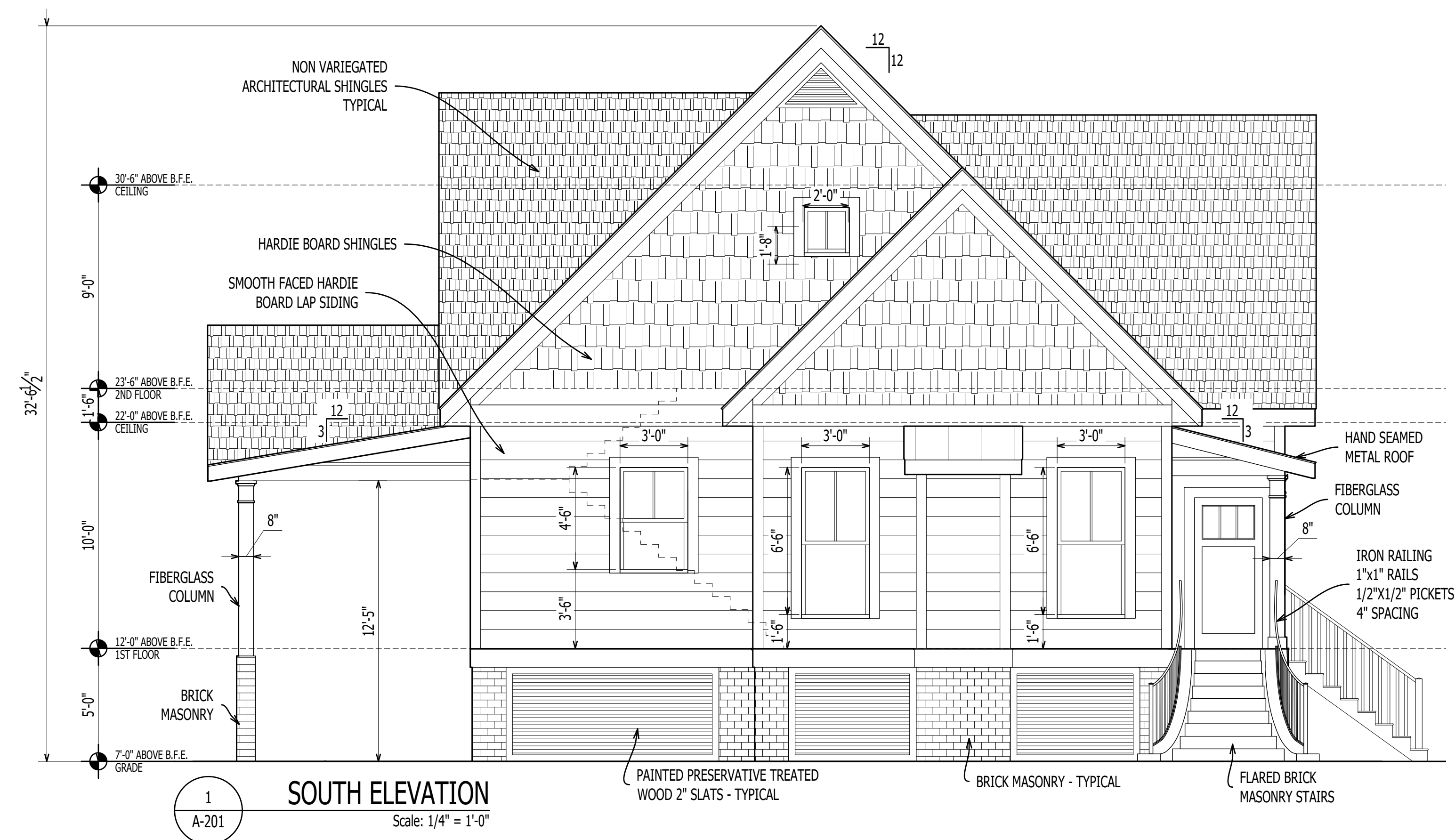


Date: 08.03.2020
Revisions:

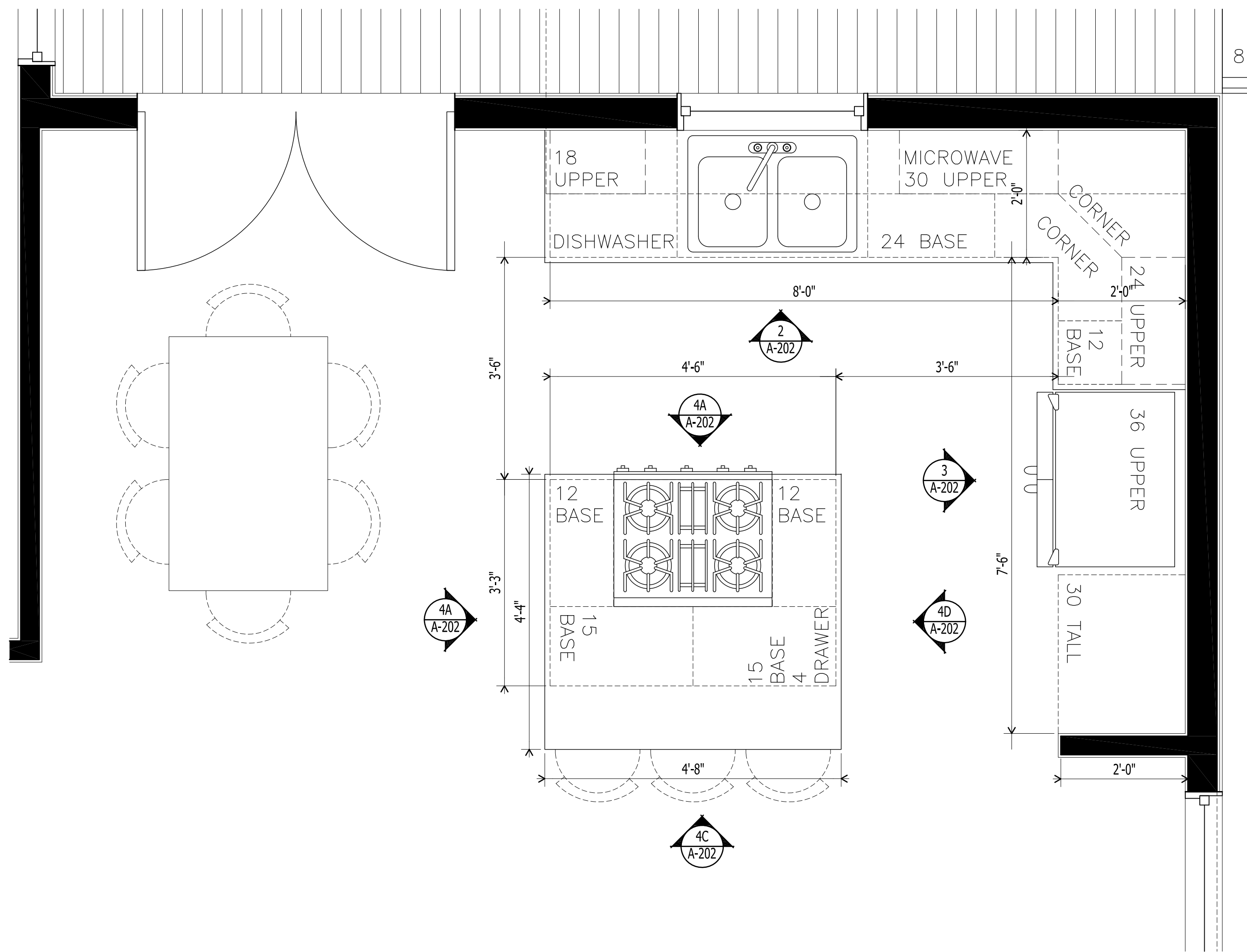
LOT 17 - RIVER STATION
304 QUEEN STREET , NEW BERN, NC 28560

A-103
ROOF PLAN

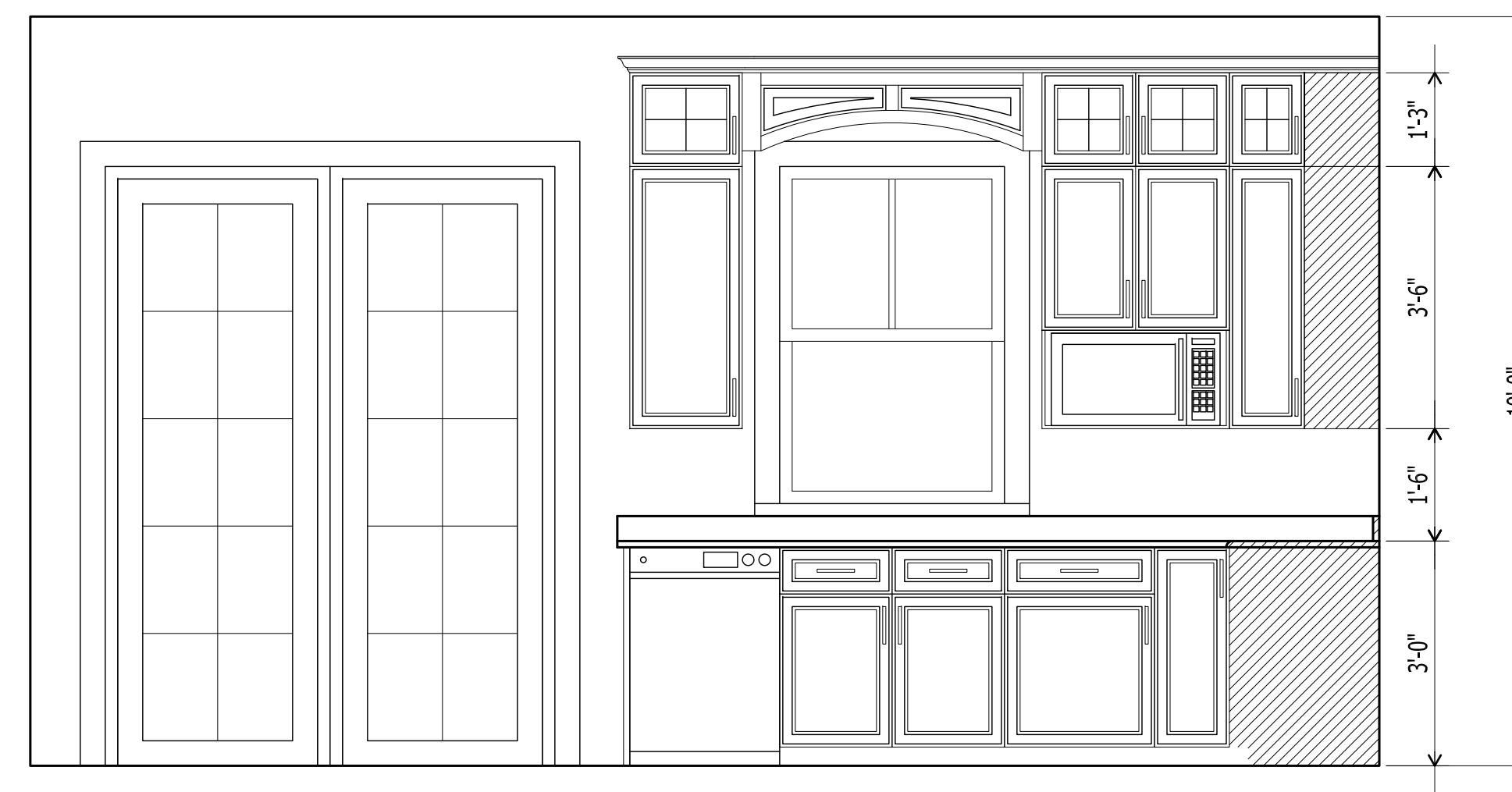
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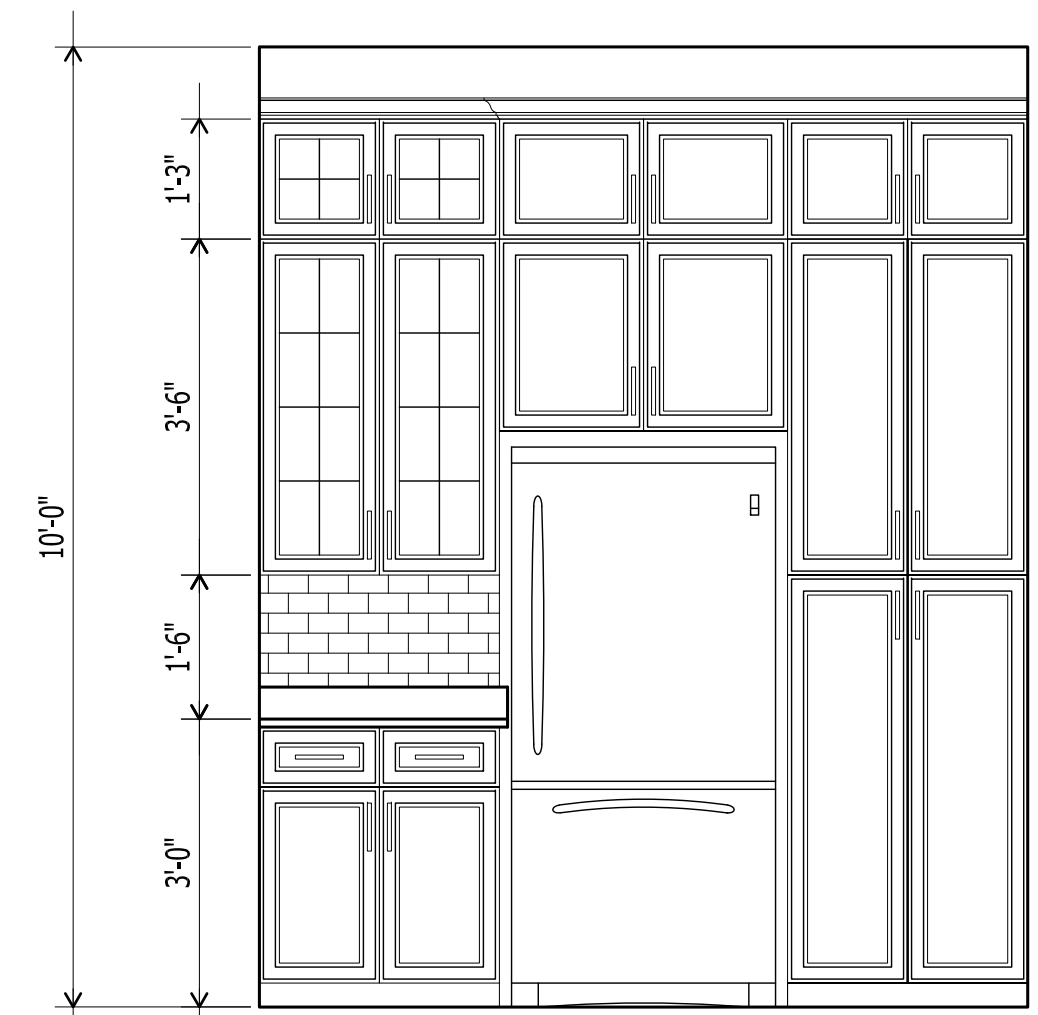
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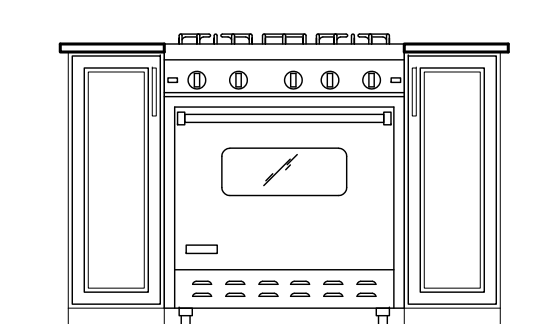
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A-202
KITCHEN ELEVATION
Scale: 3/4" = 1'-0"



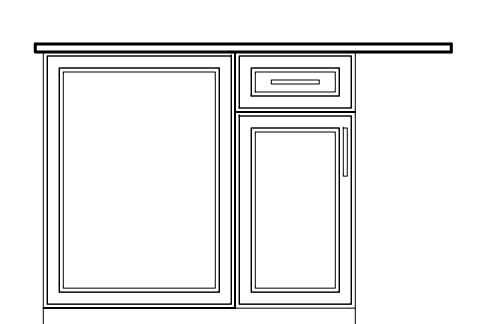
2
A-202
KITCHEN ELEVATION
Scale: 1/2" = 1'-0"



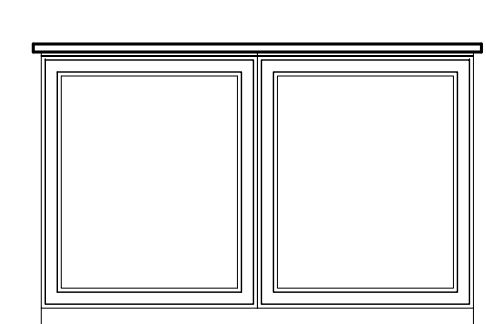
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A-202
KITCHEN ELEVATION
Scale: 1/2" = 1'-0"



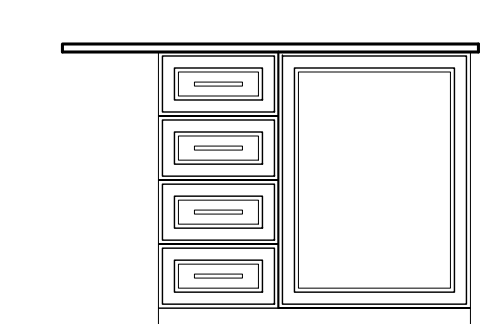
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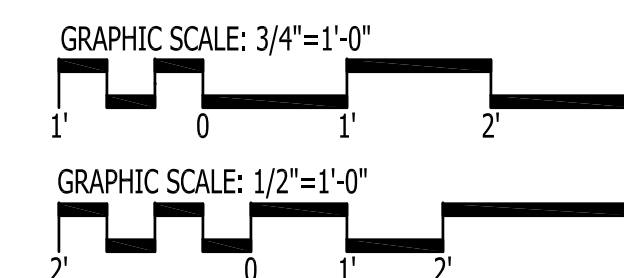
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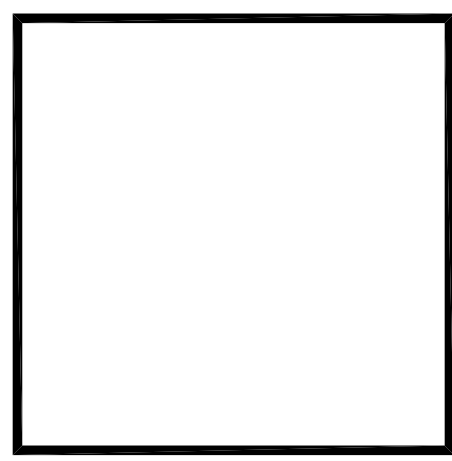
4
A-202
ISLAND ELEVATIONS
Scale: 1/2" = 1'-0"

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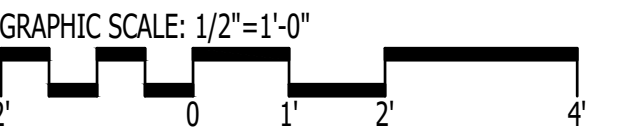
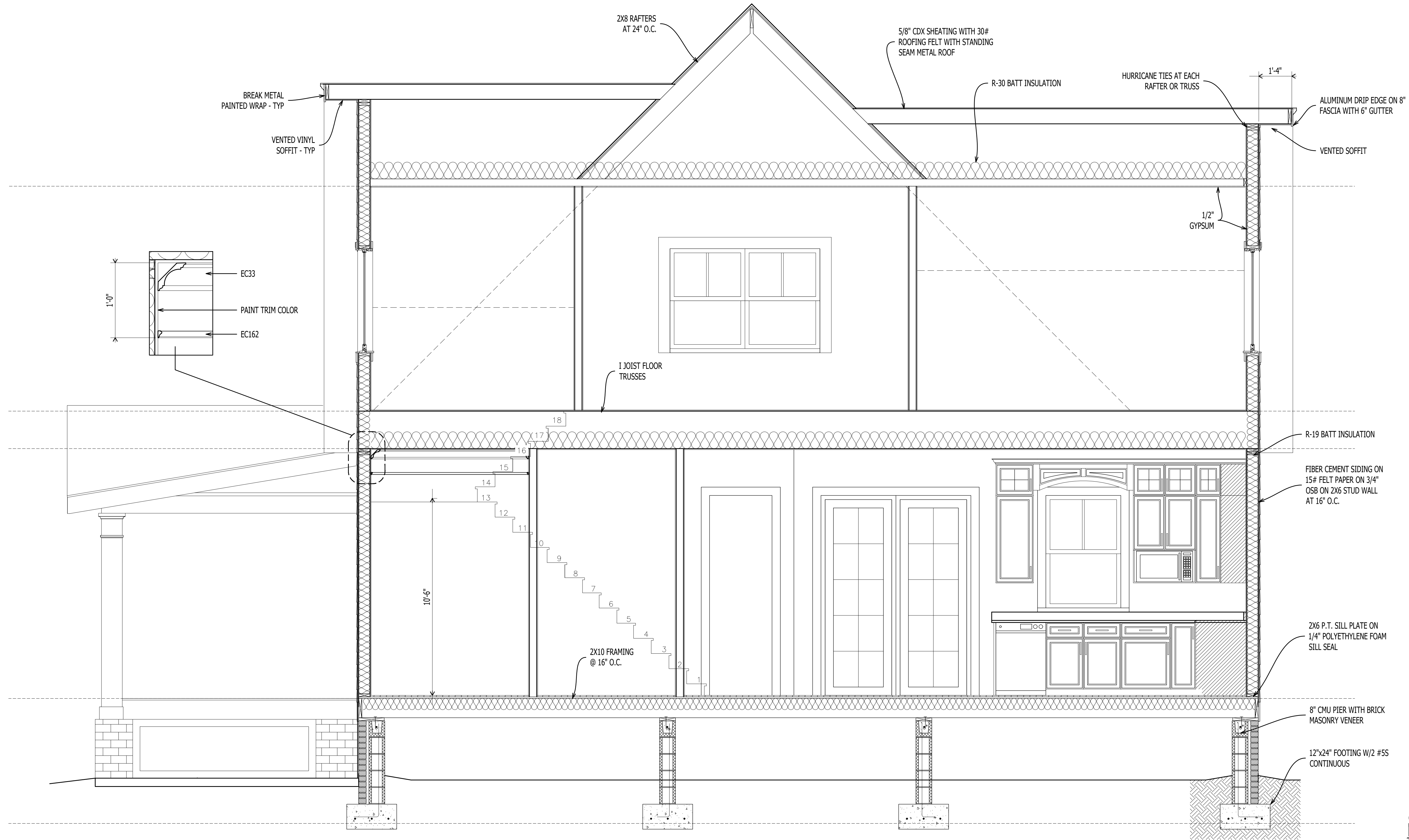


Date: 08.03.2020
Revisions:

LOT 17 - RIVER STATION
304 QUEEN STREET , NEW BERN, NC 28560

A-202
INTERIOR ELEVATIONS

12 X 18 SHEETS ARE HALF SIZE



1
A-301

SECTION
Scale: 1/2" = 1'-0"

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Date: 08.03.2020

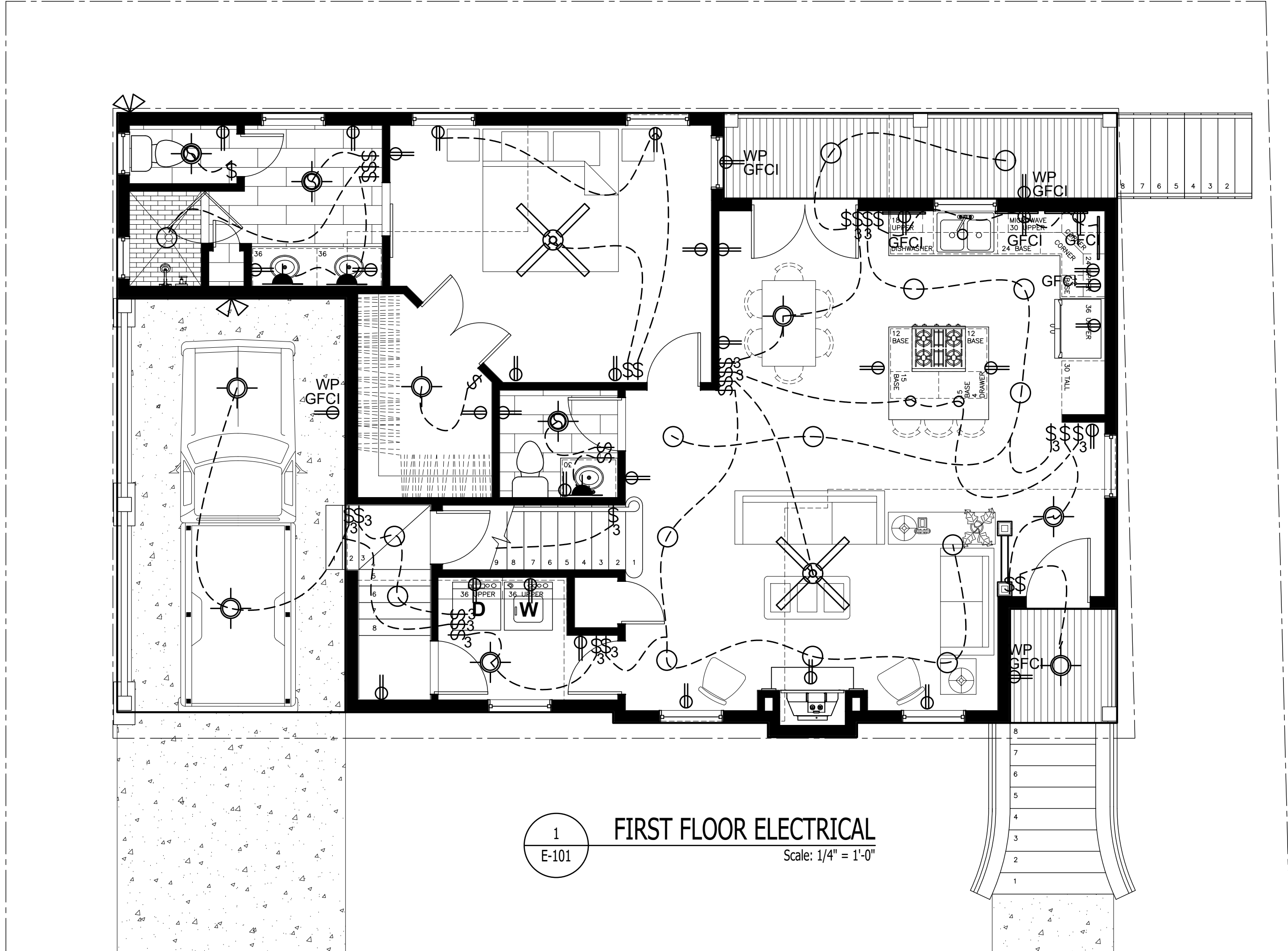
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A-301

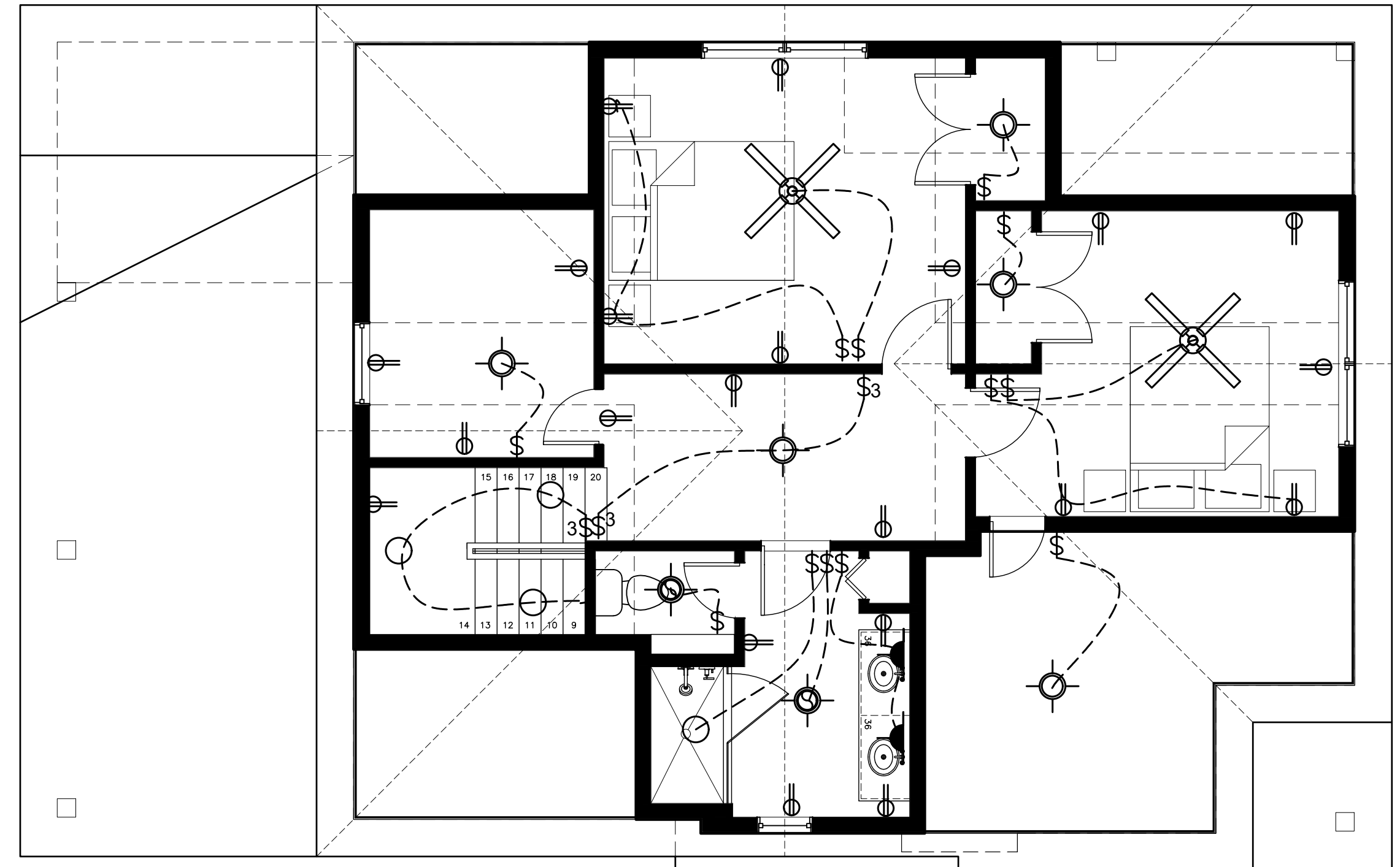
SECTION

12 X 18 SHEETS ARE HALF SIZE

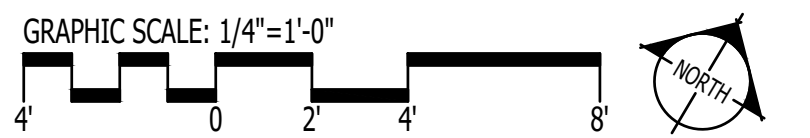


1 FIRST FLOOR ELECTRICAL
E-101 Scale: 1/4" = 1'-0"

- SCHEDULE
- RECEPTACLE
 - OH OVERHEAD RECEPTACLE
 - GFCI GFCI RECEPTACLE
 - WP WATER PROOF RECEPTACLE
 - \$ SWITCH
 - \$3 3 WAY SWITCH
 - FAN / LIGHT
 - SECURITY LIGHT
 - CEILING MOUNT
 - WALL SCONCE
 - CEILING PENDANT
 - FAN / LIGHT
 - 6" RECESSED CAN
 - FLUORESCENT
 - UNDER-COUNTER
 - CABLE
 - TELEPHONE



2 SECOND FLOOR ELECTRICAL
E-101 Scale: 1/4" = 1'-0"



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A-301
ELECTRICAL PLAN

12 X 18 SHEETS ARE HALF SIZE

Aldermen

Sabrina Bengel
Jameesha S. Harris
Robert V. Aster
Johnnie Ray Kinsey
Barbara J. Best
Jeffrey T. Odham



NEW BERN
CITY OF NEW BERN

300 Pollock Street, P.O. Box 1129
New Bern, NC 28563-1129
(252) 636-4000

Dana E. Outlaw
Mayor

Mark A. Stephens
City Manager

Petitioners requesting City of New Bern Historic Preservation Commission action on property not owned by them must have this form completed by the owner of the property.

CERTIFICATE OF APPROPRIATENESS OWNERS AUTHORIZATION

Dear Sir or Madame:

I am the owner of the property located at:

304 Queen St. + 801 E Front St. + 808 E Front St., New Bern, NC 28560
(address, city, zip code)

I hereby authorize GO Architectural Design, PLLC to appear with my consent, before the City of New Bern Historic Preservation Commissioner in order to request a Certificate of Appropriateness for the property referenced above.

I authorize you to present this matter on my/our behalf as the owner(s) of the property.

If there are any questions, please contact me at the following address and phone number:

227 E Front St., New Bern, NC 28560 Phone (252) 638-4215

[Signature]
Owner's Signature

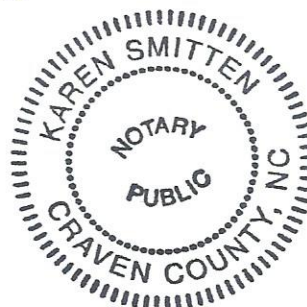
Hubert G. Tolson, III, Authorized Representative
Print Name
River Station Development Corporation

August 3rd, 2020
Date

Sworn to and subscribed before me this 3rd day of August, 2020

Karen Smitten
Notary Public:

My commission expires: 9/6/2024





Zoning and Inspections Review of

Application for Certificate of Appropriateness for Alterations in Historic District

Initial review of applications for certificates of appropriateness by the Zoning Administrator and Chief Building Inspector is intended to provide the applicant and Historic Preservation Commission with information related to compliance with local land use ordinance and building code. It does not represent a formal approval of a permit by any party and does not bind the decisions of Commission.

Application Address and Description: 304 Queen St. – construction of a new infill house.

Zoning Administrator please review the application and fill out all applicable items

Zoning District: R-6 + Riverstation M.U. Overlay

Required Setbacks (primary structure): Front 5' 10' Side 5' 7.5' Rear N/A

Accessory Setbacks: From Nearest Structure N/A Side — Rear —

Maximum Lot Coverage for proposed use: 60%

Maximum Height of Structure: 50' or 2.5 stories

Required Site Improvements: Landscaping — Buffer — Parking —

Other requirements:

I have reviewed the application for proposed alterations to this property and have determined that it Meets X Does Not Meet — the requirements of the Land Use Ordinance.

Comments:

Must meet minimum building line as shown in the approved plat map dated 1/8/07 recorded on 3/7/07
Zoning Administrator [Signature] 8/14/20

Chief Building Inspector please review the application and include any comments below

The proposed project Will X Will Not — require a building permit(s).

Comments:

Chief Building Inspector [Signature] 8/14/20

Certificate of Appropriateness Findings and Recommendations

HPC Regular Meeting - August 2020

Applicant: Riverstation Development Corp./GO Architectural Design PLLC

Applicant Address: 227 E. Front St., New Bern, NC 28560

Project Address: 304 Queen St., New Bern, NC 28560

Historic Property Name: N/A

Status: **Contributing:** **Non-contributing:** **Vacant:** X

NR Inventory Description (2003): N/A.

Sandbeck Description (1988): N/A

304 Queen St. - to include construction of a new infill house.

Staff submits the following Historic District Guidelines are appropriate to this application:

Development Pattern

- 2.1.1 Maintain the established development pattern for placement of infill construction. The relationship of a structure to the property boundaries should be similar to those up the street, down the street and in most cases, across the street.
- 2.1.2 There are areas within the historic districts where the development pattern may have been weakened by vacant lots and nonconforming structures. In such areas, preference shall be given to contributing structures when defining the development pattern for infill construction.
- 2.1.3 The footprint, scale and proportion of infill construction shall be in keeping with neighboring properties. In general, it is not appropriate to construct a three-story structure in an area that is dominated by one-story structures.

Design Principles

- 3.1.1 Consider the scale, mass and proportion inherent to the surrounding historic development pattern, and design modifications that incorporate these characteristics. Use basic shapes and forms that are common to the historic districts.
- 3.1.2 Windows, doors and openings shall be compatible in proportion, shape, location, size and quantity with those on surrounding historic structures. Avoid large expanses of blank walls. Establish bays, visually subdivide facades and delineate building elevations to create form and rhythm.
- 3.1.3 Discretely use rooftop appurtenances such as spires, cupolas and towers to articulate rooflines. Compliment the scale, form and proportion of the structure, and use rooftop appurtenances to identify a building entry or similar massing focal point.
- 3.1.4 Use details to articulate facades, and the openings within facades. Appropriately detail the base, body and edges of facades to create texture and visual interest.
- 3.1.5 Avoid creating a false sense of historical development. It is not appropriate to apply historic architectural styles to infill construction. Creative interpretation of traditional detailing and ornamentation is encouraged.

Infill Construction

- 3.4.1 Maintain the relationship between building mass and open space that exists on the block or streetscape.
- 3.4.2 The predominant material of an infill building shall visually emulate the palette of materials traditionally found in the historic districts.

Certificate of Appropriateness Findings and Recommendations

HPC Regular Meeting - August 2020

- 3.4.3 Use of modern materials is acceptable as a means of continuing the evolution of architecture through time. However, the use of aluminum and vinyl siding, faux brick and stone, stamped concrete and similar imitation materials is not appropriate.
- 3.4.4 Contemporary materials shall be appropriately proportioned, used in traditional ways and installed in a traditional manner.

Foundations

- 4.1.3 Use traditional materials when constructing foundations. Concrete block should receive a veneer of stucco, brick, or other appropriate masonry material.
- 4.1.4 Locate foundation features such as vents and access doors in areas that will not detract from the architectural character of the building. Coordinate with other architectural features when possible, such as aligning vents and access doors with windows above or centering them between piers.

Walls, Trim and Ornamentation

- 4.2.4 Incorporate wood trims and articulate masonry appropriately for the application.

Windows, Doors and Openings

- 4.3.3 Glazing should have true divided light muntins, or three-dimensional grilles affixed to both the interior and exterior of the glass. Provide shadow bars between insulated glass panes.

Entrances

- 4.4.4 Provide porches, entrance doors, railings, and other ornaments that proportionally relate to the building. Appropriate balustrades often convey a heavier visual appearance. Center balusters between the top and bottom rails and space them about three inches apart.

Roofs

- 4.5.4 Standing seam metal roofs shall have a pan width no greater than 24 inches. Pans shall be completely flat without corrugation. Provide double locked seams with flush ridge and hip flashings on contributing structures.

Decks and Patios

- 4.6.2 Locate decks in Secondary and Tertiary AVCs, and screen the underside with shrubbery, fencing, lattice, or masonry.

Masonry

- 5.1.3 The size, color, texture and bond, or pattern, of masonry and mortar creates the intended finished appearance. It is not appropriate to paint masonry that has not been previously painted.
- 5.1.5 Provide a veneer of brick, stucco, or other appropriate material over concrete masonry units. Architectural concrete masonry units such as rusticated, split face or similar types may be substituted for stone masonry construction.
- 5.1.6 It is not appropriate to use water repellants or sealers on masonry because these treatments often trap moisture and accelerate spalling.

Metals

- 5.3.3 Use full weld iron and steel fabrication techniques. Welds shall be properly dressed, or ground smooth.

Certificate of Appropriateness Findings and Recommendations

HPC Regular Meeting - August 2020

- 5.3.4 Provide aluminum fabrications with welded joints or blind, mechanical connections having concealed fasteners.

Paint

- 5.4.2 Select paint and sealant coatings that are harmonious with adjoining work. In general, new material shall be a compatible formulation with the substrate of application.
- 5.4.3 Apply primer coatings to front and back wood surfaces prior to cutting and fitting. Prime end cuts before installation. Apply finish paint coatings to exposed primed surfaces.
- 5.4.4 Consider using opaque stain in lieu of paint on flooring, fencing, and similar wood surfaces exposed to foot traffic or weather.
- 5.4.6 It is not appropriate to apply paint, water repellant or sealant coatings to unpainted surfaces such as masonry, stone, copper, and bronze.

Statements of Reason, based on the information contained in the application, in Staff's judgment are:

1. The project is located within the Primary, Secondary, and Tertiary AVCs;
2. The Zoning Administrator and the Chief Building Official have reviewed this project and commented accordingly;
3. The project is not incongruous with the Guidelines.

MOTION

Staff recommends the Commission approve this application for construction of a new infill house.

FEE SCHEDULE (office use only)
☐ \$22 Standard Application (minor)
☒ \$107 Standard Application (major)



HPC Administrator
 HPCadmin@newbern-nc.org
 Work:(252)639-7583
 Fax: (252)636-2146

Application for a Certificate of Appropriateness

(For Alterations to Properties in Locally Designated Historic Districts)

For assistance see "CoA Instructions", as well as "Historic District Guidelines", available online at:
<http://www.newbern-nc.org/departments/development/historic-preservation/historic-preservation-guidelines/>

Type of Project: ☐ Exterior Alteration ☐ Addition ☒ Infill ☐ Site Work ☐ Other

I. Applicant/Owner Information:			
Property Address (Include year built, if known): 801 E. Front Street (new build)			
Property Owner Name(s): River Station Development Corp Hubie Tolson	Owner Mailing Address: 227 E. Front Street New Bern, NC 28560	Phone #'s: 252-638-4215	Email: hubie@uhfdevelopmentgroup.com
Applicant Name (if different): GO Architectural Design, PLLC Sarah Afflerbach, AIA	Applicant Mailing Address: 1202A Pollock Street New Bern, NC 28560	Phone #'s: 252-633-0322	Email: sarah@goarchdesign.com

II. Project Information: (See "CoA Instructions" & "Historic Guidelines" for help in completing this section)
1. Provide a detailed description of work to be conducted on site: (Attach additional sheets if needed) Construct a new two story single family home on an empty lot. See plans and elevations for details and material choices. <div style="text-align: right;">Continued on additional sheet or attached brochure <input checked="" type="checkbox"/></div>
2. Reference the specific Guideline(s) in the "Historic District Guidelines" which you believe apply to this project: (page and guideline number): 2.1.1, 2.1.2, 2.1.3, 4.1.1, 4.1.2, 4.1.3, 4.1.4, 4.2.1, 4.2.2, 4.2.3, 4.2.4, 4.3.1-4.3.7, 4.4.1-4.4.5, 4.5.1-4.5.6, 4.6.1-4.6.3 <div style="text-align: right;">Continued on additional sheet or attached brochure <input type="checkbox"/></div>
3. Provide a detailed description of materials to be used (copies of brochures, texture, etc.): Reference the specific Guidelines in the Historic District Guidelines for the proposed material(s). Hardie Board siding (smooth faced lap siding and shakes), Azek trim and railing and painted ornamental railing, brick masonry piers, painted preservative treaded louvers, vinyl windows with 3D grilles inside and out, asphalt shingles and hand seamed metal roofing, concrete walk and driveway. <div style="text-align: right;">Continued on additional sheet or attached brochure <input checked="" type="checkbox"/></div>

III. Additional Information Provided: (See "CoA Instructions" for more detail)

Plan(s) of Work, with: (please check all of those which are included with this application)

- ☒ Site plan (with annotated notes showing existing site and requested work)
- ☒ Photographs of the building and location where the proposed work will be completed
- ☒ Annotated notes or photos of materials to be used (samples may also be submitted)
- ☒ Floor plan with dimensions (for additions)
- ☒ Elevations with dimensions (for exterior additions or renovations)
- ☒ Supporting materials (brochures, photos of similar New Bern projects, estimates, etc.)
- ☒ Letter from owner acknowledging this application, in the case of submission by an applicant or lessee.

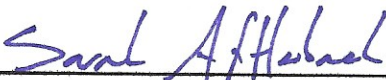
Please see Development Services Staff (Staff) prior to submittal for initial review of the application and advisement if additional information will be required before consideration at a Historic Preservation Commission hearing.

Please read the following statements. Your signature below acknowledges that you have read the statements and attest to their accuracy:

Check one:

- ☐ I am the owner of the Property, or
- ☒ I am acting on behalf of the owner of the property and I have attached a letter from the owner(s) indicating their knowledge of this application.

- ◆ I understand that submittal of this application does not constitute approval of proposed alterations.
- ◆ I understand that the approval of this application by City Staff or the New Bern Historic Preservation Commission (HPC) does not constitute approval of other federal, state, or local permit applications.
- ◆ I understand that I (or my representative) will need to attend the Hearing of this Application by HPC. No Applications shall be heard without a representative present and all applicable fees paid in full.
- ◆ I have reviewed the City of New Bern's "Historic District Guidelines" in preparing this Application.
- ◆ I understand that the property referenced by this Certificate of Appropriateness (CoA) application is in one of New Bern's local historic districts and that it represents a part of New Bern's historic fabric. If a CoA is approved by HPC or Staff, I agree to implement all changes as specified in the approved CoA, including any conditions. I understand that I am responsible for contacting Staff if I have any questions regarding the allowed changes specified in the approved CoA.
- ◆ I understand that ANY unapproved alterations are enforceable as a violation of City Ordinance and must be brought into compliance by removal or through the CoA process.
- ◆ I affirm that all the information included in this application is true to the best of my knowledge.
- ◆ I understand that incomplete applications cannot be considered.



Signature of Applicant/Owner



Date

APPLICATION SHOULD BE SUBMITTED TO THE DEVELOPMENT SERVICES MAIN OFFICE AT 303 FIRST ST. NO LESS THAN 2 WEEKS PRIOR TO UPCOMING MEETING. FOR FURTHER INFORMATION, CONTACT THE ADMINISTRATOR OF THE HISTORIC PRESERVATION COMMISSION AT (252) 639-7583.

LOT 9 - RIVERSTATION CUSTOM HOME



KEYS & SYMBOLS

DOOR & WINDOW SIZE KEY
2'6" = 2'-6" WIDE (ASSUME STANDARD DOOR HEIGHT OF 6'-8" UNLESS NOTED)
2060 = 2'-0" WIDE X 6'-0" HIGH

DRAWING NUMBER
SHEET NUMBER

ROOM NAME
BEDROOM
10' 0" CLG WOOD

CEILING HEIGHT AND SQUARE FOOTAGE
FLOOR FINISH

DRAWING NUMBER
1
A-101
SHEET NUMBER

Scale: 1/4" = 1'-0"

ELEVATION HEIGHT
0'-0" GRADE

VENTILATION

GARAGE 904 SQ IN
(8" 8" X 16" VENTS)

ROOF 1421 SQ IN

ELECTRICAL ELEGEND

SCHEDULE

RECEPTACLE

OVERHEAD RECEPTACLE

GFCI RECEPTACLE

WATER PROOF RECEPTACLE

SWITCH

3 WAY SWITCH

FAN / LIGHT

SECURITY LIGHT

CEILING MOUNT

WALL SCONCE

CEILING PENDANT

FAN / LIGHT

6" RECESSED CAN

FLUORESCENT

UNDER-COUNTER

CABLE

TELEPHONE

SHEET SCHEDULE

G-101 TITLE SHEET
C-101 SITE PLAN
A-101 FIRST FLOOR PLAN
A-102 SECOND FLOOR PLAN
A-103 ROOF PLAN
A-104 FRAMING PLANS
A-201 ELEVATIONS
A-202 KITCHEN ELEVATIONS
A-301 SECTION
E-101 ELECTRICAL PLANS

GROSS SQUARE FOOTAGE

HEATED / COOLED

FIRST FLOOR PLAN	1,016 SF
SECOND FLOOR PLAN	687 SF
TOTAL H/C	1,703 SF

NON HEATED

FRONT PORCH	27 SF
BACK PORCH	74 SF
CARPORT	206 SF
TOTAL NON H/C	307 SF

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Date: 08.04.2020
Revisions:

LOT 9 - RIVER STATION
801 E. FRONT STREET , NEW BERN, NC 28560

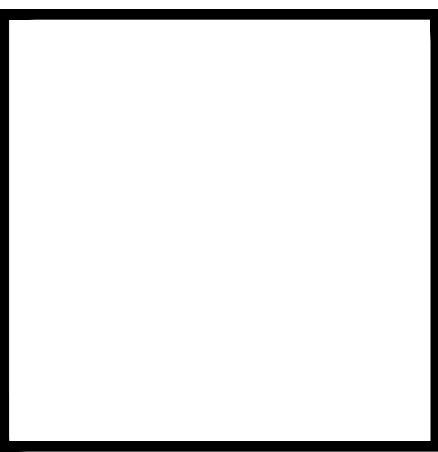
G-101
TITLE SHEET

12 X 18 SHEETS ARE HALF SIZE



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Date: 08.04.2020
Revisions:

LOT 9 - RIVER STATION

801 E. FRONT STREET , NEW BERN, NC 28560

PHOTOS
12 X 18 SHEETS ARE HALF SIZE

3/2/07
 DATE
 REVIEW OFFICER
 REVIEW OFFICER
 REVIEW OFFICER

CERTIFICATE OF REGISTRATION BY REGISTER OF DEEDS
 NORTH CAROLINA, CRAVEN COUNTY

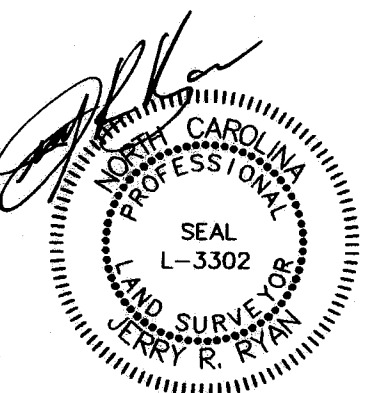
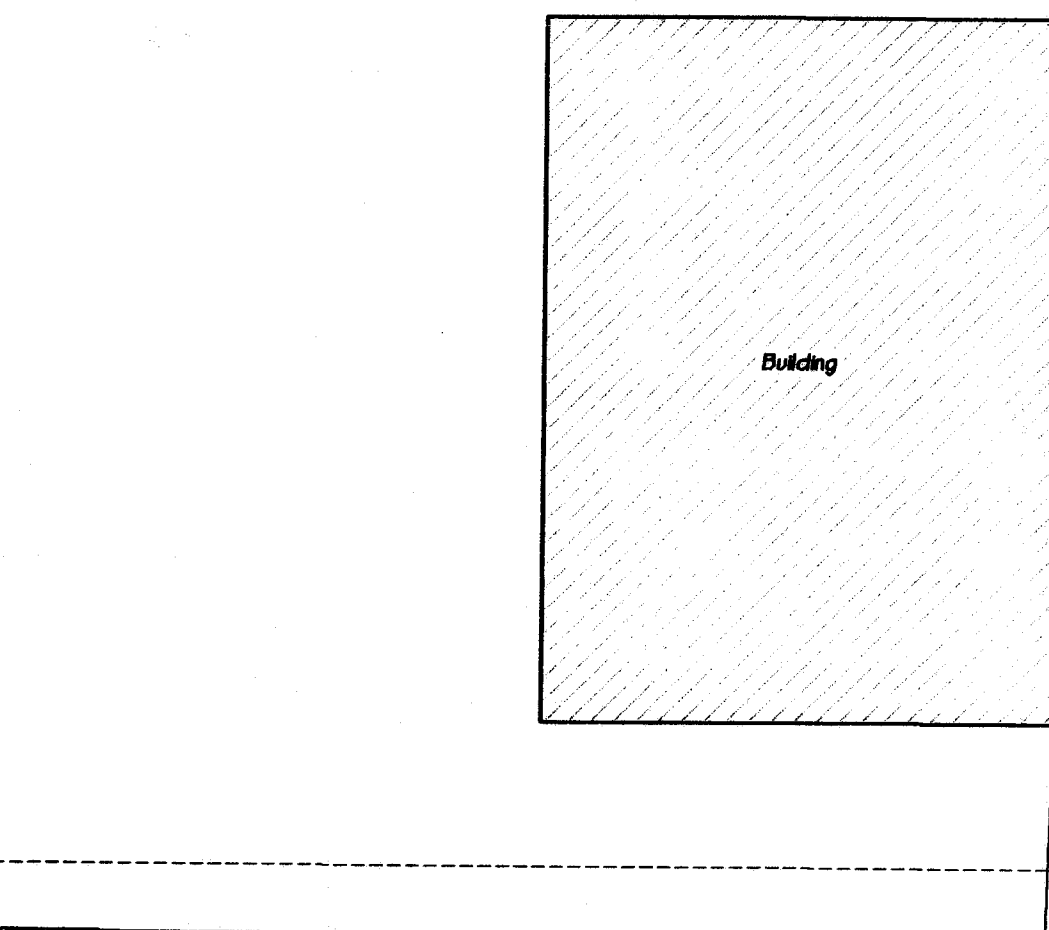
FILED FOR REGISTRATION ON 7 DAY OF March
 2007, AT 9:57 AM/PM AND FULLY RECORDED
 IN PLAT CABINET H SLIDE(S) 80-F

LEGEND

- IPF - IRON PIN FOUND
 IPS - IRON PIN SET
 CMF - CONCRETE MONUMENT FOUND
 MBS - MINIMUM BUILDING SETBACK
 DUE - DRAINAGE AND UTILITY EASEMENT
 PO - POWER POLE w/ OVERHEAD UTILITIES
 [801] - ADDRESS
 Δ - CONTROL DISK

Image ID: 0000011000058 Type: CRP
 Page 2 of 2

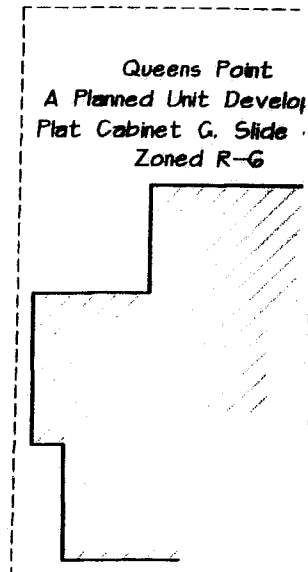
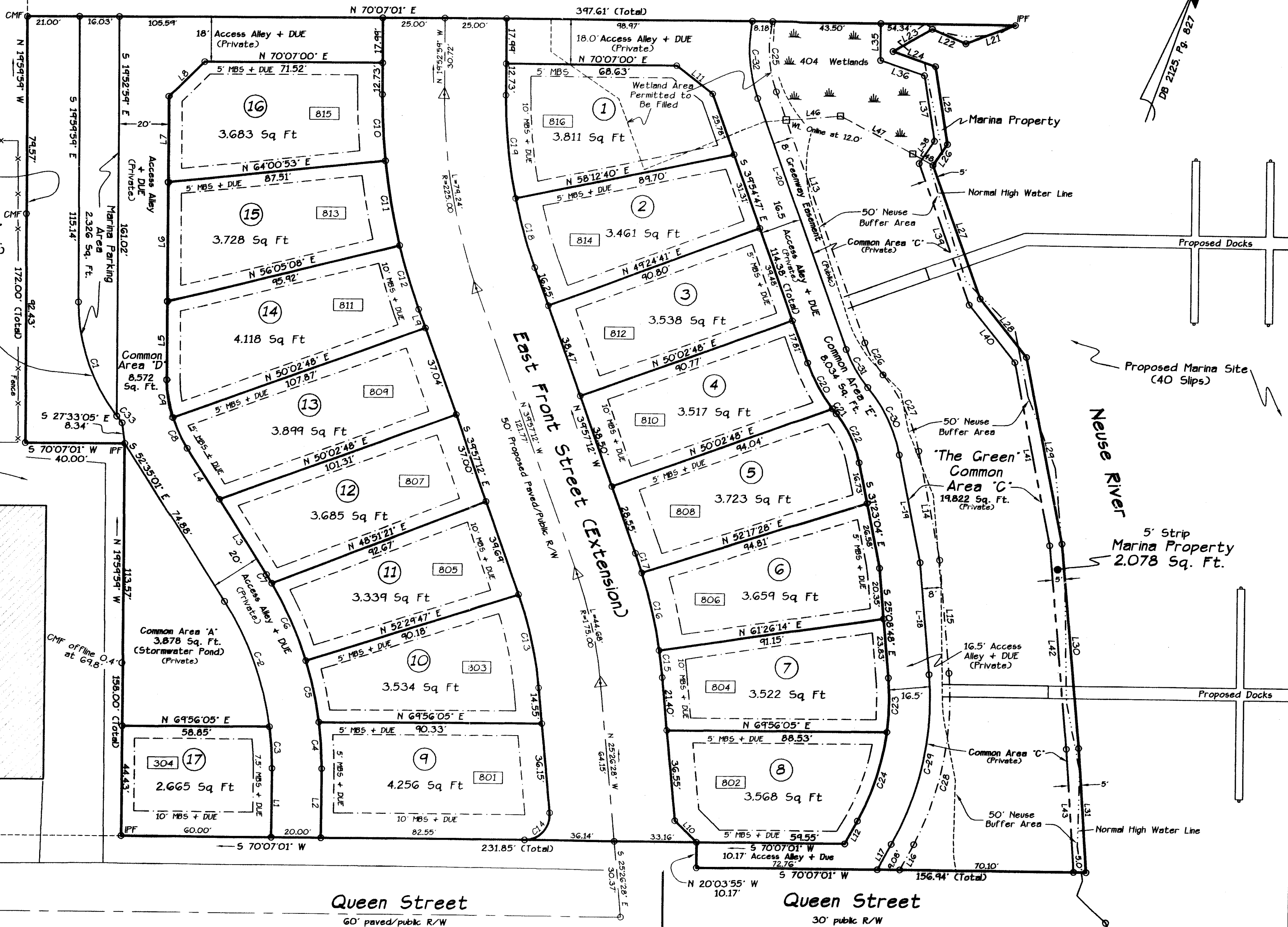
BK 2573 PG 107



PLANNING + DESIGN BY
AVOLIS ENGINEERING, P.A.
 Civil and Environmental Engineering
 PO BOX 15564, NEW BERN, NC 28561
 (252)633-0068, FAX (252)633-6507

East Front Street
 60' paved/public R/W

Atlantic + North Carolina Railroad
 Zoned R-G



Final

Subdivision of
River Station
 A Planned Unit Development
 East Front St. (Ext.) - City of New Bern

TOWNSHIP No. 8 GRAVEN COUNTY NORTH CAROLINA

DATE: Jan. 8, 2007

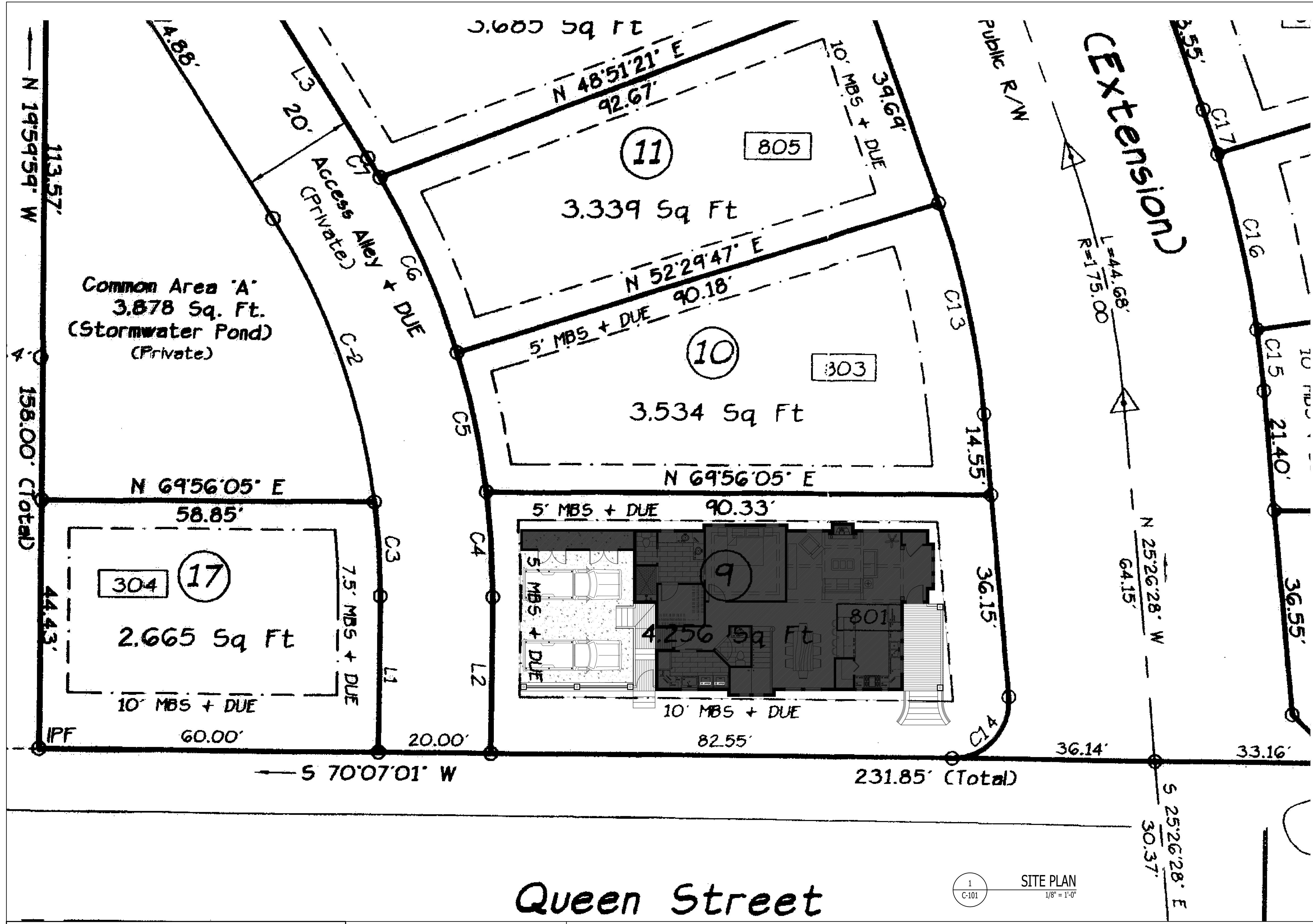
JOB No: 26022

SCALE: 1" = 30'

1305 Country Club Road
 New Bern, North Carolina
 (252) 633-6649

Sheet 2 of 2

F-28-H



NOTES:

REVIEW THE CERTIFICATE OF APPROPRIATENESS PRIOR TO CONSTRUCTION.

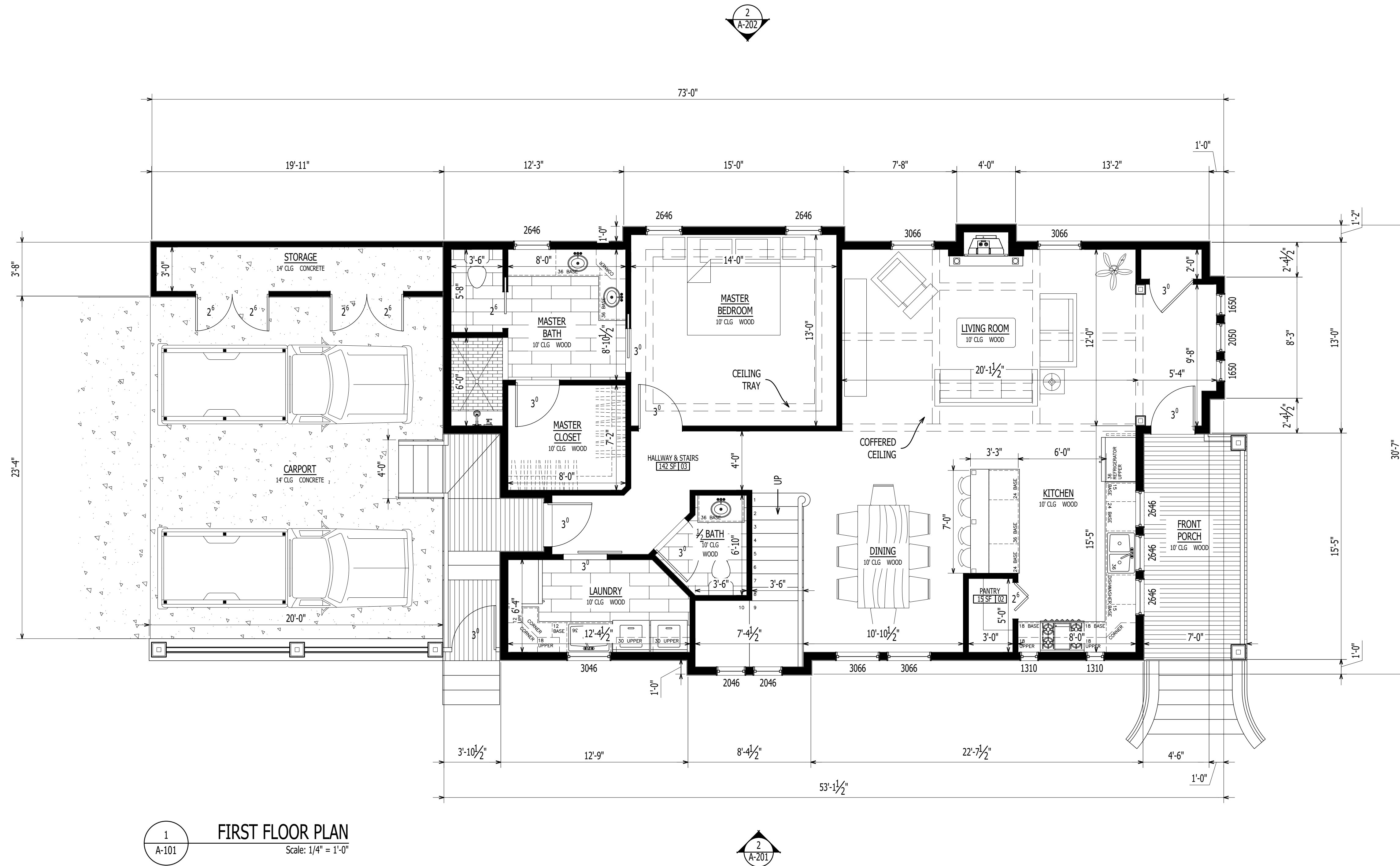
PLANT 2 APPROVED FLOWERING TREES IN THE RIGHT OF WAY ON QUEEN STREET

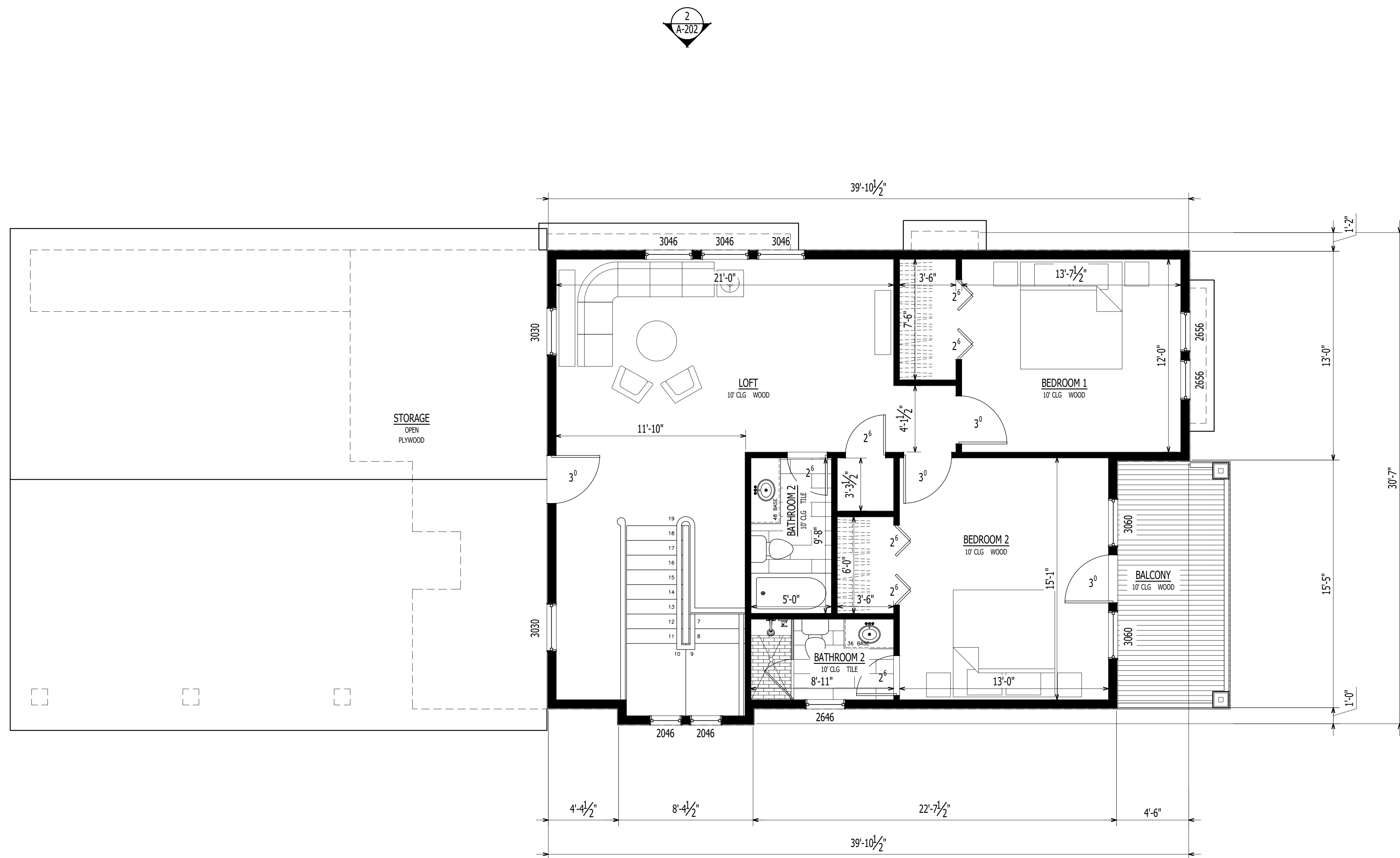
GRAPHIC SCALE: 1/8"=1'-0"

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Queen Street

1 SITE PLAN
C-101 1/8" = 1'-0"



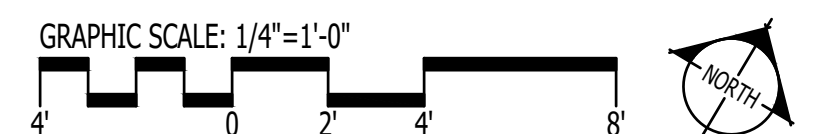


1
A-102
SECOND FLOOR PLAN
Scale: 1/4" = 1'-0"

FIRST FLOOR PLAN	1,238 SF
SECOND FLOOR PLAN	928 SF
TOTAL	2,166 SF

GENERAL NOTE:

- ALL WINDOWS WITH SILL AT OR BELOW 18" WILL BE TEMPERED
- ALL DIMENSIONS ARE TO WOOD STUD UNLESS OTHERWISE NOTED



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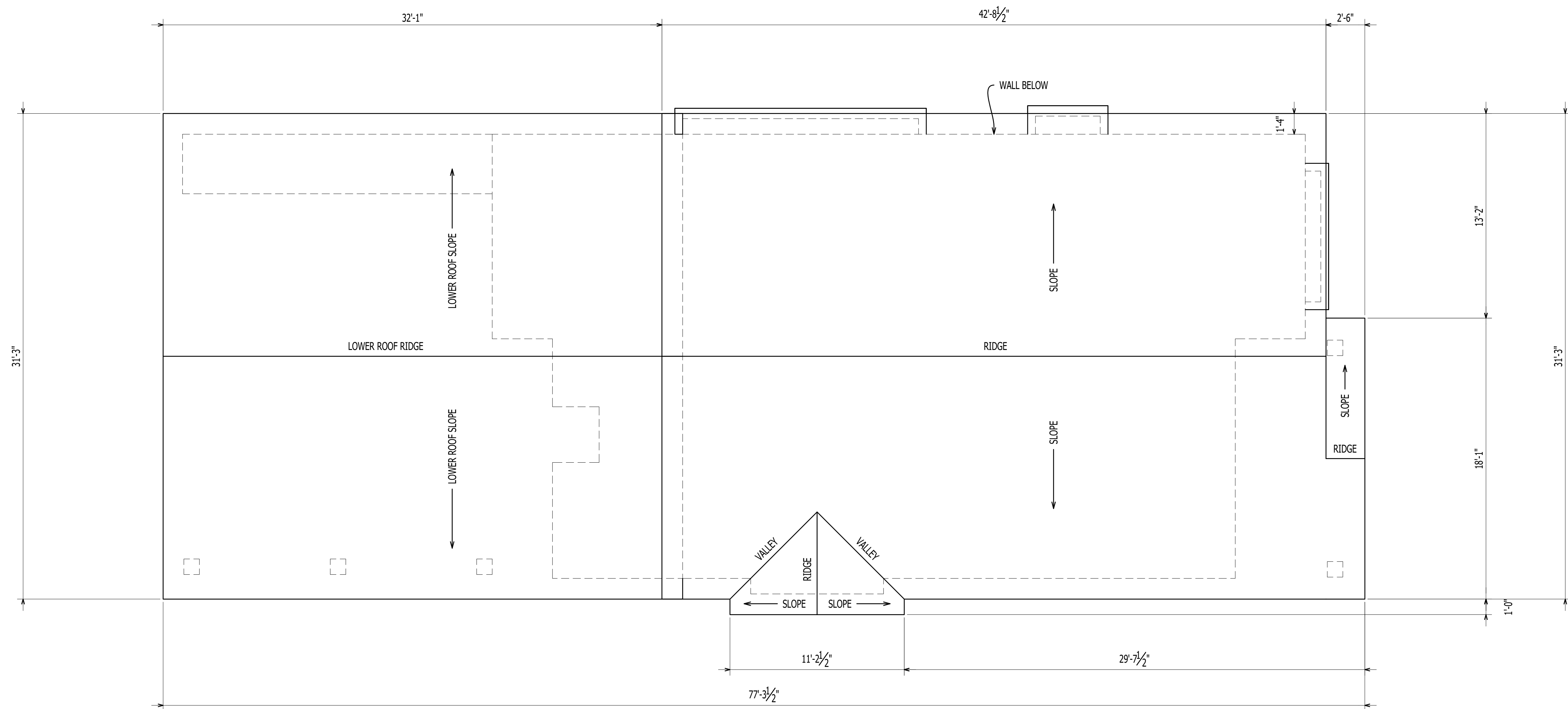
Revisions:

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A-102

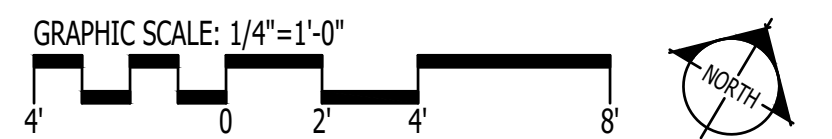
FLOOR PLANS

12 X 18 SHEETS ARE HALF SIZE



1
A-103

ROOF PLAN
Scale: 1/4" = 1'-0"

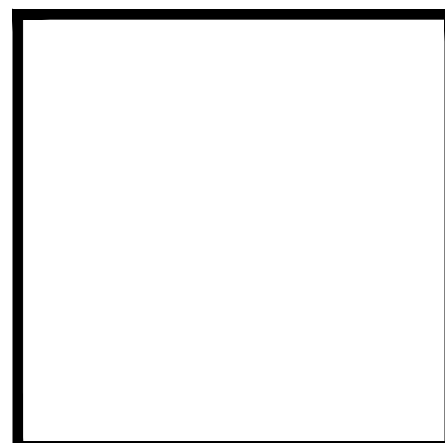


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Date: 08.04.2020

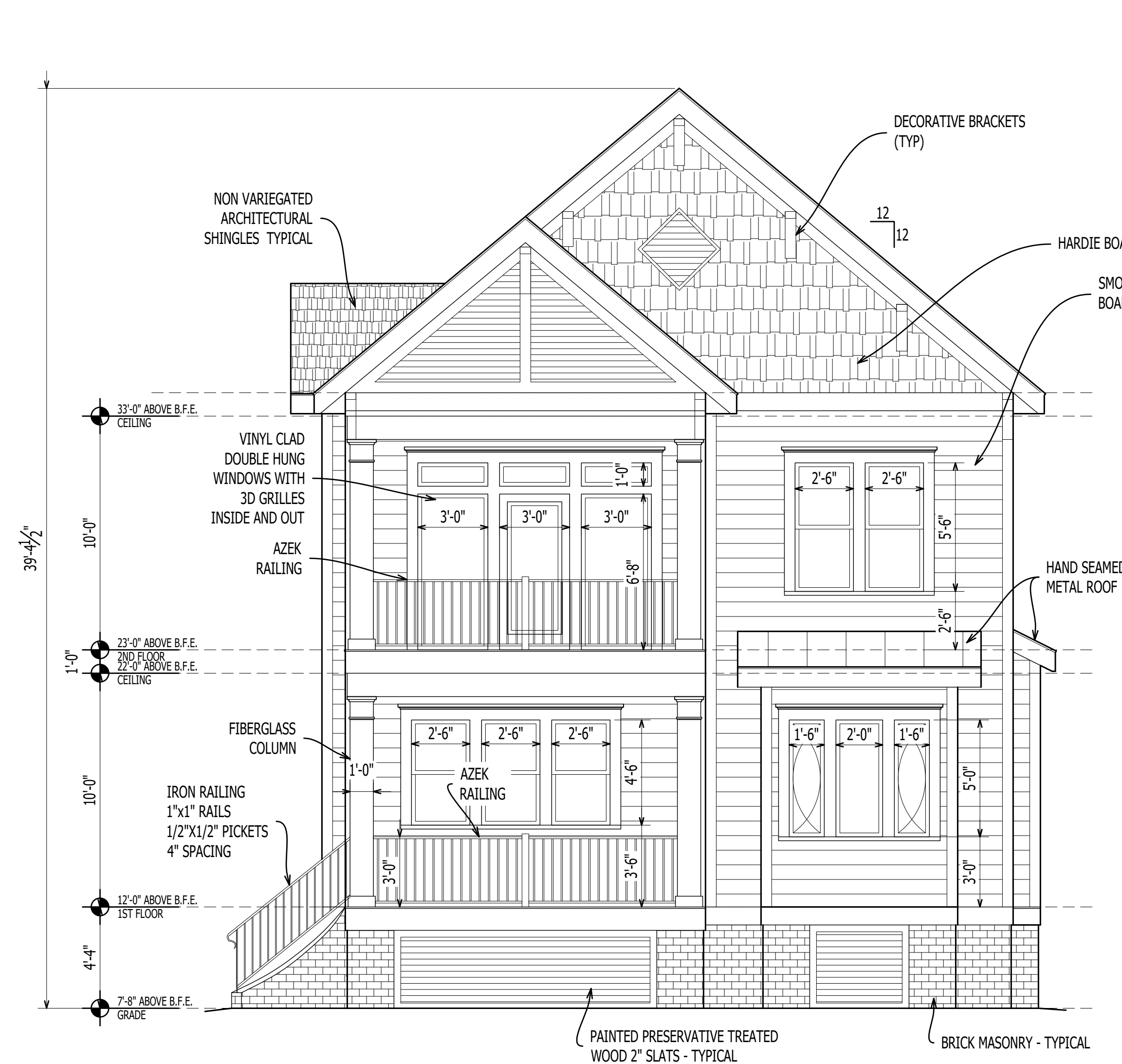
Revisions:

LOT 9 - RIVER STATION
801 E. FRONT STREET , NEW BERN, NC 28560

A-103

ROOF PLAN

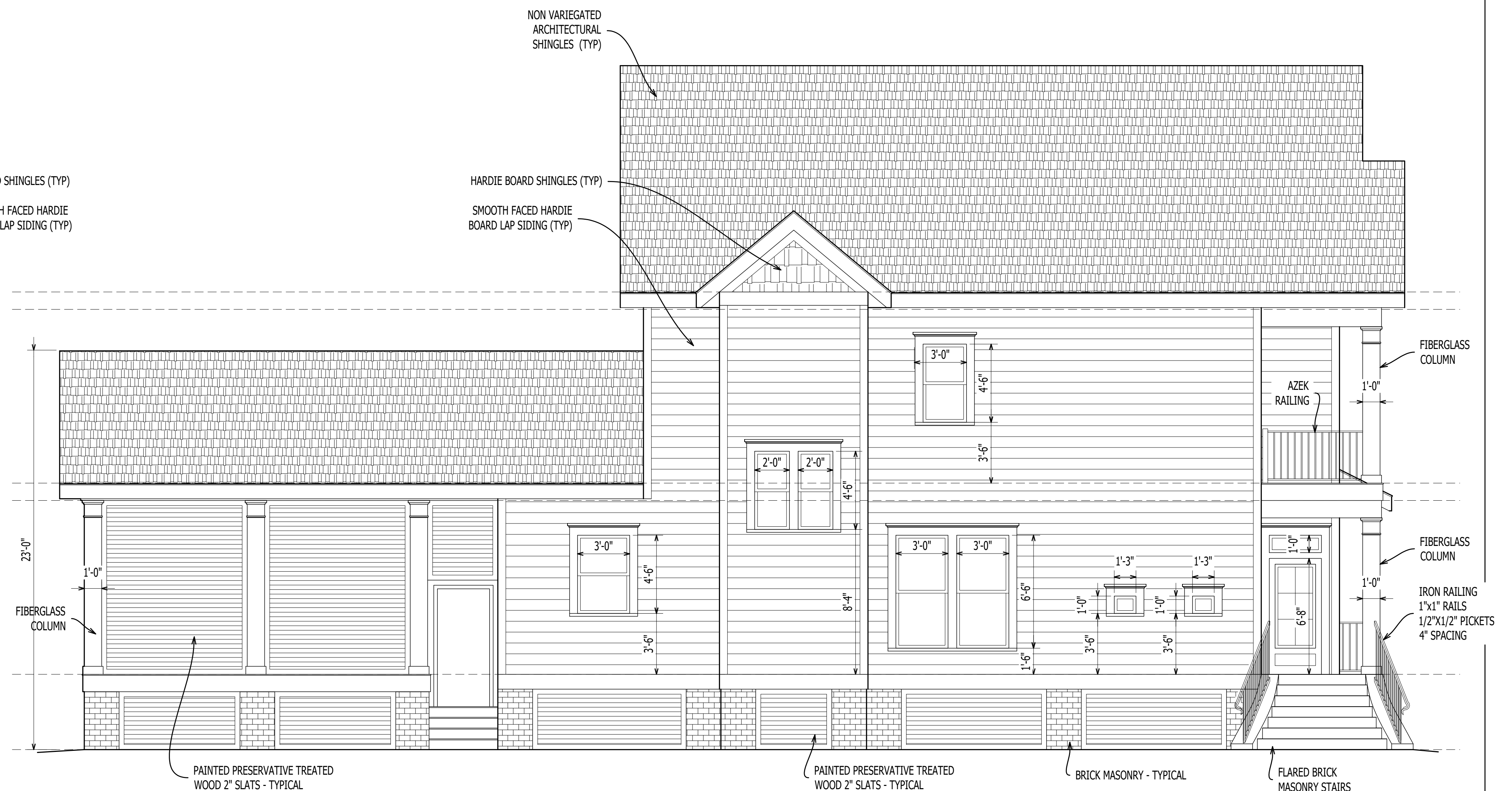
12 X 18 SHEETS ARE HALF SIZE



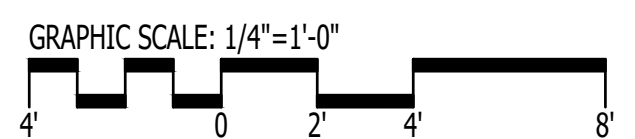
1
A-201

E. FRONT STREET ELEVATION

Scale: 1/4" = 1'-0"



QUEEN STREET ELEVATION
A-201 Scale: 1/4" = 1'-0"



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Date: 08.04.2020

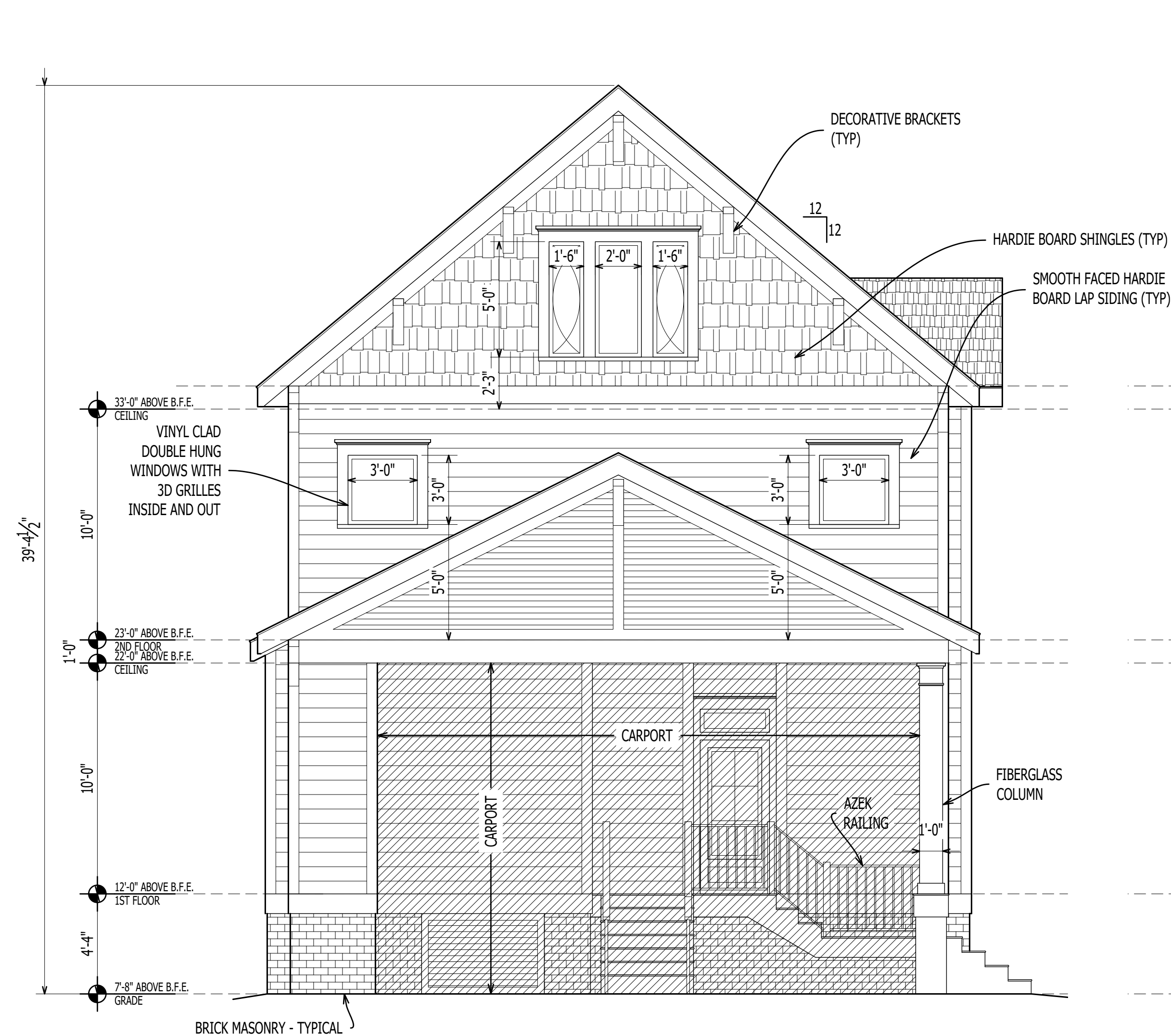
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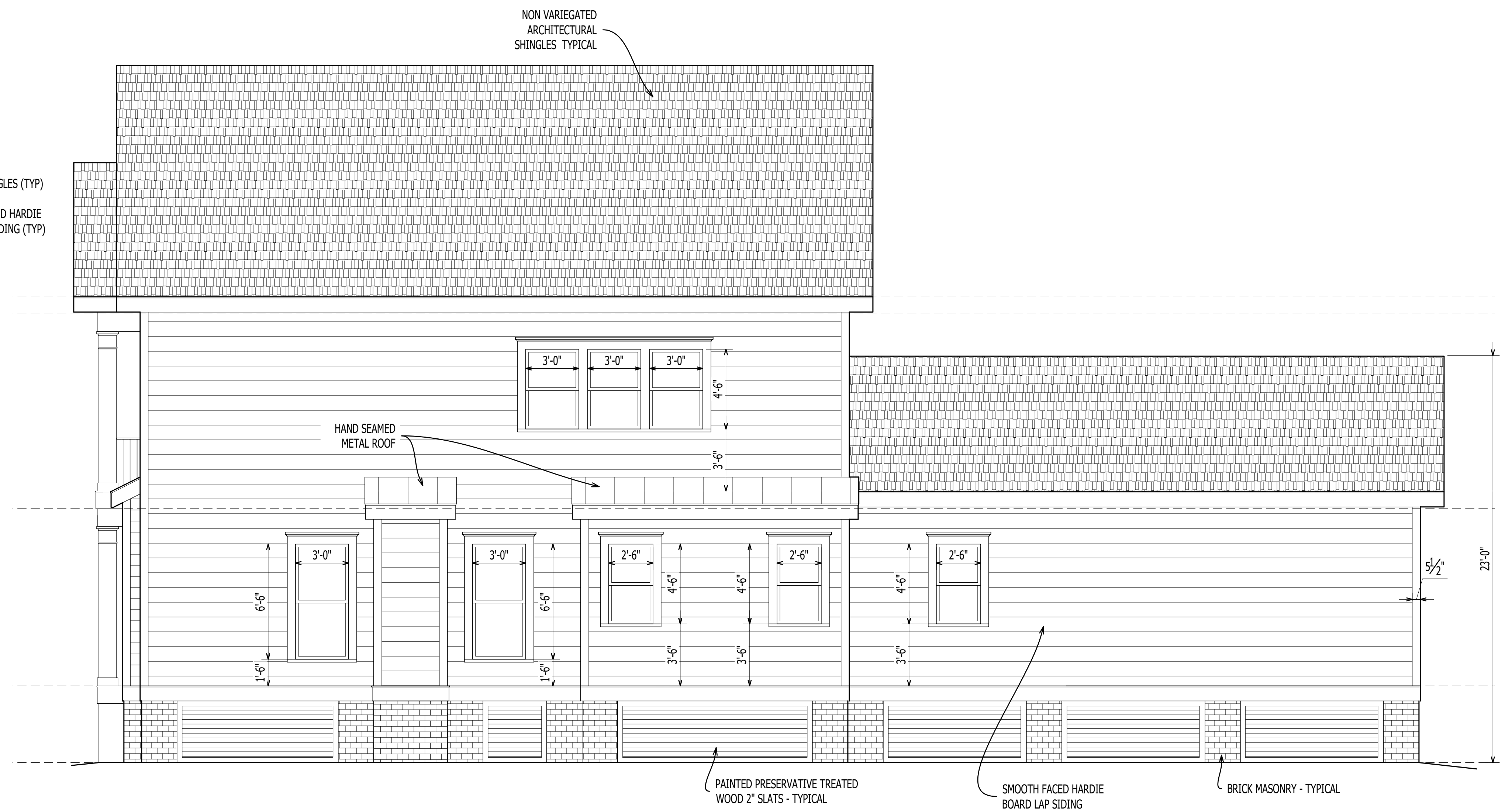
A-201

ELEVATIONS

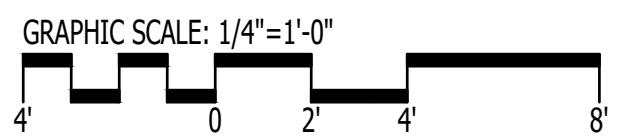
12 X 18 SHEETS ARE HALF SIZE



1
A-201
REAR ELEVATION
Scale: 1/4" = 1'-0"



2
A-201
SIDE ELEVATION
Scale: 1/4" = 1'-0"



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Revisions:

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A-201
ELEVATIONS

12 X 18 SHEETS ARE HALF SIZE

Aldermen

Sabrina Bengel
Jameesha S. Harris
Robert V. Aster
Johnnie Ray Kinsey
Barbara J. Best
Jeffrey T. Odham



NEW BERN
CITY OF NEW BERN

300 Pollock Street, P.O. Box 1129
New Bern, NC 28563-1129
(252) 636-4000

Dana E. Outlaw
Mayor

Mark A. Stephens
City Manager

Petitioners requesting City of New Bern Historic Preservation Commission action on property not owned by them must have this form completed by the owner of the property.

CERTIFICATE OF APPROPRIATENESS OWNERS AUTHORIZATION

Dear Sir or Madame:

I am the owner of the property located at:

304 Queen St. + 801 E Front St. + 808 E Front St., New Bern, NC 28560
(address, city, zip code)

I hereby authorize GO Architectural Design, PLLC to appear with my consent, before the City of New Bern Historic Preservation Commissioner in order to request a Certificate of Appropriateness for the property referenced above.

I authorize you to present this matter on my/our behalf as the owner(s) of the property.

If there are any questions, please contact me at the following address and phone number:

227 E Front St., New Bern, NC 28560 Phone (252) 638-4215

[Signature]
Owner's Signature

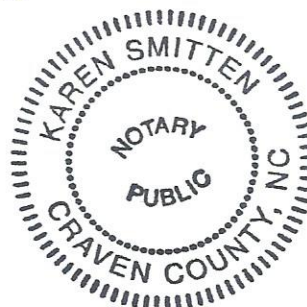
Hubert G. Tolson, III, Authorized Representative
Print Name
River Station Development Corporation

August 3rd, 2020
Date

Sworn to and subscribed before me this 3rd day of August, 2020

Karen Smitten
Notary Public:

My commission expires: 9/6/2024





Zoning and Inspections Review of

Application for Certificate of Appropriateness for Alterations in Historic District

Initial review of applications for certificates of appropriateness by the Zoning Administrator and Chief Building Inspector is intended to provide the applicant and Historic Preservation Commission with information related to compliance with local land use ordinance and building code. It does not represent a formal approval of a permit by any party and does not bind the decisions of Commission.

Application Address and Description: 801 E. Front St. – construction of a new infill house.

Zoning Administrator please review the application and fill out all applicable items

Zoning District: R-6 & Riverstation M.U. Overlay

Required Setbacks (primary structure): Front 8' 10' Side 5' Rear 5'

Accessory Setbacks: From Nearest Structure N/A Side Rear

Maximum Lot Coverage for proposed use: 60%

Maximum Height of Structure: 50' or 2.5 stories

Required Site Improvements: Landscaping Buffer Parking

Other requirements:

I have reviewed the application for proposed alterations to this property and have determined that it Meets X Does Not Meet the requirements of the Land Use Ordinance.

Comments:

Zoning Administrator [Signature] 8/14/20

Chief Building Inspector please review the application and include any comments below

The proposed project Will X Will Not require a building permit(s).

Comments:

Chief Building Inspector [Signature] 8/14/20

Certificate of Appropriateness Findings and Recommendations

HPC Regular Meeting - August 2020

Applicant: Riverstation Development Corp./GO Architectural Design PLLC

Applicant Address: 227 E. Front St., New Bern, NC 28560

Project Address: 801 E. Front St., New Bern, NC 28560

Historic Property Name: N/A

Status: **Contributing:** **Non-contributing:** **Vacant:** X

NR Inventory Description (2003): N/A.

Sandbeck Description (1988): N/A

801 E. Front St. - to include construction of a new infill house.

Staff submits the following Historic District Guidelines are appropriate to this application:

Development Pattern

- 2.1.1 Maintain the established development pattern for placement of infill construction. The relationship of a structure to the property boundaries should be similar to those up the street, down the street and in most cases, across the street.
- 2.1.2 There are areas within the historic districts where the development pattern may have been weakened by vacant lots and nonconforming structures. In such areas, preference shall be given to contributing structures when defining the development pattern for infill construction.
- 2.1.3 The footprint, scale and proportion of infill construction shall be in keeping with neighboring properties. In general, it is not appropriate to construct a three-story structure in an area that is dominated by one-story structures.

Design Principles

- 3.1.1 Consider the scale, mass and proportion inherent to the surrounding historic development pattern, and design modifications that incorporate these characteristics. Use basic shapes and forms that are common to the historic districts.
- 3.1.2 Windows, doors and openings shall be compatible in proportion, shape, location, size, and quantity with those on surrounding historic structures. Avoid large expanses of blank walls. Establish bays, visually subdivide facades, and delineate building elevations to create form and rhythm.
- 3.1.3 Discretely use rooftop appurtenances such as spires, cupolas, and towers to articulate rooflines. Compliment the scale, form and proportion of the structure, and use rooftop appurtenances to identify a building entry or similar massing focal point.
- 3.1.4 Use details to articulate facades, and the openings within facades. Appropriately detail the base, body, and edges of facades to create texture and visual interest.
- 3.1.5 Avoid creating a false sense of historical development. It is not appropriate to apply historic architectural styles to infill construction. Creative interpretation of traditional detailing and ornamentation is encouraged.

Infill Construction

- 3.4.1 Maintain the relationship between building mass and open space that exists on the block or streetscape.
- 3.4.2 The predominant material of an infill building shall visually emulate the palette of materials traditionally found in the historic districts.

Certificate of Appropriateness Findings and Recommendations

HPC Regular Meeting - August 2020

- 3.4.3 Use of modern materials is acceptable as a means of continuing the evolution of architecture through time. However, the use of aluminum and vinyl siding, faux brick and stone, stamped concrete and similar imitation materials is not appropriate.
- 3.4.4 Contemporary materials shall be appropriately proportioned, used in traditional ways and installed in a traditional manner.

Foundations

- 4.1.3 Use traditional materials when constructing foundations. Concrete block should receive a veneer of stucco, brick, or other appropriate masonry material.
- 4.1.4 Locate foundation features such as vents and access doors in areas that will not detract from the architectural character of the building. Coordinate with other architectural features when possible, such as aligning vents and access doors with windows above or centering them between piers.

Walls, Trim and Ornamentation

- 4.2.4 Incorporate wood trims and articulate masonry appropriately for the application.

Windows, Doors and Openings

- 4.3.3 Glazing should have true divided light muntins, or three-dimensional grilles affixed to both the interior and exterior of the glass. Provide shadow bars between insulated glass panes.

Entrances

- 4.4.4 Provide porches, entrance doors, railings, and other ornaments that proportionally relate to the building. Appropriate balustrades often convey a heavier visual appearance. Center balusters between the top and bottom rails and space them about three inches apart.

Roofs

- 4.5.4 Standing seam metal roofs shall have a pan width no greater than 24 inches. Pans shall be completely flat without corrugation. Provide double locked seams with flush ridge and hip flashings on contributing structures.

Decks and Patios

- 4.6.2 Locate decks in Secondary and Tertiary AVCs, and screen the underside with shrubbery, fencing, lattice, or masonry.

Masonry

- 5.1.3 The size, color, texture and bond, or pattern, of masonry and mortar creates the intended finished appearance. It is not appropriate to paint masonry that has not been previously painted.
- 5.1.5 Provide a veneer of brick, stucco, or other appropriate material over concrete masonry units. Architectural concrete masonry units such as rusticated, split face or similar types may be substituted for stone masonry construction.
- 5.1.6 It is not appropriate to use water repellants or sealers on masonry because these treatments often trap moisture and accelerate spalling.

Metals

- 5.3.3 Use full weld iron and steel fabrication techniques. Welds shall be properly dressed, or ground smooth.

Certificate of Appropriateness Findings and Recommendations

HPC Regular Meeting - August 2020

- 5.3.4 Provide aluminum fabrications with welded joints or blind, mechanical connections having concealed fasteners.

Paint

- 5.4.2 Select paint and sealant coatings that are harmonious with adjoining work. In general, new material shall be a compatible formulation with the substrate of application.
- 5.4.3 Apply primer coatings to front and back wood surfaces prior to cutting and fitting. Prime end cuts before installation. Apply finish paint coatings to exposed primed surfaces.
- 5.4.4 Consider using opaque stain in lieu of paint on flooring, fencing, and similar wood surfaces exposed to foot traffic or weather.
- 5.4.6 It is not appropriate to apply paint, water repellant or sealant coatings to unpainted surfaces such as masonry, stone, copper, and bronze.

Statements of Reason, based on the information contained in the application, in Staff's judgment are:

1. The project is located within the Primary, Secondary, and Tertiary AVCs;
2. The Zoning Administrator and the Chief Building Official have reviewed this project and commented accordingly;
3. The project is not incongruous with the Guidelines.

MOTION

Staff recommends the Commission approve this application for construction of a new infill house.

FEE SCHEDULE (office use only)

[] \$22 Standard Application (minor)
 [] \$107 Standard Application (major)



HPC Administrator
HPCadmin@newbern-nc.org
 Work: (252)639-7583
 Fax: (252)636-2146

Application for a Certificate of Appropriateness
(For Alterations to Properties in Locally Designated Historic Districts)

For assistance see "CoA Instructions", as well as "Historic District Guidelines", available online at:
<http://www.newbern-nc.org/departments/development/historic-preservation/historic-preservation-guidelines/>

Type of Project: ☐ Exterior Alteration ☐ Addition ☐ Infill ☐ Site Work ☐ Other

I. Applicant/Owner Information:

Property Address (Include year built, if known):

Property Owner Name(s):

Owner Mailing Address:

Phone #'s:

Email:

Applicant Name (if different):

Applicant Mailing Address:

Phone #'s:

Email:

Robert "Pete" Chiles

II. Project Information: *(See "CoA Instructions" & "Historic Guidelines" for help in completing this section)*

1. Provide a detailed description of work to be conducted on site: (Attach additional sheets if needed)

Continued on additional sheet or attached brochure ☐

2. Reference the specific Guideline(s) in the "Historic District Guidelines" which you believe apply to this project: (page and guideline number):

Continued on additional sheet or attached brochure ☐

3. Provide a detailed description of materials to be used (copies of brochures, texture, etc.):
 Reference the specific Guidelines in the Historic District Guidelines for the proposed material(s).

Continued on additional sheet or attached brochure ☐

III. Additional Information Provided: (See "CoA Instructions" for more detail)

Plan(s) of Work, with: (please check all of those which are included with this application)

- ☒ Site plan (with annotated notes showing existing site and requested work)
- ☒ Photographs of the building and location where the proposed work will be completed
- ☒ Annotated notes or photos of materials to be used (samples may also be submitted)
- ☐ Floor plan with dimensions (for additions)
- ☒ Elevations with dimensions (for exterior additions or renovations)
- ☐ Supporting materials (brochures, photos of similar New Bern projects, estimates, etc.)
- ☐ Letter from owner acknowledging this application, in the case of submission by an applicant or lessee.

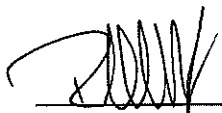
Please see Development Services Staff (Staff) prior to submittal for initial review of the application and advisement if additional information will be required before consideration at a Historic Preservation Commission hearing.

Please read the following statements. Your signature below acknowledges that you have read the statements and attest to their accuracy:

Check one:

- ☒ I am the owner of the Property, or
- ☐ I am acting on behalf of the owner of the property and I have attached a letter from the owner(s) indicating their knowledge of this application.

- ◆ I understand that submittal of this application does not constitute approval of proposed alterations.
- ◆ I understand that the approval of this application by City Staff or the New Bern Historic Preservation Commission (HPC) does not constitute approval of other federal, state, or local permit applications.
- ◆ I understand that I (or my representative) will need to attend the Hearing of this Application by HPC. No Applications shall be heard without a representative present and all applicable fees paid in full.
- ◆ I have reviewed the City of New Bern's "Historic District Guidelines" in preparing this Application.
- ◆ I understand that the property referenced by this Certificate of Appropriateness (CoA) application is in one of New Bern's local historic districts and that it represents a part of New Bern's historic fabric. If a CoA is approved by HPC or Staff, I agree to implement all changes as specified in the approved CoA, including any conditions. I understand that I am responsible for contacting Staff if I have any questions regarding the allowed changes specified in the approved CoA.
- ◆ I understand that ANY unapproved alterations are enforceable as a violation of City Ordinance and must be brought into compliance by removal or through the CoA process.
- ◆ I affirm that all the information included in this application is true to the best of my knowledge.
- ◆ I understand that incomplete applications cannot be considered.



Signature of Applicant/Owner

4 Aug 20

Date

APPLICATION SHOULD BE SUBMITTED TO THE DEVELOPMENT SERVICES MAIN OFFICE AT 303 FIRST ST. NO LESS THAN 2 WEEKS PRIOR TO UPCOMING MEETING. FOR FURTHER INFORMATION, CONTACT THE ADMINISTRATOR OF THE HISTORIC PRESERVATION COMMISSION AT (252) 639-7583.

• File an Annual Report/Amend an Annual Report • Upload a PDF Filing • Order a Document Online • Add Entity to My Email Notification List • View Filings • Print a Pre-Populated Annual Report form • Print an Amended a Annual Report form

Limited Liability Company

Legal Name

417 Broad, LLC

Information

SosId: 1248483

Status: Current-Active ⓘ

Date Formed: 3/9/2012

Citizenship: Domestic

Annual Report Due Date: April 15th

Current**Annual Report Status:**

Registered Agent: Chiles, Robert Mahlon, Jr.

Addresses

Mailing	Principal Office	Reg Office	Reg Mailing
417 A Broad Street New Bern, NC 28560	417 A Broad Street New Bern, NC 28560	417 A Broad Street New Bern, NC 28560	417 A Broad Street New Bern, NC 28560

Company Officials

All LLCs are managed by their managers pursuant to N.C.G.S. 57D-3-20.

Manager

Robert Mahlon Chiles , Jr

PO Box 3496

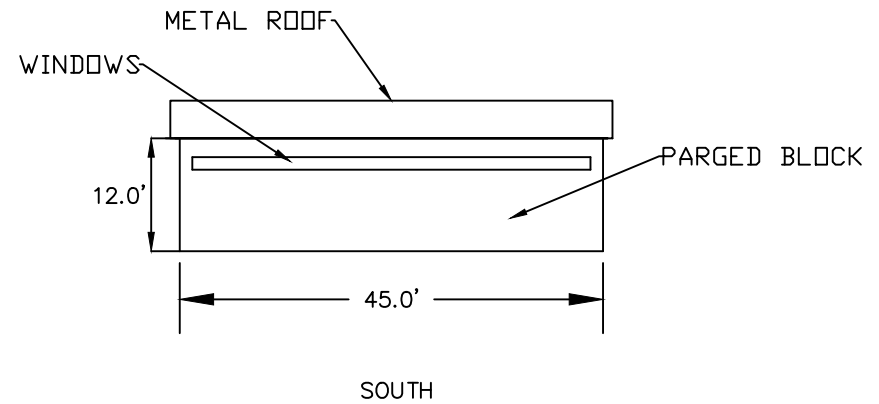
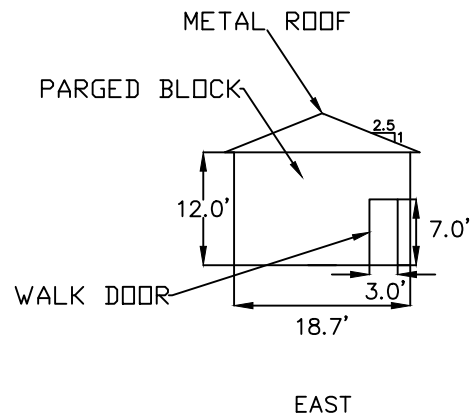
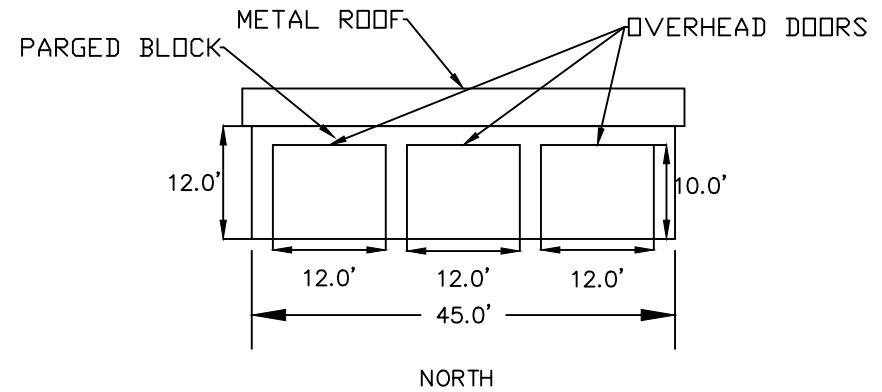
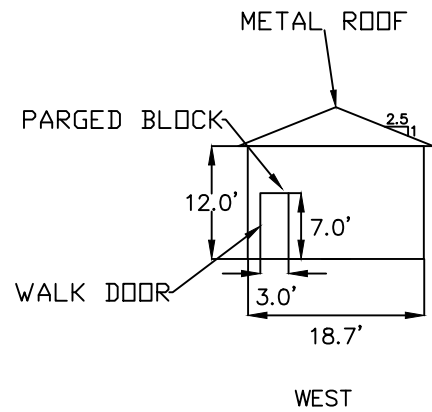
New Bern NC 28564



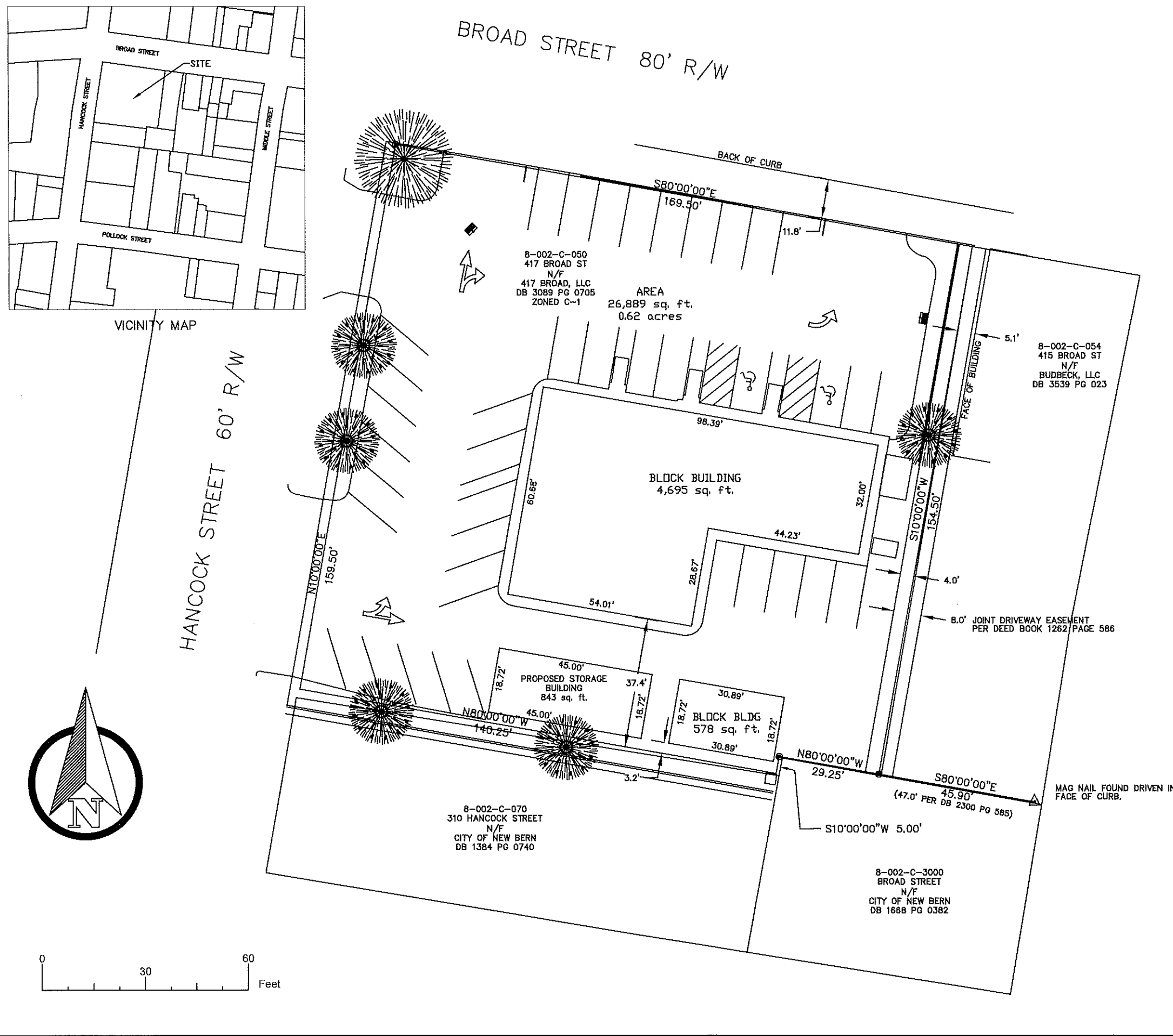
Attachment 1: Proposed location of storage building



Attachment 2: Adjacent buildings on property with similar materials

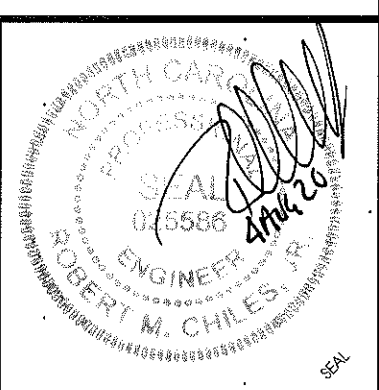


PROPOSED STORAGE BUILDING ELEVATION DRAWINGS



1. PROPERTY IS ZONED C-1
 2. ADDITIONAL IMPERVIOUS SURFACE AREA IS LESS THAN 10,000 SQ. FT; NO STORMWATER MANAGEMENT PLAN IS REQUIRED
 3. DISTURBED AREA IS LESS THAN 1 ACRE; NO EROSION AND SEDIMENTATION PLAN IS REQUIRED
 4. THERE ARE NO WETLANDS PRESENT ON THE SITE
 5. THE RIDGELINE OF THE PROPOSED OPEN STORAGE BUILDING WILL BE APPROXIMATELY 16 FT ABOVE GRADE, SIMILAR TO THE ADJACENT BUILDINGS ON THE PROPERTY.
- 5.1. SURROUNDING BUILDINGS:
- 5.1.1. THE RIDGELINE OF THE EXISTING 4,695 SQ FT BUILDING AT 417 BROAD ST IS APPROXIMATELY 16 FEET ABOVE GRADE.
 - 5.1.2. THE RIDGELINE OF THE EXISTING 578 SQ FT BUILDING AT 417 BROAD ST IS APPROXIMATELY 15 FEET ABOVE GRADE.
 - 5.1.3. THE RIDGELINE OF THE EXISTING BUILDING ACROSS THE STREET AT 420 BROAD ST (FIREMEN'S MUSEUM) IS APPROXIMATELY 31 FEET ABOVE GRADE.

- 5.1.4. THE RIDGELINE OF THE EXISTING BUILDING AT 311 HANCOCK ST (CENTURYLINK BUILDING) IS APPROX. 59 FEET ABOVE GRADE.



PROPOSED STORAGE BUILDING FOR 417 BROAD STREET

TOWNSHIP COUNTY NORTH CAROLINA



ROBERT CHILES ENGINEERING

ENGINEERS • CONSULTANTS • MARINE SURVEYORS

SCALE: 1"=30'
JOB NO.: RCE
DATE : 8JULY2020

NC BELS FIRM F-1392
417A BROAD STREET
PO BOX 3496
NEW BERN, NC 28564
252-637-4702



Zoning and Inspections Review of

Application for Certificate of Appropriateness for Alterations in Historic District

Initial review of applications for certificates of appropriateness by the Zoning Administrator and Chief Building Inspector is intended to provide the applicant and Historic Preservation Commission with information related to compliance with local land use ordinance and building code. It is does not represent a formal approval of a permit by any party and does not bind the decisions of Commission.

Application Address and Description: 417 Broad St. – construction of a new accessory building in the Secondary AVC.

Zoning Administrator please review the application and fill out all applicable items

Zoning District: C-1

Required Setbacks (primary structure): Front Sim. Side N/A Rear N/A

Accessory Setbacks: From ^{Principal} Nearest Structure 8' Side 3' Rear 3'

Maximum Lot Coverage for proposed use: 100%

Maximum Height of Structure: 60'

Required Site Improvements: Landscaping N/A Buffer N/A Parking N/A

Other requirements:

I have reviewed the application for proposed alterations to this property and have determined that it Meets X Does Not Meet _____ the requirements of the Land Use Ordinance.

Comments:

Zoning Administrator [Signature] 8/14/20

Chief Building Inspector please review the application and include any comments below

The proposed project Will X Will Not _____ require a building permit(s).

Comments:

Chief Building Inspector [Signature] 8/14/20

Certificate of Appropriateness Findings and Recommendations

HPC Regular Meeting - August 2020

Applicant: 417 Broad, LLC/Robert “Pete” Chiles

Applicant Address: PO Box 3496, New Bern, NC 28564

Project Address: 417 Broad St., New Bern, NC 28560

Historic Property Name: N/A

Status: **Contributing:** **Non-contributing:** **X** **Vacant:**

NR Inventory Description (2003): c. 1960; One story; six bays wide; stucco walls; flat roof; contains four office units.

Sandbeck Description (1988): N/A

417 Broad St. - to include construction of a new accessory building in the Secondary AVC.

Staff submits the following Historic District Guidelines are appropriate to this application:

Accessory Structures

- 2.6.1 Locate accessory structures in Secondary or Tertiary AVCs, and behind primary structures when possible. Accessory structures are to be secondary to the primary structure in regard to mass, scale, form, and texture.
- 2.6.2 It is appropriate for outbuildings, and similar structures with substantial foundations, to have a similar form and detailing as the primary structure. Reduce these elements in scale to compliment the outbuilding massing, and incorporate less ornate and simpler elements than found on the primary structure.

Design Principles

- 3.1.1 Consider the scale, mass, and proportion inherent to the surrounding historic development pattern, and design modifications that incorporate these characteristics. Use basic shapes and forms that are common to the historic districts.
- 3.1.2 Windows, doors and openings shall be compatible in proportion, shape, location, size, and quantity with those on surrounding historic structures. Avoid large expanses of blank walls. Establish bays, visually subdivide facades, and delineate building elevations to create form and rhythm.
- 3.1.4 Use details to articulate facades, and the openings within facades. Appropriately detail the base, body, and edges of facades to create texture and visual interest.

Windows, Doors and Openings

- 4.3.3 Glazing should have true divided light muntins, or three-dimensional grilles affixed to both the interior and exterior of the glass. Provide shadow bars between insulated glass panes.

Contemporary Materials

- 5.5.1 In general, contemporary material shall match the dimension, shape and texture of their counterparts commonly found in the historic districts.
- 5.5.3 Contemporary and nontraditional materials should convey appropriate historic material characteristics, and will be evaluated on a case-by-case basis for appearance, dimension, texture, color, sheen, visual weight, and similar characteristics.
- 5.5.4 Aluminum siding, vinyl siding, masonite siding, artificial brick sheathing, thin set stone veneer, stamped concrete, and similar types of contemporary materials that imitate historic materials are not appropriate in the historic districts.

Certificate of Appropriateness Findings and Recommendations

HPC Regular Meeting - August 2020

Statements of Reason, based on the information contained in the application, in Staff's judgment are:

1. The proposed project is located within the Secondary AVC;
2. The proposed design is significantly similar to existing buildings on the property;
3. The Zoning Administrator and the Chief Building Official have reviewed this project and commented accordingly;
4. The project is not incongruous with the Guidelines.

MOTION

Staff recommends the Commission approve this application for construction of a new accessory building in the Secondary AVC.

FEE SCHEDULE (office use only)

- [] \$22 Standard Application [minor]
 [] \$107 Projects Requiring Design Review*



NEW BERN

NORTH CAROLINA

Everything comes together here

APPLICATION FOR A CERTIFICATE OF APPROPRIATENESS

(for Alteration to Properties in Locally Designated Historic Districts)

HPC Administrator

HPAdmin@newbern-nc.org

Work (252) 639-7583

Fax: (252) 636-2146

For assistance see "CoA Instructions", as well as "Historic District Guidelines", available online at:
<http://www.newbern-nc.org/departments/development/historic-preservation/historic-preservation-guidelines/>

Type of Project: ☐ Exterior Alteration ☐ Addition ☐ Infill ☐ Site Work ☐ Other

I. Applicant/Owner Information:

Property Address [include year built, if known]: 508 Middle St., ca. 1960

Property Owner Name[s]: First Presbyterian Church Phoebe Briley – Project Coordinator	Owner Mailing Address: 400 New Street	Phone #'s: 252.229.0130	Email: pjb9917@yahoo.com
Applicant Name [if different]: Charles R. Francis AIA	Applicant Mailing Address: 3615 Wedgewood Drive Trent Woods, NC 28560	Phone #'s: 252.637.1112	Email: crfrancis1@embarqmail.com

II. Project Information: [See "CoA Instructions" & Historic Guidelines" for help in completing this section]

- Provide a detailed description of work to be conducted on site:
 - Construct a new simple gable open air shed to house a barbecue cooker – tertiary AVC
 - Remove and replace windows on the front of the existing non-contributing structure to match windows placed on the kitchen addition and the new entry – primary AVC
- Reference the specific Guideline[s] in the "Historic District Guidelines" which you believe apply to this project:
 - 2.61, 2.63
 - Non contributing structure with inappropriate windows installed in ~1994 violating 3.2.5 with false muntins. The original structure had industrial steel sash as was used from the 1920s through the 1960 in industrial and educational structures. We are proposing a new tubular storefront frame similar to those used on the new kitchen and installed as part of the new entrance and new exit on the facility.
- Provide a detailed description of materials to be used [copies of brochures, texture, etc.]:
 Reference the specific Guidelines in the "Historic District Guidelines" for the proposed material[s].
 - Wood framed [type Vb] with wood lapped siding in the gable ends; painted surfaces with asphalt shingle roofing
 - Aluminum storefront anodized clear.

III. Additional Information Provided: [See "CoA Instructions" for more detail]

Plans of Work, with: [please check all of those which are included with this application]

- ☐ Site plan [with annotated notes showing existing site and requested work]
- ☐ Photographs of the building and location where the proposed work will be completed
- ☐ Annotated notes or photos of materials to be used [samples may also be submitted]
- ☐ Floor plan with dimensions
- ☐ Elevations with dimensions
- ☐ Supporting materials [brochures, photos of similar New Bern projects, estimates, etc.]
- ☐ Letter from owner acknowledging this application, in the case of submission by an applicant or lessee.

Please see Development Services Staff prior to submittal for initial review of the application and advisement if additional information will be required before consideration at an Historic Preservation Commission meeting.

Please read the following statements. Your signature below acknowledges that you have read the statements and attest to their accuracy:

Check one: ☐ I am the owner of the Property, **or**
☐ I am acting on behalf of the owner of the property and I have attached a letter from the owner[s] indicating their knowledge of this application.

- ◆ I understand that submittal of this application does not constitute approval of proposed alterations.
- ◆ I understand that the approval of this application by City Staff or the New Bern Historic Preservation Commission [HPC] does not constitute approval of other federal, state, or local permit applications.
- ◆ I understand that I [or my representative] will need to attend the Hearing of this Application by HPC. No Applications shall be heard without a representative present and all applicable fees paid in full.
- ◆ I have reviewed the City of New Bern's "Historic District Guidelines" in preparing this application.
- ◆ I understand that the property referenced by this Certificate of Appropriateness [COA] application is in one of New Bern's local historic districts and that it represents a part of New Bern's historic fabric. If a CoA is approved by HPC or Staff, I agree to implement all changes as specified in the approved CoA, including any conditions. I understand that I am responsible for contacting Staff if I have any questions regarding the allowed changes specified in the approved CoA.
- ◆ I understand that ANY unapproved alterations are enforceable as a violation of City Ordinance and must be brought into compliance by removal or through the CoA process.
- ◆ I affirm that all the information included in this application is true to the best of my knowledge.
- ◆ I understand that incomplete applications cannot be considered.

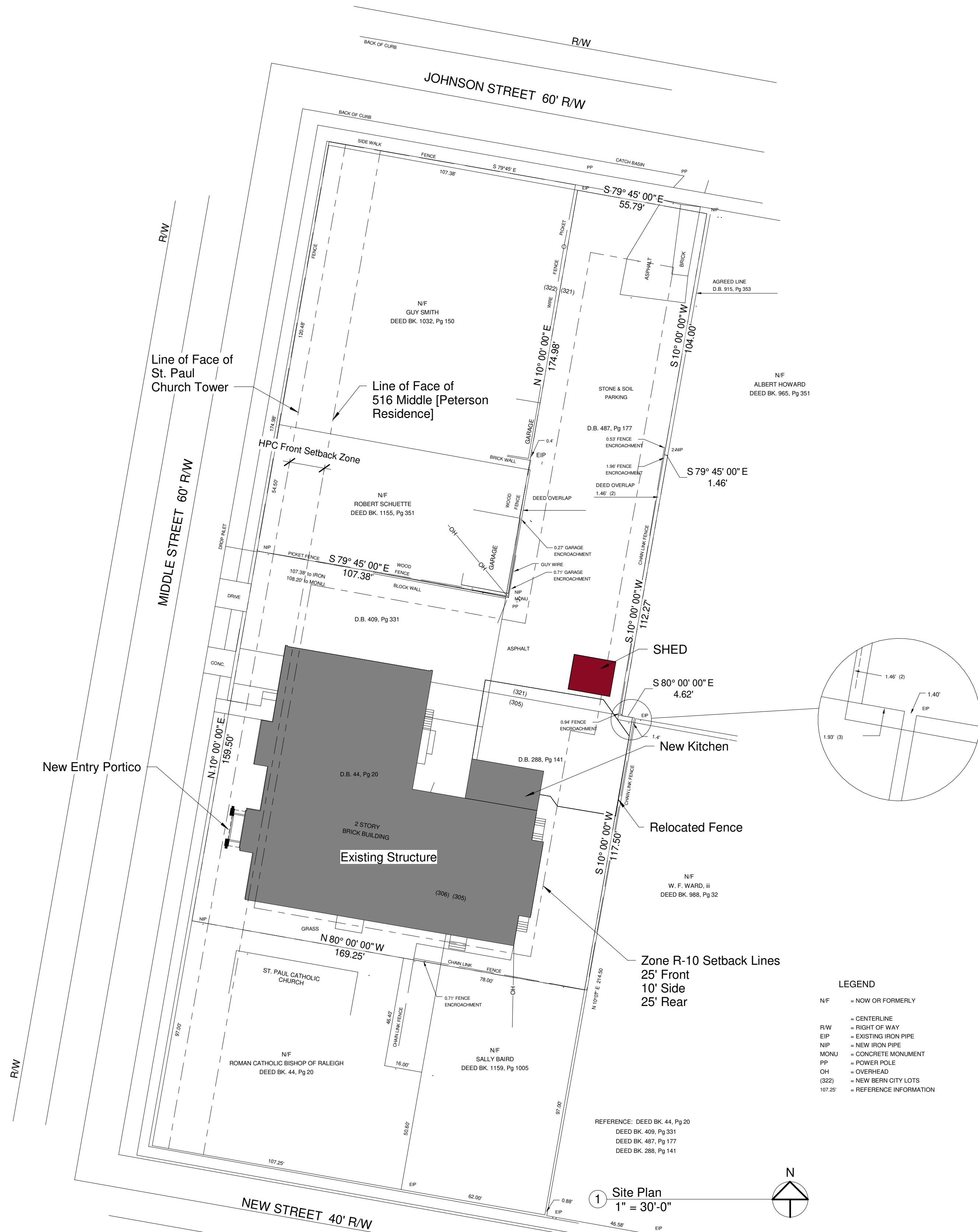


Signature of applicant

08.05.2020

Date

APPLICATION SHOULD BE SUBMITTED TO THE DEVELOPMENT SERVICES MAIN OFFICE At 303 FIRST ST. NO LESS THAN 2 WEEKS PRIOR TO UPCOMING MEETING. FOR FURTHER INFORMATION, CONTACT THE ADMINISTRATOR OF THE NEW BERN HISTORIC PRESERVATION COMMISSION AT (252) 639-7583.



Survey taken from electronic drawing furnished by Robert Chiles Engineering of survey by Robert M. Chiles PE for subdivision plan for First Presbyterian Church, St. Paul's Church Site dated May 27, 1993 Job Number 92170

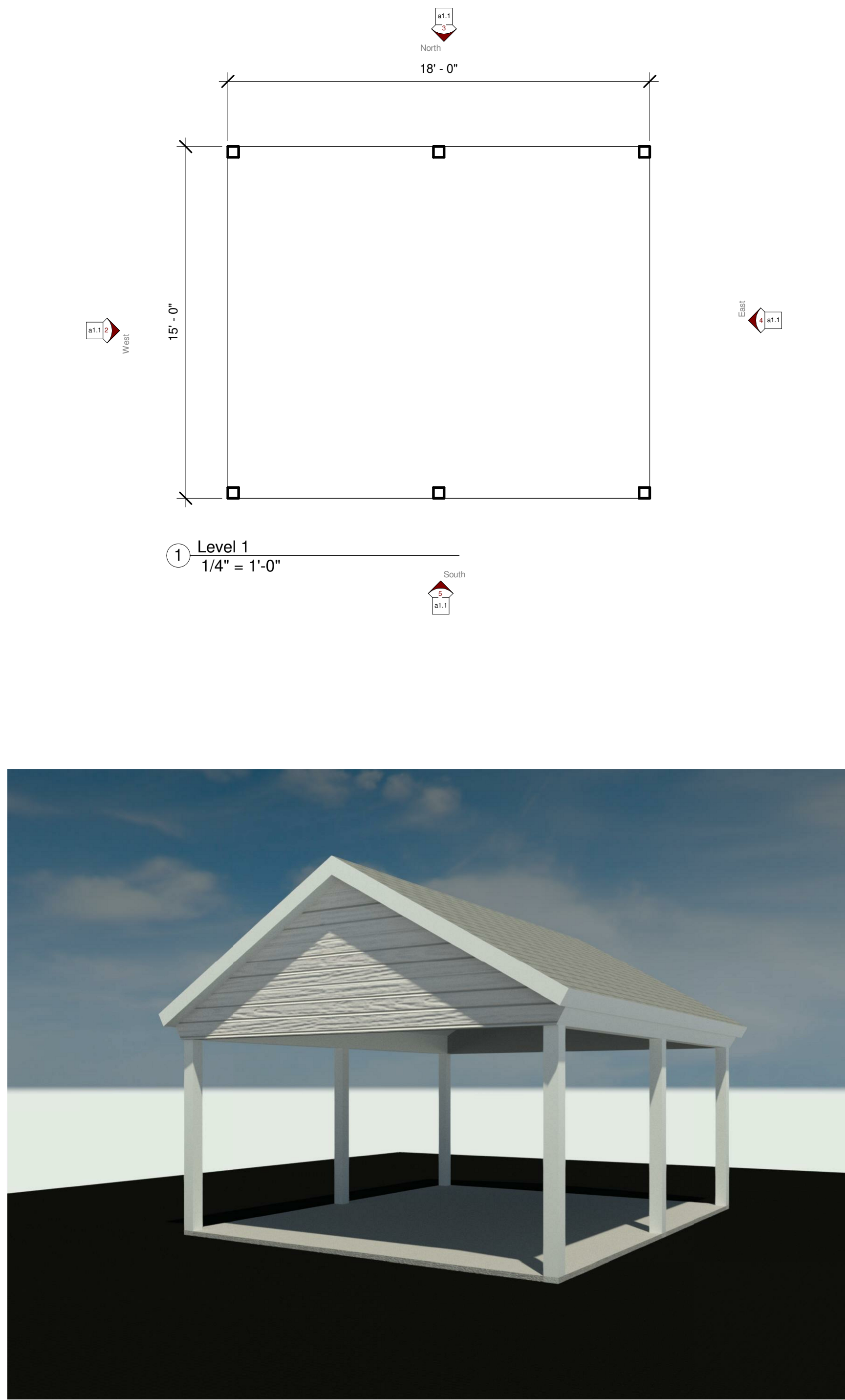
Renov. & Addition: J M S Fellowship Center

First Presbyterian Church

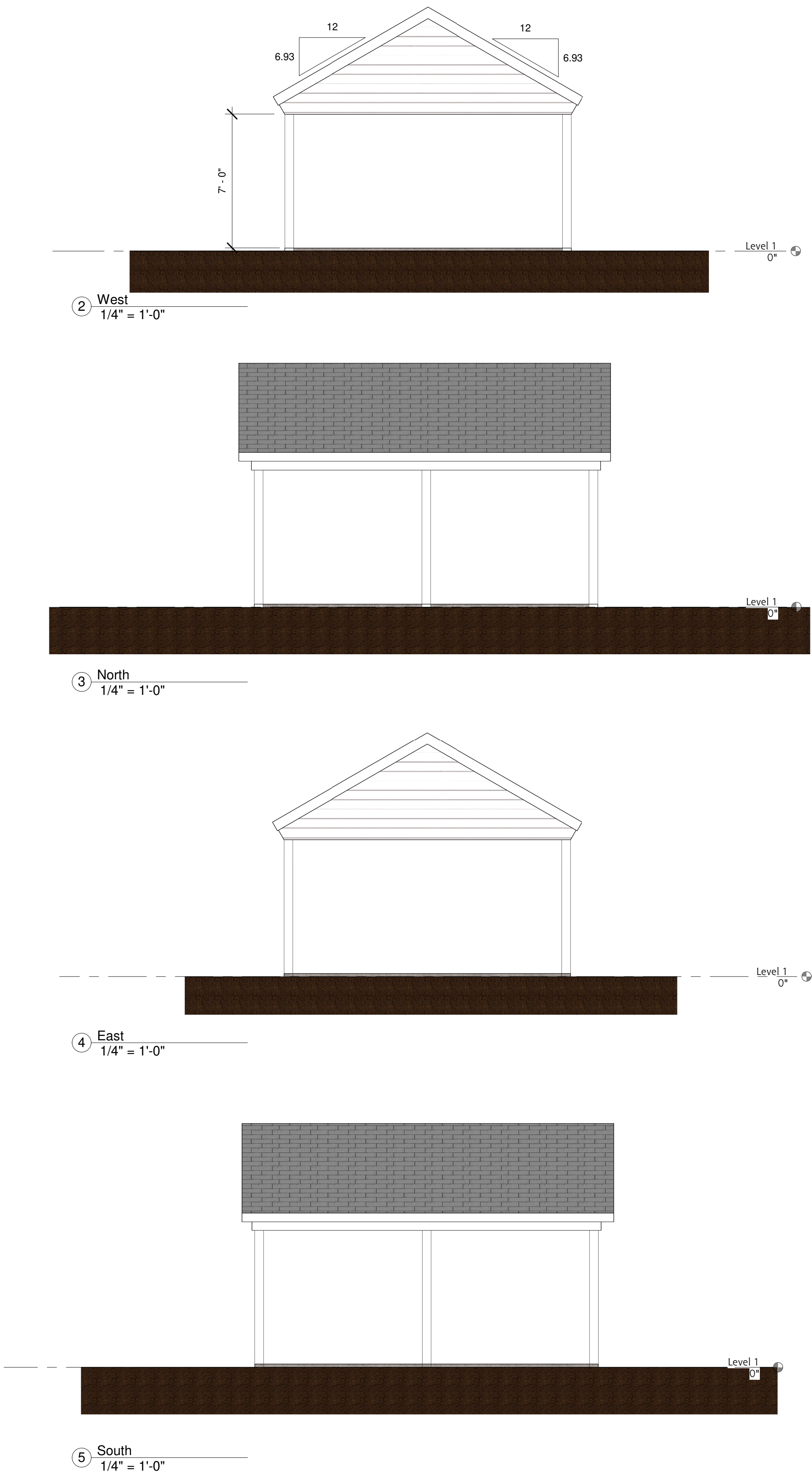
508 Middle Street New Bern, NC



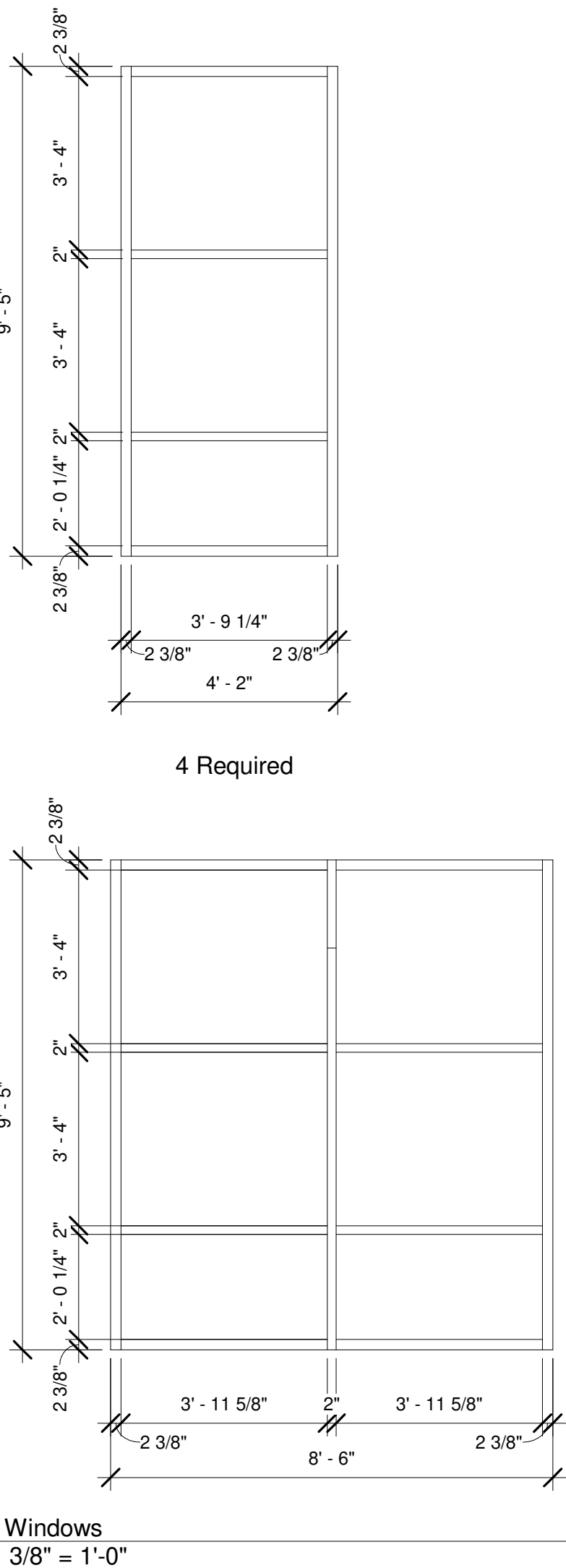
C. R. FRANCIS / ARCHITECTURE
329 middle street new bern, north carolina 28560 tel. 252.637.1112 fax 252.637.7698 p.a.
These Drawings (the graphic representation of the design) and the Architectural Design(s) indicated herein created by C. R. Francis / Architecture, p.a. remain the property of the Architect. They are protected under the 1990 Architectural Works Copyright Protection Act. Reproduction or reuse of these documents or designs is prohibited without written consent of the Architect. COPYRIGHT
Date: June 2018 Drawn by: crf Sequential No. 3 Of: 18 sheet as1.0



VIEW FROM SOUTHWEST

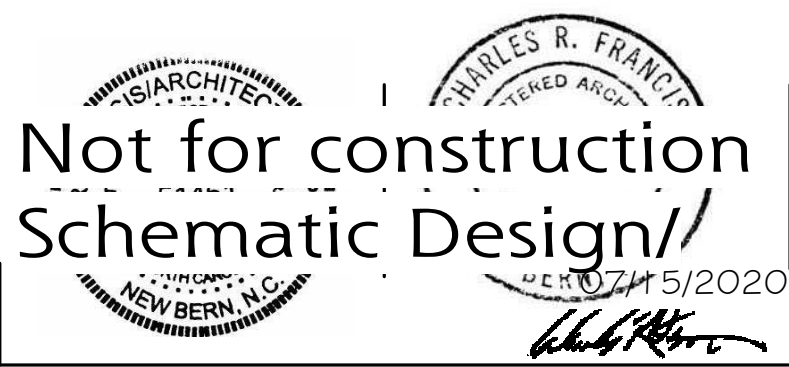


WINDOWS



New Shed / Window Replacement:
JM Smith Fellowship Center

First Presbyterian Church 508 Middle Street New Bern, NC





Zoning and Inspections Review of

Application for Certificate of Appropriateness for Alterations in Historic District

Initial review of applications for certificates of appropriateness by the Zoning Administrator and Chief Building Inspector is intended to provide the applicant and Historic Preservation Commission with information related to compliance with local land use ordinance and building code. It is does not represent a formal approval of a permit by any party and does not bind the decisions of Commission.

Application Address and Description: 508 Middle St. – construction of a new accessory building in the Tertiary AVC.

Zoning Administrator please review the application and fill out all applicable items

Zoning District: R-10

Required Setbacks (primary structure): Front Sim. Side N/A Rear —

Accessory Setbacks: From ^{Primary} Nearest Structure 8' Side 3' Rear 3'

Maximum Lot Coverage for proposed use:

Maximum Height of Structure: 45'

Required Site Improvements: Landscaping N/A Buffer N/A Parking N/A

Other requirements:

I have reviewed the application for proposed alterations to this property and have determined that it Meets X Does Not Meet the requirements of the Land Use Ordinance.

Comments:

Must meet required setbacks for accessory structures
Zoning Administrator [Signature] 8/14/20

Chief Building Inspector please review the application and include any comments below

The proposed project Will X Will Not require a building permit(s).

Comments:

Chief Building Inspector [Signature] 8/14/20

Certificate of Appropriateness Findings and Recommendations

HPC Regular Meeting - August 2020

Applicant: First Presbyterian Church/Charles R. Francis, AIA

Applicant Address: 400 New St., New Bern, NC 28560

Project Address: 508 Middle St., New Bern, NC 28560

Historic Property Name: (Former) St. Paul's Fellowship Center

Status: **Contributing:** **Non-contributing:** **X** **Vacant:**

NR Inventory Description (2003): c. 1960; Two connected buildings; two stories; brick; each three bays wide, five bays deep; multi-light windows; flat roof. Now serves as Murphy Smith (Presbyterian) Fellowship Center.

Sandbeck Description (1988): N/A

508 Middle St. - to include construction of a new accessory building in the Tertiary AVC and replacement windows in the Primary and Tertiary AVCs.

Staff submits the following Historic District Guidelines are appropriate to this application:

Accessory Structures

- 2.6.1 Locate accessory structures in Secondary or Tertiary AVCs, and behind primary structures when possible. Accessory structures are to be secondary to the primary structure in regard to mass, scale, form, and texture.
- 2.6.3 Accessory structures such as sheds, gazebos, pergolas, arbors, trellises, and similar types of site improvements with minimal foundations are to serve as focal points within rear yard landscapes. These forms and detailing have little relationship to historic fabric and can be easily removed without creating permanent damage.

Design Principles

- 3.1.1 Consider the scale, mass, and proportion inherent to the surrounding historic development pattern, and design modifications that incorporate these characteristics. Use basic shapes and forms that are common to the historic districts.
- 3.1.2 Windows, doors and openings shall be compatible in proportion, shape, location, size, and quantity with those on surrounding historic structures. Avoid large expanses of blank walls. Establish bays, visually subdivide facades, and delineate building elevations to create form and rhythm.
- 3.1.4 Use details to articulate facades, and the openings within facades. Appropriately detail the base, body, and edges of facades to create texture and visual interest.

Windows, Doors and Openings

- 4.3.3 Glazing should have true divided light muntins, or three-dimensional grilles affixed to both the interior and exterior of the glass. Provide shadow bars between insulated glass panes.

Paint

- 5.4.2 Select paint and sealant coatings that are harmonious with adjoining work. In general, new material shall be a compatible formulation with the substrate of application.
- 5.4.3 Apply primer coatings to front and back wood surfaces prior to cutting and fitting. Prime end cuts before installation. Apply finish paint coatings to exposed primed surfaces.

Certificate of Appropriateness Findings and Recommendations

HPC Regular Meeting - August 2020

Contemporary Materials

- 5.5.1 In general, contemporary material shall match the dimension, shape and texture of their counterparts commonly found in the historic districts.
- 5.5.3 Contemporary and nontraditional materials should convey appropriate historic material characteristics, and will be evaluated on a case-by-case basis for appearance, dimension, texture, color, sheen, visual weight, and similar characteristics.
- 5.5.6 Contemporary materials such as synthetic slate and fiberglass asphalt shingles are acceptable for sloped roofing regardless of building age. Select fiberglass asphalt shingles from a darker color palette. Contemporary membrane and roll roofing are acceptable for low-sloped roofs with a 1 inch per foot pitch or less regardless of building age.

Statements of Reason, based on the information contained in the application, in Staff's judgment are:

- 1. The proposed project is located within the Primary and Tertiary AVCs;
- 2. The Zoning Administrator and the Chief Building Official have reviewed this project and commented accordingly;
- 3. The project is not incongruous with the Guidelines.

MOTION

Staff recommends the Commission approve this application for construction of a new accessory building in the Tertiary AVC and replacement windows in the Primary and Tertiary AVCs.

4. General Public Comments

5. Guidelines Updates Committee

7. New Business

A. SHPO Training

8. HPC Administrator's Report

9. Commissioners' Comments

10. Adjourn