



Development Services Department
303 First St. P.O. Box 1129
New Bern, NC 28563
(252) 639-7581

TO: New Bern Historic Preservation Commission

FROM: Matt Schelly, AICP, City Planner

DATE: February 12, 2020

RE: Regular Meeting, 5:30 PM, Wednesday, February 19, 2020, in the Courtroom,
Second Floor, City Hall, 303 Pollock St.

REGULAR MEETING AGENDA – 5:30 PM

1. Opening of Meeting with Roll Call
2. Approval of Minutes of Previous Meeting(s)
3. Old Business: None
4. New Business:
 - A. **610 New St.** – to include construction of a new garden shed in the Tertiary AVC.
 - B. **520 Craven St.** – to include in the Secondary AVC the addition of a new door, and extension of the existing pent roof over the new door, new pilaster, extension of the deck and railing, modifications to the deck steps, relocation of HVAC units onto the deck, relocation of the electric feed to the HVAC units.
 - C. **306 New St.** – to include installation of new 4-foot high, decorative metal fencing and gates in the Primary AVC, new 6-foot high wood privacy fence in the Tertiary AVC, and a concrete walkway in the Secondary AVC.
 - D. **719 E. Front St.** – to include construction, on a vacant lot, of an infill house in the Primary, Secondary, and Tertiary AVC. This is a reapplication, with modifications, of an expired CoA.
 - E. **248 Craven St.** – to include installation of new landscaping, fencing, and brick screen walls in the Primary, Secondary, and Tertiary AVCs.

F. 520 E Front St. – to include construction of a small storage shed with a low brick foundation and painted wood lap siding, doors, and trim to be located in the Secondary AVC.

****Please note that applications for these projects, including proposed plans, are available for review during normal business hours in the Development Services Department (303 First Street).***

5. Removal of Trent Court from the Local Historic District
 - a. Discuss draft report.
 - b. Consider approval and request to send to SHPO for review and comment.
 - c. Request that staff proceed with Zoning Map Amendment process.
6. Administrative Updates
 - a. Guidelines for Flood Adaptation; Grant Application – update
 - b. 715 E. Front St. - update
7. Demolition By Neglect Updates
 - a. Formation of DBN Committee
8. General Public Comments
9. Adjourn

COA-MJR-001916-2020

FEE SCHEDULE (office use only)	
<input type="checkbox"/> \$22	Standard Application (minor)
<input checked="" type="checkbox"/> \$107	Standard Application (major)
\$10 Fee per sheet 1701 rect# 98166	



HPC Administrator
 HPCadmin@newbern-nc.org
 Work: (252) 639-7583
 Fax: (252) 636-2146

Application for a Certificate of Appropriateness
 (For Alterations to Properties in Locally Designated Historic Districts)

For assistance see "CoA Instructions", as well as "Historic District Guidelines", available online at:
<http://www.newbern-nc.org/departments/development/historic-preservation/historic-preservation-guidelines/> *guidelines pdf*

Type of Project: ☒ Exterior Alteration ☐ Addition ☐ Infill ☐ Site Work ☐ Other

I. Applicant/Owner Information:			
Property Address (Include year built, if known): 610 New Street New Bern Nc 28560			
Property Owner Name(s): JAN ERBINGE MEREDITH NEWMAN	Owner Mailing Address: SAME	Phone #'s: 252-571-5409 252-514-5289	Email: ASAPWALD GMAIL.COM
Applicant Name (if different):	Applicant Mailing Address:	Phone #'s:	Email:

II. Project Information: (See "CoA Instructions" & "Historic Guidelines" for help in completing this section)
1. Provide a detailed description of work to be conducted on site: (Attach additional sheets if needed) See Attached drawing for 10x12 garden shed. There is no power or water being installed. To be installed in backyard not visible from street. Continued on additional sheet or attached brochure <input type="checkbox"/>
2. Reference the specific Guideline(s) in the "Historic District Guidelines" which you believe apply to this project: (page and guideline number): 2.45, 2.6.1, 2.6.3 #2 Continued on additional sheet or attached brochure <input type="checkbox"/>
3. Provide a detailed description of materials to be used (copies of brochures, texture, etc.): Reference the specific Guidelines in the Historic District Guidelines for the proposed material(s). Wooden Garden shed 10x12 with tin roof, 2 windows 3x3 and opening door. *Brochure Attached & drawing Continued on additional sheet or attached brochure <input type="checkbox"/>

III. Additional Information Provided: (See "CoA Instructions" for more detail)

Plan(s) of Work, with: (please check all of those which are included with this application)

- ☒ Site plan (with annotated notes showing existing site and requested work)
- ☒ Photographs of the building and location where the proposed work will be completed
- ☐ Annotated notes or photos of materials to be used (samples may also be submitted)
- ☐ Floor plan with dimensions (for additions)
- ☐ Elevations with dimensions (for exterior additions or renovations)
- ☐ Supporting materials (brochures, photos of similar New Bern projects, estimates, etc.)
- ☐ Letter from owner acknowledging this application, in the case of submission by an applicant or lessee.

drawings of
Building +
property lot

Please see Development Services Staff (Staff) prior to submittal for initial review of the application and advisement if additional information will be required before consideration at a Historic Preservation Commission hearing.

Please read the following statements. Your signature below acknowledges that you have read the statements and attest to their accuracy:

Check one:

- ☒ I am the owner of the Property, or
- ☐ I am acting on behalf of the owner of the property and I have attached a letter from the owner(s) indicating their knowledge of this application.

- ◆ I understand that submittal of this application does not constitute approval of proposed alterations.
- ◆ I understand that the approval of this application by City Staff or the New Bern Historic Preservation Commission (HPC) does not constitute approval of other federal, state, or local permit applications.
- ◆ I understand that I (or my representative) will need to attend the Hearing of this Application by HPC. No Applications shall be heard without a representative present and all applicable fees paid in full.
- ◆ I have reviewed the City of New Bern's "Historic District Guidelines" in preparing this Application.
- ◆ I understand that the property referenced by this Certificate of Appropriateness (CoA) application is in one of New Bern's local historic districts and that it represents a part of New Bern's historic fabric. If a CoA is approved by HPC or Staff, I agree to implement all changes as specified in the approved CoA, including any conditions. I understand that I am responsible for contacting Staff if I have any questions regarding the allowed changes specified in the approved CoA.
- ◆ I understand that ANY unapproved alterations are enforceable as a violation of City Ordinance and must be brought into compliance by removal or through the CoA process.
- ◆ I affirm that all the information included in this application is true to the best of my knowledge.
- ◆ I understand that incomplete applications cannot be considered.

Signature of Applicant/Owner

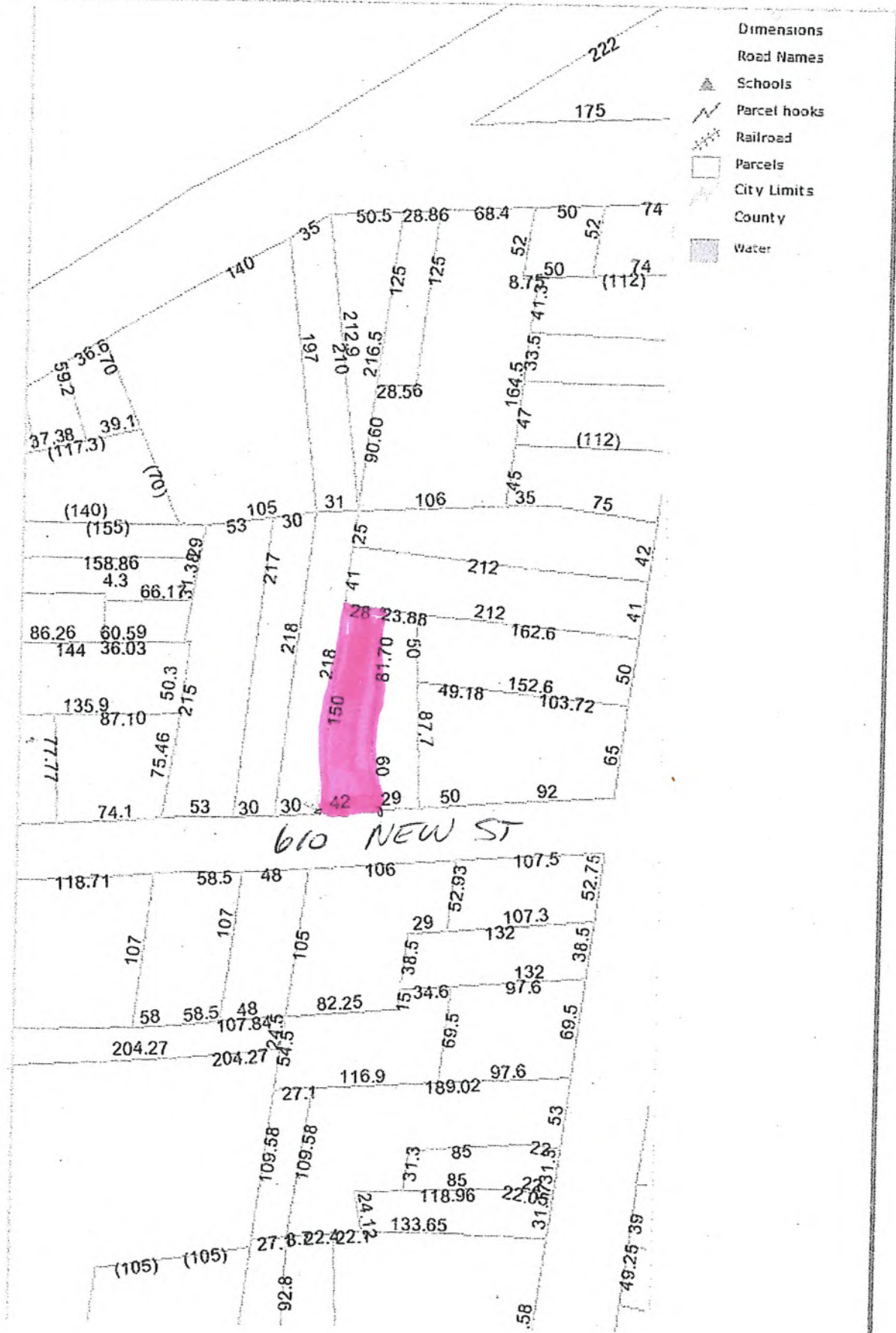
Date

APPLICATION SHOULD BE SUBMITTED TO THE DEVELOPMENT SERVICES MAIN OFFICE AT 303 FIRST ST. NO LESS THAN 2 WEEKS PRIOR TO UPCOMING MEETING. FOR FURTHER INFORMATION, CONTACT THE ADMINISTRATOR OF THE HISTORIC PRESERVATION COMMISSION AT (252) 639-7583.

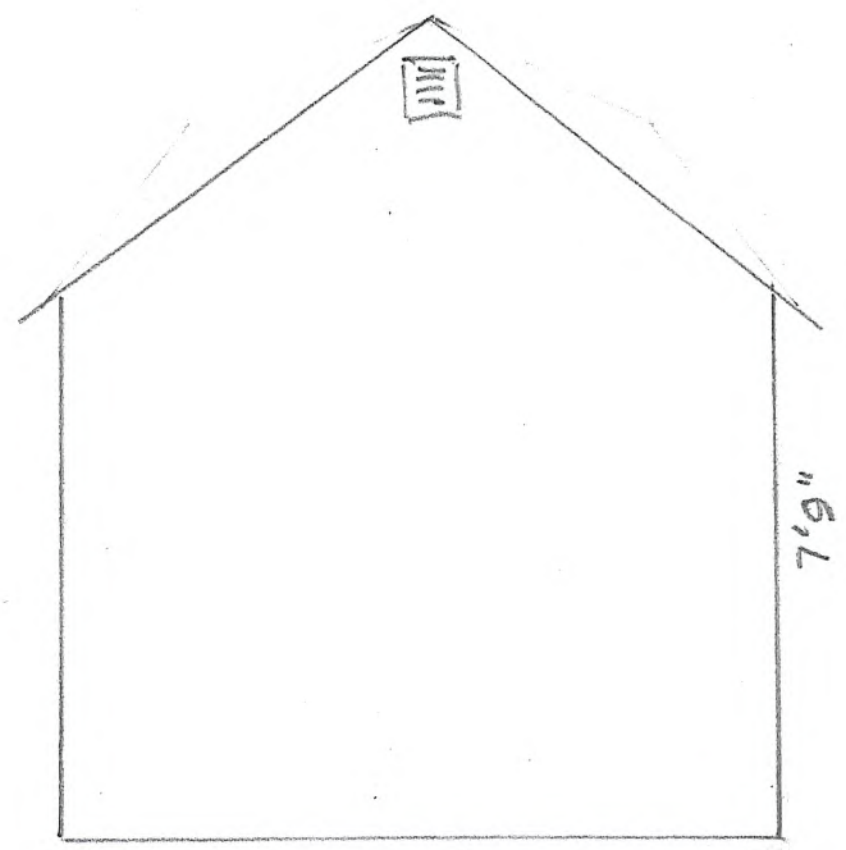
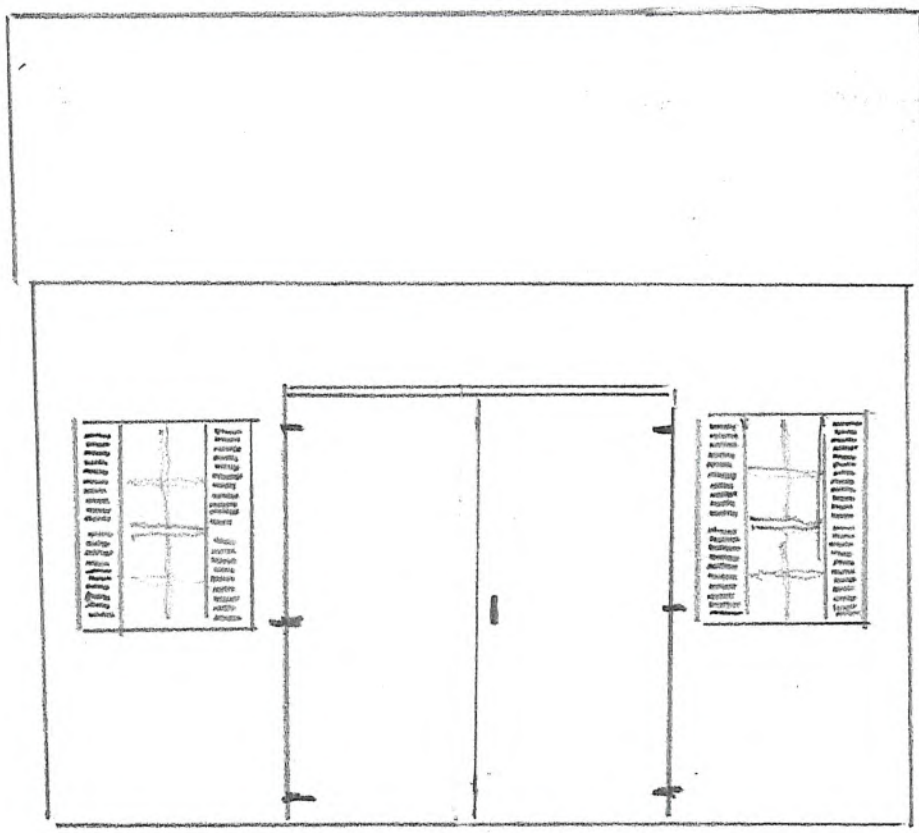
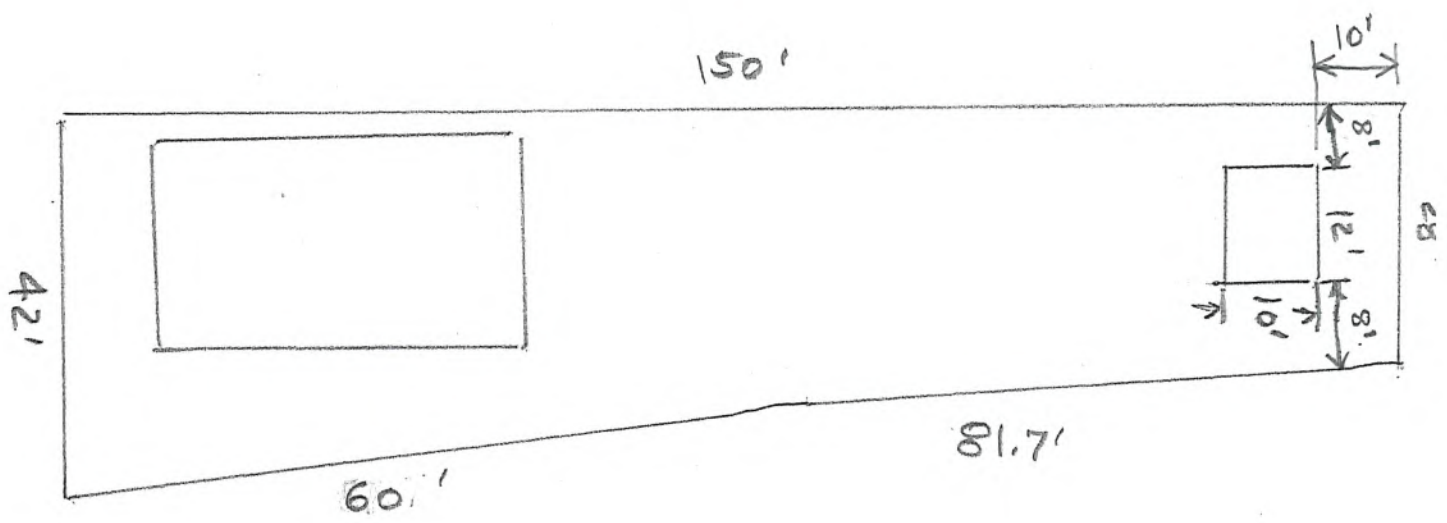


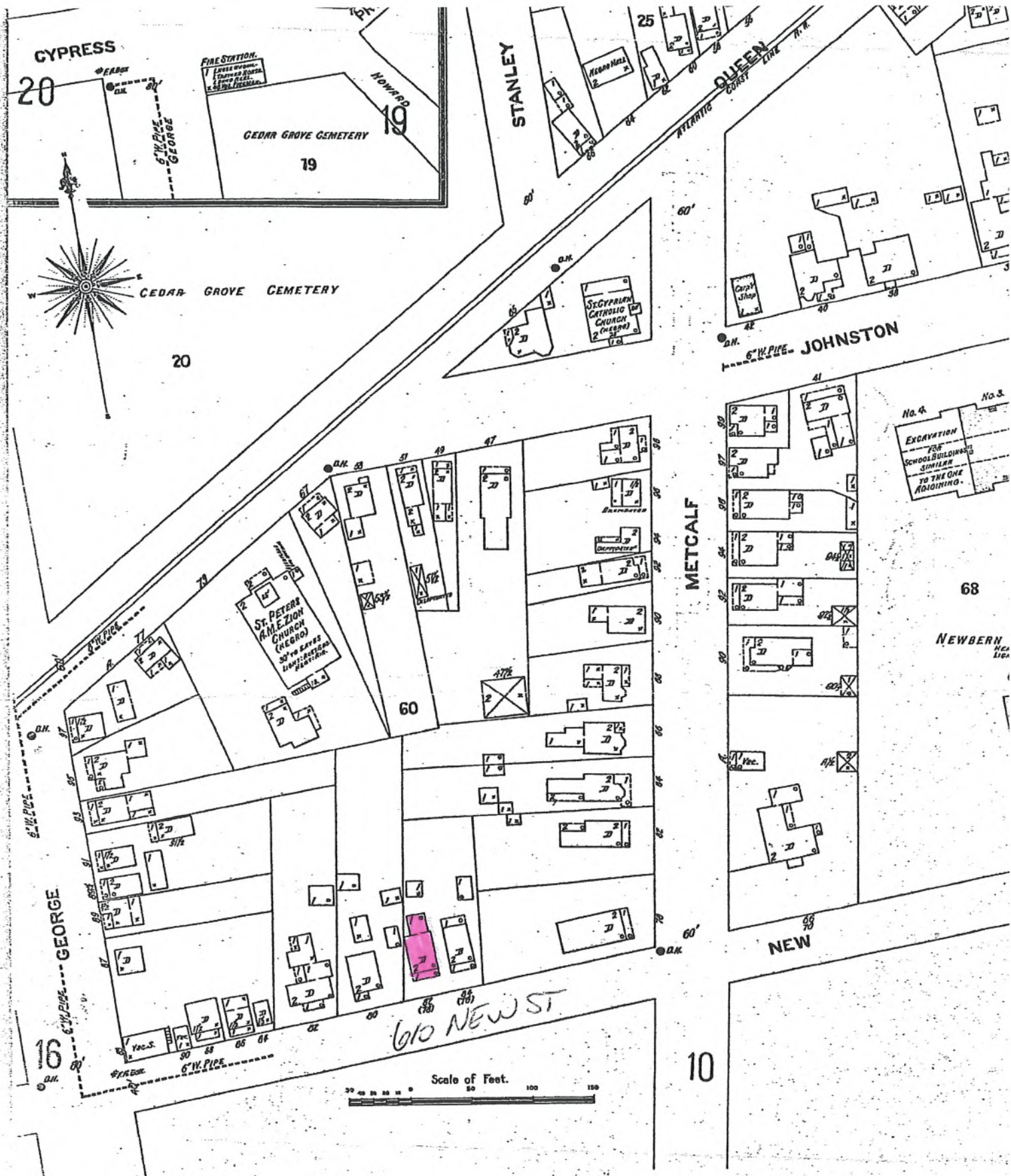
↑ PMP
28' back

610 NEW ↑ ST



610 New Street
New Bern NC
28560





610 New ST

10x12 wooden shed



10x12

Varigated shingles
wood window 2x3 +
wood single panel door

112

Example of
IN Kind
10x12 shed
with
horizontal
siding and
36" door



Wood
36"
door



610 New St

EXAMPLE OF
2 x 3 wood window



TIE DOWNS

hurricane tie downs



Deliver to meredith - New Bern 28560



Just launched:
The Rob Gronkowski Store

Gray Bunny

★★★★★ 134

Gray Bunny GB-6874 Ground Anchor Kit, Set of 8 Earth Augers, 15" Long, 3" Wide Helix, 3/8" Diameter Stake Shaft, Includes Torque Bar, Rope, Carrying Sack & Eight Heavy Duty Rods



- Eight 15 inch (38 cm) long heavy duty and
- 3/8 inch (9.5 mm) diameter solid steel s
- 3 inch (7.6 cm) wide helix for withstanding maxin pull force
- 360 degree welds between helix and shaft offer fortified, durable pilot ends
- Sharp edged tips yield easy ground penetration



\$24⁹⁷

✓prime & FREE Returns

Pay ~~\$24.97~~ \$0.00 after using available American Expi

FREE delivery: **Wednesday**

Order within 9 hrs 42 mins [Details](#)

📍 [Deliver to meredith - New Bern 28560](#)

In Stock.

Qty: 1 ▼



manufacturing methodologies, GrayBunny offers premium products for your lawn and garden while exceeding highest industry standards and offering impeccable customer care.

"No Worries" Guarantee

If you'd like your money back at any time within 1 year of purchase, no worries. Anytime. Just ask.

Click the "Add to Cart" button on top to secure your structure to the ground and put your mind at ease!

Features & details

- **MULTI-PURPOSE:** Ground augers for tying down and securing anything vulnerable to wind. **Strong enough to hold down framed structures such as sheds, car ports, gazebos, travel trailers, cabins, chicken coops, garages and small buildings.** Works great with trampolines, playground playsets, kid's swing sets, slides, deer stands, canopies, temporary shelters, campers, fencing and fence posts, trees, vertical hammock stands, and more!
- **PREMIUM QUALITY:** Eight large 15 inch (38 cm) long heavy duty anchors. 3/8 inch (9.5 mm) diameter solid steel shaft with 3 inch wide helixes for maximum holding power. 360 degree welds between spiral helix and shaft offer fortified, durable pilot ends to plant into the dirt. Industrial strength hardware to fasten your biggest loads.
- **USER FRIENDLY:** Sharp edged tips yields easy penetration into the land. Included metal torque bar, when placed through the eyelet at the end of the auger shaft, provides ample leverage to drive down the anchors into the soil without having to over exert oneself or use a drill.
- **ACCESSORIES:** Included GrayBunny carrying sack helps makes transport easy - use it, then put it away for storage. Rubber edge guards for anchor pilot ends permits safe storage and protects your carrying sack. Strong 25 foot (7.6 m) nylon rope also included. Loop the roping through the eyelets, pull until there is tension, tie it down and forget about it.
- **GUARANTEE:** GrayBunny offers premium products for your lawn and garden while exceeding highest industry standards and offering impeccable customer care. If you'd like your money back at any time within 1 year of purchase, just ask. Click the "Add to Cart" button on top to secure your structure or equipment to the ground and put your mind at ease!

Product information

Package Weight 6.83 Pounds

Item Weight 11.2 Ounces

Brand Name Gray Bunny

Manufacturer GrayBunny

Platinum Rental, LLC

600 New St.

YODER'S FARM & GARDEN SUPPLY
4100 NC HWY 118, GRIFTON, NC 28530
252-244-2992 FAX-252-244-2991

Tax rate % 6.7500

SALESMAN: Shayne Koehn

Type of Sale: Cash

DATE: 02/12/20

Type of Order: BUILD ON SITE

Method of Payment: Personal Check

Check #/Code:

Roof Type: Architectural Shingles

Roof Color: TBD

Building Type

Size

Wooden Garden Shed

10 X 12

SPECIAL INSTRUCTIONS

High Walls

Dutch Lap walls unpainted

OPTIONS DESCRIPTION

units

Unit Cost

1	2 X 3 Window	1	\$	75.00
2	Dutch Lap horizontal wood siding	1	\$	387.00
3	Double wood doors deleted	-1	\$	170.00
4	9 lite Prehung wood door	1	\$	300.00
5	Build on site fee	1	\$	387.00
6		1	\$	0.00
7		1	\$	0.00
8		1	\$	0.00

Total options: \$ 979.00

PURCHASER AND MAILING ADDRESS

Name: Jan Ebbsing

DBA:

Street:

City

State

ZIP

IN

COUNTY

DELIVERY ADDRESS

Street:

City

State

ZIP

IN

COUNTY

60 MONTH LEASE-TO-OWN SALE

1	SALES PRICE	\$	
2	OPTION COST (Described Above)	\$	
3	PROMOTIONAL OFFER (DISCOUNT, -)	\$	0.00
4	TOTAL COST	\$	0.00
5	DOWNPAYMENT AMOUNT	\$	0.00
6	NET DOWNPAYMENT (Adjust For Tax)	\$	0.00
7	AMOUNT TO LTO	\$	0.00
8	MONTHLY PAYMENT (Line 7 / 27.6)	\$	0.00
9	MONTHLY SALES TAX (6.75%)	\$	0.00
10	TOTAL MONTHLY PAYMENT	\$	0.00
11	# PAYMENTS REQUIRED	2	\$ 0.00
12	TOTAL RECEIVED	\$	0.00

CASH SALE

1	SALES PRICE	\$	2580.00
2	OPTIONS COST (Described Above)	\$	979.00
3	PROMOTIONAL OFFER (DISCOUNT, -)	\$	0.00
4	TOTAL PRETAX COST	\$	3559.00
5	SALES TAX (6.75%)	\$	240.23
6	TOTAL COST WITH TAX	\$	3799.23
7	AMOUNT RECEIVED Check	\$	0.00
8	NET AMOUNT DUE ON DELIVERY	\$	3799.23

All sales orders are not complete until approved by the Corporate office. Merchant and its agents are not responsible for ground conditions, permits, setbacks, restrictions, or covenants that may affect, limit, or prohibit the placement of the Property at Consumer's desired location. Merchant is not responsible for yard or driveway damage. CANCELLATION/CHANGE ORDER POLICY: \$100.00 minimum cancellation/change order fee, plus expenses as explained in Standard Terms and Conditions. ALL CHECKS ARE SUBJECT TO ACH PROCESSING. ALL BUILDING SIZES ARE APPROXIMATE AND MEASURED FROM EAVE TO EAVE. I have read, agreed to, and received a copy of the Standard Terms and Conditions:

Customer's Signature: _____

First 50 miles free delivery from lot. Thereafter \$3.00 per mile plus associated fees. Free delivery includes only 1 trip.

Comments: Building permit not needed if no dimension is greater than 12'

Chief Building Inspector *Phil B...* 2/5/20

Certificate of Appropriateness Findings & Recommendations

HPC Meeting February 19, 2020

Applicant: Jan Ebbinge & Meredith Newman

Applicant Address: 610 New St., New Bern, NC 28560

Project Address: 610 New St., New Bern, NC 28560

Historic Property Name: Hatch House (1920)

Status: **Contributing:** X **Non-contributing:** **Vacant Lot:**

NR Inventory Description: (2003) Two stories; two bays wide, two bays deep; windows boarded up; hip-roofed porch, chamfered posts; asbestos siding; metal-clad gable-front roof, cornice returns, interior chimney in west roof slope.

610 New St. – to include construction of a new garden shed in the Tertiary AVC.

Staff submits the following Historic District Guidelines as appropriate to this application:

Landscaping

2.4.5 Locate accessory structures and similar site improvements to avoid removing healthy, mature trees of desirable species.

Accessory Structures

2.6.1, 2.6.3

Windows, Doors, and Openings

4.3.3

Contemporary Materials

5.5.1, 5.5.2, 5.5.3, 5.5.6

Statements of Reason, based on the information contained in the application, in Staff's judgment are:

1. The project is a new accessory structure located within the Tertiary AVC;
2. The project does not remove healthy, mature trees of desirable species;
3. The proposed materials and components meet the requirements of the guidelines;
4. The Zoning Administrator and the Chief Building Official have reviewed this project and commented accordingly;
5. The project is not incongruous with the Guidelines.

MOTION

Staff recommends the Commission approve this application to include construction of a new garden shed in the Tertiary AVC, citing the aforementioned guidelines.

FEE SCHEDULE (office use only)

[] \$22 Standard Application (minor)

[] \$107 Standard Application (major)



HPC Administrator

HPCadmin@newbern-nc.org

Work: (252) 639-7583

Fax: (252) 636-2146

Fee Name	Input Value	Computed Amount	Status	Manually Added	Fee Order	Invoice	Notes
Hist Preserv Major works requiring	0.00	\$107.00	Paid In Full	<input checked="" type="checkbox"/>	44	00016907	COA Mjr - 520 Craven St - Anne S

Application for a Certificate of Appropriateness

(For Alterations to Properties in Locally Designated Historic Districts)

For assistance see "CoA Instructions", as well as "Historic District Guidelines", available online at:
<http://www.newbern-nc.org/departments/development/historic-preservation/historic-preservation-guidelines/>

Type of Project: ☒ Exterior Alteration ☐ Addition ☐ Infill ☐ Site Work ☐ Other

I. Applicant/Owner Information: Coastal Craftsmen, LLC. / Tom Anne Sporn			
Property Address (Include year built, if known): 1848-1849 520 Craven St. New Bern, NC 28560			
Property Owner Name(s): Tom Anne Sporn	Owner Mailing Address: 520 Craven St. New Bern, NC 28560	Phone #'s:	Email:
Applicant Name (if different): Coastal Craftsmen, LLC.	Applicant Mailing Address: 2216 Trent St. New Bern, NC 28562	Phone #'s: (252) 672-9225	Email: Kris@CoastalCraftsmenLLC.com

II. Project Information: (See "CoA Instructions" & "Historic Guidelines" for help in completing this section)

1. Provide a detailed description of work to be conducted on site: (Attach additional sheets if needed)

- ① Add exterior double door
- ② extend deck & Re-lace HVAC units
- ③ Re-lace electric feed to house. (underground if possible)
- ④ Extend deck overhang roof.
- ⑤ Install 1" 8x8 Column to match existing.

Continued on additional sheet or attached brochure ☐

2. Reference the specific Guideline(s) in the "Historic District Guidelines" which you believe apply to this project: (page and guideline number):

- | | |
|------|-------------------------------|
| 4-11 | 4.6 Decks & Patios |
| 4-10 | 4.5 Roofs |
| 4-5 | 4.3 Windows, Doors & Openings |
| 4-7 | 4.4 Entrances |
| 5-2 | 5.4 Paint |
| 5-1 | 5 Material |

Continued on additional sheet or attached brochure ☐

3. Provide a detailed description of materials to be used (copies of brochures, texture, etc.):

Reference the specific Guidelines in the Historic District Guidelines for the proposed material(s).

- Slow Kilm dried pressure treated deck boards.
- Pressure treated handrails
- Wood Interior/Exterior with glass lights to match existing door.
- Pressure treated wood lattice for under deck.
- Painted metal Roof to match existing. (standing seam)
- 1x8 wood Column to match existing Column dimensions & Trim.

Continued on additional sheet or attached brochure ☐



III. Additional Information Provided: (See "CoA Instructions" for more detail)

Plan(s) of Work, with: (please check all of those which are included with this application)

- ☒ Site plan (with annotated notes showing existing site and requested work)
- ☒ Photographs of the building and location where the proposed work will be completed
- ☒ Annotated notes or photos of materials to be used (samples may also be submitted)
- ☒ Floor plan with dimensions (for additions)
- ☐ Elevations with dimensions (for exterior additions or renovations)
- ☒ Supporting materials (brochures, photos of similar New Bern projects, estimates, etc.)
- ☐ Letter from owner acknowledging this application, in the case of submission by an applicant or lessee.

Please see Development Services Staff (Staff) prior to submittal for initial review of the application and advisement if additional information will be required before consideration at a Historic Preservation Commission hearing.

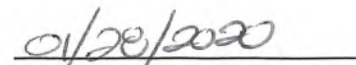
Please read the following statements. Your signature below acknowledges that you have read the statements and attest to their accuracy:

Check one:

- ☐ I am the owner of the Property, or
- ☒ I am acting on behalf of the owner of the property and I have attached a letter from the owner(s) indicating their knowledge of this application.

- ◆ I understand that submittal of this application does not constitute approval of proposed alterations.
- ◆ I understand that the approval of this application by City Staff or the New Bern Historic Preservation Commission (HPC) does not constitute approval of other federal, state, or local permit applications.
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- ◆ I have reviewed the City of New Bern's "Historic District Guidelines" in preparing this Application.
- ◆ I understand that the property referenced by this Certificate of Appropriateness (CoA) application is in one of New Bern's local historic districts and that it represents a part of New Bern's historic fabric. If a CoA is approved by HPC or Staff, I agree to implement all changes as specified in the approved CoA, including any conditions. I understand that I am responsible for contacting Staff if I have any questions regarding the allowed changes specified in the approved CoA.
- ◆ I understand that ANY unapproved alterations are enforceable as a violation of City Ordinance and must be brought into compliance by removal or through the CoA process.
- ◆ I affirm that all the information included in this application is true to the best of my knowledge.
- ◆ I understand that incomplete applications cannot be considered.


Signature of Applicant/Owner


Date

APPLICATION SHOULD BE SUBMITTED TO THE DEVELOPMENT SERVICES MAIN OFFICE AT 303 FIRST ST. NO LESS THAN 2 WEEKS PRIOR TO UPCOMING MEETING. FOR FURTHER INFORMATION, CONTACT THE ADMINISTRATOR OF THE HISTORIC PRESERVATION COMMISSION AT (252) 639-7583.

Petitioners requesting City of New Bern Historic Preservation Commission action on property not owned by them must have this form completed by the owner of the property.

CERTIFICATE OF APPROPRIATENESS OWNERS AUTHORIZATION

Dear Sir or Madame:

I am the owner of the property located at:

520 Craven st. New Bern, NC 28560
(address, city, zip code)

I hereby authorize Coastal Craftsmen, LLC to appear with my consent, before the City of New Bern Historic Preservation Commissioner in order to request a Certificate of Appropriateness for the property referenced above.

I authorize you to present this matter on my/our behalf as the owner(s) of the property.

If there are any questions, please contact me at the following address and phone number:

520 Craven st. New Bern, NC 28560 Phone 919-452-1307

Anne Sporn
Owner's Signature

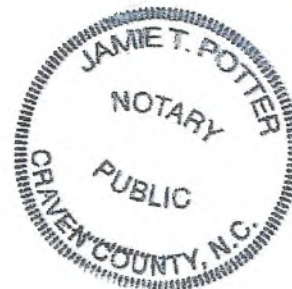
Anne Sporn
Print Name

1/27/20
Date

Sworn to and subscribed before me this 27th day of January, 2020.

Jamie T. Potter
Notary Public:

My commission expires: August 13, 2024





Jenkins-Richardson 1848-1849
520 Craven st. New Bern



Coastal Craftsmen, LLC
2216 Trent Blvd.
New Bern, NC 28560

In by: Feb. 3

Design review Feb. 5th

Feb. 19th

Estimate

Date	Estimate #
12/11/2019	3793

Tom & Anne Sporn
520 Craven St
New Bern, NC 28560

Coastal
CRAFTSMEN
LLC

NC General Contractors License #65204

(252) 672-9225

info@coastalcraftsmenllc.com

Estimates and designs provided to the customer are the property of Coastal Craftsmen, LLC. Any use or distribution of the documents is prohibited and protected by copyright law.

Work to be Performed	Total
<p>Exterior Renovations</p> <p>Verify design, selections and project timing with homeowner. General Conditions, HPC approvals, electrical work & permits included in Estimate #3785.</p> <p><u>Remove remainder of metal roof, framing and decorative 'posts' against the house.</u></p> <p><u>Remove existing deck from back of house complete.</u></p> <p><u>Remove rotted or damaged trim boards and siding as required.</u></p> <p><u>Disconnect electrical line to fountain.</u></p> <p><u>Remove fountain and set aside for homeowner.</u></p> <p><u>Remove brick pavers as required where new posts and steps will be located and set aside for reinstallation.</u></p> <p><u>Disconnect HVAC units as required and prep for reinstallation.</u></p> <p><u>Frame deck posts, girders, floor joists and decking boards.</u></p> <p><u>Reinstall HVAC units on new deck in designated location.</u></p> <p><u>Fabricate and install steps toward the parking area and a set down to the patio near the pergola.</u></p> <p><u>Fabricate and install handrails around perimeter of deck and steps to closely match existing.</u></p> <p><u>Fabricate and install a swing gate on the deck to block access to the HVAC compressors.</u></p> <p><u>Remove siding from house above new door and existing door and windows at prep kitchen. *** Note: The extent of siding removal will be approved by homeowners to address old patch jobs and renovations. Goal is to install siding in a cohesive design and material to blend better with the entire house.</u></p>	
Thank you for the opportunity to provide this estimate.	Sales Tax (6.75%)
	Total

Contractor Representative: W. J. Smith

Page 1

Customer Acceptance: _____

Coastal Craftsmen, LLC
2216 Trent Blvd.
New Bern, NC 28560

Estimate

Date	Estimate #
12/11/2019	3793

Tom & Anne Sporn
520 Craven St
New Bern, NC 28560



NC General Contractors License #65204

(252) 672-9225

info@coastalcraftsmenllc.com

Estimates and designs provided to the customer are the property of Coastal Craftsmen, LLC. Any use or distribution of the documents is prohibited and protected by copyright law.

Work to be Performed	Total
<p>Frame a <u>new roof in same area</u> in a similar design as existing, but a <u>minimum of 2' deep</u>.</p> <p>*** Note: If feasible, a <u>more decorative cover and design to hide the exterior plumbing lines</u> will be implemented at this time.</p> <p>Install a <u>standing seam copper roof and flash into siding</u>.</p> <p><u>Prime and paint new siding and trim</u> prior to installation.</p> <p>Install <u>new siding and trim</u> in work area to match existing.</p> <p>Fabricate parts to make <u>(3) new 'posts'</u> to cover the exterior plumbing lines and balance the exterior trim work of the entire deck area.</p> <p>Fabricate <u>decorative panels or wood design under deck</u> to hide storage area and access to basement.</p> <p>Finish rough in of new electrical lines for ^{new?} <u>exterior lights near new and existing door</u>.</p> <p>Caulk, putty, prime and <u>paint deck handrails, framing, siding and trim</u> in homeowner specified colors and sheen.</p> <p>Stain <u>new French door</u> in homeowner specified stain and sheen.</p> <p>Install owner provided <u>handle set and dead bolt on new door</u>.</p> <p><u>Remove existing storm door and entry door</u>.</p> <p>Adjust and modify existing door as required for better fit and function to existing opening.</p> <p>Provide and <u>install a new storm door</u>.</p> <p>*** Note: The completion of the <u>patio hard surface</u> is not included in this estimate as that will be designed and quoted once the finished deck is in place.</p> <p>Clean work area and dispose of debris.</p> <p>hood vent?</p> <p>material? general design?</p> <p>install new French door?</p>	
Thank you for the opportunity to provide this estimate.	Sales Tax (6.75%)
	Total

Contractor Representative: _____

Page 2

Customer Acceptance: _____

Coastal Craftsmen, LLC
2216 Trent Blvd.
New Bern, NC 28560

Estimate

Date	Estimate #
12/11/2019	3793

Tom & Anne Sporn
520 Craven St
New Bern, NC 28560



NC General Contractors License #65204

(252) 672-9225

info@coastalcraftsmenllc.com

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Work to be Performed		Total
General Conditions		300.00
Coastal Craftsmen, LLC Labor		4,800.00
Coastal Craftsmen Materials		6,245.00
Framing Carpentry - Subcontractor		6,000.00
Roofing - Subcontractor		3,450.00
Heating & Cooling - Subcontractor		700.00
Painting - Subcontractor		2,800.00
General Contractor Fees - Insurance, Overhead & Profit		5,605.00
Thank you for the opportunity to provide this estimate.	Sales Tax (6.75%)	\$0.00
	Total	\$29,900.00

Contractor Representative: _____

Page 3

Customer Acceptance: _____

The majority of New Bern's architectural resources were "modernized" in the late 19th century by updating walls, trim and ornamentation to conform to the prevailing architectural taste of the time.

Guidelines for Walls, Trim and Ornamentation

- 4.2.1 Adhere to Guidelines for retention of historic fabric when altering wall components.
- 4.2.2 It is not appropriate to introduce trim or ornamentation to a contributing structure without documentary evidence that such elements historically existed.
- 4.2.3 It is not appropriate to cover wood siding, trim and ornamentation with a contemporary material on a contributing structure.
- 4.2.4 Incorporate wood trims and articulate masonry appropriately for the application. Primary structures are generally more ornate and detailed. Accessory structures are generally subordinate to the primary structure and have minimal ornamentation, if any, and simplified details.

4.3 Windows, Doors and Openings

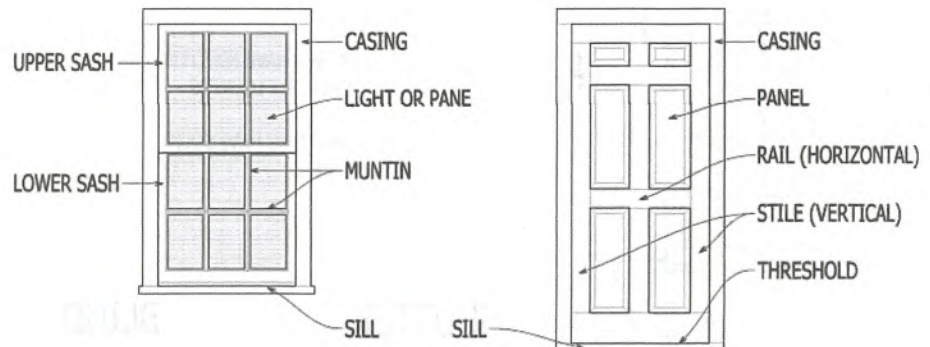
Project Planning Considerations

Windows and doors influence architectural character through their location, pattern or fenestration, shape, size, proportion and style. They are also functional elements that provide natural light, ventilation and a visual connection between the building interior and the outside world.

Exterior doors in the historic districts exhibit a remarkable amount of diversity. Solid paneled doors and doors with fixed glass upper panels are typical. Detail variations reinforce each building's architectural character through applied ornamentation. For example, there are various raised and flat panel configurations, decorative false wood graining and varnish treatments, ornamental leaded, beveled, etched and opaque glass, any combination of which uniquely identifies a structure.



An example of a historic wood door that has been appropriately repaired instead of replaced.

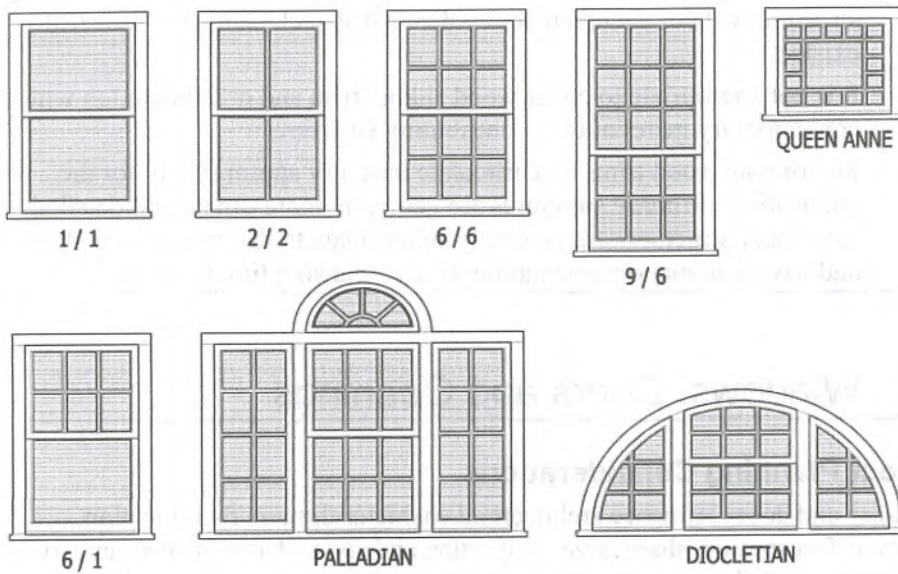


WINDOW TERMS

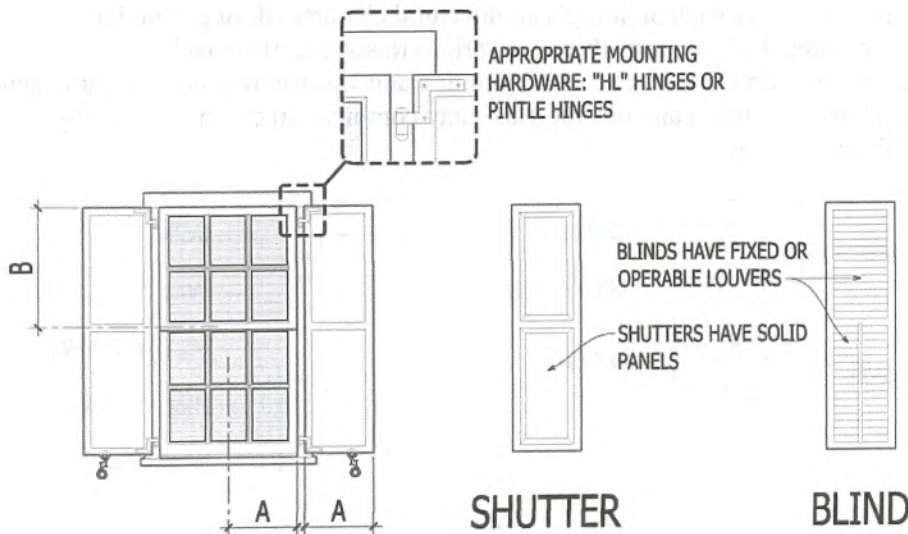
DOOR TERMS

4. Design Components

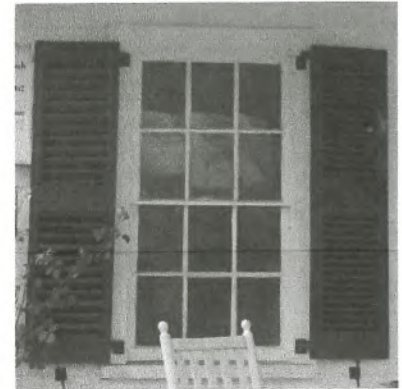
Window styles reflect changes in technology through time, and are important indicators of a building's architectural style and age. Most windows in the historic districts are wood with double hung sash. In general, earlier windows are smaller and have more numerous panes of glass in the sash. They were made by hand and often constructed with pegs. By the late 19th century, windows were mass-produced and technological advances in glass production allowed larger glass panes to be manufactured. Ornamental leaded and stained glass windows also became popular by the century's end.



WINDOW TYPES



APPROPRIATE PROPORTIONS AND MOUNTING OF SHUTTERS / BLINDS



An example of a historic wood window with appropriate functional shutters.

Retain original doors and windows to protect the integrity of historic resources. It is not appropriate to use false window muntins or snap in grills. Glazing should have true divided light muntins, or three-dimensional grilles affixed to both the interior and exterior of the glass. Provide shadow bars between insulated glass panes. It is not appropriate to add window and door openings to contributing structures in the Primary AVC. Openings in Secondary and Tertiary AVCs should not diminish the original design or damage the historic features. Window and door openings shall have a vertical orientation or be square. Shutters and blinds should relate proportionately to window openings. It is not appropriate to install shutters or blinds directly to the wall substrate. Whether operable or fixed, shutters or blinds shall have operable hinge and holdback hardware.

Guidelines for Windows, Doors and Openings

- 4.3.1 Adhere to Guidelines for retention of historic fabric when altering window, door and opening components.
- 4.3.2 Add window and door openings in Secondary or Tertiary AVCs in locations that do not diminish the original design. In general, openings shall have a vertical orientation or be square.
- 4.3.3 Glazing should have true divided light muntins, or three-dimensional grilles affixed to both the interior and exterior of the glass. Provide shadow bars between insulated glass panes.
- 4.3.4 Relate shutters and blinds proportionately to window openings. Whether operable or fixed, shutters or blinds shall have operable hardware including hinge and holdback hardware.
- 4.3.5 Tinted glazing is not appropriate in historic windows.
- 4.3.6 Install storm windows and storm doors that do not obscure architectural detailing and trim. Proportion storm window sashes to align with window sashes. Proportion storm door stiles and rails to align with door stiles and rails.
- 4.3.7 Install fabric awnings that do not conceal architectural features or damage historic building fabric. It is not appropriate to use metal awnings.

4.4 Entrances

Project Planning Considerations

Exterior entrances and porches are defining features of historic character. Prominent entrances were typically embellished with rich architectural ornamentation and were often “updated” to reflect current architectural tastes. Doors, windows, trims, columns, turned posts, railings and balusters, cornices and steps were frequently detailed in a coordinated way to convey the “style” of a structure. Variations in form and detail create diversity among an otherwise identical grouping of entrances and porches.

Porches are found on most wood framed structures in New Bern’s historic districts, and consist of a roof cover, columns and floor on a masonry foundation. Usually located on the street façade, porches often wrap around two or more



The brick piers and tapered posts are characteristic of the Craftsman Bungalow style of architecture.

4. Design Components

corners. Back porches, side porches and sleeping porches are typically found in the historic districts. More rare are balconies, which are constructed at upper floors, and do not have columns or a means of support extended to foundations. Most porches are one story in height, but two story variations can be found on structures constructed between the 1790s and the 1840s. Many of the city's early to mid-19th century wood framed buildings have small entrance porches or porticos embellished with classically inspired detailing. During the Victorian period, entrance porticos were often replaced with larger porches. Significant porch and entry changes chronicle the evolution of the structure over time.

Traditional porch framing carries wood floorboards that are butted together or milled with a tongue and groove joint. Floorboard ends are laid perpendicular to the house and projected approximately 1 to 2 inches beyond the skirt board. The projected ends are sometimes rounded or bull nosed to minimize water penetration into the open wood grain. Framing spans are supported by brick piers or a continuous brick foundation, and sloped for drainage.

A variety of column types supported roof structures. Square chamfered posts were used throughout the 18th and 19th centuries, spanning between the Georgian and Italianate styles. Classical columns and colonettes, most commonly of Doric and Tuscan design, were incorporated into entrance porticos and porches of the Federal, Greek Revival and Colonial Revival periods. Square posts, often with heavy caps and applied or inset panels and trims, were also favored during the Greek Revival and Colonial Revival periods. Turned posts gained widespread use during the Queen Anne period of the late 19th and early 20th centuries.

Ceilings of porches exhibited a variety of finishes. Many of New Bern's earliest examples had exposed framing without ceilings. Main structural supports were often beaded on the lower edges. Porch ceilings of the early to mid-19th century often were finished with plaster, particularly beneath the second floor of double-tiered porches where exposure to rain was limited. Otherwise, individual boards with beaded edges were typically butted together or evenly spaced to create a decorative effect. Later in the century, tongue and groove beaded board became popular and remained so throughout the early 20th century.

Use documentary evidence of original configurations to reconstruct entrances and porches that have been insensitively altered or removed. Add architectural ornamentation when there is historical evidence of such features. Where documentary evidence is not available, furnish appropriate design elements that are consistent with the character of the building or its style.

It is not appropriate to enclose or screen porches, entrances or balconies in Primary AVCs. Enclose and screen porches in Secondary and Tertiary AVCs in a manner that preserves historic features. It is inappropriate to use stock entrance doors, porch railings and other ornaments that do not proportionally relate to the building. Modern porch balusters convey a different visual appearance because they are generally taller and thinner. Center balusters between the rails, and space them about 3 inches apart to increase the visual weight. It is not appropriate to replace wooden stairs and flooring with concrete or brick. In addition, it is not appropriate to replace wooden porch supports and railing with iron supports and railing.



The door, transom, molded surround, corner blocks, pilasters, columns, entablature, flat roof and stair combine to compose this fine entrance.

Guidelines for Roofs

- 4.5.1 Adhere to Guidelines for retention of historic fabric when altering roof components.
- 4.5.2 Alterations to roof forms such as changes in roof pitch, the introduction of dormers, skylights or rooftop ornamentation shall not be undertaken in a Primary AVC.
- 4.5.3 Retain rooftop architectural features such as chimneys, dormers, towers, cupolas, cresting, finials, parapet walls and decorative roof patterns and colors.
- 4.5.4 Standing seam metal roofs shall have a pan width no greater than 24 inches. Pans shall be completely flat without corrugation. Provide double locked seams with flush ridge and hip flashings on contributing structures.
- 4.5.5 It is not appropriate to replace concealed, built in gutter systems with fascia-mounted gutters.
- 4.5.6 Locate rooftop appurtenances such as ventilators, antennae, satellite dishes, mechanical equipment and similar items in a manner that is not visible from the public right of way.

4.6 Decks and Patios

Project Planning Considerations

Functioning as an outdoor living area in a similar fashion as the traditional porch, decks have become popular gathering areas for a variety of outdoor activities. As with other changes, careful attention must be given to placement in order to avoid compromising historic building integrity and character. Decks, patios, plazas and pavers are generally constructed at grade, and should be structurally separated from the building to allow removal without damaging historic resources.

Locate decks in Secondary and Tertiary AVCs, and screen the underside with shrubbery, fencing, lattice or masonry. Deck railings, skirt boards, posts, piers and screen infill should architecturally relate to the house in a manner similar to a porch. Whenever possible, decks should be close to the ground with minimal presence. Lowering the profile eliminates requirements for handrails and extensive screening.

Guidelines for Decks and Patios

- 4.6.1 Adhere to Guidelines for retention of historic fabric when altering deck components.
- 4.6.2 Locate decks in Secondary and Tertiary AVCs, and screen the underside with shrubbery, fencing, lattice or masonry.



The deck on this house is located in a Secondary AVC screened by shrubbery, and it has a foundation similar to the main structure.

4. Design Components

- 4.6.3 Structurally separate decks to allow removal without damaging the historic structure.
- 4.6.4 Construct low profile decks and patios that eliminate requirements for handrails and excessive screening.

4.7 Accessibility and Life Safety

Project Planning Considerations

Meeting contemporary accessibility and life safety standards is one of the greatest design challenges facing historic properties. Balance the preservation of significant features with providing appropriate levels of life safety and accessibility accommodation.

Adaptive reuse of a historic property often requires life safety and accessibility modifications. Building code officials recognize that it is difficult to translate conventional requirements to historic buildings, and apply alternative codes specifically intended for non-conforming buildings. These provisions make historic building adaptive reuse more practical and preserve architectural features.

Design accessibility and life safety solutions that have the least impact on historic resources and character. Locate ramps, lifts, fire stairs, fire doors and similar accommodations in visually unobtrusive areas. Construct modifications to allow removal without causing permanent damage to the historic resource.

Guidelines for Accessibility and Life Safety

- 4.7.1 Adhere to Guidelines for retention of historic fabric when altering accessibility and life safety components.
- 4.7.2 Locate ramps, lifts, fire stairs and fire doors in visually unobtrusive areas. Avoid accommodations within a Primary AVC when possible.
- 4.7.3 Make accommodations compatible with the character of the building by replicating balustrade and door opening detailing. Use landscaping to soften the presence of accommodations in a Primary AVC.



The metal stair railing was added to this porch stair as a safety feature. The use of a simple metal design does not detract from the historic porch and identifies it as a later addition.



This wheelchair ramp is a good example of subtly incorporating accessibility at the front of a building when necessary.

5. Materials

5.1 Masonry

Project Planning Considerations

Because of its extreme durability and beauty, some of New Bern's most important buildings are constructed of masonry.

There is a difference between modern bricks and historic bricks. Historic bricks are softer, and more likely to chip and crack when laid with modern mortar. Use softer, lime based mortar with historic brick.

Masonry materials found in the historic districts include brick, stucco, stone, concrete masonry units, architectural concrete masonry units, slate and terracotta tile.

Guidelines for Masonry

- | | |
|-------|--|
| 5.1.1 | Adhere to Guidelines for retention of historic fabric when altering masonry materials. |
| 5.1.2 | Match the masonry bond, or pattern, of masonry materials found in adjoining work. In general, new material should be the same size, color and texture of that existing. |
| 5.1.3 | The size, color, texture and bond, or pattern, of masonry and mortar creates the intended finished appearance. It is not appropriate to paint masonry that has not been previously painted. |
| 5.1.4 | Select mortar with appropriate strength properties for masonry units involved. A commonly used mix for softer, historic masonry is one part portland cement, two parts hydrated lime and nine parts sand. |
| 5.1.5 | Provide a veneer of brick, stucco or other appropriate material over concrete masonry units. Architectural concrete masonry units such as rusticated, split face or similar types may be substituted for stone masonry construction. |
| 5.1.6 | It is not appropriate to use water repellants or sealers on masonry because these treatments often trap moisture and accelerate spalling. |

5.2 Wood

Project Planning Considerations

Craftsmen have preferred wood because it is easily shaped by carving, sawing, splitting, planing and turning. Handcrafted architectural features are present on many of the City's earliest buildings. However, technological changes in the mid to late 19th century allowed most wooden building components to be mass produced.

5. Materials

Pressure treated wood has a tendency to warp and split during the drying process, particularly if not kiln dried. Slow kiln dried, pressure treated wood is less likely to warp and split, and should be used when possible. Slow kiln dried wood products are specially ordered.

Wood is often the medium selected to communicate architectural styles. Eaves, rakes, porches, entrances, siding, trim and ornamentation details are found in the historic districts.

Guidelines for Wood

- | | |
|-------|--|
| 5.2.1 | Adhere to Preservation Guidelines for retention of historic fabric when altering wood materials. |
| 5.2.2 | Construct wood assemblies similar to that found in adjoining work. In general, new material should be the same dimension and shape of that existing. |

5.3 Metals

Project Planning Considerations

New Bern's historic districts contain a variety of elements that are fabricated from architectural metals. Fences, gates, roofs, rooftop appurtenances such as cresting and finials, gutters, downspouts, hardware, railings and cornices are but a few of the elements that are casted, wrought, pressed or rolled using iron, copper, tin, aluminum, steel or bronze. These traditional building materials add a visual and textural richness to the historic districts.

Guidelines for Metals

- | | |
|-------|--|
| 5.3.1 | Adhere to Guidelines for retention of historic fabric when altering metal materials. |
| 5.3.2 | Use metal fabrications found in adjoining work. In general, new material should be the same dimension, shape and alloy of that existing. |
| 5.3.3 | Use full weld iron and steel fabrication techniques. Welds shall be properly dressed, or ground smooth. |

5.4 Paint

Project Planning Considerations

Preservation of most historic wood and metal surfaces requires a sound paint film to protect against the elements. Water, wind and ultraviolet light severely weaken wood fibers over time, and contribute to the corrosion of certain metals. In addition to its protective role, coordinated paint colors highlight architectural features and emphasize architectural style.

Employ paint analysis techniques, such as microscopic investigation, to determine historic paint schemes and finish techniques. Select harmonious paint



An ornamental iron gate and balustrade adds character to the streetscape while identifying the path to the building entrance.



The metal cornice and columns on this storefront are unique features that should be preserved.

colors that accentuate detailing and architectural style. Paint is applied to bare wood in multiple coats, and generally consists of a primer base coating followed by two coats of finish paint.

Guidelines for Paint



The palette of exterior colors accentuates the architectural style of this Italianate house.

- | | |
|-------|--|
| 5.4.1 | Adhere to Guidelines for retention of historic fabric when altering painted materials. |
| 5.4.2 | Select paint and sealant coatings that are harmonious with adjoining work. In general, new material shall be a compatible formulation with the substrate of application. |
| 5.4.3 | Apply primer coatings to front and back wood surfaces prior to cutting and fitting. Prime end cuts before installation. Apply finish paint coatings to exposed primed surfaces. |
| 5.4.4 | Consider using opaque stain in lieu of paint on porch flooring, deck flooring and similar wood surfaces exposed to foot traffic. |
| 5.4.5 | Waterfront wood constructions such as docks and piers may be allowed to naturally weather in lieu of receiving paint coatings. |
| 5.4.6 | It is not appropriate to apply paint, water repellent or sealant coatings to unpainted surfaces such as masonry, stone, copper and bronze. |
| 5.4.7 | Masonry painting may be permitted where severe damage, patching and surface repair has diminished the aesthetic integrity. When warranted, latex paint is a durable and adherent masonry coating to be considered. |
| 5.4.8 | Remove paint from masonry with a chemical paint remover specifically formulated for this purpose. Test in an inconspicuous location, and discontinue use if damage or discoloration occurs. |
| 5.4.9 | It is not appropriate to paint exterior doors that were historically false grained, stained or varnished. It is not appropriate to leave surfaces such as porch flooring, deck flooring or railings unpainted. |

5.5 Contemporary Materials

Project Planning Considerations

A careful balance of material consistency versus material variety helps define a sense of place in the historic districts. While variations in historic materials do exist, they ultimately fall within a palette available to New Bern builders during the previous two centuries. These limitations created a thread of continuity from one cycle of building styles to the next. Today, many materials are available from beyond our region, and manufacturing processes enable the creation of contemporary materials that threaten to break the thread of continuity that unifies the historic districts.

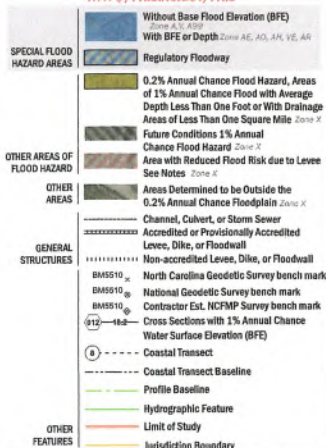
Contemporary materials shall be similar to their counterparts traditionally found on historic structures. Use of contemporary and nontraditional materials for infill construction is an acceptable means of continuing the evolution of architecture through time, provided they convey appropriate historic characteristics.



This digital Flood Insurance Rate Map (FIRM) was produced through a unique cooperative partnership between the State of North Carolina and the Federal Emergency Management Agency (FEMA). The State of North Carolina has implemented a long-term program to modernize management to decrease the risk of flooding and damage. This is accomplished by the State's commitment to map flood hazard areas at the local level. As a part of this effort, the State of North Carolina has entered a Cooperative Flood Risk Management Agreement with FEMA to produce and maintain this digital FIRM.

FLOOD HAZARD INFORMATION

SEE FIRM REPORT FOR ZONE DESCRIPTIONS AND INDEX MAP
THE INFORMATION DEPICTED ON THIS MAP AND SUPPORTING
DOCUMENTATION ARE ALSO AVAILABLE IN DIGITAL FORMAT AT
[HTTP://FIRM.NC.GOV/FRIS](http://FIRM.NC.GOV/FRIS)



NOTES TO USERS

For information and questions about this map, available products associated with this FIRM including historic versions of the FIRM, visit the online products on the National Flood Insurance Program website at <http://FIRM.NC.GOV/FRIS>. For more information on the FIRM, visit the online products on the National Flood Insurance Program website at <http://FIRM.NC.GOV/FRIS>.

Community involving land adjacent FIRM parcels must obtain a current copy of the adjacent parcel as well as the current FIRM index. These may be ordered directly from the Map Service Center at the number listed above.

For community and countywide maps, please refer to the Flood Insurance Study report for this jurisdiction.

To determine if flood insurance is available in the community, contact your insurance agent or call the National Flood Insurance Program at 1-800-445-4639.

Base map information shown on the FIRM was provided in digital format by the North Carolina Floodplain Mapping Program (NCFPMP). The source of this information can be determined from the metadata available in the digital FIRM metadata and in the National Flood Insurance Program website at <http://FIRM.NC.GOV/FRIS>.

ACCOMPLISHES USER NOTES TO USERS: If an accomplished user note appears on this panel check with your local community for additional information, such as the additional level of protection provided (which may exceed the 1% annual chance flood level) and Emergency Action Plan, as the level system(s) shown on the map is/are provided to indicate the level system does not comply with Section 55.12 of the NFIP requirements. To obtain flood risk to individual file areas, property owners and residents are encouraged to consider flood insurance and floodproofing or other protective measures. For more information on flood insurance, interested parties should visit the FEMA website at <http://www.fema.gov/floodinsurance> for information.

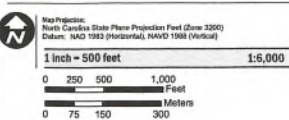
PROVISIONALLY ACCREDITED LEVELS TO USERS: If a Provisionally Accredited Level (PAL) appears on this panel, check with your local community to obtain more information, such as the additional level of protection provided (which may exceed the 1% annual chance flood level) and Emergency Action Plan, as the level system(s) shown on the map is/are provided to indicate the level system does not comply with Section 55.12 of the NFIP requirements. To obtain flood risk to individual file areas, property owners and residents are encouraged to consider flood insurance and floodproofing or other protective measures. For more information on flood insurance, interested parties should visit the FEMA website at <http://www.fema.gov/floodinsurance> for information.

LIMIT OF MODERATE WAVE ACTION (LMWA): For some coastal flooding areas the AE Zone category has been divided by a Limit of Moderate Wave Action (LMWA). The LMWA represents the approximate limit of the 1% annual chance flood. The effects of wave heights between the VE Zone and the LMWA, for between the LMWA and the VE Zone, are not identified. It is similar to, but less severe than those in the VE Zone.

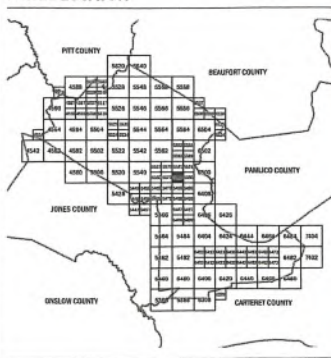
COASTAL BARRIER RESOURCES SYSTEM (CBRS) NOTE
This map may include approximate boundaries of the CBRS for informational purposes only. Flood insurance is not available within CBRS areas for structures that are not built or substantially improved on or after the date indicated on the map. For more information visit <http://www.fema.gov/floodinsurance> for information. Further, the FIRM Report, as well as the U.S. Fish and Wildlife Service Customer Service Center at 1-800-368-6842.

CBRS Area **Otherwise Protected Area**

SCALE



PANEL LOCATOR



National Flood Insurance Program

NORTH CAROLINA FLOODPLAIN MAPPING PROGRAM
NATIONAL FLOOD INSURANCE PROGRAM
FLOOD INSURANCE RATE MAP

NORTH CAROLINA

PANEL 5580

Panel Contains:

COMMUNITY: BRIDGEPORT TOWN OF
COUNTY: CURRITUCK COUNTY
NEW BERN, CITY OF

CID	PANEL	SUFFIX
370435	5580	J
370572	5580	J
370674	5580	J

MAP NUMBER
3720558000J

MAP REVISED
07/02/04









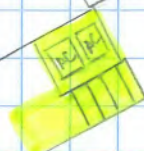






Johnson St

Craven St





Zoning and Inspections Review of

Application for Certificate of Appropriateness for Alterations in Historic District

Initial review of applications for certificates of appropriateness by the Zoning Administrator and Chief Building Inspector is intended to provide the applicant and Historic Preservation Commission with information related to compliance with local land use ordinance and building code. It does not represent a formal approval of a permit by any party and does not bind the decisions of Commission.

Application Address and Description: 520 Craven St. – a new door, extension of the existing pent roof over the new door, new pilaster, extension of the deck and railing, modifications to the deck steps, relocation of HVAC units onto the deck, relocation of the electric feed to the HVAC units.

Zoning Administrator please review the application and fill out all applicable items

Zoning District: R-10

Required Setbacks (primary structure): Front 25'* Side 5' Rear 6' *w/ exceptions

Accessory Setbacks: From Nearest Structure N/A Side Rear

Maximum Lot Coverage for proposed use: 60%

Maximum Height of Structure: 45'

Required Site Improvements: Landscaping N/A Buffer Parking

Other requirements:

I have reviewed the application for proposed alterations to this property and have determined that it Meets X Does Not Meet the requirements of the Land Use Ordinance.

Comments: Proposed improvements do not impact setbacks.
Zoning Administrator M.V.V. 2/5/20

Chief Building Inspector please review the application and include any comments below

The proposed project Will X Will Not require a building permit(s).

Comments:

Chief Building Inspector M.V.V. 2/5/20

Certificate of Appropriateness Findings & Recommendations

HPC Meeting February 19, 2020

Applicant: Tom & Anne Sporn/Coastal Craftsmen, LLC

Applicant Address: 520 Craven St., New Bern, NC 28560

Project Address: 520 Craven St., New Bern, NC 28560

Historic Property Name: Jerkins-Richards House (1848-1849)

Status: **Contributing:** X **Non-contributing:** **Vacant Lot:**

NR Inventory Description: (2003) Two-and-a-half stories; three bays wide, four bays deep; gable-end roof; twin interior end chimneys; two-story wing on south side.

520 Craven St. – to include in the Secondary AVC the addition of a new door, an extension of the existing pent roof over the new door, a new pilaster, extension of the deck and railing, modifications to the deck steps, relocation of HVAC units onto the deck, and relocation of the electric feed to the HVAC units.

Staff submits the following Historic District Guidelines as appropriate to this application:

Utilities

2.3.1, 2.3.2

Design Principles

3.1.2 Windows, doors and openings shall be compatible in proportion, shape, location, size and quantity with those on surrounding historic structures. ...

Modifications

3.2.1 Select materials that are consistent with the structure. Limit the palette to those materials that were available at the time a building was originally constructed.

3.2.2 Modifications to a structure should not conceal, damage or remove significant design components or architectural features.

Windows, Doors, and Openings

4.3.2 Add window and door openings in Secondary or Tertiary AVCs in locations that do not diminish the original design. In general, openings shall have a vertical orientation or be square.

4.3.3 Glazing should have true divided light muntins, or three-dimensional grilles affixed to both the interior and exterior of the glass. Provide shadow bars between insulated glass panes.

Roofs

4.5.4 Standing seam metal roofs shall have a pan width no greater than 24 inches. Pans shall be completely flat without corrugation. Provide double locked seams with flush ridge and hip flashings on contributing structures.

Decks and Patios

4.6.2 ... screen the underside with shrubbery, fencing, lattice or masonry.

Wood

5.2.2 Construct wood assemblies similar to that found in adjoining work. In general, new material should be the same dimension and shape of that existing.

Metals

5.3.2 Use metal fabrications found in adjoining work. In general, new material should be the same dimension, shape and alloy of that existing.

Certificate of Appropriateness Findings & Recommendations

HPC Meeting February 19, 2020

Paint

- 5.4.2 Select paint and sealant coatings that are harmonious with adjoining work. In general, new material shall be a compatible formulation with the substrate of application.
- 5.4.3 Apply primer coatings to front and back wood surfaces prior to cutting and fitting. Prime end cuts before installation. Apply finish paint coatings to exposed primed surfaces.
- 5.4.9 It is not appropriate to paint exterior doors that were historically false grained, stained or varnished. It is not appropriate to leave surfaces such as porch flooring, deck flooring or railings unpainted.

Wood

- 5.2.2 Construct wood assemblies similar to that found in adjoining work. In general, new material should be the same dimension and shape of that existing.

Statements of Reason, based on the information contained in the application, in Staff's judgment are:

1. The project is modifications to a contributing structure within the Secondary AVC;
2. The proposed design, modifications, components, and materials meet the requirements of the guidelines;
3. The Zoning Administrator and the Chief Building Official have reviewed this project and commented accordingly;
4. The project is not incongruous with the Guidelines.

MOTION

Staff recommends the Commission approve this application to include in the Secondary AVC the addition of a new door, an extension of the existing pent roof over the new door, a new pilaster, extension of the deck and railing, modifications to the deck steps, relocation of HVAC units onto the deck, and relocation of the electric feed to the HVAC units, citing the aforementioned guidelines.

FEE SCHEDULE (office use only)
☐ \$22 Standard Application (minor)
☐ \$107 Standard Application (major)

Receipt # 98177 CK# 2082

COAMJR-001924-2020



HPC Administrator
 HPCadmin@newbern-nc.org
 Work: (252) 639-7583
 Fax: (252) 636-2146

Application for a Certificate of Appropriateness
 (For Alterations to Properties in Locally Designated Historic Districts)

For assistance see "CoA Instructions", as well as "Historic District Guidelines", available online at:
<http://www.newbern-nc.org/departments/development/historic-preservation/historic-preservation-guidelines/>

Type of Project: ☐ Exterior Alteration ☐ Addition ☐ Infill ☒ Site Work ☐ Other

I. Applicant/Owner Information:			
Property Address (Include year built, if known): 306 NEW STREET			
Property Owner Name(s): SCOTT + SHARON SPEET	Owner Mailing Address: 306 NEW STREET NEW BERN 28560	Phone #'s: N/A	Email: SCOTT.SPEET@gmail.com
Applicant Name (if different): NOBLE DESIGN BUILD, LLC	Applicant Mailing Address: PO BOX 15119 NEW BERN 28561	Phone #'s: 252-229 9604	Email: JOHNNY@ NOBLEDESIGN.BUILD

II. Project Information: (See "CoA Instructions" & "Historic Guidelines" for help in completing this section)	
1. Provide a detailed description of work to be conducted on site: (Attach additional sheets if needed)	
① CONCRETE SIDEWALK ADDITION IN SECONDARY AVC ② 6'H WOOD PRIVACY FENCE IN SECONDARY/TERTIARY AVC ③ 4'H DECORATIVE METAL FENCE IN FRONT YARD PRIMARY AVC <div style="text-align: right;">Continued on additional sheet or attached brochure <input checked="" type="checkbox"/></div>	
2. Reference the specific Guideline(s) in the "Historic District Guidelines" which you believe apply to this project: (page and guideline number):	
SEE ATTACHED <div style="text-align: right;">Continued on additional sheet or attached brochure <input checked="" type="checkbox"/></div>	
3. Provide a detailed description of materials to be used (copies of brochures, texture, etc.):	
Reference the specific Guidelines in the Historic District Guidelines for the proposed material(s). SEE ATTACHED <div style="text-align: right;">Continued on additional sheet or attached brochure <input checked="" type="checkbox"/></div>	

III. Additional Information Provided: (See "CoA Instructions" for more detail)

Plan(s) of Work, with: (please check all of those which are included with this application)

- ☒ Site plan (with annotated notes showing existing site and requested work)
- ☒ Photographs of the building and location where the proposed work will be completed
- ☐ Annotated notes or photos of materials to be used (samples may also be submitted)
- ☐ Floor plan with dimensions (for additions)
- ☐ Elevations with dimensions (for exterior additions or renovations)
- ☒ Supporting materials (brochures, photos of similar New Bern projects, estimates, etc.)
- ☒ Letter from owner acknowledging this application, in the case of submission by an applicant or lessee.

Please see Development Services Staff (Staff) prior to submittal for initial review of the application and advisement if additional information will be required before consideration at a Historic Preservation Commission hearing.

Please read the following statements. Your signature below acknowledges that you have read the statements and attest to their accuracy:

Check one:

- ☐ I am the owner of the Property, or
- ☒ I am acting on behalf of the owner of the property and I have attached a letter from the owner(s) indicating their knowledge of this application.

- ◆ I understand that submittal of this application does not constitute approval of proposed alterations.
- ◆ I understand that the approval of this application by City Staff or the New Bern Historic Preservation Commission (HPC) does not constitute approval of other federal, state, or local permit applications.
- ◆ I understand that I (or my representative) will need to attend the Hearing of this Application by HPC. No Applications shall be heard without a representative present and all applicable fees paid in full.
- ◆ I have reviewed the City of New Bern's "Historic District Guidelines" in preparing this Application.
- ◆ I understand that the property referenced by this Certificate of Appropriateness (CoA) application is in one of New Bern's local historic districts and that it represents a part of New Bern's historic fabric. If a CoA is approved by HPC or Staff, I agree to implement all changes as specified in the approved CoA, including any conditions. I understand that I am responsible for contacting Staff if I have any questions regarding the allowed changes specified in the approved CoA.
- ◆ I understand that ANY unapproved alterations are enforceable as a violation of City Ordinance and must be brought into compliance by removal or through the CoA process.
- ◆ I affirm that all the information included in this application is true to the best of my knowledge.
- ◆ I understand that incomplete applications cannot be considered.

 (APPLICANT)

Signature of Applicant/Owner

JOHNNY HARRISON FOR NOBLE DESIGN BUILD, LLC

1/22/2020
Date

APPLICATION SHOULD BE SUBMITTED TO THE DEVELOPMENT SERVICES MAIN OFFICE AT 303 FIRST ST. NO LESS THAN 2 WEEKS PRIOR TO UPCOMING MEETING. FOR FURTHER INFORMATION, CONTACT THE ADMINISTRATOR OF THE HISTORIC PRESERVATION COMMISSION AT (252) 639-7583.

Speet Residence
306 New Street
Supporting Information for COA Application

II – Project Information – Additional Information

Proposed Concrete Walkway (Secondary AVC)

1. Detailed Description:
Construct concrete walkway connecting end of driveway to base of steps at rear deck and existing equipment pad adjacent to deck. Walkway will be located in secondary AVC but will not be visible from the street due to driveway. See attached for location on site.
2. Applicable HPC Guidelines:
No specific guideline identified.
3. Material Description:
Broom-finished concrete to closely match existing driveway

Proposed Privacy Fence (Tertiary AVC) (BLUE HIGHLIGHT ON ATTACHED SITE PLAN)

1. Detailed Description:
Install 6' high preservative treated wood privacy fence to screen existing chain-link fence along rear portion of West side property line. Fence will be located in tertiary AVC. See attached for location on site.
2. Applicable HPC Guidelines:
 - 2.5.1 - Use fences and walls to demarcate property lines and screen private areas
 - 2.5.3
 - 2.5.6 – Screen existing chain-link fences
3. Material Description:
Preservative treated wood pickets approximately 5-1/2" wide X 6' high on preservative treated wood framing consisting of 4x4 posts and 2x4 rails.

Proposed Decorative Fence (Primary & Secondary AVC) (GREEN HIGHLIGHT ON ATTACHED PLAN)

1. Detailed Description:
Front Yard: Install 4' high decorative metal fencing at perimeter of front yard with a single pedestrian gate at front walkway to match fencing.
Side Yard: Remove existing chain-link fencing and double vehicle gate at termination of driveway on West side of house and replace with 4' high decorative metal fencing with matching double vehicle gate and single pedestrian gate. Side yard fencing to match front yard fencing.
2. Applicable HPC Guidelines:
 - 2.5.1 – Fences based on historic designs are encouraged
 - 2.5.2
3. Material Description:
Black powder-coated aluminum fencing in #502 "Vanderbilt" style with "puppy picket" baluster spacing at bottom of fence panel and "Imperial" finials. See attached for images of proposed fencing and locations on site.

Petitioners requesting City of New Bern Historic Preservation Commission action on property not owned by them must have this form completed by the owner of the property.

CERTIFICATE OF APPROPRIATENESS OWNERS AUTHORIZATION

Dear Sir or Madame:

I am the owner of the property located at:

300 NEW STREET NEW BERN NC 28560
(address, city, zip code)

I hereby authorize NOBLE DESIGN BUILD, LLC to appear with my consent, before the City of New Bern Historic Preservation Commissioner in order to request a Certificate of Appropriateness for the property referenced above.

I authorize you to present this matter on my/our behalf as the owner(s) of the property.

If there are any questions, please contact me at the following address and phone number:

300 New St. New Bern, NC 28560 Phone 520-310-9470

Scott Speet
Owner's Signature

Scott Speet
Print Name

Feb 1, 2020
Date

Sworn to and subscribed before me this 1st day of February, 2020.

Christopher Johnson
Notary Public: Christopher Johnson

My commission expires: 10-14-2020

Christopher Johnson
NOTARY PUBLIC
Craven County, NC
My Commission Expires October 14, 2020

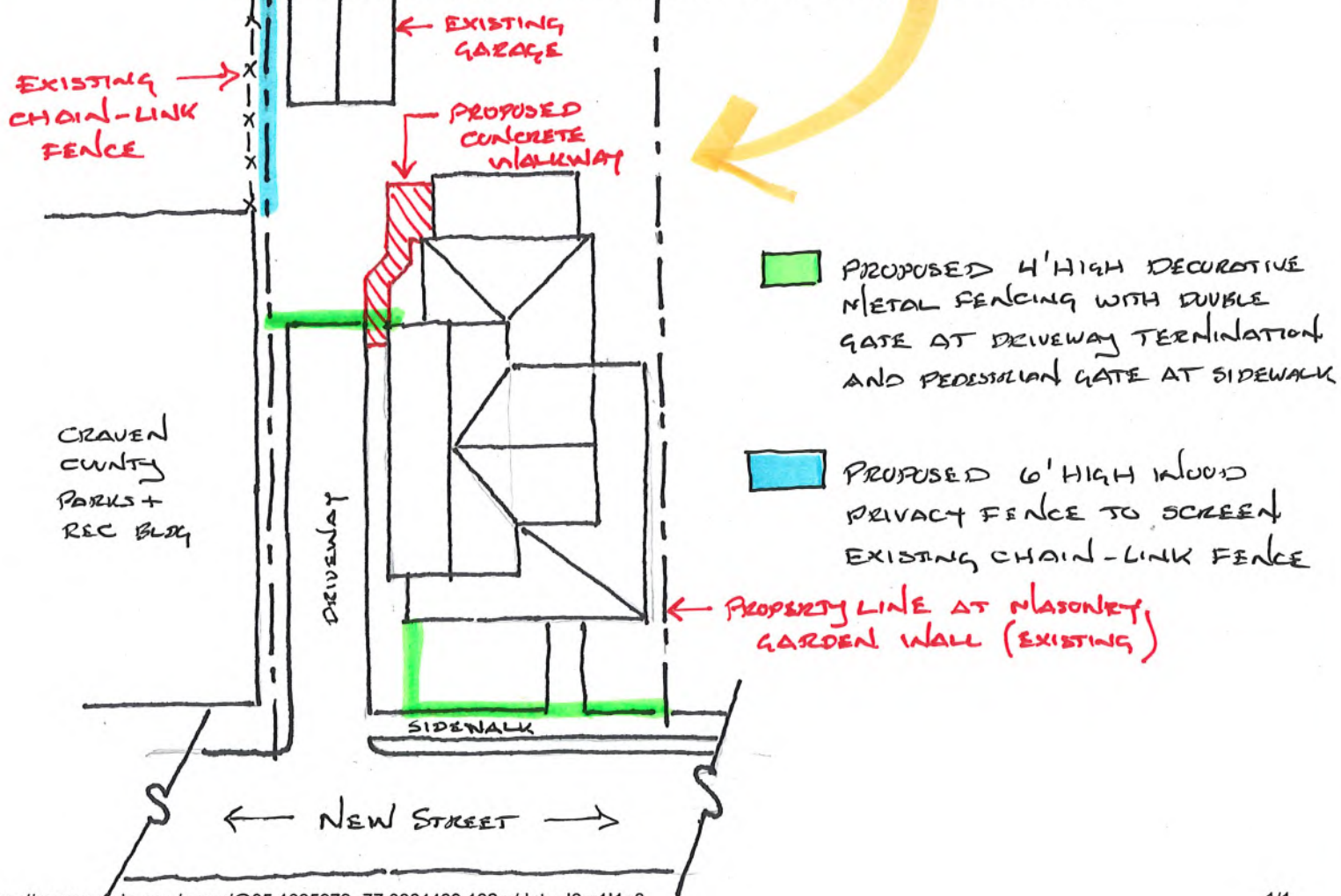
Google Maps

306 New Street



Imagery ©2020 Google, Imagery ©2020 Maxar Technologies, U.S. Geological Survey, Map data ©2020

50 ft





GATE

* GATE IS SET BACK 2'-3' BEHIND CORNER OF GARAGE

* PRIVACY FENCE STOPS @ GATE — IT DOES NOT RUN

BESIDE GARAGE TO
REAR PROPERTY LINE

EXISTING CHAIN-LINK FENCE TO REMAIN

EXISTING
DETACHED
GARAGE

PROPOSED 6'H WOOD
PRIVACY FENCE WITH
MATCHING GATE

2x4
HORIZONTAL
RAIL, TYPICAL

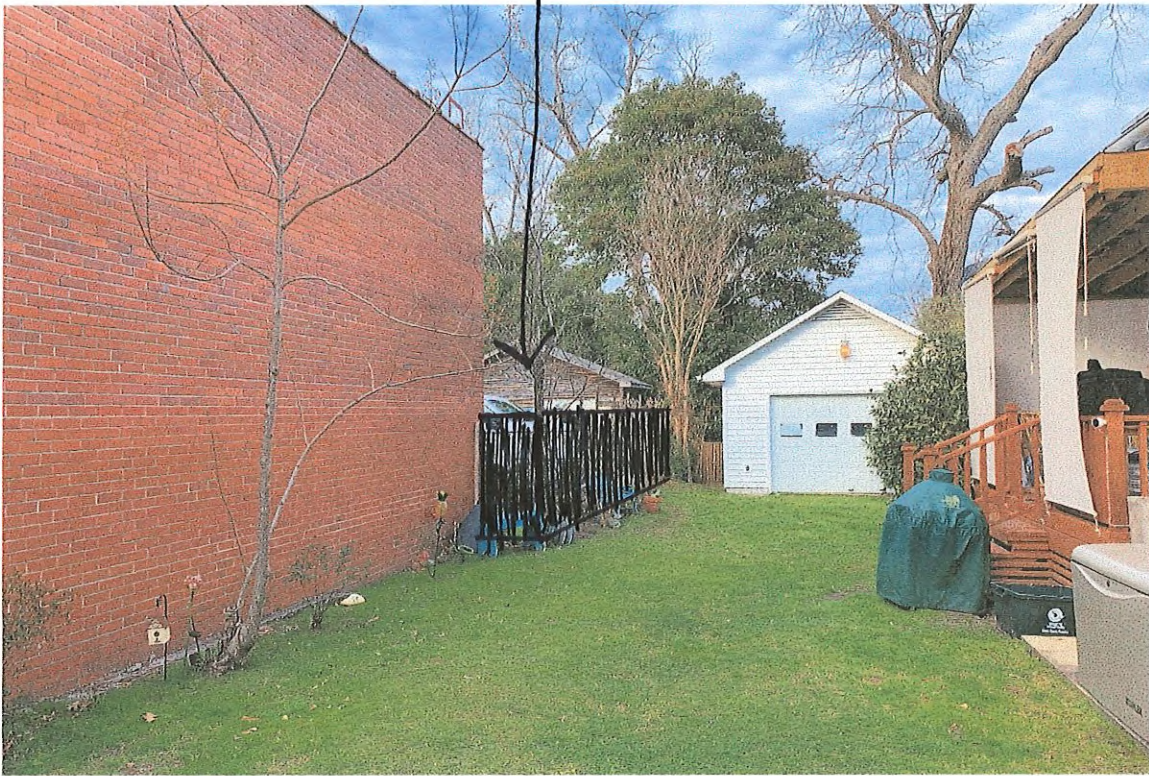
1x6 TREATED
WOOD PICKET

4x4 TREATED
WOOD POST

CONCRETE

6'

PROPOSED 6'H WOOD PRIVACY FENCE TO SCREEN
EXISTING CHAIN-LINK



PROPOSED 4'H DECORATIVE METAL FENCE - SEE ATTACHED
CUT SHEET FOR ACTUAL FENCE PANEL APPEARANCE



PROPOSED CONCRETE WALKWAY



PROPOSED 4'H DECORATIVE
METAL FENCE WITH DOUBLE
VEHICLE GATE (TO MATCH FRONT)

421 CRAVEN (BACK YARD)



EXAMPLES OF
SIMILAR FENCING IN HISTORIC DIST

624 E. FRONT



501 CRAVEN



304 JOHNSON



FENCE

306 NEW ST. — PROPOSED DECORATIVE METAL FENCE

Ideal offers four series of aluminum fence to meet your needs. Additional picket spacing and rail height options are available. All fence options provide heightened security, protect loved ones, and increase property value. Ideal's elegant ornamental aluminum fencing, with Idealcoat powder coated finish provides a maintenance-free fence that will last for years. All of our styles are sleekly designed, with clear lines, and add a unique finishing touch to any outdoor space. Also, our Parkway Series, with 1" rectangular pickets, is a cost effective way to add a premium look to your residential fence.



rings



custom radius



double picket

Fence Styles

200 - californian



400 - alamo



501 - astor



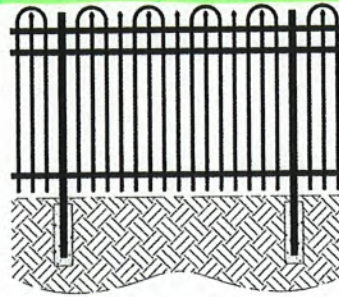
203 - maine



403 - carolina



502 - vanderbuilt



300 - long islander



800 - new englander



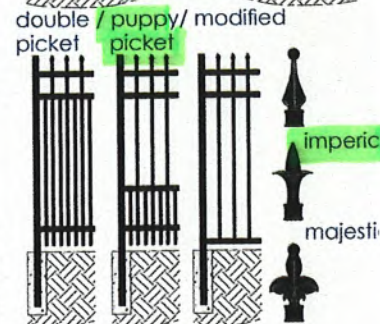
600 - finials



303 - floridian



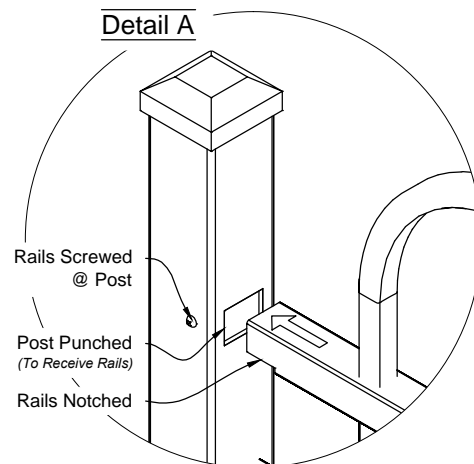
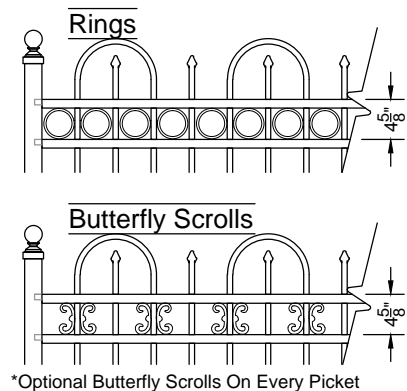
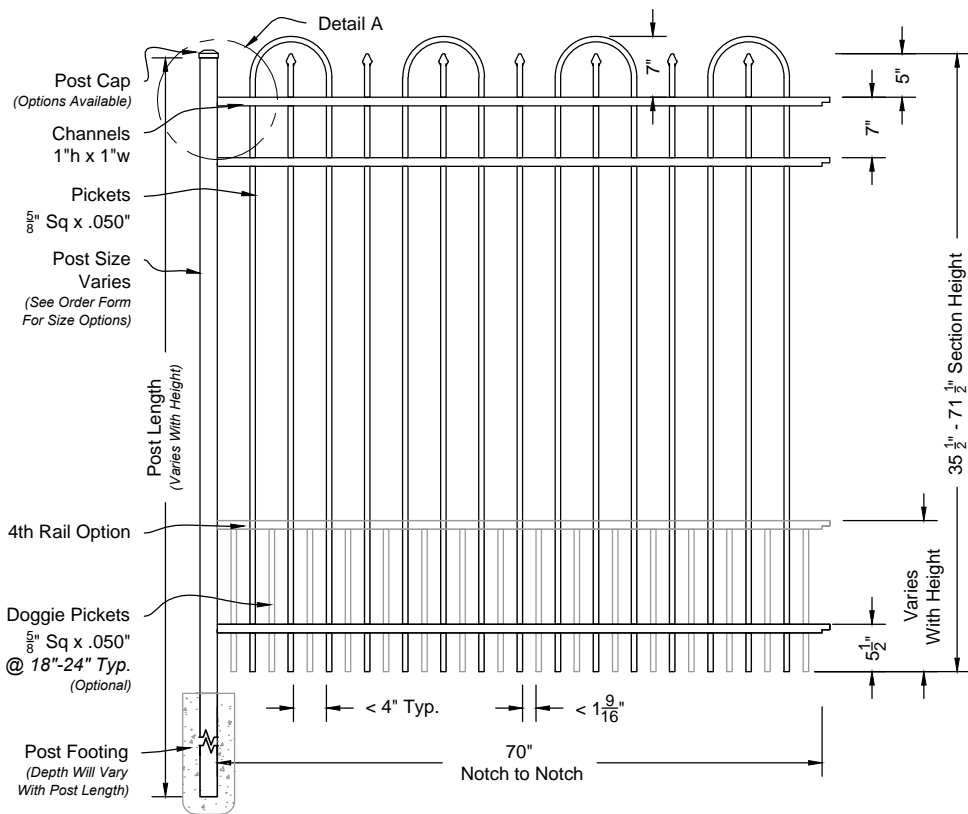
900 - new yorker



Fence Specs	Residential	Parkway	Commercial	Industrial
Picket	5/8" sq.	1" x 5/8"	3/4" sq.	1" sq.
Rail	1-1/16" x 1"	1-1/16" x 1"	1-1/16" x 1-1/2"	1-5/8" x 1-5/8"
Fence Post	2" sq. x .062	2" sq. x .062	2"x.062 or 2-1/2"x.075	2-1/2" sq. x .075
Gate Post	2" sq. x .125	2" sq. x .125	2" sq., 2-1/2"sq.	3" sq. x .125

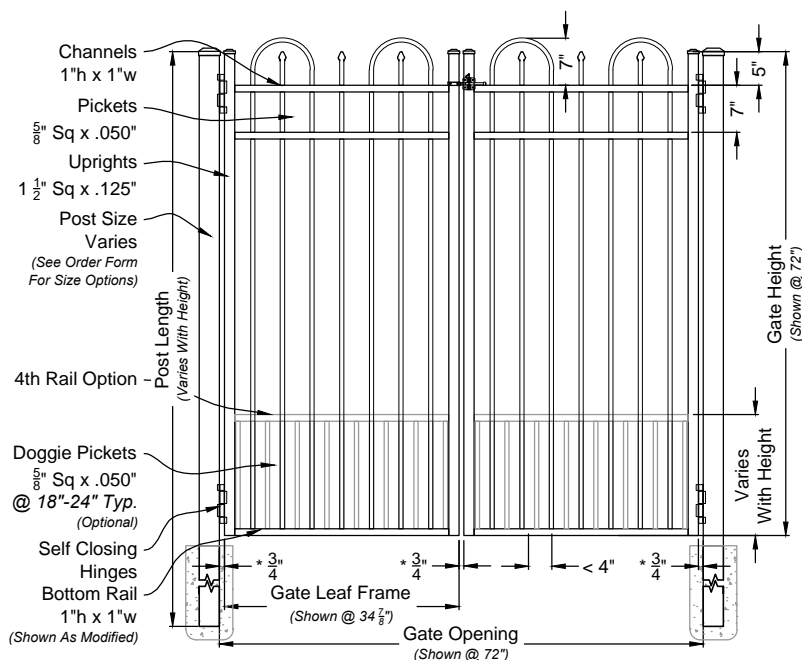
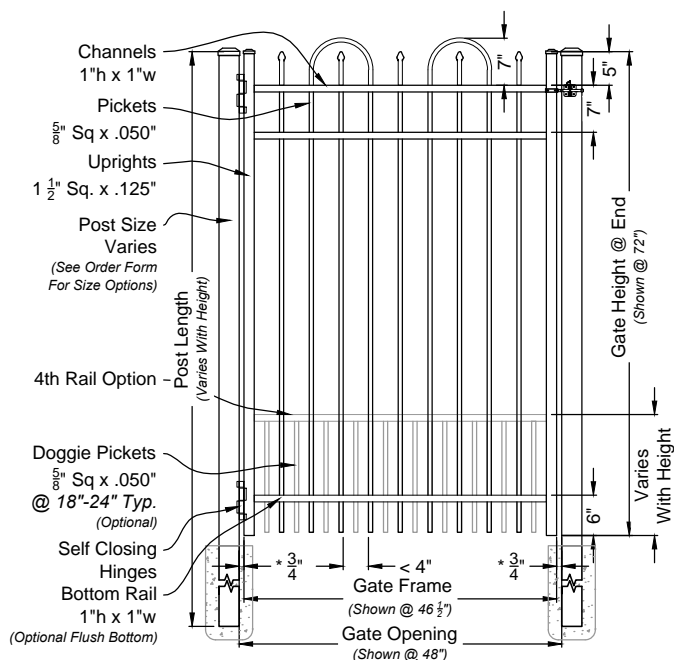
Above and Beyond

- Security
- Durability
- Innovation
- Strength
- Aestheti
- Versatilit



i
01 **Vanderbilt #502 6ft Fence Panel**
Shown As Select Residential Series Scale: NTS

Matching Gate Options



i
02 **Vanderbilt Single Walk Gate**
#5020 Arched Rail Option Scale: NTS

i
03 **Vanderbilt Double Walk Gate**
#6502M Straight Rail Option Scale: NTS

Vanderbilt Fence & Gate
Select Residential Series #502

iDeal
aluminum
fence gates railing

DRAWING NOTES:

Don't Scale From Drawings.
Please See Our Fence & Gate Style Sheet For
Other Options.

*Other Optional Gate Hardware Available, But
May Change The Hinge And Latch Clearances.

Res 502 Series
Fence & Gate
Details

Approved By: iDeal Aluminum Quote #:
Drawn By: JMixon Drawn Date: 23-Mar-17

3200 Parker Drive Phone: 386.736.1700
St Augustine, FL 32084 Fax: 386.822.4956

1 OF 1



Zoning and Inspections Review of

Application for Certificate of Appropriateness for Alterations in Historic District

Initial review of applications for certificates of appropriateness by the Zoning Administrator and Chief Building Inspector is intended to provide the applicant and Historic Preservation Commission with information related to compliance with local land use ordinance and building code. It does not represent a formal approval of a permit by any party and does not bind the decisions of Commission.

Application Address and Description:

306 New St. – new 4-foot high, decorative metal fencing and gates, new 6-foot high wood privacy fence, and a concrete walkway.

Zoning Administrator please review the application and fill out all applicable items

Zoning District: C-5

Required Setbacks (primary structure): Front N/A Side Rear

Accessory Setbacks: From Nearest Structure N/A Side Rear

Maximum Lot Coverage for proposed use: 60%

Maximum Height of Structure: N/A

Required Site Improvements: Landscaping N/A Buffer Parking

Other requirements:

I have reviewed the application for proposed alterations to this property and have determined that it Meets X Does Not Meet the requirements of the Land Use Ordinance.

Comments:

Zoning Administrator Matthew Shely 2/4/20

Chief Building Inspector please review the application and include any comments below

The proposed project Will Will Not X require a building permit(s).

Comments:

Chief Building Inspector 2/5/20

Certificate of Appropriateness Findings & Recommendations

HPC Meeting February 19, 2020

Applicant: Scott & Sharon Speet/Noble Design Build, LLC

Applicant Address: 306 New St., New Bern, NC 28560

Project Address: 306 New St., New Bern, NC 28560

Historic Property Name: F. T. Patterson House (c. 1892)

Status: **Contributing:** X **Non-contributing:** **Vacant Lot:**

NR Inventory Description: (2003) Two stories; L-plan; two bays wide; front porch enclosed at right end; two-story pedimented bay window in left front bay; gabled roofs; interior chimney.

306 New St. – to include installation of new 4-foot high, decorative metal fencing and gates in the Primary AVC, new 6-foot high wood privacy fence in the Tertiary AVC, and a concrete walkway in the Secondary AVC.

Staff submits the following Historic District Guidelines as appropriate to this application:

Fences and Garden Walls

2.5.1 Fences and walls based on historic designs are encouraged. Incorporate materials and configurations that relate to the architecture of the principal structure on the site. Use fences and walls to demarcate property lines and screen private areas.

2.5.2 In a Primary AVC, erect low fences and walls with a vertical dimension of four feet or less. Space rectangular wood planks about one inch apart. Space square wood and iron pickets about three inches apart. Orient pickets vertically.

2.5.3 In Secondary and Tertiary AVCs, erect tall fences and walls with a vertical dimension of six feet or less. Tall fences that abut a structure shall terminate at an architectural feature. Transition low fencing to taller fencing at an architectural feature.

Metals

5.3.3 Use full weld iron and steel fabrication techniques. Welds shall be properly dressed, or ground smooth.

Paint

5.4.2 Select paint and sealant coatings that are harmonious with adjoining work. In general, new material shall be a compatible formulation with the substrate of application.

5.4.3 Apply primer coatings to front and back wood surfaces prior to cutting and fitting. Prime end cuts before installation. Apply finish paint coatings to exposed primed surfaces.

5.4.9 ... It is not appropriate to leave surfaces such as porch flooring, deck flooring or railings unpainted.

Statements of Reason, based on the information contained in the application, in Staff's judgment are:

1. The project is site work within the Primary, Secondary, and Tertiary AVCs;
2. Except for not proposing to paint the wood fencing, the proposed design, components, and materials meet the requirements of the Guidelines;
3. The Zoning Administrator and the Chief Building Official have reviewed this project and commented accordingly;
4. The project is not incongruous with the Guidelines.

Certificate of Appropriateness Findings & Recommendations

HPC Meeting February 19, 2020

MOTION

Staff recommends the Commission approve this application to include installation of new 4-foot high, decorative metal fencing and gates in the Primary AVC, new 6-foot high wood privacy fence in the Tertiary AVC, and a concrete walkway in the Secondary AVC, citing the aforementioned guidelines, with the condition that the wood fencing be painted according to the Guidelines.

FEE SCHEDULE (office use only)

[] \$22 Standard Application (minor)
 [] \$107 Standard Application (major)



HPC Administrator
HPCadmin@newbern-nc.org

Work: (252) 639-7583

Fax: (252) 636-2146

Fee Name	Input Value	Computed Amount	Status	Manually Added	Fee Order	Invoice	Notes
Hist Preserv Major works requiring	0.00	\$107.00	Paid In Full	<input checked="" type="checkbox"/>	44	00016975	COA major - 719 E Front St - Cor

Application for a Certificate of Appropriateness

(For Alterations to Properties in Locally Designated Historic Districts)

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<http://www.newbern-nc.org/departments/development/historic-preservation/historic-preservation-guidelines/>

Type of Project: ☐ Exterior Alteration ☐ Addition ☒ Infill ☐ Site Work ☐ Other

I. Applicant/Owner Information:

Property Address (Include year built, if known):
 719 East Front Street, New Bern, NC 28560

Property Owner Name(s): Shannon & Corinne Corr	Owner Mailing Address: 504 Pollock Street, New Bern, NC 28560	Phone #'s: (252) 514-7217 (252) 649-5380	Email: stacontracting@gmail.com thecorrs@bellsouth.net
Applicant Name (if different): Tripp Eure	Applicant Mailing Address: 317-C Pollock Street New Bern, NC 28560	Phone #'s: (252) 637-6373	Email: eure@mbfarchitects.com

II. Project Information: (See "CoA Instructions" & "Historic Guidelines" for help in completing this section)

1. Provide a detailed description of work to be conducted on site: (Attach additional sheets if needed)
 Infill construction of new residence on existing vacant lot on East Front Street.

Continued on additional sheet or attached brochure ☐

2. Reference the specific Guideline(s) in the "Historic District Guidelines" which you believe apply to this project: (page and guideline number):
 See attached cover letter

Continued on additional sheet or attached brochure ☒

3. Provide a detailed description of materials to be used (copies of brochures, texture, etc.):
 Reference the specific Guidelines in the Historic District Guidelines for the proposed material(s).
 See attached cover letter

Continued on additional sheet or attached brochure ☒

III. Additional Information Provided: (See "CoA Instructions" for more detail)

Plan(s) of Work, with: (please check all of those which are included with this application)

- ☒ Site plan (with annotated notes showing existing site and requested work)
- ☐ Photographs of the building and location where the proposed work will be completed
- ☐ Annotated notes or photos of materials to be used (samples may also be submitted)
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Please read the following statements. Your signature below acknowledges that you have read the statements and attest to their accuracy:

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- ☒ I am acting on behalf of the owner of the property and I have attached a letter from the owner(s) indicating their knowledge of this application.

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- ◆ I understand that ANY unapproved alterations are enforceable as a violation of City Ordinance and must be brought into compliance by removal or through the CoA process.
- ◆ I affirm that all the information included in this application is true to the best of my knowledge.
- ◆ I understand that incomplete applications cannot be considered.



Signature of Applicant/Owner

February 1, 2020

Date

APPLICATION SHOULD BE SUBMITTED TO THE DEVELOPMENT SERVICES MAIN OFFICE AT 303 FIRST ST. NO LESS THAN 2 WEEKS PRIOR TO UPCOMING MEETING. FOR FURTHER INFORMATION, CONTACT THE ADMINISTRATOR OF THE HISTORIC PRESERVATION COMMISSION AT (252) 639-7583.



February 1, 2020

Mr. Matt Schelly
City Planner Development
Services City of New Bern
303 First Street (28560) PO
Box 1129
New Bern, NC 28563

SchellyM@newbernnc.gov

RE: Corr Residence
719 East Front Street
New Bern, Craven County
MBFA No: 1814

Dear Matt:

Enclosed herewith please find an Application for a Certificate of Appropriateness for a major work.

This package consists of the following:

1. Check No. 15541 in the amount of \$107.00 made payable to the City of New Bern
2. Application for a Certificate of Appropriateness
3. Letter of Representation
4. Drawings HPC-1 through HPC-8, 24 inch by 36 inch format, eight sheets

Predominant materials to be used on the project are as follows:

1. Masonry foundation walls with brick coursework where exposed. Masonry foundation walls with louvered wood panels where exposed on porches
2. Dimensional lumber for floor and roof framing
3. Columns are nominal 8 inch by 8 inch, square synthetic posts
4. Porch decking is treated wood, nominal 6 inch plank by 1.25 inch thickness
5. Stairs are treated wood, nominal 6 inch plank by 1.25 thickness or brick masonry
6. Smooth clapboard siding is painted fiber cement. Smooth Board and batten siding is painted fiber cement
7. Fascia, soffit, skirt and trim are smooth fiber cement; reference attached details
8. Aluminum railings with center aligned balustrade; reference attached details
9. Asphalt shingle roofing; where indicated in attached details, low-sloped roofing is standing seam metal with flat pans and contemporary hip and ridge flashings
10. Windows are cellular PVC
11. Window shutters are synthetic with operable hardware
12. Doors are fiberglass
13. Privacy fence is treated wood; reference attached details
14. Low fence is treated wood; reference attached details
15. Garden wall is brick masonry columns with inset brick coursework; reference attached details

Specific Guidelines in the “Historic District Guidelines” which apply to this project (cont from application):

- 2.1 Development Pattern: The proposed location of the new house follows the Tight Weave pattern. The front set back is 15’ from the front property line to allow for a transitional front yard space and large rear yard space. The proposed setback is in keeping with the average setback of the buildings on the same block. The proposed infill construction is a two-story home with a double-story wrap around porch. This configuration occurs along the same block of E. Front Street.
- 2.1.1 “Maintain the established development pattern for placement of infill construction. The relationship of a structure to the property boundaries should be similar to those up the street, down the street and in most cases, across the street.”
- 2.3 Utilities: The utility equipment is located in the Secondary AVC, is elevated above the floodplain and is screened from view.
- 2.5 Fences and Garden Walls: Privacy fencing located in the Secondary and Tertiary AVC is treated wood and has a vertical dimension of six feet. Privacy fencing located in the Primary AVC is treated wood and has a vertical dimension of four feet. Brick masonry garden walls are located in the Primary AVC and have a vertical dimension of four feet or less.
- 2.6 Accessory Structures: The proposed garage is situated behind the house and is secondary to the primary structure in regard to mass, scale, form, and texture. The proposed workshop is situated behind the house and is also secondary to the primary structure in regards to mass, scale, form and texture.
- 3.1 Design Principles: Windows, doors and openings are compatible in proportion, shape, location, size, and quantity with typical surrounding residential historic construction. Historic architectural styles have not been applied to the detailing of the structure.
- 3.2.1 “Select materials that are consistent with the structure. Limit the palette to those materials that were available at the time a building was originally constructed.”
- 3.4 Infill Construction: Contemporary materials have been used in traditional ways and installed in a traditional manner.
- 3.4.3 “Use of modern materials is acceptable as a means of continuing the evolution of architecture through time. However, the use of aluminum and vinyl siding, faux brick and stone, stamped concrete and similar imitation materials is not appropriate.”
- 4.1 Foundations: Solid brick masonry foundation with 1” recessed brick masonry panels has been used on the primary residence to emphasize piers. Solid brick masonry foundation with louvered wood panels has been used on the primary residence porches to emphasize piers.
- 4.2 Walls, Trim and Ornamentation: Clapboard is painted fiber-cement. Board and batten is painted fiber-cement. Trim and Ornamentation are synthetic and simple, contemporary shapes.
- 4.3 Windows, Doors, & Openings: Windows, doors and openings are compatible in proportion, shape, location, size, and quantity with typical surrounding residential historic construction. Window shutters are proportionate and operable with operable hardware.
- 4.4 Entrances: The front porch consists of wood decking, square synthetic columns, synthetic railings, and a low-sloped standing seam metal hip roof.
- 4.5 Roofs: The main roof of the house is a fiberglass asphalt shingled, front gable shape. Minor roofs (over porches) are low-sloped and hipped with standing seam metal roofing.
- 4.5.4 “Standing seam metal roofs shall have a pan width no greater than 24 inches. Pans shall be completely flat without corrugation. Provide double locked seams with flush ridge and hip flashing on contributing structures.”

The proposed infill construction is non-contributing and therefore meets the guideline by using standing seam metal roofing with smooth pans and contemporary hip and ridge flashings so that it is not mistaken for a contributing structure with metal roofing.

5.5 Contemporary Materials: Proposed materials for the structure match the dimension, shape, and texture of their counterparts commonly found in the historic district and are used in traditional ways.

Please place this item on the agenda for the forthcoming November 21, 2018 meeting.

Sincerely,

A handwritten signature in blue ink, appearing to read 'D. Eure', with a stylized flourish at the end.

Darden J. Eure, III, AIA, NCARB
MBF Architects, P.A.

Cc: eure@mbfarchitects.com
stacontracting@gmail.com, thecorrs@bellsouth.net



November 12, 2018

Mrs. Morgan Jethro Potts, AICP, CFM, NCLID
City Planner
Development Services
City of New Bern
303 First Street (28560)
PO Box 1129
New Bern, NC 28563

pottsm@newbern-nc.org

RE: Corr Residence
719 East Front Street
New Bern, Craven County
MBFA No: 1814

Dear Morgan:

Please accept this communication authorizing MBF Architects, P.A. to appear and represent the property owner before the Historic Preservation Commission in procuring a Certificate of Appropriateness for the above referenced work.

Sincerely,

A blue ink signature of Darden J. Eure, III, written in a cursive style.

Darden J. Eure, III, AIA, NCARB
MBF Architects, P.A.

Cc: Owner, stacontracting@gmail.com, thecorrs@bellsouth.net

Authorized by:

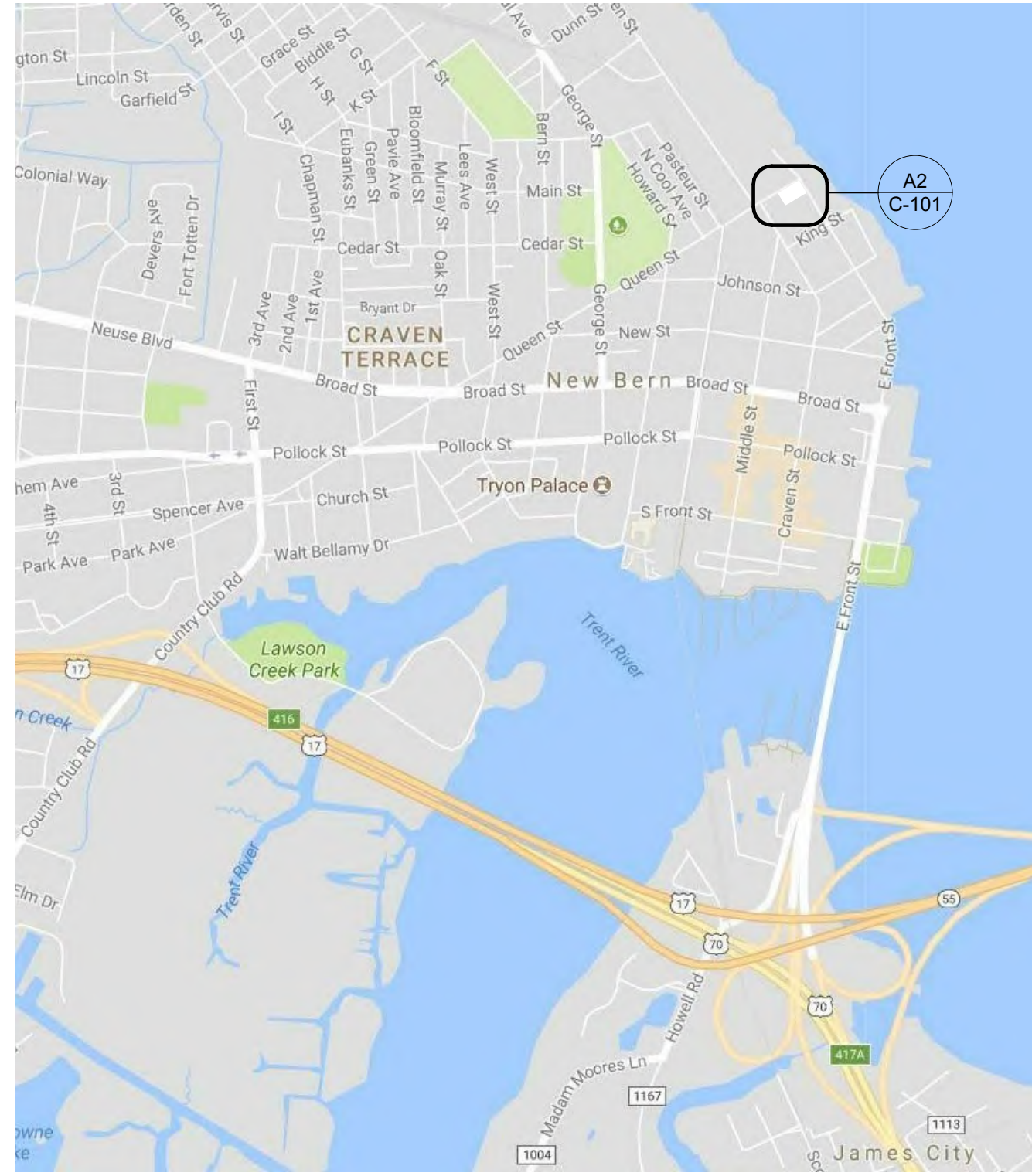
A blue ink signature of Shannon and Corinne Corr, written in a cursive style.

Shannon and Corinne Corr, Property Owners

Corinne Corr

CORR RESIDENCE

719 EAST FRONT STREET NEW BERN, CRAVEN COUNTY



C3 AREA MAP
SCALE: NTS

SHEET INDEX		
SHEET NUMBER	PLATE NUMBER	SHEET NAME
1 OF 8	HPC-1	TITLE SHEET
2 OF 8	HPC-2	SITE PLAN
3 OF 8	HPC-3	EXTERIOR ELEVATIONS
4 OF 8	HPC-4	EXTERIOR ELEVATIONS
5 OF 8	HPC-5	EXTERIOR ELEVATIONS
6 OF 8	HPC-6	WORKSHOP ELEVATIONS
7 OF 8	HPC-7	GARAGE ELEVATIONS
8 OF 8	HPC-8	SURROUNDING AREA

MBF ARCHITECTS, P.A. HAS BEEN ENGAGED TO PERFORM PARTIAL SCHEMATIC DESIGN SERVICES. THESE SERVICES DELINEATE BASIC CONSTRUCTION REQUIREMENTS NECESSARY FOR PROCURING A CERTIFICATE OF APPROPRIATENESS. FURNISH MATERIALS AS INDICATED IN THE APPROVED APPLICATION. DETAILED CONSTRUCTION DOCUMENTS AND CONSTRUCTION ADMINISTRATION SERVICES ARE BEYOND THE SCOPE OF THIS AGREEMENT AND ARE FURNISHED BY OTHERS.

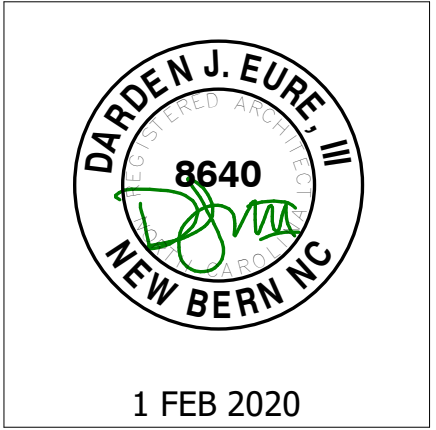


CORR RESIDENCE
719 EAST FRONT STREET
NEW BERN, CRAVEN COUNTY
SHANNON & CORINNE CORR

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	DATE	
#		

FOR HPC APPROVAL ONLY



MBFA No: 1814
TITLE SHEET

HPC-1
SHEET 1 OF 8

SYMBOL LEGEND

6"

DIMENSIONS SHOWN THUSLY ARE TO THE FACE OF THE ELEMENT BEING DIMENSIONED (WALL, FRAME, ETC.)

101A

DOOR DESIGNATION

Room name
101

ROOM DESIGNATION

00

WINDOW DESIGNATION

1i

WALL TYPE

0

COLUMN LINE

Name
Elevation

ELEVATION DESIGNATION

SIM

1
A101

SECTION MARK

SIM

1
A101

ENLARGED PLAN/DETAIL MARK

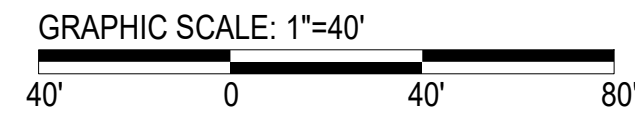
ACTUAL NORTH

PROJECT NORTH

NOTE: LEGEND APPLIES TO ALL ARCHITECTURAL SHEETS



A3 VICINITY MAP
SCALE: 1" = 40'-0"



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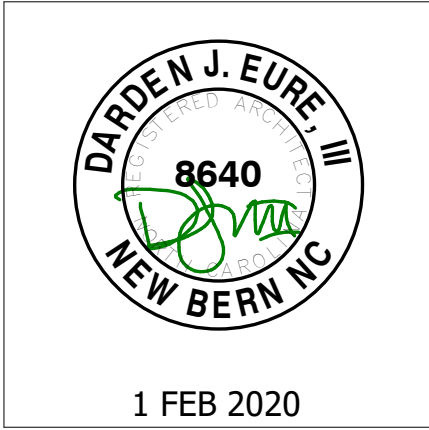


CORR RESIDENCE
719 EAST FRONT STREET
NEW BERN, CRAVEN COUNTY
SHANNON & CORINNE CORR

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	DATE	
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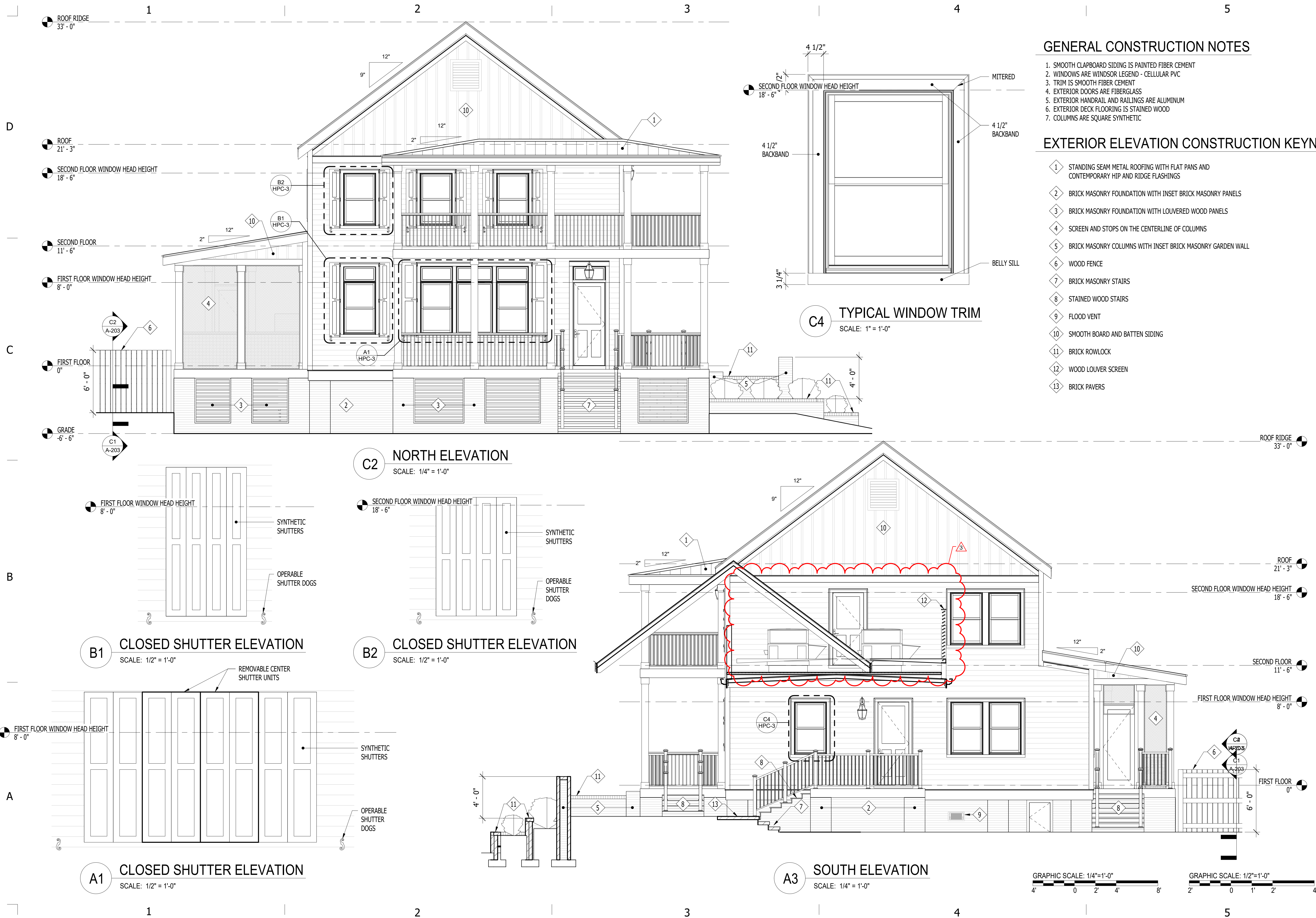
FOR HPC APPROVAL ONLY



MBFA No: 1814
SITE PLAN

HPC-2
SHEET 2 OF 8

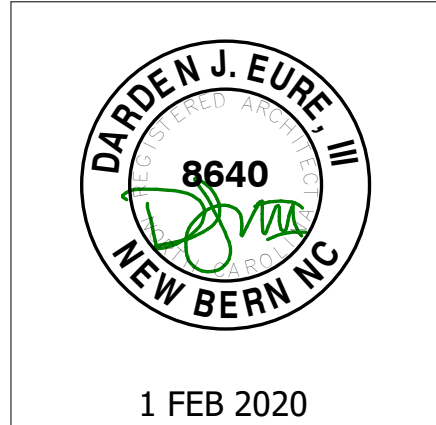
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REVISIONS	#	DATE	DESCRIPTION
			HPC CHANGES
	3	2020.02.01	

FOR HPC APPROVAL ONLY



MBFA No: 1814
EXTERIOR
ELEVATIONS

File Path: S:\projects\2018\1814 Corr Residence\1814 Design\1814 Dwgs\1814 ARCH R2017.rvt
Print Date: 1/29/2020 10:45:25 AM



GENERAL CONSTRUCTION NOTES

1. SMOOTH CLAPBOARD SIDING IS PAINTED FIBER CEMENT
2. WINDOWS ARE WINDSOR LEGEND - CELLULAR PVC
3. TRIM IS SMOOTH FIBER CEMENT
4. EXTERIOR DOORS ARE FIBERGLASS
5. EXTERIOR HANDRAIL AND RAILINGS ARE ALUMINUM
6. EXTERIOR DECK FLOORING IS STAINED WOOD
7. COLUMNS ARE SQUARE SYNTHETIC

EXTERIOR ELEVATION CONSTRUCTION KEYNOTES

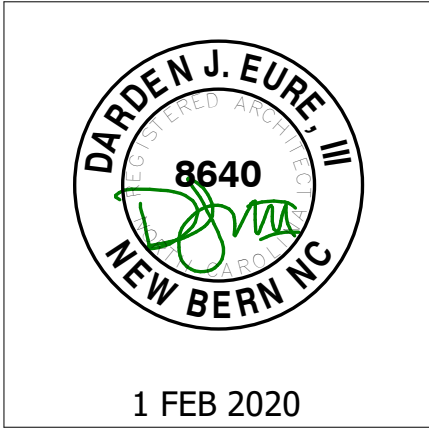
1. STANDING SEAM METAL ROOFING WITH FLAT PANS AND CONTEMPORARY HIP AND RIDGE FLASHINGS
2. FIBERGLASS ASPHALT SHINGLES
3. BRICK MASONRY FOUNDATION WITH LOUVERED WOOD PANELS
4. BRICK MASONRY COLUMNS WITH INSET BRICK MASONRY GARDEN WALL
5. WOOD FENCE
6. BRICK MASONRY STAIRS
7. HERRINGBONE BRICK MASONRY INFILL BELOW STAIRS
8. WOOD LOUVER SCREEN
9. SMOOTH BOARD AND BATTEN SIDING
10. BRICK ROWLOCK

CORR RESIDENCE
719 EAST FRONT STREET
NEW BERN, CRAVEN COUNTY
SHANNON & CORINNE CORR

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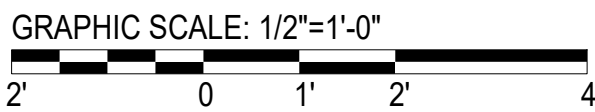
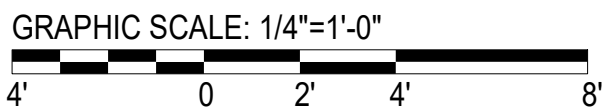
REVISIONS	DESCRIPTION	
	DATE	HPCHANGES
#	3	2020.02.01

FOR HPC APPROVAL ONLY



MBFA No: 1814
EXTERIOR
ELEVATIONS

HPC-4
SHEET 4 OF 8



File Path: S:\projects\2018\1814 Corr Residence\1814 Design\1814 Dwgs\1814 ARCH R2017.rvt
Print Date: 1/29/2020 10:45:38 AM

1

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5



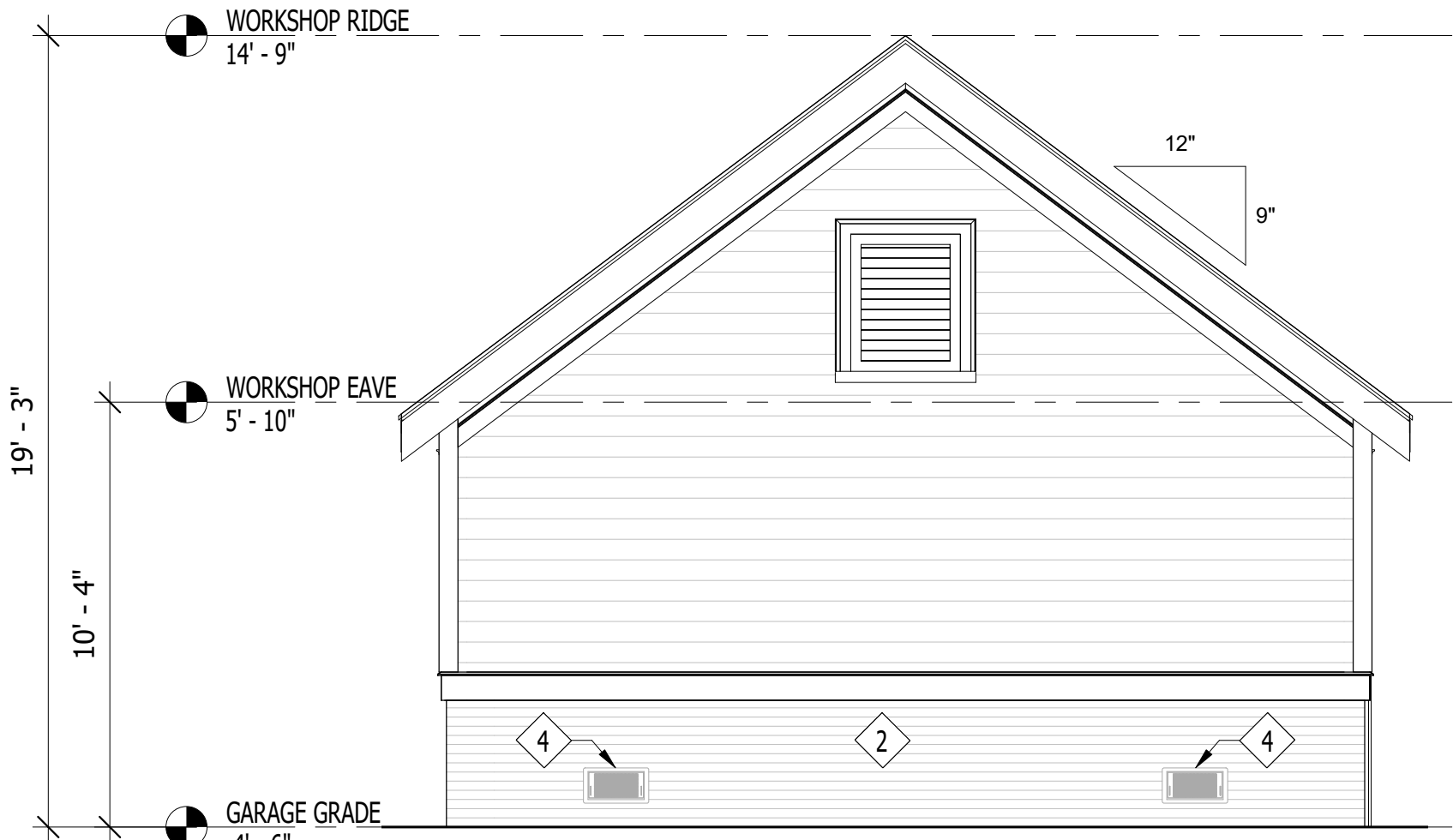
GENERAL CONSTRUCTION NOTES

- 1. SMOOTH CLAPBOARD SIDING IS PAINTED FIBER CEMENT
- 2. WINDOWS ARE WINDSOR LEGEND - CELLULAR PVC
- 3. TRIM IS SMOOTH FIBER CEMENT
- 4. EXTERIOR DOORS ARE FIBERGLASS

EXTERIOR ELEVATION CONSTRUCTION KEYNOTES

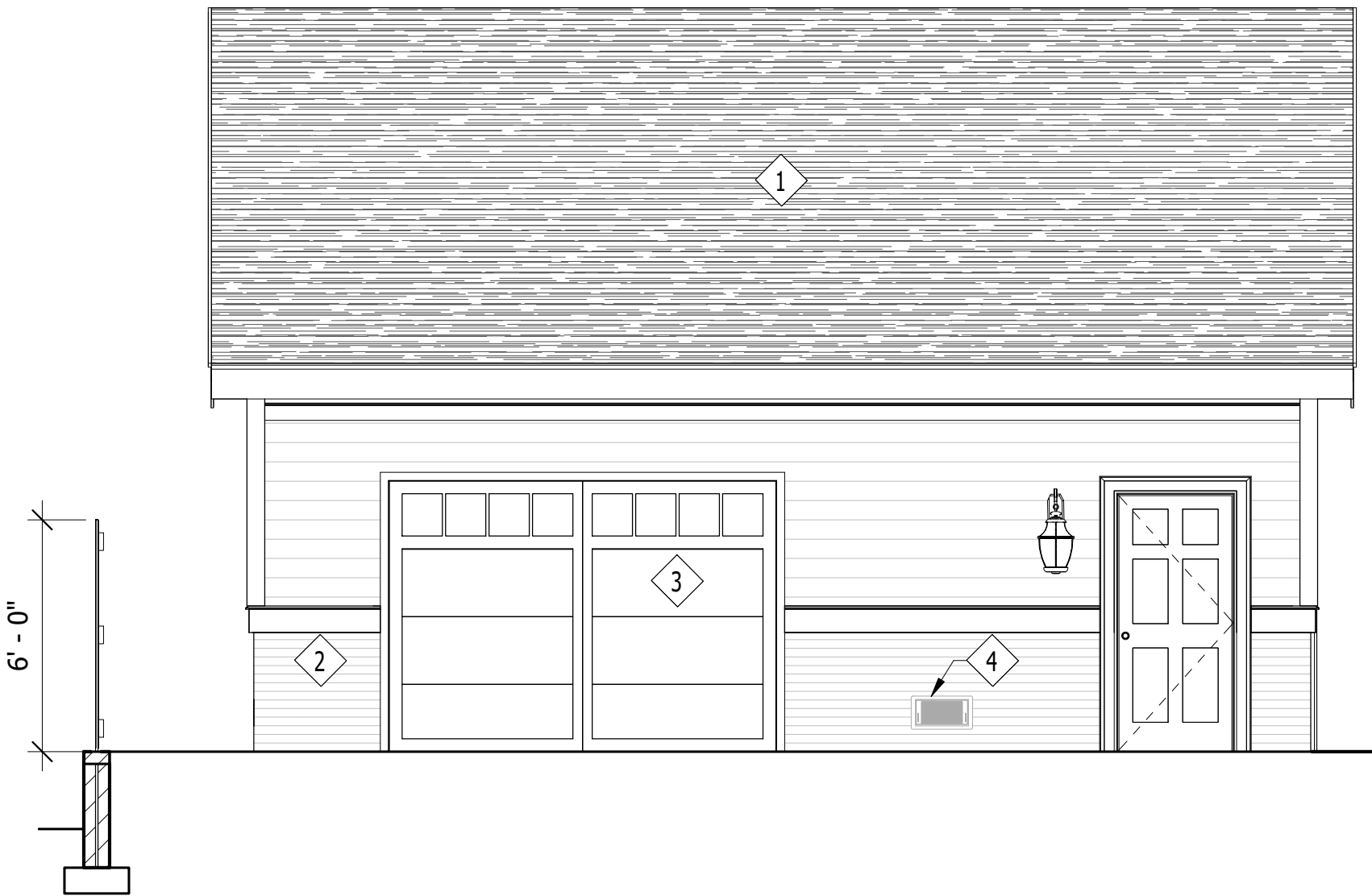
- 1 FIBERGLASS ASPHALT SHINGLES
- 2 BRICK MASONRY FOUNDATION
- 3 STEEL GARAGE DOOR
- 4 FLOOD VENT

D



C

C1 WORKSHOP EAST ELEVATION
SCALE: 1/4" = 1'-0"



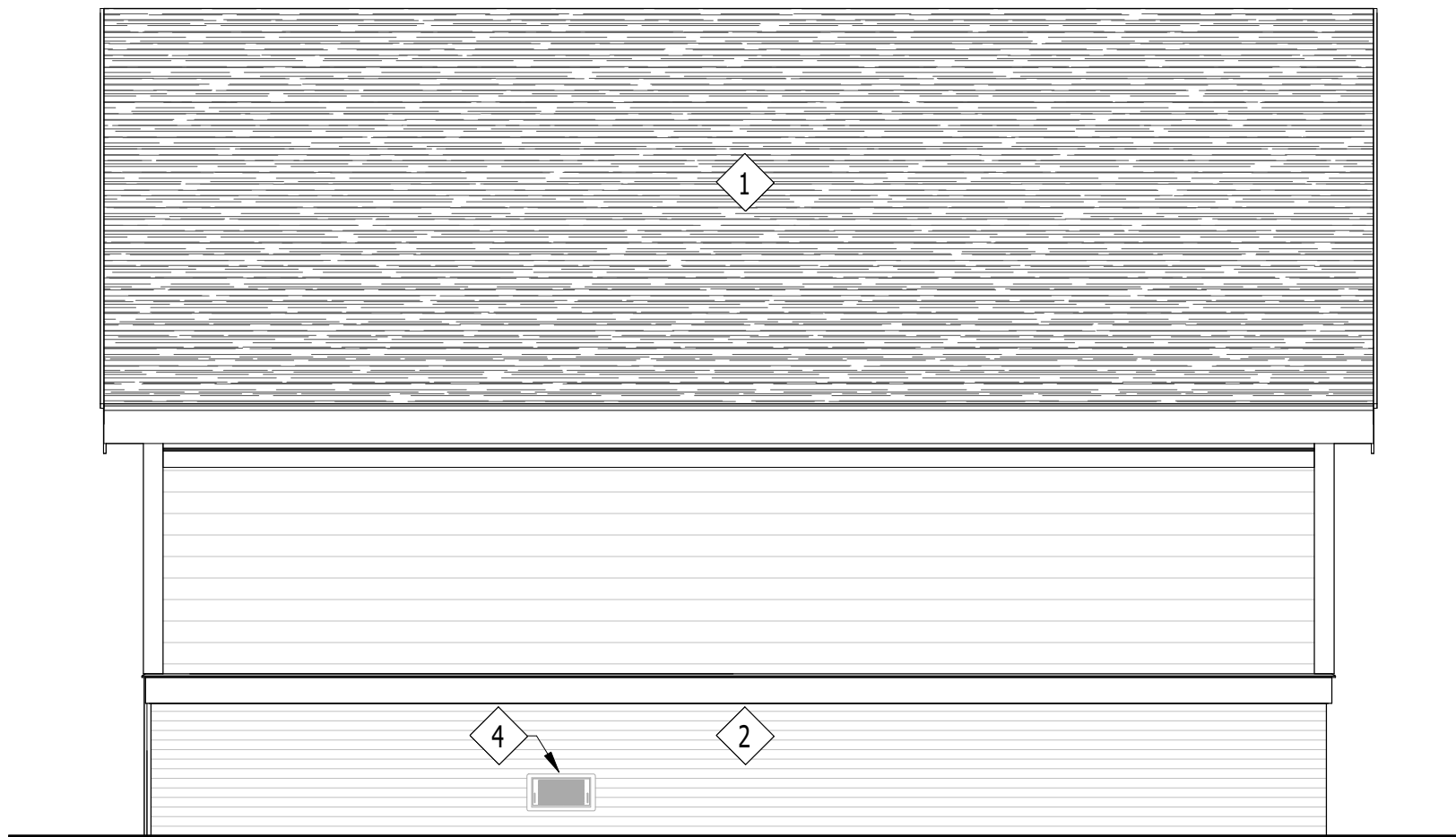
C3 WORKSHOP NORTH ELEVATION
SCALE: 1/4" = 1'-0"

B

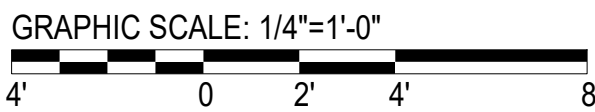


A

A1 WORKSHOP WEST ELEVATION
SCALE: 1/4" = 1'-0"



A3 WORKSHOP SOUTH ELEVATION
SCALE: 1/4" = 1'-0"

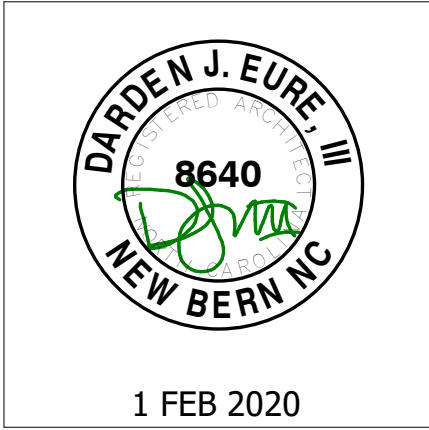


CORR RESIDENCE
719 EAST FRONT STREET
NEW BERN, CRAVEN COUNTY
SHANNON & CORINNE CORR

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MBFA No: 1814
WORKSHOP
ELEVATIONS

HPC-6
SHEET 6 OF 8

File Path: S:\projects\2018\1814 Corr Residence\1814 Design\1814 Dwgs\1814 ARCH R2017.rvt
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D

B

A

1

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4

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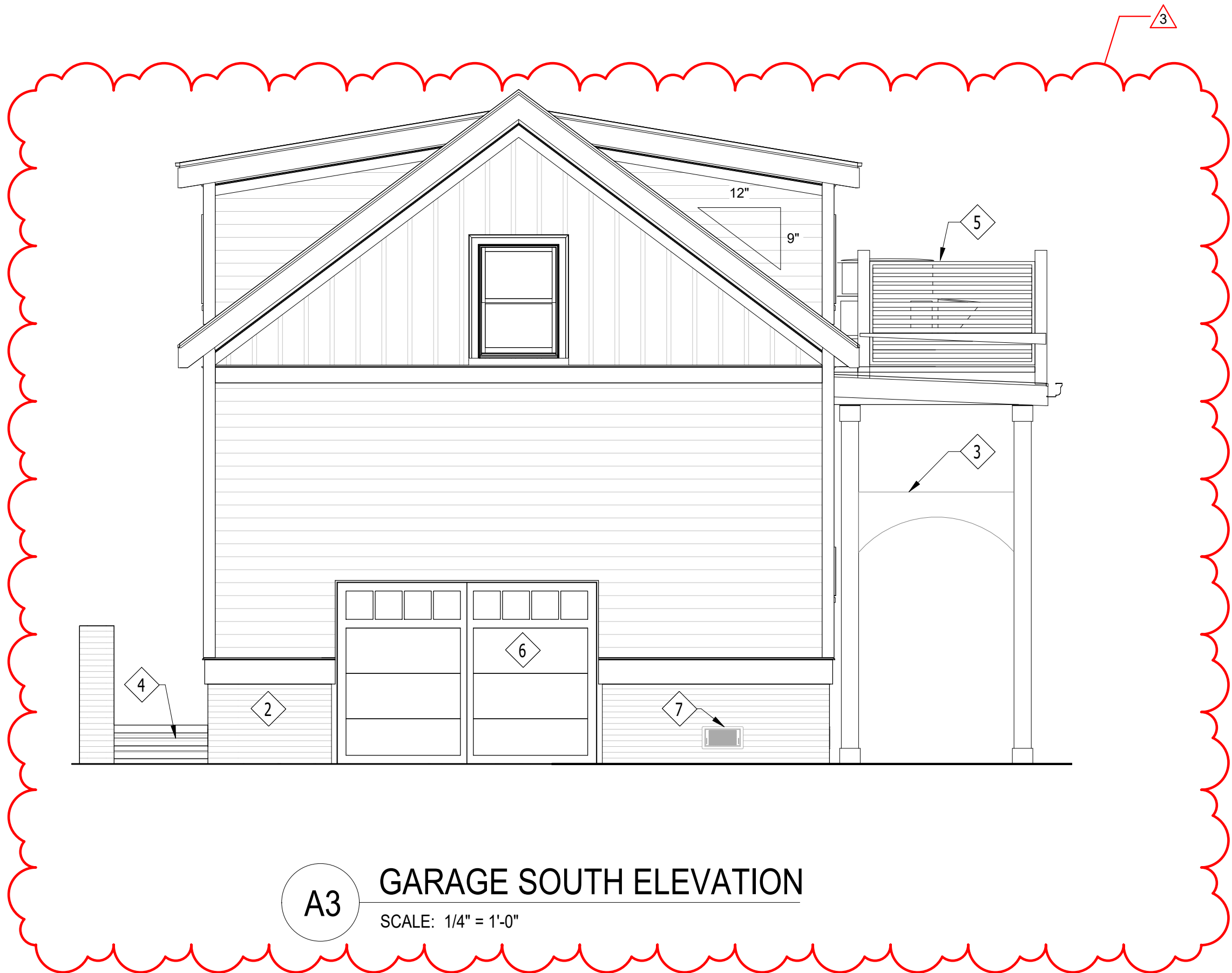
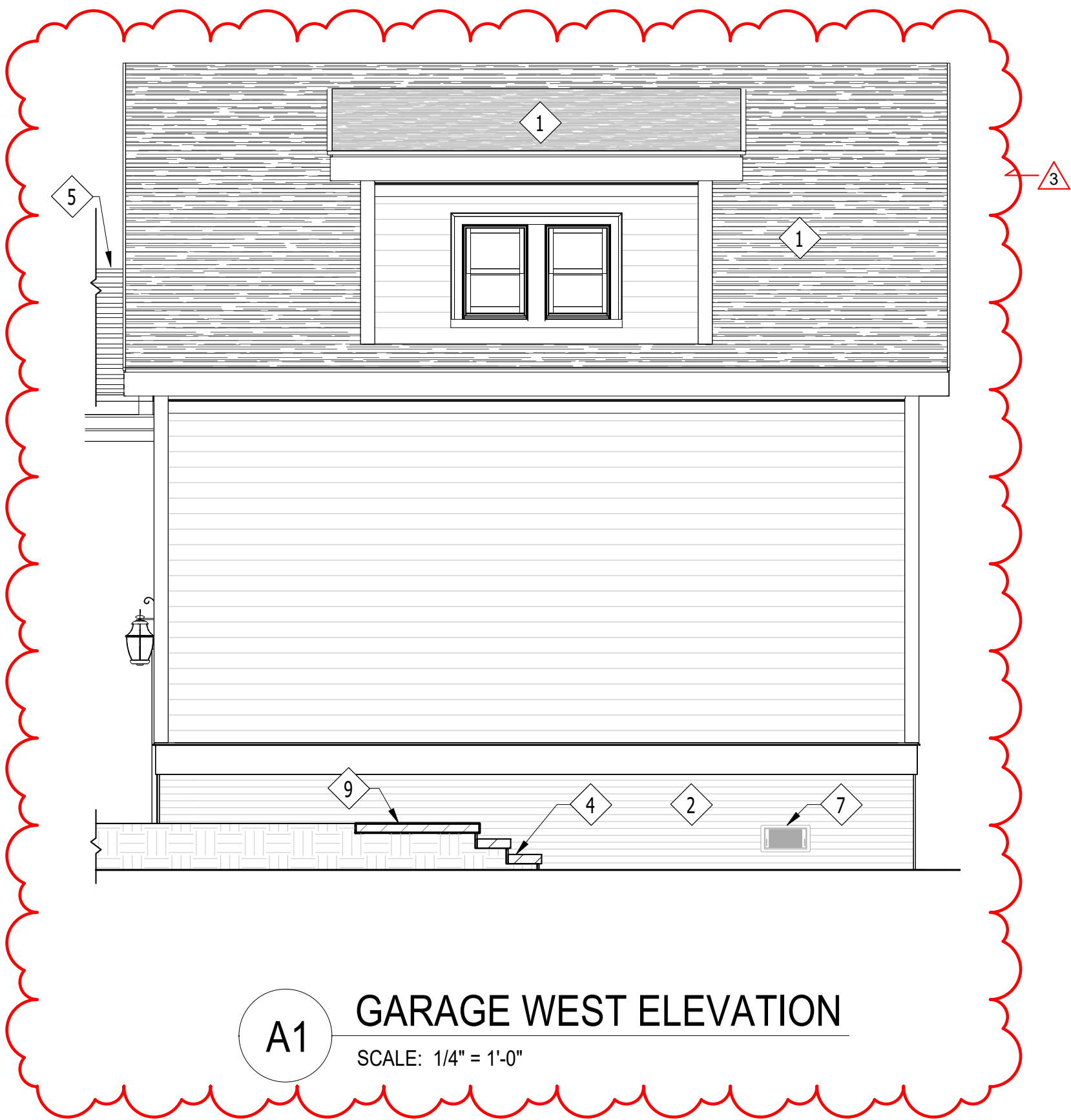
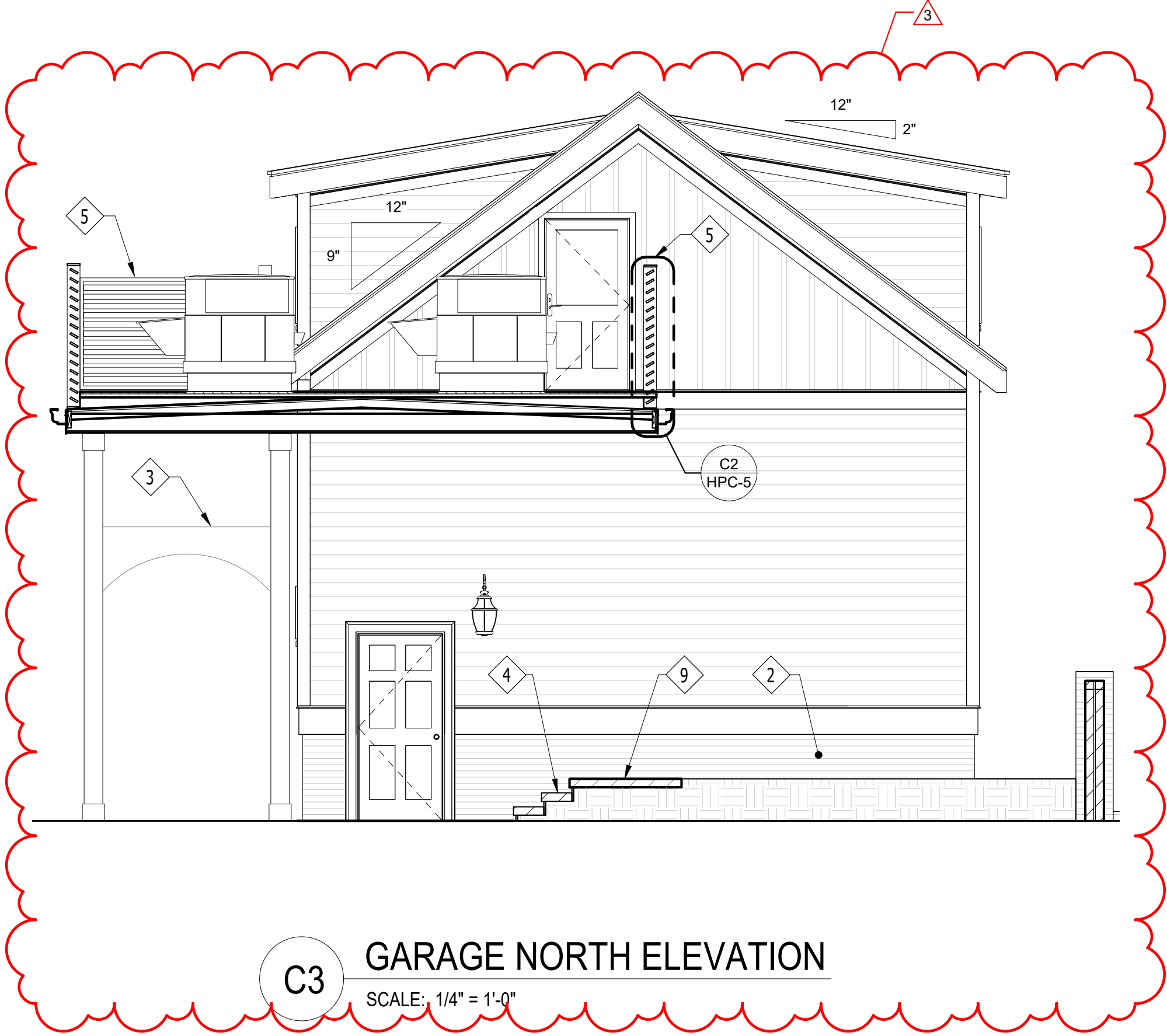
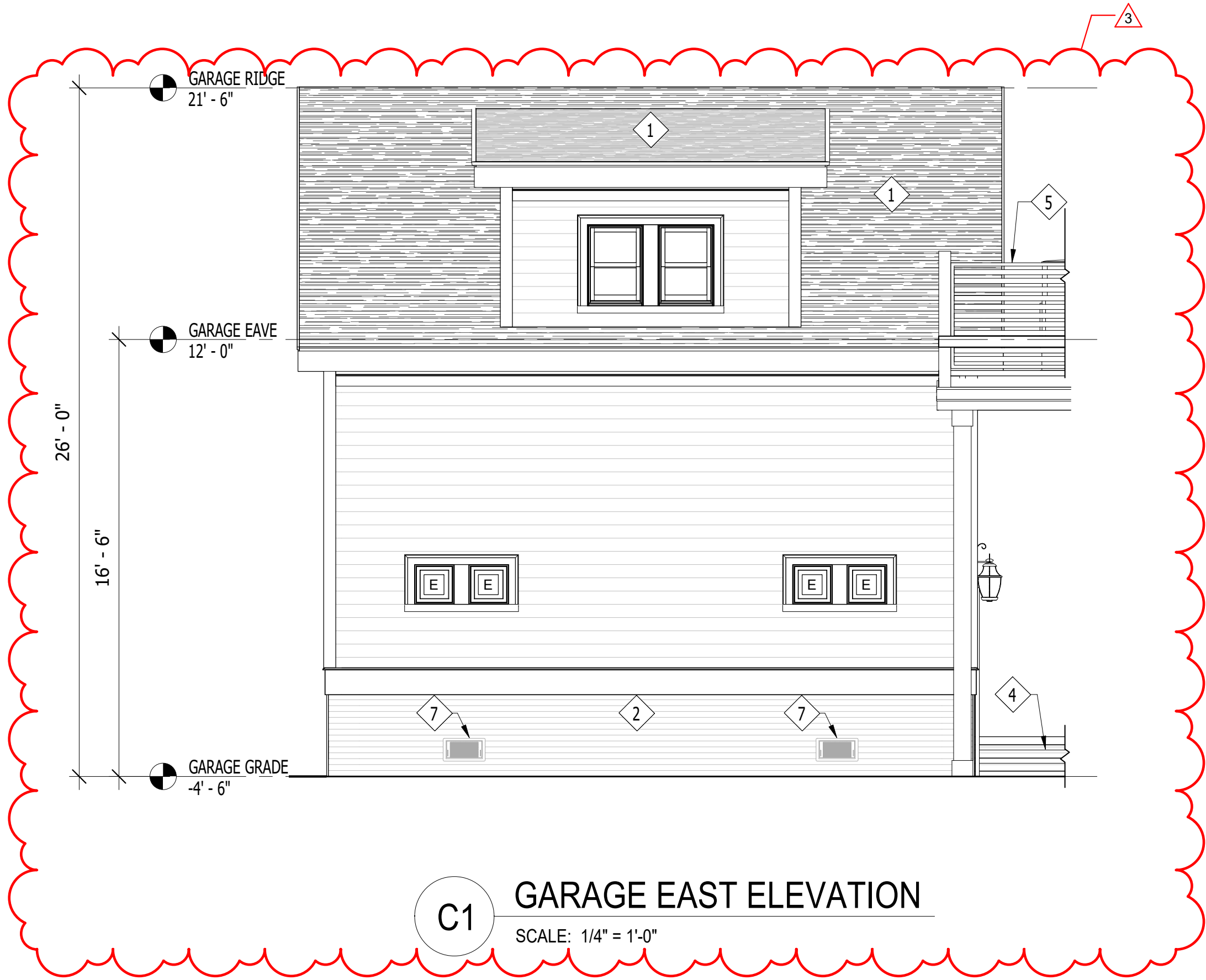
1

2

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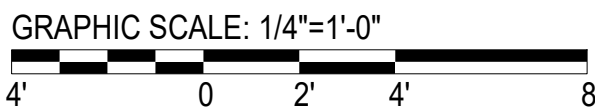


GENERAL CONSTRUCTION NOTES

1. SMOOTH CLAPBOARD SIDING IS PAINTED FIBER CEMENT
2. WINDOWS ARE WINDSOR LEGEND - CELLULAR PVC
3. TRIM IS SMOOTH FIBER CEMENT
4. EXTERIOR DOORS ARE FIBERGLASS
5. EXTERIOR HANDRAIL AND RAILINGS ARE ALUMINUM
6. EXTERIOR DECK FLOORING IS STAINED WOOD
7. COLUMNS ARE SQUARE SYNTHETIC

EXTERIOR ELEVATION CONSTRUCTION KEYNOTES

- 1 FIBERGLASS ASPHALT SHINGLES
- 2 BRICK MASONRY FOUNDATION
- 3 WOOD ARCH
- 4 BRICK MASONRY STAIRS
- 5 WOOD LOUVER SCREEN
- 6 STEEL GARAGE DOOR
- 7 FLOOD VENT
- 8 NOT USED
- 9 BRICK PAVERS



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			HPC CHANGES
	3	2020.02.01	

FOR HPC APPROVAL ONLY



MBFA No: 1814
GARAGE
ELEVATIONS

HPC-7

SHEET 7 OF 8

D

C

B

A



C1 INFILL CONSTRUCTION IN CONTEXT
SCALE: NOT TO SCALE



A1 INFILL CONSTRUCTION IN CONTEXT
SCALE: NOT TO SCALE



C4 707 & 705 E FRONT STREET
SCALE: NOT TO SCALE



B4 702 & 704 E FRONT STREET
SCALE: NOT TO SCALE



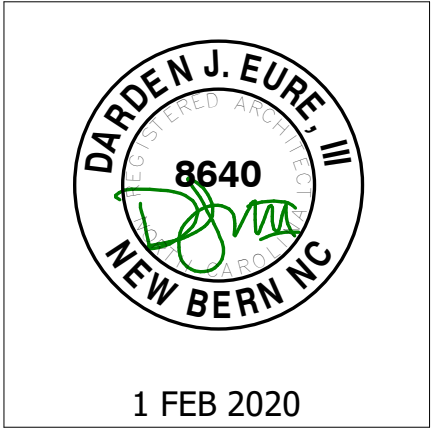
A4 706 E FRONT ST
SCALE: NOT TO SCALE

CORR RESIDENCE
719 EAST FRONT STREET
NEW BERN, CRAVEN COUNTY
SHANNON & CORINNE CORR

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REVISIONS	#	DATE	DESCRIPTION						

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MBFA No: 1814
SURROUNDING
AREA

HPC-8
SHEET 8 OF 8



Zoning and Inspections Review of

Application for Certificate of Appropriateness for Alterations in Historic District

Initial review of applications for certificates of appropriateness by the Zoning Administrator and Chief Building Inspector is intended to provide the applicant and Historic Preservation Commission with information related to compliance with local land use ordinance and building code. It does not represent a formal approval of a permit by any party and does not bind the decisions of Commission.

Application Address and Description: 719 E. Front St. – construction, on a vacant lot, of an infill house. This is a reapplication, with modifications, of an expired CoA.

Zoning Administrator please review the application and fill out all applicable items

Zoning District: R-6

Required Setbacks (primary structure): Front * Side 5' Rear 6'

Accessory Setbacks: From Nearest Structure 8' Side 3' Rear 3'

Maximum Lot Coverage for proposed use: 60%

Maximum Height of Structure: 50' * * from Reg. Flood Elev.

Required Site Improvements: Landscaping N/A Buffer N/A Parking 2 sp.

Other requirements:

*same as min. existing setback of other structures on the block

I have reviewed the application for proposed alterations to this property and have determined that it Meets ___ Does Not Meet ___ the requirements of the Land Use Ordinance.

Comments: Proposed structure is in compliance with setbacks per 15-188(b)
Zoning Administrator Feb 11, 2/5/20

Chief Building Inspector please review the application and include any comments below

The proposed project Will X Will Not ___ require a building permit(s).

Comments:

Chief Building Inspector [Signature] 2/5/20

Certificate of Appropriateness Findings & Recommendations

HPC Meeting February 19, 2020

Applicant: Shannon & Corinne Corr/mbf Architects, PA

Applicant Address: 608A E. Front St., New Bern, NC 28560

Project Address: 719 E. Front St., New Bern, NC 28560

Historic Property Name: N/A

Status: **Contributing:** **Non-contributing:** **Vacant Lot: X**

306 New St. – to include construction, on a vacant lot, of an infill house in the Primary, Secondary, and Tertiary AVC. This is a reapplication, with modifications, of an expired CoA.

Staff submits the following Historic District Guidelines as appropriate to this application:

Development Pattern

- 2.1.1 Maintain the established development pattern for placement of infill construction. The relationship of a structure to the property boundaries should be similar to those up the street, down the street and in most cases, across the street.
- 2.1.2 There are areas within the historic districts where the development pattern may have been weakened by vacant lots and nonconforming structures. In such areas, preference shall be given to contributing structures when defining the development pattern for infill construction.
- 2.1.3 The footprint, scale and proportion of infill construction shall be in keeping with neighboring properties. In general, it is not appropriate to construct a three-story structure in an area that is dominated by one-story structures.

Utilities

- 2.3.1 Locate equipment in Secondary and Tertiary AVCs and screen items from public view with vegetation, fencing and similar site constructions.
- 2.3.2 Paint equipment and exposed utilities to compliment mounting surfaces and reduce their visibility.

Landscaping

- 2.4.2 Maintain a planting strip between the curb and sidewalk in the tight weave development pattern. The predominant plantings in this area shall be grass and trees. Walkways connecting the curb and sidewalk shall not exceed a width of six feet. Align walkways with building entrances.
- 2.4.3 Use plant materials that are indigenous to the historic districts. It is not appropriate to use contemporary edging materials such as landscaping timbers or plastic borders.
- 2.4.4 Incorporate trees, shrubbery and other landscape features around the periphery of a lot and within parking areas.
- 2.4.5 Locate accessory structures and similar site improvements to avoid removing healthy, mature trees of desirable species.

Fences and Garden Walls

- 2.5.1 Fences and walls based on historic designs are encouraged. Incorporate materials and configurations that relate to the architecture of the principal structure on the site. Use fences and walls to demarcate property lines and screen private areas.
- 2.5.2 In a Primary AVC, erect low fences and walls with a vertical dimension of four feet or less. Space rectangular wood planks about one inch apart. Space square wood and iron pickets about three inches apart. Orient pickets vertically.

Certificate of Appropriateness Findings & Recommendations

HPC Meeting February 19, 2020

- 2.5.3 In Secondary and Tertiary AVCs, erect tall fences and walls with a vertical dimension of six feet or less. Tall fences that abut a structure shall terminate at an architectural feature. Transition low fencing to taller fencing at an architectural feature.
- 2.5.5 Consider hedgerows as alternatives to fences and walls.

Accessory Structures

- 2.6.1 Locate accessory structures in Secondary or Tertiary AVCs, and behind primary structures when possible. Accessory structures are to be secondary to the primary structure in regard to mass, scale, form and texture.
- 2.6.2 It is appropriate for outbuildings, and similar structures with substantial foundations, to have a similar form and detailing as the primary structure. Reduce these elements in scale to compliment the outbuilding massing, and incorporate less ornate and simpler elements than found on the primary structure.

Parking

- 2.7.2 Use driveways to access off street parking areas located in the Tertiary AVC. Areas for vehicular use shall not exceed more than 50% of the rear yard.
- 2.7.5 Screen parking lots with fences, walls and hedgerows to create edges that separate vehicular space from pedestrian space. Parking screens should have a vertical dimension of four feet or less.

Design Principles

- 3.1.1 Consider the scale, mass and proportion inherent to the surrounding historic development pattern, and design modifications that incorporate these characteristics. Use basic shapes and forms that are common to the historic districts.
- 3.1.2 Windows, doors and openings shall be compatible in proportion, shape, location, size and quantity with those on surrounding historic structures. Avoid large expanses of blank walls. Establish bays, visually subdivide facades and delineate building elevations to create form and rhythm.
- 3.1.4 Use details to articulate facades, and the openings within facades. Appropriately detail the base, body and edges of facades to create texture and visual interest.

Infill Construction

- 3.4.1 Maintain the relationship between building mass and open space that exists on the block or streetscape.
- 3.4.2 The predominant material of an infill building shall visually emulate the palette of materials traditionally found in the historic districts.
- 3.4.3 Use of modern materials is acceptable as a means of continuing the evolution of architecture through time. However, the use of aluminum and vinyl siding, faux brick and stone, stamped concrete and similar imitation materials is not appropriate.
- 3.4.4 Contemporary materials shall be appropriately proportioned, used in traditional ways and installed in a traditional manner.

Foundations

- 4.1.2 When infilling between brick piers, recess brick curtain walls 1 to 2 inches to visually delineate piers.
- 4.1.3 Use traditional materials when constructing foundations. Concrete block should receive a veneer of stucco, brick or other appropriate masonry material.

Certificate of Appropriateness Findings & Recommendations

HPC Meeting February 19, 2020

- 4.1.4 Locate foundation features such as vents and access doors in areas that will not detract from the architectural character of the building. Coordinate with other architectural features when possible, such as aligning vents and access doors with windows above or centering them between piers.

Walls, Trim, and Ornamentation

- 4.2.4 Incorporate wood trims and articulate masonry appropriately for the application. Primary structures are generally more ornate and detailed. Accessory structures are generally subordinate to the primary structure and have minimal ornamentation, if any, and simplified details.

Windows, Doors, and Openings

- 4.3.3 Glazing should have true divided light muntins, or three-dimensional grilles affixed to both the interior and exterior of the glass. Provide shadow bars between insulated glass panes.
- 4.3.4 Relate shutters and blinds proportionately to window openings. Whether operable or fixed, shutters or blinds shall have operable hardware including hinge and holdback hardware.

Entrances

- 4.4.4 Provide entrance doors, porch railings and other ornaments that proportionally relate to the building. Appropriate porch balustrades often convey a heavier visual appearance.
- 4.4.5 Enclose and screen porches in Secondary and Tertiary AVCs in a manner that preserves historic features. Walls and screens should not obscure columns and balustrades.

Roofs

- 4.5.4 Standing seam metal roofs shall have a pan width no greater than 24 inches. Pans shall be completely flat without corrugation. Provide double locked seams with flush ridge and hip flashings on contributing structures.
- 4.5.6 Locate rooftop appurtenances such as ventilators, antennae, satellite dishes, mechanical equipment and similar items in a manner that is not visible from the public right-of-way.

Paint

- 5.4.2 Select paint and sealant coatings that are harmonious with adjoining work. In general, new material shall be a compatible formulation with the substrate of application.
- 5.4.3 Apply primer coatings to front and back wood surfaces prior to cutting and fitting. Prime end cuts before installation. Apply finish paint coatings to exposed primed surfaces.
- 5.4.4 Consider using opaque stain in lieu of paint on porch flooring, deck flooring and similar wood surfaces exposed to foot traffic.
- 5.4.5 Waterfront wood constructions such as docks and piers may be allowed to naturally weather in lieu of receiving paint coatings.
- 5.4.6 It is not appropriate to apply paint, water repellent or sealant coatings to unpainted surfaces such as masonry, stone, copper and bronze.

Contemporary Materials

Certificate of Appropriateness Findings & Recommendations

HPC Meeting February 19, 2020

- 5.5.1 In general, contemporary material shall match the dimension, shape and texture of their counterparts commonly found in the historic districts.
- 5.5.2 Use contemporary and nontraditional materials in traditional ways. Apply materials in a traditional manner that conveys the same visual appearance as historic materials.
- 5.5.3 Contemporary and nontraditional materials should convey appropriate historic material characteristics, and will be evaluated on a case-by-case basis for appearance, dimension, texture, color, sheen, visual weight and similar characteristics.
- 5.5.5 Cement board with a smooth finish is acceptable as the predominant siding material for infill construction and non-historic accessory structures.
- 5.5.6 Contemporary materials such as synthetic slate and fiberglass asphalt shingles are acceptable for sloped roofing regardless of building age. Select fiberglass asphalt shingles from a darker color palette. Contemporary membrane and roll roofing are acceptable for low-sloped roofs with a 1 inch per foot pitch or less regardless of building age.

Statements of Reason, based on the information contained in the application, in Staff's judgment are:

- 1. The project is new infill construction within the Primary, Secondary, and Tertiary AVCs;
- 2. Except for not proposing to paint the wood fencing and not indicating the height of the fence along the south and east property lines, the proposed design, components, and materials meet the requirements of the Guidelines;
- 3. The Zoning Administrator and the Chief Building Official have reviewed this project and commented accordingly;
- 4. The project is not incongruous with the Guidelines.

MOTION

Staff recommends the Commission approve this application to include installation of new 4-foot high, decorative metal fencing and gates in the Primary AVC, new 6-foot high wood privacy fence in the Tertiary AVC, and a concrete walkway in the Secondary AVC, citing the aforementioned guidelines, with the conditions that the wood fencing be painted and the fencing installed to the height limits according to the Guidelines.

FEE SCHEDULE (office use only)
 [] \$22 Standard Application (minor)
 [] \$107 Standard Application (major)



HPC Administrator
 HPCadmin@newbern-nc.org
 Work: (252) 639-7583
 Fax: (252) 636-2146

Fee Name	Input Value	Computed Amount	Status	Manually Added	Fee Order	Invoice	Notes
Hist Preserv Major works requiring	0.00	\$107.00	Paid In Full	<input checked="" type="checkbox"/>	44	00017093	Major COA @ 248 Craven St own

Application for a Certificate of Appropriateness
 (For Alterations to Properties in Locally Designated Historic Districts)

For assistance see "CoA Instructions", as well as "Historic District Guidelines", available online at:

<http://www.newbern-nc.org/departments/development/historic-preservation/historic-preservation-guidelines/>

Type of Project: ☐ Exterior Alteration ☐ Addition ☐ Infill ☒ Site Work ☒ Other *Landscaping*

I. Applicant/Owner Information:			
Property Address (Include year built, if known): <i>Dann Building</i> <i>248 Craven St</i> <i>Built in 1922</i>			
Property Owner Name(s): <i>Denny Bucher</i>	Owner Mailing Address: <i>254 Pollock St</i> <i>New Bern NC 28563</i>	Phone #'s: <i>252</i> <i>252-6576</i>	Email: <i>dbucher@dentlink.net</i>
Applicant Name (if different): <i>Joe Cannon</i>	Applicant Mailing Address: <i>1309 Old Cherry Point Rd</i> <i>New Bern NC 28560</i>	Phone #'s: <i>252</i> <i>675-7409</i>	Email: <i>Landscaping@newbernfarmandgarden.com</i>

II. Project Information: (See "CoA Instructions" & "Historic Guidelines" for help in completing this section)
1. Provide a detailed description of work to be conducted on site: (Attach additional sheets if needed) <i>Installation of new patio brick wall, shrubs & sod, & fencing</i>
Continued on additional sheet or attached brochure <input type="checkbox"/>
2. Reference the specific Guideline(s) in the "Historic District Guidelines" which you believe apply to this project: (page and guideline number):
Continued on additional sheet or attached brochure <input type="checkbox"/>
3. Provide a detailed description of materials to be used (copies of brochures, texture, etc.): Reference the specific Guidelines in the Historic District Guidelines for the proposed material(s) <i>patio pavers will be pinehall brick full large tumbled</i> <i>wall brick will be pinehall Savannah face brick</i>
Continued on additional sheet or attached brochure <input type="checkbox"/>

Zysia El Toro sod, Boxwoods, caneliras, hydrangeas, Roses, misc
Dark Brown Mulch (shrub), aluminum fencing
w/ brick posts
 CoA App 071515.doc

III. Additional Information Provided: (See "CoA Instructions" for more detail)

Plan(s) of Work, with: (please check all of those which are included with this application)

- ☒ Site plan (with annotated notes showing existing site and requested work)
- ☐ Photographs of the building and location where the proposed work will be completed
- ☐ Annotated notes or photos of materials to be used (samples may also be submitted)
- ☐ Floor plan with dimensions (for additions)
- ☐ Elevations with dimensions (for exterior additions or renovations)
- ☒ Supporting materials (brochures, photos of similar New Bern projects, estimates, etc.)
- ☐ Letter from owner acknowledging this application, in the case of submission by an applicant or lessee.

Please see Development Services Staff (Staff) prior to submittal for initial review of the application and advisement if additional information will be required before consideration at a Historic Preservation Commission hearing.

Please read the following statements. Your signature below acknowledges that you have read the statements and attest to their accuracy:

Check one:

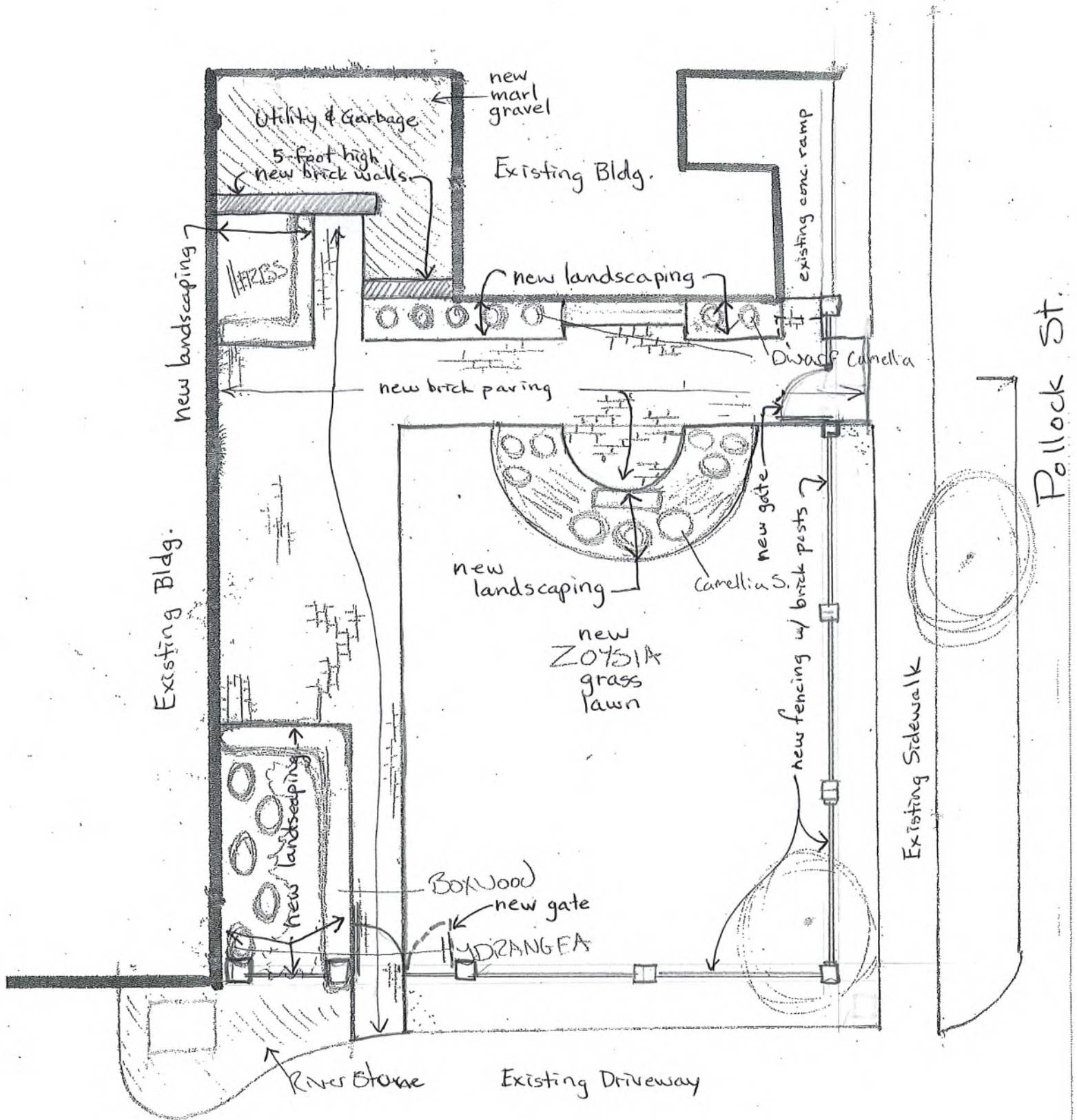
- ☐ I am the owner of the Property, or
- ☐ I am acting on behalf of the owner of the property and I have attached a letter from the owner(s) indicating their knowledge of this application.

- ◆ I understand that submittal of this application does not constitute approval of proposed alterations.
- ◆ I understand that the approval of this application by City Staff or the New Bern Historic Preservation Commission (HPC) does not constitute approval of other federal, state, or local permit applications.
- ◆ I understand that I (or my representative) will need to attend the Hearing of this Application by HPC. No Applications shall be heard without a representative present and all applicable fees paid in full.
- ◆ I have reviewed the City of New Bern's "Historic District Guidelines" in preparing this Application.
- ◆ I understand that the property referenced by this Certificate of Appropriateness (CoA) application is in one of New Bern's local historic districts and that it represents a part of New Bern's historic fabric. If a CoA is approved by HPC or Staff, I agree to implement all changes as specified in the approved CoA, including any conditions. I understand that I am responsible for contacting Staff if I have any questions regarding the allowed changes specified in the approved CoA.
- ◆ I understand that ANY unapproved alterations are enforceable as a violation of City Ordinance and must be brought into compliance by removal or through the CoA process.
- ◆ I affirm that all the information included in this application is true to the best of my knowledge.
- ◆ I understand that incomplete applications cannot be considered.


Signature of Applicant/Owner

2-4-20
Date


APPLICATION SHOULD BE SUBMITTED TO THE DEVELOPMENT SERVICES MAIN OFFICE AT 303 FIRST ST. NO LESS THAN 2 WEEKS PRIOR TO UPCOMING MEETING. FOR FURTHER INFORMATION, CONTACT THE ADMINISTRATOR OF THE HISTORIC PRESERVATION COMMISSION AT (252) 639-7583.









JAMES WALKER HOOD
Asst. Sup. Int. Bent Pub-
Construction, 1868-70; a
founder of Limestone Col-
lege, 1875; Shop A.M.E.
2nd Church founded St.
Peter, 1864; One blk. N.

ST. LUKES



GreatFence.com



STYLE 1

Posts purchased separately





Pressed
Spear



Flat Cap
& plugged



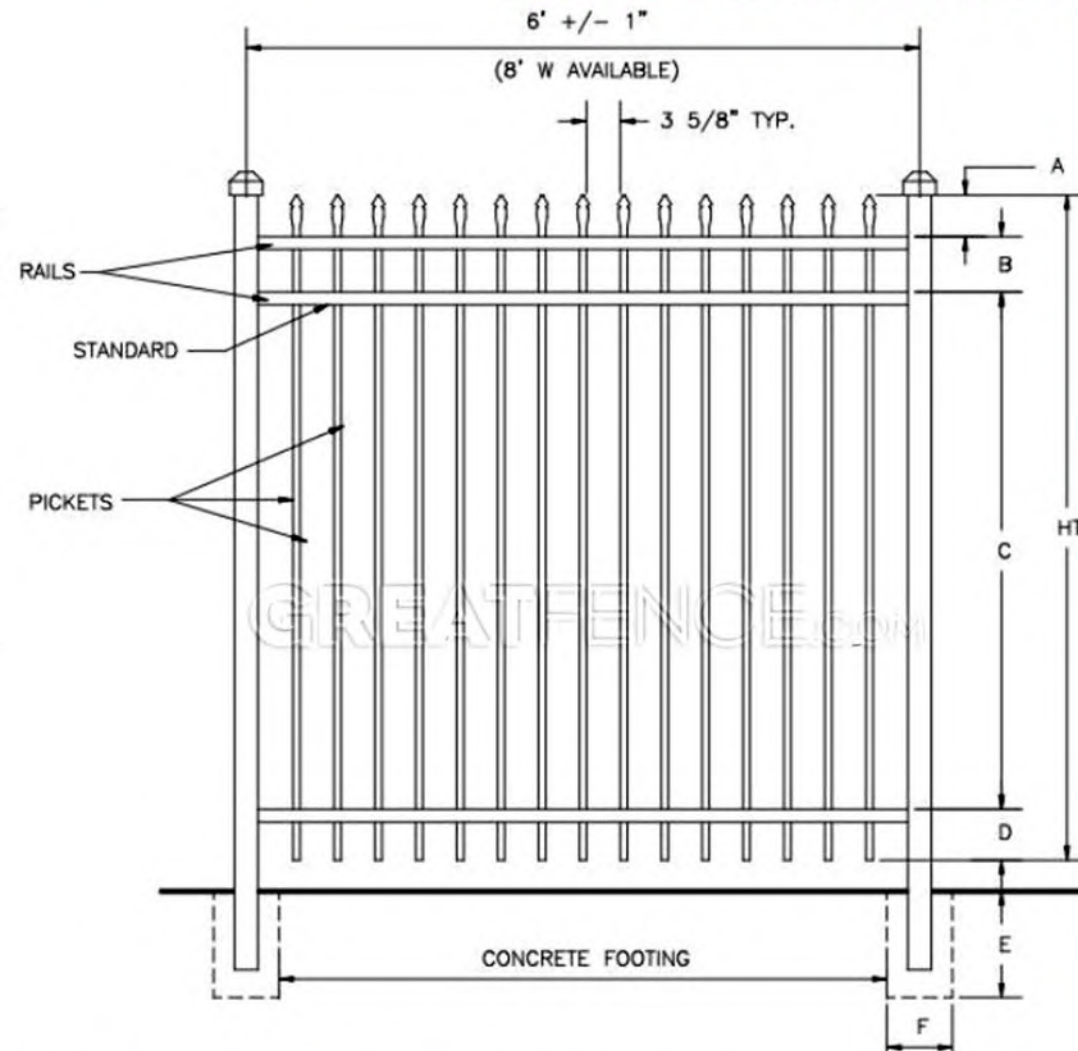
**TYPE A
FINIAL**



**TYPE B
FINIAL**

Finials are made of a heavy, aluminum metal and powder coated.

100% MADE IN THE USA



COMMERCIAL STYLE 1 SPECIFICATIONS

Horizontal Rails: 1 3/8" x 1 1/4"

Side Walls: .088"

Top Walls: .065"

Internal: 8 Metal Support Ribs

ADDING RINGS TO YOUR FENCE PANEL DECREASES "B"

Pickets: 3/4" x 3/4" x .055"

Picket Spacing: 3 5/8"

Powder Coat: 2604-5 AAMA

Lifetime Warranty: No Rusting

DIMENSIONS

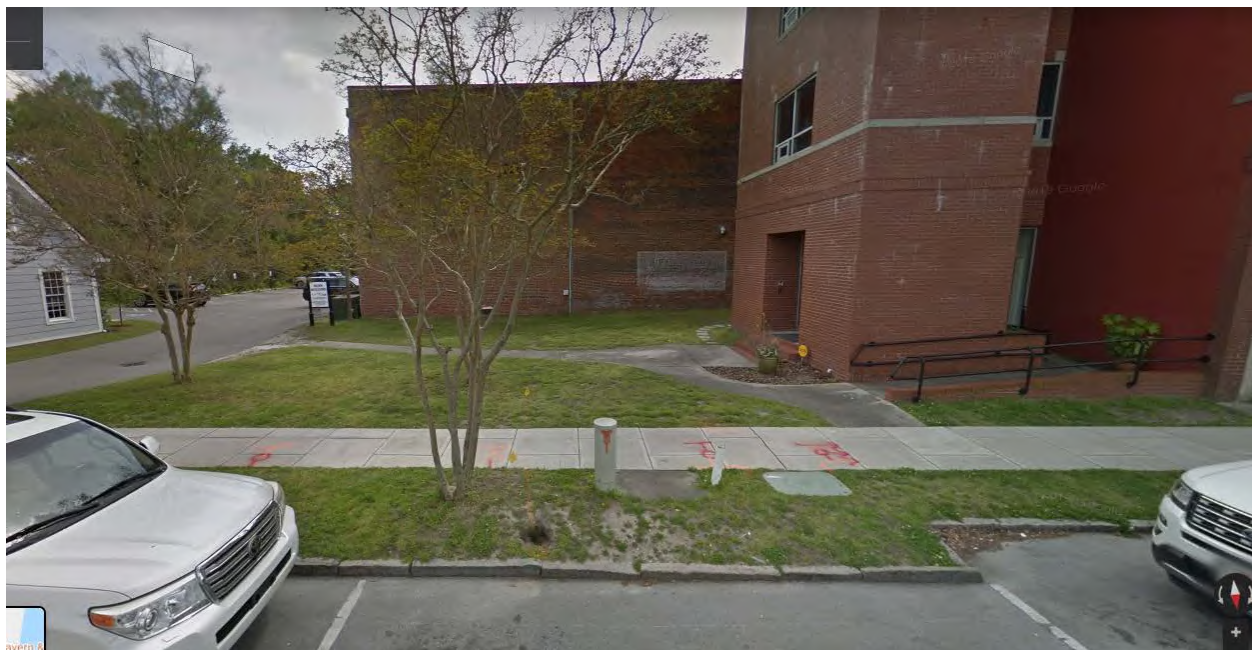
HT	A	B	C	D	E	F
36"	4 1/2"	6"	20"	5 1/2"	PER LOCAL CODE	
42"	4 1/2"	6"	26"	5 1/2"	PER LOCAL CODE	
48"	4 1/2"	6"	32"	5 1/2"	PER LOCAL CODE	
54"	4 1/2"	6"	38"	5 1/2"	PER LOCAL CODE	
60"	4 1/2"	6"	44"	5 1/2"	PER LOCAL CODE	
72"	4 1/2"	6"	56"	5 1/2"	PER LOCAL CODE	



POSTS PURCHASED SEPARATELY

248 Craven: Rear Site Improvements

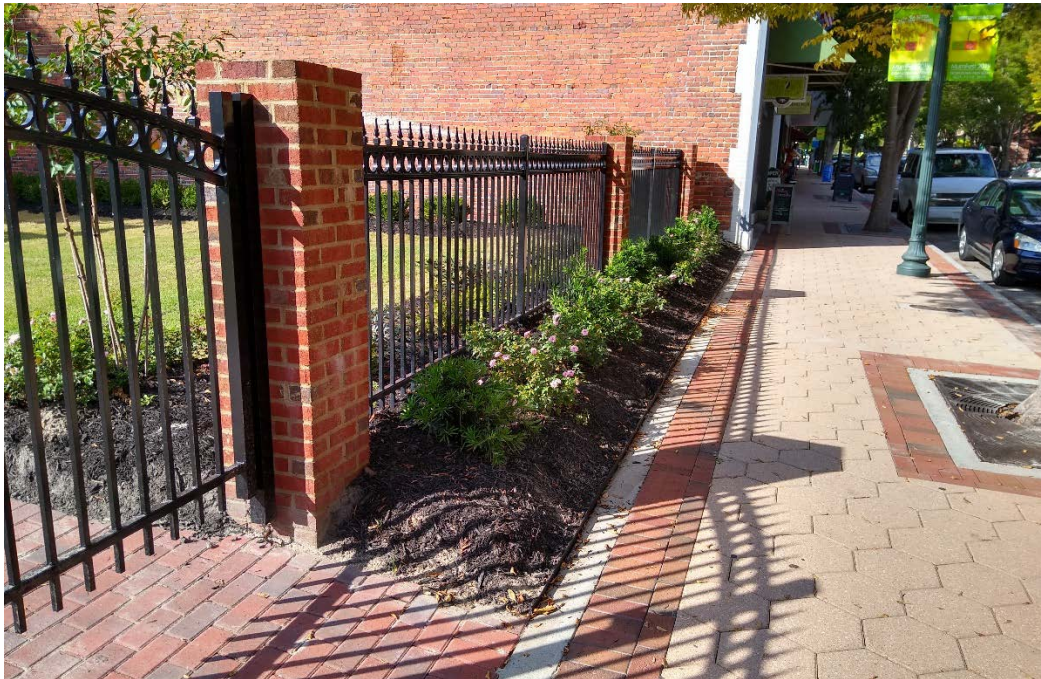
Streetview photos



Staff Photos of Existing Brickwork



Fencing example





Zoning and Inspections Review of

Application for Certificate of Appropriateness for Alterations in Historic District

Initial review of applications for certificates of appropriateness by the Zoning Administrator and Chief Building Inspector is intended to provide the applicant and Historic Preservation Commission with information related to compliance with local land use ordinance and building code. It does not represent a formal approval of a permit by any party and does not bind the decisions of Commission.

Application Address and Description:

248 Craven St. – installation of new landscaping, fencing, and brick screen walls

Zoning Administrator please review the application and fill out all applicable items

Zoning District: C-2

Required Setbacks (primary structure): Front N/A Side Rear

Accessory Setbacks: From Nearest Structure N/A Side Rear

Maximum Lot Coverage for proposed use: N/A

Maximum Height of Structure: N/A

Required Site Improvements: Landscaping N/A Buffer N/A Parking N/A

Other requirements:

I have reviewed the application for proposed alterations to this property and have determined that it Meets ☒ Does Not Meet ☐ the requirements of the Land Use Ordinance.

Comments:

Zoning Administrator Matthew Seely 2/4/20

Chief Building Inspector please review the application and include any comments below

The proposed project Will ☐ Will Not ☒ require a building permit(s).

Comments:

Chief Building Inspector Matthew Seely 2/5/20

Certificate of Appropriateness Findings & Recommendations

HPC Meeting February 19, 2020

Applicant: Denny Bucher/Joe Cannon, New Bern Farm and Garden
Applicant Address: PO Box 71, New Bern, NC 28563
Project Address: 248 Craven St., New Bern, NC 28560
Historic Property Name: Dunn Building (1924)
Status: **Contributing:** X **Non-contributing:** **Vacant Lot:**
NR Inventory Description: (2003) Four stories; brick; four bays wide, six bays deep; plain parapet.

248 Craven St. – to include installation of new landscaping, fencing, and brick screen walls in the Primary, Secondary, and Tertiary AVCs.

Staff submits the following Historic District Guidelines as appropriate to this application:

Utilities

2.3.1 Locate equipment in Secondary and Tertiary AVCs and screen items from public view with vegetation, fencing and similar site constructions.

Landscaping

2.4.3 Use plant materials that are indigenous to the historic districts. It is not appropriate to use contemporary edging materials such as landscaping timbers or plastic borders.

2.4.4 Incorporate trees, shrubbery and other landscape features around the periphery of a lot and within parking areas.

Fences and Garden Walls

2.5.1 Fences and walls based on historic designs are encouraged. Incorporate materials and configurations that relate to the architecture of the principal structure on the site. Use fences and walls to demarcate property lines and screen private areas.

2.5.2 In a Primary AVC, erect low fences and walls with a vertical dimension of four feet or less. Space rectangular wood planks about one inch apart. Space square wood and iron pickets about three inches apart. Orient pickets vertically.

2.5.3 In Secondary and Tertiary AVCs, erect tall fences and walls with a vertical dimension of six feet or less. Tall fences that abut a structure shall terminate at an architectural feature. Transition low fencing to taller fencing at an architectural feature.

Modifications

3.2.1 Select materials that are consistent with the structure. Limit the palette to those materials that were available at the time a building was originally constructed.

Masonry

5.1.2 Match the masonry bond, or pattern, of masonry materials found in adjoining work. In general, new material should be the same size, color and texture of that existing.

Metals

5.3.3 Use full weld iron and steel fabrication techniques. Welds shall be properly dressed, or ground smooth.

Statements of Reason, based on the information contained in the application, in Staff's judgment are:

1. The project is site work within the Primary and Secondary AVCs;

Certificate of Appropriateness Findings & Recommendations

HPC Meeting February 19, 2020

2. The proposed design, components, and materials meet the requirements of the Guidelines;
3. The Zoning Administrator and the Chief Building Official have reviewed this project and commented accordingly;
4. The project is not incongruous with the Guidelines.

MOTION

Staff recommends the Commission approve this application to include installation of new landscaping, fencing, and brick screen walls in the Primary, Secondary, and Tertiary AVCs, citing the aforementioned guidelines.

FEE SCHEDULE (office use only)

☐ \$22 Standard Application (minor)
☒ \$107 Standard Application (major)



HPC Administrator
 HPCadmin@newbern-nc.org
 Work: (252)639-7583
 Fax: (252)636-2146

Fee Name	Input Value	Computed Amount	Status	Manually Added	Fee Order	Invoice	Notes
Hist Preserv Major works requiring	0.00	\$107.00	Paid In Full	<input checked="" type="checkbox"/>	44	00017094	COA major @ 520 E Front St - ow

Application for a Certificate of Appropriateness
(For Alterations to Properties in Locally Designated Historic Districts)

For assistance see "CoA Instructions", as well as "Historic District Guidelines", available online at:
<http://www.newbern-nc.org/departments/development/historic-preservation/historic-preservation-guidelines/>

Type of Project: ☐ Exterior Alteration ☒ Addition ☐ Infill ☐ Site Work ☐ Other

I. Applicant/Owner Information:

Property Address (Include year built, if known):

520 E. Front Street - built 1884

Property Owner Name(s):

Hubie & Alice Tolson

Owner Mailing Address:

520 E. Front Street
New Bern, NC 28560

Phone #'s:

252-638-4215

Email:

cruella@alictolson.com

Applicant Name (if different):

GO Architectural Design, PLLC
Sarah Afflerbach, AIA

Applicant Mailing Address:

1202A Pollock Street
New Bern, NC 28560

Phone #'s:

252-633-0322

Email:

sarah@goarchdesign.com

II. Project Information: (See "CoA Instructions" & "Historic Guidelines" for help in completing this section)

1. Provide a detailed description of work to be conducted on site: (Attach additional sheets if needed)

Create a new small storage shed constructed with a low brick foundation and painted wood lap siding, doors, and trim to be located along the existing driveway and backing up to the existing brick wall and landscaping.

Continued on additional sheet or attached brochure ☐

2. Reference the specific Guideline(s) in the "Historic District Guidelines" which you believe apply to this project: (page and guideline number):

3.3.1, 3.3.2, 3.3.3

Continued on additional sheet or attached brochure ☐

3. Provide a detailed description of materials to be used (copies of brochures, texture, etc.):

Reference the specific Guidelines in the Historic District Guidelines for the proposed material(s).

Painted wood lap siding, trim, and doors, brick masonry foundation.

Continued on additional sheet or attached brochure ☐

III. Additional Information Provided: (See "CoA Instructions" for more detail)

Plan(s) of Work, with: (please check all of those which are included with this application)

- ☒ Site plan (with annotated notes showing existing site and requested work)
- ☒ Photographs of the building and location where the proposed work will be completed
- ☒ Annotated notes or photos of materials to be used (samples may also be submitted)
- ☒ Floor plan with dimensions (for additions)
- ☒ Elevations with dimensions (for exterior additions or renovations)
- ☐ Supporting materials (brochures, photos of similar New Bern projects, estimates, etc.)
- ☒ Letter from owner acknowledging this application, in the case of submission by an applicant or lessee.

Please see Development Services Staff (Staff) prior to submittal for initial review of the application and advisement if additional information will be required before consideration at a Historic Preservation Commission hearing.

Please read the following statements. Your signature below acknowledges that you have read the statements and attest to their accuracy:

Check one:

- ☐ I am the owner of the Property, or
- ☒ I am acting on behalf of the owner of the property and I have attached a letter from the owner(s) indicating their knowledge of this application.

- ◆ I understand that submittal of this application does not constitute approval of proposed alterations.
- ◆ I understand that the approval of this application by City Staff or the New Bern Historic Preservation Commission (HPC) does not constitute approval of other federal, state, or local permit applications.
- ◆ I understand that I (or my representative) will need to attend the Hearing of this Application by HPC. No Applications shall be heard without a representative present and all applicable fees paid in full.
- ◆ I have reviewed the City of New Bern's "Historic District Guidelines" in preparing this Application.
- ◆ I understand that the property referenced by this Certificate of Appropriateness (CoA) application is in one of New Bern's local historic districts and that it represents a part of New Bern's historic fabric. If a CoA is approved by HPC or Staff, I agree to implement all changes as specified in the approved CoA, including any conditions. I understand that I am responsible for contacting Staff if I have any questions regarding the allowed changes specified in the approved CoA.
- ◆ I understand that ANY unapproved alterations are enforceable as a violation of City Ordinance and must be brought into compliance by removal or through the CoA process.
- ◆ I affirm that all the information included in this application is true to the best of my knowledge.
- ◆ I understand that incomplete applications cannot be considered.


Signature of Applicant/Owner

2.4.2020
Date

APPLICATION SHOULD BE SUBMITTED TO THE DEVELOPMENT SERVICES MAIN OFFICE AT 303 FIRST ST. NO LESS THAN 2 WEEKS PRIOR TO UPCOMING MEETING. FOR FURTHER INFORMATION, CONTACT THE ADMINISTRATOR OF THE HISTORIC PRESERVATION COMMISSION AT (252) 639-7583.

Aldermen

Sabrina Bengel
Jameesha S. Harris
Robert V. Aster
Johnnie Ray Kinsey
Barbara J. Best
Jeffrey T. Odham



NEW BERN
CITY OF NEW BERN

300 Pollock Street, P.O. Box 1129
New Bern, NC 28563-1129
(252) 636-4000

Dana E. Outlaw
Mayor

Mark A. Stephens
City Manager

Petitioners requesting City of New Bern Historic Preservation Commission action on property not owned by them must have this form completed by the owner of the property.

CERTIFICATE OF APPROPRIATENESS OWNERS AUTHORIZATION

Dear Sir or Madame:

I am the owner of the property located at:

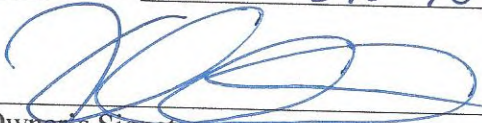
520 E. Front Street New Bern 28560
(address, city, zip code)

I hereby authorize Sarah Afflerbach to appear with my consent, before the City of New Bern Historic Preservation Commissioner in order to request a Certificate of Appropriateness for the property referenced above.

I authorize you to present this matter on my/our behalf as the owner(s) of the property.

If there are any questions, please contact me at the following address and phone number:

227 E Front St New Bern, 28560 Phone 252-670-9370


Owner's Signature

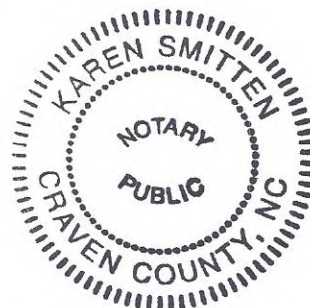
Hubert G. Tolson III
Print Name

10-1-2018
Date

Sworn to and subscribed before me this 1st day of October, 2018.

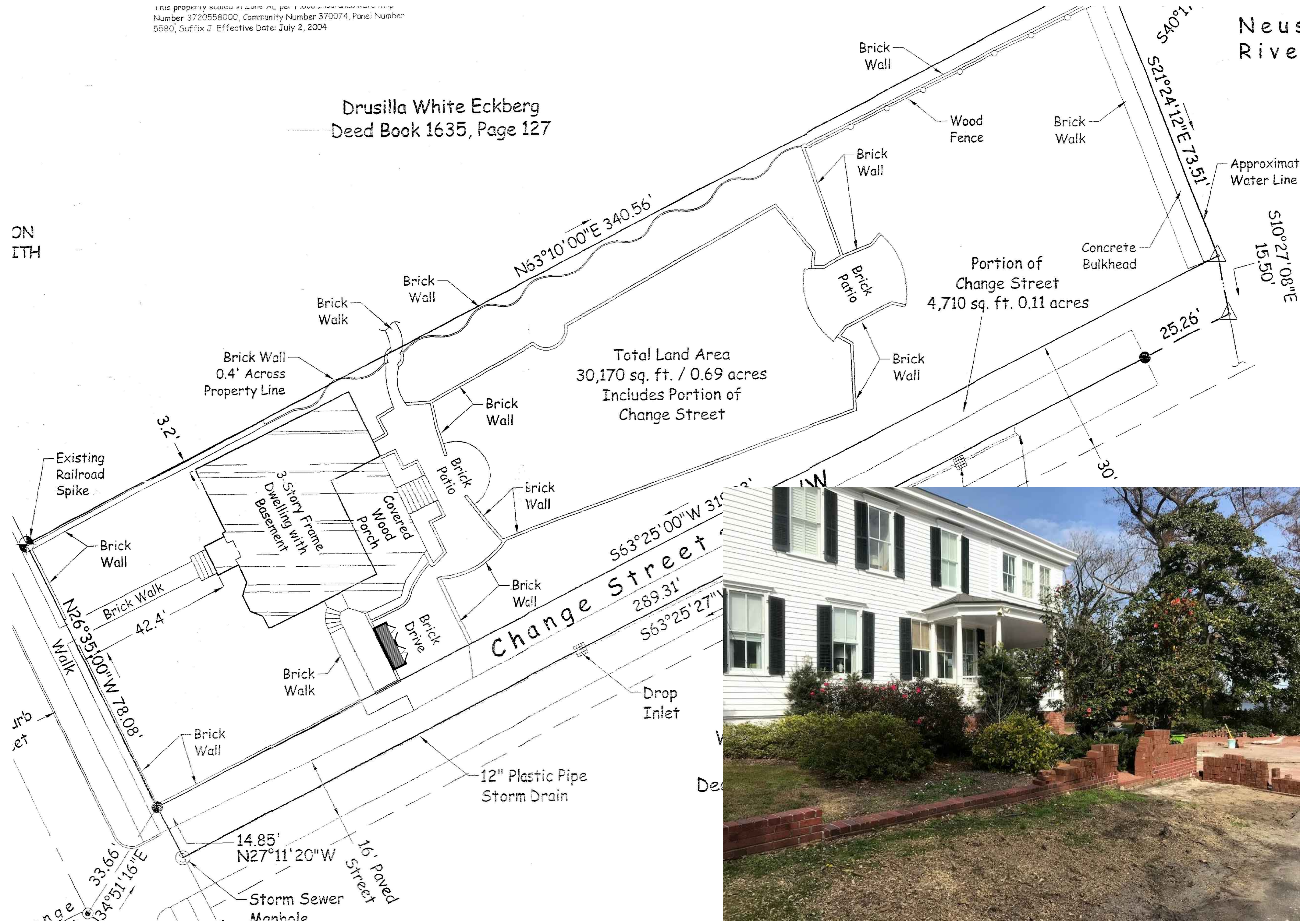
Karen Smitten
Notary Public:

My commission expires: 9-6-19



This property located in Zone A-101 per 1990 zoning ordinance.
Number 3720558000, Community Number 370074, Parcel Number
5580, Suffix J. Effective Date: July 2, 2004

Drusilla White Eckberg
Deed Book 1635, Page 127



1
A-101

SITE PLAN
Scale: 1/16" = 1'-0"

GRAPHIC SCALE: 1/16" = 1'-0"
16' 0' 8' 16' 32'



1202-A Pollock Street
New Bern, NC 28560
252-633-0322
www.goarchdesign.com

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THESE PLANS CONTAIN PROPRIETARY INFORMATION OF
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WITHOUT WRITTEN CONSENT FROM THE ARCHITECT.
ANY FAILURE TO OBTAIN SUCH CONSENT IS A VIOLATION
OF LAW, AND MAY BE SUBJECT TO CIVIL AND CRIMINAL
PROSECUTION AND PENALTIES.

Date: 02.04.2020

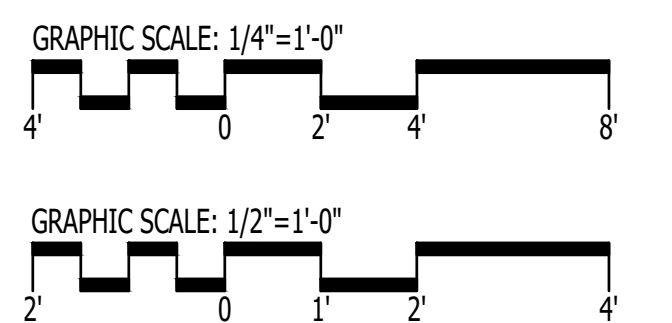
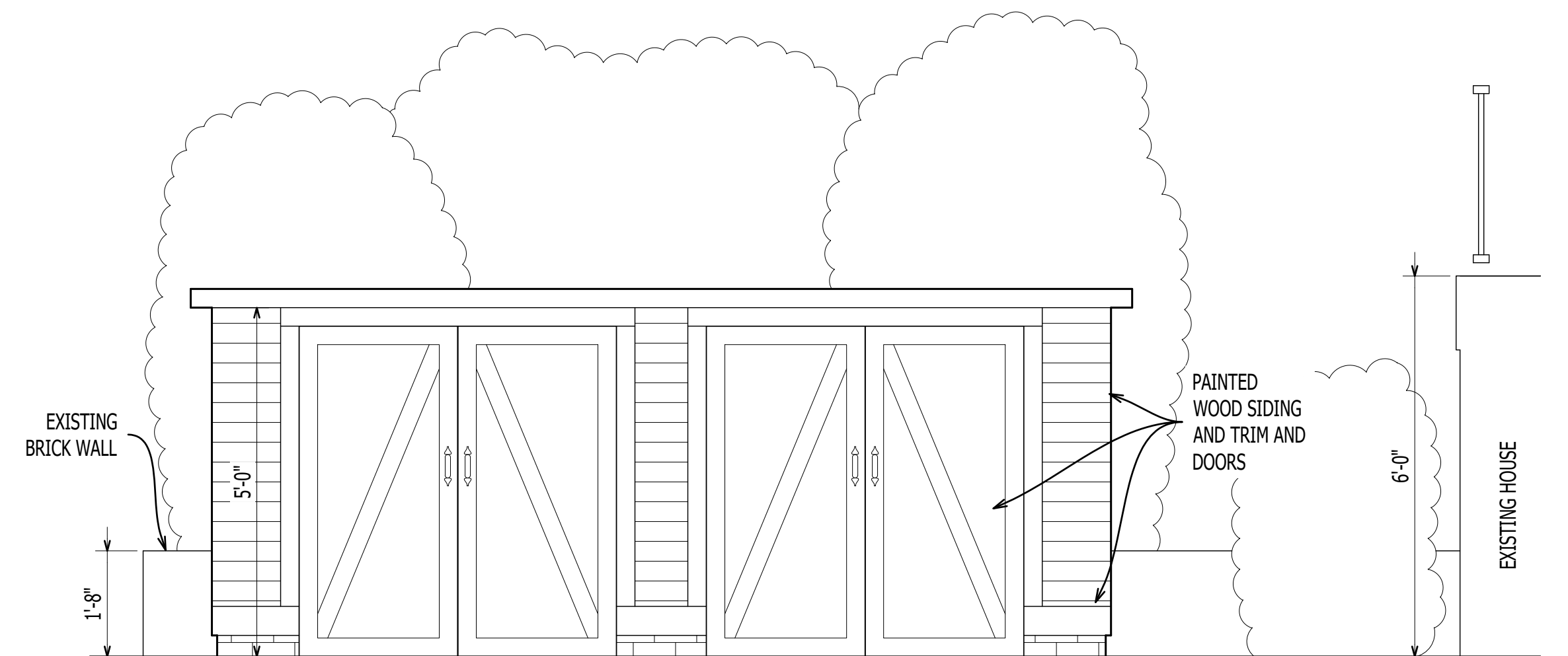
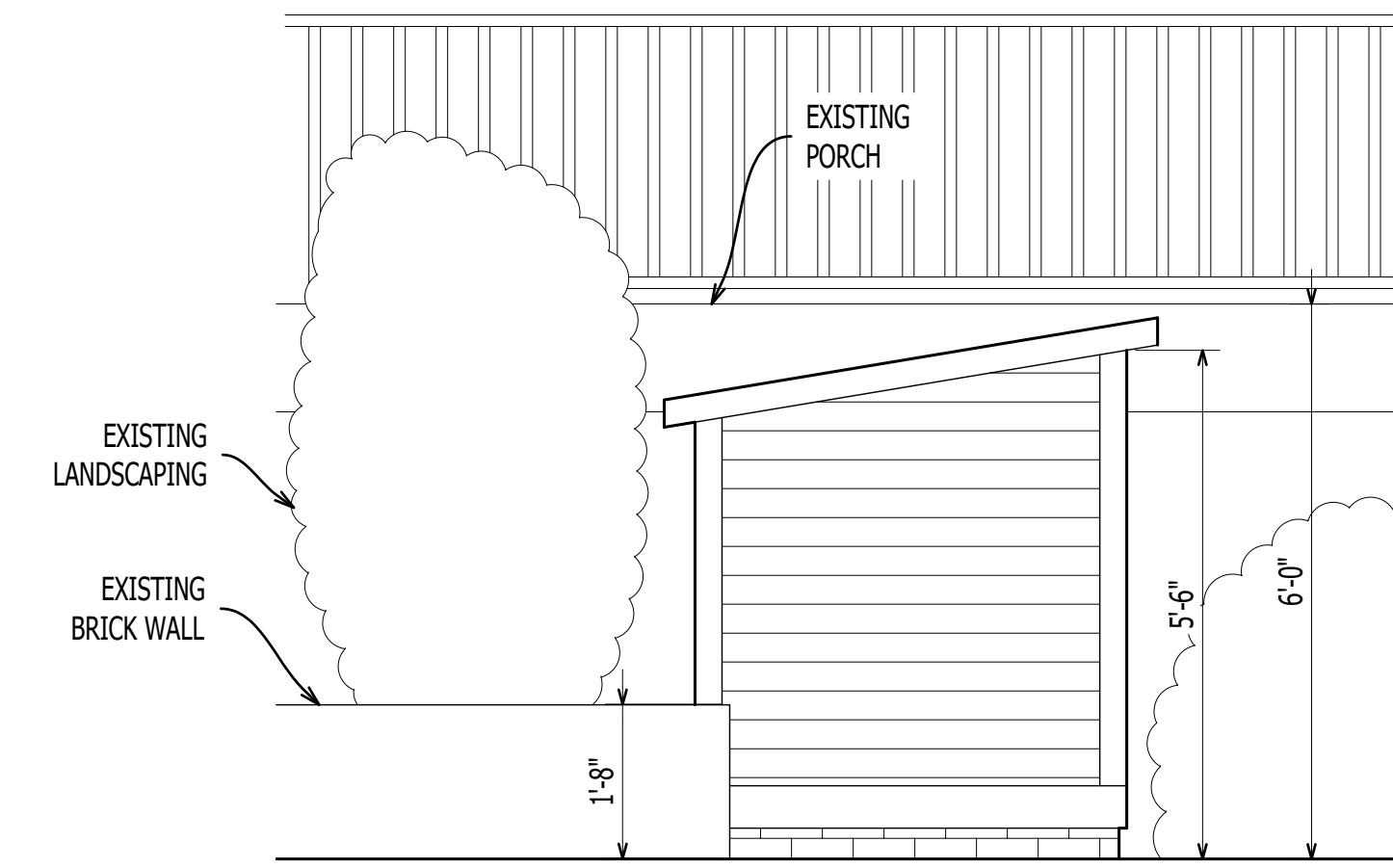
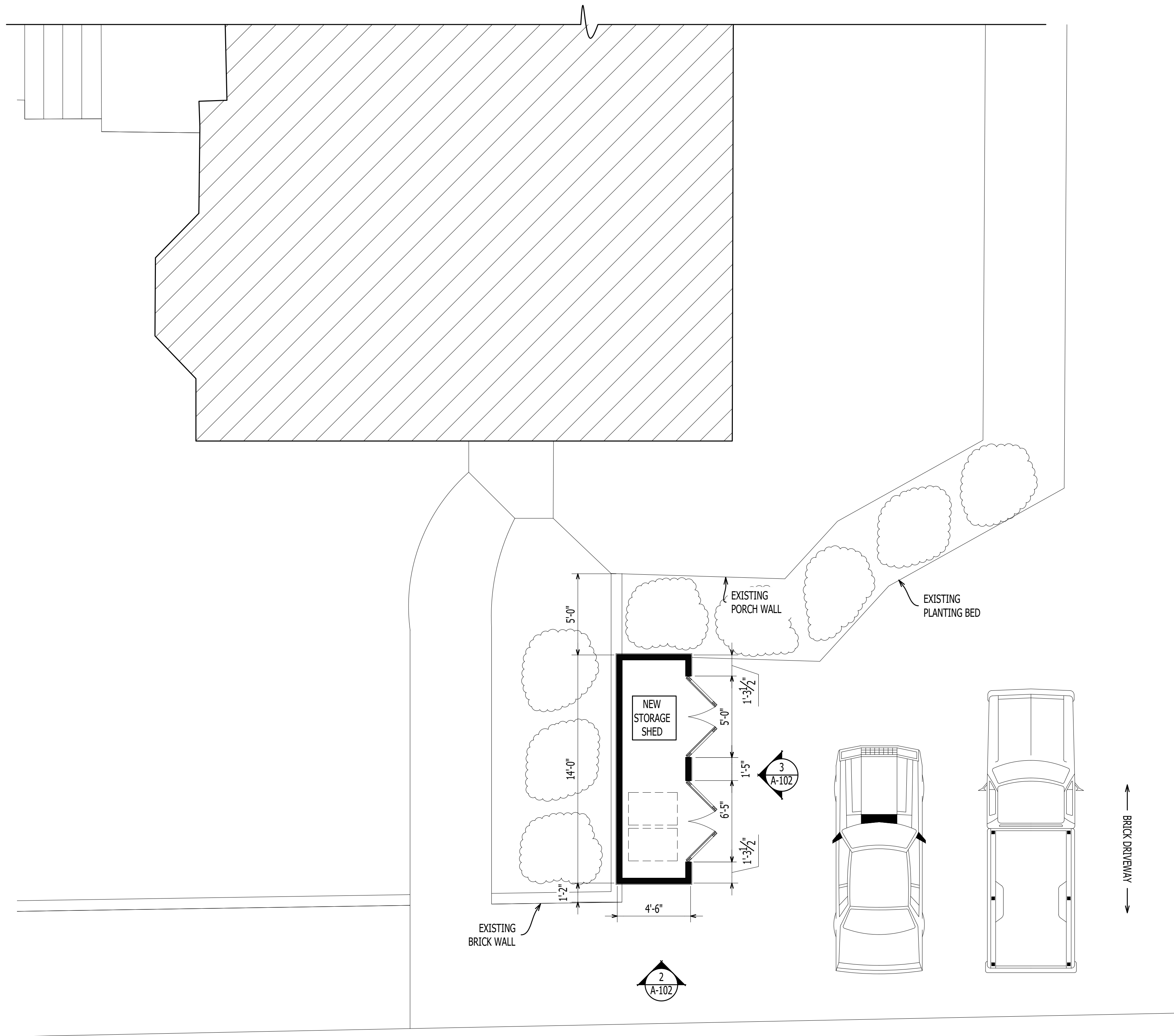
Revisions:

TOLSON RESIDENCE
520 E. FRONT STREET, NEW BERN, NC 28560

A-101

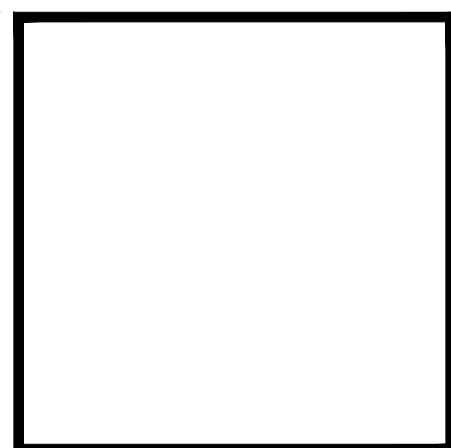
PHOTOS

12 X 18 SHEETS ARE HALF SIZE



1202-A Pollock Street
New Bern, NC 28560
252-633-0322
www.goarchdesign.com

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Date: 02.04.2020

Revisions:

TOLSON RESIDENCE
520 E. FRONT STREET, NEW BERN, NC 28560

A-102

PHOTOS

12 X 18 SHEETS ARE HALF SIZE



Zoning and Inspections Review of

Application for Certificate of Appropriateness for Alterations in Historic District

Initial review of applications for certificates of appropriateness by the Zoning Administrator and Chief Building Inspector is intended to provide the applicant and Historic Preservation Commission with information related to compliance with local land use ordinance and building code. It does not represent a formal approval of a permit by any party and does not bind the decisions of Commission.

Application Address and Description:

520 E Front St. – construction of a small storage shed with a low brick foundation and painted wood lap siding, doors, and trim to be located in the Secondary AVC.

Zoning Administrator please review the application and fill out all applicable items

Zoning District: R-10

Required Setbacks (primary structure): Front N/A Side Rear

Accessory Setbacks: From Nearest Structure 8' Side 3' Rear 3'

Maximum Lot Coverage for proposed use: N/A 60%

Maximum Height of Structure: 45'

Required Site Improvements: Landscaping N/A Buffer Parking

Other requirements:

I have reviewed the application for proposed alterations to this property and have determined that it Meets ☒ Does Not Meet ☐ the requirements of the Land Use Ordinance.

Comments:

_____ Zoning Administrator Paulino Shelly 2/14/20

Chief Building Inspector please review the application and include any comments below

The proposed project Will ☒ Will Not ☐ require a building permit(s).

Comments:

_____ Chief Building Inspector Paulino Shelly 2/14/20

Certificate of Appropriateness Findings & Recommendations

HPC Meeting February 19, 2020

Applicant: Hubie & Alice Tolson/GO Architectural Design, PLLC

Applicant Address: 520 E. Front St., New Bern, NC 28560

Project Address: 520 E. Front St., New Bern, NC 28560

Historic Property Name: Samuel W. Smallwood House (c. 1885)

Status: **Contributing:** X **Non-contributing:** **Vacant Lot:**

NR Inventory Description: (2003) Two stories; two bays wide; canopy-roofed bay window to right of front door; one-story west wing; hip roof.

520 E. Front St. – to include construction of a small storage shed with a low brick foundation and painted wood lap siding, doors, and trim to be located in the Secondary AVC.

Staff submits the following Historic District Guidelines as appropriate to this application:

Accessory Structures

2.6.1 Locate accessory structures in Secondary or Tertiary AVCs, and behind primary structures when possible. Accessory structures are to be secondary to the primary structure in regard to mass, scale, form and texture.

Foundations

4.1.3 Use traditional materials when constructing foundations. Concrete block should receive a veneer of stucco, brick or other appropriate masonry material.

Walls, Trim, and Ornamentation

4.2.4 Incorporate wood trims and articulate masonry appropriately for the application. Primary structures are generally more ornate and detailed. Accessory structures are generally subordinate to the primary structure and have minimal ornamentation, if any, and simplified details.

Roofs

4.5.4 Standing seam metal roofs shall have a pan width no greater than 24 inches. Pans shall be completely flat without corrugation.

Masonry

5.1.2 Match the masonry bond, or pattern, of masonry materials found in adjoining work. In general, new material should be the same size, color and texture of that existing.

Wood

5.2.2 Construct wood assemblies similar to that found in adjoining work. In general, new material should be the same dimension and shape of that existing.

Paint

5.4.2 Select paint and sealant coatings that are harmonious with adjoining work. In general, new material shall be a compatible formulation with the substrate of application.

5.4.3 Apply primer coatings to front and back wood surfaces prior to cutting and fitting. Prime end cuts before installation. Apply finish paint coatings to exposed primed surfaces.

Contemporary Materials

5.5.6 Contemporary materials such as synthetic slate and fiberglass asphalt shingles are acceptable for sloped roofing regardless of building age. Select fiberglass asphalt shingles from a darker color palette.

Certificate of Appropriateness Findings & Recommendations

HPC Meeting February 19, 2020

Statements of Reason, based on the information contained in the application, in Staff's judgment are:

1. The project is an accessory building within the Secondary AVC;
2. If the roofing meets the requirements of the Guidelines, the proposed design, components, and materials meet the requirements of the Guidelines;
3. The Zoning Administrator and the Chief Building Official have reviewed this project and commented accordingly;
4. The project is not incongruous with the Guidelines.

MOTION

Staff recommends the Commission approve this application to include construction of a small storage shed with a low brick foundation and painted wood lap siding, doors, and trim to be located in the Secondary AVC, citing the aforementioned guidelines, with the condition that the roofing meet the requirements of the Guidelines.



Development Services Department
303 First St. P.O. Box 1129
New Bern, NC 28563
(252) 639-7581

HISTORIC PRESERVATION COMMISSION

A PROPOSAL TO REMOVE A PORTION OF THE LOCAL HISTORIC DISTRICT FROM THE LOCAL HISTORIC DISTRICT

Draft: February 5, 2020

Trent Court is a 29-building housing complex in the New Bern Local Historic District and is owned and operated by the New Bern Housing Authority. Many of the low-lying buildings have been flooded several times, displacing the residents and damaging the buildings. Finally, after Hurricane Florence in 2018, the flooding was so significant that many of the housing units could not be restored and have now been condemned. The Housing Authority has received approval from the U.S. Department of Housing and Urban Development to demolish all 29 buildings.

Trent Court was built in 1940-1941 and expanded in 1952. In 2003 the area of Trent Court and one adjacent property were added to the National Register of Historic Places as "Area C" of a boundary expansion of the original New Bern Historic District. Although there is no mention of Trent Court nor the need for, or construction of, public housing in the discussion of the expanded Period of Significance (1922-1953), here is the directly relevant narrative and inventory description from the 2003 National Register of Historic Places Registration Form:

Narrative:

The third expansion area is in the Long Wharf district called Trent Court. The district is bounded on the north by Franks Drive, on the east by Fleet Street, on the south by the Trent River, and on the west by Liberty Street. The topography rises gently from the north bank of the river to an elevation between five and ten feet above sea level. The area contains a complex of twenty-nine, two-story brick apartments, built in 1940-1941 and expanded in 1952, which represents some of the earliest public housing in the state. Mature stands of trees and shrubs, and well-tended lawns give the area a park-like ambience. The architects for the campus-like site were A. Mitchell Wooten and John J. Rowland of Kinston. The complex was built by Fowler-Jones Construction Company. The walls are laid in Flemish "garden-wall bond" with three stretchers between each header in every course. The housing units are enhanced by attractive Art Moderne style bas relief panels depicting children in

various aspects of recreation. Modern period architectural features include cantilevered hoods over the entrances and banded, metal-frame windows. The well-tended lawns and landscaping give the neighborhood a pleasant appeal and attractive ambience.

Inventory:

Fleet Street, Frank Drive, Holland Drive, Walt Bellamy Drive, South Front Street

C [= Contributing Resource] [Inventory #] 156-186 [Date] 1940-41 and 1952

Trent Court. The Trent Court public housing complex contains twenty-nine, two-story, multi-family housing units; a one-story office on the south side of Front Street built for the New Bern Housing Authority, and a two-story retail store on the west side of Fleet Street. Named Trent Court, the buildings were erected in two stages, the first twelve, built in 1940-41, are designated A through L (Nos. 156 - 167) and are located along South Front Street, Fleet Street, and Walt Bellamy Drive. The seventeen buildings constructed in 1952 are farther north and are designated M through Z and AA to CC (Nos. 168-184). The one-story office (No. 185), built in 1952, is at the bend of the road where South Front and Fleet streets join. The two-story brick and concrete block store (No. 186) was also built in 1952. All buildings are contributing resources.

Arranged in clustered groups along tree-lined streets and landscaped courtyards, the 1940-41 buildings are enriched by Flemish garden-wall bond brickwork, cast-stone bas-relief panels above the entrances portraying scenes of children at play, cantilevered concrete roofs above entrances, bands of multi-pane metal windows that wrap around corners, hip roofs, arched top ventilation dormers, and interior chimneys. The 1952 structures are of simpler design with running bond brick walls and small sash windows above the doors.

The project was the largest building effort in the city during the 1940s and 1950s and was assisted by \$1.5 million in federal funding. Both phases of the complex, built for white residents, were designed by architects A. Mitchell Wooten and John J. Rowland of Kinston, North Carolina and built by the Fowler-Jones Construction Company for the Housing Authority of the City of New Bern.

While being good housing at the time they were constructed, all the units, even the units that have not been flooded, 70 to 80 years later, are now substandard housing. The kitchens are only small kitchenettes with two-burner stoves and microwaves; the doorways, steps, bathrooms, and rooms are not even close to ADA compliance; and since the construction is masonry, the water, sewer, and electric utilities are surface-mounted throughout the interiors of all the units. These conditions for public housing units are insulting to the residents. These and financial reasons make it necessary to rebuild this housing.

Concurrent to the gradual obsolescence of the units, for the past several decades in general, but the past several years in particular, the City and the community have been discussing and planning for the redevelopment of a large area of the city that often included replacing Trent Court. The most recent plan, the Choice Neighborhood Initiative “*Greater Five Points Transformation Plan*,” adopted by the City’s elected body, the Board of Aldermen, includes this introduction and summary by the Mayor:

... This plan represents the community’s vision for the transformation of the Greater Five Points Area into a great neighborhood for our children and grandchildren to live, work, play, worship, and create. New Bern’s transformation plan is the product of a broad collaboration of hundreds of volunteers – community residents, nonprofits, educators, support agencies, businesses, the faith community, elected officials and more. ... Interest in revitalizing this historic gateway has grown over the past 15 years, as evidenced by initiatives and planning efforts sponsored by the City, its partners, and neighborhood residents. This document builds off the recently completed New Bern Gateway Renaissance Plan which currently guides our already significant investments in the area. While these efforts are beginning to show positive results, a comprehensive, realistic blueprint is needed to move forward. As a true community-led effort, our plan provides a detailed roadmap that is both achievable and sustainable. The centerpiece of the plan is the transformation of New

Bern's public housing at Trent Court and Craven Terrace. Revitalizing these areas will improve the safety and quality of life for many residents, provide the catalyst for positive change and encourage additional private and public investment. While this document is the culmination of two years of community outreach and engagement, it is not the end of the process.

This is evidence of the value of transforming Trent Court from its current condemned and substandard housing to key new development for the revitalization of a large area of the City and the extensive collaboration and planning that has been done to come to the consensus described in the plan, including a “community-preferred concept for Tent Court [that] creates a vibrant mixed-income community, re-aligns streets to reflect neighborhood patterns, and preserves and enhances usable public green space along the water.” The entire plan can be viewed at: <https://choicenewbern.com/wp-content/uploads/2015/09/New-Bern-FINAL-TP-Lo-2-22-16.pdf>.

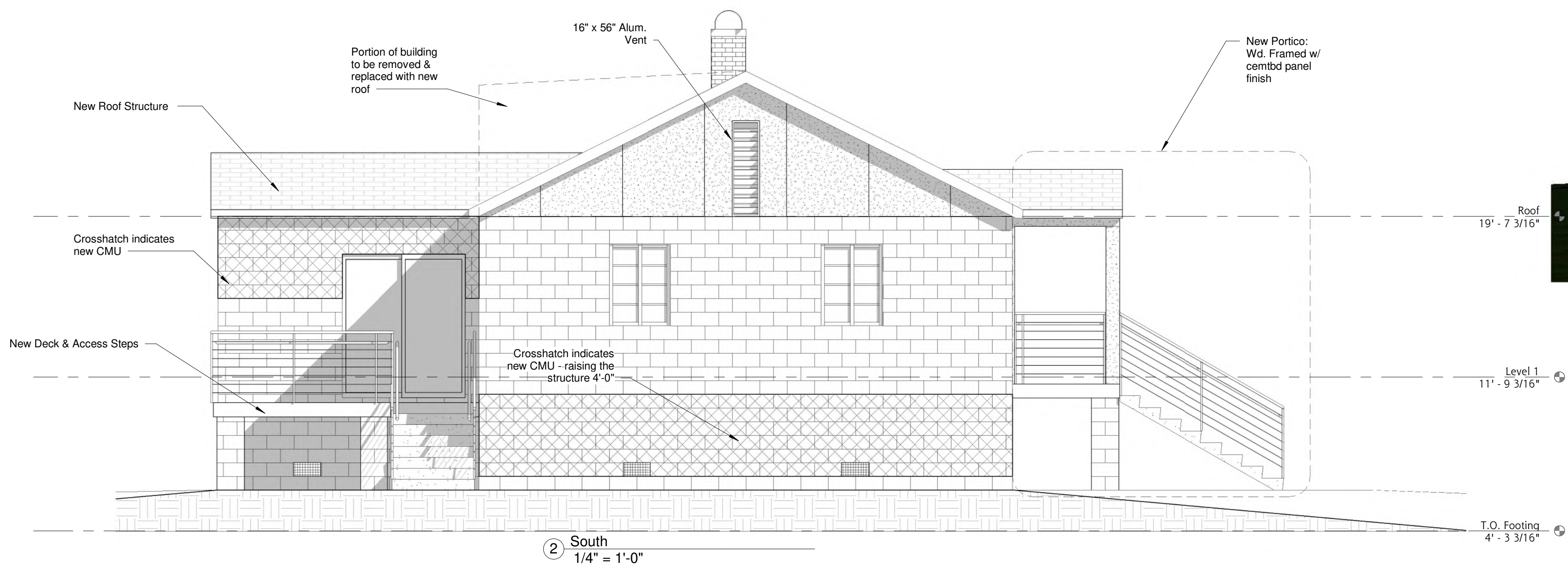
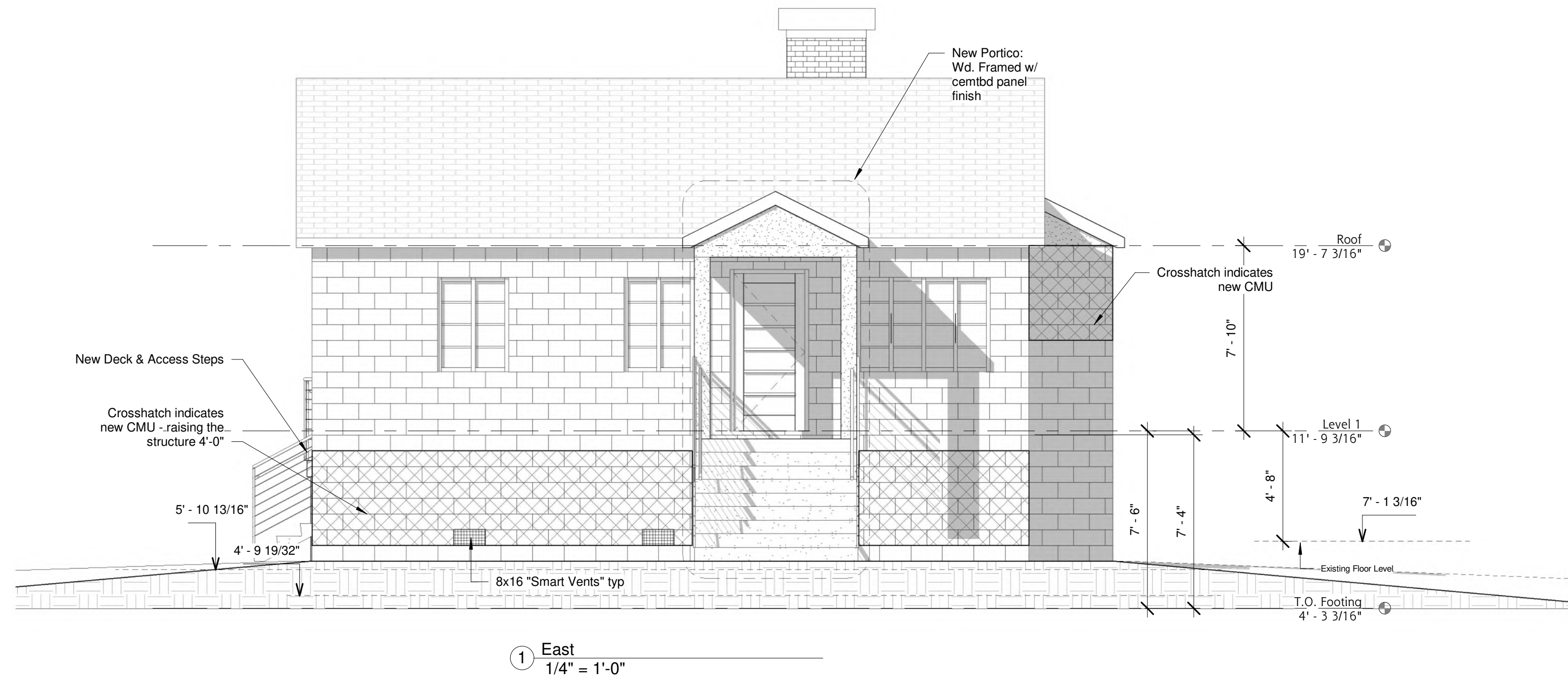
It is unfortunate that public resources for the maintenance and updating of public housing has been insufficient over the past many decades and Trent Court has fallen victim to this. In hindsight, it is perhaps also unfortunate that decisions for Trent Court in the 1940s and 50s resulted in housing units that were placed in a flood-prone area, small in many ways, and difficult to repair, update, and expand.

It is currently our understanding that one of the buildings on the higher land is to not be demolished and is to remain in order to provide a physical remnant of the historic buildings of Trent Court. Even more concern community-wide has been raised about the fate of the 30 to 40 bas-relief panels on many of the buildings. While there are many suggestions about what to do with these, no agreement has been signed at this point, and the CEO of the Housing Authority has committed publicly to saving these and incorporating them into the redevelopment plan for the property.

With such broad community and City support for the demolition of the historic Trent Court housing units, and with their inevitable repeat flooding and continued decay and decline, the Historic Preservation Commission of the City of New Bern, in cooperation with the local community is requesting to remove the area of the Trent Court apartment complex from the New Bern Local Historic District.

6. Administrative Updates

- a. Guidelines for Flood Adaptation; Grant Application – update
- b. 715 E. Front St. - update



Raising/Additions/Renovations of 715 East Front Street
for Rosalie & Richard McDevitt



